



Development Permit Panel

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, September 11, 2019
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on August 28, 2019.*



1. DEVELOPMENT PERMIT 18-829140
(REDMS No. 6144436)

APPLICANT: PLLR 228 Holdings

PROPERTY LOCATION: 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance

Director's Recommendations

That a Development Permit be issued which would:

- 1. permit the construction of 64 townhouse units and two secondary suites at 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance on a site zoned "Parking Structure Townhouses (RTP4)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum setback from the north-south public walkway adjacent to the site driveway from 3.0 m to 0.0 m to accommodate the proposed building footprints and an elevated second storey walkway connecting the two buildings.*



2. New Business

Development Permit Panel – Wednesday, September 11, 2019

ITEM

- 3. Date of Next Meeting: September 25, 2019**

ADJOURNMENT



**Development Permit Panel
Wednesday, August 28, 2019**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cecilia Achiam, General Manager, Community Safety
John Irving, Acting General Manager, Engineering and Public Works

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on July 24, 2019 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 18-829241
(REDMS No. 6158291)**

APPLICANT: 1076694 BC Ltd.

PROPERTY LOCATION: 10451, 10471 & 10491 No. 2 Road

INTENT OF PERMIT:

1. Permit the construction of 12 townhouse units at 10451, 10471 & 10491 No. 2 Road on a site zoned “Low Density Townhouses (RTL4)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) Reduce the minimum front yard setback from 6.0 m to 4.5 m; and
 - (b) Allow one small car parking stall in each of the side-by-side garages (12 small car stalls in total).

Development Permit Panel

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Applicant's Comments

Wayne Fougere, Fougere Architecture Inc., with the aid of a visual presentation (attached to and forming part of these Minutes as Schedule 1) provided background information on the subject application, noting that (i) the size of the three- to four-bedroom townhouse units in the proposed development is larger than in typical townhouse developments, and (ii) the proposed development consists of two- and three-storey townhouse units.

Stephen Heller, Van der Zalm and Associates, reviewed the changes to landscaping in the proposed development in response to City staff and Advisory Design Panel comments, noting that (i) the outdoor amenity space has been redesigned to enhance its accessibility, and (ii) the size of trees proposed to be planted along No. 2 Road has been increased to enhance the streetscape along No. 2 Road.

In reply to queries from the Panel, Mr. Heller acknowledged that (i) five on-site trees will be removed, (ii) four on-site trees will be retained and protected, and (iii) the shape of the retaining walls was determined to preserve existing off-site trees.

Staff Comments

Joshua Reis, Program Coordinator, Development advised that (i) the proposed development includes one convertible unit, (ii) there is a Servicing Agreement associated with the proposal which includes a new sidewalk and boulevard along No. 2 Road and a new bus pad at the existing southbound bus stop on No. 2 Road, and (iii) the proposed variances for the subject development include the reduction of the minimum front yard setback from 6 meters to 4.5 meters and allowing one small car parking stall in each of the side-by-side garages of the 12 townhouse units.

Panel Discussion

In reply to queries from the Panel regarding energy efficiency and overlook concerns regarding the proposed two-storey glass windows on the west elevation of the rear townhouse buildings, Mr. Fougere noted that (i) a report provided by the project's energy consultant has confirmed that the proposed townhouse units have been designed to achieve an EnerGuide rating of 82, and (ii) the project's developer provided drawings of the west elevation of the subject development to the owners of single-family homes to the west and no concerns were noted regarding the proposed size of windows facing their properties. In addition, Mr. Fougere reviewed the floor plans for the second floor of the two-storey townhouse units facing the single-family homes to the west including the location of the proposed two-storey windows.

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In reply to queries from the Panel regarding the proposed landscaping along the development's west property line, Mr. Fougere and Mr. Heller confirmed that (i) approximately two- to three-foot high retaining walls will be constructed along the west property line with a four-foot high wood fence to be installed on top of the retaining walls, (ii) proposed hedge planting adjacent to the retaining walls along the west property line could grow higher than the proposed four-foot fence on top of the retaining walls to provide a buffer between the subject development and the adjacent single-family homes to the west, and (iii) a few ornamental trees are proposed to be planted adjacent to the west property line.

Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 12 townhouse units at 10451, 10471 & 10491 No. 2 Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum front yard setback from 6.0 m to 4.5 m; and*
 - (b) *allow one small car parking stall in each of the side-by-side garages (12 small car stalls in total).*

CARRIED

2. **DEVELOPMENT PERMIT 19-858887**
HERITAGE ALTERATION PERMIT 19-858886
(REDMS No. 6220011 v. 2)

APPLICANT: Gordon Chan

PROPERTY LOCATION: 12551 No.1 Road

3.

Development Permit Panel

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INTENT OF PERMIT:

1. Issuance of a Development Permit to permit the replacement of existing wooden ramp, stairs and deck with new aluminum ramp, stairs, and deck around the existing building and the installation of a new aluminum ramp on the rear (south) elevation at 12551 No.1 Road; and
2. Issuance of a Heritage Alteration Permit for 12551 No.1 Road in accordance with the Development Permit.

Applicant's Comments

Andrew Leonard and Gordon Chan, McCuaig and Associates Engineering Ltd., with the aid of a PowerPoint presentation (attached to and forming part of these Minutes as Schedule 2) provided background information on the subject application, highlighting the following:

- the existing wooden ramps, stairs and decks around the existing office building for Fisheries and Oceans Canada have deteriorated and needed to be repaired and replaced; and
- the proposed repair and replacement of identified parts of the existing building are intended to enhance the accessibility of the building and to introduce more durable materials to the building.

In addition, Mr. Leonard reviewed the scope of the work to be done in the building which includes four areas of the building.

In reply to queries from the Panel, Mr. Leonard confirmed that (i) the existing wooden decks in the building are already in an advanced stage of deterioration, (ii) proposed materials include powder coated aluminum with matt finish, and (iii) a flow- through aluminum material is proposed for the decks to allow water to flow through.

In reply to a query from the Panel regarding the proposed location of the delineated pedestrian pathway and its connection to the sidewalk on Bayview Street as a portion of the site frontage is separated by a change in grade and a curb, Mr. Leonard confirmed that the delineated pedestrian pathway extends far enough eastward to allow for an unobstructed connection to the sidewalk.

In reply to query from the Panel, Minhee Park, Planner 2, confirmed that the existing building is not an identified heritage resource and is therefore not eligible for a grant.

Staff Comments

Mr. Reis noted that the subject application was reviewed and supported by the Richmond Heritage Commission with the recommendation that the proposed aluminum material should be powder-coated.

Development Permit Panel
Wednesday, August 28, 2019

Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

1. *That a Development Permit be issued which would permit the replacement of existing wooden ramp, stairs and deck with new aluminum ramp, stairs, and deck around the existing building and the installation of a new aluminum ramp on the rear (south) elevation at 12551 No.1 Road; and*
2. *That a Heritage Alteration Permit be issued for 12551 No.1 Road in accordance with the Development Permit.*

CARRIED

3. **Date of Next Meeting: September 11, 2019**

4. **Adjournment**

It was moved and seconded

That the meeting be adjourned at 3:58 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, August 28, 2019.

Joe Erceg
Chair

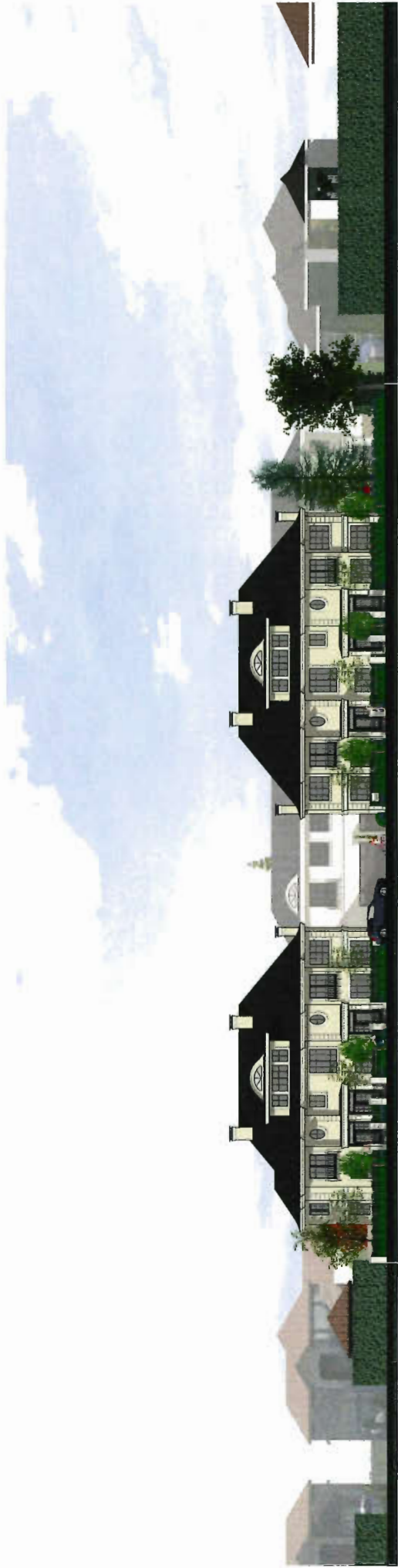
Rustico Agawin
Committee Clerk

Schedule 1 to the Minutes of the Development Permit Panel meeting held on Wednesday, August 28, 2019.



NO. 2 ROAD





10511 No 2 Road

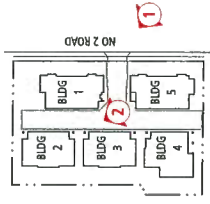


PROPOSED DEVELOPMENT



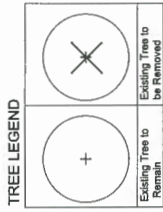
10431 No 2 Road





KEY PLAN





KEY	REF.	DESCRIPTION
---	2	TREE PROTECTION FENCE
---	3	---

Tree Summary
 # of significant on-site trees removed: 5
 # of replacement trees required (2:1): 10
 # of replacement trees proposed: 16
NOTE: Tree log #1-22 is a cedar hedge and compensation is not required.

For Tree Table information, refer to project Arborist: Arboricultural Assessment Report
 Proposed Multi-Family Residential Development
 10451-10481 82 Road Richmond BC
 By Michael J Mills Consulting
 M.J.M. File #1725
 Email: mills@ccrcal.com

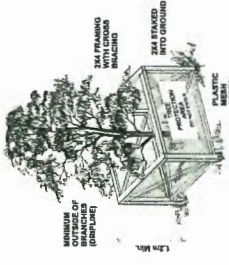
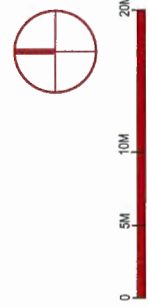
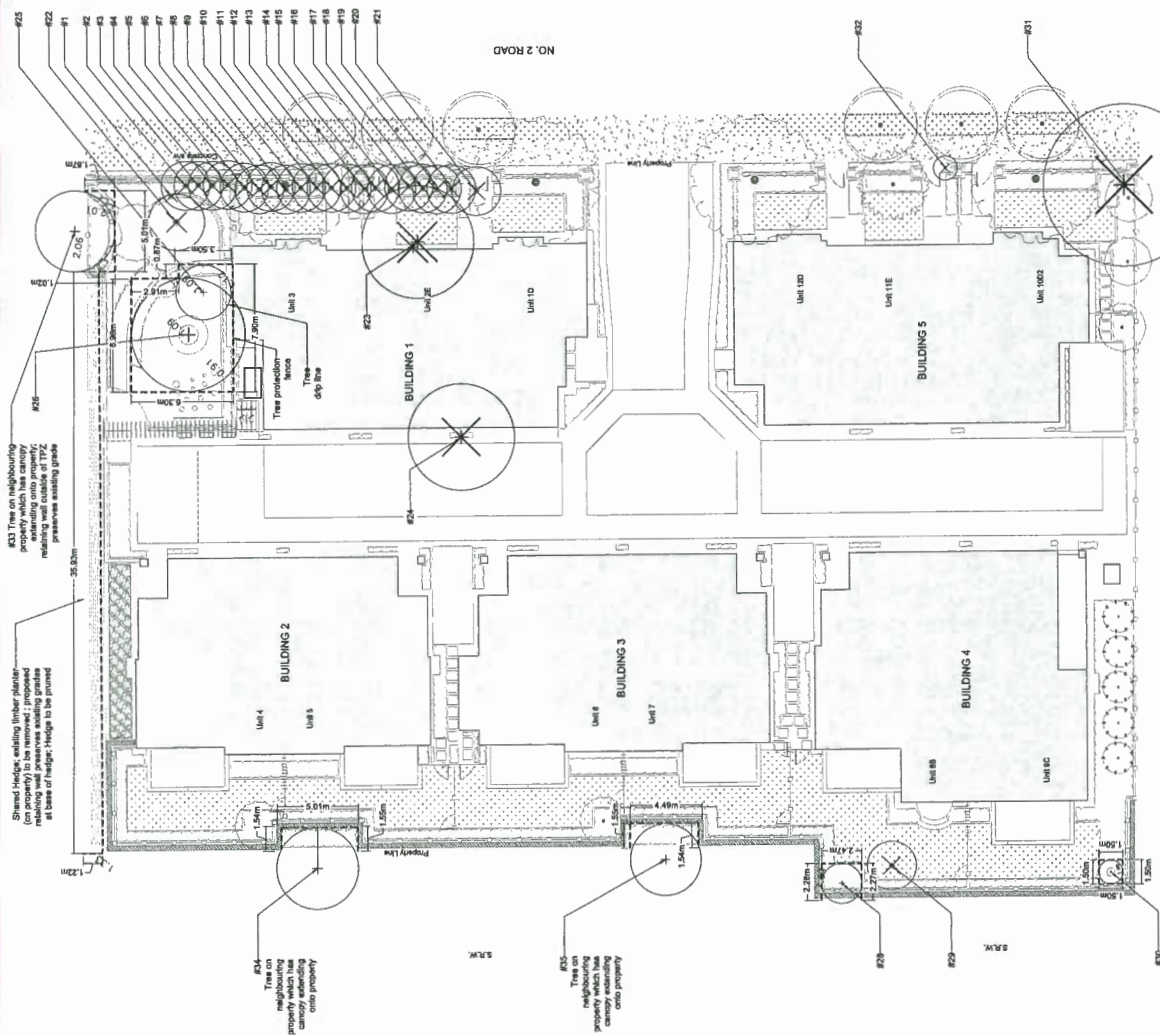


TABLE 1: TREE PROTECTION FENCE REQUIREMENTS

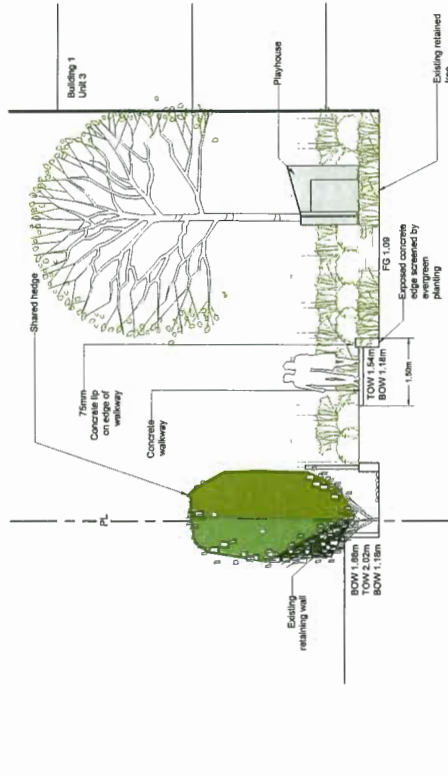
TREE TRUNK DIAMETER	MINIMUM TOTAL	MINIMUM TOTAL	TOTAL DIAMETER
mm	mm	m	m
100	100	0.1	0.1
125	125	0.125	0.125
150	150	0.15	0.15
175	175	0.175	0.175
200	200	0.2	0.2
225	225	0.225	0.225
250	250	0.25	0.25
275	275	0.275	0.275
300	300	0.3	0.3
325	325	0.325	0.325
350	350	0.35	0.35
375	375	0.375	0.375
400	400	0.4	0.4
425	425	0.425	0.425
450	450	0.45	0.45
475	475	0.475	0.475
500	500	0.5	0.5
525	525	0.525	0.525
550	550	0.55	0.55
575	575	0.575	0.575
600	600	0.6	0.6
625	625	0.625	0.625
650	650	0.65	0.65
675	675	0.675	0.675
700	700	0.7	0.7
725	725	0.725	0.725
750	750	0.75	0.75
775	775	0.775	0.775
800	800	0.8	0.8
825	825	0.825	0.825
850	850	0.85	0.85
875	875	0.875	0.875
900	900	0.9	0.9
925	925	0.925	0.925
950	950	0.95	0.95
975	975	0.975	0.975
1000	1000	1.0	1.0



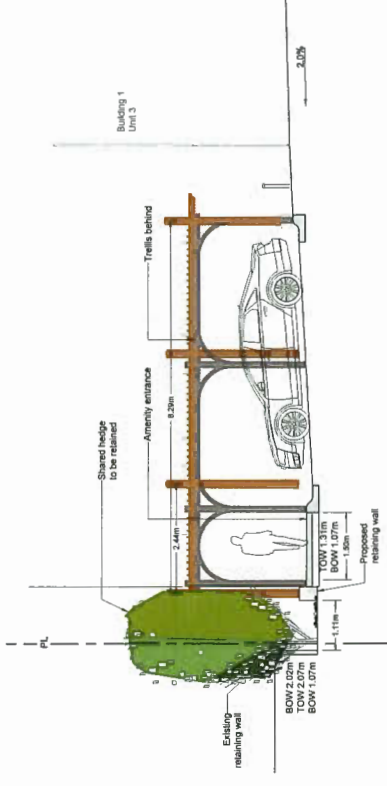
TREE MANAGEMENT PLAN

DP2017-68 No. 2 ROAD TOWNHOMES

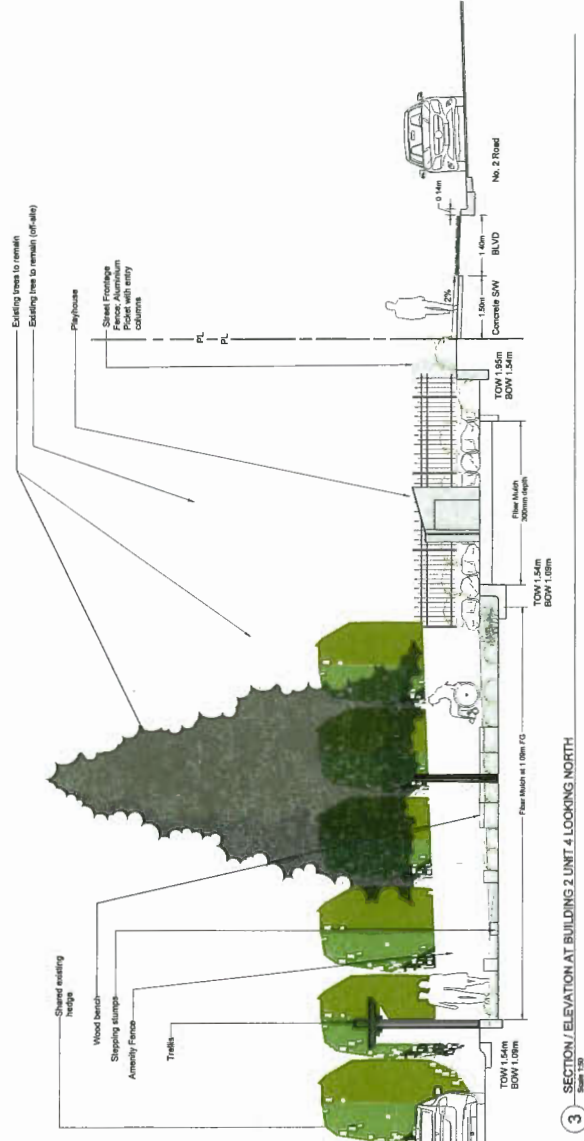




1 SECTION / ELEVATION AT AMENITY LOOKING EAST
Scale 1:50



2 SECTION / ELEVATION AT DRIVE ANGLE LOOKING EAST
Scale 1:50



3 SECTION / ELEVATION AT BUILDING 2 UNIT 4 LOOKING NORTH
Scale 1:50

ACCESSIBLE PLAY



Playhouse



Coloured concrete discs create a sense of arrival at the amenity area.

ACCESSIBLE PLAY & NATURAL MATERIALS



Stepping stones fosters mobility and imaginative play.



The basalt bench provides a seating opportunity for parents and carers nearby.



The circular wood deck around the playhouse provides a seating element for children, and a seating area for parents.



van der Zalm + associates

AUGUST 28, 2019

AMENITY SPACE

DP2017- 68 No. 2 ROAD TOWNHOMES

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
August 28, 2019.

**STEVESTON GOCB
12551 NO.1 ROAD**

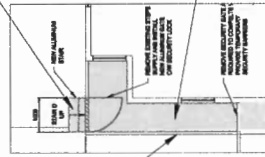
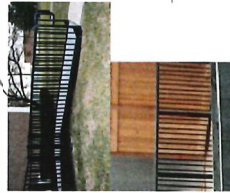
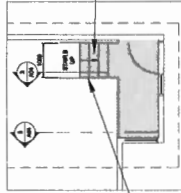
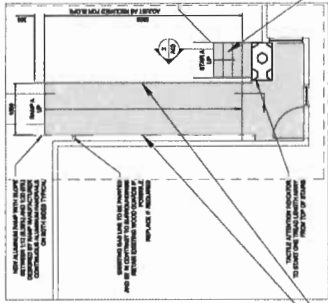
Replacement of existing ramps, steps and stairs.

EXISTING CONDITIONS

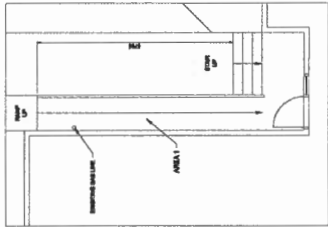


- Building Area: 407 sq.m of the site.
- Wood-framed building constructed 1976.
- Existing ramps, steps and stairs are made of wood with timber supports.
- Guards and handrails – wood and metal
- Exterior cladding is vinyl.

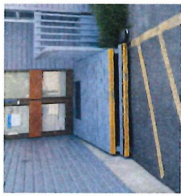
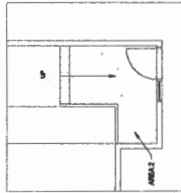
PROPOSED



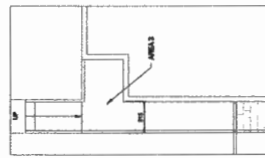
EXISTING



AREA - 1

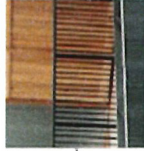


AREA - 2



AREA - 3





STEVESTON GOCS



PROPOSED RAMP, WALKWAY AND STEPS

- Retain existing framing, pile supports and related structural supports.
- Remove and dispose of existing wood decking, wood guards and metal handrails
- Add additional support as required to support new decking.
- Supply and install new aluminum guards and handrails that match existing appearance as closely as possible. Aluminum is being used because it is durable, light weight and requires less maintenance.
- Supply and install new powder coated aluminum walkway panels with matte finish.
 - Colour is to match existing as closely as possible.
 - Non-slip surface.
 - Perforated to reduce puddles and ponding.
 - Long lasting material not vulnerable to microbial decay, corrosion or other forms of deterioration



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: August 20, 2019

From: Wayne Craig
Director of Development

File: DP 18-829140

Re: **Application by PLLR 228 Holdings Ltd. for a Development Permit at 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 64 townhouse units and two secondary suits at 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance on a site zoned "Parking Structure Townhouses (RTP4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum setback from the north-south public walkway adjacent to the site driveway from 3.0 m to 0.0 m to accommodate the proposed building footprints and an elevated second storey walkway connecting the two buildings.

Wayne Craig
Director of Development

WC:el
Att. 2

Staff Report

Origin

PLLR 228 Holdings Ltd. has applied to the City of Richmond for permission to develop 64 residential units and two common parking structures at 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance. The applicant has proposed to purchase the surplus road allowance and consolidate it into the development site. 55 multi-level townhouse units and nine ground level flats will be included in the development. The unit sizes range between 57.9 m² (623 ft²) and 147.3 m² (1,585 ft²), providing a mix of one to four bedroom units. Two of the 55 townhouse units are proposed to contain a secondary suite. Parking will be provided within the two parking structures.

The site is being rezoned from “Single Detached (RS1/E)” zone to “Parking Structure Townhouses (RTP4)” zone for this project under Bylaw 9914 (RZ 17-766525), which received Third Reading following the Public Hearing on October 15, 2018. The site is currently vacant but previously contained seven single family dwellings.

Frontage improvements including beautification works along the site frontage, future back lanes, public walkways onsite, as well as storm sewer and sanitary sewer upgrades, and new fire hydrant were secured through the rezoning process and will be constructed through a separate Servicing Agreement (SA 18- 841587). The Servicing Agreement must be entered into prior to final adoption of the rezoning bylaw.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The Spires Road Neighbourhood is identified in the City Centre Area Plan as an area intended to transition from a predominately single family neighbourhood toward a higher density neighbourhood through the development of townhouse buildings with parking structures.

To the North: Single family homes on lots zoned “Single Detached (RS1/E)”. A rezoning application to develop 20 townhouse units at 8951 & 8971 Spires Road and 8991 Spires Gate (RZ 18-818420) has been received. This application is under staff review.

To the South: Two townhouse complexes and a single family home fronting Cook Road, all on properties zoned “Low Density Townhouses (RTL1)”.

To the East: Single family homes on lots zoned “Single Detached (RS1/E)”; these properties are designated for high density townhouse developments under the City Centre Area Plan.

To the West: Existing townhouse complexes, fronting Cooney Road, on lot zoned “Low Density Townhouses (RTL1)” and “Town Housing (ZT53) – Cooney Road (Brighthouse Village of City Centre)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on October 15, 2018. No concerns regarding the rezoning application were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Parking Structure Townhouses (RTP4)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) reduce the minimum setback from the north-south public walkway adjacent to the site driveway from 3.0 m to 0.0 m to accommodate the proposed building footprints and an elevated second storey walkway connecting the two buildings.

(This variance was identified at rezoning stage, and no concerns were identified at that time. Typically, ground oriented units are encouraged to front onto a public walkway. In order to ensure that a front yard can be provided between the public walkway and the unit, a minimum of 3.0 m building setback to a walkway is required. Staff support the proposed variance to reduce the minimum walkway setback from 3.0 m to 0.0 m recognizing that a new public walkway cutting through the site from north to south is required as part of this development. As no unit is proposed to front onto this public walkway, a large building setback to the walkway is deemed unnecessary. Instead, landscape buffers will be provided on both sides of the walkway to enhance the pedestrian experience along the public walkway. In addition, as the development is being cut into two halves by the public walkway, a foot bridge (elevated walkway) over the public walkway is proposed to provide a direct pedestrian linkage between the east and west portions of the development, on the podium level, for easy access to various amenities proposed on site. This foot bridge will provide sufficient height clearance and will not affect the use of the public walkway at grade. As the foot bridge is proposed to cross over the public walkway, no setback to the walkway could be provided.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Thursday February 21, 2019 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘**bold italics**’.

Analysis

Conditions of Adjacency

- The subject site and surrounding properties are designated for grade-oriented housing in the form of high density townhouses (i.e., low-rise, street wall buildings with common parking structures concealed from public view by non-parking uses) under the City Centre Area Plan (CCAP).

- The proposal satisfies the CCAP's vision while being sympathetic to the adjacent single-family home. The units at the corners of the site are stepped down from four-storeys to three-storeys to provide a gentle transition to the existing adjacent single family houses to the north and east. Roof decks are set back from the building face to avoid overlook.
- The top floors of the townhouse units along the south and west property lines are also terraced to minimize overlook into adjacent developments to the south and west.
- Location and orientation of windows are carefully considered to minimize the opportunity of looking into close-by windows of existing adjacent developments and units proposed on site.
- The existing site grade along the south property line will be maintained to provide an appropriate transition to the adjacent townhouse development to the south.
- Lane dedication along the west side of the site for the provision of the future north-south lane parallel to Cooney Road has been secured at Rezoning. This dedication will start at a width of 3.0 m at the south property line and taper to a width of 4.0 m at north property line in order to tie into the future lane to the north that will be offset by 1.0 m. A 3.0 m x 3.0 m corner cut dedication at the southwest corner of the subject development site for the future north-south and east-west lane intersection has also been secured. Since this future lane along the west property line of the site is not required for access for the proposed development, the lane is not required to be built at this time. The existing site grade along the west edge of the lane dedication area will be maintained to provide an appropriate transition to the adjacent townhouse development to the west. This lane dedication area will be maintained by the site's strata until the lane has become operational; and this arrangement has been secured through the rezoning process.
- To enhance pedestrian circulation within the Spires Road Neighbourhood, a 1.5 m wide SRW along both the north and east side property lines have been secured for future pedestrian connections between Spires Road and the future back lanes. A similar 1.5 m wide SRW will be secured from both of the adjacent sites to the north and east to widen the future walkways to 3.0 m. Interim sod lawns and six foot high perimeter fence will be provided along the north and east property lines, within the 1.5 m wide SRWs as part of this development. The perimeter fence will be removed and the sod lawns will be replaced by a 1.5 m wide concrete walkway with a 0.75 m wide swale for drainage along both edges of the walkway by the neighbouring developers when the neighbouring sites redeveloped. The site's strata will be responsible for the maintenance of the SRW areas. These arrangements have been secured through the rezoning process.
- A low retaining wall (up to approximately 0.71 m high) will be installed on the subject site, along the north and east side property lines, in order to raise the front yard to the sidewalk level and to provide a gentle slope along the side property lines for future walkways connecting Spires Road and the future back lanes.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- Main vehicular access to this new townhouse project is to be from Spires Road, in the eastern portion of the site.

