



Public Notice is hereby given of a Regular Council Meeting for Public Hearings being held on:

**Monday, February 19, 2018 – 7 p.m.**

**Council Chambers, 1<sup>st</sup> Floor  
Richmond City Hall  
6911 No. 3 Road  
Richmond, BC V6Y 2C1**

## OPENING STATEMENT

### Page

1. **RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9784**  
(File Ref. No. 12-8060-20-009784; RZ 16-738953) (REDMS No. 3218459; 5596252; 5689323)

### PH-6

[See Page PH-6 for full report](#)

**Location:** 7320, 7340 & 7360 Ash Street

**Applicant:** Pietro Nardone

**Purpose:** To rezone the east portions of 7320, 7340 & 7360 Ash Street from the “Single Detached (RS1/F)” zone to the “Single Detached (ZS14) – South McLennan (City Centre)” zone, to permit the properties to be subdivided into three (3) lots fronting Ash Street and five (5) lots fronting a new extension of Armstrong Street.

**First Reading:** January 15, 2018

**Order of Business:**

1. Presentation from the applicant.
2. Acknowledgement of written submissions received by the City Clerk since first reading.
3. Submissions from the floor.

**Page**

**Council Consideration:**

1. Action on second and third readings of Richmond Zoning Bylaw 8500, Amendment Bylaw 9784.



2. **OFFICIAL COMMUNITY PLAN BYLAW 9000, AMENDMENT BYLAW 9792 AND OFFICIAL COMMUNITY PLAN BYLAW 7100, AMENDMENT BYLAW 9793**

(File Ref. No. 12-8060-20-009792; 12-8060-20-009793) (REDMS No. 5646409 v. 4; 5654049; 5654050)

**PH-30**

[See Page PH-30 for Procedural Memorandum](#)

**PH-37**

[See Page PH-37 for full report](#)

**Location:** City-Wide

**Applicant:** City of Richmond

**Purpose:** Bylaw 9792 updates the existing developer contribution rates for: 1) community amenities in the Broadmoor Area Plan; 2) cash-in-lieu of private indoor amenity space within the City-wide Official Community Plan; 3) to add past inflation to these rates since they were established and include a clause to automatically add inflation to these rates in future years.

Bylaw 9793 updates the existing developer contribution rates for: 1) heritage conservation in the Steveston Area Plan; 2) community planning in the City Centre Area Plan; 3) affordable housing, childcare, city beautification and community planning rates in the West Cambie Area Plan; 4) to add past inflation to these rates since they were established and include a clause to automatically add inflation to these rates in future years.

**First Reading:** January 29, 2018

**Order of Business:**

1. Presentation from the applicant.
2. Acknowledgement of written submissions received by the City Clerk since first reading.
3. Submissions from the floor.

Page

**Council Consideration:**

1. Action on revising Official Community Plan Bylaw 9000, Amendment Bylaw 9792 to correct the start date of the future adjustments to the contribution rates from February 28, 2018 to February 28, 2019, wherever noted in the Bylaw. (See Procedural Memorandum)

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2. Action on revising Official Community Plan Bylaw 7100, Amendment Bylaw 9793 to correct the start date of the future adjustments to the contribution rates from February 28, 2018 to February 28, 2019, wherever noted in the Bylaw. (See Procedural Memorandum)

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3. Action on second and third readings of Official Community Plan Bylaw 9000, Amendment Bylaw 9792, as amended.

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4. Action on second and third readings of Official Community Plan Bylaw 7100, Amendment Bylaw 9793, as amended.

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5. Adoption of Official Community Plan Bylaw 9000, Amendment Bylaw 9792.

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6. Adoption of Official Community Plan Bylaw 7100, Amendment Bylaw 9793.

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3. **RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9796**  
(File Ref. No. 12-8060-20-009796; RZ 16-732490) (REDMS No. 3218459; 5500172; 5689249)

**PH-51**

[See Page PH-51 for full report](#)

**Location:** 7151, 7171, 7191, 7211, 7231, 7251 Bridge Street

**Applicant:** Pietro Nardone

**Page**

**Purpose:** To rezone the west portions of the properties from the "Single Detached (RS1/F)" zone to the "Single Detached (ZS14) - South McLennan (City Centre)" zone, and to rezone the east portion of 7191 Bridge Street from the "Single Detached (RS1/F)" zone to the "Single Detached (RS2/C)" zone, to permit the properties to be subdivided to create six (6) lots fronting Bridge Street and ten (10) new lots fronting an extension to Armstrong Street.

**First Reading:** January 15, 2018

**Order of Business:**

1. Presentation from the applicant.
2. Acknowledgement of written submissions received by the City Clerk since first reading.
3. Submissions from the floor.

**Council Consideration:**

1. Action on second and third readings of Richmond Zoning Bylaw 8500, Amendment Bylaw 9796.



4. **RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9815**  
(File Ref. No. 12-8060-20-009815; RZ 15-704980) (REDMS No. 5687131; 5691092)

**PH-77**

[See Page PH-77 for full report](#)

**Location:** 8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street

**Applicant:** 0951705 BC Ltd.

**Purpose:** To rezone the subject property from the "Light Industrial (IL)" zone and the "Auto-Oriented Commercial (CA)" zone to a new "Commercial (ZC45) – Bridgeport Village" zone, to permit development of a 6-storey hotel building at 8871 to 8971 Douglas Street and a single storey commercial building at 8960 Douglas Street.

**First Reading:** January 15, 2018

**Order of Business:**

1. Presentation from the applicant.
2. Acknowledgement of written submissions received by the City Clerk since first reading.



Page

3. Submissions from the floor.

**Council Consideration:**

1. Action on second and third readings of Richmond Zoning Bylaw 8500, Amendment Bylaw 9815.

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5. **RICHMOND ZONING BYLAW 8500, AMENDMENT BYLAW 9818**  
(File Ref. No. 12-8060-20-009818; RZ 13-644678) (REDMS No. 5695502 v. 2; 5394058; 5695503)

PH-135

See Page PH-135 for full report

**Location:** 5400 Granville Avenue

**Applicant:** Westmark Developments Ltd.

**Purpose:** To rezone the subject property from the “Single Detached (RS1/E)” zone to the “Single Detached (RS2/B)” zone, to permit development of nine (9) single detached homes with access from a north-south aligned new road.

**First Reading:** January 29, 2018

**Order of Business:**

1. Presentation from the applicant.
2. Acknowledgement of written submissions received by the City Clerk since first reading.
3. Submissions from the floor.

**Council Consideration:**

1. Action on second and third readings of Richmond Zoning Bylaw 8500, Amendment Bylaw 9818.

☐

ADJOURNMENT

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# City of Richmond

## Report to Committee Planning and Development Division

**To:** Planning Committee  
**From:** Wayne Craig  
Director, Development

**Date:** January 3, 2018  
**File:** RZ 16-738953


**Re:** Application by Pietro Nardone for Rezoning at 7320, 7340 and 7360 Ash Street from "Single Detached (RS1/F)" Zone to "Single Detached (ZS14) – South McLennan (City Centre)" Zone

### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9784, for the rezoning of the east portions of 7320, 7340 and 7360 Ash Street from "Single Detached (RS1/F)" to "Single Detached (ZS14) – South McLennan (City Centre)", be introduced and given first reading.

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:sds  
Att. 9

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

## **Staff Report**

### **Origin**

Pietro Nardone has applied to the City of Richmond for permission to rezone the east portions of 7320, 7340 and 7360 Ash Street from the “Single Detached (RS1/F)” zone to the “Single Detached (ZS14) – South McLennan (City Centre)” zone, to permit the properties to be subdivided into three RS1/F lots fronting Ash Street and five ZS14 lots fronting a new extension of Armstrong Street (Attachment 1). The subject site is currently occupied by three single-family dwellings located on the west portions of the properties and fronting Ash Street, which are proposed to remain. The proposed subdivision plan is included in Attachment 2.

The subject rezoning application is being considered concurrently with a rezoning application at 7151, 7171, 7191, 7211, 7231 and 7251 Bridge Street (RZ 16-732490), located northeast of the subject properties. The required road works associated with both applications will facilitate the connection of Armstrong Street from Sills Avenue to General Currie Road, as shown in Attachment 3. The required road works will be secured through a single Servicing Agreement for both applications, which the applicant must enter into prior to final adoption of the rezoning bylaw.

### **Findings of Fact**

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 4).

### **Surrounding Development**

Development immediately surrounding the subject site is as follows:

- To the North & South: Single-family dwellings on lots zoned “Single Detached (RS1/F)” fronting Ash Street.
- To the East: Single-family dwellings on lots zoned “Single Detached (RS1/F)” and “Single Detached (ZS14) - South McLennan (City Centre)” fronting Bridge Street and Armstrong Street.
- To the West: Across Ash Street, single-family dwellings on lots zoned “Single Detached (RS1/F)”.

### **Related Policies & Studies**

#### **Official Community Plan/City Centre Area – McLennan South Sub-Area Plan**

The Official Community Plan (OCP) land use designation for the subject site is “Neighbourhood Residential (NRES)” (Attachment 5). The proposed rezoning and subdivision would comply with this designation.

The City Centre Area – McLennan South Sub-Area Plan land use designation for the subject site is “Residential, Historic Single-Family” (Attachment 6). The Area Plan identifies minimum lot sizes along Ash Street (minimum 18 m frontage and 550 m<sup>2</sup> area) and on Armstrong Street (minimum 11.3 m frontage and 320 m<sup>2</sup> area). The proposed rezoning and subdivision would comply with the minimum lot frontage and area requirements of the Area Plan and the requirements of the “Single Detached (ZS14) - South McLennan (City Centre)” zone.

The McLennan South Sub-Area Plan identifies the development of a “ring road”, made up of Sills Avenue and Armstrong Street, connecting Sills Avenue to General Currie Road (Attachment 7). These new roads have been constructed incrementally through previous development applications, including portions of Sills Avenue to the north and Armstrong Street to the south. The proposed rezoning and subdivision is consistent with the identified road development, and will complete (along with RZ 16-732490) an interim north-south connecting Armstrong Street.

### **Floodplain Management Implementation Strategy**

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

### **Public Consultation**

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing; where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

### **Analysis**

#### **Proposed Rezoning and Subdivision**

The applicant is proposing to rezone the east portions of the subject properties to the “Single Detached (ZS14) - South McLennan (City Centre)” zone, in order to subdivide into three RS1/F lots fronting Ash Street and five ZS14 lots fronting a new extension of Armstrong Street. The proposal includes retaining the three existing single-family dwellings located on the west portion of the subject properties fronting Ash Street, and constructing a new single-family dwelling on each of the five new lots fronting Armstrong Street.

Based on the proposed subdivision, the applicant has provided a signed and sealed plan from a registered BC Land Surveyor, confirming the existing buildings and structures meet the setback, lot coverage and density requirements of the “Single Detached (RS1/F)” zone.

**Transportation and Site Access**

Vehicle access to the proposed five ZS14 lots, located on the east portion of the subject site, will be by new driveways from the new extension of Armstrong Street. Vehicle access to the three RS1/F lots, located on the west portion of the subject site, is to be maintained from Ash Street using existing driveways.

The connection of Armstrong Street from Sills Avenue to General Currie Road is necessary to achieve functional vehicle circulation for two-way traffic and emergency access and egress. This connection will be facilitated through the subject rezoning application and a rezoning application northeast of the subject properties at 7151, 7171, 7191, 7211, 7231 and 7251 Bridge Street (RZ 16-732490).

In order to secure the road connection between the two development sites, a 9.0 m wide road dedication is required along the rear property lines of the subject properties and the submission of a functional road plan demonstrating the interim and ultimate conditions of Armstrong Street, to the satisfaction of the Director of Transportation. Additionally, a 9.0 m road dedication along the entire east property line of 7280 Ash Street (not included in either rezoning application) will be required prior to final adoption of the rezoning bylaw. The applicant has provided written confirmation that the property owner of 7280 Ash Street has agreed to this condition. The required road and servicing works will be secured through a single Servicing Agreement with RZ 16-732490, which is required prior to final adoption of the rezoning bylaw.

The applicant is also required, prior to final adoption of the rezoning bylaw, to register a legal agreement on Title of the proposed lots to ensure that prior to final building inspection granting occupancy, all required off-site works (from Sills Avenue to General Currie Road) are completed.

At the Servicing Agreement stage, the applicant will be required to provide a 4.0 m by 6.0 m statutory right-of-way on the southernmost lot (proposed Lot 5) centered on the proposed driveway location for this lot for the purposes of vehicle turnaround.

**Tree Retention and Replacement**

The applicant has submitted a Certified Arborist's Report for the eastern portion of the subject site (portion of the site being rezoned and developed), which identifies tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses 15 bylaw-sized trees on-site and two trees located on neighbouring properties.

The Arborist's recommendations include removing 12 trees located on-site in poor condition (tag# 700 & COT) and two neighbouring trees (tag# A & B). Prior to removal of the neighbouring trees, the applicant must obtain written permission from the adjacent property owner with whom the trees are shared and obtain a valid Tree Removal Permit. If permission to remove the trees is not granted, the trees should be protected as per City of Richmond Tree Protection Information Bulletin TREE-03.

Three trees (tag# BIR) are located in the new road right-of-way and are suffering from Bronze Birch Borer infestation. Compensation for trees within the road dedication area is not being sought as Armstrong Street is identified in the Area Plan.

Tree Preservation staff have reviewed the Arborist's Report, conducted an on-site visual tree assessment, and concur with the Arborist's recommendations.

### *Tree Replacement*

For the removal of the 12 trees on the eastern portion of the subject site, the OCP tree replacement ratio goal of 2:1 requires 24 replacement trees to be planted and maintained on-site. The applicant has proposed to plant and maintain three replacement trees on each lot (Attachment 8), for a total of 15 replacement trees. Tree protection and replacement requirements for the western portion of the subject site were addressed through the Building Permits for the existing dwellings.

As per Tree Protection Bylaw No. 8057, based on the sizes of the on-site trees being removed (24-80 cm dbh), replacement trees shall be the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
6	9 cm	5 m
3	10 cm	5.5 m
6	11 cm	6 m

To ensure that the 15 replacement trees are planted and maintained on-site, the applicant is required to submit a Landscaping Security in the amount of \$7,500 (\$500/tree) prior to final adoption of the rezoning bylaw. Securities will not be released until a landscaping inspection has been passed by City staff after construction and landscaping has been completed. The City may retain a portion of the security for a one-year maintenance period from the date of the landscape inspection.

The applicant is also required to submit a cash-in-lieu contribution in the amount of \$4,500 (\$500/tree) to the City's Tree Compensation Fund for the balance of required replacement trees not planted on the proposed lots (9 trees).

### **Affordable Housing Strategy**

The City's Affordable Housing Strategy for single-family rezoning applications received prior to July 24, 2017, requires a secondary suite on 100% of new lots, or a secondary suite on 50% of new lots, plus a cash-in-lieu contribution of \$2.00/ft<sup>2</sup> of total buildable area towards the City's Affordable Housing Reserve Fund for the remaining 50% of new lots, or a 100% cash-in-lieu contribution if secondary suites cannot be accommodated.

On the proposed five new lots along Armstrong Street, the applicant proposes to provide a legal secondary suite on each lot, for a total of five secondary suites. The three existing lots along Ash Street each contain a secondary suite, which were approved prior, through the associated Building Permits, consistent with the Affordable Housing Strategy.

To ensure the secondary suites are built on the five new lots to the satisfaction of the City in accordance with the City's Affordable Housing Strategy and the secondary suites in the three existing lots remain, the applicant is required to enter into a legal agreement registered on Title, stating that no final Building Permit inspection will be granted until the secondary suites are constructed to the satisfaction of the City in accordance with the BC Building Code and Richmond Zoning Bylaw 8500. Registration of this legal agreement is required prior to final adoption of the rezoning bylaw.

### **Site Servicing and Frontage Improvements**

Prior to final adoption of the rezoning bylaw, the developer is required to enter into a Servicing Agreement for the design and construction of road works, engineering infrastructure and frontage improvements, as described in Attachment 9.

The developer for the subject application is responsible for the required road works, engineering infrastructure and frontage improvements along Ash Street, the portion of Armstrong Street along the subject site's frontage, and 50% of the portion of Armstrong Street within the road dedication at 7280 Ash Street. The remaining requirements to complete the connection of Armstrong Street from Sills Avenue to General Currie Road will be the responsibility of the developer for RZ 16-732490. Required works include, but are not limited to, the following:

- Ash Street: Road widening, concrete curb and gutter, landscaped/treed boulevard with street lights and new concrete sidewalk at the property line.
- Armstrong Street: Road widening to accommodate two-way traffic, concrete curb and gutter, landscaped/treed boulevard with street lights and new concrete sidewalk at the property line.

Due to the road width of Armstrong Street in the interim condition, the ultimate frontage works may be deferred until the neighbouring lots develop and additional road width is acquired. At Servicing Agreement stage, the applicant is required to provide a cash-in-lieu contribution for the construction of the ultimate condition to be completed when the adjacent lots develop. The cash-in-lieu contribution will be determined through the Servicing Agreement design review process.

At Subdivision stage, the applicant is required to pay Property Taxes, Development Cost Charges, School Site Acquisition Charge and Address Assignment Fees.

### **Financial Impact or Economic Impact**

As a result of the proposed development, the City will take ownership of developer contributed assets such as road works, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals. The anticipated Operating Budget Impact (OBI) for the ongoing maintenance of these assets is \$6,000.00. This will be considered as part of the 2019 Operating Budget.

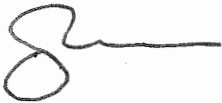
**Conclusion**

The purpose of this rezoning application is to rezone the properties at 7320, 7340 and 7360 Ash Street from the "Single Detached (RS1/F)" zone to the "Single Detached (ZS14) - South McLennan (City Centre)" zone, to permit the properties to be subdivided into three lots fronting Ash Street and five lots fronting a new extension of Armstrong Street.

This rezoning application complies with the land use designations and applicable policies contained within the OCP and Area Plan for the subject site.

The list of rezoning considerations is included in Attachment 9, which has been agreed to by the applicant (signed concurrence on file).

On this basis, it is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9784 be introduced and given first reading.



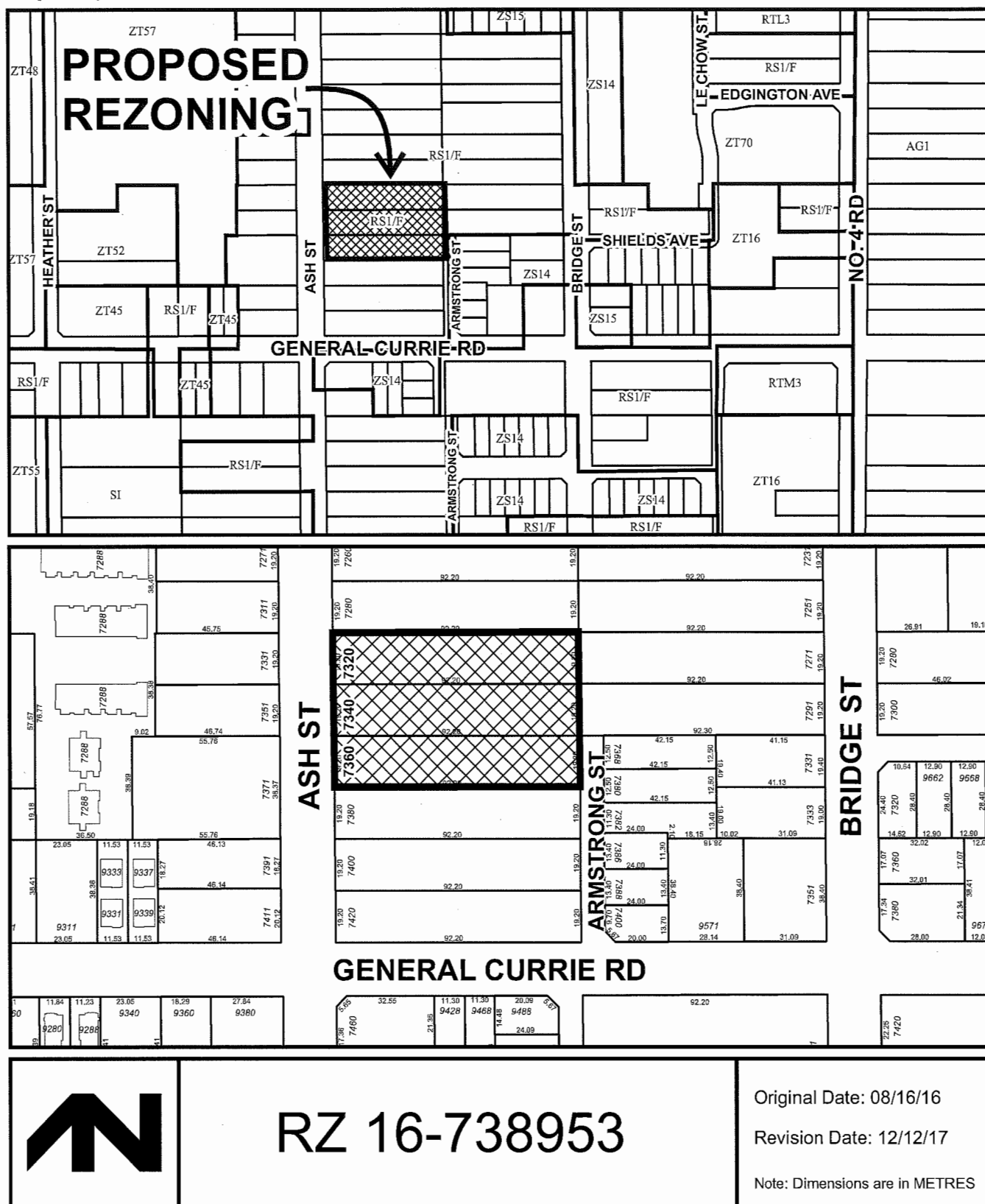
Steven De Sousa  
Planning Technician – Design  
(604-204-8529)

SDS:blg

- Attachment 1: Location Map/Aerial Photo
- Attachment 2: Proposed Subdivision Plan
- Attachment 3: Armstrong Street Development Proposal
- Attachment 4: Development Application Data Sheet
- Attachment 5: Official Community Plan Land Use Designation
- Attachment 6: City Centre Area – McLennan South Sub-Area Plan Land Use Map
- Attachment 7: City Centre Area – McLennan South Sub-Area Plan Circulation Map
- Attachment 8: Tree Management Plan
- Attachment 9: Rezoning Considerations



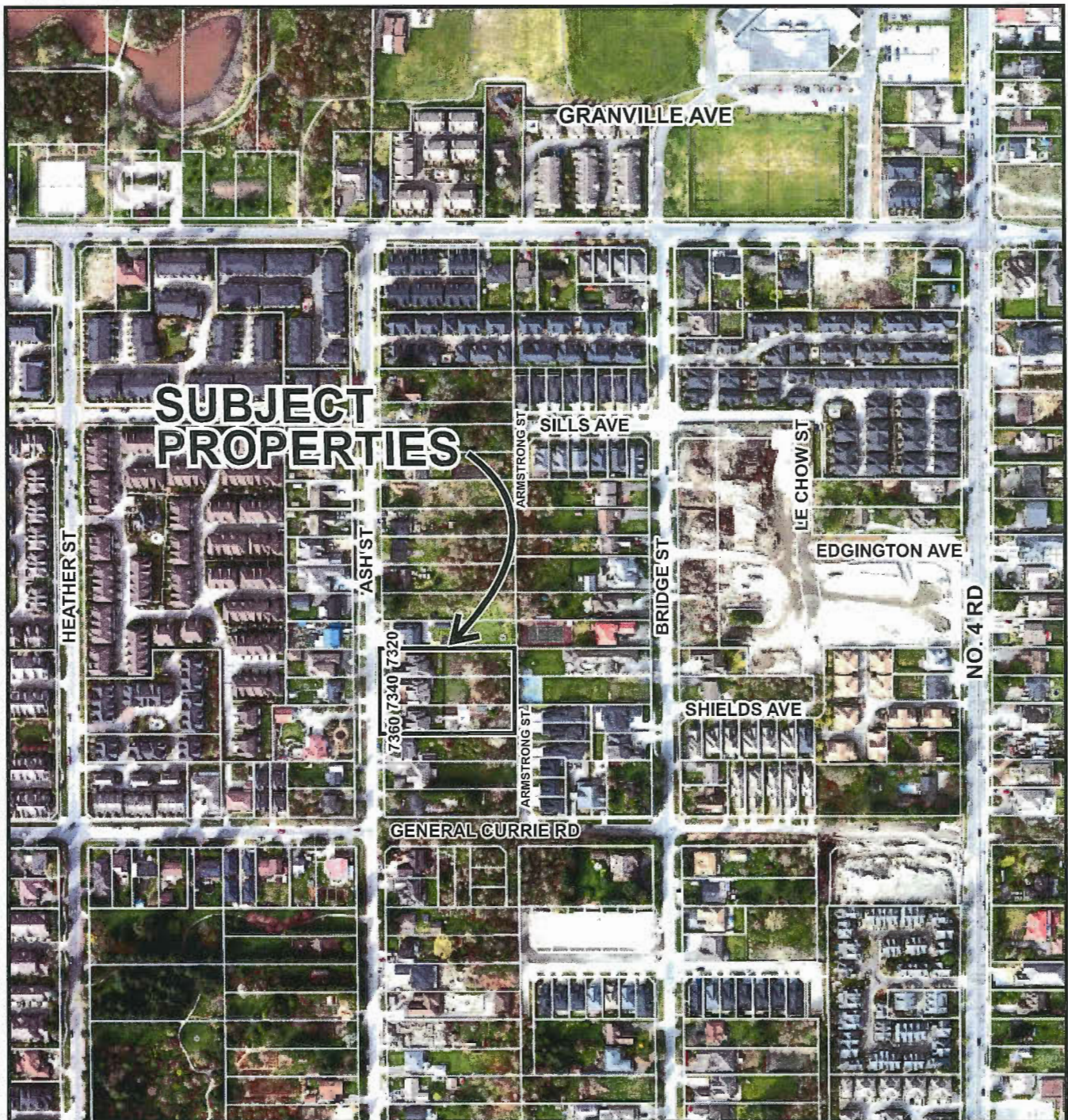
City of  
Richmond







City of  
Richmond



RZ 16-738953

Original Date: 08/16/16

Revision Date: 12/12/17

Note: Dimensions are in METRES



**TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF**  
**1) THE NORTH HALF LOT 8, BLOCK "C", PLAN 1207**  
**2) THE SOUTH HALF LOT 8, BLOCK "C", PLAN 1207**  
**3) THE NORTH HALF LOT 9, BLOCK "C", PLAN 1207**  
**ALL OF SECTION 15, BLOCK 4 NORTH RANGE 6, WEST**  
**NEW WESTMINSTER DISTRICT**

#7390 ASH STREET, (N. 1/2 LOT 8)

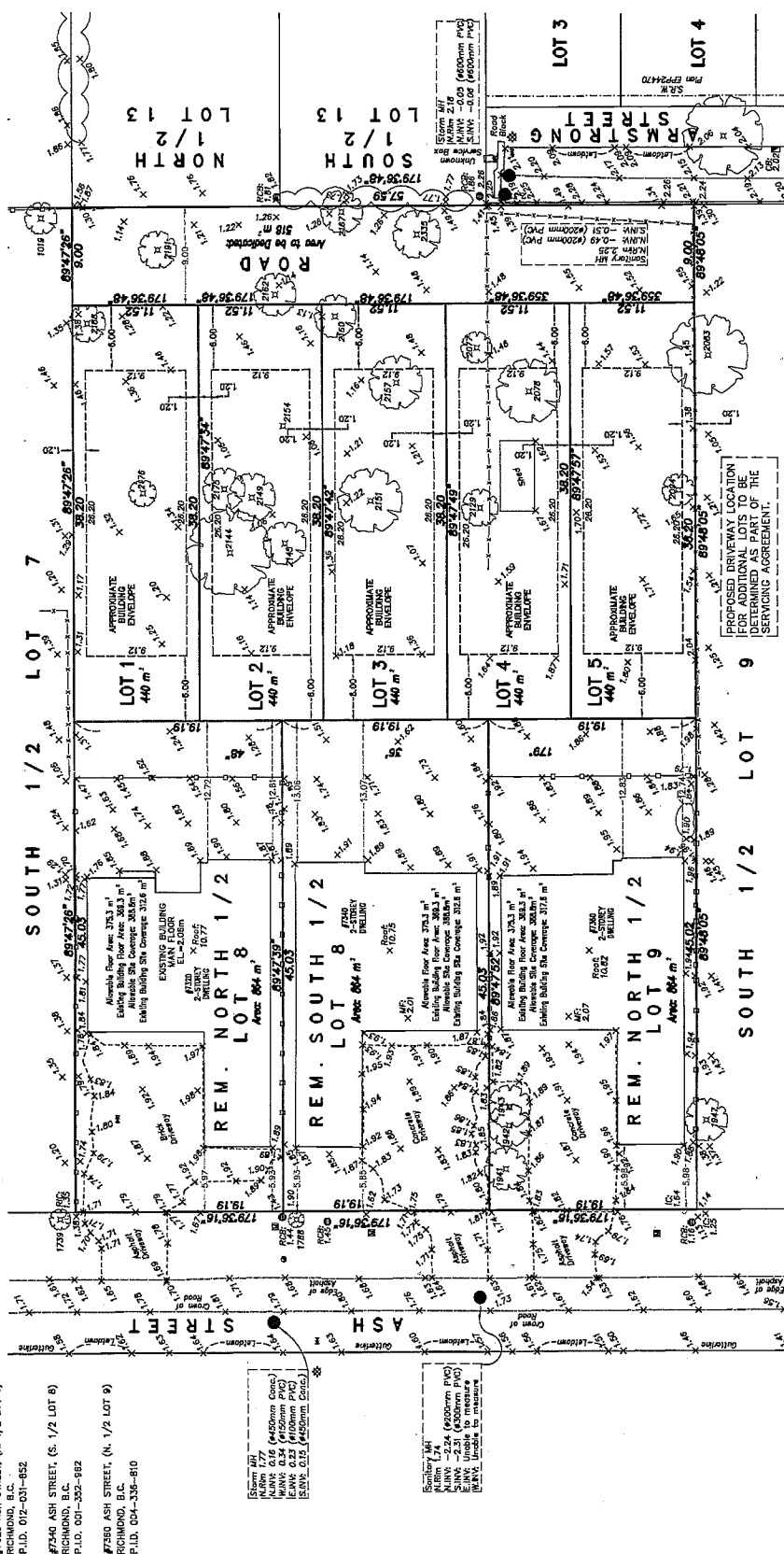
P.L.D. 012-031-852

#7340 ASH STREET, (S. 1/2 LOT 8)

P.L.D. 001-352-882

#7350 ASH STREET, (N. 1/2 LOT 9)

P.L.D. 004-338-810



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J. C. Tom and Associates

Consolidated and B.C. Land Surveyor

REG - 8833 Colin Cretz

Enrollment # 2107

Located at North side of

Granville Avenue

& Bridge Street intersection

near to driveway entrance

to McNeil School.

Job No. 6228

FB-291 P22-23; FB-297 P146-149

FB-291 P131-132; FB-291 P20-39

Drawn By: JO

DWG No. 6228-Topo\_4 - 01

NOTE:

Elevations shown are based

on City of Richmond

datum of 1985.

Enrollment # 2107

Located at North side of

Granville Avenue

& Bridge Street intersection

near to driveway entrance

to McNeil School.

Job No. 6228

FB-291 P22-23; FB-297 P146-149

FB-291 P131-132; FB-291 P20-39

Drawn By: JO

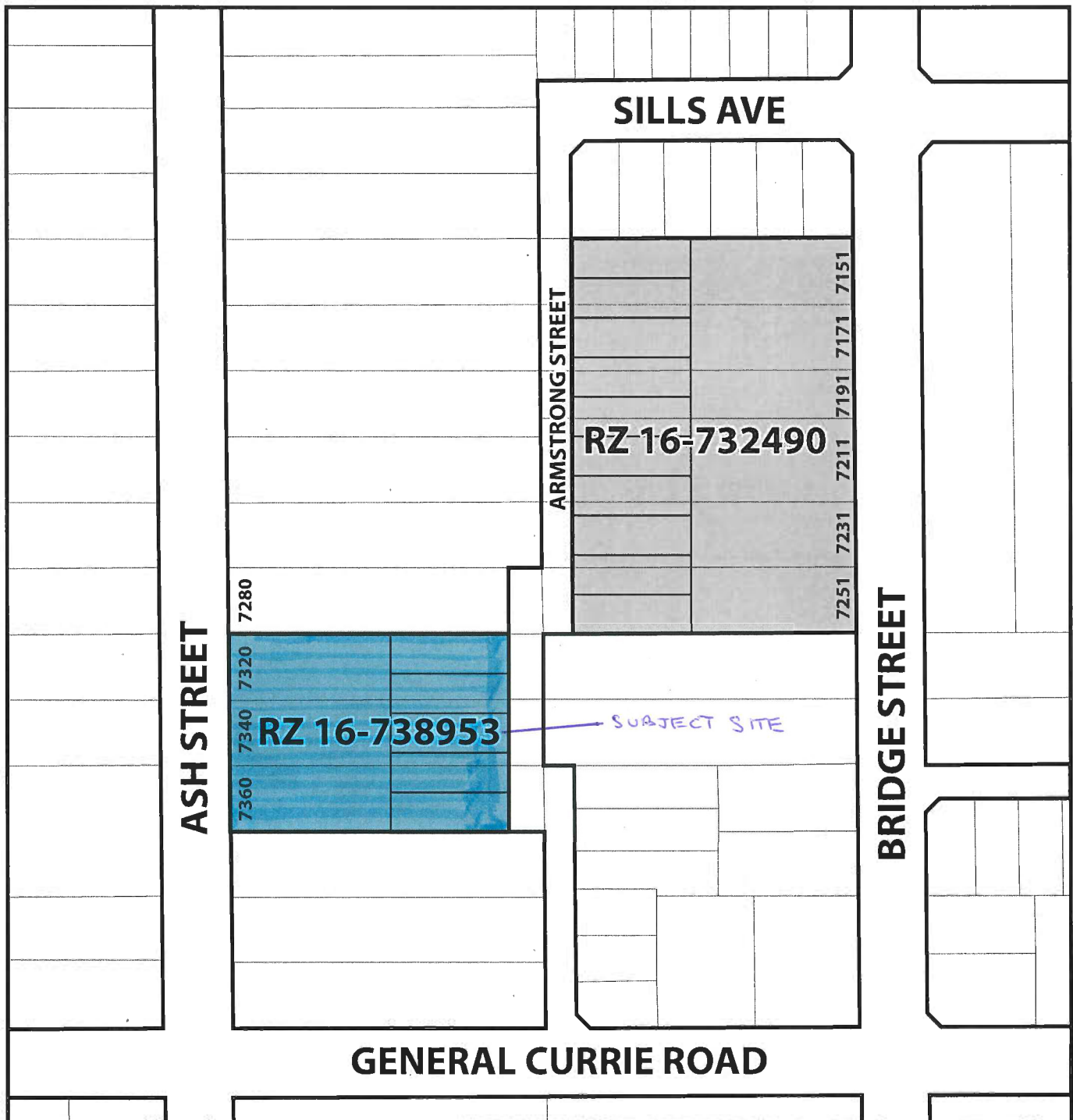
DWG No. 6228-Topo\_4 - 01

Tree Table (As Surveyed between September 18th and October 6th, 2015)

Number	Spec.	Trunk Diameter (cm)	Canopy (m <sup>2</sup> )	Trunk Height (m)	Canopy Height (m)	Type	Notes
1208	TRIE	0.30	2.0	1.4	4.5	Deciduous	
1209	TRIE	0.32	1.5	1.5	4.5	Deciduous	
1210	TRIE	0.33	1.5	1.5	4.5	Deciduous	
1211	TRIE	0.34	1.5	1.5	4.5	Deciduous	
1212	TRIE	0.35	1.5	1.5	4.5	Deciduous	
1213	TRIE	0.36	1.5	1.5	4.5	Deciduous	
1214	TRIE	0.37	1.5	1.5	4.5	Deciduous	
1215	TRIE	0.38	1.5	1.5	4.5	Deciduous	
1216	TRIE	0.39	1.5	1.5	4.5	Deciduous	
1217	TRIE	0.40	1.5	1.5	4.5	Deciduous	
1218	TRIE	0.41	1.5	1.5	4.5	Deciduous	
1219	TRIE	0.42	1.5	1.5	4.5	Deciduous	
1220	TRIE	0.43	1.5	1.5	4.5	Deciduous	
1221	TRIE	0.44	1.5	1.5	4.5	Deciduous	
1222	TRIE	0.45	1.5	1.5	4.5	Deciduous	
1223	TRIE	0.46	1.5	1.5	4.5	Deciduous	
1224	TRIE	0.47	1.5	1.5	4.5	Deciduous	
1225	TRIE	0.48	1.5	1.5	4.5	Deciduous	
1226	TRIE	0.49	1.5	1.5	4.5	Deciduous	
1227	TRIE	0.50	1.5	1.5	4.5	Deciduous	
1228	TRIE	0.51	1.5	1.5	4.5	Deciduous	
1229	TRIE	0.52	1.5	1.5	4.5	Deciduous	
1230	TRIE	0.53	1.5	1.5	4.5	Deciduous	
1231	TRIE	0.54	1.5	1.5	4.5	Deciduous	
1232	TRIE	0.55	1.5	1.5	4.5	Deciduous	
1233	TRIE	0.56	1.5	1.5	4.5	Deciduous	
1234	TRIE	0.57	1.5	1.5	4.5	Deciduous	
1235	TRIE	0.58	1.5	1.5	4.5	Deciduous	
1236	TRIE	0.59	1.5	1.5	4.5	Deciduous	
1237	TRIE	0.60	1.5	1.5	4.5	Deciduous	
1238	TRIE	0.61	1.5	1.5	4.5	Deciduous	
1239	TRIE	0.62	1.5	1.5	4.5	Deciduous	
1240	TRIE	0.63	1.5	1.5	4.5	Deciduous	
1241	TRIE	0.64	1.5	1.5	4.5	Deciduous	
1242	TRIE	0.65	1.5	1.5	4.5	Deciduous	
1243	TRIE	0.66	1.5	1.5	4.5	Deciduous	
1244	TRIE	0.67	1.5	1.5	4.5	Deciduous	
1245	TRIE	0.68	1.5	1.5	4.5	Deciduous	
1246	TRIE	0.69	1.5	1.5	4.5	Deciduous	
1247	TRIE	0.70	1.5	1.5	4.5	Deciduous	
1248	TRIE	0.71	1.5	1.5	4.5	Deciduous	
1249	TRIE	0.72	1.5	1.5	4.5	Deciduous	
1250	TRIE	0.73	1.5	1.5	4.5	Deciduous	
1251	TRIE	0.74	1.5	1.5	4.5	Deciduous	
1252	TRIE	0.75	1.5	1.5	4.5	Deciduous	
1253	TRIE	0.76	1.5	1.5	4.5	Deciduous	
1254	TRIE	0.77	1.5	1.5	4.5	Deciduous	
1255	TRIE	0.78	1.5	1.5	4.5	Deciduous	
1256	TRIE	0.79	1.5	1.5	4.5	Deciduous	
1257	TRIE	0.80	1.5	1.5	4.5	Deciduous	
1258	TRIE	0.81	1.5	1.5	4.5	Deciduous	
1259	TRIE	0.82	1.5	1.5	4.5	Deciduous	
1260	TRIE	0.83	1.5	1.5	4.5	Deciduous	
1261	TRIE	0.84	1.5	1.5	4.5	Deciduous	
1262	TRIE	0.85	1.5	1.5	4.5	Deciduous	
1263	TRIE	0.86	1.5	1.5	4.5	Deciduous	
1264	TRIE	0.87	1.5	1.5	4.5	Deciduous	
1265	TRIE	0.88	1.5	1.5	4.5	Deciduous	
1266	TRIE	0.89	1.5	1.5	4.5	Deciduous	
1267	TRIE	0.90	1.5	1.5	4.5	Deciduous	
1268	TRIE	0.91	1.5	1.5	4.5	Deciduous	
1269	TRIE	0.92	1.5	1.5	4.5	Deciduous	
1270	TRIE	0.93	1.5	1.5	4.5	Deciduous	
1271	TRIE	0.94	1.5	1.5	4.5	Deciduous	
1272	TRIE	0.95	1.5	1.5	4.5	Deciduous	
1273	TRIE	0.96	1.5	1.5	4.5	Deciduous	
1274	TRIE	0.97	1.5	1.5	4.5	Deciduous	
1275	TRIE	0.98	1.5	1.5	4.5	Deciduous	
1276	TRIE	0.99	1.5	1.5	4.5	Deciduous	
1277	TRIE	1.00	1.5	1.5	4.5	Deciduous	
1278	TRIE	1.01	1.5	1.5	4.5	Deciduous	
1279	TRIE	1.02	1.5	1.5	4.5	Deciduous	
1280	TRIE	1.03	1.5	1.5	4.5	Deciduous	
1281	TRIE	1.04	1.5	1.5	4.5	Deciduous	
1282	TRIE	1.05	1.5	1.5	4.5	Deciduous	
1283	TRIE	1.06	1.5	1.5	4.5	Deciduous	
1284	TRIE	1.07	1.5	1.5	4.5	Deciduous	
1285	TRIE	1.08	1.5	1.5	4.5	Deciduous	
1286	TRIE	1.09	1.5	1.5	4.5	Deciduous	
1287	TRIE	1.10	1.5	1.5	4.5	Deciduous	
1288	TRIE	1.11	1.5	1.5	4.5	Deciduous	
1289	TRIE	1.12	1.5	1.5	4.5	Deciduous	
1290	TRIE	1.13	1.5	1.5	4.5	Deciduous	
1291	TRIE	1.14	1.5	1.5	4.5	Deciduous	
1292	TRIE	1.15	1.5	1.5	4.5	Deciduous	
1293	TRIE	1.16	1.5	1.5	4.5	Deciduous	
1294	TRIE	1.17	1.5	1.5	4.5	Deciduous	
1295	TRIE	1.18	1.5	1.5	4.5	Deciduous	
1296	TRIE	1.19	1.5	1.5	4.5	Deciduous	
1297	TRIE	1.20	1.5	1.5	4.5	Deciduous	
1298	TRIE	1.21	1.5	1.5	4.5	Deciduous	
1299	TRIE	1.22	1.5	1.5	4.5	Deciduous	
1300	TRIE	1.23	1.5	1.5	4.5	Deciduous	
1301	TRIE	1.24	1.5	1.5	4.5	Deciduous	
1302	TRIE	1.25	1.5	1.5	4.5	Deciduous	
1303	TRIE	1.26	1.5	1.5	4.5	Deciduous	
1304	TRIE	1.27	1.5	1.5	4.5	Deciduous	
1305	TRIE	1.28	1.5	1.5	4.5	Deciduous	
1306	TRIE	1.29	1.5	1.5	4.5	Deciduous	
1307	TRIE	1.30	1.5	1.5	4.5	Deciduous	
1308	TRIE	1.31	1.5	1.5	4.5	Deciduous	
1309	TRIE	1.32	1.5	1.5	4.5	Deciduous	
1310	TRIE	1.33	1.5	1.5	4.5	Deciduous	
1311	TRIE	1.34	1.5	1.5	4.5	Deciduous	
1312	TRIE	1.35	1.5	1.5	4.5	Deciduous	
1313	TRIE	1.36	1.5	1.5	4.5	Deciduous	
1314	TRIE	1.37	1.5	1.5	4.5	Deciduous	
1315	TRIE	1.38	1.5	1.5	4.5	Deciduous	
1316	TRIE	1.39	1.5	1.5	4.5	Deciduous	
1317	TRIE	1.40	1.5	1.5	4.5	Deciduous	
1318	TRIE	1.41	1.5	1.5	4.5	Deciduous	
1319	TRIE	1.42	1.5	1.5	4.5	Deciduous	
1320	TRIE	1.43	1.5	1.5	4.5	Deciduous	
1321	TRIE	1.44	1.5	1.5	4.5	Deciduous	
1322	TRIE	1.45	1.5	1.5	4.5	Deciduous	
1323	TRIE	1.46	1.5	1.5	4.5	Deciduous	
1324	TRIE	1.47	1.5	1.5	4.5	Deciduous	
1325	TRIE	1.48	1.5	1.5	4.5	Deciduous	
1326	TRIE	1.49	1.5	1.5	4.5	Deciduous	
1327	TRIE	1.50	1.5	1.5	4.5	Deciduous	
1328	TRIE	1.51	1.5	1.5	4.5	Deciduous	
1329	TRIE	1.52	1.5	1.5	4.5	Deciduous	
1330	TRIE	1.53	1.5	1.5	4.5	Deciduous	
1331	TRIE	1.54	1.5	1.5	4.5	Deciduous	
1332	TRIE	1.55	1.5	1.5	4.5	Deciduous	
1333	TRIE	1.56	1.5	1.5	4.5	Deciduous	
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1336	TRIE	1.59	1.5	1.5	4.5	Deciduous	
1337	TRIE	1.60	1.5	1.5	4.5	Deciduous	
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1339	TRIE	1.62	1.5	1.5	4.5	Deciduous	
1340	TRIE	1.63	1.5	1.5	4.5	Deciduous	
1341	TRIE	1.64	1.5	1.5	4.5	Deciduous	
1342	TRIE	1.65	1.5	1.5	4.5	Deciduous	
1343	TRIE	1.66	1.5	1.5	4.5	Deciduous	
1344	TRIE	1.67	1.5	1.5	4.5	Deciduous	
1345	TRIE	1.68	1.5	1.5	4.5	Deciduous	
1346	TRIE	1.69	1.5	1.5	4.5	Deciduous	
1347	TRIE	1.70	1.5	1.5	4.5	Deciduous	
1348	TRIE	1.71	1.5	1.5	4.5	Deciduous	
1349	TRIE	1.72	1.5	1.5	4.5	Deciduous	
1350	TRIE	1.73	1.5	1.5	4.5	Deciduous	
1351	TRIE	1.74	1.5	1.5	4.5	Deciduous	
1352	TRIE	1.75	1.5	1.5	4.5	Deciduous	
1353	TRIE	1.76	1.5	1.5	4.5	Deciduous	
1354	TRIE	1.77	1.5	1.5	4.5	Deciduous	
1355	TRIE	1.78	1.5	1.5	4.5	Deciduous	
1356	TRIE	1.79	1.5	1.5	4.5	Deciduous	
1357	TRIE	1.80	1.5	1.5	4.5	Deciduous	
1358	TRIE	1.81	1.5	1.5	4.5	Deciduous	
1359	TRIE	1.82	1.5	1.5	4.5	Deciduous	
1360	TRIE	1.83	1.				



City of  
Richmond



**Interim Road Network for  
RZ 16-732490 and RZ 16-738953**

Original Date: 12/12/17

Revision Date:

Note: Dimensions are in METRES



**RZ 16-738953**

**Attachment 4**

Address: 7320, 7340 & 7360 Ash Street

Applicant: Pietro Nardone

Planning Area(s): City Centre – McLennan South

	Existing	Proposed
Owner:	7320 Ash St: R. Tang 7340 Ash St: Y. Huang 7360 Ash St: Y. Zhang	To be determined
Site Size:	7320 Ash St: 1,770 m <sup>2</sup> (19,052 ft <sup>2</sup> ) 7340 Ash St: 1,770 m <sup>2</sup> (19,052 ft <sup>2</sup> ) 7360 Ash St: 1,770 m <sup>2</sup> (19,052 ft <sup>2</sup> )	7320 Ash St: 864 m <sup>2</sup> (9,300 ft <sup>2</sup> ) 7340 Ash St: 864 m <sup>2</sup> (9,300 ft <sup>2</sup> ) 7360 Ash St: 864 m <sup>2</sup> (9,300 ft <sup>2</sup> ) Lot 1: 440 m <sup>2</sup> (4,736 ft <sup>2</sup> ) Lot 2: 440 m <sup>2</sup> (4,736 ft <sup>2</sup> ) Lot 3: 440 m <sup>2</sup> (4,736 ft <sup>2</sup> ) Lot 4: 440 m <sup>2</sup> (4,736 ft <sup>2</sup> ) Lot 5: 440 m <sup>2</sup> (4,736 ft <sup>2</sup> ) Road dedication: 518 m <sup>2</sup> (5,576 ft <sup>2</sup> )
Land Uses:	Single-family residential	No change
OCP Designation:	Neighbourhood Residential	Complies
Area Plan Designation:	Residential, Historic Single-Family	Complies
Zoning:	Single Detached (RS1F)	Single Detached (ZS14) - South McLennan (City Centre) (east portion)
Number of Units:	3	8

Proposed ZS14 Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.55 for 464.5 m <sup>2</sup> of lot area + 0.3 for remainder	Max. 0.55 for 464.5 m <sup>2</sup> of lot area + 0.3 for remainder	None permitted
Buildable Floor Area:*	Max. 242 m <sup>2</sup> (2,604 ft <sup>2</sup> )	Max. 242 m <sup>2</sup> (2,604 ft <sup>2</sup> )	None permitted
Lot Coverage:	Building: Max. 45% Non-porous: Max. 70% Landscaping: Min. 25%	Building: Max. 45% Non-porous: Max. 70% Landscaping: Min. 25%	None
Lot Size:	Min. 320 m <sup>2</sup>	440 m <sup>2</sup>	None
Lot Dimensions:	Width: Min. 11.3 m Depth: Min. 24.0 m	Width: 11.5 m Depth: 38.2 m	None
Setbacks:	Front: Min. 6.0 m Rear: Min. 6.0 m Side: Min. 1.2 m	Front: Min. 6.0 m Rear: Min. 6.0 m Side: Min. 1.2 m	None
Height:	Max. 2 ½ storeys	Max. 2 ½ storeys	None

Other: Tree replacement compensation required for loss of significant trees.

\* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.

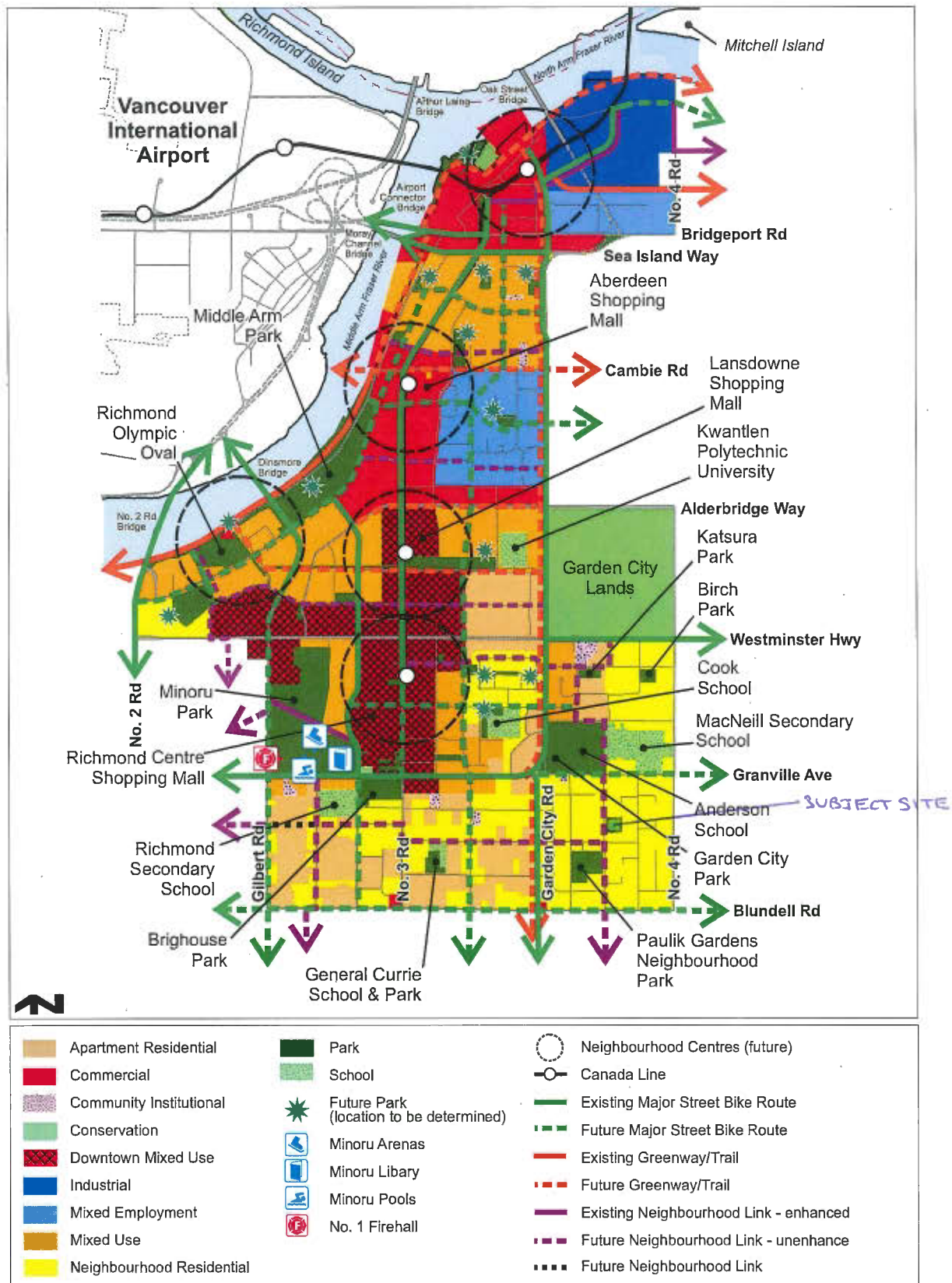
Proposed RS1/F Lots	Bylaw Requirement	Existing	Variance
Floor Area Ratio:	Max. 0.55 for 464.5 m <sup>2</sup> of lot area + 0.3 for remainder	0.43	None permitted
Buildable Floor Area:*	Max. 375.3 m <sup>2</sup>	369.3 m <sup>2</sup>	None permitted
Lot Coverage:	Building: Max. 45% Non-porous: Max. 70% Landscaping: Min. 30%	Building: 37% Non-porous: Max. 70% Landscaping: Min. 30%	None
Lot Size:	Min. 828.0 m <sup>2</sup>	864 m <sup>2</sup>	None
Lot Dimensions:	Width: Min. 18.0 m Depth: Min. 45.0 m	Width: 19.1 m Depth: 45.0 m	None
Setbacks:	Front: Min. 6.0 m Rear (60%): Min. 9.0 m Rear (40%): Min. 11.2 m Side: Min. 1.8	Front: 6.0 m Rear: 12.7 m Side: 1.8 m	None
Height:	Max. 2 ½ storeys	2 ½ storeys	None

Other: Tree replacement compensation required for loss of significant trees.

\* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



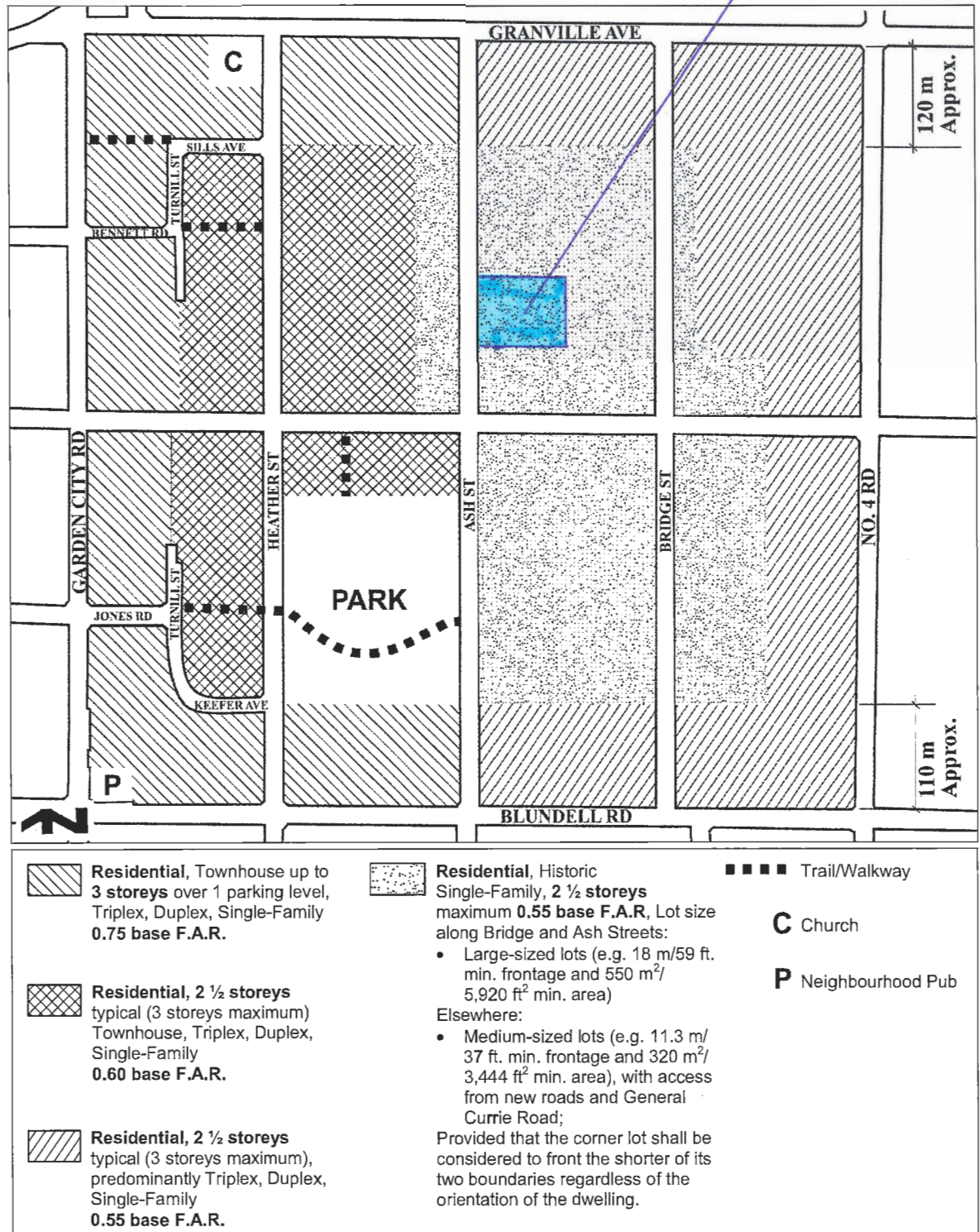
## 10. City Centre





City of Richmond

## Land Use Map

Bylaw 9106  
2015/09/14

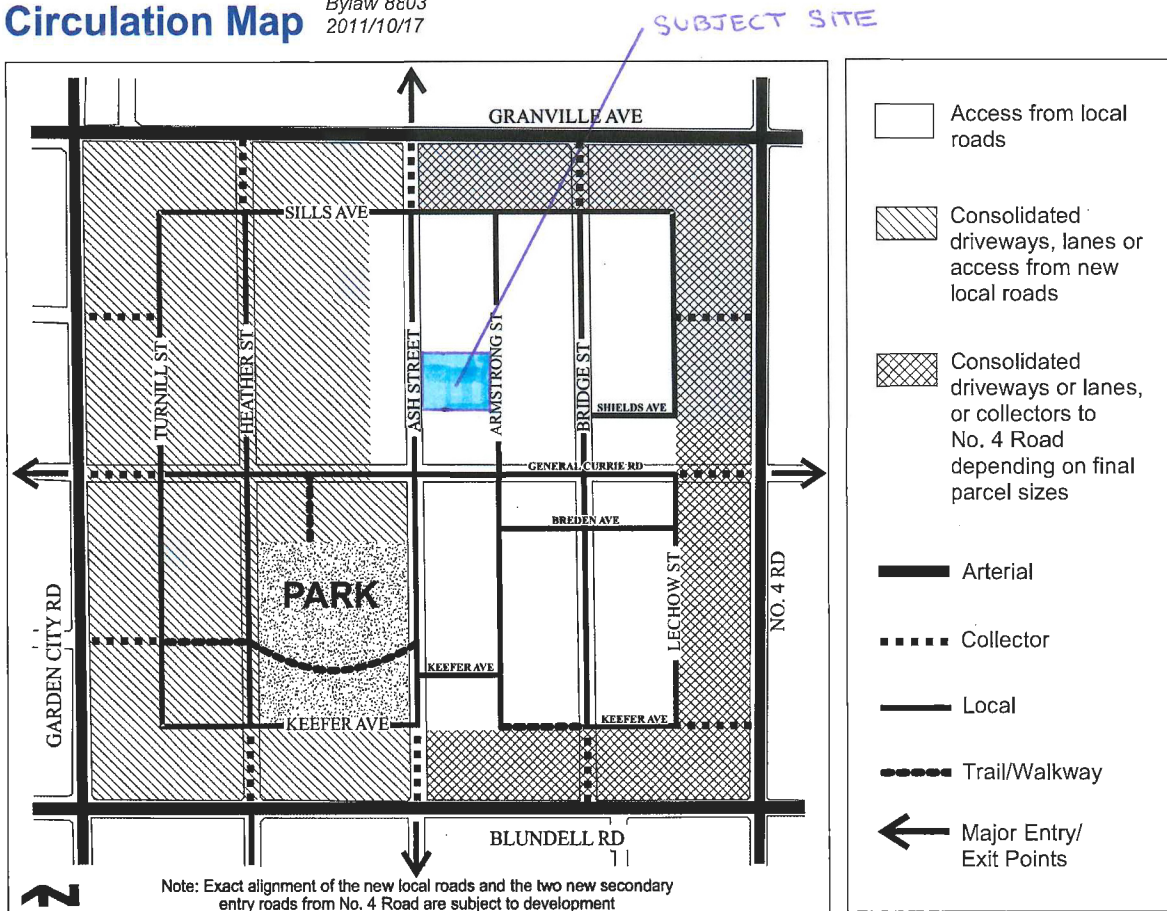
**Note:** Sills Avenue, Le Chow Street, Keefer Avenue, and Turnill Street are commonly referred to as the “ring road”.

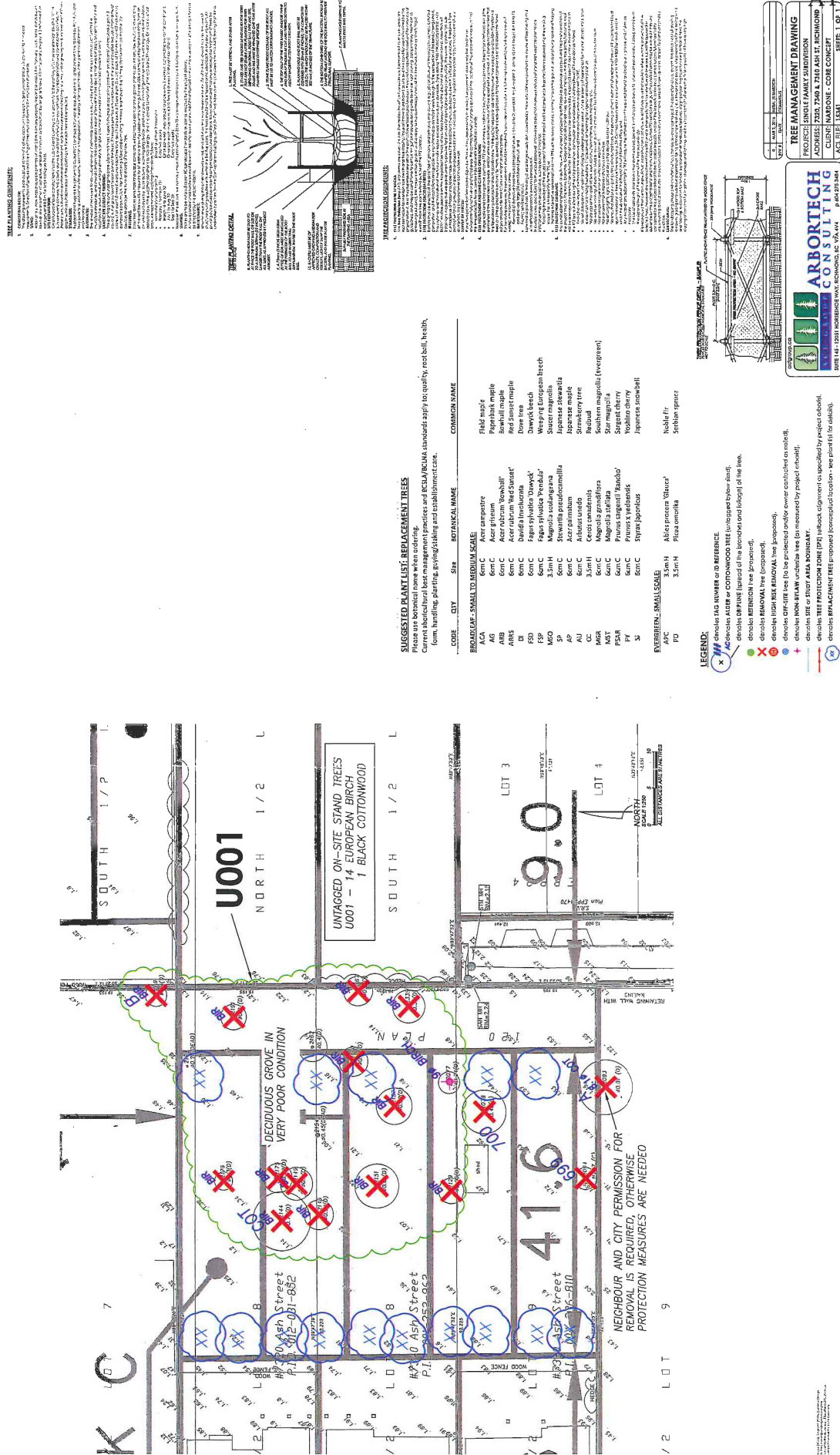


City of Richmond

- 1) Encourage cycling as a means of travel by calming automobile traffic within McLennan South and supporting the City Centre policies and programs for bicycles.

## Circulation Map

Bylaw 8803  
2011/10/17





# City of Richmond

## Rezoning Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 7320, 7340 & 7360 Ash Street

**File No.:** RZ 16-738953

**Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9784, the developer is required to complete the following:**

1. Road dedication measuring 9.0 m wide along the entire east property lines of 7320, 7340, 7360 Ash Street. The applicant is responsible for securing 50% of the required 9.0 m wide road dedication on the east property line of 7280 Ash Street.
2. Submission of a Landscape Security in the amount of \$7,500 (\$500/tree) to ensure that a total of three replacement trees (one located within 6.0 m of the front lot line) are planted and maintained on proposed lot 1-5 (for a total of 15 trees); with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree
6	9 cm
3	10 cm
6	11 cm

or

Minimum Height of Coniferous Replacement Tree
5 m
5.5 m
6 m

3. City acceptance of the developer's offer to voluntarily contribute \$4,500 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
4. Registration of a flood indemnity covenant on Title.
5. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on all lots, to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
6. Registration of a legal agreement on Title to ensure prior to final building inspection granting occupancy all required off-site works (from Sills Avenue to General Currie) are completed.
7. Submission of a functional road plan for the interim and ultimate conditions of Armstrong Street, to the satisfaction of the Director of Transportation.
8. Enter into a Servicing Agreement\* for the design and construction of road, engineering infrastructure and frontage improvements, including (but may not be limited to) the requirements for RZ 16-732490 and the following:

*Water Works:*

- Using the OCP Model, there is 352 L/s of water available at a 20 psi residual at the Ash Street frontage, and 274 L/s of water available at a 20 psi residual at the Armstrong Street frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
  - Retain the existing 25 mm water service connections along the Ash Street frontage.
  - Install approximately 200 m of new 200 mm water main in the extension of Armstrong Street from Sills Avenue to tie in to the existing water main fronting 7368 Armstrong Street, complete with fire hydrants to meet City spacing requirements.
  - Install 5 new water service connections, complete with meters and meter boxes, off of the proposed water main in the extension of Armstrong Street.
- At Developer's cost, the City is to:
  - Perform all tie-ins of the proposed works to existing City infrastructure.

*Storm Sewer Works:*

- The Developer is required to:
  - Cut, cap, and remove:
    - The two northernmost service connections and inspection chambers along the frontage of 7340 Ash Street.
    - The southernmost service connection and inspection chamber along the frontage of 7320 Ash Street.
  - Check the existing storm service connection at the adjoining property lines of 7360 and 7340 Ash Street and confirm the material, capacity, and condition of the inspection chamber and pipes via video inspection. If deemed acceptable by the City, the existing service connections may be retained. In the case that the service connections are not in a condition to be re-used, the Developer shall cut, cap, and remove, at main, the existing service connection and inspection chamber, and install a new service connection, complete with inspection chamber and dual service leads.
  - Check the existing storm service connections at the adjoining property lines of 7320 and 7280 Ash Street and confirm the material, capacity, and condition of the inspection chambers and pipes via video inspection. If deemed acceptable by the City, the existing inspection chamber shall be relocated into the Ash Street right-of-way and the service leads reconnected. In the case that the service connections are not in a condition to be re-used, the developer shall cut, cap, and remove the existing storm service connection and inspection chamber, and then install a new service connection, complete with inspection chamber and a new service lead to 7320 Ash Street, and then reconnect the existing service lead to 7280 Ash Street to the newly installed inspection chamber.
  - Cut and cap the existing storm service lead, at inspection chamber, on the south west corner of 7360 Ash Street.
  - Install approximately 200 m of new 600 mm storm sewer in the extension of Armstrong Street from the existing storm sewer in Sills Avenue to tie in to the existing storm sewer fronting 7368 Armstrong Street.
  - Install 5 new storm service connections, complete with inspection chambers, off of the proposed storm main in the extension of Armstrong Street. Where possible, a single service connection and inspection chamber with dual service leads may be installed at the adjoining property line of two lots.
  - Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
- At Developer's cost, the City is to:
  - Perform all tie-ins of the proposed works to existing City infrastructure.

*Sanitary Sewer Works:*

- The Developer is required to:
  - Retain the existing sanitary service connection serving 7340 Ash Street.
  - Cut, cap, and remove, at junction of the two existing service leads, the existing service connections and inspection chambers serving 7320 and 7360 Ash Street. The existing service connections and inspection chambers serving 7280 and 7380 Ash Street are to remain.
  - Install two new service connections, complete with inspection chambers, to serve 7360 and 7320 Ash Street.
  - Install approximately 200 m of new 200 mm sanitary sewer in the extension of Armstrong Street from the existing sanitary sewer in Sills Avenue to tie in to the existing sanitary sewer fronting 7368 Armstrong Street.
  - Install 5 new sanitary service connections, complete with inspection chambers, off of the proposed sanitary main along the extension of Armstrong Street frontage. Where possible, a single service connection and inspection chamber with dual service leads may be installed at the adjoining property line of two lots.
- At Developer's cost, the City is to:
  - Perform all tie-ins of the proposed works to existing City infrastructure.

*Frontage Improvements:*

- The Developer is required to:
  - Provide a 9.0m-wide road dedication along the entire east property line of the development site, along the entire east property line of 7280 Ash Street, and along the entire west property lines of 7251, 7231, 7211, 7191, 7171, and 7151 Bridge Street, and construct a functional road complete with asphalt pavement, sidewalk, boulevard, curb and gutter, lighting, and drainage, connecting Sills Avenue to the north to the developed portion of Armstrong Street to the

- Coordinate with BC Hydro, Telus, and other private communication service providers for undergrounding of overhead service lines along the Ash Street frontage.
- Coordinate with BC Hydro, Telus and other private communication service providers
  - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
  - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
  - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc.). These should be located onsite, as described below.
  - To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the Servicing Agreement (SA) drawings, and registered prior to SA design approval:
    - BC Hydro PMT – 4.0 x 5.0 m
    - BC Hydro LPT – 3.5 x 3.5 m
    - Street light kiosk – 1.5 x 1.5 m
    - Traffic signal kiosk – 2.0 x 1.5 m
    - Traffic signal UPS – 1.0 x 1.0 m
    - Shaw cable kiosk – 1.0 x 1.0 m
    - Telus FDH cabinet – 1.1 x 1.0 m
- Complete other frontage improvements as per Transportation's requirements, which include (but may not be limited to) the following:
  - Armstrong Street:
    - Minimum 9.0 m wide road dedication along the entire rear property lines for the extension of Armstrong Street.
    - Granting of an approximately 4.0 m by 6.0 m statutory right-of-way on the southernmost lot for the purposes of vehicle turnaround.
    - Submission of a functional road plan for the interim and ultimate conditions of Armstrong Street, to the satisfaction of the Director of Transportation. All interim works to be constructed, including interim concrete curbs, required to delineate a smooth road alignment and vehicular wheel path movement for northbound and southbound traffic around the undeveloped lots. This will also require interim frontage works and driveway locations. Through the ultimate design, the reconstruction and reinstatement of all final works will be required.
    - Ultimate condition to provide 11.2 m pavement width, minimum 0.15 m wide concrete curb and gutter, minimum 1.5 m wide landscaped/treed boulevard, and a minimum 1.5 m wide concrete sidewalk at the property line.
    - The ultimate curb alignment is to match that set by redevelopment south of General Currie Road.
    - Frontage works to extend from Sills Avenue to General Currie Road.
  - Ash Street:
    - Road widening, minimum 0.15 m wide concrete curb and gutter, minimum 1.5 m wide landscaped/treed boulevard behind the curb with "Zed" street lights, and a minimum 1.75 m wide concrete sidewalk at the property line; to taper back to existing condition to the north and south of the subject site.
    - Refer to curb alignment works constructed by SA 06-332928 and SA 08-444861 in order to set alignment of Ash Street transition.
    - All utility pole or other infrastructure conflicts to be relocated at Developer's cost.
- Driveway design and locations to conform to Residential Lot (Vehicular) Access Regulation Bylaw No. 7222. Interim and ultimate driveway design and locations required.

Initial: \_\_\_\_\_



- Prior to Building Permit issuance, submission of a Construction Parking and Traffic Management Plan to the Transportation Department.
- Provide a cash-in-lieu contribution to the City, for all of the ultimate condition off-site works to be deferred to accommodate functional two-way traffic in the interim condition, for the City to complete the construction of the ultimate condition when the adjacent lots develop. The cash-in-lieu contribution amount will be determined through the Servicing Agreement\* design review process and will be based on the submission of a functional plan for the interim and ultimate conditions of Armstrong Street, to the satisfaction of the Director of Transportation.

*General Items:*

a. The Developer is required to:

- Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to a Demolition Permit\* Issuance, the developer is required to:**

1. Prior to removal of the neighbouring trees, the applicant must obtain written permission from the adjacent property owner with whom the trees are shared and obtain a valid tree removal permit. If permission to remove the trees is not granted, the trees should be protected as per City of Richmond Tree Protection Information Bulletin TREE-03.

**Prior to Subdivision\* Approval, the developer is required to complete the following:**

1. Payment of the current year's property taxes, Development Cost Charges, School Site Acquisition Charge, Address Assignment Fees, and the costs associated with the completion of the design and construction of engineering infrastructure and frontage improvements.

**Prior to Building Permit\* Issuance, the developer must complete the following requirements:**

2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading,

Initial: \_\_\_\_\_

ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy of file]

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Signed

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Date



**Richmond Zoning Bylaw 8500  
Amendment Bylaw 9784 (RZ 16-738953)  
7320, 7340 & 7360 Ash Street**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"SINGLE DETACHED (ZS14) – SOUTH MCLENNAN (CITY CENTRE)"**.

That area shown cross-hatched on "Schedule A attached to and forming part of Bylaw No. 9784".

2. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9784"**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

JAN 15 2018



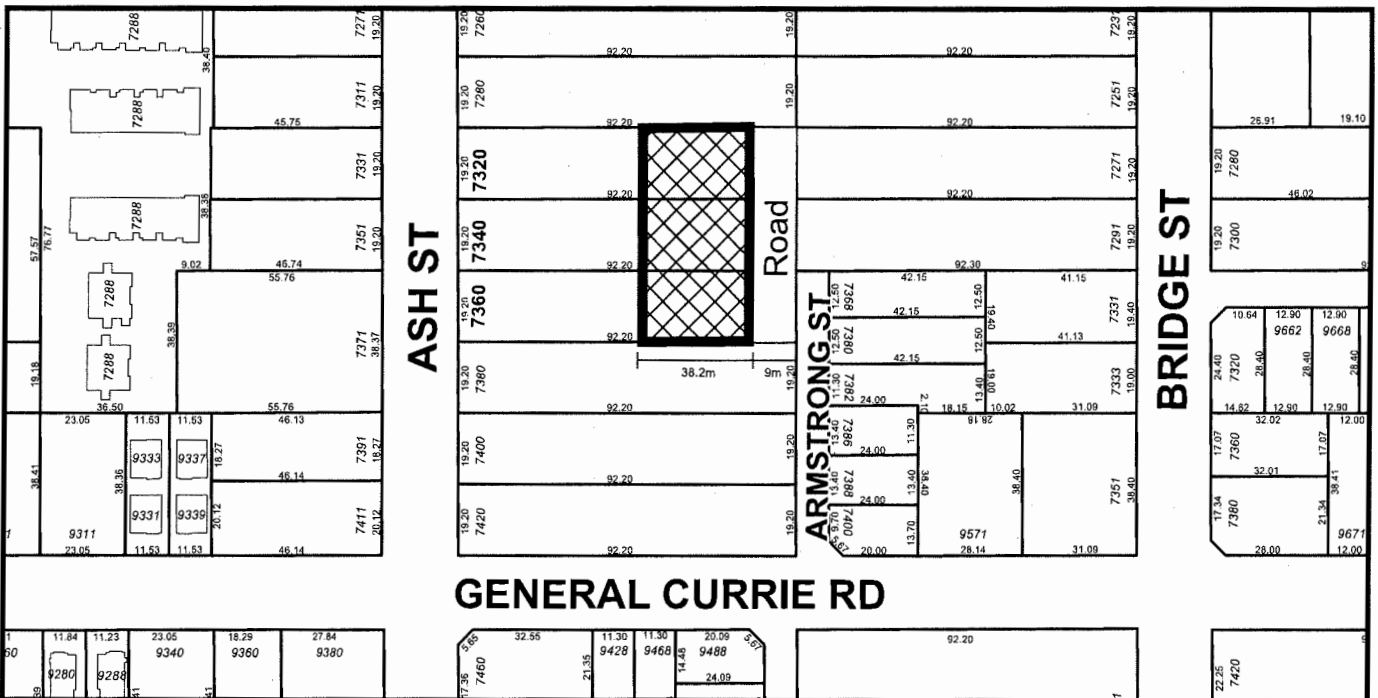
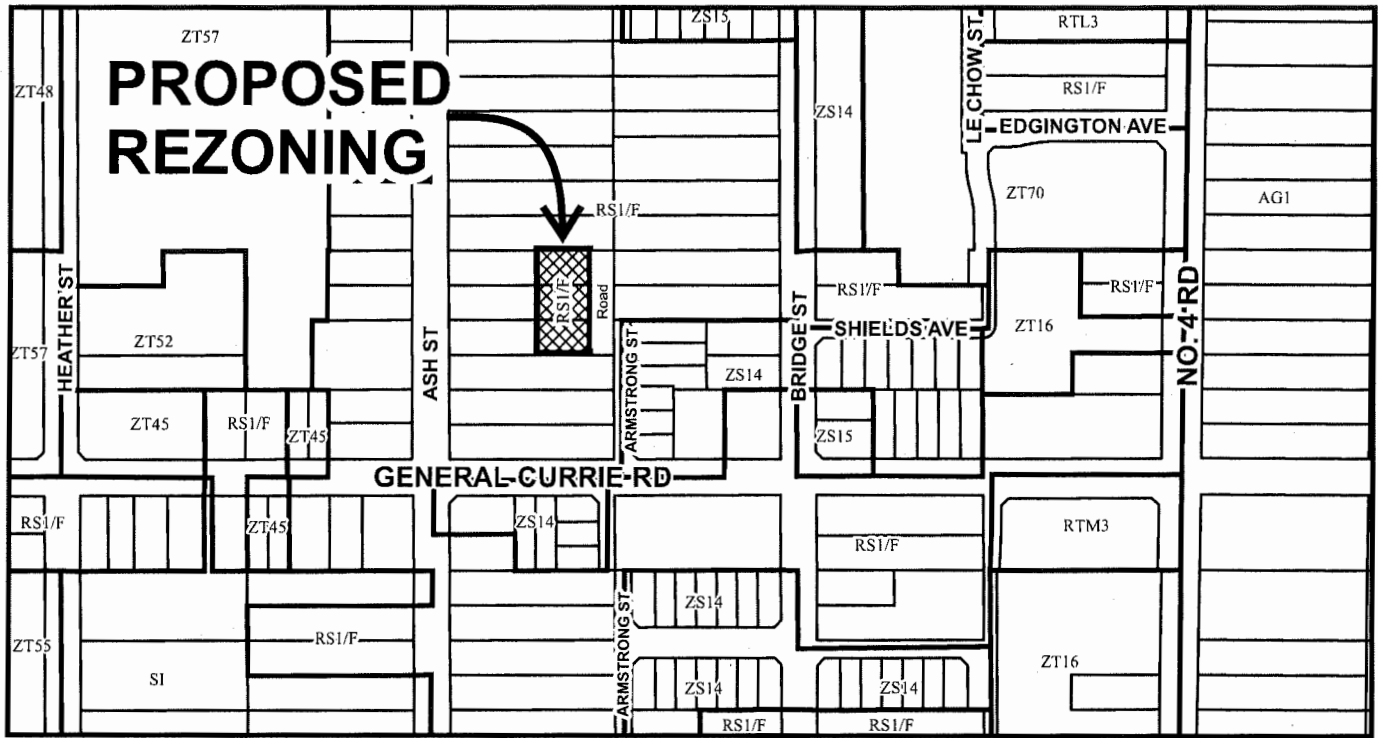
\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER





# City of Richmond



Schedule A attached to  
and forming part of  
Bylaw No. 9784

Original Date: 08/16/16

Revision Date: 12/12/17

Note: Dimensions are in METRES



# City of Richmond

## Memorandum City Clerk's Division

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**To:** Mayor and Councillors  
**From:** Claudia Jesson,  
Manager, Legislative Services  
**Date:** February 16, 2018  
**File:** No. 12-8060-20-009792;  
12-8060-20-009793  
**Re:** **Procedural Memorandum - Amendment to Bylaws 9792 and 9793 - Bylaws to Update the Amenity and Planning Contribution Rates Within the Official Community Plan and Area Plans**

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This memorandum advises Mayor and Council that prior to further consideration of Official Community Plan Bylaw 9000, Amendment Bylaw 9792 and Official Community Plan Bylaw 9000, Amendment Bylaw 9793, both bylaws will require an amendment to correct the start date for future adjustments to the contribution rates. The corrected Bylaws have been attached with the noted changes.

Accordingly, prior to Council Action on second and third readings of the above noted bylaws, Council will be requested to amend each bylaw as follows:

- 1. That Official Community Plan Bylaw 9000, Amendment Bylaw 9792 be amended to correct the start date of the future adjustments to the contribution rates from February 28, 2018 to February 28, 2019, wherever noted in the Bylaw.*
- 2. That Official Community Plan Bylaw 9000, Amendment Bylaw 9793 be amended to correct the start date of the future adjustments to the contribution rates from February 28, 2018 to February 28, 2019, wherever noted in the Bylaw.*

Once amended, Bylaws 9792 and 9793 may be given 2nd and 3rd Reading, as amended, and Final Adoption at the February 19, 2018 Public Hearing.

Claudia Jesson  
Manager, Legislative Services

cc: Wayne Craig, Director of Development  
Mark McMullen, Senior Coordinator – Major Projects

Attachment 1 Revised Bylaw 9792  
Attachment 2 Revised Bylaw 9793

DW/cj



**Richmond Official Community Plan Bylaw 9000  
Amendment Bylaw 9792  
(Update of Amenity & Planning Contributions with Inflation)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 9000 is amended by:
  - a) Deleting Section 3.6.2 - Broadmoor Neighbourhood Centre Policies, Objective 1, Policy m) Financing Community Amenities, in its entirety and replacing it with the following:

“m) Financing Community Amenities

    - The financing of community amenities (e.g., affordable housing, child care, community planning services, community beautification above and beyond the City’s standard servicing agreement requirements) is to be primarily funded by developers, through density bonusing, phased development agreements and other means;
    - Density Bonusing: Additional density above a base density of 0.5 FAR, may be allowed where a developer:
      - satisfies the applicable City Affordable Housing Strategy contribution requirements; and
      - provides, as per the Neighbourhood Service Centre Master Plan, a Broadmoor Amenity Contribution of \$25.47 per m<sup>2</sup> (\$2.37 per ft<sup>2</sup>) of the total net building floor area above 0.5 FAR to be allocated as follows:
        - for Child Care: \$12.70 per m<sup>2</sup> (\$1.18 per ft<sup>2</sup>);
        - for Community Beautification: \$9.79 per m<sup>2</sup> (\$0.91 per ft<sup>2</sup>); and
        - for Other Amenities: \$3.01 per m<sup>2</sup> (\$0.28 per ft<sup>2</sup>);
      - Phased Development Agreements and other mechanisms (e.g., voluntary contributions) may be used to obtain funds with Community Planning Contributions of \$3.01 per m<sup>2</sup> (\$0.28 per ft<sup>2</sup>) of the total net building floor area;
      - On February 28, 2018~~9~~, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the

preceding two calendar years by using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate for adjusting the above contribution rates, except that the Statistics Canada *Vancouver Consumer Price Index – All Items* inflation rate be used for adjusting the Community Planning Contribution rate; with revised rates published in a City Bulletin.”

- b) Deleting sub-section b) within Section 14.4.5D – Amenity Space in its entirety and replacing it with the following:

“• Contributions of cash in-lieu of providing indoor amenity space for multi-family developments under the Development Permit Guidelines, may be provided by an applicant/developer as an option as part of the Development Permit application process as set out below.

Number of Dwelling Units in a Multi-Family Project	Amount of Cash-In-Lieu Payment (exempt where the average unit size exceeds 148 m <sup>2</sup> )
1 - 3 units	None
4 - 19 units	\$1,600 per unit; plus
20 to 39 units	\$3,200 per unit; plus
40 unit & above	\$4,800 per unit for the remaining units.

- Cash in lieu funds are to be deposited in a Leisure Facilities Reserve Fund to be used for indoor public amenity space as identified by the Community Services Division and in alignment with Council priorities for facility and amenity needs for the local community and City-wide.
- On February 28, 2018<sup>89</sup>, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the preceding two calendar years by using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate; with revised rates published in a City Bulletin.”

This Bylaw may be cited as “**Richmond Official Community Plan Bylaw 9000, Amendment Bylaw 9792**”.

FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

ADOPTED

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_____
_____
_____

CITY OF RICHMOND
APPROVED by
APPROVED by Manager or Solicitor

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



**Richmond Official Community Plan Bylaw 7100  
Amendment Bylaw 9793  
(Update of Amenity & Planning Contributions with Inflation)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 7100 is amended:
  - a) At Schedule 2.4 - Steveston Area Plan, Section 4.0, Objective 1, by deleting Policy p) in its entirety and replacing it with the following:

“p) For those sites designated within the ‘Steveston Village Land Use Density and Building Height Map’ with a maximum possible density of 1.6 FAR, the base density of 1.2 FAR referenced in Policy n) may be increased up to 1.6 FAR provided that:

    - A contribution of \$608.05 per m<sup>2</sup> (\$56.49 per ft<sup>2</sup>) for the net building floor area in the density bonus from the 1.2 FAR base density up to the 1.6 FAR maximum density is provided;
    - That this contribution is to be allocated for funding of the Steveston Village Heritage Conservation Grant (SVHCG) Program;
    - That such SVHCG Program contributions may be reduced by the amount of any cash-in-lieu contributions received under the City’s Affordable Housing Strategy for the same development; and
    - That on February 28, 2018, and then by February 28 every two years thereafter, the above SVHCG contribution rate is to be revised by adding the annual inflation for the preceding two calendar years using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate; with the revised rates published in a City Bulletin.”
  - b) At Schedule 2.10 – City Centre Area Plan, Section 4.1 Implementation Strategy, by deleting Policy u) in its entirety and replacing it with the following:

“u) Community Planning: The City may use the negotiation of phased development agreements to obtain funds to assist with its community planning program contributions of \$3.01 per m<sup>2</sup> (\$0.28 per ft<sup>2</sup>) of total net building floor area. On February 28, 2018, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the preceding two calendar years using the Statistics Canada *Vancouver Consumer*

*Price Index* – *All Items* inflation rate; with revised rates published in a City Bulletin.“

- c) At Schedule 2.11A – West Cambie Area Plan, Section 9.3.2 Alexandra Development Framework, Objective 3, by deleting Policies f), g) and h) in their entirety and replacing them with the following:

“Developer Contributions – Public Amenities

f) For rezoning applications for sites depicted on the ‘Alexandra Neighbourhood Land Use Map’, the City will accept developer/applicant contributions as follows:

- Affordable Housing: With the exception of the ‘Mixed Use Employment Residential Area’ designation, where a development does not build affordable housing, contributions of \$65.55 per m<sup>2</sup> (\$6.09 per ft<sup>2</sup>) to Affordable Housing Statutory Reserve Fund will be accepted (and no density bonus for affordable will be granted).
- Child Care: The City will accept a developer’s contribution of \$7.75 per m<sup>2</sup> (\$0.72 per ft<sup>2</sup>) on the proposed total net floor area (based on the proposed FAR) to assist in paying for child care facilities.
- City Beautification: The City will accept a developer’s contribution of \$7.75 per m<sup>2</sup> (\$0.72 per ft<sup>2</sup>) on the proposed total net floor area (based on the proposed FAR) to assist in paying for City beautification works (e.g. “High Street’ streetscaping; public realm, walkways, plazas, feature landscaping).
- Community and Engineering Planning Costs: The City will accept a developer’s contribution of \$0.86 per m<sup>2</sup> (\$0.08 per ft<sup>2</sup>) on the total net floor area (based on the proposed FAR) to assist in paying for community planning and engineering costs to plan community land use, services and infrastructure.”

- g) On February 28, 2018<sup>89</sup>, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the preceding two calendar years using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate for adjusting the above Affordable Housing, Child Care and City Beautification contribution rates; and the Statistics Canada *Vancouver Consumer Price Index – All Items* inflation rate for adjusting the Community and Engineering Planning Costs contributions rates; with revised rates published in a City Bulletin.

- h) A minimum of 5% of the total residential building area is required in the form of built Affordable Housing units, with an additional 7.5% of the residential floor area being provided in the form of built modest market rental units, and 2.5% of the residential floor area is provided as market rental units that are secured in perpetuity as rental units, as per the West Cambie Alexandra Neighbourhood Mixed Use Employment-Residential Use Density Bonus, Community Amenity Contribution Modest Rental Housing Rates Policy.

Cash-in-lieu contributions are not acceptable and the affordable housing contributions in Policy f) above will not apply to the Mixed Use Employment-Residential designated lands.

2. This Bylaw may be cited as **“Richmond Official Community Plan Bylaw 7100, Amendment Bylaw 9793”**.

FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

ADOPTED

_____	CITY OF RICHMOND
_____	
_____	APPROVED by
_____	APPROVED by Manager or Solicitor
_____	

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER





**To:** Planning Committee  
**From:** Wayne Craig  
Director, Development

**Date:** January 10, 2018  
**File:** 08-4000-01/2017-Vol 01

**Re: Updating Amenity and Planning Contribution Rates Within the Official  
Community Plan and Area Plans**

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**Staff Recommendation**

1. That Official Community Plan Bylaw 9000, Amendment Bylaw 9792, to amend:
  - a) Section 3.6.2 to adjust for past inflation and include a future inflation provision for the existing amenity and community planning contribution rates, and remove the local public art contribution rate within the Broadmoor Area Plan; and
  - b) Section 14.4.5D of the Development Permit Guidelines to adjust for past inflation and include a future inflation provision for the existing cash-in-lieu of indoor amenity contribution rates;be introduced and given first reading.
2. That Official Community Plan Bylaw 7100, Amendment Bylaw 9793, to amend:
  - a) Section 4.0 of Schedule 2.4 - Steveston Area Plan to adjust for past inflation and include a future inflation provision for the existing Steveston Village Conservation Strategy and Implementation Program density bonus contribution rates;
  - b) Section 4.1 of Schedule 2.10 - City Centre Area Plan to adjust for past inflation and include a future inflation provision for the existing community planning contribution rates; and
  - c) Section 9.3.2 of Schedule 2.11A - West Cambie Area Plan to adjust for past inflation and include a future inflation provision for the existing affordable housing, childcare, city beautification and community planning contribution rates;be introduced and given first reading.

3. That Bylaw 9792 and Bylaw 9793, having been considered in conjunction with:

- a) The City's Financial Plan and Capital Program; and
- b) The Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;

are hereby found to be consistent with said program and plans, in accordance with Section 477(3)(a) of the Local Government Act.

4. That Bylaw 9792 and Bylaw 9793, having been considered in accordance with Official Community Plan Bylaw Preparation Consultation Policy 5043, are hereby found not to require further consultation.

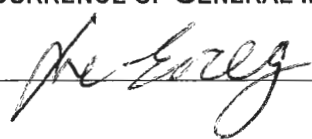

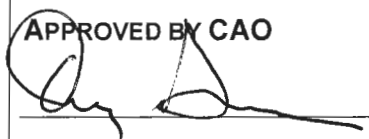
5. That, prior to consideration of Bylaw 9792 and Bylaw 9793 at a Public Hearing, the Urban Development Institute (UDI), Small Home Builders Group, and Greater Vancouver Home Builders' Association, be sent letters, with the proposed bylaws, inviting comments to be received up until the date of the Public Hearing.

6. That at such time that Bylaw 9792 and Bylaw 9793 may be adopted by Council, in-stream rezoning applications be grandfathered as follows:

- a) Rezoning bylaws that have received third reading prior to the date of Council adoption of Bylaws 9792 and 9793 would be subject to the former contribution rates; and
- b) In-stream rezoning applications that have not received third reading prior to the date of Council adoption of Bylaws 9792 and 9793 will be subject to the former contribution rates if the rezoning bylaw is granted first reading by Council within one year of Council adoption of Bylaws 9792 and 9793.

  
Wayne Craig  
Director, Development

MM:rg

REPORT CONCURRENCE		
<b>ROUTED TO:</b> Arts, Culture & Heritage Affordable Housing Recreation Law	<b>CONCURRENCE</b> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	<b>CONCURRENCE OF GENERAL MANAGER</b> 
<b>REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE</b>	<b>INITIALS:</b> 	<b>APPROVED BY CAO</b> 

## Staff Report

### Origin

Since 2003, the City has adopted amendments to the Official Community Plan (OCP) and Area Plans, and adopted Council Policies that include amenity contribution rates that are in place today. As time has passed, most of these rates have not been increased with inflation, and thus, they have effectively been reduced in real terms. Staff have reviewed the inflation data from Statistics Canada and propose to amend the rates in order to:

- Update the existing contribution rates to include past inflation; and
- Include an administrative mechanism to adjust these rates for future inflation increases.

This contribution rate review involves amending the OCP to adjust the rates to catch up for past inflation increases and automatically include future inflation. This is a housekeeping review does not involve an analysis of the specific changes to the market price of land or newly planned buildings and facilities.

This report supports Council's 2014-2018 Term Goal #3 A Well-Planned Community:

*Adhere to effective planning and growth management practices to maintain and enhance the livability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.*

### Related Policies & Studies

In summer 2017, Council adopted OCP Amendment Bylaws 9625 and 9626. These bylaws incorporated the existing contribution rates from *Council Policy 5041: Cash in Lieu of Indoor Amenity Space*, *Council Policy 5044: West Cambie – Alexandra Interim Amenity Guidelines* and the *Steveston Village Heritage Conservation Strategy* respectively into the Official Community Plan, West Cambie Area Plan and Steveston Area Plan.

Thus, all existing contribution rates which are proposed to be updated are included in the following plans.

#### *City-Wide Official Community Plan Bylaw 9000*

- *Broadmoor Area Plan*: Contribution rates set in 2010 for childcare, community beautification, affordable housing, public art and community planning collected with rezoning applications.
- *Development Permit Guidelines*: Contribution rates for developers to provide cash-in-lieu of providing indoor amenity space within developments required for multi-family Development Permit applications. The rates are those previously included *Council Policy 5041: Cash in Lieu of Indoor Amenity Space* adopted in 2003.

*Area Plans Within Official Community Plan Bylaw 7100*

- *Schedule 2.4 - Steveston Area Plan:* Heritage conservation contribution rates for density bonuses provided for rezoning applications in Steveston Village. The contribution rate was set in the *Steveston Village Heritage Conservation Strategy* in 2009.
- *Schedule 2.10 - City Centre Area Plan:* Includes community planning contribution rates set in 2009.
- *Schedule 2.11A – West Cambie Area Plan:* The contribution rates for affordable housing, childcare, city beautification, and community engineering and the planning contribution rate for rezoning applications. The rates were previously included in *Council Policy 5044: West Cambie – Alexandra Interim Amenity Guidelines* set in 2006.

**Analysis**Approach to Adding Inflation to Amenity Contributions

There are two (2) basic types of inflation provided by Statistics Canada that can be considered for increasing contribution rates as follows:

- The *Vancouver Consumer Price Index – All Items (CPI)* which increased by 35.3% from 1996 to 2016 inclusive (21 years). The CPI increases at a relatively consistent rate each year as it is based on a broad basket of goods and services such as planning studies. The typical rate increase is between 1.0 to 2.5%. For example, City of Surrey staff uses the *CPI* to adjust their density bonus contribution rates annually in accordance set in policies within their Neighbourhood Concept Plans (NCPs) and Surrey Zoning Bylaw.
- The *Vancouver Construction Cost - Institutional Index (CCI)* which increased by 81.2% from 1996 to 2016 inclusive (21 years). The *CCI* is adjusted upwards and occasionally downwards from year to year as it is linked to more variable construction costs. For example, the City of Vancouver uses the *CCI* to adjust their Development Cost Levies (DCLs) annually with Council review.

Proposed Approach

The proposed approach to updating the contribution rates involves the following:

- Applying the *Vancouver Construction Cost– Institutional Index (CCI)* to contribution rates for built City amenities and the *Vancouver Consumer Price Index (CPI)* for contribution rates for City planning studies.
- Adding the *CCI* and *CPI* retroactively to the existing contribution rates to bring the rates up-to-date until December 31, 2016 (the latest annual rates as published in February, 2017).
- Adjusting the contribution rates every two (2) years in the future, starting with the 2017 and 2018 inflation (when the 2018 rates are published in February, 2019).

Specifically, the contribution rates are proposed to be revised as follows:

- The Cash-In-lieu of Amenity Space Policy and Broadmoor Plan rates within the OCP, and rates in the Steveston Area Plan and West Cambie Area Plan are proposed to be updated by:
  - Using the *CCI* to increase the rates from the year after being set to December 31, 2016.
  - Providing for automatic increases starting on February 28, 2019 (which will include the 2017 and 2018 increases as noted above).
- The community planning contribution rates within the City Centre Area Plan, West Cambie Area Plan and Broadmoor (within the OCP) are proposed to be updated by:
  - Using the *CPI* to increase the rates from the year after it being set to December 31, 2016.
  - To providing for automatic increases starting on February 28, 2019 (which will include the 2017 and 2018 rate increases as noted above).

The existing and proposed contribution rates are included within Table 1 below. It should be noted that past inflation increases vary based on the year that the rate was originally set.

Table 1: Existing and Proposed Contribution Rates				
Policy Document (Year Rate Established)	Specific Contributions	Existing Rate	Recommended (Increased by CCI)	Recommended (Increased by CPI)
<b>Within OCP: Bylaw 9000</b>				
1. Broadmoor (2010)	General Amenity	\$2.00/sf	\$2.37/sf (18.3% Incr.)	
	Community Planning Contribution	\$0.25/sf		\$0.27/sf (8.4% Incr.)
2. Council Policy 5041: Cash In Lieu Of Indoor Amenity Space (2003)	1 <sup>st</sup> to 3 <sup>rd</sup> Unit 4 <sup>th</sup> to 19 <sup>th</sup> Unit 20 <sup>th</sup> to 39 <sup>th</sup> Unit 40 <sup>th</sup> to Max. Unit	None \$1,000/unit \$2,000/unit \$3,000/unit	None \$1,600/unit \$3,200/unit \$4,800/unit (60.0% Incr.)	
<b>Within Area Plans: Bylaw 7100</b>				
1. City Centre (2009)	Community Planning Contribution	\$0.25/sf		\$0.28/sf (10.4% Incr.)
2. West Cambie Area Plan - Alexandra (2006)	Affordable Housing Child Care Park, Pathway & Facility Dev.	\$5.10/sf \$0.60/sf \$0.60/sf	\$6.09/sf \$0.72 /sf \$0.72 /sf (19.5% Incr.)	
	Community Planning Contribution	\$0.07/sf		\$0.08 /sf (15.4% Incr.)
3. Steveston Area Plan (2009)	Heritage Conservation Strategy Contribution (Minus Affordable Housing Contribution)	\$47.00/sf	\$56.49 (20.2% Incr.)	

In summary, the proposed increases to the existing contribution rates established in different years will bring all rates up-to-date with inflation to December 31, 2016 (the latest annual rates as published in February, 2017)



Proposed OCP Bylaw Amendments*City-Wide OCP Amendment Bylaw 9000 (Bylaw 9792)*

This amendment bylaw will add past inflation as set out in Table 1 and include the future inflation clauses to the rates for the:

- Broadmoor Area Plan (Section 3.6.2)
- Cash-in-lieu of indoor amenity space rate in the Development Permit Guidelines (Section 14.4.5D).

This bylaw will also remove the Broadmoor public art contribution rate that has been replaced by the City-wide Public Art Program Policy rate.

*OCP Amendment Bylaw 7100 for Area Plans (Bylaw 9793)*

This amendment bylaw will add past inflation as set out in Table 1 and include future inflation clauses to the rates in the following:

- Steveston Area Plan (Schedule 2.4, Section 4.0).
- City Centre Area Plan (Schedule 2.10, Section 4.1).
- West Cambie Area Plan (Schedule 2.11A, Section 9.3.2).

Grandfathering of In-Stream Rezoning Applications

In-stream rezoning applications are recommended to be grandfathered as follows:

- Rezoning bylaws that have received third reading prior to the date of Council adoption of Bylaws 9792 and 9793 would be subject to the former contribution rates; and
- In-stream rezoning applications that have not received third reading prior to the date of Council adoption of Bylaws 9792 and 9793 will be subject to the former contribution rates if the rezoning bylaw is granted first reading by Council within one (1) year of Council adoption of the new contribution rates.

The updated applicable contribution rates would apply for rezoning applications received after the adoption of Bylaws 9792 and 9793.

**Consultation**

The following includes a summary of the consultation required for the proposed Official Community Plan Amendment Bylaws.

Stakeholder	Referral Comment (No Referral necessary)
BC Land Reserve Co.	No referral necessary.
Richmond School Board	No referral necessary.
The Board of the Greater Vancouver Regional District (GVRD)	No referral necessary, as the proposed amendments are consistent with the Regional Growth Strategy.
The Councils of adjacent Municipalities	No referral necessary as adjacent municipalities are not affected.
First Nations (e.g., Sto:lo, Tsawwassen, Musqueam)	No referral necessary.

TransLink	No referral necessary.
Port Authorities (Vancouver Port Authority and Steveston Harbour Authority)	No referral necessary.
Vancouver International Airport Authority (VIAA) (Federal Government Agency)	No referral necessary.
Richmond Coastal Health Authority	No referral necessary.
Stakeholder	Referral Comment (No Referral necessary)
Community Groups, Industry Groups and Neighbours	Referral to the Urban Development Institute, Greater Vancouver Home Builders' Association and the Small Builders' Group for comment.
All relevant Federal and Provincial Government Agencies	No referral necessary.

Prior to consideration of the proposed OCP Bylaw Amendments at the Public Hearing, the following groups are proposed to be consulted:

- Urban Development Institute (UDI)
- Small Home Builders Group
- Greater Vancouver Home Builders' Association

This consultation would entail referring the proposed OCP bylaw amendments and the Staff Report to the above groups with an invitation to provide comments up until the date of the Public Hearing.

Feedback received from these groups will be presented at the Public Hearing.

Richmond Official Community Plan Bylaw 9000, Amendment Bylaw 9792 and Richmond OCP Bylaw 7100, Amendment Bylaw 9793, having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, are hereby found to not require further consultation.

The public will have an opportunity to comment further on all of the proposed amendments at the Public Hearing.

### **School District**

The proposed bylaws were not referred to School District No. 38 (Richmond) because they do not alter land use designations, and do not change the planned and possible number of multiple family housing units. According to OCP Bylaw Preparation Consultation Policy 5043; which was adopted by Council and agreed to by the School District, residential developments involving OCP amendments which generate less than 50 school aged children do not need to be referred to the School District (e.g., typically around 295 multiple family housing units).

### **Financial Impact**

The proposed OCP Amendment Bylaws will better address inflation by increasing existing developer contribution rates consistent with inflation that has occurred since these rates were established between 2003 and 2010, and provide automatic future inflation adjustments as discussed above.

## **Conclusion**

The inclusion of past inflation to the City's existing amenity and planning contribution rates will bring contributions more in line with the City's increased costs of constructing public amenities and undertaking planning studies. The proposed administrative provisions to include automatic inflation adjustments every two (2) years based on Statistics Canada inflation data will further ensure the amenity contribution rates are kept up to date with inflation in the future.

It is recommended that Official Community Plan Bylaw 9000, Amendment Bylaw 9792, and Official Community Plan Bylaw 7100, Amendment Bylaw 9793 be introduced and given first reading.



Mark McMullen  
Senior Coordinator - Major Projects

MM:rg





**Richmond Official Community Plan Bylaw 9000  
Amendment Bylaw 9792  
(Update of Amenity & Planning Contributions with Inflation)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 9000 is amended by:
  - a) Deleting Section 3.6.2 - Broadmoor Neighbourhood Centre Policies, Objective 1, Policy m) Financing Community Amenities, in its entirety and replacing it with the following:

“m) Financing Community Amenities

    - The financing of community amenities (e.g., affordable housing, child care, community planning services, community beautification above and beyond the City’s standard servicing agreement requirements) is to be primarily funded by developers, through density bonusing, phased development agreements and other means;
    - Density Bonusing: Additional density above a base density of 0.5 FAR, may be allowed where a developer:
      - satisfies the applicable City Affordable Housing Strategy contribution requirements; and
      - provides, as per the Neighbourhood Service Centre Master Plan, a Broadmoor Amenity Contribution of \$25.47 per m<sup>2</sup> (\$2.37 per ft<sup>2</sup>) of the total net building floor area above 0.5 FAR to be allocated as follows:
        - for Child Care: \$12.70 per m<sup>2</sup> (\$1.18 per ft<sup>2</sup>);
        - for Community Beautification: \$9.79 per m<sup>2</sup> (\$0.91 per ft<sup>2</sup>); and
        - for Other Amenities: \$3.01 per m<sup>2</sup> (\$0.28 per ft<sup>2</sup>);
    - Phased Development Agreements and other mechanisms (e.g., voluntary contributions) may be used to obtain funds with Community Planning Contributions of \$3.01 per m<sup>2</sup> (\$0.28 per ft<sup>2</sup>) of the total net building floor area;
    - On February 28, 2018, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the

preceding two calendar years by using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate for adjusting the above contribution rates, except that the Statistics Canada *Vancouver Consumer Price Index – All Items* inflation rate be used for adjusting the Community Planning Contribution rate; with revised rates published in a City Bulletin.”

- b) Deleting sub-section b) within Section 14.4.5D – Amenity Space in its entirety and replacing it with the following:

- “• Contributions of cash in-lieu of providing indoor amenity space for multi-family developments under the Development Permit Guidelines, may be provided by an applicant/developer as an option as part of the Development Permit application process as set out below.

Number of Dwelling Units in a Multi-Family Project	Amount of Cash-In-Lieu Payment (exempt where the average unit size exceeds 148 m <sup>2</sup> )
1 - 3 units	None
4 -19 units	\$1,600 per unit; plus
20 to 39 units	\$3,200 per unit; plus
40 unit & above	\$4,800 per unit for the remaining units.

- Cash in lieu funds are to be deposited in a Leisure Facilities Reserve Fund to be used for indoor public amenity space as identified by the Community Services Division and in alignment with Council priorities for facility and amenity needs for the local community and City-wide.
- On February 28, 2018, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the preceding two calendar years by using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate; with revised rates published in a City Bulletin.”

This Bylaw may be cited as **“Richmond Official Community Plan Bylaw 9000, Amendment Bylaw 9792”**.

FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

ADOPTED

**JAN 29 2018**

CITY OF RICHMOND
APPROVED by
APPROVED by Manager or Solicitor

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



**Richmond Official Community Plan Bylaw 7100  
Amendment Bylaw 9793  
(Update of Amenity & Planning Contributions with Inflation)**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Official Community Plan Bylaw 7100 is amended:
  - a) At Schedule 2.4 - Steveston Area Plan, Section 4.0, Objective 1, by deleting Policy p) in its entirety and replacing it with the following:

“p) For those sites designated within the ‘Steveston Village Land Use Density and Building Height Map’ with a maximum possible density of 1.6 FAR, the base density of 1.2 FAR referenced in Policy n) may be increased up to 1.6 FAR provided that:

    - A contribution of \$608.05 per m<sup>2</sup> (\$56.49 per ft<sup>2</sup>) for the net building floor area in the density bonus from the 1.2 FAR base density up to the 1.6 FAR maximum density is provided;
    - That this contribution is to be allocated for funding of the Steveston Village Heritage Conservation Grant (SVHCG) Program;
    - That such SVHCG Program contributions may be reduced by the amount of any cash-in-lieu contributions received under the City’s Affordable Housing Strategy for the same development; and
    - That on February 28, 2018, and then by February 28 every two years thereafter, the above SVHCG contribution rate is to be revised by adding the annual inflation for the preceding two calendar years using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate; with the revised rates published in a City Bulletin.”
  - b) At Schedule 2.10 – City Centre Area Plan, Section 4.1 Implementation Strategy, by deleting Policy u) in its entirety and replacing it with the following:

“u) Community Planning: The City may use the negotiation of phased development agreements to obtain funds to assist with its community planning program contributions of \$3.01 per m<sup>2</sup> (\$0.28 per ft<sup>2</sup>) of total net building floor area. On February 28, 2018, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the preceding two calendar years using the Statistics Canada *Vancouver Consumer*

*Price Index – All Items* inflation rate; with revised rates published in a City Bulletin.”

- c) At Schedule 2.11A – West Cambie Area Plan, Section 9.3.2 Alexandra Development Framework, Objective 3, by deleting Policies f), g) and h) in their entirety and replacing them with the following:

“Developer Contributions – Public Amenities

- f) For rezoning applications for sites depicted on the ‘Alexandra Neighbourhood Land Use Map’, the City will accept developer/applicant contributions as follows:

- Affordable Housing: With the exception of the ‘Mixed Use Employment Residential Area’ designation, where a development does not build affordable housing, contributions of \$65.55 per m<sup>2</sup> (\$6.09 per ft<sup>2</sup>) to Affordable Housing Statutory Reserve Fund will be accepted (and no density bonus for affordable will be granted).
- Child Care: The City will accept a developer’s contribution of \$7.75 per m<sup>2</sup> (\$0.72 per ft<sup>2</sup>) on the proposed total net floor area (based on the proposed FAR) to assist in paying for child care facilities.
- City Beautification: The City will accept a developer’s contribution of \$7.75 per m<sup>2</sup> (\$0.72 per ft<sup>2</sup>) on the proposed total net floor area (based on the proposed FAR) to assist in paying for City beautification works (e.g. “High Street’ streetscaping; public realm, walkways, plazas, feature landscaping).
- Community and Engineering Planning Costs: The City will accept a developer’s contribution of \$0.86 per m<sup>2</sup> (\$0.08 per ft<sup>2</sup>) on the total net floor area (based on the proposed FAR) to assist in paying for community planning and engineering costs to plan community land use, services and infrastructure.”

- g) On February 28, 2018, and then by February 28 every two years thereafter, the above contribution rates are to be revised by adding the annual inflation for the preceding two calendar years using the Statistics Canada *Vancouver Construction Cost Index – Institutional* inflation rate for adjusting the above Affordable Housing, Child Care and City Beautification contribution rates; and the Statistics Canada *Vancouver Consumer Price Index – All Items* inflation rate for adjusting the Community and Engineering Planning Costs contributions rates; with revised rates published in a City Bulletin.

- h) A minimum of 5% of the total residential building area is required in the form of built Affordable Housing units, with an additional 7.5% of the residential floor area being provided in the form of built modest market rental units, and 2.5% of the residential floor area is provided as market rental units that are secured in perpetuity as rental units, as per the West Cambie Alexandra Neighbourhood Mixed Use Employment-Residential Use Density Bonus, Community Amenity Contribution Modest Rental Housing Rates Policy.

Cash-in-lieu contributions are not acceptable and the affordable housing contributions in Policy f) above will not apply to the Mixed Use Employment-Residential designated lands.

2. This Bylaw may be cited as **“Richmond Official Community Plan Bylaw 7100, Amendment Bylaw 9793”**.

FIRST READING

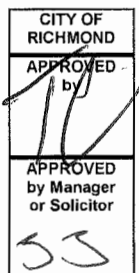
PUBLIC HEARING

SECOND READING

THIRD READING

ADOPTED

JAN 29 2018



\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



# City of Richmond

## Report to Committee Planning and Development Division

**To:** Planning Committee  
**From:** Wayne Craig  
Director, Development

**Date:** January 3, 2018

**File:** RZ 16-732490

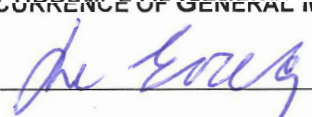
**Re:** Application by Pietro Nardone to Rezone the West Portions of 7151, 7171, 7191, 7211, 7231, and 7251 Bridge Street from the "Single Detached (RS1/F)" Zone to the "Single Detached (ZS14) - South McLennan (City Centre)" Zone; and to Rezone the East Portion of 7191 Bridge Street from the "Single Detached (RS1/F)" Zone to the "Single Detached (RS2/C)" Zone

### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9796, for the rezoning of the west portions of 7151, 7171, 7191, 7211, 7231, and 7251 Bridge Street from the "Single Detached (RS1/F)" zone to the "Single Detached (ZS14) - South McLennan (City Centre)" zone; and to rezone the east portion of 7191 Bridge Street from the "Single Detached (RS1/F)" zone to the "Single Detached (RS2/C)" zone, be introduced and given first reading.

*for.*   
Wayne Craig  
Director, Development  
(604-247-4625)

WC:jr  
Att. 9

REPORT CONCURRENCE		
<b>ROUTED TO:</b>	<b>CONCURRENCE</b>	<b>CONCURRENCE OF GENERAL MANAGER</b>
Affordable Housing	<input checked="" type="checkbox"/>	

## **Staff Report**

### **Origin**

Pietro Nardone has applied to the City of Richmond for permission to rezone the west portions of 7151, 7171, 7191, 7211, 7231, and 7251 Bridge Street from the "Single Detached (RS1/F)" zone to the "Single Detached (ZS14) - South McLennan (City Centre)" zone, and to rezone the east portion of 7191 Bridge Street from the "Single Detached (RS1/F)" zone to the "Single Detached (RS2/C)" zone, to permit the properties to be subdivided to create six lots fronting Bridge Street and 10 new lots fronting an extension to Armstrong Street (Attachment 1). Each property contains an existing single-detached dwelling fronting Bridge Street, which will be retained. The proposed subdivision plan is included in Attachment 2.

This application is being considered concurrently with a rezoning application at 7320, 7340, and 7360 Ash Street (RZ 16-738953), located southwest of the subject properties. The required road works associated with both applications will facilitate the connection of Armstrong Street from Sills Avenue to General Currie Road, as shown in Attachment 3. Each application is dependent on the other for construction of the through road to provide access to the proposed subdivided lots. The required road works will be secured through a single Servicing Agreement for both applications, which the applicant must enter in to prior to final adoption of the rezoning bylaw.

### **Findings of Fact**

A Development Application Data Sheet providing details about the development proposal is provided in Attachment 4.

### **Surrounding Development**

Development immediately surrounding the subject site is as follows:

- To the North: Single-family dwellings on lots zoned "Single Detached (ZS15) - South McLennan (City Centre)", fronting Sills Avenue.
- To the South: A single-family dwelling on a lot zoned "Single Detached (RS1/F)", fronting Bridge Street.
- To the East: A single lot zoned "Single Detached (ZS14) - South McLennan (City Centre)", that is subject to a subdivision application currently under staff review, which would create seven single-family lots fronting Bridge Street (SD 16-726640).
- To the West: Single-family dwellings on lots zoned "Single Detached (RS1/F)," fronting Ash Street.



## **Related Policies & Studies**

### **Official Community Plan/McLennan South Sub-Area Plan**

The Official Community Plan (OCP) land use designation for the subject site is “Neighbourhood Residential” (Attachment 5). The proposed rezoning and subdivision are consistent with this designation.

The City Centre Area – McLennan South Sub-Area Plan land use designation for the subject site is “Residential, Historic Single-Family” (Attachment 6). The Area Plan identifies minimum lot sizes on Bridge Street (min. 18.0 m frontage and 550 m<sup>2</sup> area) and on Armstrong Street (min. 11.3 m frontage and 320 m<sup>2</sup> area). The proposed rezoning and subdivision are generally consistent with the designation and policies contained in the Area Plan.

The McLennan South Sub-Area Plan identifies the development of a “ring road”, made up of Sills Avenue and Armstrong Street, connecting Sills Avenue to General Currie Road (Attachment 7). These new roads have been constructed incrementally through previous development applications, including portions of Sills Avenue to the north and Armstrong Street to the south. The proposed rezoning and subdivision are consistent with the identified road development, and will complete (along with RZ 16-738953) an interim north-south connecting Armstrong Street.

### **Floodplain Management Implementation Strategy**

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

### **Public Consultation**

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

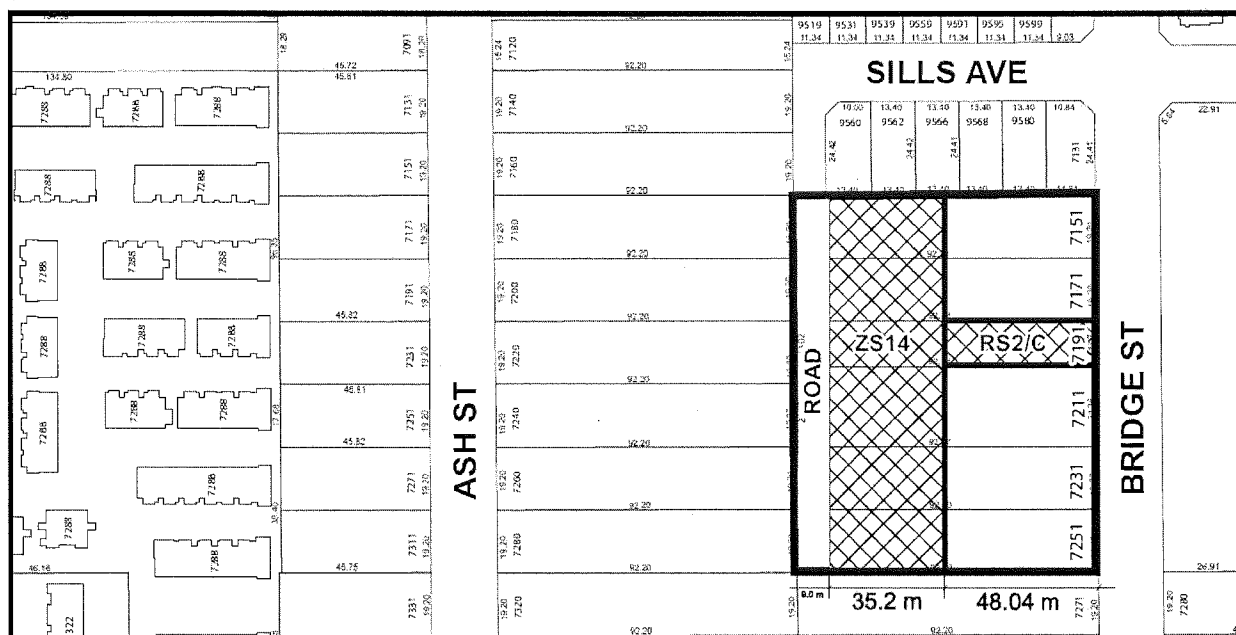
Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing; where any area resident or interested party will have an opportunity to comment. Public notification for the Public Hearing will be provided as per the *Local Government Act*.

### **Analysis**

#### **Proposed Rezoning and Subdivision**

The existing dwellings on each of the Bridge Street lots are proposed to be retained following subdivision. Based on the proposed subdivision, the applicant has provided a signed and sealed plan from a registered BC Land Surveyor confirming the existing buildings and resulting lots would be generally consistent with Richmond Zoning Bylaw 8500. Structures that do not comply with the regulations must be removed or relocated prior to approval of the subdivision.

Therefore, the applicant proposes to rezone the east portion of 7191 Bridge Street to the “Single Detached (RS2/C)” zone, to allow the proposed subdivision. The portions of each property proposed to be rezoned are shown below. This proposal is generally consistent with the McLennan South Sub-Area Plan objective of retaining the existing character of single-family homes along Bridge Street.



Vehicle access to the ten new lots is proposed from individual driveways from Armstrong Street. Vehicle access to the six retained lots is proposed to be maintained from Bridge Street.

Additionally, a 9.0 m wide road dedication along the entire rear property line of 7280 Ash Street (not included in either rezoning application) is required. The applicant has provided written confirmation from the property owner of 7280 Ash Street agreeing to this condition. The

required road and servicing works will be secured through a Servicing Agreement, which is required prior to final adoption of the rezoning bylaw.

Construction of Armstrong Street from Sills Avenue to General Currie Road is necessary to achieve functional vehicle circulation for two-way traffic and emergency access and egress. The required extension to Armstrong Street will be secured through the subject rezoning application and the proposed development to the south, at 7320/7340/7360 Ash Street (RZ 16-738953). Staff have determined that the Servicing Agreements for both applications should be combined, to ensure that the required road works are completed before construction of the new dwellings. Further, the applicant is required to enter into a legal agreement registered on Title of the proposed lots to ensure that all required off-site works (from Sills Avenue to General Currie Road) are completed prior to final Building Permit inspection granting occupancy.

### **Tree Retention and Replacement**

The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses 53 bylaw-sized trees on the subject properties, and one bylaw-sized tree on a neighbouring property.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- Nine trees on the development site (Tag # 185, 189, 190, 191, 192, 702, 709, 710, and 711) are in good condition and proposed to be retained. Provide tree protection fencing as per Tree Protection Bylaw No. 8057.
- 11 trees comprising a hedgerow on the development site (Tag # 184) at 7151 Bridge Street are in good condition and should be retained. Tree retention measures will be further evaluated through the Servicing Agreement design review.
- Four trees comprising a hedgerow on the development site (Tag # 701) are in fair condition. These trees should be retained and protected.
- One tree located on a neighbouring property (Tag # 714) is in fair condition. These trees should be retained and protected.
- Seven trees on the development site (Tag # 703, 704, 705, 706, 707, 708, and 713) are in poor condition, and conflict with the proposed new dwellings. These trees should be removed and replaced.
- 24 Birch trees (Tag # BIR) on the development site are infected with Bronze Birch Borer, in poor condition, and conflict with the proposed new dwellings. These trees should be removed and replaced.
- 14 Birch trees (Tag # BIR) located in the required road dedication are infected with Bronze Birch Borer and in poor condition. No compensation or replacement is required for removal of these trees, as construction of the road is an Area Plan requirement.
- Replacement trees should be specified at 2:1 ratio as per the Official Community Plan (OCP).

The City Parks Department has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- Two trees located on the shared property line with the City (Tag # 187 and 188) are in poor condition, conflict with the required street frontage upgrades, and should be removed.
- One tree located in the City-owned boulevard (Tag # 186) is in poor condition, conflicts with the required street frontage upgrades, and should be removed.
- Two trees in the City-owned boulevard (Tag # C3 and C4) are in good condition, but conflict with the required street frontage upgrades. These trees are to be relocated at developer's cost to a location chosen by Parks Department staff. The applicant must submit a survival security of \$2,600 (\$1,300/tree) prior to final adoption of the rezoning bylaw.

### *Tree Replacement*

The applicant wishes to remove 31 trees located on the development site (Tag # 703-708, 713, and BIR). The 2:1 replacement ratio would require a total of 62 replacement trees. The applicant has agreed to plant a total of 30 replacement trees in the development. The required replacement trees are to be of the following minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057.

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
2	11 cm	6 m
4	10 cm	5.5 m
8	8 cm	4 m
16	6 cm	3.5 m

To satisfy the 2:1 replacement ratio established in the OCP, the applicant will contribute \$16,000 to the City's Tree Compensation Fund in lieu of the remaining 32 trees that cannot be accommodated on the subject property after redevelopment.

The applicant wishes to remove three City-owned trees (Tag # 186-188). Prior to final adoption of the rezoning bylaw, the applicant must contribute \$3,900 to the City's Tree Compensation Fund, for the City to plant replacement trees at or near the development site.

### *Tree Protection*

Nine trees (Tag # 185, 189-192, 702, and 709-711) and two hedgerows (Tag # 184 and 701) on the development site, and one tree (Tree # 714) on a neighbouring property are to be retained and protected. The applicant has submitted a tree protection plan showing the trees to be retained and the measures taken to protect them during development stage (Attachment 8). To ensure that the trees identified for retention are protected at development stage, the applicant is required to complete the following items:

- Prior to final adoption of the rezoning bylaw, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to

tree protection zones. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.

- Prior to final adoption of the rezoning bylaw, submission to the City of a \$67,600 Tree Survival Security for the on-site trees to be retained, and the two City-owned trees to be relocated.
- Prior to any demolition or construction on the properties, installation of tree protection fencing around all trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

### **Affordable Housing Strategy**

The City's Affordable Housing Strategy for single-family rezoning applications received prior to July 18, 2017, requires a secondary suite or coach house on 100% of new lots created; a suite or coach house on 50% of new lots created together with a cash-in-lieu contribution to the City's Affordable Housing Reserve Fund of \$2.00/ft<sup>2</sup> of the total buildable area of the remaining lots; or, where secondary suites cannot be accommodated in the development, a cash-in-lieu contribution to the City's Affordable Housing Reserve Fund of \$2.00/ft<sup>2</sup> of the total buildable area of the development.

The applicant proposes to provide a secondary suite in the dwellings constructed on each of the 10 new lots, and a \$50,733.51 cash-in-lieu contribution for the six retained lots fronting Bridge Street. This proposal is generally consistent with the intent of the Affordable Housing Strategy, and has been reviewed by the Affordable Housing Coordinator.

Prior to final adoption of the rezoning bylaw, the applicant is required to enter into a legal agreement registered on Title, stating that no final Building Permit inspection will be granted until a secondary suite is constructed in the dwelling on each of the 10 new lots on Armstrong Street, to the satisfaction of the City in accordance with the BC Building Code and Richmond Zoning Bylaw 8500.

### **Site Servicing and Frontage Improvements**

Prior to final adoption of the rezoning bylaw, the applicant is required to enter into a Servicing Agreement for the design and construction of road works, engineering infrastructure, and frontage improvements, as described in Attachment 9.

The developer for the subject application is responsible for the required road works, engineering infrastructure and frontage improvements along Bridge Street, the portion of Armstrong Street along the subject site's frontage, and 50% of the portion of Armstrong Street within the road dedication at 7280 Ash Street. The remaining requirements to complete the connection of Armstrong Street from Sills Avenue to General Currie Road will be the responsibility of the developer for RZ 16-738953. Required works include, but are not limited to, the following:

- Armstrong Street: Block retaining wall with barrier fencing on the east property line of the neighbouring Ash Street lots; asphalt road to accommodate two-way traffic; concrete curb and gutter, landscaped boulevard with street lights, and concrete sidewalk at the new property line of the Armstrong Street lots.
- Bridge Street: Road widening, concrete curb and gutter, landscaped boulevard with street lights, and concrete sidewalk at the property line, to match the existing condition at 7131 Bridge Street.

Due to the road width of Armstrong Street in the interim condition, the ultimate frontage works may be deferred until the neighbouring properties redevelop and additional road width is acquired. The applicant is required to provide a cash-in-lieu contribution for the construction of the ultimate condition to be completed as the adjacent lots develop. The cash-in-lieu contribution will be determined through the Servicing Agreement design review process.

At Subdivision stage, the applicant is required to pay Property Taxes, Development Cost Charges, School Site Acquisition Charge, and Address Assignment Fees.

### **Financial Impact**

As a result of the proposed development, the City will take ownership of developer contributed assets such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals. The anticipated Operating Budget Impact (OBI) for the ongoing maintenance of these assets is \$6,000.00. This will be considered as part of the 2019 Operating budget.

### **Conclusion**

The purpose of this application is to rezone the west portions of 7151, 7171, 7191, 7211, 7231, and 7251 Bridge Street from the "Single Detached (RS1/F)" zone to the "Single Detached (ZS14) - South McLennan (City Centre)" zone, and the east portion of 7191 Bridge Street from the "Single Detached (RS1/F)" zone to the "Single Detached (RS2/C)" zone, to permit the properties to be subdivided to create six lots fronting Bridge Street and 10 new lots fronting an extension of Armstrong Street.

This rezoning application complies with the land use designations and applicable policies for the subject properties contained in the OCP and Richmond Zoning Bylaw 8500.

The list of rezoning considerations is included in Attachment 9, which has been agreed to by the applicant (signed concurrence on file).

It is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9796 be introduced and given first reading.



Jordan Rockerbie  
Planning Technician  
(604-276-4092)

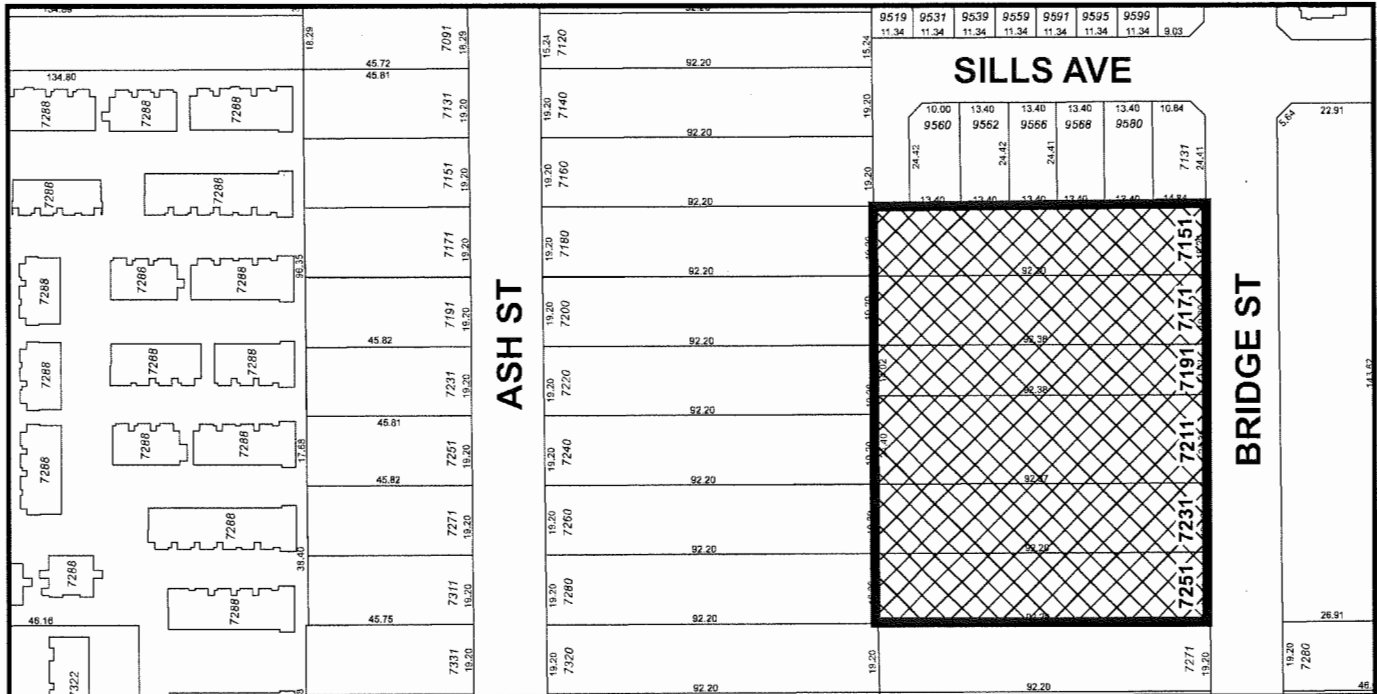
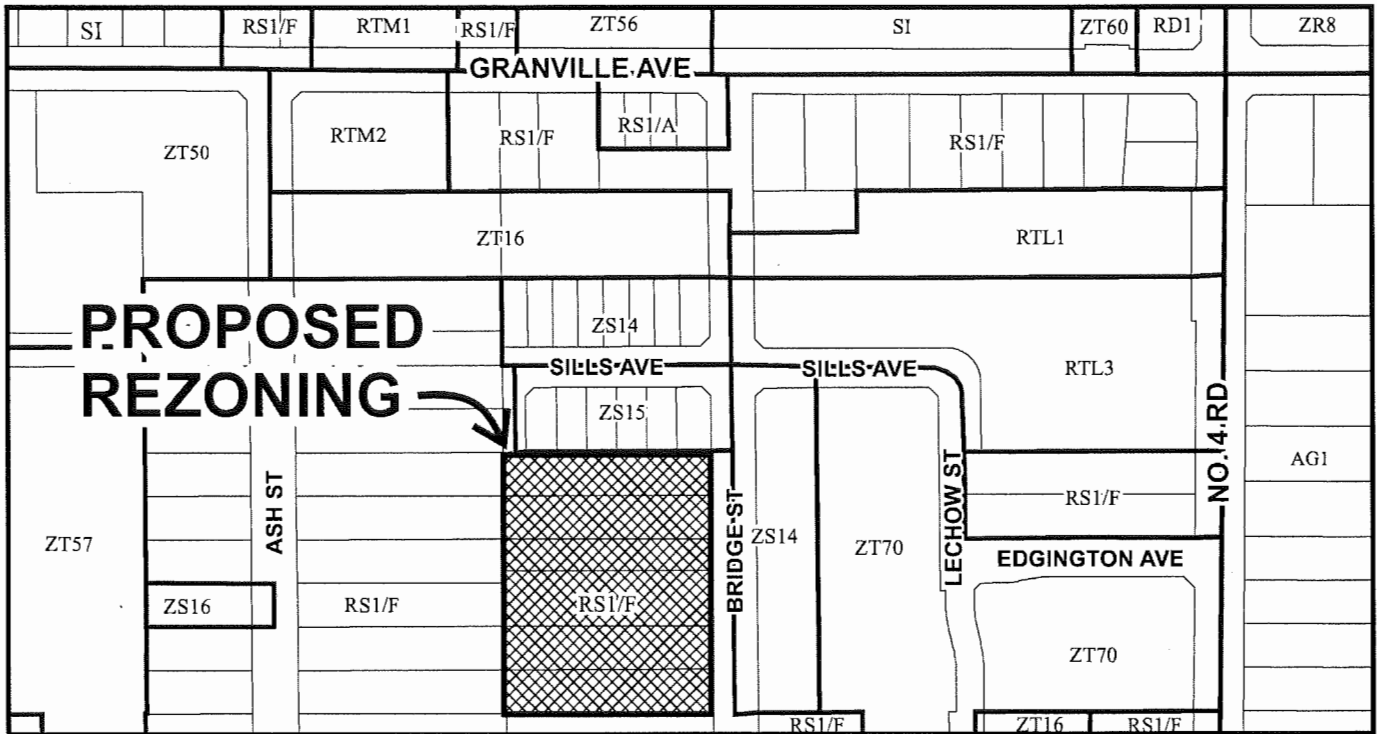
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- Attachment 1: Location Map and Aerial Photo
- Attachment 2: Proposed Subdivision Plan
- Attachment 3: Conceptual Development Plan
- Attachment 4: Development Application Data Sheet
- Attachment 5: Official Community Plan Land Use Map
- Attachment 6: McLennan South Sub-Area Plan Land Use Map
- Attachment 7: McLennan South Sub-Area Plan Circulation Map
- Attachment 8: Tree Retention Plan
- Attachment 9: Rezoning Considerations



# City of Richmond

ATTACHMENT 1



RZ 16-732490

Original Date: 06/07/16

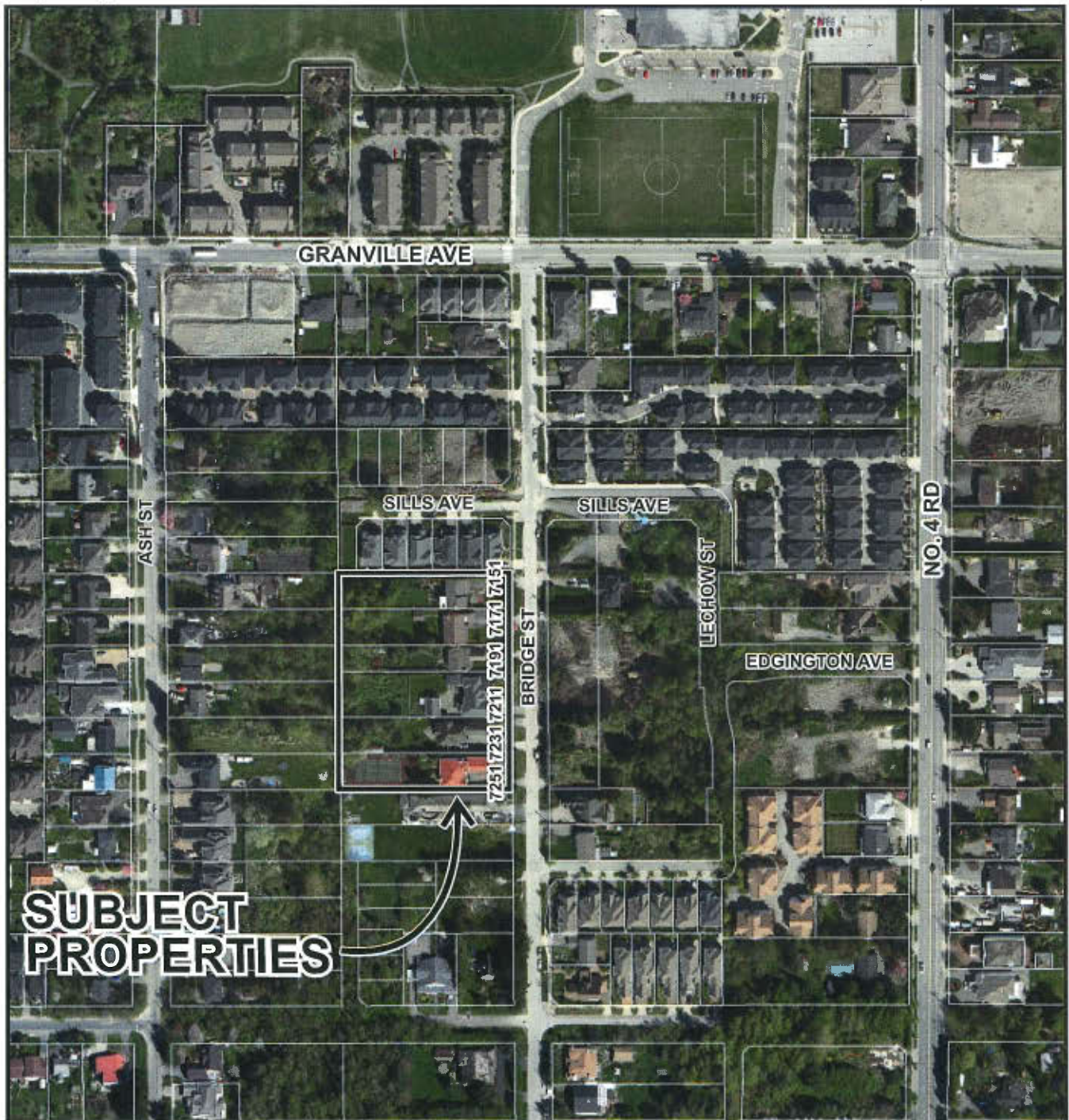
Revision Date: 12/12/17

Note: Dimensions are in METRES





# City of Richmond



RZ 16-732490

Original Date: 06/07/16

Revision Date: 12/08/17

Note: Dimensions are in METRES

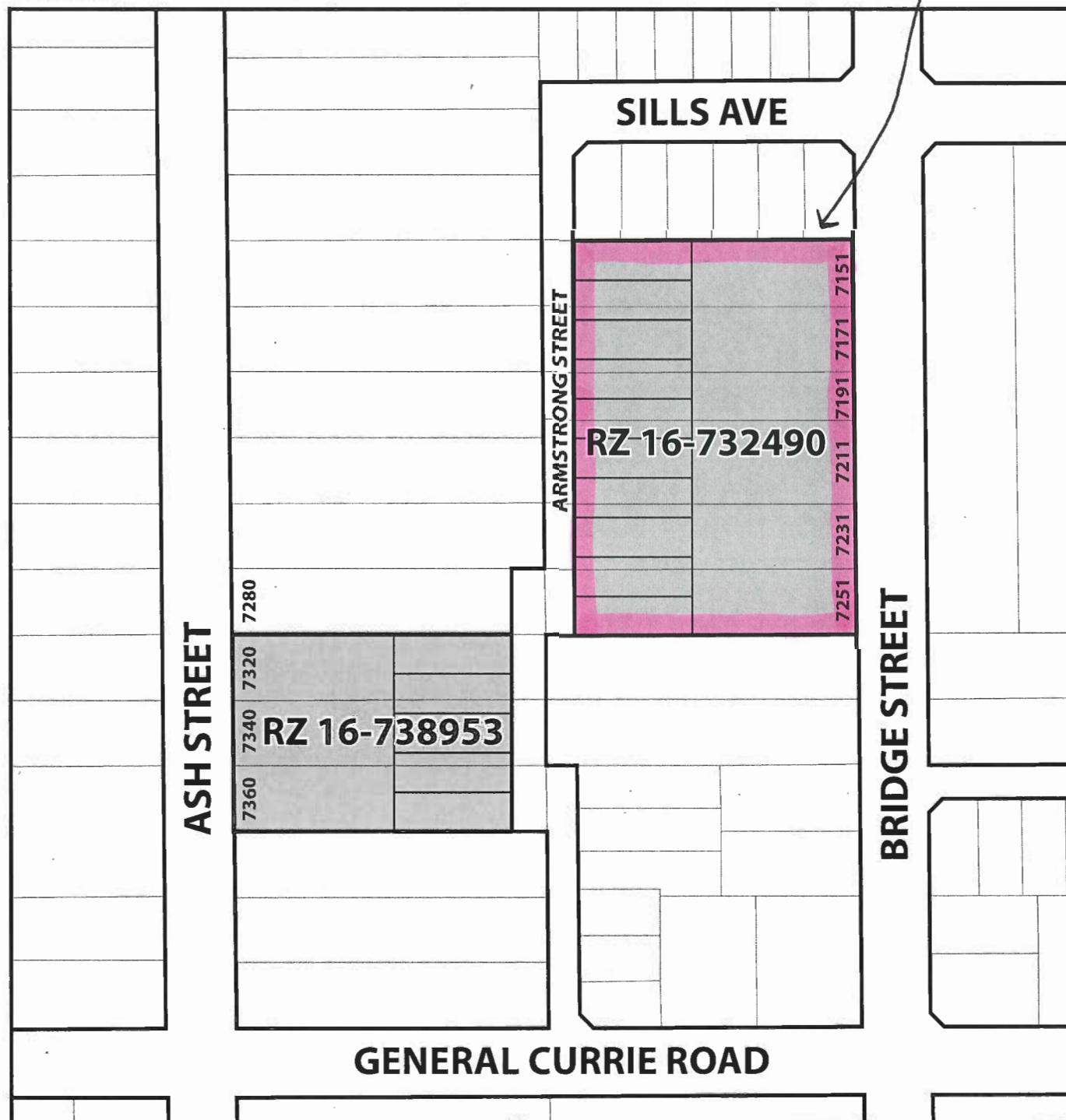






City of  
Richmond

SUBJECT PROPERTIES



**Interim Road Network for  
RZ 16-732490 and RZ 16-738953**

Original Date: 12/12/17

Revision Date:

Note: Dimensions are in METRES



**RZ 16-732490**

**Attachment 4**

Address: 7151/7171/7191/7211/7231/7251 Bridge Street

Applicant: Pietro Nardone

Planning Area(s): City Centre – McLennan South

	Existing	Proposed
<b>Owner:</b>	Chang Liang Su Nu Wu Calvin Clare Radom Maryann Radom Rohitendra Rajnesh Lal Rudy Stiegelmar David Shu Sum Yu Monica Mei Sheung Yu Allan James McBurney Sandra Teresa McBurney	To be determined
<b>Site Size (m<sup>2</sup>):</b>	7151 Bridge Street: 1,790 m <sup>2</sup> 7171 Bridge Street: 1,790 m <sup>2</sup> 7191 Bridge Street: 1,292 m <sup>2</sup> 7211 Bridge Street: 2,247 m <sup>2</sup> 7231 Bridge Street: 1,790 m <sup>2</sup> 7251 Bridge Street: 1,790 m <sup>2</sup>	7151 Bridge Street: 922 m <sup>2</sup> 7171 Bridge Street: 922 m <sup>2</sup> 7191 Bridge Street: 674 m <sup>2</sup> 7211 Bridge Street: 1,171 m <sup>2</sup> 7231 Bridge Street: 922 m <sup>2</sup> 7251 Bridge Street: 922 m <sup>2</sup> Lots 1-10: 405 m <sup>2</sup>
<b>Land Uses:</b>	6 single-family dwellings	16 single-family dwellings
<b>OCP Designation:</b>	Neighbourhood Residential	No change
<b>Area Plan Designation:</b>	Residential, Historic Single-Family	No change
<b>Zoning:</b>	Single Detached (RS1/F)	7151, 7171, 7211, 7231, 7251 Bridge Street: No change 7191 Bridge Street: Single Detached (RS2/C) Lots 1-10: Single Detached (ZS14) - South McLennan (City Centre)

On East Portion of 7191 Bridge Street	Bylaw Requirement Single Detached (RS2/C)	Proposed	Variance
Floor Area Ratio:	Max. 0.55 for lot area up to 464.5 m <sup>2</sup> plus 0.3 for area in excess of 464.5 m <sup>2</sup>	Max. 0.55 for lot area up to 464.5 m <sup>2</sup> plus 0.3 for area in excess of 464.5 m <sup>2</sup>	none permitted
Buildable Floor Area (m <sup>2</sup> ):*	Max. 318.33 m <sup>2</sup> (3,426.42 ft <sup>2</sup> )	257.8 m <sup>2</sup> (2,774.9 ft <sup>2</sup> )	none permitted

On East Portion of 7191 Bridge Street	Bylaw Requirement Single Detached (RS2/C)	Proposed	Variance
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 70% Landscaping: Min. 25%	Building: Max. 45% Non-porous Surfaces: Max. 70% Landscaping: Min. 25%	none
Lot Size:	Min. 360 m <sup>2</sup>	674 m <sup>2</sup>	none
Lot Dimensions (m):	Width: Min. 13.5 m Depth: Min. 24.0 m	Width: 14.02 m Depth: 48.04 m	none
Setbacks (m):	Front: Min. 6.0 m Side: Min. 1.2 m Rear: Min. 20% of lot depth for up to 60% of principal dwelling, 25% of lot depth for remainder, up to 10.7 m	Front: 6.0 m Side: 1.2 m Rear: 9.26 m for up to 60% of principal dwelling, 10.7 m for remainder	none
Height (m):	Max. 9.0 m	Max. 9.0 m	none

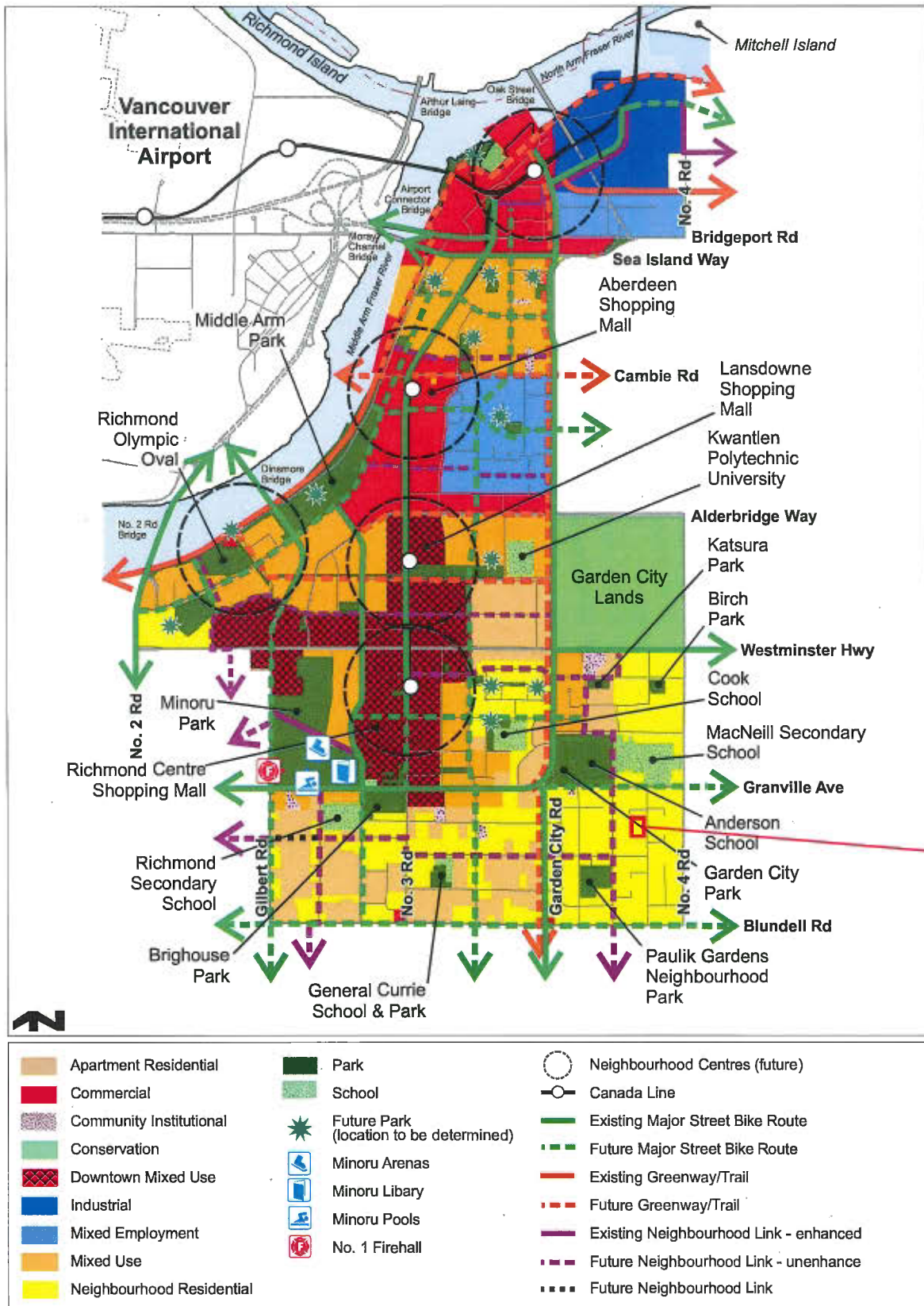
On Proposed Lots 1-10	Bylaw Requirement Single Detached (ZS14) - South McLennan (City Centre)	Proposed	Variance
Floor Area Ratio:	Max. 0.55 for lot area up to 464.5 m <sup>2</sup> plus 0.3 for area in excess of 464.5 m <sup>2</sup>	Max. 0.55 for lot area up to 464.5 m <sup>2</sup> plus 0.3 for area in excess of 464.5 m <sup>2</sup>	none permitted
Buildable Floor Area (m <sup>2</sup> ):*	Max. 222.75 m <sup>2</sup> (2,397 ft <sup>2</sup> )	Max. 222.75 m <sup>2</sup> (2,397 ft <sup>2</sup> )	none permitted
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 70% Landscaping: Min. 25%	Building: Max. 45% Non-porous Surfaces: Max. 70% Landscaping: Min. 25%	none
Lot Size:	Min. 320 m <sup>2</sup>	405 m <sup>2</sup>	none
Lot Dimensions (m):	Width: Min. 11.3 m Depth: Min. 24.0 m	Width: 11.52 m Depth: 35.2 m	none
Setbacks (m):	Front: Min. 6.0 m Rear: Min. 6.0 m Side: Min. 1.2 m	Front: Min. 6.0 m Rear: Min. 6.0 m Side: Min. 1.2 m	none
Height (m):	Max. 9.0 m	Max. 9.0 m	none

Other: Tree replacement compensation required for loss of significant trees.

\* Preliminary estimate; not inclusive of garage or other exemptions contained in the Zoning Bylaw; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



## 10. City Centre



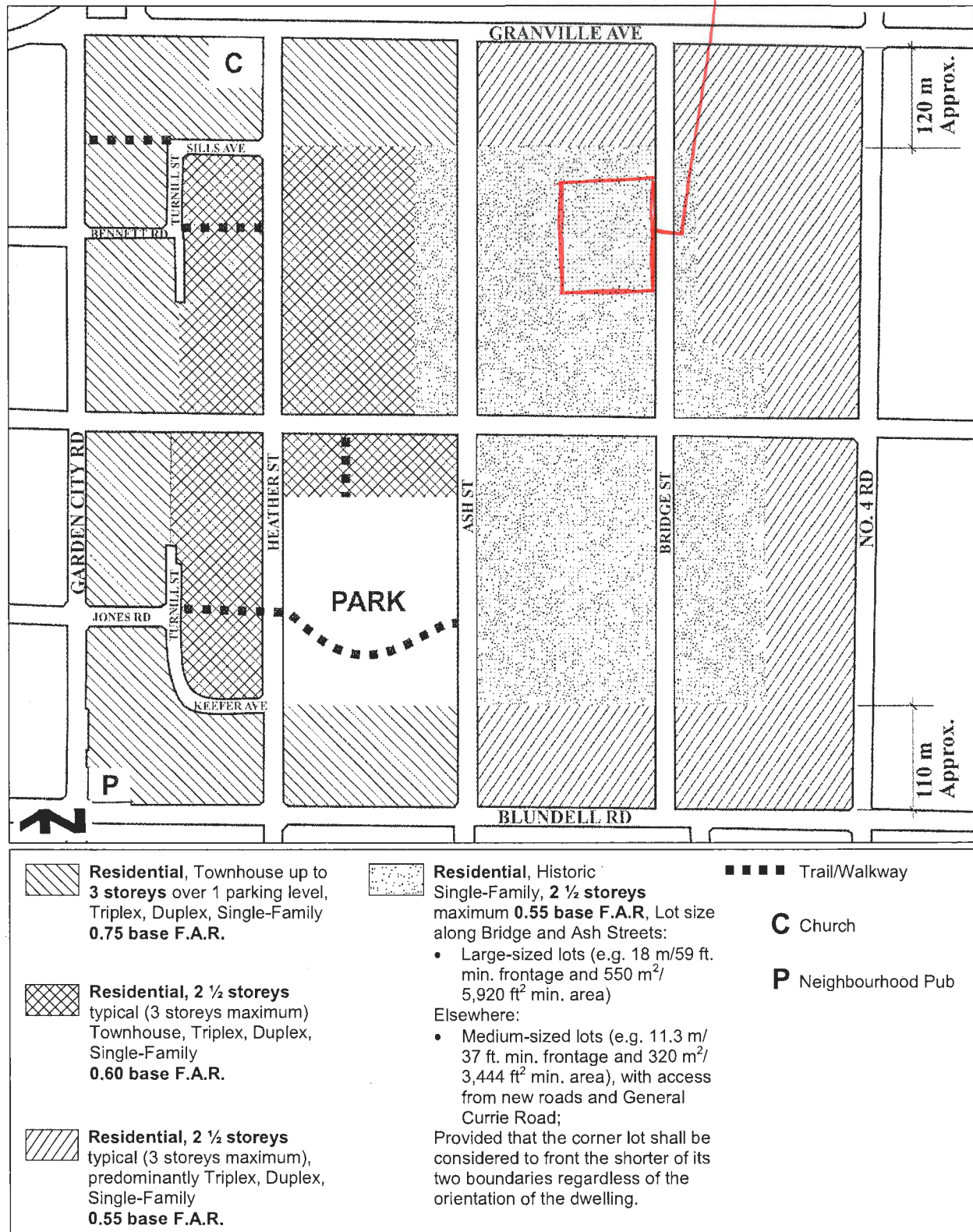


City of Richmond

## Land Use Map

Bylaw 9106  
2015/09/14

SUBJECT PROPERTIES



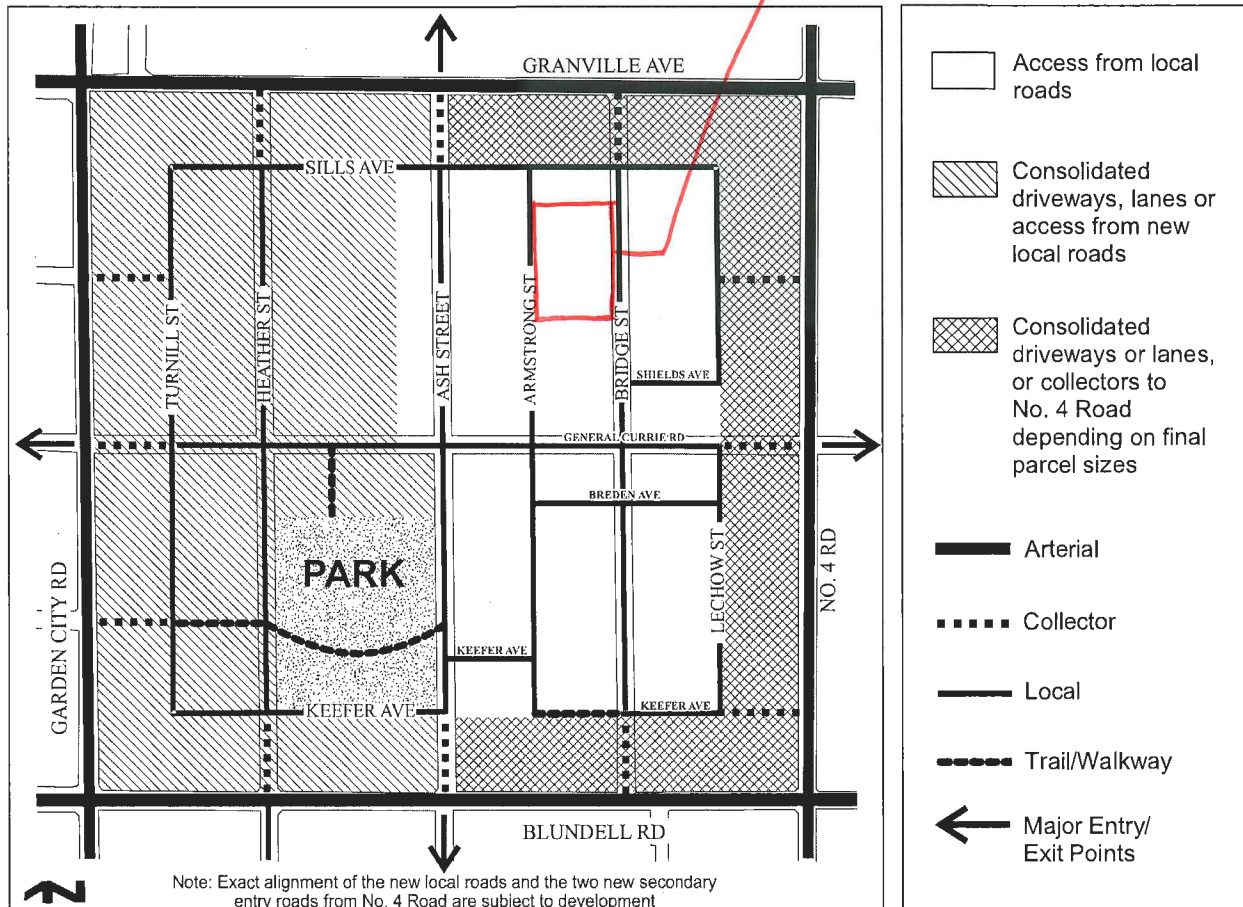
**Note:** Sills Avenue, Le Chow Street, Keefer Avenue, and Turnill Street are commonly referred to as the “ring road”.

- l) Encourage cycling as a means of travel by calming automobile traffic within McLennan South and supporting the City Centre policies and programs for bicycles.

# Circulation Map

Bylaw 8803  
2011/10/17

SUBJECT PROPERTIES

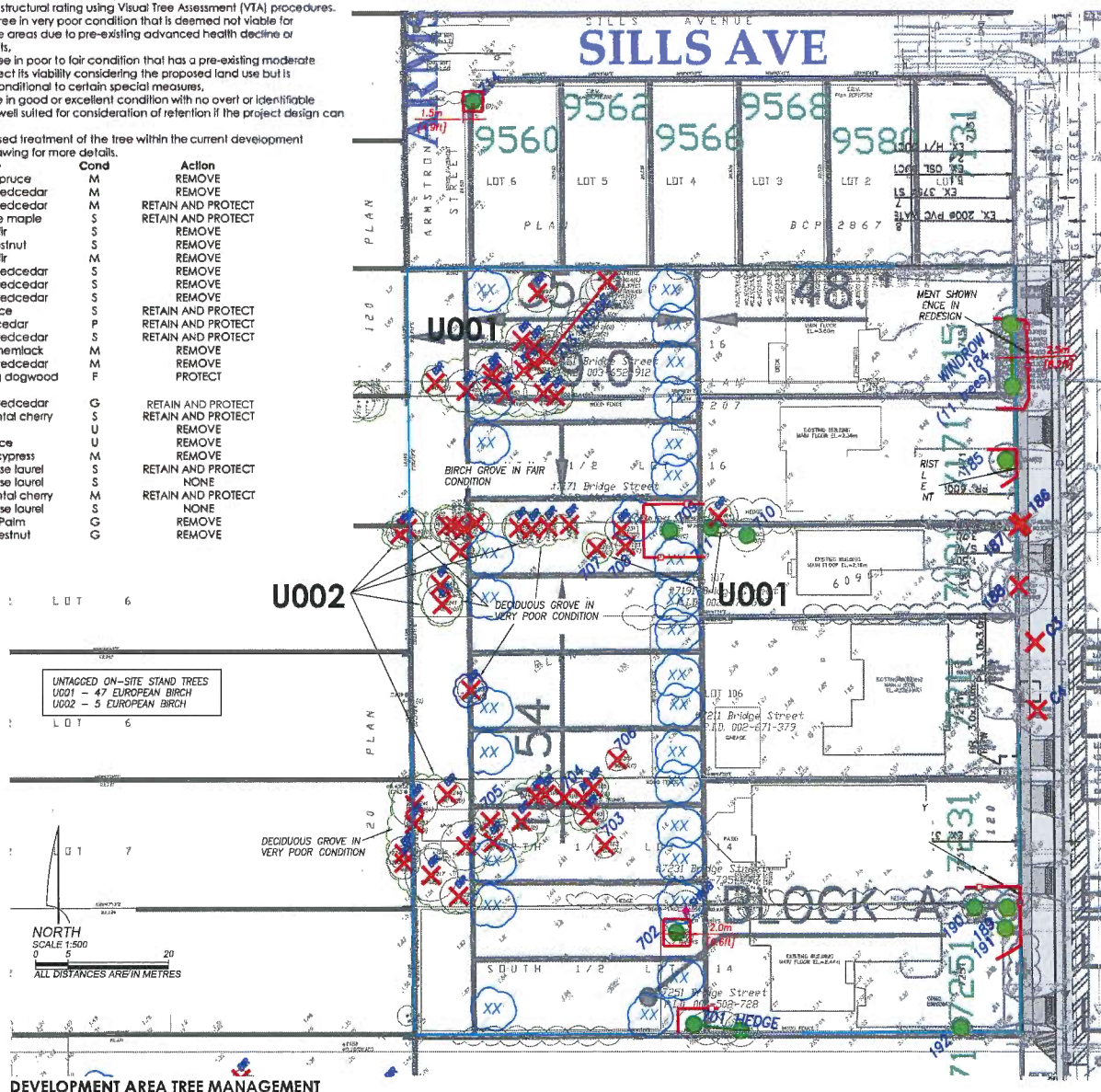




**TREE INVENTORY AND ASSESSMENT LIST:**

- Tag # denotes the tag affixed to the tree for reference in report and on drawings.
- Dbh denotes the diameter of the trunk measured at 1.4 m above grade or at per arboricultural standards (i.e. for null stem trees).
- Cond denotes health and structural rating using Visual Tree Assessment (VTA) procedures.
- U denotes Unsuitable = a tree in very poor condition that is deemed not viable for retention in active land use areas due to pre-existing advanced health decline or significant structural defects.
- M denotes Marginal = a tree in poor to fair condition that has a pre-existing moderate rated defect that may affect its viability considering the proposed land use but is considered for retention conditional to certain special measures.
- S denotes Suitable = a tree in good or excellent condition with no overt or identifiable significant defects, and is well suited for consideration of retention if the project design can accommodate it.
- Action denotes the proposed treatment of the tree within the current development design. See report and drawing for more details.

