



## Development Permit Panel

Council Chambers, City Hall  
6911 No. 3 Road

Wednesday, September 16, 2015  
3:30 p.m.

### Minutes

*Motion to adopt the minutes of the Development Permit Panel meeting held on August 26, 2015.*



1. **Development Permit 12-624819**  
(REDMS No. 4695459)

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 8200, 8220, 8280 and 8300 No. 1 Road

### Director's Recommendations

*That a Development Permit be issued which would permit the construction of 28 townhouse units at 8200, 8220, 8280 and 8300 No. 1 Road on a site zoned "Low Density Townhouses (RTL4)."*



2. **General Compliance Ruling**  
**Development Permit 13-643519**  
(REDMS No. 4679475)

APPLICANT: Christopher Bozyk Architects

PROPERTY LOCATION: 11100 Cambie Road

ITEM

**Director's Recommendations**

*That the attached plans involving changes to the development design be considered in General Compliance with Development Permit (DP 13-643519).*

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**3. Development Permit 14-674133**

(REDMS No. 4568004)

APPLICANT: Western Verona Garden Holdings Ltd.

PROPERTY LOCATION: 9211 and 9231 No. 2 Road

**Director's Recommendations**

*That a Development Permit be issued which would permit the construction of ten (10) townhouse units at 9211 and 9231 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)."*

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**4. Development Permit 15-694729**

(REDMS No. 4660435)

APPLICANT: Jacken Investments Inc.

PROPERTY LOCATION: 10591, 10611 and 10631 Gilbert Road

**Director's Recommendations**

*That a Development Permit be issued which would permit the construction of 14 townhouse units at 10591, 10611 and 10631 Gilbert Road on a site zoned "Low Density Townhouses (RTL4)."*

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**5. Development Permit 15-700390**

(REDMS No. 4652488)

APPLICANT: Harjit Sandhu

PROPERTY LOCATION: 10691 Dennis Crescent

ITEM

**Director's Recommendations**

*That a Development Permit be issued which would:*

1. *permit the construction of a coach house at 10691 Dennis Crescent on a site zoned "Single Detached with Granny Flat or Coach House – Edgemere (RE1)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *allow a coach house to be located 3.0 m from the northern interior side lot line; and*
  - (b) *allow a portion of the parking spaces for the lot to be accessed from Dennis Crescent.*



**6. New Business**

**7. Date of Next Meeting: September 30, 2015**

**8. Adjournment**



**Development Permit Panel  
Wednesday, August 26, 2015**

Time: 3:30 p.m.  
Place: Council Chambers  
Richmond City Hall  
Present: Joe Erceg, Chair  
Robert Gonzalez, General Manager, Engineering and Public Works  
Dave Semple, General Manager, Community Services

The meeting was called to order at 3:30 p.m.

**1. Minutes**

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on July 15, 2015, be adopted.*

**CARRIED**

**2. General Compliance Ruling  
Development Permit 11-564405**

(File Ref. No.: DP 11-564405) (REDMS No. 4615191 v. 2)

APPLICANT: Dava Development Ltd.

PROPERTY LOCATION: 10011, 10111 & 10197 River Drive and a portion of 10199 River Drive (formerly 10011 & 10111 River Drive and a portion of 10199 River Drive)

INTENT OF PERMIT:

That the attached plans involving changes to the design of building "B" (addressed as 10013 River Drive) be considered in General Compliance with the approved Development Permit (DP 11-564405).



## **Development Permit Panel**

### **Wednesday, August 26, 2015**

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#### **Applicant's Comments**

Patrick Cotter, ZGF Cotter Architects Inc., highlighted proposed changes to building "B", noting that:

- the proposed roof height would be lowered;
- the proposed modifications to the building's interior layout would improve flow and functionality;
- the building would retain similar architectural form and character previously proposed;
- outdoor space would be relocated from the rooftop to ground level; and
- additional glazing would be provided.

#### **Panel Discussion**

In reply to queries from the Panel with regard to proposed changes to building "B", Mr. Cotter and Joseph Lau, ZGF Cotter Architects Inc., advised that (i) the proposed lower roof height would improve the views from adjacent residential buildings, (ii) the proposed outdoor amenity deck would be lowered to ground level and would provide better access to residents, (iii) a proposed green roof would utilize the space formerly proposed for the outdoor amenity deck, and (iv) the proposed pitch of the roof would be reduced.

Discussion ensued regarding the proposed green roof and in reply to queries from the Panel, Joseph Fry, Hapa Collaborative, noted that drought resistant plants would be utilized for the project.

#### **Staff Comments**

Wayne Craig, Director, Development, commented on the proposed changes to building "B", noting that staff are confident that the proposed changes are consistent with the intent of the original application. He added that the proposed outdoor amenity deck was a private amenity space for development residents.

#### **Correspondence**

None.

#### **Gallery Comments**

None.

## Development Permit Panel

### Wednesday, August 26, 2015

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#### Panel Decision

It was moved and seconded

*That the attached plans involving changes to the design of building "B" (addressed as 10013 River Drive) be considered in General Compliance with the approved Development Permit (DP 11-564405).*

**CARRIED**

#### 3. Development Permit 14-672830

(File Ref. No.: DP 14-672830) (REDMS No. 4630289)

APPLICANT: JM Architecture

PROPERTY LOCATION: 10019 Granville Avenue

#### INTENT OF PERMIT:

Permit the construction of a licensed child care facility for a maximum of 88 children with an accessory residential caretaker unit at 10019 Granville Avenue on a site zoned "Child Care (ZR8) – McLennan."

#### Applicant's Comments

Joe Minten, JM Architecture Inc., referred to a video presentation (copy on file, City Clerk's Office), and provided a brief overview of the proposed daycare facility development with a residential caretaker unit regarding (i) urban design, (ii) architectural form and character and, (iii) landscape and open space design.

Mr. Minten spoke of the residential character of the proposed design and noted that parking will be located on the north-east portion of the subject site with vehicle access along Granville Avenue and one-way vehicle exit through to No. 4 Road. He added that the second floor of the facility will feature a rooftop garden.

Meredith Mitchell, M2 Landscape Architecture, briefed the Panel on the proposed landscape and open space design, noting that (i) the meandering perimeter hedging and fencing will be approximately four to five feet in height, (ii) landscaped areas will include play areas, shaded areas, artificial berms, a water feature, picnic tables and benches, (iii) the proposed development will incorporate a mix of deciduous trees in the parking area and will be drought tolerant, (iv) the proposed development will include bike racks on-site, and (v) accessible parking will be adjacent to the main entry.

#### Panel Discussion

In reply to queries from the Panel with regard to grading of the site, Ms. Mitchell noted that there will be retaining walls with fencing along the north and east side of the site with transitional landscaping between the parking area and fencing. Ms. Mitchell commented on the screening of the adjacent properties along the north and east portion of the site, noting that there will be six feet perimeter fencing with hedges.

## **Development Permit Panel**

### **Wednesday, August 26, 2015**

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Discussion ensued with regard to the conditions of adjacency and in reply to queries from the Panel, Mr. Minten noted that properties to the north and east of the site are single family homes. He added that the parking area will be gated during evening hours.

#### **Staff Comments**

Mr. Craig spoke of the proposed development, noting that the proposed development will use an on-site septic field and that there is a servicing agreement for frontage improvements along Granville Avenue and No. 4 Road.

In reply to queries from the Panel, Mr. Craig noted that the on-site septic field will be located below the parking area. He added that the septic system will utilize contained concrete treatment areas unlike traditional septic systems.

#### **Gallery Comments**

Sylvia Merces, 6680 No. 4 Road, expressed concern regarding the proposed development with respect to (i) the on-site septic field, (ii) potential for increase in traffic, and (iii) the historical rezoning of the site.

The Chair advised that the proposed septic field will be located underneath the parking area and was approved by Vancouver Coastal Health. Also, he noted that the parking lot will be gated. He added that historically, the site was zoned for some commercial use however, was rezoned for childcare and congregate housing. Furthermore, he noted that the proposed development should have a minimal effect on traffic in the area.

In reply to queries from the Panel, Mr. Craig noted that as part of proposed frontage improvements, sidewalks will be upgraded and the north side of Granville Avenue will be widened. He added that access to the site will be along Granville Avenue and that there will be a one-way driveway right-turn only exit to No. 4 Road.

#### **Correspondence**

None.

#### **Panel Discussion**

Discussion ensued with respect to the proposed development's design and daycare programming.

#### **Panel Decision**

It was moved and seconded

***That a Development Permit be issued which would permit the construction of a licensed child care facility for a maximum of 88 children with an accessory residential caretaker unit at 10019 Granville Avenue on a site zoned "Child Care (ZR8) – McLennan."***

**CARRIED**

**Development Permit Panel**  
**Wednesday, August 26, 2015**

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**4. New Business**

**5. Date of Next Meeting: September 16, 2015**

**6. Adjournment**

It was moved and seconded

*That the meeting be adjourned at 4:02 p.m.*

**CARRIED**

Certified a true and correct copy of the  
Minutes of the meeting of the  
Development Permit Panel of the Council  
of the City of Richmond held on  
Wednesday, August 26, 2015.

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Joe Erceg  
Chair

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Evangel Biason  
Auxiliary Committee Clerk



# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** August 26, 2015

**From:** Wayne Craig  
Director of Development

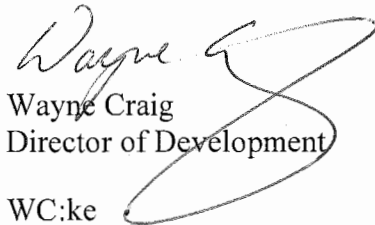
**File:** DP 12-624819

**Re:** Application by Matthew Cheng Architect Inc. for a Development Permit at 8200,  
8220, 8280 and 8300 No. 1 Road

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### Staff Recommendation

That a Development Permit be issued which would permit the construction of 28 townhouse units at 8200, 8220, 8280 and 8300 No. 1 Road on a site zoned "Low Density Townhouses (RTL4)."

  
Wayne Craig  
Director of Development  
WC:ke

## Staff Report

### Origin

Matthew Cheng Architect has applied to the City of Richmond for permission to develop 28 townhouse units at 8200, 8220, 8280 and 8300 No. 1 Road on a site zoned "Low Density Townhouses (RTL4)". The dwellings on the site have been demolished and the site currently contains preload materials.

The four lots, which will be consolidated into one development site, are being rezoned from "Single Detached (RS1/E)" to "Low Density Townhouses (RTL4)" for this project under Bylaw 8929 (RZ 11-596490). The Public Hearing and 3<sup>rd</sup> Reading of the rezoning amendment bylaw was granted on September 5, 2012. A Servicing Agreement (SA 12-627162) for frontage upgrades along No. 1 Road is required to be completed as a rezoning consideration.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north, existing houses on lots zoned "Single Detached (RS1/E)";
- To the east, existing houses on lots under Land Use Contract 102 in the Coldfall Court cul-de-sac;
- To the south, existing houses on lots zoned "Single Detached (RS1/E)"; and
- To the west, across No. 1 Road existing houses on lots zoned "Compact Single Detached (RC1)" and "Single Detached (RS1/E)".

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on September 5, 2012. At the Public Hearing, the following concerns about rezoning the property were expressed (responses are noted in Italics):

1. Location of visitor parking stalls adjacent to single-family homes to the east

*Through the rezoning, residents to the east noted concerns about the location of visitor parking contained within the 6 m (20 ft.) rear yard setback to the east next to the outdoor amenity for the project. As a result, the site plan was amended in advance of the Public Hearing to relocate all visitor parking outside of the rear yard setback, as shown in the Development Permit drawings.*

2. Design interface and shadow impacts of the proposed development with single-family homes to the east.

*The development maintains a 6 m (20 ft.) rear yard setback along the east edge of the site to the neighbouring single-family dwellings. Units that back onto the single-family*

*homes are oriented to provide a traditional rear yard interface (6 m or 20 ft. setback) at similar two-storey massing (8.2 m or 27 ft. building height) and a 3 m (10 ft.) north and south side yard setback. A shadow diagram has been submitted to show minimal impacts to surrounding properties. Privacy and overlook concerns are addressed through the design and orientation of the rear units of the development and proposed landscape buffer screen along the east edge of the site.*

3. Tandem parking configuration for units along No. 1 Road.

*A tandem parking configuration for only the buildings directly fronting No. 1 Road was outlined at rezoning. The proposed Development Permit application maintains this tandem parking configuration for 14 townhouse units fronting No. 1 Road proposed at rezoning. The remaining 14 townhouse units have two standard side by side parking stalls. The Zoning Bylaw allows 50% of required parking for the townhouse units only to be parked in tandem. The proposed tandem parking configuration complies with the Zoning Bylaw.*

4. Potential impacts of the development on traffic through the existing residential neighbourhood to the east.

*The proposed development provides the necessary off-street parking stalls required by the Zoning Bylaw of 2 parking stalls for each unit and a total of 6 visitor parking stalls. In response to concerns about increased traffic through the residential neighbourhood to the east, Transportation staff propose to monitor traffic in the neighbourhood before and after project completion/occupancy to identify any traffic pattern changes. Transportation staff plan to monitor traffic this upcoming fall to obtain initial traffic data. Follow-up traffic data collection will be sequenced with project build out and occupancy.*

5. Retention of existing evergreen hedging along the east edge of the development site and shared with 8311 Coldfall Court

*The existing evergreen hedge located along the east edge of the site (south side) and adjacent to 8311 and 8291 Coldfall Court is being retained as part of this development. Retention of this hedge has been reviewed by the consulting arborist and a tree protection zone has been established. The site and landscape plan has been designed to take into account the tree protection zone and ensure retention of the existing hedge.*

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with the "Low Density Townhouses (RTL4)" zoning district.

### **Advisory Design Panel Comments**

The Advisory Design Panel was held on April 1, 2015. A copy of the relevant excerpt from the Advisory Design Panel Minutes from April 1, 2015 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the Advisory

Design Panel Comments. The Advisory Design Panel members supported the project and suggested design revisions have been incorporated into the project.

## **Analysis**

### ***Conditions of Adjacency***

- The proposed development incorporates four (4) three-storey townhouse clusters that directly front onto No. 1 Road. These step down to two-storey massing along the north and south edges to provide transition to existing single-family homes. Six (6) two-storey duplex townhouse clusters are arranged along the rear portion of the site directly adjacent to existing single-family homes. Front and rear yard setbacks are maintained at 6 m (20 ft.) with 3 m (10 ft.) side yard setbacks, which will mitigate any potential overlook, privacy and shadowing impacts to existing single-family homes. The proposed conditions of adjacency of the townhouse project comply with the applicable Development Permit Guidelines for townhouse development along an arterial road.
- Currently, the elevation of the sidewalk and road along No. 1 Road are higher than the elevation of the lots to be developed and surrounding single-family homes. To address this grade difference, the project proposes to raise the finished grade of the site to generally match the elevation of the sidewalk and to meet the required minimum flood construction levels. Grade changes from the development site to the neighbouring single-family homes to the east will be dealt with through stepped retaining walls and landscaping within the project site to account for existing tree protection zone areas and avoid retaining walls directly adjacent to single-family homes.
- The vehicle entrance to the development located at the north edge of the site provides for additional setback and separation to the existing single-family home to the north. If redevelopment of the lots to the north occurs, vehicle access will be provided through this development and has been secured through a legal agreement as part of the rezoning. The location of the walkway mid-site to No. 1 Road provides for additional separation between the three-storey townhouse massing.
- The development site has a jog in the lot that results in a deeper lot depth for a portion of the consolidated development site. The existing geometry of the lot enables the outdoor amenity to be located in a central location and provides for a significant open/green space to abut the neighbouring single-family homes to the east to mitigate overlook concerns and potential shadowing impacts.

### ***Urban Design and Site Planning***

- Internal vehicle circulation is arranged around an internal T-shaped driveway through a main north-south running drive-aisle providing access to front and rear townhouse units with a small east-west running drive-aisle servicing a deeper portion of the site. This driveway layout enables all of the vehicle access to unit garages and visitor parking stalls to be internalized to the site and allows for on-site manoeuvring/turnaround for larger vehicles and trucks.
- A 6 m (20 ft.) front yard setback along No. 1 Road enables units fronting onto the arterial road to have a strong streetscape presence with direct pedestrian access at grade to the townhouses. This setback also allows space for appropriate landscaping and fencing in the open spaces for individual units and it transitions well to existing single-family homes in this area with similar landscaped front yard open spaces.



- The outdoor amenity area is located in a central location accessible to all units. A combination of play structure equipment, natural play features (rocks/logs), bench seating, bicycle racks and accompanying landscaping is featured in the amenity area with good southern exposure for natural sunlight. A dedicated pedestrian pathway located adjacent to the east-west drive-aisle provides a connection to the north-south running primary drive-aisle for the development. Additional pedestrian pavers are located in the drive-aisle to provide additional way-finding to the pathway to No. 1 Road. The total area of the outdoor amenity meets City requirements
- Garbage, recycling and organic waste service area is located in a dedicated enclosure that is incorporated into the three-storey building fronting No. 1 Road that is south of the drive-aisle entrance to the development. The enclosure is designed to blend in with the existing form and character of the building and reduces massing of this building adjacent to the drive-way entrance to one storey.

### ***Architectural Form and Character***

- The architect has reviewed surrounding building forms along No. 1 Road to the north and south of the subject site as well as single-family building forms in the residential area to the east. The proposed building form is contemporary with a combination of flat and asymmetrical roof lines featuring prominently throughout the development with matching finishing and cladding materials. This contemporary design approach does reference existing examples of other buildings in the area that demonstrate use of flat roof lines, strong vertical elements along the No. 1 Road frontage and asymmetrical roof forms in single-family homes.
- The project's rear units propose implementation of an asymmetrical roof form that provide a suitable transition from the contemporary flat roof form of development for buildings fronting onto No. 1 Road to the existing single-family homes located to the east of the site.
- The flat and asymmetrical roof forms in combination with the grading approach for the project helps to reduce the apparent scale and height of the development when compared to a townhouse project that implements traditional pitched roof forms.
- The overall contemporary form and modern architectural expression of the proposal was supported by the Advisory Design Panel and provides for enhanced architectural and built form variation of the No. 1 Road streetscape.
- Cladding and finishes (hardie lap siding/panelling; brick, cedar siding/soffits) are consistent with the contemporary design of the project. The cladding and colour are alternated in various ways within each building cluster and between building clusters along the No. 1 Road streetscape. This avoids an overly repetitive expression and adds visual animation to the streetscape.
- Design detailing within the building elevations internal to the drive-aisle achieves a consistent implementation of cladding and finishes similar to the streetscape elevation along No. 1 Road including the application of cedar siding in building recesses and slatted cedar screens at unit entrances. This is intended to provide visual interest to the long drive-aisle.

### ***Landscape Design and Open Space Design***

- The landscape plan submission provides for an appropriate amount of deciduous and conifer trees to be planted on the subject site (60 total trees) to adequately compensate for tree removals required (29 on-site trees to be removed) and identified through the rezoning. The landscape plan also provides for the planting of two large evergreen trees at the pathway

entrance to the development as recommended by City Tree Protection staff and retention of an existing evergreen hedge adjacent to neighbouring properties at 8311 and 8291 Coldfall Court as identified at Public Hearing through the rezoning.

- The open space for the townhouse units fronting No. 1 Road will have landscaping consisting of concrete walkways, lawn, a mix of deciduous/evergreen trees in combination with shrubs and groundcovers. The open space will be enclosed by a 1 m (3.5 ft.) tall metal fence.
- The open space for the rear townhouse units along the east edge of the site will have landscaping consisting of patio pavers and dividing screen/fence. Plantings consists of a mix of deciduous and evergreen trees in the open space along with a 1.8 m (6 ft.) tall wood perimeter fence and hedging implemented along the east edge to provide a suitable buffer screen to the neighbouring single-family homes. To address grading, the rear yard open spaces also contain a stepped wood retaining wall to transition back to the existing grade, thus avoiding the need for retaining walls located at the property line.
- A consistent design approach is implemented for the perimeter fencing and individual unit open space fencing/screening as well as the project signage and trellis entrance feature to the walkway along No. 1 Road that is coordinated with the contemporary design and finishing proposed for the buildings.
- A landscaping letter of credit/bond is required to be submitted through the Development Permit to secure the implementation of the proposed landscaping.

#### ***Crime Prevention Through Environmental Design***

- Active and passive surveillance of the outdoor amenity area and mailbox enclosure area is achieved through the orientation of surrounding units to ensure visibility.
- Site lines are maximized within the internal drive-aisle through the large courtyard area created through at the intersection of the north-south and east-west drive-aisles.
- Landscaping and fencing is designed to enclose individual unit open spaces, providing privacy screens where needed but maintains visibility and site lines to unit doors/entrances.

#### ***Accessible Housing***

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of an appropriate vertical lift within a space in the unit that has been designed to accommodate a future lift.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

#### ***Sustainability Measures***

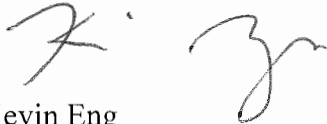
- The rezoning application on this project was granted preliminary approval at the Public Hearing on September 5, 2012 prior to the City requiring energy efficiency guidelines for townhouses (i.e., solar hot water ready; Energuide 82 or Energy Star standards). Through the Development Permit application, the developer examined and determined that compliance

with current energy efficiency guidelines was not feasible as the primary components of building siting and design have already been established through the rezoning.

- Other sustainability measures incorporated into the project include:
  - Use of energy efficient appliances (Energy Star rated product) and lighting fixtures throughout all units.
  - Bathroom fixtures with water conservation measures (dual flush toilets).
  - Permeable pavers and landscaping within setback areas to increase storm water retention.
  - Retention of existing landscaping and hedging along the east edge of the site.

### Conclusions

The proposed 28 unit townhouse complex has addressed surrounding adjacency conditions and complies with Development Permit guidelines for low-density multi-family developments located along arterial roads. The contemporary architecture proposed in this development makes reference to existing developments in the surrounding context and will add additional character and interest to the residential neighbourhood.



Kevin Eng  
Planner 2

KE:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$180,092

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



**DP 12-624819**

**Attachment 1**

Address: 8200, 8220, 8280 and 8300 No. 1 Road

Applicant: Matthew Cheng Architect Inc.

Owner: 0781829 BC Ltd.

Floor Area Gross: 3410.47 m<sup>2</sup>

Floor Area Net: 3172.27 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	5330 m <sup>2</sup>	5289 m <sup>2</sup>
<b>Land Uses:</b>	Vacant – Preload	Low-density townhouse
<b>OCP Designation:</b>	Neighbourhood Residential	No change
<b>Zoning:</b>	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
<b>Number of Units:</b>	N/A	28 units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.6	0.6	none permitted
Lot Coverage:	Max. 40%	40%	none
Setback – Front Yard:	Min. 6 m	6 m	none
Setback – Side Yard (north):	Min. 3 m	3 m	none
Setback – Side Yard (south):	Min. 3 m	3 m	none
Setback – Rear Yard:	Min. 6 m	6 m	none
Height (m):	Max. 12 m	10.2 m	none
Off-street Parking Spaces – Residential	56 parking spaces	56 parking spaces	none
Off-street Parking Spaces – Visitor Parking	6 parking spaces	6 parking spaces	none
Total off-street Spaces:	62 parking spaces	62 parking spaces	none
Tandem Parking Spaces	Up to 50% permitted	28 tandem parking spaces (50%)	none
Amenity Space – Outdoor:	Min. 168 m <sup>2</sup>	350 m <sup>2</sup>	none

Note:

Date: June 25, 2015

MCAI responses in *Red*

PMG responses in *Green*

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**Advisory Design Panel  
Excerpt of April 1, 2015 Meeting Minutes**

**DP 12-624819 - 28-UNIT TOWNHOUSE DEVELOPMENT**

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 8200, 8220, 8280, 8300 No. 1 Road

**Applicant's Presentation**

Kush Panatch, President, Centro Properties Group, Architect Matthew Cheng, Matthew Cheng Architect Inc., and Landscape Designer Denitsa Dimitrova, PMG Landscape Architects, presented the project on behalf of the applicant and answered queries from the Panel.

**Panel Discussion**

*Comments from the Panel were as follows:*

- appreciate the provision of a space for art work at the entry to the proposed development; suggest that the applicant consult with the City's public art planner regarding the public art process; *OneWest have decided not to proceed with any art work on site. They will be making payment in-lieu to the City's public art fund.*
- the project is on the right track from a sustainability perspective; suggest that the applicant choose LED lights to save energy; also suggest that the applicant engage the services of a consultant at this stage of the project to do the analysis for Energuide 82 rating; applicant should also choose true energy star appliances consistent with ASHRAE 90.1 standards; *Will Proceed*
- appreciate the provision of a convertible unit; however, there are opportunities for improvement; identify a suitable space in the garage for future location of a vertical lift as opposed to the ground floor hallway; also consider reorienting the washrooms and bedrooms on level 2 to provide more workable entries; also consider introducing pocket doors in lieu of swinging doors; ***\*\*PROVIDED – Door of the Vertical Lift is provided to conveniently access coming out of the Garage.***
- provision of one convertible unit for 28 townhouse units is inadequate; consider providing three convertible units for the proposed development; *Under Section 3.4 of OCP, it states that "establish a certain percentage of townhouses with convertible housing" Therefore, there is no written bylaw of required number of convertible units.*

- appreciate the public art proposal; *No comment*
- right scale along No. 1 Road; however, the flat roofs appear monolithic and in stark contrast to the neighbouring developments; consider design development to lessen the starkness and provide more variety in roof forms; **\*\*PROVIDED - Stepping down of building 4C to two storey adds to the varied roof lines. Total of 6 varied rooflines provided along No. 1 Rd.**
- reconsider use of reveals in some elevations; **\*\*PROVIDED**
- appreciate the use of wood which provide warmth to the townhouse units; *No comment*
- proposed townhouse development is daring; refreshing to see a townhouse development trying to be different; *No comment*
- like the buildings at the back; roof forms look residential; *No comment*
- service rooms adjacent to the drive aisle entrance to the development pop out and do not integrate well with the building block; consider de-emphasizing the service rooms and integrating them more with the residential building block; **\*\*PROVIDED – To enhance and activate the street edge, brick continues to wrap around the garbage/recycling room which integrates into the overall architecture of the building block. Also, roof of the garbage/recycling area is extended to the roof Unit 1 to de-emphasize and blend into the building block.**
- appreciate the simplicity of the townhouse entries off No. 1 Road; *No comment*
- the contemporary style of the townhouse development looks good; *No comment*
- the 6-meter front and back setbacks are too big and results in a minimal internal drive-aisle space with reduced opportunities for landscaping; the proposed development looks flat and has a claustrophobic feel; opportunities for landscaping are lacking; consider design development to the roof forms to lessen the claustrophobic feel; **Roof Form Comment supersedes the comment above.**
- cedar should be used on the soffits, not on the walls due to durability issues; investigate the use of aluminum or other products that look like wood but are more durable to the elements; *Will Proceed*
- review the size of the two windows on the front elevation; **\*\*PROVIDED**
- appreciate the smaller townhouse blocks in the proposed development; *No comment*
- appreciate the model presented by the applicant which provides a lot of detail; *No comment*
- like the high ceilings and good livability of the townhouse units; exterior architecture is bold and heavy-handed; appreciate the strong materials; however, consider a gentler colour palette; *No comment*

- separation between the building blocks are very tight; consider design development and review the location of the side windows to address adjacency and privacy issues; also consider design development for side windows at the stairway in the back units; **\*\*PROVIDED – to address adjacency, privacy issue and mechanical units in between, side window is reduced. Window in the stairway is raised 7'-8" from the landing to reduce the privacy issue to the neighbourhood but still bringing natural light into the building.**
- notice the lack of habitable space at grade along No. 1 Road; look at incorporating flex rooms at least in the corner units to provide animation and pedestrian interest at grade level; **\*\*PROVIDED – Bedroom is provided in Unit 1 & 16 along No. 1 Rd.**
- consider closing off the main walkway from the development to No. 1 Road as the walkway does not link with anything in the townhouse proposal; *the walk access has been retained. Response to look at making the connection to the internal part of the site more pedestrian friendly by extending special paving to meet the walk*
- consider design development to the utility closets, entry signage and art wall adjacent to the vehicular entry to make them more cohesive; *Entry Signage proposed*
- commend the applicant for integrating public art in the proposed development; artist should be allowed more freedom and creativity in the choice of medium for public art; reconsider the implementation of the trellis along the art wall as it may detract from the public art feature of the project; *No Art wall proposed; trellis deleted along this edge. Plantings buffer this edge in updated version.*
- relationship of the townhouse units with the bus stop is challenging; look at opportunities to strengthen the buffering; *the screening of the bus stop has been increased with lattice screen as well as hedge. Lattice screen detail added.*
- consider design development to the paving of the long driveway to visually break it down; *the added special paving at the intersection of the internal roads breaks up the long driveway*
- look at the long-term survivability and viability of plant materials on the tight spaces between the townhouse buildings; consider alternative landscaping materials for easier management by the strata; *the areas of plantings have been replace by gravel in areas where long term viability may be in question.*
- the applicant is encouraged to consult an arborist to review the survivability of plant materials under the existing trees; *the arborist has reviewed the plantings under trees and advised that plantings appropriate.*
- consider design development to the landscaping at the east end of the development and its relation to the outdoor amenity space, e.g. review the shape of the planters and type of trees; *the amenity area layout and trees have been reviewed and slightly amended to have less shade in the play area.*
- concerned with the mechanical units being visible in the yards; and *the plan calls for plantings at the front part of the areas between units to screen where mechanical units area placed. (mechanical units will be placed on roof tops or balconies and hidden from view)*

- agree with comments regarding the need to better relate the landscaping structures with the overall architecture of the project. *The fences, arbour and screens have been redesigned to be less in the traditional style and to co-ordinate with the more contemporary architectural expression.*

**Panel Decision**

It was moved and seconded

*That DP 12-624819 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.*

**CARRIED**

Opposed: Tom Parker





# City of Richmond

## Development Permit

**No. DP 12-624819**

To the Holder: Matthew Cheng

Property Address: 8200, 8220, 8280 and 8300 No. 1 Road

Address: 202 - Evans Avenue  
Vancouver, BC V6A 2K9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plan #1 to Plan #25 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$180,092 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 12-624819**

To the Holder: Matthew Cheng  
Property Address: 8200, 8220, 8280 and 8300 No. 1 Road  
Address: #202 - Evans Avenue  
Vancouver, BC V6A 2K9

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

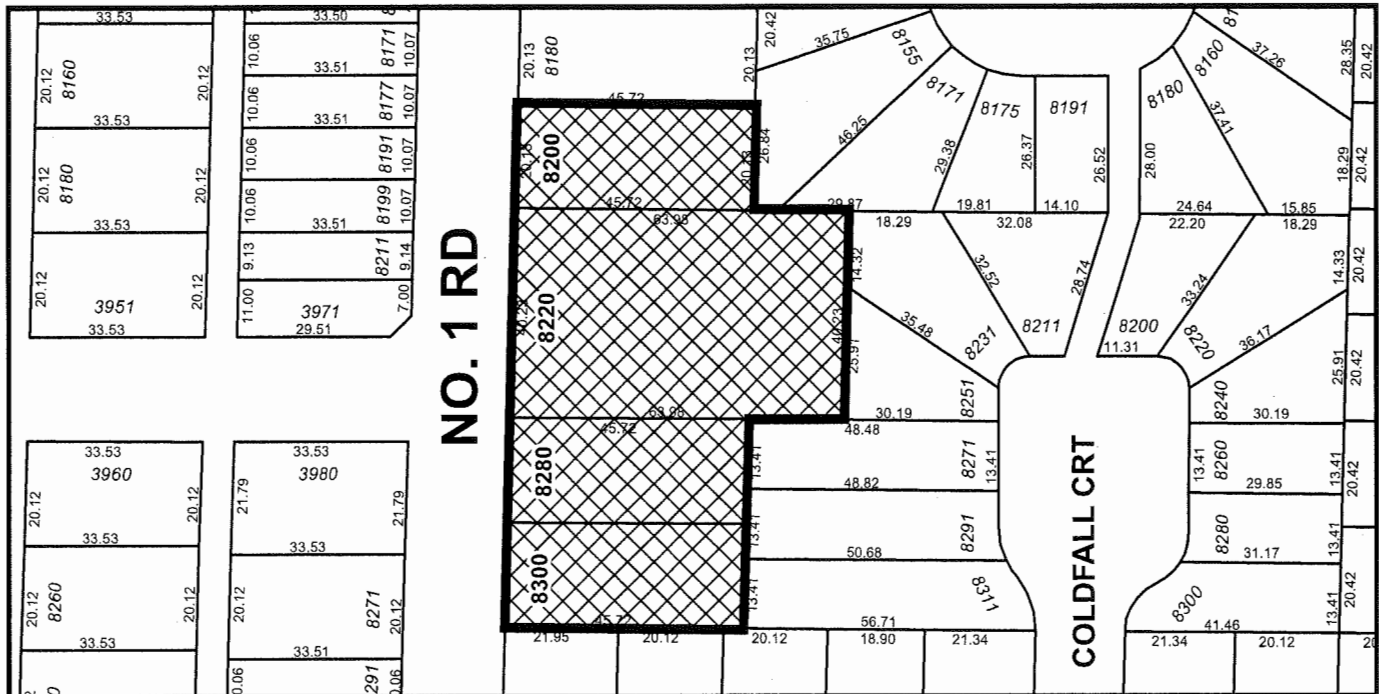
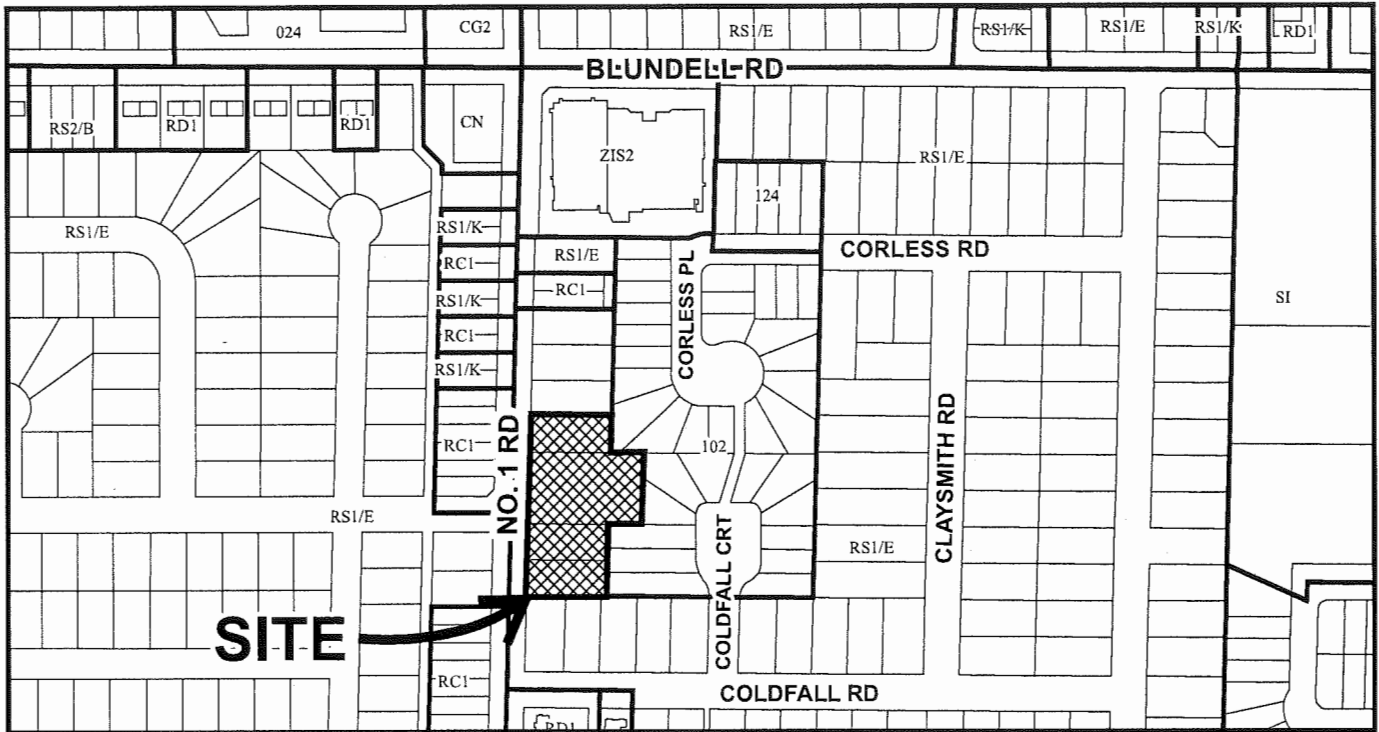
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



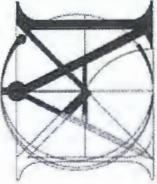
DP 12-624819  
SCHEDULE "A"

Original Date: 11/28/12

Revision Date: 08/21/15

Note: Dimensions are in METRES

ISSUED FOR DEVELOPMENT PERMIT



MATTHEW CHENG  
ARCHITECT INC.  
114-292 GORDON AVENUE  
VANCOUVER BC V6A 2E9  
Tel: (604) 731-9012 / Fax: (604) 731-9988  
Cell: (604) 649-4669 / Email: matthew@mcad.ca

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Revisions

Developer



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
COVERPAGE

Drawn: DC	
Checked: MC	
Scale:	
Project Number:	
Revision Date:	Aug. 16, 2015
Print Date:	08/27/15
Drawn: A00	

CIVIC ADDRESS:

8288 No. 1 Road, Richmond.

LEGAL ADDRESS:

1. 8200 NO. 1 ROAD, RICHMOND

LEGAL DESCRIPTION: P.I.D. 008-971-978  
SOUTH HALF OF LOT 309 SECTION 23 BLOCK 4 NORTH RANGE 7 WEST  
NEW WESTMINSTER DISTRICT PLAN 52748

2. 8220 NO. 1 ROAD, RICHMOND

LEGAL DESCRIPTION: P.I.D. 009-939-008  
LOT 17 EXCEPT: PART SUBDIVIDED BY PLAN 53609; SECTION 23  
BLOCK 4 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT PLAN 14449

3. 8280 NO. 2 ROAD, RICHMOND

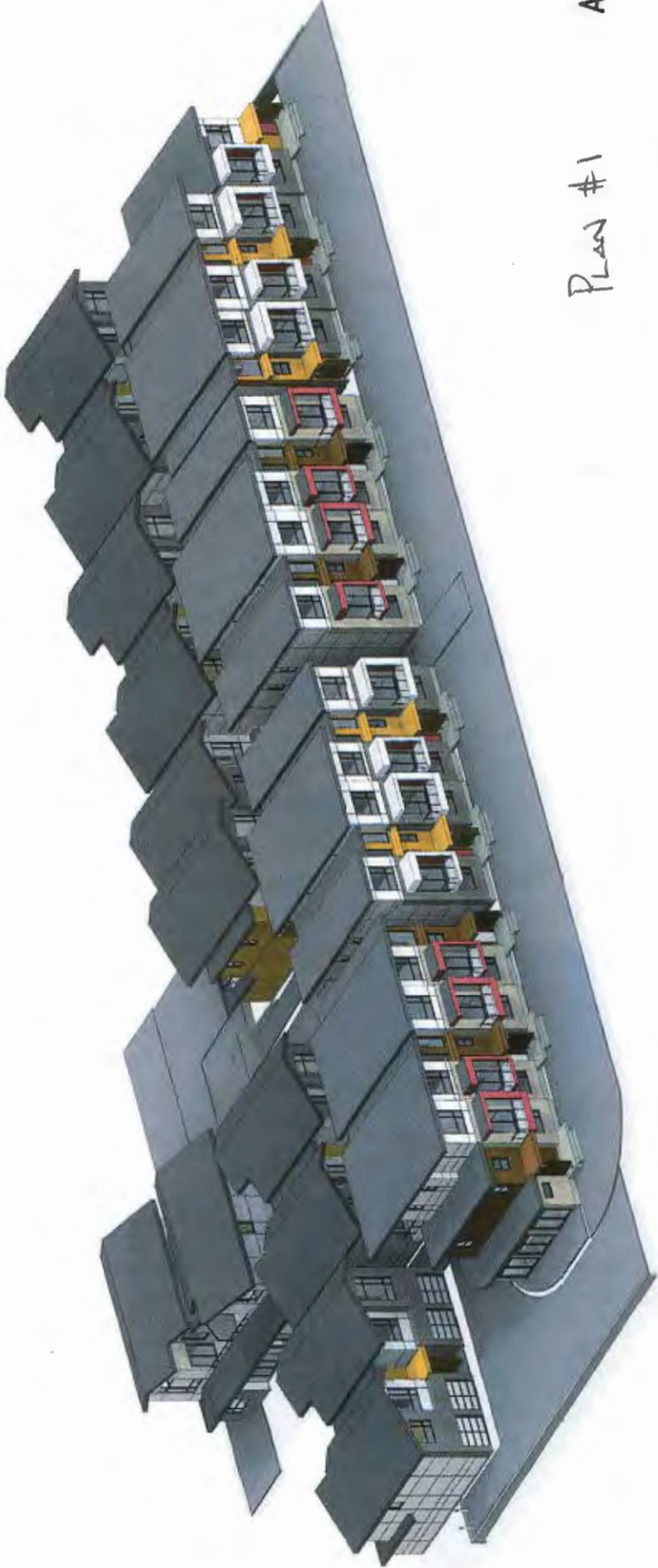
LEGAL DESCRIPTION: 004-185-587  
LOT 717 EXCEPT: THE NORTHERLY PORTION, SECTION 23 BLOCK 4  
NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT PLAN 51164

4. 8300 NO. 1 ROAD, RICHMOND

LEGAL DESCRIPTION: P.I.D. 003-927-679  
NORTH HALF LOT 717 SECTION 23 BLOCK 4 NORTH RANGE 7 WEST  
NEW WESTMINSTER DISTRICT PLAN 51164

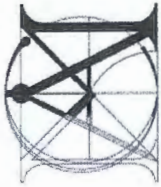
DRAWING LIST

A00	COVERPAGE
A01	DEVELOPMENT DATA & CONTEXT MAP
A02	SITE CONTEXT / VISUAL CUES
A03	DESIGN RATIONALE
A04	SYNOPSIS OF BUILDING ENERGY CONSERVATION STRATEGIES
A05	SHADOW ANALYSIS
A06	SITE PLAN & GROUND FLOOR PLAN
A07	CODE ANALYSIS - FIRE TRUCK ACCESS
A08	LEVEL 2 FLOOR PLAN
A09	LEVEL 3 FLOOR PLAN
A10	ROOF PLAN
A11	STREETSCAPE ELEVATION - FRONT BLDGS (ALONG NO. 1 RD)
A12	STREETSCAPE ELEVATION - REAR BLDGS
A13	STREETSCAPE ELEVATION - REAR BLDGS
A14	BLDG A - BUILDING ELEVATIONS
A15	BLDG B - BUILDING ELEVATIONS
A16	BLDG C - BUILDING ELEVATIONS
A17	BLDG D - BUILDING ELEVATIONS
A18	BLDG E - BUILDING ELEVATIONS
A19	BLDG F - BUILDING ELEVATIONS
A20	BLDG G - BUILDING ELEVATIONS
A21	BLDG H - BUILDING ELEVATIONS
A22	BLDG I - BUILDING ELEVATIONS
A23	BLDG J - BUILDING ELEVATIONS
A24	BLDG K - BUILDING ELEVATIONS
A25	BLDG L - BUILDING ELEVATIONS
A26	BLDG M - BUILDING ELEVATIONS
A27	BLDG N - BUILDING ELEVATIONS
A28	BLDG O - BUILDING ELEVATIONS
A29	BLDG P - BUILDING ELEVATIONS
A30	BLDG Q - BUILDING ELEVATIONS
A31	BLDG R - BUILDING ELEVATIONS
A32	BLDG S - BUILDING ELEVATIONS
A33	BLDG T - BUILDING ELEVATIONS
A34	BLDG U - BUILDING ELEVATIONS
A35	BLDG V - BUILDING ELEVATIONS
A36	BLDG W - BUILDING ELEVATIONS
A37	BLDG X - BUILDING ELEVATIONS
A38	BLDG Y - BUILDING ELEVATIONS
A39	BLDG Z - BUILDING ELEVATIONS
A40	BLDG AA - BUILDING ELEVATIONS
A41	BLDG AB - BUILDING ELEVATIONS
A42	BLDG AC - BUILDING ELEVATIONS
A43	BLDG AD - BUILDING ELEVATIONS
A44	BLDG AE - BUILDING ELEVATIONS
A45	BLDG AF - BUILDING ELEVATIONS
A46	BLDG AG - BUILDING ELEVATIONS
A47	BLDG AH - BUILDING ELEVATIONS
A48	BLDG AI - BUILDING ELEVATIONS
A49	BLDG AJ - BUILDING ELEVATIONS
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A51	BLDG AL - BUILDING ELEVATIONS
A52	BLDG AM - BUILDING ELEVATIONS
A53	BLDG AN - BUILDING ELEVATIONS
A54	BLDG AO - BUILDING ELEVATIONS
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A56	BLDG AQ - BUILDING ELEVATIONS
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A65	BLDG AZ - BUILDING ELEVATIONS
A66	BLDG BA - BUILDING ELEVATIONS
A67	BLDG BB - BUILDING ELEVATIONS
A68	BLDG BC - BUILDING ELEVATIONS
A69	BLDG BD - BUILDING ELEVATIONS
A70	BLDG BE - BUILDING ELEVATIONS
A71	BLDG BF - BUILDING ELEVATIONS
A72	BLDG BG - BUILDING ELEVATIONS
A73	BLDG BH - BUILDING ELEVATIONS
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A75	BLDG BJ - BUILDING ELEVATIONS
A76	BLDG BK - BUILDING ELEVATIONS
A77	BLDG BL - BUILDING ELEVATIONS
A78	BLDG BM - BUILDING ELEVATIONS
A79	BLDG BN - BUILDING ELEVATIONS
A80	BLDG BO - BUILDING ELEVATIONS
A81	BLDG BP - BUILDING ELEVATIONS
A82	BLDG BQ - BUILDING ELEVATIONS
A83	BLDG BR - BUILDING ELEVATIONS
A84	BLDG BS - BUILDING ELEVATIONS
A85	BLDG BT - BUILDING ELEVATIONS
A86	BLDG BU - BUILDING ELEVATIONS
A87	BLDG BV - BUILDING ELEVATIONS
A88	BLDG BW - BUILDING ELEVATIONS
A89	BLDG BX - BUILDING ELEVATIONS
A90	BLDG BY - BUILDING ELEVATIONS
A91	BLDG BZ - BUILDING ELEVATIONS
A92	BLDG CA - BUILDING ELEVATIONS
A93	BLDG CB - BUILDING ELEVATIONS
A94	BLDG CC - BUILDING ELEVATIONS
A95	BLDG CD - BUILDING ELEVATIONS
A96	BLDG CE - BUILDING ELEVATIONS
A97	BLDG CF - BUILDING ELEVATIONS
A98	BLDG CG - BUILDING ELEVATIONS
A99	BLDG CH - BUILDING ELEVATIONS
A00	BLDG CI - BUILDING ELEVATIONS



Plan #1  
AUG 26 2015  
DP 12-624819





MATTHEW CHENG  
ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER BC V6A 2K9  
TEL: (604) 731-3012 / Fax: (604) 731-3908  
Cell: (604) 694-0667 / Email: matthew@mcad.ca

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Revised:

Developer:



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
DEVELOPMENT  
DATA &  
CONTEXT MAP

Drawn:	DC
Checked:	M/C
Scale:	1" = 40'-0"
Project Number:	
Revision Date:	Aug. 15, 2015
Draw. No.:	A01

Address: 8200, 8220, 8280 and 8300 No. 1 Road, Richmond BC  
Applicant: Matthew Cheng Architect Inc. Owner: Centro OneWest Development Ltd.  
Planning Area(s): Seafair  
Floor Area Gross: 3410.47 m<sup>2</sup> (36,770 sf) Floor Area Net: 3172.27 m<sup>2</sup> (34,146 sf)

	Existing	Proposed
Site Area:	5330.09 m <sup>2</sup>	5288.81 m <sup>2</sup>
Land Uses:	SINGLE DETACHED	TOWNHOUSE
OCP Designation:	LOW-DENSITY RESIDENTIAL	LOW-DENSITY RESIDENTIAL
Zoning:	RS1/E	RTL4
Number of Units:	4	28

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.60	0.60	none permitted
Lot Coverage:	Max. 40%	40%	N
Setback - Front Yard:	Min. 6m	6 m	N
Setback - Side Yard:	Min. 3m	3 m	N
Setback - Side Yard:	Min. 3m	3 m	N
Setback - Rear Yard:	Min. 3m	6 m	N
Height (m):	Max. 12m	10.2 m	N
Lot Size:	5330.09 m <sup>2</sup>	5288.81 m <sup>2</sup>	N
Off-street Parking Spaces - Regular/Commercial:	56 and 6	55 and 6	N
Off-street Parking Spaces - Accessible:	1	1	N
Total off-street Spaces:	62	62	N
Tandem Parking Spaces	not permitted	28	N
Amenity Space - Indoor:	Min. 70 m <sup>2</sup>	CASH-IN-LIEU	N
Amenity Space - Outdoor:	Min. 168 m <sup>2</sup>	350 m <sup>2</sup>	N

**Building Height:**

BLDG A - 9.6m (31'-6")  
BLDG B - 10.2m (33'-6")  
BLDG C - 9.6m (31'-6")  
BLDG D - 8.2m (26'-10")  
BLDG E - 7.9m (25'-9")

① CONTEXT PLAN  
1" = 40'-0"



Plan #2  
AUG 2 6 2015  
DP 12-624819

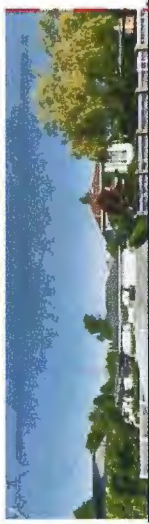




BLUNDELL RD.

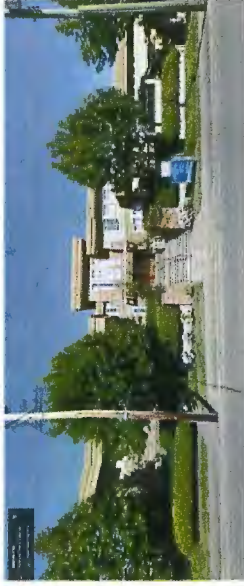
GILMORE PARK UNITED CHURCH

## ALONG NO. 1 RD - FACING EAST



GOLDFALL RD.

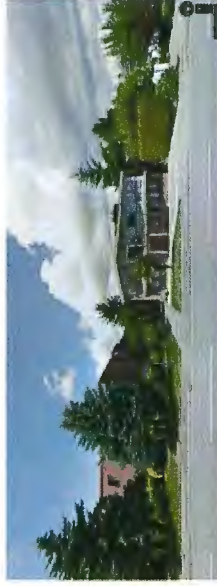
## ALONG NO. 1 RD - FACING EAST



1. Gilmore Park United Church



2. 8720, 8820, 8860, 8900 No. 1 Rd



3. 4211 Francis Rd.



4. 4420/4431 Coldchester Drive

### Visual Cues

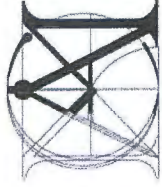
The OneWest Development is situated on an arterial road between two main axes, Blundell Road and Francis Road which connects to the main city centre of Richmond. The development is surrounded by a series of commercial, religious, community centre, schools, single-family residential to multi-family residential. Respecting the surrounding context, we have observed the architecture in the neighbourhood to look for visual cues that is referenced in the OneWest Development.

**1. Gilmore Park United Church** – Located along No. 1 Rd, just North of OneWest development on Blundell Road, we have continued the similar visual language such as; flat roof, variation of rooflines and tactile materials used as cladding along No. 1 Rd to enhance the street level experience.

**2. 8720, 8820, 8860, 8900 No. 1 Rd** – Located along No. 1 Rd, just South of OneWest development on Youngmore Rd, we have taken visual cues such as; flat roof, building height and colour of the exterior siding.

**3. 4211 Francis Rd** – Adjacent to the 8720, 8820, 8860, 8900, 8900 No. 1 Rd on Francis Rd towards the single family development, we have continued and translated the same visual language such as; asymmetrical gable roof form, material palette as cladding.

**4. 4420/4431 Coldchester Drive** – Behind the Rear units of OneWest development towards the single family development, we have translated the visual cues such as; asymmetrical gable roof form.



### MATTHEW CHENG ARCHITECT INC.

Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
Tel: (604) 731-3012 / Fax: (604) 731-3908  
Cell: (604) 604-0669 / Email: matthew@mcac.ca

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Revised:

Developer:



Project Title:

OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title:

SITE CONTEXT /  
VISUAL CUES

Drawn: DC

Checked: MC

Scale: 3/64" = 1'-0"

Project Number:

Revision Date:

Drawn No.:

Print Date:

09/27/15

A02

Plans #3

AUG 26 2015

DP 12-624819



DESIGN RATIONALE

Overview/Site

Matthew Cheng Architect and Centro OneWest Development Ltd. are submitting a package issued for the Development Permit Panel. "OneWest" is a 28-unit townhouse of FAR of 0.6 located in RTL4 Zoning. Along the No. 1 Road as a face of the townhouse development, there will be a row of 3-storey urban townhouses that will activate the street edge and add visual interests to the streetscape along the No. 1 Road. A garbage and recycling area will be located on north of the site away from the outdoor amenity space, near the entrance of the driveway that will be easily accessible by the garbage trucks. Instead of being a stand-alone structure, the garbage and recycling area will be incorporated into architecture that will enhance the overall composition as it steps down from 3 storeys to 1 storey. The rear buildings are 2-storey duplexes and they transition into the single family properties to the East. OneWest development is compatible in scale and from within the surrounding developments. The children's Play area and Outdoor Amenity Area are located in a centralized area where there is less vehicular traffic for safety reasons.

Accessibility

A dedicated pedestrian walkway with the accessible path is located between Building 2B and 3B to the No.1 Road. A handicapped parking space is conveniently located close to the convertible unit with the accessible path.

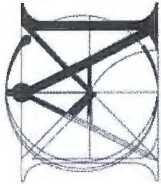
Building Scale/ Form/ Materials

Front Units

The individual units of the front buildings along the No. 1 Road are staggered to articulate the verticality of each unit. By doing this, it also helps break up the flatness of the elevation. The variation of the height and rooflines provide visual diversity and work within the overall form of the development. The two end buildings also step down to 1 storey by the driveway and 2 storeys in South that are intended to respect the surrounding neighbouring buildings. The brick on the ground floor elevation is intended to activate the street edge and to enhance the street level experience for pedestrians walking along the No. 1 Road. By wrapping the brick around the building, it will enrich human scale especially in the entrance walkways. The use of Cedar Siding is to bring warmth and natural material and to contrast from the use of heavy brick on the Ground Floor. Also, the cedar siding is used as an accent material to highlight the entrance and the window wall in its vertical expression. The use of fibre-cement reveal panels on the second and third level is to add lighter yet contemporary look and feel that is complimentary of the building's use as wood and brick. A large roof overhang with a fibre cement soffit (to match cedar siding) will add warmth to pedestrian experience looking from below. Series of "Floating Balconies" is a rigorous architectural expression that will animate the Streetscape along the No. 1 Road. The balconies are choreographed in various sizes to create rhythmic expression that will activate the Street Edge and create visual interest. The balconies are positioned towards north to create privacy and to allow more natural light.

Rear Units

The 2-storey duplexes in the rear units reflect the single family character, working cohesively within the overall development. The rear buildings aim to introduce the same architectural language throughout the development, yet creating a new place-making within the development. The variation of the height and rooflines provide the visual diversity and articulation within the urban form. The use of Cedar Siding is to bring warm material palette and to contrast from the heavy brick. The large roof overhang with the fibre cement soffit (to match cedar siding) will add warmth to pedestrian experience looking from below.