- A 6.0 m wide greenway, with the centre line aligned with the common property line between 8920 Spires Road and 8635 Cook Crescent, is to be provided on site for future pedestrian connection between the Spires Road Neighbourhood and Cook Road. A pedestrian pathway is to be provided within the greenway.
- A 1.5 m concrete sidewalk is also to be provided on site along the side and rear property lines for pedestrian connection from Spires Road to the future lanes and along the future lanes.
- Buildings along Spires Road provide a well-defined street edge with raised front yards. The proposed habitable floor elevation for the ground level flat is approximately 0.66 m above the highest elevation at the crown of Spires Road.
- The proposal provides an attractive streetscape with individual unit entry and landscaped front yard to each of the ground level flats as well as two entry plazas with direct access to the podium level. Pedestrian access to the townhouse units (other than street-level units) will be through the central courtyard on the podium level.
- An enclosed lobby is also proposed by the west entry plaza to provide a secured space for the mailbox kiosk, elevator to the podium level, and access to the enclosed parking area.
- Two communal parking structures are proposed for the entire development. Each parking structure will feature an overhead gate to secure the parking areas. 83 residential parking spaces are proposed, which exceeds the by-law requirement (77 spaces).
- The proposal will feature 36 parking spaces in a tandem arrangement (47% of total required residential parking spaces), which is consistent with the maximum 50% of tandem parking provision of Richmond Zoning Bylaw 8500. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space, and to ensure that both parking spaces be assigned to the same dwelling unit where two parking spaces are provided in a tandem arrangement, has been secured at rezoning.
- A total of seven accessible residential parking stalls are to be provided on site, and will be assigned to each of the six convertible units and the only Basic Universal Housing unit proposed.
- A total of 13 visitor parking spaces (including two accessible parking stalls) are to be provided throughout the site. The number of visitor parking spaces proposed is in compliance with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- The garbage room housing garbage, recycling and organics storage bins is proposed adjacent to the auto court and close to the loading area. The room is fully enclosed and incorporated into the development's overall structure.
- Indoor amenity spaces will be provided on the ground floor and second floor of Building #8, by the west entry plaza. The overall size of the proposed indoor amenity spaces complies with the Official Community Plan (OCP) requirements (i.e., 100 m² of indoor amenity space for multiple family development projects of 40 units or more).
- The overall size of the proposed outdoor amenity spaces complies with the Official Community Plan (OCP) requirements (i.e., 6 m² per unit). The locations and sizes of the outdoor amenity spaces are appropriate in providing open landscape and amenity spaces convenient to all units.

- Additional outdoor amenity space (minimum 10% of the site area as per the City Centre Amenity Space Provisions in the City Centre Area Plan) is provided in the form of entry plazas, public and semi-private walkways and landscaped areas throughout the site.
- All ground level flats will have a private outdoor space consisting of a front yard on the street level; all townhouse units will have a private outdoor space consisting of a patio on the podium level and a roof top deck or a yard space on the street level.
- Two of the units will contain a ground-level secondary suite (studio) of approximately 40 m² (430 ft²) in size. No additional parking stall is required for the proposed secondary units since this site is not located on an arterial road.

Architectural Form and Character

- The proposed development embodies the Tudor style architecture with varying façade treatment at key points, steep roof pitches, proportionate windows set symmetrically into traditional massing forms, projecting bays with prominent gables, and architectural details such as brackets and brick chimney, etc.
- Larger setbacks on the fourth storey and prominent gables on the third storey have been incorporated to provide a reduced massing expression to the street.
- The proposal reinforces a pedestrian friendly streetscape along Spires Road with individual gates/walkways, street level entries with porches, and small gated front yards.
- All dwelling units have direct entrances either from the street or internal courtyard on the podium. All entrances feature private yards and lower entry roof to reflect a single family character.
- The proposed building materials (of brick, horizontal siding, fibre cement boards, robust wood detailing, shingles and divided windows) are generally consistent with the Official Community Plan (OCP) Guidelines.
- Fibre cement boards and horizontal siding are the two dominant materials used on the elevations. Façade details and trim contrast the background colours of the elevations. Asphalt shingles are used to accentuate a single family character. Brick is used as accent material in the lower portions of the buildings. Board and batten with contrasting colours are used on the bays and gable ends to reflect the Tudor style architecture. Three colour schemes are provided to differentiate between buildings.

Tree Preservation

- 13 bylaw-sized trees and four hedgerows on site, 14 trees and six hedgerows on neighbouring properties, and four street trees on City property were assessed at Rezoning stage.
- A multi-branching Deodar Cedar tree (specifically tag# 729), located by the proposed entry driveway, is identified in good condition and will be protected and retained on site.
- The existing Deodar Cedar tree creates a strong focal point along the street frontage; acknowledging the symbolic strength of this retained tree, a raised deck allows for a seating area and shady picnic spot along Spires will be provided. As the critical root zone must be preserved to limit the damage inflicted to the tree by construction, both the raised deck and entry walkway will be constructed with no-excavation and under the supervision of the project arborist.

- Twelve bylaw-sized trees on site are identified for removal. Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 24 replacement trees are required. The applicant is proposing to plant 30 replacement trees on-site, including five conifer and 25 deciduous trees.
- Ten trees on neighbouring properties are to be protected as per City of Richmond Tree Protection Information Bulletin Tree-03.
- Four trees located on the adjacent development site to the north, along the north property line of the subject site, are all in poor condition and have been identified for removal as part of the development proposal on the adjacent property to the north. Consent letter from the neighbouring property owner is on file. A separate Tree Permit will be required for the removal of these four trees.
- Four street trees including a Plum tree (14cm dbh), a Birch tree (30 cm dbh), a Western Red Cedar tree (54 cm dbh) and a Spruce tree (28cm dbh) located along the site frontage will be removed due to their condition and conflicts with proposed frontage improvements (i.e., ditch infill and new sidewalk). Compensation of \$5,850 for the removal of the four trees has been secured at Rezoning stage.

Landscape Design and Open Space Design

- Along Spires Road, the landscaped front yards are raised approximately 0.6 m above the sidewalk with layered shrub planting to present a pleasant pedestrian experience and to provide a defined edge along the public sidewalk.
- Each Spires Road entry is punctuated by trees and shrub planting to reflect the neighbouring garden frontage. Each ground-level flat will have a patio and a lawn.
- At the podium level, all units are oriented around the landscaped courtyard with their own private yards. Soft boundaries to the shared paver pathway, in the form of low evergreen hedging, are proposed to establish an appealing and intimate residential character to encourage socialization and provide for casual surveillance of the common outdoor area.
- All units will have access to a private outdoor space; to address smaller spaces associated with some of the units, the overall size of communal outdoor amenity space proposed exceeds the minimum identified under the Development Permit Guidelines.
- Children's play areas are proposed on the podium level south of Building #8 (adjacent to the indoor amenity space on the podium level) and between Building #4 and #5. Play equipment has been chosen to fit into play areas and to provide different play opportunities (i.e., climbing, social, imagination, balance, motor skills) that can be used by different age groups and for multiple purposes. Benches are also provided for caregivers.
- A number of outdoor amenity spaces are also proposed throughout the site. These spaces are designed as social areas for more passive activities.
- At the bend of the road along Spires Road, a piece of public art will be placed in a raised planting bed and flanked on either side with pedestrian pathways. The pathways also provide bike parking and benches, creating a critical mass of activities that will encourage social interaction and community-building opportunities between neighbours. Ample landscape screening of the adjacent units is provided to lessen the impact of the plaza.

- The community space provided around the retained Deodar Cedar tree by the entry driveway is designed to allow better appreciation of the tree itself and to provide seating opportunities closer to the street as well as the entry curved stair.
- On the podium level, near the curved staircase, a curved bench and hardscape are proposed to acknowledge the shape of the entry stair, and to provide social focus for groups from two to six people. The space between buildings #6 and #7 is designed as a distinct outdoor room that will feature a square table for use for picnics and games.
- Decorative permeable paving is proposed at the vehicle entry of the site and broom finished concrete will be used to delineate the pedestrian pathway within the north-south greenway.
- The south and west elevations are screened by vigorous vines, supported by cable trellises. Circulation around the building is provided by a concrete pathway, with ground-level landscape lighting to provide safety, but without light pollution.
- Wall mounted, full cut-off light, lighting bollard, step lights and soffit lighting are proposed throughout the site at the entry plaza, various outdoor amenity spaces, stairs, unit entries, as well as along walkways and future lanes.
- An on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$425,675.34 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Site lighting and clear sight lines provide unobstructed views of surrounding area. Walkways are direct and open. Walkways and amenity space will be illuminated.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.
- Expansive glazing for each unit increases the visual presence and surveillance along Spires Road, future back lanes, outdoor amenity spaces and the courtyard on the podium level.

Sustainability

- At the rezoning stage, the applicant committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating. A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- The applicant has also committed, at the rezoning stage, to achieving Leadership in Energy and Environmental Design (LEED) Silver equivalency. A Certified LEED consultant has confirmed that the proposed townhouse units will be designed to achieve silver rating. The Multifamily Sustainability Scorecard provided by the LEED consultant is on file and will be utilized through the Building Permit review process to ensure the proposed sustainable strategies are incorporated in the Permit drawings.

Accessible Housing

- The proposed development includes one basic universal housing unit (unit type D6) that is designed to be easily renovated to accommodate a future resident in a wheelchair. This single-storey unit is required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and is permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- The proposed development also includes six convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in unit types B1E, B5 & B6) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 1

EL:rg

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from Advisory Design Panel Meeting Minutes (February 21, 2019)

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 9914.
- Receipt of a Letter-of-Credit for landscaping and tree survival security in the amount of \$425,675.34. No Landscape Letter of Credit will be returned until:
 - the post-construction assessment report, confirming the protected trees survived the construction, prepared by the Arborist, and
 - the Letter of Assurance, confirming the landscaping are installed as per the Development Permit, prepared by the Landscape Architect,are reviewed by staff.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof,

or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*

- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 18-829140

Attachment 1

Address: 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance

Applicant: PLLR 228 Holdings Ltd. Owner: PLLR 228 Holdings Ltd.

Planning Area(s): City Centre

Floor Area Gross: 7,707 m² Floor Area Net: 7,019 m²

	Existing	Proposed
Site Area:	6,075 m ²	5,852 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Area Plan Designation	City Centre Area Plan: General Urban T4 Sub-Area B.1: Mixed Use – Low-Rise Residential & Limited Commercial	No Change
Zoning:	Single Detached (RS1/E)	Parking Structure Townhouses (RTP4)
Number of Units:	7	64

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.20	1.20	none permitted
Lot Coverage – Building:	Max. 50%	50%	none
Lot Coverage – Non-porous Surfaces:	Max. 80%	75%	none
Lot Coverage – Landscaping:	Min. 20%	21%	none
Setback – Front Yard / Road (m):	Min. 3.0 m	3.0 m	none
Setback – Side Yard – North (m):	Min. 1.5 m	1.5 m	none
Setback – Side Yard - East (m):	Min. 1.5 m	1.5 m	none
Setback – Lane (West) (m):	Min. 1.5 m	1.5 m	none
Setback – Lane (South) (m):	Min. 1.5 m	3.0 m	none
Setback – Walkway (m):	Min. 3.0 m	0.0 m	Variance Requested
Height (m):	Max. 15.0 m (4 storeys)	15.0 m (4 storeys)	none
Lot Depth:	Min. 30.0 m	33.59 m	none

Site Area:	Min. 2,400 m ²	5,852 m ²	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.2 (R) and 0.2 (V)	1.25 (R) and 0.20 (V) per unit	none
Off-street Parking Spaces – Total:	77 (R) and 13 (V)	83 (R) and 13 (V)	none
Tandem Parking Spaces:	Max. 50% of required residential spaces (77 x Max. 50% = 38)	36	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on-site (96 x Max. 50% = 48)	17	none
Handicap Parking Spaces:	Min. 2% when 11 or more spaces are required (90 x 2% = 2 spaces)	9	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.20 (Class 2) per unit	1.58 (Class 1) and 0.20 (Class 2) per unit	none
Off-street Parking Spaces – Total:	80 (Class 1) and 13 (Class 2)	82 (Class 1) and 14 (Class 2)	none
Amenity Space – Indoor:	Min. 100 m ² or Cash-in-lieu	100 m ²	none
Amenity Space – Outdoor:	Min. 6 m ² x 64 units = 384 m ²	388 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, February 21, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

1. DP 18-829140 – 63-UNIT CITY CENTRE STACKED TOWNHOUSE
DEVELOPMENT

ARCHITECT: Formwerks Architectural
LANDSCAPE ARCHITECT: PMG Landscape Architects
PROPERTY LOCATION: 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road

Applicant's Presentation

Jim Bussey, Formwerks Architectural. and, Caelan Griffiths, PMG Landscape Architects, presented the project and together with Andrea Ornopia, Formwerks Architectural, answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- built forms adjacent to the pedestrian walkway along the south and west property lines are tall and planar; not pedestrian-scaled and provide a stark adjacency; not clear regarding the use of the lane system envisioned adjacent to the south and west property lines when adjacent properties will be developed in the future;

The proposed massing is appropriate and compliant to the designated zone. The upper stories are set back and lower roofs are provided to reduce the height impact of the built forms along the future lanes. In addition, cable vines are proposed along the future walkways to introduce natural elements and soften the landscape to enhance pedestrian experience and visually divide the building face. Refer to A1.14/A1.15 Streetscapes.

- image of the north-south greenway/view corridor through the centre of the site on Drawing A0.01 is a more convincing image and more informative than other renderings presented by the applicant and should be enlarged; the image shows that the footbridge over the greenway/view corridor will not negatively impact the character and feel of the greenway/view corridor as a public amenity and a thoroughfare;

Larger image of site entry provided. Refer to A0.08 Perspectives.

- appreciate the high level of quality and clarity of the drawings; however, the landscape drawings are not clear; difficult to understand where the landscape design is going with the landscape drawings provided by the applicant;
- the two proposed colour schemes are very similar; consider more variation to the two colour schemes to provide more variety to units;

Similar colour schemes are proposed to ensure cohesiveness in the development. The colour of the fibre cement board has been revised to an off-white colour in colour scheme A to provide more differentiation between the colour schemes. The Tudor trims remain the same colour for both schemes to tie the project together. Refer to A.11/A1.12 Colour Scheme A/B.

- Tudor language and detailing on the lower floors of the buildings do not extend to the fourth level; roof forms need to be further integrated into the building design;

Roof forms have been revised to create more of an expression at window locations.

- small windows on the top level of buildings along the Spires Road elevation are appropriate; however, at the rear elevation, the windows are larger and out of place with the rest of the building levels;

Window sizes on the upper storey have been adjusted to a smaller size to match the proportions of the muntins in the lower levels. Sliding doors are proposed to allow natural light into the bedrooms; sliding doors have also been aligned with the windows on the floor below to provide a more cohesive elevation. Tudor detailing has been added to some of the bays along the lane to provide a more consistency between the front and rear elevations. Hip roofs along the lane reduce the massing and vertical expression of the Tudor style. Refer to A1.14-A1.15 Streetscapes.

- appreciate the comprehensive package provided by the project's design team;
- support the proposed sustainability features; the project is on the right track from a sustainability point of view;

- applicant needs to show the locations of the ventilation louvers and fans for the underground parkade; applicant also needs to consider appropriate measures to mitigate noise issues related to the fans;

Openings for the parking exhaust are indicated in the streetscapes. Refer to A1.13-A1.15 Streetscapes. Mechanical equipment will be selected to meet Richmond's Noise Bylaw No. 8856.

- accessible units open up to a common parkade; however, no pressurized vestibules are provided in the plans; applicant needs to review BC Building Code requirement for the provision of vestibules; staircases could be pressurized for units facing south;

Pressurized vestibules are proposed in all units, including the ground level units. Refer to A1.05 Ground Level Plan & Building 1/3/8 Plans.

- applicant needs to address potential noise for air source heat pumps which are proposed to be located on the roof decks;

Condensing units have been thoughtfully distributed throughout the development to mitigate noise concerns affecting neighbouring developments. In addition, mechanical equipment will be selected to meet Richmond's Noise Bylaw No. 8856.

- appreciate the model as it helps the Panel better understand the project;
- in general, the project has a dense and compact arrangement of buildings; appreciate the rhythm of the gaps between the buildings;
- agree with Panel comment that the proposed Tudor style architecture does not read successfully in the fourth level of the buildings; consider redesigning the roof shapes and avoiding the hip roofs to provide a Tudor character to the whole buildings;

To provide a gentle transition to the 2-storey townhomes to the south, hip roofs are proposed to reduce massing and vertical expression.

- appreciate the proposed location of the elevator on the ground level as it is fairly exposed and centralized; however, consider locating the elevator close to the indoor amenity space to provide a more direct vertical connection from the podium level to the indoor amenity space;

Site plan has been reconfigured. Entry/exit lobby is located adjacent to one indoor amenity space.

- layout of the interior units in Building 5 is tight; consider orienting the windows in the floors above the podium level more to the open air rather than north-south to improve the units' access to natural lighting and enhance their livability;

Buildings 3/5/9 have been consolidated into two buildings to allow more outdoor space and improve natural lighting into the units.

- concerned about the safety and security of the entrance to the indoor amenity space at the amenity entry plaza as it appears hidden; consider flipping the residential unit to the east to the proposed location of the indoor amenity space so that the indoor amenity space will be located adjacent to the pedestrian entry plaza;

Site plan has been reconfigured. Entry plaza is much more open with direct access to indoor amenity space.

- consider appropriate separation between the ground level units and the parkade;

Pressurized vestibules are proposed in all units, including the ground level units. Refer to A1.05 Ground Level Plan & Building 1/3/8 Plans.

- consider better programming around the large tree to the west of the greenway/view corridor in addition to the proposed landscaping to make it a more inviting feature and enhance its usability;

The community space provided around the retained tree is rearticulated to allow better appreciation of the tree itself by way of a boardwalk path in the style of many trails in the province. Our inspiration is drawn from such boardwalk trails as are found along the Juan De Fuca or West Coast Trails. In order to provide seating opportunities with least impact on the tree's roots, we have located seating closer to the street as well as the entry curved stair. The ultimate aim of our design around this retained mature tree is to have the least effect on its root system and general health while providing opportunity to appreciate its grandeur from close.

- appreciate the design and details of the project which will provide a good precedent in the neighbourhood;
- appreciate that the planted areas on the second level are on the same level as the patio; however, the applicant needs to carefully work out the drainage and water proofing;

Further design development and coordination with consultants to be finalized.

- more detailed plans of the outdoor amenity area, including the children's play area, should have been provided by the applicant;

The detailed plans requested are found in the Landscape details sheets. These drawings show the range of play structures is now optimized to include a broad age range of children, a new range of play equipment and seating area for adults.

- the proposed natural play area appears small and not usable; could be better combined with another space on the outdoor amenity area to be more usable;

The smaller spaces have been consolidated into a larger play area.

- the long ornamental grasses at the play area could provide visual interest; however, there are survivability concerns as these could be easily damaged by children playing in the area;

The long grasses have been deleted in favour of a larger consolidated play area.

- appreciate that the applicant is considering to integrate public art into the project at this early stage;
- the building facade adjacent to the pedestrian walkways along the west and south property lines of the subject site could be visually broken down to pedestrian scale by introducing different textures and patterns on the building face; would enhance the pedestrian experience while planting along the pedestrian walkways is still growing;

The vines proposed along the future lane-facing building elevations are rapid growing and will colonize the trellises expediently. In ideal conditions by the second or third year of growth each of the vines will have climbed to 20' tall x 8' wide in the growing season.

- consider further articulation in terms of texture and scale of the concrete stair along the north streetscape as there are limited opportunities for landscaping in this area;

Cable vines have been added to all exposed concrete walls to soften building edges. Refer to A1.13-A1.15 Streetscapes.

- appreciate the project's interface with the pedestrian walkways around the building, the design of the plaza, and the gateway architectural features at the site entry;
- appreciate the proposed paving treatment for the public pedestrian connection to the south walkway; however, its public character could be further enhanced if the paving is distinct from the rest of the development;

We have distinguished this paving with decorative sawcuts, as the accessibility and smooth nature of the broom finished concrete proposed is universally accessible.

- appreciate the use of brick at the base of Buildings 1 and 3 (north elevation); consider a similar treatment for the base of Buildings 2 and 4 (north elevation) to help improve the pedestrian scale of these buildings;

Exposed concrete with cable vines are proposed to soften the building edges and introduce a natural element into the public pathway to enhance the pedestrian experience. Refer to A2.03/A2.07 Building 2/4 Elevations.

- support the proposed location for the six convertible units and one Basic Universal Housing unit;

- agree with Panel comment that more details on the children's play area should have been included in the applicant's submission to enable the Panel to better understand the project and provide appropriate comments;

- concern regarding half-balls play equipment susceptibility to damage;

The half-balls are successfully deployed in other jurisdictions, but in this case we understood that the committee did not find them appropriate at this project and we have deleted them.

- ensure that the design of benches to be provided on-site will not be too deep to be appropriate for seniors;

The depth and angle of the seating on the benches is designed for universal accessibility. The height of the arm rests is such as to enable easy leverage for mobility impaired individuals to rise from seated position easily.

- consider installing extended railings for stairs; and

Stair detail plans are provided. Refer to A4.00 Stair Details.

- proposed mix of stone and grass for the natural play area should be separate from the actual main pedestrian walkway on Level 2.

The natural play area with stepping stones has been deleted from the plan in favour of a consolidated area, with a variety of play equipment for a wide range of ages.

Panel Decision

It was moved and seconded

That DP 18-829140 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



No. DP 18-829140

To the Holder: PLLR 228 Holdings Ltd.

Property Address: 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance

Address: c/o Nicholas Poon
1788 W Broadway Unit 301
Vancouver BC V6J 1Y1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum setback from the north-south public walkway adjacent to the site driveway from 3.0 m to 0.0 m to accommodate the proposed building footprints and an elevated second storey walkway connecting the two buildings.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$425,675.34 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-829140

To the Holder: PLLR 228 Holdings Ltd.

Property Address: 8820, 8840, 8860, 8880, 8900, 8911 and 8931 Spires Road and the surplus portion of the Spires Road road allowance

Address: c/o Nicholas Poon
1788 W Broadway Unit 301
Vancouver BC V6J 1Y1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

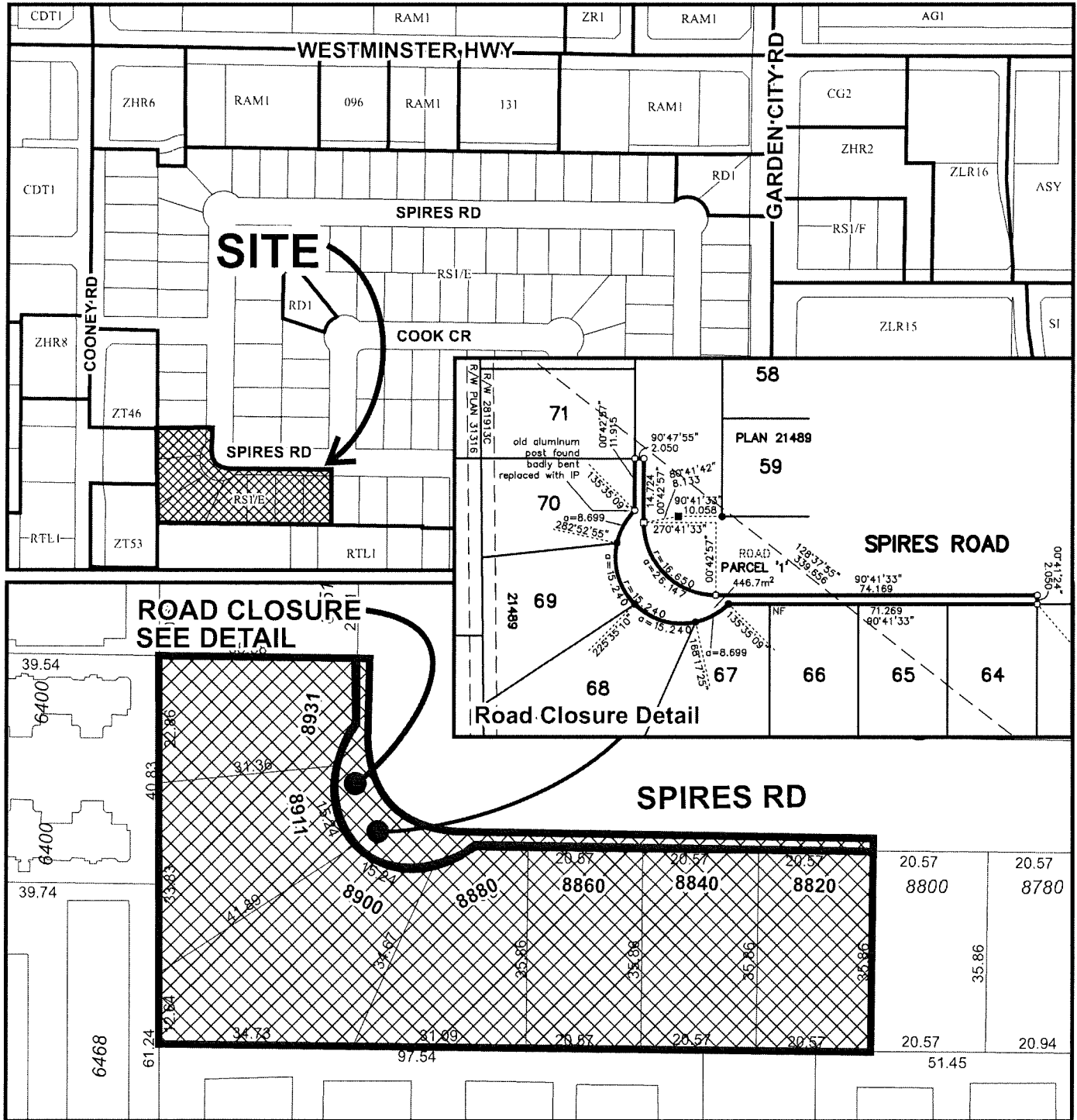
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-829140

Original Date: 08/22/18

Revision Date: 08/15/19

Note: Dimensions are in METRES

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REVISIONS
 MAR. 14, 2017 ISSUED FOR RETENING
 NOV. 16, 2017 RE-ISSUED FOR RETENING
 JUN. 08, 2018 RE-ISSUED FOR RETENING
 JUL. 12, 2018 RE-ISSUED FOR RETENING
 AUG. 12, 2018 RE-ISSUED FOR RETENING
 SEP. 12, 2018 RE-ISSUED FOR RETENING
 NOV. 13, 2018 RE-ISSUED FOR DP
 JAN. 31, 2019 RE-ISSUED FOR ADVISORY DESIGN PANEL
 APR. 24, 2019 RE-ISSUED FOR DP
 JUL. 3, 2019 RE-ISSUED FOR DP
 AUG. 17, 2019 RE-ISSUED FOR DP

REVISED PER DP COMMENTS
 RECEIVED ON JULY 23, 2019. 19.08.07

ALABASTER HOMES

FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 483-2076 Phone: 483-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

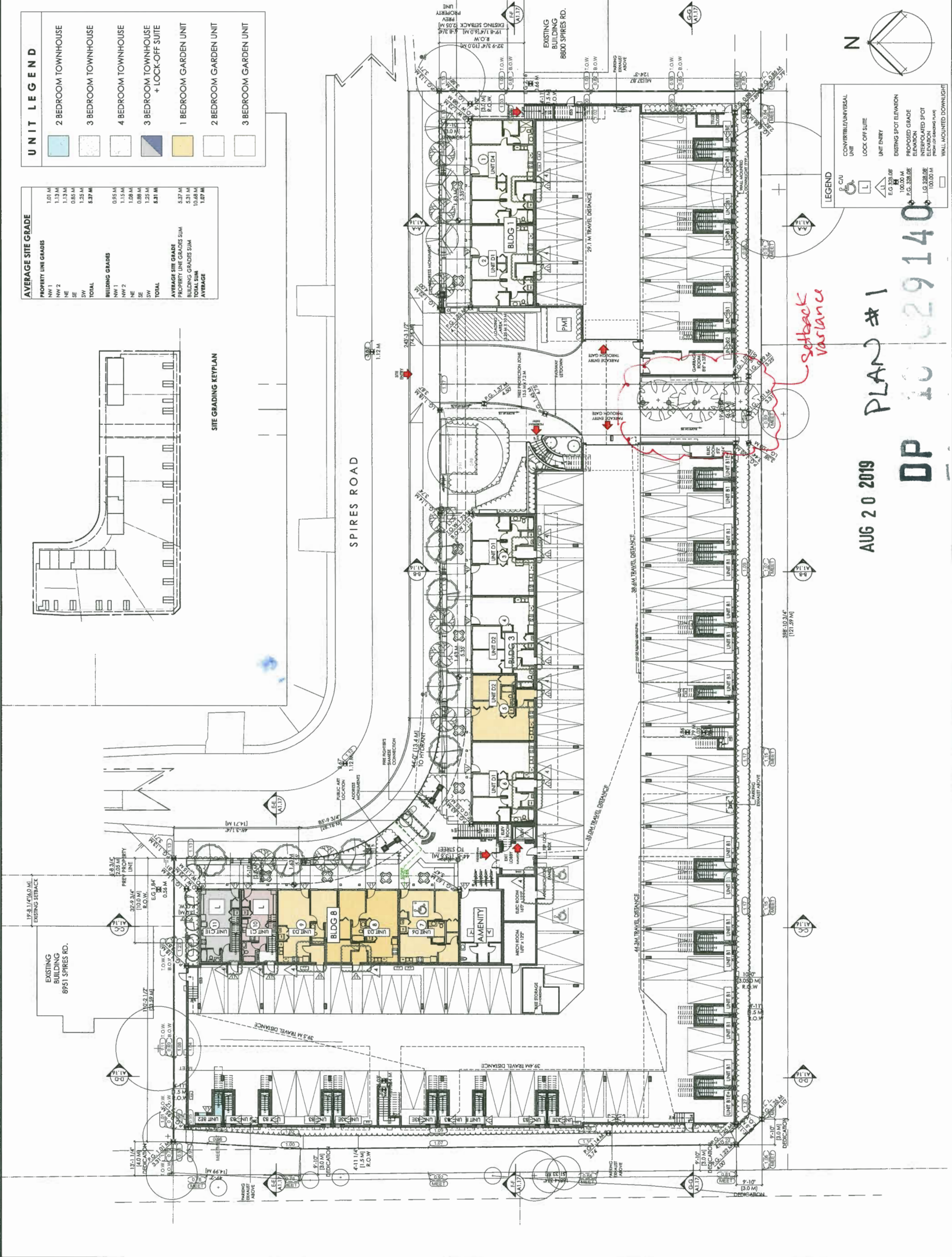
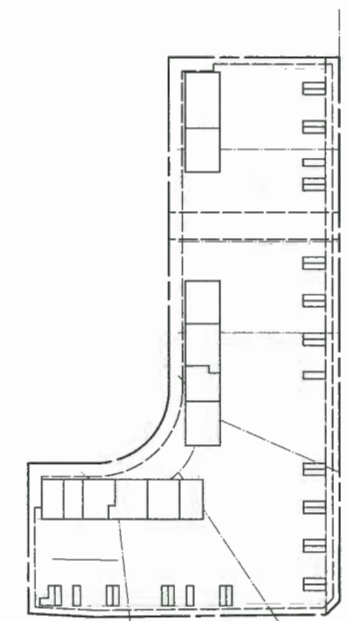
DRAWING
GROUND LEVEL PLAN
 SCALE 1/16" = 1'-0"
 DATE MARCH 2017
 SHEET **A1.05**

