

# **Public Hearing Agenda**

Public Notice is hereby given of a Regular Council Meeting for Public Hearings being held on:

Monday, March 19, 2018 – 7 p.m.

Council Chambers, 1<sup>st</sup> Floor

Richmond City Hall

6911 No. 3 Road

Richmond, BC V6Y 2C1

## **OPENING STATEMENT**

### **Page**

1. OFFICIAL COMMUNITY PLAN BYLAW 9000 AND 7100, AMENDMENT BYLAW 9813 AND RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9814

(File Ref. No. 12-8060-20-009813/9814; RZ 16-737146) (REDMS No. 5734838; 5733489; 5733491)

### **PH-8**

### See Page **PH-8** for full report

**Location:** 4360 Garry Street

**Applicant:** Steveston Buddhist Temple

Purpose of

**OCP** 

Designation

Amendment:

To amend the 2041 Official Community Plan Land Use Map to Schedule 1 of the Official Community Plan to re-designate the south portion of 4360 Garry Street from Community

Institutional to Apartment Residential.

To amend the Steveston Area Plan Land Use Map to Schedule 2.4 of the Steveston Area Plan to re-designate the south portion of 4360 Garry Street from Institutional to

Multiple Family.

Purpose of Zoning Amendment:

To create the "Assembly and Congregate Housing – Garry Street (Steveston)(ZR12)" zoning district and rezone 4360 Garry Street from "Assembly (ASY)" to "Assembly and Congregate Housing – Garry Street (Steveston)(ZR12)", to permit development of a congregate housing facility and retention of the existing temple.

### Page

First Reading: February 13, 2018

### **Order of Business:**

- 1. Presentation from the applicant.
- 2. Acknowledgement of written submissions received by the City Clerk since first reading.
- 3. Submissions from the floor.

### **Council Consideration:**

- 1. Action on second and third readings of Official Community Plan Bylaw 9000 and 7100, Amendment Bylaw 9813.
- 2. Action on second and third readings of Richmond Zoning Bylaw 8500, Amendment Bylaw 9814.
- 2. RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9828

(File Ref. No. 12-8060-20-009828; RZ 16-721172) (REDMS No. 5718459; 5721126)

### PH-133

### See Page PH-133 for full report

**Location:** 5220/5240 Merganser Drive

**Applicant:** 0983101 B.C. Ltd.

Purpose: To rezone the subject property from the "Two-Unit

Dwellings (RD1)" zone to the "Single Detached (RS2/B)" zone, to permit the property to be subdivided into two single-

family lots, with vehicle access from Merganser Drive

First Reading: February 13, 2018

### **Order of Business:**

- 1. Presentation from the applicant.
- 2. Acknowledgement of written submissions received by the City Clerk since first reading.
- 3. Submissions from the floor.

### **Council Consideration:**

1. Action on second and third readings of Richmond Zoning Bylaw 8500, Amendment Bylaw 9828.

П	ш		7
_	п	_	_

### **Page**

### 3. TEMPORARY COMMERCIAL USE PERMIT

(File Ref. No. TU 18-798524; 08-4105-07-01) (REDMS No. 5748942)

### PH-148

### See Page **PH-148** for full report

**Location:** 5400 Minoru Boulevard

**Applicant:** Openroad Auto Group Ltd.

**Purpose:** To permit a Temporary Commercial Use Permit to be issued

for property at 5400 Minoru Boulevard, to allow Vehicle Sale/Rental as a permitted use for a period of three years

from the date of issuance.

First Reading: February 26, 2018

### **Order of Business:**

- 1. Presentation from the applicant.
- 2. Acknowledgement of written submissions received by the City Clerk since first reading.
- 3. Submissions from the floor.

### **Council Consideration:**

1. That a Temporary Commercial Use Permit be issued to Openroad Auto Group Ltd. for the property at 5400 Minoru Boulevard to allow Vehicle Sale/Rental as a permitted use for a period of three years.

4. RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAWS 9799, 9801, 9802, 9804, 9805, 9806, 9807, 9808, 9809, 9810, 9811

(File Ref. No. 08-4430-03-09; 08-4430-03-11; 12-8060-20-009799; 12-8060-20-009801; 12-8060-20-009802; 12-8060-20-009804; 12-8060-20-009805; 12-8060-20-009806; 12-8060-20-009807; 12-8060-20-009808; 12-8060-20-009809; 12-8060-20-009810; 12-8060-20-009811) (REDMS No. 5662357; 5719047; 5741909; 5722562; 5733786; 5720063; 5719878; 5736093; 5736683; 5719911; 5737875; 5719891; 5720127)

### **PH-163**

### See Page **PH-163** for full report

**Location:** 11 sites in the south portion of City Centre:

- 6611, 6631, 6651, Minoru Boulevard
- 6501 to 6541 Pimlico Way8500 to 8583 Citation Drive8600 to 8970 Citation Drive

8880 Cook Road

### **Page**

- 7031 Westminster Highway
- 6780, 6880 Buswell Street
   8200, 8300 Park Road
- 8540 Westminster Highway
- 6831 Cooney Road
- 8251, 8291, 8351, 8391 Bennett Road
- 8211 Cook Road6480, 6490 Buswell Street
- 8660 Westminster Highway
- 8231 Granville Avenue 6931 Cooney Road
- 8291 Park Road

**Applicant:** City of Richmond

**Purpose:** To establish underlying zoning for 11 sites developed under

Land Use Contracts 001, 025, 051, 073, 096, 104, 115, 119, 131, 138, 158 in the south portion of the City Centre. The existing Land Use Contracts will remain effective and will continue to govern the use and development of the affected properties until their termination date of June 30, 2024, as

established in the Local Government Act.

First Reading: February 26, 2018

### **Order of Business:**

- 1. Presentation from the applicant.
- 2. Acknowledgement of written submissions received by the City Clerk since first reading.
- PH-243
- (a) Xin Ye, 8291 Park Road
- PH-244
- (b) Kenny Chan and Connie Chan, 201-8450 Citation Drive
- 3. Submissions from the floor.

### **Council Consideration:**

### Second and third readings:

1. Richmond Zoning Bylaw 8500, Amendment Bylaw 9799 (LUC 001 – 6611, 6631, 6651, Minoru Boulevard).

2.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9801 (LUC 025 – 6501 to 6541 Pimlico Way, 8500 to 8583 Citation Drive, 8600 to 8970 Citation Drive, and 8880 Cook Road).
3.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9802 (LUC 051 – 7031 Westminster Highway).
4.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9804 (LUC 073 – 6780, 6880 Buswell Street, and 8200, 8300 Park Road).
5.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9805 (LUC 096 – 8540 Westminster Highway).
6.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9806 (LUC 104 – 6831 Cooney Road).
7.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9807 (LUC 115 – 8251, 8291, 8351, 8391 Bennett Road.
8.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9808 (LUC 119 – 8211 Cook Road, and 6480, 6490 Buswell Street).
9.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9809 (LUC 131 – 8660 Westminster Highway).
10.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9810 (LUC 138 – 8231 Granville Avenue, 6931 Cooney Road).

$\mathbf{D}$	_	_	_
Г	a	y	е

11.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9811 (LUC 158 8291 Park Road).	_
Final	Adoption:	
12.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9799 (LUC 001).	
10	Did 17 : D. 1 0500 A . 1 . D. 1 0001 (HIG 025)	
13.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9801 (LUC 025).	
14.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9802 (LUC 051).	
17.	Richmond Zohnig Bylaw 6500, Milehament Bylaw 7502 (Loc 651).	
	L	
15.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9804 (LUC 073).	
	L	
16.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9805 (LUC 096).	
	_	
17.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9806 (LUC 104).	
18.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9807 (LUC 115).	
10.	Richmond Zohnig Bylaw 6500, Amendment Bylaw 7607 (Eee 115).	
	L	
19.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9808 (LUC 119).	
	L	
20.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9809 (LUC 131).	
21.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9810 (LUC 138).	

Page			
	22.	Richmond Zoning Bylaw 8500, Amendment Bylaw 9811 (LUC 158).	
	ADJOURNI	MENT	

Public Hearing Agenda – Monday, March 19, 2018



# **Report to Committee**

Planning and Development Division

To:

Planning Committee

Date:

January 26, 2018

From:

Wayne Craig

File:

RZ 16-737146

Re:

Director, Development

Application by Steveston Buddhist Temple at 4360 Garry Street to:

Amend the 2041 Official Community Plan Land Use Map (Schedule 1) to

designate the rear portion of the site to Apartment Residential;

Amend the Steveston Area Plan Land Use Map (Schedule 2.4) to designate the

rear portion of the site to Multiple Family; and

Rezone the subject site from the "Assembly (ASY)" zone to the "Assembly and

Congregate Housing - Garry Street (Steveston) (ZR12)" zone

### Staff Recommendation

- 1. That Official Community Plan (OCP) Bylaw 9000 and Bylaw 7100, Amendment Bylaw 9813, to designate approximately the south half of 4360 Garry Street from "Community Institutional" to "Apartment Residential" in the 2041 OCP Land Use Map to Schedule 1 of the OCP and from "Institutional" to "Multiple-Family" in the Steveston Area Plan Land Use Map to Schedule 2.4 (Steveston Area Plan) of the OCP, be introduced and given first reading.
- 2. That Bylaw 9813, having been considered in conjunction with:
  - The City's Financial Plan and Capital Program; and
  - The Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;

Is hereby found to be consistent with said programs and plans, in accordance with Section 477(3)(a) of the Local Government Act.

- 3. That Bylaw 9813, having been considered with accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby found not to require further consultation.
- 4. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9814, to create the "Assembly and Congregate Housing Garry Street (Steveston) (ZR12)" zone and to rezone 4360 Garry Street from "Assembly (ASY)" to "Assembly and Congregate Housing Garry Street (Steveston) (ZR12)", be introduced and given first reading.

Wayne Craig Director, Development WC:ke

Att. 9

	REPORT CONCURRE	ENCE
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Parks Services Policy Planning	d	In Evreg

### **Staff Report**

### Origin

Steveston Buddhist Temple has applied to the City of Richmond for permission to rezone 4360 Garry Street from the "Assembly (ASY)" zone to a new site-specific "Assembly and Congregate Housing – Garry Street (Steveston) (ZR12)" zone in order to retain the existing temple on the front (north) half of the site and develop a 107 unit congregate housing complex on the rear (south) half of the site. All vehicle access to the subject site will be from Garry Street (Attachment 1).

The proposed rezoning requires an Official Community Plan (OCP) amendment to:

- Retain the Community Institutional designation in the 2041 OCP Land Use Map to Schedule 1 of the OCP and Institutional designation in the Steveston Area Plan Land Use Map to Schedule 2.4 (Steveston Area Plan); and
- Re-designate the rear portion (southern 72 m) of the site to Apartment Residential in the 2041 OCP Land Use Map to Schedule 1 of the OCP and Multiple Family in the Steveston Area Plan Land Use Map to Schedule 2.4 (Steveston Area Plan).

### **Project Description**

The subject site is owned by the Steveston Buddhist Temple Society (the applicant) and contains an existing temple on the north portion of the site and supporting off-street parking. The project proposes to:

- Retain the existing temple (existing gymnasium will be demolished).
- Develop a new four-storey congregate housing complex containing 107 units (116 total beds) and accessory support services (communal dining and program areas; commercial kitchen).
- Reconfigure existing off-street parking and vehicle circulation areas to accommodate the
  existing temple and congregate housing complex (Attachment 2 Conceptual
  Development Plans).

The congregate housing complex will be oriented to seniors (75 years plus) under an independent and semi-independent housing model for residents. A majority of the congregate housing are studio and one-bedroom units with kitchenettes. This project will have communal dining and meal service provided and will offer supporting services for residents as needed (medical support services/care; personal services). Indoor amenity space is provided in the facility for supportive resident programming and activities. The existing temple facility to be retained will continue to operate and offer religious services and support to the community.

Steveston Buddhist Temple Society will retain ownership of the site, establishing a separate non-profit housing society (Wisteria Seniors Health and Housing Society - WSHHS) for the purposes of the congregate housing facility. The applicant is also applying for provincial funding (through the BC Housing Investment in Affordable Housing Initiative) to assist with providing rents at below market rates to residents. Project funding from BC Housing is subject to the outcome of the rezoning application for the site.

### **Findings of Fact**

A development application data sheet providing details about the development proposal is contained in Attachment 3.

### **Surrounding Development**

The subject site contains a temple and gymnasium on the north half of the subject site. The remaining areas contain off-street parking and landscaped gardens and open spaces. The site does not currently contain any residential uses on the site

To the North: across Garry Street are single-family homes zoned "Single-Detached (RS1/E)", "Single-Detached (RS1/B)" and "Single-Detached (RS1/A)".

To the South: is Steveston Community Park zoned "School and Institutional Use (SI)".

To the East: a single-family dwelling zoned "Single-Detached (RS1/A)" and a townhouse complex under Land Use Contract (LUC) 005.

To the West: across an existing lane are single-family homes zoned "Single-Detached (RS1/E)", "Single-Detached (RS1/A)" and "Single-Detached Shrine (ZS5) – Steveston".

### **Related Policies & Studies**

### Official Community Plan/Steveston Area Plan

The subject site is designated Community Institutional in the OCP Land Use Map and Institutional in the Steveston Area Plan. These existing OCP land use designations will remain on the front half of the site for the temple to be retained.

To account for the proposed development of the congregate housing complex, the rear portion (southern 72 m) of the subject site is proposed to be amended to Apartment Residential and Multiple-Family in the OCP (Schedule 1) and Steveston Area Plan (Schedule 2.4) Land Use Maps respectively. The proposed rezoning to retain the existing temple and develop a new congregate housing complex on the subject site is consistent with the proposed OCP amendment. Final Adoption of Official Community Plan Bylaw 9000 and Bylaw 7100, Amendment Bylaw 9813 is required prior to final adoption of the rezoning.

In addition, there is also an existing policy contained in the Schedule 1 of the OCP (Section 3.2 in Connected Neighbourhoods with Special Places) that states the following:

"applications to re-designate from "Community Institutional" to other OCP designations and to rezone Assembly zoned land for the purpose of redevelopment will be considered on a case by case basis:

- without the need to retain assembly uses;
- subject to typical development requirements (e.g., access; parking; layout; tree preservation; child care; public art; Affordable Housing Strategy requirements; servicing upgrades; etc.)."

This rezoning application complies with the above referenced OCP policy.

### Floodplain Management Implementation Strategy

The proposed development must comply with the requirements of the Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on title is required prior to final adoption of the rezoning bylaw.

### **Public Consultation**

A rezoning sign has been installed on the subject property. Through the processing of the rezoning, 13 pieces of correspondence have been received by staff (Attachment 4) (Note – additional correspondence received through developer led consultation is summarized in a following section of this report). The following is a general summary of the comments/concerns in the correspondence directly received by the City (note – all of the correspondence received by staff and summarized below is from the townhouse complex to the east at 4460 Garry Street with the exception of a submitted petition that includes respondents from other addresses in Richmond):

- The height, density and massing of the proposed congregate housing complex does not fit
  with the character and scale of the surrounding residential development and adjacent
  Steveston Park to the south.
- Project impacts related to shadowing, decreased sunlight, privacy, limited air circulation and loss of views.
- Concerns about the amount of traffic this facility will generate (including traffic related noise and potential for disturbances from emergency vehicles) and the impact to Garry Street and off-street parking concerns related to the project.
- Concerns about the negative impacts to the townhouse complexes west facing units and open spaces, including the existing outdoor amenity area situated at the south west corner of the townhouse site.
- Concerns over potential nuisance impacts related to the noise/venting from facility service areas to nearby townhouse units.
- Request for sun-shadow diagrams to be provided later in the afternoon (i.e. 6 pm), particularly during the summer solstice.
- Potential impact in value of the townhouse units (directly to the east) as a result of the development.
- How the proposed development will impact the existing views to Steveston Park from the townhouse units to the east.
- One of the letters contained a submitted petition objecting to the proposal, with concerns noted about proposed building massing/height, precedence of development and traffic related concerns.

A following section in this report summarizes the applicant's/development proposal's response and staff comments on the correspondence received.

Staff have reviewed the proposed OCP amendment, with respect to the BC Local Government Act and the City's OCP Bylaw Consultation Policy No. 5043 requirements and recommend that this report does not require referral to external stakeholders.

### **OCP Consultation Summary**

Stakeholder	Referral Comment (No Referral necessary)
BC Land Reserve Co.	No referral necessary, as the proposed amendment does not apply to the Agricultural Land Reserve.
Richmond School Board	No referral necessary, as the proposed amendment does not involve adding school age children in residential units.
The Board of the Greater Vancouver Regional District (GVRD)	No referral necessary, as the proposed amendment does not impact the regional growth strategy.
The Councils of adjacent Municipalities	No referral necessary, as adjacent municipalities are not impacted.
First Nations (e.g., Sto:lo, Tsawwassen, Musqueam)	No referral necessary, as the proposed amendment applies to the subject site only.
TransLink	No referral necessary, as no transportation road network changes are proposed.
Port Authorities (Vancouver Port Authority and Steveston Harbour Authority)	No referral necessary, as the proposed amendment does not impact Port land or operations.
Vancouver International Airport Authority (VIAA) (Federal Government Agency)	No referral necessary, as the proposed amendment applies to the subject site only and does not impact YVR operations.
Vancouver Coastal Health Authority	No referral necessary as the proposal will not require licensing approval from the Health Authority.
All relevant Federal and Provincial Government Agencies	No referral necessary, the proposed amendment does not impact any relevant Federal and Provincial Government agencies
Stakeholder	Referral Comment
Community Groups and Neighbours	Through the processing of the rezoning, two developer organized public information meetings were held.

Richmond Official Community Plan Bylaw 7100 and 9000, Amendment Bylaw 9813, having been considered in conjunction with OCP Bylaw Consultation Policy No. 5043, is hereby found to not require further consultation.

Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing; where any area resident or interested party will have an opportunity to comment. Public notification for the Public Hearing will be provided as per the Local Government Act. If the rezoning proceeds forward, a Development Permit application will be required that will focus on further design development of the project.

### **Developer Led Public Consultation**

Two developer led public open houses were hosted by the applicant:

First Public Open House - November 15, 2016

This open house introduced the project to the community and was attended by approximately 65 people (see Attachment 5 for the applicant's public open house summary report and accompanying written submissions). From this meeting 17 written submissions were received

(Generally 10 positive submission in support of the project; 7 submissions noting concerns/objection to the project). The 7 submissions noting concerns/objection focussed on height/massing of the project, shadow impacts, loss of privacy, traffic and the proposed congregate use facility.

### Second Public Open House – April 25, 2017

This open house presented a revised project to the community in response to feedback received from correspondence sent directly to City staff and from the first open house in November 2016 (Attachment 6 - applicant's public open house summary report). The redesigned project adjusted massing over the whole complex and reduced the number of storeys along the east side of the building (from 4 to 3 storeys) to reduce shadow impacts to neighbouring properties. The redesign also adjusted the internal space layout in response to neighbour concerns and advanced the design development of the project. The second open house was attended by approximately 39 people. From this meeting, 12 written submissions were received (Generally 10 positive submissions in support of the project; 2 comments noting continued concerns and objections).

The applicants were also invited by the Steveston 2020 group to present the project to their membership, which they did so in February 2017. The applicant indicated that their discussion with the Steveston 2020 group was generally positive.

### **Project Responses to Public Consultation**

The following summarizes project responses to the comments received through the public consultation processes outlined in the previous sections of this report:

- The congregate housing complex has been redesigned to break up the overall massing of the facility, with emphasis on creating separate building masses designed to respond to neighbouring residential adjacencies.
- The height and massing of the congregate housing facility has been reduced from the originally proposed 4 storeys to 3 storeys adjacent to the townhouse complex to the east in response to resident concerns.
- Shadow diagrams have been submitted with additional diagrams provided for the dates and times requested through the correspondence (Attachment 7). The redesigned building, in conjunction with the reduction of massing from 4 to 3 storeys for the east elevation of the proposal has reduced the shadow impacts of the project to the townhouse units to the east during the afternoon period (during summer months).
- In response to a request from the townhouse complex to the east, the applicant provided a shadow diagram at 6 pm during the summer solstice, which showed shadowing across the backyard units adjacent to the proposed congregate housing project. It is noted that during this evening time period, shadow impacts are significant for all buildings (even one and two storey structures as demonstrated in the provided shadow diagrams)(See Attachment 7).
- Internal spaces in the facility have been reconfigured to relocate kitchen and supporting service areas away from adjacent residential uses due to concerns about noise and ventilation. The development will be required to comply with the City's Noise Regulation Bylaw 8856 and additional information from an acoustical consultant is

- required to be submitted through the Development Permit application to demonstrate compliance with this Bylaw.
- Revisions to the interface of the project to Steveston Park provide an appropriate setback and transition to the park, including the incorporation of a terraced landscaped retaining wall with an accessible ramp and appropriate fence treatment.
- Within the 6 m setback along the east property line, landscaping will be integrated into stepped retaining wall to provide buffering and screening to the adjacent townhouse units.
- A Traffic Impact Assessment (TIA) was undertaken by a professional traffic consultant to review the impact of the proposal to the surrounding road network (including any recommended transportation related works). City Transportation staff concur with the TIA findings confirming that the existing road network can accommodate the proposal to retain the existing temple and develop a new congregate housing facility with no additional transportation related works/upgrades recommended. This project also proposes a reduction in the number of driveways to Garry Street, decreasing potential conflict points and organizing site access/egress and related on-site vehicle circulation. In addition, a shuttle bus for the congregate housing facility and end of trip facilities for employees is being secured through the rezoning application as transportation demand management measures to be implemented in this project.
- On-site vehicle parking has been provided for both the existing temple building and proposed new congregate housing facility in accordance with the City's Zoning Bylaw requirements.
- For temple special events, the applicant has experience with special events and the management of parking and traffic during these events. To address events where additional off-street parking spaces are needed, the applicant has had a previous arrangement with the nearby school (McMath Secondary) for additional off-street parking when necessary, which they advise would continue into the future. The Richmond Event Approval Coordination Team (REACT) is also an available resource to assist with the Temple's planning and traffic management for special events.

### Analysis

### Site-Specific Zoning Approach

A new site-specific zone, "Assembly and Congregate Housing – Garry Street (Steveston) (ZR12)", is proposed to allow retention of the existing temple and development of the congregate housing complex on the subject site. Permitted and secondary uses are consistent with the activities of the proposal. The proposed zoning regulations on density, coverage, setback and building height in the new zone are supported on the following basis.

- The proposed density of 0.78 FAR and 40% lot coverage is consistent with the proposed OCP designations for the subject site and takes into account the retention of the existing temple and associated floor area.
- For the congregate housing facility, 6 m (20 ft.) setbacks to the park (south) and townhouses (east) are provided for level 1 of the complex only (structured parking and congregate housing amenity/communal areas). For Levels 2 through 4, the building is pulled back providing an increased setback of 9 m (29.5 ft.) for the east side yard

- (townhouses) and 7 m (23 ft.) setback to the park (south). The proposed 14.5 m (47.6 ft.) setback on the west takes into account the space needed to accommodate the drive-aisle, row of parking and landscape area.
- The maximum 15 m (49 ft.) building height in the zone is for a mechanical enclosure along the west side of the congregate housing facility. The height to the top of the roof ridge of the remainder of the congregate building varies from approximately 13.7 m (45 ft.) to 14.2 m (46.6 ft.). The building has been designed to present reduced massing and height to the townhouse complex to the east and break up the building form into separate, distinctive masses.

### **Built Form and Architectural Character**

The presence and frontage of the existing temple building along Garry Street will remain with the site's redevelopment. The temple building's presence along Garry Street is being strengthened through the removal of two driveways along the site's Garry Street frontage and enhancements to existing ornamental/decorative gardens in the temple's front yard area. The overall exterior of the temple will remain, except the gymnasium, which will be removed.

The congregate housing complex is located on the rear (south) half of the subject site and generally consists of four storey massing along 3 elevations (south, west and north) and reduced to three storey massing along the east elevation in response to the existing neighbouring two storey townhouses. The congregate housing facility consists of a quadrangle design with an outdoor courtyard area located in the centre for resident use (located on Level 2). The ground level (Level 1) contains a majority of the communal programmed areas (dining, social areas, administrative and services) and enclosed parkade. Levels 2, 3 and 4 contain the congregate care units. Parkade access and general loading/service areas of the facility are proposed to be situated at the southwest corner of the site.

### Transportation and Site Access

The existing driveway access configuration to the temple site is proposed to be modified by providing a single driveway for access and egress at the north west portion of the site from Garry Street. The site access proposal results in a decrease in driveway accesses to the subject site from three (existing) to one proposed driveway, which is supported.

The off-street parking and vehicle circulation is arranged around a main north-south drive-aisle along the west edge of the site providing driveway access to the structured parkade area integrated with the congregate housing complex. On-site vehicle circulation in the surface parking lot area is designed to access the temple off-street parking areas and allow a vehicle turnaround located at the front of the temple adjacent to Garry Street for limousine vehicles to stage and manoeuver on-site for specific ceremonies (i.e., funeral services).

A Traffic Impact Assessment (TIA) was undertaken by a professional traffic consultant to review the impact of the proposal to the surrounding road network (including any recommended transportation related works). City Transportation staff concur with the TIA findings confirming that the existing road network can accommodate the proposal to retain the existing temple and

develop a new congregate housing facility with minimal impacts and no additional transportation related works/upgrades recommended.

A total of 147 off-street parking stalls will be provided on the subject site (95 parking stalls for temple use and 52 parking stalls for the congregate housing facility) which meets City Zoning Bylaw requirements for the existing temple and proposed congregate housing uses. A legal agreement will be secured through the rezoning to ensure that all remaining on-site parking stalls, except for the parking stalls allocated to the congregate residential units (34 stalls), be shared and available for both assembly uses and employees of the congregate housing facility to ensure maximum flexibility and availability of on-site parking stalls.

Other legal agreements will also be secured for the purposes of:

- Sharing one loading space between the congregate housing complex and existing temple on the subject site;
- Providing a dedicated shuttle bus for use by the congregate housing facility (as a transportation demand management measure) for programming and operational purposes;
- Provision of end of trip cycling facilities in the congregate housing facility.

For temple special events, the applicant has experience with special events and the management of parking and traffic during these events. To address events where additional off-street parking spaces are needed, the applicant has had a previous arrangement with the nearby school (McMath Secondary) for additional off-street parking when necessary, which they advise would continue into the future. The Richmond Event Approval Coordination Team (REACT) is also an available resource to assist with the Temple's planning and traffic management for special events.

### Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The report assesses 23 bylaw-sized trees on the subject property and 24 street trees on City property (road and park).

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- Trees to be retained on-site where development activity will be occurring is required to have tree protection fencing in accordance with the consulting arborist recommendations.
- Trees proposed to be relocated (i.e., Trees # 5; 6) require confirmation that a qualified tree moving company have been hired to undertake the work.
- Replacement trees should be specified at 2:1 ratio as per the OCP.

### Tree Replacement

The applicant wishes to remove 11 on-site trees (Trees #7; 10; 11; 43, 16; 17; 18; 19; 20; 21; 22). The 2:1 replacement ratio would require a total of 22 replacement trees. Based on a preliminary conceptual landscape plan, a total of 79 new trees are proposed to be planted on-site, which complies with and exceeds the 2:1 replacement ratio. The forthcoming Development Permit will

review the size and species of new proposed tree plantings over the entire site, including replacement trees in accordance with minimum sizing requirements as per Tree Protection Bylaw No. 8057 and summarized in the table below:

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
8	6 cm	3.5 m
2	8 cm	4 m
12	9 cm	5 m

### *Tree Retention and Protection – On-Site*

The applicant has submitted a plan showing the trees to be retained, removed and relocated (Attachment 8). To ensure that the trees identified for retention are protected at development stage and prior to any works related to development activity on the subject site (i.e., preload, construction staging etc.), the applicant is required to install tree protection zones, in accordance with the City's Tree Protection Information Bulletin Tree-03, around all trees to be retained.

### Tree Retention and Protection - City Land

Parks staff have reviewed the project in relation to existing trees located on City property (i.e., trees in Steveston Park adjacent to the south property line and existing street trees along Garry Street) and have identified the following requirements.

- Tree protection fencing is required to protect the trees in Steveston Park and along Garry Street to City specifications.
- An ISA certified arborist is required to be engaged to review all on-site works to ensure
  City trees are not impacted and/or identify an appropriate management plan
  (in conjunction with and approval from the City) where development related works may
  impact City trees.
- One street tree along Garry Street (Tree # 2) will need to be removed and/or relocated/replaced as a result of the driveway modification on the west side of the subject site as per the direction of Parks staff through the review of the frontage works along Garry Street for this project.

### **Steveston Park Interface**

The project has a direct interface with Steveston Park along the entire south property line of the subject site. A row of mature deciduous trees (approximately 10 total trees) located in the park is adjacent to the south property line. An asphalt pathway to the south of and parallel to this row of trees exists as part of a public pathway in the park. The existing pathway will continue to function as it currently exists, with a direct connection between the park and subject site being provided for congregate residents, employees and assembly users.

The transition from the congregate housing complex to the park is a stepped retaining wall proposed on-site between the grade level parkade structure (Level 1) and south property line adjacent to Steveston Park. This retaining wall has been designed to accommodate a universally accessible ramp with landscaping integrated in the structure and also provides screening to a majority of the grade level parkade structure. In addition to the accessible ramp, a staircase is proposed to be located generally in the middle of the subject site. The accessible ramp and

staircase provides access to the outdoor courtyard area for the congregate housing project located on Level 2. A wooden fence with a decorative trellis is proposed along portions of the south property line where there is no stepped retaining wall (west half of site and far east portion of site). This fence provides appropriate security to the congregate housing complex site and is designed to integrate well with the park. Parks staff support the proposed conceptual interface and landscape treatment adjacent to Steveston Park and will work to advance design development and landscape treatment through the Development Permit application.

### **Amenity Space**

Indoor amenity areas in the congregate housing complex are provided for resident use primarily on the ground Level 1 with communal space available for meals, lounge/seating areas and programming for resident activities.

Outdoor amenity areas are focussed around the courtyard space located in the centre of the congregate housing complex on the second level (above the parking structure). The preliminary landscape concept for the courtyard space proposes a landscaped space with multiple walking paths in conjunction with supporting structures and water features. In addition, an open space between the existing temple and proposed congregate housing complex will provide additional outdoor amenity space for both resident and temple uses.

### Site Servicing and Frontage Improvements

Frontage works will be required to close 2 existing driveways to the subject site and widen the existing west driveway as part of the redevelopment. A concrete sidewalk, boulevard (with street trees) and curb and gutter to match the existing frontage treatment along Garry Street will be implemented for the 2 driveways proposed to be closed.

The developer is also required to install new service connections (water, storm and sanitary) to the subject site (including metering infrastructure where appropriate) and cut and cap previous service connections to the satisfaction of Engineering staff.

The noted frontage works along Garry Street and site service will be completed through a City Servicing Agreement or other process (i.e. work order) prior to issuance of a building permit for the subject site as outlined in Attachment 9.

### Design Review and Future Development Permit Application Considerations

A Development Permit is required to be processed to the satisfaction of the Director of Development to ensure the external form and character of the project complies with applicable Development Permit Guidelines contained in the OCP and is sensitive to and addresses the surrounding local context of the site. Further design review and refinements through the processing of the Development Permit application will be undertaken to address the following:

- Rationalize the overall congregate housing complex's approach to urban design and architecture in relation to the local context.
- Further design development of the complex's architectural features, proposed cladding materials and specific responses to improve project adjacencies to surrounding land uses.

- Landscape plan development to:
  - o Refine the planting treatment along the project's Steveston Park interface.
  - O Design development of the landscaping and related features proposed in the interior courtyard of the congregate housing facility and open space between the temple and congregate housing building based on future programming and users.
  - o Maximize opportunities for landscaping to be integrated in the off-street parking areas.
- Review the congregate housing project's relationship, presence and visibility to the fronting road (Garry Street) to determine the appropriate design and architectural response.
- Submission of a functional plan provided to confirm all traffic parking and vehicle circulation in accordance with transportation requirements for the site.
- Confirmation of the accessible and adaptable dwelling unit provisions being provided for in the congregate housing project.

### Financial Impact or Economic Impact

This rezoning results in insignificant Operational Budget Impact (OBI) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street trees, street lights, and traffic signals).

### Conclusion

The applicant has applied to the City of Richmond for permission to rezone 4360 Garry Street from the "Assembly (ASY)" zone to a new site-specific "Assembly and Congregate Housing – Garry Street (Steveston) (ZR12)" zone in order to retain the existing temple on the north half of the site and allow for a 107 unit congregate housing complex on the south half of the site.

The proposed rezoning also requires an amendment to the OCP to re-designate the rear portion (southern 72 m) of the site from:

- Community Institutional to Apartment Residential in the 2041 OCP Land Use Map to Schedule 1 of the OCP; and
- Institutional to Multiple Family in the Steveston Area Plan Land Use Map to Schedule 2.4 (Steveston Area Plan).

The proposal to retain the temple and develop a new congregate housing complex on the site complies with existing OCP policy applicable to redevelopment of Community Institutional designated land in the OCP.

It is recommended that OCP Bylaw 7100 and 9000, Amendment Bylaw 9813 and Richmond Zoning Bylaw 8500, Amendment Bylaw 9814 be introduced and given first reading.

Kevin Eng Planner 2

### KE:cas

Attachment 1: Location Map

Attachment 2: Conceptual Development Plans

Attachment 3: Development Application Data Sheet

Attachment 4: Public Correspondence

Attachment 5: Public Open House on November 15, 2016 – Developer Submitted Materials

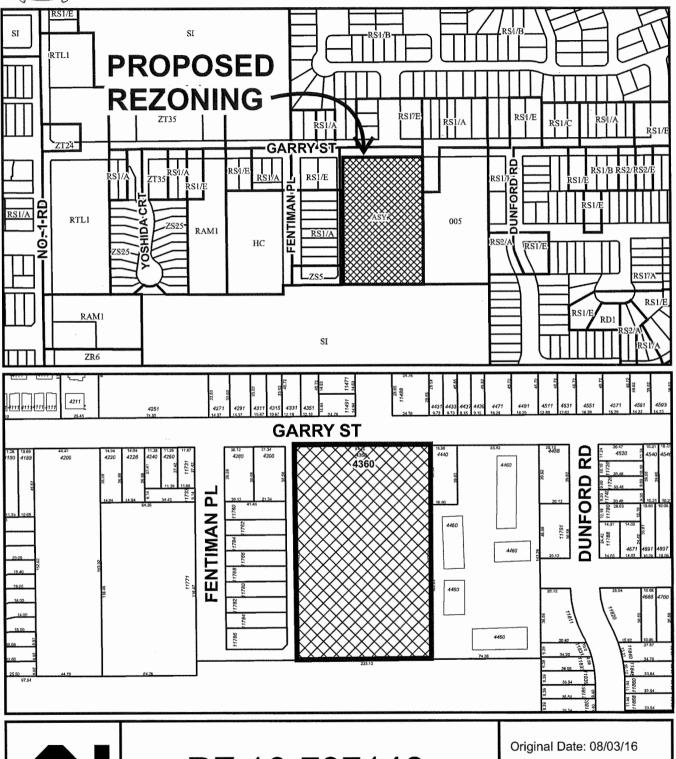
Attachment 6: Public Open House on April 25, 2017 – Developer Submitted Materials

Attachment 7: Shadow Diagrams

Attachment 8: Proposed Tree Retention, Relocation and Removal Plan

Attachment 9: Rezoning Considerations





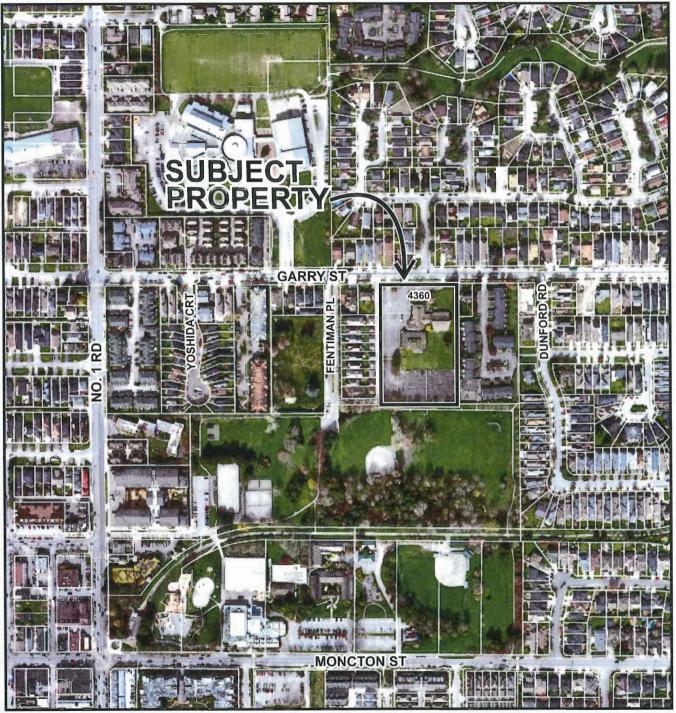
N

RZ 16-737146

Revision Date: 12/07/17

Note: Dimensions are in METRES







RZ 16-737146

Original Date: 08/03/16

Revision Date: 12/08/17

Note: Dimensions are in METRES







# ATTACHMENT 2

Fig. 2016   Fig. 2017   Fig.	MACHINE SERVICE COUNTY  MACHINE SERVIN SERVICE COUNTY  MACHINE SERVICE COUNTY  MACHINE SERVICE COUNTY	
Coverage  Covera		TAXA
ASY	COTTING CARA   CONTING CARA   CONT	CONDEC AN INVESTMENT
CONT. ACROMENS BY STATES BY STATES CONT. ACROSS BY STATES CONT. ACROSS BY STATES BY ST	TOTAL GENERAL   TO TREMMONTO (OVM)   SULDING [ES]	SCALE PRINCIPLE CACLETIES



