



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, September 16, 2020
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on July 29, 2020.



1. **GENERAL COMPLIANCE – REQUEST BY HAMILTON VILLAGE CARE CENTRE HOLDINGS LTD. FOR A GENERAL COMPLIANCE RULING AT 23111 GARRIPIE AVENUE**

(File Ref. No.: DP 20-906520 Xr: DP 17-771210) (REDMS No. 6500176)

APPLICANT: Hamilton Village Care Centre Holdings Ltd.

PROPERTY LOCATION: 23111 Garripie Avenue

Director's Recommendations

That the attached plans involving changes to the design of the proposed landscaping and to the approved ESA compensation area be considered to be in General Compliance with the approved Development Permit (DP 17 771210).



2. **DEVELOPMENT PERMIT 18-818403**

(REDMS No. 6344932 v. 3)

APPLICANT: Konic Development Ltd.

PROPERTY LOCATION: 7151 No. 2 Road

ITEM

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of four townhouse units at 7151 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum lot width on major arterial road from 50.0 m to 20.12 m; and*
 - (b) *reduce the minimum front yard (east) setback from 6.0 m to 4.55 m.*



3. DEVELOPMENT PERMIT 18-829141

(REDMS No. 6435610 v. 6)

APPLICANT: Townline Ventures Inc.

PROPERTY LOCATION: 5591, 5631, 5651 and 5671 No. 3 Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of a high-density, mixed-use development consisting of three residential towers and a mid-rise building that includes 363 residential units and 20 low-end market rental units, and an office tower over a single storey mixed-use podium with street oriented commercial, retail and community amenity uses at ground level at 5591, 5631, 5651 and 5671 No. 3 Road.



4. DEVELOPMENT VARIANCE 20-896703

(REDMS No. 6496446 v. 4)

APPLICANT: Dagneault Planning Consultants Ltd.

PROPERTY LOCATION: 2151, 2511, 2611, 2651 No. 7 Road and PID 001-928-899

Director's Recommendations

1. *That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum front yard setback for agricultural buildings and structures from 7.5 m to 1.87 m;*

ITEM

- (b) *reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.58 m; and*
 - (c) *reduce the minimum lot area from 2.0 ha to 0.34 ha at 2651 No. 7 Road in order to resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road; and*
- 2. *This would allow the existing agricultural buildings and structures at 2151, 2511, 2611, 2651 No. 7 Road and PID 001-928-899 on a site zoned “Agriculture (AG1)” to remain and facilitate a proposed subdivision.*



5. **New Business**

6. **Date of Next Meeting: September 30, 2020**

ADJOURNMENT



**Development Permit Panel
Wednesday, July 29, 2020**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cecilia Achiam, General Manager, Community Safety
Milton Chan, Director, Engineering

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on July 15, 2020 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 18-829083
(REDMS No. 6474952)

APPLICANT: Konic Development Ltd.

PROPERTY LOCATION: 8291 and 8311 Williams Road

Development Permit Panel

Wednesday, July 29, 2020

INTENT OF PERMIT:

1. Permit the construction of 10 townhouse units at 8291 and 8311 Williams Road on a site zoned “Low Density Townhouses (RTL4)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the front yard setback along Williams Road from 6.0 m to 4.5 m; and
 - (b) allow one small car parking space in each of the side-by-side garages (eight small car parking spaces in total).

Applicant's Comments

Jiang Zhu, Imperial Architecture, with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development, highlighting the following:

- the proposed development is an infill project;
- the two three-storey buildings fronting along Williams Road have been stepped down to two storeys along the side property lines to provide an appropriate interface with adjacent single-family homes;
- the two-storey duplex units at the rear address the adjacent single-family homes to the north of the subject site;
- the centrally located shared outdoor amenity area at the rear of the site will receive maximum sun exposure and provide convenient access to all residents;
- a Tudor architectural style is proposed and is consistent with the existing character of the neighbourhood;
- different architectural treatments are proposed for the roofs of the two three-storey buildings along Williams to differentiate the two buildings along the streetscape;
- the shadow analysis indicates that the rear two-storey duplex buildings will not impact the adjacent single-family homes to the north in terms of shadowing;
- the sight line analysis demonstrates that neighbouring properties to the north will not be visible from the windows of the three-storey buildings; and
- the project includes one secondary suite and one convertible unit.

Development Permit Panel

Wednesday, July 29, 2020

Denitsa Dimitrova, PMG Landscape Architects, briefed the Panel on the main landscape features of the project, noting that (i) four existing trees along the north property line and two significant hedges along the east property line are proposed to be retained and protected, (ii) a six-foot high wood fence along the west, east and north property lines is proposed to provide privacy from adjacent developments, (iii) the common outdoor amenity area has been designed to provide as much play opportunities as possible, (iv) a small playhouse and natural play elements are proposed for the children's play area, (v) a wooden deck is proposed under the existing cherry tree on the outdoor amenity area, (vi) permeable paving treatment is proposed for the driveway, internal drive aisle and visitor parking spaces, and (vii) a pedestrian pathway is provided along the driveway and internal drive aisle.

In reply to a query from the Panel, Wayne Craig, Director, Development, confirmed that there is a statutory right-of-way registered on title over the driveway and internal drive aisle to facilitate access to/from adjacent future developments through the subject site.

In reply to queries from the Panel, Ms. Dimitrova noted that (i) the small size of the children's play area limits the choice for play equipment due to required safety zones, and (ii) the applicant is proposing a small play house to develop the children's social and imagination skills and natural play elements such as balance logs to provide active play opportunities.

Discussion ensued regarding the limited active play opportunities in the children's play area and it was noted that the proposed play equipment may not meet expectations for the project to provide adequate active play equipment.

Staff Comments

Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for frontage improvements and site utility connections, (ii) the proposed front yard setback variance is a function of a one meter wide road dedication on Williams Road and increased rear yard to allow the retention of existing trees along the rear property line, (iii) the small car parking variance for side-by-side garages is a technical variance and is consistent with other applications, and (iv) a lock-off suite is included in one of the 10 townhouse units.

Gallery Comments

None.

Correspondence

None.

Development Permit Panel

Wednesday, July 29, 2020

Panel Discussion

It was noted that the proposed play equipment for the common outdoor amenity area does not meet expectations for active play opportunities.

In reply to a query from the Panel, Mr. Craig noted that the space requirement for tree preservation in the outdoor amenity area poses a constraint on the size of the outdoor amenity area.

In reply to queries from the Panel, the owner of the subject property commented on the constraints to the size of the shared outdoor amenity area and the difficulty of providing a play equipment larger than the one currently proposed.

In reply to a query from the Panel, Mr. Craig confirmed that the side yard setbacks on the proposed development are currently slightly beyond the minimum requirement.

As a result of the discussion, direction was given to staff to work with the applicant to review the proposed play equipment in order to provide more active play opportunities for children in the shared outdoor amenity area prior to the application moving forward to Council.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 10 townhouse units at 8291 and 8311 Williams Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the front yard setback along Williams Road from 6.0 m to 4.5 m; and*
 - (b) *allow one small car parking space in each of the side-by-side garages (eight small car parking spaces in total).*

CARRIED

2. DEVELOPMENT PERMIT 20-890821

(REDMS No. 6489448 v. 2A)

APPLICANT: Vivid Green Architecture Inc.

PROPERTY LOCATION: 5500 Williams Road

INTENT OF PERMIT:

Permit the construction of two duplexes at 5500 Williams Road on a site zoned "Arterial Road Two-Unit Dwellings (RDA)".

Development Permit Panel

Wednesday, July 29, 2020

Applicant's Comments

Rosa Salcido, Vivid Green Architecture, with the aid of a visual presentation (copy on file, City Clerk's Office) provided background on the proposed development, noting that (i) the subject property will be subdivided to create two properties each containing a duplex, (ii) the two duplexes share a common driveway and drive aisle, (iii) there is an existing right-of-way along the back of the property, (iv) individuality of each duplex unit is achieved through the individual unit entrances and use of materials and colours, (v) the proposed height of the duplex buildings is consistent with neighbouring single-family homes, (vi) existing trees on-site will be retained as much as possible; however, trees which conflict with the site layout will be removed, (vii) each duplex unit is provided with a two-car garage, and (viii) one shared visitor parking space is provided for the two duplex buildings.

In addition, Ms. Salcido reviewed the site plan, the floor plans for the duplex units, proposed accessibility features, the layout for the convertible unit, and the elevations of the duplex buildings, including the location and design of windows on the side elevations to address privacy concerns of neighbours. Also, she reviewed the project's sustainability features and proposed materials palette, which include materials that are easy to maintain.

Denitsa Dimitrova, PMG Landscape Architects, briefed the Panel on the main landscape features of the project, noting that (i) five existing trees on-site will be retained, (ii) each duplex unit will be provided with a private yard, patio, shade tree, and lawn area, (iii) a combination of solid and transparent perimeter fencing is proposed to provide separation from adjacent residential developments, (iv) low aluminum fencing is proposed along the streetscape, (v) permeable paving is proposed for the drive aisle and auto court consistent with Advisory Design Panel recommendations, and (vi) the large hedge on the neighbouring property to the south will be retained.

In reply to a query from the Panel, Mr. Craig confirmed that (i) three on-site trees in poor condition and one on-site tree in conflict with the driveway will be removed, and (ii) the City street tree which is being removed is in conflict with frontage improvements.

Staff Comments

Mr. Craig noted that (i) there is a Servicing Agreement associated with the subject development for frontage improvements and site services, and (ii) the applicant's presentation was comprehensive.

Gallery Comments

None.

Correspondence

None.

Development Permit Panel

Wednesday, July 29, 2020

Panel Discussion

The Panel expressed support for the project, noting its attention to detail and provision for a significant amount of permeable pavers on the shared drive aisle.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of two duplexes at 5500 Williams Road on a site zoned "Arterial Road Two-Unit Dwellings (RDA)".

CARRIED

3. **DEVELOPMENT PERMIT 20-893127**

(REDMS No. 6489448 v. 2A)

APPLICANT: Design Work Group Ltd.

PROPERTY LOCATION: 11480 and 11500 Railway Avenue

INTENT OF PERMIT:

1. Permit the construction of three duplexes at 11480 and 11500 Railway Avenue on a site zoned "Arterial Road Two-Unit Dwellings (RDA)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.

Applicant's Comments

Michael Lu, Design Work Group, Ltd., with the aid of a visual presentation (copy on file, City Clerk's Office) provided background information on the proposed development, highlighting the following:

- two single-family lots will be subdivided to create three properties, each containing a duplex;
- each duplex will have a front and rear unit;
- Lots 1 and 2 will have a shared driveway and auto court and Lot 3 will have its own driveway and auto court;
- each duplex unit is three-storeys and consists of three bedrooms;
- the floor plan for each duplex unit is similar; however, each duplex has a unique architectural style to provide variety in the streetscape;
- two convertible units are proposed and all duplex units incorporate aging-in-place features; and

Development Permit Panel

Wednesday, July 29, 2020

- the duplex units are suitable for young and aging families and for those who are downsizing.

Larry Fiddler, Landscape Designer, reviewed the main landscape features of the project, noting that (i) layered planting is proposed along the front property line which includes an evergreen cedar hedge, a mix of seasonal flowering shrubs, and large caliper trees underplanted with perennials and ornamental grass, (ii) permeable paving treatment is proposed for the drive aisles, (iii) a private outdoor space is provided for each unit, (iv) a six-foot high wood fencing is proposed along the perimeter of the subject site, (v) shrub border planting is proposed in front of the rear perimeter fence, and (vi) the proposed planting materials are low maintenance.

Staff Comments

Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for frontage improvements and site services, (ii) the proposed front yard setback variance is specific for the southernmost duplex (Lot 3) only, (iii) the setback variance was identified at rezoning stage and no concerns were noted at the Public Hearing, and (iv) the setback from the building face to the back of the curb will be approximately 12 meters due to the width of the boulevard on Railway Avenue.

In reply to query from the Panel, Mr. Craig acknowledged that Lot 3 has been redesigned through the rezoning process to accommodate the visitor parking space which required a setback variance.

Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of three duplexes at 11480 and 11500 Railway Avenue on a site zoned "Arterial Road Two-Unit Dwellings (RDA)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.*

CARRIED

Development Permit Panel

Wednesday, July 29, 2020

4. **DEVELOPMENT PERMIT 18-837117**

(REDMS No. 6492174 v. 2)

APPLICANT: W. T. Leung Architects Inc.

PROPERTY LOCATION: 6333 Mah Bing Street

INTENT OF PERMIT:

1. Permit the construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 364 parking spaces at 6333 Mah Bing Street on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 13,000 m² (139,930 ft²) to 8,227 m² (88,554 ft²).

Applicant's Comments

Wing Leung, W.T. Leung Architects, Inc., with the aid of a visual presentation (copy on file, City Clerk's Office) provided background information on the proposed development, including (i) the history of the overall project's (Phase 1 and Phase 2) rezoning and development permit application, (ii) the project's site context and site plan, (iii) siting of towers within the proposed development and relative to existing towers on adjacent residential developments, (iv) the project's architectural form and character, and (v) the proposed materials palette, and highlighted the following:

- the subject development permit application is for Phase 2 of the Parks Residences development, which consists of two 15-storey towers and one nine-storey building designated as Towers C, D, and E;
- the rezoning application for the overall project started in 2004 prior to the adoption of the City Centre Area Plan (CCAP);
- the development permit for Phase 1 was issued in 2013 and construction was completed in 2016 due to the financial crisis in prior years;
- Council required a 1:1 replacement for existing rental units on-site to be provided in Phase 1;
- 132 rental units were provided in Tower A of Phase 1 for the 128 existing rental units on-site in two three-story rental buildings;
- a central public greenway will be constructed through the middle of the subject site which will be aligned with Murdoch Avenue to provide connection between Minoru Park and Minoru Boulevard;
- the five buildings in Phases 1 and 2 have been sited to maximize the distance between towers;

Development Permit Panel

Wednesday, July 29, 2020

- massing and orientation of towers on the subject site will provide view corridors towards the park for future developments to the east of the subject site;
- truck access and a three-point turn are provided to maintain garbage and recycling collection for the adjacent residential development to the south;
- the proposed public art piece for the project has gone through the City's public art process and has been approved by the Richmond Public Art Advisory Committee;
- separate indoor amenity spaces are provided for each tower; and
- pedestrian entrances to Towers C and D are located off the public greenway.

Richard O'Connor, Durante Kreuk Landscape Architects, provided background information on the main landscape features of the proposed development, noting that (i) the intent of the landscape design is to ensure that current views from Minoru Boulevard all the way through Minoru Park are kept clear, (ii) the public art piece on the public plaza located on the greenway is the focal point of the landscape design, (iii) lawn areas along the greenway help provide connection to the park, (iv) a variety of planting materials are proposed and balanced on either side of the proposed development, (v) pedestrian walkways will be installed along both sides of the greenway, (vi) the western walkway will connect to the existing walkway on the adjacent development to the north, and (vii) the outdoor amenity spaces on the podium roofs are landscaped and have been programmed for active and passive uses.

In reply to a query from the Panel, the project design team noted that the proposed treatment for the subject development's south wall consists of brick cladding and vertical vine planting systems.

Staff Comments

Mr. Craig noted that (i) there is a significant Servicing Agreement associated with the proposal, including improvements to Mah Bing Street, construction of a central greenway between the two buildings, site services, and a greenway along the Minoru Park frontage, (ii) the subject development has been designed to achieve the City's Aircraft Noise Sensitive design requirements, connect to the City's District Energy Utility (DEU), and meet Step 2 of the Energy Step Code and LEED Silver equivalency, (iii) the proposed lot size variance is a technical variance as at the time of rezoning the lot was part of a larger lot which included Phase 1, (iv) the applicant is required to provide a geotechnical analysis and a Construction Traffic and Management Plan prior to Building Permit issuance should the application move forward, (v) a detailed traffic impact assessment was provided by the applicant and was reviewed and approved by the City's Transportation Department, and (vi) the traffic study indicated that parking is sufficient on the subject property and existing road networks and proposed road improvements are able to accommodate additional traffic generated by the proposed development.

Development Permit Panel

Wednesday, July 29, 2020

In reply to queries from the Panel, Mr. Craig further noted that (i) the Public Hearing on the rezoning application for the subject property was held in 2006, (ii) the proposed development meets the City's current energy and sustainability requirements, (iii) the City's Affordable Housing Strategy came in after the project's rezoning application was approved, (iv) Phase 1 of the project at the time of rezoning provided a 1:1 replacement for rental units which included market rental and seniors housing units, (v) the project complies with the City's current Tenant Relocation Plan requirements, and (vi) the Servicing Agreement includes significant infrastructure works in Minoru Park.

Gallery Comments

Ricardo Vong, 7399 Murdoch Avenue, expressed concern regarding increased traffic and noise levels in the area during and after construction of the new building.

In reply to Mr. Vong's concerns, Mr. Craig noted that the City's Noise Regulation Bylaw regulates when construction hours can take place, which are between 7 a.m. and 8 p.m. Monday through Friday, between 10 a.m. and 8 p.m. Saturday, and no construction is permitted during Sundays and statutory holidays. In addition, he stated that the applicant is required to submit a Construction Traffic and Parking Management Plan prior to issuance of Building Permit.

In reply to a query from the Panel, Mr. Craig confirmed that a traffic study was provided by the applicant at rezoning and an updated version was submitted for the subject development permit application.

Peter Demchuk, 6611 Minoru Boulevard, Unit 1614, expressed concern regarding (i) the potential increase in noise and traffic that will be generated by construction activities in the subject site which would particularly impact seniors living in the area, (ii) the capacity of the existing Mah Bing Street to accommodate increased traffic, (iii) the potential impact of the proposed development on existing vehicle access to 6611 Minoru Boulevard including access to the property's buildings and parking and loading areas, and (iv) the potential removal of two parking stalls on the property.

In reply to Mr. Demchuk's concern regarding construction noise and traffic, the Chair noted that the City's Noise Regulation Bylaw will be enforced during construction and the applicant is required to provide a Construction Traffic and Management Plan to address potential traffic congestion and maintain access to existing residential developments in the area.

In reply to Mr. Demchuk's concerns regarding increased traffic in the area and vehicle access to 6611 Minoru Boulevard, Mr. Craig noted that (i) the existing lane fronting the subject site will be expanded into a city street to be called Mah Bing Street, which is similar to the street north of Murdoch Avenue, (ii) the proposed street improvement will run from the Murdoch Avenue intersection until the south property line of the subject development, and (iii) the proposed development will not impact vehicle access to buildings as well as loading and parking areas on the property at 6611 Minoru Boulevard.

Development Permit Panel

Wednesday, July 29, 2020

With regard to the potential removal of two parking stalls at 6611 Minoru Boulevard, Mr. Craig clarified that their removal was proposed as one of the two options being investigated to maintain access to the property's garbage and recycling loading area; however, there was no agreement on this proposal, therefore an alternative arrangement was proposed that would provide a statutory right-of-way on the southwest corner of the proposed development adjacent to Minoru Park to allow the garbage and recycling truck to turn around and exit.

In reply to a query from the Panel, Mr. Craig confirmed that the garbage and recycling truck servicing 6611 Minoru Boulevard is currently accessing the site by driving across the subject development without a formal easement.

Bill Sorenson, 6611 Minoru Boulevard, spoke against the proposed alternate truck route to access the property's garbage and recycling loading area, noting that it is circuitous and would impact vehicular traffic as well as pedestrian safety, particularly of seniors, on the lane fronting the northern building at 6611 Minoru Boulevard. He added that he would prefer the installation of a dedicated lane for truck access which provides a more direct route to the property's garbage and recycling loading area through the two parking stalls on the property. In closing, Mr. Sorenson noted that he does not agree with the strata management and Council of 6611 Minoru Boulevard not responding to the applicant's communications regarding garbage and recycling truck access to the property.

In reply to Mr. Sorenson's concern, Mr. Leung stated that he had communicated several times with the strata management of 6611 Minoru Boulevard through the property manager regarding the applicant's first option for truck access into the property which provides a more direct route through the two parking stalls. He added that he offered to pay compensation for the two parking stalls; however, the strata management did not respond and as a result, the applicant is proposing an alternate truck route to access and exit the property's garbage and recycling loading area.

Nuno Porto, 6611 Minoru Boulevard, expressed concern regarding (i) the siting of buildings on the proposed development which impact pedestrian experience on Minoru Park, and (ii) the proposed development's interface with adjacent residential developments, particularly with the property at 6611 Minoru Boulevard. He noted that the towers and townhouses on the proposed development are sited closer to the park than the existing two three-storey buildings on-site. Also, he suggested that the treatment for the three-storey podium wall along the south side of the subject development facing the existing tower to the south be reviewed in order to improve its interface with the park and the adjacent development to the south.

Meena Bangash, 6491 Minoru Boulevard, spoke about the situation of low-income tenants in the existing rental buildings on-site who are going to be displaced when the buildings are demolished. She noted that their situation is made more difficult by the pandemic as some tenants are experiencing job loss and will have difficulty finding rental units that they can afford.

Development Permit Panel

Wednesday, July 29, 2020

Juliet Mendoza, 6491 Minoru Boulevard stated that she has lived in the rental building for 13 years and queried about (i) the age requirement for seniors who are existing tenants in order to qualify for accommodation in the Phase 1 of the development, and (ii) the assistance offered under the applicant's Tenant Relocation Plan.

In reply to Ms. Mendoza's query regarding the age requirement for seniors, Mr. Leung noted that seniors in existing rental buildings on-site should be 65 years or older to qualify for accommodation in affordable rental units in Phase 1; however, all rental units are currently occupied.

In reply to Ms. Mendoza's query regarding the Tenant Relocation Plan, Mr. Craig reviewed the various components of the Tenant Relocation Plan which include notification, right of first refusal, relocation assistance, compensation and communication with tenants. In addition, he noted that with regard to relocation assistance, the developer is required to hire a Tenant Relocation Coordinator to assist tenants free of charge in finding similar accommodations within the City or in another location at the tenant's discretion.

In reply to queries from the Panel, Mr. Craig advised that (i) the minimum four month's notice to end tenancy would be served upon issuance of demolition permit for the subject development, (ii) issuance of the demolition permit is subject to the developer meeting certain conditions prior to the application proceeding to Council, and is not anticipated to occur prior to the beginning of 2021, (iii) a Tenant Relocation Coordinator has been hired by the developer to provide relocation assistance to tenants, and (iv) the minimum compensation for existing tenants is three months free rent or lump sum equivalent and is increased depending on the number of years the tenant has resided in the building.

In reply to queries from the Panel, Mr. Leung noted that (i) the developer was required to demolish the existing rental buildings on-site two years after Phase 1 was constructed; however, the developer had agreed to delay its implementation to minimize displacement of existing rental tenants, (ii) approximately 118 tenants are currently living in the two rental buildings and five tenants are moving out at the end of the month, (iii) information regarding preferences of tenants in terms of relocation assistance is not currently available; however, letters have been sent out to existing tenants regarding the relocation process, (iv) the applicant will conduct open house sessions with tenants should conditions allow or will personally reach out to them, (v) in 2016, existing tenants were given the right of first refusal for rental units in the Phase 1 development and 19 tenants were accommodated in Phase 1, (vi) beginning in 2018, month-to-month rentals were introduced for new tenants in anticipation of the demolition of existing rental buildings, and (vii) the Tenant Relocation Coordinator is ready to assist in the relocation of tenants and the developer has offered a compensation package as part of the Tenant Relocation Plan.

Correspondence

Yuewen Gong, resident of Carrera Building 2 ([Schedule 1](#))

Development Permit Panel

Wednesday, July 29, 2020

In reply to Mr. Gong's concerns, Mr. Craig noted that (i) the proposed development complies with the City's building separation guidelines, and (ii) the development's outdoor amenity areas comply with the City's requirements.

Jessy (no last name provided), a resident of 7333 Murdoch Avenue ([Schedule 2](#))

In reply to geotechnical concerns, among other concerns mentioned in the above correspondence, Mr. Craig advised that a geotechnical report by a certified engineer will be required prior to Building Permit issuance should the application move forward.

Ho Siu M. and Leung Ching M., 6611 Minoru Boulevard ([Schedule 3](#))

Mr. Craig noted that the concerns expressed in the above correspondence regarding potential geotechnical issues as well as noise and dust during construction have been previously discussed.

Shao He He, 803-7368 Gollner Avenue ([Schedule 4](#))

In reply to concerns cited in the above correspondence, Mr. Craig noted that (i) there is a shadow analysis provided by the applicant included in the meeting's agenda package, and (ii) the proposal complies with the City's tower separation guidelines.

Charing Chong, 1306-7333 Murdoch Avenue ([Schedule 5](#))

Mr. Craig noted that the above correspondence expressed concerns related to potential traffic generated from the proposed development, potential implications to wildlife and vegetation in the park, and construction noise related to the proposed development.

Lexy Clayburn, resident of Minoru Gardens ([Schedule 6](#))

Mr. Craig noted that the above correspondence expressed concern regarding (i) tenant displacement during a pandemic, (ii) ability of tenants to find alternative accommodations, particularly affordable housing units in the City of Richmond, (iii) access to information from the Tenant Relocation Coordinator regarding relocation assistance, and (iv) the proposed variance sought in relation to the proposed development. In addition, Mr. Craig further noted that the proposed variance to reduce the minimum lot area is a technical variance associated with the subdivision of Phase 1.

Kamran Bangash, 6491 Minoru Blvd. ([Schedule 7](#))

Mr. Craig noted that the above correspondence expressed concern regarding tenant displacement and the ability of existing tenants to find alternative accommodations and requested that the property owner conduct a Tenant Needs Survey for all tenants to get more information about their situation.

Rao Zeeshan, 6491 Minoru Blvd. ([Schedule 8](#))

Mr. Craig noted that Mr. Zeeshan expressed concern regarding tenant displacement and ability to find alternative accommodations within the city.

Ramakanth Gade, 6391 Minoru Blvd. ([Schedule 9](#))

Development Permit Panel

Wednesday, July 29, 2020

Mr. Craig noted that the above correspondence expressed concern regarding tenant displacement and challenges in finding potential alternative accommodations within the city.

Meena Bangash, 6491 Minoru Boulevard) ([Schedule 10](#))

Meena Irshad, 6491 Minoru Blvd. ([Schedule 11](#))

Mr. Craig noted that the above two pieces of correspondence expressed concern regarding the displacement of existing tenants of apartment rental buildings on-site and their ability to find alternative housing within the city.

April Denosta, 6491 Minoru Blvd. ([Schedule 12](#))

Mr. Craig noted that Ms. Denosta is asking for information regarding the timeline for demolition of the existing rental buildings on-site.

Andrea Roca, 6611 Minoru Blvd. ([Schedule 13](#))

Nuno Porto, 6611 Minoru Blvd. ([Schedule 14](#))

Mr. Craig noted that the above two pieces of correspondence share the same concerns which include (i) proximity of the proposed development to Minoru Park, (ii) proximity to the adjacent development to the south, (iii) potential impacts related to construction of the proposed development, and (iv) treatment of the south wall of the subject development.

In reply to queries from the Panel, Mr. Craig confirmed that (i) the proposed development is set back six meters from the park to the townhouse units while the western edge of the parkade in the adjacent development to the south is along the west property line, (ii) the proposed development will provide a right-of-way on their property for the installation of the north-south walkway fronting the townhouse units in the proposed development.

Mirene Raphael, (no complete address indicated) ([Schedule 15](#))

The abovementioned correspondent expressed regret for not being able to attend the July 29, 2020 Panel meeting.

Shelvin Chandra, 301-6491 Minoru Blvd. ([Schedule 16](#))

Mr. Craig noted that staff had responded to the above mentioned correspondent's query regarding the availability of and access to the minutes for the July 29, 2020 Development Permit Panel meeting.

Development Permit Panel

Wednesday, July 29, 2020

Panel Discussion

A suggestion was made to defer the subject development permit application to a future meeting of the Panel due to Panel concerns regarding (i) the proposed truck access for the collection of garbage and recycling at the adjacent residential development to the south, (ii) the applicant's Tenant Relocation Plan, including how it is communicated to tenants of existing rental buildings, and potential displacement of existing tenants, and (iii) the proposed treatment for the south wall of the Tower D/E podium in the subject site adjacent to the existing tower to the south.

Panel Decision

It was moved and seconded

That DP 18-837117 be deferred to the Development Permit Panel meeting scheduled for Wednesday, September 30, 2020, at 3:30 p.m. at the Council Chambers, Richmond City Hall, for the purpose of the applicant working with staff to address the following issues:

- 1. review the proposed truck access to allow garbage and recycling collection for 6611 Minoru Boulevard (adjacent development to the south of the subject site) and investigate opportunities for a more direct route;*
- 2. review the proposed treatment to the south wall of Tower D/E podium to improve the project's interface with the side of the existing tower to the south; and*
- 3. ensure the attendance of the project's Tenant Relocation Coordinator at the Panel's September 30, 2020 meeting to provide a report on the following:*
 - (i) the project's Tenant Relocation Plan and the Coordinator's communication with tenants of existing rental buildings on-site (6391 and 6491 Minoru Road) regarding the Plan;*
 - (ii) the tenants' preferences in terms of types of needed relocation assistance; and*
 - (iii) information regarding the number of tenants needing relocation assistance and proposed measures to assist in relocating the tenants.*

CARRIED

5. New Business

It was moved and seconded

That the Development Permit Panel meetings tentatively scheduled on Wednesday, August 12, 2020 and Wednesday, August 26, 2020 be cancelled as there are no agenda items scheduled for the two meetings.

Development Permit Panel
Wednesday, July 29, 2020

6. Adjournment

It was moved and seconded

That the meeting be adjourned at 6:12 p.m.

CARRIED

Certified a true and correct copy of the
Minutes of the meeting of the
Development Permit Panel of the Council
of the City of Richmond held on
Wednesday, July 29, 2020.

Joe Erceg
Chair

Rustico Agawin
Committee Clerk

Schedule 1 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
July 29, 2020.

From: Yuewen Gong <ywgong@live.ca>
Sent: July 16, 2020 4:45 PM
To: CityClerk
Subject: Application of DP 18-837117

To Development Permit Panel
Date: <u>July 29, 2020</u>
Item # <u>4</u>
Re: <u>DP 18-837117</u> <u>(6333 Mah Bing St.)</u>

Hello

I received the notice recently and feel that there are some concerns may need to be addressed before permitting the application. 1. When they design the building, it needs to consider not too close to near-by building such as the Carrera building, 2. The building should not close the Mah Bing street, 3. It needs to consider not to affect current green space, and the building need to have some green space also.

Thanks

Yuewen Gong
Residence of Carreras building

Sent from my iPad



Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
July 29, 2020.

To Development Permit Panel	
Date:	July 29, 2020
Item #	4
Re:	DP 18-837117 (6333 Mah Bing St.)

From: JINGWEI SONG <jingwei_song@yahoo.com>
Sent: July 16, 2020 6:19 PM
To: CityClerk
Subject: Please do not permit the development application - DP 18-837117

Dear Sir or Madam,

I am one of the owners of Park Residences Tower B - 7333 Murdoch Ave., Richmond. I am writing to comment on the application of DP 18-837117.

I got a Notice of Developemt Permit for File: DP 18-837117 by mail today.

After having carefully read the notice, I and my family, we would like to suggest you do not permit this application.

The proposed construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building is not a good idea because at this location, there have already been already two high-rise buildings with more than 200 units next to the proposed construction, which are Park Residences tower A & B on Murdoch Ave. The proposed construction is too close to these two buildings, therefore will cause the following effects and dangers to all the residents in these two buildings, especially our building B - it is right loacted at the corner of Murdoch Ave and Mah Bing Street.

1. What will happen to the settlement in the soil at this area when there are going to be three more buildings constructing? I can't imagine, it could be dangerous as Richmond has really been considered as a high risk city for earthquakes! As a resident, I am highly worried that this project will increase the possibility of instability and danger Δ of staying at my home.

2. Construction Noises and Dusts. During the construction, I am sure we will be bearing noises and dusts. We could not even open our building! And of course we cannot enjoy our balconies either.

3. More crowded Traffic. The coming 232 units will definitely bring more traffics. I can't imagine what will happen at the rush hour every morning, too many cars are going out at the same time, and there are only two way out. It would be a disaster!

4. Increasing Maintenance Costs and Lower Rents for owners who rent their homes out.
If the application is permitted, there will be more buildings, this means the supply of rental apartments at this area is increasing. As a result, rents could be lowered. This is such a bad news for oweners of Park Residences Tower Buildings who rent out their homes. And the property insurance might also be increased due to a higher risk of earthquake.

So, as a owner and resident, I highly suggest that you do not permit this application!

Thank you!

Sincerely,
Jessy



From: Simon Ho <go@simonho.net>
Sent: July 17, 2020 9:26 PM
To: CityClerk
Cc: Gladys Leung
Subject: Notice Of Development Permit Panel Meeting

To Development Permit Panel
Date: July 29, 2020
Item # 4
Re: DP 18-837117 (6333 Mah Bing St.)

To: Planning & Development Division

File: DP 18-837117
Site: 6333 Mah Bing Street

I would not permit the construction of a multiple-family residential development at 6333 Mah Bing Street.

The reason is I am living 6611 Minoru Blvd, Richmond. That construction will happen very close to our building. It will produce lots of noise and dust to break and rebuild a new building. And I worry it will affect our building's foundation or infrastructure. If so, its dangerous to me, my family, and my neighbors.

In fact, Richmond still has a lot of empty space. Why that development selects the land which has existing buildings!?

HO SIU M
LEUNG CHING M



Schedule 4 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
July 29, 2020.

To Development Permit Panel	
Date:	July 29, 2020
Item #	4
Re:	DP 18 - 837117

From: Khris Liang <cliang1997@hotmail.com>
Sent: July 29, 2020 11:06 AM
To: Lee, Edwin
Subject: Re: Correspondence related to DP 18-837117 - 6333 Mah Bing Street

Dear Mr. Lee

Thank you for your reply regarding DP18-837117. Although you have noted some procedures regarding my concerns, I still do not agree to this construction. I have already experienced similar situation when 7399 Murdoch Ave was constructing. The amount of dust had me suffering during the construction. The noise produced from construction was also affecting me heavily. Moreover, there are many elderlies that live in this neighbourhood, I believe that another construction in this area will create the same problems. Furthermore, a high-rise building will block much of my vision from seeing the greens at Minoru park, and the residents will not be able to enjoy fireworks during special events as well. Therefore, construction on 6333 Mah Bing Street should not be approved.

Best regards,
Shao He He

On Jul 28, 2020, at 3:48 PM, Lee, Edwin <ELee@richmond.ca> wrote:

Dear Shao He He,

Thank you for your email of July 24, 2020 regarding the Development Permit application for 6333 Mah Bing Street (DP 18-837117). Your email will be presented to the Development Permit Panel at tomorrow's meeting.
For your information, please note that:

1. The applicant advised that appropriate procedures will be put in place to minimize dust during preloading and construction. The preload will be hosed down when high wind events is anticipated to minimize the dust. The site will have a central vehicular entry/exit point with a wheel-wash station integrated on-site during the excavation phase to clean vehicles prior to their exiting onto the street.
2. The minimum tower separation between the proposed buildings and the "Carrera" towers is 38.1 m (125 ft.), which exceeds the guidelines of 35.0 m (115 ft.).

Should you have further questions regarding the proposed development, please feel free to contact me at 604-276-4121.

Regards,
Edwin

-----Original Message-----

From: Khris Liang <cliang1997@hotmail.com>
Sent: July 24, 2020 7:01 PM



To: CityClerk <CityClerk@richmond.ca>

Subject: Regarding 6333 Mah Bing Street construction

Hello Richmond City Council,

My name is Shao He He, a resident on 803-7368 Gollner Avenue, beside building 6333 Mah Bing street. I am emailing in regards to 6333 Mah Bing street rezoning, file: DP 18-837117. I do not wish Richmond City Hall to permit the construction of multi-family residential. There are a few reasons why I do not agree:

1. Dust is too heavy during construction. Concern: breathing problem
2. Limited visual distance once the buildings are built.
3. Limited sunlight in the house.
4. Distance between buildings are too close. Concern: limited privacy. People from across can see everything in my apartment.

Best regards,
Shao He He

Schedule 5 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
July 29, 2020.

To Development Permit Panel	
Date:	<u>JULY 29, 2020</u>
Item #	<u>4</u>
Re:	<u>DP 18-837117</u>

From: Charing Chong <shcharing@gmail.com>
Sent: July 28, 2020 9:19 PM
To: Lee, Edwin
Subject: Re: Correspondence related to DP 18-837117 - 6333 Mah Bing Street

Dear Edwin,

Thanks for your reply.

I must apologise for my ignorance that the subject land use was approved long time ago. I am not the first owner of my present unit and therefore am not aware that there will be five buildings totally.

That said, I still hope that the Panel will do everything you can to minimise the total floors and dwelling units of the three buildings; so that the construction time will be shortened and future traffic flow at a minimal level.

Regards,

Charing
Sent from my iPhone

On 28 Jul 2020, at 3:45 PM, Lee, Edwin <ELee@richmond.ca> wrote:



Dear Charing,

Thank you for your email of July 26, 2020 regarding the Development Permit application for 6333 Mah Bing Street (DP 18-837117). Your email will be presented to the Development Permit Panel at tomorrow's meeting.

For your information, please note that:

1. The proposed development is Phase 2 of the "Park Residences" development; the land use has been approved by Council since 2008. The Development Permit Panel does not deal with land use (zoning) issues but will hear delegations on the Development Permit application, which consider the form and character of the proposed multiple family development.
2. Murdoch Avenue and Mah Bing Street are new roads created as part of the overall "Park Residences" development (5 towers) to address transportation demands.
3. Construction noise, including demolition is regulated by Noise Regulation Bylaw 8856. Provided the day is not a Sunday or Statutory holiday, construction noise not exceeding 85 decibels "dBA" is permitted Monday to Friday from 7am to 8pm and Saturdays from 10am to 8pm.
4. The applicant advised that appropriate procedures will be put in place to minimize dust during preloading and construction. The preload will be hosed down when high wind events is anticipated to minimize the dust. The site will have a central vehicular entry/exit point with a wheel-wash station integrated on-site during the excavation phase to clean vehicles prior to their exiting onto the street.

Should you have further questions regarding the proposed development, please feel free to contact me at 604-276-4121.

Regards,
Edwin

-----Original Message-----

From: Charing Chong <shcharing@gmail.com>
Sent: July 26, 2020 7:41 PM
To: CityClerk <CityClerk@richmond.ca>
Subject: 6333 Mah Bing Street Development Permit

Dear Permit Panel:

I am a resident at 7333 Murdoch Ave and wish I could attend the hearing on July 29 to voice out my opinion. However, due to COVID-19, I think the best way is through this email.

1) Location: This development site is on Mah Bing Street which is a small street with dead end. The enormous increase in dwelling units (232) with over 350 parking spaces is certainly overwhelming to the existing residents in the area. The traffic will undoubtedly be extremely heavy on this Mah Bing Street and the Murdoch Avenue and hence create possible hazards.

We have already a significant re-development in the nearby Richmond Centre which comprise commercial and residential units; therefore the last thing we need is another project of high-rise building just across Minoru Boulevard.

2) Environment: As a resident at 7333 Murdoch, we are gratefully enjoying the beauty and calmness of the Richmond park from the first day we moved in. The proposed three high-rise buildings will definitely block the lovely view from our units. More important, the noise and air pollution during the construction time would harm the trees and the wildlife around the park such as owls, mallards and geese etc.

Richmond is a garden city and we should try every effort to preserve this beautiful image. I am not against city development but we should be extremely careful with respect to the choice of location. If City of Vancouver could preserve Stanley Park in such a beautiful way, why City of Richmond could not preserve our Richmond Park likewise?

Regards,

Charing C Chong
1306-7333 Murdoch Ave

Sent from my iPhone

From: Lexy Clayburn <lexyclayburn@yahoo.ca>
Sent: July 27, 2020 2:11 PM
To: CityClerk
Subject: 6333 Mah Bing Road Development

Categories: Rustico (DPP & ADP)

Planning and Development Committee

Minoru Gardens Demolition

Edwin Lee

To Development Permit Panel
Date: <u>JULY 29, 2020</u>
Item # <u>4</u>
Re: <u>DP 18-837117</u>



Dear Mr. Lee,

One hundred and thirty families live at Minoru Gardens. Some have lived here for over twenty years. I am writing to you because I am concerned about the permit application for demolition of our homes.

Safety

Is it safe to ask families to move during a pandemic? We will have a four months for seventy families in each building to use one elevator. There have been reports of people contracting Covid through elevator buttons. It will also be difficult to physical distance, something the Provincial Health Officer has stressed we are supposed to do to prevent outbreaks. Also, our neighbours who are not moving, may be at risk too since there is limited parking space for several large moving vans between the buildings.

Relocation

The vacancy rate for apartments is very low in Richmond, especially for affordable units that can house families. The new units will be much smaller so even if we could afford them, we couldn't house our families in them. We are essential workers (retail, hospital, schools). For a city to function, essential workers need to live in that city. If we cannot afford to live in Richmond we will have to leave. The loss of one hundred and thirty families who contribute to Richmond's economic well-being will affect the quality of life of Richmond residents.

Communication

I read that we are being informed of what is happening. We are not. When the residential tower opened up, we were supposed to have priority. We did not. While we received mail about the opening of the tower, when it was ready for occupancy we were not informed. I found out from a neighbor that an open house was held and people from off the street who saw the open house got priority.

Varying the Bylaw

I see that the minimum lot area is being reduced almost by a half. I would like to see some explanation of this as it may impact future developments. Are they saying that green space in the current towers will count as green space in the future towers? Then would that mean a developer could trade green space between neighborhoods? That seems like a dangerous precedent to set. Will the residents in the new tower have access to the green space in the older tower? Please explain why the staff have decided to let this happen.

I am not an expert in public relations but a council that votes to replace affordable housing with unaffordable luxury condos during a pandemic may be seen as heartless.

Thank you for your time.

Lexy

From: KAMRAN BANGASH <kamranbangash@hotmail.com>
Sent: July 28, 2020 2:16 AM
To: CityClerk
Subject: Proposed Re-development Minoru Blvd.
Categories: Rustico (DPP & ADP)

To Development Permit Panel	
Date:	JULY 29, 2020
Item #	4
Re:	DP 18-037117

Dear Sir / Madam,

Today I have received a letter about Proposed Re-Development of 6391/6491 Minoru Blvd, I have been residing at the said place since last 2 years. You must be aware of the fact that these apartments are old and rents are affordable for low income families. The letter has caused me a great deal of anxiety as current uncertainty arising from COVID19 has yet to subside. We have no idea when we will be able to go to PreCovid life. I used to work @AirCanada as Station Attendant and currently on EI, with family of four and no possible return to work in sight. The mere thought of moving out gives me goosebumps, how will we survive. Any 2 bedroom rental available right now ranges from 1900-2500 in our area, how can a person on EI would be able to afford it? plus added stress of moving with kids and possible school changes!

I would request of postponing the plan until emergency is lifted and economy revives. Nearly all the tenants at our building have limited resources, low incomes and are vulnerable to such harsh conditions.

I also request the owner to provide "Tenants Needs Survey" to all current tenants so we can explain our situation, for example Loss of Income, Child with Disabilities and Financial Crisis.

Covid19 has impacted our lives and we request to please consider our plight as tenants in crisis.

Regards.

Kamran Bangash
604 551 4274



From: Rao Zeeshan <zeeshan.rao@gmail.com>
Sent: July 28, 2020 1:42 PM
To: CityClerk
Cc: minoru.office@telus.net
Subject: Meeting regarding Proposed redevelopment 6391/6491 Minoru Blvd

Categories: Rustico (DPP & ADP)

Hello & Good Day

This email is regarding tomorrow's meeting at city hall in connection with 6491 Minoru Blvd.

Please keep this email as a record to share our deep concern against demolition of buildings and request authorities to delay / postpone it as much as possible because of the prevailing economic crisis due to COVID. Due to job losses we are having tough times and its very challenging to move to other places where we can find reasonable rents like Minoru Court.

Thanks
RAO
6491 Minoru Blvd.

To Development Permit Panel
Date: <u>July 29, 2020</u>
Item # <u>4</u>
Re: <u>DP 18- 837117</u>



From: Ramakanth Gade <ramakanthgade@gmail.com>
Sent: July 28, 2020 2:04 PM
To: CityClerk
Cc: minoru.office@telus.net
Subject: Request to postpone demolition

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Rustico (DPP & ADP)

To Development Permit Panel	
Date:	JULY 29, 2020
Item #	4
Re:	DP 18-837117

Dear Ms. Jesson,

My name is Ramakanth and I am a resident at 6391 Minoru Blvd, Richmond, BC V6Y 1Y7.

I received a notice yesterday from RHOME Property Management that they are having a meeting tomorrow with the City of Richmond Development Permit Panel to evaluate the proposed redevelopment of 6391/6491 Minoru Blvd. And they also mentioned that if the proposal gets approved, they would be demolishing this building.

As you already know, because of COVID 19 and downturn in a lot of businesses, we are facing some unprecedented times with respect to job losses and crisis in many industries. Our jobs are not secure anymore and it would be really tough to find other rental places with equivalent rents as Minoru Court.

Like me, a lot of other residents also have similar concerns regarding the demolition of buildings. So, keeping our concerns in view if you could postpone the demolition by 18-24 months (till the COVID and economic situation improves) it would be of great help to all of us.

Thanks a lot for your consideration.

Regards,

Ramakanth Gade



Schedule 10 to the Minutes of the Development Permit Panel meeting held on Wednesday, July 29, 2020.

From: Meena Irshad <meenairshad_us@hotmail.com>
Sent: July 28, 2020 2:32 PM
To: CityClerk
Subject: Proposed redevelopment 6491/6391 Minoru Blvd

Follow Up Flag: Follow up
Flag Status: Completed

Categories: Rustico (DPP & ADP)

To Development Permit Panel	
Date:	<u>JULY 29, 2020</u>
Item #	<u>4</u>
Re:	<u>DP 18-837117</u>

Good Day,

Through this email I would like to express my concerns regarding destruction of our building. I do acknowledge that the owner has the right to redevelop their property, but given the current circumstances, we are compelled to write in a bid to save ourselves from sinking into more troubles

COVID19 has wreaked havoc on our financial situation, and the eviction in the near future might push us into more poverty. Our small savings have been drained, overwhelming credit card payments and loss of income are added burdens to deal with.

The rental units we are currently residing in have rents ranging from \$800-1400. But the proposed rents have prices ranging from \$927-1880. As indicated, the rents of new buildings in the area for 2 bedrooms are \$1800 plus, so where are we going to go? We have been living in these old buildings to survive economically. If these buildings continue to redevelop, where will the low-income families go? Are the affordable units as much in abundance? Do we know when the emergency will be lifted? Do we know when we will be rehired? Do we know when the CERB ends? How we will meet both ends?

In times of uncertainty we expect our community to come together and support each other rather than being exposed to vulnerable situations. We sincerely wish this pandemic would end so we will be able to work and contribute to our society, but now we are not in a position to be left alone!

Please consider us, the current residents of these buildings. Please provide us a survey that can indicate our loss of income, our children and any disabilities we may have. Please postpone the destruction until we have jobs again and are able to afford a roof on our heads and food on the table all at once.

Regards,
Meena Bangash



Schedule 11 to the Minutes of the Development Permit Panel meeting held on Wednesday, July 29, 2020.

From: Meena Irshad <meenairshad_us@hotmail.com>
Sent: July 28, 2020 1:28 AM
To: MayorandCouncillors
Subject: Redevelopment of rental building

To Development Permit Panel
Date: <u>JULY 29, 2020</u>
Item # <u>4</u>
Re: <u>DP 18-037117</u>

Respected sir,

I am a resident of Richmond BC and resides at Minoru blvd, we the tenants have received a letter saying that if City of Richmond development permit panel approves the landlord would go ahead with the redevelopment plan. The plan will b approved Wednesday, July 29 @3:30 pm City Hall Had it been normal circumstance we would have been able to withstand the hardship but due to Covid19 our situation has drastically changed and we are too vulnerable at this point Our family of 4, relies on my husband to earn, he lost his job @Aircanada and now on EI Cerb would end by September, how can we survive on 55% EI support and no return to job in sight?

My son has ASD and changes affect his routine, we have managed to plan a school return with Speech therapist, OT, Social worker and school staff, by relocating means wasting all our efforts and sending him to another school?

Sir, I request you to please extend this proposed redevelopment until we achieve pre covid normalcies, please don't make us go to the point where we either can afford roof on our head or food on our tables!

Help us please

Tenants at 6491/6391 Minoru blvd

Meena

Sent from my iPad



From: aprildenosta <aprildenosta@gmail.com>
Sent: July 28, 2020 7:37 PM
To: CityClerk
Subject: Re: Redevelopment of 6391/6491 Minoru blvd.

To Development Permit Panel	
Date:	<u>JULY 29, 2020</u>
Item #	<u>4</u>
Re:	<u>DP 18-837117</u>

Hello,

I'm one of the tenants who lives in 6491 building. I'm just wondering if you could send me information about what will be discussed in the meeting regarding the building demolition.

Please feel free to contact me on my email address aprildenosta@gmail.com or call me at my cell 604-767-1909.

Thanks,
April

Sent from my Samsung Galaxy smartphone.



Schedule 13 to the Minutes of the Development Permit Panel meeting held on Wednesday, July 29, 2020.

From: Andrea Roca <andreamroca@gmail.com>
Sent: July 28, 2020 8:34 PM
To: CityClerk
Subject: Ref: DP 18-837117 of July 7, 2020

To Development Permit Panel
Date: JULY 29, 2020
July 7, 2020 4
Re: DP 18-837117



To whom it may concern,

I am hereby submitting my comments regarding the above referenced application, hoping these may be taken into account and contribute to better serve the city of Richmond. Not being an expert I am expressing this opinion as a citizen that routinely enjoys the park, and a neighbour from the building to the South, on 6611 Minoru Boulevard.

The proposal presents a number of innuendos that should either be proved or removed, at the risk of – if the proposal is moved forward as it is – establishing as truthful something that possibly is not.

At first impression this part two of the Park Residences offers a closure to the project already executed and contributes to the harmony of the neighbourhood. In particular, it projects a very welcome green area between part one and the projected plan, that seems to promise continuity between both phases (the existing and the projected) and between the city and the park.

On a more detailed analysis, however, the proposed plan does raise concerns on a number of points, as I will try to cover below.

1. The phase two doesn't seem to be site sensitive.

I mean by this that instead of adopting an inclusive and dialoguing relation with the pre-existing built environment, the park included, it tends to operate in what could be qualified as a predatory mode. In the proposed development, phase one and two will be very well integrated, but this would be so at expenses of the neighbouring areas, park included. Examples of this are:

- a) the proposed 15 store high tower at the north, literally bordering the park;
- b) the advancement (in relationship to what is built there now) of about 12 metres towards the park, leaving a distance of 3,5 metres between the park and the proposed construction of a row of townhouses, similar to the existing in the already built phase of the complex.
- c) the reduction of the space between the existing first building of the complex designed by Arthur Erickson and Gilbert Massey, from the seventies, 6611 Minoru, and a proposed

wall of concrete 3 storey plus high that runs from Mah Bing road to 5 metres from the park.

2. For a number of reasons it would seem preferable to project the greenway at the South limit of the project adding a buffer between the Erickson–Massey complex and this project. The proposed greenway that connects the park with Murdoch Road – which, again, might not be such a good idea -- seems to act as a strategy to approach towards the park (and it should be added, towards an area of the park with a couple of centennial trees) the two buildings and the townhouses row to the south of the projected greenway. From the blue prints it is noticeable that these are much more closer to the park than the townhouse rows on the former phase of this development.

a) the consequence of this is that the buffer of space and, in the case of 6611 Minoru, of tree lining between the park and construction, vanishes. It could be noted, for the sake of the argument, that the Erickson - Massey building, besides this gardened buffer, distances 18 metres from the park, and not, as is being proposed here 3,25 metres. The developers suggest that this is an urban strategy as it puts 'eyes on the street'. But the point is that the park is not the street, and experiencing the park in the walkway of phase one, what the park goer is saluted with is not an 'urban environment' but the clutter of stuff that the residents of townhouses accumulate in their entryways, transforming what used to be a pleasant fruition experience into a memory of trajectories that should now be avoided.

b) in sum, it seems highly doubtful that this semi privatisation of a public park may serve public interest.

c) finally, since the Erickson – Massey project establishes the 18 metres distance from the park, why not work with that reference and demand solutions that work towards both the protection of the park (establishing a buffer distance) and the value of the already existing built city?

3. The projected wall to the south of the proposal seems to advance about 1,50 towards the south limit in relation to the existing construction, that is, reducing the already limited space between buildings, with the added drawback of creating a barrier in concrete throughout the whole limit of the building (very similar to the effect created by the existing south limit of phase one). Besides unpredicted wind and weather related effects caused by another East-West barrier (of 3 storeys plus height) at 5,2 meters from the existing building, it is unclear which, if any, measures were considered to diminish possible weather related effects as well as the predictably disturbing acoustic effects.

These are 3 issues: 1) excessive proximity to the park of one high rise, 2) excessive proximity to the park of a row of townhouses, and 3) construction of a 3 storeys plus continuous wall from Mah Bing road to 5,1 meters from the park that should be given further consideration, given the foreseeable drawbacks that they will bring to the area, the park and the city.

Best regards,
Andrea Roca

From: Nuno Porto <nunoaporto@gmail.com>
Sent: July 28, 2020 8:55 PM
To: CityClerk
Subject: DP 18-837117

To Development Permit Panel
Date: <u>July 29, 2020</u>
Item # <u>4</u>
Re: <u>DP 18-837117</u>



Development Permit Panel

To whom it may concern.

I am hereby submitting my comments regarding the above referenced application, hoping these may be taken into account and contribute to better serve the city of Richmond. Not being an expert, I am expressing this opinion as a citizen that routinely enjoys the park, and a neighbour from the building to the South, on 6611 Minoru Boulevard.

At first impression this part two of the Park Residences offers a closure to the project already executed and contributes to the harmony of the neighbourhood. In particular, it projects a very welcome green area between part one and the projected plan, that seems to promise continuity between both phases (the existing and the projected) and between the city and the park.

On a more detailed analysis, however, the proposed plan does raise concerns on a number of points, as I will try to cover below.

1. This phase two doesn't seem to be site sensitive.

I mean by this that instead of adopting an inclusive and dialoguing relation with the pre-existing built environment, the park included, it tends to operate in what could be qualified as a predatory mode. In the proposed development, phase one and two would be very well integrated, but this would be so at expenses of the neighbouring areas, park included. Examples of this are:

a) the proposed 15 store high tower at the north, literally bordering the park;

b) the advancement (in relationship to what is built there now) of about 12 metres towards the park, leaving a distance of 3,5 metres between the park and the proposed construction of a row of townhouses, similar to the existing in the already built phase of the complex.

c) the reduction of the space between the existing first building of the complex designed by Arthur Erickson and Gilbert Massey, from the seventies, 6611 Minoru, and a proposed wall of concrete 3 storey plus high that runs from Mah Bing road to 5 metres from the park.

2. For a number of reasons it would seem preferable to project the greenway at the South limit of the project adding a buffer between the Ericson-Massey complex and this project. The proposed

greenway that connects the park with Murdoch Road – which, again, might not be such a good idea -- seems to act as a strategy to approach towards the park (and it should be added, towards an area of the park with a couple of centennial trees) the two buildings and the townhouses row to the south of the projected greenway. From the blue prints it is noticeable that these are much more closer to the park than the townhouse rows on the former phase of this development.

a) the consequence of this is that the buffer of space and, in the case of 6611 Minoru, of tree lining between the park and construction, vanishes. It could be noted, for the sake of the argument, that the Erickson - Massey building, besides this gardened buffer, distances 18 metres from the park, and not, as is being proposed here, 3,25 metres. The developers suggest that this is an urban strategy as it puts 'eyes on the street'. But the point is that the park is not the street, and while experiencing the park in the walkway of phase one, what the park goer is saluted with is not an 'urban environment' but the clutter of stuff that the residents of townhouses accumulate in their entryways, transforming what used to be a pleasant fruition experience into a memory of trajectories that should now be avoided.

b) in sum, it seems highly doubtful that this semi privatisation of a public park may serve public interest.

c) finally, since the Erickson – Massey project establishes the 18 metres distance from the park, why not work with that reference and demand solutions that work towards both the protection of the park (establishing a buffer distance) and the value of the already existing built city?

3. The projected wall to the south of the proposal seems to advance about 1,50m towards the south limit in relation to the existing construction, that is, reducing the already limited space between buildings, with the added drawback of creating a barrier in concrete throughout the whole limit of the building (very similar to the effect created by the existing south limit of phase one). Besides unpredicted wind and weather related effects caused by another East-West barrier (of 3 storeys plus height) at a mere 5,2 meters from the existing building, it is unclear which, if any, measures were considered to diminish possible weather related effects as well as the predictably disturbing acoustic effects.

These are 3 issues 1- excessive proximity to the park of one high rise, 2 - excessive proximity to the park of a row of townhouses and 3 -construction of a 3 storeys plus continuous wall from Mah Bing road to 5,1 meters from the park that should be given further consideration, given the foreseeable drawbacks that they will bring to the area, the park and the city.

Last but not least, the proposal presents a number of innuendos that should either be proved or removed, at the risk of – if the proposal is moved forward as it is – establishing as truthful something that possibly is not.

With regards,

Schedule 15 to the Minutes of the Development Permit Panel meeting held on Wednesday, July 29, 2020.

From: Esther JKh <joliedebora21@gmail.com>
Sent: July 28, 2020 9:24 PM
To: CityClerk
Subject: Meeting

To Development Permit Panel	
Date:	<u>JULY 29, 2020</u>
Item #	<u>4</u>
Re:	<u>DP 18-837117</u>

Hello my name is Mirene Raphael

I'm at unity #E221 I won't be able to be at the meeting tomorrow Wednesday July 29th 2020 at 3:30pm sorry I will be at work but I would love too

Thank you for understanding

Mirene

--

Sent from Gmail Mobile



Schedule 16 to the Minutes of the Development Permit Panel meeting held on Wednesday, July 29, 2020.

To Development Permit Panel
Date: <u>JULY 29, 2020</u>
Item # <u>4</u>
Re: <u>DP 18-837117</u>

From: Lee, Edwin
Sent: July 29, 2020 11:49 AM
To: 'Shelvin Chandra'; CityClerk
Subject: Correspondence related to DP 18-837117 - 6333 Mah Bing Street

Categories: Rustico (DPP & ADP)

Dear Shelvin,

Thank you for your email of July 29, 2020 regarding the Development Permit application for 6333 Mah Bing Street (DP 18-837117).

Please note that minutes of the Development Permit Panel meeting will be available on the city's website approximately two weeks after the meeting.

Here is a link to the DPP meeting agenda and minute page:

<https://www.richmond.ca/cityhall/council/meeting/WebAgendaMinutesList.aspx?Category=8&Year=2020>

Should you have further questions regarding the proposed development, please feel free to contact me at 604-276-4121.

Regards,
Edwin

From: Shelvin Chandra <schandra93@hotmail.com>
Sent: July 29, 2020 10:16 AM
To: CityClerk <CityClerk@richmond.ca>
Subject: Proposed Redevelopment of 6391/6491 Minoru Blvd



Hi,

I am a tenant at #301 - 6491 Minoru Blvd but will not be able to attend the meeting at 3:30 pm today due to work commitments.

Can I please be forwarded the meeting minutes and any other notes deemed important?

Thanks in advance!!

Sincerely,
Shelvin Chandra.



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: August 25, 2020

From: Wayne Craig
Director, Development

File: DP 17-771210
(via DP 20-906520)

Re: **Application by Hamilton Village Care Centre Holdings Ltd. for a General Compliance Ruling to Development Permit (DP 17-771210) at 23111 Garripie Avenue**

Staff Recommendation

That the attached plans involving changes to the design of the proposed landscaping and to the approved ESA compensation area be considered to be in General Compliance with the approved Development Permit (DP 17-771210).

A handwritten signature in black ink, appearing to read "Wayne Craig", with a large, stylized flourish at the end.

Wayne Craig
Director, Development
(604-247-4625)

WC:rp
Att. 4

Staff Report

Origin

Hamilton Village Care Centre Holdings Ltd. has requested a General Compliance ruling regarding a minor change to the issued Development Permit (DP 17-771210) for a senior's care facility building at 23111 Garripie Avenue in Hamilton Village. The Director of Hamilton Village Care Centre Holdings Ltd. is Mary McDougal. A location map for the subject property is provided (Attachment 1).

The rezoning for the project (RZ 16-738480), to the "Senior's Care Facility (ZR11) – Hamilton Village (Hamilton)" zone, was adopted by Council on January 15, 2018. Subsequently, a Development Permit (DP 17-771210) was issued on January 29, 2018. The subject site currently contains a nearly-completed senior's care facility.

The proposed modifications to the Development Permit include changes to landscaping and also the ESA compensation area that was approved via Development Permit DP 17-771210. A Servicing Agreement (SA 17-773932) for off-site works was previously approved, and the proposed changes do not necessitate any changes to that agreement.

Background

Development surrounding the subject site is as follows:

- To the north, low density residential lots zoned "Single Detached (RS1/F)" and "Two-Unit Dwellings (RD1)" which contain a single-family dwelling. This area has been designated by the Hamilton Area Plan for future stacked townhouse development.
- To the east, low density residential lots zoned "Single Detached (RS1/F)" which contain a single-family dwelling. This area has been designated by the Hamilton Area Plan for future stacked townhouse development.
- To the south, a private road (Garripie Avenue, over which a Public Right-of-Passage (PROP) has been secured), across from which is located a 130-unit senior's housing building under construction (as of the date of this report). The Development Permit for that site (DP 15-716274) was issued on January 29, 2018.
- To the west, across Westminster Highway, a vacant former fire hall site is zoned "School and Institutional (SI)" and low density residential lots zoned "Single Detached (RS1/F)" which contain a single family dwelling. This area has been designated by the Hamilton Area Plan for townhouse development.

Staff Comments

The proposed changes to the plans attached to this report are in general compliance with the issued Development Permit for this project (see Attachment 2 for the relevant approved drawings). In addition, the proposed changes (Attachment 3) complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Senior's Care Facility (ZR11) – Hamilton Village (Hamilton)" zone.

Analysis***The Removal of Tree #869:***

- A Western Red cedar tree (#869) has been removed along the Westminster Highway frontage, following unlawful excavation within the tree protection zone and the resulting destruction of its critical root system and significantly impacting its structural stability.
- The location of tree #869 is shown in a red bubble in Attachments 2 & 3, on Plan L-02 in both cases.
- Tree Preservation staff fined the owner and the offending contractor in accordance with Tree Protection Bylaw No. 8057 for the damage caused to tree #869.
- Tree #869 was subsequently authorized for removal by Tree Preservation staff, who recommended that the tree be removed immediately by the project arborist, as it was deemed to be at high risk of failure following the unlawful excavation.
- Tree #869 would be replaced by two new 3.5m (11 ft) high Western Red Cedar trees, in accordance with the City's tree compensation strategy (Attachment 3, Plan L-03B). The plantings proposed under and around the area of the new trees would use the same flora pallet (all of which are native species and included in the ESA planting list), but rearranged slightly to accommodate the new trees.

The introduction of a Gabion Wall:

- A gabion wall, which is a wall composed of rocks encased in a wire mesh, is proposed at the northwest corner of the site in order to protect two existing trees (#871 & 872) from the raised grades required on-site (which are impacted by an unanticipated finished grade along Garripie Avenue).
- Several other proposed trees, approved via DP 17-771210, are relocated slightly to accommodate the gabion wall.
- The plantings proposed around the new wall would use the same flora pallet (all of which are native species and included in the ESA planting list).

The Relocation of a Pad Mounted Transformer

- A Pad Mounted Transformer (PMT), as required by BC Hydro, has been constructed along the Westminster Highway frontage.
- At the time of Development Permit, the PMT was anticipated to be located inside the loading bay (atop the suspended slab). Following Development Permit issuance, it was relocated by BC Hydro based on requirements for it to be located along Westminster Highway and founded on soil, and the constructed location was concluded to be the least intrusive option.
- Plantings around the new PMT (but within the ESA-exclusion area noted below) would be updated to coordinate with the planting patterns and flora pallet (all of which are native species and included in the ESA planting list).

Reallocation of ESA compensation area:

- A roughly 31 m² (334 ft²) portion of the DP-approved ESA compensation area along the Westminster Highway frontage has been claimed by the above-noted PMT. As a result, the PMT and surrounding area should be excluded from the ESA compensation area.

- A 31.8 m² (342 ft²) area along the Garripie Avenue frontage at the south side of the building, contiguous with the existing approved ESA area, would be added into the ESA compensation area, in order to offset the loss noted above (Attachment 3, Plan L-05).
- Plantings in both the area around the PMT (which is proposed to be excluded from the ESA) and the proposed ESA addition area along the Garripie Avenue would be updated to coordinate with the surrounding planting patterns and flora pallet.
- A recent survey (Attachment 4) demonstrates a provision of 1,099.1 m² of ESA compensation area, which meets the minimum requirement for 1099 m², as approved via DP 17-771210. For comparison, the previously-approved ESA is demonstrated in Attachment 2, Plan L-05).
- The applicant has confirmed that the revised compensation strategy is consistent with the DP-approved ESA compensation plan.
- City staff have reviewed the revised ESA compensation plan and support the relocation.
- An amendment to the ESA Agreement would be required in order to update it with the new survey of the ESA compensation area to describe the new ESA compensation area (Schedule A of the Agreement) and the SRW area that permits City staff to access the ESA compensation area (Schedule B of the Agreement)

Other Landscaping Changes

- A small (7.3 m²; 79 ft²) triangular planting area on the Garripie Avenue frontage (located between the parallel parking spaces and the driveway loop) is proposed to be replaced with paved sidewalk, in order to accommodate a new crosswalk proposed across Garripie Avenue and a PROP statutory right-of-way (SRW) on the subject property.
- A screening fence for the solid waste staging area at the southeast corner of the site is proposed to be removed from the Landscape Plan set. The applicant has noted that there had been coordination issues between the architect and the landscape architect during preparation of the drawing package for DP 17-771210, resulting in the screening fence being erroneously included in the DP-approved landscape drawings. The applicant has confirmed that the solid waste is stored within the building and is staged outside in this area for a limited time only on collection days. The applicant now seeks its removal of the screening fence from the Landscape Plans.

Landscaping Security

- A \$52,878 Letter of Credit was taken as a security for landscaping in the ESA at the time of the original Development Permit.
- In addition, a \$283,376 Letter of Credit was taken as a security for non-ESA landscaping at the time of the original development permit.
- As of the date of this report, the City of Richmond still holds both Letters of Credit in their entirety. Given the nature of the proposed changes, additional securities are not required.

August 25, 2020

DP 17-771210

Conclusions

Hamilton Village Care Centre Holdings Ltd. has requested a General Compliance ruling for proposed changes to landscaping. The proposed modifications are within the scope of the General Compliance Guidelines as adopted by Council. Staff have no objection to the proposed revisions. Staff recommend support of this General Compliance request for the proposed changes to the approved Development Permit.



Robin Pallett
Planner 2
(604-276-4200)

RP:blg

Attachments:

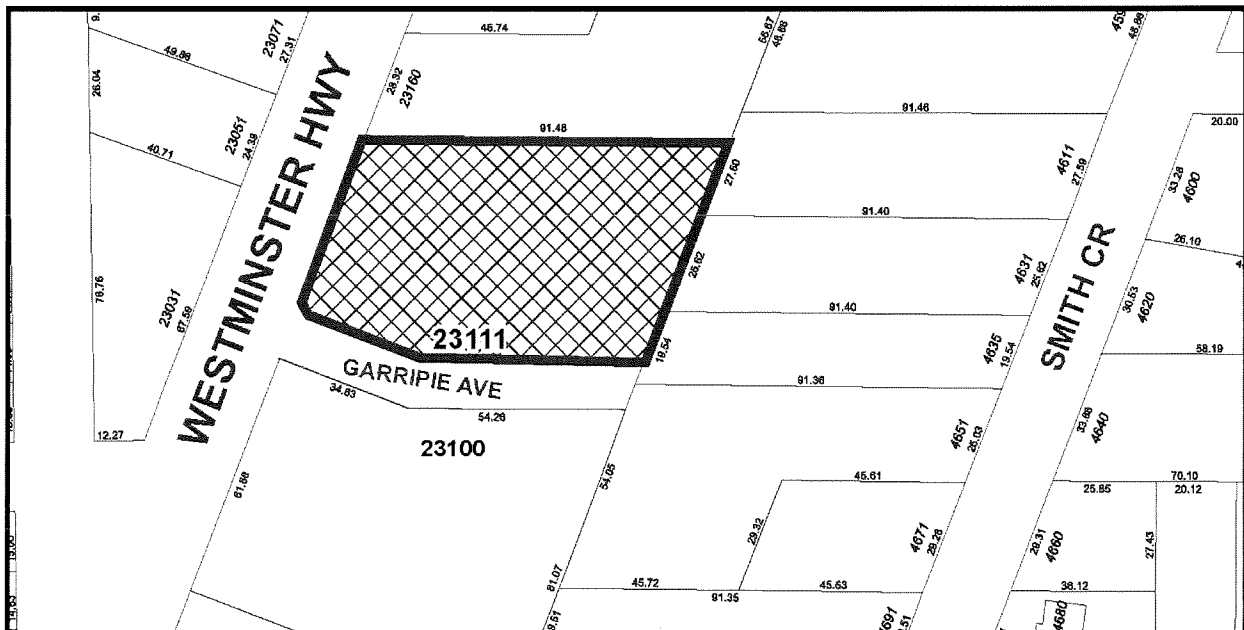
- Attachment 1: Location Map
- Attachment 2: Approved Design via DP 17-771210
- Attachment 3: Proposed Design
- Attachment 4: Survey of the proposed ESA

The following are to be met prior to forwarding this application to Council for consideration:

- Register an amendment to, or replacement of, the ESA covenant that is registered on the title of the subject property to replace its Schedule "A" Plan EPP75559 and Schedule "B" Plan EPP75726 with Plan EPP99756 in order to accommodate the proposed reallocation of ESA compensation area.



City of
Richmond



DP 17-771210

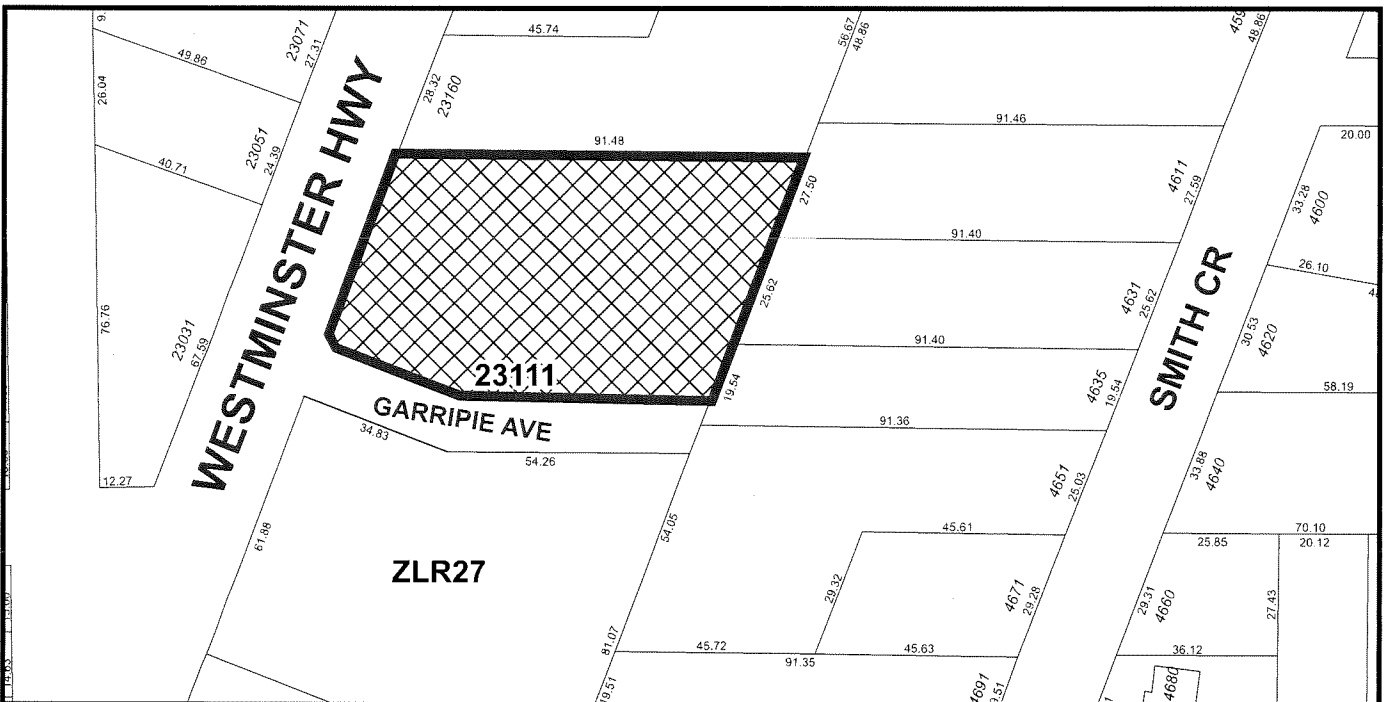
Original Date: 05/15/17

Revision Date: 07/14/20

Note: Dimensions are in METRES



City of Richmond



DP 17-771210
SCHEDULE "A"

Original Date: 05/15/17

Revision Date: 07/14/20

Note: Dimensions are in METRES

- Due to significant on-site regrading, trees 059, 038 and 054 considered for removal. Owner to negotiate permission to remove trees with neighbour. Letter granting permission to be provided to City.



1 TREE RETENTION PLAN



(2) TREE PROTECTION - CITY OF RICHMOND
Scale NTS

Trees shown as 'Removed Tree' existed on site during the first arborist review and report. Tree removals were documented by the arborist and surveyor in January 2017.

Trees shown as 'Removed Tree' existed on site during the first arborist review and report. Tree removals were documented by the arborist and surveyor in January 2017.

Note:

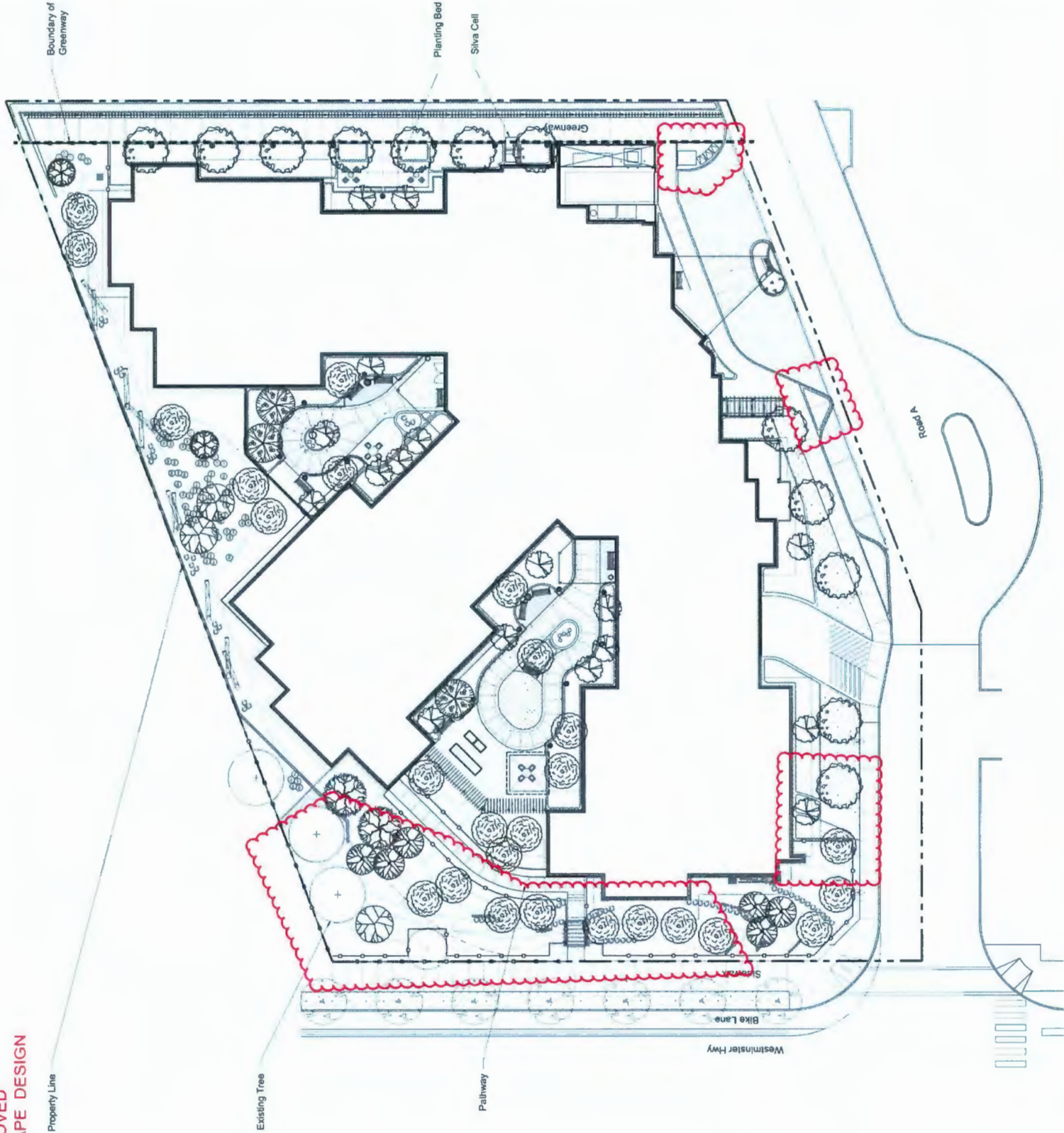
1. Contact Arborist (Austin Peterson, 604-882-0024, austin@vz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
2. Read this plan together with the arborist report prepared by Austin Peterson, Revision 3, February 2, 2017.