UNIT LEGEND

[Light Blue Box]	2 BEDROOM TOWNHOUSE
[Light Green Box]	3 BEDROOM TOWNHOUSE
[Light Yellow Box]	4 BEDROOM TOWNHOUSE
[Light Purple Box]	3 BEDROOM TOWNHOUSE + LOCK-OFF SUITE
[Light Orange Box]	1 BEDROOM GARDEN UNIT
[Light Red Box]	2 BEDROOM GARDEN UNIT
[Light Pink Box]	3 BEDROOM GARDEN UNIT

AVERAGE SITE GRADE

PROPERTY LINE GRADES	BUILDING GRADES	AVERAGE SITE GRADE
NW 1 1.01 M	NW 1 0.55 M	PROPERTY LINE GRADES SUM 5.37 M
NW 2 1.13 M	NW 2 1.15 M	BUILDING GRADES SUM 10.48 M
NE 1.13 M	NE 1.08 M	TOTAL SUM 15.85 M
SE 0.85 M	SE 1.25 M	AVERAGE 1.07 M
SW 1.25 M	SW 0.81 M	
TOTAL 5.37 M	TOTAL 5.31 M	



Setback variance

AUG 20 2019 PLAN #1

DP 10 029140

LEGEND

- CONVERTIBLE/UNIVERSAL UNIT
- LOCK OFF SUITE
- UNIT ENTRY
- EXISTING SPOT ELEVATION
- PROPOSED GRADE ELEVATION
- INTERPOLATED SPOT ELEVATION
- WALL MOUNTED DOWNLIGHT

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 ISSUED FOR REZONING MAR. 14, 2017
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 REISSUED FOR REZONING JUN. 08, 2018
 REISSUED FOR REZONING JUL. 12, 2018
 REISSUED FOR DP AUG. 20, 2018
 REISSUED FOR REZONING/DP NOV. 13, 2018
 ISSUED FOR ADVISORY DESIGN PANEL JAN. 31, 2019
 REISSUED FOR DP FEB. 28, 2019
 REISSUED FOR DP JUL. 5, 2019
 REISSUED FOR DP AUG. 7, 2019

REVISED PER DP COMMENTS RECEIVED ON JULY 23, 2019. 19.08.07

ALBASTER HOMES

FORMWORKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 685-5441

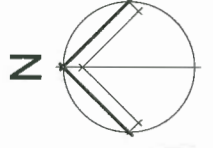
PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
SECOND LEVEL PLAN

SCALE 1/16" = 1'-0"
 SHEET **A1.06**
 DATE MARCH 2017

UNIT LEGEND

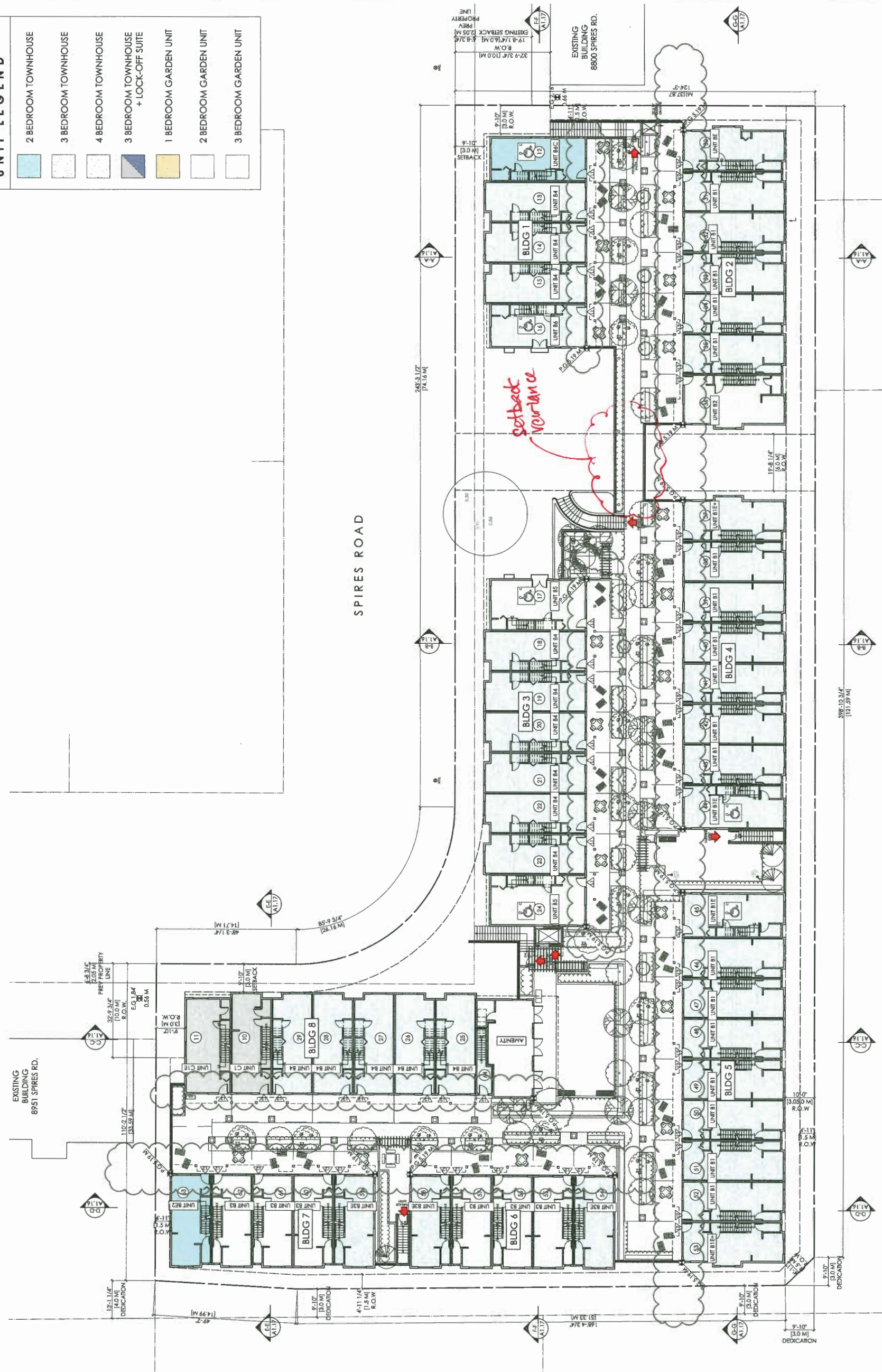
	2 BEDROOM TOWNHOUSE
	3 BEDROOM TOWNHOUSE
	4 BEDROOM TOWNHOUSE
	3 BEDROOM TOWNHOUSE + LOCK-OFF SUITE
	1 BEDROOM GARDEN UNIT
	2 BEDROOM GARDEN UNIT
	3 BEDROOM GARDEN UNIT



LEGEND

	CONVERTIBLE/UNIVERSAL UNIT
	UNIT ENTRY
	EXISTING SPOT ELEVATION
	PROPOSED GRADE ELEVATION
	326.08
	100.00 M
	P.G. 326.08

PLAN # 1A
 AUG 20 2019
 DP 10-029140



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 JUL 12, 2018
 AUG 20, 2018
 AUG 20, 2018
 NOV 13, 2018
 JAN 31, 2019
 APR 26, 2019
 AUG 7, 2019

ISSUED FOR RETENING
 RE-ISSUED FOR RETENING
 RE-ISSUED FOR RETENING
 RE-ISSUED FOR RETENING/DP
 RE-ISSUED FOR DP
 ISSUED FOR ADVISORY DESIGN PANEL
 RE-ISSUED FOR DP
 RE-ISSUED FOR DP

REVISED PER DP COMMENTS
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 19.08.07



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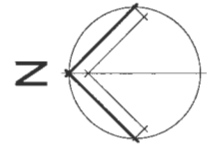
PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
THIRD LEVEL PLAN

SCALE 1/16" = 1'-0"
 DATE MARCH 2017
 SHEET **A1.07**

UNIT LEGEND

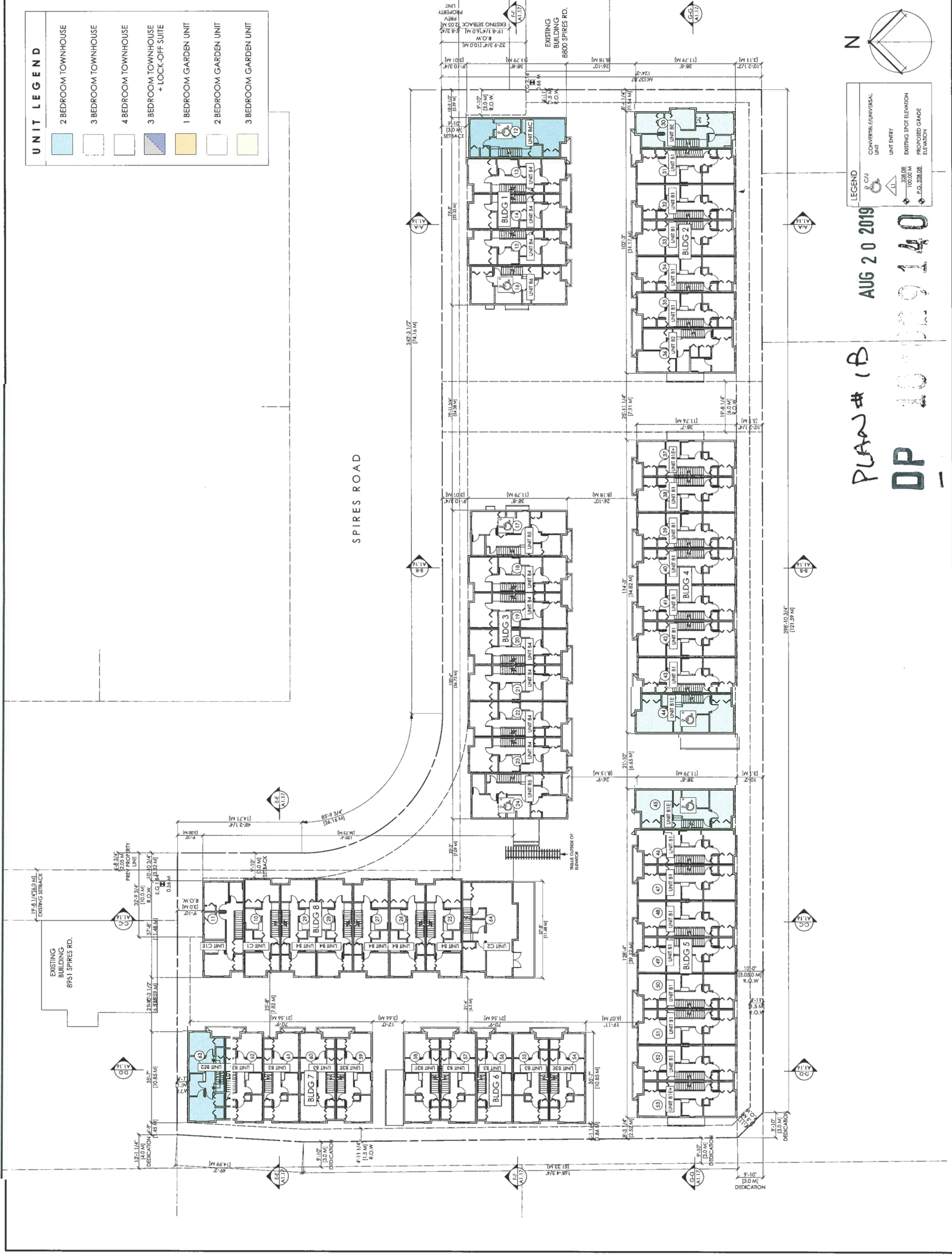
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	3 BEDROOM TOWNHOUSE
	4 BEDROOM TOWNHOUSE
	3 BEDROOM TOWNHOUSE + LOCK-OFF SUITE
	1 BEDROOM GARDEN UNIT
	2 BEDROOM GARDEN UNIT
	3 BEDROOM GARDEN UNIT



LEGEND

	CONVERTIBLE/UNIVERSAL UNIT
	UNIT ENTRY
	EXISTING SPOT ELEVATION
	PROPOSED GRADE ELEVATION

PLAN # 1B
 DP 10-029140
 AUG 20 2019



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 NOV. 13, 2018 RE-ISSUED FOR DP
 JAN. 31, 2019 ISSUED FOR ADVISORY DESIGN PANEL
 APR. 23, 2019 RE-ISSUED FOR DP
 AUG. 7, 2019 RE-ISSUED FOR DP

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 19.08.07

ALABASTER HOMES

FORMWERKS ARCHITECTURAL
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 Fax: 685-2076 Phone: 683-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
FOURTH LEVEL PLAN

SHEET
A1.08
 SCALE 1/16" = 1'-0"
 DATE MARCH 2017

UNIT LEGEND

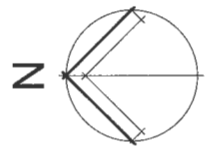
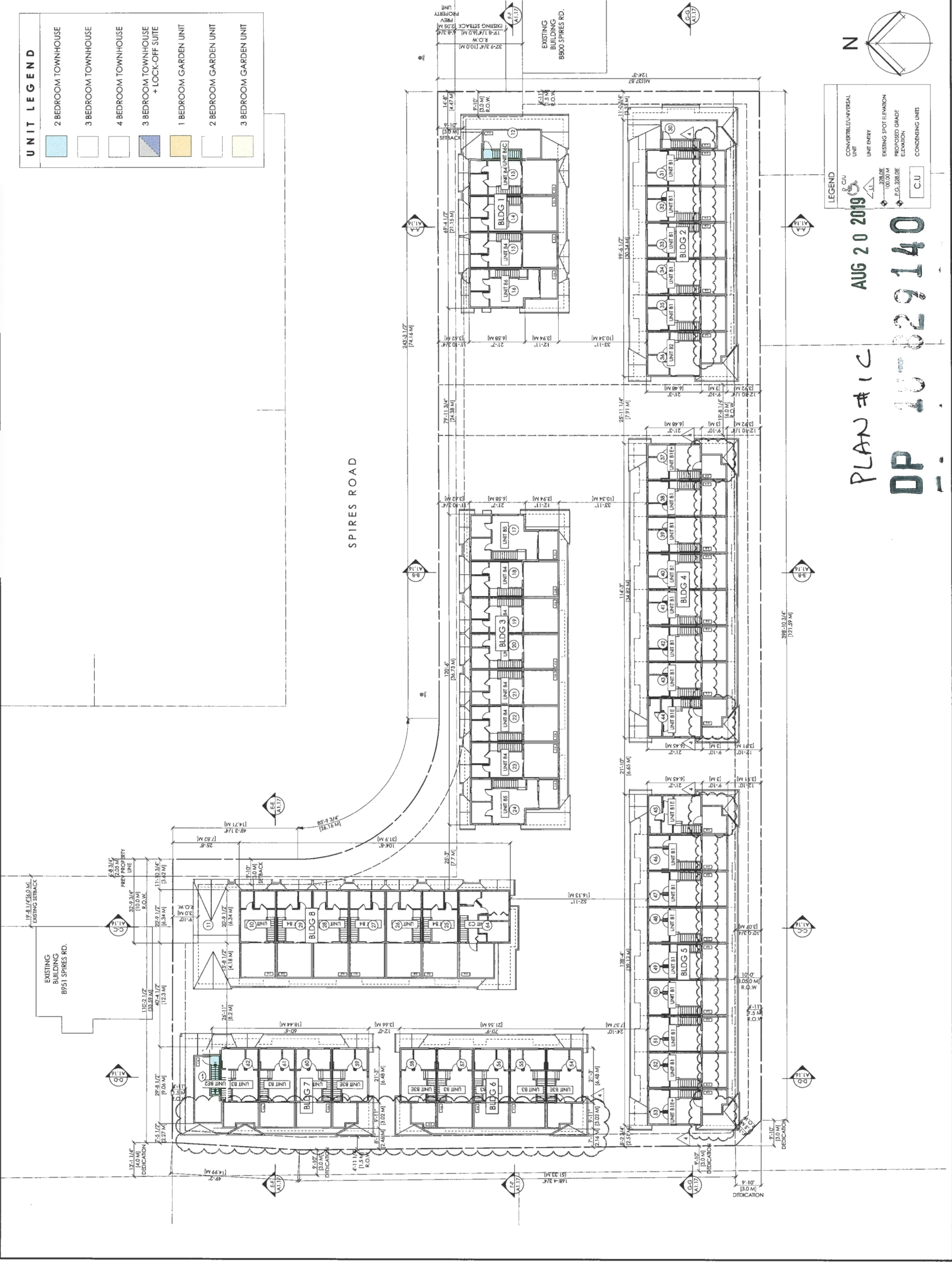
	2 BEDROOM TOWNHOUSE
	3 BEDROOM TOWNHOUSE
	4 BEDROOM TOWNHOUSE
	3 BEDROOM TOWNHOUSE + LOCK-OFF SUITE
	1 BEDROOM GARDEN UNIT
	2 BEDROOM GARDEN UNIT
	3 BEDROOM GARDEN UNIT

LEGEND

CONVERTIBLE/UNIVERSAL UNIT
 UNIT ENTRY
 EXISTING SPOT ELEVATION
 PROPOSED GRADE ELEVATION
 CONDENSING UNITS

C.U.
 U.E.
 78.08'
 76.388.08'
 C.U.

PLAN # 1C
 AUG 20 2019
 DP 10-829140



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 APR. 02, 2019 REISSUED FOR DP
 JUL. 23, 2019 REISSUED FOR DP
 AUG. 7, 2019 REISSUED FOR DP

REVISÉ PAR DP COMMENTAIRE
 19.08.07 REÇU LE 23.07.2019.

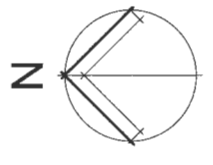
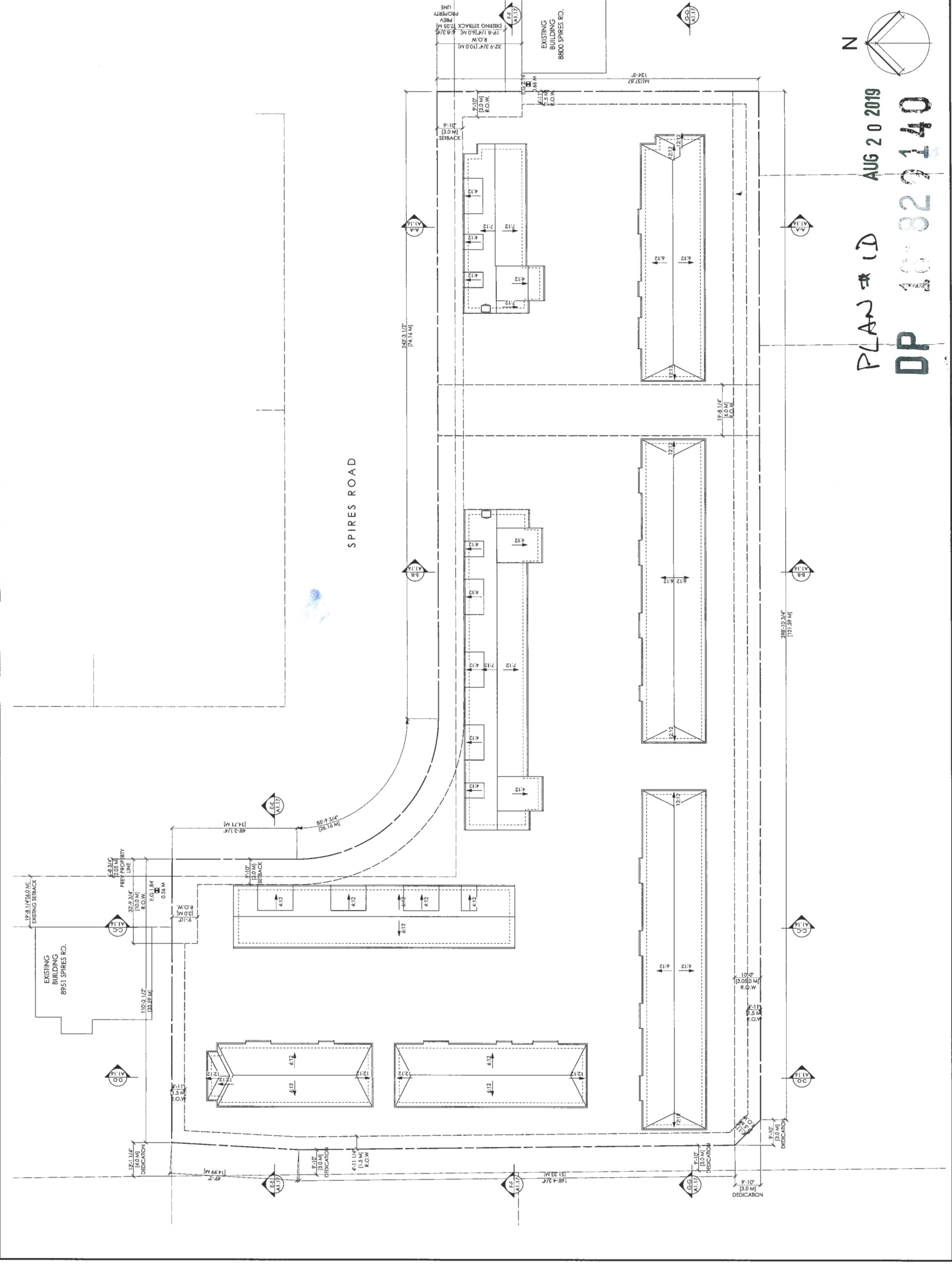
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FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
ROOF PLAN

SCALE 1/16" = 1'-0"
 DATE MARCH 2017
 SHEET **A1.09**



PLAN # 10-829140
 DP AUG 20 2019

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AUG. 20, 2018	RE-ISSUED FOR REZONING/DP
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JAN. 31, 2019	ISSUED FOR ADVISORY DESIGN PANEL
FEB. 22, 2019	RE-ISSUED FOR DP
JUL. 23, 2019	RE-ISSUED FOR DP
AUG. 7, 2019	RE-ISSUED FOR DP

REVISÉ PER DP COMMENTS RECEIVED ON JULY 23, 2019. 19.08.07

ALABASTER HOMES

FORMWERKS ARCHITECTURAL
1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax: 685-2076 Phone: 683-5441

PROJECT: **SPIRES ROAD**
8900 SPIRES ROAD
RICHMOND, BC

DRAWING: **DATA SHEET**

SCALE: N1:5
SHEET: **A1.01**
DATE: MARCH 2017

CONTEXT PLAN



PROJECT DATA
DEVELOPMENT DATA

MIN. REQUIRED / MAX. ALLOWED PER RTP4 GUIDELINES

CIVIC ADDRESS	8900 SPIRES ROAD, RICHMOND, BC
LEGAL DESCRIPTION	LOR 6470, SECTION 9 & 10, BLOCK 4 NORTH, RANGE 6 WEST, NEW WESTMINSTER DISTRICT PLAN 21489
LOT AREA	0.240 Ha (585 1/4) 26,883 SF
LOT COVERAGE	31,496 SF 50% 75%
AREA OF BUILDINGS & STRUCTURES PERCENTAGE OF LOT AREA IMPERMEABILITY	31,388 SF 50% 75%
SETBACKS	FRONT (SPIRES ROAD) 3.00 M REAR (SOUTH & WEST PROPERTY LINE) 1.20 M SIDE #1 (NORTH PROPERTY LINE) 1.50 M SIDE #2 (EAST PROPERTY LINE) 1.50 M
BUILDING HEIGHT	15 M
NUMBER OF RESIDENTIAL UNITS	0
STUDIO	0
ONE-BEDROOM UNITS	4
TWO-BEDROOM UNITS	4
THREE-BEDROOM UNITS	6
FOUR-BEDROOM UNITS	5
TOTAL NUMBER OF UNITS	3
TOTAL BUILDING FLOOR AREA	RESIDENTIAL UNITS 82,962 SF
DENSITY	NO. OF UNITS PER HECTARE 109.36 UPHQ FLOOR SPACE RATIO (FSR) 1.20
PARKING - ZONE 2	RESIDENT SPACES 27 STANDARD 13 SMALL CAR 13 TANDEM 36 ACCESSIBLE 7 TOTAL RESIDENT SPACES (11.2 STALLS/D.U.) 77 (MIN.)
VISITOR SPACES	7 STANDARD 4 SMALL CAR 4 ACCESSIBLE 2 TOTAL VISITOR SPACES (0.2 STALLS/D.U.) 13 (MAX.)
TOTAL PARKING SPACES	90 (MIN.)
ON-SITE LOADING	1 (MEDIUM)
BICYCLE STORAGE	CLASS 1 60 CLASS 2 22 TOTAL BICYCLE STORAGE (CLASS 1) 82 (MIN.) CLASS 2 14

*REFER TO ELEVATIONS

*NOTE ALL PARKING SPACES, EXCLUDING VISITOR PARKING SPACES, ARE TO HAVE ACCESS TO A LEVEL 2 EV CHARGING OUTLET.

