



## Development Permit Panel

Council Chambers, City Hall  
6911 No. 3 Road

Wednesday, September 24, 2014  
2:30 p.m.

### Minutes

*Motion to adopt the minutes of the Development Permit Panel meeting held on Wednesday, September 10, 2014.*



1. **Development Permit 14-662829**  
(REDMS No. 4336656) (File Ref No. Xr: HA 14-662831)

APPLICANT: City of Richmond  
PROPERTY LOCATION: 3811 Moncton Street

### Director's Recommendations

1. *That a Development Permit be issued which would permit the rehabilitation of the exterior of the Japanese Fishermen's Benevolent Society Building, a designated Heritage Building, in order to alter the south facade of the building at 3811 Moncton Street on a site zoned Steveston Commercial (CS2); and*
2. *That a Heritage Alteration Permit be issued for 3811 Moncton Street in accordance with Development Permit (HA 14-662831).*



2. **New Business**

3. **Date of Next Meeting: Wednesday, October 15, 2014**

4. **Adjournment**



**Development Permit Panel  
Wednesday, September 10, 2014**

Time: 3:30 p.m.  
Place: Council Chambers  
Richmond City Hall  
Present: Joe Erceg, Chair  
Dave Semple, General Manager, Community Services  
John Irving, Director, Engineering

The meeting was called to order at 3:30 p.m.

**1. Minutes**

It was moved and seconded

1. *That the minutes of the meeting of the Development Permit Panel held on Wednesday, July 30, 2014, be amended to read as follows in the second Panel Discussion under Item No. 2:*

*"The Chair spoke of the proposed reduction in visitor parking and noted that the 0.125 spaces/unit rate will provide a buffer in the event that more visitor parking spaces are required than the surveys indicate. In addition, due to undeveloped sidewalk connections, access to the Canada Line is restricted. Furthermore, it was noted that the Panel is not inclined to consider any further visitor parking reductions for this project. Also, concern was raised that the reduction in visitor parking spaces commoditize the parking spaces and comes at the expense of available public parking."*

2. *That the minutes of the meeting of the Development Permit Panel held on Wednesday, August 27, 2014, be adopted.*

**CARRIED**

**2. Development Permit 13-646028**  
(File Ref. No.: DP 13-646028) (REDMS No. 4267725)

APPLICANT: Sandhill Homes Ltd.

## **Development Permit Panel**

### **Wednesday, September 10, 2014**

---

PROPERTY LOCATION: 9080 No. 3 Road

#### **INTENT OF PERMIT:**

1. Permit the construction of 12 townhouse units at 9080 No. 3 Road on a site zoned "Medium Density Townhouses (RTM2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) reduce the minimum lot width on major arterial road from 50.0 m to 43.3 m;
  - b) reduce the front yard setback to Unit A at the southwest corner of the site from 6.0 m to 5.18 m;
  - c) increase the rate of tandem parking spaces from 50% to 67% to allow a total of sixteen (16) tandem parking spaces in eight (8) three-storey townhouse units; and
  - d) replace three (3) standard residential parking stalls with small car stalls - one (1) in each of the side-by-side double car garages.

#### **Applicant's Comments**

Yoshi Mikamo, Yamamoto Architecture Inc., and Marlene Messer, PMG Landscape Architects Ltd., gave a brief overview of the proposed application regarding (i) urban design, (ii) architectural form and character, and (iii) landscaping and open space design. Mr. Mikamo noted that access to the site is through an existing driveway on the south side of the site and that the driveway will not be extended farther north or east. Mr. Mikamo added that the proposed development will be two and three storeys in height and that the proposed development will include one convertible unit and have accessible parking.

Mr. Mikamo noted that the proposed amenity area is located on the south east corner of the site. He then commented on the tree retention plan and advised that there is a proposal to remove one tree on-site due to the tree's poor condition.

Mr. Mikamo commented on the sustainability features of the proposed development including (i) Low-E Energy Star rated windows, (ii) Energy Star rated appliances, (iii) low flow fixtures, and (iv) individual temperature controls in each room.

Ms. Messer spoke of the proposed landscaping features with respect to (i) the natural play elements in the amenity area, (ii) the edible plants proposed for the site, and (iii) the permeable pavers that will be used in the driveway.

#### **Panel Discussion**

In reply to queries from the Panel, Ms. Messer advised that the amenity area will include natural play elements but will not have traditional play structures.

Discussion ensued regarding the variance to reduce the minimum lot width and the front yard setback to Unit A. Mr. Mikamo advised that the proposed variances would allow the site's streetscape and setback to be consistent with the adjacent townhouse development.

## Development Permit Panel

### Wednesday, September 10, 2014

---

In reply to queries from the Panel, Ms. Messer described the natural play elements of the amenity space including a ramp, a stage deck, balance beam logs and large flat boulders. She also noted that the amenity space will include seating and that edible plants will be added.

#### Staff Comments

In reply to queries from the Panel, Wayne Craig, Director, Development, advised that the adjacent lot on the north side of the site was a former gas station and is currently designated as a commercial site in the Official Community Plan. He noted that there is currently no indication that a gas station is proposed for the site and that commercial rezoning of the site may be required in the future.

#### Panel Discussion

In reply to queries from the Panel, Mr. Mikamo advised that there are trees proposed along the north side of the site.

Mr. Craig commented on the developer's efforts to retain trees on the site. He noted that the lot width variance was proposed as a result of the proposed development occurring on an orphaned site. He added that the setback variance on Unit A is consistent with the variance granted for the adjacent townhouse development which will result in a consistent streetscape along No. 3 Road. Also, he advised that there is an additional visitor parking space on-site.

Discussion ensued regarding Council's direction on a reduction of tandem parking. In reply to queries from the Panel, Mr. Craig advised that the development permit was submitted prior to the bylaw amendment related to tandem parking approved by Council in March 2013. He added that staff have worked with the developer to modify the number of tandem parking spaces to work towards reflecting the changes in the bylaw, however a variance is required.

#### Correspondence

None.

#### Gallery Comments

None.

#### Panel Decision

It was moved and seconded

***That a Development Permit be issued which would:***

- 1. permit the construction of 12 townhouse units at 9080 No. 3 Road on a site zoned "Medium Density Townhouses (RTM2)"; and***

**Development Permit Panel**  
**Wednesday, September 10, 2014**

---

2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
- a) reduce the minimum lot width on major arterial road from 50.0 m to 43.3 m;*
  - b) reduce the front yard setback to Unit A at the southwest corner of the site from 6.0 m to 5.18 m;*
  - c) increase the rate of tandem parking spaces from 50% to 67% to allow a total of sixteen (16) tandem parking spaces in eight (8) three-storey townhouse units; and*
  - d) replace three (3) standard residential parking stalls with small car stalls - one (1) in each of the side-by-side double car garages.*

**CARRIED**

**3. Development Variance 14-665249**  
(File Ref. No.: DV 14-665249) (REDMS No. 4305450)

APPLICANT: Priority Permits Ltd.

PROPERTY LOCATION: 6951 Elmbridge Way

INTENT OF PERMIT:

- 1. Allow fascia, canopy and projecting signs for the commercial uses in the development; and
- 2. Allow installation of two (2) additional freestanding signs along Elmbridge Way for the existing mixed-use building located at 6951 Elmbridge Way.

**Applicant's Comments**

Jordan Desrochers, Priority Permits Ltd., and Eric Hughes, Onni Group, briefed the Panel on the proposed application that includes fascia and canopy signs and two additional freestanding signs along Elmbridge Way. Using visual aids, Mr. Hughes described the design and locations of the proposed commercial frontage and freestanding signs. Mr. Hughes anticipates that the commercial portion of the development will open in October, 2014.

**Panel Discussion**

In reply to queries from the Panel, Mr. Hughes showed the location of the frontage signs in relation to the anchor tenant and the commercial retail units. He added that a variance would be required to allow canopy signs on-site and that tenants would be responsible for applying for individual sign permits.

Discussion ensued with respect to T&T Supermarket's signage plan and Mr. Hughes noted that the said signage plan was currently not available.

## **Development Permit Panel**

### **Wednesday, September 10, 2014**

---

Mr. Hughes and Mr. Desrochers gave a brief description of the design and function of the proposed freestanding signs noting that (i) the pedestrian directional signs would be approximately seven feet tall, (ii) the sign along the corner of Elmbridge Way and Hollybridge Way would be approximately 16 feet in height, (iii) the signs would be porous in design to reduce visual impact, (iv) parking directions will be included on the signs, (v) the signs will not use a light box, and (vi) aluminum panels along with low energy consumption LED lights will be used.

In reply to queries from the Panel, Mr. Craig advised that the pedestal tenant signs are not part of this proposed application.

#### **Staff Comments**

In reply to queries from the Panel, Mr. Craig advised that Sign Bylaw No. 5560 does not permit canopy or fascia signs for Residential/Limited Commercial (RCL3) zone. He added that an amendment to Sign Bylaw No. 5560 and/or a Zoning Text Amendment to the RCL3 zone to allow signage for the commercial portion of a mixed use development will be brought forward to Council for review. Also, he noted that since the businesses on-site are scheduled to open soon, an application for a variance permit was being pursued to facilitate signage when the businesses open.

Mr. Craig spoke of the proposed signage and noted that the proposed main freestanding sign will be approximately 16 feet tall and the total signage area would be approximately less than half of what is typically permitted in Sign Bylaw No. 5560. He noted that the canopy and fascia signs would be located along the commercial retail units and that individual tenants will be responsible to apply for sign permits. Also, he added that the size of the canopy and fascia signs would need to comply with Sign Bylaw No. 5560.

