



Planning Committee

Anderson Room, City Hall
6911 No. 3 Road

Tuesday, September 19, 2017
4:00 p.m.

Pg. # ITEM

MINUTES

PLN-4 *Motion to adopt the **minutes** of the meeting of the Planning Committee held on September 6, 2017.*



NEXT COMMITTEE MEETING DATE

October 3, 2017, (tentative date) at 4:00 p.m. in the Anderson Room

COMMUNITY SERVICES DIVISION

1. **RCSAC NON-PROFIT SPACE REVIEW FUNDING REQUEST**
(File Ref. No. 01-0100-30-RCSA1-01) (REDMS No. 5443578 v. 5)

PLN-10

See Page PLN-10 for full report

Designated Speaker: Lesley Sherlock

STAFF RECOMMENDATION

That the Richmond Community Services Advisory Committee request for \$13,000 to complete the Richmond Non-Profit Space Review Project be considered as part of the 2018 Council Community Initiatives One-Time Expenditures process.



PLANNING AND DEVELOPMENT DIVISION

2. **APPLICATION BY SATNAM SHERGILL AND GURJIT POONI FOR REZONING AT 9371 DAYTON AVENUE FROM "SINGLE DETACHED (RS1/B)" TO "SINGLE DETACHED (RS2/A)"**

(File Ref. No. 12-8060-20-009752; RZ 17-775844) (REDMS No. 5477319)

PLN-46

[See Page PLN-46 for full report](#)

Designated Speaker: Wayne Craig

STAFF RECOMMENDATION

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9752, for the rezoning of 9371 Dayton Avenue from "Single Detached (RS1/B)" to "Single Detached (RS2/A)", be introduced and given first reading.



3. **APPLICATION BY TIMOTHY TSE FOR REZONING AT 9200/9220 GLENALLAN DRIVE FROM TWO UNIT DWELLINGS (RD1) TO SINGLE DETACHED (RS2/C)**

(File Ref. No. 12-8060-20-009758; RZ 16-745791) (REDMS No. 5445577)

PLN-62

[See Page PLN-62 for full report](#)

Designated Speaker: Wayne Craig

STAFF RECOMMENDATION

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9758, for the rezoning of 9200/9220 Glenallan Drive from "Two-Unit Dwellings (RDI)" to "Single Detached (RS2/C)", be introduced and given first reading.



4. **ESTABLISHMENT OF UNDERLYING ZONING FOR PROPERTIES DEVELOPED UNDER LAND USE CONTRACTS 039, 040, 064, 079 AND 126 IN THE NORTH PORTION OF THE CITY CENTRE**

(File Ref. No. 08-4430-03-11) (REDMS No. 5444812)

PLN-83

[See Page PLN-83 for full report](#)

Designated Speaker: Wayne Craig

STAFF RECOMMENDATION

- (1) *That Richmond Zoning Bylaw 8500, Amendment Bylaw 9744, to establish underlying zoning for the property developed under Land Use Contract 039, be introduced and given first reading;*
- (2) *That Richmond Zoning Bylaw 8500, Amendment Bylaw 9745, to establish underlying zoning for the property developed under Land Use Contract 040, be introduced and given first reading;*
- (3) *That Richmond Zoning Bylaw 8500, Amendment Bylaw 9746, to establish underlying zoning for the property developed under Land Use Contract 064, be introduced and given first reading;*
- (4) *That Richmond Zoning Bylaw 8500, Amendment Bylaw 9747, to establish underlying zoning for the property developed under Land Use Contract 079, be introduced and given first reading; and*
- (5) *That Richmond Zoning Bylaw 8500, Amendment Bylaw 9748, to establish underlying zoning for five properties developed under Land Use Contract 126, be introduced and given first reading.*



5. **MANAGER'S REPORT**

ADJOURNMENT





Planning Committee

Date: Wednesday, September 6, 2017

Place: Anderson Room
Richmond City Hall

Present: Councillor Linda McPhail, Chair
Councillor Bill McNulty
Councillor Chak Au
Councillor Alexa Loo
Councillor Harold Steves

Also Present: Councillor Carol Day (entered at 4:10 p.m.)

Call to Order: The Chair called the meeting to order at 4:00 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Planning Committee held on July 18, 2017, be adopted as circulated.

CARRIED

NEXT COMMITTEE MEETING DATE

September 19, 2017, (tentative date) at 4:00 p.m. in the Anderson Room

COMMUNITY SERVICES DIVISION

1. **HOUSING AGREEMENT BYLAW NO. 9739 TO PERMIT THE CITY OF RICHMOND TO SECURE AFFORDABLE HOUSING UNITS LOCATED AT 7100 ELMBRIDGE WAY (LANDA ELMBRIDGE HOLDINGS LTD.)**

(File Ref. No. 08-4057-01) (REDMS No. 5435765 v.5)

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It was moved and seconded

That Housing Agreement (7100 Elmbridge Way) Bylaw No. 9739 be introduced and given first, second and third readings to permit the City to enter into a Housing Agreement substantially in the form attached hereto, in accordance with the requirements of section 483 of the Local Government Act, to secure the Affordable Housing Units required by the Development Permit DP 15-700007.

CARRIED

2. **HOUSING AGREEMENT BYLAW NO. 9544, AMENDMENT BYLAW NO. 9754 TO PERMIT THE CITY OF RICHMOND TO SECURE AFFORDABLE HOUSING UNITS LOCATED AT 9251 & 9291 ALEXANDRA ROAD (1083465 B.C. LTD)**
(File Ref. No. 08-4057-01) (REDMS No. 5500188 v. 2)

It was moved and seconded

That Housing Agreement (9251 & 9291 Alexandra Road) Bylaw No. 9544, Amendment Bylaw No. 9754, be introduced and given first, second, and third readings to permit the City to amend the existing Housing Agreement pursuant to an Amending Agreement substantially in the form attached as Schedule A to the bylaw, in accordance with the requirements of s. 905 of the Local Government Act, to secure the Affordable Housing Units required by Development Permit Application DP 12-613923.

CARRIED

PLANNING AND DEVELOPMENT DIVISION

3. **APPLICATION BY WESTMARK DEVELOPMENT LTD. FOR REZONING AT 7580 ASH STREET FROM SINGLE DETACHED (RS1/F) TO SINGLE DETACHED (RS2/E) AND SINGLE DETACHED (ZS14) – SOUTH MCLENNAN (CITY CENTRE)**
(File Ref. No. 12-8060-20-009702; RZ 16-732500) (REDMS No. 5395289 v. 3)

Discussion ensued with regard to the length of the access road to the site and Wayne Craig, Director, Development, noted that Armstrong Road will not connect to Keefer Avenue until further development to the south occurs, and as a result, the application will be required to register a restrictive covenant on Title of the lot fronting Armstrong Street to ensure that the house will have a fire sprinkling system installed.

In reply to queries from Committee, Mr. Craig, noted that the proposed development will comply with the City's Affordable Housing Strategy.

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It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9702, for the rezoning of 7580 Ash Street from the "Single Detached (RS1/F)" zone to the "Single Detached (RS2/E)" zone and the "Single Detached (ZS14) – South McLennan (City Centre)" zone, be introduced and given first reading.

CARRIED

4. **APPLICATION BY SANDEEP KANG FOR REZONING AT 3751 SHUSWAP AVENUE FROM "SINGLE DETACHED (RS1/E)" TO "COACH HOUSES (RCH1)"**

(File Ref. No. 12-8060-20-009727; RZ 16-738465) (REDMS No. 5326180)

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9727, for the rezoning of 3751 Shuswap Avenue from "Single Detached (RS1/E)" to "Coach Houses (RCH1)", be introduced and given first reading.

CARRIED

5. **APPLICATION BY JHUJAR CONSTRUCTION LTD. FOR REZONING AT 9291 AND 9311/9331 NO. 2 ROAD FROM "SINGLE DETACHED (RS1/E)" AND "TWO-UNIT DWELLINGS (RD1)" TO "LOW DENSITY TOWNHOUSES (RTL4)"**

(File Ref. No. 12-8060-20-009749; RZ 15-716773) (REDMS No. 5444000)

Edwin Lee, Planner 1, reviewed the application noting that access to the site will be provided via the drive-aisle on the adjacent development to the north and that a statutory right of way is registered on Title of the adjacent site to the north to allow for this to occur. Mr. Craig added that the applicant has secured a written agreement with the adjacent property owner to the north of the subject site and that the adjacent property is under construction.

Cllr. Day entered the meeting (4:10 p.m.).

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9749, for the rezoning of 9291 and 9311/9331 No. 2 Road from "Single Detached (RS1/E)" and "Two-Unit Dwellings (RD1)" zones to "Low Density Townhouses (RTL4)" zone, be introduced and given first reading.

CARRIED

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6. **APPLICATION BY INTERFACE ARCHITECTURE INC. FOR REZONING AT 9211 AND 9231 WILLIAMS ROAD FROM "SINGLE DETACHED (RS1/E)" TO "LOW DENSITY TOWNHOUSES (RTL4)"**
(File Ref. No. 12-8060-20-009750; RZ 16-729962) (REDMS No. 5451116)

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9750, for the rezoning of 9211 and 9231 Williams Road from "Single Detached (RS1/E)" zone to "Low Density Townhouses (RTL4)" zone, be introduced and given first reading.

CARRIED

7. **APPLICATION BY KANARIS DEMETRE LAZOS FOR A HERITAGE ALTERATION PERMIT AT 12011 3RD AVENUE (STEVESTON COURTHOUSE) AND 12111 3RD AVENUE (STEVESTON HOTEL)**
(File Ref. No. HA 16-723477) (REDMS No. 5513480 v. 2)

Mr. Craig reviewed the application, noting that the application is proposing to adjust the lot lines, improve landscaping and provide a cash contribution towards a bus shelter.

It was suggested that staff examine the removal of the concrete wall in front of the Steveston Courthouse.

It was moved and seconded

That a Heritage Alteration Permit be issued which would:

- (1) Permit a reconfiguration of lot lines, and alterations to parking layouts and landscaping, of the properties at 12011 3rd Avenue and 12111 3rd Avenue on a site zoned "Steveston Commercial (CS2)"; and*
- (2) Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum amount of landscape area around surface parking areas abutting a road from 3.0 m, to 1.0 m along Moncton Street, and to 1.0 m along 3rd Avenue.*

CARRIED

8. **MANAGER'S REPORT**

- (i) Meeting with the Agricultural Land Commission on the Former Mylora Site.*

Terry Crowe, Manager, Policy Planning, briefed Committee on the scheduled meeting with Agricultural Land Commission (ALC) regarding a denial of a non-farm use application on former Mylora site, noting that the ALC has notified the City that the meeting will be deferred to a future date in December 2017.

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Discussion ensued regarding (i) the City's policy on the No. 5 Road Backlands, (ii) the uncompleted site remediation done by the previous applicant, and (iii) the potential use of the site for a private school.

In reply to queries from Committee, staff noted that (i) the previous applicant proceeded with site remediation work without the City's approval, (ii) Bylaws staff can inspect the site and examine options to remove debris stemming from the remediation work, (iii) the site is in the process of being sold, and (iv) the City has not received a new non-farm use or rezoning application for the site.

(ii) *New Westminster Official Community Plan Amendment*

Mr. Crowe advised Committee that the City of New Westminster is in the process of amending their Official Community Plan and that Richmond has no objections to the proposed changes.

(iii) *Public Consultation for Imperial Landing Site*

Mr. Craig noted that Onni will be hosting a public consultation meeting at the Imperial Landing site scheduled for September 23, 2017. He added that mail notices of the meeting will be sent to residents and property owners in the immediate area and advertised in the local newspaper.

(iv) *Building Permits on Agricultural Land*

Joe Erceg, General Manager, Planning and Development, noted that 45 building permit applications were received by the City prior to the adoption of new regulations limiting the size of residential developments on agricultural land. He added that staff are in the process of reviewing the applications and have cancelled applications that have not met requirements or deadlines.

It was suggested that staff provide report on the potential illegal uses of residential buildings on agricultural land.

Cllr. Day left the meeting (5:18 p.m.) and did not return.

Discussion ensued with regard to the student enrolment rates in high-density areas of the city.

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:44 p.m.).

CARRIED

Planning Committee
Wednesday, September 6, 2017

Certified a true and correct copy of the Minutes of the meeting of the Planning Committee of the Council of the City of Richmond held on Wednesday, September 6, 2017.

Councillor Linda McPhail
Chair

Evangel Biason
Legislative Services Coordinator



City of Richmond

Report to Committee

To: Planning Committee
From: Cathryn Volkering Carlile
General Manager, Community Services
Date: July 21, 2017
File: 01-0100-30-RCSA1-
01/2017-Vol 01
Re: RCSAC Non-Profit Space Review Funding Request

Staff Recommendation

That the Richmond Community Services Advisory Committee request for \$13,000 to complete the Richmond Non-Profit Space Review Project be considered as part of the 2018 Council Community Initiatives One-Time Expenditures process.

Cathryn Volkering Carlile
General Manager, Community Services
(604-276-4068)

Att. 2

REPORT CONCURRENCE		
ROUTED TO: Finance Department	CONCURRENCE <input checked="" type="checkbox"/>	CONCURRENCE OF GENERAL MANAGER
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: 	APPROVED BY CAO (DEPUTY).

Staff Report

Origin

On June 23, 2017, Richmond City Council received a letter from the Richmond Community Services Advisory Committee (RCSAC) describing a project undertaken by the RCSAC Non-Profit Space Needs Task Group to identify agency-specific space needs and requesting funding to complete the work (Attachment 1). The purpose of this report is to propose that the City consider this request as part of the Council Community Initiatives one-time expenditure review process.

At the July 18, 2017 Planning Committee, this letter was considered and the following referral was made:

That staff examine the Richmond Community Services Advisory Committee's request for \$13,000 to complete the Richmond Non-Profit Review Project and report back with options at a future Planning Committee meeting.

This report supports the following Council 2014-2018 Term Goals:

#2 A Vibrant, Active and Connected City

2.2. Effective social service networks.

#3 A Well-Planned Community

3.1. Growth and development that reflects the OCP, and related policies and bylaws.

#6 Quality Infrastructure Networks

6.2. Infrastructure is reflective of and keeping pace with community need.

This report supports the following Social Development Strategy Action:

Action 30 – Develop and maintain a database on space needs of non-profit social service agencies to be updated annually through surveys of agencies.

Findings of Fact

In December 2016, the Richmond Community Services Advisory Committee (RCSAC) presented the results of their annual Social Services and Space Needs Survey to Planning Committee. While this survey monitors trends, it does not capture agency-specific information with respect to funding or space needs. For example, half of respondents (eight) from the 2013/2014 Survey reported that space limited, hindered, or inhibited the flow and progression of agency efforts. Of 16 respondents to questions regarding the strengths and challenges of office space, almost half (seven) felt that their current lease agreements did not provide stability. Some

(four) were in month-to-month agreements, while others (three) had demolition clauses. However, names of agencies impacted and corresponding space implications were not available in the survey results.

Recognizing that further information was required to convey agency-specific space needs, the RCSAC established an Action Group to develop a method and format for effectively identifying and communicating agency-specific needs. Action Group members included the Richmond Society for Community Living, Richmond Family Place, Richmond Food Bank, Richmond Youth Services Agency, and the Richmond Caring Place Society. Under the auspices of the Richmond Society for Community Living (RSCL), a Richmond Community Foundation (RCF) seed grant of \$2,500 was received for preliminary work to demonstrate the need for and benefits of the survey, on the understanding that, if deemed of merit, a second grant would be sought to complete the substantive work of developing a comprehensive non-profit space needs assessment and survey.

The preliminary report, “Richmond Non-Profit Space Review, Phase 1: Summary of Current Status and Proposal for Next Steps” (Attachment 1) provides a thorough overview of City policy supporting the need for non-profit space; outlines the many attempts made by the RCSAC to capture space needs information; and the need for agency-specific information that has not been systematically gathered to date. Next steps are identified, including survey development, administration and analysis as well as a policy and best practices review. The RCSAC is also seeking to make this instrument and process replicable on an annual basis. The proposed survey will document current as well as projected space needs (e.g. over 5, 10 and 15 years).

The RCSAC application to the Richmond Community Foundation for a second grant was successful, resulting in the award of \$10,000 to support the Phase 2 consulting budget of \$23,000. The RCSAC letter is requesting that the City fund the outstanding balance of \$13,000 on the basis that it will benefit the City by increasing awareness about the current and projected space needs of non-profit services.

Analysis

City Policy Context

The City has noted the need for appropriate space for non-profit agencies including, as a stated objective of the Official Community Plan (OCP), to “facilitate the provision of space for community agencies” (Section 11.3 “Building on Social Assets and Community Capacity”, Objective 2). One of the OCP Policies identified to help achieve this objective is to:

c) support non-profit agencies and community partners to develop and maintain an inventory of space requirements for community agencies in Richmond.

Likewise, the Social Development Strategy’s Strategic Direction 7, to “Strengthen Richmond’s Social Infrastructure”, includes:

Action 30 – Develop and maintain a database on space needs of non-profit social service agencies to be updated annually through surveys of agencies.

The proposed RCSAC survey is clearly aligned with these goals, as the survey results will populate the proposed database of non-profit space needs. As indicated, the RCSAC intention is to replicate the survey annually to fully realize these City and agency goals. A plan for ongoing implementation and analysis will be incorporated into the project final report.

The proposed RCSAC survey will also provide information that will assist the City and other stakeholders to make informed policy decisions, including those addressing the City Centre Area Plan “Social Equity and Community Services” Policy:

2.8.1.c) Encourage the establishment of “community service hubs”

Explore opportunities to establish a multi-use, multi-agency community service “hub” in each of the City Centre’s six village centres, designed to provide:

- *Convenient access to services and programs offering a range of tools, resources, and technical assistance;*
- *A variety of new service delivery models;*
- *Multi-agency partnerships, coordination, co-location, cost sharing and efficiencies;*
- *A continuum of services, especially where this requires the coordination of multiple agencies (e.g. early childhood development, health and wellness).*

The importance of social service agencies to community well-being is well articulated by the RCSAC in the attached letter and report, and staff concur with this perspective. Staff also concur that rapid population growth is increasing the demand for services while simultaneously reducing opportunities to relocate due to re-development. Furthermore, non-profit agencies cannot afford the high lease rates for newly built commercial space and are struggling to afford rising commercial property taxes. As the ability to secure appropriate and affordable premises is in jeopardy, this sector is at a critical juncture in its capacity to serve the community.

The RCSAC’s proposed survey will provide the City with a clearer picture of both agency-specific and overall space needs so that achievable targets and mechanisms can be developed. Furthermore, all RCSAC agencies and other non-profit community service agencies will be invited to participate in the survey, so the benefits of this project will be widespread and inclusive. Most significantly, the need to identify appropriate space and processes is increasingly urgent as re-development will inevitably encroach on properties currently housing non-profit agencies. Therefore, staff recommend that the City support the RCSAC request for financial assistance in completing the space needs survey. Staff will participate in examining the scope and reviewing draft documents to ensure that the City perspective is incorporated.

Possible Funding Sources

Option 1: Council Community Initiatives Account (recommended)

In 2015, Council established a Council Community Initiatives Account (CCIA) as part of a Gaming Revenue Allocation Model. This account was created to allow Council to direct gaming revenues to one-time initiatives designated for social, environmental, recreation and sports, heritage, arts and culture, safety and security, and infrastructure projects.

The RCSAC request meets the eligibility criteria of the CCIA Terms of Reference (Attachment 2), being a one-time request that focuses on both social and infrastructure needs. It also reflects the priority objectives of the account, as follows.

CCIA Priority Objectives	CCIA Description	RCSAC Request
<i>Inclusive</i>	<i>Reaching out to, involving, and positively affecting a diversity of residents</i>	This survey will include all Richmond non-profit social service agencies representing and serving a wide diversity of residents.
<i>Collaborative</i>	<i>Relying on partnerships in planning and implementation</i>	A RCSAC Action Group of five agencies are overseeing planning and implementation; all non-profits will be asked to participate and all stakeholders will be better informed when seeking space.
<i>Leveraged</i>	<i>Capitalize on projects that already have substantial funding from other sources</i>	The RCSAC has secured a total of \$12,500 from the Richmond Community Foundation (\$2,500 seed and \$10,000 project funding).
<i>Impactful</i>	<i>Will benefit the broader Richmond community rather than specific interests</i>	All participating agencies' ability to plan for space will be enhanced. The broader community served will benefit from continued services should long-term space solutions be found.
<i>Effective</i>	<i>Community benefit will be demonstrable</i>	The survey will be replicable and will provide a database of agency space needs that can be updated annually. The results may be used by all stakeholders to seek implementation opportunities.
<i>Responsive</i>	<i>Based on demonstrated community need</i>	Richmond Caring Place is seeking to expand based on current and prospective tenant needs. A number of agencies are in premises subject to re-development, while others have outgrown their space.
<i>Capacity-building</i>	<i>Will build community capacity to enhance residents' quality of life</i>	Agency capacity to plan for space needs will be increased, thereby ensuring and enhancing their capacity to serve residents whose quality of life is significantly impacted by social services.

CCIA Priority Objectives	CCIA Description	RCSAC Request
<i>Innovative</i>	<i>Demonstrate new ways of benefitting the community</i>	This is the first RCSAC survey that will be developed based on best-practices research, will create a bench mark and serve as a model for other communities.
<i>Sustainable</i>	<i>Financially sustainable, not reliant on further City funding to be viable</i>	The project will be completed with the requested funding. Cost of replication will be addressed upon successful completion of this prototype.
<i>Credible</i>	<i>Realistic proposals based on sound business plans</i>	Agencies will have better information on which to develop realistic business plans involving space need considerations.

In summary, the RCSAC project is well-qualified for consideration as part of the 2018 CCIA process based on eligibility criteria as well as priority objectives.

Option 2: 2018 Health, Social and Safety Grant Funding

As City Grant Policy (3712) indicates that only non-profit societies are eligible, this funding source is not recommended. Furthermore, as little remains in annual grant budgets after grants are allocated (e.g. \$2,979 in 2017), it would be challenging to accommodate an expenditure of \$13,000 without reducing grants to other organizations.

Option 3: 2018 One-Time Expenditures

Funding for the RCSAC project may be considered as part of the 2018 One-Time Expenditures process. As indicated in the 2017 One-Time Expenditures Report to Council from the Director of Finance,

One-time expenditure requests are typically non-recurring items for consideration over and above the base annual budget. Council established a Rate Stabilization Account (RSA) to provide funding for such requests without a tax impact.

Staff review submissions and only high priority requests are recommended. Due to the high demand for funds from this account that prioritize City initiatives, this funding source is not recommended.

Financial Impact

There is no financial impact to the 2018 base operating budget if the staff recommendation is followed. As Council Community Initiatives One-Time Expenditures are funded through Gaming Revenue, there would be no tax implications to a one-time grant of \$13,000, should the RCSAC request be successful.

Conclusion

The RCSAC is to be commended for taking the initiative to obtain the information required to clarify the need for non-profit space, on an agency and aggregate basis, as well as to pursue and receive two grants from the Richmond Community Foundation for this purpose. The proposed survey will provide the practical information required to help agencies secure space. Some non-profit agencies are facing imminent threats to their stability due to redevelopment; others have inadequate space to accommodate their programs, exacerbated by increasing demand due to rapid population growth; and others are jeopardized by escalating commercial property taxes. As this project will ultimately assist local agencies, the City and other stakeholders to understand current and projected non-profit space needs, staff recommend providing the funds to support this request.



Lesley Sherlock
Planner 2
(604-276-4220)

- Att. 1: RCSAC June 23, 2017 Letter to Mayor and Councillors
2: Council Community Initiatives Account Terms of Reference



RCSAC | Richmond Community Services Advisory Committee

June 23, 2017

To Mayor Brodie and Councillors, City of Richmond:

Over the last number of years the City of Richmond has experienced significant growth and building development. In the City Centre, many small, older buildings have been replaced with large, primarily residential, buildings. Although this growth and development has many benefits for the City, the impact on non-profit societies delivering essential social services in the community is increasingly problematic.

Many non-profit societies, with limited resources, lease space in these older buildings. As these buildings are demolished and replaced by new and more expensive buildings, increasingly non-profit societies are being displaced. Furthermore, in new areas, limited consideration has been given to the need for space for social services in these new, densely populated areas (e.g. area near the Oval). A thriving and healthy community must have a strong foundation of social services. These social services must be available and distributed throughout a community.

The Richmond Community Services Advisory Committee (RCSAC) has recognized the need to address the growing space needs issue for non-profit societies in Richmond for some time. To this end, RCSAC has endeavoured to gather information regarding the space needs of non-profits in Richmond through a number of online surveys. Although the RCSAC has made a valiant attempt in this regard, members lack the expertise and resources to develop, conduct and analyze the data. Consequently, the results of these surveys have not allowed the RCSAC or the City of Richmond staff to truly explore and understand the space needs of all non-profit societies in the City.

In 2016 a task group was created to explore the space needs issue. This committee was successful in obtaining a \$2500 grant from the *Richmond Community Foundation* to retain a consultant to develop the framework for a comprehensive review of the space needs issues for non-profit societies in Richmond. In January 2017 the *Richmond Non-Profit Space Review Phase #1: Summary of Current Status and Proposal for Next Steps (attached)* was completed and released. This first document reviewed the reports and work completed to date on this issue by the City of Richmond and the RCSAC and made the following recommendations:

- Develop and administer an **updated, straightforward, “easy to fill out” survey that can both stand alone and be comparable across years, and that establishes agency-specific space needs** as well as the significance of the services these agencies provide the community.
- **Research and recommend alternative responses to address the non-profit organization space needs issue in the City of Richmond.**

In order to complete the recommended work, the consultant developed a work plan and budget. The complete cost of the second phase is \$23,000. The Task Group has been successful in obtaining a second grant for \$10,000 from the Richmond Community Foundation to help complete the work plan. The Task Group has worked hard to obtain funds and develop a framework and plan for this important work.

RCSAC, P.O. Box 97059, Richmond Main PO, Richmond, British Columbia V6X 8H3
Email: admin@rcsac.ca Web: www.rcsac.ca

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We are now requesting the City of Richmond to fund the remaining balance required to complete this important work. We know the City of Richmond's Mayor, Councillors and staff value the essential work of non-profit societies in our community. However, it is now time that the City of Richmond consider the implications of the rapid development in our City on the foundation of social services in Richmond. The completion of this important work will allow the City of Richmond to make strategic and fulsome decisions to support the preservation of a strong foundation of community and social services in our community. Furthermore, the work plan involves the development of a comprehensive survey of NPO's space needs which can be replicated each year. This will allow the City of Richmond, in partnership with the RCSAC, to track, monitor and analyze the space needs of NPO's in the City over time. This is essential work that has not been done to date.

Lastly, the City of Richmond has recently completed a review and analysis of their Affordable Housing Strategy. It is an ideal time, in association with the affordable housing consultancy work, to explore opportunities and cross-over between the City of Richmond's approach to Affordable Housing and their support for the space needs and sustainability of community social services.

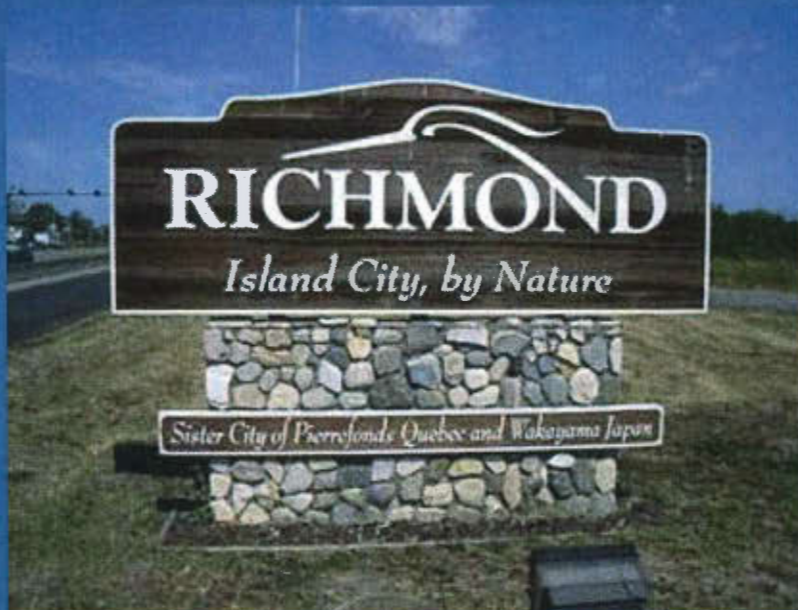
Sincerely,



Chairs, Kathie Chiu and Alex Nixon, Richmond Community Services Advisory Committee (RCSAC)

cc. Cathy Carlile, Kim Somerville & Lesley Sherlock

RICHMOND NON-PROFIT SPACE REVIEW



Phase 1: Summary of Current Status and Proposal for Next Steps

This report has been provided to the Richmond Community Services Advisory Committee (RCSAC)
on January 9, 2017,

by: **William Dunn MCIP, RPP, MSc** Planning Consultant

Phone: (604) 992-2419

Email: wbrdunn@gmail.com

Thank you for the generous support from



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Introduction

In this first phase (Phase 1) of the 'Richmond Non-profit Space Review', based on policy research and key informant interviews, I have summarized the current status of non-profit organization space needs in Richmond and proposed next steps.

The **objective** of this work is to:

- **Provide a clearer picture of Richmond non-profit agency space needs**

This objective falls within the **overarching goal** of:

- **Ensuring Richmond non-profit agencies have access to secure, affordable, and appropriate space** to continue providing essential services that meet the demands of a growing population

Summary of Findings

Surveys investigating agency service provision, and space needs have been undertaken since 2003. Two challenges are evident in the results of those surveys:

1. The provision of sufficient services to meet the needs of a growing population
2. Ensuring agencies have access to the space that enables them to provide those services

City of Richmond policy is supportive of assisting agencies to meet their space needs. However, the surveys have yet to provide detailed enough information, consistently over time, to allow the City to respond effectively.

For the next Phase (Phase 2), I recommend an updated and more detailed survey be carried out, and that further research be considered to be undertaken—to explore alternatives and best practices in ensuring agencies can satisfy their space needs. As such, I recommend the following actions:

1. Develop and administer updated survey¹
2. Consider exploring alternatives

¹ A draft of the proposed survey is attached as an appendix to this report.