Tag #	Dbh (cm)	Tree Type	Cond	Action
699	24	Norway spruce	M	REMOVE
700	50	Western redcedar	M	REMOVE
701	46-58	Western redcedar	M	RETAIN AND PROTECT
702	23	Japanese maple	S	RETAIN AND PROTECT
703	31	Douglas-fir	S	REMOVE
704	21	Horsechestnut	S	REMOVE
705	22	Douglas-fir	M	REMOVE
706	25	Western redcedar	S	REMOVE
707	34	Western redcedar	S	REMOVE
708	33	Western redcedar	S	REMOVE
709	35	Blue spruce	S	RETAIN AND PROTECT
710	43	Deodar cedar	P	RETAIN AND PROTECT
711	30	Western redcedar	S	RETAIN AND PROTECT
712	68	Western hemlock	M	REMOVE
713	20-40	Western redcedar	S	REMOVE
714	18	Flowering dogwood	F	PROTECT
184	43-53	Western redcedar	G	RETAIN AND PROTECT
185	41	Ornamental cherry	S	RETAIN AND PROTECT
186	11, 9, 10	Rowan	U	REMOVE
187	24	Blue spruce	U	REMOVE
188	52, 58	Sawara cypress	M	REMOVE
189	31	Portuguese laurel	S	RETAIN AND PROTECT
190	26, 24	Portuguese laurel	S	NONE
191	25	Ornamental cherry	M	RETAIN AND PROTECT
192	16	Portuguese laurel	S	NONE
C3	1.5M Ht.	Windmill Palm	G	REMOVE
C4	7	Horse chestnut	G	REMOVE



DEVELOPMENT AREA TREE MANAGEMENT

**SUGGESTED PLANT LIST: REPLACEMENT TREES**

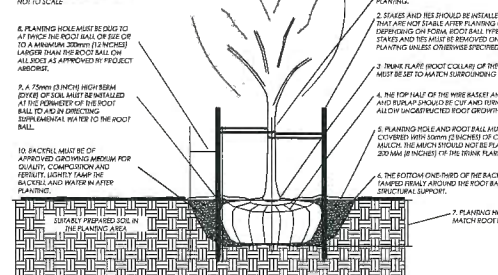
Please use botanical name when ordering.

Current arboricultural best management practices and BCCLA/BCNA standards apply to quality, root ball, health, form, handling, planting, staking and establishment care.

CODE	QTY	Size	BOTANICAL NAME	COMMON NAME
<b>BROADLEAF - SMALL TO MEDIUM SCALE:</b>				
ACA	6cm C		Acer campestre	Field maple
AG	6cm C		Acer griseum	Paperbark maple
ARB	6cm C		Acer rubrum 'Bowhall'	Bowhall maple
ARRS	6cm C		Acer rubrum 'Red Sunset'	Red Sunset maple
DI	6cm C		Davidia involucreta	Dove tree
FSD	6cm C		Fagus sylvatica 'Dawick'	Dawick beech
FSP	6cm C		Fagus sylvatica 'Pendula'	Weeping European beech
MSO	3.5m H		Magnolia soulangeana	Saucer magnolia
SP	6cm C		Stewartia pseudocamellia	Japanese stewartia
AP	6cm C		Acer palmatum	Japanese maple
AU	6cm C		Arbutus unedo	Strawberry tree
CC	3.5m H		Cercis canadensis	Redbud
MGR	6cm C		Magnolia grandiflora	Southern magnolia (evergreen)
MST	6cm C		Magnolia stellata	Star magnolia
PSAR	6cm C		Prunus sargentii 'Rancho'	Sargent cherry
PY	6cm C		Prunus x yedoensis	Yoshino cherry
SI	6cm C		Styrax japonicus	Japanese snowbell
<b>EVERGREEN - SMALL SCALE:</b>				
APC	3.5m H		Abies procera 'Glauc'	Noble fir
PO	3.5m H		Picea omorika	Serbian spruce

**TREE PLANTING GUIDELINES:**

- CONCEPTUAL DESIGN:** The planting area must be designed to accommodate the planting of replacement trees in accordance with the following requirements. Direction of access and the type of trees must conform to the municipal standards.
- SPACING:** Additional trees must be planted at least 2.0 m from any property line and at least 3.0 m from any road, driveway, catch basin, down stream and other infrastructure, and at a minimum setback from buildings as follows: 4.0 m for small canopy, 6.0 m for medium canopy and 8.0 m for large canopy trees.
- SOIL PREPARATION:** On disturbed sites or construction sites the subsoil and planting hole in proximity to the planting site may be damaged such that the soil is only compacted, sandy, eroded, and/or of inferior composition from the site preparation and construction activities. In these cases, subsoil remediation and replacement, and/or the placement of existing soil with suitable growing medium to a depth of 600 mm depth with a surface grade of the planting site for each tree will be required.
- STAKING:** Replacement trees must conform to current BCCLA/BCNA standards as published and updated from time to time by BCCLA/BCNA in respect to specifications for quality, selection, site preparation, handling, planting methods, staking and establishment requirements.
- LANDSCAPE SURFACE FINISHING:** The species, size and most landscape conditions will not require permanent irrigation after establishment. However, interim watering of the root ball will be required for at least one growing season after planting. This should be completed by hand watering them on an as-needed basis or by truck delivery, watering hose device, or a temporary irrigation system. The watering schedule should be accepted to suit the weather conditions as they change, and in response to monitoring the root ball soil hydrology. On a conceptual basis, watering schedule may be as follows:
  - Immediately after planting: Day of and then 3 days later
  - February 1 to March 15: Every two weeks
  - March 16 to June 30: Once per week (may reduce to once every 2 weeks in sustained heavy rainfall conditions)
  - July 1 to August 31: Every two weeks
  - September 1 to October 31: Every two weeks
- WATERING:** Most tree species and most landscape conditions will not require permanent irrigation after establishment. However, interim watering of the root ball will be required for at least one growing season after planting. This should be completed by hand watering them on an as-needed basis or by truck delivery, watering hose device, or a temporary irrigation system. The watering schedule should be accepted to suit the weather conditions as they change, and in response to monitoring the root ball soil hydrology. On a conceptual basis, watering schedule may be as follows:
  - Immediately after planting: Day of and then 3 days later
  - February 1 to March 15: Every two weeks
  - March 16 to June 30: Once per week (may reduce to once every 2 weeks in sustained heavy rainfall conditions)
  - July 1 to August 31: Every two weeks
  - September 1 to October 31: Every two weeks
- STAKING:** Stakes are to be installed as per BCCLA/BCNA standards and/or as directed by the project architect.
- MAINTENANCE:** All trees and related hardware must be removed after one year establishment period, unless otherwise indicated for a longer term or as directed by the project architect.

**TREE PLANTING DETAIL**



# City of Richmond

## Rezoning Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 7151, 7171, 7191, 7211, 7231, & 7251 Bridge Street

**File No.:** RZ 16-732490

**Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9796, the developer is required to complete the following:**

1. 9.0 m wide road dedication along the entire rear property lines of 7151, 7171, 7191, 7211, 7231, and 7251 Bridge Street. The applicant is responsible for securing 50% of the required 9.0 m wide road dedication on the east property line of 7280 Ash Street.

2. Submission of a Landscape Security in the amount of \$15,000 (\$500/tree) to ensure that a total of 30 replacement trees are planted and maintained in the development. **NOTE: minimum replacement size to be as per Tree Protection Bylaw No. 8057 Schedule A – 3.0 Replacement Trees.**

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	Minimum Height of Coniferous Tree
2	11 cm	6 m
4	10 cm	5.5 m
8	8 cm	4 m
16	6 cm	3.5 m

3. City acceptance of the developer's offer to voluntarily contribute \$19,900 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
4. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
5. Submission of a Tree Survival Security to the City in the amount of \$67,600 for the nine trees and two hedge rows to be retained, and the two City-owned trees to be relocated.
6. Registration of a flood indemnity covenant on Title.
7. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on each of the ten future lots on Armstrong Street, to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
8. The City's acceptance of the applicant's voluntary contribution of \$2.00 per buildable square foot of the single-family developments (i.e. \$50,733.51) to the City's Affordable Housing Reserve Fund for the six lots on Bridge Street.
9. Submission of functional road plans for the interim and ultimate conditions of Armstrong Street, to the satisfaction of the Director of Transportation.
10. Registration of a legal agreement on Title to ensure prior to final building inspection granting occupancy all required off-site works (from Sills Avenue to General Currie) are completed.
11. Enter into a Servicing Agreement\* for the design and construction of the required site servicing and off-site improvements, to be combined with the requirements for RZ 16-738953. Works include, but may not be limited to, the following:

### *Water Works:*

- Using the OCP Model, there is 150 L/s of water available at a 20 psi residual at the Bridge Street frontage, and 274 L/s of water available at a 20 psi residual at the Armstrong Street frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.

- The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
  - Install 10 new water service connections, one for each new lot, complete with meter and meter box.
  - Retain the existing water service connections along the Bridge Street frontage.
  - Install approximately 200 m of new 200 mm water main in the extension of Armstrong Street from Sills Avenue to tie in to the existing water main fronting 7368 Armstrong Street, complete with fire hydrants to meet City spacing requirements.
- At Developer's cost, the City is to:
  - Perform all tie-ins of the proposed works to existing City infrastructure.

*Storm Sewer Works:*

- The Developer is required to:
  - Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the Servicing Agreement design.
  - Upgrade the approximately 120 m of existing 375 mm storm sewer along the development's Bridge Street frontage to 600 mm, and reconnect all existing leads.
  - Install approximately 200 m of new 600 mm storm sewer in the extension of Armstrong Street from the existing storm sewer in Sills Avenue to tie in to the existing storm sewer fronting 7368 Armstrong Street.
  - Confirm all service connections currently in use by the lots along Bridge Street. The connections not in use shall be capped at the main and their inspection chambers removed.
  - Provide, at no cost to the City, two 3.0 x 3.0 m statutory right-of-ways for the existing storm inspection chambers STIC53528 and STIC43442 on the Bridge Street frontage of 7211 Bridge Street.
  - Install 10 new storm service connections, one for each lot and complete with inspection chambers, off of the proposed storm main in the extension of Armstrong Street. Where possible, a single service connection and inspection chamber with dual service leads shall be installed at the adjoining property line of two lots.
- At Developer's cost, the City is to:
  - Perform all tie-ins of the proposed works to existing City infrastructure.

*Sanitary Sewer Works:*

- The Developer is required to:
  - Install approximately 200 m of new 200 mm sanitary sewer in the extension of Armstrong Street from the existing sanitary sewer in Sills Avenue to tie in to the existing sanitary sewer fronting 7368 Armstrong Street.
  - Install 10 new sanitary service connections, one for each lot and complete with inspection chambers, off of the proposed sanitary main in the extension of Armstrong Street. Where possible, a single service connection and inspection chamber with dual service leads shall be installed at the adjoining property line of two lots.
  - Retain the existing sanitary service connections serving the properties on the Bridge Street frontage of the development site.
- At Developer's cost, the City is to:
  - Perform all tie-ins of the proposed works to existing City infrastructure.

*Frontage Improvements:*

- The Developer is required to:
  - Provide a 9.0m-wide road dedication along the entire west property line of the development site, and along the entire east property lines of 7280 Ash Street, and construct a functional road complete with asphalt pavement, sidewalk, boulevard, curb and gutter, lighting, and drainage, connecting Sills Avenue to the north to the developed portion of Armstrong Street to the south.
  - Coordinate with BC Hydro, Telus and other private communication service providers:
    - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
    - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
    - To underground private utility poles, overhead distribution lines, and overhead service lines and poles along the entire Bridge Street frontage, including the overhead service lines serving the single family lots with existing buildings to remain on Bridge Street. This will require underground conduits and aboveground structures to be placed in private property within the existing single family lots, and the clearance poles and overhead service lines removed.
    - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc.). These should be located onsite, as described below.
  - To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the Servicing Agreement drawings, and registered prior to Servicing Agreement design approval:
    - BC Hydro PMT – 4.0 x 5.0 m
    - BC Hydro LPT – 3.5 x 3.5 m
    - Street light kiosk – 1.5 x 1.5 m
    - Traffic signal kiosk – 2.0 x 1.5 m
    - Traffic signal UPS – 1.0 x 1.0 m
    - Shaw cable kiosk – 1.0 x 1.0 m
    - Telus FDH cabinet – 1.1 x 1.0 m
  - Assess the street lighting levels along all road frontages and upgrade to Richmond standards as required.
  - Construct an extension of Armstrong Street to access the new lots, which includes, but may not be limited to:
    - Submission of a functional road plan for the interim and ultimate conditions of Armstrong Street, to the satisfaction of the Director of Transportation. All interim works to be constructed, including interim concrete curbs, required to delineate a smooth road alignment and vehicular wheel path movement for northbound and southbound traffic around the undeveloped lots. This will also require interim frontage works and driveway locations. Through the ultimate design, the reconstruction and reinstatement of all final works will be required.
    - Ultimate condition to provide 11.2 m pavement width, minimum 0.15 m wide concrete curb and gutter, minimum 1.5 m wide landscaped/treed boulevard, and a minimum 1.5 m wide concrete sidewalk at the property line.
    - The ultimate curb alignment is to match that set by redevelopment south of General Currie Road.
    - Frontage works to extend from Sills Avenue to General Currie Road.
  - Complete improvements on Bridge Street including, but not limited to:
    - Road widening, 0.15 m concrete curb and gutter, min. 1.5 m wide landscaped/treed boulevard behind curb and min. 1.5 m wide concrete sidewalk at the property line; to match improvements to the north at 7131 Bridge Street, and taper back to existing condition to the south.

- All utility pole or other infrastructure conflicts to be relocated at Developer's cost.
- Locate driveways so as to conform to Residential Lot (Vehicular) Access Regulation Bylaw No. 7222. Interim and ultimate driveway designs may be required.
- Provide a cash-in-lieu contribution to the City, for all of the ultimate condition off-site works to be deferred to accommodate functional two-way traffic in the interim condition, for the City to complete the construction of the ultimate condition when the adjacent lots develop. The cash-in-lieu contribution amount will be determined through the Servicing Agreement\* design review process and will be based on the submission of a functional plan for the interim and ultimate conditions of Armstrong Street, to the satisfaction of the Director of Transportation.

*General Items:*

- The Developer is required to:
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
2. Prior to removal of any off-site trees, the applicant must obtain written permission from the adjacent property owner. If permission to remove the trees is not granted, the trees should be protected as per City of Richmond Tree Protection Information Bulletin TREE-03.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**At Subdivision\* stage, the developer must complete the following requirements:**

1. Payment of property taxes up to the current year, Development Cost Charges (City and GVSS & DD), School Site Acquisition Charge, Address Assignment Fees, and any other costs or fees identified at the time of Subdivision application.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.



- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date



**Richmond Zoning Bylaw 8500  
Amendment Bylaw 9796 (RZ 16-732490)  
7151/7171/7191/7211/7231/7251 Bridge Street**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"SINGLE DETACHED (ZS14) - SOUTH MCLENNAN (CITY CENTRE)"**.

That area shown as "BLOCK A" cross-hatched on "Schedule A attached to and forming part of Bylaw No. 9796".

2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"SINGLE DETACHED (RS2/C)"**.

That area shown as "BLOCK B" cross-hatched on "Schedule A attached to and forming part of Bylaw No. 9796".

3. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9796"**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

**JAN 15 2018**

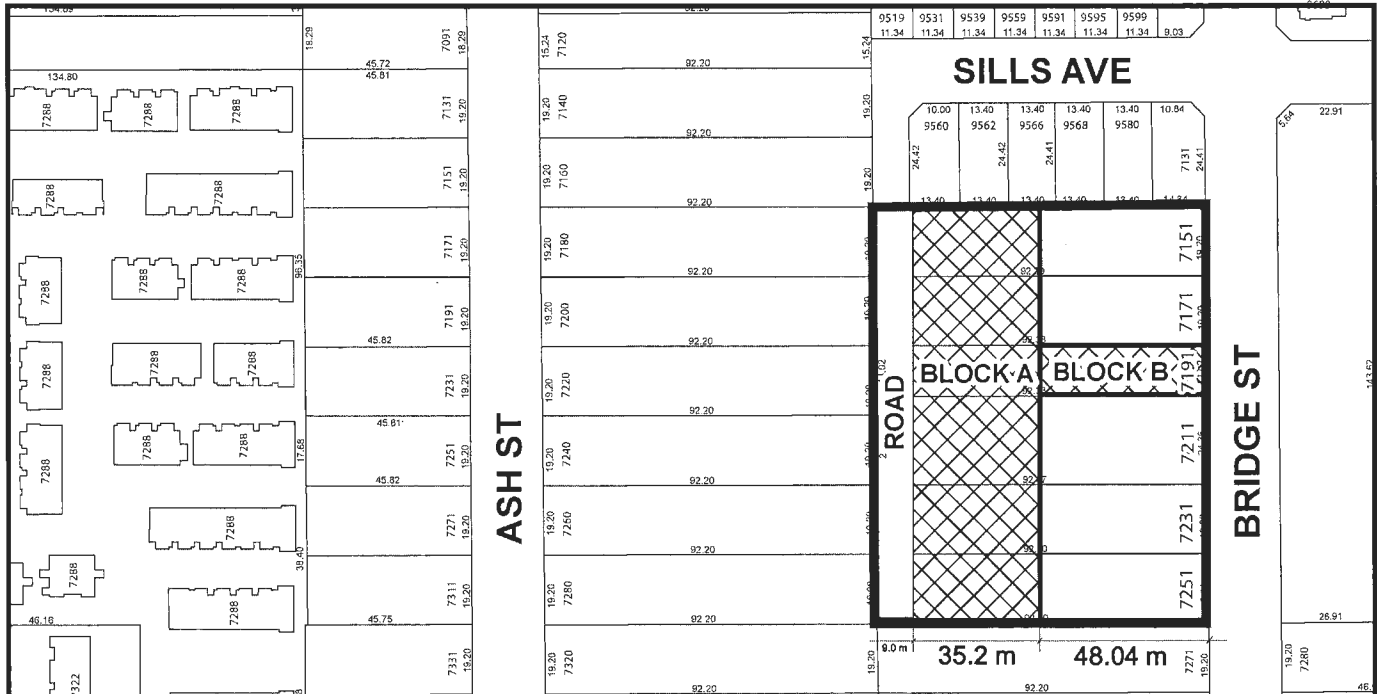
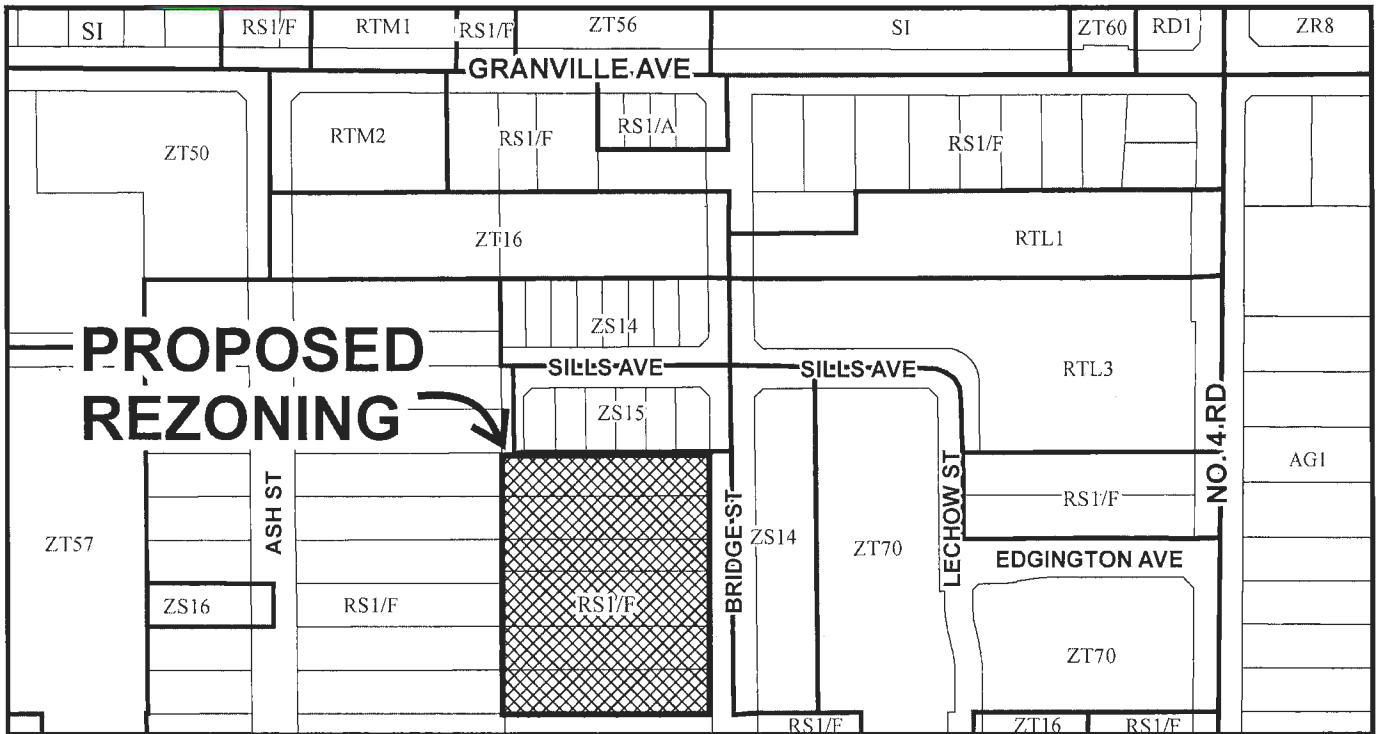


\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



City of  
Richmond



RZ 16-732490

Original Date: 06/07/16

Revision Date:

Note: Dimensions are in METRES



# City of Richmond

## Report to Committee Planning and Development Division

**To:** Planning Committee  
**From:** Wayne Craig  
Director, Development

**Date:** January 2, 2018

**File:** RZ 15-704980

**Re:** Application by 0951705 BC Ltd. for Rezoning at 8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street from the "Light Industrial (IL)" Zone and "Auto-Oriented Commercial (CA)" Zone to a New "Commercial (ZC45) – Bridgeport Village" Zone

### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9815 to create the "Commercial (ZC45) – Bridgeport Village" zone, and to rezone 8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street from the "Light Industrial (IL)" zone and the "Auto-Oriented Commercial (CA)" zone to the new "Commercial (ZC45) – Bridgeport Village" zone, be introduced and given first reading.

*W. Craig*  
Wayne Craig  
Director, Development

WC:sb  
Att. 5

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Real Estate Services	<input checked="" type="checkbox"/>	<i>He Craig</i>
Engineering	<input checked="" type="checkbox"/>	
Transportation	<input checked="" type="checkbox"/>	

## Staff Report

### Origin

0951705 BC Ltd. has applied to the City of Richmond for permission to rezone 8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street from the “Light Industrial (IL)” zone and the “Auto-Oriented Commercial (CA)” zone to a new site-specific zone; “Commercial (ZC45) – Bridgeport Village” (Attachment 1), in order to permit a medium density hotel and commercial development on a property in the City Centre’s Bridgeport Village. Key components of the proposal (Attachment 2) include:

- A non-contiguous development site with portions of the overall site facing each other on the north and south sides of Douglas Street.
- A six-storey hotel building on the north side of Douglas Street and a single-storey commercial building on the south side of Douglas Street.
- A total floor area of approximately 5,417 m<sup>2</sup> (58,308 ft<sup>2</sup>) comprised of approximately:
  - 5,256 m<sup>2</sup> (56,575 ft<sup>2</sup>) of hotel space on the north side of Douglas Street, including 97 hotel rooms in upper floors and meeting room and breakfast room hotel services on the ground floor.
  - 161 m<sup>2</sup> (1,733 ft<sup>2</sup>) of commercial space on the south side of Douglas Street.
- LEED Silver equivalent building design and hotel building designed and constructed to connect to a future district energy utility (DEU) system.

This application includes the proposed sale and acquisition of portions of the City’s Douglas Road allowance adjacent to the subject site’s proposed northern lot and southern lot to be consolidated with the subject site. Additional information on the land acquisition is contained in the Financial Impact section of this report.

The developer is required to enter into a Servicing Agreement for the design and construction of engineering and transportation infrastructure and frontage improvement works.

### Findings of Fact

A Development Application Data Sheet (Attachment 3) providing details about the development proposal is attached.

### Surrounding Development

The subject site is located in Bridgeport Village (Attachment 4) along Douglas Street, between Sexsmith Road and Smith Street, and is comprised of six lots on the north side of Douglas Street and a single lot on the south side of Douglas Street.

The north portion of the site is currently vacant. The south portion of the site is occupied by an older existing non-conforming single-storey house.

Surrounding development includes:

- To the North: Across the rear lane, existing two-storey light industrial buildings and a vacant lot on properties also zoned “Light Industrial (IL)”.
- To the South: Across the rear lane, an existing two-storey commercial building on a property also zoned “Auto-Oriented Commercial (CA)”.

- To the East: Across the side lanes, older existing non-conforming houses and a vacant lot on properties also zoned “Light Industrial (IL)” on the north side of Douglas Street and also zoned “Auto-Oriented Commercial (CA)” on the south side of Douglas Street.
- To the West: On the north side of Douglas Street, an existing two-storey commercial building and older existing non-conforming houses on four adjacent lots under single ownership and under review for redevelopment on properties also zoned “Light Industrial (IL)”. On the south side of Douglas Street, an existing two-storey commercial building, and further west, a vacant lot, older existing non-conforming two-storey house and a paved surface parking lot on properties also zoned “Auto-Oriented Commercial (CA)”.

### **Related Policies & Studies**

#### **Official Community Plan/City Centre Area Plan**

The Official Community Plan (OCP) designates the site as “Commercial”. The proposed rezoning is consistent with this designation.

The City Centre Area Plan (CCAP) Bridgeport Village Specific Land Use Map designates the site as “Urban Centre T5 (25m)” (Attachment 4) and allows for a maximum average net development site density of 2.0 FAR. The proposed rezoning is consistent with this designation. As the subject site is non-contiguous and the density is spread across both portions of the site, registration of a covenant on Title is required prior to rezoning adoption, ensuring a single site with no subdivision (including no subdivision by way of strata-plan or air space parcels).

The proposed rezoning is subject to a community planning implementation contribution for future community planning. In accordance with the CCAP Implementation Strategy, a contribution will be secured before rezoning adoption (\$14,582.95 calculated using the proposed floor area [58,331.8 ft<sup>2</sup> x \$0.25 /ft<sup>2</sup>]).

#### **OCP Aircraft Noise Sensitive Development Management Policy**

The proposed redevelopment must address the OCP Aircraft Noise Sensitive Development Management Policy. The proposed development is located in Area 1A on the OCP Aircraft Noise Sensitive Development Map. The proposed rezoning is consistent with this Policy. Registration of an aircraft noise covenant on Title is required prior to rezoning adoption.

New aircraft noise sensitive land uses, including residential land uses, are prohibited in Area 1A. The proposed hotel and commercial building are both commercial land uses, which are permitted. The required single site no subdivision covenant described above for the non-contiguous subject site will ensure that all hotel rooms will remain under single ownership and will not be subdivided (including subdivision by way of strata-plan or air space parcels). To ensure commercial use of all hotel rooms, registration of a legal agreement on Title is required prior to rezoning adoption, ensuring that there are no cooking facilities in the individual hotel rooms. The hotel design includes a shared dining facility, which is permitted.

**CCAP Noise and Interface Management Policies**

The proposed development must address additional OCP noise and interface management policies, specifically ambient noise and commercial noise and other potential impacts of developing within the City Centre.

The commercial development site is within 30 m of existing non-conforming residential use. Registration of a noise covenant on Title is required before final adoption of the rezoning bylaw, to ensure any noise emanating from the commercial uses and mechanical equipment does not exceed noise levels allowed in the City's Noise Bylaw.

The development site is surrounded by properties with the same development potential as the subject site. Registration of a legal agreement on Title is required before final adoption of the rezoning bylaw, stipulating that the commercial development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.

**Floodplain Management Implementation Strategy**

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204 for Area "A". Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

**District Energy Utility Policy and Bylaws**

The proposed hotel development on the northern lot portion of the subject site will be designed to utilize energy from a District Energy Utility (DEU) when a neighbourhood DEU is implemented. Connection to the future DEU system will be secured with a legal agreement registered on Title prior to final adoption of the rezoning bylaw. The smaller proposed commercial development on the southern lot portion of the subject site will not be required to connect to the future DEU.

**Richmond Public Art Policy**

The proposed development is subject to the Richmond Public Art Policy. As the project is of a modest size and there are limited opportunities for locating Public Art on the site, the applicant is proposing to provide a voluntary contribution to the Public Art Reserve for City-wide projects on City lands. The contribution will be secured before rezoning adoption, based on the current contribution rate (\$25,665.98 calculated using the proposed floor area [58,331.8 ft<sup>2</sup> x \$0.44 /ft<sup>2</sup>]).



## **Public Consultation**

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant 1<sup>st</sup> reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing, where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

## **Analysis**

Staff have reviewed the proposed rezoning and find it is generally consistent with City objectives including, public and private infrastructure, land use, density, height, siting conditions, and community amenities.

## **Proposed Zoning Bylaw Amendment**

The proposed hotel and commercial uses are permitted by the CCAP. The proposed rezoning is consistent with the Bridgeport Village Specific Land Use Map, Urban Centre T5 (25 m) transect. A new site-specific zone is proposed for the development, the “Commercial (ZC45) – Bridgeport Village” zone. The proposed zone is tailored for the combined overall development site, containing non-contiguous portions of the site on the north and south sides of Douglas Street. The proposed zone includes provisions regulating the permitted commercial and office land uses, minimum floor area ratio (FAR) density for the southern portion of subject site, maximum 2.0 floor area ratio (FAR) density for the overall subject site, maximum 25 m building height, minimum net development site size for the overall subject site, siting parameters and parking. Rezoning considerations are provided (Attachment 5).

## **Site Servicing and Frontage Improvements**

City Utilities: The developer is required to enter into a Servicing Agreement for the design and construction of a variety of water, storm water drainage and sanitary sewer frontage works, including:

- Storm sewer upgrade on Douglas Road across frontage and extending to Sexsmith Road.
- Various frontage upgrades including fire hydrant relocation, street lighting, lane drainage and ditch infill to provide for pedestrian improvements and nworks transitioning to the west of the subject site on both north and south sides of Douglas Street.

A more detailed description of infrastructure improvements is included in the Rezoning Considerations (Attachment 5).

Private Utilities: Undergrounding of private utility lines and location of private utility equipment on-site are required.

## **Transportation and Site Access**

Transportation Network: The CCAP encourages completion and enhancement of the City street network. The following frontage improvements are required (Attachment 5):

- Douglas Road: Across the site frontages, the Douglas Road total Right-of-Way will be narrowed from existing 26 m width to the standard 20 m CCAP minor street width. The road will be enhanced to better accommodate vehicular traffic and on-street parking and the developer will provide new grass boulevards with street trees and sidewalks.
- Rear and Side Lanes: Road dedication and corner truncations are required be provided as part of the rezoning to widen the rear and side lanes to an interim 7.5 m CCAP width. Lanes will be upgraded with sidewalks adjacent to the site frontages, street lighting upgraded paving and drainage.

The proposal to narrow the Douglas Road roadway to the standard 20 m CCAP minor street width between Sexsmith Road and Smith Street through development applications has been reviewed and is supported by Transportation, Engineering, Parks, Real Estate Services and Development Applications staff. A more detailed description of the required road closure, purchase and consolidation associated with the subject development site is included in the Rezoning Considerations (Attachment 5).

Road dedication, road enhancement and all other works will be the sole responsibility of the developer and are not eligible for DCC credits.

Site Access On-site: Vehicular access will be provided to the hotel building on the north side of Douglas Street via a one-way entry driveway connecting to the north-south lane, and a second one-way exit driveway connecting to the east-west lane. Vehicular access will be provided to the commercial building on the south side of Douglas Street via a single driveway connecting to the north-south lane. Proposed truck access and loading is consistent with the provisions of the Richmond Zoning Bylaw. On-site design will be the subject of further review during the Development Permit review process.

Vehicle Parking On-site: Transportation Department staff support the parking proposal.

The proposed parking rate is consistent with the parking provisions of the Richmond Zoning Bylaw (City Centre Zone 1).

In accordance with the Zoning Bylaw 8500, the parking proposal includes a 10 percent reduction based on the provision of the following Transportation Demand Management (TDM) measure as a requirement of rezoning:

- Design and construction via Servicing Agreement of interim 1.5 m wide asphalt walkway along the north side of Douglas Street from the west property line of the subject site connecting to existing sidewalk to the west (i.e., across the frontages of 8811, 8831 and 8851 Douglas Street), or should that work be secured through adjacent development, then construction of an interim 1.5 m wide asphalt walkway along the south side of Douglas Street from the west property line of the subject site connecting to existing sidewalk to the west (i.e., across the frontages of 8820, 8860, 8880, 8900, 8920 and 8940 Douglas Street).

The proposal includes a total of 45 on-site parking spaces, with 38 parking spaces located behind the hotel building on the north side of Douglas Street and 7 parking spaces located behind the commercial building on the south side of Douglas Street.

Truck Loading On-site: One medium size loading space will be provided for the proposed hotel development, which is consistent with the loading provisions of the Richmond Zoning Bylaw.

Bicycle Parking On-site: The proposed bicycle parking rates are consistent with the parking provisions of the Richmond Zoning Bylaw. The detailed design of secure class 1 storage and short-term class 2 bicycle racks will be the subject of further review during the Development Permit review process.

The proposal includes a total of 16 class 1 secure storage spaces and 19 class 2 rack spaces, with 15 class 1 and 15 class 2 spaces located at the hotel building on the north side of Douglas Street and 1 class 1 and 4 class 2 spaces located at the commercial building on the south side of Douglas Street.

### **Built Form and Architectural Character**

The CCAP includes a variety of policies intended to shape development to be liveable, functional and complementary to the surrounding public and private realm. Those policies most applicable to the development concept at the rezoning stage are reviewed below.

Massing Strategy: The massing of the proposed development is generally consistent with the urban design objectives of the CCAP mid-rise commercial reserve Sub-Area A.3 and is arranged to address the site's configuration, specific constraints (non-contiguous larger and smaller portions of the site), urban design opportunities (lane edge location) and combination of uses (hotel and commercial). There is one full height main hotel building with a single-storey height podium on the north side of Douglas Street and one single-storey commercial building on the non-contiguous portion of the site on the south side of Douglas Street.

Adjacencies: The relationship of the proposed development to adjacent public and private properties is assessed with the intent that negative impacts are reduced and positive ones enhanced. Both the northern and southern portions of the site are surrounded on three sides by Douglas Street, east-west rear lane and north-south side lane, which mitigates potential impacts on both the surrounding public realm and surrounding private development. The north portion of the site also abuts an adjacent site, which is one of four adjacent properties under single ownership that are currently under review for redevelopment potential (RZ 16-740020). The southern portion of the site also abuts an adjacent potential site of five adjacent properties and the applicant has provided conceptual drawings demonstrating the potential for future redevelopment of the five properties together. Further to the west are existing parking lots for the two nearby hotels fronting Bridgeport Road and Sexsmith Road.

Living Landscape: The CCAP looks to development to support ecological function in City Centre through the creation of an interconnected landscape system. Further review of the landscape design will occur through the Development Permit and Servicing Agreement processes and is anticipated to contribute to the ecological network, including:

- Provision of street trees on the Douglas Street frontage.

- Provision of landscaped roof area.

Greening of the Built Environment: The proposed development will be designed to achieve a sustainability level equivalent to the Canada Green Building Council LEED Silver certification.

Development Permit: Through the Development Permit Application process, the form and character of the proposed development will be assessed against the expectations of the Development Permit Guidelines, City bylaws and policies. The detailed building and landscape design will be the subject of further review during the Development Permit review process, including the following features.

- **Form and Character:** The design will be further detailed to provide massing, height and façade expression, and active street frontages.
- **Parking and Loading:** The design and draft functional plan, including truck manoeuvring, will be further detailed.
- **Waste Management:** The waste management plan, including storage and collection of garbage, recycling and organic waste will be further detailed.
- **Rooftop Equipment:** Rooftop mechanical equipment and building mounted telecom equipment can be unsightly when viewed from the ground and from surrounding buildings. To prevent diminishment of both the architectural character and the skyline, a more detailed design strategy, a detailed design strategy for rooftop equipment/enclosures is required.
- **Crime Prevention through Environmental Design (CPTED):** The City has adopted policies intended to minimize opportunities for crime and promote a sense of security. A CPTED checklist and plans demonstrating natural access, natural surveillance, defensible space and maintenance measures will be reviewed.
- **Accessibility:** The proposed development will be required to provide good site and building accessibility. Design implementation will be reviewed.
- **Sustainability:** Integration of sustainability features into the site, building, and landscape design will be reviewed within the Development Permit process.

### **Tree Retention and Replacement**

The applicant has submitted a Certified Arborist's Report; which identifies on-site tree species, assesses tree structure and condition, and provides tree removal recommendations relative to the proposed development. The Report assesses one bylaw-sized tree on the subject site, specifically a multi-stemmed Cherry tree (0.6 m DBH) located on 8960 Douglas Street. There are no trees on neighbouring properties and no street trees on City property adjacent to the subject site's proposed northern lot or southern lot.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the Arborist's findings as the tree is in fair condition but will be in conflict with the proposed development. This tree is required to be removed and replaced. Tree replacement will be addressed as part of the required Development Permit.

**Financial Impact or Economic Impact**

To facilitate the narrowing of Douglas Street and the subject rezoning application proposal, the applicant proposes to acquire portions of the Douglas Street road allowance for inclusion in the applicant's development site frontages on the north side of Douglas Street and the south side of Douglas Street. The total approximate area of City lands proposed to be included in the development site is 229.7 m<sup>2</sup> (2,472.5 ft<sup>2</sup>). As identified in the attached rezoning considerations (Attachment 5), the applicant is required to enter into a purchase and sales agreement with the City for the purchase of the lands, which is to be based on the business terms approved by Council. The primary business terms of the purchase and sales agreement, and road closure bylaw with respect to the portions of Douglas Road allowance, will be brought forward to Council in a separate report from the Senior Manager, Real Estate Services.

**Conclusion**

The application by 0951705 BC Ltd. to rezone the properties at 8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street in order to develop a medium-density development with a hotel building and a commercial building is consistent with City objectives as set out in the OCP, CCAP and other City policies, strategies and bylaws. The proposed commercial uses will activate the Douglas Street frontages and will support future development in Bridgeport Village. The built form of the hotel will provide a strong identity for the location, the built form of the commercial building will provide a transition to future development to the west, and public realm enhancements will improve the pedestrian experience for this emerging pedestrian-oriented retail precinct. Engineering and transportation improvements, along with voluntary contributions for Public Art and community planning, will help to address a variety of community development needs.

It is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9815 be introduced and given first reading.



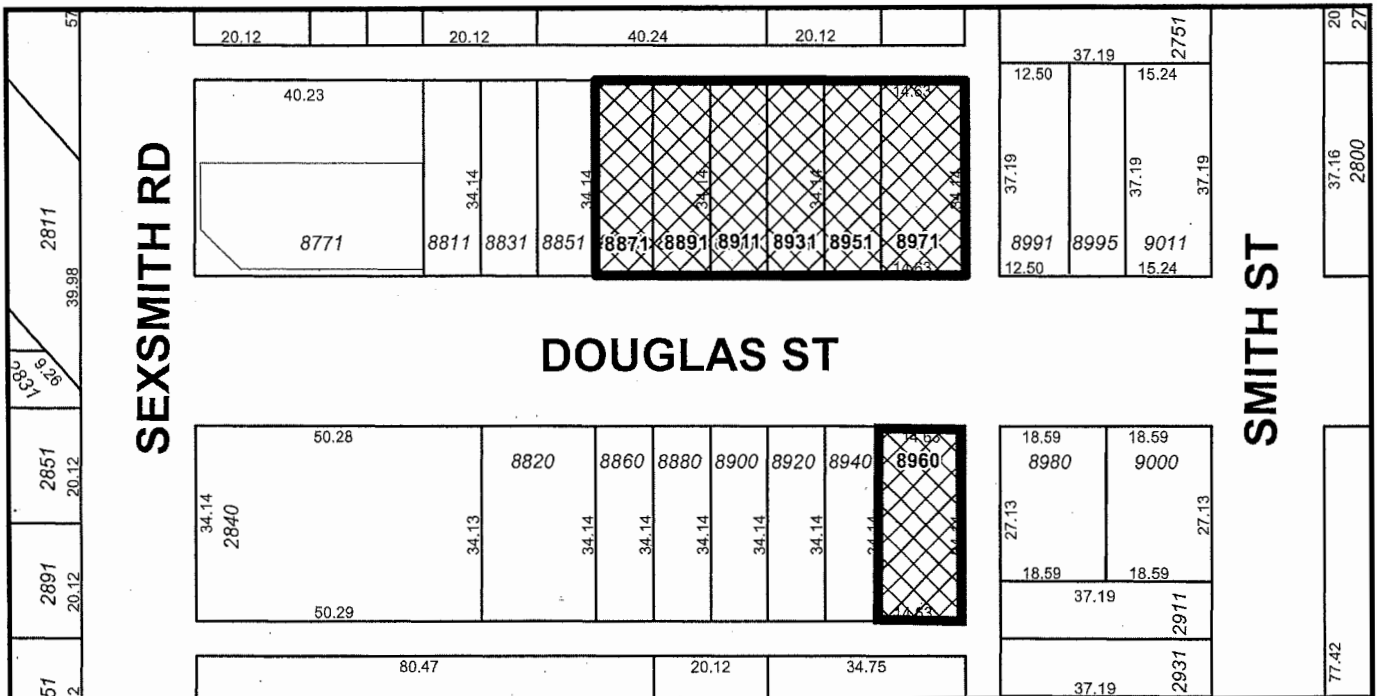
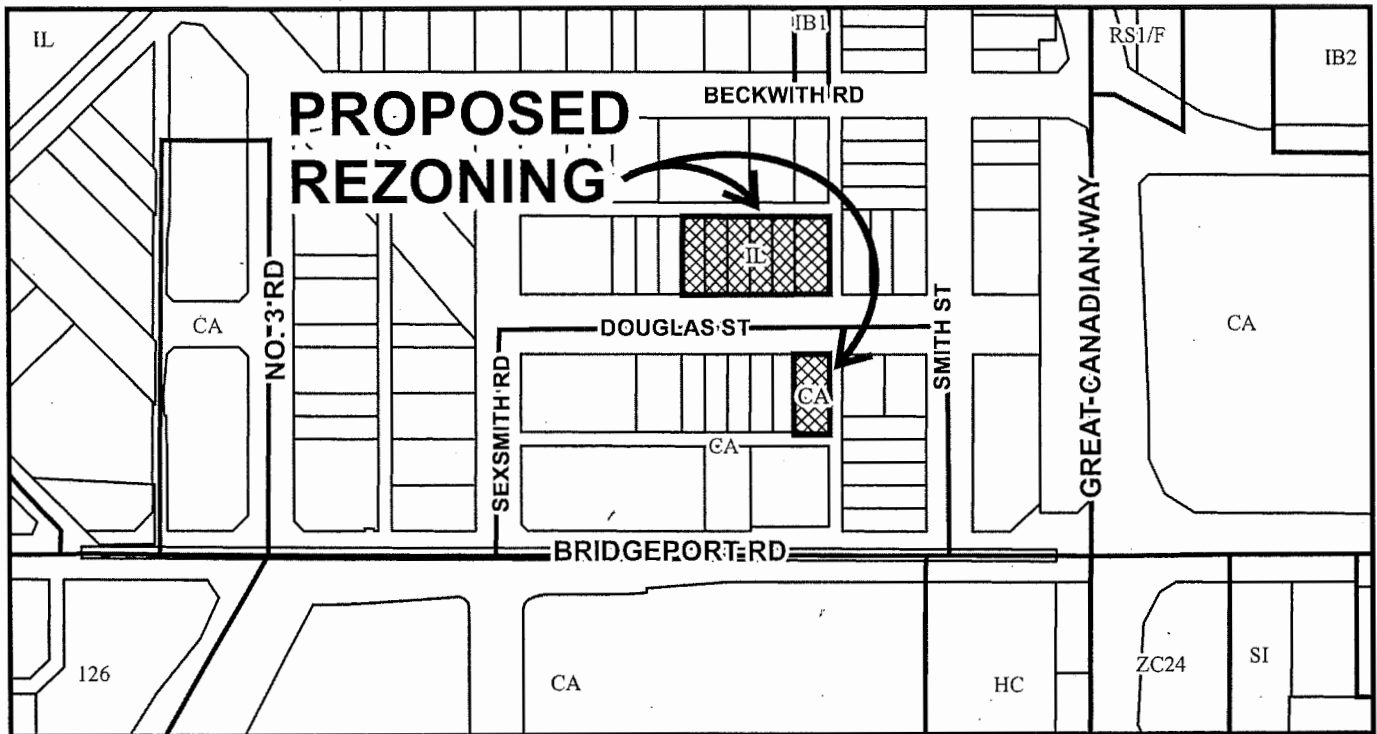
Sara Badyal  
Planner 2

SB:rg

- Attachment 1: Rezoning Location Map and Aerial Photograph
- Attachment 2: Rezoning Conceptual Development Plans
- Attachment 3: Development Application Data
- Attachment 4: City Centre Bridgeport Village Specific Land Use Map
- Attachment 5: Rezoning Considerations (with Draft Functional Plan)



City of  
Richmond



RZ 15-704980

Original Date: 07/30/15

Revision Date: 12/12/17

Note: Dimensions are in METRES





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Richmond



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A-1.00	PROJECT STATISTICS
A-1.01	SITE CONTEXT
A-1.02	DESIGN RATIONALE & LEED CHECKLIST
A-1.03	ENVIRONMENTAL STUDY
A-1.04	COMBINED SITE PLAN
A-1.05	SITE PLAN (HYATT PLACE)
A-1.06	SITE PLAN (8960 DOUGLAS)
A-1.07	SURVEY

HYATT PLACE (8871 DOUGLAS STREET)

A-3.01	LEVEL 1 FLOOR PLAN
A-3.02	LEVEL 2 FLOOR PLAN
A-3.03	LEVEL 3 FLOOR PLAN
A-3.04	LEVEL 4 FLOOR PLAN
A-3.05	LEVEL 5 FLOOR PLAN
A-3.06	LEVEL 6 FLOOR PLAN
A-3.07	ROOF PLAN
A-3.08	UNIT PLANS
A-3.09	SECTION A-A
A-3.10	SECTION B-B
A-3.11	SECTION C-C
A-3.12	SECTION D-D
A-3.13	SECTION E-E
A-3.14	SECTION F-F
A-3.15	SECTION G-G
A-3.16	SECTION H-H
A-3.17	SECTION I-I
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A-8.23	SECTION UU-UU

## 1980

**THE AIR-CHIEF**  
109 EAST 17TH AVENUE  
VANCOUVER CANADA V6T 1M4  
TEL 604 756 1166 F 604 771 3279  
B66-AIRCHIE@CIC.MIL

**PLOT INFO:**

LOT COVERAGE - 42%

LEVEL	LOUNGE/ MEETING RMS FOR EXCLUSIVE USE OF HOTEL GFA [SF]	HOTEL GFA [SF]	EXCLUSIONS [SF]	FAR AREA [SF]	FAR AREA [m <sup>2</sup> ]	SUITE MIX QD KING % Q TUBS	TOTAL GUEST ROOMS (#)
L1	3,787	3,787	7,422	690			
L2	3,635	11,323	1,016	10,307	958	9	18
L3		11,491	362	11,129	1,034	11	23
L4		11,491	362	11,129	1,034	11	23
L5		11,491	362	11,129	1,034	11	23
L6	6,003	549	5,454	507	5	5	10
TOTAL	3,635	55,984	3,317	54,670	5,254	47	97

TOTAL FAR AREA	2.00	58,245 sf	5411 m2
(8871 Douglas + 8960 Douglas)			
FAR ALLOWED (OCP)	2.00	58,382 sf	5,424

USE	CLASS	FORMULA	REQUIRED	PROVIDED
HOTEL	CLASS 1	AREA *0.27/100m <sup>2</sup>	14.19	15.00
	CLASS 2	AREA *0.27/100m <sup>2</sup>	14.19	15.00

1. Numbers in brackets have been rounded up as per City of Richmond Zoning & Development Bylaw Part 7

\* Refer to TDM Study for rationale behind reduced loading space provision.

## 6.19% 67.27%

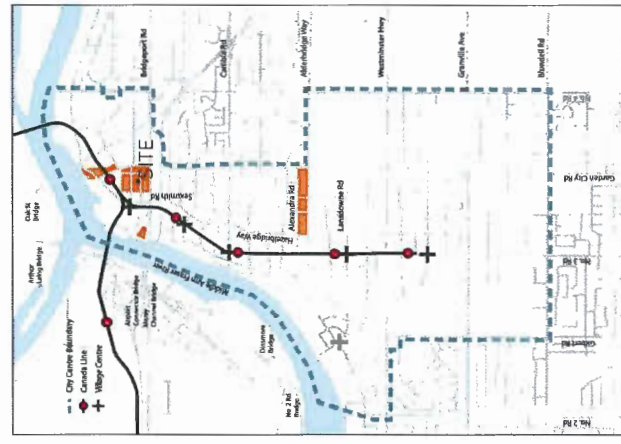
SITE	REQUIRED	PROVIDED
8871 DOUGLAS	30.00	30.00
8960 DOUGLAS	2.00	5.00
TOTAL	32.00	35.00

## 1471

A-1.00

TEL: 403.275.1234  
 FAX: 403.275.1235  
 1000 UNIVERSITY AVENUE, SUITE 100  
 CALGARY, ALBERTA T2C 1P5  
 WWW.GBLARCHITECTURE.COM

CITY CENTRE AREA PLAN CONTEXT  
 SUB AREA A.3



SITE CONTEXT AERIAL VIEW

PH - 90

SITE CONTEXT PHOTOGRAPHS



VIEW EAST ON DOUGLAS STREET TOWARDS SITE



VIEW EAST ON DOUGLAS STREET TOWARDS SITE

DOUGLAS STREET VIEW NORTH



DOUGLAS STREET VIEW NORTH



8871 DOUGLAS ST +  
 8960 DOUGLAS ST  
 RICHMOND BC

HYATT PLACE - HOTEL DEVELOPMENT

STATISTICS &  
 SITE CONTEXT

DATE	SEP 11, 2017
BY	DE
CHECKED BY	NTS
SCALE	1:447
JOB NUMBER	1447

A-1.01



## Site Content

The project sustainability goals are to provide a cost-effective high value development that meets or exceeds the City of Richmond's sustainability requirements. The strategies being explored will be collaboratively developed through:

- An integrand design process
- Designing towards LFED Silver equivalency
- Building simulations for energy analysis

Throughout design development the possible credits will be evaluated for achievability and environmental benefit and selected as appropriate. At least 32 credits have been identified as potential for achievement during the course of construction. Pending design development, the anticipated targeted credits may be different than those indicated in the attached draft concept.

**Credit Categories**

Strategies are summarized below, grouped by LEED credit categories.

**Sustainable Sites**

- Medium density and the development located in an area that provides residents with pedestrian access to a variety of amenities.
- Choices of transportation options including public transit stops adjacent to the site (Corrala Line is adjacent station is within 400m of the development).

- Medium density end-use development located in an area that provides residents with pedestrian access to a variety of services.
- Choice of transportation options including public transit stops adjacent to the site Corridor. Use of light-rail station within 50% of the development.
- Provision of electric vehicle charging stations with 50% of parking spaces.
- Provision of secured, below-ground storage for residents. Outdoor bike racks and bicycle repair stations.
- Vegetated roof surfaces and landscaped outdoor spaces contribute to a reduction of urban heat island effect and slow down the stormwater runoff at the site.
- Energy-efficient buildings will be designed using full-spectrum natural and low-volatility

- Provision of high efficiency irrigation system, moisture sensors and drought tolerant native and non-invasive introduced species

- Dual flush type water closet
- Low flow shower (5.7 L/min)
- Low flow kitchen faucet (5.7 L/min)

**Energy and Atmosphere**

– The project is targeting 8 energy points, which will be confirmed through a whole building energy model.

a. The project is "DRIET ready," that is the project is capable to be converted to the City's "District Energy Utility" system when it becomes available.

- The project is a "design-build" project, which was a combination of engineering and construction, including some EPC elements.
- The project is a "2D/3D" study, that is the project is capable to be converted to the City's "District Energy Utility" system when it becomes available.
- All Performance based will be variable speed type to minimize energy consumption.
- District pumps will also be a variable speed control to save energy consumption.