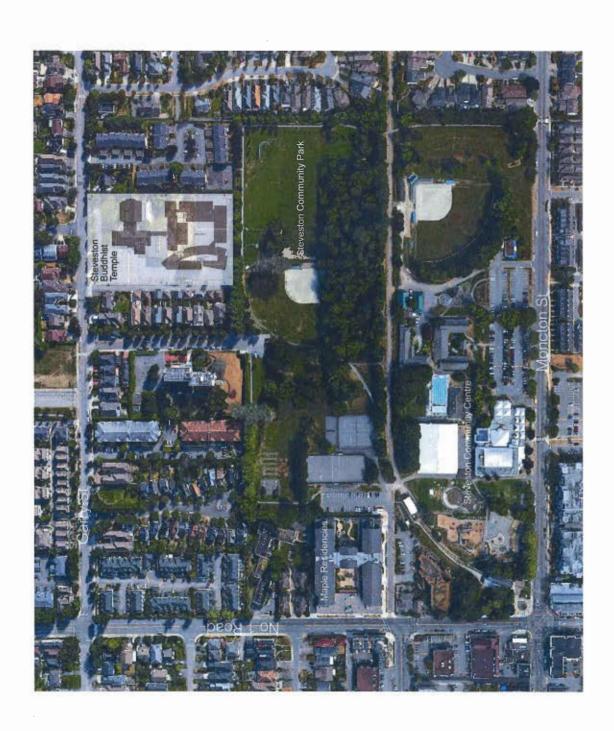


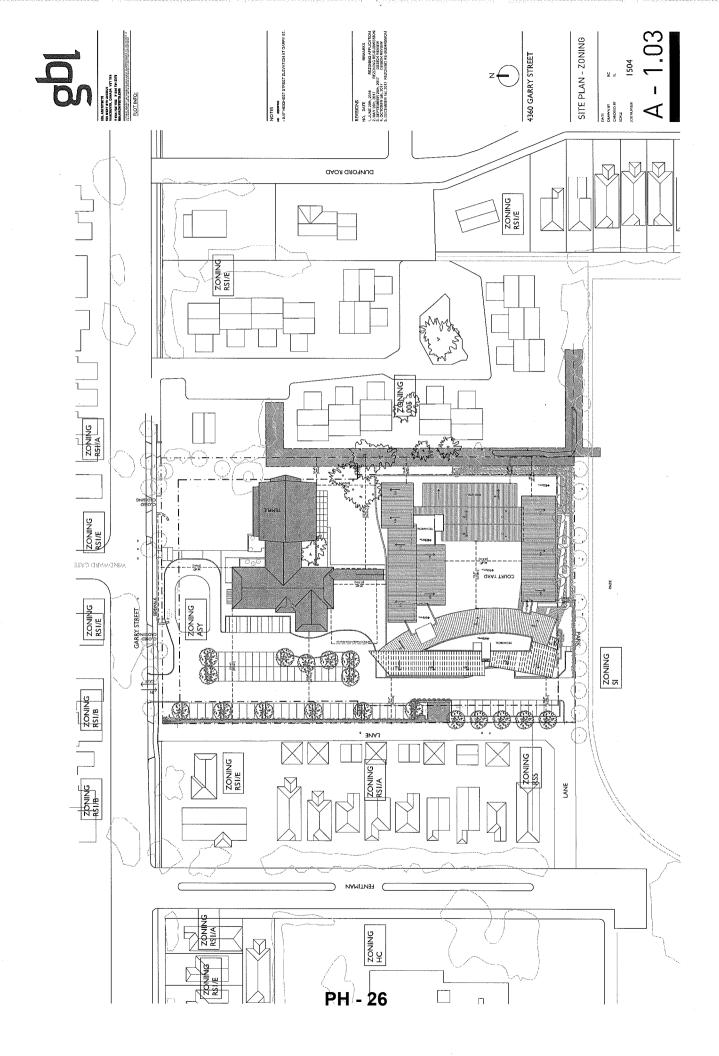


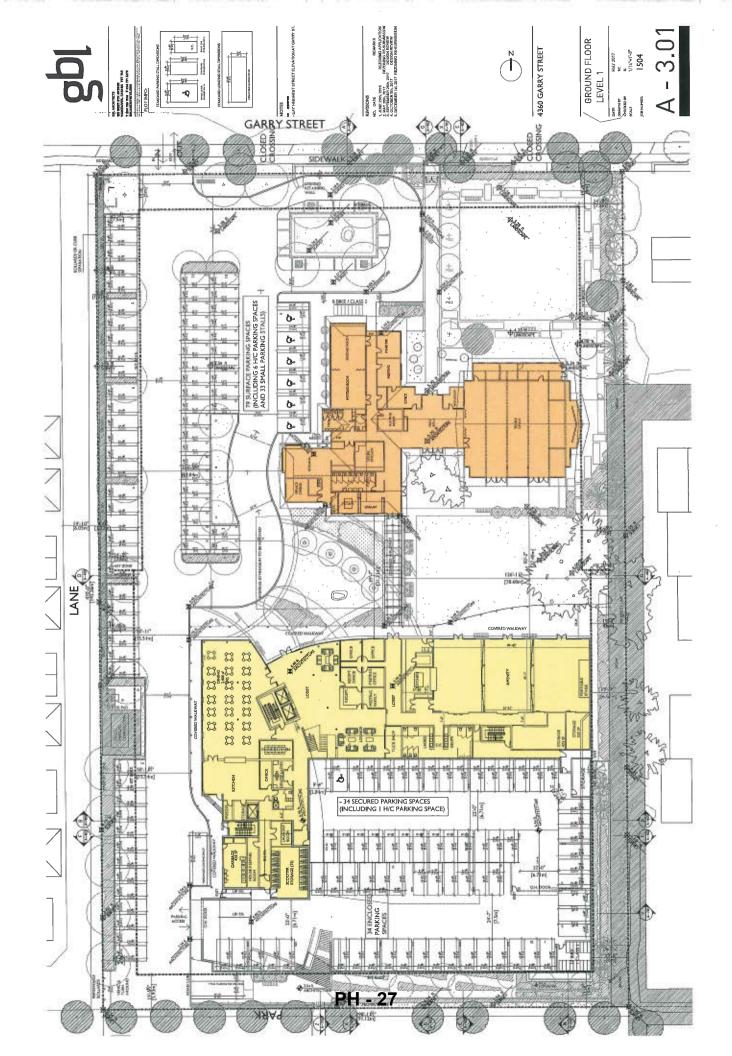
CONTEXT PLAN

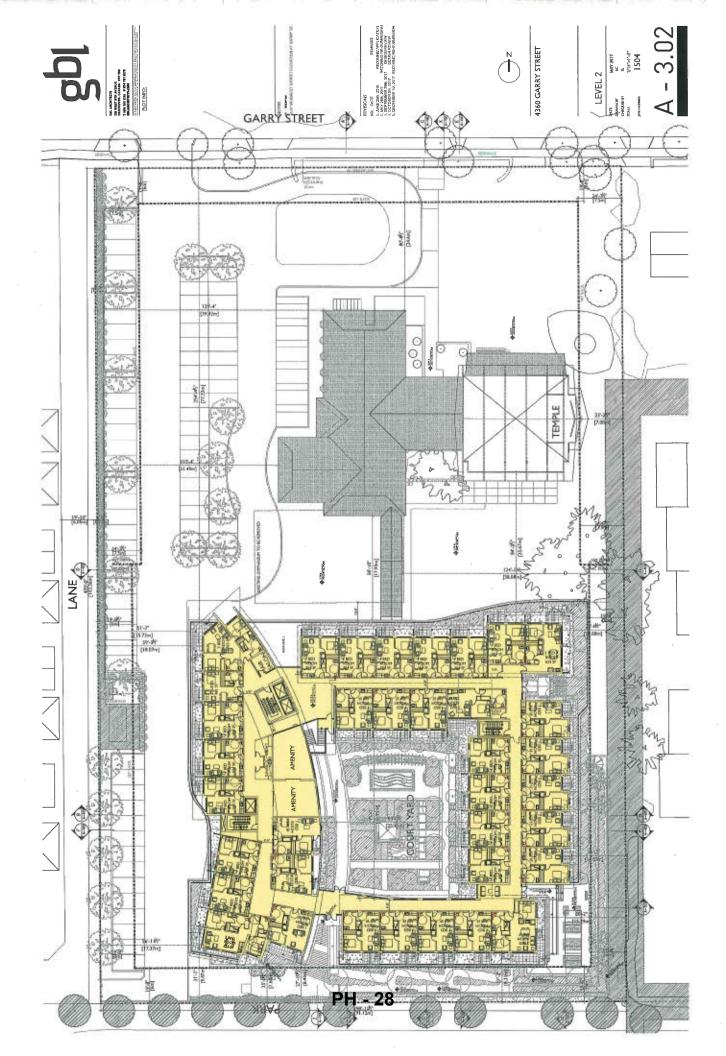
CONTEXT PLAN

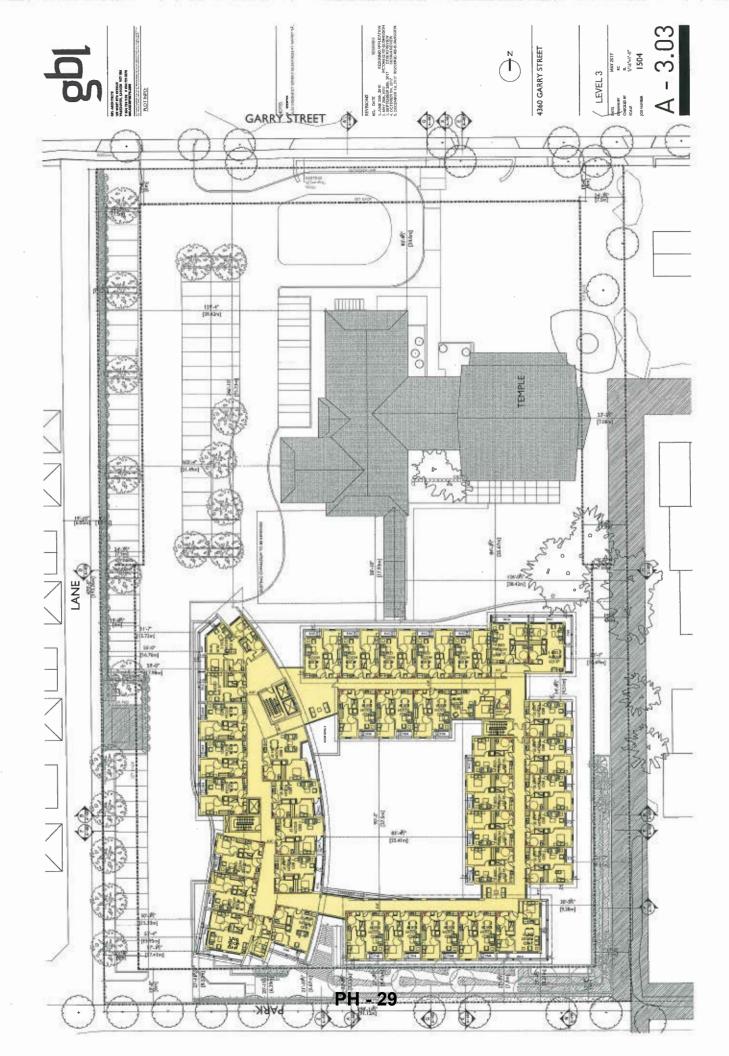
Considering to the content of the cont

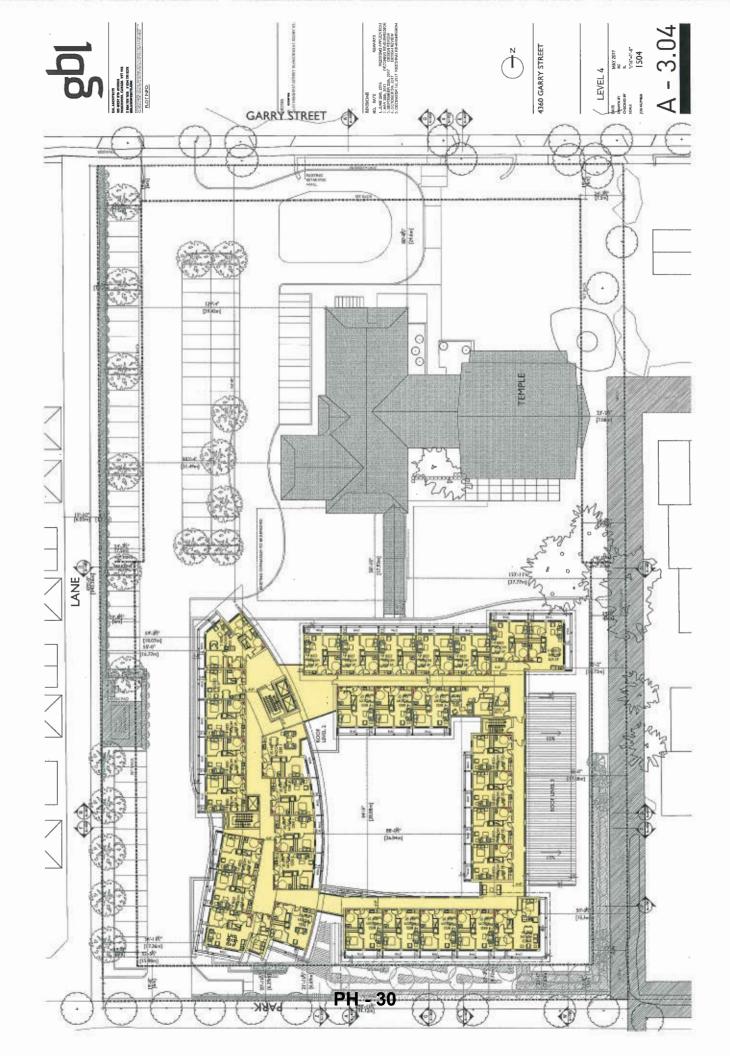


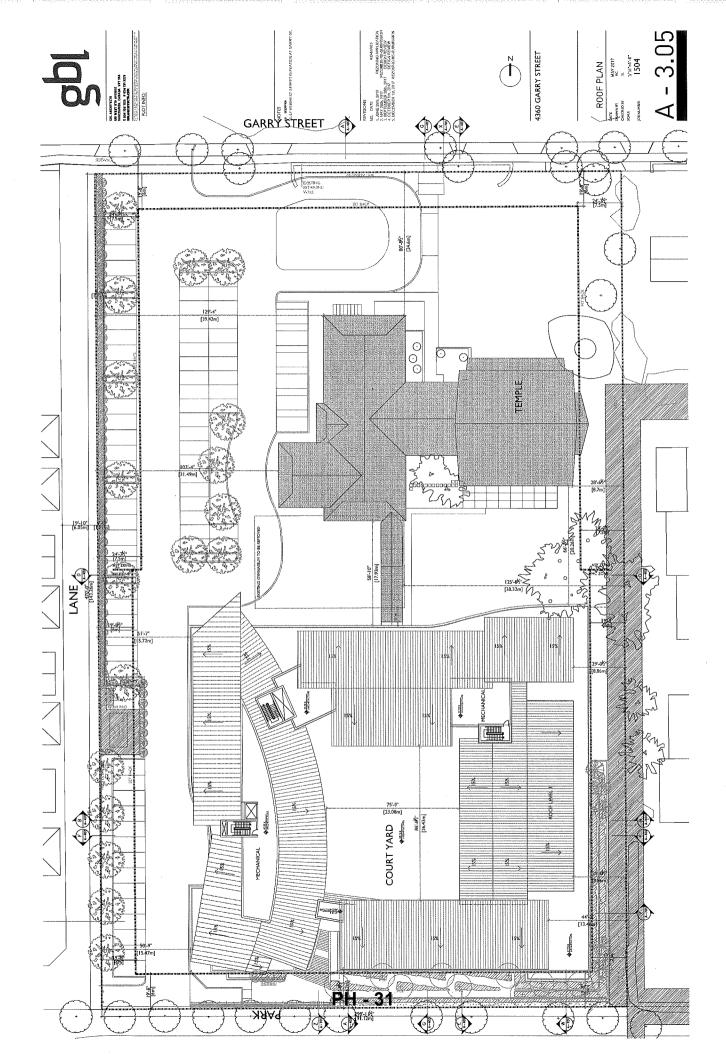


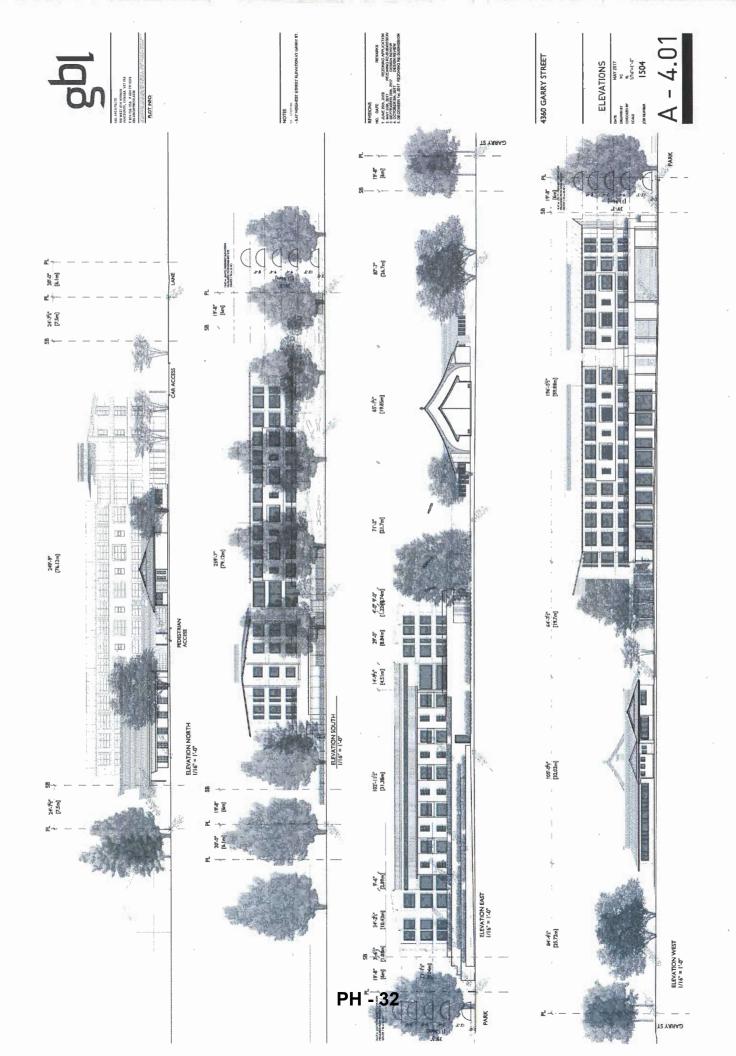


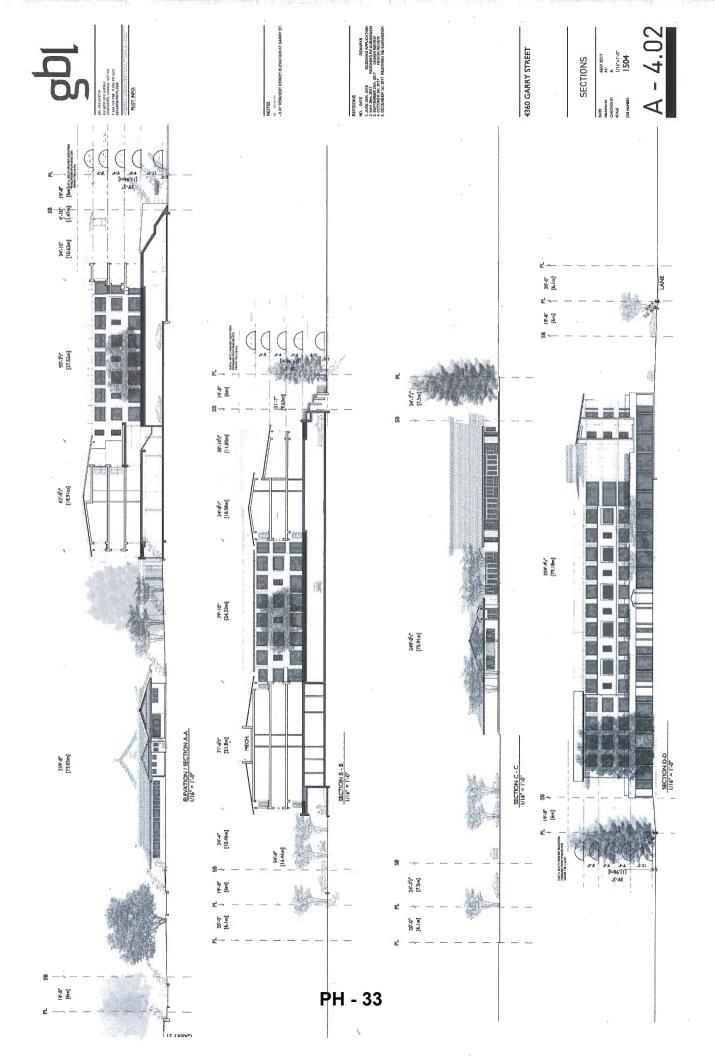


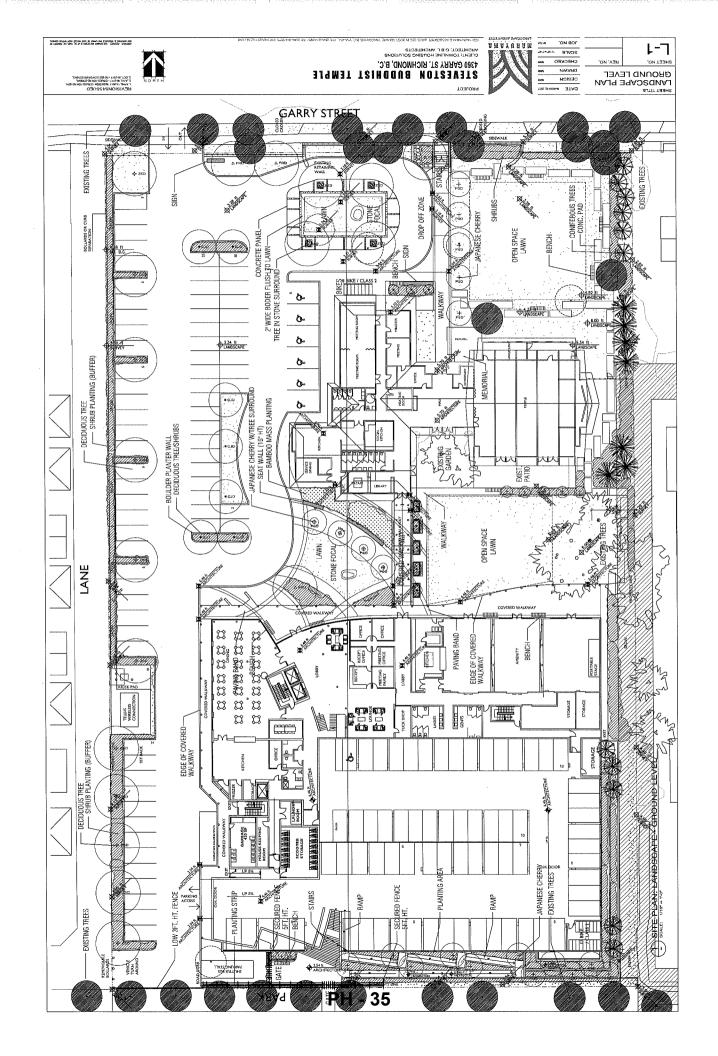
















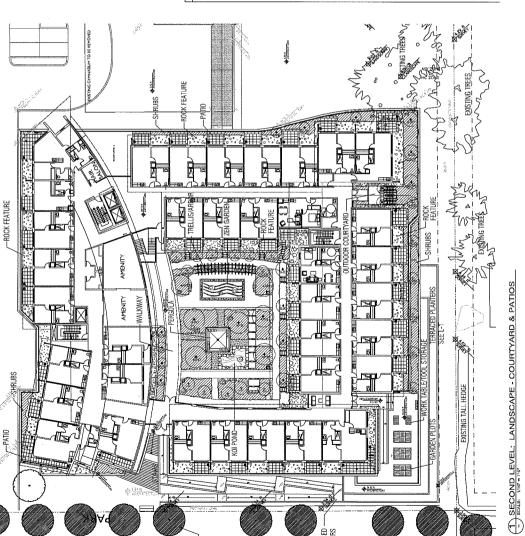


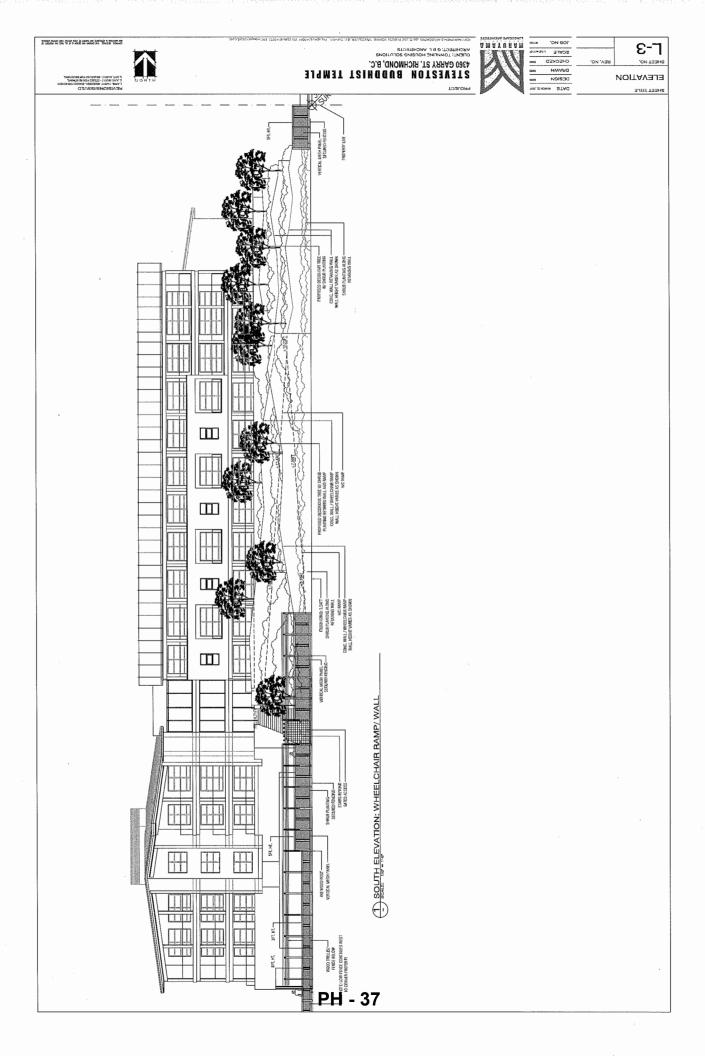




# SUGGESTED PLANT LIST:

BOTANICAL NAME	COMMON NAME	SIZE	COND.
ACES CIRINATUM	VINERARPLE	25M HT.	8.58
ACES PALMATUM	JAPANESE MAPLE	2.5M HT.	00 c
CERCIDIFF YLLLIM JAPONICUM	KATSUM TREE	S CM CM.	an a
HEATING UNICATION NATIONAL	NATIVIDIA PARI	3.2M HT.	8 8 8
MAGNO UNS SOUTH ABBANA RUSTICA RUBRA	SAUCER MAGRICUA	5 CM CAL	88.0
WICHOLD X, GALAXY	GALAXY MAGNIDUA	\$CMCM.	3.58
PRUBUS AMARKAGAWA	AMANAGAWA CHERRY	SCHOLL	-6
PRUNIUS SERRICATA SHRUTAE	MANDELLA CHERRY	d action	200
FIGURES TENDENCIS PARTICINA	INDANESE CHOMBELL	275,0117	2 4
JAPANESE ZELKOVA	JAPANESE ZELKOVA	6 CM, CAL	848
PINUS RISBA	AUSTRIAN PINE	3.DMHT.	888
PIDEA DAIDRIKA	SERRITAN SPRINCE	3.0MHT.	8.68
PINUS STROBUS	EASTERN WHETE PINE	3.9M HF.	e
RHIS I YFHRA USSECIA	LACELEAF SUMM	Sammer.	0 C
CENTRE CHARACTERS	MEN DEL CHARLES COCCANODIO	2000	0 0
CORNIES NITT FORES MAITE WOLDER	FDDPTS WHITE WONDER	SCMCAL	8 8 8
SORBITE AKIDBY ALA	AMERICAN KORMAN ASH	SCMCM	
SORBLE STICHENSIS	SITKA MOUNTAN ASH	3.5M HT.	8.4.8
ALICUINA JAPONICA YOUR DITIEST	MPANESE AND IRA	en	CONTAINER
ACTION INFORMER SPRINGER	TOOTHED ACHBA	183	CONTAINER
AZACEA JAPONICA GLIAPO PIEK	PLACE AZALEA	42	CONTAINER
MACIS MICROPERITA WINTER DEM	WATER GEM BOXONODO	: 12	CONTAINER
BLOUS SEMPRIVINESS	CORRIDE BOXWDOD	2	CONTAINER
COTINUS COGGIGEDA	SMOKE BLUSH	1.0 M HT.	CONTANER
CAMELLIA JAPOHBICA MOSHID FLAME	JAPANESE CAMELUA	*3	CONTAINER
CORNUS SANGIINEA	BLOODTWIG DOGWOOD	£3	CONTANER
CORNUS STOLONIFERA	HED OSIER DOG*#00D	£3	CONTANIER
EUDHYMUS ALATUS COMPACTUS	DWARF BURAING BUSH	<b>2</b> 1	CONTAINER
ESCALLUNIA NEWFON DWARF	NEWTORI LIWARI ESTACIONIA	2.5	CONTAINEN
HENDENICA SCHOOL A BUJESHU	BLUEBBUD HTUNARIUSA	200	CONTAINED
AUGUSTANIA STANIA STANIA STANIA	SPREADING A MPSE		CONTAMEN
JULIPERUS CHIV. PRIZER, AUREA	GOLDEN PETIZER JUNIPER	*3	CONTAINER
NURBPERUS SABINA CALGARY CARPET	ANDORRA JUNIPER	*3	CONTABER
GALMIN LATFOLIN	MOUNTAIN LAUREL	#3	CONTAINER
JONICERA PILEATA	PRIVET HOMEYSLICKLE	2	CONTAINER
WALIDNIA AGUIFOLLIM	ORESON CRAPE	e -	COMMER
TERIS JAPONICA FURES) FUNE	SAPARESE PIERIS	200	CONTAINED
TICHS AND TANKSHIP TICKNET	MESTERN SWITCH FERE		CONTABER
PHODODENDRON BOW BELLS	BOW BELL RHOOD.	4	CONTAINER
SHODODENDROM CHEER	CHEER MHGDD,	£3	CONTAINER
MODODELIDION DORA AMETELS	DORA AMETES RHODO.	43	CONTAINER
SHODOMETHINGS HACHESTANIS HALLASTICA	HANIAS HE RESUGIFICACION		CURINIES
SHUDO HUYAL PINK	HUXAL PINK SHOULL, INJURIE BEIDE	2 2	CONTAINER
SPIRACA HIMMI DA DAHTS RED	DARTS RED	1 1	CONTAINER
SARCIDICA HICKERAM HAMBES	HIMMLAYAN SWELT BOX		CONTAINER
SKIMMA JAPOHANA REEVESIANA	JAPANESE SKRARJA	63	CONTAINER
SPIRAEA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPIRMEA	£3	CONTAINER
SARCODOCCA RUSCIFOLIA	FRAGRANT SWEETBOX	*2	CONTAINER







# **Development Application Data Sheet**

**Development Applications Department** 

RZ 16-737146 Attachment 3

Address: 4360 Garry Street

Applicant: Steveston Buddhist Temple Society

Planning Area(s): Steveston Area Plan

	Existing	Proposed
Owner:	Steveston Buddhist Temple	No change
Site Size (m²):	13,043 m <sup>2</sup>	No change
Land Uses:	Existing temple and supporting off- street parking	Existing temple, new congregate housing complex an supporting off-street parking
OCP Designation:	Community Institutional	North half – No change South half – Apartment Residential
Steveston Area Plan Designation:	Institutional	North half – No change South half – Multiple Family
Zoning:	Assembly (ASY)	New zoning district – Assembly and Congregate Housing – Garry Street (Steveston) (ZR12)
Number of Units:	N/A	107 congregate housing units

On Future Subdivided Lots	Zoning District Requirements (Proposed)	Proposed	Variance
Floor Area Ratio: Total	0.78 FAR	0.77 FAR	none permitted
Floor Area Ratio: Congregate Housing	0.7 FAR (9,130 m <sup>2</sup> )	0.7 FAR	none permitted
Floor Area Ratio: Temple (existing)	0.08 FAR	0.07 FAR	none permitted
Lot Coverage (% of lot area):	40%	34%	none
Lot Size:	13,043 m²	13,043 m²	none
Setbacks (m): Religious Assembly	Front: Min. 20 m Rear: Min. 80 m Side (east): Min. 7 m Side (west): Min. 30 m	Front: 24 m Rear: 84 m Side (east): 7 m Side (west): 31.5 m	none
Setbacks (m): Congregate Housing	Front: Min. 70 m Rear: Min. 6 m Side (east): Min. 6 m Side (west): Min. 14.5 m	Front: 75 m Rear: 6 m Side (east): 6 m Side (west): 15 m	none

On Future Subdivided Lots	Zoning District Requirements (Proposed)	Proposed	Variance
Height (m):	12 m (Religious Assembly) 15 m (Congregate Housing)	Approximately 8.3 m (Existing Religious Assembly) 14.7 m (Congregate Housing)	none
Off-street Parking Spaces – Religious Assembly	95 stalls	95 stalls	none
Off-street Parking Spaces – Congregate Housing	52 stalls total (34 resident stalls; 18 employee stalls)	52 stalls total (34 resident stalls; 18 employee stalls*)	none
Off-street Parking Spaces - Total:	147	147	none

\*Use of congregate housing employee parking stalls by assembly uses secured through legal Other:

5734838 **PH - 39** 

Mark & Angie Robertson #19-4460 Garry Street Richmond. B.C V7E 2V2

Telephone 778-232-4309

September 6th 2016

Dear Mr Eng,

We are writing to Richmond City Council to formally object to the proposed rezoning application at the rear of Steveston Buddhist Temple 4360 Garry Street .Richmond B.C. from an Assembly Zone to a Site Specific Zone to allow a four (4) story congregate housing development. File No RZ 16-737146.

The reasons we are objecting are as follows.

- 1. The height of the building far exceeds the surrounding dwellings. The proposed building is four stories high which is not acceptable in a residential area where the height of the surrounding homes are two (2) stories. This will eventually mean a height of some five stories including the roof. The plans viewed at the meeting shows a total height in excess of fifty (50) feet. This is unacceptable
- 2. Due to the size of the proposed new building we will be deprived of sunlight to our property. Thus impacting our quality of life . This is unacceptable .
- 3. There are privacy issues with the proposed construction having balconies and windows that will not only overlook our property, but that of our neighbours property. Also affecting our quality of life. This is unacceptable
- 4. There will be the issue of drainage. The new building will have a considerable footprint this will result in the flooding of not only our property, but also the park adjacent to the proposed new construction. There is already an issue with the park flooding during heavy rain.
- 5. There is going to be a huge noise impact with generators ,HVAC units, delivery vehicles etc .
- 6. The proposed building is on Steveston Buddhist Temple grounds thus changing a religious property assembly ( non profit ) into a business congregate housing ( profit ) .
- 7. There will be an impact of sirens from emergency vehicles at all hours as there is a proposed medical facility.

- 8. There will be a parking issues as there are 104 units proposed and only parking for 36 residents vehicles . In addition the Temple parking will be limited with this new proposal . Garry Street is already a busy side street with a high school opposite the Temple. Parking is already an issue to residents when there are special events , both at Mc Math High school and the Steveston Buddhist Temple .
- 9. There will be an issue with night time lightning on the side of the proposed new construction impacting our quality of life .
- 10. There is no public right of way shown on the plans . As required by Richmond City council. This has been omitted from the plans viewed .
- 11. The geographical location of the proposed development is in itself will cause considerable traffic concerns. Garry street is a small side street and large delivery vehicles will cause problems
- 12. This proposed development will have a negative impact on the value of our property. We purchased this property 25 years ago knowing that there was an unobstructed view of the surrounding park not a view of a housing development.

In closing please consider the impact this proposed rezoning application for development will have not only on us, our neighbours, but also the property owners in the surrounding area.

Thank you Mark & Angie Robertson

## Donna Matheson

#20 – 4460 Garry St. ♥ Richmond, B.C. V7E 2V2 Phone: 604-274-2857 • E-Mail: dlmatheson55@gmail.com

Date: 2016-09-06

Policy Planning Department City of Richmond, 6911 #3 Road Richmond, BC V6Y 2C1

Re: Rezoning Application at 4360 Garry St. (Steveston Japanese Buddhist Temple)

File No. RZ 16-737146

#### Dear Sirs:

I would like to thank your representative from the Policy Planning Department for the meeting on August, 30<sup>th</sup> to go over the Rezoning Application (File No. RZ 16-737146) submitted by the Steveston Japanese Buddhist Temple at 4360 Garry Street. I appreciated the thoroughness of the explanation of the proposed zoning change and building plans.

My residence at 4460 Garry Street is immediately adjacent to the east of the proposed rezoning and development site. For 30 years I have been able to say that I live in one of the best residential areas of Richmond by backing on to Steveston Park and the Buddhist Temple.

Having studied the plans I feel that I must oppose the Rezoning Application (File No. RZ 16-737146) which would change the zoning at 4360 Garry Street from "Assembly Zone" to "Site Specific Zone to allow a Four Storey Congregate Housing Development".

The reasons for my objection to the Rezoning Application are:

- By submitting the rezoning application the Steveston Buddhist Temple is applying to change
  the scope of the existing neighbourhood. They are proposing to move from a "House of
  Worship" to a "business". They are proposing to go from a non-profit organization to a business
  for profit. I did not buy my home 30 years ago in a residential neighbourhood to be beside a
  large scale "business".
- 2. The height of the proposed structure in a predominantly residential neighbourhood. The peak of the new structure will be 50′ 5″ (four levels with a peaked roof structure). I believe that this is far too high to be built in an established residential area primarily filled with 2 level homes and townhouses. The height of the new building will significantly affect my home and all of the townhouses along the west of our complex by blocking sunlight, reducing air flow, eliminating all views of Steveston Park and losing all privacy from my backyard by having three levels of units looking into my yard and home. The height of the structure will also block all afternoon

PH - 42

sun from the Garry Estate playground, which is located in the south-west corner of the townhouse complex.

## a. Questions –

- i. What is the height restriction of buildings in a residential neighbourhood that are currently filled with one and two level homes?
- ii. The City of Richmond was having significant issues with the construction of three level homes in existing neighbourhoods. How then can a 50' structure be approved in a residential neighbourhood?
- iii. Is there a height restriction for building constructed on non-arterial roads?
- 3. The proposed structure is within 24' of the property line of Garry Estate and 24' from Steveston Park. I believe that this too is far too close to the existing property lines.
- 4. The footprint of the proposed structure will be using all of the back parking lot of the Steveston Buddhist Temple. When there are large events at the Temple (funerals, Obon Festival etc.) the majority of the parking will now need to overflow onto Garry Street. With restricted parking from the "street calming" and "School Zone no parking" areas near McMath Secondary School there will be an increase in the congestion on Garry Street. There will also be a significant increase in vehicle traffic along non-arterial road by adding 104 residential units to 4360 Garry Street.
- Being that the proposed development is for Senior's housing, there will be an increased flow of emergency vehicles to the neighbourhood.
- 6. With the construction of a 50' high residence to the immediate west of our property I believe that there will be a reduction in the value of our property. In the past, realtors have always used the "openness" of our complex with the view of Steveston Park as a selling feature. This will not be the case with the construction of a 50' high structure in close proximity to our property line.

I appreciated the opportunity to express my concerns about the proposed development at 4360 Garry Street. I love living in Steveston and appreciate all that it has to offer.

As previously mentioned, I am opposed to the rezoning from "Assembly Zone" to "Site Specific Zone" at 4360 Garry Street.

Sincerely,

Donna Matheson

atleson

Ann Smedes #21 4460 Garry Street Richmond, BC V7E 2V2

September 11, 2016

Policy Planning Department City of Richmond 6933 No. #3 Road Richmond, BC V6Y 2C1

Dear Sirs:

RE: File No. RZ16-737146

Rezoning Application at 4360 Garry St. (Steveston Japanese Buddhist Temple)

I live at 4460 Garry Street, which is right beside the proposed rezoning and development site at the Japanese Buddhist Temple at 4360 Garry Street.

I have looked over the proposed plans and I must oppose the Rezoning Application – File No. RZ 16-737146 – which would change the zoning at 4360 Garry Street from "Assembly Zone" to "Site Specific Zone" to allow a four storey congregate housing development.