Policy Context

The following policy work has been conducted by the City of Richmond. The work speaks to the growing concern and need for affordable, centrally located, accessible and secure space for Non-Profit service providers in the city. To date, clear concrete action has not been taken by the City to address this issue.

Richmond City Centre Area Plan (2009)

From **section 2.8, 'Social Equity and Community Services'**: "OBJECTIVE: Provide a framework for an 'inclusive community' that supports the diverse needs of its citizens and equitable access to social, health, education, safety, and other community resources for present and future generations, throughout their lives. Such a framework involves many critical factors. Two are addressed in this section (child care and community service hubs), while others are addressed elsewhere in the CCAP (e.g., affordable housing, transportation, public realm and public life). Access to services will be facilitated by locating complementary services with, adjacent to or nearby existing and future City Centre public facilities."²

Section 2.8.2 c) Encourage the Establishment of "Community Service Hubs"

Explore opportunities to establish a multi-use, multi-agency community service "hub" in each of the City Centre's six village centres, designed to provide:

1. Convenient access to services and programs offering a range of tools, resources, and technical assistance;
2. A variety of new service delivery models;
3. Multi-agency partnerships, coordination, co-location, cost sharing, and efficiencies;
4. A continuum of services, especially where this requires the coordination of multiple agencies (e.g., early childhood development, health and wellness).

Richmond Official Community Plan (City of Richmond, 2012)

From **section 11.3, 'Building on Social Assets and Community Capacity'**: "Social capital is a term to describe the linkages and communication channels amongst individuals and organizations and the community's capacity to work towards mutual gain. The underlying assumption is that connections are essential to the overall health and well being of the community. The City's non-profit agencies, advisory committees, associations and community networking forums need to be nurtured as the city continues to grow and develop."³

² City of Richmond, *City Centre Area Plan*, 2009, p. 2-81

³ City of Richmond, *Official Community Plan*, 2012, p. 11-5



Chapter 11 – Social Inclusion and Accessibility

Objective 2: Facilitate the provision of space for community agencies

Policies:

1. Establish mechanisms to assist non-profit agencies and community groups to secure office or program space, or funding (e.g., through senior governments, NGOs, the lease of any surplus City space, negotiation with developers in the rezoning process);
2. Establish clear, transparent guidelines for the securing and allocating of City-owned or negotiated community agency space (e.g., eligibility criteria, cost factors, timing, roles and responsibilities);
3. Support non-profit agencies and community partners to develop and maintain an inventory of space requirements for community agencies in Richmond

Building Our Social Future – A Social Development Strategy for Richmond 2013-2022 (2013)

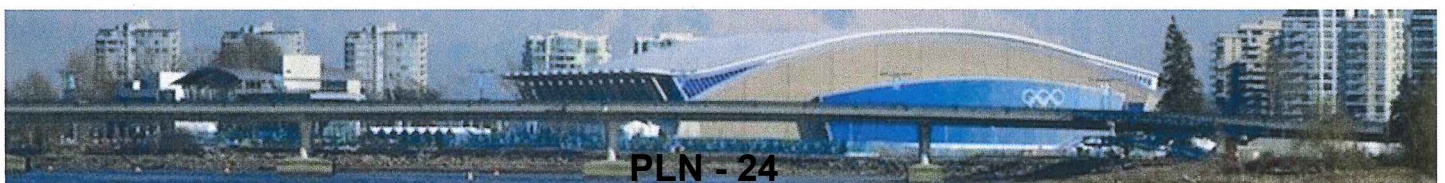
From **Strategic Direction 4, ‘Help Richmond’s Children, Youth and Families Thrive’**: “Challenges faced by the non-profit sector include funding uncertainties and the need for secure, affordable, appropriately located premises for their operations.”⁴

Relevant Actions**Action 10**

- Support the establishment of high quality, safe child care services in Richmond through such means as:
 - 10.3 Securing City-owned child care facilities from private developers through the rezoning process for lease at nominal rates to non-profit providers. *Ongoing*

From **Strategic Direction 7, ‘Strengthen Richmond’s Social Infrastructure’**: “Concurrently with efforts to meet the needs of a growing and increasingly complex population, many non-profit agencies have also been struggling to secure or maintain affordable spaces for their service provision [...] Richmond has effective partnerships with many non-profit agencies and has developed strong relationships with other public partners to deliver services in the community. The Richmond Community Services Advisory Committee, funded by the City of Richmond, is a network of more than 30 local non-profit agencies and community stakeholders which are working collectively on community issues of mutual concern. Further, Richmond has an array of City and non-City facilities used for service provision. For example, Caring Place, a community hub for non-profit agencies, has proved to be an effective solution for agencies to deliver services in a convenient one-stop location. The facility is situated on a centrally located City owned site leased to the Caring

⁴ City of Richmond, *Building Our Social Future*, 2013, p. 35



Place Society at a nominal rate [...] What are the challenges? The increasing demand for social services is a key challenge for Richmond. Non-profit agencies will need additional office and program space to meet further needs; however, the cost of land and construction inhibits service expansion. Additionally, while some agencies may receive federal and provincial government support, funding is not guaranteed, which creates instability and uncertainty for service providers. Other challenges include the need to define City roles in addressing social issues and the impact of decisions made by senior levels of government on the City. Being the level of government closest to the people, the City is frequently approached for support by non-profit agencies on items that are not part of Richmond's mandate."⁵

Relevant Actions

Action 29

1. Prepare an enhanced policy framework for securing community amenities (e.g. space for City services, space for lease to community agencies) through the rezoning process for new developments including:
 - a. 29.1 Developing an administrative structure (e.g. senior staff review team) and criteria for assessing community amenity options for recommendation to Council on specific rezoning applications. *Short Term (0-3 years)*
 - b. 29.2 Establishment of a Community Amenity Reserve Policy and Fund, similar to those for affordable housing and child care, to secure cash contributions from developers for future amenity development in lieu of the provision of built amenity space. *Long Term (7-10 years)*

Action 30

2. Develop and maintain a database on space needs of non-profit social service agencies to be updated annually through surveys of agencies. *Short Term (0-3 years)*

Action 32

3. Implement the City Centre Area Plan Policy of exploring opportunities to establish multi-use, multi-agency community service hubs in appropriate locations in the City Centre, while also pursuing other types of agency space, as appropriate, throughout Richmond. *Short Term (0-3 years)*

Action 51

4. Encourage community agencies and faith-based groups to make spaces available in their premises at reasonable rates for local community users (e.g. meetings, drop-in programs). *Ongoing*

From 'Implementation and Next Steps – Implementation Priorities': "Social Capital and Infrastructure—Community agencies are facing significant challenges

⁵ City of Richmond, *Building Our Social Future*, 2013, p. 57-58



(e.g. providing quality services with limited funding, securing appropriate and affordable office space, competing for contracts and short term project grants). If the City is to be successful in addressing its social development goals, it is essential that vibrant community agencies and a healthy overall social infrastructure be in place. A key challenge for the City will be to ensure community agencies have the necessary facilities and assistance to meet the growing demands. City roles could include enhancing networks (e.g. inter-agency collaboration to address social issues) and providing support to local community agencies (e.g. through the City Grant Program and assistance with securing appropriate and affordable office and program space [...]) Children, Families and Youth—The well-being of Richmond's children, youth and families is essential to a socially sustainable community. The availability of child care and affordable housing, as well as a stable, supported non-profit sector and a vibrant network of parks, recreation and cultural opportunities will provide a foundation for healthy development and supportive connections. In planning for the future, a key challenge for the City will be to ensure sufficient access to child care, affordable housing and family support services, as well as the development of family-friendly neighbourhoods and communities that will strengthen Richmond's 'sense of place'.⁶

Summary of Work Done To Date by Community Non-Profit Organizations

Community agencies have endeavoured to gather information that would support the need for government attention and focus on the growing concern that Non-profit service providers are unable to secure affordable, centrally located and secure space in Richmond. Although these efforts have produced some helpful information regarding the space needs of NPOs in the City of Richmond, the surveys have been different from year to year, and the survey has not been conducted at regular intervals. As such, establish long-term trends has been challenging. Moreover, the community agencies have been without the resources or expertise to conduct a survey that would produce the data and analysis, over time, that may be required facilitate government action.

The following work, exploring agency services provided and space needs, has been conducted by the RCSAC.

What is the RCSAC?

The Richmond Community Services Advisory Committee (RCSAC) has served Richmond City Council since 1979. It is a "network of more than 30 local non-profit organizations and community stakeholders working collectively on community issues of mutual concern."⁷

⁶ City of Richmond, *Building Our Social Future*, p. 73

⁷ City of Richmond, *Building Our Social Future*, 2013, p. 57



It is funded by the City of Richmond as “an advisory body to the Richmond City Council on social, health, and community matters.”⁸

The RCSAC’s objectives are to:

- Advise City Council on social policies and community planning issues
- Identify and address emerging concerns
- Create awareness of relevant issues
- Support local community-based initiatives

In 2003, the RCSAC conducted a social services survey—a broad overview of agencies providing social services in Richmond. In 2008, they conducted their first comprehensive survey on agencies regarding community and space needs. In 2011, they began conducting “an annual survey of member agency funding gains and losses, including impact on client groups and services. In 2013, the funding survey was revised to be more comprehensive including the addition of a section regarding agency space needs.”⁹ “In 2014 (the 2013/2014 survey) the survey was modified to include a more comprehensive data comparison.”¹⁰ And in 2015 (the 2014/2015 survey) the most recent survey was conducted, however funding was not secured to provide in depth analysis as was done in the previous year.

2003 “Social Services in Richmond” Survey

This report was put together to provide “information about social services in Richmond and an overview of the agencies and organizations that provide these services.”¹¹ 22 agencies responded to this survey.

Of 91 separate programs and services provided by the 22 agencies, the survey found 30 programs were identified where demand could not be met and clients were turned away. More than half (13) of agencies surveyed experienced funding changes in 2003 and expected further changes in 2004. 73% of all agency funding came from the Provincial government, however some agencies received no Provincial funding. Some agencies qualified for Federal funding. Municipal funding represented 2% of all agency funding.

Although no overt reference to difficulties meeting space needs is made in this report, funding, which would affect the ability to meet space needs, is noted as an issue. “Many of the agencies reported being stretched to the breaking point to continue to provide their services to Richmond citizens as funding methods change

⁸ RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2014, p. 1

⁹ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 3

¹⁰ RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2014, p. 1

¹¹ RCSAC, *Social Services in Richmond*, 2003, p. 1



and senior governments continue to reduce core funding.”¹² 18 agencies reported experiencing some inability to meet demand for services. Among the recommendations is for the Richmond City Grants Program to “continue to support, particularly for agencies where the majority of their budget is devoted to Richmond citizens, operating expenses and infrastructure funding.”¹³

2008 “Community Services Space Needs Survey”

The most comprehensive survey of the three done. Done with input from the City, and “designed to capture a broad range of information to learn the type, square footage, location, and tenure of RCSAC members’ premises, as well as, related financial, employment, and other relevant information.”¹⁴

Overall, the survey shows that in 2008, the 22 agencies surveyed:

- Served over **100,000 Richmond-based clients**
- Employed over **600 workers**
- Were assisted by over **1,600 volunteers**
- Occupied over **115,095 sq. ft. of space**

Moreover, of the agencies surveyed, 4 owned properties, and 21 leased or rented properties, paying over \$700,000 annually in leases and rents. 3 agencies had tenancy agreements expiring that year, 5 had agreements expiring the next year, in 2009, and 2 agencies had agreements expiring in 2010.

Estimating future space needs, the survey responses indicated:

1. **14 agencies would need additional space within 5 years**
2. **7 agencies would need an additional location within 5 years**
3. **10 agencies would need satellite premises** in Richmond at some point in the future
4. 16 agencies were interested in sharing space with another agency

The survey concludes: “Community service agencies in Richmond have been experiencing a growing need for space to adequately provide their services—from meeting rooms to new and larger premises [...] In this era of unpredictable and reduced funding, their potential or continuing capacity to respond to client and community needs is at or near a decisive juncture.”¹⁵ Results from the survey also indicate a high degree of willingness among agencies to share space. A summary of the survey results suggest the following actions as next steps:

- Workshop training for agencies to identify and plan for future space needs

¹² RCSAC, *Social Services in Richmond*, 2003, p. 1

¹³ RCSAC, *Social Services in Richmond*, 2003, p. 11

¹⁴ RCSAC, *RCSAC Space Needs Survey – Summary and Follow-up Actions*, 2008, p. 1

¹⁵ RCSAC, *RCSAC Space Needs Survey – Summary and Follow-up Actions*, 2008, p. 1-2



- An RCSAC-hosted working meeting with the City's planning and real estate groups to share information on space needs
- A study to determine affordable needs
- A study to determine opportunities for funding partnerships, tenant agencies, and shared space opportunities regarding developing a single 'hub' facility for multiple agencies

"2013/2014 Survey and Space Needs Assessment"

"While the RCSAC had surveyed member agencies regarding space needs intermittently since 2008, this had not been done on a regular basis. As members consistently expressed concern about the lack of appropriate, affordable, available space in which to offer their programs and services, the RCSAC added a space needs section to the annual survey beginning in 2013/2014."¹⁶

Overall, the survey shows that in 2013/2014, the 18 agencies surveyed:

- Served over **13,000 Richmond-based clients**
- **1,200 referrals** were made
- **275 people** were left on waitlists
- **1,481 volunteers** provided **105,057 volunteer service hours**
- Current space used ranged from **250-35,000 sq. ft. (avg. 8,347 sq. ft.)**

The survey indicated that all age groups, individuals, and families were served by Richmond non-profit agencies. In terms of space needs, survey respondents, prioritized considerations for selecting new office or program space:

- Access to transit
- Rental rates
- Location
- Accessibility
- Square footage
- Potential of space
- Parking
- Leasing agreement
- Length of commitment
- Landlord flexibility
- Efficiency of layout
- Ability to vacate
- Expansion capability
- Signage
- Owning vs. renting

¹⁶ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 56



Agencies were also asked questions regarding space needs and challenges. The following is a summary of the results:

- 8 agencies reported that space limited, hindered, or inhibited the flow and progression of agency efforts
- 7 agencies felt that their current lease agreements did not provide stability
- 4 agencies were in month-to-month agreements
- 3 agencies had demolition clauses
- 13 agencies reported having stable lease arrangements
- 9 (of 17 respondents) agencies measure efficiency of current space (e.g., agencies have measured efficiency e.g., with a 'usage rate' or with a 'space design consultant' and by reviewing 'financial cost/return...towards program costs
- 9 (of 16 respondents) feel current lease agreement "adds stability to services provided"
- 8 (of 16 respondents) feel current space "limited, hindered, or inhibited the flow and progression of [their] agency's efforts"
- 10 (of 17 respondents) feel current location affects "clients or staff's needs or preferences"
- "Over half of clients, staff, and volunteers use transit to access the resources offered by the participating service agencies."¹⁷

"When asked to provide an estimate for the amount of additional square footage they may need, 7 agencies reported an additional need for a range of space from 100 sq. ft. to 11,000 sq. ft. essentially an average of 5,836 more sq. ft. needed, approximately, to continue, expand, and deliver services."¹⁸ And when asked what their ideal office spaces would include:

- "More space/ more ability to serve clients" replied 9 agencies
- "Better working conditions for staff" replied 3
- "Offices for staff" replied 2
- "Larger group space" replied 2
- "Improved parking for staff and clients" replied 2
- "More energy efficient space" replied 2
- "Owned instead of renting" replied 1
- "Long-term lease without demolition clause" replied 1
- "Sound proofing/ more privacy" replied 1
- "Better accessibility for clients with mobility issues" replied 1
- "Closer to transit" replied 1

¹⁷ RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2014, p. 17

¹⁸ RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2014, p. 17



Specifically regarding space needs, half of agencies reported current space limited or hindered their efforts: “it is widely stated that the limitations in office space are limiting the services that are being, and could be, provided to the community of Richmond.”¹⁹ Moreover, according to the report, “it is clear that the agencies reporting on the RCSAC Space Needs Survey are effectively utilizing the office space they have to provide a wide array of services in Richmond.”²⁰ A broad range of space is currently used (250-35,000 sq. ft.), and “a number of agencies (seven) indicated needing additional space in their coming fiscal year (2014/2015), ranging from 100 to 11,000 sq. ft. for a total of 40,852 sq. ft.”²¹ or “an average of about 5,836 sq. ft. more to continue, expand and effectively deliver services to the residents of Richmond.”²² The top 4 considerations for new space are access to transit, rental rates, location, and accessibility.

“Social Services and Space Needs Survey – 2014/2015”

Results from this survey indicated that while funding and service trends remained fairly stable, “with a growing population and rapidly developing City Centre, demand for services is increasing while opportunities for secure, affordable and accessible space are diminishing for non-profit agencies.”²³

It should also be noted that “this latest survey provides less information than the 2013/2014 survey due to lack of funding for a research assistant to compile, analyze and report on results.”²⁴

Overall, the survey shows that in 2014/2015, of the 22 agencies surveyed:

- 16 were serving the same number of clients as in the previous year (5 served more, and 1 served fewer)
- 12 received the same number of referrals as in the previous year (9 more, and 1 less)
- 7 (of 19 respondents) reported a change in funding that “will impact direct services to the community” (in 2010/2011 the response was 8 (of 15); in 2011/2012, 10 (of 13); in 2012/2013, 6 (of 14); and in 2013/2014, 12 (of 18).
- 3 (of 22) said budget was reduced (9 increased, 7 no change)

It is also noted that “Canadian citizens no longer qualify for federal settlement services and therefore lost access to services, as well as persons with disabilities due

¹⁹ RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2014, p. 17

²⁰ RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2014, p. 18

²¹ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 5

²² RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2014, p. 17

²³ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 6

²⁴ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 4



to changing criteria for federal funding” and that “18 of the agencies that responded rely on 1,000s of volunteer hours to support their services” and that agencies are coping with change by “continually creating new ways to engage and serve their clients.”²⁵

Agencies were also asked questions regarding space needs and challenges. The following is a summary of the results:

- 13 (of 16) agencies have lease agreements that provide stability to their operations
- 13 (of 16) use free or in-kind space
- 13 (of 16) say location impacts client and staff needs/preferences, compared with 10 (of 17) in the previous year
- “Between 50-75% of staff, clients and volunteers rely on public transport to access agencies, supporting the fact that location is critical.”²⁶

Agencies also established their top 3 criteria regarding “space to offer programs and services”:

- Location close to transportation
- Childcare space
- More space in general is needed

In sum, more services must be provided by Richmond non-profit agencies, but space is less and less available. Moving forward, “the RCSAC will continue to monitor space needs trends through its annual survey. A number of RCSAC member agencies are also meeting to provide more detailed, agency-specific information about their space needs. This will enable them to provide the City with more complete information and to enhance their spaces needs search capacity.”²⁷ It is acknowledged that in future surveys, more detailed information is needed on agency-specific space needs.

Key Issues & Analysis

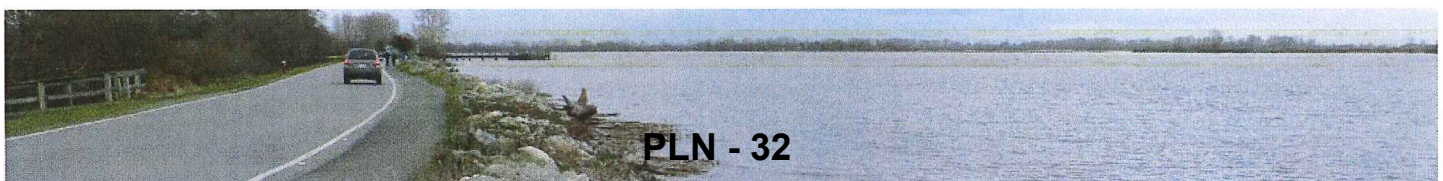
Establishing the Need for Increased Space for Non-profits in Richmond

In the 2008 survey, it was noted that: 14 agencies would need additional space within 5 years; 7 agencies would need a new location within 5 years; and 10 agencies would need satellite premises at some point in the future. In the 2013/2014 survey, the next to directly address space needs, agencies consistently expressed a “lack of appropriate, affordable, available space in which to offer their

²⁵ RCSAC, *Social Service and Space Needs Survey 2014-2015 Results*, 2016, p. 7

²⁶ RCSAC, *Social Service and Space Needs Survey 2014-2015 Results*, 2016, p. 9

²⁷ RCSAC, *Social Service and Space Needs Survey 2014-2015 Results*, 2016, p. 9



programs and services.”²⁸ And in the most recent survey, the 2014/2015 survey, the problem remains: “Increasingly, non-profit organizations (NPOs) in Richmond are struggling to find affordable office and program space, especially in the City Centre. If NPOs do not have space, they will be unable to provide their services to Richmond residents’ quality of life.”²⁹

Why is there a need for space? It is put simply in *Building Our Social Future – A Social Development Strategy for Richmond 2013-2022*: “Richmond’s population is growing and demands for social services are rising.” Moreover, the City depends on non-profit agencies to provide these services: “the City does not have the mandate or ability to deliver the broad range of social services required. If the City is to realize its vision of being the most appealing, livable, well managed community in Canada, it is essential that social services, and the facilities that deliver those services (i.e. social infrastructure) keep pace with Richmond’s growth.”³⁰

More space is needed, yet it is becoming more difficult to acquire: “The increasing demand for social services is a key challenge for Richmond. Non-profit agencies will need additional office and program space to meet further needs; however, the cost of land and construction inhibits service expansion” and “funding is not guaranteed, which creates instability and uncertainty for service providers.”³¹ Costs are prohibitive especially in the ‘City Centre’ area. From the surveys, “one recurrent theme is agencies’ need for secure, affordable, accessible and appropriate space to serve the community in the context of City Centre redevelopment and rapid population growth.”³² Agencies have consistently stressed the importance of being near clients and staff, which also means being accessible by public transit and near or in Richmond’s ‘City Centre’.

Discussion

The survey results clearly communicate a need for space, and the criteria for desirable space. What the survey results—taken collectively—don’t communicate, however, is:

- How **specific measures of space needs—such as its type, location, and size—are changing over time**
- The **specific space needs of individual agencies** currently, as well as in, say, 5, 10, and 15 years from now

Though the surveys to date make clear that funding, the provision of space, and the difficulty satisfying an increased need for services are serious issues, the biggest issue regarding the information the surveys provide is the lack of consistency

²⁸ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 5

²⁹ RCSAC, *Space Needs Action Group Report*, 2016, p. 1

³⁰ City of Richmond, *Building Our Social Future* 2013, p. 57

³¹ City of Richmond, *Building Our Social Future*, 2013, p. 58

³² City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 7



among them.³³ A different number of agencies are surveyed each time, answering different questions. Moreover, the results are displayed each time with a different depth of analysis.³⁴ This makes it difficult to compare results over time with the goal of projecting long-term—e.g., 5, 10, and 15 year—trends.

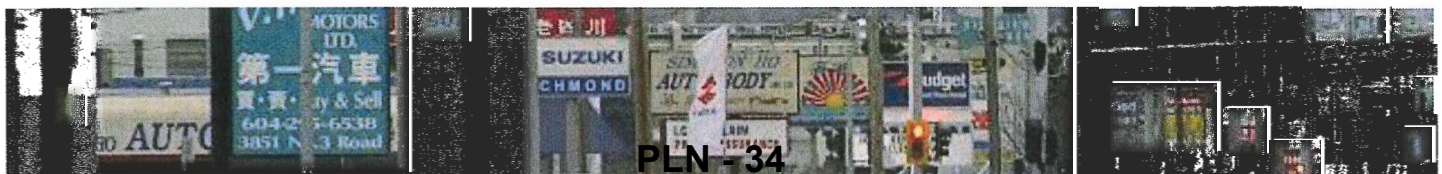
Another issue is regarding what the information being gathered—why is it being collected, what does it mean, and what (e.g., policy) responses are appropriate given the results. For example, if the number of clients served, annual referrals, or number of people on a waitlist increase, what does this mean, and how should policy-makers respond? Do increases in these mean agencies need more office/program/outdoor space? In the cases of some measurements, the connection may be clear, in others it may not be.

Finally, more agency specific information is needed. Further surveys should directly explore specifically which agencies need more space, how much more space they need, and when they'll need it. With that information, it could then be established which agencies need space more urgently, and this would allow the City to respond appropriately if/when they have the resources to do so. It should be acknowledged that a more in depth survey also means an increased time-commitment from agencies—perhaps across many years if the survey is replicated for long-term analysis and projections—as well as resources on RCSAC's behalf, devoted towards analysis.

As an aside, another question that may need further exploration is the “why” question. In other words, why is space for non-profits becoming less accessible in Richmond? It is noted that new development in Richmond's City Centre area is rendering space less available, yet, is this because commercial space is in decline or because rents are increasing. And is this problem exacerbated because agencies are becoming less capable of paying market rents, as a result of changes in funding and/or decreases in predictability of funding. It is also noted that lack of security in space (e.g., as a result of demolition clauses or short-term leases) can detrimentally affect an agency's long-term strategic/financial planning.

³³ E.g., the 2008 survey found that agencies served over 100,000 clients, and the 2013/2014 survey found that agencies served 13,000 over clients. Which of these numbers is more correct? What the question worded differently in each survey? How was “client” defined each time? What length of time was used?

³⁴ Analysis is important in clarifying what the responses mean. E.g., questions about waitlists can be problematic because some agencies don't keep waitlists or are not privy to this information (as the funder or government agency owns the waitlist).



Recommendations & Next Steps

Recommendations

Based on an analysis of the work done to date, the following is recommended, in order of priority/significance:

- Develop and administer an **updated, straightforward, “easy to fill out” survey that can both stand alone and be comparable across years, and that establishes agency-specific space needs** as well as the significance of the services these agencies provide the community
- **Research and recommend alternative responses to address the non-profit organization space needs issue in the City of Richmond.**

In pursuing either recommendation, the City’s role must be determined. For example, if agency-specific need is determined, how will the City respond? As an example, how can agencies in need get access to space, new or old, on City-owned land? Will a process or framework be developed to determine how City-owned land is allocated (or perhaps acquired) for agencies in need who are providing crucial services to the community?

As such, in this work an ongoing implicit third recommendation must be to **determine: the City of Richmond’s role in supporting this work, and how they intend to respond to it.**

Next step #1: Develop and Administer Updated Survey

The survey can be broken down into three broad steps:

1. Development
2. Administration
3. Analysis

1. During the development phase, i.e., during the design of the questions/content and administration plan, City-input will be crucial. Based on the results from previous surveys, a successful updated survey will:

- Be reviewed and approved by City staff
- Be reviewed and approved by key agencies
- Be repeatable and relatively “easy to fill out”
- Include questions that produce useful/useable results

Repeatability will enable analysis to project long-term space need trends, e.g., over 5, 10, 15 years. And producing useful/useable results means the information produced by the survey will allow the City to understand need and respond effectively, e.g., it will include agency-specific information, help prioritize need, and convey the significance/importance of service providing agencies.



2. During the administration phase, success will include the following:

- High response rate (e.g., all major agencies)
- Timely response rate

A high and timely response rate may require pre-survey meetings and workshops with target agencies, or other educational endeavours. Given the time and energy that must be devoted toward responding to a comprehensive survey, it may be necessary to clearly convey the benefits of doing so. City involvement may be necessary.

3. During the analysis phase, success will involve:

- Clearly conveying the results in a format that allows comparison over time
- Establishing the significance of non-profit agencies in Richmond as well as their current and future space needs

Ultimately, success of the survey means the results will be clearly presented in a way that enables the City to understand needs and respond in way—e.g., by providing access to City-owned space or developing additional policy—in a fair, efficient, and effective way.

Next Step #2: Consider further research that explores alternative options

To date, the City of Richmond has offered properties for lease to non-profit agencies, and has indicated that it will continue to circulate information about City inventory as it becomes available. Two properties (7080 and 7400 River Road) are available for non-profit agencies (rent not specified) for up to eight years (before they are converted to parkland). To date, no non-profit agencies have entered into lease agreements at these sites. Inappropriate size, lack of access to transit, lack of wheelchair access, cost of tenant improvements, limited duration of occupancy, and the need for rezoning to accommodate program use are cited as reasons why. Overall, “the City’s inventory of suitable space is limited, as sites are purchased for future use as parks, roadways or other strategic purposes.”³⁵ The City has also circulated commercial properties listings to agencies. That said, “in spite of active, ongoing real estate searches, agencies have been unable to locate suitable properties to date.”³⁶

Because the City’s inventory appears to be limited, alternative ways to provide space should be explored. For example, can policy be developed to ensure non-market space be reserved for non-profit agencies in developing areas? Not just on City-owned sites but as space provided through new development—similarly to how childcare space is provided through new development.

³⁵ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 6

³⁶ City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016, p. 6



Additionally, a case study/best practices analysis would provide perspective. This research would explore what success looks like elsewhere, and provide examples of alternative funding models in addition to opportunities to leverage funding, e.g., by exploring how funding available from one level of government or a non-profit can be matched by another level of government.

And should more analysis be directed toward another community hub, i.e., a 'Caring Place 2'. The existing Caring Place is described as a success that "has proved to be an effective solution for agencies to deliver services in a convenient one-stop location. The facility is situated on a centrally located City owned site leased to the Caring Place Society at a nominal rate."³⁷ A 'Caring Place 2' built above existing surface parking at the same site would allow additional agencies to capitalize on the central location.

³⁷ City of Richmond, *Building Our Social Future*, 2013, p. 57



Phase II Work Plan

The Phase II Work Plan will include:

- Work to be done
- Timeline
- Budget
- Roles and responsibilities

Appendix: Draft Proposed Survey 2016

This survey is based largely on the 2008 survey, updated based on key informant interviews and the 2013/2014 and 2014/2015 surveys. It will be important to work with City staff in finalizing the details of the survey and ensuring the survey can and will be filled out by as many agencies as possible. (Note: All questions refer to the year 2016.)