Discussion then took place regarding the location and the aesthetics of the proposed freestanding signs in relation to the building's design and architecture.

#### **Correspondence**

Crystal Yan, 6971 Elmbridge Way (**Schedule 1**).

Richard Wong, 5511 Hollybridge Way (**Schedule 2**).

Lillian Wong, 5511 Hollybridge Way (**Schedule 3**).

Discussion ensued with regard to the location of the proposed freestanding signs in relation to the addresses of the correspondence received.

#### **Gallery Comments**

None.

## Development Permit Panel

### Wednesday, September 10, 2014

---

#### Panel Discussion

Discussion ensued regarding (i) the design of the proposed freestanding signs in relation to the design of the buildings on-site and the surrounding neighbourhood, (ii) whether the proposed freestanding signs were needed to direct customers, and (iii) other areas in the Lower Mainland with higher population densities, such as Vancouver, with little or no commercial freestanding signs at new commercial developments.

In reply to queries from the Panel, Mr. Craig advised that the proposed freestanding signs were reviewed by Transportation staff for sightline clearance at the intersection.

Mr. Hughes spoke of the design and features of the proposed freestanding signs and was of the opinion that the sign's design blends with the architecture in the area.

Steve Bernier, Onni Group, provided input on the proposed freestanding signs and noted that based on feedback received, tenants of the development have expressed interest in the installation of freestanding signs. Also, he noted that the proposed commercial units have significant setbacks and could face visibility challenges. He added that one of the anchor tenants, T&T Supermarket, is a specialty grocery store and attracts customers living outside the area. He was of the opinion that customers who are unfamiliar to the area would benefit from the direction that the proposed freestanding signs provide.

#### Panel Decision

As a result of the discussion, the following **motion** was introduced:

It was moved and seconded

*That a Development Permit be issued which would vary the provisions of Sign Bylaw No. 5560 to allow fascia, canopy and projecting signs for the commercial uses in the development.*

**CARRIED**

Discussion then ensued regarding the proposed additional freestanding signs and the possible implications for future applications if the permit was granted.

As a result of the discussion, the following **referral** was introduced:

It was moved and seconded

*That staff work with the applicant to examine options for the installation of freestanding signs on the subject site and report back.*

**CARRIED**

#### 4. New Business

**Development Permit Panel**  
**Wednesday, September 10, 2014**

---

5.     **Date Of Next Meeting: September 24, 2014**

6.     **Adjournment**

It was moved and seconded

*That the meeting be adjourned at 4:28 p.m.*

**CARRIED**

Certified a true and correct copy of the  
Minutes of the meeting of the  
Development Permit Panel of the Council  
of the City of Richmond held on  
Wednesday, September 24, 2014.

---

Joe Erceg  
Chair

---

Evangel Biason  
Auxiliary Committee Clerk



Schedule 1 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
September 10, 2014.

CityClerk

To Development Permit Panel	
Date:	SEPT 10 2014
Item #	2
Re:	DV 14-665249

	INT
DW	
MJ	
DB	
✓ LR	

**From:** Amy Yan [amyyan28@gmail.com]  
**Sent:** September 7, 2014 22:44  
**To:** CityClerk  
**Subject:** Re: An objection to vary the provision of Sign Bylaw No.5560. Development variance permit  
DVD 14-665249

**Categories:** 08-4105-20-2014665249 - 6951 Elmbridge Way - Priority Permits Ltd

On Fri, Sep 5, 2014 at 12:47 PM, Amy Yan <amyyan28@gmail.com> wrote:  
5 September, 2014

Attention to Director, City Clerk's Office

Dear Sir,

Re: An objection on the Variance Permit of allowing to install two more freestanding signs and canopy signs along 6951 Elmbridge Way for the commercial uses.

Regarding the application for a development variance permit DV 14-665249- Applicant-Priority Permits Ltd, I have an objection on allowing to install two more freestanding signs and canopy signs along Elmbridge Way, Richmond.

I am a resident of unit #1110-6971 Elmbridge Way, Richmond. My concern is too many signs, the complex will not look very nice and the building is going to look too commercialized. The result will affect the re-sell values for the residential owners in the future. Therefore, I do not agree and have my objection on this issue.

Thank you very much for your attention.

Best regards  
Crystal Yan  
1-250-507-8866



Schedule 2 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
September 10, 2014.

<b>To Development Permit Panel</b>	
Date:	Sept. 10 2014
Item #	2
Re:	DV 14-665249

September 8, 2014

Director, City Clerk's Office  
6911 No 3 Road  
Richmond BC  
V6Y 2C1

Dear Sir/Madam:

Re: Notice of application  
Development Variance Permit DV 14-665249  
Applicant: Priority Permits Ltd.

I write to respond to your letter concerning the subject application, I strongly  
object and oppose to this application.

Both myself and my wife are in our eighties, we have recently purchased and  
moved into this new building, both of us are extremely sensitive to lights and  
we are located on the lower part of the building.

We would very much like to spend the rest of our time in a peaceful environment.  
With the installation of these extra signs, both of our bedroom and our living room  
are facing 6951 Embridge Way, it will further jeopardize our lives in  
addition to dealing with already existed health issues.

We are also concern with the value of our residence as the outlook will become  
too commercialized.

In that, we would like to request that you decline the subject application.

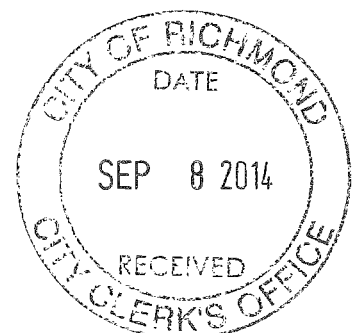
Thank you for your consideration.

Sincerely,



Richard Wong  
(604) 447-5511

3018- 5511 Hollybridge Way  
Richmond BC



Schedule 3 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
September 10, 2014.

<b>To Development Permit Panel</b>	
Date:	<u>Sept 10 2014</u>
Item #	<u>2</u>
Re:	<u>DV 14-665249</u>
_____	

September 8, 2014

Director, City Clerk's Office  
6911 No 3 Road  
Richmond BC

Re: Notice of application  
Development Variance Permit DV 14-665249

I write to respond to your letter concerning the subject application, I strongly  
object and oppose to this intention.

I had worked over 40 years and spent my life time savings to purchase this  
condo unit to live and enjoy my retirement years. I have eye problem  
and extremely sensitive to lights. Being on the third floor, commercial signs will  
seriously affect my daily life.

My condo unit is located right in front of 6951 Elmbridge Way, although my  
civic address shows a different on indicated below.

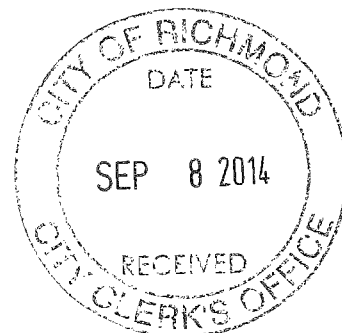
Although this is a mixed-use building, however, the majority use are being  
residential. Once it becomes too commercialized, I am sure it will bring negative  
impact on the value.

Thank you in advance for your kind consideration.

Regards,

  
Lillian Wong  
(604) 649-1737

3017 - 5511 Hollybridge Way





# City of Richmond

## Report to Development Permit Panel Planning and Development Department


---

**To:** Development Permit Panel  
**From:** Wayne Craig  
Director of Development  
**Date:** September 3, 2014  
**File:** DP 14-662829  
HA 14-662831  
**Re:** **Application by City of Richmond for a Development Permit and Heritage  
Alteration Permit at 3811 Moncton Street**

---

### Staff Recommendation

1. That a Development Permit be issued which would permit the rehabilitation of the exterior of the Japanese Fishermen's Benevolent Society Building, a designated Heritage Building, in order to alter the south facade of the building at 3811 Moncton Street on a site zoned Steveston Commercial (CS2); and
2. That a Heritage Alteration Permit be issued for 3811 Moncton Street in accordance with Development Permit (HA 14-662831).

  
Wayne Craig  
Director of Development

BG:blg  
Att. 2

## Staff Report

### Origin

The City of Richmond has applied for permission to alter the previously approved exterior of the Japanese Fishermen's Benevolent Society Building, which is designated as a Heritage Building at 3811 Moncton Street on a site zoned Steveston Commercial (CS2).

The Moncton site currently contains a 1½ storey heritage building (Steveston Museum), fronting onto Moncton Street and a one-storey heritage building (Japanese Fishermen's Benevolent Society Building), fronting onto 1<sup>st</sup> Avenue.

No Rezoning or Servicing Agreement is required as part of this building rehabilitation.

### Development Information

The Development Permit and Heritage Alteration Permit to relocate the Japanese Fishermen's Benevolent Society Building from 4091 Chatham Street to its current location at 3811 Moncton Street and undertake rehabilitation of the building exterior was presented to Development Permit Panel on October 28, 2009 and approved by Council on November 9, 2009 (DP 09-494467 and HA 09-494489).

A Heritage Alteration Permit to install two (2) fascia signs and one (1) hanging sign on the designated heritage building (Steveston Museum and Post Office) located at 3811 Moncton Street was presented to Planning Committee on October 22, 2013 and approved by Council on November 22, 2013 (HA 13-636133).