MATTHEW CHENG  
ARCHITECT INC.  
Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K0  
Tel: (604) 681-8888 Fax: (604) 711-3908  
Cell: (604) 689-6669 / Email: matthew@mcac.ca

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Revision:

Developer



Project Title

OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title

DESIGN  
RATIONALE

Drawn:	DC
Checked:	MC
Scale:	
Project Number:	
Revision Date:	Orig. No.:
Print Date:	A03

Plan # 4      AUG 26 2015

DP 12-624819



#8

#8177

#8191

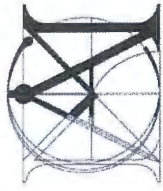
#8199

#8211

#3971

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#8271



**MATTHEW CHENG  
ARCHITECT INC.**  
Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
Tel: (604) 731-3012 Fax: (604) 731-3998  
Cell: (604) 949-6669 Email: matthew@matc.ca

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Revised:

Developer:

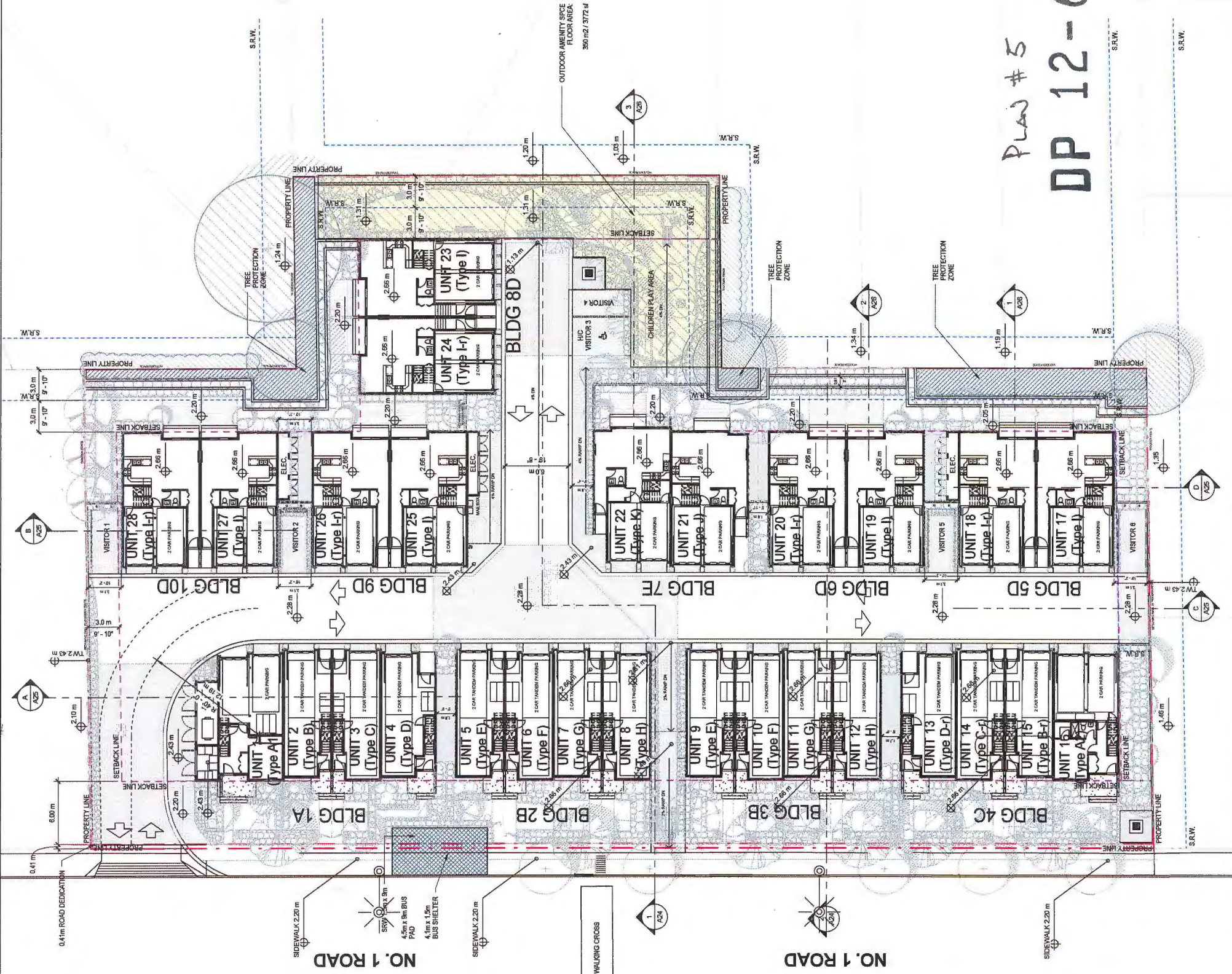


**Project Title**  
OneWest - 8288  
No. 1 Road,  
Richmond

**Street Title**  
SITE PLAN &  
GROUND FLOOR  
PLAN

Drawn:	DC
Checked:	MC
Scale:	1/16" = 1'-0"
Project Number:	
Revision Date:	Dwg. No.:
Print Date:	A06

Plan # 5  
AUG 26 2015  
DP 12-624819







**MATTHEW CHENG  
ARCHITECT INC.**  
UNIT 20 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K0  
TEL: (604) 681-5555 / FAX: (604) 731-3908  
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Revised:

Developer:



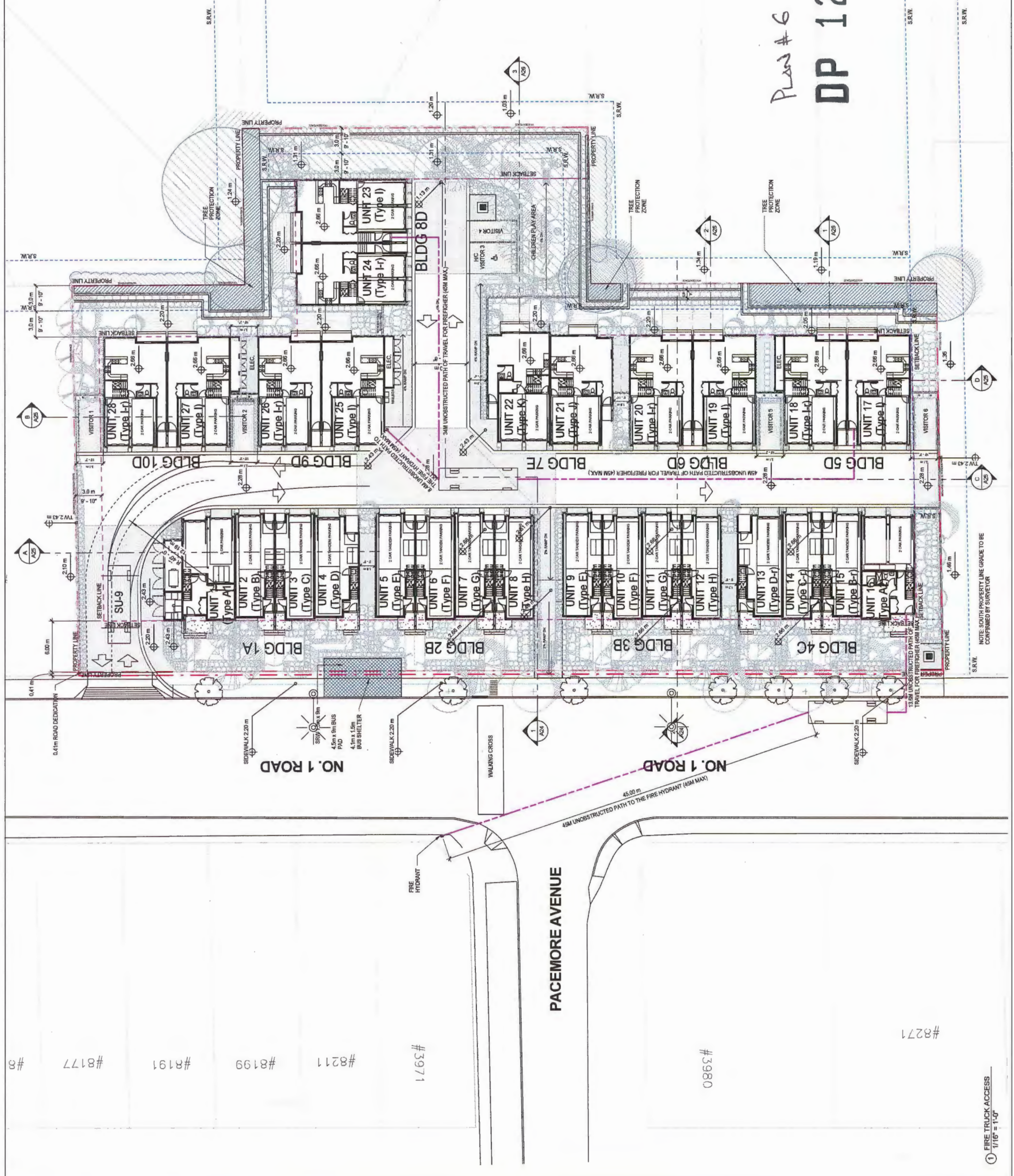
**Project Title**  
OneWest - 8288  
No. 1 Road,  
Richmond

**Sheet Title**  
CODE ANALYSIS  
- FIRE TRUCK  
ACCESS

**Plan # 6**  
AUG 26 2015

**DP 12-624819**

Drawn:	DC
Checked:	MC
Scale:	1/16" = 1'-0"
Project Number:	
Revision Date:	Aug. No.:
Print Date:	08/27/15
	<b>A07</b>



#8

#8177

#8191

#8199

#8211

#3971

0880

#8271





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ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER, BC V6A 2K0  
Tel: (604) 731-5012 / Fax: (604) 731-5908  
Cell: (604) 694-0669 / Email: matthew@mcad.ca

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Revised:

Developer:



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

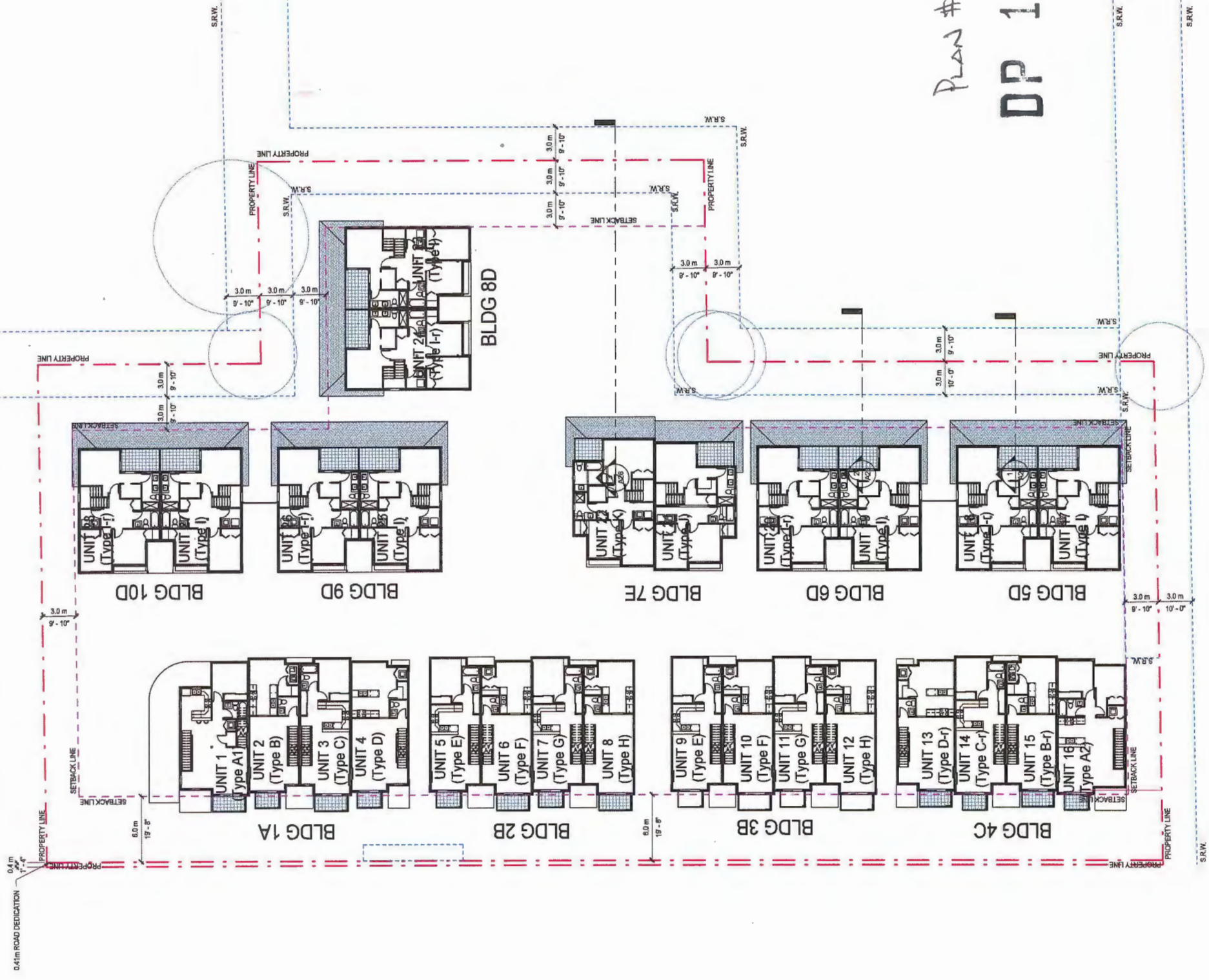
Sheet Title  
LEVEL 2 FLOOR  
PLAN

AUG 26 2015

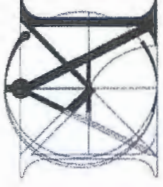
Plan #7

DP 12-624819

Drawn:	DC
Checked:	MC
Scale:	1/16" = 1'-0"
Project Number:	
Revision Date:	
Dwg. No.:	A08
Plot Date:	09/27/15







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ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER, BC V6A 2K3  
Tel: (604) 731-0077 / Fax: (604) 731-3968  
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Revisions:

Developer:



Project Title:  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title:  
LEVEL 3 FLOOR  
PLAN

AUG 26 2015

Plan #8

DP 12-624819

Drawn: DC

Checked: MC

Scale: 1/16" = 1'-0"

Project Number:

Revision Date:

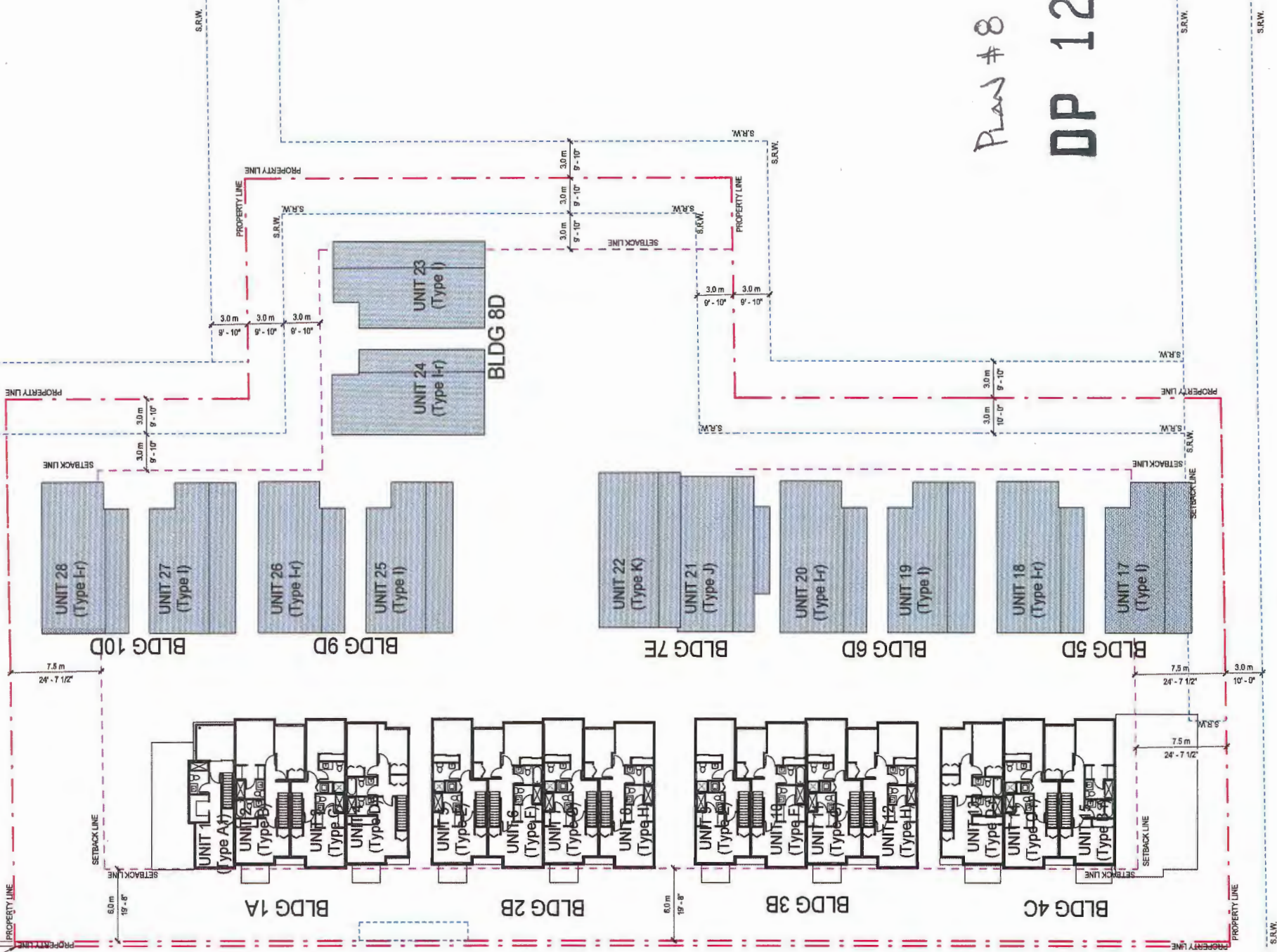
Dwg. No.:

Print Date:

08/27/15

A09

0.41m ROAD DEDICATION





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Revision:

Developer:

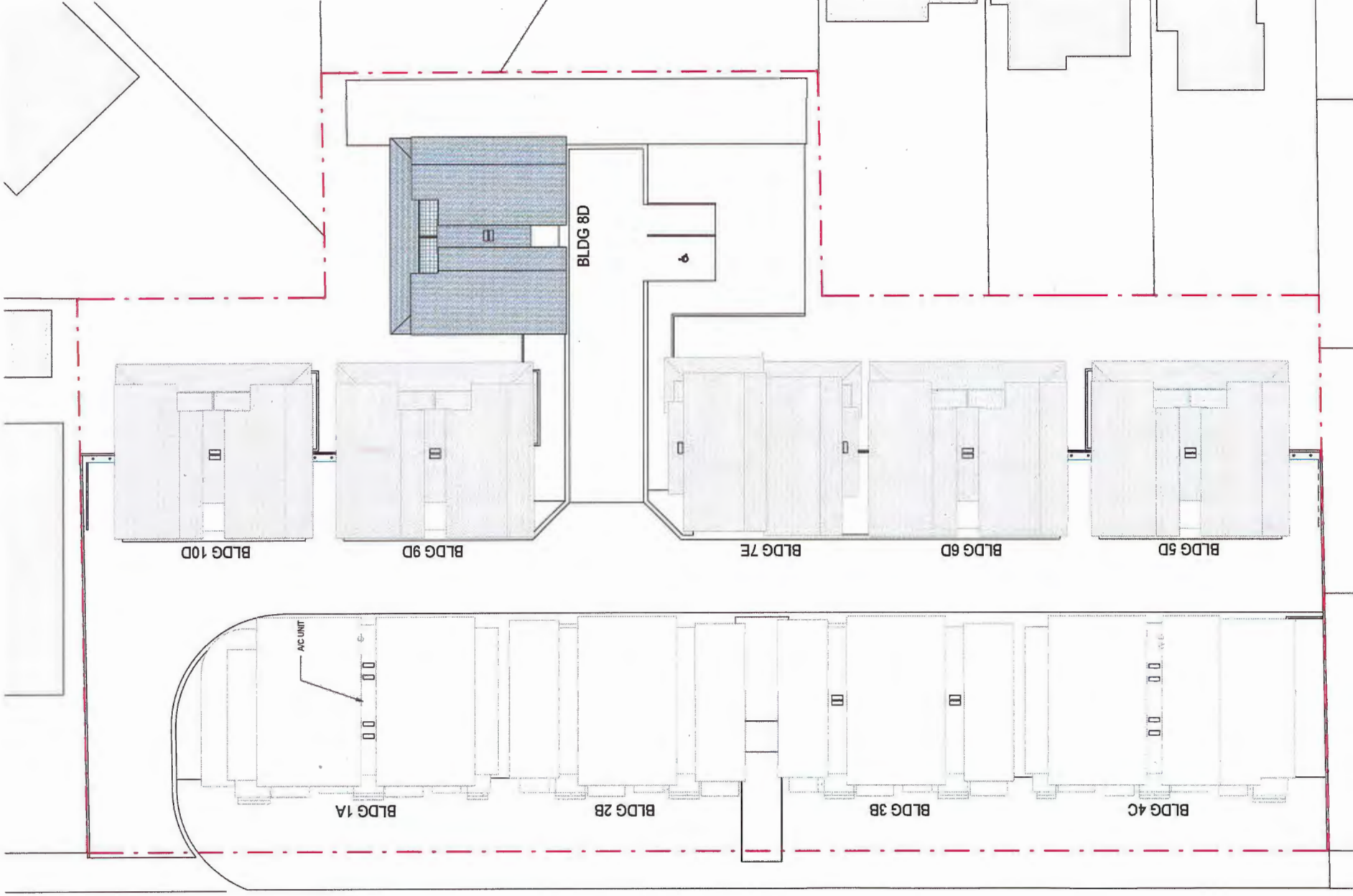


Project Title:  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title:  
ROOF PLAN

Plan # 9  
AUG 2 6 2015  
DP 12-624819

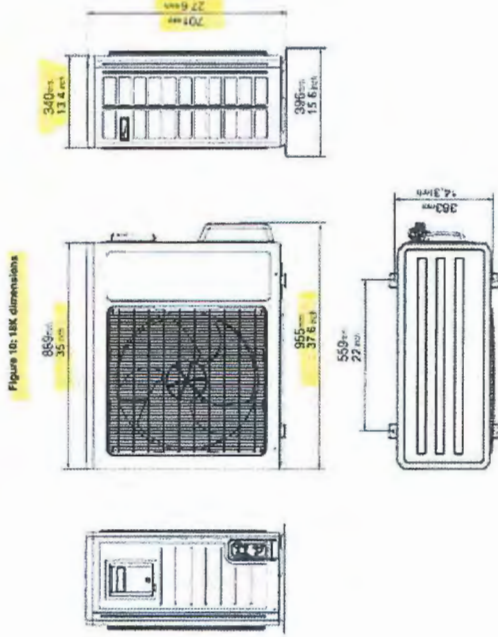
Drawn:	Author
Checked:	Checker
Scale:	1/16" = 1'-0"
Project Number:	
Revision Date:	Aug. No.:
Print Date:	08/27/15
	A10



① ROOF PLAN  
1/16" = 1'-0"

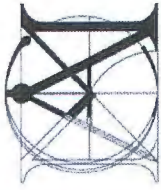
### DETTSON A/C UNIT - COND-18-01

#### DIMENSIONS:



NOTE: REFER TO PRODUCT INFORMATION ATTACHED TO DPP PACKAGE





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Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
Tel: (604) 731-3012 / Fax: (604) 731-3908  
Cell: (604) 694-6669 / Email: matthew@mcaci.ca

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Revision:

Developer:



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
STREETSCAPE  
ELEVATION -  
FRONT BLDGS  
(ALONG NO. 1  
RD)

Drawn: DC

Checked: MC

Scale: 1 : 150

Project Number:

Revision Date: Dwg. No.:

Plot Date: 09/27/15

A11



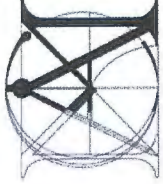
① Front Bldgs - West (FACING NO.1 RD)  
1 : 150



② Front Bldgs - East  
1 : 150

Plan #10  
AUG 26 2015  
DP 12-624819





MATTHEW CHENG  
ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER BC V6B 2K0  
Tel: (604) 582-7777 Fax: (604) 711-3088  
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Revisions:

Developer:



Project Title:

OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
STREETSCAPE  
ELEVATION -  
REAR BLDGS

Drawing: DC

Checked: MC

Scale: 1 : 150

Project Number:

Revision Date:

Print Date:

Dwg. No.:  
A12



① Rear Bldgs - West  
1 : 150



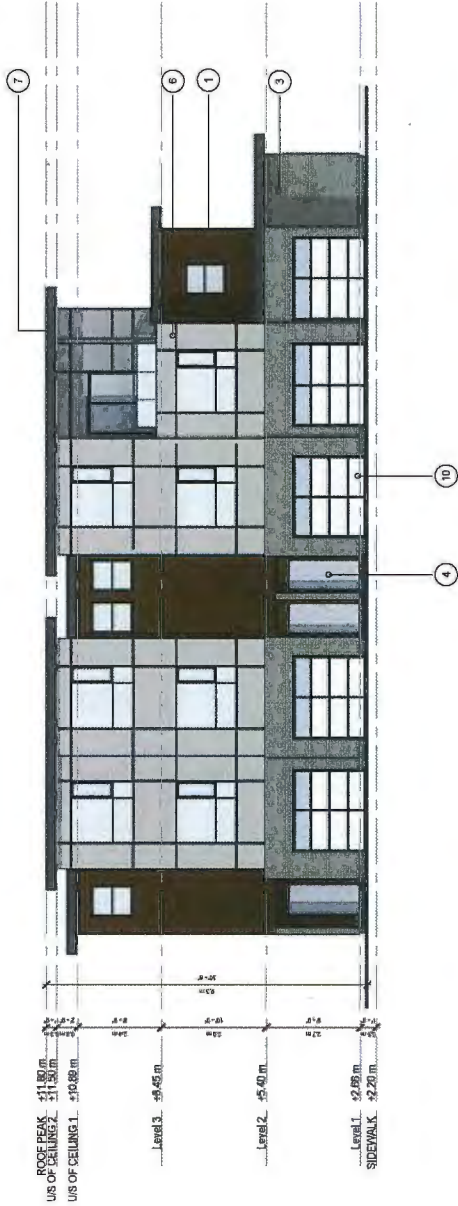
② Rear Bldgs - East  
1 : 150

Plan # 11      AUG 26 2015  
DP 12-624819

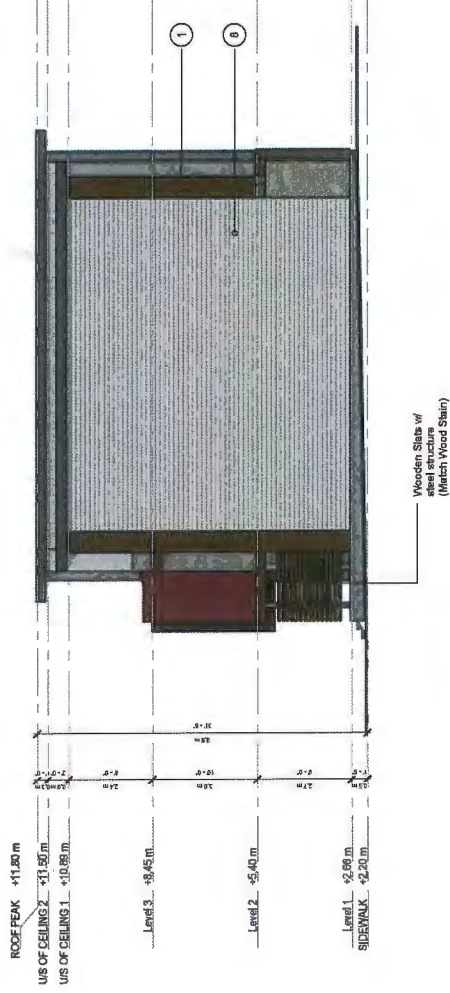
1. Horizontal Cedar Sliding (Base Solid - Oxford Brown - Benjamin Moore)
2. Concrete
3. Light Sandstone - Endicott
4. Fibreglass Door - Benjamin Moore (2111-50)
5. Hardie Reveal Panel - Benjamin Moore (2082-10)
6. Hardie Reveal Panel - Benjamin Moore (2111-50)
7. SPS Membrane
8. HardiePanel Vertical Sliding - Benjamin Moore (2111-50)
9. Hardie Soffit to match Cedar Sliding
10. Aluminium Garage Door w/ Solid Panels & Obscured Glass on top - Charcoal
11. HardiePanel Vertical Sliding (Balcony) - Benjamin Moore (2111-50)
12. Soffit (Balcony) - Benjamin Moore (2111-50)
13. Aluminium Streetfront Door w/ Obscured Glass - Charcoal



① BLDG A - West  
1/8" = 1'-0"



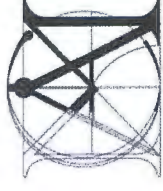
③ BLDG A - East  
1/8" = 1'-0"



② BLDG A - South  
1/8" = 1'-0"



④ BLDG A - North  
1/8" = 1'-0"



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ARCHITECT INC.**  
Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K9  
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Developer:



Project Title:

**OneWest**

Sheet Title  
**BLDG A -  
BUILDING  
ELEVATIONS**

Drawn: DC

Checked: MC

Scale: As indicated

Project Number:

Revision Date: Dwg. No.:

Print Date: 08/27/15

**A14**

Plan #12  
AUG 26 2015  
DP 12-624819



BLDG 2B

- Horizontal Cedar Siding (Steel Solid - Natural Cedarstone stain - Benjamin Moore)
- Concrete
- Sienna Ironspot Smooth brick - Endicott
- Flareglass Door - Benjamin Moore (2082-10)
- Hardie Revell Panel (Balcony) - Benjamin Moore (2114-40)
- Hardie Revell Panel - Benjamin Moore (2114-40)
- SPS Membrane
- Hardie Soffit to match Cedar Siding
- Aluminum Garage Door w/ Solid Panels & Obscured Glass on top - Charcoal
- HardiePanel Vertical Siding (Balcony) - Benjamin Moore (2082-10)
- Soffit (Balcony) - Benjamin Moore (2082-10)

BLDG 3B

- Horizontal Cedar Siding (Steel Solid - Natural Cedarstone stain - Benjamin Moore)
- Concrete
- Sienna Ironspot Smooth brick - Endicott
- Flareglass Door - Benjamin Moore (2114-40)
- Hardie Revell Panel (Balcony) - Benjamin Moore (2082-10)
- Hardie Revell Panel - Benjamin Moore (2114-40)
- SPS Membrane
- Hardie Soffit to match Cedar Siding
- Aluminum Garage Door w/ Solid Panels & Obscured Glass on top - Charcoal
- HardiePanel Vertical Siding (Balcony) - Benjamin Moore (2114-40)
- Soffit (Balcony) - Benjamin Moore (2114-40)



④ West  
1/8" = 1'-0"



① East  
1/8" = 1'-0"



② North  
1/8" = 1'-0"



③ South  
1/8" = 1'-0"

NOTE: BRICK IS VISIBLE ONLY FROM THE MAIN WALKWAY. BRICK IS USED ON BLDG 2B SOUTH ELEVATION & BLDG 3B NORTH ELEVATION



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ARCHITECT INC.

Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6A 2K0  
TEL: (604) 731-3012 / Fax: (604) 731-3908  
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Developer:



Project Title:

OneWest

Sheet Title  
BLDG B -  
BUILDING  
ELEVATIONS

Drawn: DC

Checked: MC

Scale: As indicated

Project Number:

Revision Date:

Proj. Date: 08/27/15

Proj. No.: A16

Plan #13  
AUG 26 2015  
DP 12-624819



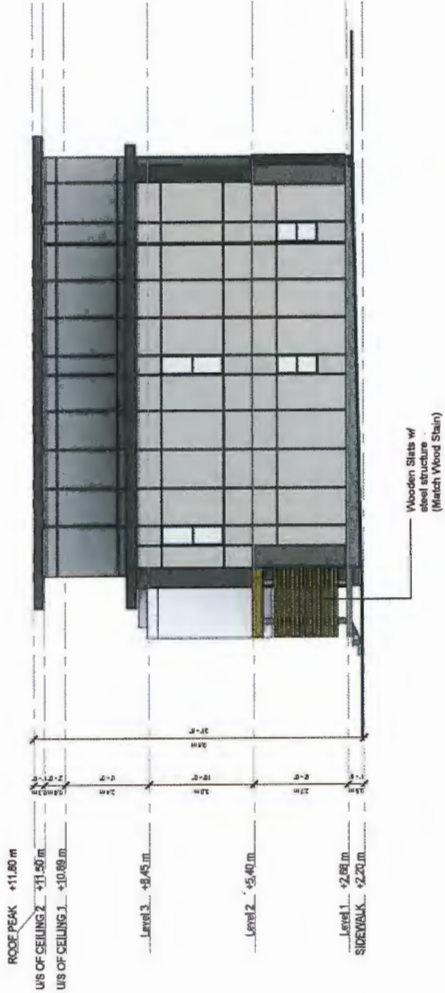
1. Horizontal Cedar Siding (Semi Solid - Natural Cedarstone stain - Benjamin Moore)  
2. Concrete  
3. Sierra Inset Spot Smooth brick - Endicott  
4. Fiberglass Door - Benjamin Moore (2082-10)  
5. Hardie Reveal Panel - Benjamin Moore (2135-70)  
6. Hardie Reveal Panel - Benjamin Moore (2111-50)  
7. SPS Membrane  
8. HardiePanel Vertical Siding - Benjamin Moore (2111-50)  
9. Hardie Soffit to match Cedar Siding  
10. Aluminum Garage Door w/ Solid Panels & Obscured Glass on top - Charcoal  
11. HardiePanel Vertical Siding (Balcony) - Benjamin Moore (2082-10)  
12. Soffit (Balcony) - Benjamin Moore (2082-10)



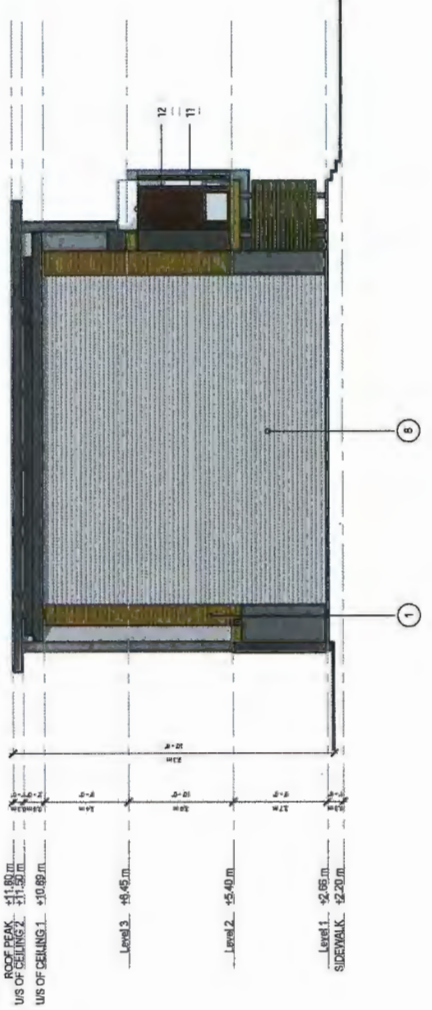
② BLDG C - West  
1/8" = 1'-0"



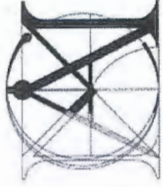
① BLDG C - East  
1/8" = 1'-0"



③ BLDG C - South  
1/8" = 1'-0"



④ BLDG C - North  
1/8" = 1'-0"



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ARCHITECT INC.**  
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Developer:



Project Title:

**OneWest**

Sheet Title  
**BLDG C -  
BUILDING  
ELEVATIONS**

Drawn: DC

Checked: MC

Scale: 1/8" = 1'-0"

Project Number:

Revision Date: Dwg. No.:

Print Date: 09/27/15

**A18**

PLAN #14  
AUG 26 2015  
DP 12-624819





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ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER, BC V6A 2K5  
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Revised:

Developer:



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
BLDG D -  
BUILDING  
ELEVATIONS /  
FLOOR PLANS

Drawn:	DC
Checked:	MC
Scale:	As indicated
Project Number:	
Revision Date:	Aug. No.:
Print Date:	A19

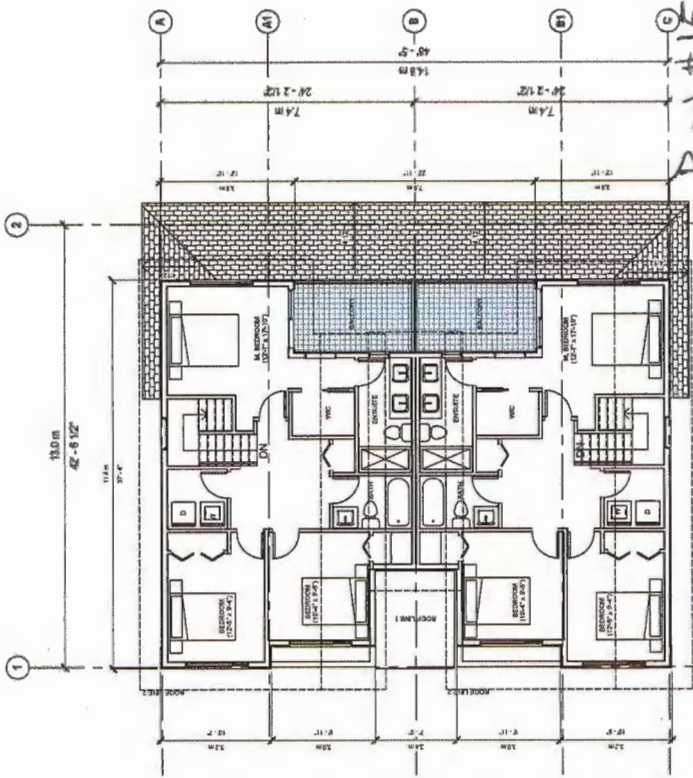


1. Horizontal Cedar Siding (Bam Solid - Natural Cedar) tone stain - Benjamin Moore
2. Concrete
3. Sierra Ironspol Smooth brick - Endicott
4. Fireglass Door - Benjamin Moore (2082-10)
5. Hardie Reveal Panel - Benjamin Moore (2111-09)
6. Asphalt Shingles
7. HardiePanel Vertical Siding - Benjamin Moore (2111-09)
8. Hardie Soffit to match Cedar Siding
9. Aluminium Garage Door w/ Solid Panels & Obscured Glass on top - Charcoal

4 South  
1/8" = 1'-0"



6 North  
1/8" = 1'-0"



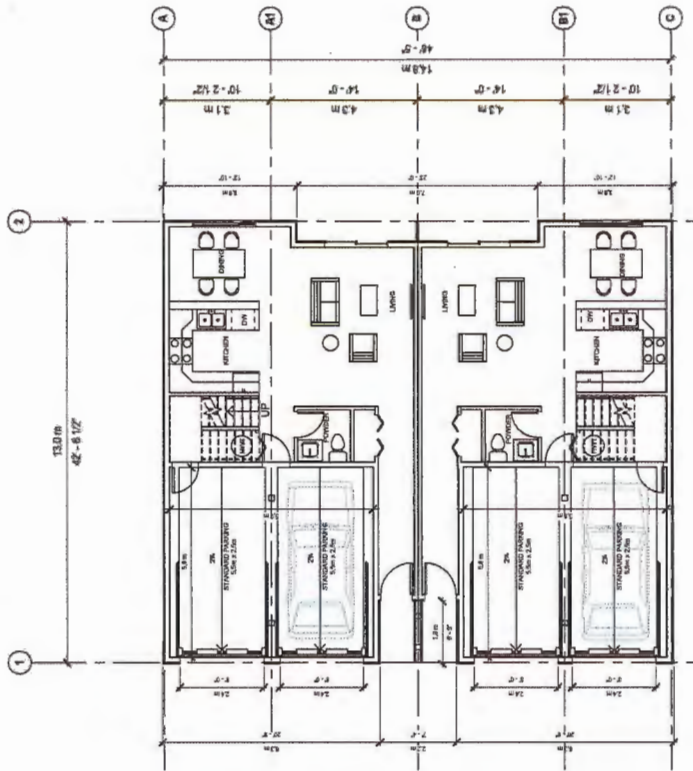
2 Level 2  
1/8" = 1'-0"



3 West  
1/8" = 1'-0"



5 East  
1/8" = 1'-0"



1 Level 1  
1/8" = 1'-0"

AUG 26 2015

PLAN #15

DP 12-624819

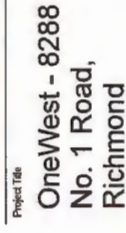




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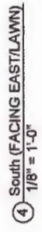
Developer



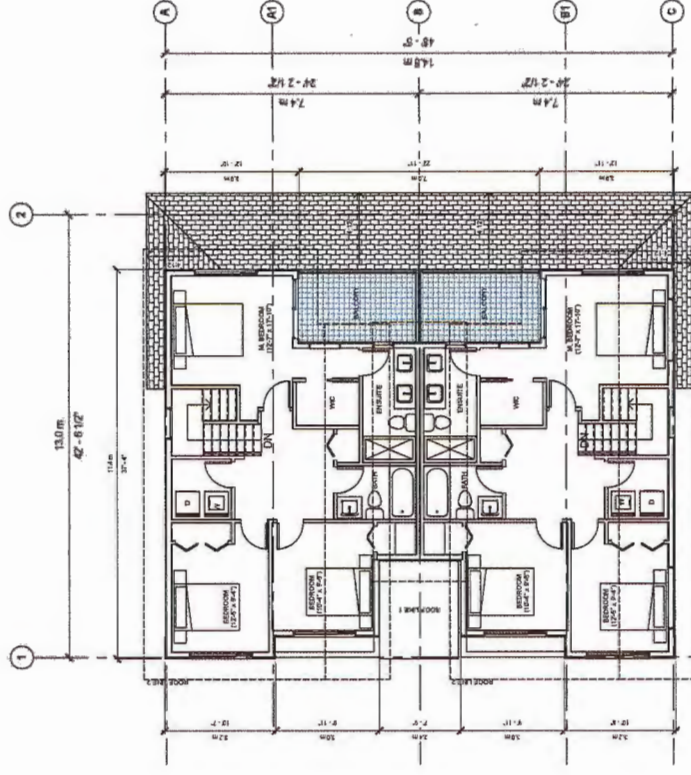
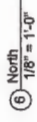
Sheet Title

**BLDG 8D -  
BUILDING  
ELEVATIONS /  
FLOOR PLANS**

A20



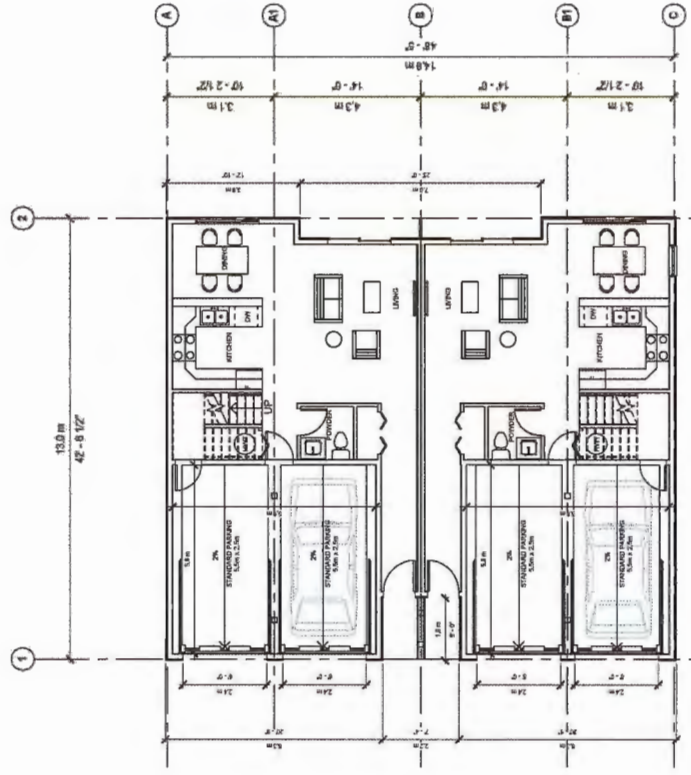
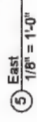
1. Horizontal Cedar Siding (stain solid - Natural Cedar stain - Benjamin Moore)
2. Concrete
3. Stensa Transport Smooth brick - Endicott
4. Fiberglass Door - Benjamin Moore (2032-19)
5. Hardie Ruxel Panel - Benjamin Moore (2111-60)
6. Asphalt shingles
7. HardiePanel Vertical Siding - Benjamin Moore (2111-60)
8. Hardie Soffit to match Cedar Siding
9. Aluminum Garage Door of Solid Panels & Obscured Glass on top - Chancelor
10. Obscured Glass on top - Chancelor



6/13/24

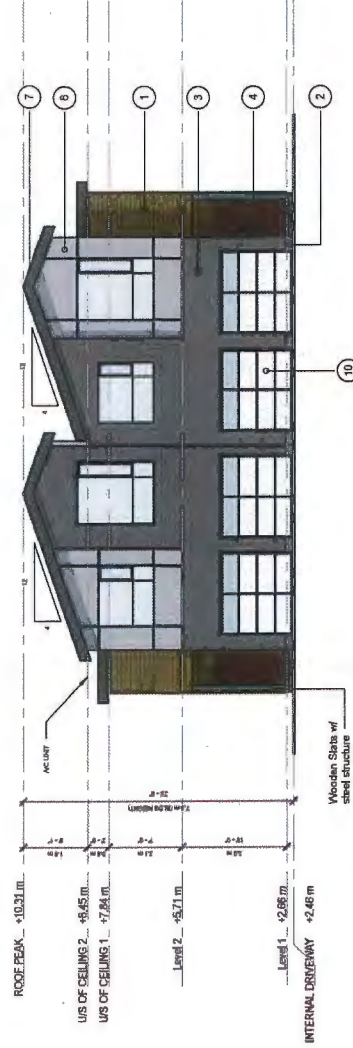
AUG 26 2015

DP 12-624819

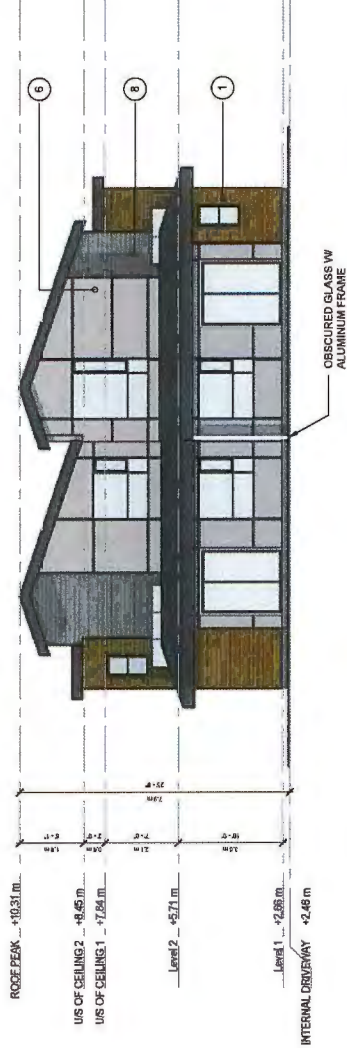


$$\text{Level 1} \\ 1/8^n = 1 \cdot 0^n$$





① West  
1/8" = 1'-0"



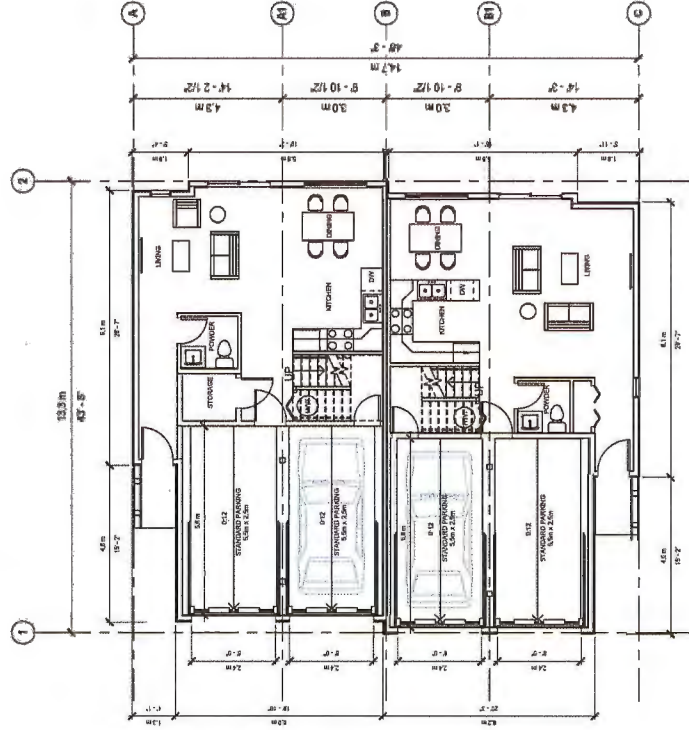
③ East  
1/8" = 1'-0"



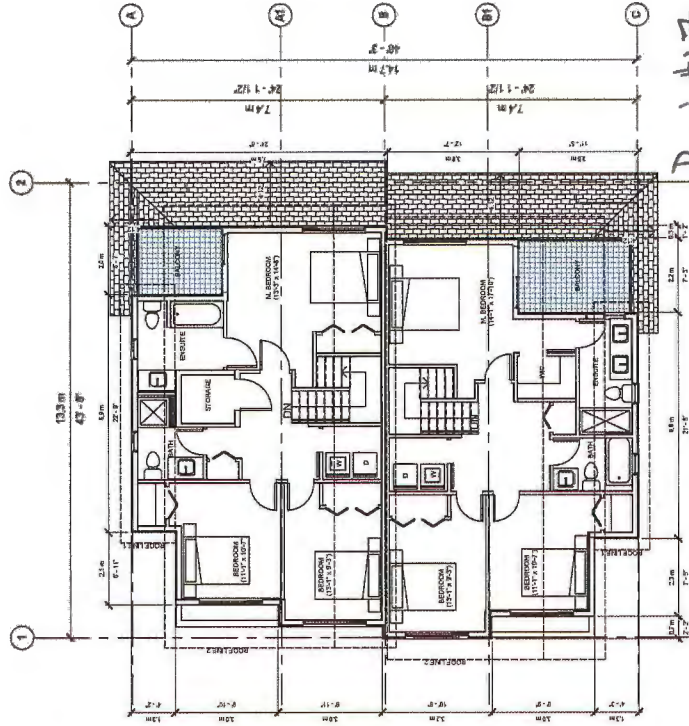
② South  
1/8" = 1'-0"



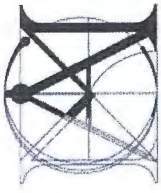
④ North  
1/8" = 1'-0"



⑤ Level 1  
1/8" = 1'-0"



⑥ Level 2  
1/8" = 1'-0"



**MATTHEW CHENG  
ARCHITECT INC.**  
1447 202-670 EVANS AVENUE  
VANCOUVER BC V6A 2K0  
Tel: (604) 731-3012 / Fax: (604) 731-3908  
Cell: (604) 649-5669 / Email: matthew@mcacat.ca

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Revision:

Developer:



Project Title  
**OneWest - 8288  
No. 1 Road,  
Richmond**

Sheet Title  
**BLDG E -  
BUILDING  
ELEVATIONS /  
FLOOR PLANS**

Drawn: DC

Checked: MC

Scale: As indicated

Project Number:

Revision Date:

Orig. No.:

Print Date:

08/27/15

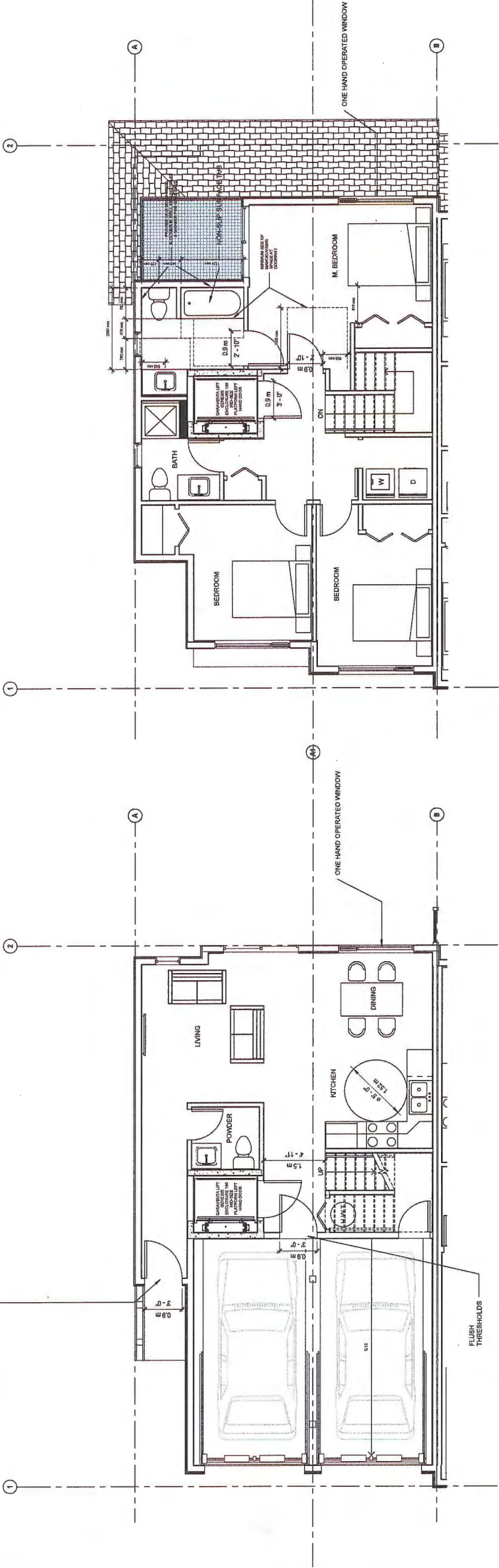
A21

Plan #17 AUG 26 2015

DP 12-624819



PROVIDE ELECTRICAL  
ROUGH IN FOR POWER OP  
DOOR



① Level 1 Convertible Unit  
1/4" = 1'-0"

② Level 2 Convertible Unit  
1/4" = 1'-0"

Revised:

Developer



Project Title

OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title

BLDG E -  
CONVERTIBLE  
UNIT

Drawn: DC

Checked: MC

Scale: 1/4" = 1'-0"

Project Number:

Revision Date:

Drawn No.:

Print Date:

08/27/15

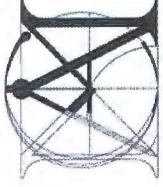
A22

NOTE:  
AGING IN PLACE FEATURES WILL BE PROPOSED  
IN ALL UNITS OF THIS PROJECT SUCH AS SOLID  
BLOCKING IN WASHROOM WALLS TO FACILITATE  
GRAB BAR INSTALLATION FOR TOILET, TUB AND  
SHOWER, LEVER-TYPE HANDLES FOR PLUMBING  
FIXTURES AND DOOR HANDLES.