Section 1: Types of Services	
1.1	What types of services did you offer in 2016? (Open ended)
1.2	Describe your main (target) clientele (Open ended)
1.3	What percentage of your clients resided in Richmond?
Section 2: Staff & Volunteers	
2.1	How many full-time workers were employed? (Full-time means equal to or above 30 hours/week)
2.2	How many part-time employees were employed? (Part-time means below 30 hours/week)
2.3	How many full-time equivalent (FTE) hours were paid, combined among employees?
2.3	How many contract workers were employed?
2.4	How many FTE hours were paid toward contract workers?
2.5	How many volunteers donated their time?
2.6	How many volunteer hours did this add up to over the year?
2.7	<p>What percentage of employees worked on-site?</p> <p>If your agency has multiple sites, please list the percentage of employees working on-site at each location:</p> <p>Location 1 name: _____ / % working on-site: _____</p> <p>Location 2 name: _____ / % working on-site: _____</p> <p>Location 3 name: _____ / % working on-site: _____</p> <p>Location 4 name: _____ / % working on-site: _____</p> <p>Location 5 name: _____ / % working on-site: _____</p>
2.8	What percentage of employees worked from home?
2.9	What percentage of employees worked from home because there was no room on site?
2.10	<p>Work from home over the next 5 years will: (Check one)</p> <p><input type="checkbox"/> Increase</p> <p><input type="checkbox"/> Decrease</p> <p><input type="checkbox"/> Stay the same</p> <p><input type="checkbox"/> Not sure</p>
2.11	How many clients were served in 2016?
2.12	How many referrals were received in 2016?
2.13	<p>Do you carry/have access to a waitlist for any of your programs?</p> <p><input type="checkbox"/> Yes</p>

	<input type="checkbox"/> No If so, for each program: <ul style="list-style-type: none"> • How many people were on your waitlist at the end of 2016? • How many people were on your waitlist at the beginning of 2016? • How long did people typically wait on the waitlist?
Section 3: Current Premises	
3.1	Is work conducted during regular business hours? (Mon-Fri, 8 am – 5 pm) <input type="checkbox"/> Yes <input type="checkbox"/> No If so, for each program: <ul style="list-style-type: none"> • When is work conducted? I.e., which days, and between what time? (Open ended)
3.2	Do you need 24/7 access to your premises? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, for which sites and programs? (Open Ended) Does your agency have 24/7 access? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, for which sites and programs? (Open Ended)
3.3	Do you host group meetings on the premises? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, are group meetings hosted outside normal business hours? <input type="checkbox"/> Yes <input type="checkbox"/> No
3.4	Does your agency need to store confidential files? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, where does your agency store these files? E.g., on-site or off-site (Open ended)
3.5	Would your agency consider storing confidential files in a shared, secure storage facility with other community agencies? <input type="checkbox"/> Yes <input type="checkbox"/> No
3.6	Does your agency share space (e.g., meeting rooms, staff rooms, etc.) with another agency? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, what type of space is shared? (Check all that apply) <ul style="list-style-type: none"> <input type="checkbox"/> Offices <input type="checkbox"/> Meeting rooms <input type="checkbox"/> Staff/lunch rooms <input type="checkbox"/> Waiting room/reception

	<input type="checkbox"/> Exterior (e.g., play area) <input type="checkbox"/> Parking
3.7	<p>For each site and program, does your agency?</p> <input type="checkbox"/> Occupy the premises at no cost (e.g., space is provided in kind) <input type="checkbox"/> Own its premises <input type="checkbox"/> Rent monthly <input type="checkbox"/> Lease <p>For each site and program that is leasing space:</p> <ul style="list-style-type: none"> • What is the term (number of years) of your lease? • What year will your lease/rental agreement expire? • What are the terms of the renegotiation of your lease/rental agreement? (Open ended)
3.8	<p>Have you always been at your current location?</p> <input type="checkbox"/> Yes <input type="checkbox"/> No <p>If no:</p> <ul style="list-style-type: none"> • How many times have you relocated/over how many years? • Where were your previous locations?
3.9	<p>Are the Richmond premises the agency's: (Check one)</p> <input type="checkbox"/> Sole location <input type="checkbox"/> Head office <input type="checkbox"/> Branch/satellite office <p>If branch/satellite office, how many branch/satellite offices are there?</p>
3.10	What is the total area (i.e., square foot floor space) of your premises?
Section 4: Finances	
4.1	What were your operating expenses in 2016?
4.2	<p>Please break down your operating expenses:</p> <p>___ % Mortgage</p> <p>___ % Lease</p> <p>___ % Rent</p> <p>___ % Maintenance</p> <p>___ % Renovations</p>
4.3	<p>What percentage of your annual operating costs are met through:</p> <p>___ % Federal government</p> <p>___ % Provincial government</p> <p>___ % Non-profit funders (e.g., United Way)</p> <p>___ % Programs/services revenue</p> <p>___ % Individual donors/fundraising</p>
Section 5: Future Space Needs	
5.1a	<p>Interior space needs will increase over next: (Check all that apply)</p> <input type="checkbox"/> 1 year <input type="checkbox"/> 5 years <input type="checkbox"/> 10 years

	<input type="checkbox"/> 15 years
5.1b	Interior space needs will decrease over next: (Check all that apply) <input type="checkbox"/> 1 year <input type="checkbox"/> 5 years <input type="checkbox"/> 10 years <input type="checkbox"/> 15 years
5.1c	Interior space needs can be accommodated at current location: (Check all that apply) <input type="checkbox"/> Yes <input type="checkbox"/> No
5.2a	Exterior space needs will increase over next: (Check all that apply) <input type="checkbox"/> 1 year <input type="checkbox"/> 5 years <input type="checkbox"/> 10 years <input type="checkbox"/> 15 years
5.2b	Exterior space needs will decrease over next: (Check all that apply) <input type="checkbox"/> 1 year <input type="checkbox"/> 5 years <input type="checkbox"/> 10 years <input type="checkbox"/> 15 years
5.2c	Exterior space needs can be accommodated at current location: (Check all that apply) <input type="checkbox"/> Yes <input type="checkbox"/> No
5.3	Agency will need to expand (increase space) within next: (Check all that apply) <input type="checkbox"/> 1 year <input type="checkbox"/> 5 years <input type="checkbox"/> 10 years <input type="checkbox"/> 15 years
5.4	Agency will need to relocate (it is not possible to expand at current site) within next: (Check all that apply) <input type="checkbox"/> 1 year <input type="checkbox"/> 5 years <input type="checkbox"/> 10 years <input type="checkbox"/> 15 years
5.5	Agency will need an additional location in Richmond within next: (Check all that apply) <input type="checkbox"/> 1 year <input type="checkbox"/> 5 years <input type="checkbox"/> 10 years <input type="checkbox"/> 15 years
5.6	Agency will need additional storage within next: (Check all that apply) <input type="checkbox"/> 1 year

	<input type="checkbox"/> 5 years <input type="checkbox"/> 10 years <input type="checkbox"/> 15 years
5.7	Please rank the most important factors your agency considers when choosing a new location: <ul style="list-style-type: none"> <input type="checkbox"/> Location (e.g., within City Centre area) <input type="checkbox"/> Available for purchase <input type="checkbox"/> Available for long-term lease <input type="checkbox"/> Proximity to clients <input type="checkbox"/> Proximity to workforce/volunteers <input type="checkbox"/> Proximity to related agencies <input type="checkbox"/> Ability to share premises with other agencies <input type="checkbox"/> Exclusive use of premises <input type="checkbox"/> Proximity to transit <input type="checkbox"/> Availability of parking/vehicles for transport of clientele/carshare? (get to the essence of this) <input type="checkbox"/> Sufficient/adequate exterior space (for programs etc.) <input type="checkbox"/> Sufficient/adequate waiting area space <input type="checkbox"/> Sufficient/adequate child-friendly space <input type="checkbox"/> 24/7 access to premises
Section 6: New Premises	
6.1	If relocating is necessary, where would your agency want to be? (Choose one) (Provide map and add more specific location options?) <ul style="list-style-type: none"> <input type="checkbox"/> City Centre <input type="checkbox"/> Steveston area <input type="checkbox"/> Ironwood area <input type="checkbox"/> Hamilton area
6.2	If opening another office (e.g., satellite premises) where would your agency want to be? (Choose one) (Provide map and add more specific location options?) <ul style="list-style-type: none"> <input type="checkbox"/> City Centre <input type="checkbox"/> Steveston area <input type="checkbox"/> Ironwood area <input type="checkbox"/> Hamilton area
6.3	Will the new location provide: (Check one) <ul style="list-style-type: none"> <input type="checkbox"/> More services (in addition to what is currently provided) <input type="checkbox"/> Same services <input type="checkbox"/> Less services
6.4	Does your agency currently need more interior space? <ul style="list-style-type: none"> <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, how much additional interior space does your agency need?
6.5	Does your agency currently need more exterior space? <ul style="list-style-type: none"> <input type="checkbox"/> Yes

	<input type="checkbox"/> No If yes, how much additional exterior space does your agency need?
--	--

References

Interview Subjects

Janice Barr, Executive Director, *Richmond Society for Community Living*

Nicola Byres, Executive Director, *Society of Richmond Children's Centres*

Janice Lambert, Executive Director, *Richmond Family Place*

Sandy McIntosh, Manager, *Richmond Caring Place*

Alex Nixon, Community Liaison, *Richmond Food Bank*

Lesley Sherlock, Social Planner, Community Social Services, *City of Richmond*

Kim Sommerville, Manager, Community Social Development, *City of Richmond*

Josh Taylor, Project Manager, *Catalyst Community Development Society*

Judy Valsonis, Executive Director, *Touchstone Family Association*

Works Cited

City of Richmond, *City Centre Area Plan*, 2009

City of Richmond, *Official Community Plan*, 2012

City of Richmond, *Building Our Social Future*, 2013

City of Richmond, *Report to Committee: RCSAC Social Services Funding and Space Needs*, 2016

RCSAC, *Social Services in Richmond*, 2003

RCSAC, *Community Services Space Needs Survey – Final Report*, 2008

RCSAC, *RCSAC Space Needs Survey – Summary and Follow-up Actions*, 2008

RCSAC, *Operating Policies and Procedures*, 2011

RCSAC, *Summary Report of Richmond Community Services Advisory Committee 2013/2014 Survey and Space Needs Assessment*, 2015

RCSAC, *Social Services and Space Needs Survey – 2014/2015 (Gains and Losses Survey)*, 2016

Council Community Initiatives Account
TERMS OF REFERENCE

Purpose: *The purpose of the Council Community Initiatives Account (CCIA) is to support initiatives geared to enhancing overall quality of life in Richmond. The account has been established to enable Council to utilize gaming revenues towards one-time initiatives that address social, environmental, recreation and sports, heritage, arts and culture, safety and security, or infrastructure needs.*

Funding Source: *The CCIA has been established with an initial transfer of \$3.0M from the City's Gaming Provision. The account will be augmented by an annual allocation of 2% of City gaming revenues, with any unspent amounts being placed in the CCIA for future distribution.*

Annual distribution: *The maximum annual distribution will not exceed 50% of the prior year's ending account balance; however Council has the discretion to waive this limitation.*

Eligibility Criteria: *CCIA expenditures may be directed to City or community-initiated projects. To be eligible, the projects must be:*

- *One time (as opposed to those requiring ongoing funding)*
- *Focused on social, environmental, recreation and sports, heritage, arts and culture, safety and security, or infrastructure needs.*

Priority will be given to projects that meet Council's Term Goals and the majority of the following objectives:

- *Inclusive – reaching out to, involving, and positively affecting a diversity of residents*
- *Collaborative – relying on partnerships in planning and implementation*
- *Leveraged – capitalize on projects that already have substantial funding from other sources*
- *Impactful – will benefit the broader Richmond community rather than specific interests*
- *Effective – community benefit will be demonstrable*
- *Responsive – based on demonstrated community need*
- *Capacity-building – will build community capacity to enhance residents' quality of life*
- *Innovative – demonstrate new ways of benefitting the community*
- *Sustainable – financially sustainable, not reliant on further City funding to be viable*
- *Credible – realistic proposals based on sound business plans*

Process: *All decisions regarding allocation of the CCIA rest with Council. Similar to the process for Council Contingency and Council Provision Accounts, expenditures from the CCIA may be proposed to Council by individual Council members, or through deliberations of Council at large. Proposals may also be received from senior staff or through staff reports, primarily in response to Council referrals and in cases in which alternate funding sources are unavailable. Funding requests and decisions should occur concurrently with the City's budget process in order to ensure information is captured in the City's five year financial plan bylaw.*



City of Richmond

Report to Committee Planning and Development Division

To: Planning Committee
From: Wayne Craig
Director, Development

Date: September 5, 2017

File: RZ 17-775844

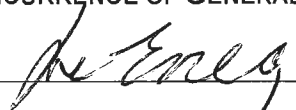
Re: Application by Satnam Shergill and Gurjit Pooni for Rezoning at
9371 Dayton Avenue from "Single Detached (RS1/B)" to "Single Detached
(RS2/A)"

Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9752, for the rezoning of
9371 Dayton Avenue from "Single Detached (RS1/B)" to "Single Detached (RS2/A)", be
introduced and given first reading.


Wayne Craig
Director, Development
(604-247-4625)

JR:blg
Att. 7

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

Staff Report

Origin

Satnam Shergill and Gurjit Pooni have applied to the City of Richmond for permission to rezone 9371 Dayton Avenue from the “Single Detached (RS1/B)” zone to the “Single Detached (RS2/A)” zone, to permit the property to be subdivided to create three single-family lots with vehicle access from Dayton Avenue (Attachment 1). The proposed subdivision plan is shown in Attachment 2. There is an existing single-family dwelling on the property, which would be demolished.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is provided in Attachment 3.

Surrounding Development

Development immediately surrounding the subject site is as follows:

- To the North: A townhouse development on a lot zoned “Low Density Townhouses (RTL1),” with vehicle access from Dayton Avenue.
- To the South, East, and West: Single-family dwellings on lots zoned “Single Detached (RS1/B),” with vehicle access from Dayton Avenue.

Related Policies & Studies

Official Community Plan/Broadmoor Area Plan

The subject property is located in the Broadmoor planning area. The Official Community Plan (OCP) designation for the subject property is “Neighbourhood Residential” (Attachment 4). The proposed rezoning is consistent with this designation.

The subject property is located within the area governed by the Ash Street Sub-Area Plan contained in the OCP. The land use designation for the subject property is “Low Density Residential” (Attachment 5). The Ash Street Sub-Area Plan permits the development of lands outside of designated infill sites shown on the Land Use Map to be governed by the City’s normal development application process. The City has considered numerous applications in the area, which have resulted in a number of recently created single-family lots between 9 m and 10 m wide. The proposed rezoning would permit a subdivision to create three 9.1 m wide lots. The proposed rezoning and subdivision are consistent with the Land Use Designation and policies contained in the Ash Street Sub-Area Plan.

Floodplain Management Implementation Strategy

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

Public Consultation

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant first reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing; where any area resident or interested party will have an opportunity to comment. Public notification for the Public Hearing will be provided as per the *Local Government Act*.

Analysis

Existing Legal Encumbrances

There is an existing 3.0 m wide Statutory Right-of-Way (SRW) for municipal utilities across a portion of the rear yard of the subject property, which will not be impacted by the proposed rezoning or subdivision. The applicant is aware that encroachment into the SRW is not permitted.

Transportation and Site Access

Vehicle access is proposed via separate driveways to each new lot from Dayton Avenue.

Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report, which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses two bylaw-sized trees and a hedge on the subject property, and two trees on a neighbouring property.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- One Cherry tree (Tree # 3) and one Cedar tree (Tree # 4) on the subject property are in poor condition and should be removed and replaced.
- One Cedar tree (Tree # 1) and one Japanese Maple tree (Tree # 2) located on a neighbouring property are to be retained and protected as per Arborist's Report specifications.
- One Cedar hedge row (Trees # 5-15) has been topped and is presently overgrown, and should be removed. Replacement with four suitable trees is suggested.
- Replacement trees should be specified at 2:1 ratio as per the OCP.

Tree Replacement

The applicant wishes to remove two on-site trees (Trees # 3 and 4) and one hedge (Trees # 5-15). Four replacement trees are required, and the applicant has agreed to plant four additional new trees to replace the hedge. The required replacement trees are to be of the following minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057.

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
2	9 cm	5 m
2	6 cm	3.5 m

The four additional trees that the applicant has agreed to provide must meet the minimum standard for replacement trees as per Tree Protection Bylaw No. 8057 (ie. minimum 6 cm deciduous caliper or 3.5 m high conifers).

To ensure that the eight agreed upon trees are planted, the City will collect a \$4,000 Landscape Security prior to final adoption of the rezoning bylaw.

Tree Protection

Two trees (Trees # 1 and 2) on a neighbouring property are to be retained and protected. The applicant has submitted a tree protection plan showing the trees to be retained and the measures taken to protect them during development stage (Attachment 6). To ensure that the trees identified for retention are protected at development stage, the applicant is required to complete the following items:

- Prior to final adoption of the rezoning bylaw, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition of the existing dwelling on the subject site, installation of tree protection fencing around all trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

Affordable Housing Strategy

The Affordable Housing Strategy for single-family rezoning applications received prior to July 25, 2017 requires a secondary suite or coach house on 100% of new lots created; a suite or coach house on 50% of new lots created together with a cash-in-lieu contribution to the City's Affordable Housing Reserve Fund of \$2.00/ft² of the total buildable area of the remaining lots; or, where secondary suites cannot be accommodated in the development, a cash-in-lieu

contribution to the City's Affordable Housing Reserve Fund of \$2.00/ft² of the total buildable area of the development.

The applicant proposes to contribute \$13,284.81 to the City's Affordable Housing Reserve Fund; which is consistent with the 100% cash-in-lieu option. The applicant has indicated that the geometry of the proposed lots – 9.1 m wide by 41.2 m deep – is not conducive to a functional floor plan that includes a secondary suite.

Site Servicing and Frontage Improvements

At Subdivision stage, the applicant is required to pay the current year's taxes, Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, Address Assignment Fees, and the costs associated with the completion of the servicing works as described in Attachment 7.

Financial Impact

This rezoning application results in an insignificant Operations Budget Impact (OBI) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees, and traffic signals).

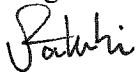
Conclusion

The purpose of this application is to rezone 9731 Dayton Avenue from the "Single Detached (RS1/B)" zone to the "Single Detached (RS2/A)" zone, to permit the property to be subdivided to create three single-family lots with vehicle access from Dayton Avenue.

This rezoning application complies with the land use designations and applicable policies for the subject property contained in the OCP and Richmond Zoning Bylaw 8500.

The list of rezoning considerations is included in Attachment 7, which has been agreed to by the applicant (signed concurrence on file).

It is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9752 be introduced and given first reading.

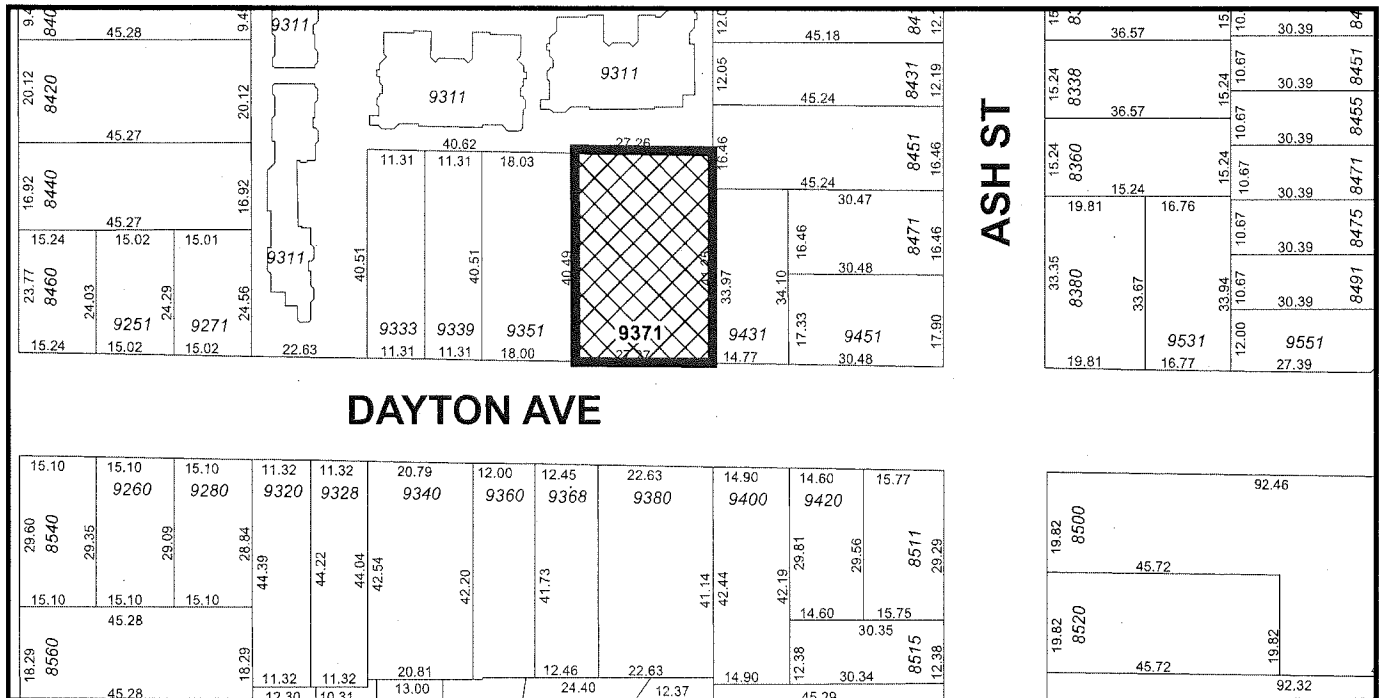
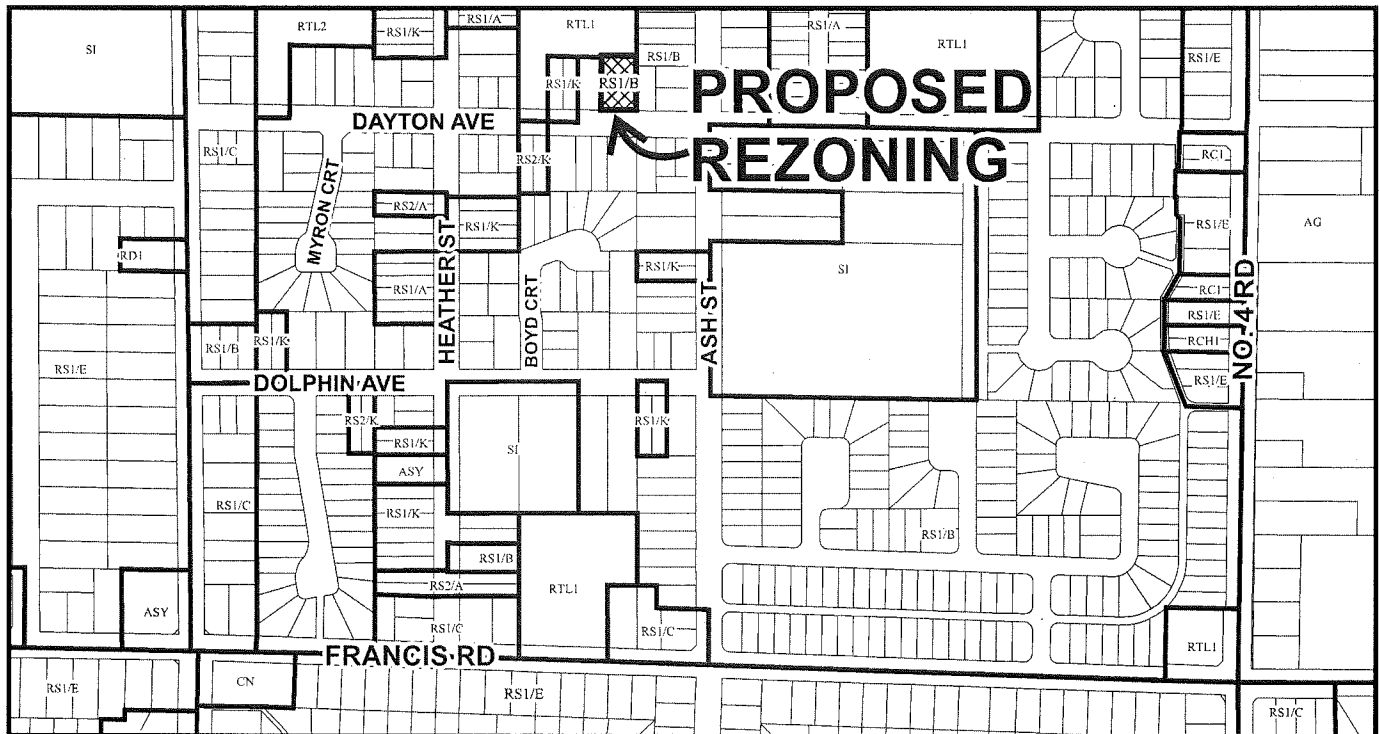


Jordan Rockerbie
Planning Technician
(604-276-4092)
JR:blg

- Attachment 1: Location Map and Aerial Photo
- Attachment 2: Proposed Subdivision Plan
- Attachment 3: Development Application Data Sheet
- Attachment 4: Broadmoor Area OCP Land Use Map
- Attachment 5: Ash Street Sub-Area Plan Land Use Map
- Attachment 6: Tree Retention Plan
- Attachment 7: Rezoning Considerations



City of Richmond



RZ 17-775844

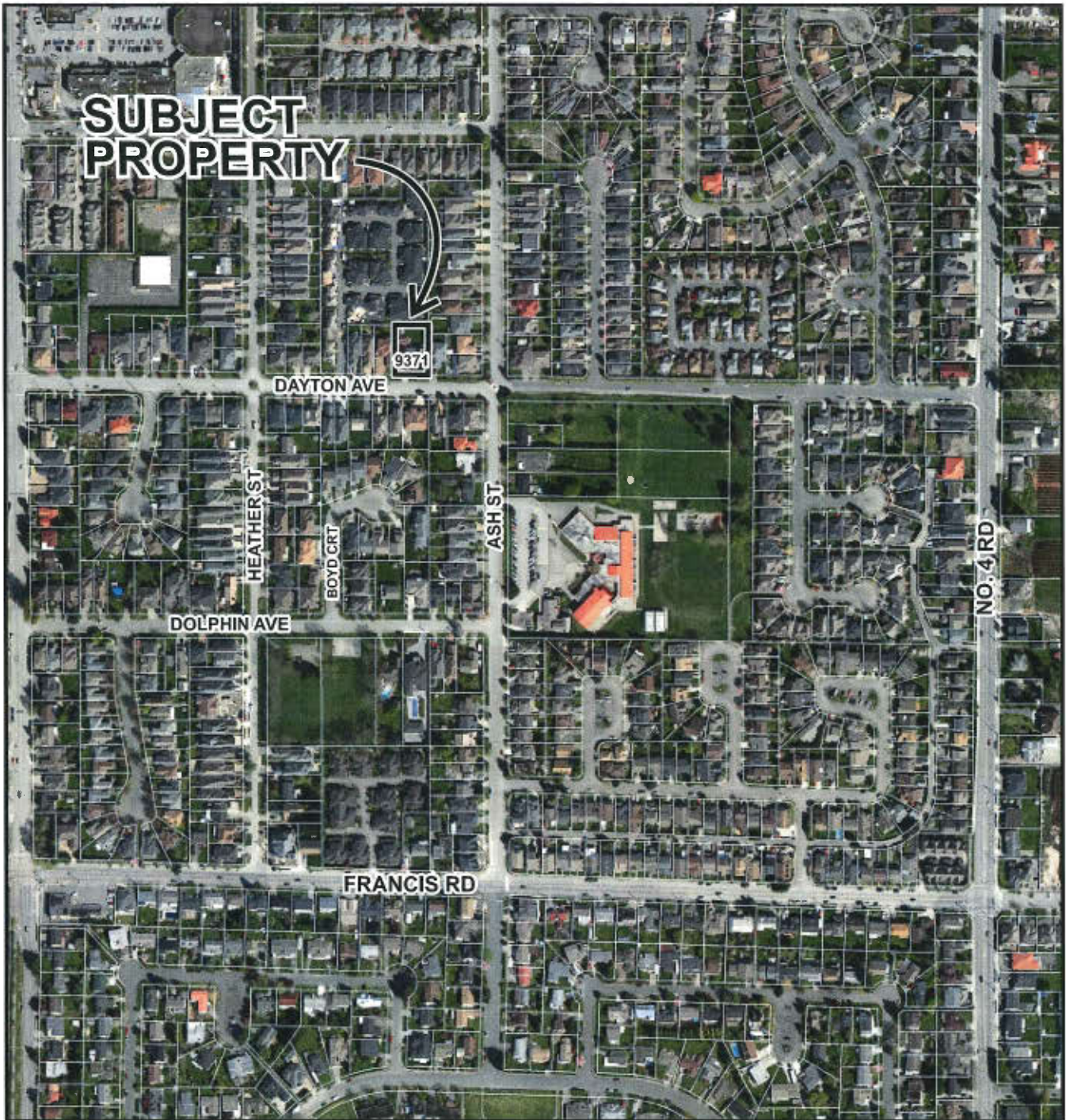
Original Date: 07/11/17

Revision Date:

Note: Dimensions are in METRES



City of
Richmond



RZ 17-775844

Original Date: 07/11/17

Revision Date:

Note: Dimensions are in METRES

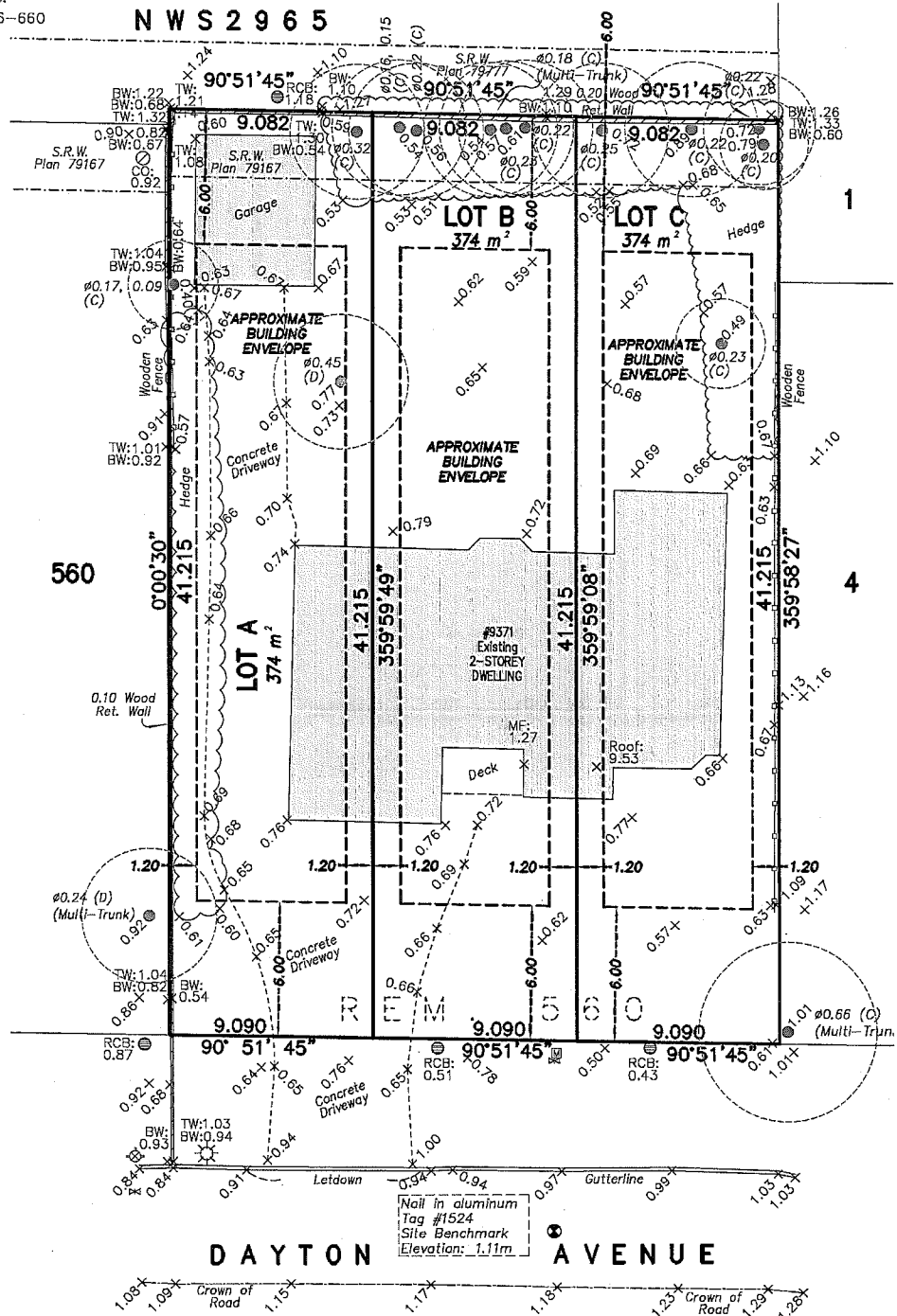
**TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF
LOT 560 EXCEPT: PART SUBDIVIDED BY PLAN 77669.
SECTION 22 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN 61147**

ATTACHMENT 2

#9371 DAYTON AVENUE,
RICHMOND, B.C.
P.I.D. 002-686-660

SCALE: 1:200

ALL DISTANCES ARE IN METRES AND DECIMALS
THEREOF UNLESS OTHERWISE INDICATED



© copyright
J. C. Tam and Associates
Canada and B.C. Land Surveyor
115 - 8833 Odlin Crescent
Richmond, B.C. V6X 3Z7
Telephone: 214-8928
Fax: 214-8929
E-mail: office@jctam.com
Website: www.jctam.com
Job No. 6756
FB-317 P86-89
Drawn By: IO

NOTE:
Elevations shown are based on
City of Richmond HPN
Benchmark network.
Benchmark: HPN #204
Control Monument 02H2452
Elevation: 1.559m
Benchmark: HPN #234
Control Monument 77H4891
Elevation: 1.125m

NOTE:
Use site Benchmark Tag #1524 for
construction elevations only.