**Materials & Resource**

- Storage and collection of paper, cardboard, glass, plastic and metals and reusable organics
- Materials of construction waste with a minimum diversion goal of 80%

**Performance rates to materials with records / national average**

- Materials:
  - concrete: water, sand, aggregate, admixtures, pigments, etc.
  - steel: reinforcement bars, pipes, etc.
- Fabrication:
  - concrete: cast-in-place with a minimum duration goal of 70%.
  - steel: precast or materials with recycled / regional content.
- **Performance / Environmental Quality:**
  - behavior: all quality will be managed through construction and post-in occupancy
  - interior design to use low-emitting adhesives, sealants, paints and coatings
  - low-emitting / low-carbon certified hard surface flooring and Green Label Plus carpets will be specified
  - Exploring and views will be maintained for all flooring

- Low mercury lighting
- Public transit access with frequency greater than 200 trips per day
- 5% of parking spaces will be equipped with 120V plug-in (3% required by LEED)
- LEED Accredited Professional as a team member

- Public transit access with frequency greater than 200 stops per day
- 5% of parking spaces will be equipped with 200V plug-ins (5% required by LEED)

- Construction waste management
- Planning future efficiency
- Development density

- Construction waste management
- Plumbing fixture efficiency
- Development density

Crime Prevention Through Environmental Design	Design Solution
1	Entrances to underground parking from the street is protected by overhead gates with security light activation.
2	Well lit parking areas with use of white paint throughout to enhance brightness and security.
3	Secured garbage/recycling, storage and lock rooms.
4	Secured storage areas for maintenance equipment and materials.
5	Maintained visibility around rear end-courtyard.
6	Covered areas of the entrance stairwell will be well lit and reinforced with safety grating panels with sliding doors.
7	Stairing in all walk-in stores and enclosed corridors.
8	Stairing in all walk-in stores and enclosed corridors.
9	Landscaping buffer to perimeter for security and fire protection.

- |   |  |
|---|--|
| 1 | Entrances to underground parking from the street to be protected by overhead gates with security light illumination. |
| 2 | Well lit parking areas with area of vehicle piled through to enhance brightness and security.                        |
| 3 | Secured garbage/recycling storage and toilet rooms.  |
| 4 | Electronic security features to provide ability to limit and control access.   |
| 5 | Maintainability of existing roof and corridors.  |
| 6 | Concrete finish of the entrance area will be well lit and finished with high quality gravel paved walk, landing.     |
| 7 | Entrance area will be well lit and finished with high quality gravel paved walk, landing.                            |
| 8 | Additional security measures in sub areas of certificate of occupancy for crime - door signs.                        |
| 9 | Landscaping buffer to provide for the appearance of the building.  |

**Sustainability**

This project will be targeting LEED Silver equivalent level, as required by the CCAP. A preliminary LEED checklist is submitted with this application. Some of the sustainable features are as follows:

**G** The site is centrally located and close to transit and services.

- [illegible]

**Materials**

**Milvina galls complex**

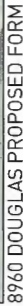
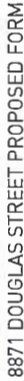
1. *Aspilota* sp. (complex of several localities, including under apple leaves)

- | Selected patient categories                          | Artificial and controls at select locations - laboratory/sterile walk-in/cleanroom |
|--|--|
| Glove sticks   | 0  |
| Glove sticks   | 0  |
| Control sticks with insulated glass separated joints | 0  |
| Double gloved PVC visitors                           | 0  |
| Light grey metal panel                               | 0  |
| Showering with metal roof                            | 0  |
- Sanctuary

This project will be targeting LEED Silver equivalent level as required by the CCAP. A preliminary LEED checklist is submitted with this application. Some of the sustainable features are as follows:

- The site is centrally located and close to transit and services.

- [illegible]





GBL ARCHITECTS  
1000 WEST 10TH AVENUE  
VANCOUVER, BRITISH COLUMBIA V6H 1T5  
TEL: 604-681-1234  
FAX: 604-681-1235  
WWW.GBLARCHITECTS.COM

PROJECT: 8871 DOUGLAS ST + 8940 DOUGLAS ST  
RICHMOND, BC  
CLIENT: HYATT PLACE - HOTEL DEVELOPMENT  
DATE: 10/27/2017

DESIGNER: GBL ARCHITECTS  
CHECKED BY: [Signature]  
SCALE: 1/8" = 1'-0"

DATE: 10/27/2017  
BY: [Signature]  
REVISION: 1.0

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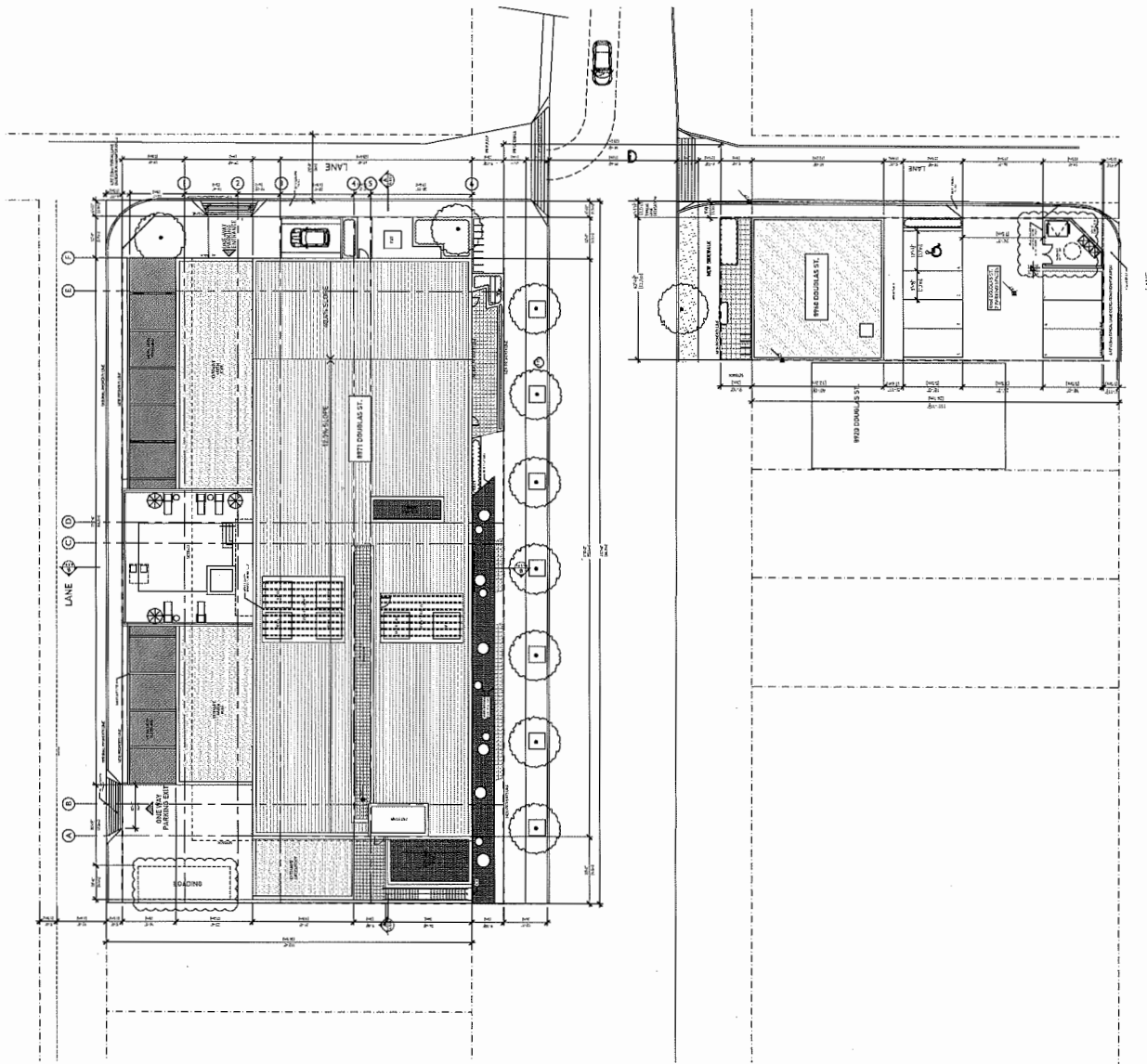
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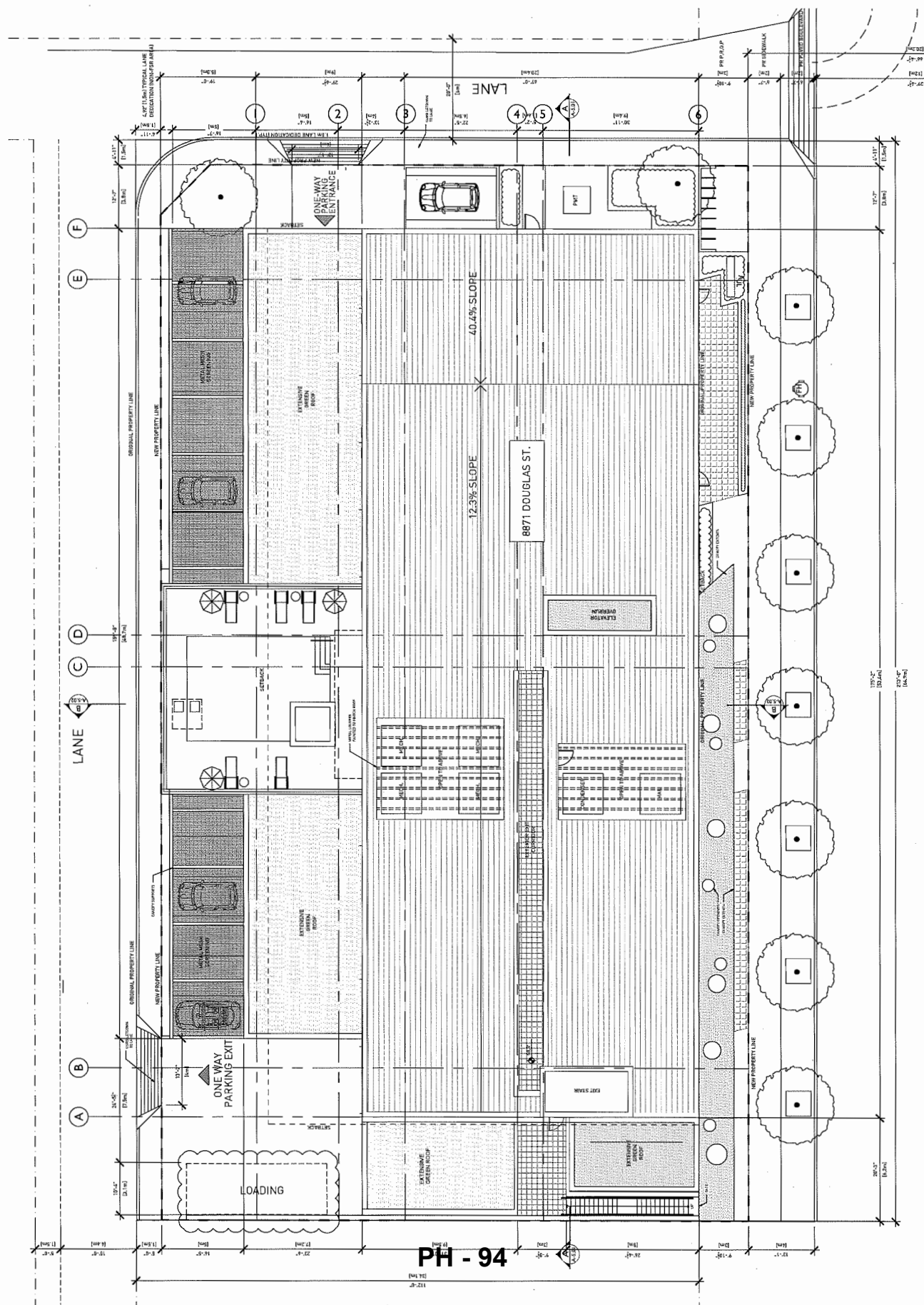
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RICHMOND BC

HYATT PLACE - HOTEL DEVELOPMENT

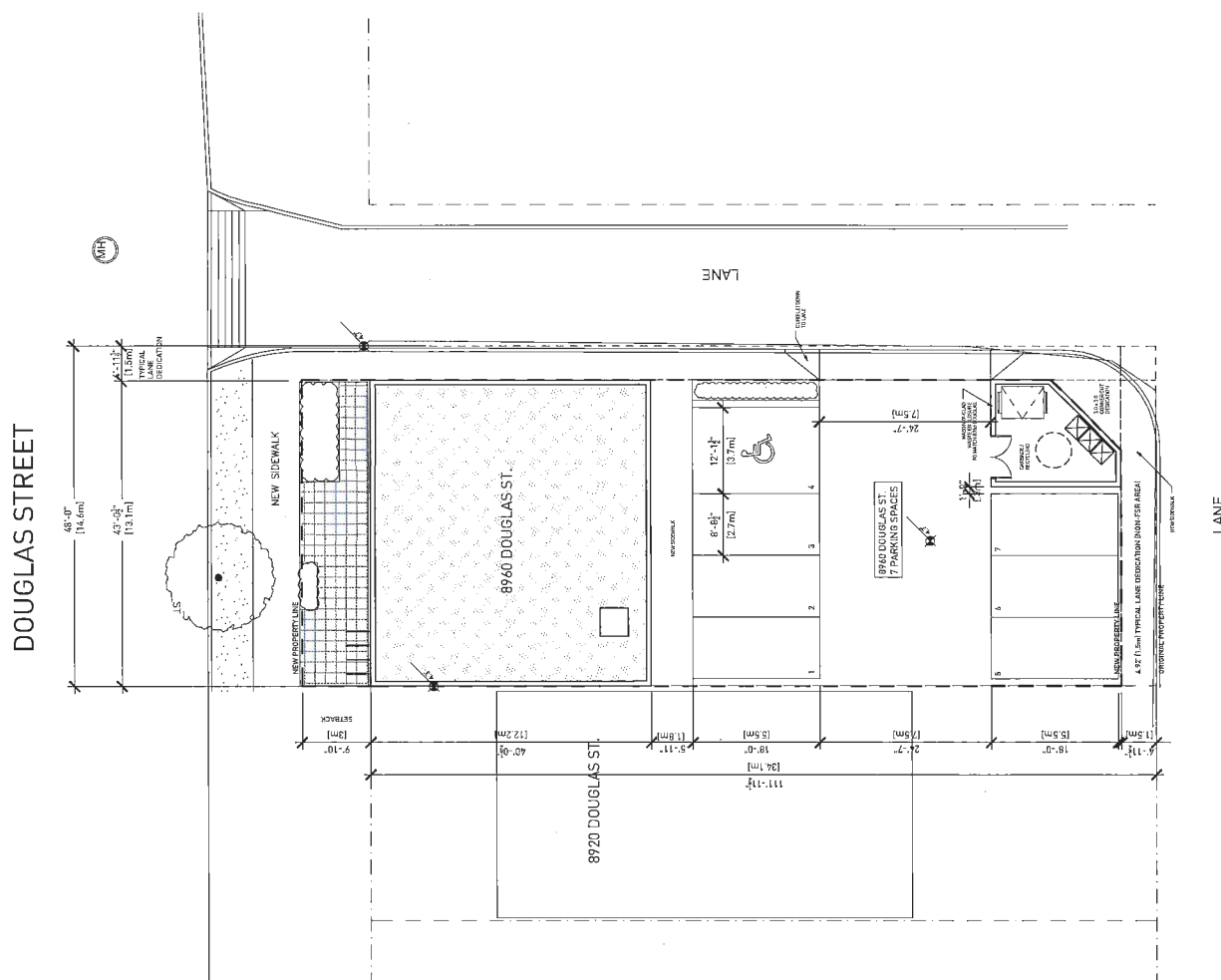
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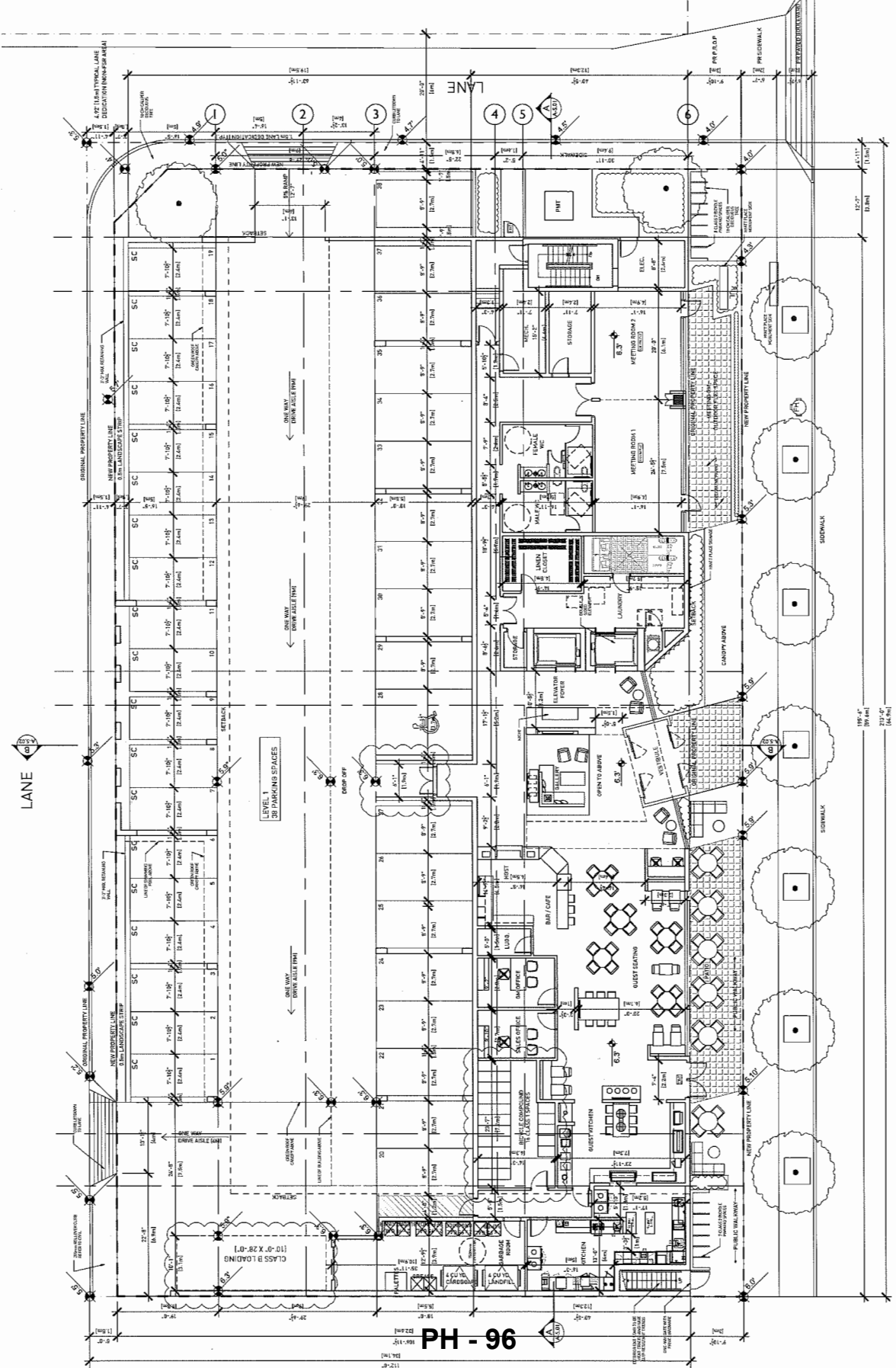
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A-1.04



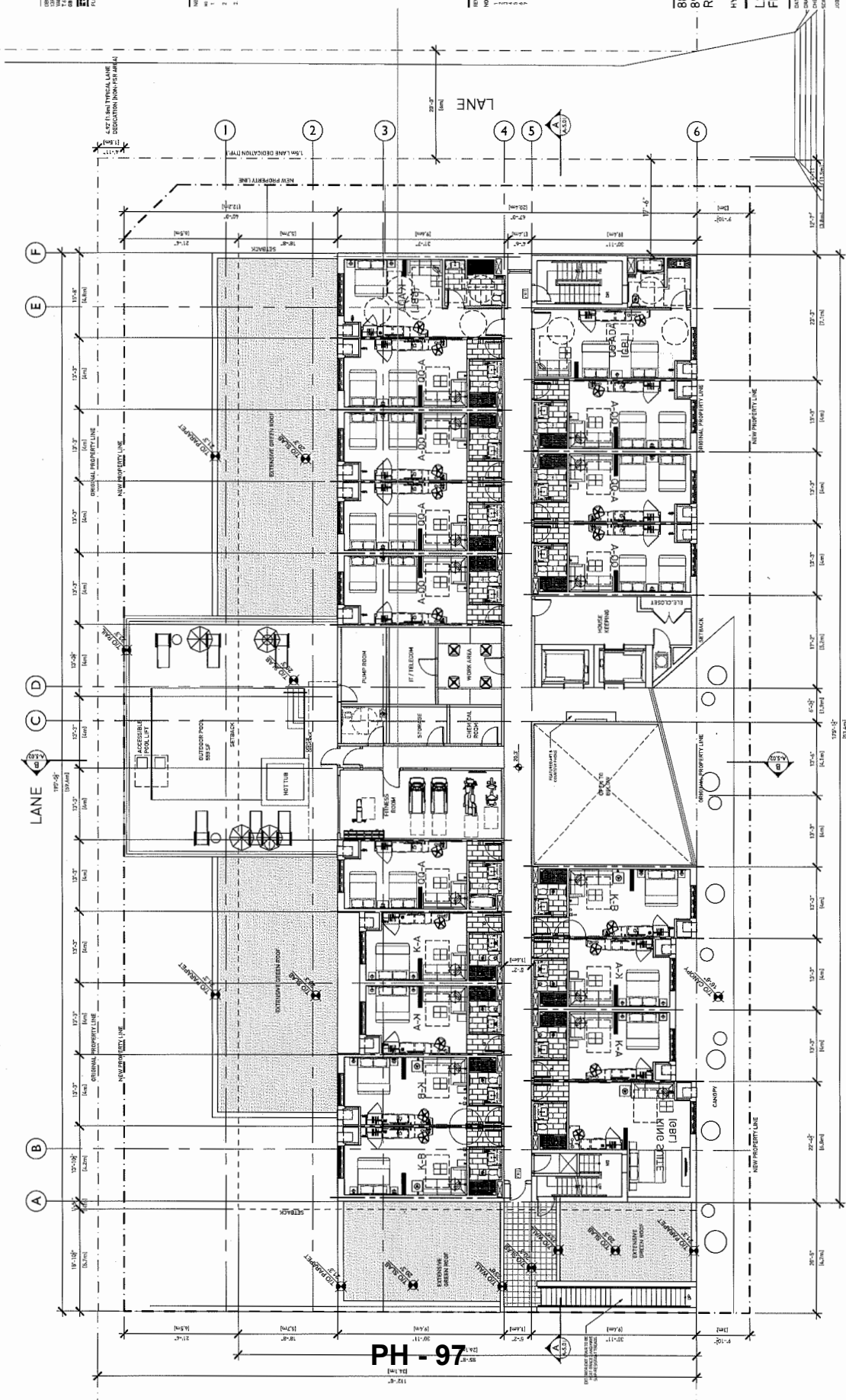


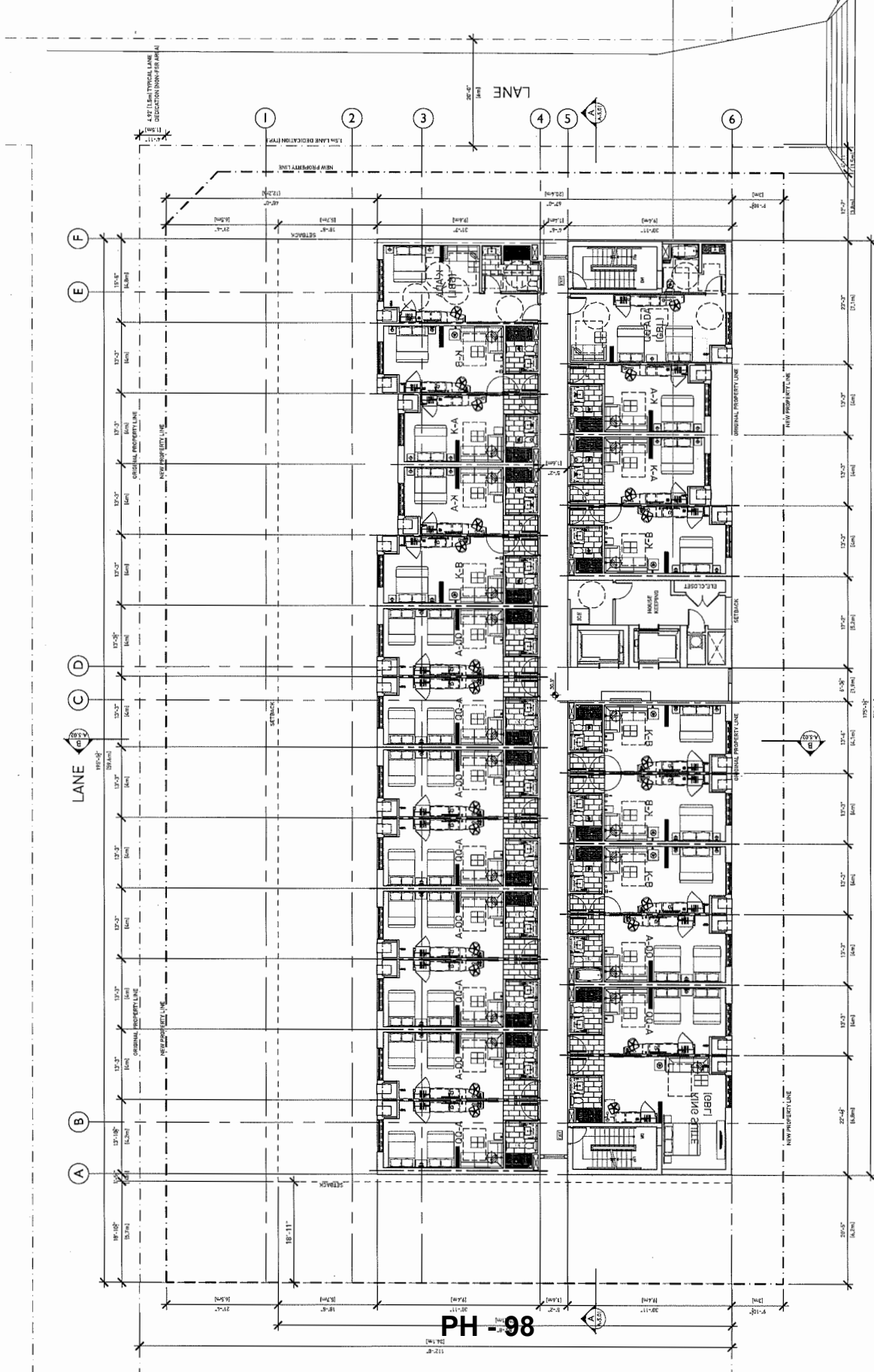




PH - 96

DOUGLAS STREET





ON ARCHITECTURE  
 1000 WEST 10TH AVENUE  
 SUITE 1000  
 DENVER, COLORADO 80202  
 TEL: 303.733.1000  
 WWW.GPIARCHITECT.COM

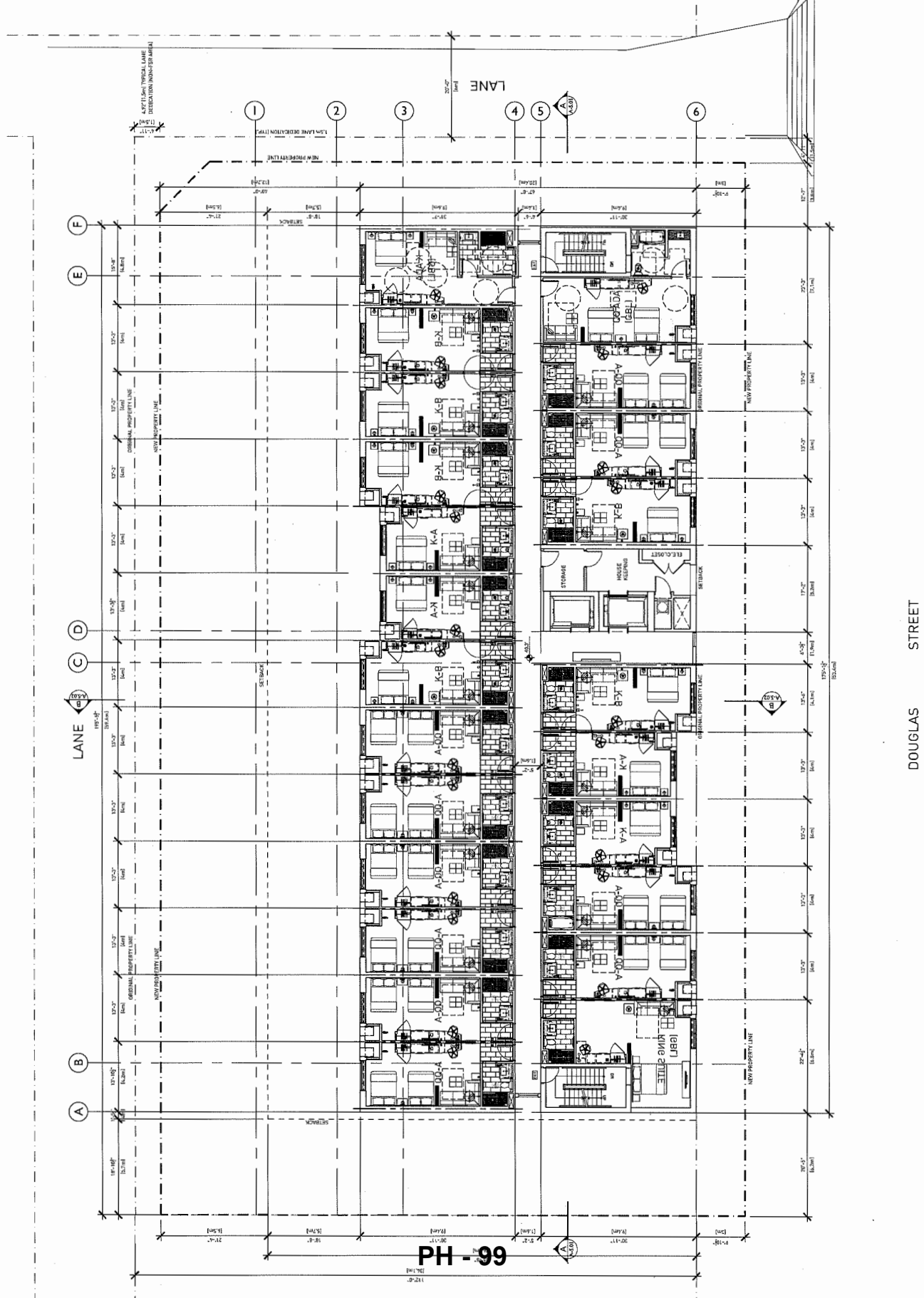
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 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

REVISIONS  
 NO. DATE  
 1 10/15/13  
 2 10/15/13  
 3 10/15/13  
 4 10/15/13  
 5 10/15/13



8871 DOUGLAS ST +  
 8960 DOUGLAS ST  
 RICHMOND BC  
 HYATT PLACE - HOTEL DEVELOPMENT

L4 FLOOR PLAN  
 SHEET NO. 1001  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 SCALE: 1/4" = 1'-0"  
 JOB NUMBER: 1447



A-3.04

GBL ARCHITECTS  
1000 WEST 10TH AVENUE  
VANCOUVER, CANADA V6H 1T8  
TEL: 604.681.1111  
WWW.GBLARCHITECTS.COM  
PLOT 100

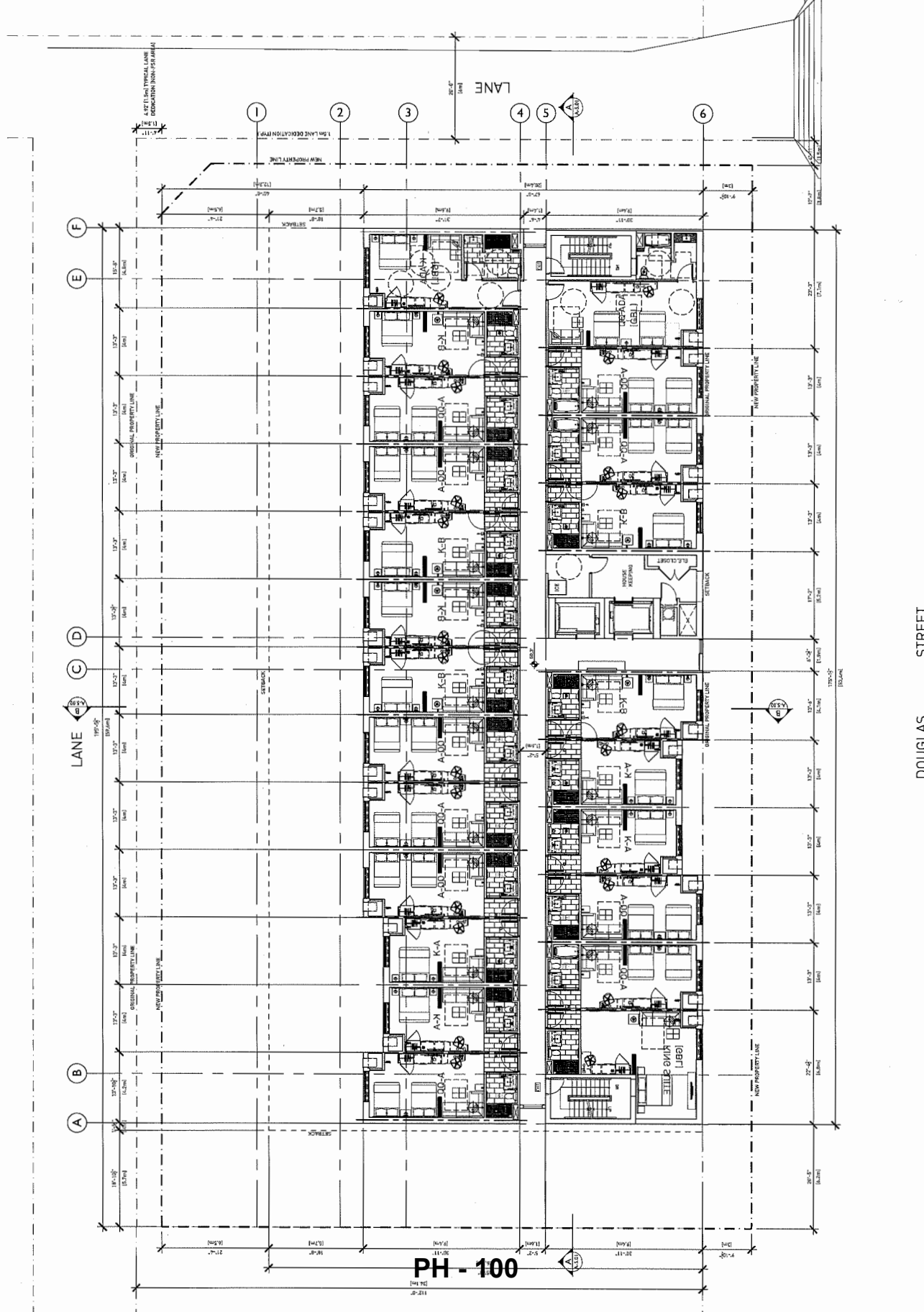
NOTES  
1. SEE SHEET 101 FOR CONSTRUCTION DETAILS  
2. SEE SHEET 102 FOR CONSTRUCTION DETAILS  
3. SEE SHEET 103 FOR CONSTRUCTION DETAILS  
4. SEE SHEET 104 FOR CONSTRUCTION DETAILS  
5. SEE SHEET 105 FOR CONSTRUCTION DETAILS  
6. SEE SHEET 106 FOR CONSTRUCTION DETAILS  
7. SEE SHEET 107 FOR CONSTRUCTION DETAILS  
8. SEE SHEET 108 FOR CONSTRUCTION DETAILS  
9. SEE SHEET 109 FOR CONSTRUCTION DETAILS  
10. SEE SHEET 110 FOR CONSTRUCTION DETAILS

REVISIONS  
NO. DATE  
1. 10/10/2017  
2. 10/10/2017  
3. 10/10/2017  
4. 10/10/2017  
5. 10/10/2017  
6. 10/10/2017  
7. 10/10/2017  
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9. 10/10/2017  
10. 10/10/2017

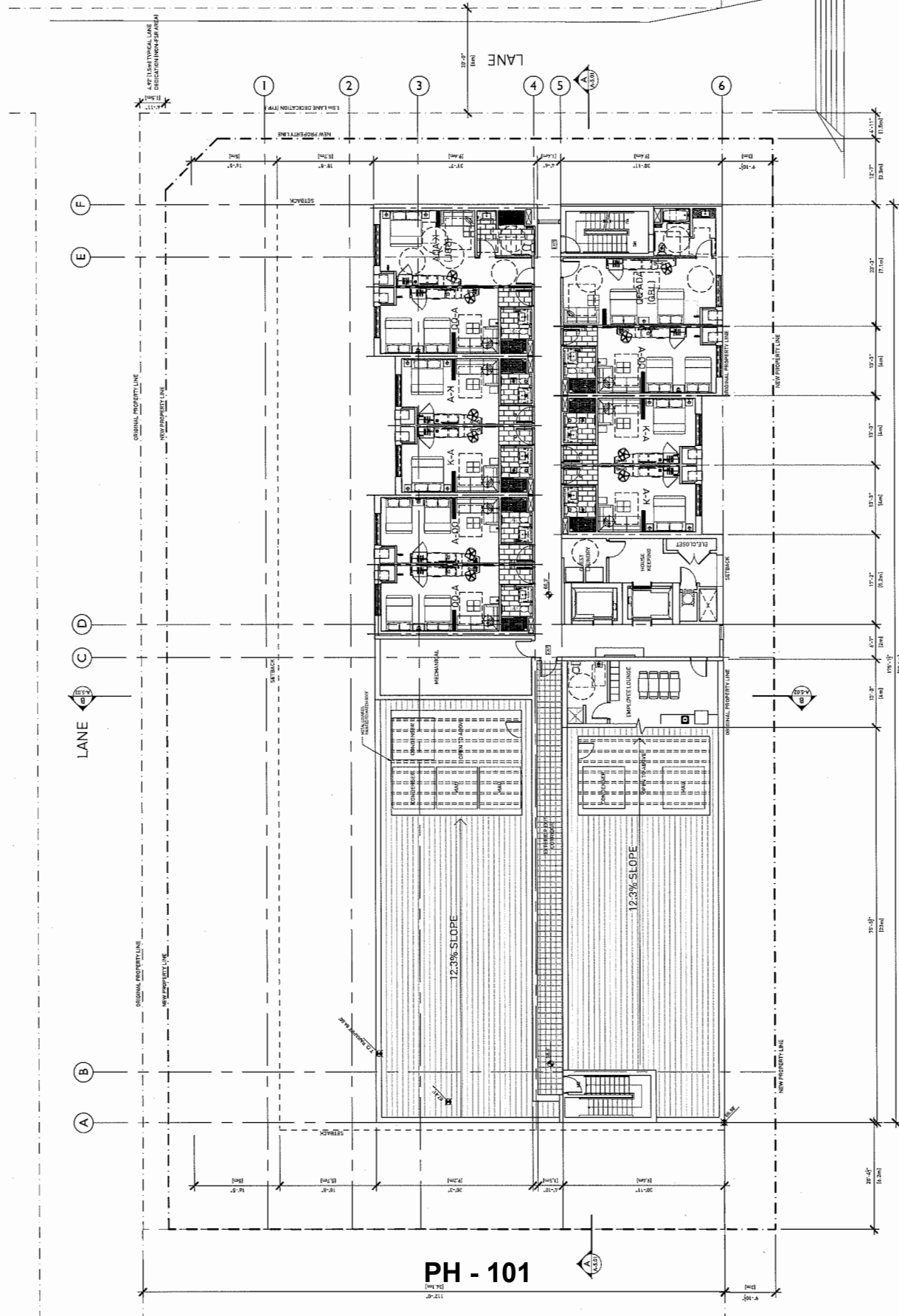
8871 DOUGLAS ST +  
8960 DOUGLAS ST  
RICHMOND BC  
HYATT PLACE - HOTEL DEVELOPMENT

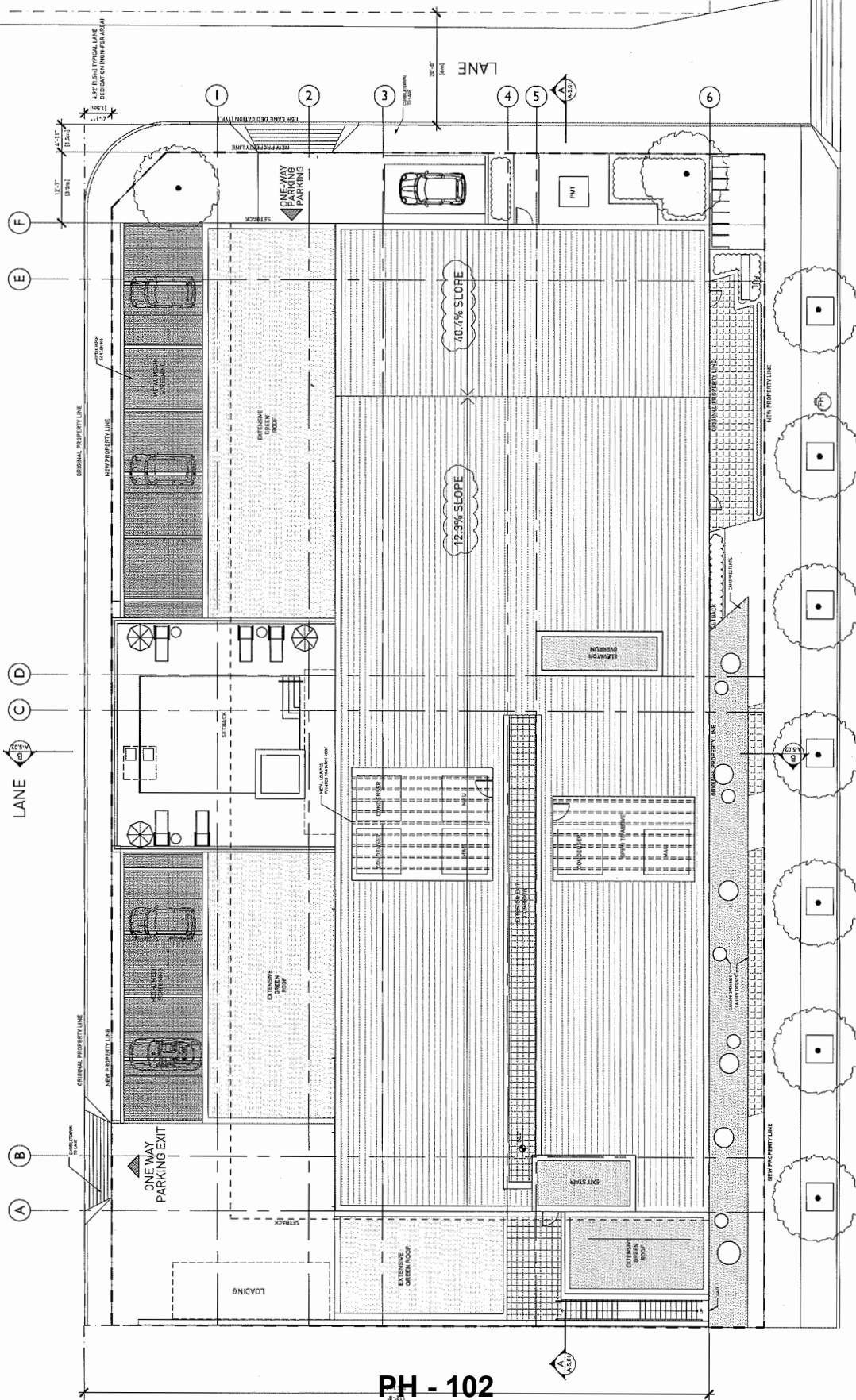
L5 FLOOR PLAN  
DATE: 10/10/2017  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/4" = 1'-0"  
JOB NUMBER: 1447

A-3.05

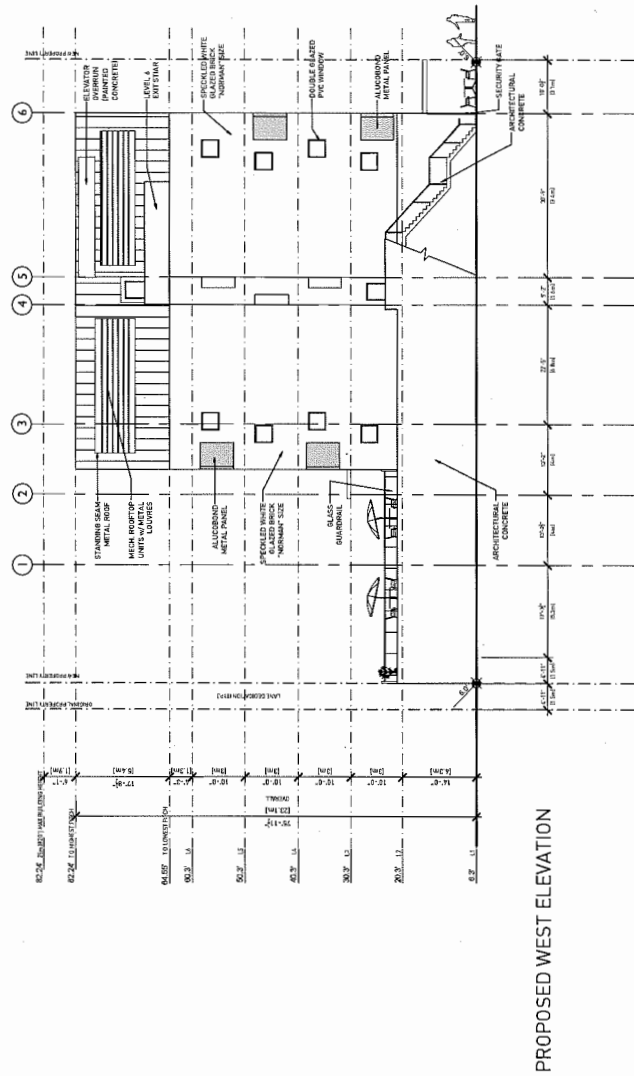
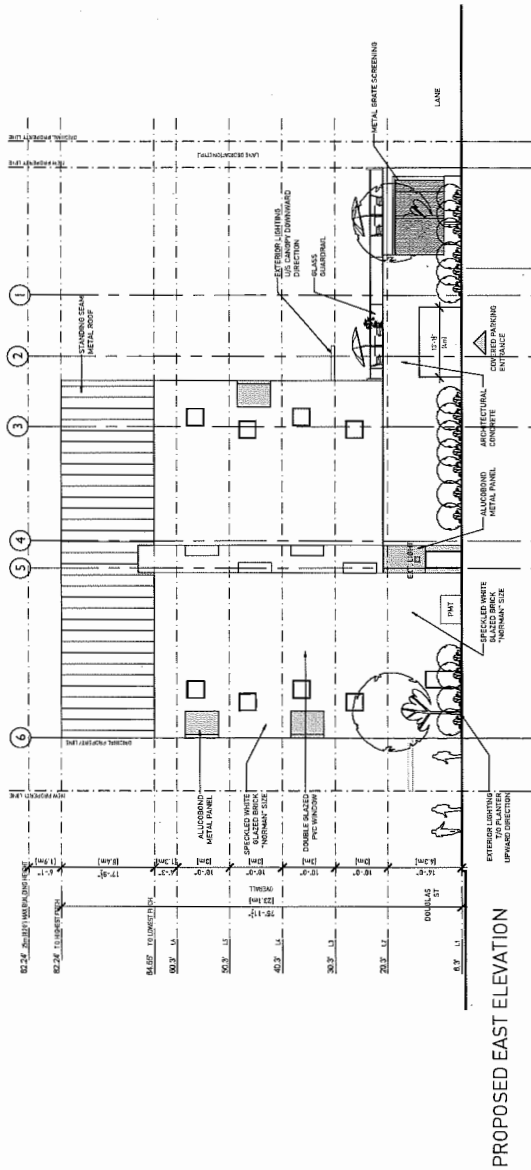