AREA CALCULATIONS

BUILDING	LEVEL 1				LEVEL 2				LEVEL 3				LEVEL 4				TOTAL AREAS			
	GROSS AREA	EXCLUSIONS	NET AREA	TOTAL	GROSS AREA	EXCLUSIONS	NET AREA	TOTAL	GROSS AREA	EXCLUSIONS	NET AREA	TOTAL	GROSS AREA	EXCLUSIONS	NET AREA	TOTAL	GROSS BLDG	EXCLUSIONS	TOTAL NET AREA	
BUILDING 1	1,867.9	0.0	1,867.9	2,517.6	1,807.9	237.4	2,045.3	2,725.9	1,347.9	248.0	1,099.9	1,347.9	8,461.3	666.3	7,795.0					
BUILDING 2	521.4	204.1	317.3	3,654.6	261.4	286.9	3,373.2	3,860.2	1,933.1	318.5	1,614.6	1,933.1	9,949.3	1,070.9	8,878.4					
BUILDING 3	3,072.8	0.0	3,072.8	4,166.9	299.5	3,867.4	4,465.8	4,465.8	2,654.9	368.7	2,286.2	2,654.9	14,378.4	1,035.0	13,343.4					
BUILDING 4	571.4	271.8	299.6	4,043.9	294.9	3,749.0	3,791.2	4,301.9	2,477.8	344.5	2,083.3	2,477.8	11,295.0	1,171.9	10,123.1					
BUILDING 5	563.5	253.5	310.0	4,540.7	321.2	4,219.5	4,471.5	4,831.7	2,727.1	397.4	2,339.7	2,727.1	12,683.0	1,322.3	11,360.7					
BUILDING 6	338.8	110.5	228.3	2,277.2	181.6	2,095.6	2,201.7	2,447.4	1,503.4	214.7	1,288.7	1,503.4	6,546.8	752.5	5,794.3					
BUILDING 7	373.9	98.1	275.8	2,777.2	190.2	2,587.0	2,197.7	2,447.4	1,268.5	234.6	1,033.9	1,268.5	6,342.0	772.4	5,569.6					
BUILDING 8	2,944.6	75.2	2,869.4	3,604.5	350.8	3,258.7	3,555.7	4,518.8	2,176.2	310.4	1,865.8	2,176.2	13,266.1	1,107.0	12,159.1					
AMENITY	504.4	0.0	504.4	574.3	0.0	574.3	574.3	574.3	0.0	0.0	0.0	0.0	1,080.7	0.0	1,080.7					
TOTAL																				
TOTAL RESIDENTIAL AREA:																				
LOBBY & COMMON STAIRWELLS:																				
TOTAL BUILDING AREA:																				
SITE AREA:																				
FSR:																				
INDOOR AMENITY:																				
FSR:																				

PLAN # 1E
AUG 20 2019
DP 18-829140

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 NOV. 13, 2018 REISSUED FOR DP
 JAN. 31, 2019 ISSUED FOR ADVISORY DESIGN PANEL
 APR. 23, 2019 REISSUED FOR DP
 AUG. 7, 2019 REISSUED FOR DP

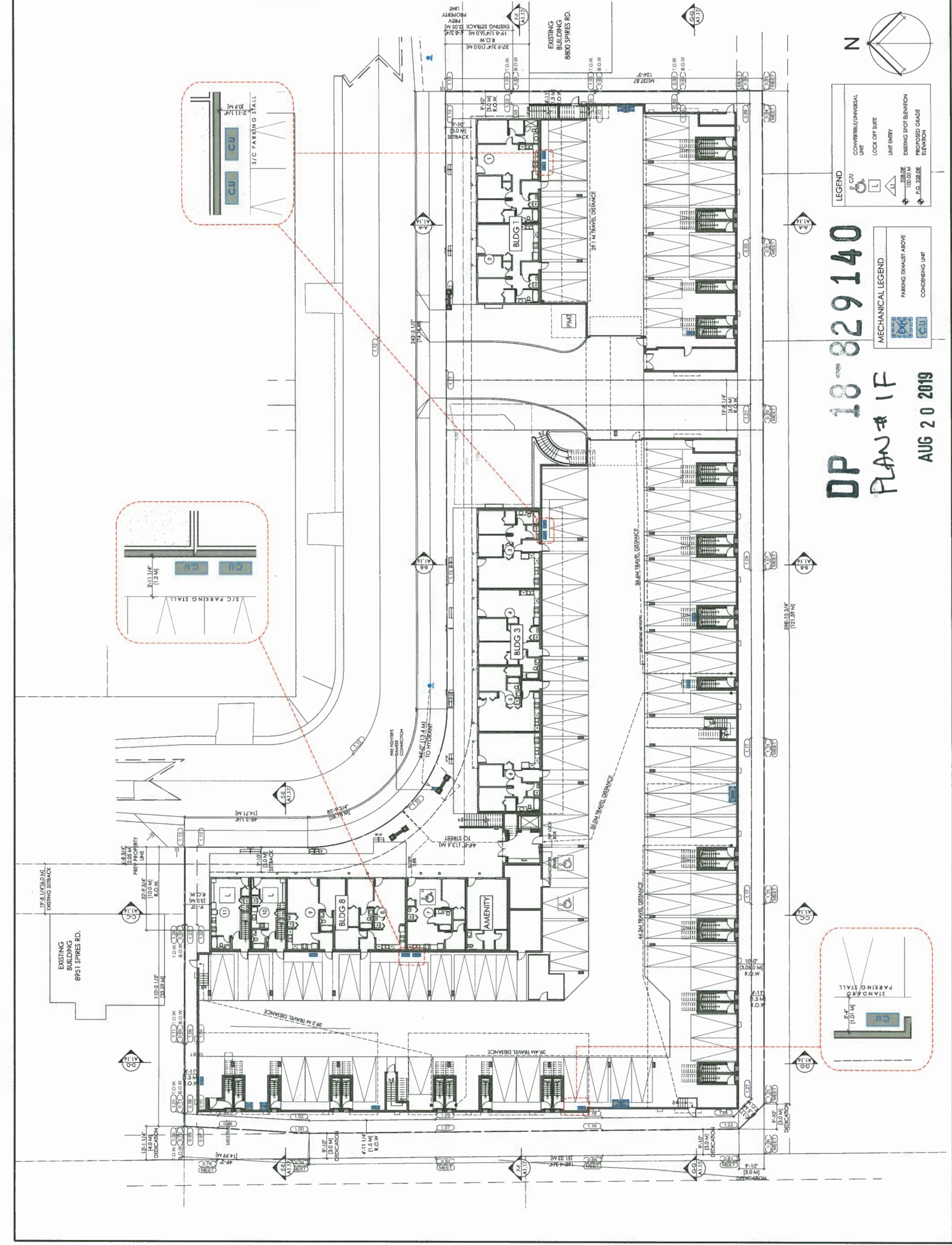
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ALBASTER HOMES

FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
FIRE ACCESS PLAN-L1
 SCALE 1/16" = 1'-0"
 SHEET A1.19
 DATE MARCH 2017



DP 18-829140
 PLAN # 1F
 AUG 20 2019

LEGEND
 C/CU CONVERTIBLE/UNIVERSAL UNIT
 L LOCK OFF SUITE
 U UNIT ENTRY
 328.08' 100.00' M PROPOSED GRADE ELEVATION
 P.G. 328.08' PROPOSED GRADE ELEVATION

MECHANICAL LEGEND
 P PARKING EXHAUST ABOVE
 C CONDENSING UNIT

STANDARD PARKING STALL
 8'-4" (1.01 M)



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JUN. 09, 2018
RE-ISSUED FOR REZONING

JUL. 12, 2018
RE-ISSUED FOR REZONING

AUG. 20, 2018
RE-ISSUED FOR REZONING/DP

NOV. 13, 2018
RE-ISSUED FOR DP

JAN. 31, 2019
ISSUED FOR ADVISORY DESIGN PANEL

APR. 23, 2019
RE-ISSUED FOR DP

AUG. 7, 2019
RE-ISSUED FOR DP

REVISED PER DP COMMENTS
RECEIVED ON JULY 23, 2019.

19.08.07

ALABASTER HOMES

FORMWERKS ARCHITECTURAL

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Fax: 683-2076 Phone: 683-5441

PROJECT

SPIRES ROAD

8900 SPIRES ROAD
RICHMOND, BC

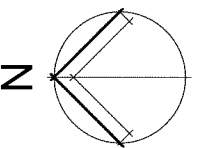
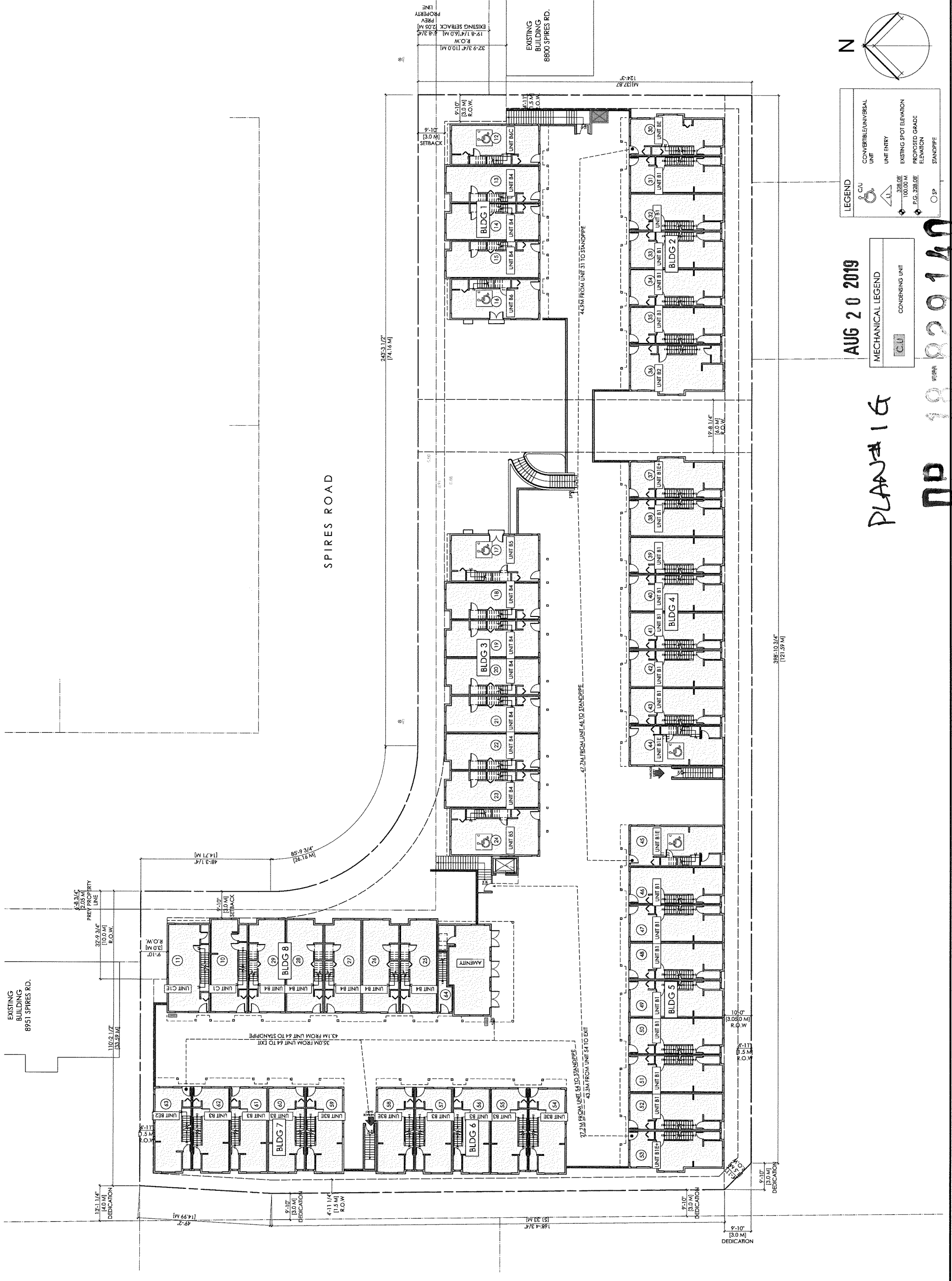
DRAWING

FIRE ACCESS PLAN-L2

SCALE 1/16" = 1'-0"

SHEET **A1.20**

DATE MARCH 2017



LEGEND

	CONVERTIBLE/UNIVERSAL UNIT
	UNIT ENTRY
	EXISTING SPOT ELEVATION
	PROPOSED GRADE ELEVATION
	STANDPIPE

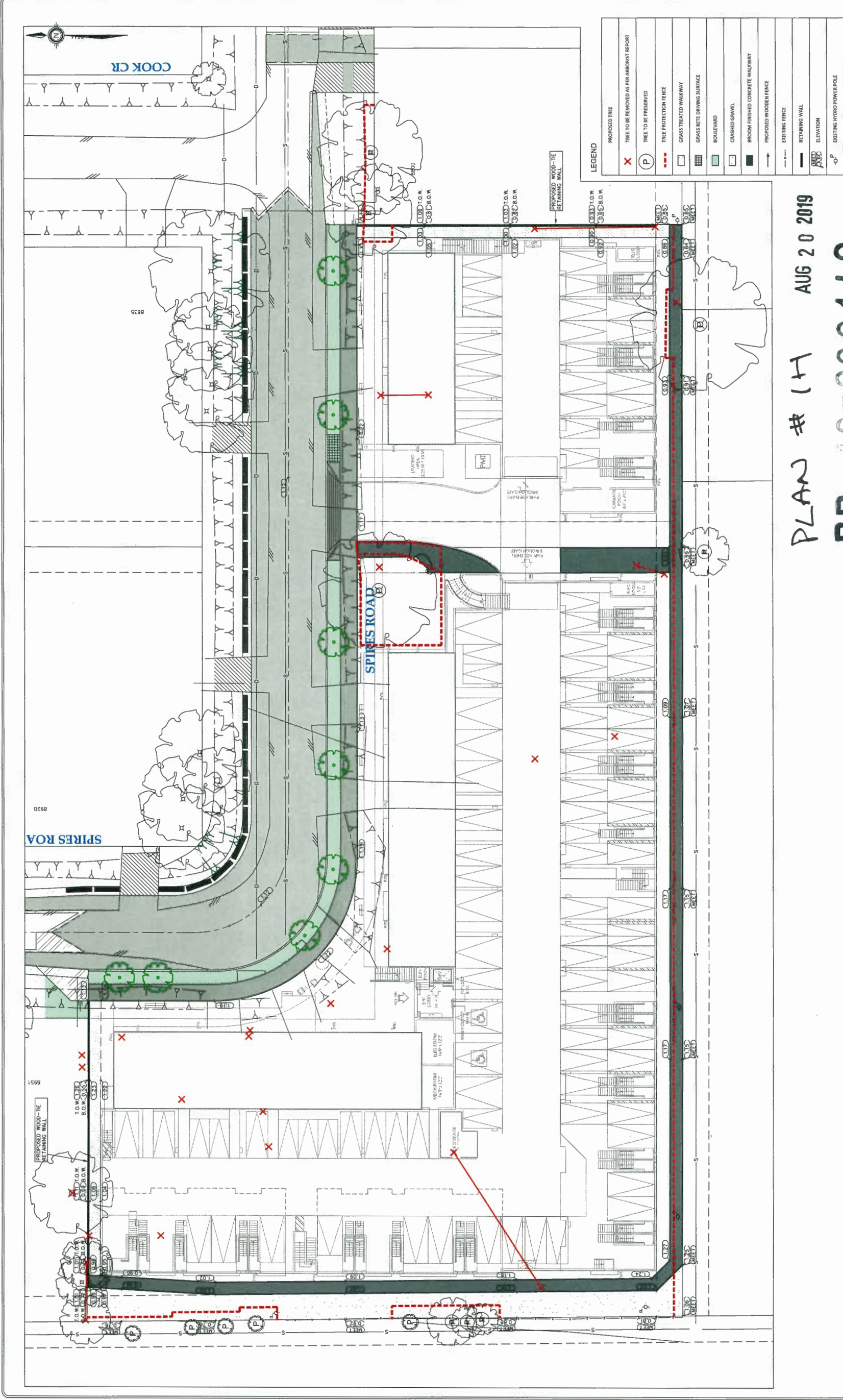
MECHANICAL LEGEND

	CONDENSING UNIT
--	-----------------

AUG 20 2019

PLAN # 16

DP 19 820140



City of Richmond
8911, 102, 3 ROAD RICHMOND, B.C. V6V 2C1

LOT GRADING PLAN

8820-8900 & 8911-8931 SPIRES ROAD
CITY FILE: S418-841567

DESIGN: AJ
DRAWN: MH
CHECKED: KOS
ENGINEER: RF

DWG. No.:
SCALE: AS SHOWN
DATE: JAN 2015

SHT. No.: 1 OF 1

PLAN # (H) AUG 20 2019
DP 18-829140

REVISONS

REV#	DATE	BY	CH.	DESCRIPTION
5.	13 AUG 2019	LL	SP	ISSUED FOR DP RESUBMISSION
4.	31 JUL 2019	LL	SP	ISSUED FOR DP RESUBMISSION
3.	02 JUL 2019	LL	SP	ISSUED FOR DP RESUBMISSION
2.	10 JUN 2019	LL	SP	ISSUED FOR DP RESUBMISSION
1.	13 NOV 2018	LL	SP	ISSUED FOR REZONING RESUBMISSION
0.	09 JUL 2018	LL	SP	ISSUED FOR REZONING RESUBMISSION

tel. 604.248.5040
fax. 604.248.5041

CoreConcept CONSULTING LTD.
#220-2659 Vikings Way, Richmond, BC, V6V 5B7
www.coreconceptconsulting.com

ALABASTER HOMES
Core Concept Consulting Project No. 14031
DWG. 3 OF 6

NOTES:

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER:
ELEVATIONS BASED ON GEODETIC DATUM OF RICHMOND, DERIVED FROM HPN#202
SITUATED AT THE INTERSECTION OF NO. 3 ROAD AND BENNETT ROAD.
ELEVATION = 145m

ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE
CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MCMCD) AND
DETAIL DRAWINGS, UNLESS OTHERWISE NOTED.

THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING
APPROPRIATE PERMITS AND REGULATIONS IN ORDER TO FACILITATE INSTALLATION
OF THE WORKS SHOWN ON THESE PLANS. A LIST OF SERVICE LINE
LOCATIONS MAY BE OBTAINED FROM:
BC ONE CALL SERVICE RECORDS DEPARTMENT
TELEPHONE: (604) 297-1900

FORMS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT
OF ANY WORK.

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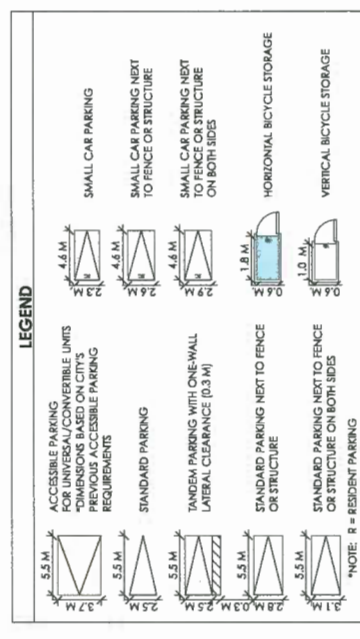
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 Fax: 685-2076 Phone: 683-5441

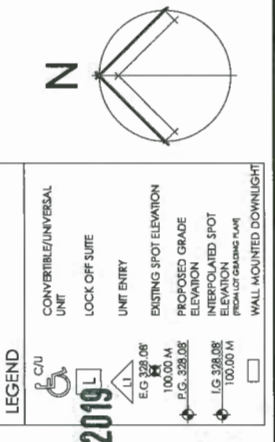
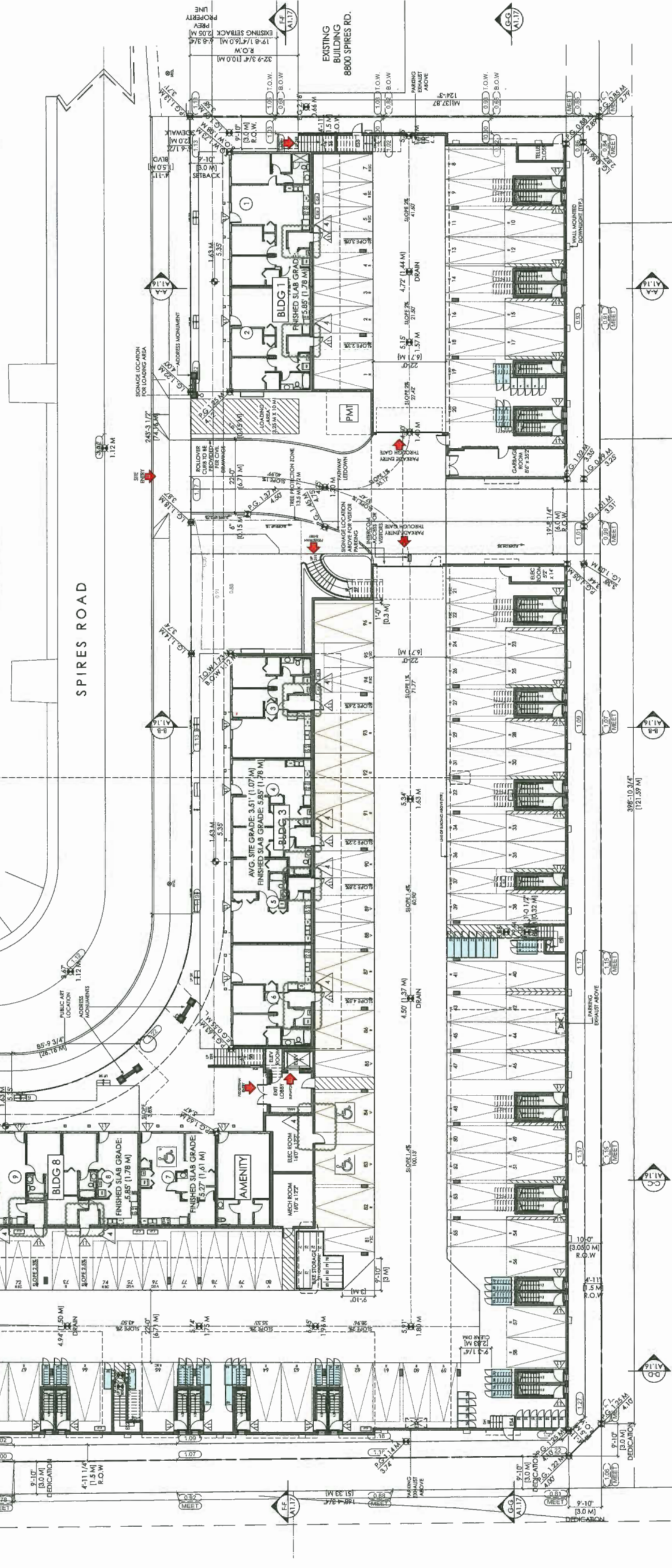
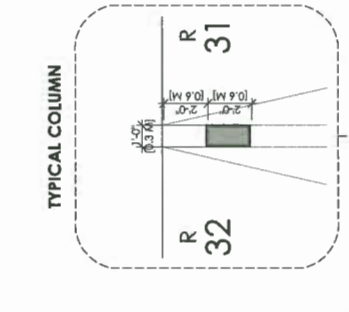
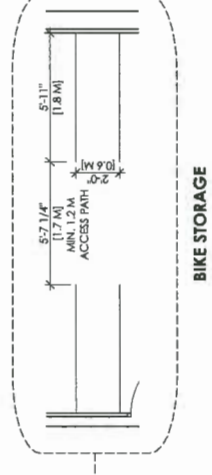
PROJECT
 SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
 PARKING LEVEL PLAN

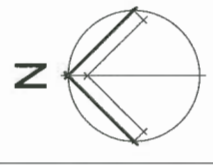
SHEET
 SCALE 1/16" = 1'-0"
 DATE MARCH 2017
 A1.04



NOTE: ELECTRIC VEHICLE (EV) CHARGING INFRASTRUCTURE TO BE PROVIDED AS PER RICHMOND ZONING BYLAW 8500 SECTION 7.1.5. PARKING SPACES, EXCLUDING VISITOR PARKING SPACES, ARE TO HAVE ACCESS TO AN EMERGED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER TO THE PARKING SPACE.
 BASIC UNIVERSAL HOUSING UNIT IS DESIGNED IN ACCORDANCE WITH SECTION 4.16 OF RICHMOND ZONING BYLAW 8500.
 *NOTE: R = RESIDENT PARKING
 V = VISITOR PARKING



PLAN # 2
 AUG 20 2019
 DP 18-029140



NOTE - OFF-SITE TREES A, B, C AND D: THESE TREES ARE PROPOSED TO BE REMOVED IN CONTEXT TO THE ADJACENT DEVELOPMENT PROJECT. PROTECTION MEASURES WITHIN THE SUBJECT SITE CANNOT BE ACCOMMODATED IN CONTEXT TO THE CURRENT SITE PLAN. REFER TO THE NEIGHBOURING OWNER FOR APPROVAL TO REMOVE THESE TREES CONCURRENTLY WITH THIS DEVELOPMENT.

NOTE: STREET TREES COORDINATE RETENTION OR REMOVAL OF STREET TREES IN CONTEXT TO THE PROJECT DESIGN WITH CITY AND REFERRAL TO PARKS DEPARTMENT.

NOTE: TREE 729 DITCH IN-FILL WORKS, DEMOLITION OF DRIVEWAY, REMOVAL OF TREE AND STUMP, CIVIL WORKS, PRUNING, EXCAVATIONS FOR ADJACENT BUILDINGS AND LANDSCAPE FINISHING ALL REQUIRE LOW IMPACT MEASURES AS SPECIFIED AND DIRECTED BY THE PROJECT ARBORIST.

NOTE: TREE 729 CLIENT, CONTRACTOR AND/OR SUB-CONTRACTOR MUST CALL THIS OFFICE WITH ONE WEEK ADVANCE NOTICE BEFORE PROCEEDING WITH ANY OF THOSE WORKS.

NOTE: THE PROJECT ARBORIST MUST BE ON-SITE DURING PREPARATION AND INSTALLATION OF NEW SIDEWALK WITHIN THE ROOT PROTECTION ZONE TO DIRECT LOW IMPACT METHODS AND MATERIALS TO MITIGATE ROOT LOSS.

NOTE: THE PROJECT ARBORIST MUST BE ON-SITE DURING PREPARATION FOR THE INSTALLATION OF THE NEW DRIVEWAY TO UNDERTAKE ROOT PRUNING AND DIRECT LOW IMPACT METHODS.

CONVERSION OF THE OLD DRIVEWAY TO SOFT LANDSCAPE CONDITIONS MUST BE UNDERTAKEN BY THE PROJECT ARBORIST VIA LOW IMPACT METHODS. NO GRADE CHANGES OR HARDSCAPE FEATURES ARE ACCEPTED WITHIN THE ROOT PROTECTION ZONE.

NOTE: TREES K AND L REFER THE CONDITION FINDINGS WITH NEIGHBOUR FOR CONSIDERATION OF REMOVAL, OR PROTECT THEM ACCORDINGLY.

OFF-SITE SERVING DETAIL - SHEET 3

Scale 1:400

ALL DISTANCES ARE IN METRES

0 5 10 20

NORTH

MINIMIZED 0.5M WORKING SPACE SETBACK.

0.5m

1.0m

0.5m

1.4m

2.4m

0.5m

1.5m

0.5m

7.2m

6.4m

5.5m

2.7m

5.5m

0.5m

1.0m

0.5m

0.5m

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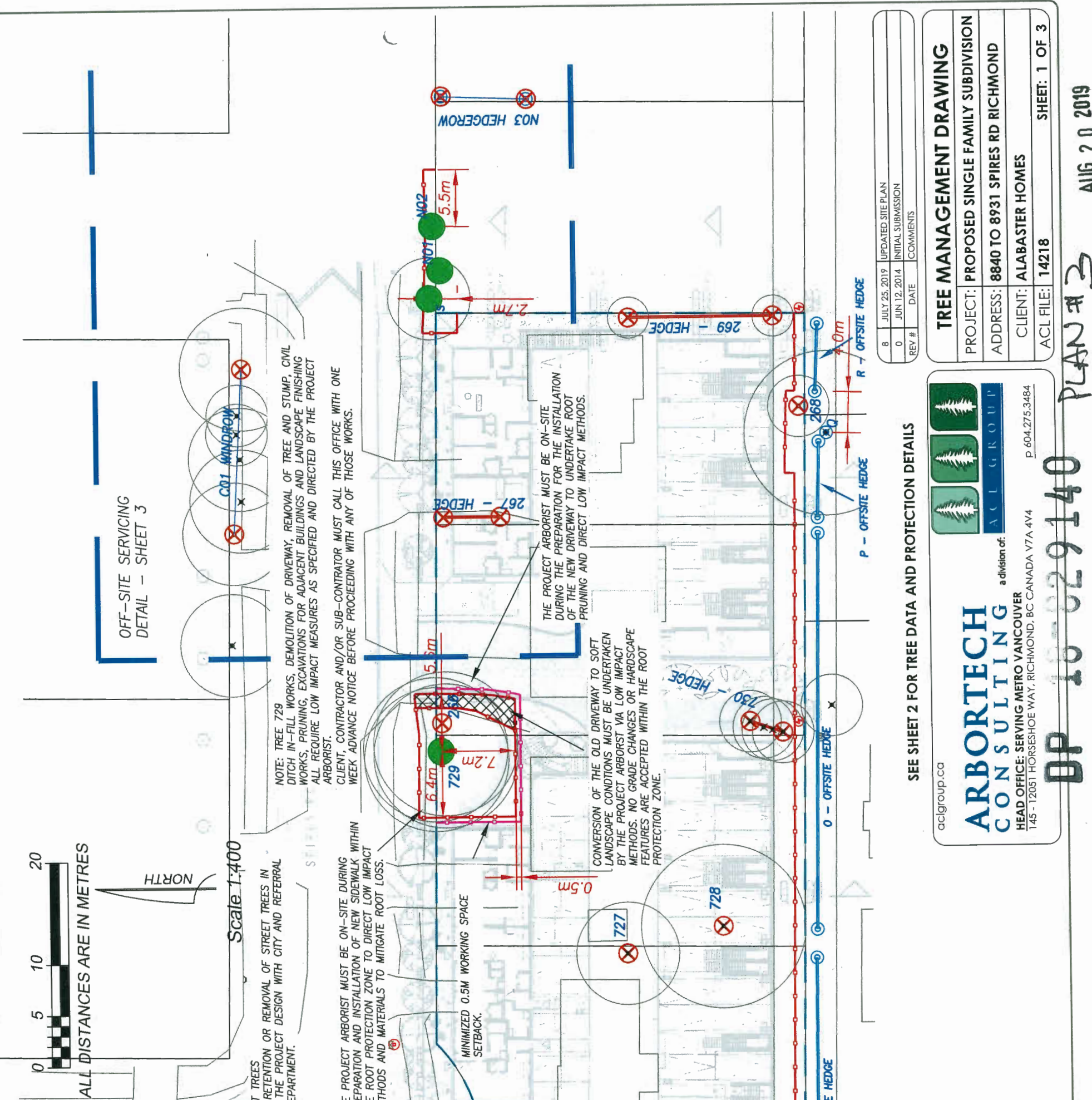
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0.5m