The reasons for my objection to the rezoning application are:

- The rezoning application the Steveston Buddhist Temple is applying for will drastically change
  the scope of the existing neighbourhood. They are proposing to move from a church to a
  business. They are proposing to go from a non-profit organization to a business for profit.
- 2. The height of the proposed structure in a predominantly residential neighbourhood.
  - The peak of the new structure will be 50'5" (four levels with a peaked roof structure). This exceeds the height of allowed dwellings in the residential area which is primarily 2 level homes and townhouses.
  - ii) The height of the proposed new structure will significantly affect my home and all of the townhouses along the west of our complex by blocking sunlight, reducing air flow and losing all privacy from our backyards and balconies.
  - iii) I am highly affected by lack of sunlight and bought a unit facing west for that reason. I will lose all sunlight and my unit will be very dark.
  - iv) The height of the structure will also block all afternoon sun from the playground in Garry Estates, which is located in the south-west corner of the townhouse complex.
- 3. The proposed structure is within 24' of the property line of both Garry Estates and Steveston Park. This is too close for the additional noise (air conditioners, fans, exhaust) the proposed new structure and its occupants would make. If there is "fill" required to bring the new building up to road grade level then both Garry Estates and Steveston Park could suffer from serious "run-off" problems when it rains.

- 4. The proposed structure will be using all of the back parking lot of the Steveston Buddhist Temple. When there are large events at the Temple, the majority of the parking will now need to overflow onto Garry Street. With restricted parking from the "street calming" and "School Zone no parking" areas, there will be an increase in the congestion on Garry Street.
- 5. There will also be a significant increase in passenger and delivery vehicles along a non-arterial road, already seeing increased traffic due to the high school, by adding 104 residential units to 4360 Garry Street.
- 6. Being that the proposed development is for Senior's housing, there is the potential of an increase in emergency vehicles to the neighbourhood.

As previously mentioned, I am opposed the proposed rezoning.

Sincerely,

Ann Smedes

## Eng, Kevin

From:

Lorne or Jennifer Schmidt < lornejen@shaw.ca>

Sent:

Sunday, 11 September 2016 11:20

To:

Eng, Kevin

Subject:

Re 4360 Garry Street proposed plan

Importance:

High

Hi Kevin,

Writing this email to voice our opposition / concerns to the current proposed plan for 4360 Garry Street (after we have reviewed the plans dated June 2016.

- a) size of the proposed structure in particular the density (too many units) height (far too high) and set backs
- b) loss of privacy of our strata's west facing units
- c) loss of sunshine due to earlier / longer 'shade/shadow' during afternoons / evenings
- d) loss of view of the park from most of our strata's units
- e) resultant negative impact on property values to our strata and units within
- f) lack of parking particularly handicap spaces in the proposed complex which will result into parking spilling onto Garry Street and resultant greater traffic congestion and pedestrian safety

We are happy to expand on the above at your request and provide suggestions as to what proposal we would not oppose.

e.g. at very least the proposed 80' set back on the 'front' (which faces a 20' lane) for a total of 100', should be on the 'rear' (west side) of the proposed complex

Thank you for your serious consideration.

Lorne and Jennifer Schmidt 18-4460 Garry Street Richmond, B.C. V7E 2V2 11-4460 Garry Street Richmond, British Columbia V7E 2V2

September 20, 2016

Office of the City Planner City of Richmond 6911 No. 3 Road Richmond, British Columbia V6Y 2C1 Attention: Mr. Kevin Eng

Re: File No. RZ 16-737146

Dear Mr. Eng:

We are writing to express our opposition to the proposed rezoning of 4360 Garry Street. We oppose the rezoning for the following reasons:

- 1. Increased traffic on Garry Street which is a non-arterial road and which already has high traffic volume from McMath High School. Traffic will come from residents, guests, staff, emergency vehicles, etc.
- 2. Increased noise from additional traffic and increased population.
- 3. Loss of view, sunlight, airflow and privacy for our entire complex but most particularly for the west backing units.
- 4. Possible decrease in property value of our unit.

- 5. Expectation when we purchased our property that the adjacent property would continue to be used for assembly.
- 6. Loss of consistent building height along Garry Street.
- 7. Decrease in aesthetic value of Steveston Park.

Please confirm receipt of our letter. Thank you.

Yours truly,

Ann Nykyforuk and Luc Hervieux

Unit 22 – 4460 Garry Street Richmond, British Columbia V7E 2V2 September 21, 2016

Office of the City Planner City of Richmond 6911 No. 3 Road Richmond, British Columbia

Re: File No. RZ 16-737146

Dear Mr. Eng:

I wish to express in the strongest possible terms my opposition to the rezoning of 4360 Garry Street, which would allow for the construction of a congregate housing development. Such a building, as proposed, would alter the character of the park area which is so highly valued by Steveston and Richmond residents. The proposed height would be inconsistent with existing heights on Garry Street.

The increased traffic from the number of residents proposed, staff, delivery, emergency and service vehicles would further contribute to traffic problems, which Garry Street was not built to handle.

The building as proposed would mean the loss of sunlight, airflow, and privacy for all the units in our complex but especially for those of us whose back yards face west. The pleasure of our small garden would be gone. I think we had the right to expect a consistent approach to development when we purchased our property. The proposed development would result in the loss of property value.

Thank you for your consideration of my concerns.

Yours truly,

Jean Nykyforuk

## Eng, Kevin

From:

Keith Doane <kdoane@shaw.ca>

Sent:

Tuesday, 4 October 2016 10:01

To:

Ena, Kevin

Subject:

Steveston Buddhist Temple

Dear Sir,

Having reference to the application made to the City of Richmond by Steveston Buddhist Temple, we would like to be on record as disapproving of the application. We feel the proposed development is <u>not</u> appropriate for the established neighborhood. Traffic and appearance of Steveston park will be greatly affected, as will neighboring properties, such as ours.

One should keep in mind that the Temple itself, without the adjoining gymnasium, will be unable to handle the volume of their congregation and numerous celebrations. Their next step would no doubt be to build a new Temple elsewhere and apply to build additional housing, where the Temple now stands.

Yours truly, Yvonne & Keith Doane, #28-4460 Garry St., Richmond, B.C. V7E 2V2

November 6, 2016

Dear Kevin Eng,

### RE: Rezoning application RZ 16-737146

I am writing to voice my opposition to this rezoning application for the Steveston Buddhist Temple property on Garry Street. This development is completely out of character for the neighbourhood, is too big and too close to its neighbours, and will dramatically increase traffic and noise in the area.

(All measurements are taken from copies of the plans obtained from city hall on August 30)

This property is not zoned for apartments. I realize that is why they are applying for rezoning, but the request should not be granted because that would not be consistent with the existing neighbourhood. The surrounding area is made up of single detached houses and townhouses. This proposed building would be twice the height of anything in area, and would have a vastly higher density than anything else nearby.

This building would be 50'5" high. Its setback is less than 25 feet from the east property line. This will create a very high, very close 'wall' to the Garry Estate townhouses. The townhouses that back onto the Temple property will have a complete loss of privacy, sunshine and breezes.

The bottom floor of the proposed building will present the solid wall of the parking level and the kitchen windows as a 'view' for those townhouses. The residential floors above the ground level will offer 3 levels of apartment windows looking down, and into, the townhouse bedrooms and living rooms. This is a massive loss of privacy, which will likely result in the townhouses keeping their blinds closed all of the time, effectively removing the use of their windows. That is hardly reasonable or fair. And if that kitchen vents its fans out the side wall instead of through the roof, those townhouses will have those kitchen smells pumped in their direction. That is also not fair. Are the townhouses supposed to keep their windows closed as well as their blinds drawn?

The height of the building will drastically remove the sunshine from the townhouses. Using the 'sun shading lines' from the plans (page A-4.03), the sun will be blocked to those townhouses from the fall equinox through to the spring equinox. The plans actually only show the sun shading to the north of the apartments. In order to illustrate the loss of sun for the townhouses, I've extended those same shade lines towards the east. Actually the shading would be worse than this, because the 'sun lines' on the plans are based on the sun being to the south, when the sun is at its highest. When the sun is in the west, it will be lower, so the shading of the townhouses will be more than what is mentioned here. To be more thorough and transparent, the plans should show the effect of the sun blocking in all directions, especially when it affects other peoples' residences. In addition to the peoples' loss of sunshine, the trees and plants that are east of the proposed apartment will also be in shade for over half the year. This is hardly fair for those residents who planned their gardens on the basis of having sunshine throughout the year.

Any breezes that are currently enjoyed by the townhouses will be lost. A 50 foot building that close to the townhouses will block any fresh breezes, or worse, turn the space between the buildings into a bit of a wind tunnel. Either way, it is not a desirable outcome for the townhouse residents.

The proposed 113 beds will, by necessity, create additional vehicle traffic on Garry Street. Garry Street can already be fairly busy, especially around the school start/end times at McMath. Also, given the likely age and health of the apartment residents, there will be increased traffic and noise from emergency vehicles. This noise and traffic will not be welcomed in the neighbourhood, especially during the night hours.

In conclusion, this proposed development should not be approved. It is inappropriate and out of character for the neighbourhood, too big and too close to the property lines, and will result in unwelcome increases in vehicle traffic and emergency responders' noise. This development will be detrimental to the lives of the people in the Garry Estate townhouses, and that is not fair to inflict it upon them.

Please do not approve this rezoning request.

Thank you.

Yours sincerely,

Steve Cook

Steve Cook yvrsteve@gmail.com 604.928.3179

cc. zoning@richmond.ca

## **Donna Matheson**

#20 – 4460 Garry St. • Richmond, B.C. V7E 2V2 Phone: 604-274-2857 • E-Mail: dlmatheson55@gmail.com

Date: 2016-11-17

Steveston Buddhist Temple, 4360 Garry St. Richmond, BC V7E 2V2

Re: Comments from Rezoning Open House Rezoning Application at 4360 Garry St. (Steveston Japanese Buddhist Temple) City of Richmond File No. RZ 16-737146

Dear Sirs:

I would like to thank the Steveston Buddhist Temple for providing the Garry Street neighbours with the opportunity to attend the Rezoning Open House on Tuesday, November 15, 2016. I appreciated being able to speak with and ask questions to representatives from the Buddhist Temple, the architectural firm, as well as Townline Construction.

My residence at 4460 Garry Street is immediately adjacent to the east of the proposed rezoning and development site. For 30 years I have been able to say that I live in one of the best residential areas of Richmond by backing on to Steveston Park and the Buddhist Temple.

Having thoroughly studied the plans, which were provided to me by the City of Richmond in August, and at the Open House this week I feel that I must continue to oppose the Rezoning Application (File No. RZ 16-737146) which would change the zoning at 4360 Garry Street from "Assembly Zone" to "Site Specific Zone to allow a Four Storey Congregate Housing Development". As I mentioned at the Open House I fully understand why the Buddhist Temple is putting forth the application. Firstly, you are trying to provide your senior congregation members with a place of residence close to the Temple as well as providing other Steveston Community seniors with housing close to where they have lived for years. I also understand that the Buddhist Temple needs to be fiscally responsible to your congregation and by applying to build a Senior Housing development you are able to generate funds. However, there are still many concerns for those of us that reside in the immediate vicinity.

The reasons for my objection to the Rezoning Application are:

1. The height of the proposed structure in a predominantly residential neighbourhood. The peak of the new structure will be 50′ 5″ (four levels with a pitched roof structure). I believe that this is far too high to be built in an established residential area primarily filled with 2 level homes and townhouses. The height of the new building will significantly affect my home and all of the townhouses along the west of our complex by blocking sunlight, reducing air flow, eliminating all views of Steveston Park and losing all privacy from my backyard by having three levels of units looking into my yard and home. The height of the structure will also block all afternoon

- sun from the Garry Estate playground, which is located in the south-west corner of the townhouse complex.
- 2. I feel that a 50'5" high structure is not appropriate for a residential neighbourhood, on a non-arterial road. The City of Richmond Guidelines for Steveston development specifically mentions that residential streets should be with homes not over 2 stories and taller structures should be developed along the waterfront or on arterial streets.
- 3. At the Open House the Developers provided Sun Shadow drawings for both the Spring/Fall Equinox and the Summer Solstice however, these drawings only showed the shadow affect up to 2.00 pm in both cases. I would have appreciated shadow affect drawings rendered up to sunset. Over the years we have had been able to have a clear view of the sky throughout the day. For the past thirty years I have been able to sit in the summer sunshine in my backyard until 9:00 p.m. Now we will be in the shadow of the new structure for most of the afternoon and the entire evening year round.
- 4. The proposed structure is within 24' of the property line of Garry Estate and 24' from Steveston Park. I believe that this too is far too close to the existing property lines for the height of the proposed structure.
- 5. The footprint of the square courtyard in the proposed structure is bigger than the actual Buddhist Temple itself. If the courtyard were reduced in size by ½ or even a 1/3 there would be less of an affect on those of living adjacent to the proposed structure. This could be accomplished by reducing the number of large units per floor (548 sq ft) to medium sized units (504 sq ft.) or small units (490 sq ft.) and still allow the optimum number of 104 units that you feel is necessary to be financially viable.
- 6. One way of possibly reducing the overall impact of the proposed structure would be to have a flat roof. By eliminating the eleven foot pitched roof you could change some of the "shadow affect" on our residences. However, this idea was not appreciated by two members of the designed team as they stated it would affect the "overall appearance and design" of the proposed structure.
- 7. Many presenters at the Open House continued to emphasize that "seniors don't drive" and therefor would not need cars, so there would not be an increase in traffic along Garry Street. I have to disagree with this. Seniors do drive and if they don't then someone is coming to pick them up to go shopping, visit doctors, or visit family. Garry Street, as a non-arterial road, is an increasing busy street and by adding more traffic to a narrow street with limited parking will cause significant issues.
- 8. With the construction of a 50' high residence to the immediate west of our property I believe that there will be a reduction in the value of our property. In the past, realtors have always used the "openness" of our complex with the view of Steveston Park as a selling feature. This will not be the case with the construction of a 50' high structure in close proximity to our property line.

I appreciated the opportunity to express my concerns about the proposed development at 4360 Garry Street. I have always loved living in Steveston and have appreciated all that it has to offer.

As previously mentioned, I am opposed to the current rezoning application from "Assembly Zone" to "Site Specific Zone to allow a Four Storey Congregate Housing Development" at 4360 Garry Street. If amendments were made to the application I may feel more inclined to be in favour of the application.

Sincerely,

Donna Matheson

cc: Kevin Eng, Policy Planning Department, City of Richmond.

## Eng, Kevin

From:

Shirley Ramsay <sjramsay.rogers@gmail.com>

Sent:

Friday, 18 November 2016 09:33 casey@cpadevelopment.ca; Eng, Kevin

To: Subject:

Rezoning application - Steveston Buddhist Temple RZ-737146

Hi again. It's funny what auto correction can do. Anyway, I am resending this with the reference number.

We attended the open house on November 15, 2016 and were dismayed. Our townhouse is located directly east of the proposed development, and we will lose a great deal of light if the four storey home is built. Already, there are several very large trees obstructing our view and our light. Consequently, the value of our residence will be diminished should the development proceed. A one or two storey structure would be more suitable in this area.

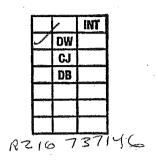
Des and Shirley Ramsay

Sent from my iPad

No. 10. 4460 Garry St., Richmond, B.C. VTE. 2V2 Now. 21, 2016

(Mas.) Geraldine May

Mayor Brokie and Council Members, 6911 No. 3. Road, Richmondy B.C.



Dear Elected Officials;

R.E. the Regaring of the Steveston Budhhart Temple; the regarder of the Steveston Budhhart Temple. President of the Steveston Budhhart Temple. It is my hope that you will not allow this request to keyone the property.

While it is commendable that Mr. Sakemoto is making plans to care for the Jupenese Seniers, from his temple, I think he should consider the effect this project will have on the existing reightenhood; that at will block off the light and air flow to the present buildings. The planned four storey building is forther operate for the proposed location.

DATE

DATE

Sours truly,

11-4460 Garry Street Richmond, British Columbia V7E 2V2

November 27, 2016

Office of the City Planner City of Richmond 6911 No. 3 Road Richmond, British Columbia V6Y 2C1 Attention: Mr. Kevin Eng

Re: File No. RZ 16-737146

Dear Mr. Eng:

We are writing to express our continued opposition to the proposed rezoning of 4360 Garry Street. We attended the Open House at the Budhist Temple on November 15, 2016 and found that we our concerns have not been addressed. We oppose the rezoning for the following reasons:

- 1. Increased traffic on Garry Street which is a non-arterial road and which already has high traffic volume from McMath High School. Traffic will come from residents, guests, staff, emergency vehicles, etc.
- 2. Loss of view, sunlight, airflow and privacy for our entire complex but most particularly for the west backing units.
- 3. Possible decrease in the value of our unit.

- 4. Expectation when we purchased our property that the adjacent property would continue to be used for assembly.
- 5. The proposed development runs contrary to the City of Richmond Plan for Steveston, which states that "...the form of new development should be guided by that of adjacent existing development, even where new uses are being introduced."
- 6. Decrease in the aesthetic value of Steveston Park.

Please confirm receipt of our letter. Thank you.

Yours truly,

Ann Nykyforuk and Luc Hervieux

11-4460 Garry Street Richmond, British Columbia V7E 2V2

February 3, 2017

Office of the City Planner City of Richmond 6911 No. 3 Road Richmond, British Columbia V6Y 2C1

Attention: Mr. Kevin Eng

Re: File No. RZ 16-737146

Dear Mr. Eng:

Please find enclosed a petition regarding the proposed rezoning of 4360 Garry Street. Thank you.

Yours truly,

Ann Nykyforuk

(annnykyforuk@gmail.com)

## PETITION TO THE CITY OF RICHMOND

The Steveston Buddhist Temple has applied to the City of Richmond for permission to rezone 4360 Garry Street from "Assembly Zone" to a "Site Specific Zone" to allow for a four story congregate housing development with 104 residential units on the rear (south) portion of the site. (City of Richmond File No. RZ 16-737146)

We the undersigned object to the rezoning application for the following reasons:

- 1. The height and mass of the proposed building would be inconsistent with other structures along Garry Street. The Richmond Official Community Plan for Steveston Area (Bylaw 7100 Schedule 2.4) states that "The form of new development should be guided by that of adjacent existing development, even where new uses are being introduced." (9.2.2 Massing and Height)
- 2. Allowing this housing development as proposed would set a precedent which would allow others to build structures that would be in contravention of the Richmond Official Community Plan for Steveston Area.
- 3. Garry Street was not designed to handle the volume of traffic that would result from the proposed housing development. Garry Street is a non- arterial road.

We, the undersigned hereby request that the current rezoning application (RZ 16-737146) be denied.

	PRINT NAME	SIGNATURE	ADDRESS
1.	Donna Matheson	Chathean	20-4460 Garry St. Richmond
2.	MARK ROBURTON	Myhl	19-4460 GARRY ST RICHMOND UTEZYZ
3.	Angie Robertson	A Robertson	19-4460 GARRYST. RICHMOND. V7EZVZ
4.	STEVE COOK	otu pook	24-4460 GARRY ST. RICHMM V7E 2VZ
5.	Des Ramsay	ND Kenny	25-4460 Garry St. Richmons VEZZUZ
	JETE THOMSON.	Du-	27. 4460 GARRY ST. LICHMOND V TEZZ
	WENDY POLLOCK	w. Pallock	27-4460 Garry St. Richmond V7E2V2
	GLONNE DOANE		28- 4460 GARRY ST. RICHMONIS VIEZUA

# We the undersigned hereby request that the current rezoning application (RZ 16-737146) be denied.

	PRINT NAME	SIGNATURE	ADDRESS
9.	DAVID K. DOANG	7 K Doard	#28 -4460 GARRY ST.
	Rodelle gafull	Ryfall	16. 4460 Garry St.
//.	Kerni Pennie	de Janu	16-4460 Gam St.
12.	Shidey Ramsay	Solling	25-4460 Gassy St.
13.	Jody Burrell	Imuleel	17-4460 Garry St.
14.	Ann Smedes	Get Soul of	21-4460 Garry str.
15.	Samantha Smedes	Mules	21-4460 - Garry St.
16.	LORNE SCHMIOT	Phrill	18-4460 GARRY _ST.
17.	Jennifer Schmidt	*	18-4460 Garry St.
18.	Michelle Webster	MAN	13-4460 Garry St.
19.	Katelyn Golby	+90-g/	26-4460 Garry St.
	GERRY SMITH	Ansk -	IA y n
			·
		·	

## PETITION TO THE CITY OF RICHMOND

The Steveston Buddhist Temple has applied to the City of Richmond for permission to rezone 4360 Garry Street from "Assembly Zone" to a "Site Specific Zone" to allow for a four story congregate housing development with 104 residential units on the rear (south) portion of the site. (City of Richmond File No. RZ 16-737146)

We the undersigned object to the rezoning application for the following reasons:

- 1. The height and mass of the proposed building would be inconsistent with other structures along Garry Street. The Richmond Official Community Plan for Steveston Area (Bylaw 7100 Schedule 2.4) states that "The form of new development should be guided by that of adjacent existing development, even where new uses are being introduced." (9.2.2 Massing and Height)
- 2. Allowing this housing development as proposed would set a precedent which would allow others to build structures that would be in contravention of the Richmond Official Community Plan for Steveston Area.
- 3. Garry Street was not designed to handle the volume of traffic that would result from the proposed housing development. Garry Street is a non- arterial road.

We, the undersigned hereby request that the current rezoning application (RZ 16-737146) be denied.

	PRINT NAME	SIGNATURE	ADDRESS
21	IP Hervieux	OPH'	11 4460 Garry St, Richmond, BC.
22	Ann Nyky foruk.	ann Nyllyfordl	11-4460 Garry St. Richmond, B.C. VTE 2V2
23	Barb Falconer	Ba Filmer	12-4460 Garry St. Richmond BC
24	Marz André Hervier	1x Maje Grabil Minux	11-4460 Garry St. Richmond BC
25	LUCHERVIEUR	x Nege breli Maux	11-4460 Garry St. Richmond BC
26	Jamie Richardson		23-4460 CICIVY St. Richmond BC
27	Rhanda Richardso.	Michael	23-4460 Garry St. Richmond Be
28	Jamie Turno		7-4460 barry ST Kichman

We the undersigned hereby request that the current rezoning application (RZ 16-737146) be denied.

PRINT NAME	SIGNATURE	ADDRESS
Ariella Winher	Muly	7-4460 Gerry St.
,		8-4460 Gary St.
		9.4460 Garry
Loss lake		#9-4460 GOTY of
Greater V. Wo	benalding. Wa	y # 40 4460 Gary St.
Jean Nykyforu	K Jal y/mly	22-4460 Garry St.
Ellen NyKnoryk	Eller 1 18 168	22-44-60 Carryst
Chris Cathrart	Charles	4-4460 Garry St.
Ivory Stanton	& Daitur	#5 4460 Garry st.
		*5. 4460 GARRY ST.
PATVEICK CHINKART	Tat Cithigant	#4-4460 G/WRRY ST.
PAT JOHNSON	Patrija Johnson	#3-HHO GARRY ST
Janes Carrigan	fln m	#A -4460 Garry St
Bob Riddell	Radell	11893 Duntord Rd.
IN Maky	Mah	11893 Dunford Rd.
T) janel Jochne		4280 Garry Street
,		J
	Aviella Winter DAVE HUSTER Bruda Ikari Bruda Ikari Briskon Jean Nykyforyk Chris Cathrart Ivory Stanton Marga Stanton Patrzick Chikkpai Pat Johnson Janes Carrigan Bob Ridde II J. I. Mahy	DAVE HUNTER  British Ikari Stedy III  British Ikari Stedy III  British Interpretation of the Market Chris Carthart Islandia  Parvick Christon Marife Standard  Parvick Christon Patyuja Jahren  Bob Ridde II Raddell  III Maly Mahy

## PETITION TO THE CITY OF RICHMOND

The Steveston Buddhist Temple has applied to the City of Richmond for permission to rezone 4360 Garry Street from "Assembly Zone" to a "Site Specific Zone" to allow for a four story congregate housing development with 104 residential units on the rear (south) portion of the site. (City of Richmond File No. RZ 16-737146)

We the undersigned object to the rezoning application for the following reasons:

- 1. The height and mass of the proposed building would be inconsistent with other structures along Garry Street. The Richmond Official Community Plan for Steveston Area (Bylaw 7100 Schedule 2.4) states that "The form of new development should be guided by that of adjacent existing development, even where new uses are being introduced." (9.2.2 Massing and Height)
- 2. Allowing this housing development as proposed would set a precedent which would allow others to build structures that would be in contravention of the Richmond Official Community Plan for Steveston Area.
- 3. Garry Street was not designed to handle the volume of traffic that would result from the proposed housing development. Garry Street is a non- arterial road.

We, the undersigned hereby request that the current rezoning application (RZ 16-737146) be denied.

	PRINT NAME	SIGNATURE	ADDRESS
45	SHANA ASPELPITER		79-11491 7+N AVENUE KMD.
46	SEAN GARBOR	6	79-11991 7th Ave RM
	_	1 / - '	11511 Lapwing Cres. Rmd.
	Stove Simplions		11511 hapwing Gres, Rmd.
49	Chelsea Leonard	Oleman	4011 Garry St Rmd

## PETITION TO THE CITY OF RICHMOND

The Steveston Buddhist Temple has applied to the City of Richmond for permission to rezone 4360 Garry Street from "Assembly Zone" to a "Site Specific Zone" to allow for a four story congregate housing development with 104 residential units on the rear (south) portion of the site. (City of Richmond File No. RZ 16-737146)

We the undersigned object to the rezoning application for the following reasons:

- 1. The height and mass of the proposed building would be inconsistent with other structures along Garry Street. The Richmond Official Community Plan for Steveston Area (Bylaw 7100 Schedule 2.4) states that "The form of new development should be guided by that of adjacent existing development, even where new uses are being introduced." (9.2.2 Massing and Height)
- 2. Allowing this housing development as proposed would set a precedent which would allow others to build structures that would be in contravention of the Richmond Official Community Plan for Steveston Area.
- 3. Garry Street was not designed to handle the volume of traffic that would result from the proposed housing development. Garry Street is a non-arterial road.

We, the undersigned hereby request that the current rezoning application (RZ 16-737146) be denied.

	PRINT NAME	SIGNATURE	ADDRESS
50	NORMAN CHURCH	Mount	4700 DUNCLIFFE RD
57	Sharon Church	Shurgh.	4700 DUNCLIFFE RD.
52	Michelle Church	Mille	4700 Duncliffe Rd.
53	Will BAN	Dillife )	22500 COCHRANTE DENT
54	MILES LITKE	Quilis hit	4686 DUNCLIFFE RD.
55	Jill Line	4	MA
56	CNOCHBANG K	PHMEN WR.	14791 DUNFORD RD
51	LYNN	RIEMCR	4791 Dunford Rd
		Kremen	

We the undersigned hereby request that the current rezoning application (RZ 16-737146) be denied.

	PRINT NAME	SIGNATURE	ADDRESS
58	WARK FRIGAT	AND MAND	4799 DUNFELL ROAD
59	RhandoShaker		4775 Dunfell Road
60	Cindy Rozen	7/S	7620 Duncliffe Rd
61	LES HACMOS	LAK -	3571 RAYMOND AVE.
62	Victoriastio	N V- Sherr	3057 Regent St.
63	MENDY Hompsh	Clara Callan	306-11693 7th Are
64	KENA HARRED.	Kena Waxrey	102-4111 BAYUISW
65	Ruth Nadocku	Rest	14 Thoo MOFFATT ST.



c/o 120 – 13575 Commerce Parkway Richmond, BC, Canada V6V 2L1 Main 604 270 1875 Fax 604 270 0854

www.tlhousingsolutions.ca

Electronic - keng@richmond.ca

March 17, 2017

ATTN: Kevin Eng | Planner 2

Richmond City Hall | Policy Planning Department 6911 No 3 Road, Richmond BC V6Y 2C1

RE: RZ 16-737146 | PUBLIC INFORMATION MEETING SUMMARY

On behalf of the Steveston Buddhist Temple ('SBT'), please accept this letter as a summation of public engagement undertaken to date with regards to the subject Rezoning application to facilitate the development of an affordable independent seniors facility proposed for 4360 Garry Street, Richmond BC.

#### Notice and Advertisement

Following recommendation of staff, SBT hosted a public information meeting advertised in a manner consistent with the regulations prescribed in the Local Government Act. The intent of this meeting was to invite the public and community stakeholders to the temple gymnasium to meet with the members of SBT and the development team consisting of representatives of GBL Architects, CPA Development Consultants and TL Housing Solutions regarding the proposed development. This open house took place November 15, 2016 and was hosted from 5pm through 8pm to ensure catchment of the before and after dinner crowd.

Notice was provided 10 days in advance with letters hand delivered to properties within a minimum 30m radius from the site. In addition to providing notice to the immediate neighbourhood, a sign was erected on site for vehicle and pedestrian traffic and advertisements were also published in the local papers; Richmond News, November 9th & 11th; and November 10th in the Vancouver Shinpo, a weekly Japanese newspaper circulated throughout the lower mainland. Invitees of the open house also included local stakeholders listed below with notice delivered via Canada Post.

- € Steveston Community Society
- € Steveston 20/20 Committee
- € Rotary Club of Steveston
- € Steveston Historical Society
- € The Maples Residences
- € Army, Navy & Air Force Veterans Unit #284
- € Richmond School District (SD38)
- € Steveston Merchants Association

## information and Representation

Upon attending the open house the public had an opportunity to interact with SBT members and the development team at one of the four stations set up throughout the gymnasium.

On display at each station were large format color boards of the architectural drawings and landscape design. In addition to the floor plans, cross section, elevations and site plan, there were shadow analyses depicting relevant times of day during equinox and summer solstice. An additional board was also provided depicting key design alterations made through earlier consultation with staff prior to making application. These alterations included increased building setback from the East property line and revised building massing on the South-East corner, together reducing the shadow and adjacency issues with the neighbouring townhome development to the East.

The atmosphere was relaxed and engaging with emphasis on allowing the public to hear firsthand the goals and objectives of SBT and their vision for continued and expanded community services. Speaking notes were developed in response to feedback and concerns raised from correspondence the City received as a result of the application. This venue provided a great opportunity to dispel misconceptions, primarily around non-market housing and not-for-profit housing providers, engage in candid discussions of concerns, and answer questions and respond to interests in the project such as programming and services, unit and facility amenities, time-line for registration and project completion.

#### Attendance and Feedback

We encouraged all attendees to sign-in upon arrival and provide written comment before exiting. Of the 65 registered attendees we received 17 written comments. Below is brief description of these comments:

Positive Comments Provides needed seniors housing Well designed Great location for seniors Liked the Japanese landscaping Traffic not an issue	6 3 6 1 2
Negative Comments  Building Height  Shadowing neighbouring townhomes  Contrary to single family & townhome density  Traffic concerns during school hours  Parking concerns on Garry/Railway  Setback from Townhomes and Park	5 2 2 3 1
Overall Response Approval Concerned, but not against Strong concerns/against	10 2 5

We feel attendance was great and the majority of those who attended showed support and strong interest in the project. This was evident in the number of inquiries received about

availability, registration, unit layouts and completion, fortifying the need and demand for more affordable housing options for seniors in the Steveston community.

Of the attendees that were against the development, the issues raised were building height, shadowing of the townhomes and common area playground, proposed use, traffic, and having a for-profit business entity in the neighbourhood. While many of these issues were resolved candidly through educating the public on restrictions of not-for-profit societies, housing grants and agreements, affordability in the marketplace, limited car ownership amongst seniors in this demographic, and peak staff hours; the underlying issue with building height/adjacency and shadow effect on the townhome development were less resolved. While the team addressed similar issues that would result from a different use, such as three storey townhomes, the key takeaway of these concerns is to address the design of the building, an endeavour we plan to undertake to reduce the impact to this neighbouring development.

## Further Public Engagement

One of the attendees of the open house and community stakeholder, Linda Barnes, Chair of the Steveston 20/20 Committee, invited us to be a delegate and attend a future meeting of the group to present the proposed project and answer any questions.

This meeting took place February 2, 2017 and the response was positive and supportive of SBT's vision and need for more seniors housing in the area.

#### Closing

In general the feedback received from the public and stakeholders has been positive and supportive except the neighbouring townhome development east of the property. With thoughtful design alterations to limit building height and improve shadow impact, we feel confident this project will be a successful addition and viable community amenity in the Steveston neighbourhood.

Yours truly,

TL HOUSING SOLUTIONS LTD.

Per:

Craig Lochhead Vice President

im/CL

cc: Steveston Buddhist Temple, Wisteria Senior's Health & Housing Society

enclosures



## STEVESTON BUDDHIST TEMPLE

4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

Fax: (604) 277-0313

November 1, 2016

ATTENTION: OWNER/OCCUPANT

RE: REZONING APPLICATION -PUBLIC INFORMATION OPEN HOUSE

Steveston Buddhist Temple and Wisteria Seniors Health & Housing Society has applied to the City of Richmond for permission to rezoning 4360 Garry Street from the assembly (ASY) zone to a Site Specific zone to allow a four storey Congregate Housing development with approximately 104 affordable residential units on the rear (South) portion of the site, and the retention of the existing temple on the front (North) portion of the site.

We invite you to join us at a Public Information Open House held in the Steveston Buddhist Temple aymnasium on November 15, 2016 from 5:00pm to 8:00pm.

Members of the Steveston Buddhist Temple congregation, the non-profit housing society together with their consultants will be in attendance to answer any questions or concerns.

Yours truly,

STEVESON BUDDHIST TEMPLE

Per:

Bud Sakamoto President

cc: City of Richmond



# STEVESTON BUDDHIST TEMPLE

4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323 Fax: (604) 277-0313

November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

PLEASE SIGN IN:

15

27

CRAICI MATSUZAKI KAZUKO TAKAHASHI	
MATSUMI SHIGETA	
- SACHIKO TAKEUCHI.	
Kerko Go K. Robertson YARK BORIKON	
Kolgo SHIGETA Hideled Kajioka Mark Sakai	
MARK SACA,	
Des There	
Francis And Donn Matheson	
Pahier Jahren. Edith Turker	
Rulph Tymer refurmer 2 eshaw-ca refurmer 2 eshaw-ca convon Killy	ips/
X. Higo	M.
Hiroko Yoshihara Ken Yoshihara James Richards yamiestvowd Damail.com	
Ros man	
Peter Mitchell Oshawica	
Jean Nykytoruk	
Typels Natureshi	
STENE COOK LINDA BARNES	
Hevin Remie	



4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

Fax: (604) 277-0313

November 15, 2016

REZONING PUBLIC OPEN HOUSE 5:00PM TO 8:00PM

### PLEASE PROVIDE COMMENTS:

DUT CONCLENS CHOOLD BE.
O GARRY ESTATES PROPURTIES WOULD BE AFTECTED BY THE SHADOW FOR FROM THE PROPOSED CONSTRUCTION - FROM THE SHADOW CINES PROVIDED WE WOULD BE IN DARKNESS AFTER 2PM.
(1) THE OUTLAND HEIGHT OF THE STRUCTURE FAR EXCESSS
(3) LIGHTS ON THE BUILDING AT NIGHT WILL AFFECT US.
(P) Parking on Garry ST will be in creased and density of traffic will be increased which during school downs is directly at an extreme of his special events well affect this over load of parking for residents.
3 This value of our Town houses at Crothy Estates well be affected and decreased by this retron ma



November 15, 2016

THANK YOU

REZONING PUBLIC OPEN HOUSE 5:00PM TO 8:00PM

Unfortunately this project does not fit in with the
restof the neighbourhood. All other such buildings were
and the religious of the special of
On major streets even as Monuton, No. 1 Road, No. 2 Road Blundellect. The profile of this structure would overwhell
the area with its height A much lower profile
would be preferrable
In addition there is the issue of extra vehicular traffic.
burny is very congested at vertain times of the day
and with all the residents and visitions the problem
whold walk be increased.
Was the in this area over 20 years ago
because it was single family dwellings and tastery
because it was single family dwellings and tasteful townhanes condos do not compliment what is already.
và existance.
The state of the s
The state of the s
525-05-77 M. 1994-1994-1994-1994-1994-1994-1994-1994
* ** *********************************



November 15, 2016

REZONING PUBLIC OPEN HOUSE 5:00PM TO 8:00PM

I am concerned about the
Experience the Shedoune that will be
dast one 4460 Gary Street-
"Tanana"
I cm also concerned about the describbre Som the averall single Sami
describbre Som de averell single Lami
dewsity of Stewson
we live in a smight + special
Commenty and the world this
developments is the slipping slope
O. L. Migher denosity, "," -"
Gern Street 15 a residential
storet with he acces to public
The substitute of the substitu
. 18.
I wondaning the toneway one the west
Sal of the rome in consider
sparaded de regular street and
and conjoining 114 walkersy 660
husld riduce the reduncy the one of an
additional driveren. This world
be a bongs Sor the non-proset development
A help to make actustivents to the
THANKYOU design that will encourage + - Tread
THANK YOU dosign at design change shat all
make he bailding less imposing;
make the bollowing is



November 15, 2016

THANK YOU

REZONING PUBLIC OPEN HOUSE 5:00PM TO 8:00PM

OUT CONCERNS:	
1) height of building and	
proximaty to townhouses o	ohich
proximaty to founhouses of will greatly appear the air sunlight and privacy, particula	+1800)
for the west backing uni	† <del>5</del> .
2) traffic on Garry St.	(a. yan) - h
	a constitution of the state of



Fax: (604) 277-0313

November 15, 2016

REZONING PUBLIC OPEN HOUSE 5:00PM TO 8:00PM

Anteresting project.

Lang project.

Lang meighbour but I live on Dunfell

Strong directly imported by the shoot of your

prepared design.

One of the issues out heard is consum over the amount

given this will be a supportive horour faility

and the age of the dient's

Ty cencern over the proposed design wash the

the size of the faility — too imposing

Any man setback from the grant of from

the neighbours to the east (townhows complex)

would be settle preceding.