Plan # 18 AUG 26 2015

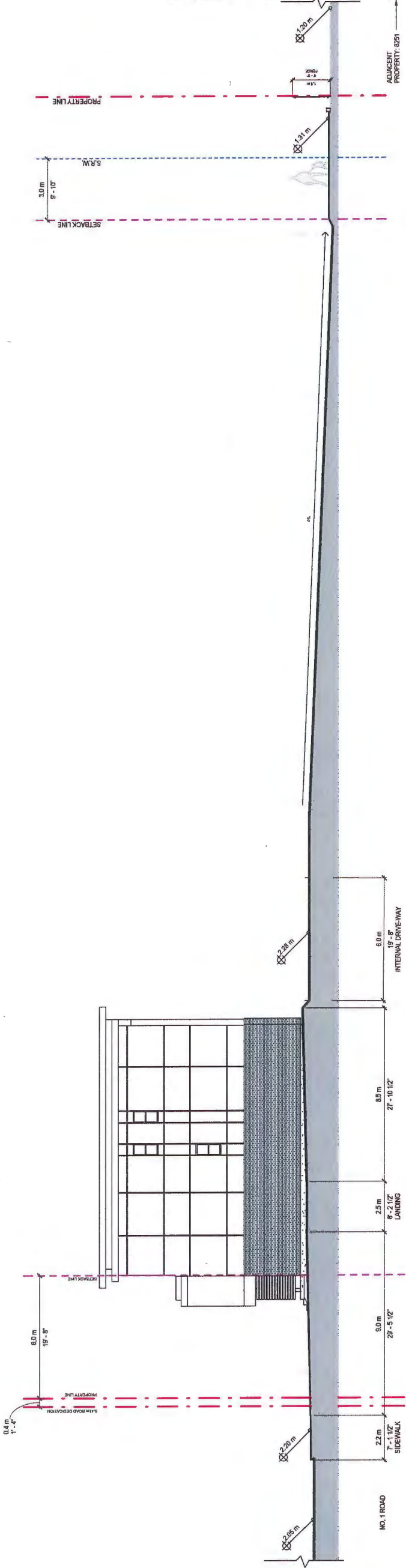
DP 12-624819

Checklist - Convertible Unit Guidelines for Townhouses	
Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access. <span>Provided</span>
	Entry door clear exterior floor space min. 1,220 mm depth by door width plus 600 mm on each side (not needed if rough in wiring provided for future automatic door opener). <span>Provided</span>
	Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear width and min. 1,220 mm height. <span>Provided</span>
	Demonstrate wheelchair access between the hallway and rooms and widen hallway and/or doorway(s) if necessary to secure access. <span>Provided</span>
	Pratio balcony min. 860 mm clear opening. Note how accessed. <span>Provided</span>
	All interior thresholds within unit comply with BC Building Code. <span>Provided</span>
Vertical Circulation	Lever-type handles for all doors <span>Provided</span>
	Stair lift, staircase width, railing, support, and landings, as noted on floor plans at compliance with manufacturer specs <span>n/a</span>
	Vertical lift, depressed rib area, and landings, as noted on floor plans in compliance with manufacturer specs <span>Provided</span>
	At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to center. <span>Provided</span>
Hallways	Min. 900 mm width. <span>Provided</span>
Garage	Min. 1 accessible parking space with min. 1 m garage width. <span>Provided</span>
Bathroom (Min. 1)	Access from garage to living area min. 800 mm clear opening. <span>Provided</span>
	Toilet clear floor space min. 1020 mm at side and in front. <span>Provided</span>
	Wall blocking for future grab bar installation at toilet, tub and shower, reinforced with 2" x 12" solid lumber in all bedrooms, shower, and toilet rooms. <span>Provided</span>
	Lever-type handles for plumbing fixtures. <span>Provided</span>
	Pressure and temperature control valves are installed on all shower faucets. <span>Provided</span>
	Cabinets underneath sink(s) are easily removed. <span>Provided</span>
Kitchen	Demonstrate bath and shower controls are accessible (layout or fixture placement). <span>Provided</span>
	Clear area needed under future work space. Plumbing and gas pipes (in wall and in floor) located clear of under counter area of future work space (minimum 150 mm clearance). All pipes and conduits are supported higher than 304 mm to 355 mm to the center of the pipe from floor level. <span>Provided</span>
	Cabinets underneath sink are easily removed. <span>Provided</span>
	1500 mm turning diameter or turning path diagram. <span>Provided</span>
Windows	Lever-type handles for plumbing fixtures. <span>Provided</span>
	Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room). <span>Provided</span>
Outlets & Switches	Placement locations of electrical outlets: beside window, bottom of stairways, beside toilet, above external doors (outside of kitchen), on front face of kitchen counter, within proximity of control centre for smart home system. <span>Provided</span>
	Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room. <span>Provided</span>



MATTHEW CHENG  
ARCHITECT INC.  
1141-202-670 EVANS AVENUE  
VANCOUVER BC V6A 2K3  
TEL (604) 731-3012 / Fax (604) 731-3938  
Cell (604) 649-5669 / Email: matthew@mcad.ca

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CROSS SECTION ALONG ENTRY &  
INTERNAL DRIVEWAY  
①  
1/8" = 1'-0"

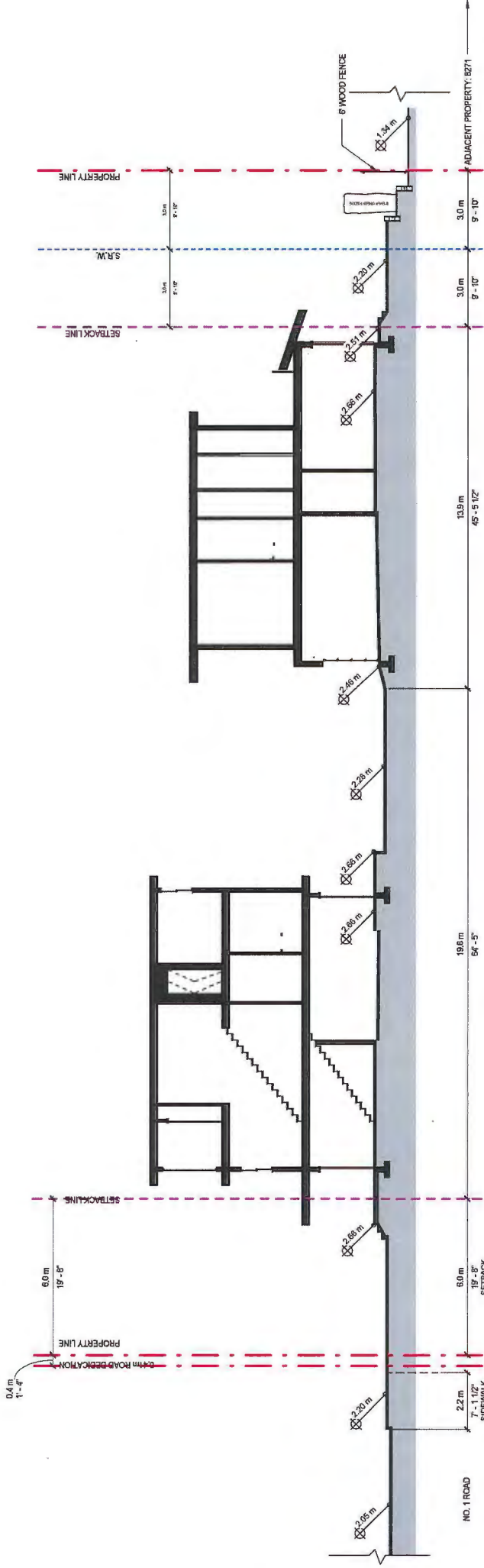
Developer



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
CROSS-SECTIONS

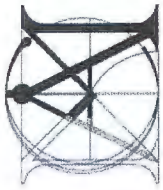
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Revision Date:	Drawn: MC
Print Date: 09/27/15	Sheet Number: A24



CROSS SECTION ALONG BLDG B & C  
②  
1/8" = 1'-0"

Plan #19  
AUG 26 2015  
DP 12-624819





MATTHEW CHENG  
ARCHITECT INC.  
Unit 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6C 2K6  
Tel: (604) 731-3012 / Fax: (604) 731-3908  
Cell: (604) 649-4669 / Email: matthew@mcaci.ca

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Revised:

Developer:



Project Title:  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title:  
CROSS-SECTIONS  
ALONG  
RETAINING  
WALL - NORTH &  
SOUTH OF OF  
PL

Drawn: DC

Checked: MC

Scale: 1/8" = 1'-0"

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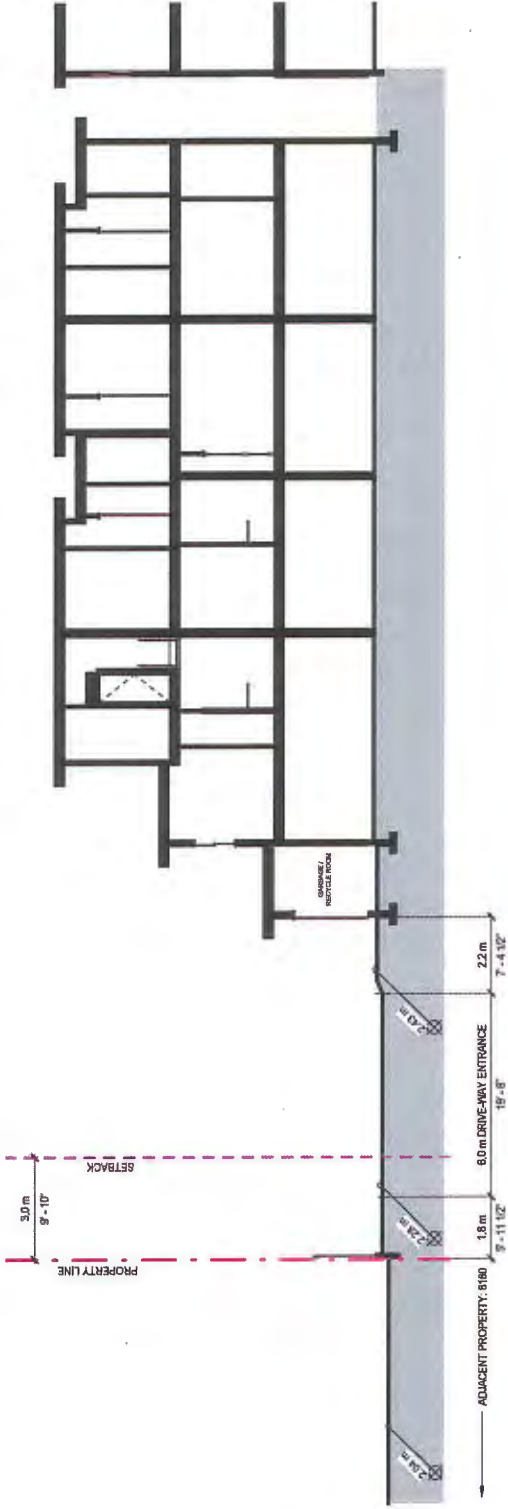
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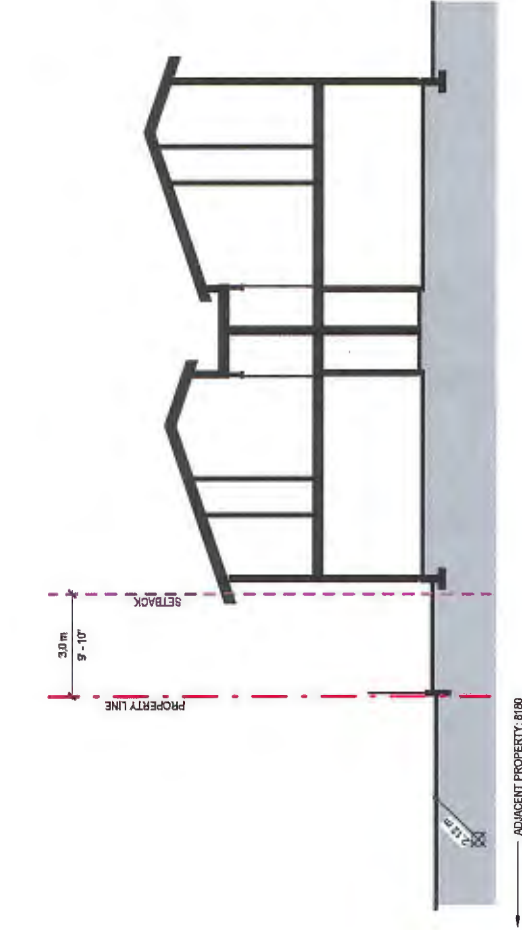
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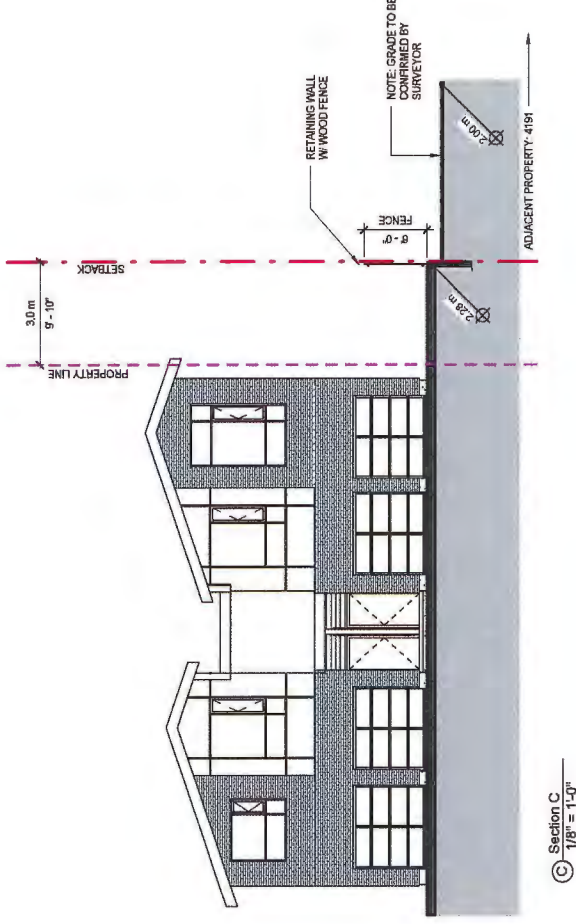
A25



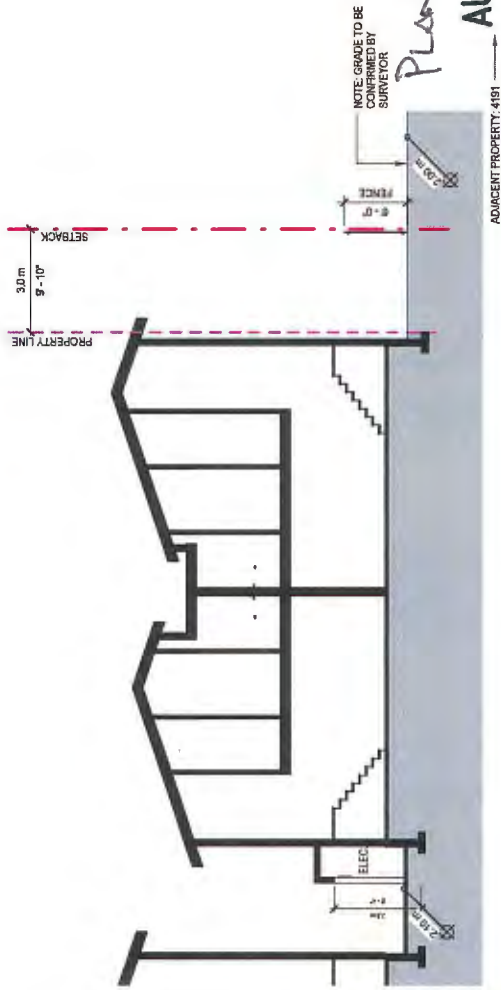
Section A  
1/8" = 1'-0"



Section B  
1/8" = 1'-0"



Section C  
1/8" = 1'-0"



Section D  
1/8" = 1'-0"

Plan #20  
AUG 26 2015

DP 12-624819



MATTHEW CHENG  
ARCHITECT INC.  
1401 202 - 670 EVANS AVENUE  
VANCOUVER, BC V6L 1C5  
TEL: (604) 731-5012 / (604) 731-3908  
FAX: (604) 731-5012 / (604) 731-3908  
Cell: (604) 549-4669 / Email: matthew@macai.ca

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Developer:

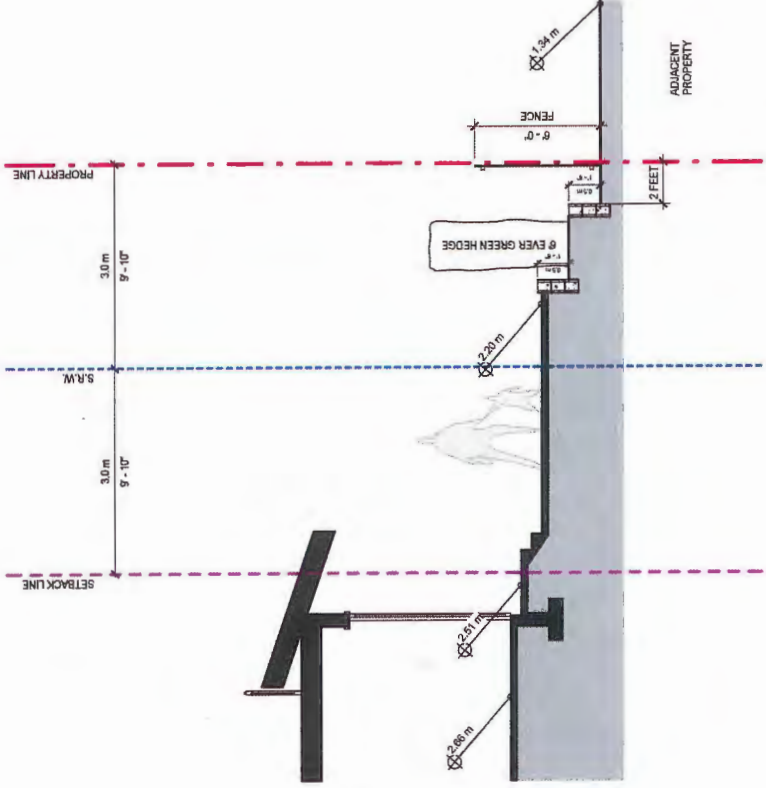


Project Title:  
OneWest - 8288  
No. 1 Road,  
Richmond

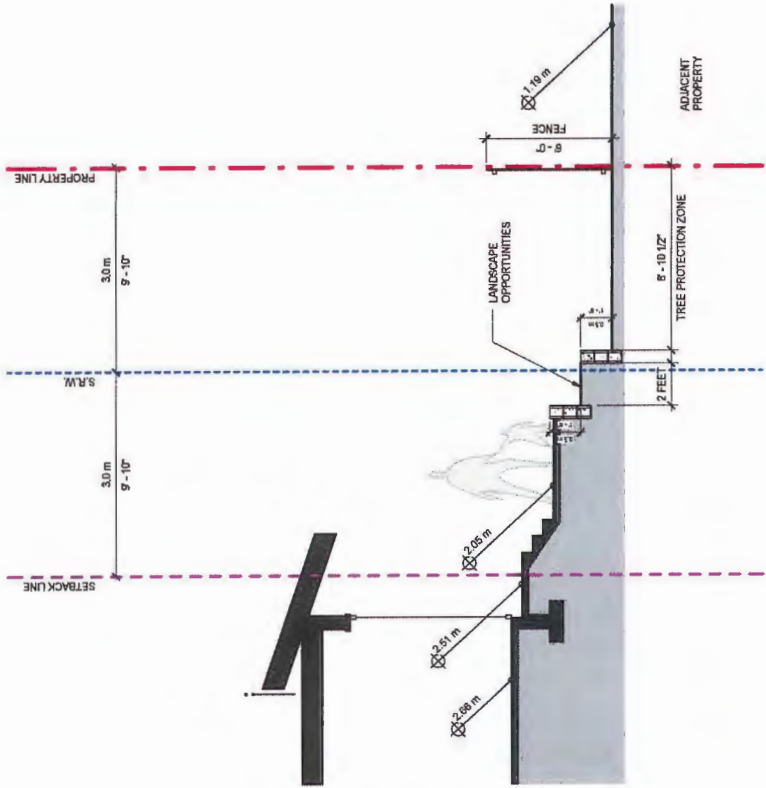
AUG 26 2015

DP 12-624819  
CROSS-SECTIONS  
ALONG  
RETAINING  
WALL - EAST OF  
PL

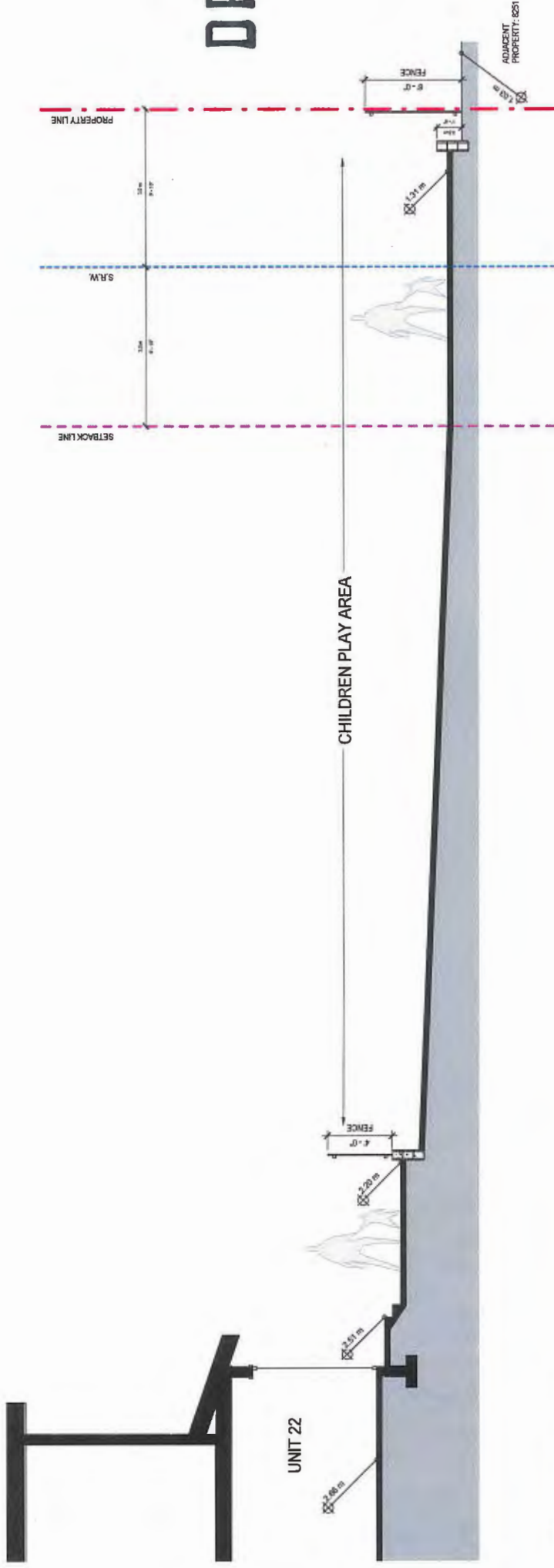
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Project Number:	
Revision Date:	Dwg. No.:
Print Date:	A26



② REAR GRADE SECTION B  
1/4" = 1'-0"



① REAR GRADE SECTION A  
1/4" = 1'-0"



③ REAR GRADE SECTION C - ALONG  
CHILDREN PLAY AREA  
1/4" = 1'-0"

NOTE: REFER TO LANDSCAPE PLAN FOR PLANTING SCHEME



KOMPAN: Model-GSP 1020; CASTLE TOWER  
By RecTec Industries -Ph.:604-940-0067



PLANT SCHEDULE			PMG JOB NUMBER: 15-020	REMARKS
KEY	QTY	BOTANICAL NAME	COMMON NAME	
1	1	ACER RUPIDUM 'HIMMELSTROM'	CELANOVAR RED MAPLE	80% CAL: 2M STD, B&B
2	3	ACER RUPIDUM 'RED SUNSET'	RED SUNSET MAPLE	80% CAL: 2M STD, B&B
3	8	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	80% CAL: 1.5M STD, B&B
4	1	FAGUS SYLVATICA 'DAWKINS PURPLE'	PURPLE MAHOGANY	80% CAL: 1.5M STD, B&B
5	14	MAHONIA 'KOBUS STELLATA'	STAR MAGNOLIA	3M HT: B&B-STD
6	11	PINUS RESLISUS VANCEWOLFF'S PYRAMID	VANCEWOLFF'S PYRAMID PINE	2M HT: B&B
7	12	PRUNUS SEROTINATA 'MANAGAWA'	AMAGAWA CHERRY	80% CAL: 1.5M STD, B&B
8	12	PRUNUS CALLERYANA 'CARITAL'	CAPITAL PEAR	80% CAL: 1.5M STD, B&B
9	2	THUJA PLICATA	WESTERN RED CEDAR	4M HT: B&B
10	246	BIJULUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT: 40CM
11	246	CORNUS ALBA 'ELEGANTISSIMA'	VARIEGATED SPUR DOGWOOD	#3 POT: 50CM
12	68	PIERIS APONCANA VALEET ROSE	PIERIS	#3 POT: 50CM
13	88	SPARGANGLUM 'WEDDING WALK'	WEDDING WALK	#2 POT: 30CM
14	88	SPARGANGLUM 'WEDDING WALK'	WEDDING WALK	#2 POT: 30CM
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60	88	SPARGANGLUM 'WEDDING WALK'	WEDDING WALK	#2 POT: 30CM
6	1	CLEMATIS	CLEMATIS	#1 POT
7	1	CLEMATIS	CLEMATIS	#1 POT
8	162	BERGENIA CORDEOLA	HEARTLEAF BERGENIA	#2 POT: 80CM STAKED
9	354	AJUGA REPTANS 'ATROPURPUREA'	CARPET BUGLE	11 CM POT
10	109	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT: 20CM
11	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
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13	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
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86	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
87	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
88	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
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90	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
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92	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
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94	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
95	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
96	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
97	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
98	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
99	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
100	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
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102	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
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172	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
173	13	BERGENIA WRIGHT WINE	WINE BERGENIA	#1 POT: 40CM
174				

NOTES: \* PLANT SPECIES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BG VASCULAR FLORA BOOK, LATEST EDITION. \*\* PLANT SPECIES SPECIFIED AS PER CAN. STANDARDS, BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*\* REFER TO SPECIFICATIONS FOR DESIGNED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. \* AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: ONLY WHEN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL, UNIMPROVED SUBSTITUTIONS WILL BE ACCEPTED. \*\* THE SPECIFIED MATERIAL AND WORKSHIPMAN MUST MEET OR EXCEED THE CAN. STANDARDS. \*\* DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKSHIPMAN MUST MEET OR EXCEED THE CAN. STANDARDS.

DATE: February 25, 2015

SCALE:  $1/16^{\text{th}} = 1^{\text{ft}} - 0^{\text{in}}$ 

DRAWN: DD

DESIGN: DD  
CHK'D: PCM

PMG PROJECT NUMBER:

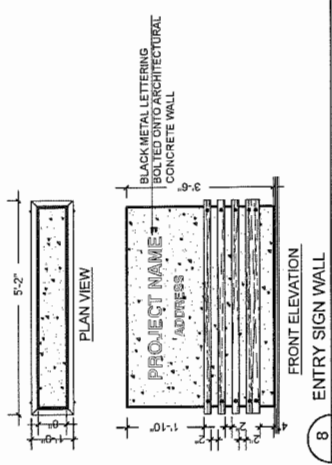
15026-5 ZIP

Plan #22 AUG 26 2015

DP 12-624819

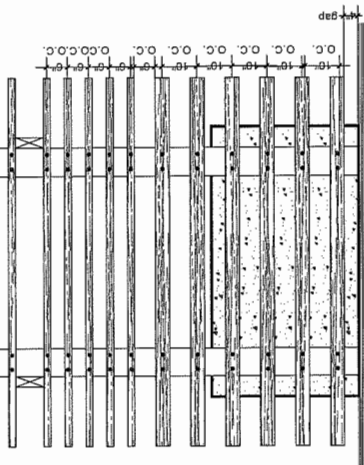


SEAL:



NOTES:

1. ALL WOOD P.T. HEM/FIR
2. ALL FASTENERS HOTDIPPED GALVANIZED
3. STAIN ALL EXPOSED SURFACES WITH TWO COATS PREMIUM WEATHERPROOFING STAIN, COLOUR TO MATCH ARCH.; PROVIDE SAMPLE TO OWNER FOR PRE-APPROVAL PRIOR TO APPLICATION
4. WOOD FINISH TO MATCH ARCHITECTURAL



SIDE ELEVATION



3.	15 AUG 12	NEW SITE PLAN	DO
2.	15 AUG 07	AS PER CITY REQUEST	DO
1.	15 JUN 19	NEW SITE PLAN / COMMENTS	DO

NO.	DATE	REVISION DESCRIPTION	DR.
-----	------	----------------------	-----

CLIENT:

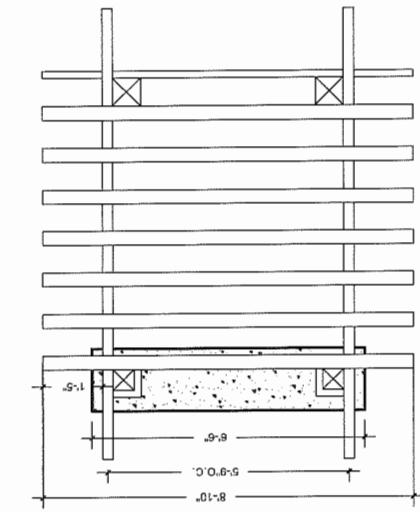
PROJECT:  
**28 UNIT TOWNHOUSE  
DEVELOPMENT  
"FOUNTAIN BLEU"**  
  
8200, 8220, 8280, 8300 NO. 1 ROAD  
RICHMOND

WITH MATTHEW CHENG ARCHITECT INC.  
DRAWING TITLE:

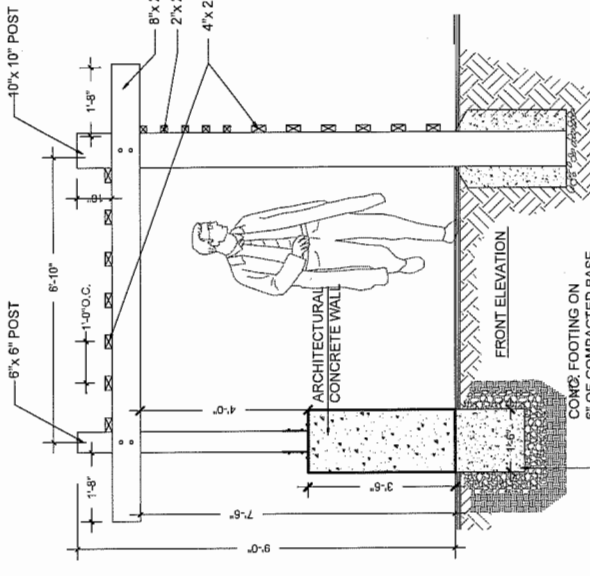
**LANDSCAPE  
DETAILS**

DATE: February 25, 2015  
SCALE: AS SHOWN  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
DRAWING NUMBER:  
**L2**  
OF 5

PMG PROJECT NUMBER:  
15025-32P

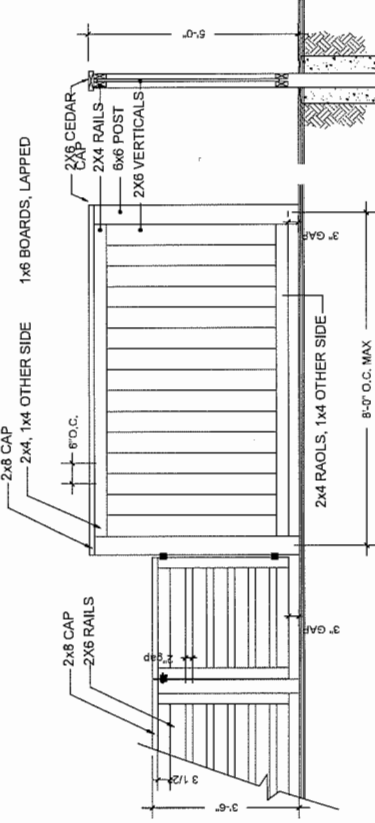


PLAN VIEW



ENTRY FEATURE

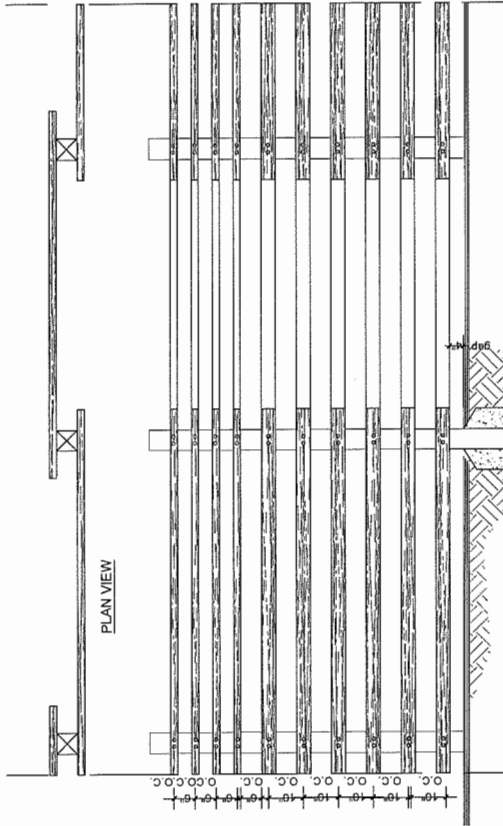
1/2" = 1'-0"



NOTES:

1. ALL WOOD P.T. HEM/FIR
2. ALL FASTENERS HOTDIPPED GALVANIZED
3. STAIN ALL EXPOSED SURFACES WITH TWO COATS PREMIUM WEATHERPROOFING STAIN, COLOUR TO MATCH ARCH.; PROVIDE SAMPLE TO OWNER FOR PRE-APPROVAL PRIOR TO APPLICATION
4. STEP FENCE IN EQUAL SEGMENTS TO FOLLOW GRADE AT PROPERTY LINE.

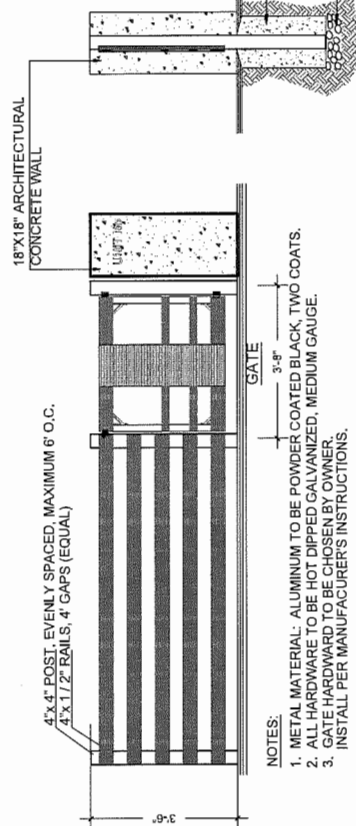
4. 5' HT PATIO SCREEN AND  
42" HT WOOD FENCE WITH GATE



FRONT ELEVATION

8

1/2" = 1'-0"

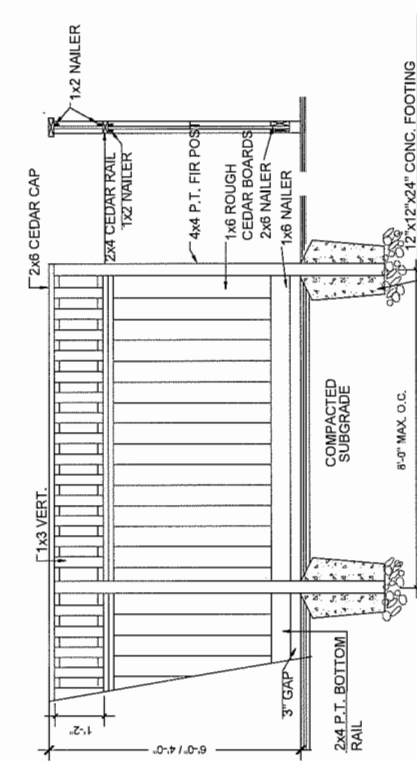


NOTES:

1. METAL MATERIAL: ALUMINUM TO BE POWDER COATED BLACK, TWO COATS.
2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. ALUMINUM FENCE TO BE POWDERCOATED SEM-GLOSS BLACK

1. 42" ALUMINUM RAIL FENCE WITH GATE

1/2" = 1'-0"



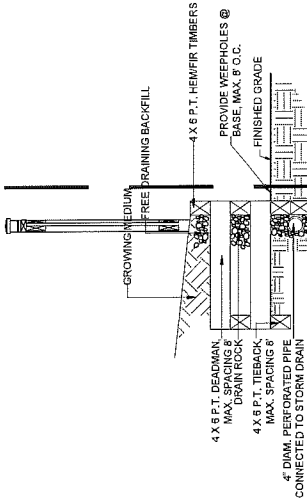
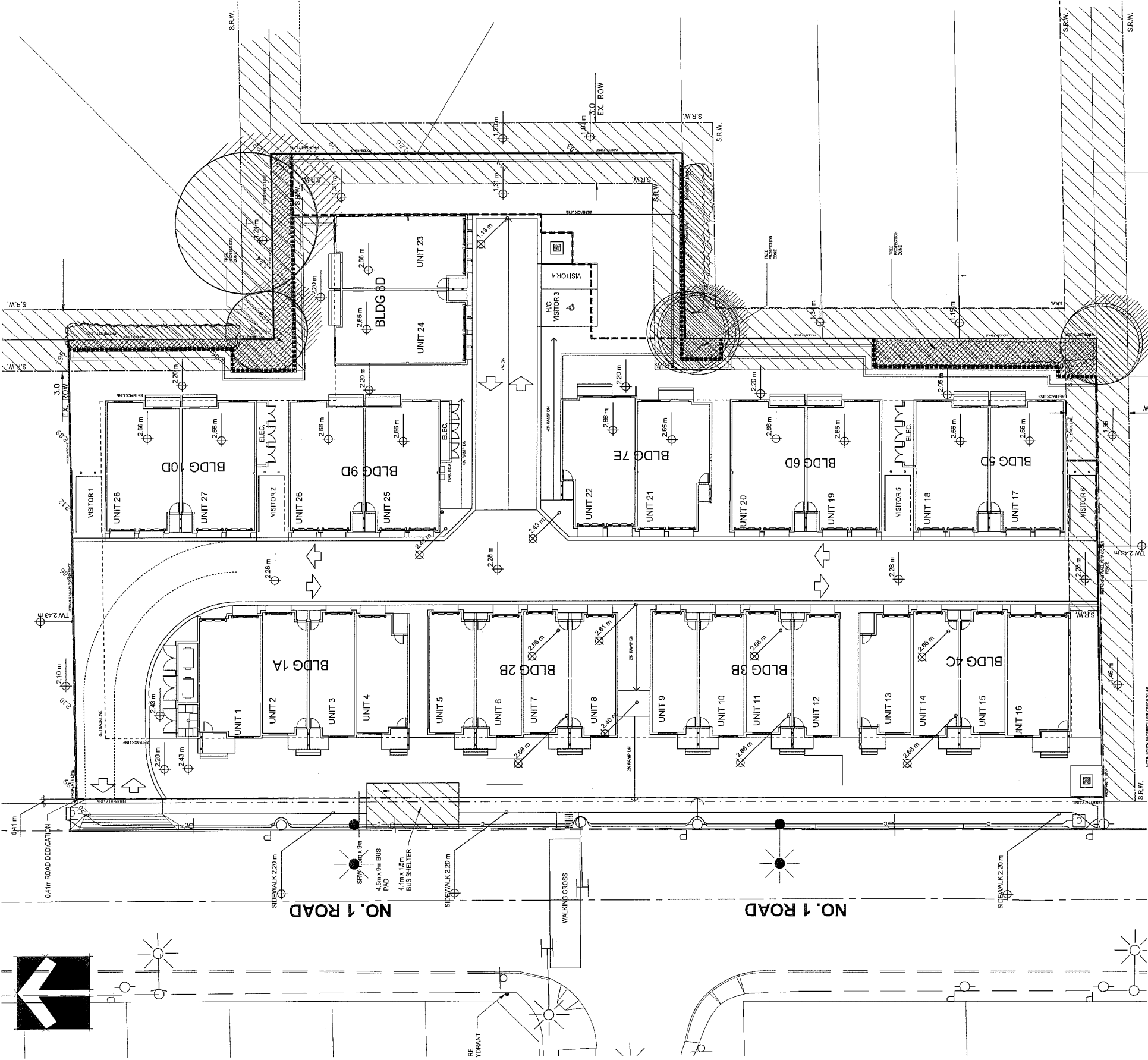
NOTES:

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE
2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3'-6".

3. 4'-0"/ 6'-0" HEIGHT WOOD FENCE WITH LATTICE

7. 1/3 PLAY AREA BALANCE LOG

DP 12-624819



TREE TO RETAIN

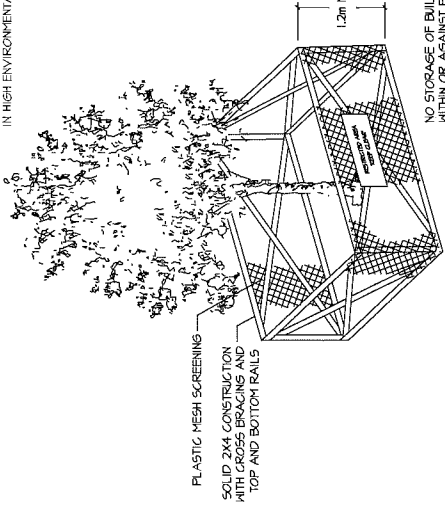
TREE TO REMOVE

TREE PROTECTION FENCE

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TRUNK DIAMETER 1" DBH" (INCHES)	MINIMUM REQUIRED PROTECTION RADIUS (DIAMETER OF TRUNK IN METRES)
20	12
25	15
30	18
35	21
40	24
45	27
50	30
55	33
60	36
75	45
90	54
100	60

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100" DBH. TO 1/4" INCHES AT BREAST HEIGHT OR 1.4M FT



**1A TREE PROTECTION BARRIER**  
L-1

NOTE:

if there are any questions regarding any arboriculture issues for this project, kindly contact Catherine MacDonald  
Ph.: 604-904-0302 or catherine@catherinemacdonald.ca

PLAN # 24  
AUG 26 2015  
DP 12-624819

PROJECT:  
**28 UNIT TOWNHOUSE DEVELOPMENT "FOUNTAIN BLEU"**  
8200, 8220, 8280, 8300 NO. 1 ROAD  
RICHMOND

WITH MATTHEW CHENG ARCHITECT INC.  
DRAWING TITLE:  
**TREE MANAGEMENT PLAN**

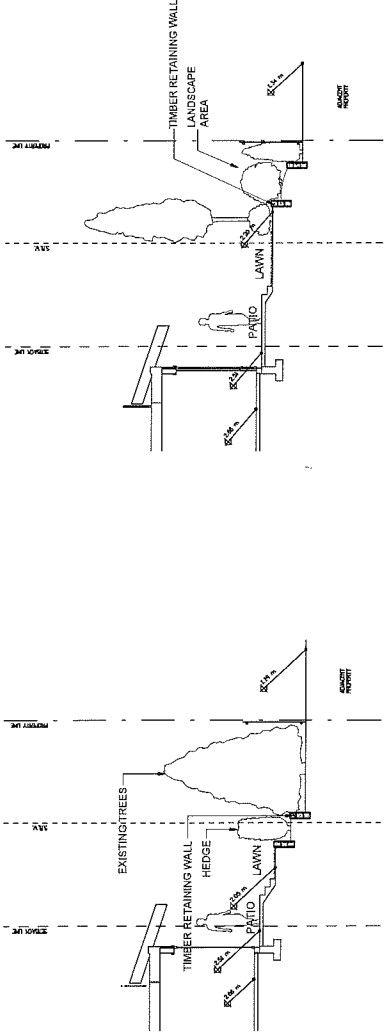
DATE: February 25, 2015  
SCALE: 1/16"=1'-0"  
DRAWN: DD  
DESIGN: DD  
CHKD: PCW

**L3**

OF 5

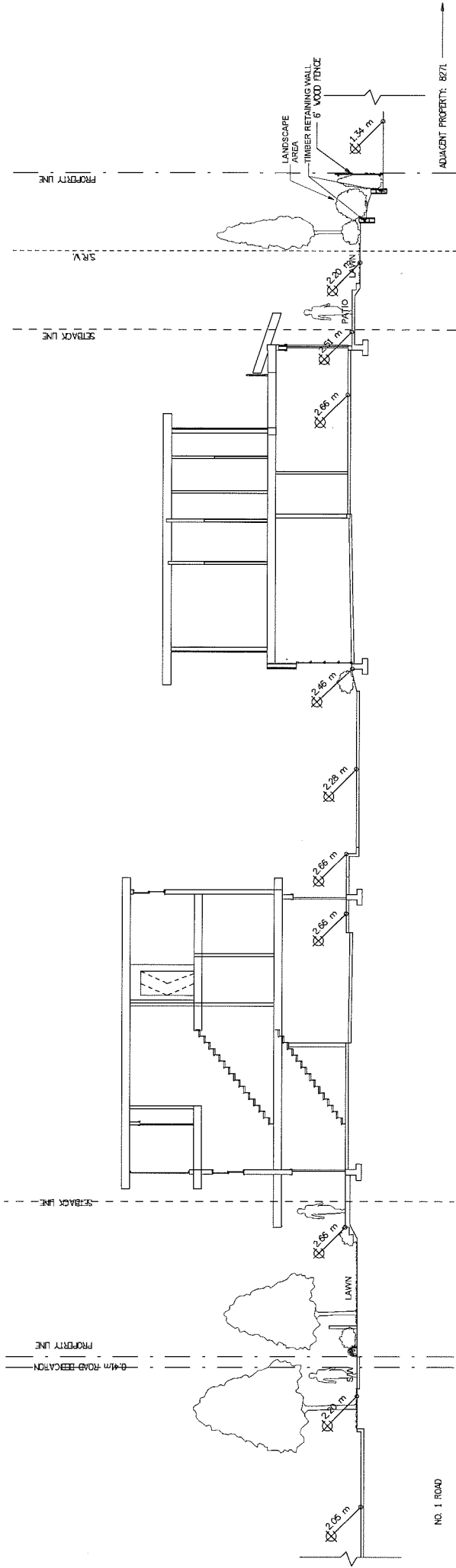
PMG PROJECT NUMBER: 15026-SZP

SEAL:



SECTION A

SECTION B



SECTION C

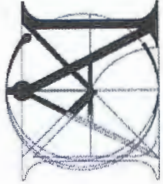
PROJECT:  
**28 UNIT TOWNHOUSE  
DEVELOPMENT  
"FOUNTAIN BLEU"**  
  
8200, 8220, 8280, 8300 NO. 1 ROAD  
RICHMOND

WITH MATTHEW CHENG ARCHITECT INC.  
DRAWING TITLE:

**LANDSCAPE  
SECTIONS**

DATE: February 25, 2015  
SCALE: 1/8"=1'-0"  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
DRAWING NUMBER:  
**L4**  
OF 5  
PMG PROJECT NUMBER:  
15006-521P





MATTHEW CHENG  
ARCHITECT INC.  
114-202 GORDON AVENUE  
VANCOUVER, BC V6A 2E0  
Tel: (604) 731-9012 / Fax: (604) 731-3008  
Cell: (604) 649-0669 / Email: matthew@mcad.ca

THIS DRAWING MUST NOT BE SCALED. THE  
DIMENSIONS AND LEVELS SHOWN ARE THE  
DESIGNER'S INTENT. ALL DIMENSIONS  
AND LEVELS SHALL BE REPORTED IMMEDIATELY  
TO THE ARCHITECT BY THE CONTRACTOR  
AND SHALL BE MAINTAINED AT ALL TIMES.  
REMAIN THE EXCLUSIVE PROPERTY OF  
MATTHEW CHENG ARCHITECT INC. AND MAY  
NOT BE USED OR REPRODUCED WITHOUT PRIOR  
WRITTEN CONSENT.

Revised:

Developer:



Project Title:

OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
VIEWS - FRONT  
BLDGs

Drawn: DC

Checked: MC

Scale:

Project Number:

Revision Date:

Print Date:

08/27/15

Draw. No.:

A27



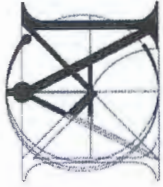
① View from West (Along No. 1 Rd)



② View from North West

REFERENCE PLAN AUG 26 2015  
DP 12-624819





MATTHEW CHENG  
ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER, BC V6A 2K0  
Tel: (604) 731-3012 / Fax: (604) 731-3988  
Cell: (604) 649-0669 / Email: matthew@mcad.ca

THIS DRAWING MUST NOT BE SCALED. THE  
DIMENSIONS AND LEVELS PRIOR TO  
CONSTRUCTION SHALL BE REPORTED IMMEDIATELY  
TO THE ARCHITECT. ANY CHANGES TO  
THE FIRST PLAN AND DESIGN ARE AND AT ALL TIMES  
REMAIN THE EXCLUSIVE PROPERTY OF  
MATTHEW CHENG ARCHITECT INC. AND MAY  
NOT BE USED OR REPRODUCED WITHOUT PRIOR  
WRITTEN CONSENT.

Revisions



③ View from West (Along Internal Drive-Aisle)

Developer



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
VIEWS - REAR  
BLDGS



① Rear - View from West

Drawn: DC	
Checked: MC	
Scale:	
Project Number:	
Revision Date:	Dwg. No.:
Print Date: 08/27/15	A28

REFERENCE PLAN AUG 26 2015  
DP 12-624819





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Revision:



Sheet Title

④ ENTRANCE

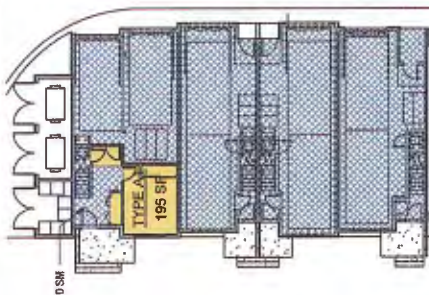
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Print Date:

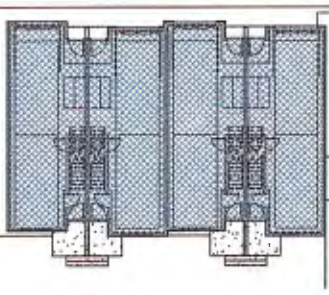
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REFERENCE PLAN  
AUG 26 2015  
DP 12-624819

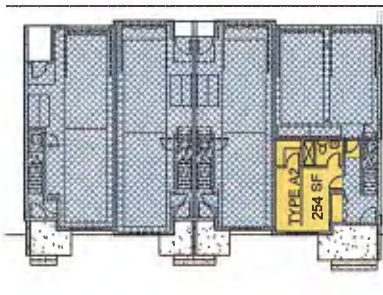




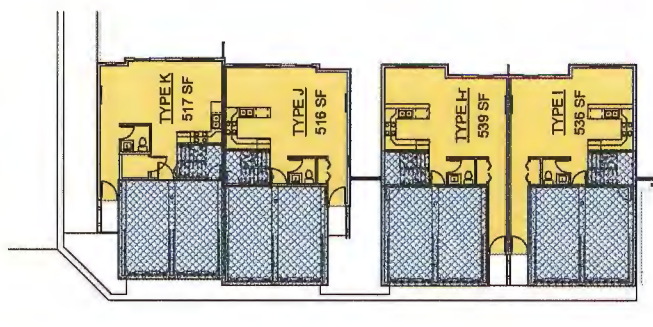
BLDG A



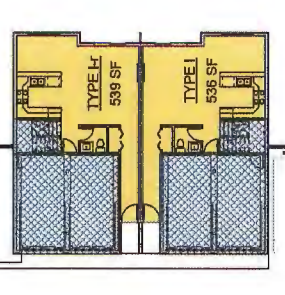
BLDG B



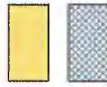
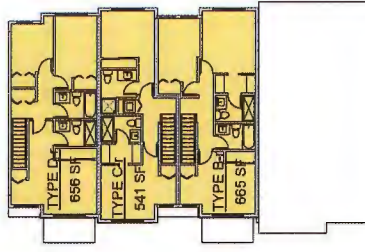
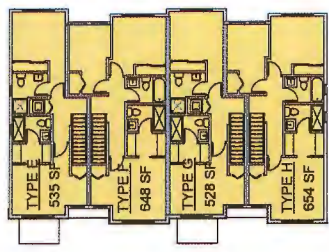
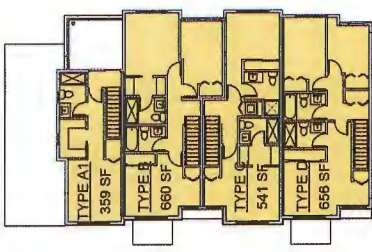
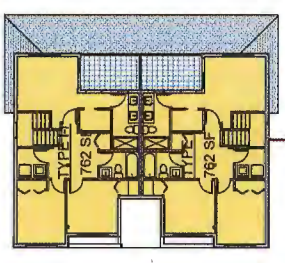
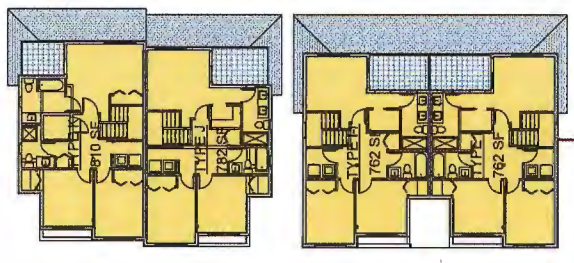
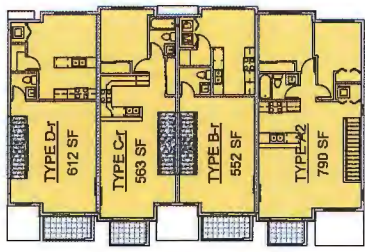
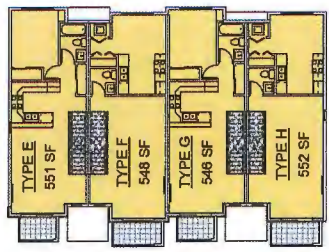
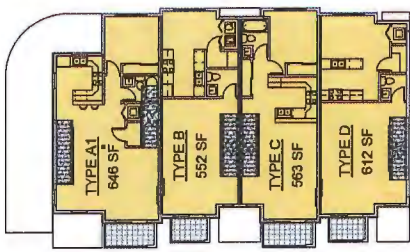
BLDG C



BLDG E



BLDG D



GROSS FLOOR AREA

FLOOR AREA EXEMPTION

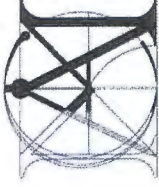
BLDG A				
Unit Type A1	Net Floor Area	Floor Area Exemption	Reference (Zoning Bylaw)	Gross Floor Area
Level 1	185 SF	108 SF	4.4.1 b) c)	303 SF
Level 2	645 SF	87 SF	4.4.1 c)	733 SF
Level 3	359 SF	n/a	n/a	359 SF
Total Unit Type A1 Floor Area				1395 SF
Unit Type B				
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	552 SF	42 SF	4.4.1 c)	594 SF
Level 3	650 SF	n/a	n/a	650 SF
Total Unit Type B Floor Area				1317 SF
Unit Type C				
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	563 SF	42 SF	4.4.1 c)	605 SF
Level 3	541 SF	n/a	n/a	541 SF
Total Unit Type C Floor Area				1209 SF
Unit Type D				
Level 1	N/A	79 SF	4.4.1 b) c)	79 SF
Level 2	612 SF	44 SF	4.4.1 c)	656 SF
Level 3	656 SF	n/a	n/a	656 SF
Total Unit Type D Floor Area				1391 SF

BLDG B				
Unit Type E	Net Floor Area	Floor Area Exemption	Reference (Zoning Bylaw)	Gross Floor Area
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	551 SF	42 SF	4.4.1 c)	593 SF
Level 3	558 SF	n/a	n/a	558 SF
Total Unit Type E Floor Area				1191 SF
Unit Type F				
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	548 SF	42 SF	4.4.1 c)	590 SF
Level 3	648 SF	n/a	n/a	648 SF
Total Unit Type F Floor Area				1301 SF
Unit Type G				
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	546 SF	42 SF	4.4.1 c)	588 SF
Level 3	528 SF	n/a	n/a	528 SF
Total Unit Type G Floor Area				1179 SF
Unit Type H				
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	552 SF	42 SF	4.4.1 c)	594 SF
Level 3	654 SF	n/a	n/a	654 SF
Total Unit Type H Floor Area				1311 SF

BLDG C				
Unit Type A2	Net Floor Area	Floor Area Exemption	Reference (Zoning Bylaw)	Gross Floor Area
Level 1	254 SF	108 SF	4.4.1 b) c)	362 SF
Level 2	790 SF	n/a	n/a	790 SF
Total Unit Type A2 Floor Area				1152 SF
Unit Type B+r				
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	552 SF	42 SF	4.4.1 c)	594 SF
Level 3	665 SF	n/a	n/a	665 SF
Total Unit Type B+r Floor Area				1322 SF
Unit Type C+r				
Level 1	N/A	63 SF	4.4.1 b) c)	63 SF
Level 2	563 SF	42 SF	4.4.1 c)	605 SF
Level 3	541 SF	n/a	n/a	541 SF
Total Unit Type C+r Floor Area				1209 SF
Unit Type D+r				
Level 1	N/A	82 SF	4.4.1 b) c)	82 SF
Level 2	612 SF	44 SF	4.4.1 c)	656 SF
Level 3	656 SF	n/a	n/a	656 SF
Total Unit Type D+r Floor Area				1394 SF

BLDG D				
Unit Type I	Net Floor Area	Floor Area Exemption	Reference (Zoning Bylaw)	Gross Floor Area
Level 1	536 SF	63 SF	4.4.1 b) c)	599 SF
Level 2	762 SF	n/a	n/a	762 SF
Total Unit Type I Floor Area				1361 SF
Unit Type I+r				
Level 1	536 SF	63 SF	4.4.1 b) c)	599 SF
Level 2	762 SF	n/a	n/a	762 SF
Total Unit Type I+r Floor Area				1361 SF