REV #	DATE	COMMENTS
8	JULY 25, 2019	UPDATED SITE PLAN
0	JUN 12, 2014	INITIAL SUBMISSION

TREE MANAGEMENT DRAWING	
PROJECT:	PROPOSED SINGLE FAMILY SUBDIVISION
ADDRESS:	8840 TO 8931 SPIRES RD RICHMOND
CLIENT:	ALABASTER HOMES
ACL FILE:	14218

acclgroup.ca

ARBORTECH CONSULTING
a division of ACTIGROUP

HEAD OFFICE: SERVING METRO VANCOUVER
145 - 12051 HORSESHOE WAY, RICHMOND, BC CANADA V7A 4V4
p 604.275.3484

SEE SHEET 2 FOR TREE DATA AND PROTECTION DETAILS

DP 18-029140 PLAN #3

SHEET: 1 OF 3

AUG 20 2019

Tag #	R#	Spr	Dbh (cm)	Tree Type	Cond	Loc	Action	# of Trees
266	15-12-11	Western redcedar	U	ON	Additional Observations (based on VTA only)	1	REMOVE	1
267	5	21	Western redcedar	U	ON	Historically topped at 2m. Multi-stem from base attached with bark inclusion. Growing directly adjacent to open ditch.	REMOVE	1
268	21	Western redcedar	U	ON	Hedge containing 1 bylaw sized stem. Historically topped at 1.5m and pruned severely on the east side.	REMOVE	1	1
269	20-27	Western redcedar	U	ON	Sweep to north and asymmetrical crown due to proximity and shading of adjacent trees. Historically topped at 3m.	REMOVE	1	7
716	9	5	42	Blue spruce	U	ON	REMOVE	1
717	18	3	47	Spruce	M	ON	REMOVE	1
718	56	Paper Birch	U	ON	Historically topped at 5m. Planter box constructed around base. Significant lean to south from base.	REMOVE	1	1
719	12	4	36	Norway maple	U	ON	REMOVE	1
720	53	Norway spruce	U	ON	Sweep from base connected at 2m. Historically pruned for clearance pruned from building. This tree is in poor condition and is also in conflict with the new building envelope and is proposed to be removed.	REMOVE	1	1
721	67	Deodar cedar	M	ON	Historically topped at 5m. Multiple replacement leaders at the historic topping site, carry entire crown and have developed a weak structural form that is prone to failure. This tree is in very poor condition and is also in direct conflict with the new building envelope and is proposed to be removed.	REMOVE	1	1
722	30	European birch	U	CITY	Historically topped at 5.0m above grade. Dieback throughout crown (50%). This city owned tree is located within the road construction envelope and is proposed to be removed. Parks department approval is required.	REMOVE - REFERRAL REQUIRED	1	1
723	4	54	Western redcedar	U	CITY	Historically topped at 6.0m above grade. Replacement leaders attached at the historic topping site with a bark inclusion, have developed a weak structural form and carry the entire crown. This city owned tree is located within the road construction envelope and is proposed to be removed. Parks department approval is required.	REMOVE - REFERRAL REQUIRED	1
724	28	White cedar	U	ON	Growing below BC hydro power lines. Multi-stem from base with bark inclusion. Historically topped at 4m and trimmed into a topiary.	REMOVE	1	1
725	19-15-14-5	Japanese maple	U	ON	Multi-stem from base with bark inclusion in attachment. Historically topped at 3m. Injury to north stem.	REMOVE	1	1
726	20-26	White cedar hedge	M	ON	Hedge consisting of 8 bylaw sized stems. Historically topped at 4m and sheared to 3m on north side. This tree conflicts directly with the new building envelope and is proposed to be removed.	REMOVE	1	8
727	17	5	30-36	Norway spruce	U	ON	REMOVE	1
728	10	4	36-35-33-3	European Birch	U	ON	REMOVE	1
729	19	8	83-54-51-3	Deodar cedar	M	ON	RETAIN AND PROTECT	1
730	20-30	White cedar hedge	M	ON	Multi-stem from base with bark inclusion. Two subordinate stems on north side historically topped at 4m. Well limbed in crown. Some limbs becoming embedded in adjacent stems. Root zone restricted from the north due to the existing directy adjacent water-filled ditch.	REMOVE	1	3
A	21-23	Utic	M	OFF	Excavation for new sanitary sewer alignment and manhole installation.	REMOVE - REFERRAL REQUIRED	1	1
B	Approx. 20x4	Giant sequoia	U	OFF	Trimmed into topiary. Multi-stem from base. Equivalent to a 20cm single stem tree.	REMOVE - REFERRAL REQUIRED	1	1

C	SZ	Tree Type	U	OFF	REMOVE - REFERRAL REQUIRED	Action		
D	20-31	White cedar	M	OFF	REMOVE - REFERRAL REQUIRED	Historically topped at 5m. Kinked replacement leaders carry entire crown. Approval to remove this tree has been reportedly obtained from the neighbouring owner.		
E	Approx. 36	Tulip	U	OFF	PROTECT	Historically topped at 4m and branches removed via heading cuts.		
F	Approx. 39	Tulip	U	OFF	PROTECT	Historically topped at 4m and branches removed via heading cuts.		
G	Approx. 39	Tulip	U	OFF	PROTECT	Historically topped at 4m and branches removed via heading cuts.		
H	Approx. 29	Tulip	U	OFF	PROTECT	Historically topped at 4m and branches removed via heading cuts.		
I	46	Tulip	U	OFF	PROTECT	Historically topped at 4m and branches removed via heading cuts.		
J	26-13-20	Hemlock	U	OFF	PROTECT	Stems from base attached with bark inclusion. Multiple 40cm single stem trees.		
K	20	Hemlock	U	OFF	REMOVE - REFERRAL REQUIRED	Dead		
L	20	Hemlock	U	OFF	REMOVE - REFERRAL REQUIRED	Dead		
M	20-22	White cedar	M	OFF	PROTECT	Hedge containing 10 bylaw stems.		
N	20-25	White cedar	M	OFF	PROTECT	Hedge containing 16 bylaw stems.		
O	8	3	White cedar	M	OFF	PROTECT	Hedge containing 11 bylaw stems. Historically topped for BC Hydro safety setback.	
P	5	4	12x10	Western redcedar	U	OFF	PROTECT	Hedge containing 1 bylaw stem. Historically topped at 5m and crown raise pruned on north side. Shear trimmed on south side.
Q	22	6	Approx. 60x35x20	Black locust	U	OFF	PROTECT	Multiple stems coalesce at base with bark inclusion extending upwards to 1.5m above grade. Historically topped and pruned from BC Hydro safety setback, resulting in an asymmetrical, poorly structured crown that is prone to failure.
R	22	Western redcedar	U	OFF	PROTECT	Hedge containing 1 bylaw stem. Historically topped at 4m.		
S	8	4	Approx. 20x20	Norway spruce	U	CITY	PROTECT	Historically topped at 2.5m. Replacement leaders weakly attached and carry entire crown. Two stems attach at base with bark inclusion.
T	14	Plum	U	CITY	REMOVE - REFERRAL REQUIRED	Historically topped at 2.0m above grade. Multiple replacement leaders attach at the topping site, and have developed a weak structural form.		
CO1	23	8	38-88	Mixed Douglas-fir (4); Sitka spruce (1)	M	CITY	REMOVE - REFERRAL REQUIRED	WINDROW consisting of 5 bylaw stems with asymmetrical root structure due to the proximity of water filled ditch to the south of the stems. • Co-dependence for stability as a windrow and should be treated cohesively. • Historically crown raise pruned over the existing road and ditch via heading cuts on the south side of the crown. • Excessive root loss will result from re-grading the existing ditch and excavation for installation of the new driveway crossing.
N01	8	2	15	Sawara cypress	U	OFF	PROTECT	Embedded in the crowns of adjacent trees, resulting in a sparsely foliated crown and poorly tapered leaders dependent on adjacent trees for stability. • Historically topped at a height of 2.0m above grade, resulting in large, decayed wounds and permanently impaired crown structure.
N02	12	5	80	Deodar cedar	U	SHARED	PROTECT	Historically topped at a height of 3.0m above grade, resulting in a large wound and development of multiple co-dominant replacement leaders with poor structural form. Subsequent re-topping at 8.0m above grade has further impaired the crown structure. • Asymmetrical root structure restricted from the north due to the proximity of a water-filled ditch. • HEDGEROW consisting of 12 (non-bylaw sized) stems ranging 8-15cm.
N03	5	3	15	Eastern whitecedar	M	OFF	REMOVE	Historic crown raise pruned on the west side to 2.0m above grade, exposing the crown interior and stems. • Apparent root growth below existing driveway is heaving and cracking hardscape. • Direct conflict with excavation for new storm service connections. Removal of the stems on the north end of the hedgerow in conflict with civil construction could be mitigated via replacement planting with an appropriately sized plant and follow-up pruning treatments. • HEDGEROW consisting of 5 (non-bylaw sized) stems ranging 8-10cm.
N04	4	1	10	Eastern whitecedar	M	CITY	REMOVE	10cm. • Asymmetrical root growth restricted from the north due to proximity of a water-filled ditch. • Direct conflict with excavation for new sanitary sewer alignment and manhole installation. • Dieback throughout the crown (30%). • Rope embedded in stem at 2.0m on the south side and gridding new growth. • Roots restricted from the north side due to the proximity of a water-filled ditch. • Historically pruned via heading cuts on the west side for BC Hydro safety setback.
N05	10	6	40	English walnut	M	OFF	PROTECT	1

TREE PROTECTION GUIDELINES:

- TREE PROTECTION ZONE SETBACKS:**
The Tree Protection Zone (TPZ) alignments are established as directed by this office to provide a suitable setback to ensure adequate root protection to maintain tree health and tree stability. These alignments are based on site and tree conditions as determined by the project arborist, and they supersede any other tree protection setbacks provided by others (including setbacks derived from municipal guidelines) and may be conditional to certain mitigation measures being undertaken (i.e. root pruning, compensatory treatment to remaining root zone). The tree protection guidelines also apply to the overhead portions of the tree (trunk, branches and foliage), even if those tree parts extend outside of the TPZ setback.
- TREE PROTECTION FENCES (BARRIERS):**
Barriers must be erected at the specified alignments and setbacks, maintained in good condition until the project reaches substantial completion, and the restrictions and guidelines implemented as detailed herein through to the completion of the landscaping phase. The materials and installation of the fence must meet or exceed the municipal standards. Signs stating "TREE PROTECTION ZONE - NO ENTRY" must be placed on the tree protection fence at a suitable frequency at the direction of the project arborist. Arborist will install signs in cases that we are retained to provide field services for compliance during construction. The owner, contractor, subcontractors and trades should be made aware of the restrictions herein, and consult with this office for any access. If required, tree protection fencing must be inspected and approved by the municipality and/or the project arborist prior to commencement of any demolition, site preparation or construction work.
- SURVEY OF FENCES:**
If any tree protection fences are aligned with or within close proximity to a restrictive covenant, a property line, and/or an environmentally sensitive or protected area, the contractor must undertake a survey of the location of those property lines such that the tree protection fence can be installed and inspected accurately.
- TREE PROTECTION AND LAND CLEARING OPERATIONS:**
If large scale land clearing areas contain a TPZ and/or there is windfirming treatments required in new forest edge interfaces along the perimeter of the land clearing areas, and/or when certain trees within a TPZ are specified for removal, it is strongly recommended that the land clearing contractor should coordinate with the project arborist in advance to review their work plan and to identify retained trees and the protection measures for them, as well as during the clearing process to improve compliance and to assess new forest edges and provide tree failure risk mitigation prescriptions, for remedial purposes, the proponents should be required to provide until costs for the following treatments (including disposal of waste) in the forest interface zones.
• Removal of defective trees in size categories of small (dbh up to 20 cm dbh), medium (dbh 21 cm to 45 cm), large (dbh 46 to 75 cm) and very large (76 cm dbh and greater), and
• Pruning services (if any).
- Note that approvals for leaving chips or large woody debris created by the waste of these operations on the site will be investigated with affected property owners upon request.**
- TREE PROTECTION GUIDELINES:**
Any construction related work or activities within or directly adjacent to a TPZ requires advance approval and the on-site direction of the project arborist. The trunks, branches, foliage and roots of retained trees, as well as the soil within the tree protection zones, must not be damaged by construction activities. Except as approved and directed by the project arborist, activities within and access to the TPZ are restricted during the site preparation, construction and landscape installation phases of the project as follows:
• Restricted low impact methods for the removal of trees and stumps within or adjacent to TPZ.
• No soil disturbance, including trenching for underground services or utilities, stripping of organic soil for hard landscape installation, excavation for building foundations, fill placement, or trenching for irrigation or conduit installation.
• No storage or transport of soil, spoil, construction materials, waste materials, etc.
• No passage or operation of vehicles or equipment.
• No placement of temporary structures or services.
• No affixing lights, signs, cables or any other device to retained trees.
• No unauthorised pruning or cutting of retained trees. Any pruning or other treatment of a retained tree must be completed by a qualified arborist or tree service firm employing ISA Certified Arborists and in conformance with ANSI A300 Standards, and/or under the direction of the Project Arborist from this office, and.
• Any excavations adjacent to the TPZ will require the attendance of the project arborist and root pruning to be undertaken as necessary.
• The use of aerial lifts, cranes or other overhead equipment is restricted in proximity to retained trees and should be planned with the size and height of the crown of the tree accordingly.
• It is recognized that certain unpredictable construction conflicts with a TPZ may arise that could interfere with the protection of the selected trees, however any encroachment into a TPZ and/or changes to the tree retention scheme are subject to approval in advance by the project arborist and the municipality. Certain TPZ restrictions or guidelines noted herein may be waived if they are considered by the project arborist to be tolerable impacts, and/or if the impacts to the trees can be successfully mitigated by implementing special measures, protection systems, compensatory treatments, and/or follow-up works, as specified and directed by this office.
- LANDSCAPING:**
The landscaping phase is when retained trees can be severely damaged. The operation of equipment, the placement of growing medium, grading and sub-base preparation for hard landscape features (i.e. sidewalks and patios), site preparation for retaining walls and footings, excavation for fences, signs and other landscape features, digging of planting holes for new plants and trees, the digging of trenches for irrigation, drainage and lighting, and the placement of form and other finishing work of hardscape may have a very high potential for tree and root damage. It is vital that the landscape works respect the limitations on activities within the TPZ. Therefore the landscape installation staff should be advised. On-site direction by the project arborist is strongly recommended.

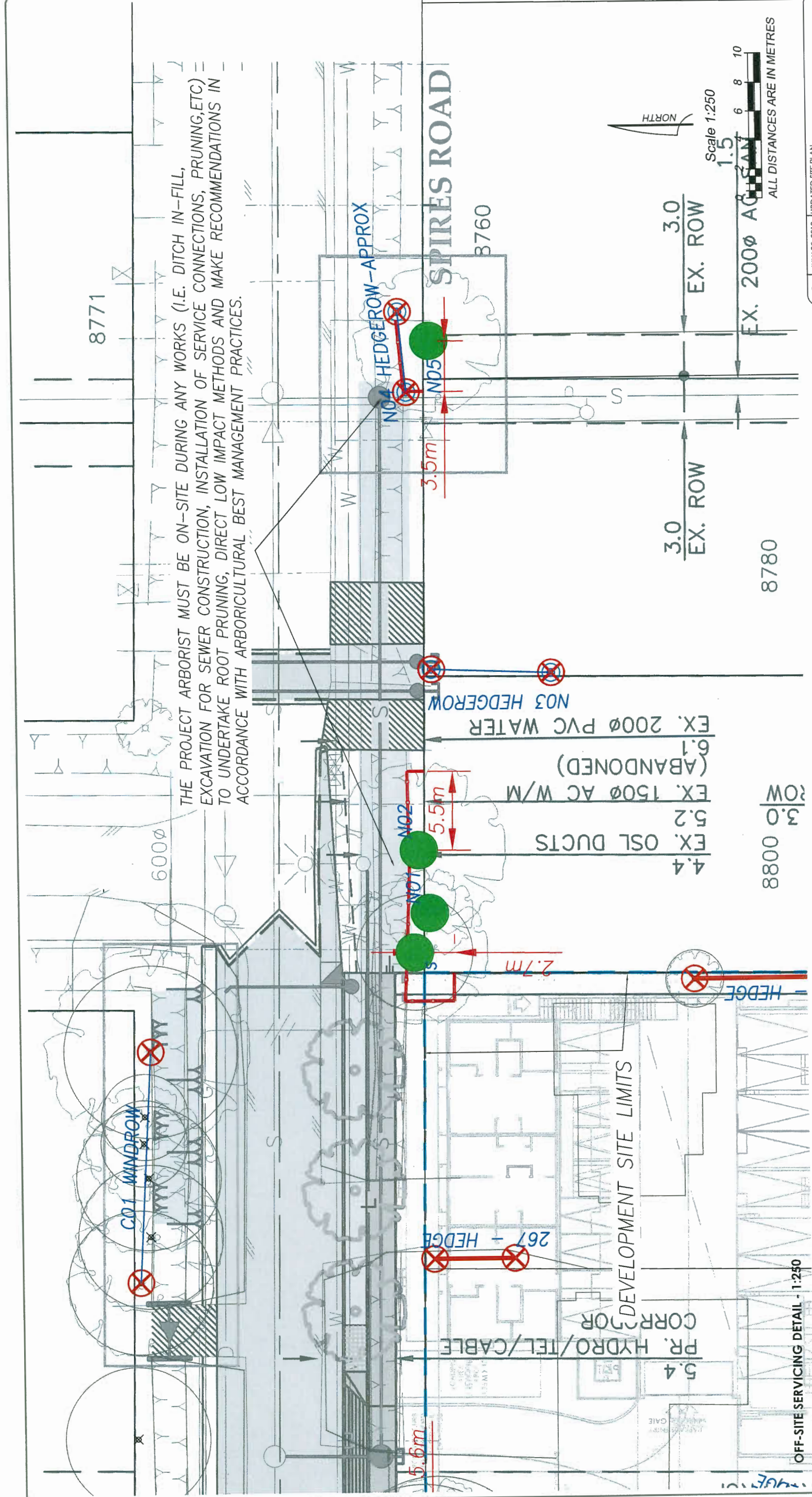
TREE PROTECTION FENCE DETAIL - SAMPLE
FENCES MUST EXCEED MUNICIPAL STANDARDS
NOT TO SCALE

TREE MANAGEMENT DRAWING
PROJECT: PROPOSED SINGLE FAMILY SUBDIVISION
ADDRESS: 8840 TO 8931 SPIRES RD RICHMOND
CLIENT: ALABASTER
ACL FILE: 14218

8 JULY 25, 2019 UPDATED SITE PLAN
0 JUN 12, 2014 INITIAL SUBMISSION
REV # DATE COMMENTS

ARBORTECH CONSULTING
a division of:
HEAD OFFICE: SERVING METRO VANCOUVER
145 - 12051 HORSESHOE WAY, RICHMOND, BC CANADA V7A 4V4
p. 604.275.5484

SEE SHEET 1 FOR TREE LOCATION AND RETENTION/REMOVAL DETAILS



REV #	DATE	COMMENTS
8	JULY 25, 2019	UPDATED SITE PLAN
0	JUN 12, 2014	INITIAL SUBMISSION

TREE MANAGEMENT DRAWING	
PROJECT:	PROPOSED SINGLE FAMILY SUBDIVISION
ADDRESS:	8840 TO 8931 SPIRES RD RICHMOND
CLIENT:	ALABASTER HOMES
ACL FILE:	14218
SHEET: 3 OF 3	

SEE SHEET 2 FOR TREE DATA AND PROTECTION DETAILS

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ARBORTECH CONSULTING
a division of:
ACT GROUP
HEAD OFFICE: SERVING METRO VANCOUVER
145 - 12051 HORSESHOE WAY, RICHMOND, BC CANADA V7A 4V4
p 604.275.3484

OFF-SITE SERVICING DETAIL - 1:250

- LEGEND:**
- denotes tree TAG NUMBER OR ID REFERENCE.
 - denotes DRIPLINE (spread of the branches and foliage) of the tree.
 - denotes the trunk location of tree proposed to be **RETAINED** and protected.
 - denotes the trunk location of tree proposed to be **REMOVED**.
 - denotes trunk location of **HIGH RISK** tree for owner to obtain permit and **REMOVE** as soon as possible.
 - denotes trunk location of **OFF-SITE** tree to be protected (unless owner/municipal approvals for removal are obtained).
 - denotes **NON-RYLAW** undertake tree (measured by project arborist).
 - denotes **SITE LIMITS**.
 - denotes **TREE PROTECTION ZONE** setback alignment.

PLAN NOTES:
drawings supplied by the project arborist (BCL). Engineer (P. ENG) and/or Design Professional and is provided for **consult only** as it remains the responsibility of the management of the site for any and all trees on the site. The accuracy of locations of features or dimensions thereon, refer to the original drawings from those professionals for those purposes.

DP 14218 PLAN # 3B AUG 20 2019

SEAL:



KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	3	ACER GINNALA 'FLAME'	FLAME AMUR MAPLE	6.0CM CAL; 1.8M STD
2	3	ACER PALMATUM DISSECTUM 'SERVU'	GREEN CUTLEAF JAPANESE MAPLE	2.5M HT; B&B
3	9	CERCIS CANADENSIS 'COVEY'	LAVENDER TMSB REDBUD	9CM CAL; 1.5M STD; B&B
4	3	FAGUS SYLVATICA 'DAWYCK PURPLE'	DAWYCK PURPLE BEECH	7CM CAL; B&B
5	4	LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEETGUM	9CM CAL; 2M STD; B&B
6	3	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	3.0M HT; B&B
7	7	STRAX JAPONICUS 'SNOWCONE'	SNOWCONE JAPANESE SNOWBELL	5 CM CAL; 1.2M STD; B&B
8	175	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
9	13	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#2 POT; 50CM
10	7	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA; BLUE	#2 POT; 50CM
11	84	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#2 POT; 30CM; MATURE HT: 900MM
12	314	LONICERA PILEATA	BOXLEAF HONEY-SUCKLE; GOLD	#3 POT; 30CM
13	77	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#3 POT; 50CM
14	53	SARCOCODON CONFUSA	SWEET BOX	#2 POT; 30CM
15	149	SKIMMIA JAPONICA 'RUBELLA'	RUBELLA SKIMMIA	#3 POT; 50CM
16	50	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.8M HT; B&B
17	401	CAREX ELATA 'AUREA'	BOWLE'S GOLDEN SEDGE	#1 POT
18	10	HOSTA 'BLUE MAMMOTH'	HOSTA; LARGE; BLUE	#2 POT; 1-2 EYE

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINERS SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINERS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

Symbol	Model	Symbol	Model
	5' HT. PRIVACY SCREEN		HOSE BIB
	42" HT. PICKET FENCE		2" LINE FOR IRRIGATION SUPPLY
	6' HT. PERIMETER FENCE		SITE SIGNAGE/ ENTRY MONUMENT: SEE PLAN TO ARCHITECT DRAWINGS FOR DETAILS

REPLACEMENT SIZED TREES REQUIRED: 51
REPLACEMENT SIZED TREES: 51
REFER TO THE ARBORIST REPORT FOR ADDITIONAL INFORMATION

Lighting Legend

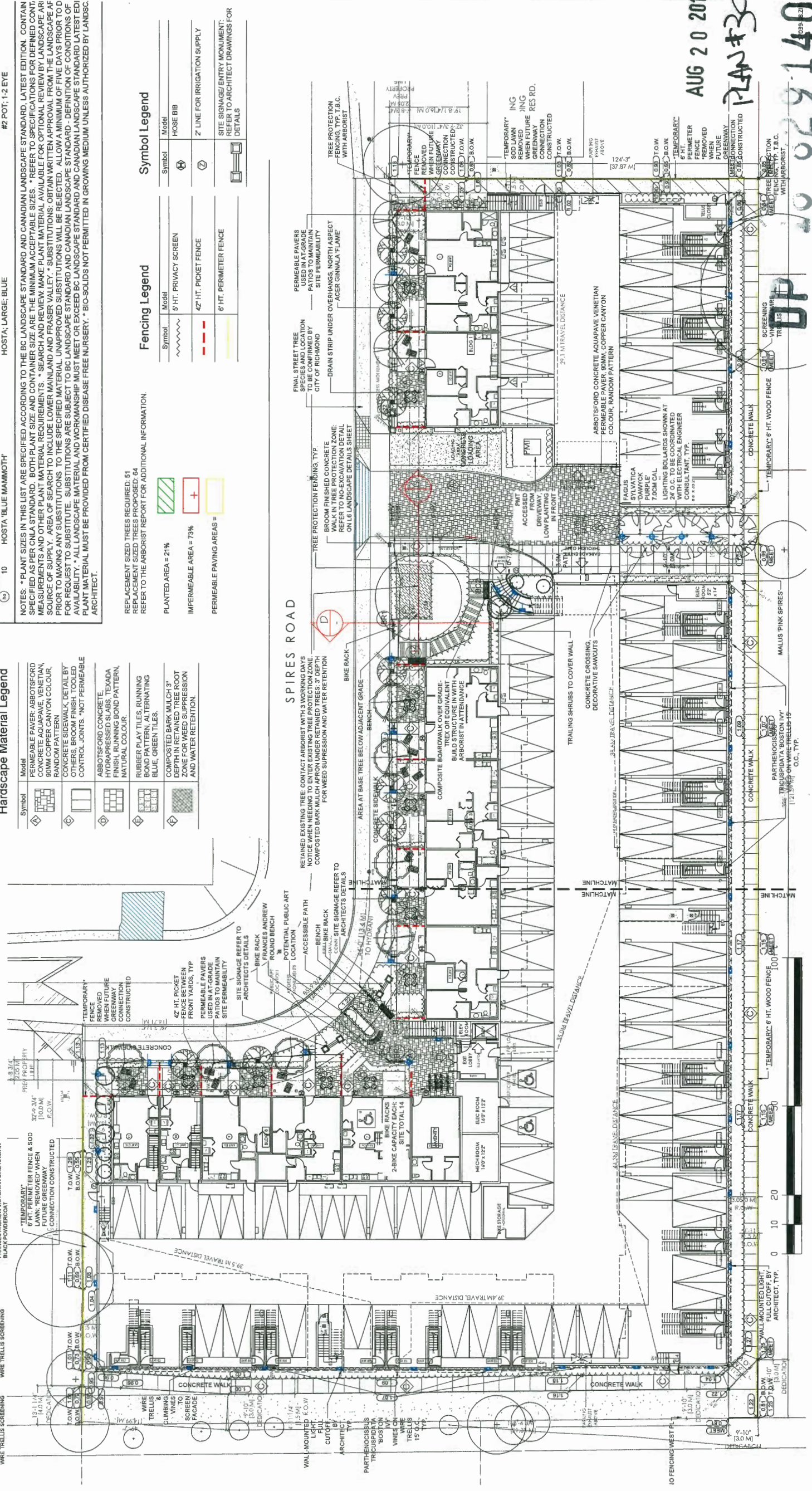
	Model: LITHONIA K8A-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
	Model: STEP LIGHTING, WAC LIGHTING, BLACK LED100 BLISS, WHITE LIGHT (3000K).
	Model: BUILDING-MOUNTED FULL CUTOFF

Site Furnishing Legend

	Model: MAGLIN MBR150-MPC GREY POWDERCOAT, RESISTANT HARDWARE, 2-BIKE CAPACITY
	Model: MAGLIN MBR350 GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE, 8-BIKE CAP.
	Model: CURVED BENCH, 5' RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS*
	Model: MAGLIN MLB310-MPC BENCH, IPE SLATS AND BLACK POWDERCOAT
	Model: *MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

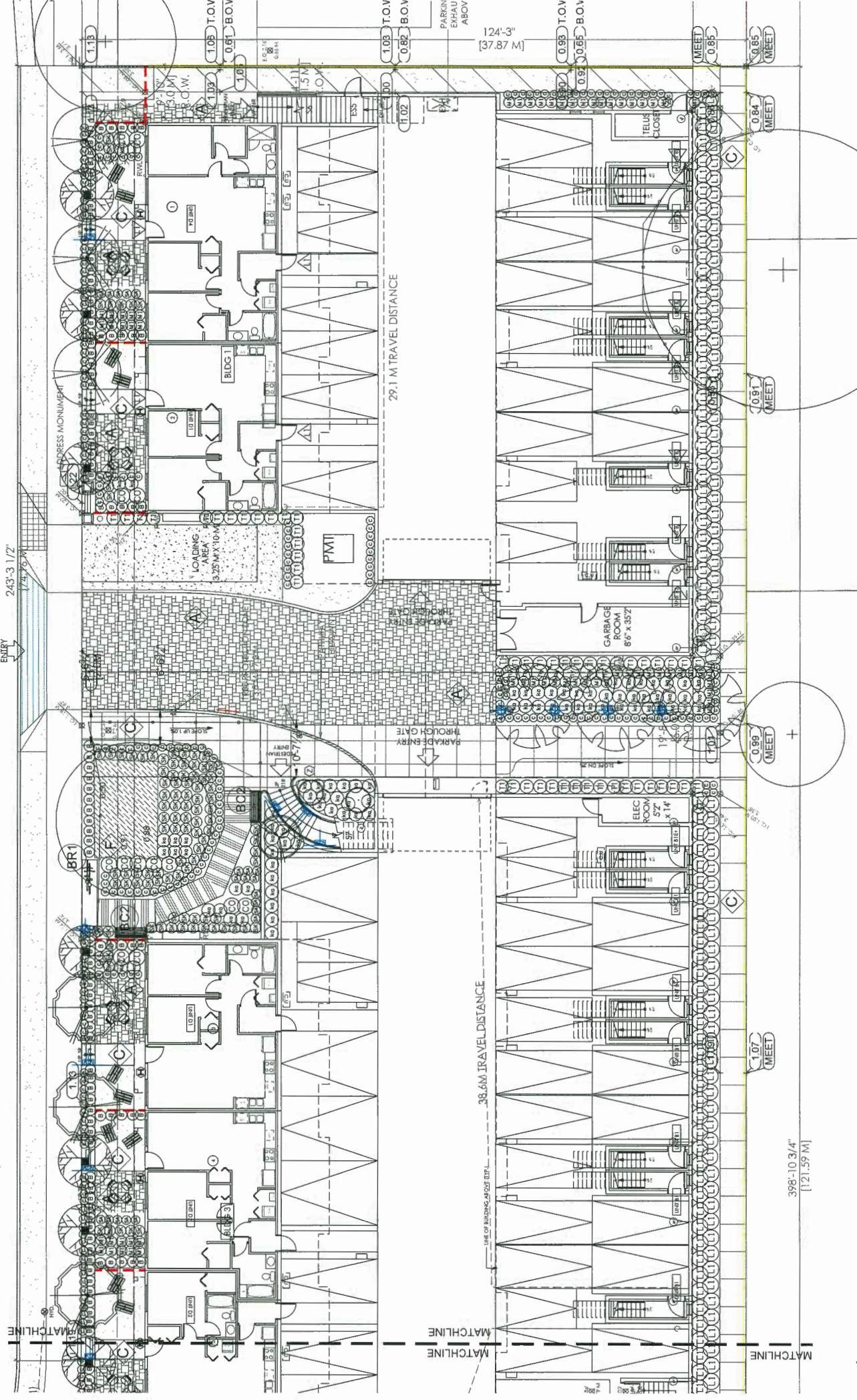
Hardscape Material Legend

	Model: PERMEABLE PAVEMENT: ABBOTSFORD 9MM COPPER CANYON COLOUR, RANDOM PATTERN
	Model: CONCRETE SIDEWALK, DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS, "NOT" PERMEABLE
	Model: ABBOTSFORD CONCRETE FINISH, RUNNING BOND PATTERN, NATURAL COLOUR
	Model: RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES.
	Model: COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.



AUG 20 2019
PLAN # 33
DP 20 029140

SEAL:



Hardscape Material Legend

Symbol	Model
	PERMEABLE PAVER, ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN
	CONCRETE SIDEWALK, DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS, *NOT PERMEABLE
	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR
	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES.
	COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.

Lighting Legend

Symbol	Model
	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), 'LED100 BL-SS'
	BUILDING-MOUNTED; FULL CUTOFF

Site Furnishing Legend

Symbol	Model
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE, 2-BIKE CAPACITY
	MAGLIN MBR350, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE, 8-BIKE CAP.
	CURVED BENCH, 5' RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS*
	MAGLIN MLB310-WPC BENCH, IPE SLATS AND BLACK POWDERCOAT *MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

Fencing Legend

Symbol	Model
	5' HT. PRIVACY SCREEN
	42' HT. PICKET FENCE
	6' HT. PERIMETER FENCE

Symbol Legend

Symbol	Model
	HOSE BIB
	2" LINE FOR IRRIGATION SUPPLY
	SITE SIGNAGE/ ENTRY MONUMENT. REFER TO ARCHITECT DRAWINGS FOR DETAILS

DP 18-829140
PLAN # 3D
AUG 20 2019

SHRUB PLAN
GROUND FLOOR - EAST

DRAWING TITLE:

DATE: 17 APRIL 10 DRAWING NUMBER:
SCALE: 3/32"=1'-0"
DRAWN: MM
DESIGN: MM
CHK'D: PCM

L2
OF 14

PMG PROJECT NUMBER: 17-039

PROJECT:
RESIDENTIAL DEVELOPMENT
With Formworks Architecture

SPIRES ROAD
RICHMOND, B.C.

NO.	DATE	REVISION DESCRIPTION	DR.
21	19 AUG 06	ISSUED FOR SUBMISSION	GLG
20	19 AUG 06	UPDATE PER CITY COMMENTS	GLG
19	19 JUN 11	UPDATE PER CITY COMMENTS	GLG
18	15 APR 06	UPDATE PER CITY COMMENTS/ISSUE SUBMISSION	GLG
17	15 FEB 06	UPDATE PER NEW SITE PLAN / RESOLVE	GLG
16	13 JAN 02	UPDATE FOR ADP SUBMISSION	GLG
15	13 JAN 02	UPDATE PER CLIENT COMMENTS	GLG
14	13 JAN 02	UPDATE PER NEW SITE PLAN / RESOLVE	GLG
13	13 JAN 02	COORDINATE 2-BIKE CAPACITY	GLG
12	13 JAN 02	UPDATE PER NEW SITE PLAN / RESOLVE	GLG
11	13 JAN 02	UPDATE PER CLIENT COMMENTS	GLG
10	13 JAN 02	UPDATE PER NEW SITE PLAN / RESOLVE	GLG
9	13 JAN 02	UPDATE PER CLIENT COMMENTS	GLG
8	13 JAN 02	UPDATE PER NEW SITE PLAN / RESOLVE	GLG
7	13 JAN 02	REVISION SUBMISSION	GLG
6	13 JAN 02	UPDATE PER NEW SITE PLAN	GLG
5	13 JAN 02	UPDATE PER NEW SITE PLAN / RESOLVE	GLG
4	13 JAN 02	UPDATE WITH AREA COUNTS	GLG
3	13 JAN 02	NEW SITE PLAN/ISSUE FOR SUBMISSION	GLG
2	13 JAN 02	UPDATE PER NEW SITE PLAN	GLG
1	13 JAN 02	UPDATE PER NEW SITE PLAN	GLG

CLIENT:

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	17 OCT 25	UPDATE FOR NEW SITE PLAN	CG
2	17 OCT 25	NEW SITE PLAN/ISSUE FOR SUBMISSION	CG
3	17 NOV 15	UPDATE WITH AREA COUNTS	CG
4	18 MAY 08	UPDATE FOR NEW SITE PLAN / ISSUE	CG
5	18 JUN 07	REVISIONS REVISION	CG
6	18 JUN 07	UPDATE FOR NEW SITE PLAN / ISSUE	CG
7	18 JUL 11	UPDATE FOR CLIENT COMMENTS	CG
8	18 AUG 07	UPDATE FOR CLIENT COMMENTS	CG
9	18 AUG 27	UPDATE FOR CLIENT COMMENTS	CG
10	18 AUG 27	UPDATE FOR CLIENT COMMENTS	CG
11	18 OCT 00	ISSUED FOR DP	CG
12	18 NOV 03	UPDATE FOR NEW SITE PLAN / ISSUE	CG
13	18 NOV 03	COORDINATE TO NEW SITE PLAN/ISSUE DP	CG
14	18 NOV 03	UPDATE FOR NEW SITE PLAN / ISSUE	CG
15	18 NOV 03	UPDATE FOR NEW SITE PLAN / ISSUE	CG
16	18 NOV 03	UPDATE FOR NEW SITE PLAN / ISSUE	CG
17	17 FEB 08	UPDATE FOR CITY COMMENTS/ISSUE FOR SUBMISSION	CG
18	17 APR 08	UPDATE FOR CITY COMMENTS/ISSUE FOR SUBMISSION	CG
19	15 JUN 13	UPDATE FOR CITY COMMENTS	CG
20	15 JUN 17	UPDATE FOR CITY COMMENTS	CG
21	15 AUG 01	UPDATE FOR CITY COMMENTS	CG
22	15 AUG 09	ISSUED FOR SUBMISSION	CG

Hardscape Material Legend

Symbol	Model
	PERMEABLE PAVER: ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN
	CONCRETE SIDEWALK: DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS. *NOT PERMEABLE
	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR.
	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES.
	COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.

Lighting Legend

Symbol	Model
	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), 'LED100 BL-SS'
	BUILDING-MOUNTED, FULL CUTOFF

Site Furnishing Legend

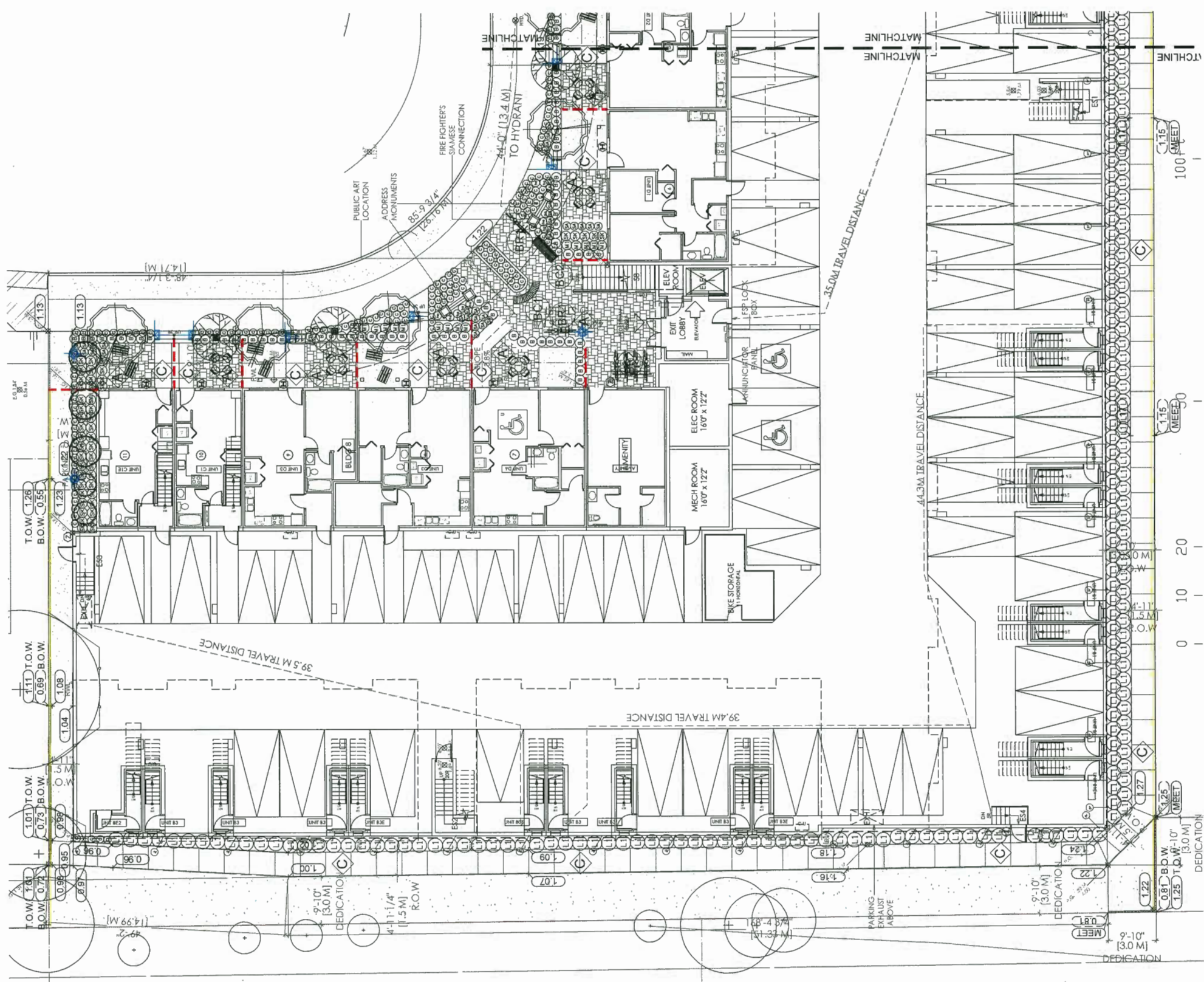
Symbol	Model
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY
	MAGLIN MBR350, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 8-BIKE CAP.
	CURVED BENCH, 5' RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS*
	MAGLIN MLB310-W-PC BENCH, IPE SLATS AND BLACK POWDERCOAT *MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

Fencing Legend

Symbol	Model
	5' HT. PRIVACY SCREEN
	42' HT. PICKET FENCE
	6' HT. PERIMETER FENCE

Symbol Legend

Symbol	Model
	HOSE BIB
	2' LINE FOR IRRIGATION SUPPLY
	SITE SIGNAGE/ ENTRY MONUMENT: REFER TO ARCHITECT DRAWINGS FOR DETAILS



DP 18-829140

PLAN # 3E

AUG 20 2019

PMG PROJECT NUMBER: 17-039

L3

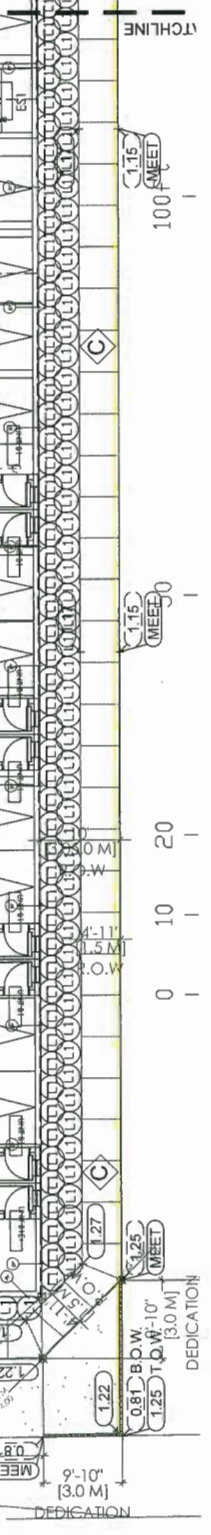
DATE: 17 APRIL 10
SCALE: 3/32"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: PCM

**SHRUB PLAN
GROUND FLOOR - WEST**

**SPIRES ROAD
RICHMOND, B.C.**

**RESIDENTIAL DEVELOPMENT
With Formworks Architecture**

PROJECT:



Play Equipment Legend

Symbol	Model
	GAMETIME FLOWER TALK TUBE 38217 - FLOWER COLOUR DARK BLUE, STEM GREEN.
	KOMPAN ROBINA SERIES 'FOREST SHOP' NRO407-001 - BROWN SM.
	KOMPAN ROBINA SERIES 'PARKOUR 002' NRO-852-1002; NATURAL FINISH, IG STEEL FOOTINGS.
	KOMPAN ROBINA SERIES 'WATERLILY BALANCE' NRO-832-0913 - NATURAL FINISH, IG
	WISHBONE INDUSTRIES SPPTCP-40 (GALVANIZED AND POWDERCOATED) SAND COLOURED SLATS, BLACK TEXTURED POWDERCOAT.
	KOMPAN MUSIC, PIPES PLAY PANEL, RED WOOD, POSTS, SM 'PCM000709-0001'

Lighting Legend

Symbol	Model
	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), 'LED100 BL-SS'
	BUILDING-MOUNTED, FULL CUTOFF

Hardscape Material Legend

Symbol	Model
	PERMEABLE PAVER: ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, RANDOM PATTERN
	CONCRETE SIDEWALK, DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS. 'NOT PERMEABLE'
	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR.
	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES.
	COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.



PLANT SCHEDULE : PODIUM LEVEL

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	17	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	#7 POT: 1M SPRD
	22	AMELANCHIER X GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA SERVICEBERRY	6CM CAL: 1.5M STD, BAB
	11	CERCIS CANADENSIS 'COVEY'	LAVERNER TWIST REDBLUD	6CM CAL: 1.5M STD, BAB
	3	PICEA MORIKAWA	SERBIAN SPRUCE	3.5M HT, BAB
	1	PRUNUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	3.0M HT, BAB
	5	PRUNUS 'YEDOENSIS 'AKEBONO'	DAYBREAK CHERRY	6CM CAL: BAB
SHRUB	35	BERBERIS THUNBERGII 'ROYAL BURGUNDY'	'ROYAL BURGUNDY' BARBERRY	#3 POT: 40CM
	314	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT: 40CM
	20	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA - BLUE	#2 POT: 50CM
	6	KALMIA LATIFOLIA 'ELF'	BOXLEAF HONEY/SUCKLE - GOLD	#5 POT: 30CM, MATURE HT: 900MM
	22	LONICERA PILEATA	DWARF GOLDMOUND SPIREA	#2 POT: 30CM
	188	SPRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	1.8M HT, BAB
	57	THUJA OCCIDENTALIS 'SMARAGD'	EVERGREEN HUCKLEBERRY	#3 POT: 60CM
	7	VACCINIUM OVATUM 'THUNDERBIRD'	BOYLE'S GOLDEN SEDGE	#1 POT
GRASS	316	CAREX ELATA 'AUREA'	BLUE OAT GRASS	#1 POT
	455	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CAN STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

Site Furnishing Legend

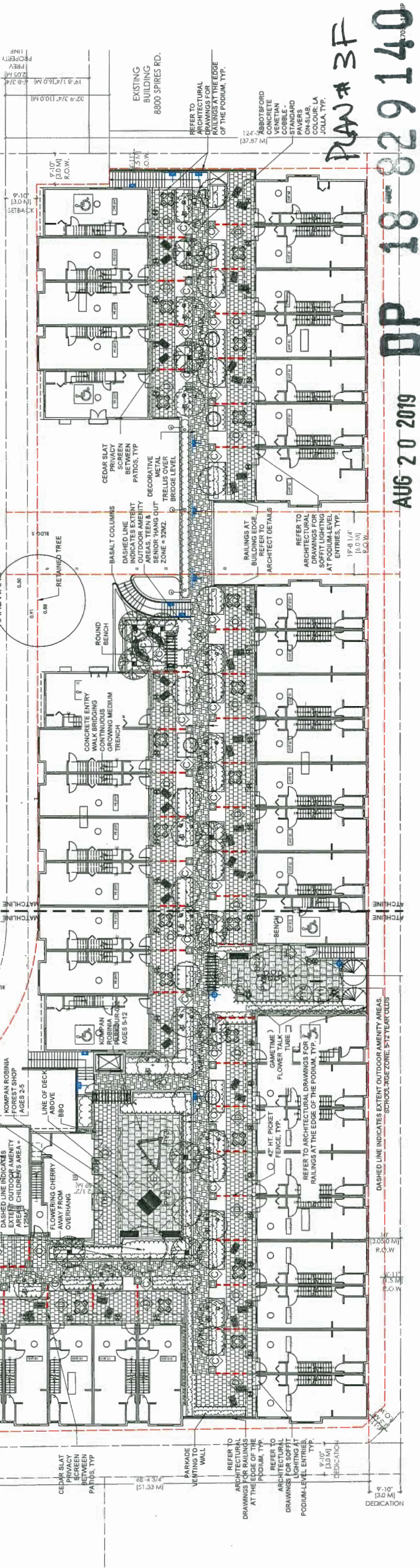
Symbol	Model
	MAGLIN SGR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE, 2-BIKE CAPACITY
	MAGLIN MBR350, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE, 8-BIKE CAP.
	CURVED BENCH, 5' RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS*
	MAGLIN MLB310-W-PC BENCH, IPE SLATS AND BLACK POWDERCOAT *MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

Fencing Legend

Symbol	Model
	5' HT. PRIVACY SCREEN
	42" HT. PICKET FENCE
	6' HT. PERIMETER FENCE

Symbol Legend

Symbol	Model
	HOSE BIB
	2" LINE FOR IRRIGATION SUPPLY
	SITE SIGNAGE/ENTRY MONUMENT REFER TO ARCHITECT DRAWING DETAILS



SEAL:



PROJECT:
RESIDENTIAL DEVELOPMENT
With Formwerks Architecture

SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
LANDSCAPE LAYOUT
LEVEL 2

DATE: 17 APRIL 20
SCALE: 1/8"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: PCM

L4

OF 14

PMG PROJECT NUMBER:
17-039

Aug 20 2019 DP 18-829140

PAN # 3F

Lighting Legend

Symbol	Model
	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), LED100 BL-SS
	BUILDING-MOUNTED: FULL CUTOFF

Play Equipment Legend

Symbol	Model
	GAMETIME FLOWER TALK TUBE '36217', FLOWER COLOUR: DARK BLUE, STEM: GREEN.
	KOMPAN ROBINA SERIES: FOREST SHOP' NRO407-001: BROWN SM.
	KOMPAN ROBINA SERIES 'PARKOUR 002' NRO-852-1002: NATURAL FINISH, IG STEEL FOOTINGS.
	KOMPAN ROBINA SERIES 'WATERLILY BALANCE' NRO-832-0913: NATURAL FINISH, IG
	WASHBONE INDUSTRIES SPPTGP-40 (GALVANIZED AND POWDERCOATED) SAND COLOURED SLATS, BLACK TEXTURED POWDERCOAT.
	KOMPAN MUSIC PIPES PLAY PANEL, RED WOOD POSTS, SM 'PCM000708-0001'

Site Furnishing Legend

Symbol	Model
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY
	MAGLIN MBR350, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 8-BIKE CAP.
	CURVED BENCH, 5' RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS.
	MAGLIN MLB310-W-PC BENCH, IPE SLATS AND BLACK POWDERCOAT *MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

Hardscape Material Legend

Symbol	Model
	PERMEABLE PAVER: ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN
	CONCRETE SIDEWALK, DETAIL BY OTHERS. BROOM FINISH. TOOLED CONTROL JOINTS. *NOT PERMEABLE
	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR.
	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES.
	COMPOSTED BARK/MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.

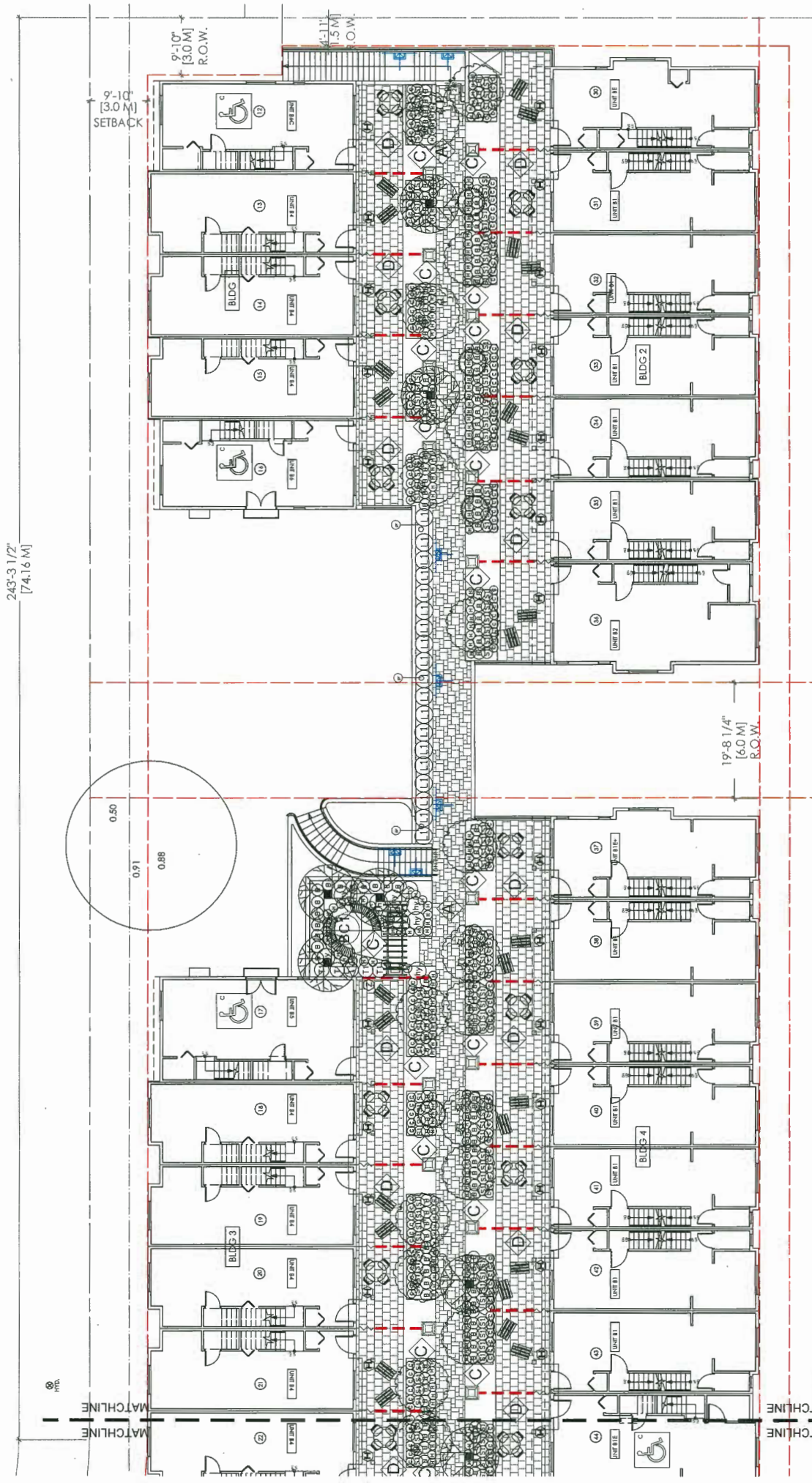
Fencing Legend

Symbol	Model
	5' HT. PRIVACY SCREEN
	42" HT. PICKET FENCE
	6' HT. PERIMETER FENCE

PLANT SCHEDULE : PODIUM LEVEL

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	17	ACER PALMATUM 'SANGO KAKU'	CORAL BARK MAPLE	#7 POT; 1M SPRD
	11	AMELANCHIER x GRANDIFLORA 'PRINCESS DIANA'	PRINCESS DIANA SERVICEBERRY	6CM CAL; 1.5M STD; B&B
	22	CERCIS CANADENSIS 'COVEY'	LAVENDER TWIST REDBUD	6CM CAL; 1.5M STD; B&B
	3	PICEA OMORIKA	SERBIAN SPRUCE	3.5M HT; B&B
	5	PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	3.0M HT; B&B
	1	PRUNUS YEDOENSIS 'AKEBONO'	DAYBREAK CHERRY	6CM CAL; B&B
SHRUB	35	BERBERIS THUNBERGII 'ROYAL BURGUNDY'	'ROYAL BURGUNDY' BARBERRY	#3 POT; 40CM
	314	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
	20	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	ENDLESS SUMMER HYDRANGEA; BLUE	#2 POT; 50CM
	6	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#2 POT; 30CM; MATURE HT: 900MM
	22	LONICERA PILEATA	BOXLEAF HONEYSUCKLE; GOLD	#3 POT; 50CM
	188	SPIRAEA JAPONICA 'GOLDMOUND'	DWARF GOLDMOUND SPIREA	#2 POT 30CM
	57	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.8M HT; B&B
	7	VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY	#3 POT; 60CM
GRASS	316	CAREX ELATA 'AUREA'	BOWLE'S GOLDEN SEDGE	#1 POT
	455	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.



SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
1	17.AUG.08	ISSUED FOR SUBMISSION	CG
2	18.AUG.08	UPDATE PER CITY COMMENTS	CG
3	19.JAN.11	UPDATE PER CITY COMMENTS	CG
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80	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
81	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
82	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
83	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
84	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
85	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
86	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
87	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
88	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
89	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
90	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
91	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
92	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
93	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
94	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
95	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
96	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
97	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
98	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
99	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG
100	19.APR.11	UPDATE PER NEW SITE PLAN / ISSUE FOR ADP	CG

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
With Formwerks Architecture

SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
SHRUB PLAN
LEVEL 2 - EAST

DATE: 17.APR.10
SCALE: 3/32"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: PCM

DRAWING NUMBER:
L5

OF 14

PMG PROJECT NUMBER:
17-039

DP 18-829140
PLAN # 34

AUG 20 2019

100% 398-103/4"

SEAL:



PLANT SCHEDULE : PODIUM LEVEL		COMMON NAME	PLANTED SIZE / REMARKS
TREE	17	ACER PALMATUM 'SANGO KAKU'	#7 POT, 1M SPRD
	21	AMELANCHIER X GRANDIFLORA 'PRINCESS DIANA'	6CM CAL, 1.5M STD, B&B
	22	CERCIS CANADENSIS 'COVEY'	6CM CAL, 1.5M STD, B&B
	3	PICEA OMORIKA	3.5M HT, B&B
	5	PINUS NIGRA 'ARNOLD SENTINEL'	3.0M HT, B&B
	1	PRUNUS YEDOENSIS 'AKEBONO'	6CM CAL, B&B
SHRUB	35	BERBERIS THUNBERGII 'ROYAL BURGUNDY'	#3 POT, 40CM
	314	BUXUS SEMPERVIRENS	#3 POT, 40CM
	20	HYDRANGEA MACROPHYLLA 'ENDLESS SUMMER'	#2 POT, 30CM
	6	KALMIA LATIFOLIA 'ELF'	#2 POT, 30CM, MATURE HT: 900MM
	22	LONICERA PILEATA	#3 POT, 50CM
	188	SPIRAEA JAPONICA 'GOLDMOUND'	#2 POT 30CM
	57	THUJA OCCIDENTALIS 'SMARAGD'	1.8M HT, B&B
	7	VACCINIUM OVATUM 'THUNDERBIRD'	#3 POT, 60CM
GRASS	316	CAREX ELATA 'AUREA'	#1 POT
	455	HELICTOTRICHON SEMPERVIRENS	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

Site Furnishing Legend

Symbol	Model
(BR1)	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY
(BR2)	MAGLIN MBR350, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 8-BIKE CAP.
(BC1)	CURVED BENCH, 5' RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS*
(BC2)	MAGLIN MLB310-WPC BENCH, IPE SLATS AND BLACK POWDERCOAT
	*MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

Play Equipment Legend

Symbol	Model
(PY1)	GAMETIME FLOWER TALK TUBE '38217', FLOWER COLOUR DARK BLUE, STEM GREEN.
(PY2)	KOMPAN ROBINIA SERIES 'FOREST SHOP' NRO407-001; BROWN SM.
(PY3)	KOMPAN ROBINIA SERIES 'PARKOUR 002' NRO-852-1002; NATURAL FINISH, IG STEEL FOOTINGS.
(PY4)	KOMPAN ROBINIA SERIES 'WATERLILY BALANCE' NRO-852-0913; NATURAL FINISH, IG
(TB1)	WISHBONE INDUSTRIES SPPTGP-40 (GALVANIZED AND POWDERCOATED) SAND COLOURED SLATS, BLACK TEXTURED POWDERCOAT.
(PY5)	KOMPAN MUSIC PIPES PLAY PANEL, RED WOOD POSTS, SM 'PCM000706-0001'

Hardscape Material Legend

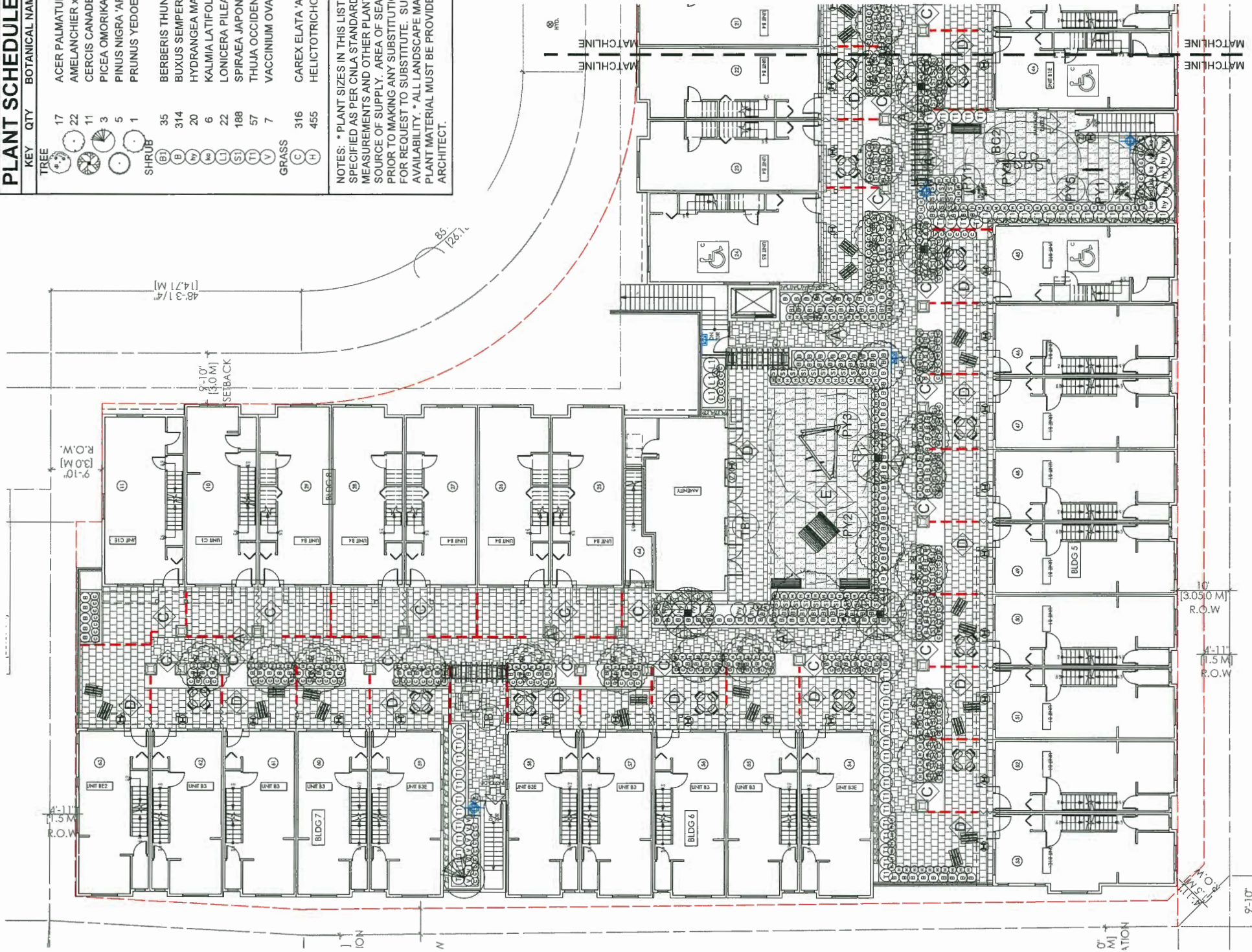
Symbol	Model
(D)	PERMEABLE PAVER: ABBOTSFORD CONCRETE AGUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN
(D)	CONCRETE SIDEWALK, DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS. *NOT PERMEABLE
(D)	ABBOTSFORD CONCRETE HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR.
(E)	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES.
(D)	COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.

Lighting Legend

Symbol	Model
(L)	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
(L)	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), 'LED100 BL-SS'
(L)	BUILDING-MOUNTED, FULL CUTOFF

Fencing Legend

Symbol	Model
(F)	5' HT. PRIVACY SCREEN
(F)	42' HT. PICKET FENCE



PROJECT: RESIDENTIAL DEVELOPMENT With Formworks Architecture

SPIRES ROAD RICHMOND, B.C.

DRAWING TITLE: SHRUB PLAN LEVEL 2

DATE: 17 APRIL 20
SCALE: 3/32"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: PCM

L6

OF 14

PMG PROJECT NUMBER: 17-039

DP 18-829140

PLAN # 3H

AUG 20 2019

5' HT. PERIMETER FENCE

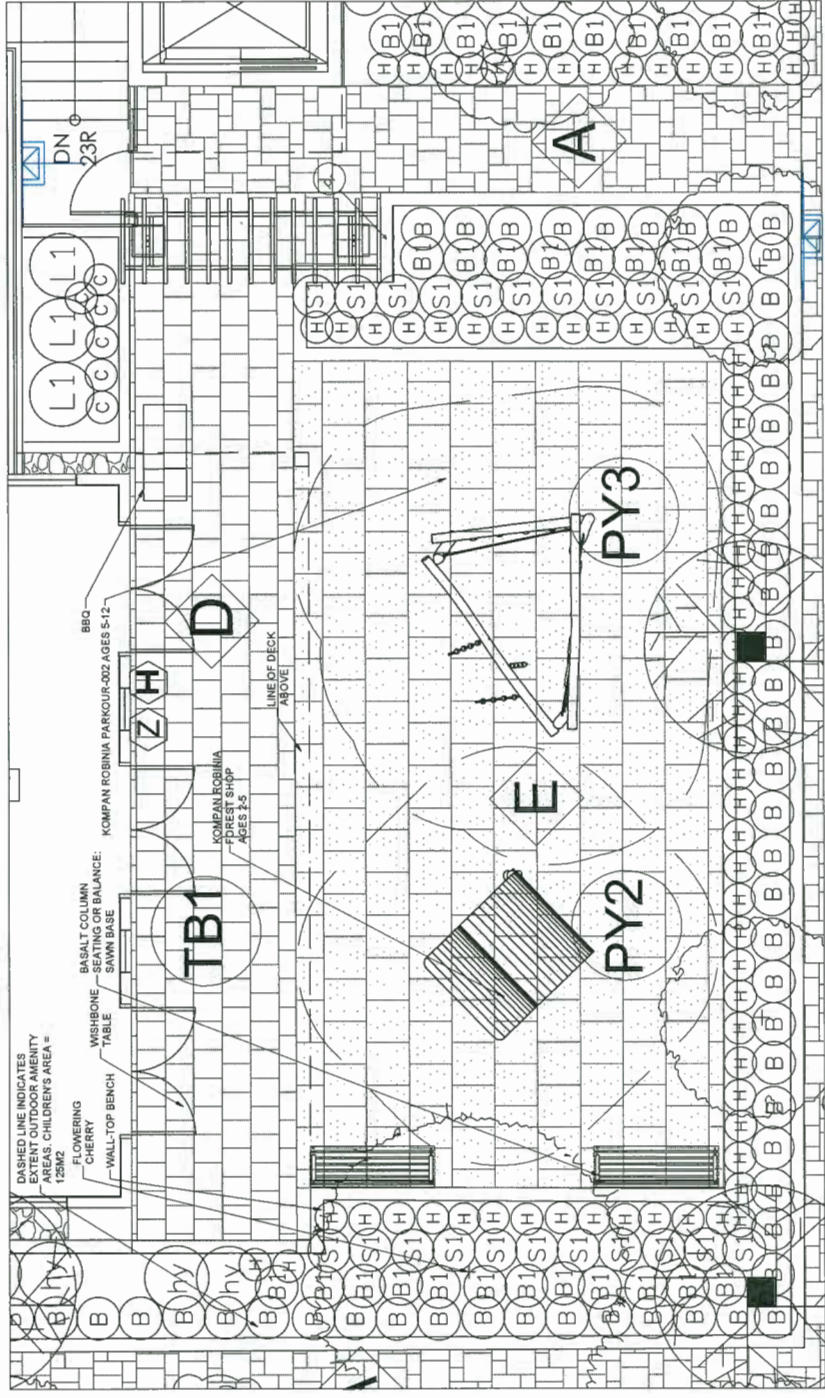
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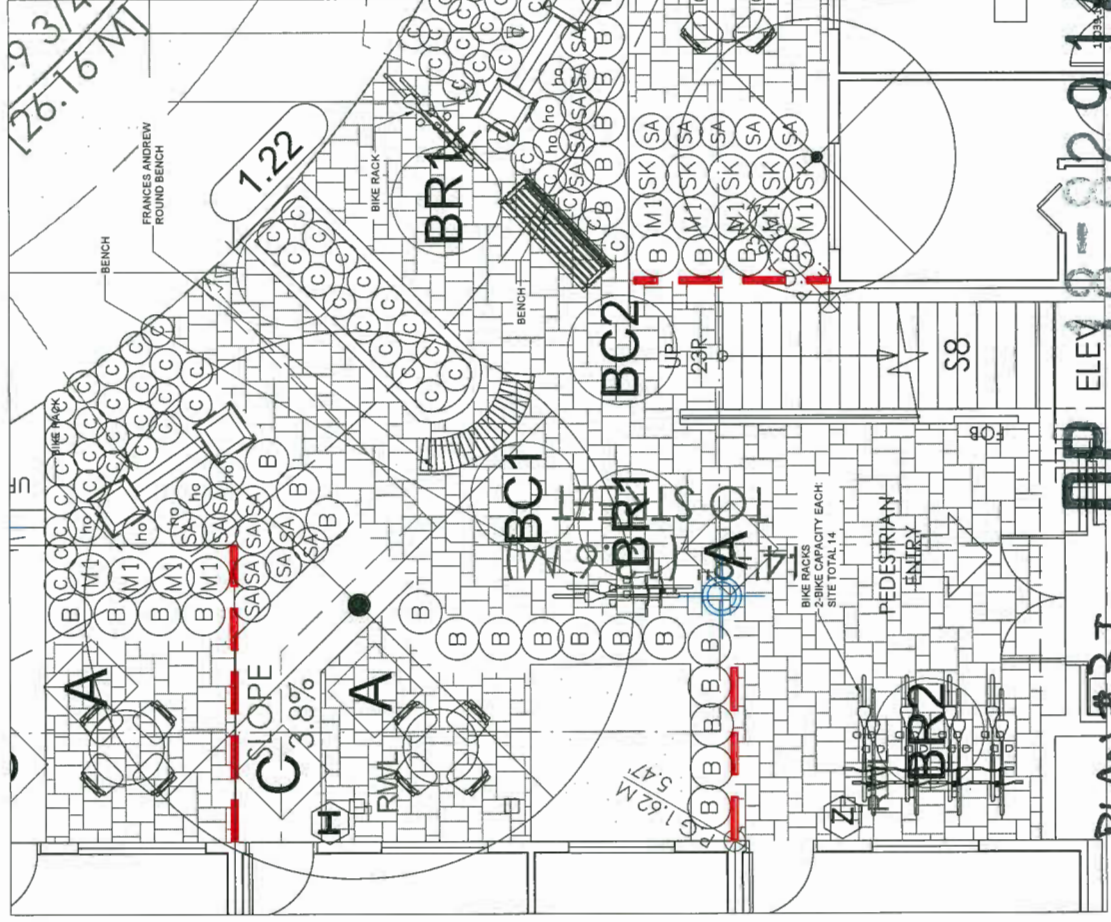
pmg
LANDSCAPE
ARCHITECTS

Suite C109 - 4185 Still Creek Drive
Richmond, BC V6V 1C1
P: 604.284.8011, F: 604.284.0022

SEAL:



PODIUM LEVEL ADJACENT INDOOR AMENITY BUILDING



GROUND LEVEL ADJACENT RETAINED TREE (LEFT)
GROUND LEVEL ADJACENT ENTRY (RIGHT)

Site Furnishing Legend

Symbol	Model
	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE, 2-BIKE CAPACITY
	MAGLIN MBR350, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE, 8-BIKE CAP.
	CURVED BENCH, 5" RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS*
	MAGLIN MLB310-W-PC BENCH, IPE SLATS AND BLACK POWDERCOAT
	"MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

Symbol	Model
	GAMETIME FLOWER TALK TUBE '36217', FLOWER COLOUR DARK BLUE, STEM GREEN.
	KOMPAN ROBINIA SERIES 'FOREST SHOP' NRO407-001; BROWN SM.
	KOMPAN ROBINIA SERIES 'PARKOUR 002' NRO-852-1002; NATURAL FINISH, IG STEEL FOOTINGS.
	KOMPAN ROBINIA SERIES 'WATERLILY BALANCE' NRO-852-0913; NATURAL FINISH, IG
	WISHBONE INDUSTRIES SPPTGP-40 (GALVANIZED AND POWDERCOATED) SAND COLOURED SLATS, BLACK TEXTURED POWDERCOAT.
	KOMPAN MUSIC PIPES PLAY PANEL, RED WOOD POSTS, SM 'PCM000708-0001'

Hardscape Material Legend

Symbol	Model
	PERMEABLE PAVER: ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN
	CONCRETE SIDEWALK, DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS. *NOT PERMEABLE
	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR.
	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES.
	COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.

Lighting Legend

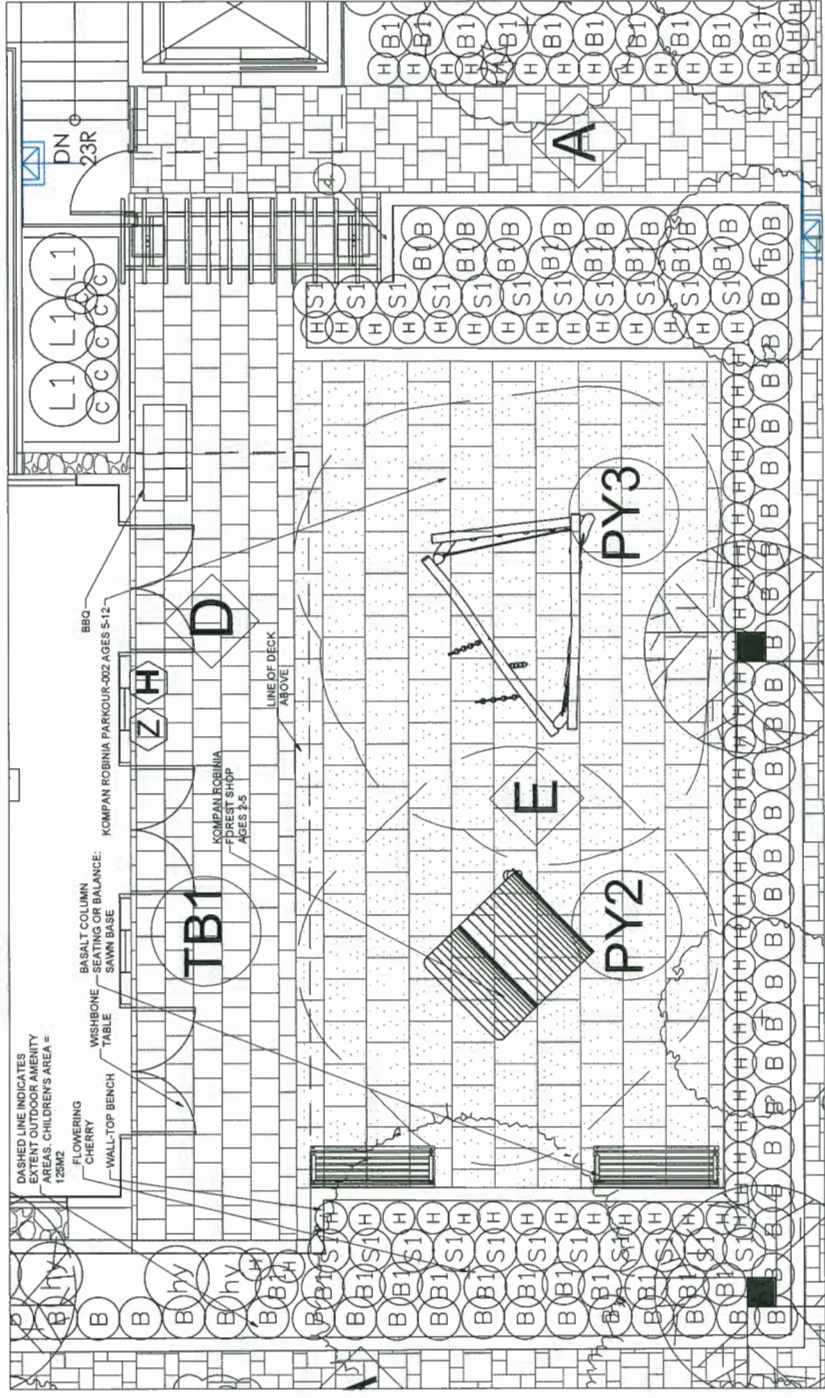
Symbol	Model
	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), 'LED100 BL-SS'
	BUILDING-MOUNTED, FULL CUTOFF

Fencing Legend

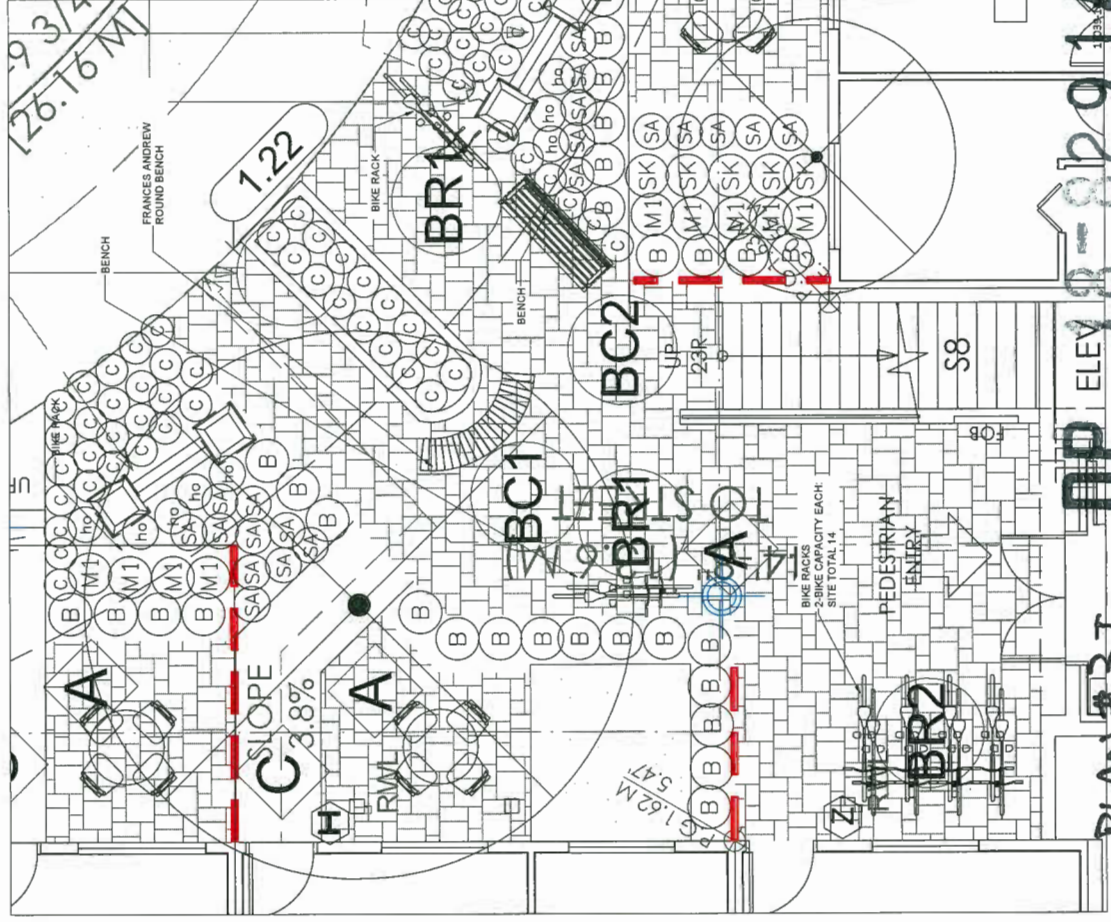
Symbol	Model
	5' HT. PRIVACY SCREEN
	42" HT. PICKET FENCE
	6' HT. PERIMETER FENCE

Play Equipment Legend

Symbol	Model
	GAMETIME FLOWER TALK TUBE '36217', FLOWER COLOUR DARK BLUE, STEM GREEN.
	KOMPAN ROBINIA SERIES 'FOREST SHOP' NRO407-001; BROWN SM.
	KOMPAN ROBINIA SERIES 'PARKOUR 002' NRO-852-1002; NATURAL FINISH, IG STEEL FOOTINGS.
	KOMPAN ROBINIA SERIES 'WATERLILY BALANCE' NRO-852-0913; NATURAL FINISH, IG
	WISHBONE INDUSTRIES SPPTGP-40 (GALVANIZED AND POWDERCOATED) SAND COLOURED SLATS, BLACK TEXTURED POWDERCOAT.
	KOMPAN MUSIC PIPES PLAY PANEL, RED WOOD POSTS, SM 'PCM000708-0001'



PODIUM LEVEL ADJACENT INDOOR AMENITY BUILDING



GROUND LEVEL ADJACENT RETAINED TREE (LEFT)
GROUND LEVEL ADJACENT ENTRY (RIGHT)

NO.	DATE	REVISION DESCRIPTION	DR.
22	18.AUG.20	ISSUED FOR SUBMISSION	CGE
21	18.AUG.20	UPDATE PER CITY COMMENTS	CGE
20	18.AUG.20	UPDATE PER PATO COMMENTS	CGE
19	13.JUN.11	UPDATE PER CITY COMMENTS	CGE
18	13.APR.11	UPDATE PER CITY COMMENTS/ISSUE SUBMISSION	CGE
17	15.FEB.04	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CGE
16	13.JAN.20	UPDATE PER NEW SITE PLAN / RESUSE	CGE
15	13.JAN.22	UPDATE FOR ASP SUBMISSION	CGE
14	13.DEC.19	UPDATE PER CLIENT COMMENTS	CGE
13	13.NOV.11	UPDATE PER CLIENT COMMENTS	CGE
12	13.OCT.10	COORDINATE TO NEW SITE PLAN/ISSUE RP	CGE
11	13.OCT.10	ISSUE FOR RP	CGE
10	18.AUG.20	UPDATE PER CLIENT COMMENTS	CGE
9	18.AUG.20	UPDATE PER CLIENT COMMENTS	CGE
8	18.AUG.20	UPDATE PER NEW SITE PLAN / RESUSE	CGE
7	18.AUG.20	ISSUING REVISION	CGE
6	18.AUG.20	ISSUING REVISION	CGE
5	18.AUG.20	UPDATE PER NEW SITE PLAN	CGE
4	18.AUG.20	UPDATE PER NEW SITE PLAN / RESUSE	CGE
3	17.AUG.15	UPDATE WITH AREA COUNTS	CGE
2	17.AUG.08	NEW SITE PLAN/ISSUE FOR SUBMISSION	CGE
1	17.OCT.25	UPDATE PER NEW SITE PLAN	CGE

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
With Formworks Architecture

SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
**AMENITY AREA
DETAIL PLANS**

DATE: 17.APRIL.10
SCALE: 1/4"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: PCM

DRAWING NUMBER:
L8
OF 14

PM PROJECT NUMBER
AUG 2 0-0-2019

PLAN # 31
ELEV 10-029140

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SEAL:

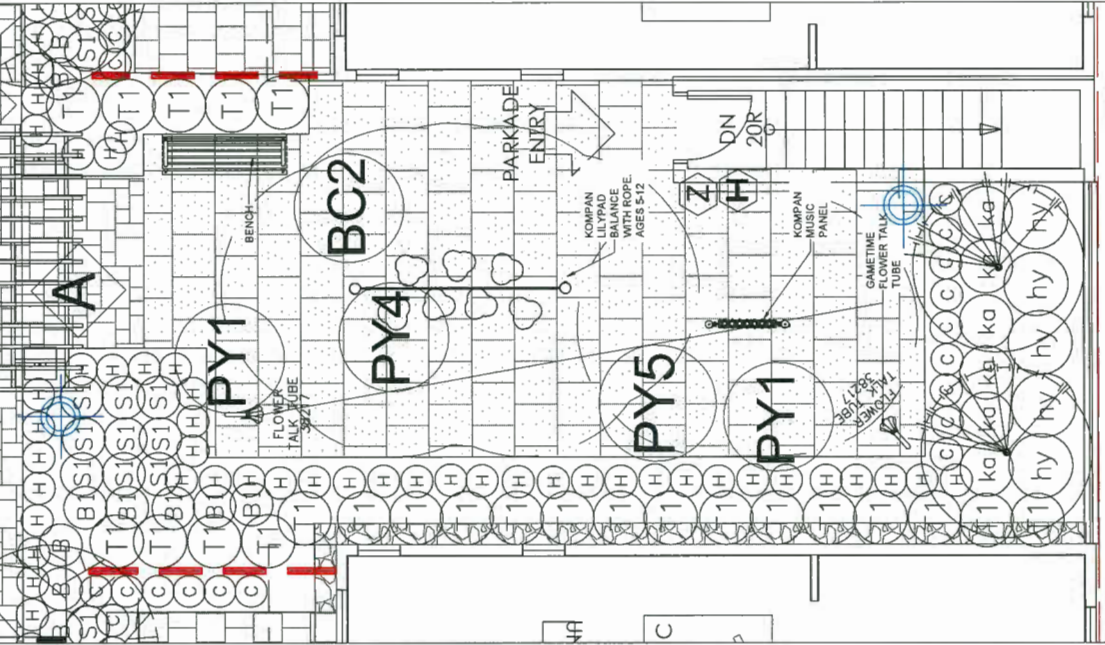


Site Furnishing Legend

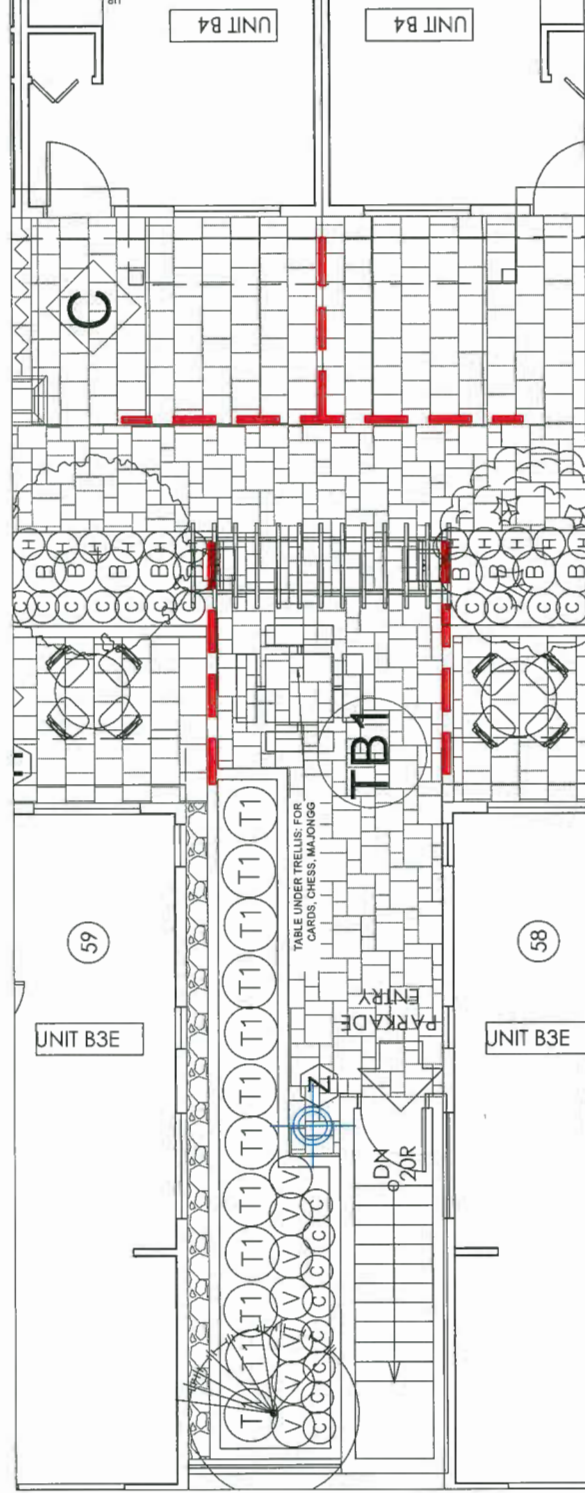
Symbol	Model
(BR)	MAGLIN SCBR 1600, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 2-BIKE CAPACITY
(BR2)	MAGLIN MBR350, GREY POWDERCOAT, SURFACE MOUNT, USE TAMPER RESISTANT HARDWARE. 8-BIKE CAP.
(BC)	CURVED BENCH, 5' RADIUS, FRANCES ANDREW, GREY POWDERCOAT, IPE SLATS*
(BC2)	MAGLIN MLB310-W-PC BENCH, IPE SLATS AND BLACK POWDERCOAT
	*MOUNT ON CONCRETE PAD PER MANUFACTURER'S SPECIFICATION, USING TAMPER-RESISTANT HARDWARE

Hardscape Material Legend

Symbol	Model
(A)	PERMEABLE PAVER, ABBOTSFORD CONCRETE AQUAPAVE, VENETIAN, 90MM COPPER CANYON COLOUR, RANDOM PATTERN
(C)	CONCRETE SIDEWALK, DETAIL BY OTHERS, BROOM FINISH, TOOLED CONTROL JOINTS. *NOT PERMEABLE
(D)	ABBOTSFORD CONCRETE, HYDRAPRESSED SLABS, TEXADA FINISH, RUNNING BOND PATTERN, NATURAL COLOUR
(E)	RUBBER PLAY TILES, RUNNING BOND PATTERN, ALTERNATING BLUE, GREEN TILES
(F)	COMPOSTED BARK MULCH 3" DEPTH IN RETAINED TREE ROOT ZONE FOR WEED SUPPRESSION AND WATER RETENTION.