Note:

1. Contact Arborist (Austin Peterson, 604-882-0024, austin@vz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
2. Read this plan together with the arborist report prepared by Austin Peterson, Revision 3, February 2, 2017.



DP APPROVED
LANDSCAPE DESIGN



1 OVERALL SITE PLAN
Scale: 1:200

NOTES:
1. THIS LANDSCAPE DESIGN IS A PRELIMINARY DESIGN AND IS SUBJECT TO THE APPROVAL OF THE CITY OF VICTORIA.
2. THE DESIGNER HAS CONDUCTED VISUAL IMPACT ASSESSMENTS AND HAS CONSIDERED THE IMPACTS OF THE PROPOSED DEVELOPMENT ON THE SURROUNDING ENVIRONMENT.
3. THE DESIGNER HAS CONSIDERED THE IMPACTS OF THE PROPOSED DEVELOPMENT ON THE SURROUNDING ENVIRONMENT.
4. THE DESIGNER HAS CONSIDERED THE IMPACTS OF THE PROPOSED DEVELOPMENT ON THE SURROUNDING ENVIRONMENT.

NO.	DATE	REVISION
8	July 14/17	DP Re-submission
7	May 25/17	DP Re-submission
6	April 24/17	DP Submission
5	Feb 20/17	Advanced Plan Re-submission
4	Dec 20/16	Receiving Re-submission

PROJECT:
HAMILTON VILLAGE - Residential Care Facility

CLIENT:
TRELLIS
SENIORS SERVICES

DRAWING TITLE:
OVERALL TREE PLAN

L-03B



DEREK CRAWFORD ARCHITECT INC.
127 Rainbow Road, Salt Spring Island BC, V8K 2V5
T: 604.688.8370 F: 604.688.8371 E: info@dc-arch.ca W: www.dc-arch.ca

CONSULTANT
van der Zahn + Associates Inc.
1000 West 10th Ave, Suite 1000
V6H 1Y1
Vancouver, BC
Tel: 604.688.8371
Fax: 604.688.8371
Email: info@dc-arch.ca
Web: www.dc-arch.ca

REGULAR PLANT SCHEDULE

TREE LEGEND	AI	AP	CH	CJ	FO	MG	BT
SYMBOL/NOTATION	AI	AP	CH	CJ	FO	MG	BT
COMMON NAME	AI	AP	CH	CJ	FO	MG	BT
SPACING	1	1	1	1	1	1	1
PLANTING	1	1	1	1	1	1	1

ESA PLANT SCHEDULE - Westminster Frontage

TREE LEGEND	AI	AP	CH	CJ	FO	MG	BT
SYMBOL/NOTATION	AI	AP	CH	CJ	FO	MG	BT
COMMON NAME	AI	AP	CH	CJ	FO	MG	BT
SPACING	1	1	1	1	1	1	1
PLANTING	1	1	1	1	1	1	1

ESA PLANT SCHEDULE - North Yard

TREE LEGEND	AI	AP	CH	CJ	FO	MG	BT
SYMBOL/NOTATION	AI	AP	CH	CJ	FO	MG	BT
COMMON NAME	AI	AP	CH	CJ	FO	MG	BT
SPACING	1	1	1	1	1	1	1
PLANTING	1	1	1	1	1	1	1

TREE SCHEDULE	SYMBOL/NOTATION	COMMON NAME	UTLTY	SIZE	SPACING
AI	AI	AI	AI	AI	AI
AP	AP	AP	AP	AP	AP
CH	CH	CH	CH	CH	CH
CJ	CJ	CJ	CJ	CJ	CJ
FO	FO	FO	FO	FO	FO
MG	MG	MG	MG	MG	MG
BT	BT	BT	BT	BT	BT

Attachment 3: Proposed changes



Trees shown as 'Removed Tree' existed on site during the first arborist review and report. Tree removals were documented by the arborist and surveyor in January 2017.

Note:

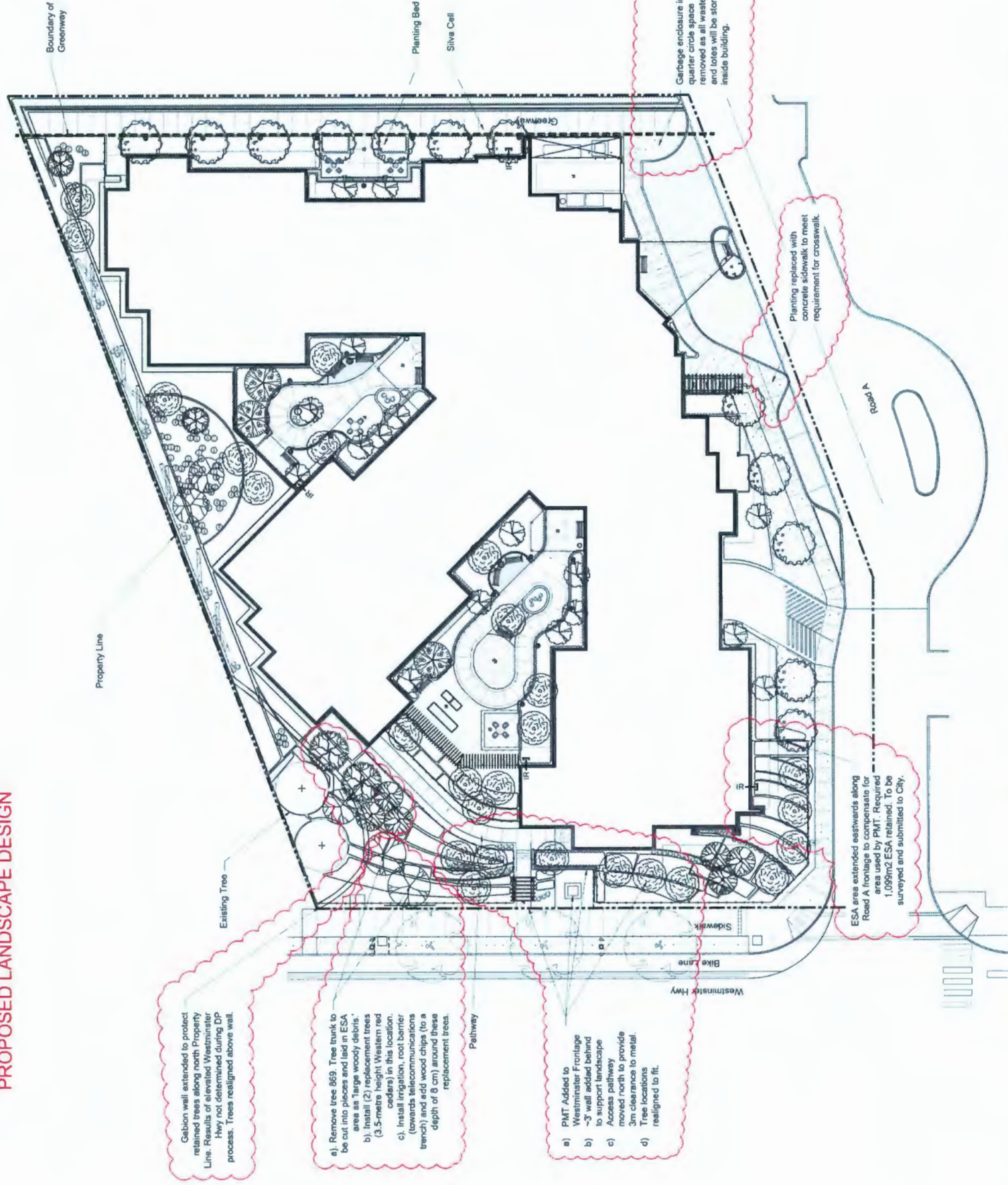
1. Contact Arborist (Austin Peterson, 604-882-0024, austin@vdc.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
2. Read this plan together with the arborist report prepared by Austin Peterson. Revision 3, February 2, 2017

Note:

1. Contact Arborist (Austin Peterson, 604-882-0024, austin@vdc.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
2. Read this plan together with the arborist report prepared by Austin Peterson. Revision 3, February 2, 2017



PROPOSED LANDSCAPE DESIGN



REGULAR PLANT SCHEDULE
TREE LEGEND

ST	
MC	
PO	
CI	
CH	
AF	
N	




TREES SCHEDULE		SYMBOL/NOT INICAL NAME		COMMON NAME	QTY	SIZE	SPACE/3
DE CORDOBS TREES							
AJ	<i>Acacia senecioides</i> Acacia senecioides	Folioli	From 10m	1	10-15	From 10m	10m
AP	<i>Acacia parramattensis</i> Acacia parramattensis	Angustifolia	From 10m	17	10-15	From 10m	10m
CI	<i>Acacia robusta</i> Acacia robusta	Widifolia	From 10m	8	10-15	From 10m	10m
CH	<i>Acacia chrysophylla</i> Acacia chrysophylla	Angustifolia	From 10m	12	10-15	From 10m	10m
MS	<i>Myrsine laevis</i> Myrsine laevis	Angustifolia	From 10m	1	10-15	From 10m	10m

ESA PLANT SCHEDULE - Westminster Frontage

Tree Legend	Shrub	Shrub	Shrub	Shrub	Shrub

TREES SCHEDULE				
SYMBOL	SYMBOLIC NAME	COMMON NAME	QTY	SPACES
DC000003	TREES			
01	Curran nuttallii	Western Hemlock	15	Plant as shown
COLLAR CROWN TREES				
02	Alnus gracilis	Grayed P.e	2	Plant as shown
03	Alnus gracilis	Douglas P.e	1	Plant as shown
04	Pseudotsuga menziesii			

ESA PLANT SCHEDULE - North Yard

	AG
	PM
	CI

[illegible][illegible]

DEREK CRAWFORD ARCHITECT INC.
 1000 West 10th Avenue, Suite 200, Vancouver, BC V6H 1T5
 Tel: 604.681.8371 Fax: 604.681.8372 Email: dcrench@dc-arch.ca
 Web: www.dc-arch.ca

(1) OVERALL SITE PLAN
Scale 1/200

OVERA
Scale 1 200

NOTES:

CHANGES AND SPECIFICATIONS TO INSTRUMENTS OF SERVICE USE THE PROPERTY OF CORDER CHAMBERLAIN INCORPORATED. THE COPYRIGHT IN THE SAME IS HEREBY RETURNED TO THEM BY THE USER.

THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE ACCORDING TO WHICH WAS DECLASSIFIED BY THE NAME "ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE ACCORDING TO WHICH WAS DECLASSIFIED BY THE NAME"

FIVE DASHES MUST NOT BE SCALED THE CONTRACTOR IS TO REVEAL ALL DATA AND REPORTS AND IS NOT TO INTERFERE WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLY FOR ANY VIOLATION OF THE CONTRACT.

IT IS THE POLICY OF CORDER CHAMBERLAIN INCORPORATED THAT ALL INFORMATION IS TO BE USED FOR CONTINUING WORK PURPOSES UNLESS SPECIFICALLY REQUESTED BY THE CONTRACTOR.

18	Jul 14/2020	Compliance Application (Rev 1)
17	Jun 16/2020	Compliance Application
16	Apr 06/20	LSM3 - Main Entrance Plaza paving
15	Mar 26/20	LSM2 - Entrance path on Westminster Hwy
14	Aug 07/19	For Fortis
NO.	DATE	REVISION

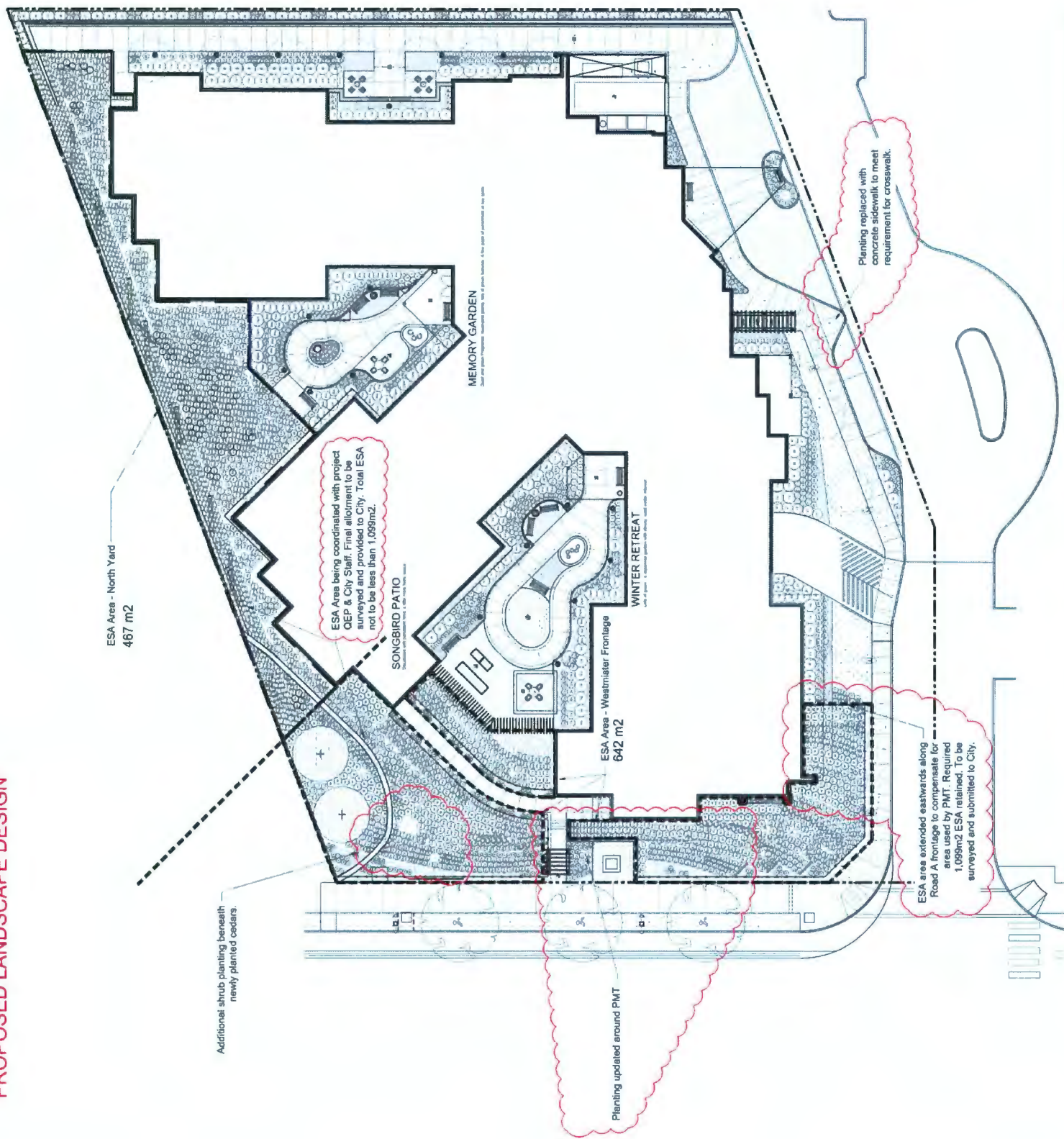
PROJECT:
HAMILTON VILLAGE - Residential Care
Facility

CLIENT: **STRAHL** SENIORS SERVICES

DRAWING TITLE:
OVERALL TREE PLAN

L-03B

PROPOSED LANDSCAPE DESIGN

REGULAR PLANT SCHEDULE

GRASSES SCHEDULE				
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
	GRASSES			
Dc	<i>Deschampsia cespitosa</i> 'Goldstar'	Tufted Hair Grass	232	# 1 Pot 600mm O.C.
	<i>Lirioden monstera</i> 'Blue Star'	Blue Lily Turf	280	# 1 Pot 450mm O.C.
O	<i>Ophiopogon japonicus</i>	Green Mondo Grass	131	# 1 Pot 450mm O.C.

SHRUBS SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPECING
DECIDUOUS B-SHEDS					
Aa	<i>Asteranthus divaricatus</i>	Snowbell	13	2 1/2 Pot	150mm O.C.
Ca	<i>Coronilla varia</i>	Winter Dazzle	157	# 2 Pot	600mm O.C.
Da	<i>Diervilla lonicera</i>	Blackberry	15	# 2 Pot	1200mm O.C.
Ea	<i>Elaeagnus argentea</i>	Winter Dazzle	75	# 2 Pot	1200mm O.C.
EVERGREEN B-SHEDS					
Ba	<i>Buxus sempervirens</i>	Box	191	# 3 Pot	800mm O.C.
Ca	<i>Calceolarius divaricatus</i>	Box	191	# 3 Pot	800mm O.C.
Da	<i>Daphne genkwa</i>	Box	28	# 3 Pot	1200mm O.C.
Ea	<i>Elaeagnus argentea</i>	Box	28	# 2 Pot	600mm O.C.
Fa	<i>Forsythia suspensa</i>	Box	56	# 2 Pot	600mm O.C.
Ga	<i>Gaultheria procumbens</i>	Box	56	# 2 Pot	600mm O.C.
Ha	<i>Hamamelis virginica</i>	Box	56	# 2 Pot	600mm O.C.
Ia	<i>Illicium anisatum</i>	Box	56	# 2 Pot	600mm O.C.
Ja	<i>Juniperus horizontalis</i>	Box	56	# 2 Pot	600mm O.C.
Ka	<i>Kalmia latifolia</i>	Box	56	# 2 Pot	600mm O.C.
La	<i>Larix laricina</i>	Box	56	# 2 Pot	600mm O.C.
Ma	<i>Malus baccata</i>	Box	56	# 2 Pot	600mm O.C.
Na	<i>Nandina domestica</i>	Box	56	# 2 Pot	600mm O.C.
Pa	<i>Pinus strobus</i>	Box	56	# 2 Pot	600mm O.C.
Qa	<i>Quercus prinus</i>	Box	56	# 2 Pot	600mm O.C.
Ra	<i>Rosa rugosa</i>	Box	56	# 2 Pot	600mm O.C.
Sa	<i>Saxifraga oppositifolia</i>	Box	56	# 2 Pot	600mm O.C.
Ta	<i>Taxus canadensis</i>	Box	56	# 2 Pot	600mm O.C.
Va	<i>Vaccinium corymbosum</i>	Box	56	# 2 Pot	600mm O.C.

PERENNIALS[illegible]GROUNDCOVERS/VINES

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
DECIDUOUS SHRUBS					
	<i>Ardischia trifolia</i> var. <i>uni</i>	Kinnikinnick	52	# 1 Pot	450mm O.C.
	<i>Fragaria chiloensis</i>	Beach Strawberry	15	# 1 Pot	450mm O.C.
Ca	<i>Clematis amurensi</i>	Evergreen Clematis	1	# 1 Pot	450mm O.C.
P	<i>Parthenocissus tricuspidata</i>	Boston Ivy	2	# 2 Pot	as per plan

ESA PLANT SCHEDULE - North Yard

[illegible]

GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
DECIDUOUS SHRUBS					
PA	<i>Polystichum nudum</i>	Sword Fern	57	8 1/2' Per	750mm O.C.
PA	<i>Platanus aquilum</i>	Bracken Fern	57	100cm per	750mm O.C.

ESA PLANT SCHEDULE - Westminster Frontage

SHRUBS SCHEDULE			QTY	SIZE	SPACING
SYMBOL	BOTANICAL NAME	COMMON NAME			
Ga	<i>Gaultheria shallon</i>	Sail	250	1' Fed	1000m O.C.
Co	<i>Cornus racemosa</i>	Red Yew Dogwood	130	1' Fed	1000m O.C.
M	<i>Malva sylvestris</i>	Tall Garden Mallow	152	1' Fed	1200m O.C.
Pr	<i>Prinosyris aquifolium</i>	Western Spotted Fern	16	1' Fed	1000m O.C.
Re	<i>Rosa rugosa</i>	Rugosa Rose	152	1' Fed	1000m O.C.
Sy	<i>Symphoricarpos alba</i>	Amur Maids Rites	152	1' Fed	1000m O.C.
Va	<i>Vaccinium myrtillus</i>	European Huckleberry	44	1' Fed	1500m O.C.

GROUNDCOVERS

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY	SPACING
DECIDUOUS TREES					
	<i>Malvastrum</i> sp.			23'	600mm OC
	Alternanthera var. (adaptable)	Dull Oregon Grape		114m2	
	Alternanthera var. (adaptable)	Custom mix - Wild Coast seeds			
	Alternanthera var. (adaptable)	Native grasses			

PERENNIALS

PRENATALS	SYMBOL/BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
A	<i>Alnus incana</i>	Needling Onion	78	10cm Pot	450mm O.C.
A	<i>Aspidula matricaria</i>	Common Yarrow	91	8 1/2 Pot	450mm O.C.
De	<i>Desmodium illinoense</i>	Tufted Hairybean	244	8 1/2 Pot	800mm O.C.

- [illegible]

NOTES:

18	JUL 14/2020	Compliance Application (Rev 1)
17	JUN 16/2020	Compliance Application
16	APR 06/20	LSM3 - Main Entrance Plaza paving
15	MAY 26/20	LSM2 - Entrance path on Westminster Hwy
14	AUG 07/19	For Forth
NO.	DATE	REVISION

PROJECT:
HAMILTON VILLAGE - Residential Care
Facility

CLIENT: TRELLIS SENIORS SERVICES

DRAWING TITLE:
PLANTING PLAN

L-05

CONSULTANT

van der Zaaij + associates inc

• Markt- & Investitions- • Grafik- & Kommunikations-
• Unternehmens- • Marketing- & Werbung

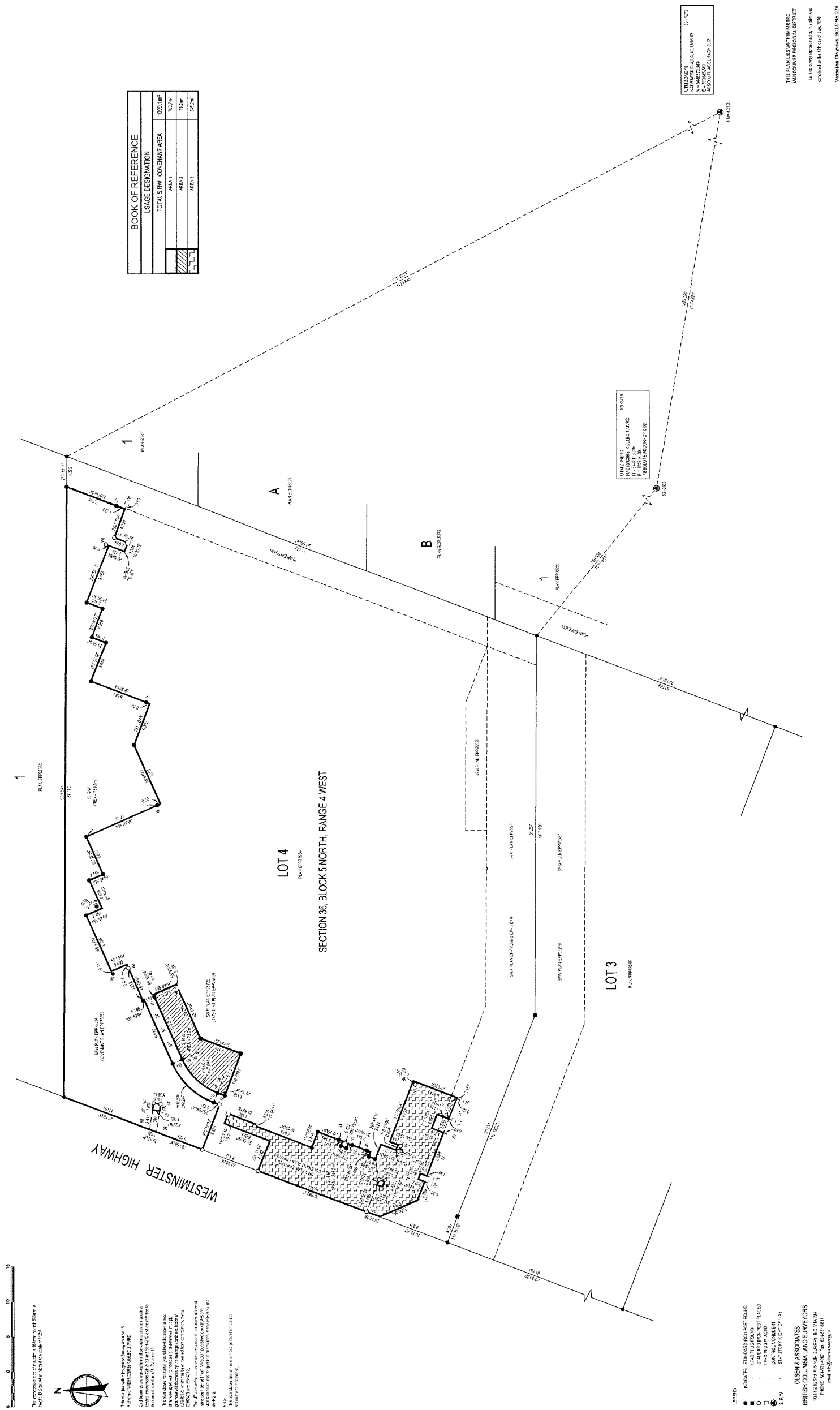
10017 10th Avenue
Langley, British Columbia
V3M 0B8

7 604 882 0342
7 604 882 0343
info@vzaaij.com



DEREK CRAWFORD ARCHITECT INC.
127 Rainbow Road, Salt Spring Island BC, V8K 2V5
T: 604 888 8370 F: 604 888 8371 E: info@dc-arch.ca W: www.dc-arch.ca

FOR ENVIRONMENTAL PROTECTION PURPOSES
Pursuant to Section 113 of the Land Title Act
BCGS 92G 016





City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: August 25, 2020

From: Wayne Craig
Director, Development

File: DP 18-818403

Re: **Application by Konic Development Ltd. for a Development Permit at
7151 No. 2 Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of four townhouse units at 7151 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) reduce the minimum lot width on major arterial road from 50.0 m to 20.12 m; and
 - b) reduce the minimum front yard (east) setback from 6.0 m to 4.55 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 2

Staff Report

Origin

Konic Development Ltd. has applied to the City of Richmond on the behalf of Burgundy Estates Ltd. (Incorporation number: BC1187056; Director: Keith Kin Wai Leung) for permission to develop four three-storey townhouse units at 7151 No. 2 Road. The site is being rezoned from the “Single Detached (RS1/E)” zone to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 9762 (RZ 13-638387), which received Third Reading following the Public Hearing on November 20, 2017. The site currently contains one single-family home, which will be demolished. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, Presbyterian Church on a site zoned “Assembly (ASY)”.
- To the east, across No. 2 Road, to the north of Comstock Road, single-family homes on lots zoned “Compact Single Detached (RC1)”;
- To the south, a 26-unit townhouse complex on a lot zoned “Low Density Townhouses (RTL3)” with vehicle access from No. 2 Road.
- To the west, single-family homes on lots zoned “Single Detached (RS1/E)” fronting Langton Road.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on November 20, 2017. No concerns regarding the rezoning application were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouses (RTL4)” zone except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum lot width on major arterial road from 50.0 m to 20.12 m.

(Staff support the proposed variance since the subject site is an orphaned lot located between a church to the north and an existing townhouse development to the south. There is no opportunity for the developer to acquire additional property along No. 2 Road to meet the minimum lot width requirement. In addition, the proposal complies with the applicable development permit guidelines for arterial townhouse developments.)

- 2) Reduce the minimum front yard (east) setback from 6.0 m to 4.55 m.

(Staff support the requested variance based on the following:

- A 0.6 m wide road dedication along the entire No. 2 Road frontage is required to accommodate frontage improvement works.*
- The Arterial Road Guidelines for Townhouses in the OCP support a reduced front yard setback where a 6.0 m rear yard setback is provided, on condition that there is an appropriate interface with neighbouring properties.*
- The proposed rear yard setback is 9.75 m, which substantially exceeds the 6.0 m minimum rear yard setback under the Arterial Road Guidelines for Townhouses and the 3.0 m minimum rear yard setback under the “Low Density Townhouses (RTL4)” zone.*
- The resulting distance from the back of curb to the building face would be approximately 7.45 m.*
- The resulting reduced front yard setback does not compromise tree preservation or tree planting opportunity along the site frontage.*
- The proposed architectural design provides appropriate building articulation and interface with neighbouring properties.*
- To address the road traffic noise from No. 2 Road, the project acoustical engineer confirmed that the proposed development is designed to meet the interior noise limits as per the CMHC standards.*
- This variance was identified at rezoning stage, and no concerns were identified at that time).*

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel (ADP) on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

Analysis

Conditions of Adjacency

- The applicant is proposing to construct four three-storey townhouse units in one building cluster.
- The location of the proposed townhouse cluster is designed to provide maximum building separations to the adjacent residential developments. The proposed townhouse cluster is at least 9.5 m away from the closest unit on the adjacent townhouse development to the south, and approximately 20 m away from the adjacent single-family dwelling to the west.
- The outdoor amenity area will be situated at the west end of the site to provide a buffer between the proposed townhouse building and the adjacent single-family homes to the west.
- The existing site grade along the rear (west) property line will be maintained to provide an appropriate transition to the adjacent single-family properties to the west. A 1.8 m tall wood fence will be installed along the rear property line to protect the privacy of the neighbouring single-family home.
- The site grade along the north property line will be raised to enhance the relationship between the main living space (slab elevation at 2.50 m) and the private outdoor space (proposed finished site grade at 1.90 m). The height of the proposed retaining wall will be approximately 0.45 m. A 1.8 m tall wood fence will be installed on top of the wall, which will be located adjacent to the parking lot of the church site to the north.
- The site grade along the south property line will be raised to match the existing site grade of the adjacent townhouse development to the south. No new retaining wall will be required.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Site Access

- Detailed assessment of site access was considered as part of the site Rezoning. A Cross-Access Easement is registered on Title of 7231 No. 2 Road to provide vehicle access to the subject site. This access arrangement was envisioned and secured when the adjacent townhouse development at 7231 No. 2 Road developed in 2006. Due to concerns raised by the neighbouring strata and long term transportation objectives, a direct access from No. 2 Road to the subject site is proposed. This site access arrangement was specifically considered at the Public Hearing for this development proposal and 3rd Reading to the Rezoning Bylaw was granted on November 20, 2017 subject to providing direct access to No. 2 Road.
- Typically, use of a cross access easement is pursued to restrict the number of access points on arterial roadways; however, staff support the proposed direct access for this development based on the following:
 - the proposed driveway will be designed to meet all current city standards, and there is adequate separation to the Granville Avenue/No. 2 Road intersection;
 - in the longer term, as traffic volume continues to increase on No. 2 Road, there is merit in providing a signalized intersection at No. 2 Road and Comstock Road. The proposed driveway will be located directly across from Comstock Road on the east side of No. 2

Road and provides opportunity for full movement at a signalized intersection at No. 2 Road and Comstock Road in the future; and

- the proposed driveway could potentially be used in the future to enhance vehicle access to/from the neighbouring site to the south via the intersection at No. 2 Road and Comstock Road.
- A Statutory Rights of Way over the entire internal drive aisle of the subject site has been secured at Rezoning to provide legal means of public/vehicular access to the existing and future developments to the south. This SRW will be pursued at City's discretion upon signalization at the No. 2 Road / Comstock Road intersection.
- A signage is proposed to be installed on the existing fence along the south property line to indicate that the driveway on the subject site may connect to the townhouse to the south so that future residents/owners/strata of the subject development are aware that they may be required to provide access to the south.

Urban Design and Site Planning

- The site layout of the townhouse proposal is organized along one short east-west drive aisle, providing access to the site from No. 2 Road and access to all unit garages.
- All units are three-storey, and contain side-by-side double car garages. One unit will front onto No. 2 Road and the other units will front onto the internal drive aisle.
- The unit proposed along No. 2 Road is designed to have a strong street presence with individual front entrance and front yard.
- One visitor parking space is proposed, as per the requirement of the Zoning Bylaw.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines (30 m² per unit) of the OCP. All units will have private outdoor spaces consisting of a front or a rear yard and a balcony on the second floor.
- The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all units.
- No indoor amenity space is proposed. A \$4,000 cash-in-lieu contribution has been secured as a condition of rezoning approval.
- The design of the garbage, recycling and organic waste storage enclosure has been incorporated into the design of the townhouse cluster to minimize the visual impact.
- A mailbox kiosk will be provided at the entrance to the townhouse development.

Architectural Form and Character

- The design of this project follows the craftsman style featuring low-pitched roofs, overhanging eaves, and tapered columns.
- A pedestrian scale is generally achieved along No. 2 Road and the internal drive aisle through the inclusion of variation in building projections, recesses, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, unit entrances, and planting islands along the drive aisle.

- The proposed building materials (hardie siding/panel, asphalt roof shingles, bricks, wood fascia board/trim/brackets, metal railing, etc.) are generally consistent with the Official Community Plan (OCP) Guidelines.
- A palette of warm earth tone colours with contrasting accents is proposed.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage; a total of two bylaw-sized trees were identified on-site, two trees were noted on the neighbouring properties, and one hedgerow was noted on the City's boulevard.
- The two on-site trees were identified for removal due to the condition of the trees. Based on the 2:1 tree replacement ratio stated in the Official Community Plan (OCP), four replacement trees are required. The applicant is proposing to plant six replacement trees on-site, including two conifers and four deciduous trees.
- Tree protection fencing are required to be installed on site for the protection of the neighbouring trees. A contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones has been secured at Rezoning.
- One Cedar hedge on city's boulevard along the east property line of the site will be in conflict with proposed vehicle access. Parks Operations staff agreed to the proposed removal based on the health and condition of the trees, as well as the required frontage improvement works along No. 2 Road. No compensation is required.
- The street edge along No. 2 Road will be defined with landscaping including various trees, shrubs and ground covers. A low 42 in. transparent aluminum fence with gates will be installed along the road frontage to accommodate visually interesting plant species.
- Each unit will have a private yard with an outdoor covered patio on the north side of the building. The yards will be separated with 1.8 m tall patio screens to provide privacy for individual units.
- An on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- The SRW for sanitary main along the west property line limits the placement of play equipment within the outdoor amenity space. A multi-functional play equipment with a variety of climbing apparatus and a double slide is chosen to fit into the provided space and to allow multiple children to play at the same time. A bench is also proposed near the children's play area for caregivers.
- Permeable pavers with decorative pattern will be used at the vehicle entrance, at the end of the internal drive aisle, and on the surface parking space to break up the expansive paved surface on-site.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$54,751.95 in association with the Development Permit.

Crime Prevention Through Environmental Design

- The site plan and individual unit layout create opportunity for passive surveillance.
- Individual unit entrances are visible from the public street or the internal drive aisle.
- Low planting is proposed along edges of buildings to keep the entry area open and visible.

Sustainability

- At the rezoning stage, the applicant committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating. This development is exempted from the Energy Step Code requirements since a Building Permit application for the proposed development was submitted to the City before December 31, 2019.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- The architect advised that EnergyStar appliances and light bulbs, as well as low E double glazing windows will also be incorporated into the development.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit #1) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner 2
(604-276-4121)

EL:blg

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Development Permit Considerations



DP 18-818403

Attachment 1

Address: 7151 No. 2 Road

Applicant: Konic Development Ltd.

Owner: Burgundy Estates Ltd.

Planning Area(s): Blundell

Floor Area Gross: 827 m²

Floor Area Net: 538 m²

	Existing	Proposed
Site Area:	920 m ²	908 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	1	4

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.59	none permitted
Lot Coverage – Building:	Max. 40%	31%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	52%	none
Lot Coverage – Landscaping:	Min. 25%	25%	none
Setback – Front Yard (m):	Min. 6.0 m	5.73 m to Building 4.55 m to Garbage Room	Variance Requested
Setback – North Side Yard (m):	Min. 3.0 m	3.04 m	none
Setback – South Side Yard (m):	Min. 3.0 m	7.5 m	none
Setback – Rear Yard (m):	Min. 3.0 m	9.75 m	none
Height (m):	Max. 12.0 m (3 storeys)	11.51m (3 storeys)	none
Lot Width:	Min. 50.0 m	20.11 m	Variance Requested
Lot Depth:	Min. 35.0 m	45.12 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.25 (V)	none
Off-street Parking Spaces – Total:	8 (R) and 1 (V)	8 (R) and 1 (V)	none

Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (8 x Max. 50% = 4)	0	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	0	none
Handicap Parking Spaces:	None when fewer than 3 visitor stalls are required	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.25 (Class 1) and 0.5 (Class 2) per unit	none
Off-street Parking Spaces – Total:	5 (Class 1) and 1 (Class 2)	5 (Class 1) and 2 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 4 units = 24 m ²	114 m ²	none

Other: Tree replacement compensation required for loss of significant trees.



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 7151 No. 2 Road

File No.: DP 18-818403

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9762.
2. Registration of a legal agreement on Title identifying that the proposed development must be designed and constructed in a manner that mitigates potential traffic noise from No. 2 Road to the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
3. Receipt of a Letter of Credit for landscaping in the amount of \$54,751.95 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing on site around all trees to be retained on adjacent properties prior to any construction activities, including building demolition, occurring on-site.

Note: Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit landscaping security (i.e. \$3,000 in total) to ensure the replacement planting will be provided.
2. Developer/contractor must contact the Parks Division (604-244-1208 ext. 1342) four (4) business days prior to the removal of the cedar hedge along the No. 2 Road frontage, in order to allow proper signage to be posted. All costs of removal and compensation are the responsibility borne by the applicant.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Incorporation of sustainability, CPTED and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to:

Water Works:

- a. Using the OCP Model, there is 283 L/s of water available at a 20 psi. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- b. The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.

Initial: _____

- Coordinate with the City's Fire Department to confirm whether the distance between nearest hydrant at No. 2 Road and the proposed farthest unit is within the Fire Department's standard.
- c. At the Developers cost, the City is to:
 - Install one new water service connection off of the existing 200mm AC watermain on No. 2 Road. Meter to be placed onsite (i.e. mechanical room).
 - Renew a portion of the existing 200mm AC watermain at No. 2 Road that will be impacted by the proposed site's new storm service connection.
 - Cut and cap at main, the existing water service connection along the No. 2 Road frontage.

Storm Sewer Works:

- a. At the Developers cost, the City is to:
 - Install a new storm service lead off of the existing box culvert along No. 2 Road complete with inspection chamber.
 - Cut and cap at inspection chamber the existing storm service lead at the northeast corner of the subject site.

Sanitary Sewer Works:

- a. The Developer is required to:
 - Not start onsite building construction prior to completion of rear yard sanitary works.
 - Provide a 3m wide utility SRW along the west property line of the proposed site.
- b. At the Developers cost, the City is to:
 - Install a sanitary lead directly into the existing manhole at the northwest corner of the site. The manhole will serve as the inspection chamber.
 - Cut, cap and remove the existing sanitary leads and inspection chambers along the north property line of the development site.

Frontage Improvements:

- a. The Developer is required to:
 - Coordinate with BC Hydro, Telus and other private communication service providers
 - To underground Hydro service lines.
 - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These should be located onsite.
 - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies to confirm the rights-of-way dimensions and the locations for the above-ground structures. If a private utility company does not require an above-ground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
 - BC Hydro PMT – 4mW X 5m (deep)
 - BC Hydro LPT – 3.5mW X 3.5m (deep)
 - Street light kiosk – 1.5mW X 1.5m (deep)
 - Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
 - Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
 - Review streetlight spacing along the No. 2 Road frontage and revise as required. The existing streetlight fronting the subject site may conflict with the proposed driveway and need to be relocated.
 - Complete other frontage improvements as per Transportation's requirements

Initial: _____

General Items:

a. The Developer is required to:

- Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Provide, prior to soil densification and preload installation, a geotechnical assessment of preload and soil densification impacts on the existing utilities surrounding the development site and provide mitigation recommendations.

6. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 18-818403

To the Holder: KONIC DEVELOPMENT LTD.
Property Address: 7151 NO. 2 ROAD
Address: C/O 13700 MAYFIELD PLACE, UNIT 1135
RICHMOND, BC V6V 2E4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) reduce the minimum lot width on major arterial road from 50.0 m to 20.12 m; and
 - b) reduce the minimum front yard (east) setback from 6.0 m to 4.55 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$54,751.95 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 18-818403

To the Holder: KONIC DEVELOPMENT LTD.
Property Address: 7151 NO. 2 ROAD
Address: C/O 13700 MAYFIELD PLACE, UNIT 1135
RICHMOND, BC V6V 2E4

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

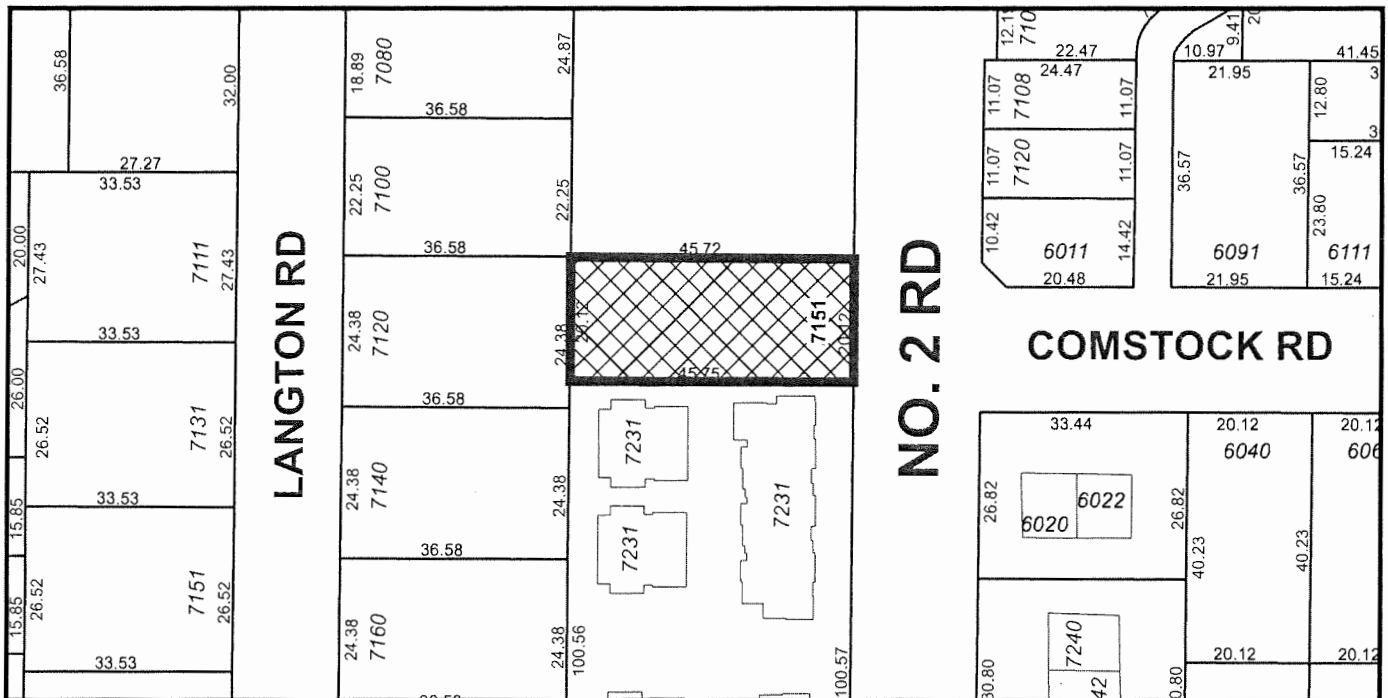
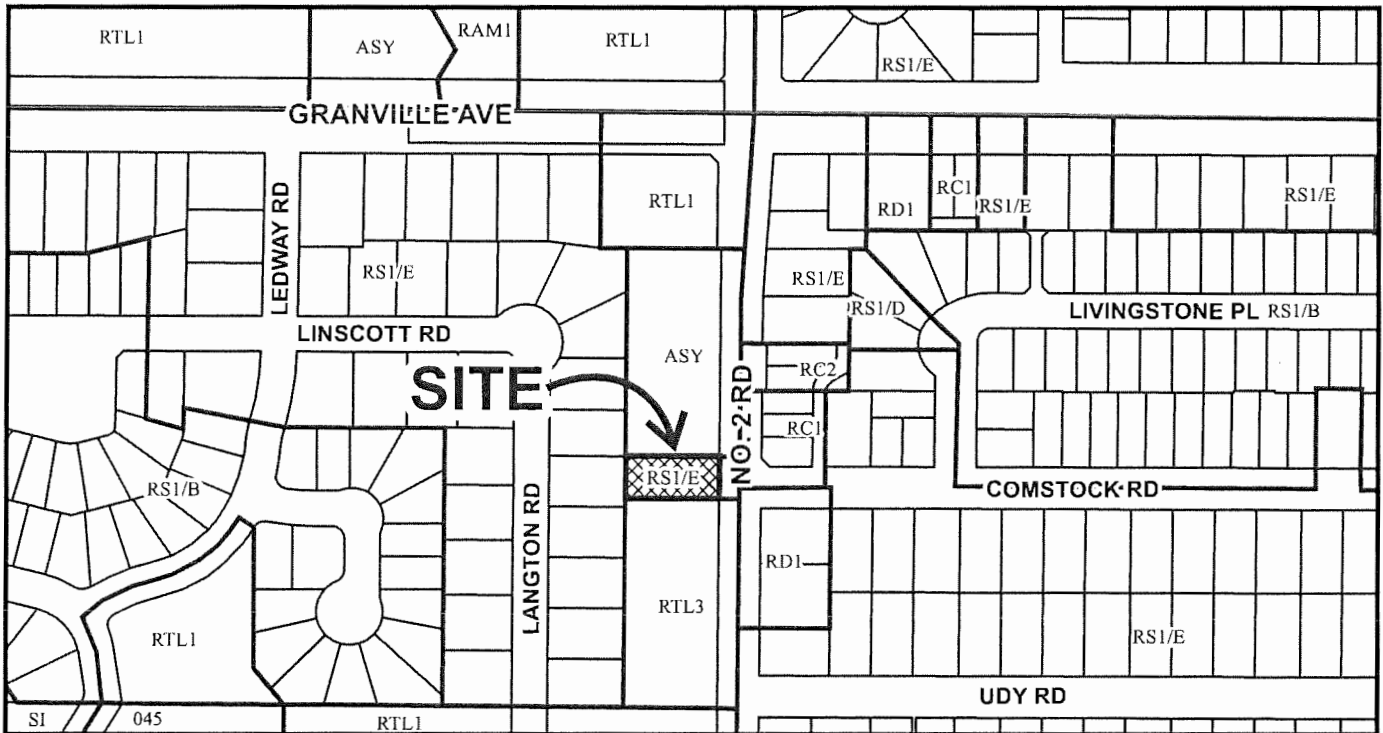
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-818403
SCHEDULE "A"

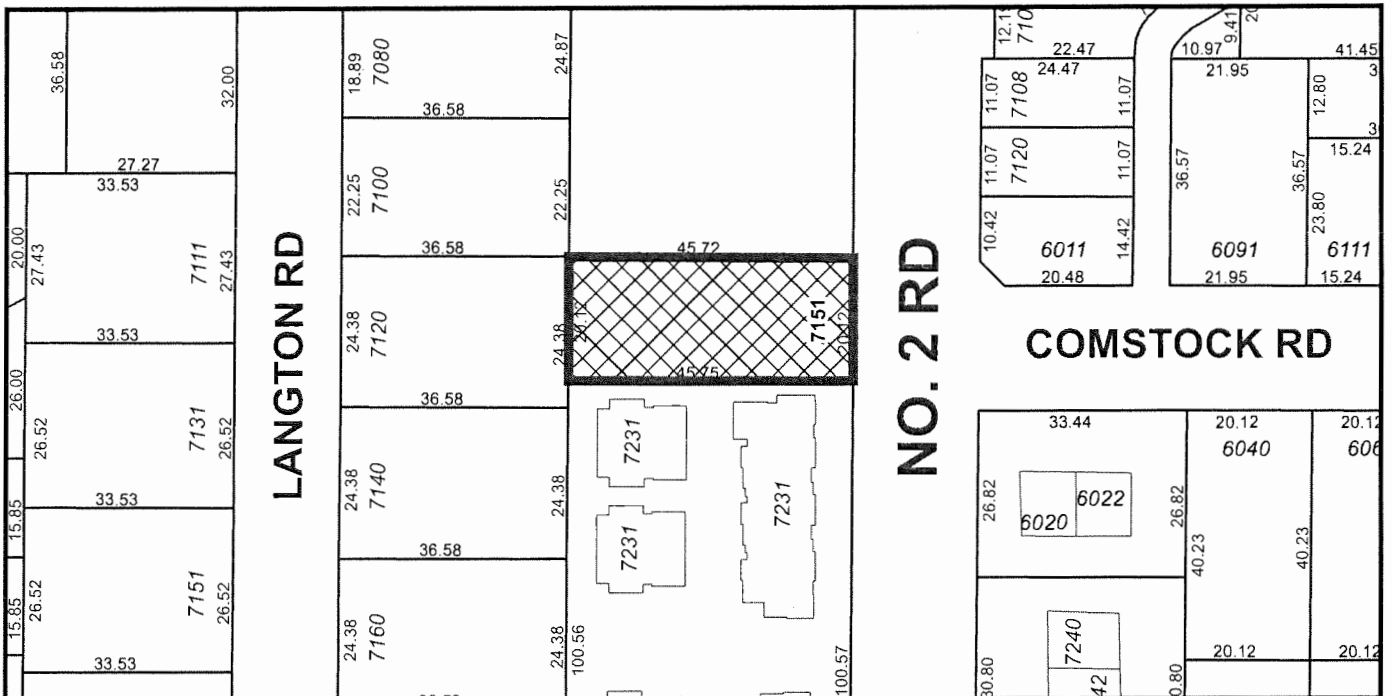
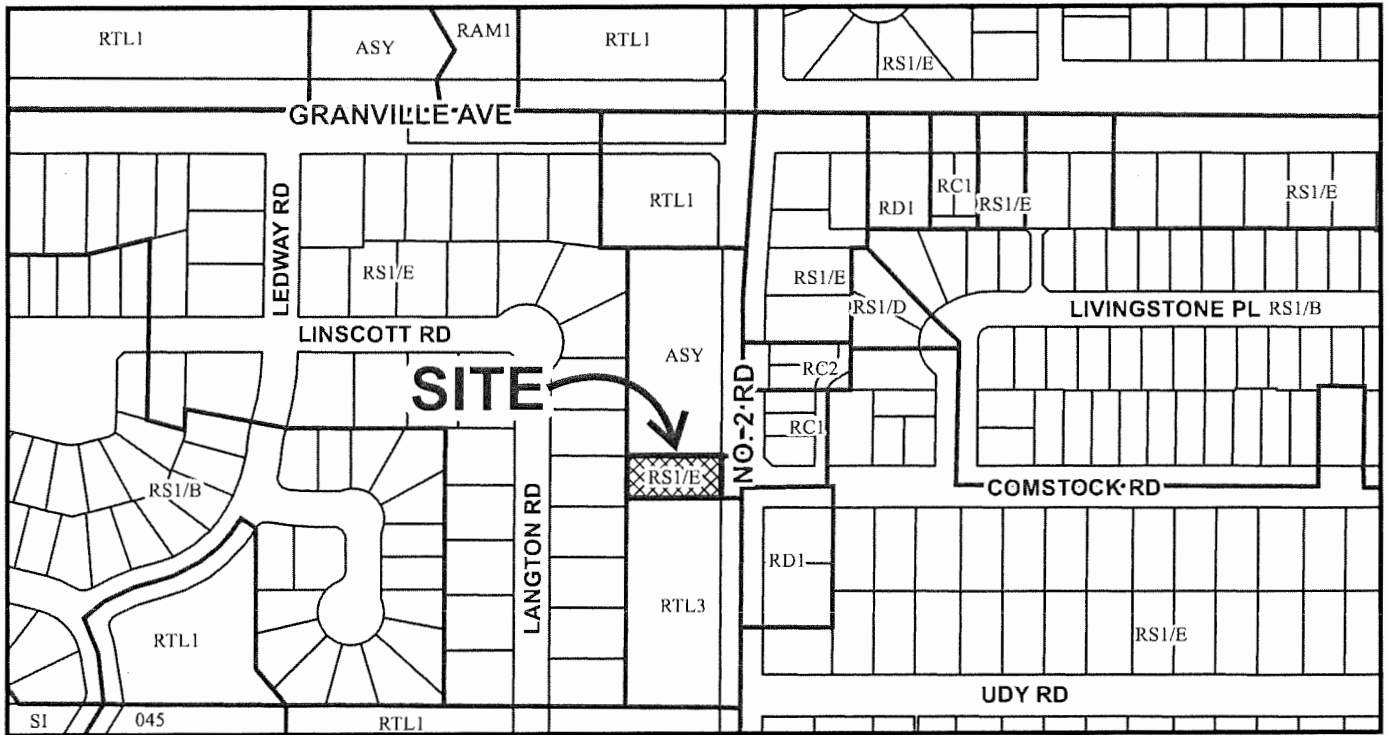
Original Date: 04/13/18

Revision Date:

Note: Dimensions are in METRES



City of Richmond



DP 18-818403

Original Date: 04/13/18

Revision Date:

Note: Dimensions are in METRES

7151 NO. 2 ROAD
4 UNIT TOWNHOUSE DEVELOPMENT

LEGAL 100 SEC 13 BLK4N R67W PL 211B8			
EXISTING:		PROPOSED:	
SITE AREA:	9902.8 SF (920.0SM)	9770.08 SF (908.00SM)	TOWNHOUSE
LAND USES:	SINGLE FAMILY DWELLING		
OCP DESIGNATION:	RESIDENTIAL	NO CHANGE	
ZONING:	RT/E	RTL4	
NUMBER OF UNITS:	1	4	
REQUIRED/ALLOWED:			
FLOOR AREA RATIO:	0.6 (5859.9 SF)	0.59 (5788 SF)	
LOT COVERAGE:	0.4 (3961.1 SF)	0.31(2893SF)	
SETBACK-FRONT YARD:	MIN. 6m	5.73m TO BUILDING 4.55m TO GARBAGE ROOM	
SETBACK-SIDE YARD: (NORTH)	MIN. 3m	3.0m	
SETBACK-SIDE YARD: (SOUTH)	MIN. 3m	7.50m	
SETBACK-REAR YARD:	MIN. 3m	9.73m TO BUILDING 9.75m TO ELEC CLOSET	
HEIGHT: (m)	MAX. 12m & 3 STOREY	11.51 m	
LOT SIZE:			
OFF-STREET PARKING RESIDENTIAL/VISITOR:	B AND 1	B AND 1	
OFF-STREET PARKING ACCESSIBLE:	N/A	0	
OFF-STREET PARKING TOTAL:	9	9	
TANDEM PARKING SPACES:		N/A	
BICYCLE PARKING CLASS 1	1,25X4=5	5	
BICYCLE PARKING CLASS 2	0.2X4=1	1	
INDOOR AMENITY SPACE:	MIN. 60SM	CASH-IN-LIEU	
OUTDOOR AMENITY SPACE:	MIN. 24SM	114.10 SM	
GENERAL NOTES			
• ADJO IN PLACE FEATURES ARE PROPOSED IN ALL UNITS OF THIS PROJECT.			
• ONE CONVERTIBLE UNIT IS PROPOSED			
• ALL UNITS IN THIS PROJECT MUST MEET THE REQUIREMENTS OF THE SOLAR			
HOT WATER READY REGULATION			
• PROJECT WILL ACHIEVE ENERGY R2 RATING			
• MECHANICAL VENTILATION IS REQUIRED			
CRIME PREVENTION			
• CREATE SAFE ROUTES FOR PEDESTRIANS AND CLEARLY DEFINED PEDESTRIAN AND			
VEHICLE ACCESS			
• DEFINE EDGES AND CORNER WITH LOW LANDSCAPING, LOW CURBING, LOW			
PERCEIVABLE FENCING/LAND ELEVATIONS CHANGES			
• BUILDINGS SHOULD BE DIRECT, FOLLOW NATURAL PATHWAYS AND AVOID BLIND			
CORNERS			
• ILLUMINATE BUILDWAYS AND ACCESS POINTS TO OPEN SPACES			
• MAKE ALL EXTERIOR PUBLIC OR SEMI-PUBLIC SPACES VISIBLE AND DEFENSIBLE, SO			
THAT RESIDENTS CAN CONTROL THEIR OWN SURROUNDINGS			
• DESIGN BUILDINGS TO ALLOW FOR PASSIVE OBSERVATION OF OUTDOOR AMENITY			
AREAS, PEDESTRIAN OR VEHICLE ACCESS POINTS TO PROVIDE EYES ON THE			
STREET.			
• ENSURE WINDOWS AND DOOR REMAIN VISIBLE FROM STREET AND NOT HIDDEN BY			
VEGETATION.			
• ILLUMINATE SPACE WITH LOW-LEVEL LIGHTING THAT PROMOTES LIGHT AND SECURITY,			
DOES NOT PRODUCE GLARE INTO THE ADJACENT RESIDENTIAL BUILDING.			
• USE LOW GROUND CONDOES AND SHRUBS LESS THAN 0.9 M AND PRUNE REES LIMBS			
• HEIGHT OF 3M			



CONTEXT PLAN (EXISTING)



NO 2 RD STREETSCAPE

AUG 25 2020
PLAN # 1

DP 18-818403



MATTHEW
CHENG
ARCHITECT INC.

Unit 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
Tel: (604) 731-3012 / Fax: (604) 731-3908
Cell: (604) 649-8669 / Email:
matthew@matthewcheng.ca

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WRITTEN CONSENT.

Revision:

RE	TY	MM	DESCRIPTION	DATE	CHK
1			Consent		

TOWNHOUSE
PROJECT

7151 NO 2 ROAD,
RICHMOND BC

COVER SHEET

Drawn by:	PW
Checked by:	MC
Scale:	
Project Number:	11 V CR 02
Revision:	
Date:	
Print:	08/21/20
Sheet:	A000



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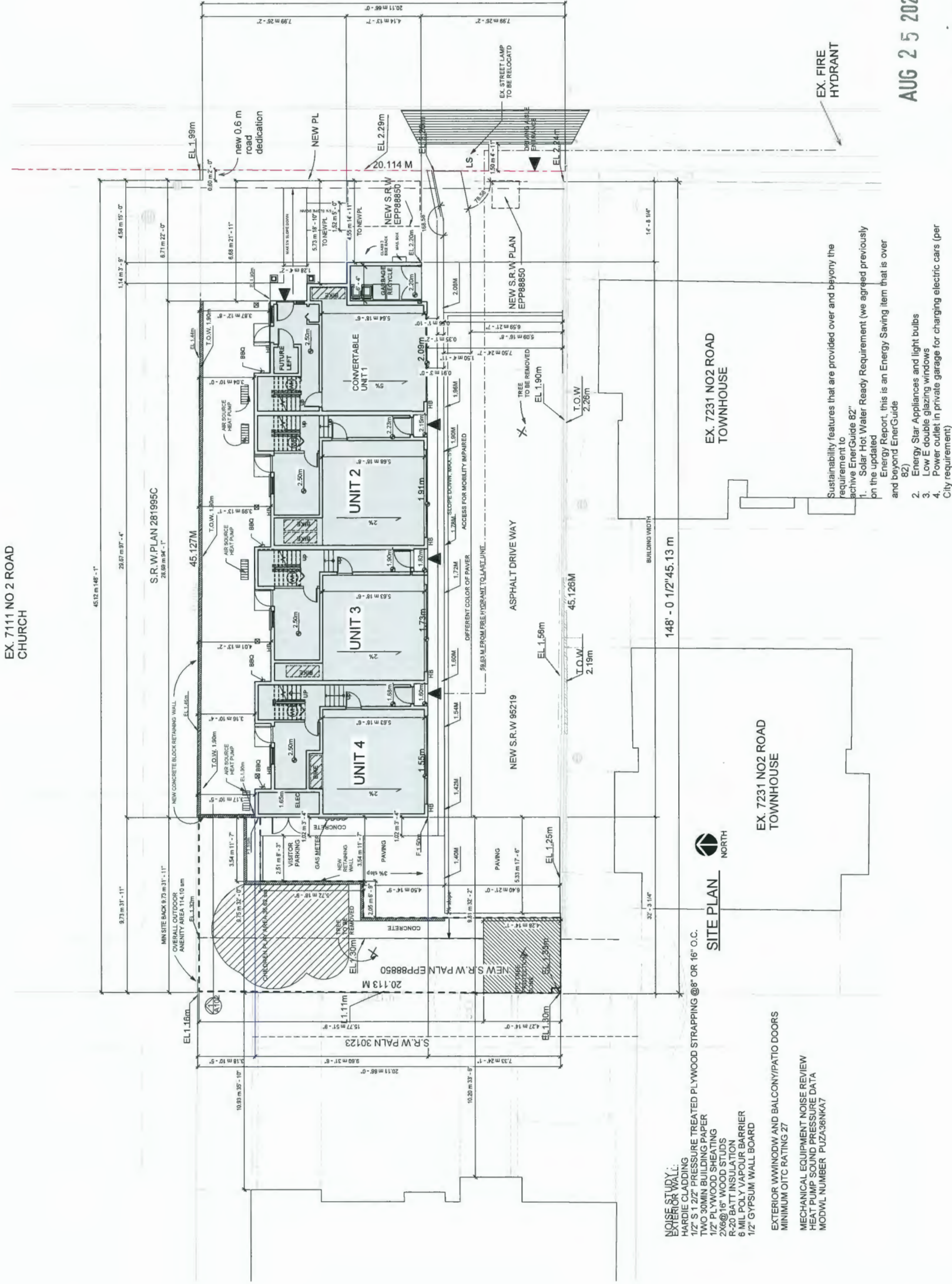
RE	YY-MM--	DESCRIPTION	DRWN	CHK
Consultant				

7151 NO 2 ROAD,
RICHMOND BC

Drawn By	PW
Checked	MC
Scale	1/8" = 1'-0"
Project Number	11 V CR 02
Revision Date:	Desig. No.: <div style="float: right; font-size: 2em; font-weight: bold;">A107</div>
Print	9/2/92/20

PA2 #1A

DP 18-818403





TREE PROTECTION FENCE

McGraw-Hill

DESIGN:	AR
DRAWN:	GG
CHECKED:	TS
ENGINEER:	TS

4.	9 AUG 2020	AR	TS	DP SUBMISSION
3.	12 AUG 2020	AR	TS	DP SUBMISSION
2.	13 FEB 2020	AR	TS	DP SUBMISSION
1.	13 DEC 2019	AR	TS	DP SUBMISSION
0.	19 SEP 2019	AR	TS	DP SUBMISSION
REV'N	DATE	BY	CH.	DESCRIPTION
REVISIONS				

 **Core Concept**
CONSULTING LTD.
#220-2639 Viking Way, Richmond, BC, V6V 3B7
www.coreconceptconsulting.com

KONIC DEVELOPMENT

Core Concept Consulting Project No. 17099
DWG. 1 OF 2



AVERAGE SITE GRADE	=	
<u>AVG. BUILDING GRADE + AVG. SITE CORNER GRADE</u>		<u>2</u>
AVERAGE BUILDING GRADE	=	2.20m + 1.90m + 1.55m + 1.50m = 1.79m
AVERAGE SITE CORNER GRADE	=	
<u>1.16m + 1.30m + 1.99m + 2.24m</u>		<u>4</u>
	=	1.67m
	=	<u>1.79m + 1.67m</u>
AVERAGE SITE GRADE	=	1.73m

4.	19 AUG 2020	AR	TS	DP SUBMISSION
3.	12 AUG 2020	AR	TS	DP SUBMISSION
2.	13 FEB 2020	AR	TS	DP SUBMISSION
1.	13 DEC 2019	AR	TS	DP SUBMISSION
0.	19 SEP 2019	AR	TS	DP SUBMISSION
REV'N	DATE	BY	CH.	

REVISIONS

DESIGN:	AR	DWG. No. DP 10-8184	
DRAWN:	GG		
CHECKED:	TS	SCALE: 1 : 250	DATE: SEP 2019
ENGINEER:	TS	SEC. No.: 13-4-7	SHT No.: 2 OF 2

19 AUG 2020

6911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

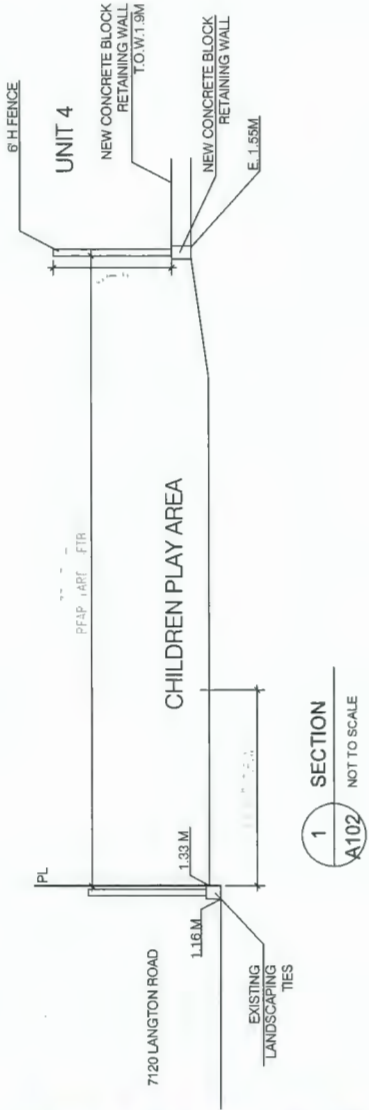
CITY FILE: PLAN #10

DP 10-518403

PROPOSED SITE 7151 NO2 ROAD



CONTEXT PLAN
NOT TO SCALE



1 SECTION
A102
NOT TO SCALE



EXISTING BUILDING 7120 LANGTON RD WITH RESPECT TO THE PROPERTY BUILDING 7151 NO2 ROAD



MATTHEW CHENG
ARCHITECT INC.

100-202-670 EVANS AVE SUITE 200
VANCOUVER, BC V6A 1A9
Tel: (604) 681-1000 Email: matthew@mc-inc.ca

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REV	DATE	DESCRIPTION	DRAWN	REVIEWED

Consultants

Project
TOWNHOUSE
PROJECT
7151 NO 2 ROAD,
RICHMOND BC

Sheet
CONTEXT PLAN
& 1.16 m to 1.9 m

Owner
PW
MC

Scale
1/8" = 1'-0"
Project
11 V CR 02
Revision
Date
PHE
09/21/20
A102

AUG 2 5 2020

DP 18-818403
PLAN #1E



MATTHEW
CHENG
ARCHITECT INC.

1141-302-670 EVANS AVENUE
VANCOUVER, BC V6A 3K9
Tel: (604) 731-3012 / Fax: (604) 731-3908
Cell: (604) 649-4669 / Email:
matthewc@mcac.ca

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CONSENTS FROM THE APPROPRIATE
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Revision:

REV	DATE	DESCRIPTION	BY	CHK
1	10/10/20	ISSUED FOR PERMIT	MC	MC

Project
Townhouse
PROJECT

7151 NO 2 ROAD,
RICHMOND BC

Sheet
PARKING PLAN

Drawn PW	Checked MC	Scale 1/8" = 1'-0"	Project Townhouse 11 V CR 02
			Revision Date
			Drawn No.
			Print 08/21/20
			Sheet A104

AUG 25 2020

PLAN #2

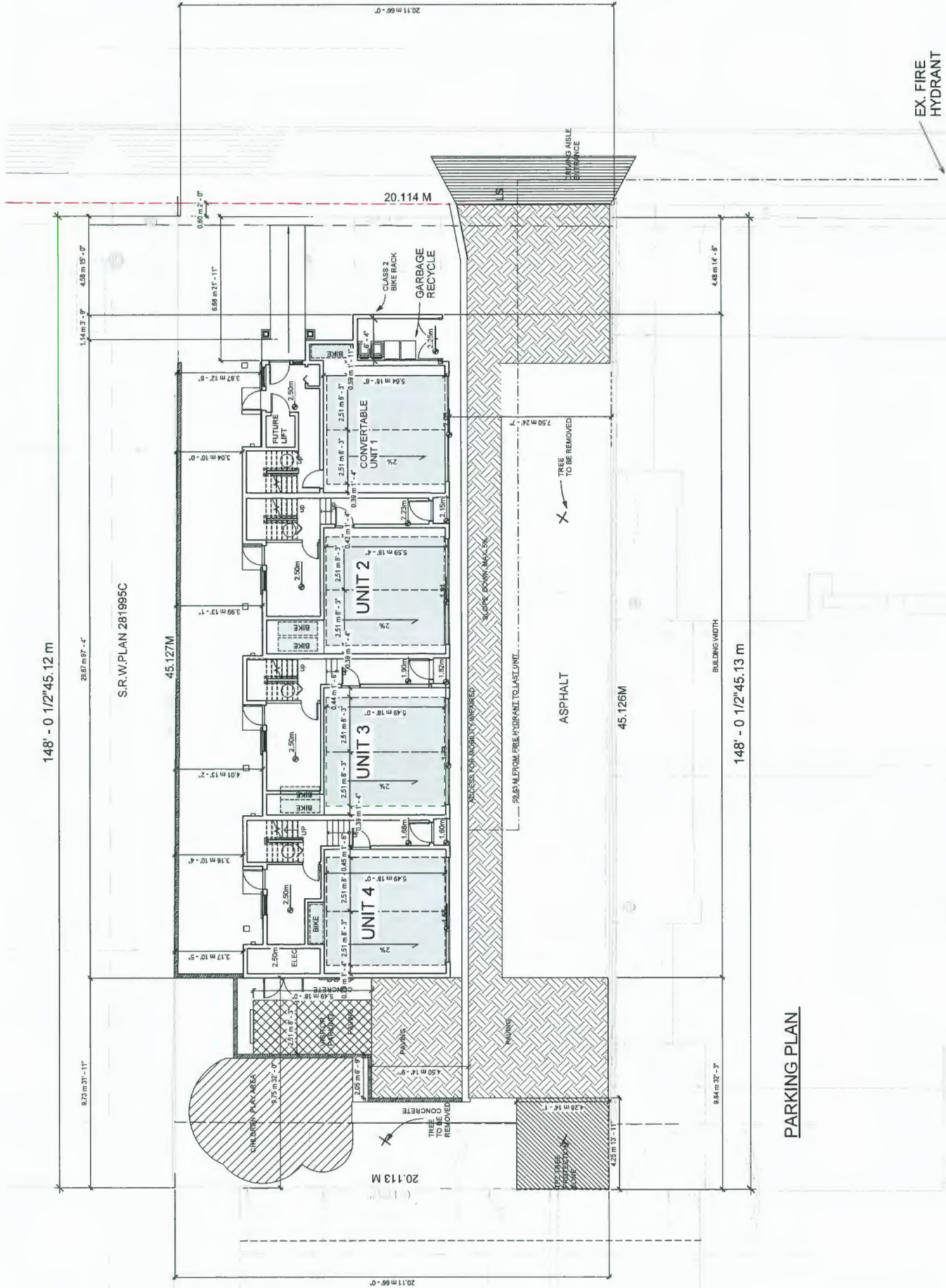
DP 18-818403

BICYCLE PARKING SUMMARY

CLASS 1 SPACES
REQUIRED: 1.25 X 4 = 5 SPACES
PROVIDED: 5 SPACES
CLASS 2 SPACES
REQUIRED: 0.2 X 4 = 1 SPACES
PROVIDED: 1 SPACES

CAR PARKING SUMMARY

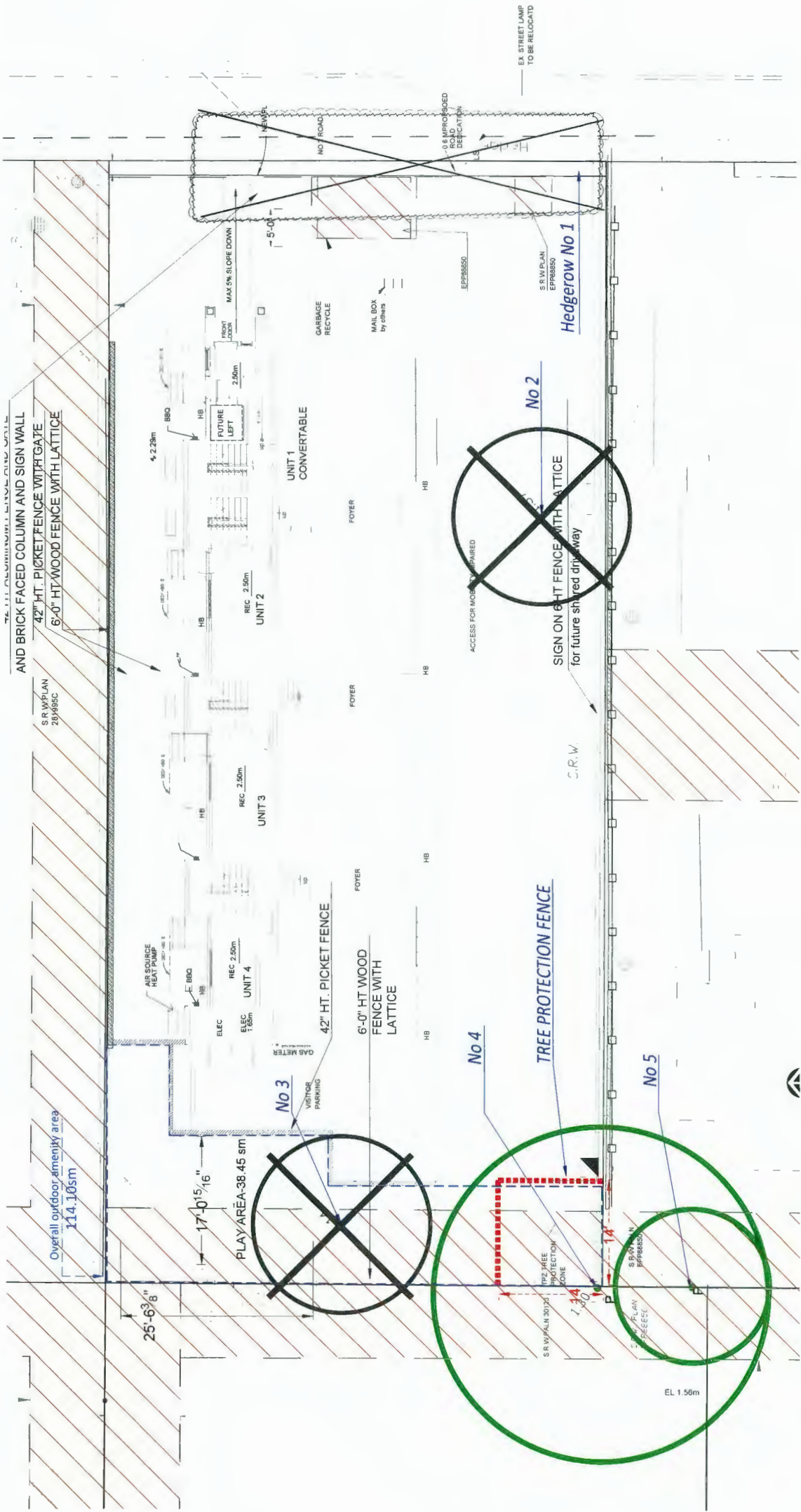
OFF-STREET RESIDENTIAL SPACES FOR VISITOR
REQUIRED: 8 AND 1
SIDE BY SIDE: 2.5MX5.5M, 2.3MX4.6M
INSTALL 120V RECEPTABLE FOR ELECTRICAL VEHICLE



PARKING PLAN

EX. FIRE
HYDRANT

SEAL



NO 2 RD

NO.	DATE	REVISION DESCRIPTION	DR
22	20.AUG.26	REVISED PLAY AREA AS PER CITY REQUEST	DD
21	20.AUG.20	REVISION	DD
20	20.AUG.19	REVISION AS PER CITY REQUEST	DD
18	20.AUG.12	REVISED AMENITY AREA AS PER CITY REQUEST	DD
17	20.APR.21	REVISION AS PER CITY COMMENTS	DD
16	20.MAR.30	NEW SITE PLAN	DD
-	15.DEC.17	ISSUED FOR BP	DD
15	15.DEC.12	NEW CIVIL PLAN	DD
14	15.DEC.04	NEW SITE PLAN	DD
13	15.DEC.04	REVISION AS PER CITY COMMENTS	DD
12	15.NOV.20	NEW SITE PLAN	DD
11	15.SEP.25	NEW SITE PLAN	DD
10	15.AUG.15	REVISION AS PER CITY COMMENTS	DD
9	15.AUG.12	NEW SITE PLAN	DD
8	15.AUG.08	NEW SITE & CIVIL PLANS	DD
7	15.JUL.18	NEW SITE PLAN	DD
6	15.SEP.28	NEW SITE PLAN	DD
5	15.SEP.17	NEW SITE PLAN	DD
4	15.AUG.12	TREE MANAGEMENT PLAN	DD
3	15.AUG.12	NEW SITE PLAN	DD
2	15.AUG.12	NEW CIVIL PLAN	DD
1	17.JAN.20	NEW SITE PLAN CITY COMMENTS	DD
1	17.JAN.22	NEW SITE PLAN CITY COMMENTS	DD
NO.	DATE	REVISION DESCRIPTION	DR

CLIENT: KOMIC DEVELOPMENT

WITH: MATTHEW CHENG ARCHITECT INC
PROJECT
**4-UNIT TOWNHOUSE
DEVELOPMENT**

7151 No. 2 ROAD
RICHMOND

DRAWING TITLE
**TREE MANAGEMENT
PLAN**

DATE: March 8, 2017
SCALE: 1/8"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
OF 8

PMG PROJECT NUMBER
17-045-22-26
17-045

DP 18-818403
PLAN #3
AUG 25 2020

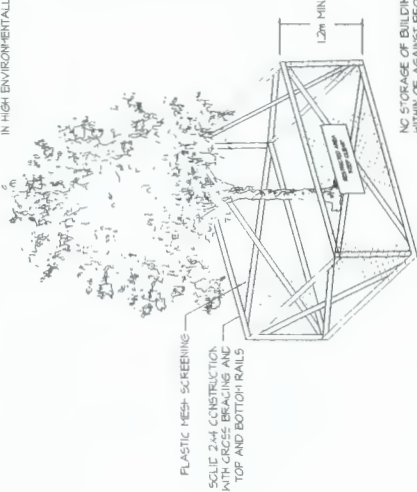


TREE #	TREE SPECIES (Botanical name)	DBH (cm)	SPREAD (ft.) Radius
1	Cedar Hedge (<i>Thuja plicata</i>)	-	-
2	Western red cedar (<i>Thuja plicata</i>)	84	11'
3	Plum (<i>Prunus sp.</i>)	32	11'
4	Birch (<i>Betula sp.</i>)	58	23'
5	Douglas fir (<i>Pseudotsuga menziesii</i>)	33	10'

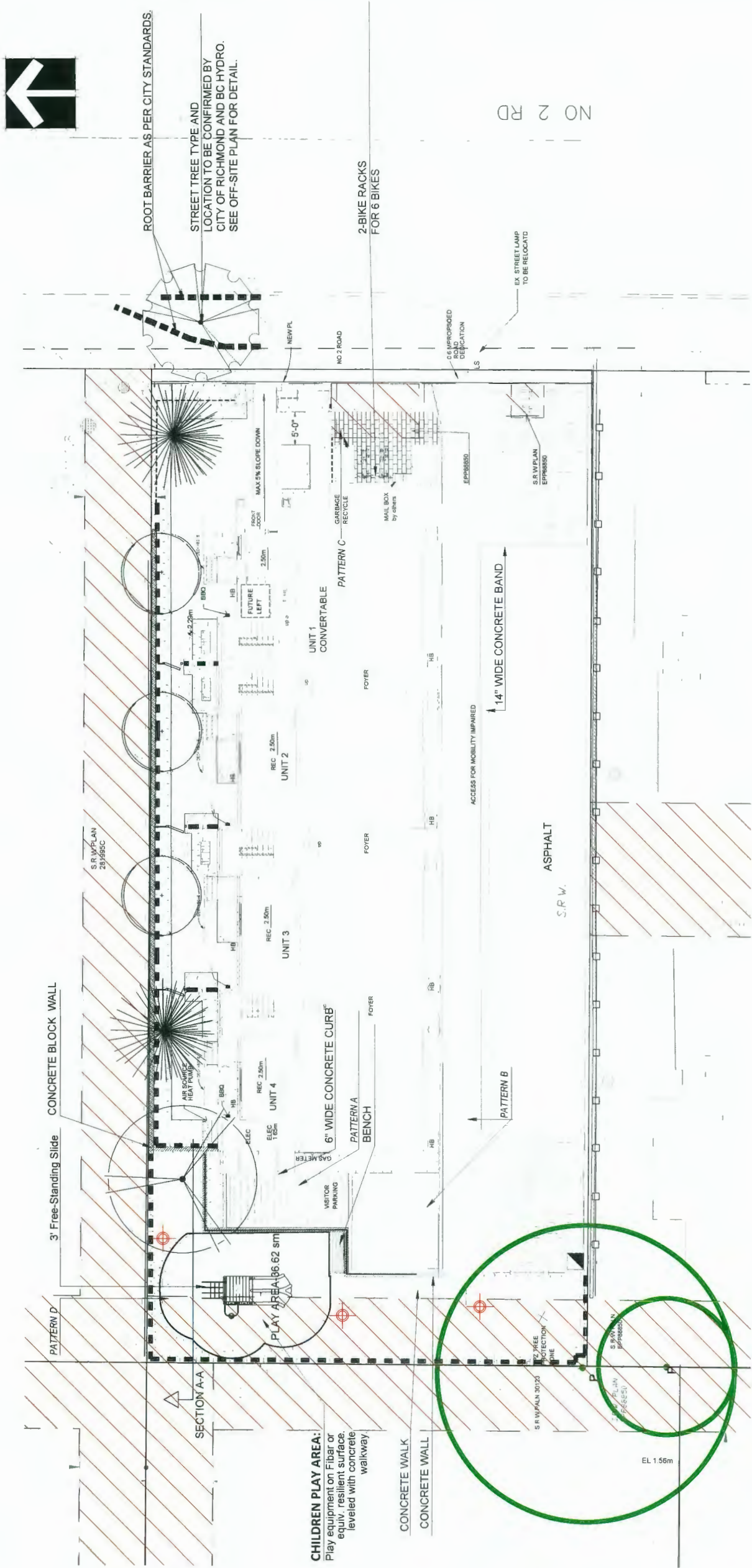
NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE	
TRUNK Diameter in cm @ 1.3m	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.4
30	1.6
35	2
40	2.4
45	2.7
50	3
55	3.5
60	3.8
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADII FOR TREES LARGER THAN 100CM DBH TO NEAREST 10 METRE AT BREAST HEIGHT OR 1.4M FROM GRADE.