LEGEND:

- (C) denotes conifer
- (D) denotes deciduous
- denotes round catch basin
- ⊕ denotes water valve
- ⊗ denotes water meter
- denotes cleanout
- ⊙ denotes lamp standard
- ⊛ denotes fire hydrant
- MF denotes main floor
- BW denotes bottom of retaining wall
- TW denotes top of retaining wall

CERTIFIED CORRECT:
LOT DIMENSION ACCORDING TO
FIELD SURVEY.

JOHNSON C. TAM, B.C.L.S., C.L.S.

APRIL 27th, 2017.

DWG No. 6756-Topo

PLN-53



RZ 17-775844

Attachment 3

Address: 9371 Dayton Avenue

Applicant: Satnam Shergill and Gurjit Pooni

Planning Area(s): Broadmoor – Ash Street Sub-Area Plan

	Existing	Proposed
Owner:	Kulwinder Kaur Pooni	To be determined
Site Size (m ²):	1,122 m ²	Three 374 m ² lots
Land Uses:	One single-family dwelling	Three single-family dwellings
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	Low Density Residential	No Change
Zoning:	Single Detached (RS1/B)	Single Detached (RS2/A)

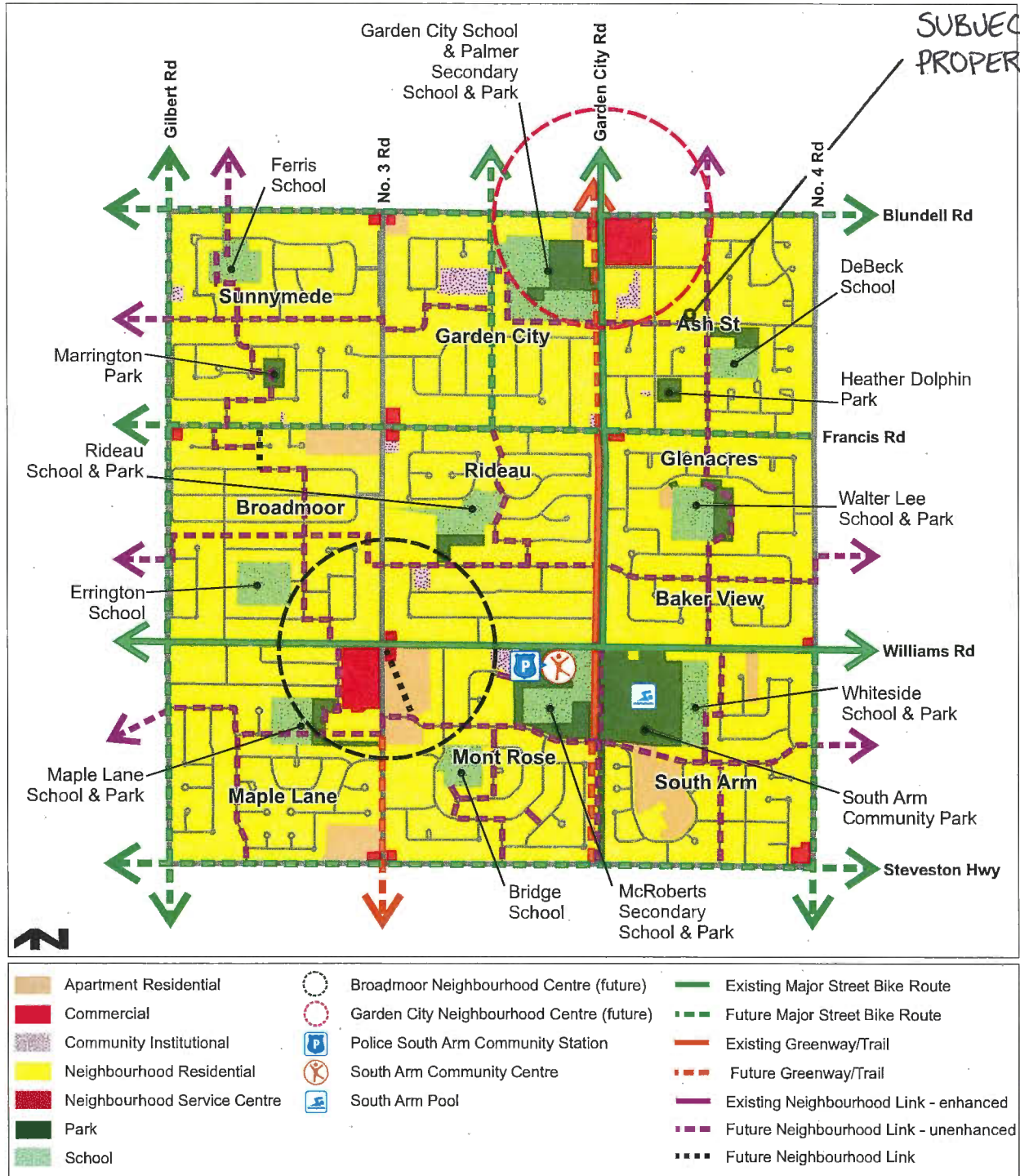
On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.55 for lot area up to 464.5 m ² plus 0.3 for area in excess of 464.5 m ²	Max. 0.55 for lot area up to 464.5 m ² plus 0.3 for area in excess of 464.5 m ²	none permitted
Buildable Floor Area (m ²):*	Max. 205.4 m ² (2,214 ft ²)	Max. 205.4 m ² (2,214 ft ²)	none permitted
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 70%	Building: Max. 45% Non-porous Surfaces: Max. 70%	none
Lot Size:	Min. 270 m ²	374 m ²	none
Lot Dimensions (m):	Width: Min. 9.0 m Depth: Min. 24.0 m	Width: 9.09 m Depth: 41.22 m	none
Setbacks (m):	Front: Min. 6.0 m Side: Min. 1.2 m Rear: Min. 20% of lot depth for up to 60% of principal dwelling, 25% of lot depth for remainder, up to 10.7 m	Front: Min. 6.0 m Side: Min. 1.2 m Rear: Min. 8.2 m for up to 60% of principal dwelling, 10.3 m for remainder	none
Height (m):	Max. 9.0 m	Max. 9.0 m	none

Other: Tree replacement compensation required for loss of significant trees.

* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



6. Broadmoor

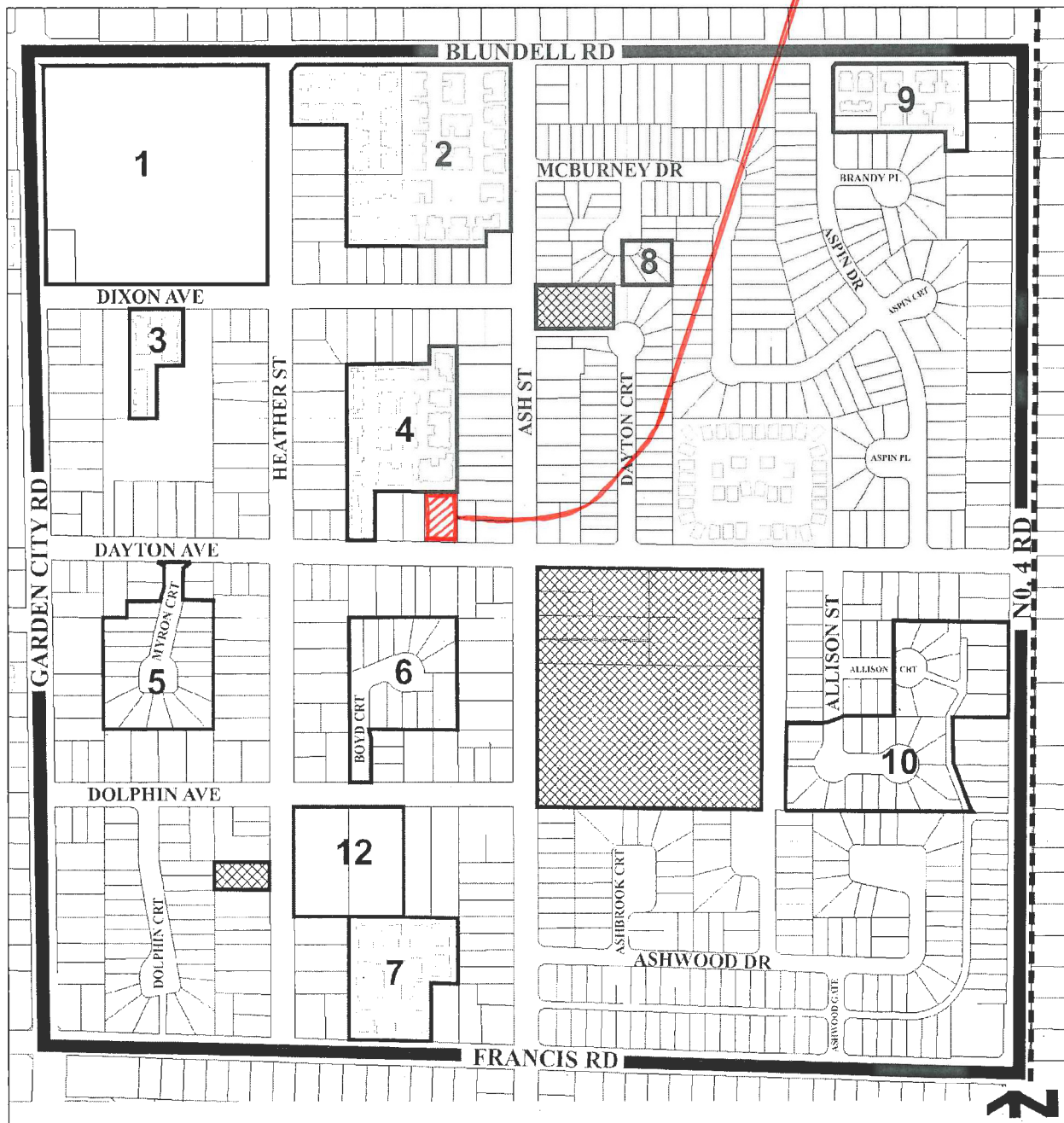


City of Richmond

Land Use Map

Bylaw 9489
2016/07/18

SUBJECT PROPERTY



----- ALR Boundary

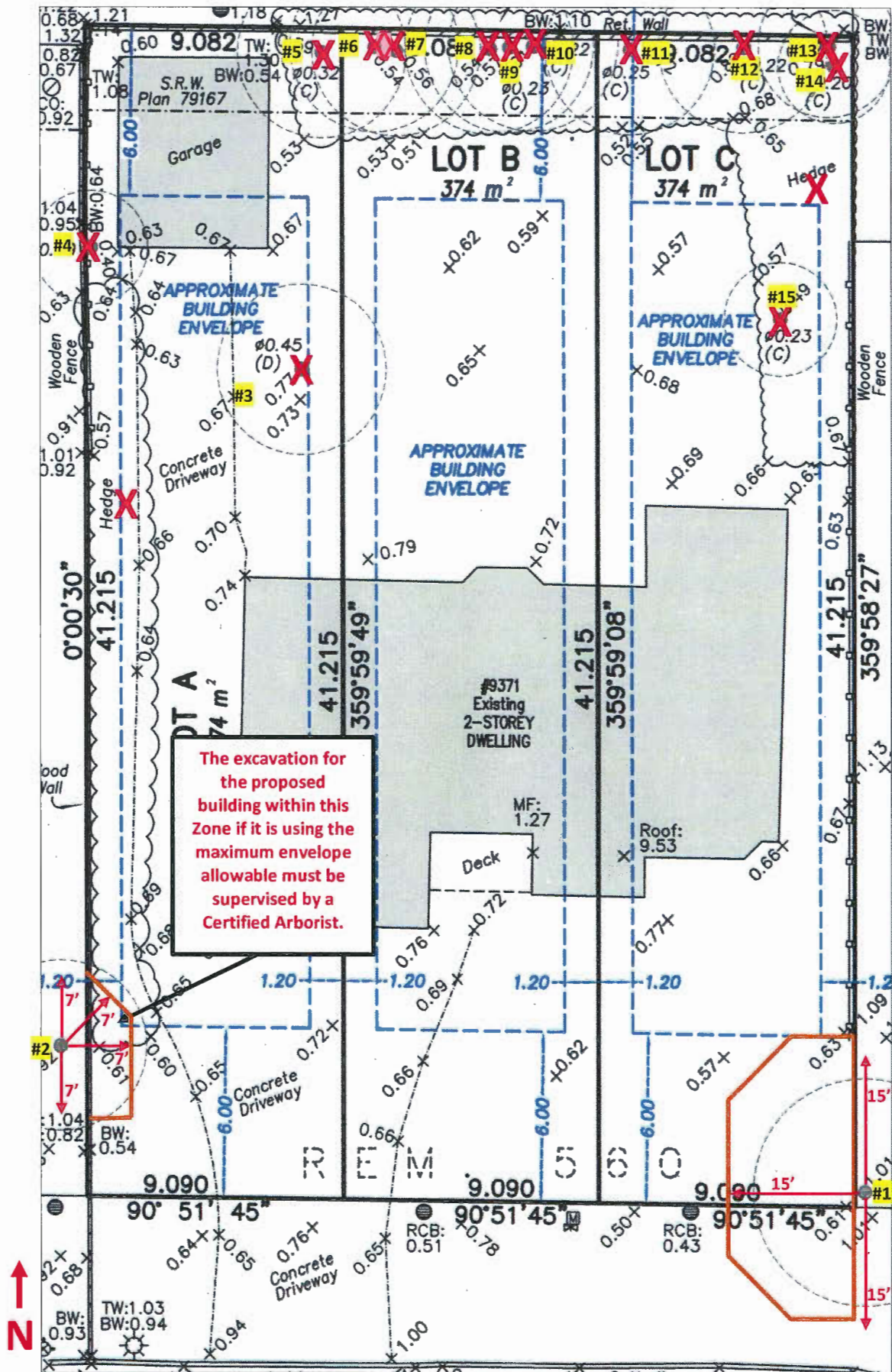
— Area Boundary

Public, Institutional &
Open SpaceLow Density
ResidentialDesignated Infill
Areas – Refer to
Table: 1

PLN - 56

Original Adoption: March 10, 1986 / Plan Adoption: February 19, 2001
4573372 / 8060-20-7100

Ash Street Sub-Area Plan 12





Address: 9371 Dayton Avenue

File No.: RZ 17-775844

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9752, the developer is required to complete the following:

1. Submission of a Landscape Security in the amount of \$4,000 (\$500/tree) to ensure that four replacement trees and four new trees (a total of eight trees) are planted in the development (minimum 6 cm deciduous caliper or 3.5 m high conifers). The required replacement trees are to be of the following minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057.

No. of Required Trees	Minimum Caliper of Deciduous Tree	Minimum Height of Coniferous Tree
2	9 cm	5 m
2	6 cm	3.5 m

2. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
3. Registration of a flood indemnity covenant on Title.
4. The City's acceptance of the applicant's voluntary contribution of \$2.00 per buildable square foot of the single-family developments (i.e. \$13,284.81) to the City's Affordable Housing Reserve Fund.

Prior to Demolition Permit* Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

At Subdivision* stage, the developer must complete the following requirements:

1. Payment of the current year's taxes, Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fees.
2. Complete the following servicing works and off-site improvements. These may be completed through a Servicing Agreement* or a City work order:

Water Works:

- Using the OCP Model, there is 151.0 L/s of water available at a 20 psi residual at the Dayton Ave frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit designs at Building Permit stage.

- At Developer's cost, the City is to:
 - Cut and cap the existing water service connection serving the development site, and remove water meter.
 - Install three new water service connections, complete with meters and meter boxes, one for each new lot.

Storm Sewer Works:

- At Developer's cost:
 - Check the existing storm service connections to the property. The video inspection report, complete with Engineer's signed and sealed letter confirming the condition, capacity, and material of the existing inspection chambers and connections, is to be submitted to the City for review and approval.
 - If deemed acceptable by the City, the existing service connections may be retained. In the case that a service connection is not in a condition to be re-used, the service connection shall be replaced by the City, at the Developer's cost, as described below.
- At Developer's cost, the City is to:
 - If the existing connection is not acceptable to the City, cut and cap at inspection chamber of the existing storm lead serving the development site and replace the connection.
 - Install a new storm service connection at the adjoining property line of the newly subdivided lots, complete with inspection chamber and a single or dual service leads where applicable.

Sanitary Sewer Works:

- The Developer is required to:
 - Not start onsite excavation or foundation construction prior to completion of rear yard sanitary works by City crews.
 - Check the existing sanitary service connection to the north of the property. The video inspection report, complete with Engineer's signed and sealed letter confirming the condition, capacity, and material of the existing inspection chambers and connections, is to be submitted to the City review and approval.
 - If deemed acceptable by the City, the existing service connections may be retained. In the case that a service connection is not in a condition to be re-used, the service connection shall be replaced by the City, at the Developer's cost, as described below.
- At Developer's cost, the City is to:
 - If the existing connection is not acceptable to the City, cut and cap at inspection chamber of the existing sanitary lead serving the development site and replace the connection.
 - Install a new dual service sanitary connection complete with inspection chamber for the westernmost properties.

Frontage Improvements:

- The Developer is required to:
 - Coordinate with BC Hydro, Telus and other private communication service providers to locate all above ground utility cabinets and kiosks required to service the proposed development within the development site.
 - Coordinate with BC Hydro to underground the overhead service lines to each of the proposed developments.
 - Coordinate with BC Hydro prior to modifying or relocating any overhead lines, poles, or guywires along their frontage, if applicable.
 - Pay, in keeping with the Subdivision and Development Bylaw No. 8751, a \$16,634.70 cash-in-lieu contribution for the design and construction of frontage upgrades as set out below:
 - Concrete Curb and Gutter (EP.0641) \$5,454.00
 - Concrete Sidewalk (EP.0642) \$5,454.10
 - Roadway Lighting (EP.0644) \$3,408.75
 - Boulevard Landscape/Trees (EP.0647) \$2,317.95
 - Relocate lamp standard if in conflict with proposed driveway location.

General Items:

- The Developer is required to:
 - Not encroach in to the existing right of ways with proposed trees, non-removable fences, or other non-removable structures.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9752 (RZ 17-775844)
9371 Dayton Avenue**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"SINGLE DETACHED (RS2/A)"**.

P.I.D. 002-686-660

Lot 560 Except: Part Subdivided By Plan 77669, Section 22 Block 4 North Range 6 West
New Westminster District Plan 61147

2. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9752"**.

FIRST READING



A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

CITY OF RICHMOND
APPROVED by 
APPROVED by Director or Solicitor 

MAYOR

CORPORATE OFFICER



City of Richmond

Report to Committee Planning and Development Division

To: Planning Committee
From: Wayne Craig
Director, Development

Date: September 5, 2017

File: RZ 16-745791

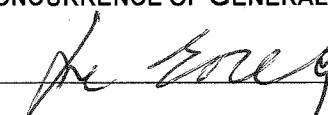
Re: Application by Timothy Tse for Rezoning at 9200/9220 Glenallan Drive from Two-Unit Dwellings (RD1) to Single Detached (RS2/C)

Staff Recommendation

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9758, for the rezoning of 9200/9220 Glenallan Drive from "Two-Unit Dwellings (RD1)" to "Single Detached (RS2/C)", be introduced and given first reading.


Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 7

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	<input checked="" type="checkbox"/>	

Staff Report

Origin

Timothy Tse has applied to the City of Richmond for permission to rezone 9200/9220 Glenallan Drive from the “Two-Unit Dwellings (RD1)” zone to the “Single Detached (RS2/C)” zone, to permit the property to be subdivided to create two single family lots with vehicle access from Glenacres Drive (Attachment 1). The proposed subdivision plan is provided in Attachment 2. There is an existing duplex on the property, which would be demolished.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is provided in Attachment 3.

Surrounding Development

Development immediately surrounding the subject property is as follows:

- To the North: single family dwellings on lots zoned “Single Detached (RS1/E),” fronting Glenallan Drive.
- To the South: a multi-family complex on a lot split-zoned “Low Density Townhouses (RTL1)” and “Low Density Low Rise Apartments (RAL1),” with vehicle access from Glenallan Drive and Glenacres Drive.
- To the East: single family dwellings on lots zoned “Single Detached (RS1/E),” fronting Glenacres Drive.
- To the West: single family dwellings on lots zoned “Single Detached (RS1/E),” fronting Glenallan Drive.

Related Policies & Studies

Official Community Plan/Broadmoor Area Plan

The subject property is located in the Broadmoor planning area, and is designated in the Official Community Plan (OCP) as Neighbourhood Residential (Attachment 4). The proposed rezoning and subdivision is consistent with this designation.

Single-Family Lot Size Policy

The subject property is not located in an area governed by a Single-Family Lot Size Policy. Amendment procedures in Section 2.3 of Richmond Zoning Bylaw 8500 allow staff to consider a rezoning application to allow a property containing an existing duplex to subdivide into no more than two lots. The proposed rezoning and subdivision are consistent with this policy.

Floodplain Management Implementation Strategy

The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is required prior to final adoption of the rezoning bylaw.

Public Consultation

A rezoning sign has been installed on the subject property. Staff have not received any comments from the public about the rezoning application in response to the placement of the rezoning sign on the property.

Should the Planning Committee endorse this application and Council grant 1st reading to the rezoning bylaw, the bylaw will be forwarded to a Public Hearing, where any area resident or interested party will have an opportunity to comment. Public notification for the Public Hearing will be provided as per the *Local Government Act*.

Analysis

Built Form and Architectural Character

The proposed rezoning and subdivision will result in a new corner lot. The applicant has submitted conceptual development plans showing the proposed architectural elevations for the dwelling on Proposed Lot A (Attachment 5).

Both proposed single family dwellings will be accessed from Glenacres Drive. The building on the proposed corner lot (Lot A) has a modern design, with large south and west facing windows, strong horizontal lines, and stone cladding on the ground floor.

Prior to final adoption of the rezoning bylaw, the applicant must:

- Submit a Landscape Plan for Proposed Lot A, prepared by a Registered Landscape Architect, that is consistent with the landscaping requirements contained in Richmond Zoning Bylaw 8500. The Landscape Plan must include a cost estimate prepared by the Landscape Architect for the works (including all trees, soft and hard landscaping materials, fencing, installation costs, and a 10% contingency).
- Submit a Landscape Security based on the cost estimate provided, above.
- Register a legal agreement on Title to ensure that the Building Permit application and ensuing development at the site is generally consistent with the proposed conceptual plans included in Attachment 5.

The Building Permit application process includes coordination between Building Approvals and Planning Department staff to ensure that the covenant is adhered to. The final plans submitted at Building Permit stage must comply with all City regulations, including zoning, at the time of application.

Existing Legal Encumbrances

There is an existing 3.0 m wide Statutory Right-of-Way (SRW) across the north portion of the property for municipal services (Charge E26159). This SRW will not be impacted by the proposed development. The applicant is aware that encroachment into the SRW is not permitted.

There is an existing SRW agreement registered on Title that was registered for a previous subdivision, and no longer applies to the subject property (Charge D65286). Discharge of this SRW is required prior to final adoption of the rezoning bylaw.

There is an existing covenant on Title that restricts the property to a duplex only. Discharge of this covenant is required prior to final adoption of the rezoning bylaw.

The property is occupied by a stratified duplex. Cancellation of the existing strata plan (NWS390) is required prior to subdivision approval. The two strata lots have one owner, who agrees to the proposal, including cancellation of the existing strata.

Transportation and Site Access

Vehicle access is proposed from separate driveways to each new lot from Glenacres Drive. The existing driveway crossings on Glenallan Drive will be removed.

Tree Retention and Replacement

The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report assesses five bylaw-sized trees on the subject property, and one tree on City property.

The City's Tree Preservation Coordinator has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- Five trees (Tag # 2, 5, 6, 8, and 9) between 20 and 48 cm DBH located on the development site are either dead, dying, are infected with Fungal Blight, or exhibit structural defects such as cavities at the main branch union and co-dominant stems with inclusions. As a result, these trees are not good candidates for retention and should be replaced.
- One cedar hedge (Tag # 7) is in fair condition and proposed to be retained. Install tree protection fencing as per Tree Protection Information Bulletin Tree-03.
- Replacement trees should be specified at 2:1 ratio as per the OCP.

The City's Parks Department has reviewed the Arborist's Report and supports the Arborist's findings, with the following comments:

- Two hedges (Tag # 3 and 4) in the City-owned boulevard can be removed. No replacement is required for hedge species.
- One tree (Tag # 1) in the City-owned boulevard is in poor condition, and should be removed. A \$1,300 contribution to the City's Tree Compensation Fund is required prior to final

adoption of the rezoning bylaw, for the replanting of two trees at or near the development site.

Tree Replacement

The applicant wishes to remove all five on-site trees (Tag # 2, 5, 6, 8, and 9). The 2:1 replacement ratio would require a total of ten replacement trees. The applicant has agreed to plant three trees on each lot proposed; for a total of six trees, as the lots are not sufficiently large to accommodate the required ten replacement trees. The replacement trees are to be of the following minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057.

No. of Replacement Trees	Minimum Caliper of Deciduous Replacement Tree	Minimum Height of Coniferous Replacement Tree
2	8 cm	4 m
4	9 cm	5 m

To satisfy the 2:1 replacement ratio established in the OCP, the applicant will contribute \$2,000 to the City's Tree Compensation Fund in lieu of the remaining four trees that cannot be accommodated on the subject property after redevelopment.

Tree Protection

One hedge (Tag # 7) on the shared north property line is proposed to be retained. The applicant has submitted a tree protection plan showing the hedge to be retained and the measures taken to protect it during development stage (Attachment 6). To ensure that the hedge identified for retention is protected at development stage, the applicant is required to complete the following items:

- Prior to final adoption of the rezoning bylaw, submission to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition of the existing dwelling on the subject site, installation of tree protection fencing around all trees to be retained. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

Affordable Housing Strategy

The Affordable Housing Strategy for single family rezoning applications requires a secondary suite or coach house on 100% of new lots created; a suite or coach house on 50% of new lots created together with a cash-in-lieu contribution to the City's Affordable Housing Reserve Fund of \$2.00/ft² of the total buildable area of the remaining lots; or, where secondary suites cannot be

accommodated in the development, a cash-in-lieu contribution to the City's Affordable Housing Reserve Fund of \$2.00/ft² of the total buildable area of the development.

The applicant has proposed to provide a secondary suite on proposed Lot B, and a contribution of \$5,408.41 in lieu of a suite of proposed Lot A. This proposal satisfies the Affordable Housing Strategy requirement.

Site Servicing and Frontage Improvements

At Subdivision stage, the applicant is required to complete the following:

- Upgrades to both street frontages, including, but not limited to, removal and replacement of concrete sidewalk panels as necessary, removal of the two driveway crossings to Glenallan Drive, installation of two new driveway crossings to Glenacres Drive, and installation of a 1.5 m concrete sidewalk on the Glenallan Drive frontage.
- Payment of the current year's taxes, School Site Acquisition Charge, Address Assignment Fees, and the costs associated with the completion of the required servicing works as described in Attachment 7.

Financial Impact

This rezoning application results in an insignificant Operational Budget Impact (OBI) for off-site City infrastructure (such as roadworks, waterworks, storm sewers, sanitary sewers, street lights, street trees and traffic signals).

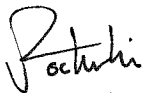
Conclusion

The purpose of this application is to rezone 9200/9220 Glenallan Drive from the "Two-Unit Dwellings (RD1)" zone to the "Single Detached (RS2/C)" zone, to permit the property to be subdivided to create two single family lots with vehicle access from Glenacres Drive.

This rezoning application complies with the land use designations and applicable policies for the subject property contained in the OCP and Richmond Zoning Bylaw 8500.

The list of rezoning considerations is included in Attachment 7, which has been agreed to by the applicant (signed concurrence on file).

It is recommended that Richmond Zoning Bylaw 8500, Amendment Bylaw 9758 be introduced and given first reading.



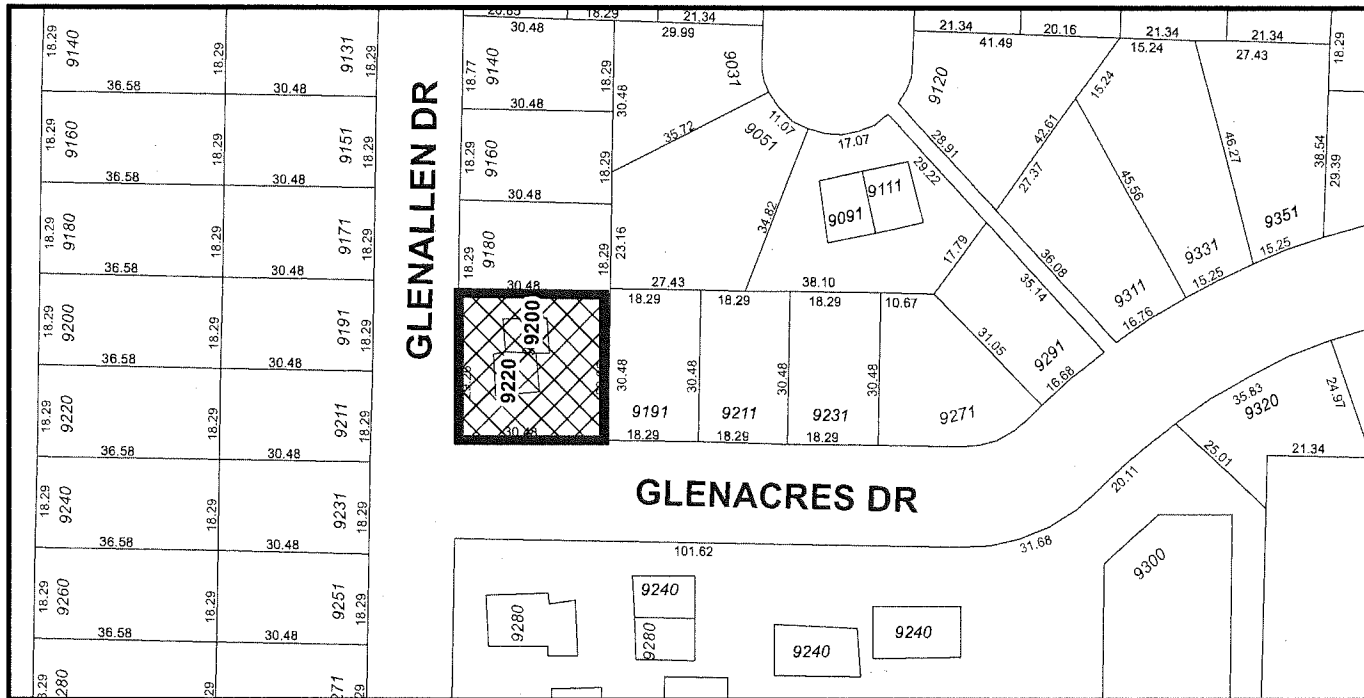
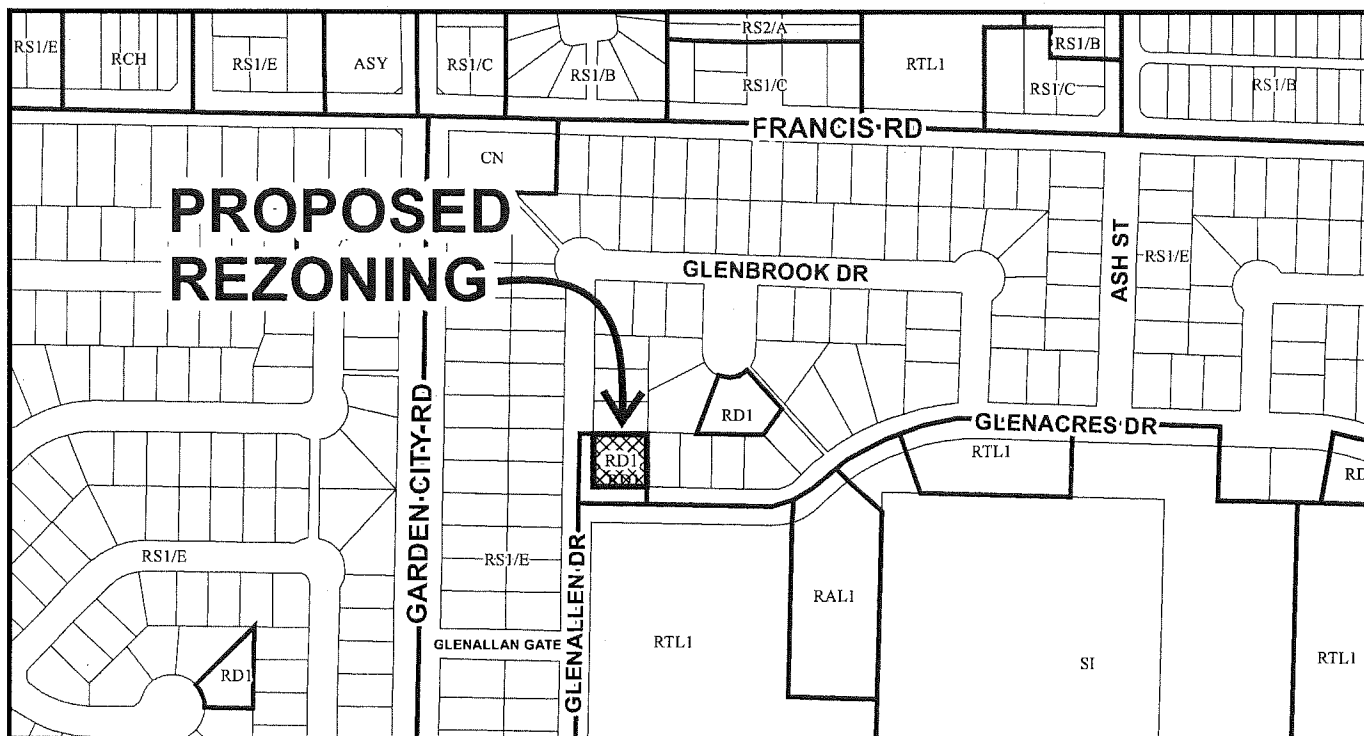
Jordan Rockerbie
Planning Technician
(604-276-4092)

JR:rg

Attachment 1: Location Map and Aerial Photo
Attachment 2: Proposed Subdivision Plan
Attachment 3: Development Application Data Sheet
Attachment 4: Broadmoor Land Use Map
Attachment 5: Conceptual Development Plans
Attachment 6: Tree Retention Plan
Attachment 7: Rezoning Considerations



City of Richmond



RZ 16-745791

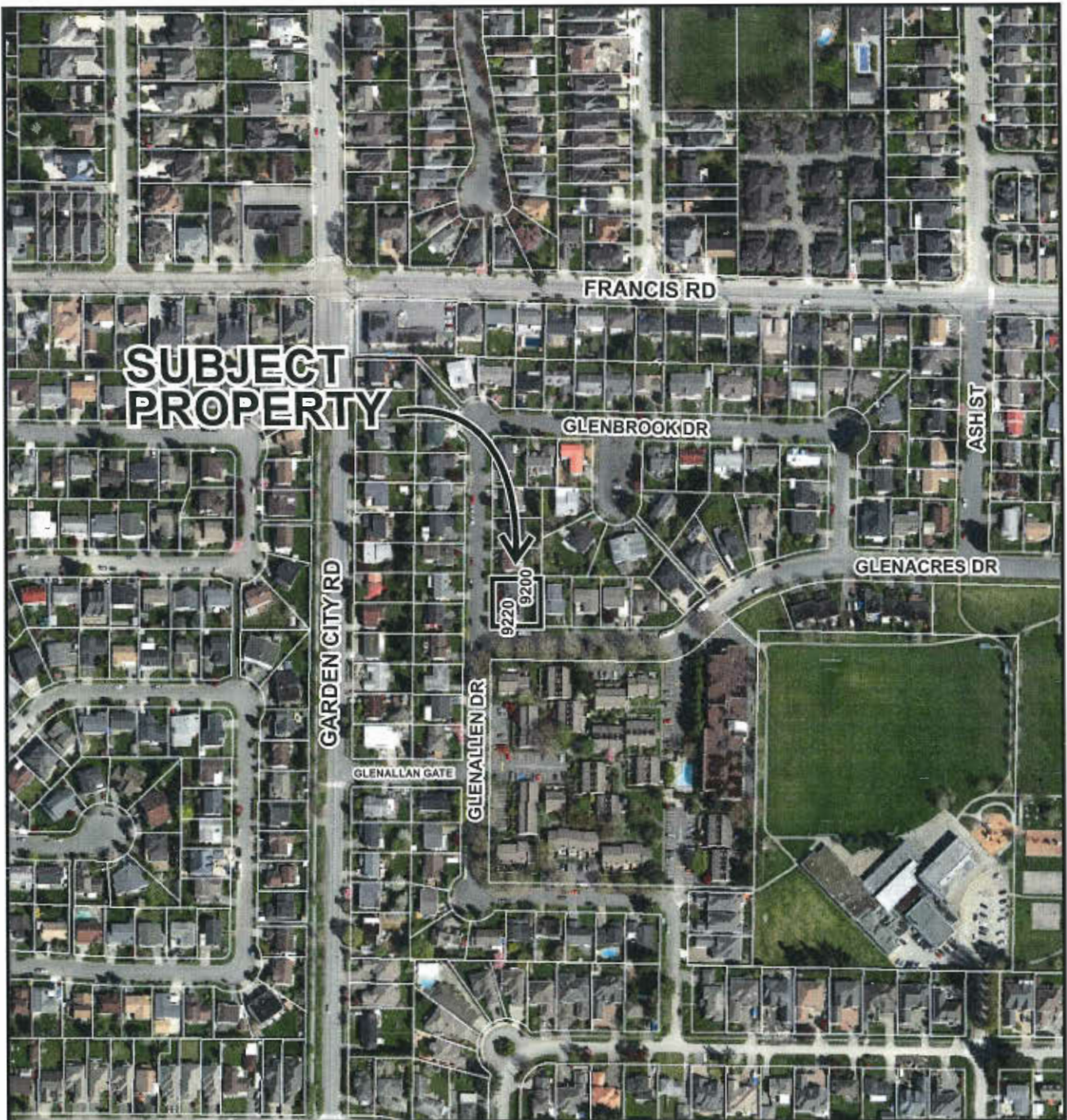
Original Date: 09/30/16

Revision Date:

Note: Dimensions are in METRES



City of
Richmond



RZ 16-745791

Original Date: 09/30/16

Revision Date:

Note: Dimensions are in METRES

PLN - 70

CADLAB

PROPOSED REZONING and SUBDIVISION

PROJECT DATA
 CURRENT ADDRESS: 9200, 9220 GLENALLAN DRIVE
 RICHMOND, B.C.

LEGAL DESCRIPTION:
 STRATA LOT 1 & LOT 2
 SECTION 27 BLOCK 4 NORTH RANGE 6 WEST
 NEW WESTMINSTER DISTRICT STRATA PLAN NWS390

ZONING:
 EXISTING: R01
 PROPOSED: RS2/G

LOT BEFORE SUBDIVISION
 WIDTH (NORTH) 99.95 ft (30.466 m)
 WIDTH (SOUTH) 99.92 ft (30.455 m)
 DEPTH (WEST) 96.00 ft (29.260 m)
 DEPTH (EAST) 96.01 ft (29.264 m)
 LOT AREA 9590.64 sq ft (881 sq m)

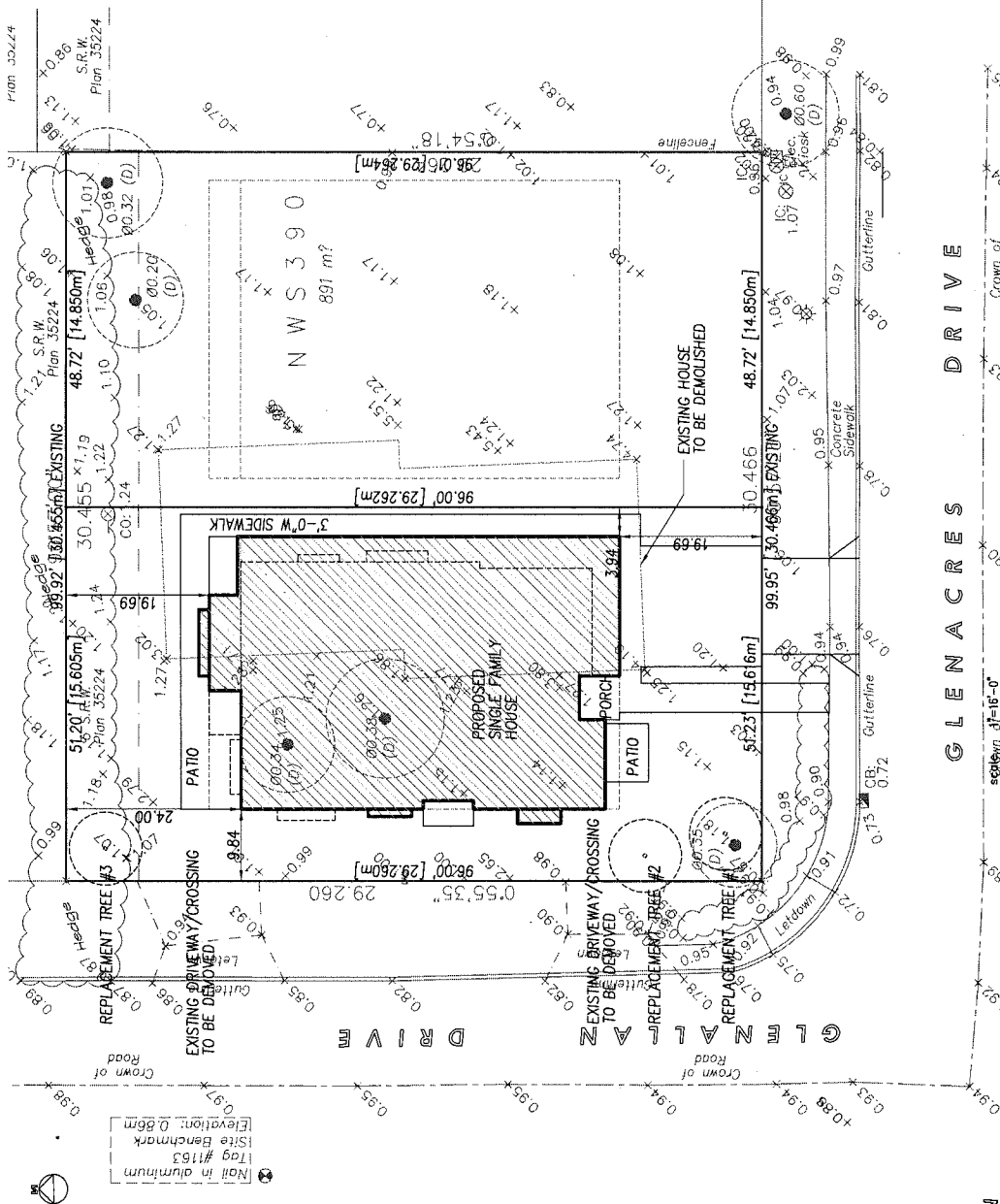
LOTS AFTER SUBDIVISION

WEST LOT
 WIDTH (NORTH) 51.20 ft (15.605 m)
 WIDTH (SOUTH) 51.23 ft (15.616 m)
 DEPTH (WEST) 96.00 ft (29.260 m)
 DEPTH (EAST) 96.00 ft (29.260 m)
 LOT AREA 4816.74 sq ft (446.78 sq m)

FLOOR SPACE RATIO
 MAX. ALLOWED: 2704.21 sq ft
 SITE COVERAGE: 2212.53 sq ft
 MAX. ALLOWED: 270.42 sq ft
 COVERED PORCHES & DECKS: 1229.18 sq ft
 LIVE PLANT AREA: 1229.18 sq ft
 MIN. REQUIRED:

EAST LOT
 WIDTH (NORTH) 48.72 ft (14.850 m)
 WIDTH (SOUTH) 48.72 ft (14.850 m)
 DEPTH (WEST) 96.00 ft (29.260 m)
 DEPTH (EAST) 96.01 ft (29.264 m)
 LOT AREA 4677.54 sq ft (434.56 sq m)

FLOOR SPACE RATIO
 MAX. ALLOWED: 2572.65 sq ft
 SITE COVERAGE: 2104.89 sq ft
 MAX. ALLOWED: 257.26 sq ft
 COVERED PORCHES & DECKS: 1169.38 sq ft
 LIVE PLANT AREA: 1169.38 sq ft
 MIN. REQUIRED:



SITE PLAN

9200 & 9220 GLENALLAN DRIVE, RICHMOND, B.C.
 PROPOSED REZONING AND SUBDIVISION

RZ1

Project no. H16221
 revision
 date 2017-08-29

PLN - 71



RZ 16-745791

Attachment 3

Address: 9200/9220 Glenallan Drive

Applicant: Timothy Tse

Planning Area(s): Broadmoor

	Existing	Proposed
Owner:	Ya Bin Chen	To be determined
Site Size (m²):	891.34 m ²	Lot A: 456.78 m ² Lot B: 434.56 m ²
Land Uses:	One duplex dwelling	Two single-family dwellings
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Two-Unit Dwellings (RD1)	Single Detached (RS2/C)

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.55 for lot area up to 464.5 m ² plus 0.3 for area in excess of 464.5 m ²	Max. 0.55 for lot area up to 464.5 m ² plus 0.3 for area in excess of 464.5 m ²	none permitted
Buildable Floor Area (m ²):*	Lot A: Max. 251.23 m ² (2,704 ft ²) Lot B: Max. 239.01 m ² (2,572 ft ²)	Lot A: Max. 251.23 m ² (2,704 ft ²) Lot B: Max. 239.01 m ² (2,572 ft ²)	none permitted
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 70%	Building: Max. 45% Non-porous Surfaces: Max. 70%	none
Lot Size:	Min. 360.0 m ²	Lot A: 456.78 m ² Lot B: 434.56 m ²	none
Lot Dimensions (m):	Lot A (Corner) Min. Width: 15.5 m Lot B Min. Width 13.5 m Min. Depth: 24.0 m	Lot A (Corner) Width: 15.6 m Lot B Width: 14.85 m Depth: 29.26 m	none
Setbacks (m):	Front: Min. 6.0 m Side: Min. 1.2 m Exterior Side: Min. 3.0 m Rear: Min. 20% of lot depth for up to 60% of principal dwelling, 25% of lot depth for remainder, up to 10.7 m	Front: Min. 6.0 m Side: Min. 1.2 m Exterior Side: Min. 3.0 m Rear: Min. 6.0 m for up to 60% of principal dwelling, 7.3 m for remainder	none
Height (m):	Max. 9.0 m	Max. 9.0 m	none

Other: Tree replacement compensation required for loss of significant trees.

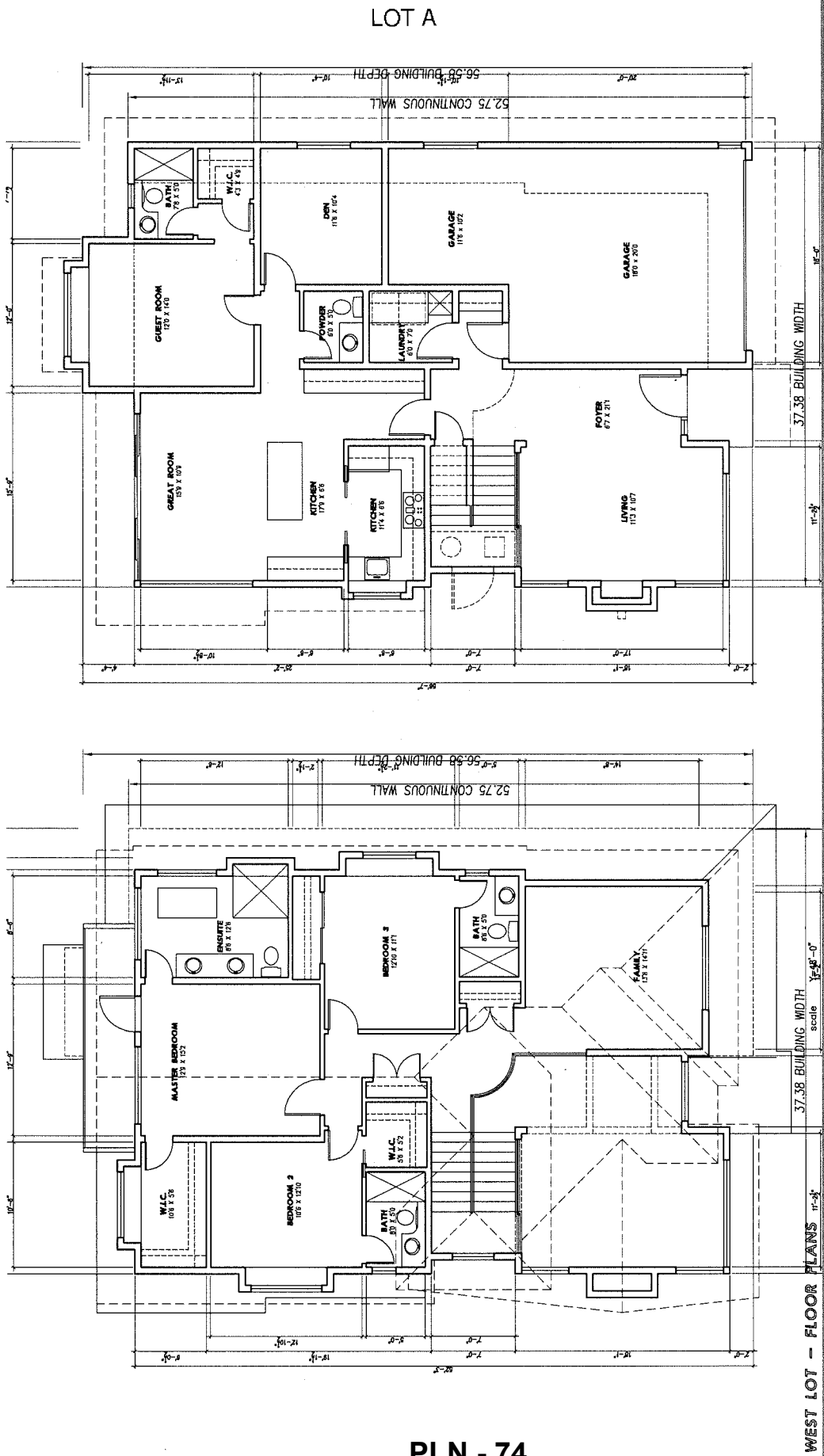
* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



6. Broadmoor



CADLAB



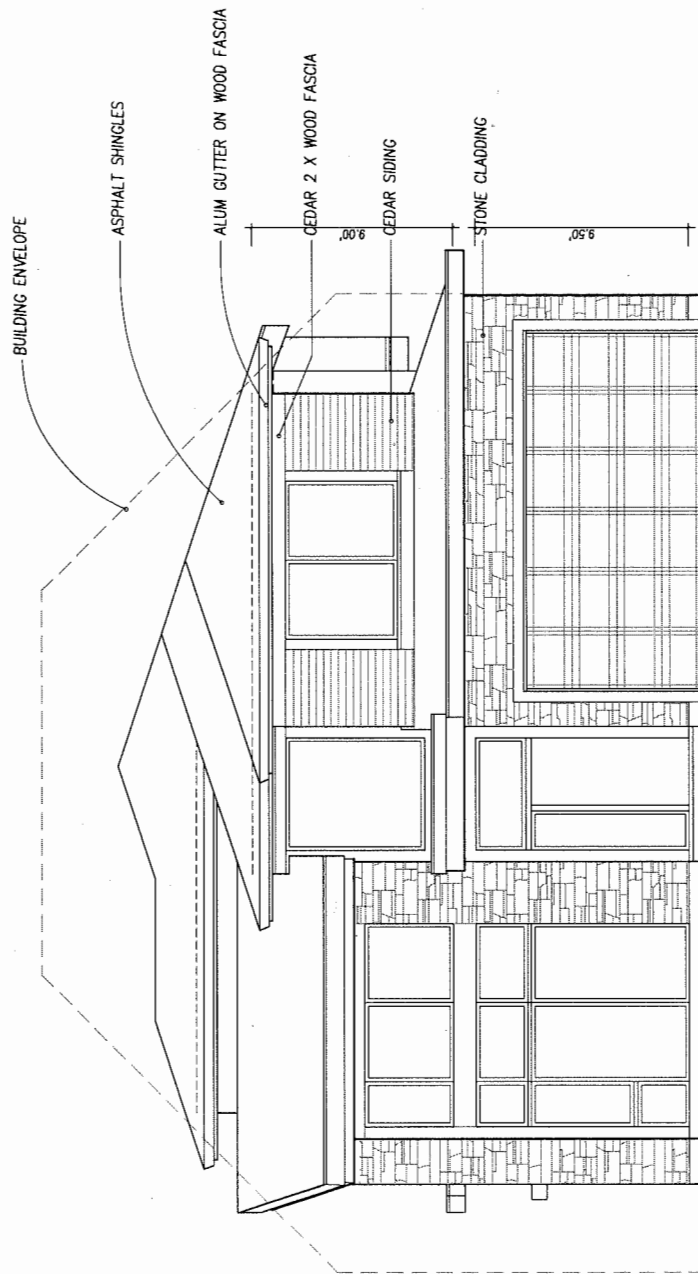
PLN - 74

WEST LOT - FLOOR PLANS 11'-3" 37.38 BUILDING WIDTH 11'-3" scale 1/8"=1'-0"

9200 & 9220 GLENALLAN DRIVE, RICHMOND, B.C.
PROPOSED REZONING AND SUBDIVISION

RZ2

project no. H162T
revision
date 2017-08-29



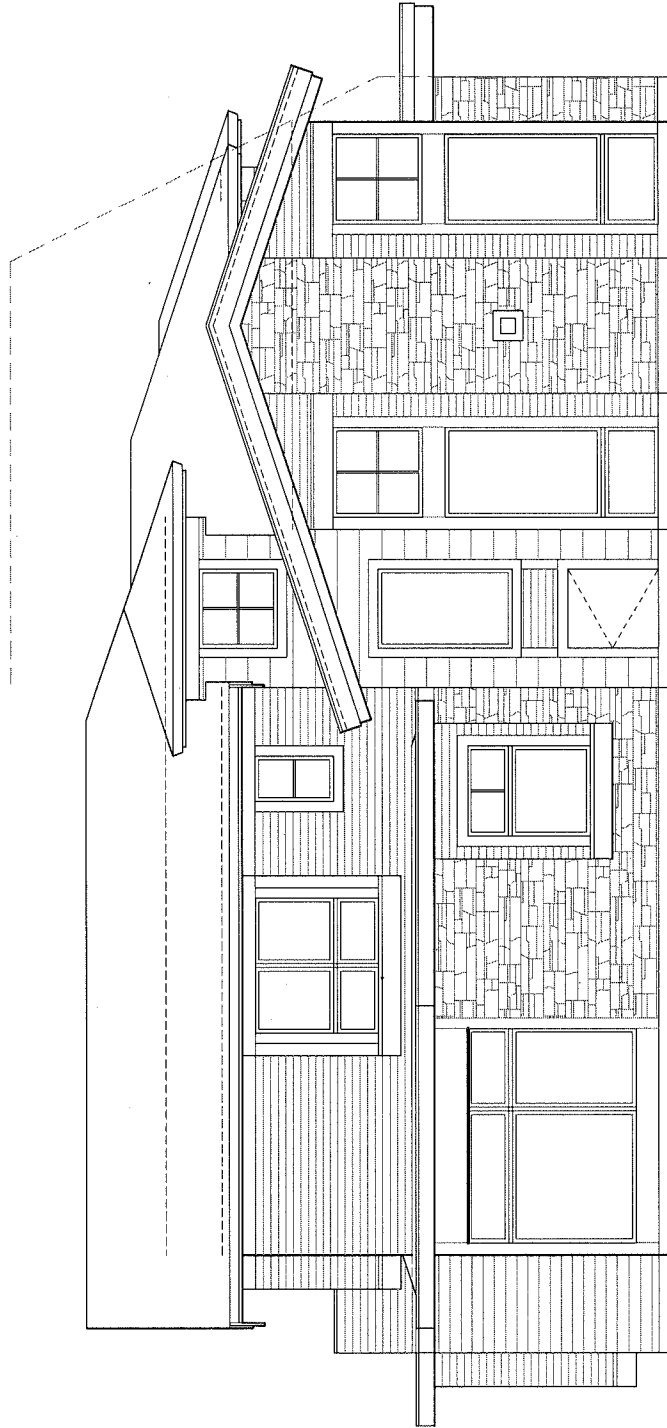
PLN - 75

WEST LOT - SOUTH ELEV. (GLENACRES DRIVE) scale 3/16"=1'-0"

9200 & 9220 GLENALLAN DRIVE, RICHMOND, B.C.
PROPOSED REZONING AND SUBDIVISION

PROJECT NO. H16221
RZ3
REVISION b
DATE 2017-06-28

CADLAB



PLN - 76

WEST LOT - WEST ELEV. (GLENALLAN DRIVE) scale 3/16"=1'-0"

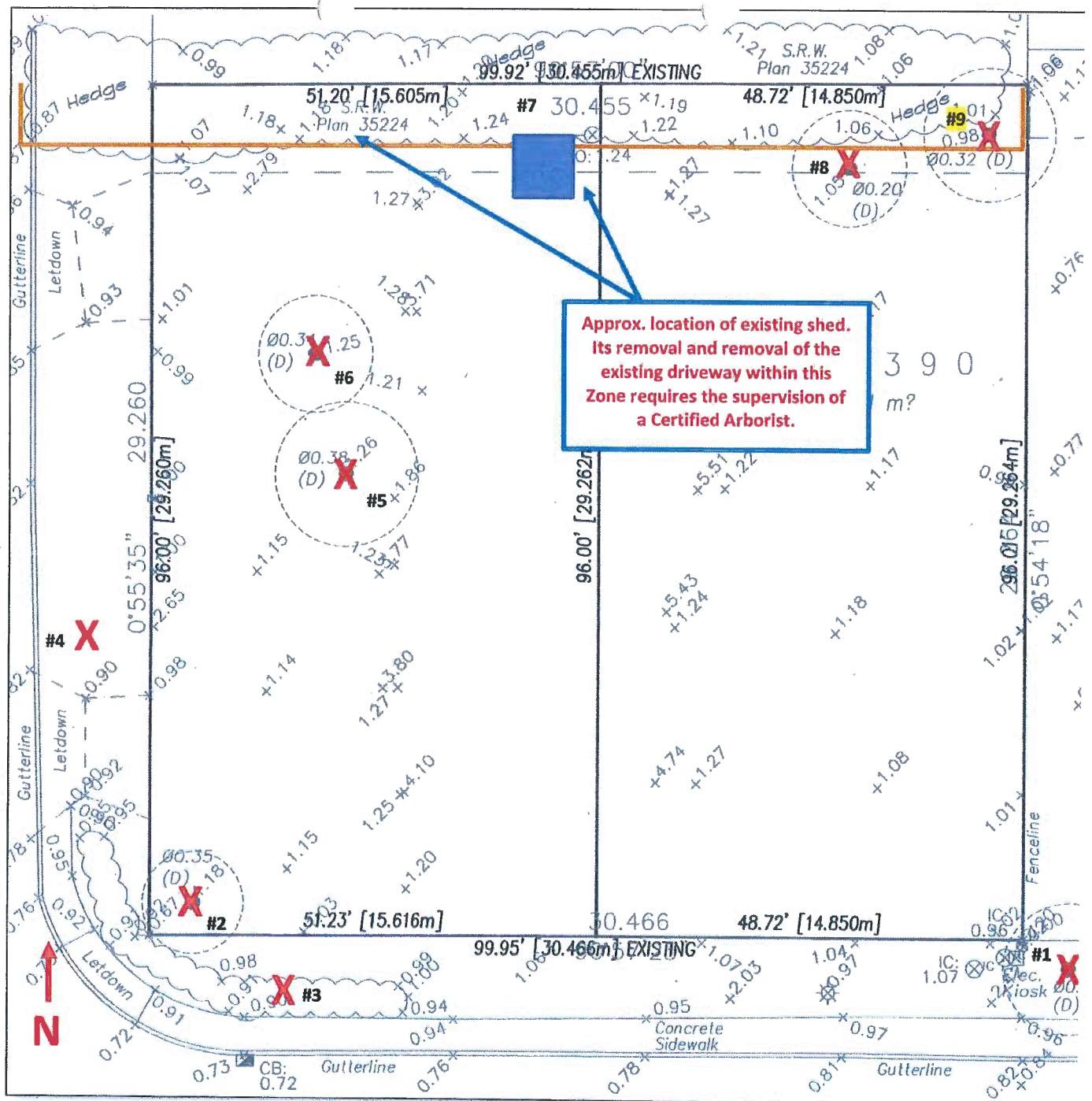
9200 & 9220 GLENALLAN DRIVE, RICHMOND, B.C.
PROPOSED REZONING AND SUBDIVISION

project no. H1627

RZ4

revision
date 2017-08-29

CADLAB



Preliminary Tree Retention & Removal Plan, Scale 1/16" = 1'

TREE #	TREE SPECIES (Botanical name)	DBH (cm)	SPREAD (ft.) Radius
1	Birch (<i>Betula sp.</i>)	60 per survey	6.5'
2	Crabapple (<i>Malus sp.</i>)	93 combined (25+21+17+15+15)	5'
3	Cedar (<i>Thuja occidentalis</i>)	-	2'
4	Cedar (<i>Thuja occidentalis</i>)	-	2'
5	Portuguese Laurel (<i>Prunus lusitanica</i>)	38 per survey	7.5'

TREE #	TREE SPECIES (Botanical name)	DBH (cm)	SPREAD (ft.) Radius
6	Beech (<i>Fagus sp.</i>)	46	6'
7	Cedar (<i>Thuja occidentalis</i>)	-	6'
	Cedar (<i>Thuja plicata</i>)	-	12'
8	Walnut (<i>Juglans sp.</i>)	-	-
9	Cherry (<i>Prunus sp.</i>)	25 combined (27+18)	6.5'



Address: 9200/9220 Glenallan Drive

File No.: RZ 16-745791

Prior to final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9758, the developer is required to complete the following:

1. Submission of a Landscape Security in the amount of \$1,500 (\$500/tree) to ensure that a total of three replacement trees are planted and maintained on Proposed Lot B. The required replacement trees are to be of the following minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057.

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	Minimum Height of Coniferous Tree
1	8 cm	4 m
2	9 cm	5 m

2. Submission of a Landscape Plan for Proposed Lot A, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, and deposit of a Landscaping Security based on 100% of the cost estimate provided by the Landscape Architect, including installation costs. The Landscape Plan should:
 - comply with the landscaping requirements contained in Richmond Zoning Bylaw 8500;
 - include a mix of coniferous and deciduous trees;
 - include the dimensions of tree protection fencing as illustrated on the Tree Retention Plan attached to this report; and
 - include the three required replacement trees with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	Minimum Height of Coniferous Tree
1	8 cm	4 m
2	9 cm	5 m

If required replacement trees cannot be accommodated on-site, a cash-in-lieu contribution in the amount of \$500/tree to the City's Tree Compensation Fund for off-site planting is required.

3. City acceptance of the developer's offer to voluntarily contribute \$3,300 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
4. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
5. Registration of a flood indemnity covenant on title.
6. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on one of the two future lots, to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.
7. The City's acceptance of the applicant's voluntary contribution of \$2.00 per buildable square foot of the single-family development on proposed Lot B (i.e. \$5,408.41) to the City's Affordable Housing Reserve Fund.
8. Discharge of covenant BE77341 from Title, which restricts the property to a duplex only.
9. Cancellation of the existing Strata Plan NWS 390.
10. Discharge of Statutory Right-of-Way D65286 from Title, which does not apply to the property.
11. Registration of a legal agreement on Title, to ensure that the Building Permit application and ensuing development at the site is generally consistent with the preliminary conceptual plans included in Attachment 5 to the staff report.

Prior to Demolition Permit* Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

At Subdivision* stage, the developer must complete the following requirements:

1. Payment of the current year's taxes, School Site Acquisition Charge, and Address Assignment Fees.
2. Completion of the following servicing works and off-site improvements. These may be completed through a Servicing Agreement* or a City work order:

Water Works:

- Using the OCP Model, there is 137L/s of water available at a 20 psi residual at the corner of Glenallan Drive and Glenbrook Drive, and 246 L/s of water available at a 20 psi residual at the Glenacres Drive frontage. Based on the proposed development, the site requires a minimum fire flow of 95 L/s.
- The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
- At Developer's cost, the City is to:
 - Install one new 25 mm water service connection, complete with meter and meter box, off of the existing 200 mm PVC water main on Glenacres Drive frontage for the east side lot.
 - Disconnect existing 20 mm water connection along Glenallan Drive and install another 25 mm water connection with meter assembly off of the existing 200 mm PVC main on Glenacres Drive frontage for the west side lot.
 - Both newly installed water meters shall be placed at the boulevard alongside the south property line.
 - Perform all water main tie-ins.
 - If AC water main on west property line is damaged by removal of existing tree, replacement of impacted water main shall be at developer's cost.

Storm Sewer Works:

- At Developer's cost, the City is to:
 - Cut and cap the northwestern service connection at inspection chamber along the frontage of Glenallan Drive.
 - Install a new storm service connection, complete with inspection chamber and dual service leads, at the adjoining property line of the newly subdivided lots off of the existing 300 mm main on Glenacres Drive.

Sanitary Sewer Works:

- The Developer is required to:
 - Not start onsite excavation and/or foundation works until the City has completed the proposed rear yard sanitary connections. Also indicate this as a note on the site plan and sanitary service connection design plans.

- At Developer's cost, the City is to:
 - Remove existing sanitary inspection chamber & cap existing lead at the north property line.
 - Install a new sanitary service connection complete with inspection chamber and dual service leads, at the adjoining property line of the new subdivided lots off of the existing 200 mm sanitary main along the north property line.
 - Shallow sanitary main exists along the north property line of the proposed site. If existing trees located to the north of the property (within the SRW) were to be removed, a video inspection to confirm the current condition of the existing sanitary pipe shall be provided prior to tree removals. After trees have been removed, another video inspection shall be provided to confirm whether the existing sanitary pipe has been impacted by the tree removals.

Frontage Improvements:

- The Developer is required to:
 - Coordinate with BC Hydro, Telus and other private communication service providers to determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These shall be located onsite.
 - Construct the following frontage improvements:
 - Removal of the two driveway letdowns to Glenallan Drive, and replacement with concrete curb and gutter.
 - Install two new driveway letdowns to Glenacres Drive.
 - Install 1.5 m wide concrete sidewalk and landscaped boulevard on the Glenallan Drive frontage.
 - Removal and replacement of existing concrete sidewalk panels as required.

General Items:

- The Developer is required to:
 - Prior to placement of preload (if required), provide a geotechnical assessment indicating possible impacts to the existing AC watermain along the west property line and existing AC sanitary main along the north property line and provide mitigation recommendations to address impacts.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



**Richmond Zoning Bylaw 8500
Amendment Bylaw 9758 (RZ 16-745791)
9200/9220 Glenallan Drive**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **"SINGLE DETACHED (RS2/C)"**

P.I.D. 001-318-861

Strata Lot 1 Section 27 Block 4 North Range 6 West New Westminster District Strata Plan NW390 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as shown on Form 1

P.I.D. 001-318-870

Strata Lot 2 Section 27 Block 4 North Range 6 West New Westminster District Strata Plan NW390 Together with an Interest in the Common Property in Proportion to the Unit Entitlement of the Strata Lot as shown on Form 1.

2. This Bylaw may be cited as **"Richmond Zoning Bylaw 8500, Amendment Bylaw 9758"**.

FIRST READING


A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER CONDITIONS SATISFIED

ADOPTED

CITY OF RICHMOND
APPROVED by 
APPROVED by Director or Solicitor 

MAYOR

CORPORATE OFFICER




To: Planning Committee
From: Wayne Craig
Director, Development

Date: August 16, 2017
File: 08-4430-03-11/2017-Vol 01

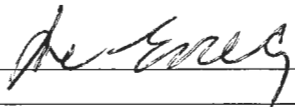

Re: **Establishment of Underlying Zoning for Properties Developed Under Land Use Contracts 039, 040, 064, 079 and 126 in the north portion of the City Centre**

Staff Recommendation

1. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9744, to establish underlying zoning for the property developed under Land Use Contract 039, be introduced and given first reading;
2. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9745, to establish underlying zoning for the property developed under Land Use Contract 040, be introduced and given first reading;
3. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9746, to establish underlying zoning for the property developed under Land Use Contract 064, be introduced and given first reading;
4. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9747, to establish underlying zoning for the property developed under Land Use Contract 079, be introduced and given first reading; and
5. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9748, to establish underlying zoning for five properties developed under Land Use Contract 126, be introduced and given first reading.


Wayne Craig
Director, Development
(604-247-4625)

CL/JH:blg
Att. 4

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Law	<input checked="" type="checkbox"/>	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS: CJ	APPROVED BY CAO (DEPUTY). 

Staff Report

Origin

In 2014, the Provincial Government amended the *Local Government Act* to require municipalities to adopt underlying zoning bylaws for all LUC properties by June 30, 2022, and to provide for the termination of all LUCs on June 30, 2024. The amending legislation also established an optional process to enable municipalities, by bylaw, to undertake early termination of LUCs and provided expanded authority to Boards of Variance to hear appeals and grant time extensions to existing property owners for reasons of hardship.

On November 24, 2015, Richmond City Council adopted a set of bylaws that established underlying zoning for 93 separate LUCs that included single-family properties, as well as adopted bylaws to terminate these LUCs effective one year from the date of adoption (i.e., November 24, 2016). Because the remaining 46 LUCs on properties that include multi-family, commercial, industrial, and agricultural land uses are not subject to the same redevelopment pressures as that of the LUCs that included single-family properties, the remaining LUCs were to be dealt with separately at a later date.

There are currently 46 remaining LUCs still in effect on a total of 95 properties in the city (including 3,078 units) containing multi-family, commercial, industrial, and agricultural uses, which were not subject to the underlying zoning bylaws and early termination bylaws adopted on November 24, 2015 (Attachment 1).

Consistent with the *Local Government Act*, City Council will have to consider bylaws to establish underlying zoning for the properties developed under the remaining LUCs. This involves the standard bylaw reading and adoption process, and includes holding a Public Hearing for all bylaws.

This report brings forward underlying zoning bylaws for five out of the 46 remaining LUCs (LUCs 039, 040, 064, 079 and 126). The proposed bylaws are applicable to nine commercial/industrial properties in the north portion of City Centre at 8520 Cambie Road, 4940 and 3791 No. 3 Road, 8191 Alderbridge Way, 8260, 8280, 8300, 8380 Bridgeport Road, and a portion of 8211 Sea Island Way (Attachment 2). Subsequent underlying zoning bylaws for the remaining 41 LUCs will be brought forward separately for consideration on the basis of their geographic area, as illustrated in Attachment 3 (i.e., the south portion of City Centre, Seafair/Blundell, Broadmoor, Steveston, and East Richmond).

Unlike the approach used for the 93 LUCs that included single-family properties, no early termination bylaws are proposed to be brought forward for the remaining LUCs. Essentially, the existing remaining LUCs will remain effective and continue to govern the use and development of the affected properties until their termination date of June 30, 2024, at which time the underlying zoning will take effect.

This report supports Council's 2014-2018 Term Goal # 3 – A Well-Planned Community:

Adhere to effective planning and growth management practices to maintain and enhance the livability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.

3.1 Growth and development that reflects the Official Community Plan (OCP) and related policies and bylaws

This report and the proposed bylaws are also consistent with policies from the 2041 Official Community Plan (OCP), which support exploring alternatives to Land Use Contracts to achieve better land use management over time.

Findings of Fact

A Land Use Contract (LUC) is a contract between a property owner (typically a developer) and a municipality addressing the use and development rights of a property. The LUC regulations are similar to zoning, with the exception that the LUC is registered on the Title of the property and, until recently, agreement from both the property owner and municipality was required to amend or discharge the contract.

The provincial legislation enabling LUCs was in effect for a short period of time between 1973 and 1979 and allowed the ability to create tailor-made development contracts for specific sites. LUCs were also used to control the form and character of buildings and landscaping of sites and, in some cases, included detailed servicing requirements. Typically, the same LUC was registered by a developer against all the properties in a particular subdivision, thereby creating consistent use and development rights for those properties. Unless discharged, LUCs registered during such period remain in place today governing the use and development rights of the affected properties.

LUCs typically include limited development restrictions compared to today's standards. Any reference to a zoning bylaw within a LUC is specific to the zoning bylaw in place at the date of contract execution. Since LUCs are registered on Title and can only be amended or discharged with the property owner's consent, the result is that LUCs have not evolved over time as land use considerations have changed. Properties under the current Richmond Zoning Bylaw 8500 have had multiple amendments over time to address various land issues such as building interface, landscaping, sustainability and overall building form.

Analysis

Staff propose a set of bylaws that introduce underlying zoning for the nine properties developed under LUCs 039, 040, 064, 079 and 126 in the north portion of the City Centre, which are identified in the table below:

LUC #	No. of Properties	Address	No. of Units (Strata & Non-Strata)
039	1	8520 Cambie Road	N/A
040	1	4940 No. 3 Road	48
064	1	3791 No. 3 Road	N/A
079	1	8191 Alderbridge Way	N/A
126	5	8260 Bridgeport Road	N/A
		8280 Bridgeport Road	N/A
		8300 Bridgeport Road	N/A
		8380 Bridgeport Road	N/A
		8211 Sea Island Way	3

There are an additional six properties at 8320, 8340, 8360, 8440 Bridgeport Road, and 8311, 8351 Sea Island Way that were also developed under LUC 126, which are not included in the proposed underlying zoning bylaws as they are currently the subject of a separate LUC discharge and rezoning application which was considered at the July 17, 2017 Public Hearing and the associated zoning amendment bylaw granted third reading (RZ 13-628557). If the rezoning bylaw is not adopted, City staff will bring forward a separate report and zoning amendment bylaw to establish underlying zoning for these properties.

Attachment 4 contains a series of summary tables that provide a comparison of the regulations under each of the five LUCs with those of the proposed underlying zone, and includes a map of each LUC. The summary tables in Attachment 4 are for reference purposes only and should not be interpreted as the actual LUC.

In developing the underlying zoning for the nine subject properties, staff considered the specific provisions in each individual LUC, as well as the existing zoning of adjacent properties within the immediate surrounding area. With the exception of one site under LUC 126, staff were not able to use existing commercial and industrial zones in Richmond Zoning Bylaw 8500 to develop the underlying zoning bylaws for the properties due to the very specific provisions contained in these particular LUCs.

The property at 8211 Sea Island Way is under two zones: the “Auto-Oriented Commercial (CA)” zone, and LUC 126. Since the current use of the land that is under LUC 126 is that of a vehicle lane only, staff propose the CA zone as the underlying zoning for that portion of the property to bring the entire property under the CA zone.

For the remaining properties under LUC 039, 040, 064, 079, and 126, staff propose five new site-specific zones. The proposed site-specific zones combine both the specific provisions from each LUC as well as certain provisions contained within Richmond Zoning Bylaw 8500 for aspects not anticipated by the LUC. This enables the underlying zoning bylaws to mirror what is contained in the LUCs without granting additional permitted land uses while allowing some flexibility after LUCs expire on June 30, 2024 for landowners to make minor changes to their properties that would be in character with what is permitted on lots within the surrounding neighbourhood.

The five new site-specific zones are described below.

- *Commercial Storage (ZI13) – Cambie Road (City Centre)*, (Bylaw No. 9744), is proposed for the portion of the property developed under LUC 039 at the north end of 8520 Cambie Road, which currently contains a one-storey public storage facility.
- *Auto-Oriented Commercial (ZC40) – No. 3 Road (City Centre)*, (Bylaw No. 9745), is proposed for the property developed under LUC 040 at 4940 No. 3 Road, which currently contains a three-storey building with commercial retail uses at grade and office uses in the upper floors.
- *Vehicle Sales Commercial (ZC41) – No. 3 Road (City Centre)*, (Bylaw No. 9746), is proposed for the property developed under LUC 064 at 3791 No. 3 Road, which currently contains a one-storey building that is part of the vehicle sales operation on the neighbouring site at 3771 No. 3 Road.
- *Restaurant Commercial (ZC42) – Alderbridge Way (City Centre)*, (Bylaw No. 9747), is proposed for the property developed under LUC 079 at 8191 Alderbridge Way, which currently contains a two-storey McDonald's restaurant and drive-through.
- *Commercial (ZC43) – Bridgeport Road (City Centre)*, (Bylaw No. 9748), is proposed for four of the properties developed under LUC 126 at 8260, 8280, 8300, 8380 Bridgeport Road, which currently contain vehicle parking and storage, and a restaurant.

Where there are inconsistencies between the provisions of the proposed underlying zones and what actually exists on the subject properties, any use and development of the land that was lawful under the LUC will be protected in accordance with the provisions for non-conforming uses and buildings under the *Local Government Act* after the LUCs expire on June 30, 2024.

Ministry of Transportation and Infrastructure (MOTI) Approval

As seven of the subject properties under LUC 039, 064, and 126 are located within 800m of an intersection of a Provincial Limited Access Highway and a City road, three of the proposed underlying zoning bylaws (Bylaws 9744, 9746, and 9748) have been referred to MOTI for preliminary approval. Final approval from MOTI is required prior to final adoption of the underlying zoning bylaws.

Public Consultation and Public Hearing

Since the existing remaining LUCs will remain effective and will continue to govern the use and development of the affected properties until their termination date of June 30, 2024, at which time the proposed underlying zoning will be in place, it is anticipated that the proposed approach will not generate a significant amount of public interest. Therefore the standard bylaw adoption and public consultation processes are proposed. This approach is also proposed for the underlying zoning bylaws that are subsequently to be brought forward for the remaining 41 LUCs on the basis of their geographic area.

The standard bylaw adoption and public consultation process involves the underlying zoning bylaws being considered at a Planning Committee meeting, bylaw readings by City Council, the publication of the statutory Public Hearing Notice and newspaper ads, and includes the holding of a regular Public Hearing in the Council Chambers. This approach does not require additional financial or human resources beyond that of the standard rezoning and public hearing processes.

Prior to each Public Hearing at which underlying zoning bylaws are to be considered, a press release will be issued to publicize Council's decision to establish underlying zoning bylaws for the affected properties and to direct further inquiries to the City's LUC webpage, and to the general LUC inquiry email address and phone number. Staff will also send a letter to each of the affected property owners, which will contain information that is specific to the proposed underlying zoning for their respective property.

Following each Public Hearing, Council may consider adoption of those underlying zoning bylaws that do not require MOTI approval. For those bylaws that do require MOTI approval Council may consider bylaw adoption at a subsequent Council meeting after MOTI approval has been granted.

Following adoption of the underlying zoning bylaws, the existing LUCs on the affected properties will remain effective until June 30, 2024, after which time the underlying zoning bylaws will be in place to govern the use and development of the properties.

Financial Impact

As mentioned in the previous section, the consideration of the proposed Bylaws 9744 through 9748 by the Planning Committee, City Council, and at a regular Public Hearing in the Council Chambers will not require additional financial or human resources beyond that of the standard rezoning and public hearing processes.

Conclusion

Consistent with the *Local Government Act*, City Council will have to consider bylaws to establish underlying zoning for the properties developed under the remaining 46 LUCs in the city prior to June 30, 2022.

Staff propose to bring forward the underlying zoning bylaws for the remaining LUCs as separate items on the basis of their geographic area for consideration by Planning Committee, City Council, and at regular Public Hearings in the Council Chambers.

This report brings forward five underlying zoning bylaws for nine commercial/industrial properties developed under Land Use Contracts 039, 040, 064, 079 and 126 in the north portion of the City Centre area (i.e., 8520 Cambie Rd, 4940 and 3791 No. 3 Road, 8191 Alderbridge Way, 8260, 8280, 8300, 83380 Bridgeport Road, and 8211 Sea Island Way).

Staff recommends that Richmond Zoning Bylaw 8500, Amendment Bylaws 9744, 9745, 9746, 9747, and 9748, be introduced and given first reading.



Cynthia Lussier
Planner 1
(604-276-4108)



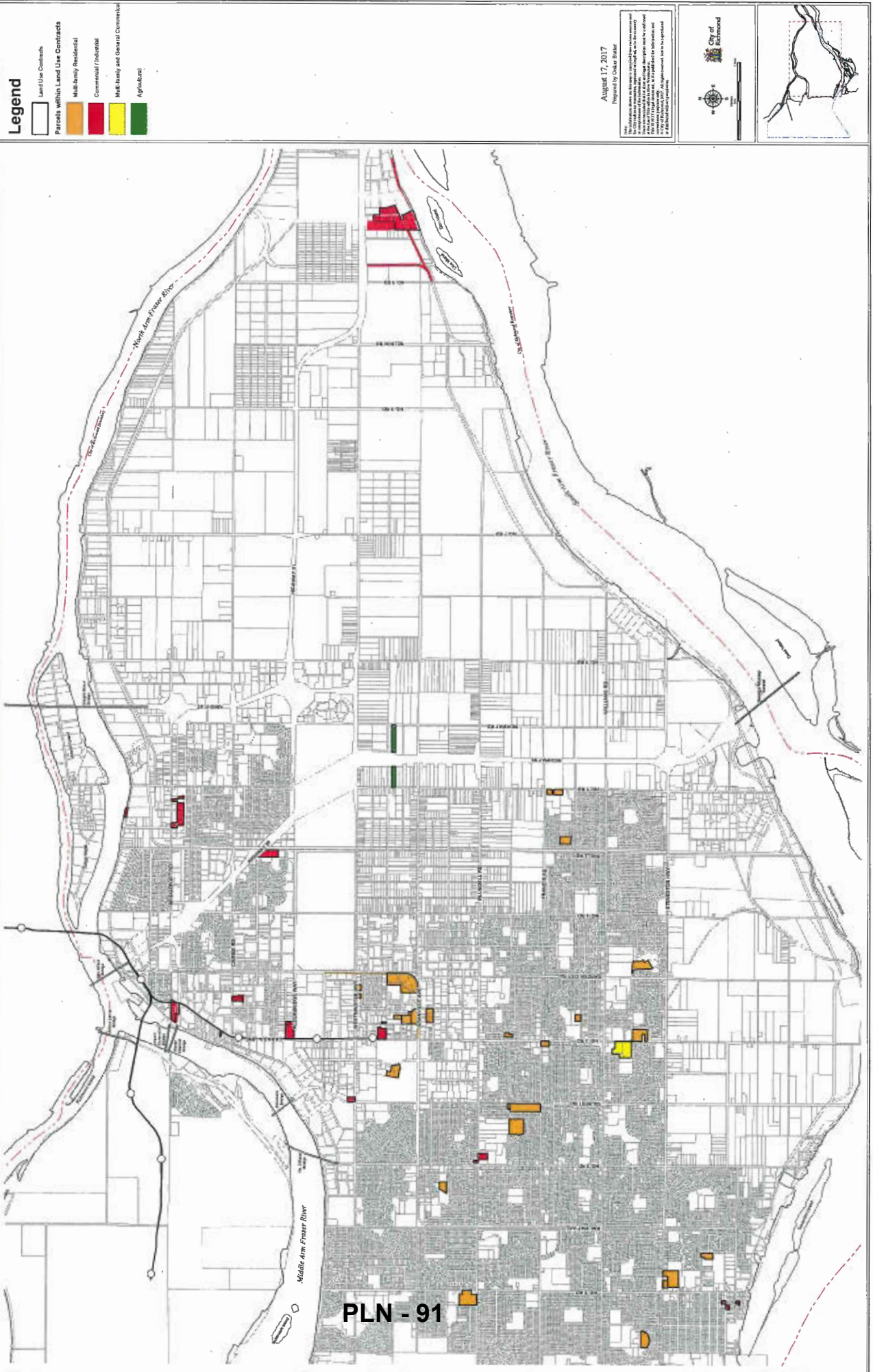
John Hopkins, MCIP, RPP
Senior Planner
(604-276-4279)

CL/JH:blg

Attachments:

- Attachment 1: Map of Remaining Land Use Contracts
- Attachment 2: Land Use Contracts in City Centre (North)
- Attachment 3: Land Use Contracts by Geographic Area
- Attachment 4: Land Use Contract Summary and Comparison Tables

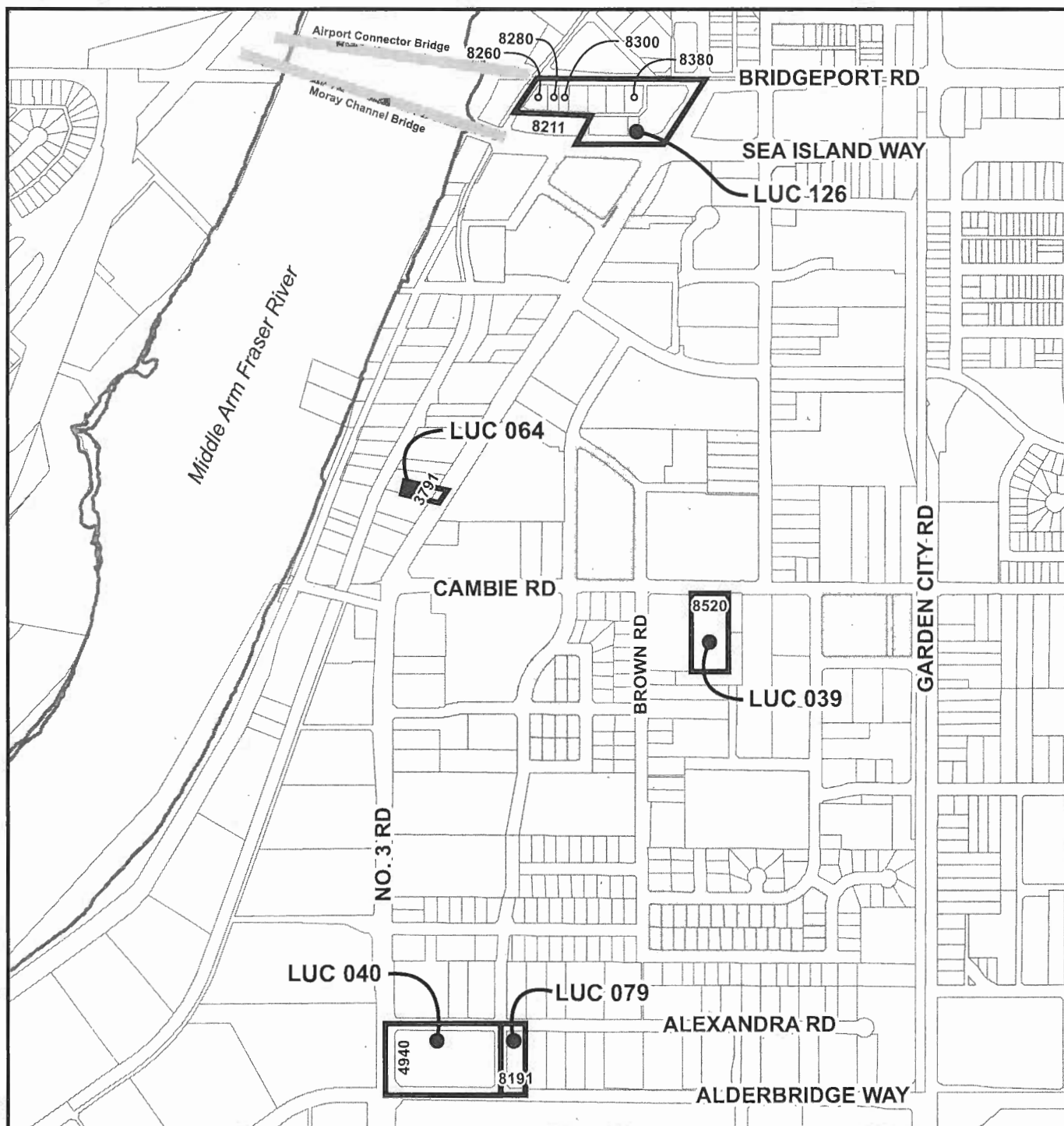
Remaining Land Use Contracts





City of Richmond

ATTACHMENT 2



Land Use Contracts (LUC) in City Centre (North)

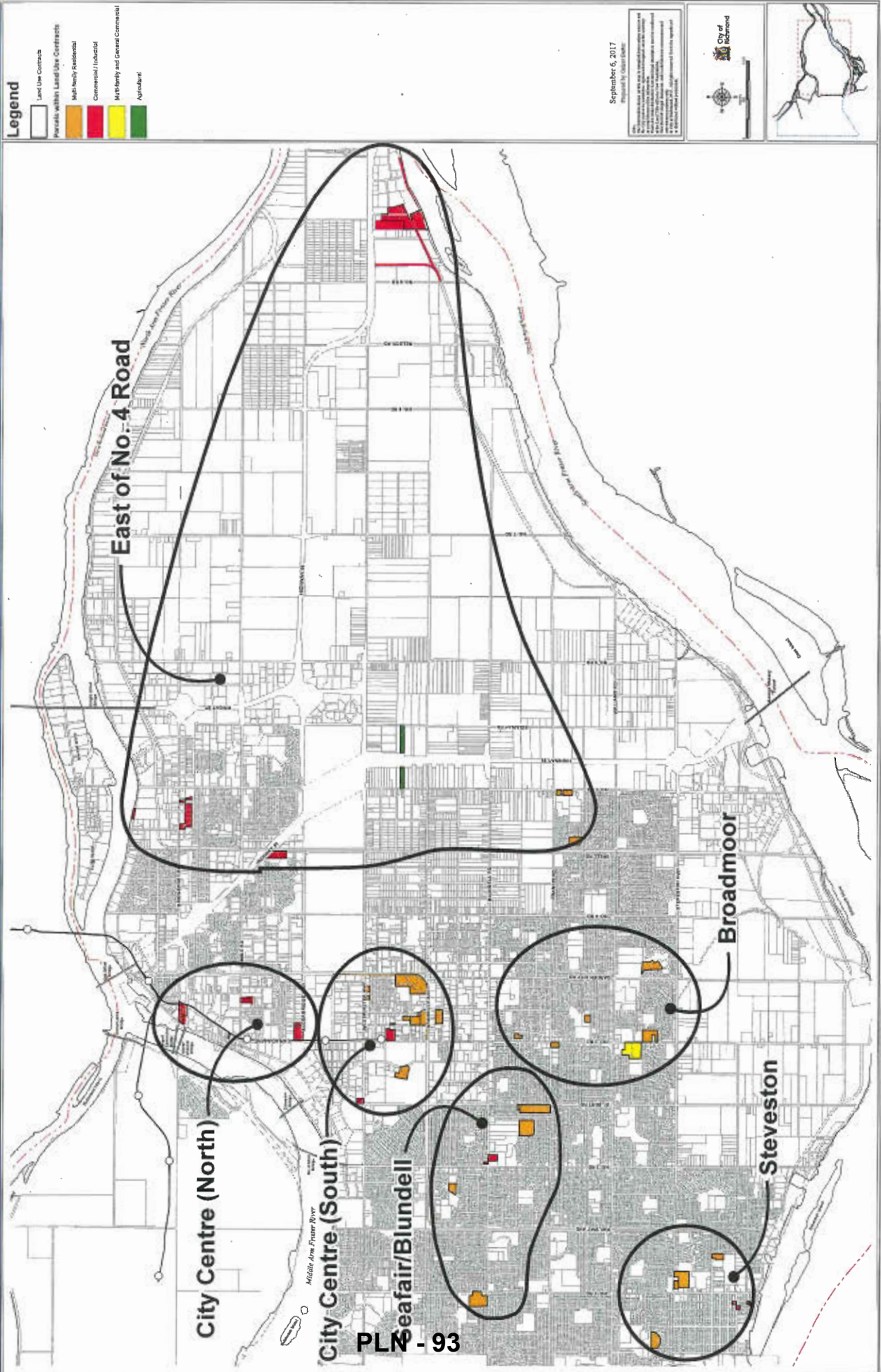
PLN - 92

Original Date: 08/24/17

Revision Date: 00/00/00

Note: Dimensions are in METRES

Remaining LUCs by Geographic Area



Attachment 4

Land Use Contract Summary & Comparison Tables

LUC 039

LUC 040

LUC 064

LUC 079

LUC 126

LAND USE CONTRACT SUMMARY & COMPARISON TABLES

Land Use Contract 039

Permitted Uses: Commercial storage and a secondary residential security/operator unit

Number of properties: 1

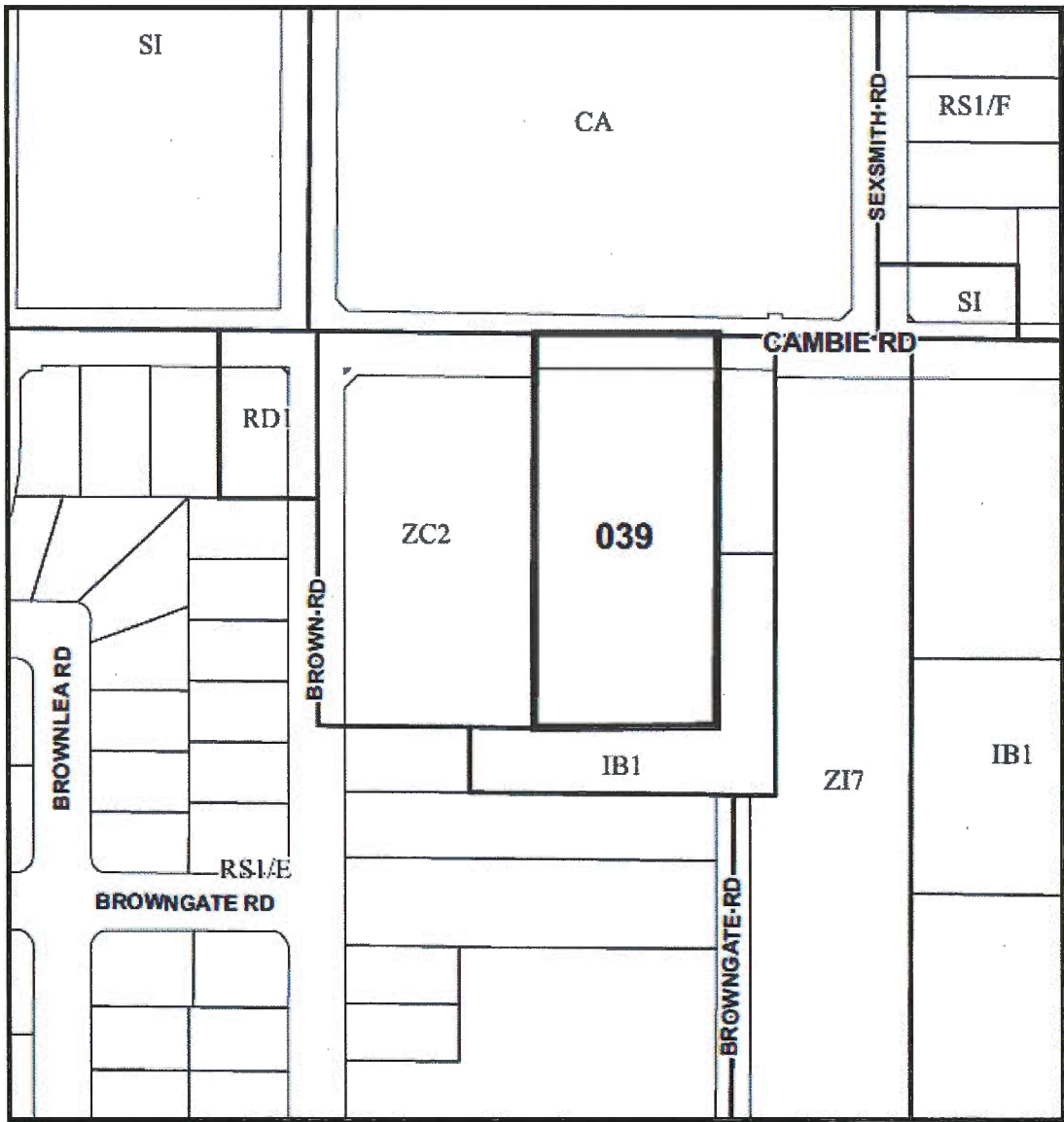
Proposed Zone: Commercial Storage (ZI13) – Cambie Road (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 039	ZI13
FAR (max)	N/A	<ul style="list-style-type: none">The maximum permitted floor area is 3,800 m²;0.48 FAR
Lot Coverage (max)	As per drawings (approx. 48%)	48%
Front Yard Setback (min)	As per drawings	7.0 m
Interior Side Yard Setback (min)	As per drawings	6.0 m
Rear Yard Setback (min)	As per drawings	7.0 m
Building Height (max)	As per drawings (1 storey)	<ul style="list-style-type: none">1 storey;5.0 m.

Disclaimer: This summary is provided for general public information only and does not form a representation by the City. Any person making a land use, building construction or financial decision should obtain independent advice regarding all applicable regulations.

LAND USE CONTRACT SUMMARY & COMPARISON TABLES



Land Use Contract 039

LAND USE CONTRACT SUMMARY & COMPARISON TABLES

Land Use Contract 040

Permitted Uses:

- contractor service
- education commercial
- entertainment, spectator
- government service
- health service, minor
- hotel
- manufacturing, custom indoor
- office
- private club
- recreation, indoor
- restaurant
- retail, convenience
- retail, general
- service, business support
- service, financial
- service, household repair
- service, personal
- transportation depot
- veterinary service

Number of properties: 1

Proposed Zones: Auto-Oriented Commercial (ZC40) – No. 3 Road (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 040	ZC40
FAR (max)	N/A Note: a maximum gross floor area of 4,190 m ² was specified for the first storey, and a maximum gross floor area of 4,576 m ² was specified for the 2 nd and 3 rd storeys combined.	<ul style="list-style-type: none"> • The maximum permitted floor area is 4,190 m² on the first storey, and 4,576 m² for the 2nd and 3rd storeys combined; • 0.60 FAR.
Lot Coverage (max)	As per drawings (approx. 30%)	30%
Front Yard Setback (min)	As per drawings	19.0 m to No. 3 Road
Side Yard Setback (min)	As per drawings	19.0 m to Alderbridge Way; 3.0 m to Alexandra Road.
Rear Yard Setback (min)	As per drawings	17.0 m to Hazelbridge Way
Height (max)	3 storeys (approx. 17.0 m)	17.0 m, but containing no more than 3 storeys.

Disclaimer: This summary is provided for general public information only and does not form a representation by the City. Any person making a land use, building construction or financial decision should obtain independent advice regarding all applicable regulations.

LAND USE CONTRACT SUMMARY & COMPARISON TABLES



Land Use Contract 040

LAND USE CONTRACT SUMMARY & COMPARISON TABLES

Land Use Contract 064

Permitted Uses: Vehicle sale/rental

Number of properties: 1

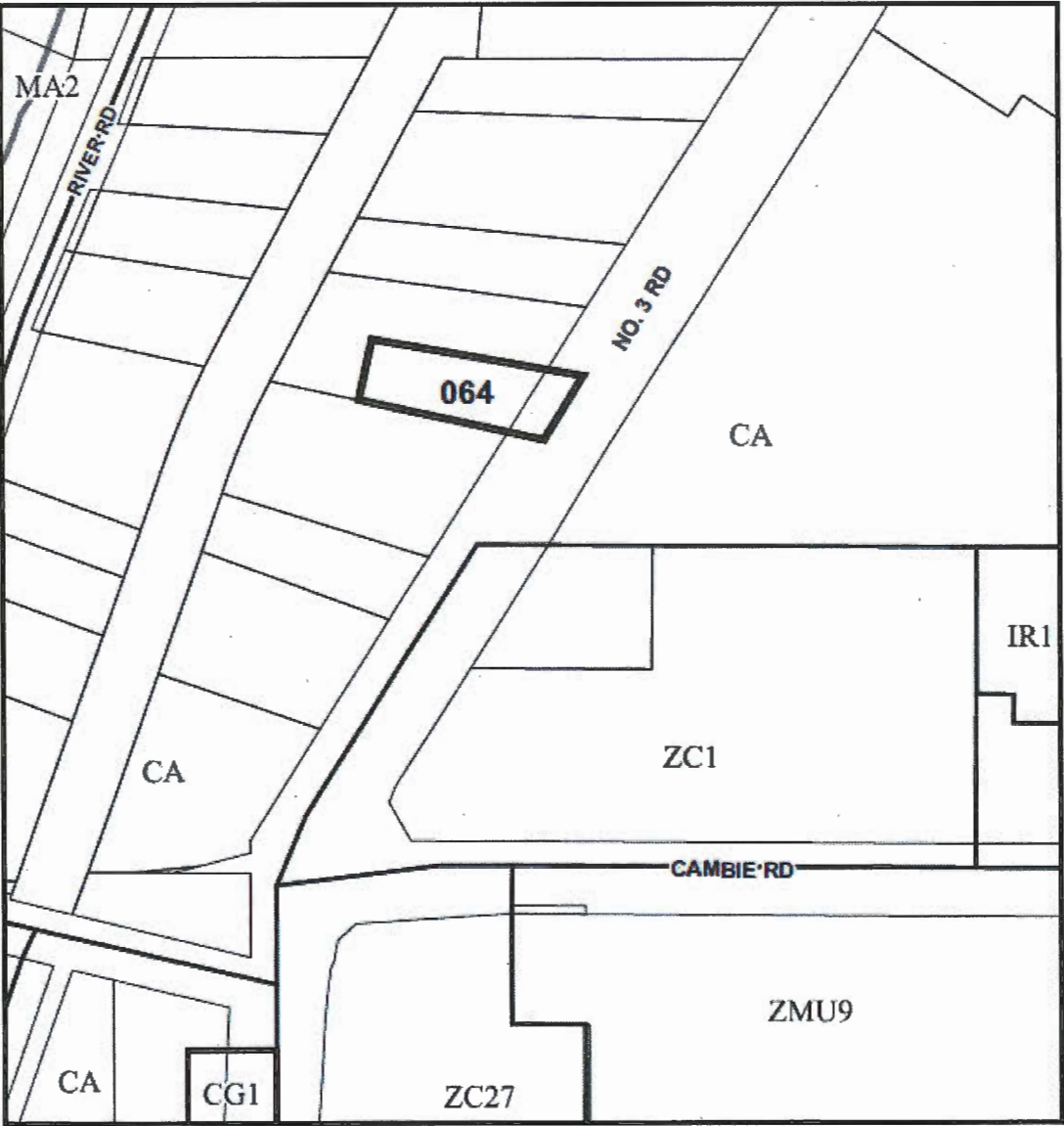
Proposed Zone: Vehicle Sales Commercial (ZC41) – No. 3 Road (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 064	ZC41
FAR (max)	N/A	2.3 FAR
Lot Coverage (max)	N/A	N/A
Front Yard Setback (min)	N/A	7.6 m
Side Yard Setback (min)	<ul style="list-style-type: none"> 3.0 m to one side lot line where there is no rear lane adjacent to the lot. 3.0 m next to containing 1 storey buildings; 7.6 m next to neighbouring lots zoned for low density residential and agricultural uses containing buildings greater than 1 storey; 	<ul style="list-style-type: none"> 3.0 m to one interior side lot line; Notwithstanding the above, the minimum side yard on a lot that is adjacent to single detached housing, agriculture, or two-unit dwelling zones, shall be: <ul style="list-style-type: none"> 3.0 m for a 1 storey building; and 7.5 m for a building containing more than 1 storey.
Rear Yard Setback (min)	N/A	N/A
Building Height (max)	10.7 m, but containing no more than 3 storeys	10.7 m, but containing no more than 3 storeys

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LAND USE CONTRACT SUMMARY & COMPARISON TABLES



Land Use Contract 064

LAND USE CONTRACT SUMMARY & COMPARISON TABLES

Land Use Contract 079

Permitted Uses: Restaurant

Number of properties: 1

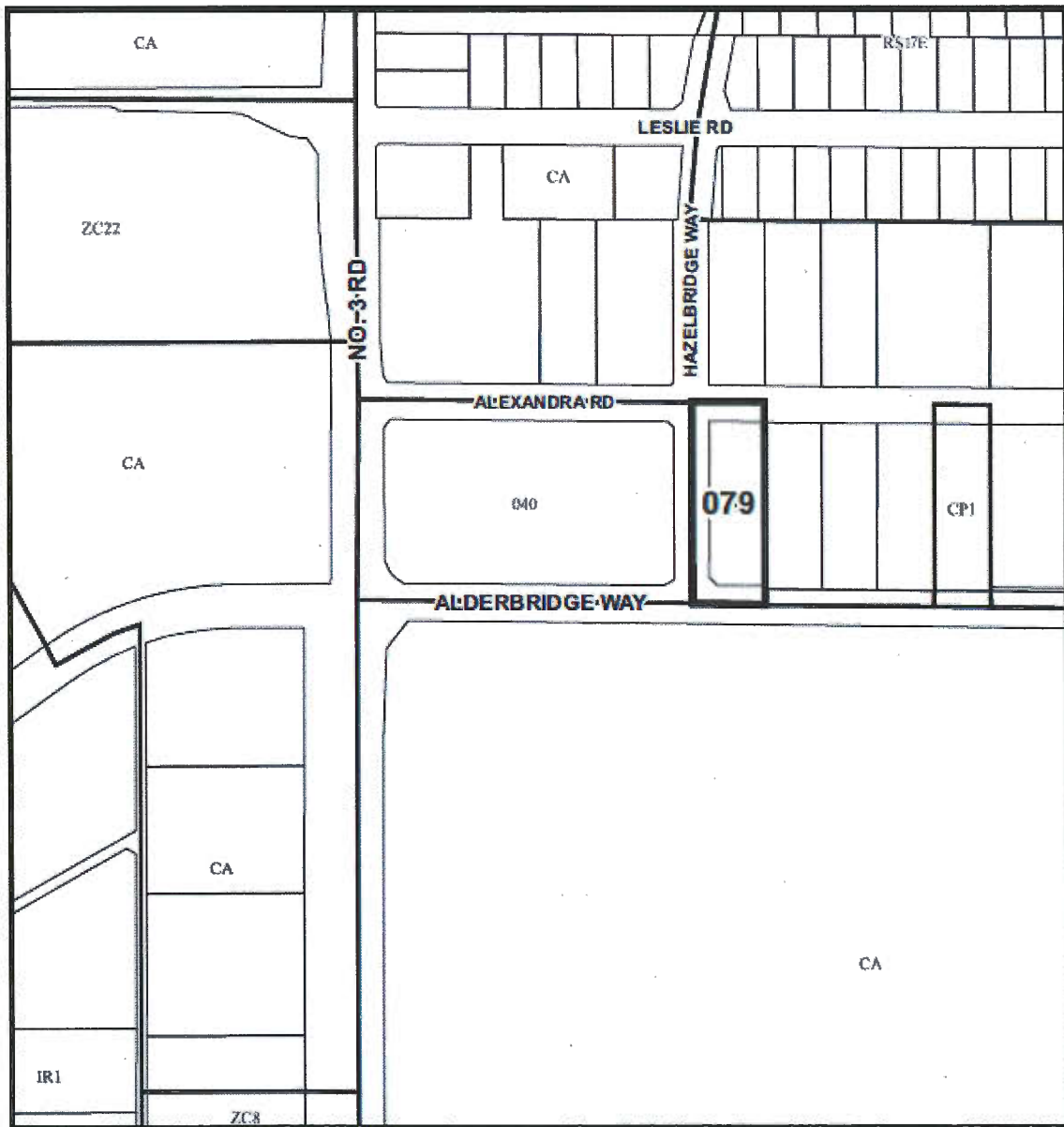
Proposed Zone: Restaurant Commercial (ZC42) – Alderbridge Way (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 079	ZC42
FAR (max)	As per drawings	<ul style="list-style-type: none">• The maximum permitted floor area is 800 m²;• 0.27 FAR
Lot Coverage (max)	As per drawings (approx. 25%)	25%
Front Yard Setback (min)	As per drawings	6.0 m to Alderbridge Way
Interior Side Yard Setback (min)	As per drawings	N/A
Exterior Side Yard Setback (min)	As per drawings	1.5 m to Hazelbridge Way
Rear Yard Setback (min)	As per drawings	50.0 m to Alexandra Road
Height (max)	As per drawings (2 storeys; approx. 9.0 m)	9.0 m, but containing no more than 2 storeys

Disclaimer: This summary is provided for general public information only and does not form a representation by the City. Any person making a land use, building construction or financial decision should obtain independent advice regarding all applicable regulations.

LAND USE CONTRACT SUMMARY & COMPARISON TABLES



Land Use Contract 079

LAND USE CONTRACT SUMMARY & COMPARISON TABLES

Land Use Contract 126

Permitted Uses:

- contractor service
- entertainment, spectator
- equipment, minor
- manufacturing, custom indoor
- office
- recreation, indoor
- restaurant
- retail, general
- service, business support
- service, household repair

Site-specific Permitted Uses:

The following uses are permitted only at 8280 and 8300 Bridgeport Road:

- commercial vehicle parking and storage *
- fleet service *
- parking, non-accessory *

The following uses are permitted only at 8300 Bridgeport Road:

- vehicle rental, convenience

(* In 1989, City Council supported an amendment to the LUC to include what is now interpreted as “commercial vehicle parking and storage”, “fleet service”, and “parking, non-accessory” as permitted uses at 8280 and 8300 Bridgeport Rd. The amendment was never registered on title of the lots.)

Number of properties: 5

Proposed Zones:

Commercial (ZC43) – Bridgeport Road (City Centre) for 4 properties on Bridgeport Road.

Auto-Oriented Commercial (CA) for a portion of 1 property on Sea Island Way.

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

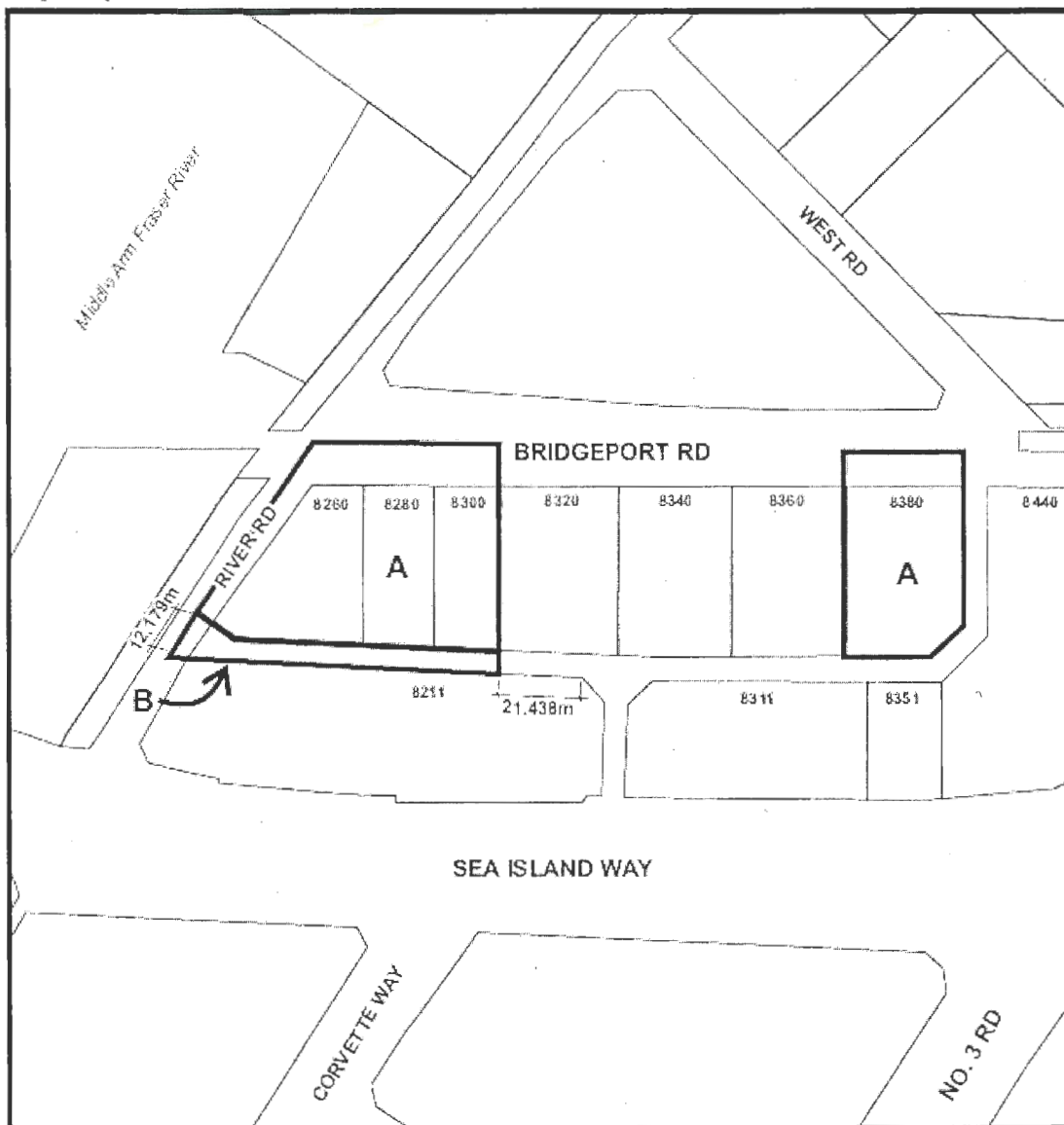
	LUC 126	ZC43	CA
FAR (max)	N/A	0.35	0.50
Lot Coverage (max)	N/A	35%	50%
Front Yard Setback (min)	As per drawings (7.5 m)	7.5 m	3.0 m
Interior Side Yard Setback (min)	As per drawings	There is no minimum interior side yard, except that the minimum east side yard for 8380 Bridgeport Road is 3.0 m.	3.0 m
Exterior Side Setback (min)	As per drawings (7.5 m)	7.5 m	3.0 m

LAND USE CONTRACT SUMMARY & COMPARISON TABLES

	LUC 126	ZC43	CA
Rear Setback (min)	As per drawings (3.0 m)	3.0 m	3.0 m
Building Height (max)	11.0 m, but containing no more than 3 storeys	11.0 m but containing no more than 3 storeys	12.0 m

Disclaimer: This summary is provided for general public information only and does not form a representation by the City. Any person making a land use, building construction or financial decision should obtain independent advice regarding all applicable regulations.