Fax: (604) 277-0313

November 15, 2016

THANK YOU

REZONING PUBLIC OPEN HOUSE 5:00PM TO 8:00PM

byther issues

عدل	ed to	Leve	traffic	Jalax		1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
seasonment for more market as	- G		No. 1	Patri		and of the second secon
					The same of the sa	, and the second
	Charles or consequences	st G2	my I k	<u>reules</u>	MINTER TOTAL AND CONTRACT AND AND CONTRACT A	eratione of the section of the same of the
	•		•	_		
		J12te	ngestion	A STATE OF THE STA	•	<u>-</u>
described to the description of the second	Long Status Modernia	NI ANALY .	A STATE OF THE STA	Carlos A September 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	A CONTRACTOR OF THE PROPERTY AND THE PRO	Exercise the second sec
		And the second section of the s		adelegan st. Praising and a		
1	AND THE STREET STREET,	A LONG COME SANGTON OF THE	ale Social resolutions to the management of the second of	A STATE OF THE PROPERTY OF THE PARTY OF THE	THE STATE OF THE PARTY OF THE P	ः राज्यसम्बद्धाः स्थानसम्बद्धाः <del>विकेस्सान्तः । । । । । । । । । । । । । । । । । । ।</del>
Land State of Service Conservation Conservations		Methodistry ochocet the state of	The state of the s	AT ACID THE TAX TO THE	and the second s	1207/20
1	eelletereele 1986ening 19 <del>4449</del>		· · · · · · · · · · · · · · · · · · ·	The second secon	the property of the second sec	Helister
File Wildom Met Programme Transport	L. C. Salaran Daniel et al.	ithere is a second of the seco	en en rement in les santantants de la resident en constituen en e	4.4.4.00.316	Market West CT 12 Telephone 12	A STATE OF THE PROPERTY OF THE
	- march	THE POST OF THE PROPERTY CANADASSIS	3.1	The state of the s	Target P. Sandara	
(September 1997)	halance accordates "Utah			A A A A A A A A A A A A A A A A A A A		Andreas Andreas (Antonio Antonio Anton
## 60% to deed control from the property of the control of the con				- Indiana - Indi	A ACTION AND THE PROPERTY OF T	r.Ç <del>.</del>
trajlar plants for your report that a person of the contract o	No. of the control of	ANNERS SANGERS	ers i es s'organista amparent un apparatavazor (son il in-paratavazor e especialista		Hall Mark to the second	
	The Control of the Co	Appleads 100 only on an arminuter			TO THE OWNER OF THE OWNER O	one of the state o
Total Control of State (1985) And The Advances of State (1985)		A stabilistica A tradition and	The second state of the se	unt stat field is an interesting an about the field		A COLUMN TO SERVICE A SERV
and the state of t	- materials - materials	and the second s				
parcy	Aggester spiriterong mensamman, blevd	O-1	tille for the large and the first transport of the large transport o	Section 1997		action of the act of the second contract of t
Market annual and all the Political		ule exercises successive and a second			- Western Control	
	entation of the following spiriture of the state of the s			entrecome or interesting explication	97	The contraction of the contracti
entre en	A Property of the Control of the Con	The Victorian Control of the Control	AT OF NAME OF STREET OF STREET STREET		de en la Cathernal	
	:	and the second s	A. 17147551		The state of the s	
1/4	Park are consisted a proof D	Weller Service and American	AND THE PROPERTY OF THE PROPER	Andrew Leeling of the Control	and the contract of the contra	



November 15, 2016

THANK YOU

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

Based on the design provided, it looks like the access road on the property is redundant as it runs parakled to the existing laneway.
access road on the property is redundant
as it runs parakle! to the existing laneway.
The existing laneway should be widered to provide access to the new complex. The voad access on the property can then the used as a walkway, land saped in Such a way to enhance the property.
provide access to the new complex. The
mad accose on the property can then too
word an a walking I handkaned in Such
A water to and and the proposition
- May 40 sommet The property.
7/2/5 - 1 - 1/2 2-1/2 1- 2/2 2-1/
Le shifted to the entire complex could be shifted to the west to provide snadow relief to the adjacent existing town houses
be shifted to the west to provide
Shadow relief to the adjacent existing
town houses
1
•





farry Street hmond, B.C. a V7E 2V2 ) 277-2323 ) 277-0313

November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

### PLEASE PROVIDE COMMENTS:

		0	
We really need more	Henrier.	hereising in	. Kielminif
- this is great! W	. PS	<i>F</i>	
	. /		communication :
Shopping, leas-dry	muleef.	<u>OG</u>	идиминичничным ч.
Tile the plans 19			The second secon
Address of the control of the contro	r con.	A STATE OF THE STA	And the state of t
Fileen Carefoot	THE THEORY	*** A CONTROL OF THE STREET OF	A CONTRACTOR OF CHARACTERS
Richmond PSC	alluselle i insortificia de morte que esta escreva a come a come a come de militar de militar de militar de mo	AND AN INSERTION OF THE CONTROL PRODUCTION O	大学 大
X15 254		**************************************	Person Carechine de la reventión
	4.3 824-1561, \$790	enterroryanona suspessor	STATESTICATION OF THE
A A A STREET AND A			
	TAPAS O STOWNSON TO		
· · · · · · · · · · · · · · · · · · ·	A	error and and an analysis of the analysis of t	en e
	•	All at Market Market Control of the	All Property of the Property o
Blance acceptation and appropriate an acceptance and acceptanc	85418SF-0	And the Annual Selection of th	Reconstruction of the second
	The Author County of the Author County (Author County)	214 HARTHER MAN (1974)	A STATE OF THE STA
	k = 1725/19 (19 = 1,50), <del>19 19 (19 )   1</del>	were the reconstruction of the contract of the	anne grant e grant (1865) de de constitución e constitución e constitución de constitución de constitución de c
8. Wild. W. Cont 10. 10. 10. 10. 10. 10. 10. 10. 10. 10.	1		•



Fax: (604) 277-0313

November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

#### PLEASE PROVIDE COMMENTS:

This is a terrific project - well thought out -
and definitely meets a need in Stunton - We
I this residence is a resource that will
I this residence is a resource that will
enable de to Do A O
good compared to many such institutions we
good compared to many such institutions we
Thave been in, in recent years with eliterly
of the same of the
Garry Street had been home to Lions Manor,
the Strin Hightehool & the Tomple for many
litars So traffic will not be swalender
The fact that it is a short work to the
Villado in excallent.
The membership of the temple deserves much
prose and support in their allemple to
mande housing for sources Hopefully
Cety staff & elected officials will be helpful.
Itam sure some neighborns will be expect
at the changes but we have been very bucky
in this country & serbanos nous is a time to look
at provision top houses for series.
all the best.
a neighbour -
· ·



November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

#### PLEASE PROVIDE COMMENTS:

1 LIKE U	WHAY 1 SEE.				
1 world	Hope 14p	1 THE "AFF	ORDABLE COS	1 H WILL BE	ATA
FIGURE	THAY ALL	SEMPHY CA ORDABLE, IT CONCRETE P	AN AFFORD	). WHILE A	3000.00
LODAY 51	ILL HAS TO	concrete p	PEFINE AN "	GFFORDARK	FIGURE!
IAM P	LEAGED TO	SEE THE FRE	GOOD OFT	HE UNITE (1 MEELVES, O	HAT BEING
TO THE OTHERS	DIMINE, RO	SEE THE FRE ABLE 10 CO M.) THIS I,	SAPIVE, K	COMPABE	110
CAN AF	FORD DE	000.00 BAL must Remen 17455 1	A ATCOST	MUT HILLS	6/11014
, , , , , ,		E INFORMED	*	,	
•		north-57		_	
THAY IS	AREAL CAL	TANDITIONA MING FEATUR	ZAPANEG 36 in TODAY	C. LANDSCAP 15 BUSY WR	e feature LD.
and the size of the business of the business of			had been properly and		
engs server ere ersentretense		**************************************	er anger <del>de stage</del>		The angular of the state of the



November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

PLEASE PROVIDE COMMENTS:

LOUKING FORWARD TO WOMPING TOLESHER TO HELP DUR SENIORS IN STEVENTY	
HELP DUR SENIONS IN STEVESTON!	
1. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2. 2.	
PLOB PRESELI - THE MEDCE	
	STACE S



November 15, 2016

THANK YOU

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

Please PROVIDE COMMENTS:

(Phis is clearly a product that is very

much in demand in Stevestor - not only now

bout for the foreseeable future.

It's proximity to the parkand walking distance

to the Village & Community Centre make it deal

for seniors from the area.

It is infortunate that there will be some

negative impacts on the residents of the

foundaise project (who time on the west

side), but I doubt that there is much

that can be done without a serious

reduction to the divelopable area.

I am in favour of this project muring

forward.



November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

1 /	ALL COLORS	zuman ze minimentura internati azar kinis — internati A		And American Control of the Control	NIII WAARAA AAAAA AAAAA AAAAA AAAAA AAAAA AAAAA AAAA
	in Well	dos	ighe	4	
THE STATE OF THE S	y Well	envi;	lon m	entally	<del></del>
	Troperly	y to	ak ing	Caro	0)8
494 (4010) 771070-771-771-771-703-7030	Control for property		Rego	e Cho	
TOWN THE BUTTON BEAUTY CONTRACTOR OF THE CONTRAC	Commence of the state of the st	Constitution of the second	######################################	MATERIAL CONTROL OF THE STATE O	AN PERSONAL PROPERTY AND AN ARCHITECTURE AND ARCHITECTURE
	### ##################################		THE ASSESSMENT OF THE OWNER OF THE OWNER OF THE OWNER OF THE OWNER	PROPERTY OF THE PROPERTY OF TH	Address of the section of the sectio
et in dietaen in die dasse deutsche die die die dasse deutsche deu		a amazar a tri indonésia (ili propie) a propied a	And the second s	10-15-161-1612-42-43-43-43-43-43-43-43-43-43-43-43-43-43-	n vila managanet <b>ik erre</b> nder
and the second section of the second section is a second section of the second section of the second section is a second section of the sectio	22-22-22-4-7-10-2-22-2-2-2-2-2-2-2-2-2-2-2-2-2-2-2-2			and the state of t	ermente en la companya de la companya del la companya de la compan
The state of the s	un teophyk Meeting († 1842) 1864 - Henry Marian († 1864) 1864 - Henry Marian († 1864)		v ···· dan wa sagata pada sa		
(2) (2) (2) (2) (2) (2) (2) (2) (2) (2)	Augustus p. 10 ili usukutus to <del>s sais tos</del>		A VINCEA	2006 (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007) (2007)	A homotopic property and a second of the sec
Action of the second of the se		AND AND A CONTROL OF THE CONTROL OF		AND THE STATE OF T	the age of the second s
ALCOHOL TO THE STATE OF THE STA			and the second s	COMPANY AND PARTY OF THE PARTY	net video (n. 1914). Pro esta esta esta esta esta esta esta esta



November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

TIEASE PRO	VIDE COMMENTS			2007 - 1007 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2		Laboration of the Control of the Con
	people	ect will unity noteded Deniers sing a	be by lever	go pr com mò	ed formalis	A COLOR OF THE STATE OF THE STA

#### Jesse Miller

Subject:

FW: supportive email

From: Darren & Leanne Bernaerdt

Sent: Wednesday, November 16, 2016 9:03 AM

To: info@steveston-temple.ca Subject: Senior Housing

I couldn't make your open house last night on your senior housing project, but I would like to let you know that I support this project. What a great idea and a special use for that space. We live just down the street and to have another senior's complex nearby allows more people to live near Steveston which is a great community.

I would even be interested in adding my Mom to the wait list — if there is one! Her name is Johanna Jacobs. She is a young 90 and VERY independent!

Let me know who to contact to add her name to the wait list. She would love it there and so would ! (being so close).

Thank you for doing this!

Leanne Bernaerdt 10 – 4771 Garry Street Richmond, BC V7E 2T9 604-789-8453 Bernaerdt@telus.net



Fax: (604) 277-2323

November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

PLEASE PROVIDE COMMENTS: THANK YOU



November 15, 2016

**REZONING PUBLIC OPEN HOUSE** 5:00PM TO 8:00PM

#### PLEASE PROVIDE COMMENTS:

	とても3苗足に見学できました
( <u>)</u>	B.C. Housingの件、屋にストーフットンフッカいあるのはめあるしい
<u> </u>	日2四の食事、朝食、夕食
1	日本倉とは言いませんか、シニアにとってごじん
	1 ごけん Dim 「SHRY はえ 」とよく言りいます。食事にフリマは考えてはしいと思います。
<b>9</b>	とても、てでいていま。あ、兄名かも子を行人はたくさんいます。
	生てとは言りなりか、ハスタブの車も考えてほいし
<u>:</u>	

#### ATTACHMENT 6



c/o 120 – 13575 Commerce Parkway Richmond, BC, Canada V6V 2L1 Main 604 270 1875 Fax 604 270 0854

www.tlhousingsolutions.ca

Electronic - keng@richmond.ca

April 26, 2017

ATTN: Kevin Eng | Planner 2

Richmond City Hall | Policy Planning Department 6911 No 3 Road, Richmond BC V6Y 2C1

RE: RZ 16-737146 | SECOND PUBLIC INFORMATION MEETING SUMMARY

On behalf of the Steveston Buddhist Temple ('SBT'), please accept this letter as a summation of the second public information open house held between 5:30pm and 7:30pm on April 25, 2017 regarding the subject Rezoning application to facilitate the development of an affordable independent seniors facility proposed for 4360 Garry Street, Richmond BC.

#### Notice and Advertisement

Notice was provided 10 days in advance with letters hand delivered to properties within a minimum 30m radius from the site consistent with regulations prescribed in the Local Government Act and our first open house held November 15, 2016. In addition to providing notice to the immediate neighbourhood, a sign was erected on site for vehicle and pedestrian traffic and advertisements were also published in the local papers; Richmond News, April 19th & 21st; and April 20th in the Vancouver Shinpo, a weekly Japanese newspaper circulated throughout the lower mainland. Invitees of the open house also included local stakeholders listed below with notice delivered via Canada Post.

	Steveston Community Society
	Steveston 20/20 Committee
	Rotary Club of Steveston
	The Maples Residences
	Army, Navy & Air Force Veterans Unit #284
	Richmond School District (SD38)
П	Steveston Merchants Association

#### Information and Representation

The intent of the open house was to invite the public and community stakeholders to the temple gymnasium and view a redesigned concept based on concerns raised through previous public engagements and comments received from staff.

At hand were members of SBT and the development team consisting of representatives of GBL Architects, CPA Development Consultants and TL Housing Solutions to guide attendees through

the revisions made, explain the intent and need for this type of development, as well as answer questions and address concerns from the public. Three stations were set up with 12 display boards representing site context, shadow analyses, previous and proposed building renditions of key floor plans and elevations together with preliminary 3D renderings and landscape design.

Being the second open house, most dialogs focused on the redesign and adjustments made to reduce and improve impact in the neighbourhood. Highlights of the redesign discussed include:

Substantial increased of on-site parking;
Removal of the second street access;
New configuration of building mass, emphasising a look of 4 separate buildings and distinct internal courtyard connection with both Steveston Community Park and
Garry Street;
Reduction in overall building size of approximately 4,500 sq.ft.;
Relocation of serving/program kitchen, away from east property line;
Addition of storage area/buffer between program space and east property line,
discouraging people from congregating beside the new facility; and
Elimination of a bank of units from the fourth storey facing east, thus improving
shadow impact, privacy and a tired building facade away from the neighbouring
townhome development.

The atmosphere was relaxed and positive with many attendees impressed with the redesign, both aesthetics and integration of features respecting the surrounding neighbourhood.

#### Attendance and Feedback

We encouraged all attendees to sign-in upon arrival and provide written comment before exiting. Of the 39 registered attendees we received 12 written comments. Below is brief description of these comments:

Provides needed seniors housing Well designed/Improved Positive change/reduced impact on neighbours Interaction with community park & Maples residence Openness/broken up building mass Large amenity areas	5 9 3 2 2
Concerns Shadow of building/shadow of existing trees Shadow studies of 4pm, 6pm & 8pm not available* Access via laneway should be permitted/shift building West *4pm shadow studies were at hand & circulated	1 1
Overall Response Positive Appreciative but have concerns Negative	10 2 0

We feel attendance was steady and a strong majority showed support and interest in the project. Those most affected within the mail-out area were impressed with the mitigating steps taken since November and had a better appreciation of the goals, objectives and constraints of the proposed development, business model, and need for more affordable housing options in the Steveston community.

#### Closing

In general the feedback received from the public and stakeholders remains positive. Evident in the dialog and positive feedback provided by comment sheets, we trust the proposed development to be a welcome addition in the Steveston community.

Yours truly,

TL HOUSING SOLUTIONS LTD.

Per:

Craig Lochhead Vice President

im/CL

cc: Steveston Buddhist Temple, Wisteria Senior's Health & Housing Society

enclosures



Fax: (604) 277-0313

April 11, 2017

ATTN: OWNER/OCCUPANT

RE: REZONING APPLICATION -PUBLIC INFORMATION OPEN HOUSE

Steveston Buddhist Temple and Wisteria Seniors Health & Housing Society has applied to the City of Richmond for permission to rezoning 4360 Garry Street from the assembly (ASY) zone to a Site Specific zone to allow a four storey Congregate Housing development with approximately 104 affordable residential units on the rear (South) portion of the site, and the retention of the existing temple on the front (North) portion of the site.

We invite you to join us at a **Public Information Open House** held in the Steveston Buddhist Temple gymnasium on **April 25, 2017 from 5:30pm to 7:30pm**.

Members of the Steveston Buddhist Temple congregation, the non-profit housing society together with their consultants will be in attendance to answer any questions or concerns.

Yours truly,

STEVESON BUDDHIST TEMPLE

Per:

Bud Sakamoto President

cc: City of Richmond



4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

Fax: (604) 277-0313

APRIL 25, 2017

#### **REZONING PUBLIC OPEN HOUSE**

5:30PM TO 7:30PM

SIGN-IN SHEET

NAME	ADDRESS
WILSON, HAZUKI	764 -3 MOFFATT RD. BICH. GC VOTOS
KAREN NITTA	8460 CITADEL CRES, RICH V7C 4T3
Michele Nitta	3900 GEORGIA ST RICHMOND V16253
· Elizabeta (16	118-4500 West water Dr. Wichmand 17E61
. R.K. ARAK	6880 SHAYDICAN PL. PICHMOND VTE YWG
MARY KnWAKOTO	u u u u
LAVERNE MATSUMURA	1502-739 PRINCESS ST. NEW WOJTMINSTER V346V6
Naomi Shikaza,	# 706-621 Eighth St. 11 V3m 355
· massach fale	\$1-43//Bouldien of PMD B.O
· Tomoko Kakehi	20-7711 Williams Rd., Richmond, BCV7AIG2
· NAUJA WOJNA	11500 RAILWAY AVE RICHMOND BCV78 2BS
· Eight Caroline Sugana	2103-1286 Condove St. W Van V6C3RS
Hiroles King	460 E 45th Vm V5W 174
· John Yap	4355 Fortune Avenue, Richmond &C
· Churchengt Ma	
· Granco Jaylor	Laden, B.C:
. your Backiya	6511 Carrison ourt Richmond BC
· Fusako TSACKIYA	() () ()
KENIN RENNIE	4460 GARRY ST. RICHMEND
ED + JOD! LEE	11780 FENTIMAN PL. RICHMOND
Pat Johnson.	#3- HAGO GARRYST KEH
· WWW ROSILACI	#19-4460 M M
· Hiroko Yoshihara	10891 Rosearoft Cres. Rmd
· Kon Joshulan	1089, Rowash CK 11
· Which Chrysler	4071 Chathan At. Ridmon.
Karly Barrows	4011 Chattern St Rest
( Norma Juster)	11773 YOSHIDA CRT RICHTMEND

IVAIVIE	ADDRESS
Rhonda Richardson	23-4460 Garry Street
Wike Inone	2935 West 4311 Ave Vancouver
TO THE	n 4411
	19 - 4460 Garry St. 5
HAN Smedes	21- 4460 Gary street.
HAN MCCORNICH	11th Yorkida Cont
Harun shimada	74-4151 Repent St RMD BC
: DONG SHEARER	4111 6APRY:
' GORDON TRYKOR	11773 YOSHI PA CRT
( F SARVILLE	UIII Casar St
Kiya Danie	16344 THA AVE BERREY, B.C. VAN DES
Tyo flernight	10947 THE WIVE GUILLY) " C. TILLY)
(	
see nex! page	
<u> </u>	
	•
Control of the Contro	
manufacture of the second seco	
	No. of the Control of
Application of the second seco	
Action to the second	
	- the annual control of the control

NAME	ADDRESS	
Darlene Burns	4651 Windjammer Dr	Rma
your proofer	ie, as agos.	
and the same of th		
A STATE OF THE CONTRACT OF THE		
and the second s		
AND THE STREET STREET,		
	- compiler to the control of the con	
· · · · · · · · · · · · · · · · · · ·		
		· · · · · · · · · · · · · · · · · · ·
•		
	The second secon	
100000000000000000000000000000000000000		
No.		
		2.31-10-11-11-11-11-11-11-11-11-11-11-11-11





4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

mone: (604) 277-2323 Fax: (604) 277-0313

5:30PM TO 7:30	PM
Harum NAME (Optional	ADDRESS (Optional)
PLEASE PROVIDE	E COMMENTS:
長小個任	こっても、と見ま見てきる遅ひとたった事
走切も スライフス	するうしいは日本人のフシューニティからことトンにできる事は私々の長い希望でありました。
日条人の方	ランライを長い頃していましたか、いっもハンクーハーまで
走足過3 homepun	い事からくて便福まりたく東スライーフストンにNurring
z N 2-5 t	シいっしょうけんめい応接していきたいと思います
4	I am very impressed that this is really happening soon after longing for it a long time.
	The design of the building looks wonderful. This will complete the Steveston Japanese community arthis is exactly what we've been wishing for.
THANK YOU.	I've been volunteering for Nikkei Senior Home and I always thought this is far away from my family in Richmond if I live there one day so I always was very hoping to have a nursing home in Steveston.  We will keep supporting your project.



4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

4004) 277-2323 hone: (604) Fax: (604)

REZONING PUBLIC OPEN HOUSE 5:30PM TO 7:30PM	
NAME (Optional)	SBT.  ADDRESS (Optional)
PLEASE PROVIDE COMMENTS:  Definite inflormed to the Constitution of the Constitution o	out from the original conficient trucker ener conficient trucker ener conficient the plant of the conficient from the reigner conficient from the reigner
THANK YOU	



Phone: (604) 277-2323 Fax: (604) 277-0313

NAME (Optional)	ADDRESS (Optional)
PLEASE PROVIDE COMMENTS:	
· Vice deagn - like the . like the openess and . Northway access to tra	e cures and applarance of multiple brulo glass, and 2nd floor courtyard.



4360 Garry Street Richmond, B.C. Canada V7E 2V2

Phone: (604) 277-2323 Fax: (604) 277-0313

APRIL 25, 2017

#### **REZONING PUBLIC OPEN HOUSE**

5:30PM TO 7:30PM

Rhanda Richardson	#23-4460 Gary St.
NAME (Optional)	
	ADDRESS (Optional)

PLEASE PROVIDE COMMENTS: nne really place japanese WHO either 9 THANK YOU. that tree or fence? Perhaps with something as invasive or shade-creating in to yoRH-1010ggestions!



4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

Fax: (604) 277-2323

REZONING PUBLIC OPEN HOUSE 5:30PM TO 7:30PM	
NAME (Optional)	
	ADDRESS (Optional)
PLEASE PROVIDE COMMENTS:	
This is the second 1	time I came to the open house,
and I can tell how	is the plan was improved.
The entrance to the ?	emple we was changed to
accompilate physics	
- The inside wall of	the residence is open &
the outside light	which is really hice.
The Hand Ilour of	the east side was taken of
to give more light	for the house, which the
zimle.	<u> </u>
We really need more	sonior residences in Richmond
and this one is an	d Maple Residence would
	sof residence.
I also heard that	kitchen equipment is well
them safely.	ior residents can and
	forward to the completion
of the meda	,



Fax: (604) 277-0313

APRIL 25, 2017

## **REZONING PUBLIC OPEN HOUSE**

5:30PM TO 7:30PM

Mike & Masake Jaone NAME (Optional)	2935 West 43rd Vancouver, BC. ADDRESS (Optional)	Ave.
PLEASE PROVIDE COMMENTS:		
Excellent plan, No bad comments.		
THANK YOU.		



4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

Fax: (604) 277-2323

APRIL 25, 2017

REZONING PUBLIC OPEN HOUSE 5:30PM TO 7:30PM
Eller Campbell #4 6400 Princess Lane Emd
NAME (Optional) ADDRESS (Optional)
PLEASE PROVIDE COMMENTS:
Desyr is great!
access to Maple Residences is easy for their
Huge amenity area!



4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

Fax: (604) 277-0313

APRIL 25, 2017

## **REZONING PUBLIC OPEN HOUSE**

5:30PM TO 7:30PM

ADDRESS (Optional)	
LEASE PROVIDE COMMENTS:	
Happy to visit this open house	
MR. Mehl was very informative and approachable.	
I and my hasband are very interested in progress of	
this project and we believe we are potential residents	
7 this regionere	
Thank you for the opportunity	
My husked and I are faste wiedle of 70, and	
We seriously grant thisting of this Kind of living account do	trod
So as lots of my friends, in their 70' and 80'.	



Fax: (604) 277-0313

**APRIL 25, 2017** 

### **REZONING PUBLIC OPEN HOUSE**

5:30PM TO 7:30PM

PONSA TAYCOR NAME (Optional)	PICH BC ADDRESS (Optional)
PLEASE PROVIDE COMMENTS:	estic building. Will
be great for active	e Seniols to live in
Stevestor.	·
	15/ book tood!
THANK YOU.	



APRIL 25, 2017

REZONING PUBLIC OPEN HOUSE	
5:30PM TO 7:30PM	

KEUIN RENNIE	4460 COARRY STREET
NAME (Optional)	RKHMOND
	ADDRESS (Optional)
	•
PLEASE PROVIDE COMMENTS:	
THE Shadows Issue has would be interesting 8 pm Shadow infer	been improved hourver it to see the 4pm, 6pm and
Also the whole structor	ure could be moved west if
the city could be p	ersuaded to allow access from
· .	
· ·	
water and the state of the stat	



Phone: (604) 277-2323 Fax: (604) 277-0313

APRIL 25, 2017

REZONING PUBLIC OPEN HOUSE 5:30PM TO 7:30PM	
NAME (Optional)	RICHMOND ADDRESS (Optional)
PLEASE PROVIDE COMMENTS:  Congratulations of  that look like if  Acroward to the Congratulation of the Congrat	n the successful revisions improvements. I look intimuld progress until letion to provide housing reston.



4360 Garry Street Richmond, B.C. Canada V7E 2V2 Phone: (604) 277-2323

Fax: (604) 277-0313

APRIL 25, 2017

THANK YOU.

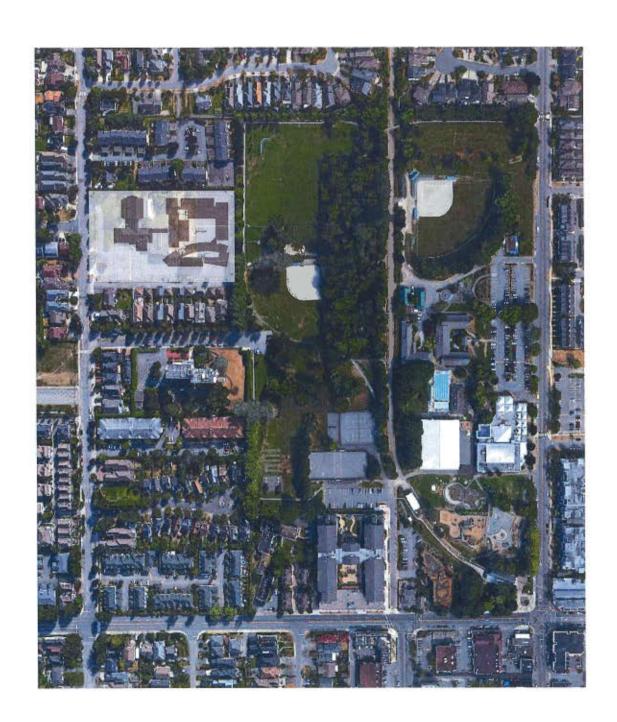
EZONING PUBLIC OPEN HOUSE :30PM TO 7:30PM
NADTA WOTNA
ADDRESS (Optional)
LEASE PROVIDE COMMENTS:
You have been very thought ful of your surroundings. We look forward to
Raving another Pacility in our community
Thankeger





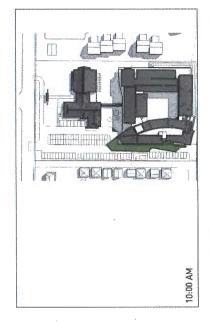
4360 GARRY ST. RICHMOND, BC.

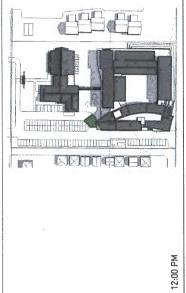
SITE PLAN

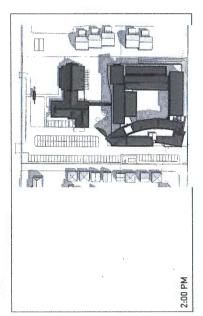


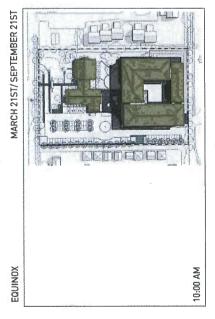


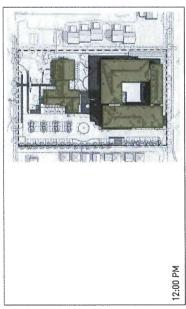


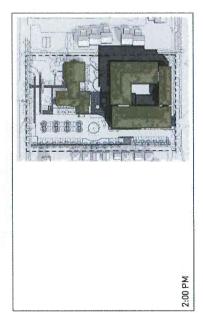






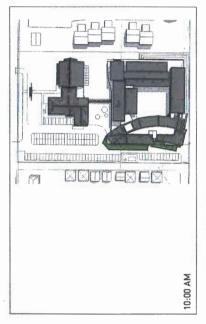


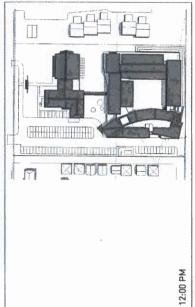


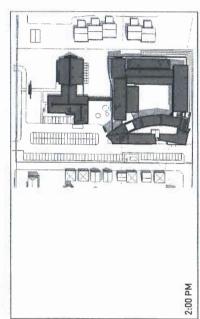


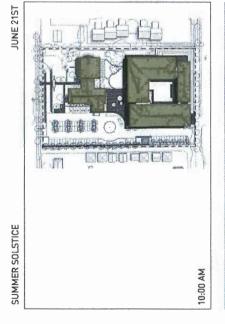


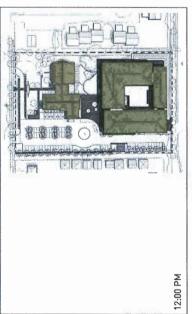


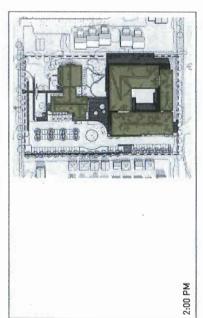






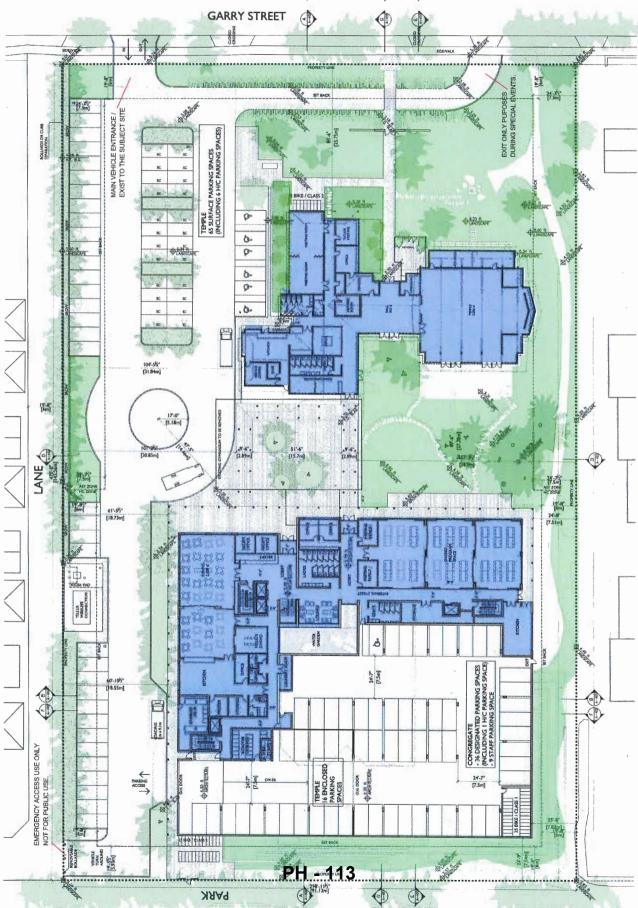




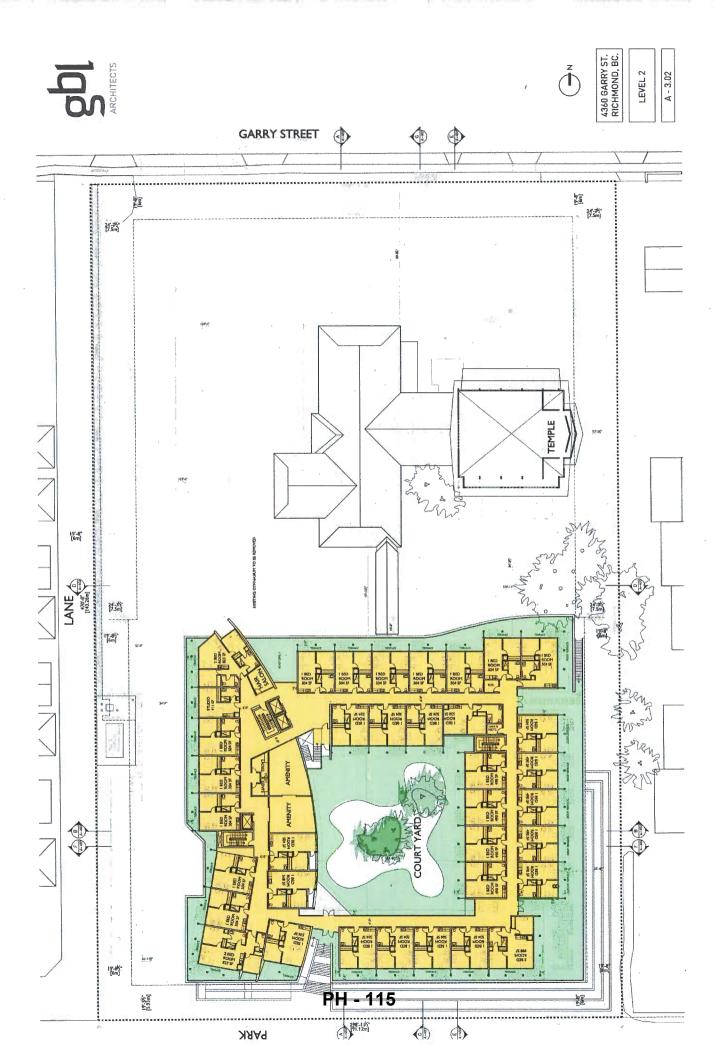


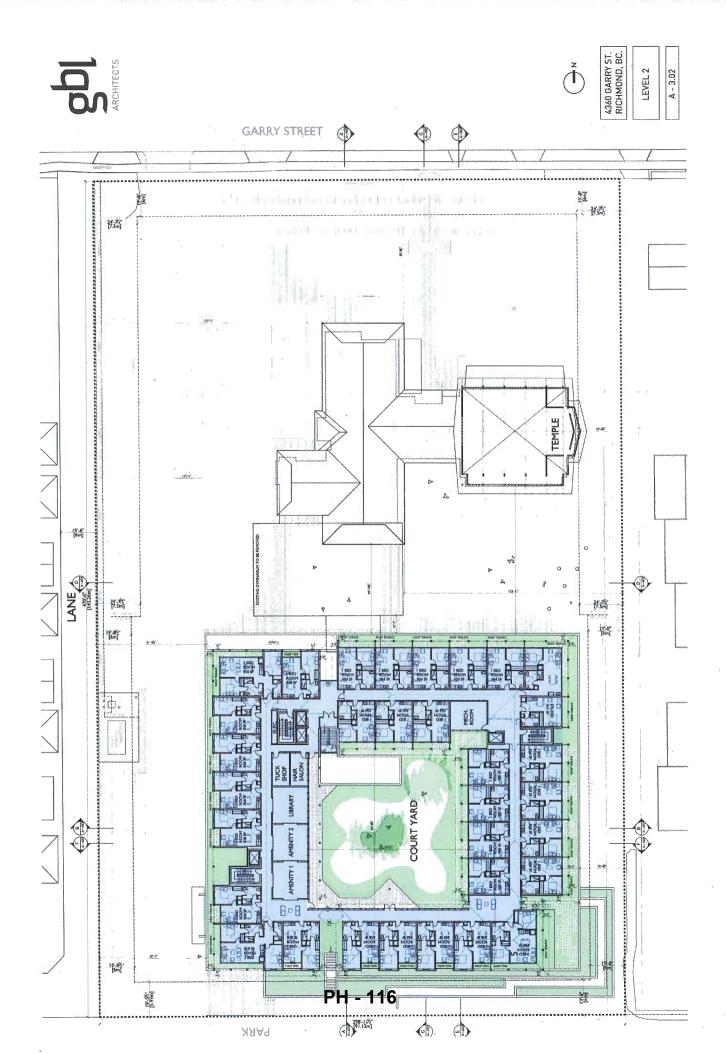










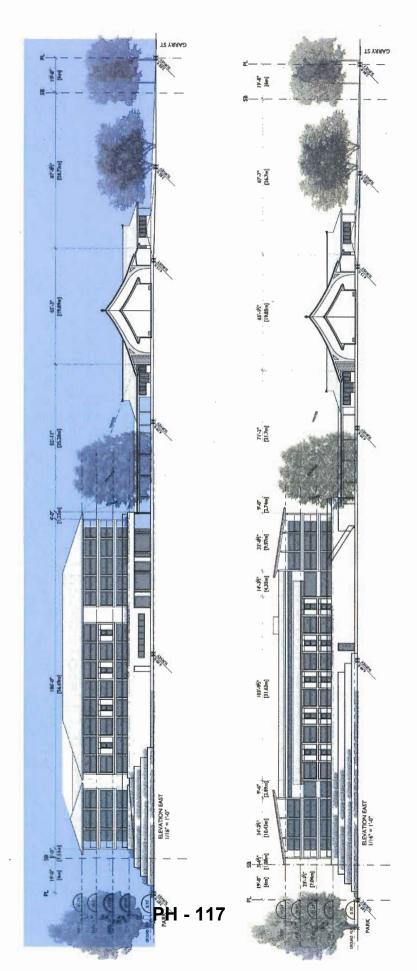




4360 GARRY ST. RICHMOND, BC.

ELEVATIONS

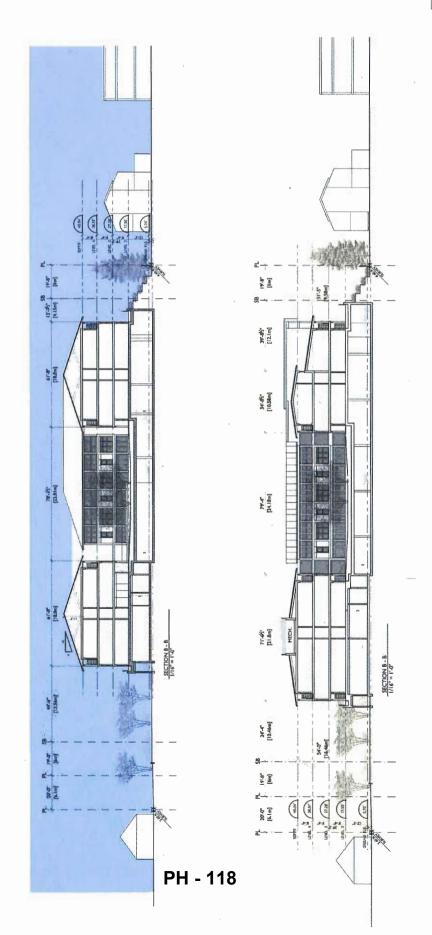
A - 4.01



4360 GARRY ST. RICHMOND, BC.

ELEVATIONS

A - 4.02





STREET VIEW SKETCH

A - 5.01



SACHITECTS.





