



Parks, Recreation and Cultural Services Committee

**Council Chambers, City Hall
6911 No. 3 Road**

**Tuesday, March 23, 2021
4:00 p.m.**

Pg. # ITEM

MINUTES

PRCS-5 *Motion to adopt the **minutes** of the meeting of the Parks, Recreation and Cultural Services Committee held on February 23, 2021.*



NEXT COMMITTEE MEETING DATE

April 27, 2021, (tentative date) at 4:00 p.m. in the Council Chambers

DELEGATION

PRCS-10 1. Mike Bomford, Chair, Sustainable Agriculture and Food Systems, Kwantlen Polytechnic University, to present their **2020 Annual Report**.

COMMUNITY SERVICES DIVISION

2. **2021 ENGAGING ARTISTS IN COMMUNITY PROGRAM PUBLIC ART PROJECTS**
(File Ref. No. 11-7000-09-20-089) (REDMS No. 6616276 v. 3)

PRCS-23

See Page PRCS-23 for full report

Designated Speaker: Biliana Velkova

STAFF RECOMMENDATION

That the three artist proposals for the community public art projects in partnership with Richmond Public Library, Richmond School District No. 38 and Richmond Multicultural Community Services as presented in the staff report titled “2021 Engaging Artists in Community Program Public Art Projects,” dated February 18, 2021, from the Director, Arts, Culture and Heritage Services, be endorsed.



3. **PROPOSED AMENDMENT TO THE RICHMOND SPORTS WALL OF FAME NOMINATING COMMITTEE’S TERMS OF REFERENCE**
(File Ref. No. 11-7000-10-01) (REDMS No. 6623415 v. 12)

PRCS-50

See Page PRCS-50 for full report

Designated Speaker: Gregg Wheeler

STAFF RECOMMENDATION

That the Richmond Sports Wall of Fame Nominating Committee’s Terms of Reference be amended, as detailed in Attachment 2 of the staff report titled “Proposed Amendment to the Richmond Sports Wall of Fame Nominating Committee’s Terms of Reference”.



4. **OUTDOOR SPORTS FIELDS AND AMENITIES ALLOCATION POLICY**
(File Ref. No. 11-7000-10-01) (REDMS No. 6623483 v. 8)

PRCS-59

See Page PRCS-59 for full report

Designated Speaker: Gregg Wheeler

STAFF RECOMMENDATION

That Council Policy 8500 Park Playing Fields – Allocation be rescinded and the proposed Outdoor Sport Facilities and Amenities Policy, as detailed in Attachment 2 of the staff report titled “Outdoor Sports Fields and Amenities Allocation Policy,” dated February 22, 2021, from the Director, Recreation and Sport Services be adopted.



Pg. # ITEM

5. **PROPOSED 2021 OPERATING HOURS FOR STEVESTON OUTDOOR POOL**

(File Ref. No. 11-7143-01) (REDMS No. 6436380 v. 28)

PRCS-76

[See Page PRCS-76 for full report](#)

Designated Speaker: John Woolgar

STAFF RECOMMENDATION

That the hybrid model for 2021, as detailed in Attachment 5 of the staff report titled “Proposed 2021 Operating Hours for Steveston Outdoor Pool,” dated February 26, 2021, from the Director, Recreation and Sport Services, be approved for the operation of Steveston Outdoor Pool for the summer of 2021.



6. **AGRICULTURAL LAND COMMISSION NON-FARM USE APPLICATION BY THE CITY OF RICHMOND FOR COMMUNITY GARDENS AT 5560 GARDEN CITY ROAD (THE GARDEN CITY LANDS)**

(File Ref. No. 06-2345-20-GCIT1) (REDMS No. 6607433 v. 9)

PRCS-87

[See Page PRCS-87 for full report](#)

Designated Speakers: Jason Chan and Alex Kurnicki

STAFF RECOMMENDATION

That the Agricultural Land Commission Non-Farm Use Application by the City of Richmond for Community Gardens at the Garden City Lands at 5560 Garden City Road, be endorsed and forwarded to the Agricultural Land Commission for approval.



7. **PARKS AFLOAT MOORAGE AT IMPERIAL LANDING AND GARRY POINT PARK**

(File Ref. No. 06-2345-20-GARR2) (REDMS No. 6360981 v. 15)

PRCS-99

[See Page PRCS-99 for full report](#)

Designated Speaker: Jason Chan

STAFF RECOMMENDATION

- (1) *That any plans to consider the expansion of moorage opportunities at Imperial Landing be placed on hold until such time as there is a plan and agreement in place from authorities for the ongoing maintenance dredging in the Steveston Harbour as detailed on the staff report titled “Parks Afloat Moorage at Imperial Landing and Garry Point Park,” dated February 23, 2021, from the Director, Parks Services; and*
- (2) *That the current piles at Garry Point be maintained to allow for seasonal event-related use.*

☐

8. **MANAGER’S REPORT**

ADJOURNMENT

☐



Parks, Recreation and Cultural Services Committee

Date: Tuesday, February 23, 2021

Place: Council Chambers
Richmond City Hall

Present: Councillor Harold Steves, Chair (by teleconference)
Councillor Michael Wolfe (by teleconference)
Councillor Chak Au (by teleconference)
Councillor Bill McNulty (by teleconference)
Councillor Linda McPhail (by teleconference)

Also Present: Mayor Malcolm Brodie (by teleconference)

Call to Order: The Chair called the meeting to order at 4:00 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Parks, Recreation and Cultural Services Committee held on January 26, 2021, be adopted as circulated.

CARRIED

NEXT COMMITTEE MEETING DATE

March 23, 2021, (tentative date) at 4:00 p.m. in the Council Chambers.

COMMUNITY SERVICES DIVISION

1. **2021 COMMUNITY MURAL PROGRAM PROJECTS**
(File Ref. No. 11-7000-09-01) (REDMS No. 6602983 v. 2)

Discussion ensued with regarding suggestions that staff review the financial contribution to the mural program to enable it to be increased and extended to private and public areas in the City in the next year.

Parks, Recreation & Cultural Services Committee
Tuesday, February 23, 2021

In reply to queries from the Committee, staff advised that (i) the selection panel only considered pre-existing murals that were located on the exterior of a building and visible to the public, (ii) the allocation of funding from the Federation of Canadian Municipality (FCM) to Lehigh Hanson is consistent with the grant program, (iii) Lehigh Hanson will be responsible for the in-kind costs of maintaining the mural for five years and making two walls available for the mural, and (iv) an open call for applications for the mural program is issued annually.

It was moved and seconded

That the 2021 Community Mural Program projects as presented in the staff report titled “2021 Community Mural Program Projects” dated January 18, 2021, from the Director, Arts, Culture and Heritage Services, be approved and included in the Consolidated 5 Year Financial Plan (2021-2025).

CARRIED

**2. STEVESTON COMMUNITY PARK PLAYGROUND RENEWAL
NEXT STEPS**

(File Ref. No. 06-2345-20-STEVE2) (REDMS No. 65981954 v. 6)

In reply to queries from the Committee, staff advised that (i) the playground renewal plan was developed following two rounds of community consultation, (ii) Council will be provided with opportunities to provide further comments through the process of detailed design, and (iii) the review and design of future washrooms for the park is included in the scope of the project in light of the selection of the location of the Steveston Community Centre.

In reply to queries from the Committee, Alan Clark, Vice-President, Steveston Community Centre, confirmed the need to include washrooms in Steveston Community Park.

It was moved and seconded

That the Steveston Community Park Playground Renewal Project proceed to detailed design and costing, as detailed in the staff report titled “Steveston Community Park Playground Renewal Next Steps,” dated January 20, 2021, from the Director, Parks Services, and that capital requests for implementation be submitted during the annual capital budget process.

CARRIED

COUNCILLOR HAROLD STEVES

2A. **STEVESTON POST OFFICE**

(File Ref. N●.)

Discussion ensued with regard to the need undertake a public education campaign about the significance of the Steveston Post Office, Great Northern Bank building and Nikkei Museum.

In reply to queries from the Committee, staff advised that (i) external funding will be explored to support the variety of operations at the Steveston Museum, including the Steveston Post Office, when the services to be provided are determined upon the completion of consultation, (ii) a virtual community engagement event on the future of the Steveston Museum is scheduled for March 14, 2021, and (iii) printed copies of the survey are available at the Steveston Post Office for those who are unable to participate in the virtual event.

Linda Barnes, Co-Chair, and Loren Slye, President, Steveston Historical Society, commented on the (i) partnership with the City and Tourism Richmond in engaging the public to determine the future of the Steveston Museum, and (ii) challenges faced in operating the Steveston Post Office, (iii) the need to have the Steveston Museum designated as a heritage site, and (iv) preference for City staff to operate the Steveston Museum, similar to a community centre.

As a result of the discussion, the following **referral motion** was introduced:

It was moved and seconded

That following completion of the current consultation on the services to be provided at the Steveston Museum, staff investigate:

- (1) *amending the document titled “Steveston Museum, A Vision for Improving the Visitor Experience”, dated September 25, 2020, to include the operation of a Post Office in both Options A and B;*
- (2) *a \$20,000 annual payment to the society by the City if and when Tourism Richmond vacates the premises, plus the additional minimum of \$5,000 fee for service for operating the Post Office if needed, as approved in the working agreement dated November 12, 2019;*
- (3) *a Living Wage to be paid to the postal workers as auxiliary staff, with the added responsibility of monitoring activities in the museum and eliminating the need for additional museum staff;*

Parks, Recreation & Cultural Services Committee
Tuesday, February 23, 2021

- (4) *the reopening of the upper floor of the Post Office with the installation of a stair lift elevator for seniors and/or a video on the ground floor depicting the upper floor museum display for people unable to use a stair lift;*

and, report back.

CARRIED

3. MANAGER'S REPORT

(i) *Watermania*

Staff reported that watermania will be reopened to the general public during spring break 2021.

(ii) *Visual Arts*

Staff updated the Committee on (i) an exhibit titled "Inaction" will be on display at the Richmond Art Gallery until April 3, 2021; and (ii) three Richmond artists will be showcased on the pillars of the Aberdeen Canada Line station from the week of March 1, 2021 through summer 2021.

(iii) *Erase Bullying Day*

Staff reported that February 24, 2021 is Erase Bullying Day in Richmond and will be recognized in a variety of ways with the goal of encouraging kindness and embracing differences.

(iv) *Use of City-Owned Property on Gilbert Road*

In response to a request from the Committee, staff undertook to provide Council with information on the use of City-owned property in the vicinity of the south end of Gilbert Road, opposite London Farms.

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:47 p.m.).

CARRIED

Parks, Recreation & Cultural Services Committee
Tuesday, February 23, 2021

Certified a true and correct copy of the Minutes of the meeting of the Parks, Recreation and Cultural Services Committee of the Council of the City of Richmond held on Tuesday, February 23, 2021.

Councillor Harold Steves
Chair

Carol Lee
Recording Secretary

Kwantlen Polytechnic University

Department of Sustainable
Agriculture and Food Systems

ANNUAL REPORT(2020)

City of Richmond Department of Parks, Recreation,
and Cultural Services Committee

March, 2021



Introduction

KPU has now completed three growing seasons on the Garden City Lands. We are excited to share our progress since our last report in the spring of 2019. Highlights include a new irrigation system, a produce washing station, and the addition of three sliding high tunnels for season extension. In 2020 we harvested 15 tons of produce from the site, with a retail value of more than \$75,000. This was sold at Tuesday afternoon farmers markets across from City Hall, or donated to the Richmond Food Bank. Our capacity to scale up is limited only by labour.

Our organic transition is almost complete, and we expect to begin offering certified organic produce from the site when the market opens in 2021.

We have risen to several unexpected challenges brought on by the global pandemic. Students were not allowed to come to the site between mid-March and mid-June.

The applied learning course that normally runs through the summer semester had to be cancelled. Our in-person outreach has been curtailed, but we continue to engage with our community in many creative ways.

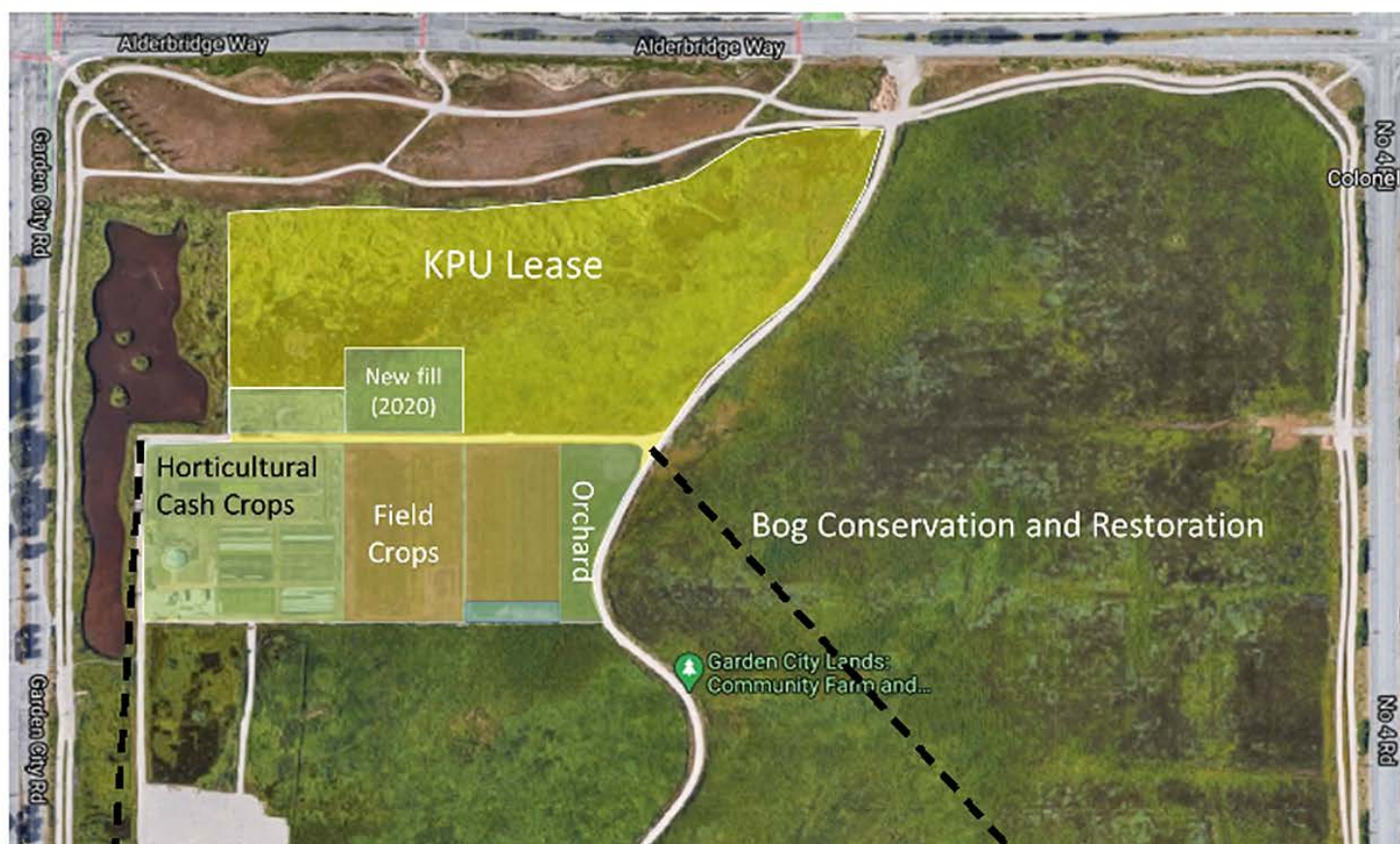
We were pleased to welcome students back to the farm for in-person experiential learning in the fall semester of 2020 and again in the spring semester of 2021. All of us are hoping for a return to normal in 2021.



Socially-distanced instruction, November 2020.



Farm Maps—2020



Pandemic Response

The 2020 growing season was shaped by the global pandemic. Our students started crop planning and transplant production in January and February, but KPU took all classes online in March. The university prohibited students from coming to the farm for in-person classes. Our summer experiential learning course at the Garden City Lands had to be cancelled. Only essential employees were allowed at the site.

We abruptly revised our cropping plans to eliminate the most labour-intensive perishable crops, like tomatoes and green beans, and expand production of lower-labour storage crops, like cabbage, potatoes, and winter squash. Our plans to sell produce to KPU Food Services were scuttled as the campus cafeterias shut down. The campus pop-up markets that had been successful in 2019 were impossible in 2020. In the early days of the pandemic, we weren't even sure if our farmers market would be allowed to run. We were relieved with the province declared farmers markets an essential service, and the City found a new spot for us in the lacrosse court across from City Hall. From mid-May to mid-December, the market ran every Tuesday afternoon with face masks, physical distancing, and a limit of 50 people on the site at once.

We were able to carry on with a farm manager, two faculty, and three hired students. The third full-time faculty member in our department returned to his home in Mexico at the end of spring, and we began a search for his replacement. We were fortunate to hire Dr. Alex Lyon, who brings her expertise in participatory plant breeding from the UBC Centre for Sustainable Food Systems, where she has worked since 2015. She began work with our department just before Dr. Rebecca Harbut, our past Chair, left for a year of study leave in Sweden.

Gradually, we were allowed to bring students back to the farm. Several students conducted individual field research projects at the Garden City Lands over the summer, and we were granted permission to resume in-person outdoor teaching at the farm in the fall semester. We had a small class of students who were thrilled to get their hands dirty again, and to interact with our dedicated customers at market.



Student workers prepare for the first farmers market of the pandemic, May 17, 2020.



Faculty record a video message of congratulations to graduating students, June 4, 2020.



Farmers market designed for distancing on the lacrosse court across from City Hall, July 28, 2020.

Soil Management

Site Preparation

In 2017, clean sandy-clay loam sourced from Sea Island (YVR) was layered over 3 ha (7.5 ac) of native peat soil in the southern portion of the leased property. The strategy was necessary to address contamination concerns, but had the added benefit of conserving carbon long sequestered in the underlying peat. The mineral soil was amended with organic poultry manure (Rabbit River Farms), municipal compost (Net Zero Waste), and clean Lulu Island peat rescued from building sites. Soil-building cover crops, including tillage radish sorghum-sudangrass, and grass-legume mixes were planted to add soil organic matter and fix biological nitrogen.

Tile drains were laid 65 cm below the soil surface at 10 m spacing to remove excess water from the mineral soil layer without drying the underlying peat. Drains feed into a header drain that runs along the southern boundary of the leased area, and carries drainage water to the pond west of the leased area.

In 2020, clean sandy soil sourced from a renovated playing field was layered over a 0.3 ha (0.75 ac) area in the northern portion of the leased property. This brings the filled area north of the service road to 0.5 ha (1.2 ac). Another 4.5 ha (11 ac) has yet to be filled.

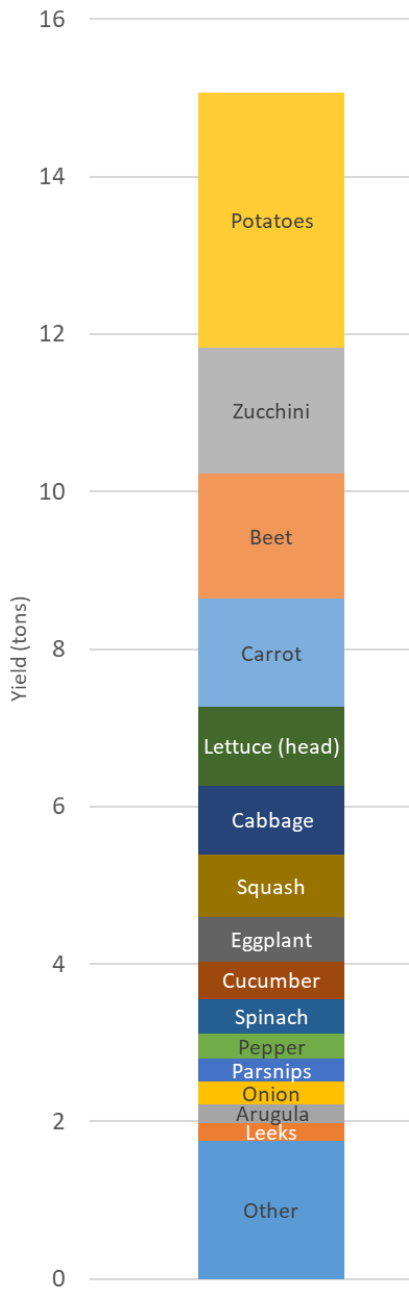
The newly deposited soil is being amended with municipal compost and cover cropped to add organic matter and nitrogen.

Amending freshly deposited soil with compost gives a KPU student tractor-driving practice, September 2020.



Crop Production

Crop Yield (tons)



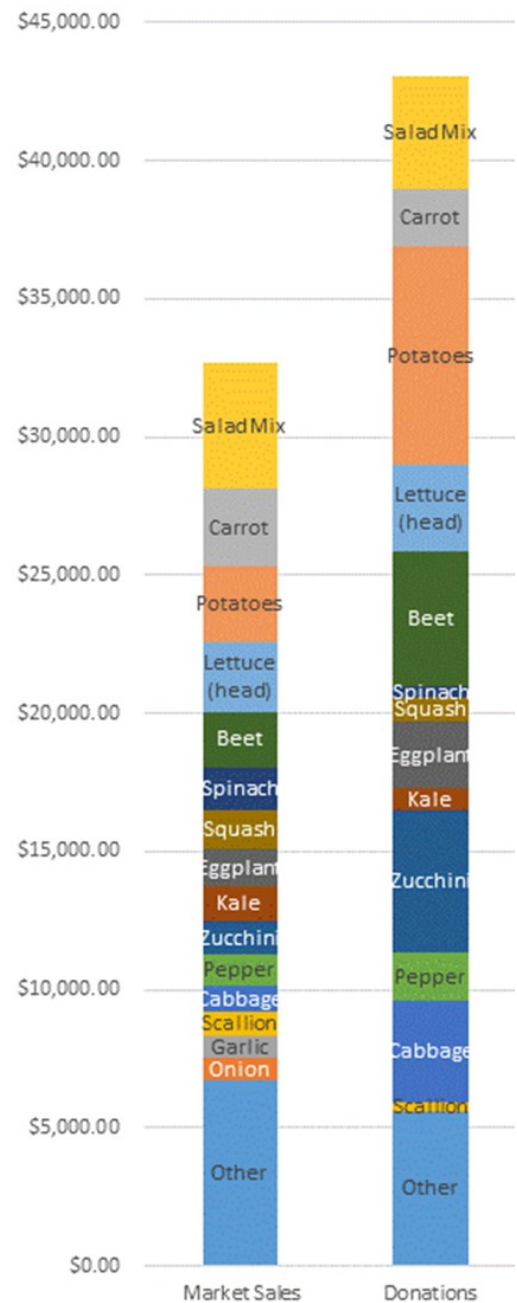
Thirty-three different crops were grown in 2020, yielding more than 15 tons of marketable produce (left).

Farmers market sales exceeded \$33,000. More than \$43,000 worth of produce was donated (right).

The Richmond Food Bank received most of the donations. Smaller donations went to the Sustainable Agriculture Students Association and Odd Squad Productions.



Crop Value (\$ retail)



Infrastructure

Drainage

Tile drains were laid 65 cm below the soil surface at 10 m spacing to remove excess water from the mineral soil layer without drying the underlying peat. Drains feed into a header drain that runs along the southern boundary of the leased area, and carries drainage water to the pond west of the leased area.



Drain tile installation, June 2018

Irrigation

Permanent irrigation lines were buried in July, 2020. Lines run along the southern edge of the property, with pop-up faucets providing easy access to irrigation water in all fields. Separate lines serve the solar greenhouse, the moveable high tunnels, and the market garden plots. Each line can be controlled independently and the solar greenhouse now has year-round access to irrigation.



Irrigation line installation, July 2020

Solar Growing Dome

The solar dome greenhouse was built in October, 2018. Its primary purpose is early production of spring vegetable transplants while avoiding the greenhouse gas emissions normally associated with greenhouse heating systems. It has remained frost free during the winters of 2018-19, 2019-20, and 2020-21, providing a stable environment for transplant production to begin in late January or early February. It also demonstrates various low-input solar heating and cooling techniques.



Seeding transplants with snow on the dome, Feb. 4, 2020



Transplants in the dome, ready for the field, Apr. 1, 2020

Infrastructure

Moveable High Tunnels

Three 9 x 21 m (30 x 70 ft.) moveable high tunnels have been constructed at the farm. These are passively-heated plastic-covered hoop structures that harness the energy of the sun to extend the growing season for soil-based crop production. They are securely attached to steel tracks, each anchored by six one-ton concrete blocks. A tunnel can be detached, rolled to a different position, and reattached to its tracks. Moving the tunnels facilitates crop rotation, prevents salt accumulation by exposing previously covered areas to rainfall, and reduces soil-borne disease incidence.



Interior of High Tunnel A, Dec. 12, 2020

The tunnel side walls and end vents automatically open and close to allow passive ventilation and stabilize internal temperatures. Automation is driven by electric motors and controlled by a computer attached to environmental sensors. The system is powered by photovoltaic panels, allowing the tunnels to operate without any connection to the electrical grid.

The three tunnels were constructed in phases, as outlined in the table below.

	High Tunnel A (North)	High Tunnel B	High Tunnel C (South)
Spring 2019		<ul style="list-style-type: none">Track laidHoops built	
Summer 2019		<ul style="list-style-type: none">Planted to tomatoesTomato harvest	
Fall 2019	<ul style="list-style-type: none">Anchor blocks buriedTrack laidHoops built	<ul style="list-style-type: none">Anchor blocks buriedMoved to cool-season root plot (carrots, beets)Covered with plastic	<ul style="list-style-type: none">Anchor blocks buriedTrack laidHoops built
Winter '19-'20		<ul style="list-style-type: none">Carrot & beet harvest	
Spring 2020		<ul style="list-style-type: none">AutomatedPlanted to cool-season cropsMoved to warm-season plotPlanted to cucurbits	<ul style="list-style-type: none">Covered with plasticPlanted to solanums (pepper, eggplant)
Summer 2020	<ul style="list-style-type: none">Covered with plastic	<ul style="list-style-type: none">Cucurbit harvest	<ul style="list-style-type: none">AutomatedSolanum harvest
Fall 2020	<ul style="list-style-type: none">AutomatedMoved to cool-season greens plot (lettuce, spinach)	<ul style="list-style-type: none">Moved to cool-season root plot (carrots, beets)	<ul style="list-style-type: none">Moved to cool-season brassica plot (kale, mustard, arugula)



KPU Farm at the Garden City Lands in summer, fall, and winter, 2020. Note changing positions of sliding high tunnels on left.

Infrastructure

Produce Washing Station

In the fall of 2019, a covered produce washing station was constructed between two shipping containers used for tool storage on the gravel pad at the farm's main entrance. A peaked canvas tent over the station provides year-round protection from sun and rain. The station has two wash lines, each consisting of three stainless steel sinks with stainless steel counters on either end. Concrete tiles along each wash line provide a mud-free surface for those washing produce.

Bins of freshly-harvested produce are placed on the counters north of the sinks for washing. After washing, the cleaned produce is placed in clean bins on the counters south of the sinks, where it can be weighed and transferred to the refrigerated trailer.



Washing and bagging salad mix, Oct. 2020

Refrigerated Trailer

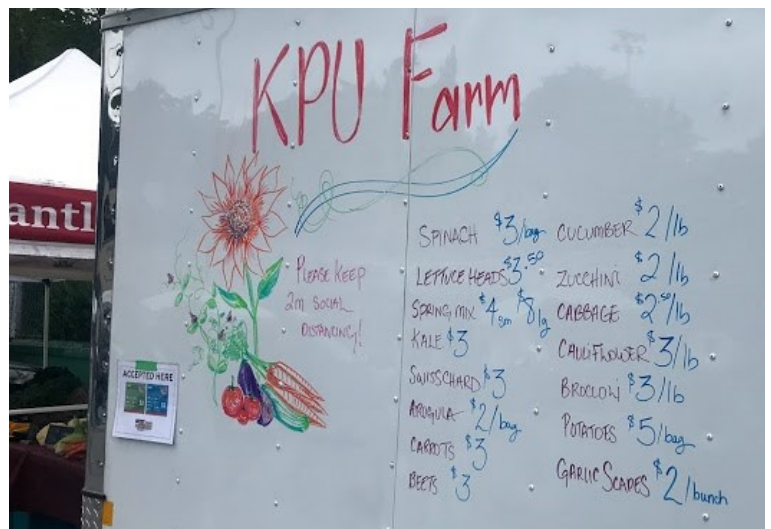
A lockable insulated box trailer with electric refrigeration was purchased in the spring of 2020. It is usually parked beside the tool shed south of the produce washing station, where it can be plugged in. Produce that has been washed and weighed is typically transferred to the trailer for short-term storage. The trailer can be disconnected from its power source and towed to market. The white metal sides of the trailer serve as a whiteboard for market price lists.



Refrigerated trailer parked on the farm to be easily accessible from the washing station.



Refrigerated trailer parked at market, where produce is unloaded and displayed. Market price lists are written on the walls.



Birds

Promoting Biodiversity

The farm is managed to provide habitats for a diversity of bird species. Abundance and richness of birds is increasing at the site. Owl boxes and swallow houses have been installed along the farm edges, providing nesting sites for important predators. Hawks and eagles are frequently sighted.

Protecting High Tunnels from Birds

Soon after the first high tunnel was covered in plastic, we found that large birds — crows, hawks, and the occasional eagle — liked to perch on the peak, and were piercing the plastic with their talons. The problem was solved by stringing a single wire about 15 cm above the peak of each tunnel.



A wire above the peak of each high tunnel discourages bird perching.