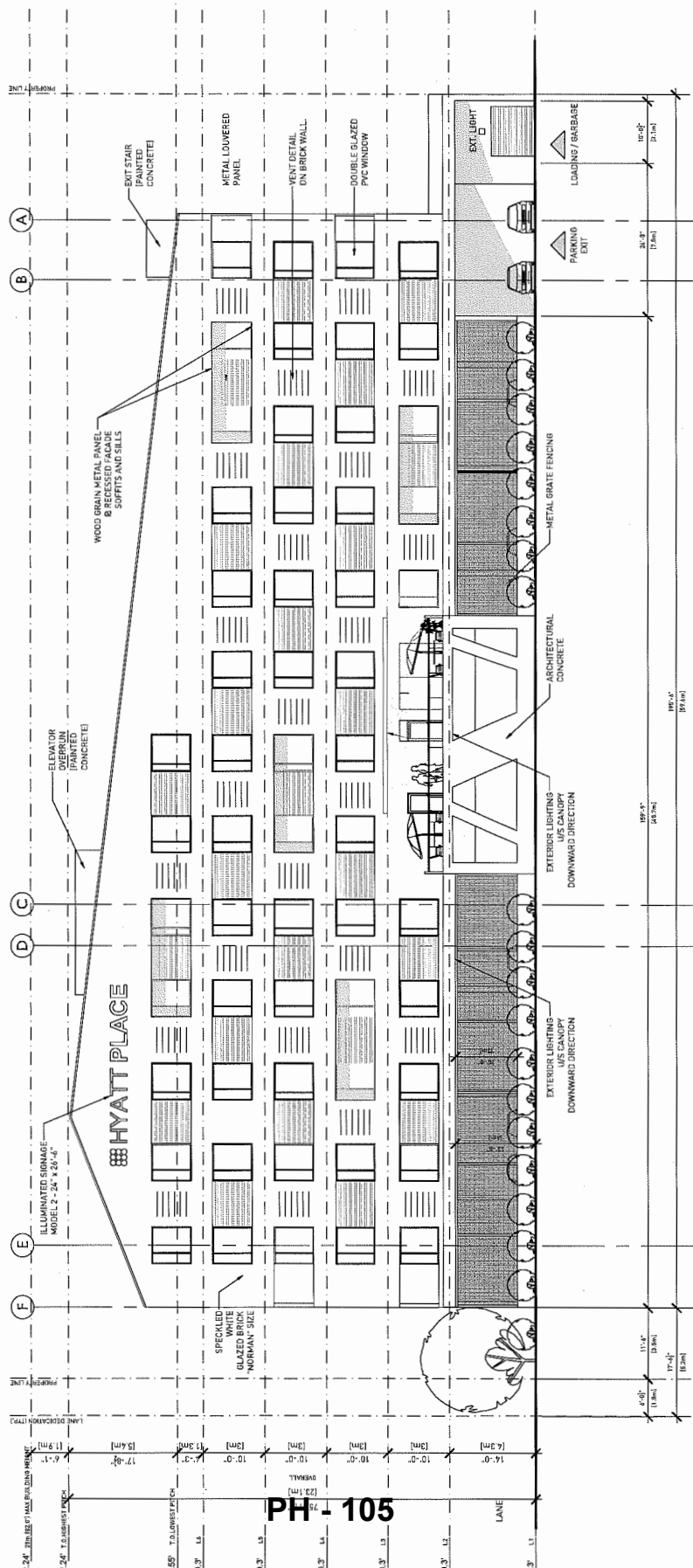


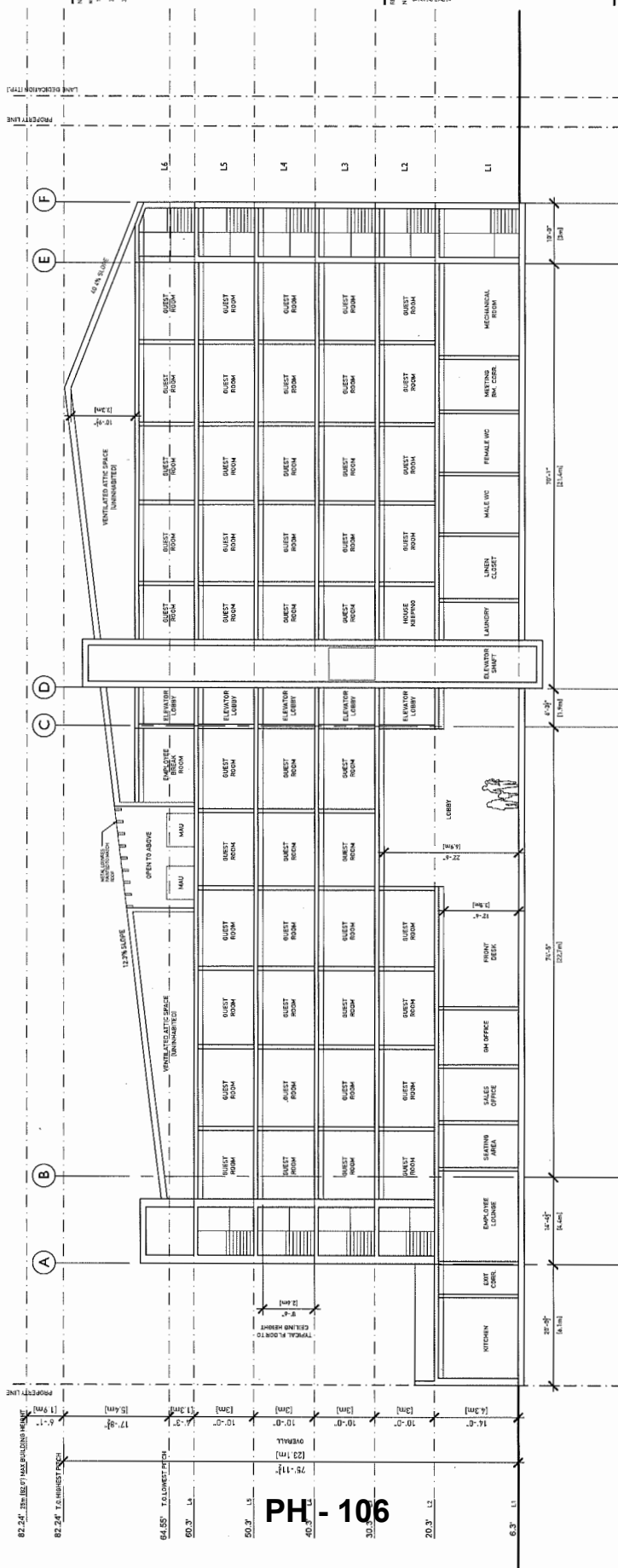




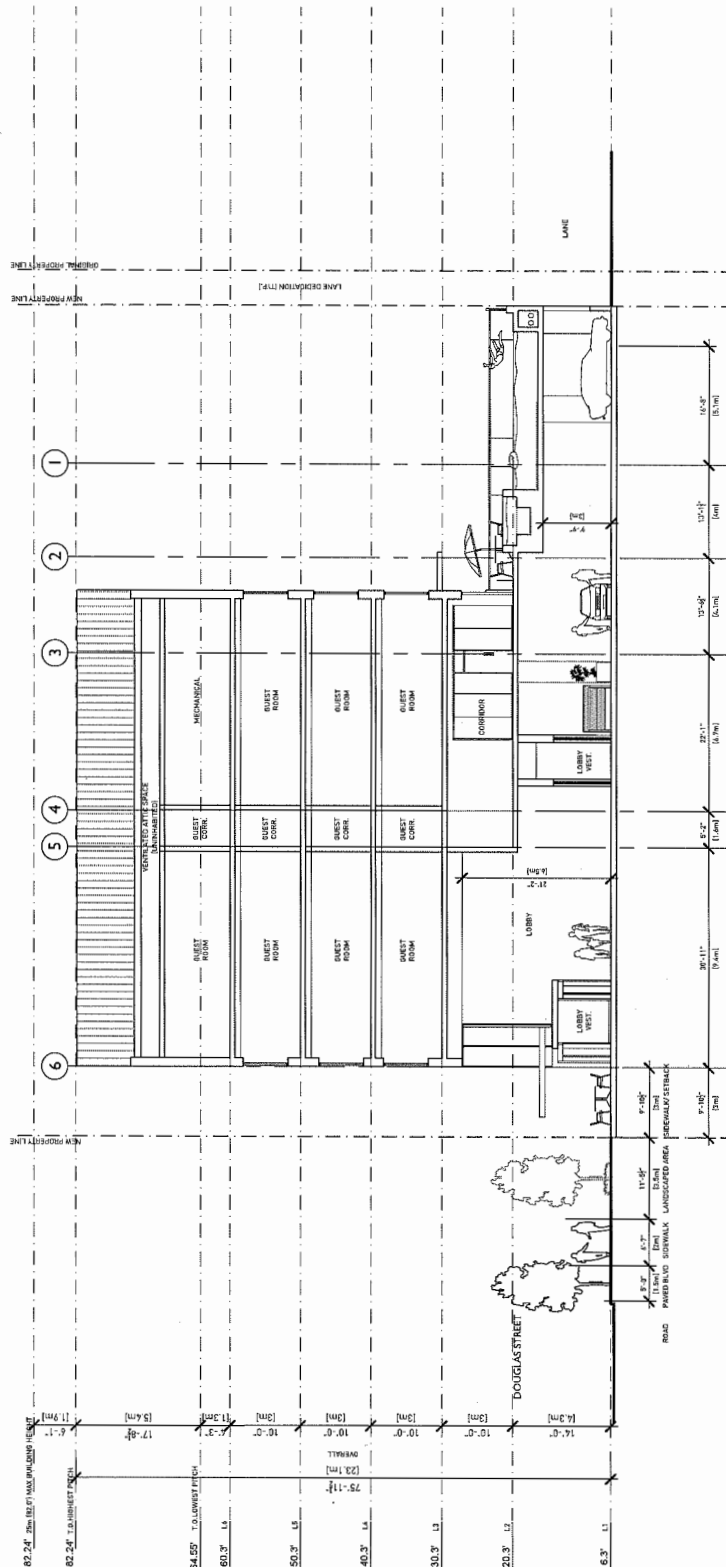


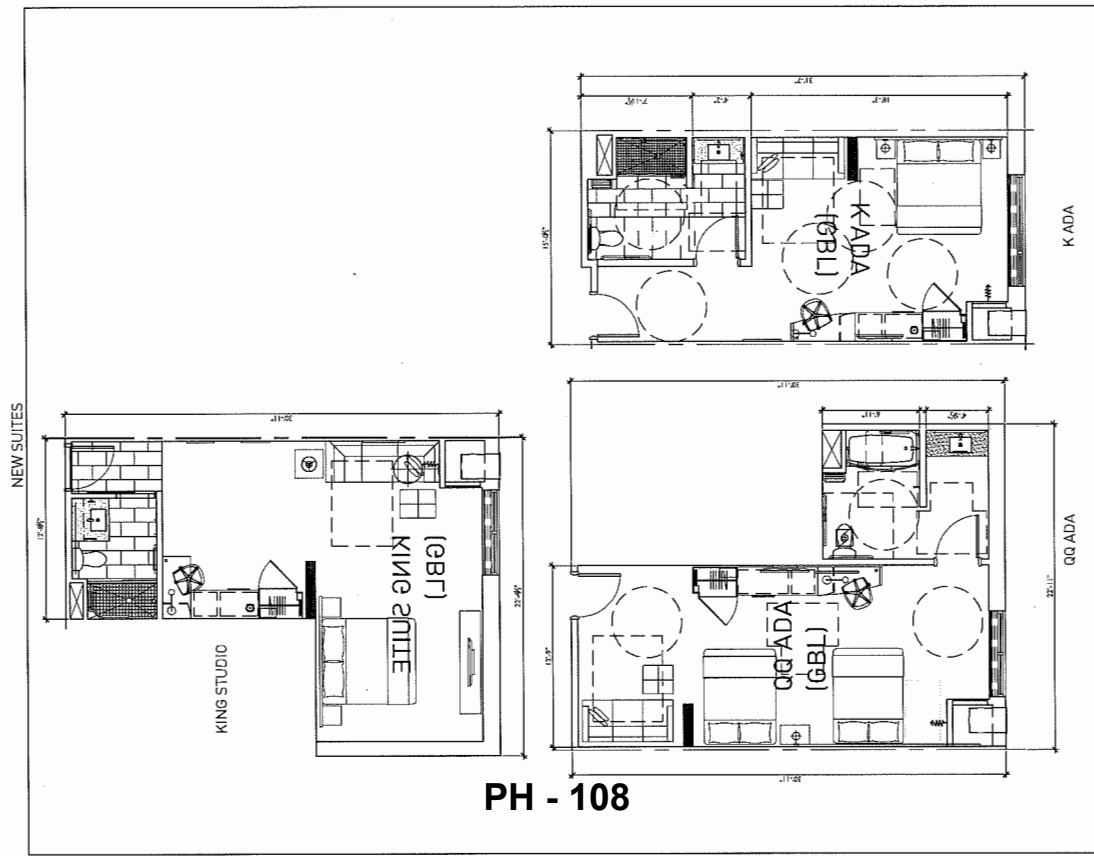
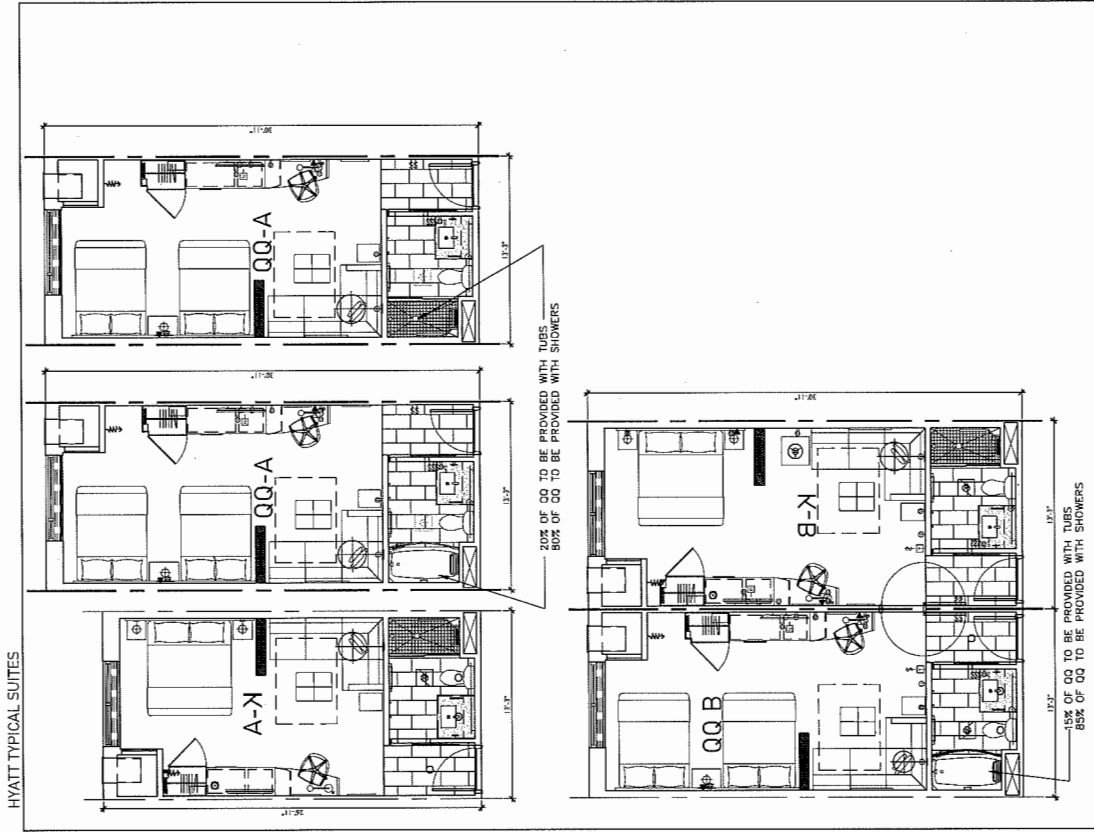






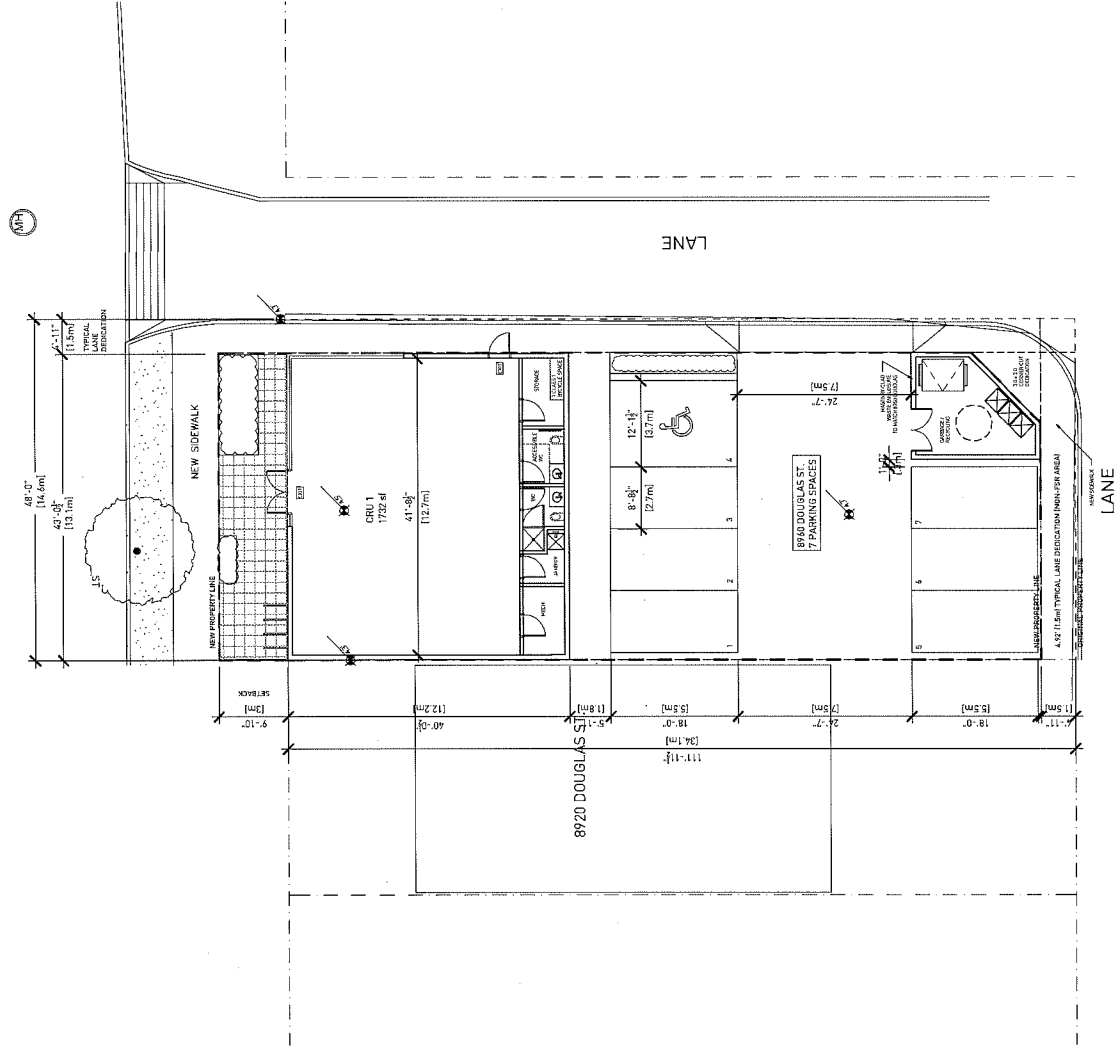


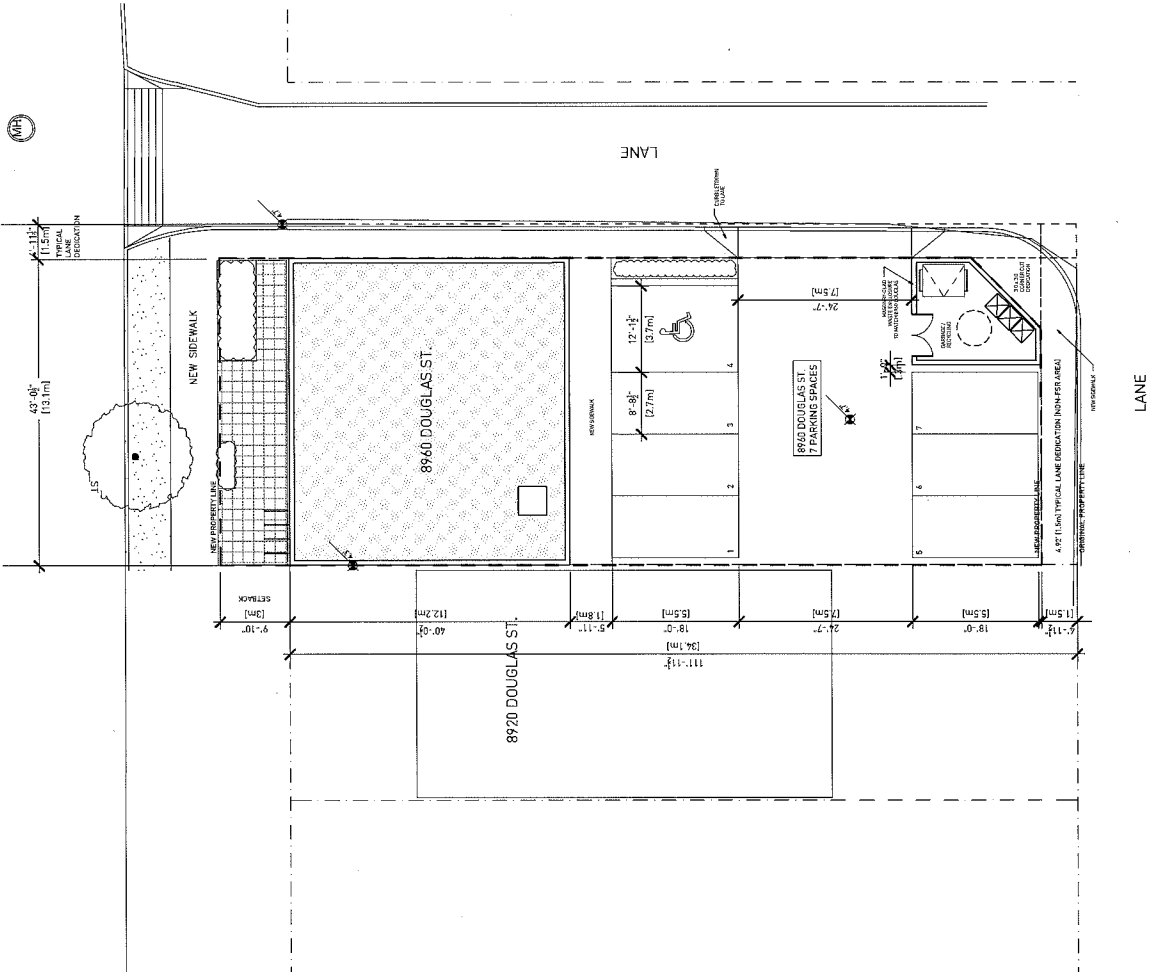


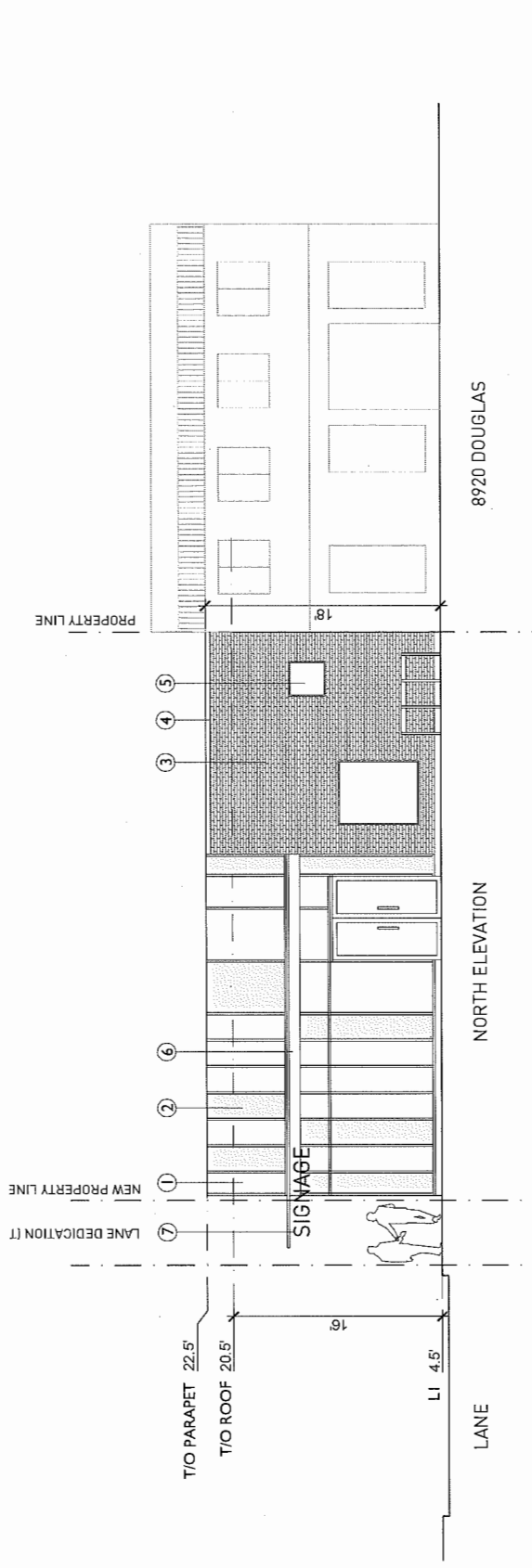




DOUGLAS STREET





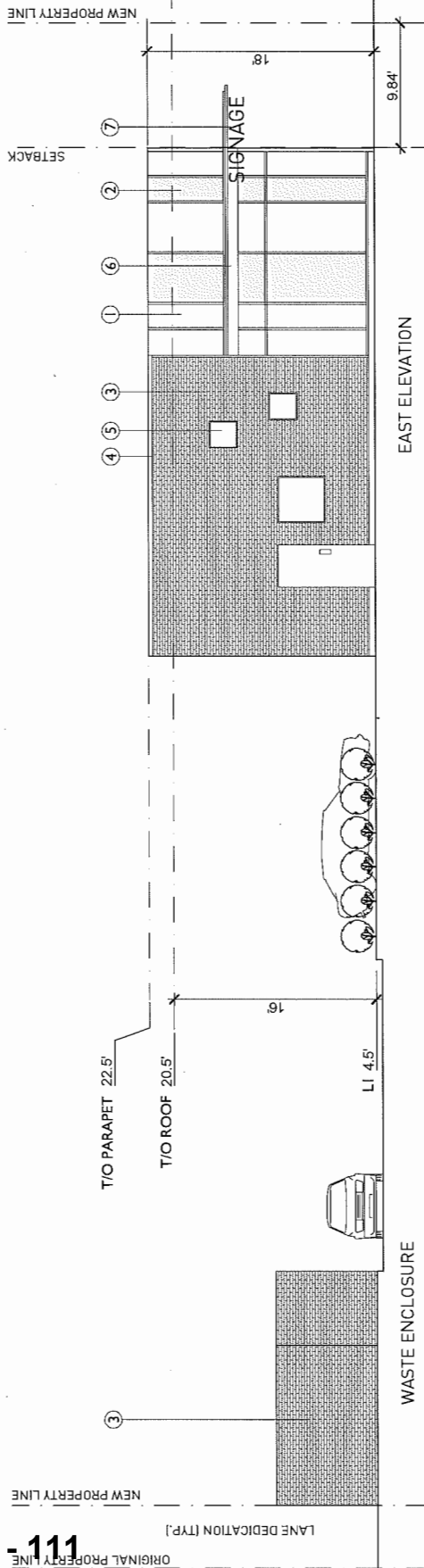


8920 DOUGLAS

NORTH ELEVATION

LANE

PH - 111

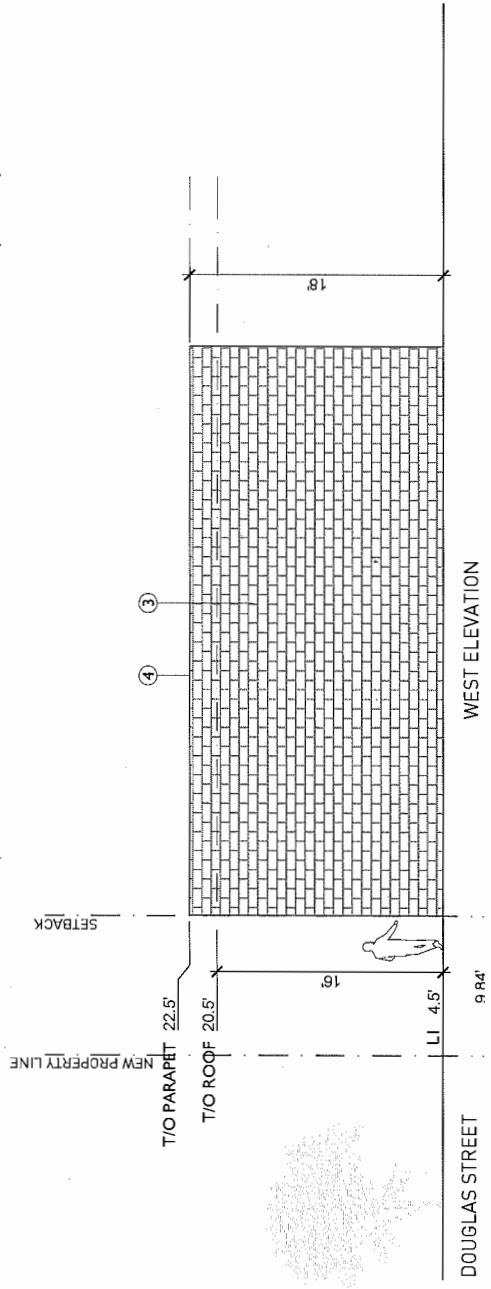
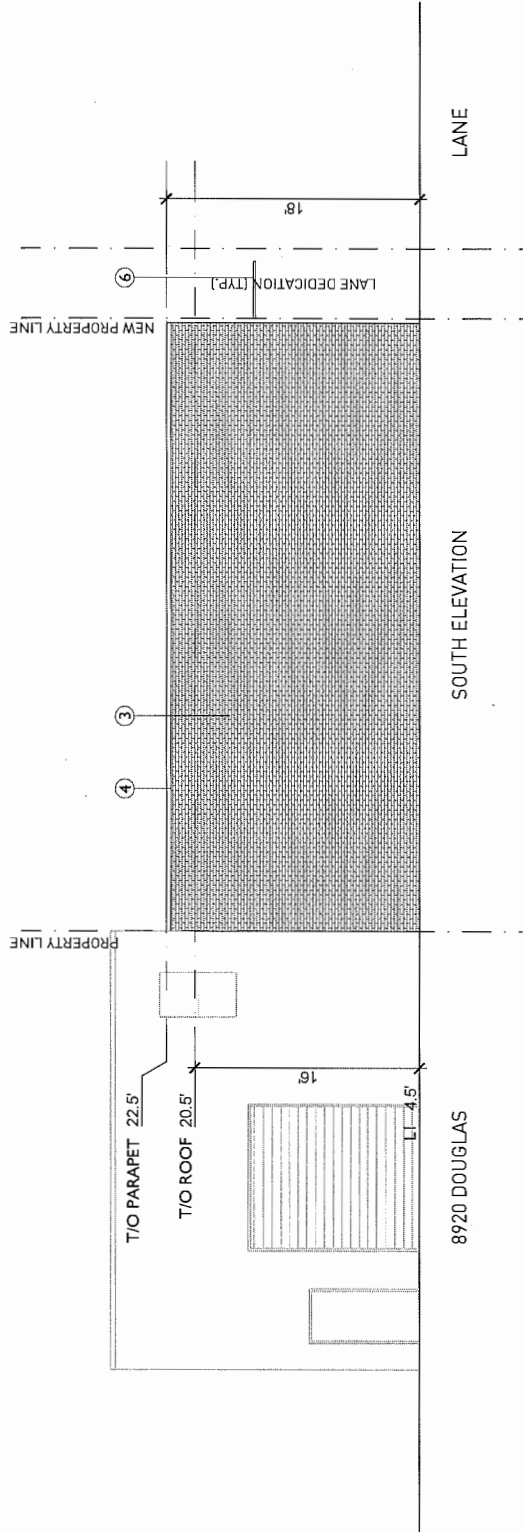


EAST ELEVATION

WASTE ENCLOSURE

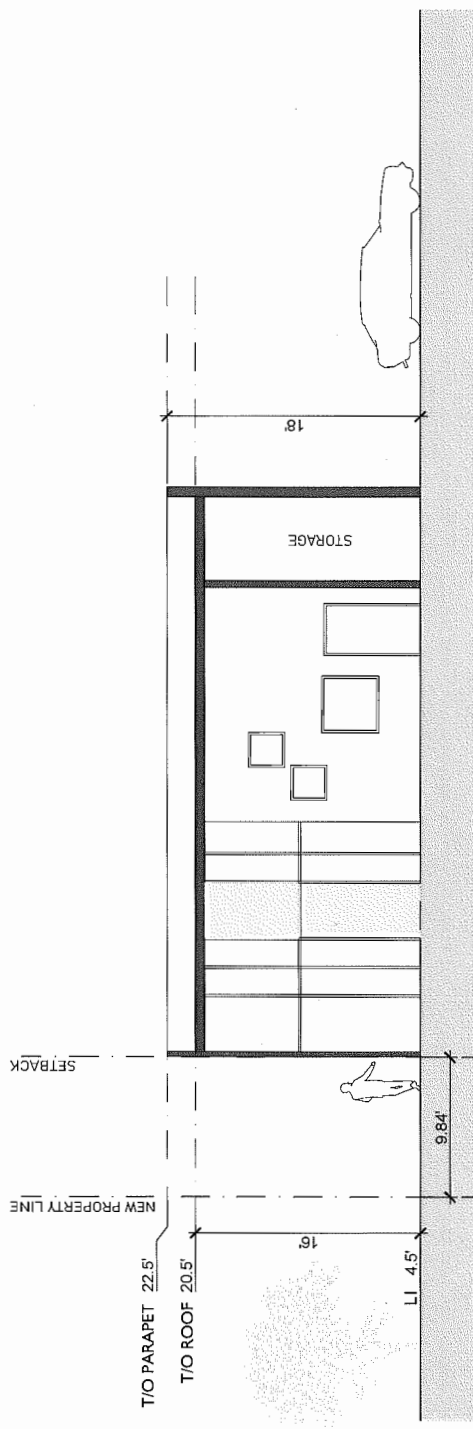
MATERIAL LEGEND	
① CURTAIN WALL	④ METAL FLASHING B.P.
② INSULATED SPANDREL	⑤ "RIBBLED" GRAY"
③ SECKLED WHITE	⑥ WINDOW WITH ALUMINUM
⑦ "NORMAN" SIZE	⑦ LED ILLUMINATED CHANNEL
⑧ TO MATCH 8871	⑧ SIGNAGE





MATERIAL LEGEND	
① CURTAIN WALL	④ METAL FLASHING BAY
② INSULATED SPANDREL PANEL	⑤ UNFINISHED CONCRETE
③ STICKLED WHITE GLASS	⑥ WINDOW WITH ALUMINUM SILL
⑦ LED ILLUMINATED CHANNEL SIGNAGE	





NOTES

10	EXTENSION
11	EXTERIOR EXIT COMPLIANCE WITH IBC
12	74.1.5
13	EXTERIOR EXIT STAIR TO BE HEAT - TREATED AND HAVE
14	SUPPLEMENTARY TREADS
15	SLIP-RESISTANT TREADS
16	SLIP-RESISTANT TREADS
17	SLIP-RESISTANT TREADS
18	SLIP-RESISTANT TREADS
19	SLIP-RESISTANT TREADS
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99	SLIP-RESISTANT TREADS
100	SLIP-RESISTANT TREADS

SECTIONS	NO.	DATE	REMARKS
1	AUG 17 2015	RE-CONCRETE ASPHALT ROAD	
2	AUG 18 2015	DEVELOPMENT PERSONNEL #66	
3	AUG 19 2016	CLINICAL MEETING	
4	NOV 18 2016	666 FUNDING RE-CONCRETE ASPHALT	
5	APRIL 24 2017	RE-CONCRETE RE-CONCRETE ASPHALT	
6	SEP 11 2017	RE-CONCRETE RE-CONCRETE ASPHALT	



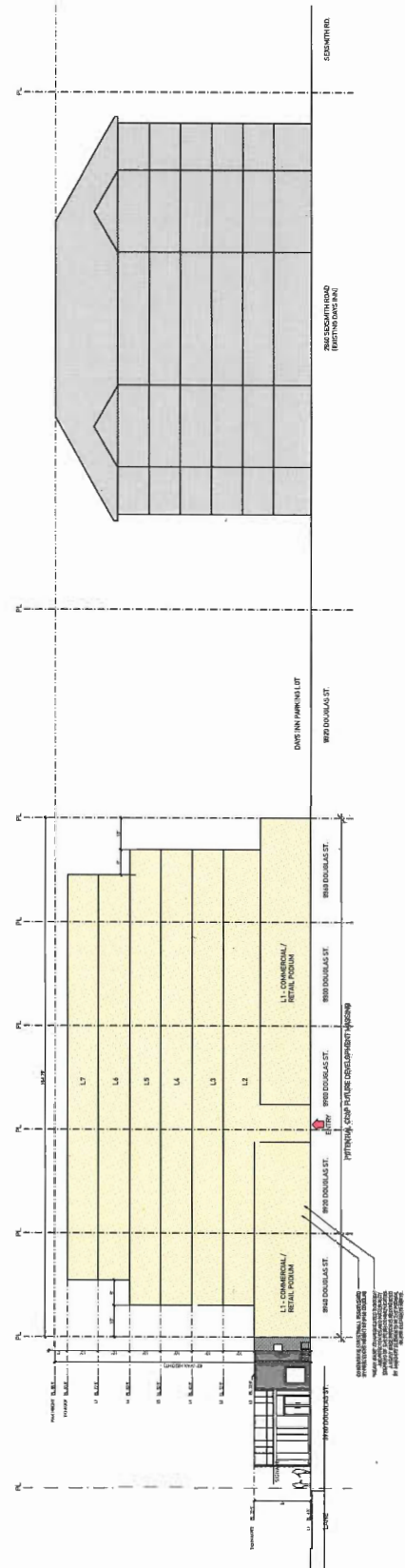
3871 DOUGLAS ST +  
3960 DOUGLAS ST  
RICHMOND BC

HYATT PLACE - HOTEL DEVELOPMENT

SECTION A-A  
3960 DOUGLAS

DATE	SEP 11, 2017
DRAWN BY	MR
CHECKED BY	CE
SCALE	1"=1'-0"
FIG NUMBER	1447

A-5.03





**Swordern**  
garden design

Mia Harth, b.a., m.larch  
sworderndesign@gmail.com  
604.803.7429

DATE	ISSUE/REVISION
JULY 28, 2015	ISSUED FOR REVIEW
AUG 17, 2015	ISSUED FOR DP
OCT 1, 2016	ISSUED FOR REVIEW
OCT 25, 2016	ISSUED FOR DP
NOV 14, 2016	ISSUED FOR DP
APR 24, 2017	RE-DESIGNED FOR DP
SEP 14, 2017	RE-DESIGNED FOR DP

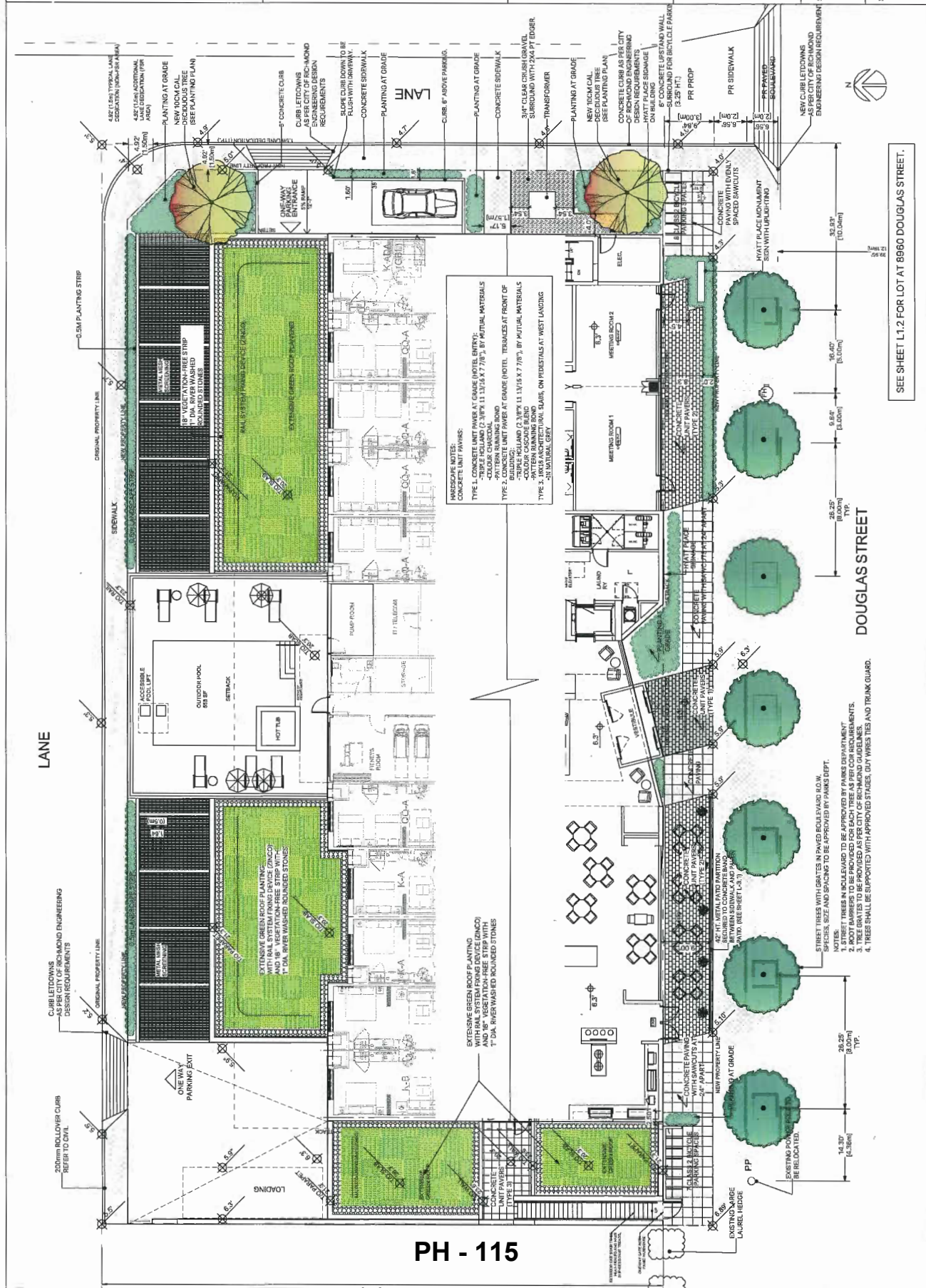
PROJECT  
8871 DOUGLAS ST.  
RICHMOND BC  
  
HYATT PLACE-  
HOTEL DEVELOPMENT

HOTEL SITE  
LANDSCAPE  
PLAN

SHEET NO.

L-1.1

SCALE  
1/8" = 1'-0"



LANDSCAPE NOTES:  
CONCRETE UNIT FINISHES:  
TYPE 1. CONCRETE UNIT FINISH AT GRADE (HOTEL ENTRY):  
- 2" TRIPLE ROLLER CURB (2.38" X 11.13" X 7.78") BY MUTUAL MATERIALS  
- 2" TRIPLE ROLLER CURB (2.38" X 11.13" X 7.78") BY MUTUAL MATERIALS  
TYPE 2. CONCRETE UNIT FINISH AT GRADE (HOTEL TERRACES AT FRONT OF BUILDING):  
- 2" TRIPLE ROLLER CURB (2.38" X 11.13" X 7.78") BY MUTUAL MATERIALS  
- 2" TRIPLE ROLLER CURB (2.38" X 11.13" X 7.78") BY MUTUAL MATERIALS  
TYPE 3. 18" X 18" ARCHITECTURAL BLANKS, ON TERRACES AT WEST LANDING  
- 1/2" IN MATERIAL, GREY

SEE SHEET L1.2 FOR LOT AT 8980 DOUGLAS STREET.

DATE	ISSUE/REVISION
JULY 29, 2015	ISSUED FOR REVIEW
AUG 7, 2015	ISSUED FOR DP
OCT 6, 2016	ISSUED FOR REVIEW
OCT 25, 2016	ISSUED FOR DP
NOV 16, 2016	REISSUED FOR DP
APR 24, 2017	REISSUED FOR DP
SEP 14, 2017	REISSUED FOR DP

PROJECT  
8871 DOUGLAS ST.  
RICHMOND BC

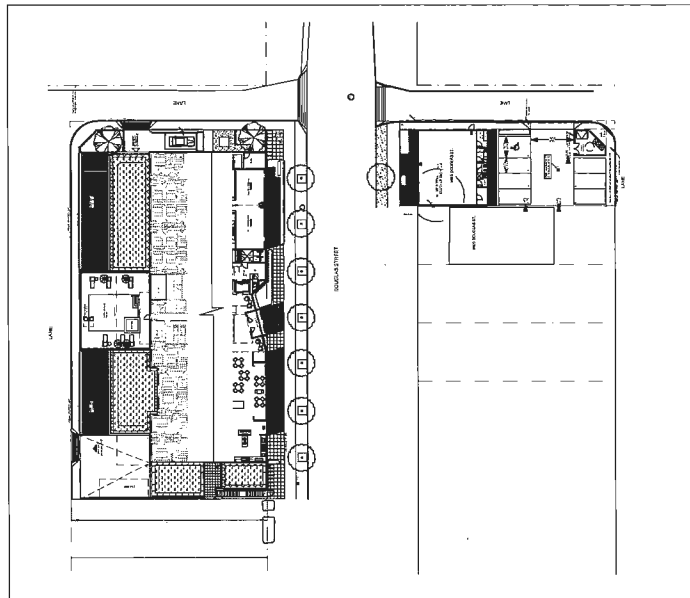
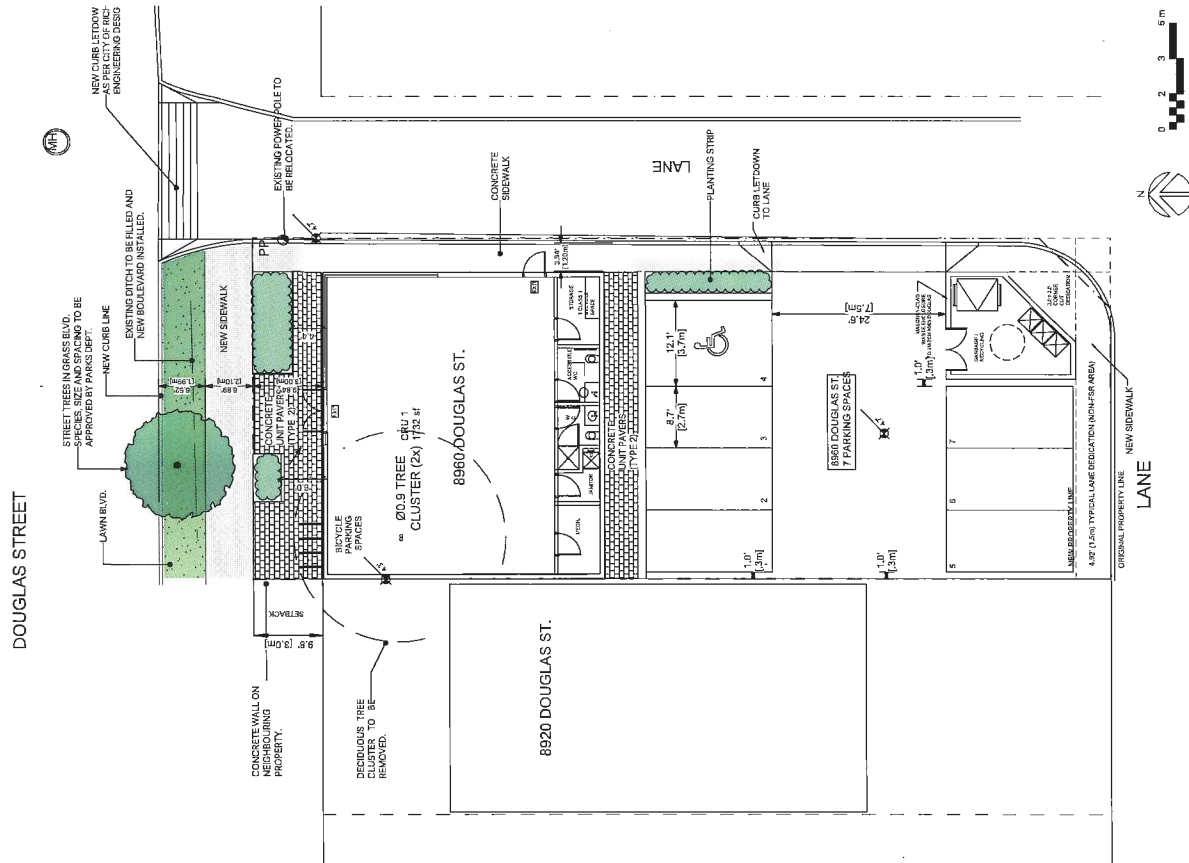
HYATT PLACE -  
HOTEL DEVELOPMENT

TITLE  
8960 DOUGLAS  
-  
LANDSCAPE  
PLAN

SHEET NO.

L-1.2

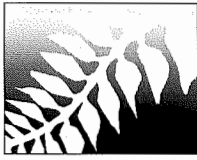
SCALE

$$1/8" = 1'-0"$$


HARDSCAPE NOTES:  
TYPE 2 CONCRETE UNIT PAVES AT FRONT AND WALKWAY AT REAR OF BUILDING--  
-TRIPLE HOLLAND (2 3/8"X 11 13/16 X 7 7/8"), BY MUTUAL MATERIALS

FULL SITE PLAN INSET





Swordfern  
garden design

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swordferndesign@gmail.com  
604.803.7429

DATE	REVISION/REASON
JULY 29, 2015	ISSUED FOR REVIEW
AUG 7, 2015	ISSUED FOR DP
OCT 14, 2016	ISSUED FOR REVIEW
OCT 18, 2016	ISSUED FOR DP
NOV 13, 2016	RE-DESIGNED FOR DP
APR 24, 2017	RE-DESIGNED FOR DP
SEP 14, 2017	RE-DESIGNED FOR DP

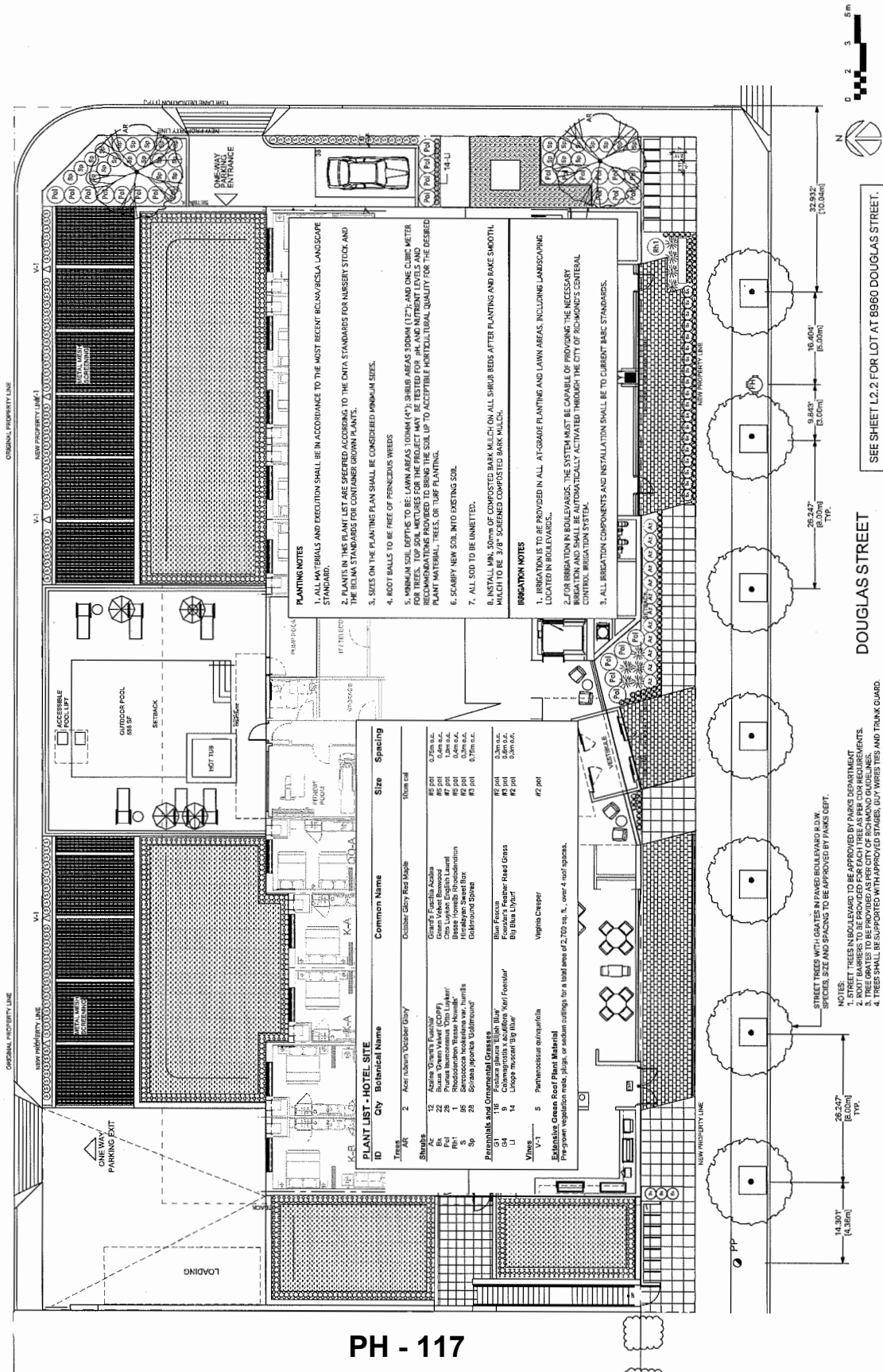
PROJECT  
8871 DOUGLAS ST.  
RICHMOND BC

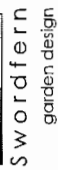
HYATT PLACE  
HOTEL DEVELOPMENT

WALL  
HOTEL SITE  
PLANTING  
PLAN

SHEET NO.  
L-2.1

SCALE  
1/8" = 1'-0"





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MAY 14, 2017	RE-ISSUED FOR DP
APR 24, 2017	RE-ISSUED FOR DP
SEP 14, 2017	RE-ISSUED FOR DP

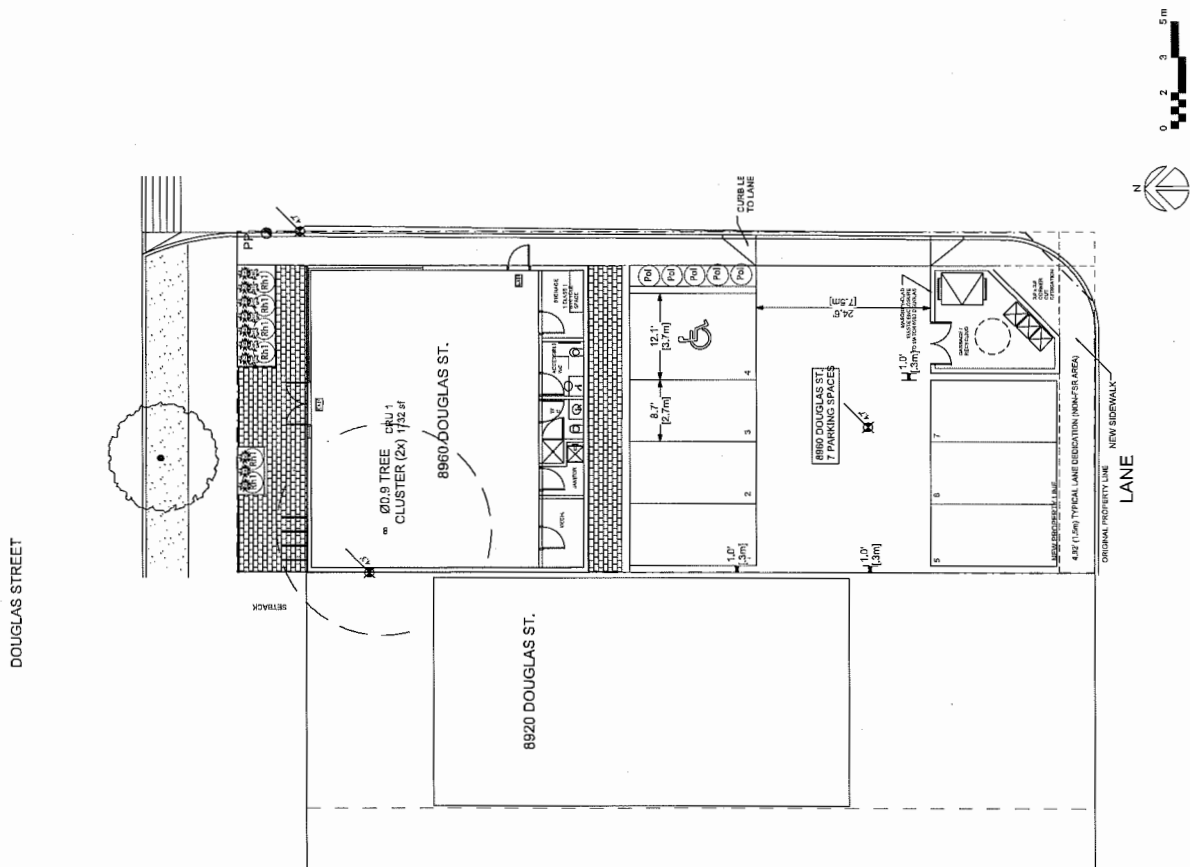
PROJECT  
8871 DOUGLAS ST.  
RICHMOND BC

HYATT PLACE -  
HOTEL DEVELOPMENT

TITLE  
PLANTING PLAN  
-  
8960 DOUGLAS

SHEET NO. L-2.2

SCALE  
 $1/8" = 1'-0"$



1. STREET TREES IN BOULEVARD TO BE APPROVED BY PARKS DEPARTMENT
2. ROOT BARRIERS TO BE PROVIDED FOR EACH TREE AS PER COR REQUIREMENTS.
3. TREES SHALL BE SUPPORTED WITH APPROVED STAGES, GUY WIRES TIES AND TRUNK GUARD.

1. ALL MATERIALS AND EXECUTION SHALL BE IN ACCORDANCE TO THE MOST RECENT BCLNA/BCLSA LANDSCAPE STANDARD.
2. PLANTS IN THIS PLANT LIST ARE SPECIFIED ACCORDING TO THE CNLA STANDARDS FOR NURSERY STOCK AND THE BCLNA STANDARDS FOR CONTAINER GROWN PLANTS.

3. SIZES ON THE PLANTING PLAN SHALL BE CONSIDERED MINIMUM SIZES.
4. ROOT BALLS TO BE FREE OF PERENNIOUS WEEDS
5. MINIMUM SOIL DEPTHS TO BE: LAWN AREAS 150MM (6"); SHRUB AREAS 300MM (12"); AND ONE CUBIC METER FOR TREES. TOP SOIL MIXTURES FOR THE PROJECT MAY BE TESTED FOR pH, AND NUTRIENT LEVELS AND RECOMMENDATIONS PROVIDED TO BRING THE SOIL UP TO ACCEPTABLE HORTICULTURAL QUALITY FOR THE DESIRED PLANT MATERIAL. TREES IN TURF PLANTING.
6. SCARIFY NEW SOIL INTO EXISTING SOIL
7. ALL SOIL TO BE UNNETTED.
8. INSTALL MIN. 50MM OF COMPOSTED BARK MULCH ON ALL SHRUB BEDS AFTER PLANTING AND BAKE SMOOTH. MULCH TO BE 3/8" SCREENED COMPOSTED BARK MULCH.

1. IRRIGATION IS TO BE PROVIDED IN ALL PLANTING AND LAWN AREAS.
2. HIGH EFFICIENCY AUTOMATIC SYSTEM SHALL BE PROGRAMMABLE AND INCLUDE MOISTURE SENSORS,
3. ALL IRRIGATION COMPONENTS AND INSTALLATION SHALL BE TO CURRENT IABC STANDARDS.