The subject development proposal includes the following general alteration works for the building exterior:

- Removal of exterior wall mounted lights, metal/glass door, transom and hardware, wood/glass door, frame and hardware and install heritage character doors on the south side of the Japanese Fishermen's Benevolent Society Building and the north facade of the Steveston Museum Building;
- Install new concrete deck, footings and ramp;
- Install new metal head flashing for doors, galvanized steel connections perforated J-channel rain screen high back (soffit vent), galvanized metal roof vent and exterior louvre wall grill;
- Install new horizontal wood siding, exterior door casing, exterior grill cover and wood fences;
- Exterior wall and trim painting;
- Installation of a hydro kiosk and outdoor mechanical condenser unit;
- Replacement of exterior wall lights; and
- Replacement of the exterior door on the north facade of the Steveston Museum to match the front (east) door of the Japanese Fishermen's Benevolent Society Building.

The interior of the building also requires rehabilitation and will be addressed at a later date by Culture and Heritage staff. A Development Permit and Heritage Alteration Permit are not required for interior works.

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

## **Background**

The subject site is located in the “Core Area” of the Steveston Village Heritage Conservation Area (Steveston Area Plan). Development surrounding the subject site is as follows:

- To the north, is a two-storey mixed-use building with residential above commercial at grade, zoned Steveston Commercial (CS3);
- To the east, across 1<sup>st</sup> Avenue, is a one-storey commercial heritage building, zoned Steveston Commercial (CS2);
- To the south, (on the same site), is a 1½ storey institutional heritage building (Steveston Museum), zoned Steveston Commercial (CS2); and
- To the west, is a green space (Steveston Townsquare), zoned Steveston Commercial (CS2).

## **Staff Comments**

The proposed scheme attached to this report addresses alterations to the exterior facade of the Japanese Fishermen's Benevolent Society Building requested by the Steveston Museum Site Building Committee. In general, the alterations consist of replacing two (2) exterior doors along the south facade of the Japanese Fishermen's Benevolent Society Building and one (1) door on the north facade of the Steveston Museum Building with doors that are more in keeping with of the heritage character of this building. In addition, the proposal complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Steveston Commercial (CS2) zone.

## **Richmond Heritage Commission Comments**

The currently proposed building alterations to the Japanese Fishermen's Benevolent Society Building were reviewed and endorsed by the Steveston Museum Site Building Committee on June 5, 2014. These proposed building alterations were then presented to a non-quorum meeting of the Richmond Heritage Commission on June 18, 2014 and the proposed building alterations were subsequently supported by the Commission. See **Attachment 2** for an excerpt from the draft minutes of the Richmond Heritage Commission on Wednesday, July 16, 2014

## **Analysis**

### ***Conditions of Adjacency***

- a) The proposed alterations (i.e. new heritage character doors and other minor alterations) are internal to the site and have no impact on adjacent sites.

### ***Urban Design and Site Planning***

- a) The proposed restoration works enhance the existing heritage character of the pedestrian connection between the two (2) heritage buildings.
- b) The heritage character of the building and transparent connection between the heritage Steveston Museum and the Japanese Fishermen's Benevolent Society buildings would be enhanced by the addition of these new doors.
- c) There are existing measures to ensure barrier-free access between the two (2) heritage buildings located on this site. The proposed building alterations have no impact on the accessibility between these 2 buildings.

- d) No driveway or parking is located on-site. A variance was approved by Council (DP 09-494467) to not provide off-street parking on the subject heritage building site.

### ***Architectural Form and Character***

- a) The heritage character of the building supports the streetscape and urban quality of Steveston Village sought in the Steveston Area Plan. The existing heritage building materials and colours will be maintained.
- b) New proposed additions are simple and as transparent as possible to:
- maintain a clear distinction between the heritage buildings and the modern insertions;
  - minimize any obstruction to opportunities to view the heritage buildings; and
  - connect the buildings without competing with the visual impact of the heritage buildings.
- c) The alterations to the building will be painted to match existing finishes.
- d) The doors on the south facade of the Japanese Fishermen's Benevolent Society Building and the door on the north facade of the Steveston Museum will be replaced with doors to match the heritage character of the existing front doors on the Japanese Fishermen's Benevolent Society Building, which face 1<sup>st</sup> Avenue.
- e) The existing and partially enclosed glazed connection between the buildings provides a secure passageway between the two (2) buildings and access from 1st Avenue for people in wheelchairs.
- f) The existing connection is essentially a transparent extension of the Steveston Museum's north wing, with the same massing and roof pitch. The connection is a free-standing steel frame structure with clear glass wall and roof panels. It stands on a new concrete slab and is not attached to the heritage building façades.

### ***Landscape Design and Open Space Design***

The major landscape change includes new fencing.

### **Conclusions**

The proposed exterior rehabilitation of the Japanese Fishermen's Benevolent Society Building provides a community benefit by conserving a heritage resource identified in the Steveston Village Conservation Strategy and enhancing the heritage character of the Steveston Village Core Area.

Staff recommend that the Development Permit and Heritage Alteration Permit be issued.



Brian Guzzi, BCSLA, RPR  
Senior Planner – Urban Design  
(604-276-4393)

BG:blg



# City of Richmond

## Development Application Data Sheet

Development Applications Division

**DP 12-602996**

**Attachment 1**

Address: 3811 Moncton Street

Applicant: City of Richmond

Owner: City of Richmond

Planning Area(s): Steveston Village Heritage Conservation Area

	Existing	Proposed
Site Area:	613 m <sup>2</sup>	Remains the same
Land Uses:	Commercial Institutional/Museum	Remains the same
OCP Designation:	Heritage Mixed-Use (Commercial-Industrial with Residential & Office Above)	Complies
Zoning:	Steveston Commercial (SC2)	Complies
Number of Units:	2 heritage buildings	New connection between existing buildings

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.0	0.38	None permitted
Setback – Moncton Street: Building Porch	Max. 0 m Max. 1.5 m	0 m existing 1.64 m existing	None
Setback – 1 <sup>st</sup> Avenue:	Max. 0 m	0 m to 2.4 m existing	None
Setback – West Side Yard:	N/A	Min 5 m existing	None
Setback – North Rear Yard:	N/A	Min. 3.4 m existing	None
Height (m):	Max. 9 m & two-storey	Under 6 m existing	None
Off-street Parking Spaces:	0 by variance Approved DP 09-464467	0 existing	No new variance



**Excerpt from the draft Minutes from  
Richmond Heritage Commission  
Wednesday, July 16, 2014**

Item 4. Business Arising - Japanese Fishermen's Benevolent Society Building

**a. 3811 Moncton Street**

An update was provided on the external building changes to the Japanese Fisherman's Benevolent Society building and history of building changes at 3811 Moncton Street, which were presented and reviewed at the no quorum discussion held by Commission members on June 18, 2014. City staff noted that a Heritage Alteration and Development Permit application are required. A summary of the changes to the building was provided by Commission members that were present at the June 18, 2014 meeting that generally consisted on revisions to exterior doors to the building, adjustments to the exterior cladding and refinement of an exterior accessible ramp located outside and in between the Japanese Benevolent Society and Museum building. Commission members commented that the proposed changes were considered appropriate and more consistent with the overall form and character of the building compared to the existing exterior doors that had been implemented.

It was moved and seconded

***The Richmond Heritage Commission support the proposed Heritage Alteration Permit and Development Permit at 3811 Moncton Street for exterior changes to the Japanese Fisherman's Benevolent Society building to move forward through the required process.***



# City of Richmond

## Development Permit

**No. DP 14-662829**

To the Holder: CITY OF RICHMOND  
Property Address: 3811 MONCTON STREET  
Address: C/O MICHAEL CHAN, FACILITIES  
6911 NO. 3 ROAD  
RICHMOND, BC V6Y 2C1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #6 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
6. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

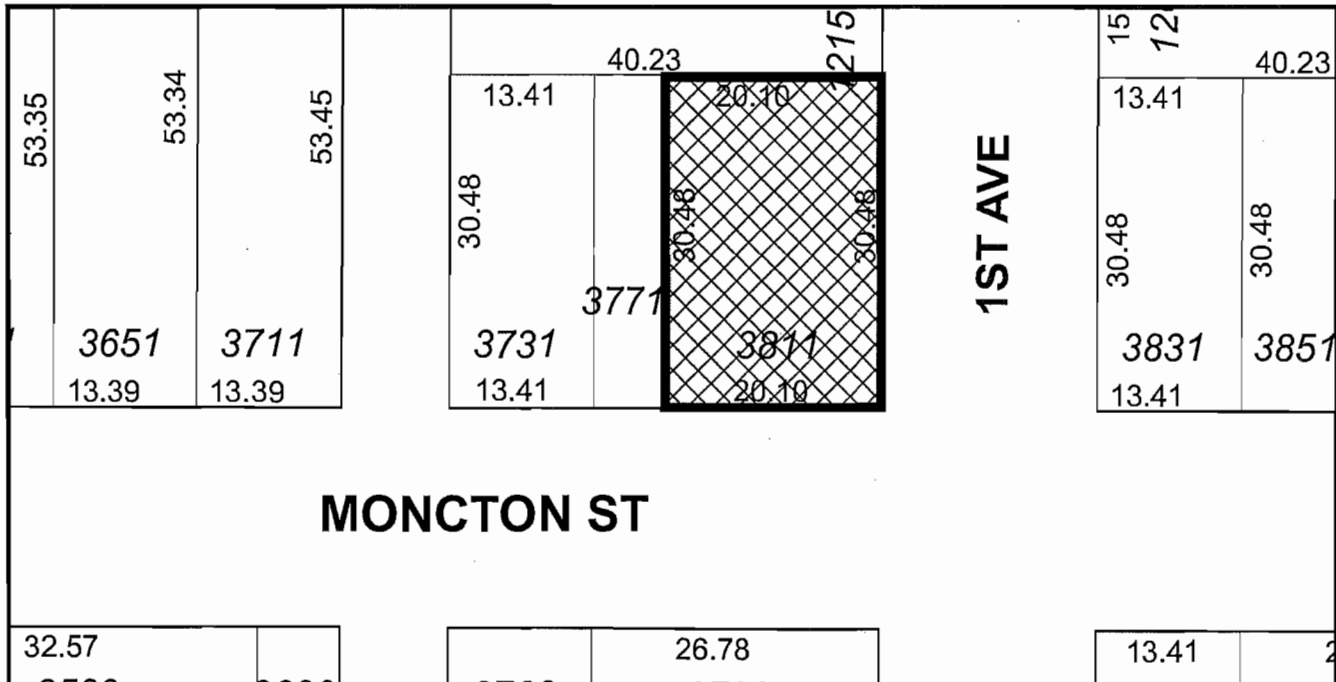
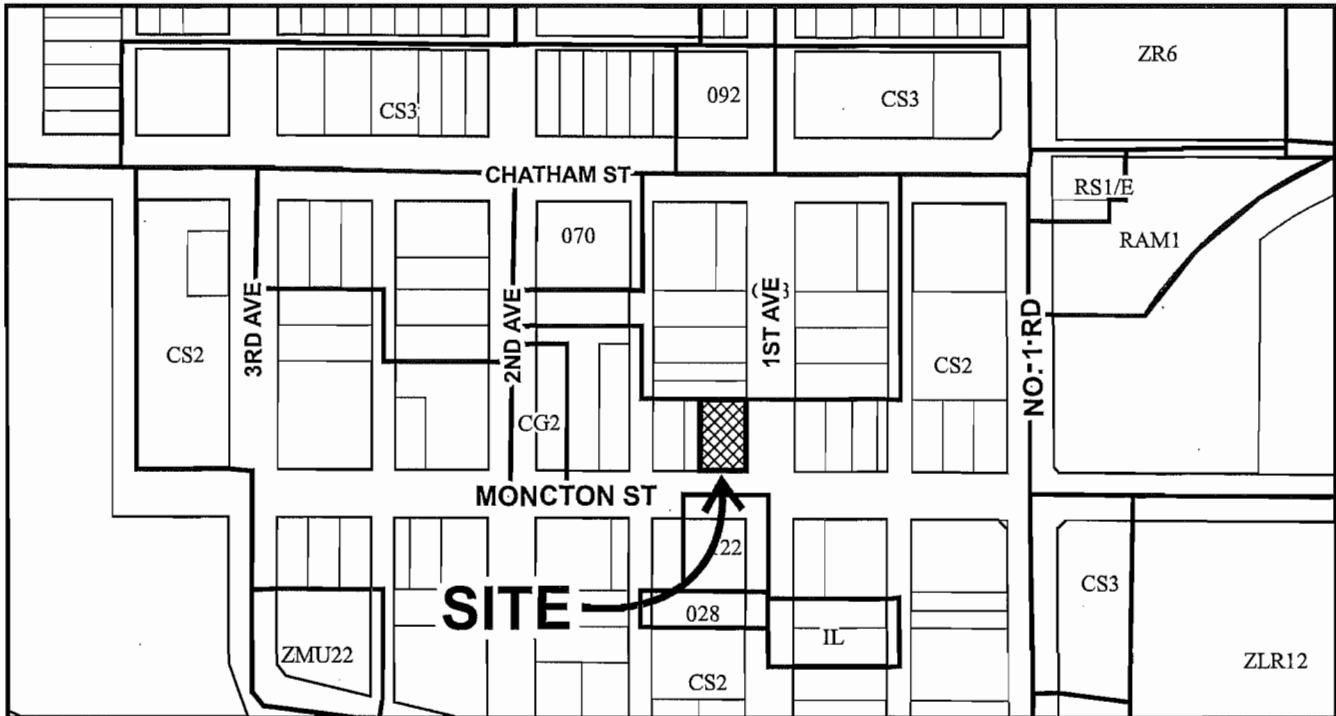
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

\_\_\_\_\_  
MAYOR



# City of Richmond



DP 14-662829  
SCHEDULE "A"

Original Date: 05/13/14

Revision Date:

Note: Dimensions are in METRES



## City of Richmond

6911 No. 3 Road  
Richmond, BC V6Y 2C1  
www.richmond.ca

## Heritage Alteration Permit Development Applications Division

No.: HA 14-662831

To the Holder: City of Richmond  
Property Address: 3811 Moncton Street  
Legal Description: Lot A Section 10 Block 3 North Range 7 West New Westminster District Plan  
BCP42935

(s.972, *Local Government Act*)

1. (Reason for Permit)
  - ☐ Designated Heritage Property (s.967)
  - ☐ Property Subject to Temporary Protection (s.965)
  - ☐ Property Subject to Heritage Revitalization Agreement (s.972)
  - ☒ Property in Heritage Conservation Area (s.971)
  - ☐ Property Subject to s.219 Heritage Covenant
2. This Heritage Alteration Permit is issued in accordance with approved Development Permit DP 14-662831.
3. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
4. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.

AUTHORIZING RESOLUTION NO. <Resolution No.> ISSUED BY THE COUNCIL THE DAY OF  
<Date>

DELIVERED THIS <Day> DAY OF <Month>, <Year>

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.



## ARCHITECTURAL DRAWING LIST

TOTAL:

234.07 sq m



STEVESTON, BRITISH COLUMBIA

A0.0  
HAP/DP

OP 14-662829

SEP 03 2014

#



Japanese Fisherman's Benevolent  
Society Building  
Richmond, British Columbia

HAP/DP APPLICATION

COVER SHEET

1133

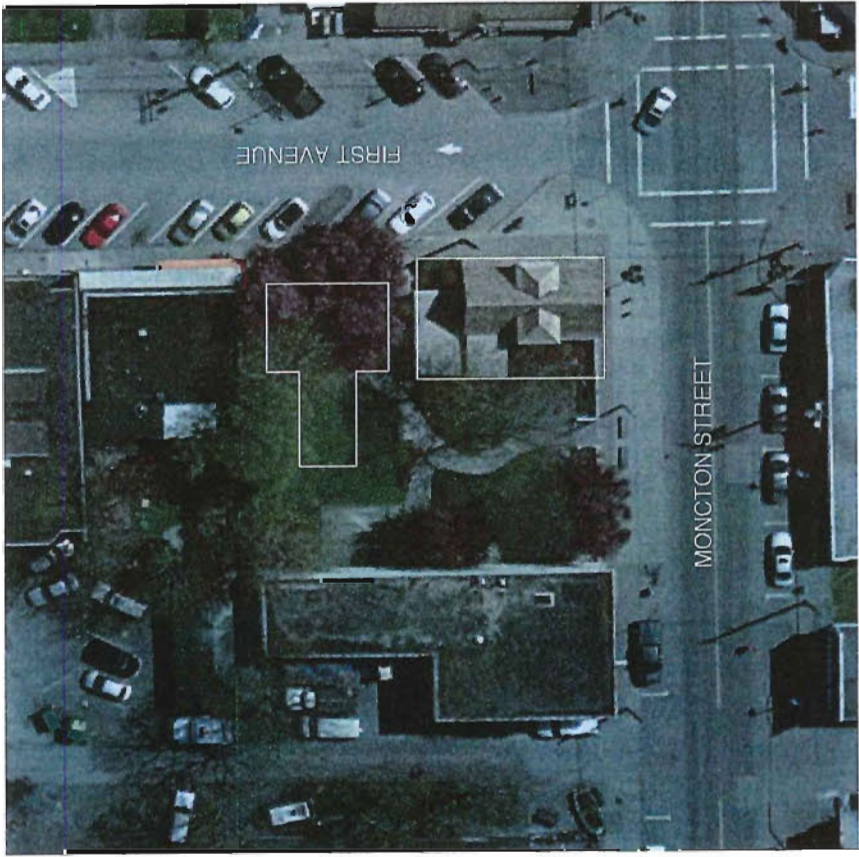
DATE 2014 APR 09

DUTY	CHECKED
1.78	C-3

PROJECT NO. 1314

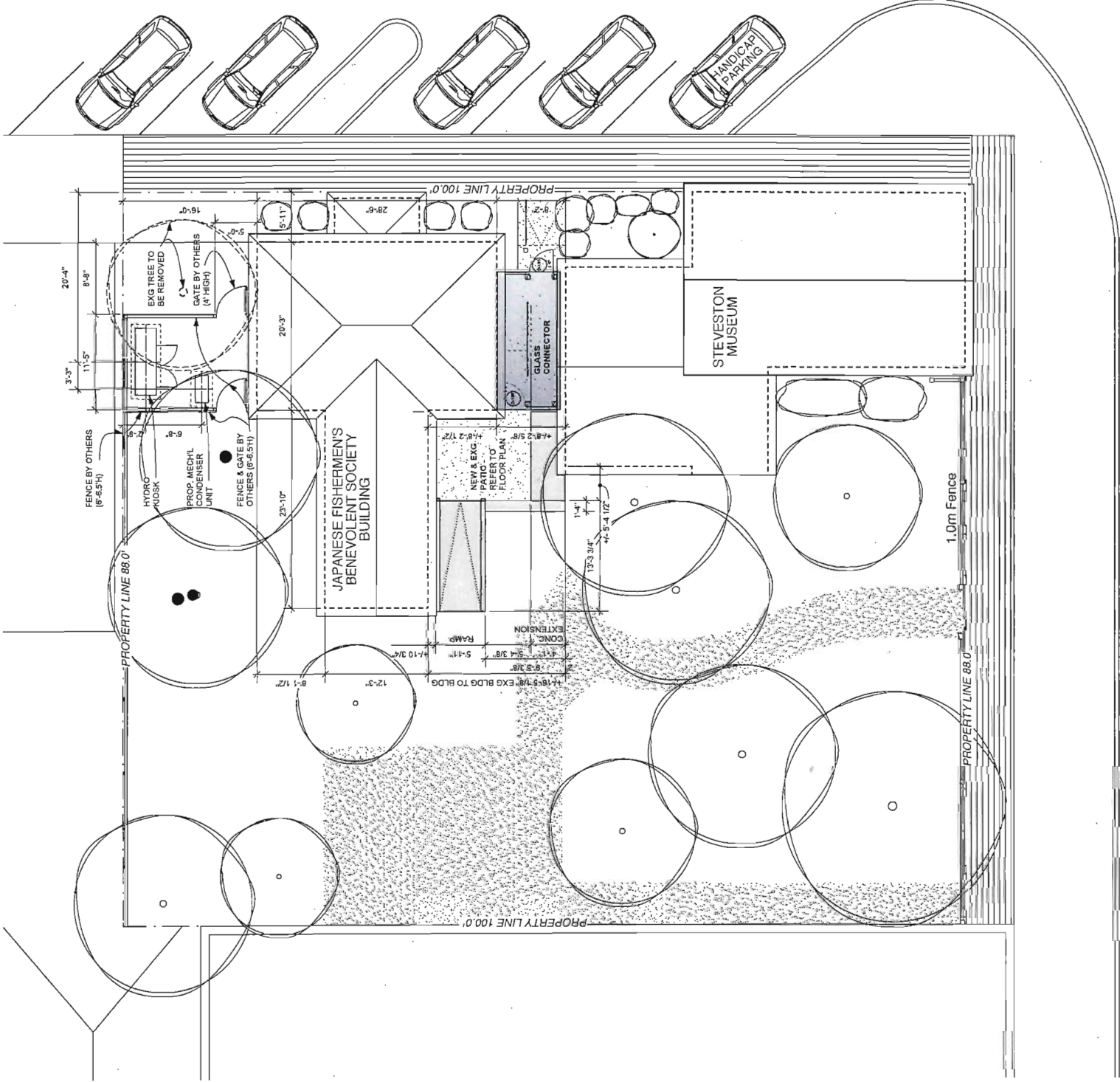
**ON UNITS**





1 CONTEXT PLAN  
NTS

SITE: 3811 MONCTON STREET, RICHMOND, B.C.			
SITE AREA: 26.8m x 36.6m	980.88 sq m		
STEVESTON MUSEUM:	107.40 sq m		
JAPANESE FISHERMANS BENEVOLENT SOCIETY BUILDING:	80.74 sq m		
	+ 12.4 sq m CONNECTOR		
	= 200.54 sq m		
TOTAL	188.14 sq m		
OUTRIGHT SITE COVERAGE:	19%		



MONCTON STREET

2 SITE PLAN  
1/8" = 1'-0"



#2  
DP 14-662829  
SEP 03 2014



THE ANDREWS ARCHITECTS INC.  
www.andrewsarch.com

PROJECT  
Japanese Fisherman's Benevolent  
Society Building  
Richmond, British Columbia

HAP/DP APPLICATION

TITLE  
SITE PLAN

SCALE	AS NOTED
DATE	2014 APR 09
DRAWN	GA WA
CHECKED	
PROJECT NO.	1314
DRAWING NO.	

A 1.1  
HAP/DP

NO.	DATE	DESCRIPTION
A	2014 APR 9	ISSUED FOR CLIENT REVIEW
B	2014 APR 28	ISSUED FOR CLIENT REVIEW
C	2014 MAY 28	WITH RAMP LOC'N ALTERNATIVE
D	2014 JUN 05	FOR BUILDING CITEE SIGN-OFF
E	2014 JUN 11	ISSUED FOR HAP/DP APPLICATION

This drawing is an important document in the project of The Andrews Architects Inc. It is the property of The Andrews Architects Inc. and is not to be reproduced, copied, or used in any way without the written consent of The Andrews Architects Inc. The drawing is the property of The Andrews Architects Inc. and is not to be reproduced, copied, or used in any way without the written consent of The Andrews Architects Inc. The drawing is the property of The Andrews Architects Inc. and is not to be reproduced, copied, or used in any way without the written consent of The Andrews Architects Inc.



SCOPE OF WORK & FINISHES SCHEDULE

CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
ABBREVIATIONS: UNO = Unless Noted Otherwise; TBC = To Be Confirmed; Exg = Existing; w/ = with					
DIV 02 EXISTING CONDITIONS					
EC-1	DEMOLITION - Removal of Exg Exterior Wall-mounted Lights		Contractor	These lights are to be removed and replaced with lights as noted in Div 08 Electrical	
EC-2	DEMOLITION - D103 Metal/Glass Door, Transom, Frames & Hardware		Contractor	This door w/ transom is to be removed and replaced with a new door as shown in Div 08 Openings - Retain Metal Threshold if Possible	
EC-3	DEMOLITION - D104 Metal/Glass Door, Transom, Frames & Hardware		Contractor	These doors & glazing are to be removed and replaced with doors as noted in Div 08 Openings - Retain Metal Threshold if Possible	
EC-4	DEMOLITION - D107 Wood/Glass Door, Frame & Hardware		Contractor	This door is to be removed and replaced with a new door as shown in Div 08 Openings	
DIV 03 CONCRETE					
C-1	CONCRETE - New Concrete Deck & Footings		Contractor	Refer to Div 08 for Finish Treatment	
C-2	CONCRETE - New Ramp		Contractor	Refer to Div 08 for Finish Treatment	
DIV 05 METALS					
M-1	FLASHING - New Head Flashing @ New Doors		Contractor		
M-2	METALS - Galvanized Steel Connectors		Contractor	As req'd for mounting Deck/Ramp Rail - Refer to Archt Dwg's	
M-3	METAL FABRICATIONS - Exterior Solid Vent		1-800-666-8840	Exterior Solid Vent Strip	
M-4	METAL FABRICATIONS - Sunshade Metal Post Vent	Merzies Metal	www.merziesmetal.com 604-580-0712	Custom Fabrication	

CODE	PRODUCT / LOC'N	MANUFACTURER	CONTACT	DETAILS	PHOTO
DIV 09 FINISHES					
F-1	FLOOR FINISHES - Concrete Treatment		Contractor / City of Richmond Parks	Coordinate with Parks for Sawcut top treatment & staining for partial wood look	
F-2	PANTING - Exterior Walls		Contractor	To Match Existing	
F-3	PANTING - Exterior Trim		Contractor	To Match Existing	
DIV 11 EQUIPMENT					
EQ-1	HYDRO KIOSK			Refer to Electrical Dwg's	
EQ-2	OUTDOOR MECHL CONDENSER UNIT			Refer to Mech Dwg's	
DIV 26 ELECTRICAL					
E-1	LIGHTING - Replacement Wall Lights Type 1	Black Lighting RLM		Shallow Dome #412 Gooseneck Pipe Bracket SC-CHYK-CH-01 (Refer to Sample) - Refer to Archt Elev's for locations	
E-2	LIGHTING - Replacement Wall Lights Type 2	Rejuvenation	www.rejuvenation.com	Kent #A2214 TBC (Similar with exterior Rating & Metal Shade Req'd)	

#3

SEP 03 2014

DP 14-662829

NO.	DATE	DESCRIPTION
A	2014 APR 9	ISSUED FOR CLIENT REVIEW
B	2014 APR 28	RE-ISSUED FOR CLIENT REVIEW
C	2014 MAY 28	WITH RAMP, LOC'N ALTERNATIVE
D	2014 JUN 11	REVISED FOR HAP/DP APPLICATION
E	2014 JUN 11	ISSUED FOR HAP/DP APPLICATION

This drawing is an unrecorded set of drawings. It is the property of The Andrews Architects Inc. and shall remain the property of The Andrews Architects Inc. All designs and other information shown on this drawing shall be used solely for the project and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of The Andrews Architects Inc. The user of this drawing shall be responsible for its use and shall not be held liable for any errors or omissions on this drawing. The user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities before construction.

WALL LEGEND:	
	DENOTES EXISTING WALLS
	DENOTES NEW WALLS
	DENOTES REMOVED WALLS

SCOPE OF WORK / FINISHES LEGEND

REFER TO SCHEDULE FOR DETAILS ON DWG A.2.1 HAP

DIV 02 - EXISTING CONDITIONS:

EC-1 DEMOLITION - Removal of Exg Exterior Wall-mounted Lights

EC-2 DEMOLITION - D103 Doors, Transom, Frames & Hardware

EC-3 DEMOLITION - D104 Door, Transom, Frames & Hardware

EC-4 DEMOLITION - D107 Door, Frame & Hardware

DIV 03 - CONCRETE:

C-1 CONCRETE - New Concrete Deck & Footings

C-2 CONCRETE - New Sloped Walkway (Material TBC)

DIV 05 - METALS:

M-1 FLASHING - New Head Flashing @ New Doors

M-2 METALS - Galvanized Steel Connectors

M-3 METAL FABRICATIONS - Galv. Metal Roof Vent

M-4 METAL FABRICATIONS - Exterior Wall Grilles

DIV 06 - WOOD, PLASTICS, COMPOSITES:

WPC-1 FINISH CARPENTRY - Horizontal Wood Siding

WPC-2 FINISH CARPENTRY - Exterior Door Casing

WPC-3 FINISH CARPENTRY - Exterior Vent Cover

WPC-4 FINISH CARPENTRY - Wood Fences

DIV 08 - OPENINGS:

OP-1a DOORS & FRAMES - D103 New Wood Door w/1/2 Lite

OP-1b DOORS & FRAMES - D103 New Wood Door w/1/2 Lite

OP-2a DOORS & FRAMES - D104 New Wood Door w/1/2 Lite

OP-2b DOOR HARDWARE - D104 New Wood Door w/1/2 Lite

OP-3a DOORS & FRAMES - D107 New Wood Door

OP-3b DOOR HARDWARE - D107 New Wood Door

DIV 09 - FINISHES:

F-1 FLOOR FINISHES - Concrete Sawcut/Slain Treatment

F-2 PANTING - Exterior Walls to match Exg

F-3 PANTING - Exterior Trim to match Exg

DIV 11 - EQUIPMENT:

EQ-1 HYDRO KIOSK

EQ-2 OUTDOOR MECHANICAL CONDENSER UNIT

DIV 26 - ELECTRICAL:

E-1 LIGHTING - Replacement Wall-mt Lights Type 1

E-2 LIGHTING - Replacement Wall-mt Lights Type 2



THE ANDREWS ARCHITECTS INC.

PROJECT

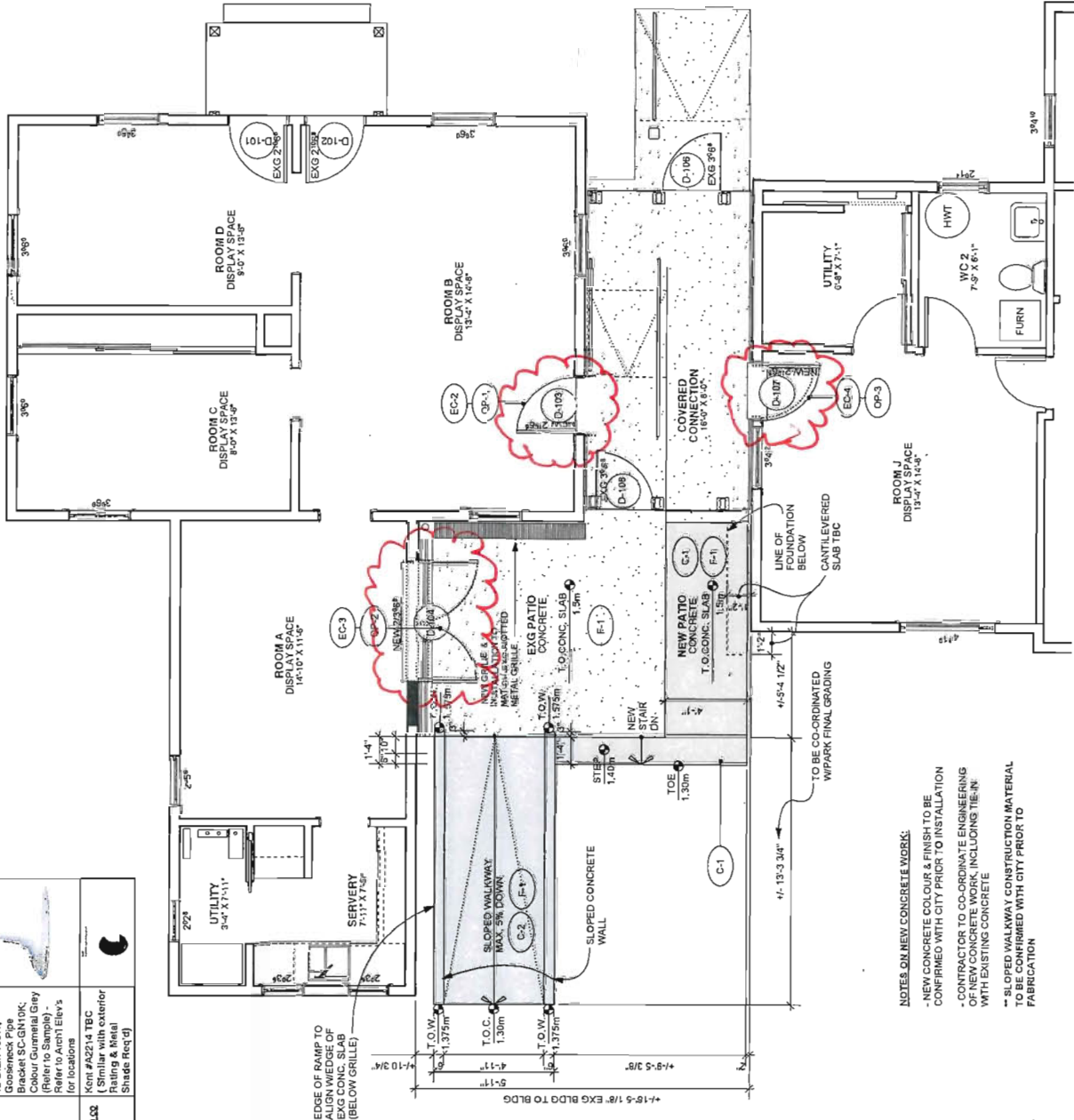
Japanese Fisherman's Benevolent Society Building  
Richmond, British Columbia

HAP/DP APPLICATION

MAIN FLOOR PLAN

SCALE	1/4" = 1'0"
DATE	2014 APR 09
DRAWN	CHECKED
GA	WA
PROJECT NO.	1314
OWNER	

A 2.1  
HAP/DP



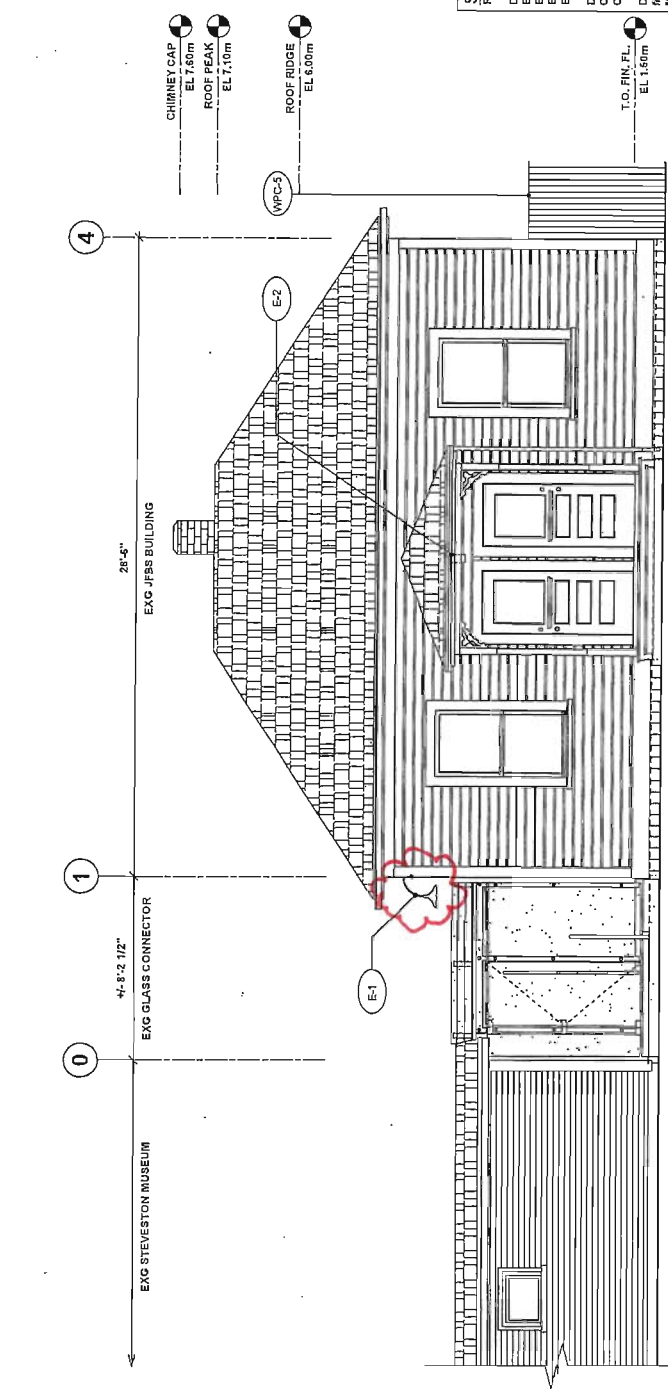
NOTES ON NEW CONCRETE WORK:

- NEW CONCRETE COLOUR & FINISH TO BE CONFIRMED WITH CITY PRIOR TO INSTALLATION
- CONTRACTOR TO CO-ORDINATE ENGINEERING CONSULTANTS' REQUIREMENTS (INCLUDING TIE-IN) WITH EXISTING CONCRETE
- SLOPED WALKWAY CONSTRUCTION MATERIAL TO BE CO-ORDINATED WITH CITY PRIOR TO FABRICATION

1 MAIN FLOOR PLAN  
Scale: 1/4" = 1'-0"



NO.	DATE	DESCRIPTION
A	2014 APR 9	ISSUED FOR CLIENT REVIEW
B	2014 APR 28	REISSUED FOR CLIENT REVIEW
C	2014 JUN 05	ISSUED FOR HAP/DP APPLICATION
D	2014 JUN 05	ISSUED FOR HAP/DP APPLICATION
E	2014 JUN 11	ISSUED FOR HAP/DP APPLICATION