BLDG E				
Unit Type J	Net Floor Area	Floor Area Exemption	Reference (Zoning Bylaw)	Gross Floor Area
Level 1	516 SF	63 SF	4.4.1 b) c)	579 SF
Level 2	782 SF	n/a	n/a	782 SF
Total Unit Type J Floor Area				1361 SF
Unit Type K				
Level 1	517 SF	63 SF	4.4.1 b) c)	579 SF
Level 2	810 SF	n/a	n/a	810 SF
Total Unit Type K Floor Area				1389 SF



MATTHEW CHENG  
ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER, BC V6A 2K0  
Tel: (604) 731-3008 / Fax: (604) 731-3008  
Cell: (604) 695-6667 / Email: matthew@maci.ca

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Revised:



Developer:



Project Title  
OneWest - 8288  
No. 1 Road,  
Richmond

Sheet Title  
FLOOR AREA  
OVERLAY & UNIT  
AREA  
CALCULATIONS

Drawn: DC

Checked: MC

Scale: As indicated

Project Number:

Revision Date:

Drawn Date: 08/27/15

Dwg. No.: A23

REFERENCE PLAN  
AUG 26 2015

DP 12-624819





MATTHEW CHENG  
ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER, BC V6A 2G9  
Tel: (604) 731-3012 / Fax: (604) 731-3088  
Cell: (604) 649-0669 / Email: matthew@mcac.ca

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Revision:

Developer:



Project Title:  
**OneWest**

Sheet Title:  
**BLDG A - FLOOR  
PLANS**

Drawn: DC

Checked: MC

Scale: 1/8" = 1'-0"

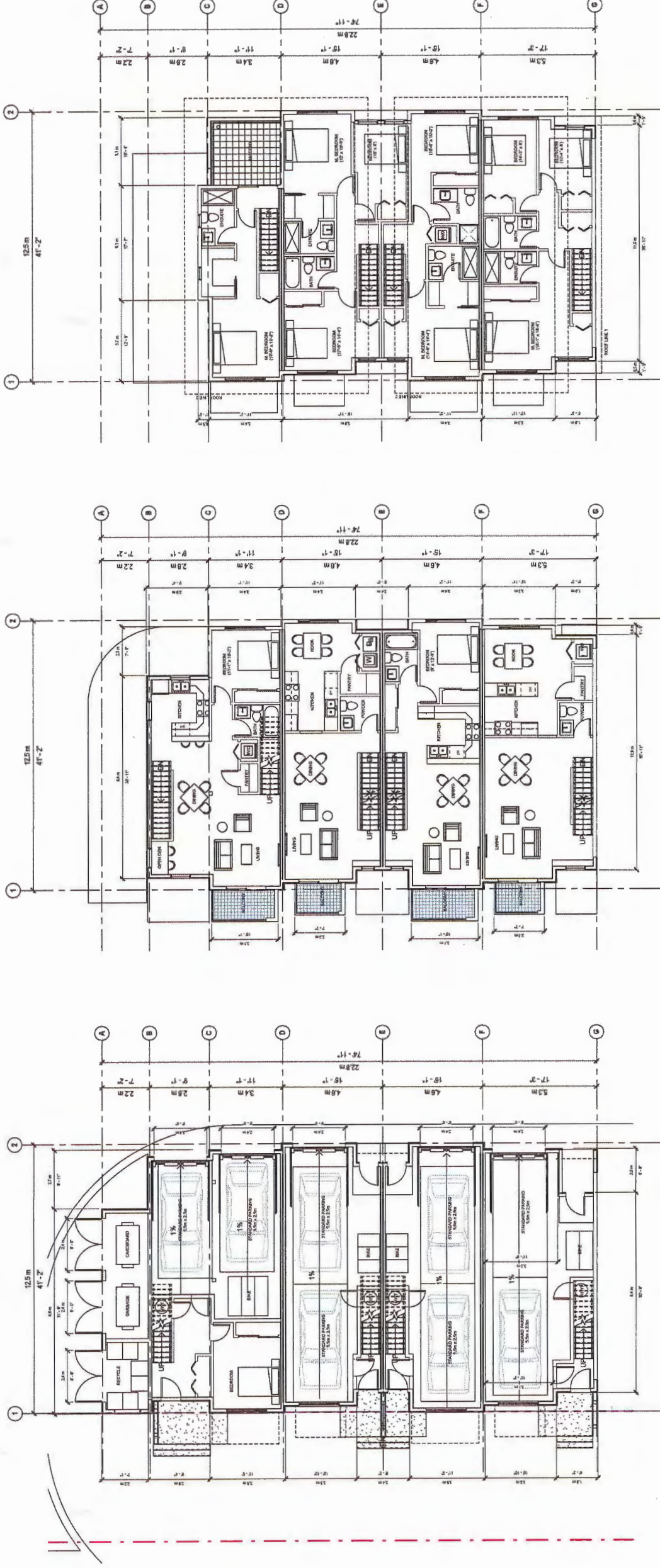
Project Number:

Revision Date:

Print Date: 09/27/15

Dwg. No.:

**A13**



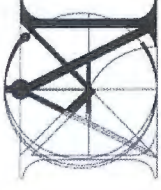
① BLDG A - Level 1  
1/8" = 1'-0"

② BLDG A - Level 2  
1/8" = 1'-0"

③ BLDG A - Level 3  
1/8" = 1'-0"

REFERENCE PLAN AUG 26 2015  
**DP 12-624819**





**MATTHEW CHENG  
ARCHITECT INC.**  
UNIT 202 - 67 NEVANS AVENUE  
VANCOUVER, BC V6N 1Y6  
TEL: (604) 731-3012 / FAX: (604) 731-3008  
Cell: (604) 609-6669 / Email: matthew@mcad.ca

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Revision:

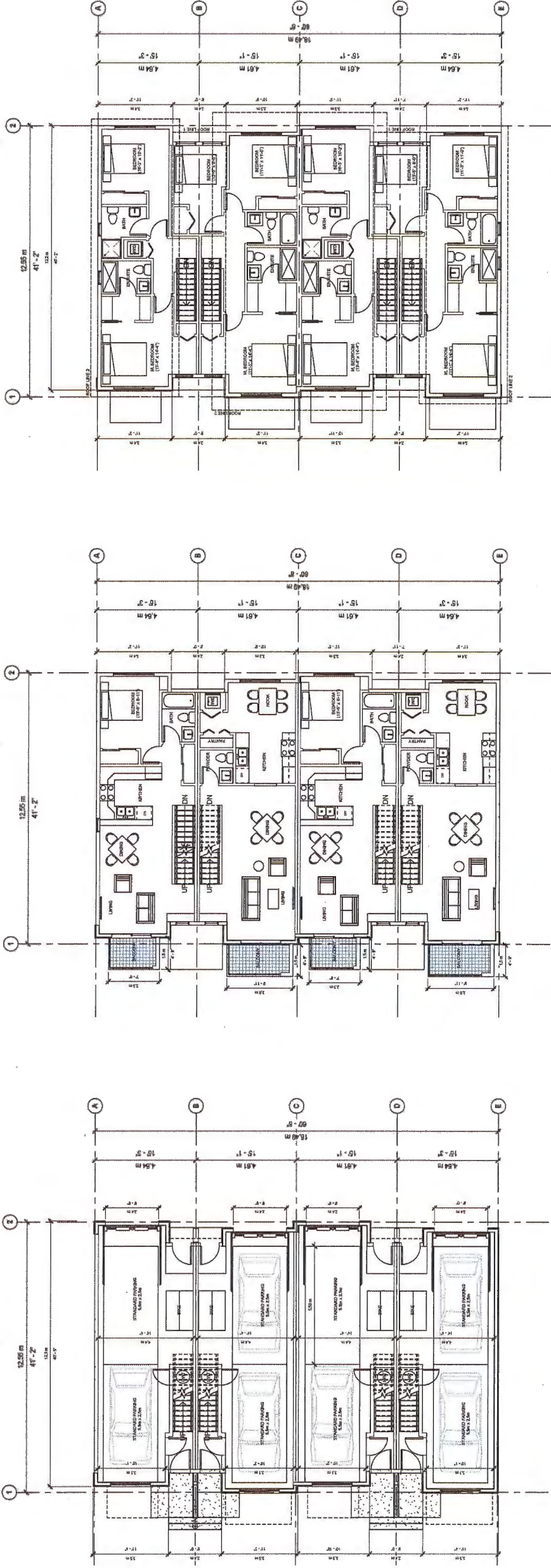
Developer:



Project Title:  
**OneWest**

Sheet Title:  
**BLDG B - FLOOR  
PLANS**

Drawn:	DC
Checked:	MC
Scale:	1/8" = 1'-0"
Project Number:	
Revision Date:	Aug. 15,
Print Date:	08/27/15
Drawn By:	A15



① Level 1  
1/8" = 1'-0"

② Level 2  
1/8" = 1'-0"

③ Level 3  
1/8" = 1'-0"

REFERENCE PLAN AUG 26 2015  
DP 12-624819



MATTHEW CHENG  
ARCHITECT INC.  
Unit 202-670 EVANS AVENUE  
VANCOUVER, BC V6A 2K0  
Tel: (604) 731-3012 / Fax: (604) 731-3908  
Cell: (604) 649-6669 / Email: matthew@mcatt.ca

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Revision:

Developer:



Project Title  
OneWest

Sheet Title  
BLDG C - FLOOR  
PLANS

Drawn: DC

Checked: MC

Scale: 1/8" = 1'-0"

Project Number:

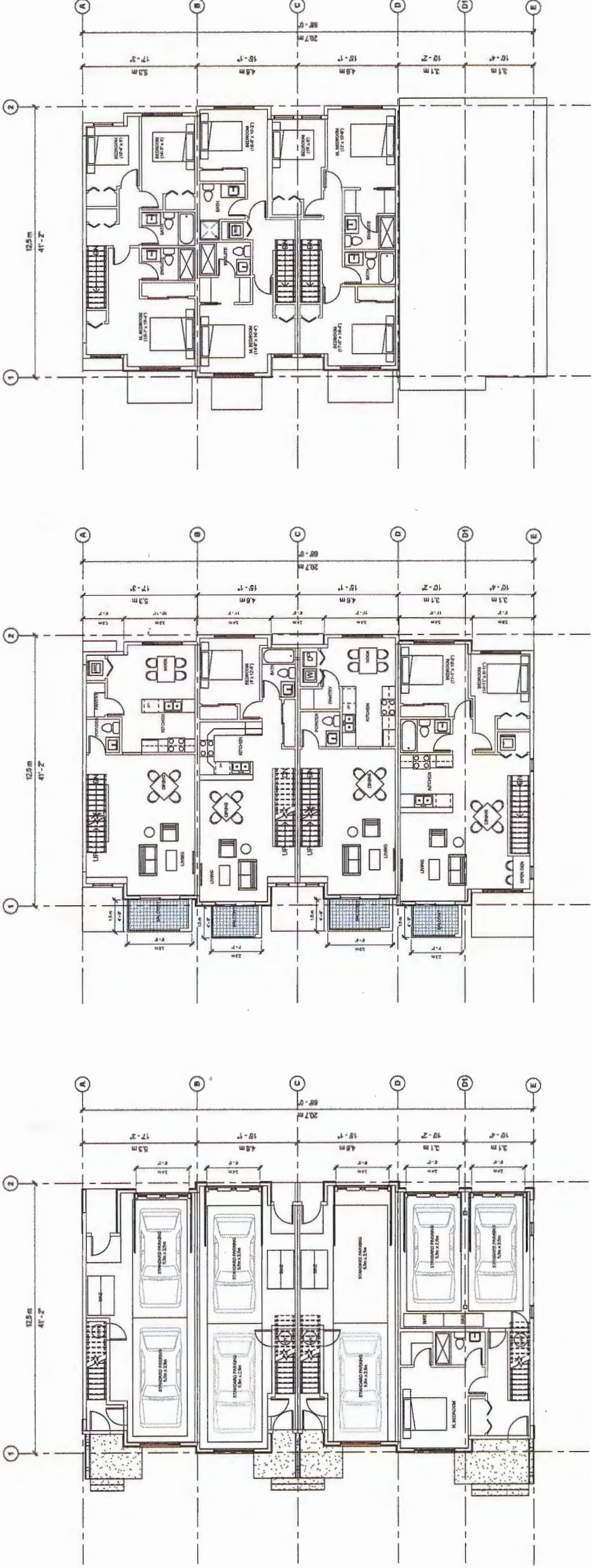
Revision Date:

Draw. No.:

Print Date:

09/27/15

A17



① BLDG C - Level 1  
1/8" = 1'-0"

② BLDG C - Level 2  
1/8" = 1'-0"

③ BLDG C - Level 3  
1/8" = 1'-0"

REFERENCE PLAN AUG 26 2015  
DP 12-624819





City of  
Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** August 7, 2015

**From:** Wayne Craig  
Director of Development

**File:** DP 13-643519

**Re:** Application by Christopher Bozyk Architects for a General Compliance Ruling at  
11100 Cambie Road

---

### Staff Recommendation

That the attached plans involving changes to the development design be considered in General Compliance with Development Permit (DP 13-643519).

A handwritten signature in cursive script, appearing to read "Wayne Craig".

Wayne Craig  
Director of Development

WC:dcb

## Staff Report

### Origin

Christopher Bozyk Architects has requested a General Compliance Ruling regarding a previously issued Development Permit DP 13-643519 for the development at 11100 Cambie Road (Attachment 1), which was endorsed by the Development Permit Panel at its meeting held on December 12, 2013 and approved by Council on May 12, 2014.

The main changes to the approved Development Permit include the following:

1. Enclosure of an open space between the BMW building and the Detail Shop with a glazed curtain wall between the two (2) buildings. Two emergency access doors and removable stairs have also been added in the vicinity of the window screen area;
2. Landscaping and fencing changes along the northern half of the western property line within the BC Hydro right of way, as required by BC Hydro as a result of the decision to underground power lines along the west property line; and
3. Other landscape changes.

### Background

Development surrounding the subject site is as follows:

- To the north, Cambie Road with single-family and low density multi-family residential lots zoned "Single Detached (RS1/E)" and "Low Density Townhouses (RTL3)" along its northern boundary;
- To the east and south, large industrial retail lots zoned "Industrial Retail (IR1)"; and
- To the west, the CN rail corridor, the Shell Road Right of Way and a retail auto commercial lot zoned "Auto-Oriented Commercial (CA)" which houses the BMW Auto Dealership.

A 3 m wide City sanitary sewer Statutory Right of Way runs along eastern property line and a 3 m wide BC Hydro runs along the western property boundary of the subject site.

### Finding of Facts

#### Landscaping Changes

Landscape plans submitted under the approved Development Permit were prepared in response to comments by the Advisory Design Panel and in consideration of a letter from BC Hydro, dated March 13, 2014, that outlined requirements for metal fences and landscaping within BC Hydro's right of way.

A subsequent legal agreement dated March 26, 2015, between BC Hydro and the owners for a new right-of-way for a new transformer with an accompanying plan for the undergrounding of power lines along the western property boundary specified that no fencing was to be placed within the right of way along the west side of the building, and one of the two proposed rows of evergreen cedar hedging must be removed. This new right-of-way severely limits the amount and type of vegetation that can be placed in that area. BC Hydro staff confirm that the initial plan review did require the transmission lines to be undergrounded. This was a new requirement imposed by BC Hydro after the Development Permit was issued.



With the removal of the security fencing along the west property line, the owner was concerned that the open access along the western side of the building as approved in the Development Permit, would create security concerns. In response, the owner closed in the open space between the BMW building and the Detail Shop with a glazed curtain wall. Emergency access doors and removable steps have also been added along the west side of the building. The addition of the glazed curtain wall does not increase the floor area of the building, as the open space was roofed above, and space remains open at both ends.

During construction of the eastern building on the site – the Mercedes Benz building - building and column footings along the front (north) resulted in concrete being higher than anticipated. This reduced the space available to install sufficient growing medium and drainage to support the planting originally anticipated along the front of the building. The Architect has advised that the problem did not become apparent and problematic until the site work stage. This is the area where the river rock garden is shown in revised drawing L.1 Proposed Landscape Changes (attached).

In partial response to the proposed reduction of the planting along the front of the Mercedes Benz building and to address the potential for soil in the remaining planting areas migrating from the landscaping area onto the City sidewalk as a result of a slight grade difference between the landscape bed and the sidewalk (at a lower elevation), the owner installed a low retaining wall and will create a raised planting bed adjacent to the sidewalk. Planting in this area is proposed to be increased over the original landscape plan submission.

The combination of proposed plant reductions in front of the Mercedes Benz building and increased plantings along the front of the BMW building will result in both plant selection and quantity changes to the approved landscape planting list. The approved and proposed landscape plans are provided in Attachments 2 and 3 respectively. The changes will result in a net loss of 63 shrubs from the approved planting list. Given the limited space on site and the changes imposed by the undergrounding of the hydro lines there does not appear to be an opportunity to compensate for this loss within the property. The proposed landscaping will still meet the minimum requirements for landscaping under Richmond Zoning Bylaw No. 8500, and while one proposed row of evergreen hedge will not be provided on the west property line – in order to meet BC Hydro requirements – the green wall feature using boston ivy will be retained on the west wall, and one row of Otto Luyken laurel will be retained adjacent to the building.

### **Analysis**

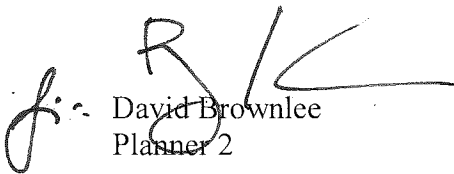
All of the changes along the western side of the building (items 1 through 3) have been in response to decisions made by BC Hydro to underground Hydro power lines that was not foreseen by the applicant or by BC Hydro in their initial project review. The loss of the security fence is a significant concern to the owner/operator of the facility which will house expensive tools and equipment as well as client vehicles. The addition of the window curtain wall improves their situation by reducing this security concern. The closure of the open space between the two (2) buildings does not create additional interior area since the drive aisle remains open from two (2) other directions. Building Approvals have been alerted to the addition of the curtain wall and have reviewed any implications in terms of adequate ventilation in the drive aisle space.

The proposed changes to the planting scheme along the fronts of the two (2) buildings address problems with the approved landscaping design given the adjacent building construction. Resetting foundation footings for the Mercedes Benz building would entail significant cost and, given the advanced state of construction, would likely not be feasible. The substitution of the decorative river rock will create an attractive, low maintenance frontage for the building.

The raised planting bed allows additional planting in partial compensation for the loss of vegetation in front of the Mercedes Benz building and also alleviates a future concern of bedding soil finding its way over the adjacent public sidewalk.

### Conclusion

Christopher Bozyk Architects has requested a General Compliance Ruling on the approved industrial automobile repair facility at 11100 Cambie Road to accommodate several modifications to the site's landscaping plan and one aspect of the building design. Staff have no objections to the proposed revisions and recommend support of this General Compliance request for the proposed changes to the approved Development Permit.



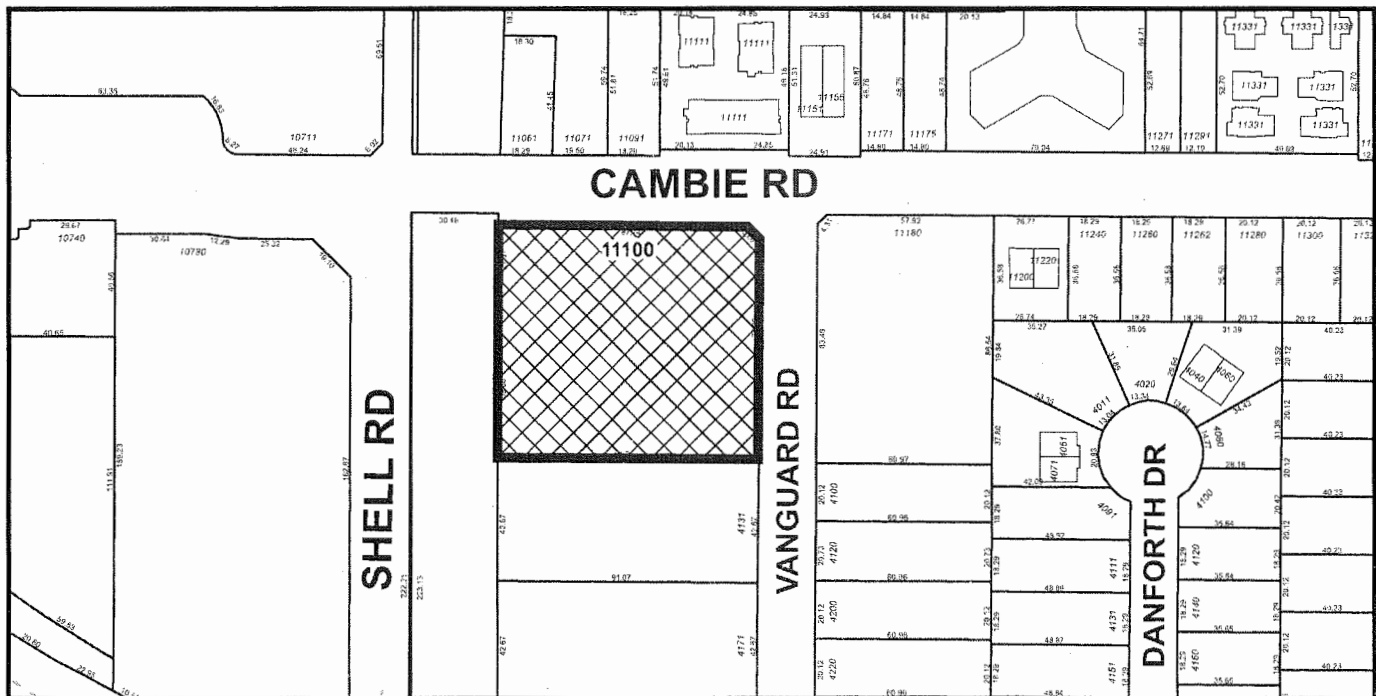
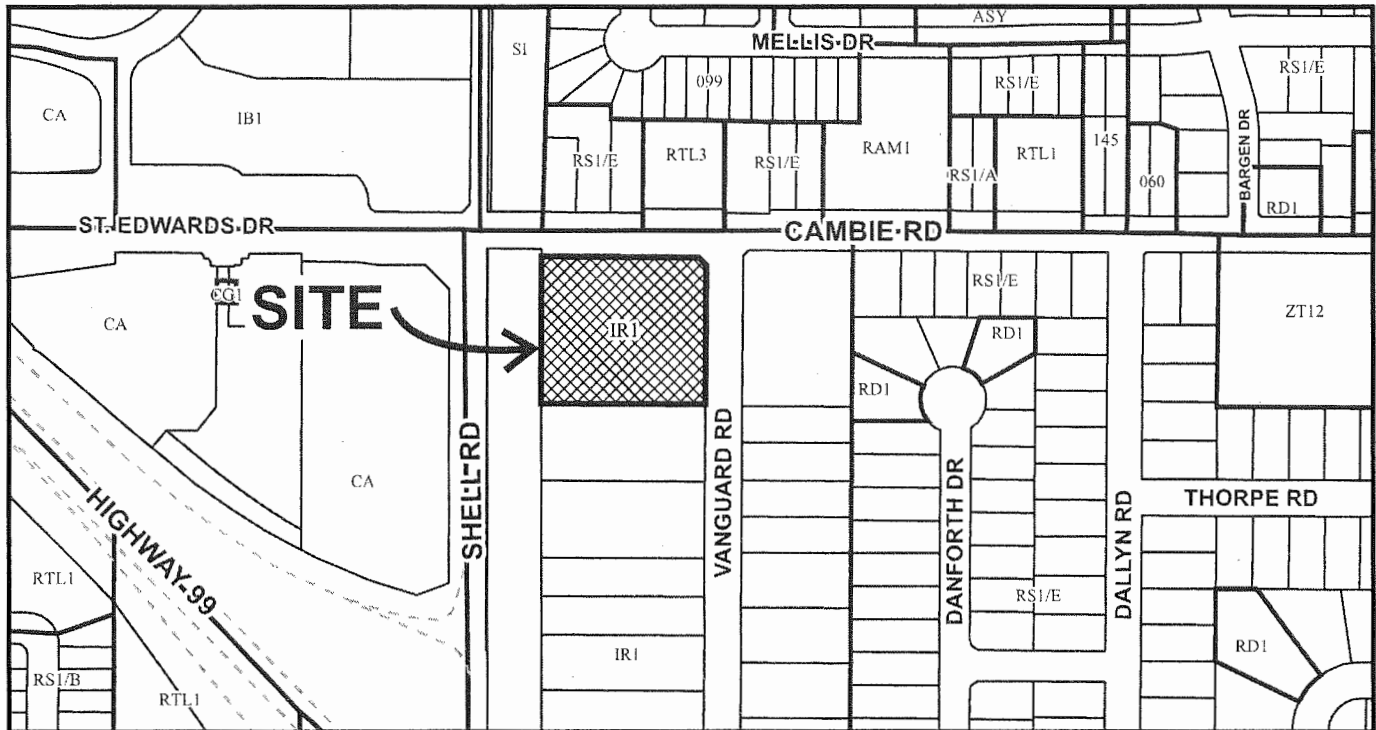
David Brownlee  
Planner 2

DCB:rg

- Att. 1      Location Map
- Att. 2      Copies of Relevant Approved Development Permit Plans
- Att. 3      Proposed New Development Permit Plans



City of  
Richmond



DP15-704988

Original Date: 07/29/15

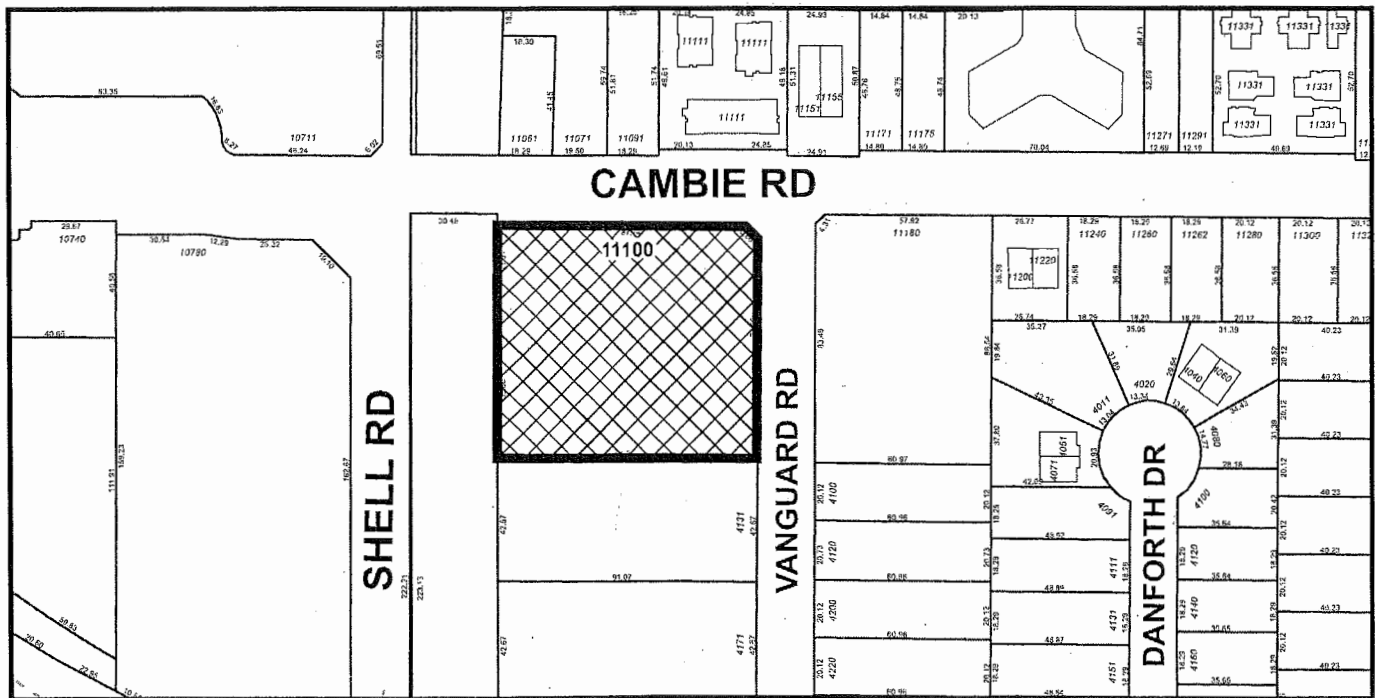
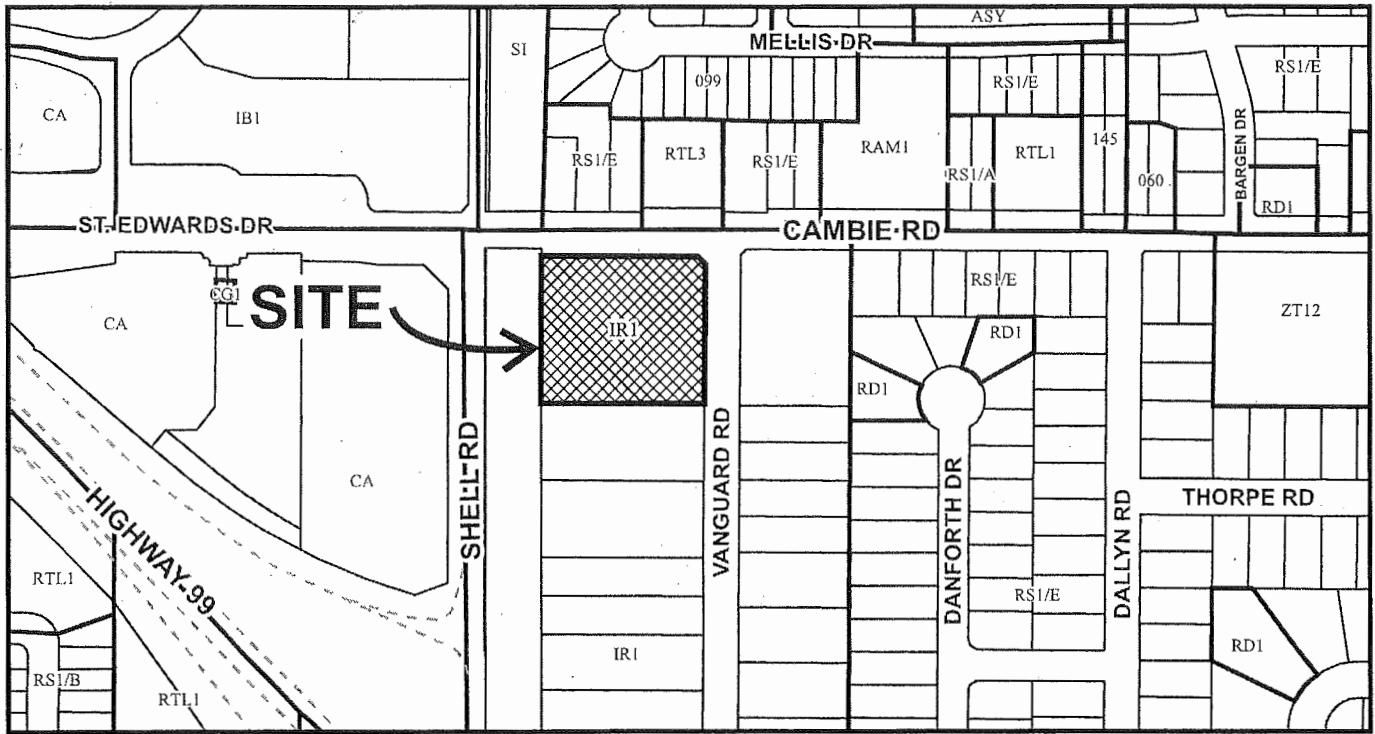
Revision Date:

Note: Dimensions are in METRES





# City of Richmond



DP15-704988

Original Date: 07/29/15

Revision Date:

Note: Dimensions are in METRES

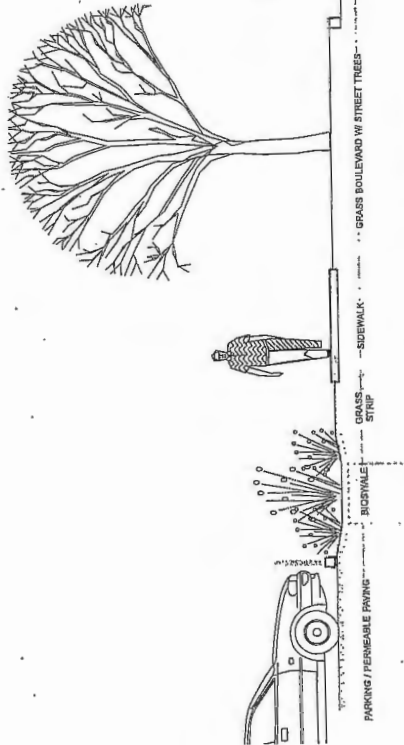
CHRISTOPHER  
BOZYK ARCHITECTS LTD  
414-111 ALEXANDER STREET VANCOUVER BC V6A 1E1  
PHONE (604) 251-3446 FAX (604) 251-3448

WALE  
MCLELLAND  
CONSTRUCTION

LANDSCAPE ARCHITECT



PLANT LIST			
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
Street Trees (Not w/ service agreement)			
10	10	Street Tree (species & spacing per city direction)	7cm cal. / 1.8m shd
10	10	Street Tree (species & spacing per city direction)	7cm cal. / 1.8m shd
Trees (On-site)			
2	2	Acer palmatum 'Oshagaki'	Japanese Maple
Shrubs / Orn. & Wetland Grasses			
108	108	Abutilon 'Pink Abella'	Pink Abella
216	216	Veriegte Japanische Sedge	Variegated Japanese Sedge
45	45	Rush	Rush
12	12	Pennisetum orientale	Oriental Fountain Grass
75	75	Boutou sempervirens (Dwarf Yew)	Boutou sempervirens (Dwarf Yew)
71	71	Prunus L. 'Old Lady'	Old Lady Laurel
8	8	Rosa rugosa 'Hardy French Rose Var.'	Hardy French Rose Var.
82	82	Thalictrum 'Hoffmann'	Hoffmann Yew
95	95	Thalictrum 'Hoffmann'	Hoffmann Yew
Ground Cover / Vines			
150	150	Antennaria dioica	Vancouver Jade
50	50	Erica x carnea 'Krauss Red'	Winter Heather
10	10	Parthenocissus L. vitifolia	Boston Ivy
Notes:			
1. Specification as per most recent BC Landscape Standards & Landscape Design Inc 'Spec Notes'.			
2. 2" Compost Mulch in Shrub Beds.			
3. Landscape Areas Mitigated.			



TYPICAL SECTION AT BIOSWALE

CAMBIE RD

STREET TREES  
Species & Spacing To Be Determined  
Via Service Agreement.

BIOSWALE  
1.8m Wide

STREET TREES  
(On Grass Easement  
& Planting Shrub)

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& Planting Shrub)

VANGUARD RD

STREET TREES  
Species & Spacing To Be Determined  
Via Service Agreement.

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Species & Spacing To Be Determined  
Via Service Agreement.

PLAN #3  
DP 13-643519



GRASS STRIP  
BIOSWALE  
SIDEWALK  
CAMBIE ROAD

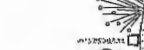
TYPICAL SECTION AT BIOSWALE



GRASS STRIP  
BIOSWALE  
SIDEWALK  
CAMBIE ROAD



GRASS STRIP  
BIOSWALE  
SIDEWALK  
CAMBIE ROAD



GRASS STRIP  
BIOSWALE  
SIDEWALK  
CAMBIE ROAD



GRASS STRIP  
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CAMBIE ROAD



GRASS STRIP  
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GRASS STRIP  
BIOSWALE  
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GRASS STRIP







CHRISTOPHER  
BOZYK ARCHITECTS LTD  
414-611 ALEXANDER STREET WINDOVER BC V9A 1E1  
PHONE (604) 251-3461 FAX (604) 251-3946



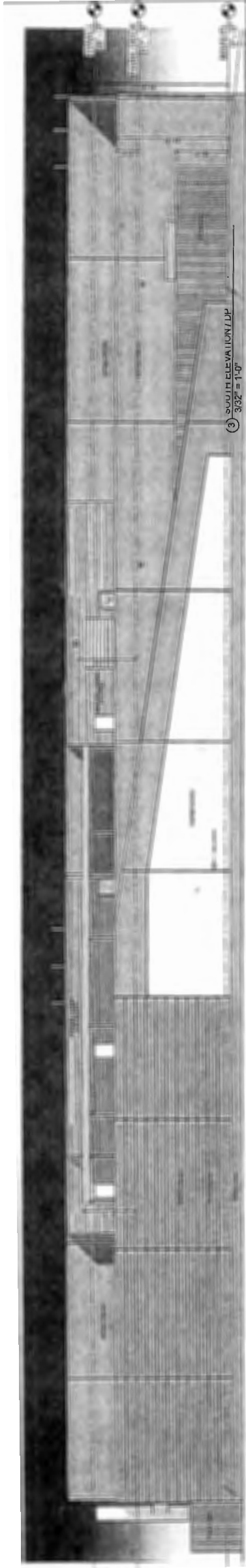
NOTES:  
- TYP FINISH TYPE - SEE IMAGE A.1.1  
- TYP INTERIOR WALL LIGHT FIXTURES - SEE IMAGE A.1.1

FACADE MATERIAL & COLOURS:

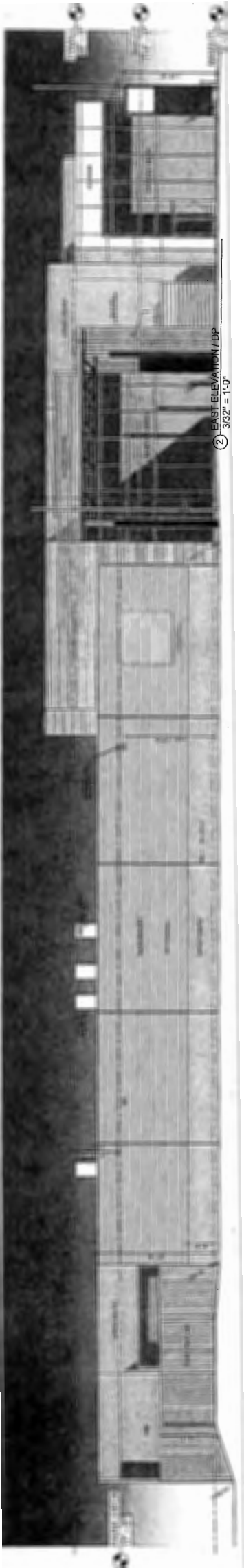
- PREFINISHED METAL CLADDING (MERCEDES-BENZ & ROOF STD); HORIZONTAL CORRUGATED PROFILE
- SILVER COLOUR "MAJOR METALS GALVALUME" OR SIMILAR
- PREFINISHED SMOOTH METAL PANELING (MERCEDES-BENZ & ROOF STD); HORIZONTAL CORRUGATED PROFILE
- BLUESH-BENZ COBALT BLUE "RAL 5013 COBALT BLUE"
- PREFINISHED SMOOTH METAL PANELING (BMW); WHITE/IRONY WHITE / "ALUCORCO IRONY WHITE COOL"
- ACCENT PAINT CONCRETE WALLS (MERCEDES-BENZ & SCOUT-BLUE); SILVER/IRONY WHITE / "BENJAMIN MOORE 212-50 RED CUBE SILVER" OR SIMILAR
- ACCENT PAINT CONCRETE WALLS (BMW); WHITE TO MATCH "ALUCORCO IRONY WHITE COOL"
- CHROME FOR "HAT" & LAMBERT CORROZ 418P" OR SIMILAR
- EXPOSED CONCRETE WALLS (LIT PANELS); CLEAR MATT SILICONE COATING
- EXTERIOR WALL FINISHES: SOLUBLE GLASS; NATURAL ALUMINUM ANODIZED ALUMINUM FRAMING; VISION GLASS; CLEAR LOW E / "QUANTUM BUNGALOW SUPERNEUTRAL" OR SIMILAR
- VISION GLASS / "VINTAGE" OR "RENTON"
- VISION GLASS / "VINTAGE" OR "RENTON"
- CONCEALED FRAMING & BLACK JUNK SEALANT
- EXPOSED FEATURE STEEL PAINT FINISH (GENERAL & FENCE); SILVER METALLIC "MIG ALUMINUM" OR SIMILAR
- EXPOSED FEATURE STEEL PAINT FINISH (MERCEDES-BENZ & ROOF STD); SILVER/IRONY WHITE / "BENJAMIN MOORE 212-50 RED CUBE SILVER" OR SIMILAR
- EXPOSED FEATURE STEEL PAINT FINISH (BMW); SILVER/IRONY WHITE / "BENJAMIN MOORE 212-50 RED CUBE SILVER" OR SIMILAR
- EXPOSED FEATURE STEEL PAINT FINISH (BMW); SILVER/IRONY WHITE / "BENJAMIN MOORE 212-50 RED CUBE SILVER" OR SIMILAR
- METAL CLIPPING, REFINISH TO MATCH WALL COLOUR
- METAL DOORS & FRAMES; PAINT FINISH: SILVER TO MATCH ADJACENT WALL COLOUR
- METAL OVERHEAD DOOR: REFINISHED (WHITE/SILVER)



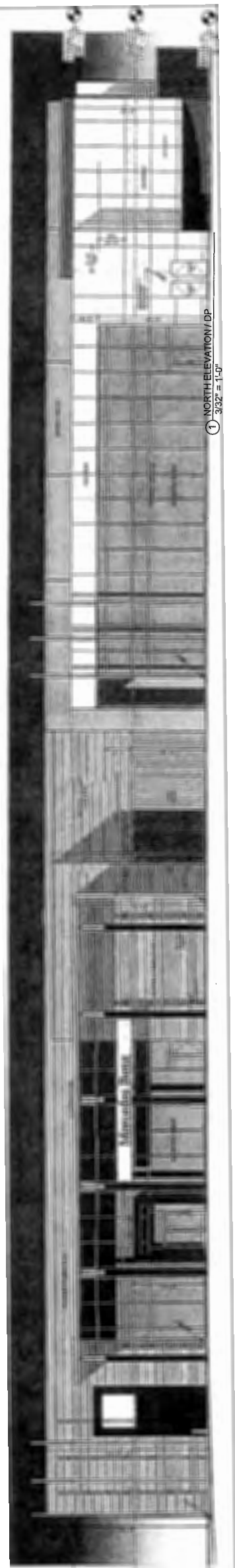
④ WEST ELEVATION / DP  
3/32" = 1'-0"



③ SOUTH ELEVATION / DP  
3/32" = 1'-0"



② EAST ELEVATION / DP  
3/32" = 1'-0"



① NORTH ELEVATION / DP  
3/32" = 1'-0"

REVISION	DATE	DESCRIPTION
NOV 13/13	ISSUED FOR DP (DP BOARD)	
SEP 27/13	ISSUED FOR ACP	
AUG 09/13	ISSUED FOR DEVELOPMENT PERMIT	

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Within drawings and have precedence over scaled dimensions. Contractors shall be responsible for all dimensions and details of construction on the job. They shall request additional information or clarification from the architect prior to construction. The architect shall not be responsible for any resulting improper work and for cost of rectification.

11100 CAMBIE RD  
NEW COLLISION DAMAGE FACILITY  
DEVELOPMENT PERMIT APPLICATION  
# DP 13-643519  
ELEVATIONS

SCALE: As indicated  
START DATE: MAR 28, 2013  
DRAWING NUMBER: 213004  
PROJECT NUMBER: 213004

A.4.0









# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** August 17, 2015

**From:** Wayne Craig  
Director of Development

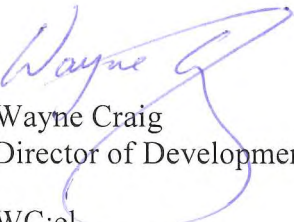
**File:** DP 14-674133

**Re:** Application by Western Verona Garden Holdings Ltd. for a Development Permit  
at 9211 and 9231 No. 2 Road

---

### Staff Recommendation

That a Development Permit be issued which would permit the construction of ten (10) townhouse units at 9211 and 9231 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)".

  
Wayne Craig  
Director of Development  
WC:el



## Staff Report

### Origin

Western Verona Garden Holdings Ltd. has applied to the City of Richmond for permission to develop ten (10) townhouse units at 9211 and 9231 No. 2 Road. The site is being rezoned from “Single Detached (RS1/E)” to “Low Density Townhouses (RTL4)” for this project under Bylaw 9132 (RZ 12-620563), which received Third Reading following the Public Hearing on May 20, 2014. The site currently contains two (2) single-family homes (one on each lot), which will be demolished.

Frontage improvements were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 15-695628), which must be entered into prior to final adoption of the rezoning bylaw. Works include, but are not limited to: removal of the existing sidewalk, construction of a new bus pad and a 1.5 m concrete sidewalk at the new property line as well as a 2.0 m grass and treed boulevard.

### Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the north, a single-family home on a lot zoned “Single Detached (RS1/E)” and then a commercial building on a lot zoned “Local Commercial (CL)” located at the south-west corner of No. 2 Road and Maple Road;

To the east, across No. 2 Road, a four-storey senior’s apartment building (three-storeys over parking) on a lot zoned “Medium Density Low Rise Apartments (RAM1)” and the Christian Reformed Church of Richmond on a lot zoned “Assembly (ASY)” and a 15-unit townhouse development (RZ 10-516267/DP 12-624891, under construction) at the south-east corner of No. 2 Road and Maple Road;

To the south, existing single-family dwellings on lots zoned “Single-Detached (RS1/E)” and

To the west, existing single-family dwellings on lots zoned “Single-Detached (RS1/B)”.

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on May 20, 2014. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

1. This development will negatively impact the living conditions resulting from the blockage of airflows and privacy invasion.

*Small cluster of buildings with adequate distance between them should not block air flow. The proposed finished site grade is approximately two (2) feet higher than neighbouring properties to the west. A six foot fence over an existing retaining wall and a ten (10) foot*

*tall cedar hedge along the west property line are proposed to address the privacy issues. In addition, a large hedgerow at the northwest corner of the site will be protected and retained as a privacy screen. Arbours at each end of the proposed internal road are also proposed to enhance privacy to the residential developments to the north and south.*

2. The proposed townhouses will be built too close to the existing homes.

*The proposed building setback to the west property line is 4.5 m and the proposed setbacks to the north and south property lines are a minimum of 3.0 m; these setbacks meet the zoning bylaw requirements and the Development Permit guidelines for arterial road townhouse developments.*

3. Concern with the potential for public hygiene issues emanating from the centralized garbage area and noise issues.

*The garbage, recycling and organic waste storage enclosures are integrated into the street fronting buildings, and located away from the property line.*

4. The proposed development will have traffic impacts on Maple Road.

*Vehicle access to the townhouses will be provided from No. 2 Road. Transportation Department staff has confirmed that the current traffic configuration can accommodate this small infill development, and have no concerns. In addition, the No. 2 Road / Maple Road intersection will be signalized as part of the development at the southeast corner of No. 2 Road and Maple Road (RZ 10-516267).*

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with the “Low Density Townhouses (RTL4)” zone.

### **Advisory Design Panel Comments**

The Advisory Design Panel supported the design of the project and the Design Panel’s suggested design changes have been incorporated into the proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Thursday, April 16, 2015 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

### **Analysis**

#### ***Conditions of Adjacency***

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments and are consistent with other townhouse projects in the immediate surrounding area.
- Two (2) triplex buildings are proposed along No. 2 Road. The end units adjacent to the north and south side yards are stepped down from three (3) storeys to two (2) storeys to



compliment the adjacent single-family developments and balance the streetscape along No. 2 Road.

- Two-storey duplex units are proposed along the rear property line to address privacy and overlook concerns. The proposed roof line has been minimized to diminish the impact of shadowing and scale to the neighbours.
- The proposed rear yard setbacks of 4.5 m on the ground floor and 6.0 m on the second floor meet the minimum rear yard setback specified in the “Low Density Townhouses (RTL4)” zone and in the Arterial Road Guidelines for Townhouses in the OCP.

### ***Urban Design and Site Planning***

- The proposed site layout provides for an attractive pedestrian-oriented streetscape of townhouses fronting No. 2 Road, complete with a landscaped edge treatment, low metal fencing, and metal gates to individual townhouse unit front doors.
- The internal road layout is a T-shape with future connections to the neighbouring properties to the north and south, secured by Statutory Rights of Way, secured at Rezoning.
- All units have two (2) vehicle parking spaces. Tandem parking spaces are proposed in two (2) units. A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area has been secured at rezoning.
- A total of three (3) visitor parking spaces are proposed, which exceeds the minimum bylaw requirement. No accessible visitor parking space is required for this 10 unit townhouse development. Both residential and visitor bicycle parking are provided and are also in compliance with the zoning bylaw requirements.
- The required outdoor amenity area is proposed at the northeast corner of the site adjacent to the tree protection area. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all of the units.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the townhouse clusters to minimize their visual impact.

### ***Architectural Form and Character***

- Each street facing building incorporates an asymmetrical arrangement that steps down from the center of the development to the exterior of the site. Within each building cluster, this asymmetry is supported by recesses, bays, porches and material in a manner that produces balance in the overall building.
- The exterior form and materials are reminiscent of heritage style architecture. The building character includes several elements common to a heritage design, including sloped roofs, bay windows, front porches and gable roofs.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows and planting islands along the drive aisle.
- The proposed building materials (asphalt roof shingles, horizontal lap/vertical siding, hardi panel, wood fascia/trim/dentil/bracket, and stone) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the existing single-family character of the neighbourhood.

***Tree Preservation***

- Tree preservation was reviewed at rezoning stage and endorsed by the City's Tree Preservation Coordinator. A hedgerow located along the north property line was identified for retention; 13 of the trees that form part of this hedgerow were to be retained and protected.
- The developer has proposed to remove four (4) additional trees from the hedgerow along the north property line (at the west end of the hedgerow) to allow for the internal drive aisle extension up to the north property line. This internal road is required to provide future access to the adjacent property to the north; and the construction of this internal road as part of this proposal will minimize the impact to the future residents at this development when the adjacent property to the north is being redeveloped. To compensate for the additional tree removal, the developer proposed to retain two (2) additional bylaw-sized trees (that are in fair condition but were identified for removal at the rezoning stage) as well as three (3) undersized trees (not shown on the previous tree retention plan) that form part of this hedgerow. The City's Tree Preservation Coordinator has reviewed the updated Arborist Report and has approved the proposed revision to the Tree Preservation Plan.
- Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site.
- A Tree Survival Security will be required as part of the Landscape Letter of Credit at Development Permit stage to ensure that the hedgerow will be protected. No Landscape Letter of Credit will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected hedge rows survived the construction, is reviewed by staff.
- A total of 21 bylaw-sized trees noted on-site are now identified for removal, due to general poor condition, proposed grade changes, and conflict with the building envelope and drive aisle location.
- 42 replacement trees are required based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP).
- Considering the effort made by the applicant to retain the hedgerow along the north property line, staff recommend eight (8) replacement trees be exempted from replacement.
- The applicant is proposing to plant 21 replacement trees on-site; a voluntary contribution of \$6,500 to the City's Tree Compensation Fund in lieu of planting the remaining 13 replacement trees has been secured at Rezoning.

***Landscape Design and Open Space Design***

- The proposed replacement trees include 10 conifers and 11 deciduous trees. Hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A pedestrian-oriented streetscape along No. 2 Road is proposed with a landscaped edge treatment, low metal fencing with brick clad columns, and gates to individual townhouse unit front doors.
- Each unit will have a private yard with landscaping and lawn area.



- Vines on wall trellises are proposed along the internal drive aisle to increase landscaping opportunity.
- The north and south end of the interior road will be treated with an arbour structure, vines and fence behind to screen views into the neighbouring properties.
- The entry driveway and portion of the internal drive aisle will be treated with permeable pavers for better water infiltration and variety in paving surfaces. Visitor parking stalls will be treated with grass pavers (GrassPave2) for additional storm water mitigation and added green space.
- The outdoor amenity area is proposed at the northwest corner of the site. Due to the conflicts between the needs of keeping the existing grade level for the retained trees and having to raise the interior road elevation, the outdoor amenity area will be divided into upper and lower levels. In addition to the ramp along the south edge of the outdoor amenity area, an embankment slide and slab steps will be provided to connect the two (2) levels of play areas.
- At the upper level of the outdoor amenity area, rubber surfacing will provide a safe surface for tots. On the lower level of the outdoor amenity area, the treed area and the proposed tunnel log together will provide a natural play area for children at various ages.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$183,918.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$10,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

### ***Crime Prevention Through Environmental Design***

- The architect advised that the following CPTED design/features are incorporated into the proposal:
  - Clear site lines provide unobstructed views of surrounding area.
  - Plantings near residential entries are low to maximize views.
  - All entrances are visible and overlooked by pedestrians or by neighbour's windows.
  - The landscape design avoids hiding places that would conceal criminals.
  - Security lights including wall mounted lighting for drive aisles and lighting at entries to provide adequate outdoor security illumination.

### ***Sustainability***

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the permit drawings.
- A legal agreement is required to be registered on-title prior to issuance of the Development Permit to ensure that all units are designed to achieve an EnerGuide rating of 82 (as detailed by the Certified Energy Advisor), and to include pre-ducting for solar hot water heating.

- The developer also advises that the following sustainability features will be incorporated into the development:
  - Sustainable site features include the use of drought tolerant or native dominant plantings, and the use of locally available materials where possible and permeable surfaces wherever possible.
  - Climate-based automatic irrigation controls will minimize the use of water on site.
  - Exterior building materials such as hardie siding, hardie shingle and stone require low maintenance and provide highly durable surfaces.
  - Low-emitting paint will be used for suite interiors.
  - The buildings are located and windows placed to maximize natural light and ventilation.
  - Building and site lighting will provide safe light levels while avoiding off-site light spillage and night-sky lighting.
  - Low energy appliances will be installed in all units (e.g., 'Energy Star' rated).
  - Each unit will have at least 6 CFL light bulbs.

### ***Accessible Housing***

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a chair lift (where the staircase has been dimensioned to accommodate this in unit 9B) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Conclusions**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee  
Planner 1

EL:rg

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Minutes of the Advisory Design Panel Meeting – April 16, 2015



The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 9132.
- Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to have the proposed development achieving Energuide 82 requirements and pre-ducted for solar hot water. This covenant and/or legal agreement(s) will include, at minimum, that no building permit will be issued for a building on the subject site unless the building is designed to achieve Energuide 82 requirements and pre-ducted for solar hot water; and that the owner has provided a professional report by a Certified Energy Advisor (CEA), to the satisfaction of the Director of Development.
- Receipt of a Letter-of-Credit for landscaping and hedge survival in the amount of \$183,918.00; Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect confirming that landscaping are installed as per Development Permit, as well as the Post Construction Impact Assessment Report from the Arborist confirming that the protected hedgerow survived the construction, are reviewed by staff.
- Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted near and within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Permit and submit landscaping security (i.e. \$33,000 in total) to ensure the replacement planting will be provided.
- Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- Submission of fire flow calculations signed and sealed by a professional engineer, based on the Fire Underwriters Survey to confirm that there is adequate available water flow.
- Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



**DP 14-674133**

**Attachment 1**

Address: 9211 and 9231 No. 2 Road

Applicant: Western Verona Garden Holdings Ltd. Owner: Western Verona Garden Holdings Ltd.