[illegible]





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garden design

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DATE	REVISION
JUL 27, 2015	ISSUED FOR REVIEW
AUG 7, 2015	ISSUED FOR DP
OCT 4, 2016	ISSUED FOR REVIEW
OCT 25, 2016	ISSUED FOR DP
NOV 16, 2016	RE-SUBMITTED FOR DP
APR 24, 2017	RE-SUBMITTED FOR DP
SEP 14, 2017	RE-SUBMITTED FOR DP

PROJECT  
8871 DOUGLAS ST.  
RICHMOND BC

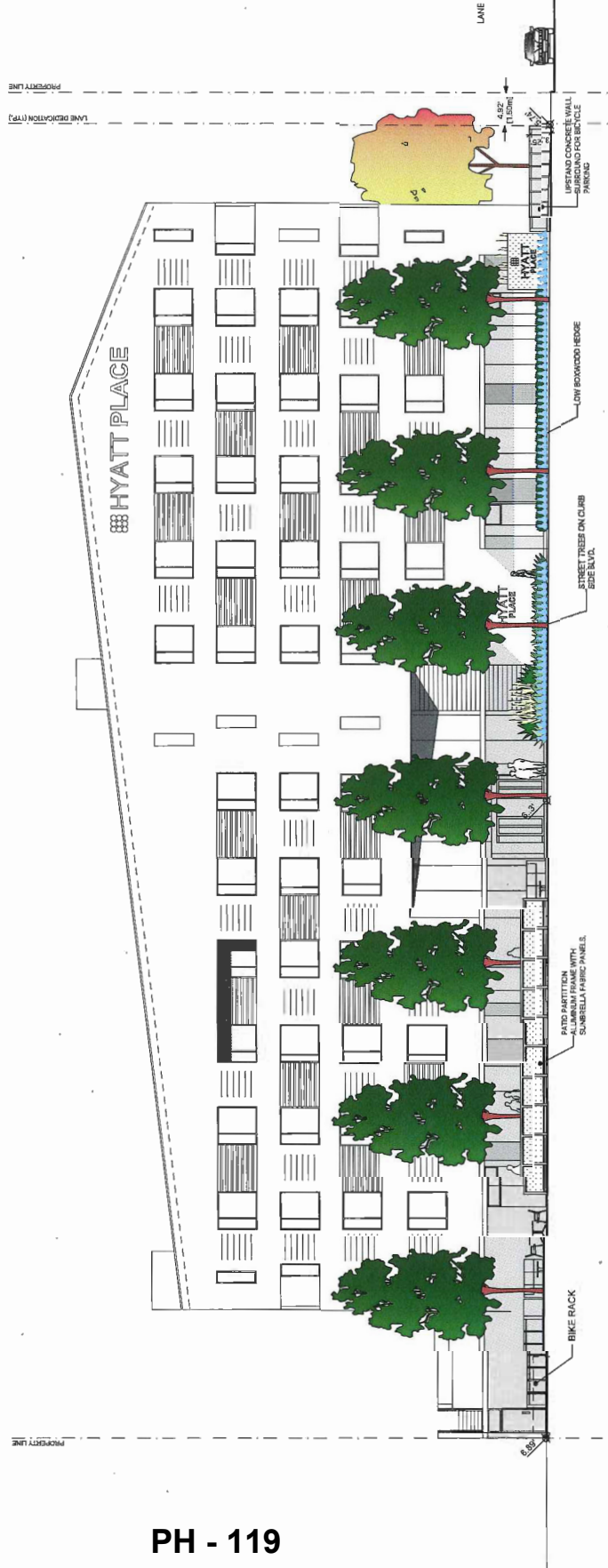
HYATT PLACE  
HOTEL DEVELOPMENT

LANDSCAPE  
ELEVATIONS

8871 DOUGLAS  
SOUTH (FRONT)  
ELEVATION

SHEET NO.  
L-3.1

SCALE  
1/8" = 1'-0"



PH - 119

SOUTH ELEVATION - DOUGLAS STREET

DATE	ISSUE/REVISION
JULY 29, 2015	ISSUED FOR REVIEW
AUG 7, 2015	ISSUED FOR DP
OCT 6, 2016	ISSUED FOR REVIEW
OCT 23, 2016	ISSUED FOR DP
NOV 16, 2016	RE-ISSUED FOR DP
APR 24, 2017	RE-ISSUED FOR DP
SEP 14, 2017	RE-ISSUED FOR DP

PROJECT

8871 DOUGLAS ST.  
RICHMOND BC

HYATT PLACE -  
HOTEL DEVELOPMENT

me

LANDSCAPE  
ELEVATIONS

8871 DOUGLAS  
EAST ELEVATION

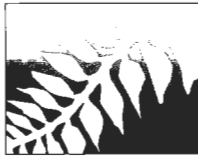
SHEET NO.

L-3.2

SCALING

$$1/8'' = 1'-0''$$


EAST ELEVATION



swordfern  
garden design

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DATE	ISSUE/REVISION
JULY 29, 2015	ISSUED FOR REVIEW
AUG 7, 2015	ISSUED FOR DP
OCT 6, 2016	ISSUED FOR REVIEW
OCT 26, 2016	ISSUED FOR DP
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APR 24, 2017	RECEIVED FOR DP
SEP 14, 2017	RECEIVED FOR DP

PROJECT

8871 DOUGLAS ST.  
RICHMOND BC

HYATT PLACE  
HOTEL DEVELOPMENT

TITLE

LANDSCAPE  
ELEVATIONS

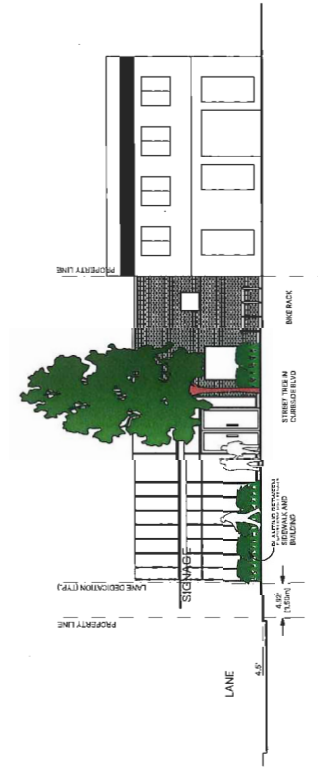
8960 DOUGLAS

SHEET NO.

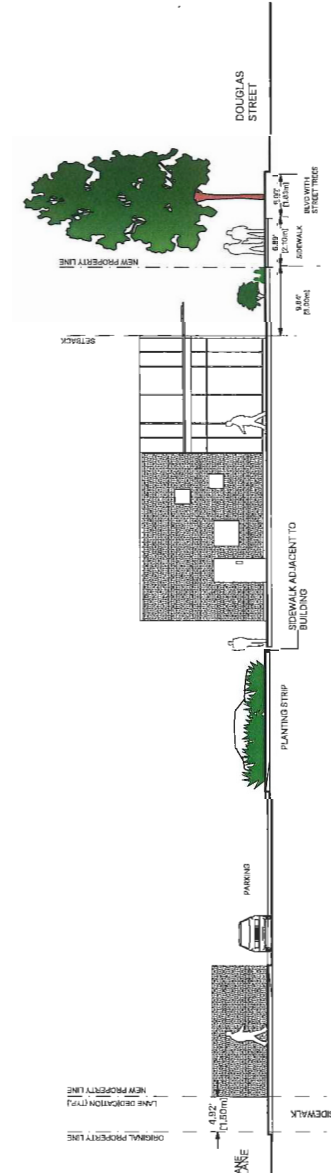
L-3.3

SCALE

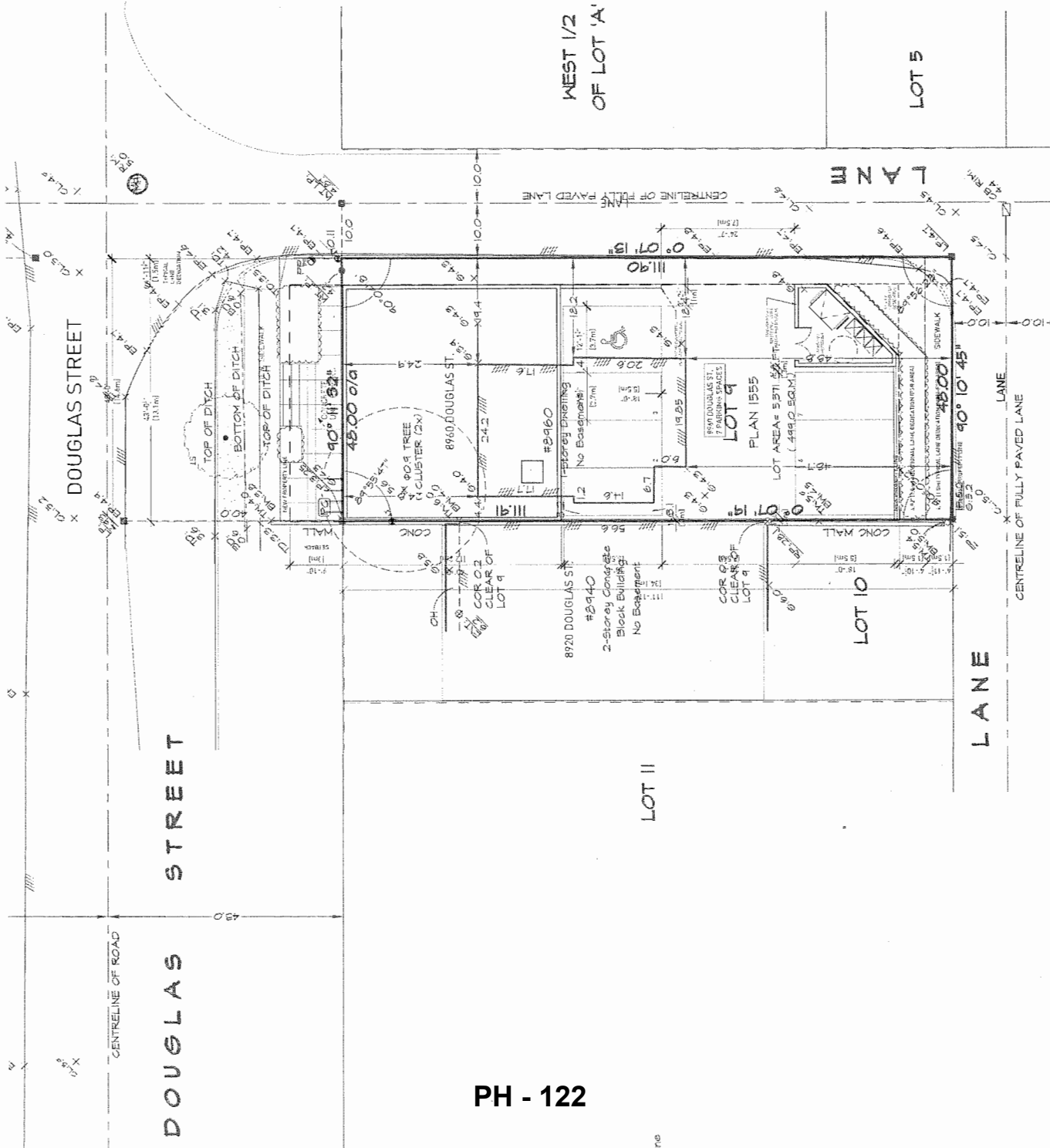
1/8" = 1'-0"



NORTH (FRONT) ELEVATION - DOUGLAS STREET



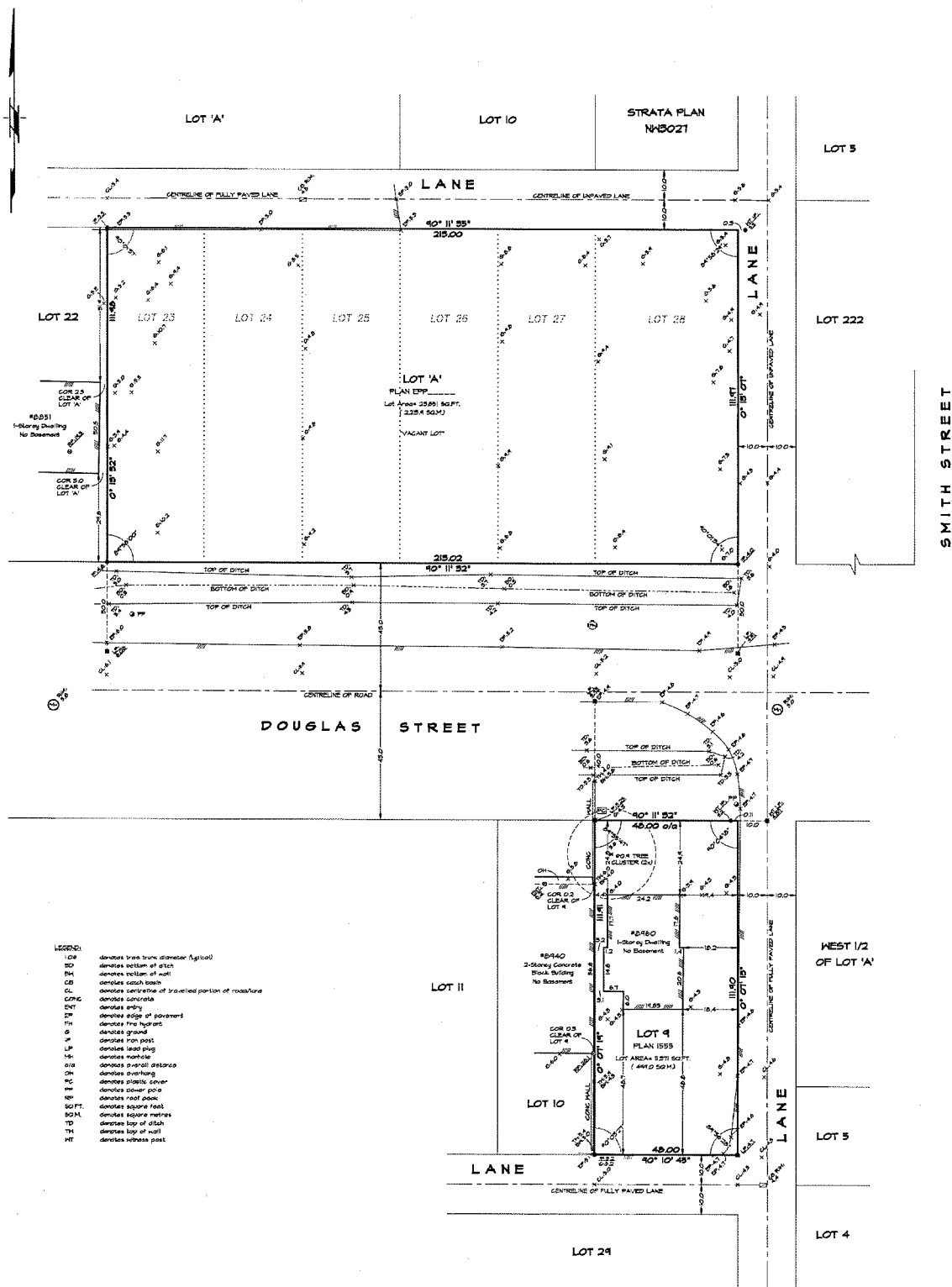
EAST ELEVATION



**PLAN OF SURVEY OF LOT 9, BLOCK 56, PLAN 1555, AND LOT 'A', BLOCK 57,  
PLAN EPP, BOTH OF SECTIONS 21 AND 22, BLOCK 5 NORTH,  
RANGE 6 WEST, NEW WESTMINSTER DISTRICT.**

5871-5871 Douglas Street (Lot A)  
2460 Douglas Street (Lot 9)  
Richmond, BC  
Zoning Lot 'A': "IL - LIGHT INDUSTRIAL"  
Zoning Lot 9: "CA - AUTO-ORIENTED COMMERCIAL"

SCALE: 1 INCH = 16 FEET  
0 5 10 20 30 40 50 60  
All dimensions are in feet and decimals  
thereof unless otherwise indicated



- LEGEND:**
- LOB denotes tree trunk diameter (girth)
  - SO denotes section of ditch
  - TH denotes section of wall
  - CB denotes catch basin
  - CL denotes centreline of travelled portion of road/roadway
  - CONC denotes concrete
  - ENT denotes entry
  - EP denotes edge of pavement
  - TH denotes fire hydrant
  - G denotes ground
  - IP denotes iron post
  - LP denotes lead plug
  - MA denotes manhole
  - OD denotes overall distance
  - OH denotes overhang
  - PC denotes plastic cover
  - PO denotes power pole
  - RP denotes roof peak
  - SA denotes square feet
  - SOFT denotes square metres
  - TD denotes top of ditch
  - TH denotes top of wall
  - HT denotes witness post

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This document is not valid unless  
originally signed and sealed.

**CERTIFIED CORRECT:**  
Lot dimensions are correct  
according to ground survey.

B.C.L.S.

April 30th, 2015.

FILE: TG-2206

**GENERAL NOTES:**  
Per construction use lead plugs in  
sidewalk or city survey monuments  
only for the horizontal control.  
All trees have been plotted in  
accordance with City of Richmond  
Rules No. 8001.  
Elevations are derived from City of Richmond  
High Precision Network Benchmark 437  
Located in the centreline of Beaulieu Road  
at house number 437 (formerly 438 Beaulieu Road)  
Elevation = 352 feet  
(1:625 metric grid/offset)  
Integrated Survey Area No. 15  
City of Richmond

Kan K. Hong and Associates  
Consulting and S.L. Land Surveyors  
5024 E. Hastings Street  
Burnaby, B.C. V5B 1K6  
Telephone: (604) 294-8881  
Fax: (604) 294-8825  
hong.associates@telus.net  
B.C.L.S. REG. #150-01-0001  
Drawn by: HD



**Development Application Data Sheet**  
Development Applications Department

<b>RZ 15-704980</b>	
<b>Address:</b>	8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street
<b>Applicant:</b>	0951705 BC Ltd.
<b>Planning Area(s):</b>	City Centre Area Plan (Bridgeport Village)

	<b>Existing</b>	<b>Proposed</b>
<b>Owner:</b>	0951705 B.C. Ltd.	
<b>Site Size (before and after acquisitions/ dedications):</b>	North lots 2,214.0 m <sup>2</sup> South lot 499.1 m <sup>2</sup> Total site 2,713.1 m <sup>2</sup>	North lot 2,250.0 m <sup>2</sup> South lot 459.6 m <sup>2</sup> Total site 2,709.6 m <sup>2</sup>
<b>Land Uses:</b>	Existing Nonconforming Residential	Hotel/Retail Mixed Use
<b>OCP Designation:</b>	Commercial	Complies
<b>Area Plan Designation:</b>	Urban Centre T5 (25m), Sub-Area A.3	Complies
<b>Zoning:</b>	Light Industrial (IL) and Auto-Oriented Commercial (CA)	Commercial (ZC45) – Bridgeport Village
<b>Number of Units:</b>	1 House	97-room Hotel and 1 CRU
<b>Other Designations:</b>	Aircraft Noise Sensitive Use Area 1A Flood Construction Level Area A	Complies

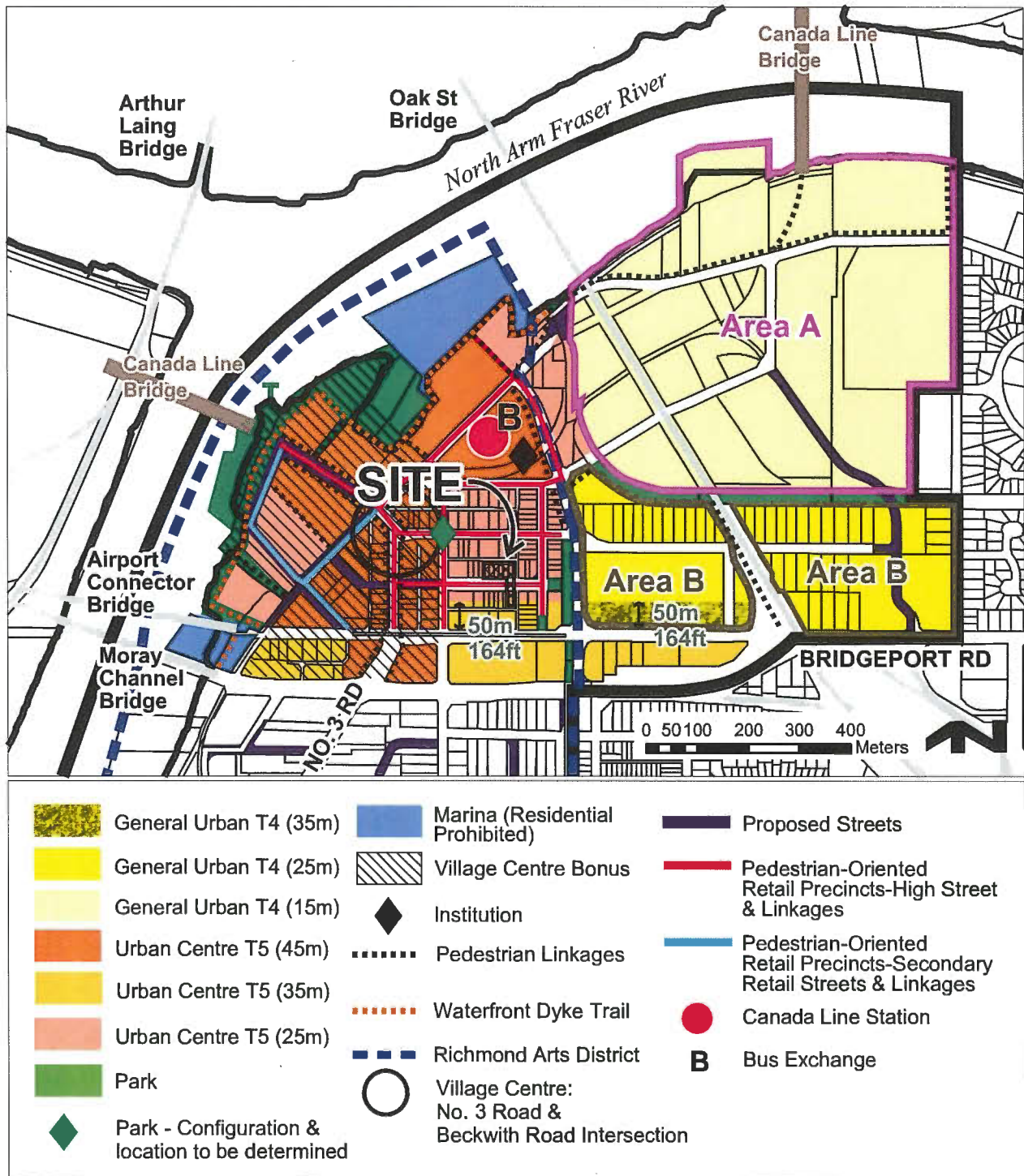
	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
<b>Floor Area Ratio:</b>	Max. 2.0	2.0	None permitted
<b>Buildable Floor Area:*</b>	5,419.2 m <sup>2</sup> (58,331.8 ft <sup>2</sup> )	5,417 m <sup>2</sup> (58,308 ft <sup>2</sup> )	None permitted
<b>Lot Coverage (% of lot area):</b>	Max. 90%	84%	None
<b>Lot Size:</b>	2,500 m <sup>2</sup>	2,709.6 m <sup>2</sup>	None
<b>Setbacks:</b>	Douglas St: Min. 3 m Rear Lane: Min. 0 m Side Lane: Min. 0 m Side Yard: Min. 0 m	3 m 0 m Min. 0 m Min. 0 m Min.	None
<b>Height:</b>	Max. 25 m	25 m Max.	None
<b>Off-street Parking Spaces:**</b>	44 with TDM	45 with TDM	None
<b>Accessible Parking Spaces:</b>	Minimum 2%	4%	None
<b>Small Car Parking Spaces:</b>	Maximum 50%	43%	None
<b>Bicycle Storage:</b>	Class 1: 16 Class 2: 16	16 19	None
<b>Loading Spaces:</b>	Medium size: 1 Large size: 0	1 0	None

\* Preliminary estimate; exact building size to be determined through zoning bylaw compliance review at Development Permit and Building Permit stages. Final development figures may differ slightly from the figures provided on the conceptual architectural drawings.

\*\*Parking figures are based on the calculation methodology provided in the Transportation Study. Where base information changes (e.g. floor areas), final parking requirements will be determined using the same methodology at the time of Development Permit approval.



# Specific Land Use Map: Bridgeport Village (2031)





**City of  
Richmond**

**Rezoning Considerations**  
Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street      **File No.:** RZ 15-704980

**Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9815, the developer is required to complete the following:**

1. Provincial Ministry of Transportation & Infrastructure Approval.
2. Council approval of the road closure bylaw for a portion of Douglas Street.
  - a) The developer shall be required to enter into a purchase and sales agreement with the City for the purchase of the Land, which is to be based on the business terms approved by Council. The primary business terms of the purchase and sales agreement will be brought forward for consideration by Council in a separate report from the Senior Manager, Real Estate Services. The majority of costs associated with the purchase and sales agreement shall be borne by the developer.
  - b) Granting of a temporary 3m wide utility SRW along the entire new south property line of the north site at 8871, 8891, 8911, 8931, 8951 and 8971 Douglas Street to accommodate existing City utilities and to be discharged when required Servicing Agreement storm sewer works are completed.
  - c) Provide signed and sealed geotechnical reports stating that there will be no impact of the developments' preloads to the existing 200mm PVC water main on the Douglas Street frontage of the development sites.
  - d) Arrange for any necessary relocation of private utility conduits/structures/equipment (e.g., BC Hydro, Telus, Shaw) to the ultimate alignment. Relocation works would be at the developer's cost, and coordinated with the private utilities and Servicing Agreement. Please note that the functional plan indicates power poles on both sides of Douglas Street.
3. Consolidation of all the lots north of Douglas Street into one development parcel.
4. Provide road dedication as follows:
  - a) 1.5m wide along the entire north property line of 8871, 8891, 8911, 8931, 8951 and 8971 Douglas Street
  - b) 1.5m wide along the entire south property line of 8960 Douglas Street
  - c) 1.5m wide along the entire east property line of 8960 and 8971 Douglas Street
  - d) 3m x 3m corner cuts at intersections of rear and side lanes
5. Registration of legal agreement(s) on Title for single site, no subdivision and no stratification requirements, ensuring:
  - a) The seven lots are all owned by the same legal entity (both beneficial and legal interest in the seven lots) and prohibiting transfer of less than all seven lots.
  - b) No subdivision of any one or more of the seven lots (including no subdivision by way of strata-plan and/or air space parcels) (the six lots on the north side of Douglas Street are to be consolidated as per item 3 above).
  - c) No strata-titling of any hotel rooms (including no subdivision by way of strata-plan and/or air space parcels).
6. Registration of legal agreement(s) on Title, prohibiting the provision of cooking facilities in any of the proposed hotel rooms (cooking facilities are permitted in the common dining area).
7. Registration of a flood indemnity covenant on Title (Area A).
8. Registration of an aircraft noise restrictive covenant on Title suitable for Area 1A (new aircraft noise sensitive land uses prohibited) and granting of a Statutory Right-of-Way in favour of the Airport Authority.
9. Registration of a legal agreement on Title for commercial development within 30 m of any residential use indicating that they are required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City's Noise Bylaw and noise generated from rooftop HVAC units will comply with the City's Noise Bylaw.
10. Registration of a legal agreement on Title stipulating that the commercial development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlooking and reduced privacy, increased ambient noise and increased

levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.

11. Development at 8871, 8891, 8911, 8931, 8951 and 8971 Douglas Street is subject to a District Energy Utility (DEU) requirement (not 8960 Douglas Street, which is a small non-contiguous single lot). Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
  - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
  - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until:
    - i) the building is connected to the DEU, which may include the owner's supplied and installed central energy plant to provide heating and cooling to the building, at no cost to the City, or the City's DEU service provider, Lulu Island Energy Company, on the subject site satisfactory to the City;
    - ii) if the City so elects, the owner transfers ownership of the central energy plant on the site, if any, at no cost to the City, or City's DEU service provider, Lulu Island Energy Company, to the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City;
    - iii) the owner enters into a Service Provider Agreement with the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City; and
    - iv) the owner grants or acquires all Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building and the operation of the central energy plant, if any, by the City and/or the City's DEU service provider, Lulu Island Energy Company.
  - c) If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
    - i) the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
    - ii) the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
    - iii) the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
    - iv) the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
12. City acceptance of the developer's voluntary contribution in the amount of \$14,582.95 (i.e. \$0.25 per buildable square foot) to future City community planning studies, as set out in the City Centre Area Plan.
13. City acceptance of the developer's voluntary contribution in the amount of \$25,665.98 (i.e. \$0.44 per buildable square foot of hotel/commercial space) to the City's Public Art Program.
14. The submission and processing of a Development Permit\* completed to a level deemed acceptable by the Director of Development.
15. Enter into a Servicing Agreement\* for the design and construction of road and infrastructure works. Works include, but may not be limited to:
  - a) Road Works:
    - i. Functional Plan:
      - Submission of a road functional plan to the satisfaction of the Director of Transportation. Draft road functional plan attached (Appendix A) for reference (road works only, services to be reviewed by Engineering via the servicing agreement).

ii. Douglas Road frontage improvements:

- 8871 to 8971 Douglas Street: upgrade frontage and widen road, including (measured from north to south): Min. 2 m wide concrete sidewalk at new property line, Min. 1.5 m wide boulevard planted with grass and street trees, 0.15 m wide curb and gutter, asphalt roadway, and transition works to existing road works to east and west (including areas of ditch infill, asphalt paving and gravel shoulder).
- 8960 Douglas Street: upgrade frontage and widen road, including (measured from south to north): Min. 2 m wide concrete sidewalk at new property line, Min. 1.5 m wide boulevard planted with grass and street trees, 0.15 m wide curb and gutter, and asphalt roadway, and transition works to existing road works to east and west (including areas of ditch infill, ditch headwall, asphalt paving and gravel shoulder).
- Transportation Demand Management (TDM) measure interim 1.5 m wide asphalt walkway along the north side of Douglas Street from the west property line of the subject site connecting to existing sidewalk to the west (i.e., across the frontages of 8811, 8831 and 8851 Douglas Street), or should that work be secured through adjacent development, then construction of an interim 1.5 m wide asphalt walkway along the south side of Douglas Street from the west property line of the subject site connecting to existing sidewalk to the west (i.e., across the frontages of 8820, 8860, 8880, 8900, 8920 and 8940 Douglas Street).

iii. Lane improvements:

- Widening rear lanes along new north and south property lines and widening side lanes along new east property lines to interim 7.5 m width (to be widened to ultimate CCAP 9 m lane width through future development to the north, east and south).
- Complete rear and side lane upgrades along frontages, including 1.5 m wide concrete sidewalk at new property line, roll-over curb, lane drainage, crowned asphalt laneway, and street lighting.
- Review street lighting levels along all frontages and upgrade lighting as required. Decorative, LED street lighting shall be used on Douglas Street, type to be determined.

b) Water Works:

Using the OCP Model, there is 543.0 L/s of water available at a 20 psi residual at the Douglas Street frontage. Based on your proposed development your site requires a minimum fire flow of 200 L/s.

i. The Developer is required to:

- Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.

ii. At Developers cost, the City is to:

- Cut and cap, at main, all existing water service connections serving the development sites.
- Install two new water service connections complete with meter and meter boxes, one for the north lots to be consolidated and one for 8960 Douglas Street.
- Relocate the existing hydrant on Douglas Street to the ultimate location to avoid conflict with the proposed frontage improvements, including sidewalk and boulevard.

c) Storm Sewer Works:

i. The Developer is required to:

- Install approximately 143 m of 600 mm diameter storm sewer along the centerline of Douglas Street complete with manholes and catch basins as required from the north-south aligned lane to Sexsmith Road. Tie in to the west shall be the existing 600 mm diameter storm sewer in Sexsmith Road; tie-in to the east shall be to the existing lane drainage to the south and proposed lane drainage to the north within the north-south lane.
- Correct the diagonal alignment of the storm sewer in the Douglas Street and Sexsmith Road intersection, which will require the installation of new manholes and approximately 25 m of 750 mm diameter storm sewer.

- Cut, cap, and remove the existing storm sewers fronting lots 8771 to 8851 and 8820 Douglas Street and 2840 Sexsmith Road and reconnect all existing storm service connections and catch basin leads to the proposed storm sewer.
- Infill the ditches fronting the development site on both sides of Douglas Street. Tie-in the upstream unfilled ditches east of the intersection of Douglas Street and the north-south lane into the proposed storm sewer complete with inlet structure per City of Richmond supplementary specifications.
- Install one new storm service connection for each of the proposed lots, complete with inspection chamber.
- Install new 200 mm diameter lane drainage sewer, complete with catch basins and manholes, within the north-south and east-west lanes fronting the development site. No service connections are permitted to tie in to lane drainage.
- Upgrade the existing 150 mm diameter lane drainage sewers to 200 mm diameter along all lane frontages. Note upgrades are typically manhole to manhole.

ii. At Developers cost, the City is to:

- Complete all tie-ins for the proposed works to existing City infrastructure.

d) Sanitary Sewer Works:

i. At Developers cost, the City is to:

- Cut and cap all existing sanitary service connections serving the development sites and remove inspection chambers.
- Install one new sanitary service connection for each of the proposed lots, complete with inspection chambers.

e) General Items:

i. Developer is required to:

- Provide, within the first servicing agreement submission or prior to start of site preparation works, whichever comes first, a geotechnical assessment of preload and soil preparation impacts on the existing/proposed utilities fronting or within the development site and provide mitigation recommendations.
- Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
- Utilities and/or services shown on the draft road functional plan (Appendix A) have not been approved by Engineering and servicing drawings will be reviewed via the servicing agreement for completeness and compliance with applicable specifications or bylaws.
- Coordinate with BC Hydro, Telus and other private communication service providers:
  - To underground overhead lines and utility poles along the Douglas Street frontage, from Sexsmith Road to Smith Street. All proposed transformer boxes shall be placed on private property within the development site; Engineering recommends coordinating with BC Hydro, Telus, and Shaw early to avoid changes to the building design during the development permit stage to accommodate transformer box requirements. Please note that the functional plan indicates power poles on both sides of Douglas Street.
  - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages. Please note that the functional plan indicates power poles on both sides of Douglas Street.
  - To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development within the development site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., Statutory Right-of-Way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown in the functional plan and registered prior to SA design approval.

BC Hydro PMT	4 m x 5 m	(width x depth)
BC Hydro LPT	3.5 m x 3.5 m	
Street light kiosk	1.5 m x 1.5 m	
Traffic signal kiosk	2 m x 1.5 m	
Traffic signal UPS	1 m x 1 m	
Shaw cable kiosk	1 m x 1 m	(show possible location in functional plan)
Telus FDH cabinet	1.1 m x 1 m	(show possible location in functional plan)

- Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

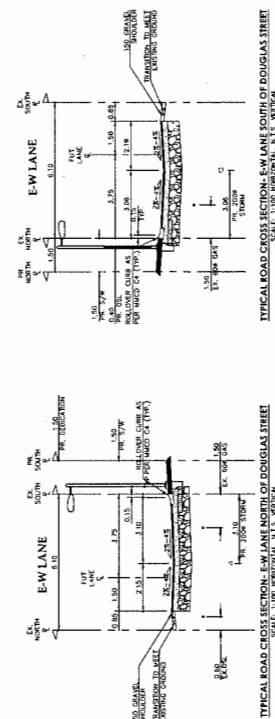
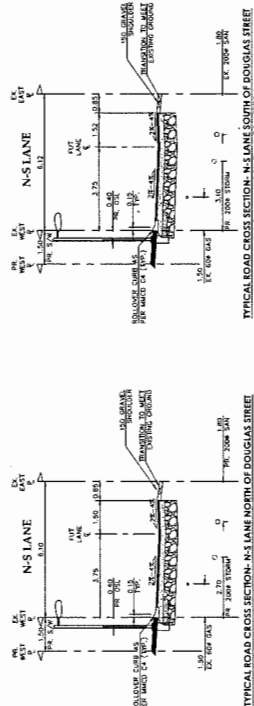
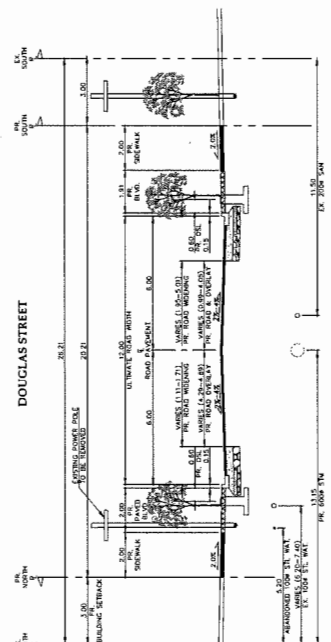
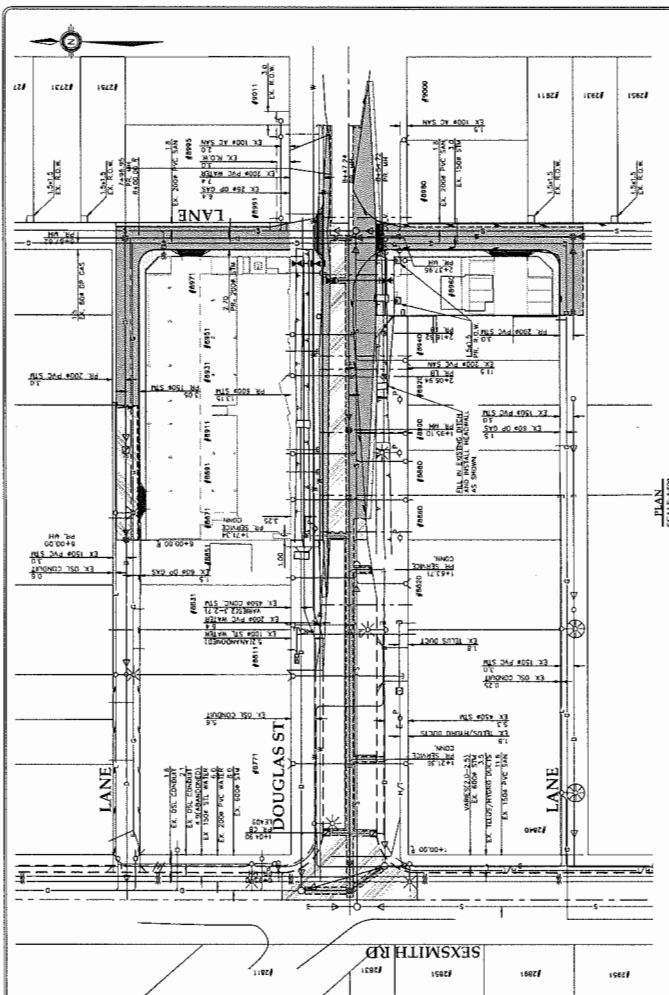
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy on file]

Signed

Date





**City of Richmond**  
8871-6960 DOUGLAS STREET

FUNCTIONAL PLAN  
CITYFILE: 8871-6960 DOUGLAS STREET

LOCATION: 8871-6960 DOUGLAS STREET  
DATE: 08/01/2017  
DESIGNED BY: J. J. JONES  
CHECKED BY: J. J. JONES  
SCALE: AS SHOWN  
SHEET NO.: 2 OF 2

NOT FOR CONSTRUCTION  
DRAFT

REV	DATE	BY	CHK	DESCRIPTION
1	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
2	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
3	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
4	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
5	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
6	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
7	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
8	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
9	08/01/2017	J. J. JONES		FOR RECORD PURPOSES
10	08/01/2017	J. J. JONES		FOR RECORD PURPOSES

**CoreConcept**  
CONSULTING  
8220-2818 Olden Way, Richmond, VA, 23181  
www.coreconceptconsulting.com

**TRIA DEVELOPMENTS LTD**  
Core Concept Consulting, Project No. 16002  
DWG. 1051

NOTES:

1. ALL LOCATIONS ARE TO BE EXISTING UNLESS NOTED OTHERWISE.

2. EXISTING CURBS AND GUTTERS TO REMAIN UNLESS NOTED OTHERWISE.

3. EXISTING UTILITIES TO REMAIN UNLESS NOTED OTHERWISE.

4. EXISTING TRAILERS TO BE IN ACCORDANCE WITH THE CURRENT VEHICLE WEIGHT, CONSTRUCTION DOCUMENTS, AND LOCAL ORDINANCES, UNLESS OTHERWISE NOTED.

THE DESIGNER OR CONSULTANT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. A LIST OF AGENCIES TO BE CONTACTED WILL BE PROVIDED TO THE CLIENT.

BE THE CALL SERVICE RECORDS DEPARTMENT  
TELEPHONE: (804) 350-1000

FORMS REQUIRED TO DATE VEHICLE DATA TO THE CONSULTANT OF THE YEAR.



**Richmond Zoning Bylaw 8500  
Amendment Bylaw 9815 (RZ 15-704980)  
8871, 8891, 8911, 8931, 8951, 8971 and 8960 Douglas Street**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500 is amended by inserting into Section 22 (Site Specific Commercial Zones), in numerical order:

**“22.45 Commercial (ZC45) – Bridgeport Village**

**22.45.1 Purpose**

The **zone** provides for a range of commercial related **uses** in the **City Centre**.

**22.45.2 Permitted Uses**

- government service
- health service, minor
- hotel
- office
- retail, convenience
- retail, general
- service, business support
- service, financial
- service, household repair
- service, personal

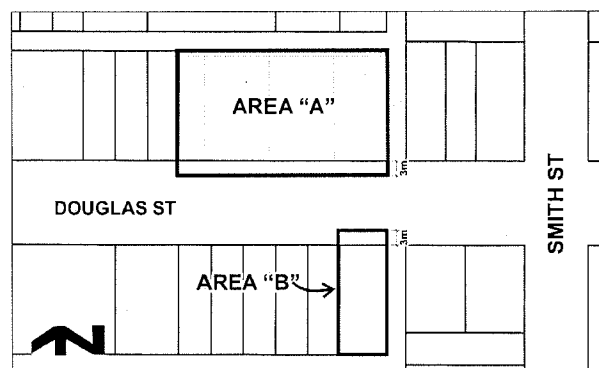
**22.45.3**

**Secondary Uses**

- n/a

**22.45.4 Permitted Density**

Diagram 1



1. For the purposes of this **zone**, the calculation of **floor area ratio** is based on the total combined area of areas “A” and “B” identified on Diagram 1.

2. The maximum **floor area ratio** is 2.0.
3. The maximum **floor area ratio** for area "A" identified on Diagram 1 is 1.940.
4. The minimum **floor area ratio** for area "B" identified on Diagram 1 is 0.059.

#### **22.45.5 Permitted Lot Coverage**

1. The maximum **lot coverage** for **buildings** is 90%.

#### **22.45.6 Yards & Setbacks**

1. Minimum **setbacks** from **lot lines** and areas granted to the **City** via statutory **right-of-way** for **road** and **lane** purposes shall be:
  - a) for Douglas Street, 6.0 m, but this may be reduced to 3.0 m subject to a Development Permit approved by the **City**;
  - b) for **rear yards, lanes** and **lanes** that are **roads**, 0.0 m; and
  - c) for **interior side yards**, 0.0 m.

#### **22.45.7 Permitted Heights**

1. The maximum **height** for **principal buildings** is 25.0 m.
2. The maximum **height** for **accessory buildings** and **structures** is 5.0 m.

#### **22.45.8 Subdivision Provisions/Minimum Lot Size**

1. The minimum **lot area** for the total combined area of "A" and "B" identified on Diagram 1, Section 22.45.4, shall be 2,400 sq. m.
2. There are no minimum **lot width** and **lot depth** requirements.

#### **22.45.9 Landscaping & Screening**

1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

#### **22.45.10 On-Site Parking and Loading**

1. On-site **vehicle** and bicycle **parking spaces** and **loading spaces** shall be provided according to the standards set out in Section 7.0.
2. Notwithstanding Section 22.45.10.1, for the purposes of this **zone**, the minimum parking requirement for **hotel use** is 0.425 spaces per **hotel** room; and for other **uses** is 3.75 spaces per 100.0m<sup>2</sup> of **gross leasable floor area**.

#### **22.45.11 Other Regulations**

1. For the purposes of this **zone**, only **hotel use** is permitted to be located above the first floor of a **building**.
2. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply."

2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"COMMERCIAL (ZC45) - BRIDGEPORT VILLAGE"**.

P.I.D. 011-280-701

Lot 23 Block 57 Sections 21 and 22 Block 5 North Range 6 West New Westminster District Plan 1555

P.I.D. 011-280-719

Lot 24 Block 57 Sections 21 and 22 Block 5 North Range 6 West New Westminster District Plan 1555

P.I.D. 004-173-678

Lot 25 Block 57 Sections 21 and 22 Block 5 North Range 6 West New Westminster District Plan 1555

P.I.D. 004-173-694

Lot 26 Block 57 Sections 21 and 22 Block 5 North Range 6 West New Westminster District Plan 1555

P.I.D. 004-899-962

Lot 27 Block 57 Sections 21 and 22 Block 5 North Range 6 West New Westminster District Plan 1555

P.I.D. 005-153-646

Lot 28 Block 57 Sections 21 and 22 Block 5 North Range 6 West New Westminster District Plan 1555

P.I.D. 012-241-849

Lot 9 Block 56 Sections 21 and 22 Block 5 North Range 6 West New Westminster District Plan 1555

3. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9815"**.  
FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

**JAN 15 2018**

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CITY OF RICHMOND
APPROVED by SB
APPROVED by Director or Solicitor BK

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER



# City of Richmond

## Report to Committee

**To:** Planning Committee  
**From:** Wayne Craig  
Director, Development

**Date:** January 9, 2018  
**File:** RZ 13-644678

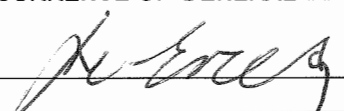
**Re:** Application by Westmark Developments Ltd. for Rezoning at  
5400 Granville Avenue from the "Single Detached (RS1/E)" Zone to the "Single  
Detached (RS2/B)" Zone

### Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9818, for the rezoning of  
5400 Granville Avenue from the "Single Detached (RS1/E)" zone to the "Single Detached  
(RS2/B)" zone, be introduced and given first reading.

  
Wayne Craig  
Director, Development  
(604-247-4625)

SB:blg  
Att. 7

REPORT CONCURRENCE		
<b>ROUTED TO:</b>	<b>CONCURRENCE</b>	<b>CONCURRENCE OF GENERAL MANAGER</b>
Affordable Housing	<input checked="" type="checkbox"/>	

## **Staff Report**

### **Origin**

Westmark Developments Ltd. has applied to the City of Richmond for permission to rezone the property at 5400 Granville Avenue from the “Single Detached (RS1/E)” zone to the “Single Detached (RS2/B)” zone, to permit the property to be subdivided into nine lots, with vehicle access from the new road under construction (Attachment 1).

The subject site is currently occupied by a single-family dwelling, which will be demolished. The applicant advises that the single-family dwelling currently contains a one-bedroom secondary suite. No Building Permits have been issued by the City in relation to the secondary suite.

The proposed subdivision plan is included in Attachment 2.

### **Findings of Fact**

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 3).

### **Surrounding Development**

Development immediately surrounding the subject site is as follows:

To the North: Across Granville Avenue, a 9-unit townhouse complex on a lot zoned “Low Density Townhouses (RTL1)”.

To the South: Single-family dwellings on lots zoned “Single Detached (RS1/B)” and across Lynwood Drive, McKay Neighbourhood Park, on a City-owned lot zoned “School & Institutional Use (SI)”.

To the East: Single-family dwellings on lots zoned “Single Detached (RS1/B)”.

To the West: Across the new road under construction, a 43-unit townhouse complex under construction (RZ 12-610630 approved April 24, 2017 and DP 15-708644, approved May 8, 2017) on lots zoned “Medium Density Townhouses (RTM3)”.

### **Related Policies & Studies**

#### **Official Community Plan/Laurelwood Sub-Area Plan**

The Official Community Plan (OCP) land use designation for the subject site is “Neighbourhood Residential (NRES)”. The Laurelwood Sub-Area Plan land use designation for the subject site is “Residential (Single-Family)” (Attachment 4). The proposed rezoning and subdivision would comply with these designations.



**Floodplain Management Implementation Strategy**

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

**Public Consultation**

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing; where any area resident or interested party will have an opportunity to comment.

Public notification for the Public Hearing will be provided as per the *Local Government Act*.

**Analysis****Existing Legal Encumbrances**

There is an existing Statutory Right-of-Way (SRW) registered on Title for sanitary sewer utilities located along a portion of the east property line, which will not be impacted by the proposed development. The applicant is aware that encroachment into the SRW is not permitted.

**Tree Retention and Replacement**

A Certified Arborist's Report was submitted by the applicant, which identifies tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The report assesses four bylaw-sized trees on the subject site; one tree on neighbouring properties to the east, and five trees in the north-south aligned new road.

The Arborist's recommendations include protecting the one tree (tag #5) located on adjacent neighbouring properties (30/30 cm dbh pyramid Cedar) and removing four trees (tag# 1 to 4) located on the subject site (two 30 cm DBH Plum trees, 20 cm and 12/12 cm DBH Apple trees) due to their poor condition. Tree Preservation staff have reviewed the Arborist's Report, conducted an on-site visual tree assessment, and concur with the Arborist's recommendations.

There are five trees (tag#10 through 14) located on the north-south aligned new road and McKay Neighbourhood Park expansion being developed along the west edge of the subject site. The four trees (tag#10 through 13) were approved for removal through the neighbouring townhouse rezoning (RZ 12-610630) to accommodate the north-south aligned new road. The one tree (tag #14) located on McKay Neighbourhood Park is being reviewed as part of the required park improvements associated with the servicing agreement for the neighbouring townhouse rezoning (SA 15-699302).

### *Tree Protection*

One tree (tag #5) on neighbouring properties is to be retained and protected. The applicant has submitted a tree protection plan showing the trees to be retained and the measures taken to protect them during development stage (Attachment 5). To ensure that the tree identified for retention is protected at development stage, the applicant is required to complete the following items:

- Prior to final adoption of the rezoning bylaw, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to the tree protection zone. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition of the existing dwelling on the subject site, installation of tree protection fencing around the tree to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

### *Tree Replacement*

For the removal of the four trees on-site (tag# 1 through 4), the OCP tree replacement ratio goal of 2:1 requires eight replacement trees. Consistent with Council Policy No. 5032 for Tree Planting (Universal), the applicant has proposed to plant and maintain two trees on each of the nine proposed lots; for a total of 18 trees, including the eight required replacement trees.

As per Tree Protection Bylaw No. 8057, based on the size of on-site trees being proposed for removal, required replacement trees shall be of the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
8	6 cm	3.5 m

To ensure the eight replacement trees are planted on-site at development stage, and the front yard of the proposed Lot A is enhanced consistent with the landscape guidelines of the Arterial Road Land Use Policy, the applicant will provide a Landscape Plan and a Landscape Security based on 100% of the cost estimate provided by the Landscape Architect (which includes \$4,000 for the eight replacement trees and \$5,000 for the additional ten trees to provide two trees on each of the nine lots), prior to final adoption of the rezoning bylaw.

Securities will not be released until a landscaping inspection has been passed by City staff after construction and landscaping has been completed. The City may retain a portion of the security for a one year maintenance period from the date of the landscape inspection.

**Architectural Character and Landscaping for Corner Lot**

The applicant has submitted preliminary conceptual plans showing the proposed architectural elevations of the corner lot dwelling (proposed Lot A) at the intersection of Granville Avenue and the north-south aligned new road (Attachment 6).

Prior to final adoption of the rezoning bylaw, the applicant is required to register a legal agreement on Title to ensure that the Building Permit application and ensuing development of the corner lot is generally consistent with the submitted conceptual plans, to the satisfaction of the Director of Development. Building Permit plans must comply with all City regulations and staff will ensure that the plans are generally consistent with the registered legal agreement.

The applicant is also required to submit a Landscape Plan prepared by a Registered Landscape Architect for the front yard of the proposed Lot A. As stated above, the applicant is required to provide a landscape security based on 100% of the cost estimate provided by the Landscape Architect, prior to final adoption of the rezoning bylaw.

**Affordable Housing Strategy**

The City's Affordable Housing Strategy for single-family rezoning applications received prior to July 24, 2017, requires a secondary suite on 100% of new lots, or a secondary suite on 50% of new lots, plus a cash-in-lieu contribution of \$2.00/ft<sup>2</sup> of total buildable area towards the City's Affordable Housing Reserve Fund for the remaining 50% of new lots, or a 100% cash-in-lieu contribution if secondary suites cannot be accommodated.

The applicant proposes to provide a secondary suite on the larger southern proposed lot (Lot I). Staff have discussed opportunities to provide additional secondary suites in the proposal, but the developer advises that this is not feasible given the requirement to provide additional parking on the proposed arterial road corner lot (Lot A) and the modest 2,137 square feet size of the homes which could be constructed on the other seven proposed lots (Lots B to H).

The applicant proposes to provide one legal secondary suite on one of the nine lots (Lot I) proposed at the subject site and a cash-in-lieu contribution at the rate of \$2.00/ft<sup>2</sup> of the total buildable area of the remaining proposed eight lots (\$35,897.54 calculated using the maximum permitted floor area [17,948.77 ft<sup>2</sup> x \$2.00/ ft<sup>2</sup>]).

To ensure the secondary suite is built to the satisfaction of the City in accordance with the City's Affordable Housing Strategy, the applicant is required to enter into a legal agreement registered on Title, stating that no final Building Permit inspection will be granted until the secondary suite is constructed to the satisfaction of the City in accordance with the BC Building Code and Richmond Zoning Bylaw 8500. Registration of this legal agreement is required prior to final adoption of the rezoning bylaw.

**Transportation and Site Access**

The design and construction of the north-south aligned new road fronting the subject site, Granville Avenue and Lynas Lane intersection improvements, east-west aligned new road and engineering infrastructure was secured to an interim standard through the neighbouring townhouse development to the west (via RZ 12-610630 and SA 15-699302). The works are

secured, but not yet constructed. Should the applicant wish to proceed with development of the subject site prior to the completion of the adjacent works, the required Servicing Agreement shall include design and construction of the fronting north-south aligned new road, intersection improvements and engineering infrastructure as described in Attachment 7.

The north-south aligned new road fronting the proposed nine single-family lots was dedicated and Servicing Agreement secured to an interim standard. Prior to final adoption of the rezoning bylaw, the applicant is required to provide road dedication on the northwest corner of the subject site to complete the south leg of the Granville Avenue and Lynas Lane intersection.

The applicant is required to enter into a Servicing Agreement to complete frontage improvements along Granville Avenue and to complete the north-south aligned new road to the ultimate design (as per SA 15-699302), as described in Attachment 7.

Vehicle access to all of the proposed lots, including the proposed corner lot, is required to be from the north-south aligned new road as per Residential Lot (Vehicular) Access Regulation Bylaw No. 7222. Registration of a legal agreement on Title is required prior to rezoning adoption, ensuring that the north-south aligned new road construction be completed prior to occupancy of any buildings on the subject site.

#### **Site Servicing and Frontage Improvements**

The proposed nine lot subdivision is anticipated to be serviced through the fronting north-south aligned new road as noted above. Prior to rezoning approval, the applicant is required to provide utilities SRWs along the west edge of the subject site for service connections to the proposed lots and connection of the sanitary sewer to the existing sanitary sewer in Lynnwood Drive to the southwest of the subject site. Also prior to rezoning approval, the applicant is required to enter into a Servicing Agreement for the design and construction of required engineering infrastructure improvements, as described in Attachment 7.

#### **Financial Impact or Economic Impact**

The rezoning application results in an insignificant Operational Budget Impact (OBI) (i.e., \$6,000.00) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees).

#### **Conclusion**

The purpose of this application is to rezone the property at 5400 Granville Avenue from the "Single Detached (RS1/E)" zone to the "Single Detached (RS2/B)" zone, to permit the property to be subdivided into nine single-family lots.

This rezoning application complies with the land use designation and applicable policies contained within the OCP for the subject site.

The list of rezoning considerations is included in Attachment 7, which has been agreed to by the applicant (signed concurrence on file).