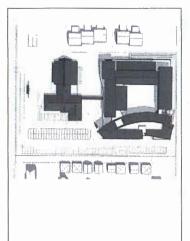


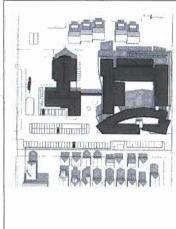


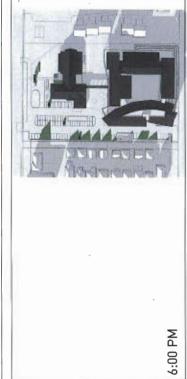
4360 GARRY STREET



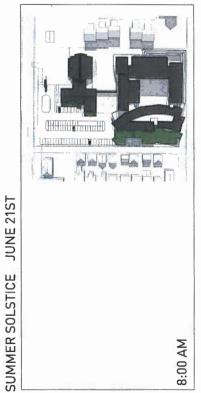
#### **ATTACHMENT 7**

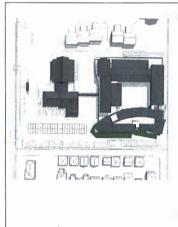






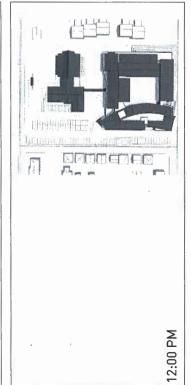
2:00 PM





4:00 PM

10:00 AM



8:00 AM

PH - 121

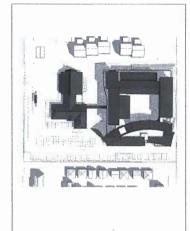


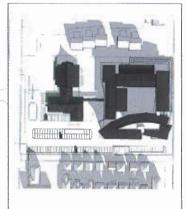




4360 GARRY STREET

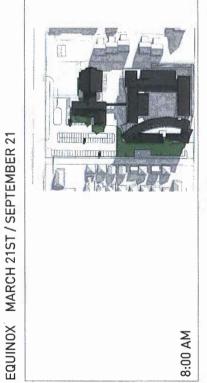
SHADOW ANALYSIS EQUINOX

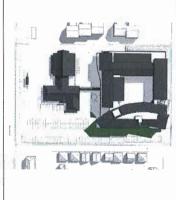




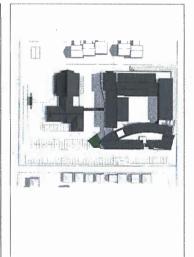
2:00 PM

4:00 PM



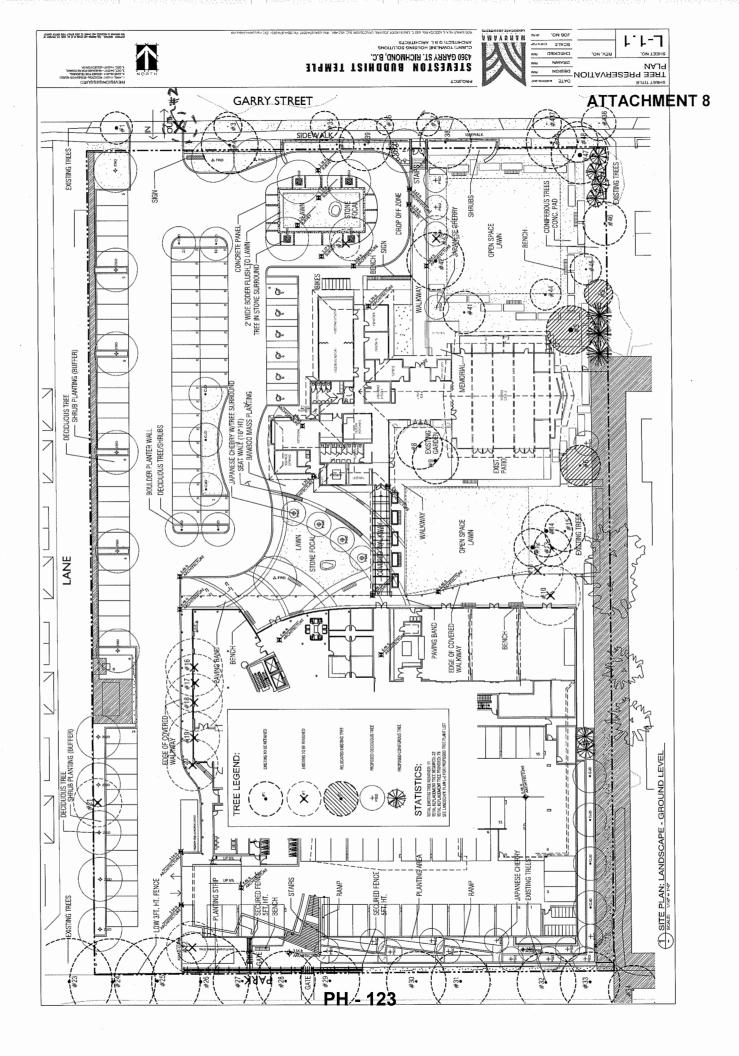


10:00 AM



12:00 PM

8:00 AM





## **Rezoning Considerations**

Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 4360 Garry Street

File No.: RZ 16-737146

# Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9814, the developer is required to complete the following:

- 1. Final Adoption of OCP Amendment Bylaw 9813.
- 2. Registration of a 3 m by 3 m statutory-right-of-way (SRW) at the subject site's northeast corner for existing City storm infrastructure.
- 3. Registration of a flood indemnity covenant on title.
- 4. Registration of a legal agreement on title that:
  - a) Identifies dedicated off-street parking for the residential units of the congregate housing complex.
  - b) Identifies that the remaining off-street parking stalls, outside of those required for the congregate housing residential units, be available and shared for both assembly use and employees of the congregate housing facility.
  - c) Any control structure/gate restricting access to the parking stalls located in the structured parkade within the congregate housing complex shall be designed and/or operated in a manner to ensure full access to assembly uses and employees to the congregate housing facility in accordance with the above provisions of this legal agreement.
- 5. Registration of a legal agreement on title that secures the following transportation demand management measures for this project:
  - a) A private shuttle bus to be dedicated solely for use by the congregate housing complex.
  - b) Provisions for end of trip cycling facilities integrated into the congregate housing facility.
- 6. Registration of a legal agreement on title to allow the dedicated on-site loading space provided on the subject site to be shared between the assembly and congregate housing uses.
- 7. Registration of a legal agreement requiring demolition of the existing accessory gymnasium to the temple prior to final inspection being granted to the congregate housing complex.
- 8. For on-site trees to be retained/relocated, submission of an ISA certified arborist report that:
  - a) Provides details on tree-protection zones for all on-site trees to be retained where all development activity/site preparation works will need to be managed, to be approved by City staff.
  - b) Confirmation of installation of all on-site tree protection zones to the approval of City staff in accordance with the consulting arborist report recommendations prior to final adoption and/or commencement of any site preparation works (i.e., preloading or other).
  - c) For on-site trees proposed to be relocated to another location on-site, provide information on a qualified tree moving company that has been engaged to undertake the works.
- 9. For off-site trees to be retained on City property directly to the south of the subject site in Steveston Park and within the Garry Street allowance, submission of an ISA certified arborist report that:
  - a) Outlines a management and monitoring plan for these City trees to the satisfaction of Parks staff coordinated with all anticipated site preparation and development works proposed for the site. If any site preparation or development works are anticipated/observed to have an impact on City trees, the consulting arborists is required to develop an appropriate management plan to be reviewed and approved by Parks staff.
  - b) Identify tree protection zones in accordance with City specifications.
  - c) Confirmation of installation of all tree protection zones to the approval of City staff in accordance with the consulting arborist report recommendations prior to final adoption and/or commencement of any site preparation works (i.e., preloading or other).

- 10. The submission and processing of a Development Permit\* completed to a level deemed acceptable by the Director of Development.
- 11. Registration of a legal agreement that identifies that no preload and/or site preparation activities shall commence on the subject site until the following conditions have been met to the satisfaction of the Director of Engineering:
  - a) Submission of a geotechnical report and accompanying preload plan to the satisfaction and approval of engineering staff to address all site preparation activities in relation to potential impacts to existing City infrastructure, including:
    - Identification of projected settlements and differential settlements along the sanitary sewers at the east and south property lines of the development site.
    - Undertake a video inspection report of the existing condition of the sanitary sewers identified above.
  - b) Submission of a deposit/bond from the applicant to address potential damage to and replacement/repair of City infrastructure resulting from on-site preparation/preload activities. The deposit/bond amount shall be determined by the Director of Engineering and based on the anticipated risk to City infrastructure based on the site preparation activities proposed and recommendations of the applicant's geotechnical consultant.
  - c) No preload activities/site preparation works is permitted to be undertaken until all above clauses a) and b) have been addressed/completed.
  - d) Identifies that no building permit for the congregate housing facility will be issued until confirmation of either:
    - No impacts to city infrastructure after preload and other site preparation activities has been completed to the satisfaction of City Engineering staff, including but not limited to the submission of a post preload video inspection report for the above referenced City sanitary sewer infrastructure; or
    - Any repairs/replacement to City sanitary sewer infrastructure to be done at the developer's sole cost to the satisfaction of the City through a Servicing Agreement process to be completed prior to issuance of the Building Permit.

# Prior to a Development Permit\* being forwarded to the Development Permit Panel for consideration, the developer is required to (preliminary):

- 1. Confirmation of the amount of the landscape letter of credit/bond for all on-site landscaping proposed for the project (Note: Landscape letter of credit/bond is required to be submitted prior to the issuance of the Development Permit by Council).
- 2. Other items as determined through the processing of the Development Permit application.

#### Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Ensure rezoning consideration Item #11 (above), related to preload/site preparation activities and impacts to City infrastructure (sanitary sewer), are addressed to the satisfaction of the Director of Engineering.
- 2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- 3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- 4. Enter into a Servicing Agreement\* and/or City Work Order for the design and construction (at the developers sole cost) of the following engineering infrastructure improvements (Works include, but may not be limited to):

#### Water Works:

- Using the OCP Model, there is 342 L/s of water available at a 20 psi residual at the Steveston Hwy frontage. Based on your proposed development, your site requires a minimum fire flow of 250 L/s.
- The Developer is required to:
  - o Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection.

Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.

- At the Developers cost, the City is to:
  - o Cut, cap, and remove existing water service connection and meter.
  - o Install new water service connection, complete with meter and meter box, off of the existing 200mm PVC water main along Garry Street.

#### **Storm Sewer Works:**

- At Developer's cost, the City is to:
  - o Install a new storm service connection off of the existing 675mm storm sewer along Garry Street, complete with inspection chamber.
  - Cut, cap and remove all existing storm service connections and inspection chambers STIC53905, STIC56983, STIC45453, STIC56982, and STIC45452.
  - o Cut and cap, at inspection chamber STIC45458, the existing storm service connection servicing the development site at the northeast corner. Retain the existing connection servicing the adjacent lot.

#### Sanitary Sewer Works:

- At Developer's cost, the City is to:
  - o Install a new sanitary service connection off of the existing manhole SMH4862 at the south end of the development site. The manhole is to serve as the inspection chamber.

#### Frontage Improvements:

- The Developer is required to:
  - O Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
    - 1. BC Hydro PMT 4mW X 5m (deep)
    - 2. BC Hydro LPT 3.5mW X 3.5m (deep)
    - 3. Street light kiosk 1.5mW X 1.5m (deep)
    - 4. Traffic signal kiosk 1mW X 1m (deep)
    - 5. Traffic signal UPS 2mW X 1.5m (deep)
    - 6. Shaw cable kiosk 1mW X 1m (deep) show possible location in functional plan
    - 7. Telus FDH cabinet 1.1mW X 1m (deep) show possible location in functional plan
  - o Coordinate with BC Hydro to underground Hydro service lines.
  - Omplete other frontage improvements as per Transportation's requirements, including closure of the two driveway crossings (middle and east) and reinstatement of the of the current frontage treatment on Garry Street (concrete curb and gutter, grass & treed boulevard, concrete sidewalk) and widening of the existing western driveway.

#### **General Items:**

- The Developer is required to:
  - o Not encroach into the sanitary right-of-way along the east property line with proposed trees, retaining walls, non-removable fences, or other non-removable structures.
- Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of **PH 126**

nitial:	

Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, dewatering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Not start onsite building construction prior to completion of rear yard sanitary works by City crews.
- 5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

#### Note:

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

	SIGNED	COPY	00	FILE		
Signed				.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	Date	



## Richmond Official Community Plan Bylaw 9000 and 7100 Amendment Bylaw 9813 (RZ 16-737146) 4360 Garry Street

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 9000 is amended by repealing the existing land use designation in the 2041 OCP Land Use Map to Schedule 1 of the Official Community Plan thereof of the following area and by designating it "Apartment Residential".

That area shown cross-hatched on "Schedule A attached to and forming part of Bylaw 9813"

2. Richmond Official Community Plan Bylaw 7100 is amended by repealing the existing land use designation in the Steveston Area Plan Land Use Map to Schedule 2.4 (Steveston Area Plan) thereof of the following area and by designating it "Multiple Family".

That area shown cross-hatched on "Schedule A attached to and forming part of Bylaw 9813"

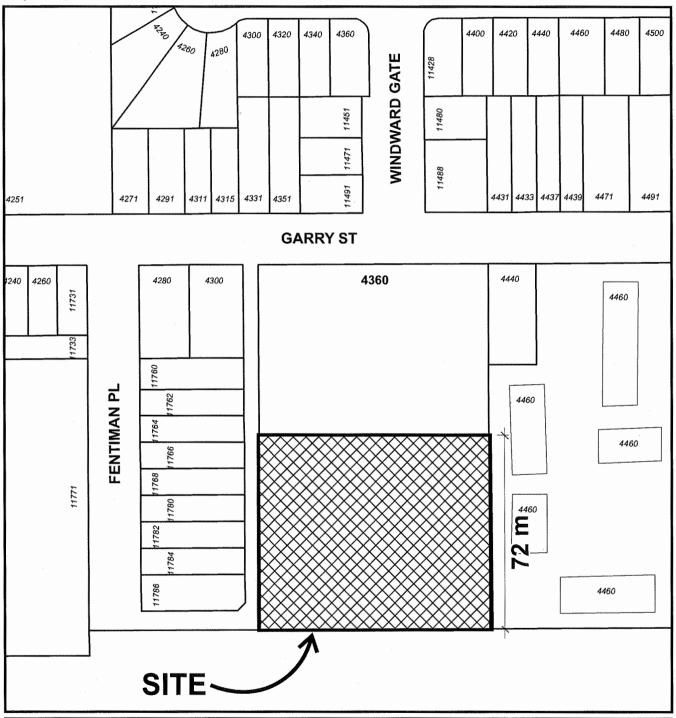
3. This Bylaw may be cited as "Richmond Official Community Plan Bylaw 9000 and 7100, Amendment Bylaw 9813".

FIRST READING	FEB 1 3 2018	CITY OF RICHMOND
PUBLIC HEARING		APPROVED by
SECOND READING		APPROVED by Manager
THIRD READING		or Solicitor
OTHER CONDITIONS SATISFIED		
ADOPTED		
MAYOR	CORPOR A THE OUTSIGN	
MAYOR	CORPORATE OFFICE	K

# Schedule A attached to and forming part of Bylaw 9813



# City of Richmond





RZ 16-737146 OCP Bylaws 9000 & 7100, Amendment Bylaw 9813

Original Date: 01/23/18

Revision Date: 01/24/18

Note: Dimensions are in METRES



### Richmond Zoning Bylaw 8500 Amendment Bylaw 9814 (RZ 16-737146) 4360 Garry Street

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. Richmond Zoning Bylaw 8500 is amended by:
  - a. Insert the following into Section 21 Site Specific Residential (Other) Zones, in numerical order:
    - "21.12 Assembly and Congregate Housing Garry Street (Steveston)(ZR12)
    - 21.12.1 **Purpose**

The **zone** provides for **religious assembly**, **congregate housing** and other limited supporting and accessory **uses**.

- 21.12.2 Permitted Uses
  - religious assembly
  - congregate housing
- 21.12.3 Secondary Uses
  - childcare
  - interment facility
  - health service, minor
  - residential security/operator unit

#### 21.12.4 Permitted Density

- 1. The maximum **floor area ratio** is 0.78.
- 2. Notwithstanding Section 21.12.4.1, the maximum floor area ratio for a congregate housing complex is 9,130 m<sup>2</sup> (0.7 floor area ratio).
- 3. For the purposes of this **zone** any covered unenclosed walkway is not included in the calculation of **floor area ratio**.

#### 21.12.5 Permitted Lot Coverage

1. The maximum lot coverage is 40% for buildings.

#### 21.12.6 Yards & Setbacks

- 1. For a religious assembly building:
  - a) The minimum front yard is 20 m.
  - b) The minimum **interior side yard** (east) is 7 m.
  - c) The minimum side yard (west) is 30 m.
  - d) The minimum rear yard is 80 m.

#### 2. For a congregate housing building:

- a) The minimum **front yard** is 70 m.
- b) The minimum interior side yard (east) is 6 m.
- c) The minimum **side yard** (west) is 14.5 m.
- d) The minimum rear yard is 6 m.

#### 21.12.7 Permitted Heights

- 1. The maximum building height for a religious assembly building and accessory structure is 12 m.
- 2. The maximum building height for a congregate housing building is 15 m.

#### 21.12.8 Subdivision Provisions/Minimum Lot Size

1. The minimum lot area is  $13,000 \text{ m}^2$ .

#### 21.12.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided according to the provision of Section 6.0.

#### 21.12.10 On-Site Parking

1. On-site vehicle and bicycle parking and loading shall be provided according to the standards set-out in Section 7.0.

#### 21.12.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it "ASSEMBLY AND CONGREGATE HOUSING GARRY STREET (STEVESTON)(ZR12)".

P.I.D. 001-235-265

Lot 132 Except: Firstly: Part Road on Plan LMP20538, Secondly: Part Subdivided by Plan LMP25471, Section 2 Block 3 North Range 7 West New Westminster District Plan 40449

3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9814".

FIRST READING	FEB 1 3 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director or Solicitor
THIRD READING		- RC
OTHER CONDITIONS SATISFIED		
ADOPTED		
MAYOR	CORPORATE OFFICER	



# **Report to Committee**

To:

Planning Committee

Date:

January 30, 2018

From:

Wayne Craig

File:

RZ 16-721172

Re:

Director, Development

Application by 0983101 B.C. Ltd. for Rezoning at 5220/5240 Merganser Drive

from the "Two-Unit Dwellings (RD1)" Zone to the "Single Detached (RS2/B)"

Zone

#### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9828, for the rezoning of 5220/5240 Merganser Drive from "Two-Unit Dwellings (RD1)" to "Single Detached (RS2/B)", be introduced and given first reading.

Wayne Craig

Director, Development

(604-247-4625)

WC:sds Att. 5

**ROUTED TO:** 

Affordable Housing

REPORT CONCURRENCE			
CONCURRENCE	CONCURRENCE OF GENERAL MANAGER		
⊠′	de totes		

#### Staff Report

#### Origin

0983101 B.C. Ltd. has applied to the City of Richmond for permission to rezone the property at 5220/5240 Merganser Drive from the "Two-Unit Dwellings (RD1)" zone to the "Single Detached (RS2/B)" zone, to permit the property to be subdivided into two single-family lots, with vehicle access from Merganser Drive (Attachment 1). The subject site is currently occupied by a duplex, which is proposed to be demolished. The proposed subdivision plan is provided in Attachment 2.

#### **Findings of Fact**

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 3).

#### Subject Site Existing Housing Profile

The applicant has advised both units of the existing duplex are currently rented and contain no existing secondary suites.

#### **Surrounding Development**

Development immediately surrounding the subject site is as follows:

To the North: Single-family dwellings on lots zoned "Single Detached (RS1/E)" fronting

Merganser Drive.

To the South

Single-family dwellings on lots zoned "Single Detached (RS1/B)" fronting

& East:

Osprey Drive.

To the West:

Single-family dwellings on lots zoned "Single Detached (RS1/E)" fronting

Merganser Drive.

#### **Related Policies & Studies**

#### Official Community Plan/Steveston Area Plan

The Official Community Plan (OCP) land use designation for the subject site is "Neighbourhood Residential (NRES)". The Steveston Area Plan land use designation for the subject site is "Single-Family". The proposed rezoning and subdivision would comply with these designations.

#### Zoning Bylaw 8500

Section 2.3.7 of Zoning Bylaw 8500 permits properties with existing legal duplexes to be rezoned and subdivided into no more than two single-family lots. Proposed lots at the subject site will be approximately 15.6 m (51 ft.) and 17.4 m (57 ft.) wide and approximately 573 m<sup>2</sup>

(6,167 ft<sup>2</sup>) and 652 m<sup>2</sup> (7,018 ft<sup>2</sup>) in area. The proposed subdivision would comply with the minimum lot dimensions and size identified in the "Single Detached (RS2/B)" zone.

#### Floodplain Management Implementation Strategy

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

#### **Public Consultation**

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing; where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

#### **Analysis**

#### Existing Legal Encumbrances

Existing legal encumbrances on the subject property include:

- 6.0 m wide utility statutory right-of-way (SRW) for Metro Vancouver sanitary trunk sewer, located along the south property line of the subject property (Plan 44761).
- 3.0 m wide utility SRW for City sanitary sewer (Plan 44471), located north of SRW Plan 44761 on the south property line and along the east property line.

An additional 1.5 m wide SRW is required north of the existing SRW Plan 44471 to allow for accessibility to the existing City sanitary sewer. The applicant must provide this new SRW prior to final adoption of the rezoning bylaw.

The existing and new SRWs will not be impacted by the proposed development and the applicant is aware that encroachment into the SRWs is not permitted.

Additionally, there are existing restrictive covenants registered on Title restricting the use of the subject property to a duplex (document #RD50346 & #RD120849). The covenants must be discharged from Title prior to final adoption of the rezoning bylaw.

Prior to Subdivision approval, the applicant must cancel the existing Strata Plan (NW1418) from the Title of the subject property.

5718459 PH - 135

#### Transportation and Site Access

Vehicular access to the proposed lots is to be from Merganser Drive. Due to the proposed narrow frontage for each lot (approximately 6.2 m), access will be via a single shared driveway letdown, which will be secured at Subdivision stage through the required servicing works.

#### Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report, which identifies tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The report assesses eight bylaw-sized trees located on the subject property and four trees located on neighbouring properties.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report, conducted an on-site visual assessment and concurs with the Arborist's recommendations, with the following comments:

- Seven trees (tag# 188-194) located on the development site exhibit poor form from historically poor pruning, heavy infestation of pest and disease. Remove and replace.
- One tree (tag# 195) located on the development site is in moderate condition, but in direct conflict with the proposed development. Remove and replace.
- Four neighbouring trees (tag# A, B, D & E) are to be retained. Due to the distance between the trees and the subject property, no additional or special tree protection measures are required.

#### Tree Replacement

For the removal of the eight trees on-site, the OCP tree replacement ratio goal of 2:1 requires 16 replacement trees. The applicant has proposed to plant three trees on each lot, for a total of six replacement trees.

As per Tree Protection Bylaw No. 8057, based on the sizes of the on-site trees being removed (21-36 cm dbh), replacement trees shall be the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
3	6 cm	3.5 m
. 3	8 cm	4 m

To ensure the six replacement trees are planted on-site, the applicant is required to submit a Landscaping Security in the amount of \$3,000 (\$500/tree) prior to final adoption of the rezoning bylaw. Securities will not be released until a landscaping inspection has been passed by City staff after construction and landscaping has been completed. The City may retain a portion of the security for a one year maintenance period from the date of the landscape inspection.

To satisfy the 2:1 replacement ratio established in the OCP, the applicant will contribute \$5,000 (\$500/tree) to the City's Tree Compensation Fund in lieu of the remaining 10 trees that cannot be accommodated on the subject property after redevelopment.

#### Affordable Housing Strategy

The City's Affordable Housing Strategy for single-family rezoning applications received prior to July 24, 2017, requires a secondary suite on 100% of new lots, or a secondary suite on 50% of new lots, plus a cash-in-lieu contribution of \$2.00/ft² of total buildable area towards the City's Affordable Housing Reserve Fund for the remaining 50% of new lots, or a 100% cash-in-lieu contribution if secondary suites cannot be accommodated.

The applicant proposes to provide a legal secondary suite in one (proposed Lot 2) of the two lots proposed at the subject site. To ensure that the secondary suite is built to the satisfaction of the City in accordance with the City's Affordable Housing Strategy, the applicant is required to enter into a legal agreement registered on Title, stating that no final Building Permit inspection will be granted until the secondary suite is constructed to the satisfaction of the City in accordance with the BC Building Code and Richmond Zoning Bylaw 8500. Registration of this legal agreement is required prior to final adoption of the rezoning bylaw.

For the remaining lot (proposed Lot 1), the applicant has noted that due to the size and configuration of the lot, accommodating a suite on this lot would impact house size and design. The applicant proposes to provide a voluntary contribution to the Affordable Housing Reserve Fund based on \$2.00/ft<sup>2</sup> of total buildable area (i.e. \$6,200.55) in lieu of providing a secondary suite, consistent with the Affordable Housing Strategy. The cash-in-lieu contribution must be submitted prior to final adoption of the rezoning bylaw.

#### Site Servicing and Frontage Improvements

At Subdivision stage, the applicant is required to pay the current year's taxes and the costs associated with the completion of the required servicing works and frontage improvements as described in Attachment 5.

Frontage improvements include, but are not limited to, construction of a shared driveway letdown, and sidewalk and boulevard replacement at the developer's cost.

#### Financial Impact or Economic Impact

The rezoning application results in an insignificant Operational Budget Impact (OBI) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals).

#### Conclusion

The purpose of this application is to rezone the property at 5220/5240 Merganser Drive from the "Two-Unit Dwellings (RD1)" zone to the "Single Detached (RS2/B)" zone, to permit the property to be subdivided into two single-family lots.

The rezoning application complies with the land use designation and applicable policies contained within the OCP and Area Plan for the subject site.

The list of rezoning considerations is included in Attachment 5; which has been agreed to by the applicant (signed concurrence on file).

On this basis, it is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9828 be introduced and given first reading.

8---

Steven De Sousa Planning Technician – Design (604-204-8529)

SDS:blg

Attachment 1: Location Map & Aerial Photo

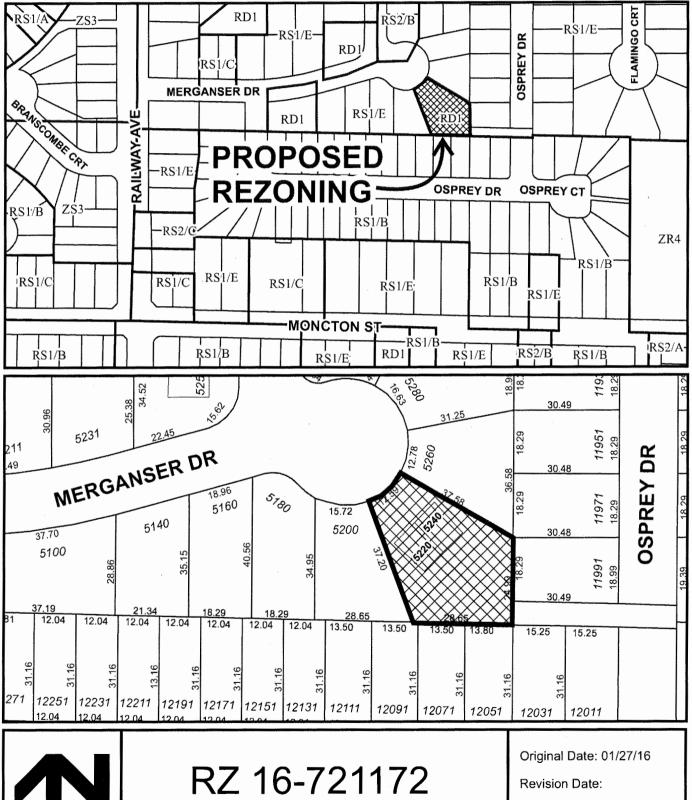
Attachment 2: Proposed Subdivision Plan

Attachment 3: Development Application Data Sheet

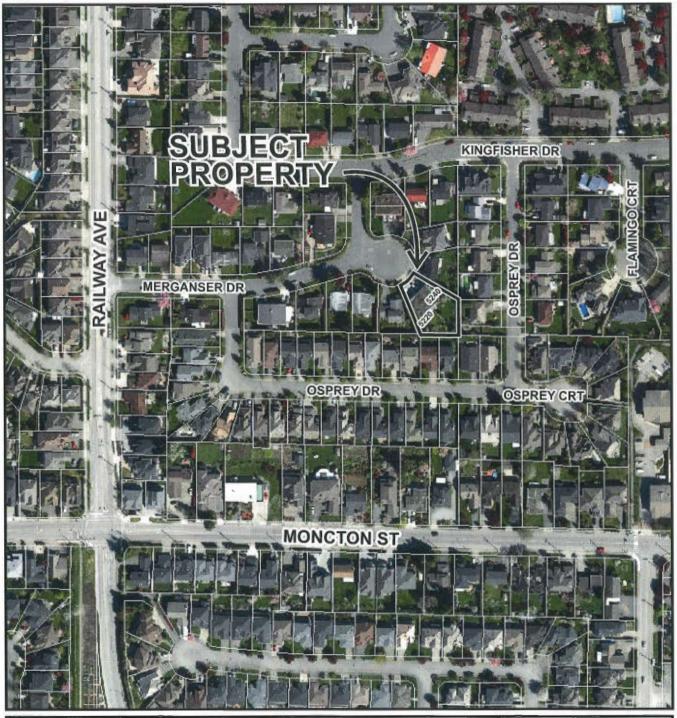
Attachment 4: Tree Management Plan Attachment 5: Rezoning Considerations

Note: Dimensions are in METRES









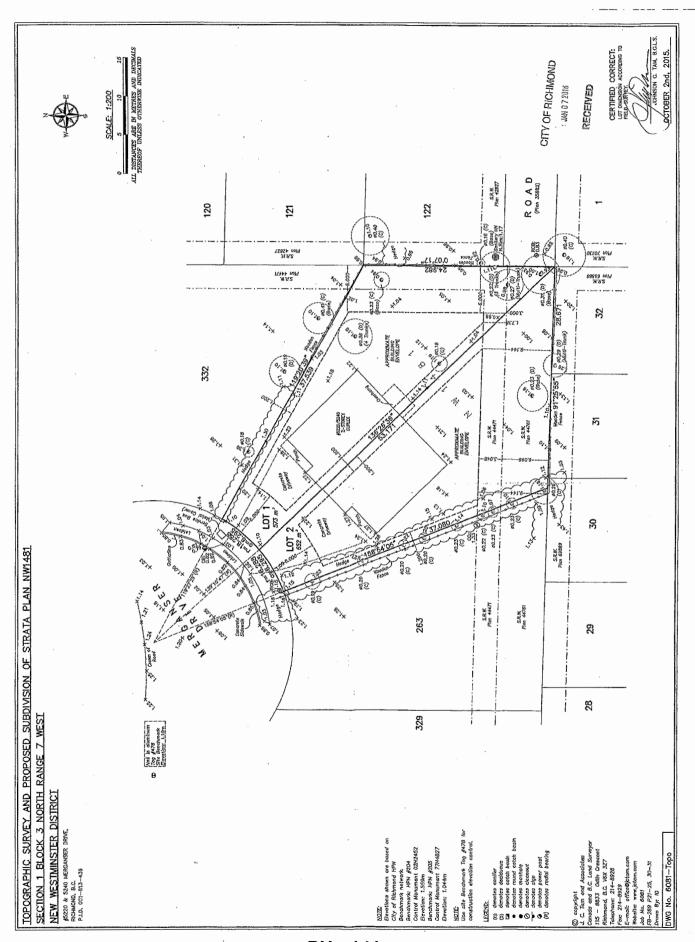


RZ 16-721172

Original Date: 01/27/16

Revision Date:

Note: Dimensions are in METRES



PH - 141



# **Development Application Data Sheet**

**Development Applications Department** 

RZ 16-721172 Attachment 3

Address: 5220/5240 Merganser Drive

Applicant: 0983101 BC Ltd.

Planning Area(s): Steveston

	Existing	Proposed
Owner:	0983101 BC Ltd.	To be determined
Site Size:	1,225 m <sup>2</sup> (13,186 ft <sup>2</sup> )	Lot 1: 573 m <sup>2</sup> (6,168 ft <sup>2</sup> ) Lot 2: 652 m <sup>2</sup> (7,018 ft <sup>2</sup> )
Land Uses:	Two-unit residential	Single-family residential
OCP Designation:	Neighbourhood Residential	No change
Area Plan Designation:	Single-Family	No change
Zoning:	Two-Unit Dwellings (RD1)	Single Detached (RS2/B)

Proposed Lots	Bylaw Requirement	Prop	osed	Variance
Floor Area Ratio:	Max. 0.55 for 464.5 m <sup>2</sup> of lot area plus 0.3 for remainder	Max. 0.55 for 464.5 m <sup>2</sup> of lot area plus 0.3 for remainder		None permitted
Buildable Floor Area:*	Lot 1: Max. 288.0 m² (3,100 ft²) Lot 2: Max. 311.7 m² (3,355 ft²)		.0 m² (3,100 ft²) .7 m² (3,355 ft²)	None permitted
Lot Coverage:	Building: Max. 45% Non-porous: Max. 70% Landscaping: Min. 25%	Building: Max. 45% Non-porous: Max. 70% Landscaping: Min. 25%		None
Lot Size:	Min. 360.0 m²	Lot 1: 573 m <sup>2</sup> Lot 2: 652 m <sup>2</sup>		None
Lot Dimensions:	Width: Min. 12.0 m Depth: Min. 24.0 m	Lot 1 Width: 15.6 m Depth: 45.3 m		None
Setbacks:	Front: Min. 6.0 m Rear (60% of rear wall): Min. 20% of lot depth Rear (40% of rear wall): Min. 25% of lot depth Side: Min. 1.2 m  Front: Min. 6.0 m Rear (60%): Min. 9.0 m Rear (40%): Min. 10.7 m Side: Min. 1.2 m		None	
Height:	Max. 2 ½ storeys	Max. 2 ½	≨ storeys	None

Other: Tree replacement compensation required for loss of significant trees.

<sup>\*</sup> Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



## **Rezoning Considerations**

Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 5220/5240 Merganser Drive

File No.: RZ 16-721172

# Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9828, the developer is required to complete the following:

1. Submission of a Landscape Security in the amount of \$3,000 (\$500/tree) to ensure that a total of three replacement trees are planted and maintained on each lot proposed (for a total of six trees) with the following minimum replacement sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	or	Minimum Height o
3	6 cm		3.5
3	8 cm		4

Minimum Height of Coniferous Tree 3.5 m 4 m

If required replacement trees cannot be accommodated on-site, a cash-in-lieu contribution in the amount of \$500/tree to the City's Tree Compensation Fund for off-site planting is required

- 2. City acceptance of the developer's offer to voluntarily contribute \$5,000 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
- 3. Granting of a 1.5 m wide statutory right-of way north of the existing SRW Plan 44471 to allow for accessibility to the existing sanitary sewer.
- 4. Registration of a flood indemnity covenant on Title.
- 5. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on one of the two future lots (proposed Lot 2), to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
- 6. The City's acceptance of the applicant's voluntary contribution of \$2.00 per buildable square foot of the single-family developments (i.e. \$6,200.55) to the City's Affordable Housing Reserve Fund.
- 7. Discharge of the existing covenants registered on Title of the subject property (document no.RD50346 & RD120849), which restrict the use of the subject property to a duplex.

#### At Subdivision\* stage, the developer must complete the following requirements:

- 1. Cancellation of existing Strata Plan (NW1481).
- 2. Payment of current year's taxes and the costs associated with the completion of the required servicing works and frontage improvements.
- 3. The following servicing works and off-site improvements may be completed through either: a) a Servicing Agreement\* entered into by the applicant to design and construct the works to the satisfaction of the Director of Engineering; or b) a cash contribution based on a City cost estimate for the City to manage the design and construction of the works:

#### Water Works:

- a) Using the OCP Model, there is 151.0 L/s of water available at a 20 psi residual at the Merganser Drive frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- b) The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow
    calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations
    must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and
    Building designs.
- c) At Developers cost, the City is to:
  - Cut & cap the existing water service connection at main.
  - Install two new water service connections with meter and meter box.

PH - 144

Initial	

#### Storm Sewer Works:

- d) The Developer is required to:
  - At Building Permit stage, pay for extended servicing works described below.
- e) At Developers cost, the City is to:
  - Install a new 1200 mm manhole approximately 3m west of existing catch basin STCB7137.
  - Cut & cap the existing storm service lateral that ties-in to existing catch basin STCB7137 as required.
  - Install new storm service lateral connecting existing inspection chamber STIC47722 to the new proposed manhole.
  - Install a new storm service connection for Lot 5240, complete with inspection chamber and tie-in to new proposed MH.

# Sanitary Sewer Works:

- f) The Developer is required to:
  - Provide an additional 1.5m of SRW along the south property line, north of the existing SRW Plan 44471 to allow for accessibility to the existing sanitary sewer. No encroachment is allowed in the new SRW.
- g) At Developers cost, the City is to:
  - Cut & cap the existing sanitary service connection towards the southwest corner of the lot.
  - Install a new sanitary service connection complete with IC and dual service leads off of the existing 200 mm PVC sanitary sewer main running along the south property line of the development site.
  - All sanitary works to be completed prior to any on-site building construction.

# Frontage Improvements:

- h) The Developer is required to:
  - Coordinate with BC Hydro, Telus and other private communication service providers:
    - To underground Hydro service lines.
    - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
    - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc.).
  - Complete other frontage improvements as per Transportation's requirements, which include, but are not limited to the following:
    - Construction of a shared driveway letdown at the developer's cost.
    - Sidewalk and boulevard replacement as required at the developer's cost.

#### General Items:

- a. The Developer is required to:
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

# Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. If applicable, Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- 2. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

_ 4	
ote	

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy on file]		
Signed	Date	



# Richmond Zoning Bylaw 8500 Amendment Bylaw 9828 (RZ 16-721172) 5220/5240 Merganser Drive

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it "SINGLE DETACHED (RS2/B)".

P.I.D. 001-813-439

Strata Lot 1 Section 1 Block 3 North Range 7 West New Westminster District Strata Plan NW1481 together with an interest in the Common Property in proportion to the unit entitlement of the Strata Lot as shown on Form 1.

P.I.D. 001-813-463

Strata Lot 2 Section 1 Block 3 North Range 7 West New Westminster District Strata Plan NW1481 together with an interest in the Common Property in proportion to the unit entitlement of the Strata Lot as shown on Form 1.

2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9828".

FIRST READING	FEB 1 3 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor
OTHER CONDITIONS SATISFIED		
ADOPTED	·	
MAYOR	CORPORATE OFFICEI	3



# **Report to Committee**

To:

Planning Committee

Date:

February 15, 2018

From:

Wayne Craig

File:

TU 18-798524

Re:

Director, Development

Application by Openroad Auto Group Ltd. for a Temporary Commercial Use Permit at 5400 Minoru Boulevard

#### Staff Recommendation

1. That the application by Openroad Auto Group Ltd. for a Temporary Commercial Use Permit for property at 5400 Minoru Boulevard be considered at the Public Hearing to be held March 19, 2018 at 7:00 p.m. in the Council Chambers of Richmond City Hall, and that the following recommendation be forwarded to that meeting for consideration.

"That a Temporary Commercial Use Permit be issued to Openroad Auto Group Ltd. for the property at 5400 Minoru Boulevard to allow Vehicle Sale/Rental as a permitted use for a period of three years."

Wayne Craig

Director, Development

(604-247-4625)

WC:jr Att. 4

REPORT CONCURRENCE

CONCURRENCE OF GENERAL MANAGER

## Staff Report

# Origin

Openroad Auto Group Ltd. has applied to the City of Richmond for a Temporary Commercial Use Permit (TCUP) to allow Vehicle Sale/Rental as a permitted use at 5400 Minoru Boulevard on a site zoned "Industrial Retail (IR1)" (Attachment 1). The applicant proposes to relocate the showroom and service facility for Hyundai Richmond to the subject property for approximately 18 months, during which time a new facility will be built at the Richmond Auto Mall.

