



Planning Committee

**Anderson Room, City Hall
6911 No. 3 Road**

**Tuesday, March 20, 2012
4:00 p.m.**

Pg. # ITEM

MINUTES

PLN-7 *Motion to adopt the minutes of the meeting of the Planning Committee held on Tuesday, March 6, 2012.*



NEXT COMMITTEE MEETING DATE

Tuesday, April 3, 2012, (tentative date) at 4:00 p.m. in the Anderson Room

COMMUNITY SERVICES DEPARTMENT

1. **HOUSING AGREEMENT (6951 ELMBRIDGE WAY) BYLAW NO. 8691- TO SECURE AFFORDABLE HOUSING UNITS LOCATED IN 6951 ELMBRIDGE WAY**
(File Ref. No. 12-8060-20-8691) (REDMS No. 3316108)

PLN-15

See Page **PLN-15** for full report

Designated Speaker: Dena Kae Beno

STAFF RECOMMENDATION

That Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691 be introduced and given first reading to permit the City, after adoption, to enter into an amended Housing Agreement with 6951 Elmbridge Way Ltd., in connection with the property identified in Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691, all in accordance with section 905 of the Local Government Act.



PLANNING & DEVELOPMENT DEPARTMENT

2. **APPLICATION BY YING YI ZHANG FOR REZONING AT 10231 AND 10251 RUSKIN ROAD FROM SINGLE DETACHED (RS1/E) TO SINGLE DETACHED (RS2/B)**

(File Ref. No. 12-8060-20-8871, **RZ 11-591786**) (REDMS No. 3481202)

PLN-41

See Page **PLN-41** for full report

Designated Speaker: Brian J. Jackson

STAFF RECOMMENDATION

That Bylaw No. 8871, for the rezoning of 10231 and 10251 Ruskin Road from “Single Detached (RS1/E)” to “Single Detached (RS2/B)”, be introduced and given first reading.



3. **APPLICATION BY ZHAO XD ARCHITECT LTD. FOR REZONING AT 8540 AND 8560 JONES ROAD FROM SINGLE DETACHED (RS1/E) TO HIGH DENSITY TOWNHOUSE (RTH1)**

(File Ref. No. 12-8060-20-8872, **RZ 11-593412**) (REDMS No. 3478339)

PLN-57

See Page **PLN-57** for full report

Designated Speaker: Brian J. Jackson

STAFF RECOMMENDATION

That Bylaw No. 8872, for the rezoning of 8540 and 8560 Jones Road from “Single Detached (RS1/E)” to “High Density Townhouse (RTH1)”, be introduced and given first reading.



4. **APPLICATION BY AM-PRI CONSTRUCTION LTD. FOR REZONING AT 9100, 9120 AND 9140 NO. 3 ROAD FROM SINGLE DETACHED (RS1/E) TO LOW DENSITY TOWNHOUSES (RTL4)**
(File Ref. No. 12-8060-20-8873, **RZ 11-577561**) (REDMS No. 3478950)

PLN-77

See Page **PLN-77** for full report

Designated Speaker: Brian J. Jackson

STAFF RECOMMENDATION

That Bylaw No. 8873, for the rezoning of 9100, 9120 and 9140 No. 3 Road from “Single Detached (RS1/E)” to “Low Density Townhouses (RTL4)”, be introduced and given first reading.



5. **APPLICATION BY CENTRO TERRAWEST DEVELOPMENT LTD. FOR REZONING AT 6011 AND 6031 NO. 1 ROAD FROM LOCAL COMMERCIAL (CL) AND SINGLE DETACHED (RS1/F) TO COMMERCIAL MIXED USE (ZMU21) – TERRA NOVA**
(File Ref. No. 12-8060-20-8874/8875, **RZ 11-586705**) (REDMS No. 3476638)

PLN-101

See Page **PLN-101** for full report

Designated Speaker: Brian J. Jackson

STAFF RECOMMENDATION

- (1) *That Official Community Plan Amendment Bylaw No. 8874, to redesignate 6011 and 6031 No. 1 Road from "Residential (Single-Family) " to "Mixed-Use" in Schedule 2.2B of Official Community Plan Bylaw No. 7100 (Terra Nova Sub-Area Plan), be introduced and given first reading.*
- (2) *That Bylaw No. 8874, having been considered in conjunction with:*
- (a) *The City’s Financial Plan and Capital Program; and*
 - (b) *The Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;*
- is hereby deemed to be consistent with said program and plans, in accordance with Section 882(3)(a) of the Local Government Act.*
- (3) *That Bylaw No. 8874, having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby deemed not to require further consultation.*

- (4) *That Bylaw No. 8875, to:*
 - (a) *Create “Commercial Mixed-Use (ZMU21) – Terra Nova”;*
 - (b) *Amend Section 5.15.1 (Affordable Housing) to include the “ZMU21” zone and the density bonusing sum of “\$4.00”; and*
 - (c) *Rezone 6011 and 6031 No. 1 Road from “Local Commercial (CL)” and “Single Detached (RS1/F)” to “Commercial Mixed-Use (ZMU21) – Terra Nova”, be introduced and given first reading.*



6. **APPLICATION BY PAUL CHEUNG (LIONS COMMUNICATIONS INC.) FOR A TEMPORARY COMMERCIAL USE PERMIT AT 12631 VULCAN WAY FOR 2012, 2013 AND 2014**

(File Ref. No.; TU 12-600784; REDMS No. 3487216)

PLN-137

See Page PLN-137 for full report

Designated Speaker: Brian J. Jackson

STAFF RECOMMENDATION

- (1) *That the application of Paul Cheung (Lions Communications Inc.) for a Temporary Commercial Use Permit at 12631 Vulcan Way be considered at Public Hearing to be held on April 16, 2012 at 7:00 pm in the Council Chambers of Richmond City Hall, and that the following recommendation be forwarded to that meeting for consideration:*

“That a Temporary Commercial Use Permit be issued to Paul Cheung (Lions Communications Inc.) for the property at 12631 Vulcan Way for the purposes of permitting an evening night market event between May 11, 2012 to September 16, 2012 (inclusive), May 10, 2013 to September 8, 2013 (inclusive) and May 9, 2014 to September 14, 2014 (inclusive) subject to the fulfillment of all terms, conditions and requirements outlined in the Temporary Commercial Use Permit and attached Schedules.”

- (2) *That the Public Hearing notification area include all properties within the area bounded by River Road to the north, No. 5 Road to the west, Bridgeport Road to the south and Knight Street to the east.*



7. **MANAGER’S REPORT**

Pg. # ITEM

ADJOURNMENT



Pg. # ITEM



Planning Committee

Date: Tuesday, March 6, 2012

Place: Anderson Room
Richmond City Hall

Present: Councillor Bill McNulty, Chair
Councillor Evelina Halsey-Brandt, Vice-Chair
Councillor Chak Au
Councillor Linda Barnes
Councillor Harold Steves
Mayor Malcolm Brodie

Also Present: Councillor Derek Dang
Councillor Ken Johnston
Councillor Linda McPhail (present via teleconferencing)

Call to Order: The Chair called the meeting to order at 4:02 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Planning Committee held on Tuesday, February 21, 2012, be adopted as circulated.

CARRIED

NEXT COMMITTEE MEETING DATE

Tuesday, March 20, 2012, (tentative date) at 4:00 p.m. in the Anderson Room

It was agreed that an additional item would be added to the Agenda as Item 1 A. (please see Page 8)

PLANNING & DEVELOPMENT DEPARTMENT

1. **APPLICATION BY FIREWORK PRODUCTIONS LTD. FOR A TEMPORARY COMMERCIAL USE PERMIT AT 8351 RIVER ROAD AND DUCK ISLAND (LOT 87 SECTION 21 BLOCK 5 NORTH RANGE 6 WEST PLAN 34592) FOR 2012, 2013 AND 2014**
(File Ref. No. TU 11-595782) (REDMS No. 3485054/3468443)

Committee discussed the application for a Temporary Commercial Permit at River Road and Duck Island, by Raymond Cheung, Firework Productions, to operate a seasonal night market event Fridays to Sundays, from May to October, for 2012, 2013 and 2014.

It was noted that since the February 21, 2012 meeting of the Planning Committee, during which the Temporary Commercial Permit application was discussed then referred back for further examination of (i) traffic issues, (ii) traffic management, and (iii) parking issues as they related to the proposed night market, the proponent and staff had responded to the Committee referral and were presenting (i) new information, and (ii) analysis to Committee for consideration.

In response to queries, Victor Wei, Director of Transportation, advised that:

- the traffic consultant, R.F. Binnie & Associates Ltd. (Binnie), that the proponent hired to prepare a traffic and parking assessment for the event is well known to City staff; and
- recent projects Binnie has undertaken for the City include the 'scramble intersection' in Steveston, at the corner of No. 1 Road and Moncton Street, as well as the City's bus lane study;

Discussion ensued among Committee, Raymond Cheung, Fireworks Productions, Jonathan Ho, Traffic Engineer, Binnie, and Douglas Smith, ATC Traffic Management Ltd., and in particular on:

- ATC Traffic Management is tasked with carrying out the traffic and parking plans for the proposed night market;
- whether the proposed night market would reimburse River Rock Casino if the proposed night market's traffic and parking plans negatively impacted the casino's revenue;
- 100% of the proposed night market's 1,505 off-street parking stalls are free of charge, thereby (i) removing the requirement for pay booths to be situated at any location within the even parking areas, (ii) decreasing the possibility of queuing lengths for the vehicles on the site, and (iii) minimizing queuing on No. 3 Road;

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- discussions among the proponent, Binnie and City staff resulted in traffic and parking strategies that adequately address concerns regarding traffic flow, potential bottlenecks on City streets surrounding the subject site, and parking issues;
- trained Traffic Control Personnel (TCP) provided by ATC Traffic Management, stationed at intersections to direct traffic, will maintain constant radio communication to relay information between intersections, and, under severe conditions at the intersection of No. 3 Road and Bridgeport Road, a member of the Richmond detachment of the RCMP may override the existing signal.

Howard Blank, Vice-President, Great Canadian Gaming Corporation addressed Committee. Mr. Blank applauded the proponent for the steps taken to address the concerns he outlined at the February 21, 2012 meeting of the Planning Committee and then stated the following concerns with the application and the newly designed traffic and parking strategies:

- he knows that the presence of the proposed night market will have a negative effect on the casino, and he was not certain that the proponent knew the true detriment the proposed night market would have on the casino;
- he surmised that from 8,000 to 20,000 vehicles would make their way to the proposed night market, and wondered if these numbers were similar to those experienced at the Oval, during the 2010 Winter Olympics;
- he questioned whether the TCPs provided by the traffic management company were able to speak Cantonese and/or Mandarin;
- he queried how the proponent could prevent visitors to the proposed night market from saying they were destined for the casino, when they were not intent on going to the casino;
- he remarked that the casino's parkades feature a hard surface, and are safe and well-lit, while the proponent's parking sites have a sand surface;
- he noted that night market visitors might use Great Canadian Way to access the market, but that the casino's main access to the casino facility was the Great Canadian Way; and
- he wondered whether casino guests would be stuck in traffic on weekends, as they made an effort to get to the casino for theatre shows and 'staycations'.

Mr. Blank then asked for the following assurances:

- that the proponent has secured the additional site at the northwest corner of Bridgeport Road and No. 3 Road of Bridgeport Road needed to accommodate the contingency parking lot;

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- bilingual signage pointing drivers away from Great Canadian Way, to the other main access arteries that would feed the proposed night market;
- flexibility on the part of Firework Productions when they liaise with the casino; and
- that those people parking in the casino's parkades are going to the casino and not to the proposed night market.

The Chair posed Mr. Blank's questions, and reiterated Mr. Blank's request for assurances, to Mr. Cheung, Mr. Ho and Mr. Smith, and received the following advice:

- some, but not all, of the TCPs are bi- or multi-lingual;
- an agreement has been signed to secure the contingency parking lot at the northwest corner of Bridgeport Road and No. 3 Road;
- there will be adequate signage to point drivers away from the Great Canadian Way access to alternative access routes on their way to the proposed night market;
- one TCP working for the proponent would be stationed outside the casino's parkade; and
- on busy nights, such as those nights when the casino has a show featured in its theatre space, the proponent would station more TCPs in order to help out the casino.

Further discussion ensued among Committee, Mr. Cheung, Mr. Ho and Mr. Smith, and the following advice was provided:

- Firework Productions will undertake a thorough public relations campaign using multiple media outlets, to encourage visitors to the proposed night market to use public transit, especially the Canada Line, to access the market;
- Mr. Cheung is the primary liaison for communications with the casino, and his staff members are also authorized to communicate with the casino, to ensure no miscommunication takes place;
- with regard to the proponent's plans to provide signage to area residents that identify their vehicles so they will not be ticketed, the proponent is in discussion with City bylaw staff; and
- on busy weekend nights TCPs would clear any bottlenecks, and would take action to speed up the parking process.

In response to a Committee query, Mr. Wei advised that area residents and their parking habits would not be impacted by the proposed night market, as has been demonstrated in the case of the Vulcan Way night market.

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Mr. Wei added that a 20% contingency fund, in addition to the yearly operation bond amount required for the night market event, can be utilized to implement additional traffic control and monitoring and roadway improvements, if deemed necessary by City Transportation staff, in consultation with impacted stakeholders in the area.

Further discussion ensued among Committee, Mr. Cheung, Mr. Ho and Mr. Smith, and especially with regard to:

- a concern that the proponent is asking the City to take a risk, and this risk could mean a reduction in casino funding, and it follows that such a reduction would impact taxpayers;
- a concern that in an “only if needed” scenario, the member of the Richmond RCMP who would be called to override a traffic signal, would be diverted from other RCMP duties;
- the proponent’s willingness to ‘tweak’ the traffic and parking strategies on an as-needed basis;
- the importance of the first month of operation of the proposed night market in discerning how the traffic and parking strategies are working;
- the traffic management strategies have been designed to be responsive to many scenarios;
- the number of TCPs is flexible, with the option of adding more should the situation dictate more personnel, and they are trained to see not just the traffic at hand, but what traffic is coming;
- parking attendants will have communication tools, a backup plan is in place to alleviate queuing at the parking lots’ access points, and the overflow parking site has been secured;
- how the proponent’s traffic management plan can dissuade drivers from passing by the casino on their way to the proposed night market’s parking sites;
- the difference in acreage between the proponent’s past night market site and the proposed subject site; the proposed number of retail stalls and proposed number of food court stalls; and
- the proponent’s plans to dispatch staff to clean up night market litter that may be found in the surrounding area.

(Councillor Derek Dang left the meeting at 4:50 p.m. and did not return until 5:15 p.m.)

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It was moved and seconded

- (1) *That the application of Firework Productions Ltd. for a Temporary Commercial Use Permit for property at 8351 River Road and Duck Island be considered at Public Hearing to be held on March 19, 2012 at 7:00 pm in the Council Chambers of Richmond City Hall, and that the following recommendation be forwarded to that meeting for consideration:*

“That a Temporary Commercial Use Permit be issued to Firework Productions Ltd. for the property at 8351 River Road and Duck Island for the purposes of permitting an evening night market event between May 18, 2012 to October 8, 2012 (inclusive), May 17, 2013 to October 14, 2013 (inclusive) and May 16, 2014 to October 13, 2014 (inclusive) subject to the fulfillment of all terms, conditions and requirements outlined in the Temporary Commercial Use Permit and attached Schedules.”

- (2) *That the Public Hearing notification area include all properties to the north of Bridgeport Road and west of Great Canadian Way as shown in Attachment 4 to the original staff report dated February 9, 2012 from the Director of Development.*

The question on the motion was not called as further discussion ensued, and especially on:

- what the night market brings to Richmond, whether the night market is an asset to Richmond, and the benefits of the night market to Richmond;
- whether the proponent is willing to cancel the 2013 and 2014 night markets if the proposed 2012 night market proves problematic;
- the subject site is earmarked for development in the future, as part of the City’s ‘entertainment district’, and the night market would provide an opportunity to work on traffic pattern issues before any permanent structures, such as hotels, go up on the subject site; and
- the proponent’s willingness to work with the casino on traffic circulation issues.

At the conclusion of the discussion the following **motion** was introduced:

It was moved and seconded

That a Temporary Commercial Use Permit be issued to Firework Productions Ltd. for the property at 8351 River Road and Duck Island for the purpose of permitting an evening night market event between May 18, 2012 to October 8, 2012 (inclusive) subject to the fulfillment of all terms, conditions and requirements outlined in the Temporary Commercial Use Permit and attached Schedules.

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The question on the motion was not called as further discussion took place.

In response to a query, Brian J. Jackson, Director of Development, advised that if the applicant does not fulfill all terms, conditions and requirements outlined in the Temporary Commercial Use Permit and the attached Schedules, Council could revoke the Temporary Commercial Use Permit. He added that if the applicant was fulfilling all terms, conditions and requirements, it would be difficult for Council to revoke the permit.

There was general acknowledgement and agreement that the proposed night market would probably be successful.

A comment was made that the anticipated success of the event would be the reason for (i) potential effects on the casino's operation, and (ii) potential traffic and parking issues in the area, and that a one-year permit was the way to address any issues that may arise.

A brief discussion ensued regarding the idea of a one-year versus a three-year permit.

At the conclusion of the discussion the question on the motion was called and it was **DEFEATED** with Mayor Brodie and Councillors Au, Barnes and McNulty **OPPOSED**.

It was moved and seconded

(1) *That the application of Firework Productions Ltd. for a Temporary Commercial Use Permit for property at 8351 River Road and Duck Island be considered at Public Hearing to be held on March 19, 2012 at 7:00 pm in the Council Chambers of Richmond City Hall, and that the following recommendation be forwarded to that meeting for consideration:*

“That a Temporary Commercial Use Permit be issued to Firework Productions Ltd. for the property at 8351 River Road and Duck Island for the purposes of permitting an evening night market event between May 18, 2012 to October 8, 2012 (inclusive), May 17, 2013 to October 14, 2013 (inclusive) and May 16, 2014 to October 13, 2014 (inclusive) subject to the fulfillment of all terms, conditions and requirements outlined in the Temporary Commercial Use Permit and attached Schedules.”

(2) *That the Public Hearing notification area include all properties to the north of Bridgeport Road and west of Great Canadian Way as shown in Attachment 4 to the original staff report dated February 9, 2012 from the Director of Development.*

CARRIED

OPPOSED: Cllr. Evelina Halsey-Brandt
Cllr. Harold Steves

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The meeting was recessed at 5:19 p.m.

The meeting was reconvened at 5:28 p.m. with Cllr. Derek Dang present.

1A. APPLICATION BY AJIT THALIWAL FOR REZONING AT 6688 LIVINGSTONE PLACE FROM SINGLE DETACHED (RS1/E) TO SINGLE DETACHED (RS2/A)

(File Ref. No. 12-8060-20-8870, RZ 11-596352) (REDMS No. 3468937)

It was moved and seconded

That Bylaw No.8870, for the rezoning of 6688 Livingstone Place from "Single Detached (RS1/E)" to "Single Detached (RS2/A)", be introduced and given first reading.

CARRIED

2. MANAGER'S REPORT

No manager's reports were given.

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:31 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Planning Committee of the Council of the City of Richmond held on Tuesday, March 26, 2012.

Councillor Bill McNulty
Chair

Sheila Johnston
Committee Clerk



To: Planning Committee

Date: February 29, 2012

From: Cathryn Volkering Carlile
General Manager

File: 08-4057-05/2012

Re: Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691- to Secure Affordable Housing Units located in 6951 Elmbridge Way

Staff Recommendation

1. That Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691 be introduced and given first reading to permit the City, after adoption, to enter into an amended Housing Agreement with 6951 Elmbridge Way Ltd., in connection with the property identified in Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691, all in accordance with section 905 of the *Local Government Act*.

Cathy Volkering Carlile
General Manager, Community Services
(604-276-4068)

Att. 3

FOR ORIGINATING DEPARTMENT USE ONLY					
ROUTED TO:		CONCURRENCE		CONCURRENCE OF GENERAL MANAGER	
Law		Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>		
Development Applications		Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>		
Budgets		Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>		
REVIEWED BY TAG		YES	NO	REVIEWED BY CAO	
		<input checked="" type="checkbox"/>	<input type="checkbox"/>	YES	NO
					<input checked="" type="checkbox"/>

Origin

The purpose of this report is to obtain first reading of Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691 (**Attachment 1**). After first reading and all required notice is given, the bylaw shall go to public hearing, at which point consideration will be given to second and third reading of the Bylaw.

On July 12, 2010, Housing Agreement (6951 Elmbridge Way) Bylaw 8620 was adopted by Council to permit the City to enter into a Housing Agreement with 6951 Elmbridge Way Ltd., to secure 20 low end market rental units at 6951 Elmbridge Way, as part of Rezoning Application No. 07-380222 and associated Zoning & Development Bylaw No. 8604 and 8605.

On October 25, 2010, Council adopted the recommended changes to the City's Affordable Housing Strategy, whereby:

1. The City's maximum income thresholds and rent rates for low end market rental units would be adjusted to align with Core Need Income Threshold values and/or other applicable data released from Canada Mortgage and Housing Corporation (CMHC) to reflect current market and affordability trend data.
2. The annual income threshold and maximum permitted rent for affordable housing would be adjusted by staff once every calendar year.
3. The effective date for the adjustment would be applied to all Housing Agreements brought forward after the date of Council approval.

Developers expressed concern that the adjusted rates and thresholds would not apply to existing Housing Agreements executed prior to October 25, 2010. Council, in turn, requested staff to contact developers with previous approved Housing Agreements to:

1. Inform them that the adjusted income and rent values would apply to the Housing Agreements prior to October 25, 2010.
2. Provide them with an opportunity to apply for an adjustment to the income and rent values in their Housing Agreements.

Section 905(4) of the *Local Government Act* provides that a Housing Agreement may only be amended by bylaw.

On February 13, 2012, Council adopted the 2012 income threshold and affordable rent rates, based on staff's review of Housing Income Limit values determined by the annual Canada Mortgage and Housing Corporation market rental survey. The adjustment will become effective immediately following the adoption by Council.

Future adjustments to the income threshold and maximum permitted rent rates will be based on staff's review of updated Housing Income Limits and/or other applicable data produced by CMHC in years when it is released.

The adjusted Affordable Housing Strategy total household annual income and maximum monthly rent limits are:

	<u>Bachelor</u>	<u>1 Bedroom</u>	<u>2 Bedroom</u>	<u>3 Bedroom</u>
Total Household Annual Income	\$33,500 or less	\$37,000 or less	\$45,500 or less	\$55,000 or less
Maximum Monthly Rent	\$837	\$925	\$1,137	\$1,375

Analysis

The existing Housing Agreement restricts annual household income and rents in perpetuity for the 20 units, with the provision for an adjustment of the maximum annual household income and rental rates on an annual basis to ensure that the affordability terms established by the City remain in effect.

The property owner has since applied for its existing Housing Agreement to be reviewed for a rate adjustment which staff have completed. The table below compares the maximum total household income and monthly rent values in the existing Housing Agreement to the proposed, amended Housing Agreement (**Attachment 2**) for the 20 affordable low end market rent units:

Unit Type	Maximum Monthly Rent		Maximum Household Annual Income	
	<i>Existing Housing Agreement</i>	<i>Amended Housing Agreement -(Rates Align with CMHC 2012 Housing Income Limits)</i>	<i>Existing Housing Agreement</i>	<i>Amended Housing Agreement-(Rates align with CMHC 2012 Housing Income Limits)</i>
16 one-bedroom units	\$650	\$925	\$30,500	\$37,000 or less
4 two-bedroom units	\$770	\$1,137	\$36,000	\$45,500 or less

Staff have conducted the requested review and are proposing rate adjustments for the 6951 Elmbridge Way Ltd. development situated at 6951 Elmbridge Way in accordance with Council’s October 25, 2010 direction and February 13, 2012 amended rates. The amended Housing Agreement shall also contain additional updated terms and conditions consistent with current housing agreements being approved by the City.

After adoption of Housing Agreement Bylaw No. 8691, the City will be able to enter into an amended Housing Agreement with 6951 Elmbridge Way Ltd. reflecting the October 25, 2010 and February 13, 2012 changes to the City’s Affordable Housing Strategy in connection with securing 20 affordable units at the subject development.

A public hearing will be required, with normal notification to all residents within 50 metres from the property line (**Attachment 3**).

This report and bylaw are consistent with Council's adopted term goal:

Improve the effectiveness of the delivery of social services in the City through the development and implementation of a Social and Community Services Strategy that includes increased social housing, implementation of the campus of care concept and an emergency shelter for women.

Financial Impact

Administration of this Housing Agreement will be covered by existing City resources.

Conclusion

In accordance with the *Local Government Act* (Section 905), adoption of Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691 is required to permit the City to enter into an updated Housing Agreement to reflect October 25, 2010 and February 13, 2012 changes to the City's Affordable Housing Strategy.

It is thus recommended that first reading be given to Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691.



Dena Kae Beno
Affordable Housing Coordinator
(604-247-4946)

Attachment 1	Bylaw No. 8691	Doc # 3316393
Attachment 2	Housing Agreement	Doc # 314338v5
Attachment 3	Property Map	Doc # 3477715



City of Richmond

Bylaw 8691

Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691

The Council of the City of Richmond enacts as follows:

1. The Mayor and City Clerk for the City of Richmond are authorized to execute and deliver a housing agreement, substantially in the form set out as Schedule A to this Bylaw, with the owner of the land legally described as:

PID: 028-324-030 Lot A Section 6 Block 4 North Range 6 West NWD Plan
BCP 45903

2. This Bylaw may be cited as “**Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691**”.

FIRST READING

SECOND READING

THIRD READING

ADOPTED

MAYOR

CORPORATE OFFICER

CITY OF RICHMOND
APPROVED for content by originaling dept.
<i>OR</i>
APPROVED for legality by Solicitor
<i>BDS</i>

Schedule A

To Housing Agreement (6951 Elmbridge Way) Bylaw No. 8691

HOUSING AGREEMENT BETWEEN 6951 ELMBRIDGE WAY LTD. AND CITY OF
RICHMOND IN RELATION TO 6951 ELMBRIDGE WAY

HOUSING AGREEMENT
(Section 905 *Local Government Act*)

THIS AGREEMENT is dated for reference the 12th day of March, 2012.

BETWEEN:

6951 ELMBRIDGE WAY LTD. (Inc. No. 0597673),
a company duly incorporated under the laws of the Province of British
Columbia and having its registered office at Suite 300 – 550 Robson
Street, Vancouver, BC V6B 2B7

(the “Owner” as more fully defined in section 1.1 of this
Agreement)

AND:

CITY OF RICHMOND,
a municipal corporation pursuant to the *Local Government Act* and
having its offices at 6911 No. 3 Road, Richmond, British
Columbia, V6Y 2C1

(the “City” as more fully defined in section 1.1 of this Agreement)

WHEREAS:

- A. Section 905 of the *Local Government Act* permits the City to enter into and, by legal notation on title, note on title to lands, housing agreements which may include, without limitation, conditions in respect to the form of tenure of housing units, availability of housing units to classes of persons, administration of housing units and rent which may be charged for housing units;
- B. The Owner is the owner of the Lands (as hereinafter defined); and
- C. The Owner and the City wish to enter into this Agreement (as herein defined) to provide for affordable housing on the terms and conditions set out in this Agreement,

In consideration of \$10.00 and other good and valuable consideration (the receipt and sufficiency of which is acknowledged by both parties), and in consideration of the promises exchanged below, the Owner and the City covenant and agree as follows:

ARTICLE 1 DEFINITIONS AND INTERPRETATION

1.1 In this Agreement the following words have the following meanings:

- (a) "**Affordable Housing Unit**" means a Dwelling Unit or Dwelling Units designated as such in accordance with a building permit and/or development permit issued by the City and/or, if applicable, in accordance with any rezoning consideration applicable to the development on the Lands and includes, without limiting the generality of the foregoing, the Dwelling Unit charged by this Agreement;
- (b) "**Agreement**" means this agreement together with all schedules, attachments and priority agreements attached hereto;
- (c) "**City**" means the City of Richmond;
- (d) "**CPI**" means the All-Items Consumer Price Index for Vancouver, B.C. published from time to time by Statistics Canada, or its successor in function;
- (e) "**Daily Amount**" means \$100.00 per day as of January 1, 2009 adjusted annually thereafter by adding thereto an amount calculated by multiplying \$100.00 by the percentage change in the CPI since January 1, 2009, to January 1 of the year that a written notice is delivered to the Owner by the City pursuant to section 6.1 of this Agreement. In the absence of obvious error or mistake, any calculation by the City of the Daily Amount in any particular year shall be final and conclusive;
- (f) "**Dwelling Unit**" means a residential dwelling unit or units located or to be located on the Lands whether those dwelling units are lots, strata lots or parcels, or parts or portions thereof, and includes single family detached dwellings, duplexes, townhouses, auxiliary residential dwelling units, rental apartments and strata lots in a building strata plan and includes, where the context permits, an Affordable Housing Unit;
- (g) "**Eligible Tenant**" means a Family having a cumulative annual income of:
 - (i) in respect to a bachelor unit, \$33,500 or less;
 - (ii) in respect to a one bedroom unit, \$37,000 or less;
 - (iii) in respect to a two bedroom unit, \$45,500 or less; or
 - (iv) in respect to a three or more bedroom unit, \$55,000 or less

provided that, commencing July 1, 2012, the annual incomes set-out above shall, in each year thereafter, be adjusted, plus or minus, by adding or subtracting therefrom, as the case may be, an amount calculated that is equal to the Core Need Income Threshold data and/or other applicable data produced by Canada Mortgage Housing Corporation in the years when such data is released. In the event that, in applying the values set-out above, the rental increase is at any time greater than the rental increase permitted by the *Residential Tenancy Act*, then the increase will be reduced to the maximum amount permitted by the *Residential Tenancy Act*. In the absence of obvious error or mistake, any calculation by the City of an Eligible Tenant's permitted income in any particular year shall be final and conclusive;

- (h) **"Family"** means:
 - (i) a person;
 - (ii) two or more persons related by blood, marriage or adoption; or
 - (iii) a group of not more than 6 persons who are not related by blood, marriage or adoption
- (i) **"Housing Covenant"** means the agreements, covenants and charges granted by the Owner to the City (which includes covenants pursuant to section 219 of the *Land Title Act*) charging the Lands registered on ___ day of _____, 201_, under number _____;
- (j) **"Interpretation Act"** means the *Interpretation Act*, R.S.B.C. 1996, Chapter 238, together with all amendments thereto and replacements thereof;
- (k) **"Land Title Act"** means the *Land Title Act*, R.S.B.C. 1996, Chapter 250, together with all amendments thereto and replacements thereof;
- (l) **"Lands"** means the following lands and premises situate in the City of Richmond and, including a building or a portion of a building, into which said land is Subdivided:

PID: 028-324-030
 Lot A Section 6 Block 4 North Range 6 West New Westminster District Plan BCP45903
- (m) **"Local Government Act"** means the *Local Government Act*, R.S.B.C. 1996, Chapter 323, together with all amendments thereto and replacements thereof;
- (n) **"LTO"** means the New Westminster Land Title Office or its successor;
- (o) **"Owner"** means the party described on page 1 of this Agreement as the Owner and any subsequent owner of the Lands or of any part into which the Lands are

Subdivided, and includes any person who is a registered owner in fee simple of an Affordable Housing Unit from time to time;

- (p) **“Permitted Rent”** means no greater than:
- (i) \$837.00 a month for a bachelor unit;
 - (ii) \$925.00 a month for a one bedroom unit;
 - (iii) \$1,137.00 a month for a two bedroom unit; and
 - (iv) \$1,375.00 a month for a three (or more) bedroom unit,
- provided that, commencing July 1, 2012, the rents set-out above shall, in each year thereafter, be adjusted, plus or minus, by adding or subtracting therefrom, as the case may be, an amount calculated that is equal to the Core Need Income Threshold data and/or other applicable data produced by Canada Mortgage Housing Corporation in the years when such data is released. In the event that, in applying the values set-out above, the rental increase is at any time greater than the rental increase permitted by the *Residential Tenancy Act*, then the increase will be reduced to the maximum amount permitted by the *Residential Tenancy Act*. In the absence of obvious error or mistake, any calculation by the City of the Permitted Rent in any particular year shall be final and conclusive;
- (q) **“Real Estate Development Marketing Act”** means the *Real Estate Development Marketing Act*, S.B.C. 2004, Chapter 41, together with all amendments thereto and replacements thereof;
- (r) **“Residential Tenancy Act”** means the *Residential Tenancy Act*, S.B.C. 2002, Chapter 78, together with all amendments thereto and replacements thereof;
- (s) **“Strata Property Act”** means the *Strata Property Act* S.B.C. 1998, Chapter 43, together with all amendments thereto and replacements thereof;
- (t) **“Subdivide”** means to divide, apportion, consolidate or subdivide the Lands, or the ownership or right to possession or occupation of the Lands into two or more lots, strata lots, parcels, parts, portions or shares, whether by plan, descriptive words or otherwise, under the *Land Title Act*, the *Strata Property Act*, or otherwise, and includes the creation, conversion, organization or development of “cooperative interests” or “shared interest in land” as defined in the *Real Estate Development Marketing Act*;
- (u) **“Tenancy Agreement”** means a tenancy agreement, lease, license or other agreement granting rights to occupy an Affordable Housing Unit; and
- (v) **“Tenant”** means an occupant of an Affordable Housing Unit by way of a Tenancy Agreement.

1.2 In this Agreement:

- (a) reference to the singular includes a reference to the plural, and *vice versa*, unless the context requires otherwise;
- (b) article and section headings have been inserted for ease of reference only and are not to be used in interpreting this Agreement;
- (c) if a word or expression is defined in this Agreement, other parts of speech and grammatical forms of the same word or expression have corresponding meanings;
- (d) reference to any enactment includes any regulations, orders or directives made under the authority of that enactment;
- (e) reference to any enactment is a reference to that enactment as consolidated, revised, amended, re-enacted or replaced, unless otherwise expressly provided;
- (f) the provisions of section 25 of the *Interpretation Act* with respect to the calculation of time apply;
- (g) time is of the essence;
- (h) all provisions are to be interpreted as always speaking;
- (i) reference to a "party" is a reference to a party to this Agreement and to that party's respective successors, assigns, trustees, administrators and receivers. Wherever the context so requires, reference to a "party" also includes an Eligible Tenant, agent, officer and invitee of the party;
- (j) reference to a "day", "month", "quarter" or "year" is a reference to a calendar day, calendar month, calendar quarter or calendar year, as the case may be, unless otherwise expressly provided; and
- (k) where the word "including" is followed by a list, the contents of the list are not intended to circumscribe the generality of the expression preceding the word "including".

ARTICLE 2

USE AND OCCUPANCY OF AFFORDABLE HOUSING UNITS

- 2.1 The Owner agrees that each Affordable Housing Unit may only be used as a permanent residence occupied by one Eligible Tenant. An Affordable Housing Unit must not be occupied by the Owner, the Owner's family members (unless the Owner's family members qualify as Eligible Tenants), or any tenant or guest of the Owner, other than an Eligible Tenant.
- 2.2 Within 30 days after receiving notice from the City, the Owner must, in respect of each Affordable Housing Unit, provide to the City a statutory declaration, substantially in the

form (with, in the City Solicitor's discretion, such further amendments or additions as deemed necessary) attached as Appendix A, sworn by the Owner, containing all of the information required to complete the statutory declaration. The City may request such statutory declaration in respect to each Affordable Housing Unit no more than once in any calendar year; provided, however, notwithstanding that the Owner may have already provided such statutory declaration in the particular calendar year, the City may request and the Owner shall provide to the City such further statutory declarations as requested by the City in respect to an Affordable Housing Unit if, in the City's absolute determination, the City believes that the Owner is in breach of any of its obligations under this Agreement.

- 2.3 The Owner hereby irrevocably authorizes the City to make such inquiries as it considers necessary in order to confirm that the Owner is complying with this Agreement.

ARTICLE 3

DISPOSITION AND ACQUISITION OF AFFORDABLE HOUSING UNITS

- 3.1 The Owner will not permit an Affordable Housing Unit Tenancy Agreement to be subleased or assigned.
- 3.2 If this Housing Agreement encumbers more than one Affordable Housing Unit, then the Owner may not, without the prior written consent of the City Solicitor, sell or transfer less than five (5) Affordable Housing Units in a single or related series of transactions with the result that when the purchaser or transferee of the Affordable Housing Units becomes the owner, the purchaser or transferee will be the legal and beneficial owner of not less than five (5) Affordable Housing Units.
- 3.3 The Owner must not rent, lease, license or otherwise permit occupancy of any Affordable Housing Unit except to an Eligible Tenant and except in accordance with the following additional conditions:
- (a) the Affordable Housing Unit will be used or occupied only pursuant to a Tenancy Agreement;
 - (b) the monthly rent payable for the Affordable Housing Unit will not exceed the Permitted Rent applicable to that class of Affordable Housing Unit;
 - (c) the Owner will not require the Tenant or any permitted occupant to pay any strata fees, strata property contingency reserve fees or any extra charges or fees for use of any common property, limited common property, or other common areas, facilities or amenities, or for sanitary sewer, storm sewer, water, other utilities, property or similar tax; provided, however, if the Affordable Housing Unit is a strata unit and the following costs are not part of strata or similar fees, an Owner may charge the Tenant the Owner's cost, if any, of providing cablevision, telephone, other telecommunications, gas, or electricity fees, charges or rates;
 - (d) the Owner will attach a copy of this Agreement to every Tenancy Agreement;

- (e) the Owner will include in the Tenancy Agreement a clause requiring the Tenant and each permitted occupant of the Affordable Housing Unit to comply with this Agreement;
- (f) the Owner will include in the Tenancy Agreement a clause entitling the Owner to terminate the Tenancy Agreement if:
 - (i) an Affordable Housing Unit is occupied by a person or persons other than an Eligible Tenant;
 - (ii) the annual income of an Eligible Tenant rises above the applicable maximum amount specified in section 1.1(g) of this Agreement;
 - (iii) the Affordable Housing Unit is occupied by more than the number of people the City's building inspector determines can reside in the Affordable Housing Unit given the number and size of bedrooms in the Affordable Housing Unit and in light of any relevant standards set by the City in any bylaws of the City;
 - (iv) the Affordable Housing Unit remains vacant for three consecutive months or longer, notwithstanding the timely payment of rent; and/or
 - (v) the Tenant subleases the Affordable Housing Unit or assigns the Tenancy Agreement in whole or in part,

and in the case of each breach, the Owner hereby agrees with the City to forthwith provide to the Tenant a notice of termination. Except for section 3.3(f)(ii) of this Agreement [*Termination of Tenancy Agreement if Annual Income of Tenant rises above amount prescribed in section 1.1(g) of this Agreement*], the notice of termination shall provide that the termination of the tenancy shall be effective 30 days following the date of the notice of termination. In respect to section 3.3(f)(ii) of this Agreement, termination shall be effective on the day that is six (6) months following the date that the Owner provided the notice of termination to the Tenant;

- (g) the Tenancy Agreement will identify all occupants of the Affordable Housing Unit and will stipulate that anyone not identified in the Tenancy Agreement will be prohibited from residing at the Affordable Housing Unit for more than 30 consecutive days or more than 45 days total in any calendar year; and
- (h) the Owner will forthwith deliver a certified true copy of the Tenancy Agreement to the City upon demand.

3.4 If the Owner has terminated the Tenancy Agreement, then the Owner shall use best efforts to cause the Tenant and all other persons that may be in occupation of the Affordable Housing Unit to vacate the Affordable Housing Unit on or before the effective date of termination.

ARTICLE 4
DEMOLITION OF AFFORDABLE HOUSING UNIT

- 4.1 The Owner will not demolish an Affordable Housing Unit unless:
- (a) the Owner has obtained the written opinion of a professional engineer or architect who is at arm's length to the Owner that it is no longer reasonable or practical to repair or replace any structural component of the Affordable Housing Unit, and the Owner has delivered to the City a copy of the engineer's or architect's report; or
 - (b) the Affordable Housing Unit is damaged or destroyed, to the extent of 40% or more of its value above its foundations, as determined by the City in its sole discretion,

and, in each case, a demolition permit for the Affordable Housing Unit has been issued by the City and the Affordable Housing Unit has been demolished under that permit.

Following demolition, the Owner will use and occupy any replacement Dwelling Unit in compliance with this Agreement and the Housing Covenant both of which will apply to any replacement Dwelling Unit to the same extent and in the same manner as those agreements apply to the original Dwelling Unit, and the Dwelling Unit must be approved by the City as an Affordable Housing Unit in accordance with this Agreement.

ARTICLE 5
STRATA CORPORATION BYLAWS

- 5.1 This Agreement will be binding upon all strata corporations created upon the strata title Subdivision of the Lands or any Subdivided parcel of the Lands.
- 5.2 Any strata corporation bylaw which prevents, restricts or abridges the right to use the Affordable Housing Units as rental accommodation will have no force and effect.
- 5.3 No strata corporation shall pass any bylaws preventing, restricting or abridging the use of the Affordable Housing Units as rental accommodation.
- 5.4 No strata corporation shall pass any bylaw or approve any levies which would result in only the Owner or the Tenant or any other permitted occupant of an Affordable Housing Unit (and not include all the owners, tenants, or any other permitted occupants of all the strata lots in the applicable strata plan which are not Affordable Housing Units) paying any extra charges or fees for the use of any common property, limited common property or other common areas, facilities, or amenities of the strata corporation.
- 5.5 The strata corporation shall not pass any bylaw or make any rule which would restrict the Owner or the Tenant or any other permitted occupant of an Affordable Housing Unit from using and enjoying any common property, limited common property or other common areas, facilities or amenities of the strata corporation except on the same basis that governs

the use and enjoyment of any common property, limited common property or other common areas, facilities or amenities of the strata corporation by all the owners, tenants, or any other permitted occupants of all the strata lots in the applicable strata plan which are not Affordable Housing Units.

ARTICLE 6 DEFAULT AND REMEDIES

- 6.1 The Owner agrees that, in addition to any other remedies available to the City under this Agreement or the Housing Covenant or at law or in equity, if an Affordable Housing Unit is used or occupied in breach of this Agreement or rented at a rate in excess of the Permitted Rent or the Owner is otherwise in breach of any of its obligations under this Agreement or the Housing Covenant, the Owner will pay the Daily Amount to the City for every day that the breach continues after forty-five (45) days written notice from the City to the Owner stating the particulars of the breach. For greater certainty, the City is not entitled to give written notice with respect to any breach of the Agreement until any applicable cure period, if any, has expired. The Daily Amount is due and payable five (5) business days following receipt by the Owner of an invoice from the City for the same.
- 6.2 The Owner acknowledges and agrees that a default by the Owner of any of its promises, covenants, representations or warranties set-out in the Housing Covenant shall also constitute a default under this Agreement.

ARTICLE 7 MISCELLANEOUS

7.1 Housing Agreement

The Owner acknowledges and agrees that:

- (a) this Agreement includes a housing agreement entered into under section 905 of the *Local Government Act*;
- (b) where an Affordable Housing Unit is a separate legal parcel the City may file notice of this Agreement in the LTO against the title to the Affordable Housing Unit and, in the case of a strata corporation, may note this Agreement on the common property sheet; and
- (c) where the Lands have not yet been Subdivided to create the separate parcels to be charged by this Agreement, the City may file a notice of this Agreement in the LTO against the title to the Lands. If this Agreement is filed in the LTO as a notice under section 905 of the *Local Government Act* prior to the Lands having been Subdivided, and it is the intention that this Agreement is, once separate legal parcels are created and/or the Lands are subdivided, to charge and secure only the legal parcels or Subdivided Lands which contain the Affordable Housing Units, then the City Solicitor shall be entitled, without further City Council approval, authorization or bylaw, to partially discharge this Agreement accordingly. The

Owner acknowledges and agrees that notwithstanding a partial discharge of this Agreement, this Agreement shall be and remain in full force and effect and, but for the partial discharge, otherwise unamended. Further, the Owner acknowledges and agrees that in the event that the Affordable Housing Unit is in a strata corporation, this Agreement shall remain noted on the strata corporation's common property sheet.

7.2 Modification

Subject to section 7.1 of this Agreement, this Agreement may be modified or amended from time to time, by consent of the Owner and a bylaw duly passed by the Council of the City and thereafter if it is signed by the City and the Owner.

7.3 Management

The Owner covenants and agrees that it will furnish good and efficient management of the Affordable Housing Units and will permit representatives of the City to inspect the Affordable Housing Units at any reasonable time, subject to the notice provisions in the *Residential Tenancy Act*. The Owner further covenants and agrees that it will maintain the Affordable Housing Units in a good state of repair and fit for habitation and will comply with all laws, including health and safety standards applicable to the Lands. Notwithstanding the foregoing, the Owner acknowledges and agrees that the City, in its absolute discretion, may require the Owner, at the Owner's expense, to hire a person or company with the skill and expertise to manage the Affordable Housing Units.

7.4 Indemnity

The Owner will indemnify and save harmless the City and each of its elected officials, officers, directors, and agents, and their heirs, executors, administrators, personal representatives, successors and assigns, from and against all claims, demands, actions, loss, damage, costs and liabilities, which all or any of them will or may be liable for or suffer or incur or be put to by reason of or arising out of:

- (a) any negligent act or omission of the Owner, or its officers, directors, agents, contractors or other persons for whom at law the Owner is responsible relating to this Agreement;
- (b) the construction, maintenance, repair, ownership, lease, license, operation, management or financing of the Lands or any Affordable Housing Unit or the enforcement of any Tenancy Agreement; and/or
- (c) without limitation, any legal or equitable wrong on the part of the Owner or any breach of this Agreement by the Owner.

7.5 Release

The Owner hereby releases and forever discharges the City and each of its elected officials, officers, directors, and agents, and its and their heirs, executors, administrators,

personal representatives, successors and assigns, from and against all claims, demands, damages, actions, or causes of action by reason of or arising out of or which would or could not occur but for the:

- (a) construction, maintenance, repair, ownership, lease, license, operation or management of the Lands or any Affordable Housing Unit under this Agreement; and/or
- (b) the exercise by the City of any of its rights under this Agreement or an enactment.

7.6 Survival

The obligations of the Owner set out in this Agreement will survive termination or discharge of this Agreement.

7.7 Priority

The Owner will do everything necessary, at the Owner's expense, to ensure that this Agreement, if required by the City Solicitor, will be noted against title to the Lands in priority to all financial charges and encumbrances which may have been registered or are pending registration against title to the Lands save and except those specifically approved in advance in writing by the City Solicitor or in favour of the City, and that a notice under section 905(5) of the *Local Government Act* will be filed on the title to the Lands.

7.8 City's Powers Unaffected

This Agreement does not:

- (a) affect or limit the discretion, rights, duties or powers of the City under any enactment or at common law, including in relation to the use or subdivision of the Lands;
- (b) impose on the City any legal duty or obligation, including any duty of care or contractual or other legal duty or obligation, to enforce this Agreement;
- (c) affect or limit any enactment relating to the use or subdivision of the Lands; or
- (d) relieve the Owner from complying with any enactment, including in relation to the use or subdivision of the Lands.

7.9 Agreement for Benefit of City Only

The Owner and the City agree that:

- (a) this Agreement is entered into only for the benefit of the City;
- (b) this Agreement is not intended to protect the interests of the Owner, any Tenant, or any future owner, lessee, occupier or user of the Lands or the building or any portion thereof, including any Affordable Housing Unit; and

- (c) the City may at any time execute a release and discharge of this Agreement, without liability to anyone for doing so, and without obtaining the consent of the Owner.

7.10 No Public Law Duty

Where the City is required or permitted by this Agreement to form an opinion, exercise a discretion, express satisfaction, make a determination or give its consent, the Owner agrees that the City is under no public law duty of fairness or natural justice in that regard and agrees that the City may do any of those things in the same manner as if it were a private party and not a public body.

7.11 Notice

Any notice required to be served or given to a party herein pursuant to this Agreement will be sufficiently served or given if delivered, to the postal address of the Owner set out in the records at the LTO, and in the case of the City addressed:

To: Clerk, City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

And to: City Solicitor
City of Richmond
6911 No. 3 Road
Richmond, BC V6Y 2C1

or to the most recent postal address provided in a written notice given by each of the parties to the other. Any notice which is delivered is to be considered to have been given on the first day after it is dispatched for delivery.

7.12 Enuring Effect

This Agreement will extend to and be binding upon and enure to the benefit of the parties hereto and their respective successors and permitted assigns.

7.13 Severability

If any provision of this Agreement is found to be invalid or unenforceable, such provision or any part thereof will be severed from this Agreement and the resultant remainder of this Agreement will remain in full force and effect.

7.14 Waiver

All remedies of the City will be cumulative and may be exercised by the City in any order or concurrently in case of any breach and each remedy may be exercised any number of times with respect to each breach. Waiver of or delay in the City exercising

any or all remedies will not prevent the later exercise of any remedy for the same breach or any similar or different breach.

7.15 **Sole Agreement**

This Agreement, and any documents signed by the Owners contemplated by this Agreement (including, without limitation, the Housing Covenant), represent the whole agreement between the City and the Owner respecting the use and occupation of the Affordable Housing Units, and there are no warranties, representations, conditions or collateral agreements made by the City except as set forth in this Agreement. In the event of any conflict between this Agreement and the Housing Covenant, this Agreement shall, to the extent necessary to resolve such conflict, prevail.

7.16 **Further Assurance**

Upon request by the City the Owner will forthwith do such acts and execute such documents as may be reasonably necessary in the opinion of the City to give effect to this Agreement.

7.17 **Covenant Runs with the Lands**

This Agreement burdens and runs with the Lands and every parcel into which it is Subdivided in perpetuity. All of the covenants and agreements contained in this Agreement are made by the Owner for itself, its personal administrators, successors and assigns, and all persons who after the date of this Agreement, acquire an interest in the Lands.

7.18 **Equitable Remedies**

The Owner acknowledges and agrees that damages would be an inadequate remedy for the City for any breach of this Agreement and that the public interest strongly favours specific performance, injunctive relief (mandatory or otherwise), or other equitable relief, as the only adequate remedy for a default under this Agreement.

7.19 **No Joint Venture**

Nothing in this Agreement will constitute the Owner as the agent, joint venturer, or partner of the City or give the Owner any authority to bind the City in any way.

7.20 **Applicable Law**

Unless the context otherwise requires, the laws of British Columbia (including, without limitation, the *Residential Tenancy Act*) will apply to this Agreement and all statutes referred to herein are enactments of the Province of British Columbia.

7.21 Deed and Contract

By executing and delivering this Agreement the Owner intends to create both a contract and a deed executed and delivered under seal.

7.22 Joint and Several

If the Owner is comprised of more than one person, firm or body corporate, then the covenants, agreements and obligations of the Owner shall be joint and several.

7.23 Limitation on Owner's Obligations

The Owner is only liable for breaches of this Agreement that occur while the Owner is the registered owner of the Lands provided however that notwithstanding that the Owner is no longer the registered owner of the Lands, the Owner will remain liable for breaches of this Agreement that occurred while the Owner was the registered owner of the Lands.

IN WITNESS WHEREOF the parties hereto have executed this Agreement as of the day and year first above written.