1A TREE PROTECTION BARRIER
L-3



NO 2 RD

ASPHALT

S.R.W.

14" WIDE CONCRETE BAND

ACCESS FOR MOBILITY IMPAIRED

EX STREET LAMP
TO BE RELOCATED

2-BIKE RACKS
FOR 6 BIKES

ROOT BARRIER AS PER CITY STANDARDS.

STREET TREE TYPE AND
LOCATION TO BE CONFIRMED BY
CITY OF RICHMOND AND BC HYDRO.
SEE OFF-SITE PLAN FOR DETAIL.

PAVING MATERIAL KEY

	PATTERN A - VISITOR PARKING PERMEABLE Concrete paver by Mutual Materials. typ. COLOR: Charcoal Herringbone pattern. Installed per manufacturer's specifications		PATTERN C - WALKWAY AT MAIL KIOSK PERMEABLE HERRINGBONE CONCRETE PAVES CASCADE BLEND RUNNING BONE PATTERN
	PATTERN B - EAST-WEST INTERNAL DRIVEWAY PERMEABLE Concrete paver by Mutual Materials. typ. COLOR: Gray Herringbone pattern. Installed per manufacturer's specifications		PATTERN D - PLAY AREA FIBAR SAFETY ZONE SURFACE

FURNITURE

	Modena Park Bench; Model Number: MWB-5		HADO-DB30 Aluminum bollard, black color
	BY WISHBONE SITE FURNISHINGS		Surf Bike Rack; Model Number: SFBRC-3; Black Color
	L'Interplast 1 1/4 Recycled Plastic Slats-Reinforced		3" THICK CONCRETE PAD

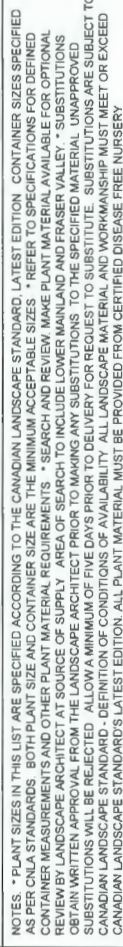
PLANT SCHEDULE- STREET TREE ONLY			PMG PROJECT NUMBER: 17-045
KEY	QTY	BOTANICAL NAME	COMMON NAME
	1	FRAXINUS PENNSYLVANICA 'PATMORE'	PATMORE ASH
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR LANDSCAPE ARCHITECT AT SOURCE. * LAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT			

PLANT SCHEDULE			PMG PROJECT NUMBER: 17-045
KEY	QTY	BOTANICAL NAME	COMMON NAME
	1	FAGUS SYLVATICA 'DAWKYCK GOLD'	DAWKYCK GOLD BEECH
	2	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMIDAL LUMBER PINE
	3	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR LANDSCAPE ARCHITECT AT SOURCE. * LAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY			

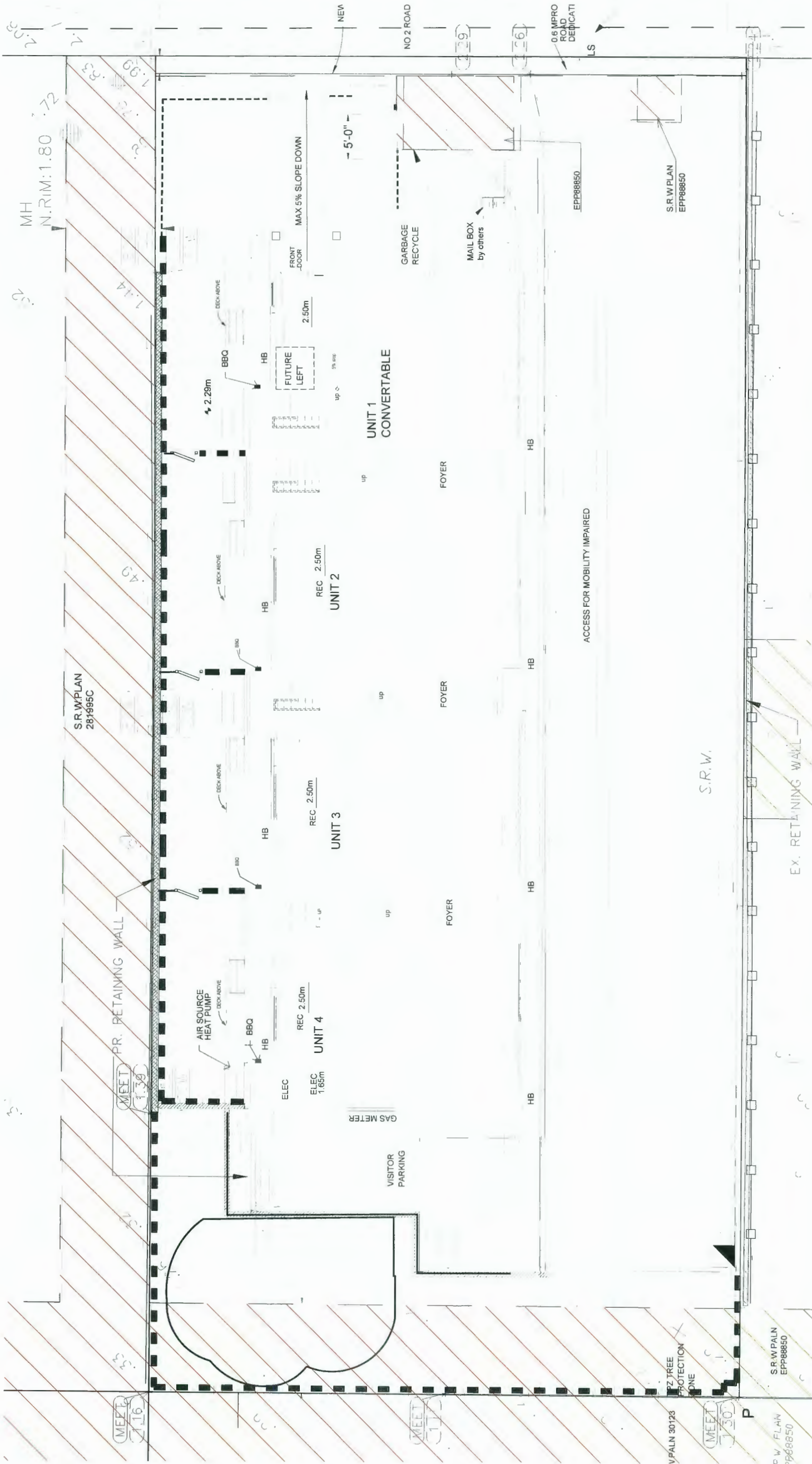
NOTE:
* PROVISION OF AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED IN ALL LANDSCAPE AREAS (DETAILED BY CONTRACTOR)
- HOSE BIB TO BE PROPOSED NEXT TO THE GARDEN PLOT.

LIGHTING LEGEND		
SYMBOL	STYLE	BOLLARD 36" HT

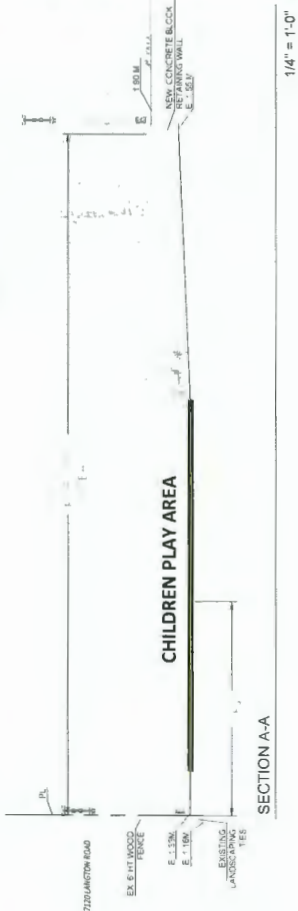
PLAN #3A
AUG 25 2020
DP 18-818403



PLAN #3B
DP 18-818403
AUG 25 2020



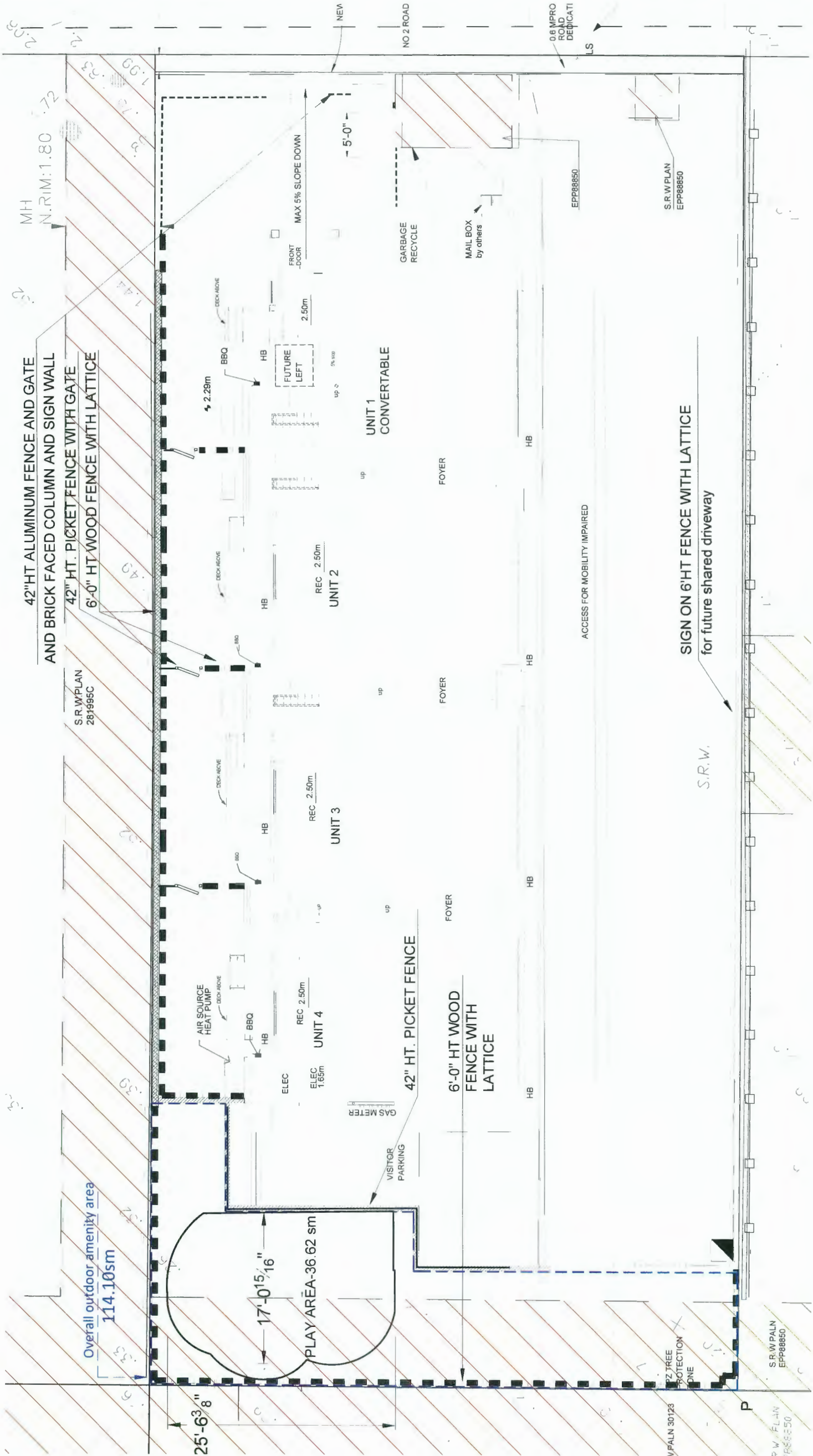
PLAN #3C
AUG 2 5 2020
DP 18-818403



NO.	DATE	REVISION DESCRIPTION	DR
1	17 JUN 22	NEW SITE PLAN/CITY COMMENTS	DD
2	17 JUN 28	NEW SITE PLAN/CITY COMMENTS	DD
3	18 JUN 20	NEW CIVIL PLAN	DD
4	18 JUN 24	NEW SITE PLAN/CITY COMMENTS	DD
5	18 SEP 28	NEW SITE PLAN	DD
6	18 SEP 28	NEW SITE PLAN	DD
7	18 SEP 28	NEW SITE PLAN	DD
8	18 SEP 28	NEW SITE PLAN	DD
9	18 SEP 28	NEW SITE PLAN	DD
10	18 SEP 28	NEW SITE PLAN	DD
11	18 SEP 28	NEW SITE PLAN	DD
12	18 SEP 28	NEW SITE PLAN	DD
13	18 SEP 28	NEW SITE PLAN	DD
14	18 SEP 28	NEW SITE PLAN	DD
15	18 SEP 28	NEW SITE PLAN	DD
16	18 SEP 28	NEW SITE PLAN	DD
17	18 SEP 28	NEW SITE PLAN	DD
18	18 SEP 28	NEW SITE PLAN	DD
19	18 SEP 28	NEW SITE PLAN	DD
20	18 SEP 28	NEW SITE PLAN	DD
21	18 SEP 28	NEW SITE PLAN	DD
22	18 SEP 28	NEW SITE PLAN	DD

CLIENT: KONGIC DEVELOPMENT

SEAL



FENCING LEGEND

- 6' HT. SOLID WOOD PERIMETER FENCE AND
- 42" HT WOOD FENCE
- 42" HT ALUMINUM FENCE

PLAN # 3D
AUG 25 2020
DP 18-818403



WITH MATTHEW CHENG ARCHITECT INC
PROJECT
**4-UNIT TOWNHOUSE
DEVELOPMENT**

7151 No. 2 ROAD
RICHMOND

DRAWING TITLE
FENCE PLAN

DATE March 8, 2017
SCALE 3/16"=1'-0"
DRAWN DD
DESIGN DD
CHKD PCM

L4

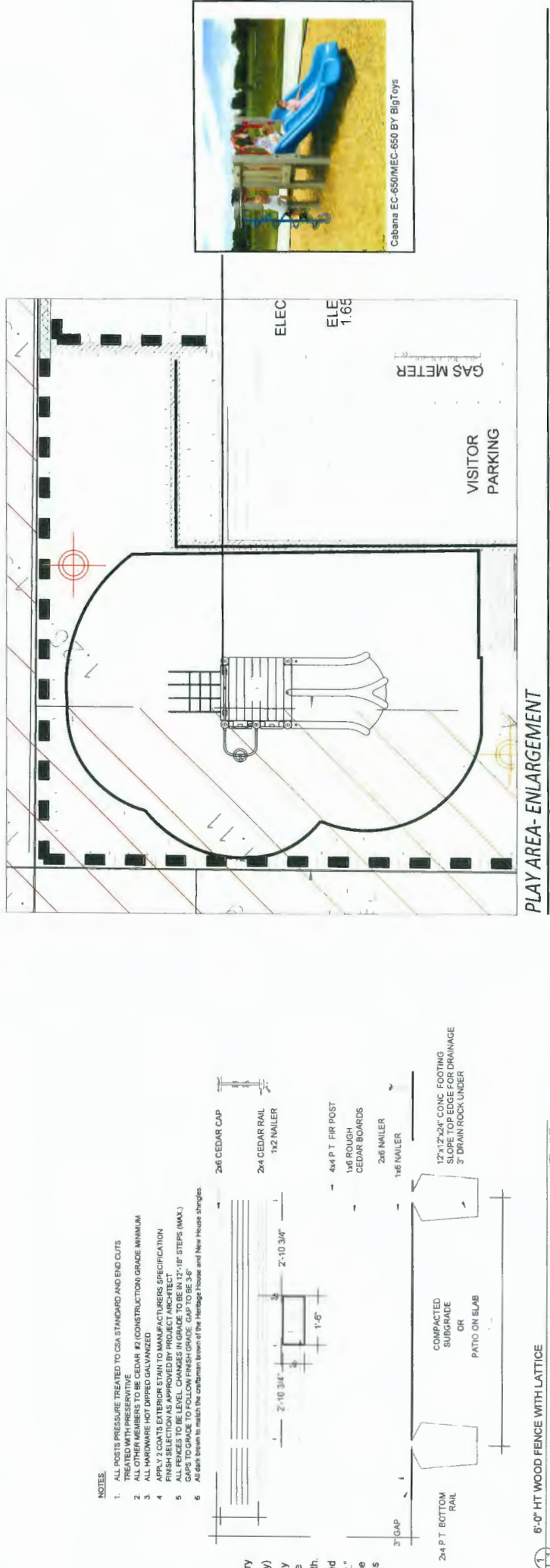
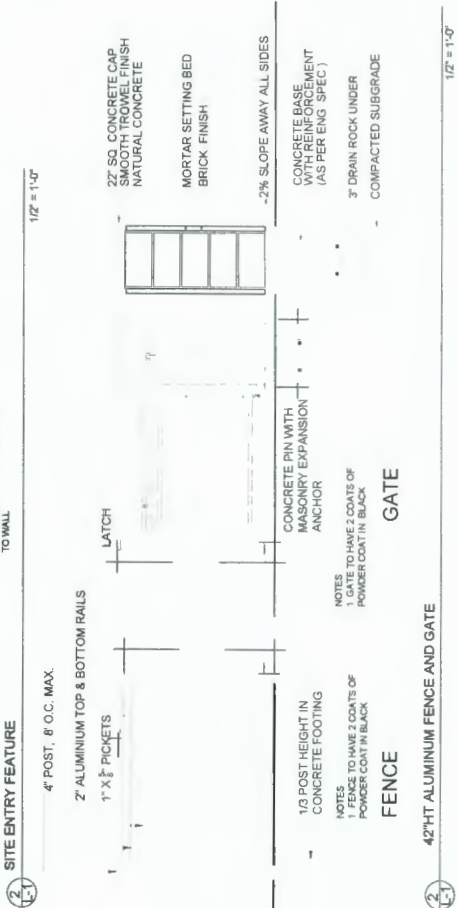
OF 8

PMG PROJECT NUMBER 17-045

22	20JAN26	REVISED PLAY AREA AS PER CITY REQUEST	DD
21	20JAN20	REVISION	DD
20	20JAN15	REVISION AS PER CITY REQUEST	DD
18	20JAN12	REVISED AMENITY AREA AS PER CITY REQUEST	DD
17	20APR23	REVISION AS PER CITY COMMENTS	DD
16	20MAR30	NEW SITE PLAN	DD
15	15DEC17	ISSUED FOR B.P.	DD
14	15DEC10	NEW CIVIL PLAN	DD
13	15DEC10	NEW SITE PLAN	DD
12	15DEC04	REVISION AS PER CITY COMMENTS	DD
11	15NOV20	NEW SITE PLAN	DD
10	15SEP25	NEW SITE PLAN	DD
9	15AUG15	REVISION AS PER CITY COMMENTS	DD
8	15AUG08	NEW SITE PLAN	DD
7	15JUL26	NEW SITE PLAN & CIVIL PLANS	DD
6	15SEP28	NEW SITE PLAN	DD
5	15SEP17	TREE MANAGEMENT & NEW PLAN	DD
4	18AUG24	NEW SITE PLAN/CITY COMMENTS	DD
3	18JUN20	NEW CIVIL PLAN	DD
2	17JAN28	NEW SITE PLAN/CITY COMMENTS	DD
1	17JUN23	NEW SITE PLAN/CITY COMMENTS	DD
NO	DATE	REVISION DESCRIPTION	DR

CLIENT: KONIC DEVELOPMENT

SEAL



Sign (size and location of the mandatory signs must be approved by the City) at South side of Internal driveway to indicate future public/vehicular access to the existing and future developments to the South. "This is a shared driveway and is planned to be used to provide vehicle access to future development." The size and locations of the signs will be inspected through the landscape inspection process

PLAN #3E
AUG 25 2020
DP 18-818403

22	20JUL23	REVISED PLAY AREA AS PER CITY REQUEST	DD
21	20JUL20	REVISION	DD
20	20JUL19	REVISION AS PER CITY REQUEST	DD
18	20JUL12	REVISED AMENITY AREA AS PER CITY REQUEST	DD
17	20JUL22	REVISION AS PER CITY COMMENTS	DD
16	20MAY16	NEW SITE PLAN	DD
15	18DEC17	DESIGN FOR EP	DD
14	18DEC12	NEW CIVIL PLAN	DD
13	18DEC10	REVISION AS PER CITY COMMENTS	DD
12	18DEC04	NEW SITE PLAN	DD
11	18SEP25	NEW SITE PLAN	DD
10	18AUG15	REVISION AS PER CITY COMMENTS	DD
9	18AUG12	NEW SITE PLAN	DD
8	18AUG08	NEW SITE PLAN & CITY COMMENTS	DD
7	18JUL26	NEW SITE PLAN	DD
6	18SEP22	NEW SITE PLAN	DD
4	18AUG24	THESE AMENDMENTS ARE NEW PLAN	DD
3	18JUN20	NEW CIVIL PLAN	DD
2	17AUG28	NEW SITE PLAN CITY COMMENTS	DD
1	17JUN23	NEW SITE PLAN CITY COMMENTS	DD
NO	DATE	REVISION DESCRIPTION	DR

CLIENT KINIC DEVELOPMENT

WITH MATTHEW CHENG ARCHITECT INC
PROJECT
**4-UNIT TOWNHOUSE
DEVELOPMENT**
7151 No. 2 ROAD
RICHMOND

DRAWING TITLE
**LANDSCAPE
DETAILS**

DATE March 8, 2017
SCALE
DRAWN DD
DESIGN DD
CHKD PCM
OF 8

DRAWING NUMBER

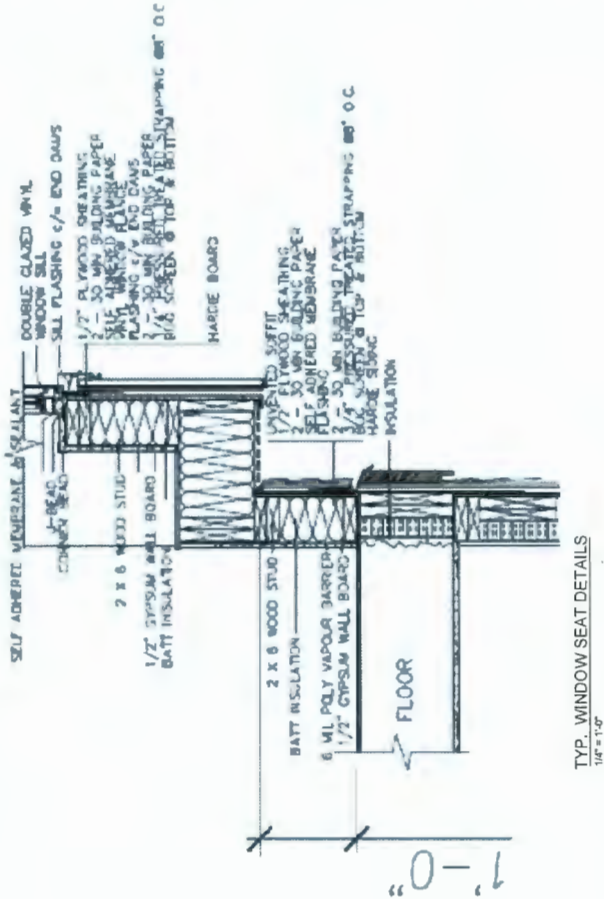
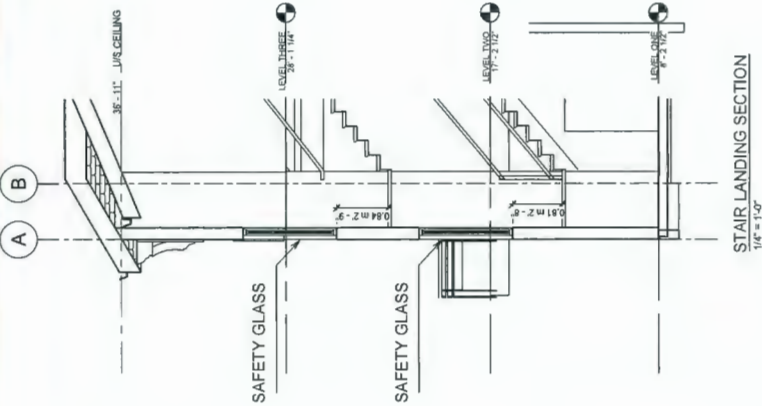
PMG PROJECT NUMBER
17-045

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3D COLOR PERSPECTIVE
1/2" = 1'-0"



TYP. WINDOW SEAT DETAILS
1/4" = 1'-0"



MATTHEW
CHENG
ARCHITECT INC.

Unit 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K0
Tel: (604) 684-6669 / Fax: (604) 731-3908
Cell: (604) 684-6669 / Email: matthew@mca.ca

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Revision

REV	DATE	DESCRIPTION	BY	CHK
1	09/12/19	Consultant	CH	CH

Project Title
TOWNHOUSE PROJECT

7151 NO 2 ROAD,
RICHMOND BC

Sheet Title
**EAST & NORTH
COLOR
ELEVATIONS &
DETAILS**

Drawn by:	Author
Checked by:	Checker
Scale:	1/4" = 1'-0"
Project Number:	11 V CR 02
Revision Date:	No.
Plot Date:	No.
Plot Number:	A115

DP 10-818403
PLAN #4
AUG 25 2020



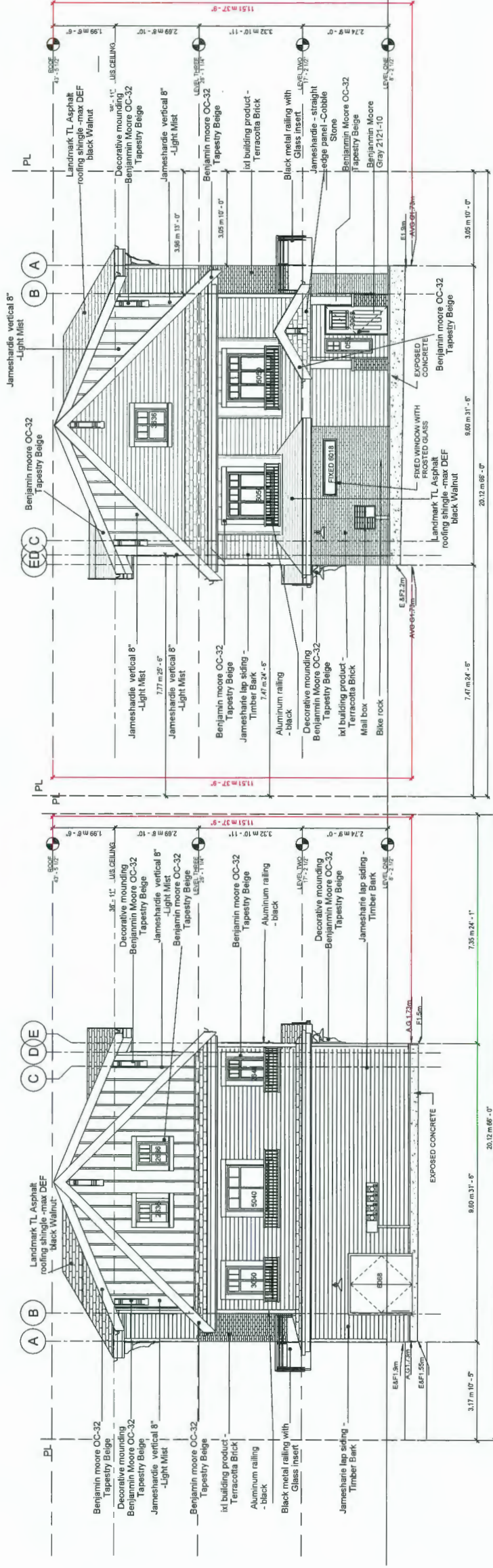
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ARCHITECT INC.

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VANCOUVER, BC V6A 3C9
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01	MC	04/21/20	Complete	MC	MC



WEST ELEVATION
3/16" = 1'-0"

EAST ELEVATION
3/16" = 1'-0"

ROOF PLAN
3/16" = 1'-0"

TOWNHOUSE
PROJECT

7151 NO 2 ROAD,
RICHMOND BC

EAST & WEST
ELEVATIONS
ROOF PLAN

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Scale	3/16" = 1'-0"
Project Number	11 V CR 02
Revision Date	04/21/20
Page No.	A113

AUG 25 2020

PLAN # 4A

DP 10-818403



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ARCHITECT INC.

Unit 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2G9
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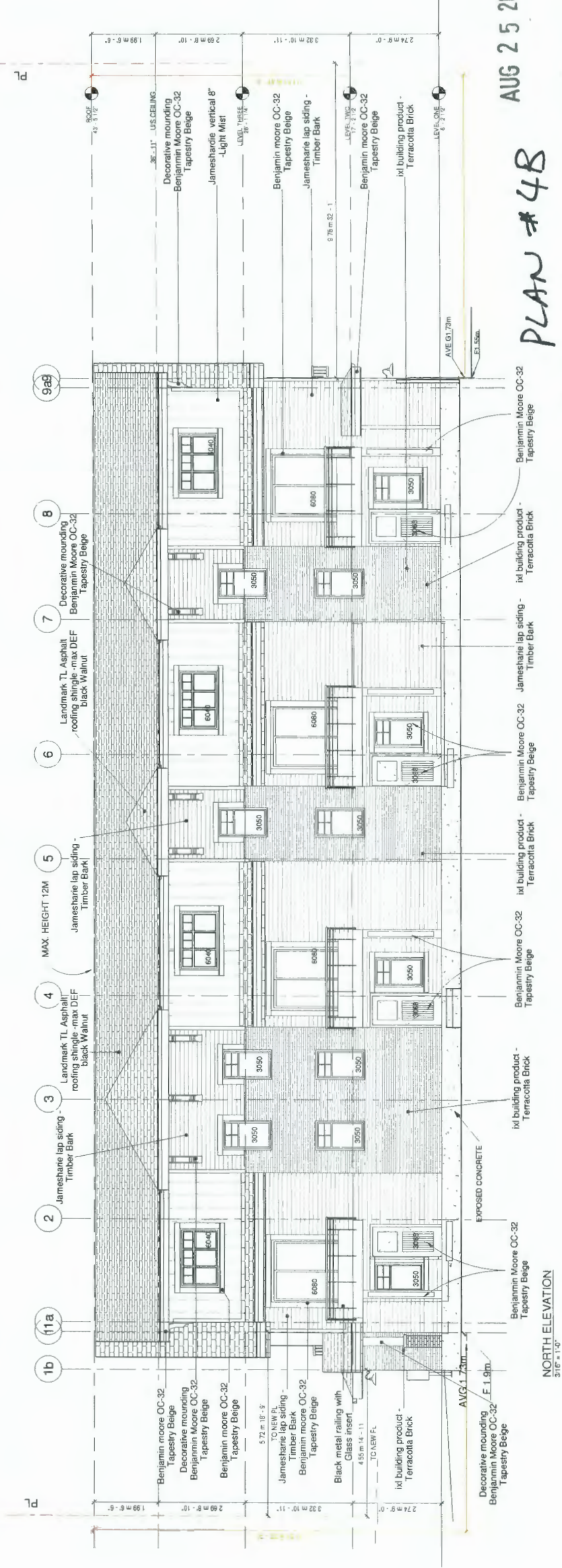
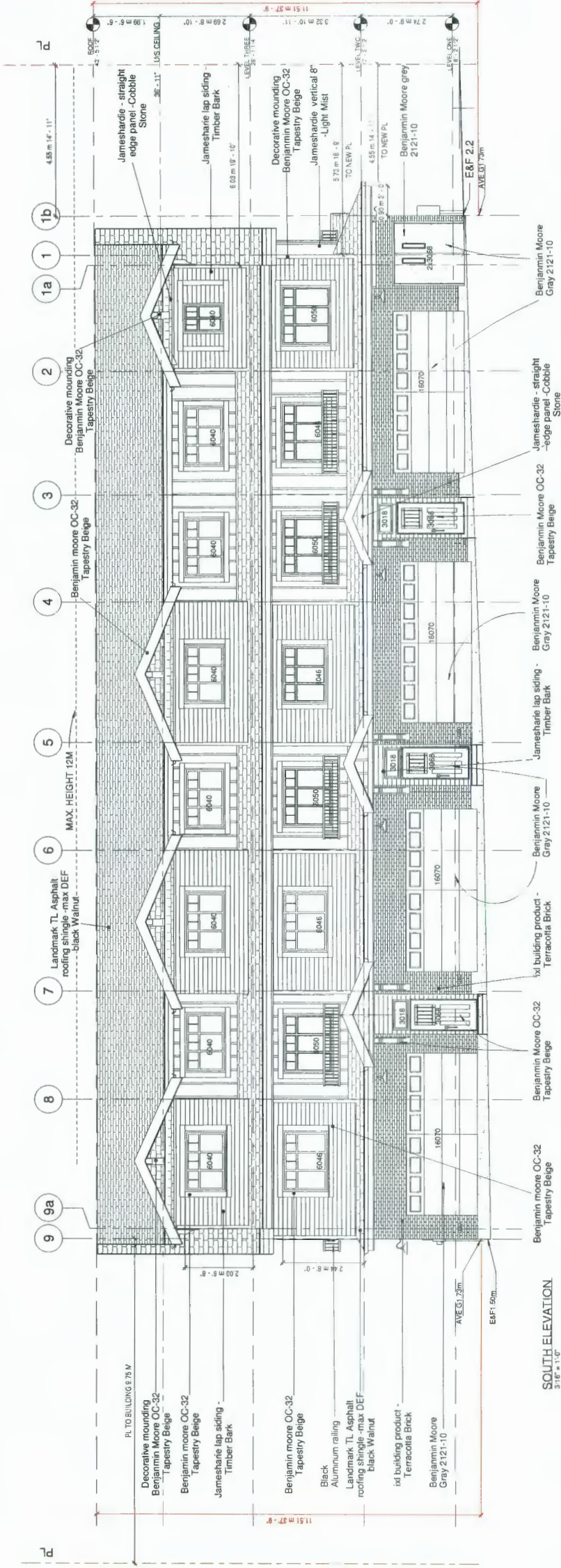
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TOWNHOUSE
PROJECT

7151 NO 2 ROAD,
RICHMOND BC

SOUTH &
NORTH
ELEVATIONS

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Scale	3/16" = 1'-0"
Project	11 V CR 02
Revision	1
Date	08/12/20
Print	A114



AUG 25 2020

PLAN #48

DP 18-018403



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Unit 202 - 670 EVANS AVENUE
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Cell: (604) 649-6669 / Email: info@matthewcheng.ca

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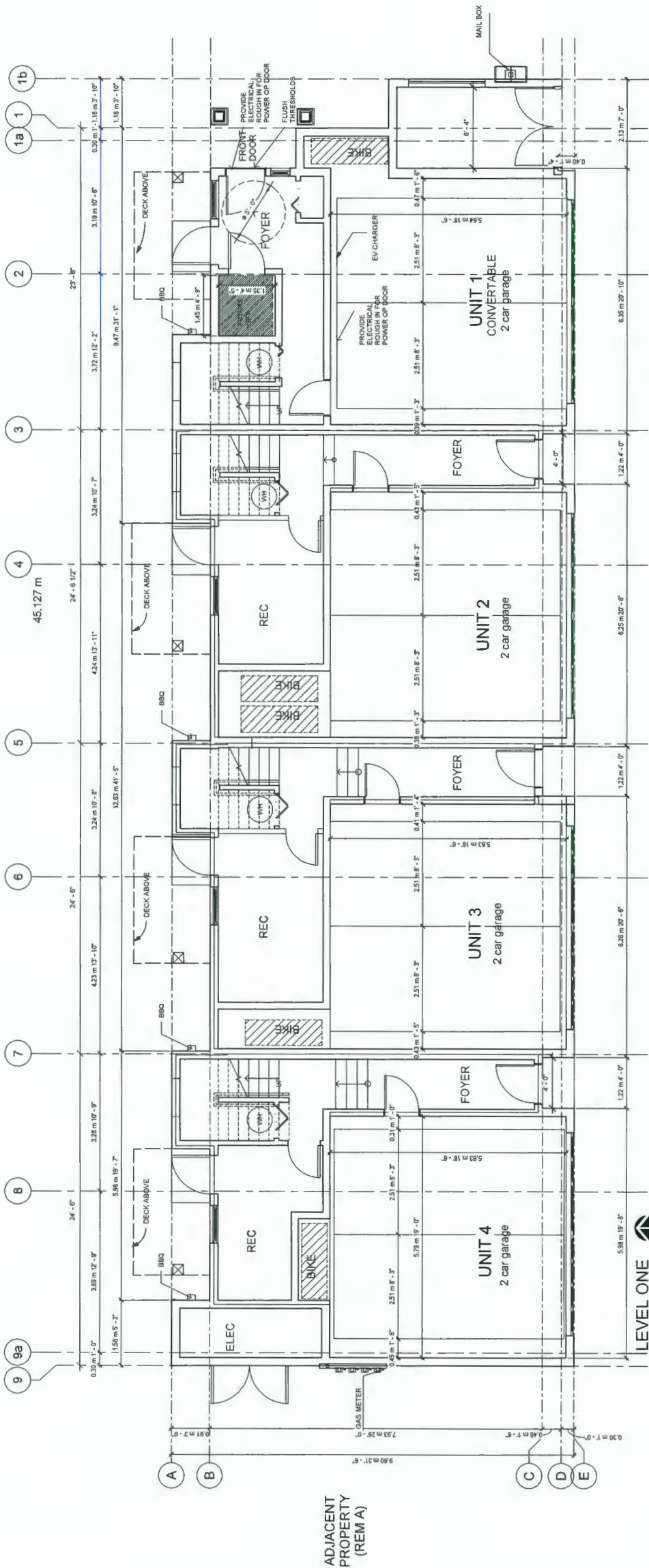
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TOWNHOUSE
PROJECT

7151 NO 2 ROAD,
RICHMOND BC

SHEET
LEVEL 1

Drawn by	PW
Checked by	MC
Scale	1/4" = 1'-0"
Project Number	11 V CR 02
Revision Date	Drawn By:
Print Date	04/26/2020
Sheet	A108



NOISE STUDY :

LEVEL ONE
NORTH

- Sustainability features that are provided over and beyond the requirement to achieve EnerGuide 82*
1. Solar Hot Water Ready Requirement (we agreed previously on the updated Energy Report, this is an Energy Saving item that is over and beyond EnerGuide 82)
 2. Energy Star Appliances and light bulbs
 3. Low E double glazing windows
 4. Power outlet in private garage for charging electric cars (per City requirement)

AUG 25 2020

REFERENCE PLAN

DP 10-010403



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7151 NO 2 ROAD,
RICHMOND BC

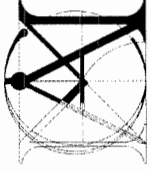
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LEVEL TWO

REFERENCE PLAN

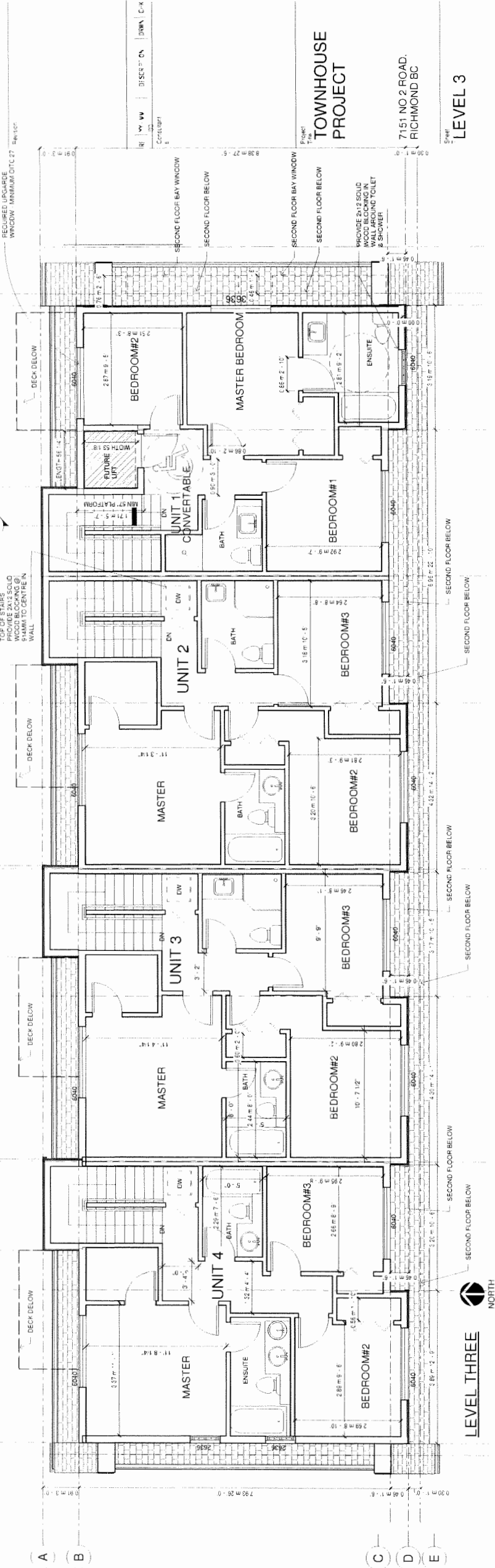
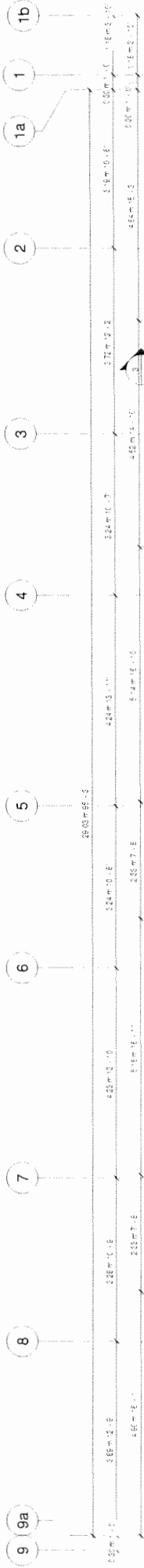
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MATTHEW
CHENG
ARCHITECT INC.

Unit 202 - 670 IVANNA AVENUE
VANCOUVER, BC V6A 2K9
Tel: (604) 731-3012 / Fax: (604) 731-3008
Cell: (604) 649-8669 / Email:
matthew@mc.ca

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BY THE GENERAL CONTRACTOR. THE
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BY THE GENERAL CONTRACTOR.



LEVEL THREE

LEVEL 3

NOISE STUDY :
EXTERIOR WALL:
HARDIE CLADDING
1/2" S.T. 22" PRESSURE TREATED PLYWOOD STRAPPING @8" OR 16" O.C.
TWO 30MM BUILDING PAPER
1/2" PLYWOOD SHEATING
2X6@16" WOOD STUDS
R20 BATT INSULATION
6 MIL POLY VAPOUR BARRIER
1/2" GYPSUM WALL BOARD

EXTERIOR WINDOW AND BALCONY/PATIO DOORS
MINIMUM OTC RATING 27
MECHANICAL EQUIPMENT NOISE REVIEW
HEAT PUMP SOUND PRESSURE DATA
MODWL NUMBER PUZ36NKA7

Sustainability features that are provided over and beyond the requirement to
achieve EnerGuide 82:
1. Solar Hot Water Ready Requirement (we agreed previously on the updated
Energy Report, this is an Energy Saving item that is over and beyond EnerGuide
82)
2. Energy Star Appliances and light bulbs
3. Low E double glazing windows
4. Power outlet in private garage for charging electric cars (per City requirement)

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Project	11 V CR 02
Revision	2
Date	04/28/20
Sheet	A110

REFERENCE PLAN AUG 25 2020

DP 18-818403



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CHENG
ARCHITECT INC.

Unit: 302 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
Tel: (604) 731-3012 / Fax: (604) 731-3908
Cell: (604) 694-0699 / Email:
matthew@mc.ca

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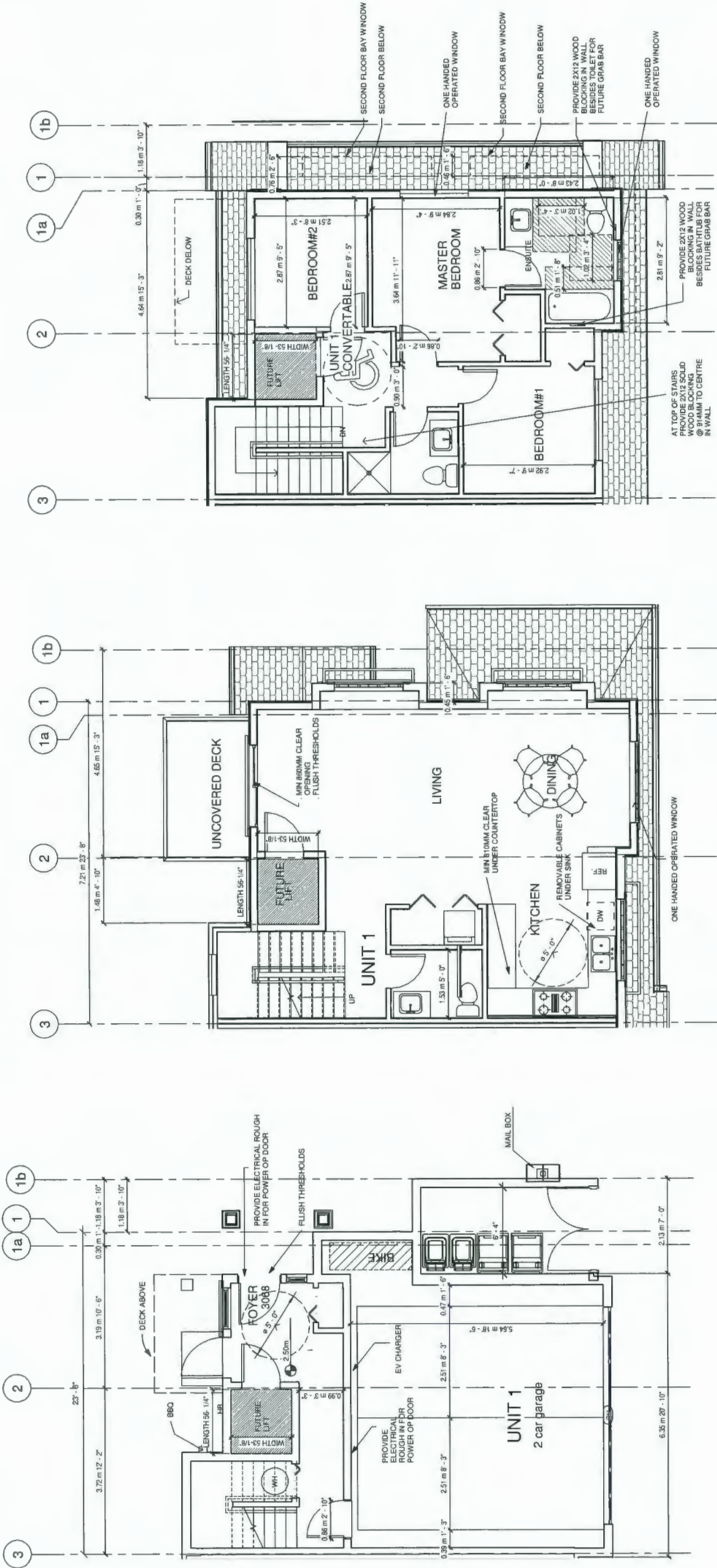
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2		Consultant		

TOWNHOUSE
PROJECT

7151 NO 2 ROAD,
RICHMOND BC

Sheet
T
CONVERTABLE
UNIT

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Scale as	1/4" = 1'-0"
Project Number	11 V CR 02
Revision Date	Rev No.
Print Date	9/4/2020
	A112



CONVERTABLE UNIT LEVEL 1

CONVERTABLE UNIT LEVEL 2

CONVERTABLE UNIT LEVEL 3

REFERENCE PLAN AUG 25 2020

DP 10-C18403

② CONVERTABLE LEVEL 1
1/4" = 1'-0"

① CONVERTABLE LEVEL 2
1/4" = 1'-0"

③ CONVERTABLE LEVEL 3
1/4" = 1'-0"



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: August 25, 2020

From: Wayne Craig
Director, Development

File: DP 18-829141

Re: Application by Townline Ventures Inc. for a Development Permit at 5591, 5631, 5651 and 5671 No. 3 Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of a high-density, mixed-use development consisting of three residential towers and a mid-rise building that includes 363 residential units and 20 low-end market rental units, and an office tower over a single storey mixed-use podium with street oriented commercial, retail and community amenity uses at ground level at 5591, 5631, 5651 and 5671 No. 3 Road.

A handwritten signature in black ink, appearing to read 'Wayne Craig', with a large, stylized flourish at the end.

Wayne Craig
Director, Development
(604-247-4625)

WC:dn

Att.

Staff Report

Origin

Townline Ventures Inc. (on behalf of the property owners Townline No. 3 Road Holdings Ltd., Can Lit Development Holding Inc., and City of Richmond) has applied to the City of Richmond for permission to develop a high-density, mixed-use development at the center of Lansdowne Village. The authorized directors for Townline No. 3 Road Holdings Ltd., and Can Lit Development Holding Inc., are Richard Ilich and Bryce Margetts respectively. The subject site is comprised of four properties (5591, 5631, 5651 and 5671 No. 3 Road) that are located at the northwest intersection of No. 3 Road and Lansdowne Road.

The developer proposes to construct three 15-storey residential towers, a mid-rise residential building, and a 12-storey office building over a mixed-use podium, which would include:

- A total floor area of approximately 36,167.8 m² (389,306 ft²) comprised of approximately:
 - 7,279 m² (78,351 ft²) of office space within proposed Building 3.
 - 27,134 m² (292,070 ft²) of residential space within proposed Building 1, 2, and 4 including 20 Low End Market Rental (LEMR) Affordable Housing (AH) units that will be secured with a legal agreement as a condition of rezoning bylaw adoption.
 - 1,713 m² (18,446 ft²) of retail/commercial space within a one-storey podium including 558 m² (6,000 ft²) of City-owned community amenity floor area.
 - 2,912 m² (31,344 ft²) of outdoor and 786 m² (8,460 ft²) of indoor common amenity space.
- Four parking levels, including two levels of parking below grade.

The site is being rezoned from "Office Commercial (ZC8)", "Office Commercial (ZC9)" and "Auto-Oriented Commercial (CA)" to "High Density Mixed Use (ZMU38) - Lansdowne Village (City Centre)" under Bylaw 9860 (RZ 17-779262), which received Third Reading on September 4, 2018. Considerations of rezoning include:

- Acquisition of a City-owned lot at 5671 No. 3 Road and transfer back to the City of a portion of the property to create a 10 m (32 ft.) wide linear park along the site's Lansdowne Road frontage. The park is part of a longer linear park, Lansdowne Linear Park, which is being incrementally introduced and will provide connection between the Richmond Oval and the Garden City Lands. Through a separate Servicing Agreement process, the applicant will work with staff to develop the park design and will be responsible for construction of the park.
- Design, construction and transfer of ownership to the City of a 558 m² (6,000 ft²) on-site community amenity space.
- Cash-in-lieu contributions to child care and community facilities.
- Design and construction of infrastructure improvements through a Servicing Agreement (SA) including:
 - Widening of an existing lane to create a new north-south road.
 - Improvements to Lansdowne Road and No. 3 Road.
 - New and/or upgraded utilities on all street frontages.

- Design, construction and transfer of ownership of an on-site low carbon energy plant to the City, at no cost to the City.
- Pre-ducting for and/or undergrounding of private utility lines and relocation of all private utility equipment on-site.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

Surrounding Development

The subject site is comprised of four properties (5591, 5631, 5651 and 5671 No. 3 Road) that are located at the northwest intersection of No. 3 Road and Lansdowne Road. The lots are currently developed with low/medium scale commercial and office development with surface parking.

The subject site is located in the Lansdowne Village in the City Centre Area Plan (CCAP) and is in an area that is designated “Urban Core T6 (45 m)” and “Village Centre Bonus (VCB)” (Attachment 3). The applicant’s proposal is consistent with the site’s existing designations. Development surrounding the subject site is as follows:

- To the North: At 5551 No. 3 Road, low-scale commercial development. The site is zoned “Auto-Oriented Commercial (CA)” and designated “Urban Core T6” and “Village Centre Bonus (VCB)” in the Lansdowne Village Specific Land Use Map of the City Centre Area Plan. Further to the north, a future new east-west road and 5191 No. 3 Road, which was recently rezoned and a Development Permit issued (RZ 15-0692485, DP 16-740262) to permit a mixed-use development that includes one office tower, six residential towers, and commercial uses at ground level. The site is zoned “City Centre High Density Mixed Use (ZMU34) – Lansdowne Village” and designated “Urban Core T6” and “VCB” in the Lansdowne Village Specific Land Use Map of the City Centre Area Plan (CCAP).
- To the East: Across No. 3 Road, Lansdowne Canada Line station and Lansdowne Centre shopping mall, which has submitted an Official Community Plan (OCP) amendment application to reorganize the existing permitted land use designations that apply to the site (CP 15-717017). This application is in process and is being considered by Council through a separate series of reports. The property is zoned “Auto-Oriented Commercial (CA)” and designated “Urban Core T6”, “Urban Centre T5”, “VCB” and “Major Park” in the Lansdowne Village Specific Land Use Map of the CCAP.
- To the South: Across Lansdowne Road, existing low and medium scale commercial development. The properties are zoned “Auto-Oriented Commercial (CA)” and designated “Urban Core T6” and “VCB” in the Lansdowne Village Specific Land Use Map of the CCAP.
- To the West: Across the existing City lane, existing low-rise commercial and light industrial development with surface parking and a rezoning application (RZ 16-744658) at 5520, 5560 and 5660 Minoru Boulevard to permit development of four residential

towers and ground floor commercial uses, which is being reviewed by staff. This application is in process and will be the subject of a separate report to Council. The properties are zoned “Industrial Retail (IR1)” and designated “Urban Centre T5” and “Park” in the Lansdowne Village Specific Land Use Map of the CCAP.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on September 4, 2018. One written submission expressing concern about residential densification within the City Centre was received. The proposed land uses and density are consistent with the subject site’s designation in the CCAP.

Staff Comments

The proposed development scheme attached to this report has satisfactorily addressed the urban design issues identified as part of the Development Permit application review process. It complies with the intent of the applicable sections of the OCP and CCAP Development Permit Guidelines and complies with the site’s proposed “High Density Mixed Use (ZMU38) - Lansdowne Village (City Centre)” zoning.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal and was supportive of the proposed form and character subject to the applicant undertaking further design development in response to their comments. The current proposal incorporates the following updates:

- The building material proposed for the angled edges of the office building have been changed in response to glare and reflection concerns to a less reflective and more transparent glass.
- The designated children’s outdoor play area has been relocated to a southern portion of the podium to increase exposure to natural sunlight.
- A pedestrian breezeway is proposed on either side of the office tower building to provide ground level access to bicycle and vehicle parking (from Lansdowne Road and No. 3 Road). The breezeway design has been updated to incorporate gates in accordance with Crime Prevention Through Environmental Design (CPTED) principles to secure the space outside of regular business hours.
- The ground level landscape design proposed on the southern portion of the site has been updated to coordinate with landscape design elements that are proposed for the future new linear park. The applicant is responsible for design and construction of the park and will work with staff through a separate Servicing Agreement process to develop the design.
- End of trip bicycle facilities have been added to the development to encourage cycling.
- Venting details have been developed. To minimize impact on the public realm, mechanical vents have been incorporated into the podium soffit. Louvers on the building façade are limited to the north corner of the west elevation (Building 2), the north corner of the east elevation (Building 4), and the mechanical enclosure on the roof of Building 1.

A copy of the relevant excerpt from the November 8, 2018 ADP Minutes is attached for reference (Attachment 4). The applicant's design responses are provided in 'bold italics' immediately following each Panel comment.

Analysis

Development Proposal Description

The development proposal includes three 15-storey residential towers, a mid-rise building, and a 12-storey office building over a mixed-use podium. The development will include an on-site community amenity space at ground level, which will be transferred to the City. The community amenity space is intended to provide two independent spaces (372 m² and 186 m²) that will be leased out by the City, at the City's discretion. Two levels of parking are proposed below grade with two additional parking levels concealed within the building podium. A 10 m (32 ft.) wide linear park will be introduced along the subject site's southern edge abutting Lansdowne Road.

Conditions of Adjacency

Public Adjacencies: The proposed development includes street-animating commercial and community amenity uses, as well as tower lobbies along the subject site's three road frontages. These uses are located in a single-storey, commercial-height podium. Above the podium, the proposed development includes four tower forms and one mid-rise building. The combination of a low-podium and the proposed tower arrangement will create a point of visual interest at the centre of Lansdowne Village and a distinct retail streetscape. Daylight access to the public realm will be increased by limiting the podium height to a single commercial height storey. The low landscaped podium will maximize views to green space for adjacent and nearby buildings.

Private Adjacency: The applicant was unable to acquire the adjacent northern property (5551 No. 3 Road). As part of the associated rezoning application review process (RZ 17-779262), the applicant provided a development concept for the site to demonstrate that it may be developed in accordance with the OCP/CCAP and tower separation guidelines. The proposed north elevation anticipates that development of the northern adjacent property will include a high parking podium along the shared property line.

Urban Design and Site Planning

Streetscape/Public Realm

- Through the associated rezoning process, a series of dedications and improvements will be secured to enhance the public realm. These improvements include:
 - Designing, constructing and transferring a 10 m (32 ft.) wide linear park to the City. The Lansdowne Road frontage will be defined by the introduction of a section of Lansdowne Linear Park. The preliminary concept plans for the back of curb and linear park improvements have been provided for context in the attached plan series. Further development of the design will be undertaken through a separate Servicing Agreement (SA) process. The cross section includes a 1.5 m (5 ft.) wide boulevard, a 3.0 m (9 ft.) wide multi-use pathway, a 1.0 m (3 ft.) wide buffer strip, a 2.0 m (6 ft.) wide sidewalk and an additional 8.0 m (26 ft.) wide hard and soft landscaped public space. Although the on-site ground level landscape plans for the subject site have been designed to coordinate with the linear park design, minor adjustments to the proposed on-site

landscape design may be warranted to ensure appropriate transitions between the on-site and off-site areas of the development's frontages.

- Replacing the existing rollover curb of the existing bike lane abutting the site's No. 3 Road frontage with a barrier curb to better protect cyclists from traffic and to increase the effective width of the bike lane.
- Widening the existing City lane to introduce a segment of a new north/south road along the west side of the subject site. The ultimate design will include additional vehicle lanes, a parking lane and a boulevard and sidewalk. The preliminary road functional plan was prepared as part of the associated rezoning application review process.

Pedestrians

- The subject site is bound on three sides by roads (a new north/south road, Lansdowne Road, and No. 3 Road) with active uses and weather protection lining the frontages.
- Frontages are interrupted by pedestrian accesses to commercial storefronts, the community amenity, and lobbies for the office and residential towers. A pedestrian breezeway is proposed on either side of the office tower building to provide ground level access to bicycle and vehicle parking (from Lansdowne Road and No. 3 Road).
- The office tower and its main lobby entrance are located at the southeast corner of the site next to the No. 3 Road and Lansdowne Road intersection to encourage pedestrian connectivity to Lansdowne Station, which is located across the street.

Vehicle Access

- Vehicle, loading and waste management access is provided through a single parkade entrance that is located at the north end of the site from the new north/south road to minimize its visibility and interruptions of the pedestrian realm along the streets.

Parking and Loading

The proposed number and size of bicycle and truck spaces are consistent with the site specific bylaw provisions. The proposed number of vehicle parking spaces is consistent with zoning bylaw provisions, which support reducing the on-site parking requirement by up to 10% conditional to implementation of Transportation Demand Management (TDM) measures to the satisfaction of Transportation staff.

- Vehicles: Proposed vehicle parking for the commercial, office and community amenity space uses is located on the ground level, the second above grade level and the second below grade level of the parkade. Proposed vehicle parking for the residents is located in the first and second below grade levels of the parkade. Visitor parking will be shared with the commercial parking. A minimum of twenty (20) parking stalls will be secured for the City amenity space as outlined in Table 1.

Table 1: City exclusive use parking specifications

	Number of stalls required	Length	Width	Shared aisle
Accessible	1	5.5 m	2.5 m	1.5 m
Van accessible	4 (at ground level)	5.5 m	3.4 m	1.5 m
Standard	15	5.5 m	2.5 m	-

- Bicycles: Class 1 (long term) bicycle parking is provided in the below grade levels of the parkade. Visitor bicycle parking is provided at ground level, the first level of below grade parking and within the above grade parking level.
- Loading: The loading spaces are located on the ground level within the parkade and will accommodate five medium size spaces. The spaces will be shared between non-residential and residential loading and waste management uses. Two of the spaces are designed to accommodate the height and width clearances that are required by collection vehicles.
- Special Provisions: A designated Handi-Dart drop-off/pick-up space will be provided along the new north/south road. It will be located within immediate proximity of the entrance to the City-owned community amenity space. Design details will be finalized through the Servicing Agreement (SA) process.
- Transportation Demand Management (TDM): The applicant has requested a 2% TDM reduction of residential parking and proposes to provide end of trip facilities for the office and commercial uses, a bike repair/work lounge area on level 2 for use by residents, and a surplus of secured bike parking.
- Electric Vehicle (EV) Charging Infrastructure: In accordance with the Richmond Zoning Bylaw, all residential parking spaces will have access to an energized outlet capable of providing Level 2 charging. The same charging provisions will be provided for all non-residential parking spaces on the first level of below grade parking. Twenty five (25) percent of the remaining non-residential parking spaces will have access to an energized outlet. Bike storage rooms will include 2 electric outlets for electric bike charging.

Waste Management

The waste and recycling collection area includes four separate rooms (City amenity, office, retail, and residential collection) that are adjacent and accessible from the loading area in the ground level parkade.

Wayfinding

A signage strategy for the development is in the file; however, separate sign permit application(s) will be required to install commercial signage. The signage strategy is supplementary to site planning, building massing, public art, and building materials (colors, textures, illumination), which were designed to safely guide people through and to the various on-site uses.

Common Indoor Amenity Space

Indoor amenity space is proposed for both the residential uses and the office uses.

- Residential: A total of 786 m² (8,465 ft²) residential common indoor amenity space is proposed and exceeds OCP guidelines. The common indoor amenity space is distributed within a proposed low rise building that links Building 3 and 4 and a bike lounge/workshop located on level 2. Two guest suites are proposed within Building 3 on level 4 and are included in the indoor amenity space calculation. As a consideration of Development Permit issuance, the property owner will register an agreement on title to secure equal access for all residents, including occupants of the Affordable Housing (AH) units, to the amenities (fitness centre, party rooms, co-working space, practice and meeting rooms, sauna units and guest suites).

- **Office:** Approximately 90m² (968 ft²) of office indoor amenity space is proposed. There is no guideline expectation for non-residential indoor amenity space and the area is not excludable from the floor area calculations. The proposed space is located at the podium level within the office tower.

Affordable Housing (AH) Strategy

Twenty Low End Market Rental Housing (LEMR) units, with a combined net floor area of approximately 1,362 m² (14,660 ft²), are proposed, which is consistent with the rezoning considerations requirements. The units will be distributed as noted on the Development Permit (DP) drawings on levels three to six within the residential component of the development, and will be secured with a Housing Agreement that includes provisions to secure access to indoor and outdoor common amenity areas and parking for AH units at no additional charge. Use of guest suites may be subject to fees.

Table 2: Affordable Housing Summary

Unit Type	Affordable Housing Strategy Requirements			Development Proposal		
	Minimum Unit Sizes	Current LEMR Maximum Rents*	Total Maximum Household Income*	Unit Mix	# of Units	# Basic Universal Housing (BUH) units
Bachelor	37 m ² (400 ft ²)	\$811	\$34,650 or less	10%	2	2
1-Bedroom	50 m ² (535 ft ²)	\$975	\$38,250 or less	25%	5	2
2-Bedroom	69 m ² (741 ft ²)	\$1,218	\$46,800 or less	40%	8	2
3-Bedroom	85 m ² (924 ft ²), consistent with market units of the same type.	\$1,480	\$58,050 or less	25%	5	5
TOTAL		N/A	N/A	100%	20	11

* Subject to Council approval, total annual household incomes and maximum monthly rents may be increased annually by the Consumer Price Index.

Architectural Form and Character

Massing

- The proposed building massing is organized to reflect the on-site uses. Commercial and community amenity uses are proposed at grade while office and residential uses are proposed within separate building towers. More than 75% of the parking is located below grade, which facilitates the proposed low podium height and expression of distinct tower forms.
- A rectangular tower is located at each corner of the subject site. The placement of the tower buildings alternate narrow and wide façades facing the street to maximize separation between on-site building towers and to introduce variety along the subject site's street frontages.
- The northern towers (Building 2 and 4) are located 12.2 m (40 ft.) from the northern property line. Siting the buildings to provide 50% of the typical minimum tower spacing will assist the adjacent northern property to redevelop in accordance with City Centre tower separation design guidelines.

- The City Centre Area Plan (CCAP) defines building height that exceeds 25 m (82 ft.) in height as a tower and includes guidelines to encourage minimum spacing between towers. While existing development within the City Centre is characterized by a tower(s) over a mid-rise podium, the subject development will be distinguished by a low building podium and tower forms that extend to the podium level. The absence of a midrise streetwall between Building 1 and 3, Building 1 and 2, and Building 2 and 4 effectively increases separation between the on-site building towers and daylight access to the public realm. A six-storey midrise connects Building 3 and 4.

Building Articulation

- The proposed office tower, which is located at the corner of No. 3 Road and Lansdowne Road will be a rectangular form clad in curtain wall that is articulated with angled corners and edges at various locations on the building. The angled edges are used to mark important circulation points (entrance to the office building and entrances to the parkade), to set the tower form apart from the podium, and to create façade and skyline interest. The combination of proposed building massing and façade treatment will introduce an office tower that extends to meet grade.
- The office building layout proposes to accommodate the circulation core along the exterior wall of the building's west elevation. The façade will be clad in patterned metal panel and the treatment will extend upward to add interest to the roofline.
- The residential towers are articulated using cantilevered balconies with opaque and transparent balcony guards that vary in shape and height. In some locations the balconies are discontinued and the glass façade is exposed. The opaque and non-uniform appearance of the balcony guards contrasts with the office building expression.
- Each tower includes angled height parapets, translucent in the case of the office tower and solid in the case of the residential towers, which contribute visual interest to the skyline. The District Energy Utility (DEU) central plant facility, will be located on the office tower roof top and will be partially screened by extending the parapet curtain wall and using metal grilles.
- The alignment of balconies on Building 2 and 3 are proposed to alternate on every other floor to create a textured expression on all façades, which is especially notable at the building corners. Balconies on the west and north elevation of Building 4 are organized as 'slices' that project a twisting appearance. The residential towers will also arrange diagonal shaped balcony guard screens in an angular vertical pattern to reinforce the alternating balcony expression.
- The mid-rise building proposes a uniform alignment of balconies and architectural framing to create a separate but related identity to the towers.
- Distinct tower entries are proposed. The office tower entry design includes a deep, angled, thin-profile cantilevered roof that projects toward the intersection, which will also provide weather protection. The residential lobby entries are identified with high, metal frames (zinc and copper finishes) that contrast with the neutral colour scheme proposed for the façades. Thicker profile framing elements are proposed at grade level to distinguish the low podium from the finer profile framing elements used in the towers above.
- Color and materials will be used to differentiate the residential and office towers and to articulate the building façades:

- Residential façades will include a combination of window wall and insulated wall panels in charcoal hues to accentuate the white, angular balcony expression.
- The office tower will include a transparent curtain wall in a gray hue set in a gray frame. The building material will have a high level of transparency and was selected to minimize light reflected from the building façade.

Landscape and Open Space Design

Ground Level: A concrete unit paver pattern in beige and gray is proposed at ground level. The pattern and material have been coordinated with the conceptual design of the abutting section of Lansdowne Linear Park. The applicant is responsible for design and construction of the park and will work with staff through a separate Servicing Agreement process to develop the design. The paver pattern will continue into the breezeway connections, which are proposed on either side of the proposed office building. Public access and use of the proposed breezeways during regular business hours would be secured as a condition of Development Permit issuance.

Residential Common Outdoor Space: The common residential outdoor amenity space will be located at the podium level and will include active and passive spaces including outdoor lounge areas, pathways, outdoor patio spaces with direct access to common indoor amenity spaces, and a dog run with wash station. An orthogonal outdoor pool with stepped pool depths and lap swimming lanes is located at the centre of the outdoor amenity area. Planters with suitable soil volume to support landscaping that includes trees will be introduced throughout the outdoor amenity area. Landscape elements will separate common outdoor amenity space from outdoor spaces associated with private residents.

Children's Play Area: The landscape design includes an area designed to encourage children's play including a prefabricated play structure with spinning, climbing, hanging, and balancing play equipment on a rubberized surface with sodded play lawn beyond.

Green Roof: The midrise rooftop, which will not be accessible to residents, will be landscaped with Serbian spruce trees, meadow grasses, colorful purple coneflower and slow growing evergreen shrubs along the roof edges.

Landscape Letter of Credit (LOC): As a condition of Development Permit issuance, the applicant will provide a LOC for \$612,563.49. As a consideration of Development Permit issuance, the applicant will register a legal agreement regarding use and return of the landscape security that includes provisions in the case that the developer fails to obtain the final Building Permit within ten years of the Development Permit being issued.

Tree Retention and Replacement: Tree retention and replacement was reviewed as part of the associated rezoning. Nine off-site trees and 31 on-site bylaw sized trees were identified on the tree survey. The off-site trees were identified for removal as they are in conflict with planned improvements that will be undertaken north of the existing Lansdowne Road travel lanes to enhance the public realm, including introduction of a section of City-owned Lansdowne Linear Park. As a condition of rezoning bylaw adoption, the property owner will provide compensation for the removal of the trees (9 x \$1300) and new street trees will be required as part of the required frontage improvements.

All of the on-site trees will be impacted by the proposed development. The proposed landscape plan includes 62 bylaw replacement sized deciduous trees, and 21 conifers on the subject site. The total number of replacement trees exceeds the 2:1 compensation ratio stated in the OCP.

Public Art: During the associated rezoning application review process, the applicant committed to participate in the City's Public Art Program (Policy 8703) and to divide the contribution evenly between on-site and off-site works.

On-site Public Art:

- The developer intends to mount art installations on the ceiling of the breezeways, which provide connection between the site's No. 3 Road and Lansdowne Road frontages and the parkade. The public art is a light installation that was selected to animate and to invite the public to use the breezeways. The pieces will be programmable (lighting levels may be dimmable) and no adjacent residences will be impacted (no light pollution concerns). The locations and installation details are included in the attached plans.
- The associated Public Art Plan was considered and endorsed by the Richmond Public Art Advisory Committee (RPAAC) on May 22, 2019.
- As a consideration of Development Permit issuance, the property owner will register an agreement on title to ensure that the installations are maintained and remain visible to the public at all times and that access through the breezeways, where the art is mounted, is publically accessible during regular business hours. City approval of any programming changes will be required and the City will have the ability to change the programming of the public art installations.

Off-site Public Art:

Working with Parks staff, the Public Art Planner will lead the process of introducing Public Art that is intended to artistically enhance functional features within the abutting section of Lansdowne Linear Park (e.g. furnishing, lighting, etc.).

Sustainability

- As a consideration of rezoning, the applicant will design, construct and transfer ownership of an on-site energy plant to the City, to the satisfaction of the City, and the equipment specifications will be determined as a condition of Building Permit issuance. The central energy plant will be located primarily at the top floor of the office tower.
- The subject application intends to proceed in accordance with the LEED Silver equivalency grandfathering provisions that were adopted by City Council when the step code was introduced (Attachment 5).

Liveability

- All of the proposed residential units will incorporate aging in place features to accommodate mobility constraints associated with aging. These features include stairwell handrails; lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers. Barrier free access to the building lobbies and indoor and outdoor amenity spaces is provided throughout the building.

- Eleven (11) Affordable Housing (AH) units will include basic universal housing (BUH) provisions that comply with the BUH specifications articulated in the Zoning Bylaw.
- The applicant has provided acoustical and mechanical thermal reports to confirm that the development will meet OCP internal noise and thermal comfort guidelines. Noise related covenants will be registered on title as a condition of rezoning bylaw adoption.

Crime Prevention Through Environmental Design (CPTED): The subject application includes CPTED measures that encourage passive surveillance through design and create well defined spaces (design with wayfinding in mind, distinguish between public, semi-private and private spaces, integrated signage and lighting strategies, street oriented store fronts and lobby spaces, use of transparent glazing, etc.)

Third-party Utilities:

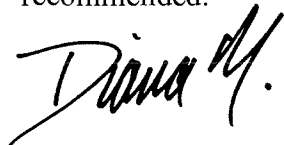
- All permanent third party utility equipment is required to be located on site. A Vista box will be located on-site adjacent to the new north-south road. The architectural plans accommodate additional miscellaneous City and third-party utility equipment on-site.
- Discharge of existing utility right of ways (BK224039, RD67600) will be initiated by Engineering staff after the Servicing Agreement works are completed.

Phasing, Subdivision and Existing Legal Encumbrances

The proposal is a single phase development. The property owner intends to create three airspace parcels and a remainder (residential, office, City community amenity and a remainder). At this time, the developer has not made a decision regarding future stratification of the office space.

Conclusions

As the proposed development will meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Diana Nikolic
Senior Planner/Urban Design
(604-276-4040)

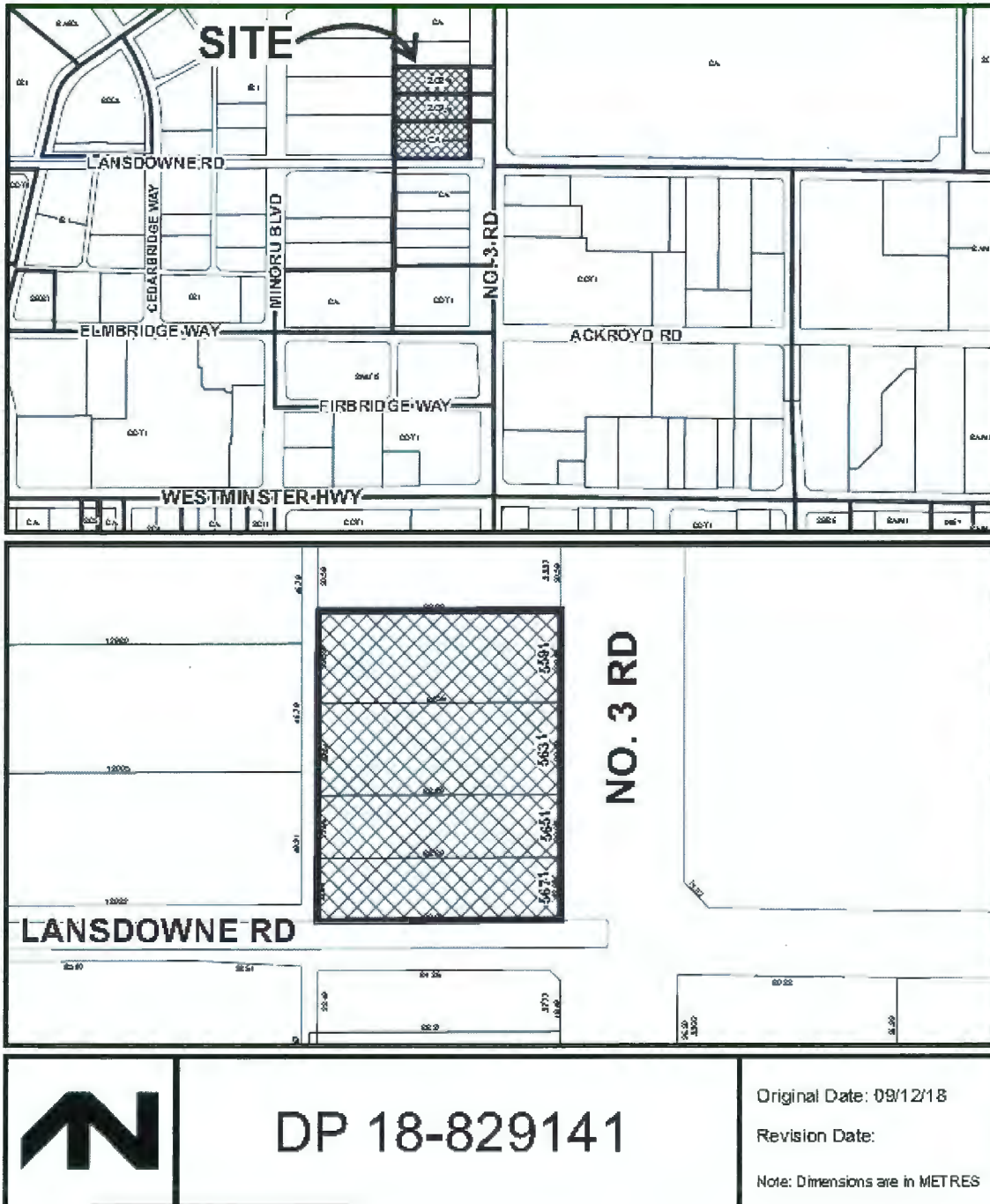
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Attachments:

- Attachment 1: Location Map
- Attachment 2: Development Application Data Sheet
- Attachment 3: Lansdowne Village Specific Land Use Map
- Attachment 4: Advisory Design Panel Minutes & Applicant Responses (inserted in bold italics)
- Attachment 5: LEED Equivalency List (provided by applicant)
- Attachment 6: Development Permit Considerations



City of
Richmond





**City of
Richmond**

Development Permit Conditions of Approval

Development Applications Department

DP 18-829141

Address:	5591, 5631, 5651 and 5671 No. 3 Road
Applicant:	Townline Ventures Inc. (Luxe Richmond Nominee Ltd.)
Owner:	Townline No. 3 Road Holdings Ltd., Inc. No. BC1185640 (5647, 5591 No. 3 Road), Can Lit Development Holding Inc. No. BC1150462 (5651 No. 3 Road), City of Richmond (5671 No. 3 Road)
Planning Area(s):	City Centre – Lansdowne Village

DP 16-754761

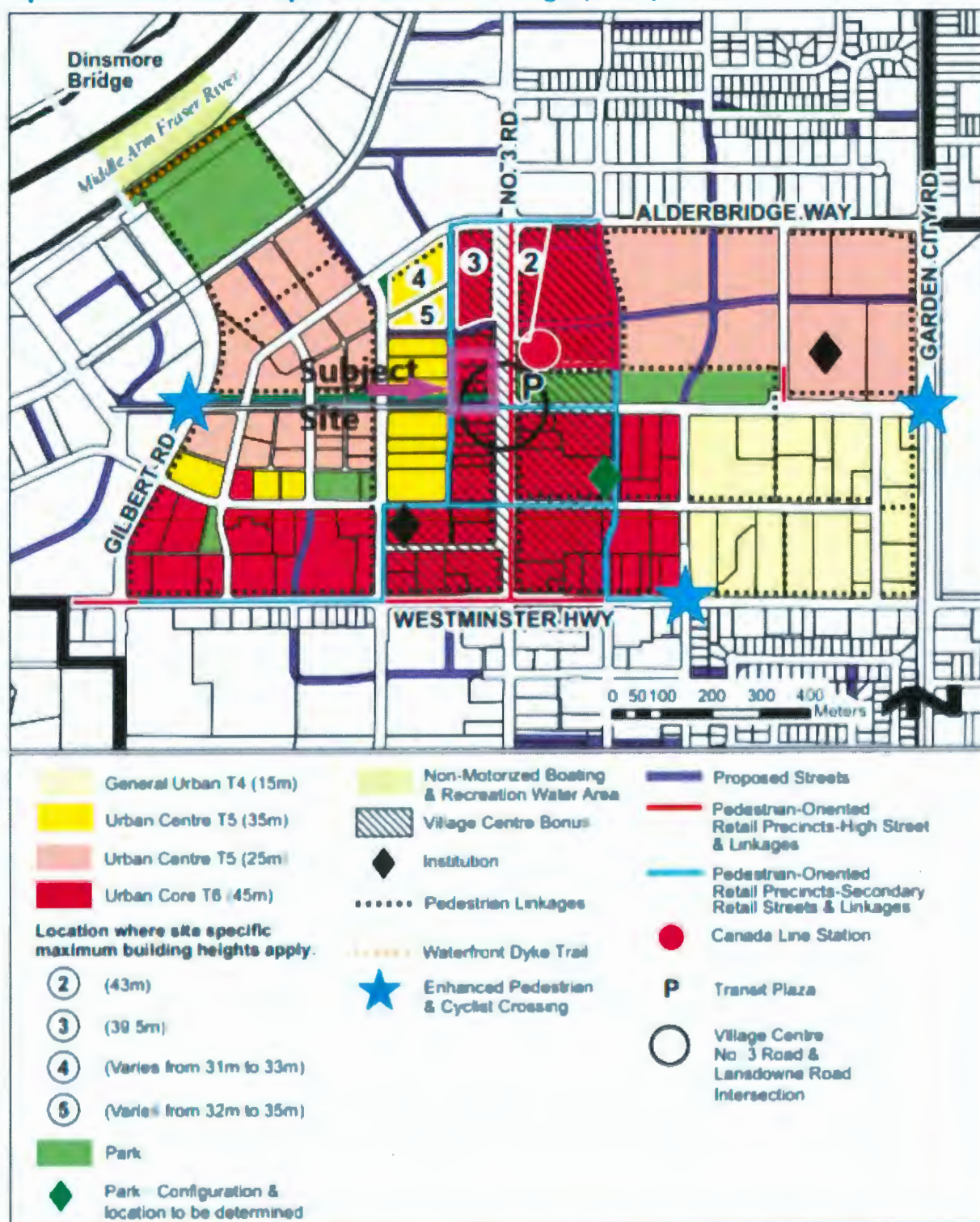
	Required	Proposed
Net Development Site Area :	Min. 7,400 m ²	9,049 m ²
Land Uses:	Mixed Use	Mixed Use
OCP Designation:	Downtown Mixed Use	Downtown Mixed Use
Area Plan Designation:	Urban Core T6 (45 m), Village Centre Bonus (VCB)	Urban Core T6 (45 m), VCB
Zoning:	ZMU38	ZMU38
Number of Residential Units:	n/a	383

DP 18-829141

	ZMU38	Proposed	Variance
Floor Area Ratio (FAR):	2.0 FAR increased to a higher density of 3.0 FAR conditional to complying with the City's affordable housing objectives. 3.0 FAR increased to a higher density of 4.0 FAR conditional to the lot being located within a VCB designated area and complying with VCB terms	Net: 3.99 FAR Residential: 3.0 FAR Commercial: 0.99 FAR	n/a
Lot Coverage:	Max. 90%	76%	None
Setback – No. 3 Road:	No. 3 Road and New North/South Road: 6 m minimum that may be reduced to 3 m subject to conditions South lot line: 6 m that may be reduced to 3 m subject to conditions. North property line: 0 m For parts of a building below finished site grade: 0 m	No. 3 Road: 3 m New North/South Road: 3 m South property line: 3.0 m North property line: 0 m	none
Height (geodetic):	Max. 47.0 m	47.0 m	none
Parking Spaces – Total (Zone 1)	537 Residential: 381 Non-residential: 167	542 Residential: 375 Non-Residential: 167 2% TDM relaxation (end of trip facilities)	none

Accessible Parking	2% of required parking spaces Residential: 8 Commercial: 4	Residential: 8 Commercial: 4 City Amenity: 5 (including 4 van accessible stalls)	None
Loading	5 shared medium truck loading spaces. No large on-site truck (WB-17) parking	5 shared medium truck loading spaces	None
Amenity Space – Indoor	2 m ² /unit: 766 m ²	Residential Amenity: 786 m ²	n/a
Amenity Space – Outdoor	OCP: Minimum 6 m ² /unit: 2,298 m ²	2,912 m ²	n/a

Specific Land Use Map: Lansdowne Village (2031)



Maximum building height may be subject to established Airport Zoning Regulations in certain areas

**Excerpt from the Minutes from
The Design Panel Meeting**

Wednesday, November 8, 2019 – 4:00 p.m.

Rm. M.1.003

Richmond City Hall

	Panel Discussion	
	<i>Comments from Panel members were as follows:</i>	
	▪	<p>appreciate the applicant considering public art as it would help define and differentiate the site in Lansdowne Village (City Centre); look at structural considerations in the design of public art feature if it is installed above the parkade;</p> <p><i>An investigation of the structural considerations with regards to the public art feature will be considered when appropriate.</i></p>
	▪	<p>ground level architecture and paving articulation help define and differentiate the site;</p>
	▪	<p>appreciate the angular articulation of ground level retail spaces which is unique;</p>
	▪	<p>appreciate the rendered interior lighting golden colour which contrasts with the rest of the building; consider incorporating this colour contrast with regard to the architecture of the building to better define the ground plane;</p>
	▪	<p>consider incorporating pedestrian scale lighting at the breezeways to provide lighting at night due to their nested locations;</p> <p><i>Pedestrian scale lighting will be incorporated into the breezeway design with the further inclusion of CPTED guidelines.</i></p>
	▪	<p>appreciate the applicant's presentation and materials provided to the Panel;</p>
	▪	<p>the proposed linear park should align with the plans of the City's Parks Department; support the paved and plaza-like treatment as it is consistent with the design of the future Lansdowne Mall civic plaza across No. 3 Road;</p> <p><i>Consultants will coordinate with City's Parks Department to ensure continuation of a cohesive design with similar developments.</i></p>

	<ul style="list-style-type: none"> concerned about the shading on the common areas on the podium roof deck; shadow studies indicate that the pool and play areas will be mostly in shade; consider relocating play area, the play lawn and the covered parental seating to the quiet seating and contemplative garden at the southern portion of the outdoor amenity space to receive more sunlight exposure; <i>The children's play area has been relocated to the southern portion of the outdoor amenity space for greater sun exposure and comfort of future users.</i>
	<ul style="list-style-type: none"> proposed programming of the outdoor amenity space is interesting; however, solar access is a concern; <i>See comments above</i>
	<ul style="list-style-type: none"> there is no compelling need to incorporate urban agriculture in the outdoor amenity space;
	<ul style="list-style-type: none"> support the rectilinear aesthetic of the outdoor amenity area; appreciate the skewed orthogonal design of the buildings; consider incorporating skewed lines in the landscape design to reflect the architecture of the buildings; <i>Architectural lines have been reflected within the revised landscape design.</i>
	<ul style="list-style-type: none"> consider a hierarchy of walkways on the common outdoor amenity area; investigate opportunities to increase the width of the proposed 1.2-meter wide T-shaped walkway, particularly the portion adjacent to the pool; <i>The landscape architect addressed the hierarchy of walkway to improve pedestrian traffic safety.</i>
	<ul style="list-style-type: none"> consider incorporating a space designed to take/manage dog waste in the proposed dog run; <i>Receptacles will be put in place along with the services required to manage dog waste within the dog run.</i>
	<ul style="list-style-type: none"> appreciate the materials package provided by the applicant;
	<ul style="list-style-type: none"> the applicant is advised to appropriately address potential CPTED issues at the breezeways; installing a door/gate to provide security during night time may create a dark pocket; <i>The interior breezeways will be secured by gates that will operate in a manner to suit the future tenants. Security gates have been added to the drawings to reflect this intention.</i>
	<ul style="list-style-type: none"> consider breaking up the south-facing retail spaces or incorporate programs to activate the plaza space at the front; consider locating another café with outside seating at the plaza to animate the space; <i>The location of entry doors and program of the commercial space will be dictated by leasing and cannot be known at this time.</i>

	<ul style="list-style-type: none"> ▪ applicant needs to provide a balance between the formal design aspect versus the functional aspect of the building; investigate opportunities to provide weather protection at certain portions of the building, e.g. at the breezeways, along the café lobby area, and other locations; <i>The vast majority of the ground plane implements continuous weather protection. Two small gaps are located in front of each breezeway but are supplemented by canopies on adjacent buildings.</i>
	<ul style="list-style-type: none"> ▪ review whether proposed use of highly reflective material for the chamfer of the building at the southeast corner could pose safety concerns for motorists near the intersection; the applicant is encouraged to look into and address this potential safety issue; <i>The chamfer on the southeast corner of the office building will not be highly reflective and will be treated the same as the rest of the building.</i>
	<ul style="list-style-type: none"> ▪ agree with positive Panel comments regarding the high quality of the package provided to Panel members;
	<ul style="list-style-type: none"> ▪ appreciate the departure from the built up podium in the design of the buildings which is a welcome change along No. 3 Road; however, tower separations have been reduced; shadow diagrams indicate congested separation between the residential towers; <i>The volume of the proposed tower spacing between Buildings 2 and 4 is greater than that of the Official Community Plan (OCP) guideline's podium and tower massing. The proposed design allows for greater natural light access to the street, improved views for tenants, and a stronger connection of the building to the ground plane.</i>
	<ul style="list-style-type: none"> ▪ appreciate the lower podium programming and the articulation of the building form; pinwheel massing approach works successfully; however, concerned that tower separation is not adequate; appreciate the flaring of some of the balconies between the buildings; however it also contributes to the tower separation issue; consider straightening up or changing the depth of the balconies particularly at the pinch points to mitigate the tight separation between residential towers; <i>See comments above.</i>
	<ul style="list-style-type: none"> ▪ store frontage treatment is interesting strong defining edge; commercial venting needs to be discreet; appreciate the breaks and the breezeways; <i>Coordination with mechanical consultant will be done to ensure that commercial venting is discreetly located within the podium canopy soffit.</i>
	<ul style="list-style-type: none"> ▪ proposed signage and lighting is appropriate; helps identify the entry points to the parkade; wrapping the retail around helps provide “eyes” on and animation to the breezeways;
	<ul style="list-style-type: none"> ▪ appreciate the residential lobby arches treatment which accentuate the entries to residential buildings;

	▪	<p>appreciate the programming of the outdoor amenity area; however, support the Panel comment to consider relocating certain programs to areas that receive the most sunlight exposure;</p> <p><i>See previous comments regarding relocation of outdoor amenity spaces.</i></p>
	▪	<p>appreciate the bridging of Buildings 3 and 4 with a component of the outdoor amenity area;</p>
	▪	<p>the applicant is encouraged to investigate opportunities to reduce the percentage of windows in the buildings considering the significant amount of slab extensions and thermal bridging in the buildings;</p> <p><i>The project design will meet all building code and LEED Silver V4 requirements.</i></p>
	▪	<p>the office building is a nice anchoring element and sited in an appropriate location; the applicant is encouraged to investigate opportunities to introduce passive shading on the south side without detracting too much from the purity of the building form;</p> <p><i>See comment above.</i></p>
	▪	<p>appreciate the materials palette; not concerned with two residential buildings having similar expression; the three residential buildings have a nice family grouping; the different expression of the office building is more than sufficient to offset the similarities in the three residential buildings;</p>
	▪	<p>support the project;</p>
	▪	<p>appreciate the project and the proposed sustainability features;</p>
	▪	<p>applicant is advised to be mindful of the requirement to incorporate vestibules in retail spaces;</p> <p><i>Vestibules have been incorporated into the retail space.</i></p>
	▪	<p>consider relocating the sub EMR room away from residential uses;</p> <p><i>The sub EMR room has been relocated to the eastern side of the podium away from residential uses.</i></p>
	▪	<p>review the proposed central heat recovery system for residential units as it may not be feasible due to LEED requirement;</p> <p><i>The central heat recovery system will be designed to meet LEED Silver V4 requirements.</i></p>
	▪	<p>support the project;</p>
	▪	<p>the proposed project was well presented and easy to understand; appreciate the proposed materials palette;</p>

	▪	support the amount of programming for the outdoor amenity space; lots of good programming and different sizes of spaces; nice views of the indoor and outdoor amenity areas; appreciate the walking loops;
	▪	not concerned with the lack of urban agriculture on the common outdoor amenity area; could be incorporated by future strata if there is a demand from residents;
	▪	design of the outdoor amenity space is well done; appreciate the proposed rectilinear aesthetic;
	▪	design of the linear park should not be overly prescriptive; ensure that it is consistent with the building architecture;
	▪	proposed pinwheel approach for the design of the residential buildings has an impact on the solar aspect into the amenity space; support the suggestion from the Panel to relocate active spaces to the southern portion of the common outdoor amenity area; <i>See previous comment regarding relocation of outdoor amenity spaces.</i>
	▪	a nice project;
	▪	appreciate the applicant's presentation and package provided to the Panel;
	▪	appreciate the design of the project; has the potential to become a landmark site due to its high value location; signage and lighting are crucial to the success of the project; public realm needs to be resolved as it is critical to the future of the City's downtown core; <i>See previous comment regarding coordination with consultants and the City to improve the park and by extension the public realm.</i>
	▪	consider changing the wood soffit to a more durable material for long-term maintenance; <i>The level 1 soffit material has been changed to a wood textured aluminum extrusion to be more durable for long-term maintenance.</i>
	▪	consider incorporating an end-of-trip facility for the office building considering its prime location in the City; <i>An end of trip facility has been added to the office building as advised.</i>
	▪	look at the venting for the retail and restaurant spaces; note that MUAs will impact on the public spaces at the podium and needs to be shown at this stage of the project; include in future submissions; <i>Mechanical vents/louvers have been incorporated into the podium soffit to limit visual impact on the public realm.</i>

	▪	support Panel comments regarding lighting and security in the breezeways; also agree with the comment that the access to the breezeway needs to be controlled during certain hours; look at good precedents;
	▪	agree that tower separation is tight; however, the approach is supported given the benefits of a well-defined pedestrian realm and cut-up podium; should not be considered a precedent as the proposed approach is applicable only to meritorious cases; and
	▪	the three columns in the loading bay area need to be resolved; and <i>The location of columns was revised and has been coordinated with consultants.</i>
	▪	consider materials and colours of soffits for the residential spaces with a warmer golden tone shown in the rendering. <i>The design team investigated alternate colours and materials; however, the ultimate decision was that the soffit as currently represented balances the function an aesthetic intention of the design.</i>



LEED v4 for BD+C: New Construction and Major Renovation

Project Checklist

Project Name:

No.3 Road Townline, Richmond

Date:

8/30/2019

Y ? N

1

Credit Integrative Process

1

13 2 16 Location and Transportation 16

1	16	Credit	LEED for Neighborhood Development Location	16
1		Credit	Sensitive Land Protection	1
1		Credit	High Priority Site	2
5		Credit	Surrounding Density and Diverse Uses	5
5		Credit	Access to Quality Transit	5
1		Credit	Bicycle Facilities	1
1		Credit	Reduced Parking Footprint	1
1		Credit	Green Vehicles	1

3 1 6 Sustainable Sites 10

Y		Prereq	Construction Activity Pollution Prevention	Required
1		Credit	Site Assessment	1
1	2	Credit	Site Development - Protect or Restore Habitat	2
1		Credit	Open Space	1
1	3	Credit	Rainwater Management	3
1	1	Credit	Heat Island Reduction	2
1	1	Credit	Light Pollution Reduction	1

8 2 1 Water Efficiency 11

Y		Prereq	Outdoor Water Use Reduction	Required
Y		Prereq	Indoor Water Use Reduction	Required
Y		Prereq	Building-Level Water Metering	Required
2		Credit	Outdoor Water Use Reduction	2
3	2	Credit	Indoor Water Use Reduction	6
2		Credit	Cooling Tower Water Use	2
1		Credit	Water Metering	1

15 5 13 Energy and Atmosphere 33

Y		Prereq	Fundamental Commissioning and Verification	Required
Y		Prereq	Minimum Energy Performance	Required
Y		Prereq	Building-Level Energy Metering	Required
Y		Prereq	Fundamental Refrigerant Management	Required
8		Credit	Enhanced Commissioning	8
8	2	Credit	Optimize Energy Performance	18
1		Credit	Advanced Energy Metering	1
2		Credit	Demand Response	2
3		Credit	Renewable Energy Production	3
1		Credit	Enhanced Refrigerant Management	1
2		Credit	Green Power and Carbon Offsets	2

8 3 0 Materials and Resources 13

Y		Prereq	Storage and Collection of Recyclables	Required
Y		Prereq	Construction and Demolition Waste Management Planning	Required
3		Credit	Building Life-Cycle Impact Reduction	5
2		Credit	Building Product Disclosure and Optimization- Environmental Product Declarations	2
2		Credit	Building Product Disclosure and Optimization- Sourcing of Raw Materials	2
2		Credit	Building Product Disclosure and Optimization- Material Ingredients	2
2		Credit	Construction and Demolition Waste Management	2

6 2 6 Indoor Environmental Quality 16

Y		Prereq	Minimum Indoor Air Quality Performance	Required
Y		Prereq	Environmental Tobacco Smoke Control	Required
2	2	Credit	Enhanced Indoor Air Quality Strategies	2
2		Credit	Low Emitting Materials	3
1		Credit	Construction Indoor Air Quality Management Plan	1
2	2	Credit	Indoor Air Quality Assessment	2
1		Credit	Thermal Comfort	1
1		Credit	Interior Lighting	2
3		Credit	Daylight	3
1		Credit	Quality Views	1
1		Credit	Acoustic Performance	1

2 0 0 Innovation 6

1		Credit	Innovation Purchasing - lamps; walkable site; O+M Starter Kit	6
1		Credit	LEED Accredited Professional	1

2 2 0 Regional Priority 4

1		Credit	Regional Priority: Enhanced Commissioning	1
1		Credit	Regional Priority: Indoor Water Use Reduction (24)	1
1		Credit	Regional Priority: Optimized Energy Performance (10)	1
1		Credit	Regional Priority: Building Life Cycle Impact Reduction (3)	1

57 17 43 TOTALS Possible Points: 110

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



City of
Richmond

Development Permit Considerations

Development Applications Department

6911 No. 3 Road, Richmond, BC V6Y 2C1

Prior to issuance of DP 18-829141, the developer is required to complete the following:

1. On-site Public Art and Statutory Right of Way: Registration of an agreement to facilitate the implementation of the City approved Public Art Plan and associated statutory right of way including:
 - a) “No occupancy” shall be permitted on the subject lands, restricting final Building Permit inspection granting occupancy of the building (exclusive of parking), in whole or in part, on the subject lands until:
 - i. The property owner, at the property owner’s sole cost and expense, commissions one or more artists to conceive, create, manufacture, design, and oversee or provide input about the manufacturing of the public artwork and causes the public artwork to be installed within a statutory right-of-way on the subject lands (which right of way shall be to the satisfaction of the City) for rights of public passage, Public Art, and related purposes, in accordance with the City approved Public Art Plan and, as applicable, detailed Public Art Plan.
 - ii. A Public Art Plan has been submitted that proposes an art contribution to be installed on parts of the building façade that focus on animating the breezeways and nearby public frontage. A Letter of Credit or cash (as determined at the sole discretion of the City) will be secured. The agreement will secure the following:
 - The property owner, at his/her expense and within thirty (30) days of the date on which the Public Art is installed, executes and delivers to the City a transfer of all of the developer’s rights, title and interest in the Public Art to the subsequent strata or property owner of a non-residential component of the development (including transfer of joint world-wide copyright) or as otherwise determined to be satisfactory by the City Solicitor and Director, Arts, Culture and Heritage Services.
Note: It is the understanding of the City that the artist’s title and interest in the public artwork will be transferred to the owner upon acceptance of the artwork based on an agreement solely between the owner and the artist and that these interests will in turn be transferred to the City, subject to approval by Council to accept the donation of the artwork.
 - The owner, at the owner’s sole cost and expense, submits a final report to the City promptly after completion of the installation of the Public Art in accordance with the City approved Public Art Plan, which report shall, to the satisfaction of the Director, Development and Director, Arts, Culture, and Heritage Services including:
 - Information regarding the siting of the Public Art, a brief biography of the artist(s), a statement from the artist(s) on the Public Art, and other such details as the Director, Development and Director, Arts, Culture, and Heritage Services may require.
 - A statutory declaration, satisfactory to the City Solicitor, confirming that the owner’s financial obligation(s) to the artist(s) have been fully satisfied.
 - The maintenance plan for the Public Art prepared by the artist(s).

- Digital records (e.g., photographic images) of the Public Art, to the satisfaction of the Director, Development, and Director, Arts, Culture and Heritage Services.
 - Ownership provisions are to specify that the on-site Public Art will be owned and maintained by a non-residential owner and that on-site Public Art is to remain visible to the public every day at all times.
 - A requirement to apply to the City for any proposed changes in the programming of the Public Art. The City is not obligated to approve any programming changes. Further, the City reserves the ability to change the programming of the Public Art for the duration of the installation.
- iii. As an alternative to the provision on Public Art on-site, the owner may offer to make a voluntary cash contribution in lieu.
- b) Registration of a statutory right of way (SRW), generally as shown in Sketch Plan A (attached) for breezeway areas (north/south breezeway approximately 78m², east/west breezeway approximately 48 m²). The SRW area will provide for:
 - i. Access during standard business hours that is universally accessible and public, in the form of a combined walkway/off-street dismounted bike path for the use and enjoyment of pedestrians, to the satisfaction of the City.
 - ii. Maintenance at the sole cost of the owner.
 - iii. Building encroachment above and below the right of way area is permitted provided access and use remains unobstructed and universally accessible.
 - iv. The owner's ability to close a portion of the right of way to public access to facilitate maintenance or repairs to the right of way provided that adequate public access is maintained and the duration of the closure is limited, as approved by the City in writing in advance of any such closure.
- 2. Shared Amenities: Registration of a restrictive covenant and/or alternative agreement specifying shared access and use of indoor and outdoor amenity space for all residents, including use of residential guest suites. Guest suites are to be restricted to use as short term accommodation only and the strata may apply a user fee for their access and use. Upon stratification of the subject site, the residential guest suites will be designated as common property or as otherwise determined to the satisfaction of the City and shall be accessible to all residents.
- 3. Landscape Security: Receipt of a Letter of Credit for landscaping in the amount of \$612,563.49, based on a cost estimate provided by Durante Kreuk Ltd., which includes a 10% contingency cost to secure the developer's planting and maintenance (for a period of one year) of 62 bylaw size replacement trees and supplementary tree planting and landscaping on the development site. Execution of a legal agreement regarding use and return of the Landscape Security, to the satisfaction of the City. If the developer fails to obtain a final Building Permit before the tenth anniversary of Development Permit issuance, the outstanding replacement trees will be deemed to have not been accommodated.

Prior to Building Permit issuance, the developer must complete the following requirements:

1. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).

3. Confirmation that the recommendations identified in the acoustic evaluation report by Brown Strachan Associates, dated December 6, 2019, and the acknowledgement to design the mechanical system to comply with City of Richmond requirements, as noted in the undertaking and assessment by Brown Strachan Associates, dated February 14, 202, or equivalent measures, have been incorporated in the construction plans.
4. Confirmation that the commitments regarding EV charging provisions, which are identified in the plans prepared by Nemetz and Associates Ltd., or equivalent measures, have been incorporated into the construction plans to the satisfaction of Sustainability staff.
5. Provision of recommended noise mitigation measures \ for on-site District Energy Utility facilities, as needed.
6. Confirmation that minimum ceiling heights to accommodate truck access (minimum 4.5 m) and collection (minimum 7.5 m) are consistent with City Waste Management Design Guidelines.
7. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit process.

Signed (signed copy on file): _____

Date: _____





City of Richmond

Development Permit

No. DP 18-829141

To the Holder: Luxe Richmond Nominee Ltd., (on behalf of the property owners (Townline No. 3 Road Holdings Ltd., Inc. No. BC1185640, Can Lit Development Holding Inc. No. BC1150462, City of Richmond)

Property Address: 5591, 5631, 5651 and 5671 No. 3 Road

Address: c/o 1800-510 West Georgia Street, Vancouver, BC. V6B 0M3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1.1 to # 7.1 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$612,563.49 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

No. DP 18-829141

To the Holder: Luxe Richmond Nominee Ltd., (on behalf of the property owners
(Townline No. 3 Road Holdings Ltd., Inc. No. BC1185640, Can Lit
Development Holding Inc. No. BC1150462, City of Richmond)

Property Address: 5591, 5631, 5651 and 5671 No. 3 Road

Address: c/o 1800-510 West Georgia Street, Vancouver, BC. V6B 0M3

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR

NO, 3 ROAD MIXED-USE DEVELOPMENT

PROJECT INFORMATION AND ADDRESS

CIVIC ADDRESS: 5591-5631-5671 NO. 3 ROAD, RICHMOND, B.C.

LEGAL ADDRESS: LOT A, SECTION 5, BLOCK 4, NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN LMP29258

ZONING ANALYSIS

ZONING: HIGH DENSITY MIXED USE (ZMU3B)
LANSDOWNE VILLAGE (CITY CENTRE)
- RESIDENTIAL:
- OFFICE
PROPOSED STOREYS
15 STOREYS
12 STOREYS
3.0
MAX DENSITY FOR RES:
MAX DENSITY FOR COM:
TOTAL MAX FSR:
MAX DENSITY FOR RES:
MAX DENSITY FOR COM:
TOTAL MAX FSR:
7.460.59 m² (40,305.07 SF)
9,049 m² (97,402 SF)
75%
47.0m (154'-2")
47.0m (154'-2")

DENSITY SUMMARY

DEVELOPMENT STATISTICS

LEVEL	COMMERCIAL				RESIDENTIAL				TOTAL			
	OFFICE (BUILDING 1)	RETAIL	CITY AMENITY CONTRIBUTION	COMM. TOTAL	BRIDGE BLDG	BUILDING 2 (NE)	BUILDING 3 (SW)	BUILDING 4 (NW)	RES. TOTAL	Floor Area [ft ²]	GFA [ft ²]	Floor Area [ft ²]
P2												
P1												
1	3,146	292.27	3,146	12,440	1,156	32,440	6,007	558.65	6,007	21,593	26,701	21,593
2	697	64.35	1,415			1,415	697	592	592	6,593	6,593	6,593
3	6,593	612.59	7,505			7,505	6,593	4,547	6,593	4,547	4,547	4,547
4	6,933	644.09	7,735			7,735	6,933	619.66	7,735	6,933	6,933	6,933
5	7,126	662.04	7,930			7,930	7,126	662.35	7,930	7,126	7,126	7,126
6	7,304	678.56	8,088			8,088	7,304	678.56	8,088	7,304	7,304	7,304
7	7,464	693.42	8,257			8,257	7,464	693.42	8,257	7,464	7,464	7,464
8	7,650	708.84	8,410			8,410	7,650	708.84	8,410	7,650	7,650	7,650
9	7,734	718.49	8,520			8,520	7,734	718.49	8,520	7,734	7,734	7,734
10	7,827	727.18	8,614			8,614	7,827	727.18	8,614	7,827	7,827	7,827
11	7,911	731.59	8,698			8,698	7,911	731.59	8,698	7,911	7,911	7,911
12	7,986	741.90	8,773			8,773	7,986	741.90	8,773	7,986	7,986	7,986
13												
14												
15												
TOTAL [ft ²]	78,352	87,051	32,440	12,440	6,007	96,798	105,497	9,567	56,612	105,497	105,497	105,497
TOTAL [m ²]	7,279.10	8,067.28	1,155.69	1,155.69	558.07	8,992.86	9,801.04	888.76	524.12	9,801.04	9,801.04	9,801.04
FAR	0.80	0.13	0.06	0.99	0.10	0.99	0.95	1.00	0.99	0.95	0.95	0.95

BASE COMMERCIAL DEVELOPMENT UNIT FAREXEMPTION	100 m ²	-200.712
100 m ² PER UNIT	100 m ²	-383 m ²
DISTRICT ENERGY FAREXEMPTION, Section 4.15	1 m ² PER UNIT	-432.612

NOTE: DEU & BUH EXEMPTIONS INCLUDED IN RESIDENTIAL FAR CALCULATION

UNIT MIX SUMMARY

MARKET UNIT MIX SUMMARY

UNIT TYPE	AVG. UNIT SIZE [ft ²]	% OF TOTAL	UNIT COUNT
1 BED	575.2	35.6%	130
2 BED	763.7	66%	218
2 BED + DEN	783.2	2%	9
3 BED	924.5	2%	6
TOTAL MARKET UNITS		100%	363

AMENITY REQUIREMENTS

AMENITY REQUIREMENTS

TYPE OF AMENITY	GUIDELINE	REQUIRED	PROPOSED
OUTDOOR	100 m ² per dwelling + 10% of net development	33,385.9	31,344
INDOOR	100 m ² per dwelling	8,245.1	8,465

BIKE STALL REQUIREMENTS

BUILDING USE	BYLAW	REQUIRED	PROPOSED
RESIDENTIAL	1.25/UNIT	479	483
OFFICE/RETAIL	0.27/100 m ²	25	41
CITY		2	2
TOTAL CLASS 1 STALLS		506	526
RESIDENTIAL	0.17/UNIT	39	40
OFFICE/RETAIL	0.27/100 m ²	18	34
TOTAL CLASS 2 STALLS		57	74

- CLASS 1 SECURED BICYCLE PARKING SHALL BE AT-GRADE, WITHIN SIGHT OF BUILDING ENTRY OR SECURITY ROOM A MAXIMUM OF 40 BICYCLE SPACES MAY BE PROVIDED IN EACH BICYCLE ROOM OR COMPOUND
- CLASS 2 BICYCLE PARKING PROVIDED IN THE FORM OF BICYCLE RACKS LOCATED WITHIN 15 M OF PRINCIPAL ENTRY AND CLEARLY VISIBLE FROM THE PRINCIPAL BUILDING ENTRY POINTS OR ROADS OR BOTH. THE SITE SPECIFIC BYLAW PERMITS 0.7/UNIT AND 0.2/100M²

NOTES (SECTION 17.13.7 AND 3.3.11 B)

- ON-SITE MEDIUM-SIZE AND LARGE-SIZE LOADING SPACES COULD BE SHARED.
- STAFF COULD CONSIDER WAIVING THE REQUIRED WB-17 SPACES IF SOUND TECHNICAL RATIONALE IS PROVIDED AS PART OF THE TIS FOR REVIEW

PARKING REQUIREMENTS

BYLAW REQUIRED PARKING

USE	BYLAW REQUIRED PARKING
RESIDENTIAL	1.0/UNIT CONDO
VISITORS	0.2/UNIT
COMMERCIAL	3.75/100 m ²
BLENDED RATE FIRST TWO FLOORS	1.28/100 m ²
BLENDED RATE ABOVE FIRST TWO FLOORS	1.28/100 m ²
COMMERCIAL TOTAL	157

LOADING REQUIREMENTS

BUILDING USE	MEDIUM SIZE	LARGE SIZE
RESIDENTIAL	2	2
COMMERCIAL/OFFICE	3	2
TOTAL W/ SHARING*	5	U

- ON-SITE MEDIUM-SIZE AND LARGE-SIZE LOADING SPACES COULD BE SHARED.
- STAFF COULD CONSIDER WAIVING THE REQUIRED WB-17 SPACES IF SOUND TECHNICAL RATIONALE IS PROVIDED AS PART OF THE TIS FOR REVIEW

MCM

Musson
Cattell
Mackey
Partnership

Architects & Planners
Creative Place
1000 West Hastings Street
Suite 100
Vancouver, British Columbia
Canada V6E 3X1
T: 604.682.2990
F: 604.682.1771
mcm@architect.com

TOWNLINE
CANDEREL

LEVEL	Floor Area [ft ²]	GFA [ft ²]	Floor Area [ft ²]	GFA [ft ²]
1	607	56.4	607	56.4
2	460	42.7	460	42.7
3	6,596	683.1	6,596	683.1
4	562	52.1	562	52.1
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				
TOTAL	8,465	786.42	8,465	786.42

OFFICE AMENITY (INCLUDED IN COMMERCIAL FAR CALCULATION ON L3)	90 m ²
AMENITY	966.017

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100 AMENITY	966.017

NO 3 ROAD
DP 18-829141

RICHMOND, BC

Project
218022

1.1



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11	14 AUGUST 2020	RE-ISSUED FOR DP
10	30 JULY 2020	RE-ISSUED FOR DP
9	17 JULY 2020	RE-ISSUED FOR DP
8	3 JULY 2020	RE-ISSUED FOR DP
7	12 JUNE 2020	RE-ISSUED FOR DP
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5	15 OCT 2019	RE-ISSUED FOR DP
4	18 AUGUST 2019	RE-ISSUED FOR DP
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1	27 OCT 2018	ISSUED FOR CITY REVIEW

Revisions

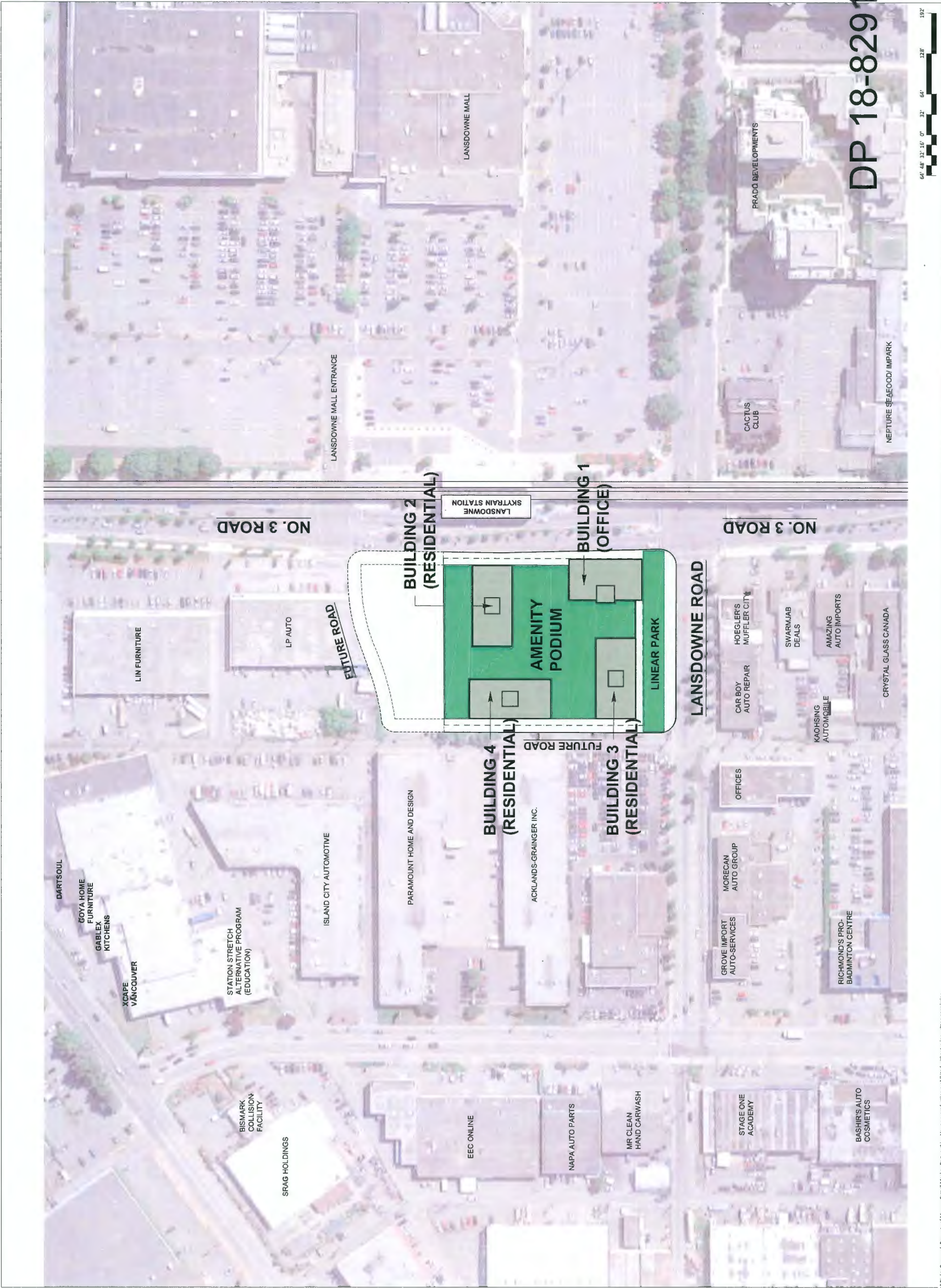
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Seal
NO. 3 ROAD
DP 18-829141

Project
RICHMOND, BC

CONTEXT
PLAN
DP 18-829141

Drawing	1/64" = 1'-0"
Scale	216022
Project	1.2





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Cattell
Mackey
Partnership

Architects Designers Planners
Ottawa Office
1046 West Hastings Street
Suite 1900
Ottawa, Ontario K1S 4L6
Canada M5S 3K1
T 604.687.2990
F 604.687.1771
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11	14 AUGUST 2020	RE-DESIGNED FOR EP
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Revisions

YPM-2018-02

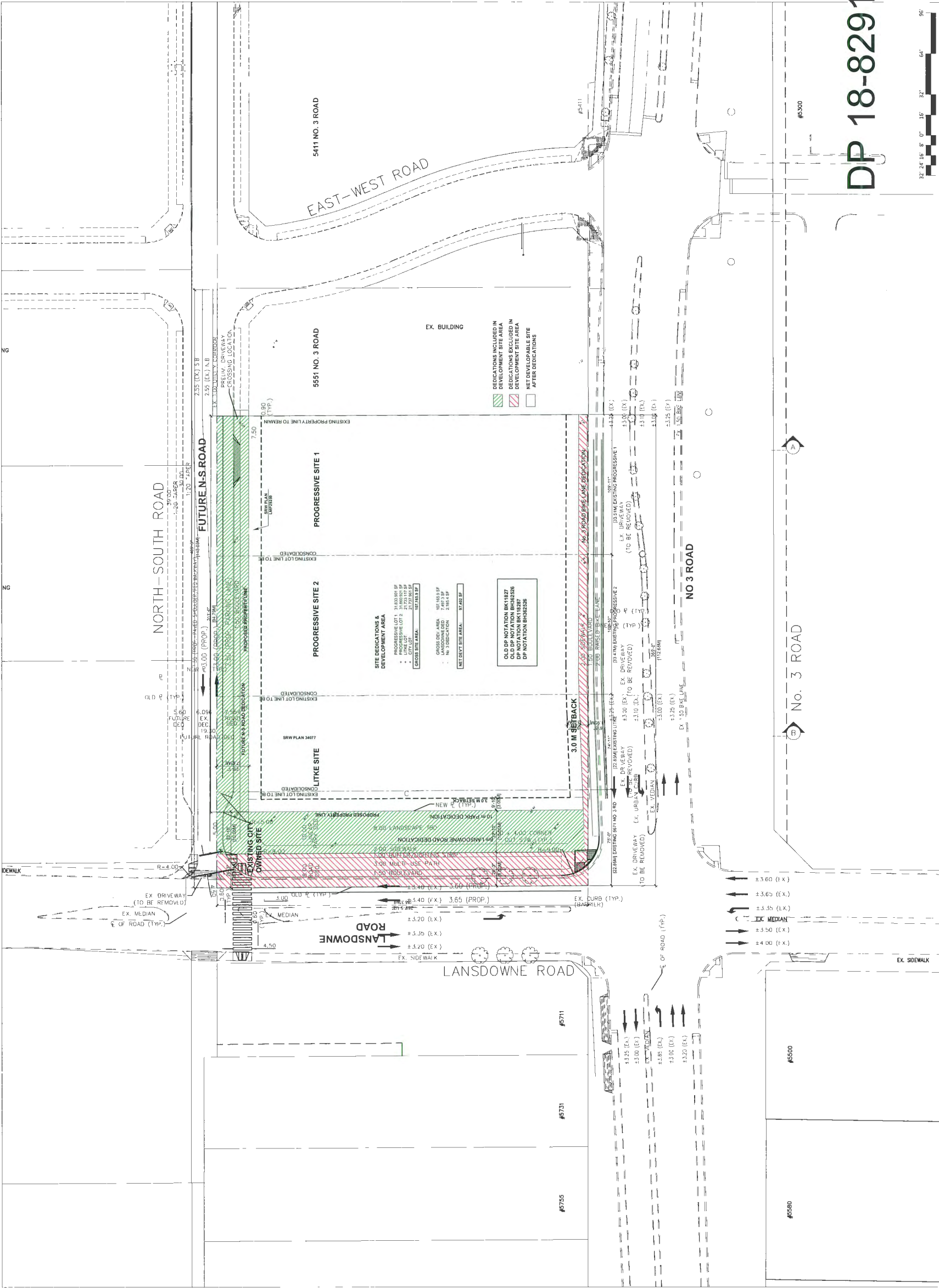
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DP 18-829141

NO 3 ROAD
RICHMOND, BC

DEDICATION
PLAN

DP 18-829141

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Project	21.6022
Sheet	1.3



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3	07 FEB 2019 ISSUED TO CITY OF RICHMOND	
2	18 JAN 2019 RESPONSE TO ADP COMMENTS	
1	22 OCT 2018 ISSUED FOR CITY REVIEW	
	Revisions	YPM:MM:DD

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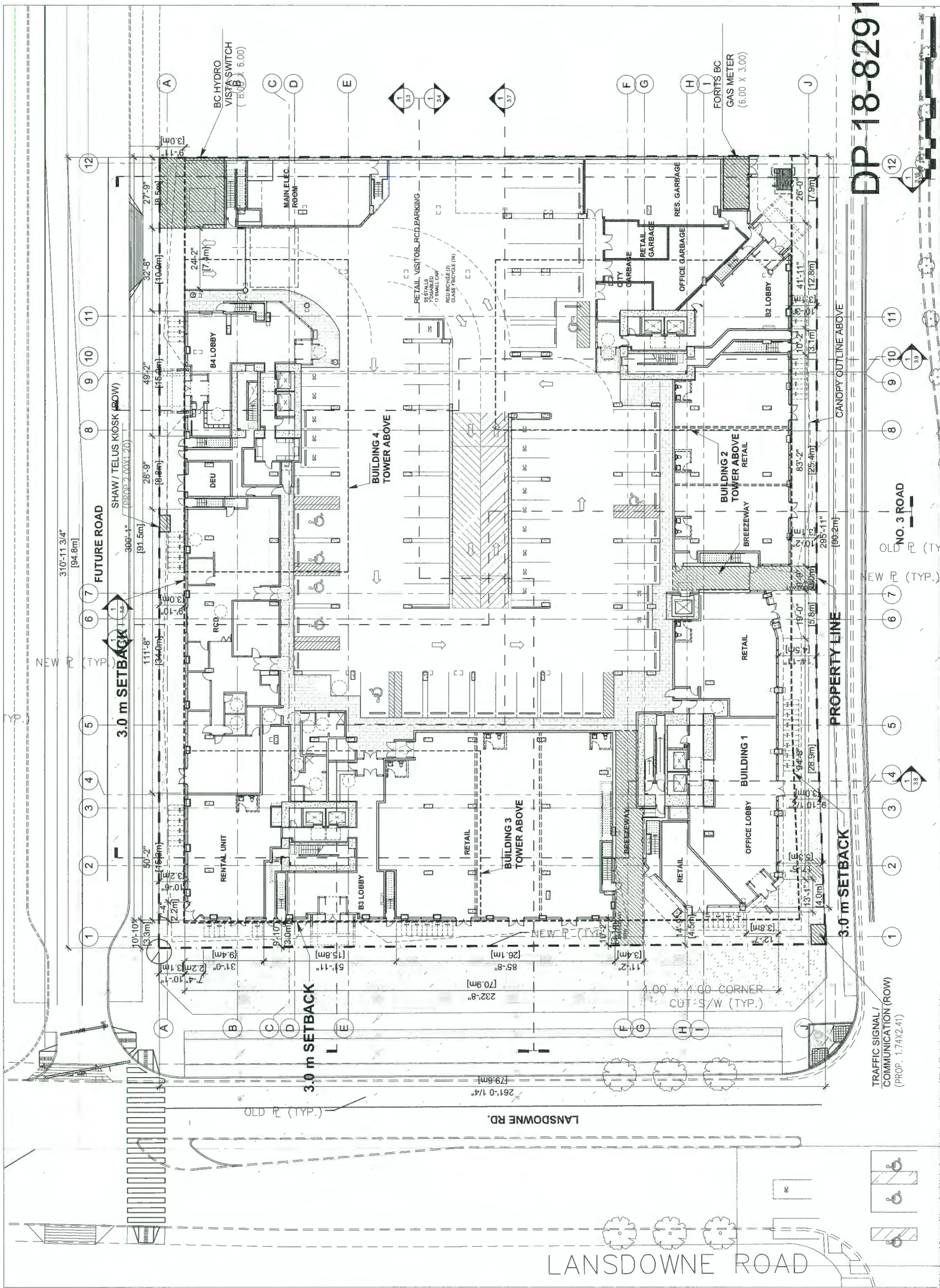
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RICHMOND, BC

SITE PLAN

DP-18-829141

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Project	216022

1.4



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Okanagan Plaza
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Vancouver, British Columbia
Canada V6E 3K1
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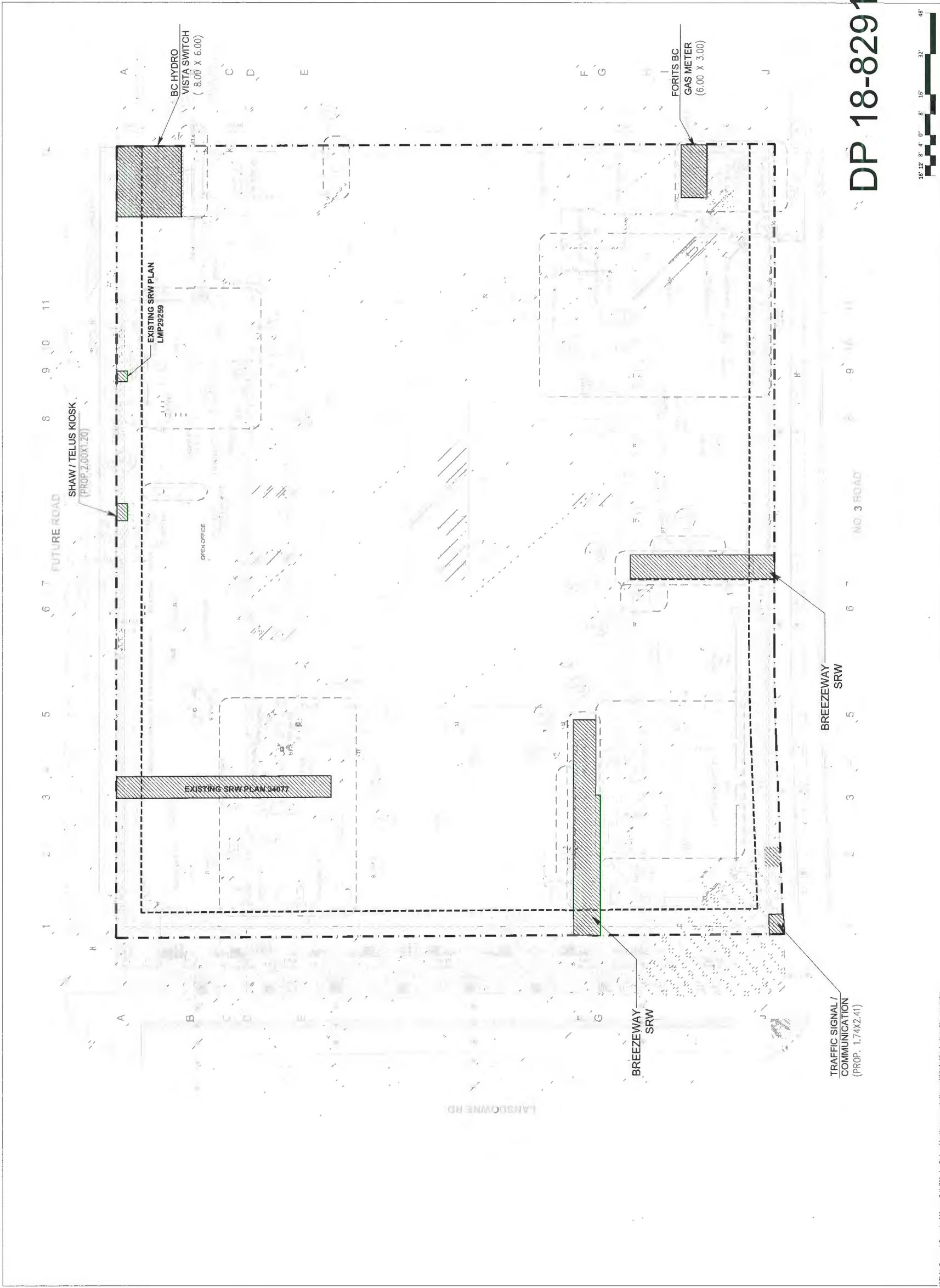


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5	15 OCT 2019	RE-DESIGNED FOR DP
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2	20 JAN 2019	RESPONSE TO DP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		YTY:AM:DO

NO. 3 ROAD
DP 18-829141

RICHMOND, BC
Project
RIGHT OF WAY
PLAN

DP 18-829141
Drawing
Scale 1/2" = 1'-0"
Project 216022
Sheet 1.5





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Architects Designers Planners
Owenik Plus
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Suite 1900
V6E 2E6
Canada W6E 2E6
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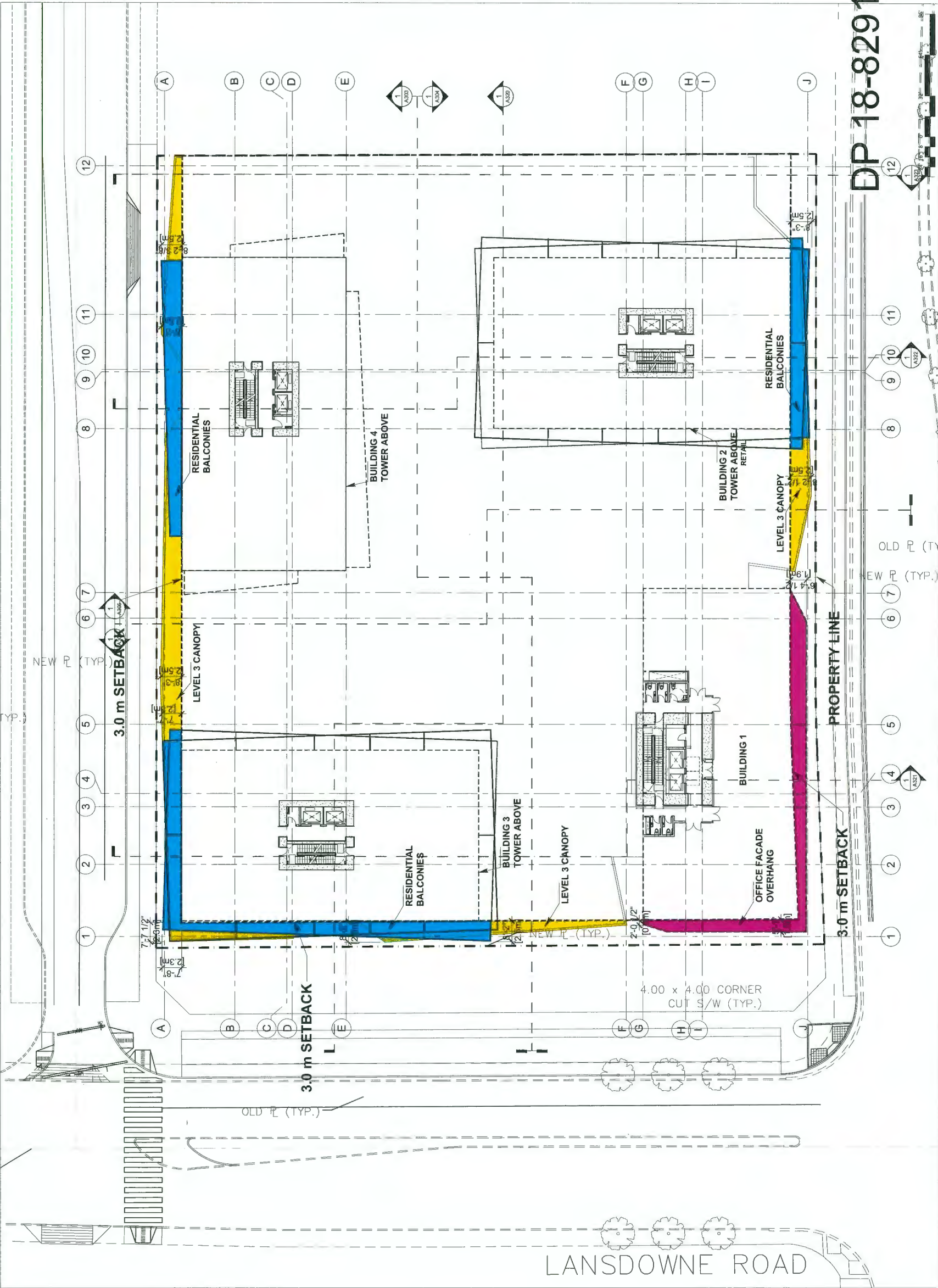
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4	16 AUGUST 2019	RE-ISSUED FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
2	28 JAN 2019	ISSUED FOR DP COMMENTS
1	23 OCT 2018	ISSUED FOR CITY REVIEW
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Seal
NO 3 ROAD
DP 18-829141

NO 3 ROAD
RICHMOND, BC
Project

ENCROACHMENT
PLAN

Drawing	1/2" = 1'-0"
Scale	21.002.2
Project	1.6
Sheet	



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Oscentic Plaza
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Suite 1000
Vancouver, British Columbia
Canada V6E 3X1
T: 604.687.2990
F: 604.687.1771
mcp@architects.com



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2	18 JAN 2019	RESPONSE TO ADP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW

Revisions

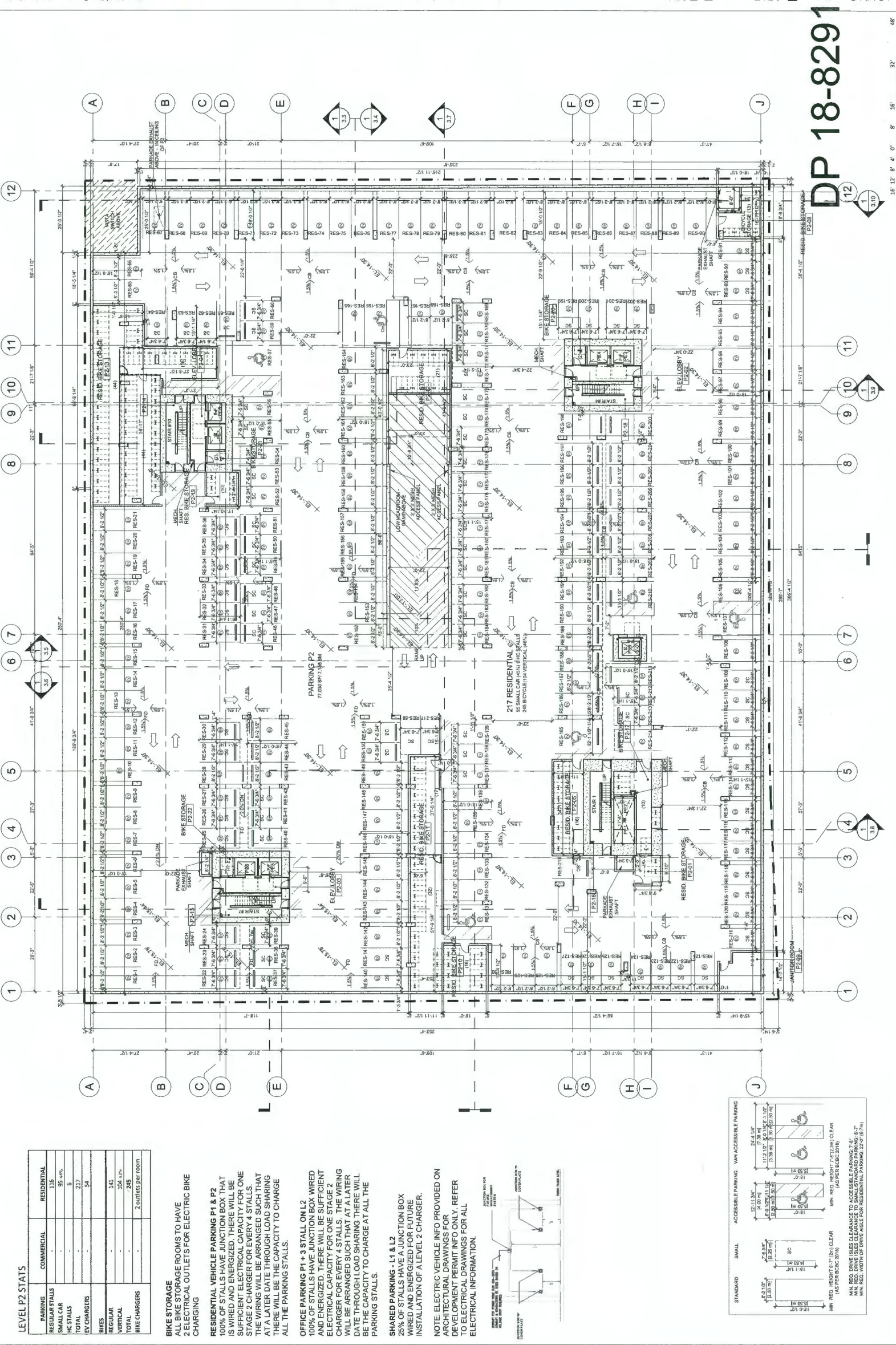
BY: JAM/DO

Seal

NO. 3 ROAD
DP 18-829141

RICHMOND, BC
LEVEL P2

Drawing	1/2" = 1'-0"
Project	216022
Sheet	2.1





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Suite 1900
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KEY PLAY

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Seal

NO. 3 ROAD

DP 18-829141

RICHMOND, BC

Project

LEVEL P2

DP18-829141

Drawing

Scale $3/16'' = 1'-0''$

216037

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306-4 1/2



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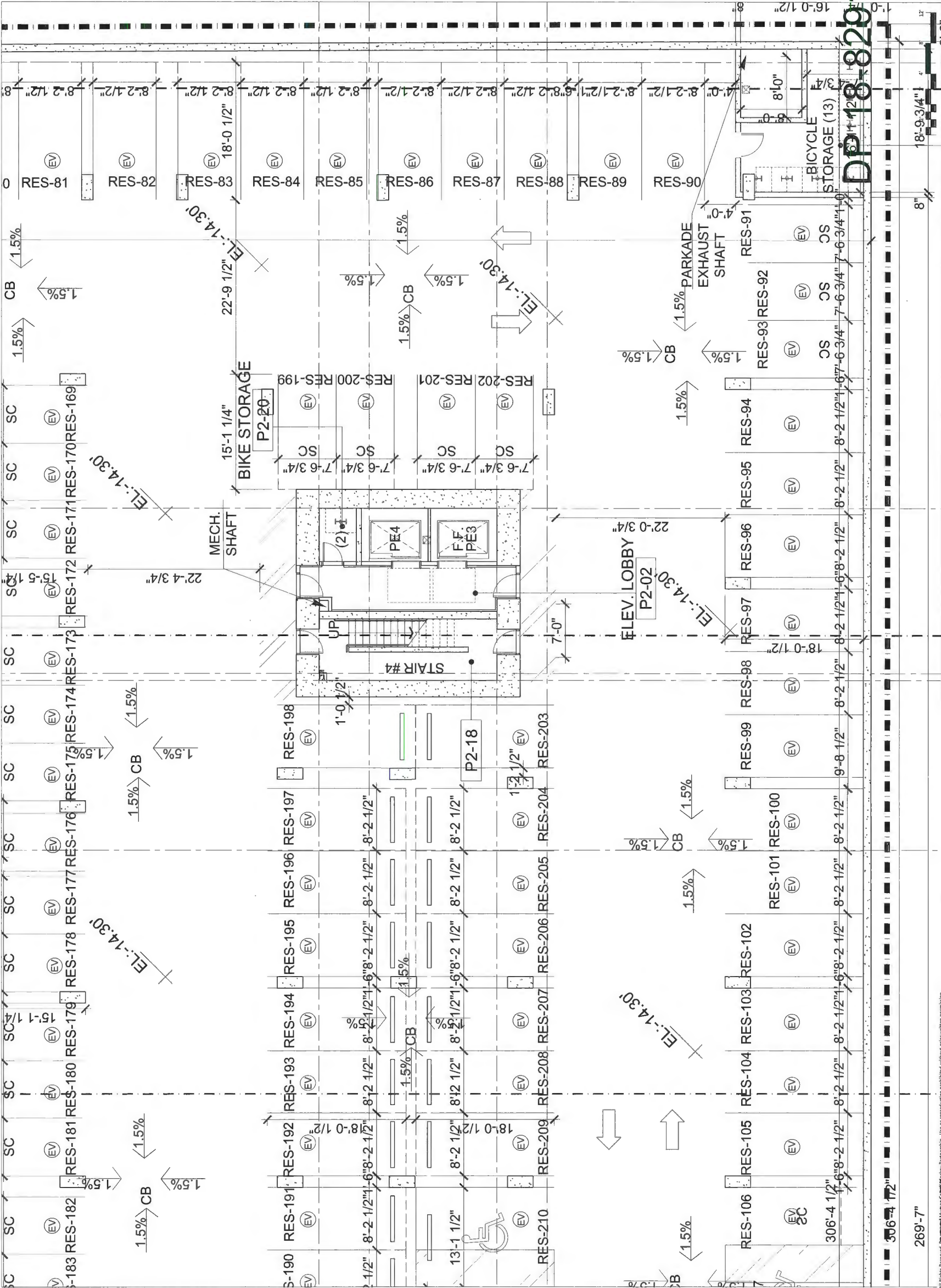
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3	07 FEB 2019	REVISION FOR DP
2	18 JULY 2018	RESPONSE TO ADP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		
YYYY-MM-DD		

Seal
NO. 3 ROAD
DP 18-829141

RICHMOND, BC
Project
LEVEL P2

Drawing
Scale
3/16" = 1'-0"
Project
215022
Sheet
2.1.2



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Oceanic Place
1000 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T 604.687.2990
F 604.687.1771
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KEY PLAN

12	23 AUGUST 2020	RE-DESIGNED FOR EP
11	24 AUGUST 2020	RE-DESIGNED FOR EP
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9	17 JULY 2020	RE-DESIGNED FOR EP
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Revisions		YYYY-MM-DD

Scale
NO. 3 ROAD
DP 18-829141

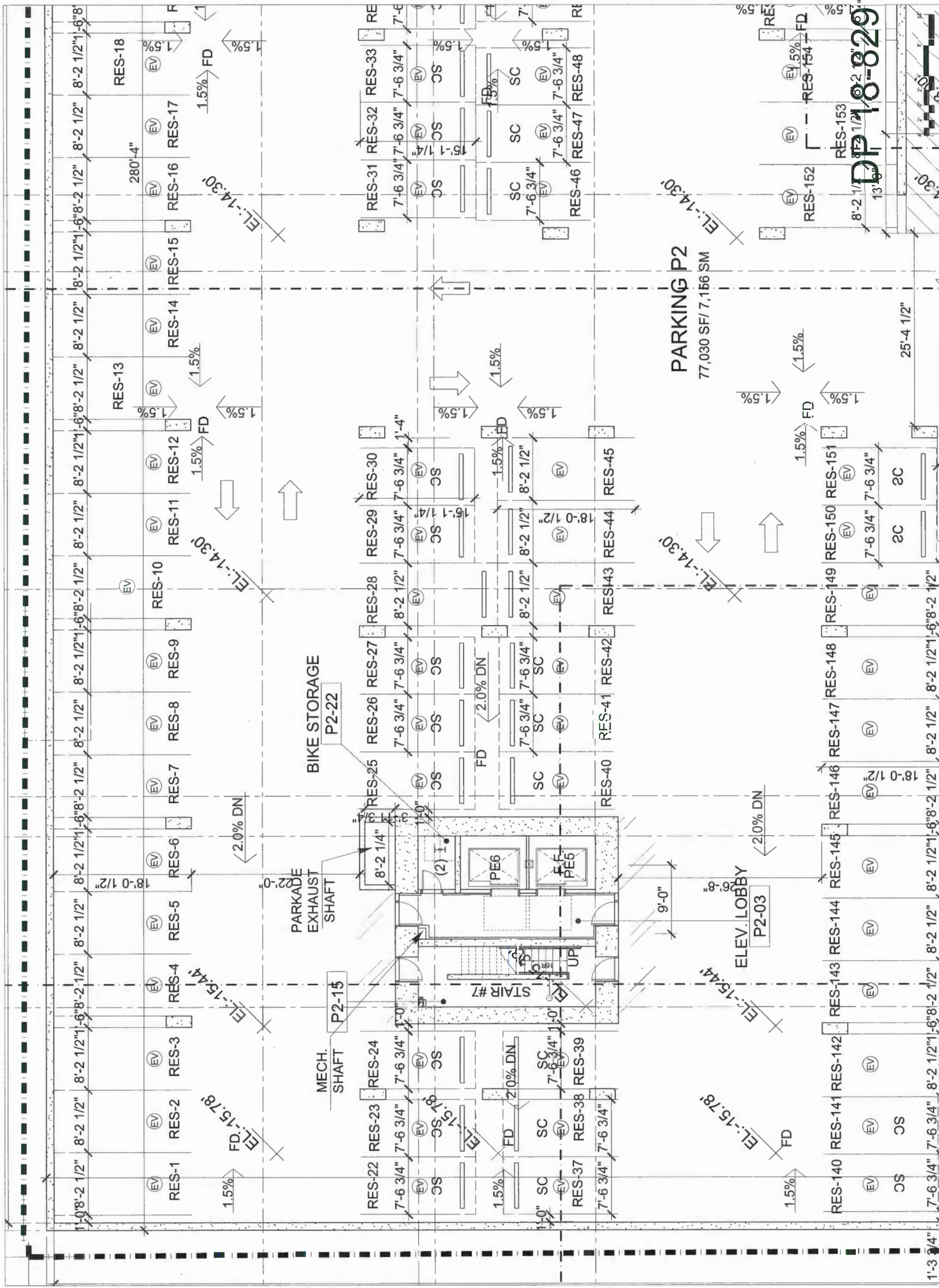
RICHMOND, BC
Project

LEVEL P2

DP 18-829141

Drawing
Scale
3/16" = 1'-0"
Project
218022
Sheet
2.1.3

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Suite 1000
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Canada V6E 3E1
T: 604.687.2990
F: 604.687.1771
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12	25 AUGUST 2020	RE-DESIGNED FOR DP
11	14 AUGUST 2020	RE-DESIGNED FOR DP
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3	10 FEB 2019	OF RECORDING
2	12 JAN 2019	RESPONSE TO ADP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW

Revisions

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**NO. 3 ROAD
DP 18-829141**

RICHMOND, BC

Project

LEVEL P1

DP 18-829141

Drawing

Scale

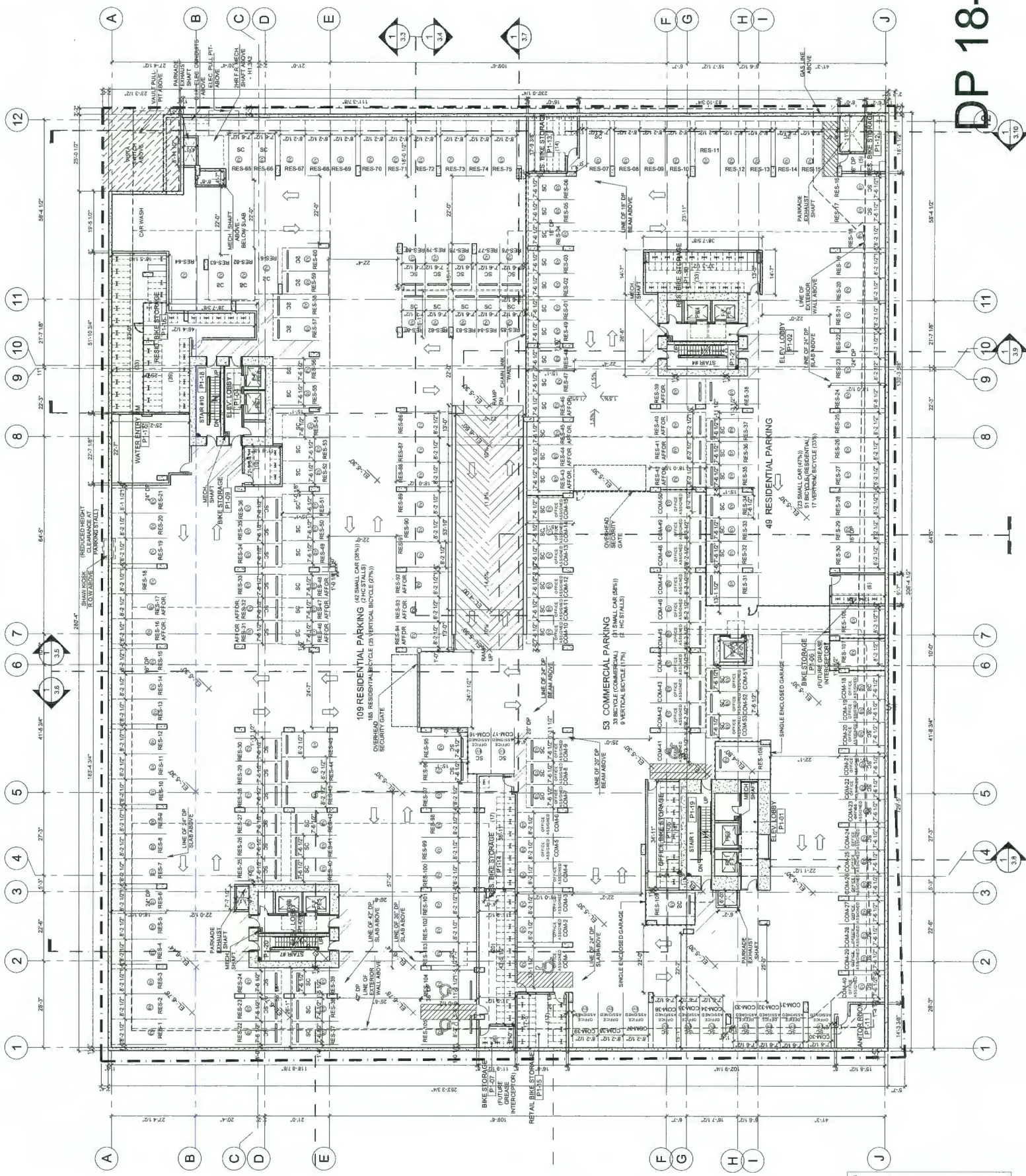
1/16" = 1'-0"

Project

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Sheet

2.2



LEVEL P1 STATS			
PARKING	COMMERCIAL	RESIDENTIAL	
REGULAR STALLS	36	82	
SMALL CAR STALLS	2	2	4.7%
TOTAL	53	158	
EV CHARGERS	13	40	
BIKE CHARGERS			
REGULAR	24	150	
VERTICAL	9	35	15%
TOTAL	33	185	
BIKE CHARGERS			
2 outlets per room		2 outlets per room	

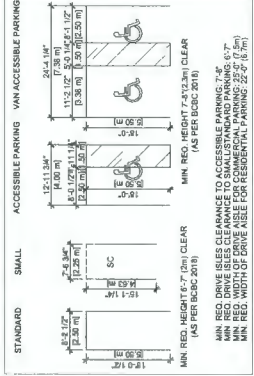
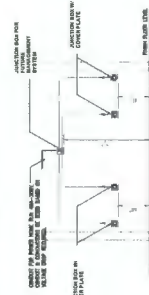
BIKE STORAGE
ALL BIKE STORAGE ROOMS TO HAVE
2 ELECTRICAL OUTLETS FOR ELECTRIC BIKE
CHARGING

RESIDENTIAL VEHICLE PARKING P1 & P2
100% OF STALLS HAVE JUNCTION BOX THAT
IS WIRED AND ENERGIZED. THERE WILL BE
SUFFICIENT ELECTRICAL CAPACITY FOR ONE
STAGE 2 CHARGER FOR EVERY 4 STALLS.
THE WIRING WILL BE ARRANGED SUCH THAT
AT A LATER DATE THROUGH LOAD SHARING
THERE WILL BE THE CAPACITY TO CHARGE
ALL THE PARKING STALLS.

OFFICE PARKING P1 + 3 STALL ON L2
100% OF STALLS HAVE JUNCTION BOX WIRED
AND ENERGIZED. THERE WILL BE SUFFICIENT
ELECTRICAL CAPACITY FOR ONE STAGE 2
CHARGER FOR EVERY 4 STALLS. THE WIRING
WILL BE ARRANGED SUCH THAT AT A LATER
DATE THROUGH LOAD SHARING THERE WILL
BE THE CAPACITY TO CHARGE AT ALL THE
PARKING STALLS.

SHARED PARKING - L1 & L2
25% OF STALLS HAVE A JUNCTION BOX
WIRED AND ENERGIZED FOR FUTURE
INSTALLATION OF A LEVEL 2 CHARGER.

NOTE: ELECTRIC WIRING INFO PROVIDED ON
ARCHITECTURAL DRAWINGS FOR
DEVELOPMENT PERMIT INFO ONLY. REFER
TO ELECTRICAL DRAWINGS FOR ALL
ELECTRICAL INFORMATION.





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KEY PLAN

13	14 AUGUST 2020	RE-DESIGNED FOR DP
11	10 JULY 2020	RE-DESIGNED FOR DP
10	10 JULY 2020	RE-DESIGNED FOR DP
9	17 JULY 2020	RE-DESIGNED FOR DP
8	3 JULY 2020	RE-DESIGNED FOR DP
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2	18 JAN 2019	ISSUED TO CITY OF RICHMOND
1	22 OCT 2018	RESPONSE TO ADP COMMENTS
1	10 JULY 2018	ISSUED FOR CITY REVIEW
Revised:		YYYY-MM-DD

NO. 3 ROAD
DP 18-829141

RICHMOND, BC
Project

LEVEL P1

DP 18-829141

Drawing

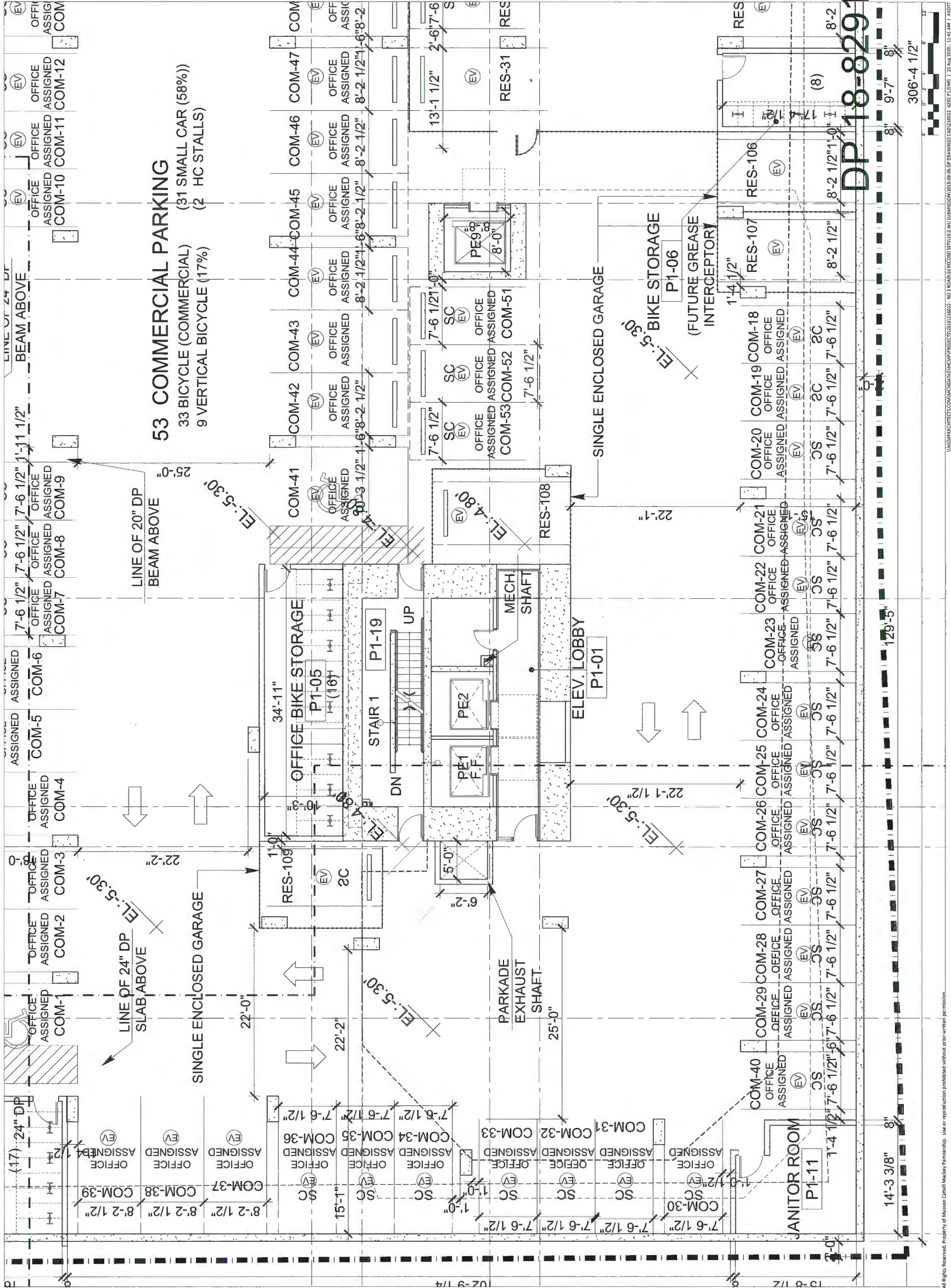
Scale

Project

Sheet

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Revisions
12 23 AUGUST 2020 RE-DESIGNED FOR UP
11 24 AUGUST 2020 RE-DESIGNED FOR UP
10 30 JULY 2020 RE-DESIGNED FOR UP
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2 18 JAN 2019 RESPONSE TO AIP COMMENTS
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DP 18-829141

RICHMOND, BC
Project

LEVEL P1

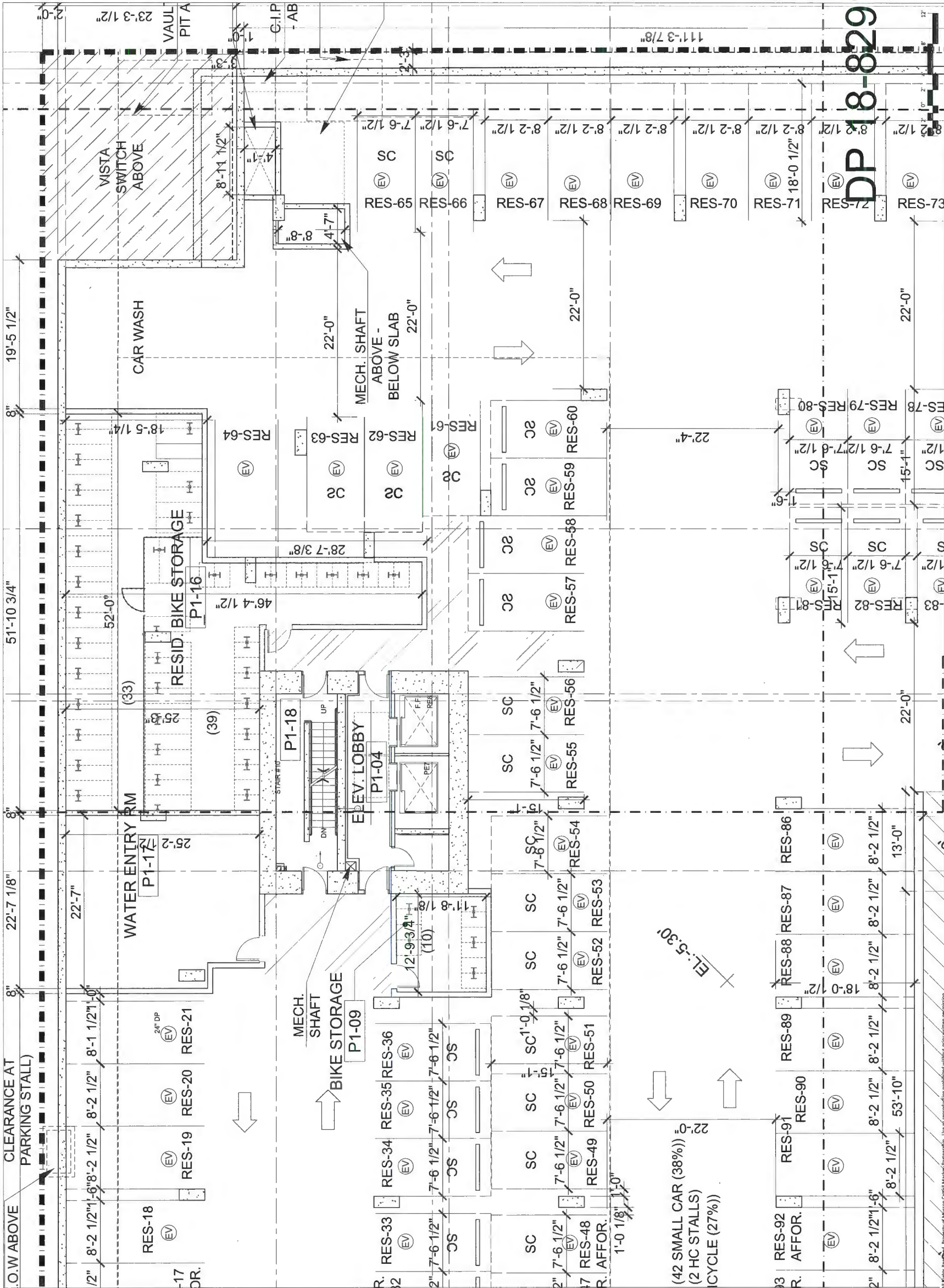
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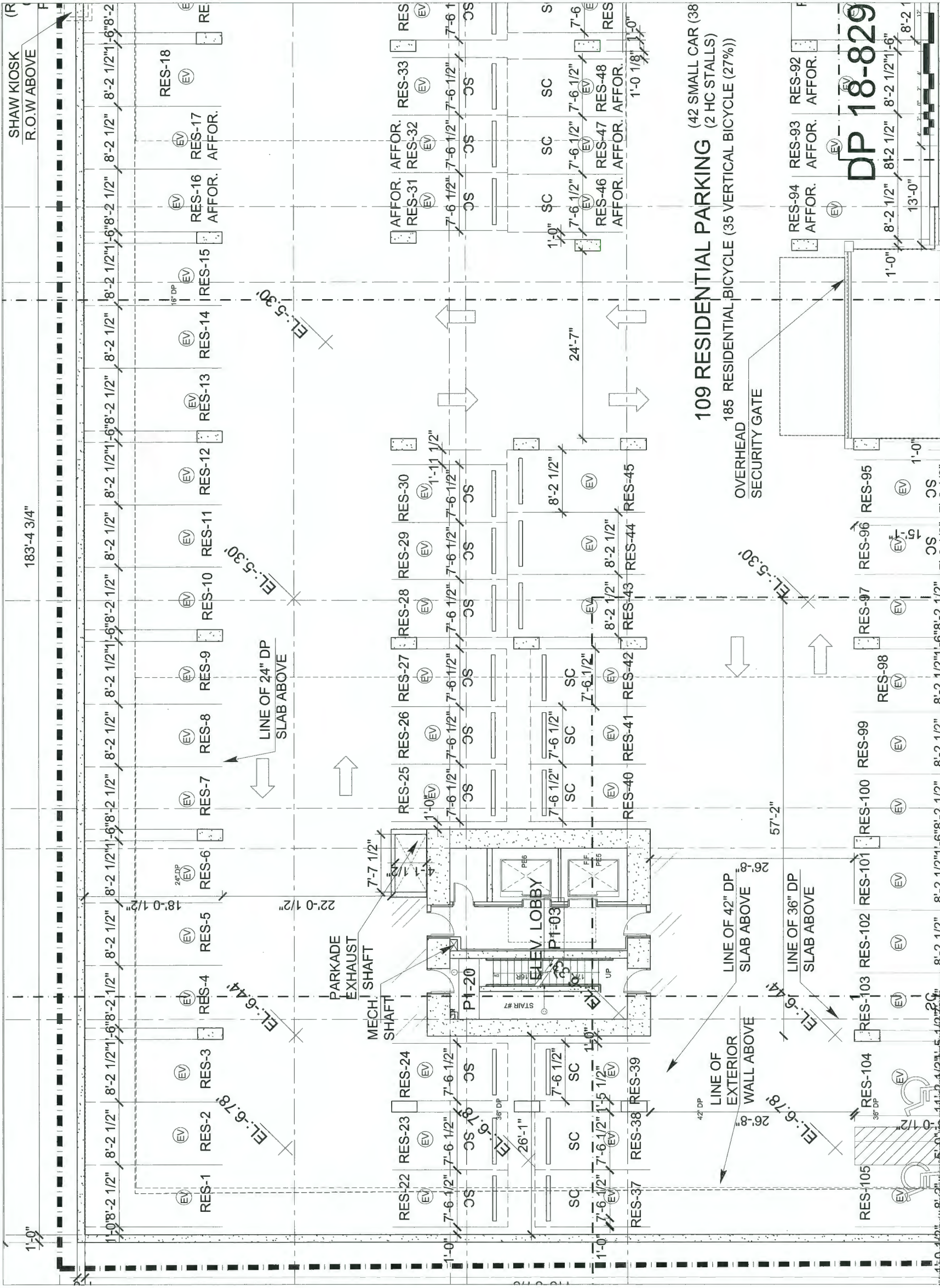
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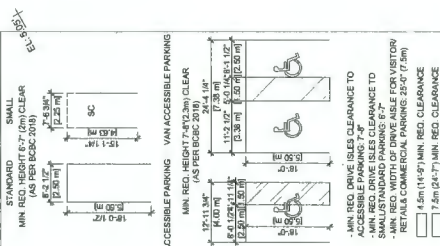
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216022

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2.2.2

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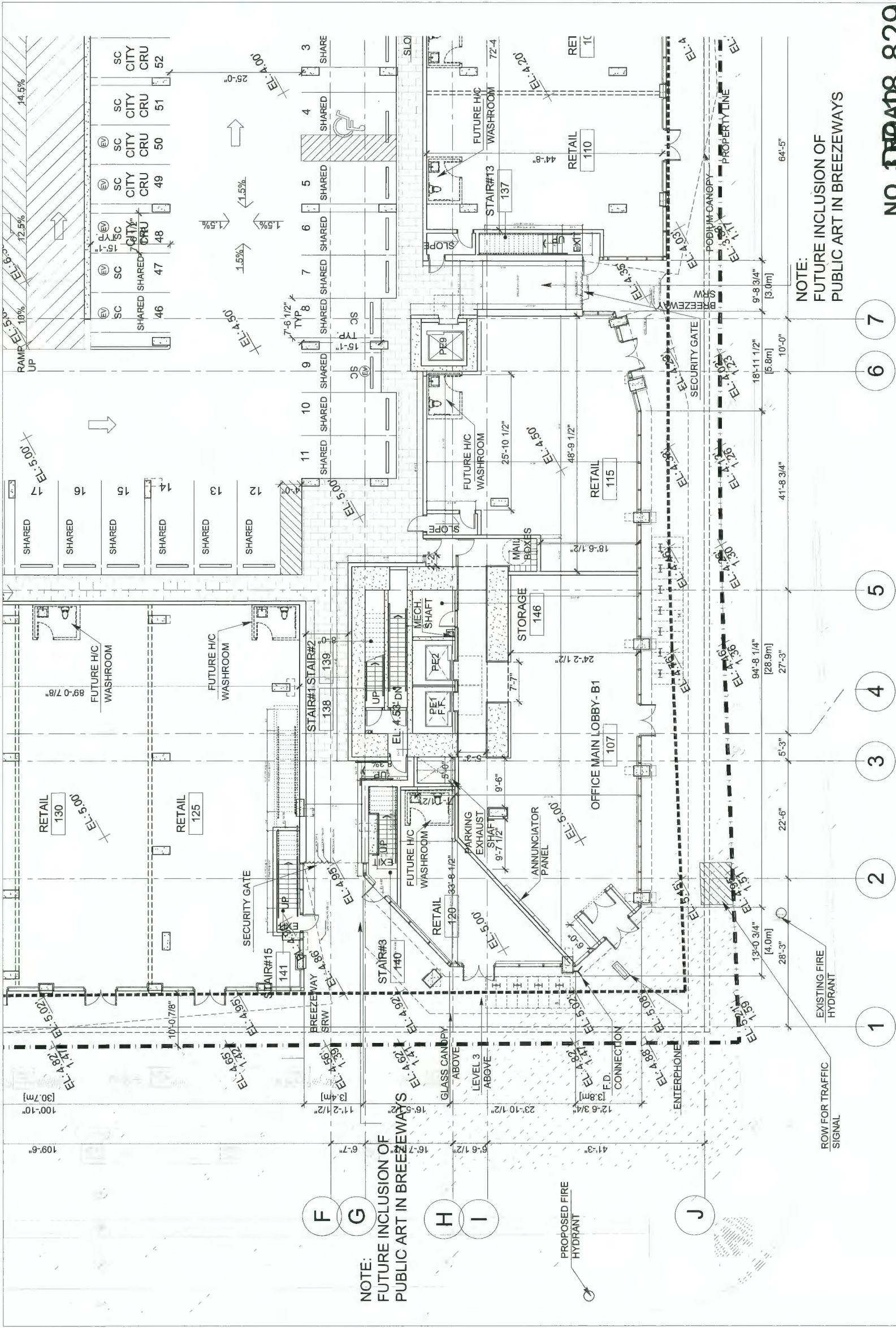
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5	15 OCT 2019	REVISION FOR DP
4	16 AUGUST 2019	REVISION FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
2	16 JAN 2019	REVISION TO APP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		YYYY-MM-DD

NO. 3 ROAD
DP 18-829141

RICHMOND, BC
Project
**GROUND FLOOR
PLAN**

NO. DP 18-829141

Drawing
Scale
1/8" = 1'-0"
Project
216022
Sheet
2.3.1





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Vancouver, British Columbia
Canada V6E 3K1
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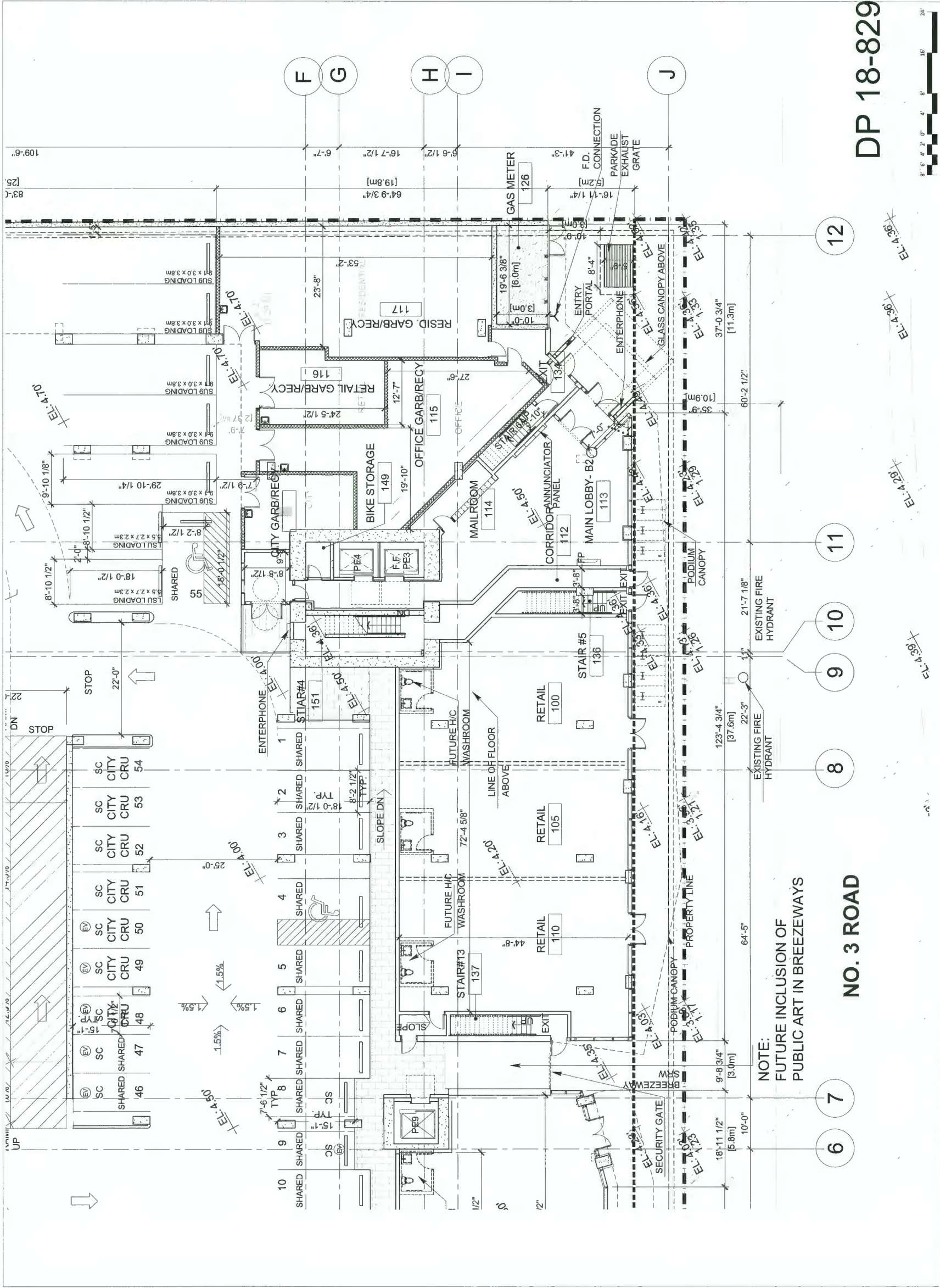
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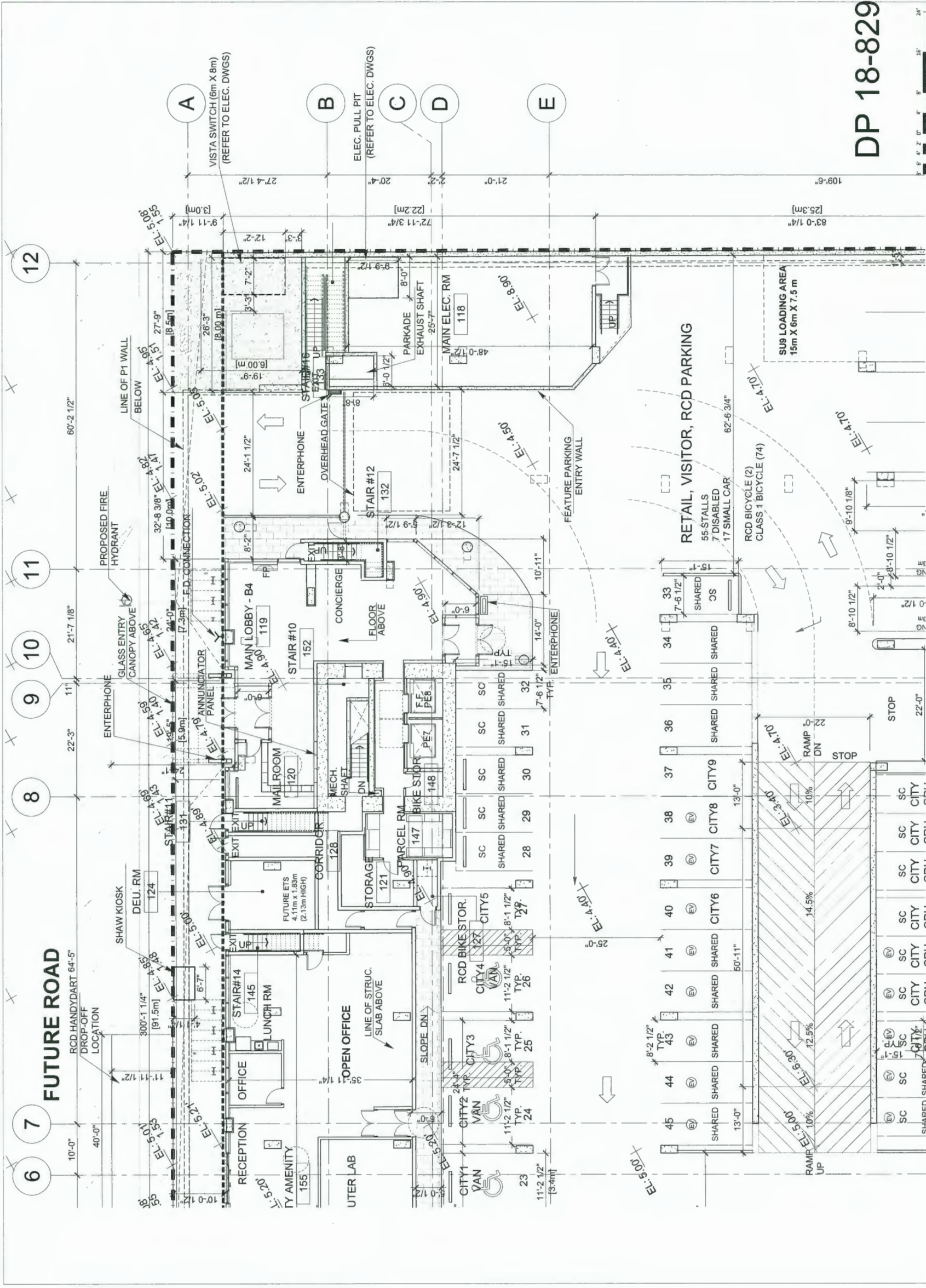
RICHMOND, BC

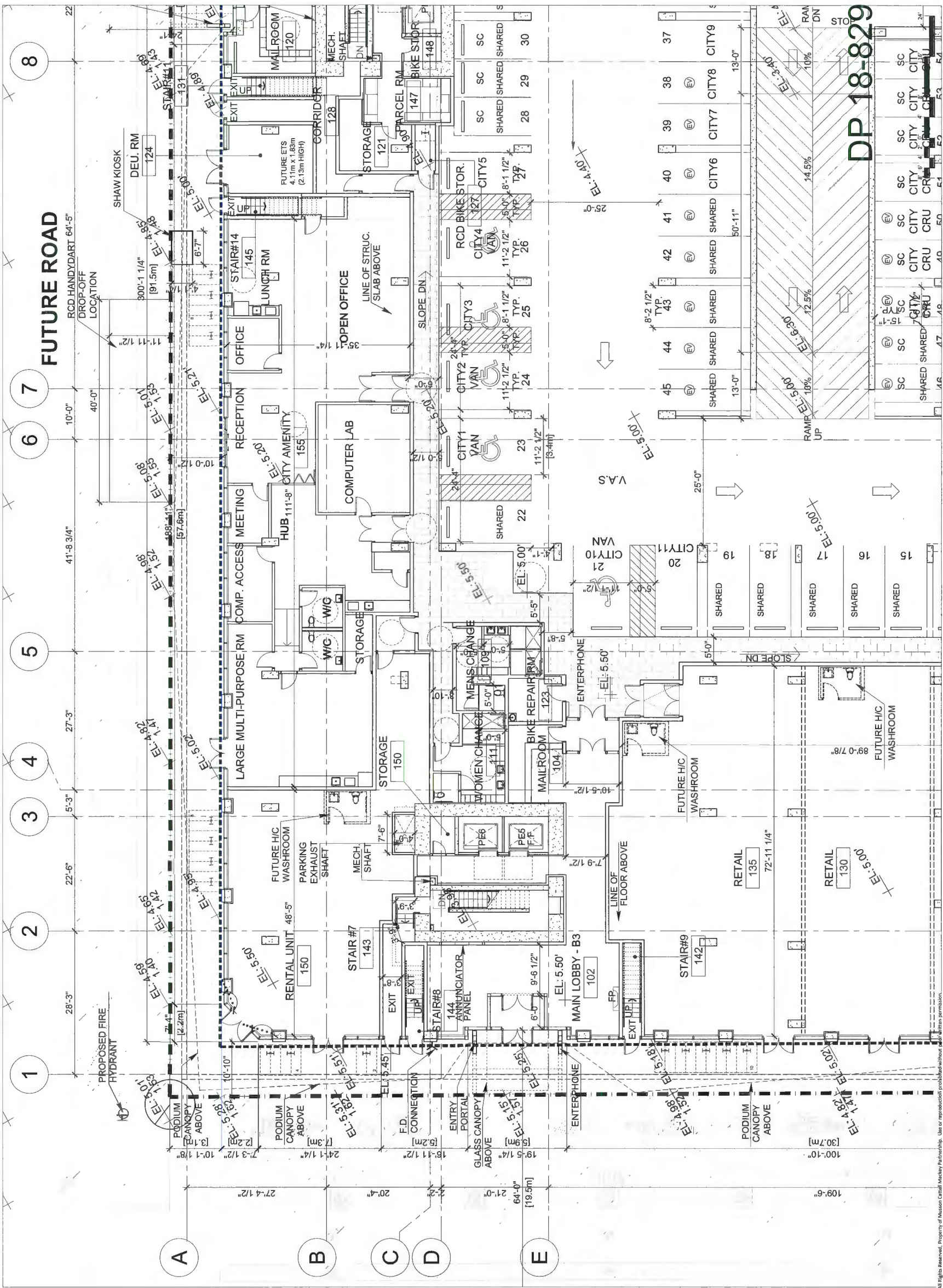
GROUND FLOOR
PLAN

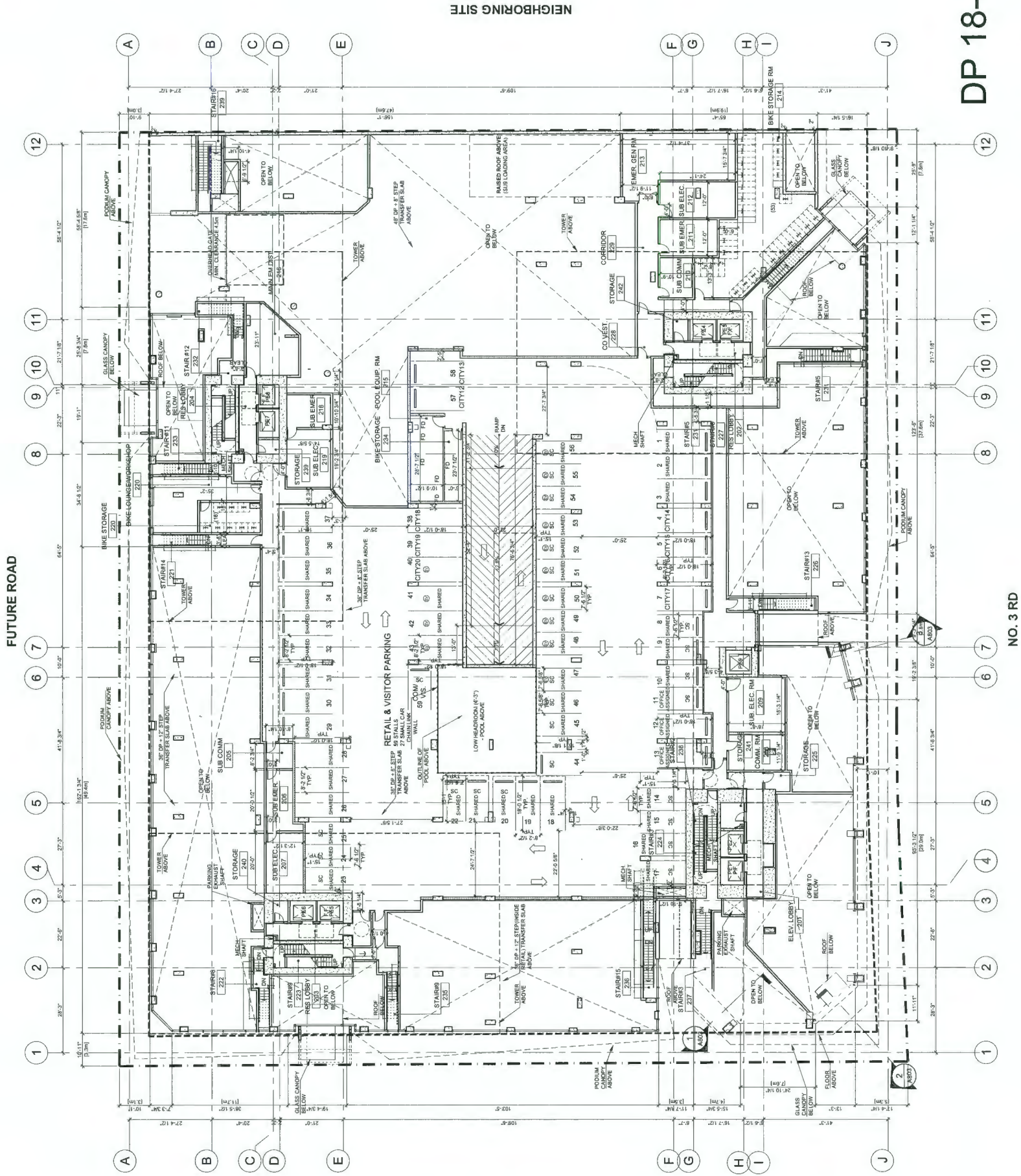
DP 18-829141

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Sheet	2.3.2









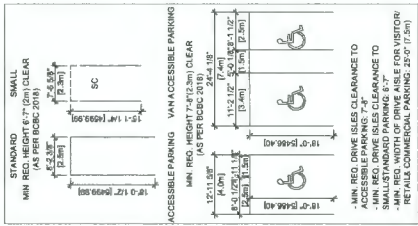
LEVEL 2 STATS		COMMERCIAL	RESIDENTIAL
PARKING		33	
REGULAR STALLS		33	
SMALL CAR		27 66%	
HC STALLS		-	
TOTAL		59	
EV CHARGERS		15	
BIKES			53
REGULAR			
VERTICAL		16	
TOTAL		16	53
BIKE CHARGERS			2 outlets per room

**BIKE STORAGE
ALL BIKE STORAGE ROOMS TO HAVE
2 ELECTRICAL OUTLETS FOR ELECTRIC BIKE
CHARGING**

OFFICE PARKING P1 + 3 STALL ON L2
100% OF STALLS HAVE JUNCTION BOX WIRED
AND ENERGIZED. THERE WILL BE SUFFICIENT
ELECTRICAL CAPACITY FOR ONE STAGE 2
CHARGER FOR EVERY 4 STALLS. THE WIRING
WILL BE ARRANGED SUCH THAT AT A LATER
DATE THROUGH LOAD SHARING THERE WILL
BE THE CAPACITY TO CHARGE AT ALL THE
PARKING STALLS.

SHARED PARKING - L1 & L2
25% OF STALLS HAVE A JUNCTION BOX
WIRED AND ENERGIZED FOR FUTURE
INSTALLATION OF A LEVEL 2 CHARGER.

NOTE: ELECTRIC VEHICLE INFO
PROVIDED ON ARCHITECTURAL DRAWINGS
FOR DEVELOPMENT PERMIT INFO ONLY.
REFER TO ELECTRICAL DRAWINGS FOR ALL
ELECTRICAL INFORMATION.





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Seal
NO 3 ROAD
DP 18-829141

RICHMOND, BC

LEVEL 2 PLAN

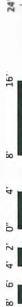
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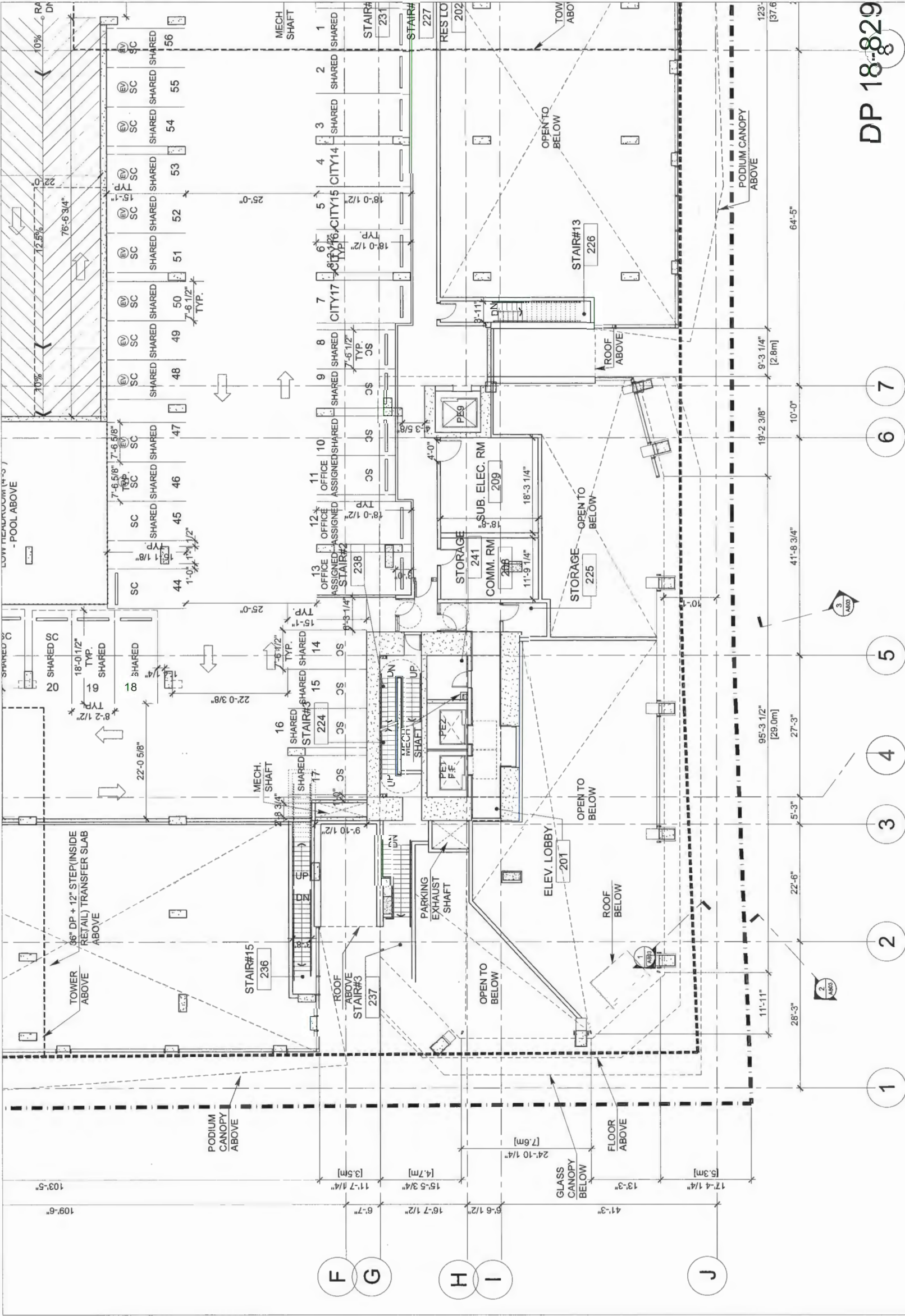
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Project	216022
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Mackey
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Architects
1000 West Hastings Street
Suite 1000
Vancouver, British Columbia
Canada V6E 3E1
T: 604.687.2990
F: 604.687.1771
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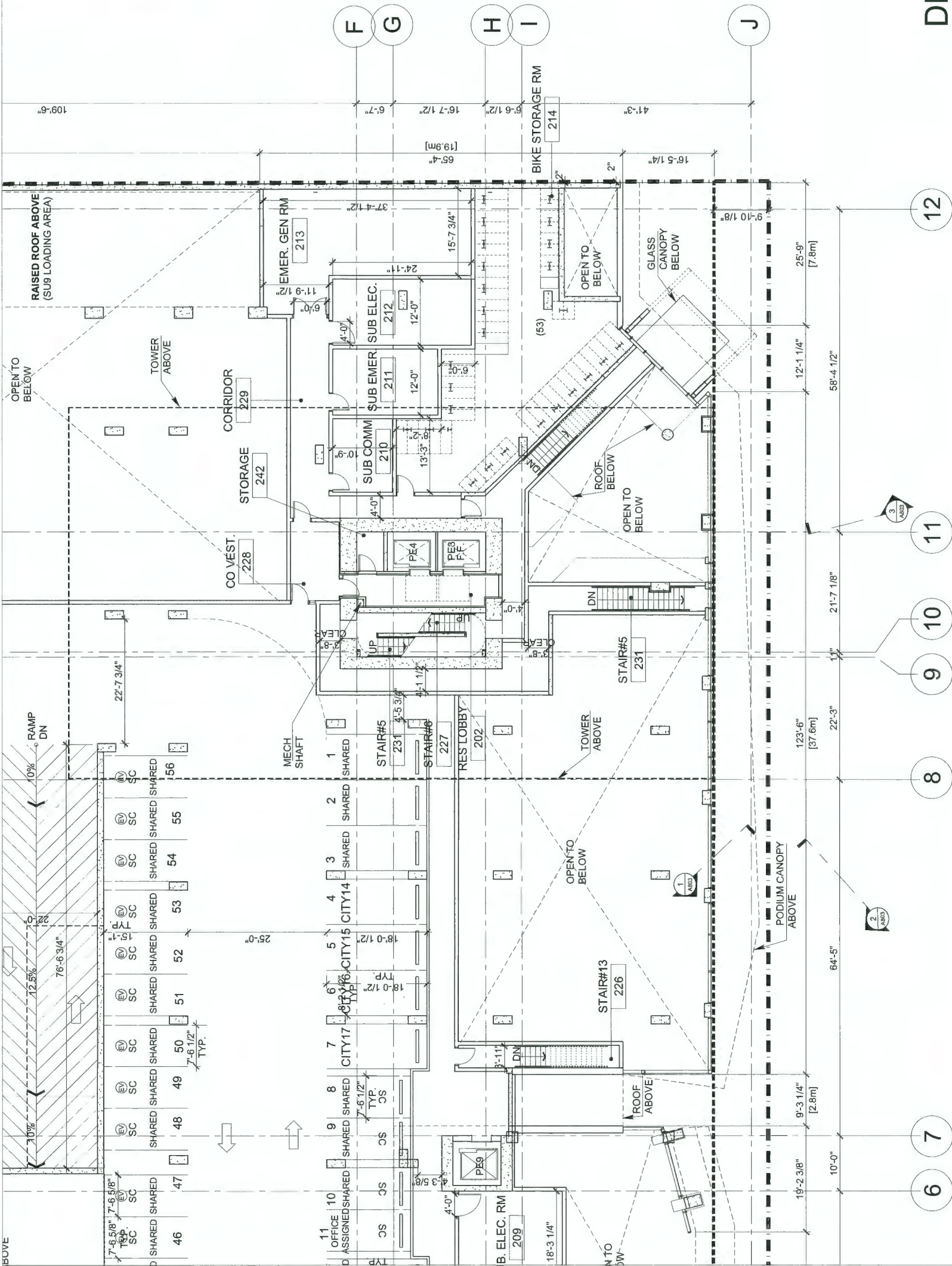
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DP 18-829141

RICHMOND, BC
Project
LEVEL 2 PLAN

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Project	2.4.2
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NEIGHBORING



DP 18-829141

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Architects Designers Planners
Osborne Park
1000 West Hastings Street
Suite 1000
Vancouver, British Columbia
Canada V6E 3X1
T: 604.687.2990
F: 604.687.1771
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Revisions		YYYY-MM-DD

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LEVEL 2 PLAN

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Drawing	21622.2
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Project	21622.2
Sheet	2.4.3

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Architects Designers Planners

Osceola Plaza
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Suite 900
Vancouver, British Columbia
Canada V6E 3X1
T 604.682.2990
F 604.682.1771
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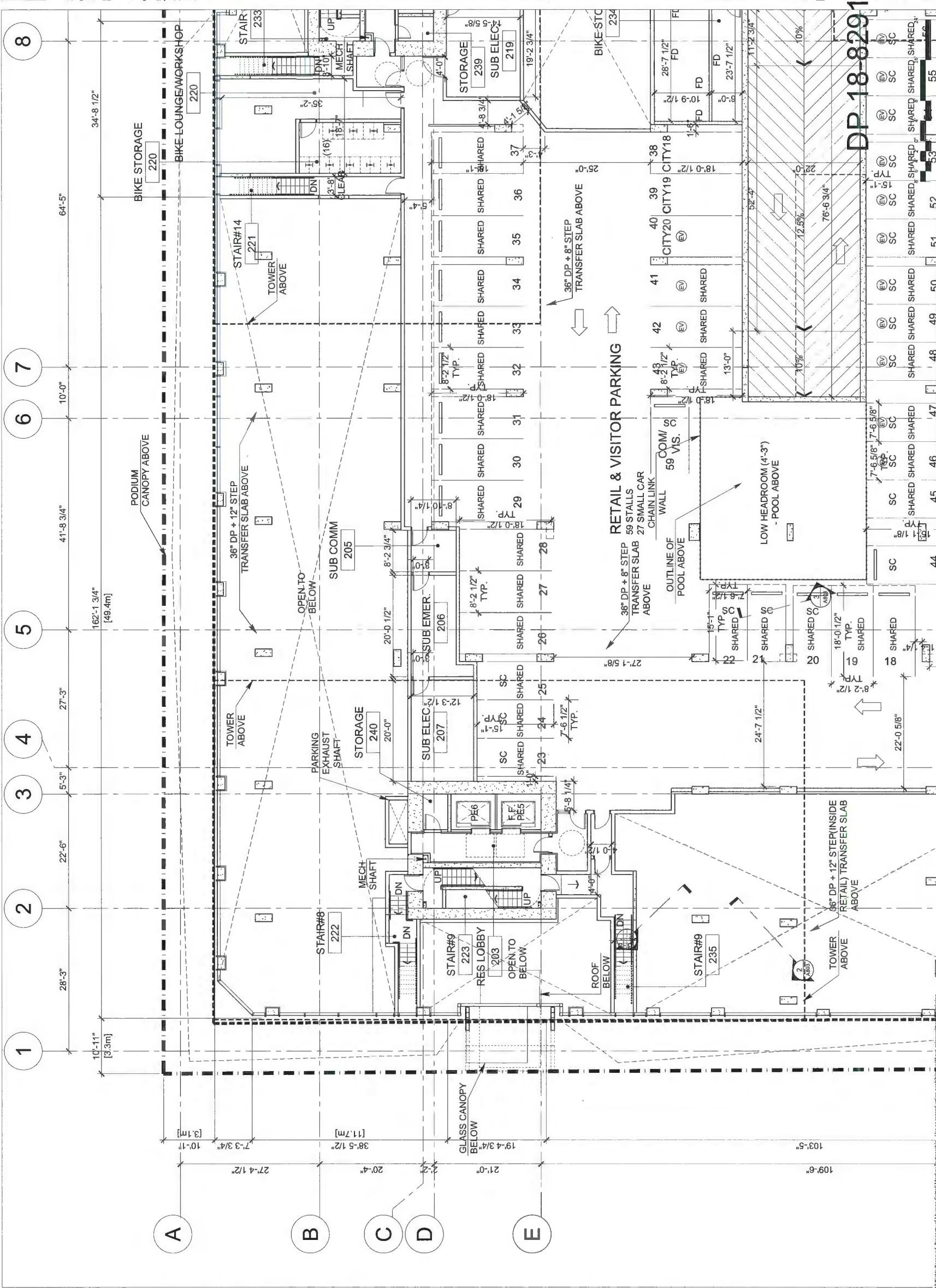
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Project
LEVEL 2 PLAN

DP 18-829141

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Partnership

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Oscar Plaza
1055 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T 604.682.2590
F 604.682.1771
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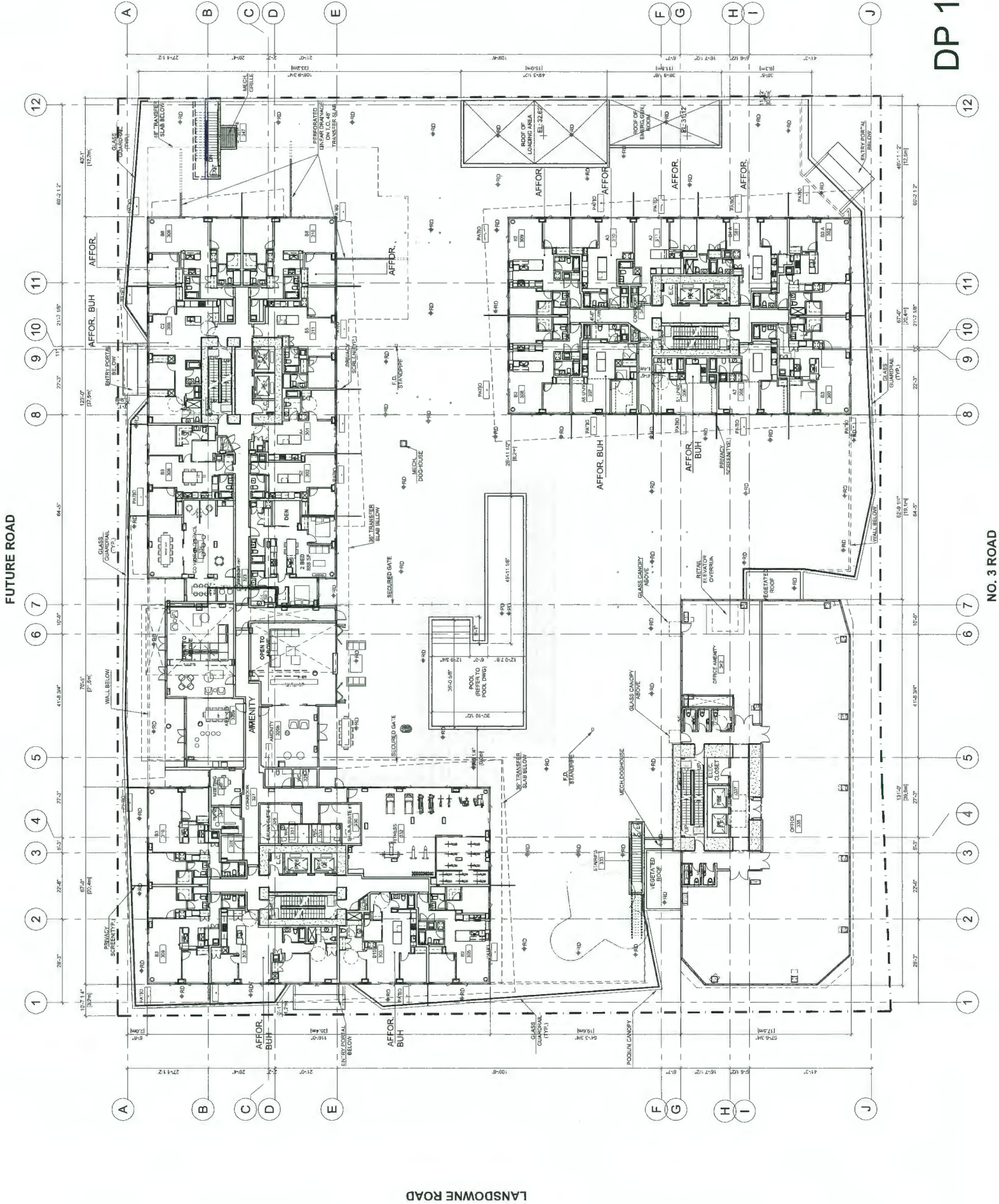
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RICHMOND, BC
Project
LEVEL 3 PLAN

DP 18-829141

Drawing	216022
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Architects Designers Planners
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1066 West Hastings Street
V6C 3K6
Vancouver, British Columbia
Canada V6C 3K1
T 604.682.2990
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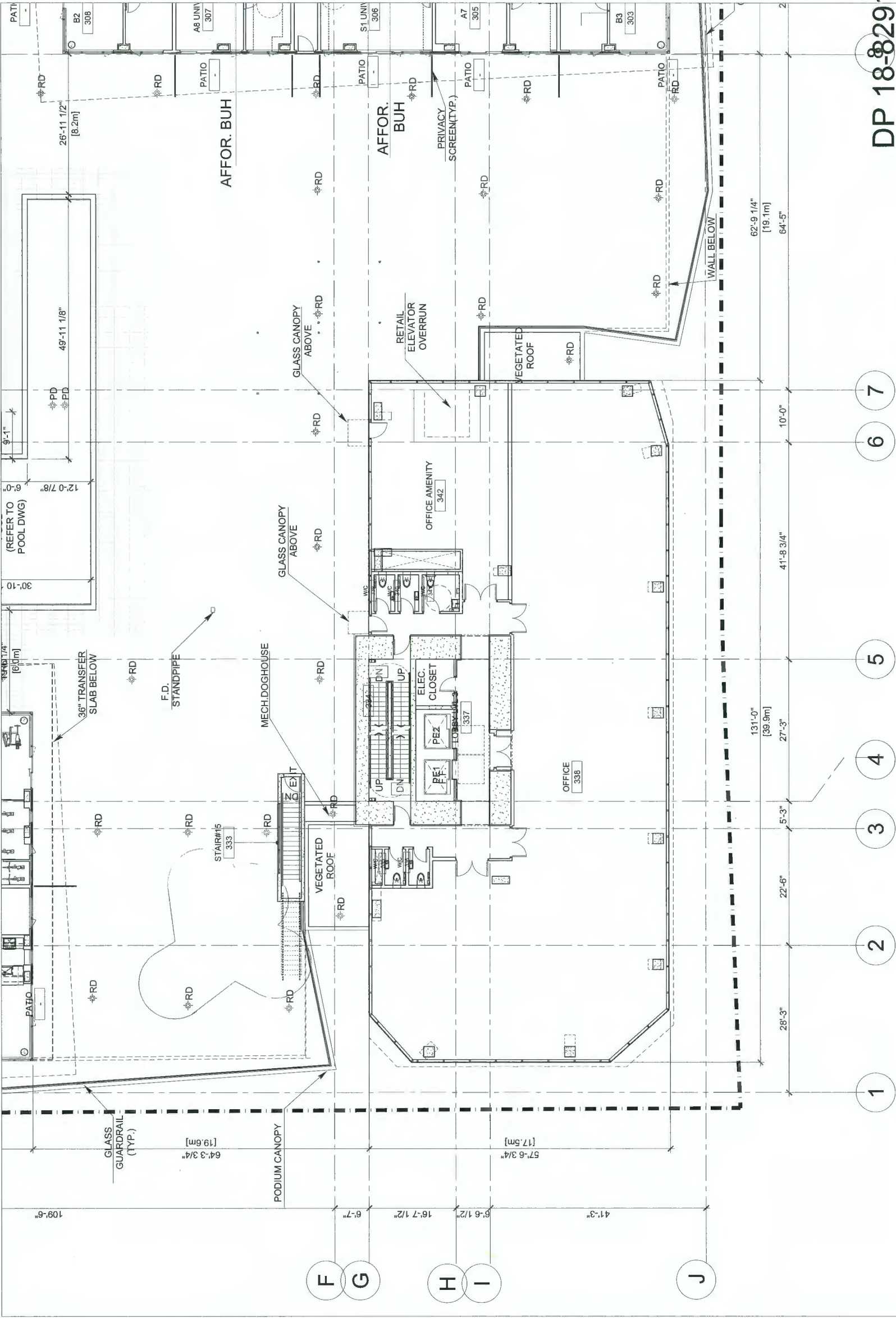
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Sheet: 2.5.1



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1065 West Hastings Street
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V6Z 1K1
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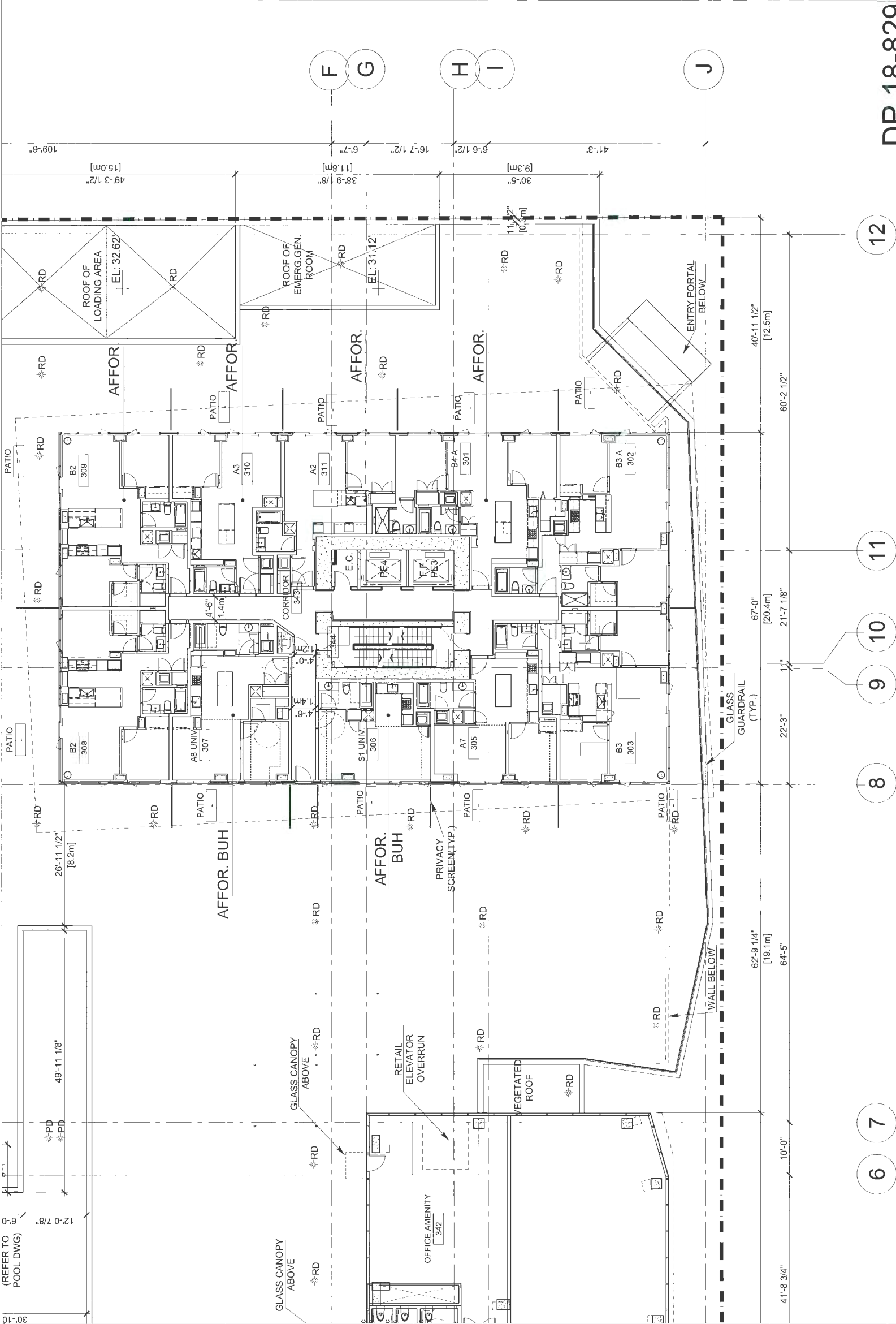
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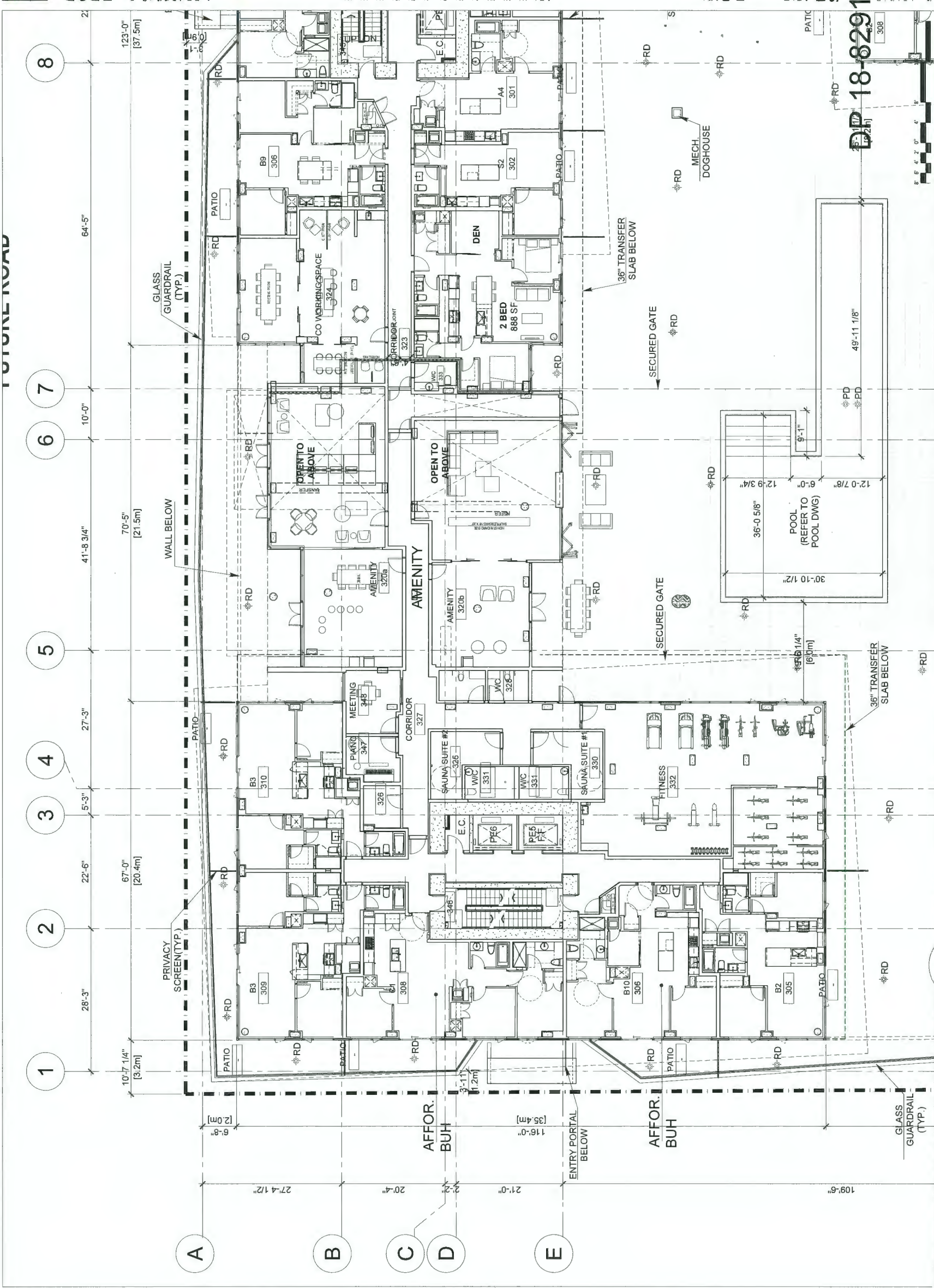
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LEVEL 3 PLAN
SW CORNER

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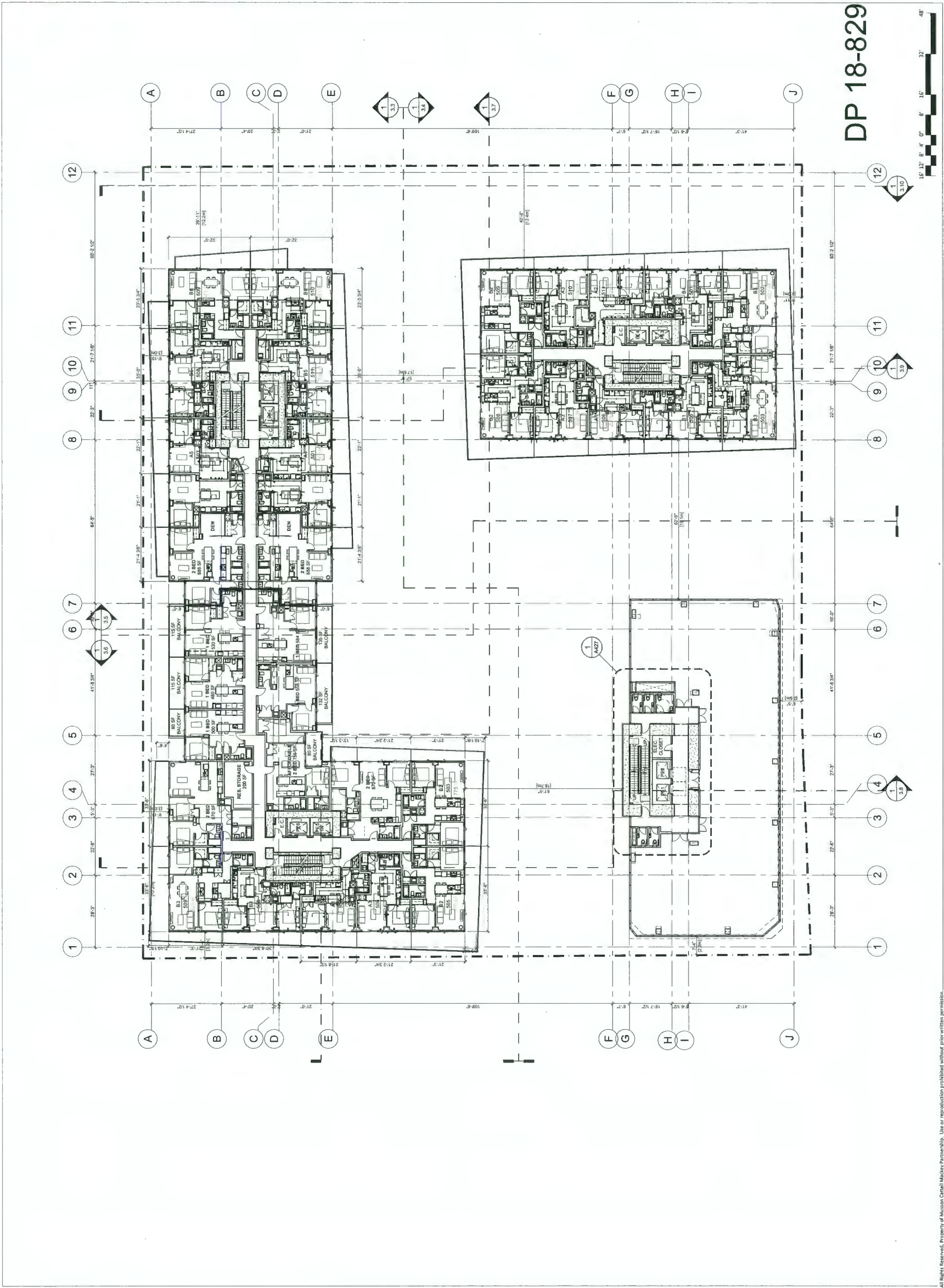
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LEVEL 5 PLAN

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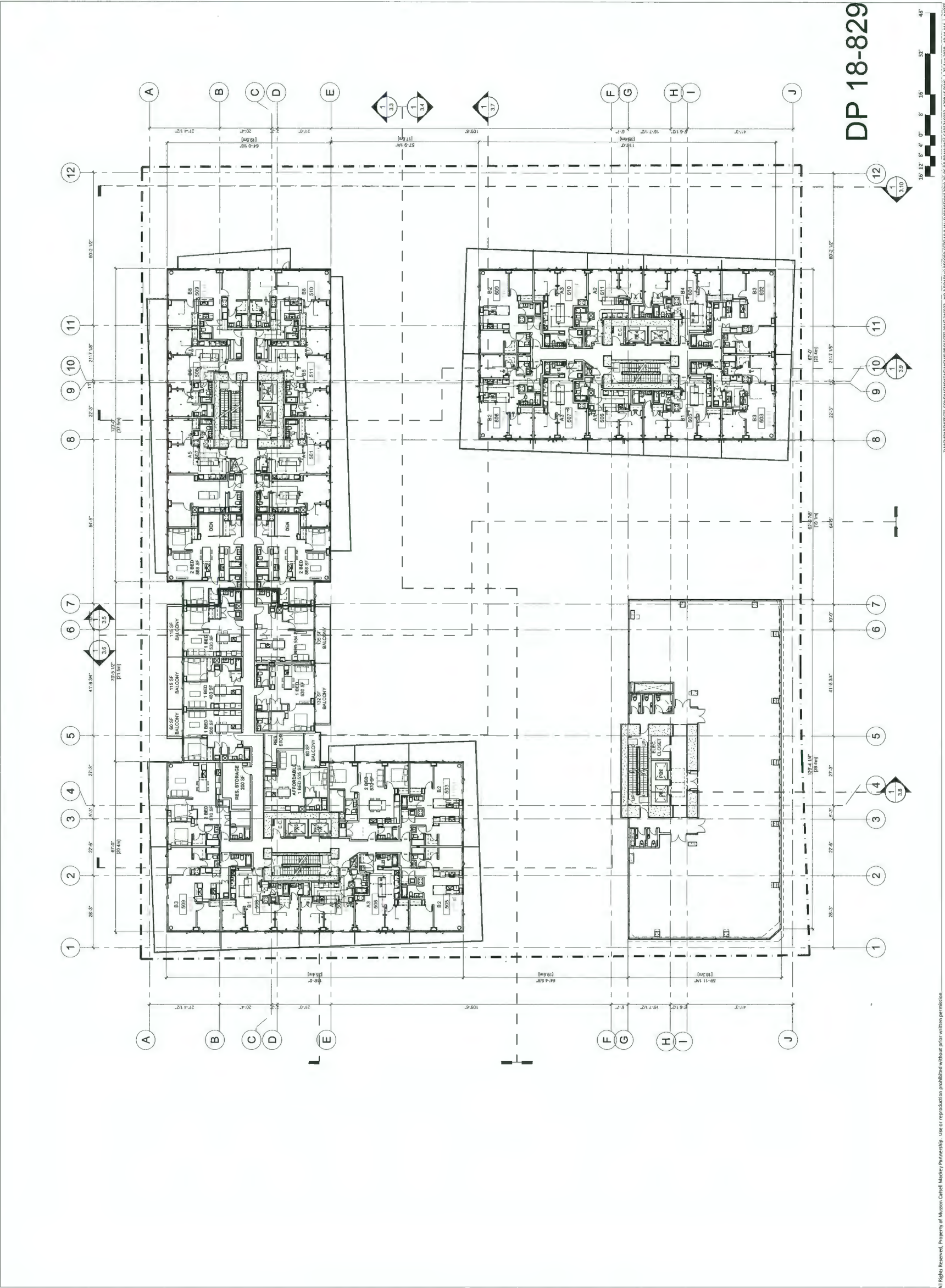
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Project

LEVEL 6 PLAN

DP 18-829141

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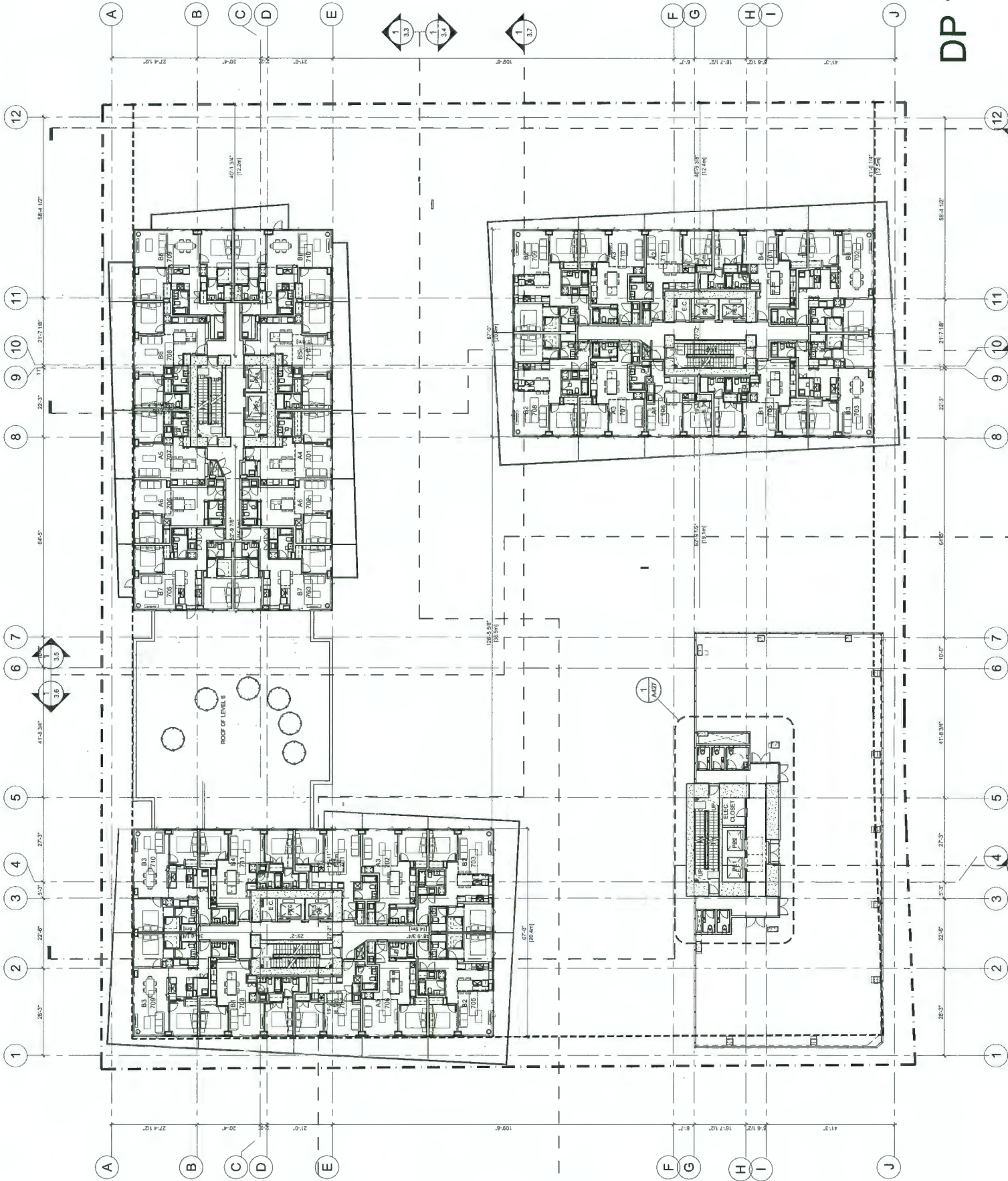
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Project

LEVEL 7 PLAN

DP 18-829141

Drawing	1/12" = 1'-0"
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Project	2.9
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Project

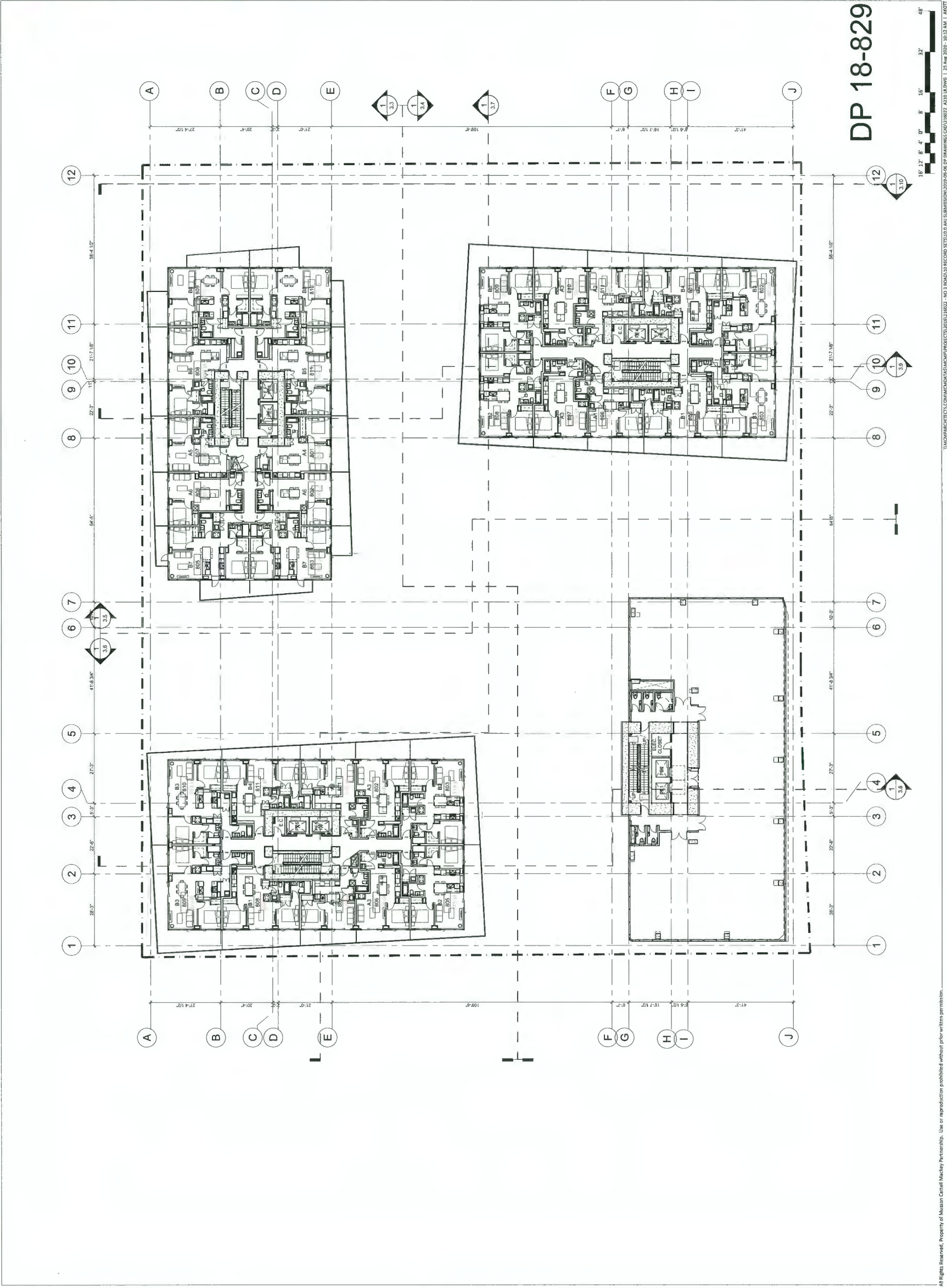
LEVEL 8 PLAN

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Project
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2.10





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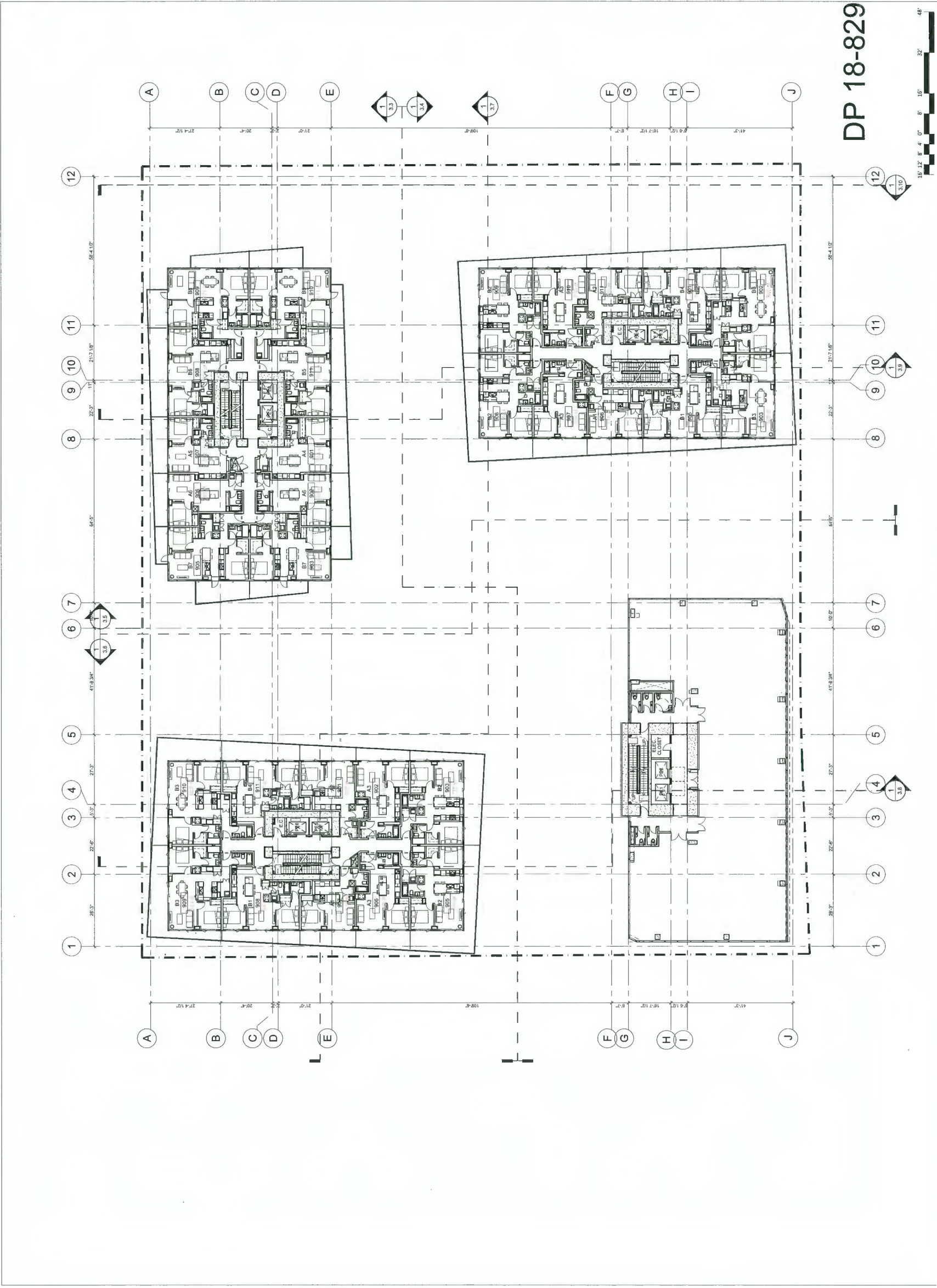
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Project

LEVEL 9 PLAN

DP 18-829141

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Downtown Plaza
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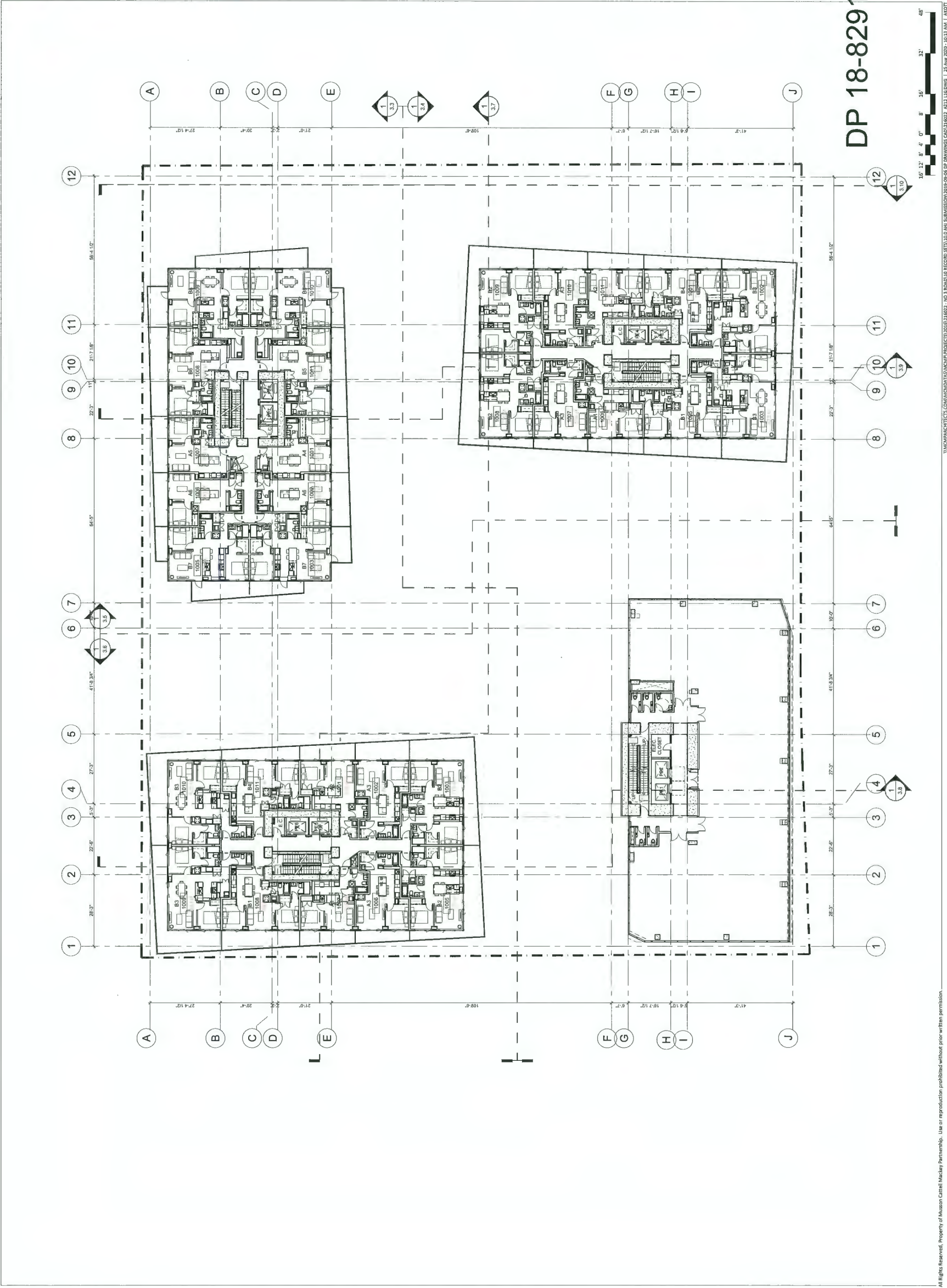
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LEVEL 10 PLAN

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Vancouver, British Columbia
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MCM@architects.com



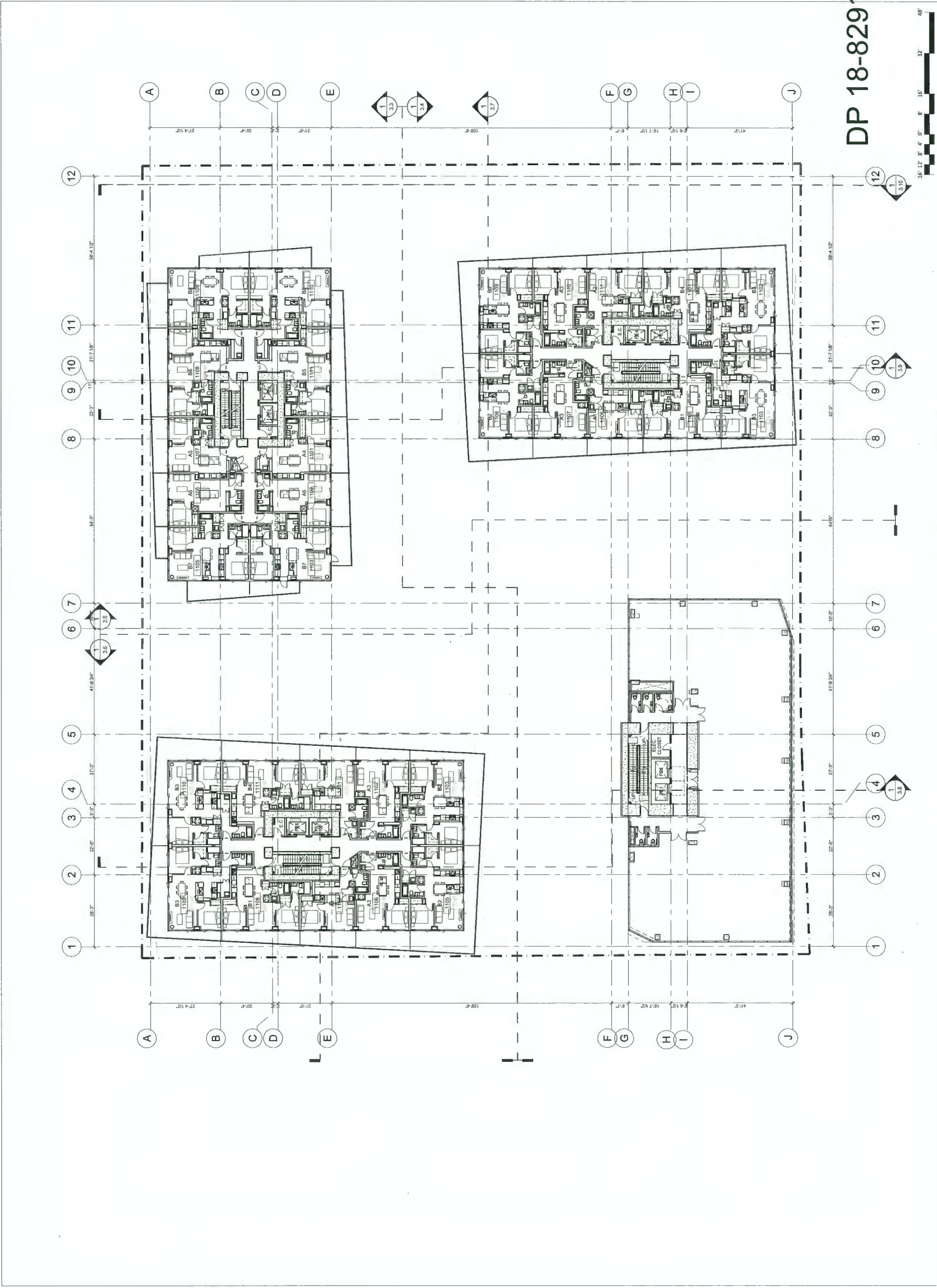
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RICHMOND, BC
Project
LEVEL 11 PLAN

DP 18-829141

Drawing
Scale
1/16" = 1'-0"
Project
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Sheet
2.13





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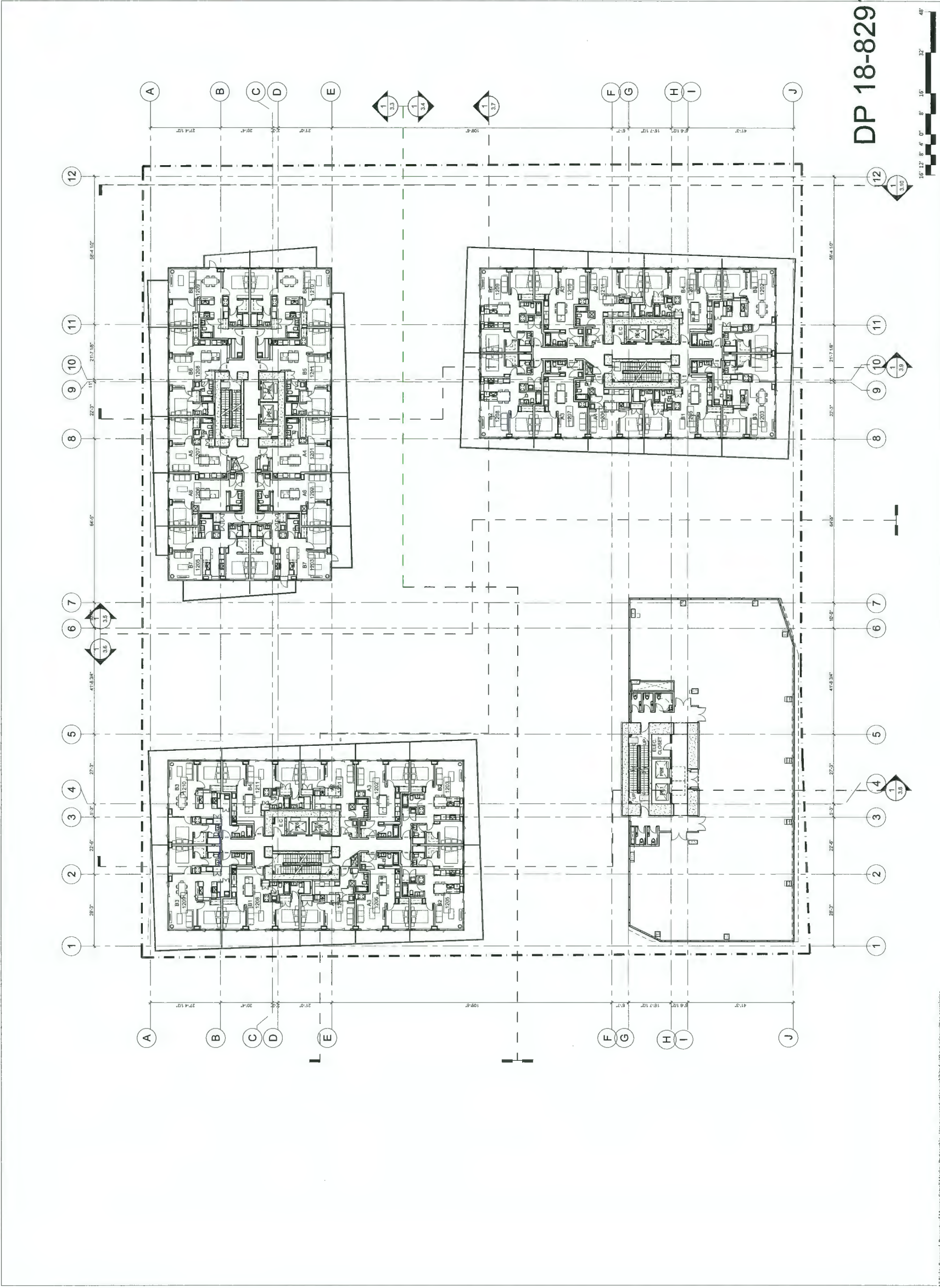
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NO 3 ROAD
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RICHMOND, BC
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LEVEL 12 PLAN

DP 18-829141

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Sheet	2.14





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Cattell
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Architects Designers Planners
Ocasio Plaza
1015 West Hastings Street
Vancouver, British Columbia
Canada V6E 3K1
T: 604.682.2990
F: 604.682.1771
MCM@architects.com

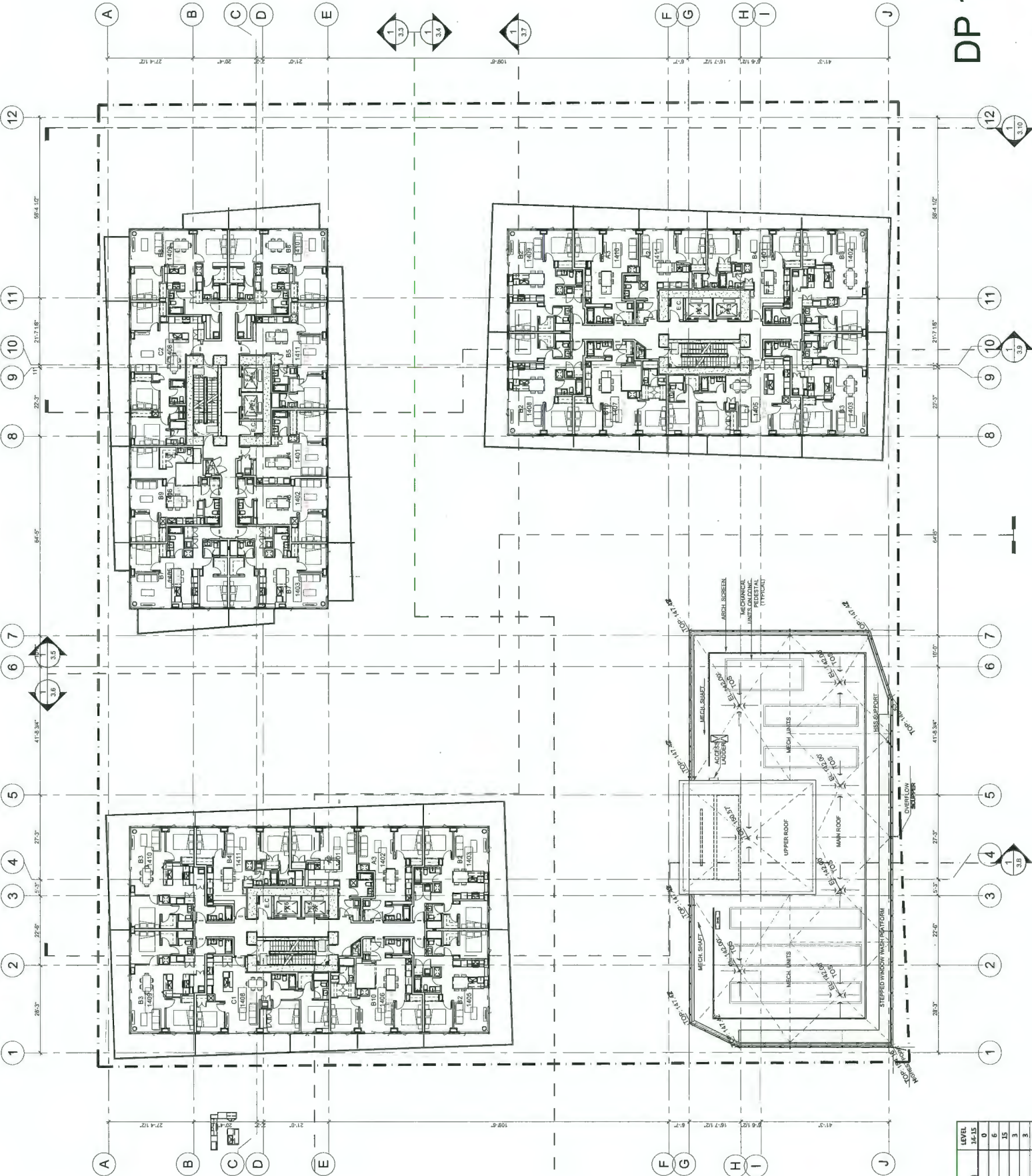


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 - 5 | 15 OCT 2019
RE-ISSUED FOR DP
 - 4 | 15 AUGUST 2019
RE-ISSUED FOR DP
 - 3 | 07 FEB 2019
ISSUED FOR REVIEW
 - 2 | 15 JAN 2019
RESPONSE TO AIP COMMENTS
 - 1 | 22 OCT 2018
ISSUED FOR CITY REVIEW
- Revisions
VTP: MAM 20

Seal
NO 3 ROAD
DP 18-829141

RICHMOND, BC
Project
LEVEL 14 PLAN

DP 18-829141
Drawing
Scale
1/16" = 1'-0"
Project
21802.2
Sheet
2.16



LEVEL 14-15 STATS

UNITS	B2 (RES.)	B3 (RES.)	B4 (RES.)	LEVEL 14-15
STUDIO	0	0	0	0
1 BED	2	2	2	6
2 BED	5	5	5	15
2 BED + DEN	1	1	1	3
3 BED	1	1	1	3
TOTAL	9	9	9	27

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Musson
Cattell
Mackey
Partnership

Architects Designers Planners
Creative Plaza
1014 West Hastings Street
Vancouver, British Columbia
Canada V6E 3K1
T 604.682.2990
F 604.682.1771
MCMPartnership.com



12	25 AUGUST 2020	RE-SUBMITTED FOR DP
11	24 AUGUST 2020	RE-SUBMITTED FOR DP
10	20 JULY 2020	RE-SUBMITTED FOR DP
9	17 JULY 2020	RE-SUBMITTED FOR DP
8	3 JULY 2020	RE-SUBMITTED FOR DP
7	29 JUNE 2020	RE-SUBMITTED FOR DP
6	07 MAY 2020	RE-SUBMITTED FOR DP
5	15 OCT 2019	RE-SUBMITTED FOR DP
4	16 AUGUST 2019	RE-SUBMITTED FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
2	14 JAN 2019	RESPONSE TO ADP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		YPM-JAM-00

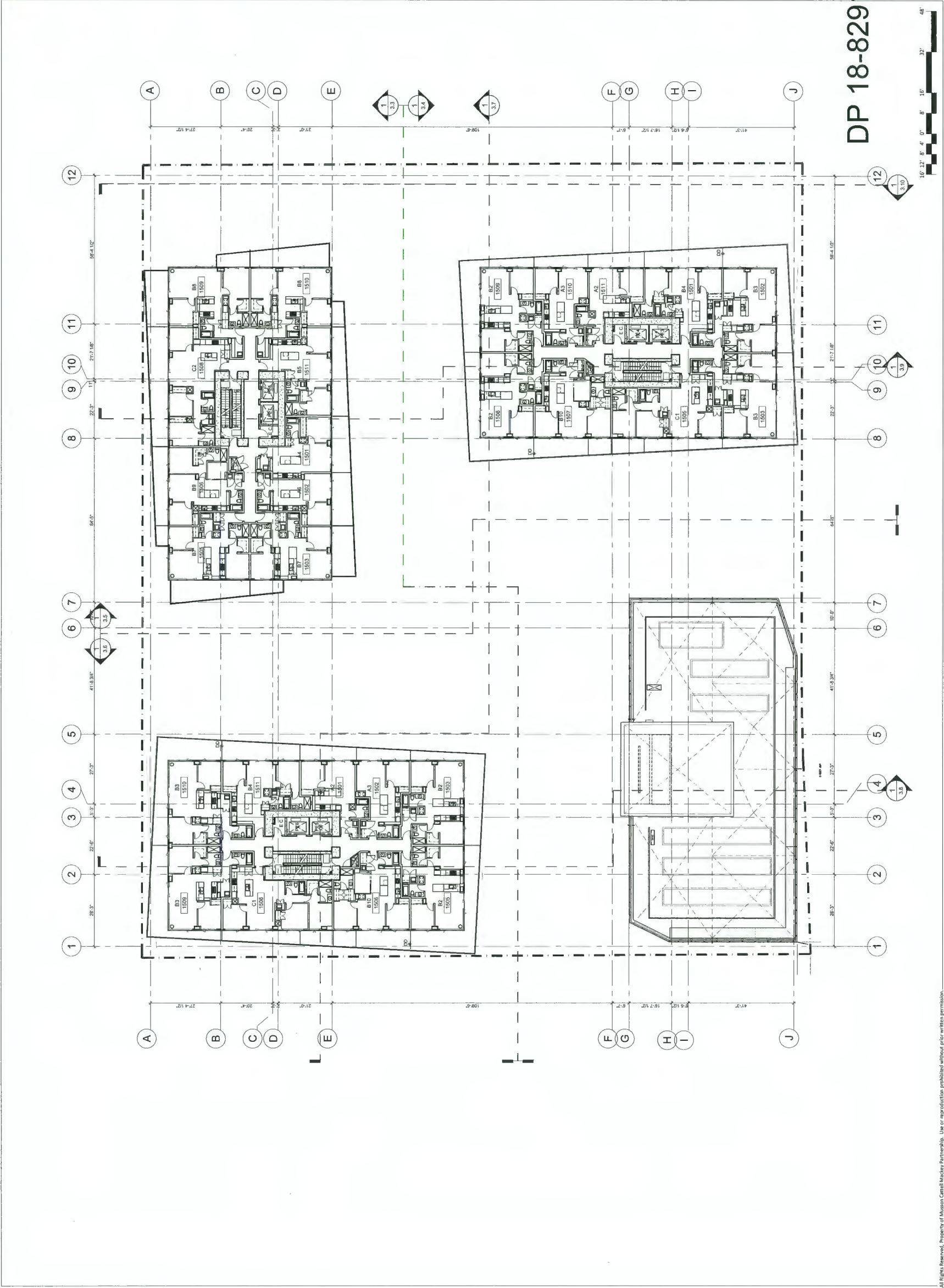
Seal
NO 3 ROAD
DP 18-829141

RICHMOND, BC
Project

LEVEL 15 PLAN

DP 18-829141

Drawing	1/2" = 1'-0"
Scale	215022
Project	215022
Sheet	2.17





Seal
NO 3 ROAD
DP 18-829141

NORTH & SOUTH ELEVATIONS

DP 18-829141

Drawing
Scale
Project
Sheet



16' 12' 8" 4" 0" 8" 16" 32" 48"

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MO 3 ROAD TO RECORD SETS 10.0 AUG SUBMISSION 2019-09-06 DP DRAWINGS CAD 2716022 A301 ELEVATION NORTH-SOUTH DWG 16 JUL 2020 - 11:39 AM AZOTT



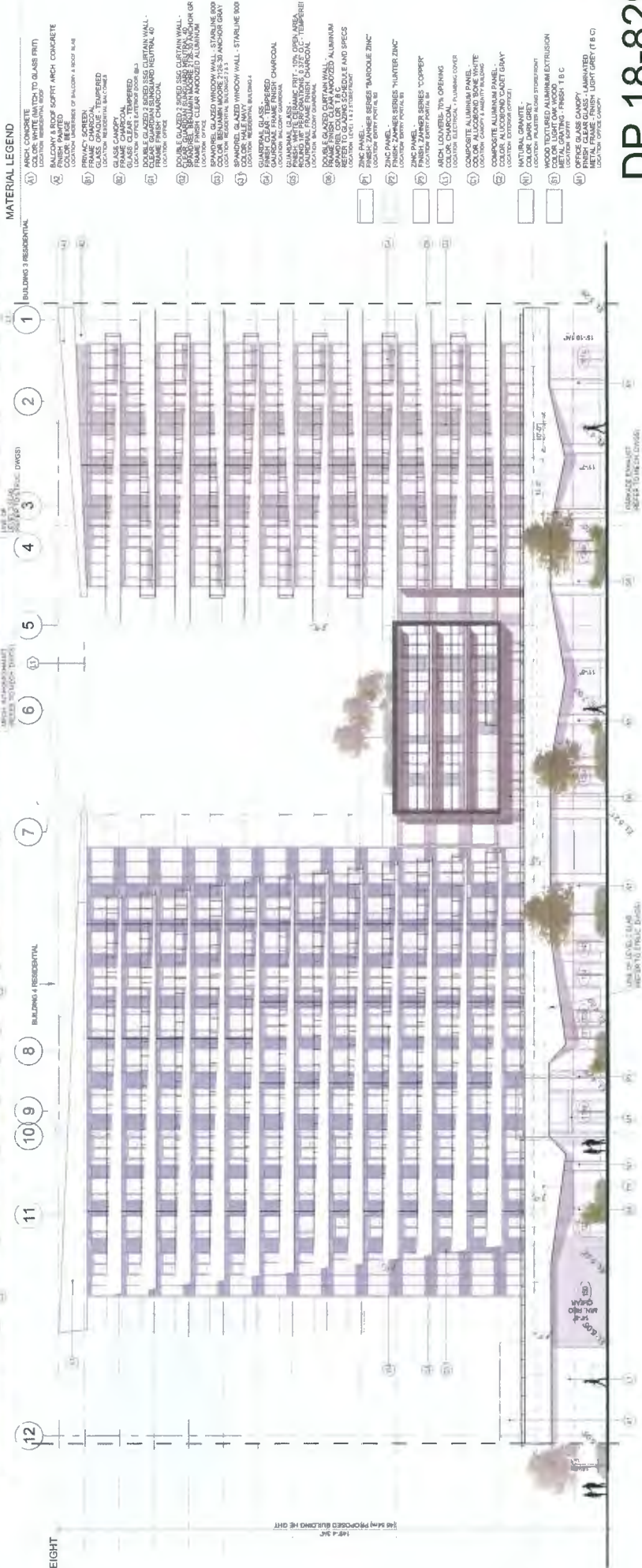
Seal
NO 3 ROAD
DP 18-829141

EAST & WEST
ELEVATIONS

DP 18-829141

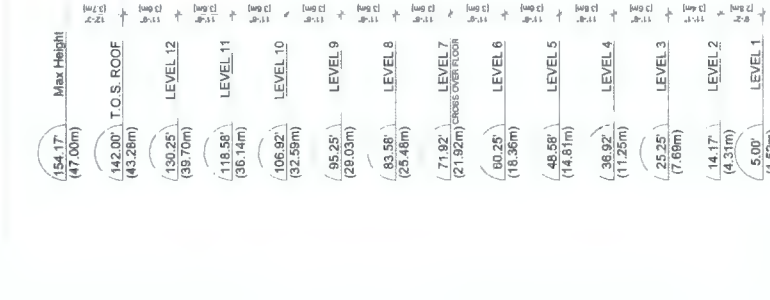
16' 12' 8' 4' 0" 8' 16' 32' 48'

12/16/2020 11:30 AM
NO. 3 ROAD TO RECORD SETS 10.0 AM SUBMISSION 2019-05-06 OF DRAWINGS CAD 12/16/2022
AN03 ELEVATION EAST-WEST DWG
16 JUN 2020 - 11:30 AM
ACOTT

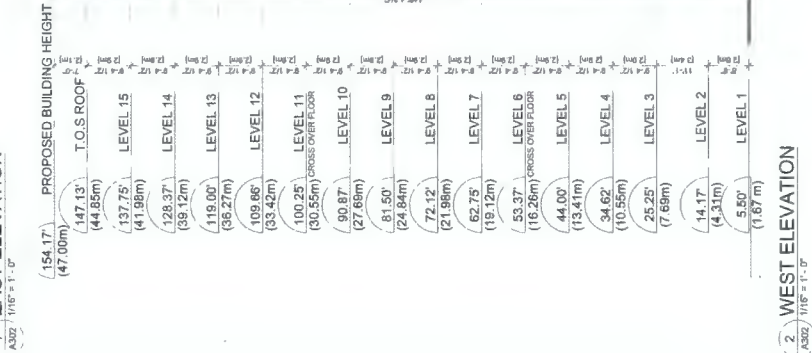


- ADDRESSING TO BE VISIBLE FROM STREET APPROACH AND LINE OF CONTRASTING COLOURS TO THE MOUNTING BACKGROUND
- ETCHING OF GLASSES AND ADDRESSING UNDER OVERHANGS / CANOPIES UNACCEPTABLE

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1 EAST ELEVATION



2) WEST ELEVATION



Musson
Cattell
Mackey
Partnership

Architects Designers Planners
Oceano Plaza
1055 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T: 604.687.2990
F: 604.687.1771
MCMPartnership.com



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8	3 JULY 2020	REBID FOR DP
7	29 JUNE 2020	REBID FOR DP
6	18 MAY 2020	REBID FOR DP
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3	07 FEB 2019	REBID FOR DP
2	13 JULY 2018	RESPONSE TO RFP COMMENTS
1	22 OCT 2018	REBID FOR CITY REVIEW
Revisions		YMM-HAD-20

NO 3 ROAD
DP 18-829141

NO 3 ROAD
RICHMOND, BC

INTERIOR
ELEVATION
WEST

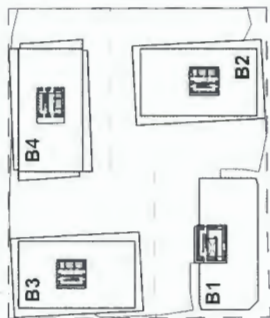
DP 18-829141

Scale: 3/32" = 1'-0"
Project: 216022
Sheet: 3.3



MATERIAL LEGEND

- (1) ARCH. CONCRETE
COLOR: WHITE (MATCH TO GLASS FRIT)
- (2) BALCONY & ROOF SLAB
FRESH PAINTED
LOCATION: VISIBLE TO BALCONY & ROOF SLAB
- (3) GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED
- (4) GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED
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- (5) GLASS CANOPY - TEMPERED
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GLASS CANOPY - TEMPERED
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GLASS CANOPY - TEMPERED
- (12) GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED
GLASS CANOPY - TEMPERED



1. INTERIOR WEST ELEVATION

KEY PLAN

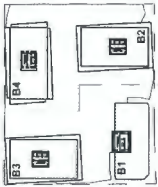
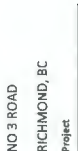
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Architects Designers Planners
Oceanic Plaza
 066 West Hastings Street
 Suite 1900
 Vancouver, British Columbia
 Canada V6E 3X1
 t: 604.687.2990
 f: 604.687.1771
MCMArchitects.com



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KEY PLAN





Musson
Cattell
Mackey
Partnership

Architects
Oscar Plaza
1000 West Hastings Street
Suite 800
Vancouver, British Columbia
Canada V6E 3X1
T 604.687.2990
F 604.687.1771
MCM@MUSONCATTMCKEY.COM



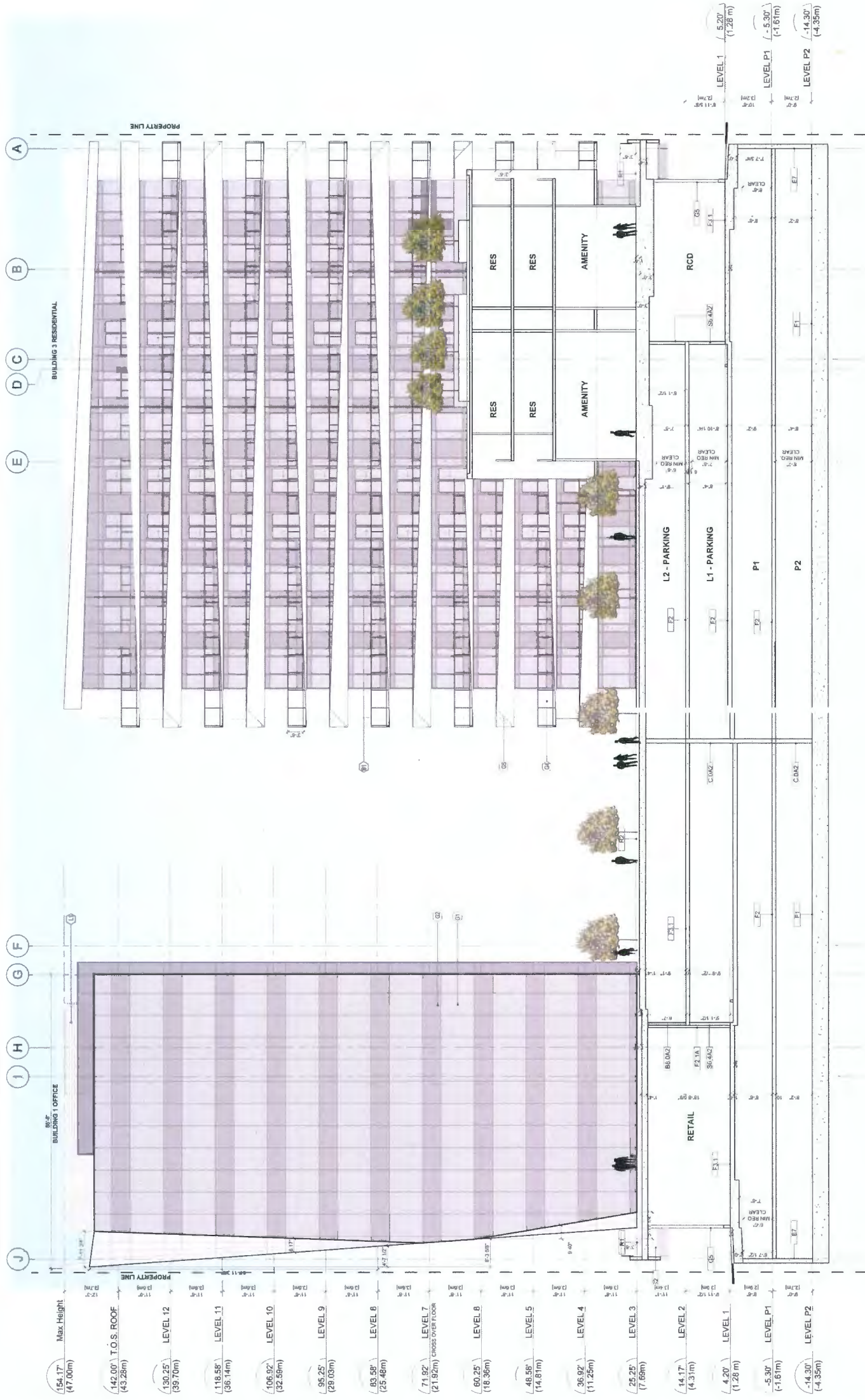
12	25 AUGUST 2020	REVISION FOR DP
11	14 AUGUST 2020	REVISION FOR DP
10	30 JULY 2020	REVISION FOR DP
9	17 JULY 2020	REVISION FOR DP
8	2 JULY 2020	REVISION FOR DP
7	19 JUNE 2020	REVISION FOR DP
6	01 MAY 2020	REVISION FOR DP
5	15 OCT 2019	REVISION FOR DP
4	15 AUGUST 2019	REVISION FOR DP
3	01 FEB 2019	ISSUED TO CITY OF RICHMOND
2	18 JAN 2019	
1	22 OCT 2018	RESPONSE TO ARP COMMENTS ISSUED FOR CITY REVIEW
Revisions	YYYY-MM-DD	

NO 3 ROAD
DP 18-829141

NO 3 ROAD
RICHMOND, BC

ELEVATION 4
AND
BUILDING 2

DP 18-829141
Project
216922
Sheet
3.6



1 INTERIOR SOUTH ELEVATION

MATERIAL LEGEND

- (A1) ARCH. CONCRETE
COLOR: WHITE (MATCH TO GLASS FRIT)
- (A2) BALCONY & ROOF SLOTT ARCH. CONCRETE
FINISH: PAINTED
LOCATION: TERRACES OF BALCONY & ROOF SLAB
- (B1) FRAME: ALUMINUM
GLASS: CLEAR, TEMPERED
LOCATION: OFFICE
- (B2) GLASS CANOPY
GLASS: CLEAR, TEMPERED
LOCATION: OFFICE
- (B3) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B4) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B5) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B6) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B7) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B8) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B9) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B10) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B11) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (B12) DOUBLE GLAZED CURTAIN WALL
GLASS: CLEAR, TEMPERED
FRAME: ANODIZED ALUMINUM
LOCATION: OFFICE
- (C1) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C2) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C3) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C4) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C5) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C6) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C7) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C8) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C9) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C10) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C11) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (C12) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (D1) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D2) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D3) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D4) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D5) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D6) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D7) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D8) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D9) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D10) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D11) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (D12) COMPOSITE ALUMINUM PANEL -
COLOR: ALUMINUM (MATCH TO GLASS FRIT)
- (E1) NATURAL GRANITE -
COLOR: BAY GREY
LOCATION: OFFICE
- (E2) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E3) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E4) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E5) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E6) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E7) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E8) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E9) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E10) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E11) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (E12) WOOD TEXTURED ALUMINUM EXTRUSION
COLOR: BAY GREY
LOCATION: OFFICE
- (F1) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (F2) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (F3) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
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COLOR: WHITE (MATCH TO GLASS FRIT)
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COLOR: WHITE (MATCH TO GLASS FRIT)
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COLOR: WHITE (MATCH TO GLASS FRIT)
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COLOR: WHITE (MATCH TO GLASS FRIT)
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- (G10) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
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- (G12) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
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- (H12) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
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- (I1) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
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COLOR: WHITE (MATCH TO GLASS FRIT)
- (I12) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (J1) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (J2) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
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COLOR: WHITE (MATCH TO GLASS FRIT)
- (J11) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)
- (J12) SPANDREL GLAZED WINDOW WALL - STAINLESS STEEL
COLOR: WHITE (MATCH TO GLASS FRIT)





Musson
Cattell
Mackey
Partnership

Architects Designers Planners
Creative Place
1000 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T: 604.687.2990
F: 604.687.1771
M: 604.687.1771
MCP@mussoncattell.com



11	25 AUGUST 2020	RE-SUBMIT FOR DP
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1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		YYY-AAA-00

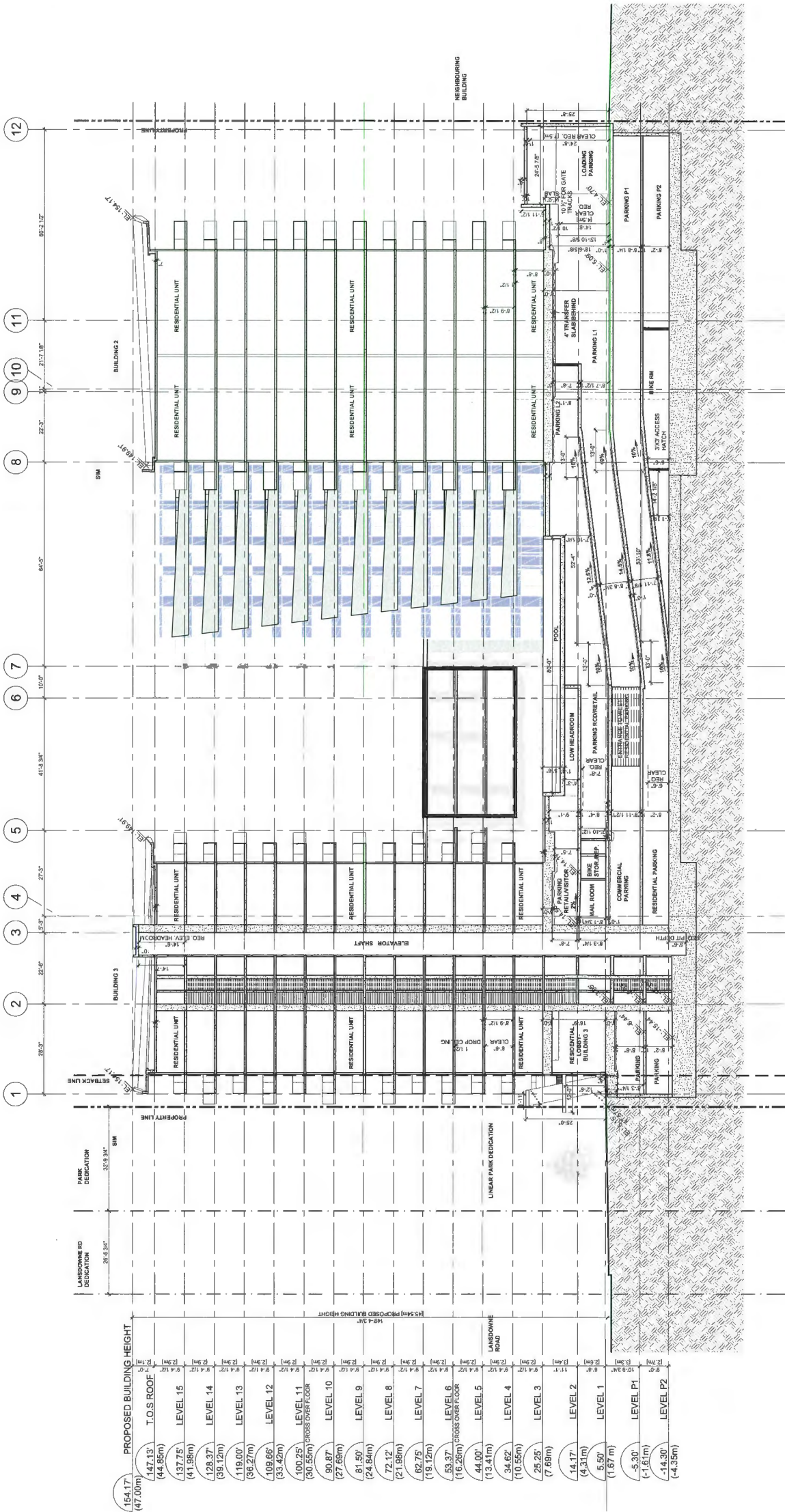
NO 3 ROAD
DP 18-829141

NO 3 ROAD
RICHMOND, BC

Project
BUILDING
SECTION 1

DP 18-829141

Drawing	1/18" = 1'-0"
Scale	216022
Project	3.7
Sheet	





Musson
Cattell
Mackey
Partnership

Architects, Designers, Planners
Okanagan Plaza
1044 West Hastings Street
V6C 1K6, Vancouver, BC
Canada V6E 3K1
T: 604.682.2990
F: 604.682.1771
MCM@architects.com



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9	17 JULY 2020	RE-SIGNED FOR DP
8	3 JULY 2020	RE-SIGNED FOR DP
7	12 JUNE 2020	RE-SIGNED FOR DP
6	10 MAY 2020	RE-SIGNED FOR DP
5	15 OCT 2019	RE-SIGNED FOR DP
4	15 AUGUST 2019	RE-SIGNED FOR DP
3	07 FEB 2019	FOR CITY OF RICHMOND
2	15 JAN 2019	RESPONSE TO RFP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		TYPE/DATE/DO

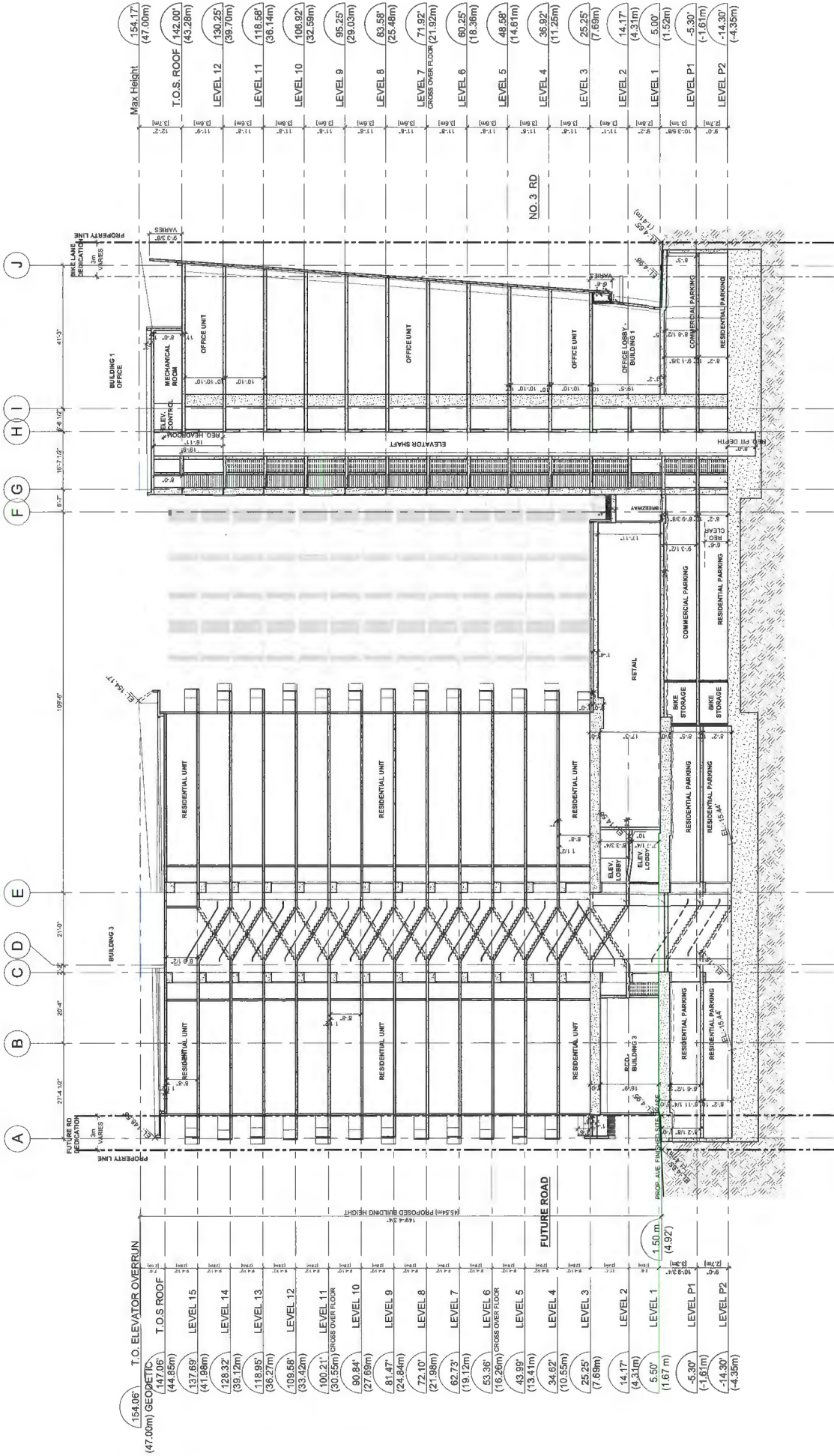
Seal
NO 3 ROAD
DP 18-829141

NO 3 ROAD
RICHMOND, BC
Project

BUILDING
SECTION 2

DP 18-829141

Drawing	Scale	1/2" = 1'-0"
Project		215022
Sheet		3.8





Seal
NO 3 ROAD
DP 18-829141

BUILDING
SECTION 3

DP 18-829141

Drawing

Scale	1/16" = 1'-0"
Project	216022

Sheet 3.9



LUXE

No. 3 Rd. & Lansdowne Rd.,
Richmond, BC

DRAWING LIST

L-4.1	Legends & Notes	NTS
LANDSCAPE PLANS		
L-4.1.1	Material Plan - Level 1	1:200
L-4.1.2	Material Plan - Level 3	1:200
L-4.1.3	Material Plan - Level 7	1:200
L-4.2	Planting Plan	1:200
L-4.3	Lighting Plan	1:200
LANDSCAPE SECTIONS		
L-4.4.1	Ground Level Sections	1:50
L-4.4.2	Podium Level Sections	1:50
L-4.4.3	Podium Level Sections	1:50
LANDSCAPE DETAILS		
L-4.5.1	Hardscape Details	1:10
L-4.5.2	Furnishing & Planting Details	1:10
L-4.5.3	Planting Details	1:10
L-4.5.4	Pool Details	1:10
LANDSCAPE CUSTOM DETAILS		
L-4.6.1	Play Details	1:10
L-4.6.2	Furnishing & Fencing Details	1:10
L-4.6.3	Structure & Metalworks Details	1:10
L-4.6.4	Structure & Metalworks Details	1:10

LEGENDS

HARDSCAPE LEGEND		
KEY	GRAPHIC DESCRIPTION	DETAIL KEY
L-1	CIP Concrete Paving to CoMIL standard Colour: Coloured Finish: Light Road Pattern: Saw-cut (as shown on L-1.1)	(L-01) (L-4.5)
L-2	Special Conc. Pavers at Lansdowne Linear Park Pattern: As Shown (Refer to Code) Colour: Mixed	(L-02) (L-4.5)
L-3	BELGARD 'Melville BQ' Concrete Unit Pavers Colour: 'Amber Beige' & 'Shaded Grey' Supplier: Espocrete	(L-03) (L-4.5)
L-4	BELGARD 'Melville BQ' Concrete Unit Pavers Size: 300x300x60 & 190x300x60 Colour: 'Amber Beige' & 'Shaded Grey' Supplier: Espocrete	(L-04) (L-4.5)
L-5	STRAMICHE 'Aristocrat' Porcelain Pavers Colour: 'Jule & Fero' Supplier: Ames Stone & Tiles	(L-05) (L-4.5) (L-4.5.1) (L-4.5.2)
L-6	BELGARD 'Verdome' Cobbles Colour: 'Newport Grey' / + 'Scandinavia Grey' BELGARD 'Melville Park' Unit Pavers Pattern: As Shown (Detail Plans on L-2.1)	(L-07) (L-4.5)
L-7	Decorative River Rock (at Planter Dip Slops) Size: 10-20 cm Colour: Ebony Black & Crushed Stone (at Dog Run) Supplier: Northwest Landscape & Stone Supply	(L-08) (L-4.5) (L-4.5.1)
L-8	Pour-in-Place Rubber Play Surfacing w/ Galvanized Metal Edge Colours: Various (Refer to Plan) Supplier: Softline Solutions Surrey	(L-09) (L-4.5)
L-9	Water @ Level 3 Pool	

OWNER

CLIENT
TOWNLINE - VANCOUVER HEAD OFFICE
1212 - 450 SW MARINE DRIVE
VANCOUVER, BC, V5X 0C3
T+ (604) 327-8760

LEGENDS CONT.

SOFTSCAPE LEGEND		
KEY	GRAPHIC DESCRIPTION	DETAIL KEY
L-5	Sodded Lawn	(L-04) (L-4.5.2)
L-9	LiveRoof Pre-Vegetated Intensive Greenroof	(L-09) (L-4.5)

FURNISHING LEGEND		
KEY	GRAPHIC DESCRIPTION	DETAIL KEY
F-1	PaverGrate Tree Grate & Trim Ring w/ Integrated Spot-Lighting (at Lansdowne Linear Park)	(L-08) (L-4.5)
F-2	C3 Commercial Metal Planter Cubes (36") Colour: Slate	(L-07) (L-4.5) (L-4.5.1)
F-3	Bike Racks Model: BBQ110-BikeBloq Finish: KAL Ho Match Custom Plaza Benches Supplier: mmcite	(L-07) (L-4.5)
F-4	Kompan 'CANOPUS' multi-faceted Play Equipment (Supports 9 Children) Supplier: Rectec Industries	(L-02) (L-4.5.2) (L-4.5.3)
F-5	Wood & Metal Trellis Structures (Size & Layout Varies)	(L-07) (L-4.5) (L-4.5.1)
F-6	Metal Gateway Lighting Trellis	(L-08) (L-4.5)
F-7	Custom Outdoor Kitchen w/ Built-in BBQ Model: 'Viking Series' Finish: Stainless Steel	(L-09) (L-4.5)
F-8	Custom Wood Platform/Planter	(L-09) (L-4.5)
F-9	Illustrative Furnishings To Be Specified by LD.	Custom Wood Benches (Podium) & Pre-fab Wood/Metal Benches (Lansdowne Park)

LIGHTING LEGEND (See Electrical for Photometrics/Spec/Spacing)		
GRAPHIC	DESCRIPTION	
	Area Light, 9'-0"(3m) Above FFE, Typ.	Step-Lights, 18" Above FFE, Typ.
	Ballast Light, 3'-3" (1m) Above FFE, Typ.	Wall-Mounted Downlight, 10'-0" Above FFE, Typ.
MECHANICAL (See Mechanical for Further Detail)		
H8 P84	Hose Bib	Irrigation Stub Up

NOTES

General Notes <ol style="list-style-type: none">Refer to architectural drawings for all walls and stair layout and elevations, unless otherwise noted.Refer to electrical drawings for all final landscape lighting layout and specifications.Refer to architectural and mechanical drawings for all drain locations and rim elevations.
Planting Notes <ol style="list-style-type: none">All plants / planting to be per Canadian Landscape Standards (C.L.S.) latest edition.Plant selection subject to availability at the time of planting.Contractor shall source specified plant material and only after area of search has been exhausted will substitutions be considered.All trees to be staked in accordance with C.L.S.All plants to be sourced from nurseries certified free of P. ramorum.Plant sizes and related container classes are specified according to the C.L.S. current edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the standard; for all other plants, both plant size and container calls shall be as shown in the plant list. Specifically, when the plant list calls for #5 clogs containers, these shall be as defined in the C.L.S.All trees to have minimum 10 cubic meters of growing medium unless otherwise specified.
Soil Preparation and Placement Notes <ol style="list-style-type: none">All growing medium placed on project to meet or exceed Canadian Landscape Standards (C.L.S.) latest edition.Submit sieve analysis by an approved independent soil testing laboratory for each type of growing medium being used on the project PRIOR to placement for review and approval. Clearly identify source and type for each. Resubmit as required until growing medium is approved. Provide one composite sample of each type of proposed growing medium for each different application within the project. minimum 1 litre physical sample.Submittals shall be made at least seven (7) days beforeContractor shall not move or work growing medium or additives when they are excessively wet, extremely dry, or frozen or in any manner which will adversely affect growing medium structure. Growing medium whose structure has been destroyed by handling under these conditions will be rejected. Growing medium shall not be handled in wet or frozen conditions.Slab drainage shall be 19mm (3/4") diameter drain gravel free from any silt and clay as shown in details.Place growing medium, except structural to required finish grades and minimum depths as detailed, unless shown otherwise.
Irrigation Notes <ol style="list-style-type: none">All 'Soft Landscape Areas' are to be irrigated with a high efficiency design/built irrigation system to IABC Standards, complete with Rain and Wind Sensor.The irrigation system design and installation shall be in accordance with the Irrigation Industry of BC Standards and Guidelines.System design and installation shall take into account elevation differences, sun orientation and other factors affecting zoning and operation of the system to minimize evapotranspiration and wind lost.System design shall provide for uniform complete 'Head to Head' coverage of all lawns and planted areas.Contractor shall be responsible to provide SHOP DRAWINGS a minimum of 3 weeks prior to installation of any irrigation for review and approval.Should the contractor proceed without approval, any additional modifications to the irrigation systems as directed by the Landscape Architect shall be at contractors cost.Lawns shall be irrigated on separate zones from planted areas.Contractor shall be located in mechanical room.PRIOR to Substantial Performance, contractor shall provide a maintenance data and Operation and lubrication schedules, overhaul/adjustment schedule.Record Drawings: Submit with the operating and maintenance manuals o reproducible copy of the AS-BUILT condition of the system.Contractor shall instruct a designated representative of the Owner in the complete operating and maintenance procedures for the irrigation system, including wintering for the list time with the designated representative observing.All piping shall be class 200.Use GSR Schedule 40 PVC designed for solvent welding to PVC pipe except where valves, risers, etc. require threaded joints.Provide sleeves under all hard surfaces and as required through walls. If under vehicular paving, cast iron piping required.Solenoid valves shall be first quality, compatible with the controller selected.Valve boxes shall be reinforced plastic boxes manufactured specifically for landscape irrigation, complete with captive lock bolt cover sized to suit valves and other components with adequate room for operation and maintenance.
Product and Material Notes <ol style="list-style-type: none">All materials to be as specified or pre-approved equivalent.All material and products to be installed per manufacturer's specifications.