2 EAST ELEVATION - PROPOSED  
Scale: 1/4" = 1'-0"

SCOPE OF WORK / FINISHES LEGEND	
REFER TO SCHEDULE FOR DETAILS ON DWG A 3.1 HAP	
DIV 02 - EXISTING CONDITIONS:	EXISTING - EXISTING
EC-1	EXISTING - EXISTING
EC-2	DEMOLITION - D103 Door, Transom, Frame & Hardware
EC-3	DEMOLITION - D104 Door, Transom, Frame & Hardware
EC-4	DEMOLITION - D107 Door, Transom, Frame & Hardware
DIV 03 - CONCRETE:	CONCRETE - New Concrete Deck & Footings
C-1	CONCRETE - New Sloped Walkway (Material Type)
DIV 05 - METALS:	METALS - Galvanized Steel Connectors
M-1	FLASHING - New Head Flashing @ New Doors
M-2	METALS - Galvanized Steel Connectors
M-3	METAL FABRICATIONS - Perforated Slit Vent
M-4	METAL FABRICATIONS - Galv. Metal Roof Vent
M-5	METAL FABRICATIONS - Exterior Wall Gables
DIV 06 - WOOD, PLASTICS, COMPOSITES:	WOOD - EXISTING
WPC-1	FINISH CARPENTRY - Exterior Door Siding
WPC-2	FINISH CARPENTRY - Exterior Door Siding
WPC-3	FINISH CARPENTRY - Exterior Door Siding
WPC-4	FINISH CARPENTRY - Exterior Door Siding
WPC-5	FINISH CARPENTRY - Exterior Door Siding
DIV 08 - OPENINGS:	OPENINGS - EXISTING
OP-1a	DOORS & FRAMES - D103 New Wood Door w/1/2 Lite
OP-1b	DOORS & FRAMES - D103 New Wood Door w/1/2 Lite
OP-2a	DOORS & FRAMES - D104 New Wood Door w/1/2 Lite
OP-2b	DOORS & FRAMES - D104 New Wood Door w/1/2 Lite
OP-3a	DOORS & FRAMES - D107 New Wood Door w/1/2 Lite
OP-3b	DOORS & FRAMES - D107 New Wood Door w/1/2 Lite
DIV 09 - FINISHES:	FINISHES - EXISTING
F-1	PAINTING - Exterior Walls to match Exg
F-2	PAINTING - Exterior Trim to match Exg
DIV 11 - EQUIPMENT:	EQUIPMENT - EXISTING
EQ-1	HYDRO PUMP
EQ-2	OUTDOOR MECHANICAL CONDENSER UNIT
DIV 26 - ELECTRICAL:	ELECTRICAL - EXISTING
E-1	REPLACEMENT Wall-Mt Light Type 1
E-2	LIGHTING - Replacement Wall-Mt Light Type 2



THE ANDREWS ARCHITECTS INC.  
www.andrewsarchitects.ca

PROJECT

Japanese Fisherman's Benevolent  
Society Building  
Richmond, British Columbia

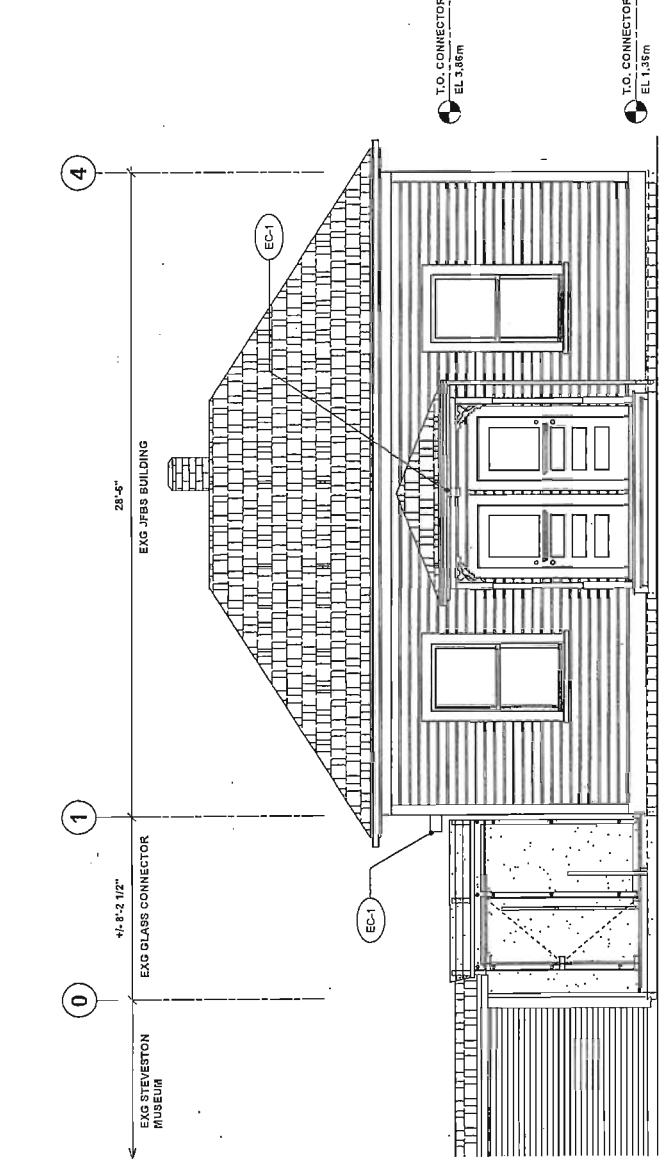
HAP/DP APPLICATION

TITLE

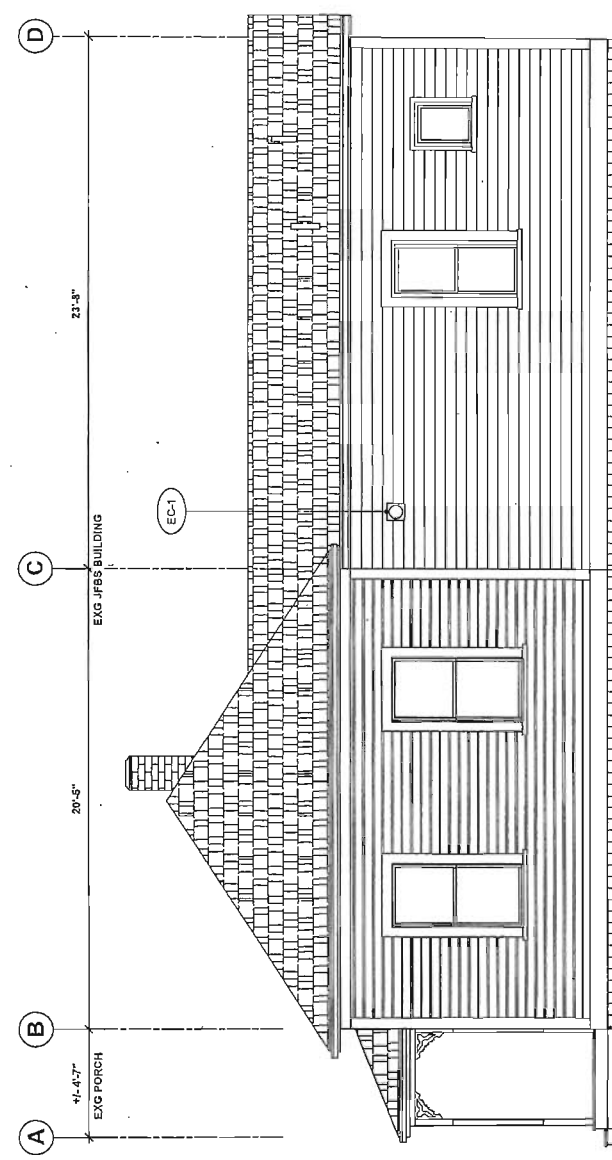
EAST ELEVATION  
WEST ELEVATION

SCALE	1/4"=1'-0"
DATE	2014 APR 09
DRAWN	GA WA
PROJECT NO.	1314
DRAWING NO.	

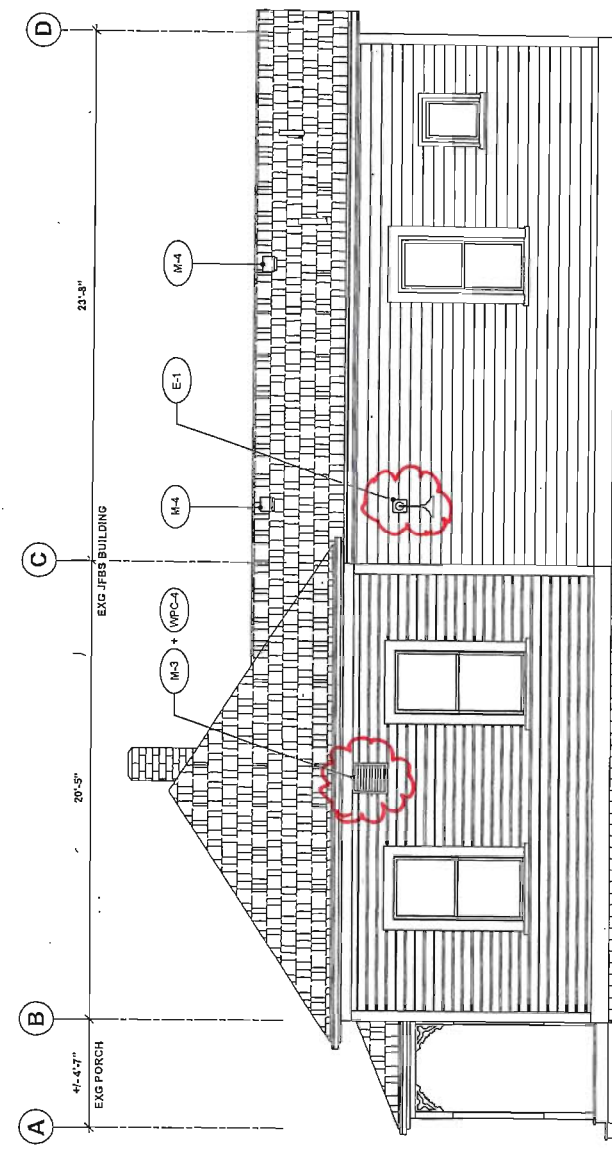
A 3.1  
HAP/DP



1 EAST ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



3 NORTH ELEVATION - EXISTING  
Scale: 1/4" = 1'-0"



4 NORTH ELEVATION - PROPOSED  
Scale: 1/4" = 1'-0"

SEP 03 2014  
#4  
DP 14-062829

CURRENT (EXISTING) BUILDING ELEVATIONS

PROPOSED BUILDING ELEVATIONS

NO.	DATE	DESCRIPTION
A	2014 APR 9	ISSUED FOR CLIENT REVIEW
B	2014 APR 28	RE-ISSUED FOR CLIENT REVIEW
C	2014 MAY 26	WITH RAMP LOC'N ALTERNATIVE
D	2014 JUN 05	FOR BUILDING CITEE SIGN-OFF
E	2014 JUN 11	ISSUED FOR HAPD'S APPLICATION

NO.	DATE	DESCRIPTION
A	2014 APR 9	ISSUED FOR CLIENT REVIEW
B	2014 APR 28	RE-ISSUED FOR CLIENT REVIEW
C	2014 MAY 26	WITH RAMP LOC'N ALTERNATIVE
D	2014 JUN 05	FOR BUILDING CITEE SIGN-OFF
E	2014 JUN 11	ISSUED FOR HAPD'S APPLICATION

**DIV 02 - EXISTING CONDITIONS:**

- EC-1 DEMOLITION - Removal of Exg Exterior Wall-mtd Lights
- EC-2 DEMOLITION - D103 Doors, Transom, Frame & Hdwr
- EC-3 DEMOLITION - D104 Door, Transom, Frame & Hdwr
- EC-4 DEMOLITION - D107 Door, Frame & Hardware

- |                                      |  |
|--------------------------------------|--|
| DIV 01 - CONCRETE:                   |  |
| C-1                                  | CONCRETE - Concrete Curt & Footings          |
| C-2                                  | CONCRETE - New Sloped Walkway (Material TBQ) |
| DIV 06 - METALS:                     |  |
| M-1                                  | FLASHING - New Metal Flashing @ View Doors   |
| M-2                                  | METALS - Galvanized Steel Corners            |
| M-3                                  | METAL FABRICATIONS - Perforated Soffit Vent  |
| M-4                                  | METAL FABRICATIONS - Gals. Metal Roof Vent   |
| M-5                                  | METAL FABRICATIONS - Exterior Wall Gables    |
| DIV 06 - WOOD, PLASTICS, COMPOSITES: |  |
| WP-1                                 | FINISH CARPENTRY - Horizontal Wood Ceiling   |
| WP-2                                 | FINISH CARPENTRY - Exterior Door Casing      |
| WP-3                                 | FINISH CARPENTRY - Exterior Wall Cover       |
| WP-4                                 | FINISH CARPENTRY - Wood Fence                |

- DIV 08 - OPENINGS:
    - OP-01 DOOR FRAMES - D102 New Wood Door w/12 Lite
    - OP-02 DOOR HARDWARE - D102 New Wood Door w/12 Lite
    - OP-03 DOORS & FRAMES - D102 New Wood Doors w/12 Lite
    - OP-04 DOOR HARDWARE - D102 New Trans-Styled
    - OP-05 DOORS & FRAMES - D102 New Wood Door
    - OP-06 DOORS & FRAMES - D102 New Wood Door
    - OP-07 DOOR HARDWARE - D102 New Trans-Styled
  - DIV 09 - FINISHES:
    - F-01 FLOOR FINISHES - Concrete Sarcus/Solid Treatment
    - F-02 PAINTING - Exterior Walls to match Exg
    - F-03 PAINTING - Exterior Trim to match Exg
  - DIV 11 - EQUIPMENT:
    - EQ-01 MECHANICAL CONDENSER UNIT
    - EQ-02 OUTDOOR MECHANICAL CONDENSER UNIT
  - DIV 26 - ELECTRICAL:
    - E-01 LIGHTING - Replacement Wall-nit Lights Type 1
    - E-02 LIGHTING - Replacement Wall-nit Lights Type 2

THE ANDREWS ARCHITECTS INC.  
www.andrewstudio.ca

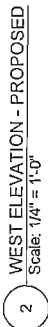
Japanese Fisherman's Benevolent  
Society Building  
Richmond, British Columbia

## HAP/DP APPLICATION

## EXTERIOR ELEVATIONS

SCALE	1/4" = 1'0"
DATE	2014 APR 09
UNIT	GA
COUNTRY	WA
PROJECT NO.	1314
DRAWING NO.	

### A 3.2 HAP/DP



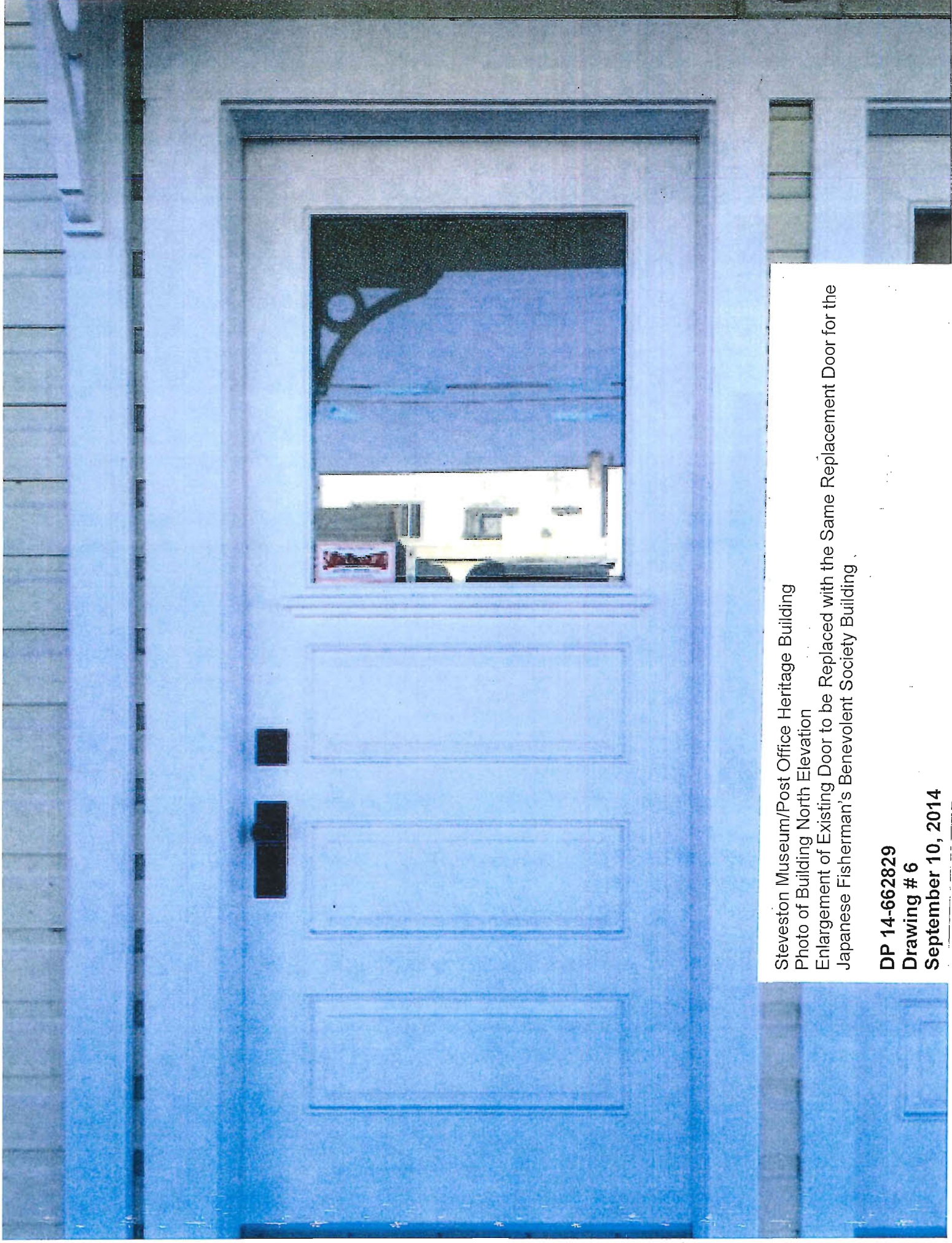
CURRENT (EXISTING) BUILDING ELEVATIONS

# PROPOSED BUILDING ELEVATIONS

#5

14-662829





Steveston Museum/Post Office Heritage Building  
Photo of Building North Elevation  
Enlargement of Existing Door to be Replaced with the Same Replacement Door for the  
Japanese Fisherman's Benevolent Society Building

**DP 14-662829**

**Drawing # 6**

**September 10, 2014**