Planning Area(s): Blundell

Floor Area Gross: 1,939.75 m<sup>2</sup> Floor Area Net: 1,500.15 m<sup>2</sup>

	Existing	Proposed
Site Area:	2,297 m <sup>2</sup>	2,266.55 m <sup>2</sup>
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	2	10

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	39.3%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	64.42%	none
Lot Coverage – Landscaping:	Min. 25%	26.16%	none
Setback – Front Yard (m):	Min. 6.0 m	6.02 m Min.	none
Setback – North Side Yard (m):	Min. 3.0 m	3.31 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	3.3 m Min.	none
Setback – Rear Yard (m):	Min. 3.0 m	4.5 m Min.	none
Height (m):	Max. 12.0 m (3 storeys)	11.89 m Max.	none
Lot Width:	Min. 50.0 m	50.25 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.28 (V) per unit	none
Off-street Parking Spaces – Total:	22	23	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces (20 x Max. 50% = 10)	4	none



Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	0	none
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 10 units = 60 m <sup>2</sup>	106.6 m <sup>2</sup>	none

Excerpt from the Minutes from  
**The Design Panel Meeting**

Thursday, April 16, 2015 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

**Panel Discussion**

*Comments from the Panel were as follows:*

- well-handled project and responds well to its site context; well-resolved roof pitches;  
*No comment.*
- proposed materials and colours are commonly used in similar developments; consider different materials and colours to provide identity to the project;  
*We have considered material and colour again and concluded the proposed colours are appropriate.*
- appreciate the site lay-out and the spacious residential units;  
*No comment.*
- appreciate the massing; looks top-heavy on the elevations but well-balanced on the oblique view;  
*No comment.*
- back units respond to the neighbours' concern;  
*We revised the design and changed two windows in the middle to box-out windows to break up the row of the windows.*
- agree with comment regarding the proposed materials for the project; consider replacing vinyl with hardie;  
*The vinyl has been replaced with Hardi lap siding.*
- good building elevation proportions; appreciate the use of cultured stones;  
*No comment.*
- appreciate the notion of snakes and ladders in the outdoor amenity area;  
*No comment.*
- consider introducing built-up benches that can be used for seating and play purposes;  
*Benches are actually made of components of play structures left over from the manufacturing process of larger climbing apparatuses. The multicoloured graphic and unusual nature of the benches is intended to spark creative interest.*

- agree with the suggestion to replace vinyl with hardie particularly at the street level to enhance the pedestrian experience in the proposed development;  
***The vinyl has been replaced with Hardi lap siding.***
- appreciate the landscaping for the project, e.g. texture, paving and materiality;  
***No comment.***
- the project is well-composed;  
***No comment.***
- the two-storey rear buildings relate well vertically with the neighbouring single family homes; however, consider breaking up the volume by introducing elements and further architectural treatment, including breaking up the row of windows at the back of the rear buildings;  
***We revised the design and changed two windows in the middle to box-out windows to break up the row of the windows.***
- consider introducing public art in the proposed development;  
***No comment.***
- the project appears to meet Energuide 82 rating;  
***No comment.***
- consider using more energy efficient windows in lieu of the currently proposed R2 windows;  
***Our windows will meet BCBC requirements or better and will help us achieve EnerGuide82.***
- good massing for a small project; appropriate for the neighbourhood; rooflines of the rear buildings not an issue;  
***No comment.***
- residential unit entries are a little tight; look at window placement to ensure that privacy issues are addressed;  
***Front yard porch revised to provide 5' x 5' landing area.***
- the proposed location of double car garages in Units 1A and 10A at the entry drive aisle pose a safety issue; consider introducing traffic calming measures at the driveway entry to mitigate this safety concern;  
***We proposed a decorative paver at the site entry and at the "T" intersection to provide the sense of entering to different area to slow the drivers down.***
- consider a pocket door in lieu of a swing door in the powder room of the convertible unit to create more manoeuvring space and usable floor area;  
***We considered the suggestion but there is not enough sidewall for pocket door.***



- appreciate the lay-out of the outdoor amenity area; however, review the planting proposal to ensure good visibility of the area; and

***Plant material is low or higher canopied. No CEPTD issues were brought up at ADP.***

- review the landscaping proposal to ensure privacy of the front units in view of the future location of the bus shelter.

***Hedging has been added to the back of the bus stop.***



# City of Richmond

## Development Permit

**No. DP 14-674133**

To the Holder: WESTERN VERONA GARDEN HOLDINGS LTD.

Property Address: 9211 AND 9231 NO. 2 ROAD

Address: C/O WAYNE FOUGERE ARCHITECTURE INC.  
202 – 2425 QUEBEC STREET  
VANCOUVER, BC V5T 4L6

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #23 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$183,918.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

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To the Holder: WESTERN VERONA GARDEN HOLDINGS LTD.

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202 – 2425 QUEBEC STREET  
VANCOUVER, BC V5T 4L6

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

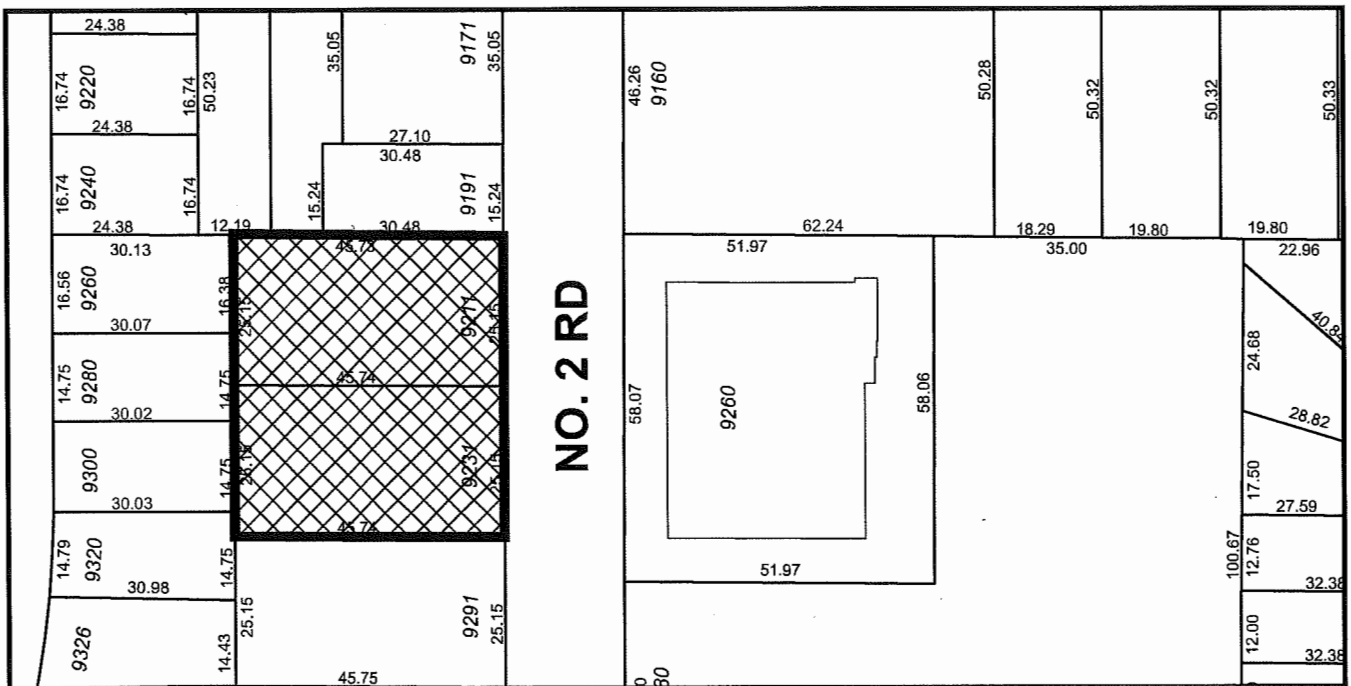
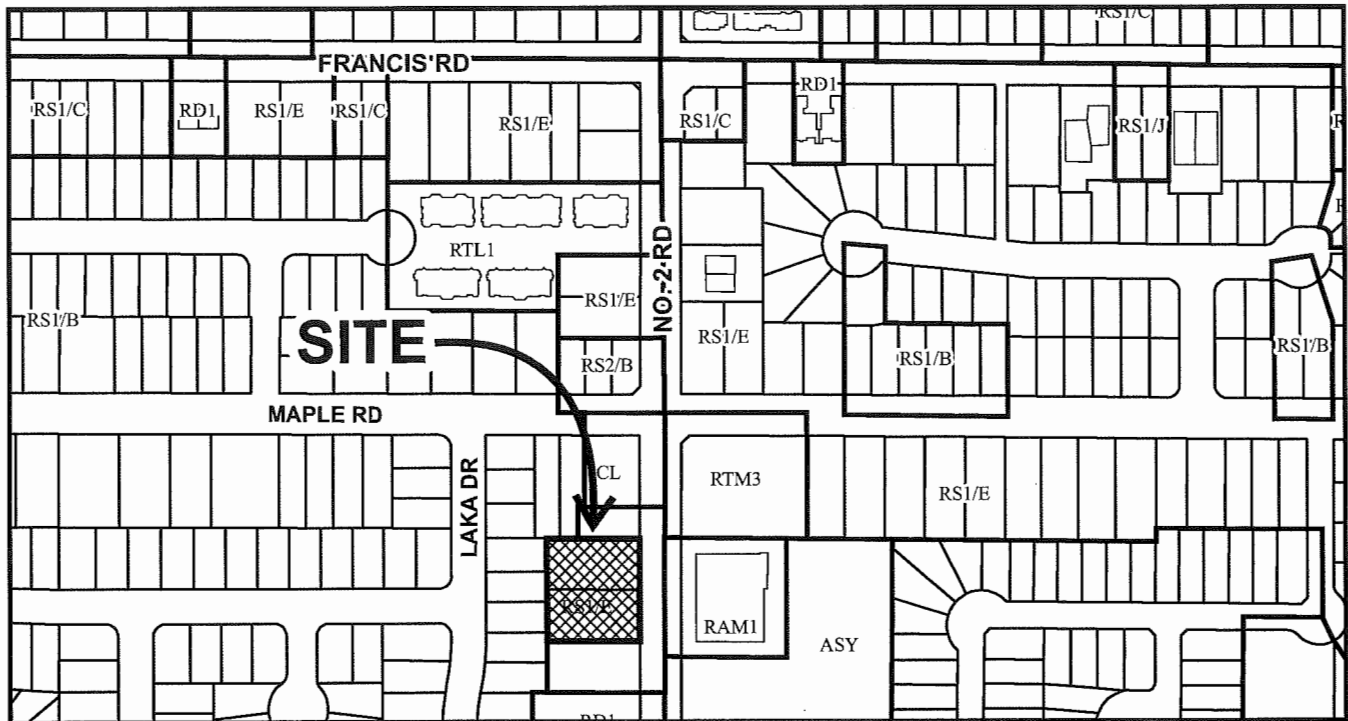
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MAYOR





# City of Richmond



DP 14-674133  
SCHEDULE "A"

Original Date: 10/15/14

Revision Date:

Note: Dimensions are in METRES





PROVISION OF ACCESSIBILITY FEATURES  
"AGING-IN-PLACE" REQUIREMENTS  
ON ALL UNITS:

- Entry doors minimum 865 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

Building Characteristic Summary:

- Exterior Walls - Z66 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

UNIT 9B IS A CONVERTIBLE UNIT THAT  
PROPOSED FOR THIS PROJECT.



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**VERONA  
GARDEN**  
9211 & 9231 No. 2 Road  
for  
Western Verona Garden  
Holding Ltd.

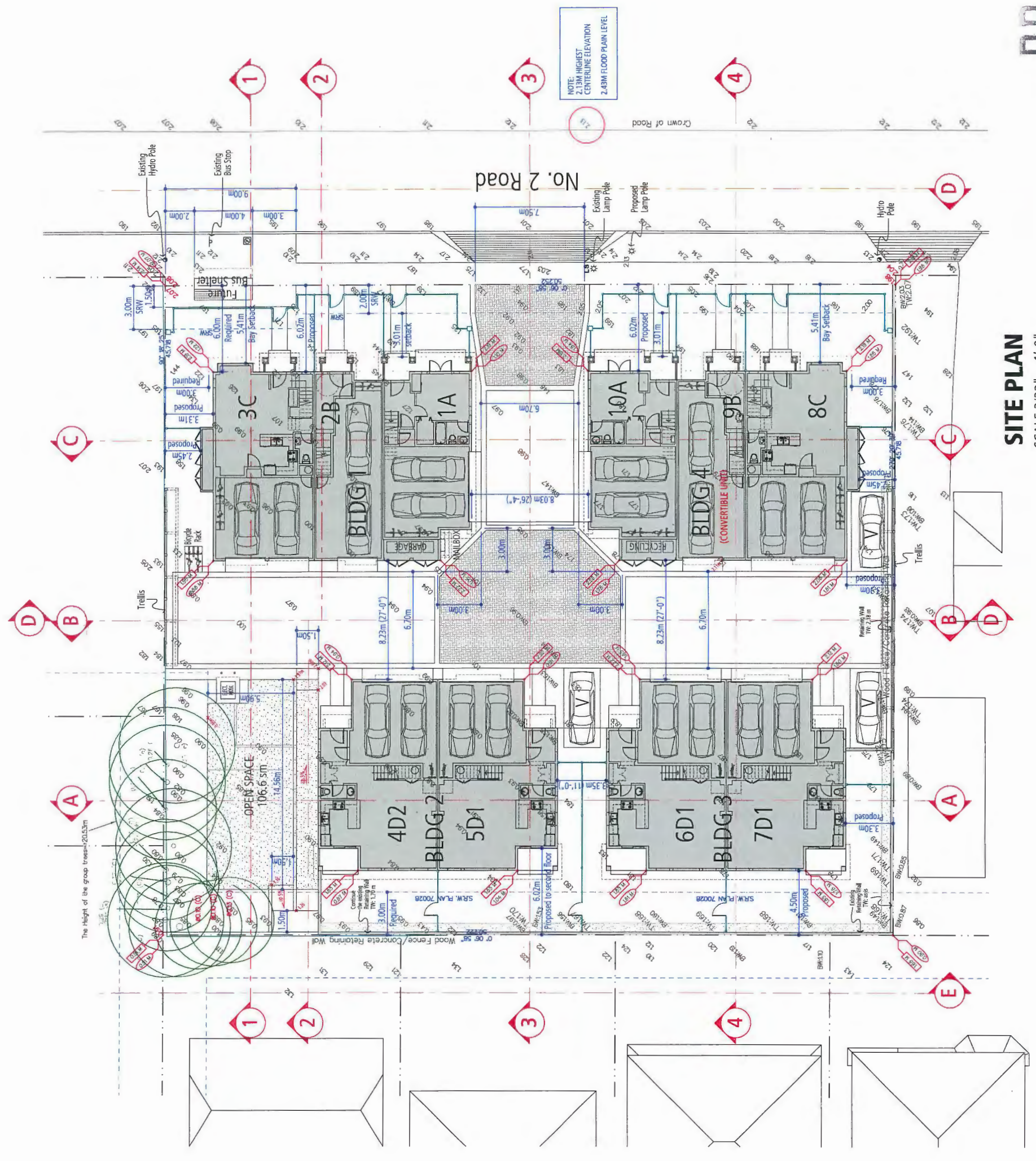
DP 14-574133 - MAY 12, 2015



AUG 2 5 2015

DP 14-674133  
PLAN #2

**SITE PLAN**  
SCALE 3/32" = 1'-0"





PROVISION OF ACCESSIBILITY FEATURES  
"AGING-IN-PLACE" REQUIREMENTS  
ON ALL UNITS:

- Entry doors minimum 865 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width (swinging door spec.)
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

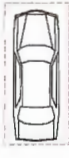
PARKING & BICYCLE DATA

Residential 2 cars/unit	20
Visitor 0.2 cars/unit	2
Total Required	22
Parking Provided	
Standard Stall	20
Small Stall	0
Visitor Provided	3
Total Provided	23

On-site Bicycle Parking Requirements

Class 1: 1.25 stalls/unit max. 33% Vertical Stalls	13
Class 2: 0.2 stall/unit	4
Total Class 1 Stalls Required	2
Total Class 1 Stalls Provided	13
Total Class 2 Stalls Required	14
Total Class 2 Stalls Provided	2

LEGEND

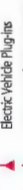


STANDARD CAR STALL  
SIZE: 2.5m x 5.5m



CLASS 1 BIKE STALL  
SIZE: 1.8m x 0.8m

CLASS 1 BIKE STALL (Vertical)  
SIZE: 1.0m x 0.6m



Electric Vehicle Plug-ins



Pre-Docking for Future Wiring



6.7m Wide Driveway  
with 4.4m Vertical Clearance

6.7m Road  
(4.4m height clearance)



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VERONA  
GARDEN

9211 & 9231 No. 2 Road  
for  
Western Verona Garden  
Holding Ltd.

DP 14-674133 - MAY 12, 2015



FOUGERE  
architecture inc.  
BRITISH COLUMBIA • ALBERTA • WASHINGTON  
202 - 2425 Quebec Street  
Vancouver, BC V5T 4L6  
fougerearchitecture.ca

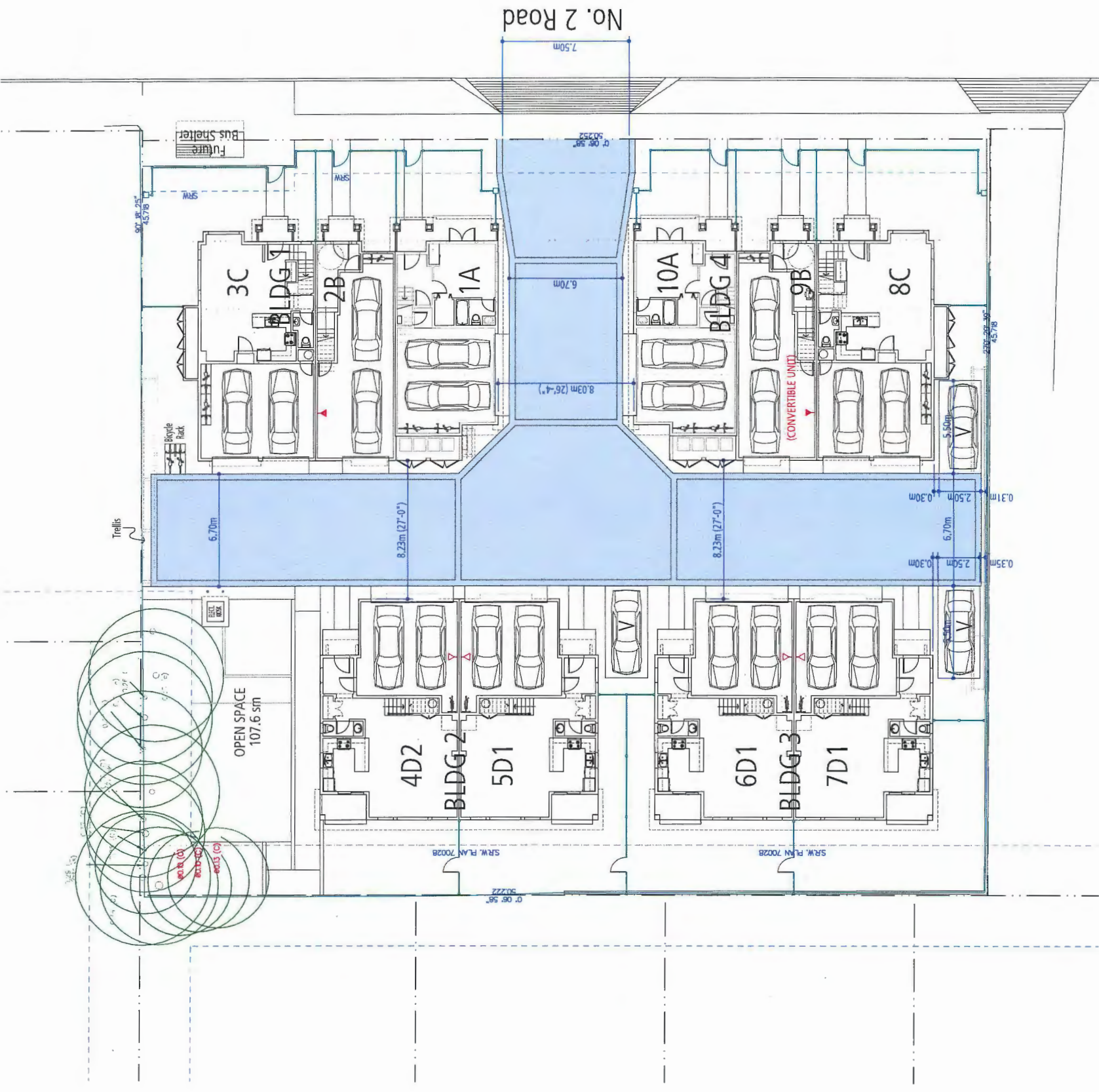
AUG 2 5 2015

DP 14-674133

PLAN # 3

PARKING PLAN

SCALE 3/32" = 1'-0"





Entry doors minimum 855 mm clear opening (3-0" swinging door spec.)	
Hallways minimum 900 mm width	
Door from garage to living area minimum 2'-10" (swinging door spec.)	
Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)	
Provision of lever door handles	
One window that can be opened with a single hand in the living room	
One window that can be opened with a single hand in one bedroom	

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.2 Construction R value
- Windows - Low E Argon 3 glaze U2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery



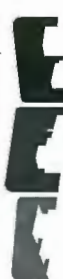
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**VERONA  
GARDEN**

9211 & 9231 No. 2 Road  
for  
Western Verona Garden  
Holding Ltd.

DP 14-674133 - MAY 12, 2015



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architecture inc.  
BRITISH COLUMBIA • ALBERTA • WASHINGTON  
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Vancouver, BC V5T 4L6 [fougerearchitecture.ca](http://fougerearchitecture.ca)

**PLANTV#02a**

**AUG 25 2015**

DP 14-674133

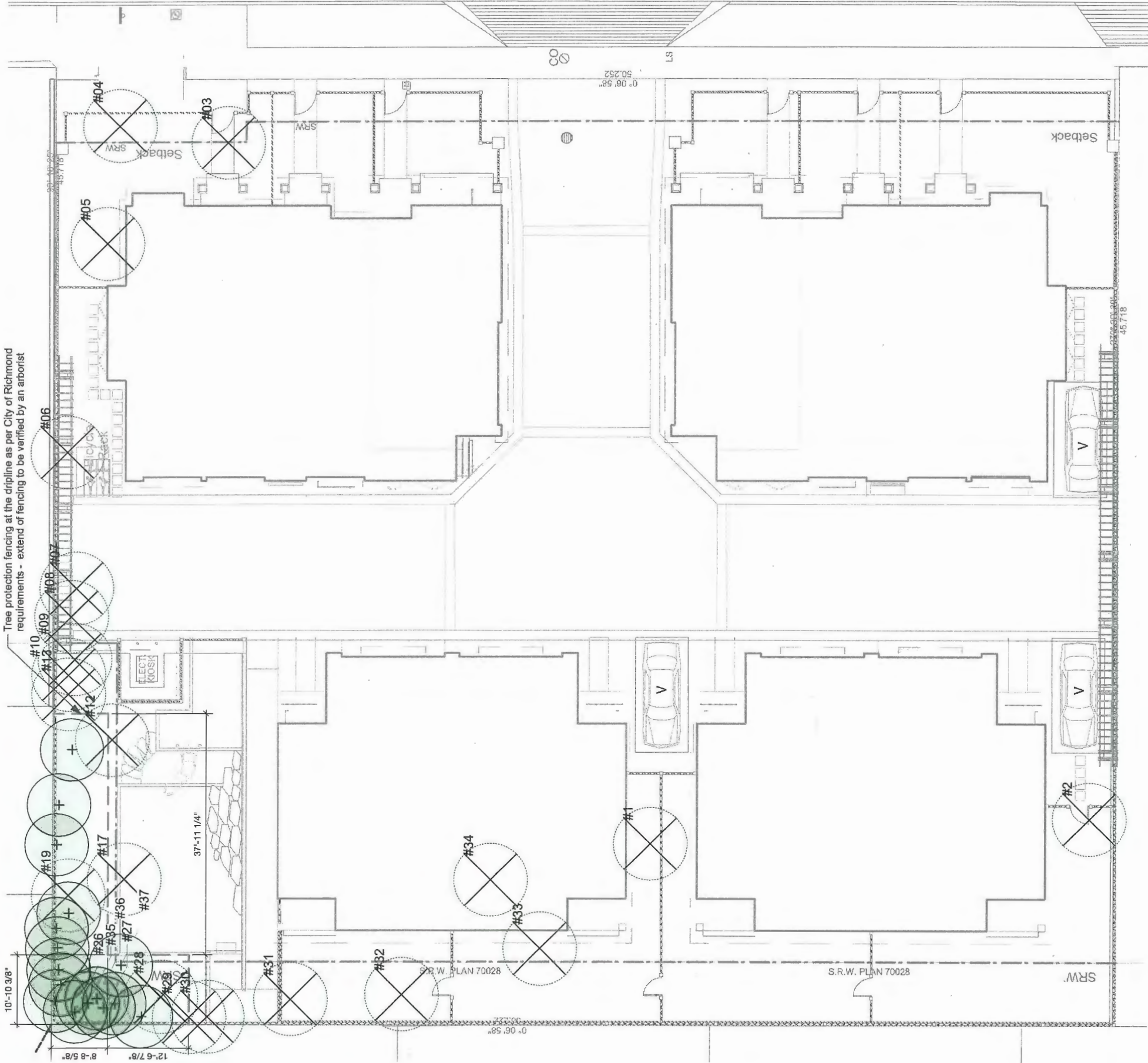
大井戸

## MANEUVERING PLAN

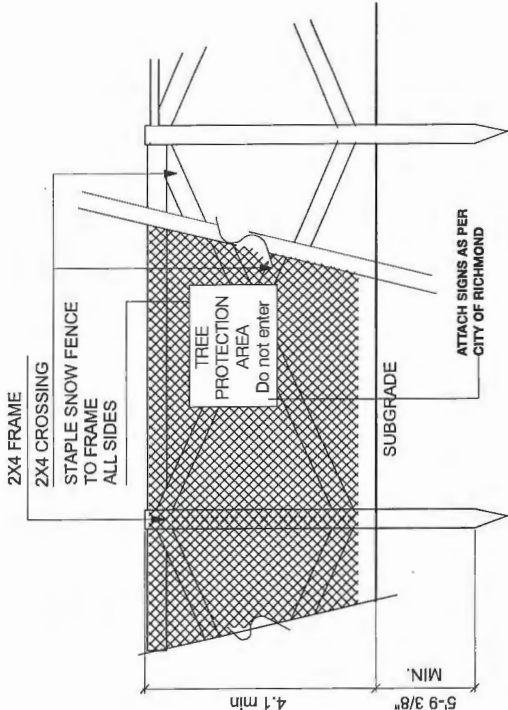
SCALE 3/32" = 1'-0"



Tree protection fencing at the dripline as per City of Richmond requirements - extend of fencing to be verified by an arborist



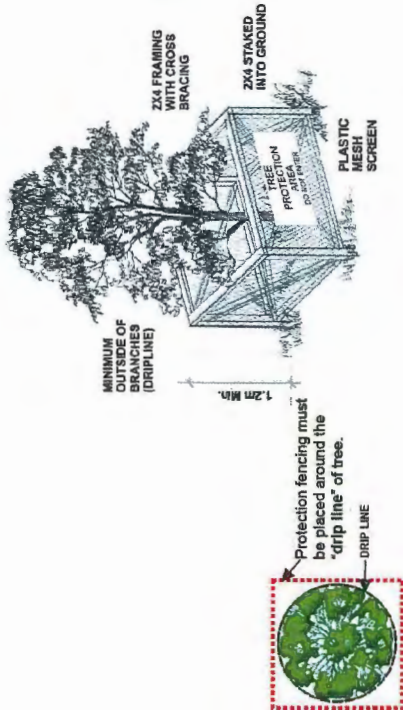
TREE PROTECTION FENCING



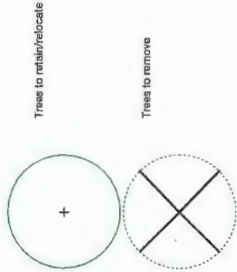
Tree Replacement Schedule:

- Proposed new trees on site: 14 trees

CITY OF RICHMOND TREE PROTECTION GUIDELINES



LEGEND



- Notes:
1. Trees that cannot be replaced at the required 2:1 ratio will require a cash-in-lieu arrangement will need to be made between the city and developer
  2. Refer to arboricultural assessment report prepared by Michael Mills Consulting consulting, dated Aug 28th, 2014 for details, tree inventory and assessment.
  3. Root pruning by project arborist is required during site preparation.

Existing tree Plan  
Scale: 1:100

0 5 10 m

AUG 2 5 2015

PLAN #5

DP 14-674133

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
A	02/07/14	Issue for DP
B	03/07/15	Re-issued for DP
C	03/07/15	Re-issued for DP
D	03/07/15	Re-issued for ADP
E	05/08/15	Re-issued for DP reComments

Professional Seal

eta  
landscape architecture

1000 West 2nd Avenue  
Vancouver, BC, Canada V5J 1H4  
Tel: (604) 683-1468  
Fax: (604) 683-1468  
www.eta.ca

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Project  
Verona Garden

Drawing Title  
Tree management

Legal  
9011 No. 2 Road  
Richmond, BC

Project Manager	Project No.
KSJ	21443
Drawn By	KSJ
Reviewed By	DT
Date	09/17/14
Sheet No.	3.a
Total Sheets	12

21443 Verona Garden 2015.dwg  
21443



AUG 2 5 2015

PLAN #6 DP 14-674133

33	.45 multistem	Fig	Poorly maintained fruit tree, extensive past pruning.	fair	Remove
34	0.21	Apple	Poorly maintained fruit tree, tree has fallen over and is in decline	poor	Remove
35	0.1	Cedar	Small tree, part of north west corner hedge row, good as part of the group.	fair	RETAIN
36	0.1	Cedar	Small tree, part of north west corner hedge row, good as part of the group.	fair	RETAIN
37	0.13	Cedar	Small tree, part of north west corner hedge row, good as part of the group.	fair	RETAIN

REPLACEMENT TREES

ID	PLANT LIST	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
Aa		3	Amselanchier x Diane	Diane Serviceberry	as shown	5cm cal/ B&B	full bushy plants/ 1.5m
Ac		6	Acer circinatum	Vine Maple	as shown	15' full height/ B&B	full bushy plants/ mul
CK		2	Cornus kousa	Kousa Dogwood	as shown	8cm cal/ B&B	2m standard/ full crow
Fsd		4	Fagus sylvatica dawy	Purple Fastingite beech	as shown	8 cm cal/ B&B	2m standard
IKK		1	Magnolia kobus	Kobus Magnolia	as shown	6cm cal/ B&B	2m standard/ full crow
Pfo		4	Picea omorika	Serbian Spruce	as shown	4m HUB&B	full bushy plants

Tree Replacement Schedule:

- Existing trees to be removed: 20 trees
- Proposed new trees on site : 19





Revision  
No.

Change

Revision Notes

Issue No.

Date

Issue Notes

A

02/01/14

Issue for DP

B

03/07/15

Revised for DP

C

05/07/15

Revised for DP

D

05/11/15

Revised for DP

E

05/15/15

Revised for DP w/Comments

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1500 West 2nd Avenue  
Vancouver, BC, Canada V6J 1H4  
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Project

Verona Garden

Drawing Title

Site Plan

Legal

5011 No. 2 Road  
Richmond, BC

Project Manager

21443

Drawn By

KD

Checked By

DT

Date

09/17/14

Page No.

3.b

Page Count

12

Page Date

21443 Verona Garden Masterplan 1.1.wrk











PLANT LIST1	QTY	LATIN NAME	COMMON NAME	SPACING (ft o.c.)	SCHEDULED SIZE	NOTES
TREES- offsite	4	Fagus sylvatica 'Tricolor'	Tricolor European Beech	as shown	8cm cal	2m standard
TREES- onsite						
Aa	3	Amelanchier x Diane	Diane Serviceberry	as shown	5cm cal/ B&B	full/ bushy plants/ 1.5m standard
Ac	6	Acer circinatum	Vine Maple	as shown	15' full height/ B&B	full, bushy plants/ multistemmed
Ac	3	Cornus kousa	Kousa Dogwood	as shown	8cm cal/ B&B	2m standard/ full crown
Ck	3	Fagus sylvatica dawycck purple	Purple fastigiate beech	as shown	8 cm cal/ B&B	2m standard
Fsd	1	Magnolia kobus	Kobus Magnolia	as shown	6cm cal/ B&B	2m standard/ full crown/ matched
Mk	1	Picea omorika	Serbian Spruce	as shown	4m h/B&B	full/ bushy plants
PI/o	4					
SHRUBS/ GROUNDCOVERS						
Ah	26	Anemone x hybrida honorine jobert	Windflower	16"	#1 cont.	full/ bushy plants
Aja	26	Azalea japonica	Evergreen Azalea	20"	#2 cont.	full/ bushy plants
Bc	10	Bergenia cordifolia Bressingham	White Heartleaf Bergenia	14"	#1 cont.	full/ bushy plants/ heavy
Eua	12	Eunymus alatus	Winged Burning Bush	40"	#7 cont.	bushy plants
Fv	20	Fraxina virginiana	Wild strawberry	10"	#4 cont.	full/ bushy plants/ heavy
Hm	172	Hakonechloa macra	Japanese woodland grass	12"	#2 cont.	full, bushy plants
Hs	118	Helleioichon sempervirens	blue oat grass	16"	#2 cont.	full/ bushy plants
La	75	Lavandula angustifolia	English Lavander	12"	#2 cont.	full/ bushy plants
LS-1	246	Liriope spicata	Lilyturf	4 3/8"	#1 cont.	full, bushy plants
Mis	68	Miscanthus sinensis 'Morning Light'	morning light maiden grass	7"	#3 cont.	full/ bushy plants
Mn	107	Mahonia nervosa	dull Oregon Grape	12"	#2 cont.	full, bushy plants
Pah	118	Pennisetum alopecuroides 'Hamel'	dwarf fountain Grass	16"	#2 cont.	full/ bushy plants
Pim	4	Pinus mugo	mugo pine	10"	#3 cont.	full/ bushy plants
Pm	47	Polystichum munitum	Sword Fern	20"	#3 cont.	full bushy plants
RG	88	Rubecia "Goldstrum"	Golden Coneflower	16"	#4 cont.	full/ bushy plants
Spe	20	Sedum "Purple Emperor"	autumn Stonecrop	16"	#1 cont.	full, bushy plants
Sc	154	Sarcococca russifolia	Fragrant Sarcococca	20"	#3 cont.	full/ bushy plants
Tho	11	Thuja occidentalis smaragd	emerald cedar	6' ht	10' ht	full, bushy plants
Tho	59	Thuja occidentalis smaragd	emerald cedar	30"	10' ht	full, bushy plants
Vva	7	Vitis vinifera atropurpurea	Purple Leaf Grape	30"	#2 cont/ staked	full, bushy plants
	0			0"		
LAWN						
			Non-Neitred, grown on sand			

NOTE: ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE BC LANDSCAPE STANDARDS FOR LEVEL 2 'GROOMED' LANDSCAPE TREATMENT LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.

ALL PLANTS TO BE NURSERY GROWN  
ALL PLANT MATERIALS AND LABOUR TO CONFORM  
TO BCSLA/BC/LNA STANDARDS (CURRENT ED);

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO  
DELIVERY ON SITE. CONTRACTOR TO ARRANGE FOR  
INSPECTION AND MATERIAL TO ASSEMBLED IN ONE  
LOCATION FOR REVIEW.

IMPORTED SOIL SHALL BE A SANDY LOAM OR LOAMY SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT) CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT BASIS). SOIL SHALL VIRTUALLY BE FREE FROM SUBSOL, WOOD, INCLUDING WOODY PLANT PARTS, WEEDS, TOXIC MATERIALS, STONES OVER 30MM, AND FOREIGN OBJECTS. SOIL SHALL BE FREE FROM CLOUGHGRASS, EQUISETUM CONVULVULIFOLIA AND OTHER NOXIOUS WEEDS OR SEED PARTS THEREOF.

IMPORTED TOPSOIL SHALL CONFORM TO AND BE TREATED AS PER SECTION 6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION BCLNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 LOW TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (2L IN TABLE 6-3 OF THE CURRENT EDITION BC LNA STANDARD). IT SHALL POSSESS THE FOLLOWING QUALITIES:

**TEXTURE-**  
\*COARSE GRAVEL (LARGER THAN 25MM): 0-1 %  
CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING  
SOIL UP TO QUALITY RECOMMENDED IN  
SOILS REPORT.

**SITE INSPECTION**  
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY  
ACCEPTANCE IN WRITING TO THE CONSULTANT:

- \*ALL GRAVEL (LARGER THAN 2MM): 0-5%
- \*SAND (LARGER THAN .05MM AND SMALLER THAN 2MM): 50-70%
- \*SILT (LARGER THAN .002MM AND SMALLER

CLAY (50MM): 10-25%  
 "CLAY (SMALLER THAN .002MM): 0-20%  
 "CLAY AND SILT COMBINED: MAXIMUM 25%  
 ORGANIC CONTENT: 3-10%  
 IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE  
 TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE  
 OWNER

**DRAINAGE:** PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 50 MINUTES.

**PLANT COUNTS**  
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON THE PLANT LIST, THE CONTRACTOR SHALL NOTIFY THE CONSULTANT TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

MINIMUM SOIL DEPTH TO BE AS PER  
TABLE 6-5 OF THE CURRENT EDITION BCLNA STANDARDS:

	Over prepared subgrade	Over structure
TREES (10m <sup>2</sup> PER TREE)	24"	30"
SHRUBS	18"	24"
GROUNDCOVERS	6"	9"
LAWN	6"	9"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 90 DAYS FOLLOWING SUBSTANTIAL COMPLETION

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY  
ON PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDANT LAB AND IS TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

THIS DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN INDEPENDANT SOIL ANALYSIS AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY  
ON SOIL SPECIFICATIONS.

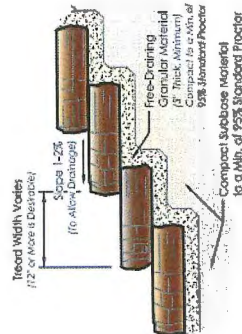
AN INDEPENDANT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR WARRANTY PERIOD  
CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL UP TO QUALITY RECOMMENDED IN SOILS REPORT.

**SITE INSPECTION**  
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY  
ACCEPTANCE IN WRITING TO THE CONSULTANT.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE BC NA/BCSA STANDARDS CURRENT EDITION.

**PLANT COUNTS**  
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT, THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

[illegible]

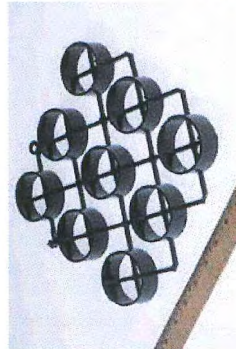
**Barkman Concrete Products  
Precast Rosetta steps**

Landscape Structures  
Poly Slide Sidewinder 2

**Landscape Structures  
Log Crawl! Playground Tunnel**



## Landscape Structures



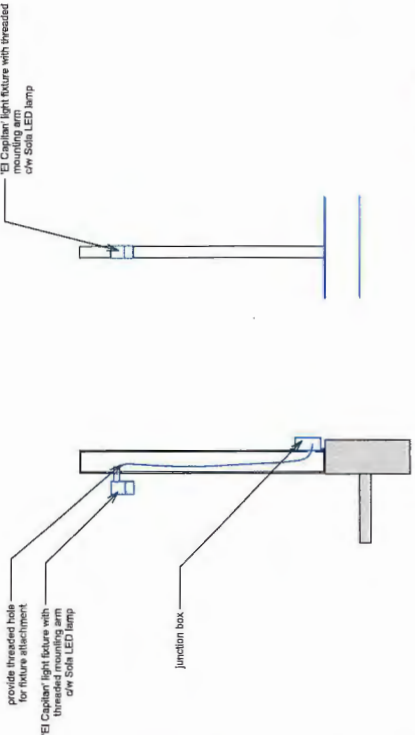
Grasspave 2





LIGHTING SCHEDULE

1	S/W	WALL MOUNTED FIXTURE- Hadcoo RSC2 Aluminum Steplite
2	B	FREE STANDING ILLUMINATED BOLLARD - Hadcoo Aluminum Bollard (RFB) Black
4	DL	DOWNLIGHT / SPOTS - Hadcoo Bullye (BL5016) Black
5	P/L	PATHWAY LIGHTING - B-K Lighting 'EI Capitan' (BKSSL)



1 Section/ Front Elevation- proposed pathway lighting  
Scale: 3/4" = 1'-0"

DP 14-674133

PLAN #11

Revision Notes

Date

Revision Notes

Issue Notes

Date

Issue Notes

Issue Notes

Date

Issue Notes

Professional Seal

eta landscape architecture

1600 West 2nd Avenue  
Vancouver, BC, Canada V6L 1H4

604.683.1608  
604.683.1608  
www.eta.ca

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Project  
Verona Garden

Legend

8211 No. 2 Road  
Richmond, BC

Project Name	Verona Garden
Project ID	21443
Client	KB
Scale	1:100
Revision By	
Revision No.	
Date	09/17/14
Sheet	3.d
Total	12

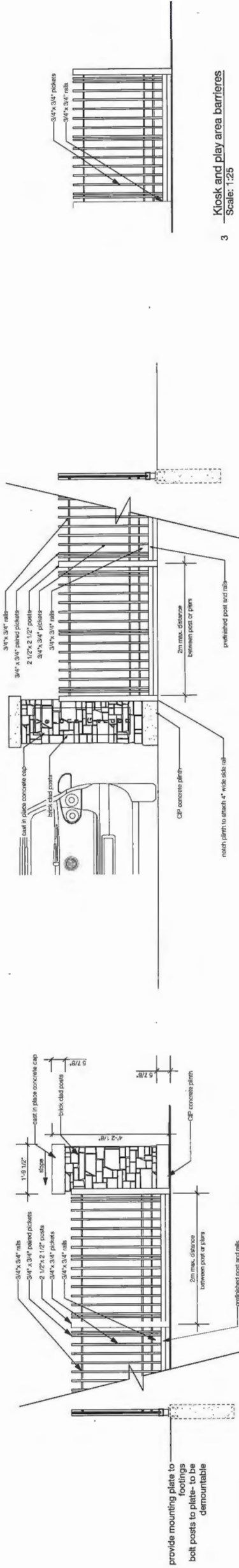
Project Name  
Verona Garden  
21443 Verona Garden Master2015-1.wex





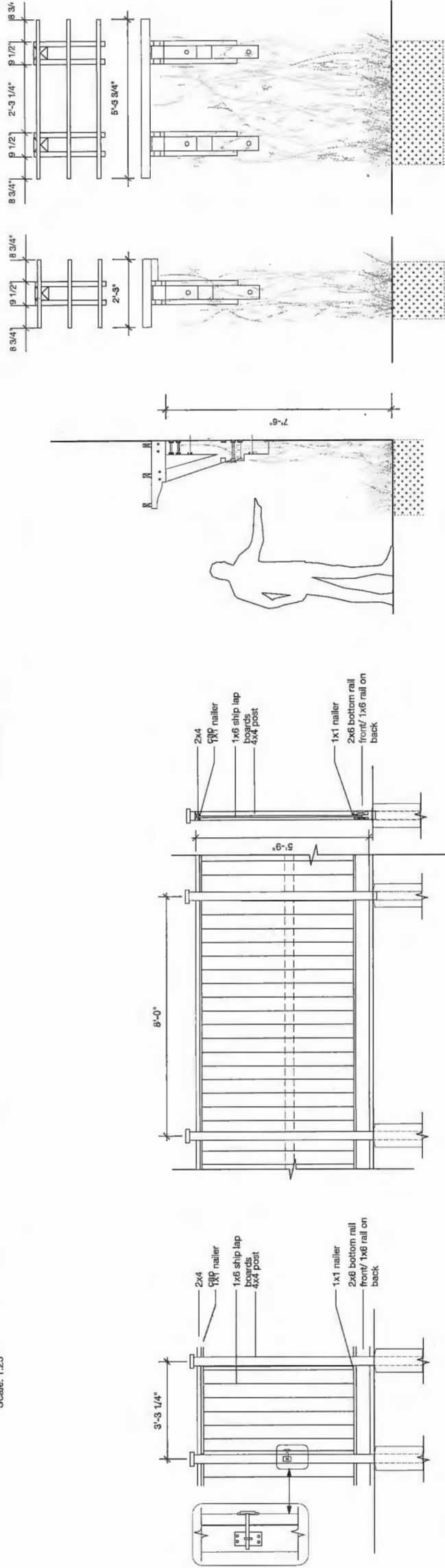


Issue No.	Date	Issue Notes
A	9/29/14	Issued for CIP
B	3/20/15	Re-issued for CIP
C	3/24/15	Re-issued for CIP
D	3/27/15	Issued for ADP
E	05/09/15	Re-issued for DP w/Comments



1 3.5' high demountable metal front fence and accent post  
Scale: 1:25

2 Demountable metal front fence and entry signage  
Scale: 1:25

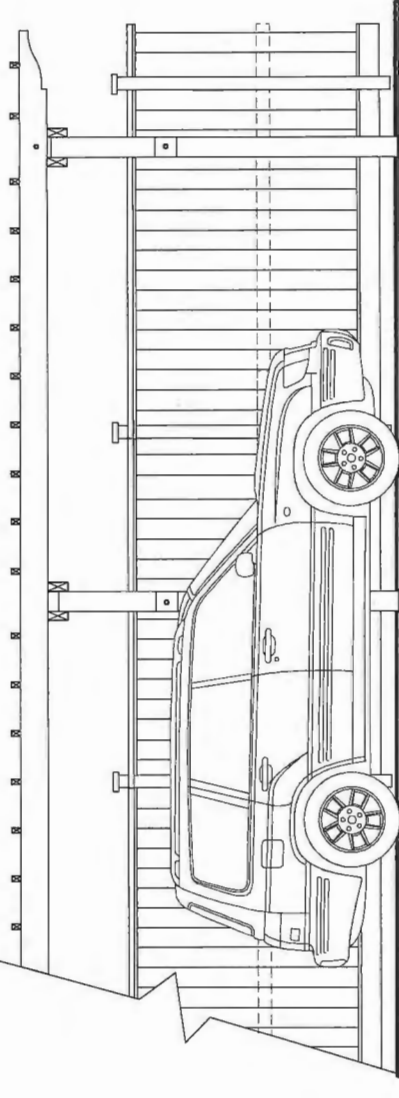


4 6' fencing and gates  
Scale: 1:25

5 Garage wall mounted arbour accents- to have vines  
Scale: 1:25

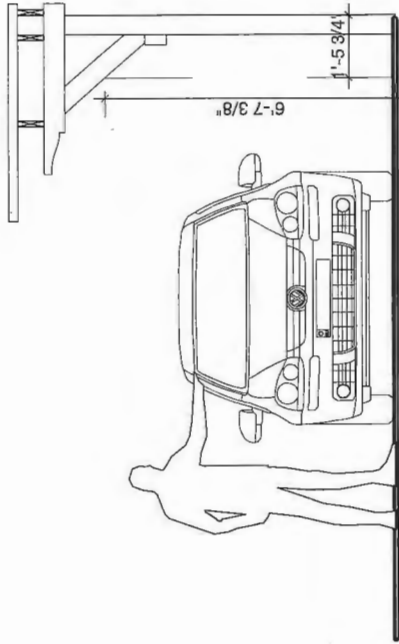
5a Detail elevation  
Scale: 1:20

Project  
Verona Garden



FRONT ELEVATION TYP.

6 Arbours at ends of drive aisles  
Scale: 1:25



SIDE ELEVATION

AUG 25 2015

DP 14-674133

PLAN #13

eta  
landscape architecture

1000 West 2nd Avenue  
Vancouver, BC, Canada V6C 1H4  
1 | 604.683.1400  
2 | 604.683.1400  
3 | 604.683.1400

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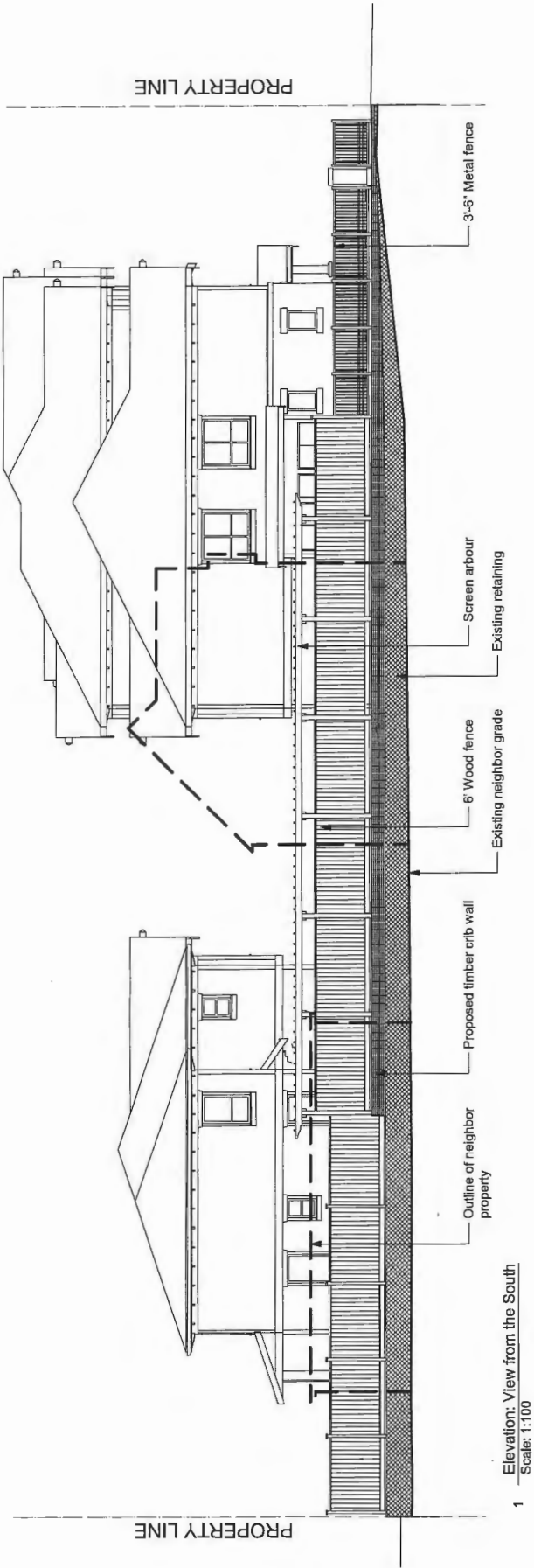
Professional Seal

Legend  
1/2\"/>

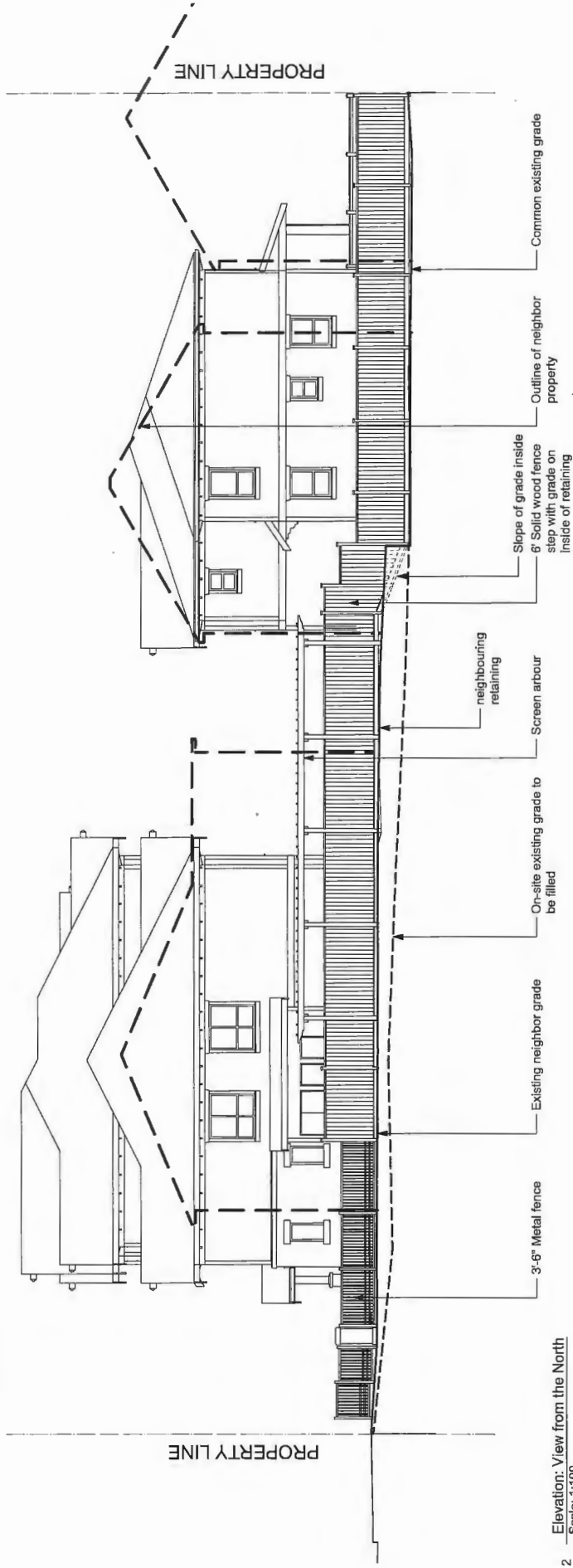
Project Manager	Project ID
21443	21443
Designer	Checker
KB	KB
Drawn By	Drawn No.
DT	DT
Date	Scale
09/15/14	3.f of 12

Plot Date:  
09/15/14  
21443 Verona Garden Master 2015.vmx

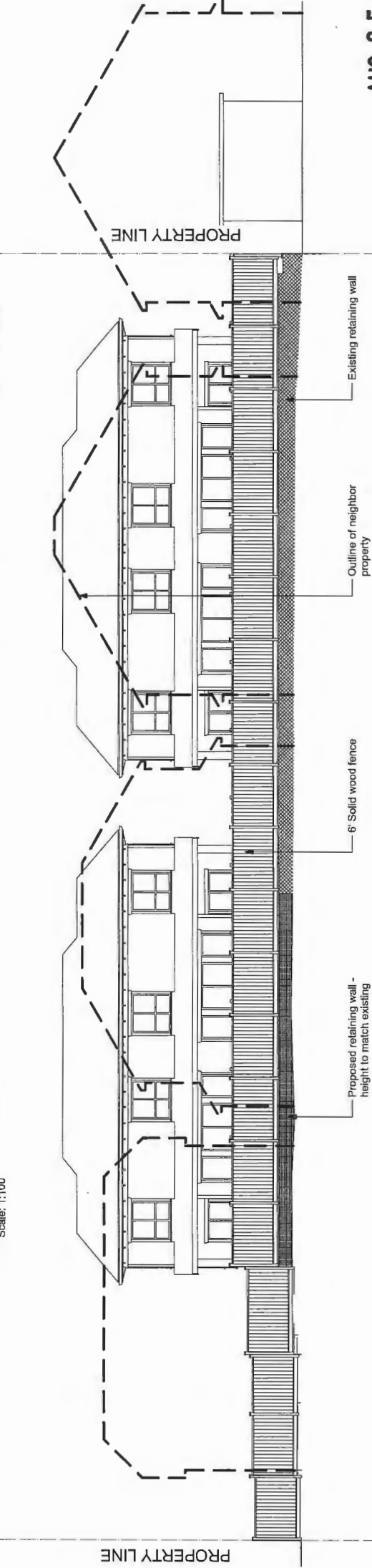




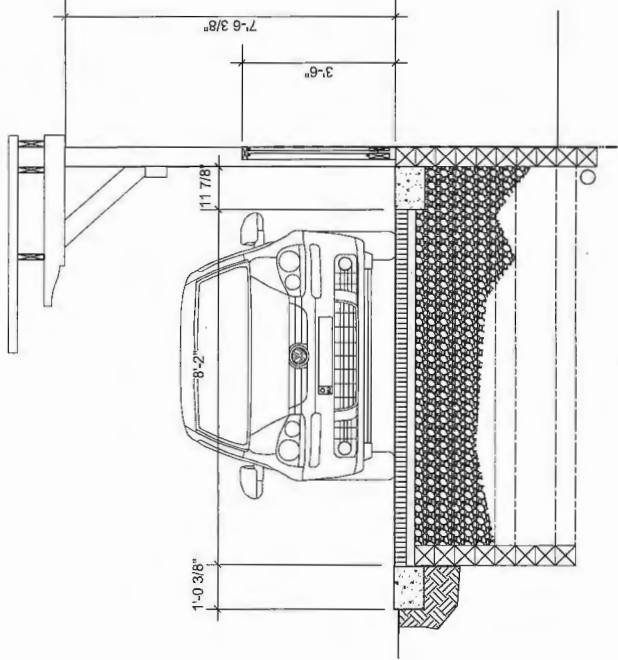
1 Elevation: View from the South  
Scale: 1:100



2 Elevation: View from the North  
Scale: 1:100



3 Elevation: View from the West  
Scale: 1:100



4 Arbor and Retaining Wall Detail  
Scale: 1:25

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	9/20/14	Issue for DP
B	9/22/15	Re-issued for DP
C	9/24/15	Re-issued for DP
D	9/31/15	Re-issued for DP
E	05/09/15	Re-issued for DP w/Comments