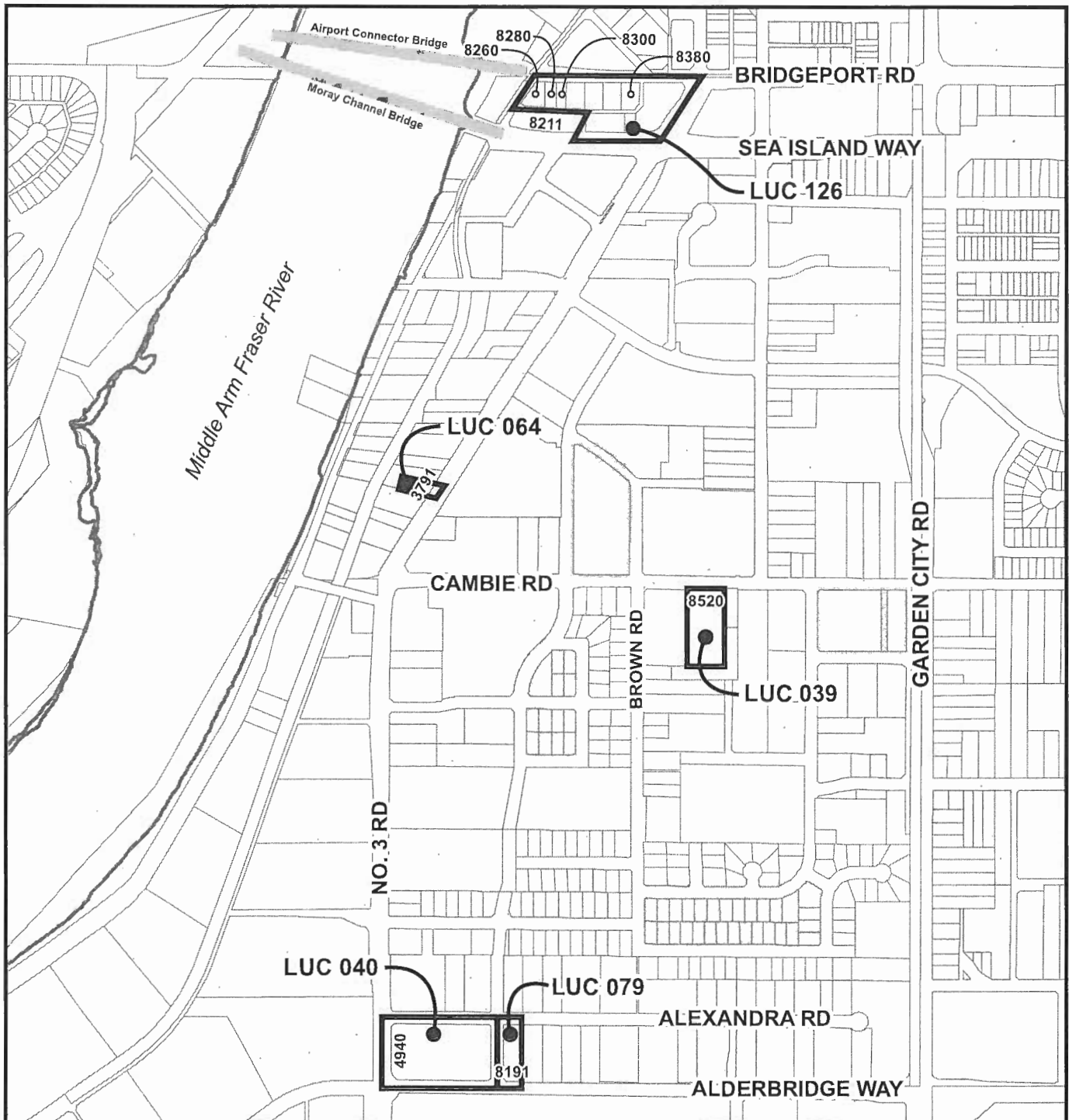
LAND USE CONTRACT SUMMARY & COMPARISON TABLES



Land Use Contract 126



City of Richmond



Land Use Contracts (LUC) in City Centre (North)

PLN - 106

Original Date: 08/24/17

Revision Date: 00/00/00

Note: Dimensions are in METRES



**Richmond Zoning Bylaw 8500, Amendment Bylaw 9744
to Establish Zoning for the Property Developed
under Land Use Contract 039**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 23 (Site Specific Industrial Zones), in numerical order:

“23.13 Commercial Storage (ZI13) – Cambie Road (City Centre)”

23.13.1 Purpose

The **zone** provides for **commercial storage** and a secondary **residential security/operator unit**. This **zone** is for the property developed under Land Use Contract 039.

23.13.2 Permitted Uses

- **commercial storage**

23.13.3 Secondary Uses

- **residential security/operator unit**

23.13.4 Permitted Density

1. The maximum number of **commercial storage buildings** is three.
2. The maximum number of **residential security/operator units** is one.
3. The maximum **floor area** permitted is 3,800 m².
4. The maximum **floor area ratio** is 0.48.

23.13.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 48% for **buildings**.

23.13.6 Yards & Setbacks

1. For a **building** containing **commercial storage**:
 - a) the minimum **front yard** and **rear yard** is 7.0 m.
 - b) the minimum **interior side yard** is 6.0 m.

2. For a **building** containing a **residential security/operator unit**:

- a) the minimum **front yard** is 10.0 m.
- b) the minimum **interior side yard** is 3.0 m.
- c) the minimum **rear yard** is 95.0 m.

23.13.7 Permitted Heights

- 1. The maximum **height** for **buildings** is 5.0 m, but containing no more than 1 **storey**.
- 2. The maximum **height** for **accessory structures** is 9.0 m.

23.13.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot area** is 8,100 m².
- 2. The minimum **lot width** is 64.0 m.
- 3. The minimum **lot depth** is 125.0 m

23.13.9 Landscaping & Screening

- 1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

23.13.10 On-Site Parking and Loading

- 1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0.

23.13.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply.”
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold and shown on “Schedule A attached to and forming part of Bylaw 9744” as **“COMMERCIAL STORAGE (ZI13) – CAMBIE ROAD (CITY CENTRE)”**.

3. This Bylaw may be cited as **“Richmond Zoning Bylaw 8500, Amendment Bylaw 9744”**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

MINISTRY OF TRANSPORTATION AND
INFRASTRUCTURE APPROVAL

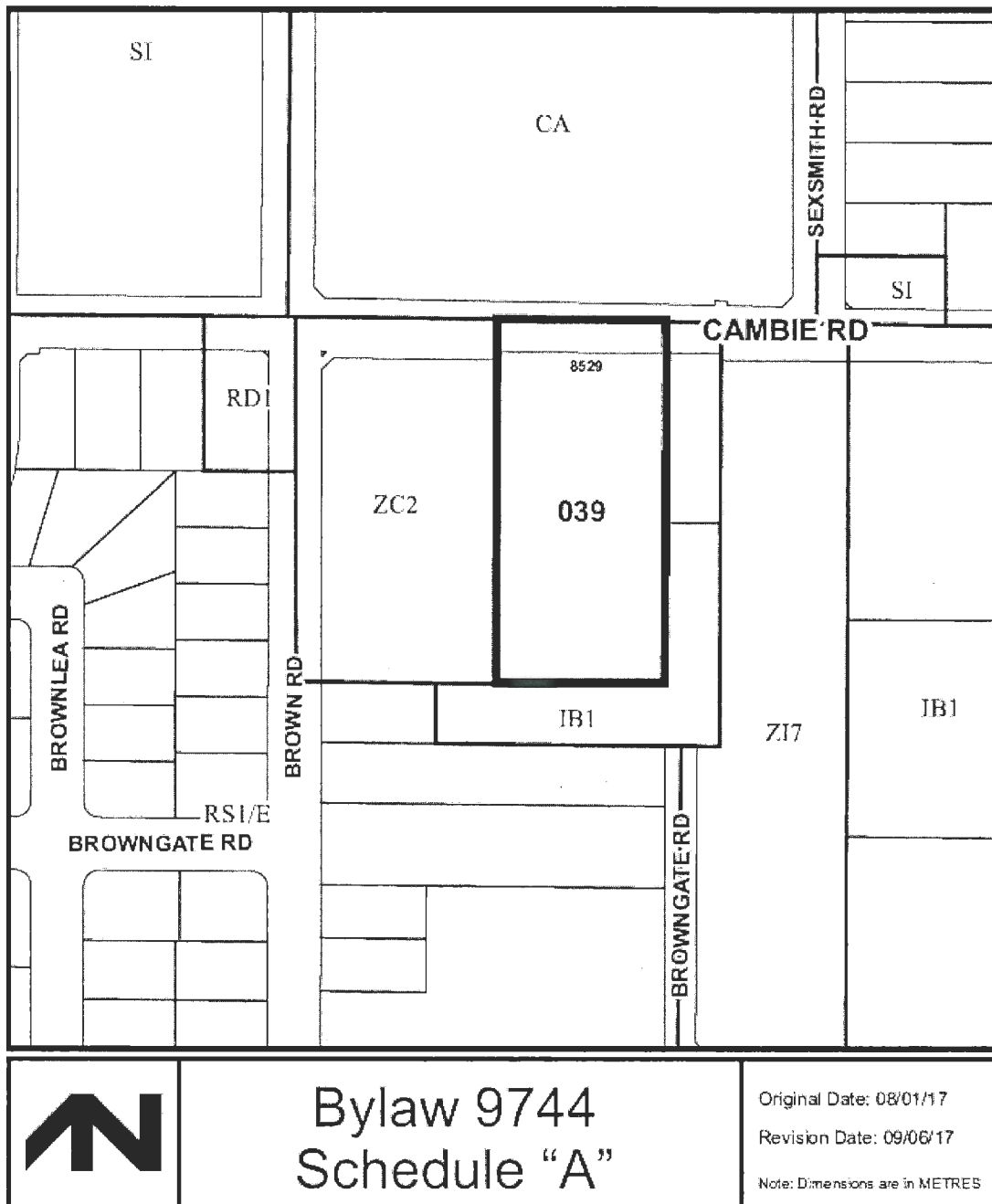
ADOPTED

MAYOR

CORPORATE OFFICER



Schedule A attached to and forming part of Bylaw 9744

City of
Richmond



**Richmond Zoning Bylaw 8500, Amendment Bylaw 9745
to Establish Zoning for the Property Developed under
Land Use Contract 040**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

“22.40 Auto-Oriented Commercial (ZC40) – No. 3 Road (City Centre)

22.40.1 Purpose

The **zone** provides for a mix of commercial and related **uses** oriented to vehicular access. This **zone** is for the property developed under Land Use Contract 040.

22.40.2 Permitted Uses

- contractor service
- education commercial
- entertainment, spectator
- government service
- health service, minor
- hotel
- manufacturing, custom indoor
- office
- private club
- recreation, indoor
- restaurant
- retail, convenience
- retail, general
- service, business support
- service, financial
- service, household repair
- service, personal
- transportation depot
- veterinary service

22.40.3 Secondary Uses

- n/a

22.40.4 Permitted Density

1. The maximum **floor area** permitted on the **lot** is 8,766 m².
2. The maximum **floor area** permitted on the first **storey** is 4,190 m².
3. The maximum **floor area** permitted on the second and third **storeys** combined is 4,576 m².
4. The maximum **floor area ratio** is 0.60.

22.40.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 30% for **buildings**.

22.40.6 Yards & Setbacks

1. The minimum **setback** to the **lot line abutting** No. 3 Road and Alderbridge Way is 19.0 m.
2. The minimum **setback** to the **lot line abutting** Alexandra Road is 3.0 m.
3. The minimum **setback** to the **lot line abutting** Hazelbridge Way is 17.0 m.

22.40.7 Permitted Heights

1. The maximum **height** for **buildings** is 17.0 m, but containing no more than 3 **storeys**.

22.40.8 Subdivision Provisions/Minimum Lot Size

1. The minimum **lot area** is 14,000 m².
2. The minimum **lot width** is 70.0 m.
3. The minimum **lot depth** is 145.0 m.

22.40.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

22.40.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be a minimum of 210 **vehicle parking spaces** and a minimum of 5 on-site **loading spaces**.

22.40.11 Other Regulations

1. The following **permitted uses** shall be located on the first **storey** only:
 - a) **contractor service**
 - b) **education commercial**
 - c) **entertainment, spectator**
 - d) **government service**
 - e) **health service, minor**
 - f) **hotel**
 - g) **manufacturing, custom indoor**
 - h) **office**
 - i) **private club**
 - j) **recreation, indoor**
 - k) **restaurant**
 - l) **retail, convenience**
 - m) **retail, general**
 - n) **service, business support**
 - o) **service, financial**
 - p) **service, household repair**
 - q) **service, personal**
 - r) **transportation depot**
 - s) **veterinary service**
 2. The following **permitted use** shall be located on the second and third **storeys** only:
 - a) **office**
 3. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply. ”
-
2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold and shown on “Schedule A attached to and forming part of Bylaw 9745” as “**AUTO-ORIENTED COMMERCIAL (ZC40) – NO. 3 ROAD (CITY CENTRE)**”.

3. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 9745**”.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

ADOPTED

CITY OF RICHMOND
APPROVED by 
APPROVED by Director or Solicitor 

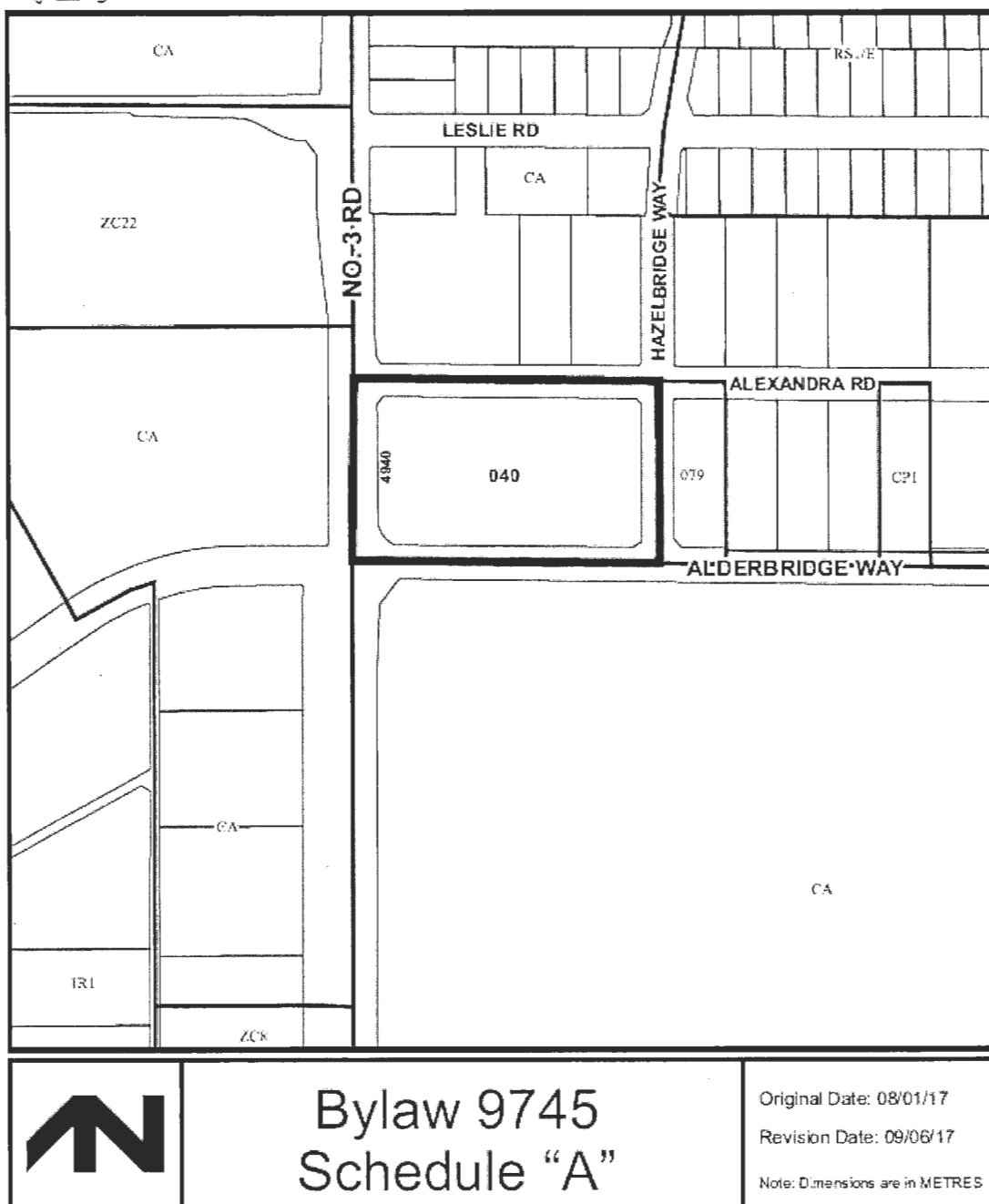
MAYOR

CORPORATE OFFICER

Schedule A attached to and forming part of Bylaw 9745



City of
Richmond





**Richmond Zoning Bylaw 8500, Amendment Bylaw 9746
to Establish Zoning for the Property Developed
under Land Use Contract 064**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

“ 22.41 Vehicle Sales Commercial (ZC41) – No. 3 Road (City Centre) ”

22.41.1 Purpose

The **zone** provides for **vehicle sale/rental**. This **zone** is for the property developed under Land Use Contract 064.

22.41.2 Permitted Uses

- **Vehicle sale/rental**

22.41.3 Secondary Uses

- **n/a**

22.41.4 Permitted Density

1. The maximum **floor area ratio** is 2.3.

22.41.5 Permitted Lot Coverage

1. There is no maximum **lot coverage** for **buildings**.

22.41.6 Yards & Setbacks

1. The minimum **front yard** is 7.6 m.
2. The minimum **setback** to one **interior side lot line** is 3.0 m.
3. There is no minimum **rear yard**.
4. Notwithstanding Section 22.41.6.2, the minimum **interior side yard** on a lot that is adjacent to **single detached housing, agriculture, and two-unit housing zones** shall be:
 - a) 3.0 m for a 1 **storey building**;
 - b) 7.5 m for a **building** containing more than 1 **storey**.

22.41.7 Permitted Heights

1. The maximum **height** for **buildings** is 10.7 m, but containing no more than **3 storeys**.
2. The maximum **height** for **accessory structures** is 9.0 m.

22.41.8 Subdivision Provisions/Minimum Lot Size

1. The minimum **lot width** is 15.2 m.
2. There is no minimum **lot depth** requirement.
3. The minimum **lot area** is 1,000 m².

22.41.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

22.41.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0.

22.41.11 Other Regulations



1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply. ”
2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold and shown on “Schedule A attached to and forming part of Bylaw 9746” as “**Vehicle Sales Commercial (ZC41) – No. 3 Road (City Centre)**”.
3. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 9746**”.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

_____	CITY OF RICHMOND
_____	APPROVED by 
_____	APPROVED by Director or Solicitor 

MINISTRY OF TRANSPORTATION AND
INFRASTRUCTURE APPROVAL

ADOPTED

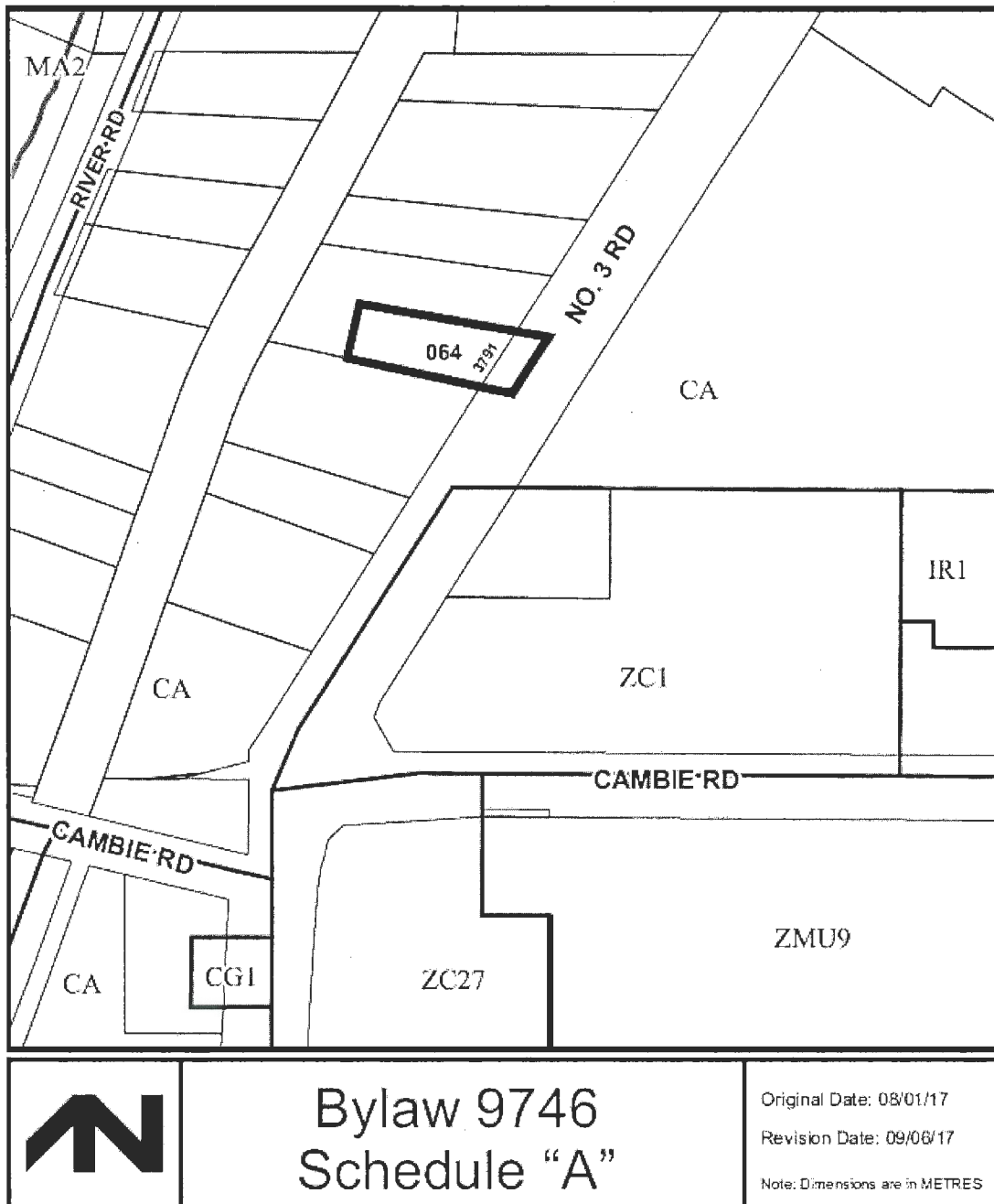
MAYOR

CORPORATE OFFICER

Schedule A attached to and forming part of Bylaw 9746.



City of
Richmond





**Richmond Zoning Bylaw 8500, Amendment Bylaw 9747
to Establish Zoning for the Property Developed
under Land Use Contract 079**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

“ 22.42 Restaurant Commercial (ZC42) – Alderbridge Way (City Centre)

22.42.1 Purpose

The **zone** provides for a **restaurant** and a secondary **drive-through restaurant**. This **zone** is for the property developed under Land Use Contract 079.

22.42.2 Permitted Uses

- **restaurant**

22.42.3 Secondary Uses

- **restaurant, drive-through**

22.42.4 Permitted Density

1. The maximum **floor area** permitted is 800 m².
2. The maximum **floor area ratio** is 0.27.

22.42.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 25% for **buildings**.

22.42.6 Yards & Setbacks

1. The minimum **setback** to the **lot line abutting** Alderbrige Way is 6.0 m.
2. The minimum **setback** to the **lot line abutting** Hazelbridge Way is 1.5 m.
3. The minimum **setback** to the **lot line abutting** Alexandra Road is 50.0 m.
2. There is no minimum **interior side yard** requirement.

22.42.7 Permitted Heights

1. The maximum **height** for **buildings** is 9.0 m. but containing no more than 2 **storeys**.
2. The maximum **height** for **accessory structures** is 9.0 m

22.42.8 Subdivision Provisions/Minimum Lot Size

1. The minimum **lot area** is 2,800 m².
2. The minimum **lot width** is 26.0 m.
3. The minimum **lot depth** is 86.0 m.

22.42.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

22.42.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 42 **vehicle parking spaces** and one on-site **loading space**.

22.42.11 Other Regulations

1. The customer **floor area** of a **restaurant** shall be limited to a total of 222 m².
2. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply. ”
2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold and shown on “Schedule A attached to and forming part of Bylaw 9747” as “**RESTAURANT COMMERCIAL (ZC42) – ALDERBRIDGE WAY (CITY CENTRE)**”.
3. This Bylaw may be cited as “**Richmond Zoning Bylaw 8500, Amendment Bylaw 9747**”.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

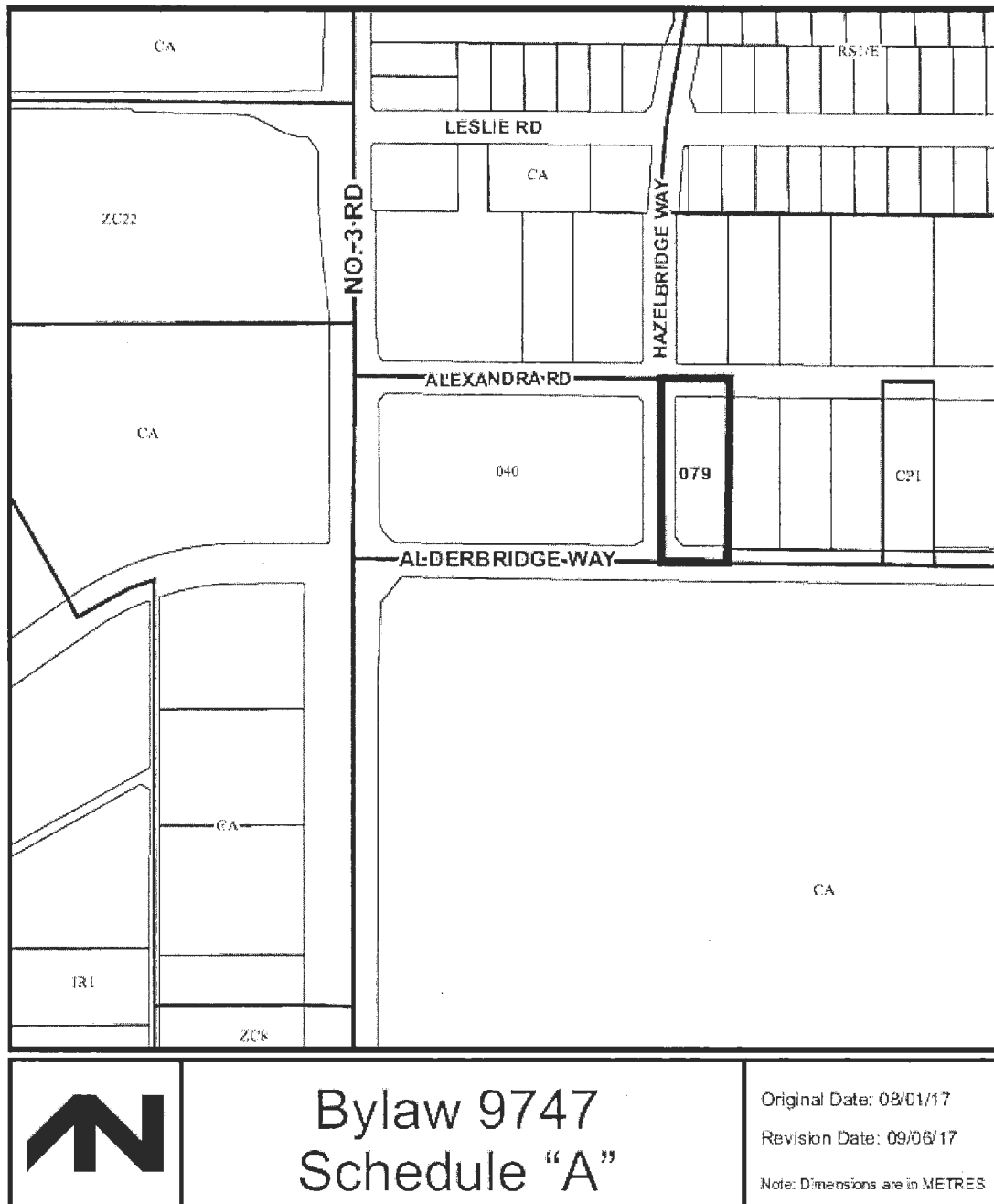
ADOPTED

CITY OF RICHMOND
APPROVED by 
APPROVED by Director or Solicitor 

MAYOR

CORPORATE OFFICER

Schedule A attached to and forming part of Bylaw 9747

City of
Richmond



**Richmond Zoning Bylaw 8500, Amendment Bylaw 9748
to Establish Zoning for the Properties Developed
under Land Use Contract 126**

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

“22.43 Commercial (ZC43) – Bridgeport Road (City Centre)”

22.43.1 Purpose

The **zone** provides for commercial **uses**. This **zone** is for the properties developed under Land Use Contract 126.

22.43.2 Permitted Uses

- contractor service
- entertainment, spectator
- equipment, minor
- manufacturing, custom indoor
- office
- recreation, indoor
- restaurant
- retail, general
- service, business support
- service, household repair

22.43.3 A. Secondary Uses

- n/a

22.43.3 B. Additional Uses

- commercial vehicle parking and storage
- fleet service
- parking, non-accessory
- vehicle rental, convenience

22.43.4 Permitted Density

1. The maximum **floor area ratio** is 0.35, except that a **lot** with a **lot area** of less than 450 m² shall not be used as the site of a **building**.

22.43.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 35% for **buildings**.

22.43.6 Yards & Setbacks

1. The minimum **front yard** is 7.5 m.
2. There is no minimum **interior side yard**, except that for the following listed site, the minimum eastern **interior side yard** is 3.0 m:
 - a) 8380 Bridgeport Road
P.I.D. 001-209-744
Lot 82 Section 28 Block 5 North Range 6 West New Westminster
District Plan 56425.
3. The minimum **exterior side yard** is 7.5 m
4. The minimum **rear yard** is 3.0 m.

22.43.7 Permitted Heights

1. The maximum **height** for **buildings** is 11.0 m, but containing no more than 3 **storeys**.
2. The maximum **height** for **accessory structures** is 9.0 m.

22.43.8 Subdivision Provisions/Minimum Lot Size

1. The minimum **lot area** is 695 m².
2. The minimum **lot width** is 15.0 m
3. There is no minimum **lot depth** requirement.

22.43.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

22.43.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0.

22.43.11 Other Regulations

1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply.

2. **Commercial vehicle parking and storage, fleet service, and parking, non-accessory** is only permitted on the following listed sites:

- a) 8280 Bridgeport Road
P.I.D. 004-274-059
Lot B Section 28 Block 5 North Range 6 West New Westminster District
Plan 71920
- b) 8300 Bridgeport Road
P.I.D. 024-947-954
Lot 1 Section 28 Block 5 North Range 6 West New Westminster District
Plan LMP48700

3. **Vehicle rental, convenience** is only permitted on the following listed sites:

- a) 8300 Bridgeport Road
P.I.D. 024-947-954
Lot 1 Section 28 Block 5 North Range 6 West New Westminster District
Plan LMP48700 ”

- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold and shown as Area “A” on “Schedule A attached to and forming part of Bylaw 9748” as **“Commercial (ZC43) – Bridgeport Road (City Centre)”**.
- 3. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold and shown as Area “B” on “Schedule A attached to and forming part of Bylaw 9748” as **“Auto-Oriented Commercial (CA)”**.
- 4. This Bylaw may be cited as **“Richmond Zoning Bylaw 8500, Amendment Bylaw 9748”**.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

MINISTRY OF TRANSPORTATION AND
INFRASTRUCTURE APPROVAL

ADOPTED

MAYOR

CORPORATE OFFICER



Schedule A attached to and forming part of Bylaw 9748



City of
Richmond