6951 ELMBRIDGE WAY LTD.,
by its authorized signatory(ies):

Per: _____
Name:

Per: _____
Name:

CITY OF RICHMOND
APPROVED for content by originating dept.
APPROVED for legality by Solicitor
DATE OF COUNCIL APPROVAL

CITY OF RICHMOND
by its authorized signatory(ies):

Per: _____
Malcolm D. Brodie, Mayor

Per: _____
David Weber, Corporate Officer

Appendix A to Housing Agreement

STATUTORY DECLARATION

<p>CANADA</p> <p>PROVINCE OF BRITISH COLUMBIA</p>	<p>)</p> <p>)</p> <p>)</p> <p>)</p>	<p>IN THE MATTER OF A</p> <p>HOUSING AGREEMENT WITH</p> <p>THE CITY OF RICHMOND</p> <p>("Housing Agreement")</p>
---	-------------------------------------	--

TO WIT:

I, _____ of _____, British Columbia, do solemnly declare that:

1. I am the owner or authorized signatory of the owner of _____ (the "Affordable Housing Unit"), and make this declaration to the best of my personal knowledge.
2. This declaration is made pursuant to the Housing Agreement in respect of the Affordable Housing Unit.
3. For the period from _____ to _____ the Affordable Housing Unit was occupied only by the Eligible Tenants (as defined in the Housing Agreement) whose names and current addresses and whose employer's names and current addresses appear below:

[Names, addresses and phone numbers of Eligible Tenants and their employer(s)]
4. The rent charged each month for the Affordable Housing Unit is as follows:
 - (a) the monthly rent on the date 365 days before this date of this statutory declaration: \$ _____ per month;
 - (b) the rent on the date of this statutory declaration: \$ _____; and
 - (c) the proposed or actual rent that will be payable on the date that is 90 days after the date of this statutory declaration: \$ _____.
5. I acknowledge and agree to comply with the Owner's obligations under the Housing Agreement, and other charges in favour of the City noted or registered in the Land Title Office against the land on which the Affordable Housing Unit is situated and confirm that the Owner has complied with the Owner's obligations under the Housing Agreement.

6. I make this solemn declaration, conscientiously believing it to be true and knowing that it is of the same force and effect as if made under oath and pursuant to the *Canada Evidence Act*.

DECLARED BEFORE ME at the City of _____)
_____, in the Province of British)
Columbia, this _____ day of)
_____, 20____.)

_____)
A Commissioner for Taking Affidavits in the)
Province of British Columbia)

DECLARANT

PRIORITY AGREEMENT

In respect to a Housing Agreement (the "Housing Agreement") made pursuant to section 905 of the *Local Government Act* between the City of Richmond and **6951 Elmbridge Way Ltd.** (the "Owner") in respect to the lands and premises legally known and described as:

PID: 028-324-030

Lot A Section 6 Block 4 North Range 6 West New Westminster District Plan BCP45903

(the "Lands")

THE BANK OF NOVA SCOTIA (the "Chargeholder") is the holder of a Mortgage and Assignment of Rents encumbering the Lands which Mortgage and Assignment of Rents were registered in the Lower Mainland LTO under numbers BB1330619 and BB1330620, respectively ("the Bank Charges").

The Chargeholder, being the holder of the Bank Charges, by signing below, in consideration of the payment of Ten Dollars (\$10.00) and other good and valuable consideration (the receipt and sufficiency of which is hereby acknowledged and agreed to by the Chargeholder), hereby consents to the granting of the covenants in the Housing Agreement by the Owner and hereby covenants that the Housing Agreement shall bind the Bank Charges in the Lands and shall rank in priority upon the Lands over the Bank Charges as if the Housing Agreement had been signed, sealed and delivered and noted on title to the Lands prior to the Bank Charges and prior to the advance of any monies pursuant to the Bank Charges. The grant of priority is irrevocable, unqualified and without reservation or limitation.

THE BANK OF NOVA SCOTIA

by its authorized signatory(ies):

Per: _____
Name:

Per: _____
Name:

PRIORITY AGREEMENT

In respect to a Housing Agreement (the "Housing Agreement") made pursuant to section 905 of the *Local Government Act* between the City of Richmond and **6951 Elmbridge Way Ltd.** (the "Owner") in respect to the lands and premises legally known and described as:

PID: 028-324-030

Lot A Section 6 Block 4 North Range 6 West New Westminster District Plan BCP45903

(the "Lands")

AVIVA INSURANCE COMPANY OF CANADA (the "Chargeholder") is the holder of a Mortgage and Assignment of Rents encumbering the Lands which Mortgage and Assignment of Rents were registered in the Lower Mainland LTO under numbers BB1330621 and BB1330622, respectively ("the Bank Charges").

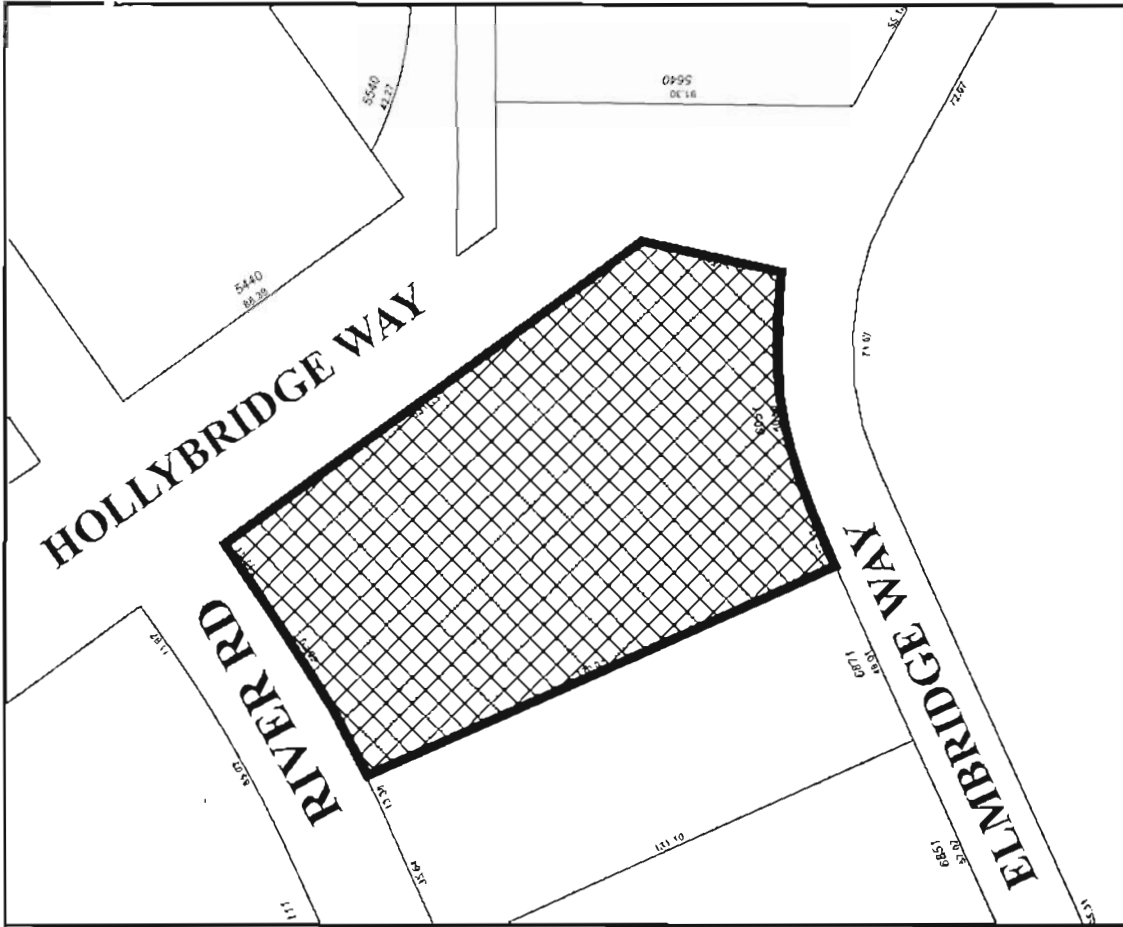
The Chargeholder, being the holder of the Bank Charges, by signing below, in consideration of the payment of Ten Dollars (\$10.00) and other good and valuable consideration (the receipt and sufficiency of which is hereby acknowledged and agreed to by the Chargeholder), hereby consents to the granting of the covenants in the Housing Agreement by the Owner and hereby covenants that the Housing Agreement shall bind the Bank Charges in the Lands and shall rank in priority upon the Lands over the Bank Charges as if the Housing Agreement had been signed, sealed and delivered and noted on title to the Lands prior to the Bank Charges and prior to the advance of any monies pursuant to the Bank Charges. The grant of priority is irrevocable, unqualified and without reservation or limitation.

AVIVA INSURANCE COMPANY OF CANADA

by its authorized signatory(ies):

Per: _____
Name:

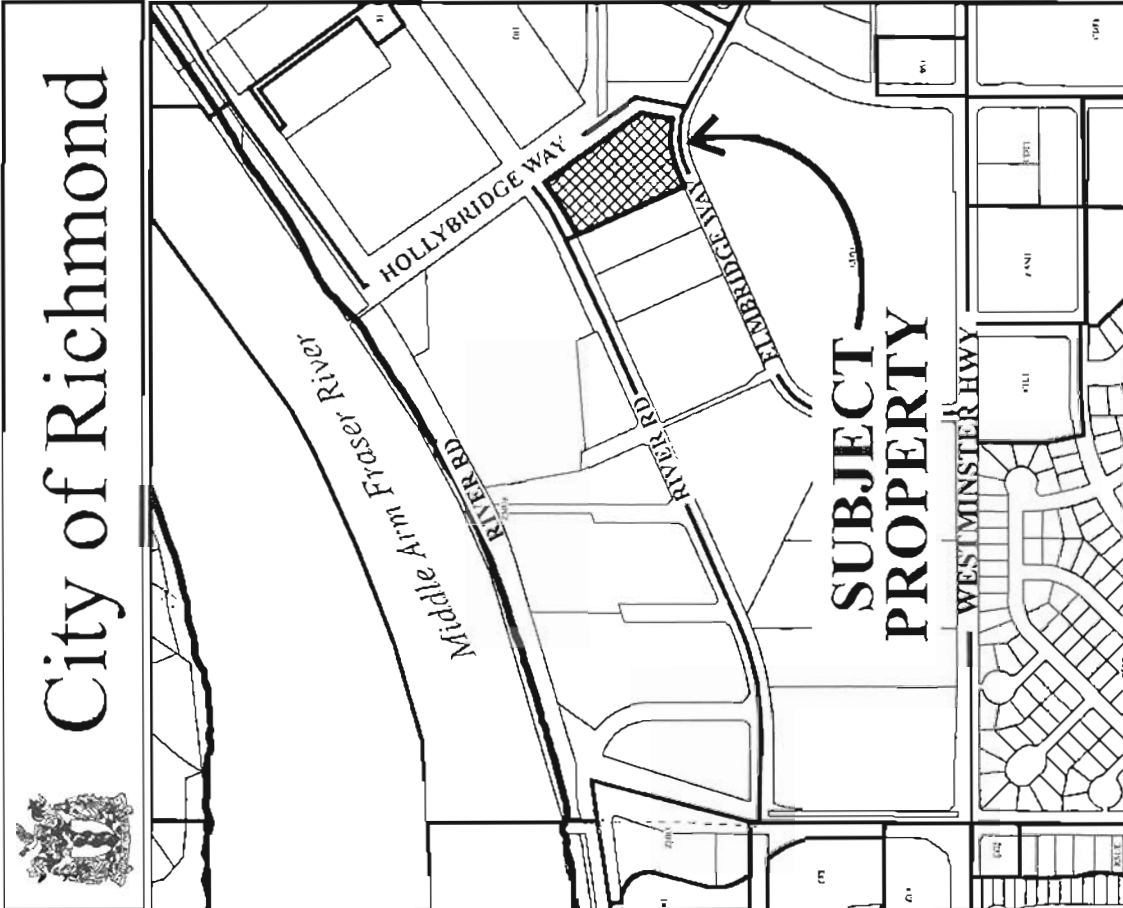
Per: _____
Name:



Original Date: 08/16/11

Revision Date:

Note: Dimensions are in METERS



6951 Elmbriidge Way





To: Planning Committee **Date:** February 24, 2012
From: Brian J. Jackson, MCIP **File:** RZ 11-591786
 Director of Development
Re: **Application by Ying Yi Zhang for Rezoning at 10231 and 10251 Ruskin Road from Single Detached (RS1/E) to Single Detached (RS2/B)**

Staff Recommendation

1. That Bylaw No. 8871, for the rezoning of 10231 and 10251 Ruskin Road from "Single Detached (RS1/E)" to "Single Detached (RS2/B)", be introduced and given first reading.

Brian J. Jackson, MCIP
 Director of Development

EL:blg
 Att.

FOR ORIGINATING DEPARTMENT USE ONLY		
ROUTED TO: Affordable Housing	CONCURRENCE Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	<div style="text-align: right; font-size: small;"><i>Acting</i></div> CONCURRENCE OF GENERAL MANAGER

Staff Report

Origin

Ying Yi Zhang has applied to the City of Richmond for permission to rezone 10231 and 10251 Ruskin Road (**Attachment 1**) from Single Detached (RS1/E) to Single Detached (RS2/B) in order to permit the property to be subdivided into three (3) single family lots (**Attachment 2**).

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 3**).

Surrounding Development

To the north: Existing single-family lots zoned Single Detached (RS1/E);

To the east: Across Ruskin Road, recently developed single-family lots zoned Single Detached (RS2/B);

To the south: Existing single-family lots zoned Single Detached (RS1/E); and

To the west: Newer single-family dwellings on lots zoned Single Detached (RS1/E) fronting Leonard Road.

Related Policies & Studies

Lot Size Policy 5469

The subject property is located within the Single-Family Lot Size Policy No. 5469 (adopted by Council February 19, 2001) (**Attachment 4**). This Policy permits rezoning and subdivision of lots within the policy area in accordance with "Single Detached (RS2/B)" (minimum 12 m wide and 360 m² in area). This redevelopment proposal would enable the development site to be subdivided into three (3) lots, each approximately 13.4 m (442 ft.) wide and 491 m² (5,285 ft²) in area.

Affordable Housing

The Richmond Affordable Housing Strategy requires a suite on at least 50% of new lots, or a cash-in-lieu contribution of \$1.00 per square foot of total building area toward the Affordable Housing Reserve Fund for single-family rezoning applications.

The applicant is proposing to provide a legal secondary suite on two (2) of the three (3) future lots at the subject site. To ensure that the secondary suites are built to the satisfaction of the City in accordance with the Strategy, the applicant is required to enter into a legal agreement registered on Title, stating that no final Building Permit inspection is to be granted until the secondary suites are constructed to the satisfaction of the City, in accordance with the BC Building Code and the City's Zoning Bylaw. This legal agreement is a condition of rezoning. This agreement will be discharged from Title on the one (1) lot where the secondary suites are not required by the Affordable Housing Strategy after the requirements are satisfied, at the initiation of the applicant.

Should the applicants change their mind about the affordable housing option selected, a voluntary contribution to the City’s Affordable Housing Reserve Fund in-lieu of providing the secondary suite will be accepted. In this case, the voluntary contribution would be required to be submitted prior to final adoption of the rezoning bylaw, and would be based on \$1.00 per square foot of total building area of the single detached developments (i.e. \$8,507).

Floodplain Management Implementation Strategy

The applicant is required to comply with the Flood Plain Designation and Protection Bylaw (No. 8204). In accordance with the Flood Management Strategy, a Flood Indemnity Restrictive Covenant specifying the minimum flood construction level is required prior to rezoning bylaw adoption.

Public Input

There have been no concerns expressed by the public about the development proposal in response to the placement of the rezoning sign on the property.

Staff Comments

Tree Preservation

A Tree Survey and a Certified Arborist’s report were submitted in support of the application; seven (7) trees and two (2) hedgerows were identified and assessed:

- five (5) bylaw-sized tree and one (1) hedgerow on the subject property; and
- two (2) bylaw-sized trees and one (1) hedgerow on the City boulevard in front of the site.

The City’s Tree Preservation Coordinator reviewed the Arborist’s Report and concurs with the arborist’s recommendations to remove four (4) bylaw-sized trees onsite. The 90 cm caliper Black Pine tree (tag #41) displays an “unnatural” lean at the base of the tree (no basal flare is visible at the south side of the tree in the direction of the lean). In addition, 50% of the trees critical root zone is located within the allowable building footprint (the building depth would need to be reduced by a minimum 30% in order to protect this tree). Due to the lean and the close proximity of the tree to the building, this tree should be removed and replaced.

Three (3) trees identified as tree tag #36 (65cm cal Birch), #37 (50cm cal Cherry) and #40 (33cm cal Crab Apple) have all been historically topped and as a result have developed decay pockets and weakly attached secondary branch growth that is prone to failure. These three (3) trees are not good candidates for retention and should be removed and replaced.

Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), the size requirements for replacement tree in the Tree Protection Bylaw No. 8057, and the City’s Tree Preservation Coordinator recommendations, a total of eight (8) replacement trees with the following minimum calliper sizes are required:

# Trees to be removed	dbh	# trees to be replaced	Min. calliper of deciduous tree	or	Min. height of coniferous tree
1	31-40 cm	2	8 cm		4.0 m
1	41-50 cm	2	9 cm		5.0 m
2	60 cm +	4	11 cm		6.0 m

To ensure that the replacement trees are planted and maintained, the applicant is required to submit a Landscaping Security to the City in the amount of \$4,000 (\$500/tree) prior to final adoption of the rezoning bylaw.

The applicant has agreed to retain a 30 cm caliper Holly tree (tag #42) along the west property line and a hedgerow along the north property line. A Tree Retention Plan is attached (**Attachment 5**). Tree protection fencing must be installed to City standards prior to demolition of the existing dwelling on the subject site, and must remain in place until construction and landscaping on the future lots is completed. As a condition to rezoning, the applicant is required to submit a proof of contract with a Certified Arborist to monitor all works to be done near or within all tree protection zones.

Parks Operations staff have agreed to the proposed removal of two (2) bylaw-sized trees along Ruskin Road. Both trees have been severely topped for overhead hydro lines and now have poor structure as a result. A cash compensation for the street tree removal in the amount of \$2,600 is determined. The hedgerow along Ruskin Road will be protected.

Site Servicing

Prior to final adoption of the rezoning, the developer is required to enter into a standard Servicing Agreement for the design and construction of frontage improvements from Ryan Road to the north property line of 10231 Ruskin Road. The improvements to include, but not limited to: storm sewer, curb and gutter, pavement widening (based on 8.5 m road width), 1.5 m concrete sidewalk at the west property line of Ruskin Road, grass and treed boulevard (trees at 9 m spacing), and street lighting.

At future Subdivision stage, the developer will be required to pay Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fee, as well as to provide underground hydro, telephone and cable service connections for each lot.

At future Building Permit stage, the developer will be required to pay a Late Comer Fee (Storm Sewer) including 8% annual interest since August 27, 2004, as benefiting properties.

Analysis

Development Potential of Adjacent Properties

Property to the North

Based on the existing lot geometry, none of the six (6) properties to the north of the subject site (10111 to 10211 Ruskin Road) has development potential on its own. Land assembly of a minimum of two (2) lots is required to rezone and subdivide to create additional lots (i.e. 2 RS1/E lots into 3 RS2/B lots).

Property to the South

The width of the adjacent property to the south at 8311 Ryan Road is approximately 20.1 m wide, which is approximately 3.9 m short to create for two (2) RS2/B lots fronting Ryan Road or approximately 5.9 m short to create for two (2) RS2/B lots fronting Ruskin Road. Given the existing lot geometry, 8311 Ryan Road has no development potential on its own.

Proposed Development

This is a relatively straight-forward redevelopment proposal. This development proposal is consistent with Lot Size Policy 5469 and is located within an established residential neighbourhood that has a strong presence of small lots zoned Single Detached (RS1/B), created from larger lots. Since there is no development potential at 8311 Ryan Road, frontage improvement across the Ruskin Road frontage of 8311 Ryan Road is secured as part of this rezoning application to achieve a consistent street design along Ruskin Road. The list of rezoning conditions is included as **Attachment 6**, which has been agreed to by the applicant (signed acceptance on file). On this basis, staff support the application.

Financial Impact or Economic Impact

None.

Conclusion

This rezoning application is to permit subdivision of two (2) larger lots into three (3) smaller lots (approximately 13.4 m wide). This rezoning application complies with all applicable land use designations and policies contained within the Official Community Plan (OCP). The list of rezoning conditions is included as **Attachment 6**, which has been agreed to by the applicant (signed acceptance on file). On this basis, staff recommends support of the application.



Edwin Lee
Planning Technician – Design
(604-276-4121)

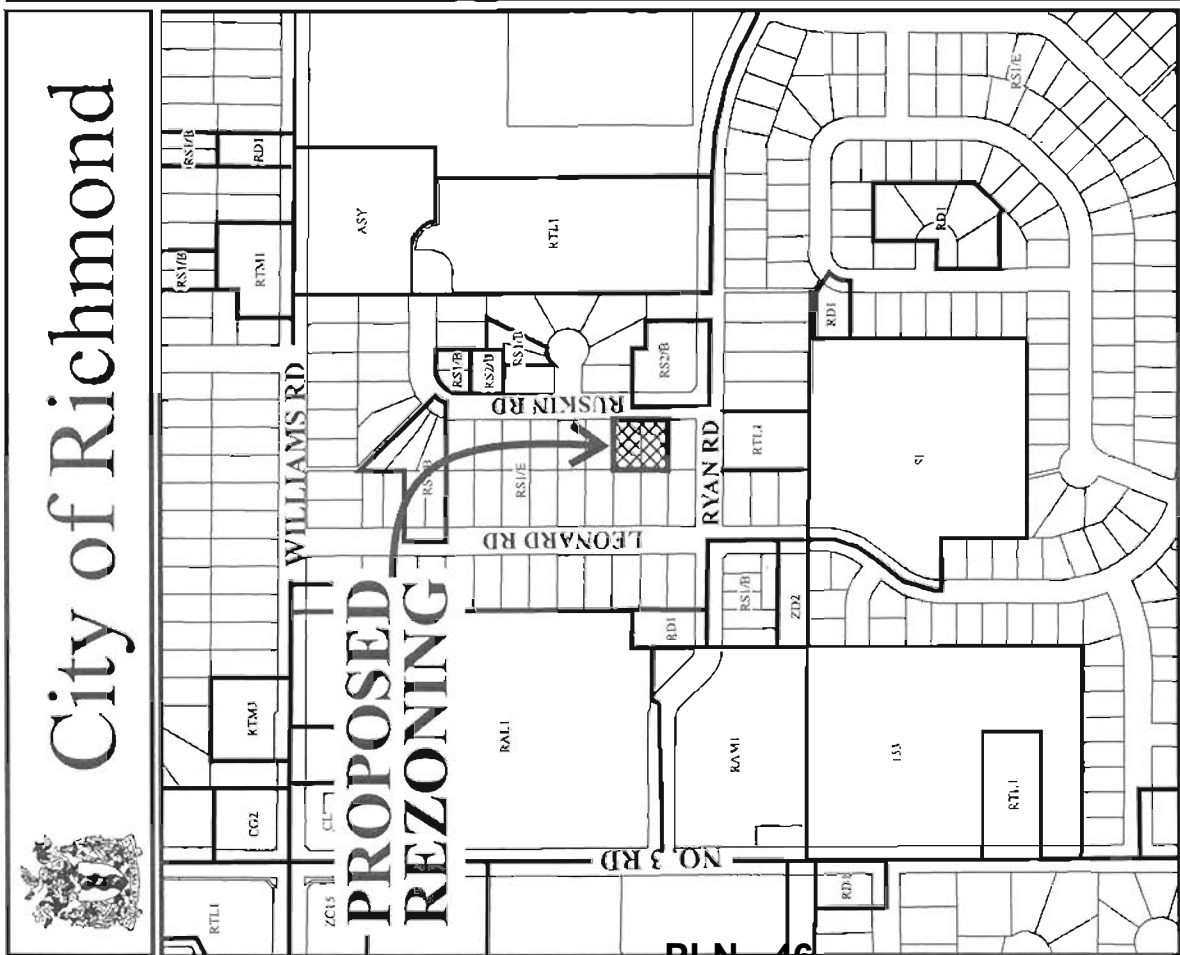
EL:blg

Attachments:

- Attachment 1: Location Map
- Attachment 2: Proposed Subdivision Plan
- Attachment 3: Development Application Data Sheet
- Attachment 4: Lot Size Policy 5469
- Attachment 5: Tree Retention Plan
- Attachment 6: Rezoning Considerations

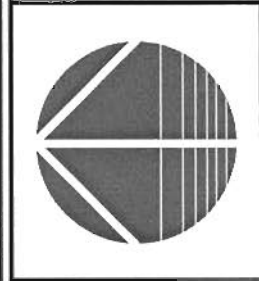
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10180	10191	10231	10234	10251	10220	10240
40.23	40.23	40.23	40.23	40.23	40.23	40.23
20.12	20.12	20.12	20.12	20.12	20.12	20.12
20.12	20.12	20.12	20.12	20.12	20.12	20.12
20.12	20.12	20.12	20.12	20.12	20.12	20.12

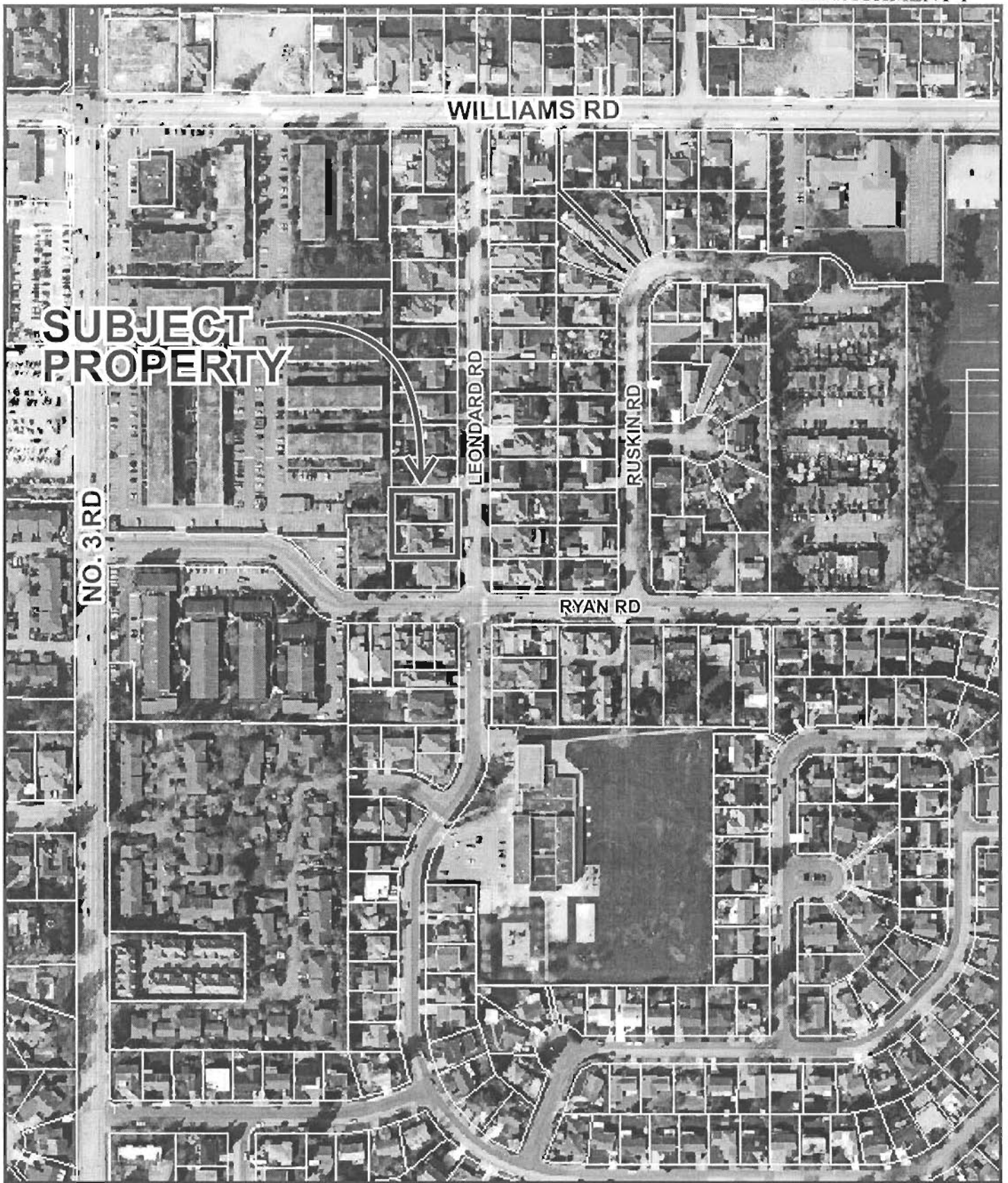
Original Date: 11/01/11
 Revision Date:
 Note: Dimensions are in METRES



City of Richmond

RZ 11-591786





RZ 11-591786

Original Date: 11/02/11

Amended Date:

Note: Dimensions are in METRES

**TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF LOTS 18 AND 19
BOTH OF SECTION 33 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN 18353**

#10231 RUSKIN ROAD, (LOT 18)
RICHMOND, B.C.
P.I.D 010-379-801

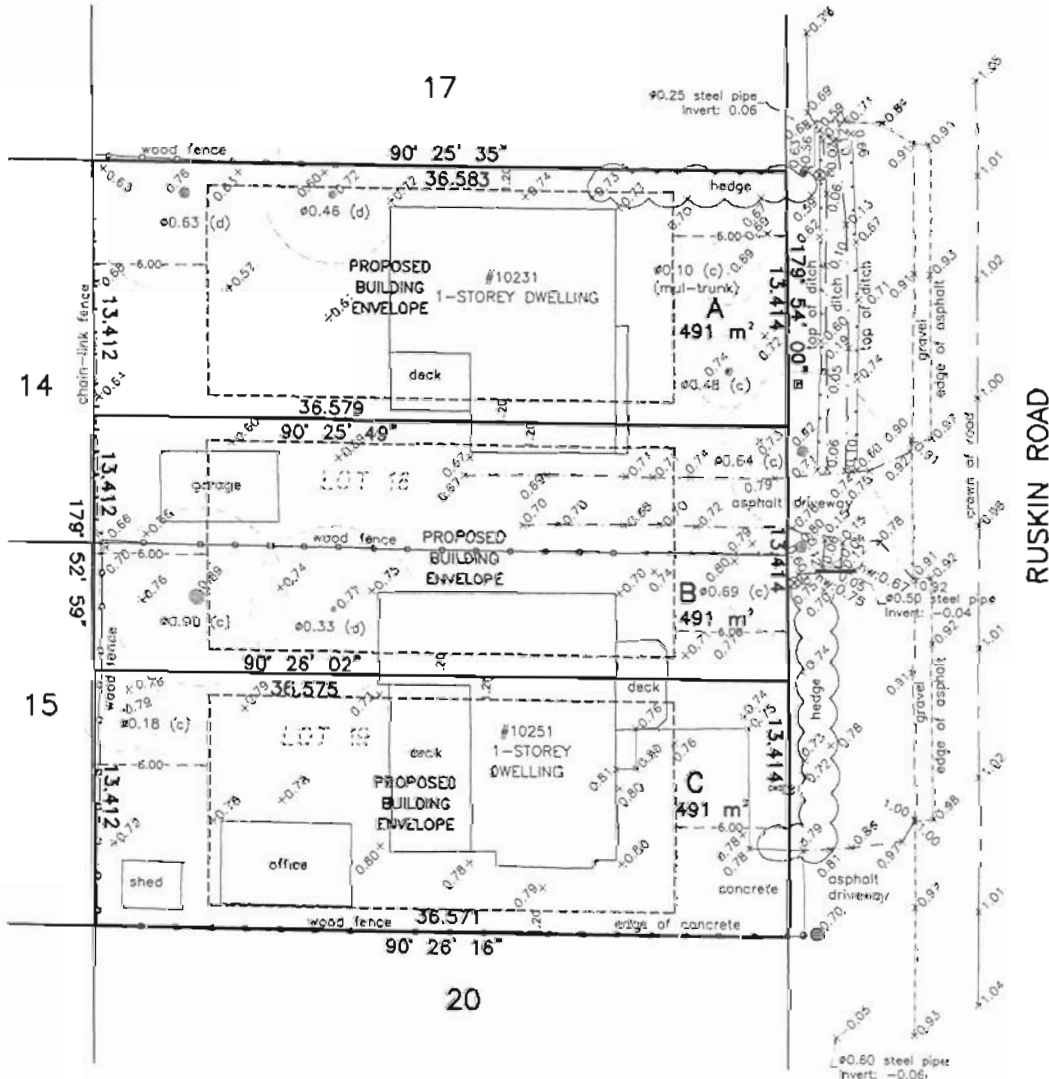
#10251 RUSKIN ROAD, (LOT 19)
RICHMOND, B.C.
P.I.D 003-554-988



SCALE: 1:250



ALL DISTANCES ARE IN METRES AND DECIMALS
THEREOF UNLESS OTHERWISE INDICATED



© copyright:
J. C. Tam and Associates
Canada and B.C. Land Surveyor
r15 - 8833 Odlin Crescent
Richmond, B.C. V6X 3Z7
Telephone: 214-8928
Fax: 214-8929
E-mail: office@jctam.com
Website: www.jctam.com
Job No. 4592
FB-188 P124-r26
Drawn By: TH

LEGEND:
(b) denotes coniferous
(d) denotes deciduous
⊙ denotes power pole
⊕ denotes round catch basin
⊗ denotes inspection chamber
⊠ denotes water meter
= denotes water valve
⊠ denotes headwall

NOTE:
Elevations shown are based on City of
Richmond HPN Benchmark network.
Benchmark: HPN #20A,
Control Measurement 02H2452
Located at In grassy area @ SW corner
No.3 Road & Steveston Highway
Elevation = 1.559 metres

CERTIFIED CORRECT:
LOT DIMENSION ACCORDING TO
FIELD SURVEY

Johnson C. Tam
JOHNSON C. TAM, B.C.L.S.

AUGUST 31ST, 2017



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**

RZ 11-591786 Attachment 3

Address: 10231 and 10251 Ruskin Road

Applicant: Ying Yi Zhang

Planning Area(s): Broadmoor

	Existing	Proposed
Owner:	Ying Y. Zhang	No change
Site Size (m ²):	1470 m ² (15,823 ft ²)	approximately 490 m ² (5,274 ft ²)
Land Uses:	Two (2) single-family residential dwellings	Three (3) single-family residential dwellings
OCP Designation:	Generalized Land Use Map – Neighbourhood Residential	No change
Area Plan Designation:	N/A	No change
702 Policy Designation:	Single Detached (RS2/B)	No change
Zoning:	Single Detached (RS1/E)	Single Detached (RS2/B)
Number of Units:	Two (2)	Three (3)
Other Designations:	N/A	No change

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.55	Max. 0.55	none permitted
Lot Coverage – Building:	Max. 45%	Max. 45%	none
Lot Coverage – Buildings, structures, and non-porous	Max. 70%	Max. 70%	none
Lot Coverage – Landscaping	Min. 25%	Min. 25%	none
Setback – Front & Rear Yards (m):	6 m Min.	6 m Min.	none
Setback – Side Yards (m):	Min. 1.2 m	1.2 m Min.	none
Height (m):	Max. 2.5 storeys	2.5 storeys Max.	none
Lot Size (min. dimensions):	360 m ²	490 m ²	none

Other: Tree replacement compensation required for removal of bylaw-sized trees.



City of Richmond

Policy Manual

Page 1 of 2

Adopted by Council: February 19, 2001

POLICY 5469

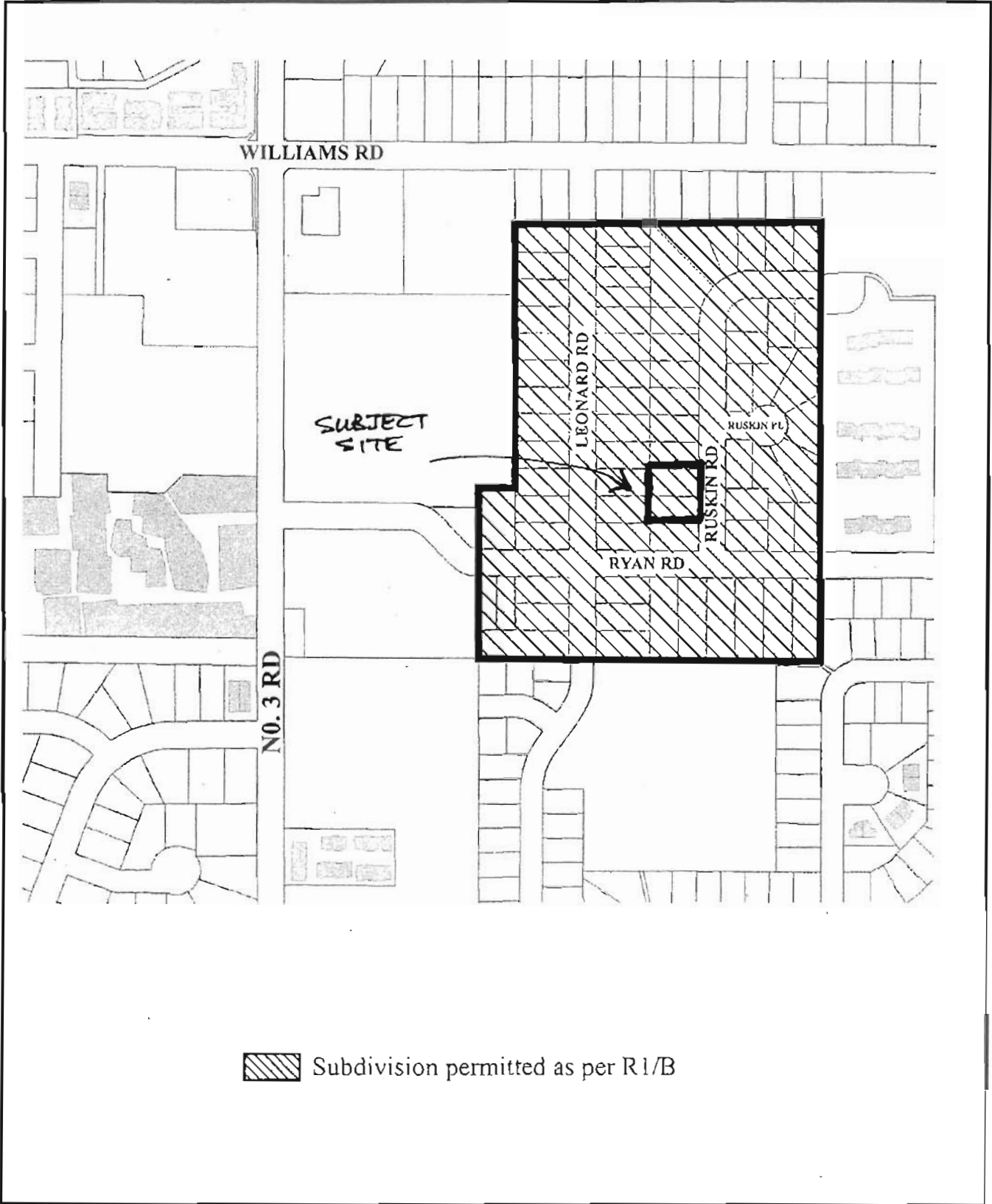
File Ref: 4045-00

SINGLE-FAMILY LOT SIZE POLICY IN QUARTER SECTION 33-4-6

POLICY 5469:

The following policy establishes lot sizes in a portion of Section 33-4-6, for the properties generally located along **Ryan Road, Leonard Road, Ruskin Road and Ruskin Place**, as shown on the attached map:

That properties along Ryan Road, Leonard Road, Ruskin Road and Ruskin Place (in a portion of section 33-4-6) as shown on the attached map, be permitted to subdivide in accordance with the provisions of Single-Family Housing District, Subdivision Area B (R1/B) as per the Zoning and Development Bylaw 5300 and that this policy be used to determine the disposition of future rezoning applications in this area for a period of not less than five years, except as per the amending procedures in the Zoning and Development Bylaw 5300.



POLICY 5469
SECTION 33,4-6

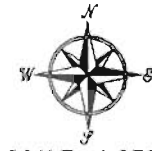
Adopted Date: 02/19/01

Amended Date:

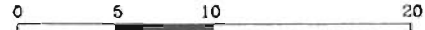
**TOPOGRAPHIC SURVEY AND PROPOSED SUBDIVISION OF LOTS 18 AND 19
BOTH OF SECTION 33 BLOCK 4 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN 18353**

#10231 RUSKIN ROAD, (LOT 18)
RICHMOND, B.C.
P.I.D 010-379-801

#10251 RUSKIN ROAD, (LOT 19)
RICHMOND, B.C.
P.I.D 003-554-988



SCALE: 1:250

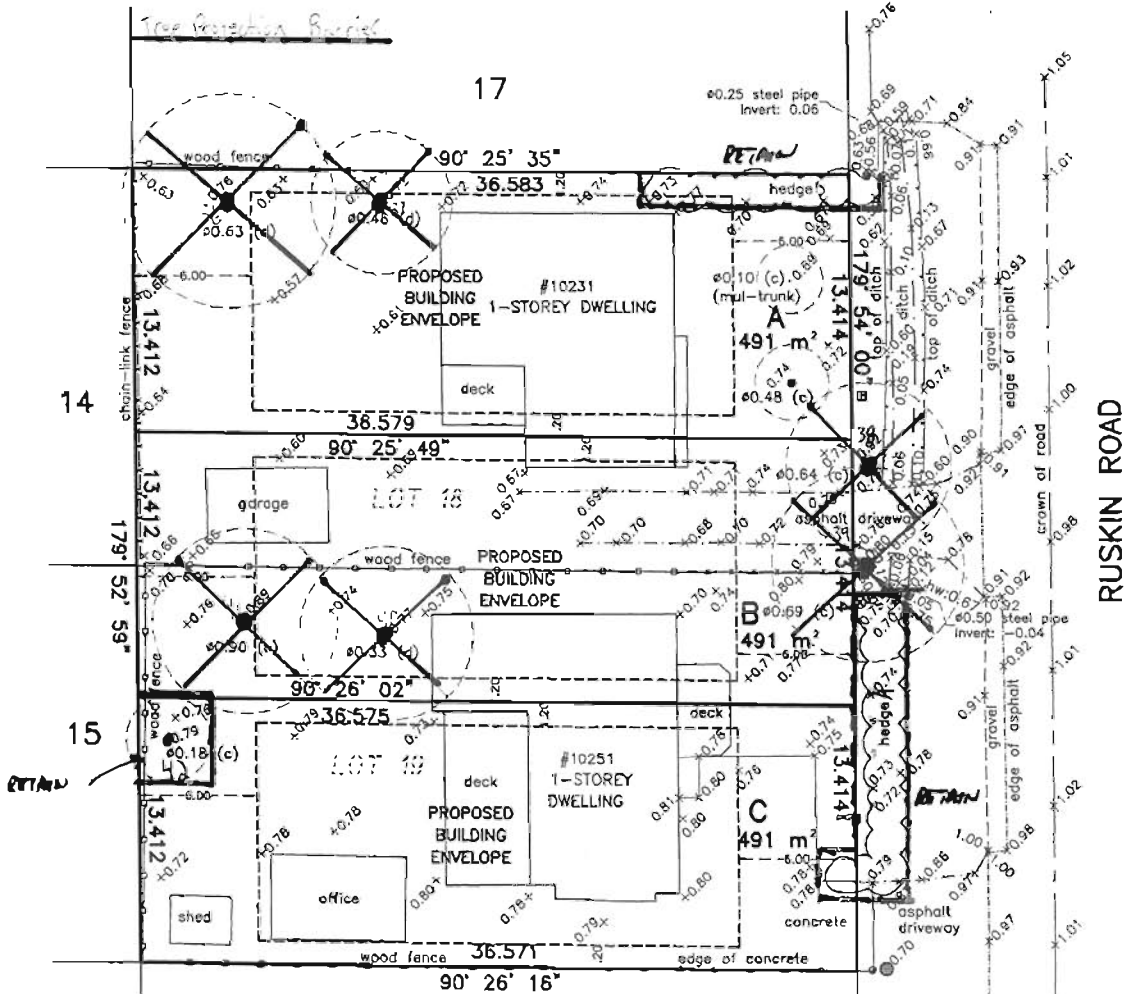


ALL DISTANCES ARE IN METRES AND DECIMALS
THEREOF UNLESS OTHERWISE INDICATED

*Duplicate of
Tree = 6x
Diameter (DBH)*



OFF-SITE TREE
ON-SITE TREE



20		20			
#36	Berberis pinnatifida	6.5m 3.4m Remove	#40	Mulberry domestica	3.2m 2m Remove
#37	Prunus americana	5.0m 3m Remove	#41	Prunus nigra	2.0m 1.5m Remove
#38	Prunella vulgaris	7.0m 4.2m Remove	#42	Illex aquifolium	3.0m 1.8m Remove
#39	Prunella vulgaris	7.0m 4.2m Remove	#43	Thuja occidentalis	2.0m 1.2m

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Telephone: 214-8928
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Website: www.jctam.com
Job No. 4592
FB-188 P124-126
Drawn By: TH

LEGEND:
(c) denotes coniferous
(d) denotes deciduous
● denotes power pole
○ denotes round catch basin
⊗ denotes inspection chamber
⊠ denotes water meter
≡ denotes water valve
HW denotes headwall

NOTE:
Elevations shown are based on City of Richmond HPN Benchmark network.
Benchmark: HPN #204.
Control Monument 02H2452
Located at In grossy area @ SW corner
No.3 Road & Steveston Highway
Elevation = 1.559 metres

CERTIFIED CORRECT:
LOT DIMENSION ACCORDING TO
FIELD SURVEY.

[Signature]
JOHNSON C. TAM, B.C.L.S.

DWG No. 4592-TOPO

PLN - 52

AUGUST 31st, 2011

ATTACHMENT 5

Rezoning Considerations

10231 and 10251 Ruskin Road
RZ 11-591786

Prior to final adoption of Zoning Amendment Bylaw 8871, the developer is required to complete the following:

1. Registration of a legal agreement on Title to ensure that no final Building Permit inspection is granted until a secondary suite is constructed on two (2) of the three (3) future lots, to the satisfaction of the City in accordance with the BC Building Code and the City's Zoning Bylaw.

Note: Should the applicant change their mind about the Affordable Housing option selected prior to final adoption of the Rezoning Bylaw, the City will accept a voluntary contribution of \$1.00 per buildable square foot of the single-family developments (i.e. \$8,507) to the City's Affordable Housing Reserve Fund in-lieu of registering the legal agreement on Title to secure a secondary suite.

2. Registration of a flood indemnity covenant on Title.
3. Submission of a Landscaping Security to the City of Richmond in the amount of \$4,000 (\$500/tree) for the planting and maintenance of eight (8) replacement trees with the following minimum sizes:

No. of Replacement Trees	Minimum Caliper of Deciduous Tree	or	Minimum Height of Coniferous Trees
2	8 cm		4.0 m
2	9 cm		5.0 m
4	11 cm		6.0 m

If required replacement trees cannot be accommodated on-site, a cash-in-lieu contribution in the amount of \$500/tree to the City's Tree Compensation Fund for off-site planting is required.

4. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees and hedgerows to be retained onsite and on the City boulevard in front of the site. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
5. City acceptance of the developer's offer to voluntarily contribute \$2,600 to Parks Division's Tree Compensation Fund for the removal of two Douglas Firs trees located on the city boulevard in front of the site.

Note: Developer/contractor must contact the Parks Division (604-244-1208 ext. 1342) four (4) business days prior to the removal to allow proper signage to be posted. All costs of removal and compensation are the responsibility borne by the applicant.

6. Enter into a standard Servicing Agreement* for the design and construction of frontage improvements from Ryan Road to the north property line of 10231 Ruskin Road. The improvements to include, but not limited to: storm sewer, curb and gutter, pavement widening (based on 8.5 m road width), 1.5 m concrete sidewalk at the west property line of Ruskin Road, grass and treed boulevard (trees at 9 m spacing), and street lighting.

Note: Design to include water, storm and sanitary service connections for each lot. Developer to provide underground hydro, telephone and cable service connections for each lot.

At future subdivision stage, the developer will be required to:

1. Payment of Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fee.
2. Agree to provide underground hydro, telephone and cable service connections for each lot.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Payment of Late Comer Fee (Storm Sewer) including 8% annual interest since August 27, 2004, as benefiting properties.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

Note:

- * This requires a separate application.

[Signed original on file]

Signed

Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 8871 (RZ 11-591786)
10231 AND 10251 RUSKIN ROAD

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it SINGLE DETACHED (RS2/B).

P.I.D. 010-379-801

Lot 18 Section 33 Block 4 North Range 6 West New Westminster District Plan 18353

P.I.D. 003-554-988

Lot 19 Section 33 Block 4 North Range 6 West New Westminster District Plan 18353

- 2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 8871".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED

Series of horizontal lines for signature or date entry.



MAYOR

CORPORATE OFFICER



To: Planning Committee **Date:** February 24, 2012

From: Brian J. Jackson, MCIP **File:** RZ 11-593412
Director of Development

Re: **Application by Zhao XD Architect Ltd. for Rezoning at 8540 and 8560 Jones Road from Single Detached (RS1/E) to High Density Townhouse (RTH1)**

Staff Recommendation

That Bylaw No. 8872, for the rezoning of 8540 and 8560 Jones Road from “Single Detached (RS1/E)” to “High Density Townhouse (RTH1)”, be introduced and given first reading.

Brian J. Jackson, MCIP
Director of Development

EL:blg
Att.

FOR ORIGINATING DEPARTMENT USE ONLY <i>Acting</i>		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF ^{Acting} GENERAL MANAGER
Affordable Housing	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	<i>Brian Jackson</i>

Staff Report

Origin

Zhao XD Architect Ltd. has applied to the City of Richmond for permission to rezone 8540 and 8560 Jones Road (**Attachment 1**) from Single Detached (RS1/E) to High Density Townhouse (RTH1) in order to permit the development of 12 three-storey townhouse units. A preliminary site plan and building elevations are contained in **Attachment 2**.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 3**).

Surrounding Development

To the north: Across Jones Road, a small townhouse complex, zoned Town Housing (ZT14) – St. Albans Sub-Area (City Centre); a single-family home, zoned Single Detached (RS1/E), with development potential for a small townhouse complex; and an in-stream 23-unit three-storey townhouse proposal at 7500, 7520, 7540, 7560 St. Albans Road (DP 11-585139). The application to rezone the site to High Density Townhouses (RTH4) was given third reading on June 20, 2011;

To the east/south: Four-storey condominiums (three-storeys over parking), zoned Medium Density Low Rise Apartments (RAM1); and

To the west: A multiple-family development (three-storey townhouses) zoned Medium Density Low Rise Apartments (RAM1).

Related Policies & Studies

City Centre Area Plan

The subject property is located within the City Centre Area, Schedule 2.10 of the Official Community Plan (OCP). The site is within “Sub-Area B.1: Mixed-Use – Low-Rise Residential & Limited Commercial”, which is intended primarily for grade-oriented housing or equivalent in the form of higher-density townhouses (with common parking structures) or lower-density conventional and stacked townhouses (with individual garages). The preliminary design of the proposal complies with the Sub-Area B.1 Guidelines in terms of land use, density, and overall neighbourhood character. Further consideration of the Development Guidelines will take place at the Development Permit stage of the process.

St. Albans Sub Area Plan

The proposed development is generally consistent with the Multi-Family Low-Rise land use designation in the St. Albans Sub-Area Plan (Schedule 2.10A), which envisions three-storey apartments, townhouses, two-family, or single-family dwellings (**Attachment 4**). The proposal for 12 three-storey townhouse units fits well within the emerging multi-family development pattern.

Floodplain Management Implementation Strategy

The applicant is required to comply with the Flood Plain Designation and Protection Bylaw (No. 8204). The site is located within an area where the minimum habitable elevation is 2.9 m geodetic; however, there are provisions to permit habitable space, provided it is located a minimum of 0.3 m above the highest level of the crown of any road that is adjacent to the parcel.

Affordable Housing Strategy

The applicant proposes to make cash contribution to the affordable housing reserve fund in accordance to the City's Affordable Housing Strategy. As the proposal is for townhouses, the applicant is making a cash contribution of \$2.00 per buildable square foot as per the Strategy, making the payable contribution amount of \$27,160.00.

Public Art

The applicant has agreed to provide a voluntary contribution in the amount of \$0.75 per square foot of developable area for the development to the City's Public Art fund. The amount of the contribution would be \$10,185.00.

Public Input

There have been no concerns expressed by the public about the development proposal in response to the placement of the rezoning sign on the property.

Staff Comments

Tree Retention and Replacement

A Tree Survey and a Certified Arborist's report were submitted in support of the application; nine (9) trees were identified and assessed:

- Five (5) bylaw-sized trees on the adjacent property to the east at 8600 Jones Road;
- Two (2) bylaw-sized trees and three (3) undersized trees on the adjacent property to the west at 8500 Jones Road; and
- A 41cm calliper Western Red Cedar tree and a hedgerow comprised of 14 trees located on the City boulevard.

There are no trees on site. All trees located on the adjacent properties along the common property lines will be protected as per the Arborist's recommendations. Tree protection fencing on-site around the driplines of all trees to be retained will be required prior to any construction activities, including building demolition, occurring on-site. A Tree Protection Plan is attached (**Attachment 5**). Staff will work with the applicant on the site layout and building design at the Development Permit stage to ensure tree protection. A proof of contract with a Certified Arborist for supervision of on-site works conducted close to all protected trees will be required at the Development Permit stage.

Parks Operations staff have determined that the Western Red Cedar and the hedgerow on the City boulevard in front of the subject site have been previously topped for hydro line clearance due to an overhead three-phase hydro line. Staff have agreed to the removal of these trees based on the tree condition and the required frontage improvement works (including new sidewalk at property line) along Jones Road. A cash compensation for the street tree removal in the amount of \$3,250 has been determined.

Site Servicing & Frontage Improvements

Prior to final adoption, the applicant is required to contribute \$10,000 towards the upgrades of the crosswalk at St. Albans and Jones Roads.

As a condition of rezoning, the applicant is required to enter into a standard Servicing Agreement for the design and construction of the following items:

- Upgrades of the existing 450 mm diameter storm sewer along the frontage of the site to 600 mm from existing manhole STMH 4584 to the west property line of 8540 Jones Road;
- Removal of the existing sidewalk and installation of a new 1.50 m sidewalk at the property line;
- Creation of a 2.50 m grass and treed boulevard in the area between the new sidewalk and the existing curb (tree species to be 7 cm caliper Kwanzan Cherry); and
- Replacement of the existing street light ducts and possibly adjustment of power and streetlight poles along the frontage to avoid conflict with the new sidewalk.

Note: due to the required storm upgrades, existing power pole, streetlight pole, Telus and Shaw crossings may need to be relocated or removed.

Indoor Amenity Space

The applicant is proposing a contribution in-lieu of on-site indoor amenity space in the amount of \$12,000 as per the Official Community Plan (OCP) and Council policy.

Outdoor Amenity Space

Outdoor amenity space will be provided on-site and is adequately sized based on Official Community Plan (OCP) guidelines. The design of the children's play area and landscape details will be reviewed as part of the Development Permit application.

Analysis

The proposal to develop townhouses is consistent with the objectives of the City Centre Area Plan – Sub-Area B.1 and the St. Albans Sub Area Plan in terms of land use, character, and density. The site plan identifies the unit location and configuration of the internal drive aisle, as well as the location of the outdoor amenity space for the complex.

The proposed development is generally consistent with the Development Permit Guidelines for multiple-family projects contained in the Official Community Plan (OCP). The proposed height, siting and orientation of the buildings respect the massing of the existing multi-family developments. The unit design includes a layout to accommodate conversion for universal access. The Development Permit application will provide more information and detail regarding the form and character of the proposal in addition to the landscaping and design of the outdoor amenity area. Building massing and conditions of adjacency will be further reviewed at the Development Permit stage.

Requested Variances

The proposed development is generally consistent with the Development Permit Guidelines for multiple-family projects contained in the Official Community Plan (OCP). Based on the review of current site plan for the project, a variance to allow for a total of 24 tandem parking spaces in all of the townhouse units is being requested.

Based on the City Centre location the bylaw requirement is for 17 residential parking spaces. By permitting the tandem arrangement, the applicant is able to provide seven (7) extra parking spaces on site (by turning all of the seven (7) single car garages and five (5) double car garages into 12 tandem garages). Tandem parking arrangement is generally supported on its reduction on pavement area on site and facilitation of a more flexible site layout. Tandem garages are provided in all units at the adjacent townhouse development to the west. On-street parking is available on both sides of Jones Road and St. Albans Road. A restrictive covenant to prohibit the conversion of the garage area into habitable space is required prior to final adoption.

Design Review and Future Development Permit Considerations

Guidelines for the issuance of Development Permits for multiple-family projects are contained in Schedule 1 of Bylaw 7100 (Section 9.0 Development Permit Guidelines) and in Schedule 2.10 – City Centre Area Plan (Section 3). The rezoning conditions will not be considered satisfied until a Development Permit application is processed to a satisfactory level. In association with the Development Permit, the following issues are to be further examined:

- Building form and architectural character;
- Location and design of the convertible unit and other accessibility features;
- Landscaping design and enhancement of the outdoor amenity area to maximize use; and
- Opportunities to maximize permeable surface areas and articulate hard surface treatment.

Financial Impact or Economic Impact

None.

Conclusion

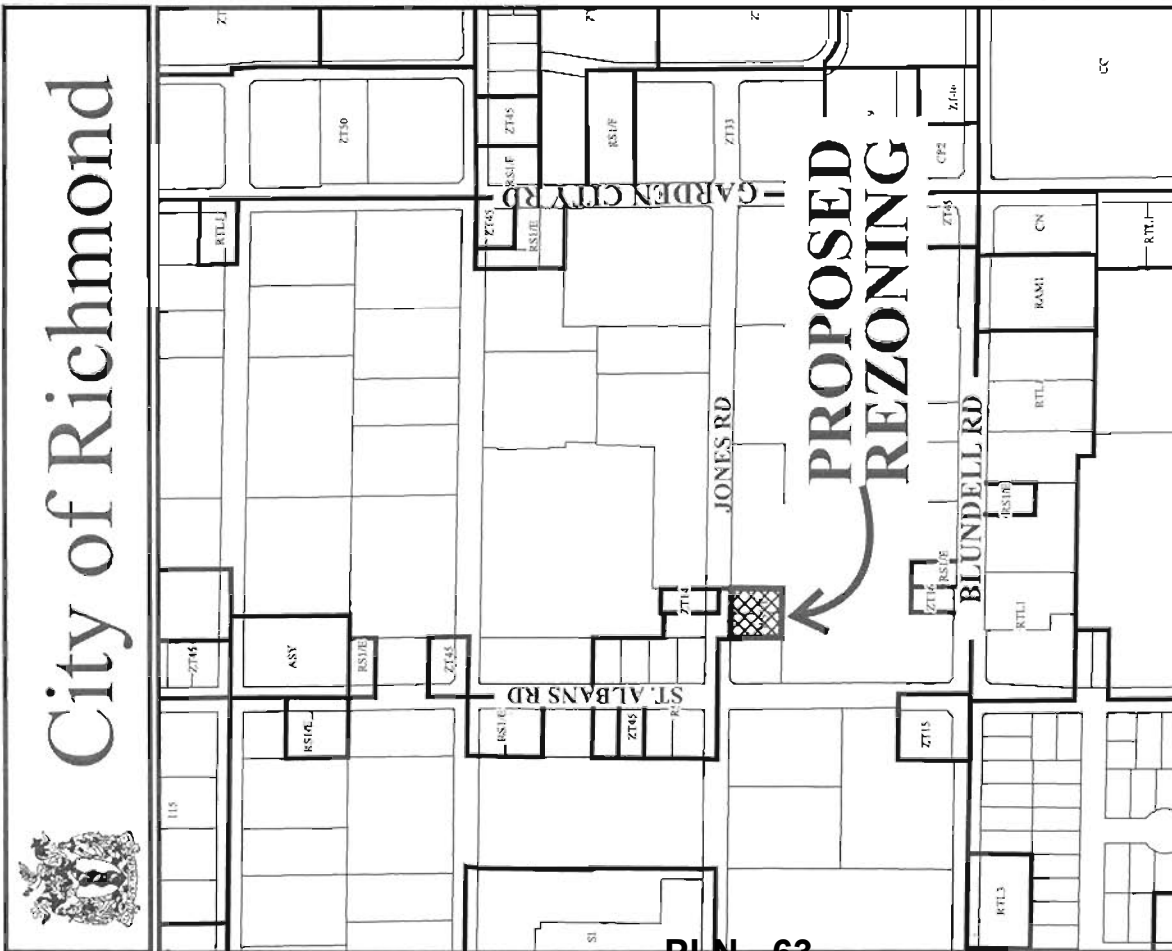
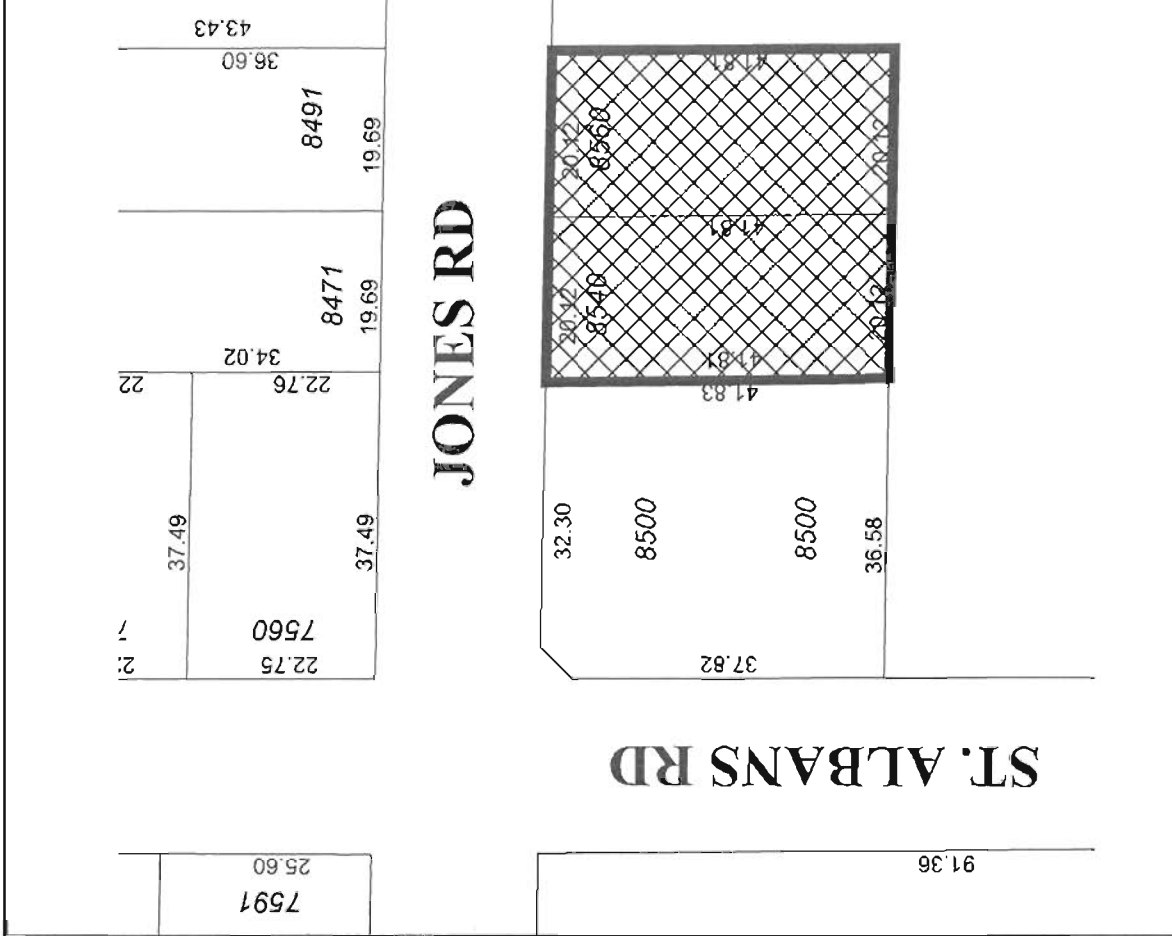
The proposal to develop townhouses is consistent with the objectives of the City Centre Area Plan – Sub-Area B.1 in terms of land use, character, and density. Overall, the project is attractive and a good fit with the neighbourhood. Further review of the project design will be required to ensure a high quality project, and will be completed as part of the future Development Permit process. On this basis, staff recommend that the proposed rezoning be approved.



Edwin Lee
Planning Technician – Design
(604-276-4121)

EL:blg

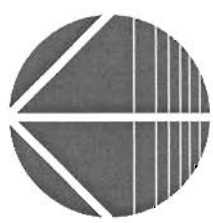
- Attachment 1: Location Map
- Attachment 2: Conceptual Development Plans
- Attachment 3: Development Application Data Sheet
- Attachment 4: St. Albans Sub-Area Plan
- Attachment 5: Tree Protection Plan
- Attachment 6: Rezoning Considerations Concurrence



PLN - 63

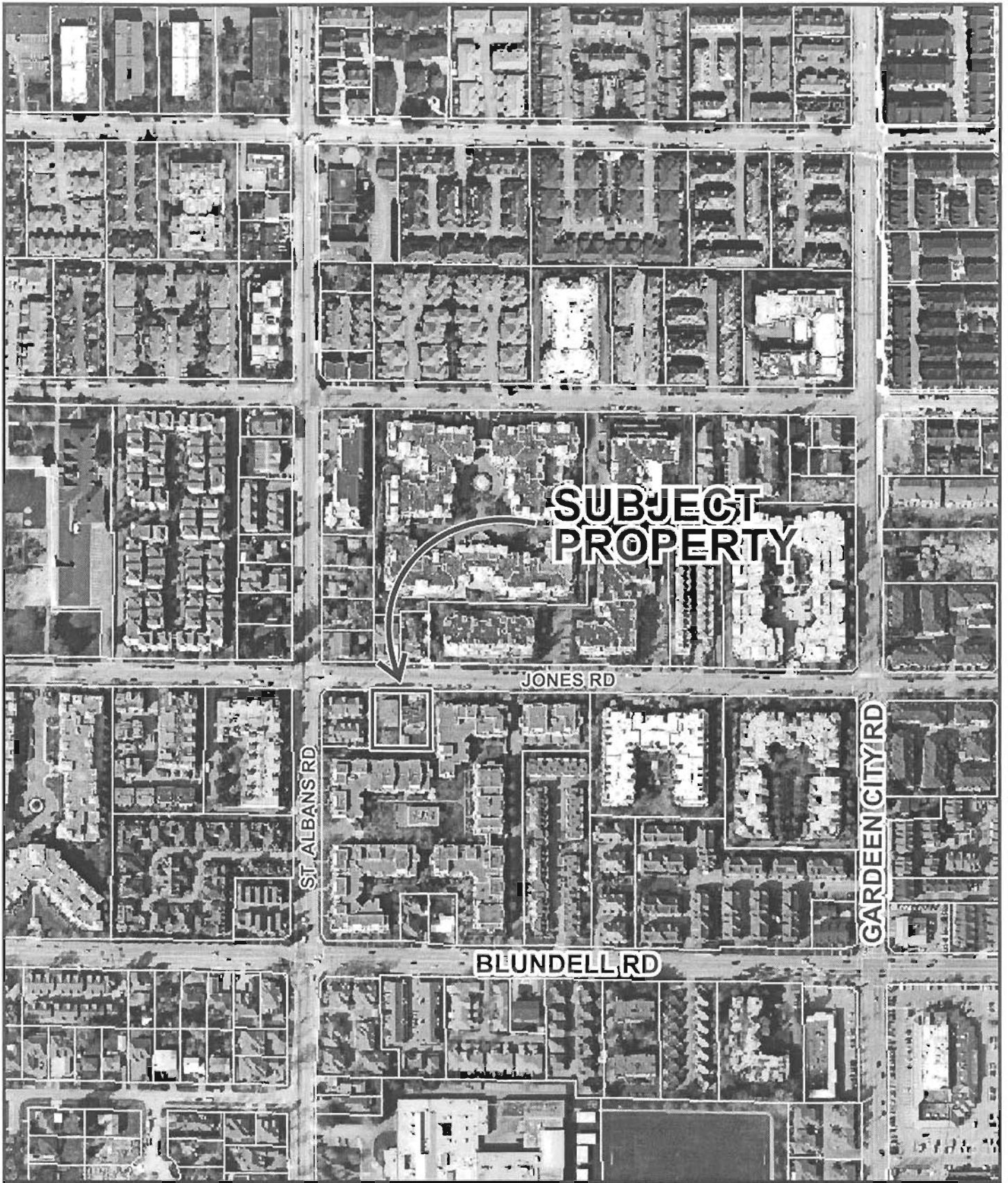
RZ 11-593412

Original Date: 11/09/11
 Revision Date:
 Note: Dimensions are in METRES



City of Richmond





**SUBJECT
PROPERTY**

JONES RD

ST. ALBANS RD

GARDEEN CITY RD

BLUNDELL RD



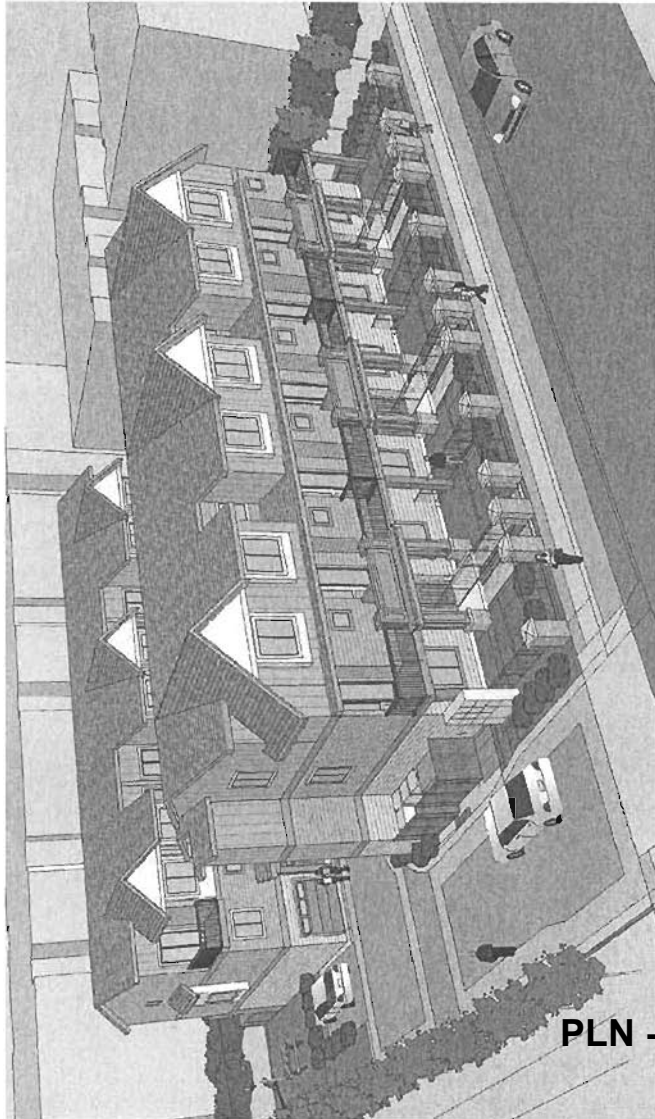
RZ 11-593412

Original Date: 11/14/11

Amended Date:

Note: Dimensions are in METRES

PLN - 64



PLN - 65

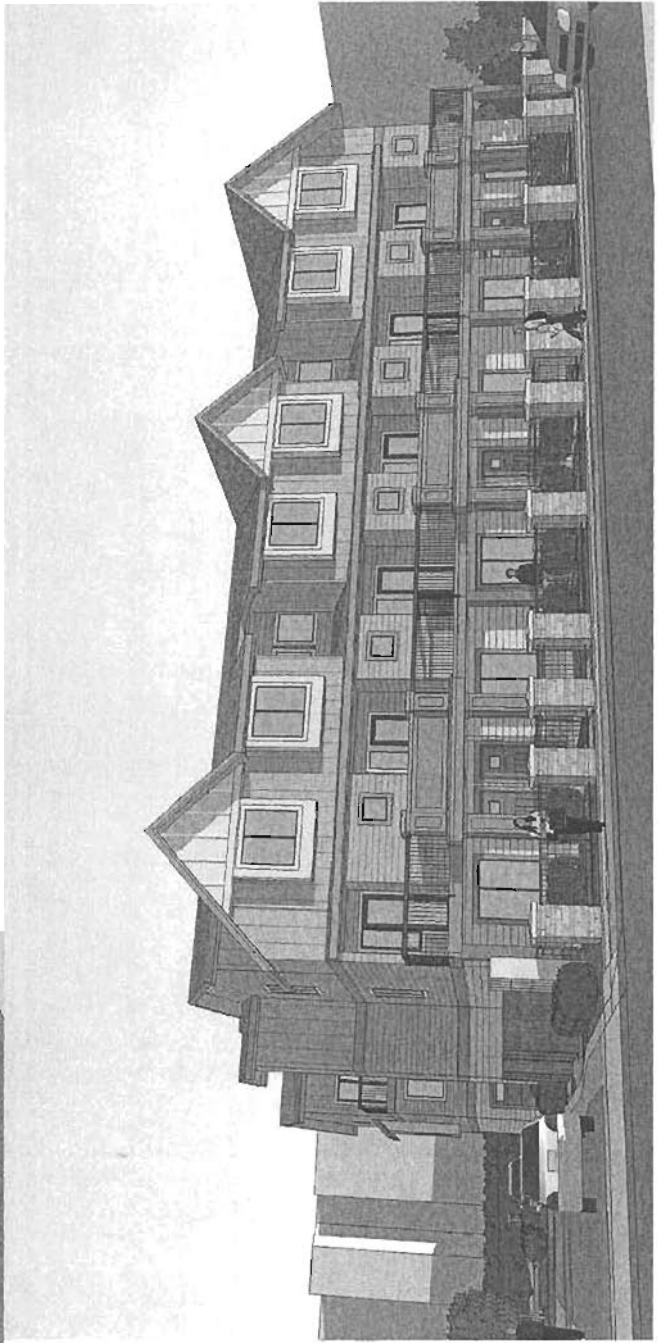
12-UNIT TOWNHOUSE DEVELOPMENT
8540-60 JONES ROAD, RICHMOND, BC

PURPLE STONE PROPERTIES
& MANAGEMENT LTD



ZHAO XD ARCHITECT LTD.

www.zhaoarch.com tel 604 275-8882



ATTACHMENT 2

DATE	DESCRIPTION
11/29/2018	REVISION
	ISSUED FOR

PROJECT	12 UNITS TOWNHOUSE DEVELOPMENT
LOCATION	16621 3M (18106 S.F.)
DATE	OCT. 2011
SCALE	1"=10'-0"
DRAWN BY	
CHECKED BY	
PROJECT NO.	20110008
DRAWING NO.	

1. A DETAIL NUMBER	
2. B LOCATION SHEET	
3. C DETAIL SHEET	

16621 3M (18106 S.F.)
 SINGLE-FAMILY RESIDENTIAL
 NEIGHBOURHOOD RESIDENTIAL
 10 CITY CENTRE
 HIGH DENSITY TOWN HOUSING (RH1)

16621 3M (18106 S.F.)
 SINGLE-FAMILY RESIDENTIAL
 NEIGHBOURHOOD RESIDENTIAL
 10 CITY CENTRE
 HIGH DENSITY TOWN HOUSING (RH1)

BY-LAW REQUIREMENT	PROPOSED	VARIANCE
DENSITY (UNITS/ACRE)	22.87 UNITS/ACRE	NONE PERMITTED
FLOOR AREA RATIO	MAX. 0.75	NONE PERMITTED
LOT COVERAGE - BUILDING	MAX. 43.3 % (4015.1 SF)	NONE PERMITTED
LOT COVERAGE - LANDSCAPING	MIN. 20% (5114.8 SF)	NONE PERMITTED
SETBACKS - FRONT YARD (NORTH)	MIN. 4.5 M	NONE PERMITTED
SETBACK - EAST SIDE YARD	MIN. 2 M	NONE PERMITTED
SETBACK - WEST SIDE YARD	MIN. 2 M	NONE PERMITTED
SETBACK - REAR YARD (SOUTH)	MIN. 2 M	NONE PERMITTED
HEIGHT	12M (3 STOREYS)	NONE PERMITTED
LOT SIZE (MIN. DIMENSIONS)	(MIN. 10M WIDE) (MIN. 35M DEEP)	NONE PERMITTED
RESIDENTIAL PARKING SPACES	1.4 SPACES / UNIT	NONE PERMITTED
VISITOR PARKING SPACES	0.2 SPACES / UNIT	NONE PERMITTED
OFF-STREET PARKING SPACES-TOTAL	20	NONE PERMITTED
TANDEN PARKING SPACES	12	NONE PERMITTED
BICYCLE PARKING SPACE-CLASS-1	1.25 SPACES PER UNIT	NONE PERMITTED
BICYCLE PARKING SPACE-CLASS-2	0.2 SPACES PER UNIT	NONE PERMITTED
AMENITY SPACE - INDOOR	MIN. 70 SQ FT (6.46 M ²)	NONE PERMITTED
AMENITY SPACE - OUTDOOR	MIN. 6 SQ M PER UNIT	NONE PERMITTED
PRIVATE OPEN SPACE	MIN. 37 SQ M PER UNIT	NONE PERMITTED

F.A.R. PERMITTED: 0.75 FAR = 13579.5 SQ.FT.
 UNIT 'A' (OR 'A1') 1006.1 SQ.FT. X 5 = 5400.5 SQ.FT.
 UNIT 'B' 1142.3 SQ.FT. X 6 = 6853.8 SQ.FT.
 UNIT 'C' 1174.9 SQ.FT. X 1 = 1174.9 SQ.FT.
 TOTAL PROPOSED = (0.748 FAR) 13549.2 SQ.FT.

DEVELOPMENT DATA
 ADDRESS: 8540, 6500 JONES ROAD
 LEGAL DESCRIPTION: LOT 3 SECTION 18 BLOCK 4 NORTH RANGE
 6 WEST NEW WESTMINSTER DISTRICT PLAN 10665
 10 CITY CENTRE (OCP SDR: 2.10A)

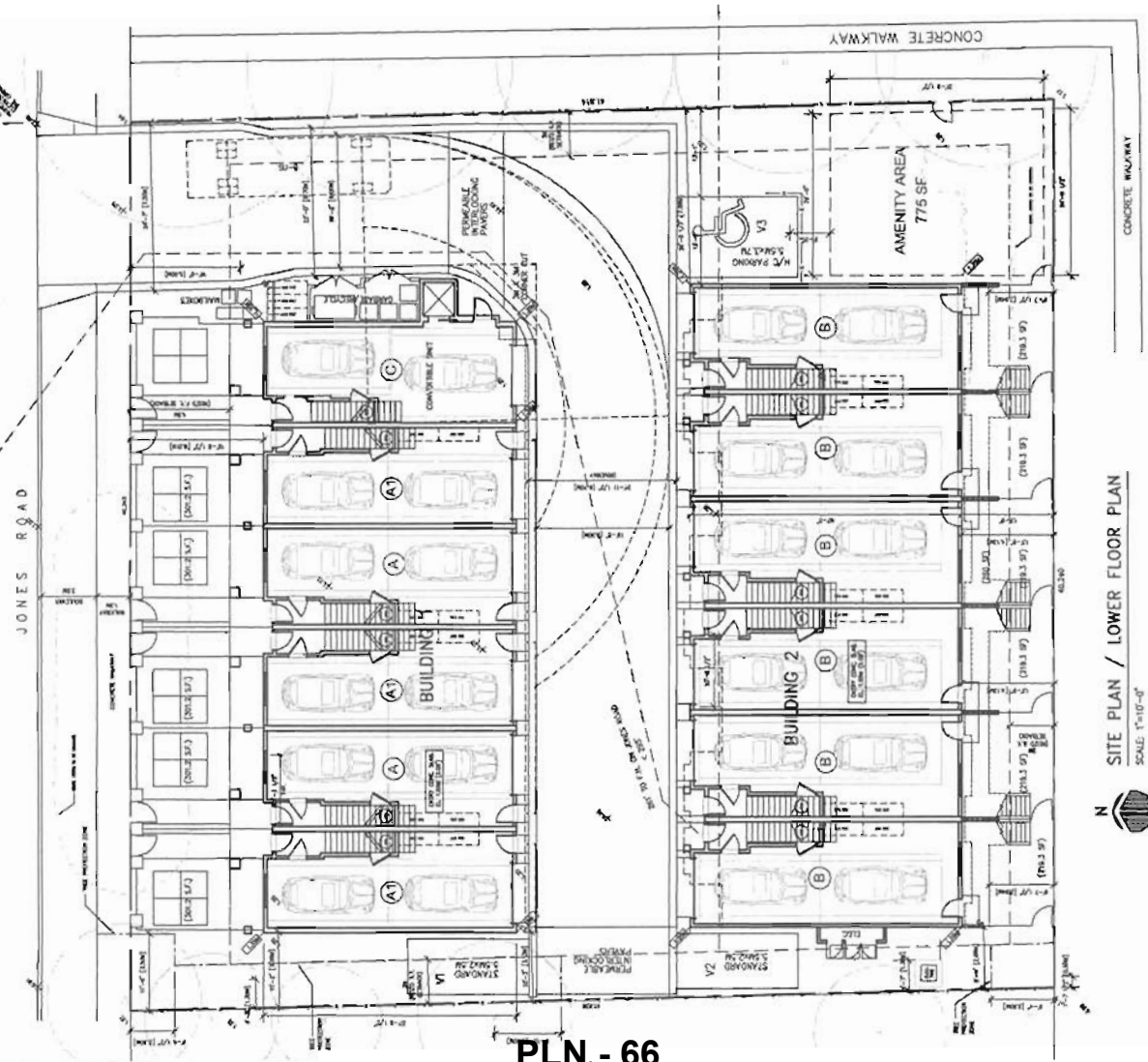
EXISTING	PROPOSED
16621 3M (18106 S.F.)	16621 3M (18106 S.F.)
SINGLE-FAMILY RESIDENTIAL	TOWNHOUSE
NEIGHBOURHOOD RESIDENTIAL	NEIGHBOURHOOD RESIDENTIAL
10 CITY CENTRE	10 CITY CENTRE
HIGH DENSITY TOWN HOUSING (RH1)	HIGH DENSITY TOWN HOUSING (RH1)
12	12

BY-LAW REQUIREMENT	PROPOSED	VARIANCE
DENSITY (UNITS/ACRE)	22.87 UNITS/ACRE	NONE PERMITTED
FLOOR AREA RATIO	MAX. 0.75	NONE PERMITTED
LOT COVERAGE - BUILDING	MAX. 43.3 % (4015.1 SF)	NONE PERMITTED
LOT COVERAGE - LANDSCAPING	MIN. 20% (5114.8 SF)	NONE PERMITTED
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SETBACK - EAST SIDE YARD	MIN. 2 M	NONE PERMITTED
SETBACK - WEST SIDE YARD	MIN. 2 M	NONE PERMITTED
SETBACK - REAR YARD (SOUTH)	MIN. 2 M	NONE PERMITTED
HEIGHT	12M (3 STOREYS)	NONE PERMITTED
LOT SIZE (MIN. DIMENSIONS)	(MIN. 10M WIDE) (MIN. 35M DEEP)	NONE PERMITTED
RESIDENTIAL PARKING SPACES	1.4 SPACES / UNIT	NONE PERMITTED
VISITOR PARKING SPACES	0.2 SPACES / UNIT	NONE PERMITTED
OFF-STREET PARKING SPACES-TOTAL	20	NONE PERMITTED
TANDEN PARKING SPACES	12	NONE PERMITTED
BICYCLE PARKING SPACE-CLASS-1	1.25 SPACES PER UNIT	NONE PERMITTED
BICYCLE PARKING SPACE-CLASS-2	0.2 SPACES PER UNIT	NONE PERMITTED
AMENITY SPACE - INDOOR	MIN. 70 SQ FT (6.46 M ²)	NONE PERMITTED
AMENITY SPACE - OUTDOOR	MIN. 6 SQ M PER UNIT	NONE PERMITTED
PRIVATE OPEN SPACE	MIN. 37 SQ M PER UNIT	NONE PERMITTED

F.A.R. PERMITTED: 0.75 FAR = 13579.5 SQ.FT.
 UNIT 'A' (OR 'A1') 1006.1 SQ.FT. X 5 = 5400.5 SQ.FT.
 UNIT 'B' 1142.3 SQ.FT. X 6 = 6853.8 SQ.FT.
 UNIT 'C' 1174.9 SQ.FT. X 1 = 1174.9 SQ.FT.
 TOTAL PROPOSED = (0.748 FAR) 13549.2 SQ.FT.



CONTEXT PLAN
 SCALE: 1"=10'-0"



SITE PLAN / LOWER FLOOR PLAN
 SCALE: 1"=10'-0"



ZHAO XD
ARCHITECT
LTD.

3228-6708 Main St.
Mississauga, ON L4W 1M4
Tel: (905) 275-9880
Fax: (905) 268-1238
Email: info@zhaoxd.com
Web: zhaoxd.com

11/20/2018 REVISION
Date: Issued For:

11/20/2018 REVISION
Date: Issued For:

A. DETAIL NUMBER
B. LOCATION SHEET
C. DETAIL SHEET

Project:
12 UNITS
TOWNHOUSE
DEVELOPMENT

1000 HURONTARIO ROAD
MISSISSAUGA, ON

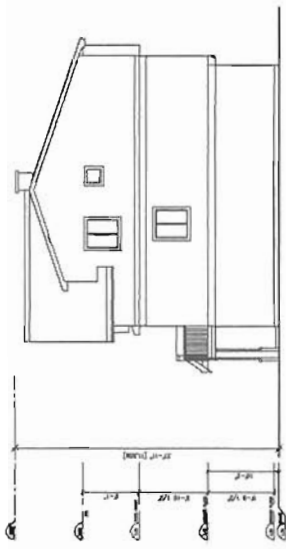
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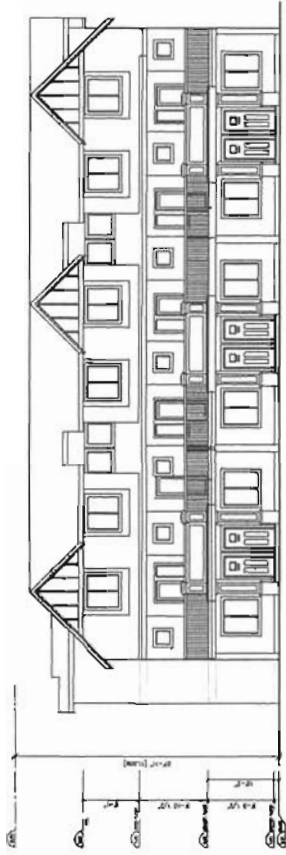
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Checked By:

Project No.: 20170008
Drawing No.:

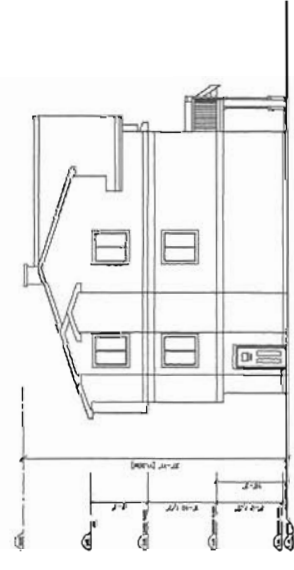
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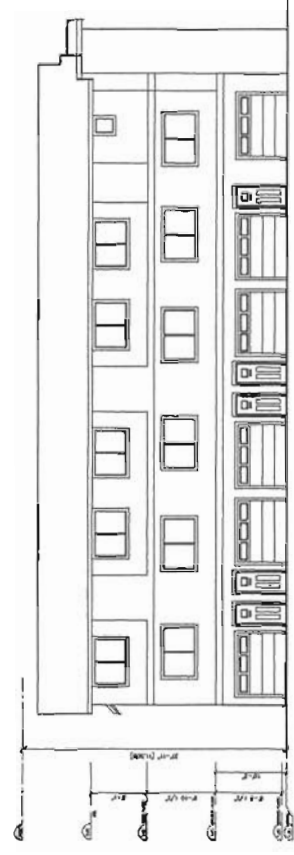
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NORTH ELEVATION - BUILDING 1
SCALE: 1/4"=1'-0"



EAST ELEVATION - BUILDING 1
SCALE: 1/4"=1'-0"



SOUTH ELEVATION - BUILDING 1
SCALE: 1/4"=1'-0"



ZHAO XD
ARCHITECT
LTD.

2328-4700, 4640-1870
1800 Lakeshore Blvd. W.
Toronto, ON M6K 3L7, CAN
Tel: (416) 593-7728
Fax: (416) 593-7728
Email: info@zhaoxd.com
Web: zhaoxd.com

For all projects, visit us at www.zhaoxd.com

11/20/2011	REVISION	Issued For:
A DETAIL NUMBER		
B LOCATION SHEET		
C DETAIL SHEET		

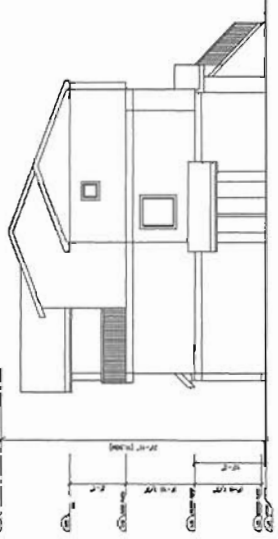
PHASE
12 UNITS
TOWNHOUSE
DEVELOPMENT

1800 LAKESHORE BLVD
TORONTO, ON

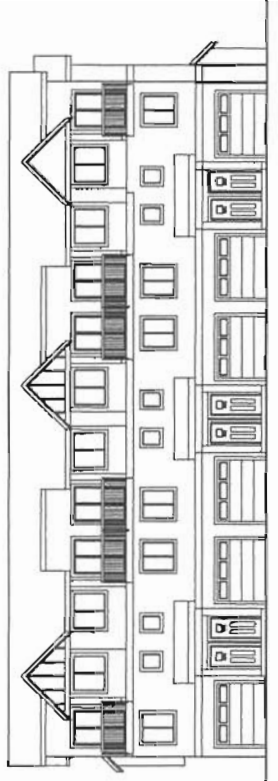
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ELEVATIONS

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Checked By:	
Project No.:	20110008
Drawing No.:	

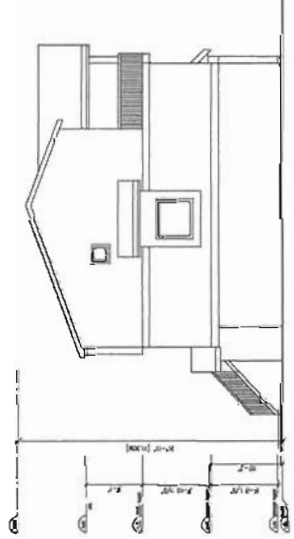
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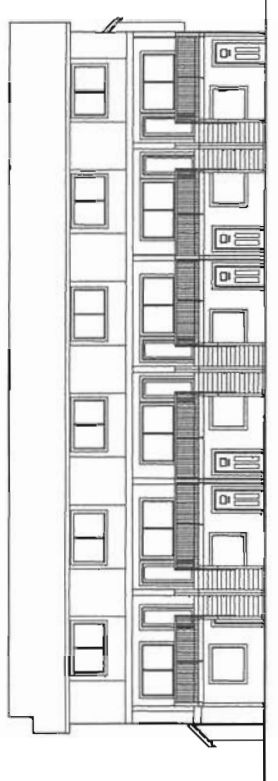
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NORTH ELEVATION - BUILDING 2
SCALE: 1/8"=1'-0"



EAST ELEVATION - BUILDING 2
SCALE: 1/8"=1'-0"



SOUTH ELEVATION - BUILDING 2
SCALE: 1/8"=1'-0"



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**

RZ 11-593412

Attachment 3

Address: 8540 and 8560 Jones Road

Applicant: Zhao XD Architect Ltd.

Planning Area(s): City Centre Area Plan (Schedule 2.10) – Sub-Area B.1

	Existing	Proposed
Owner:	Napavalley Investment Group Ltd. and Yuqing Zhang	No Change
Site Size (m²):	1,682.1 m ² (18,106 ft ²)	No Change
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	General Urban (T4)	No Change
702 Policy Designation:	N/A	No Change
Zoning:	Single Detached (RS1/E)	High Density Townhouse (RTH1)
Number of Units:	2	12
Other Designations:	N/A	No Change

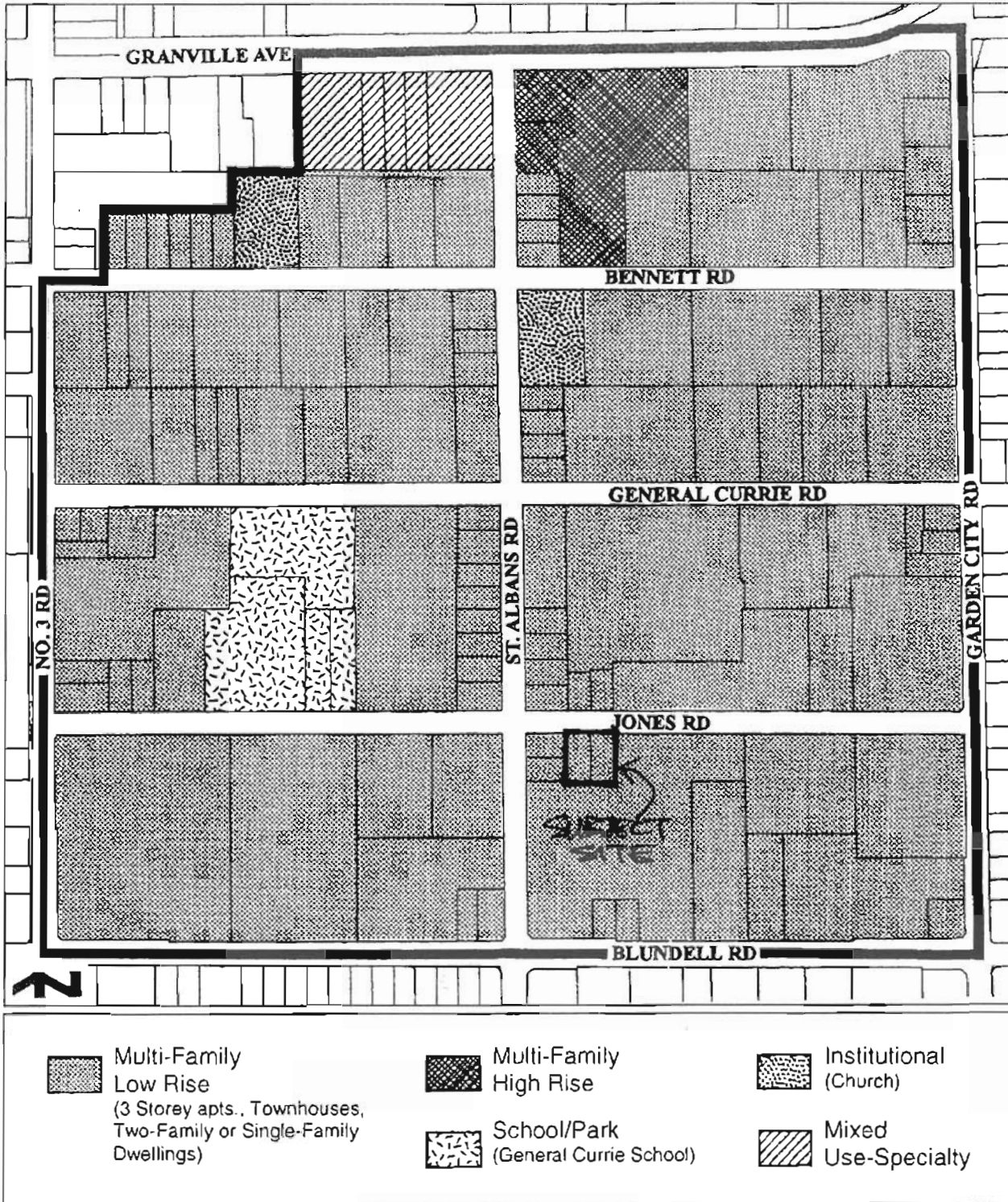
On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Density (units/acre):	N/A	28.87 upa	none permitted
Floor Area Ratio:	Max. 0.75	0.75	none permitted
Lot Coverage – Building:	Max. 45%	42.8%	none
Lot Coverage – Landscaping:	Min. 20%	31%	none
Setback – Front Yard (m):	Min. 4.5 m	6.0 m	none
Setback – East Side Yard (m):	Min. 2.0 m	6.0 m min.	none
Setback – West Side Yard (m):	Min. 2.0 m	2.0 m min.	none
Setback –Rear Yard - North (m):	Min. 2.0 m	2.9 m	none
Height (m):	12.0 m (3 storeys)	12.0 m max.	none

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Lot Size (min. dimensions):	600 m ² (min. 20 m wide x 30 m deep)	1,682.1 m ² (40.24 m wide x 41.81 m deep)	none
Off-street Parking Spaces – Residential (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.25 (V) per unit	none
Off-street Parking Spaces – Total:	20	27	none
Tandem Parking Spaces:	not permitted	24	variance requested
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	\$12,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 12 units = 72 m ²	72 m ²	none

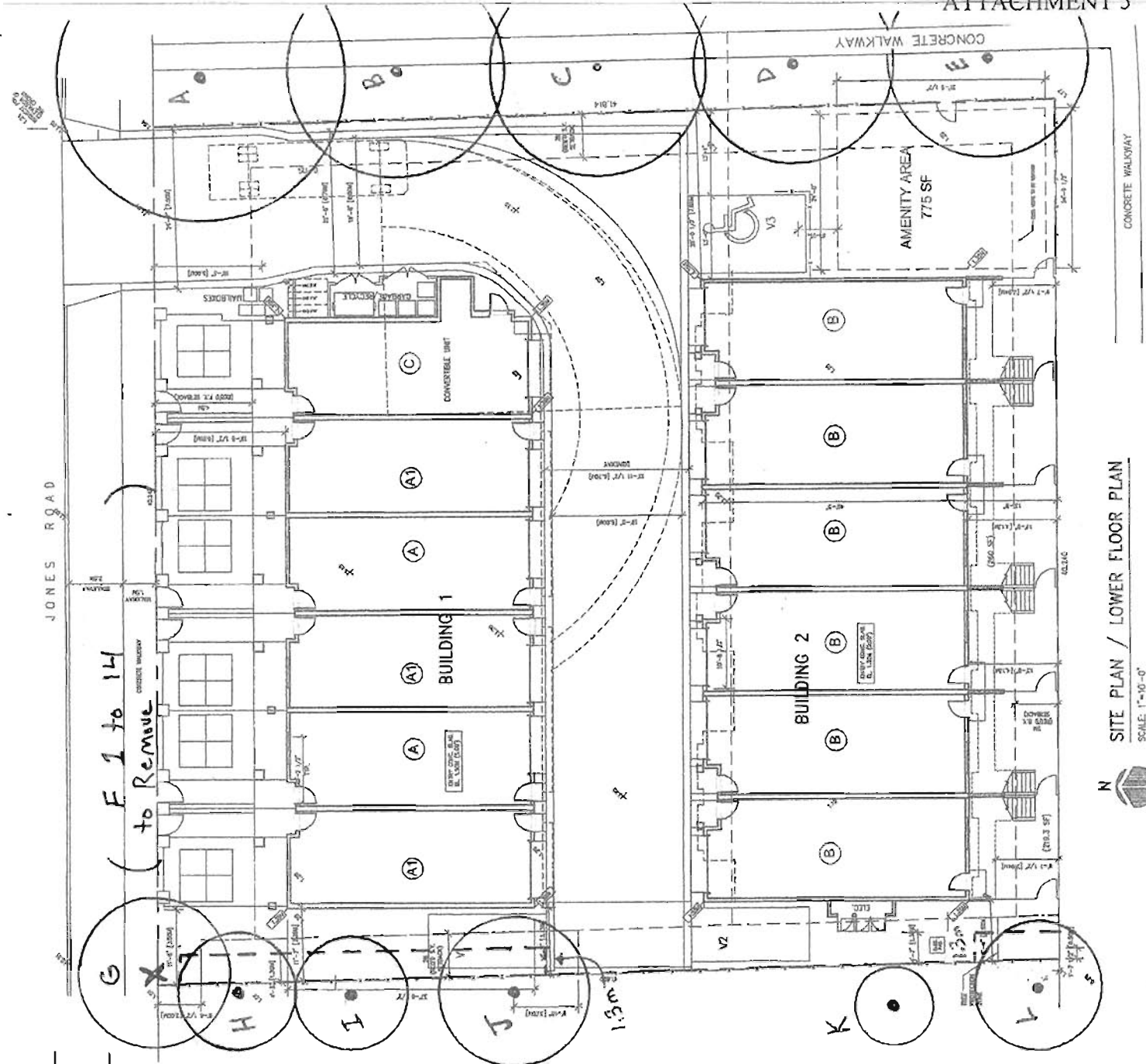
Other: Tree replacement compensation required for loss of bylaw-sized trees.

City of Richmond

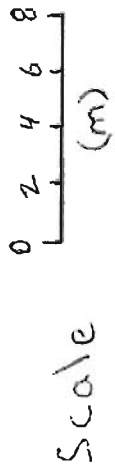
Land Use Map



PLN - 71



Tree Location & Protection Plan



100 ● Recommend Tree Retention

101 X Recommend Tree Removal

- - - 7 Tree Protection Barrier



PLN - 72

Rezoning Considerations

8540 and 8560 Jones Road RZ 11-593412

Prior to final adoption of Zoning Amendment Bylaw 8872, the developer is required to complete the following:

1. Consolidation of 8540 and 8560 Jones Road into one (1) development parcel (which will require the demolition of the existing dwellings).
2. Registration of a flood indemnity covenant on Title. The minimum Flood Construction Level is 2.9 m (geodetic) or 0.3 m above the surveyed top of the crown of the adjacent public road.
3. City acceptance of the developer's voluntary contribution of \$2.00 per buildable square foot (e.g. \$27,160) to the City's Affordable Housing Reserve Fund.
4. City acceptance of the developer's offer to voluntarily contribute \$0.75 per buildable square foot (e.g. \$10,185) to the City's Public Art Fund.
5. City acceptance of the developer's offer to voluntarily contribute \$3,250 to Parks Division's Tree Compensation Fund for the removal of a Western Red Cedar tree and a hedgerow located on the city boulevard. Developer/contractor must contact the Parks Division (604-244-1208 ext. 1342) four (4) business days prior to the removal to allow proper signage to be posted. All costs of removal and compensation are the responsibility borne by the applicant.
6. City acceptance of the developer's offer to voluntarily contribute \$10,000 towards the upgrades of the crosswalk at St. Albans and Jones Roads.
7. Enter into a Servicing Agreement* for the design and construction of upgrades proposed for the city utilities and frontage improvements:
 - a) Storm:

Upgrade of the existing 450mm diameter storm sewer along the frontage of the site to 600mm from existing manhole STMH 4584 to the west property line of 8540 Jones Road.

Note: Existing power pole, streetlight pole, as well as Telus and Shaw crossings may need to be removed and/or relocated due to the storm upgrade.
 - b) Frontage Improvements:

Works to be a continuation of those established at the west property line via SA 01-188400 (8500 Jones Road). The works include but are not limited to:

 - i. removal of the existing sidewalk and pouring of a new 1.50m sidewalk at the property line;
 - ii. creating a 2.50m grass & treed boulevard in the area between the new sidewalk and the existing curb; the tree species is to be 7cm caliper Kwanzan Cherry; and

- iii. replacement of the existing street light duct and possibly adjustment of the street light and power pole in the frontage to avoid conflict with the new sidewalk.

Note: Existing/proposed City utilities, infrastructure and trees are located within rights-of-way on this site or located adjacent to this site, that may be impacted by the on-site development works (i.e. buildings, foundations, structures, services, construction, etc.) or the proposed off-site works. The servicing agreement design must include an impact assessment complete with recommendations to ensure the following conditions are met:

- that the City be able to construct, maintain, operate, repair or remove City utilities/infrastructure without impact to the on-site and offsite works, and
 - that the on-site works, or their construction/maintenance of, not cause damage to the City utilities/infrastructure.
 - the Engineering design, via the Servicing Agreement and/or the Development Permit and/or the Building Permit design must incorporate the recommendations of the impact assessment.
8. Submission of cash-in-lieu for the provision of dedicated indoor amenity space in the amount of \$12,000.
 9. Registration of a covenant prohibiting the conversion of tandem parking area into habitable space.
 10. Submission and processing of a Development Permit application* to the acceptance of the Director of Development.

Prior to issuance of Development Permit:

1. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site and off-site works conducted within the tree protection zone of the trees to be retained on adjacent sites to the east and west at 8500 and 8600 Jones Road. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.

Prior to issuance of Demolition Permit:

1. Installation of appropriate tree protection fencing on-site around all trees to be retained on adjacent properties to the east and west at 8500 and 8600 Jones Road prior to any construction activities, including building demolition, occurring on-site.

Prior to issuance of Building Permit:

1. A construction parking and traffic management plan to be provided to the Transportation Department to include: location for parking for services, deliveries, workers, loading, application for request for any lane closures (including dates, times, and duration), and proper construction traffic controls as per Traffic Control Manual for Works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

* Note: This requires a separate application.

[Signed original on file]

Signed

Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 8872 (RZ 11-593412)
8540 AND 8560 JONES ROAD

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it HIGH DENSITY TOWNHOUSE (RTH1).

P.I.D. 004-268-768

Lot 2 Section 16 Block 4 North Range 6 West New Westminster District Plan 10685

P.I.D. 004-871-731

Lot 3 Section 16 Block 4 North Range 6 West New Westminster District Plan 10685

- 2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 8872".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED

Series of horizontal lines for recording readings and requirements.



MAYOR

CORPORATE OFFICER



To: Planning Committee **Date:** February 28, 2011
From: Brian J. Jackson, MCIP **File:** RZ 11-577561
 Director of Development
Re: **Application by Am-Pri Construction Ltd. for Rezoning at 9100, 9120 and 9140 No. 3 Road from Single Detached (RS1/E) to Low Density Townhouses (RTL4)**

Staff Recommendation

That Bylaw No. 8873, for the rezoning of 9100, 9120 and 9140 No. 3 Road from “Single Detached (RS1/E)” to “Low Density Townhouses (RTL4)”, be introduced and given first reading.

Brian J. Jackson, MCIP
 Director of Development

EL:blg
 Att.

FOR ORIGINATING DEPARTMENT USE ONLY <i>Acting</i>		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	

Staff Report

Origin

Am-Pri Construction Ltd. has applied to the City of Richmond for permission to rezone 9100, 9120 and 9140 No. 3 Road (**Attachment 1**) from Single Detached (RS1/E) to Low Density Townhouses (RTL4) in order to permit the development of 18 townhouse units. A preliminary site plan and building elevations are contained in **Attachment 2**.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 3**).

Surrounding Development

To the North: A vacant site zoned Assembly (ASY) and then a vacant site zoned Gas and Service Stations (CG1) at the corner of Francis Road and No. 3 Road;

To the East: Existing single-family dwellings on lots zoned Single Detached (RS1/E), fronting Rideau Drive;

To the South: Existing single-family dwellings on lots zoned Single Detached (RS1/E), fronting No. 3 Road; and

To the West: Across No. 3 Road, existing single-family dwellings on lots zoned Single Detached (RS1/B) and recent developed coach houses on lots zoned Coach House (RCH).

Related Policies & Studies

Arterial Road Redevelopment and Lane Establishment Policies

The Arterial Road Redevelopment Policy is supportive of multiple family residential developments along major arterial roads, especially in locations such as the subject site, which are within walking distance of commercial services and where public transit is available.

Floodplain Management Implementation Strategy

The applicant is required to comply with the Flood Plain Designation and Protection Bylaw (No. 8204). In accordance with the Flood Management Strategy, a Flood Indemnity Restrictive Covenant specifying the minimum flood construction level is required prior to rezoning bylaw adoption.

Affordable Housing Strategy

The applicant proposes to make a cash contribution to the affordable housing reserve fund in accordance to the City's Affordable Housing Strategy. As the proposal is for townhouses, the applicant is making a cash contribution of \$2.00 per buildable square foot as per the Strategy; making the payable contribution amount of \$43,492.00.

Public Art

The applicant has agreed to provide a voluntary contribution in the amount of \$0.75 per square foot of developable area for the development to the City's Public Art fund. The amount of the contribution would be \$16,309.50.

Public Input

The applicant has forwarded confirmation that a development sign has been posted on the site. Adjacent property owners on both Rideau Drive and No. 3 Road expressed concerns related to adjacency and privacy. A list of concerns is provided below, along with the responses in *bold italics*:

1. The units located along the east property line (i.e. adjacent to the single-family homes on Rideau Drive) should be limited to 9 m in height and set back 6 m from the property line to minimize shadowing and overlooking; no east facing balconies on the second floor should be allowed.

(All the proposed units along the east property line are two- storey and are approximately 7.5 m in height to the midpoint of the roof. In order to reduce the opportunity for overlooking, the proposal has been revised from eight (8) duplex units with a rear yard interface to three (3) end units with a side yard interface, with the adjacent single-family homes to the east. In addition, all east facing windows are removed and no balcony facing the east property line is being proposed.

The east setback is maintained at 4.5 m, which is consistent with the design guidelines under the Arterial Road Redevelopment Policy. The east setback area will be designed as a buffer area instead of developed as private backyards.)

2. A 6 m landscape buffer should be provided along the east property line. If visitor parking is to be located immediately adjacent to the Rideau Drive properties, a sound-proof fence should be constructed along the entire length of the east property line.

(Two (2) visitor parking spaces are proposed adjacent to the east property line and have been shifted to the west as much as possible (minimum 1.19 m away from the east property line). A solid 6 ft. high fence is proposed along the entire east property line.)

3. Existing hedge located at the rear of 9120 No. 3 Road should be retained, or a row of 8 ft. high pyramidal Cedars should be planted along the fence line to provide added privacy.

(A new hedgerow will be installed along the rear fence line to ensure privacy for existing and new neighbours.)

4. Drainage tiles or pipes should be installed at the rear of the property so that the neighbours will not suffer any undue flooding in their back yards.

(A retaining wall and proper drainage designed by a civil engineer will be installed along the rear property line to prevent any overflow onto neighbouring properties.)

5. The proposed development would generate additional traffic and noise, which would adversely impact the adjacent single-family home to the south (at 9160 No. 3 Road).

(The proposed land use and density comply with the Arterial Road Redevelopment Policy in the Official Community Plan (OCP). A landscaped buffer, including a 6 ft. high solid wood fence, will be installed along the south property line to alleviate the potential impact to the adjacent single-family home to the south.)

6. The proposed three-storey units adjacent to the property to the south (at 9160 No. 3 Road) would significantly reduce the privacy of the single-family home.

(The number of units adjacent to 9160 No. 3 Road has been reduced from four (4) three-storey and one (1) two-storey units to three (3) two-storey units only. The minimum setback between the proposed townhouse units and the south property line is 7.6 m from the south property line. The outdoor amenity area has also been relocated to the middle of the southern portion of the site to create more open space at the interface with the single-family home to the south.)

7. The proposed townhouse development would significantly reduce the value of the property to the south (at 9160 No. 3 Road).

(The applicant is proposing a townhouse development of a high quality in terms of detailing, materials, and landscaping. In addition, as part of the development, the frontage of the development site will be improved with a new sidewalk and a grassed and treed boulevard. The proposed development will improve the appearance of the streetscape, and alleviate some of the concerns that have been raised with recent tenants at 9120 and 9140 No. 3 Road. The applicant feels that the value of the properties on this block of No. 3 Road would increase with the introduction of a townhouse development.)

Staff Comments

Trees Retention and Replacement

A Tree Survey and a Certified Arborist's report were submitted in support of the application. The City's Tree Preservation Coordinator has reviewed the Arborist Report and concurred with the Arborist's recommendations to remove all bylaw-sized trees on-site since all of the nine (9) trees display visible structural defects such as previous topping, cavities as a result of topping, inclusions, canopy dieback as a result of tree health decline, and insect damage as a result of Winter Shoot moth. Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 18 replacement trees are required. According to the Preliminary Landscape Plan (**Attachment 2**), the developer is proposing to plant 31 trees on-site.

The applicant has committed to the relocation of two (2) under-sized trees onsite (i.e. a 13 cm caliper Flowering Dogwood (tag# 6968) and a 10 cm caliper Colorado Spruce tree (tag# 6969), see Tree Protection Plan in **Attachment 4**). As a condition to rezoning, a proof of a contract with a company specializing in tree relocation to undertake the transplant of these trees is required.

The applicant has also committed to the protection of the four (4) trees and two (2) hedgerows located on the adjacent properties to the north and east (see Tree Protection Plan in **Attachment 4**). A proof of contract with a Certified Arborist for supervision of on-site works conducted close to all protected trees will be required at the Development Permit stage.

Site Servicing

An independent review of servicing requirements (sanitary) has concluded no upgrades are required to support the proposed development.

Prior to final adoption, the developer is required to consolidate the three (3) lots into one (1) development parcel, dedicate 2.0 m along the west property line up to a 100 m south of the No.3 Road/Francis Road intersection for future road widening, and provide a \$7,500 contribution to the Accessible Pedestrian Signals (APS) upgrade at the No. 3 Road/Francis Road intersection.

Vehicle Access

One (1) driveway is proposed at the southern edge of the site. The long-term objective is for the driveway access established on No. 3 Road to be utilized by adjacent properties if they ultimately apply to redevelop. A Public Right of Passage (PROP) will be secured as a condition of rezoning to facilitate this.

It is envisioned that the Assembly (ASY) zoned property to the north at 9080 No. 3 Road will have its own vehicle access point from No. 3 Road when it developed into assembly uses. However, if 9080 No. 3 Road is to be rezoned and redeveloped into townhouse uses, vehicle access to the future development at 9080 No. 3 Road will be via the PROP on the subject development site.

Frontage Improvements

Prior to issuance of Building Permit, the developer is to enter into a standard Servicing Agreement to provide the required beautification treatment to the road frontage. Beautification works include relocating the sidewalk to the new property line (a 1.5 m concrete sidewalk) and installing a 1.39 m grassed and treed boulevard behind the existing curb. All works at developers sole cost.

Indoor Amenity Space

The applicant is proposing a contribution in-lieu of on-site indoor amenity space in the amount of \$18,000 as per the Official Community Plan (OCP) and Council Policy.

Outdoor Amenity Space

Outdoor amenity space will be provided on-site and is adequately sized based on Official Community Plan (OCP) guidelines. The design of the children's play area and landscape details will be refined as part of the Development Permit application.

Analysis

Official Community Plan (OCP) Compliance

Arterial Road Developments

Under the Arterial Road Redevelopment and Lane Establishment Policies, the subject block on the east side of No. 3 Road between Francis Road and Saunders Road is designated for multiple-family development. The proposal is generally in compliance with the development guidelines for multiple-family residential developments under the Arterial Road Redevelopment Policy. The proposed height, siting and orientation of the buildings respect the massing of the existing single-family homes. All units immediately adjacent to the neighbouring houses have been reduced in height to two (2) storeys. The front buildings along No. 3 Road have been stepped down from three (3) storeys to two (2) storeys along the side yards and the entry driveway. The back buildings along the rear property line have been limited to two (2) storeys. The two (2) storey massing will be controlled through the Development Permit process.

Requested Variances

The proposed development is generally consistent with the Development Permit Guidelines for multiple-family projects contained in the Official Community Plan (OCP). Based on the review of current site plan for the project, a variance to allow for a total of 16 tandem parking spaces in eight (8) of the three-storey townhouse units is being requested. Transportation Division staff have reviewed the proposal and have no concerns. The proposed number of on-site visitor parking is in compliance with the bylaw requirement. A restrictive covenant to prohibit the conversion of the garage area into habitable space is required prior to final adoption.

Design Review and Future Development Permit Considerations

A Development Permit will be required to ensure that the development at 9100, 9120 and 9140 No. 3 Road is sensitively integrated with adjacent developments. The rezoning conditions will not be considered satisfied until a Development Permit application is processed to a satisfactory level. In association with the Development Permit, the following issues are to be further examined:

- Guidelines for the issuance of Development Permits for multiple-family projects contained in Section 9.3 (Multiple-Family Guidelines);
- Detailed review of building form and architectural character;
- Review of the location and design of the convertible unit and other accessibility features;
- Review of site grade to ensure the survival of protected trees and to enhance the relationship between the first habitable level and the private outdoor space;
- Provision of a buffer area between the proposed townhouse buildings and the adjacent single-family homes;
- Landscaping design and enhancement of the outdoor amenity area to maximize use;
- Ensure there is adequate private outdoor space in each unit; and
- Opportunities to maximize permeable surface areas and articulate hard surface treatment.

Financial Impact or Economic Impact

None.

Conclusion

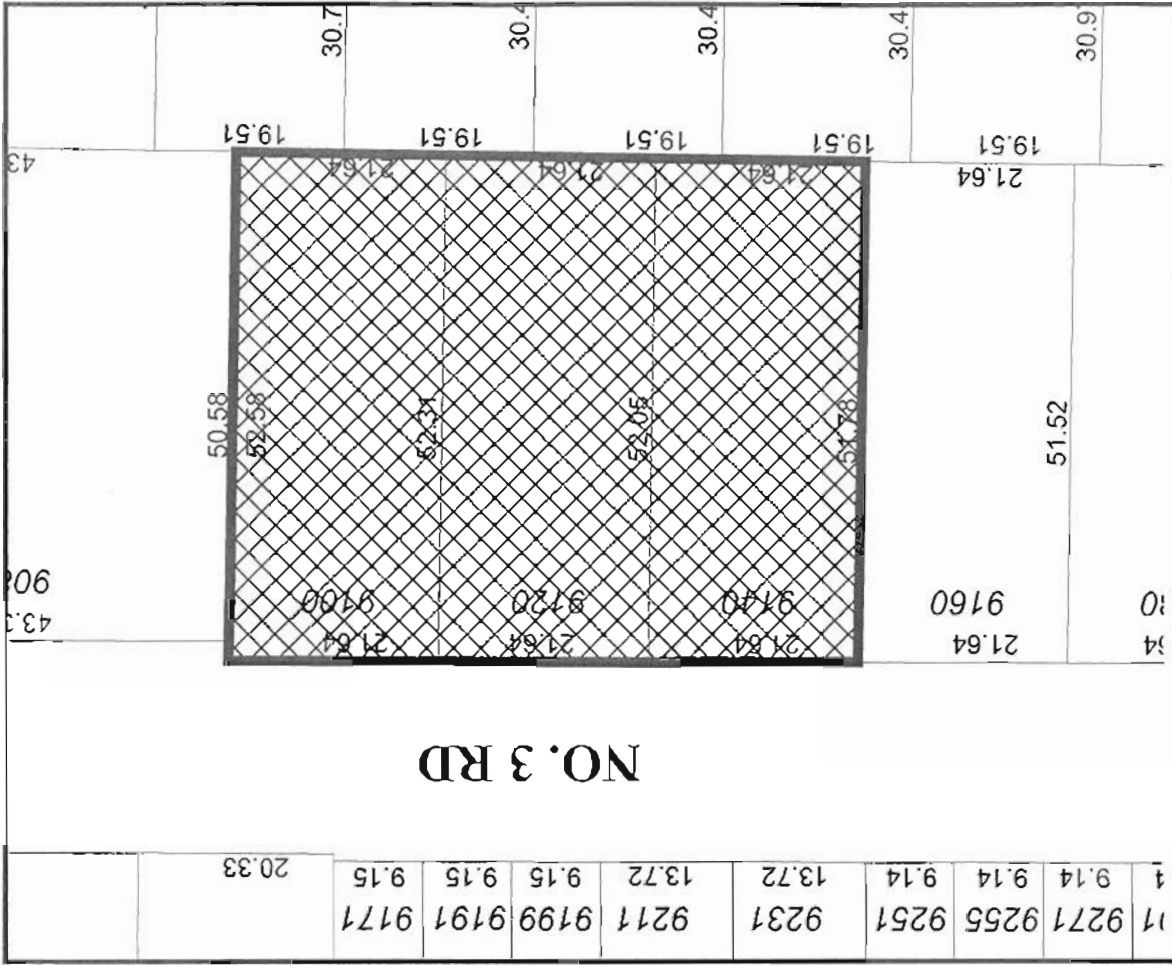
The subject application is consistent with the Official Community Plan (OCP) regarding developments along major arterial roads. Overall, the project is attractive and a good fit with the neighbourhood. Further review of the project design will be required to ensure a high quality project, and will be completed as part of the future Development Permit process. On this basis, staff recommend that the proposed rezoning be approved.



Edwin Lee
Planning Technician – Design
(604-276-4121)

EL:blg

- Attachment 1: Location Map
- Attachment 2: Conceptual Development Plans
- Attachment 3: Development Application Data Sheet
- Attachment 4: Tree Preservation Plan
- Attachment 5: Rezoning Considerations Concurrence



NO. 3 RD



PLN - 84

Original Date: 05/12/11

Revision Date:

Note: Dimensions are in METRES

RZ 11-577561



City of Richmond



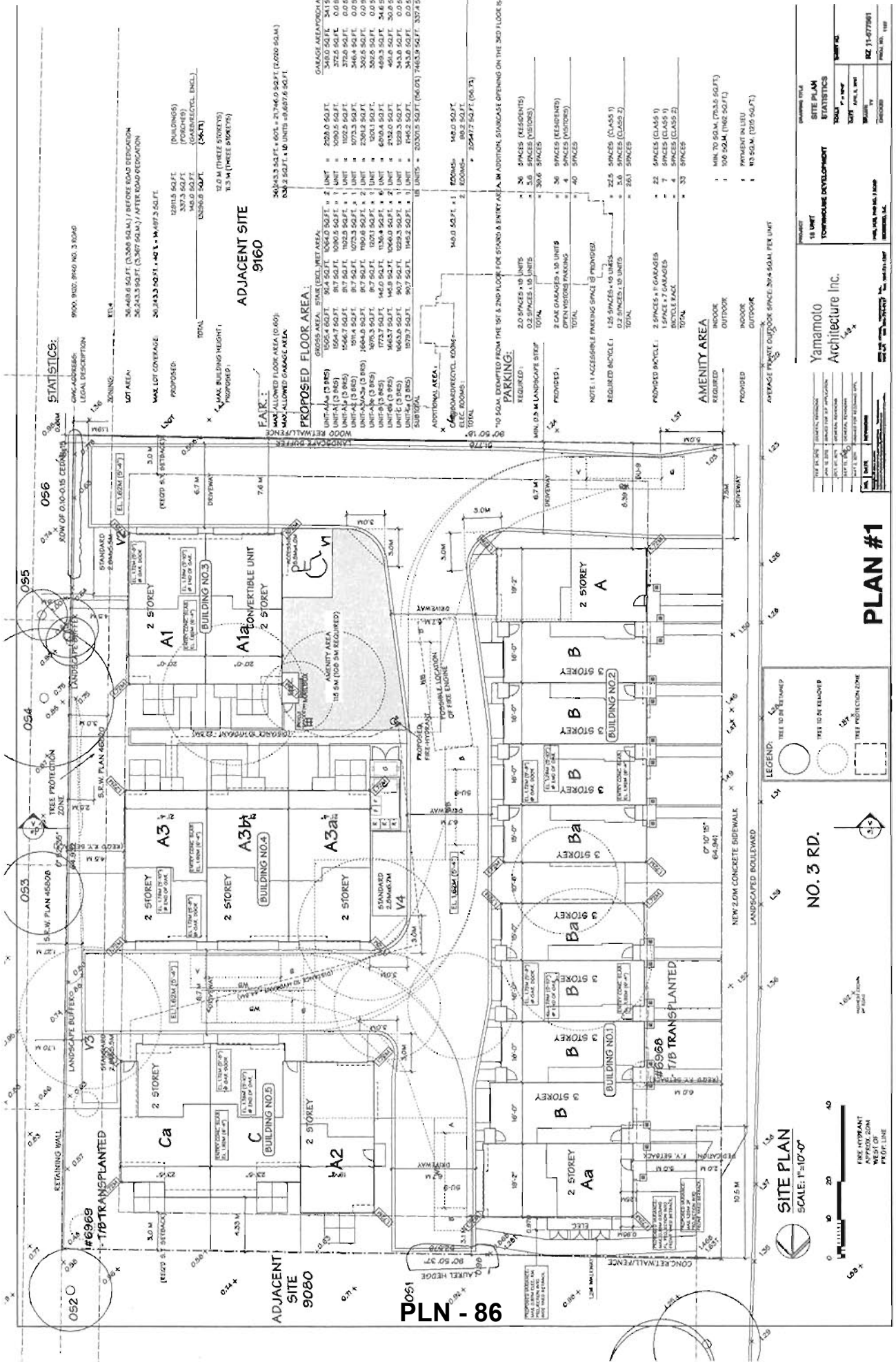
RZ 11-577561

PLN - 85

Original Date: 05/12/11

Revision Date:

Note: Dimensions are in METRES



Yamamoto Architecture Inc.
 100-10000 170th Street, Surrey, BC V3R 4K7
 TEL: (604) 272-7373
 WWW.YAMAMOTOARCH.COM

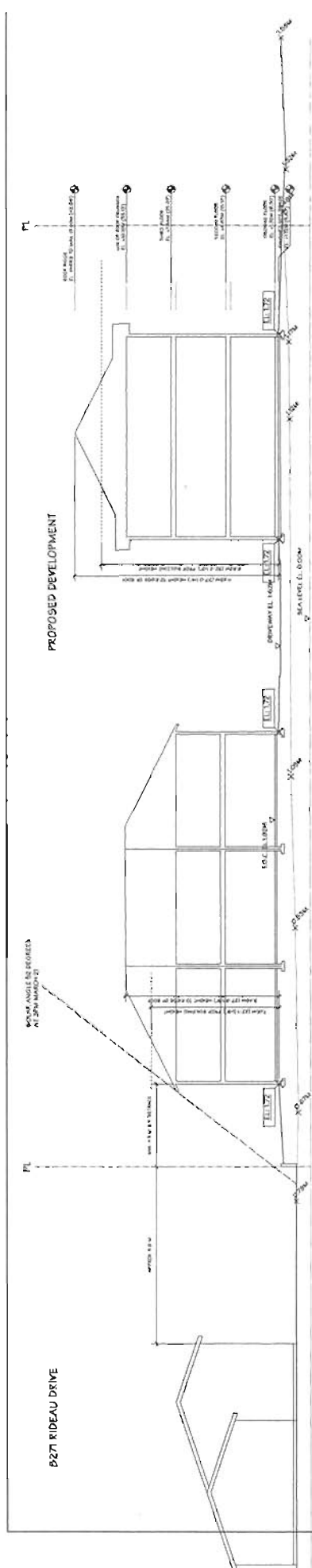
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PROPOSED	18 UNIT
PROJECT	TOWNHOUSE DEVELOPMENT
CLIENT	YAMAMOTO ARCHITECTURE INC.
DATE	APR. 1, 2017
DRAWN BY	ARCHITECT
CHECKED BY	ENGINEER
DATE	RZ 13-577961

PLAN #1

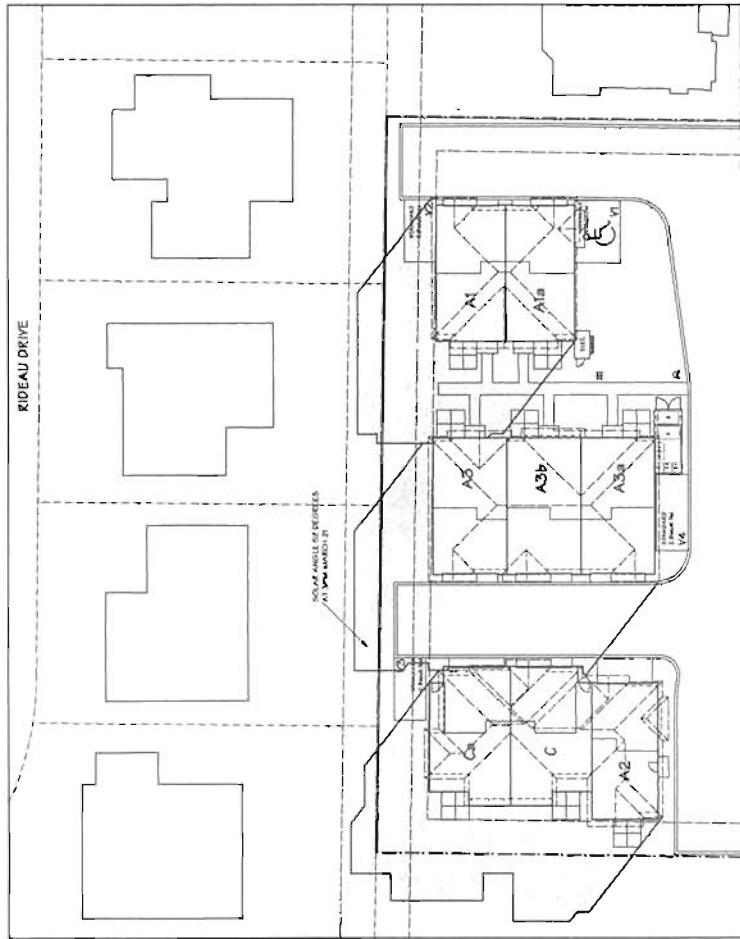
NO. 3 RD.

SITE PLAN
 SCALE: 1"=10'-0"





SITE SECTION - A
SCALE: 1/8" = 1'-0"



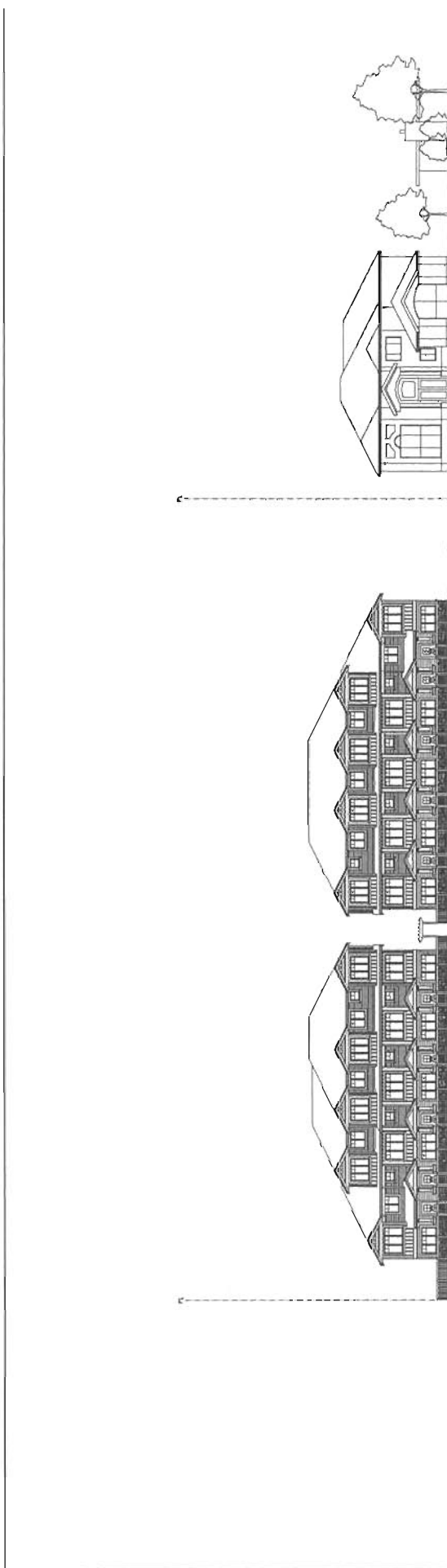
SHADOW ANALYSIS
SCALE: 1/8" = 1'-0"



CONTEXT PLAN
N.T.S.

DATE: 11/20/2018	PROJECT: YONKERSHOUSE DEVELOPMENT	PROJECT TITLE: CONTEXT PLAN
SCALE: 1" = 30'-0"	DRAWN BY: J.M.S.	ISSUED FOR:
CHECKED BY: J.M.S.	DATE: 11/20/2018	PROJECT NO: RZ 11-077161
DATE: 11/20/2018	SCALE: 1" = 30'-0"	PROJECT NO: RZ 11-077161
DATE: 11/20/2018	SCALE: 1" = 30'-0"	PROJECT NO: RZ 11-077161
DATE: 11/20/2018	SCALE: 1" = 30'-0"	PROJECT NO: RZ 11-077161

PLAN #1a



9100 NO.3 ROAD

WEST ELEVATION - NO. 3 ROAD

9160 NO.5 ROAD

9100 NO.3 ROAD

PLN - 88

DATE	DESCRIPTION

YAMAMOTO ARCHITECTURE INC.
 14 EAST TOWN SQUARE
 DEVELOPMENT

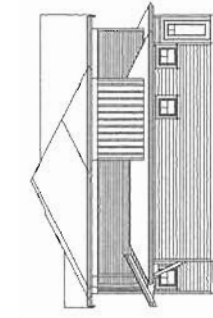
YAMAMOTO ARCHITECTURE INC.
 14 EAST TOWN SQUARE
 DEVELOPMENT

YAMAMOTO ARCHITECTURE INC.
 14 EAST TOWN SQUARE
 DEVELOPMENT

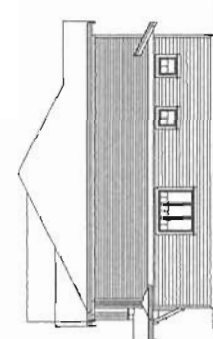
NO.	DATE	REVISION

PLAN #4

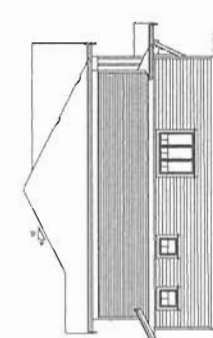
PL



UNIT A3
BUILDING NO. 3



UNIT A3
BUILDING NO. 3
WEST ELEVATION

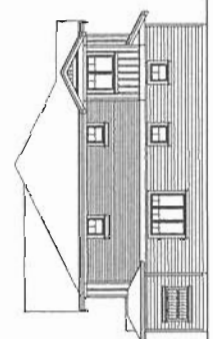


UNIT A3
BUILDING NO. 3

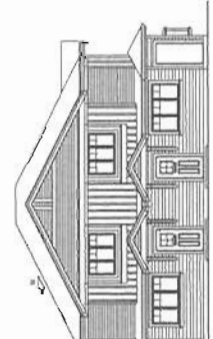
- UNIT A3
- UNIT A3
- UNIT A3
- UNIT A3



UNIT A3
BUILDING NO. 3
SOUTH ELEVATION



UNIT A3
BUILDING NO. 3
WEST ELEVATION



UNIT A3
BUILDING NO. 3
NORTH ELEVATION

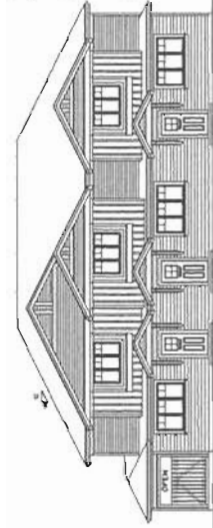
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PLN - 90

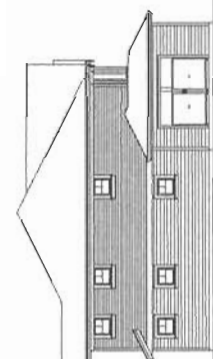
DATE	1/15/2010
BY	J. J. [REDACTED]
PROJECT	[REDACTED]
SCALE	[REDACTED]
DESCRIPTION	[REDACTED]

Yamamoto Architecture Inc.

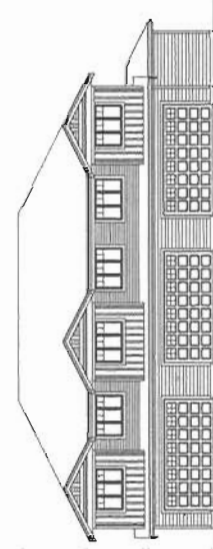
11 UNIT TOWNHOUSE DEVELOPMENT



UNIT A4
BUILDING NO. 4
SOUTH ELEVATION



UNIT A4
BUILDING NO. 4
WEST ELEVATION

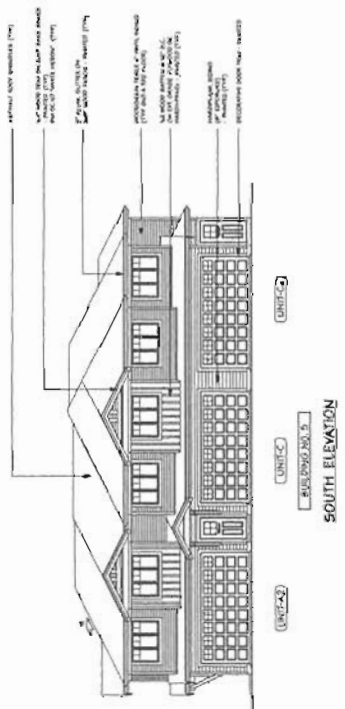


UNIT A4
BUILDING NO. 4
NORTH ELEVATION

- UNIT A4
- UNIT A4
- UNIT A4
- UNIT A4

PLAN #6

DATE	1/15/2010
BY	J. J. [REDACTED]
PROJECT	[REDACTED]
SCALE	[REDACTED]
DESCRIPTION	[REDACTED]



PLN - 91

PLAN #7

DATE	DESCRIPTION
APR 15 2014	INITIAL DESIGN
MAY 15 2014	REVISIONS
NOV 15 2014	REVISIONS
CONTRACTOR	

PROJECT
 11 UNIT TOWNHOUSE DEVELOPMENT

DATE PLOTTED: 04/15/2014 10:00 AM

Yamamoto
 Architecture Inc.

ELEVATIONS

SCALE	1/8" = 1'-0"
SHEET	08E-01A-01
PROJECT	11 UNIT TOWNHOUSE DEVELOPMENT
DATE	04/15/2014
BY	YAMAMOTO ARCHITECTURE INC.



City of Richmond

6911 No. 3 Road
 Richmond, BC V6Y 2C1
 www.richmond.ca
 604-276-4000

**Development Application
 Data Sheet**

RZ 11-577561

Attachment 3

Address: 9100, 9120 and 9140 No. 3 Road

Applicant: Am-Pri Construction Ltd.

Planning Area(s): Broadmoor

	Existing	Proposed
Owner:	Am-Pri Developments (Broadmoor) Ltd.	No Change
Site Size (m ²):	3,388 m ² (36,469.6 ft ²)	3,367 m ² (36,243.3 ft ²)
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Area Plan Designation:	N/A	No Change
702 Policy Designation:	N/A	No Change
Zoning:	Single Detached (RS1/E)	Low-Density Townhouses (RTL4)
Number of Units:	3	18
Other Designations:	Arterial Road Redevelopment Policy – Multiple Family Development	No Change

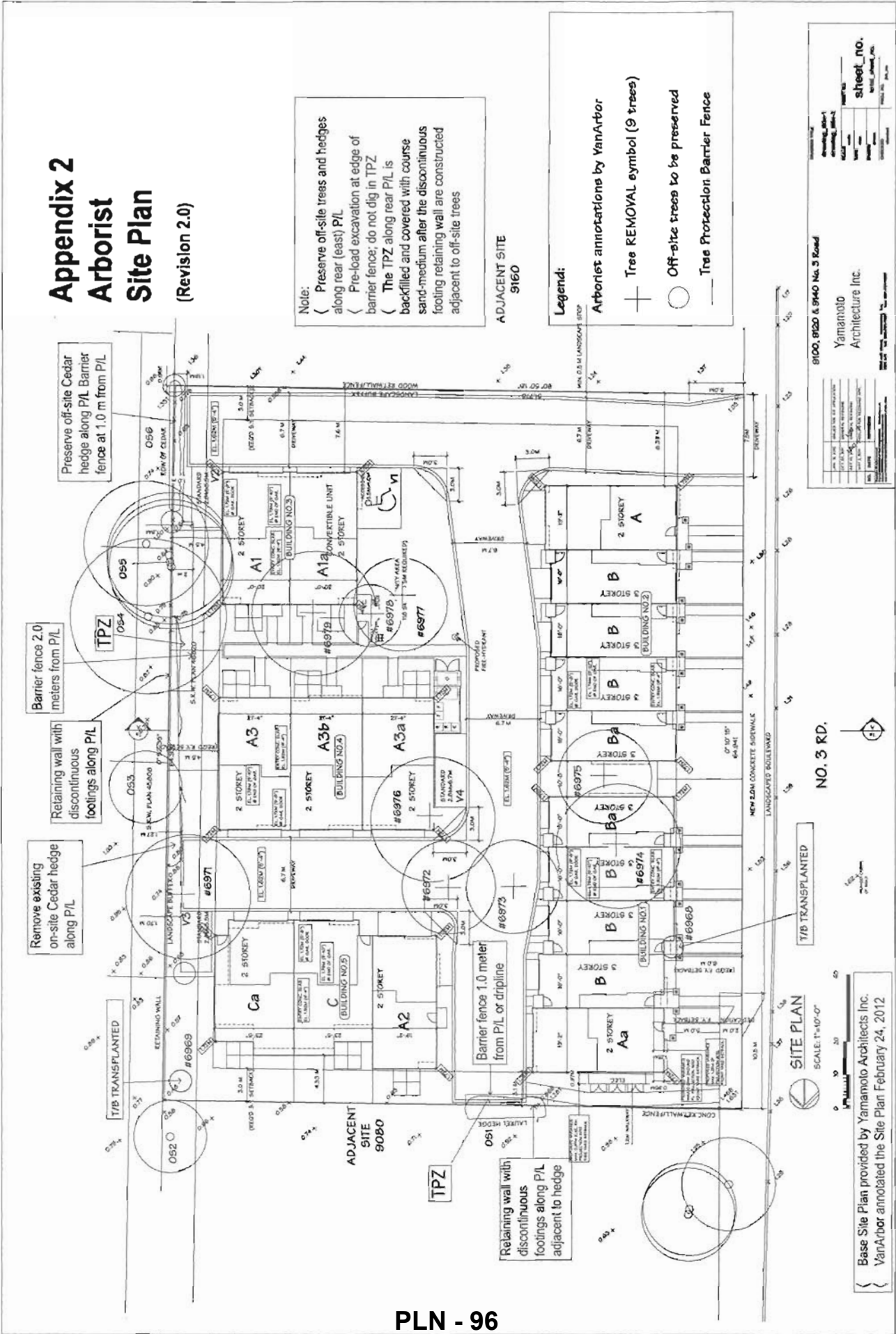
On Future Development	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60 max.	none permitted
Lot Coverage – Building:	Max. 40%	40% max.	none
Lot Coverage – Non-porous Surfaces	Max. 65%	65% max.	none
Lot Coverage – Landscaping:	Min. 25%	25% min.	none
Setback – Front Yard (m):	Min. 6 m	6.0 m	none
Setback – Side Yard (North) (m):	Min. 3 m	3.0 m min.	none
Setback – Side Yard (South) (m):	Min. 3 m	7.60 m	none
Setback – Rear Yard (m):	Min. 3 m	4.5 m min.	none
Height (m):	Max. 12.0 m (3 storeys)	12.0 m (3 storeys) max.	none

On Future Development	Bylaw Requirement	Proposed	Variance
Lot Size (min. dimensions):	Min. 50 m wide x 35 m deep	Approx. 64.94 m wide x 51.78 m deep	none
Off-street Parking Spaces – Resident (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	40	40	none
Tandem Parking Spaces:	not permitted	16	variance requested
Small Car Parking Spaces:	max. 50% when 31 or more spaces are provided on site	8 stalls (20%)	none
Handicap Parking Spaces:	1	1	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.6 (Class 1) and 0.22 (Class 2) per unit	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	\$18,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 18 units = 108 m ²	108 m ² min.	none

Other: Tree replacement compensation required for removal of bylaw-sized trees.

Appendix 2 Arborist Site Plan

(Revision 2.0)



Note:

- Preserve off-site trees and hedges along rear (east) P/L
- Pre-load excavation at edge of barrier fence; do not dig in TPZ
- The TPZ along rear P/L is backfilled and covered with coarse sand-medium after the discontinuous footing retaining wall are constructed adjacent to off-site trees

ADJACENT SITE
9160

Legend:

- Arborist annotations by VanArbor
- Tree REMOVAL symbol (9 trees)
 - Off-site trees to be preserved
 - Tree Protection Barrier Fence

Preserve off-site Cedar hedge along P/L Barrier fence at 1.0 m from P/L

Barrier fence 2.0 meters from P/L

Retaining wall with discontinuous footings along P/L

Remove existing on-site Cedar hedge along P/L

Barrier fence 1.0 meter from P/L or dripline

Retaining wall with discontinuous footings along P/L adjacent to hedge

9100, 9120 & 9140 No. 3 Road
Yamamoto Architecture Inc.

DATE	DESCRIPTION	BY	CHECKED
2012.02.24	BASE SITE PLAN	YAMAMOTO	YAMAMOTO
2012.02.24	REVISION 1.0	YAMAMOTO	YAMAMOTO
2012.02.24	REVISION 2.0	YAMAMOTO	YAMAMOTO

Sheet No. 1 of 1

NO. 3 RD.

T/B TRANSPLANTED

SITE PLAN
SCALE: 1"=10'-0"

Base Site Plan provided by Yamamoto Architects Inc.
VanArbor annotated the Site Plan February 24, 2012

Rezoning Considerations

9100, 9120 and 9140 No. 3 Road RZ 11-577561

Prior to final adoption of Zoning Amendment Bylaw 8873, the developer is required to complete the following:

1. Consolidation of 9100, 9120 and 9140 No. 3 Road into one (1) development parcel (which will require the demolition of the existing dwellings).
2. 2.0 m road dedication along the west property line up to 100 m from the No. 3 Road/Francis Road intersection (south property line of Francis Road);
3. Registration of a Public Rights-of-Passage (PROP) statutory rights-of-way (ROW) over the internal drive aisle on Title allowing access to/from the future townhouse development sites to the south at 9160 No. 3 Road, and any consolidation thereof, as well as to the north at 9080 No. 3 Road.
4. Registration of a flood indemnity covenant on Title.
5. Registration of a legal agreement on title prohibiting the conversion of the tandem parking area into habitable space.
6. City acceptance of the developer's offer to voluntarily contribute \$7,500 towards the proposed Audible Pedestrian Sign (APS) system upgrade at the No.3 Road/Francis Road intersection.
7. City acceptance of the developer's voluntary contribution of \$2.00 per buildable square foot (e.g. \$43,492.00) to the City's Affordable Housing Reserve Fund.
8. City acceptance of the developer's offer to voluntarily contribute \$0.75 per buildable square foot (e.g. \$ 16,309.50) to the City's Public Art fund.
9. Submission of cash-in-lieu for the provision of dedicated indoor amenity space in the amount of \$18,000.
10. Provide a proof of a contract with a company specializing in tree relocation to undertake the transplant of the 13cm caliper Flowering Dogwood (tag# 6968) and the 10cm caliper Colorado Spruce tree (tag# 6969) onsite.
11. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.

Prior to issuance of Development Permit:

1. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site and off-site works conducted within the tree protection zone of the trees and hedgerows to be retained on the adjacent properties to the north and east. The Contract should include the scope of work to be undertaken, including the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.

Prior to issuance of Demolition Permit:

1. Installation of appropriate tree protection fencing on-site around all trees and hedgerows to be retained on adjacent properties to the north and east prior to any construction activities, including building demolition, occurring on-site.

Note: Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw, the applicant will be required to obtain a Tree Permit and submit a landscape security (i.e. \$9,000) to ensure the replacement planting will be provided.

Prior to issuance of Building Permit:

1. Enter into a Servicing Agreement* for the design and construction of frontage beautification and service connections. Design works include, but are not limited to: removing the existing sidewalk behind the curb and gutter (which remains). As there is only 2.89 m from the property line to the back of curb, pour a new 1.5 m concrete sidewalk at the property line with a 1.39 grass and treed boulevard up to the curb. (Recent example is SA05-315487 at 9600 No 3 Road).
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

* Note: This requires a separate application.

[Signed original on file]

Signed

Date



Richmond Zoning Bylaw 8500
Amendment Bylaw 8873 (RZ 11-577561)
9100, 9120 AND 9140 NO. 3 ROAD

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it LOW DENSITY TOWNHOUSES (RTL4).

P.I.D. 009-709-240

Lot 5 Section 28 Block 4 North Range 6 West New Westminster District Plan 12559

P.I.D. 009-709-282

Lot 6 Section 28 Block 4 North Range 6 West New Westminster District Plan 12559

P.I.D. 002-389-100

Lot 7 Section 28 Block 4 North Range 6 West New Westminster District Plan 12559

- 2. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 8873".

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED

Series of horizontal lines for recording readings and requirements.



MAYOR

CORPORATE OFFICER



To: Planning Committee Date: March 5, 2012

From: Brian J. Jackson, MCIP Director of Development File: RZ 11-586705

Re: Application by Centro Terrawest Development Ltd. for Rezoning at 6011 and 6031 No. 1 Road from Local Commercial (CL) and Single Detached (RS1/F) to Commercial Mixed Use (ZMU21) – Terra Nova

Staff Recommendation

1. That Official Community Plan Amendment Bylaw No. 8874, to redesignate 6011 and 6031 No. 1 Road from "Residential (Single-Family)" to "Mixed-Use" in Schedule 2.2B of Official Community Plan Bylaw No. 7100 (Terra Nova Sub-Area Plan), be introduced and given first reading.
2. That Bylaw No. 8874, having been considered in conjunction with:
 - The City's Financial Plan and Capital Program; and
 - The Greater Vancouver Regional District Solid Waste and Liquid Waste Management Plans;

is hereby deemed to be consistent with said program and plans, in accordance with Section 882(3)(a) of the Local Government Act.

3. That Bylaw No. 8874, having been considered in accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby deemed not to require further consultation.
4. That Bylaw No. 8875, to:
 - Create "Commercial Mixed-Use (ZMU21) – Terra Nova";
 - Amend Section 5.15.1 (Affordable Housing) to include the "ZMU21" zone and the density bonusing sum of "\$4.00"; and
 - Rezone 6011 and 6031 No. 1 Road from "Local Commercial (CL)" and "Single Detached (RS1/F)" to "Commercial Mixed-Use (ZMU21) – Terra Nova", be introduced and given first reading.

Brian Jackson, MCIP
Director of Development

SB:blg
Att.

FOR ORIGINATING DEPARTMENT USE ONLY <i>Acting</i>		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Affordable Housing	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	<i>Brian Jackson</i>
Engineering	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	

PLN - 101

Staff Report

Origin

Centro Terrawest Development Ltd. has applied to the City of Richmond for permission to rezone 6011 and 6031 No. 1 Road (**Attachment 1**) from "Local Commercial (CL)" and "Single Detached (RS1/F)" to "Commercial Mixed-Use (ZMU21) – Terra Nova" in order to develop a four-storey mixed-used building with approximately 731 m² of commercial space at grade, approximately 36 apartment housing dwelling units on upper floors, and an associated two-level parking structure.

The site currently contains a two-storey commercial building on the corner lot and an existing non-conforming duplex on the adjacent lot.

The developer is required to enter into a Servicing Agreement as a requirement of rezoning for the design and construction of works including, but not limited to: frontage improvements along No. 1 Road and Westminster Highway; intersection improvements at the west leg of the intersection to reduce walking distance, enhance pedestrian movement, and introduce a median; No. 1 Road bus stop improvement; and infrastructure works to remove surplus sanitary sewer.

Findings of Fact

A Development Application Data Sheet providing details about the development proposal is attached (**Attachment 2**).

Surrounding Development

The existing development surrounding the subject consolidated site is described as follows:

- To the north, across Westminster Highway, is the Terra Nova Shopping Centre, zoned Community Commercial (ZC13) – Terra Nova. This shopping centre is also the Official Community Plan (OCP) designated neighbourhood service centre;
- To the east, across No. 1 Road and outside of the Terra Nova Sub-Area boundary, are existing single detached houses, zoned Single Detached (RS1/E);
- To the south, is a 69-unit three-storey townhouse development, zoned Town Housing (ZT19) – No. 1 Road (Terra Nova); and
- To the west is a 201-unit three-storey townhouse development, zoned Low Density Townhouses (RTL1).

Related Policies & Studies

Official Community Plan (OCP)

The proposed development is located in the Terra Nova Sub-Area of the Thompson planning area (**Attachment 3**). The application includes an OCP amendment to amend the Terra Nova Sub-Area Plan by changing the designation of the subject site from “Residential (Single-Family)” to “Mixed-Use” in the Terra Nova Sub-Area Plan land use map. Mixed-Use is defined in Schedule 1 (land use map definitions) as “An area which provides for residential, commercial business and industry, and public and private institutions.” The proposed land use complies with the amendment.

The proposed land use complies with the “Neighbourhood Residential” land use on the Generalized Land Use Map Attachment 1 to Schedule 1, which allows for primarily residential uses accompanied by complementary local commercial uses.

OCP Aircraft Noise Sensitive Development (ANSD) Policy

The site is located within Area 4 of the ANSD map, which allows consideration of all new aircraft noise sensitive uses (including dwelling units), requires the registration of a restrictive covenant on title to address aircraft noise mitigation and public awareness. Registration of an aircraft noise sensitive use restrictive covenant is a requirement of rezoning.

This legal agreement is to identify that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise within the proposed dwelling units. Dwelling units must be designed and constructed to achieve:

- a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) The ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces.

As part of the required Development Permit, the applicant is required to submit a report and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and thermal conditions comply with the policy and the required covenant. These are also required to be incorporated into the future Building Permit.

Flood Plain Designation and Protection Bylaw No. 8204

The proposal includes a 2.25 m GSC ground floor elevation for the ground level commercial space, which is 0.3 m above the highest adjacent crown of road. This elevation allows the street fronting commercial space to tie into the surrounding sidewalk elevations in a manner that is pedestrian-friendly for this relatively small orphan development site. The building will not be subject to damage from flood water up to a level of 2.6 m GSC. No electrical outlets or mechanical equipment are located below 2.6 m GSC, and the ground floor is concrete construction. In addition, the proposed site specific zone requires the residential apartment housing units to be limited to the upper floors.

The City's Flood Plain Designation and Protection Bylaw No. 8204 specifies a minimum flood construction level requirement of 2.6 m GSC for the subject Terra Nova site. For the project to successfully function as a mixed use development with active retail uses at grade, it must have direct, level access from the city sidewalk. A floor height of 2.6 m GSC is significantly higher than the maximum possible height of adjacent sidewalks and would not allow adequate access.

City Engineering staff have reviewed the proposal and a site specific exemption to lower the minimum flood construction level from 2.6 m GSC to 2.25 m GSC (0.3 m above the highest adjacent crown of road) is acceptable to the Director of Engineering. Registration of a flood plain covenant on title is a requirement of rezoning. The covenant will identify:

- A minimum habitable elevation of 2.25 m GSC for non-residential uses for the lifetime of the building; and
- All building construction below 2.6 m GSC is to be constructed in a manner that is not subject to damage by flood water (e.g. concrete construction below this datum and mechanical equipment/electrical outlets all raised above 2.6 m GSC).

Affordable Housing Strategy

The proposed mixed-use development includes 36 residential dwelling units and complies with the City's Affordable Housing Strategy. The Strategy does not require residential development with less than 80 dwelling units to provide Affordable Housing on-site. Accordingly, a cash contribution towards the City's Affordable Housing Strategy in the amount of \$4.00 per buildable square foot of residential land use is a requirement of the rezoning (e.g. \$125,672).

Public Art Program

The applicant is participating in the City's Public Art Program with installation of Public Art as a part of the development in the amount of \$0.75 per buildable square foot of residential space and \$0.40 per buildable square foot of commercial space (e.g. \$26,705). The applicant will further investigate opportunities to incorporate Public Art through the required Development Permit application.

Consultation

The development application process to date has included the installation of informational development application signage on the site and two open houses for the community. The Public Hearing will include notification to neighbours and local newspaper advertising.

School District

This application was not referred to School District No. 38 (Richmond) because it does not have the potential to generate 50 or more school aged children. According to OCP Bylaw Preparation Consultation Policy 5043, which was adopted by Council and agreed to by the School District, residential developments which generate less than 50 school aged children do not need to be referred to the School District (e.g., typically around 295 multiple-family housing units). This application only involves 36 multiple-family housing units.

Public Input

On May 12, 2011, the developer hosted two Open House meetings on the same day in the amenity building of the neighbouring townhouse development at 3880 Westminster Highway. Residents in the two (2) neighbouring townhouse developments were invited to the meeting by flyer and an invitation was advertised in the Richmond Review and Richmond News newspapers.

The Open Houses were well attended. The developer advises that 56 names were recorded on sign-in sheets. Attendees reviewed presentation boards with the development team and 40 feedback forms were collected and forwarded by the developer to the City. The majority of the feedback appears to be supportive of the redevelopment. Only one comment form stated opposition to mixed- use redevelopment of the site. Concerns were raised regarding the following:

- Bus service – *The request for more frequent bus service has been shared with TransLink.*
- Adequacy of parking – *The proposed parking complies with the Zoning Bylaw. The applicant is providing a comprehensive TDM package as a requirement of rezoning that includes on and off site improvements to promote electric vehicles, transit use, bicycle use, and pedestrians.*
- Building height higher than three-storey – *The corner site is surrounded on both sides by existing three-storey townhouse development with walkways out to No. 1 Road and Westminster Highway. The proposed building design includes a higher four-storey building height at the corner and a lower one-storey to two-storey building height along shared interior property lines. The taller building height at the corner provides a landmark gateway into the Terra Nova neighbourhood and the lower one-storey to two-storey building height provides a sensitive transition to the adjacent walkways and three-storey townhouse developments to the west and south.*
- Parking access and traffic cutting through neighbourhoods – *The developer's transportation consultant and City Transportation staff have carefully reviewed and are satisfied with the proposal. The proposal includes two separate parking areas, with driveways located as far away from the No. 1 Road and Westminster Highway intersection as possible. The driveway access to No. 1 Road is for the lower resident parking level and the second driveway access to Westminster Highway is for the upper commercial and visitor parking level. The proposal also includes frontage improvements along No. 1 Road and Westminster Highway as well as improvements to the west leg of the intersection.*

- Small unit size – *This received contradicting feedback, receiving both support and concern. The proposed apartment housing provides an appropriate housing option that complements the existing family-oriented town housing and single detached housing in Terra Nova.*

A copy of the public information meeting report and comment forms has been compiled into a binder. Copies of the binder have been placed in the Councillor's lounge for City Council reference and also at the City Hall information desk for public viewing.

Staff Comments

Preliminary site plan, floor plans, elevations and landscape plans are attached for reference (**Attachment 4**). Separate from the rezoning process, the applicant is required to submit separate applications for Development Permit, Servicing Agreement and Building Permit.

Analysis

The site proposal consists of a four-storey mixed-use building with street-oriented ground level commercial space, approximately 36 apartment housing dwelling units on the upper floors and a two-level parking structure with access to both No. 1 Road and Westminster Highway.

Land Use

- The proposal is consistent with the objectives of the OCP and the proposed amendment to the Terra Nova Sub-Area Land Use Map. As noted previously, the proposed designation is 'Mixed-Use'. The subject consolidated site is the last remaining site in the Terra Nova neighbourhood that is appropriate for redevelopment. The single detached housing envisioned in the sub-area plan is nearly complete with only a few remaining vacant lots.
- Located across the street from the Terra Nova shopping centre, the proposed development complements the development pattern and presents a gateway to the Terra Nova neighbourhood.
- The proposed four-storey building includes street level commercial space fronting onto both No. 1 Road and Westminster Highway, residential apartment housing in the upper three (3) floors, and an associated two-level parking structure. The project increases the density and provides housing alternatives in place of the existing two-storey commercial building and older existing non-conforming duplex. The building massing is pulled away from the neighbouring townhouse developments to provide a sensitive transition.

"Commercial Mixed Use (ZMU21) – Terra Nova" Site Specific Zone

- "Commercial Mixed Use (ZMU21) – Terra Nova" site specific zoning district was created specifically for the proposed development. The zone has been tailored to ensure ground-oriented commercial space and upper level residential apartment housing. The site specific zone allows medium density low rise development with a limited range of retail and services to the surrounding community, and apartment housing. A density bonus provision for affordable housing is included, in compliance with the City's Affordable Housing Strategy. The development proposal complies with the proposed permitted density and takes advantage of the density bonusing provision.

Transportation

- Pedestrian routes along No. 1 Road and Westminster Highway are enhanced with projecting canopy weather protection and seating opportunities.
- Vehicular access will be from No. 1 Road and Westminster Highway, located as far away from the intersection as possible, to a two-level parking structure.
- The applicant will design and construct frontage transportation infrastructure improvements through a Servicing Agreement requirement of rezoning, including: improvements along No. 1 Road and Westminster Highway; improvements to the west leg of the intersection to enhance pedestrian movement, and to introduce a median; and bus stop improvement.
- The applicant will contribute \$15,300 for audible pedestrian signal (APS) upgrade at the No.1 Road and Westminster Highway intersection.
- In accordance with Zoning Bylaw 8500, the minimum on-site parking requirements are permitted to be reduced by 10% with appropriate transportation demand management (TDM) measures. The following TDM measures are supported by staff and are a requirement of rezoning:
 - Contribution of \$22,000 for a bus shelter for the nearby bus stop on No.1 Road. Off site works will include pouring a concrete bus pad to support the shelter.
 - Improvements to the No.1 Road and Westminster Highway intersection. Geometric improvements to the corner curb radii to reduce pedestrian walking distance across the west leg of the intersection. Wider 4.5 m crosswalk on the west leg of the intersection with special stamped asphalt surface treatment and design to enhance pedestrian movement. As well, construction of an approximately 2 m wide median along the west leg of the intersection up to the site access, including decorative illuminated bollards.
 - Provision of two (2) benches along the site frontages. The benches are to be provided against the building face within the setback area and may be integrated with the building.
 - Provision of at least one end of trip facilities for the commercial component.
 - Provision of electrical vehicle plug-ins (240 volts) for 20% of the residential parking spaces (10 spaces).
- Registration of a legal agreement on title; prohibiting conversion of bicycle storage area into habitable area (storage space) is a requirement of rezoning.

Tree Management

	Existing	To be Retained	Compensation
On-site trees	4	0	2:1 replacement ratio
Off-site trees in neighbouring properties	10	10	To be protected

- The City has received a tree preservation report prepared by a registered arborist along with a tree survey. The table above includes the findings of the arborist report and compensation sought by staff.

- The City's tree preservation staff have visited the site and agree with the consulting registered arborist regarding the removal of the four (4) existing trees due to structural defects.
- The conceptual development plans (**Attachment 4**) preliminary landscape plan proposes to plant approximately 14 new replacement trees on-site, which exceeds the 2:1 replacement ratio identified in the OCP. The number, location and size of trees will be reviewed through the future Development Permit.
- The applicant has agreed to plant new street trees along the Westminster Highway and No. 1 Road frontages through a separate required Servicing Agreement.
- The applicant is required to protect the 10 existing trees located on neighbouring properties to the west and south. The neighbouring trees should not be impacted by the proposed development as the trees are all located behind a retaining wall at a higher elevation (1-2 m above the existing grade of the proposed development site). As a result of these trees being located at a higher grade, tree protection fencing is not required. The proposed development site can meet neighbouring grades with little impact to neighbouring trees.

Sustainability

- The addition of a mixed-use development is provided in close proximity to the neighbourhood service centre and recreation amenities. This project will introduce apartment housing as a new housing form in the established Terra Nova neighbourhood.
- The project supports alternative forms of transportation with a location adjacent to transit service, on-site bicycle storage, pedestrian friendly design, and the provision of a comprehensive transportation demand management measures package.
- A secure common area is proposed for recycling, organics, and garbage storage.
- The applicant is investigating opportunities to incorporate detailed sustainability measures into the project design. These measures will be identified through the required Development Permit process. These may include:
 - Reusable wood-frame construction materials for top three levels
 - Energy efficient mechanical design
 - Urban agriculture and edible plants at outdoor amenity
 - Rainwater collection

Amenity Space

- Outdoor amenity space is proposed on-site at the second floor level and will meet the OCP requirements for size, location, visual surveillance and access. The landscape design details will be refined as a part of the required Development Permit application.
- The applicant is proposing a contribution in-lieu of on-site indoor amenity space for the 36 apartment housing units in the amount of \$53,000 as per the OCP and Council Policy.

Servicing Capacity

- Storm Sewer: There are no identified concerns with capacity. Through the required Servicing Agreement, the developer is required to include site analysis for site connection only.
- Sanitary Sewer: There are no identified concerns with capacity. There is an existing sanitary sewer in a 3 m wide statutory right-of-way (SRW) that runs along the rear of the site and ends with a connection to the existing corner lot. With the land assembly, the sanitary sewer can be shorted and the SRW area can be reduced. Through the required Servicing Agreement, the developer is required to:
 - modify the existing sanitary sewer, complete with a new City sanitary manhole in the southwest corner of the site;
 - grant a new 3 m by 3 m utilities SRW in the southwest corner of the site; and
 - discharge the existing utilities SRW (BL241502 & BL 257228). Plan LMP33916 will be discharged or modified as part of the sanitary modification.
- Water service: Using the OCP 2021 Maximum Day Model, there is 533 L/s available at 20 psi residual. A minimum of 275 L/s is required for the proposed development. As part of the future Building Permit application, developer to submit fire flow calculations signed and sealed by a professional engineer based on the Fire Underwriter Survey to confirm that there is adequate available water service flow.

Design Review and Future Development Permit Application Considerations

A Development Permit application for the proposed mixed-use development is required to be processed to the satisfaction of the Director of Development as a requirement of rezoning. Review by the Advisory Design Panel will be required as part of the Development Permit application process.

The applicant has developed a preliminary design for this site (Attachment 4). The following items will be further investigated at the Development Permit stage:

- Review of building form and architectural character at a detailed level, including urban design, adjacencies, and crime prevention through environmental design (CPTED).
- Review of landscaping and open space design at a detailed level, including streetscape, adjacencies, outdoor amenity space, and the relationship indoor and outdoor spaces.
- Detailed review of opportunities to accommodate a resident, visitor and customer in a wheelchair, unit conversion, and/or aging in place.
- Detailed sustainability strategy measures.
- Detailed dimensioned plans for truck loading for commercial, residential, garbage and recycling (with on-site manoeuvring, turnaround, and height clearances).
- Detailed dimensioned plans for vehicle parking and security gate locations. The commercial area parking spaces are to be available at all times and provide for convenient vertical circulation to the apartments by visitors, especially the accessible parking space.

- Cross sections and a functional design for No. 1 Road and Westminster Highway intersection geometric changes to the satisfaction of the Director of Transportation. Details to include curb radii modifications, median details, and truck turning wheel paths at the west leg of the intersection.

Guidelines for the issuance of Development Permits regarding the subject site are contained in Schedule 1 of Bylaw 7100 (Section 9.0 Development Permit Guidelines).

Financial Impact

None.

Conclusion

The subject development conforms with City-wide and Terra Nova OCP objectives for development and population growth. The proposal to develop a mixed-use commercial and residential building is consistent with the proposed OCP objectives of land use, amenity contributions, and City transportation and servicing infrastructure.

The development will provide commercial services, new residential units, and community amenities (e.g. Public Art and contribution for affordable housing). The development will be an attractive addition, complementing the neighbouring Neighbourhood Service Centre and providing an attractive gateway into the Terra Nova neighbourhood. On this basis, staff recommend that the proposed OCP amendment and rezoning application be approved.



Sara Badyal, M. Arch, MCIP
Planner 2 (Urban Design)
(604-276-4282)

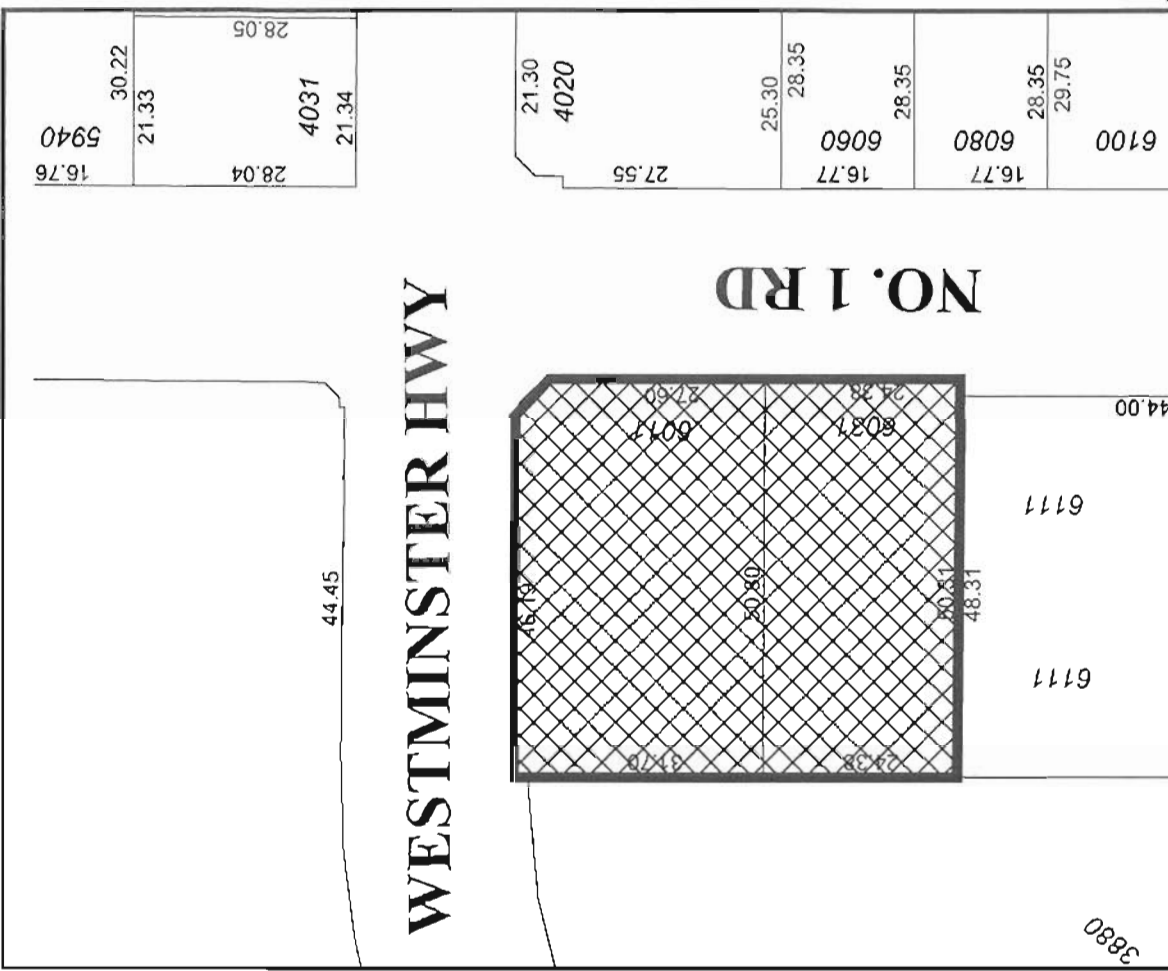
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- Attachment 1: Location Map and Site Context – GIS 2009 aerial photo
- Attachment 2: Development Application Data Sheet
- Attachment 3: Terra Nova Sub-Area Site Context
- Attachment 4: Conceptual Development Plans
- Attachment 5: Rezoning Considerations

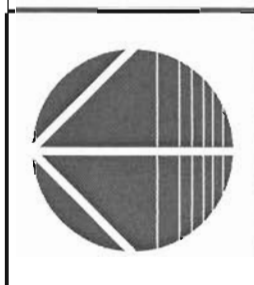
City of Richmond

PROPOSED REZONING

PLN 111



RZ 11-586705



Original Date: 08/17/11

Revision Date:

Note: Dimensions are in METRES



**SUBJECT
PROPERTY**

WESTMINSTER HWY

NO. 1 RD



RZ 11-586705

PLN - 112

Original Date: 08/17/11

Amended Date:

Note: Dimensions are in METRES



RZ 11-586705

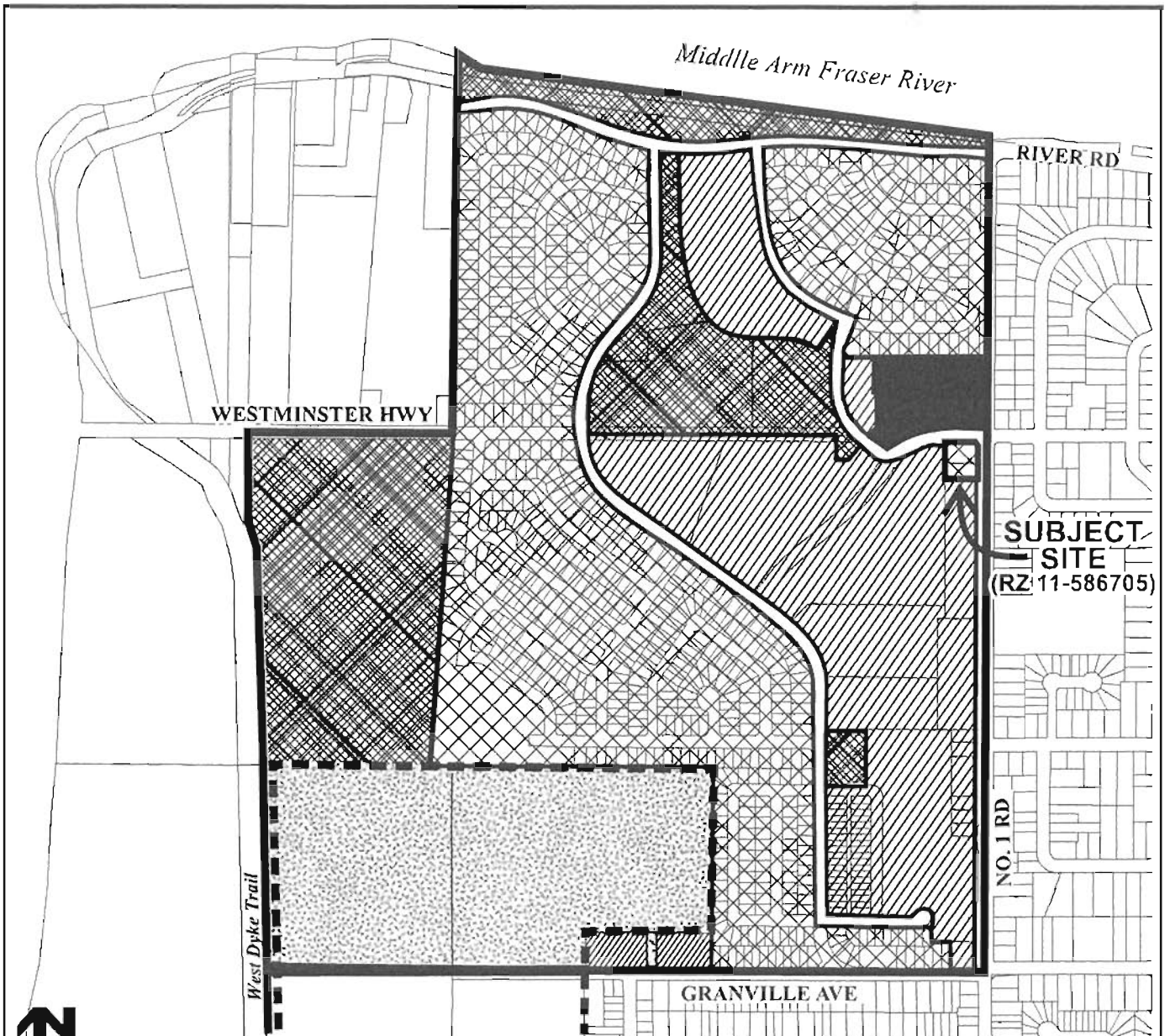
Attachment 2








Address: 6011 and 6031 No. 1 Road

Applicant: Centro Terrawest Development Ltd.

Planning Area(s): Terra Nova Sub-Area (Thompson)

	Existing	Proposed	
Owner:	Centro Terrawest Development Ltd. Surinder K. Beryar	Future strata lot owners	
Site Size (m²):	6011 & 6031 No. 1 Road 2,815 m ²	6011 & 6031 No. 1 Road 2,815 m ² Road dedication - 208.9 m ² Total 2,606.1 m ²	
OCP Designation:	Neighbourhood Residential	Complies	
Area Plan Designation:	Residential (Single-Family)	Mixed-Use	
Aircraft Noise Policy:	Area 4 (new noise sensitive uses permitted, restrictive covenant required)	Complies	
Flood Construction Level:	2.6 m GSC for surrounding Terra Nova	2.25 m GSC (0.3 m above crown) for commercial space at grade, residential apartments on upper floors	
Zoning:	Local Commercial (CL) & Single detached (RS1/F)	Commercial Mixed-Use (ZMU 21) – Terra Nova	
Number of Units:	Two-storey commercial building & 1 duplex	36 apartments & up to 9 CRU	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.4	1.4	None permitted
Lot Coverage – Building:	Max. 75%	72%	None
Setbacks – No. 1 Road Westminster Hwy Side yard (west) Rear yard (south)	Min. 1.5 m Min. 1.5 m Min. 3 m Min. 3 m	1.5 m Min. 1.5 m Min. 3 m Min. 3 m Min.	None
Height (m):	Max. 16 m. & four-storey	Max. 16 m & four-storey	None
Parking Spaces: Resident Visitor Commercial Accessible Total	With TDMs: 49 (8) 23 (2) 72	With TDMs: 49 (use commercial) 23 (2) 72	None
Small Car Parking Spaces:	Max. 50% (36 spaces)	Max. 50% (36 spaces)	None
Tandem Parking Spaces:	Permitted	None	None
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 216 m ²	Min. 216 m ²	None



- | | | | | | |
|---|--------------------------------------|---|-------------------------|---|---------------|
|  | Residential (Single Family) |  | Commercial |  | ALR Boundary |
|  | Agriculture |  | Residential (Townhouse) |  | Area Boundary |
|  | Public, Institutional and Open Space | | | | |



Terra Nova Sub-Area
Site Context
Land Use Map

PLN - 114

Original Date: 02/28/12

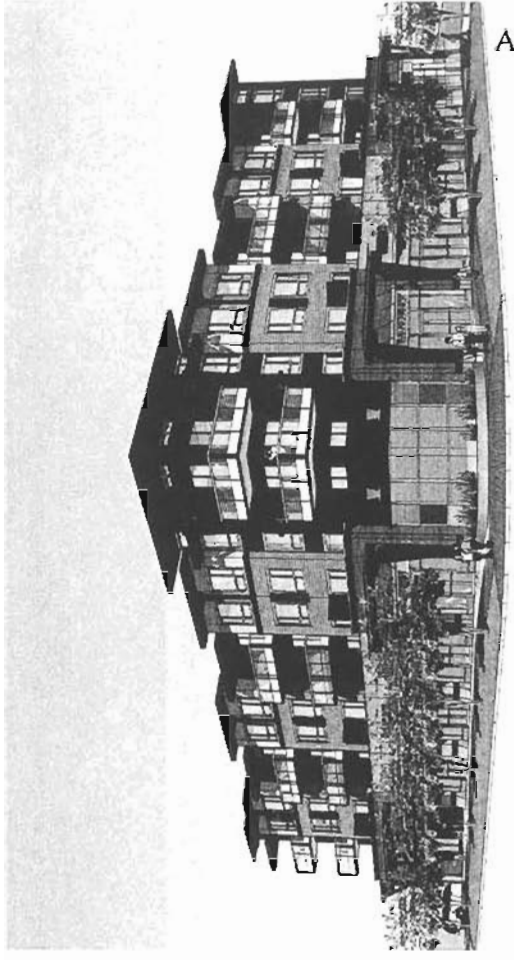
Revision Date:

Note: Dimensions are in METRES

TerraWest

6011-6031 No.1 Road, Richmond, BC

CONCEPTUAL
DESIGN
ONLY



PROJECT DIRECTORY

OWNER:
Centro Terrawest Development Ltd.
 200 - 6791 Elmbriq Way
 Richmond, BC V7C 4N1
 T(604) 241-1422; F(604) 241-1482

ARCHITECTURAL:
Patrick Cotter Architect Inc.
 Suite #235 11300 No. 5 Road
 Richmond, BC V7A 5J7
 T(604) 272-1477; F(604) 272-1471

LANDSCAPE:
Van Der Zalm + Associates Inc.
 Suite 1 - 8938 192nd Street
 Surrey, BC V4N 3W8
 T(604) 882-0024 ext 22; F(604) 882-0042

CIVIL ENGINEER:
Core Concept Consulting Ltd.
 #220 - 2639 Viking Way
 Richmond, BC V6V 3B7
 T(604) 249-5640; F(604) 249-5041

GEOTECHNICAL ENGINEER:
Geopacific Consultants Ltd.
 215 - 1200 73rd Avenue
 Vancouver, BC V6P 6G5
 T(604) 439-0922 Ext 226; F(604) 439-9189

SURVEYOR:
J.C. Tam & Associates
 #115 - 8833 Odlin Crescent
 Richmond, BC V6X 3Z7
 T(604) 214-8928; F(604) 214-8929

ARBORIST:
Froggers Creek Tree Consultants Ltd.
 7763 McGregor Avenue
 Burnaby, BC V5J 4H4
 T(604) 724-6002; F(604) 437-0970

PROJECT INFORMATION

CIVIC ADDRESS:
 6011, 6033 No.1 Road, Richmond, BC

LEGAL DESCRIPTION:
 6011 No. 1 Road ; P.I.D. 000-449-087
 Plan 37490, Lot 19 Block 4 North, Land District
 36, Section 10, Range 7

6031 No. 1 Road ; P.I.D. 005-406-715
 Plan 37490 Lot 20 Block 4 North, Land District
 36, Section 10, Range 7

APPLICANT:
 Centro Terrawest Development Ltd.
 #200- 6791 Elmbriq Way
 Richmond, BC V7C 4N1
 T(604) 241-1422; F(604) 241-1482

EXISTING ZONING:
 CL & RS-1

PROPOSED ZONING:
 CD

DRAWING LIST

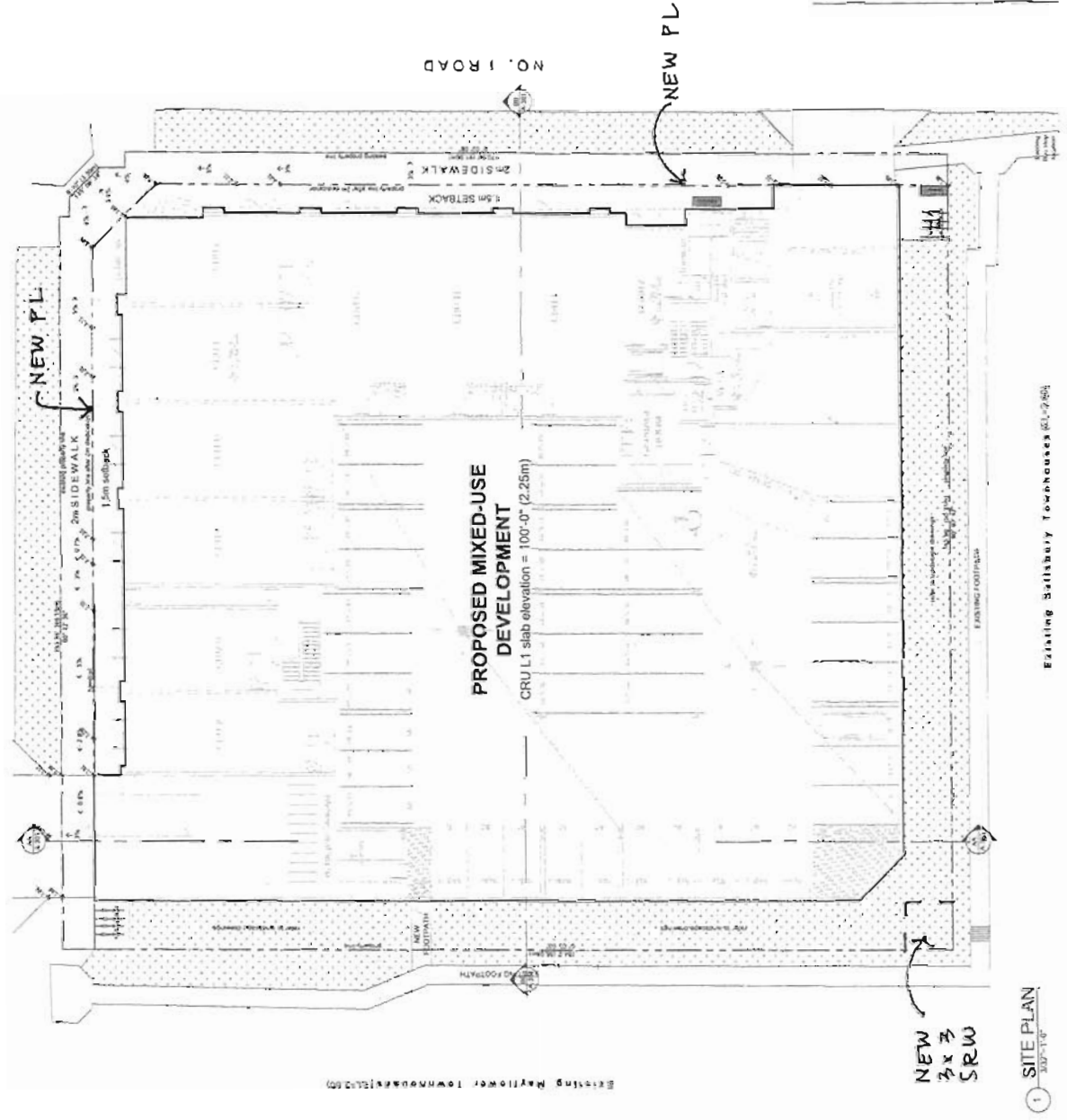
- A-101 Cover sheet/ Project info.
- A-102 Development Data
- A-103 Copy of Survey Plan
- A-104 Site Plan
- A-105 Area Overlay Plan
- A-106 Context Plan
- A-111 Parking Level P2
- A-112 Parking Level P1/Level 1
- A-113 Residential Level 1
- A-114 Residential Level 2-3 (Typical)
- A-201 Building Elevations
- A-202 Building Elevations
- A-211 Streetscape Elevations
- A-301 Building Sections
- A-302 Details
- A-401 Character Sketches
- A-402 Perspectives
- LANDSCAPING**
- L1 Cover Sheet
- L2 Landscape Masterplan
- L3 Tree Protection Plan
- L4 Planting Plan
- L5 Amenity Terrace
- L6 Landscape Details

LOCATION MAP





WESTMINSTER HIGHWAY



Existing Mayflower Townhouses (S1-200)

PROPOSED MIXED-USE DEVELOPMENT
GRU L1 slab elevation = 100'-0" (2.25m)

NEW
3' x 3'
SRW

1 SITE PLAN
3/27/18

Existing Sullisbury Townhouses (R1-200)

DATE	11/15/17
DESCRIPTION	REVISED PER COMMENTS
BY	ARCHITECT
CHECKED	ARCHITECT
DATE	11/15/17
DESCRIPTION	REVISED PER COMMENTS
BY	ARCHITECT
CHECKED	ARCHITECT
DATE	11/15/17
DESCRIPTION	REVISED PER COMMENTS
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cotter
ARCHITECTS
100 WESTMINSTER AVENUE, SUITE 200
WESTMINSTER, CO 80540
TEL: 303.441.1111
WWW.COTTERARCHITECTS.COM

Proposed Mixed use
Development
100 Westminister Ave
Westminster CO

Client
Contra
TerraWest
Development Ltd

DATE: 11/15/17
SCALE: 1/8" = 1'-0"
SHEET: 1/1
PROJECT: 17-001
SITE PLAN



PROJECT INFORMATION SHEET
 PROJECT NAME: [REDACTED]
 PROJECT NUMBER: [REDACTED]
 PROJECT LOCATION: [REDACTED]

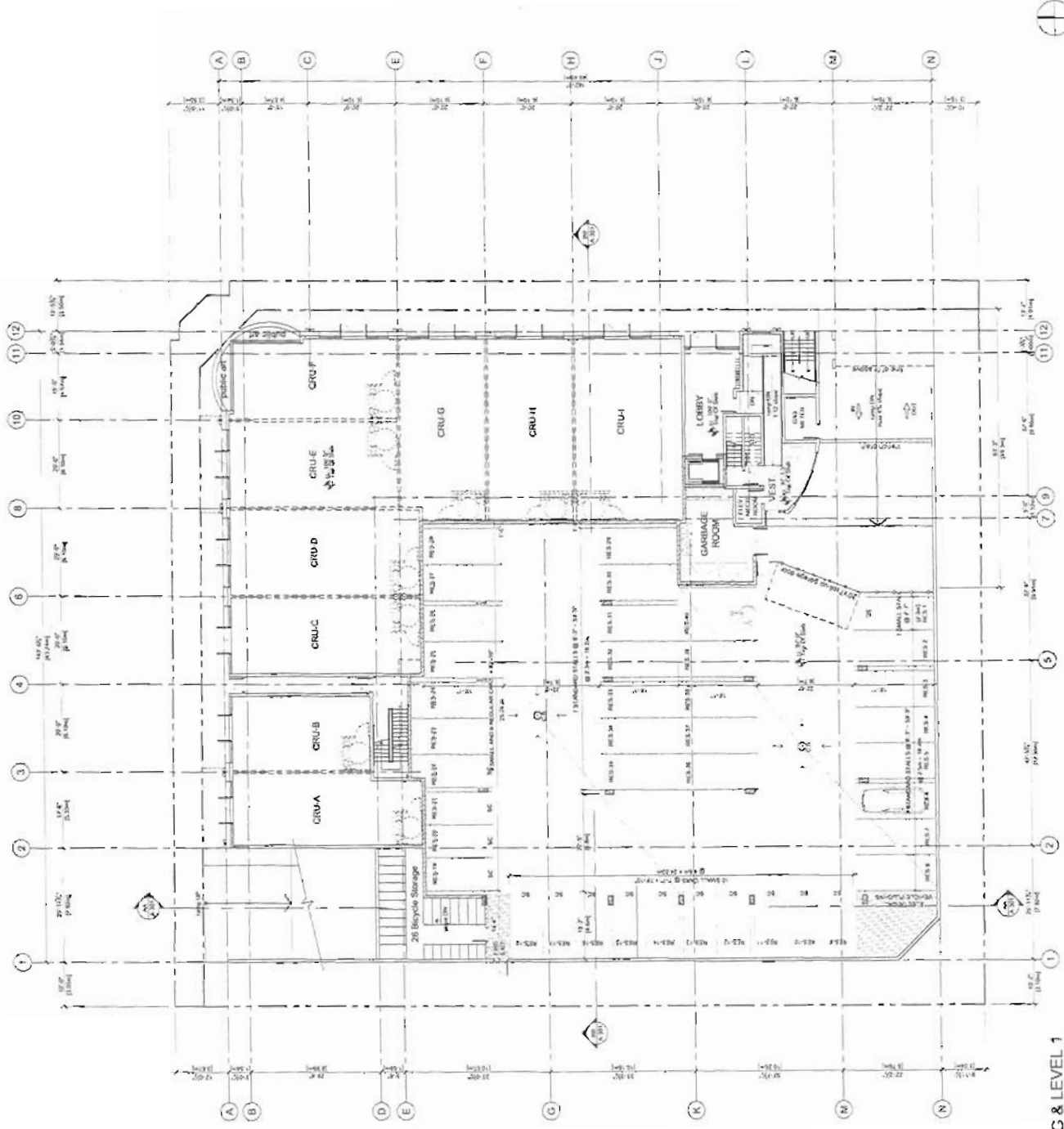
cotter
 ARCHITECTS
 4150 JEFFERSON AVENUE, SUITE 100, DENVER, CO 80202
 TEL: 303.733.1100 FAX: 303.733.1101
 WWW.COTTERARCHITECTS.COM

Proposed Mixed Use
 Development
 10000 E. [REDACTED] AVENUE
 DENVER, CO 80231

PREPARED BY:
 Centro
 TerraWest
 Development Ltd.

PROJECT LOCATION: [REDACTED]
 PROJECT NUMBER: [REDACTED]
 PROJECT NAME: [REDACTED]

CONTEXT PLAN



1 LOWER PARKING & LEVEL 1
300-118

CHARTER
CORPORATION

cotter
ARCHITECTS

400 - 2100 W. 130th Street, Suite 100, Vancouver, BC V6L 1P7
Tel: 604-273-1111 Fax: 604-273-1112
www.cotterarchitects.com

Proposed Mixed-Use
Development
1100 - 1100 West Broadway
Vancouver, BC

Client:
Centro
TerraWest
Development Ltd

Project No: 1100-1100
Date: 10/20/11
Scale: 1/8" = 1'-0"
Sheet: 1100-1100-01
Author: [Name]
Check: [Name]
Title: ARCHITECT

FLOOR PLAN

NOTICE OF PROVISION	
NO. 1	NO. 1
NO. 2	NO. 2
NO. 3	NO. 3
NO. 4	NO. 4
NO. 5	NO. 5
NO. 6	NO. 6
NO. 7	NO. 7
NO. 8	NO. 8
NO. 9	NO. 9
NO. 10	NO. 10
NO. 11	NO. 11
NO. 12	NO. 12
NO. 13	NO. 13
NO. 14	NO. 14
NO. 15	NO. 15
NO. 16	NO. 16
NO. 17	NO. 17
NO. 18	NO. 18
NO. 19	NO. 19
NO. 20	NO. 20
NO. 21	NO. 21
NO. 22	NO. 22
NO. 23	NO. 23
NO. 24	NO. 24
NO. 25	NO. 25
NO. 26	NO. 26
NO. 27	NO. 27
NO. 28	NO. 28
NO. 29	NO. 29
NO. 30	NO. 30

cotter
ARCHITECTS

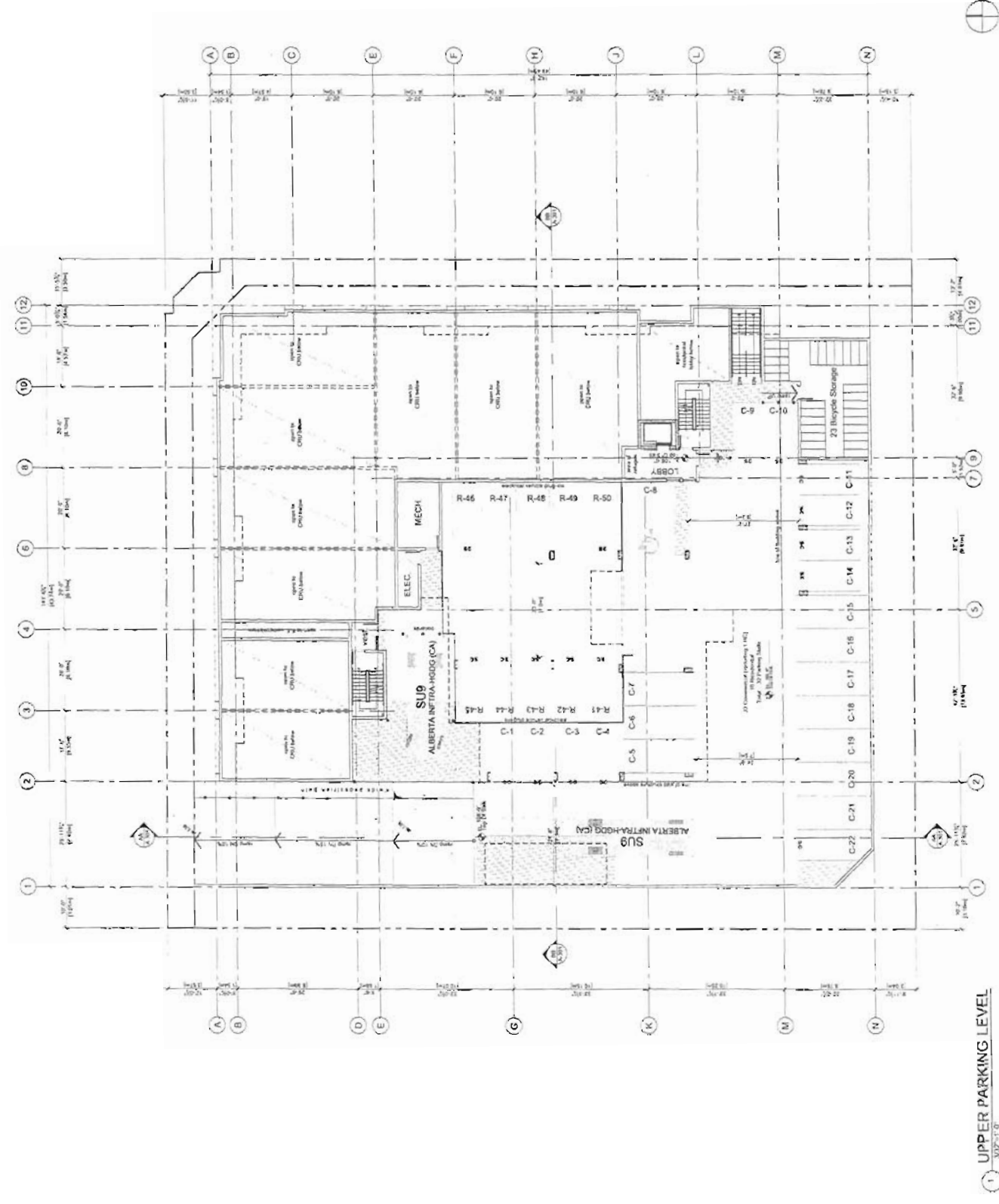
Proposed Mixed-use
Development
3075 15th Street SW
Calgary, Alberta T2C 1S8
Project No. 10000000000000000000

Client
Centro
Toronto
Development Ltd

DATE: 08/18/18
SCALE: 1/8" = 1'-0"
DRAWN BY: JTB
CHECKED BY: JTB
DATE: 08/18/18

FLOOR PLAN

A-112



NOT FOR CONSTRUCTION

NO.	DESCRIPTION	DATE
1	REVISED PLAN FOR SUBMISSION	08/20/2024
2	REVISED PLAN FOR SUBMISSION	08/20/2024
3	REVISED PLAN FOR SUBMISSION	08/20/2024
4	REVISED PLAN FOR SUBMISSION	08/20/2024
5	REVISED PLAN FOR SUBMISSION	08/20/2024
6	REVISED PLAN FOR SUBMISSION	08/20/2024
7	REVISED PLAN FOR SUBMISSION	08/20/2024
8	REVISED PLAN FOR SUBMISSION	08/20/2024
9	REVISED PLAN FOR SUBMISSION	08/20/2024
10	REVISED PLAN FOR SUBMISSION	08/20/2024
11	REVISED PLAN FOR SUBMISSION	08/20/2024
12	REVISED PLAN FOR SUBMISSION	08/20/2024

cotter
ARCHITECTS

11100 W. 11TH AVENUE, SUITE 100
DENVER, COLORADO 80202

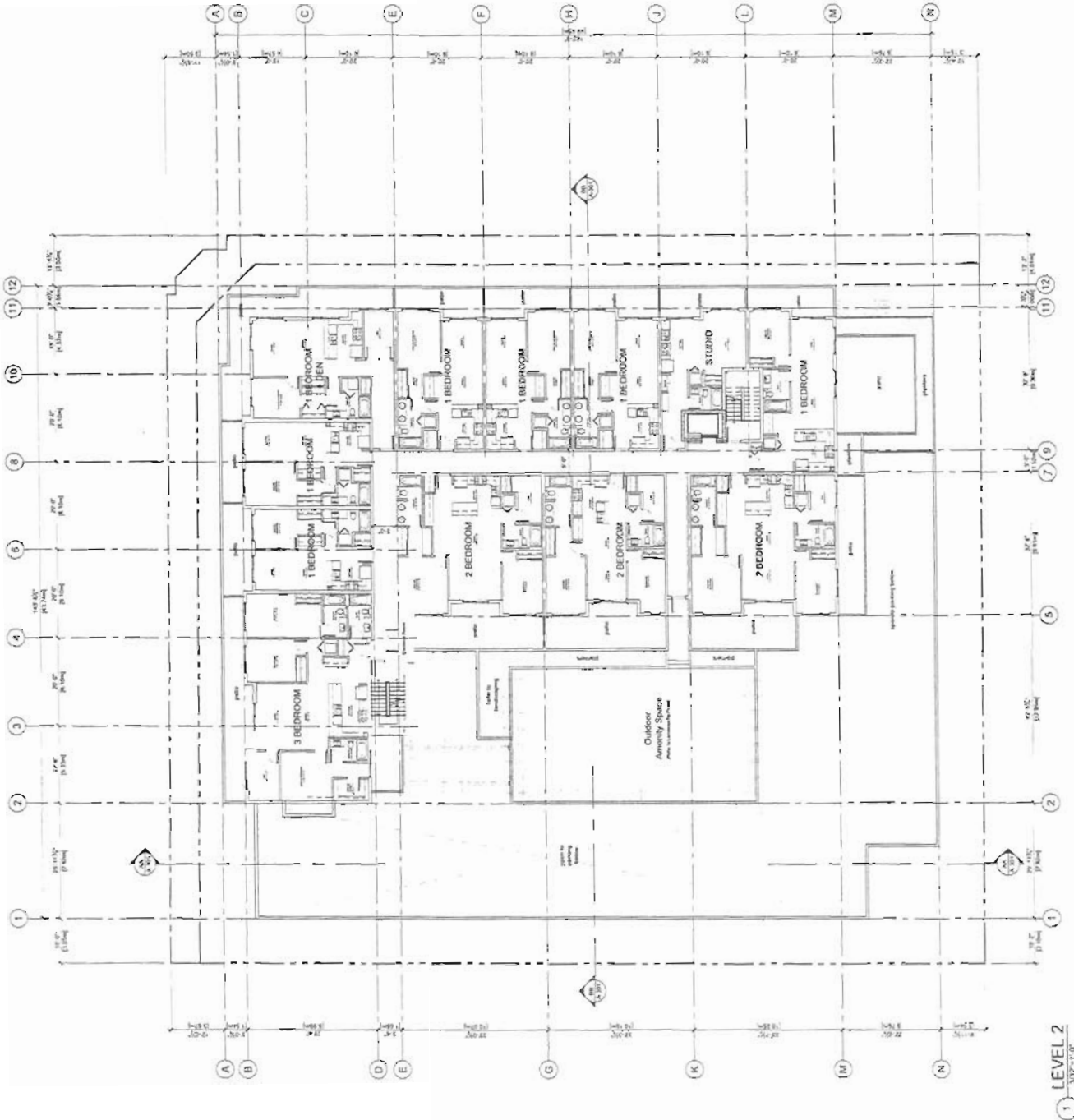
Proposed Mixed-Use Development
11100 W. 11TH AVENUE, SUITE 100
DENVER, COLORADO 80202

Client
Contra TerraWest Development Ltd

DATE	08/20/2024
BY	AK
CHECKED	AK
SCALE	AS SHOWN
DRAWN	AK
PROJECT NO.	2024001001
SHEET NO.	101
TOTAL SHEETS	104

FLOOR PLAN

A-113



NOTES

NOT TO SCALE
 ARCHITECTURE

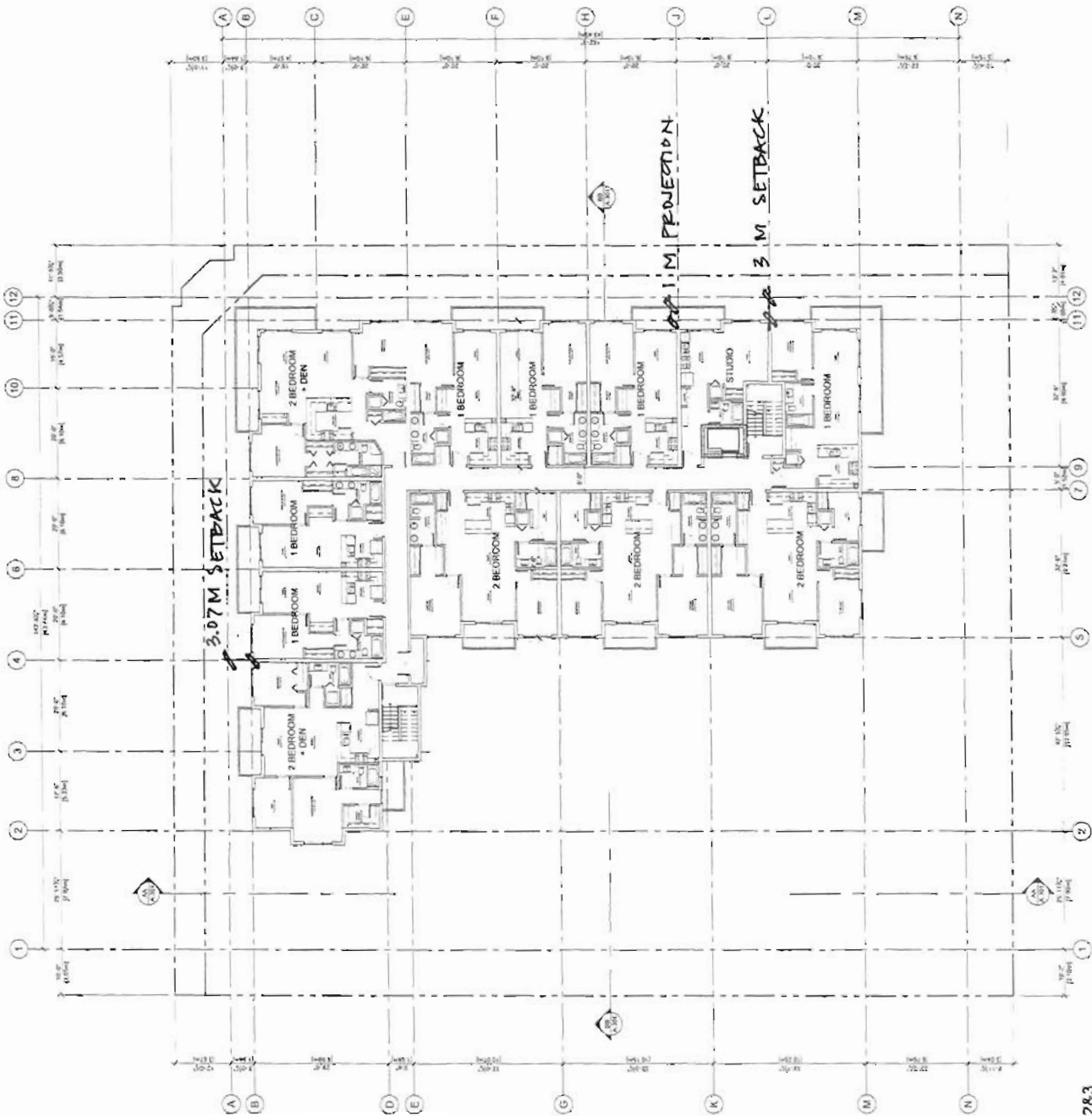
cotter
 ARCHITECTS

Proposed Mixed-use
 Development
 1111 11th Street, NW
 Washington, DC

Centro
 TownWest
 Development, Ltd.

DATE: 11.14.14
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: [Number]
 SHEET NO.: [Number]
 FLOOR PLAN

A-114



(1) TYPICAL LEVELS 2&3
 3007-11-01

NOTES

EXTERIOR FINISH SCHEDULE

1	BRICK CLADDING with concrete base
1A	BRICK CLADDING with concrete base (20' Stone Gray/Concrete BK)
2	GLASS Luster Stone 3040 1/2 James Hardie
3	WALL PANEL Luster Stone 3040 1/2 James Hardie
4	WALL PANEL Luster Stone 3040 1/2 James Hardie
5	WALL PANEL Luster Stone 3040 1/2 James Hardie
6	HEAVY TUBES 12' Edward Fenech Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36)
7	STEEL FRAMING Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36)
8	STEEL FRAMING Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36)
9	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)
10	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)
11	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)
12	PAINTED CONCRETE Clear Coat for heavy glass columns
13	CONCRETE COMPANY
14	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)

1	BRICK CLADDING with concrete base
1A	BRICK CLADDING with concrete base (20' Stone Gray/Concrete BK)
2	GLASS Luster Stone 3040 1/2 James Hardie
3	WALL PANEL Luster Stone 3040 1/2 James Hardie
4	WALL PANEL Luster Stone 3040 1/2 James Hardie
5	WALL PANEL Luster Stone 3040 1/2 James Hardie
6	HEAVY TUBES 12' Edward Fenech Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36)
7	STEEL FRAMING Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36)
8	STEEL FRAMING Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36) Imperial Stone Concrete Back (CSP 36)
9	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)
10	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)
11	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)
12	PAINTED CONCRETE Clear Coat for heavy glass columns
13	CONCRETE COMPANY
14	WALL PANELS Clear glass Imperial Stone Concrete Back (CSP 36)

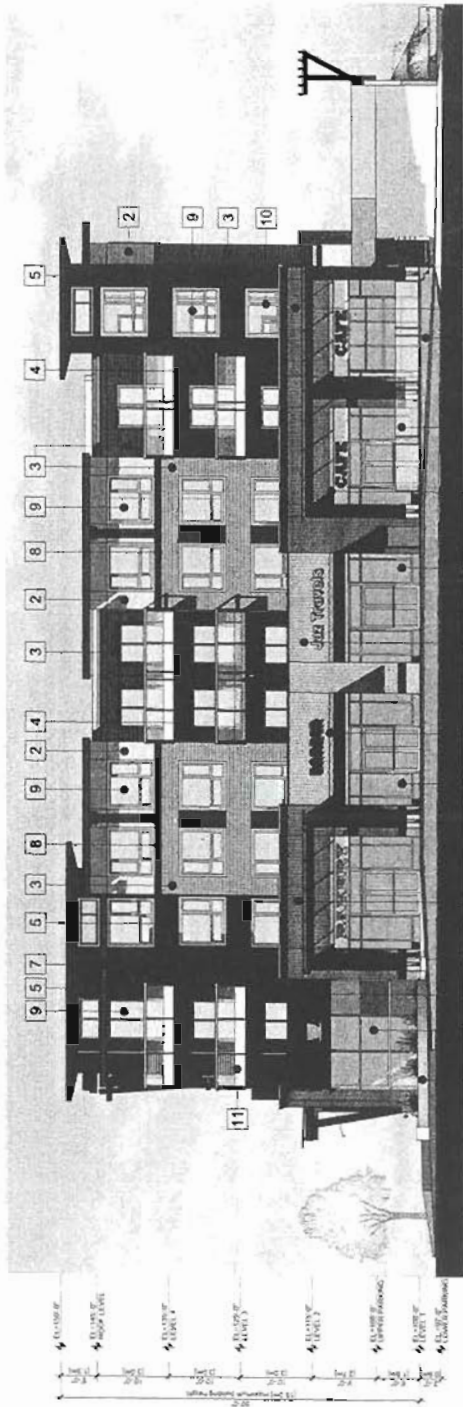
cotter
ARCHITECTS

1015 E. LIBERTY STREET, DENVER, CO 80202
303.733.1100
WWW.COTTERARCHITECTS.COM

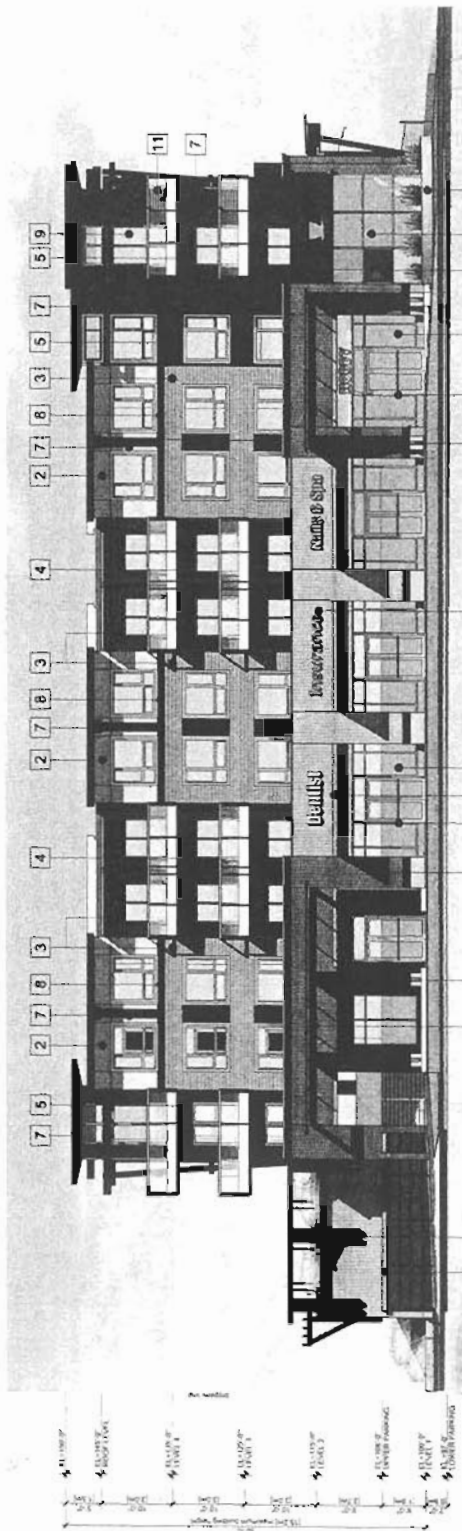
Proposed Mixed-use
Development
March 2016

Centro
Terraviva
Development LLC

ELEVATIONS



1 NORTH ELEVATION
100'-0"



2 EAST ELEVATION
100'-0"



A-201

NOTES

EXTERIOR FINISH SCHEDULE

1	BRICK CLADDING KVC Construction, Inc.
1A	BRICK CLADDING KVC Construction, Inc.
2	CLADDING Cortco, Stone walls to James Street
3	BRICK (H&H)
4	CLADDING KVC Construction, Inc.
5	CLADDING KVC Construction, Inc.
6	GLASS KAMBER (Shaded to match to match with City A&B 30 James Street)
7	WOOD TRIM (PHELIOS/ACQUA/NOFAL) Shaded to match with Wood K&A&F 30
8	CLADDING KVC Construction, Inc.
9	WOOD PANELS Clear glass
10	WOOD TRIM KVC Construction, Inc.
11	CLADDING KVC Construction, Inc.
12	CLADDING KVC Construction, Inc.
13	CANVAS CANOPY KVC Construction, Inc.
14	WALL/CEILING FINISHES KVC Construction, Inc.

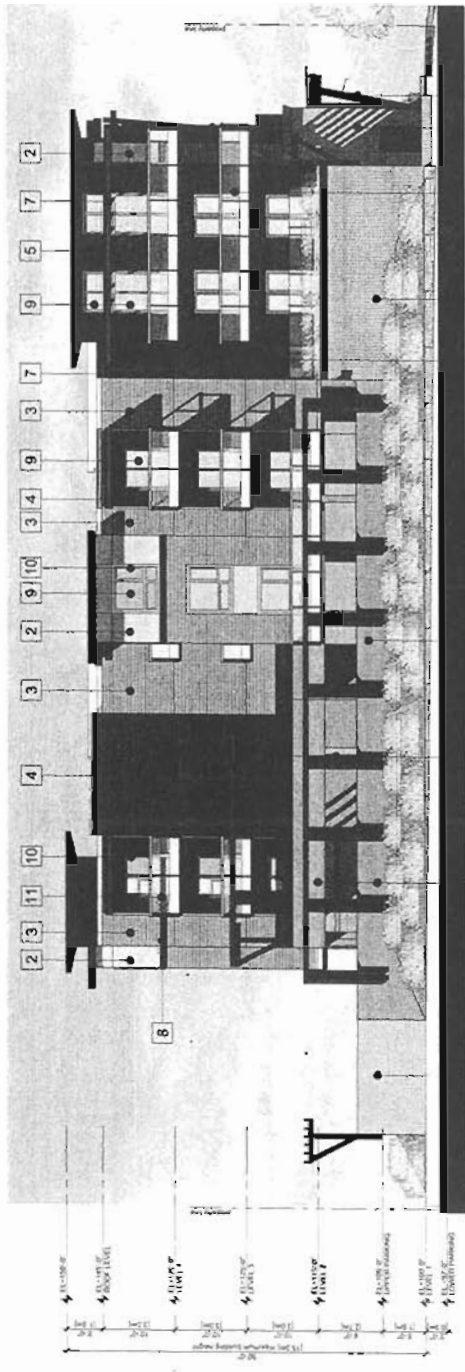
1	BRICK CLADDING KVC Construction, Inc.
1A	BRICK CLADDING KVC Construction, Inc.
2	CLADDING Cortco, Stone walls to James Street
3	BRICK (H&H)
4	CLADDING KVC Construction, Inc.
5	CLADDING KVC Construction, Inc.
6	GLASS KAMBER (Shaded to match to match with City A&B 30 James Street)
7	WOOD TRIM (PHELIOS/ACQUA/NOFAL) Shaded to match with Wood K&A&F 30
8	CLADDING KVC Construction, Inc.
9	WOOD PANELS Clear glass
10	WOOD TRIM KVC Construction, Inc.
11	CLADDING KVC Construction, Inc.
12	CLADDING KVC Construction, Inc.
13	CANVAS CANOPY KVC Construction, Inc.
14	WALL/CEILING FINISHES KVC Construction, Inc.

cotter
ARCHITECTS

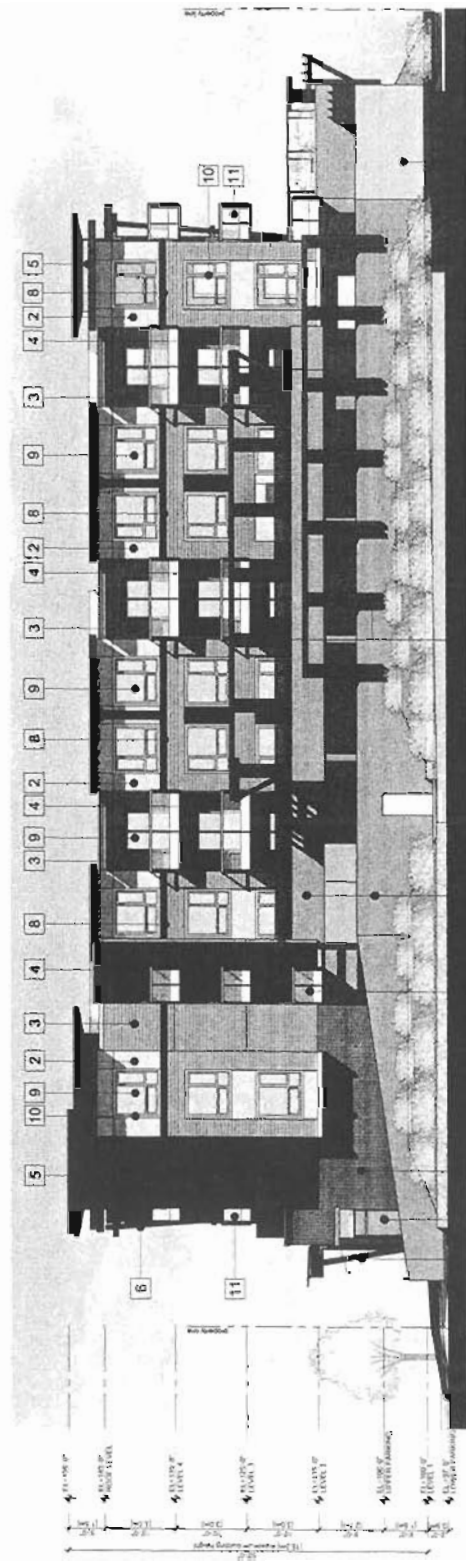
Proposed Mixed-use
Development
1001 James St. West
Toronto, ON

Client:
Cortco
TerraWest
Development Ltd.

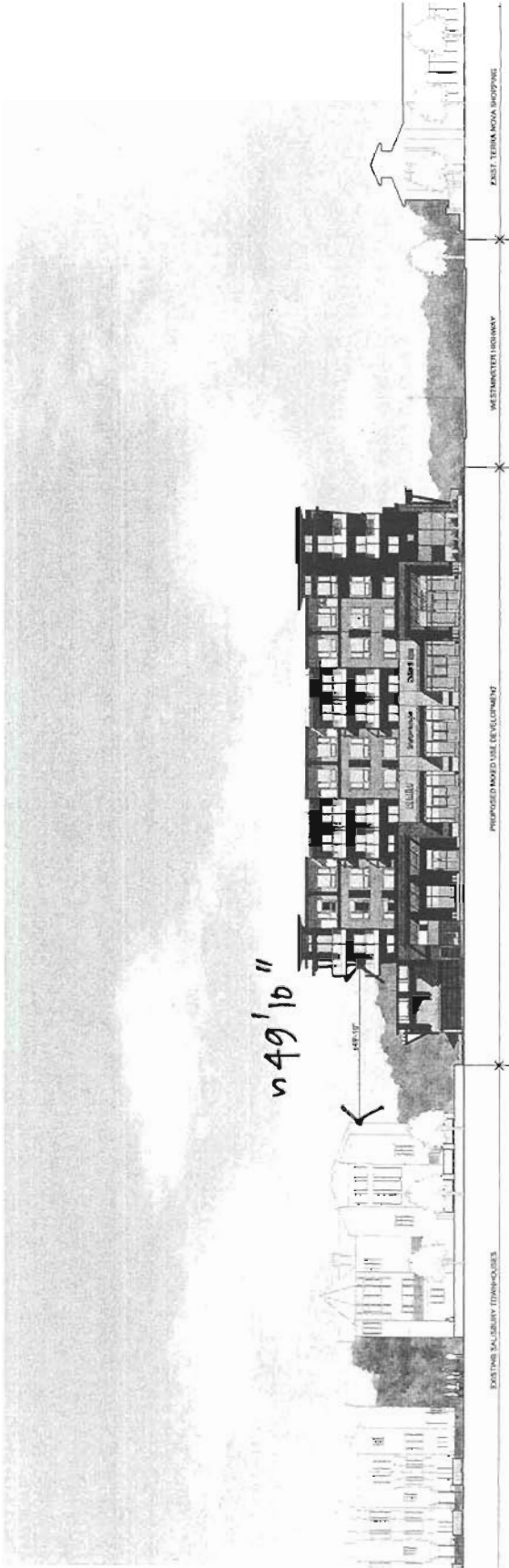
ELEVATIONS



1 SOUTH ELEVATION
TOP OF



2 WEST ELEVATION
TOP OF



STREETSCAPE ELEVATION ALONG NO 1 ROAD

PLN - 124

MOETTER
CORPORATION

cotter
ARCHITECTS

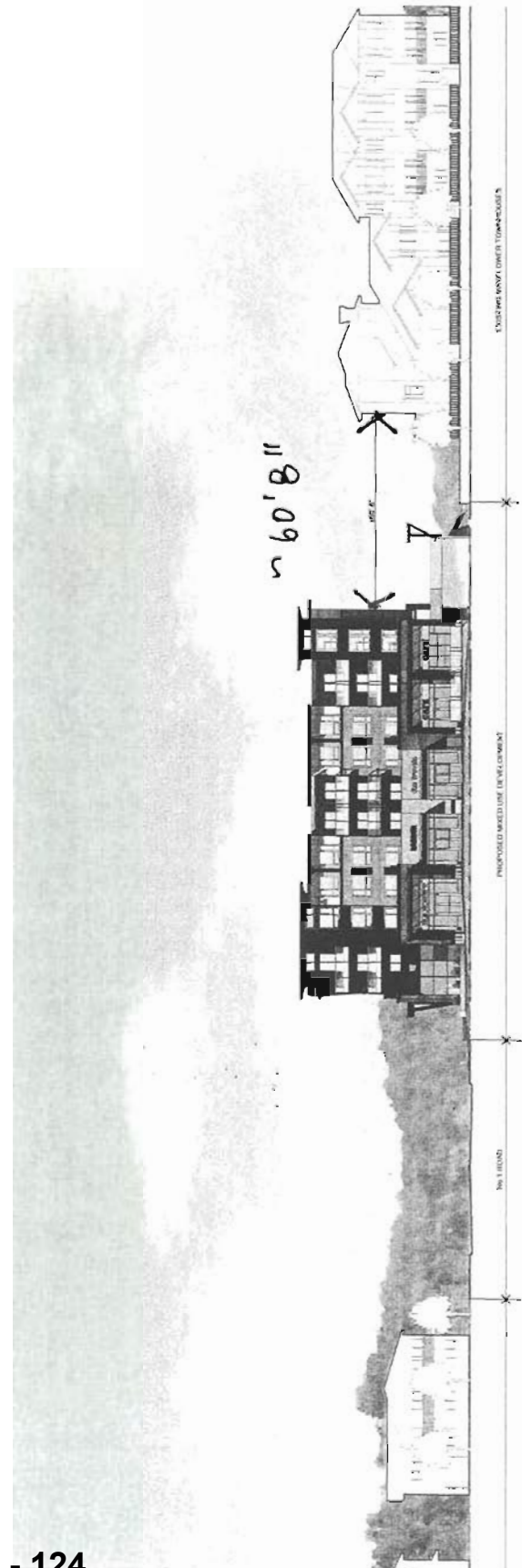
Proposed Mixed Use
Development
1100 West 1st Street
Westminster, CO 80030

Client
Centro
TerraWest
Development, Ltd

DATE	NOV 11 2011
PROJECT	PROPOSED MIXED USE DEVELOPMENT
LOCATION	1100 WEST 1ST STREET, WESTMINSTER, CO
SCALE	AS SHOWN
DATE	NOV 11 2011
BY	ARCHITECTS
CHECKED BY	ARCHITECTS
DATE	NOV 11 2011

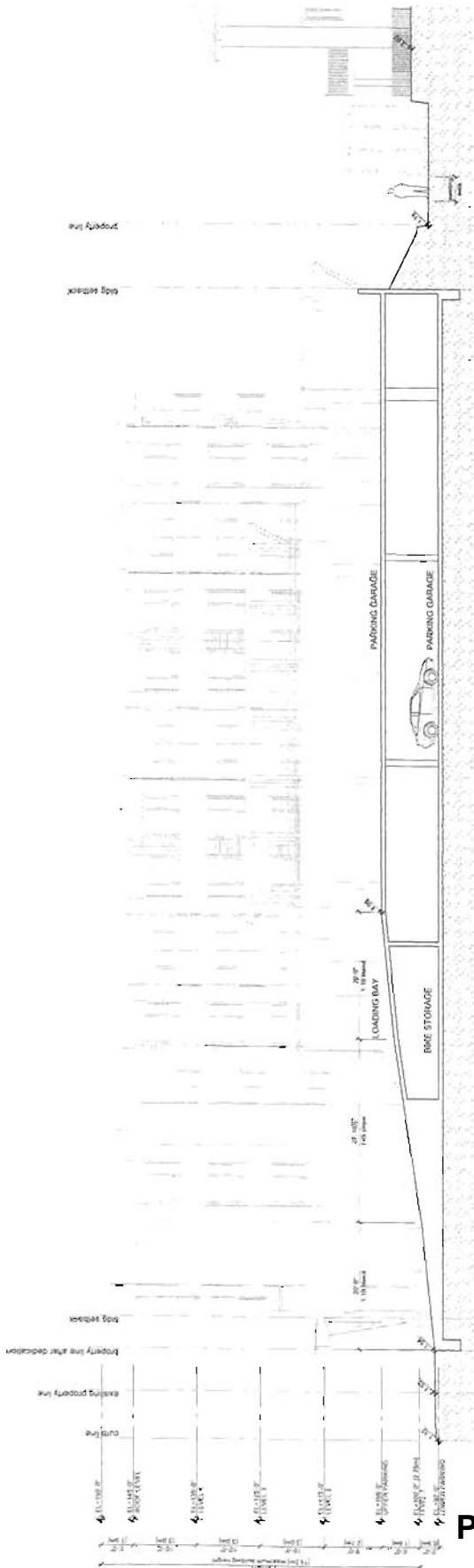
ELEVATIONS

A-211



STREETSCAPE ELEVATION ALONG WESTMINSTER HIGHWAY

PLAN 5



PLN - 125

MOELLER
CORPORATION

cotter
ARCHITECTS

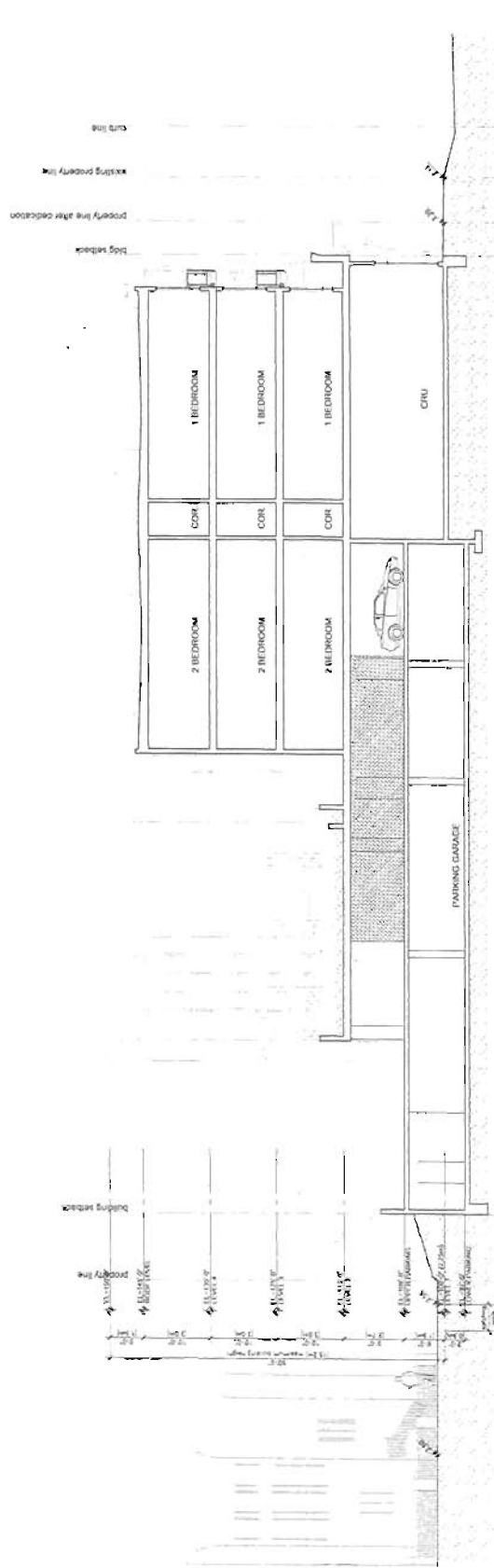
4815 TOWNHALL SQUARE, WASHINGTON, DC 20015
301.462.1100
www.cotterarchitects.com

Proposed Mixed-use
Development
1801 18th St NW
Washington, DC

Client
Corridor
Townhall
Development Ltd

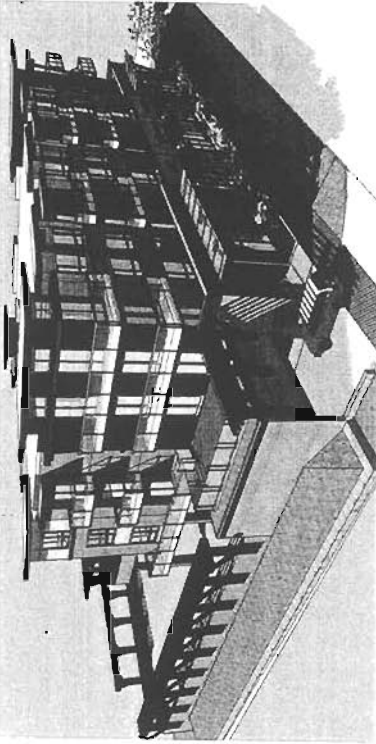
DATE: 11/11/14
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"
PROJECT NO.: 14-001
SHEET NO.: 125 OF 125

BUILDING SECTIONS

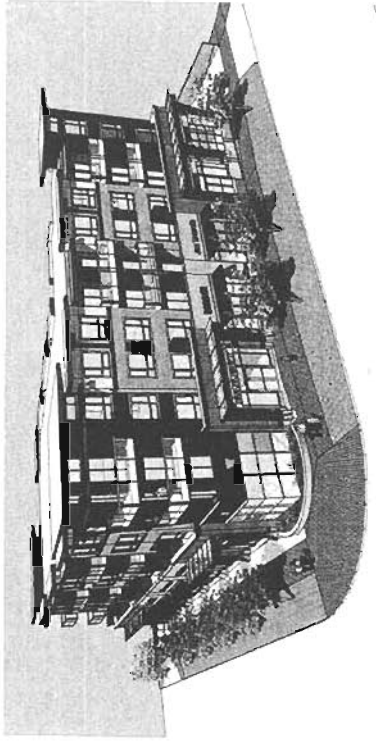


1 SECTION THRU 'BB'
1/8" = 1'-0"

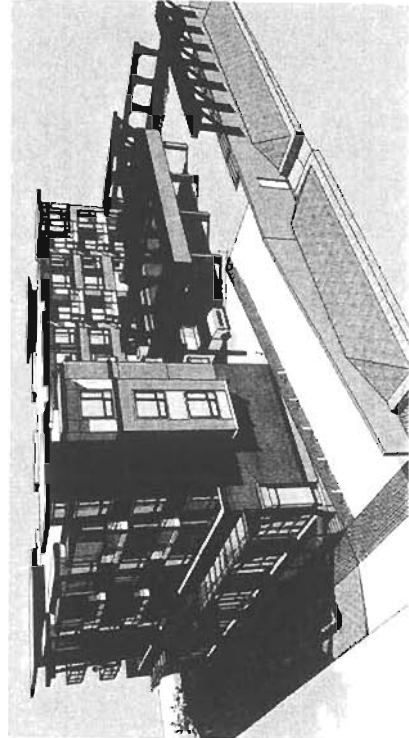
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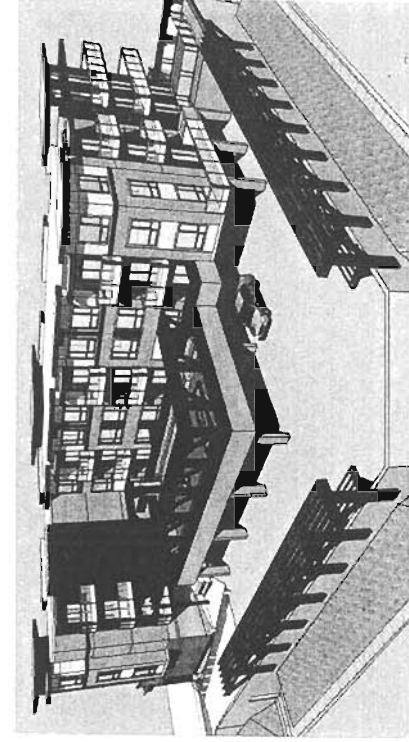
1 NW VIEW
N15



2 SW VIEW
N15



3 SE VIEW
N15



4 NE VIEW
N15

**BIDD FOR
CONSTRUCTION**

NO.	DATE	REVISIONS

cotter
ARCHITECTS
1031 W. 11TH AVENUE, SUITE 100
DENVER, CO 80202
303.733.3500
WWW.COTTERARCHITECTS.COM

PROJECT
**Proposed Mixed-use
Development**
6220 JAMES ST., DENVER,
COLORADO

OWNER
**Centra
TermWest
Development Ltd**

DATE
DRAWN BY
CHECKED BY
SCALE
PROJECT NO.
JOB NO.

PERSPECTIVES

LANDSCAPE MASTERPLAN

PROJECT NO. DP2011-17

1000 44th Street, Suite 100, Richmond, BC V6X 1A7
 604-273-8888
 www.zaha.com

TRAFFIC CONTROL SYSTEMS
 1000 44th Street, Suite 100, Richmond, BC V6X 1A7
 604-273-8888
 www.zaha.com

Patrick Conner

Centro
TerraWest
Development Ltd

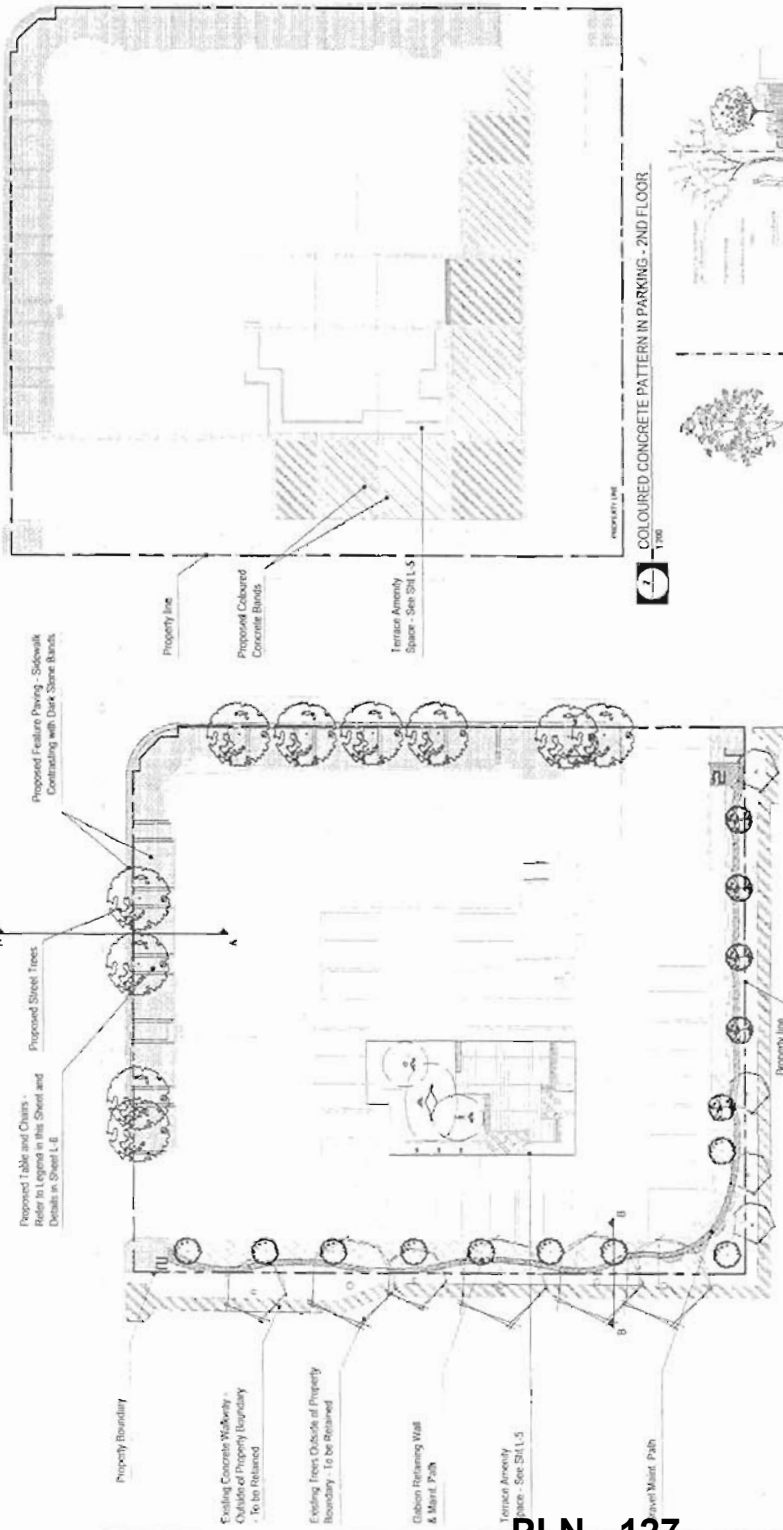
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2	Issue for Review	2011-11-15	[Signature]	[Signature]
3	Issue for Review	2011-11-15	[Signature]	[Signature]
4	Issue for Review	2011-11-15	[Signature]	[Signature]
5	Issue for Review	2011-11-15	[Signature]	[Signature]
6	Issue for Review	2011-11-15	[Signature]	[Signature]
7	Issue for Review	2011-11-15	[Signature]	[Signature]
8	Issue for Review	2011-11-15	[Signature]	[Signature]
9	Issue for Review	2011-11-15	[Signature]	[Signature]
10	Issue for Review	2011-11-15	[Signature]	[Signature]

CONTRACT NO. 1000 44th Street, Suite 100, Richmond, BC V6X 1A7
 604-273-8888
 www.zaha.com

PROJECT
Terra West
Richmond, BC

PROJECT
Centro
TerraWest
Development Ltd

DATE	NO.	BY	CHKD.
01 DEC 2011	1	[Signature]	[Signature]



CROSS SECTION B
1:100

CROSS SECTION A
1:400

CROSS SECTION B
1:100

SECTION B shows a cross-section through the proposed landscape masterplan. The section illustrates the vertical relationship between the building, the parking area, and the landscape. The building is shown with a flat roof and a series of concrete bands. The parking area is shown with a coloured concrete pattern. The landscape features a series of trees and a sidewalk. The section is drawn at a scale of 1:100.

CROSS SECTION A
1:400

SECTION A shows a cross-section through the proposed landscape masterplan. The section illustrates the vertical relationship between the building, the parking area, and the landscape. The building is shown with a flat roof and a series of concrete bands. The parking area is shown with a coloured concrete pattern. The landscape features a series of trees and a sidewalk. The section is drawn at a scale of 1:400.

PROPOSED AREAS TO BE PLANTED
FOLLOWING APPROVAL AND DIRECTION
FROM THE CITY OF RICHMOND

EXISTING TREES TO REMAIN
OUTSIDE OF PROPERTY
BOUNDARIES

PROPOSED ORNAMENTAL - N.E.A.
ACER PAVILLUM

PROPOSED STREET TREE - AREA
ACER RUBRUM - ROWHALL*

FEATURE PAVING - MATERIAL 'B'
NATURAL STONE
COLOUR BLACK

LAWN

Open Rock
Angular Gravel

PLANTED AREAS - REFER
TO PLANTING PLAN

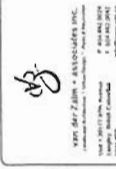
CONCRETE SIDEWALK

FEATURE PAVING - MATERIAL 'A'
CONCRETE UNIT PAVERS
COLOUR DESERT SAND

BRANCH - NO. 1000
MANUFACTURER LANDSCAPE FORMS

ACER ORNAMENTAL

PROPOSED AREAS TO BE PLANTED
FOLLOWING APPROVAL AND DIRECTION
FROM THE CITY OF RICHMOND



V&A ASSOCIATES INC.
 1000 West 10th Avenue, Suite 100
 Vancouver, BC V6H 2G6
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.vandaa.com

TerraWest
 Development Ltd.
 1000 West 10th Avenue, Suite 100
 Vancouver, BC V6H 2G6
 Tel: 604.681.1111
 Fax: 604.681.1112
 www.terrawest.com

PROJECT
 TerraWest
 Richmond BC

CLIENT
 TerraWest
 Development Ltd.

DATE
 01 DEC 2011

SCALE
 AS SHOWN

PROJECT NO
 DP2011-17

DRAWING TITLE
 PLANTING PLAN

DATE
 01 DEC 2011

SCALE
 AS SHOWN

PROJECT
 TerraWest
 Richmond BC

CLIENT
 TerraWest
 Development Ltd.

DATE
 01 DEC 2011

SCALE
 AS SHOWN

PROJECT NO
 DP2011-17

DRAWING TITLE
 PLANTING PLAN

DATE
 01 DEC 2011

SCALE
 AS SHOWN

PROJECT
 TerraWest
 Richmond BC

CLIENT
 TerraWest
 Development Ltd.

DATE
 01 DEC 2011

SCALE
 AS SHOWN

PROJECT NO
 DP2011-17

DRAWING TITLE
 PLANTING PLAN

DATE
 01 DEC 2011

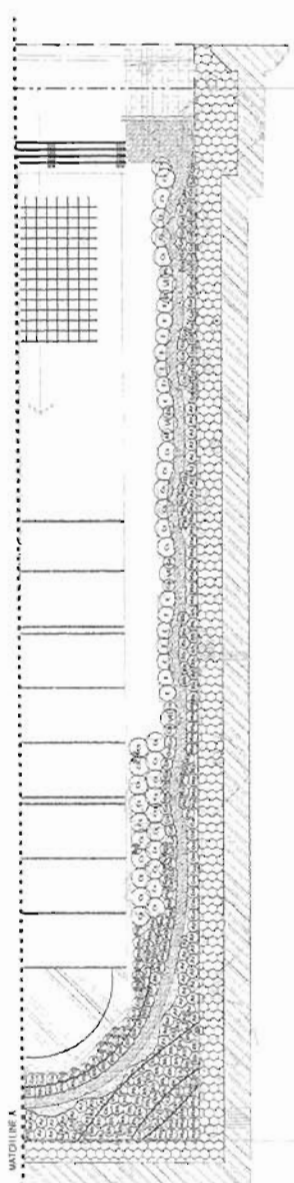
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PROJECT
 TerraWest
 Richmond BC

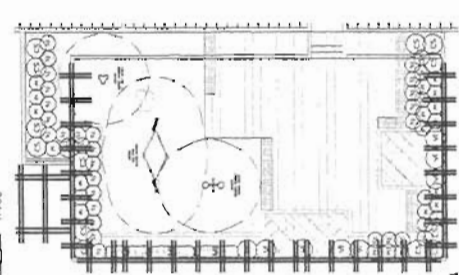
CLIENT
 TerraWest
 Development Ltd.

DATE
 01 DEC 2011

SCALE
 AS SHOWN



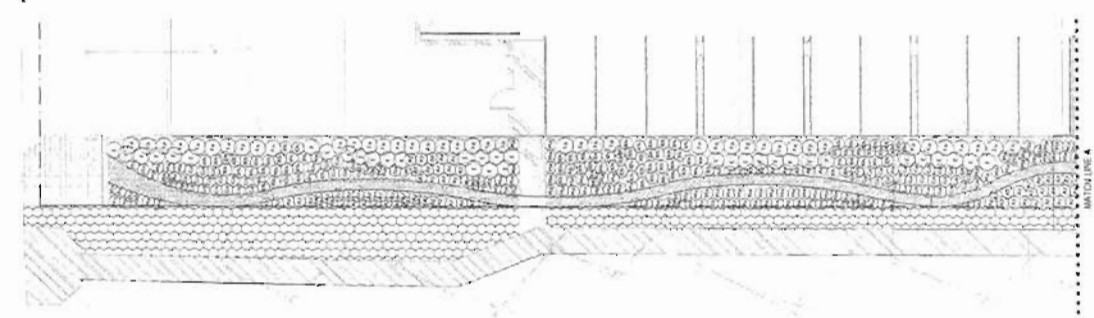
2. PLANTING - WEST/SOUTH EDGE
 1/100



3. PLANTING - TERRACE
 1/100



4. EXISTING STREETSCAPE
 NTS



5. PLANTING - WEST EDGE
 1/100

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
Ar	Azalea mollis	Azalea - yellow	134	# 2 Pot	55.00 CM
Rh	Rhododendron 'Boule de Neige'	Rhododendron 'Boule de Neige'	11	# 1 Pot	55.00 CM
Ca	Cornus canadensis	Redwing dogwood	32	# 2 Pot	50.00 CM
Ma	Malva aegialium	Orange ginge	169	# 2 Pot	55.00 CM
E	Eucyrtium compactum	Orange bush	48	# 2 Pot	75.00 CM
Ca	Caryopteris palmata	Green Screen Buzbuz	151	# 2 Pot	55.00 CM
Ta	Taxus canadensis	Green Screen	42	# 3 Pot	75.00 CM
Pg	Prunella angustifolia	Virginia creeper	11	# 2 Pot	as shown
Vi	Vitis labrusca	Concord grape	4	# 2 Pot	900mm O.C.
TREES					
	Acer coronatum	Vine Maple	9	5 cm cal. 1.8m high	as shown
	Acer palmatum 'Sango Kaku'	Japanese Maple 'Sango Kaku'	3	5 cm cal. 1.8m high	as shown
	Acer rubrum 'Bovest'	Bovest Red Maple	18	6 cm cal(5-ft)	as shown
MISC					
	Gravel		7	13 m ²	as shown

GENERAL PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
Sc	Scilla sibirica	Blue Bell	20	# 1 Pot (42 Pot)	1.07 O.C. (20-48 CM)
S	Scilla sibirica	Blue Bell	9	# 1 Pot	1.07 O.C. (20-48 CM)
M	Malva sylvestris	Flowering Malva	3	# 3 Pot	2 m O.C.
V	Vitis labrusca	Concord grape	6	# 2 Pot	900mm O.C.
Ca	Cornus canadensis	Redwing dogwood	14	# 2 Pot	450mm O.C.

TERRACE PLANTING SCHEDULE

AMENITY TERRACE

PROJECT NO. DP2011-17

City of Zurich & Associates Inc.
 100 West Beaver Creek
 Suite 100
 Richmond Hill, ON L4B 1N1
 Phone: (905) 881-8888
 Fax: (905) 881-8889
 www.zurich.ca

NOTES
 1. All work shall be in accordance with the City of Zurich & Associates Inc. Standard Specifications for Landscaping and Horticulture.
 2. All plants shall be established in the ground.
 3. All plants shall be installed in accordance with the City of Zurich & Associates Inc. Standard Specifications for Landscaping and Horticulture.
 4. All plants shall be installed in accordance with the City of Zurich & Associates Inc. Standard Specifications for Landscaping and Horticulture.

Patrick Connor
 Project Manager

Centro TerraWest Development Ltd.
 100 West Beaver Creek
 Suite 100
 Richmond Hill, ON L4B 1N1
 Phone: (905) 881-8888
 Fax: (905) 881-8889
 www.centroterra.com

NO.	DESCRIPTION	DATE	BY	CHKD.
1	Issue for Review	2011-11-14	PC	PC
2	Issue for Review	2011-11-14	PC	PC
3	Issue for Review	2011-11-14	PC	PC
4	Issue for Review	2011-11-14	PC	PC
5	Issue for Review	2011-11-14	PC	PC

PROJECT: TerraWest
 100 West Beaver Creek
 Richmond Hill, ON L4B 1N1

PROJECT: TerraWest
 Centro TerraWest Development Ltd.
 100 West Beaver Creek
 Richmond Hill, ON L4B 1N1

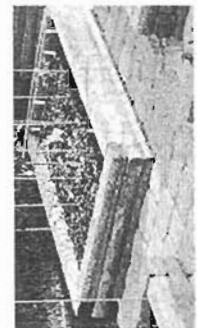
DATE	BY	CHKD.	DESCRIPTION
01 DEC 2011	MS	MS	LS TERRACE DWG
01 DEC 2011	MS	MS	LS TERRACE DWG



C - Landscape Structure #10014A, Oil Spill Spiller
 Model - 10014A, Double



C - Landscape Structure #10014A, Oil Spill Spiller
 Model - 10014A, Double



B - Landscape Structure #10015, Red Gym Tweeter
 Model - 10015, Double



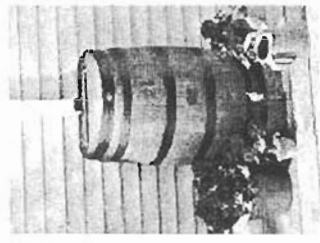
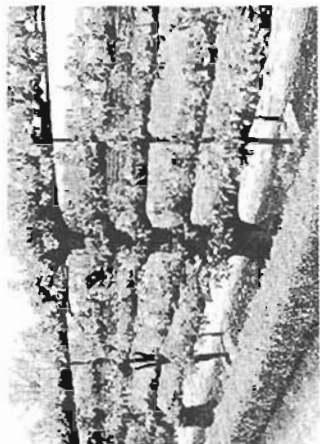
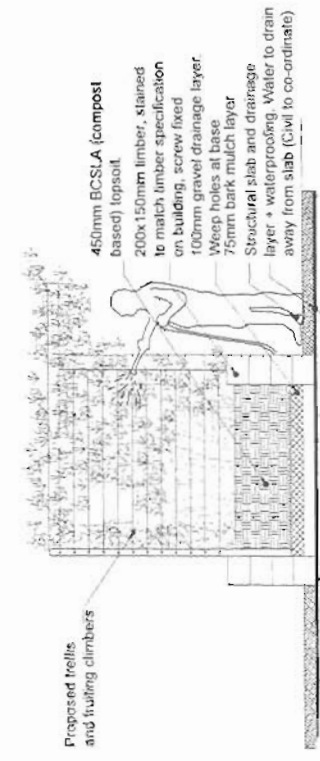
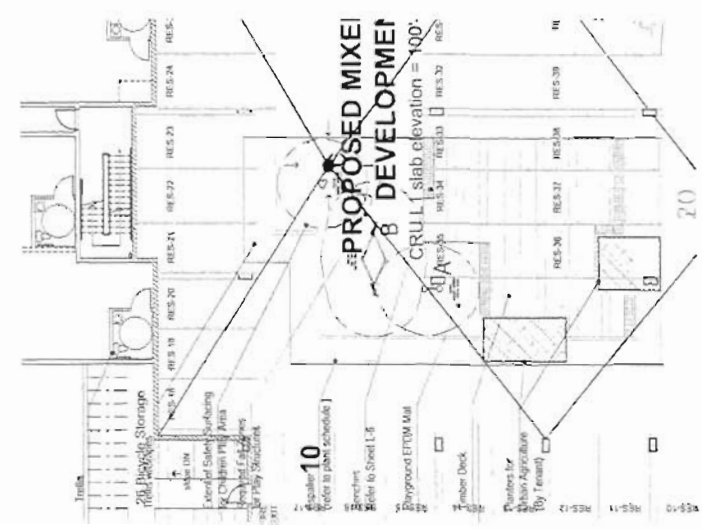
B - Landscape Structure #10015, Red Gym Tweeter
 Model - 10015, Double



A - Landscape Structure #16603, Double
 Model - 16603, Double



A - Landscape Structure #16603, Double
 Model - 16603, Double



CHARACTER IMAGES - PLANTER and ESPALIER

RAIN BARREL

CROSS SECTION 1-1



Address: 6011 and 6031 No. 1 Road

File No.: RZ 11-586705

Prior to final adoption of Zoning Amendment Bylaw 8875, the developer is required to complete the following:

1. Final Adoption of OCP Amendment Bylaw 8874.
2. 2 m wide road dedication along the entire No. 1 Road and Westminster Highway frontages, and 4 m by 4 m corner cut at the intersection.
3. Consolidation of all the lots into one development parcel (which will require the demolition of the existing dwellings).
4. Discharge of 3 m wide sanitary sewer statutory utilities rights-of-way from both 6011 and 6031 No. 1 Road lots (BL241502 & BL 257228). Impact to Plan LMP33916 will be addressed as part of the sanitary works. See Servicing Agreement requirement for sanitary works.
5. Registration of an aircraft noise sensitive use covenant on title. This legal agreement is to identify that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise within the proposed dwelling units. Dwelling units must be designed and constructed to achieve:

a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
6. Registration of a flood plain covenant on title identifying:
 - a) a minimum habitable elevation of 2.25 m GSC for non-residential uses for the lifetime of the building; and
 - b) all building construction below 2.6 m GSC is to be constructed in a manner that is not subject to damage by flood waters (e.g. concrete construction below this datum & mechanical equipment/electrical outlets all raised above 2.6 m GSC).
7. Registration of a legal agreement on title requiring that twenty percent (20%) of the residential parking spaces (e.g. 10 spaces) are equipped with 240 volt electrical outlets.
8. Registration of a legal agreement on title prohibiting conversion of bicycle storage area into habitable area.
9. Public art installation participation in the City's Public Art Program in the amount of \$0.75 per buildable square foot of residential space & \$0.40 per buildable square foot of commercial space (e.g. \$26,705), or City acceptance of the developer's offer to voluntarily contribute the same amount to the City's public art fund.
10. Provision of on-site indoor amenity space (Min. 70 m²) or cash-in-lieu (e.g. \$53,000 for 36 units).
11. City acceptance of the developer's offer to voluntarily contribute \$4.00 per buildable square foot of residential space (e.g. \$125,672) to the City's affordable housing fund.
12. Voluntary contribution of \$15,300 to go towards audible pedestrian signal (APS) upgrade at the intersection.
13. Provision of the following Transportation Demand Management (TDM) package:
 - a) Voluntary contribution of \$22,000 for a bus shelter at the bus stop on No.1 Road. See Servicing Agreement requirement for No. 1 Road bus stop improvements.

- b) Provision of intersection improvements to enhance pedestrian movement with: geometric improvements to corner curb radii to reduce pedestrian walking distance across the west leg of the intersection and crosswalk with special surface treatment. See Servicing Agreement requirement for intersection improvements.
 - c) Provision of 2 benches along the site frontages. The benches are to be provided against the building face within the setback area and may be integrated with the building.
 - d) Provision of at least one end of trip facilities for the commercial component (e.g. shower).
 - e) Provision of electrical vehicle plug-ins (240 volts) for 20% of the residential parking spaces (10 spaces).
14. The submission and processing of a Development Permit* completed to a level deemed acceptable by the Director of Development.
15. Enter into the City's standard non-registered Servicing Agreement* for the design and construction of frontage upgrades and service connection designs. The works will have a one year Maintenance Period and must be constructed within one year from the Owner entering the SA with the City. The works are at the Owners full cost (i.e. no credits are applicable) and capacity analysis calculations are to be included. Works include, but are not limited to:
- a) Street beautification: along both No. 1 Road and Westminster Highway entire frontages. A new 2 m wide concrete sidewalk at the new property line, grass boulevard with street trees, and street lighting to current City standards behind the existing curb and gutter. Concrete pad and bike racks may be included in the boulevard. Tree species along No 1 Road to match existing street trees to the south (Skyline Honey Locust per dwg Fc – 58). Tree species along Westminster Highway to be determined.
 - b) No. 1 Road bus stop improvements: relocation of the existing bus stop southward (1 m to 2 m) to accommodate proposed access location and a new concrete pad to support a new bus shelter. See TDM package requirements.
 - c) Intersection improvements: at the west leg of the No.1 Road and Westminster Highway intersection, including geometric improvements to corner curb radii; a wider 4.5 m crosswalk with special stamped asphalt surface treatment and design; and construction of a concrete median along the west leg of the intersection up to the site access, including decorative illuminated bollards.
 - d) Sanitary Sewer: the existing sanitary sewer that runs partway through the rear of the site is to be abandoned and to provide a new City manhole in the southwest corner of the site. The developer is required to grant a new 3m x 3m statutory utilities right-of-way in the southwest corner of the site and to discharge or modify Plan LMP33916 as needed.

Prior to a Development Permit* being forwarded to the Development Permit Panel for consideration, the developer is required to:

1. Submit a report and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and thermal conditions comply with the City's Official Community Plan requirements for Aircraft Noise Sensitive Development. See aircraft noise sensitive use covenant requirement.
2. Submit cross-sections and a functional design for intersection geometric changes prepared by a registered professional, to the satisfaction of the Director of Transportation. Work to include truck turning wheel paths due to the reduced curb radii at the NW corner of the intersection, curb radii widening, and median details.
3. Receipt of a Letter-of-Credit for landscaping. The amount is to be determined by a sealed estimate prepared by a registered Landscape Architect.

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes, including:
 - a) Acoustic and mechanical features to mitigate the impact of potential aircraft noise;
 - b) Transportation Demand Management features;
 - c) Accessibility features; and
 - d) Sustainability features
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

[Signed copy in file]

Signed

Date



Richmond Official Community Plan Bylaw 7100
Amendment Bylaw 8874 (RZ 11-586705)
6011 AND 6031 NO. 1 ROAD

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. Richmond Official Community Plan Bylaw 7100 is amended by repealing the existing land use designation on the Land Use Map in Schedule 2.2B (Terra Nova Sub-Area Plan) thereof of the following area and by designating it "Mixed Use".

P.I.D. 000-449-067

Lot 19 Except Parcel "A" (Bylaw Plan 66839) Section 10 Block 4 North Range 7 West New Westminster District Plan 37490

P.I.D. 008-406-715

Lot 20 Section 10 Block 4 North Range 7 West New Westminster District Plan 37490

- 2. This Bylaw may be cited as "Richmond Official Community Plan Bylaw 7100, Amendment Bylaw 8874".

FIRST READING

PUBLIC HEARING

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED

CITY OF RICHMOND
APPROVED by _____
APPROVED by Manager or Solicitor _____

MAYOR

CORPORATE OFFICER



Richmond Zoning Bylaw 8500
Amendment Bylaw 8875 (RZ 11-586705)
6011 AND 6031 NO. 1 ROAD

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

- 1. Richmond Zoning Bylaw 8500, as amended, is further amended by:
 - i. Inserting the following into the table contained in Section 5.15.1, in numerical order:

Zone	Sum Per Buildable Square Foot of Permitted Principal Building
"ZMU21	\$4.00"

- ii. Inserting the following into Section 20 (Site Specific Mixed Use Zones), in numerical order:

20.21 Commercial Mixed Use (ZMU21) – Terra Nova

20.21.1 Purpose

The zone provides for medium density low rise buildings with a limited range of retail and services to the surrounding community, **apartment housing**, and a **density bonus** for affordable housing.

20.21.2 Permitted Uses

- animal grooming
- child care
- government service
- health service, minor
- office
- restaurant
- retail, convenience
- retail, general
- service, business support
- service, financial
- service, household repair
- service, personal
- veterinary service

20.21.3 Secondary Uses

- boarding and lodging
- home business
- housing, apartment

20.21.4 Permitted Density

- 1. The maximum floor area ratio is 1.2, together with an additional:

- a) 0.1 **floor area ratio** provided that it is entirely used to accommodate **amenity space**.
2. Notwithstanding Section 20.21.4.1, the reference to the maximum **floor area ratio** of “1.2” is increased to “1.4” if:
 - a) for rezoning applications involving 80 or less **dwelling units**, and prior to the time **Council** adopts a zoning amendment bylaw to include the **owner’s lot** in this ZMU21 zone, the **owner** pays into **affordable housing reserve** the sum specified in Section 5.15.1 of this bylaw for the residential **density**; or
 - b) for rezoning applications involving more than 80 **dwelling units**, and prior to the first occupancy of the **building**, the **owner**:
 - i. provides in the **building** not less than four **affordable housing units** and the combined **habitable space** of the total number **affordable housing units** would comprise at least 5% of the total **building area**; and
 - ii. enters into a **housing agreement** with respect to the **affordable housing units** and registers the **housing agreement** against the title to the lot, and files a notice in the Land Title Office.

20.21.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 75% for **buildings**.

20.21.6 Yards & Setbacks

1. The minimum **front yard** and **exterior side yard** is 1.5 m, provided that an adequate transition is made if the **front yard** and **exterior side yard** is greater on **adjacent** and/or **abutting developments**.
2. The minimum **interior side yard** and **rear yard** is 3.0 m.

20.21.7 Permitted Heights

1. The maximum **height** for **buildings** is 16.0 m.
2. The maximum **height** for **accessory structures** is 5.0 m.

20.21.8 Subdivision Provisions/Minimum Lot Size

1. The minimum **lot area** is 2,400 m².

20.21.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided according to the provisions of Section 6.0.

20.21.10 On-site Parking & Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0.

20.21.11 Other Regulations

1. Signage shall be in compliance with Sign Bylaw No. 5560, as amended, except that:
 - a) for projecting signs, canopy signs and building-mounted signs, the maximum **height** shall not exceed the first habitable storey of the **building**;

- b) building-mounted commercial signs are only permitted on a building face fronting onto a public road; and
 - c) free-standing commercial signs are not permitted.
2. Apartment housing must be located on the second or upper floors of the building (excluding building entrance lobbies).
 3. The non-residential uses listed in Section 20.21.2 are permitted, provided that:
 - a) these uses are located, in whole, or in part, on the first storey or second storey of a building;
 - b) the business does not share internal corridors and stairwells with residential uses; and
 - c) each individual business has a maximum gross leasable floor area not exceeding 1,000 m² unless otherwise specified by the definition of the permitted use.
 4. In addition to the regulations listed above, the General Development Regulations in Section 4.0 and the Specific Use Regulations in Section 5.0 apply.”
2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, is amended by repealing the existing zoning designation of the following area and by designating it **COMMERCIAL MIXED USE (ZMU21) – TERRA NOVA**.

P.I.D. 000-449-067

Lot 19 Except Parcel “A” (Bylaw Plan 66839) Section 10 Block 4 North Range 7 West New Westminster District Plan 37490

P.I.D. 008-406-715

Lot 20 Section 10 Block 4 North Range 7 West New Westminster District Plan 37490

3. This Bylaw may be cited as “Richmond Zoning Bylaw 8500, Amendment Bylaw 8875”.

FIRST READING

A PUBLIC HEARING WAS HELD ON

SECOND READING

THIRD READING

OTHER REQUIREMENTS SATISFIED

ADOPTED



MAYOR

CORPORATE OFFICER



To: Planning Committee **Date:** March 5, 2012
From: Brian J. Jackson, MCIP **File:** TU 12-600784
 Acting General manager, Planning and
 Development
Re: **Application by Paul Cheung (Lions Communications Inc.) for a Temporary
 Commercial Use Permit at 12631 Vulcan Way for 2012, 2013 and 2014**

Staff Recommendation

1. That the application of Paul Cheung (Lions Communications Inc.) for a Temporary Commercial Use Permit at 12631 Vulcan Way be considered at Public Hearing to be held on April 16, 2012 at 7:00 pm in the Council Chambers of Richmond City Hall, and that the following recommendation be forwarded to that meeting for consideration:

“That a Temporary Commercial Use Permit be issued to Paul Cheung (Lions Communications Inc.) for the property at 12631 Vulcan Way for the purposes of permitting an evening night market event between May 11, 2012 to September 16, 2012 (inclusive), May 10, 2013 to September 8, 2013 (inclusive) and May 9, 2014 to September 14, 2014 (inclusive) subject to the fulfillment of all terms, conditions and requirements outlined in the Temporary Commercial Use Permit and attached Schedules.”

2. That the Public Hearing notification area include all properties within the area bounded by River Road to the north, No. 5 Road to the west, Bridgeport Road to the south and Knight Street to the east.

Brian J. Jackson, MCIP
 Acting General Manager, Planning and Development

BJJ:ke
 Att.

FOR ORIGINATING DEPARTMENT USE ONLY <i>Acting</i>		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Business Licences	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Community Bylaws	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Fire Rescue	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
RCMP	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Building Approvals	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	
Transportation	Y <input checked="" type="checkbox"/> N <input type="checkbox"/>	

Staff Report

Origin

Paul Cheung (Lions Communications Inc.) has applied to the City of Richmond for a Temporary Commercial Use Permit (TCUP) at 12631 Vulcan Way for the purposes of operating a seasonal evening market event during the specified periods for 2012, 2013 and 2014 (Please refer to **Attachment 1** for a location map). The event organizer has secured required authorizations from the property owner of the subject site for the period of time requested for this TCUP.

Event Dates and Hours of Operation

	Opening and Closing Dates	Days of Operation	Hours of Operation
2012	May 11 to September 16	<ul style="list-style-type: none"> Friday, Saturday, Sunday and Statutory Holidays. 60 operation days proposed. 	<ul style="list-style-type: none"> 7pm-12am: Friday, Saturday and days preceding a Statutory Holiday. 7pm-11pm: Sunday and Statutory Holidays.
2013	May 10 to September 8	<ul style="list-style-type: none"> Friday, Saturday, Sunday and Statutory Holidays. 58 operation days proposed. 	<ul style="list-style-type: none"> 7pm-12am: Friday, Saturday and days preceding a Statutory Holiday. 7pm-11pm: Sunday and Statutory Holidays.
2014	May 9 to September 14	<ul style="list-style-type: none"> Friday, Saturday, Sunday and Statutory Holidays. 60 operation days proposed. 	<ul style="list-style-type: none"> 7pm-12am: Friday, Saturday and days preceding a Statutory Holiday. 7pm-11pm: Sunday and Statutory Holidays.

Subject Site Background

The subject site has been utilized as an event site for seasonal night market events since 2004, with two different event organizers obtaining TCUP's to run the market event on a yearly basis. Paul Cheung (Lions Communications Inc.) was the event organizer for the previous TCUP issued for the site, which was first granted in 2008 (valid from 2008-2009) and renewed in 2010 (valid from 2010 to 2011).

The site contains an existing building that operates a warehousing and wholesaling operation. A majority of the remaining site area is paved.

Surrounding Development

- To the north: River Road and the north arm of the Fraser River.
- To the east: A complex of light industrial buildings zoned Light Industrial (IL).
- To the south: Vulcan Way and a rail right-of-way. Light industrial/commercial buildings zoned IL and IR (i.e., Home Depot) are located further south close to Bridgeport Road.
- To the west: Light Industrial buildings zoned IL.

Findings of Fact

Item	Existing	Proposed
Owner	3547 Holdings Inc.	No change – Authorization from the property owner has been secured by the event organizer.
Applicant	Paul Cheung (Lions Communications Inc.)	No change
Site Size	5.2 ha (12.8 acres)	No change
Land Uses	Industrial warehouse and paved area for off-street parking and loading area.	Proposed seasonal evening market event consisting of food and retail vendor booths, on-site entertainment and accessory supporting uses to the event.
OCP Designation – General Land Use Map	Business and Industry	No change proposed.
Bridgeport Area Plan Designation	Industrial	No change
Zoning	Light Industrial (IL)	No change

Night Market Event at Duck Island (Raymond Cheung – Fireworks Production Ltd.)

Another TCUP at 8351 River Road and Duck Island by Fireworks Production Ltd. is proceeding to Public Hearing on March 19, 2011 for consideration by Richmond City Council for the purposes of permitting a night market event.

TCUP applications at the Duck Island site (Fireworks Production Ltd.) and at 12631 Vulcan Way (Lions Communications Inc.) are required to go through a staff review of the proposals to ensure that all requirements and issues specific to each site are addressed and resolved. Once the application review is complete, Council consideration of the TCUP through Planning Committee/Council and a Public Hearing is required.

Temporary Commercial Use Permit – 12631 Vulcan Way Summer Night Market Event Description

The following summarizes proposed uses, event configuration and operations:

- The site plan for the proposed market event and supporting off-street parking areas is contained in **Attachment 2**.
- 194 general retail vendor booths plus 61 food vendor booths (255 vendors total).
- 2 mobile food vendor trucks.
- The event market area is located at the northwest corner of the subject site situated in between the existing warehouse building to the south and River Road to the north. Food vendors are centralized along three parallel running corridors, where existing plumbing and sanitary sewer services have been installed. Remaining retail vendors are generally situated in north-south running columns.
- Supporting office, first aid, and washroom facilities is also located within the event market area.

- A stage for on-site entertainment is in a central location within the market event area.
- Remaining areas will be utilized for off-street parking.
- The existing warehouse building will not be utilized for any evening market event functions and fencing is required to be installed around the perimeter of the building to prohibit access from event attendees.
- The event market area is also to be fenced for crowd control purposes and to ensure attendees are unable to gain access to prohibited areas of the site.
- 476 parking stalls can be accommodated on the subject site. The event organizer has indicated that on-site parking for attendees will be pay parking.
- The event organizer has also secured a total of 600 additional parking stalls on nearby lots that are dedicated for sole use by attendees, vendors and event employees.
- Vehicle access will be from the north only via River Road. The vehicle exit is at the south end of the subject site to Vulcan Way. This access/egress configuration facilitates a one-way vehicle flow through to and from the market event site's parking lot and is identical to past operations.
- Pedestrian access to the market event site will be primarily from Vulcan Way from the south through a dedicated pathway to the market event area.
- Event staffing will consist of on-site parking lot attendants, general event operations staff, on-site security staff, qualified first-aid attendants and janitorial staff.

Local Government Act – Temporary Land Uses

The Local Government Act (LGA) enables municipalities the ability to:

- Designate areas where temporary commercial uses may be considered.
- Issue temporary use permits through Council resolution.
- Undertake public notification on the proposed temporary use.
- Specify terms and conditions applicable to the proposed temporary use.

Maximum time periods that a TCUP is valid for is 3 years. Upon expiration, a renewal can be applied for a maximum of 3 years (Note: The LGA was recently amended to increase the time period of temporary use permits from 2 to 3 years). Although this site has been utilized as a seasonal market event site since 2004, a new TCUP application for temporary commercial uses is considered a new permit with time limitations on validity of a TCUP identified by the LGA. The proposed TCUP for a market event from 2012 to 2014 complies with the provisions of the LGA.

Related Policies and Land Use Designations

Official Community Plan – Temporary Use Permits

The subject site is designated for “Business and Industry” in the Official Community Plan (OCP) – OCP General Land Use Map. Schedule 1 of the OCP permits TCUP’s to be considered on land designated for “Business and Industry” in the OCP subject to Council review and approval and based on conditions appropriate to the proposed use and surrounding area. Based on the provision of the LGA and OCP regulations, a TCUP for a proposed evening market event can be considered on the subject site.

Public Consultation and Notification

Public Consultation Undertaken by Event Organizer

In conjunction with the submission of the TCUP application for the subject site, the event organizer undertook public consultation with property owners and businesses in the surrounding area. Consultation consisted of distributing information handouts and directly liaising with stakeholders in the area to listen to concerns and obtain comments about how to improve the event and minimize negative impacts. A summary of consultation and comments received has been prepared by the event organizer and is shown in **Attachment 3** for reference. Most comments received were minor concerns noted about ensuring garbage pick-up on a timely basis and ensuring employee/customer access for businesses that operate during the event hours of operation. The event organizer is committed to addressing the concerns raised and ensure regular communication with surrounding businesses and property owners and also plans to undertake additional consultation during the event season and adjust operations as needed.

In previous years, the property owner at the northeast corner of No. 5 Road and River Road has voiced concerns about the impact of the event on existing businesses in the industrial complex. Over the past 4 years, the current event organizer has developed a strategy aimed at mitigating impacts of traffic, preventing market parking and ensuring litter removal at this property. City staff have also conducted site visits during event hours and observed no night market parking occurring at the corner of No. 5 Road and River Road along with minimal litter and traffic congestion issues. The event organizer plans to implement similar mitigation measures for 2012 to 2014 and is also committed to ongoing communication with businesses and the property owner in this location.

Public Hearing and Notification by the City of Richmond

Processing of the Temporary Commercial Use Permit requires that the land use application be forwarded to a Public Hearing for comments and a decision by Council. A Public Hearing notification area for properties within the area bounded by Bridgeport Road to the south, No. 5 Road to the west, River Road to the north and Knight Street to the east is recommended by staff (refer to **Attachment 4** for a map).

City Staff and Stakeholder Requirements

Transportation

Traffic Management Plan (TMP)

Transportation requirements related to traffic circulation and control through the Traffic Management Plan (TMP) and requirements for the number of secured off-street parking available to the event is similar to past event's operation and arrangement.

The TMP addresses staffing (professional and certified traffic control persons), signage and other traffic control measures to effectively and safely direct vehicles to and from the event site. The TMP is required to be reviewed and approved by the Transportation Division. A copy of the overall traffic control and management strategy approved by Transportation Division staff is contained in **Attachment 5**. The event organizer is required to obtain a professional traffic control company to develop and implement the TMP based on the provisions of the overall strategy.

A minimum of 5 certified traffic control persons and 1 traffic control supervisor is required to operate the TMP. The event organizer has indicated they intend to utilize a professional traffic control company with appropriate trained and certified staff to develop and implement the TMP.

Off-Street Parking Requirements

A minimum of 1,000 off-street parking stalls are required to be allocated solely for the proposed evening market event for attendees, market employees and vendors. From this total, a minimum of 250 stalls is required to be allocated to market vendors and employees.

The event organizer has confirmed that 1,136 off-street parking stalls have been secured and dedicated to the market event. Nearby parking lots secured by the event organizer have confirmed their agreement to provide parking during the time and period of the market event from 2012 to 2014. Off-street parking secured by the event organizer is summarized as follows:

- 12631 Vulcan Way (Market event site) - 476 stalls.
- 2700 Sweden Way (Home Depot) – 200 stalls.
- 2633 Sweden Way (Sears) – 200 stalls.
- 12551 Bridgeport Road (former Linens N' Things site) – 200 stalls.
- 12591 Vulcan Way (Stolberg Engineering lot) – 60 stalls.

The number of stalls provided on the subject site in conjunction with the number of stalls secured on nearby neighbouring lots meets Transportation Division requirements.

RCMP

A minimum of 2 RCMP members are required to be present at all times during the hours of operation of the night market. The role of the RCMP members will be to provide a policing presence, oversee event attendees and vendor operations, monitor operation of the TMP and intervene if necessary. Having RCMP on-site during event hours also facilitates a quick response in the event of an emergency. RCMP member attendance at the night market event will be in addition to the existing RCMP deployment in Richmond, with the proponent responsible for all costs of RCMP members dedicated to the market event. RCMP staff costs are included in the required operational bonds to be submitted by the event organizer.

Community Bylaws

Community Bylaw officers are required for the purposes of monitoring and enforcing on-street parking and related City roadway regulations around the night market event site. Community Bylaw officer coverage to the event is in addition to existing coverage provided by Community Bylaw's staff in the City. The proponent is responsible for the costs of the 6 hours of Community Bylaw officer(s) patrol each night the event is in operation (based on applicable overtime rates), with scheduling of hours at the discretion of Community Bylaws staff. Costs for Community Bylaw staffing is included in the required operation bond to be submitted by the event organizer.

Richmond Fire Rescue

To ensure direct access for emergency vehicles to the site and market event area, a drive-aisle (to remain clear and fully accessible for emergency service vehicles) is required through the entire subject property that links the north access from River Road to the south exit from Vulcan Way. This arrangement will facilitate direct access for emergency vehicles from either the north or south access/egress points to gain entry to the site or market area should the need arise.

A preliminary Fire Safety Plan, based on previous event years, has been submitted by the event organizer that addresses procedures and central contact persons during an emergency. Final submission and approval of the Fire Safety Plan is required by Richmond Fire Rescue staff and is attached to issuance of applicable Building Permits for the event.

Building Approvals

Building permits are required for all buildings and structures proposed for the event site. Temporary and mobile buildings also require building permits to ensure they are sufficiently tied down and secured to the ground and ensure that the mobile buildings adhere to the City's Building Regulation Bylaw and BC Building Code.

Site servicing and plumbing permits are also required for all on-site water and sanitary sewer service and connections provided for the food court vendors and any other temporary buildings/structures that require water and sanitary sewer service. Council approval of the TCUP for the subject site is required prior to issuance of any building or site servicing permits related to the evening market event.

Business Licensing

All commercial retail and food vendor booths operating at the night market event require a Business License from the City each year to operate. The event proponent (Paul Cheung of Lions Communications Inc.) is also required to obtain an appropriate Business License for the purposes of operating the evening market event. Business License staff also provide support services to the event organizer and vendor participants to facilitate license application processes and conduct on-site inspections.

Vancouver Coastal Health (Richmond)

All vendors involved in the selling or handling of food and beverage product at the event are required to obtain appropriate permits to operate from Vancouver Coastal Health (VCH) to ensure compliance with food safety, sanitation and food handling requirements.

Based on past experience at this event site, VCH staff have identified to the event organizer that provisions of available hot water for food vendor booths is critical to addressing health related regulations. As a result, the event organizer is looking at a variety of options to meet VCH requirements, which will be reviewed, inspected and approved as part of the permit application process associated with the food court and individual vendors.

Strategy to Mitigate Impacts to Surrounding Businesses

In conjunction with the approved TMP for the event, a parking pass system will be implemented similar to previous years that involves the distribution of special passes to businesses in the surrounding area. These passes are utilized by employees or clients of businesses to identify their vehicles so that they are granted quick and efficient access during evening market operations.

The event organizer is also implementing a litter and garbage strategy in the area bounded by River Road, Knight Street, Bridgeport Road and No. 5 Road that involves placement of large garbage bins throughout the area in conjunction with regular garbage sweeps being undertaken by market event janitorial staff. A final garbage sweep by event janitorial staff will be

undertaken at the end of the evening. Regular communication with the event organizer and surrounding property owners and businesses will be undertaken to obtain feedback and address concerns as needed.

Prohibition of Counterfeit Goods Strategy

The event organizer has developed a strategy to combat the sale of illegal counterfeit goods and combat intellectual property infringement that focuses on:

- Active communication amongst the event organizer, RCMP commercial crimes unit, Intellectual Property sector representatives and retail vendors operating at the market event.
- Education and training of evening market event staff aimed at identifying counterfeit goods and informing market vendors of regulations against this activity and associated penalties.
- Inclusion of clauses in vendor contracts with the event organizer that result in vendor booth removal from the event and termination of contract to operate if counterfeit retailing activities are undertaken.

The strategy to combat counterfeit product and intellectual property infringement places the responsibility of educating and training market event staff and vendor operators and undertake active policing and enforcement when needed on the event organizer. The strategy to combat counterfeit retail activities will also to be monitored by Intellectual Property representatives and RCMP staff, who are also able to undertake policing and enforcement when necessary. Based on this approach, staff recommend that a contingency fund be added to the operational bond for each year to cover any enforcement and inspections undertaken by RCMP to address this issue. The contingency fund amount is based on the average dollar amount of RCMP resources (approximately \$5,000 in 2011) dedicated to previous evening market events in Richmond to combat or investigate counterfeit retailers. If the event organizer polices this matter effectively during event operations and there is no need for intervention by RCMP commercial crimes staff, the contingency fund amount will be returned to the organizer.

Operational Security Bond Requirements

Based on a cost recovery model, City staff have undertaken a detailed examination of known and anticipated City costs to be incurred from the proposed event for 2012, 2013 and 2014. The estimated costs for each year will be submitted prior to Council consideration of the TCUP at Public Hearing (April 16, 2012) for the first year of operation and one month in advance of the event opening date for subsequent years (2013 and 2014). A summary of costs to the City is as follows and forms the basis for the operational security bond required to be submitted to the City.

- 2 RCMP members assigned to the evening market event each day of operation and during all hours of operation at the applicable overtime rate (commute time to and from the event is included).
- RCMP commercial crimes unit resources and staff hours to supplement event organizer policing and enforcement of counterfeit products and other illegal goods.
- Community Bylaws – 6 hours (based on the applicable overtime rate) of dedicated patrol by Community Bylaw Officers for each day of operation for the night market event (scheduling of hours is at the discretion of Community Bylaws).
- Attendance by City staff to oversee and monitor implementation of the TMP and general event operations.

- Production, posting and takedown of night market directional signage by City staff.

The event organizer is required to hire a professional traffic management company, with certified traffic control staff to implement the TMP (as approved by the City). All costs incurred to run the TMP is at the event organizers sole expense.

Security bond requirements are as follows:

- 2012 – \$127,000.
- 2013 – \$128,000 (Adjusted for days of operation and anticipated wage increases).
- 2014 – \$130,000 (Adjusted for days of operation and anticipated wage increases).

Upon conclusion of the market event for each year, any surplus is required to be returned to the event proponent. Provisions are also included in the TCUP to require monies outstanding (in excess of the estimated security bond amount) to be paid in full for the event to operate.

The Procedure Bylaw for Council consideration of Temporary Commercial Use Permits (Bylaw 7273) requires that security bonds be submitted prior to Council consideration of the TCUP at Public Hearing. As a result, the following security bond submission deadlines dates apply to the propose night market TCUP:

- For 2012 – \$127,000 to be submitted prior to April 16, 2012 as the initial security bond amount.
- For 2013 – \$128,000 to be submitted prior to April 12, 2013.
- For 2014 – \$130,000 to be submitted prior to April 11, 2014.

Financial Impact

Cost Recovery – City and RCMP Expenses

The proposed night market is a privately operated event that is open to the general public. Due to the significant popularity of past events hosted on other sites in Richmond and increasing draw of attendees from across the region and visiting tourists, presence from RCMP members, Community Bylaw Officers and various staff from other divisions is required with costs to be paid by the event organizer. This enables existing service levels for policing and bylaws across the City to be maintained. In summary, a cost recovery model relating to City and RCMP expenses is applied for the proposed evening market event.

Terms and Conditions

All requirements associated with the night market TCUP are contained in the TCUP Terms and Conditions, attached to the TCUP (reference **Schedule "A"** attached to the permit). The evening market event is required to comply with these Terms and Conditions that have also been agreed to by the event organizer.

Conclusion

The proposed evening market event at 12631 Vulcan Way has addressed all issues related to the processing of the TCUP. The applicant's Summer Night Market will generally be operated in a similar manner as past events at this location with appropriate provisions for off-street parking and Traffic Management Plan provisions required to be implemented by the event organizer. Staff recommend approval of the Temporary Commercial Use Permit on the subject site to allow a seasonal evening market event from 2012 to 2014.



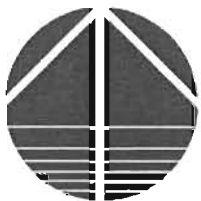
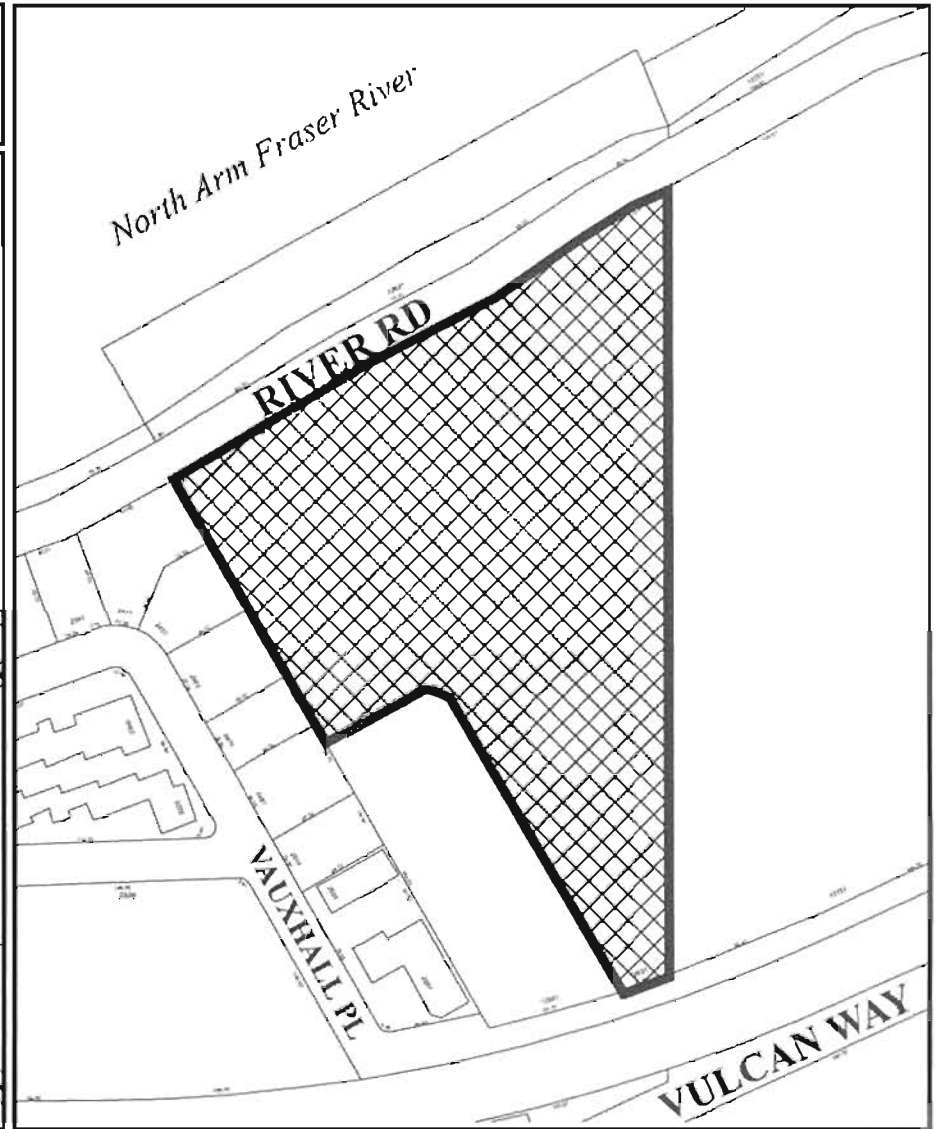
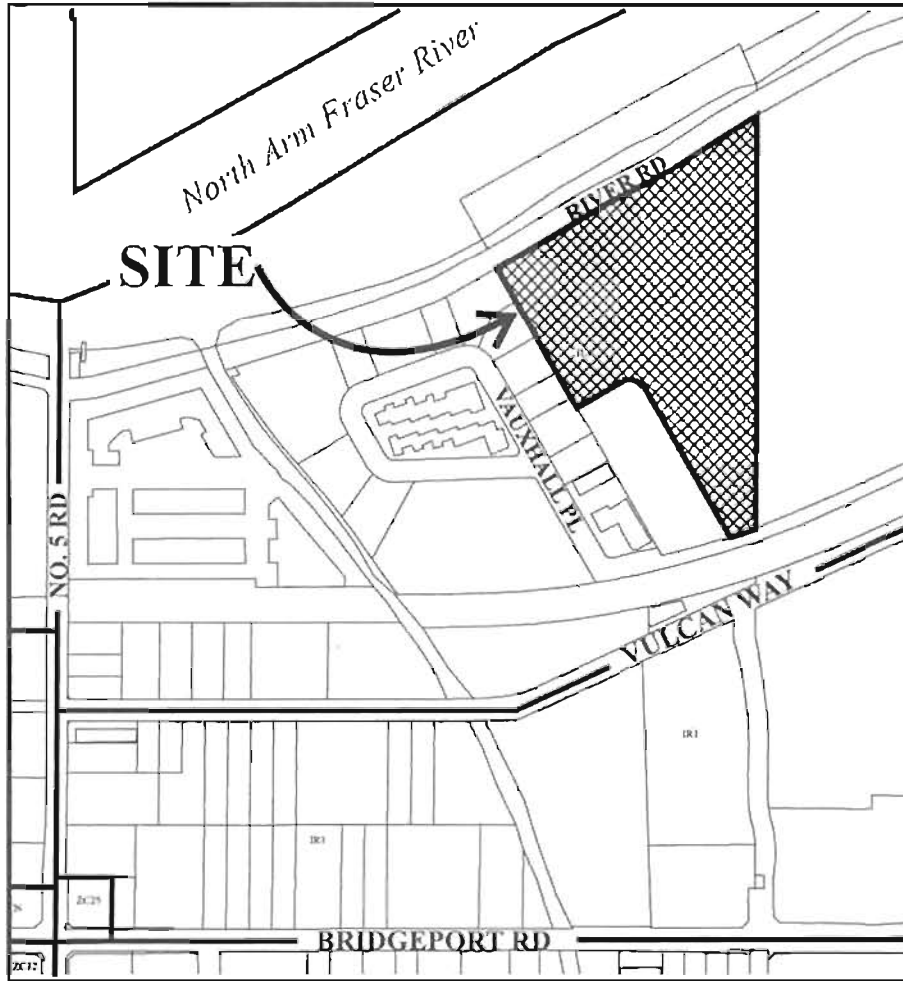
Kevin Eng
Planner 1

KE:cas

- Attachment 1 – Location Map and Aerial Photo
- Attachment 2 – Proposed Event Market Site Plan and Parking Layout
- Attachment 3 – Summary of Public Consultation Undertaken by Event Organizer
- Attachment 4 – Proposed Public Hearing Notification Area
- Attachment 5 – Overall Traffic Control and Management Strategy



City of Richmond



TU 12-600784

Original Date: 03/05/12

Revision Date:

Note: Dimensions are in METRES

ATTACHMENT 1



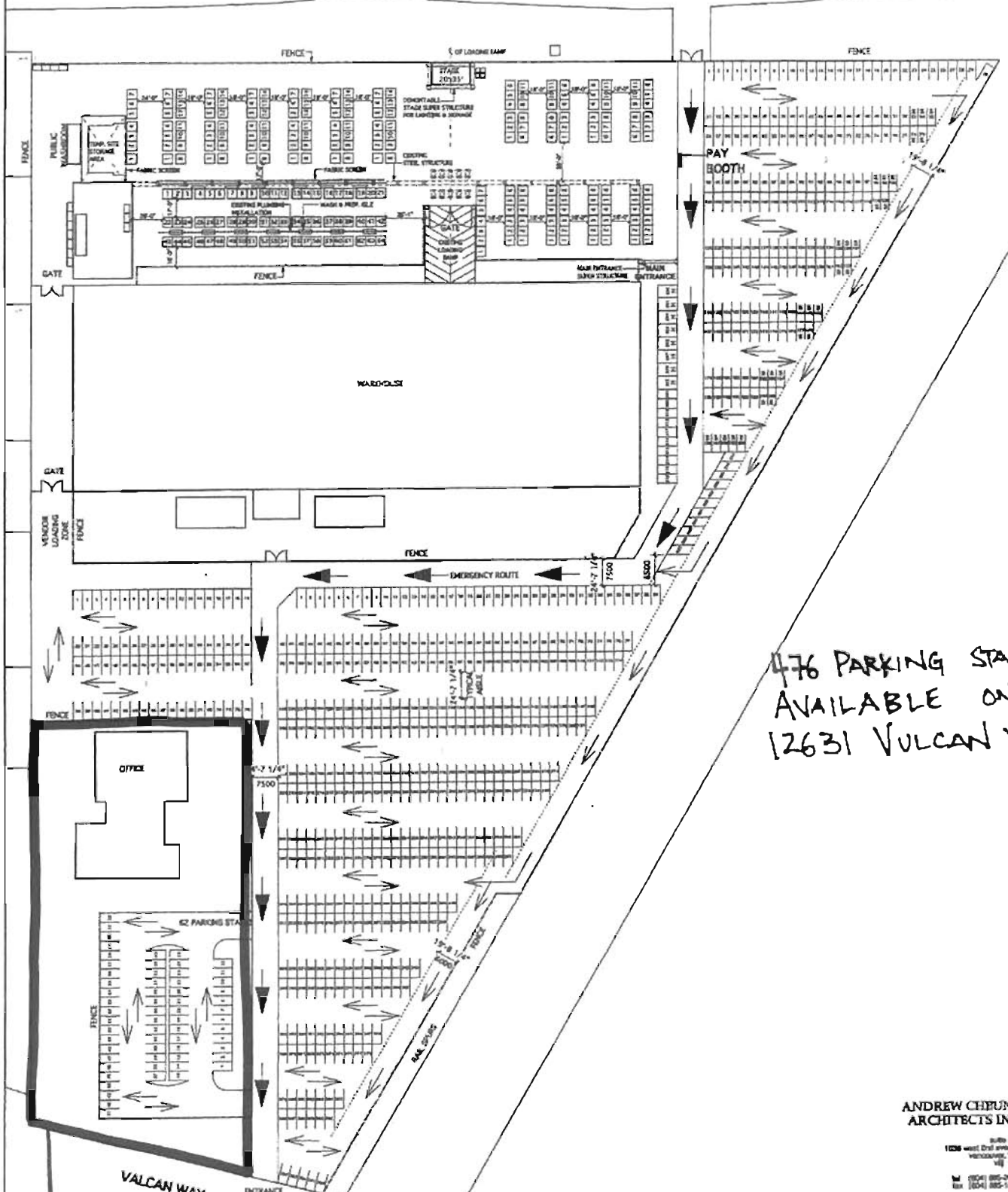
TU 12-600784

Original Date: 03/05/12

Amended Date:

Note: Dimensions are in METRES

RIVER ROAD



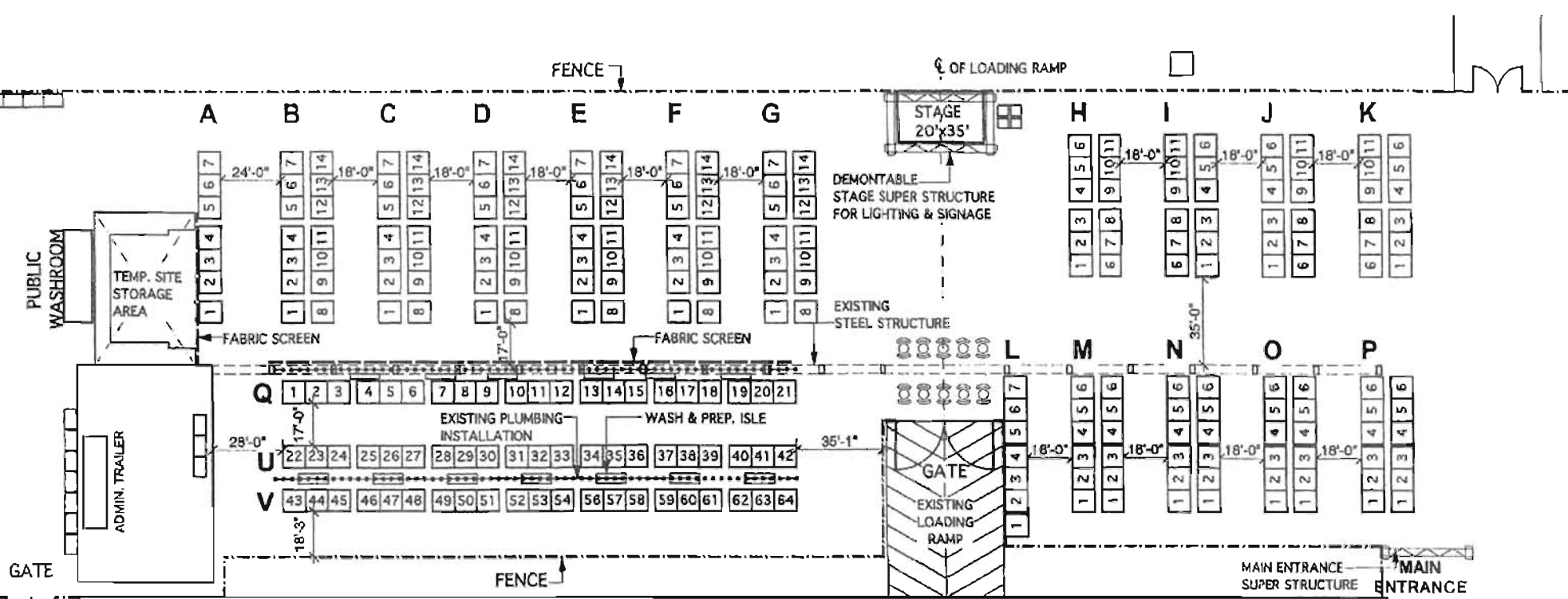
476 PARKING STALLS
AVAILABLE ON
12631 VULCAN WAY

12591 VULCAN WAY

ANDREW CHEUNG
ARCHITECTS INC.

3010 412
1026 West Drexel Avenue
Vancouver, B.C.
V6J 1G8
Tel: (604) 885-2008
Fax: (604) 885-1888

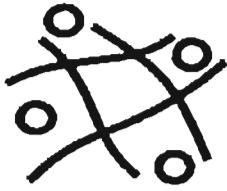
PROJECT	
SUMMER NIGHT MARKET, RICHMOND, B.C.	
DATE	
PARKING PLAN	
PROJECT NUMBER	DATE
SCALE	APPROVED BY
DATE	DATE
PROJECT MANAGER	DESIGNER
PROJECT MANAGER	DATE



- | | | |
|---|---|---------------|
| <input type="checkbox"/> GOOD RETAIL TENT | <input type="checkbox"/> FOOD TENT | PICNIC TABLES |
| <input type="checkbox"/> BETTER RETAIL TENT | <input type="checkbox"/> FOOD TENT WITH EXTRA POWER | |
| <input type="checkbox"/> BEST RETAIL TENT | <input type="checkbox"/> SPONSOR TENT | |
| <input type="checkbox"/> 9'X9' PRODUCE TENT | FIRST AID | |
| EXISTING STEEL COL. | UTILITY SINKS | |
| <input type="checkbox"/> ICE BOXES | <input type="checkbox"/> GARBAGE BINS | |

SUMMER NIGHT MARKET RICHMOND B.C. 2012 BOOTH LAYOUT

Schedule I



Lions Communications Inc.



February 10, 2012

Dear Neighbour:

SUBJECT: Summer Night Market 2012

Lions Communications Inc. and The Summer Night Market would like to express sincere gratitude for helping us make this popular community event a great success! It has become a favourite amongst children, teens, adults, seniors and tourists from many nations because it promotes ethnic diversity and family value through educational and cultural performances. Most importantly, it gives charities a much needed place and opportunity to fundraise locally and around the world. It is with your support that such groups like the Stem Cell Drive, BC Cancer Society, World Peace Federation, Diabetes Association and many others have these opportunities to help the less fortunate.

We will continue to make improvements to the event and work towards reducing the impact to your business. Should you have any concerns regarding the event, please contact the undersigned at the number below. We are committed to maximizing the benefits that this event can offer and would appreciate any suggestions, input or comments that you may have.

Thank you kindly for your time and attention to this matter.

Yours truly,

Jiwon Shin
Administrative Assistant
Lions Communications Inc.

12631 Vulcan Way, Richmond, B.C., V6V-1J7
Tel: 604.278.8000 • Fax: 604.909.2642 • Toll Free: 1.877.278.8008
Website: www.summernightmarket.com • Email: info@summernightmarket.com

Schedule H - ADDENDUM TO FEBRUARY 11, 2012 LOI

#	Company Name	Consulting Contact Name	Title	Address	Telephone	Acc Pass	Comments
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(quantities)

Note - "Letter only" refers to handing over the letter to a staff member with no discussions

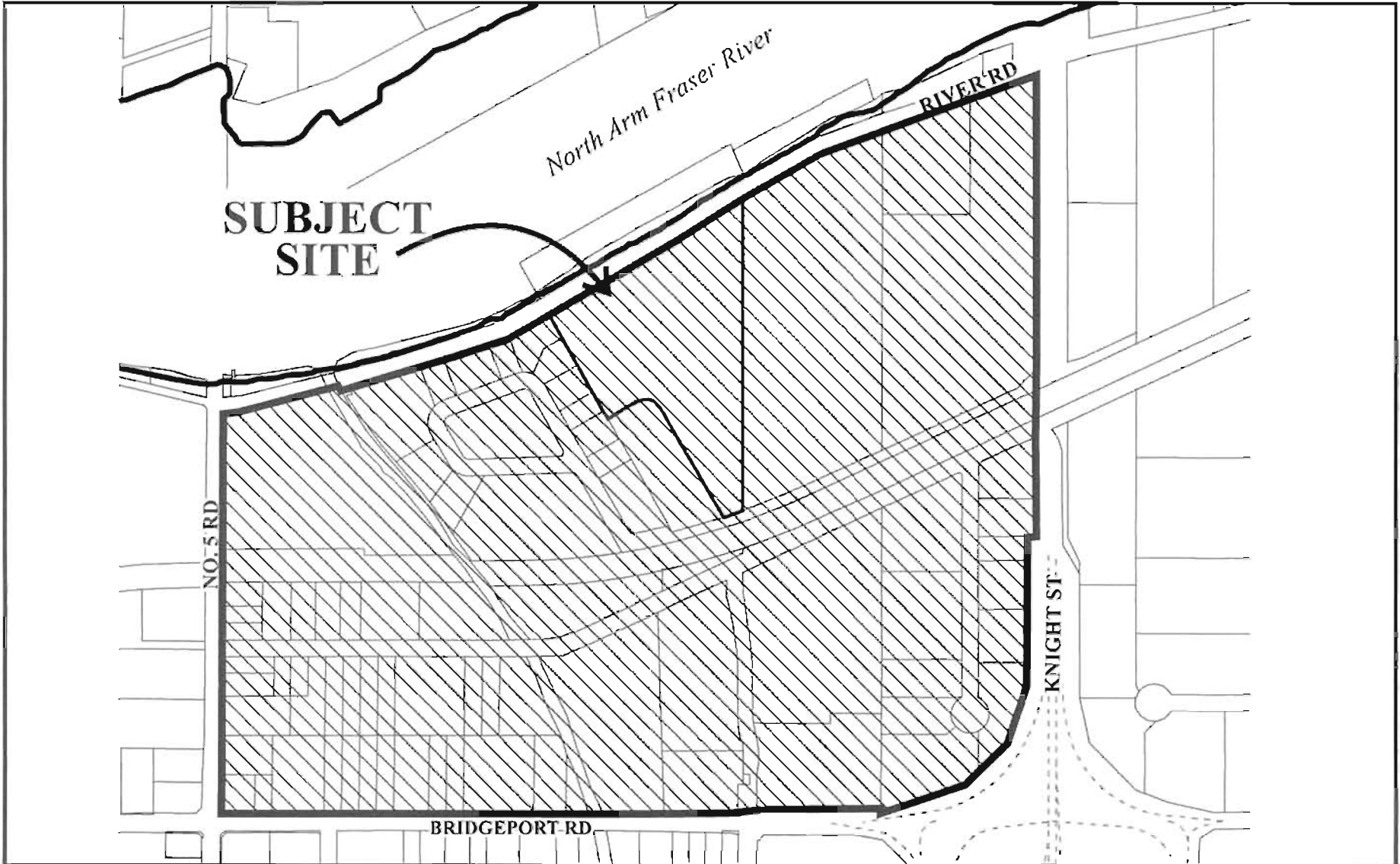
1	Ammo Power Tool	letter/discuss	Scott Field c.b.a	General Manager	110 - 2088 No 5 road	604-270-2666	8 no concerns
2	Schwarz Autoworks Co.	letter/discuss	Cindy Lee		240 - 2088 No 5 road	604-278-2087	6 no concerns
3	U.P. Windows & Company inc.	letter/discuss	Joseph M. Pacheco		270 - 2088 No 5 road	604-244-1911	4 no concerns
4	Amritech Sping Ltd.	letter/discuss	Mark Dueckman	Sales Manager	300 - 2088 No 5 road	604-278-0600	0 no one is here
5	RAS Richmond Auto Spa	letter/discuss	Danny Chu/Dennis Chow	Store Manager/ Store Manager	320/330 - 2088 No. 5 Rox	604-278-8772	15 no concerns (update)
6	Micr Tech Services corp	letter/discuss	Lancelot Rudeisheim		130 - 2188 No 5 road(Dov	604-278-8324	4 no concerns
7	Tricon Pacific Contracting/	letter/discuss	Larissa Balza	Manager	130 - 2188 No 5 road(ups)	604-551-9079	3 no concerns
8	Mpoint Communications	letter/discuss	Hongzhong Yang	Manager	141 - 2188 No 5 road	604-304-1686	4 suggest us put some night market banner beside the road to guide customer
9	Hakkasan Restaurant	letter/discuss	Yvonne Wong	Manager & Owner	110 - 2188 No 5 road	604.273.9191	0 no one is here
10		letter/discuss	Wong Phillips		200 - 2188 No 5 road		2 no concerns
11	Arbonne (T Lam Market)		Terri Lam	President	604-908-2990/604-970-361		15 May 3rd, phoned us request access pass
12	Wes-Har	letter/discuss	Glenn Nawrocki	Manager	170 - 2188 No 5 road	604-671-0119	3 no concerns
13	Mainland signs/cran berry cane	letter/discuss	Bryce Jackson/ Edmund Wang/ Danielle Dobson		150 - 2268 No. 5 Road	604-638-7386	2 no concerns
14	Hope Fund Auto Parts	letter/discuss	Jeff Yuen		160 - 2268 No. 5 Road	604-232-3396	3 no concerns
15	HBL Autosports Inc	letter/discuss	Eric Yau		190 - 2268 No. 5 Road	778-297-1323	8 no concerns
16	Major League Global Enterprises Ltd	letter/discuss	Austen Eng	Sales Manager	200 - 2288 No. 5 Road	604-897-7191	0 door is locked
17	Top Notch Building Maintenance	letter/discuss	Gord Patrie	Manager	210 - 2268 No. 5 Road	604-710-7601	6 no concerns, very happy with our operation
18	Ron Wong & Associates Inc.	letter/discuss	Ron Wong	Owner	230 - 2268 No. 5 Road	604-284-5560	3 no concerns
19	Prime TimeFood Services	letter/discuss	Scott Doiron	General Manager	220 - 2268 No. 5 Road	604-244-1191	3 no concerns
20	Southern Sea Music / AMC Glass	letter/discuss	Christopher Mok	Manager	130 - 2288 No. 5 Road	604-318-3060	16 no concerns
21	Fleming Gillis & Recognition Ltd.	letter/discuss	James Mok	President	140 - 2288 No. 5 Road	604-244-0918	3 no concerns
22	1 AUTO	letter/discuss	李路博	Owner	170 - 2288 No. 5 Road	778-889-9358	4 no concerns
23	Edifion Printing Co., Ltd.	letter/discuss	Gary Lau	Manager	190 - 2288 No. 5 Road	604-279-9866	2 no concerns
24	Garden Effects	letter/discuss	Antonio Carnovale	Manager	200 - 2288 No. 5 Road	604-214-6620	2 no concerns
25	Able Sales	letter/discuss	Bruce Shi		220 - 2288 No. 5 Road	604-657-5807	2 no concerns
26	Bento Sushi	letter/discuss	Linda Zhou	Manager	230 - 2288 No. 5 Road	778-895-6990	10 no concerns
27	Opas Display Products Ltd.	letter/discuss	Tony Chau	Owner	250 - 2288 No. 5 Road	604-779-1303	7 no concerns
28	Quality Awning Ltd.	letter/discuss	Paul		160 - 2368 No 5 road	604-273-1055	3 no concerns
29	Morton & Clarke	letter/discuss	Tom Kuitman	Owner	150 - 2251 No 5 road	(604) 279-9220	0 manager not in, no concerns
30	Fitness /Richmond Sports Club	letter/discuss	James Forscut	President	160 - 2251 No 5 road	604-270-8044	0 no concerns
31	Coast to Coast PetCare	letter/discuss	Corry Sandhu	Branch Manager	170 - 2251 No 5 road	604-968-0561	0 no concerns
32	Midway Tire Craft	letter/discuss	Robert Kamphuis	General Manager	2511 No.5 Road	604-273-5487	0 no concerns
33	Metalux Products Ltd.	letter/discuss	Shane Stauffer	Manager	2633 No 5 Rd	(604) 786-0872	0 very good
34	Kal Tire	letter/discuss	Isabel Fong		Unit1-2640 No.5 Road	604-303-7003	0 no concerns
35	National Tile (2005) Ltd	letter/discuss	Mary Campbell	Sales	2660 No.5 Rd	604-273-9506	0 no concerns
36	Jim's Prehung Doors Ltd.	letter/discuss	April Jones	Owner	2691 No 5 Rd	604-278-9158	0 no concerns
37	Richmond Auto Body	letter/discuss	Chris Mavocbo (raj)	Manager/owner	2720 No 5 Rd	604-244-9350	0 no concerns
38	Love Auctioneers & Appraisers Ltd				2751 No 5 Rd	604-278-4611	2 no concerns
39	Wendy's restaurant				NO.5 Rd Need Access Pass	Would Be	145
40	Starbucks Coffee Co	letter/discuss	Amanda Essey	Manager	110-12571 Bridgeport Rd	(604) 279-9328	0 no concerns
41	End of the Roll	letter/discuss	Jason Wynne	Store Manager	12591 Bridgeport Rd	(604) 270-1955	3 manager not in, no concerns
42	Benjamin Moore	letter/discuss	Georgina King	Color, Design, marketing	110 - 12591 Bridgeport Rr	(604) 271-2012	0 manager not in, no concerns
43	Eddie Bauer/ Lane Home Furnishing	letter/discuss	Rasheed/Salima	Manager/Manager	130 - 12553 Bridgeport Rr	604-271-8852	0 customer threw the garbage
44	Scan Designs	letter/discuss	Keld Jensen	General Manager	12551 Bridgeport Rd	604-273-2971	0 no concerns
45	The Foam Shop	letter/discuss	Nancy Stubbert	Store Manager	12571 Bridgeport Rd	(604) 270-6465	0 no concerns
46	Vancouver Lighting	letter/discuss	Joanne Claypack	Store Manager	12595 Bridgeport Rd	(604) 270-4641	6 employee and owner get parking ticket, conflict with parking guy
47	West Coast Kids	letter/discuss	Paige Heuser	Manager	12411 Bridgeport Rd	(604) 288-1168	0 there is no benefit for them, so they might not join right market show on 2011
48	Chevron Canada	letter/discuss	Tam Do	Retailer	12011 Bridgeport Rd	(604) 278-1091	0 good, they will continue support us
49	Tac Mobility	letter/discuss	Marcel Lapointe	Consultant	115 - 12571 Bridgeport Rr	604-278-4909	0 very good, no concerns
50	Boardwalk Woodfloors	letter/discuss	Steve Hutchinson	Manager	140 - 12571 Bridgeport Rr	604-270-7750	0 no concerns
51	Casual Home by Jordans	letter/discuss	Brenda Ewing	Manager	110 - 12553 Bridgeport Rr	604-248-2180	0 no concerns
52	Richmond Tile Centre Ltd	letter/discuss	Rick McGrath	Sales	130 - 12571 Bridgeport Rr	604-273-2227	5 no concerns

Schedule H - ADDENDUM TO FEBRUARY 11, 2012 LOI

53	TJY Home/Barroco Fine Furniture LK	letter	RogerChang/StanleyWor	General Manager	150 - 12551 Bridgeport Rd	604-270-6666	2	manager not in, no concerns, new store
54	Industrial Plastics & Paints	letter/discuss	Susan Meitner	President	150 - 12571 Bridgeport Rd	604-278-4977	4	no concerns
55	Ucool Glass Ltd.	letter/discuss	Megan Wang	Sales	170 - 12571 Bridgeport Rd	778-297-5277	0	no concerns
56	MG Collision Repairs	letter/discuss	Mike Giannelli	CA-VP operations	12051 Bridgeport Rd	604-273-1985	0	no concerns
Bridgeport Rd need Access Pass would be							20	
57	Sears	letter/discuss	Katrina Barnes	Store Manager/ Owner	110-2633 Sweden Way	(604) 279-5532	0	no concerns
58	Ethan Allen	letter/discuss	Normand Joyal	Design Centre Manager	180-2633 Sweden Way	604.821.1191	20	Garbage needs to be cleaned before 9:30am
59	Home Depot	letter/discuss	kevin kappell	store Manager	2700 Sweden Way	(604) 303-9882	0	no concerns
60	McDonald's Restaurant	letter/discuss	Christine Woodward/Bob	Restaurant Manager	2760 Sweden Way	(604) 718-1150	0	employee get parking ticket, employee's ID always be checked by parking gu
61	Staples	letter/discuss	Ted Rivers	General Manager	110-2780 Sweden Way	604-303-7850	30	no concerns
62	Future Shop	letter/discuss	Ricky /Bob	Store Manager/Manager	150-2780 Sweden Way	604-207-0199	0	manager not in, no concerns
Sweden Way need Access Pass would be							50	
63	Daedalus Technologies	letter	Geoff Webb	President	2491 Vauxhall Place	(604) 270-4605	8	They have two company. Another: Sciema Technical Service, Ltd
64	Platinum Pacific restorations	letter	R. Geoffrey Shand	Project Manager	2471 Vauxhall Place	604-279-1101	20	New store
65	Coinmatic Canada Inc	letter/discuss	Connie Goldman	Account Representative	2451 Vauxhall Place	604-270-8441	20	no concerns
66	Pacific Wholesale Appliances	letter	David Harapiak	Manager	2451 Vauxhall Place	(604) 270-2460	6	Manager not in
67	Mar-Con Wire Belt Inc	letter/discuss	Michael Chiu	President	2431 Vauxhall Place	604-278-8922	20	no concerns
68	Advanced Equipment Co.	letter/discuss	Moon Chan	Manager	2411 Vauxhall Place	(604) 276-8989	10	Don't want to give business card to me
69	You Sun Loong Kong Chicken Ltd	letter/discuss	Phoebe Liu	Manager	2391 Vauxhall Place	604-537-2280/778-892-26	12	Don't want to give manager's business card to me, no concerns
70	Zstars Enterprises	letter/discuss	David Zhu	President	2380 Vauxhall Place	(604) 273-4599	4	Don't want vendor parking in the loading area
71	Richmond Custom Bindery Ltd.	letter/discuss	Gay McCoan	President	2360 Vauxhall Place	(604) 278-7626	10	good, no concerns
72	Verka Food Products	drop letter	Garry Matta	Owner	2320-2340 Vauxhall Place	(604) 214-0005	3	phoned on April 6, leave 3 pass at door. 2320 vauxhall belong to them
73	Happy Planet	letter/discuss	Aaron Williams	Manager	2271 Vauxhall Place	(778) 846-4031	5	no concerns
74	Liberty Natural Foods	letter/discuss	Corey McKenelley	Manager	2271 Vauxhall Place	604-248-1006	25	no concerns
75	Cold Star Freight Systems Inc.	letter/discuss	Kelly Hawes	President & CEO	2271 Vauxhall Place	(604) 278-5252	15	very good, no one there
76	Santa Maria Food Office	letter/discuss	Corey McKenelley	Manager	2271 Vauxhall Place		0	belong to Liberty Natural Foods
77	Wainbee Ltd.	letter/discuss	(Mike) M.H Marthold	Vice President, WestMan	2231 Vauxhall Place	604-278-4288ext3221	25	Didn't get the Access pass last year
78	Mava Foods	letter/discuss	Jerry Basa	Production Manager	4-2211 Vauxhall Place	604-273-5455	2	tell me later
79	Octa Stone Inc.	letter/discuss	Harvey Li	Store Manager	2211 Vauxhall Place	(604) 279-0730	20	April 6 phoned, want have 20 Access pass, before deliver call them
80	Dreamcast Design & Productions	letter/discuss	Catherine Traschenko	Manager	2200 Vauxhall Place	(604) 278-4939	3	no concerns
81	A Catered Affair	letter/discuss	Greg Roberts	Owner	2212 Vauxhall Place	(604) 244-1199	8	no concerns
82	D&R Foods Company	letter/discuss	no info		2551 Vauxhall Place	604-273-9344	4	some customer's write her company's name and put it in the car
83	Yes Natural Goods Inc	letter/discuss	Gina Huang/ Grace	Secretary	2216 Vauxhall Place	604-279-1772	20	no concerns
84	Precise Cabinet Company Ltd.	letter/discuss	Sam Lam	Manager	2218 Vauxhall Place	604-232-5223	20	no concerns, want have 20 Access Pass for next year
85	The News Group	letter/discuss	Robert Strong	General Manager	2500 Vauxhall Place	604-278-4841	40	Manager is busy, no concerns
86	MR. Fire	letter/discuss	Tyler Martin	President	2531 Vauxhall Place	(604) 207-8885	8	no concerns
87	CEA Holdings	letter/discuss			2551 Vauxhall Place	604-276-0849	0	April 6 left voice message
88	Jackson Cabinets/Duke Architectural	letter/discuss	Nick Jackson	Owner	2551 Vauxhall Place		8	no concerns, better than last year
89	ABC Express Services Ltd.	letter/discuss	Andy Pinter	Manager	2531 Vauxhall Place	604-270-3420	5	pass info
90	Strata G. Floor & Design Inc.	letter/discuss	Greg Finlay	Manager	3 - 2551 Vauxhall Place	604-276-2530	6	April 6 phoned, they need to call them before deliver the access pass
Vauxhall Place need Access Pass would be							327	
91	Teldon Media Group + Alive	letter/discuss	Archana Singh	Administration Manager	100 - 12751 Vulcan Way	604-231-3412	50	no concerns
92	Garden Protein	letter/discuss	Luiza Wokan	Administration	200 - 12751 Vulcan Way	604-278-7300	3	no concerns
93	Home Delight Furnishings	letter/discuss	no info		165 - 12753 Vulcan Way	604-270-4822	15	Manager not in
94	PHELPS smart laundry	letter/discuss	Norman L'abbee	Service Manager	185-12753 Vulcan Way	604-813-7801	12	no concerns
95	Sun Opta/ Unfi Driven by nature	letter/discuss	Don O'Carroll	Director of Operations	153 - 12757 Vulcan Way	604.276.2441	75	no concerns
96	Wedgwood Furniture Inc.	letter/discuss	S.J. Lai	Manager	158-168 - 12759 Vulcan V	604-821-1250	4	no concerns
97	Centennial Foodservice	letter	Garth McCann	Branch Manager	108 - 12759 Vulcan Way	604-273-5261ext108	60	no concerns
98	Rich Fort Enterprises Ltd	letter	no info		148 - 12759 Vulcan Way		20	no concerns
99	B.K Sethi marketing ltd	letter	colin smith		138 - 12759 Vulcan Way	604-783-6957	4	no one here, door locked
100	Krinos	letter/discuss	Robert McGowan	Manager	198 - 12759 Vulcan Way	604-247-0011	8	no concerns
101	Island City Baking	letter/discuss	Jasmine Murray	Office Manager	12761 Vulcan Way	(604) 278-6979	165	Send e-mail to us before, no feedback. Effect stall parking, car's tire was flat.
102	Uno Foods	letter/discuss	Kendrick Ong	Manager	103-12757 Vulcan Way	(604) 214-0360	6	no concerns
103	B. N. Dulay's Trux	letter/discuss	Bill Dulay	President	220 - 12611 Vulcan Way	604-273-5333	0	Belong to Teldon Media Group + Alive
104	Emperor Specialty Foods Ltd	letter/discuss	Bob McDonald	President	150 - 12511 Vulcan Way	(604) 276-0035	7	no concerns

Schedule H - ADDENDUM TO FEBRUARY 11, 2012 LOI

105 Emerwood Home Products	letter/discuss	Kevin Lin	120 - 12511 Vulcan Way	604-273-2632	4	Manager not in
106 Canadyre Technologies Inc	letter/discuss	Leo Rimanic	12400 Vulcan Way	(604) 247-2297	0	no concerns
107 No. 1 Collision	letter/discuss	Scott Walker	12420 Vulcan Way	604-231-9614	0	Manager busy
108 Spectrum Stone Ltd	letter/discuss	Felix Mok	120-12440 Vulcan Way	(604) 278-7764	0	no concerns
109 RJ Motor-tech Auto Services	letter/discuss	Johnny De La Torre	140-12440 Vulcan Way	(604) 273-5858	0	no concerns
110 Tristar Collision	letter/discuss	Joe Chan	160-12440 Vulcan Way	(604) 821-1133	0	no concerns
111 Stolberg Engineering	letter/discuss	John Ingram	201 - 12611 Vulcan Way	(604) 273-1915	5	concerned about garbage at night
112 Studio 200 Entertainment Inc	letter/discuss	simone Iseung	100 - 12611 Vulcan Way	(604) 270-8688	0	they want Access Pass
113 Belo's Seafood Direct Ltd	letter	lindsay westerby	100 - 12611 Vulcan Way	(604) 278-5154	0	door locked, can't get in
114 Prosperaoffice	letter	Bob maymie	12211 Vulcan Way	604-278-0140	3	Manager not in, no concerns
115 Garden Stone	letter	Bob maymie	12191 Vulcan Way	(604) 278-9557	5	Manager busy, no concerns
116 DMK Stone	letter/discuss	Kenny Kuo/David Lee	12151 Vulcan Way	604-273-1172/276 8393	0	Manager not in, no concerns
117 S&T Stereo Printers/Vulcan Pacific	letter	Ran An	12151 Vulcan Way	604-276-8393	0	No one here
118 TD Travel Direct Inc	letter/discuss	no info	12131 Vulcan Way	604-273-8608	0	no concerns
119 R. Wales and Son	letter/discuss	Jim Bregani	12020 Vulcan Way	604-273-7940	0	pass into to manager
120 Custom Ornamental Iron Works	letter	Manfred Henschel	12100 Vulcan Way	(604) 278-8033	0	no concerns
121 H&M Kitchen	letter/discuss	Wilson Zhao	12120 Vulcan Way	(604) 273-4311	0	no concerns
122 Espressoec	letter	Don Fabubert	12140 Vulcan Way	(604) 278-8684	0	Garbage Concern
123 Coneltec Investigations Ltd.	letter/discuss	James Sharp, P.eng.	12240 Vulcan Way	(604) 276-8481	0	no concerns
124 Seagate Fisheries Ltd.	letter/discuss	Alice Tse	12260 Vulcan Way	(604) 244-0092	0	no concerns
125 Arctic Stone	letter/discuss	Kenny Lam	12060 Vulcan Way	(604) 244-7626	0	Manager not in
126 Automind Collision	letter/discuss	Dave Diep	Unit1 13331 Vulcan Way	(604) 207-1126	75	He is unhappy and don't want have access pass
127 P.N.J Metals Inc.	letter/discuss	no name showed on card	Unit18 13331 Vulcan Way	(604)603-9790	4	no concerns
128 Green Light/Climic Tile/ Brothers Pop	letter/discuss	Tina Chun	Unit10 13331 Vulcan Way	(604)231-1433	3	no concerns
129 BEPC Apparel Ltd	letter/discuss	Dennis K.Y. NG	Western Regional Manuf	1-888-850-8838	3	no concerns
130 Windownworks	letter/discuss	Terry Jorgensen	Vice President	604-233-2932	15	no concerns
131 PEZZA Distribution Inc	letter/discuss	Jeff Duley	Vulcan Way need Access Pass would be		546	
132 PEZZA Fish Co., Ltd	letter/discuss	ted kim				
Total Access Pass would be						1086
1 New Horizons Scientific	letter/discuss	Gordon Burrowes	2351 Vauxhall Place	(604) 821-1455		MOVED
2 Westrade Distributors	letter/discuss	David Boram	2351 Vauxhall Place	604-270-8737		MOVED
3 Health Lane Nutrition Inc	letter/discuss	Roy Fan	200 - 2268 No. 5 Road	604-271-1398		no one there
4 Mediasonic Enterprises Inc.	letter/discuss		140 - 2268 No. 5 Road			no concerns
5 Lovia Leung Dancers	letter					no one is here



Public Hearing Notification Area

Original Date: 03/07/12

Revision Date:

Note: Dimensions are in METRES

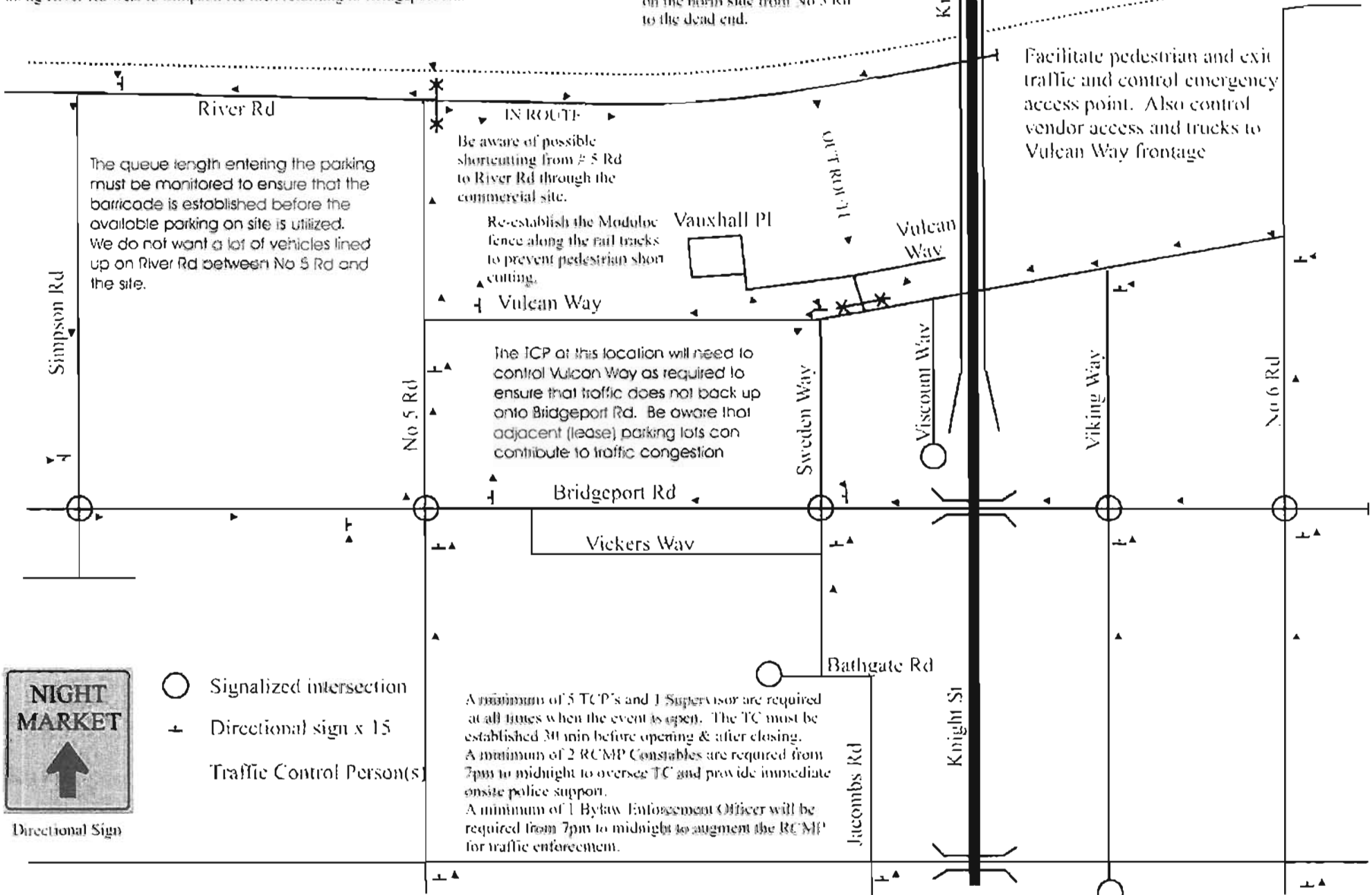
PLN - 155

Schedule D

Confirm signage is in place:
 NSAT south side and NS.
 6pm-12am Midnight.
 Fri, Sat, Sun and Stat Holidays
 on the north side from No 5 Rd
 to the dead end.

No traffic permitted past the
 entrance to the night market
 entrance.

Once the parking lot on site is full the traffic will be re-routed
 along River Rd west to Simpson Rd then returning to Bridgeport Rd.



The queue length entering the parking must be monitored to ensure that the barricade is established before the available parking on site is utilized. We do not want a lot of vehicles lined up on River Rd between No 5 Rd and the site.

IN ROUTE
 Be aware of possible shortcutting from # 5 Rd to River Rd through the commercial site.

Re-establish the Modulo fence along the rail tracks to prevent pedestrian short cutting.

The ICP at this location will need to control Vulcan Way as required to ensure that traffic does not back up onto Bridgeport Rd. Be aware that adjacent (lease) parking lots can contribute to traffic congestion

Facilitate pedestrian and exit traffic and control emergency access point. Also control vendor access and trucks to Vulcan Way frontage

A minimum of 5 TCP's and 1 Supervisor are required at all times when the event is open. The TC must be established 30 min before opening & after closing. A minimum of 2 RCMP Constables are required from 7pm to midnight to oversee TC and provide immediate onsite police support. A minimum of 1 Bylaw Enforcement Officer will be required from 7pm to midnight to augment the RCMP for traffic enforcement.



Directional Sign

- Signalized intersection
- + Directional sign x 15
- Traffic Control Person(s)



No. TU 12-600784

To the Holder: PAUL CHEUNG (LIONS COMMUNICATIONS INC.)
KO MING CHONG
3547 HOLDINGS LTD., INC. NO. 49426

Property Address: 12631 Vulcan Way

Address: Lions Communications Inc.
C/O Paul Cheung
120 – 3851 Shell Road, Building D
Richmond, B.C. V6X 2W2

1. This Temporary Commercial Use Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Temporary Commercial Use Permit is issued subject to compliance with all the items outlined on the attached Schedule "A" to this permit.
3. Should the Holder fail to adhere and comply with all the terms and conditions outlined in Schedule "A", the Temporary Commercial Use Permit Shall be void and no longer considered valid for the subject site.
4. This Temporary Commercial Use Permit applies to and only to those lands shown cross-hatched on the attached Schedule "B" to this permit.
5. The subject property may be used for the following temporary commercial uses:

A night market event on the following dates:

- May 11, 2012 to September 16, 2012 inclusive (as outlined in the attached Schedule "C" to this permit).
- May 10, 2013 to September 8, 2013 inclusive (as outlined in the attached Schedule "C" to this permit).
- May 9, 2014 to September 14, 2014 inclusive (as outlined in the attached Schedule "C" to this permit).

The night market event dates and hours of operation shall be in accordance with the attached Schedule "C" to this permit.

The night market event shall be in accordance with the site plan as outlined in Schedule "D" to this permit.

To the Holder: PAUL CHEUNG (LIONS COMMUNICATIONS INC.)
KO MING CHONG
3547 HOLDINGS LTD., INC. NO. 49426

Property Address: 12631 Vulcan Way

Address: Lions Communications Inc.
C/O Paul Cheung
120 – 3851 Shell Road, Building D
Richmond, B.C. V6X 2W2

6. Any temporary buildings, structures and signs shall be demolished or removed and the site and adjacent roads shall be maintained and restored to a condition satisfactory to the City of Richmond, upon the expiration of this permit or cessation of the use, whichever is sooner.
7. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the temporary commercial use permitted by this permit within the time set out herein and comply with all the undertakings given in Schedule "A" attached hereto, the security shall be returned to the Holder.
 - A cash security (or acceptable letter of credit) in the amount of \$127,000 must be submitted prior to April 16, 2012 for the purposes of operating an evening market event during the specified dates set out in Schedule "C" in 2012.
 - A cash security (or acceptable letter of credit) in the amount of \$128,000 must be submitted prior to April 12, 2013 for the purposes of operating an evening market event during the specified dates set out in Schedule "C" in 2013.
 - A cash security (or acceptable letter of credit) in the amount of \$130,000 must be submitted prior to April 11, 2014 for the purposes of operating an evening market event during the specified dates set out in Schedule "C" in 2014.
8. Should the Holder fail to provide the cash security by the dates specified in this permit, the Temporary Commercial Use Permit shall be void and no longer considered valid for the subject site.
9. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

To the Holder: PAUL CHEUNG (LIONS COMMUNICATIONS INC.)
KO MING CHONG
3547 HOLDINGS LTD., INC. NO. 49426

Property Address: 12631 Vulcan Way

Address: Lions Communications Inc.
C/O Paul Cheung
120 – 3851 Shell Road, Building D
Richmond, B.C. V6X 2W2

10. Monies outstanding and owed by the Holder to the City of Richmond for costs associated with the evening market event must be paid in full by the following dates:

- All monies outstanding from the 2012 event must be paid in full prior to April 12, 2013.
- All monies outstanding from the 2013 event must be paid in full prior to April 11, 2014.
- All monies outstanding from the 2014 event must be paid in full within 30 days of the date of the City of Richmond’s final invoice for costs for the 2014 event.

Should the Holder fail to provide any outstanding monies by the date specified in this permit, the Temporary Commercial Use Permit shall be void and no longer considered valid for the subject site.

11. This Temporary Commercial Use Permit is valid for the dates specified in Schedule “C” for 2012, 2013 and 2014 only.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____ ISSUED BY THE COUNCIL THE
DAY OF _____

DELIVERED THIS _____ DAY OF _____

MAYOR

CORPORATE OFFICER

Schedule "A"

In consideration of the City of Richmond issuing a Temporary Commercial Use Permit (TCUP) for the purposes of operating an evening market event for 2012, 2013 and 2014 on the subject site, the event organizer (Lions Communications Inc. c/o Paul Cheung) acknowledges and agrees to the following terms and conditions:

Traffic Management Plan (TMP)

- Traffic control and operations during the event is to be in accordance with the TMP approved by the City's Transportation Division.
- Operation of the TMP is to be undertaken by a professional Traffic Control Company with the appropriate trained and certified staff. Costs associated with operations and running of the TMP is the responsibility of the event organizer.
- The TMP is to be monitored by the City's Transportation Division in consultation with on-site RCMP and Community Bylaws staff and is subject to revision and changes (i.e., alteration of the plan; additional Traffic Control staff) should the need arise.
- Posting of signage and erection of barricades and road markings will be undertaken based on the TMP and is to be at the cost of the event organizer.

Off-Street Parking

- 1,000 total off-street parking stalls required for the evening market event.
- A minimum of 250 off-street parking stalls (of the 1,000 total stalls required) are required to be allocated for vendor and event employee staff parking.

City of Richmond and RCMP Staffing

- A minimum of 2 RCMP members must be in attendance for each night the event is being held during the hours of operation for the purposes of providing a police presence and overseeing the TMP and general event operations (Note: Implementation and operation of the TMP is required to be undertaken by a professional traffic control company with appropriate trained and certified staff).
- Six (6) hours of dedicated patrol by Community Bylaw Enforcement Officers is required for each day the event is in operation with scheduling of staff hours at the sole discretion of Community Bylaws.
- Periodic attendance by Transportation Division and City staff to monitor and oversee the operations of the event and TMP.
- All costs for RCMP members and City staffing at the applicable rates is the responsibility of the event organizers.

Required Permits/Licenses from the City of Richmond and Stakeholders

- Building Permits and on-site servicing permits.
- Business Licenses for all commercial/food vendors to operate at the night market event (including the event operator).
- Vancouver Coastal Health (VCH) permits and licenses for the overall food court area and all food and beverage vendors to operate at the night market event, including inspection approval by VCH staff.

Richmond Fire Rescue (RFR) Requirements

- Implementation of the emergency response route/drive-aisle through the subject site for emergency service vehicle access to the event market area and overall site. This response route is required to remain clear and unimpeded at all times.
- Submission and approval of a Fire Safety Plan by Richmond Fire Rescue for the evening market event.

Evening Market Site Plan

- Implementation of the event in accordance to the night market site plan as shown in the TCUP report and attached as **Schedule "D"** to the TCUP, including:
 - Parking stalls, drive-aisles, emergency access routes are to be implemented as noted on the site plan.
 - Fencing is required to be installed and maintained as noted on the site plan.
 - No evening market event activities are permitted to occur within the existing warehouse building and that the appropriate fencing be installed to restrict access.

Evening Market Operations

- The event organizer is required to provide dedicated event security, parking lot patrollers, event liaison staff and certified first aid staff.
- The event organizer is responsible for providing adequate means of communication amongst event staffing, security, first aid, traffic control personnel, RCMP members and Community Bylaw Officers.
- Clean up and litter removal before, during and after the evening market event each night of operation. Clean-up and litter removal is to be conducted by the event organizer's staff and is to include the subject property as well as surrounding areas impacted by the evening market event.

Evening Market Event Cancellation Procedure

- In the event of an evening market event closure on any identified operational day, event organizers are responsible for notifying appropriate City staff and RCMP members a minimum of 24 hours prior to the start of the event. Should event cancellation notification be within the 24 hour time period, staffing costs will be incurred based on minimum call out times.
- The event organizer is responsible for notifying all vendors of any event cancellation.

Security Bond Requirements

- The event organizer is required to submit an operational security bond to the City in accordance with the terms and conditions identified in the TCUP.
- The operation security bond is required to cover City costs and expenses as a result of the night market event.
- The event organizer is required to pay for additional City costs, in the event that costs exceed the amount submitted in the operational security bond.

General Provisions

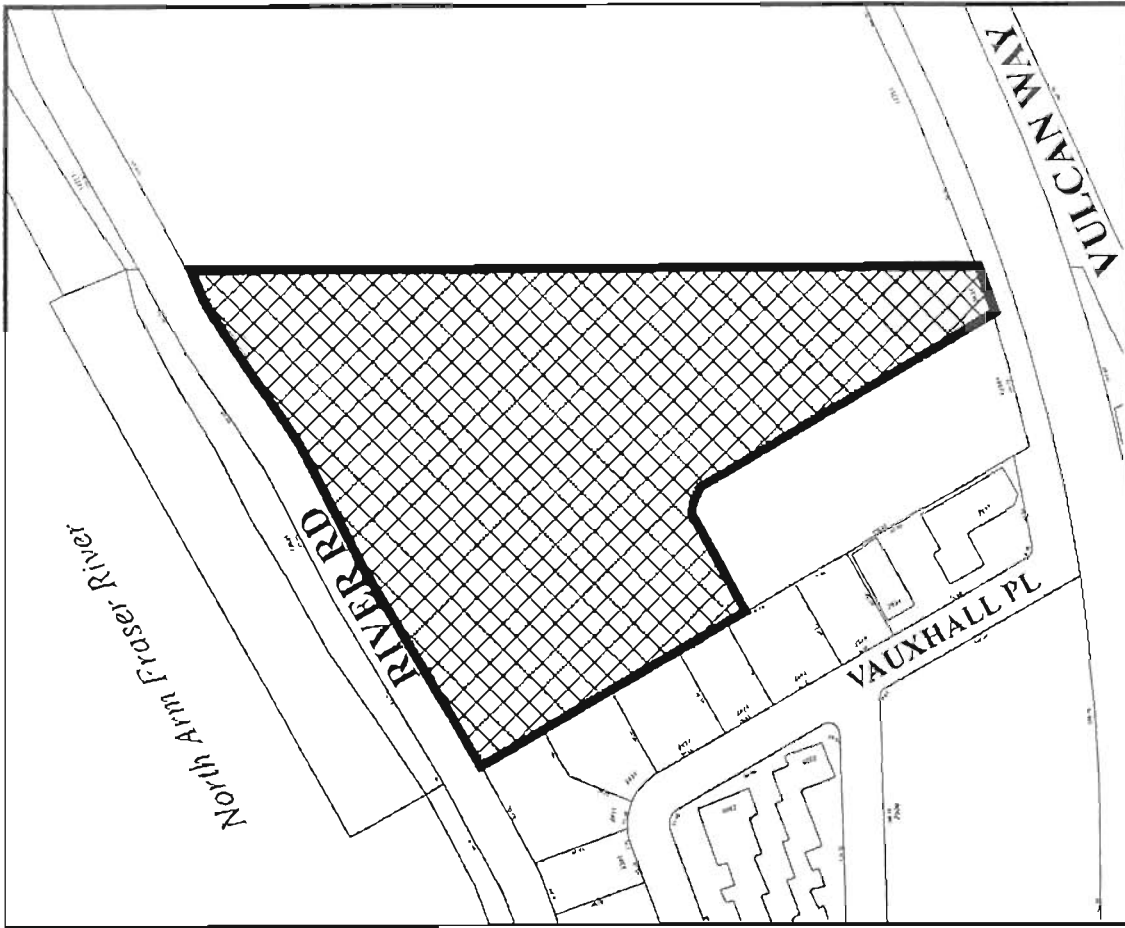
- At the conclusion of each event operation day, any road modifications (temporary signage, barriers, cones) associated with the TMP must be removed and original road conditions restored to the satisfaction of the Transportation Division staff.
- Upon expiration of this permit or cessation of the permitted use, whichever is sooner, the following shall be completed:
 - The property described in **Schedule “B”** shall be restored to its original condition.
 - Adjacent roads shall be maintained and restored to a condition satisfactory to the City of Richmond.

Undertaking

- In consideration of the City of Richmond issuing the Temporary Commercial Use Permit, we the undersigned hereby agree to demolish or remove any temporary buildings, structures and signs; to restore the land described in **Schedule “B”**; and to maintain and restore adjacent roads, to a condition satisfactory to the City of Richmond upon the expiration of this Permit or cessation of the permitted use, whichever is sooner.

Lions Communications Inc.
by its authorized signatory

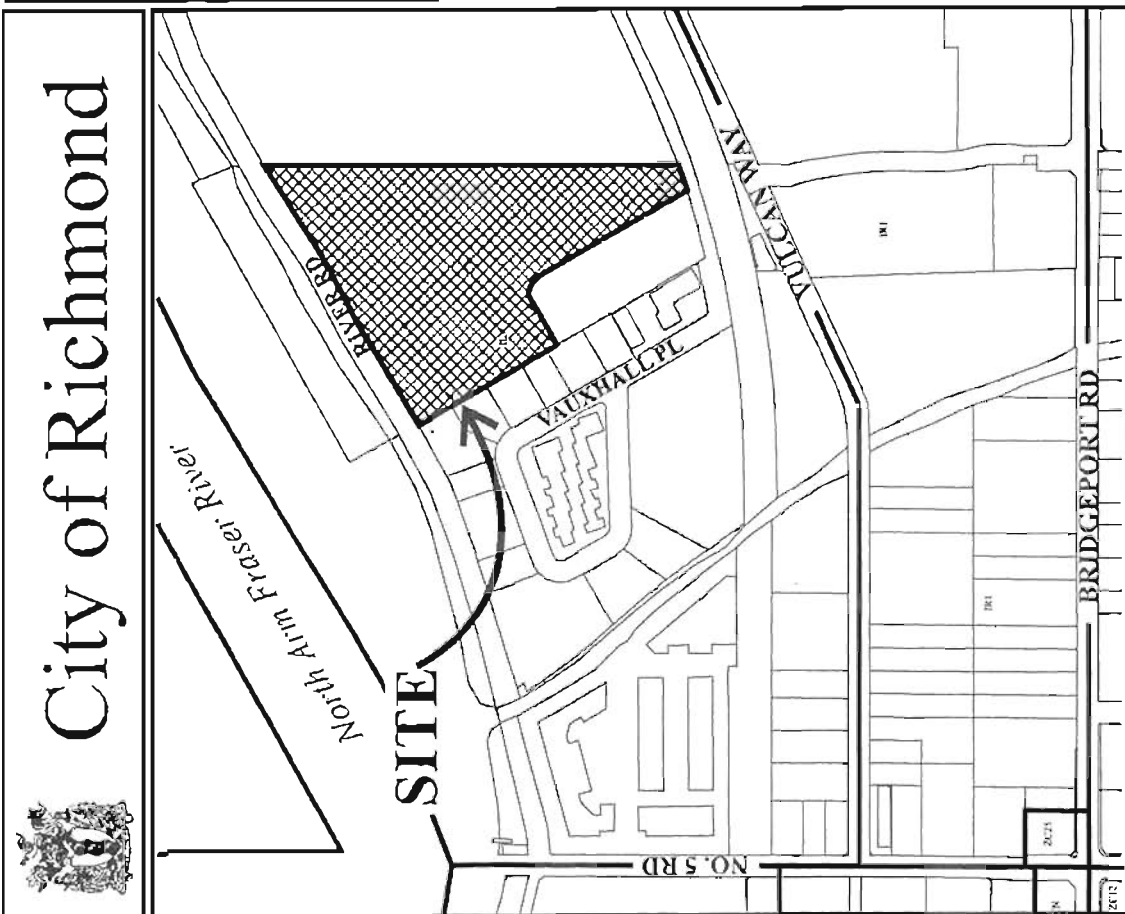
Paul Cheung
Lions Communications Inc.



Original Date: 03/05/12

Revision Date:

Note: Dimensions are in METRES



TU 12-600784



City of Richmond



Schedule "C"

Evening Market Event Schedule of Dates for 2012 – 12631 Vulcan Way

Month	Day	Event Hours		Month	Day	Event Hours
May (10 Days)	11	7pm-12am		June (14 Days)	1	7pm-12am
	12	7pm-12am			2	7pm-12am
	13	7pm-11pm			3	7pm-11pm
	18	7pm-12am			8	7pm-12am
	19	7pm-12am			9	7pm-12am
	20	7pm-12am			10	7pm-11pm
	21	7pm-11pm			15	7pm-12am
	25	7pm-12am			16	7pm-12am
	26	7pm-12am			17	7pm-11pm
	27	7pm-11pm			22	7pm-12am
			23		7pm-12am	
			24		7pm-11pm	
			29		7pm-12am	
			30		7pm-12am	
July (13 Days)	1	7pm-11pm		August (14 Days)	3	7pm-12am
	6	7pm-12am			4	7pm-12am
	7	7pm-12am			5	7pm-12am
	8	7pm-11pm			6	7pm-11pm
	13	7pm-12am			10	7pm-12am
	14	7pm-12am			11	7pm-12am
	15	7pm-11pm			12	7pm-11pm
	20	7pm-12am			17	7pm-12am
	21	7pm-12am			18	7pm-12am
	22	7pm-11pm			19	7pm-11pm
	27	7pm-12am			24	7pm-12am
	28	7pm-12am			25	7pm-12am
	29	7pm-11pm			26	7pm-11pm
			31		7pm-12am	
September (9 days)	1	7pm-12am				
	2	7pm-12am				
	3	7pm-11pm				
	7	7pm-12am				
	8	7pm-12am				
	9	7pm-11pm				
	14	7pm-12am				
	15	7pm-12am				
	16	7pm-11pm				
Total Number of Event Operation Days - 60						

Evening Market Event Schedule of Dates for 2013 – 12631 Vulcan Way

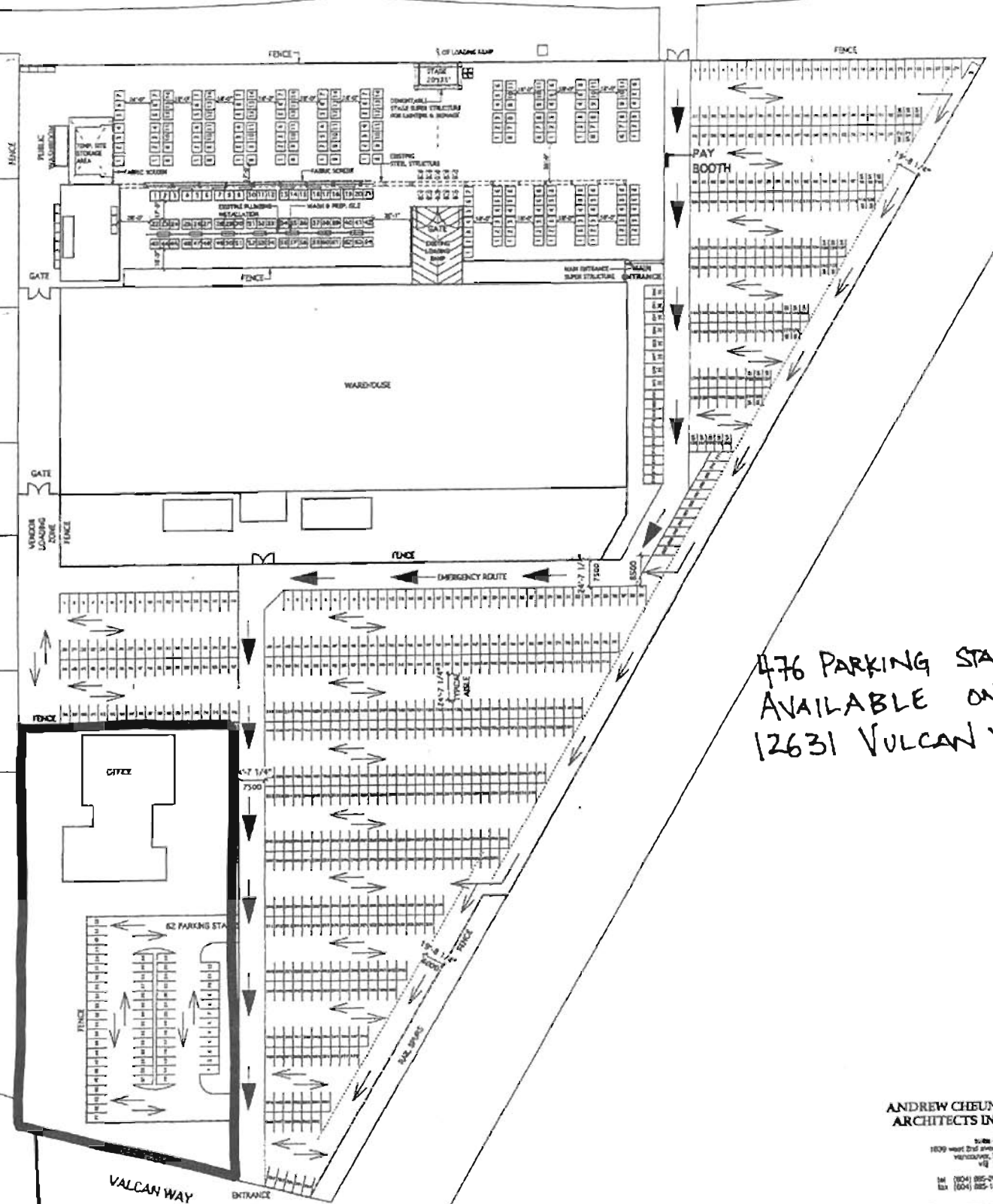
Month	Day	Event Hours	Month	Day	Event Hours
May (11 Days)	10	7pm-12am	June (14 Days)	1	7pm-12am
	11	7pm-12am		2	7pm-11pm
	12	7pm-11pm		7	7pm-12am
	17	7pm-12am		8	7pm-12am
	18	7pm-12am		9	7pm-11pm
	19	7pm-12am		14	7pm-12am
	20	7pm-11pm		15	7pm-12am
	24	7pm-12am		16	7pm-11pm
	25	7pm-12am		21	7pm-12am
	26	7pm-11pm		22	7pm-12am
	31	7pm-12am		23	7pm-11pm
		28		7pm-12am	
		29		7pm-12am	
		30		7pm-12am	
July (13 Days)	1	7pm-11pm	August (15 Days)	2	7pm-12am
	5	7pm-12am		3	7pm-12am
	6	7pm-12am		4	7pm-12am
	7	7pm-11pm		5	7pm-11pm
	12	7pm-12am		9	7pm-12am
	13	7pm-12am		10	7pm-12am
	14	7pm-11pm		11	7pm-11pm
	19	7pm-12am		16	7pm-12am
	20	7pm-12am		17	7pm-12am
	21	7pm-11pm		18	7pm-11pm
	26	7pm-12am		23	7pm-12am
	27	7pm-12am		24	7pm-12am
	28	7pm-11pm		25	7pm-11pm
		30		7pm-12am	
		31		7pm-12am	
September (5 days)	1	7pm-12am			
	2	7pm-11pm			
	6	7pm-12am			
	7	7pm-12am			
	8	7pm-11pm			
Total Number of Event Operation Days - 58					

Evening Market Event Schedule of Dates for 2014 – 12631 Vulcan Way

Month	Day	Event Hours	Month	Day	Event Hours
May (12 Days)	9	7pm-12am	June (13 Days)	1	7pm-11pm
	10	7pm-12am		6	7pm-12am
	11	7pm-11pm		7	7pm-12am
	16	7pm-12am		8	7pm-11pm
	17	7pm-12am		13	7pm-12am
	18	7pm-12am		14	7pm-12am
	19	7pm-11pm		15	7pm-11pm
	23	7pm-12am		20	7pm-12am
	24	7pm-12am		21	7pm-12am
	25	7pm-11pm		22	7pm-11pm
	30	7pm-12am		27	7pm-12am
	31	7pm-12am		28	7pm-12am
				29	7pm-11pm
July (12 Days)	4	7pm-12am	August (16 Days)	1	7pm-12am
	5	7pm-12am		2	7pm-12am
	6	7pm-11pm		3	7pm-12am
	11	7pm-12am		4	7pm-11pm
	12	7pm-12am		8	7pm-12am
	13	7pm-11pm		9	7pm-12am
	18	7pm-12am		10	7pm-11pm
	19	7pm-12am		15	7pm-12am
	20	7pm-11pm		16	7pm-12am
	25	7pm-12am		17	7pm-11pm
	26	7pm-12am		22	7pm-12am
	27	7pm-11pm		23	7pm-12am
		24		7pm-11pm	
		29		7pm-12am	
		30		7pm-12am	
		31		7pm-12am	
September (7 days)	1	7pm-11pm			
	5	7pm-12am			
	6	7pm-12am			
	7	7pm-11pm			
	12	7pm-12am			
	13	7pm-12am			
	14	7pm-11pm			
Total Number of Event Operation Days - 60					

SCHEDULE D

RIVER ROAD



476 PARKING STALLS
AVAILABLE ON
12631 VULCAN WAY

12591 VULCAN WAY

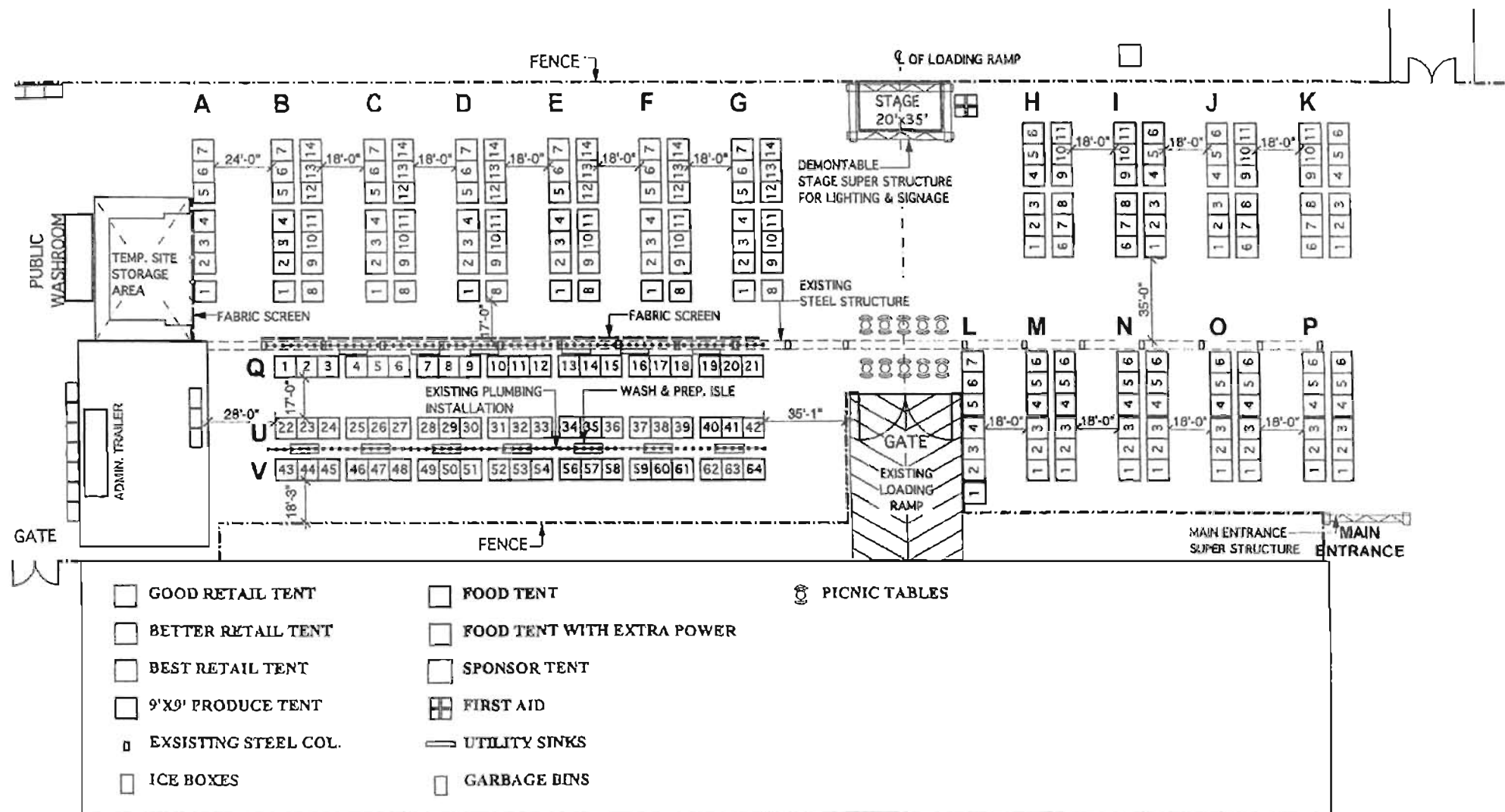
ANDREW CHEUNG
ARCHITECTS INC.

Scale 1/10
1800 West 2nd Avenue
Richmond, B.C.
V6B 1N3

tel (604) 285-2088
fax (604) 285-1882

PROJECT	
SUMMER NIGHT MARKET, RICHMOND, B.C.	
DATE	
PARKING PLAN	
Project Number	Site Name
Drawn By	Project No.
Checked By	Date
Approved By	K.T.S.
Client Name	Client Address

PLN - 167



SUMMER NIGHT MARKET RICHMOND B.C. 2012 BOOTH LAYOUT