If approved, the TCUP would be valid for a period of up to three years from the date of issuance, at which time an application for an extension to the Permit may be made and issued for up to three additional years. The three year period would allow for the proposed 18 month tenancy, as well as any extension to the tenancy required until the new facility is built. The *Local Government Act* allows Council to consider TCUP issuance on its own merits and does not limit the number of TCUP issuances allowed on a site.

## **Findings of Fact**

A Development Application Data Sheet providing details about the development proposal is provided in Attachment 2.

## **Surrounding Development**

The subject site is located in Lansdowne Village within the City Centre Area Plan. Development immediately surrounding the subject site is as follows:

- To the north, south and west: Commercial and industrial buildings on properties zoned "Industrial Retail (IR1)".
- To the east: Several vacant properties currently zoned "Auto-Oriented Commercial (CA)", which are included in an in process rezoning application to allow a mixed-use development (RZ 15-692485).

#### Related Policies & Studies

### Official Community Plan/East Cambie Area Plan

The Official Community Plan (OCP) land use designation for the subject site is "Mixed Use".

The OCP allows TCUPs in areas designated "Industrial", "Mixed Employment", "Commercial", "Neighbourhood Service Centre", "Mixed Use", "Limited Mixed Use", and "Agricultural" (outside of the Agricultural Land Reserve), where deemed appropriate by Council and subject to conditions suitable to the proposed use and surrounding area.

The proposed Vehicle Sale/Rental use is consistent with the "Mixed Use" land use designation contained in the OCP.

5748942 PH - 149

# Richmond Zoning Bylaw 8500

The subject site is zoned "Industrial Retail (IR1)", which allows for a range of general industrial uses, offices, and a limited range of retail uses. The applicant proposes to locate a vehicle showroom and service centre on the property. Vehicle Repair is a permitted use in the "Industrial Retail (IR1)" zone, but Vehicle Sale/Rental is not. The requested TCUP would permit Vehicle Sale/Rental at the property, which would be generally compatible with the other permitted uses in the Industrial Retail (IR1)" zone.

#### Local Government Act

The *Local Government Act* identifies that TCUPs are valid for a period of up to three years from the date of issue and that an application for one extension to the Permit may be made and issued for up to three additional years. A new TCUP application is required after one extension.

#### **Public Consultation**

Should the Planning Committee endorse this application and Council resolve the move the staff recommendation, the application will be forwarded to a Public Hearing on March 19, 2018, where any area resident or interested party will have an opportunity to comment. Public notification for the Public Hearing will be provided as per the *Local Government Act*.

# **Analysis**

The subject site contains an existing building of approximately 4,406 m<sup>2</sup> (47,422 ft<sup>2</sup>), containing four commercial units. The building is currently occupied by a vehicle repair shop, a second hand store, and two vacant units. The applicant proposes to occupy the two vacant units, with a combined area of 3,156 m<sup>2</sup> (33,973 ft<sup>2</sup>), for the purposes of a Hyundai showroom and service centre. Plans showing the subject site and general site layout are included in Attachment 3.

Minor exterior renovations are proposed, including landscaping, new paint, awnings, and repairs to drive aisles and parking surfaces. A Development Permit is not required for exterior alterations that cost less than \$75,000.

#### **Parking**

Parking and loading must be provided consistent with the requirements of Richmond Zoning Bylaw 8500. Vehicle parking is required at a rate of three spaces per 100 m<sup>2</sup> of gross leasable floor area of the building used for the Office and/or Vehicle Sale/Rental uses, plus three parking spaces for each vehicle service bay, reduced by 15% based on the City Centre parking rates established in Section 7.9 of the Zoning Bylaw. Based on the size of the commercial units, the business would require 81 vehicle parking spaces. Staff have determined that on-site parking is sufficient for the proposed new use.

Class 1 and Class 2 bicycle parking is required at a rate of 0.27 spaces per 100 m<sup>2</sup> of gross leasable floor area greater than 100 m<sup>2</sup>, for a total of eight Class 1 and eight Class 2 bicycle parking spaces. The applicant is required to verify that the on-site parking and loading meets Bylaw requirements as part of the business licensing processes.

5748942 **PH - 150** 

## Landscaping

The site is largely paved, with small landscaped areas between the on-site parking and the lane. There is an area for landscaping at the front of the site between the parking area and Minoru Boulevard, which is currently not planted. The applicant proposes to landscape this area consistent with the requirement for a 3.0 m wide landscaped setback contained in Richmond Zoning Bylaw 8500.

The applicant has provided a Landscape Plan showing the proposed improvements to the landscaping at the front of the site (Attachment 4). Prior to issuance of the TCUP, the applicant is required to provide a Landscape Security based on the cost estimate of the Landscape Plan plus a 10% contingency, to ensure that the agreed upon landscaping and on-site works are completed.

## **Financial Impact**

None.

#### Conclusion

Openroad Auto Group Ltd. has applied to the City of Richmond for a Temporary Commercial Use Permit to allow Vehicle Sale/Rental as a permitted use at 5400 Minoru Boulevard, zoned "Industrial Retail (IR1)."

The proposed Vehicle Sale/Rental use at the subject property is acceptable to staff on the basis that it is consistent with the land use designations in the OCP, and is temporary in nature.

Staff recommend that the attached Temporary Commercial Use Permit be issued to the applicant to allow Vehicle Sale/Rental at 5400 Minoru Boulevard for a period of three years.

For Jordan Rockerbie Planning Technician (604-276-4092)

JR:blg

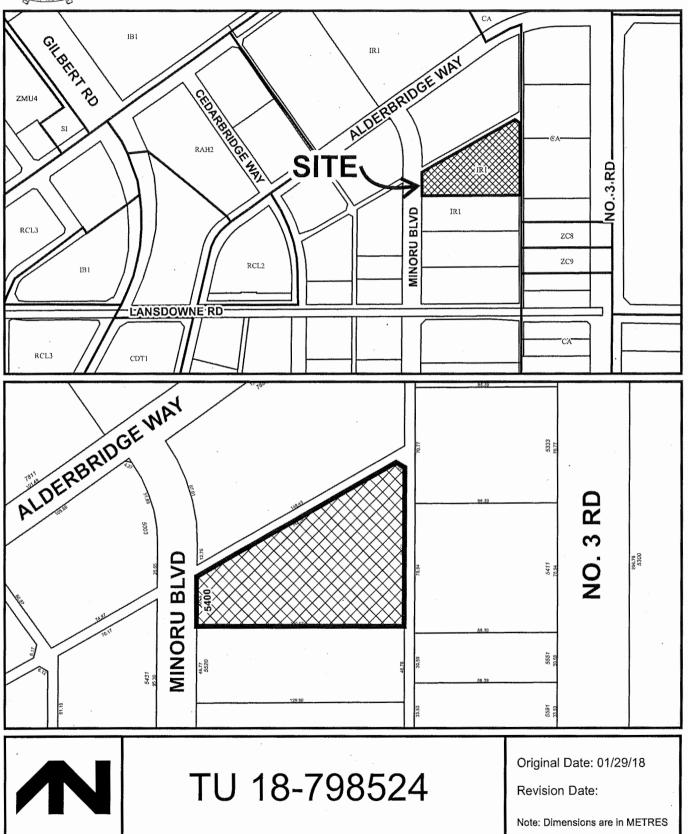
Attachment 1: Location Map

Attachment 2: Development Application Data Sheet

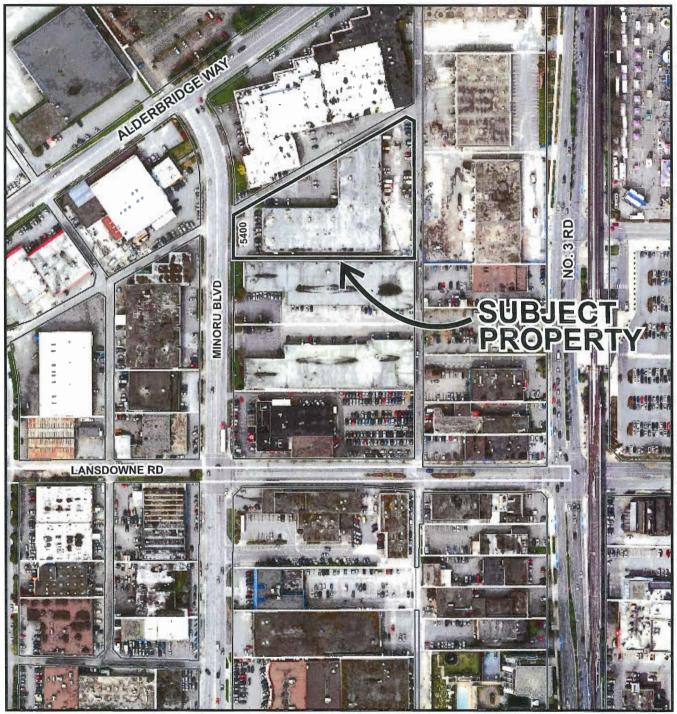
Attachment 3: Site Plan

Attachment 4: Landscape Plan











TU 18-798524

Original Date: 01/29/18

Revision Date:

Note: Dimensions are in METRES



# **Development Application Data Sheet**

Development Applications Division

TU 17-763604 Attachment 2

Address:

5400 Minoru Boulevard

Applicant:

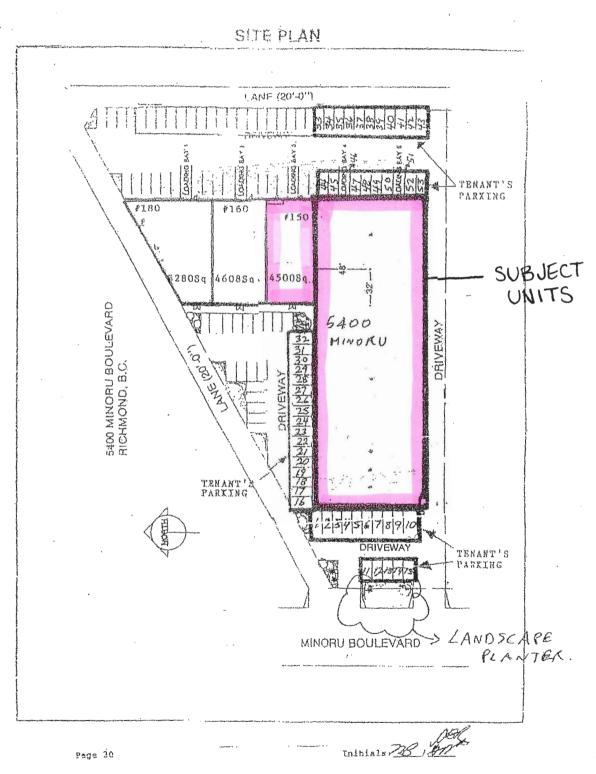
Openroad Auto Group Ltd.

Planning Area:

City Centre Area Plan - Lansdowne Village

	Existing	Proposed
Owner:	Jiatai Realty Inc.	No change
Site Size (m²):	Property: 8,594 m <sup>2</sup> Commercial Unit: 3,156 m <sup>2</sup>	No change
Land Uses:	Vehicle Repair; Retail, Second Hand	Vehicle Repair; Retail, Second Hand; Vehicle Sale/Rental
OCP Designation:	Mixed Use	No change
City Centre Area Plan Designation:	Urban Centre T5	No change
Zoning:	Industrial Retail (IR1)	No change, with the exception of allowing Vehicle Sale/Rental as a permitted use for a period of three years.

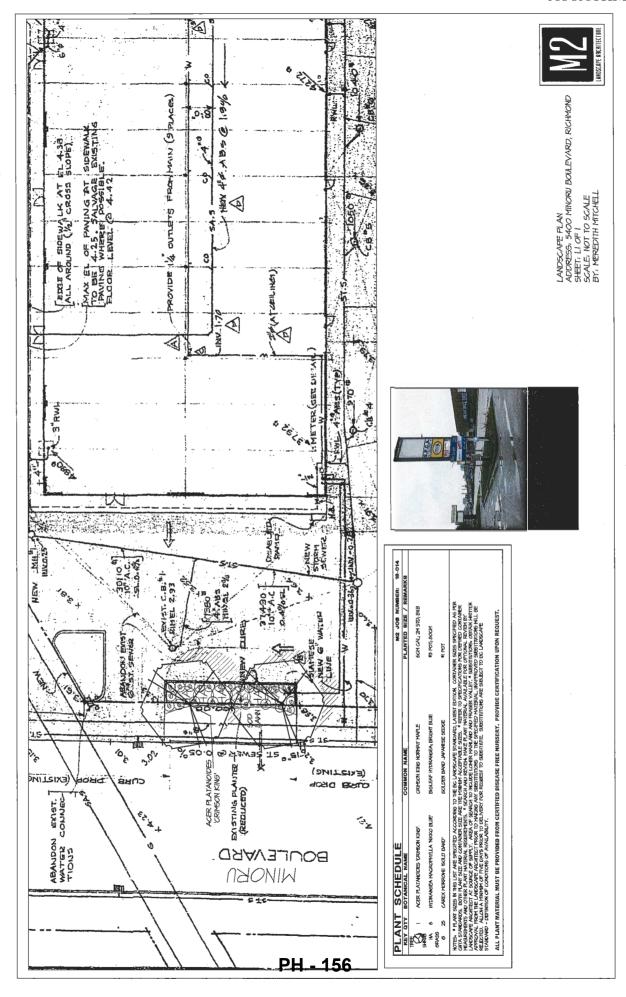
	Bylaw Requirement	Proposed	Variance
On-site Parking:	3 parking spaces per 100 m <sup>2</sup> of gross leasable floor area of the building used for the Office or Vehicle Sale/Rental use; plus 3 parking spaces per service bay; minus 15% for blended City Centre parking requirements	81 spaces	None
Bicycle Parking:	0.27 Class 1 and Class 2 spaces per 100 m <sup>2</sup> of gross leasable floor area greater than 100 m <sup>2</sup>	Eight Class 1 spaces Eight Class 2 spaces	None



PH - 155

V-

1. 11.





# **Temporary Commercial Use Permit**

No. TU 18-798524

To the Holder:

OPENROAD AUTO GROUP LTD.

Property Address:

5400 MINORU BOULEVARD

Address:

C/O MOE SABOUNE

OPENROAD AUTO GROUP LTD.

2395 BOUNDARY ROAD VANCOUVER, BC V5M 4W5

- 1. This Temporary Commercial Use Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Temporary Commercial Use Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and to the portion of the building shown cross-hatched on the attached Schedule "B".
- 3. The subject property may be used for the following temporary Commercial uses:

Vehicle Sale/Rental

- 4. Any temporary buildings, structures and signs shall be demolished or removed and the site and adjacent roads shall be maintained and restored to a condition satisfactory to the City of Richmond, upon the expiration of this permit or cessation of the use, whichever is sooner.
- 5. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein and comply with all the undertakings given in Schedule "C" attached hereto, the security shall be returned to the Holder.

There is filed accordingly:

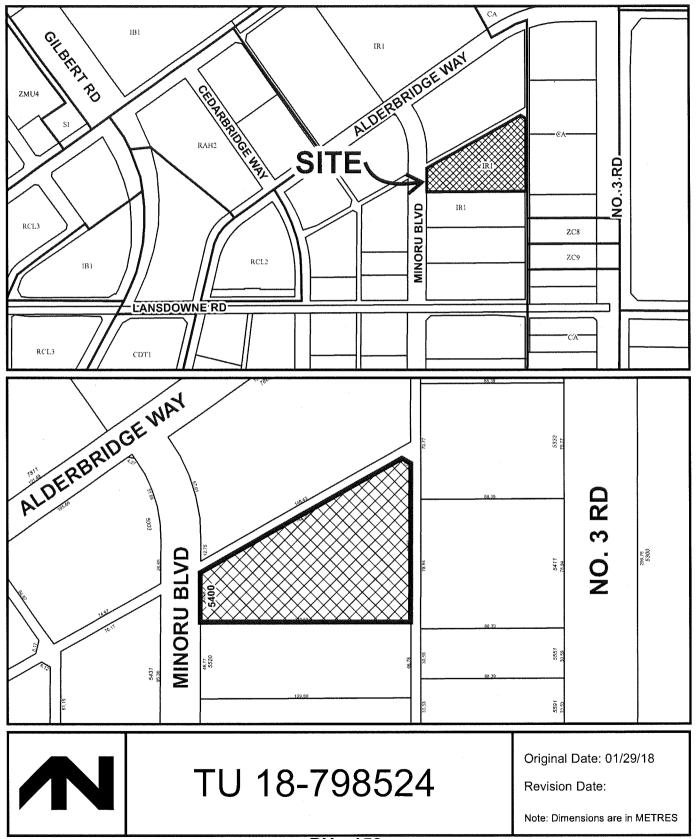
An Irrevocable Letter of Credit in the amount of \$2,000.00.

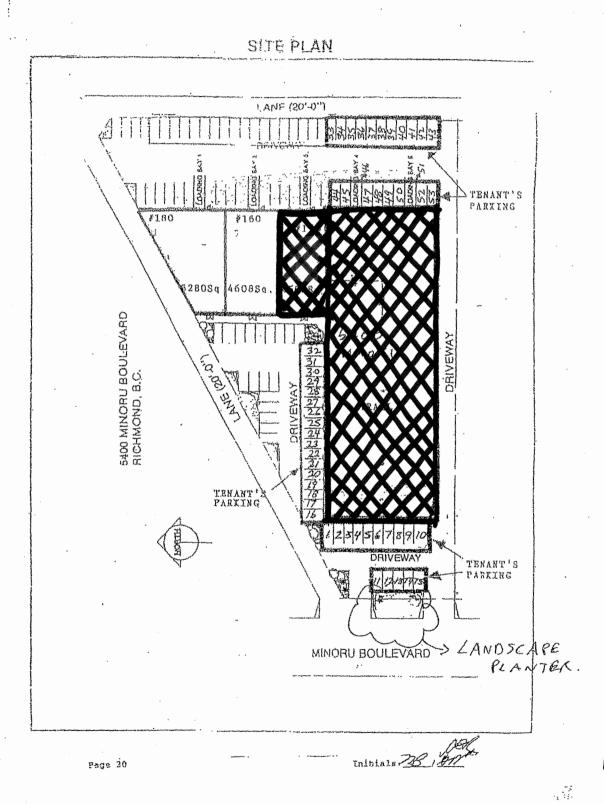
No. TU 18-798524

To the Holder: OPENROAD AUTO GROUP LTD			GROUP LTD.
Property Address: 5		5400 MINORU BOULEVARD	
Ac	ldress:	C/O MOE SABOUN OPENROAD AUTO 2395 BOUNDARY VANCOUVER, BC	O GROUP LTD. ROAD
6.	amount of \$2,074.26 for 90% of the security will	the landscape works be released upon City	the City is holding a Landscape Security in the as per the Landscape Plan in Schedule "D". 's inspection and 10% of the security will be to ensure that the planting has survived.
7.		s of this Permit and a	generally in accordance with the terms and ny plans and specifications attached to this
8.			tion permitted by this Permit within 24 months se and the security shall be returned in full.
	This Permit is not a Build	ding Permit.	
	JTHORIZING RESOLUT AY OF ,	TION NO.	ISSUED BY THE COUNCIL THE
DH	ELIVERED THIS I	DAY OF ,	
$\overline{\mathbf{M}}$	AYOR		CORPORATE OFFICER



# City of Richmond

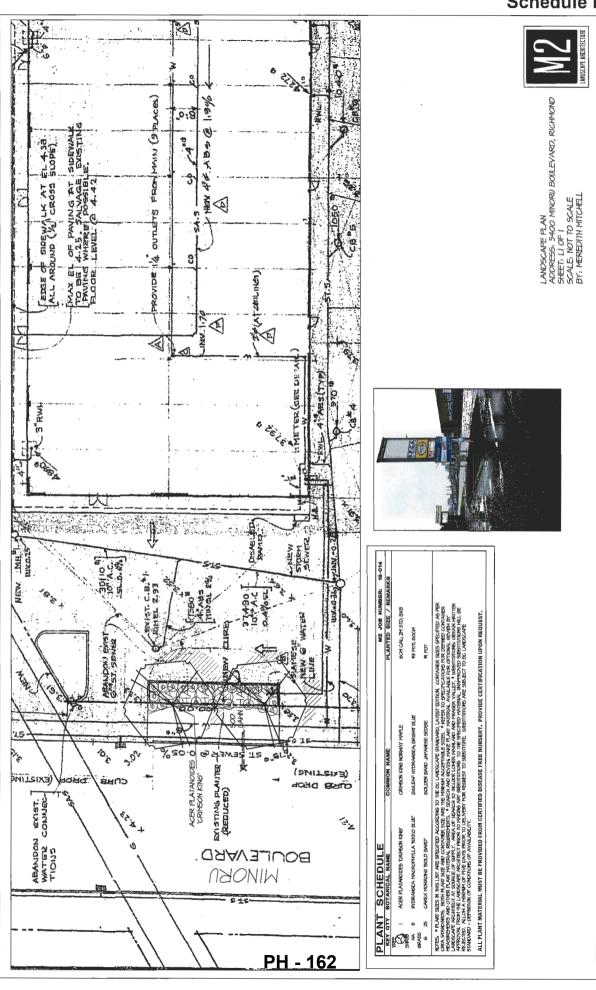




PH - 160

\\\ \-

·
Undertaking
In consideration of the City of Richmond issuing the Temporary Commercial Use Permit, we the undersigned hereby agree to demolish or remove any temporary buildings, structures and signs; to restore the land described in Schedule A; and to maintain and restore adjacent roads, to a condition satisfactory to the City of Richmond upon the expiration of this Permit or cessation of the permitted use, whichever is sooner.
Openroad Auto Group Ltd. by its authorized signatory
[signed concurrence on file]  Moe Saboune
·





# **Report to Committee**

Planning and Development Division

To: Planning Committee

**Date:** January 16, 2018

From: Wayne Craig

File:

08-4431-03-11/2018-Vol 01

Director, Development

Re: Establishment of

Establishment of Underlying Zoning for Properties Developed Under Land Use Contracts 001, 025, 051, 073, 096, 104, 115, 119, 131, 138, and 158 in the South

Portion of the City Centre

#### Staff Recommendation

- 1. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9799, to establish underlying zoning for the properties developed under Land Use Contract 001, be introduced and given first reading;
- 2. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9801, to establish underlying zoning for the properties developed under Land Use Contract 025, be introduced and given first reading;
- 3. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9802, to establish underlying zoning for the properties developed under Land Use Contract 051, be introduced and given first reading;
- 4. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9804, to establish underlying zoning for the properties developed under Land Use Contract 073, be introduced and given first reading;
- 5. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9805, to establish underlying zoning for the properties developed under Land Use Contract 096, be introduced and given first reading;
- 6. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9806, to establish underlying zoning for the properties developed under Land Use Contract 104, be introduced and given first reading;
- 7. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9807, to establish underlying zoning for the properties developed under Land Use Contract 115, be introduced and given first reading;
- 8. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9808, to establish underlying zoning for the properties developed under Land Use Contract 119, be introduced and given first reading;
- 9. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9809, to establish underlying zoning for the properties developed under Land Use Contract 131, be introduced and given first reading;

- 10. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9810, to establish underlying zoning for the properties developed under Land Use Contract 138, be introduced and given first reading; and
- 11. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9811, to establish underlying zoning for the properties developed under Land Use Contract 158, be introduced and given first reading.

Wayne Craig

Director, Development

(604-247-4625)

WC:CL Att. 3

REPORT CONCURRENCE			
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER	
Law	D	Literego	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	Initials:	APPROVED BY CAO	

#### Staff Report

# Origin

In 2014, the Provincial Government amended the *Local Government Act* to require municipalities to adopt underlying zoning bylaws for all Land Use Contract (LUC) properties by June 30, 2022, and to provide for the termination of all LUCs on June 30, 2024. The amending legislation also established an optional process to enable municipalities, by bylaw, to undertake early termination of LUCs and provide expanded authority to Boards of Variance to hear appeals and grant time extensions to existing property owners for reasons of hardship.

On November 24, 2015, Richmond City Council adopted a set of bylaws that established underlying zoning for 93 separate LUCs that included single-family properties, as well as adopted bylaws to terminate these LUCS effective one year from the date of adoption (i.e., November 24, 2016). Following November 24, 2015, there remained 46 LUCs on a total of 95 properties (including 3,078 units) in the City containing multi-family, commercial, industrial, and agricultural uses, which were not subject to the underlying zoning bylaws and early termination bylaws. These remaining LUCs were to be dealt with separately at a later date because they were are not subject to the same redevelopment pressures as that of the LUCs that included single-family properties.

Consistent with the *Local Government Act*, City Council must consider bylaws to establish underlying zoning for the properties developed under the remaining LUCs. This involves the standard bylaw reading and adoption process, and includes holding a Public Hearing for all bylaws.

In the fall of 2017, City Council adopted underlying zoning bylaws for five of the remaining LUCs. These new underlying zones are applicable to nine commercial/industrial properties in the north portion of City Centre. At that time, the following approach was endorsed by City Council for dealing with the remaining LUCs:

- Underlying zoning bylaws for the remaining LUCs would be brought forward separately on the basis of their geographic area (Attachment 1).
- Unlike the approach used for the LUCs that included single-family properties, no early termination bylaws are proposed to be brought forward for the remaining LUCs. Essentially, the existing remaining LUCs will remain effective and continue to govern the use and development of the affected properties until their termination date of June 30, 2024, at which time the underlying zoning will take precedence.

There are now 41 underlying zoning bylaws that must be established, applicable to a total of 82 properties in the City (including 3,027 units).

5662357 **PH - 165** 

<sup>&</sup>lt;sup>1</sup> This includes remaining LUCs/properties that are currently the subject of active rezoning applications for redevelopment, which will be dealt with separately.

This report brings forward underlying zoning bylaws for 11 of the remaining LUCs (LUCs 001, 025, 051, 073, 096, 104, 115, 119, 131, 138 and 158). The proposed bylaws are applicable to 20 multi-family and commercial properties in the south portion of City Centre (Attachment 2).

The proposed bylaws aim to reflect the specific provisions contained in each LUC, as well as certain standard provisions contained within Richmond Zoning Bylaw 8500 for aspects not anticipated by the LUC. This ensures the underlying zoning bylaws mirror what is contained in the LUCs without granting additional development rights while still acknowledging current zoning norms. After the LUCs expire on June 30, 2024, where there are inconsistencies between the provisions of the proposed bylaws and what actually exists on the subject properties, the provisions for non-conforming uses and buildings under the *Local Government Act* will apply.

This report supports Council's 2014-2018 Term Goal # 3 – A Well-Planned Community:

Adhere to effective planning and growth management practices to maintain and enhance the liveability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.

3.1 Growth and development that reflects the Official Community Plan (OCP) and related policies and bylaws

This report and the proposed bylaws are also consistent with policies from the 2041 Official Community Plan (OCP), which support exploring alternatives to Land Use Contracts to achieve better land use management over time.

#### **Findings of Fact**

A Land Use Contract is a contract between a property owner (typically a developer) and a municipality addressing the use and development rights of a property. The LUC regulations are similar to zoning, with the exception that the LUC is registered on the Title of the property and, until recently, agreement from both the property owner and municipality was required to amend or discharge the contract.

The provincial legislation enabling LUCs was in effect for a short period of time between 1973 and 1979 and allowed the ability to create tailor-made development contracts for specific sites. LUCs were also used to control the form and character of buildings and landscaping of sites and, in some cases, included detailed servicing requirements. Typically, the same LUC was registered by a developer against all the properties in a particular subdivision, thereby creating consistent use and development rights for those properties. Unless discharged, LUCs registered during such period remain in place today governing the use and development rights of the affected properties.

LUCs typically include limited development restrictions compared to today's standards. Any reference to a zoning bylaw within a LUC is specific to the zoning bylaw in place at the date of contract execution. Since LUCs are registered on Title and can only be amended or discharged with the property owner's consent, the result is that LUCs have not evolved over time as land use considerations have changed. Properties under the current Richmond Zoning Bylaw 8500 have

had multiple amendments over time to address various land issues such as building interface, landscaping, sustainability and overall building form.

#### Related Policies & Studies

## City Centre Area Plan

The City Centre Area Plan's (CCAP) Generalized Land Use Map designations for 20 of the subject properties include *General Urban T4*, *Urban Centre T5*, *Urban Core T6*, which provide for a range of low to high-density residential, commercial, and other land uses. The St. Alban's Sub-Area Plan further identifies four of the subject properties on Bennett Road for *Multi-Family Low Rise*, which provides for single-family dwellings, duplexes, townhouses, and three-storey apartments.

The proposed underlying zoning bylaws do not affect the subject properties' ability to redevelop in the future consistent with the land use designations in the CCAP and the St. Alban's Sub-Area Plan.

# OCP Aircraft Noise Sensitive Development Policy

The OCP's Aircraft Noise Sensitive Development Policy identifies that 19 of the subject properties are located in the *Moderate Aircraft Noise Area (Area 3)* and that one of the subject properties is located in the *Aircraft Noise Notification Area (Area 4)*, in which all Aircraft Noise Sensitive Land Uses may be considered.

The proposed underlying zoning bylaws do not affect the subject properties' designations under the OCP Aircraft Noise Sensitive Development Policy. Any future proposed development on the subject properties would have to comply with the applicable Aircraft Noise Sensitive Development Policy requirements as identified in the OCP as part of any Rezoning, Development Permit or Building Permit applications.

## **Analysis**

Staff propose a set of bylaws that introduce underlying zoning for the 20 properties developed under LUCs 001, 025, 051, 073, 096, 104, 115, 119, 131, 138 and 158 in the south portion of the City Centre, which are identified in Table 1 (page 6).

There is also an additional site at 6340 to 6390 No. 3 Road that was developed under LUC 062 in the south portion of City Centre for which an underlying zoning bylaw is not proposed at this time, as it is currently the subject of a separate LUC discharge and rezoning application for a four-tower mixed-use development currently being reviewed by City staff (RZ 17-773703). If the proposed rezoning at this site does not proceed, City staff will bring forward a separate report and zoning amendment bylaw to establish underlying zoning for the property prior to June 30, 2022.

Attachment 3 contains a series of summary tables that provide a comparison of the regulations under each of the 11 LUCs with those of the proposed underlying zone, and includes a map of each LUC. The summary tables in Attachment 3 are for reference purposes only and should not be interpreted as the actual LUC.

Table 1. The 20 properties subject to the proposed underlying zoning bylaws.

LUC#	No. of Properties	Address(es)	No. of Units (Strata & Non-Strata)
001	2	6611, 6631, 6651 Minoru Boulevard	561
025	6	8880 Cook Road 8500 to 8583 Citation Drive 8600 to 8970 Citation Drive 6501 to 6541 Pimlico Way,	515
051	1	7031 Westminster Highway	36
073	1	6780, 6880 Buswell Street 8200, 8300 Park Road	174
096	1	8540 Westminster Highway	35
104	1	6831 Cooney Road	7
115	4	8251, 8291, 8351, 8391 Bennett Road	156
119	1	8211 Cook Road 6480, 6490 Buswell Street	4
131	1	8660 Westminster Highway	45
138	1	8231 Granville Avenue 6931 Cooney Road	129
158	1	8291 Park Road	56
Totals: 11	20		1718

In developing the underlying zoning for the subject properties, staff considered the specific provisions in each individual LUC, and the existing land use designations in the OCP for the subject site and for adjacent properties within the immediate surrounding area. Staff were not able to use existing commercial or multi-family residential zones in Richmond Zoning Bylaw 8500 to develop the underlying zoning bylaws for the properties due to the very specific provisions contained in each LUC.

Staff proposes 11 new site-specific zones (described in Table 2, page 7). The proposed site-specific zones combine both the specific provisions from each LUC, as well as certain provisions contained within Richmond Zoning Bylaw 8500 for aspects not anticipated by the LUC. This ensures the underlying zoning bylaws to mirror what is contained in the LUCs without granting additional use and development rights while allowing some flexibility after LUCs expire on June 30, 2024 for landowners to make minor changes to their properties that would be in character with what is permitted on lots within the surrounding neighbourhood.

Where there are inconsistencies between the provisions of the proposed underlying zones and what actually exists on the subject properties, any continued use and existing development of the land that was lawful under the LUC will be protected in accordance with the provisions for non-conforming uses and buildings under the *Local Government Act* after the LUCs expire on June 30, 2024.

Table 2. 11 new site-specific zones proposed

LUC	Proposed Bylaw #	Proposed Zone	Site Address(es)	Current Site Condition
001	9799	High Rise Apartment (ZHR14) – Brighouse Village (City Centre)	6611, 6631, 6651 Minoru Boulevard	High-rise apartments
025	9801	Low Rise Apartment and Town Housing (ZLR32) – Brighouse Village (City Centre)	6501 to 6541 Pimlico Way 8500 to 8583 Citation Drive 8600 to 8970 Citation Drive 8880 Cook Road, and four Road Parcels in Section 9 Block 4 North Range 6 West	Low-rise apartments & 2-storey townhouses
051	9802	Office Commercial (ZC46) – Lansdowne Village (City Centre)	7031 Westminster Hwy.	4-storey office/ commercial building
073	9804	Low Rise Apartment (ZLR33) – Brighouse Village (City Centre)	6780, 6880 Buswell St. 8200, 8300 Park Rd.	Low-rise apartments
096	9805	Low Rise Apartment (ZLR34) – Brighouse Village (City Centre)	8540 Westminster Hwy.	Low-rise apartments
104	9806	Town Housing (ZT84) – Cooney Road (Brighouse Village of City Centre)	6831 Cooney Rd.	Low-density townhouses
115	9807	Low Rise Apartment (ZLR35) – St. Albans Sub Area (City Centre)	8251, 8291, 8351, 8391 Bennett Road	Low-rise apartments
119	9808	Office (ZC47) – Brighouse Village (City Centre)	8211 Cook Road 6480, 6490 Buswell St.	2-storey office building
131	9809	Low Rise Apartment (ZLR36) – Brighouse Village (City Centre)	8660 Westminster Hwy.	Low-rise apartments
138	9810	Low Rise Apartment (ZLR37) – Brighouse Village (City Centre)	8231 Granville Avenue 6931 Cooney Road	Low-rise apartments
158	9811	Low Rise Apartment (ZLR38) – Brighouse Village (City Centre)	8291 Park Road	Low-rise apartments

#### **Public Consultation and Public Hearing**

Since the existing remaining LUCs will remain effective and will continue to govern the use and development of the affected properties until their termination date of June 30, 2024, at which time the proposed underlying zoning will be in place, it is anticipated that the proposed approach will not generate a significant amount of public interest. Therefore the standard bylaw adoption and public consultation processes are proposed. This is consistent with the approach used to establish the first set of underlying bylaws brought forward for the remaining LUCs containing multi-family, commercial, industrial, and agriculture land uses in the fall of 2017, and this same approach will be proposed for the remaining underlying zoning bylaws that are subsequently to be brought forward on the basis of their geographic area.

The standard bylaw adoption and public consultation process involves the underlying zoning bylaws being considered at a Planning Committee meeting, bylaw readings by City Council, the publication of the statutory Public Hearing Notice and newspaper ads, and includes the holding of a regular Public Hearing in the Council Chambers. This approach does not require additional financial or human resources beyond that of the standard rezoning and Public Hearing processes.

Prior to each Public Hearing at which underlying zoning bylaws are to be considered, a press release will be issued to publicize Council's decision to establish underlying zoning bylaws for the affected properties and to direct further inquiries to the City's LUC webpage, and to the general LUC inquiry email address and phone number. Staff will also send a letter to each of the affected property owners; which will contain information that is specific to the proposed underlying zoning for their respective property.

Following each Public Hearing, Council may consider adoption of those underlying zoning bylaws that do not require any additional approvals (e.g., by the Ministry of Transportation and Infrastructure (MOTI)). For those bylaws that do require additional approvals, Council may consider bylaw adoption at a subsequent Council meeting after the required approvals have been granted.

Following adoption of the underlying zoning bylaws, the existing LUCs on the affected properties will remain effective until June 30, 2024, after which time the underlying zoning bylaws will be in place to govern the use and development of the properties.

## Financial Impact

As mentioned in the previous section, the consideration of the proposed Bylaws 9799 through 9811 by the Planning Committee, City Council, and at a regular Public Hearing in the Council Chambers, will not require additional financial or human resources beyond that of the standard rezoning and Public Hearing processes.

#### Conclusion

Consistent with the *Local Government Act*, City Council will have to consider bylaws to establish underlying zoning for the properties developed under the remaining LUCs in the city prior to June 30, 2022.

Staff propose to bring forward the underlying zoning bylaws for the remaining LUCs as separate items on the basis of their geographic area for consideration by Planning Committee, City Council, and at regular Public Hearings in the Council Chambers.

This report brings forward 11 underlying zoning bylaws for 20 multi-family and commercial properties developed under Land Use Contracts 001, 025, 051, 073, 096, 104, 115, 119, 131, 138 and 158 in the south portion of the City Centre area.

Staff recommend that Richmond Zoning Bylaw 8500, Amendment Bylaws 9799, 9801, 9802, 9804, 9805, 9806, 9807, 9808, 9809, 9810, and 9811, be introduced and given first reading.