Canada geese grazing on winter cover crops, January 2020.

Deterring Geese

The Garden City Lands are near the Vancouver International Airport (YVR), on a major flightpath. Representatives of YVR voiced concern that the green cover-cropped fields of the KPU farm could attract snow geese in winter, which could be hazardous to airplanes. Although snow geese have not been seen at the site, Canada geese sometimes graze there in winter and spring. Strings of reflective flags were hung across the fields in December, 2020, as a snow goose deterrent. So far, they seem to be deterring Canada geese too.



Strings of reflective flags erected to deter geese., December 2020.

Community Engagement

Farmers Market

Our program continues to sell our produce at a weekly Tuesday market (12-4 pm, April—December). This year the market was held in the lacrosse court in Brighthouse Park, across from City Hall. The new location allowed control over how many people were on the site at once.

The market was a particularly important connection with community members seeking fresh locally-grown produce in the pandemic. Demand was strong, and people were willing to line up to visit the stand one-by-one in order to maintain physical distancing. We developed a strong following of appreciative customers, facilitating many learning opportunities for both our students and community members.



Preparing for market with masks and distancing, May 2020.

Informal Conversations with Neighbours

As the community is increasingly using the trials on the Garden City Lands, there have been many conversations with neighbours about what is happening on the farm. There is a great deal of interest in activities on the farm.

Student Research Projects

Several students conducted experimental field studies in collaboration with community stakeholders at the Garden City Lands in 2020. These included a test of seaweed as a fertilizer for grapes, several tests of organic mushroom manure compost as a mulch for vegetable production, and a test of products being developed for organic growers by a company based in North Vancouver.



Setting up a student research project, April, 2020.

More information about this year's student research projects can be found at <https://www.kpu.ca/agriculture/student-research/2020>.



BC Seeds Gathering: Nov, 2019

The biennial BC Seeds Gathering is held at KPU's Richmond campus, next to the Garden City Lands. The event attracts seed growers, researchers, students, advocates and community seed organizers, facilitating connections and conversations to build a strong local seed sector. Participants were invited to tour the KPU Farm at the Garden City Lands.

Certified Organic Associations of BC Farm Tour: Feb., 2020

The Certified Organic Associations of BC held their annual conference in Richmond at the end of February, 2020. Participants visited the KPU Farm to learn about the soils, the market farming operation, and the solar season greenhouses.

Odd Squad Junior Videos

The Odd Squad Junior video series profiles educational topics for youth. The videos feature 10 year-old Tobin Hinton Jr, who introduces young viewers to a wide range of topics. In July, 2020, Tobin visited the KPU Farm at the Garden City Lands to film a five-minute 'How to' video about growing beets on an organic farm, from seeding through harvest. Another five-minute video featured Tobin selling vegetables from the farm at a farmers' market. See <https://oddsquad.com/osp-junior-series/>.

School Tours

Although most school tours have been cancelled because of the risk associated with bussing students during the pandemic, a class of Richmond High School students walked to the Garden City Lands for a farm tour on October 30, 2020.



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
Date: February 18, 2021

From: Marie Fenwick
Director, Arts, Culture and Heritage Services
File: 11-7000-09-20-089/Vol 01

Re: 2021 Engaging Artists in Community Program Public Art Projects

Staff Recommendation

That the three artist proposals for the community public art projects in partnership with Richmond Public Library, Richmond School District No. 38 and Richmond Multicultural Community Services as presented in the staff report titled "2021 Engaging Artists in Community Program Public Art Projects," dated February 18, 2021, from the Director, Arts, Culture and Heritage Services, be endorsed.

Marie Fenwick
Director, Arts, Culture and Heritage Services
(604-276-4288)

Att. 2

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Finance Department	<input checked="" type="checkbox"/>	
Parks Services	<input checked="" type="checkbox"/>	
Recreation Services	<input checked="" type="checkbox"/>	
SENIOR STAFF REPORT REVIEW	INITIALS: 	APPROVED BY CAO

Staff Report

Origin

Richmond's Engaging Artists in Community Public Art Program creates opportunities for collaborative art projects involving community associations, schools, community groups and professional artists of all disciplines.

This report recommends three artist proposals for community public art projects in partnership with Richmond Public Library, Richmond School District No. 38 and Richmond Multicultural Community Services.

This report supports Council's Strategic Plan 2018-2022 Strategy #2 A Sustainable and Environmentally Conscious City:

Environmentally conscious decision-making that demonstrates leadership in implementing innovative, sustainable practices and supports the City's unique biodiversity and island ecology.

This report supports Council's Strategic Plan 2018-2022 Strategy #3 One Community Together:

Vibrant and diverse arts and cultural activities and opportunities for community engagement and connection.

This report supports Council's Strategic Plan 2018-2022 Strategy #4 An Active and Thriving Richmond:

An active and thriving community characterized by diverse social and wellness programs, services and spaces that foster health and well-being for all.

Analysis

Background

The Engaging Artists in Community Public Art program invites emerging and professional artists to imagine innovative ways to engage seniors, adults, youth and children in the making of artwork to foster individual creative expression, multigenerational and cross-cultural exchange, and community building.

The following Engaging Artists in Community Public Art projects have been completed since 2016:

- *Harvest Full Moon* festival at City Centre Community Centre;
- *spART* programs or activities at Thompson Community Centre;
- *Minoru Seniors Legacy Stories* online legacy project at Minoru Place Activity Centre;
- *Great Blue Heron* sculpture at McLean Park;
- *Tide Water Tales* performances at Britannia Shipyards National Historic Site;

- *FANFARE* murals at Minoru Arenas;
- Musqueam Artist Workshops at Richmond Public Library (Brighthouse Branch);
- *The Interpreter Project* programs or activities at Richmond Nature Park;
- *Minoru Manifesto* activities and installation at Minoru Chapel and City Centre Community Centre;
- *Victory Gardens for Diversity* activities at Terra Nova Rural Park; and
- *A mid-way point: the present is an infinite moment* mural at Thompson Community Centre.

In the fall of 2020, staff invited interested community partners and City departments to participate in the 2021 Engaging Artists in Community Program. The following organizations and City Departments provided an expression of interest to work with an artist this year:

- Richmond Public Library;
- Richmond School District No. 38 (SD 38) / William Cook Elementary;
- Richmond Multicultural Community Services;
- City of Richmond Environmental Programs;
- Immigrant Services Society of BC; and
- Cambie Community Association.

Three locations were selected:

1. Richmond Public Library;
2. Richmond School District No. 38 / William Cook Elementary; and
3. Richmond Multicultural Community Services.

Terms of Reference and Artist Selection

The projects' Terms of Reference were developed in consultation with the selected partners. Profiles were included in the Artist Call to describe the three separate artist opportunities. This information assisted artists in choosing to apply for the opportunity that best matched their skill sets and interests (Attachment 1).

The Artist Call was issued on December 17, 2020 and closed on January 29, 2021. Staff received a total of 25 artist applications for the three artist opportunities. The selection process for each opportunity was implemented in accordance with the terms of the Public Art Program Policy Administrative Procedures. All artist proposals were evaluated on the basis of artistic merit, appropriateness to the goals of the Community Public Art Program, community organization objectives, artist qualifications and project feasibility.

The following three artist proposals were presented to the Richmond Public Art Advisory Committee (RPAAC) on February 22, 2021 by email. RPAAC endorsed and supported all proposed projects with no feedback.

All of the programs and activities will be implemented following COVID-19 safety protocols and provincial health directions.

Richmond Public Library Art Series

The final artist selection meeting for the Richmond Public Library artist opportunity took place on February 16, 2021. The selection panel included the following five members:

- Diane Cousar – Community Representative, Richmond Public Library Trustee Member;
- Robin Leung – Community Representative, Richmond Public Library Trustee Member;
- Lori Weidenhammer – Artist;
- Jen Sungshine – Artist; and
- Cyndy Chwelos – Artist / Arts Professional.

Panel advisors included staff from Richmond Public Library and the Public Art Program.

Richmond-based artist Rachel Rozanski was recommended for the Richmond Public Library artist opportunity. Ms. Rozanski is also the 2021 Branscombe House Artist-In-Residence. Her proposed project, *Exploring Ecology Through Place* will engage community participants of all ages in a series of in-person and virtual public workshops and projects that will raise awareness of Richmond's local ecology. The activities will safely promote social connection, health and wellbeing, especially among people who are experiencing social isolation. Project participants will be encouraged to explore their local surroundings, including local parks and natural heritage areas adjacent or near Richmond Public Library branches. A variety of art activities will be led by the artist, including cyanotype printing, field journaling, printmaking and bookmaking. The in-person activities will take place outdoors at Minoru Park and Steveston Community Park, supported by staff and in-kind resources at Brighthouse and Steveston Library Branches. (Attachment 2).

William Cook Elementary Artist-In-Residence Project

The final artist selection meeting for the William Cook Elementary artist opportunity took place on February 17, 2021. The selection panel included the following five members:

- Nichole Kusch – Community Representative, Vice-Principal, William Cook Elementary;
- Mika Collins – Community Representative, Teacher, William Cook Elementary;
- Lori Weidenhammer – Artist;
- Jen Sungshine – Artist; and
- Cyndy Chwelos – Artist / Arts Professional.

Panel advisors included staff from Richmond School District No. 38 and the Public Art Program.

An artist team led by J Peachy and supported by Yolanda Weeks, Pat Calihou and Tiffany Yang were recommended for the William Cook Elementary Project. The artist team brings a diversity of artist practices to the project including Indigenous carving, sculpture, puppetry and Indigenous land-based learning. Their project will include a range of art activities including sketching, painting, eco-art, wild crafting, storytelling, puppetry, performance, sound and music, digital media, wood crafting and cultural sharing. Through a process of working collaboratively with the students, a final legacy art project will be completed and presented on the school grounds. (Attachment 2).

This project will support the City of Richmond Community Wellness Strategy, 2018–2023 and its focus area to enhance physical and social connectedness within and among neighbourhoods and communities.

Richmond Multicultural Community Services Artist-In-Residence Project

The final artist selection meeting for the Richmond Multicultural Community Services (RMCS) Artist-in-Residence Project took place on February 18, 2021. The selection panel included the following five members:

- Thuy Nguyen – Community Representative, RMCS;
- Ameen Abukhalaf – Community Representative;
- Lori Weidenhammer – Artist;
- Jen Sungshine – Artist; and
- Cyndy Chwelos – Artist / Arts Professional.

Panel advisors included staff from RMCS and the Public Art Program.

Artist Jean Bradbury was recommended for this Artist-in-Residence project. The artist brings a wealth of experience working with displaced and vulnerable communities. Her professional practice incorporates painting, public art murals, teaching and community-based art activation. Ms. Bradbury's proposed project aims to use socially-engaged art forms and art activities such as urban sketching, graphic novels, mural painting, photography and journaling to create a space for individual creative expression and a means to share participants' unique identity and culture with the community at-large. (Attachment 2).

Next Steps

Following Council endorsement of the artist proposals, staff will work with the artists and community partners to execute contracts and develop work plans. If approved, the projects will move into the development phase with implementation completed by Spring 2022.

Financial Impact

Through funding in the Public Art Program Reserve, each community art project will be allocated \$10,000 for a total of \$30,000. The Public Art projects are included in the City's approved 2021 Capital budget and in the proposed Consolidated 5 Year Financial Plan (2021–2025).

Any maintenance and repairs required for any legacy artworks will be the responsibility of the Public Art Program as part of the annual operating budget, unless otherwise negotiated with the project partners.

Conclusion

This year's Engaging Artists in Community Public Art Program creates opportunities to support a diverse group of artists with multidisciplinary practices in socially engaged arts. The aims and objectives for each artist project focuses on community care during this time of uncertainty with an emphasis on addressing social isolation, promoting inclusive communities, diversity of cultures and equitable opportunities for people of all ages to access and participate in the arts.

The proposed projects will activate outdoor parks and public spaces across Richmond throughout the spring, summer and fall of 2021 and will follow COVID-19 safety protocols for gatherings and physical distancing measures.



Biliana Velkova
Public Art Planner
(604-247-4612)

- Att. 1: 2021 Engaging Artists in Community, Artist Call Terms of Reference
2: Richmond Public Library Artist Animator Project, William Cook Elementary Artist-In-Residence Project and Richmond Multicultural Community Services Artist-In-Residency Project Artist Proposals



Minoru Legacy Stories, Catrina Megumi Longmuir, 2018

The City of Richmond Public Art Program seeks artists with socially-oriented and civic-minded practices to engage culturally diverse and multigenerational audiences in three unique artist-in-residence opportunities. Emerging and professional artists are invited to imagine innovative ways in which art can act as a catalyst to foster individual creative expression, build community and nurture mental health and well-being during this time of uncertainty.

- Opportunity A:** \$10,000 | Richmond Public Library
- Opportunity B:** \$10,000 | Richmond Multicultural Community Services
- Opportunity C:** \$10,000 | Richmond School District 38
- Eligibility:** Artists residing in British Columbia
- Deadline:** January 29, 2021
- Duration:** Spring/Summer 2021 – Spring/Summer 2022

Engaging Artists in Community Program

Request for Proposals (RFP)

December 2020

BACKGROUND

The Engaging Artists in Community Program supports artists with socially-oriented practices and encourages the development of a wide variety of collaborative methodologies and practices for artists working within communities. Community-based artworks can express a shared goal or theme and provoke dialogue on ideas related to cultural identity, social history or the environment. Artist projects can leave a physical or social legacy for the community and may include a community event to present the final work.

Projects will engage participants by providing them with a greater sense of self, identity, community and place through learning and participating in art-making experiences. The work must be accessible and appeal to diverse audiences and the local community. Artists will demonstrate the capacity to undertake and complete their proposed work within an approved time frame.

PAST ARTIST PROJECTS

Applying artists are encouraged to visit and explore previously commissioned Engaging Artists in Community projects. For a list of project website links visit:

www.richmond.ca/culture/publicart/whatsnew/engageartists

ARTIST ELIGIBILITY

Open to emerging and professional artists and artist teams residing in British Columbia. City of Richmond employees, Richmond Public Art Advisory Members and artists who are currently contracted by the City of Richmond are not eligible to apply.

SELECTION PROCESS

Selection panels consisting of a combination of artists, art professionals and community representatives will convene for each of the opportunities. The selection panels will engage in a two-stage selection process to review all artist submissions. During the second stage, shortlisted artists or artist teams will be invited for an interview with the selection panels and will receive a \$150 honorarium. At the conclusion of the process, the panels will recommend one artist or artist team for each opportunity. Subject to approval by Council, the artist or artist team will be required to enter into a contract with the City of Richmond.

ARTIST SELECTION CRITERIA

- Artistic merit and clarity of artist statement of interest in response to the Partner Profile goals and objectives. The proposal should demonstrate artistic quality, innovation and creativity.
- Demonstration of artistic quality, innovation and creativity in applicant's previous work and experience.
- Community impact of work that will engage diverse and multi-generational audiences and artists in creative dialogue, participation and awareness.
- Artist's capacity to work with community members, other design professionals and project stakeholders.
- Appropriateness of the proposal to the Public Art Program Policy goals:
www.richmond.ca/culture/publicart/policy

SUBMISSION REQUIREMENTS

E-mail all documentation as one (1) PDF document, not to exceed a file size of 5 MB to: publicart@richmond.ca

- **INFORMATION FORM** – Please complete the information form attached to the end of this document
- **STATEMENT OF INTENT** – One page maximum, describing proposed approach to the work, relevant experience and skillsets and how the proposal responds to the specific aims of the project opportunity.
- **ARTIST CV** – (One page maximum). Teams should include one page for each member.
- **WORK SAMPLES** – Up to ten (10) examples of previous work. Please include artist name(s), title, year, location and medium information as captions on the bottom of each image page. If submitting digital video, please include link to YouTube, Vimeo or similar online platform. **Please do not submit digital video files.**
- **REFERENCES** – Three references who can speak to your abilities and accomplishments. Only provide contact name, title, phone number and e-mail. References will only be contacted if applicant is shortlisted.

SUBMISSION GUIDELINES

1. All supporting documents must be complete and strictly adhere to these guidelines and submission requirements (above) or risk not being considered.
2. All submissions must be formatted to 8.5 x 11 inch pages. Support images and concept sketches are best formatted to landscape format.
3. Artist submission PDF file must be 5 MB or smaller.
4. If submitting as a team, the team should designate one representative to

complete the entry form. Each team member must submit an individual resume/curriculum vitae.

5. All documents must be sent by e-mail to: publicart@richmond.ca. Please include name and project when naming your file, e.g. Jane_Smith_EngagingArtistsCommunity_RFP

ADDITIONAL INFORMATION

1. The selected artist may be required to show proof of WCB coverage and up to \$5,000,000 general liability insurance.
2. Please be advised that the City and the selection panel are not obligated to accept any of the submissions and may reject all submissions. The City reserves the right to reissue the Artist Call as required.
3. All submissions to this Artist Call become the property of the City. All information provided under the submission is subject to the Freedom of Information and Protection of Privacy Act (BC) and shall only be withheld from release if an exemption from release is permitted by the Act. The artist shall retain copyright in the concept proposal. While every precaution will be taken to prevent the loss or damage of submissions, the City and its agents shall not be liable for any loss or damage, however caused.
4. Extensions to this deadline will not be granted under any circumstances. Submissions received after the deadline and those that are found to be incomplete will not be reviewed.

QUESTIONS

Please contact the Richmond Public Art Program:

Tel: 604-204-8671

E-mail: publicart@richmond.ca



COMMUNITY PARTNER PROFILE



Artist-In-Residence Opportunity

COMMUNITY PARTNER

Richmond Public Library has been proudly serving the Richmond community since 1976 as an essential source of information and learning. Our mission is to create opportunities to learn, connect and belong and our vision is to inspire curiosity, transform lives and empower everyone.

Guided by our 2019–2021 Strategic Plan, the library is focused on building and growing the community, communicating who we are and what we do; developing and leveraging our resources; expanding access to programs, services and collections; and reimagining space for our community to use.

The Richmond Public Library offers four branches and two book dispensers. Though COVID-19 has impacted access to the library's services and operating hours, Richmond Public Library is committed to slowly and safely restoring its services to meet the changing needs of the growing and diverse community we serve.

ARTIST OPPORTUNITY

The commissioned artist or artist team will engage multiple communities at up to four library branches across Richmond. Artists or artist teams with socially engaged multidisciplinary and/or interdisciplinary artist practices in visual arts (including but not limited to painting, drawing, printmaking, photography,

sculpture, textiles, design and ceramics) media arts and literary art forms are invited to submit a proposal for this residency. Artists will invite and encourage participation from multigenerational and culturally diverse community groups to create and work towards a collaborative legacy project. The final legacy project should emerge from the public engagement work and incorporate community contribution however possible. Ideas may include a letter-writing project, a podcast, a photo series or a collage-based work, just to name a few. Artists are encouraged to use their imagination and “think outside the box.”

The selected artist or artist team will have access to up to four (4) Richmond Public Library branches:

- Brighthouse Branch, 7700 Minoru Gate, Richmond, BC
- Cambie Branch, 11590 Cambie Rd
- Ironwood Branch, 11688 Steveston Highway
- Steveston Branch, 4111 Moncton Street

Artists will be supported by library staff and have access to:

- Richmond Public Library collections, including the Dr. Lee Browsing Collection, the Ben & Esther Dayson Judaica Collection and the Indigenous Perspectives Collection
- Digital services, including:
 - Launchpad space, located at the Brighthouse branch
 - 3D printers and associated software (Cura)
 - In-house Animation Applications (Shimmy)
 - Digitization Stations
- Pens/pencils and various office supplies
- Photocopying and printing equipment
- Depending on the library’s operating status due to COVID-19, a working studio space may be available at the Brighthouse Branch
- Outdoor park spaces at the Brighthouse and Steveston branches offer artists an opportunity to host in-person gatherings in small numbers during spring/summer 2021.

The aims, objectives and scope of work for the artist residency project:

- to use art as a catalyst to connect and capture the stories of multigenerational and culturally diverse community members across Richmond, including members of vulnerable communities;
- to create work that will encourage dialogue, foster belonging, health and wellbeing, and cultural awareness;

- to create opportunities for people to learn, connect and build community;
- The commissioned artist or artist team will complete a minimum of 250 hours. This will include research, administration, preparation work, public engagement, production and presentation work resulting in a final legacy project to be exhibited at a Richmond Public Library branch;
- The artist or artist team may participate and present work for signature Richmond events and initiatives, including Richmond Culture Days and the library's Summer Reading Program; And
- The artist will create and maintain an artist blog to communicate and document the process and work created during the artist residency.

LOCATION

Artists will have access to up to four Richmond Public Library branches. In-person gatherings outside, in adjacent park areas, are permissible at two locations: Brighthouse and Steveston branches. The commissioned artist may also be able to use a temporary artist studio at the Brighthouse branch to work and/or present virtual or produce pre-recorded digital videos for dissemination through RPL's social media platforms. Availability of this space will depend on the library's operating status due to COVID-19.

BUDGET

The project budget for this opportunity is \$10,000 CAD and is inclusive of community engagement work materials for engagement activities, administration, artist fees, photography documentation, artist insurance and applicable taxes, excluding GST.

ADDITIONAL RESOURCES

- Richmond Public Library Website | <https://www.yourlibrary.ca>
- Richmond Public Library Strategic Plan, 2019-2021 | <https://www.yourlibrary.ca/about/strategic-plan>
- Richmond Public Library 2019 Annual Report to the Community <https://78b80761.flowpaper.com/RPL2019AR/#page=1>
- City of Richmond Public Art Program | www.richmond.ca/culture/publicart/whatsnew/engageartists

PROJECT TIMELINE

The selected artist must complete all work by spring/summer 2022

Deadline to Apply:	January 29, 2021
Finalist Notifications:	February 10, 2021
2nd Stage Interviews*:	February 15 to 19, 2021
Project Start:	Spring 2021
Completion:	Spring 2022

*Artists applying for this opportunity are kindly asked to ensure their calendar is flexible during the week of February 15.



Figure 1. Brighthouse Branch Launchpad



Figure 2. Richmond Brighthouse Branch Outdoor Spaces



Figure 3. Steveston Branch Outdoor Spaces



Figure 4. Steveston Branch Outdoor Spaces



Figure 5. 3D printers



COMMUNITY PARTNER PROFILE

RICHMOND
SCHOOL DISTRICT NO.38

Artist Opportunity

COMMUNITY PARTNER

The Richmond School District's mission is to cultivate a safe, accepting and an engaged community that inspires a passion for lifelong learning. The values that guide our work and to achieve our vision and mission are: collaboration, creativity, curiosity, resilience, respect and equity for all.

Arts education plays a key role in the development of social-emotional competencies that enable young people to interact productively with others, build and express a healthy sense of self and community, and work effectively toward their goals. Art is valuable because it allows children to process their world, to deal with sometimes scary emotions in a safe way and allows them to engage in critical sensory input.

William Cook Elementary, 8600 Cook Road, is located in the City Centre of Richmond. Students at Cook school come from 28 different birth countries and identify 30 languages spoken in their homes. The cultural diversity within the school population allows them the opportunity to learn across cultures and to respect and appreciate those who come from different parts of the world. Cook school builds on many community partnerships that enhance learning experiences for our students.

The school has a population of approximately 500 students and promotes an inclusive and caring learning environment. Staff believe that all children will learn and thrive in a place where they belong and feel safe and respected. Students are supported in their learning by committed staff and supportive families understanding that the partnership between school and home is vital to student learning. Cook also prides itself on being a welcoming school with a strong sense of community and ethic of care.

COMMUNITY WELLNESS STRATEGY

The Richmond Community Wellness Strategy 2018-2023 was developed in partnership between the City of Richmond, Vancouver Coastal Health–Richmond and Richmond School District No. 38. The purpose of this five-year strategy is to take a collaborative and holistic approach to improve wellness for Richmond residents and to increase opportunities for individuals, neighbourhoods and communities to be active and healthy. The Community Wellness strategy prioritizes wellness as a contributor to a vibrant, appealing and livable community and identifies innovative approaches to most effectively impact wellness outcomes. The Community Wellness Strategy Framework works towards this vision: Richmond ... active, caring, connected, healthy and thriving. The Strategy has five focus areas:

- foster healthy, active and involved lifestyles for all Richmond residents with an emphasis on physical activity, healthy eating and mental wellness;
- enhance physical and social connectedness within and among neighbourhoods and committees;
- enhance equitable access to amenities, services and programs within and among neighbourhoods;
- facilitate supportive, safe and healthy natural built environments; and
- promote wellness literacy for residents across all ages and stages of their lives.

ARTIST OPPORTUNITY

Artists or artist teams with socially engaged multidisciplinary or interdisciplinary artist practices in environmental art, digital mixed-media, illustration, drawing, photography and/or sculpture (for example) are invited to submit a proposal for this artist opportunity. The commissioned artist or artist team will have experience in teaching or working with children and will incorporate teaching methodologies as part of the overall artist project. The commissioned project will engage approximately 60 students between 9 and 10 years of age in Grades 4 and 5. The expectation is for the commissioned artist or artist team to create and produce an art experience that will result in a legacy piece informed by their collaboration with the students. In addition to

virtual presentations, the selected artist or artist team will be encouraged to think of innovative ways to engage learners outdoors.

Due to the COVID-19 pandemic and in compliance with Provincial Health Orders, outdoor and indoor in-person engagement work with a limited number of learners will be possible.

Artists will be supported by teachers and educational leaders and will have access to:

- indoor and outdoor learning environments such as multipurpose classrooms, garden beds, outdoor learning space, school yards, sport fields, photocopying and printing services, pens, pencils, rulers, scissors and other general art supplies;
- a storage area for temporary storage of artist materials and equipment; and
- a work space within the school with access to WIFI.

The aims, objectives and scope of work for the artist project:

- to create a place-based art experience in collaboration with students using the natural environment as a classroom and to offer an opportunity for students to explore the relationship between the self, family, community and Richmond's natural heritage;
- to engage learners in an art-making experience that will promote healthy and active lifestyles and encourage physical and social connection within and among neighbourhoods and communities;
- to connect and engage local community seniors and offer intergenerational learning opportunities through a shared art experience;
- to encourage and offer learners an opportunity to express their voice, feelings, emotions and hopes on current events and the impact of those events in their life;
- The commissioned artist or artist team will complete a minimum of 250 hours. This will include research, administration, preparation work, public engagement, creation, production and presentation work resulting in a final legacy work to be installed and presented outdoors at William Cook Elementary school
- The artist or artist team will participate and present work as part of a final celebratory event with students and families. This will be subject to the COVID-19 Safety Plan for gatherings and will comply with current Provincial Health Orders; And
- The artist will create and maintain an artist project website blog to communicate and document the process and work for the project.

LOCATION

The commissioned artist or artist team will work virtually or on site at William Cook Elementary, 8600 Cook Road. In-person gatherings indoors and outdoors in adjacent park areas are permissible and will comply with the school’s COVID-19 safety plan. The commissioned artist will also have access to a workspace and a small storage space to store art materials and/or equipment on site for the duration of the project. Please refer to Figures 1 to 6 for additional photos of outdoor spaces available to the artist for project activation.

BUDGET

The project budget for this opportunity is \$10,000 CAD and is inclusive of community engagement work, art materials for engagement activities, administration, artist fees, photography documentation, artist insurance and applicable taxes, excluding GST. Additional in-kind materials and resources for installation or presentation of the final legacy work may be available and contributed by William Cook Elementary or the Richmond School District.

ADDITIONAL RESOURCES

- Richmond School District | sd38.bc.ca
- William Cook Elementary | cook.sd38.bc.ca
- City of Richmond Community Wellness Strategy | www.richmond.ca/parksrec/about/mandate/communityofexcellence.htm
- City of Richmond Public Art Program | www.richmond.ca/culture/publicart/whatsnew/engageartists

PROJECT TIMELINE

The selected artist must complete all work by spring/summer 2022

Deadline to Apply:	January 29, 2021
Finalist Notifications:	February 10, 2021
2nd Stage Interviews*:	February 15 to 19, 2021
Project Start:	Spring 2021
Completion:	Spring 2022

*Artists applying for this opportunity are kindly asked to ensure their calendar is flexible during the week of February 15.



Figure 1 – Outdoor Learning Space



Figure 2 – Garden beds



Figure 3 – Outdoor entrance/gathering space



Figure 4 – Sports fields



Figure 5 – Outdoor green space



Figure 6 – Outdoor green space in progress for spring 2021



COMMUNITY PARTNER PROFILE



Artist Opportunity

COMMUNITY PARTNER

Richmond Multicultural Community Services (RMCS), 7000 Minoru Boulevard, was originally founded as the Richmond Multicultural Concerns Society in 1985. RMCS began as an advocacy group to support newcomers facing barriers and challenges with settling in Richmond, as well as facing discrimination and racism.

RMCS is run by Executive Director, Parm Grewal who oversees the operation of the organization. The society has highly qualified staff of 15 who speak more than 15 different languages. They also operate with the support of more than 250 committed volunteers.

The Vision of RMCS is for a harmonious and inclusive society that values equality and diversity. Its mission is to foster intercultural harmony through leadership, collaboration and quality service delivery. Today, RMCS provides a variety of services to immigrant and refugee communities and plays an important role in the settlement, education and integration of immigrants from the day they arrive in Richmond. The organization strives to welcome newcomers by assisting with their initial settlement needs such as language development, job search skills and networking skills within the community. Our services include a wide range of programs and community events to facilitate and promote multiculturalism, diversity and inclusiveness.

ARTIST OPPORTUNITY

Artists or artist teams with socially engaged multidisciplinary and/or interdisciplinary artist practices in visual arts (including but not limited to painting, drawing, printmaking, photography, sculpture, textiles, digital mixed-media, design and ceramics), culinary arts, media arts and literary art forms are invited to submit a proposal for this residency. The commissioned artist or artist team will use socially-engaged art forms and methodologies as a catalyst to connect with Richmond-based refugees from Arabic and Farsi speaking countries. The collaborative art experience will focus on breaking down barriers to cross-cultural exchange and understanding, and will aim to engage a wider public audience through the making or presentation of the work. It is the expectation for the final legacy project to reflect participant voices. Artists are encouraged to use their imagination and “think outside the box.”

Artists will be supported by RMCS staff and have access to:

- translation services;
- pens, pencils and various office supplies;
- photocopying and printing equipment;
- a desk with computer and access to the internet within the RMCS offices;
- storage space for artist’s materials and/or equipment;
- multipurpose meeting rooms; and
- outdoor space for in-person gatherings nearby at Minoru Park and Brighthouse Park.

The aims, objectives and scope of work for the artist project:

- to use socially-engaged art forms and methodologies as a catalyst to connect with Richmond-based refugees of Arabic and Farsi speaking countries;
- to create an art experience that focuses on breaking down barriers to cross-cultural exchange and understanding and to foster belonging, health, wellbeing and cultural awareness with a wider public audience;
- to create opportunities for individual creative expression and build a sense of shared community;
- The artist or artist team will complete a minimum of 250 hours. This will include research, administration, preparation work, public engagement, production and presentation work.
- They will participate and present work as part of a final celebratory event with the project participants, subject to Provincial Health Orders for gatherings, and they may be invited to participate and present

work for the Richmond Diversity Symposium, Richmond Culture Days and/or Richmond Intercultural Advisory Committee; And

- The artist or artist team will also create and maintain a project artist blog to communicate and document the process and work created during the artist project.

LOCATION

Artists will have access to common gathering spaces at Richmond Caring Place, 7000 Minoru Boulevard, including multipurpose meeting rooms. Adjacent park spaces at Minoru Park and Brighthouse Park offer artists an opportunity to host in-person outdoor gatherings in small numbers during spring/summer 2021, subject to Provincial Health Orders at the time of the events.

BUDGET

The project budget for this opportunity is \$10,000 CAD and is inclusive of community engagement work materials for engagement activities, administration, artist fees, photography documentation, artist insurance and applicable taxes, excluding GST.

ADDITIONAL RESOURCES

- Richmond Multicultural Community Services | rmcs.bc.ca
- Richmond Cultural Harmony Plan
www.richmond.ca/services/communitysocialdev/inclusion/culturalharmony.htm
- City of Richmond Public Art Program | www.richmond.ca/culture/publicart/whatsnew/engageartists

PROJECT TIMELINE

The selected artist must complete all work by spring/summer 2022

Deadline to Apply:	January 29, 2021
Finalist Notifications:	February 10, 2021
2nd Stage Interviews*:	February 15 to 19, 2021
Project Start:	Spring 2021
Completion:	Spring 2022

*Artists applying for this opportunity are kindly asked to ensure their calendar is flexible during the week of February 15.

Attach one (1) copy of this form as the first page of the submission.

Please indicate which opportunity you are applying for: (please select only one opportunity)

☐ **Richmond Public Library** ☐ **William Cook Elementary** ☐ **RMCS**

Name: _____

Address: _____

City: _____ **Postal Code:** _____

Primary Phone: _____ **Secondary Phone:** _____

E-mail: _____ **Website:** _____
(One website or blog only)

Incomplete submissions will not be accepted. E-mailed submissions over 5 MB will not be accepted. Information beyond what is listed in the checklist will not be reviewed.

If applicable, please indicate additional members of your artist team:

Please let us know how you found out about this opportunity:

Would you like to receive direct e-mails from the Richmond Public Art Program? ☐ **Yes** ☐ **No**

Signature: _____ **Date:** _____

Submit applications by e-mail to: publicart@richmond.ca

Additional Information

Please be advised that the City and the selection panel are not obliged to accept any of the submissions and may reject all submissions. The City reserves the right to reissue the EOI as required. All submissions to this EOI become the property of the City. All information provided under the submission is subject to the Freedom of Information and Protection of Privacy Act (BC) and shall only be withheld from release if an exemption from release is permitted by the Act. The artist shall retain copyright of the submitted documents. While every precaution will be taken to prevent the loss or damage of submissions, the City and its agents shall not be liable for any loss or damage, however caused.

***Exploring Ecology Through Place* | Richmond Public Library**

by Richmond-based artist Rachel Rozanski

This community-engaged project will raise awareness of Richmond's ecology and will encourage participants to explore their surroundings including parks and natural heritage sites.

Ms. Rozanski is a visual artist inspired by scientific concepts focusing on environmental phenomena. She explores research through photo, video and drawing and often works with researchers to look at biological and geological elements of an environment, from microscopic samples to large-scale patterns. In 2020, she received an MFA in Documentary Media from Ryerson University.

Exploring Ecology Through Place will encourage project participants to explore local parks and natural heritage areas located near Richmond Library Branches. Through a series of artist-led outdoor and virtual workshops, participants will be invited to learn about the local ecology through, drawing, printmaking, field journaling and sculptures. A final legacy project will be completed with project participants and displayed at a Richmond Public Library branch. The artist aims to reach out to socially isolated seniors and members of vulnerable communities.

Examples of Proposed Art Activities:



From left to right: field journaling, cyanotype printing, book making and Gyotaku Japanese printmaking.

Creative Café | William Cook Elementary School

by artist team led by J Peachy and supported by Yolanda Weeks, Pat Calihou and Tiffany Yang

This community-engaged project will focus on outdoor environmental and place-based learning. Students will be introduced to a diverse range of creative practices including Indigenous carving, puppetry, eco-arts and Indigenous land-based learning.

Mr. Peachy is a self-taught multi-disciplinary, community-engaged artist and creative producer with extensive experience in community-engaged arts. His practice includes face-painting, puppetry, arts-activation, digital media arts and creative pancakes.

Ms. Weeks is an artist, facilitator and community worker who focuses on connection, gathering meaning through material, collaborative creation and grassroots projects.

Mr. Calihou is a Métis carver, woodcrafter, canoe builder and traditional Red River cart builder. In addition, he is a singer songwriter and guitar player. Through his creative practices, he aims to keep the memory of his ancestors and customs alive, focusing on education with youth and children.

Ms. Yang is a community public artist, illustrator, painter, snow sculptor and public speaker. She has more than 12 years experience in community leadership and is a Volunteer Coordinator and Eco-Educational Outreach Leader at Green Chair Recycling Inc.

Creative Café will offer young learners the opportunity to learn a range of arts practices and make intergenerational social connections. Shared art-making in a community context creates experiential memory within a space. The practice of this group of artists is guided by the principles of participation, imagination, sharing and understanding, and ecological inspiration.



From left to right: carved bench, Pat Calihou; workshop concepts, J Peachy; Nomadic Nest, Yolanda Weeks; Gallery Gachet Art Cart (example of mobile sculpture); wild crafting and weaving (example)

Jean Bradbury | Richmond Multicultural Community Services

by Jean Bradbury

This community-engaged project will use socially-engaged art forms and methodologies as a catalyst to connect with Richmond-based refugees of Arabic and Farsi speaking countries.

Ms. Bradbury is an artist with years of experience teaching art in the U.S. Her more recent art practice revolves around mural painting and public art in Canada and in Washington State. Since 1999, she has combined this with a teaching practice in the country of Jordan where she established a successful rural women's art and craft co-operative (Safi Crafts 1999-2018) and founded and managed an organization to bring education and art opportunities to displaced people in Syria (Studio Syria 2013-2018).

The proposed project will connect RMCS clients from Arabic and Farsi speaking countries with their new community through socially-engaged art forms and art activities, such as urban sketching, graphic novels, mural painting, photography and journaling. She will organize field trips to sites of interest in Richmond to inspire activities. Participants will also be led through the steps of turning their field notes into comic book type pages. These pages will provide the basis for a final legacy project, such as a mural.



From left to right: art workshop with displaced Central Americans, Arizona; Graphic novel workshops, Syria, 2015; painted mural, Syria, 2016; community mural, Kirkland, WA, 2018.



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
From: Elizabeth Ayers
Director, Recreation and Sport Services
Date: February 22, 2021
File: 11-7000-10-01/2021-Vol 01
Re: **Proposed Amendment to the Richmond Sports Wall of Fame Nominating Committee's Terms of Reference**

Staff Recommendation

That the Richmond Sports Wall of Fame Nominating Committee's Terms of Reference be amended, as detailed in Attachment 2 of the staff report titled "Proposed Amendment to the Richmond Sports Wall of Fame Nominating Committee's Terms of Reference".

Elizabeth Ayers
Director, Recreation and Sport Services
(604-247-4669)

Att. 3

REPORT CONCURRENCE	
CONCURRENCE OF GENERAL MANAGER 	
SENIOR STAFF REPORT REVIEW	INITIALS:
APPROVED BY CAO 	

Staff Report

Origin

The purpose of this report is to seek approval to amend the Richmond Sports Wall of Fame's Terms of Reference related to the number of voting members as detailed in the letter from the Chair of the Richmond Sports Wall of Fame Nominating Committee, dated February 18, 2021 (Attachment 1).

This report supports Council's Strategic Plan 2018-2022 Strategy #3 One Community Together:

3.1 Foster community resiliency, neighbourhood identity, sense of belonging, and intercultural harmony.

3.4 Celebrate Richmond's unique and diverse history and heritage.

This report supports the following actions from the Recreation and Sport Strategy 2019-2024:

Celebrate excellence in sport by creating opportunities to sport idols.

Encourage connectedness and participation in recreation and sport.

Analysis

Background

In 2014, Richmond City Council requested that Richmond Sports Council establish a Richmond Sports Wall of Fame nominating committee to make recommendations to Council regarding inductees to the Richmond Sports Wall of Fame that would be located in the Richmond Olympic Oval. At that time Council, passed Policy 8711 "Sports Wall of Fame" which provides the direction for the Wall of Fame. Council also approved the Richmond Sports Wall of Fame Terms of Reference for the committee along with selection criteria for individual inductees and team nominations.

Since 2015, the nominating committee has recommended 63 individuals/teams to Council for induction on to the Richmond Sports Wall of Fame. Five induction ceremonies have been held since the installation of the Richmond Sports Wall of Fame and accompanying digital kiosk. Staff received a letter from the Nominating Committee on February 18, 2021 requesting an increase in the number of voting members on the committee from three to five current members of Richmond Sports Council (Attachment 2).

The Terms of Reference for the committee were last updated by Council in 2015 when Council advised the Nominating Committee that the committee's voting process would be changed from a consensus or unanimous vote to a majority vote of four out of five or 80% of the vote.

The current Terms of Reference for the Nominating Committee, specify there will be five voting members on the committee as follows:

- a. One City of Richmond Council Member (to be appointed by Council);
- b. Three current members of Richmond Sports Council (to be appointed by Richmond Sports Council); and
- c. One Richmond Sports Council Life Time Member (to be appointed by Richmond Sports Council).

The request to increase the number of members from Richmond Sports Council has several benefits, including knowledge transfer, consistency in membership, and expanded knowledge base. Staff support the Committee's recommendation and note that it also demonstrates increased interest and support for this important initiative.

As detailed in the letter from the Nominating Committee's chair, the committee is recommending that the majority vote still remain at 80% in favor of a nominee. Attachment 2 is a copy of the proposed amendments to the Richmond Sports Wall of Fame Nominating Committee's Terms of Reference proposing "Up to Five current members of Richmond Sports Council". Attachment 3 shows the proposed changes highlighted in red. The proposed change will assist the Nominating Committee in their work as they review, research and recommend individuals and teams to Council for inclusion onto the Richmond Sports Wall of Fame.

Financial Impact

No financial impact

Conclusion

The proposed changes to the Richmond Sports Wall of Fame Terms of Reference will provide the committee with increased knowledge and expertise to continue to make recommendations to Council on future Richmond Sports Wall of Fame inductees. The Richmond Sports Wall of Fame and induction ceremonies have provided Richmond residents and the Richmond sport community with a focal point to celebrate individuals and teams accomplishments along with recognizing their contribution to sports in Richmond over the decades.



Gregg Wheeler
Manager, Sport and Community Events
(604-244-1274)

- Att. 1: Letter from the City of Richmond Sports Wall of Fame, Nominating Committee, dated February 18, 2021
- 2: Updated (Clean) – Richmond Sports Wall of Fame Nominating Committee Terms of Reference
 - 3: Updated (Redlined Edits) – Richmond Sports Wall of Fame Nominating Committee Terms of Reference

Attachment 1

February 18, 2021

**Gregg Wheeler
City of Richmond
5599 Lynas Lane
Richmond, BC
V7C 5B2**

To Gregg

Re: City of Richmond Sports Wall of Fame Nominating Committee Terms of Reference Update to Number of Voting Committee Members

The City of Richmond's Sport Wall of Fame Nominating Committee, met January 26, 2021 online for our first meeting of the year. Due to the current COVID pandemic, the committee was unable to meet in person in 2020.

This meeting provided the committee with an opportunity to welcome two new members:

- Ms. Barb Norman – long time Richmond Sports Council member
- Mr. Rick Henderson – Richmond Sports Council Lifetime Member & current Wall of Fame inductee.

The uptake of these two individuals to our committee was required due to the recent departure of an original committee member, Ms. Donna Marsland.

The current Wall of Fame Terms of Reference & Selection Criteria were reviewed during this meeting to bring our new committee members up to date on the selection process used when considering new Wall of Fame inductees.

At this meeting consensus was reached and agreed upon regarding a modification to the existing Terms of Reference. Some additional flexibility regarding the overall make up of the committee is required. From time to time, the committee requires:

- Additional expertise in certain areas of sports regarding specific individual applications.
- Additional member(s) in the case of a long-term unavailability of a current committee member.

The Richmond Sports Wall of Fame Nominating Committee is requesting the following amendment to the Terms of Reference:

Below are the current Terms of Reference related to the Nominating Committee:

1. *The Nominating Committee includes the following membership:*
 - a. *One City of Richmond Council Member (to be appointed by Council);*
 - b. *Three current members of Richmond Sports Council (to be appointed by Richmond Sports Council); and*
 - c. *One Richmond Sports Council Life Time Member (to be appointed by Richmond Sports Council).*
2. *Nominating Committee members have a working knowledge of the history, achievements and evolution of sport in Richmond.*
3. *The Nominating Committee operates on a majority vote 4 out of 5 and that the number of votes for each submission be disclosed to Council in the staff report as part of their recommendations to Council.*
4. *Council will approve all inductees to the Richmond Sports Wall of Fame.*

The Nominating Committee is requesting that the number of Richmond Sports Council committee members under "Section 1." be updated to the following "Three or more as deemed by Richmond Sports Council". The majority for a vote would then be "80% of the voting members at the time".

This request does not affect the overall goals and objectives of the Wall of Fame Nominating Committee, but does provide more flexibility to the Committee in managing all applications & nominations received on a yearly basis.

Sincerely,



City of Richmond
Sports Wall of Fame, Nominating Committee

Councillor Harold Steves
Councillor Bill McNulty
Barb Norman
Bob Jackson
Rick Henderson
Stuart Corrigan – Chair (2021 – 2022)

Attachment 2

Richmond Sports Wall of Fame Terms of Reference

Council Policy

1. The Richmond Sports Wall of Fame located at the Richmond Olympic Oval will showcase Richmond's sporting history.
2. Inductees to the Wall of Fame may come from any sport or related activities. For the purposes of this policy, "Sport" is defined as any competitive, physical activity governed by a specific set of rules.
3. Inductees to the Richmond Sports Wall of Fame will be approved by Council based on recommendations from a Nominating Committee.
4. Inductees must have residency or strong connection to the Richmond Community. Preference will be given to individuals who lived in Richmond during their participation in either their sport or related activities.
5. Inductees will be nominated in one or more of the following eight categories:
 - a. Athlete
 - b. Builder
 - c. Coach
 - d. Official
 - e. Pioneer
 - f. Special Achievement
 - g. Team
 - h. Masters Athlete
6. Inductees will be invited to a ceremony at Council Chambers at Richmond City Hall as part of an Induction Ceremony to be held a minimum of every three years.

Nominating Committee

Richmond Sports Council to be the overseeing body for the Nominating Committee within the following parameters:

1. The Nominating Committee includes the following membership:
 - a. One City of Richmond Council Member (to be appointed by Council);
 - b. Up to Five (5) current members of Richmond Sports Council (to be appointed by Richmond Sports Council); and
 - c. One Richmond Sports Council Life Time Member (to be appointed by Richmond Sports Council).
2. Nominating Committee members have a working knowledge of the history, achievements and evolution of sport in Richmond.
3. The Nominating Committee operates on a majority vote of 80% and that the number of votes for each submission be disclosed to Council in the staff report as part of their recommendations to Council.
4. Council will approve all inductees to the Richmond Sports Wall of Fame.

Richmond Sports Wall of Fame Selection Criteria

Eight main categories for inclusion in the Sports Wall of Fame – Athlete, Builder, Coach, Official, Pioneer, Special Achievement, Team and Masters Athlete.

Key criteria to be considered in all of the inductee categories for the Sports Wall of Fame include the following:

1. Inductees must have residency or strong connection to the Richmond Community. Preference will be given to individuals who lived in Richmond during their participation in either their sport or related activities.
2. Achievement at community, provincial, national, international or world championship level.
3. In good standing at the time of their achievement with the related provincial, national or international sport if applicable.
4. Athlete be retired from the sport for which they are nominated for a minimum of five years other than athletes competing in sanctioned masters athletic competitions.¹
5. Contribution back to the community of Richmond, either in their sport or related activities.
6. Higher than average proficiency in more than one sport.
7. Richmond sport organization or school team that is made up of a minimum of 75 per cent Richmond residents. Team members' names will not be included on the Wall of Fame plaque, but individual names will be included in the accompanying electronic kiosk.
8. Nomination forms to be submitted by December 31 of each year. Unsuccessful nomination forms and accompanying supported materials will be returned to the nominator and accompanying supported materials after three years.
9. Unless directed by the committee, all discussion and decisions of the Wall of Fame Nomination Committee to remain in strict confidence so as to ensure that the committee speaks with one voice and that individuals and groups privacy is respected.
10. Coach - Compiled an outstanding record of coaching/managing championships teams and/or athletes, and compiled an extraordinary winning record or have achieved other outstanding accomplishments, with consideration given to integrity, sportsmanship and character.
11. Pioneer - Attained a high level of excellence and brought honour and recognition to Richmond sport and sport history. Nominees must exhibit a "pioneering" quality in athletic, builder, or team accomplishments, involving some aspect of innovation, or trailblazing that changed the shape of sport in Richmond for those who followed 40 years prior to the current year.
12. Special Achievement - This special recognition award is presented from time to time to an individual(s) who has (have) made a significant contribution to sport in Richmond, but who would not otherwise qualify for induction into Richmond's Sports Wall of Fame. This candidate(s) must exemplify good character and dedication, and provide inspiration to present and future generations.

¹ Special consideration may be given to individuals and teams still competing in their sport related to Olympic medal success, international championships or world records that have been sanctioned by the appropriate international sport federation.

Attachment 3

Richmond Sports Wall of Fame Terms of Reference

Council Policy

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2. Inductees to the Wall of Fame may come from any sport or related activities. For the purposes of this policy, "Sport" is defined as any competitive, physical activity governed by a specific set of rules.
3. Inductees to the Richmond Sports Wall of Fame will be approved by Council based on recommendations from a Nominating Committee.
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2. Nominating Committee members have a working knowledge of the history, achievements and evolution of sport in Richmond.
3. The Nominating Committee operates on a majority vote of 80% 4-out-of-5 and that the number of votes for each submission be disclosed to Council in the staff report as part of their recommendations to Council.
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3. In good standing at the time of their achievement with the related provincial, national or international sport if applicable.
4. Athlete be retired from the sport for which they are nominated for a minimum of five years other than athletes competing in sanctioned masters athletic competitions.¹
5. Contribution back to the community of Richmond, either in their sport or related activities.
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¹ Special consideration may be given to individuals and teams still competing in their sport related to Olympic medal success, international championships or world records that have been sanctioned by the appropriate international sport federation.



City of Richmond

Report to Committee



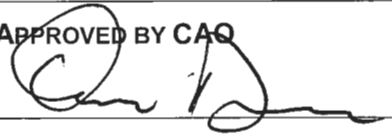
To: Parks, Recreation and Cultural Services Committee
From: Elizabeth Ayers
Director, Recreation and Sport Services
Date: February 22, 2021
File: 11-7000-10-01/2021-Vol 01
Re: Outdoor Sports Fields and Amenities Allocation Policy

Staff Recommendation

That Council Policy 8500 *Park Playing Fields – Allocation* be rescinded and the proposed *Outdoor Sport Facilities and Amenities Policy*, as detailed in Attachment 2 of the staff report titled “Outdoor Sports Fields and Amenities Allocation Policy,” dated February 22, 2021, from the Director, Recreation and Sport Services be adopted.

Elizabeth Ayers
Director, Recreation and Sport Services
(604-247-4669)

Att. 4

REPORT CONCURRENCE		
ROUTED TO: Parks Services	CONCURRENCE <input checked="" type="checkbox"/>	CONCURRENCE OF GENERAL MANAGER 
SENIOR STAFF REPORT REVIEW	INITIALS: 	APPROVED BY CAO 

Staff Report

Origin

At the December 18, 2019, Parks, Recreation and Cultural Services Committee meeting, staff received the following referral:

That the Outdoor Sports Fields and Amenities Allocation Policy be referred back to staff and the Richmond Sports Council for further consultation.

The purpose of this report is to address the above referral and seek Council's approval to replace the existing Council Policy 8500 *Parks Playing Fields – Allocation* (the "Policy 8500"), dated March 28, 1978, (Attachment 1), with the proposed *Outdoor Sport Facilities and Amenities Allocation Policy* (Attachment 2) that was developed in consultation with the Richmond Sports Council and its various sports groups.

This report supports Council's Strategic Plan 2018-2022 Strategy #4 An Active and Thriving Richmond:

An active and thriving community characterized by diverse social and wellness programs, services and spaces that foster health and well-being for all.

4.1 Robust, affordable, and accessible sport, recreation, wellness and social programs for people of all ages and abilities.

4.2 Ensure infrastructure meets changing community needs, current trends and best practices.

This report supports the following focus area from the City of Richmond Wellness Strategy 2018-2023:

Focus Area #1: Foster healthy, active and involved lifestyles for all Richmond residents with an emphasis on physical activity, healthy eating and mental wellness.

This report supports the following action from the City of Richmond Recreation and Sport Strategy 2019-2024, Focus Area #4 Active People and Vibrant Places:

Key Action 2: Review and update Facility and Field Allocation Policies to ensure effective and efficient use of City resources.

Analysis

Background

The existing Policy 8500 *Park Playing Fields – Allocation* is from 1978 and has been used by staff for the past 40 years to allocate Richmond's sports playing fields. Policy 8500 does not account for how sports participation has evolved in Richmond since 1978, or for the many upgrades to sports fields and amenities that have been completed by the City of Richmond.

Staff received a referral at the December 18, 2019, Parks, Recreation and Cultural Services Committee meeting to follow up with Richmond Sports Council to further review the draft Outdoor Sport Fields and Amenities Policy which was originally referred to staff at the June 26, 2018, Parks, Recreation and Cultural Services Committee meeting. The June 26, 2018, referral requested:

(1) That staff be directed to work with The Richmond Sports Council and the sports community to update the City of Richmond's sport field allocation policy and procedures, and that the updated policy and procedures meet the needs of Richmond's various sport organizations to ensure that Richmond's sports fields are used in a sustainable way into the future; and

(2) That staff examine the residency requirements for allocation of sporting fields in Richmond.

Since the December 2019 referral, staff have consulted and met with Richmond Sports Council along with Richmond sport users to further clarify and refine the draft policy and accompanying administrative procedure over the course of multiple meetings.

In response to the original referral, staff completed a review of neighboring municipalities' field sports policies which included Surrey, Vancouver, Burnaby and Coquitlam. A review of the City of Richmond's current sports fields and amenities registration procedures was also completed to ensure that any identified issues would be addressed by the new policy.

Staff, in consultation with Richmond Sports Council, have developed an administrative procedure (Attachment 3) to accompany the draft policy. The administrative procedure further details how staff will administer the draft policy on a day to day basis. The administrative procedure includes provision for staff to organize and facilitate an annual meeting with Richmond Sports Council and field sport users to discuss the previous year's field use along with the pending years field use.

Highlights of the Proposed Policy and Administrative Procedure

The proposed policy and administrative procedure ensures that the City of Richmond's existing sport fields and amenities will be used effectively and efficiently for the betterment of all Richmond outdoor field and sport amenity participants. The policy includes clear expectations for users to make sure Richmond's outdoor sports facilities and amenities are managed with the goal of maintaining a fair and sustainable allocation of facilities. Key aspects of the proposed policy includes:

- Accountability – That Richmond sport organizations be aligned with relevant City policies and strategies as well as relevant sport plans. In addition, sport organizations must be in good standing with the City of Richmond and the BC Societies Act where applicable.
- Allocation Order of Priority – Staff currently follow the order of allocation process that is included in the proposed policy which gives City of Richmond programs and events first priority, Richmond School District No. 38 programs and events second priority, special

events or tournaments third priority, followed by Richmond based not-for-profit youth and adult groups and then non-residents or commercial users. The Policy also accounts for allocation of sport by season.

- Fair and Equitable – Gender equity, accessibility, inclusion and emerging sports will be given consideration under the policy.
- Expectations of the Renter – The proposed Policy includes standards regarding payments, cancellations, returning of unused inventory, violations and adherence to the Field Sport Code of Conduct. The Policy also specifies that groups may be required to demonstrate rate of utilization of their field allocation when requested by the City.
- Residency Requirement – As per Council Policy 8701 *Parks and Leisure Services – Community Involvement* (Attachment 4), Richmond sport organizations must maintain 70 per cent Richmond residency to receive the community rate for sport field and amenity bookings. Staff will continue to work with sport organizations to ensure teams strive to have 70 per cent Richmond residency per team.
- Improvements – Improvements may be made to fields and amenities with prior permission from the City but do not result in exclusivity or priority of allocation.
- Accompanying administrative procedure provides greater clarity for sport users as it relates to how the fields and amenities will be allocated and what their responsibilities are related to the use of the fields and amenities.

Next Steps

Upon Council's approval, the proposed *Outdoor Sport Facilities and Amenities Allocation Policy*, along with the accompanying Administrative Procedure will be utilized by staff to manage the City of Richmond's sports fields and amenities. In addition, the rental application form for fields and amenities will be updated to reflect the proposed policy, and will be shared with the Richmond Sports Council, Richmond sports groups, and other impacted groups and organizations such as Richmond School District No. 38.

Financial Impact

None

Conclusion

The proposed *Outdoor Sports Facilities and Amenities Allocation Policy* and accompanying Administrative Procedure developed in partnership with Richmond Sports Council and Richmond based sport organizations details how Richmond's outdoor sport facilities and amenities are to be allocated. This proposed allocation policy will position Richmond as a leader in the planning and delivery of recreation and sport opportunities, which will inspire individuals and communities to be active, connected and healthy for a lifetime.



Gregg Wheeler
Manager, Sport and Community Events
(604-244-1274)

- Att. 1: Policy 8500 Park Playing Fields – Allocation
2: Draft Policy Outdoor Sport Facilities and Amenities Allocation Policy
3: Draft Administrative Procedure - Outdoor Sports Facilities and Amenities Allocation
4: Policy 8701 Parks and Leisure Services – Community Involvement



POLICY 8500:

It is Council policy that:

The allocation of all outdoor sports playing surfaces including soccer fields, ball diamonds, tracks, tennis courts, and lacrosse boxes, will be coordinated through the Community Services Division in order to:

1. Avoid conflicts of use, double bookings, and overuse;
2. Establish equitable allocation of playing surfaces and facilities to maximize benefits to all concerned.



Page 1 of 3	Draft - Outdoor Sport Facilities and Amenities Allocation	Policy <policy no.> Draft
	Adopted by Council: <date>	

<POLICY NO.> :

It is Council policy that:

The allocation of all outdoor sports facilities and amenities to sport organizations is coordinated through the Community Services Division. The following principles will be used as a framework to ensure the fair and equitable allocation, avoid conflicts of use and maximize benefits to all concerned:

1. RESIDENCY OF USERS

- 1.1 The needs of Richmond residents are considered before those of other communities.
- 1.2 Organizations must have at least 70 per cent Richmond residents as registered players to be considered Richmond-based (Policy 8701).

2. ORGANIZATIONS

- 2.1 Sport organizations must be aligned with relevant City of Richmond policies and processes, the appropriate sport governing body, Canadian Sport for Life Model and Provincial Sport Organizations where applicable.
- 2.2 Sport organizations must be in good standing with the City of Richmond and the BC Societies Act, if applicable.
- 2.3 Sport organizations must provide the appropriate insurance as required by the City of Richmond.

3. BALANCE OF SPORT OPPORTUNITIES

- 3.1 Consideration of gender equity, emerging and declining sports and accessibility and inclusion will be given to ensure a balance of sport opportunities for Richmond residents.

4. FIELD AND AMENITY MODIFICATIONS

- 4.1 With prior permission, improvements may be carried out on the City's behalf but will not result in exclusive or priority allocation.

5. PRIORITY OF ALLOCATION

- 5.1 City of Richmond's sponsored programs, events and services.