Professional Seal

**eta**  
landscape architecture

1600 West 2nd Avenue  
Vancouver, BC, Canada V6J 1H4

tel: 604.681.4555  
fax: 604.681.1400  
www.etalab.ca

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Project  
Verona Garden

Drawing Title

Elevations

Legal  
B211 No. 2 Flood  
Revisions: 0

Project Manager	Project ID
Drawn By	21443
Scale	1:50
Reviewed By	DT
Drawing No.	3.9
Date	09/15/14
Sheet	12

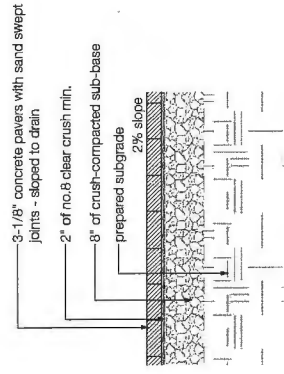
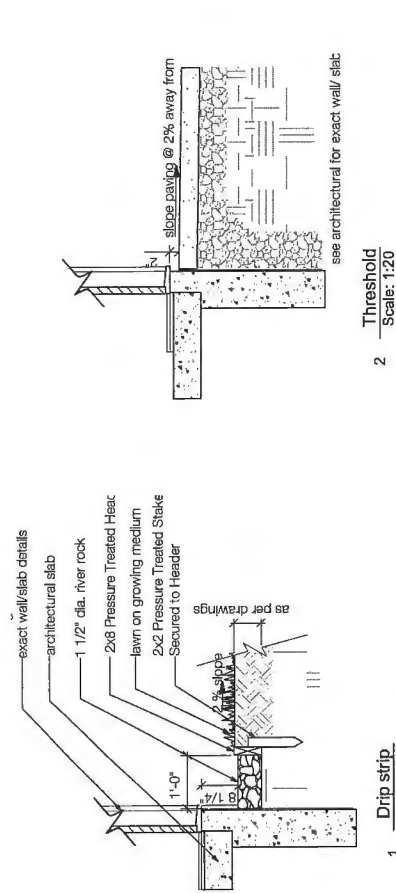
Plot Date:  
15-5-5  
21443 Verona Garden Master2015-1.yxd

AUG 25 2015  
DP 14-674133

PLAN #14

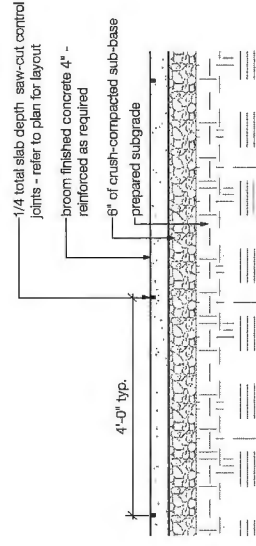






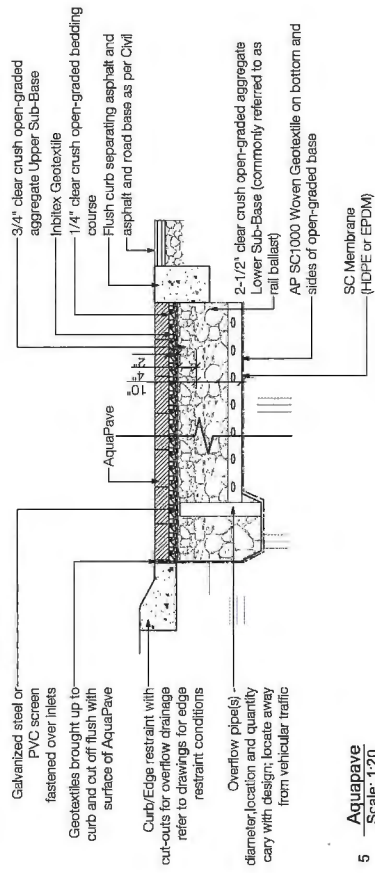
3 Vehicular Paving

Scale: 1:20



4 Broom finish concrete

Scale: 1:20



5 Aquapave

Scale: 1:20

**Specifications**

Unit size - 60 cm x 50 cm x 2.5 cm (20" x 20" x 1")

Available in 9 standard roll sizes

Unit weight - 510 grams (18 oz.) or 2.0 kg (4.5 pounds)

Strength - 402 kg/cm (5720 psi)

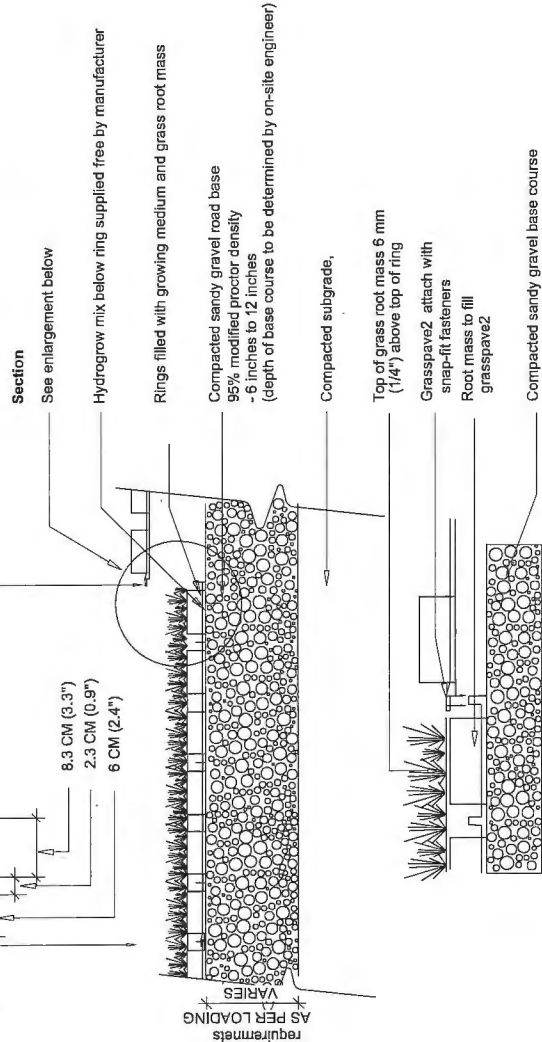
Colour - black (standard)

Resin - hdpe (with some post-consumer recycled content)

**Plan**

Grasspave2 squares

Adjacent grasspave2 squares

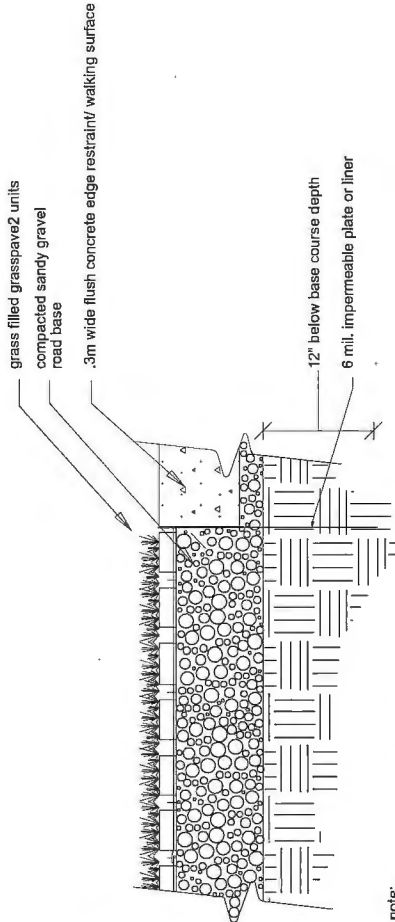


Enlargement

Note: grass/plant types and growing medium shall be specified by a landscape architect or landscape designer

6 Grass Pave

Scale: 1:10



note:

compacted subgrade, 95% modified proctor density

grass/plant types shall be specified by a landscape architect or landscape designer

7 Grass Pave with concrete edging

Scale: 1:10

Revision No. Date Description

Issue No.	Date	Issue Notes
A	9/25/14	Issue for GP
B	9/25/15	Re-issued for GP
C	9/26/15	Revised for GP
D	9/26/15	Revised for AUP
E	10/09/15	Revised for GP w/Comments

Professional Seal

**eta**

landscape architecture

1680 West 2nd Avenue  
Vancouver, BC, Canada V6J 1H4

T 604.693.1489  
F 604.693.1488  
www.eta.ca

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Project  
Verona Garden

Drawing Title  
Hardscape Details

Legal

9211 No. 2 Road  
Richmond, BC

Project Manager	Project ID
Owner Rep	21-143
Drawn By	KB
Reviewed By	
Date	09/17/14
Drawing No.	3.1
	12

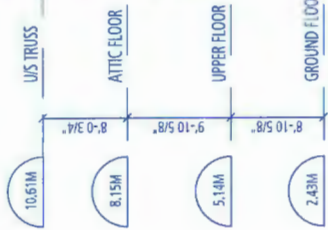
File Name:  
TDS-04  
21443 Verona Garden Master2015-1.dwg

PLAN # 16

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DP 14-674133





STREETSCAPE



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**VERONA  
GARDEN**

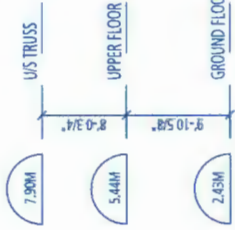
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Western Verona Garden  
Holding Ltd.

DP 14-674133 - MAY 12, 2015



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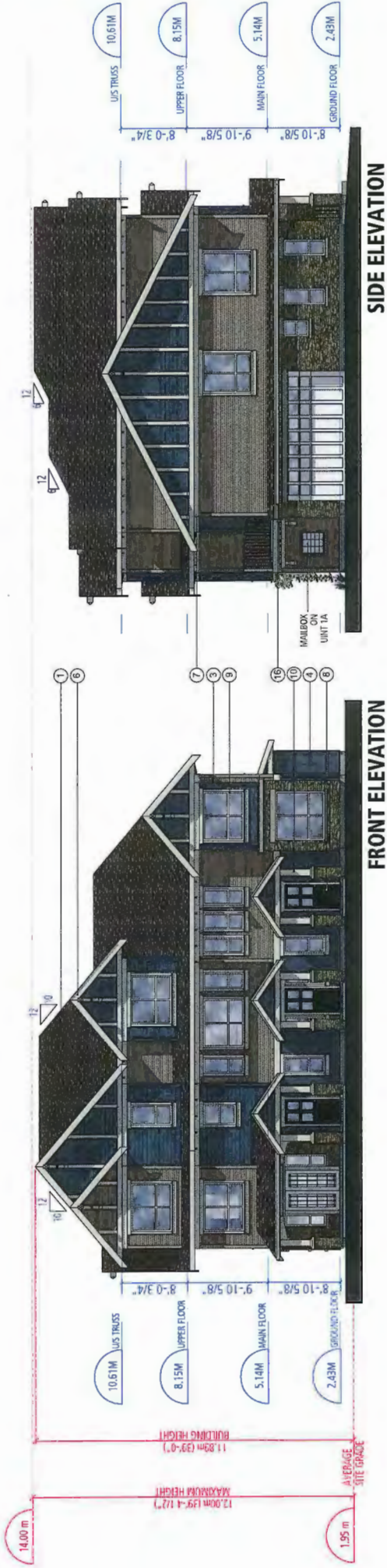
YARDSCAPE (WEST)

AUG 25 2015  
**PLAN 14-674133**



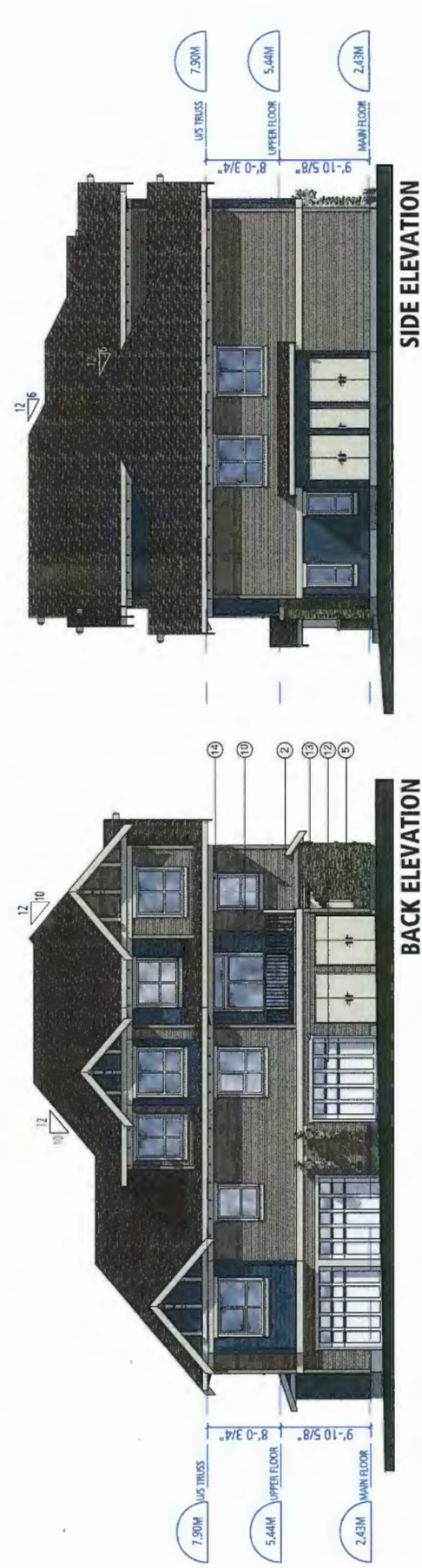
- Building Characteristic Summary:
- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
  - Roof/Attic - 39.2 Construction R value
  - Windows - Low E Argon 3 glaze U 2.0
  - Spare Condition - Electric Baseboard
  - Ventilation - HRV
  - Hot water Heating - Electric DHW
  - Other Energy Impact Features - Drain water heat recovery

- PROVISION OF ACCESSIBILITY FEATURES  
"AGING-IN-PLACE" REQUIREMENTS  
ON ALL UNITS:
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
  - Hallways minimum 900 mm width
  - Door from garage to living area minimum 2'-10" (swinging door spec.)
  - Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
  - Provision of lever door handles
  - One window that can be opened with a single hand in the living room
  - One window that can be opened with a single hand in one bedroom



EXTERIOR FINISHES SCHEDULE	
1	ROOF
2	HARDIE PLANK LAP SIDING
3	HARDIE SHINGLE-Straight Edge Panel
4	HARDIE PANEL VERTICAL SIDING
5	STONE
6	FASCIA
7	HORIZONTAL TRIM
8	ENTRY DOOR (Exterior Only)
9	WINDOW FRAMES
10	WOOD COLUMNS
11	RAIL & PICKETS, RAFTERS
12	GARAGE DOOR
13	GARAGE DOOR TRIM
14	WINDOW & DOOR TRIM
16	SOFFITS
17	GUTTERS/DOWNSPOUTS
18	ALL FLASHING

PABCO - Asphalt shingles - Weathered Wood
JAMES HARDIE - Khaki Brown
JAMES HARDIE - Boothbay Blue
JAMES HARDIE - Boothbay Blue
CULTURED STONE- Pro-fit LedgeStone
SHERWIN WILLIAMS - SW 7542 Naturel
SHERWIN WILLIAMS - SW 7542 Naturel
SHERWIN WILLIAMS - SW 6258 Tricorn Black
White
SHERWIN WILLIAMS - SW 7004 Snowbound
SHERWIN WILLIAMS - SW 6237 Dark Night
OVERHEAD DOOR Thermacore-Color White
SHERWIN WILLIAMS - SW 7542 Naturel
SHERWIN WILLIAMS - SW 7542 Naturel
VINYL Sand
GENTEK - Almond 532
Match to Trim or GENTEK - Almond 532



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for  
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604.873.2907  
202-2425 Quebec Street  
Vancouver, BC V5T 4L6  
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AUG 2 5 2015

**BUILDING 1 & 4 ELEVATIONS**  
SCALE 1/8" = 1'-0"  
**DP 14-674133**  
**PLAN #18**



Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 3x2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot water Heating - Electric DHW
- Hot water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

PROVISION OF ACCESSIBILITY FEATURES  
"AGING-IN-PLACE" REQUIREMENTS  
ON ALL UNITS:

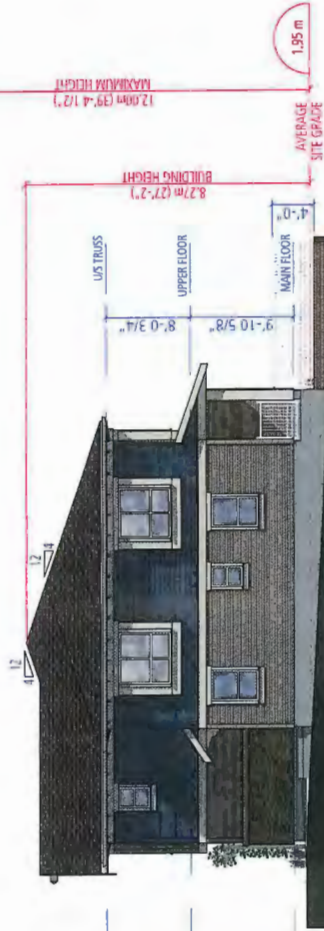
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



FRONT ELEVATION  
BUILDING 2



BACK ELEVATION  
BUILDING 2



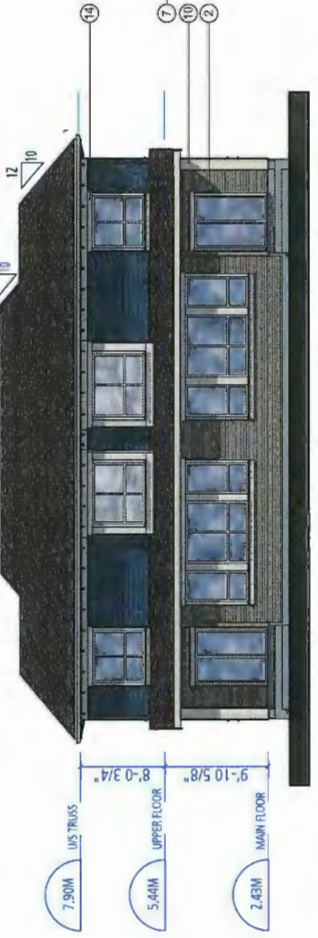
SIDE ELEVATION  
BUILDING 2



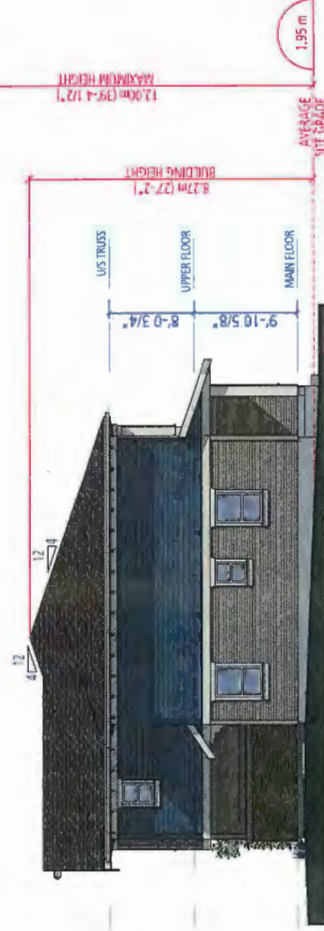
SIDE ELEVATION  
BUILDING 2



FRONT ELEVATION  
BUILDING 3



BACK ELEVATION  
BUILDING 3



SIDE ELEVATION  
BUILDING 3



SIDE ELEVATION  
BUILDING 3

BUILDING 2 & 3 ELEVATIONS

SCALE 1/8" = 1'-0"

EXTERIOR FINISHES SCHEDULE

1	ROOF	PABCO - Asphalt shingles - Weathered Wood
2	HARDIE PLANK LAP SIDING	JAMES HARDIE - Khaki Brown
3	HARDIE SHINGLE-Straight Edge Panel	JAMES HARDIE - Boothbay Blue
4	HARDIE PANEL VERTICAL SIDING	JAMES HARDIE - Boothbay Blue
5	STONE	CULTURED STONE- Pro-fit LedgeStone
6	FASCIA	SHERWIN WILLIAMS - SW 7542 Naturel
7	HORIZONTAL TRIM	SHERWIN WILLIAMS - SW 7542 Naturel
8	ENTRY DOOR (Exterior Only)	SHERWIN WILLIAMS - SW 6258 Tricorn Black
9	WINDOW FRAMES	White
10	WOOD COLUMNS	SHERWIN WILLIAMS - SW 7004 Snowbound
11	RAIL & PICKETS, RAFTERS	SHERWIN WILLIAMS - SW 6237 Dark Night
12	GARAGE DOOR	OVERHEAD DOOR Thermacore-Color White
13	GARAGE DOOR TRIM	SHERWIN WILLIAMS - SW 7542 Naturel
14	WINDOW & DOOR TRIM	SHERWIN WILLIAMS - SW 7542 Naturel
16	SOFFITS	VINYL Sand
17	GUTTERS/DOWNSPOUTS	GENTEK - Almond 532
18	ALL FLASHING	Match to Trim or GENTEK - Almond 532



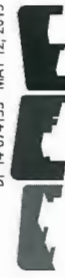
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**VERONA  
GARDEN**

9211 & 9231 No. 2 Road  
for  
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Holding Ltd.

DP 14-674133 - MAY 12, 2015



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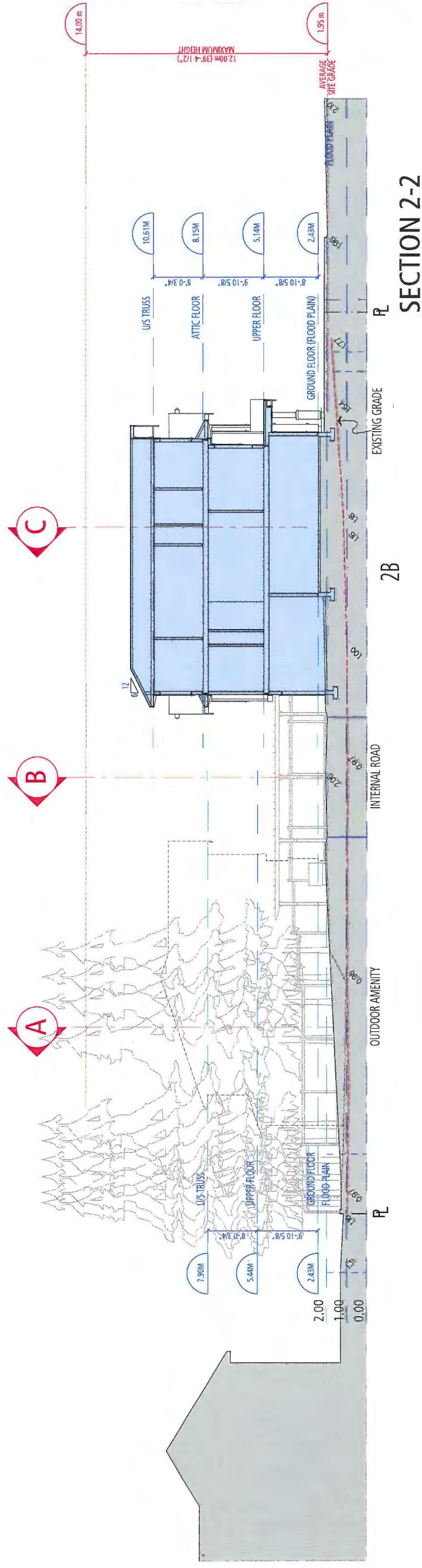
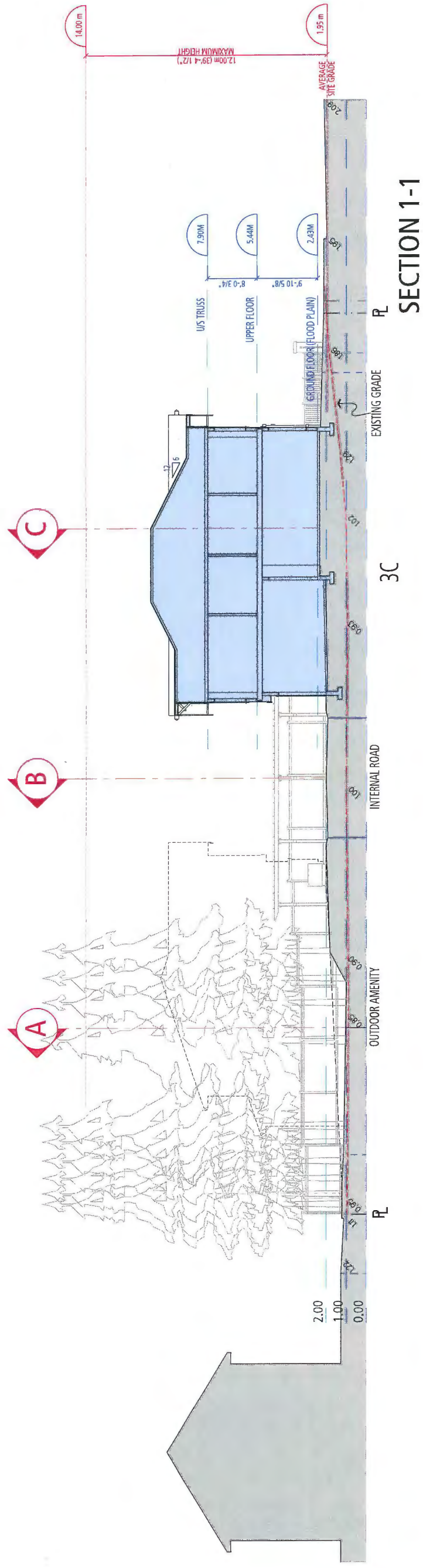
PLAN #19

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PLAN #19





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Vancouver, BC V5T 4L6 [fouquerearchitecture.ca](mailto:fouquerearchitecture.ca)

AUG 25 2015

DP 14-674133

**PLAN#06**

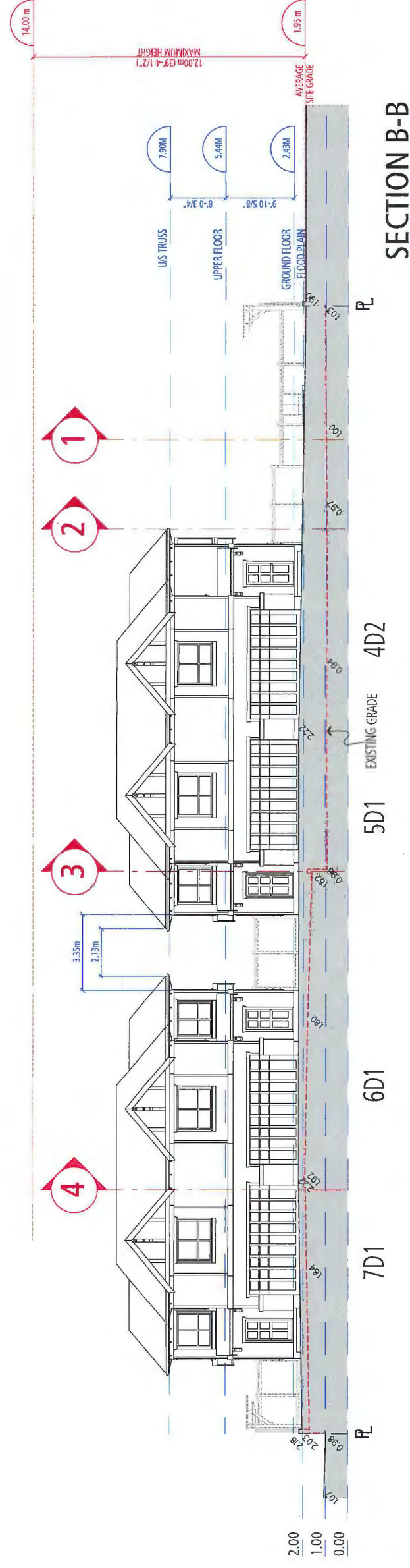
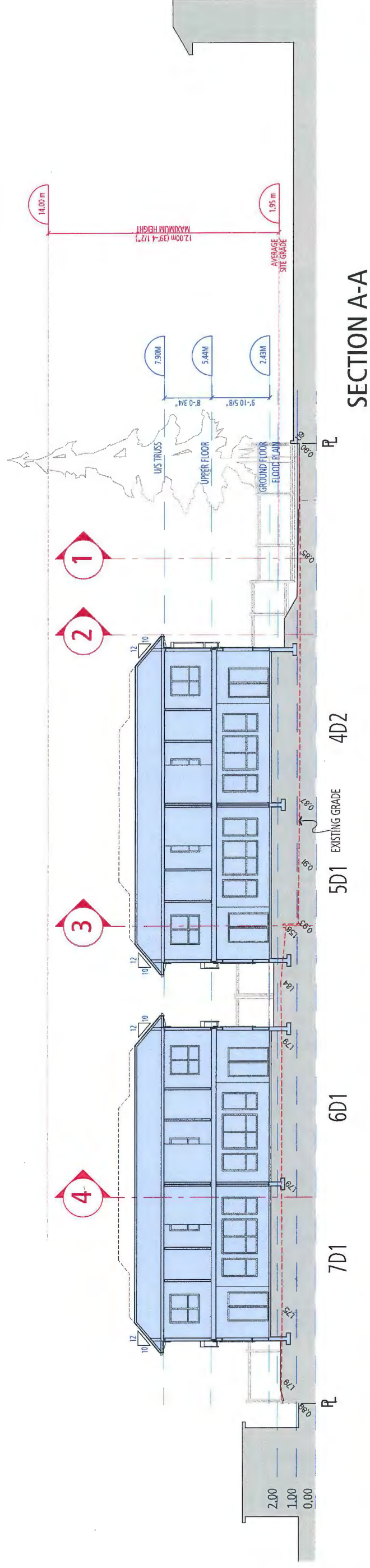
## SITE SECTIONS

SCALE 1/8" = 1'-0"









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**PE-11V#08**

AUG 25 2015

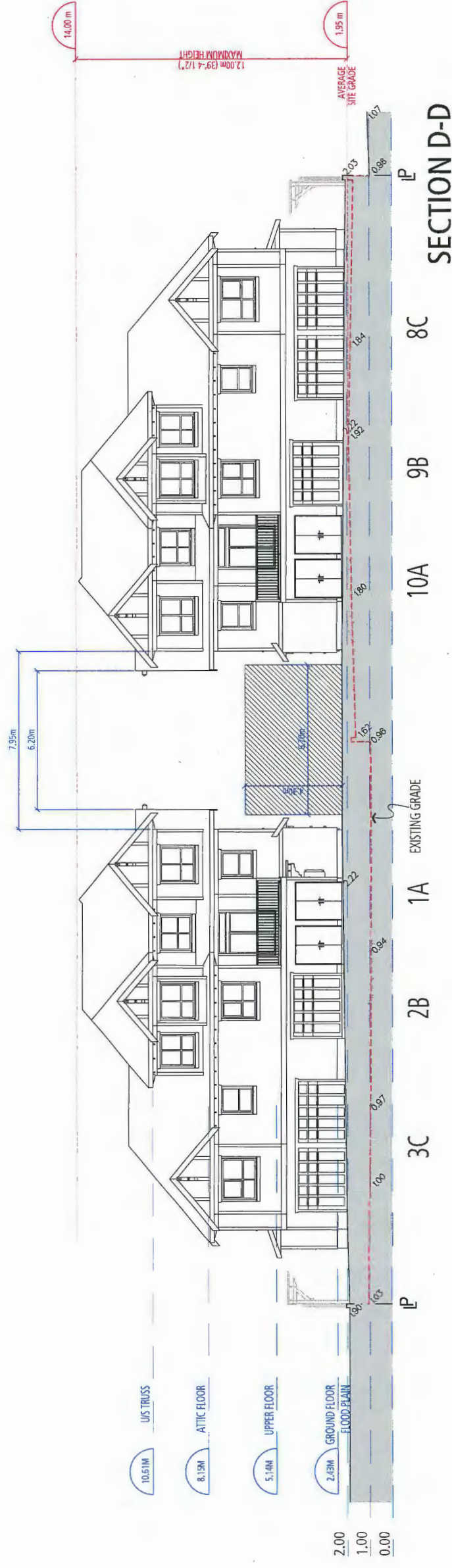
DP 14-674133

22  
\*  
2A2

## SITE SECTIONS

SCALE 1/8" = 1'-0"





**PLAN#09**

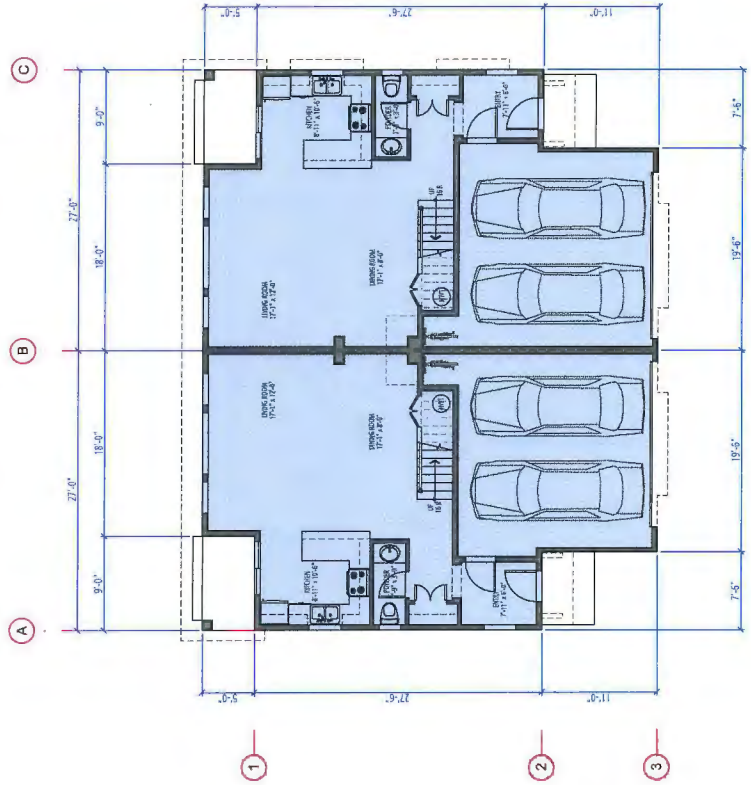
DP 14-674133  
PLAN 23

## SECTION D-D

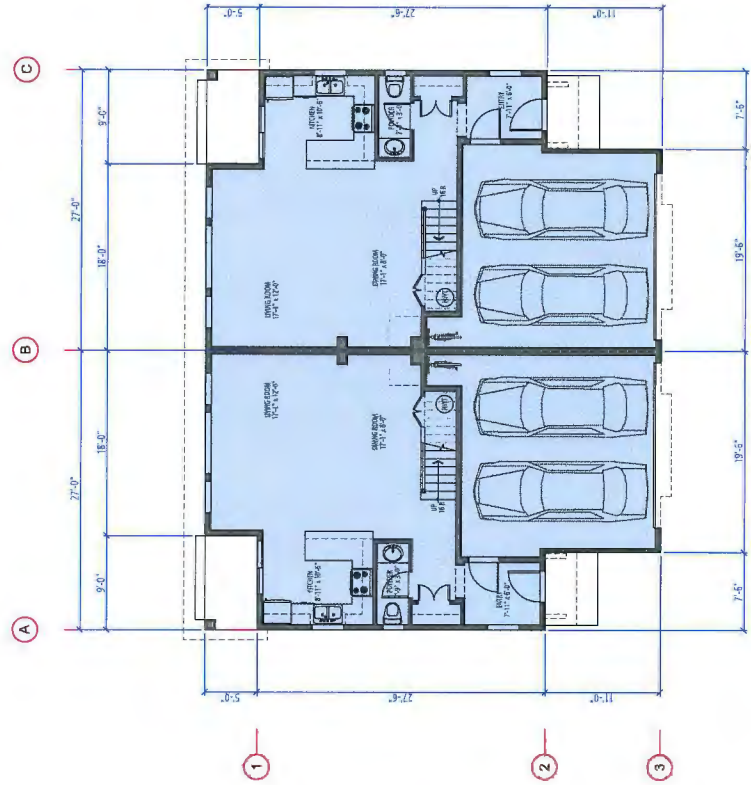




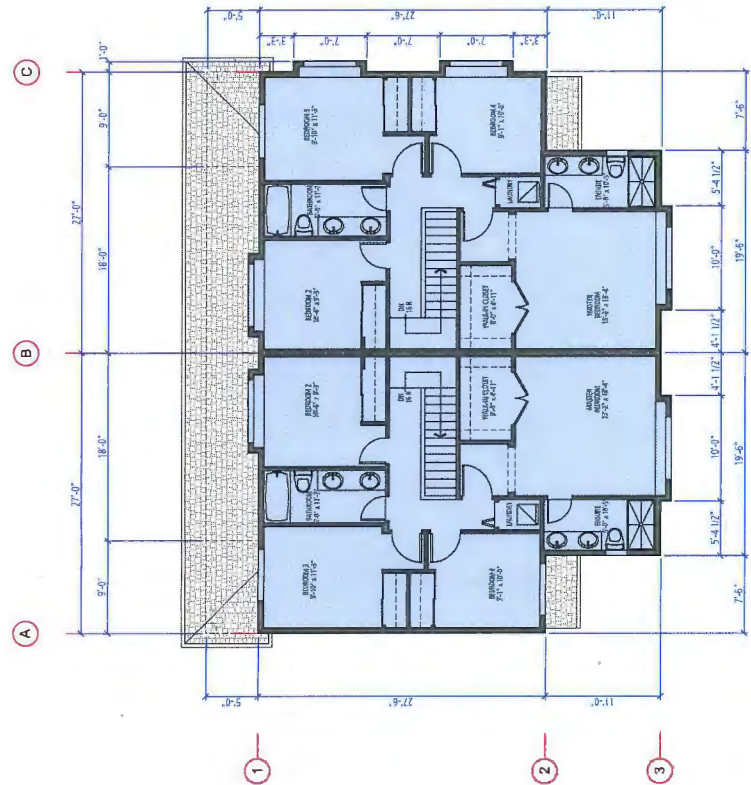




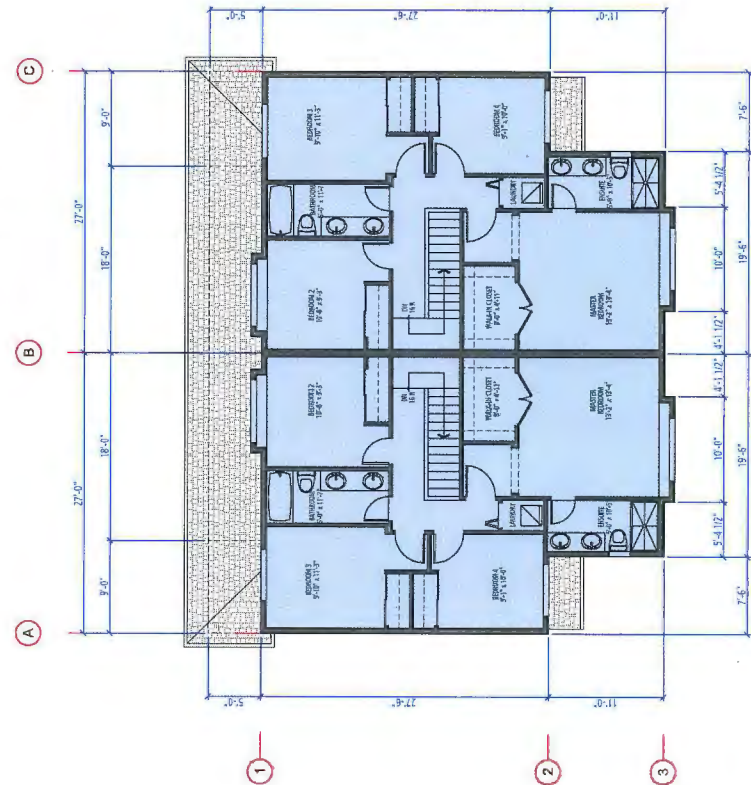
GROUND FLOOR  
BUILDING 2



GROUND FLOOR  
BUILDING 3



UPPER FLOOR  
BUILDING 2



UPPER FLOOR  
BUILDING 3

Building Characteristic Summary:

- Exterior Walls - 2x6 R19 Construction R value (15.8 Effective R value)
- Roof/Attic - 39.2 Construction R value
- Windows - Low E Argon 3 glaze U 2.0
- Space Condition - Electric Baseboard
- Ventilation - HRV
- Hot Water Heating - Electric DHW
- Other Energy Impact Features - Drain water heat recovery

PROVISION OF ACCESSIBILITY FEATURES  
"AGING-IN-PLACE" REQUIREMENTS  
ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



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**VERONA  
GARDEN**

9211 & 9231 No. 2 Road  
for  
Western Verona Garden  
Holding Ltd.

DP 14-674133 - MAY 12, 2015



**FOUGERE**  
architecture inc.

BRITISH COLUMBIA - ALBERTA - WASHINGTON  
302-2405 Quebec Street 604.673.2507  
Vancouver, BC V5T 4L6 fougerearchitecture.ca

REFERENCE PLAN AUG 2 5 2015

PLAN#05a

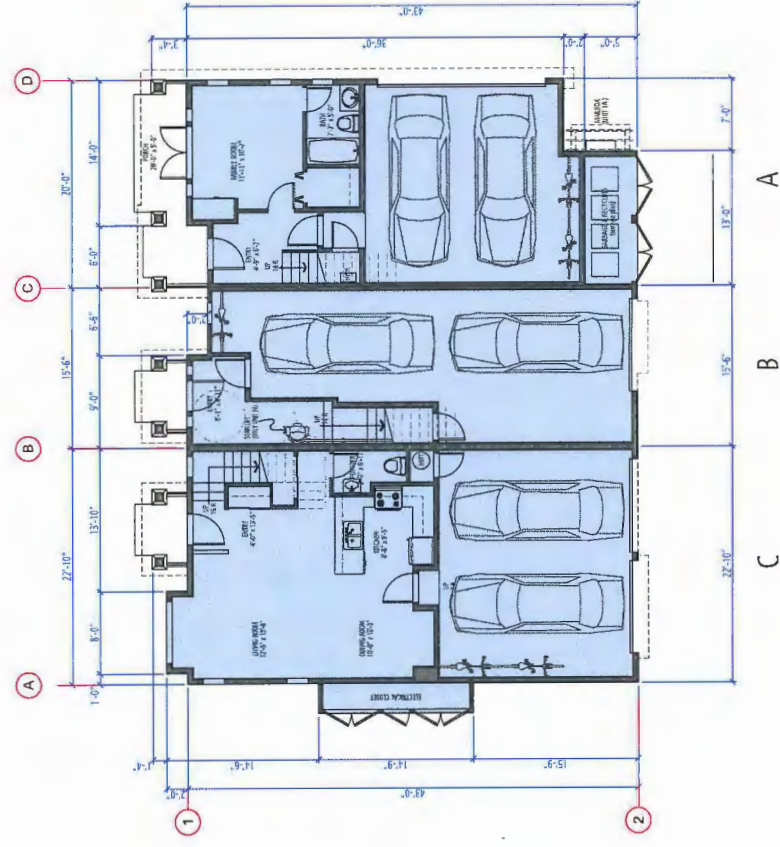
**BUILDING 2 & 3 BLOCK PLANS**

SCALE 1/8" = 1'-0"

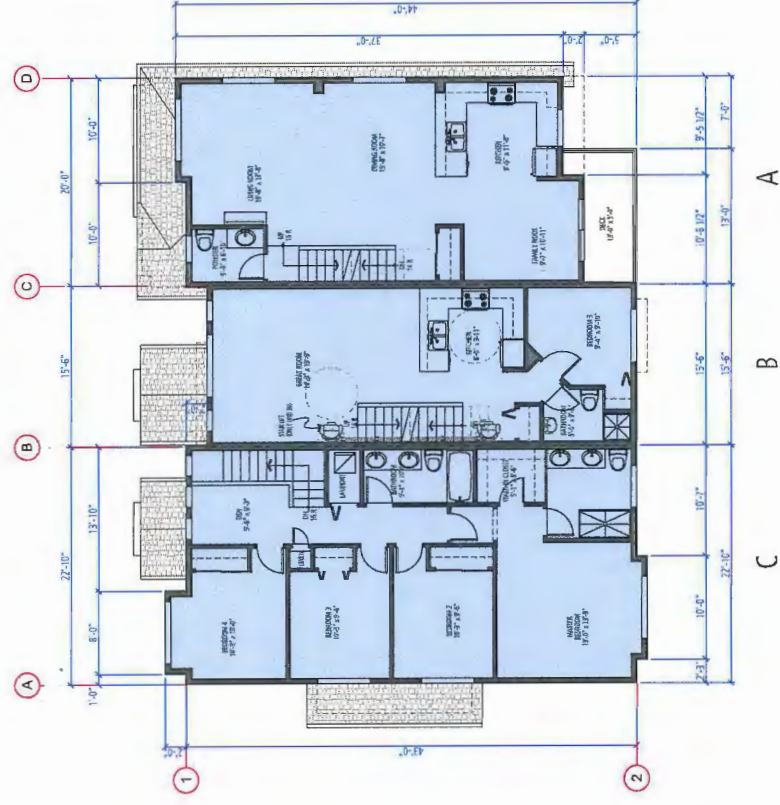


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  - Ventilation - HRV
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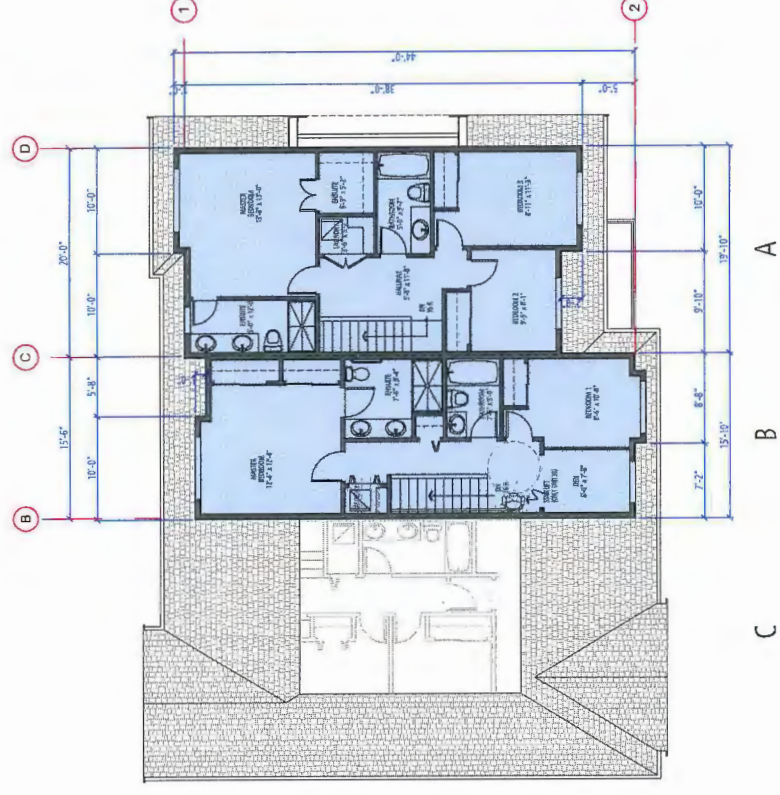
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  - Provision of lever door handles
  - One Window that can be opened with a single hand in the living room
  - One Window that can be opened with a single hand in one bedroom



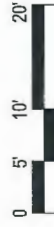
GROUND FLOOR



MAIN FLOOR



UPPER FLOOR



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**VERONA  
GARDEN**

9211 & 9231 No. 2 Road  
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Holding Ltd.

REFERENCE PLAN

DP 14-674133 - MAY 12, 2015

**FOUGERE**  
architecture inc.  
BRITISH COLUMBIA • ALBERTA • WASHINGTON  
202-2405 Quebec Street 604.873.2907  
Vancouver, BC V5T 4L6 fougerearchitecture.ca

**BUILDING 1 & 4 BLOCK PLANS**

SCALE 1/8" = 1'-0"

DP 14-674133

AUG 2 5 2015

PLAN#04a



**City of  
Richmond**

## **Report to Development Permit Panel**

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**To:** Development Permit Panel

**Date:** August 18, 2015

**From:** Wayne Craig  
Director of Development

**File:** DP 15-694729

**Re:** Application by Jacken Investments Inc. for a Development Permit at 10591,  
10611 and 10631 Gilbert Road

---

### **Staff Recommendation**

That a Development Permit be issued which would permit the construction of 14 townhouse units at 10591, 10611 and 10631 Gilbert Road on a site zoned "Low Density Townhouses (RTL4)".

  
Wayne Craig  
Director of Development

EL:blg  
Att.



## Staff Report

### Origin

Jacken Investments Inc. has applied to the City of Richmond for permission to develop 14 townhouse units at 10591, 10611 and 10631 Gilbert Road. The site is being rezoned from “Single Detached (RS1/E)” to “Low Density Townhouses (RTL4)” for this project under Bylaw 9190 (RZ 13-649998), which received third reading following the Public Hearing on January 19, 2015. The site currently contains three (3) single-family homes (one on each lot) which will be demolished.

A Servicing Agreement for frontage beautification works and service connections is required prior to issuance of a Building Permit for the site. Granting of an approximately 1.2 m wide Public Rights of Passage (PROP) Statutory Right-of-Way (SRW) along the entire frontage (east property line) to accommodate a portion of the proposed new concrete sidewalk (exact width of the SRW to be determined at the Servicing Agreement stage) and granting of an a 1.5 m x 1.5 m utility Right-of-Way (ROW) for storm water service connection will also be required. These requirements were identified at Rezoning stage.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north, single-family homes on large lots zoned “Single Detached (RS1/E)”.
- To the east, across Gilbert Road, single-family homes on large lots zoned “Single Detached (RS1/E)”, backing on to Gilbert Road.
- To the south, single-family homes on legal non-conforming “Single Detached (RS1/E)” lots fronting Gilbert Road; and then a 40 unit two-storey townhouse development on a lot zoned “Low Density Townhouses (RTL1)”.
- To the west, single-family homes on large lots zoned “Single Detached (RS1/E)”, fronting on to Whistler Place.

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on January 19, 2015. The following concerns were expressed during the Public Hearing. The response to the concerns is provided in *italics*.

1. Tree retention from a safety perspective and margin of survivability.

*The City's Tree Preservation Coordinator met with the Project Arborist and two of the neighbours on June 18, 2015 to review the conditions of both on-site and off-site trees located at the southwest corner of the development site. The City's Tree Preservation Coordinator has agreed to the removal of two (2) additional trees on the subject site as these trees are co-dependent with the trees on the neighbouring property to the south at 10711 Gilbert Road, which have been removed recently due to poor condition (TP 15-706075). Planting of two (2) larger calliper (minimum 5 m high) conifer trees on the subject site will be required to compensate for the loss.*

2. Height of the development and interface; opportunity to reduce the building height.

*Main roofline along streetscape has been reduced to minimize building height and provide better transition to adjacent single-family homes. Hipped roofs are proposed on the east elevations of the rear units to minimize shadowing.*

3. Opportunity to increase the rear yard setback.

*Rear yard setback has been increased to a minimum of 6.0 m.*

4. Drainage; and how the location of perimeter drainage may be impacted by tree retention, or vice versa, if any.

*All perimeter drainage and proposed retaining walls are to be installed outside of tree protection area; the project arborist advised that mitigation measures are not necessary.*

5. Reduction of green space, sunlight, and privacy.

*The applicant has made an effort to maximize the green area on-site. A generous outdoor amenity area of 115 m<sup>2</sup> is provided (exceeds the Development Permit Guidelines of 84 m<sup>2</sup> for 14 units). Additional side and rear yard setbacks are provided (along the north and west property lines) to address adjacency issues, such as shadowing and privacy.*

6. Replacement of the hedgerow at the northeast corner of the development site.

*The Cedar hedge is to be removed as per Arborist's recommendation. A 6 ft. tall fence will be installed along the north property line and three (3) new trees will be planted at the northeast corner of the site.*

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the "Low Density Townhouses (RTL4)" zone.



### **Advisory Design Panel Comments**

The Advisory Design Panel supported the design of the project and the Design Panel's suggested design changes have been incorporated into the proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, July 8, 2015 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

### **Analysis**

#### ***Conditions of Adjacency***

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments.
- Two (2) four-unit buildings are proposed along Gilbert Road. The end units adjacent to the north and south side yards, as well as the entry driveway are stepped down from three (3) storeys to two (2) storeys to compliment the adjacent single-family developments and balance the streetscape along Gilbert Road.
- Two-storey duplex and detached units are proposed along the rear property line to minimize privacy and overlook concerns. The proposed roof line is designed to diminish the impact of shadowing and scale to the neighbours.
- The proposed rear yard setback has been increase to a minimum of 6.0 m, which exceeds the minimum rear yard setback specified in the "Low Density Townhouses (RTL4)" zone and meets the Arterial Road Guidelines for Townhouses in the OCP.

#### ***Urban Design and Site Planning***

- The proposed site layout provides for an attractive pedestrian-oriented streetscape of townhouses fronting Gilbert Road, complete with a landscaped edge treatment, low metal fencing, and metal gates to individual townhouse unit front doors.
- The internal road layout is a T-shape, with future connections to the neighbouring properties to the north and south, secured by SRW at the Rezoning stage.
- All units have two (2) vehicle parking spaces in a side-by-side double car garage. A total of three (3) visitor parking spaces, including an accessible visitor parking space, are proposed, which meet the bylaw requirement. Both residential and visitor bicycle parking are provided and are also in compliance with the Zoning Bylaw requirements.
- Outdoor amenity space is proposed opposite the site entry for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all of the units.
- A covered mailbox kiosk and short-term bicycle parking spaces are provided at the entrance of the outdoor amenity space.
- The required garbage, recycling and organic waste storage enclosures are located at the back of the street fronting buildings and have been incorporated into the design of the townhouse clusters to minimize their visual impact.

***Architectural Form and Character***

- Tudor architectural style is proposed, with the use of decorative wood trim boards on hardi panel at the projected bays. Traditional brick is used to ground the overall massing.
- A combination of staggered units, alternating color schemes/materials and roof styles is provided to street fronting buildings to enhance visual diversity.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows and planting islands along the drive aisle.
- The proposed building materials (asphalt roof shingles, hardi siding, brick cladding, wood trim/post/band/bracket/doors, and metal guard rail) are generally consistent with the Official Community Plan (OCP) Guidelines and are generally compatible with the existing single-family character of the neighbourhood.

***Tree Preservation***

- Subsequent to the Rezoning staff report, tree preservation has been reviewed again for the Development Permit application stage; a total of 37 bylaw-sized trees on-site are identified for removal. Based on the 2:1 tree replacement ratio goal stated in the OCP, 74 replacement trees are required. The applicant is proposing to plant 25 replacement trees on-site, including five (5) conifers and 20 deciduous trees.
- A voluntary contribution of \$22,000 to the City's Tree Compensation Fund in-lieu of planting 44 replacement trees has been secured at rezoning. The applicant has also agreed to provide a voluntary contribution of \$2,500 to the City's Tree Compensation Fund in lieu of planting the remaining five (5) replacement trees.
- Two (2) trees on-site and six (6) trees located on the neighbouring properties to the west are identified for retention. Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site. A Tree Survival Security will be required as part of the Landscape Letter of Credit as a condition to Development Permit issuance to ensure that these trees will be protected. No Landscape Letter of Credit will be returned until the post-construction assessment report, prepared by the Arborist, confirming the protected trees survived the construction, is reviewed by staff.

***Landscape Design and Open Space Design***

- Landscaping for this project has been designed to incorporate the protected trees on-site and off-site. The existing grade at the tree protection areas will remain the same; as such, stairs will be provided for front yards of Units Bb and C of Building #6 and rear yards to Buildings #2 to #5.
- A pedestrian-oriented streetscape along Gilbert Road is proposed; with a landscaped edge treatment, low metal fencing with concrete columns, and gates to individual townhouse unit front doors.
- Each unit will have a private yard with a shade tree and shrub/ groundcover planting, a patio, and small lawn area. All trees along the rear (west) property line are proposed outside of the SRW corridor.
- Hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.



- The north and south end of the interior road will be treated with an arbour structure, with vines and fence behind, to screen views into the neighbouring properties.
- Armstrong Maple trees are proposed between the surface parking areas of the three-storey units and portions the parking pads are treated with structural soil to provide additional green space along the internal drive aisle.
- Portions of the entry driveway and internal drive aisle, as well as surface parking stalls, will be treated with permeable pavers for better permeability and to provide a variety in paving surfaces.
- Outdoor amenity space is proposed opposite the site entry and will be at the same grade as the internal roadway. A small children's play area with a play equipment and natural play elements for the younger children aged 2 to 5 will be included in the proposal.
- The chosen play equipment provides different play opportunities such as social, imagination, balance, sliding, climbing, and motor skills.
- Natural play opportunities will be created by using resources on-site such as logs from the tree to be removed on-site. Vertical logs will form the edge between the play area and the surrounding landscaping and flat boulders will be located in the middle of the active play area. The natural play elements will also provide opportunities for climbing, balancing, imaginative play and social interaction.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$127,198.78 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$14,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

### ***Crime Prevention Through Environmental Design***

- The architect advised that the following CPTED design/features are incorporated into the proposal:
  - Pedestrian walkway connecting Gilbert Road sidewalk to development for increased natural flow.
  - Street edge is metal fence with gates and low planting on either side of the fence for visual porosity into the site.
  - Windows provided at certain areas such as the amenity and "blind spots" near the electrical room to enhance surveillance opportunity.

### ***Sustainability***

- A Restrictive Covenant, specifying that all units are to be built and maintained to the EnerGuide rating of 82 or higher, and that all units are to be solar-hot-water-ready, has been secured at rezoning. A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.

- The developer also advises that the following sustainability features will be incorporated into the development:
  - Retention of two (2) large existing trees on-site.
  - Native plants incorporated in landscaping design.
  - Permeable pavers at internal roadway and visitor parking stalls.
  - Larger gable overhangs to increase envelope performance.
  - Large operable windows to provide natural light and ventilation.
  - Energy efficient appliances.
  - Low energy lighting.
  - Water efficient toilets.
  - Drain water heat recovery from two (2) showers per unit.

### ***Accessible Housing***

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit B1) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Conclusions**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee  
Planning Technician – Design  
(604-276-4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Adoption of Rezoning Bylaw 9190 (RZ 13-649998).
- Receipt of a Letter-of-Credit for landscaping and tree survival in the amount of \$127,198.78; Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect confirming that landscaping are



installed as per Development Permit, as well as the Post Construction Impact Assessment Report from the Arborist confirming that the protected hedgerow survived the construction, are reviewed by staff.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Enter into a Servicing Agreement for the design and construction of the design and construction of frontage improvements along entire frontage on Gilbert Road as well as the design and construction of Water, Storm, and Sanitary service connections
- The granting of an approximately 1.2 m wide Public Rights of Passage (PROP) Statutory Right-of-Way (SRW) along the entire frontage (east property line) to accommodate a portion of the proposed new concrete sidewalk (exact width of the SRW to be determined at the Servicing Agreement stage).
- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
- Payment of DCC's (City & GVS&DD), School Site Acquisition Charges, Address Assignment Fee, and all required servicing costs.
- Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



**DP 15-694729**

**Attachment 1**

Address: 10591, 10611 and 10631 Gilbert Road

Applicant: Jacken Investments Inc.

Owner: Gilbert CWL Investments Inc.

Planning Area(s): Blundell

Floor Area Gross: 2,158 m<sup>2</sup>

Floor Area Net: 2,035 m<sup>2</sup>

	Existing	Proposed
Site Area:	3,392 m <sup>2</sup>	3,392 m <sup>2</sup>
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	3	14

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	39.3%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	62%	none
Lot Coverage – Landscaping:	Min. 25%	25.4%	none
Setback – Front Yard (m):	Min. 6.0 m	6.26 m Min.	none
Setback – North Side Yard (m):	Min. 3.0 m	3.56 m Min.	none
Setback – South Side Yard (m):	Min. 3.0 m	3.11 m Min.	none
Setback – Rear Yard (m):	Min. 3.0 m	6.0 m Min.	none
Height (m):	Max. 12.0 m (3 storeys)	10.79 m (3 storeys) Max.	none
Lot Width:	Min. 50.0 m	66.4 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	31	31	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (28 x Max. 50% = 14)	0	none



Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on site (31 x Max. 50% = 15)	0	none
Handicap Parking Spaces:	Min. 2% when 3 or more visitor parking spaces are required (3 x Min. 2% = 1)	1	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 14 units = 84 m <sup>2</sup>	115 m <sup>2</sup>	none

Excerpt from the Minutes from  
**The Design Panel Meeting**

Wednesday, July 8, 2015 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

**Panel Discussion**

*Comments from the Panel were as follows:*

- appreciate the massing and materiality of the proposed development, in particular the use of bricks which is visually appealing and different from previous projects reviewed by the Panel; like the stepping down of end units to two-storeys;

*Noted.*

- concerned on the long row of garage doors along the internal drive aisle; consider breaking up the double garage doors to enhance visual appeal on the ground plane along the internal drive aisle;

*Buildings are staggered along the internal road to minimize row of doors. Duplex units have also been staggered to enhance the transition between their garage doors. Evergreen shrubs provided to between garage doors.*

- appreciate the siting of the bicycle rack and mail kiosk adjacent to the outdoor amenity area;

*Noted.*

- agree with comments regarding the long row of double garage doors along the internal drive aisle; consider introducing architectural treatment and enhancing the landscaping to visually break up the double garage doors;

*See response above regarding transition between garage doors.*

- appreciate the design and massing of the proposed development;

*Noted.*

- applicant needs to clarify whether there is a garage door in the west elevation (internal drive aisle) of the B unit in Buildings 1 and 6 as shown in the architectural drawings submitted by the applicant to the Panel;

*Garage door for B/Bb units of Bldg 1 & 6 provided at the north/south main drive aisle. Sliding doors with access to the garbage & recycling are proposed at the west elevations of these units.*



- appreciate the introduction of recesses which allow for more tree planting in the interior of the proposed development;

*Noted.*

- consider introducing architectural element to provide transition from the lower to upper level of brick cladding on the building façade; also consider introducing an element above the arches, e.g. by relocating the soldier course brick on the sides of the building, to provide transition and visually break up the brick cladding;

***Precast concrete cap provided to transition between brick cladding and hardi plank elements. Arches removed and shown with vertical soldier coarse brick.***

- appreciate the proportions, materiality and massing of the buildings; agree with comments to consider introducing soldier course brick above the arches; consider a straight line in lieu of a slight arch over the garage doors to provide a cleaner look;

***All brick clad garage doors proposed with a linear vertical coarse brick.***

- consider introducing a pedestrian walkway along one side of the east-west main drive aisle to provide pedestrian connection to the street sidewalk along Gilbert Road;

***Pedestrian walkway provided adjacent to the main drive aisle to connect proposed development and Gilbert Rd. sidewalk.***

- appreciate the retention of the big tree in the outdoor amenity area; also appreciate the integration of the bench, bicycle rack and mail kiosk in the outdoor amenity area which provide more benefits and use to the residents;

*Noted.*

- appreciate the stepping down to two-storeys of the end units and back units of the proposed development; also appreciate the provision of living spaces on the ground floor of the townhouse units which are beneficial to disabled residents;

*Noted.*

- consider an 800 mm door width for powder rooms in townhouse units;

***800mm width pocket doors provided.***

- appreciate the amount of planting along the main drive aisle; agree with comment to introduce a pedestrian walkway along the main drive aisle; also appreciate the use of special paving on the proposed development;

***See note pedestrian walkway note above.***

- look at the amount of planting under the tree to be retained; ensure the survivability of plants under the big tree; and

***Noted. Arborist and landscape architect to coordinate regarding the survivability of these plants.***

- appreciate the sustainability features of the project, e.g., heat recovery ventilators, insulated and double glazed building materials, condensing natural gas boilers and solar heat recoveries which are not normally found in other townhouse developments; the applicant is encouraged to maintain these sustainability features up to the construction stage.

*Noted. Client to maintain sustainable features until the construction stage.*

#### **Panel Decision**

It was moved and seconded

*That DP 15-694729 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.*

**CARRIED**





# City of Richmond

## Development Permit

**No. DP 15-694729**

To the Holder: JACKEN INVESTMENTS INC.  
Property Address: 10591, 10611 AND 10631 GILBERT ROAD  
Address: C/O KEVIN PERATLA  
YAMAMOTO ARCHITECTURE INC.  
2386 OAK STREET  
VANCOUVER, BC V6H 4J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$127,198.78 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 15-694729

To the Holder: JACKEN INVESTMENTS INC.  
Property Address: 10591, 10611 AND 10631 GILBERT ROAD  
Address: C/O KEVIN PERATLA  
YAMAMOTO ARCHITECTURE INC.  
2386 OAK STREET  
VANCOUVER, BC V6H 4J1

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

---

MAYOR



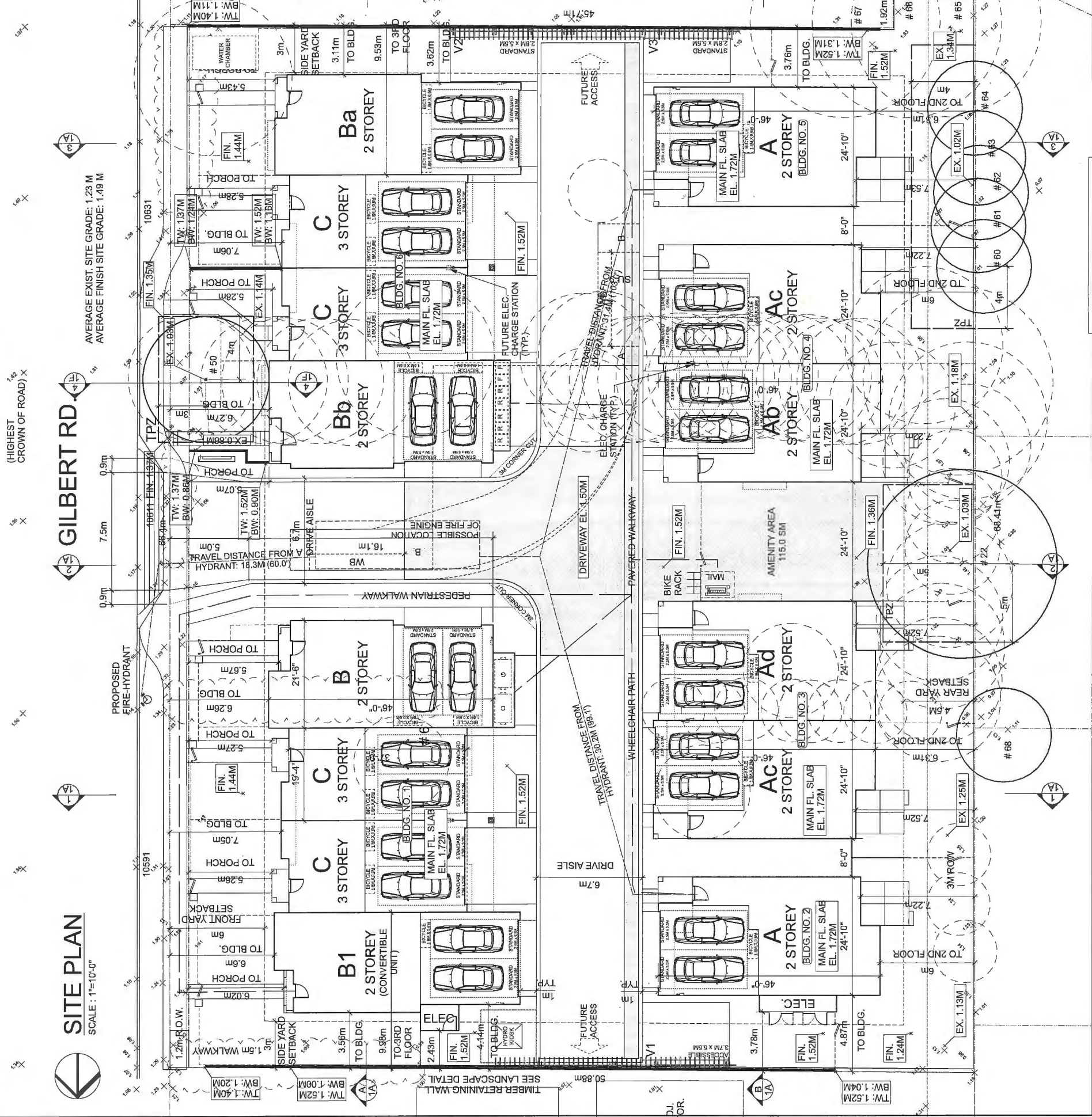




# CONTEXT PLAN

SCALE : N.T.S.

- LEGEND:**
- ELECTRICAL CHARGE OUTLET
  - FUTURE ELECTRICAL CHARGE OUTLET
  - 3.5' HT. FENCE
  - 6' HT. FENCE
  - TPZ FENCE



## STATISTICS:

CIVIC ADDRESS: 10591, 10611, 10631 GILBERT RD.

LEGAL DESCRIPTION:

ZONING: RTL4

LOT AREA (GROSS): 36,511 SQ.FT. (3,342 SQ.M.)

LOT AREA (NET): 36,511 SQ.FT. (3,342 SQ.M.)

MAX. LOT COVERAGE: 36,511 SQ.FT. x 40% = 14,604 SQ.FT. (1,357 SQ.M.)

PROPOSED:

13469.0 SQ.FT. (BUILDINGS)

417.0 SQ.FT. (PATIOS)

464.0 SQ.FT. (COVERED AREA)

14350.0 SQ.FT. (39.3%)

MAX. BUILDING HEIGHT: 12.0 M (THREE STOREYS)

PROPOSED: 10.56 M (THREE STOREYS)

MAX. ALLOWED FLOOR AREA (0.60): 36,426.1 SQ.FT. x 60% = 21,907 SQ.FT. (2,035 SQ.M.)

PROPOSED FLOOR AREA:

NET:

GROSS:

UNIT-A (4 BRS)

UNIT-A2 (4 BRS)

UNIT-A3 (3 BRS + D)

UNIT-B1 (3 BRS + D)

UNIT-B2 (3 BRS + D)

UNIT-B3 (3 BRS + D)

UNIT-B4 (3 BRS + D)

UNIT-B5 (3 BRS + D)

UNIT-B6 (3 BRS + D)

UNIT-B7 (3 BRS + D)

UNIT-B8 (3 BRS + D)

UNIT-B9 (3 BRS + D)

UNIT-B10 (3 BRS + D)

UNIT-B11 (3 BRS + D)

UNIT-B12 (3 BRS + D)

UNIT-B13 (3 BRS + D)

UNIT-B14 (3 BRS + D)

UNIT-B15 (3 BRS + D)

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UNIT-B234 (3 BRS + D)

UNIT-B235 (3 BRS + D)

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UNIT-B238 (3 BRS + D)

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UNIT-B240 (3 BRS + D)

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UNIT-B245 (3 BRS + D)

UNIT-B246 (3 BRS + D)

UNIT-B247 (3 BRS + D)

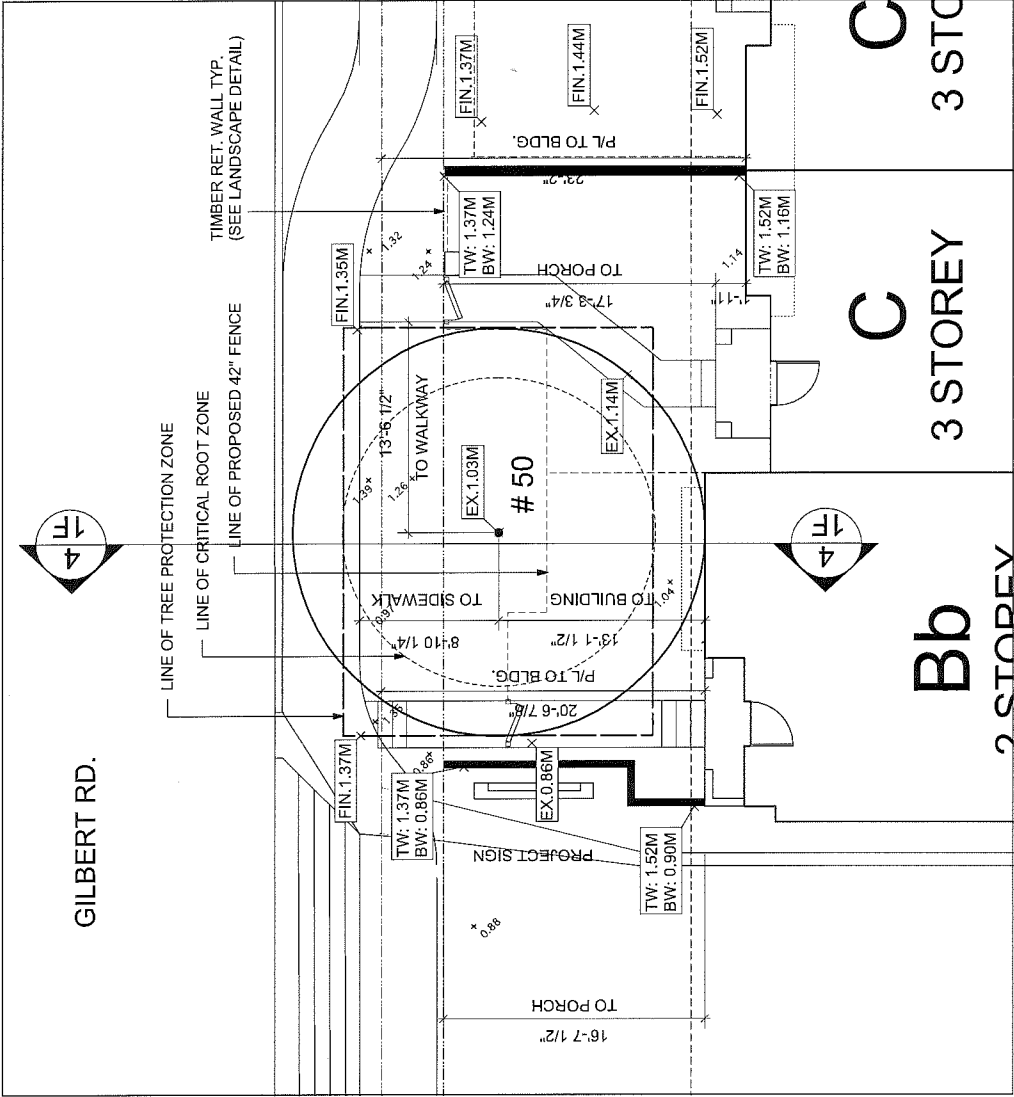
UNIT-B248 (3 BRS + D)

UNIT-B249 (3 BRS + D)

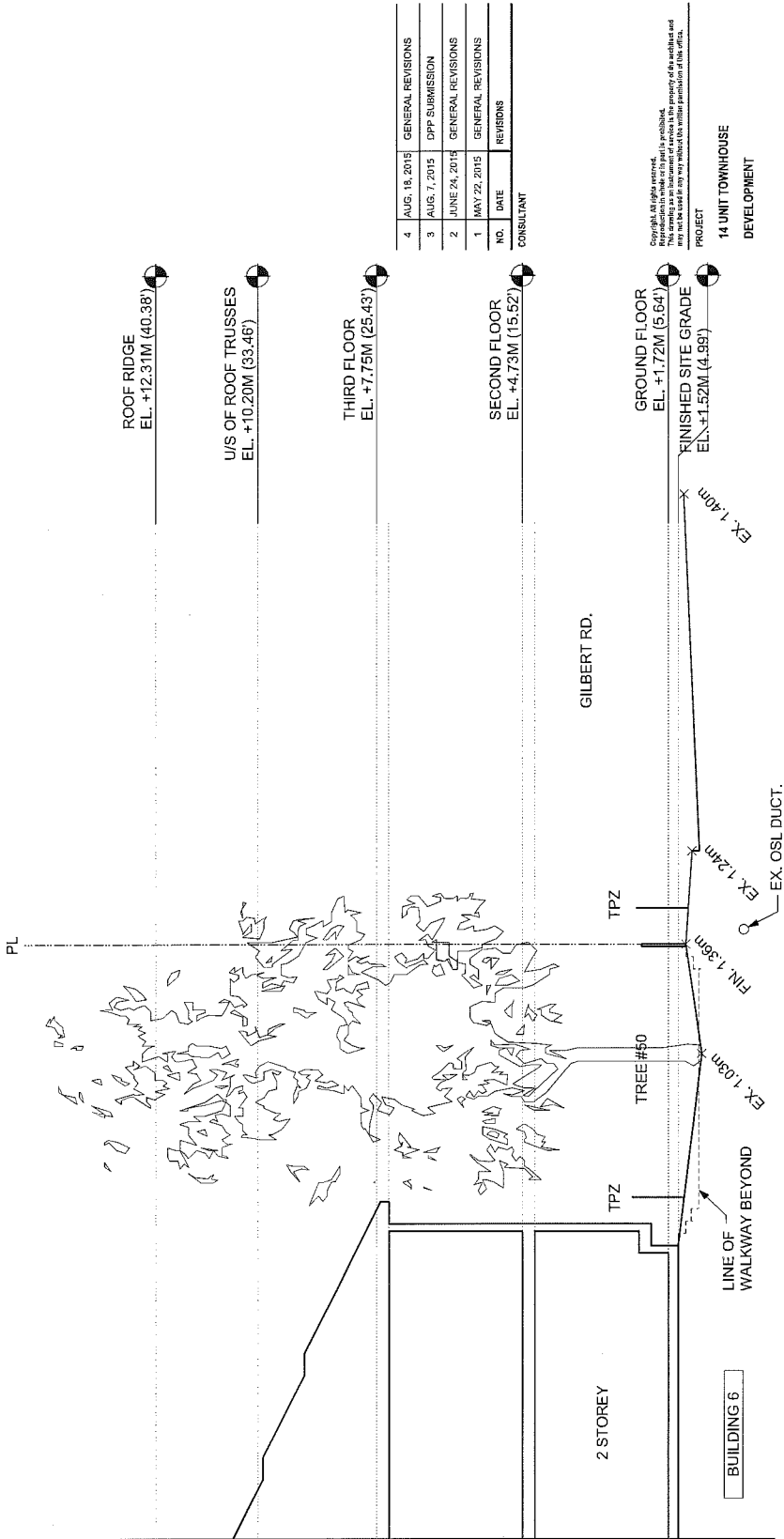
UNIT-B250 (3 BRS + D)







 **PLAN VIEW OF TREE #50**  
SCALE : 3/16"=1'-0"



**SECTION 4**  
SCALE : 3/16"=1'-0"

10591, 10611, 10631  
GILBERT ROAD, RICHMOND

**Yamamoto**  
Architecture Inc.

2386 oak street, van., b.c.  
V6H 4J7 TEL: 604-271-1127 FAX: 604-731-1327  
DRAWING TITLE

ENLARGED PLAN & SECTION  
AT TREE #50

PLAN #1B AUG 18 2015

DP 15-694729

SCALE	1"=10'-0"	SHEET NO.	1528
DATE	MARCH 6, 2015	PROJECT	14 UNIT TOWNHOUSE DEVELOPMENT
DRAWN	RP	CHECKED	
PROJ. NO.	DP 15-694729	PLAN #	15





**PARKING / FIRE FIGHTING PLAN**

SCALE: 1"=10'-0"

PROPOSED  
FIRE-HYDRANT

**GILBERT RD.**

(HIGHEST  
CROWN OF ROAD)

**PARKING:**

REQUIRED :

2.0 SPACES x 14 UNITS = 28 SPACES (RESIDENTS)  
0.2 SPACES x 14 UNITS = 2.8 SPACES (VISITORS)  
TOTAL = 30.8 SPACES

PROVIDED :

2 CAR GARAGES x 14 UNITS = 28 SPACES (RESIDENTS)  
2 SMALL CAR OUTDOOR x 4 UNITS = 8 SPACES (VISITORS)  
OPEN VISITORS PARKING = 3 SPACES (VISITORS)  
TOTAL = 39 SPACES

REQ. STALLS WITH

ELECTRIC CHARGING STATIONS: 0.2 SPACES x 28 RES. PARKING STA = 5.6 SPACES (RESIDENTS)

PROVIDED :

2 CAR GARAGES x 6 UNITS = 6 SPACES (RESIDENTS)

REQ. STALLS FOR FUTURE

ELECTRIC CHARGING STATIONS: 0.25 SPACES x 28 RES. PARKING ST = 7 SPACES (RESIDENTS)

PROVIDED :

2 CAR GARAGES x 5 UNITS = 8 SPACES (RESIDENTS)

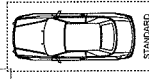
REQUIRED BICYCLE :

1.25 SPACES x 14 UNITS = 17.5 SPACES (CLASS 1)  
0.2 SPACES x 14 UNITS = 2.8 SPACES (CLASS 2)  
TOTAL = 20.3 SPACES

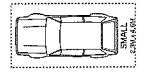
PROVIDED BICYCLE :

2 SPACES x 7 GARAGES = 14 SPACES (CLASS 1)  
1 SPACES x 7 GARAGES = 7 SPACES (CLASS 1)  
BICYCLE RACK = 4 SPACES (CLASS 2)  
TOTAL = 25 SPACES

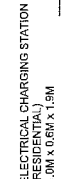
**PARKING LEGEND:**



STANDARD VISITOR PARKING  
2.5M x 5.5M



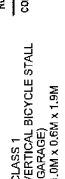
SMALL PARKING STALL (OUTDOOR)  
2.3M x 4.8M



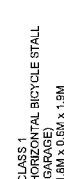
ELECTRICAL CHARGING STATION  
(RESIDENTIAL)  
1.0M x 0.6M x 1.5M



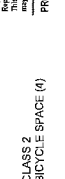
FUTURE ELECTRICAL CHARGING STATION  
(RESIDENTIAL)  
1.0M x 0.5M x 1.5M



CLASS 1 BICYCLE STALL  
(GARAGE)  
1.0M x 0.6M x 1.5M



CLASS 1 HORIZONTAL BICYCLE STALL  
(GARAGE)  
1.0M x 0.5M x 1.5M



CLASS 2 BICYCLE SPACE (R)

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PROJECT  
14 UNIT TOWNHOUSE DEVELOPMENT

NO. DATE REVISIONS  
CONSULTANT

4 AUG. 18, 2015 GENERAL REVISIONS  
3 AUG. 7, 2015 DFP SUBMISSION  
2 JUNE 24, 2015 GENERAL REVISIONS  
1 MAY 22, 2015 GENERAL REVISIONS

10951, 10951, 10951  
GILBERT ROAD, RICHMOND

**Yamamoto  
Architecture Inc.**

1386 oak street, vancouver, b.c.  
v6h 4v1 tel: 604-731-1127 fax: 604-731-1127

DRAWING TITLE

PARKING / FIRE FIGHTING  
PLAN

SHEET NO.	1"=10'-0"	PLAN #2
DATE	MARCH 6, 2015	DP 15-694729
DRAWN	RP	CHECKED
PROJ. NO.	1336	

PLAN # 2 AUG 18 2015

DP 15-694729





NO.	DATE	REVISION DESCRIPTION
15	15 AUG 17	NEW SITE PLAN
14	15 AUG 17	NEW SITE PLAN
13	15 JUL 10	CITY COMMENTS
12	15 MAR 12	NEW SITE PLAN
11	15 MAR 12	NEW SITE PLAN/2 Residential
10	15 MAR 11	NEW SITE PLAN
9	25 MAY 07	REVISED ARCHITECT REPORT
8	15 APR 02	NEW SITE PLAN
7	15 MAR 06	NEW SITE PLAN
6	15 MAR 06	NEW SITE PLAN
5	15 APR 20	REVISED TREE MANAGEMENT PLAN
4	15 OCT 28	
3	15 OCT 09	AS PER CITY REQUEST
2	15 OCT 22	
1	15 MAR 20	NEW SITE PLAN

**CLIENT:**  
JACKEN INVESTMENTS INC.

PROJECT: 14 UNIT TOWNHOUSE DEVELOPMENT

**10591-10631 Gilbert Road  
RICHMOND, BC**

WITH:  
YAMAMOTO ARCHITECTURE INC.  
DRAWING TITLE:

LANDSCAPE  
PLAN

DATE: \_\_\_\_\_ DRAWING NUMBER: \_\_\_\_\_

SCALE: 3/32"=1'-0"







DRAWN: DD

223

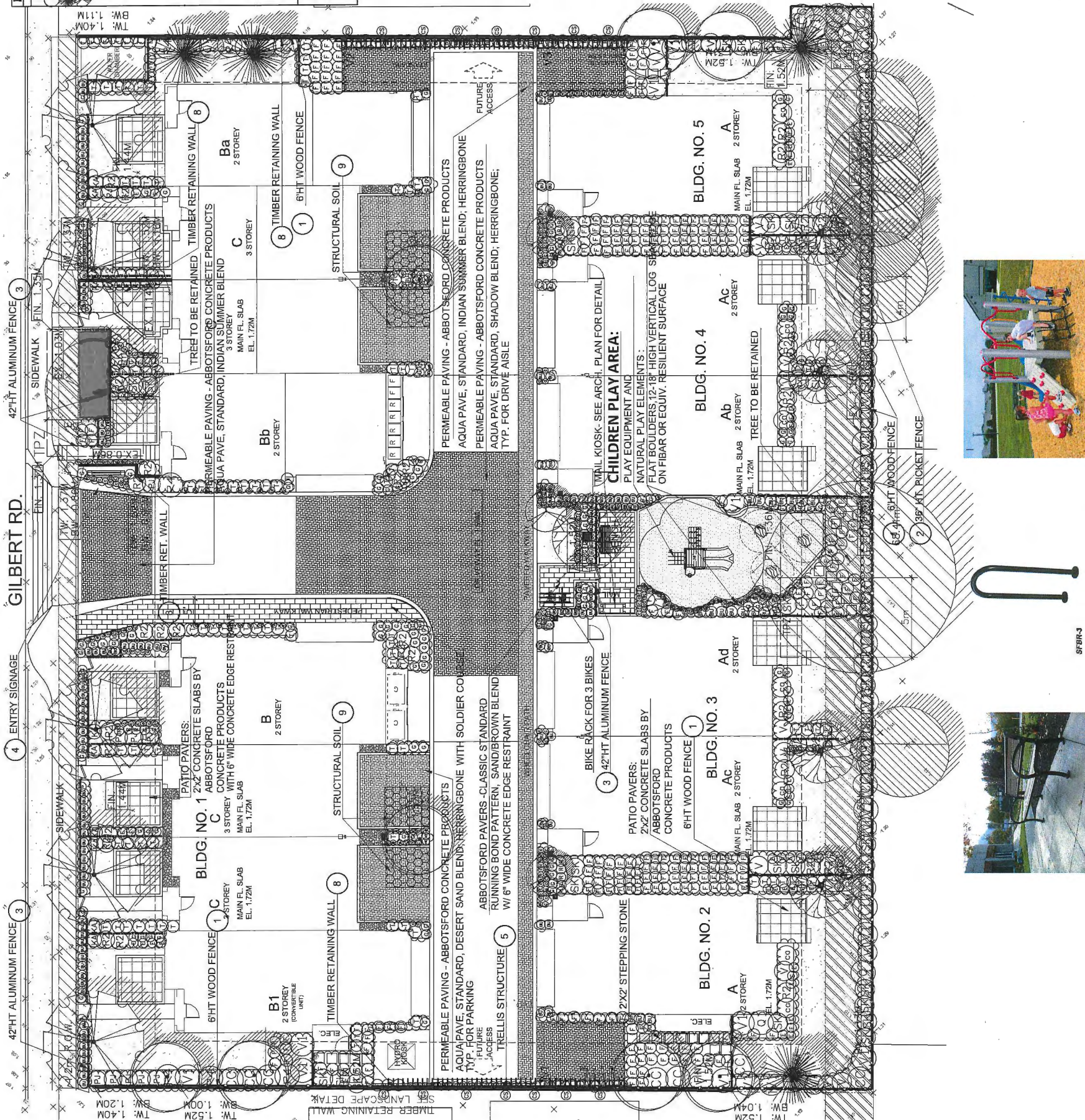
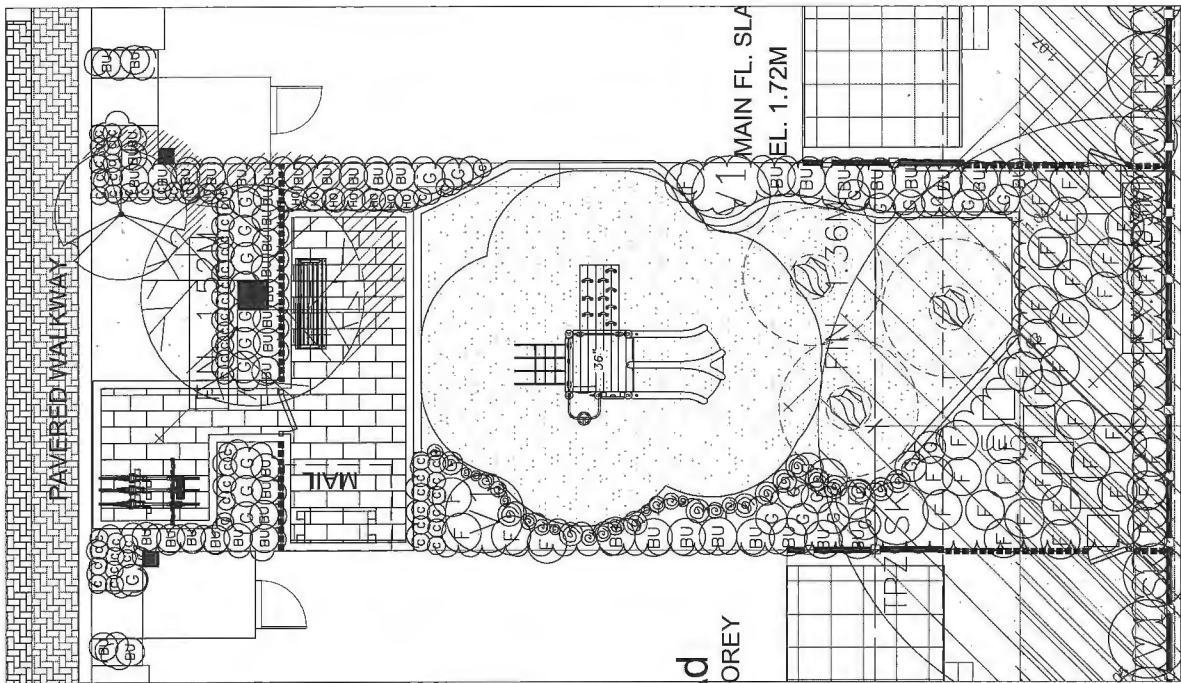
DESIGN: DD

PMG PROJECT NUMBER:

14-044

PLANT SCHEDULE			COMMON NAME		PME PROJECT NUMBER 14-044	
STATE	COUNTY	BOTANICAL NAME			PLANTED 5/27/2005	REMARKS
	4	ACER PALMATUM	JAPANESE MAPLE		50N CAL, 20N STD, 10B	
	5	AMORPHACEAE	AMORPHACEAE		50N CAL, 20N STD, 10B	
	5	FRAXINUS AMERICANA	AMERICAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	FRAXINUS COLUMBICA	COLUMBIAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	FRAXINUS COLUMBICA	COLUMBIAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	FRAXINUS COLUMBICA	COLUMBIAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	FRAXINUS COLUMBICA	COLUMBIAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	FRAXINUS COLUMBICA	COLUMBIAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	FRAXINUS COLUMBICA	COLUMBIAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	FRAXINUS COLUMBICA	COLUMBIAN FRAXINUS		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	5	STYRAX JAPONICA	JAPANESE STYRAX		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	BUXUS MICROPHYLLA	WINTER GEM		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	CORNUS ALBA	ELABORATE CORNUS		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	HYDRANGEA	HYDRANGEA		50N CAL, 20N STD, 10B	
	10	PERSEA JAPONICA	JAPANESE VALENTINE		50N CAL, 20N STD, 10B	
	10	PERSEA JAPONICA	JAPANESE VALENTINE		50N CAL, 20N STD, 10B	

**NOTES:** "PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES ARE DEFINED AS PER AIA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES." REFER TO SPECIFICATIONS FOR DESIGNED CONTAINER PLANTS. "SPECIES OR CULTIVAR NAMES MUST BE PROVIDED FOR ALL PLANTS. SPECIES OR CULTIVARS NOT LISTED IN THE LANDSCAPE STANDARD LATEST EDITION SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF LEAVING LOWER WAND AND FASER VALLEY." SUBSTITUTIONS: CERTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNIMPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REPLACEMENT TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO LANDSCAPE ARCHITECT'S REVIEW. "PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.



Whishbone Mountain Classic Park  
Bench;  
Model: MCB-5  
BLACK COLOUR;  
Ultraplast<sup>™</sup> Recycled Plastic Slats  
Walnut colour  
Ph.: 604 626 0476



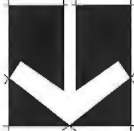
CHILDREN PLAY AREA  
BIG TOYS- CABANA MEC-650  
ON FIBAR OR EQUIV. RESILIENT  
SURFACE  
BY RecTec INDUSTRIES Inc.  
Ph.: 604-940-0067

DP 15-694729  
PLAN #3  
AUG 18 2015

4044-16.ZIP







13.	15.AUG.17	NEW SITE PLAN	DD
14.	15.AUG.17	NEW SITE PLAN	DD
15.	15.OCT.18	CITY COMMENTS	DD
16.	15.OCT.18	NEW SITE PLAN	MR
17.	15.MAR.21	NEW SITE PLAN/Proposed Revision	DD
18.	15.MAR.21	NEW SITE PLAN	DD
19.	15.MAR.21	REVISED ABSTRACT REPORT	DD
20.	15.MAR.21	NEW SITE PLAN	DD
21.	15.MAR.21	NEW SITE PLAN	DD
22.	15.MAR.21	NEW SITE PLAN	DD
23.	15.OCT.18	REVISED TREEMANAGEMENT PLAN	DD
24.	15.OCT.18	NEW SITE PLAN	DD
25.	24.OCT.22	ADJACENT DWELLING	DD
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CLIENT:  
JACKEN INVESTMENTS INC.

PROJECT:

14 UNIT TOWNHOUSE  
DEVELOPMENT  
10591-10631 Gilbert Road  
RICHMOND, BC

WITH:  
YAMAMOTO ARCHITECTURE INC.  
DRAWING TITLE:

TREE MANAGEMENT  
PLAN

DATE:

SCALE:

DRAWN: DD

DESIGN: DD

CHKD: PCM

PMG PROJECT NUMBER:

14-004

DP 15-694729  
PLAN #38  
AUG 18 2015

14-004-18.ZIP

3b

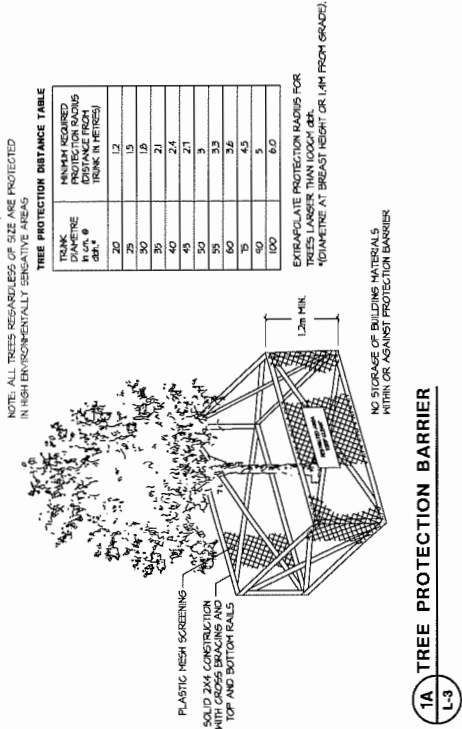
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14-004



SEAL:

Suitable Replacement Trees		
		Species
Botanical Name	Common Name	
ACER PALMATUM	JAPANESE MAPLE	
ACER RUBRUM 'ARMSTRONG'	COLUMNAR ARMSTRONG MAPLE	
FAGUS SYLVATICA 'PURPLE FOUNTAIN'	PURPLE FOUNTAIN BEECH	
FRAXINUS AMERICANA 'AUTUMN PURPLE'	AUTUMN PURPLE ASH	
PINUS CEMBRA 'COLUMNARIS'	COLUMNARIS SWISS STONE PINE	
STYRAX JAPONICUS	JAPANESE SNOWBELL	
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	



NO.	TREE SPECIES (Common Name)	DBH (cm)	HEIGHT (m)
1	Cedar Hedge (Thuja sp.)	-	3 x 15
2	Spirea (Spiraea sp.)	38	3m
3	Spirea (Spiraea sp.)	30	3m
4	Spirea (Spiraea sp.)	32	3m
5	Apple (Malus sp.)	23	4m
6	White Pine (Pinus strobus sp.)	37cm	4m
7	Cedar Hedge (Thuja sp.)	-	3 x 16
8 - 15	Cedar (Thuja sp.)	19 - 48	3m
16	Cherry (Prunus sp.)	28cm	5m
17 - 21	Cedar (Thuja sp.)	25 - 76cm	5m
22	Syringa Maple (Acer pseudoplatanus)	90cm (50-60)	12m
23	Cedar (Thuja sp.)	25	3m
24	Cedar (Thuja sp.)	31	4m
25	Cedar (Thuja sp.)	27	4m
26	Yew Maple (Taxus canadensis)	37cm	4m
27	Cedar (Thuja sp.)	41cm	5m
28	Birch (Betula sp.)	45cm	8m
29	Maple (Acer sp.)	50cm	12m
30	Maple (Acer sp.)	36cm	6m
31 - 45	Cedar (Thuja sp.)	20 - 47	5m
46	Chamaecyparis (Chamaecyparis sp.)	28cm	4m
47	Cedar (Thuja sp.)	65cm	6m
48	Cedar (Thuja sp.)	31cm	5m
49	Cedar (Thuja sp.)	45cm	6m
50	Yew Maple (Acer pseudoplatanus)	45cm	6m
51	Burn (Prunus sp.)	65cm	7m
52	Cedar Hedge (Thuja sp.)	-	2 x 7

NO.	TREE SPECIES (Common Name)	DBH (cm)	HEIGHT (m)
53	Cypress Hedge (Taxodium sp.)	10cm	2m x
54	Cypress (Taxodium sp.)	114cm	11m
55	Pine (Pinus sp.)	112cm	10m
56	Cedar (Thuja sp.)	50cm	8m
57	Cedar (Thuja sp.)	110cm	8m
58	White Pine (Pinus strobus sp.)	35cm	3m
59	Birch (Betula sp.)	49m	9m
60	Lambdus Poplar (Populus nigra sp.)	40cm	5m
61	Lambdus Poplar (Populus nigra sp.)	44cm	5m
62	Lambdus Poplar (Populus nigra sp.)	44cm	5m
63	Lambdus Poplar (Populus nigra sp.)	60cm	5m
64	Lambdus Poplar (Populus nigra sp.)	70cm	5m
65	Douglas Fir (Pseudotsuga mucronata)	71cm	11m
66	Douglas Fir (Pseudotsuga mucronata)	85cm	11m
67	Cedar (Thuja sp.) & Hemlock (Tsuga heterophylla)	combined 105cm (50-125)	11m
68	Hemlock (Tsuga sp.)	combined 105cm (50-125)	5m

SEAL:

PROJECT:  
**14 UNIT TOWNHOUSE DEVELOPMENT**  
10591-10631 Gilbert Road  
RICHMOND, BC

WITH:  
YAMAMOTO ARCHITECTURE INC.  
DRAWING TITLE:

**TREE MANAGEMENT PLAN**

DATE:  
SCALE:  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
NO. DATE REVISION DESCRIPTION DR.

DRAWING NUMBER:  
**3C**  
OF 7  
PMG PROJECT NUMBER:  
14-044

DP 15-694729  
PLAN 3C  
AUG 18 2015



Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

**SEAL:**

DRAWING NUMBER: **3d** OF

DATE:

SCALE:

DRAWN: DD

DESIGN: DD

CHKD: PCM

**PROJECT:**  
**14 UNIT TOWNHOUSE  
DEVELOPMENT**

10591-10631 Gilbert Road  
RICHMOND, BC

WITH:  
YAMAMOTO ARCHITECTURE INC.  
DRAWING TITLE:

## LANDSCAPE SPECIFICATIONS

NO.	DATE	REVISION DESCRIPTION	DR
<p>CLIENT: JACKEN INVESTMENTS INC.</p>			

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PART THREE - SOFT LANDSCAPE - CONT

81. **Vegetation**

82. **Plant Species** - 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000

84. 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Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

**SEAL:**

NO.	DATE	REVISION DESCRIPTION	DRAWN
15	15.AUG.17	NEW SITE PLAN	DD
14	15.AUG.17	NEW SITE PLAN	DD
13	15.JUL.10	CITY COMMENTS	DD
12	13.JUN.12	NEW SITE PLAN	WA
11	15.MAY.11	NEW SITE PLAN/Redesign	DD
10	15.MAY.13	NEW SITE PLAN	DD
9	15.AUG.13	REVISED SITE PLAN	DD
8	15.AUG.13	NEW SITE PLAN	DD
7	15.AUG.13	NEW SITE PLAN	DD
6	15.AUG.13	NEW SITE PLAN	DD
5	14.FEB.10	NEW SITE PLAN	DD
4	14.OCT.08	REVISED TRAIL MANAGEMENT PLAN	DD
3	14.OCT.09	NEW SITE PLAN	DD
2	14.FEB.12	AFR CITY REQUEST	DD
1	14.AUG.10	NEW SITE PLAN	DD

CLIENT:  
JACKEN INVESTMENTS INC.

**PROJECT:**

# 14 UNIT TOWNHOUSE DEVELOPMENT

10591-10631 Gilbert Road  
RICHMOND, BC

WITH:  
YAMAMOTO ARCHITECTURE INC.

DRAWING TITLE:

## STRUCTURAL SOIL SPECIFICATIONS

DATE: \_\_\_\_\_  
DRAWING NUMBER: \_\_\_\_\_

**SCALE:**

DRAWN: DD

DESIGN: DD

CHK'D: PCM

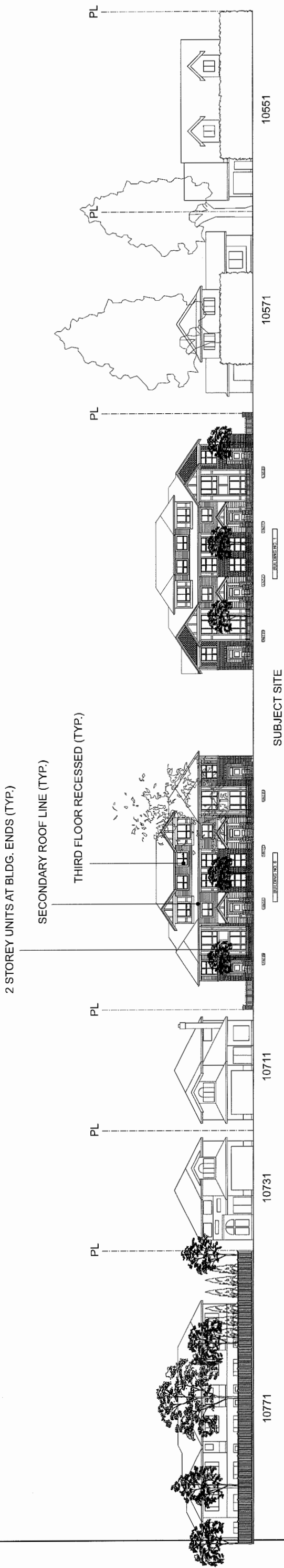
PMG PROJECT NUMBER:

14-044

OP15-694729  
AUG 18 2015  
PLAZ #3E  
10044-36 Z/P

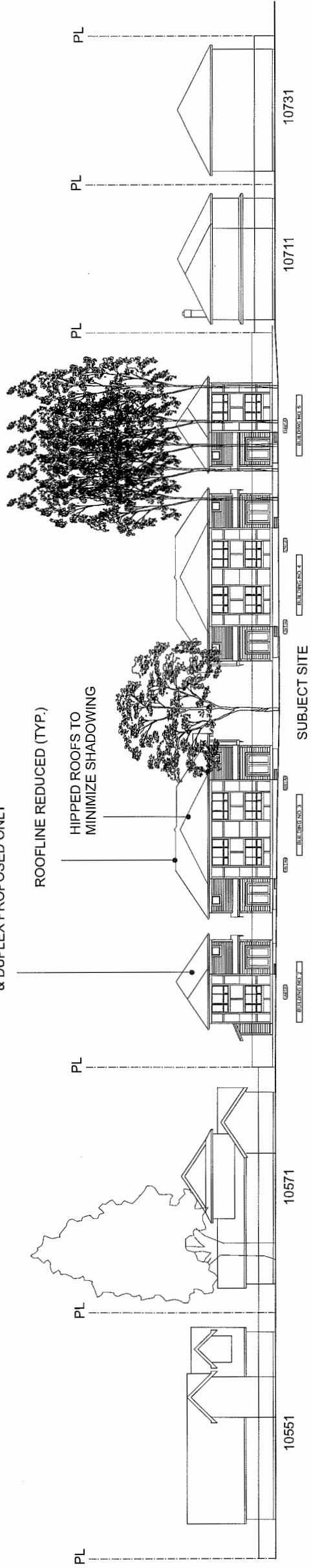
PART THREE - EXECUTION (cont)	
317 PLACEMENT	<ol style="list-style-type: none"> <li>1. Subgrade shall be approved by the consultant prior to placement of the structural soil surface.</li> <li>2. Structural soil shall be mixed, not wet, saturated with water when placed. Placement shall be targeted to avoid damage to drainage structures, irrigation equipment, concrete structure or pavement.</li> <li>3. Place three surface or 30mm lifts through entire area of structural soil surface.</li> <li>4. Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer.</li> <li>5. Provide finished surface to uniform compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift or section of areas of structural soil surface.</li> <li>6. Provide a uniformly firm and wet surface allowing for specified depths of root hairs and/or growing medium to meet finished design grade.</li> <li>7. Installation of structural soil in the location of the tree is not recommended. Unless a landscape architect or arborist determines that a structural soil surface is indicated, the contractor shall have been employed to allow for sand to be placed at the tree location with the compacted structure of soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium for each section is added to surround the root ball.</li> </ol>
318 INSTALLATION OF TREES	<ol style="list-style-type: none"> <li>1. After approval of structural soil surface, construct one (1) full Final Fabric.</li> <li>2. Ensure minimum 10mm overlap of all fabric seams and beyond edge of structural soil.</li> </ol>
319 GRANULAR BASE MATERIAL	<ol style="list-style-type: none"> <li>1. Place minimum 75mm granular base on top of fabric fabric over structural soil layer.</li> <li>2. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.</li> <li>3. All trees shall be graded to the contractor's elevations indicated on the contract drawings. Ensure positive drainage.</li> </ol>
319 PROTECTION	<ol style="list-style-type: none"> <li>1. Protect existing conditions from damage or staining and make good any damage.</li> <li>2. All damage shall be repaired at the expense of the installation contractor.</li> </ol>
319 TREE PLANTING	<ol style="list-style-type: none"> <li>1. Remove structural soil or other backfill material located, site comments in section 3.17 from the full dimensions of the tree grade area 120m x 120m x depth of root ball.</li> <li>2. Rip compact all material below root ball to required speed of density to prevent settling of the root ball in the zone.</li> <li>3. Ensure trees planted in the exact centre of the specified planting within stippled and line.</li> <li>4. Install trees in accordance with BS5831A Landscape Standard. Cut every synthetic root ball lower, cut back temporary and wire baskets, pull back barkley from around trunk etc.</li> <li>5. Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material.</li> <li>6. Plant Stem depth compacted for trees but made over the top of the open tree pit area.</li> </ol>
320 TREE GRATES	<ol style="list-style-type: none"> <li>1. Site furniture and to contract drawings for tree grates, frames and fittings.</li> </ol>
320 ACCEPTANCE	<ol style="list-style-type: none"> <li>1. Consultant shall inspect director of civil engineer and determine acceptance of materials and subgrade prior to paving.</li> <li>2. Final grates shall be to within 10mm of proposed grates within 5mm of any adjacent final elevation and to within 10mm of proposed grates over any other 3.0m high. Final grates shall not be uniformly top or low.</li> </ol>
320 SURPLUS MATERIAL	<ol style="list-style-type: none"> <li>1. Remove all excess fill, rocks and raw stock prior and dispose of all waste materials, trash and debris from the site.</li> <li>2. Clean up any soil or dirt spilled on any paved surface at the end of each working day.</li> <li>3. Upon completion of the structural soil surface installation, leave each frame clear. Avoid washing the area out of the paving has been completed.</li> </ol>

[illegible][illegible]



STREETSCAPE 1 - GILBERT RD.

2 STOREY DETACHED  
& DUPLEX PROPOSED ONLY



STREETSCAPE 2 - WEST PROPERTY LINE (REAR UNITS)

4	AUG. 18, 2015	GENERAL REVISIONS
3	AUG. 7, 2015	DPP SUBMISSION
2	JUNE 24, 2014	GENERAL REVISIONS
1	MAY 22, 2015	GENERAL REVISIONS
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
14 UNIT TOWNHOUSE  
DEVELOPMENT

10591, 10611, 10631  
GILBERT RD.

Yamamoto  
Architecture Inc.