Cynthia Lussier

Planner 1

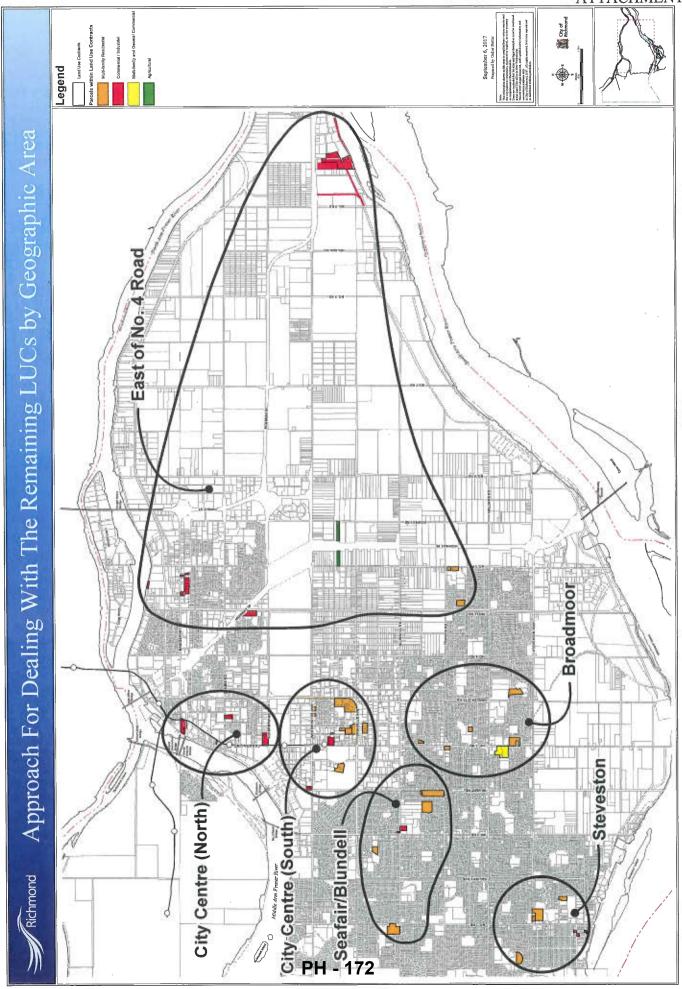
(604-276-4108)

CL:blg

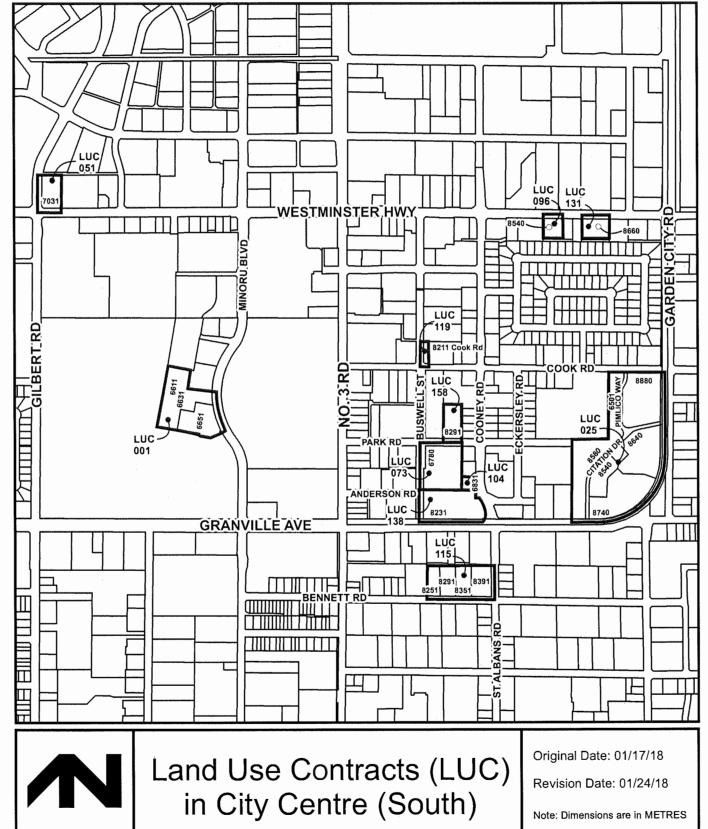
# Attachments:

Attachment 1: Land Use Contracts by Geographic Area Attachment 2: Land Use Contracts in City Centre (South)

Attachment 3: Land Use Contract Summary and Comparison Tables







# Attachment 3

# Land Use Contract Summary & Comparison Tables

**LUC 001** 

**LUC 025** 

**LUC 051** 

**LUC 073** 

**LUC 096** 

**LUC 104** 

**LUC 115** 

**LUC 119** 

**LUC 131** 

**LUC 138** 

**LUC 158** 

## **Land Use Contract 001**

Number of properties: 2, plus strata-titled units

Number of Multi-Family Units: 561

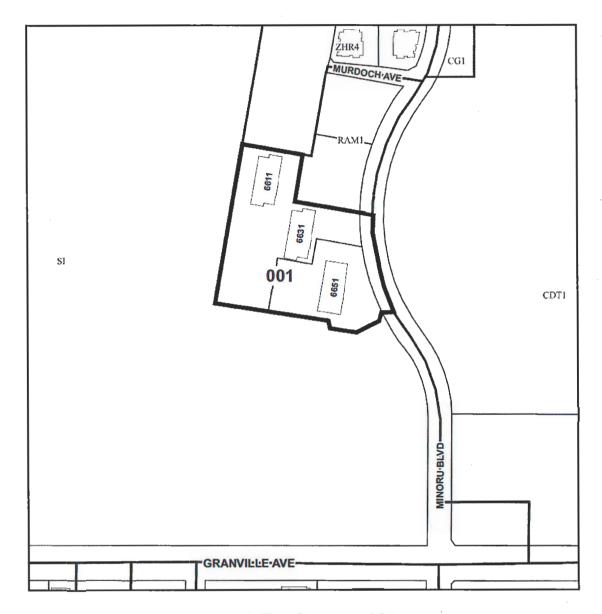
**Proposed Zone:** 

High Rise Apartment (ZHR14) - Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 001	ZHR14
Permitted Uses:	<ul> <li>apartment housing</li> <li>beauty parlour, limited to a maximum of 65 m<sup>2</sup></li> </ul>	Permitted Uses
FAR (max)	1.90	1.90
Lot Coverage (max)	29%	29% for buildings containing apartment housing.
Setbacks (min)	As per drawings (varies per lot)	Diagram 1 (varies per lot)
Building Height (max)	47.0 m	<ul> <li>Buildings 47.0 m geodetic</li> <li>Accessory buildings 5.0 m</li> <li>Accessory structures 12.0 m</li> </ul>

Disclaimer: This summary is provided for general public information only and does not form a representation by the City. Any person making a land use, building construction or financial decision should obtain independent advice regarding all applicable regulations.



**Land Use Contract 001** 

# **Land Use Contract 025**

Number of Properties: 6, plus strata-titled units

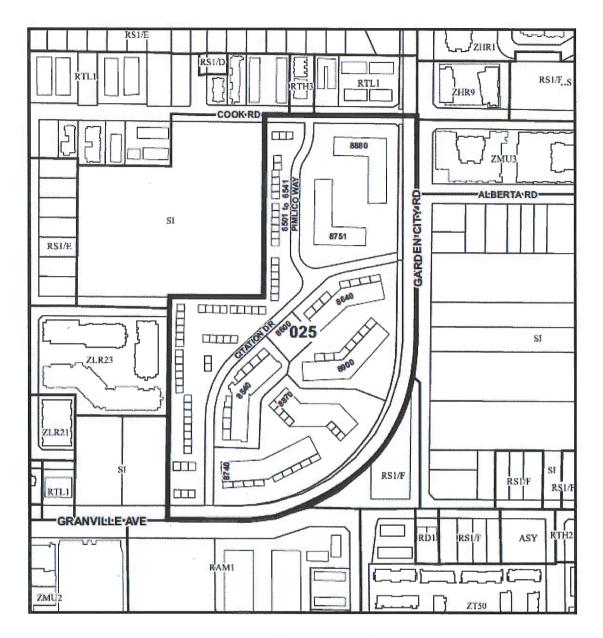
Number of Multi-Family Units: 515

Proposed Zones: Low Rise Apartment and Town Housing (ZLR32) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 025	ZLR32	
Permitted Uses:	Residential multiple family dwellings and apartments		
FAR (max)	N/A	Diagram 1 (varies per lot; 0.55 to 1.03)	
Lot Coverage (max)	As per drawings	Buildings:  • 40% (Areas A, B, C, E, F)  • 30% (Area D)  Buildings, structures, and non-porous surfaces: 80%  Live plant material (min): 20%	
Setbacks (min)	As per drawings (varies per lot)	<ul> <li>6.0 m to 13.7 m (Areas A, B, C, E, F)</li> <li>1.5 m to 15.2 m (Area D)</li> </ul>	
Height (max)	Varies per lot (from 2 to 4 storeys, including parking)	Diagram 1 (varies per lot; 7.5 m to 15.0 m)	

Disclaimer: This summary is provided for general public information only and does not form a representation by the City. Any person making a land use, building construction or financial decision should obtain independent advice regarding all applicable regulations.



**Land Use Contract 025** 

# **Land Use Contract 051**

Number of properties: 1 Number of Units: 36

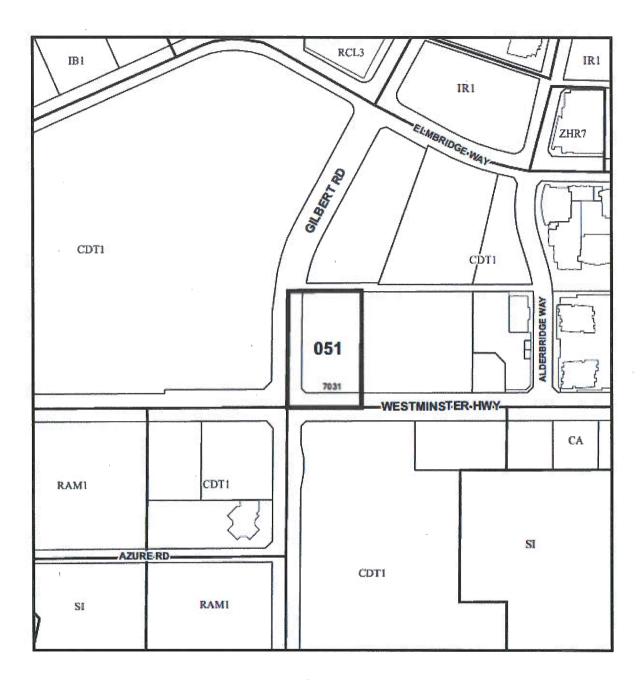
**Proposed Zone:** 

Office Commercial (ZC46) - Lansdowne Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 051	ZC46
Permitted Uses:	<ul> <li>professional and mercantile offices</li> <li>retail trade, limited to a total floor area of 235 m²</li> </ul>	Permitted Uses
FAR (max)	N/A	1.10
Lot Coverage (max)	As per drawings	30% for buildings
Front Yard Setback (min)	As per drawings	20.0 m
Interior Side Yard Setback (min)		10.5 m
Exterior Side Yard Setbakc (min)		1.5 m
Rear Yard Setback (min)		35.0 m
Building Height (max)	N/A	<ul> <li>Buildings: 15.0 m</li> <li>Accessory buildings: 5.0 m</li> <li>Accessory structures: 12.0 m</li> </ul>

Disclaimer: This summary is provided for general public information only and does not form a representation by the City. Any person making a land use, building construction or financial decision should obtain independent advice regarding all applicable regulations.



Land Use Contract 051

#### Land Use Contract 073

Number of properties: 1

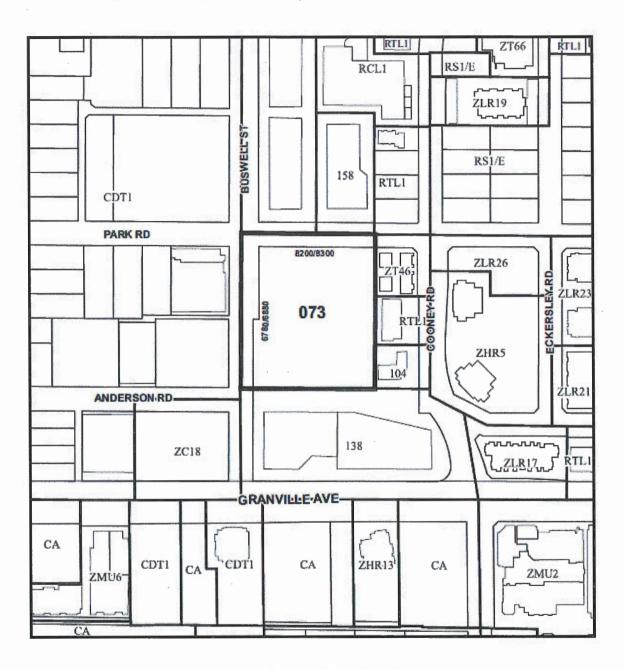
Number of Multi-Family Units: 174

**Proposed Zone:** 

Low Rise Apartment (ZLR33) - Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 073	ZLR33	
Permitted uses	Residential apartments	Permitted Uses	
FAR (max)	1.00 (as per drawings)	1.00	
Lot Coverage (max)	As per drawings (35%)	35% for buildings containing apartment housing	
Front Yard Setback (min)	As per drawings	7.5 m	
Interior Side Yard Setback (min)		6.0 m	
Exterior Side Yard Setback (min)		4.5 m	
Rear Yard Setback (min)		7.5 m	
Height (max)	3 storeys, over ground level covered parking	<ul> <li>Buildings: 15.0 m but containing no more than 3 storeys over one ground level of covered parking</li> <li>Accessory buildings 5.0 m</li> <li>Accessory structures 12.0 m</li> </ul>	



**Land Use Contract 073** 

## **Land Use Contract 096**

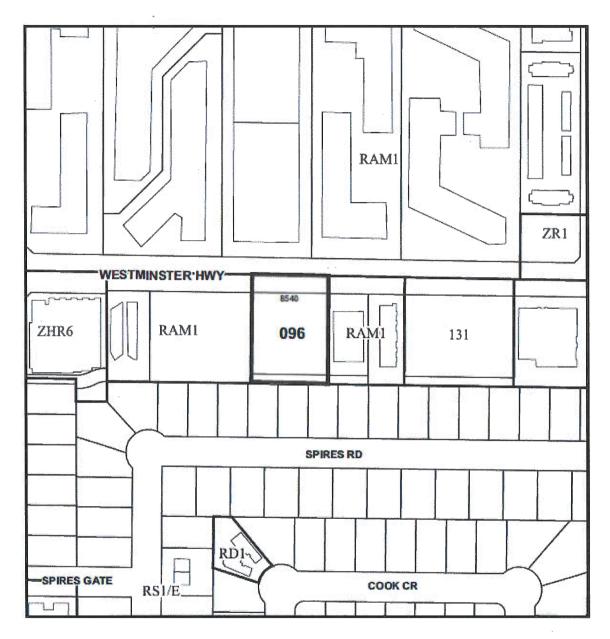
Number of properties: 1

Number of Multi-Family Units: 35

Proposed Zones: Low Rise Apartment (ZLR 34) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 096	ZLR34	
Permitted uses	Residential apartments	Permitted Uses	
FAR (max)	N/A	1.22	
Lot Coverage (max)	N/A	Buildings: 40% for buildings Buildings, structures, and non-porous surfaces: 80% Live plant material (min): 20%	
Front Yard Setback (min)	As per drawings	12.0 m	
Side Yard Setback (min)		5.5 m	
Rear Yard Setback (min)		13.5 m	
Height (max)	4 storeys, including ground level parking	<ul> <li>Buildings: 15.0 m but containing no more than 4 storeys, including ground level parking</li> <li>Accessory buildings 5.0 m</li> <li>Accessory structures 12.0 m</li> </ul>	



**Land Use Contract 096** 

#### **Land Use Contract 104**

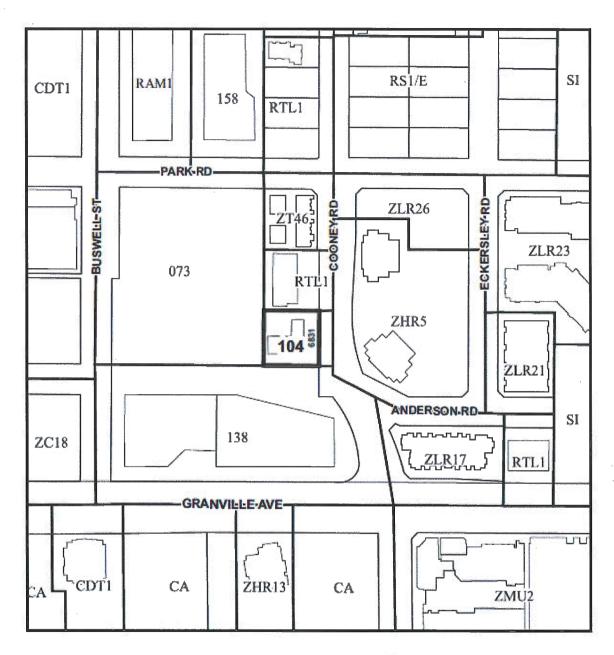
Number of properties: 1, plus strata-titled units

**Number of Multi-Family Units:** 7

Proposed Zones: Town Housing (ZT84) – Cooney Road (Brighouse Village of City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 104	ZT84	
Permitted uses	Residential horizontal multiple one-family dwellings	Permitted Uses	
FAR (max)	As per drawings (0.60)	0.60	
Lot Coverage (max)	As per drawings (33%)	33% for buildings	
Front Yard Setback (min)	As per drawings	7.5 m	
Side Yard Setback (min)		<ul><li>North: 7.0 m</li><li>South: 6.5 m</li></ul>	
Rear Yard Setback (min)		3.0 m	
Height (max)	10.7 m	10.7 m but containing no more than 3 storeys.	



**Land Use Contract 104** 

#### **Land Use Contract 115**

Number of properties: 4, plus strata-titled units

**Number of Multi-Family Units:** 

Area A:

32

Area B and C: 38 each

Area D:

48

Total:

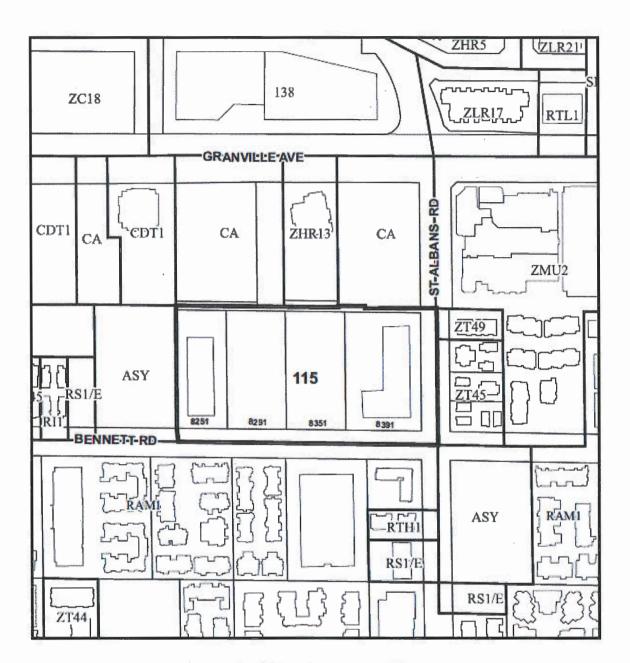
156

**Proposed Zones:** 

Low Rise Apartment (ZLR35) – St. Albans Sub Area (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 115	ZLR35
Permitted Uses	Residential apartments	Permitted Uses:
		Secondary Uses: <ul> <li>boarding and lodging</li> <li>community care facility, minor</li> <li>home business</li> </ul>
FAR (max)	N/A	Diagram 1 (varies per lot)  Area A: 0.74  Area B and C: 1.10 on each lot  Area D 1.01
Lot Coverage (max)	As per drawings	Buildings: 40% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%
Setbacks (min)	As per drawings	Diagram 1 (varies per lot; 6.0 m to 18.2 m)
Height (max)	Varies per lot (2 storeys to 4 storeys, including ground level parking)	<ul> <li>Diagram 1 (varies per lot).</li> <li>Area A: 9.0 m, but containing no more than 2 storeys</li> <li>Area B, C, and D: 15.0 m, but containing no more than 4 storeys including one ground level of covered parking</li> </ul>



**Land Use Contract 115** 

#### **Land Use Contract 119**

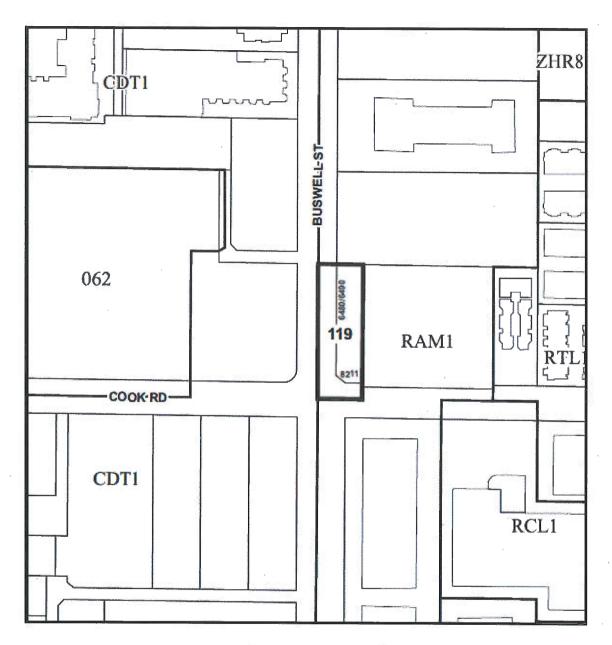
Number of properties: 1 Number of Units: 4

Proposed Zones:

Office (ZC47) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 119	ZC47	
Permitted Uses	Offices and drafting space for engineering-related disciplines, and for dentists, physicians, lawyers and accountants	<ul><li>minor health service</li><li>office</li></ul>	
FAR (max)	N/A	1.15	
Lot Coverage (max)	N/A	Buildings: 57% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%	
Front Yard Setback (min)	As per drawings	6.1 m	
Interior Side Yard Setback (min)		0.2 m	
Exterior Side Yard Setback (min)		<ul> <li>0.0 m for no more than 17% of the side façade of the building, to be used only for entrances, exits, and stairs; and</li> <li>4.0 m for at least 83% of the side façade of the building.</li> </ul>	
Rear Yard Setback (min)		<ul> <li>0.41 m for no more than 48% of the rear façade of the building, to be used only for entrances, exits, and stairs; and</li> <li>4.85 m for at least 52% of the rear façade of the building.</li> </ul>	
Height (max)	2 storeys, including ground level parking	9.0 m, but containing no more than 2 storeys including ground level parking	



**Land Use Contract 119** 

#### **Land Use Contract 131**

Number of properties: 1

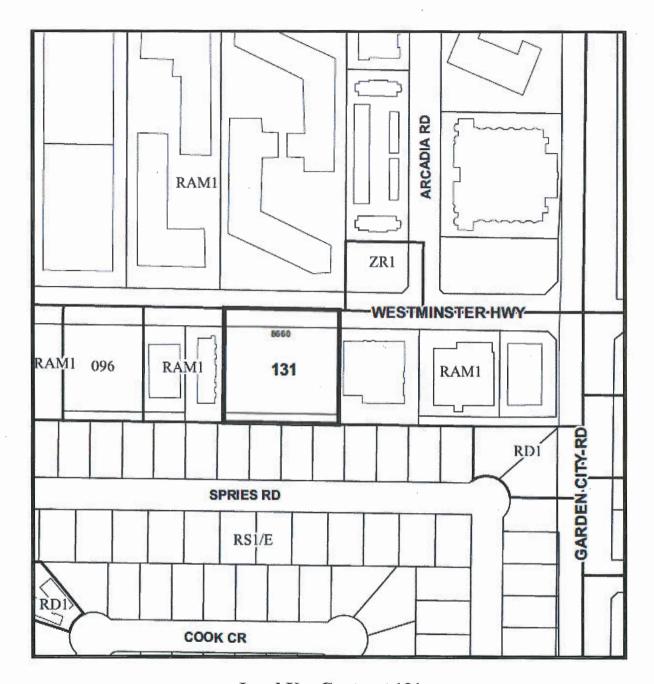
Number of Multi-Family Units: 45

**Proposed Zones:** 

Low Rise Apartment (ZLR36) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 131	ZLR36	
Permitted Uses	Residential apartments	Permitted Uses:	
FAR (max)	N/A	1.20	
Lot Coverage (max)	As per drawings	Buildings: 40% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%	
Front Yard Setback (min)	As per drawings	12.0 m	
Side Yard Setback (min)		8.5 m	
Rear Yard Setback (min)		10.0 m	
Height (max)	4 storeys, including ground level parking	15.0 m, but containing no more than 4 storeys including ground level parking	



**Land Use Contract 131** 

#### **Land Use Contract 138**

Number of properties: 1, plus strata-titled units

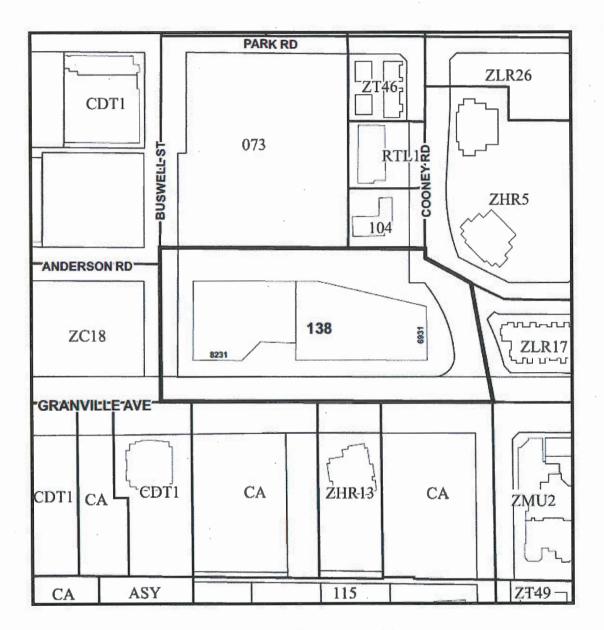
Number of Multi-Family Units: 129

**Proposed Zones:** 

Low Rise Apartment (ZLR37) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 138	ZLR37
Permitted Uses	Residential apartments	Permitted Uses:
FAR (max)	N/A	0.85
Lot Coverage (max)	As per drawings	29% for buildings containing apartment housing
Setbacks (min)	As per drawings	<ul> <li>5.0 m to Cooney Road</li> <li>7.5 m to Granville Avenue</li> <li>6.0 m to Buswell Street</li> <li>17.0 m to north interior side yard</li> </ul>
Height (max)	4 storeys, including one ground level of parking	15.0 m, but containing no more than 4 storeys including one ground level of parking



**Land Use Contract 138** 

#### **Land Use Contract 158**

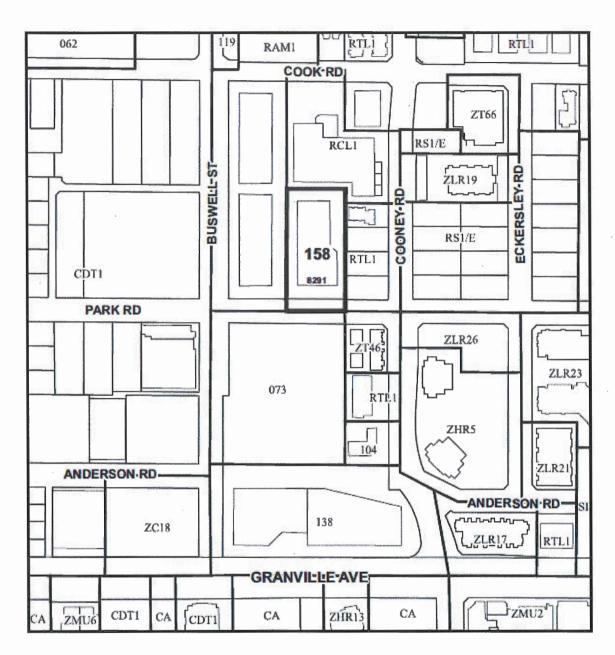
Number of properties: 1, plus strata-titled units

Number of Multi-Family Units: 56

Proposed Zones: Low Rise Apartment (ZLR38) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 158	ZLR38
Permitted Uses	Residential apartments	Permitted Uses:
FAR (max)	N/A	1.20
Lot Coverage (max)	As per drawings	Buildings: 50% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%
Front Yard Setback (min)		7.5 m
Interior Side Yard Setback (min)		<ul><li>East: 6.0 m</li><li>West: 9.0 m</li></ul>
Rear Yard Setback (min)		7.0 m
Height (max)	4 storeys, including ground level parking	15.0 m, but containing no more than 4 storeys including ground level parking



**Land Use Contract 158** 



# Richmond Zoning Bylaw 8500, Amendment Bylaw 9799 to Establish Zoning for the Properties Developed under Land Use Contract 001

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 19 (Site Specific Residential (Higher Density) Zones), in numerical order:

# " 19.14 High Rise Apartment (ZHR14) – Brighouse Village (City Centre)

## 19.14.1 Purpose

The **zone** provides for high rise **apartment housing**, and compatible **uses**. This **zone** is for the properties developed under Land Use Contract 001 on Minoru Boulevard in the Brighouse Village of City Centre.

#### 19.14.2 Permitted Uses

- child care
- housing, apartment

#### 19.14.3 A. Secondary Uses

- boarding and lodging
- community care facility, minor
- home business

#### 19.14.3 B. Additional Uses

service, personal

#### 19.14.4 Permitted Density

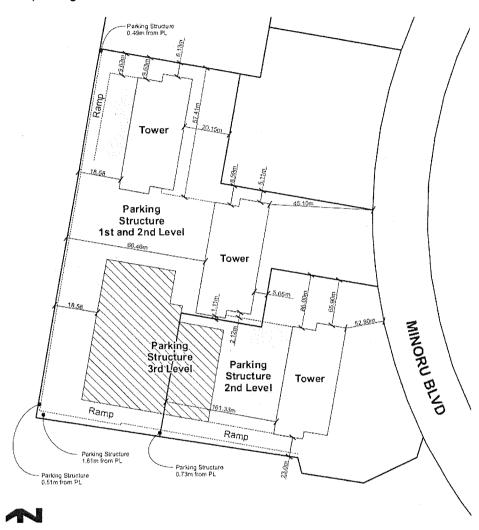
- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 561.
- 2. The maximum number of **buildings** for **apartment housing** in this **zone** is three.
- 3. The maximum floor area ratio is 1.90.

#### 19.14.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 29% for **buildings** containing **apartment housing**.

#### 19.14.6 Yards & Setbacks

- 1. The minimum **setbacks** shall be as shown in Diagram 1 in Section 19.14.6.1.a).
  - a) Diagram 1



## 19.14.7 Permitted Heights

- 1. The maximum **height** for **buildings** is 47.0 m geodetic.
- 2. The maximum **height** for **accessory buildings** is 5.0 m.
- 3. The maximum **height** for **accessory structures** is 12.0 m.

#### 19.14.8 Subdivision Provisions/Minimum Lot Size

1. There are no minimum **lot width** and **lot depth** requirements.

- 2. The minimum **lot area** requirement for the following listed site is 12,865 m<sup>2</sup>:
  - a) 6611 and 6631 Minoru Boulevard Strata Plan NWS2677.
- 3. The minimum **lot area** requirement for the following listed site is 7,260 m<sup>2</sup>:
  - a) 6651 Minoru Boulevard Strata Plan NWS195.

#### 19.14.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0, except that **screening** is to be used between the parkade structure and the adjacent **park**.

### 19.14.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.25 **vehicle parking spaces** per **dwelling unit**.

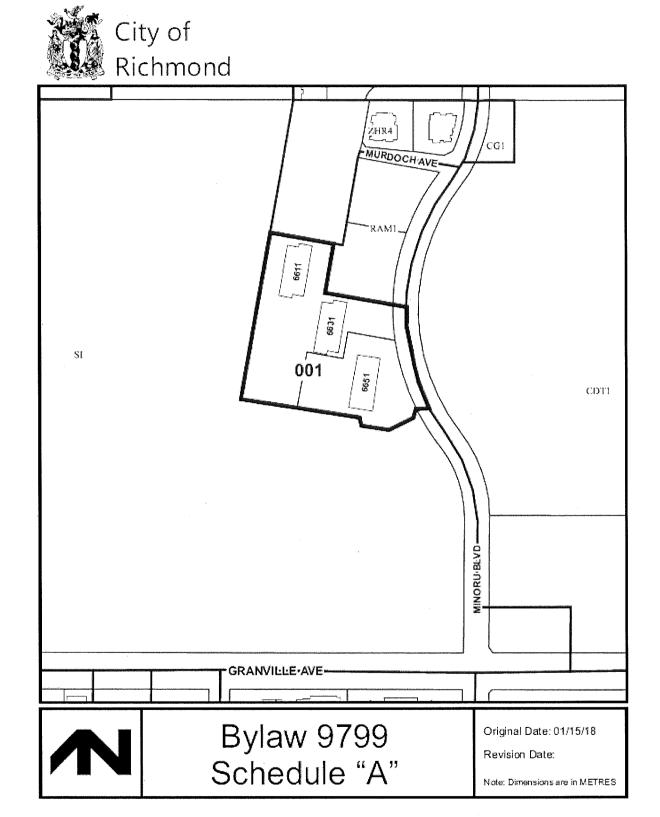
#### 19.14.11 Other Regulations

- In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. **Personal service** shall be limited to a total **floor area** of 65 m<sup>2</sup>.
- 3. For the purpose of this **zone** (ZHR14) only, **personal service** means a beauty parlour.
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9799" as "High Rise Apartment (ZHR14) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9799".

FIRST READING	FEB 2 6 2018	CITY C RICHMO
A PUBLIC HEARING WAS HELD ON		APPROV by
SECOND READING		APPRO\ by Direct
THIRD READING		or Solic
ADOPTED		
•		
·		
MAYOR	CORPORATE OFFIC	ER

Schedule A attached to and forming part of Bylaw 9799





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9801 to Establish Zoning for the Properties Developed under Land Use Contract 025

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

# "18.32 Low Rise Apartment and Town Housing (ZLR32) – Brighouse Village (City Centre)

## 18.32.1 Purpose

The zone provides for low rise apartment housing and town housing, and compatible uses. This zone is for the properties developed under Land Use Contract 025 on Citation Drive, Cook Road, and Pimlico Way in the Brighouse Village of City Centre.

#### 18.32.2

#### **Permitted Uses**

- child care
- housing, apartment
- housing, town

#### 18.32.3

#### Secondary Uses

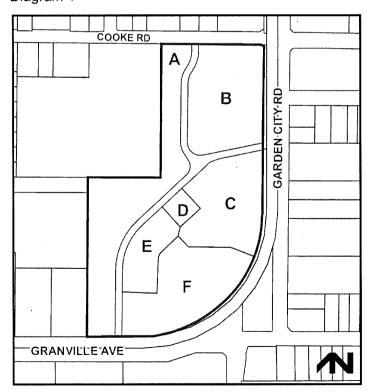
- boarding and lodging
- community care facility,
- home business

### 18.32.4 Permitted Density

- 1. In the area identified as "A" on Diagram 1, Section 18.32.4.7:
  - a) The maximum number of dwelling units for town housing is 63;
  - b) The maximum floor area permitted per dwelling unit is 149 m<sup>2</sup>; and
  - c) The maximum floor area ratio is 0.55.
- 2. In the area identified as "B" on Diagram 1, Section 18.32.4.7:
  - a) The maximum number of **dwelling units** for **apartment housing** is 102;
  - b) The maximum number of **buildings** for **apartment housing** is two;
  - c) The maximum floor area permitted per dwelling unit is 140 m<sup>2</sup>; and
  - d) The maximum floor area ratio is 1.03.

- 3. In the areas identified as "C" on Diagram 1, Section 18.32.4.7:
  - a) The maximum total number of **dwelling units** for **apartment housing** is 134.
  - b) The maximum total number of **buildings** for **apartment housing** is two.
  - c) The maximum floor area ratio is 0.88.
- 4. In the area identified as "D" on Diagram 1, Section 18.32.4.7:
  - a) The maximum **floor area** permitted is 588 m<sup>2</sup>, provided that it is entirely used to accommodate **amenity space**.
- 5. In the areas identified as "E" on Diagram 1, Section 18.32.4.7:
  - a) The maximum total number of **dwelling units** for **apartment housing** is 74.
  - b) The maximum total number of **buildings** for **apartment housing** is one.
  - c) The maximum floor area ratio is 0.82.
- 6. In the areas identified as "F" on Diagram 1, Section 18.32.4.7:
  - a) The maximum total number of **dwelling units** for **apartment housing** is 149.
  - b) The maximum total number of **buildings** for **apartment housing** is two.
  - c) The maximum floor area ratio is 1.02.

#### 7. Diagram 1



#### 18.32.5 Permitted Lot Coverage

- 1. The maximum lot coverage for buildings is:
  - a) 40% in the areas identified as "A", "B", C", "E", and "F" on Diagram 1, Section 18.32.4.7; and
  - d) 30% in the area identified as "D" on Diagram 1, Section 18.32.4.7.
- 2. No more than 80% of the **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 18.32.6 Yards & Setbacks

- 1. In the area identified as "A" on Diagram 1, Section 18.32.4.7, the minimum setback to any lot line is 6.0 m.
- 2. In the area identified as "B" on Diagram 1, Section 18.32.4.7:
  - a) the minimum setback to Cook Road and Garden City Road is 12.1 m;
  - c) the minimum setback to Pimlico Way is 10.6 m; and
  - d) the minimum **setback** to Citation Drive is 13.7 m.
- 3. In the areas identified as "C", "E", and "F" on Diagram 1, Section 18.32.4.7:
  - a) the minimum setback to Citation Drive is 6.0 m;
  - b) the minimum **setback** to Garden City Road and Granville Avenue is 13.7 m; and
  - c) the minimum **setback** to any other **lot line** is 7.6 m.
- 4. In the area identified as "D" on Diagram 1, Section 18.32.4.7:
  - a) the minimum **setback** to Citation Drive is 1.5 m;
  - b) the minimum interior side yard is 1.7 m; and
  - c) the minimum rear yard is 15.2 m.

#### 18.32.7 Permitted Heights

- 1. The maximum **height** for **buildings** for **town housing** is 9.0 m, but containing no more than 2 ½ **storeys**.
- 2. The maximum **height** for **buildings** for **apartment housing** is 15.0, but containing no more than 4 **storeys** including parking.
- 3. The maximum **height** for **accessory buildings** is 5.0 m, except that the maximum **height** for a **building** containing **amenity space** in the area identified as "D" on Diagram 1, Section 18.32.4.7 is 9.0 m for a **building** with a pitched roof and 7.5 m for a **building** with a flat roof, but in either case containing no more than 2 **storeys**.

4. The maximum height for accessory structures is 9.0 m.

#### 18.32.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot area** requirements are:
  - a) 17,700 m<sup>2</sup> in the area identified as "A" on Diagram 1, Section 18.32.4.7;
  - b) 13,800 m<sup>2</sup> in the area identified as "B" on Diagram 1, Section 18.32.4.7;
  - c) 11,800 m<sup>2</sup> in the area identified as "C" on Diagram 1, Section 18.32.4.7;
  - d) 1,300 m<sup>2</sup> in the area identified as "D" on Diagram 1, Section 18.32.4.7;
  - e) 5,100 m<sup>2</sup> in the area identified as "E" on Diagram 1, Section 18.32.4.7; and
  - f) 13,700 m<sup>2</sup> in the area identified as "F" on Diagram 1, Section 18.32.4.7.

#### 18.32.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

#### 18.32.10 On-Site Parking and Loading

- 1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement:
  - a) in the area identified as "B" on Diagram 1, Section 18.32.4.7 shall be 1.5 **vehicle parking spaces** per **dwelling unit**; and
  - b) in the area identified as "C", "E", and "F" on Diagram 1, Section 18.32.4.7 shall be 1.38 **vehicle parking spaces** per **dwelling unit** and of which a minimum of 0.15 **vehicle parking spaces** per **dwelling unit** shall be designated for visitors.

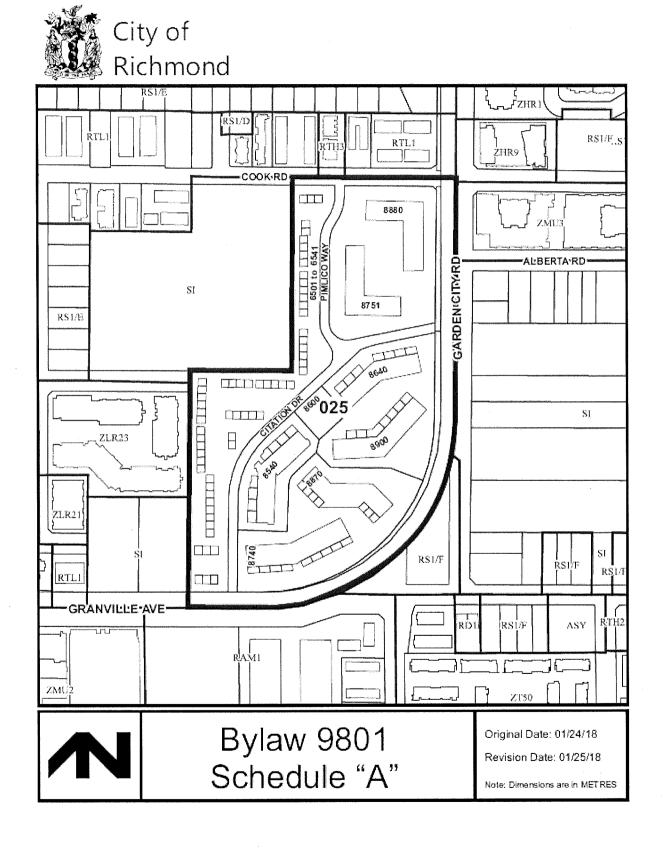
#### 18.32.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply.
- 2. **Town housing** shall be limited to the areas identified as "A" on Diagram 1, Section 18.32.4.7.
- 3. **Apartment housing** shall be limited to the areas identified as "B", "C", "E" and "F" on Diagram 1, Section 18.32.4.7."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9801" as "Low Rise Apartment and Town Housing (ZLR32) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9801".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON	. •	APPROVED by
SECOND READING THIRD READING		APPROVED by Director or Solicitor
ADOPTED .	·	
MAYOR	CORPORATE OFFICE	 R

Schedule A attached to and forming part of Bylaw 9801





## Richmond Zoning Bylaw 8500, Amendment Bylaw 9802 to Establish Zoning for the Property Developed under Land Use Contract 051

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

#### Office Commercial (ZC46) - Lansdowne Village (City Centre) **4 22.46**

#### 22.46.1 **Purpose**

The zone provides for limited commercial, office, and compatible uses. This zone is for the property developed under Land Use Contract 051 on Westminster Highway in the Lansdowne Village of City Centre.