- 5.2 Richmond School District No. 38 programs, events and tournaments during school hours and outside school hours with 150 days written notice to the City from the Richmond School District Athletic Facilitator or designated alternate.
- 5.3 In-season sports will be given priority consideration.
- 5.4 Games will be given priority over practices.
- 5.5 Allocation will occur in the following order of priority:
 - a. Consideration will be given to special events and tournaments hosted by or in partnership with Richmond-based not-for-profit sport associations, organizations, and leagues that may provide significant economic benefit to the community.
 - b. Richmond-based, not-for-profit youth sport associations.
 - c. Richmond-based, not-for-profit adult programs, teams, organizations and leagues.
 - d. Youth non-resident not-for-profit sport associations or youth sport commercial renters.
 - e. Adult non-resident not for profit or adult commercial renters.
- 5.6 The previous season's allocation will be considered as the basis for the pending season's allocation.
- 5.7 Users are required to return unused fields to the City as soon as it is known that it will not be utilized.
- 5.8 Users may be required to demonstrate rate of utilization at the City's request.

6. CODE OF CONDUCT AND VIOLATIONS

- 6.1 Sport organizations must comply with the City of Richmond's Outdoor Sport Facility and Amenities Code of Conduct and administrative procedures.
- 6.2 The following activities are not permitted and users may lose their allocation if they are found engaging in any of the following activities:



- a. Withholding fields or amenities by booking facilities when not required for play.
- b. Sub-licensing or allowing another sport organization to use allocated field(s) or amenities without prior approval from the City.
- c. Using fields or amenities when not booked or closed.

6.3 All user groups are required to attend meetings with the City of Richmond regarding the allocation of outdoor sport facilities and amenities. Failure to attend may result in the loss of their allocation.

7. PAYMENT

User fees may be charged.

8. CANCELLATION

8.1 Refunds for unused times may be issued at the City's discretion.

8.2 The City reserves the right with notice to cancel, postpone or reschedule an allocation at any time.

9. ADMINISTRATIVE PROCEDURES

The City will maintain administrative procedures relating to the allocation of Outdoor Sport Facilities and Amenities that will include annual meetings with sport users.



ADMINISTRATIVE PROCEDURE XXXX:

It is Council policy that:

The allocation of all outdoor sports facilities and amenities to sport organizations is coordinated through the Community Services Division. This includes but is not limited to: sport fields, ball diamonds, tracks, tennis courts, lacrosse boxes and associated site amenities. The following principles will be used as a framework to ensure the fair and equitable allocation of City of Richmond outdoor sport facilities and it's amenities by organizations (teams, associations, societies and businesses); and avoid conflicts of use and maximize benefits to all concerned:

1. RESIDENCY OF USERS

- 1.1 The needs of Richmond residents are considered before residents of other communities.
- 1.2 Organizations must have at least 70 per cent Richmond residents as registered players to be considered Richmond-based (Policy 8701).
 - a. City of Richmond reserves the right to request team rosters to confirm Richmond Residency.
 - b. Organizations who intend to have a team for the pending season with less than 70% Richmond residents must provide a written notice of intent to City staff for their approval.

2. ORGANIZATION

- 2.1 Sport organizations must be aligned with the relevant City of Richmond policies and processes, the appropriate sport governing body, Canadian Sport for Life Model, the appropriate sport governing body, and Provincial Sport Organizations where applicable.
- 2.2 Sport organizations/groups must be in good standing with the City of Richmond (i.e., signed contracts and no outstanding invoices) and BC Societies Act, if applicable.
- 2.3 All contract holders must purchase and provide proof of comprehensive general liability insurance. Contract holders must forward a copy of their insurance



certificate, which shows the type of insurance, the expiry date, the amount of coverage as required by the City of Richmond and a statement naming the 'City of Richmond' and 'School District No. 38 (Richmond)' as additional insured.

- 2.4 The City of Richmond may request that not-for-profit organizations provide the City of Richmond with a copy of their previous year's Annual General Meeting (AGM) Minutes, Financial Statements, and total number of registered participants and volunteers for the previous season.
- 2.5 All commercial field renters must provide a copy of their current Richmond Business License.

3. BALANCE OF SPORT OPPORTUNITIES

- 3.1 Consideration of gender equity will be given to ensure a balance of sport opportunities for Richmond residents.
- 3.2 Consideration of emerging and declining sports will be given to ensure a balance of sport opportunities for Richmond residents.
- 3.3 Consideration of accessibility and inclusion will be given to ensure equitable access to sport opportunities for Richmond residents.

4. FIELD AND AMENITY MODIFICATIONS

Written permission is required for any organization wishing to make improvements to an existing field or facility. Improvements to outdoor sport facilities or amenities do not result in organizations having exclusive use of the specific facilities.

5. PRIORITY OF ALLOCATION

- 5.1 City of Richmond's sponsored programs, events and services.
- 5.2 Richmond School District No. 38 programs, events and tournaments during school hours and outside school hours with 150 days written notice to the City from the Richmond School District Athletic Facilitator or designated alternate.
- 5.3 In-season sports will be given priority consideration. Out of season sports will be given consideration for field times after in season sports allocation. In the case of overlapping seasons, playoff games shall take precedence over regular league games.



Sport	In Season	Out of Season (Developmental)
Baseball	Spring/Summer	Fall
Box Lacrosse	Spring/Summer	
Cricket	Spring/Summer	
Field Hockey	Spring	Fall
Field Lacrosse	Summer/Fall/Winter	
Flag Football	Spring	
Football	Summer/Fall	
Rugby	Fall/Winter	
Adult Slow Pitch	Spring/Summer	
Soccer	Fall/Winter	Spring/Summer
Softball	Spring/Summer	Fall

- 5.4 Games will be given priority over practices.
- 5.5 Allocation will occur in the following order of priority:
- Consideration will be given to special events and tournaments hosted by or in partnership with Richmond-based not-for-profit sport associations, organizations, and leagues that may provide significant economic benefit to the community.
 - Richmond-based, not-for-profit youth sport associations.
 - Richmond-based, not-for-profit adult programs, teams, organizations and leagues.
 - Youth non-resident not-for-profit sport associations or youth sport commercial renters.
 - Adult non-resident not for profit or adult commercial renters.
- 5.6 The previous season's field allocation will be considered as the basis for the pending season's allocation.
- 5.7 Sport field contract holders are required to return unused inventory to the City as soon as it is known that it will not be utilized.
- 5.8 Sport field contract holders will be required to demonstrate the utilization of sport fields and amenities at the City's request. Those that are unable to demonstrate an appropriate utilization rate may have their field allocation reduced at the City's discretion.



5.9 Youth will be given priority over adults Monday to Friday from 5:30 to 9:00 p.m.

6. ADMINISTRATION OF FIELD ALLOCATION

- 6.1 All field allocation request must be submitted using the City of Richmond's Field Allocation Request Form(s). This includes one time, weekly bookings, special events and tournaments.
- 6.2 Special events and tournaments must provide written notice a minimum of 150 days in advance. Events and tournaments that are within an organization's existing seasonal allocation are required to provide the City of Richmond with 60 days written notice.
- 6.3 Field allocation requests by organizations must designate one representative to liaise with the City of Richmond for the duration of the requested seasonal contract.
- 6.4 All organizations requesting field time(s) must adhere to current City of Richmond Field use standards for their specific sport.

7. CODE OF CONDUCT AND VIOLATIONS

- 7.1 Sport organizations must comply with the City of Richmond's Outdoor Sport Facility and Amenities Code of Conduct.
- 7.2 The following activities are not permitted and Users may lose their allocation if they are found engaging in any of the following activities:
 - a. To be seen withholding fields or amenities by block-booking facilities when not required for play;
 - b. To have sub-leased or allowed another sport organization to use their allocated field(s) without prior approval from the City;
 - c. To be playing on a field that is closed;
 - d. To be in violation of the Outdoor Sport Facility and Amenities Code of Conduct;
 - e. To have players or teams using uncontracted times; or



- f. Teams and organizations are responsible for ensuring that sport fields and amenities are left cleaner than when they arrived and goals are properly returned/stored.

- 7.3 Allocation conflicts between user groups will require the groups to attend a meeting with City staff and Richmond Sports Council representatives to resolve the issue(s). Failure to attend these meetings may result in loss of fields. Decisions of this meeting will be final.

8. PAYMENT

The City of Richmond charges a user fee for the use of both City and School District No. 38 outdoor sport facilities.

- 8.1 Seasonal Bookings: Payment is due in full upon contract confirmation. Payment can be made by cheque, debit or credit card. Cheques are payable to the 'City of Richmond'.
- 8.2 The City may waive fees in extenuating circumstances.
- 8.3 A non-sufficient funds (NSF) fee will apply for declined cheques.
- 8.4 Groups or individuals that do not have an ongoing booking are required to pay in full at the time of the booking.

9. CANCELLATION

- 9.1 Refunds for designated field times will only be issued with 10 days prior written notice.
- 9.2 The City reserves the right with notice to cancel, postpone or reschedule a rental(s) at any time and refund the renter.
- 9.3 Cancellations due to weather or safety related events will be reviewed by City staff for possible refund.

10. ADMINISTRATIVE PROCEDURES

The City will maintain administrative procedures relating to the allocation of Outdoor Sport Facilities and Amenities that will include annual meetings with sport users. These meeting will provide the City of Richmond and sport users with the opportunity to review the previous year's usage along with discussing the pending year's allocation.



DRAFT



Adopted by Council: March 28, 1978

Amended by Council: May 8, 2017

POLICY 8701:

It is Council policy that:

Council encourages and supports community initiative, involvement, and decision making in programs of planning, acquisition, development, operation, and maintenance of parks and leisure services in Richmond.

It is the intent of Council to:

1. Encourage other groups, organizations and individuals to provide leisure programs, facilities and services in line with community need.
2. Encourage and incorporate the involvement of volunteers in the delivery of leisure services.
3. Support the formation, nurturing, and growth of parks and leisure services groups in the development and maintenance of the parks and leisure services delivery system.

Assistance may be given to:

1. Richmond Community Associations/Societies – Community associations/societies which include Community Services programs as a major part of their objectives.
2. Richmond Parks, Recreation, Culture and Community Social Development Organizations (non-sport) – Any not for profit Richmond based non-sport organization with membership of at least 60% Richmond residents, or as approved by Council, in developing and implementing its parks, recreation, cultural and community social development programs and services.
3. Richmond Sport Organizations – Any Richmond-based non-profit sport organization with membership of at least 70% Richmond residents.
4. Other Sport Organizations – For a maximum of three years, any non-profit sport organization which meets the following criteria: (i) has not previously accessed Richmond sport amenities and facilities; and (ii) represents a sport which is not currently using Richmond sport amenities and facilities (niche or emerging sports); and (iii) is actively working towards a membership of at least 70% Richmond residents.

The organizations, upon receiving assistance, will provide the Community Services Division with up-to-date records of the organization and its activities.

Encouragement and assistance may be given to the establishment of the community and neighbourhood associations and societies which include leisure services programs as a major part of their objectives. Wherever possible, neighbourhood organizations are encouraged to become affiliated with, or an integral part of, the larger community association serving the geographical area in which the neighbourhood is located. New community associations would

Community Services Division



Adopted by Council: March 28, 1978

Amended by Council: May 8, 2017

be formed when population densities, through infilling of residential areas, create a need for a logical sub-municipal identity and the development of major community recreational facilities in a new location.

Council is committed to providing facilitating and coordinating services to community groups and individuals involved in the provision of public leisure services. The Community Services Division accepts a leadership role in the coordination of leisure service programming and will endeavour to avoid undesirable duplication of services, or unreasonable variances in fees and charges to participants.



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
From: Elizabeth Ayers
Director, Recreation and Sport Services
Date: February 26, 2021
File: 11-7143-01/2020-Vol 01
Re: Proposed 2021 Operating Hours for Steveston Outdoor Pool

Staff Recommendation

That the hybrid model for 2021, as detailed in Attachment 5 of the staff report titled "Proposed 2021 Operating Hours for Steveston Outdoor Pool," dated February 26, 2021, from the Director, Recreation and Sport Services, be approved for the operation of Steveston Outdoor Pool for the summer of 2021.

Elizabeth Ayers
Director, Recreation and Sport Services
(604-247-4669)

Att. 5

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Facility Services Finance Department	<input checked="" type="checkbox"/> <input checked="" type="checkbox"/>	
REVIEWED BY SENIOR STAFF REPORT REVIEW	INITIALS: 	APPROVED BY CAO

Staff Report

Origin

At the November 26, 2019, Parks, Recreation and Cultural Services Committee meeting, a delegation presented a petition requesting additional length swimming hours at the Steveston Outdoor Pool for May through September. Staff responded to the request and received the following referral at the January 28, 2020, Parks, Recreation and Cultural Services Committee meeting:

That the staff report titled "Response to Request to Expand Steveston Outdoor Pool Operating Hours," dated January 2, 2020 from the Director, Recreation and Sport Services, be referred back to staff to:

- (1) examine a hybrid model that incorporates aspects of the proposed Options, as referenced in the staff report;*
- (2) provide data on daily usage rates and analyze the cost of increasing pool operating hours; and*
- (3) consult the community group that submitted the petition and the 2020 Aquatics Services Board on the proposed operating hours; and report back.*

The purpose of this report is to respond to this referral.

This report supports Council's Strategic Plan 2018-2022 Strategy #4 An Active and Thriving Richmond:

An active and thriving community characterized by diverse social and wellness programs, services and spaces that foster health and well-being for all.

4.1 Robust, affordable, and accessible sport, recreation, wellness and social programs for people of all ages and abilities.

This report supports Council's Strategic Plan 2018-2022 Strategy #5 Sound Financial Management:

Accountable, transparent, and responsible financial management that supports the needs of the community into the future.

This report supports the following focus areas from the City of Richmond Recreation and Sport Strategy 2019-2024:

Focus Area #2: Recreation and sport opportunities are accessible, inclusive and support the needs of a growing and diverse population.

Focus Area #3: Richmond residents have the fundamental movement skills, competence, confidence and motivation to move for a lifetime.

This report supports the following focus areas from the Wellness Strategy 2018-2023:

Focus Area #1: Foster healthy, active and involved lifestyles for all Richmond residents with an emphasis on physical activity, healthy eating and mental wellness.

Focus Area #3: Enhance equitable access to amenities, services and programs within and among neighbourhoods.

Background

The Steveston Outdoor Pool typically operates from May through August with three primary users: swim clubs, public swimmers and children's swimming lessons.

The Richmond Kigoos Swim Club has 230 active members and swim from the beginning of May to mid August each year. Other rental users of the pool include high school swim teams, a synchronized swim club, school groups, and the Richmond Rapids Swim Club that relocates to Steveston when Watermania undergoes its annual three-week shutdown in September. Of the almost 37,000 visits each year, to the Steveston Outdoor Pool, 60 per cent of swims are by swim club members and school groups.

The pool opens for public swimming on the Victoria Day weekend and remains open until late August. In recent years it has remained open into September to accommodate users during Watermania's annual shutdown. Public hours vary depending on the month, with more available hours during the months of July and August when the weather is generally hotter and children are out of school. Total public availability is typically 91 days for a total of 436 hours per season. See Attachment 1 for Steveston Outdoor Pool's typical operating hours in 2018 (base).

Children's swim lessons take place five days a week in July and August. They occupy the entire pool from 9:00 a.m. to 12:00 p.m. and the lessons offered range from Parent and Tot to Red Cross Level Eight.

It should be noted that 2019 attendance data is being used for the purposes of this report as the pool was opened late in 2020 and both the schedule and usage patterns were atypical because of COVID-19 restrictions, as well as the indoor pools being closed. Table 1 below outlines visits and revenue by user type for 2019.

Table 1: Steveston Outdoor Pool – 2019 Visitation and Revenue

User Type	Visits	Percentage of Overall Visits (%)	Total Visits per Hour	Revenue	Revenue %
Public Swimming (including length swimming)	8,355	23	16	\$18,377	19
Lessons	6,119	17	81	\$48,861	52
Kigoos Swim Club	19,353	52	33	\$21,805	23
Other: Groups/Rentals	2,965	8	49	\$5,385	6
Total	36,792			\$94,428	

When analyzing daily usage rates for swimming at the Steveston Outdoor Pool the following themes emerge:

- Swim clubs and groups/rentals make up 60 per cent of the visits throughout the season with a daily average attendance of 324;
- Swim lessons have the highest concentration of use, with approximately 50 visits per hour and a daily average attendance of 150; and
- Overall public attendance, including length swimming, is lower in the shoulder seasons of May, June and September with an average daily attendance of 25; and,
- In the prime season of July and August, public attendance including length swimming has a daily average attendance of 75. This is inclusive of summer day camp use; and,

See Attachment 2 for typical hourly attendance at Steveston Outdoor Pool (by season) for 2019 and Attachment 3 for weekly attendance / daily average public swim attendance at Steveston Outdoor Pool for 2019.

Analysis

In response to previous requests from the community for increased length swimming, an additional 88 hours of length swims were added at a cost of \$13,500 on a trial basis for the 2019 swim season. This was funded from the 2019 Aquatic Services budget due to the delayed opening of the Minoru Centre for Active Living.

The increase in 2019 operating hours represented a 20 per cent increase in public swimming hours and produced an increase of just over one per cent in overall public swim visits, from 8,244 visits in 2018 to 8,355 visits in 2019. The average number of visits per hour declined from 19 per hour to 16 per hour. This showed evidence that attendees remained constant as in previous years, but were either swimming for longer periods of time or attending different schedules rather than coming in more frequently throughout the season.

In addition, many of the length swimmers are pass holders from the indoor pools; and therefore, little additional revenue was generated from these swimmers.

At the Parks, Recreation and Cultural Services Committee meeting held November 26, 2019, a delegation presented a petition signed by 109 individuals that requested the following regarding the Steveston Outdoor Pool:

1. Be open to the public from the beginning of May until the end of September, seven days a week beginning in 2020;
2. Have length swimming hours protected and continued for the duration of the pool opening; and
3. The new hours of operation should be:
 - Weekends and Statutory Holidays: Length swim from 10:00 a.m. to 12:00 p.m., and Public swim from 12:00 to 7:00 p.m.
 - Weekdays: Length swim from 12:00 to 2:00 p.m., and Public swim from 2:00 to 7:00 p.m.

Consultations

As directed by Council, staff consulted with the Aquatic Advisory Board and the community group that submitted the petition. Initial meetings were held with organizers of the petition to examine a potential hybrid model that incorporates both the requests of the petitioners and the recommendations of staff and the Aquatic Advisory Board.

The remaining petitioners were then contacted by telephone and invited to one of three focus group sessions for consultations. A total of 15 of 109 people attended the sessions and completed a survey on usage patterns in which the following was reported:

- 80 per cent of the group uses the Steveston Outdoor Pool for length swimming;
- 53 per cent of the group swims at least six days per week;
- 70 per cent of the group prefers extension of September operating hours instead of May operating hours;
- 47 per cent of the group do not currently use any of Richmond's indoor pools; and
- 80 per cent of the group plans to use the new Minoru Centre for Active Living.

Focus group attendees were then asked for their input on their experience at the Steveston Outdoor Pool. See Attachment 4 for the feedback from the Steveston Outdoor Pool users.

Hybrid Model for 2021

In response to the request for additional hours, and consultations with the petitioners and the Aquatic Advisory Board, staff have prepared a hybrid model, for Council's consideration, for the 2021 season that increases length swim opportunities, meets the needs of the greater community and stays within existing budgets.

This option will maintain the existing number of hours by creating modifications to the typical schedule. See Attachment 5 for the 2021 proposed hybrid model operating hours. Although it does not provide all of the days and time requested by the petitioners, it does offer more length swimming opportunities over the previous base budget schedule. This is accomplished by moving some time slots, including those of the Kigoos swim club, to create efficiencies. Representatives of the Kigoos were supportive of this change.

This option would have a total public availability of 457 hours for the season compared to 436 hours in the base budget schedule. It maintains public swim lesson offerings and swim club usage, as well as allowing the public to access the pool in the early mornings and evenings. This option has no additional financial impact and maintains an operating season that is consistent with other pools in Metro Vancouver. The schedule will complement the Minoru Centre for Active Living swimming pools that opened in 2020 with 60 per cent more pool space available for Richmond residents.

It should be noted that the representatives of the community group that submitted the petition have indicated a strong desire to see the Steveston pool open in September. While not included in the proposed hybrid model, additional times to swim in September may be added if a planned maintenance closure at Minoru Centre for Active Living during August extends into September.

Watermania is not scheduled to have a maintenance closure this year and is expected to be available throughout the summer as well as September.

With the current financial realities and the need to manage COVID-19 restrictions, it is not prudent to request funding for increased operating hours at Steveston Outdoor Pool at this time. Staff estimate that the annual cost to accommodate the petitioners request to increase the operating hours at Steveston Pool would range from a low of \$14,910 to a high of \$54,175. The latter number is the full cost of the petitioner's first request which included opening May 1.

Staff will work with the Aquatic Advisory Board and user groups to implement an extensive marketing plan to help increase participation. This may include special promotions and incentives to entice new users to the facility.

At a special meeting of the Aquatic Advisory Board on February 23, 2021, six of seven Board Members present supported the hybrid model for 2021 with a review of operations in the fall to determine any future changes to the schedule that may be warranted.

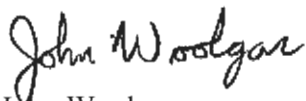
Financial Impact

If Council chooses to support the modified hours as outlined in the recommended hybrid model for 2021, there would be no financial impact as the modified hours fall within the existing operating budgets.

Conclusion

The Steveston Outdoor Pool is utilized by many different groups in the community, some of which may have overlapping demands for time and space. Balancing these demands with the appropriate level of service and corresponding cost to the taxpayer is a challenging task.

Based on the results from the trial increase in operating hours from 2019, consultations with the petitioners and the Aquatic Advisory Board, the opening of the Minoru Centre for Active Living with 60 per cent more space for swimming, staff recommend the hybrid model for 2021, which provides additional length swimming from May through August 2021. If approved, staff will work with the Aquatic Advisory Board and user groups to increase the attendance at the pool and study the potential for a future increase in operating hours at Steveston Outdoor Pool if warranted.



John Woolgar
Manager, Aquatic and Arena Services
(604-238-8041)

- Att. 1: Steveston Outdoor Pool – 2018 Typical Operating Hours (base)
2: Steveston Outdoor Pool – Typical Hourly Attendance 2019 (by season)
3: Steveston Outdoor Pool – Weekly Attendance / Daily Average Public Swim Attendance Summer 2019
4: Steveston Outdoor Pool – Feedback from Steveston Outdoor Pool Users
5: Steveston Outdoor Pool – 2021 Proposed Hybrid Model Operating Hours

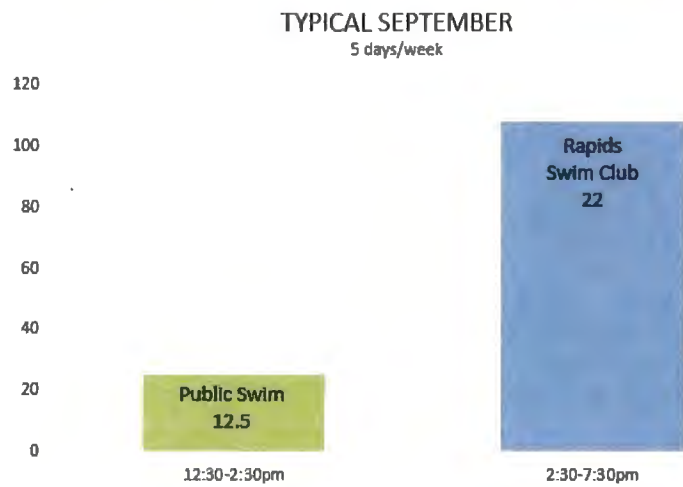
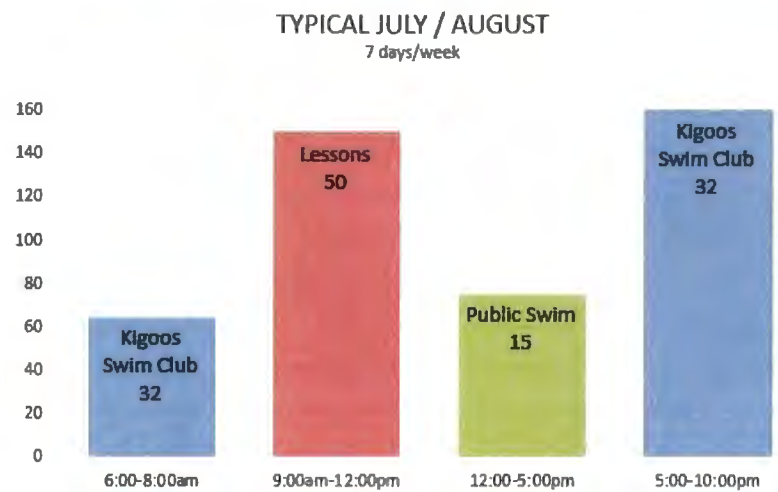
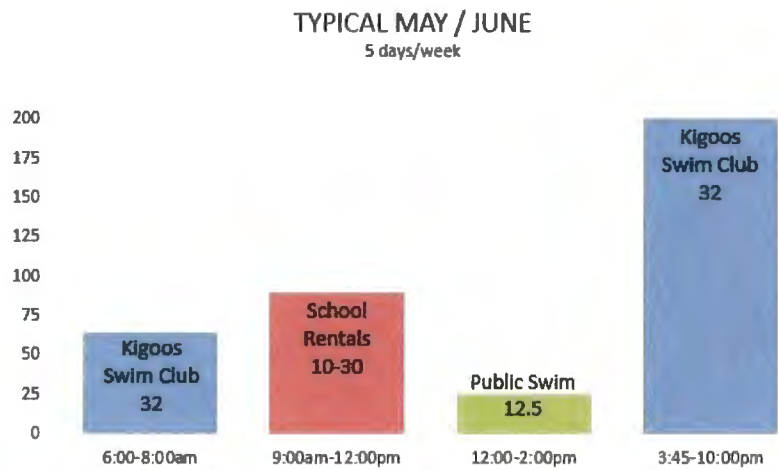
Steveston Outdoor Pool – 2018 Typical Operating Hours (base)

MAY / JUNE - TYPICAL 2018							
	MON	TUES	WED	THURS	FRI	SAT	SUN
6:00	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB		
6:30							
7:00							
7:30							
8:00							
8:30						KIGOOS SWIM CLUB	KIGOOS SWIM CLUB
9:00							
9:30	SCHOOL BOARD RENTALS	SCHOOL BOARD RENTALS	SCHOOL BOARD RENTALS	SCHOOL BOARD RENTALS	SCHOOL BOARD RENTALS		
10:00							
10:30							
11:00							
11:30							
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6:00							
6:30	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB		
7:00							
7:30							
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9:00							
9:30							
10:00							

JULY / AUGUST - TYPICAL 2018							
	MON	TUES	WED	THURS	FRI	SAT	SUN
6:00	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB		
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7:00							
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10:00	LESSONS	LESSONS	LESSONS	LESSONS	LESSONS		
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7:00	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB	KIGOOS SWIM CLUB		
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9:00							
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10:00							

Total Public Swim Hours:	435.5
Total Public Swim Days:	76

Steveston Outdoor Pool – Typical Hourly Attendance 2019 (by season)



Steveston Outdoor Pool – Weekly Attendance / Daily Average Public Swim Attendance Summer 2019

WEEK	TOTAL WEEKLY HOURS	WEEKLY ATTENDANCE	DAILY AVERAGE ATTENDANCE
Sat May 18 – Fri May 24	15	117	17
Sat May 25 – Fri May 31	10	84	12
Sat June 1 – Fri June 7	0	0	0
Sat June 8 – Fri June 14	10	70	10
Sat June 15 – Fri Jun 21	20	283	40
Sat June 22 – Fri June 28	23	188	27
Sat June 29 – Fri July 5	30	301	43
Sat July 6 – Fri July 12	39	424	61
Sat July 13 – Fri July 19	41	712	102
Sat July 20 – Fri July 26	41	929	133
Sat July 27 – Fri Aug 2	41	816	117
Sat Aug 3 – Fri Aug 9	41	961	137
Sat Aug 10 – Fri Aug 16	41	623	89
Sat Aug 17 – Fri Aug 23	41	528	75
Sat Aug 24 – Fri Aug 30	41	852	122
Sat Aug 31 – Fri Sept 6	41	568	81
Sat Sept 7 – Fri Sept 13	10	131	19
Sat Sept 14 – Sat Sept 20	10	124	18

Feedback from Steveston Outdoor Pool Users

There was a wide variety of suggestions to improve user experience that included:

- Paint refresh in changing rooms
- Addition of hair dryers
- Larger pace clocks
- Colourful deck furniture
- New lane ropes
- Canopies/tents to provide shade on deck
- Improved cleanliness

Staff will explore opportunities to work within existing budgets to ensure standards are maintained and amenities added where warranted.

Focus group attendees were also asked for their input on effective marketing and promotion strategies to increase attendance. It was noted that the best source of new customers is through existing customers.

Ideas generated included:

- Increased signage
- Use of social media
- Special promotions (i.e., bring a friend)
- Steveston Insider magazine
- Posters in local condos, businesses, etc.

Staff will work with Bylaws on increased signage options as well as the Aquatic Advisory Board on an enhanced marketing campaign for 2021, including some or all of the recommendations above.

Steveston Outdoor Pool – 2021 Proposed Hybrid Model Operating Hours

MAY / JUNE - Proposed 2021								JULY / AUGUST - Proposed 2021							
	MON	TUES	WED	THURS	FRI	SAT	SUN		MON	TUES	WED	THURS	FRI	SAT	SUN
6:00	KIGOOS	KIGOOS	KIGOOS	KIGOOS	KIGOOS			6:00	PUBLIC		PUBLIC		PUBLIC		
6:30	SWIM	SWIM	SWIM	SWIM	SWIM			6:30	SWIM		SWIM		SWIM		
7:00	CLUB	CLUB	CLUB	CLUB	CLUB			7:00	KIGOOS	KIGOOS	KIGOOS	KIGOOS	KIGOOS		
7:30								7:30	SWIM	SWIM	SWIM	SWIM	SWIM		
8:00								8:00	CLUB	CLUB	CLUB	CLUB	CLUB		
8:30						KIGOOS	KIGOOS	8:30							
9:00						SWIM	SWIM	9:00							
9:30						CLUB	CLUB	9:30	LESSONS	LESSONS	LESSONS	LESSONS	LESSONS		
10:00								10:00							
10:30	SCHOOL	SCHOOL	SCHOOL	SCHOOL	SCHOOL			10:30	LESSONS	LESSONS	LESSONS	LESSONS	LESSONS		
11:00	BOARD	BOARD	BOARD	BOARD	BOARD			11:00	AND	AND	AND	AND	AND		
11:30	RENTALS	RENTALS	RENTALS	RENTALS	RENTALS			11:30	LENGTH	LENGTH	LENGTH	LENGTH	LENGTH	LESSONS	LESSONS
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1:00								1:00						SWIM	SWIM
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2:00						PUBLIC	PUBLIC	2:00	KIGOOS	PUBLIC	KIGOOS	PUBLIC	KIGOOS	PUBLIC	PUBLIC
2:30						SWIM	SWIM	2:30	SWIM	SWIM	SWIM	SWIM	SWIM	SWIM	SWIM
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6:00	KIGOOS	KIGOOS	KIGOOS	KIGOOS	KIGOOS			6:00	SWIM		SWIM		SWIM		
6:30	SWIM	SWIM	SWIM	SWIM	SWIM			6:30		KIGOOS		KIGOOS		KIGOOS	
7:00	CLUB	CLUB	CLUB	CLUB	CLUB			7:00		SWIM		SWIM		SWIM	
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9:30								9:30							
10:00								10:00							

Note: School Board Rentals last two weeks of June only

Total Public Swim Hours:	457
Total Public Swim Days:	88



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services Committee
From: Todd Gross
Director, Parks Services
Date: February 23, 2021
File: 06-2345-20-GCIT1/Vol 01
Re: **Agricultural Land Commission Non-Farm Use Application by the City of Richmond for Community Gardens at 5560 Garden City Road (The Garden City Lands)**

Staff Recommendation

That the Agricultural Land Commission Non-Farm Use Application by the City of Richmond for Community Gardens at the Garden City Lands at 5560 Garden City Road, be endorsed and forwarded to the Agricultural Land Commission for approval.

Todd Gross
Director, Parks Services
(604-247-4942)

Att. 4

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Engineering	<input checked="" type="checkbox"/>	 <hr/>
Community Bylaws	<input checked="" type="checkbox"/>	
Policy Planning	<input checked="" type="checkbox"/>	
Development Planning	<input checked="" type="checkbox"/>	
SENIOR STAFF REPORT REVIEW	INITIALS: 	APPROVED BY CAO <hr/>

Staff Report

Origin

The purpose of this report is to describe the scope of work for installation of community gardens on the Garden City Lands, proposed to be submitted for approval by the Agricultural Land Commission (ALC) and to receive a Council Resolution in support of the City's Application. Please see Attachment 1 – Garden City Lands Park Development Plan. If endorsed by Council, this ALC Non-Farm Use Application will be forwarded to the ALC for its consideration. If City Council does not endorse the Application, the Application will not proceed to the ALC for consideration.

This report supports Council's Strategic Plan 2018-2022 Strategy #2 A Sustainable and Environmentally Conscious City:

Environmentally conscious decision-making that demonstrates leadership in implementing innovative, sustainable practices and supports the City's unique biodiversity and island ecology.

2.3 Increase emphasis on local food systems, urban agriculture and organic farming.

2.4 Increase opportunities that encourage daily access to nature and open spaces and that allow the community to make more sustainable choices.

This report supports Council's Strategic Plan 2018-2022 Strategy #4 An Active and Thriving Richmond:

An active and thriving community characterized by diverse social and wellness programs, services and spaces that foster health and well-being for all.

4.3 Encourage wellness and connection to nature through a network of open spaces.

Findings of Fact

The City-owned Garden City Lands (the "Lands") are approximately 55.2 hectares (136.5 acres), located on the eastern edge of Richmond City Centre. The Lands are designated a city-wide park, located in a high-density neighbourhood and are envisioned as an agriculturally productive space and bog conservation area.

The project site is located within the Agricultural Land Reserve (ALR) and all activities on ALR land are overseen by the ALC and are subject to the policies and regulations of the ALC. Please see Attachment 2 – Garden City Lands location plan.

The Lands are designated for "Agriculture" in the 2041 Official Community Plan (OCP), which permits primarily farming, food production and supporting activities. The City of Richmond is required to submit a "Non-Farm Use" Application to the ALC for a decision authorizing the City to implement the proposed community gardens as well as allowing the public access onto the Lands to the community gardens and permitting on-site limited parking to community garden members only.

To date, the City of Richmond has submitted the following applications to the ALC:

- 2016: ALC #55588 – Transportation, Utility, or Recreational Trail Uses within the ALR (for permission to build the perimeter trails);
- 2016: ALC #56243 – Dike Structure (to hydrologically separate the bog from the western agricultural portion of the site);
- 2017: ALC #56199 – Application to Place Soil (to create the farm leased to Kwantlen Polytechnic University (KPU);
- 2017: ALC #56243 – Non-Farm Use Application (Harvest Festival); and
- 2018 and 2019: ALC #57671 and #58812 – Non-Farm Use Application (Farm Fest).

The City of Richmond has received approvals for all these applications.

Subject to Council's endorsement, this Application will be forwarded to the ALC for review/approval. City staff expect to host a site visit by the ALC's South Coast Panel to the Lands as part of its application evaluation process.

Analysis

Project Description

The proposal is to build a community garden on the Lands. This project requires ALC approval through the Non-Farm Use application process. Key features requiring ALC approval includes:

- Building a temporary community garden on the existing gravel area near Garden City Road;
- Permitting public access onto the Lands to the community garden;
- Importing 500 cubic meters of commercially sourced, agriculturally viable soil to fill above ground, self-contained plots; and
- Providing limited parking to community garden members only.

For more information, please see Attachment 3 – Garden City Lands Community Garden Site Plans.

Building community gardens on the Lands will permit local City Centre residents who otherwise do not have access to growing space to grow their own food, help reduce the number of City residents on the wait list for community garden plots and will activate the Lands with agriculture-related activities. The community gardens will be administered and managed on behalf of the City by the Richmond Food Security Society (RFSS), a local non-profit society. Residents pay an annual membership fee for use of the community garden plot. RFSS uses the fees to cover their costs to manage the community garden program, wages of their staff to manage the gardens, liability insurance on behalf of all gardeners and common supplies such as tools and hoses.

This proposal consists of 200 individual community garden plots (divided into four, 50 plot clusters) with construction commencing in summer, 2021 (subject to receiving ALC approval).

Future expansion with an additional 100 plots will be determined by the site's and RFSS's capacity for additional gardeners and ongoing review by City staff. Enclosed by a one-meter tall fence with entry gates at key points, each cluster of 50 plots will be laid out to permit access to individual plots from all sides by way of one-meter wide paths. The gardens will also include:

- Common areas for informal gatherings and socializing;
- Composting areas for garden debris;
- Secure tool storage sheds; and
- Temporary, portable toilets.

The community garden is proposed to be located on the existing gravel pad. The pad has been in place for several years and provides a stable base for the proposed gardens. The City is proposing the material used to construct the existing temporary farm service road, extending north from the gravel pad to the farm fields leased to KPU, be deconstructed and the material redistributed along the south edge of the gravel pad. This material has been in place on site since 2016. By locating the project on the gravel pad, much of the area remains open to accommodate future potential Farm Fest or other similar large scale public events.

Public access onto the Lands will be for community garden members only. Signage will clearly indicate restricted public access and the enclosed area is for community garden members only. A water connection to the site is already in place and will be extended to service the community gardens, including hose bibs throughout the proposed garden area. Gates will be installed at key points to limit vehicular access to the rest of the site to only City and KPU authorized vehicles.

Individual raised beds are proposed for this project. The individual plots are envisioned to be raised self-contained, above-ground beds and are projected to be filled with appropriate commercially sourced agriculturally viable growing medium. Existing soil from site will not be used to fill the beds.

Ideally, the gardens would be located on in-ground, soil based sites; these types of plots are part of the long term plans for the Lands. By utilizing movable self-contained units, the proposal is inherently a semi-permanent approach. First, on-site soil contains a low level of contamination based on historic uses on the site. Based on the recommendations of the project's Qualified Environmental Professional (QEP), cultivation of the existing soil for food production is not recommended. The elevation of the water table is at or near the surface for a majority of the year and would limit the growing season. Additionally, farming this peat based soil is not a recommended best management practice from a climate change and greenhouse gas sequestration perspective. Utilizing self-contained plots ensures food grown on site will not come into contact with the existing soil. The commercially sourced soil for each plot will be tested and reviewed by the project agrologist (McTavish) before placement on site.

The proposed community gardens will remain in place until such time it is appropriate to relocate them to a permanent, in-ground based location on the Lands. The timing of this relocation is contingent on the outcomes of the site-wide Soil Management and Remediation Study which will be conducted over the next two to three years (estimated timeline). Once the soils on site are deemed safe for in-ground agriculture, the community gardens will remain in containers. Furthermore, staff anticipate a future Non-Farm Use Application would need to be

filed in conjunction with a site-wide approval to realize the full vision and program for the Lands which includes in-ground based community gardens. Should the temporary gardens be relocated to a permanent location within the Garden City Lands, the self-contained garden plots would be able to be re-used on other sites in the City.

Soil Placement

The proposed community gardens will be located on the existing gravel pad in above ground, self-contained garden plots. The approximate volume required to fill the plots is 500 cubic meters of local, commercially sourced, agriculturally viable soil. ALC staff have instructed City staff to file this application as standard Non-Farm Use activities as a landowner rather than an application for the placement of fill on ALR land due to the modest volume requested to be placed.

Should Council and the ALC endorse the proposal, a soil deposit permit shall be required. Conditions will include, but not be limited to, oversight by a qualified agrologist including confirmation prior to soil importation/placement that the soil to be placed meets an agricultural standard and a Traffic Management Plan.

Drainage & Geotechnical Considerations

Based on the proposed scope of work and the proposed location of the garden beds on the existing gravel pad, Engineering has concluded that there would be no negative impact to the City's utilities, drainage system or any neighbouring properties.

Environmental Considerations

There are no Environmentally Sensitive Areas or Riparian Management Areas designated within the property. In addition, there will be no impacts to trees.

Security Bonds

The following security bonds are typically collected prior to issuance of a soil deposit permit:

- \$5,000 pursuant to s. 8(d) of the current *Boulevard and Roadway Protection Regulation Bylaw No. 6366* to ensure that roadways and drainage systems are kept free and clear of materials, debris, dirt, or mud resulting from the soil deposit activity; and
- \$10,000 pursuant to s. 4.2.1 of the current *Soil Removal and Fill Deposit Regulation Bylaw No. 8094* to ensure full and proper compliance with the provisions of this Bylaw and all other terms and conditions of the permit.

As this is a City project, the bonds may not be collected; however, internal agreements will be in place in order to ensure any costs incurred such as road cleaning, damage to infrastructure, etc., will be covered by the Parks Services.

As a condition of any approval, a performance bond may be required and held by the ALC in a form and amount deemed acceptable by the ALC.

Financial Costs and Considerations for the Applicant

The City will purchase soil from a reputable supplier(s) under the guidance of the qualified professional. The soil will be tested prior to placement on the Lands.

Consultation

The Food Security and Agricultural Advisory Committee reviewed the proposal on January 28, 2021, and passed the following motion (Attachment 4):

That the Food Security and Agricultural Advisory Committee support the Non-Farm Use Application for Community Gardens at the Garden City Lands (AG 21-922645) subject to Staff giving consideration to the following:

- 1. Soil testing of all imported soil to ensure it is free of contaminants; and*
- 2. Work with the Richmond Food Security Society to consider options for ensuring the garden plots are being utilized on a regular basis to allow more people access to the gardens.*

Carried Unanimously

Financial Impact

Project related costs will be covered through capital budgets previously approved by Council.

Conclusion

Throughout the planning and design process, Council and the public have expressed their support for community gardens throughout the City and, in particular, on the Garden City Lands. As a result of the comprehensive planning and design that has occurred in the last five years, there is broad public interest and support to use the Garden City Lands for both agriculture and recreation.

With Council's endorsement, staff will be authorized to submit an Application to the ALC for approval to construct community gardens on the Garden City Lands. A successful application will help further activate the site and bring us one step closer to realizing the City's vision for the Garden City Lands.



Alex Kurnicki
Research Planner II
(604-276-4099)

- Att. 1: Garden City Lands Park Development Plan
2: Garden City Lands Location Plan
3: Garden City Lands Community Garden Site Plans
4: FSAAC Meeting Minutes Excerpt, January 28, 2021

Garden City Lands Park Development Plan



LEGEND

THE AGRICULTURAL LANDS

- 1 Multi-Functional Building and Parking
- 2 Rainwater Storage for Agricultural Irrigation
- 3 Farm Drainage Ditch
- 4 Agricultural Fields
- 5 Orchard
- 6 Demonstration Orchard
- 7 Community Gardens
- 8 Hedgerows & Beetle Banks
- 9 Sliding High Tunnels
- 10 Farm Fields
- 11 Soil Amendment Trials

THE BOG

- 12 Bog Conservation Area
- 13 The Fen
- 14 Boardwalk with Rest Points

THE RISE

- 15 Meadow / Informal Recreation
- 16 Children's Play

THE NODES

- 17 Garden City Lands Main Entrance
- 18 Entry Node
- 19 Entry Allée
- 20 Viewing Platform
- 21 Crosswalk
- 22 Parking Lot with Accessible Stalls
- 23 Parallel Parking with Accessible Stalls

THE DYKE

- 24 Multi-use Path with Farm Access

THE PERIMETER TRAILS

- 25 Native Forest Plantings
- 26 Street Trees
- 27 Perimeter Trails - Separated Paths
- 28 Rain Garden



City of Richmond

Garden City Lands Location Plan



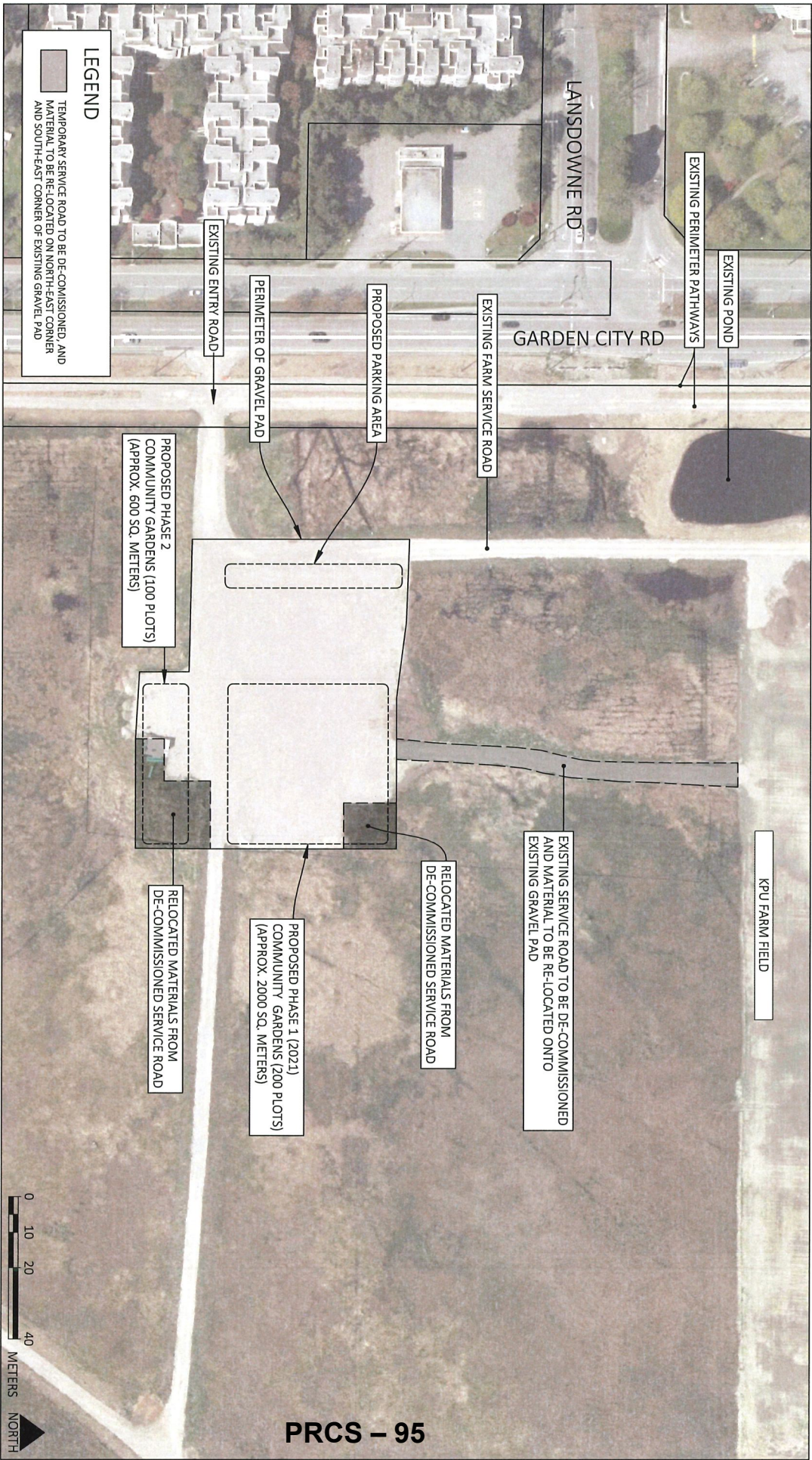
AG 21-922645
Garden City Lands
Community Gardens

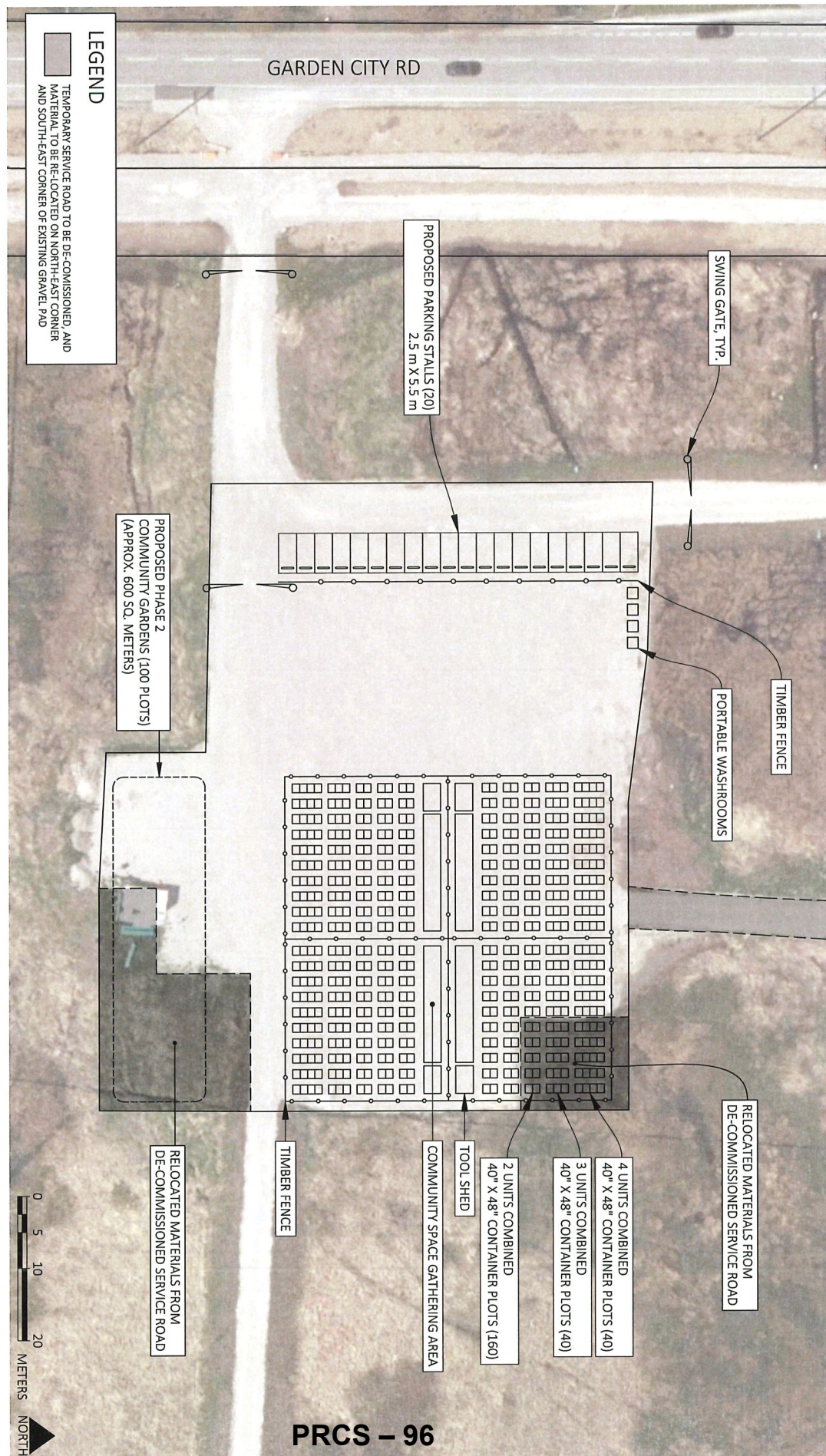
PRCS - 94

Original Date: 01/18/21

Revision Date: 01/19/21

Note: Dimensions are in METRES







Excerpts of Minutes from:
Food Security and Agricultural Advisory Committee (FSAAC)

Held Thursday, January 28, 2021 (7:00 pm)
Webex

In Attendance:

Members: Laura Gillanders (Chair); Mike Bomford; Erzsi Institoris; Lynn Kemper; Ian Lai; Cory May; Chris Pereira; Miles Smart

Non-Members: Councillor Harold Steves (Council Liaison); John Hopkins (Policy Planning); Steven De Sousa (Policy Planning); Todd Gross (Parks); Jason Chan (Parks); Alex Kurnicki (Parks); Mike Morin (Community Bylaw); Nadia Mori (Ministry of Agriculture)

Regrets:

Members: Sarah Drewery; Allen Rose

Non-Members: Shannon Lambie (Agricultural Land Commission)

Non-Farm Use Application – Community Gardens at the Garden City Lands

Alex Kurnicki, Research Planner 2, introduced the Garden City Lands Non-Farm Use Application, provided a summary of the site history and previous approvals, and provided the following comments:

- The purpose of the application is to allow public access to the site for community gardens;
- 200 temporary community garden plots are proposed on an existing gravel pad, including associated amenities, parking, and importing approximately 500 m³ of soil for the garden plots;
- Container beds are proposed for food safety reasons and the ability to easily relocate the beds when needed; and
- Relocation of existing material on-site from a decommissioned farm road will be utilized to complete the gravel pad for the community gardens area.

In response to questions from the Committee, the following additional information was provided:

- Commercial soil sources are proposed, however, other options may be considered;
- Number and orientation of parking has not been finalized, but may be restricted to community garden use only;
- Irrigation will be provided via hose bibs throughout the community gardens area;
- There is a substantial demand for community gardens City-wide; and
- Farm Fest is currently not being considered in the near future and Council has identified the implementation of additional community gardens as a priority.

As a result of the discussion, the Committee recommended the following considerations:

- Alternatives to commercial soil sources due to potential contamination and soil testing;
- Alternatives to plastic container beds (e.g. wood material);
- Management of the community gardens to ensure beds that are not being used regularly are provided to others;
- Space for Farm Fest or equivalent events at the Garden City Lands to promote local farmers and local produce; and
- Use of rain barrels for irrigation purposes and other options for water recycling.

Discussion ensued regarding the soil conditions on the southwest portion of the Garden City Lands and the comprehensive non-farm use application for the entire site. Staff noted that soil investigation is ongoing and Council has directed staff to move forward with the community gardens to activate the site.

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee support the Non-Farm Use Application for Community Gardens at the Garden City Lands (AG 21-922645) subject to Staff giving consideration to the following:

1. *Soil testing of all imported soil to ensure it is free of contaminants; and*
2. *Work with the Richmond Food Security Society to consider options for ensuring the garden plots are being utilized on a regular basis to allow more people access to the gardens.*

Carried Unanimously



City of Richmond

Report to Committee

To: Parks, Recreation and Cultural Services
Committee

Date: February 23, 2021

From: Todd Gross
Director, Parks Services

File: 06-2345-20-
GARR2/Vol 01

Re: **Parks Afloat Moorage at Imperial Landing and Garry Point Park**

Staff Recommendation

1. That any plans to consider the expansion of moorage opportunities at Imperial Landing be placed on hold until such time as there is a plan and agreement in place from authorities for the ongoing maintenance dredging in the Steveston Harbour as detailed on the staff report titled "Parks Afloat Moorage at Imperial Landing and Garry Point Park," dated February 23, 2021, from the Director, Parks Services.
2. That the current piles at Garry Point be maintained to allow for seasonal event-related use.

Todd Gross
Director, Parks Services
(604-247-4942)

Att. 3

REPORT CONCURRENCE		
ROUTED TO:	CONCURRENCE	CONCURRENCE OF GENERAL MANAGER
Arts, Culture and Heritage Services	<input checked="" type="checkbox"/>	
Engineering	<input checked="" type="checkbox"/>	
Fire Rescue	<input checked="" type="checkbox"/>	
Sustainability and District Energy	<input checked="" type="checkbox"/>	
SENIOR STAFF REPORT REVIEW	INITIALS:	APPROVED BY CAO

Staff Report

Origin

At the October 29, 2019, Parks, Recreation and Cultural Services Committee, staff received the following two referrals:

1. *"PARKS AFLOAT" MOORAGE AT IMPERIAL LANDING*

- (1) That staff investigate the actual depth between the east wing of the Imperial landing float and the dike to determine if it is deep enough for small boats;*
- (2) That staff determine how deep the area can be dredged without requiring sheet piling;*
- (3) That staff investigate the possibility of using used floats and estimate the costs for constructing floats for small craft;*
- (4) That staff prepare an accurate estimate for the cost of sheet piling if required; and*
- (5) That staff consider the optimal model for mooring boats on a City waterfront.*

2. *"PARKS AFLOAT" GARRY POINT LEGACY PIER, MOORAGE AT GARRY POINT PARK*

- (1) That staff prepare a revised plan for the Garry Point Legacy Pier containing it entirely on City owned land and water-lot; and*
- (2) That staff prepare cost estimates for a float containing both two and three sections of the four section float originally proposed.*

The purpose of this report is to respond to the aforementioned referrals.

Analysis

Infrastructure at Imperial Landing and Potential Moorage Opportunities

Background

The existing float at Imperial Landing was constructed in preparation for the City's first Ships to Shore Festival at Garry Point Park that was held in June 2011. Planning and design for the float had to take into consideration the challenges with constructing a structure that would accommodate large Class A vessels such as the Kaiwo Maru from Japan, while being portable enough so it can be transported back and forth into Steveston Harbour after a major maritime event.

The current location of the float at Imperial Landing was selected to be adjacent to the Steveston Harbour navigational channel where water levels are typically deep enough to accommodate a

transient moorage program and maritime events with smaller vessels. The City has a long term tenure lease with the Province for the waterlot where our floats are currently located and any new proposed improvement, dredging or extensions would require amended permitting approvals from the Ministry. Previous dredging operations at Imperial landing also required a disposal at sea permit to displace the dredged materials out in the ocean.

The following information is in response to the “*PARKS AFLOAT*” *MOORAGE AT IMPERIAL LANDING* referral.

- (1) *That staff investigate the actual depth between the east wing of the Imperial landing float and the dike to determine if it is deep enough for small boats*

The current average depth in-front of the float (adjacent to the channel) is -3.0 metres. The average depth directly behind the floats (adjacent to the dike) is -1.0 metre. Small boats require a minimum depth of -1.0 metre (specifically with vessels that have a keel or a fin such as on the bottom of a sail boat). The water depths are significantly less as it moves towards the dike and foreshore. In order to utilize the area behind the float adjacent to the dike for additional moorage opportunities, dredging and potential dike protection measures would be required such as a sheet piled wall.

- (2) *That staff determine how deep the area can be dredged without requiring sheet piling*

Without the construction of a sheet piled wall along the edge of the dike and river, there would be very limited space for any additional moorage behind the floats. The natural slope from the foreshore to the river bed is typically greater than 3:1 which prevents significant loss of materials from the banks of the foreshore. The space directly behind the float structure could be used more efficiently after it is dredged to a maximum depth of 3 metres. However, the potential to add more floats within this area would not be possible without sheet piling and significant dredging.

The approximate linear distance of waterfront within the City’s water covered lot east of the pier is 125 metres. Based on soundings and a topographical survey completed in early 2020, it is estimated that 10,000 cubic metres of sedimentation would need to be dredged and disposed from this small area to accommodate extended moorage capacity. Ongoing maintenance dredging would also be required to maintain this site on a consistent basis depending on the sedimentation build up from the river’s currents (between every two to five years).

- (3) *That staff investigate the possibility of using used floats and estimate the costs for constructing floats for small craft*

Used commercial floats are rarely available in the market since they are typically installed as a permanent asset. There were no used floats available during the planning and preparation of this report for estimated costs. The potential to source out and utilize used floats for the purposes of a public moorage asset would not be recommended.

Timber floats that are treated typically have a life span of 20-25 years before major repairs and/or replacements are necessary due to wear and tear, decay, and loss of structural integrity. There would also be costs associated with the structural engineering conditional

assessment/inspections of the structure, transportation costs, and the risks involved with procuring used assets that do not come with any construction and material warranty. These additional costs for inspections and transportation of used float structures could be significant and any savings generated from purchasing used materials would be lost.

The estimated unit costs for constructing new timber floats is \$100 to \$125 per square foot, depending on the size and super-structure required (timber or steel pontoon frame). New concrete floats are estimated at \$200 to \$300 per square foot depending on the size, depth, and structural design.

(4) That staff prepare an accurate estimate for the cost of sheet piling if required

In 2018, Steveston Harbour Authority (SHA) completed a sheet piled wall installation along their operations yard up river from Britannia Shipyards National Historic Site. The cost of this installation was approximately \$12,000 per lineal metre. If the City were to consider a similar installation along Imperial Landing, the estimate would be between \$1.5 million to \$2.0 million. Dredging costs would add another \$300,000 for total of \$1.8 million to \$2.3 million to utilize this area for moorage. Installing sheet piling will also require Provincial and Federal permits, with lengthy delays, and could require habitat compensation. Additional costs for the permitting application with detailed environmental studies would also be required. These studies may require up to another \$150,000 to supplement the permitting application for review through the Ministry.

(5) That staff consider the optimal model for mooring boats on a City waterfront

The optimal design for extending moorage without the costs associated with extensive dredging and a sheet pile construction would be to extend the existing floats east from Imperial Landing towards Britannia Shipyards or west towards No. 1 Road (see Attachment 1 – Imperial Landing Moorage Options, Options 1 and 2) with maintaining an alignment adjacent to the navigational channel. This concept would continue to utilize the water depths close to the channel and provide efficient maintenance access for dredging in the future.

In comparison to SHA's marina in the Steveston Village where the navigational channel is approximately 140 metres south from the foreshore, Imperial Landing only has a 70 metre distance from the shoreline to the navigational channel. The potential accessible space is half as much as SHA's marina. This limits the potential for extending moorage opportunities behind the existing float at Imperial Landing. SHA's location also provides three separate parallel lines of floats (called finger floats) on the east side and two lines of floats on the west side for moorage. At Imperial Landing, there would only be the potential to add one additional float between the existing float and the shoreline to safely accommodate the movement of vessels. However, this would require extended dredging and sheet piling (see Attachment 1 – Imperial Landing Moorage Options, Options 3).

Similar to a private marina, an optimal model for operating a moorage facility requires the following resources:

- Staff to maintain the assets, monitor and collect payment from boaters, and to prevent recreational fishing users on the dock to avoid conflicts;

- Access to washroom facilities;
- Providing full power and sanitary hook-ups for vessels;
- Installing security gates to protect boats from the public; and
- Access to vehicle parking.

Currently, Imperial Landing does not provide any of the amenities listed above to operate as an optimal moorage facility.

In 2014, minor improvements were added to the float at Imperial landing that included the supply of limited water and electrical power to the site. This has increased the popularity of the float for both recreational fishing and short term moorage at the site.

There are now ongoing concerns and complaints with the conflict between recreational fishing and transient moorage use of the float. Floats are typically designed to accommodate boats and not people fishing on them. However, since it is located directly over water and within close proximity to the channel, it presents an ideal opportunity for fishing. There are times when more than fifty people are observed fishing off the floats. At present, the only public locations dedicated for recreational fishing are at the No. 2 Road, No. 3 Road, and No. 7 Road piers. Planning and design for additional moorage capacity would need to take into consideration these ongoing operational challenges among recreational users, fishers, boaters, and derelict and abandoned vessels that are occasionally tied up at Imperial Landing. At present there are no specific bylaws available to regulate and monitor the City's floats, docks and piers.

Many of the City's existing waterfront infrastructure including Imperial Landing and Britannia floats, No. 2 and No. 3 Road piers were constructed when building codes did not require an automatic fire suppression system and do not meet new requirements from emergency responders with mitigating potential fire safety concerns. It is recommended for all waterfront amenities including buildings, piers, and floating docks to include an automatic fire suppression system. Significant investment would be required to upgrade the City's current inventory of waterfront assets and should be considered prior to expanding any new infrastructure.

Staff Recommendation

With the current situation for permitting evaluations and approvals from the Ministry of Forest, Lands, Natural Resource Operations & Rural Development (FLNRORD), there would be no guarantee a project like this would be approved, or how long the permitting process would take for approval. The previous dredging operation completed in 2018 in partnership with the SHA, the Port of Vancouver, and the Province required nearly two years of permitting reviews, evaluations, and extensive environmental, archeological and fish habitat studies required from FLNRORD's permitting process.

Since the end of the federally funded dredging program in 2008 for local area channels such as Steveston Harbour, there is no longer extensive maintenance dredging operations occurring on an annual basis. As a result, sedimentation build-up in the river's channel and into moorage facilities will continue to occur. Until there is continuous support from both Federal and

Provincial governments to provide funding for the maintenance of local area channels such as in Richmond and Delta, there would be significant challenges with maintaining safe operations of any moorage facility in the future. Prior to constructing any additional moorage opportunities within Steveston Harbour, it would be essential for the City and its partners at SHA to lobby for support from the Federal Government to reinstate funding for an annual maintenance dredging program.

Until the City and its partners at Steveston Harbour Authority, Small Crafts Harbour, and the Province can establish a long term strategy for the maintenance and operations for Steveston Harbour with ongoing commitment from the Federal Government, consideration of any new extended moorage opportunities should be postponed.

Infrastructure at Garry Point Waterfront and Potential Moorage Opportunities

Background

At present, Garry Point's waterfront is the only location in Richmond with water levels deep enough to accommodate large Class A vessels such as the Kaiwo Maru from Japan. These ships require a minimum of 6.5 metres of water depth at low tide.

During 2009, planning and design for the infrastructure requirements at Garry Point waterfront for the 2011 Ships to Shore had to take into consideration the opportunities and challenges with this location. This includes the following:

- Its location with the proximity to the navigational channels (where the main Fraser River navigational channel crossed the Steveston Harbour navigational channel) and its open waters to Sturgeon Banks and the Strait of Georgia;
- The strong currents, tidal action and swells from both the river's hydrology, high winds, and the marine traffic operations (from large shipping vessels, commercial boats, etc.);
- Permitting and tenure lease requirements from the Province and Port of Vancouver to construct piles on a portion of the Crown Province's waterlot (western section) and to allow the City to host annual maritime festivals when required (five out of the 12 existing steel piles to secure the floats are located on Crown Province's waterlot);
- The lack of amenities and infrastructure at Garry Point Park to host large-scale events or ongoing operations of a permanent maritime facility (such as expanded water, storm and sanitary sewer services, electrical power, expanded washrooms, recycling and disposal services, etc.); and
- Public safety on the docks due to the movement of the floats during large swells and wave action from passing ships and seasonal storms.

Based on these challenges, Council approved for the temporary modular float at Garry Point Park as the best option to accommodate large ships as part of special events such as a Tall Ship Festival; but it would be transported and secured at Imperial Landing as the primary location

until it was needed again to host another event at Garry Point Park. As with most of Steveston Harbour's waterfront, Imperial Landing is protected by Shady Island, which acts as a breakwater that minimizes the wave action from the main navigational channel.

Since 2011 Ships to Shore, there has only been one maritime event hosted at Garry Point Park that required the float at Imperial Landing to be transported to the site. The latest event was Ships to Shore King of the Sea in 2017 with the visitation of the Japanese Kaiwo Maru tall ship. Prior events were hosted at the No. 3 Road Pier with the visitation of Japan's Nippon Maru in 2002 and its sister ship Kaiwo Maru in 2004.

No. 3 Road Pier's waterfront will no longer accommodate a large Class A type tall ship such as the Kaiwo Maru as a result of sedimentation accumulating along the shore line and lower Fraser River. Significant dredging and disposal of sedimentary materials in the channel and in-front of the pier would be required. The site is not close to any tourism attractions and also lacks amenities such as parking, washrooms and public transportation to adequately host a major event.

In January 2017, the City received a 30 year tenure license lease agreement with FLNRORD for the use of the Crown Province's waterlot at the western section of Garry Point Park that allows the City to continue to host special events on a seasonal and short term temporary basis only. This allows the City to relocate the modular floats at Imperial Landing to Garry Point when required until the end of year 2046. Costs associated to transport the floats to and from Imperial Landing is approximately \$80,000 (based on 2020 costs). This option enables the flexibility to host a major maritime event at Garry Point's waterfront when required, as long as the existing steel piles are to remain on site.

The following information is in response to the "*PARKS AFLOAT*" *GARRY POINT LEGACY PIER, MOORAGE AT GARRY POINT PARK* referral.

- (1) *That staff prepare a revised plan for the Garry Point Legacy Pier containing it entirely on City owned land and water-lot*

At the November 14, 2017, open Council meeting, a report providing potential concepts for a legacy pier and a floating dock was presented; however, staff were directed to review options for another floating dock only at Garry Point and to remove the consideration for a pier.

In order to fully respond to this referral, the intended use and purpose of the proposed structure must be clearly identified. Staff have provided a variety of scenarios below for consideration.

If the intended use of the structure is to provide public access from the park for recreational purposes such as fishing, hosting special events, and as a scenic look-out, then the most viable option is to build a pier rather than a floating dock. Since a pier's foundation consists of fixed piles penetrated under solid ground, it mitigates safety concerns that exist with a floating dock that moves up and down along with large swells and wave action from passing vessels and seasonal storms. A pier structure will not accommodate the moorage of boats and tall ships without a floating dock connected to the pier.

If the intended use of the structure is to provide permanent moorage opportunities and to continue to host Class A vessels such as the Kaiwo Maru, then the most viable option is to construct another floating dock with a permanent upland staging area and gangway bridge access. This option still needs to take into consideration all the challenges associated with public safety and its proximity to the open channels, marine traffic, and high wave action from winds and large transport ships.

A floating dock is designed for mooring boats and is not intended as a recreational public staging area. A new float at this location would need to be closed from the public during times when storm, wind and high river current events are occurring; subsequently, requiring resources to constantly monitor when the floats should be open or closed to the public. Comments received from boaters in the community suggest that they would not feel safe to dock their vessels at this location for any extended time due to the wave action and river currents at this open water location.

If the goal is to accommodate both recreational purposes and moorage opportunities, then the construction of both a pier and a float would be required, as per Figure 1 below.

Figure 1 - Concept rendering of a Pier and Float at Garry Point Waterfront



Since the last report to Council on November 14, 2017 on this topic, there are now many new (and existing) Federal and Provincial Regulations established for any new development along the water.

These new regulations require extensive planning, studies, permitting and discussions with various agencies that include but not limited to:

- Ministry of Forests, Lands, Natural Resource Operations and Rural Development (FLNRORD);
- BC Ministry of Environment;
- BC Archaeology Branch
- Fisheries and Oceans Canada;
- Transport Canada;
- First Nations; and
- Dike Authority.

With the new regulations and processes created, any new permanent structure proposed that includes the installation of new piles and structures on the river that may have an impact to environmental and fish habitat considerations will require a formal application for review and approval from the Ministry. This process now requires various studies, reports, and pre-approval permitting reviews prior to preparing formal permitting applications. The cost associated with these new processes for review can be significant with no guarantee that permitting applications to construct a new waterfront asset would be approved.

As previously experienced from both the 2018 Steveston Harbour Channel dredging project and the ongoing application review for the construction of the Hollybridge Pier, permitting application reviews now takes years to be processed with no guarantee of receiving permitting approvals for construction.

Prior to committing any further planning and studies with the potential for more moorage opportunities, understanding and deciding the intended use (a pier for public access or a floating dock for mooring boats) would need to be confirmed. All options come with significant challenges and increased design and construction costs due to the location of the site and new Federal and Provincial regulations. In 2015, Council received a petition from the community with over a thousand signatures requesting the existing piles be removed and to leave Garry Point Park's waterfront as a natural beachfront setting. Planning for any potential future development of either a permanent pier or float should include consideration of this expressed sentiment.

Attachment 2 – Garry Point Park Legacy Floating Dock Conceptual Design report, prepared by Westmar Advisors, outlines the existing conditions, constraints, risks, and proposed concepts and estimates that could be considered at Garry Point's waterfront.

The report provides a revised concept plan showing a new proposed float entirely on City-owned land and waterlot and the conceptual cost estimates for a new float and all of the recommended supporting features. By relocating the five piles currently situated on Crown Province's waterlot and extending it east onto the City's waterlot, this would create additional challenges with the development of a new pier or floating dock.

The report identifies some of the challenges with this proposed concept which includes the following:

- The proposed structure would be too close to the navigable areas of the river and the entrance of the Steveston Harbour Navigational Channel. Based on preliminary

discussions, this option would likely not be approved by the Council of Marine Carriers (CMC) and with Transport Canada's Navigation Protection Program (TC NPP);

- New structures (piles) being proposed that has an impact to the river bed would trigger environmental reviews from FLNRORD, Department of Fisheries, for the impact to Sturgeon habitat movement and current fishing regulations with the Fisheries Act;
- Existing shoreline along Garry Point Park was categorized as a "Red Zone" from the previous FREMP designations which suggests a high value of riparian habitat vegetation. This category limits the potential for the installation of a pile foundation for a structure and may require additional habitat compensation elsewhere around the City. This will also increase the permitting requirements to provide extensive studies to mitigate vegetation and fish habitat, and other environmental impacts;
- A number of First Nations have identified that the project site is within their traditional territory. Consultation and approvals from First Nations may be required as part of FLNRORD's permitting review process;
- Water depths on the east section of Garry Point's waterfront are not as deep as the current location of the piles which would require dredging in the future to accommodate large Class A vessels. This is a result of being closer to the entrance of the Steveston Harbour Channel with sedimentation occurring at the end of its mouth. The existing west section appears to be self scouring with the natural flow and current of the main navigational channel. As a result, dredging was not required at the western section in the past;
- Geotechnical conditions for designing a new pier and pile foundation structure has also been revised in recent years and would be more costly to construct and install based on current British Columbia Building Code (BCBC) for any waterfront structures that will be accommodating a large number of people. Waterfront structures including piers will now need to be designed and engineered with the same seismic design considerations as a building. The soils along the banks of Garry Point Park are known to be unconsolidated sediments that will liquefy during code-prescribed seismic events; and
- The location of Garry Point's waterfront has to take into consideration the significant current velocities from the river and the movement of sedimentation coming down from the channel. With the wave action from large commercial vessels, the river's natural current movement and storm events; the potential for damages to permanent waterfront structures is increased. The site would need some form of a break-water barrier to mitigate the impact to any potential future structure. With the site's location and its proximity to the Lower Fraser River's navigational channel and the Steveston Harbour's navigational channel, the potential of a break-water structure to protect a potential pier or float structure is limited. Moreover, this will add another obstruction to the channel's operations with vessels moving in and out of Steveston Harbour.

In 2018, a barge coming out of the Steveston Harbour ran into two of the twelve existing steel piles in front of Garry Point due to strong current conditions. With the proposal to relocate the piles further east towards the Channel entrance to accommodate a new float will only increase

the potential risk for more incidents to occur (see Attachment 3 – Garry Point Park Waterfront and Steveston Harbour map).

- (2) *That staff prepare cost estimates for a float containing both two and three sections of the four section float originally proposed*

Based on the consultant's report, the conceptual estimates to construct a 600'-0 x 30'-0 concrete floating dock complete with an upland staging area, accessible gangways, a floating debris deflection barrier, and removal perimeter safety fencing would be approximately \$7.5 million (approximately \$420 per square foot). The total length would be equivalent to all four sections as originally proposed.

Using this conceptual square foot unit pricing:

- 450'-0 x 30'-0 float (equivalent to three sections) would be approximately \$5.65 million; and
- 300'-0 x 30'-0 float (equivalent to two sections) would be \$3.75 million.

Staff Recommendation

Maintain the existing status quo at Garry Point's waterfront with the existing steel piles that were installed in 2010 for the flexibility to relocate the existing floats at Imperial Landing to Garry Point when required to host a major maritime special event. The challenges and constraints of its location, permitting and dredging requirements, and the investment required to plan, design and construct a new permanent pier or float structure that is safe and accessible for both the public and for moorage opportunities is not be feasible.

Financial Impact

None.

Conclusion

Infrastructure at Imperial Landing and Potential Moorage Opportunities

At Imperial Landing, there are options available to extend the existing 600'-0 steel and timber floats for additional moorage capacity if required. Prior to any planning and design for additional moorage capacity by constructing new structures, it is recommended that a long term operational, programming and maintenance plan for Steveston Harbour be established. This plan would require ongoing support and commitment from our external partners including agencies at the Provincial and Federal governments.

Infrastructure at Garry Point Waterfront and Potential Moorage Opportunities

At Garry Point's waterfront location, the proposal for a new floating dock and the relocation of the existing piles to secure a structure directly on City-owned waterlot would require extensive consultation with FLNRORD and other external agencies to address the challenges with potentially obstructing the channel entrance in and out of Steveston Harbour. The costs to

February 22, 2021

- 12 -

construct new waterfront assets such as floats and piers has now increased significantly in recent years due to new building codes to meet design criteria for seismic events similar to a building on land.



Marcus Liu
Parks Project Technologist
(604-233-3313)

- Att. 1: Imperial Landing Moorage Options
2: Garry Point Park Legacy Floating Dock Conceptual Design Report
3: Garry Point Park Waterfront and Steveston Harbour Map



Imperial Landing Moorage Options

Original Date: 2021 Feb 1

Not to Scale



Garry Point Park Legacy Floating Dock Conceptual Design

Doc No. 1200078-REP-001 Rev. B

24 February 2020



Garry Point Park - Legacy Floating Dock

Doc. No. 1200078-REP-001 Rev. B
24 February 2020

SIGNATURES

	NAME	SIGNATURE	DATE
Prepared by:	Daniel Leonard, MASC, PEng Michael Isaacson, PhD, PEng	[Original Signed]	24 February 2020
Reviewed by:	Vignesh Ramadhas, MASC, PEng	[Original Signed]	24 February 2020
Approved by:	Daniel Leonard, MASC, PEng	[Original Signed]	24 February 2020
Approved by:			

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This report is confidential and for the sole use and benefit of the Client and may not be relied upon in whole or part, for the benefit of any other person or for any other purpose without the express written permission of Westmar Advisors Inc.

Table of Contents

1	Introduction	1
2	Site Existing Conditions, Constraints, and Risks	3
2.1	Site Existing Conditions	3
2.2	Site Constraints	4
2.2.1	Waterlots and Navigation Channels	4
2.2.2	Environmental Conditions	6
2.2.3	Geotechnical Conditions	9
2.2.4	River Characteristics	10
2.3	Project Risks	16
2.3.1	Market Conditions	16
2.3.2	Construction Restrictions and Requirements	16
2.3.3	Legal	17
3	Potential Activities at a Redeveloped Facility	18
4	Project Criteria	25
4.1	Functional Requirements	25
4.1.1	General	25
4.1.2	Accessibility	25
4.1.3	Design Vessels	26
5	Redevelopment Options	29
5.1	Redevelopment Options	29
5.2	Proposed Options	30
5.3	Capital Cost Estimate	34
5.3.1	Key Qualifications	34
5.3.2	Exclusions from Capital Cost Estimate	35
5.3.3	Estimate Summary	35

6	Summary of Findings.....	37
	Appendix A: Concept Drawings.....	A
	Appendix B: Original Drawings.....	B

Table List

Table A	Potential activities at a redeveloped facility.....	18
Table B	Vessel characteristics.....	26
Table E	Estimate Classification.....	34
Table D	Capital Cost Estimate Summary for the Proposed Option.....	36

Figure List

Figure A	View of the originally installed floating facility at Garry Point Park.....	1
Figure B	View of the remaining existing structures from the original floating facility at Garry Point Park (source: Shore Zone).....	3
Figure C	View of the floats and gangways from the original floating facility at Imperial Landing (source: Shore Zone).....	4
Figure D	Port of Vancouver Licenses Drawing showing waterlot boundaries and navigation channel boundaries.....	5
Figure E	View of the FREMP habitat database showing the shoreline of Garry Point Park categorized as previous habitat compensation (FREMP Atlas).....	6
Figure F	Modelled Surface Velocity Distribution under Existing Conditions, August 16, 2012 ²	12
Figure G	Example of a float with greater depth to mitigate against motion from waves.....	13
Figure H	Deadhead puncturing through the bottom of a concrete float in Richmond along the Fraser River (source: City of Richmond).....	14
Figure I	Debris deflection boom at Queensborough (source: GoogleEarth).....	15
Figure J	View of Option No. 1 with accessible gangway system.....	32
Figure K	View of Option No. 2 with single gangway.....	33

1 Introduction

Westmar Advisors Inc., (Westmar) has been retained by the City of Richmond (CoR) to assess potential options for re-establishing a permanent floating facility at Garry Point Park.

CoR developed a floating facility at Garry Point Park in 2010 to enhance, promote, and accommodate tourism and maritime activities. The facility consisted of a 183 m long by 6.1 m wide float made of steel with timber decking that was held in place with 12 – 1.07 m diameter steel pipe piles. At each end of the main float, smaller 3.66 m by 9.14 m timber floats were installed to support aluminum gangways hung from concrete footings placed at the top of existing embankments.

The floating facility at Garry Point Park was first used in 2011 to host the first annual Ships to Shore event, which included several types of vessels toured by the public. A photograph of the original facility is shown in Figure A below and original drawings are provided in Appendix B.



Figure A View of the originally installed floating facility at Garry Point Park.

The location for the facility was originally chosen because this portion of waterfront in Richmond has the deepest water depths available. Unfortunately, the site is also exposed to large wind generated waves, passing vessel waves, and strong currents carrying debris during the annual freshet. These issues will be discussed in detail in this report.

The movement of the floats in the wave conditions at Garry Point Park were a cause for concern from the start of usage. The floats were at first moved temporarily to Imperial Landing in Steveston Harbour and have now been moved there permanently. When the floats had been most recently moved back to Garry Point Park for a Ships to Shore event, 1.8 m high temporary fencing was placed around the perimeter of the floats to mitigate against someone falling into the water from the movement of the float.

Any replacement option is intended to be permanent and will need to be designed to safely accommodate the conditions at the site. In addition, the existing facility layout straddles two waterlots: a City-owned waterlot at the upstream end of the site and a waterlot managed by the BC Ministry of Forests, Lands, Natural Resource Operations & Rural Development (FLNRORD) at the downstream end of the site. Because of the restriction on permanent/long term operations on the FLNRORD managed waterlot, it is COR's desire to install the re-established facility within the City-owned waterlot that does not restrict permanent operations.

2 Site Existing Conditions, Constraints, and Risks

This section describes the existing conditions at the site and constraints on the layout of the re-established facility.

2.1 Site Existing Conditions

The previous facility was accessed from the shore at two locations and sat offshore of the westernmost beach at Garry Point. At the site, there remains from the previous facility: 12 – 1.07 m diameter steel pipe piles that had an average penetration into the riverbed of approximately 9.3 m; two sets of timber piles that held the smaller timber floats for the gangways in place; and two concrete footings with fencing that supported the upper ends of the gangways (see Figure B). The 183 m long by 6.1 m wide float made of steel and timber and aluminum gangways are now permanently installed at Imperial Landing (see Figure C).



Figure B View of the remaining existing structures from the original floating facility at Garry Point Park (source: [Shore Zone](#)).



Figure C View of the floats and gangways from the original floating facility at Imperial Landing (source: [Shore Zone](#)).

When completing the design for the re-established floating facility at Garry Point Park, CoR desires that consideration should be given to re-using the existing piles.

2.2 Site Constraints

The topics discussed in the following sections have been taken into consideration when developing the concept design options that are presented in this report. Concepts that have previously been presented to CoR would have significant capital cost in order to address many of the issues discussed herein.

2.2.1 Waterlots and Navigation Channels

The existing facility layout straddles two waterlots: a City-owned waterlot at the upstream end of the site and a waterlot managed by the BC Ministry of Forests, Lands, Natural Resource Operations & Rural Development (FLNRORD) at the downstream end of the site. In 2017, CoR received a 30-year tenure license lease agreement with FLNRORD for the use of the waterlot that allows CoR to host special events on a seasonal and temporary basis only. Any new

permanent structures proposed in the FLNRORD waterlot will require a new formal application for review and approval from FLNRORD. Because of the restrictions on permanent/long term operations on the FLNRORD managed waterlot, it is COR's desire to install the re-established facility within the City-owned waterlot that does not restrict permanent operations.

The offshore edge of the City-owned waterlot is bound by the safety zone on the navigation zone along Cannery Channel into Steveston Harbour. The area bounded within the City-owned waterlot and the navigation channel safety zone is shaded in white in Figure D.



Figure D Port of Vancouver Licenses Drawing showing waterlot boundaries and navigation channel boundaries.

The navigation safety zone boundary is a line that was established by the Port of Vancouver and locating structures or vessels immediately adjacent to the boundary may not be acceptable. Transport Canada's Navigation Protection Program (NPP) will make the determination whether the location of proposed structures will be approved after consulting with commercial and recreational marine users in this portion of the river such as the Steveston Harbour Authority and the Council of Marine Carriers. A navigational risk study may be a requirement in order to obtain approval.

It is recommended that a meeting with Transport Canada NPP take place before the project is presented to CoR Council.

2.2.2 Environmental Conditions

There are three main environmental issues that will impact the design of the new facility:

1. The existing shoreline along Garry Point Park is classified as previous habitat compensation in the Fraser River Estuary Management Program (FREMP) Atlas, which is still relied upon by regulators when making approval decision.
2. It is unclear if the proposed layout change to the facility can be classified as a renovation or modification of the previous facility given that components that had an impact on habitat such as the gangways and floats have not been in place for several years.
3. Both the federal and provincial regulations covering approvals for in-water projects have changed within the last year.

Following the dissolution of FREMP, proponents are required to engage directly with the regulators that participated in FREMP. The databases that were created by FREMP are still relied upon by regulators. The existing shoreline of Garry Point Park is currently categorized as habitat compensation to offset filling work when the site was converted from a gravel pit to a park in 1988. Specifically, the shoreline is described as "Construction of three marsh pockets protected by rip-rap" (see Figure E).



Figure E View of the FREMP habitat database showing the shoreline of Garry Point Park categorized as previous habitat compensation ([FREMP Atlas](#)).

Because the foreshore is currently classified as previous habitat compensation, the regulators may require additional habitat compensation if the foreshore marine habitat is impacted by construction or shading from any new structures. This can be mitigated by minimizing the footprint of the structure and having structures with partial perforations to allow light to pass through.

Additionally, permitting requirements could also be mitigated by demonstrating that any new facility is not a significant departure from what was previously installed and so can be considered as a renovation or modification and not a distinctly new project with new usages.

As will be discussed in the following subsections, provincial and federal regulations covering the approval of waterfront projects have recently been updated and it is recommended that regulators be engaged to discuss the project prior to presenting it to Council.

2.2.2.1 FLNRORD and BC Ministry of Environment

The intertidal foreshore and subtidal riverbed are aquatic Crown land, under the jurisdiction of the Ministry of Forests, Lands, Natural Resource Operations, and Rural Development (FLNRORD).

The BC *Environmental Assessment Act* has been updated and the regulations were brought into force on December 16th, 2019. The thresholds for project activities that require an EA are changing. However, the regulations that are relevant to this project are not expected to change. It will still be based on the length of shoreline area along the foreshore that will be impacted. The relevant criteria will therefore still be "dredging, filling or other direct physical disturbance of > 1,000 m of linear shoreline". It is proposed that notification to the BC Environmental Assessment Office will be required when a project is within 15% of the criteria and so it is very unlikely that this criterion will be exceeded and therefore a provincial EA is not expected.

2.2.2.2 Fisheries and Oceans Canada

The revised federal *Fisheries Act* came into force in August 2019. The definitions for activities that require an Authorization have changed, specifically in relation to habitat. Serious Harm has been replaced by Harmful Alteration, Disruption or Destruction (HADD). This makes an Authorization and associated offsetting more likely to be required. The associated changes to policy mean that self-assessments by a Qualified Environmental Professional are no longer an option and instead additional guidance has been provided or is in preparation by Fisheries and Oceans Canada (DFO) on the activities that require their Review. Given that the project will include in-water work, a Request for Review will be required. There are a number of other changes, including Indigenous engagement and participation. An Authorization would take approximately 1 year to secure and require detailed surveys and offsetting. Therefore, there are

.....

obvious advantages to the avoidance of HADD. Incorporating habitat avoidance and protection measures and enhancement in the design would be advantageous.

A floating option without a fixed pier would largely avoid the shoreline, which reduces the potential for HADD but also has a relatively large footprint in the river. The potential for HADD should be further assessed.

The revised *Fisheries Act* also allows for the designation by DFO of waterbodies as Ecologically Significant Areas. This may result in additional assessment and authorization requirements. Given the concerns about fish populations in the Fraser River, it may be subject to further protection under the *Fisheries Act*.

2.2.2.3 Federal Environmental Regulations

The federal *Impact Assessment Act* came into force in August 2019, replacing the *Canadian Environmental Assessment Act, 2012*. The Physical Activities regulations that define which projects require an EA were also updated and there is a new activity that may be relevant, as follows:

The construction, operation, decommissioning and abandonment of a new permanent causeway with a continuous length of 400 m or more through navigable water.

The project is not expected to have a length in exceedance of 200 m and so is not expected to result in a federal review.

The federal *Species at Risk Act (SARA)*, the federal *Migratory Birds Convention Act*, and the provincial *Wildlife Act* all apply to the project. These Acts provide for the protection of species deemed to be at some degree of risk, and include specific prohibitions against disturbing individual animals, disturbing their residences, and disturbing their critical habitat.

There are particular concerns about salmon, eulachon and white sturgeon. Recent observations have included below average survival for most Fraser Sockeye, Chinook, Chum, and Pink stocks. In April 2019, the Government of Canada announced new fisheries management measures to conserve Fraser River Chinook (DFO 2019). These demonstrate the extent of measures that are being taken and how that may impact infrastructure projects.

Eulachon have been Committee on the Status of Endangered Wildlife in Canada (COSEWIC) endangered list with an objective to “promote the populations’ recovery such that it can qualify as special concern within the COSEWIC assessment criteria”, and an interim goal of observing “positive growth in eulachon spawning in river systems throughout” (DFO 2018).

The Lower Fraser White Sturgeon's status under COSEWIC is "Threatened." However, there is greater concern about dwindling stocks and based on experience expectations for study and implementation of protection measures are increasing, particularly provincial government requirements under the *Water Sustainability Act*.

Given the relatively small footprint of the project and the characteristics of the stretch of river, i.e. high current velocities and the developed shoreline, the risk is deemed to be relatively low. A new baseline environmental survey of the site may be required as part of the permitting process.

2.2.2.4 Canadian Navigable Waters Act (CNWA)

During 2019, the *Navigation Protection Act* was amended and renamed the *Canadian Navigable Waters Act (CNWA)*. CNWA received Royal Assent on June 21, 2019, and is now in force.

Transport Canada administers the CNWA through its Navigation Protection Program (NPP). The CNWA focus is the protection of Canadian waters on which the public has the right to travel (navigable waters), including the sea.

As noted in Section 2.2.1, approval from Transport Canada's NPP is seen as a high risk item that should be addressed as soon as possible to confirm the feasibility and layout of the project.

2.2.2.5 First Nations Engagement

The project site is within the traditional territory identified by a number of First Nations. FLNRORD and Transport Canada NPP may require consultation with First Nations as part of their application review process.

2.2.3 Geotechnical Conditions

Changes in the latest revisions of the British Columbia Building Code, BCBC, have updated the approaches to seismic design for waterfront structures. Specifically, the definition of a building in BCBC has been broadened to include all structures that can be occupied. Previously, it has been argued by Professional Structural Engineers that waterfront structures are not buildings and did not need to comply with previous versions of BCBC. The recent changes mean that soil liquefaction during a 1 in 2,475 year return period seismic event must be included in the design of waterfront structures.

It will be costly to install a fixed pier structure at the site for the following reasons:

- The soils along the banks of Garry Point Park are known to be unconsolidated sediments that will liquefy during code-prescribed seismic events. The depth of liquefaction determined on other, nearby sites is known to be on the order to 15 m to 25 m. Thus to prevent a thick layer of liquefied soil from flowing towards the deeper sections of the

river and collapsing a fixed pier in a catastrophic fashion and putting the lives of the public at risk, some form of ground improvement would be required to hold the soil in place.

- Ground improvement will add cost to the project and could consist of stone columns or timber compaction piles. Further cost will result from an increased area of impact along the shoreline from installing ground improvement around the fixed structure.

It can be demonstrated that a floating structure held in place with mooring piles and accessed by a walkway system does not require ground improvement to meet the life safety requirements of BCBC provided care is taken in the design. Specific focus is required on the performance of walkways during a seismic event to ensure that they remain adequately supported at both ends and will not collapse catastrophically. This can be achieved by adding floatation to intermediate platforms and secondary restraint systems, such as chains, to ensure that gangways do not slip from bearing surfaces.

Knowing the budget expectations for this project, options with a fixed pier have not been presented due to the above cost issues.

2.2.4 River Characteristics

2.2.4.1 *Water Levels*

Understanding of the impacts of climate change on Fraser River conditions has improved in recent years, led by studies published by the Fraser Basin Council¹. These studies indicate that:

- The maximum water levels in the river could exceed historic flood levels by up to 1.44 m;
- Freshet flood volumes will increase over the next 50 years;
- After 50 years, river volumes will decrease with diminishing mountain snow packs; and
- The site is affected by ocean tides and future sea level rise.

CoR is currently undertaking planning studies to address future river water levels, including potentially increasing the height of the top of the bank. To address future river water levels, it is proposed that any ramp support structures be designed to be raised in the future.

A fixed pier would need to be either raised now to address future water levels without knowing the extent to which surrounding dikes will be raised or be designed to be raised in the future when the underlying and surrounding dikes are raised. This issue again highlights the difficulty and cost implications of constructing a fixed pier at the site.

¹ Lower Mainland Flood Management Strategy, Phase 1 Summary Report, Fraser Basin Council, May 2016.

For design, the tide station at Sand Heads has been selected from the CHS chart and provides the following tidal range to Chart Datum:

- Higher High Water Large Tide (HHWL) = 4.9 m
- Mean Water (MW) = 3.1 m
- Lower Low Water Large Tide (LLWL) = 0.2 m

2.2.4.2 Current Velocities

Detailed computer modeling was completed for the George Massey Tunnel Replacement Project²². The results of these models show that the river current velocities along the project site could reach up to 1.4 m/s, or 3.0 knots, in the intertidal zone on the north side of the river (see Figure F on the next page).

The impact of current on the project is threefold:

1. The current moves a significant volume of sediment, which abrades any steel piling in the river at the riverbed level. The existing piles that could potentially be re-used should be inspected at the riverbed to confirm any loss of steel thickness. It is recommended that any new piles have a sacrificial element such as a corrugated steel or HDPE sleeve installed around the steel pipe piles to mitigate any long-term degradation.
2. The current will impart a significant lateral load on the floats that must be resisted by the mooring piles. The lateral load will increase if the float is made wider and deeper to mitigate vertical motions from waves described in the following section. The constant loading will also hold the floats against the upstream side of the piles and will wear out bearing elements quicker than at protected marinas. Special care should be taken when designing the bearing/rubbing elements between the piles and floats.
3. The current will amplify waves from passing vessels that are heading upstream. This is discussed in the following section.

Regulators may require studies to show the effect of any proposed floating structures on the flow patterns of the river to confirm that there will be no negative impacts on fish migration by increasing river current velocities and removing habitat for fish to hide from predators.

²² River Hydraulics and Morphology, Technical Report, Northwest Hydraulic Consultants Ltd., 2016.
<https://projects.eao.gov.bc.ca/api/document/589b930c343013001d415081/fetch>

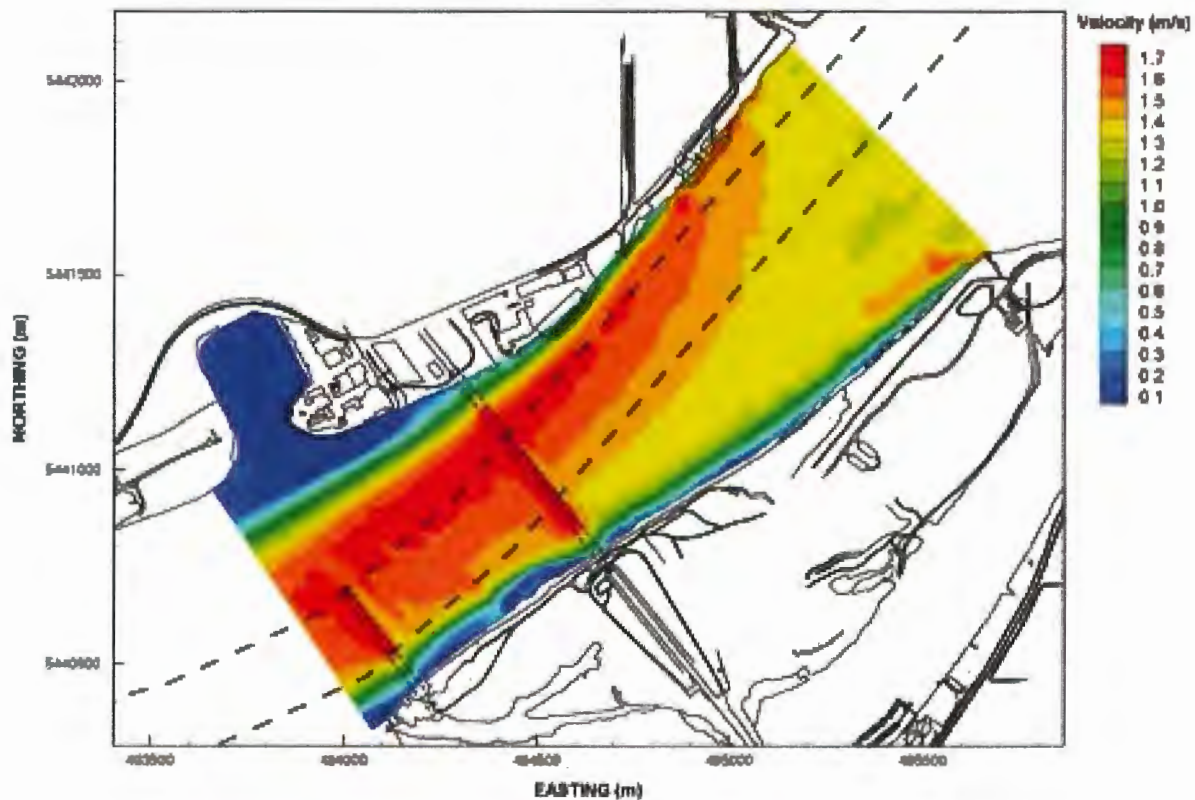


Figure F **Modelled Surface Velocity Distribution under Existing Conditions, August 16, 2012².**

2.2.4.3 Wave Heights

The Council of Marine Carriers has previously advised that the design wave height at the site should be between 1.0 m and 2.0 m. A passing vessel wake study completed for the proposed WesPac Marine Terminal on Tilbury Island³ is on the public domain on the BC Environmental Assessment Office project review website and confirms that the wake height from a typical tug on the Fraser River less than 100 m away is greater than 1.0 m.

Mitigating motions in floating structures that make users feel uncomfortable is challenging. As discussed previously, the floats that were previously installed at the project site had motions in waves that caused CoR to become concerned for public safety.

³ WesPac Tilbury LNG Marine Terminal – Fraser River Vessel Wake Assessment, Ausenco Engineering Canada Inc., November 17, 2015.

In general, people who visit marinas will tolerate more motion than is accepted by someone on a floating public pathway. A risk to the project is that the floats are not designed for the actual wave conditions at the site and move excessively causing CoR to again have to limit the usage of the floats or putting up signs to warn the public about the motions.

To mitigate against motion caused by waves, floats need to be designed with a combination of greater draft so that waves reflect against the side rather than lift the floats from underneath and greater width so that the float is supported by two wave crests underneath and does not roll up and down each wave. Figure G shows an example of a float with greater draft. This type of float is more expensive than what has been proposed previously and would increase the overall project cost. An upstand wave wall could also be required on the offshore side of the floats to prevent waves from overtopping the floats, potentially knocking people off of their feet.

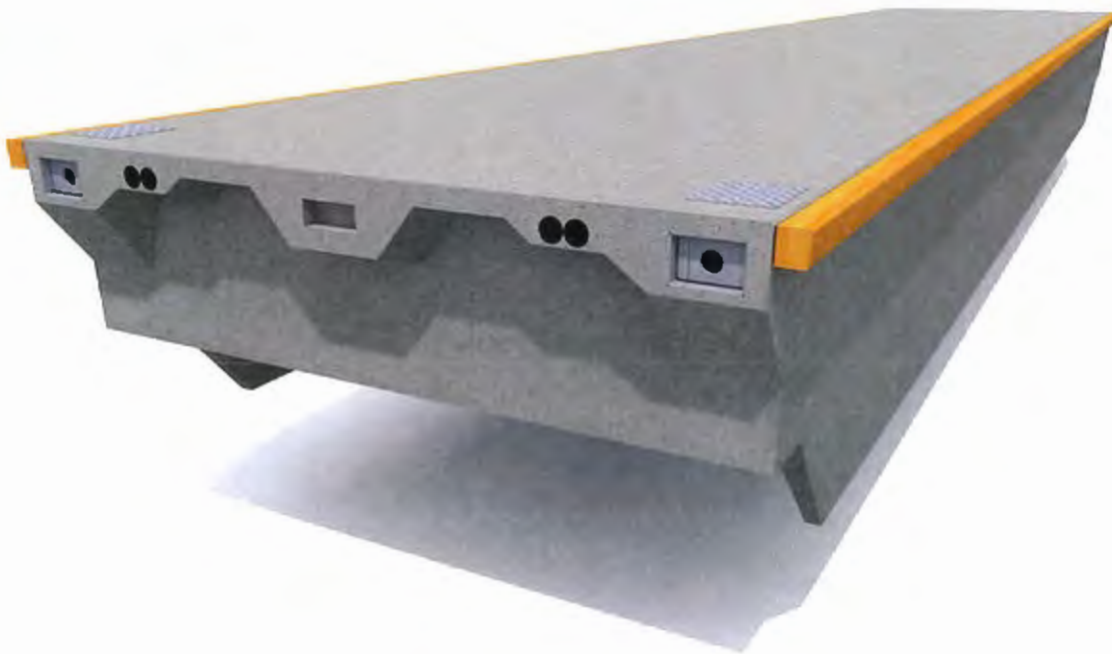


Figure G Example of a float with greater depth to mitigate against motion from waves.

2.2.4.4 Debris, Ice, and Vessel Impacts

The damage caused by the significant amount of floating wood debris in the Fraser River during freshets is well known. It can range all the way up to greater than 1 m diameter trees that are over 30 m high and still have full root balls. Floating timber debris can also be submerged, get caught on the river bottom and then pitching upwards.

Damage from debris and ice over the service life of the facility is a risk, which has proven difficult to mitigate at other facilities along the river. Figure H shows a deadhead log that submerged below the surface in a high flow scenario, got caught on the river bottom, and punctured through the bottom of a concrete float in Richmond.

Similarly, there is a concern that ice could become wedged between adjacent floats causing damage to the mooring restraints on the floats.

The potential for damage could be mitigated somewhat by installing a river debris deflection boom at the upstream end of the project like exists at the float at Queensborough (see Figure I on the next page) so that debris does not become wedged between the floats for the access ramps and is directed back towards the middle of the river.



Figure H **Deadhead puncturing through the bottom of a concrete float in Richmond along the Fraser River (source: City of Richmond).**



Figure 1 Debris deflection boom at Queensborough (source: GoogleEarth).

Tugs with barges do not fall within the Port of Vancouver's navigation channel designations in the river and can transit anywhere it is safe to do so across the full width of the river. The risks and consequences of vessel impacts must be quantified as part of the detailed design of the project.

Westmar has met with the Council of Marine Carriers (CMC) and with Transport Canada Navigation Protection Program (TC NPP) about other projects in the river. CMC has expressed a general concern about projects such as this and has indicated in the past that it would advise TC NPP to not approve such projects for the following reasons:

- The floats are too close to current navigable areas of the river;
- The floats are susceptible to being damaged from tugs and towage either from direct impacts or projecting logs below the surface of log booms;
- The wake waves from tugs will cause too much motion in the floats to be comfortable to the public and CMC members will be asked to slow while alongside the pathway, which will require the use of additional tugs to have the same control as at higher speeds; and
- CMC members will be requested to pay for any damage to the floats even though their operations were there first and they have made no changes to how they operate.

TC NPP has previously stated that it takes CMC's concerns seriously and if there are specific concerns about a project that TC NPP will require that changes to the design be made or will not approve a project if CMC's concerns cannot be adequately addressed and they determine that there is interference with navigation, as defined under the *Canadian Navigable Waters Act*. TC NPP has previously stated that it will not accept a blanket statement from CMC that CMC does not approve of a project.

TC NPP provided a recent example where the planned extension to the footprint of the waterfront structures in front of the new Pier West by Bosa towers on the former Larco property was rejected because it would interfere with navigation, specifically with the current navigation routes used by CMC members, despite the structures being contained within a pre-existing waterlot boundary. Another recent example was when TC NPP did not approve a proposed marina at the Royal Bay development at Queensborough by Aragon Properties Ltd. due to its interference with navigation, specifically CMC members.

There is a risk that moving the floating facility upstream and closer to Cannery Channel will cause CMC or other marine users to have specific concerns that will result in TC NPP not approving the project until the concerns can be adequately addressed. The recommended mitigation is to engage with TC NPP to confirm the likelihood of receiving approval from TC NPP.

2.3 Project Risks

2.3.1 Market Conditions

A risk to the estimated capital cost is the current market conditions in the marine construction industry leading to increased costs. There are several ongoing and planned major waterfront projects in BC that are expected to keep costs high for the next few years.

It is recommended that the project team engages with marine contractors during design development to include accurate pricing and that the project be issued for tender with components that can easily be removed to keep the project within the budget.

2.3.2 Construction Restrictions and Requirements

Due to permit conditions, indigenous concerns or other requirements.

There is a risk that mitigations/monitoring requirements, e.g. timing windows, restrictions on pile driving, monitoring etc. are beyond typical Best Management Practices, increasing the cost and schedule of the project.

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This has been reviewed and given the likely construction activities and duration this is a low risk. Mitigation for marine construction activities such as pile driving are well established. The design should be prepared while considering environmental effects and construction mitigation and monitoring requirements. Mitigation and monitoring commitments should be tracked and clearly laid out in any procurement and contract documents.

2.3.3 Legal

It is recommended that the CoR's Engineering and Legal teams be engaged to review the proposed approaches to addressing the risks to life safety and input their findings to a Basis of Design document that will inform any changes that must be made to the design or generally to the option chosen for the project. Items affecting risks to life safety include:

- Seismic design;
- Flooding;
- Impacts from floating debris or marine vessels;
- Egress;
- Access by Emergency Responders; and
- Firefighting.

3 Potential Activities at a Redeveloped Facility

Westmar has completed a review of previous usages of the facility at the study area combined with a review of potential activities that were requested to be investigated by CoR. The facility could also be considered as part of an initiative that has been put forward by Metro Vancouver to establish passenger ferry services along the Fraser River.

Descriptions of the activities are presented in the following table and pictorial representations are presented on the following pages. Any finalized uses should be confirmed with permitting approvals and waterlot lease restrictions.

Table A Potential activities at a redeveloped facility.

Activity Name	Description	Design Considerations						
		Power and Water	Amenity Building	Rub strips and cleats	Adequate Water Depth	Signage	Wide Floats	Accessible Floats
Boat / tall ship tours	Perhaps as an extension of the Sea Festival, unique boats and/or tall ships are brought to Garry Point by a community organizing committee for tours by the public			✓	✓		✓	✓
Transient boat moorage	Slips available for daily moorage when the float is not being used for other activities	✓		✓	✓	✓		
Recreational fishing and crabbing	Fishing and crabbing activities on fully accessible floats.						✓	✓

Activity Name	Description	Design Considerations						
		Power and Water	Amenity Building	Rub strips and cleats	Adequate Water Depth	Signage	Wide Floats	Accessible Floats
Paddling activities	A portion of the facility is accessible to the public or through rental/teaching companies to use a variety of paddling boats with the potential of adding fully accessible entry and exit systems						✓	✓
Tour operators (i.e. passenger ferries)	Approved operators are permitted to use a portion of the facility for ferry services and other sea adventure tours			✓	✓		✓	✓



SEA FESTIVAL BOAT / TALL SHIP TOURS

- Wide floats
- Deeper water depth
- Power and water
- Additional fendering





TRANSIENT BOAT MOORAGE

- Rub strips
- Cleats to accommodate changing mooring
- Signage and enforcement





RECREATIONAL FISHING & CRABBING

- Non-slip float surface
- Potentially removable handrails
- Water bibs for washdown





PADDLING ACTIVITIES

- Wide floats
- Non-slip float surface
- Shallow float freeboard
- Potential for accessible kayak access





TOUR OPERATORS

- Wide floats
- Non-slip float surface
- Accommodate fendering
- Space for a building



4 Project Criteria

Based on the activities identified in Section 3, a number of design criteria have been identified. General functional requirements that capture the needs of the various activities are presented next.

4.1 Functional Requirements

4.1.1 General

The primary functional criteria related to this study include those outlined below:

- Robust piles and floats are needed to minimize maintenance costs and provide an acceptable service life;
- The floats shall have rub fenders and cleats to support a wide variety of vessel types;
- The floats shall be designed to accept power for lighting and potentially vessel supply, and water for potentially vessel supply;
- The floats shall be wide to provide full accessibility and potentially accommodate high occupancy activities;
- The floats shall have removable handrails, ladders, life rings, and a dry fire water system for public safety;
- The floats could be able to accommodate add-ons such as equipment to support fully accessible water recreation; and
- The gangways could provide full accessibility over all tide elevations.

Pictures of fully accessible gangway systems and robust concrete floats and piles are provided on the following pages.

4.1.2 Accessibility

State-of-the-art accessible gangways typically consist of several gangways that are supported on floats that rest on mooring piles as the tide goes down so that the code-prescribed gradient of 1 vertical to 12 horizontal (1V:12H) is not exceeded. A variation to this is if one or more ramps with the maximum gradient is fixed to the primary float.

There are several accessibility standards that will be used for the design of the facility, including:

- CAN/CSA-B651, Accessible Design for the Built Environment, 2010;
- Accessible Boating Facilities, United States Access Board, 2003;
- PIANC Disability Access Guidelines for Recreational Boating Facilities, 2004;

- ADA Standards for Accessible Design, 2010;
- British Columbia Building Code 2018; and
- WorkSafeBC.

4.1.3 Design Vessels

The following table summarizes vessels that typically call at public marine facilities in Metro Vancouver for special events.

Table B Vessel characteristics.

Vessel Type	Vessel Name	LOA (m)	Beam (m)	Draft (m)
Tallship	Kruzenshtern, Russian	114.6	14.0	6.7
	Nippon Maru II	99.2	13.6	6.3
	Guayas, Ecuadorian	78.6	10.2	4.8
	Eagle	80.7	11.9	5.2
	HMS Rose	38.1	9.3	4.0
Coast Guard Ship	Vector	37.4	9.5	3.8
Research Vessel	Cape Flattery	56.7	12.2	3.7
Pocket Cruise Ship	Spirit of Endeavour	66.1	11.3	2.6
Harbour Cruise Ship	MV Britannia	36.6	7.6	2.1
Canadian Navy	Halifax Class Frigate	134.1	16.4	4.9
	Orca Class	33.5	8.4	2.0



ACCESSIBLE GANGWAYS

- Slopes less than 1V:12H
- Non-slip surfaces
- Short runs with areas to rest
- Wide widths





DURABLE FLOATS

- Concrete encased foam with ballast tanks
- Timber rub rails and aluminum cleats
- Internal conduits
- Removable handrails



5 Redevelopment Options

Potential redevelopment options have been considered based on: the existing conditions, constraints, and risks described in Section 2; the potential activities described in Section 3; and the Project Criteria described in Section 4.

5.1 Redevelopment Options

Several redevelopment layouts were considered as part of this study and are summarized below.

- Float Type:
 - Timber floats. This is the least expensive option but will also have the highest maintenance costs and the shortest serviceable life. This will also result in the most movement of the floats in wave action.
 - Individual concrete floats. This is more expensive than timber but will have minimal maintenance and a long service life.
 - Post tensioned concrete floats. This also is more expensive than timber but will have minimal maintenance and a long service life. Post tensioning the concrete floats together will result in the smallest motions of the float achievable at the site.
 - A facility that can be accessed by the public year-round in any weather condition or river state must be robust. It is recommended that post tensioned concrete floats be used that have one, or more, sidewalls extended downwards below the design wave height so that the float acts as a breakwater and dampens wave motions. The larger vertical plane will increase the lateral forces to be resisted. A wider float will mitigate wave motions.
- Float Arrangement:
 - The float position is constrained by the City-owned waterlot boundaries, the navigation channel boundaries, fitting the largest design vessels within the boundaries, and water depth for the float at the lowest water levels on the onshore side.
 - The float needs to be long enough to adequately moor the largest design vessels with breast lines that are not too steep.

- Gangway Arrangement:
 - CoR did not indicate a preference to have a fully accessible arrangement to the facility. Additionally, no preference was provided to have only one accessible route to the floats or an accessible route and a route with a steeper gangway.
 - The widths of the gangways and turning radii at the ends should be wide enough to accommodate wheelchairs and scooters passing. The surface should be non-skid, such as rubber matting. And the gradient should not exceed 1V:12H.
 - There is insufficient water depth to have the accessible gangways switch back perpendicular to the float because of a lack of water depth for the intermediate float. There is sufficient water depth to have the accessible gangways aligned parallel with the float and this option is recommended.
- Debris Mitigation:
 - The upstream end of the site is exposed to floating debris, as evidenced by the volume of logs that are built up on the beaches each year. It is likely that the floats will be more prone to impact the further upstream the floats are placed as the debris currently refracts around the end of training structure at the entrance to Cannery Channel and lands on the beaches. A float located upstream of the previous position would be regularly impacted. Additionally, the floating platforms and piles in between accessible gangways are not as robust as the primary float and will require less ongoing maintenance if protected from debris.
 - For the above reasons, it is recommended that a floating debris barrier be installed that will direct any debris further downstream along the offshore face of the primary float

5.2 Proposed Options

Based on the previous discussion in this section, two proposed options have been developed to accommodate a wide number of uses. The proposed options consist of the following components and are shown in Figure J and Figure K on the next pages and drawings in Appendix A:

- A single primary concrete float comprised of three float components that are towed to the site separately and post-tensioned together on site. The total length of the combined float is 170 m (560 ft.) and the width of each float is 10 m (33 ft.).

The float will consist of the following characteristics and components:

- Timber rub strips around the outside;
- Timber bull rails at the top outside edge;
- Aluminum cleats sized for the mooring loads from the largest design vessels;
- Removable handrails;
- Rescue ladders and life rings on the onshore side;
- Foot lighting;
- Water and power hook-ups; and
- Dry standpipe with fire department connections at discrete locations.

The floats are fully encased with concrete with the primary float having one, or more sides made taller to mitigate motions in waves and made wider than exists currently in order to accept a new accessible gangway system.

The float is positioned to maximize the City-owed waterlot and is located almost along the same onshore edge of the previous float.

- Mooring piles for the floats that will be installed through wells in the floats. This is done to minimize maintenance of the facility over time as brackets outside of large floats in exposed locations routinely fail from wear and tear. Adopting this approach, however, will mean that the floats cannot easily be removed from the site.

If the existing steel pipe piles are found to be in acceptable condition, it is assumed that they can be re-used. However, there is concern that the existing piles are not currently driven down into the riverbed to a depth below the soil layer estimated to liquefy during a seismic event. To mitigate this new pipe could be spliced and the pile driven to required embedment depths. If new piles are used, they will be driven open ended and fitted with high density polyethylene (HDPE) outer sleeves down to the seabed to mitigate corrosion and abrasion at the riverbed. The piles will be filled with sand to make them resistant to denting and then fitted with conical caps.

- The only difference between the two proposed options is that Option 1 has a fully accessible gangway system and Option 2 has a single gangway that will have a maximum gradient of 14.3 degrees at lower low tide. The fully accessible gangway system will have a maximum gradient of 1V:12H (8.3 degrees). The two intermediate floating platforms consist of aluminum framing with floats that are held in place by four small piles each. The piles will have stops installed so the platforms are held at specified elevations as the tide goes down. The top of the gangway system is supported by a new abutment and viewing area.
- The upstream end of the facility has a floating timber debris barrier that consists of a 0.45 m – 0.61 m (14" – 24") log held in place by 0.61 m steel pipe piles and timber chocks with chains.

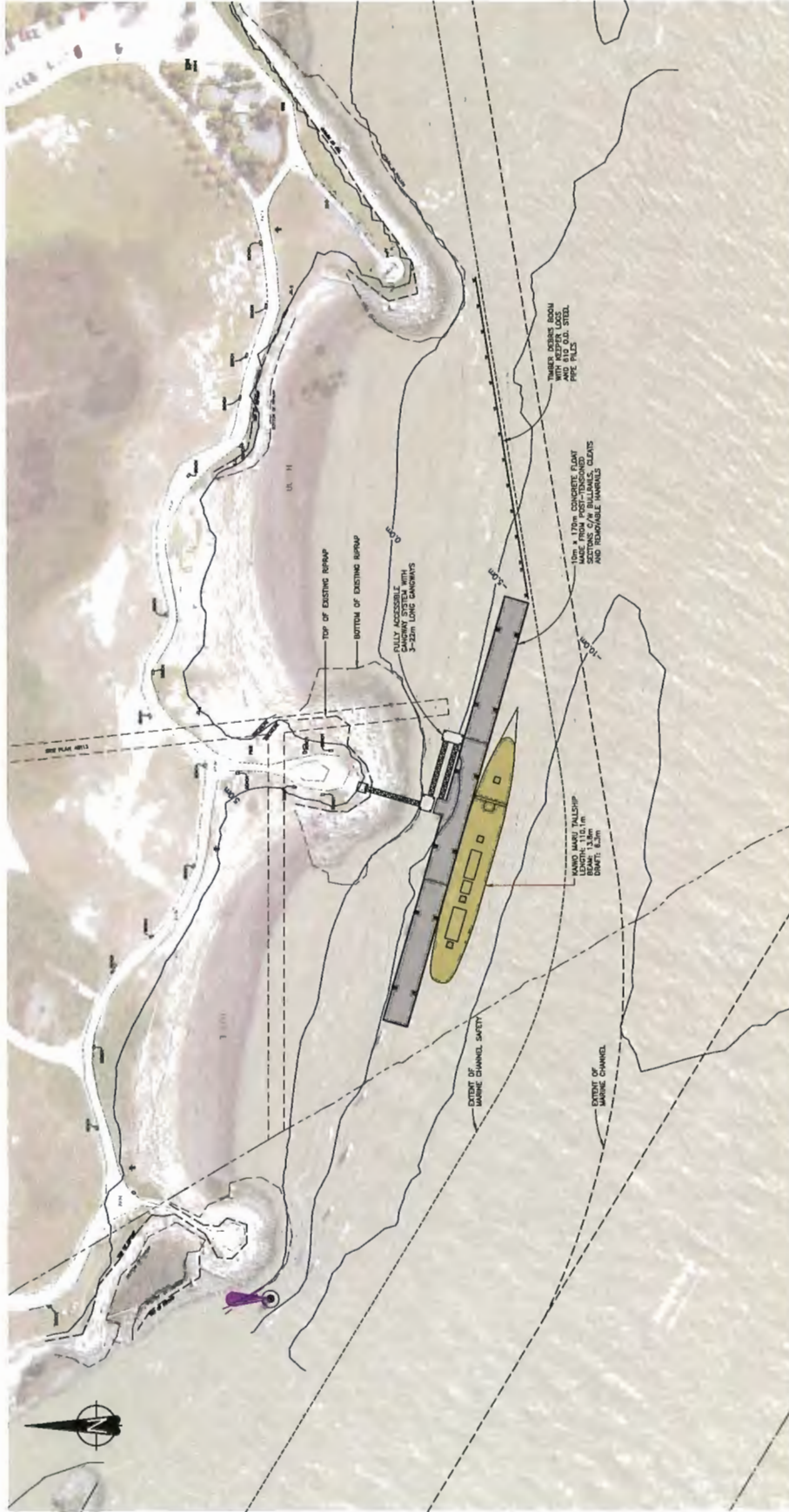


Figure J View of Option No. 1 with accessible gangway system.

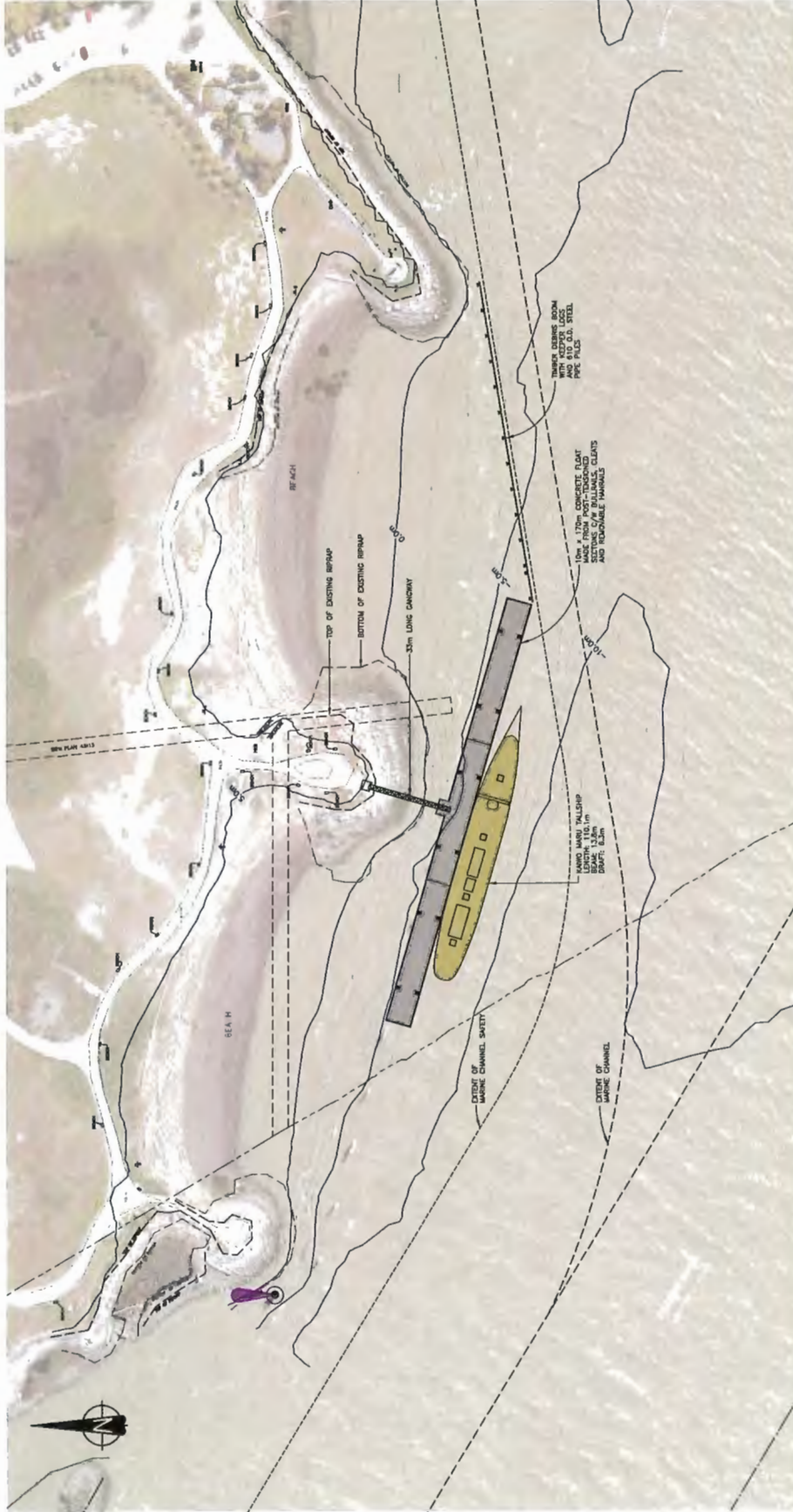


Figure K View of Option No. 2 with single gangway.

5.3 Capital Cost Estimate

A cost estimate for the proposed option presented in Section 5.2 was prepared using Westmar's standard estimating methodology to produce capital cost estimates with a predicted accuracy range of $\pm 50\%$ (Class D Screening Estimate).

The following represents the current phase of the project and the associated estimating methodology and approach.

Table C Estimate Classification.

Evaluate Phase			
<p>Expected Confidence Range Typically $\pm 50\%$</p> <p>Contingency 20% to 25%</p> <p>The Confidence Range and Contingency will depend upon the estimating assumptions and will generally be generated from a risk weighted cost estimate.</p>	<p>To determine and compare the economic feasibility of Project options leading to concept selection. To determine the degree of cost commitment needed for subsequent phases.</p> <p>Especially the determination of the approval to proceed to the Define stage.</p>	<p>Major plot plans, field layout plans, location plans available.</p> <p>Outline Basis of Design, Project Technical Specification and Project Strategy available.</p>	<p>Components will be priced from budget quotations, or historical data.</p> <p>It is not usual for a formal cost review and Cost Risk Analysis to be carried out at this stage. Formal review is advisable in the event that major commitments of funds are involved.</p>

The intent of this estimate is to provide a guide for the CoR to use in evaluating the redevelopment costs. The estimate presented is subject to the following key qualifications and exclusions.

5.3.1 Key Qualifications

The following qualifications were noted when preparing the Capital Cost Estimate:

- Estimate base date is February 20, 2020.
- The estimates' currency is in Canadian Dollars.

- No detailed Contract and Procurement plans have been developed as part of this estimate.
- The cost estimate has been prepared assuming environmental, statutory and regulatory approvals will be in place.
- No provision for delay costs with regards to permitting (e.g., excavation permits, confined space permits, etc.) beyond what would be reasonably expected.
- Owner's costs have not been included in the estimate, including owner's staff and specialist consultants and contractors, marketing and sales costs, and project finance / working capital costs.
- It is assumed that the existing steel pipe piles located in the site can be re-used.
- No geotechnical information at the specific site is known other than the penetration depth of the existing steel piles.
- With the selected layout, it is assumed that no new habitat compensation will be required.
- Installing required power and water supply to the facility is beyond the scope of this study.
- It is assumed that if a dry standpipe fire department connection is installed at the top of the gangway that a pumper truck can drive there to connect to it.

5.3.2 Exclusions from Capital Cost Estimate

The following items were excluded from the Capital Cost Estimate:

- Escalation beyond estimate base date of February 20, 2020 through to project completion.
- Finance and interest charges for project duration.
- All taxes and duties.
- Costs related to environmental habitat compensation and social impacts not specifically noted.
- Delay costs associated with obtaining statutory approvals (e.g., building or development approval).
- Environmental approvals including Environmental and Social Impact Assessment preparation.
- Sunk costs (e.g., the cost of this and previous studies, etc.).

5.3.3 Estimate Summary

Table D on the next page provides a summary of the estimated capital costs for the proposed options described in Section 5.2.

Table D Capital Cost Estimate Summary for the Proposed Option.

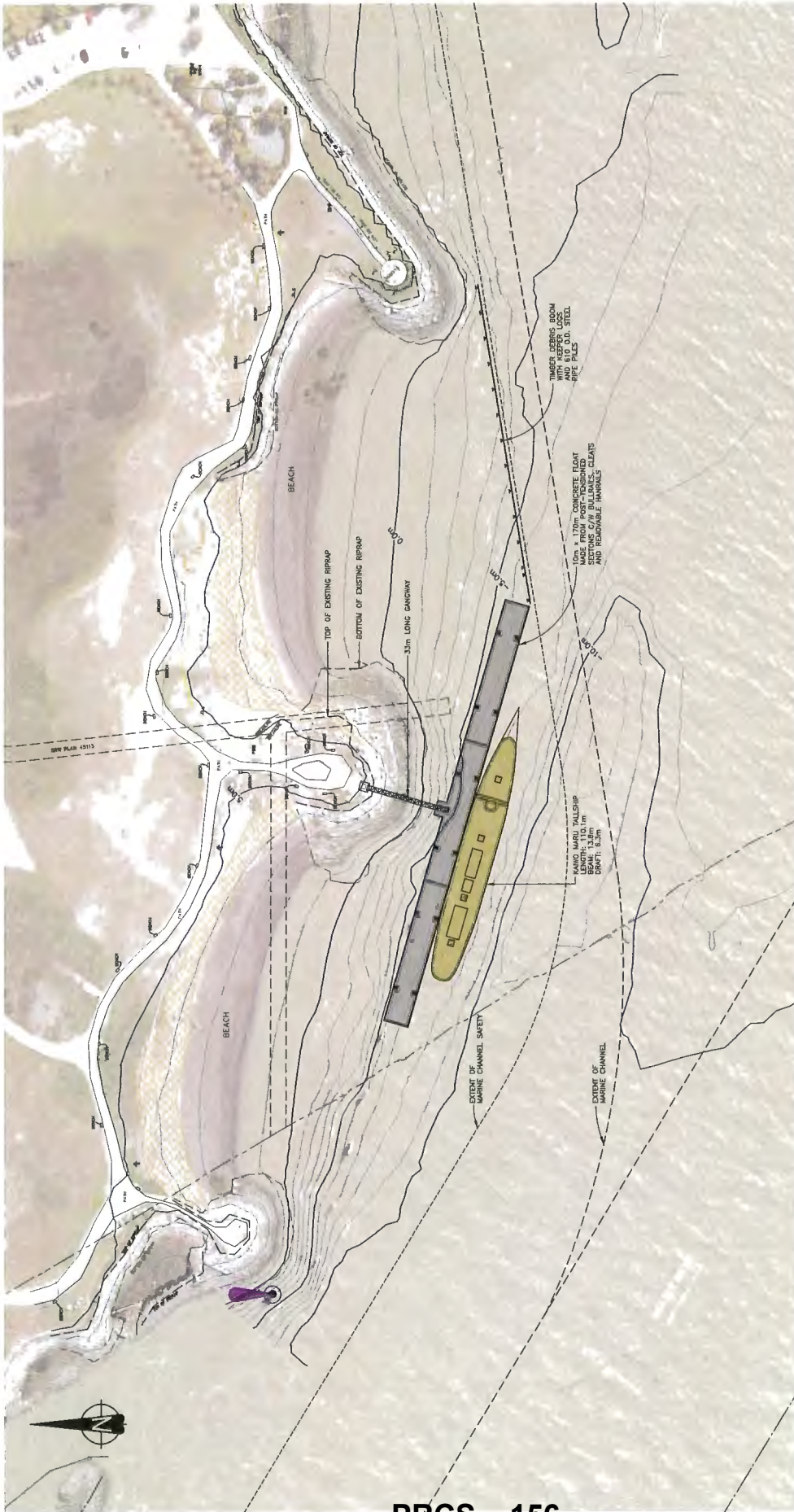
Description	Unit	Quantity	Rate	Option 1 Cost (CDN)	Option 2 Cost (CDN)
Mobilization/demobilization	L.S.	1	\$150,000	\$150,000	\$150,000
Float supply	sq.m.	1,700	\$2,000	\$3,400,000	\$3,400,000
Float and pile installation (6 piles)	L.S.	1	\$350,000	\$350,000	\$350,000
Utilities and lighting	L.S.	1	\$350,000	\$350,000	\$350,000
Accessible gangway, including piles	L.S.	1	\$1,000,000	\$1,000,000	---
Single gangway	L.S.	1	\$200,000	---	\$300,000
Onshore abutment and viewing area	L.S.	1	\$250,000	\$250,000	\$250,000
Floating debris deflection barrier	L.S.	1	\$500,000	\$500,000	\$500,000
Subtotal				\$6,000,000	\$5,300,000
Engineering and Contingency (25%)				\$1,500,000	\$1,325,000
Total				\$7,500,000	\$6,625,000

6 Summary of Findings

The following summarizes the findings and recommendations from this study:

- It is possible to locate a large floating facility within the City-owned waterlot to allow for year-round usage.
- The float can be designed for the anticipated usages, including accommodating large vessels for special events, and river conditions to allow for safe usage of the public. Specific components have been included to increase safety such as removable handrails and a debris deflection barrier.
- Unknowns about the future bank height of the park, greater environmental impacts that could delay permitting approvals, and greater cost from ground improvement have led to the recommendation against proposing a fixed pier structure.
- Many federal and provincial regulatory acts have been changed over the past year. Although it is not likely that the project will be rejected on the basis of environmental impacts, it is recommended that early engagement with all regulators take place as soon as possible to confirm the level of studies required to accompany project review submissions.
- Despite staying away from Port of Vancouver channel safety boundaries, Transport Canada's Navigation Protection Program will have the ultimate say after engaging with marine users on whether the proposed facility position can be accepted. It is recommended that TC NPP be engaged with as soon as possible.
- This report is conceptual in nature and the options that have presented are based on our experience and judgement about the conditions at the site. It is recommended that preliminary engineering be completed to confirm the size of the float required to minimize motions and the depth and size of piles required to moor the float in place.

Appendix A: Concept Drawings



PRCS - 156

PLAN - GENERAL ARRANGEMENT
1:750

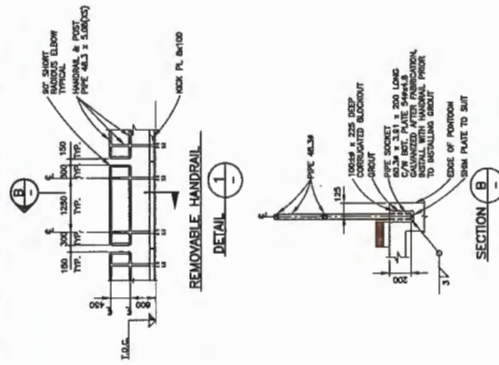
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PLAN - FLOAT AND GANGWAY SYSTEM
1:200

PRCS - 157



TYPICAL SECTION - WHEELCHAIR ACCESS GANGWAYS AT H.H.W.L.
1:200

TYPICAL SECTION - WHEELCHAIR ACCESS GANGWAYS AT L.L.W.L.
1:200



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Appendix B: Original Drawings

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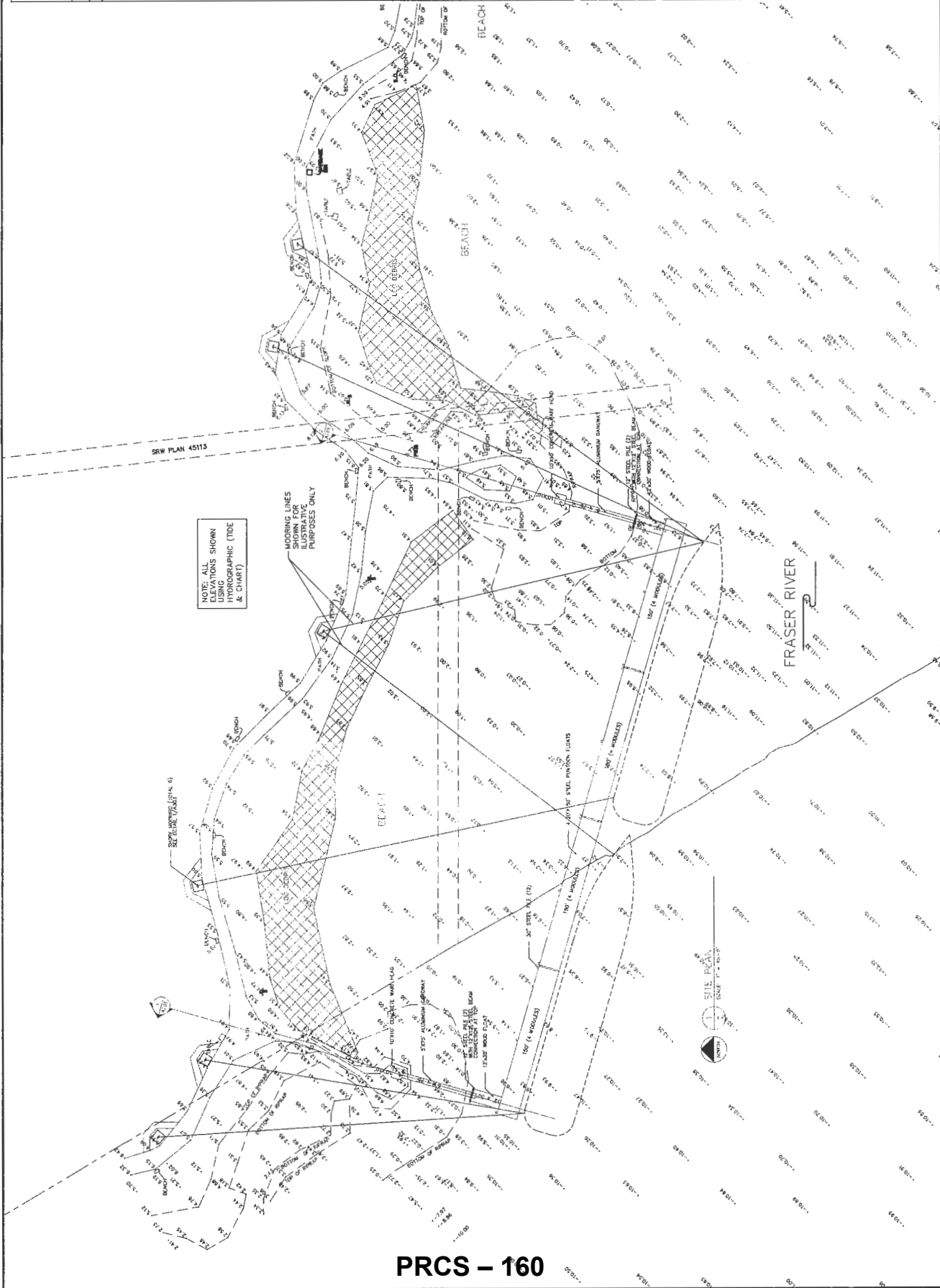


PROJECT
GARY PRUST
TANK DUCK
NANAIMO, BC

PROJECT TITLE
SITE PLAN

DATE	1/20/20
BY	GP
CHECKED BY	GP
DESIGNED BY	GP
DATE	1/20/20
SCALE	AS SHOWN

A101



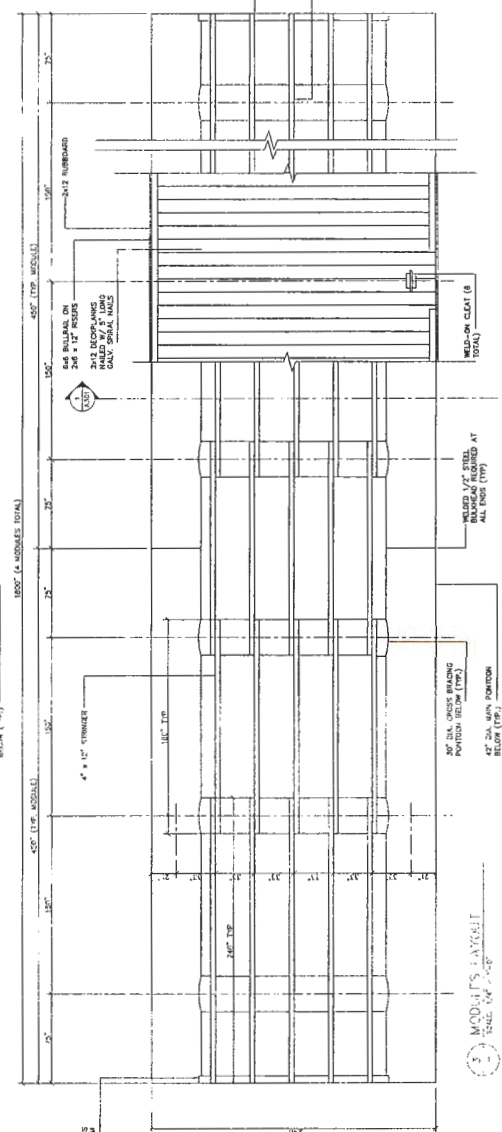
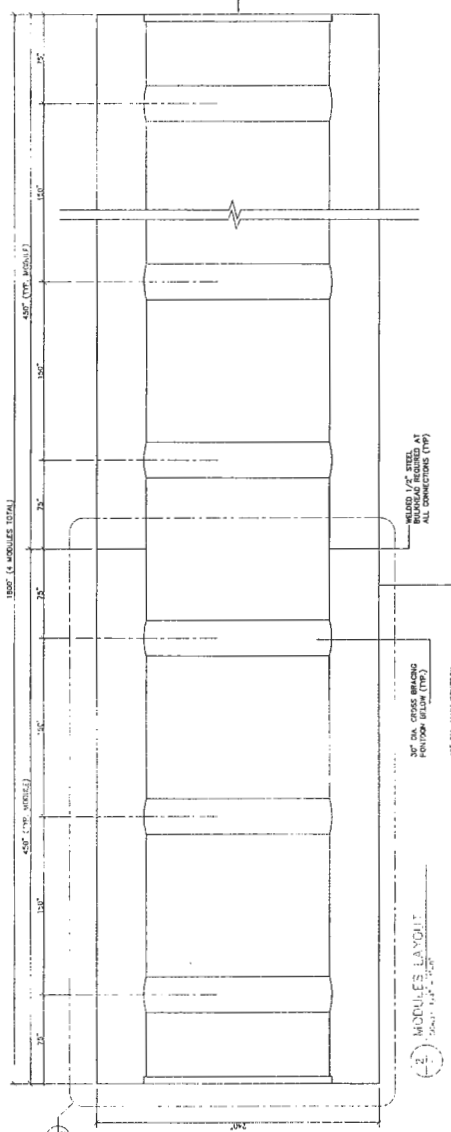
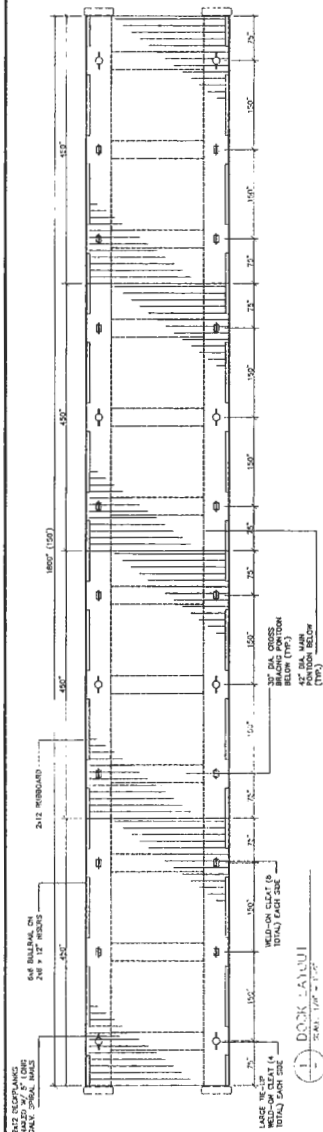
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DATE	ISSUED FOR APPROVAL
DATE	ISSUED FOR REVIEW
DATE	REMOVED
DATE	REMOVED / DELETED

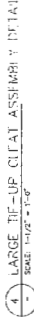
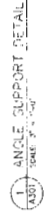


CARRY POINT
FACE DOCK
 KNOCKOUT IC

DOCK LAYOUT

DATE: 08/27/19
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: AS SHOWN





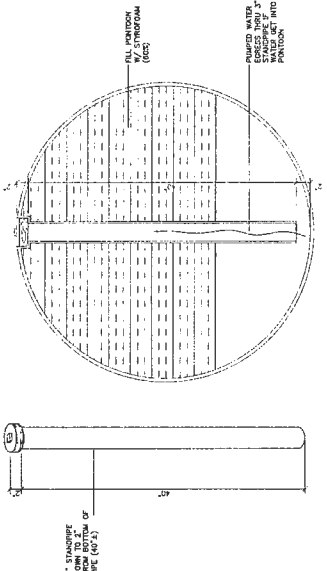
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SEPT 24/10	ISSUED FOR APPROVAL	2
SEPT 20/10	ISSUED FOR REVIEW	3



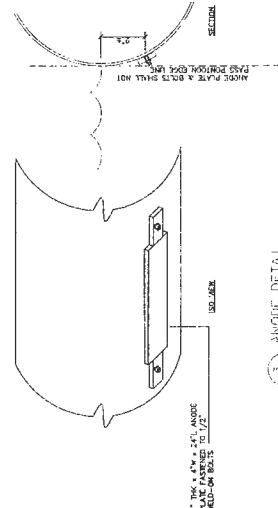
PRODUCT

COMPILING TITLE DETAILS

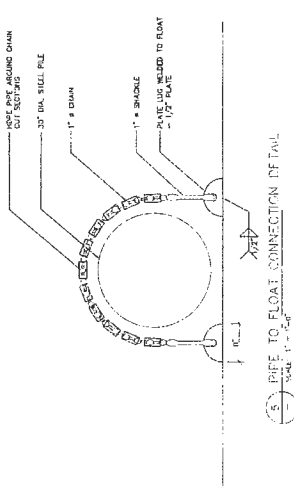
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JOB No.	-
DRAWING No.	A303
DESIGN	J00
CHKD	DCB
SCALE	AS SHOWN



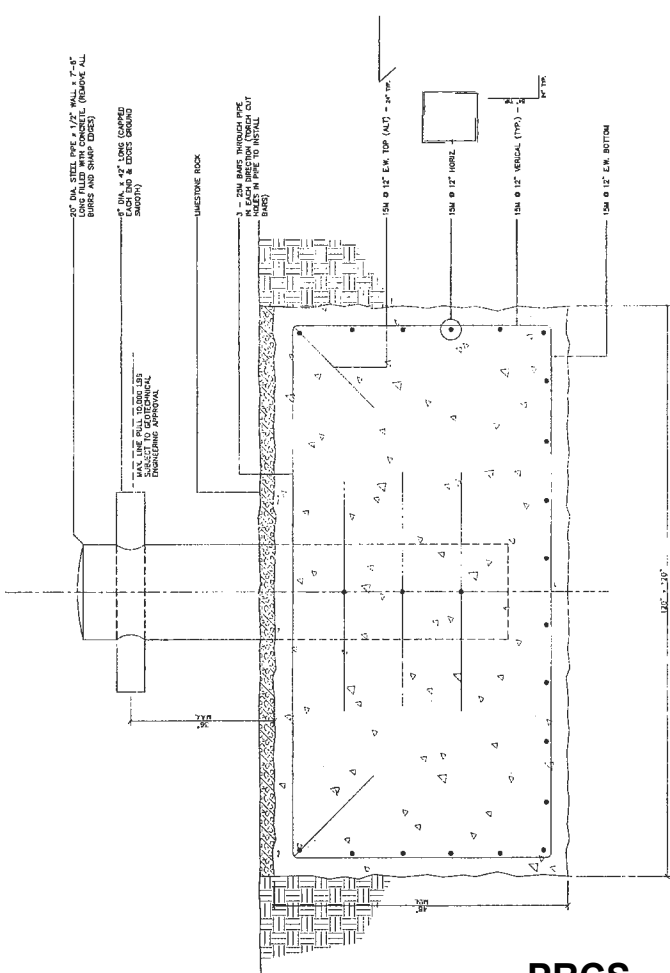
2 BALLAST HOLE CAP & STANDPIPE DETAIL



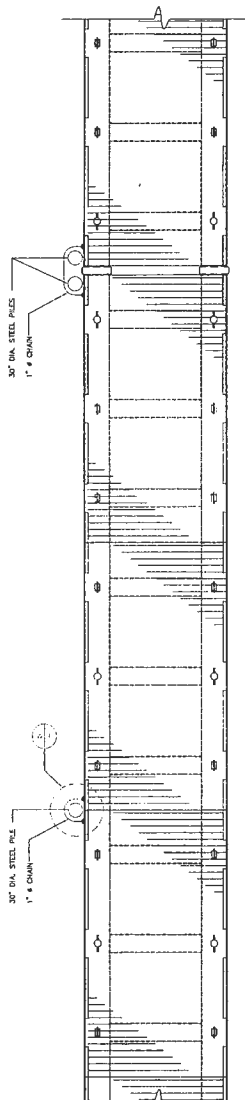
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5. PIPE TO FLOAT CONNECTION DETAIL



1 SHORE MOORING DETAIL



4 DOCK TO PILES TIE PATTERN
SCALE: 1/8" = 1'-0"



Garry Point Park Waterfront and Steveston Harbour

Original Date: 2021 Feb 1

Not to Scale