11	Jul 30, 2020	Re-issued for DP
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09	Apr 29, 2020	Re-issued for DP
08	Feb 21, 2020	Issued for Tender
07	Dec 11, 2019	Issued for BP
06	Aug 30, 2019	Issued for Tender
05	May 03, 2019	Issued for 50% Progress
04	April 05, 2019	Issued for 25% Progress
03	Jan 25, 2019	Re-issued for DP
02	Oct 30, 2018	Issued for DP
01	May 03, 2018	Issued for Redesign
no.	date:	item:

Revisions:



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102 - 1637 West 8th Avenue
Vancouver BC V6J 1N5
t: 604 684 4611
f: 604 684 0577
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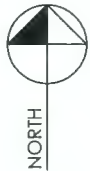
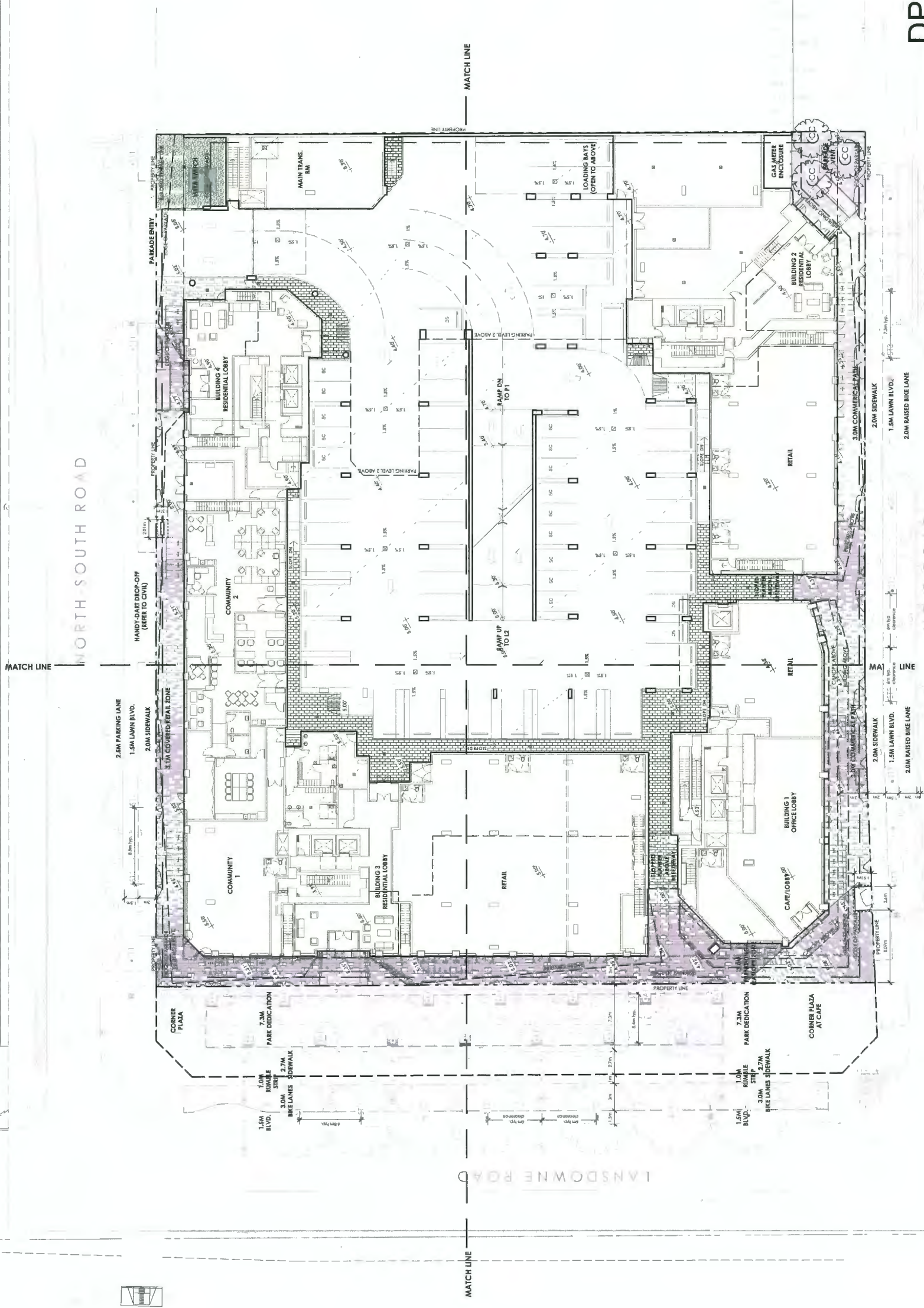
Project:
LUXE
No.3 Road, Richmond
Drawn by: JBT
Checked by: PK
Date: July 17, 2017
Scale: NTS
Drawing Title:

Landscape Coversheet Legends & Notes

DP 18-829141

City/Project No.:	DKL No.:
DP 18-829141	17060
Sheet No.:	

L-4.1



11	Jul 31, 2020	Re-issued for DP
10	Jun 19, 2020	Re-issued for DP
09	Jun 19, 2020	Re-issued for DP
08	Feb 21, 2020	Issued for Tender
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04	Apr 05, 2019	Issued for 25% Progress
03	Jan 26, 2019	Re-issued for DP
02	Oct 03, 2018	Re-issued for DP
01	May 03, 2018	Issued for Re-siting

Revisions:

pk
Durand Kreuk Ltd.
102 - 1837 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4611
F: 604 684 0577
www.dk.bc.ca

Project:

LUXE

No.3 Road, Richmond

Drawn by: JBT

Checked by: PK

Date: July 17, 2017

Scale: 1/16" = 1'-0"

Drawing Title:

**Landscape
Materials Plan -
Level 1**

DP 18-829141

City Project No.:

DP 18-829141

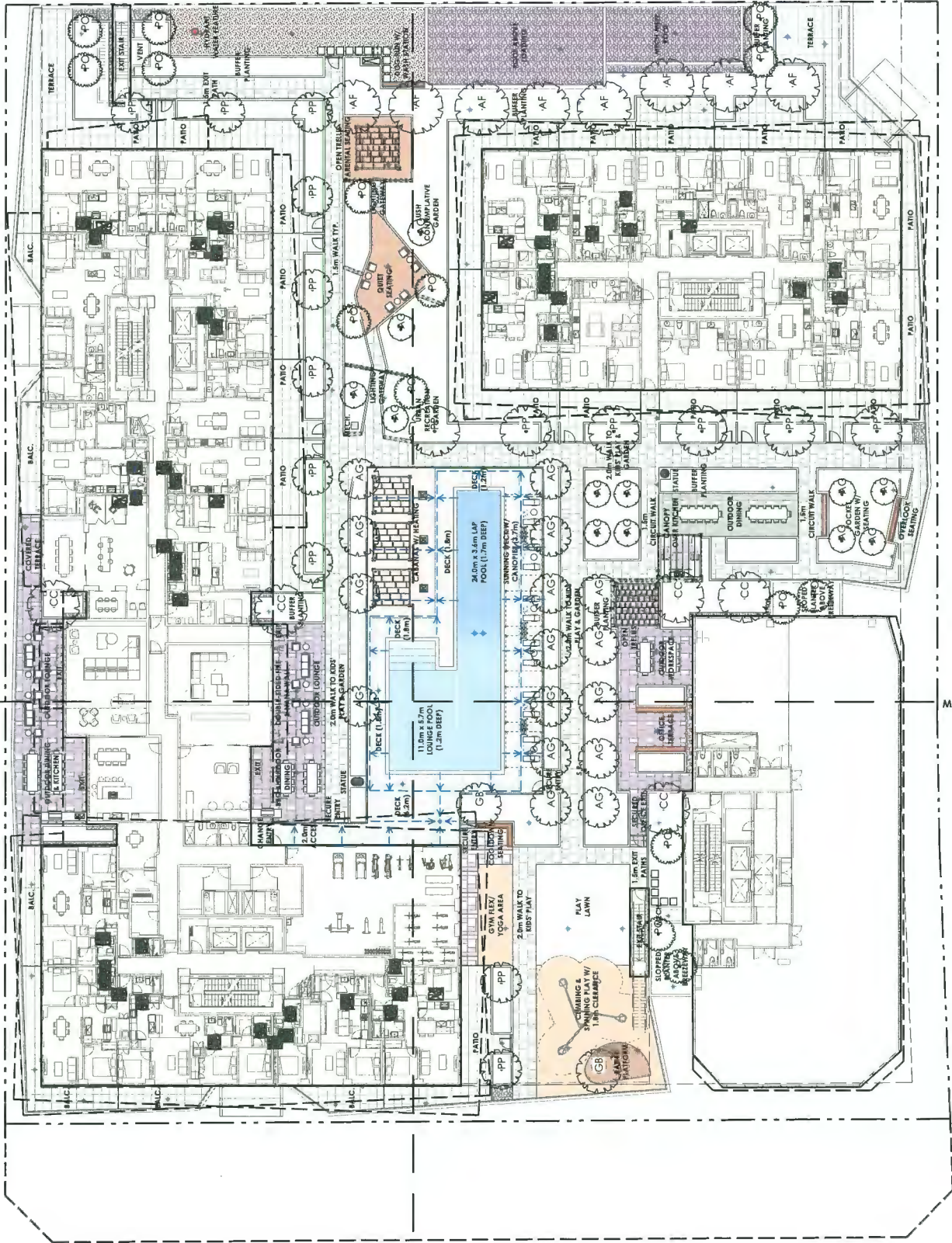
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17060

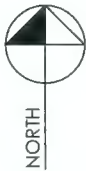
Sheet No.:

L-4.1.1

MATCH LINE



MATCH LINE



NORTH

no.	date	item
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10	Jun 19, 2020	Revised for DP
09	Apr 29, 2020	Revised for DP
08	Feb 21, 2020	Issued for Tender
07	Dec 11, 2019	Issued for GP
06	Aug 30, 2019	Issued for Tender
05	May 03, 2019	Issued for 50% Progress
04	April 05, 2019	Issued for 25% Progress
03	Jan 25, 2019	Revised for DP
02	Oct 30, 2018	Issued for DP
01	May 03, 2018	Issued for Reporting

no.	date	item
11	Jul 31, 2020	Re-issued for DP
10	Jun 19, 2020	Revised for DP
09	Apr 29, 2020	Revised for DP
08	Feb 21, 2020	Issued for Tender
07	Dec 11, 2019	Issued for GP
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04	April 05, 2019	Issued for 25% Progress
03	Jan 25, 2019	Revised for DP
02	Oct 30, 2018	Issued for DP
01	May 03, 2018	Issued for Reporting

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Vancouver BC V6J 1N5
t: 604 684 4611
f: 604 684 0577
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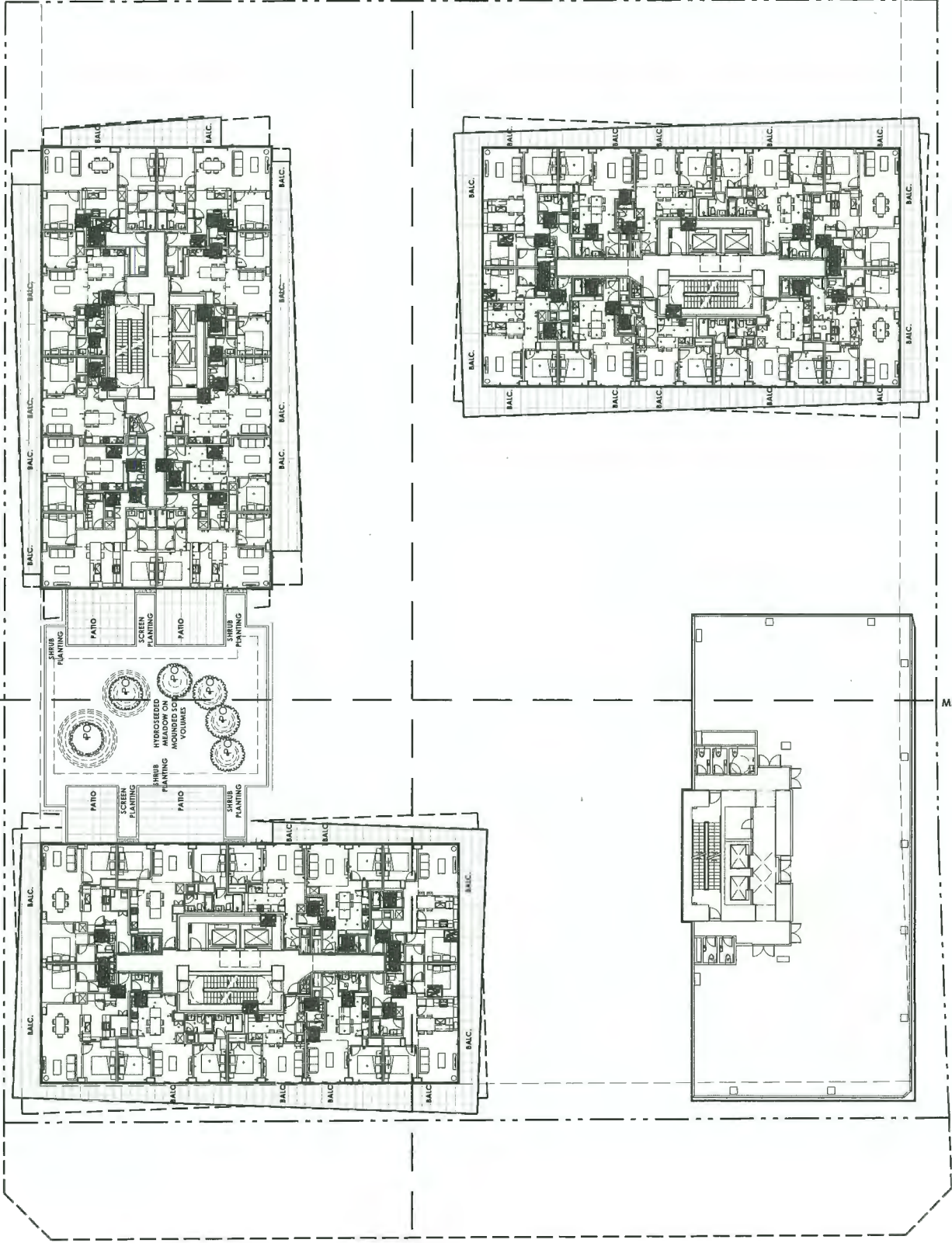
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Drawn by:	JBT
Checked by:	PK
Date:	July 17, 2017
Scale:	1/8" = 1'-0"
Drawing Title:	Landscape Materials Plan - Level 3

DP 18-829141

City Project No.:	17060
DP 18-829141	
Sheet No.:	

L-4.1.2

MATCH LINE



MATCH LINE

MATCH LINE



no.	date	item
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10	Jun 19, 2020	Re-issued for DP
09	Apr 05, 2020	Re-issued for DP
08	Feb 21, 2020	Issued for Tender
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04	April 05, 2019	Issued for 25% Progress
03	Jan 25, 2019	Re-issued for DP
02	Oct 30, 2018	Issued for DP
01	May 03, 2018	Issued for Recording

Revisions:

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Vancouver BC V6J 1N6
T: 604 684 4511
F: 604 684 0577
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Project:

LUXE
No.3 Road, Richmond

Drawn by: JBT

Checked by: PK

Date: July 17, 2017

Scale: 1/16" = 1'-0"

Drawing Title:

Landscape
Materials Plan -
Level 7

DP 18-829141

City Project No:

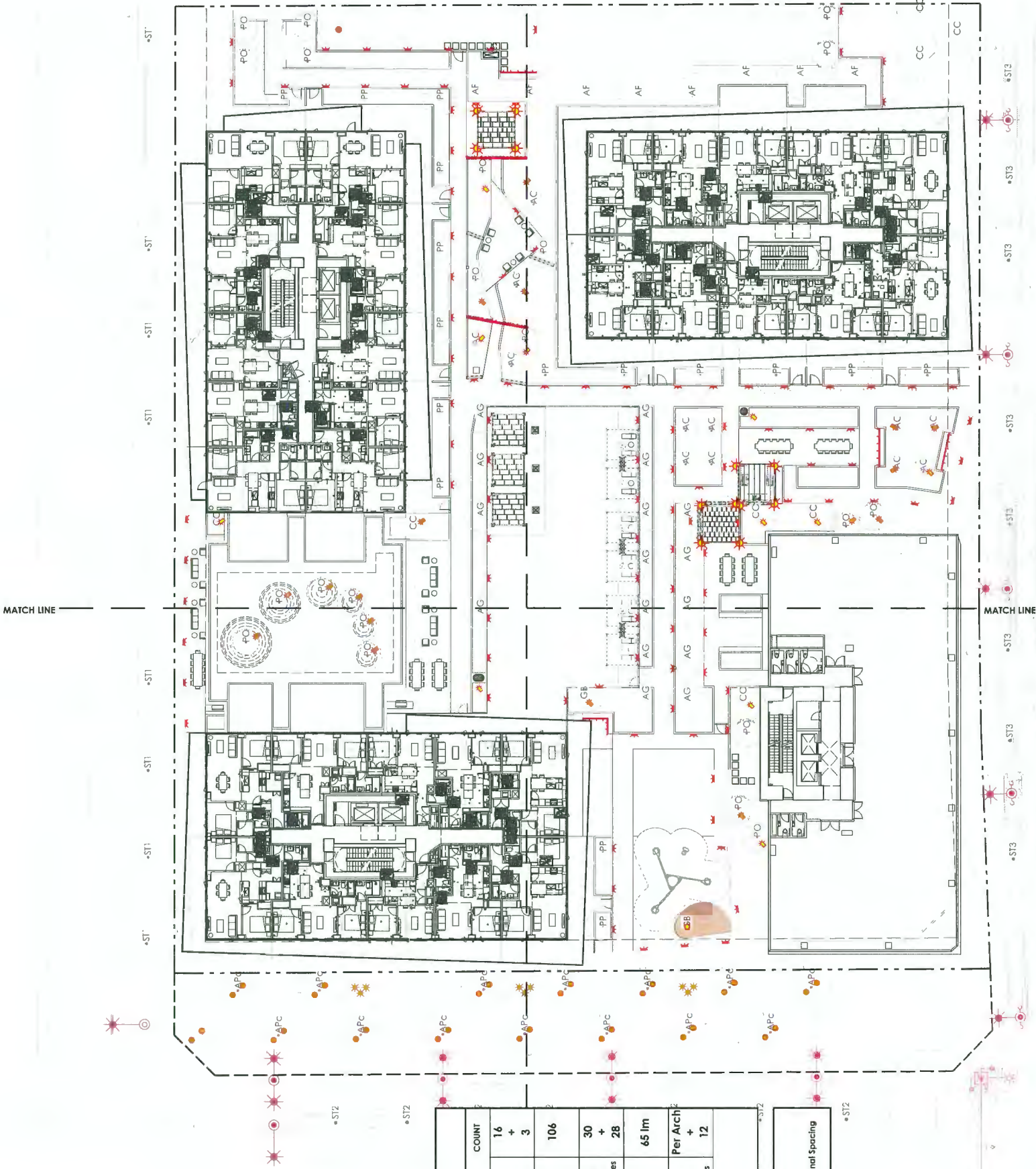
DP 18-829141

DLI No:

17060

Sheet No:

L-4.1.3



LIGHTING LEGEND			COUNT
L-0		NOTE: City/Civil to Specify Street Lighting Locations & Details	16 +
L-1		Step-Lights 18" Above FFE, Typ.	106
L-2		Staked Spot-Light, In Grade Integrated Uplight, Tree Grates	30 +
L-3		Rope Lights Fixed to Furnishing	28
L-4		Well-Mounted Downlight (Confirm Location w/ Arch)	65 lm
		Mount Exterior Trellis Columns Trellis - Design TBD	Per Arch +
		Statues & Specimen Trees	12

NOTE:
Indicative Design Only.
Refer to Electrical for Product Specifications/Photometrics/Final Spacing



Revisions:	Item:
11 Jul 31, 2020	Re-issued for DP
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04 April 05, 2019	Issued for 25% Progress
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02 Oct 30, 2018	Re-issued for DP
01 May 03, 2018	Issued for Reporting

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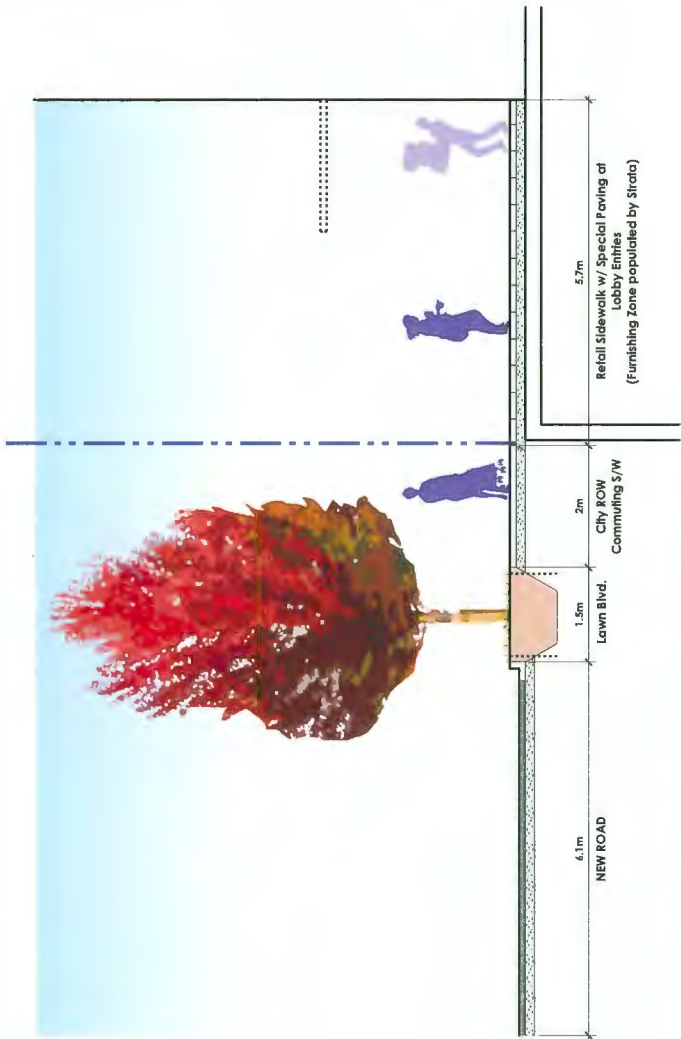
Project:
LUXE
No.3 Road, Richmond
Drawn by: JBT
Checked by: PK
Date: July 17, 2017
Scale: 1/16" = 1'-0"
Drawing Title:

**Landscape
Lighting Plan**

DP 18-829141

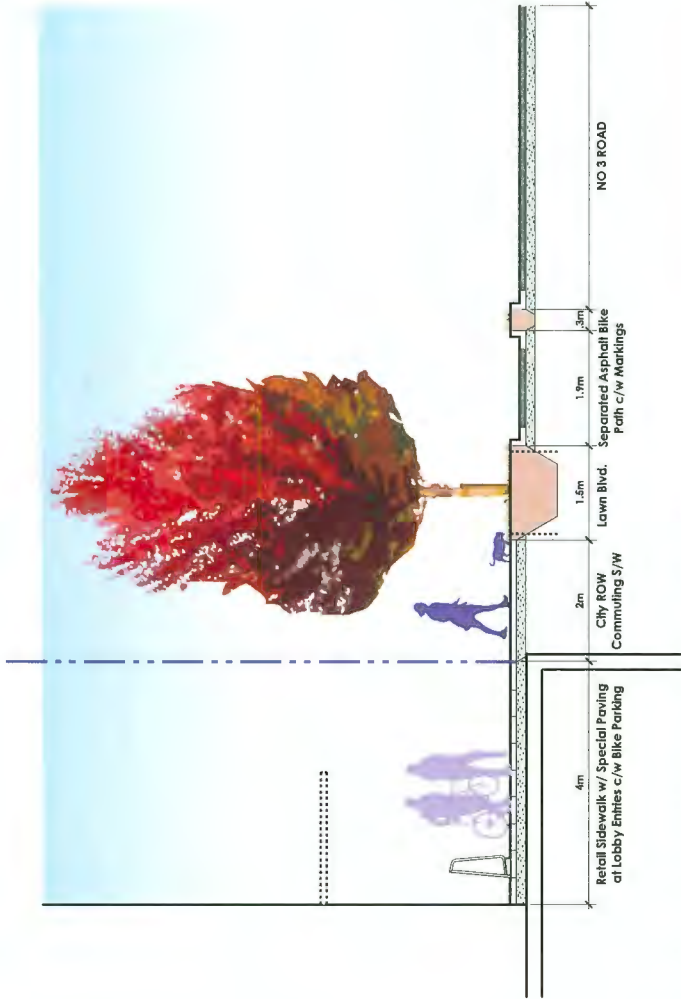
City Project No.:
DP 18-829141
DEL No.:
17060
Sheet No.:

L-4.3



1a - NEW ROAD TYPICAL STREETSCAPE

COMMUNITY SPACE SPILLOUT



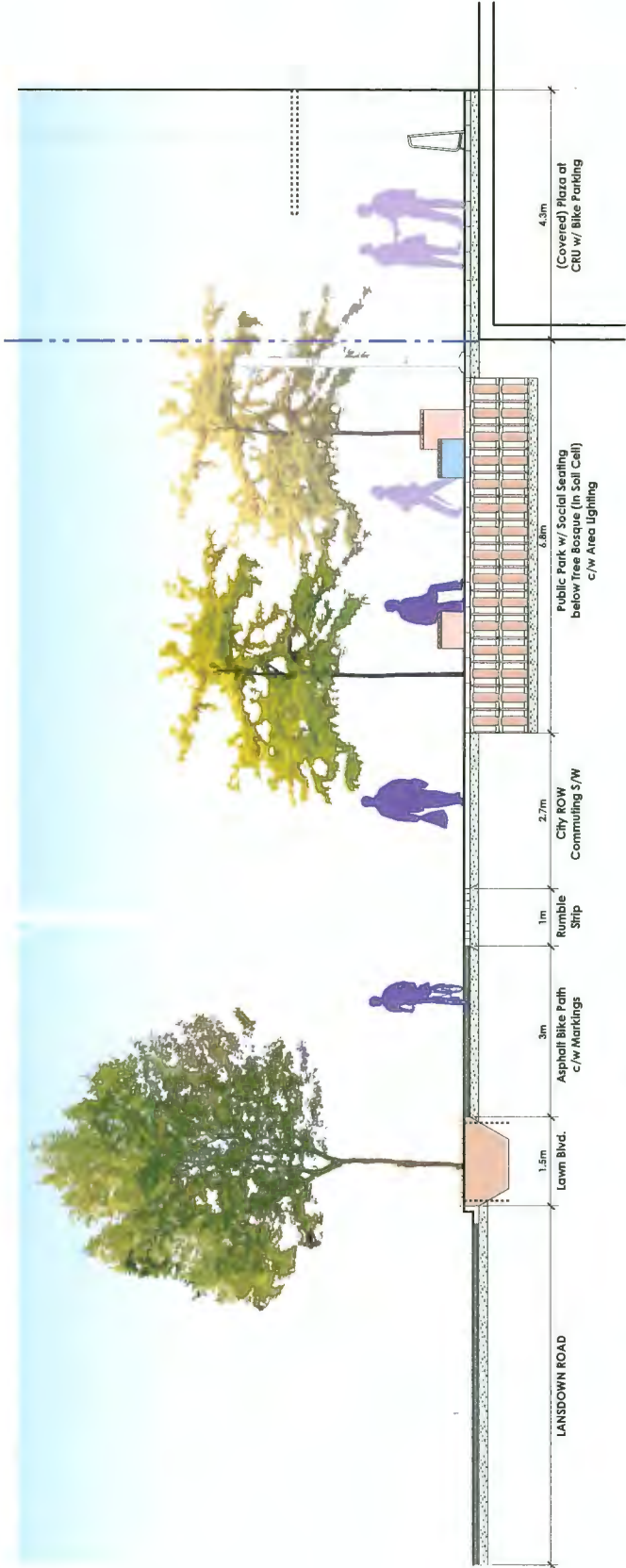
1b - NO 3 ROAD TYPICAL STREETSCAPE

TOWNHOUSE AND TOWER OUTDOOR AMENITY

no.	date:	item:
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10	Jun 19, 2020	Re-issued for DP
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02	Oct 30, 2018	Issued for DP
01	May 03, 2018	Issued for Resolving

no.	date:	item:
Revisions:		

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t: 604 684 4611
f: 604 684 0577
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2 - LANSDOWNE ROAD STREETSCAPE TYPICAL

PROPOSED STREETSCAPE W/ COMMUTING & COMMERCIAL WALKWAYS AND PARK

Project:	LUXE
	No.3 Road, Richmond
Drawn by:	JBT
Checked by:	PK
Date:	July 17, 2017
Scale:	1:50

Drawing Title:

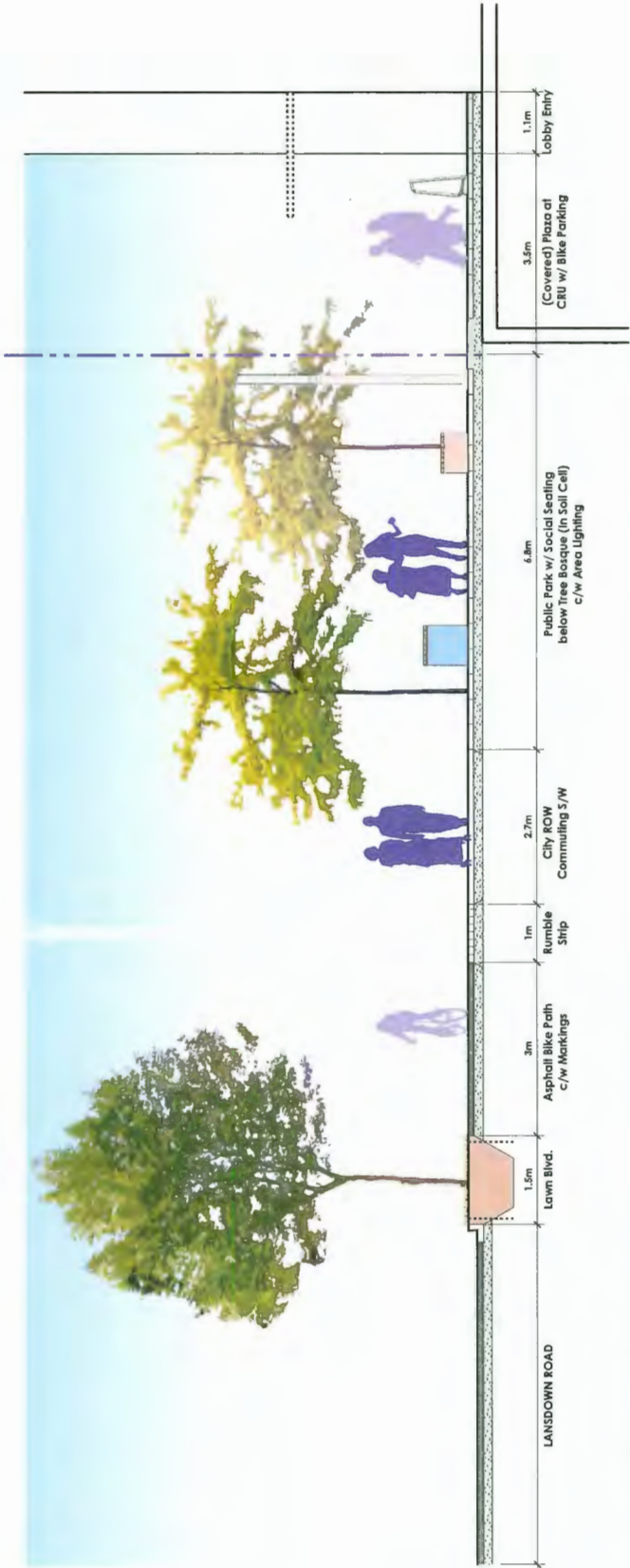
Landscape
Ground Level

Sections
18-829141

City Project No.:	DP 18-829141
DLU No.:	17060

Sheet No.:

L-4.4.1



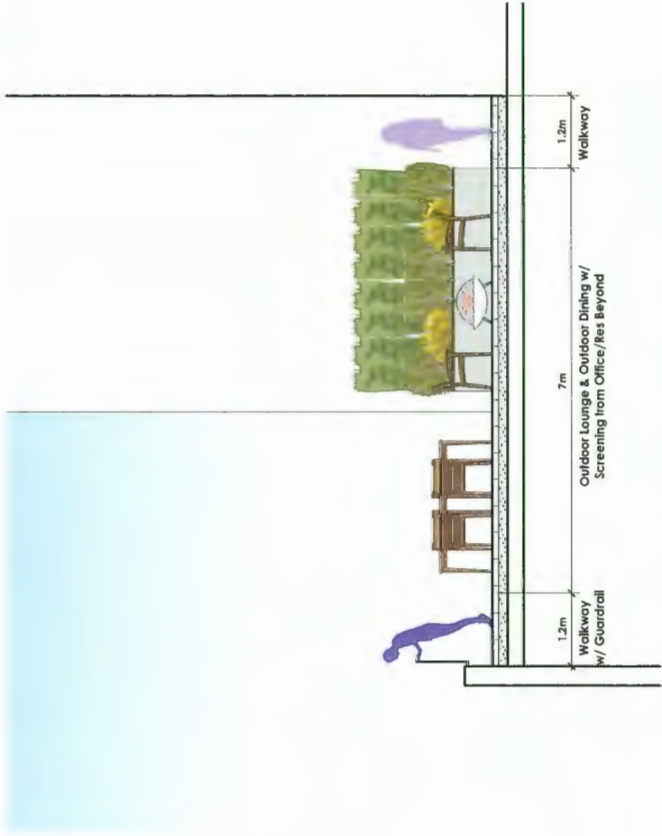
3 - LANSDOWNE ROAD STREETSCAPE AT PLAZA

PROPOSED STREETSCAPE W/ SOCIAL SEATING AND AREA LIGHTING AT PLAZAS

no.	date	item
Revisions:		
11	Jul 31, 2020	Re-issued for DP
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09	Apr 29, 2020	Re-issued for DP
08	Apr 29, 2020	Re-issued for DP
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04	April 05, 2019	Issued for 25% Progress
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02	Oct 30, 2018	Issued for DP
01	May 03, 2018	Issued for Reasoning

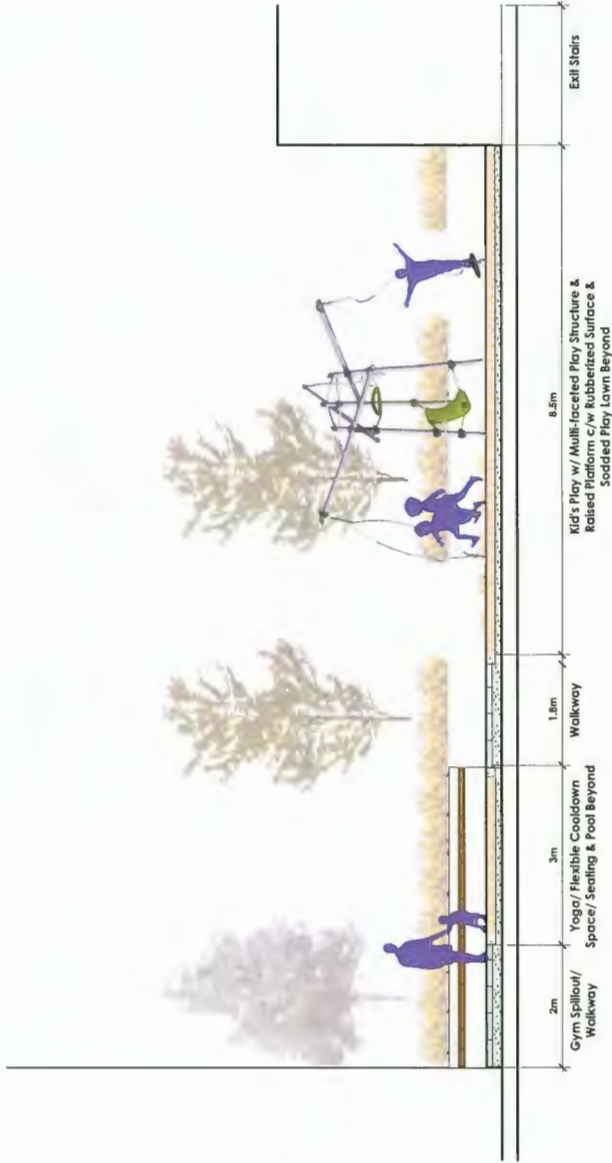
no.	date	item
Revisions:		

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Durante Studio Ltd.
100 - 11837 West 5th Avenue
Vancouver BC V6J 1N5
T: 604 684 4811
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5 - OUTDOOR LOUNGE AT CENTRAL AMENITY

DINING TABLES AND SOCIAL SEATING



7 - GYM COOLDOWN & KIDS PLAY

RUBBERIZED YOGA & PLAYSPACES W/ LAWN

Project:	LUXE No.3 Road, Richmond
Drawn by:	JBT
Checked by:	PK
Date:	July 17, 2017
Scale:	1:50
Drawing Title:	

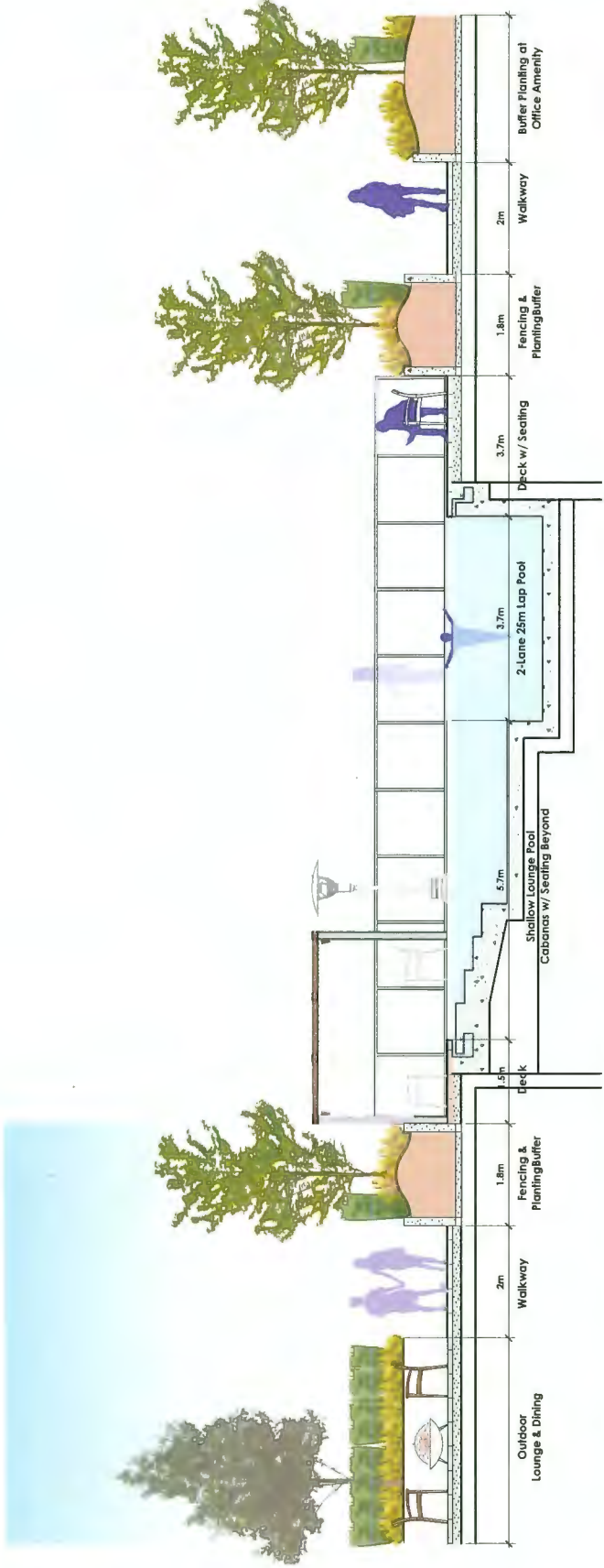
Landscapes
Podium Level
Sections

DP 18-829141

City Project No.:	DP 18-829141
DCL No.:	17060

Sheet No.:

L-4.4.2



5 - POOL AMENITY & TYPICAL CIRCULATION

LOUNGE & LAP POOLS W/ CABANAS AND BAR BEYOND

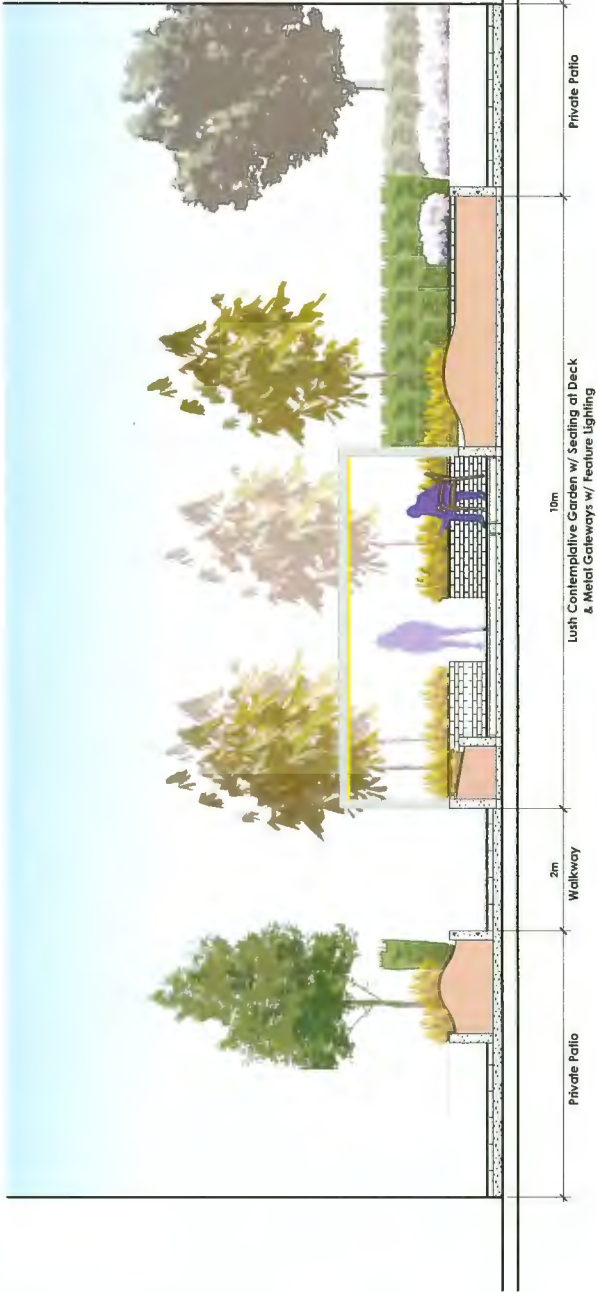
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02	Oct 30, 2018	Re-issued for DP
01	May 03, 2018	Issued for Reporting

No.	Date:	Item:
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Revisions:

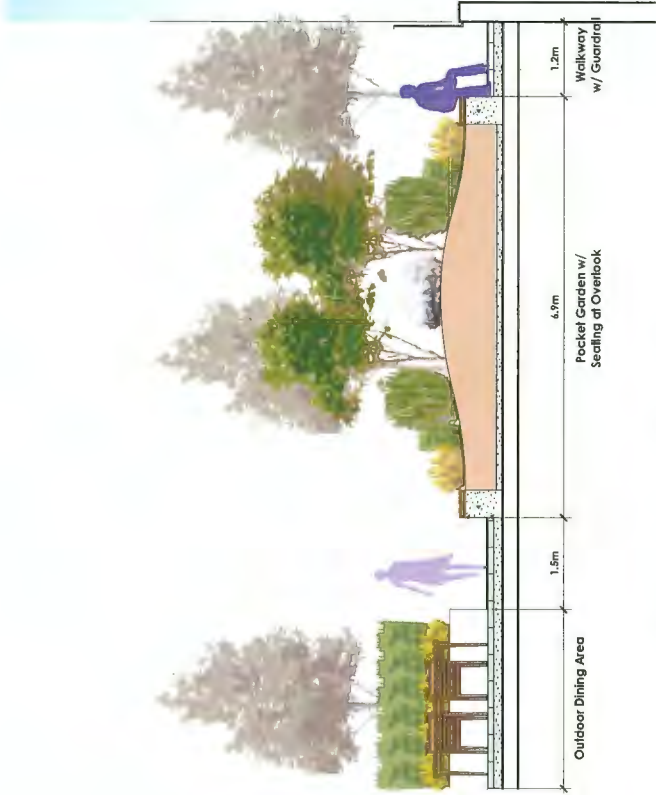


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102-11637 West 5th Avenue
Vancouver BC V6J 1N6
T: 604 684 4611
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4 - URBAN RECREATION GARDENS

PRIVATE PATIOS AND LUSH GARDEN W/ SEATING GATEWAY LIGHTING



8 - POCKET GARDEN AT OUTLOOK

OUTDOOR DINING AREA W/ BENCHES AT BUILDING EDGE

Project:
LUXE
No.3 Road, Richmond

Drawn by: JBT

Checked by: PK

Date: July 17, 2017

Scale: 1:50

Drawing Title:

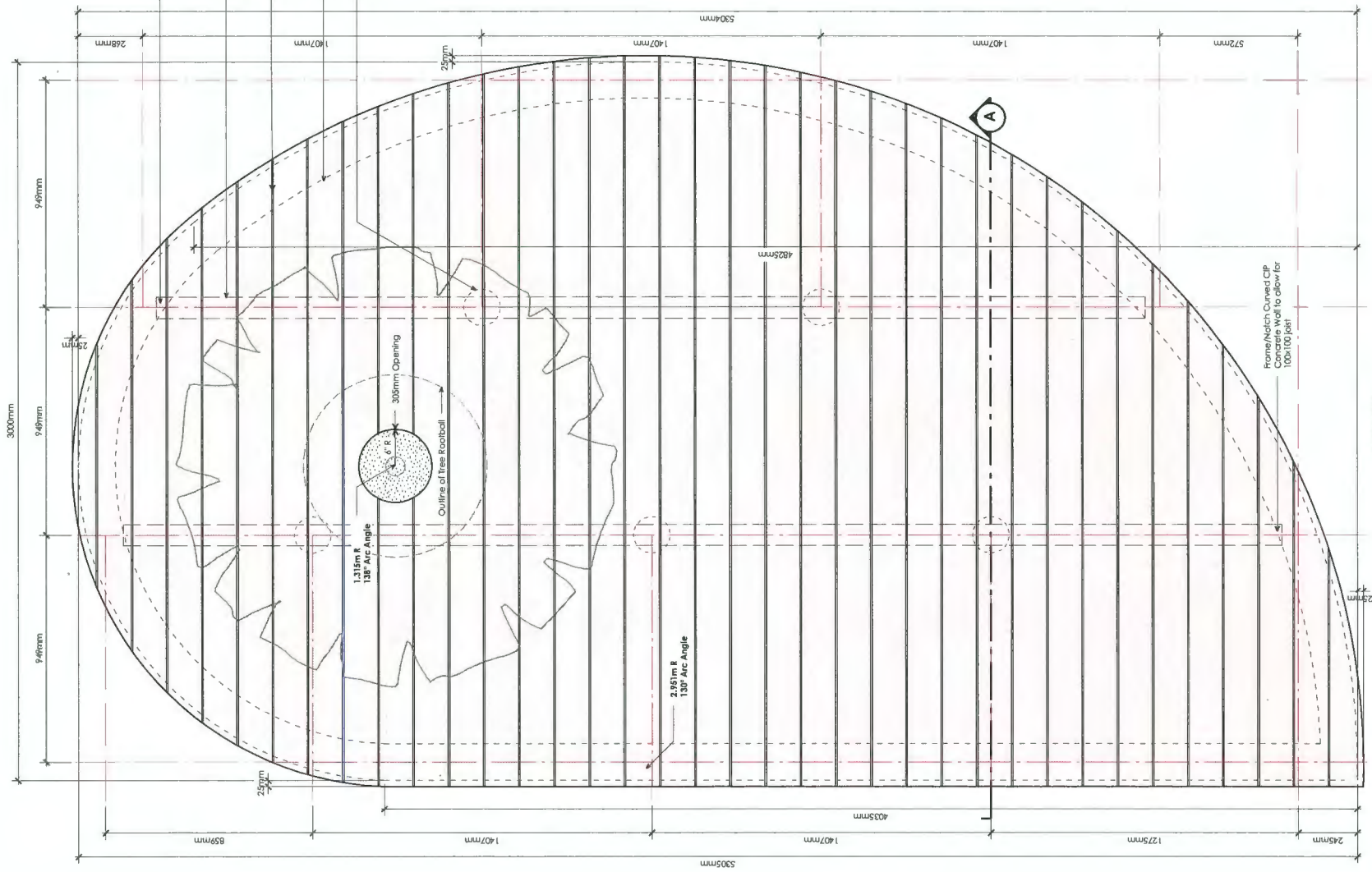
Landscape
Podium Level
Sections

DP 18-829141

City Project No.:
DP 18-829141

DKL No.:
17060

Sheet No.:
L-4.4.3



1d-01
112

WOOD NOTES: *(EXOTIC HARDWOOD: EHW)

1. END SEALING: All cut ends of BHW decking to be treated with end sealant.
2. GROUT JOINTS: Grout all joints between deckboards with grout.
3. DECK BOARD SEAMING: Seal all seams between deckboards with seam sealer.
4. FASTENERS: Use only 305 or higher grade stainless steel fasteners to fasten BHW boards. Pre-drilling is required. Pre-drill all holes with appropriately sized drill bit for your screw size.

Outline of (Nominal 4x4") 100x100mm
Pressure Treated Joists below
(long dashed line)

(Nom. 2x6") 38x89mm lpe EHW decking
Fastened to joists from underside w/ 6mm wood screw.
Cut ends to match curve of concrete

Outline of CIP Concrete Wall below
Overhang concrete 25mm typical

Outline of 150mm dia. Sonotube
Concrete Pier for joist support

9mm thick Galvalume Bracket (to follow wall, fastened & epoxy set into 150mm C/P Concrete Wall w/ 12mm Threaded Anchor Bolt assembly [300mm long] c/w nut & washer counter-sunk in 38x89mm (p) EFW decking, and covered with wood plug (Refer to structural for rebar)

50mm well-composted Mulch on
711mm Min. Type III Growing Medium on
Filtercloth on
19mm rounded drain rock on
ARCHITECTURAL ASSEMBLY

9mm 1/4". Galvanized Bracket on 100x100mm Pressure Treated Joists, fastened and epoxy set into 150mm CIP Concrete Slab/Joist Holes w/ 12mm Threaded Anchor Bolt (300mm long) C/w nut & washer countersunk in 38x97mm Ipe EHW decking, and covered with wood plug

SECTION A-A

SECTION B-B

DETAIL OF IPE WOOD CLIP INSTALL

Clips (Refer to Manufacturer
Accessories & Installation Details)

— 9mm thick. Galvanized Bracket (to follow wall), fastened & epoxy set into 150mm C/P Concrete Wall w/ 12mm Threaded Anchor Bolt assembly (300mm long) c/w nut & washer countersunk in 38x89mm Ipe EHW decking, and covered with wood plug (refer to structural for rebar)

Deciding fastened with Ipe Wood
Clips (as per manufacturers
accessories & installation details)
100x100mm Pressure Treated Joists,
w/ 9mm thick Rubber Spacer

Frame/Notch Curved CIP

Project: **LUXE**
No.3 Road, Richmond

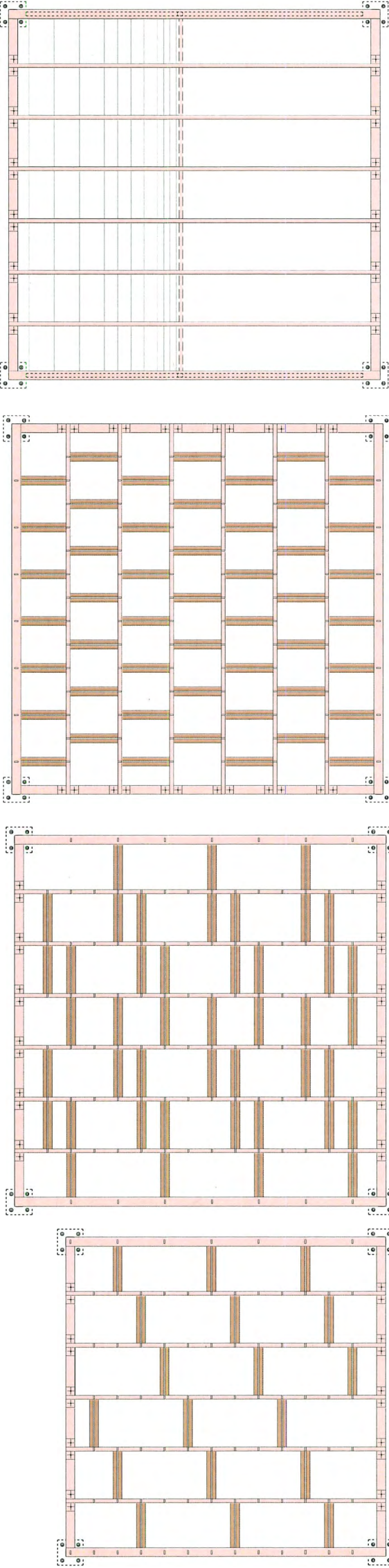
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Checked by:	PK
Date:	July 17, 2017
Scale:	1:10

Drawing Title:

Landscape
Custom Play Details
DP 18-829141

City Project No.: DP 18-829141
 DKL No.: 17060
 Sheet No.:

L-4.6.1]



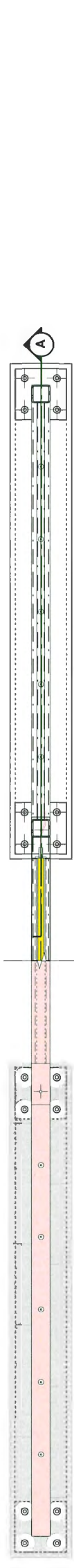
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TYPE A: CABANAS
LOCATED AT POOL DECK

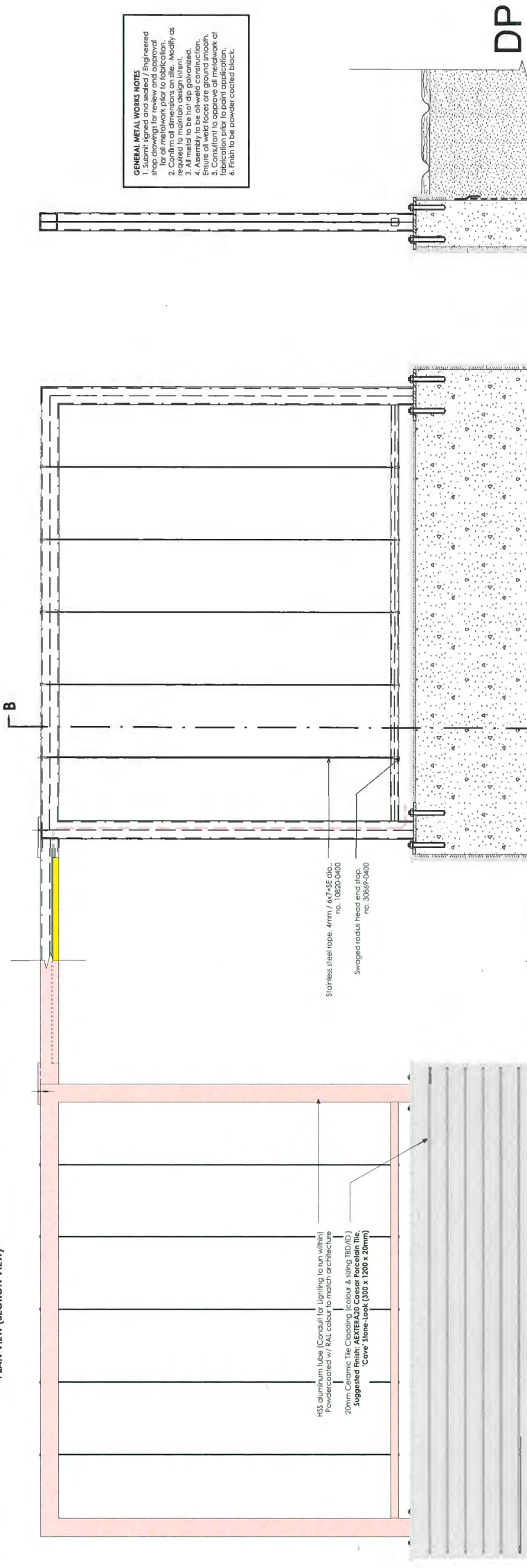
TYPE B: OPEN TRELLIS
LOCATED AT QUIET GARDEN PARENTAL SEATING

TYPE C: OPEN TRELLIS
LOCATED AT OFFICE OUTDOOR WORKSPACE

TYPE D: OPERABLE FABRIC CANOPY
LOCATED AT SOUTH-EAST OUTDOOR KITCHEN



PLAN VIEW (TOP VIEW)



SECTION A-A

SECTION B-B

TYPE E: GATEWAY TRELLIS
LOCATED AT QUIET GARDEN ENTRIES

Feature Lighting Gateway Trellis
Scale: 1:10

11 Jul 30, 2020 Re-issued for DP
10 Jun 15, 2020 Re-issued for DP
09 May 15, 2020 Re-issued for DP
08 Feb 21, 2020 Issued for Tender
07 Dec 11, 2019 Issued for BP
06 Aug 30, 2019 Issued for Tender
05 May 03, 2019 Issued for 50% Progress
04 April 02, 2019 Issued for 25% Progress
03 Jun 25, 2019 Re-issued for DP
02 Dec 15, 2018 Re-issued for DP
01 May 03, 2018 Issued for Redesigning

no.: date: item:

Revisions:

Durante Kruk Ltd.
102-1837 West 5th Avenue
Vancouver BC V6J 1N5
+ 604 684 4811
+ 604 684 0977
www.dk.bc.ca

GENERAL METAL WORKS NOTES

1. All steelwork to be galvanized.
2. Confirm all dimensions on site. Modify as required.
3. All welds to be 1/4" fillet.
4. Assembly to be oil-weld construction.
5. Ensure all welds are ground smooth.
6. Finish to be powder coated black.

Project:
LUXE
No.3 Road, Richmond

Drawn by: JBT
Checked by: PK
Date: July 17, 2017
Scale: 1:10

Drawing Title:
**Landscaping
Custom Structure &
Metalworks Details**

City Project No.:
DP 18-829141

DCL No.:
17060

Sheet No.:
L-4.6.3

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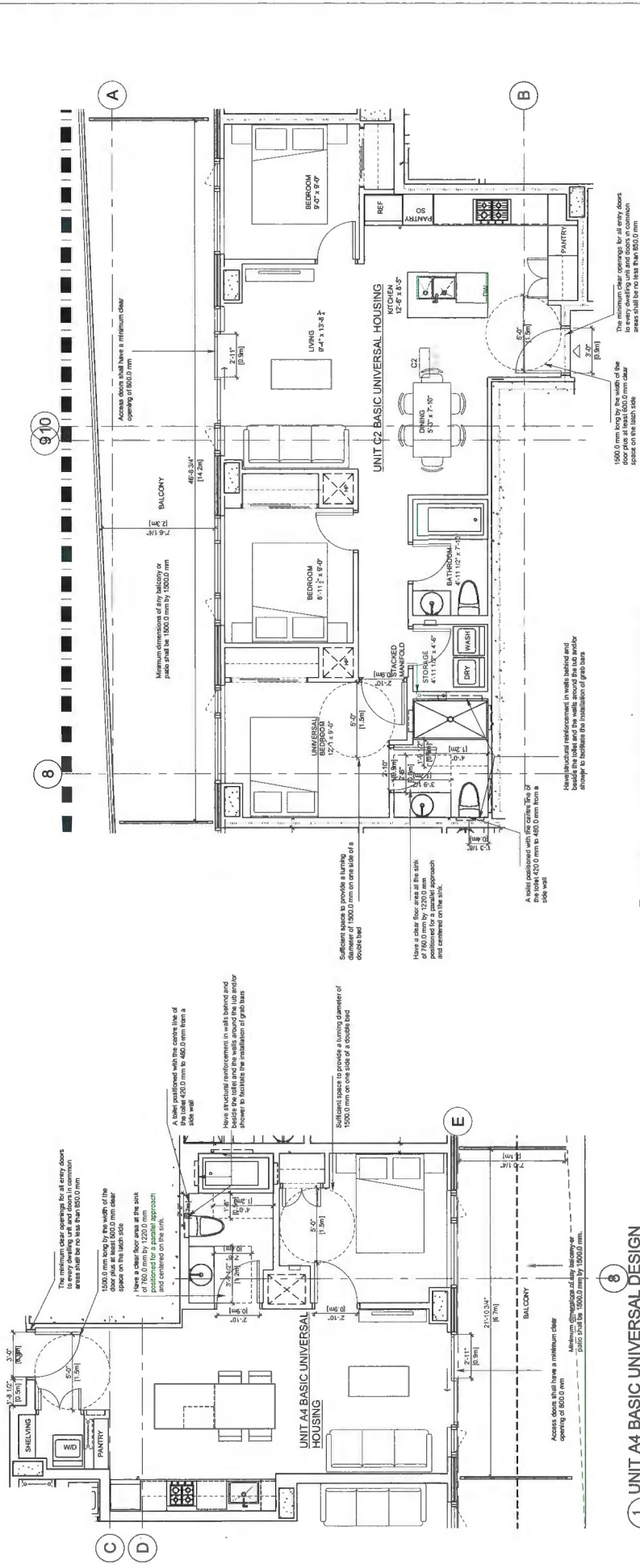
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DP 18-829141

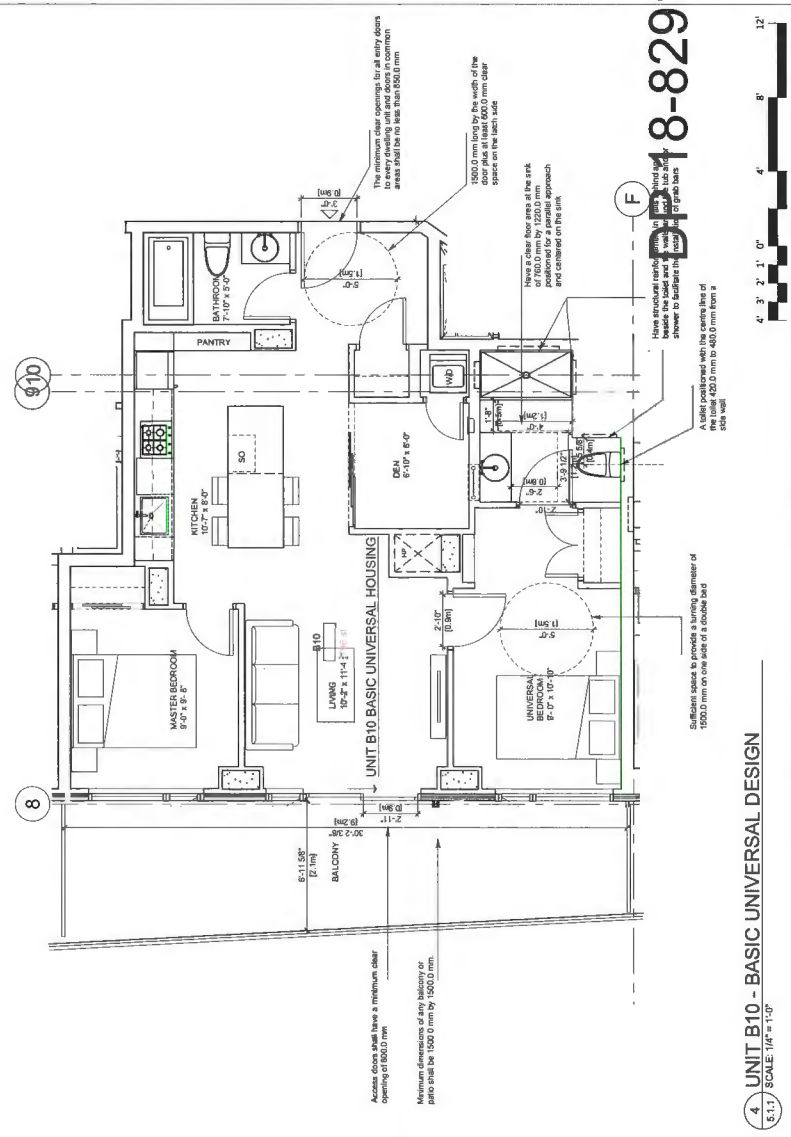
RICHMOND, BC

BUH
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PLANS
41

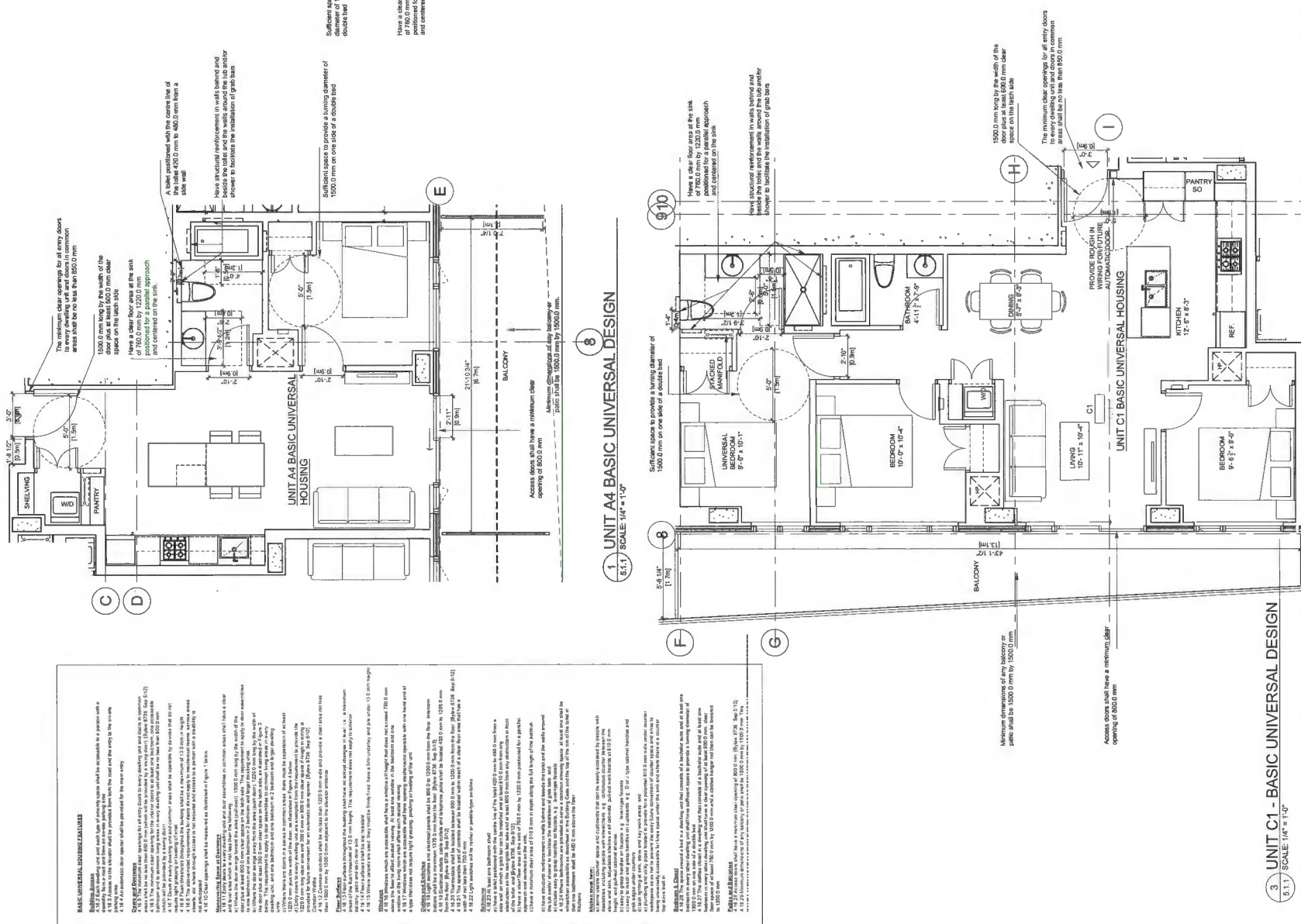
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Sheet	5.1.1



2 UNIT C2 - BASIC UNIVERSAL DESIGN
5.1.1 SCALE: 1/4" = 1'-0"



4 UNIT B10 - BASIC UNIVERSAL DESIGN



3 UNIT C1 - BASIC UNIVERSAL DESIGN



Musson
Cattell
Mackey
Partnership

Architects
Designers
Planners
Consultants
1004 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3K1
T 604.682.2990
F 604.682.1171
mcmfirm.com



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11	8 AUGUST 2020	RE-ISSUED FOR DP
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NO 3 ROAD
DP 18-829141

RICHMOND, BC
Project

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PLANS

DP 18-829141

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Project	216022
Sheet	5.1.2

BASIC UNIVERSAL DESIGN/ACCESS

Basic Universal Design/Access
The purpose of this document is to provide a minimum standard for the design and construction of new and existing buildings and facilities to ensure that they are accessible to all people, regardless of their physical, mental, or sensory abilities. This document is intended to be used as a guide for designers, architects, and builders, and is not intended to be a prescriptive code.

Design and Construction
The design and construction of buildings and facilities should be based on the principle of universal design, which is the design of products and environments that are usable by all people, to the greatest extent possible, without the need for adaptation or specialized design. Universal design is not a separate design process, but rather a design approach that should be integrated into all design and construction projects.

Minimum Standards
The minimum standards for the design and construction of buildings and facilities are as follows:
1. All buildings and facilities should be designed and constructed to be accessible to all people, regardless of their physical, mental, or sensory abilities.
2. All buildings and facilities should be designed and constructed to be usable by all people, to the greatest extent possible, without the need for adaptation or specialized design.

Accessibility
Accessibility is the ability of all people to use buildings and facilities. Accessibility is not a single issue, but rather a collection of issues that affect the ability of all people to use buildings and facilities. Accessibility issues include physical, mental, and sensory disabilities, as well as age, language, and cultural differences.

Physical Disabilities
Physical disabilities include mobility impairments, vision impairments, hearing impairments, and other physical conditions that affect the ability of a person to use buildings and facilities. Physical disabilities are the most common type of disability, and they affect a large portion of the population.

Mental Disabilities
Mental disabilities include cognitive impairments, emotional impairments, and other mental conditions that affect the ability of a person to use buildings and facilities. Mental disabilities are less common than physical disabilities, but they can be just as disabling.

Sensory Disabilities
Sensory disabilities include vision impairments, hearing impairments, and other sensory conditions that affect the ability of a person to use buildings and facilities. Sensory disabilities are less common than physical and mental disabilities, but they can be just as disabling.

Age
Age is a factor that affects the ability of all people to use buildings and facilities. As people age, they may develop physical, mental, or sensory disabilities that affect their ability to use buildings and facilities.

Language and Cultural Differences
Language and cultural differences can affect the ability of all people to use buildings and facilities. People who speak different languages or who have different cultural backgrounds may have difficulty understanding signs, instructions, or other information provided in buildings and facilities.

Design and Construction Requirements
The design and construction of buildings and facilities should meet the following requirements:
1. All buildings and facilities should be designed and constructed to be accessible to all people, regardless of their physical, mental, or sensory abilities.
2. All buildings and facilities should be designed and constructed to be usable by all people, to the greatest extent possible, without the need for adaptation or specialized design.

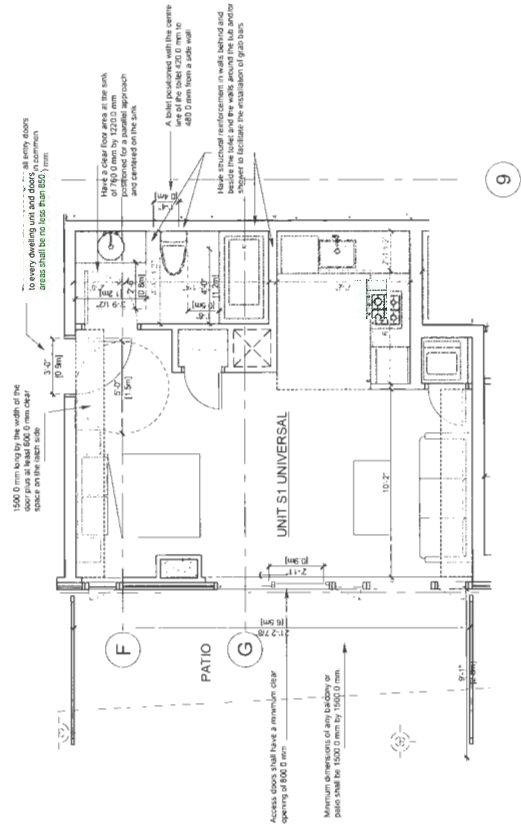
Accessibility Standards
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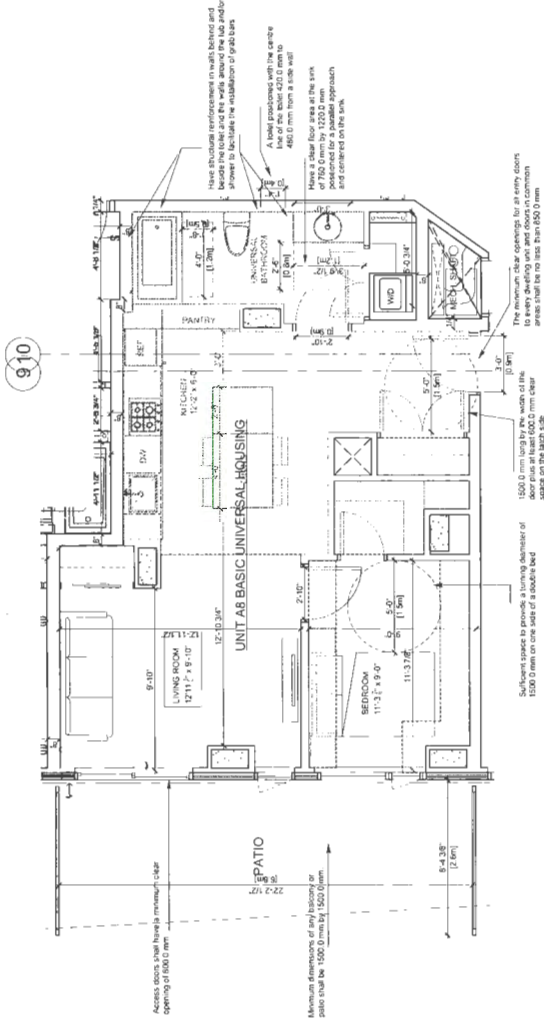
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1. UNIT S1 BASIC UNIVERSAL DESIGN
5/12 SCALE 1/4" = 1'-0"



3. UNIT A8 BASIC UNIVERSAL DESIGN
5/12 SCALE 1/4" = 1'-0"





Musson
Cattell
Mackey
Partnership

Architects Designers Planners
Orematic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3K1
T: 604.687.2990
F: 604.687.1771
MCMPartnership.com



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11	14 AUGUST 2020	RE-ISSUED FOR DP
10	30 JULY 2020	RE-ISSUED FOR DP
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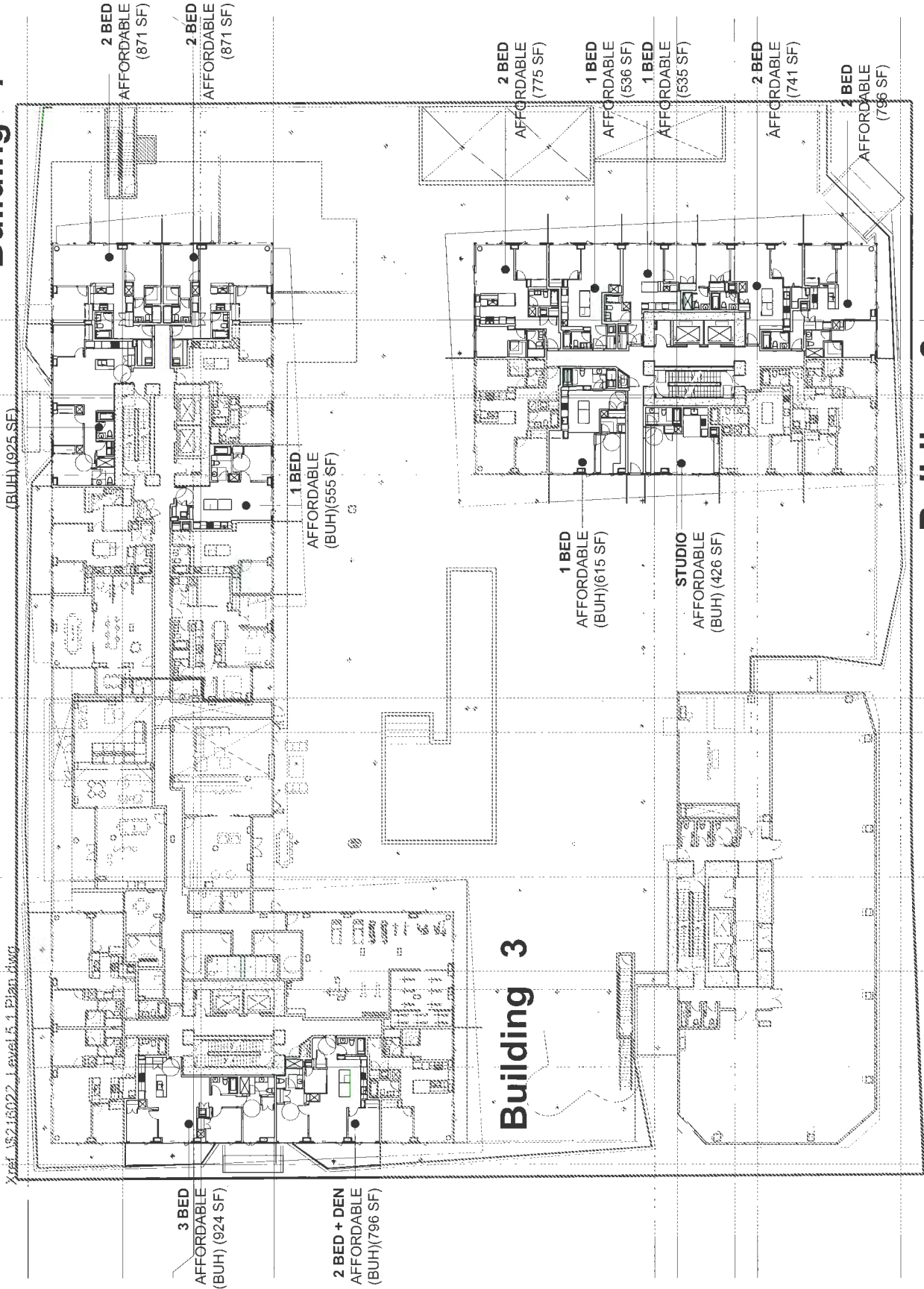
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DP 18-829141
RICHMOND, BC

Project

LEVEL 3
AFFORDABLE
KEY PLAN

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Sheet	5.2.1

Building 4



Building 2

DP 18-829141



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Cattell
Mackey
Partnership

Architects Designers Planners

Osborne Plaza
1055 West Hastings Street
Suite 3900
Vancouver, British Columbia
Canada V6E 3K1
T: 604.682.2990
F: 604.682.1771
MCMPartners.com



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2	18 JAN 2013	ISSUED TO CITY OF RICHMOND
1	13 OCT 2011	ISSUED FOR CITY REVIEW
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NO 3 ROAD

DP 18-829141

RICHMOND, BC

Project

LEVEL 4

AFFORDABLE

KEY PLAN

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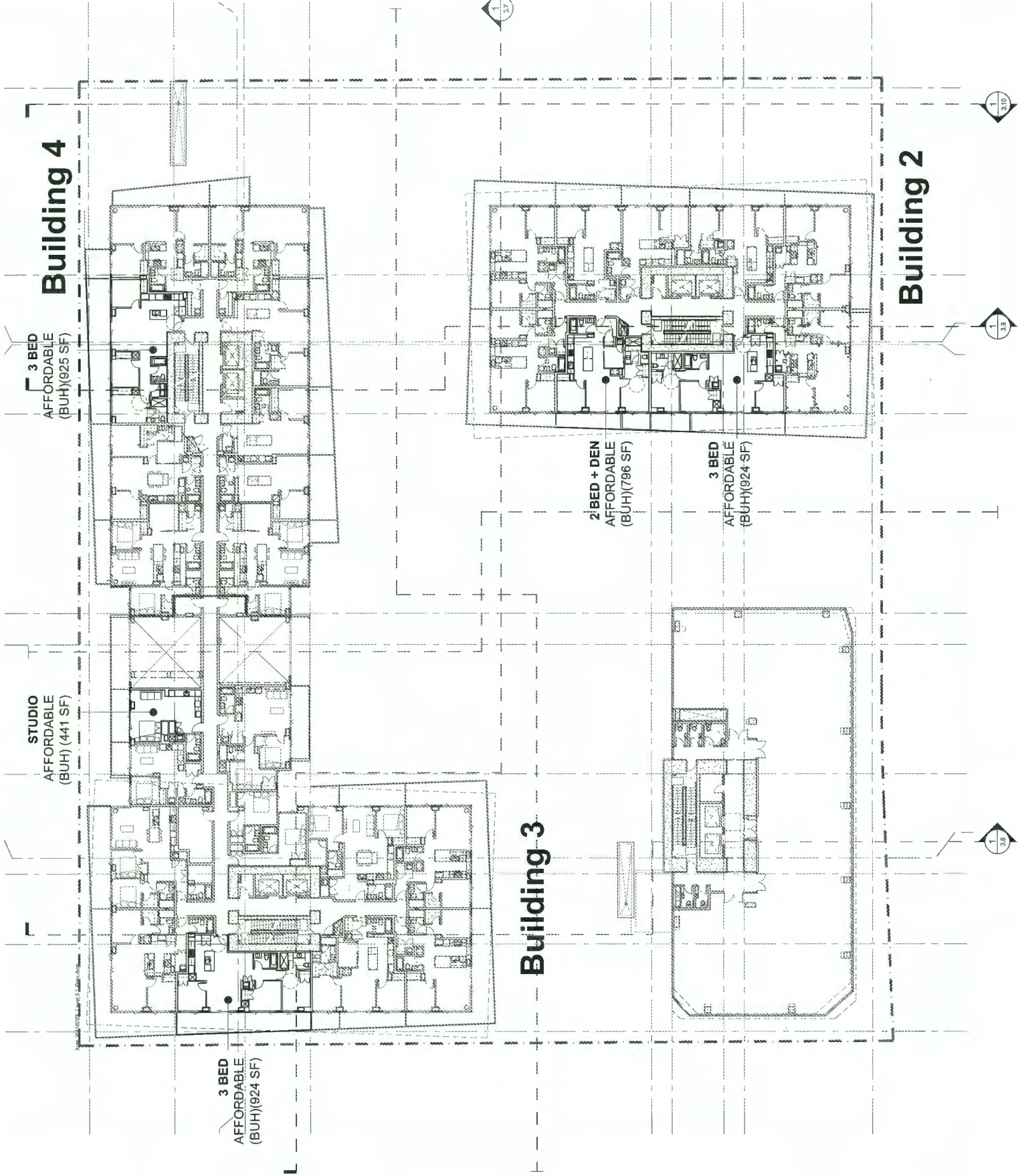
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Architects Designers Planners
Creative Place
1000 West Hastings Street
Suite 900
Vancouver, British Columbia
Canada V6E 3X1
T 604.682.2990
F 604.682.1771
MCM@architects.com



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11	24 AUGUST 2020	RE-issued for DP
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2	18 JAN 2019	RESPONSE TO ASP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		YYYY MM DD

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RICHMOND, BC

Project

LEVEL 5 PLAN
AFFORDABLE
UNIT PLANS

DP 18-829141

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Project
218022

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Building 4

Building 3

Building 2

DP 18-829141





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Cattell
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Partnership

Architects Designers Planners
Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3K1
T: 604.682.1990
F: 604.682.1771
MCMPartnership.com



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RICHMOND, BC

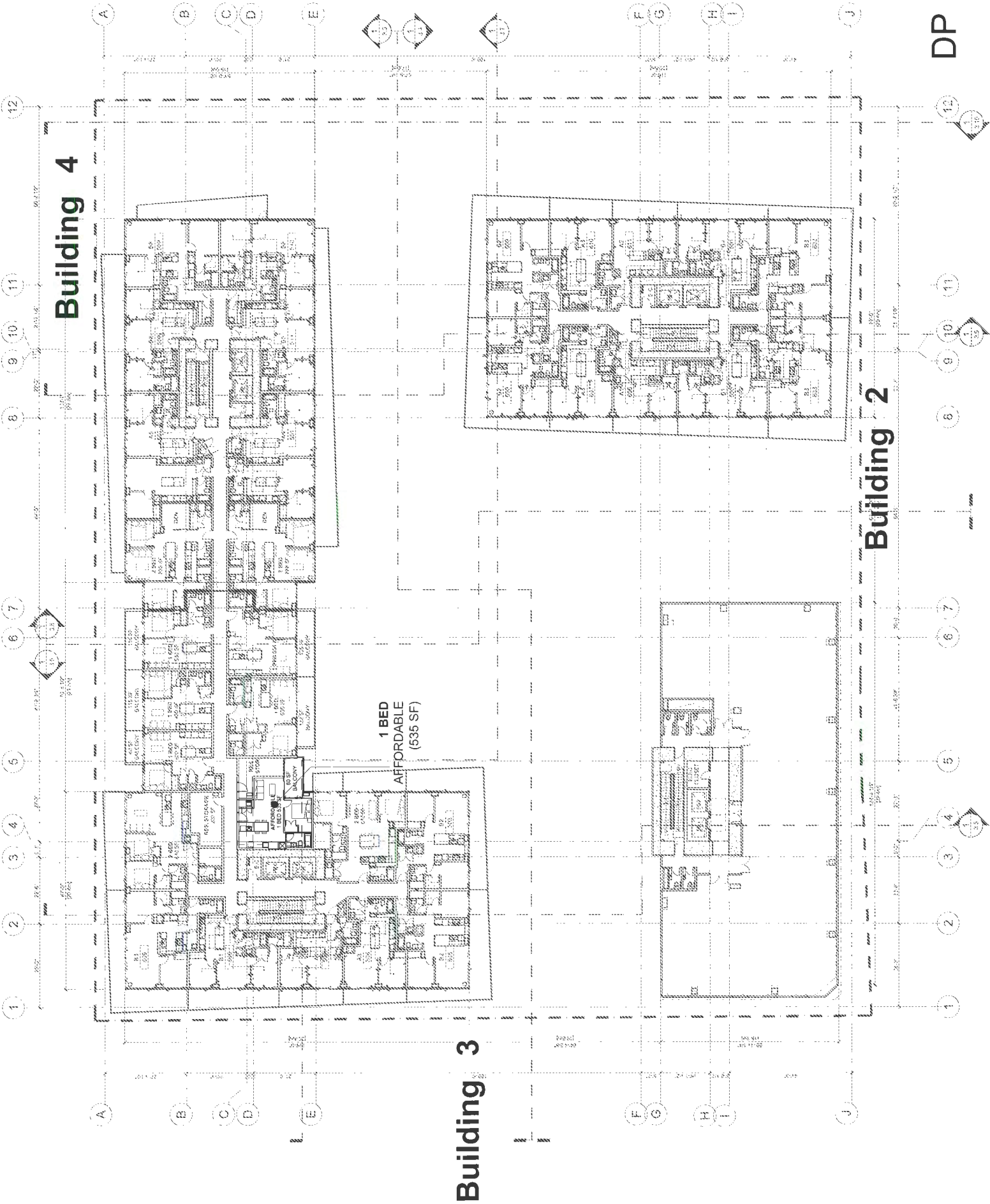
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AFFORDABLE
UNIT PLANS

DP 18-829141

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Cattell
Mackey
Partnership

Architects Designers Planners
Olympic Plaza
1645 West Hastings Street
Suite 1000
Vancouver, British Columbia
Canada V6Z 3K1
Tel: 604.683.1771
F: 604.683.1771
MCMPartners.com



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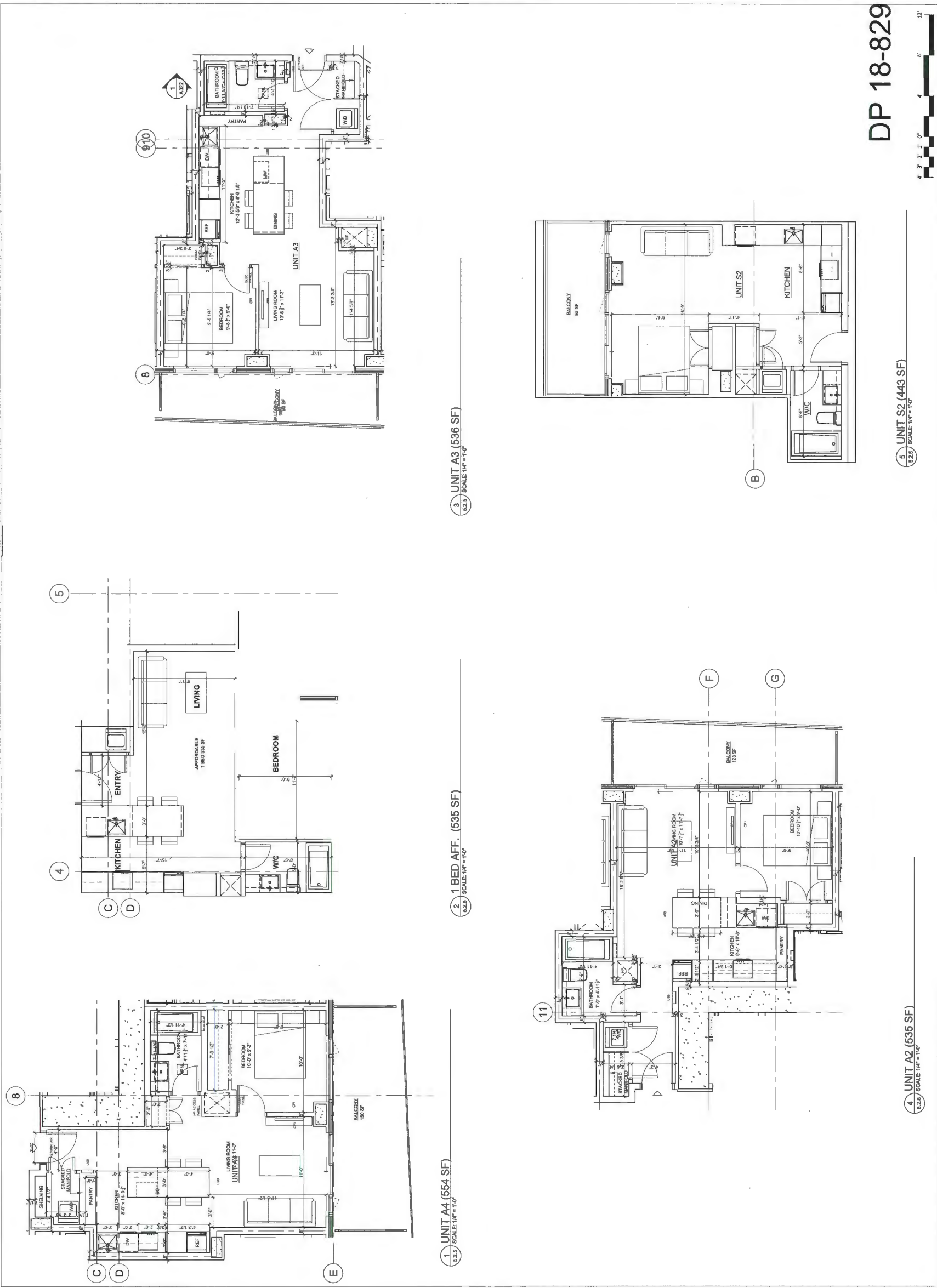
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RICHMOND, BC
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TYPICAL
AFFORDABLE
UNITS ONE BED
& STUDIO

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Project	216022
Sheet	52.5



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Creative Place
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Suite 1000
Vancouver, British Columbia
Canada V6E 3K1
604.682.1771
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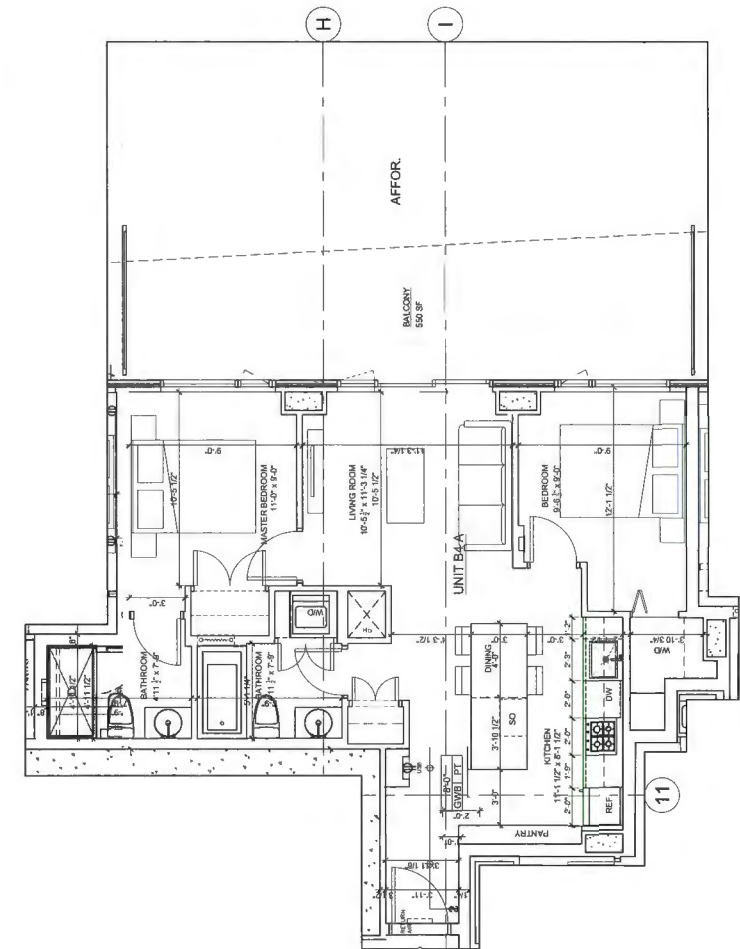
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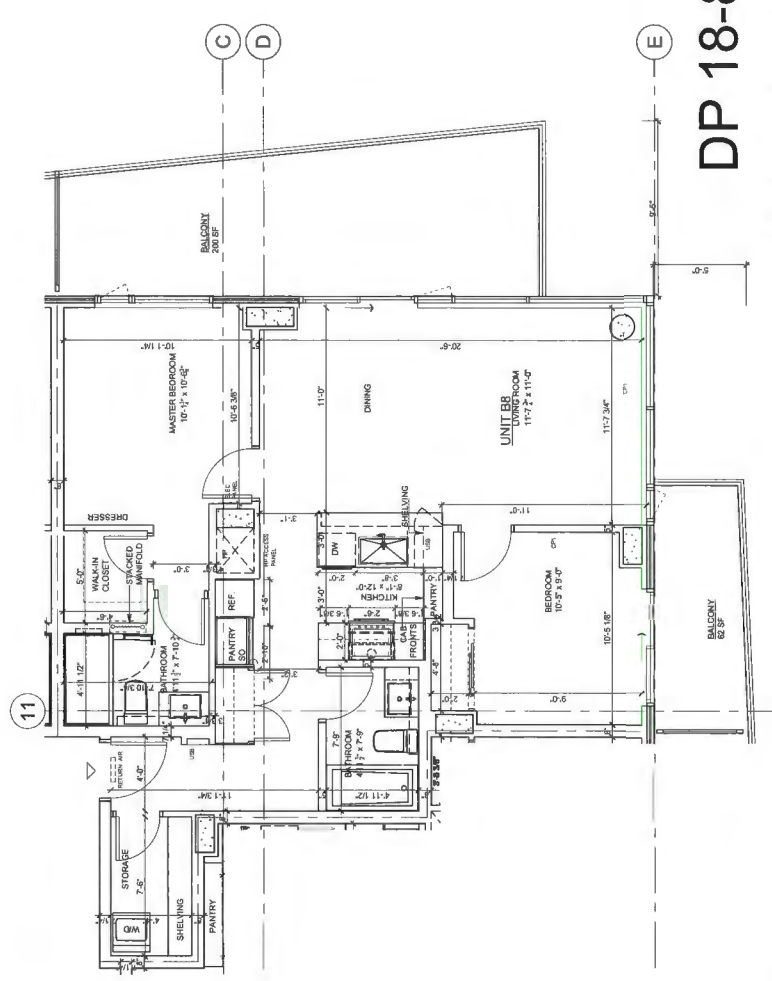
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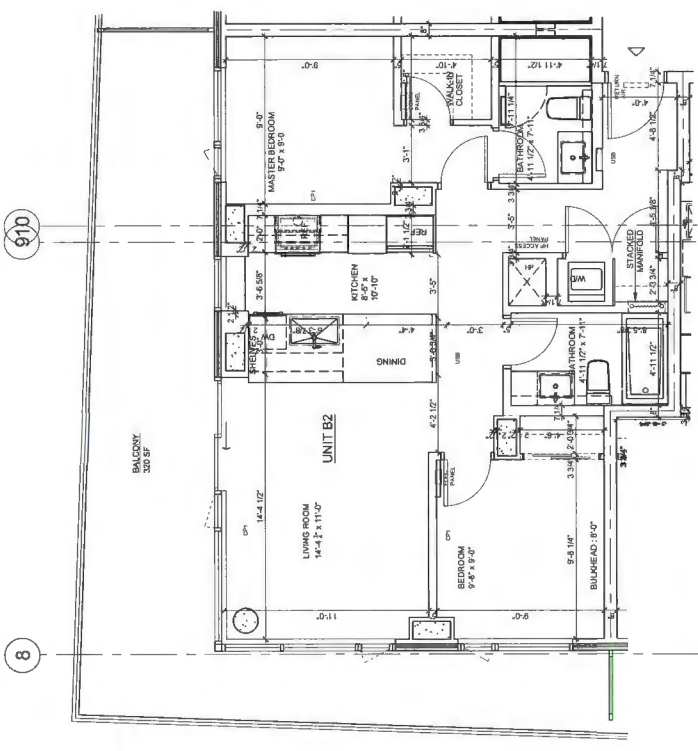
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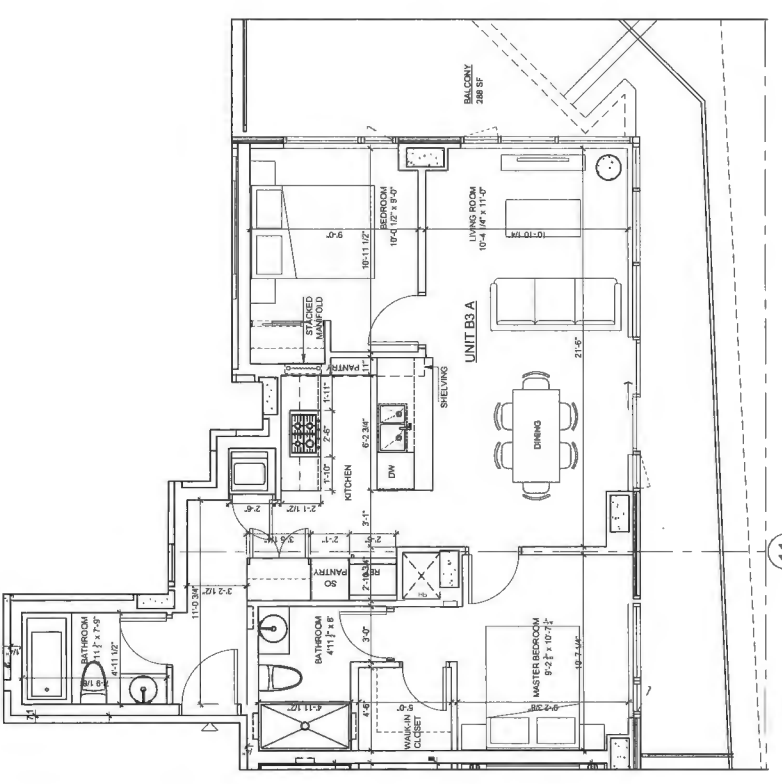
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1 UNIT B2 (775 SF)
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3 UNIT B3 A (871 SF)
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DP 18-829141



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Architects Designer Planners
Musson Cattell Mackey
10445 Main Hastings Street
Suite 1000
Vancouver, British Columbia
Canada V6E 3K1
Tel: 604.683.1771
Fax: 604.683.1771
MCMPartners.com



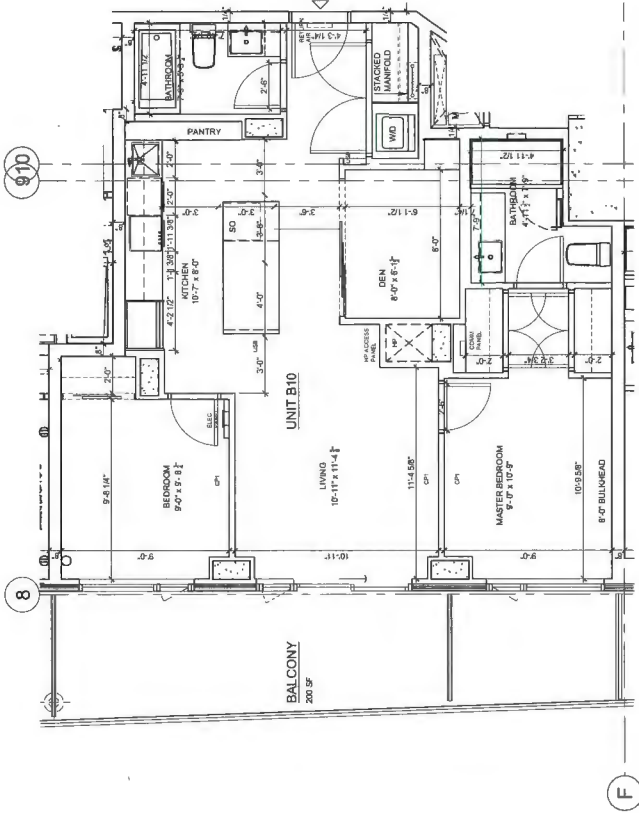
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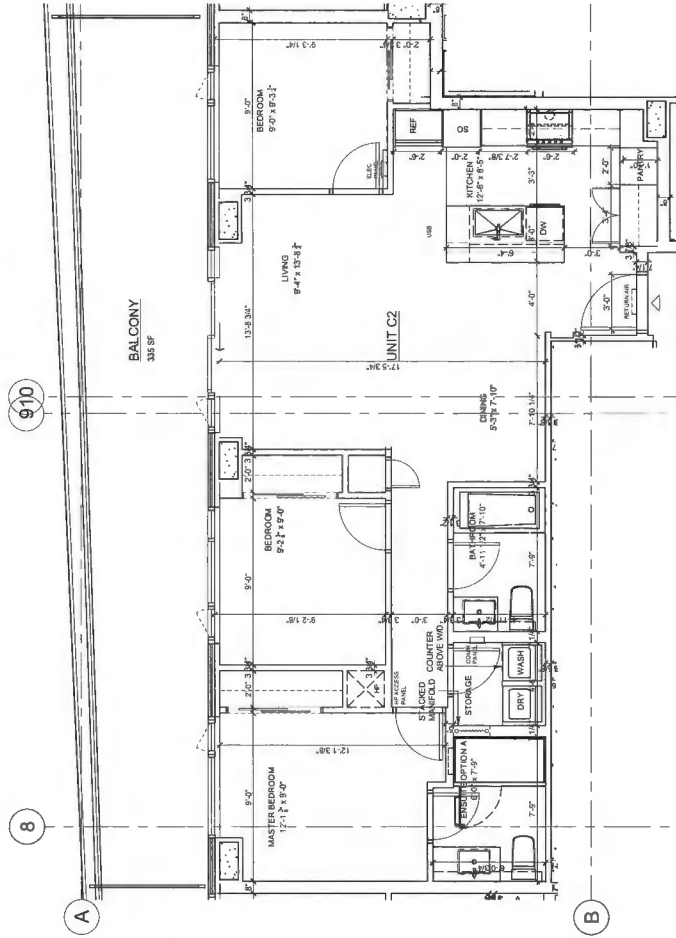
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TYPICAL
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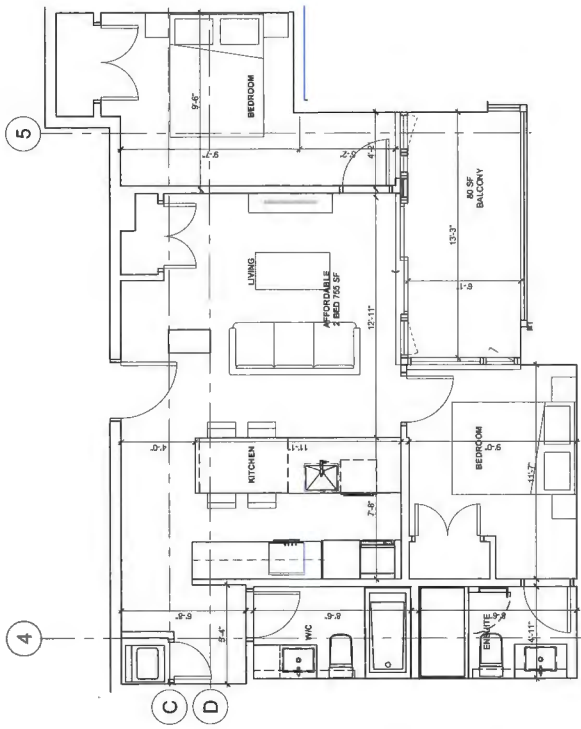
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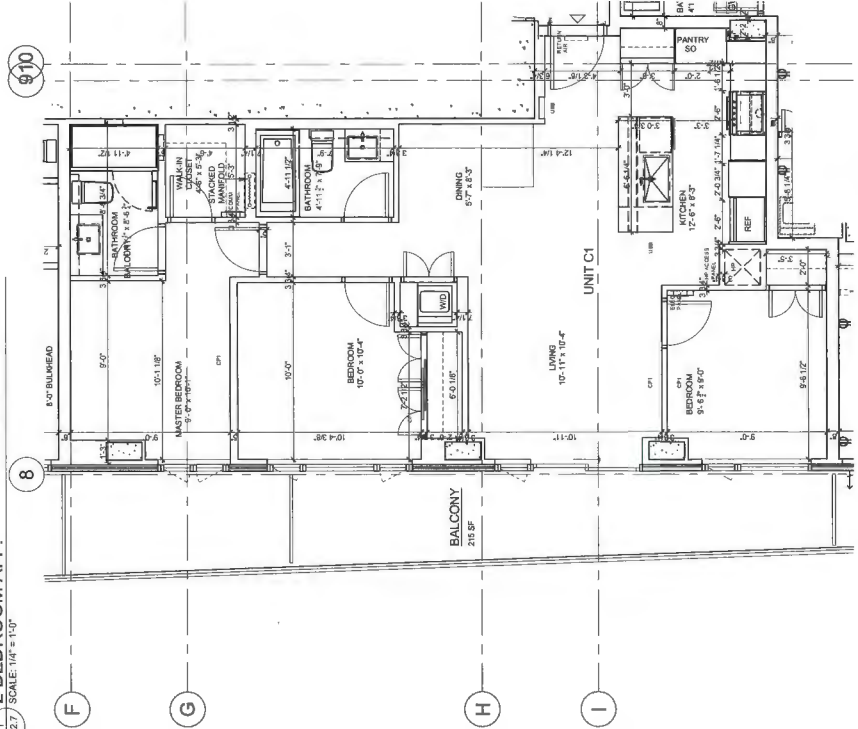
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4 UNIT C2
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3 UNIT C1
0.2.7 SCALE: 1/4" = 1'-0"

DP 18-829141





Musson
Cattell
Mackey
Partnership

Architects / Designers / Planners
Okanagan Plaza
1046 West Hastings Street
Vancouver, British Columbia
Canada V6E 3K1
T: 604.682.1990
F: 604.682.1771
mcm@architects.com

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CANDEREL



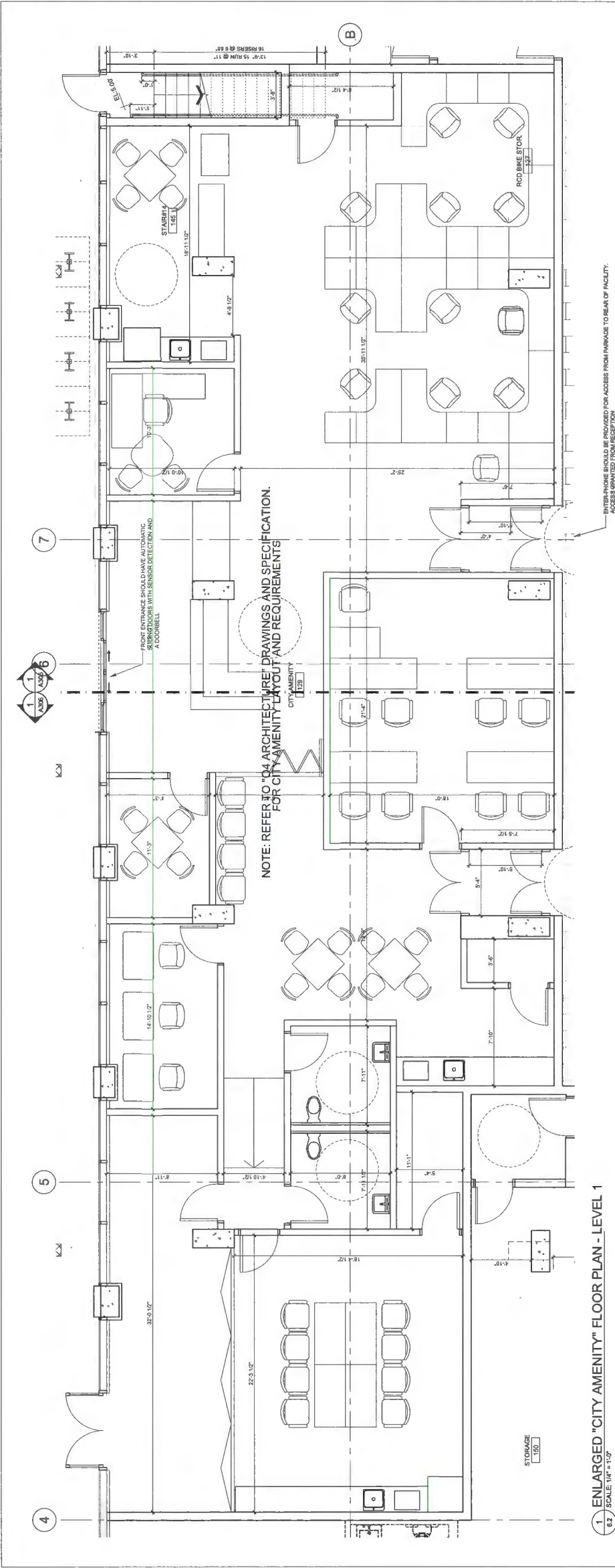
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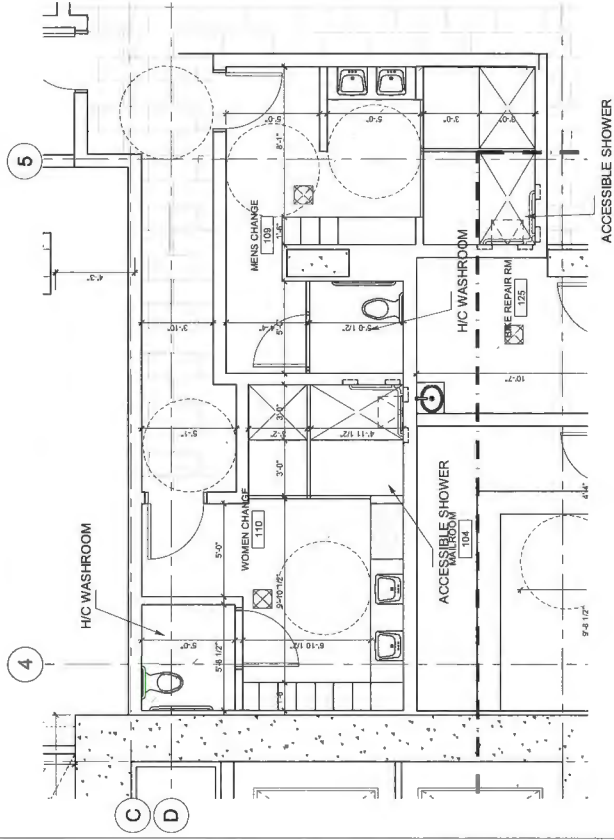
NO 3 ROAD
DP 18-829141

RICHMOND, BC
Project
END-OF-TRIP
AMENITY SPACE
PLAN

Drawing	141
Scale	1/4" = 1'-0"
Project	21.602.2
Sheet	6.2



1 ENLARGED "CITY AMENITY" FLOOR PLAN - LEVEL 1
6.2 / SCALE: 1/4" = 1'-0"



2 ENLARGED END-TRIP FACILITY FLOOR PLAN - LEVEL 1
6.3 / SCALE: 1/4" = 1'-0"





**Musson
Cattell
Mackey
Partnership**
Architects Designers Planners
Ottawa Plaza
1840 West Hastings Street
Suite 200
Vancouver, British Columbia
Canada V6S 3K1
T: 604.487.2990
F: 604.487.1771
mcp@mussoncattell.com

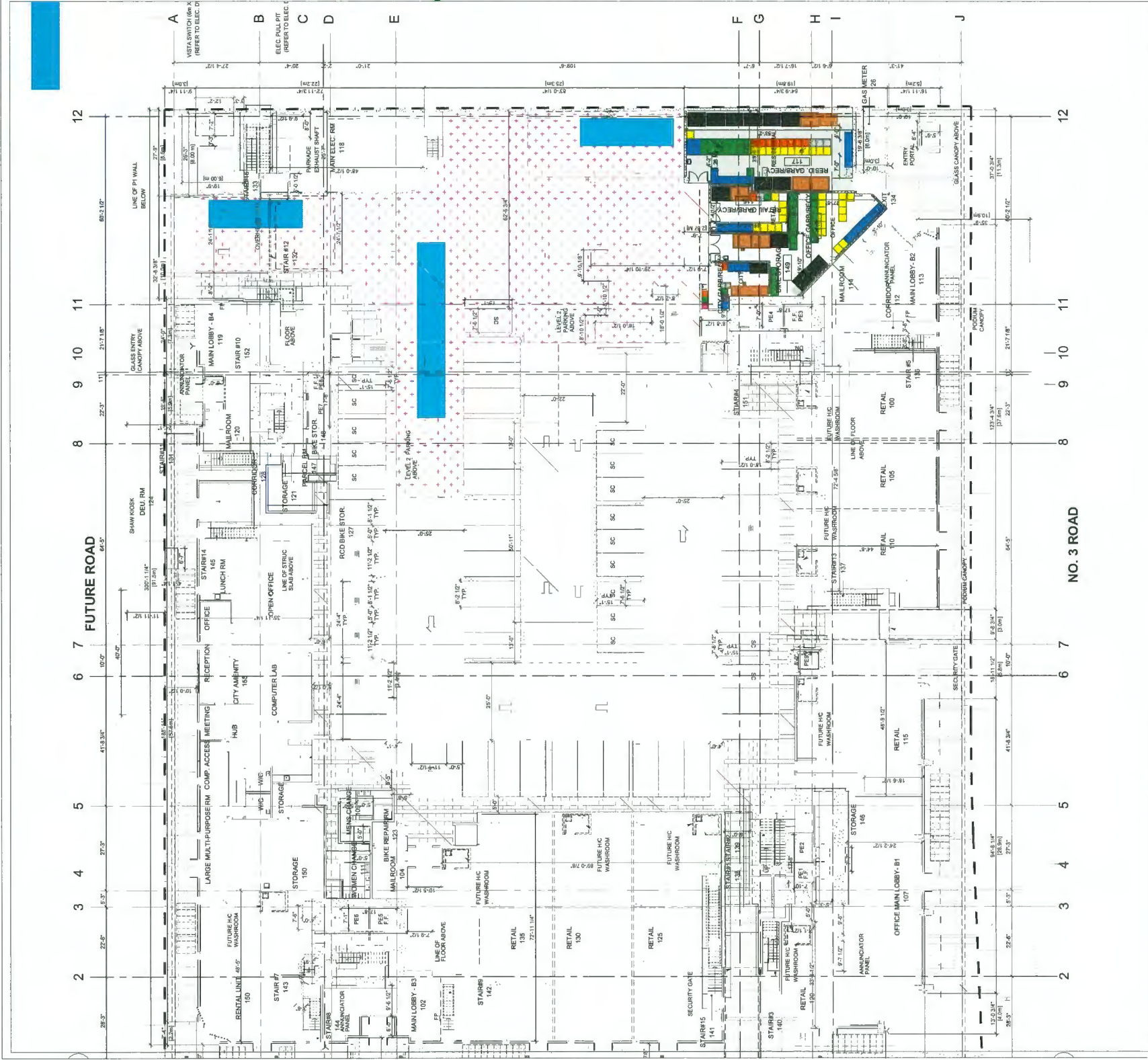


12	15 AUGUST 2020	RE-DESIGNED FOR RP
11	14 AUGUST 2020	RE-DESIGNED FOR RP
10	10 JULY 2020	RE-DESIGNED FOR RP
9	17 JULY 2020	RE-DESIGNED FOR RP
8	3 JULY 2020	RE-DESIGNED FOR RP
7	19 JUNE 2020	RE-DESIGNED FOR RP
6	10 MAY 2020	RE-DESIGNED FOR RP
5	15 OCT 2019	RE-DESIGNED FOR RP
4	16 AUGUST 2019	RE-DESIGNED FOR RP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
2	18 JAN 2019	ISSUED TO ADP COMMENTS
1	22 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		17771-MW-020

Seal
No. 3 Road
DP 18-829141

NO 3 ROAD
RICHMOND, BC
Project
**WASTE
MANAGEMENT
PLAN**
DP 18-829141
Drawn

Scale
1/2" = 1'-0"
Project
215022
Sheet
16.3



OFFICE				
Number of Bins	Size of Bin	Collection Frequency	Storage Area Required for One Container	Total Space Required
1	300's	3x per Week	1.25 m ²	3.75 m ²
1	240's	3x per Week	1.00 m ²	3.00 m ²
1	180's	3x per Week	0.75 m ²	2.25 m ²
1	120's	3x per Week	0.50 m ²	1.50 m ²
1	60's	3x per Week	0.25 m ²	0.75 m ²
1	40's	3x per Week	0.17 m ²	0.50 m ²
1	30's	3x per Week	0.12 m ²	0.38 m ²
1	20's	3x per Week	0.08 m ²	0.25 m ²
1	10's	3x per Week	0.04 m ²	0.12 m ²
1	5's	3x per Week	0.02 m ²	0.06 m ²
1	3's	3x per Week	0.01 m ²	0.03 m ²
1	2's	3x per Week	0.01 m ²	0.02 m ²
1	1's	3x per Week	0.01 m ²	0.01 m ²
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1	0's	3x per Week	0.01 m ²	



Architects Designers Planners
Oceanic Plaza
1866 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T 604.687.2990
F 604.687.1771
MCMPeritects.com



22	16 AUGUST 2020	RE-ENGAGED FOR 2020
21	14 AUGUST 2020	RE-ENGAGED FOR 2020
20	30 JULY 2020	RE-ENGAGED FOR 2020
19	17 JULY 2020	RE-ENGAGED FOR 2020
18	1 JULY 2020	RE-ENGAGED FOR 2020
17	19 JUNE 2020	RE-ENGAGED FOR 2020
16	01 MAY 2020	RE-ENGAGED FOR 2020
15	15 OCT 2019	RE-ENGAGED FOR 2019
14	16 AUGUST 2019	RE-ENGAGED FOR 2019
13	07 FEB 2019	ISSUED TO CITY OF RICHMOND
12	19 JAN 2019	RESPONDING TO ACP COMMENTS
11	22 OCT 2018	ISSUED FOR CITY REVIEW
Residents		TTTT MAY 2020

Seal
NO 3 ROAD
DP 18-829141

NO 3 ROAD
RICHMOND, BC

**BREEZEWAY
ELEVATION &
PUBLIC ART
INSTALLATION**

141
Drawn Scale 3/8" = 1'-0"

Sheet 7.1



DP 18-829



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Architects Designers Planners
Okanovic Plaza
1055 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3K1
T. 604.682.2999
F. 604.682.1771
MCMPartnership.com



12	16 AUGUST 2020	RE-ISSUED FOR DP
11	14 AUGUST 2020	RE-ISSUED FOR DP
10	30 JULY 2020	RE-ISSUED FOR DP
9	17 JULY 2020	RE-ISSUED FOR DP
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6	01 MAY 2020	RE-ISSUED FOR DP
5	27 APR 2020	RE-ISSUED FOR DP
4	16 AUGUST 2019	RE-ISSUED FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
2	18 JAN 2019	RESPONSE TO AIP COMMENTS
1	20 DEC 2018	ISSUED FOR CITY REVIEW
Revisions		TYT/AM/LO



VIEW LOOKING NORTH FROM NO.3 ROAD



VIEW LOOKING NORTH WEST FROM THE CORNER OF NO.3 RD AND LANSDOWNE



VIEW LOOKING NORTH WEST FROM THE CORNER OF NO.3 RD AND LANSDOWNE

Seal
NO. 3 ROAD
DP 18-829141

RICHMOND, BC
Project

RENDERINGS

Reference

Drawing	N.T.S.
Scale	21/8022
Project	

Sheet
R-02



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Partnership

Architects Designers Planners
Oswald Neun
1056 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3K1
T: 604.682.3990
F: 604.682.1771
MCMPartnership.com



12	25 AUGUST 2020	RE-ISSUED FOR DP
11	14 AUGUST 2020	RE-ISSUED FOR DP
10	30 JULY 2020	RE-ISSUED FOR DP
9	27 JULY 2020	RE-ISSUED FOR DP
8	3 JULY 2020	RE-ISSUED FOR DP
7	19 JUNE 2020	RE-ISSUED FOR DP
6	01 MAY 2020	RE-ISSUED FOR DP
5	25 OCT 2019	RE-ISSUED FOR DP
4	16 AUGUST 2019	RE-ISSUED FOR DP
3	07 FEB 2019	ISSUED TO CITY OF RICHMOND
2	18 JAN 2019	FOR DP COMMENTS
1	11 OCT 2018	ISSUED FOR CITY REVIEW
Revisions		WYN-MAL-00

Seal
NO. 3 ROAD
DP 18-829141

RICHMOND, BC
Project
RENDERINGS

Reference

Drawing	N.T.S.
Scale	21.6002.2
Project	
Sheet	R-03

VIEW LOOKING WEST FROM NO. 3 ROAD



VIEW LOOKING SOUTH EAST FROM FUTURE ROAD

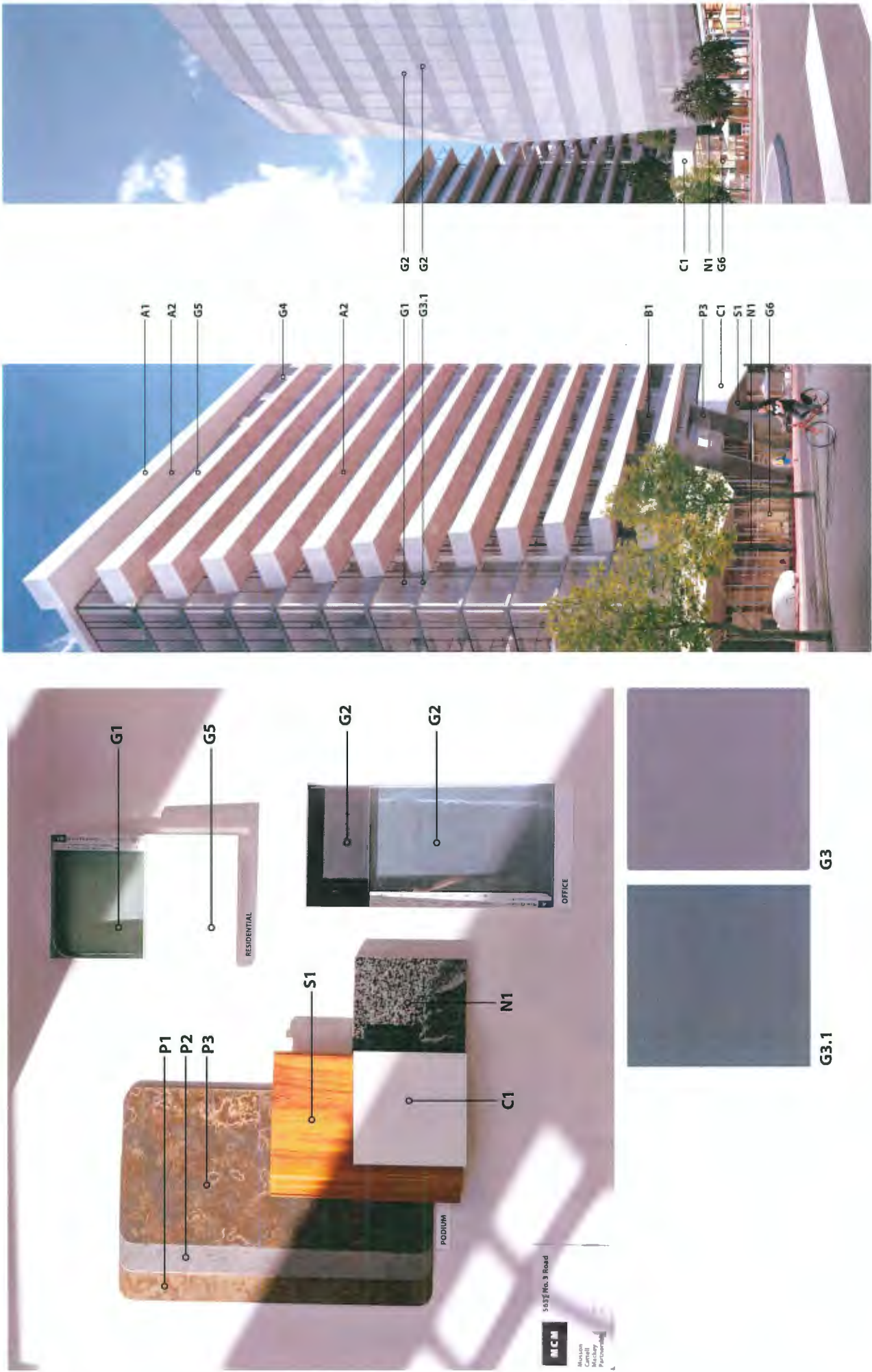




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Architects Designers Planners

Oceanic Plaza
1066 West Hastings Street
Suite 1900
Vancouver, British Columbia
Canada V6E 3X1
T. 604. 687. 2990
F. 604. 687. 1771
CMCParchitects.com



MATERIAL LEGEND

- [illegible]

1985

NO 3 ROAD
DP 18-829141

NO 3 ROAD
RICHMOND, BC
Project

MATERIAL LEGEND

Reference

Scale $1/16" = 1'-0"$

216022

Sheet
R-04



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: August 26, 2020

From: Wayne Craig
Director, Development

File: DV 20-896703

Re: Application by Dagneault Planning Consultants Ltd. for a Development Variance Permit at 2151, 2511, 2611, 2651 No. 7 Road and PID 001-928-899

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum front yard setback for agricultural buildings and structures from 7.5 m to 1.87 m;
- b) Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.58 m; and
- c) Reduce the minimum lot area from 2.0 ha to 0.34 ha at 2651 No. 7 Road in order to resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road.

This would allow the existing agricultural buildings and structures at 2151, 2511, 2611, 2651 No. 7 Road and PID 001-928-899 on a site zoned "Agriculture (AG1)" to remain and facilitate a proposed subdivision.



Wayne Craig
Director, Development
(604-247-4625)

WC:sds
Att. 6

Staff Report

Origin

Dagneault Planning Consultants Ltd., on behalf of the property owner Mayland Farms Ltd. (Director: Kim May), has applied to the City of Richmond to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum front yard setback for agricultural buildings and structures from 7.5 m to 1.87 m.
- b) Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.58 m.
- c) Reduce the minimum lot area from 2.0 ha to 0.34 ha at 2651 No. 7 Road in order to resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road.

This would allow the existing agricultural buildings and structures at 2151, 2511, 2611, 2651 No. 7 Road and PID 001-928-899 on a site zoned "Agriculture (AG1)" to remain and facilitate a proposed subdivision. The subject properties are part of an associated subdivision proposal (SD 19-872413/SD 20-891374) to accomplish the following:

- Align the property lines with the existing farm operations by adjusting the existing property lines to follow existing farm access roads and crop boundaries. An air photo map illustrating the proposal is provided in Attachment 1.
- Provide direct road access to each parcel. One of the existing lots currently does not have frontage on No. 7 Road. The proposal would provide a pan-handle to this lot for access to No. 7 Road. Providing the pan-handle would not increase the number of parcels with residential development potential as the proposed subdivision would result in a reduction of the total number of parcels, and the same number of parcels with frontage along a municipal road.
- Resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road. The south property line is proposed to be shifted slightly to the south (approximately 0.8 m), thus reducing the area of the property at 2651 No. 7 Road, also owned by the same property owner. As per the AG1 zone, the minimum lot area is 2.0 ha. In order to resolve the encroachment issue, the minimum lot area of 2651 No. 7 Road is proposed to be varied to 0.34 ha as part of this Development Variance Permit application. The current lot area of 2651 No. 7 Rd is approximately 0.35 ha.
- Transfer the parcels to the next generation of farmers (the property owner's children) as part of farm succession planning and the continuation of the farming operation. The property owner has provided a letter (Attachment 2) indicating the intent to transfer the parcels to the property owner's children.

The proposed subdivision plan is provided in Attachment 3 for reference. The subdivision proposal has been submitted under Section 10 of the ALR General Regulation, which allows the Approving Officer to approve a subdivision without the approval of the Commission, subject to a number of conditions, specifically in this case:

1. Resolves a building encroachment on a property line and creates no additional parcels. *(SD 20-891374 proposes shifting the north property line of 2651 No. 7 Road south by approximately 0.8 m to ensure the existing agricultural buildings and structures do not cross property lines).*
2. Involves not more than four parcels, each of which is a minimum of 1 ha., and results in all of the following:
 - a. No increase in the number of parcels.
 - b. Boundary adjustments that, in the opinion of the Approving Officer, will allow for the enhancement of farming on the owner's agricultural land or for the better use of structures used for farming.
 - c. No parcel in the reserve of less than one hectare.*(SD 19-872413 proposes to subdivide the four existing lots at 2151, 2511, 2611 No. 7 Road & PID 001-928-899 into three lots. The proposed subdivision would reconcile property lines with existing farm operations and reduce the overall number of parcels from four to three. The smallest resulting parcel would be 6.5 hectares in area).*

The Official Community Plan (OCP) land use designation for the subject site is “Agriculture (AGR)”, which comprises of those areas of the City where the principal use is agriculture and food production, but may include other land uses as permitted under the *Agricultural Land Commission Act* (ALCA). The City’s OCP also contains policies limiting subdivision of agricultural land into smaller parcels, except where possible benefits to agriculture can be demonstrated. The proposed subdivision would result in a reduction of the total number of parcels from four to three, and would not increase the number of parcels with residential development potential. The proposal would comply with the OCP designation and is generally consistent with OCP policy.

The site currently contains an active farming operation (cranberry production) and is classified as farm as per BC Assessment. The site also contains a number of agricultural building and structures in association with the farm operation, which do not comply with the current minimum setbacks in the “Agriculture (AG1)” zone, but are legal non-conforming structures. The purpose of the proposed Development Variance Permit application is to vary the required setbacks and resolve an encroachment issue in order to facilitate the proposed subdivision and allow these agricultural buildings and structures to remain in their current location.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 4) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Across a City-owned Road Right-of-Way, a railroad and lots zoned “Light Industrial (IL)”.

To the East: Across No. 7 Road, single-family dwellings and agricultural operations on lots zoned “Agriculture (AG1)”, fronting No. 7 Road.

To the South: Single-family dwellings and agricultural operations associated with the subject farming operation on lots zoned “Agriculture (AG1)”.

To the West: Across a City-owned Road Right-of-Way, properties zoned “Light Industrial (IL)” and “Agriculture (AG1)”.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Variance Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Agriculture (AG1)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum front yard setback for agricultural buildings and structures from 7.5 m to 1.87 m.
 - b) Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.58 m.
 - c) Reduce the minimum lot area from 2.0 ha to 0.34 ha at 2651 No. 7 Road in order to resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road.
- ***The subject Development Variance Permit application has been submitted in association with a proposed subdivision (SD 19-872413/SD 20-891374). The purpose of the proposed subdivision is to align the property lines with the existing farm operations and provide direct road access (from No. 7 Road) to each parcel, resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road, and ultimately transfer the parcels to the next generation of farmers as part of the property owner’s farm succession planning.***
 - ***In order to facilitate the proposed subdivision, a Development Variance Permit is required to allow the existing agricultural building and structures, which support the existing farm operation, to remain in their current location. The existing agricultural buildings are used as storage for farming equipment and a farm office in support of the existing farm operation.***
 - ***Building Approvals staff conducted inspections of the existing agricultural building and structures and have no concerns. The existing agricultural building and structures are considered legal non-conforming.***
 - ***The properties are currently farmed for cranberry production and have farm status as per BC Assessment. The applicant has indicated the parcel is part of a large holding that includes 32 parcels (including the surrounding parcels). All parcels are currently part of an intensive farming operation associated with cranberry production. This is not proposed to change, but will allow the continuation of the farming operation by the next generation of farmers.***

- *The applicant has also submitted an Agrologist Report in support of the application (Attachment 5).*
- *The Food Security and Agricultural Advisory Committee (FSAAC) reviewed and supported the subject Development Variance Permit application and proposed subdivision at its meeting held on June 18, 2020. An excerpt from the June 18, 2020 FSAAC meeting minutes is provided in Attachment 6.*
- *The building setback variances would only apply to the existing buildings and structures.*

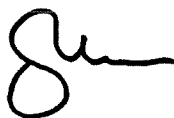
Conclusions

Dagneault Planning Consultants Ltd., on behalf of Mayland Farms Ltd., has applied to the City of Richmond to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum front yard setback for agricultural buildings and structures from 7.5 m to 1.87 m.
- b) Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.58 m.
- c) Reduce the minimum lot area from 2.0 ha to 0.34 ha at 2651 No. 7 Road in order to resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road.

This would allow the existing agricultural buildings and structures at 2151, 2511, 2611, 2651 No. 7 Road and PID 001-928-899 on a site zoned "Agriculture (AG1)" to remain and facilitate a proposed subdivision in order to transfer the parcels to the next generation of farmers as part of the property owner's farm succession planning.

As the proposed development would meet applicable policies in the Official Community Plan (OCP), staff recommend that the Development Variance Permit be endorsed, and issuance by Council be recommended.



Steven De Sousa
Planner 1
(604-204-8529)

SDS:blg

Attachments:

- Attachment 1: Aerial Photo
- Attachment 2: Letter from the Property Owner regarding Transfer of Parcels
- Attachment 3: Proposed Subdivision Plan
- Attachment 4: Development Application Data Sheet
- Attachment 5: Agrologist Report
- Attachment 6: Excerpt from the June 18, 2020 FSAAC Meeting Minutes



DV 20-896703

Print Date: 2/25/2016 14:05

Notes:
This information shown on this map is derived from various sources and is not guaranteed to be accurate. The user assumes all responsibility for the use of this information. The user acknowledges that the use of this information is for informational purposes only and is not intended to be used for any other purpose. No warranty is made by the City of Richmond for the use of this information. No liability is accepted by the City of Richmond for the use of this information.



August 25, 2020

City of Richmond
Urban Development Division
6911 No. 3 Road
Richmond, British Columbia
V6Y 2C1

Dear Sirs:

RE: PROPOSED SUBDIVISION: 2151, 2511 & 2611 No. 7 ROAD,

The purpose of this subdivision is to realign several existing lots as part of a succession plan whereby we will divest ourselves of these lands to our children so they can continue to actively farm them.

At this point in our succession planning it is our intent to dispose of the property in the following manner:

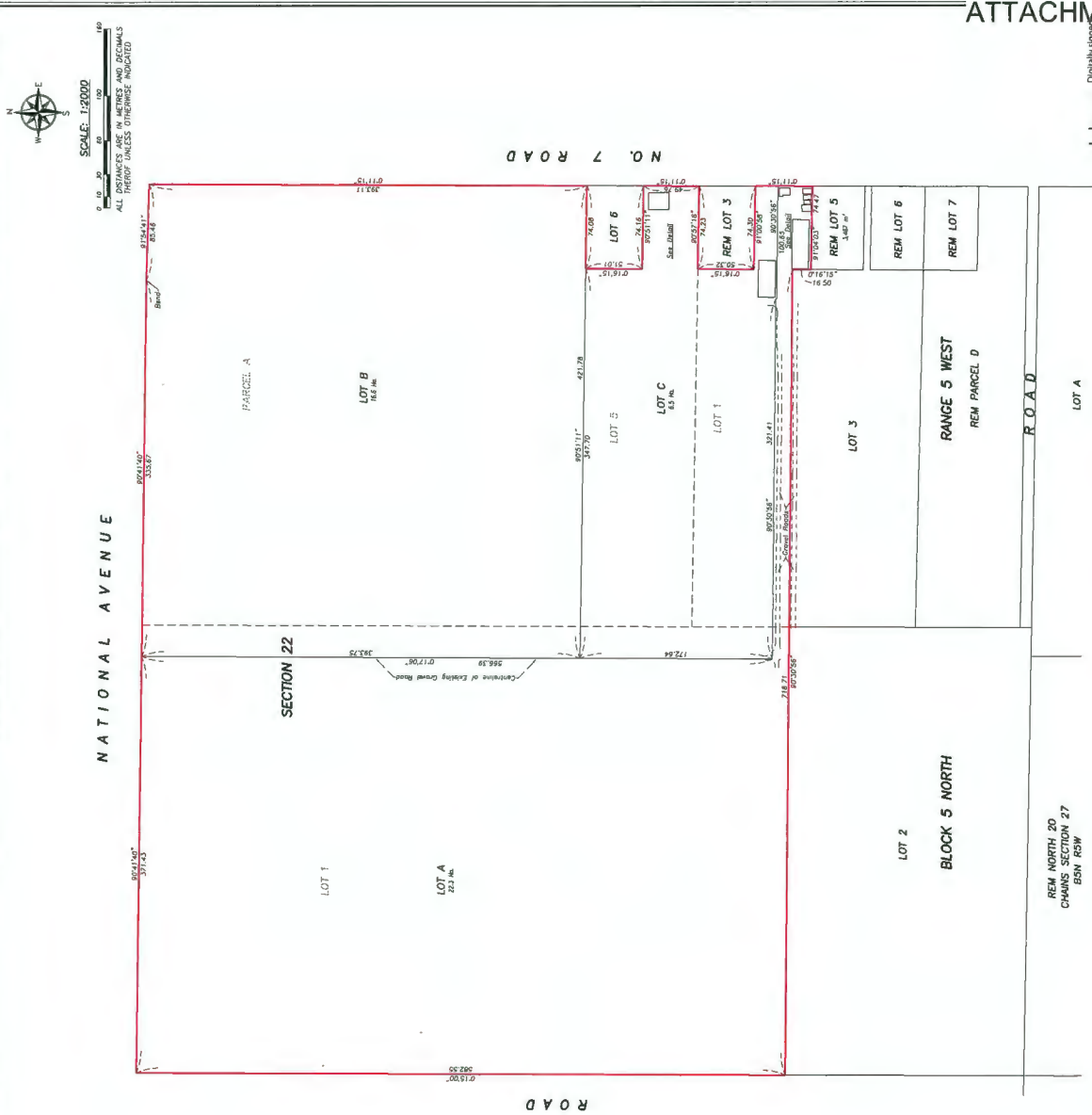
Lot A to: Garrett May
Lot B to: Tyler May
Lot C to: Tyler May

We trust this provides you with the information you require.

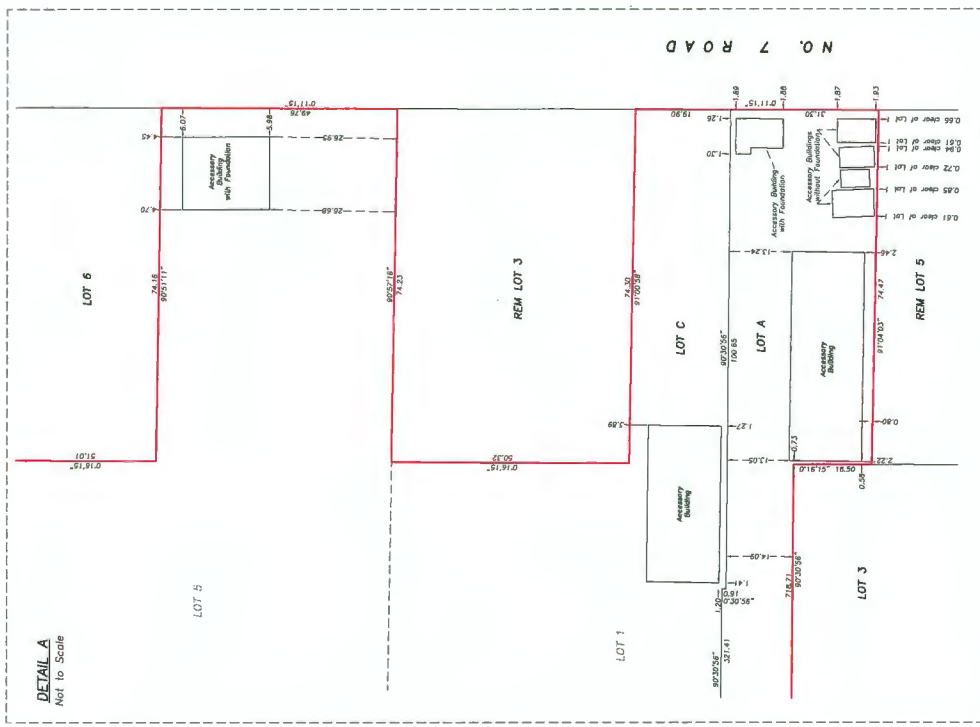
Respectfully submitted,

Mayland Farms
David & Kim May
2611 No. 7 Road
Richmond, BC
V6V 1R3

Johnso
n Tam
U814B9
162155-0700
20th DAY OF AUGUST, 20



PROPOSED SUBDIVISION PLAN OF:
 1) PARCEL A REFERENCE PLAN 88761
 2) LOTS 1 AND 5 PLAN 69622
 3) PROPOSED LOT 1 PLAN EPP-1111
ALL OF SECTION 22 BLOCK 5 NORTH RANGE 5 WEST NEW WESTMINSTER DISTRICT



J. C. Tam and Associates
 Registered Professional Surveyor
 115 - 8813 Oak Creek
 Richmond, B.C. V6X 3Z7
 Telephone (604) 214-8928
 Fax (604) 214-8929
 E-mail: office@jctam.com
 Website: www.jctam.com
 Drawn By: WJ/MT

DWG No. 7377-PropSub-08
 115 - 8813 Oak Creek
 Richmond, B.C. V6X 3Z7
 Telephone (604) 214-8928
 Fax (604) 214-8929
 E-mail: office@jctam.com
 Website: www.jctam.com
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DV 20-896703

Attachment 4

Address: 2151, 2511, 2611, 2651 No. 7 Road & PID 001-928-899

Applicant: Dagneault Planning Consultants Ltd. Owner: Mayland Farms Ltd.
(Director: Kim May)

Planning Area(s): East Richmond

	Existing	Proposed
Site Area:	2151 No. 7 Road: 15.48 ha 2511 No. 7 Road: 3.58 ha 2611 No. 7 Road: 3.11 ha PID 001-928-899: 23.22 ha 2651 No. 7 Road: 0.35 ha	Lot A: 22.3 ha Lot B: 16.6 ha Lot C: 6.5 ha 2651 No. 7 Road: 0.34 ha
Land Uses:	Agriculture	No change
OCP Designation:	Agriculture (AGR)	No change
Zoning:	Agriculture (AG1)	No change

Agricultural Buildings and Structures	Bylaw Requirement	Proposed	Variance
Lot Coverage:	Max. 35%	Complies	None
Setback – Front Yard:	Min. 7.5 m	1.87 m	Variance requested
Setback – Side Yard:	Min. 4.5 m	0.58 m	Variance requested
Lot Area	Min. 2.0 ha	Lot A: 22.3 ha Lot B: 16.6 ha Lot C: 6.5 ha 2651 No. 7 Road: 0.34 ha	Variance requested
Height:	Max. 35.0 m	Complies	None



R.G. (Bob) Holtby, MSc, PAg. Principal

An Opinion on an Application to Realign Lot Line Boundaries

Client: Mayland Farms Ltd.

Date: May 30, 2019

2533 Copper Ridge Drive, West Kelowna, BC, V4T 2X6,
Phone: 250-707-4664, Cell: 250-804-1798, email: bholtby@shaw.ca

1.0 The Proposal

David May, through his company, Mayland Farms Ltd. (Inc. No. 278084) wishes to realign parcel boundaries to rationalize their location and to allow for a succession plan for his children.

The lots involved are:

1. Lot 1 Section 22 Block 5 North Range 5 West New Westminster District Plan 69622; PID 001-928-899 containing 57.4 acres or 23.23 hectares.
2. Parcel A Section 22 Block 5 North Range 5 West New Westminster District Reference Plan 86761; PID 016-476-611 containing 38.29 acres or 15.49 hectares.
3. Lot 5 Section 22 Block 5 North Range 5 West New Westminster District Plan 69622; PID 001-928-953 containing 8.86 acres or 3.58 hectares.
4. Lot 4 Section 22 Block 5 North Range 5 West New Westminster District Plan 69622; PID 001-928-945 containing 7.7 acres or 3.12 hectares.

The lots are shown in Figure 1:

Figure 1: Satellite View of Subject Parcels



The proposed new lot lines are shown in Figure 2. The revisions are:

1. To nudge the western boundary of Lots 2, 3, and 4 to conform to the road currently in the eastern edge of Lot 1.
2. Move the boundary between Lots 3 and 4 to create a panhandle on the new lot to allow access from the No 7 Road to Lot 1. The move of the lot line eliminates one lot.

Figure 2: Proposed New Lot Lines



Note: the lot lines through the shop area will be defined in the survey.

The new lot sizes are:

Lot #	Acres	Hectares
1	57.8	23.4
2	42.2	17.1
3	16.9	6.8

Given the nature of the application, it is made under Section 10 (1)(c) of the *Agricultural Land Reserve General Regulation*.

2.0 Qualifications

I am a licensed Agrologist and have been a full member of the B.C. Institute of Agrologists since 1971 (except 2001-2002). I am a graduate from the University of British Columbia with a Bachelor of Science degree in 1967, specializing in Agriculture Economics, and a Master of Science degree in 1972, specializing in Farm Management. My thesis for my Master's degree was entitled *Resource Allocation for the Median Peace River Farm in British Columbia*

I have been involved in the work of the Agricultural Land Commission since 1974 when the reserve boundaries were proclaimed. At that time, I was District Agriculturist for the British Columbia Ministry of Agriculture in Prince George. In October 1978 I entered private practice and have provided professional opinions for clients who have sought amendments to the Agricultural Land Reserve boundaries, subdivision within the ALR, or who have needed assistance in compliance with requests from the Commission.

I have also written and spoken of the need to address the unintended consequences of the provincial land use policy.

All agricultural assessments, whether they are for feasibility or management purposes, start with the soils. Past that point one needs an understanding of plant science, animal science and farm management to properly assess the farming potential of any site. I have demonstrated that understanding throughout my career.

During my years in both public and private practice, Courts and Review Boards have accepted me as an expert regarding farming practices in British Columbia. Consequently, I feel qualified to provide an assessment of a proposal under the *Agricultural Land Commission Act*. My qualifications and experience allow me to comment on the value of agricultural land and the practices of farming on that land.

Consequently, I believe I am qualified to comment on the two main purposes of the Agricultural Land Commission. That is: to preserve agricultural land, and to encourage farming on agricultural land in collaboration with other communities of interest.

I have been a member of the Environmental Appeal Board and the Forest Appeals Commission. Following these appointments, I have received training in Administrative Law and the Rules of Natural Justice.

Since the inception of the Application Portal, I have been identified in the application as the “Agent.” The reader should note that I do not act as an agent in the normal use of the term. That is, I have no fiduciary responsibility to the applicant.

Section 3 of the Code of Ethics of the BC Institute of Agrologists includes the paragraph:

- ensure that they provide an objective expert opinion and not an opinion that advocates for their client or employer or a particular partisan position.

Given the complexity of the Portal, it is more expeditious for me to enter the data and forward correspondence than to expect the applicants to learn the procedure for what may be a one time process.

I have requested that the Commission use the term “Consultant” rather than “Agent” as it describes the work performed. Given the refusal to amend the title, I am content in the understanding that I am acting in concert with the requirements of my profession whatever term is used.

3.0 Agricultural Capability of the Subject Parcels

The subject parcels are currently in cranberry production and are expected to continue being farmed by the next generation. Photograph 1 shows the fields from the southern boundary of the new lots 1 and 3.



Photograph 1: New Lot 1

4.0 Local Government Concerns

All existing parcels are zoned AG1. The proposed boundary realignments do not challenge that zoning.

Section 14.1.8 of zoning bylaw 8672 reads:

14.1.8 Subdivision Provisions/Minimum Lot Size

1. Subdivision of land in the Agricultural Land Reserve shall not be permitted unless approved by the Provincial Agricultural Land Commission. Where the approval of the Provincial Agricultural Land Commission is not required, the minimum lot area shall be 2.0 ha.

As is shown in Section 1, all three new lots will comply with the 2.0 hectare minimum.
Section 10 of the Agricultural Land Reserve General Regulation

Section 10 (1)(c) of the Regulations reads:

- 10 (1) Despite section 18 (5) of the Act, an approving officer or other person referred to in that provision may approve a subdivision described in that provision without the approval of the commission if the proposed subdivision achieves one or more of the following: ...
 - (c) involves not more than 4 parcels, each of which is a minimum of 1 ha, and results in all of the following:
 - (i) no increase in the number of parcels;
 - (ii) boundary adjustments that, in the opinion of the approving officer, will allow for the enhancement of farming on the owner's agricultural land or for the better use of structures used for farming;

(iii) no parcel in the reserve of less than 1 hectare;

The proposal reduces the number of parcels from 4 to 3. All parcels are larger than 1 hectare.

With respect to sub subsection (ii), the principal benefits of the proposed boundary adjustment are the rationalization of the legal lot lines with the field patterns of the cranberry fields and the improved access to the fields from the farm headquarters. Both attributes enhance the farm.

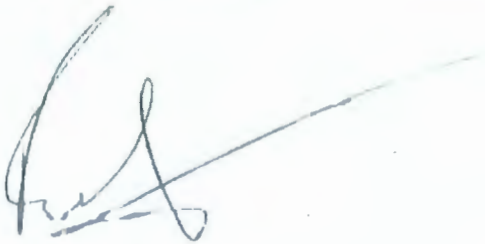
5.0 Summary and Conclusion

In my opinion, the proposed boundary adjustments fulfill the criteria in Section 10(1)(c) of the regulation.

By rationalizing the boundaries of the farm, the land can be apportioned to Mr. May's children to make the next generation of farmers viable with title and the ability to independently manage the new farms.

I remain available to discuss my findings and opinion on this application.

Respectfully submitted,

A handwritten signature in blue ink, appearing to be 'R.G. Holtby', with a long, sweeping horizontal line extending to the right.

R.G. (Bob) Holtby, P.Ag.

May 30, 2019

**Excerpt from the Meeting Minutes of the
Food Security and Agricultural Advisory Committee (FSAAC)**

**Thursday, June 18, 2020 – 7:00 p.m.
Rm. M.2.002 (Webex)
Richmond City Hall**

**Subdivision/Development Variance Permit Application – 2151, 2511, 2611 No. 7
Road & PID 001-928-899**

Steven De Sousa, Planner 1, introduced the applications and provided the following comments:

- The purpose of the application is to align property lines with the existing farm operations on-site and to provide direct road access to each parcel;
- The properties are currently being farmed for cranberries and have farm status, which is proposed to continue should the applications be approved; and
- A number of applications have been submitted in association with the proposal, including a subdivision application for the overall lot configuration, a subdivision application to resolve building encroachments along the south property line, and a Development Variance Permit application to address setback compliance issues with the existing agricultural buildings.

The property owner noted that these applications are also for farm succession planning and to transfer the parcels to his children to continue farming.

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee support the Subdivision/Development Variance Permit Application at 2151, 2511, 2611 No. 7 Road & PID 001-928-899 (SD 19-872413 /SD 20-891374 /DV 20-896703).

Carried Unanimously



No. DV 20-896703

To the Holder: DAGNEAULT PLANNING CONSULTANTS LTD.

Property Address: 2151, 2511, 2611, 2651 NO. 7 ROAD AND PID 001-928-899

Address: C/O BRIAN DAGNEAULT
220 - 8171 COOK ROAD
RICHMOND, BC V6Y 3T8

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) Reduce the minimum front yard setback for agricultural buildings and structures from 7.5 m to 1.87 m;
 - b) Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.58 m; and
 - c) Reduce the minimum lot area from 2.0 ha to 0.34 ha at 2651 No. 7 Road in order to resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures shall be constructed generally in accordance with Plan #1 attached hereto.
5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

No. DV 20-896703

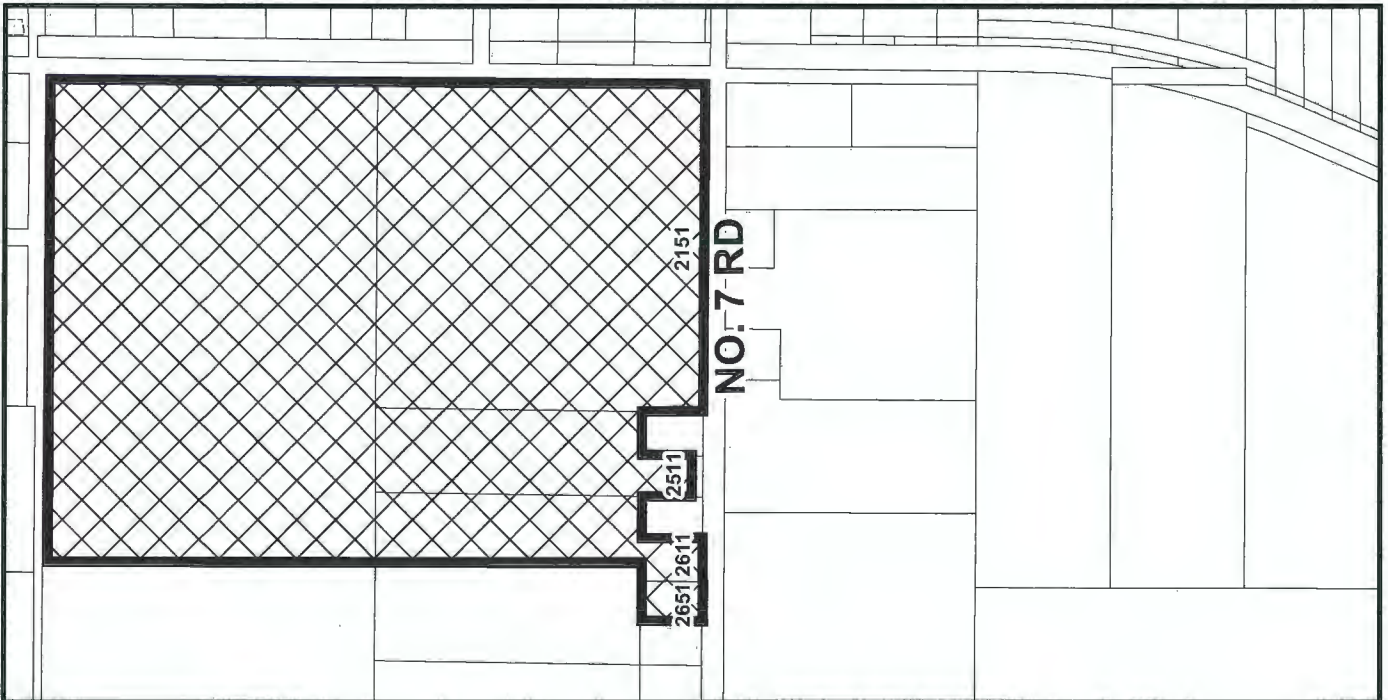
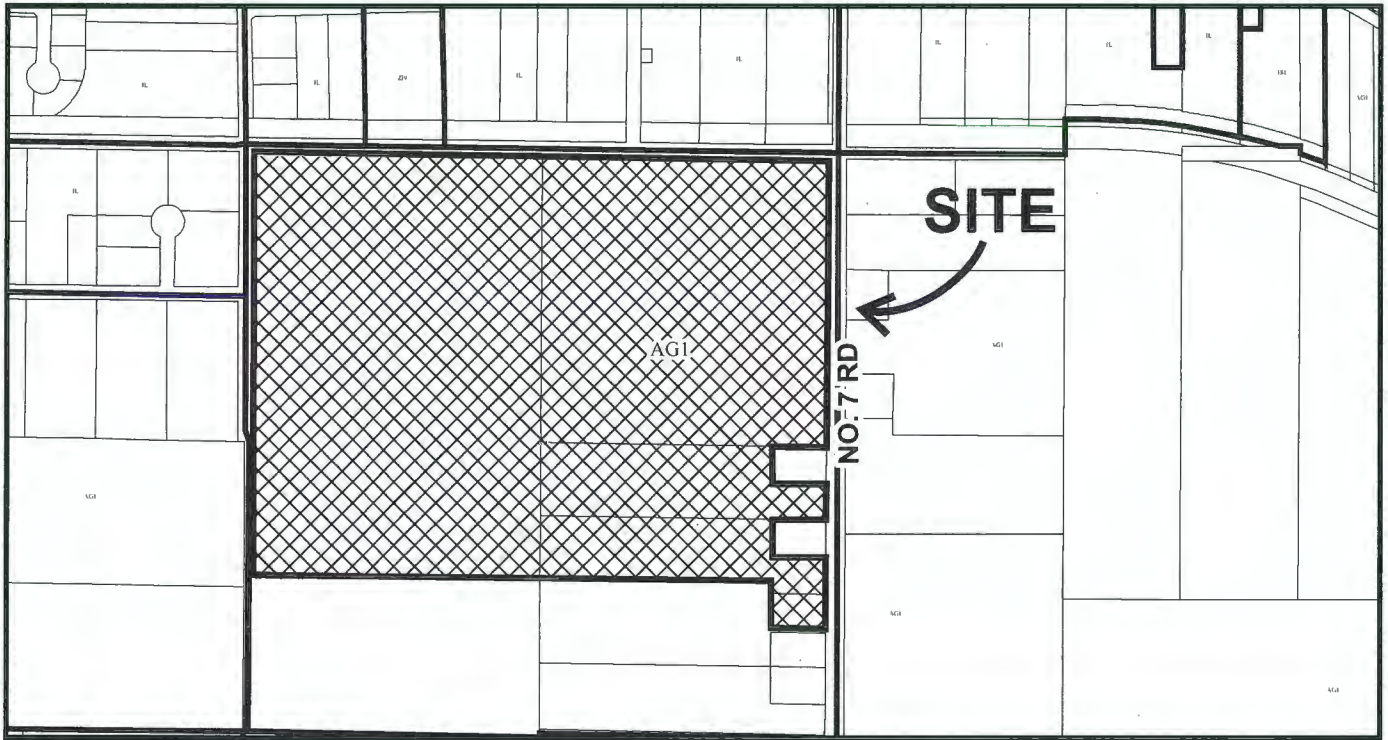
Address: C/O BRIAN DAGNEAULT
220 - 8171 COOK ROAD
RICHMOND, BC V6Y 3T8

ISSUED BY THE COUNCIL THE

MAYOR



City of Richmond



DV 20-896703
SCHEDULE "A"

Original Date: 04/07/20

Revision Date: 08/19/25

Note: Dimensions are in METRES

Variances proposed:
a) Front yard setback for agricultural buildings and structures: from 7.5 m to 1.87 m
b) Interior side yard setback for agricultural buildings and structures: from 4.5 m to 0.58 m
c) Reduce the minimum lot area from 2.0 ha to 0.34 ha at 2651 No. 7 Road in order to resolve an encroachment issue with the existing agricultural buildings and structures along the south property line of 2611 No. 7 Road