22.46.2	Permitted Uses	22.46.3	A. Secondary Uses
	<ul> <li>child care</li> </ul>		• n/a
	<ul> <li>government service</li> </ul>		
	<ul> <li>health service, minor</li> </ul>	22.46.3	B. Additional Uses
	<ul> <li>office</li> </ul>		<ul> <li>restaurant</li> </ul>

- - retail, convenience retail, general

- 22.46.4 **Permitted Density** 
  - The maximum floor area ratio is 1.10.

veterinary service

- 22,46,5 Permitted Lot Coverage
  - The maximum lot coverage is 30% for buildings. 1.
- Yards & Setbacks 22.46.6
  - The minimum front yard is 20.0 m. 1.
  - 2. The minimum interior side yard is 10.5 m.
  - 3. The minimum exterior side yard is 1.5 m.
  - The minimum rear yard is 35.0 m. 4.

#### 22.46.7 Permitted Heights

- 1. The maximum **height** for **buildings** is 15.0 m.
- 2. The maximum height for accessory buildings is 5.0 m.
- 3. The maximum height for accessory structures is 12.0 m.

#### 22.46.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 45.0 m.
- 2. The minimum **lot depth** is 70.0 m.
- 3. The minimum **lot area** is 4,500 m<sup>2</sup>.

#### 22.46.9 Landscaping & Screening

- 1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.
- 2. In addition to section 22.46.9.1, a landscaped outdoor space with a minimum area of 300 m<sup>2</sup>, a minimum width of 10.0 m, and a minimum depth of 15.0 m shall be provided on the **site** in the southwest corner of the **front yard**.

### 22.46.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 91 **vehicle parking spaces**.

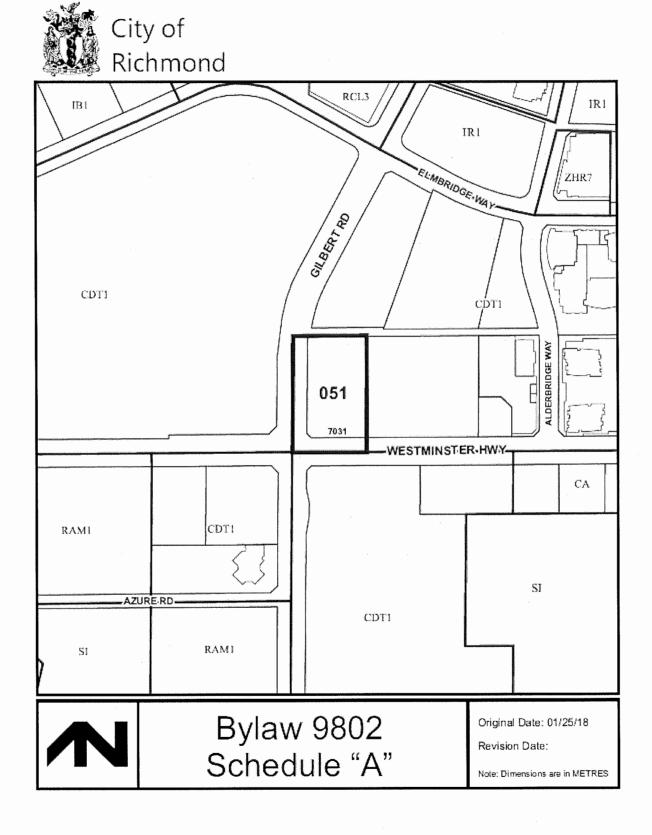
#### 22.46.11 Other Regulations

- 1. The following listed **uses** combined shall be limited to a total **floor area** of 235 m<sup>2</sup>:
  - a) restaurant;
  - b) retail, convenience; and
  - c) retail, general.
- 2. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."

- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9802" as "Office Commercial (ZC46) Lansdowne Village (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9802".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING	·	APPROVED by Director
THIRD READING	•	or Solicitor
ADOPTED	·	
· · · · · · · · · · · · · · · · · · ·		
MAYOR	CORPORATE OFFICER	

Schedule A attached to and forming part of Bylaw 9802





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9804 to Establish Zoning for the Property Developed under Land Use Contract 073

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

# " 18.33 Low Rise Apartment (ZLR33) – Brighouse Village (City Centre)

#### 18.33.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 073 on Buswell Street and Park Road in the Brighouse Village of City Centre.

#### 18.33.2 Permitted Uses

18.33.3

#### Secondary Uses

- · child care
- housing, apartment

- · boarding and lodging
- community care facility, minor
- home business

### 18.33.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 174.
- 2. The maximum number of **buildings** for **apartment housing** is four.
- The maximum floor area ratio is 1.00.

#### 18.33.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 35% for **buildings** containing **apartment housing**.

## 18.33.6 Yards & Setbacks

- 1. The minimum front yard is 7.5 m.
- 2. The minimum interior side yard is 6.0 m.

- 3. The minimum exterior side yard is 4.5 m.
- 4. The minimum rear yard is 7.5 m.

#### 18.33.7 Permitted Heights

1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 3 **storeys** over one ground level of covered parking.

#### 18.33.8 Subdivision Provisions/Minimum Lot Size

- The minimum lot width is 95.0 m.
- 2. The minimum **lot depth** is 115.0 m.
- 3. The minimum **lot area** is 11,500 m<sup>2</sup>.

#### 18.33.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

#### 18.33.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 220 covered **vehicle parking spaces**, 10 visitor **parking spaces**, and 5 uncovered **parking spaces** for service vehicles.

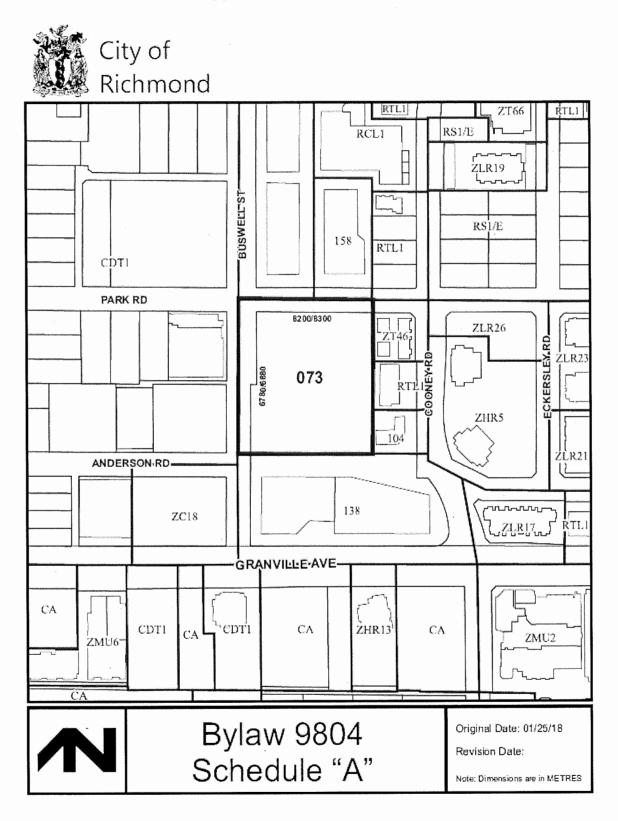
#### 18.33.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9804" as "Low Rise Apartment (ZLR33) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9804".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON	· ·	APPROVED by
SECOND READING		APPROVED by Director
THIRD READING	·	or Solicitor
ADOPTED		
· .		
MAYOR	CORPORATE OFFICER	

Schedule A attached to and forming part of Bylaw 9804





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9805 to Establish Zoning for the Property Developed under Land Use Contract 096

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

# " 18.34 Low Rise Apartment (ZLR34) – Brighouse Village (City Centre)

### 18.34.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 096 on Westminster Highway in the Brighouse Village of City Centre.

#### 18.34.2 Permitted Uses

18.34.3

#### Secondary Uses

- child care
  - housing, apartment

- boarding and lodging
- community care facility, minor
- home business

## 18.34.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 35.
- 2. The maximum number of **buildings** for **apartment housing** is one.
- 3. The maximum **floor area** permitted for a **dwelling unit** containing one **bedroom** is 56 m<sup>2</sup> exclusive of storage space.
- 4. The maximum **floor area** permitted for a **dwelling unit** containing two **bedrooms** is 75 m<sup>2</sup> exclusive of storage space.
- 5. The maximum floor area ratio is 1.22.

## 18.34.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 40% for **buildings**.

- 2. No more than 80% of the **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 18.34.6 Yards & Setbacks

- 1. The minimum front vard is 12.0 m.
- 2. The minimum interior side yard is 5.5 m.
- 4. The minimum rear yard is 13.5 m.

#### 18.34.7 Permitted Heights

- 1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 4 **storeys** including ground level parking.
- 2. The maximum **height** for **accessory building** is 5.0 m.
- 3. The maximum **height** for **accessory structures** is 12.0 m.

#### 18.34.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 50.0 m.
- 2. The minimum **lot depth** is 50.0 m.
- 3. There minimum **lot area** is 2,800.0 m<sup>2</sup>.

#### 18.34.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

#### 18.34.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.5 **vehicle parking spaces** per **dwelling unit**.

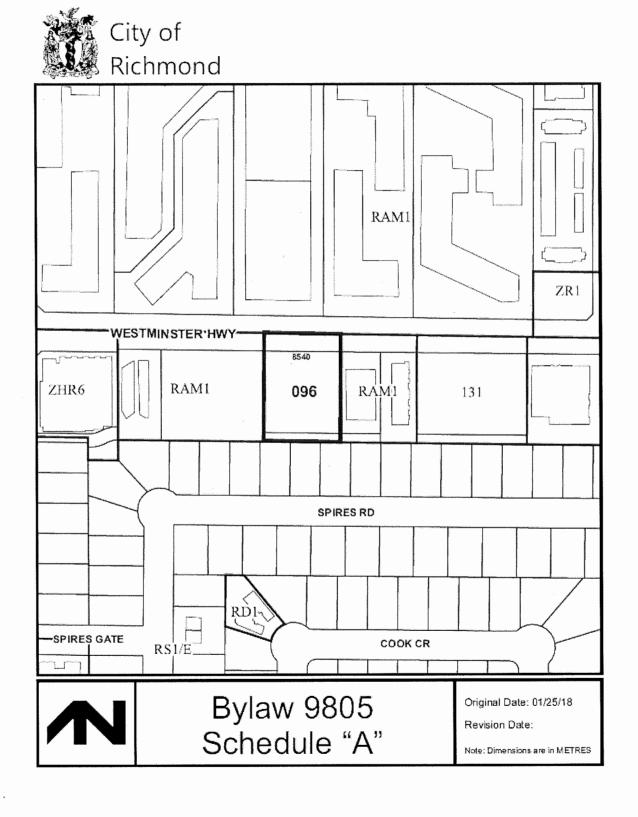
#### 18.34.11 Other Regulations

1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."

- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9805" as "Low Rise Apartment (ZLR34) Brighouse Village (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9805".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director or Solicitor
THIRD READING		— Ju
ADOPTED		
MAYOR	CORPORATE OFFICE	R

Schedule A attached to and forming part of Bylaw 9805





## Richmond Zoning Bylaw 8500, Amendment Bylaw 9806 to Establish Zoning for the Property Developed under Land Use Contract 104

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 17 (Site Specific Residential (Town Houses) Zones), in numerical order:

## "17.84 Town Housing (ZT84) – Cooney Road (Brighouse Village of City Centre)

## 17.84.1 Purpose

The **zone** provides for **town housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 104 on Cooney Road in the Brighouse Village of City Centre.

#### 17.84.2 Pern

#### **Permitted Uses**

- child care
- housing, town

## 17.84.3 Secondary Uses

- boarding and lodging
- community care facility, minor
- home business

## 17.84.4 Permitted Density

- 1. The maximum number of **dwelling units** for **town housing** in this **zone** is 7.
- 2. The maximum floor area ratio is 0.60.

#### 17.84.5 Permitted Lot Coverage

1. The maximum **lot coverage** for **buildings** is 33%.

#### 17.84.6 Yards & Setbacks

- 1. The minimum **front yard** is 7.5 m.
- 2. The minimum north **interior side yard** is 7.0 m.
- 3. The minimum south **interior side yard** is 6.5 m.
- 4. The minimum rear yard is 3.0 m.

#### 17.84.7 Permitted Heights

1. The maximum **height** for **buildings** is 10.7 m, but containing no more than 3 storeys.

#### 17.84.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 35.0 m.
- 2. The minimum lot depth is 35.0 m.
- 3. The minimum **lot area** is 1,300 m<sup>2</sup>.

## 17.84.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

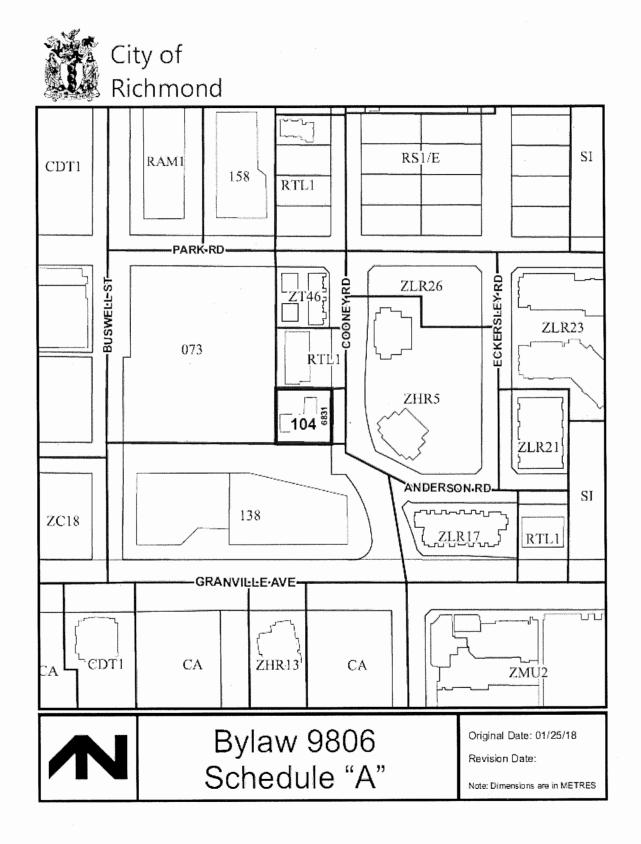
#### 17.84.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.5 **vehicle parking spaces** per **dwelling unit**.

#### 17.84.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold-on "Schedule A attached to and forming part of Bylaw 9806" as "Town Housing (ZT84) Cooney Road (Brighouse Village of City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9806".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director or Solicitor
THIRD READING		M
ADOPTED		
MAYOR	CORPORATE OFFICER	





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9807 to Establish Zoning for the Properties Developed under Land Use Contract 115

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## "18.35 Low Rise Apartment (ZLR35) – St. Albans Sub Area (City Centre)

## 18.35.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the properties developed under Land Use Contract 115 on Bennett Road in the St. Albans Sub Area of City Centre.

#### 18.35.2 Permitted Uses

18.35.3

## Secondary Uses

- child care

boarding and lodging

housing, apartment

- community care facility, minor
- home business

## 18.35.4 Permitted Density

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4:
  - a) The maximum number of **dwelling units** for **apartment housing** is 32; and
  - c) The maximum floor area ratio is 0.74.
- 2. In the areas identified as "B" and "C" on Diagram 1, Section 18.35.4.4:
  - a) The maximum number of **dwelling units** for **apartment housing** on each **lot** is 38; and
  - c) The maximum floor area ratio on each lot is 1.10.
- 3. In the area identified as "D" on Diagram 1, Section 18.35.4.4:
  - a) The maximum number of dwelling units for apartment housing is 48;
     and
  - c) The maximum floor area ratio is 1.01.

4. Diagram 1



## 18.35.5 Permitted Lot Coverage

- 1. The maximum **lot coverage** is 40% for **buildings**.
- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

## 18.35.6 Yards & Setbacks

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front yard is 7.6 m;
  - b) the minimum west interior side yard is 6.0 m;
  - c) the minimum east interior side yard is 9.1 m; and
  - d) the minimum rear yard is 18.2 m.
- 2. In the area identified as "B" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front and rear yard is 12.1 m;
  - b) the minimum west interior side yard is 9.1 m; and
  - c) the minimum east **interior side yard** is 10.6 m.

- 3. In the area identified as "C" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front and rear yard is 12.1 m;
  - b) the minimum west interior side yard is 10.6 m; and
  - c) the minimum east **interior side yard** is 9.1 m.
- 4. In the area identified as "D" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front yard is 7.6 m;
  - b) the minimum interior side yard is 12.1 m;
  - c) the minimum exterior side yard is 7.6 m; and
  - d) the minimum rear yard is 9.1 m.

## 18.35.7 Permitted Heights

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4, the maximum **height** for **buildings** is 9.0 m but containing no more than 2 **storeys.**
- 2. In the area identified as "B", "C", and "D" on Diagram 1, Section 18.35.4.4, the maximum **height** for **buildings** is 15.0 m but containing no more than 4 **storeys** including one ground level of covered parking.
- 2. The maximum height for **accessory buildings** is 5.0 m.
- 3. The maximum height for accessory structures is 12.0 m.

#### 18.35.8 Subdivision Provisions/Minimum Lot Size

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4:
  - a) the minimum lot width is 35.0 m;
  - b) the minimum lot depth is 80.0 m; and
  - c) the minimum **lot area** is 2,850 m<sup>2</sup>.
- 2. In the area identified as "B" and "C" on Diagram 1, Section 18.35.4.4:
  - a) the minimum lot width is 40.0 m;
  - b) the minimum lot depth is 80.0 m; and
  - c) the minimum lot area is 3,400 m<sup>2</sup>.
- 3. In the area identified as "D" on Diagram 1, Section 18.35.4.4:
  - a) the minimum lot width is 50.0 m;
  - b) the minimum lot depth is 80.0 m; and
  - c) the minimum **lot area** is 4,300 m<sup>2</sup>.

## 18.35.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

## 18.35.10 On-Site Parking and Loading

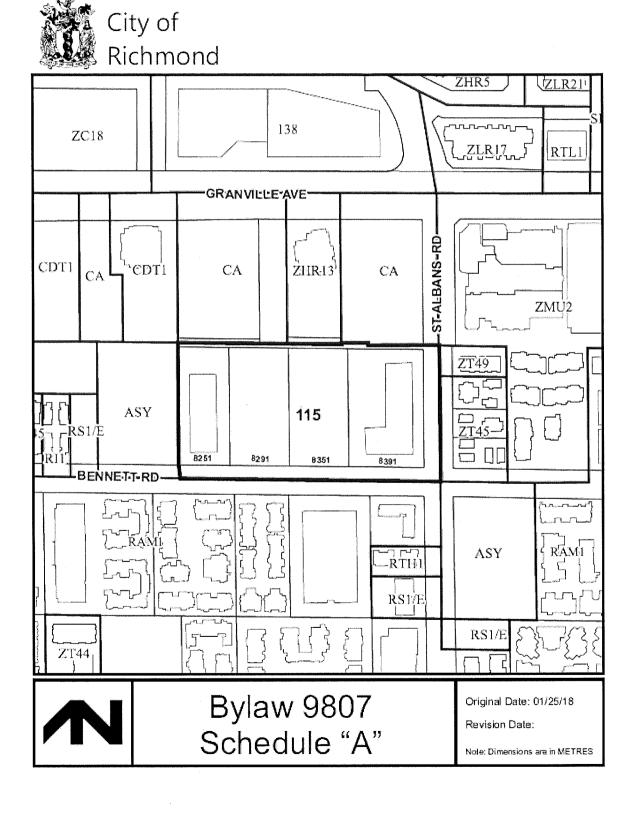
- 1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement:
  - a) In the area identified as "A" on Diagram 1, Section 18.35.4.4, shall be 32 **vehicle parking spaces,** and of which a minimum of 11 shall be designated for visitors; and
  - b) In the areas identified as "B", "C", and "D" on Diagram 1, Section 18.35.4.4, shall be the greater of 1.3 **vehicle parking spaces** per dwelling unit or 163 **vehicle parking spaces**, and of which a minimum of 18 shall be designated for visitors.

## 18.35.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9807" as "Low Rise Apartment (ZLR35) St. Albans Sub Area (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9807".

FIRST READING	FEB 2 6 2016	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor ————————————————————————————————————
ADOPTED		
MAYOR	CORPORATE OFFICE	R

Schedule A attached to and forming part of Bylaw 9807





## Richmond Zoning Bylaw 8500, Amendment Bylaw 9808 to Establish Zoning for the Property Developed under Land Use Contract 119

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

## " 22.47 Office (ZC47) – Brighouse Village (City Centre)

## 22.47.1 Purpose

The **zone** provides for **office**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 119 on Cook Road in the Brighouse Village of City Centre.

## 22.47.2 Permitted Uses

22.47.3

Secondary Uses

n/a

- health service, minor
- meanin servic
- office

## 22.47.4 Permitted Density

- 1. The maximum **floor area** permitted is 511 m<sup>2</sup>.
- 2. The maximum floor area ratio is 1.15.

## 22.47.5 Permitted Lot Coverage

- 1. The maximum **lot coverage** is 57% for **buildings**.
- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 22.47.6 Yards & Setbacks

- 1. The minimum **front yard** is 6.1 m.
- 2. The minimum **interior side yard** is 0.2 m.

- 3. The minimum exterior side yard is:
  - a) 0.0 m for no more than 17% of the side façade of the **building**, to be used only for entrances, exits, and stairs; and
  - b) 4.0 m for at least 83% of the side façade of the **building**.
- 4. The minimum rear yard is:
  - a) 0.41 m for no more than 48% of the rear façade of the **building**, to be used only for entrances, exits, and stairs; and
  - b) 4.85 m for at least 52% of the rear façade of the **building**.

## 22.47.7 Permitted Heights

1. The maximum **height** for **buildings** is 9.0 m but containing no more than 2 **storeys**, including ground level parking.

#### 22.47.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum lot width is 10.0 m.
- 2. The minimum lot depth is 55.0 m.
- 3. The minimum lot area is 750 m<sup>2</sup>.

## 22.47.9 Landscaping & Screening

 Landscaping and screening shall be provided in accordance with the provisions of Section 6.0.

#### 22.47.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 19 **vehicle parking spaces**.

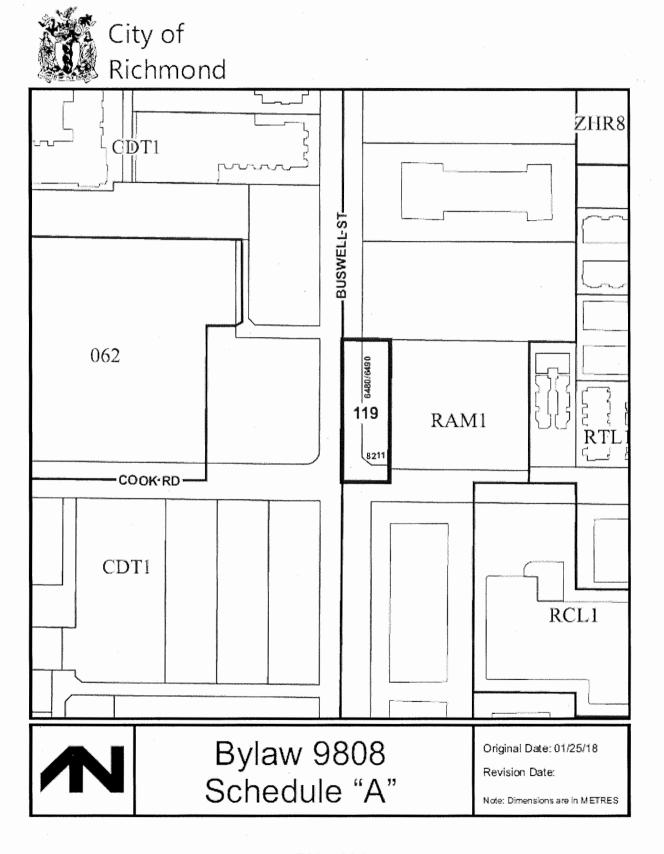
## 22.47.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9808" as "Office (ZC47) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9808".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor
ADOPTED		
MAYOR	CORPORATE OFFIC	ER

Schedule A attached to and forming part of Bylaw 9808





## Richmond Zoning Bylaw 8500, Amendment Bylaw 9809 to Establish Zoning for the Property Developed under Land Use Contract 131

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## "18.36 Low Rise Apartment (ZLR36) – Brighouse Village (City Centre)

## 18.36.1 Purpose

The **zone** provides for low rise **apartment housing** and compatible **uses**. This **zone** is for the property developed under Land Use Contract 131 on Westminster Highway in the Brighouse Village of City Centre.

#### 18.36.2 Permitted Uses

- child care
- housing, apartment

#### 18.36.3 Secondary Uses

- · boarding and lodging
- community care facility, minor
- home business

## 18.36.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 45.
- 2. The maximum number of **buildings** for **apartment housing** is one.
- 3. The maximum floor area permitted for a dwelling unit containing one bedroom in apartment housing is 56 m<sup>2</sup> exclusive of storage space.
- 4. The maximum **floor area** permitted for a **dwelling unit** containing two bedrooms in **apartment housing** is 75 m<sup>2</sup> exclusive of storage space.
- 5. The maximum floor area ratio is 1.20.

#### 18.36.5 Permitted Lot Coverage

1. The maximum **lot coverage** for **buildings** is 40%.

- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 18.36.6 Yards & Setbacks

- 1. The minimum front yard is 12.0 m.
- 2. The minimum interior side yard is 8.5 m.
- 3. The minimum rear yard is 10.0 m.

## 18.36.7 Permitted Heights

1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 4 **storeys** including ground level parking.

#### 18.36.8 Subdivision Provisions/Minimum Lot Size

- The minimum lot width is 73.0 m.
- 2. The minimum **lot depth** is 54.0 m.
- 3. The minimum **lot area** is 4,045 m<sup>2</sup>.

## 18.36.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

#### 18.36.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be provided at a ratio of a minimum 1.5 **vehicle parking spaces** per **dwelling unit**.

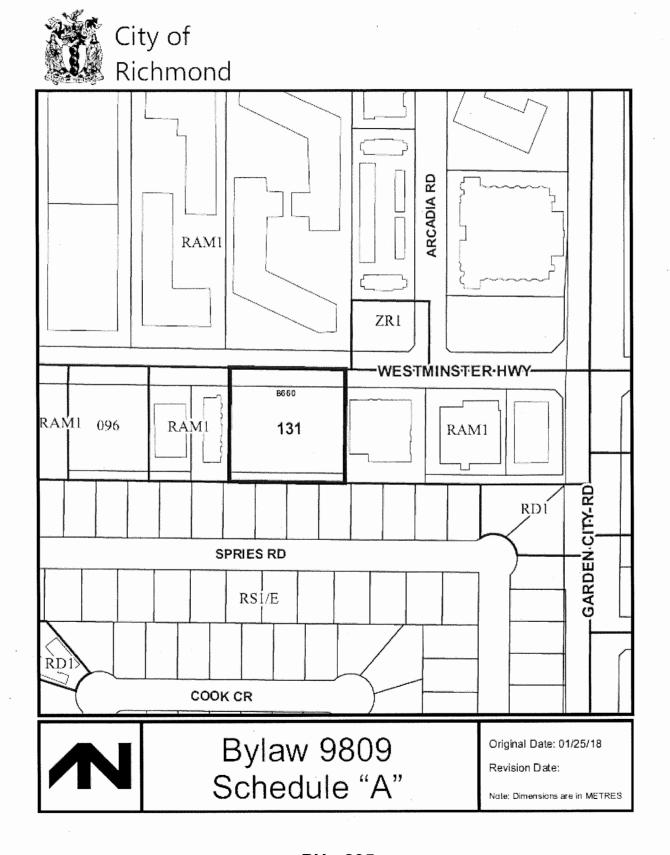
#### 18.36.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9809" as "Low Rise Apartment (ZLR36) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9809".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor
ADOPTED		
MAYOR	CORPORATE OFFIC	ER

Schedule A attached to and forming part of Bylaw 9809





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9810 to Establish Zoning for the Property Developed under Land Use Contract 138

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## " 18.37 Low Rise Apartment (ZLR37) – Brighouse Village (City Centre)

## 18.37.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 138 on Granville Avenue and Cooney Road in the Brighouse Village of City Centre.

#### 18.37.2 Permitted Uses

- child care
- housing, apartment

#### 18.37.3 Secondary Uses

- · boarding and lodging
- community care facility, minor
- home business

#### 18.37.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 129.
- 2. The maximum number of **buildings** for **apartment housing** is two.
- 4. The maximum floor area ratio is 0.85.

#### 18.37.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 29% for **buildings** containing **apartment housing**.

#### 18.37.6 Yards & Setbacks

- 1. The minimum **setback** to Cooney Road is 5.0 m.
- The minimum setback to the north side lot line is 17.0 m.
- The minimum setback to Granville Avenue is 7.5 m.
- 4. The minimum **setback** to Buswell Street is 6.0 m.

## 18.37.7 Permitted Heights

 The maximum height for buildings is 15.0 m but containing no more than 4 storeys including one ground level of parking.

## 18.37.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 75 m.
- 2. The minimum **lot depth** is 135 m.
- 3. The minimum **lot area** is 11,900 m<sup>2</sup>.

## 18.37.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

## 18.XX.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.25 **vehicle parking spaces** per **dwelling unit**.

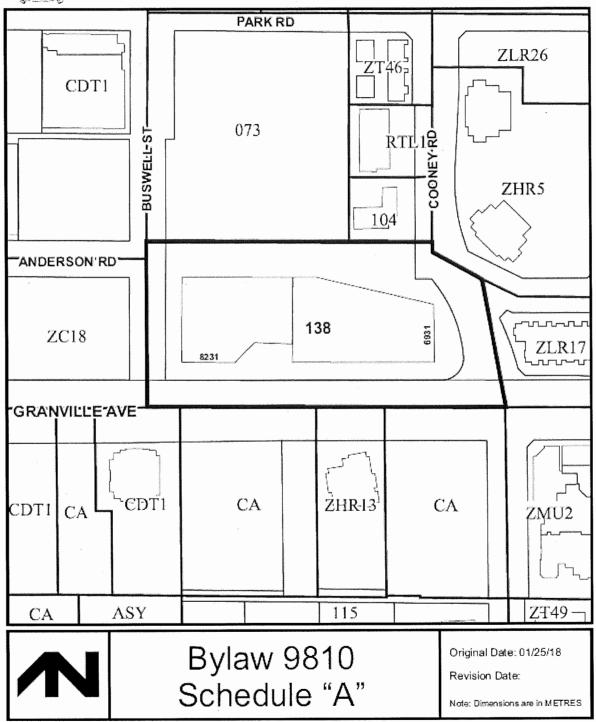
## 18.37.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9810" as "Low Rise Apartment (ZLR37) Brighouse Village (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9810".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor
ADOPTED		
MAYOR	CORPORATE OFFICER	

Schedule A attached to and forming part of Bylaw 9810







# Richmond Zoning Bylaw 8500, Amendment Bylaw 9811 to Establish Zoning for the Property Developed under Land Use Contract 158

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## "18.38 Low Rise Apartment (ZLR38) – Brighouse Village (City Centre)

#### 18.38.1 Purpose

The **zone** provides for low rise **apartment housing** and other compatible **uses**. This **zone** is for the property developed under Land Use Contract 158 on Park Road in the Brighouse Village of City Centre.

#### 18.38.2

#### Permitted Uses

18.38.3

#### Secondary Uses

- child care
- housing, apartment

- boarding and lodging
- community care facility, minor
- home business

## 18.38.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** is 56.
- 2. The maximum number of **buildings** for **apartment housing** is one.
- 4. The maximum **floor area ratio** is 1.20.

## 18.38.5 Permitted Lot Coverage

- 1. The maximum **lot coverage** for **buildings** is 50%.
- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 18.38.6 Yards & Setbacks

- 1. The minimum front yard is 7.5 m.
- 2. The minimum east interior side yard is 6.0 m.
- 3. The minimum west **interior side yard** is 9.0 m.
- 4. The minimum rear yard is 7.0 m.

## 18.38.7 Permitted Heights

1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 4 **storeys** including ground level parking.

#### 18.38.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 45.0 m.
- 2. The minimum **lot depth** is 90.0 m.
- 3. The minimum lot area is  $4,400 \text{ m}^2$ .

## 18.38.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

#### 18.38.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 54 covered **vehicle parking spaces**, and 22 uncovered **vehicle parking spaces**, of which there shall include 6 visitor **parking spaces**.

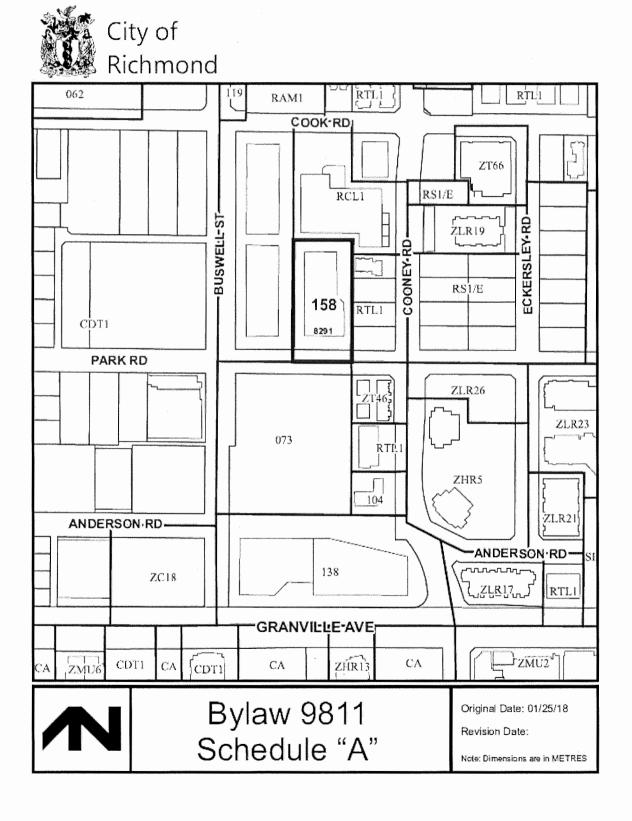
#### 18.38.11 Other Regulations

- In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9811" as "Low Rise Apartment (ZLR38) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9811".

FIRST READING	FEB 2 6 2018	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor
ADOPTED	· <u> </u>	
MAYOR	CORPORATE OFFICER	

Schedule A attached to and forming part of Bylaw 9811



## MayorandCouncillors

To Public Hearing
Date: March 19,2018

Bllaws 9799, 9801, 9802

9804,9805,9806,9808,980

9810,9811

Item # U

From:

CitvClerk

Sent:

Wednesday, 7 March 2018 13:21

To:

MayorandCouncillors

Subject:

FW: request on public hearing on Mar 19, 2018 for Zoning Bylaw

**Follow Up Flag:** 

Follow up

Flag Status:

Flagged

From: Xin Ye [mailto:xye@arbutusbio.com]
Sent: Wednesday, 7 March 2018 13:05

To: CityClerk

Subject: request on public hearing on Mar 19, 2018 for Zoning Bylaw

**Dear City Council** 

I am a owner at 8291 Park Road. I have received a letter from Richmond city hall with regard to the public hearing scheduled on Mar 19, 2018 discussing the zoning bylaw amendment.

I would like submit comments via the on-line form but the webpage indicates the "The online submission form is currently unavailable".

As a resident in Richmond, I really appreciate all the effort that city council and city hall staff have made to improve our living environment and public service. I understand that some zoning restriction need to be applied to keep the level of these services.

However, with the expansion of population in Richmond, there is increasing need for housing. Areas around the Canada line station would be a convenient location for residents travelling. Low density zoning in those areas would limit the growth of those communities. In addition, the low-rise apartment buildings in those areas are in their late 30s to mid 40s in terms of building age. Issues around building structures such as piping, roof, dry walls etc will come up more and more often. This will also cause potential safety risks which would cost the city more when issues arises. The winding up of those strata would require developer investment and there is currently very limited interest in developers due to the low density zoning restriction. Adding more flexibility in the zoning bylaw would allow this area to provide more housing supply to the city and ease off the spiking condo price in Richmond.

I would sincerely recommend the council to consider allow high density zoning around that area, including 8291 park road.

Thank you.

Xin Ye

One Owner of 8291 Park Road



## CitvClerk

From:

Queenie Chan <queeniecwt@gmail.com>

Sent:

Wednesday, 14 March 2018 08:58

To:

CitvClerk

Cc:

Connie Chan; Kenny Chan

Subject:

Comments for March 19 Public Hearing

Follow Up Flag:

Follow up

Flag Status:

Flagged

To Public Hearing Date: March 19,2018 Item #4 Re: Bylaws 9799 9801 9802.98049 805.9806 9807,9808,9809,9810,9811

To the City Clerk,

I am emailing to submit comments for the Public Hearing to be held on Monday, March 19, 2016 7pm, regarding Item #4 on the listed on the Preliminary Public Hearing Agenda: "RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAWS 9799, 9801, 9802, 9804, 9805, 9806, 9807, 9808, 9809, 9810, 9811."

I currently reside in 8540 Citation Drive (Zone Land Use Contract 025), which is in the area affected by the Amendment Bylaw 9801. As I understand, the site is currently zoned as "low-rise apartments& 2-storey townhouses". My position in this matter is to keep the zoning unchanged as dictated by ZLR23 ("Low Rise Apartment").

Since Land Use Contract 025 is in the heart of Richmond city centre, I understand that it is highly attractive site for property developers who might wish to rezone this area into a mid- or high-density district. I am strongly opposed to this as it goes against what Richmond means to me, and also goes completely against the Official Community Plan of Richmond. Land Use Contract 025 rare oasis of low density buildings constructed with green space in mind. Despite the residents in this area not being among the economic elite, the physical environment allows residents to nevertheless enjoy a high quality of life, optimal for living, working, and raising their families. An increase of residential density in Land Use Contract 25 will certainly decrease the standard of living here. There is a strong sense of neighbourhood here, with plenty of open area for residents to meet and play. There are already plenty of high-rise buildings that surround this area, and several new high-rise building sites on our doorstep have already adversely affected traffic density (congestion) and the school system (overcrowding). Adding more density to Land Use Contract 025 will worsen matters quickly. By keeping this land low-density, it allows for the healthy long-term growth of the high rises already in progress.

I have lived here since the early 1990s, and know this neighbourhood and its people well. Zoning changes to this area would affect 515 units, with the majority of them being either young families who would otherwise not be able to afford the astronomically priced property anywhere else in Richmond, or active seniors maintaining a highly independent and productive lifestyle in their current residence near the city centre. This area is a place where young and old live and thrive together. Richmond's image as a viable and thriving city that prioritizes family should always remain a first and foremost goal, and any plans to change Land Use Contract 025 into a higher density zone than its current low density state would be devastating to this image, displacing many families who have called Richmond their home for decades. DATE

Best regards,

Kenny Chan and Connie Chan Residents at 201-8540 Citation Drive