2386 Oak Street, Unit 1, B.C.  
V6H 4J1 Tel: 604-751-1127 Fax: 604-751-1127  
DRAWING TITLE

STREETSCAPE

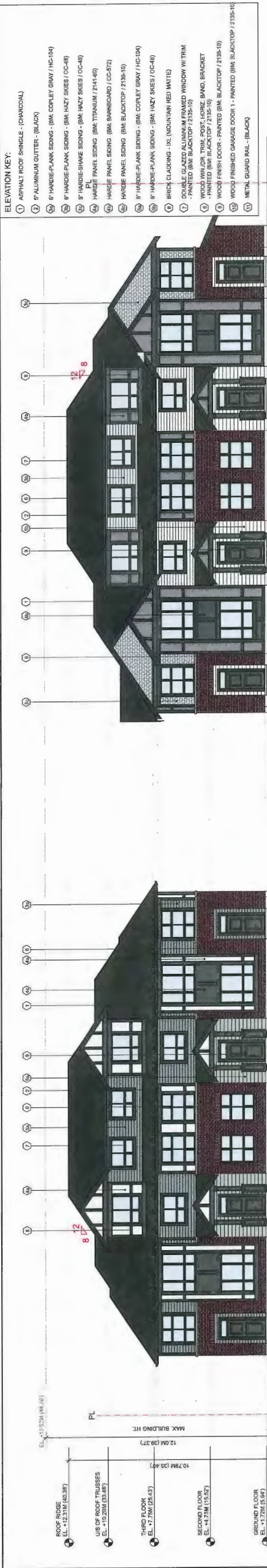
SCALE	1/16" = 1'-0"	SHEET NO.
DATE	MARCH 6, 2015	PLAN #4
DRAWN	RP	DP 15-694729
CHECKED		PROJ. NO. 1228

DP 15-694729

PLAN #4

AUG 18 2015

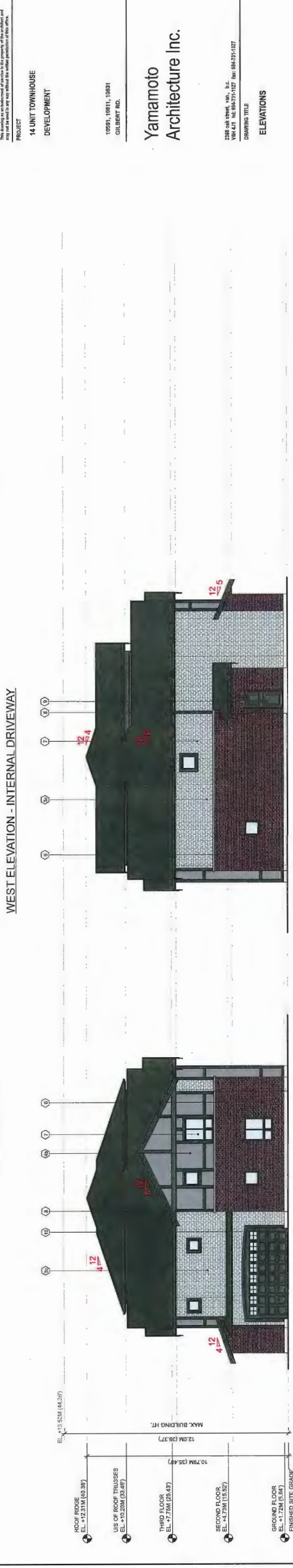




**BUILDING NO. 1**



**BUILDING NO. 1**



**BUILDING NO. 1**

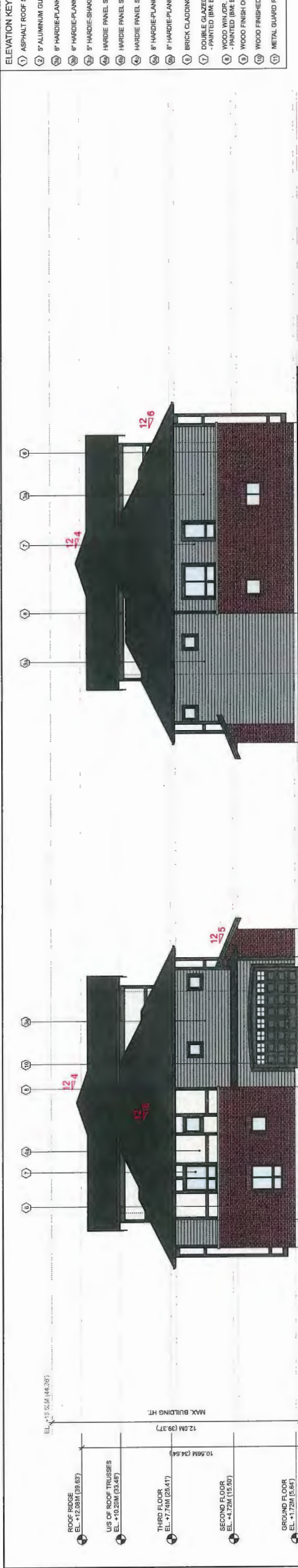
**BUILDING NO. 1**

**BUILDING NO. 1**

**BUILDING NO. 1**

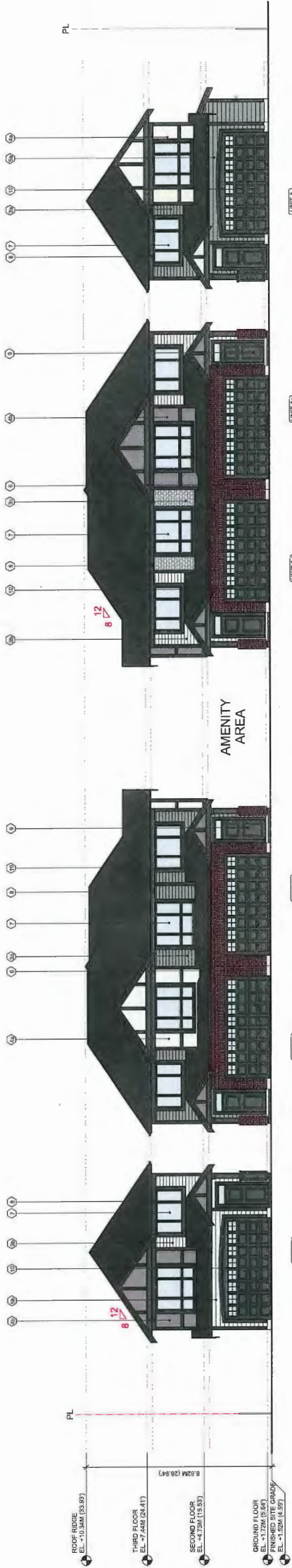


- ELEVATION KEY:
- 1 ASPHALT ROOF SHINGLE - (CHARCOAL)
  - 2 2" ALUMINUM GUTTER - (BLACK)
  - 3 8" HARDEE PLANK SIDING - (BK. CORLEY GRAY / HC-104)
  - 4 8" HARDEE PLANK SIDING - (BK. HAZY SKIES / OC-48)
  - 5 8" HARDEE SHAKE SIDING - (BK. HAZY SKIES / OC-48)
  - 6 8" HARDEE SHAKE SIDING - (BK. HAZY SKIES / OC-48)
  - 7 HARDEE PANEL SIDING - (BK. BARNBOARD / CC-372)
  - 8 HARDEE PANEL SIDING - (BK. BLACKTOP / Z135-10)
  - 9 HARDEE PANEL SIDING - (BK. CORLEY GRAY / HC-104)
  - 10 8" HARDEE PLANK SIDING - (BK. HAZY SKIES / OC-48)
  - 11 BRICK CLADDING - XL (MOUNTAIN RED MATTE)
  - 12 DOUBLE GLAZED ALUMINUM FRAMED WINDOW W/ TRIM - PAINTED (BK. BLACKTOP / Z135-10)
  - 13 WOOD WINDOW TRIM, POST, HORIZ. BAND, BRACKET - PAINTED (BK. BLACKTOP / Z135-10)
  - 14 WOOD FINISH DOOR - PAINTED (BK. BLACKTOP / Z135-10)
  - 15 WOOD FINISHED GARAGE DOOR 1 - PAINTED (BK. BLACKTOP / Z135-10)
  - 16 METAL GUARD RAIL - (BLACK)



BUILDING NO. 6  
NORTH ELEVATION

BUILDING NO. 6  
SOUTH ELEVATION



BUILDING NO. 6  
EAST ELEVATION - INTERNAL DRIVEWAY

BUILDING NO. 6  
WEST ELEVATION - REAR YARDS



BUILDING NO. 6  
EAST ELEVATION - INTERNAL DRIVEWAY

BUILDING NO. 6  
WEST ELEVATION - REAR YARDS

NO.	DATE	REVISIONS
4	AUG. 18, 2015	GENERAL REVISIONS
3	AUG. 7, 2015	DPP SUBMISSION
2	JUNE 24, 2015	GENERAL REVISIONS
1	MAY 22, 2015	GENERAL REVISIONS
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
14 UNIT TOWNHOUSE  
DEVELOPMENT

10591, 10611, 10631  
GILBERT RD.

Yamamoto  
Architecture Inc.

238 Oak Street, Van., B.C.  
V6V 4J1 Tel: 604-721-1127 Fax: 604-721-1127

DRAWING TITLE

ELEVATIONS

SCALE	1/4" = 1'-0"	SHEET NO.	PLAN #4B
DATE	MARCH 5, 2015	DRAWN	DP 15-694729
CHECKED	RF	PROJ. NO.	1338

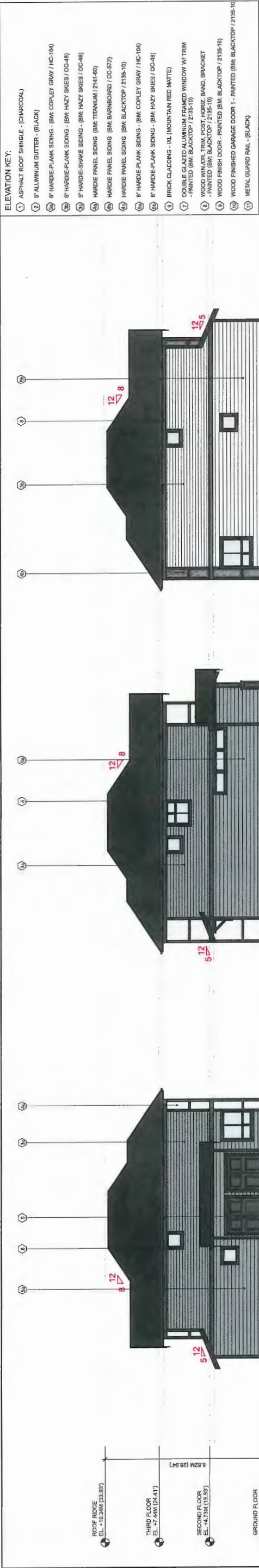
WEST ELEVATION - REAR YARDS

AUG 18 2015

PLAN #4B

DP 15-694729





UNIT 2A

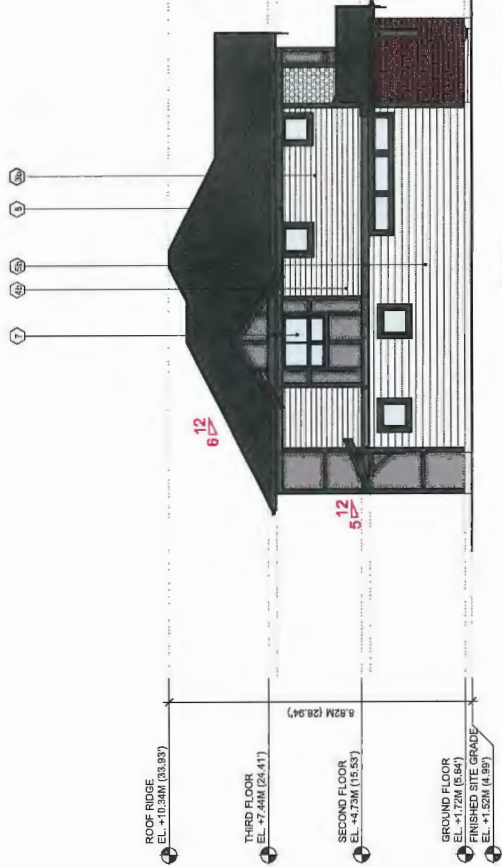
BUILDING NO. 2  
NORTH ELEVATION

UNIT 2A

BUILDING NO. 2 & 5  
NORTH / SOUTH ELEVATION

UNIT 2A

BUILDING NO. 5  
SOUTH ELEVATION

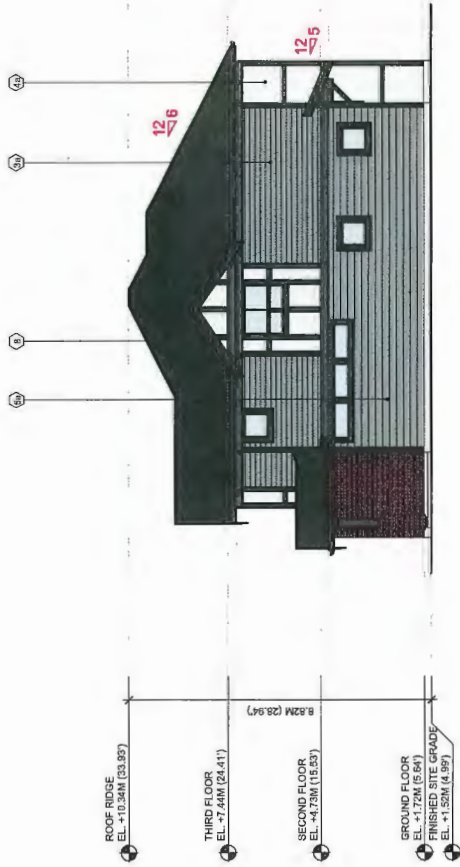


UNIT 2A

BUILDING NO. 3  
SOUTH ELEVATION  
(AMENITY AREA)

UNIT 2A

BUILDING NO. 3  
NORTH ELEVATION



UNIT 2A

BUILDING NO. 4  
NORTH ELEVATION  
(AMENITY AREA)

UNIT 2A

BUILDING NO. 4  
SOUTH ELEVATION

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PROJECT  
14 UNIT TOWNHOUSE  
DEVELOPMENT

109551, 10811, 10831  
GILBERT RD.

Yamamoto  
Architecture Inc.

2388 oak street, VAN., B.C.  
V6H 4J1 Tel: 604-751-1127 Fax: 604-751-1127

DRAWING TITLE

ELEVATIONS

SCALE 1/4" = 1'-0"  
DATE MARCH 6, 2015  
DRAWN 10'  
CHECKED  
SHEET NO. 1328  
PROJECT NO. 1328  
PLAN #4C  
DP 15-694729

DP 15-694729

PLAN #4C

AUG 18 2015



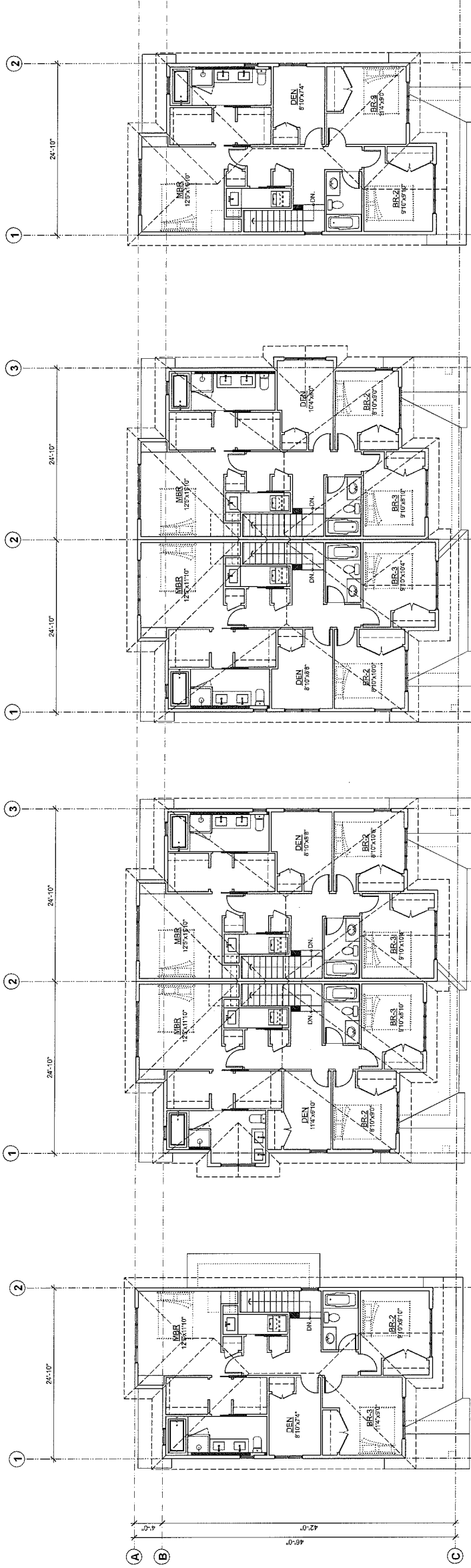


AGING IN PLACE FEATURES  
(TO BE PROVIDED IN ALL UNITS):

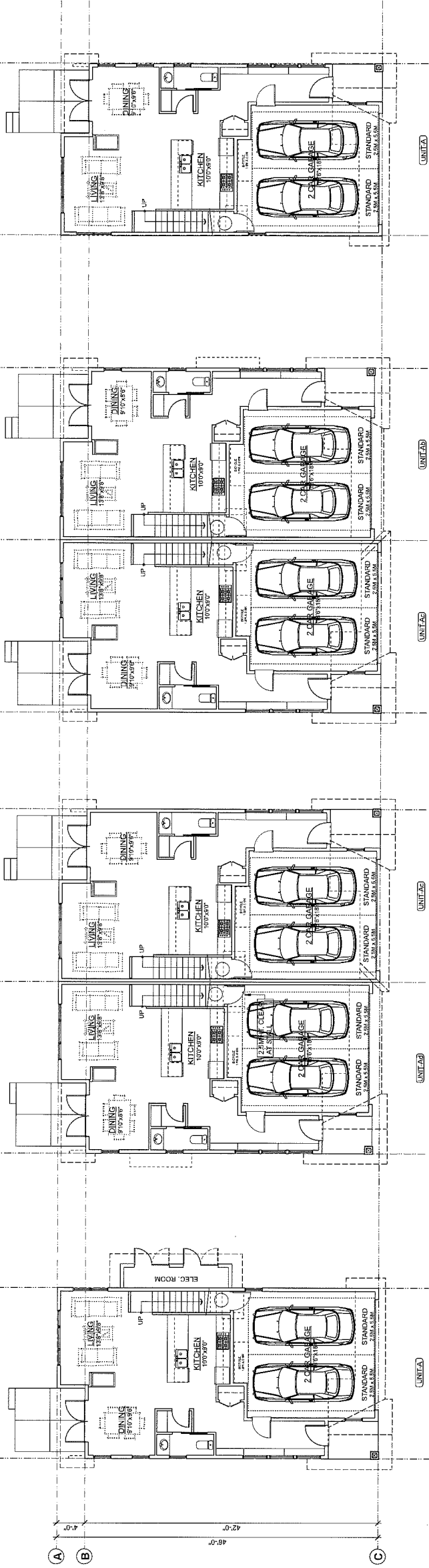
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

SUSTAINABILITY MEASURES  
(TO BE PROVIDED IN ALL UNITS):

- ENERGY 82 REQUIREMENTS
- LOW E GLAZING PROVIDED IN ALL WINDOWS
- DRAIN WATER HEAT RECOVERY FROM 2 SHOWERS
- LOW ENERGY LIGHTING
- ENERGY STAR APPLIANCES
- WATER EFFICIENT TOILETS



SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

BUILDING NO. 2

BUILDING NO. 3

BUILDING NO. 4

BUILDING NO. 5

AUG 18 2015

REFERENCE PLAN

DP 15-694729

4	AUG. 18, 2015	GENERAL REVISIONS
3	AUG. 7, 2015	DPP SUBMISSION
2	JUNE 24, 2015	GENERAL REVISIONS
1	MAY 22, 2015	GENERAL REVISIONS
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
14 UNIT TOWNHOUSE  
DEVELOPMENT

10591, 10611, 10631  
GILBERT RD.

Yamamoto  
Architecture Inc.

2385 oak street, vancouver, b.c.  
v6h 4t1 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE

FLOOR PLAN

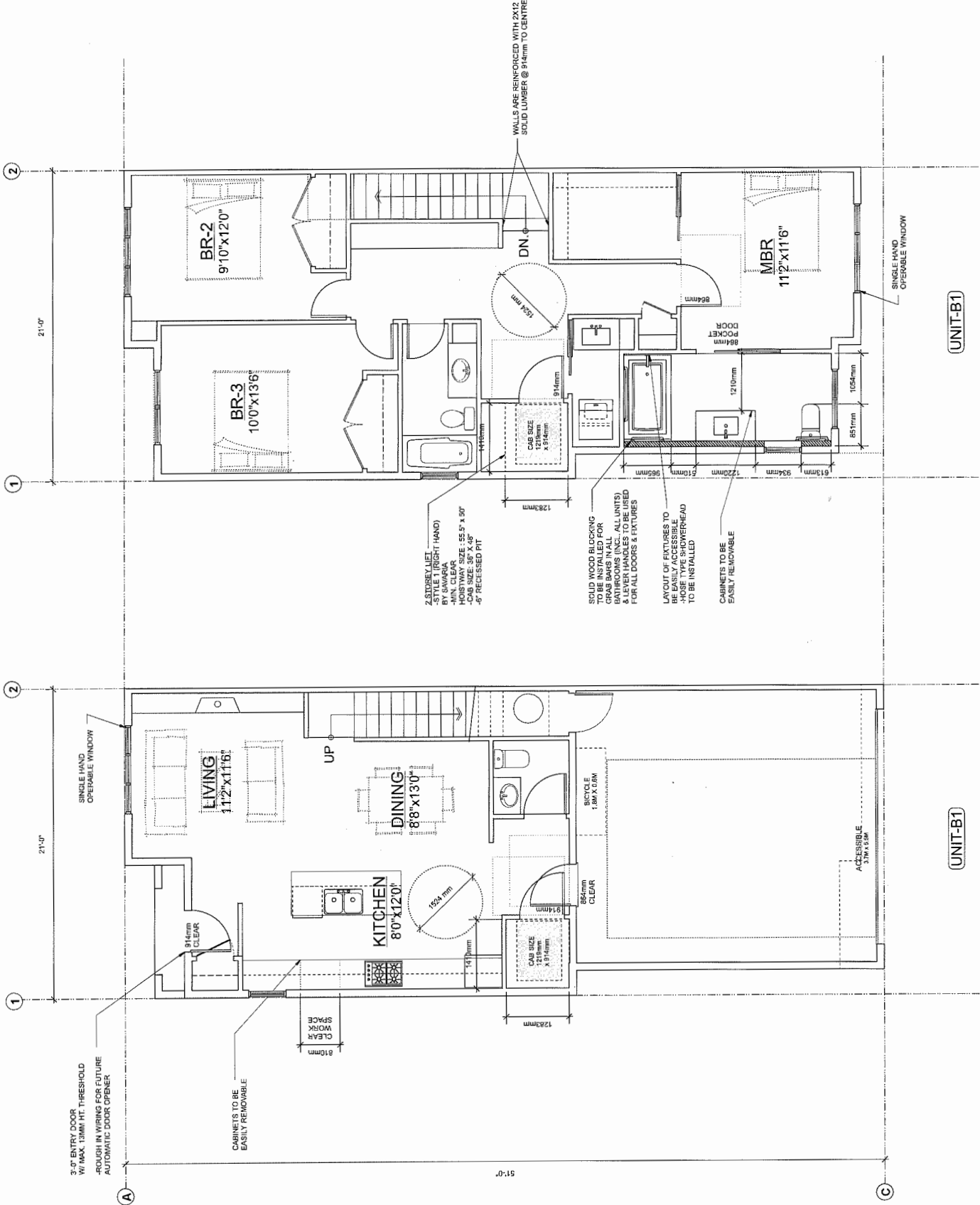
SCALE	1/8" = 1'-0"	SHEET NO.	
DATE	MARCH 6, 2015	PLAN #5A	
DRAWN	RP	DP 15-694729	
CHECKED		PROJ. NO.	1326

- AGING IN PLACE FEATURES  
(TO BE PROVIDED IN ALL UNITS):

  - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
  - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- SUSTAINABILITY MEASURES  
(TO BE PROVIDED IN ALL UNITS):

  - ENERGUIDE #2 REQUIREMENTS
  - LOW E GLAZING PROVIDED IN ALL WINDOWS
  - DRAIN WATER HEAT RECOVERY FROM 2 SHOWERS
  - LOW ENERGY LIGHTING
  - ENERGY STAR APPLIANCES
  - WATER EFFICIENT TOILETS

CONVERTIBLE UNIT CHECKLIST :		
Doors & Doorways	Entry door min. 800 mm but ideally 914 mm and have clear accents.	COMPLIES
	Entry door clear exterior floor space plus 600 mm on both sides (not needed if door has a swing pocket for future automatic door opener)	COMPLIES
	Washroom doors to include living areas, 1 washroom and 1 bathroom, min. 800 mm clear opening with flush threshold (not needed if door has a swing pocket for future wheelchair access between the hallway and rooms and water hallway and/or laundry if necessary) to ensure access	COMPLIES
	Patio/balcony min. 800 mm clear	COMPLIES
Vertical Circulation	All interior thresholds within units comply with BC Building Code	COMPLIES
	Lever-type handles for all doors.	COMPLIES
	Stair lift, staircase width, turning support, and landings, are noted on floor plan and comply with manufacturer specifications. OR	NOT APPLICABLE
	Vertical lift, depressed also area, and ramps are noted on floor plans in compliance with manufacturer specifications. Framing to support noted on structural drawings without impact to surrounding structure	COMPLIES
Hallways	At the top of all stairways, walls are reinforced with 2x12 solid lumber at 914mm to centre.	COMPLIES
	Min. 900 mm width	COMPLIES
	Min. 1 accessible parking space with min. 4 m garage width	COMPLIES
	Access from garage to living area with min. 800 mm clear door opening.	COMPLIES
Bathrooms (Min. 1)	At least 510.0 mm from any obstruction to the side of the toilet, and at least 510.0 mm from any obstruction in front of the toilet.	COMPLIES
	1500 mm clear floor space in front and side of toilet.	COMPLIES
	Wall blocking for future grab bar reinforcement with 2"x12" solid lumber in all bathroom, shower, and toilet locations.	COMPLIES
	Lever-type handles for plumbing fixtures.	COMPLIES
Kitchen	Pressure and temperature control valves are installed on all shower fixtures.	COMPLIES
	Basin(s) underneath sink(s) are easily removed.	COMPLIES
	Demonstrate bath and shower controls are accessible layout or future accessibility.	COMPLIES
	Clear area needed under future work counter area of future work space (not needed if door has a swing pocket for future automatic door opener)	COMPLIES
Windows	Cabinets underneath sink are easily removed.	COMPLIES
	1500 mm turning diameter of turning path (e.g. door)	COMPLIES
	Lever-type handles for plumbing fixtures.	COMPLIES
	Min. 4 windows that can be opened with a single hand (bathroom, kitchen, living room)	COMPLIES
Outlets & Switches	Placement locations of electrical outlets and switches are noted on drawings (outside toilet, above external doors (outside and lobby), on front area of door, on ceiling, on wall, on floor, central centre for smart home options.	TO BE LOOKED AT DURING THE B1 STAGE
	Upgrade to four-gang outlets in master bedroom, home office, garage, and recreation.	COMPLIES



SECOND FLOOR PLAN  
SCALE : 1/4" = 1'-0"

BUILDING NO. 1

GROUND FLOOR PLAN  
SCALE : 1/4" = 1'-0"

BUILDING NO. 1

AUG 18 2015

REFERENCE PLAN

CONVERTIBLE UNIT PLAN  
SCALE : 1/4" = 1'-0"

SHEET NO.		PLAN #6
DATE	REVISION	
MARCH 6, 2015	RP	DP 15-694729
DRAWN		CHECKED
PROJECT		PROJ. NO. 1326

2388 Oak Street, Vancouver, B.C.  
V6H 4J1 Tel: 604-231-1127 Fax: 604-231-3327  
DRAWING TITLE

CONVERTIBLE UNIT PLAN

19991, 19911, 19931  
GILBERT RD.

Yamamoto  
Architecture Inc.

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PROJECT

14 UNIT TOWNHOUSE  
DEVELOPMENT

NO.	DATE	REVISIONS
4	AUG. 18, 2015	GENERAL REVISIONS
3	AUG. 7, 2015	DPT SUBMISSION
2	JUNE 24, 2015	GENERAL REVISIONS
1	MAY 22, 2015	GENERAL REVISIONS
NO.	DATE	REVISIONS
CONSULTANT		





# City of Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** July 28, 2015

**From:** Wayne Craig  
Director of Development

**File:** DP 15-700390

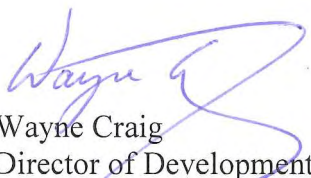
**Re:** Application by Harjit Sandhu for a Development Permit at 10691 Dennis Crescent

---

### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a coach house at 10691 Dennis Crescent on a site zoned "Single Detached with Granny Flat or Coach House – Edgemere (RE1)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Allow a coach house to be located 3.0 m from the northern interior side lot line; and
  - b) Allow a portion of the parking spaces for the lot to be accessed from Dennis Crescent.

  
Wayne Craig  
Director of Development

WC:cl  
Att.

## **Staff Report**

### **Origin**

Harjit Sandhu has applied to the City of Richmond for permission to develop a coach house at 10691 Dennis Crescent on a site zoned “Single Detached with Granny Flat or Coach House – Edgemere (RE1)” (Attachment 1). There is currently a new single-family dwelling under construction at the subject site.

The subject site is located in the Edgemere neighbourhood, generally bounded by No. 4 Road to the west, Williams Road to the north, Shell Road to the east, and Steveston Highway to the south. A portion of this neighbourhood underwent City-initiated rezoning to RE1 in 2012 to allow infill development in the form of granny flats or coach houses subject to the Development Permit Application review process. The subject proposal is the second Development Permit Application to construct a coach house in the neighbourhood.

### **Development Information**

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

The subject site is located on a large lot with an east-west orientation, fronting Dennis Crescent to the west and backing onto the existing rear lane along the east property line.

Development surrounding the subject site is as follows:

- To the north, fronting Aquila Rd, are two (2) lots zoned RE1 that contain single detached dwellings.
- To the east, immediately across the rear lane, is a lot zoned RE1 that contains a single detached dwelling and that fronts Aintree Crescent;
- To the south, is a single detached dwelling on a lot zoned RE1; and
- To the west, immediately across Dennis Crescent, are two (2) lots zoned RE1 that contain single detached dwellings.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application (see Plans # 1 to 3). In addition, it complies with the intent of the design guidelines for coach houses in the Edgemere neighbourhood in the City’s Official Community Plan (OCP), and is generally in compliance with the RE1 zone except for the zoning variances noted below.



**Zoning Compliance/Variances** (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Allow a coach house to be located 3.0 m from the northern interior side lot line; and
- 2) Allow a portion of the parking spaces for the lot to be accessed from Dennis Crescent.

*(Staff supports the proposed variances for the following reasons:*

- a) The zoning bylaw requirement to locate the coach house at 2.0 m from the northern interior side lot line is not possible at the subject site because there is an existing 3.0 m wide statutory right-of-way along the north property line for the sanitary sewer line. Encroachment into the right-of-way is not permitted;*
- b) The zoning bylaw requires that all parking spaces for a lot that contains a new single detached dwelling and a coach house must be accessed from the rear lane only. The intent of this zoning provision is to create a more pedestrian-oriented streetscape and also to enhance the lane as a public space by orienting the primary coach house entry and access to the lane.*

*Due to the sequence of proposed development at the subject site, the applicant is seeking a variance to allow a portion of the parking spaces for the lot to be accessed from Dennis Crescent:*

- The applicant submitted Building Permit applications to construct a new single detached dwelling and a detached accessory building with vehicle access to and from Dennis Crescent in December 2014, consistent with the zoning bylaw.*
- Building Permits were issued in February 2015 and construction of the single detached dwelling at the site proceeded as proposed.*
- In May 2015, the applicant reconsidered his plans to build the proposed detached accessory building in favour of pursuing a Development Permit application for a coach house at the site. Since construction of the single detached dwelling had already progressed with vehicle access from Dennis Crescent, the applicant is now seeking a variance to allow the originally proposed access to proceed.*
- The applicant indicates that his proposal to provide additional on-site parking with access from the lane (for a total of 6 on-site parking spaces) avoids the potential for parking to occur on the street, while still complying with the lot coverage requirements for impermeable surfaces and live plant material.*

*To maintain the intent of the zoning provision as it relates to enhancing the pedestrian experience along the street, the applicant proposes to incorporate a planting area on-site along the front property line, featuring a combination of flowering and evergreen shrubs.*

*Staff will also be reviewing the experience of coach houses and granny flats in the Edgemere neighbourhood after such housing has been built, to determine whether any refinements to the zone and the design guidelines are necessary with respect to site planning and vehicle access.)*

### **Advisory Design Panel Comments**

Due to the small scale of the proposed development, the applicant was not presented to the Advisory Design Panel.

### **Analysis**

#### ***Conditions of Adjacency***

- The proposed coach house design complements the existing single detached housing form, character and scale of the surrounding neighbourhood.
- The proposed location of the coach house, which is setback between 2.1 and 3.0 m from the rear lane (6 m wide), provides an adequate buffer to the adjacent lot to the east.
- The majority of the floor space in the coach house building is proposed on the ground floor (70%, i.e., garage, entry, living, kitchen), and the portion of floor space located in the upper storey of the coach house is concentrated furthest away from side lot lines to limit the impact on adjacent neighbours.

#### ***Urban Design and Site Planning***

- Consistent with the OCP guidelines, the proposed primary pedestrian entry to the coach house is off the rear lane, and secondary pedestrian access to the coach house is proposed via Dennis Crescent to the rear yard of the subject property.
- The elevation of the coach house that faces the lane has been designed to appear as a front elevation complete with outdoor lighting at the pedestrian entry gate to enhance visibility and appearance of the lane as a public space.
- Consistent with zoning, private outdoor space that is exclusively for the benefit of the coach house is proposed in the form of:
  - a yard to the west of the coach house, which is adequately screened through the use of Emerald Cedars; and
  - a balcony off the upper floor bedroom of the coach house facing the rear lane.
- A total of two (2) garbage and recycling enclosures are proposed on-site, for use by the residents of the principal dwelling and the coach house. The enclosures are sufficiently set back from the rear property line, are screened by Cedar fencing (2 m high), and are adequately sized to each contain a garbage cart, organics cart, blue recycling bin and mixed paper recycling bag, and a grey glass recycling bin.
- The proposed site plan provides on-site parking in excess of that required by the zoning bylaw, including:
  - three (3) enclosed parking spaces for the principal dwelling with access from Dennis Crescent;
  - two (2) enclosed parking spaces with access from the lane; and
  - one (1) unenclosed and permeable parking space for the coach house with access from the lane.

#### ***Architectural Form and Character***

- The proposed exterior building materials and colours of the coach house are designed to complement the character of the principal residence on-site and that of other dwellings in the surrounding neighbourhood (e.g. neutral stucco and wood trim).



- The primary facade of the coach house facing the lane is proposed to be articulated and visually broken into smaller components to create architectural interest.
- Windows are proposed to be oriented toward the lane and to maximize light penetration into the main floor living area of the coach house, while mitigating overlook onto the adjacent properties.

### ***Landscaping and Open Space Design***

- The private open space for the coach house is proposed in two (2) locations: a 31 m<sup>2</sup> patio treated with pavers next to the coach house's kitchen/living area that is delineated and screened through the use of Emerald Cedars; as well as a 4.6 m<sup>2</sup> balcony off the upper floor bedroom facing the lane. The proposed open space is adequately sized and shaped to comply with the RE1 zone.
- The area between the coach house and the rear lane is proposed to be treated with soft landscaping including lawn as well as both evergreen and flowering shrubs to enhance the visual appearance of the lane (e.g., Azalea, Rhododendron, Boxwood, Fern, Emerald Cedars, Columnar Cherry trees, and ornamental grasses).
- The front yard is proposed to be enhanced with the addition of a Pacific Dogwood tree, as well as a planting area on-site along the front property line, featuring a combination of flowering and evergreen shrubs (Azalea, Rhododendron, Boxwood, Laurel, Black-Eyed Susan, and ornamental grasses).
- Tree retention and removal was assessed as part of the Building Permit application for the principal dwelling on the subject site. One (1) bylaw-sized Japanese Maple in the boulevard on Dennis Crescent, as well as one (1) bylaw-sized Western Red Cedar on the neighbouring site to the south, are required to be protected (Attachment 3). Tree protection fencing was installed and inspected prior to issuance of the Building Permit. Eight (8) trees were authorized for removal under Tree Removal Permit T2 14-678343. The applicant is required to provide six (6) replacement trees on the subject site, which are shown on the proposed Landscape Plan.
- Prior to DP issuance, the applicant is required to submit a Landscaping Security in the amount of \$18,579, based on 100% of the cost estimate provided by the Landscape Architect for the proposed works (including a 10% contingency, all soft and hard landscaping, fencing, and installation).

### ***Crime Prevention Through Environmental Design***

- Consistent with the design guidelines for coach houses in the OCP, the proposed coach house design enables natural surveillance by locating windows, living areas, and a balcony overlooking the lane.
- Similarly, the applicant proposes porch lighting at the coach house main entry and pedestal lighting at a pedestrian entry gate to the property at the lane to enhance visibility and pedestrian safety of the lane.
- The applicant also proposes two (2) surveillance cameras on the coach house along the lane.

***Energy Efficiency***

- Consistent with the design guidelines for coach houses in the OCP, the applicant indicates that Energy Star appliances and windows will be installed in the coach house, as well as high performance walls and roofs to reduce energy consumption. Low water consumption plumbing fixtures are also proposed to be installed in the coach house.

**Conclusion**

The applicant is seeking permission to build a coach house in the rear yard of the subject property at 10691 Dennis Crescent in the Edgemere neighbourhood.

The proposal aims to respect the existing character of the immediate surrounding neighbourhood, which consists of single detached housing, by conforming to the design guidelines for coach houses in the Official Community Plan. The proposed site plan is generally consistent with the requirements of the existing RE1 zone, except for the variances identified.

On this basis, staff recommends support for this Development Permit application.



Cynthia Lussier  
Planning Technician

CL:rg

**Attachments:**

- Attachment 1: Location Map/Aerial Photo
- Attachment 2: Development Application Data Sheet
- Attachment 3: Tree Retention & Removal Plan

The following items must be completed prior to forwarding this application to Council for approval:

- Receipt of a landscaping security in the amount of \$18,579 based on 100% of the cost estimate for the proposed works (including 10% contingency costs, fencing, hard and soft landscaping, and installation).

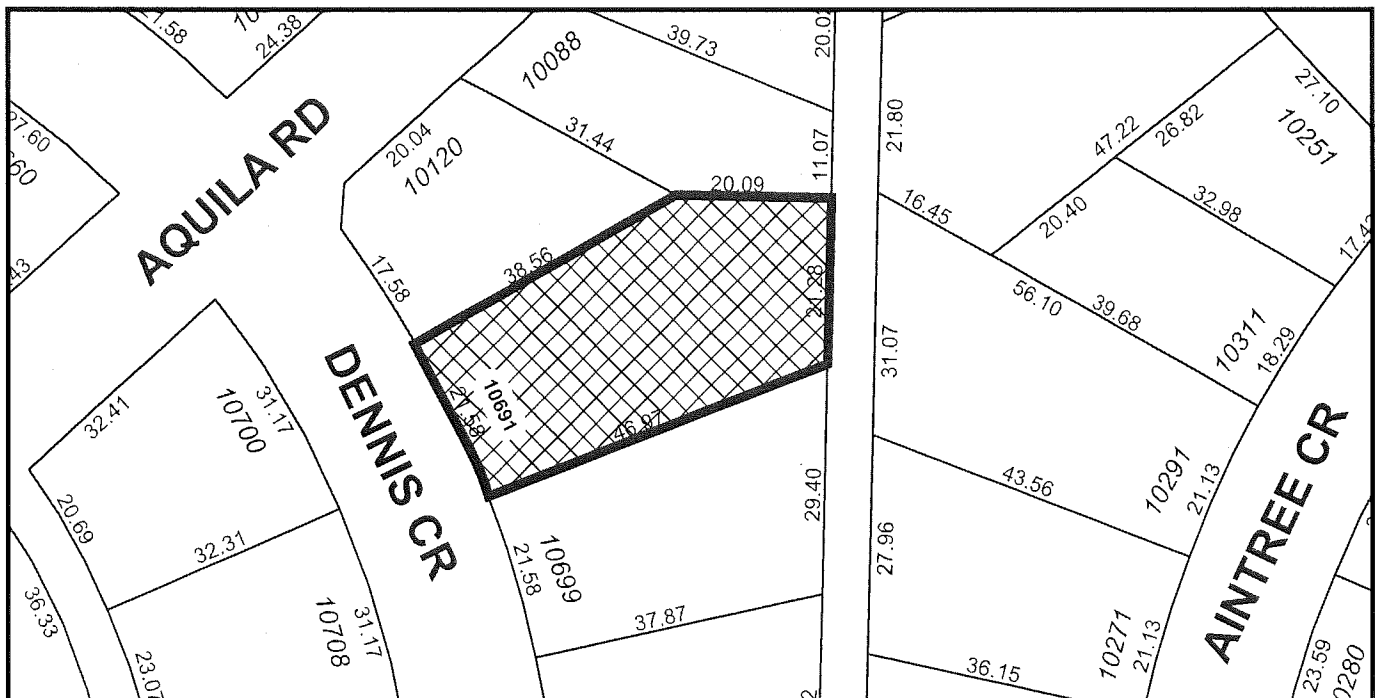
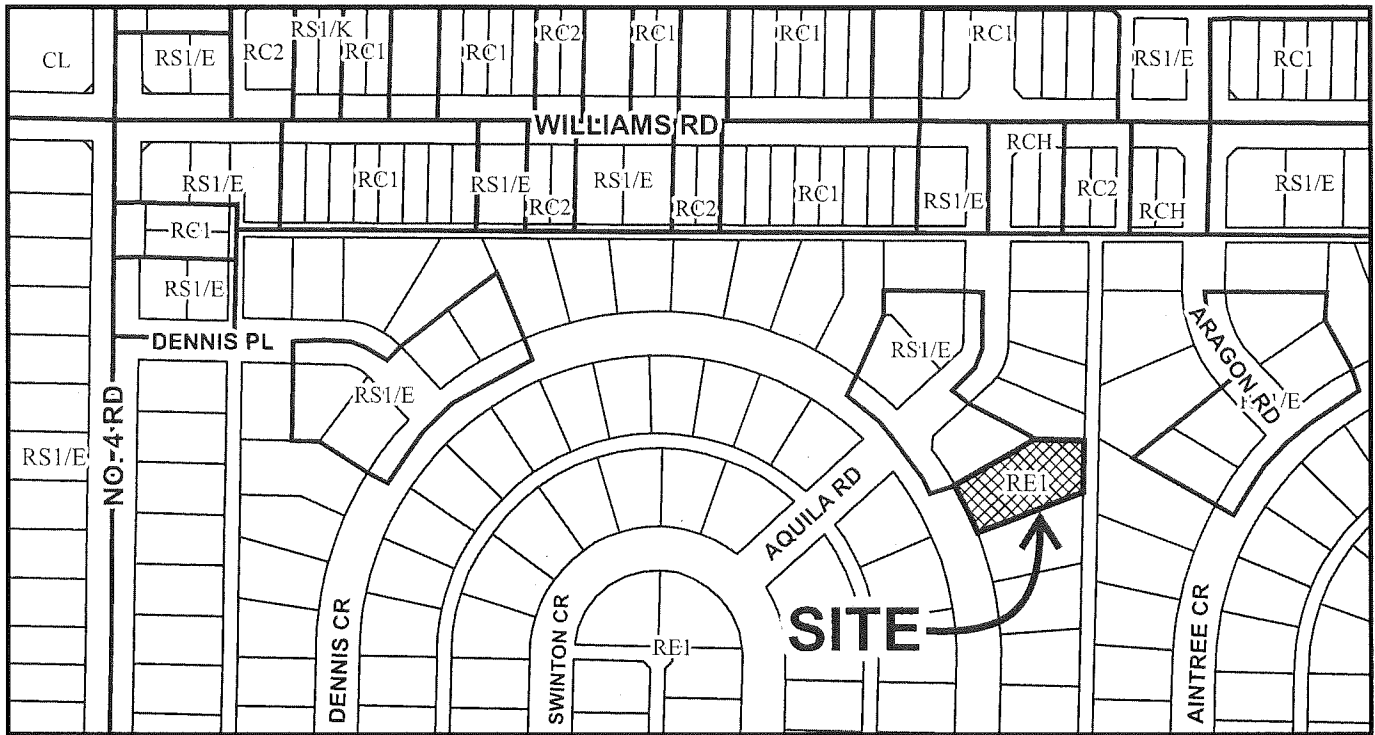
Prior to Building Permit issuance for the coach house, the following items must be completed:

- obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submit a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>), if applicable.





# City of Richmond



DP 15-700390

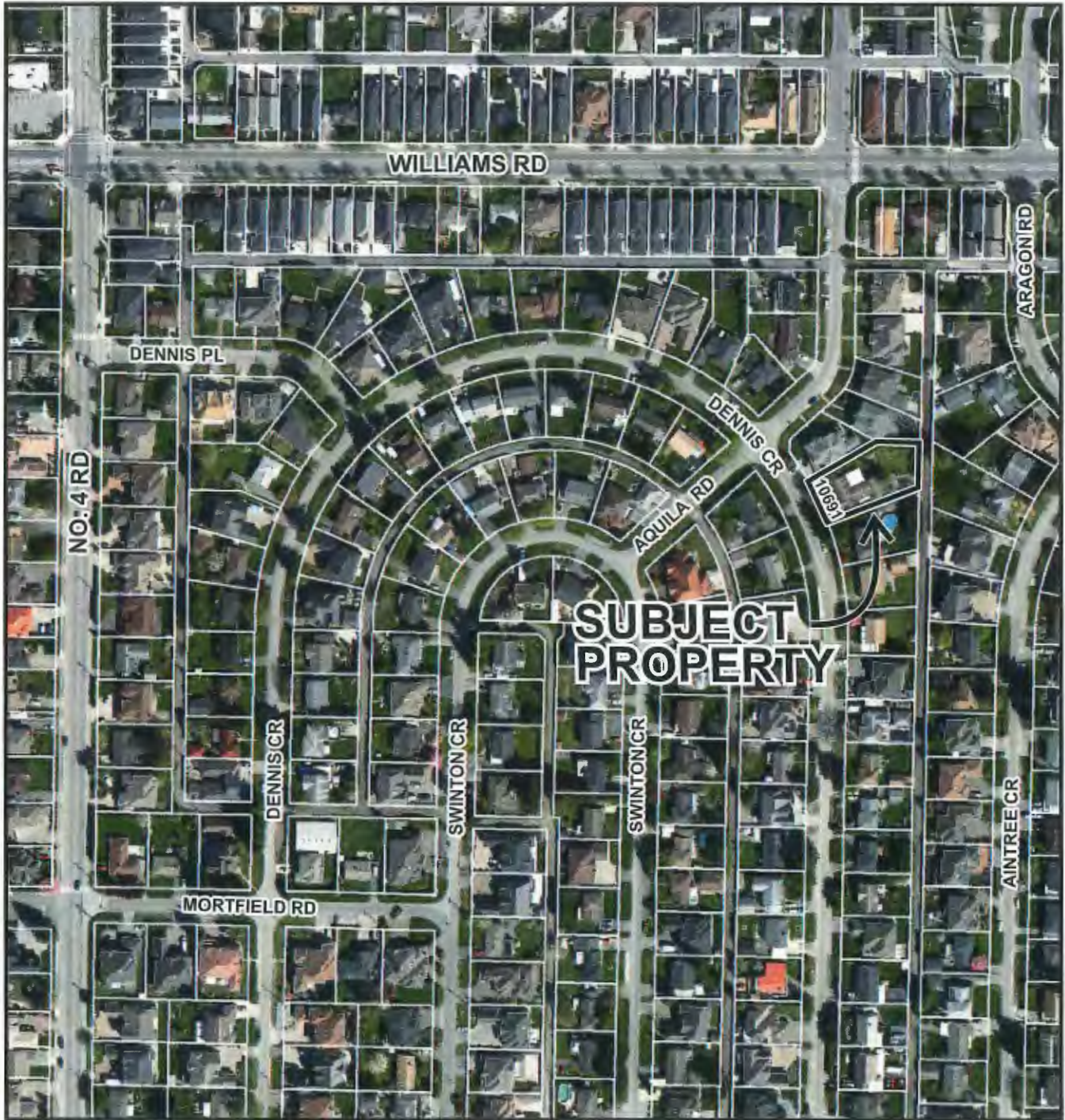
Original Date: 07/13/15

Revision Date:

Note: Dimensions are in METRES



City of  
Richmond



DP 15-700390

Original Date: 07/13/15

Revision Date: 08/26/15

Note: Dimensions are in METRES



**DP 15-700390**

**Attachment 2**

Address: 10691 Dennis Crescent

Applicant: Harjit Sandhu

Owner: Harjit Sandhu

Planning Area(s): Shellmont

	Existing	Proposed
Site Area:	1,263.7 m <sup>2</sup>	No change
Land Uses:	Single detached dwelling under construction	Single detached dwelling and a detached coach house
OCP Designation:	Neighbourhood Residential	Neighbourhood Residential
Zoning:	Single Detached with Granny Flat or Coach House – Edgemere (RE1)	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	464.5 m <sup>2</sup> x Max. 0.60 + 799.2 m <sup>2</sup> x Max. 0.30 Total = 518.46 m <sup>2</sup> (5,580 ft <sup>2</sup> )	518.12 m <sup>2</sup> (5,577 ft <sup>2</sup> )	none permitted
Lot Coverage - Buildings:	Max. 45% (568 m <sup>2</sup> )	34% (435 m <sup>2</sup> )	none
Lot Coverage - Buildings, structures, and non-porous surfaces:	Max. 70% (884 m <sup>2</sup> )	59 % (739 m <sup>2</sup> )	none
Lot Coverage - Live plant material:	Min. 30% (380 m <sup>2</sup> )	Min. 30% (380 m <sup>2</sup> )	none
Setback – Front Yard:	A coach house is not permitted within the front yard.	N/A	none
Setback – North Side Yard:	2.0 m	3.0 m	Requested due to SRW
Setback – South Side Yard:	Min. 2.0 m	8.94 m	none
Setback – Rear Yard:	Min. 1.2 m for no more than 65% of the rear facade of the coach house building	2.13 m	none
	Min. 3.0 m for at least 35% of rear facade of the coach house building	3.0 m	none
	Min. 1.5 m for entry to the coach house.	2.88 m	none
	Between 2.0 m & 8.0 m of the rear lot line	Between 2.0 m & 7.92 m of the rear lot line	none



	Bylaw Requirement	Proposed	Variance
Building Separation Space between principal dwelling & coach house	Min. 4.5 m	7.10 m	none
Height (m):	Max. 1 ½ storeys above grade or 6.0 m, whichever is less	6.0 m from grade to roof peak	none
On-site Parking Spaces – Principal dwelling:	Two (2) standard spaces	Five (5) standard spaces	none
On-site Parking Spaces – Coach House:	One (1) standard space, unenclosed, permeable, and accessible from the rear lane	One (1) standard space	none
Private Outdoor Space for the Coach House:	Min. 30 m <sup>2</sup>	31.2 m <sup>2</sup> patio + 4.6 m <sup>2</sup> balcony Total = 35.8 m <sup>2</sup>	none
	Min. 3.0 m x 3.0 m	4.9 m x 6.4 m	

[illegible]

**Tree Protection Bylaw Section, Building Approvals**

Maintain existing grades within Tree Protection Barriers. Adding fill material within the Tree Protection Zone is prohibited (prior to, during or post construction) as per Tree Protection Bylaw 8057. Refer to Tree Protection Bylaw Information Bulletin Tree-03 and Tree-07.

Construction of continuous footings associated with free standing walls are prohibited in the Tree Protection zone.

*John J. Kelly*  
B.C.L.S.



# City of Richmond

## Development Permit

**No. DP 15-700390**

To the Holder: HARJIT SANDHU  
Property Address: 10691 DENNIS CRESCENT  
Address: 4511 DANFORTH DRIVE  
RICHMOND BC V6X 2X5

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Allow a coach house to be located 3.0 m from the northern interior side lot line; and
  - b) Allow a portion of the parking spaces for the lot to be accessed from Dennis Crescent.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$18,579 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.



No. DP 15-700390

To the Holder: HARJIT SANDHU  
Property Address: 10691 DENNIS CRESCENT  
Address: 4511 DANFORTH DRIVE  
RICHMOND BC V6X 2X5

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

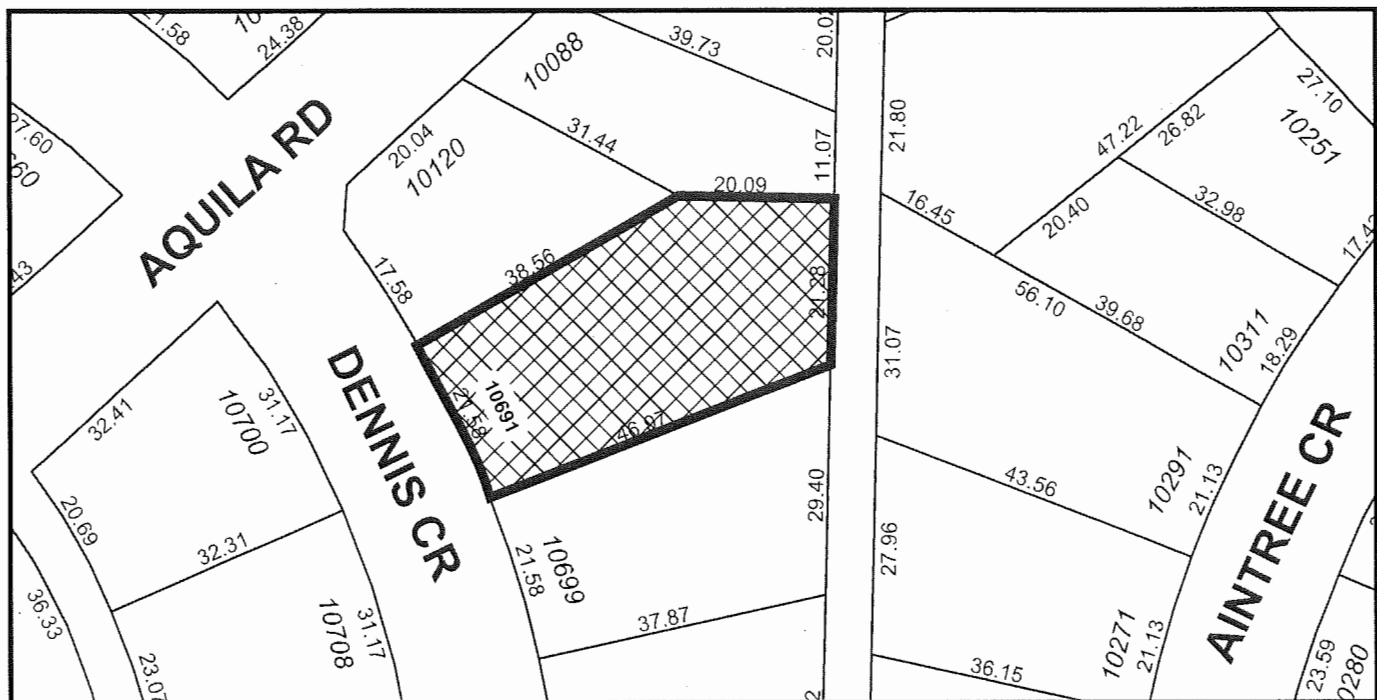
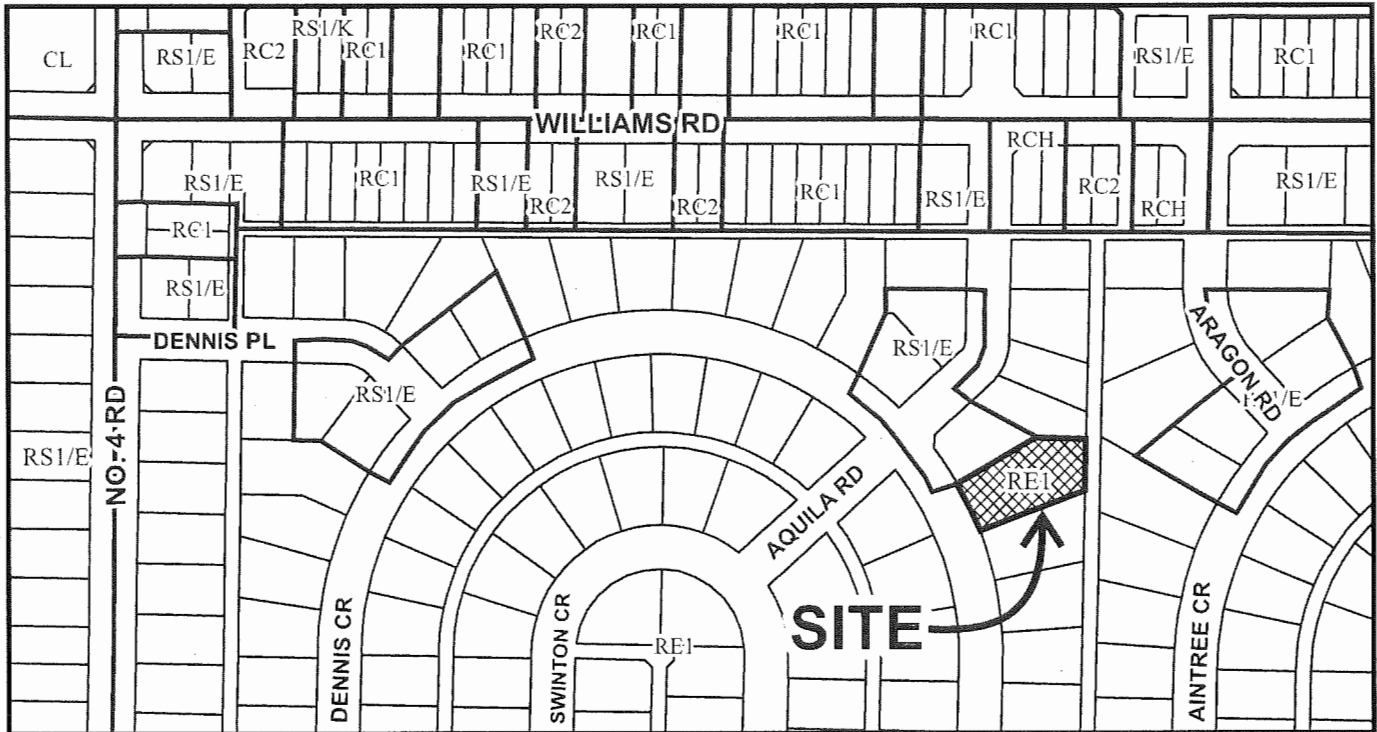
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MAYOR



# City of Richmond



**DP 15-700390**  
**SCHEDULE "A"**

Original Date: 07/13/15

Revision Date:

Note: Dimensions are in METRES









LANDCRAFT HOMES  
HARJ SANDHU 604-771-0299  
maverickconst@gmail.com

EXTERIOR COLOUR SCHEME		
FINISH	COLOUR	NUMBER
ACRYLIC STUCCO	ICE MILK	CSP-1025
WOOD TRIM	GRAPHITE	1 603
GARAGE DOOR	GRAPHITE	1 603

DP#15-700390  
PLAN #3