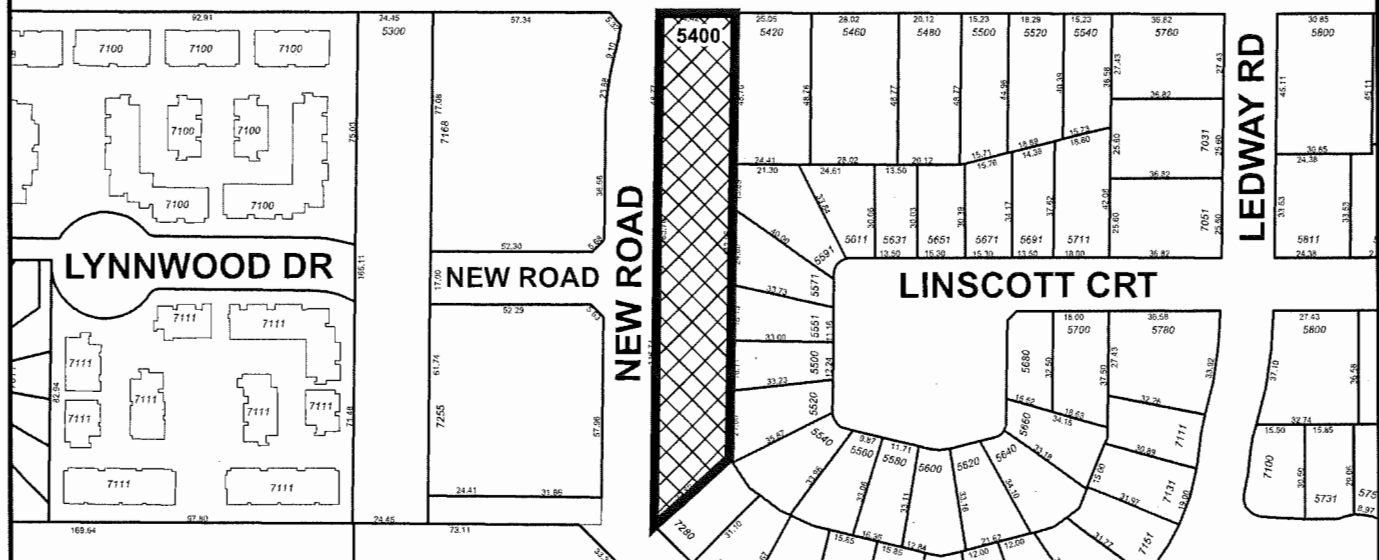
On this basis, it is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9818 be introduced and given first reading.

A handwritten signature in cursive script that reads "Sara Badyal".

Sara Badyal, M. Arch, MCIP, RPP  
Planner 2  
(604-276-4282)

SB:blg

Attachment 1: Location Map and Aerial Photo  
Attachment 2: Proposed Subdivision Plan  
Attachment 3: Development Application Data Sheet  
Attachment 4: Laurelwood Sub-Area Plan Location Map  
Attachment 5: Tree Management Diagram  
Attachment 6: Conceptual Building Elevations  
Attachment 7: Rezoning Considerations



RZ 13-644678

Note: Dimensions are in METRES





City of  
Richmond



RZ 13-644678

Original Date: 09/04/13

Revision Date: 01/02/18

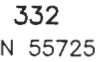
Note: Dimensions are in METRES



## ATTACHMENT 2

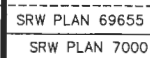
# GRANVILLE AVENUE

SITE  
BOUNDARY



PROPOSED  
LOT (TYP.)

C  
361.0m<sup>2</sup>



7

Sec 13  
Bk4N R7W

2  
PLAN EPP56049

10	PLAN
9	69999

11

12

PLAN 72868

PH - 144

REISSUED: APRIL 17, 2017  
MAY 24, 2013



RZ 13-644678

Attachment 3

Address: 5400 Granville Avenue

Applicant: Westmark Developments Ltd.

Planning Area(s): Laurelwood Sub-Area (Blundell)

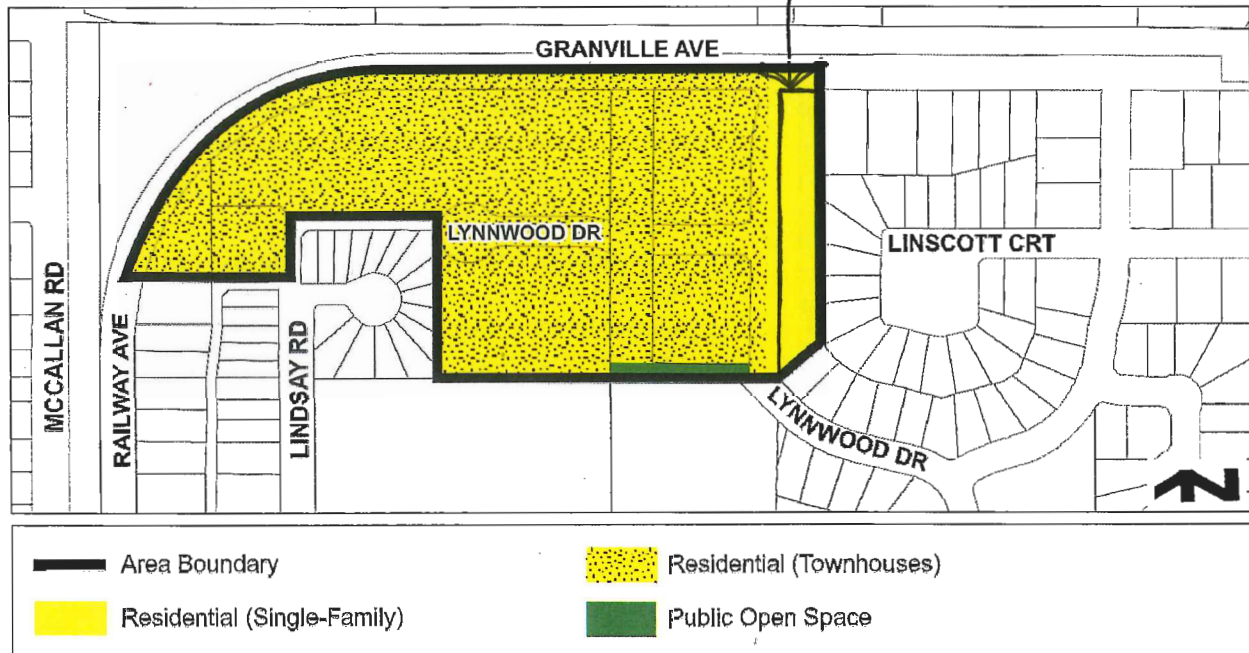
	Existing	Proposed
Owner:	S-8132 Holdings Ltd., Inc. No. 0689976	
Site Size (m <sup>2</sup> ):	3,766.5 m <sup>2</sup>	Road Dedication 115.5 m <sup>2</sup> Lot A 538.4 m <sup>2</sup> Lot B 361.0 m <sup>2</sup> Lot C 361.0 m <sup>2</sup> Lot D 361.0 m <sup>2</sup> Lot E 361.0 m <sup>2</sup> Lot F 361.0 m <sup>2</sup> Lot G 361.0 m <sup>2</sup> Lot H 361.0 m <sup>2</sup> Lot I 585.6 m <sup>2</sup> Total 3,766.5 m <sup>2</sup>
Land Uses:	Residential	Residential
OCP Designation:	Neighbourhood Residential	Complies
Area Plan Designation:	Residential (Single-Family)	Complies
702 Policy Designation:	N/A	N/A
Zoning:	Single Detached (RS1/E)	Single Detached (RS2/B)
Number of Units:	1 single detached house	10 dwelling units (9 single detached houses, including 1 secondary suite)

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.55 for lot area up to 464.5 m <sup>2</sup> plus 0.3 for area in excess of 464.5 m <sup>2</sup>	0.55	None permitted
Buildable Floor Area*:	Lot A: Max. 277.6 m <sup>2</sup> (2,988.5 ft <sup>2</sup> ) Lot B: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot B: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot D: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot E: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot F: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot G: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot H: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot I: Max. 291.8 m <sup>2</sup> (3,140.9 ft <sup>2</sup> )	Lot A: Max. 277.6 m <sup>2</sup> (2,988.5 ft <sup>2</sup> ) Lot B: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot B: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot D: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot E: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot F: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot G: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot H: Max. 198.5 m <sup>2</sup> (2,137.1 ft <sup>2</sup> ) Lot I: Max. 291.8 m <sup>2</sup> (3,140.9 ft <sup>2</sup> )	None permitted
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 70% Total: Max. 70%	Building: Max. 45% Non-porous Surfaces: Max. 70% Total: Max. 70%	None

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Lot Size:	Min. 360 m <sup>2</sup>	Lot A: 538.4 m <sup>2</sup> Lot B: 361 m <sup>2</sup> Lot C: 361 m <sup>2</sup> Lot D: 361 m <sup>2</sup> Lot E: 361 m <sup>2</sup> Lot F: 361 m <sup>2</sup> Lot G: 361 m <sup>2</sup> Lot H: 361 m <sup>2</sup> Lot I: 585.6 m <sup>2</sup>	None
Lot Dimensions:	Width: Min. 12 m Depth: Min. 24 m	Width: 14.79 m to 23.99 m Depth: 24.41 m to 26.75 m	None
Setbacks:	Corner Lot A Front: Min. 6 m Rear: Min. 1.2 m Exterior Side: Min. 6 m Interior Side: Min. 1.8 m  Interior Lots B - I Front: Min. 6 m Interior Side: Min. 1.2 m Rear: Min. 6 m	Corner Lot A Front: 6 m Rear: 1.2 m Exterior Side: 6 m Interior Side: 1.8 m (with allowable projections) Interior Lots B - I Front: will comply Interior Side: will comply Rear: will comply	None
Height:	Residential Vertical Envelope (Max 9 m)	Residential Vertical Envelope (Max 9 m)	None
Off-street Parking Spaces:	2 per lot	2 per lot	None

\* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.

City of Richmond

**Land Use Map**Bylaws 9114 & 9230  
2017/04/24

# APPENDIX 3 TREE PROTECTION PLAN

## TREE INVENTORY

#	Type	DBH	MPZ
1	Fruiting Plum	30cm	2cm
2	Fruiting Plum	30cm	2cm
3	Apple	20cm	1cm
4	Apple	12/12cm	1cm
5	Pyramid Cedar	30/30cm	2cm
10	Horse Chestnut	55cm	3cm
11	Sycamore Maple	60/60/60	5cm
12	Excelsa Cedar	30cm	2cm
13	Tulip Tree	30/25/25	3cm
14	Scot Pine	45cm	3cm

DBH- trunk diameter, MPZ- protection zone

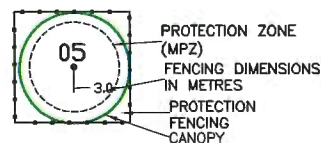
## TREE PROTECTION FENCING

### Minimum Radial Distance from trunk

#	Type	DBH	Metres	Feet
5	Pyramid Cedar	30/30cm	2.4m	7.9ft

### LEGEND

TREE PROPOSED  
FOR RETENTION



TREE PROPOSED  
FOR REMOVAL



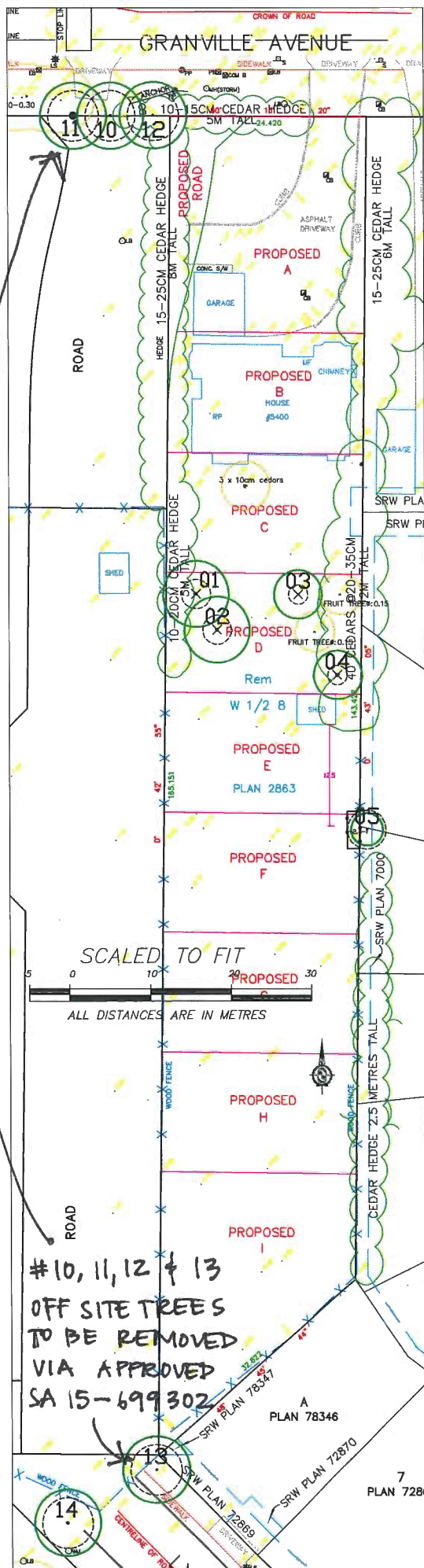
NOTES:  
1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING  
2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.  
3. ALL MEASUREMENTS ARE METRIC

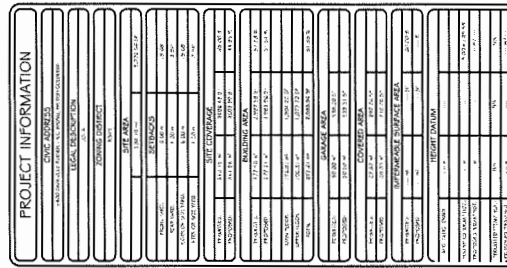
Froggers Creek  
Tree Consultants Ltd

7763 McGregor Avenue Burnaby BC V5J 4H4  
Telephone: 604-721-6002 Fax: 604-437-0970

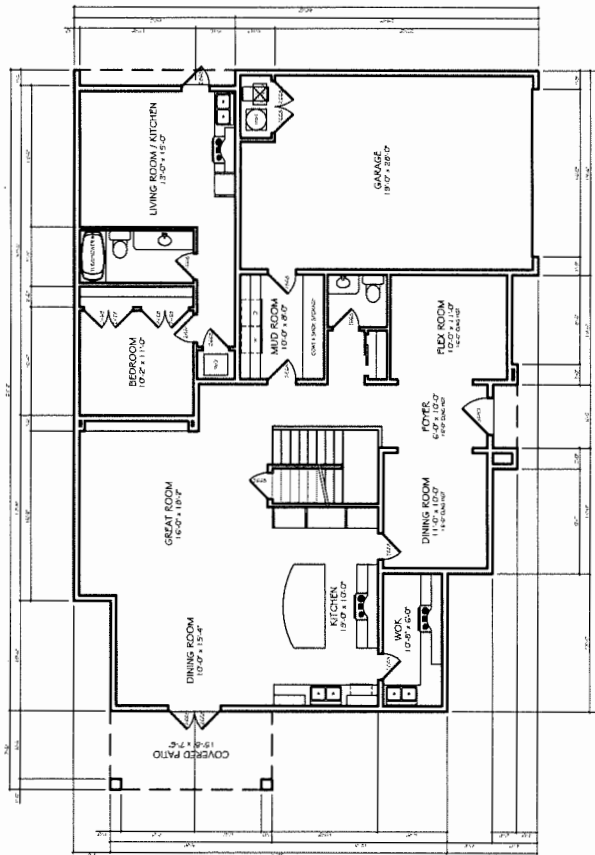
5400 Granville Avenue Richmond BC

TREE PROTECTION DRAWING  
THE DRAWING PLOTS ALL TREES, PROPOSED FOR RETENTION, REMOVAL, THEIR CANOPIES PROTECTION ZONES AND PROTECTION FENCING IN RELATION TO PROPOSED LAYOUT  
May 8, 2017



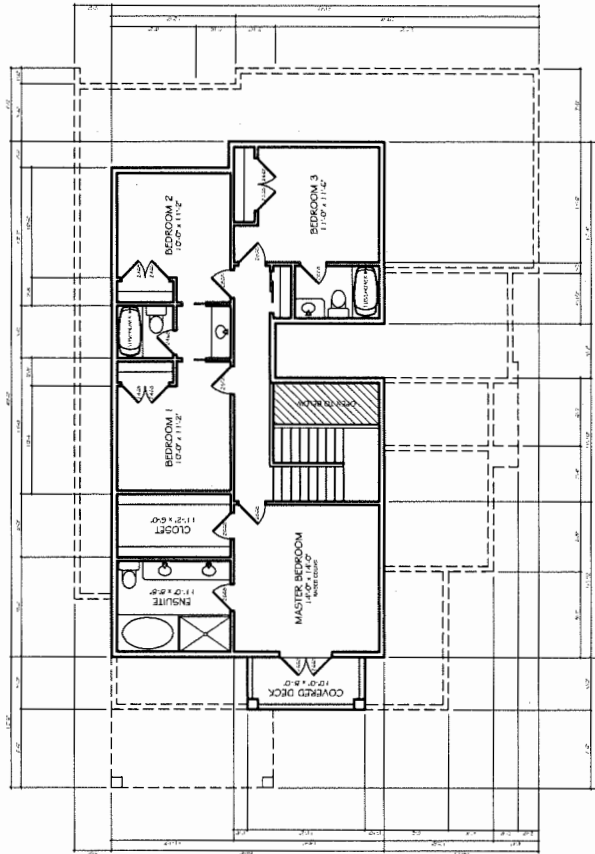






**MAIN FLOOR PLAN**

FLOOR AREA: 1704.26 SF  
 FRONT PORCH AREA: 60.00 SF  
 REAR PORCH AREA: 117.50 SF  
 SIDE PATIO AREA: 70.00 SF  
 TOTAL AREA: 2551.76 SF



**UPPER FLOOR PLAN**

FLOOR AREA: 1079.70 SF  
 LINEN CLOSET AREA: 10.00 SF  
 STORAGE ROOM AREA: 55.84 SF  
 COVERED DECK AREA: 80.00 SF  
 TOTAL AREA: 1325.54 SF

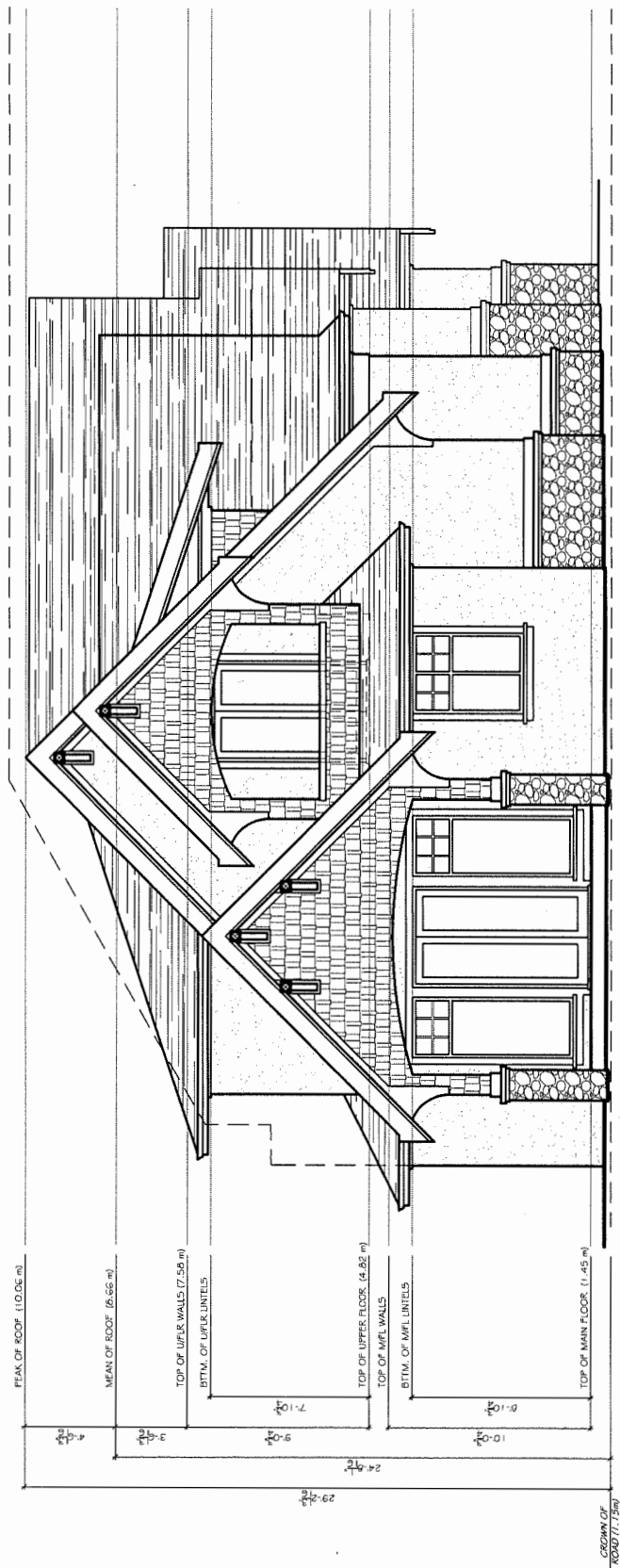
**KAM DAHIA DESIGN LTD**

TEL: 604.805.5263

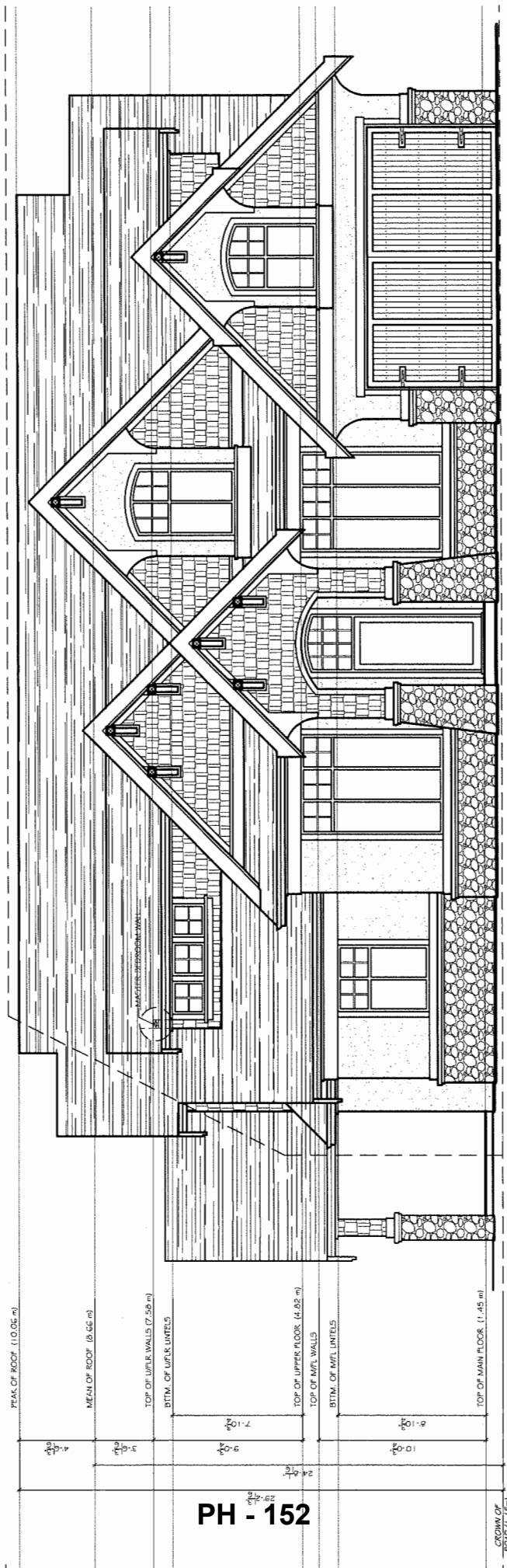
FAX: 604.909.4832

EMAIL: [KAN@KAMDAHIA.COM](mailto:KAN@KAMDAHIA.COM)

WEB: [WWW.KAMDAHIA.COM](http://WWW.KAMDAHIA.COM)



GRANVILLE AVENUE ELEVATION



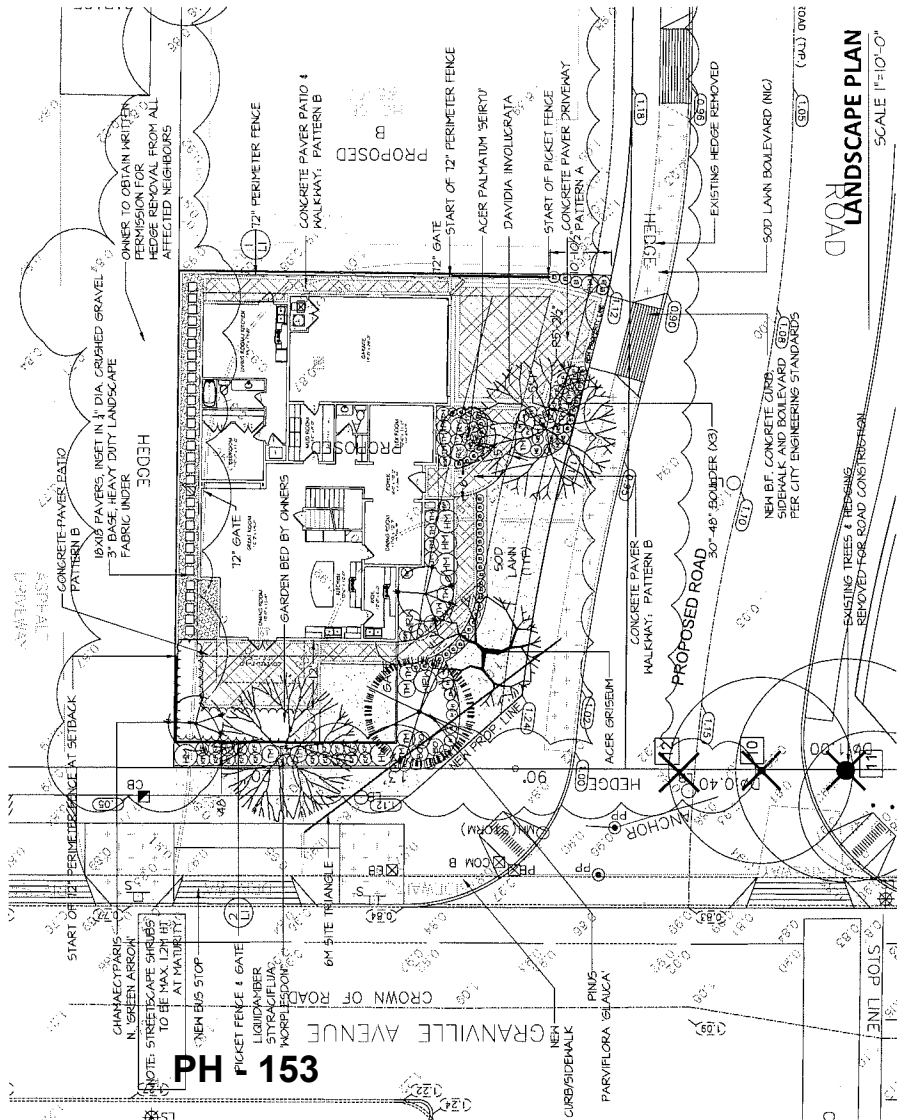
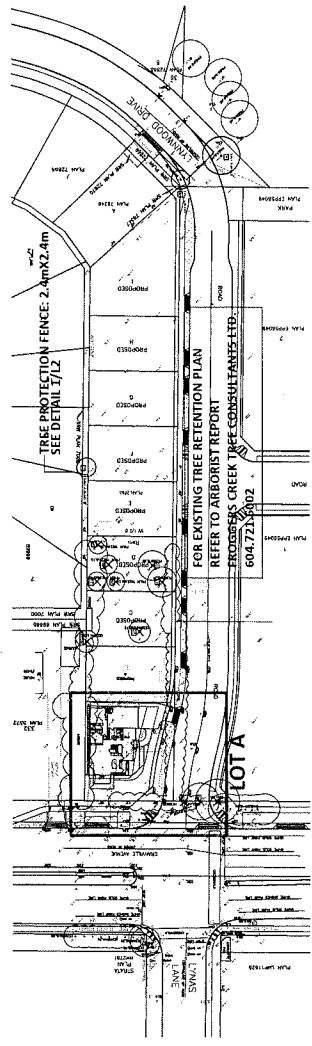
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**omg**  
LANDSCAPE  
ARCHITECTS  
Suite C100 - 4188 Bill Creek Drive  
Richmond, BC V6X 2G2  
Tel: 604.273.1111  
Fax: 604.273.1112

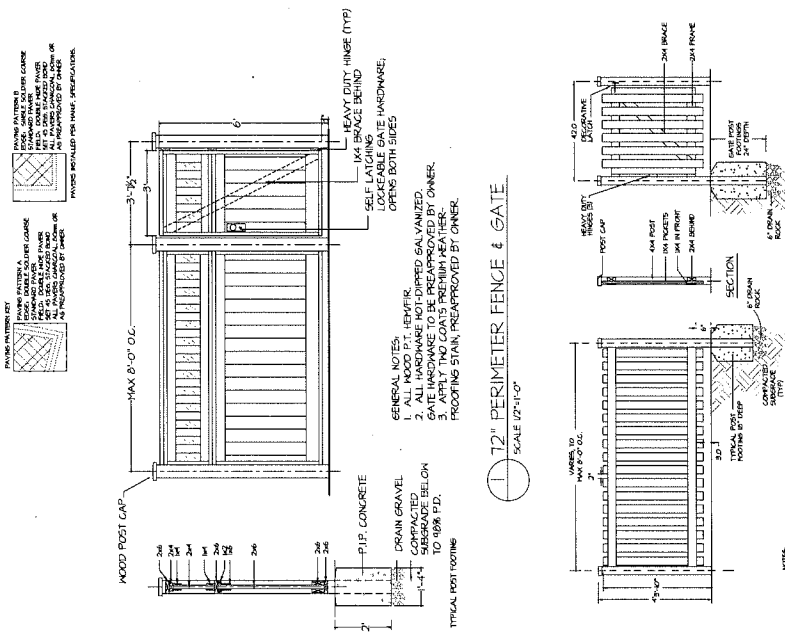
SCALE

PLANT SCHEDULE		PLANT FOR NUMBER: 17-074
SYMBOL	COMMON NAME	PLANT SPECIES / VARIETY
1	ACER GREEN	FRAXINUS AMER.
2	DAVIDIA INVOLUCRATA	DAVIDIA INVOLUCRATA
3	PARVIFLORA BLAUA	PARVIFLORA BLAUA
4	GRASS	GRASS
5	GRASS	GRASS
6	GRASS	GRASS
7	GRASS	GRASS
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SUBDIVISION KEY PLAN  
SCALE 1"=50'-0"



LANDSCAPE PLAN  
SCALE 1"=10'-0"



PICKET FENCE & GATE  
SCALE 1/2"=1'-0"

PROJECT: RESIDENTIAL REZONING  
PROPOSED LOT A  
500 LAVIN BOULEVARD  
RICHMOND, BC  
DRAWING TITLE: LANDSCAPE PLAN  
DATE: 17 AUG 22  
SCALE: 1"=10'-0"  
DRAWN: BJ  
CHECKED: KCM  
PROJECT NUMBER: 17-074





**Address:** 5400 Granville Avenue

**File No.:** RZ 13-644678

**Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9818, the developer is required to complete the following:**

1. Road dedication of approximately 115.5 m<sup>2</sup> (1,243 ft<sup>2</sup>) at the northwest corner of the subject site as shown in the preliminary road functional plan (Appendix A) for the ultimate design on the southeast corner of the Granville Avenue and Lynas Lane intersection via neighbouring SA 15-699302. The road dedication amounts will be finalized through the final road functional plan required as part of the Servicing Agreement.
2. Granting of a 1.5 m wide statutory right-of-way (SRW) for the purposes of utilities along the entire west property line (after road dedication) of the subject site. The SRW is being secured to facilitate service connections, inspection chambers, water meters, etc. Any City utilities works within the required SRW are to be included in the required SA and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. Works to be secured via SA.
3. Granting of an approximately 3 m wide statutory right-of-way (SRW) for the purposes of utilities that is aligned north-south at the southwest corner of the subject site. The SRW is being secured to facilitate a straight connection from the existing sanitary sewer stub that is located near the southwest corner of the subject site to the new sanitary main at the south end of the north-south aligned new road. Details of the required 3 m wide SRW shall be finalized via the required Servicing Agreement (SA) design. Any City utilities works within the required SRW are to be included in the required SA and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. Works to be secured via SA.
4. Registration of a flood indemnity covenant on Title (Area A).
5. Registration of a legal agreement on Title ensuring the north-south aligned new road construction is completed (e.g., as per SA 15-699302) prior to any occupancy of any buildings on the subject site.
6. Registration of a legal agreement on Title ensuring that the Building Permit application and ensuing development of the corner lot (proposed Lot A) is generally consistent with the submitted conceptual plans, to the satisfaction of the Director of Development.
7. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on one of the nine future lots (Lot I), to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
8. The City's acceptance of the applicant's voluntary contribution of \$2.00 per buildable square foot of the single-family development (i.e. \$35,897.54, calculated against the allowable 17,949 ft<sup>2</sup> floor area on proposed Lots A to H) to the City's Affordable Housing Reserve Fund.
9. Submission of a Tree Landscape Security in the amount of \$500 per tree to ensure that a total of two trees are planted and maintained on each lot proposed (i.e. \$9,000.00 for a total of 18 trees); minimum 6 cm deciduous caliper or 3.5 m high conifers. **NOTE: minimum replacement size to be as per Tree Protection Bylaw No. 8057 Schedule A – 3.0 Replacement Trees.**
10. Submission of a Landscape Plan for Lot A, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, and deposit of an arterial lot Landscape Security based on 100% of the cost estimate provided by the Landscape Architect, including installation costs. The Landscape Plan should:
  - comply with the guidelines of the OCP's Arterial Road Policy and should not include hedges along the front property line;
  - include a mix of coniferous and deciduous trees; and
  - include two of the eight required replacement trees with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	or	Minimum Height of Coniferous Tree
8	6 cm		3.5 m



11. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the off-site trees to be protected. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
12. Installation of appropriate tree protection fencing around all trees to be protected as part of the development prior to any construction activities, including building demolition, occurring on-site.
13. Enter into a Servicing Agreement\* for the design and construction of transportation and services works. Works include, but may not be limited to:

- a) Works secured through SA 15-699302 for north-south aligned new road, intersection and servicing:

The design and construction of the north-south aligned new road fronting the subject site, intersection improvements, east-west aligned new road and servicing infrastructure was secured via Servicing Agreement SA 15-699302. Should the developer wish to proceed with development of the subject site prior to the fronting road construction completion, the developer of the subject site is required to design, to the satisfaction of the Director of Transportation, and construct the fronting north-south aligned new road and intersection of Granville Avenue and Lynas Lane, complete with traffic signals, street lighting and services as follows.

i. Road works:

- At the developer's costs, the developer is required to:
  - North-South aligned new road: Provide 17.5m wide cross-section (including 0.5m wide SRW PROP along west edge of road). New road works to include but not limited to: 11.2 m wide asphalt pavement, curb and gutter, Min. 1.5 m grass boulevard with street trees and 1.5 m wide concrete sidewalk. Road extension narrows as it approaches Granville Avenue to align the ultimate curbs with the north leg of the intersection.
  - Decorative paving treatments, alignment of sidewalks, and traffic calming measures such as curb extensions and boulevards will be reviewed and included if deemed necessary through the Servicing Agreement process.
  - Intersection improvements: Installation of a new traffic signal at the intersection of Granville Avenue and Lynas Lane. Existing special crosswalk to be upgraded to a full traffic signal. The work shall include, but not be limited to:
    - Type "P" controller cabinet.
    - UPS (Uninterrupted Power Supply) & service panel cabinet/base
    - Video detection
    - Illuminated street name signs
    - Type "S" and/or type "L" poles/bases to suit site conditions
    - APS (Accessible Pedestrian Signals)
    - Fibre optic communications cable and associated equipment
    - In-ground vehicle detection
    - Removal of existing signal poles, bases, etc to be returned to City Works Yard
    - All associated costs to upgrade this system to be borne by the Developer.
    - The design of the intersection is to be to TAC standard for intersection design, including barrier curbs at the corners. As well, signage and pavement markings, are required.

ii. Storm Sewer works:

- At the developer's costs, the developer is required to:
  - Provide a 600 mm diameter storm sewer (complete with manholes) in the north-south aligned new road from the existing 600 mm diameter storm sewer (tie-in will be through a new manhole) located at the proposed site's Granville Avenue frontage to approximately 185 m south (i.e., tie-in through a new manhole to the existing storm sewer in Lynnwood Drive southwest of the proposed site).
- At the Developer's cost, the City will:
  - Complete cutting at main and capping of all existing storm service connections and tie-in of all proposed storm sewer works to existing City drainage infrastructures.

iii. Sanitary Sewer works:

- At the developer's costs, the developer is required to:
  - Provide a 200mm diameter sanitary sewer (complete with manholes) in the north-south aligned new road from the existing sanitary main located at the proposed site's southwest corner (i.e., existing Lynnwood Drive) to approximately 185 m north (i.e., up to the north property line of the proposed site). Tie-in to the existing system will be through a new manhole.
- At the Developer's cost, the City will:
  - Complete cutting at main and capping of all existing sanitary service connections and tie-in of all proposed sanitary works to existing City sanitary infrastructures.

iv. Water works:

- At the developer's costs, the developer is required to:
  - Provide a 200 mm diameter water main in the north-south aligned new road from the existing 400 mm diameter water main located at the proposed site's Granville Avenue frontage to approximately 185 m south (i.e., tie-in to the existing water main in Lynnwood Drive, southwest of the proposed site).
  - Provide fire hydrants, spaced as per City standard, along the north-south aligned new road.
- At the Developer's cost, the City will:
  - Complete cutting at main and capping of all existing water service connections and tie-in of all proposed water works to existing City water infrastructures.

v. Frontage improvement works:

- At the developer's costs, the developer is required to:
  - Provide street lighting as per City standards along the north-south aligned new road.
  - Relocate or put underground the existing private utility poles and overhead lines (e.g., BC Hydro, Telus and Shaw) along Granville Avenue frontage that will conflict with the north-south aligned new road. The developer is required to coordinate with the private utility companies.
  - Relocate the existing traffic signal pole that conflicts with the north-south aligned new road.
  - Pre-duct for future hydro, telephone and cable underground utilities along the north-south aligned new road.

b) Road works:

As part of the Servicing Agreement, the developer is required to provide a final road functional plan to confirm the ultimate road design, to the satisfaction of the Director of Transportation. Based on the preliminary road functional plan in Appendix A, the road works include, but are not limited to the following:

i. At the developer's costs, the developer is required to:

- Complete all temporary road modification and signal works to the ultimate design as per SA 15-699302. A pavement marking and signage plan is required as part of the SA.
- Granville Avenue: Off-site works to match upgrades as per SA 15-699302 on west side of north-south aligned new road, including new 1.5 m wide concrete sidewalk and grass boulevard with street trees tying into existing sidewalk to the east of the subject site. Provision of a 3 m x 9 m concrete bus pad is required with pre-ducting and the bus stop ID pole may need to be relocated. The developer is required to coordinate with CMBC to confirm the bus stop location and design.
- North-south aligned new road: To be widened to ultimate cross section per the ultimate road functional plan (SA 15-6099302), including but not limited to pavement widening, 0.15 m wide curb and gutter, 1.5 m wide grass boulevard with street trees and 1.5 m wide sidewalk.
- Granville Avenue and Lynas Lane intersection: To be widened to ultimate cross section per the ultimate road functional plan (SA 15-6099302). As a result of the widening of the intersection, traffic signal modifications will be required to traffic signal poles, loop detectors, stations, bases, etc. to complete the intersection traffic signal design to the ultimate standard. A traffic signal design is required as part of the SA to determine the scope of the traffic signal work.

- Driveways: The detailed design and location of the site driveways will be reviewed and approved through the SA which is a condition of the RZ. At a minimum, the detailed design is to locate the driveway for Lot A along the south property line and relocate the driveways for Lots E & F outside of the road intersection area. All other driveways are to be coupled to maximize street parking on the frontage. Driveways adjacent to road intersections will be required to provide a hammerhead for vehicle turnaround on site.
- c) Storm Sewer works:
  - i. At the Developer's cost, the City will:
    - Complete cutting at main and capping of all existing storm service connections and tie-in of all proposed storm sewer works to existing City drainage infrastructures.
- d) Sanitary sewer works:
  - i. At the developer's costs, the developer is required to:
    - Provide a 3 m wide utility right of way that is aligned north-south at the southwest corner of 5400 Granville Avenue. The purpose of this utility right-of-way is to facilitate a straight connection from the existing sanitary sewer stub that is located near the southwest corner of 5400 Granville to the new sanitary main at the south end of the north-south aligned new road. Details of the required 3 m wide utility right-of-way shall be finalized via the Servicing Agreement design.
  - ii. At the Developer's cost, the City will:
    - Complete cutting at main and capping of all existing sanitary service connections and tie-in of all proposed sanitary works to existing City sanitary infrastructures.
- e) Water works:
  - i. At the developer's costs, the developer is required to:
    - Using the OCP Model, there are 1054.7 and 1136.6 L/s available at 20 psi residual at the hydrants located at Granville Road frontage and 109.9 L/s at 20 psi residual at a hydrant located south-east of the site on Lynnwood Drive. Based on your proposed rezoning, your site requires a minimum fire flow of 120 L/s. Water analysis is not required. However, once you have confirmed your building design at the Building Permit stage, you must submit fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey or ISO to confirm that there is adequate available flow.
    - Confirm or provide fire hydrants, spaced as per City standard, along the north-south aligned new road adequate to service the proposed lots.
  - ii. At the Developer's cost, the City will:
    - Complete cutting at main and capping of all existing water service connections and tie-in of all proposed water works to existing City water infrastructures.
- f) Frontage Improvement works:
  - i. At the developer's costs, the Developer is required to:
    - Provide street lighting as per City standards along the north-south aligned new road and Granville Avenue frontages.
    - Relocate or put underground the existing private utility poles and overhead lines (e.g., BC Hydro, Telus and Shaw) along Granville Avenue frontage that will conflict with the north-south aligned new road. The developer is required to coordinate with the private utility companies.
    - Pre-duct for future hydro, telephone and cable underground utilities along the north-south oriented new road and Granville Avenue frontages.
    - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right-of-way requirements and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be

submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

BC Hydro Vista	*	
BC Hydro PMT	4 m x 5 m*	(width x depth)
BC Hydro LPT	3.5 m x 3.5 m*	
Street light kiosk	2 m x 1.5 m	
Traffic signal controller	3.2 m x 1.8 m	
Traffic signal UPS	1.8 m x 2.2 m	
Shaw cable kiosk	1 m x 1 m*	(show possible location in functional plan)
Telus FDH cabinet	1.1 m x 1 m*	(show possible location in functional plan)

\*Confirm SRW dimensions with BC Hydro, Shaw & Telus

g) General Items:

- i. Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Building Permit application for the corner lot generally consistent with the rezoning conceptual plans, to the satisfaction of the Director of Development.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy onfile]

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Signed

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Date

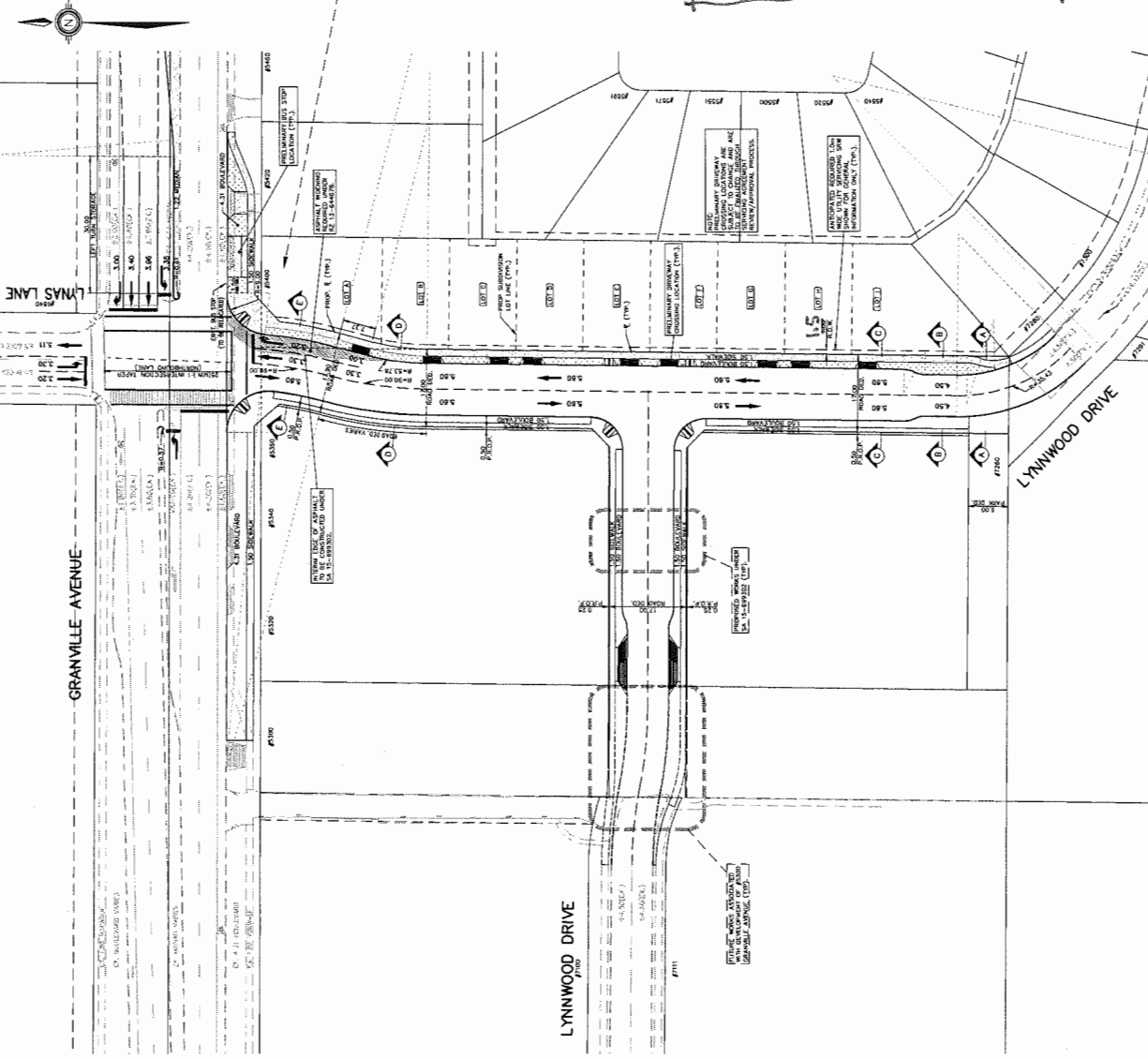
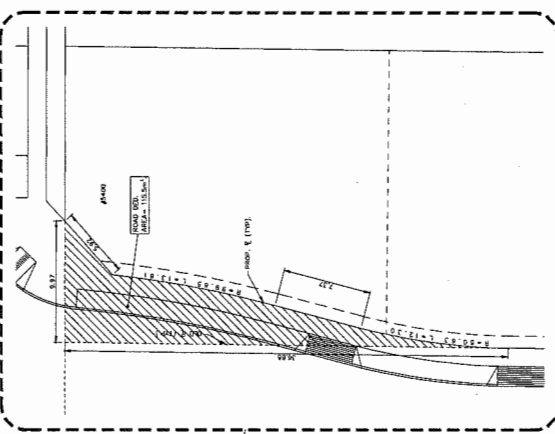
City of Miami  
MAY 1, 2006

**FUNCTIONAL PLAN**  
5400 GRANVILLE AVENUE  
CITY FILE: RZ 13-64678

**TITLE**  
PROJECT: RT  
DRAWN: BT  
CHECKED: JMC  
DESIGNED: JMC  
APPROVED: JMC

**DWG. No.:**  
SHEET: 1 OF 2  
DATE: 05/01/06  
BY: JMC

**PRELIMINARY  
ROAD FUNCTIONAL  
PLAN**



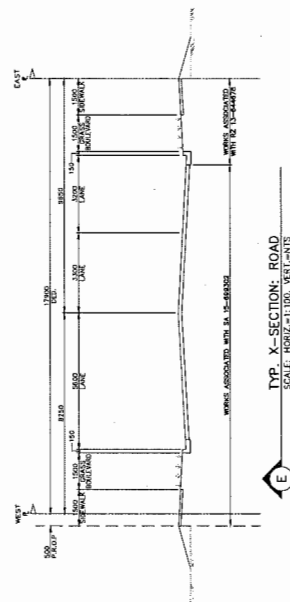
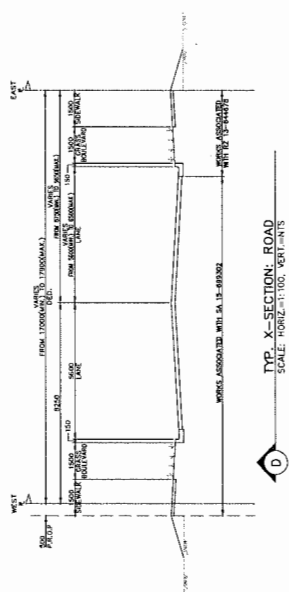
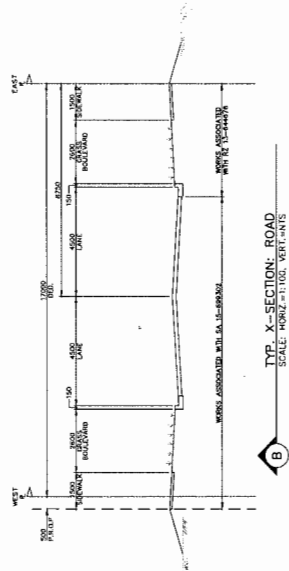
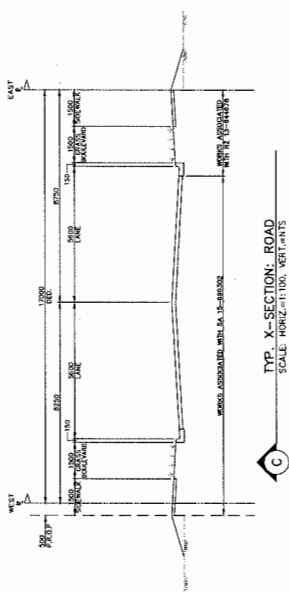
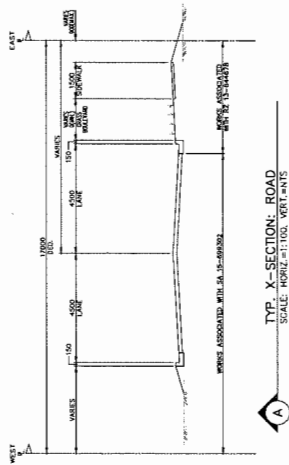
REVISIONS	DATE	BY	REVISION
1.	05/01/06	JMC	SECOND SUBMISSION FOR PRELIMINARY REVIEW (LOCALS/LOCALS STIP)
2.	05/01/06	JMC	FIRST SUBMISSION

**MPT ENGINEERING CO. LTD.**  
4400-11300 BAYVIEW AVE, SUITE 100, BAYVIEW, ONTARIO M2H 3B7  
TEL: 416-291-8881 FAX: 416-291-8882  
**WESTMARK DEVELOPMENT GROUP**  
MPT DWG. NO.: R15860-FP  
SHT. NO.: 1 OF 2

- NOTES:**
1. ELEVATION AND IN SETBACKS AND ARE BASED ON CITY OF MIAMI DATA.
  2. CONSTRUCTION OF THIS ROADWAY WITH MPT ENGINEERING, PRIOR TO CONSTRUCTION.
  3. CONSTRUCTION OF THIS ROADWAY WITH MPT ENGINEERING, PRIOR TO CONSTRUCTION.
  4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MIAMI MUNICIPAL REGULATION DOCUMENTS AND THE CURRENT CITY OF MIAMI CONSTRUCTION SPECIFICATIONS AND DETAIL DOCUMENTS.

**TURNING MOVEMENTS**  
CALCULATED BY: JMC  
DATE: 05/01/06  
BY: JMC





**NOTES:**

1. ELEVATIONS ARE IN METERS AND ARE BASED ON CITY OF TORONTO DATUM.

2. CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CITY OF TORONTO STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

3. CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CITY OF TORONTO STANDARD SPECIFICATIONS FOR UTILITIES.

4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT "SPECIFICATIONS FOR MATERIALS AND CONSTRUCTION" OF THE CITY OF TORONTO.

5. CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE CITY OF TORONTO STANDARD SPECIFICATIONS FOR UTILITIES.

**REVISIONS**

NO.	DATE	BY	CHKD.	DESCRIPTION
1	13 APR 97	BC	BC	SECOND SUBMISSION (REV. PRELIMINARY SUBMITTAL)
2	13 APR 97	BC	BC	FINAL SUBMISSION

**EXTERNAL SERVICES**

THE LOCATION OF THE PROJECT IS SHOWN ON THE ATTACHED MAP. THE LOCATION OF THE PROJECT IS SHOWN ON THE ATTACHED MAP. THE LOCATION OF THE PROJECT IS SHOWN ON THE ATTACHED MAP.

NOTE: THE LOCATION OF THE PROJECT IS SHOWN ON THE ATTACHED MAP. THE LOCATION OF THE PROJECT IS SHOWN ON THE ATTACHED MAP. THE LOCATION OF THE PROJECT IS SHOWN ON THE ATTACHED MAP.

**WESTMARK DEVELOPMENT GROUP**

MPT ENGINEERING CO. LTD.

MPT DMC NO.: 115860-FP

SMT NO.: 2 OF 2

**City of Richmond Hill**

**TITLE: FUNCTIONAL PLAN X-SECTIONS**

**5400 GRANVILLE AVENUE**

**CITY FILE: RZ 13-64678**

**DESIGN:** MPT

**BY:** MPT

**CHECKED:** MPT

**DATE:** 13 APR 97

**SCALE:** 1:100

**LOC:** 508/17

**CONTRACT:** MPT

**DATE:** 13 APR 97

**REV:** 2 OF 2



**Richmond Zoning Bylaw 8500  
Amendment Bylaw 9818 (RZ 13-644678)  
5400 Granville Avenue**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"SINGLE DETACHED (RS2/B)"**.

P.I.D. 004-265-271

West Half Lot 8 Except: Part Subdivided by Plan 78346; Section 13 Block 4 North Range 7  
West New Westminster District Plan 2863

2. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9818"**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

JAN 29 2018

CITY OF RICHMOND
APPROVED by SB.
APPROVED by Director or Solicitor BK

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER