

### **Planning Committee**

Anderson Room, City Hall 6911 No. 3 Road Tuesday, February 20, 2018 4:00 p.m.

Pg. # **ITEM MINUTES** PLN-4 Motion to adopt the minutes of the meeting of the Planning Committee held on February 6, 2018. NEXT COMMITTEE MEETING DATE March 6, 2018, (tentative date) at 4:00 p.m. in the Anderson Room COMMUNITY SERVICES DIVISION RICHMOND INTERCULTURAL ADVISORY COMMITTEE 2017 1. ANNUAL REPORT AND 2018 WORK PROGRAM (File Ref. No. 07-3300-01) (REDMS No. 5729723) **PLN-11** See Page **PLN-11** for full report Designated Speaker: Donna Lee STAFF RECOMMENDATION That the staff report titled "Richmond Intercultural Advisory Committee 2017 Annual Report and 2018 Work Program," dated January 31, 2018, from the Manager of Community Social Development, be approved.

Pg. # ITEM

### PLANNING AND DEVELOPMENT DIVISION

2. APPLICATION BY OPENROAD AUTO GROUP LTD. FOR A TEMPORARY COMMERCIAL USE PERMIT AT 5400 MINORU BOULEVARD

(File Ref. No. TU 18-798524) (REDMS No. 5748942)

### **PLN-24**

### See Page PLN-24 for full report

Designated Speakers: Wayne Craig and Jordan Rockerbie

### STAFF RECOMMENDATION

That the application by Openroad Auto Group Ltd. for a Temporary Commercial Use Permit for property at 5400 Minoru Boulevard be considered at the Public Hearing to be held March 19, 2018 at 7:00 p.m. in the Council Chambers of Richmond City Hall, and that the following recommendation be forwarded to that meeting for consideration:

- (1) "That a Temporary Commercial Use Permit be issued to Openroad Auto Group Ltd. for the property at 5400 Minoru Boulevard to allow Vehicle Sale/Rental as a permitted use for a period of three years."
- 3. ESTABLISHMENT OF UNDERLYING ZONING FOR PROPERTIES DEVELOPED UNDER LAND USE CONTRACTS 001, 025, 051, 073, 096, 104, 115, 119, 131, 138, AND 158 IN THE SOUTH PORTION OF THE CITY CENTRE

(File Ref. No. 08-4431-03-11) (REDMS No. 5662357; 5719047; 5741909; 5722562; 5733786; 5720063; 5719878; 5736093; 5736683; 5719911; 5737875; 5719891)

### **PLN-39**

### See Page **PLN-39** for full report

Designated Speakers: Wayne Craig and Cynthia Lussier

### STAFF RECOMMENDATION

- (1) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9799, to establish underlying zoning for the properties developed under Land Use Contract 001, be introduced and given first reading;
- (2) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9801, to establish underlying zoning for the properties developed under Land Use Contract 025, be introduced and given first reading;
- (3) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9802, to establish underlying zoning for the properties developed under Land Use Contract 051, be introduced and given first reading;

Pg. # ITEM

- (4) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9804, to establish underlying zoning for the properties developed under Land Use Contract 073, be introduced and given first reading;
- (5) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9805, to establish underlying zoning for the properties developed under Land Use Contract 096, be introduced and given first reading;
- (6) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9806, to establish underlying zoning for the properties developed under Land Use Contract 104, be introduced and given first reading;
- (7) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9807, to establish underlying zoning for the properties developed under Land Use Contract 115, be introduced and given first reading;
- (8) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9808, to establish underlying zoning for the properties developed under Land Use Contract 119, be introduced and given first reading;
- (9) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9809, to establish underlying zoning for the properties developed under Land Use Contract 131, be introduced and given first reading;
- (10) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9810, to establish underlying zoning for the properties developed under Land Use Contract 138, be introduced and given first reading; and
- (11) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9811, to establish underlying zoning for the properties developed under Land Use Contract 158, be introduced and given first reading.



### **Planning Committee**

Date:

Tuesday, February 6, 2018

Place:

Anderson Room

Richmond City Hall

Present:

Councillor Linda McPhail, Chair

Councillor Chak Au Councillor Alexa Loo Councillor Harold Steves

Absent:

Councillor Bill McNulty

Also Present:

Councillor Carol Day (entered at 4:03 p.m.)

Call to Order:

The Chair called the meeting to order at 4:00 p.m.

### **MINUTES**

It was moved and seconded

That the minutes of the meeting of the Planning Committee held on January 23, 2018, be adopted as circulated.

CARRIED

### NEXT COMMITTEE MEETING DATE

February 20, 2018, (tentative date) at 4:00 p.m. in the Anderson Room

### COMMUNITY SERVICES DIVISION

# 1. RICHMOND SENIORS ADVISORY COMMITTEE 2017 ANNUAL REPORT AND 2018 WORK PROGRAM

(File Ref. No. 07-3400-01) (REDMS No. 5679464)

Committee commended the Richmond Seniors Advisory Committee for their work in the community.

It was moved and seconded

That the staff report titled "Richmond Seniors Advisory Committee 2017 Annual Report and 2018 Work Program," dated January 17, 2018, from the Manager, Community Social Development, be approved.

**CARRIED** 

 NAMING OF CHILD CARE FACILITY – 10380 NO. 2 ROAD (File Ref. No. 07-3070-20-012) (REDMS No. 5687830 v. 5)

Staff noted that program registration information will be posted on YMCA's website.

It was moved and seconded

That the City's child care facility being constructed at 10380 No. 2 Road (Kingsley Estates) be named Seasong Child Care Centre.

CARRIED

### PLANNING AND DEVELOPMENT DIVISION

3. APPLICATION BY STEVESTON BUDDHIST TEMPLE AT 4360 GARRY STREET TO: AMEND THE 2041 OFFICIAL COMMUNITY PLAN LAND USE MAP (SCHEDULE 1) TO DESIGNATE THE REAR PORTION OF THE SITE TO APARTMENT RESIDENTIAL; AMEND THE STEVESTON AREA PLAN LAND USE MAP (SCHEDULE 2.4) TO DESIGNATE THE REAR PORTION OF THE SITE TO MULTIPLE FAMILY; AND REZONE THE SUBJECT SITE FROM THE "ASSEMBLY (ASY)" ZONE TO THE "ASSEMBLY AND CONGREGATE HOUSING – GARRY STREET (STEVESTON) (ZR12)" ZONE

(File Ref. No. 12-8060-20-009813/9814; RZ 16-737146) (REDMS No. 5734838; 5733489; 5733491)

Cllr. Day entered the meeting (4:03 p.m.).

Kevin Eng, Planner 2, reviewed the application, noting that (i) the proposed development will retain the existing temple building and add 107 congregate housing units for seniors, (ii) the proposed height and massing of the congregate housing facility was reduced for portions adjacent to the townhouse complex to the east, (iii) Transportation staff have advised that the existing road network can accommodate the proposed development, (iv) a Development Permit application will be required, and (v) there are no proposed child care facilities for the site.

Jack Clerkson, representing the applicant, spoke on the application, noting that rental of the units will be open to the public and that as a result of public feedback, the proposed building height and massing will be reduced without a reduction in the number of proposed units. He added that the existing on-site gymnasium will be demolished and a new activity space for the temple will be available in the proposed facility.

Cllr. Day left the meeting (4:09 p.m.).

It was moved and seconded

- (1) That Official Community Plan (OCP) Bylaw 9000 and Bylaw 7100, Amendment Bylaw 9813, to designate approximately the south half of 4360 Garry Street from "Community Institutional" to "Apartment Residential" in the 2041 OCP Land Use Map to Schedule 1 of the OCP and from "Institutional" to "Multiple-Family" in the Steveston Area Plan Land Use Map to Schedule 2.4 (Steveston Area Plan) of the OCP, be introduced and given first reading;
- (2) That Bylaw 9813, having been considered in conjunction with:
  - (a) The City's Financial Plan and Capital Program; and
  - (b) The Greater Vancouver Regional District Solid Waste and Liquid Management Plans;
  - is hereby found to be consistent with said programs and plans, in accordance with Section 477(3)(a) of the Local Government Act;
- (3) That Bylaw 9813, having been considered with accordance with OCP Bylaw Preparation Consultation Policy 5043, is hereby found not to require further consultation; and
- (4) That Richmond Zoning Bylaw 8500, Amendment Bylaw 9814, to create the "Assembly and Congregate Housing Garry Street (Steveston) (ZR12)" zone and to rezone 4360 Garry Street from "Assembly (ASY)" to "Assembly and Congregate Housing Garry Street (Steveston) (ZR12)", be introduced and given first reading.

**CARRIED** 

4. APPLICATION BY 0983101 B.C. LTD. FOR REZONING AT 5220/5240 MERGANSER DRIVE FROM THE "TWO-UNIT DWELLINGS (RD1)" ZONE TO THE "SINGLE DETACHED (RS2/B)" ZONE (File Ref. No. 12-8060-20-009828; RZ 16-721172) (REDMS No. 5718459; 5721126)

Steven De Sousa, Planning Technician – Design, reviewed the application, noting that the proposed development will include one secondary suite and a cash contribution to the City's Affordable Housing Reserve Fund.

It was moved and seconded

That Richmond Zoning Bylaw 8500, Amendment Bylaw 9828, for the rezoning of 5220/5240 Merganser Drive from "Two-Unit Dwellings (RD1)" to "Single Detached (RS2/B)", be introduced and given first reading.

CARRIED

# 5. AGRICULTURAL LAND RESERVE APPEAL APPLICATION BY CORE CONCEPT CONSULTING LTD. FOR SUBDIVISION AT 11200 WESTMINSTER HIGHWAY

(File Ref. No. AG 17-766906) (REDMS No. 5736460)

Mr. Craig and John Hopkins, Planner 3, briefed Committee on the application, noting that (i) staff are recommending that the application be denied since the application is not consistent with the Official Community Plan and the City's Agriculture Viability Strategy, (ii) the application was not supported by the Agricultural Advisory Committee (AAC), and (iii) the application did not include a farm plan and may set a precedent for the subdivision of agricultural lots, should it proceed.

Discussion ensued with regard to past subdivision of lots along Westminster Highway and access to the rear farm lots.

In response to queries from Committee, staff noted that the applicant would have been able to construct a larger house under the previous farm land house size regulations; however since the existing house was constructed, the bylaws have been amended to reduce the allowable house size. A rezoning would be required should Council and the ALC endorse the subdivision given the existing house size. Also, staff expressed that consideration by the AAC concluded that the proposal would not be beneficial to farming.

Cllr. Day returned to the meeting (4:21 p.m.).

It was moved and seconded

That authorization for Core Concept Consulting Ltd. to make a non-farm use application to the Agricultural Land Commission to subdivide the property at 11200 Westminster Highway into two lots be denied.

The question on the motion was not called as discussion ensued with regard to the farming on-site.

David Kozak, Core Concepts Consulting Ltd., spoke on behalf of the applicant, noting that the applicant intends to construct two homes on the subject site in order to care for a family member and that adjacent properties have already been subdivided. Also, he expressed that once subdivided, the parcels may not be viable for farming; however the rear land-locked property may benefit from the proposed farm access and neighbouring properties have not objected to the application.

Kal Rangi, Richmond resident, spoke in favour of the application, noting that the proposed subdivision and construction of the two homes would assist in the care of the applicant's elderly family member and that farming on the proposed subdivided lot would not be viable due to its size. He added that neighbouring properties have already been subdivided.

In reply to queries from Committee, Kal Grewal, the owner of the rear property, noted that the lot was previously farmed; however he has no intention of farming the site and there has been no interest from farmers to lease the site. Also, he added he has no objection to the application.

Amarjit Nahal, applicant, expressed that the application was brought forward for the purposes of building a house that would accommodate extended family members. He expressed that the proposed subdivision would be consistent with the adjacent properties that have been subdivided.

Discussion ensued with regard to the potential subdivision of other agricultural lots and the viability of farming the rear property and the subject site.

The question on the motion was then called and it was **CARRIED**.

# 6. DECISION OF THE AGRICULTURAL LAND COMMISSION TO RECONSIDER THE AGRICULTURAL LAND RESERVE APPLICATION FOR NON-FARM USE BY SANSTOR FARMS LTD. AT 14671 WILLIAMS ROAD

(File Ref. No. AG 16-734186) (REDMS No. 5738387)

Mr. Craig noted that the Agricultural Land Commission (ALC) Chair has referred the application by Sanstor Farms Ltd. to the ALC Executive Committee for reconsideration. He added staff will advise Council of the outcome of the reconsideration.

It was moved and seconded

That the staff memorandum titled "Decision of the Agricultural Land Commission to Reconsider the Agricultural Land Reserve Application for Non-Farm Use by Sanstor Farms Ltd. at 14671 Williams Road", dated February 1, 2018, be received for information.

CARRIED

### 7. MANAGER'S REPORT

# (i) Public Information Sessions on Proposed House Size Regulations on Agricultural Lots

Barry Konkin, Manager, Policy Planning, noted that public information sessions on the proposed house size regulations on agricultural lots will be taking place on February 7 and 8, 2018 in Richmond City Hall and February 15, 2018 in the East Richmond Community Hall.

### (ii) Agricultural Land Commission Site Visit to the No. 5 Rd Backlands

Mr. Konkin noted that staff participated in a site visit to the No. 5 Road Backlands by the ALC Executive on February 6, 2018 and that staff provided information on Backland agricultural activity. He added that the ALC Executive wanted to view the area of the City's Agricultural Backlands Policy as they have expressed some concerns regarding the extent of agricultural activity. It was noted that staff will provide more information on the matter when available.

In reply to queries from Committee regarding the non-farm use application for the former Mylora site, staff noted that the new owners of the site would have to submit a new application to the ALC to consider any non-farm use.

In response to queries from Committee, Mr. Konkin noted that the Province is seeking feedback on the Agricultural Land Reserve (ALR) and that staff will be attending a meeting hosted by the Province on February 21, 2018 in Abbotsford, BC. He added that staff will provide Council with the feedback submission deadlines.

### (iii) Consultation for Affordable Housing Strategy

Kim Somerville, Manager, Community Social Development, noted that the public consultation on the City's Affordable Housing Strategy has concluded and that staff will be reviewing the feedback and will provide a report to Council in March 2018.

### ADJOURNMENT

It was moved and seconded That the meeting adjourn (4:52 p.m.).

**CARRIED** 

Certified a true and correct copy of the Minutes of the meeting of the Planning Committee of the Council of the City of Richmond held on Tuesday, February 6, 2018.

Councillor Linda McPhail Chair Evangel Biason Legislative Services Coordinator



### **Report to Committee**

To:

Planning Committee

Date: Janua

January 31, 2018

From:

Kim Somerville

File:

07-3300-01/2018-Vol

01

Re:

Manager, Community Social Development

01

Richmond Intercultural Advisory Committee 2017 Annual Report and 2018

**Work Program** 

### **Staff Recommendation**

That the staff report titled "Richmond Intercultural Advisory Committee 2017 Annual Report and 2018 Work Program," dated January 31, 2018, from the Manager of Community Social Development, be approved.

Kim Somerville

Manager, Community Social Development

(604-247-4671)

Att. 2

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER	
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	INITIALS:
APPROVED BY CAO	

### Staff Report

### Origin

The Richmond Intercultural Advisory Committee (RIAC) was established in 2002. Its mandate is to act as a resource and provide advice to City Council in support of enhancing and strengthening intercultural harmony and co-operation in Richmond. RIAC achieves this mandate by providing information, options and recommendations to City Council regarding intercultural issues and opportunities and responding to intercultural issues referred by Council.

This report supports Council's 2014-2018 Term Goal #2 A Vibrant, Active and Connected City:

Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond's demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities.

2.2. Effective social service networks.

This report supports the City's Social Development Strategy's Strategic Direction #2 Engaging our Citizens Action:

15 Implement, monitor and update the Intercultural Strategic Plan and Work Program

This report also supports the City's Social Development Strategy's Strategic Direction #6 Support Community Engagement and Volunteerism Action:

- 26.2 Mechanisms for ensuring that committees are best positioned to provide helpful and timely advice to City staff and elected officials including:
  - Work programs that reflect Council Term Goals

### **Analysis**

On February 27, 2017, City Council adopted the 2017-2022: RIAC Intercultural Strategic Plan. This plan identifies actions to be undertaken by the Committee to help advance RIAC's intercultural vision, "for Richmond to be the most welcoming, inclusive and harmonious community in Canada." The City supports RIAC by providing an annual operating budget, a Council liaison and a staff liaison.

### 2017 Annual Report

The RIAC 2017 Annual Report (Attachment 1) highlights the work of the committee during the past year. These highlights include:

 Provided feedback with an intercultural lens on various City strategies and initiatives, including the Cultural Harmony Strategy, the Minoru Park Vision Plan, the Community Wellness Strategy Update and the Resilient Streets Grant Workshop;

- Met with the City's Manager, Major Events and Film to provide feedback on how Richmond World Festival can more intentionally facilitate intercultural learning;
- Supported the 2017 Diversity Symposium by developing the event theme of "fostering intercultural curiosity" and volunteering on the day of the event to introduce presenters;
- Participated in community dialogues hosted by S.U.C.C.E.S.S. that were organized in response to incidents of racial discrimination towards newcomers and racially-charged sentiments in the media;
- Discussed the importance of continuing the Newcomer's Guide and a commitment to provide recommendations for updating the resource in 2018;
- Discussed the "Hi Neighbour" project and the importance of promoting social connectedness in neighbourhoods; and
- Received updates from RIAC organizational members to better understand the resources available to Richmond community members, including:
  - o Richmond RCMP: information about the BC RCMP Hate Crimes Unit
  - o School District 38: overview of the English Language Learning (ELL) Program
  - Vancouver Coastal Health: input on the End of Life Strategy
  - o BC Responsible Gambling Program: overview of the services available
  - o Chimo Community Services: overview of the services available

### 2018 Work Program

On January 17, 2018, RIAC approved for Council's consideration the proposed 2018 Work Program (Attachment 2). This year RIAC will give priority to:

- Developing recommendations for updating the Newcomer's Guide;
- Inviting presentations from organizations and RIAC organizational representatives, and identifying relevant learnings that can inform the City's policies and practices to promote intercultural connection;
- Identifying key elements of the "Hi Neighbour" research that can inform the City's Cultural Harmony Strategy;
- Supporting and promoting initiatives that address the perception and reality of racism in the community;
- Providing advice to City staff and direct participation in the 2018 Diversity Symposium;
   and

• Serving as a resource on intercultural integration and inclusion on City initiatives and events, as opportunities arise.

### **Financial Impact**

The RIAC operating budget for 2018 is \$2,500.

### Conclusion

The Richmond Intercultural Advisory Committee's 2017 Annual Report provides information on the activities undertaken by the Committee in the previous year. The 2018 Work Program outlines the Committee's intention to continue to act as a resource and provide advice to City Council and staff in support of enhancing and strengthening intercultural harmony in the community. Staff recommend that the Richmond Intercultural Advisory Committee 2017 Annual Report and proposed 2018 Work Program be approved.

Donna Lee

**Inclusion Coordinator** 

(604-276-4391)

Att. 1: Richmond Intercultural Advisory Committee 2017 Annual Report

2: Richmond Intercultural Advisory Committee 2018 Work Program

# Richmond Intercultural Advisory Committee 2017 Annual Report

### Introduction

Richmond City Council established the Richmond Intercultural Advisory Committee (RIAC) in February 2002 to assist the City in working towards its corporate vision of making Richmond the "most appealing, liveable, and well-managed community in Canada". RIAC has up to 18 Council appointed members with representatives from Richmond Community Services Advisory Committee, social and public service organizations and individual citizen appointees. The mandate of RIAC, as outlined in its Terms of Reference, is to "enhance intercultural harmony and strengthen intercultural co-operation in Richmond". RIAC achieves this mandate by providing information, options and recommendations to City Council regarding intercultural issues and opportunities and responding to intercultural issues referred by Council. RIAC's annual work program is intended to complement the prioritized actions of the City of Richmond's Council Term Goals and Social Development Strategy.

In Fall 2017, the City of Richmond began work on a Cultural Harmony Strategy. The Strategy will support the City's vision and further enhance and build on the City's cultural inclusion practices. RIAC has provided input on the Cultural Harmony Strategy at multiple points as opportunities have arisen.

The 2017 RIAC Annual Report is prepared for Richmond City Council in accordance with requirements in the Terms of Reference. This document serves as a summary of RIAC's activities during the 2017 calendar year. It is prepared based on RIAC members' input, with support from the Staff Liaison.

### Strategic Directions

To help achieve the Intercultural Vision, the RIAC 2017-2022 Intercultural Strategic Plan outlines four strategic directions to help guide the work program of the Committee:

- 1) Address language, information and cultural barriers
- 2) Address the perception and reality of racism
- 3) Explore areas of alignment between RIAC Intercultural Vision and governmental and stakeholder systems
- 4) Support the development and integration of Richmond's immigrants

### Strategic Direction 1: Address Language, Information and Cultural Barriers

Initiative: Continue to provide input on the Newcomer's Guide

RIAC discussed the ongoing importance of the Newcomer's Guide. This resource has been a well-received for people new to Richmond. The printed copies have been very popular and versions are currently available in English, Chinese, Tagalog, Punjabi and Russian at <a href="https://www.richmond.ca/newcomers">www.richmond.ca/newcomers</a>. The *Newcomer's Guide* webpage on the City website receives between 50 to 60 "hits" per month.

### Strategic Direction 2: Address the Perception and Reality of Racism

Initiative: Support a range of inter-ethnic dialogues that focus on all types of diversity

### **Diversity Symposium**

In 2017, the City of Richmond hosted the Diversity Symposium. Held at City Hall for the third consecutive year, it reached 101 attendees representing over 40 organizations. Participants included City staff, Community Association staff and board members, staff from the School District, Vancouver Coastal Health, and numerous community social service organizations. Many RIAC members attended and volunteered to introduce the presentations.

During the planning phase, RIAC provided input on the 2017 Diversity Symposium theme: "Fostering Intercultural Curiosity and Community Connections". The Committee put forth this theme to encourage stakeholders in Richmond to explore how to facilitate intercultural curiosity. A post-event evaluation report is expected to inform the planning process for 2018.

### RIAC Participation in SUCCESS Community Forums Hosted

RIAC members participated in two community forums hosted by SUCCESS. The first forum resulted in a robust discussion on immigration and racial discrimination, including a discussion of the relative merit and use of words such as "assimilation", "integration", "inclusion" and "participation". Two RIAC members participated (Wendy Yuan and Joan Page).

The second SUCCESS session, All Our Neighbours Roundtable discussion, was one of a series of events held across the Lower Mainland to explore sense of belonging and inclusion in the context of diverse communities. Several RIAC members participated in the dialogue. The dialogue created space for open sharing of diverse perspectives and attitudes towards immigrants to encourage more understanding of others' views.

### Initiative: "Hi Neighbour" initiative in Richmond

The committee identified that a key factor in promoting intercultural harmony is to intentionally promote the sense of social connectedness in neighbourhoods so that community members new and old have the opportunity to get to know one another.

In 2017, research continued and a project working group was convened to develop a plan to implement a small-scale "Hi Neighbour" project that encourages neighbourliness among Richmond residents.

RIAC endorses the importance of considering social connectedness in neighbourhoods both in social programming and physical planning of neighbourhoods and community spaces.

## Strategic Direction 3: Explore Areas of Alignment between RIAC's Intercultural Vision and Governmental Stakeholder Systems

Initiative: Work to ensure the intercultural vision is reflected in City events and operational practices

### Distribution of RIAC 2017-2022 Intercultural Strategic Plan

RIAC members shared the RIAC 2017-2022 Intercultural Strategic Plan with the organizations they represent and communities they are linked to. The document is an effective tool to raise awareness of RIAC's intercultural vision and to encourage stakeholder input and buy-in to help achieve the vision.

### RIAC Feedback on Richmond World Festival

The group discussed the importance of the Richmond World Festival and considered how RIAC's intercultural vision should be incorporated into arts and cultural events. Bryan Tasaka, Manager, Major Events and Film for the City of Richmond was invited to the RIAC meeting to discuss: a) World Festival's alignment with the intercultural vision; and b) possible ideas that can improve World Festival's alignment with the vision. Key recommendations shared with City staff included:

- Incorporate programming at events that intentionally promotes cross-cultural learning (e.g. storytelling by performers, short activities that facilitate learning and involve a large group of festival-goers accomplishing a task together).
- Feature First Nations acts and storytelling more prominently and intentionally.
- Add a 'Why World Festival?" page to the event's website and refer to RIAC's Intercultural Strategic Plan.

### **RIAC Participation in Minoru Vision Plan Process**

There have been significant recent changes in Minoru Park, such as the addition of new multiuse sports fields and development of the Minoru Centre for Active Living. There is also a rapidly increasing residential population in the City Centre. City staff are working towards the development of a vision plan and guiding principles for the future renewal of Minoru Park. RIAC input was sought to help ensure the redeveloped Minoru Park meets the needs of all community members. RIAC Chair, Joan Page, attended this session.

### RIAC Participation in Community Wellness Strategy Update

The Community Wellness Strategy Update was a collaborative effort involving the City, Vancouver Coastal Health (VCH) and the School District. City advisory bodies were invited to a presentation to provide input on the draft vision for community wellness. An online survey was also made available to those unable to attend in person. RIAC Chair, Joan Page, attended this session.

### RIAC Participation in Cultural Harmony Strategy

RIAC members participated in a facilitated a discussion to provide input on the Cultural Harmony Strategy. The discussion focused on the strengths and opportunities to promote intercultural harmony in Richmond. Subsequently, RIAC members provided suggestions to facilitate an inclusive community consultation process to garner community members' thoughts on the upcoming draft recommendations.

### RIAC Participation in Resilient Streets Grant Workshop

The City of Richmond received a Resilient Streets Grant from BC Healthy Communities. The City received planning support from BC Healthy Communities in the form of an in-person facilitated workshop to develop the grant's implementation plan. RIAC members were asked to participate in this workshop to provide advice on how the initiative can promote neighbourhood connections. RIAC members, Mohinder Grewal and Linda Sum, attended this session.

# Strategic Direction 4: Support the Development and Integration of Richmond's Immigrants

RIAC members invited presentations from different member organizations to learn more about their initiatives that support the development and integration of Richmond's residents.

- BC Responsible and Problem Gambling Program: RIAC member, Phyllis Chan, Prevention Specialist and Clinical Counsellor, provided an overview of her work as a prevention specialist and clinical counsellor with this Provincially-funded program. Counselling services are provided free of charge and an appointment can be secured within 24 hours. There are approximately 120,000 problem gamblers in BC, but less than 1% seek counselling.
- Chimo Community Services: RIAC member, Diane Sugars, Executive Director, provided an overview of the broad range of crisis and preventative services available to community members, many of whom live in low income situations. In 2016 their transition house (Nova House) aided 200 women and 120 children, and had to turn away approximately 100 women a month due to a lack of capacity. Chimo staff are able to communicate in over 25 languages.
- Richmond RCMP: RIAC member, Nigel Pronger, gave an in-depth explanation of the BC RCMP Hate Crimes Unit. In Canada, a hate crime is defined as any criminal offense against a person, group or property that is motivated by hatred or prejudice towards an identifiable group, such as:
  - o Race, colour, ethnicity and language
  - o Religion
  - o Age, mental or physical disability
  - O Sex or sexual orientation
  - O Any other similar factor: Hate crimes and incidents are any crime or incident which is targeted at a victim because of the offender's hostility or prejudice against an identifiable group of people. As society evolves, new identifiable groups emerge.
- School District 38 English Language Learning (ELL) Program: RIAC member, Hieu Pham-Fraser, Curriculum Coordinator, ELL & Inclusive Cultural Education, provided an overview of additional language services available to students. It can take 5-10 years to fully acquire a language academically. There are over 5,000 ELL funded students in Richmond.
- Vancouver Coastal Health (VCH): RIAC members received a presentation from Belinda Boyd, Leader of Community Engagement with VCH on the "End of Life Strategy". The Committee provided ideas on respectful and effective ways of having a conversation with different cultural communities on end of life issues.

### Conclusion and Acknowledgements

RIAC conducted group planning exercises to collectively establish its priorities and work plan actions. The result is a 2018 work program emphasizing RIAC's key role as an advisory body to City Council and staff. RIAC will continue to proactively provide recommendations and options to the City, participate in and provide input to planning, and respond in a timely manner to requests from the City.

RIAC was provided exemplary support by Alan Hill, Staff Liaison and received notice of his resignation with great regret. RIAC is pleased to welcome Donna Lee, Staff Liaison who has brought significant expertise and experience to her role. RIAC also acknowledges the significant commitment and contributions of departing members in 2017. Diane Bissenden, former Chair of RIAC and a long-time representative of VCH, left RIAC on retirement. Committee member, Mr. Lawrence Lim, provided years of leadership in the development and expansion of the Newcomers Guide, successfully establishing funding sponsorship. Other Committee members, Ms. Shashi Assanand, Ms. Parm Grewal, Ms. Neelu Kang, and Ms. Wendy Yuan are also recognized for their support to RIAC.

All RIAC members have worked diligently and with enthusiasm throughout the year, bringing awareness and opportunities to RIAC. Lively discussions and debates have better informed the work of RIAC. The continued support of Mayor and Councillors is acknowledged and the participation of Councillor Derek Dang (RIAC Council Liaison) at RIAC meetings, raising awareness and bringing updates on a range of City initiatives, is greatly appreciated.

### **Financial Summary**

As a voluntary Advisory Committee to City Council, RIAC's activities are fully supported by the City's operating budget through the coordination of the Staff Liaison. The expenditures for RIAC totalled \$2211.38 of the budgeted \$2,500 for 2017. This financial summary has been provided by the Staff Liaison.

Revenue		
City funding		\$2500,00
Expenses	·	
Meeting Refreshments	\$1984.38	
Printing (Intercultural Strategic Plan)	\$227.00	
Total Expenses		\$2211.38
Balance		\$288.62

Respectfully submitted by:

Joen M. Lago

Joan Page

Chair, Richmond Intercultural Advisory Committee

Page 5

# RICHMOND INTERCULTURAL ADVISORY COMMITTEE WORK PROGRAM 2018

This year's Richmond Intercultural Advisory Committee (RIAC) work program will focus on RIAC's role as an advisory committee to City Council in support of the following Council Term Goal 2014-2018:

Goal: 2 A Vibrant, Active and Connected City.

"Continue the development and implementation of an excellent and accessible system of programs, services, and public spaces that reflect Richmond's demographics, rich heritage, diverse needs, and unique opportunities, and that facilitate active, caring, and connected communities".

Strategy/Initiative	RIAC Actions/Steps	Expected Output of RIAC Actions	Timeframe
1. Address language, info.	1. Address language, information and cultural barriers.		
1.1 Provide input on Richmond Newcomers Guide.  A A C C C C C C C C C C C C C C C C C	1.1.1 Review and provide input on revising the Newcomer's Guide, including:  Recommendations on new content, the removal of extraneous content;  Recommendations on identifying languages for translation or target groups; and  Recommendation on delivery format options, including exploring options for online/digital delivery.	RIAC provides recommendations and options on improving the delivery and proposed content of the Richmond Newcomer's Guide to meet the needs of current newcomers and facilitate access to the resource.	February to June 2018
1.2 Build on and improve RIAC member's knowledge of intercultural issues through information sharing, guest speakers, and educational opportunities.	1.2.1 Invite the Vancouver Foundation to present on results from their "Engage and Connect: A Survey of Metro Vancouver (2017)" and identify key findings from this study to inform City Council and staff.	RIAC provides a summary of key findings from the Vancouver Foundation study and recommendations of importance (if any) that are specifically related to newcomer integration or intercultural bridging in Richmond.	March 2018
	1.2.2 Seek RIAC members/organizations and/or other community organizations to present on specific intercultural initiatives that can inform the City's policies or practices (e.g. Richmond Public Library Community Outreach).	RIAC provides a summary of promising practices that are relevant to the City of Richmond.	April 2018 to September 2018

Strategy/Initiative	RIAC Actions/Steps	Expected Output of RIAC Actions	Timeframe
2. Address racism and misconceptions.	sconceptions.		
2.1 Support and promote initiatives that address the perception and reality of racism and discrimination in the community.	2.1.1 Seek opportunities to participate in initiatives that address racism and discrimination in the community (e.g. initiatives promoted by the Canadian Race Relations Foundation).	RIAC members identify and participate in initiatives and relay relevant to City Council.	Ongoing
	2.1.2 Review the SUCCESS Roundtable summary report for Richmond and identify relevant information.	RIAC provides information and recommendations (if any) identified from the SUCCESS Roundtable report to City Council.	When report is available
	2.1.3 Liaise with advisory groups from other municipalities and participate in and/or promote their activities.	RIAC provides information and recommendations (if any) about promising initiatives from other municipalities that could promote intercultural understanding in Richmond to City Council and staff.	Ongoing
2.2 Work with City staff to assist with the planning are implementation of the Offy of Richmond Dresity Symposium.	2.2.1 Provide suggestions for the 2018 Diversity Symposium, including: ideas for themes; keynote speaker options; presenters, topic ideas or logistics.	RIAC provides suggestions to City staff during the development of the 2018 Diversity Symposium program.	March 2018
- 21	2.2.2 Provide event support at the 2018 Diversity Symposium, including: promoting the event to Richmondbased community organizations, introducing speakers, networking, etc.	RIAC members play an active role during the 2018 event.	October - November 2018
2.3 Synthesize "Hi Neighbour" research for Cultural Harmony Strategy input.	<ul> <li>2.3.1 Synthesize the key aspects of the "Hi Neighbour" research that will facilitate neighbourhood social connectedness, such as:</li> <li>Initiative framework or key principles</li> <li>Indicators or metrics</li> <li>Relevant City policies and/or programs</li> </ul>	RIAC clearly articulates key aspects of the importance of neighbourhood social connectedness based on learnings from the "Hi Neighbour" research.	March - June 2018
	2.3.2 Provide input on how to promote neighbourhood social connectedness through the Cultural Harmony Strategy engagement process, as well as other City consultation processes as opportunities arise.	RIAC provides input on how neighbourhood social connectedness may be promoted through City policies and programs, particularly through the Cultural Harmony Strategy engagement process.	As requested through 2018

Strategy/Initiative	RIAC Actions/Steps	Expected Output of RIAC Actions	Timeframe
3. Ensure that City & other	3. Ensure that City & other governmental and stakeholder systems, policies and pl	systems, policies and planning processes are aligned with RIAC's intercultural vision.	ıl vision.
3.1 Promote the Intercultural Strategic Plan and vision to ensure they are reflected in City events and strategies.	<ul> <li>3.1.1 Provide input to City staff regarding City events and planning processes as opportunities arise, for example:</li> <li>Richmond World Festival</li> <li>Resilient Streets Grant</li> <li>Richmond Wellness Strategy</li> <li>Doors Open</li> </ul>	RIAC provides input to the planning of City events and/or strategies at RIAC meetings and/or as individual invitees to City engagement processes, as opportunities arise.	As needed through 2018
Pl	3.1.2 Provide input and an intercultural lens on the development of the Cultural Harmony Strategy as requested.  Also related to Work Program Initiative 2.3, "Hi Neighbour" research.	RIAC members provide input on the Cultural Harmony Strategy.	As requested through 2018
LN - 22	3.1.3 Provide a summary of key activities and learnings from 2018 to City Council via the RIAC Annual Report.	The 2018 RIAC Annual Report summarizes information of key importance to Richmond that has been identified through the Committee's work and that will support achieving RIAC's intercultural vision.	October to November 2018
4. To support the develop	4. To support the development and integration of Richmond's immigrants while doing this in a way that respects family and cultural traditions.	ing this in a way that respects family and cultural trac	itions.
4.1 Assist the City in engaging the community in building 'cultural bridges' and learning opportunities that allow the sharing and understanding of cultural traditions.	4.1.1 Serve as a resource and provide advice on intercultural integration and inclusion on new City initiatives or events, as opportunities arise.	RIAC provides advice or recommendations as requested.	Ongoing

Strategy/Initiative	RIAC Actions/Steps	Expected Output of RIAC Actions	Timeframe
5. Committee development and housekeeping.	nt and housekeeping.		
5.1 Participate in an orientation to the City and role as an Advisory Committee member.	5.1.1 RIAC members receive an orientation to the City and the role of advisory committee members.	RIAC members receive an orientation presentation from the Staff Liaison that facilitates better understanding of the City's organizational structure, scope of jurisdiction and their role as advisory committee members.  RIAC members may also advise the City if there is additional information about City operations that would help facilitate their role as an advisory committee member.	February 2018
5.2 Review Terms of Reference.	5.2.1 Review the RIAC Terms of Reference that were adopted by Council in November 2017, and make additional suggestions with the view of improving the committee's functioning.	RIAC members provide input on the RIAC Terms of Reference.	October to November 2018
5-8 Encourage youth or young adults to submit applications for City Council Advisory Council Advisory Council Advisory for 2019.	5.3.1 RIAC members actively encourage youth or young adults from Richmond to apply for a position on RIAC.	Multiple applications from youth or young adults are received in response to the City's Call for Advisory Committee Applicants in September 2018.	June to September 2018



### **Report to Committee**

To:

Planning Committee

Date:

February 15, 2018

From:

Wayne Craig

File:

TU 18-798524

Re:

Director, Development

Application by Openroad Auto Group Ltd. for a Temporary Commercial Use

Permit at 5400 Minoru Boulevard

### Staff Recommendation

1. That the application by Openroad Auto Group Ltd. for a Temporary Commercial Use Permit for property at 5400 Minoru Boulevard be considered at the Public Hearing to be held March 19, 2018 at 7:00 p.m. in the Council Chambers of Richmond City Hall, and that the following recommendation be forwarded to that meeting for consideration.

"That a Temporary Commercial Use Permit be issued to Openroad Auto Group Ltd. for the property at 5400 Minoru Boulevard to allow Vehicle Sale/Rental as a permitted use for a period of three years."

Wayne Craig

Director, Development

(604-247-4625)

WC:jr Att. 4

REPORT CONCURRENCE

CONCURRENCE OF GENERAL MANAGER

### Staff Report

### Origin

Openroad Auto Group Ltd. has applied to the City of Richmond for a Temporary Commercial Use Permit (TCUP) to allow Vehicle Sale/Rental as a permitted use at 5400 Minoru Boulevard on a site zoned "Industrial Retail (IR1)" (Attachment 1). The applicant proposes to relocate the showroom and service facility for Hyundai Richmond to the subject property for approximately 18 months, during which time a new facility will be built at the Richmond Auto Mall.

If approved, the TCUP would be valid for a period of up to three years from the date of issuance, at which time an application for an extension to the Permit may be made and issued for up to three additional years. The three year period would allow for the proposed 18 month tenancy, as well as any extension to the tenancy required until the new facility is built. The *Local Government Act* allows Council to consider TCUP issuance on its own merits and does not limit the number of TCUP issuances allowed on a site.

### **Findings of Fact**

A Development Application Data Sheet providing details about the development proposal is provided in Attachment 2.

### **Surrounding Development**

The subject site is located in Lansdowne Village within the City Centre Area Plan. Development immediately surrounding the subject site is as follows:

- To the north, south and west: Commercial and industrial buildings on properties zoned "Industrial Retail (IR1)".
- To the east: Several vacant properties currently zoned "Auto-Oriented Commercial (CA)", which are included in an in process rezoning application to allow a mixed-use development (RZ 15-692485).

### Related Policies & Studies

### Official Community Plan/East Cambie Area Plan

The Official Community Plan (OCP) land use designation for the subject site is "Mixed Use".

The OCP allows TCUPs in areas designated "Industrial", "Mixed Employment", "Commercial", "Neighbourhood Service Centre", "Mixed Use", "Limited Mixed Use", and "Agricultural" (outside of the Agricultural Land Reserve), where deemed appropriate by Council and subject to conditions suitable to the proposed use and surrounding area.

The proposed Vehicle Sale/Rental use is consistent with the "Mixed Use" land use designation contained in the OCP.

5748942 PLN - 25

### Richmond Zoning Bylaw 8500

The subject site is zoned "Industrial Retail (IR1)", which allows for a range of general industrial uses, offices, and a limited range of retail uses. The applicant proposes to locate a vehicle showroom and service centre on the property. Vehicle Repair is a permitted use in the "Industrial Retail (IR1)" zone, but Vehicle Sale/Rental is not. The requested TCUP would permit Vehicle Sale/Rental at the property, which would be generally compatible with the other permitted uses in the Industrial Retail (IR1)" zone.

### **Local Government Act**

The *Local Government Act* identifies that TCUPs are valid for a period of up to three years from the date of issue and that an application for one extension to the Permit may be made and issued for up to three additional years. A new TCUP application is required after one extension.

### **Public Consultation**

Should the Planning Committee endorse this application and Council resolve the move the staff recommendation, the application will be forwarded to a Public Hearing on March 19, 2018, where any area resident or interested party will have an opportunity to comment. Public notification for the Public Hearing will be provided as per the *Local Government Act*.

### **Analysis**

The subject site contains an existing building of approximately 4,406 m<sup>2</sup> (47,422 ft<sup>2</sup>), containing four commercial units. The building is currently occupied by a vehicle repair shop, a second hand store, and two vacant units. The applicant proposes to occupy the two vacant units, with a combined area of 3,156 m<sup>2</sup> (33,973 ft<sup>2</sup>), for the purposes of a Hyundai showroom and service centre. Plans showing the subject site and general site layout are included in Attachment 3.

Minor exterior renovations are proposed, including landscaping, new paint, awnings, and repairs to drive aisles and parking surfaces. A Development Permit is not required for exterior alterations that cost less than \$75,000.

### **Parking**

Parking and loading must be provided consistent with the requirements of Richmond Zoning Bylaw 8500. Vehicle parking is required at a rate of three spaces per 100 m<sup>2</sup> of gross leasable floor area of the building used for the Office and/or Vehicle Sale/Rental uses, plus three parking spaces for each vehicle service bay, reduced by 15% based on the City Centre parking rates established in Section 7.9 of the Zoning Bylaw. Based on the size of the commercial units, the business would require 81 vehicle parking spaces. Staff have determined that on-site parking is sufficient for the proposed new use.

Class 1 and Class 2 bicycle parking is required at a rate of 0.27 spaces per 100 m<sup>2</sup> of gross leasable floor area greater than 100 m<sup>2</sup>, for a total of eight Class 1 and eight Class 2 bicycle parking spaces. The applicant is required to verify that the on-site parking and loading meets Bylaw requirements as part of the business licensing processes.

5748942 **PLN - 26** 

### Landscaping

The site is largely paved, with small landscaped areas between the on-site parking and the lane. There is an area for landscaping at the front of the site between the parking area and Minoru Boulevard, which is currently not planted. The applicant proposes to landscape this area consistent with the requirement for a 3.0 m wide landscaped setback contained in Richmond Zoning Bylaw 8500.

The applicant has provided a Landscape Plan showing the proposed improvements to the landscaping at the front of the site (Attachment 4). Prior to issuance of the TCUP, the applicant is required to provide a Landscape Security based on the cost estimate of the Landscape Plan plus a 10% contingency, to ensure that the agreed upon landscaping and on-site works are completed.

### **Financial Impact**

None.

### Conclusion

Openroad Auto Group Ltd. has applied to the City of Richmond for a Temporary Commercial Use Permit to allow Vehicle Sale/Rental as a permitted use at 5400 Minoru Boulevard, zoned "Industrial Retail (IR1)."

The proposed Vehicle Sale/Rental use at the subject property is acceptable to staff on the basis that it is consistent with the land use designations in the OCP, and is temporary in nature.

Staff recommend that the attached Temporary Commercial Use Permit be issued to the applicant to allow Vehicle Sale/Rental at 5400 Minoru Boulevard for a period of three years.

For Jordan Rockerbie Planning Technician (604-276-4092)

JR:blg

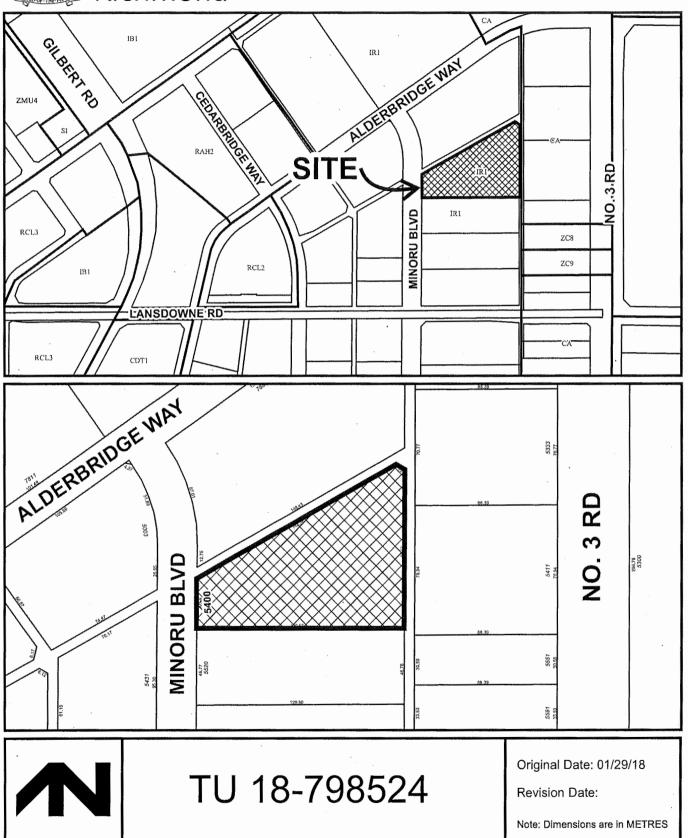
Attachment 1: Location Map

Attachment 2: Development Application Data Sheet

Attachment 3: Site Plan

Attachment 4: Landscape Plan











TU 18-798524

Original Date: 01/29/18

Revision Date:

Note: Dimensions are in METRES



### **Development Application Data Sheet**

Development Applications Division

TU 17-763604 Attachment 2

Address:

5400 Minoru Boulevard

Applicant:

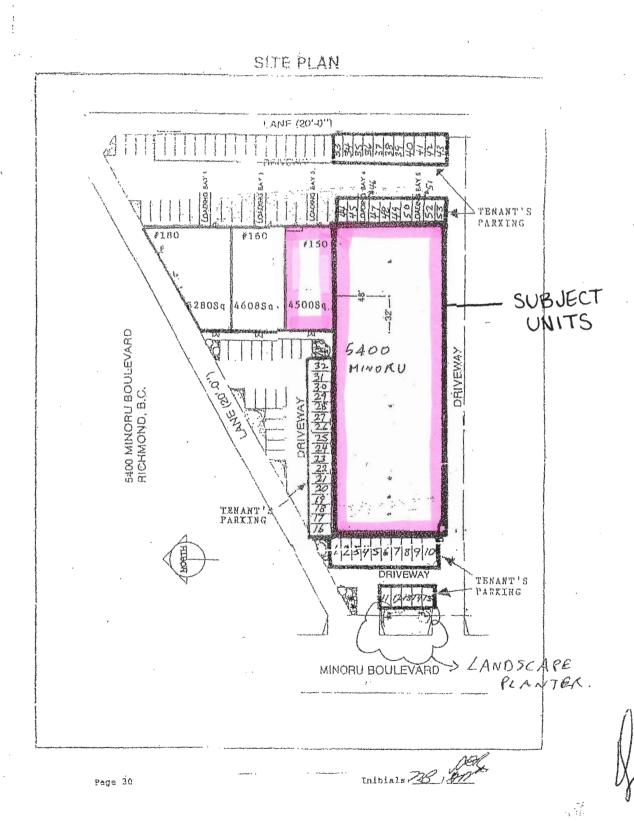
Openroad Auto Group Ltd.

Planning Area:

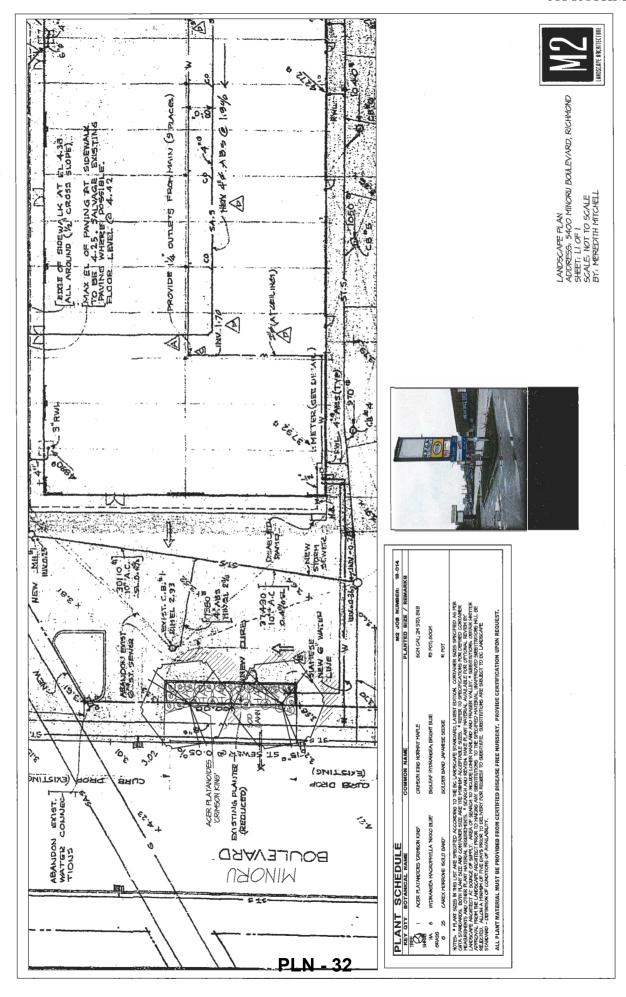
City Centre Area Plan - Lansdowne Village

	Existing	Proposed
Owner:	Jiatai Realty Inc.	No change
Site Size (m²):	Property: 8,594 m <sup>2</sup> Commercial Unit: 3,156 m <sup>2</sup>	No change
Land Uses:	Vehicle Repair; Retail, Second Hand	Vehicle Repair; Retail, Second Hand; Vehicle Sale/Rental
OCP Designation:	Mixed Use	No change
City Centre Area Plan Designation:	Urban Centre T5	No change
Zoning:	Industrial Retail (IR1)	No change, with the exception of allowing Vehicle Sale/Rental as a permitted use for a period of three years.

	Bylaw Requirement	Proposed	Variance
On-site Parking:	3 parking spaces per 100 m <sup>2</sup> of gross leasable floor area of the building used for the Office or Vehicle Sale/Rental use; plus 3 parking spaces per service bay; minus 15% for blended City Centre parking requirements	81 spaces	None
Bicycle Parking:	0.27 Class 1 and Class 2 spaces per 100 m <sup>2</sup> of gross leasable floor area greater than 100 m <sup>2</sup>	Eight Class 1 spaces Eight Class 2 spaces	None



**PLN - 31** 





### **Temporary Commercial Use Permit**

No. TU 18-798524

To the Holder:

OPENROAD AUTO GROUP LTD.

Property Address:

5400 MINORU BOULEVARD

Address:

C/O MOE SABOUNE

OPENROAD AUTO GROUP LTD.

2395 BOUNDARY ROAD VANCOUVER, BC V5M 4W5

- 1. This Temporary Commercial Use Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Temporary Commercial Use Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and to the portion of the building shown cross-hatched on the attached Schedule "B".
- 3. The subject property may be used for the following temporary Commercial uses:

Vehicle Sale/Rental

- 4. Any temporary buildings, structures and signs shall be demolished or removed and the site and adjacent roads shall be maintained and restored to a condition satisfactory to the City of Richmond, upon the expiration of this permit or cessation of the use, whichever is sooner.
- 5. As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder, or should the Holder carry out the development permitted by this permit within the time set out herein and comply with all the undertakings given in Schedule "C" attached hereto, the security shall be returned to the Holder.

There is filed accordingly:

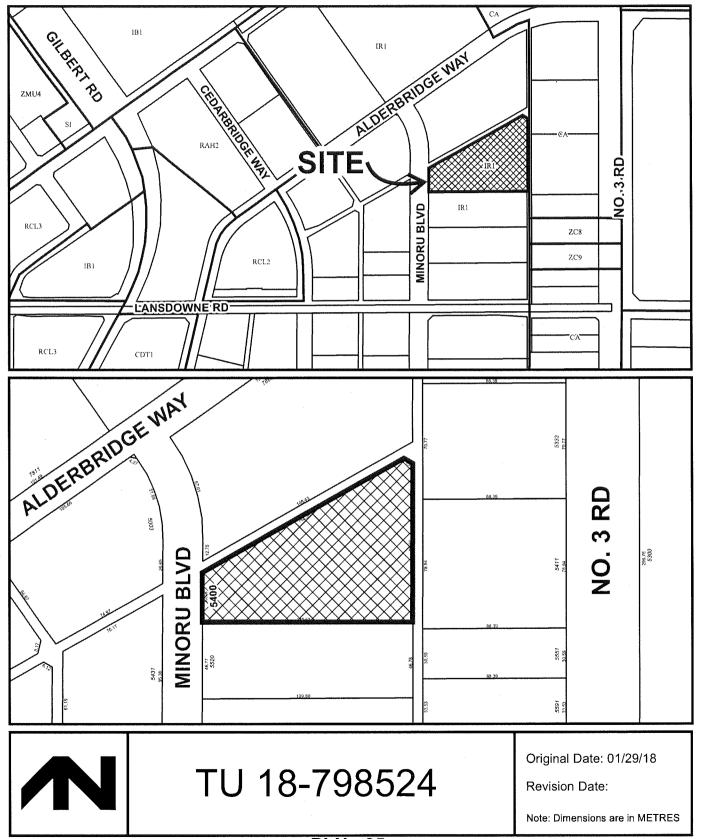
An Irrevocable Letter of Credit in the amount of \$2,000.00.

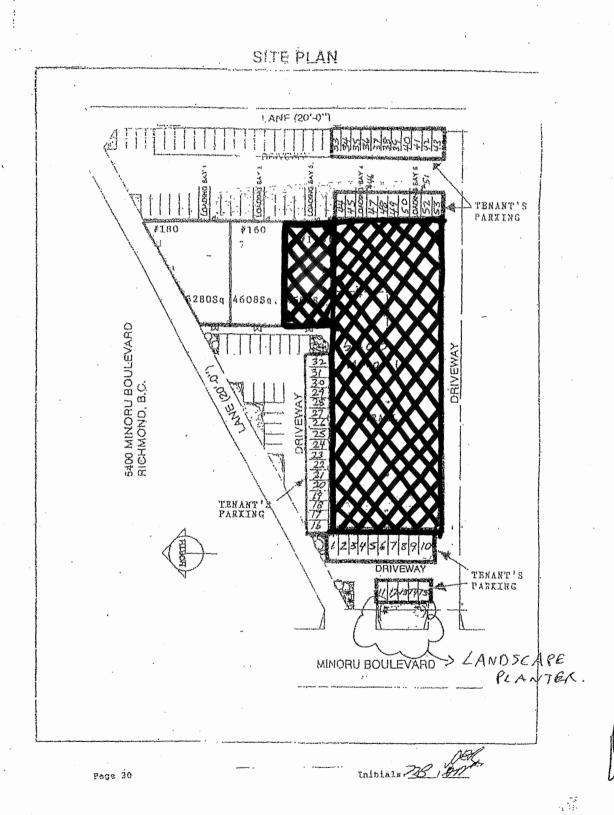
No. TU 18-798524

To the Holder: OF		OPENROAD AL	TO GROUP LTD.		
Pr	operty Address:	5400 MINORU E	OULEVARD		
OPENRO 2395 BO		C/O MOE SABO OPENROAD AU 2395 BOUNDAR VANCOUVER, E	TO GROUP LTD. RY ROAD		
6.	As a condition of the issuance of this Permit, the City is holding a Landscape Security in the amount of \$2,074.26 for the landscape works as per the Landscape Plan in Schedule "D". 90% of the security will be released upon City's inspection and 10% of the security will be released one year after the inspection in order to ensure that the planting has survived.				
7. The land described herein shall be develo		s of this Permit an	ed generally in accordance with the terms and d any plans and specifications attached to this		
8. If the Holder does not commence the const			ruction permitted by this Permit within 24 months lapse and the security shall be returned in full.		
	This Permit is not a Build	ding Permit.			
AUTHORIZING RESOLUTION NO. DAY OF ,		ION NO.	ISSUED BY THE COUNCIL THE		
DI	ELIVERED THIS E	DAY OF	,		
$\overline{\mathbf{M}}$	AYOR		CORPORATE OFFICER		



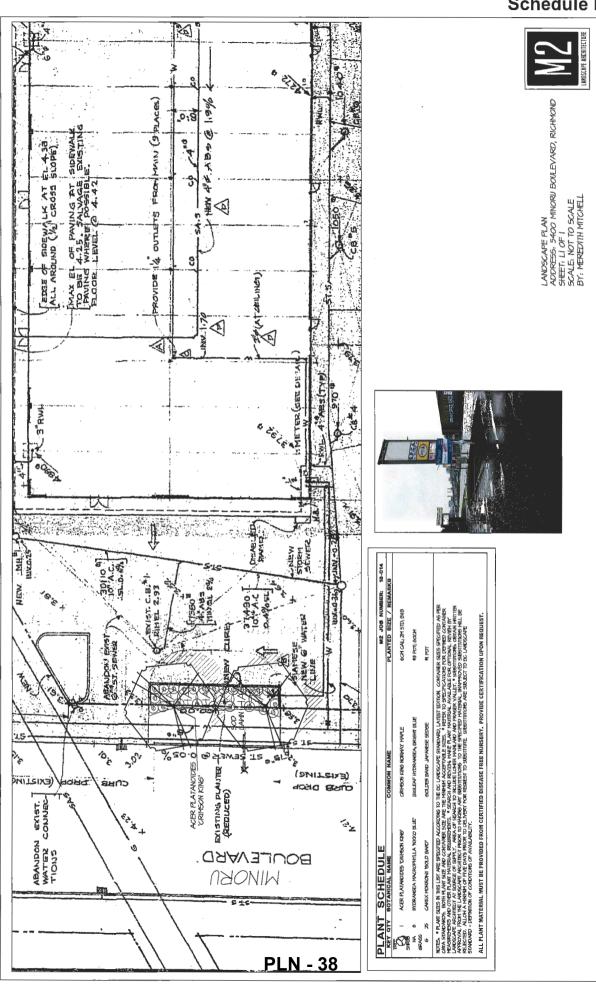
# City of Richmond





PLN - 36

·
Undertaking
In consideration of the City of Richmond issuing the Temporary Commercial Use Permit, we the undersigned hereby agree to demolish or remove any temporary buildings, structures and signs; to restore the land described in Schedule A; and to maintain and restore adjacent roads, to a condition satisfactory to the City of Richmond upon the expiration of this Permit or cessation of the permitted use, whichever is sooner.
Openroad Auto Group Ltd. by its authorized signatory
[signed concurrence on file]  Moe Saboune





# **Report to Committee**

Planning and Development Division

To: Planning Committee

**Date:** January 16, 2018

From: Wayne Craig

File:

08-4431-03-11/2018-Vol 01

Director, Development

Re: Establishment of Ur

Establishment of Underlying Zoning for Properties Developed Under Land Use Contracts 001, 025, 051, 073, 096, 104, 115, 119, 131, 138, and 158 in the South

**Portion of the City Centre** 

#### Staff Recommendation

- 1. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9799, to establish underlying zoning for the properties developed under Land Use Contract 001, be introduced and given first reading;
- 2. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9801, to establish underlying zoning for the properties developed under Land Use Contract 025, be introduced and given first reading;
- 3. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9802, to establish underlying zoning for the properties developed under Land Use Contract 051, be introduced and given first reading;
- 4. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9804, to establish underlying zoning for the properties developed under Land Use Contract 073, be introduced and given first reading;
- 5. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9805, to establish underlying zoning for the properties developed under Land Use Contract 096, be introduced and given first reading;
- 6. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9806, to establish underlying zoning for the properties developed under Land Use Contract 104, be introduced and given first reading;
- 7. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9807, to establish underlying zoning for the properties developed under Land Use Contract 115, be introduced and given first reading;
- 8. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9808, to establish underlying zoning for the properties developed under Land Use Contract 119, be introduced and given first reading;
- 9. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9809, to establish underlying zoning for the properties developed under Land Use Contract 131, be introduced and given first reading;

- 10. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9810, to establish underlying zoning for the properties developed under Land Use Contract 138, be introduced and given first reading; and
- 11. That Richmond Zoning Bylaw 8500, Amendment Bylaw 9811, to establish underlying zoning for the properties developed under Land Use Contract 158, be introduced and given first reading.

Wayne Craig

Director, Development

(604-247-4625)

WC:CL Att. 3

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Law		Levelge
REVIEWED BY STAFF REPORT / AGENDA REVIEW SUBCOMMITTEE	Initials:	APPROVED BY CAO

#### Staff Report

# Origin

In 2014, the Provincial Government amended the *Local Government Act* to require municipalities to adopt underlying zoning bylaws for all Land Use Contract (LUC) properties by June 30, 2022, and to provide for the termination of all LUCs on June 30, 2024. The amending legislation also established an optional process to enable municipalities, by bylaw, to undertake early termination of LUCs and provide expanded authority to Boards of Variance to hear appeals and grant time extensions to existing property owners for reasons of hardship.

On November 24, 2015, Richmond City Council adopted a set of bylaws that established underlying zoning for 93 separate LUCs that included single-family properties, as well as adopted bylaws to terminate these LUCS effective one year from the date of adoption (i.e., November 24, 2016). Following November 24, 2015, there remained 46 LUCs on a total of 95 properties (including 3,078 units) in the City containing multi-family, commercial, industrial, and agricultural uses, which were not subject to the underlying zoning bylaws and early termination bylaws. These remaining LUCs were to be dealt with separately at a later date because they were are not subject to the same redevelopment pressures as that of the LUCs that included single-family properties.

Consistent with the *Local Government Act*, City Council must consider bylaws to establish underlying zoning for the properties developed under the remaining LUCs. This involves the standard bylaw reading and adoption process, and includes holding a Public Hearing for all bylaws.

In the fall of 2017, City Council adopted underlying zoning bylaws for five of the remaining LUCs. These new underlying zones are applicable to nine commercial/industrial properties in the north portion of City Centre. At that time, the following approach was endorsed by City Council for dealing with the remaining LUCs:

- Underlying zoning bylaws for the remaining LUCs would be brought forward separately on the basis of their geographic area (Attachment 1).
- Unlike the approach used for the LUCs that included single-family properties, no early termination bylaws are proposed to be brought forward for the remaining LUCs. Essentially, the existing remaining LUCs will remain effective and continue to govern the use and development of the affected properties until their termination date of June 30, 2024, at which time the underlying zoning will take precedence.

There are now 41 underlying zoning bylaws that must be established, applicable to a total of 82 properties in the City (including 3,027 units).<sup>1</sup>

5662357 PLN - 41

<sup>&</sup>lt;sup>1</sup> This includes remaining LUCs/properties that are currently the subject of active rezoning applications for redevelopment, which will be dealt with separately.

This report brings forward underlying zoning bylaws for 11 of the remaining LUCs (LUCs 001, 025, 051, 073, 096, 104, 115, 119, 131, 138 and 158). The proposed bylaws are applicable to 20 multi-family and commercial properties in the south portion of City Centre (Attachment 2).

The proposed bylaws aim to reflect the specific provisions contained in each LUC, as well as certain standard provisions contained within Richmond Zoning Bylaw 8500 for aspects not anticipated by the LUC. This ensures the underlying zoning bylaws mirror what is contained in the LUCs without granting additional development rights while still acknowledging current zoning norms. After the LUCs expire on June 30, 2024, where there are inconsistencies between the provisions of the proposed bylaws and what actually exists on the subject properties, the provisions for non-conforming uses and buildings under the *Local Government Act* will apply.

This report supports Council's 2014-2018 Term Goal # 3 – A Well-Planned Community:

Adhere to effective planning and growth management practices to maintain and enhance the liveability, sustainability and desirability of our City and its neighbourhoods, and to ensure the results match the intentions of our policies and bylaws.

3.1 Growth and development that reflects the Official Community Plan (OCP) and related policies and bylaws

This report and the proposed bylaws are also consistent with policies from the 2041 Official Community Plan (OCP), which support exploring alternatives to Land Use Contracts to achieve better land use management over time.

#### **Findings of Fact**

5662357

A Land Use Contract is a contract between a property owner (typically a developer) and a municipality addressing the use and development rights of a property. The LUC regulations are similar to zoning, with the exception that the LUC is registered on the Title of the property and, until recently, agreement from both the property owner and municipality was required to amend or discharge the contract.

The provincial legislation enabling LUCs was in effect for a short period of time between 1973 and 1979 and allowed the ability to create tailor-made development contracts for specific sites. LUCs were also used to control the form and character of buildings and landscaping of sites and, in some cases, included detailed servicing requirements. Typically, the same LUC was registered by a developer against all the properties in a particular subdivision, thereby creating consistent use and development rights for those properties. Unless discharged, LUCs registered during such period remain in place today governing the use and development rights of the affected properties.

LUCs typically include limited development restrictions compared to today's standards. Any reference to a zoning bylaw within a LUC is specific to the zoning bylaw in place at the date of contract execution. Since LUCs are registered on Title and can only be amended or discharged with the property owner's consent, the result is that LUCs have not evolved over time as land use considerations have changed. Properties under the current Richmond Zoning Bylaw 8500 have

had multiple amendments over time to address various land issues such as building interface, landscaping, sustainability and overall building form.

#### Related Policies & Studies

#### City Centre Area Plan

The City Centre Area Plan's (CCAP) Generalized Land Use Map designations for 20 of the subject properties include *General Urban T4*, *Urban Centre T5*, *Urban Core T6*, which provide for a range of low to high-density residential, commercial, and other land uses. The St. Alban's Sub-Area Plan further identifies four of the subject properties on Bennett Road for *Multi-Family Low Rise*, which provides for single-family dwellings, duplexes, townhouses, and three-storey apartments.

The proposed underlying zoning bylaws do not affect the subject properties' ability to redevelop in the future consistent with the land use designations in the CCAP and the St. Alban's Sub-Area Plan.

# OCP Aircraft Noise Sensitive Development Policy

The OCP's Aircraft Noise Sensitive Development Policy identifies that 19 of the subject properties are located in the *Moderate Aircraft Noise Area (Area 3)* and that one of the subject properties is located in the *Aircraft Noise Notification Area (Area 4)*, in which all Aircraft Noise Sensitive Land Uses may be considered.

The proposed underlying zoning bylaws do not affect the subject properties' designations under the OCP Aircraft Noise Sensitive Development Policy. Any future proposed development on the subject properties would have to comply with the applicable Aircraft Noise Sensitive Development Policy requirements as identified in the OCP as part of any Rezoning, Development Permit or Building Permit applications.

#### **Analysis**

Staff propose a set of bylaws that introduce underlying zoning for the 20 properties developed under LUCs 001, 025, 051, 073, 096, 104, 115, 119, 131, 138 and 158 in the south portion of the City Centre, which are identified in Table 1 (page 6).

There is also an additional site at 6340 to 6390 No. 3 Road that was developed under LUC 062 in the south portion of City Centre for which an underlying zoning bylaw is not proposed at this time, as it is currently the subject of a separate LUC discharge and rezoning application for a four-tower mixed-use development currently being reviewed by City staff (RZ 17-773703). If the proposed rezoning at this site does not proceed, City staff will bring forward a separate report and zoning amendment bylaw to establish underlying zoning for the property prior to June 30, 2022.

Attachment 3 contains a series of summary tables that provide a comparison of the regulations under each of the 11 LUCs with those of the proposed underlying zone, and includes a map of each LUC. The summary tables in Attachment 3 are for reference purposes only and should not be interpreted as the actual LUC.

Table 1. The 20 properties subject to the proposed underlying zoning bylaws.

LUC#	No. of Properties	Address(es)	No. of Units (Strata & Non-Strata)
001	2	6611, 6631, 6651 Minoru Boulevard	561
025	6	8880 Cook Road 8500 to 8583 Citation Drive 8600 to 8970 Citation Drive 6501 to 6541 Pimlico Way,	515
051	1	7031 Westminster Highway	36
073	1	6780, 6880 Buswell Street 8200, 8300 Park Road	174
096	1	8540 Westminster Highway	35
104	1	6831 Cooney Road	7
115	4	8251, 8291, 8351, 8391 Bennett Road	156
119	1	8211 Cook Road 6480, 6490 Buswell Street	4
131	1	8660 Westminster Highway	45
138	1	8231 Granville Avenue 6931 Cooney Road	129
158	1	8291 Park Road	56
Totals: 11	20		1718

In developing the underlying zoning for the subject properties, staff considered the specific provisions in each individual LUC, and the existing land use designations in the OCP for the subject site and for adjacent properties within the immediate surrounding area. Staff were not able to use existing commercial or multi-family residential zones in Richmond Zoning Bylaw 8500 to develop the underlying zoning bylaws for the properties due to the very specific provisions contained in each LUC.

Staff proposes 11 new site-specific zones (described in Table 2, page 7). The proposed site-specific zones combine both the specific provisions from each LUC, as well as certain provisions contained within Richmond Zoning Bylaw 8500 for aspects not anticipated by the LUC. This ensures the underlying zoning bylaws to mirror what is contained in the LUCs without granting additional use and development rights while allowing some flexibility after LUCs expire on June 30, 2024 for landowners to make minor changes to their properties that would be in character with what is permitted on lots within the surrounding neighbourhood.

Where there are inconsistencies between the provisions of the proposed underlying zones and what actually exists on the subject properties, any continued use and existing development of the land that was lawful under the LUC will be protected in accordance with the provisions for non-conforming uses and buildings under the *Local Government Act* after the LUCs expire on June 30, 2024.

Table 2. 11 new site-specific zones proposed

LUC	Proposed Bylaw #	Proposed Zone	Site Address(es)	Current Site Condition
001	9799	High Rise Apartment (ZHR14) – Brighouse Village (City Centre)	6611, 6631, 6651 Minoru Boulevard	High-rise apartments
025	9801	Low Rise Apartment and Town Housing (ZLR32) – Brighouse Village (City Centre)	6501 to 6541 Pimlico Way 8500 to 8583 Citation Drive 8600 to 8970 Citation Drive 8880 Cook Road, and four Road Parcels in Section 9 Block 4 North Range 6 West	Low-rise apartments & 2-storey townhouses
051	9802	Office Commercial (ZC46) – Lansdowne Village (City Centre)	7031 Westminster Hwy.	4-storey office/ commercial building
073	9804	Low Rise Apartment (ZLR33) – Brighouse Village (City Centre)	6780, 6880 Buswell St. 8200, 8300 Park Rd.	Low-rise apartments
096	9805	Low Rise Apartment (ZLR34) – Brighouse Village (City Centre)	8540 Westminster Hwy.	Low-rise apartments
104	9806	Town Housing (ZT84) – Cooney Road (Brighouse Village of City Centre)	6831 Cooney Rd.	Low-density townhouses
115	9807	Low Rise Apartment (ZLR35) – St. Albans Sub Area (City Centre)	8251, 8291, 8351, 8391 Bennett Road	Low-rise apartments
119	9808	Office (ZC47) – Brighouse Village (City Centre)	8211 Cook Road 6480, 6490 Buswell St.	2-storey office building
131	9809	Low Rise Apartment (ZLR36) – Brighouse Village (City Centre)	8660 Westminster Hwy.	Low-rise apartments
138	9810	Low Rise Apartment (ZLR37) – Brighouse Village (City Centre)	8231 Granville Avenue 6931 Cooney Road	Low-rise apartments
158	9811	Low Rise Apartment (ZLR38) – Brighouse Village (City Centre)	8291 Park Road	Low-rise apartments

#### **Public Consultation and Public Hearing**

Since the existing remaining LUCs will remain effective and will continue to govern the use and development of the affected properties until their termination date of June 30, 2024, at which time the proposed underlying zoning will be in place, it is anticipated that the proposed approach will not generate a significant amount of public interest. Therefore the standard bylaw adoption and public consultation processes are proposed. This is consistent with the approach used to establish the first set of underlying bylaws brought forward for the remaining LUCs containing multi-family, commercial, industrial, and agriculture land uses in the fall of 2017, and this same approach will be proposed for the remaining underlying zoning bylaws that are subsequently to be brought forward on the basis of their geographic area.

The standard bylaw adoption and public consultation process involves the underlying zoning bylaws being considered at a Planning Committee meeting, bylaw readings by City Council, the publication of the statutory Public Hearing Notice and newspaper ads, and includes the holding of a regular Public Hearing in the Council Chambers. This approach does not require additional financial or human resources beyond that of the standard rezoning and Public Hearing processes.

Prior to each Public Hearing at which underlying zoning bylaws are to be considered, a press release will be issued to publicize Council's decision to establish underlying zoning bylaws for the affected properties and to direct further inquiries to the City's LUC webpage, and to the general LUC inquiry email address and phone number. Staff will also send a letter to each of the affected property owners; which will contain information that is specific to the proposed underlying zoning for their respective property.

Following each Public Hearing, Council may consider adoption of those underlying zoning bylaws that do not require any additional approvals (e.g., by the Ministry of Transportation and Infrastructure (MOTI)). For those bylaws that do require additional approvals, Council may consider bylaw adoption at a subsequent Council meeting after the required approvals have been granted.

Following adoption of the underlying zoning bylaws, the existing LUCs on the affected properties will remain effective until June 30, 2024, after which time the underlying zoning bylaws will be in place to govern the use and development of the properties.

#### **Financial Impact**

As mentioned in the previous section, the consideration of the proposed Bylaws 9799 through 9811 by the Planning Committee, City Council, and at a regular Public Hearing in the Council Chambers, will not require additional financial or human resources beyond that of the standard rezoning and Public Hearing processes.

#### Conclusion

Consistent with the *Local Government Act*, City Council will have to consider bylaws to establish underlying zoning for the properties developed under the remaining LUCs in the city prior to June 30, 2022.

Staff propose to bring forward the underlying zoning bylaws for the remaining LUCs as separate items on the basis of their geographic area for consideration by Planning Committee, City Council, and at regular Public Hearings in the Council Chambers.

This report brings forward 11 underlying zoning bylaws for 20 multi-family and commercial properties developed under Land Use Contracts 001, 025, 051, 073, 096, 104, 115, 119, 131, 138 and 158 in the south portion of the City Centre area.

Staff recommend that Richmond Zoning Bylaw 8500, Amendment Bylaws 9799, 9801, 9802, 9804, 9805, 9806, 9807, 9808, 9809, 9810, and 9811, be introduced and given first reading.

Cynthia Lussier

Planner 1

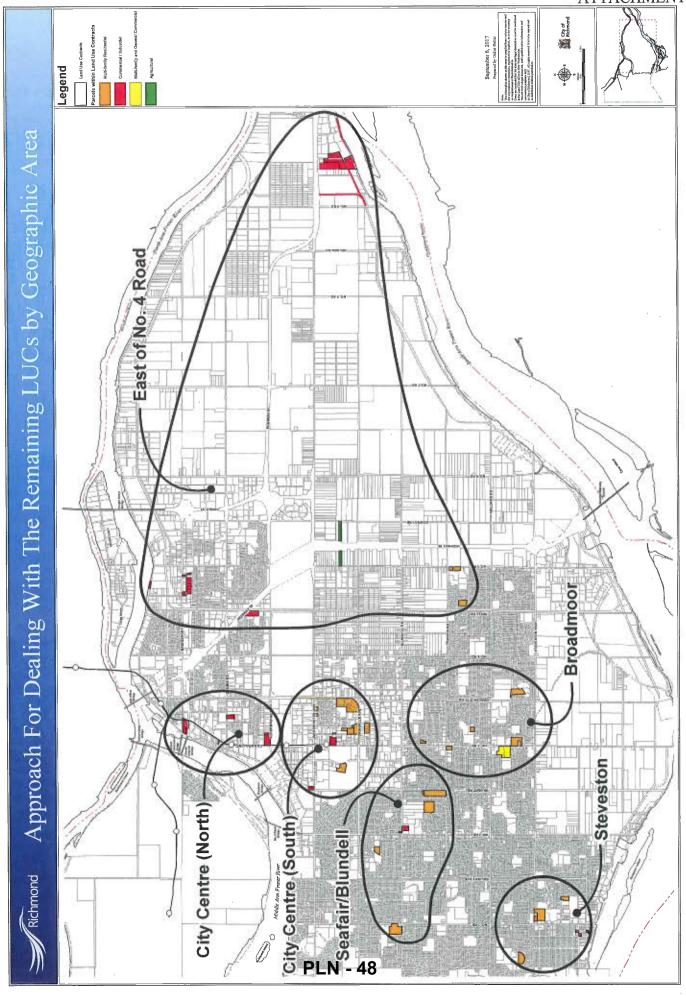
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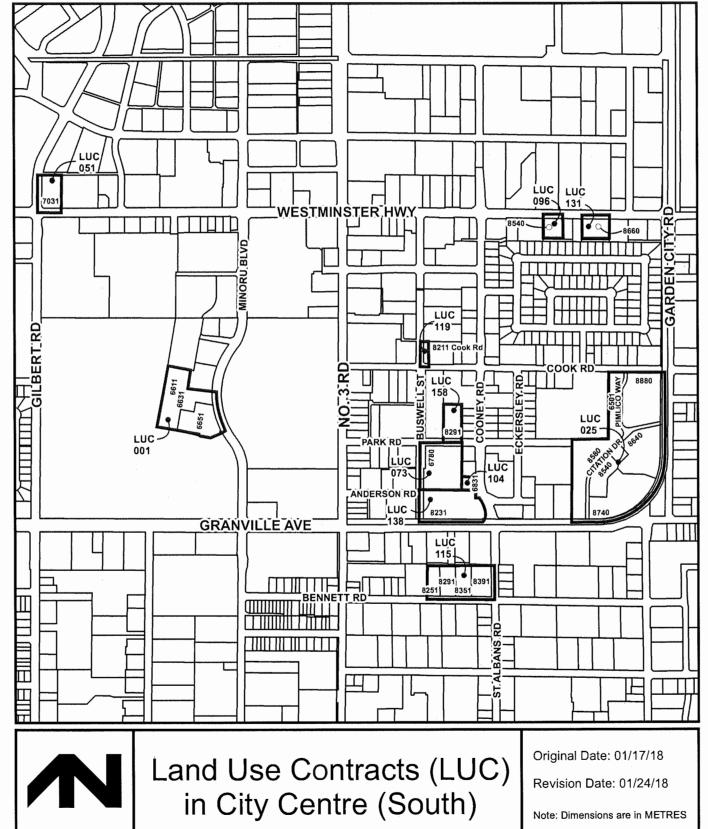
# Attachments:

Attachment 1: Land Use Contracts by Geographic Area Attachment 2: Land Use Contracts in City Centre (South)

Attachment 3: Land Use Contract Summary and Comparison Tables







# Attachment 3

# Land Use Contract Summary & Comparison Tables

**LUC 001** 

**LUC 025** 

**LUC 051** 

**LUC 073** 

**LUC 096** 

**LUC 104** 

**LUC 115** 

**LUC 119** 

**LUC 131** 

**LUC 138** 

**LUC 158** 

#### **Land Use Contract 001**

Number of properties: 2, plus strata-titled units

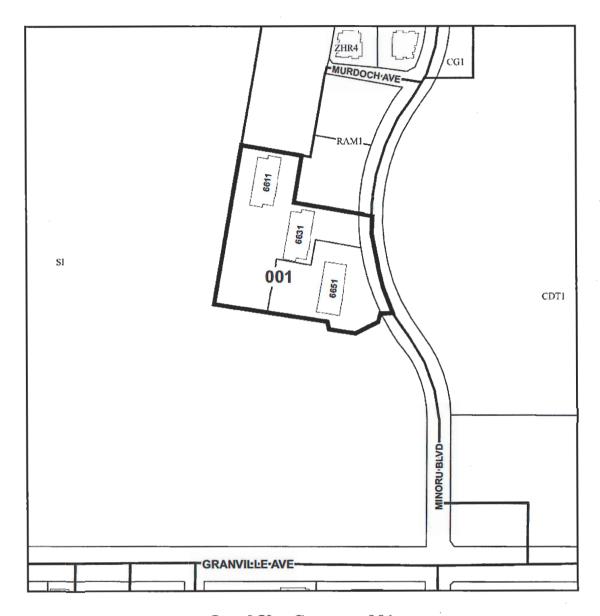
Number of Multi-Family Units: 561

**Proposed Zone:** 

High Rise Apartment (ZHR14) - Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 001	ZHR14
Permitted Uses:	<ul> <li>apartment housing</li> <li>beauty parlour, limited to a maximum of 65 m<sup>2</sup></li> </ul>	Permitted Uses
FAR (max)	1.90	1.90
Lot Coverage (max)	29%	29% for buildings containing apartment housing.
Setbacks (min)	As per drawings (varies per lot)	Diagram 1 (varies per lot)
Building Height (max)	47.0 m	<ul> <li>Buildings 47.0 m geodetic</li> <li>Accessory buildings 5.0 m</li> <li>Accessory structures 12.0 m</li> </ul>



**Land Use Contract 001** 

#### **Land Use Contract 025**

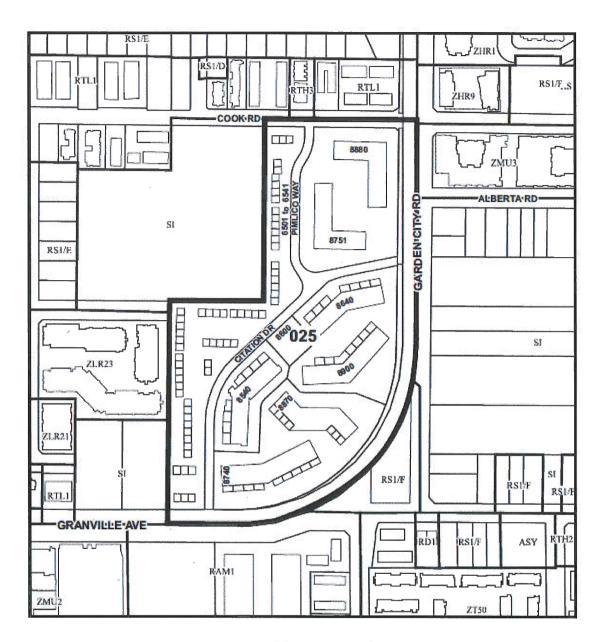
Number of Properties: 6, plus strata-titled units

Number of Multi-Family Units: 515

Proposed Zones: Low Rise Apartment and Town Housing (ZLR32) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 025	ZLR32
Permitted Uses:	Residential multiple family dwellings and apartments	Permitted Uses
FAR (max)	N/A	Diagram 1 (varies per lot; 0.55 to 1.03)
Lot Coverage (max)	As per drawings	Buildings:  • 40% (Areas A, B, C, E, F)  • 30% (Area D)  Buildings, structures, and non-porous surfaces: 80%  Live plant material (min): 20%
Setbacks (min)	As per drawings (varies per lot)	<ul> <li>6.0 m to 13.7 m (Areas A, B, C, E, F)</li> <li>1.5 m to 15.2 m (Area D)</li> </ul>
Height (max)	Varies per lot (from 2 to 4 storeys, including parking)	Diagram 1 (varies per lot; 7.5 m to 15.0 m)



**Land Use Contract 025** 

# **Land Use Contract 051**

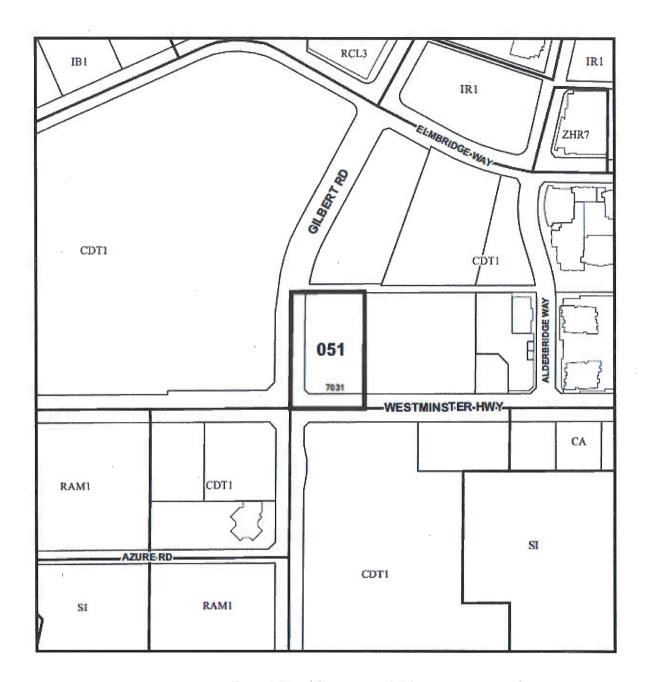
Number of properties: 1 Number of Units: 36

Proposed Zone:

Office Commercial (ZC46) – Lansdowne Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 051	ZC46
Permitted Uses:	<ul> <li>professional and mercantile offices</li> <li>retail trade, limited to a total floor area of 235 m²</li> </ul>	Permitted Uses
FAR (max)	N/A	1.10
Lot Coverage (max)	As per drawings	30% for buildings
Front Yard Setback (min)	As per drawings	20.0 m
Interior Side Yard Setback (min)		10.5 m
Exterior Side Yard Setbakc (min)		1.5 m
Rear Yard Setback (min)		35.0 m
Building Height (max)	N/A	<ul> <li>Buildings: 15.0 m</li> <li>Accessory buildings: 5.0 m</li> <li>Accessory structures: 12.0 m</li> </ul>



**Land Use Contract 051** 

#### Land Use Contract 073

Number of properties: 1

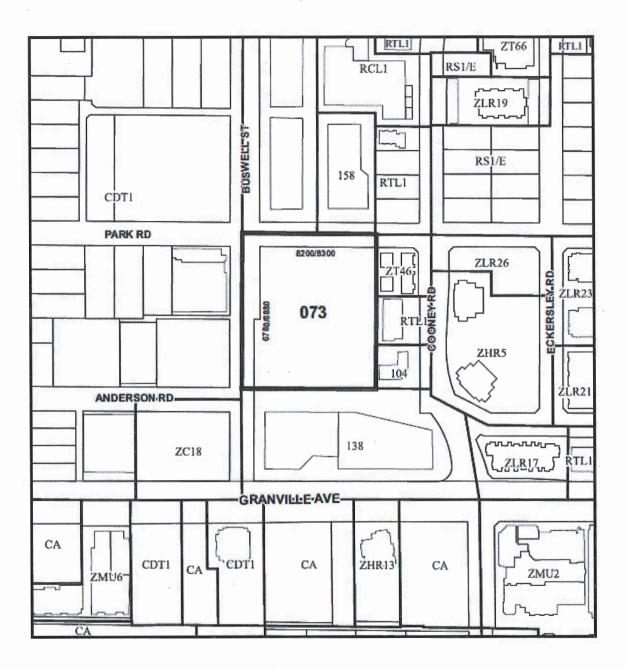
Number of Multi-Family Units: 174

**Proposed Zone:** 

Low Rise Apartment (ZLR33) - Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 073	ZLR33
Permitted uses	Residential apartments	Permitted Uses
FAR (max)	1.00 (as per drawings)	1.00
Lot Coverage (max)	As per drawings (35%)	35% for buildings containing apartment housing
Front Yard Setback (min)	As per drawings	7.5 m
Interior Side Yard Setback (min)		6.0 m
Exterior Side Yard Setback (min)		4.5 m
Rear Yard Setback (min)		7.5 m
Height (max)	3 storeys, over ground level covered parking	<ul> <li>Buildings: 15.0 m but containing no more than 3 storeys over one ground level of covered parking</li> <li>Accessory buildings 5.0 m</li> <li>Accessory structures 12.0 m</li> </ul>



**Land Use Contract 073** 

# Land Use Contract 096

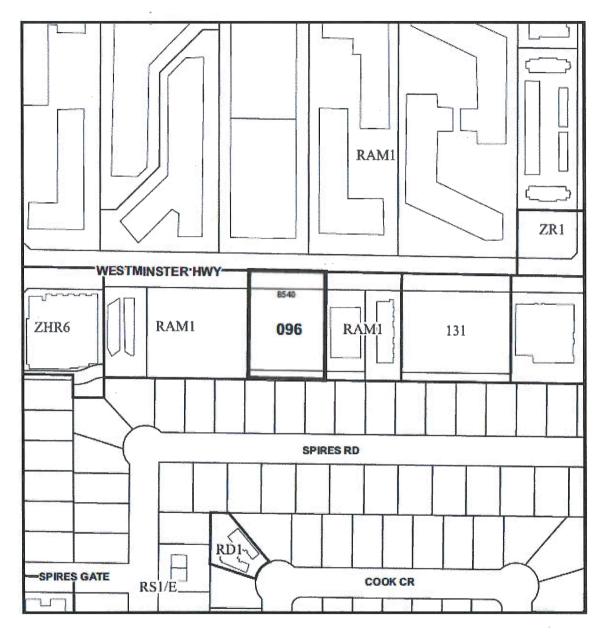
Number of properties: 1

Number of Multi-Family Units: 35

Proposed Zones: Low Rise Apartment (ZLR 34) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 096	ZLR34
Permitted uses	Residential apartments	Permitted Uses
FAR (max)	N/A	1.22
Lot Coverage (max)	N/A	Buildings: 40% for buildings Buildings, structures, and non-porous surfaces: 80% Live plant material (min): 20%
Front Yard Setback (min)	As per drawings	12.0 m
Side Yard Setback (min)		5.5 m
Rear Yard Setback (min)		13.5 m
Height (max)	4 storeys, including ground level parking	<ul> <li>Buildings: 15.0 m but containing no more than 4 storeys, including ground level parking</li> <li>Accessory buildings 5.0 m</li> <li>Accessory structures 12.0 m</li> </ul>



**Land Use Contract 096** 

# **Land Use Contract 104**

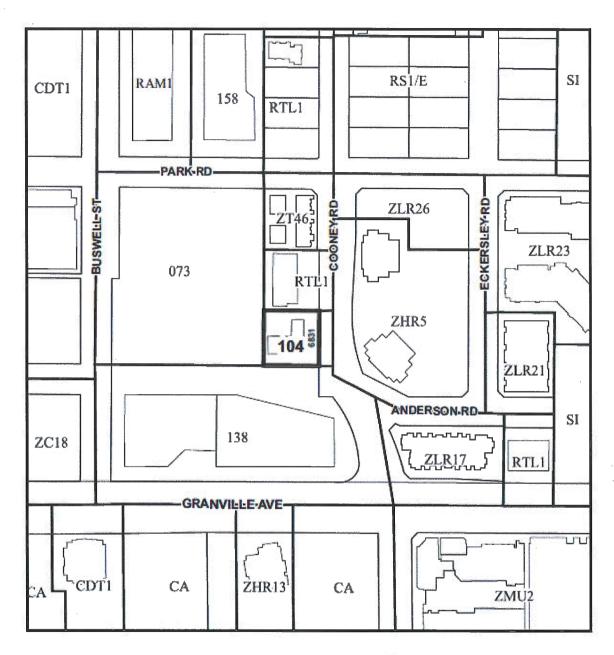
Number of properties: 1, plus strata-titled units

Number of Multi-Family Units: 7

Proposed Zones: Town Housing (ZT84) – Cooney Road (Brighouse Village of City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 104	ZT84
Permitted uses	Residential horizontal multiple one-family dwellings	Permitted Uses
FAR (max)	As per drawings (0.60)	0.60
Lot Coverage (max)	As per drawings (33%)	33% for buildings
Front Yard Setback (min)	As per drawings	7.5 m
Side Yard Setback (min)		<ul><li>North: 7.0 m</li><li>South: 6.5 m</li></ul>
Rear Yard Setback (min)		3.0 m
Height (max)	10.7 m	10.7 m but containing no more than 3 storeys.



**Land Use Contract 104** 

#### **Land Use Contract 115**

Number of properties: 4, plus strata-titled units

**Number of Multi-Family Units:** 

• Area A:

32

Area B and

Area B and C: 38 each

• Area D:

48

Total:

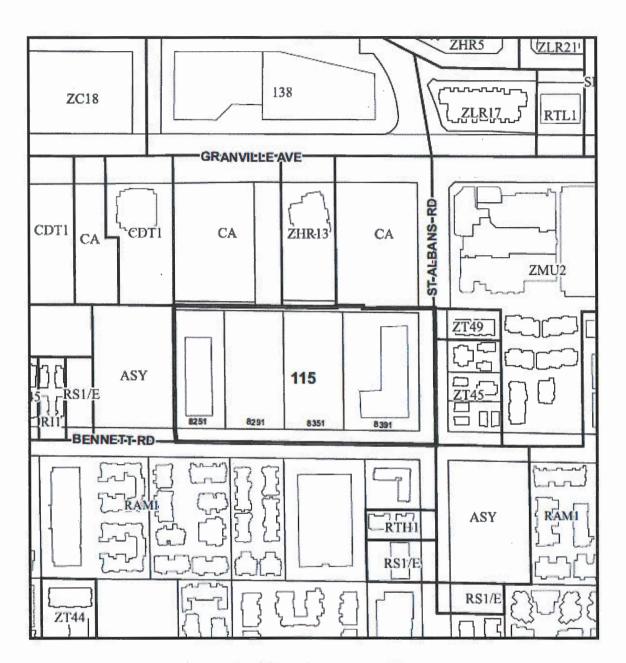
156

**Proposed Zones:** 

Low Rise Apartment (ZLR35) - St. Albans Sub Area (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 115	ZLR35
Permitted Uses	Residential apartments	Permitted Uses:
		Secondary Uses: <ul> <li>boarding and lodging</li> <li>community care facility, minor</li> <li>home business</li> </ul>
FAR (max)	N/A	Diagram 1 (varies per lot)  Area A: 0.74  Area B and C: 1.10 on each lot  Area D 1.01
Lot Coverage (max)	As per drawings	Buildings: 40% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%
Setbacks (min)	As per drawings	Diagram 1 (varies per lot; 6.0 m to 18.2 m)
Height (max)	Varies per lot (2 storeys to 4 storeys, including ground level parking)	<ul> <li>Diagram 1 (varies per lot).</li> <li>Area A: 9.0 m, but containing no more than 2 storeys</li> <li>Area B, C, and D: 15.0 m, but containing no more than 4 storeys including one ground level of covered parking</li> </ul>



**Land Use Contract 115** 

#### **Land Use Contract 119**

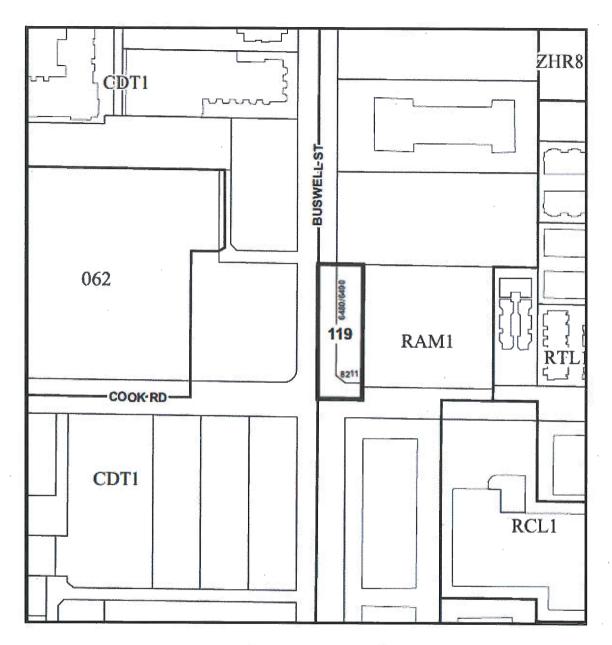
Number of properties: 1 Number of Units: 4

**Proposed Zones:** Office (ZC4

Office (ZC47) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 119	ZC47
Permitted Uses	Offices and drafting space for engineering-related disciplines, and for dentists, physicians, lawyers and accountants	<ul><li>minor health service</li><li>office</li></ul>
FAR (max)	N/A	1.15
Lot Coverage (max)	N/A	Buildings: 57% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%
Front Yard Setback (min)	As per drawings	6.1 m
Interior Side Yard Setback (min)		0.2 m
Exterior Side Yard Setback (min)		<ul> <li>0.0 m for no more than 17% of the side façade of the building, to be used only for entrances, exits, and stairs; and</li> <li>4.0 m for at least 83% of the side façade of the building.</li> </ul>
Rear Yard Setback (min)		<ul> <li>0.41 m for no more than 48% of the rear façade of the building, to be used only for entrances, exits, and stairs; and</li> <li>4.85 m for at least 52% of the rear façade of the building.</li> </ul>
Height (max)	2 storeys, including ground level parking	9.0 m, but containing no more than 2 storeys including ground level parking



**Land Use Contract 119** 

# **Land Use Contract 131**

Number of properties: 1

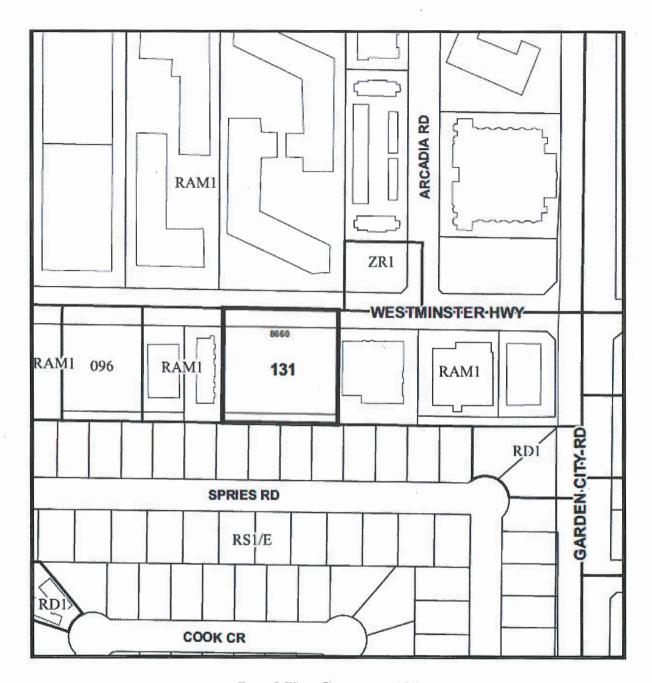
Number of Multi-Family Units: 45

**Proposed Zones:** 

Low Rise Apartment (ZLR36) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 131	ZLR36
Permitted Uses	Residential apartments	Permitted Uses:
FAR (max)	N/A	1.20
Lot Coverage (max)	As per drawings	Buildings: 40% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%
Front Yard Setback (min)	As per drawings	12.0 m
Side Yard Setback (min)		8.5 m
Rear Yard Setback (min)		10.0 m
Height (max)	4 storeys, including ground level parking	15.0 m, but containing no more than 4 storeys including ground level parking



**Land Use Contract 131** 

#### **Land Use Contract 138**

Number of properties: 1, plus strata-titled units

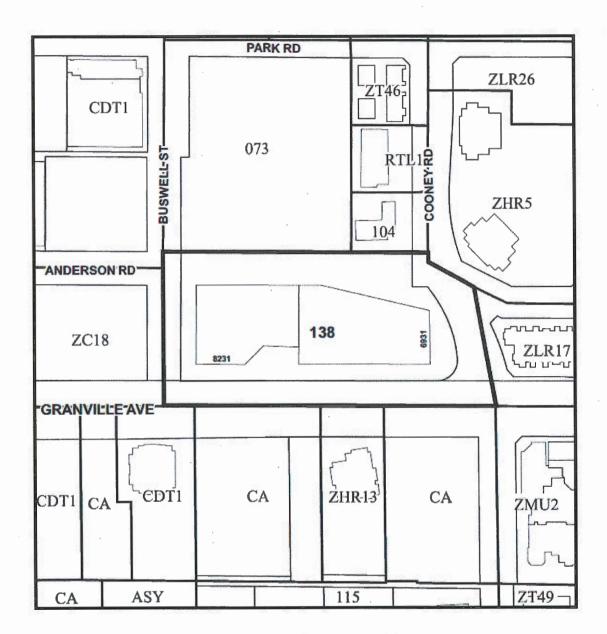
Number of Multi-Family Units: 129

**Proposed Zones:** 

Low Rise Apartment (ZLR37) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 138	ZLR37
Permitted Uses	Residential apartments	Permitted Uses:
FAR (max)	N/A	0.85
Lot Coverage (max)	As per drawings	29% for buildings containing apartment housing
Setbacks (min)	As per drawings	<ul> <li>5.0 m to Cooney Road</li> <li>7.5 m to Granville Avenue</li> <li>6.0 m to Buswell Street</li> <li>17.0 m to north interior side yard</li> </ul>
Height (max)	4 storeys, including one ground level of parking	15.0 in, but containing no more than 4 storeys including one ground level of parking



**Land Use Contract 138** 

#### **Land Use Contract 158**

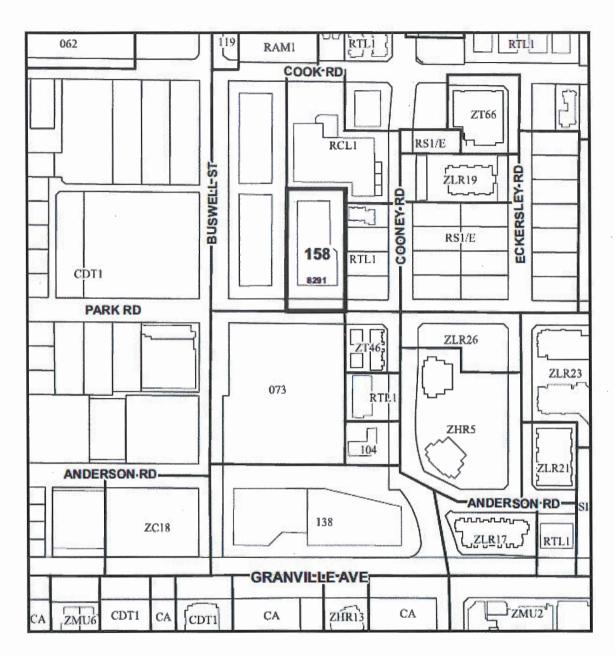
Number of properties: 1, plus strata-titled units

Number of Multi-Family Units: 56

Proposed Zones: Low Rise Apartment (ZLR38) – Brighouse Village (City Centre)

The table below is intended to provide a general comparison between the land use contract regulations and the proposed new zone. The table may not include site specific amendments or court orders made since registration of the land use contract.

	LUC 158	ZLR38
Permitted Uses	Residential apartments	Permitted Uses:
FAR (max)	N/A	1.20
Lot Coverage (max)	As per drawings	Buildings: 50% Building, structures, and non-porous surfaces: 80% Live plant material (min): 20%
Front Yard Setback (min)		7.5 m
Interior Side Yard Setback (min)		<ul><li>East: 6.0 m</li><li>West: 9.0 m</li></ul>
Rear Yard Setback (min)		7.0 m
Height (max)	4 storeys, including ground level parking	15.0 m, but containing no more than 4 storeys including ground level parking



**Land Use Contract 158** 



# Richmond Zoning Bylaw 8500, Amendment Bylaw 9799 to Establish Zoning for the Properties Developed under Land Use Contract 001

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 19 (Site Specific Residential (Higher Density) Zones), in numerical order:

## " 19.14 High Rise Apartment (ZHR14) – Brighouse Village (City Centre)

## 19.14.1 Purpose

The **zone** provides for high rise **apartment housing**, and compatible **uses**. This **zone** is for the properties developed under Land Use Contract 001 on Minoru Boulevard in the Brighouse Village of City Centre.

## 19.14.2 Permitted Uses

- child care
- housing, apartment

## 19.14.3 A. Secondary Uses

- boarding and lodging
- community care facility, minor
- home business

#### 19.14.3 B. Additional Uses

service, personal

## 19.14.4 Permitted Density

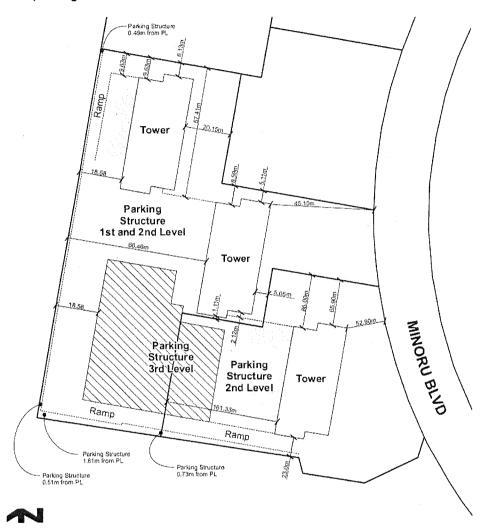
- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 561.
- 2. The maximum number of **buildings** for **apartment housing** in this **zone** is three.
- 3. The maximum floor area ratio is 1.90.

## 19.14.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 29% for **buildings** containing **apartment housing**.

## 19.14.6 Yards & Setbacks

- 1. The minimum **setbacks** shall be as shown in Diagram 1 in Section 19.14.6.1.a).
  - a) Diagram 1



## 19.14.7 Permitted Heights

- 1. The maximum **height** for **buildings** is 47.0 m geodetic.
- 2. The maximum **height** for **accessory buildings** is 5.0 m.
- 3. The maximum **height** for **accessory structures** is 12.0 m.

## 19.14.8 Subdivision Provisions/Minimum Lot Size

1. There are no minimum **lot width** and **lot depth** requirements.

- 2. The minimum **lot area** requirement for the following listed site is 12,865 m<sup>2</sup>:
  - a) 6611 and 6631 Minoru Boulevard Strata Plan NWS2677.
- 3. The minimum **lot area** requirement for the following listed site is 7,260 m<sup>2</sup>:
  - a) 6651 Minoru Boulevard Strata Plan NWS195.

## 19.14.9 Landscaping & Screening

 Landscaping and screening shall be provided in accordance with the provisions of Section 6.0, except that screening is to be used between the parkade structure and the adjacent park.

## 19.14.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.25 **vehicle parking spaces** per **dwelling unit**.

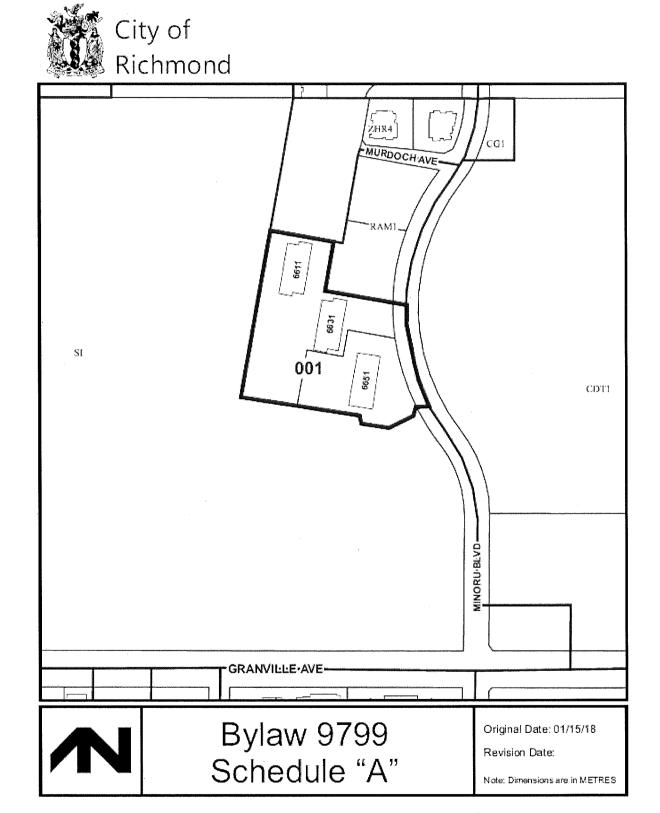
## 19.14.11 Other Regulations

- In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. **Personal service** shall be limited to a total **floor area** of 65 m<sup>2</sup>.
- 3. For the purpose of this **zone** (ZHR14) only, **personal service** means a beauty parlour.
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9799" as "High Rise Apartment (ZHR14) Brighouse Village (City Centre)".

3.

FIRST READING		CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor
ADOPTED		<u> </u>
·		
MAYOR	CORPORATE OFFICER	

This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9799".





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9801 to Establish Zoning for the Properties Developed under Land Use Contract 025

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## "18.32 Low Rise Apartment and Town Housing (ZLR32) – Brighouse Village (City Centre)

## 18.32.1 Purpose

The zone provides for low rise apartment housing and town housing, and compatible uses. This zone is for the properties developed under Land Use Contract 025 on Citation Drive, Cook Road, and Pimlico Way in the Brighouse Village of City Centre.

## 18.32.2 Permitted Uses

- child care
- · housing, apartment
- housing, town

## 18.32.3 Secondary Uses

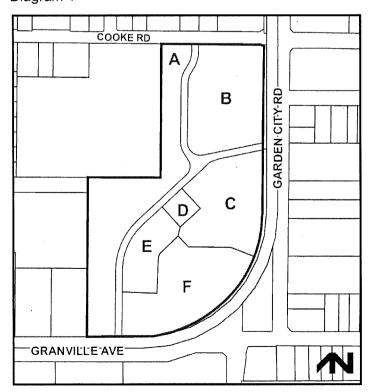
- boarding and lodging
- community care facility,
   minor
- home business

## 18.32.4 Permitted Density

- 1. In the area identified as "A" on Diagram 1, Section 18.32.4.7:
  - a) The maximum number of dwelling units for town housing is 63;
  - b) The maximum floor area permitted per dwelling unit is 149 m<sup>2</sup>; and
  - c) The maximum floor area ratio is 0.55.
- 2. In the area identified as "B" on Diagram 1, Section 18.32.4.7:
  - a) The maximum number of **dwelling units** for **apartment housing** is 102;
  - b) The maximum number of **buildings** for **apartment housing** is two;
  - c) The maximum floor area permitted per dwelling unit is 140 m<sup>2</sup>; and
  - d) The maximum floor area ratio is 1.03.

- 3. In the areas identified as "C" on Diagram 1, Section 18.32.4.7:
  - a) The maximum total number of **dwelling units** for **apartment housing** is 134.
  - b) The maximum total number of **buildings** for **apartment housing** is two.
  - c) The maximum floor area ratio is 0.88.
- 4. In the area identified as "D" on Diagram 1, Section 18.32.4.7:
  - a) The maximum **floor area** permitted is 588 m<sup>2</sup>, provided that it is entirely used to accommodate **amenity space**.
- 5. In the areas identified as "E" on Diagram 1, Section 18.32.4.7:
  - a) The maximum total number of **dwelling units** for **apartment housing** is 74.
  - b) The maximum total number of **buildings** for **apartment housing** is one.
  - c) The maximum floor area ratio is 0.82.
- 6. In the areas identified as "F" on Diagram 1, Section 18.32.4.7:
  - a) The maximum total number of **dwelling units** for **apartment housing** is 149.
  - b) The maximum total number of **buildings** for **apartment housing** is two.
  - c) The maximum floor area ratio is 1.02.

### 7. Diagram 1



## 18.32.5 Permitted Lot Coverage

- 1. The maximum lot coverage for buildings is:
  - a) 40% in the areas identified as "A", "B", C", "E", and "F" on Diagram 1, Section 18.32.4.7; and
  - d) 30% in the area identified as "D" on Diagram 1, Section 18.32.4.7.
- 2. No more than 80% of the **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 18.32.6 Yards & Setbacks

- 1. In the area identified as "A" on Diagram 1, Section 18.32.4.7, the minimum **setback** to any **lot line** is 6.0 m.
- 2. In the area identified as "B" on Diagram 1, Section 18.32.4.7:
  - a) the minimum setback to Cook Road and Garden City Road is 12.1 m;
  - c) the minimum setback to Pimlico Way is 10.6 m; and
  - d) the minimum **setback** to Citation Drive is 13.7 m.
- 3. In the areas identified as "C", "E", and "F" on Diagram 1, Section 18.32.4.7:
  - a) the minimum setback to Citation Drive is 6.0 m;
  - b) the minimum **setback** to Garden City Road and Granville Avenue is 13.7 m; and
  - c) the minimum **setback** to any other **lot line** is 7.6 m.
- 4. In the area identified as "D" on Diagram 1, Section 18.32.4.7:
  - a) the minimum **setback** to Citation Drive is 1.5 m;
  - b) the minimum interior side yard is 1.7 m; and
  - c) the minimum rear yard is 15.2 m.

### 18.32.7 Permitted Heights

- 1. The maximum **height** for **buildings** for **town housing** is 9.0 m, but containing no more than 2 ½ **storeys**.
- 2. The maximum **height** for **buildings** for **apartment housing** is 15.0, but containing no more than 4 **storeys** including parking.
- 3. The maximum height for accessory buildings is 5.0 m, except that the maximum height for a building containing amenity space in the area identified as "D" on Diagram 1, Section 18.32.4.7 is 9.0 m for a building with a pitched roof and 7.5 m for a building with a flat roof, but in either case containing no more than 2 storeys.

4. The maximum height for **accessory structures** is 9.0 m.

## 18.32.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot area** requirements are:
  - a) 17,700 m<sup>2</sup> in the area identified as "A" on Diagram 1, Section 18.32.4.7;
  - b) 13,800 m<sup>2</sup> in the area identified as "B" on Diagram 1, Section 18.32.4.7;
  - c) 11,800 m<sup>2</sup> in the area identified as "C" on Diagram 1, Section 18.32.4.7;
  - d) 1,300 m<sup>2</sup> in the area identified as "D" on Diagram 1, Section 18.32.4.7;
  - e) 5,100 m² in the area identified as "E" on Diagram 1, Section 18.32.4.7; and
  - f) 13,700 m<sup>2</sup> in the area identified as "F" on Diagram 1, Section 18.32.4.7.

## 18.32.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

## 18.32.10 On-Site Parking and Loading

- 1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement:
  - a) in the area identified as "B" on Diagram 1, Section 18.32.4.7 shall be 1.5 **vehicle parking spaces** per **dwelling unit**; and
  - b) in the area identified as "C", "E", and "F" on Diagram 1, Section 18.32.4.7 shall be 1.38 **vehicle parking spaces** per **dwelling unit** and of which a minimum of 0.15 **vehicle parking spaces** per **dwelling unit** shall be designated for visitors.

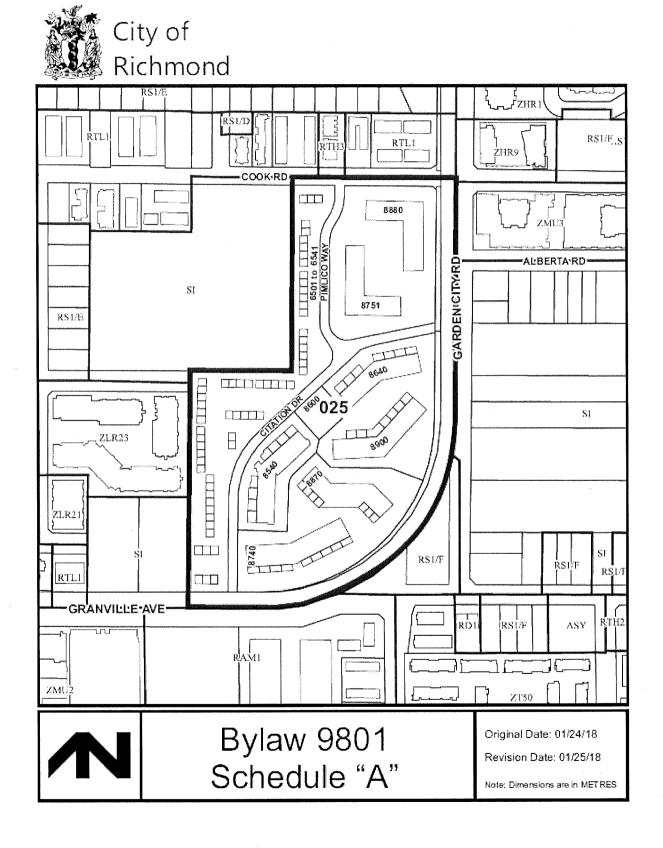
## 18.32.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply.
- 2. **Town housing** shall be limited to the areas identified as "A" on Diagram 1, Section 18.32.4.7.
- 3. **Apartment housing** shall be limited to the areas identified as "B", "C", "E" and "F" on Diagram 1, Section 18.32.4.7."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9801" as "Low Rise Apartment and Town Housing (ZLR32) Brighouse Village (City Centre)".

3.

FIRST READING		CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON	· ·	APPROVED by
SECOND READING		APPROVED by Director or Solicitor
THIRD READING	·	MA .
ADOPTED		
•		
MAYOR	CORPORATE OFFICER	

This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9801".





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9802 to Establish Zoning for the Property Developed under Land Use Contract 051

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

## " 22.46 Office Commercial (ZC46) – Lansdowne Village (City Centre)

## 22.46.1 Purpose

The **zone** provides for limited **commercial**, **office**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 051 on Westminster Highway in the Lansdowne Village of City Centre.

22.46.2	Permitted Uses	22.46.3	A. Secondary Uses
	<ul> <li>child care</li> </ul>		• n/a
	<ul> <li>government service</li> </ul>		
	<ul> <li>health service, minor</li> </ul>	22.46.3	B. Additional Uses
	<ul> <li>office</li> </ul>		<ul> <li>restaurant</li> </ul>
	<ul> <li>veterinary service</li> </ul>		<ul> <li>retail, convenience</li> </ul>
			<ul> <li>retail, general</li> </ul>

## 22.46.4 Permitted Density

1. The maximum floor area ratio is 1.10.

## 22.46.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 30% for **buildings**.

### 22.46.6 Yards & Setbacks

- 1. The minimum front yard is 20.0 m.
- 2. The minimum interior side yard is 10.5 m.
- The minimum exterior side yard is 1.5 m.
- 4. The minimum rear yard is 35.0 m.

## 22.46.7 Permitted Heights

- 1. The maximum **height** for **buildings** is 15.0 m.
- 2. The maximum height for accessory buildings is 5.0 m.
- 3. The maximum height for accessory structures is 12.0 m.

#### 22.46.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 45.0 m.
- 2. The minimum **lot depth** is 70.0 m.
- 3. The minimum **lot area** is 4,500 m<sup>2</sup>.

## 22.46.9 Landscaping & Screening

- 1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.
- 2. In addition to section 22.46.9.1, a landscaped outdoor space with a minimum area of 300 m<sup>2</sup>, a minimum width of 10.0 m, and a minimum depth of 15.0 m shall be provided on the **site** in the southwest corner of the **front yard**.

## 22.46.10 On-Site Parking and Loading

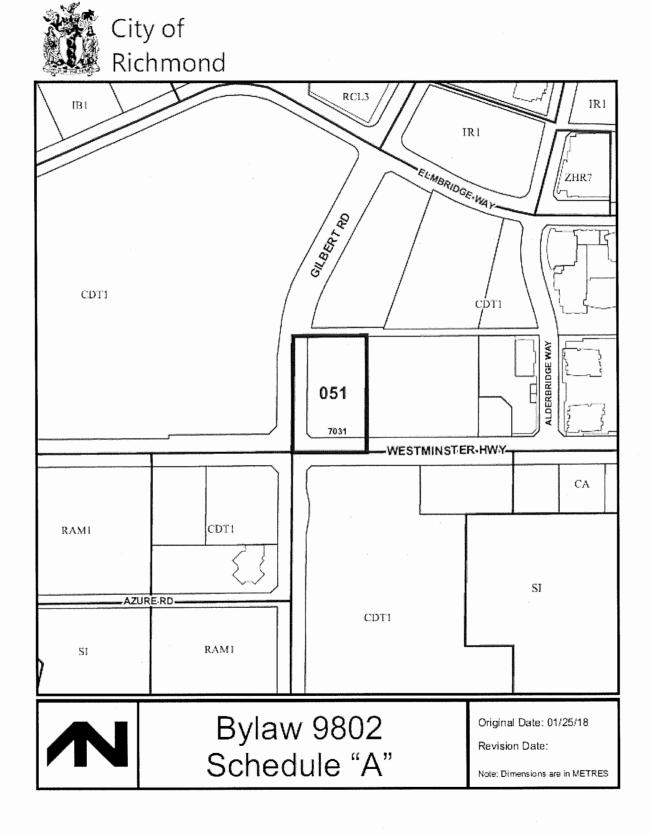
1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 91 **vehicle parking spaces**.

## 22.46.11 Other Regulations

- 1. The following listed **uses** combined shall be limited to a total **floor area** of 235 m<sup>2</sup>:
  - a) restaurant;
  - b) retail, convenience; and
  - c) retail, general.
- In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."

- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9802" as "Office Commercial (ZC46) Lansdowne Village (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9802".

FIRST READING	CITY OF RICHMOND  APPROVED
A PUBLIC HEARING WAS HELD ON	by Markoves
SECOND READING	APPROVED by Director or Solicitor
THIRD READING	VI
ADOPTED	
MAYOR	CORPORATE OFFICER





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9804 to Establish Zoning for the Property Developed under Land Use Contract 073

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## " 18.33 Low Rise Apartment (ZLR33) – Brighouse Village (City Centre)

## 18.33.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 073 on Buswell Street and Park Road in the Brighouse Village of City Centre.

18.33.3

## 18.33.2 Permitted Uses

- child care
- housing, apartment

## Secondary Uses

- · boarding and lodging
- community care facility, minor
- home business

## 18.33.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 174.
- 2. The maximum number of **buildings** for **apartment housing** is four.
- The maximum floor area ratio is 1.00.

## 18.33.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 35% for **buildings** containing **apartment housing**.

## 18.33.6 Yards & Setbacks

- 1. The minimum front yard is 7.5 m.
- 2. The minimum interior side yard is 6.0 m.

- 3. The minimum exterior side yard is 4.5 m.
- 4. The minimum rear yard is 7.5 m.

## 18.33.7 Permitted Heights

1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 3 **storeys** over one ground level of covered parking.

## 18.33.8 Subdivision Provisions/Minimum Lot Size

- The minimum lot width is 95.0 m.
- 2. The minimum **lot depth** is 115.0 m.
- 3. The minimum **lot area** is 11,500 m<sup>2</sup>.

## 18.33.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

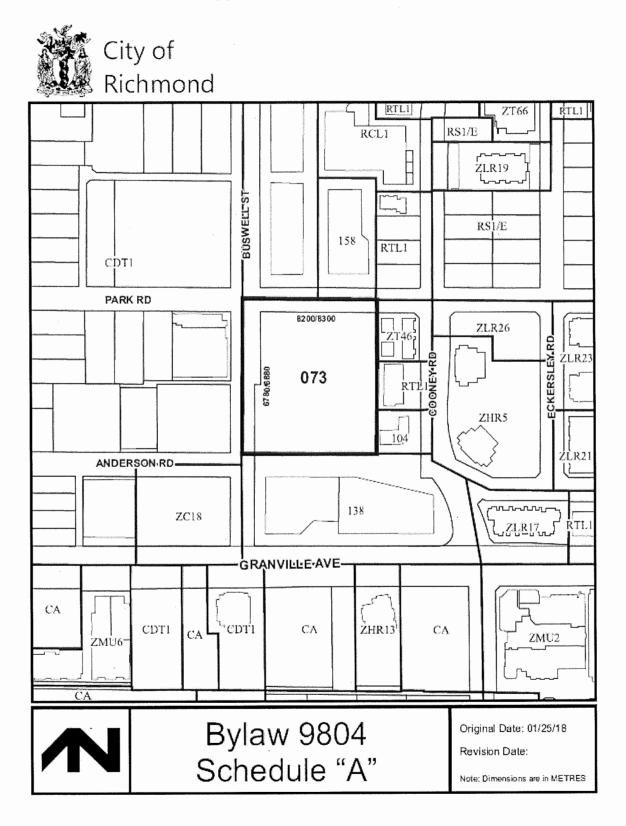
## 18.33.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 220 covered **vehicle parking spaces**, 10 visitor **parking spaces**, and 5 uncovered **parking spaces** for service vehicles.

## 18.33.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9804" as "Low Rise Apartment (ZLR33) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmon"	d Zoning Bylaw 8500, Amendment Bylaw 9804".
FIRST READING	CITY OF RICHMOND  APPROVED by
A PUBLIC HEARING WAS HELD ON	Q
SECOND READING	APPROVED by Director or Solicitor
THIRD READING	
ADOPTED	·
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MAYOR	CORPORATE OFFICER





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9805 to Establish Zoning for the Property Developed under Land Use Contract 096

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## " 18.34 Low Rise Apartment (ZLR34) – Brighouse Village (City Centre)

## 18.34.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 096 on Westminster Highway in the Brighouse Village of City Centre.

## 18.34.2 Permitted Uses

18.34.3

## Secondary Uses

- child care
  - housing, apartment

- boarding and lodging
- community care facility, minor
- home business

## 18.34.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 35.
- 2. The maximum number of **buildings** for **apartment housing** is one.
- 3. The maximum **floor area** permitted for a **dwelling unit** containing one **bedroom** is 56 m<sup>2</sup> exclusive of storage space.
- 4. The maximum **floor area** permitted for a **dwelling unit** containing two **bedrooms** is 75 m<sup>2</sup> exclusive of storage space.
- 5. The maximum floor area ratio is 1.22.

## 18.34.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 40% for **buildings**.

- 2. No more than 80% of the **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 18.34.6 Yards & Setbacks

- 1. The minimum front yard is 12.0 m.
- 2. The minimum interior side yard is 5.5 m.
- 4. The minimum rear yard is 13.5 m.

## 18.34.7 Permitted Heights

- 1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 4 **storeys** including ground level parking.
- 2. The maximum **height** for **accessory building** is 5.0 m.
- 3. The maximum **height** for **accessory structures** is 12.0 m.

## 18.34.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 50.0 m.
- 2. The minimum **lot depth** is 50.0 m.
- 3. There minimum **lot area** is 2,800.0 m<sup>2</sup>.

## 18.34.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

## 18.34.10 On-Site Parking and Loading

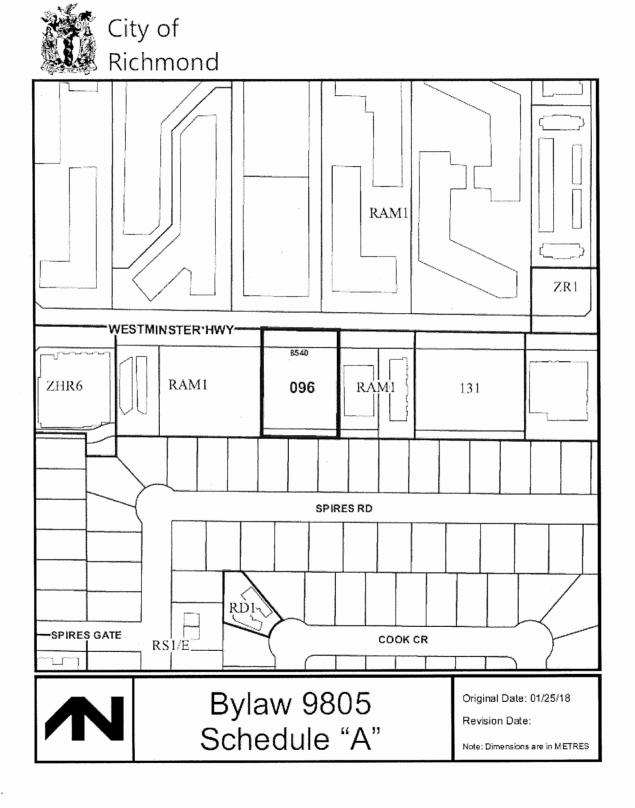
1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.5 **vehicle parking spaces** per **dwelling unit**.

## 18.34.11 Other Regulations

 In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."

- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9805" as "Low Rise Apartment (ZLR34) Brighouse Village (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9805".

FIRST READING	CITY OF RICHMOND
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THIRD READING	or Solicitor
ADOPTED	
MAYOR	CORPORATE OFFICER





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9806 to Establish Zoning for the Property Developed under Land Use Contract 104

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 17 (Site Specific Residential (Town Houses) Zones), in numerical order:

## "17.84 Town Housing (ZT84) – Cooney Road (Brighouse Village of City Centre)

## 17.84.1 Purpose

The **zone** provides for **town housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 104 on Cooney Road in the Brighouse Village of City Centre.

## 17.84.2 Permitted Uses

- child care
- housing, town

## 17.84.3 Secondary Uses

- boarding and lodging
- community care facility, minor
- home business

## 17.84.4 Permitted Density

- 1. The maximum number of **dwelling units** for **town housing** in this **zone** is 7.
- 2. The maximum floor area ratio is 0.60.

## 17.84.5 Permitted Lot Coverage

1. The maximum **lot coverage** for **buildings** is 33%.

#### 17.84.6 Yards & Setbacks

- 1. The minimum **front yard** is 7.5 m.
- 2. The minimum north interior side yard is 7.0 m.
- 3. The minimum south **interior side yard** is 6.5 m.
- 4. The minimum rear yard is 3.0 m.

## 17.84.7 Permitted Heights

1. The maximum **height** for **buildings** is 10.7 m, but containing no more than 3 **storeys**.

### 17.84.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 35.0 m.
- 2. The minimum **lot depth** is 35.0 m.
- 3. The minimum lot area is 1.300 m<sup>2</sup>.

## 17.84.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

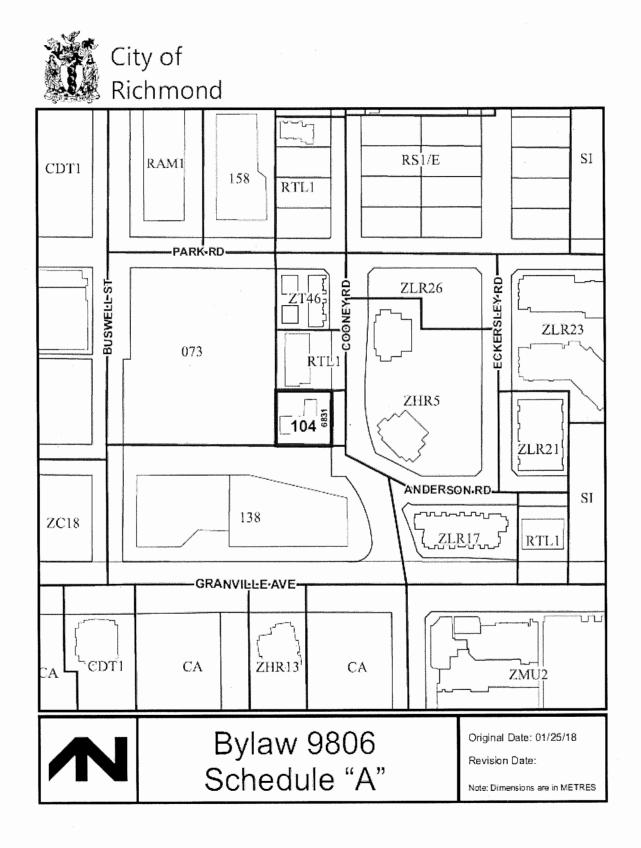
## 17.84.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.5 **vehicle parking spaces** per **dwelling unit**.

## 17.84.11 Other Regulations

- In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold-on "Schedule A attached to and forming part of Bylaw 9806" as "Town Housing (ZT84) Cooney Road (Brighouse Village of City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9806".

FIRST READING		CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director or Solicitor
THIRD READING		M)
ADOPTED		
MAYOR	CORPORATE OFFICER	





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9807 to Establish Zoning for the Properties Developed under Land Use Contract 115

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## " 18.35 Low Rise Apartment (ZLR35) – St. Albans Sub Area (City Centre)

## 18.35.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the properties developed under Land Use Contract 115 on Bennett Road in the St. Albans Sub Area of City Centre.

## 18.35.2 Permitted Uses

18.35.3

## Secondary Uses

- child care
- .
- boarding and lodging

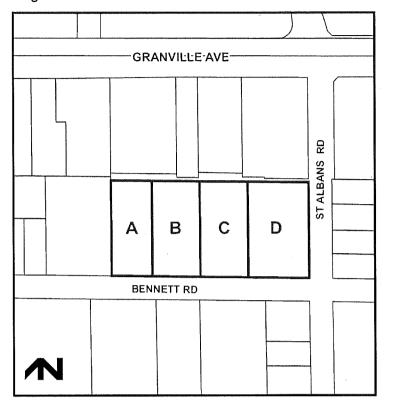
housing, apartment

- community care facility, minor
- home business

## 18.35.4 Permitted Density

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4:
  - a) The maximum number of **dwelling units** for **apartment housing** is 32; and
  - c) The maximum floor area ratio is 0.74.
- 2. In the areas identified as "B" and "C" on Diagram 1, Section 18.35.4.4:
  - a) The maximum number of **dwelling units** for **apartment housing** on each **lot** is 38; and
  - c) The maximum floor area ratio on each lot is 1.10.
- 3. In the area identified as "D" on Diagram 1, Section 18.35.4.4:
  - a) The maximum number of **dwelling units** for **apartment housing** is 48; and
  - c) The maximum floor area ratio is 1.01.

4. Diagram 1



## 18.35.5 Permitted Lot Coverage

- 1. The maximum **lot coverage** is 40% for **buildings**.
- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

## 18.35.6 Yards & Setbacks

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front yard is 7.6 m;
  - b) the minimum west interior side yard is 6.0 m;
  - c) the minimum east interior side yard is 9.1 m; and
  - d) the minimum rear yard is 18.2 m.
- 2. In the area identified as "B" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front and rear yard is 12.1 m;
  - b) the minimum west interior side yard is 9.1 m; and
  - c) the minimum east **interior side yard** is 10.6 m.

- 3. In the area identified as "C" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front and rear yard is 12.1 m;
  - b) the minimum west interior side yard is 10.6 m; and
  - c) the minimum east interior side yard is 9.1 m.
- 4. In the area identified as "D" on Diagram 1, Section 18.35.4.4:
  - a) the minimum front yard is 7.6 m;
  - b) the minimum interior side yard is 12.1 m;
  - c) the minimum exterior side yard is 7.6 m; and
  - d) the minimum rear yard is 9.1 m.

## 18.35.7 Permitted Heights

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4, the maximum **height** for **buildings** is 9.0 m but containing no more than 2 **storeys.**
- 2. In the area identified as "B", "C", and "D" on Diagram 1, Section 18.35.4.4, the maximum **height** for **buildings** is 15.0 m but containing no more than 4 **storeys** including one ground level of covered parking.
- 2. The maximum height for **accessory buildings** is 5.0 m.
- 3. The maximum height for accessory structures is 12.0 m.

#### 18.35.8 Subdivision Provisions/Minimum Lot Size

- 1. In the area identified as "A" on Diagram 1, Section 18.35.4.4:
  - a) the minimum lot width is 35.0 m;
  - b) the minimum lot depth is 80.0 m; and
  - c) the minimum lot area is 2,850 m<sup>2</sup>.
- 2. In the area identified as "B" and "C" on Diagram 1, Section 18.35.4.4:
  - a) the minimum lot width is 40.0 m;
  - b) the minimum lot depth is 80.0 m; and
  - c) the minimum lot area is 3,400 m<sup>2</sup>.
- 3. In the area identified as "D" on Diagram 1, Section 18.35.4.4:
  - a) the minimum lot width is 50.0 m;
  - b) the minimum lot depth is 80.0 m; and
  - c) the minimum **lot area** is 4,300 m<sup>2</sup>.

## 18.35.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

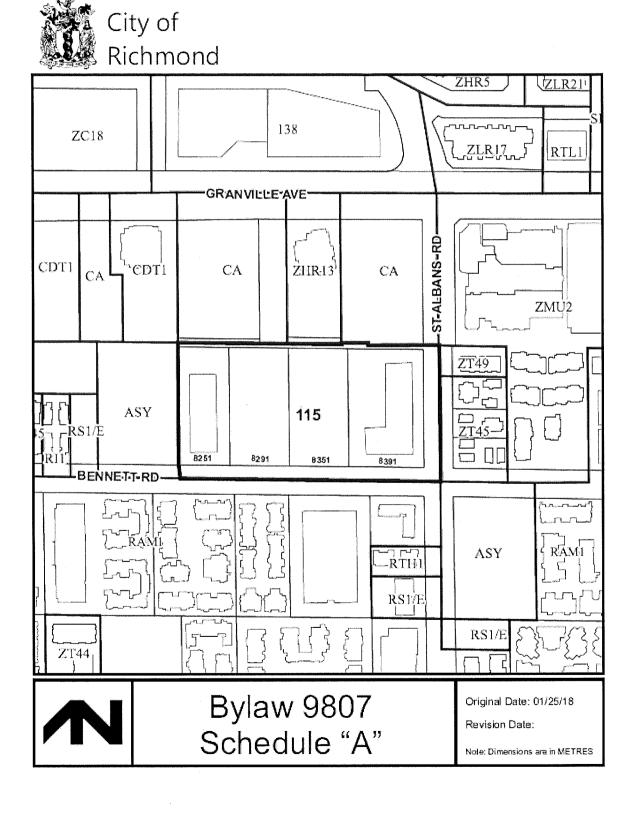
## 18.35.10 On-Site Parking and Loading

- 1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement:
  - a) In the area identified as "A" on Diagram 1, Section 18.35.4.4, shall be 32 vehicle parking spaces, and of which a minimum of 11 shall be designated for visitors; and
  - b) In the areas identified as "B", "C", and "D" on Diagram 1, Section 18.35.4.4, shall be the greater of 1.3 vehicle parking spaces per dwelling unit or 163 vehicle parking spaces, and of which a minimum of 18 shall be designated for visitors.

## 18.35.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9807" as "Low Rise Apartment (ZLR35) St. Albans Sub Area (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9807".

FIRST READING	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON	APPROVED by  M.
SECOND READING	APPROVED by Director
THIRD READING	or Solicitor  H
ADOPTED	
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MAYOR	CORPORATE OFFICER





## Richmond Zoning Bylaw 8500, Amendment Bylaw 9808 to Establish Zoning for the Property Developed under Land Use Contract 119

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 22 (Site Specific Commercial Zones), in numerical order:

## " 22.47 Office (ZC47) – Brighouse Village (City Centre)

## 22.47.1 Purpose

The **zone** provides for **office**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 119 on Cook Road in the Brighouse Village of City Centre.

## 22.47.2 Permitted Uses

22.47.3

Secondary Uses

n/a

- health service, minor
- office

## 22.47.4 Permitted Density

- 1. The maximum **floor area** permitted is 511 m<sup>2</sup>.
- 2. The maximum floor area ratio is 1.15.

## 22.47.5 Permitted Lot Coverage

- 1. The maximum **lot coverage** is 57% for **buildings**.
- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 22.47.6 Yards & Setbacks

- 1. The minimum front yard is 6.1 m.
- 2. The minimum interior side yard is 0.2 m.

- 3. The minimum exterior side yard is:
  - a) 0.0 m for no more than 17% of the side façade of the building, to be used only for entrances, exits, and stairs; and
  - b) 4.0 m for at least 83% of the side façade of the building.
- 4. The minimum rear yard is:
  - a) 0.41 m for no more than 48% of the rear façade of the **building**, to be used only for entrances, exits, and stairs; and
  - b) 4.85 m for at least 52% of the rear façade of the **building**.

## 22.47.7 Permitted Heights

1. The maximum **height** for **buildings** is 9.0 m but containing no more than 2 **storeys**, including ground level parking.

### 22.47.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum lot width is 10.0 m.
- 2. The minimum lot depth is 55.0 m.
- 3. The minimum lot area is 750 m<sup>2</sup>.

## 22.47.9 Landscaping & Screening

 Landscaping and screening shall be provided in accordance with the provisions of Section 6.0.

## 22.47.10 On-Site Parking and Loading

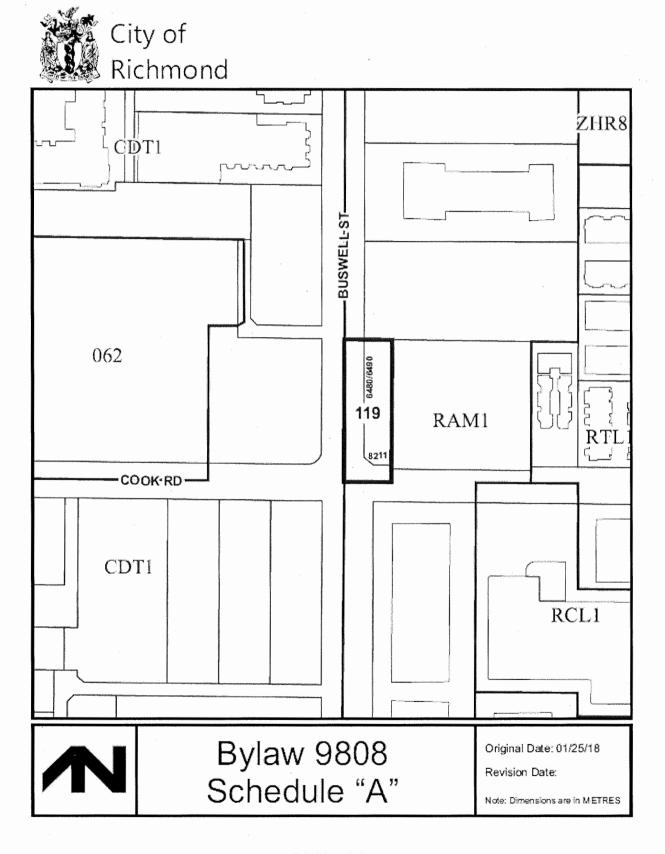
1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 19 **vehicle parking spaces**.

## 22.47.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9808" as "Office (ZC47) Brighouse Village (City Centre)".

3. This Bylaw may be cited as "Richmond Zo	oning Bylaw 8500, Amendment Bylaw 9808"	
FIRST READING		CITY OF RICHMOND APPROVED
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SECOND READING		APPROVED by Director or Solicitor
THIRD READING		M
ADOPTED		
MAYOR	CORPORATE OFFICER	

Schedule A attached to and forming part of Bylaw 9808





## Richmond Zoning Bylaw 8500, Amendment Bylaw 9809 to Establish Zoning for the Property Developed under Land Use Contract 131

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## "18.36 Low Rise Apartment (ZLR36) – Brighouse Village (City Centre)

## 18.36.1 Purpose

The **zone** provides for low rise **apartment housing** and compatible **uses**. This **zone** is for the property developed under Land Use Contract 131 on Westminster Highway in the Brighouse Village of City Centre.

## 18.36.2 Permitted Uses

18.36.3

## Secondary Uses

child care

- boarding and lodging

housing, apartment

- community care facility, minor
- home business

## 18.36.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 45.
- 2. The maximum number of **buildings** for **apartment housing** is one.
- 3. The maximum floor area permitted for a dwelling unit containing one bedroom in apartment housing is 56 m<sup>2</sup> exclusive of storage space.
- 4. The maximum **floor area** permitted for a **dwelling unit** containing two bedrooms in **apartment housing** is 75 m<sup>2</sup> exclusive of storage space.
- 5. The maximum floor area ratio is 1.20.

## 18.36.5 Permitted Lot Coverage

1. The maximum lot coverage for buildings is 40%.

- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

### 18.36.6 Yards & Setbacks

- 1. The minimum front yard is 12.0 m.
- 2. The minimum interior side yard is 8.5 m.
- 3. The minimum rear yard is 10.0 m.

## 18.36.7 Permitted Heights

1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 4 **storeys** including ground level parking.

### 18.36.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 73.0 m.
- 2. The minimum **lot depth** is 54.0 m.
- 3. The minimum **lot area** is 4,045 m<sup>2</sup>.

## 18.36.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

### 18.36.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be provided at a ratio of a minimum 1.5 **vehicle parking spaces** per **dwelling unit**.

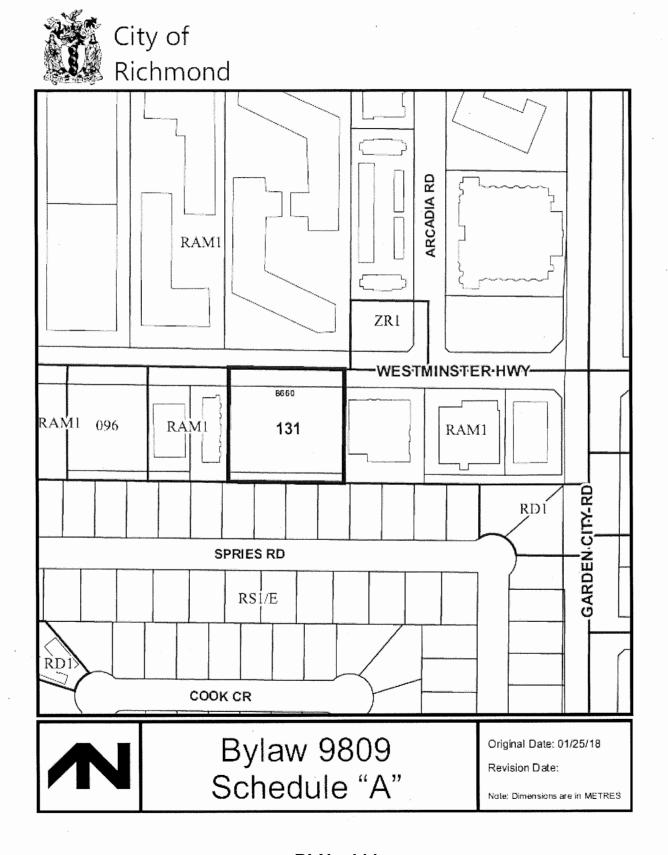
## 18.36.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9809" as "Low Rise Apartment (ZLR36) Brighouse Village (City Centre)".

3.

FIRST READING	CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON	APPROVED by
A PUBLIC HEARING WAS HELD ON	OL
SECOND READING	APPROVED by Director
THIRD READING	or Solicitor
ADOPTED	
MAYOR	CORPORATE OFFICER

This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9809".





# Richmond Zoning Bylaw 8500, Amendment Bylaw 9810 to Establish Zoning for the Property Developed under Land Use Contract 138

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## " 18.37 Low Rise Apartment (ZLR37) – Brighouse Village (City Centre)

## 18.37.1 Purpose

The **zone** provides for low rise **apartment housing**, and compatible **uses**. This **zone** is for the property developed under Land Use Contract 138 on Granville Avenue and Cooney Road in the Brighouse Village of City Centre.

## 18.37.2

### **Permitted Uses**

18.37.3

## Secondary Uses

- child care
- housing, apartment

- boarding and lodging
- community care facility, minor
- home business

## 18.37.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** in this **zone** is 129.
- 2. The maximum number of **buildings** for **apartment housing** is two.
- 4. The maximum floor area ratio is 0.85.

## 18.37.5 Permitted Lot Coverage

1. The maximum **lot coverage** is 29% for **buildings** containing **apartment housing**.

## 18.37.6 Yards & Setbacks

- 1. The minimum **setback** to Cooney Road is 5.0 m.
- The minimum setback to the north side lot line is 17.0 m.
- The minimum setback to Granville Avenue is 7.5 m.
- 4. The minimum **setback** to Buswell Street is 6.0 m.

## 18.37.7 Permitted Heights

1. The maximum **height** for **buildings** is 15.0 m but containing no more than 4 **storeys** including one ground level of parking.

## 18.37.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 75 m.
- 2. The minimum **lot depth** is 135 m.
- 3. The minimum **lot area** is 11,900 m<sup>2</sup>.

## 18.37.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

## 18.XX.10 On-Site Parking and Loading

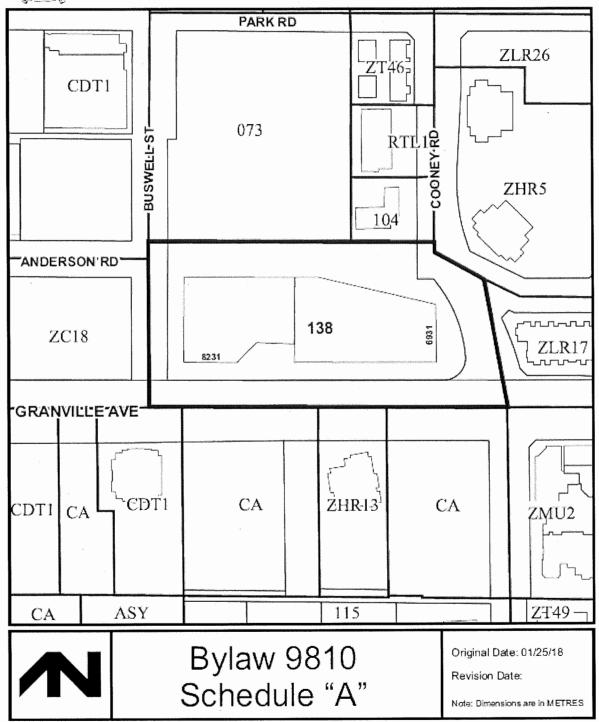
1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 1.25 **vehicle parking spaces** per **dwelling unit**.

## 18.37.11 Other Regulations

- 1. In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply. "
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9810" as "Low Rise Apartment (ZLR37) Brighouse Village (City Centre)".
- 3. This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9810".

FIRST READING		CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING		APPROVED by Director
THIRD READING		or Solicitor
ADOPTED		
MAYOR	CORPORATE OFFICER	







# Richmond Zoning Bylaw 8500, Amendment Bylaw 9811 to Establish Zoning for the Property Developed under Land Use Contract 158

The Council of the City of Richmond, in open meeting assembled, enacts as follows:

1. Richmond Zoning Bylaw 8500, as amended, is further amended by inserting the following into Section 18 (Site Specific Residential (Low Rise Apartment) Zones), in numerical order:

## "18.38 Low Rise Apartment (ZLR38) – Brighouse Village (City Centre)

## 18.38.1 Purpose

The **zone** provides for low rise **apartment housing** and other compatible **uses**. This **zone** is for the property developed under Land Use Contract 158 on Park Road in the Brighouse Village of City Centre.

#### 18.38.2

#### Permitted Uses

18.38.3

### Secondary Uses

- child care
- housing, apartment

- boarding and lodging
- community care facility, minor
- home business

## 18.38.4 Permitted Density

- 1. The maximum number of **dwelling units** for **apartment housing** is 56.
- 2. The maximum number of **buildings** for **apartment housing** is one.
- 4. The maximum **floor area ratio** is 1.20.

## 18.38.5 Permitted Lot Coverage

- 1. The maximum **lot coverage** for **buildings** is 50%.
- 2. No more than 80% of a **lot** may be occupied by **buildings**, **structures**, and **non-porous surfaces**.
- 3. 20% of the **lot area** is restricted to **landscaping** with live plant material.

#### 18.38.6 Yards & Setbacks

- 1. The minimum front yard is 7.5 m.
- 2. The minimum east interior side yard is 6.0 m.
- 3. The minimum west **interior side yard** is 9.0 m.
- 4. The minimum rear yard is 7.0 m.

## 18.38.7 Permitted Heights

1. The maximum **height** for **buildings** is 15.0 m, but containing no more than 4 **storeys** including ground level parking.

#### 18.38.8 Subdivision Provisions/Minimum Lot Size

- 1. The minimum **lot width** is 45.0 m.
- 2. The minimum **lot depth** is 90.0 m.
- 3. The minimum lot area is  $4,400 \text{ m}^2$ .

## 18.38.9 Landscaping & Screening

1. **Landscaping** and **screening** shall be provided in accordance with the provisions of Section 6.0.

## 18.38.10 On-Site Parking and Loading

1. On-site **vehicle** and bicycle parking and loading shall be provided according to the standards set out in Section 7.0, except that the basic on-site parking requirement shall be 54 covered **vehicle parking spaces**, and 22 uncovered **vehicle parking spaces**, of which there shall include 6 visitor **parking spaces**.

## 18.38.11 Other Regulations

- In addition to the regulations listed above, the General Development Regulations of Section 4.0 and the Specific Use Regulations of Section 5.0 apply."
- 2. The Zoning Map of the City of Richmond, which accompanies and forms part of Richmond Zoning Bylaw 8500, as amended, is further amended by designating that portion outlined in bold on "Schedule A attached to and forming part of Bylaw 9811" as "Low Rise Apartment (ZLR38) Brighouse Village (City Centre)".

FIRST READING		CITY OF RICHMOND
A PUBLIC HEARING WAS HELD ON		APPROVED by
SECOND READING	-	APPROVED by Director
THIRD READING		or Solicitor
ADOPTED		92 83
MAYOR	CORPORATE OFFICER	

This Bylaw may be cited as "Richmond Zoning Bylaw 8500, Amendment Bylaw 9811".