PODIUM LEVEL ADJACENT BUILDINGS 485
AREA = 74M²
SITE TOTAL CHILDREN'S AREA =



PODIUM LEVEL ADJACENT BUILDINGS 667
AREA = 17M²

Play Equipment Legend

Symbol	Model
(PY1)	GAMETIME FLOWER TALK TUBE '38217', FLOWER COLOUR DARK BLUE, STEM GREEN.
(PY2)	KOMPAN ROBINIA SERIES 'FOREST SHOP' NRO407-001; BROWN SM.
(PY3)	KOMPAN ROBINIA SERIES 'PARKOUR 002' NRO-852-1002; NATURAL FINISH, I0 STEEL FOOTINGS.
(PY4)	KOMPAN ROBINIA SERIES 'WATERLILY BALANCE' NRO-832-0913; NATURAL FINISH, I0
(TB1)	WISHBONE INDUSTRIES SPPTGP-40 (GALVANIZED AND POWDERCOATED) SAND COLOURED SLATS, BLACK TEXTURED POWDERCOAT.
(PY5)	KOMPAN MUSIC PIPES PLAY PANEL, RED WOOD POSTS, SM 'PCM000708-0001'

Lighting Legend

Symbol	Model
(L1)	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
(L2)	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), 'LED100 BL-S'
(L3)	BUILDING-MOUNTED, FULL CUTOFF

Fencing Legend

Symbol	Model
(F1)	5' HT. PRIVACY SCREEN
(F2)	42" HT. PICKET FENCE
(F3)	6' HT. PERIMETER FENCE

NO.	DATE	REVISION DESCRIPTION	DR.
1	17.OCT.25	UPDATE PER NEW SITE PLAN	CS
2	17.OCT.25	NEW SITE PLAN ISSUE FOR SUBMISSION	CS
3	17.NOV.08	UPDATE WITH AREA COUNTS	CS
4	18.MAY.08	UPDATE PER NEW SITE PLAN / RESOLVE	CS
5	18.JUN.08	REZONING REVISION	CS
6	18.JUL.11	UPDATE PER NEW SITE PLAN / RESOLVE	CS
7	18.AUG.07	UPDATE PER CLIENT COMMENTS	CS
8	18.AUG.07	UPDATE PER CLIENT COMMENTS	CS
9	18.AUG.27	UPDATE PER CLIENT COMMENTS	CS
10	18.AUG.28	UPDATE PER CLIENT COMMENTS	CS
11	18.OCT.30	ISSUED FOR DP	CS
12	18.NOV.01	COORDINATE TO NEW SITE PLAN/ISSUE DP	CS
13	18.NOV.08	UPDATE PER NEW SITE PLAN / RESOLVE	CS
14	18.DEC.13	UPDATE PER NEW SITE PLAN / RESOLVE	CS
15	18.FEB.15	UPDATE PER NEW SITE PLAN / RESOLVE	CS
16	18.FEB.15	UPDATE PER NEW SITE PLAN / RESOLVE	CS
17	17.FEB.15	UPDATE PER CLIENT COMMENTS/ISSUE FOR SUBMISSION	CS
18	17.FEB.15	UPDATE PER CLIENT COMMENTS/ISSUE FOR SUBMISSION	CS
19	15.JUN.11	UPDATE PER CITY COMMENTS	CS
20	15.JUN.17	UPDATE PER CITY COMMENTS	CS
21	15.AUG.01	UPDATE PER CITY COMMENTS	CS
22	15.AUG.08	ISSUED FOR SUBMISSION	CS

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
With Formworks Architecture

SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
AMENITY AREA
DETAIL PLANS

DATE: 17.APRIL.10 DRAWING NUMBER:
SCALE: 1/4"=1'-0" L9
DRAWN: MM
DESIGN: MM
CHKD: PCM OF 14

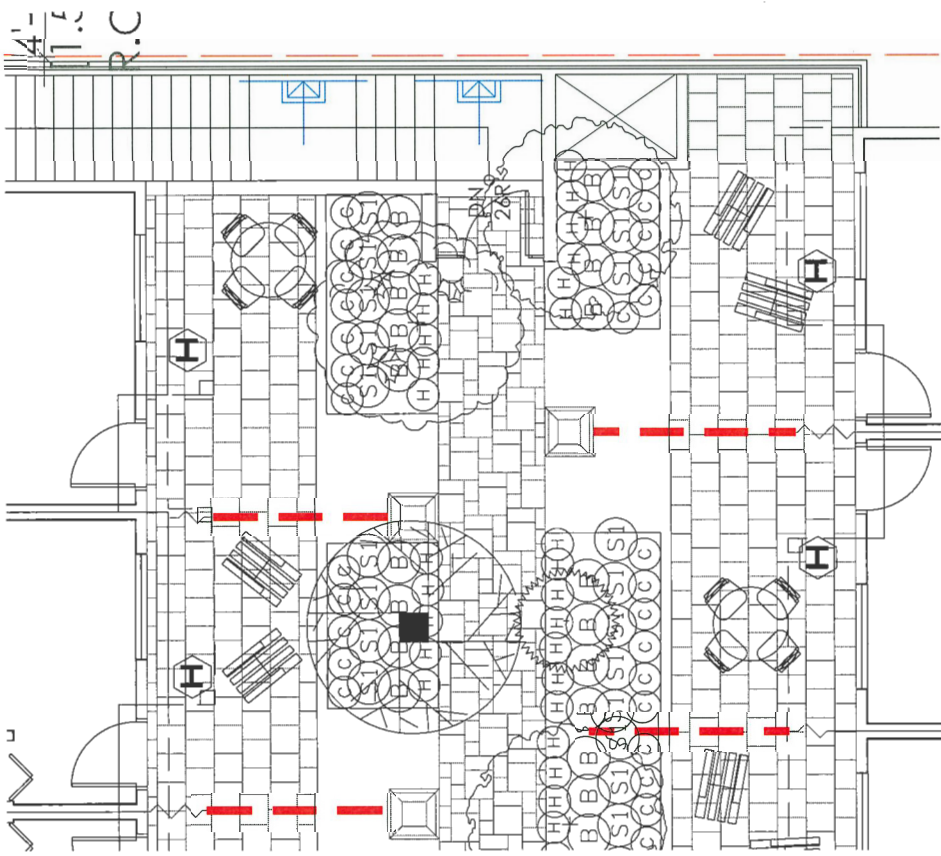
PMG PROJECT NUMBER: 17-039

DP 18-829140
PLAN # 3J
AUG 20 2019

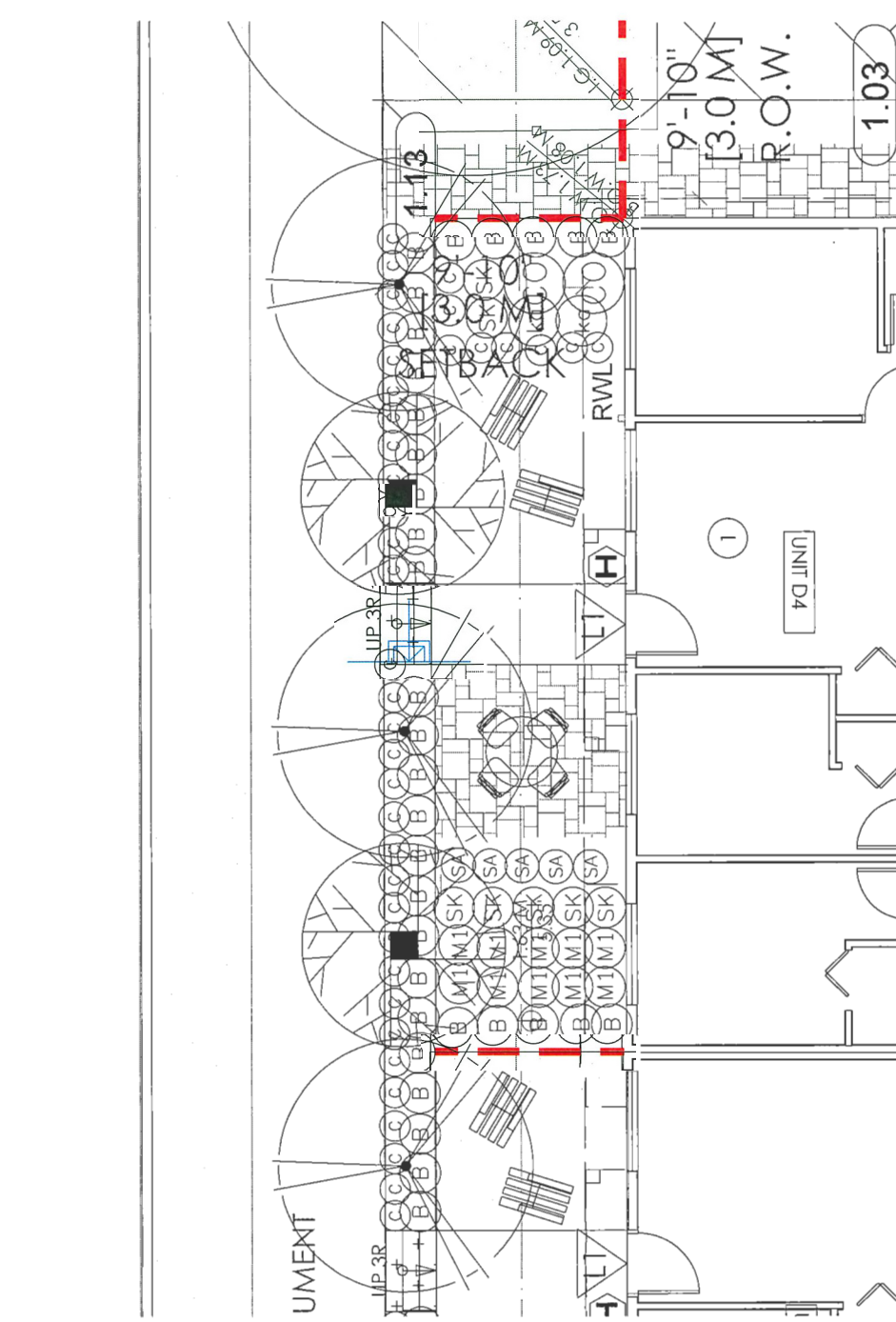
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pmg
LANDSCAPE ARCHITECTS
 Suite C100 - 4185 Still Creek Drive
 Richmond, B.C. V6X 2M9
 P: 604.294.8011 F: 604.294.0022

SEAL:



PODIUM LEVEL PATIOS - FURNITURE SHOWN FOR SCALE AND PROOF-OF-CONCEPT
 1/4" = 1'-0"



GROUND LEVEL FLATS' PATIOS - FURNITURE SHOWN FOR SCALE AND PROOF-OF-CONCEPT
 1/4" = 1'-0"

22	18 AUG 06	ISSUED FOR SUBMISSION	CG
21	18 AUG 01	UPDATE PER CITY COMMENTS	CG
20	19 JUN 27	UPDATE PER PATIO COMMENTS	CG
19	19 JUN 11	UPDATE PER CITY COMMENTS	CG
18	19 APR 28	UPDATE PER CITY COMMENTS/ISSUE SUBMISSION	CG
17	17 FEB 24	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CG
16	15 JAN 20	UPDATE PER NEW SITE PLAN / RESOLVE	CG
15	12 JAN 22	UPDATE FOR ASP SUBMISSION	CG
14	18 DEC 19	UPDATE PER CLIENT COMMENTS	CG
13	18 NOV 13	UPDATE PER NEW SITE PLAN / RESOLVE	CG
12	18 OCT 30	COORDINATE TO NEW SITE PLAN / RESOLVE	CG
11	18 OCT 30	ISSUED FOR ASP	CG
10	18 AUG 28	UPDATE PER CLIENT COMMENTS	CG
9	18 AUG 27	UPDATE PER CLIENT COMMENTS	CG
8	18 AUG 27	UPDATE PER CLIENT COMMENTS	CG
7	18 JUL 11	UPDATE PER NEW SITE PLAN / RESOLVE	CG
6	18 JUN 08	ALCOHOLING REVISIONS	CG
5	18 JUN 07	UPDATE PER NEW SITE PLAN	CG
4	18 MAY 08	UPDATE PER NEW SITE PLAN / RESOLVE	CG
3	17 NOV 15	UPDATE WITH AREA COUNTS	CG
2	17 NOV 08	NEW SITE PLAN/ISSUE FOR SUBMISSION	CG
1	17 OCT 25	UPDATE PER NEW SITE PLAN	CG

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
 With Formwerks Architecture
 SPIRES ROAD
 RICHMOND, B.C.

DRAWING TITLE:
PATIO LAYOUTS
DETAIL PLAN

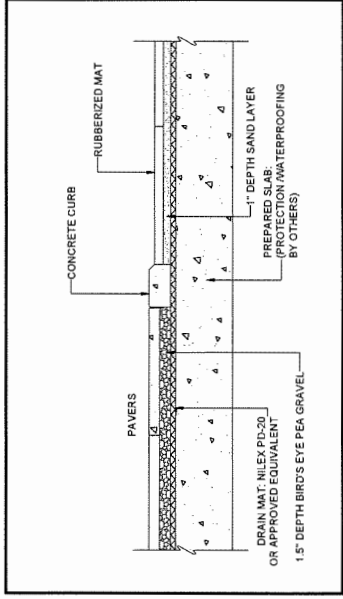
DATE: 17 APR 10 DRAWING NUMBER:
 SCALE: 1/16"=1'-0" **L10**
 DRAWN: MM
 DESIGN: MM
 CHKD: PCM
 OF 14

PMG PROJECT NUMBER: 17-039

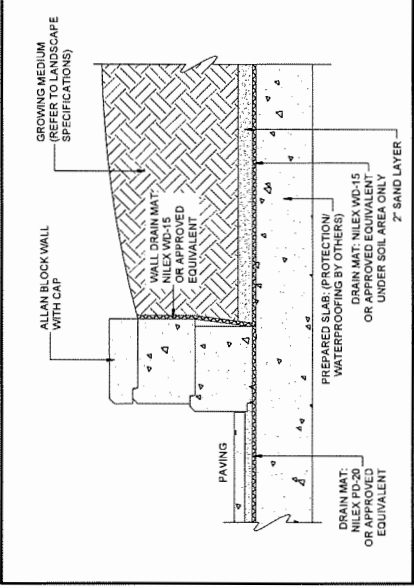
DP 18-829140
PLAN #.3K AUG 20 2019

17039-18.2P

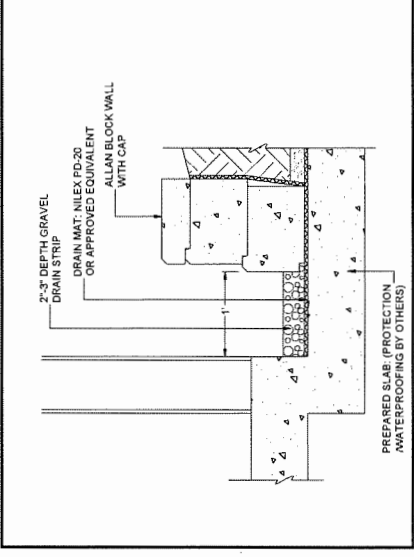
SEAL:



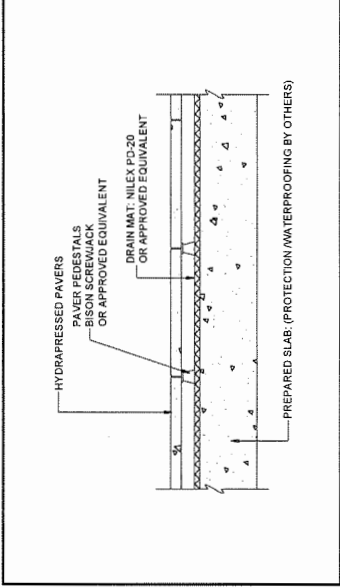
3 PLAY SURFACE ON SLAB
1'-11/2" - 0"



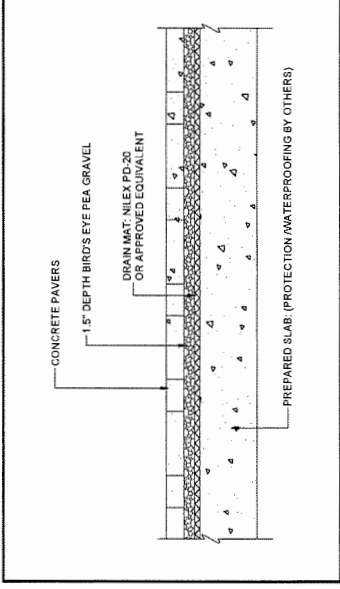
2 PLANTER WALL ON SLAB
1'-11/2" - 0"



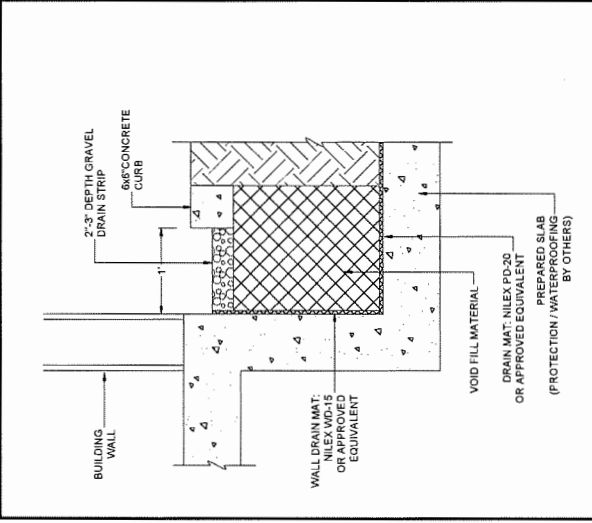
1 DRAIN ROCK STRIP AT BUILDING ON SLAB
1'-11/2" - 0"



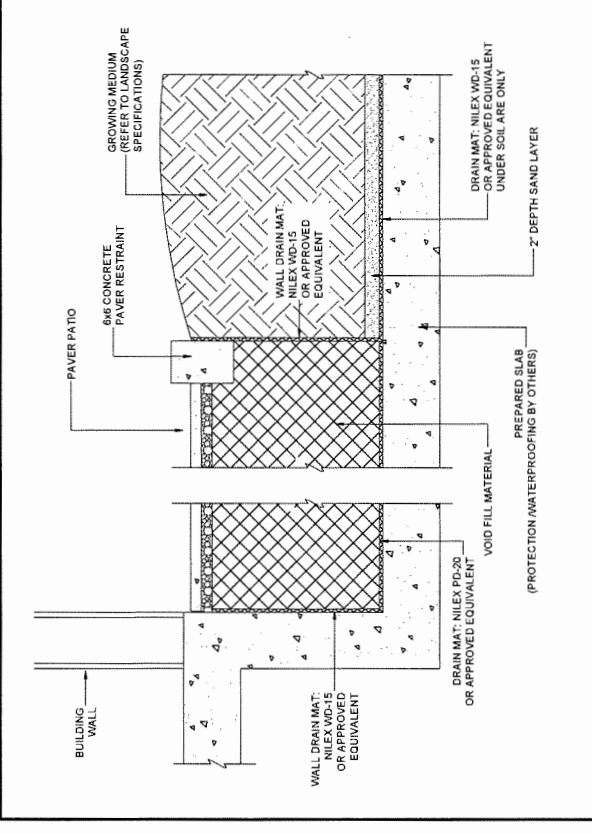
5 HYDRAPRESSED PAVERS ON SLAB
1'-11/2" - 0"



4 PAVERS ON SLAB
1'-11/2" - 0"



6 DRAIN STRIP AT BUILDING AT SLAB DROP
1'-11/2" - 0"



7 PATIO / LANDSCAPE AT SLAB DROP
1'-11/2" - 0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	17.05.21	UPDATE PER NEW SITE PLAN	CLE
2	17.05.21	UPDATE PER NEW SITE PLAN	CLE
3	17.05.21	UPDATE PER NEW SITE PLAN / RESOLVE	CLE
4	17.05.21	UPDATE PER NEW SITE PLAN / RESOLVE	PC
5	18.06.28	REZONING REVISION	CLE
6	18.06.28	REZONING REVISION	CLE
7	18.06.28	UPDATE PER NEW SITE PLAN	CLE
8	18.06.28	UPDATE PER NEW SITE PLAN / RESOLVE	CLE
9	18.06.28	UPDATE PER NEW SITE PLAN / RESOLVE	CLE
10	18.06.28	UPDATE PER NEW SITE PLAN / RESOLVE	CLE
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21	18.06.28	UPDATE PER NEW SITE PLAN / RESOLVE	CLE
22	18.06.28	UPDATE PER NEW SITE PLAN / RESOLVE	CLE

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT
With Formworks Architecture

SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
LANDSCAPE ON-SLAB DETAILS

DATE: 17-APRIL-20
SCALE: AS NOTED
DRAWN: MM
DESIGN: MM
CHKD: PCM
DRAWING NUMBER: **L11**
OF 14
PMG PROJECT NUMBER: 17-039

DP 18" 829140
PLAN # 3L
AUG 20 2019

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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6S9
P: 604 294-0011 F: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
22	15.AUG.09	ISSUED FOR SUBMISSION	CLG
21	15.AUG.09	UPDATE PER CITY COMMENTS	CLG
20	15.JUN.11	UPDATE PER CITY COMMENTS	CLG
19	15.JUN.11	UPDATE PER CITY COMMENTS	CLG
18	15.AUG.09	UPDATE PER CITY COMMENTS/ISSUE SUBMISSION	CLG
17	15.AUG.09	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CLG
16	15.AUG.09	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CLG
15	15.AUG.09	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CLG
14	15.AUG.09	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CLG
13	15.AUG.09	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CLG
12	15.AUG.09	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CLG
11	18.OCT.00	BASED FOR SP	CLG
10	15.AUG.09	UPDATE PER CITY COMMENTS	CLG
9	15.AUG.09	UPDATE PER CITY COMMENTS	CLG
8	15.AUG.09	UPDATE PER CITY COMMENTS	CLG
7	15.AUG.11	UPDATE PER CITY COMMENTS/ISSUE FOR ASP	CLG
6	15.AUG.09	REVISION SUBMISSION	CLG
5	15.AUG.09	UPDATE PER CITY COMMENTS	CLG
4	15.AUG.09	UPDATE PER CITY COMMENTS	CLG
3	17.NOV.05	UPDATE WITH AREA COUNTS	CLG
2	17.NOV.05	NEW PER PLAN/ISSUE FOR SUBMISSION	CLG
1	17.OCT.05	UPDATE PER CITY COMMENTS	CLG

CLIENT:

PROJECT:
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With Formworks Architecture

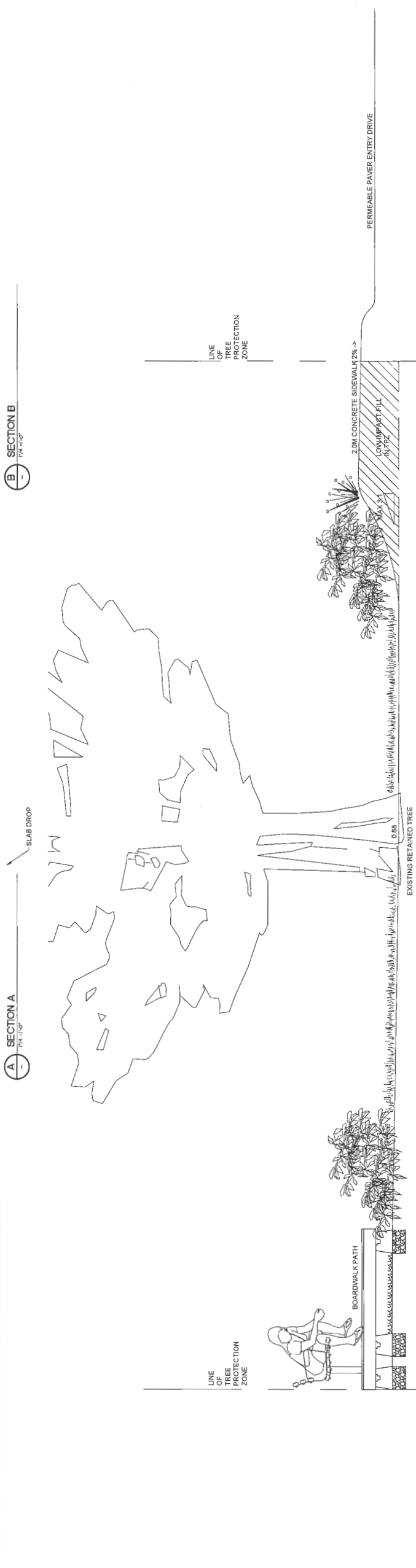
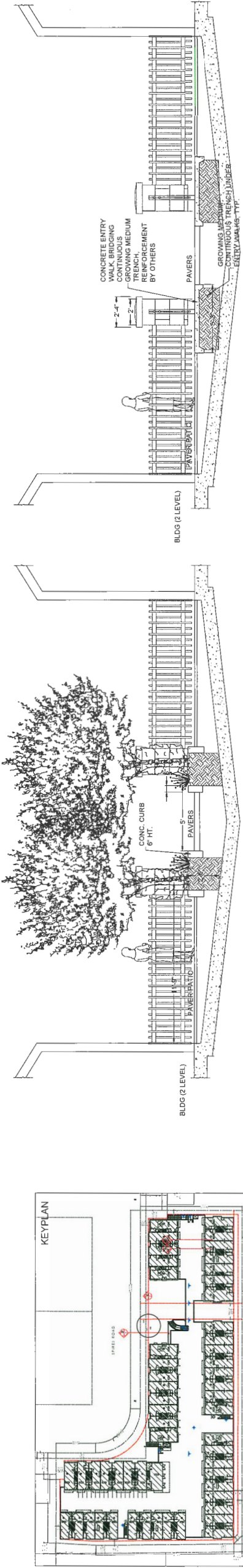
SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
LANDSCAPE SECTIONS

DATE: 17.APRIL.10
SCALE: 1/8"=1'-0"
DRAWN: MM
DESIGN: MM
CHKD: PCM

L13
OF 14

PMG PROJECT NUMBER: 17-039



DP 18-829140
PLAN # 3N
AUG 20 2019

17039-182P

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22	18.AUG.06	SUBMITTED FOR SUBMISSION	CLE
21	18.AUG.05	UPDATE PER CITY COMMENTS	CLE
20	18.JUN.27	UPDATE PER CITY COMMENTS	CLE
19	18.JUN.11	UPDATE PER CITY COMMENTS	CLE
18	18.AUG.05	UPDATE PER CITY COMMENTS / SEE E-COP FOR REVISION	CLE
17	18.AUG.05	UPDATE PER CITY COMMENTS / SEE E-COP FOR REVISION	CLE
16	18.AUG.05	UPDATE PER CITY COMMENTS / SEE E-COP FOR REVISION	CLE
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CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
With Formwerks Architecture

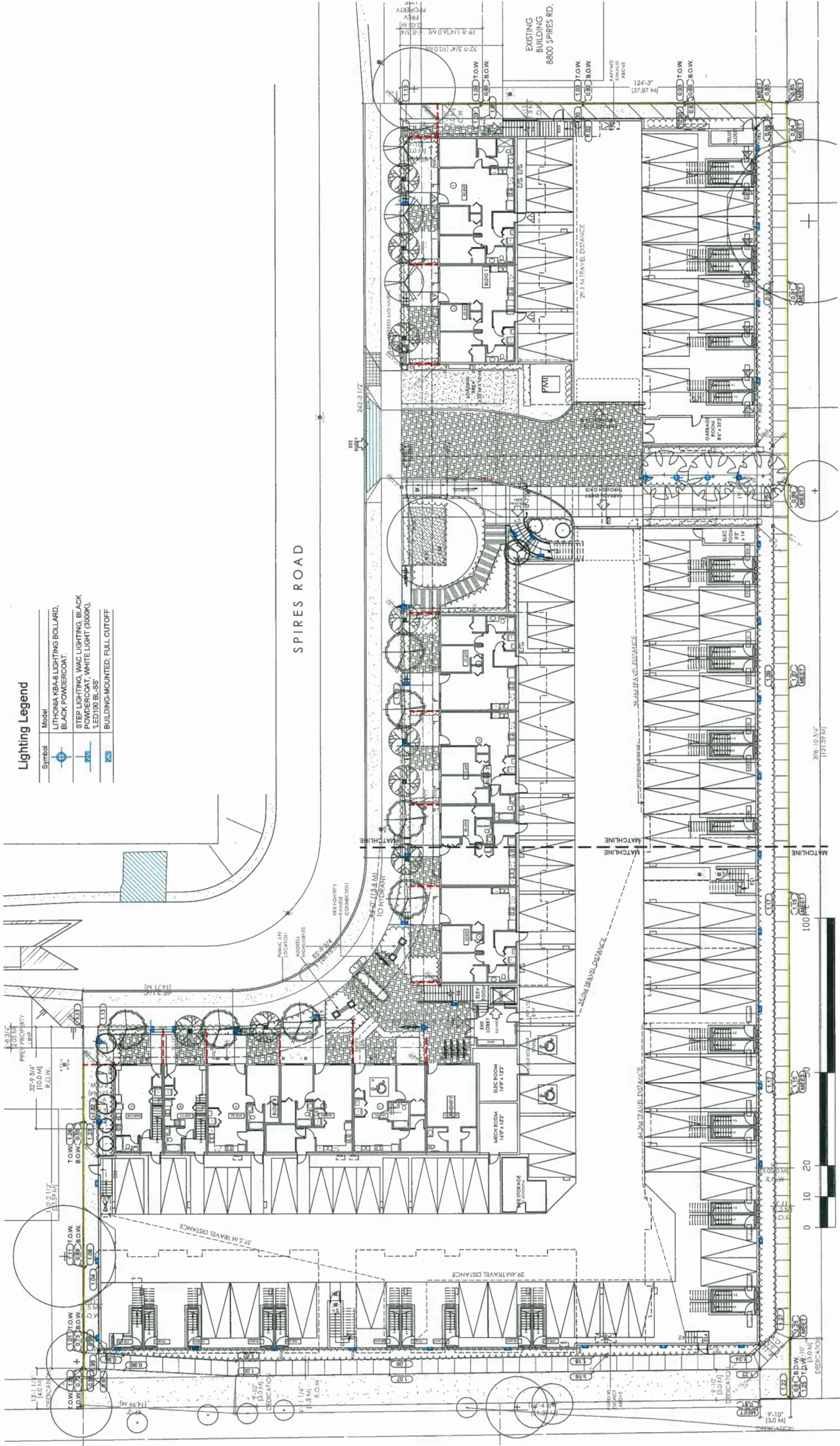
SPIRES ROAD
RICHMOND, B.C.

DRAWING TITLE:
LANDSCAPE LIGHTING
LAYOUT

DATE: 17.APRIL.10 DRAWING NUMBER:
SCALE: 1/16"=1'-0" **L14**
DRAWN: MM
DESIGN: MM
CHKD: PCM
OF 14
PMG PROJECT NUMBER: 17-039

Lighting Legend

Symbol	Model
	LITHONIA KBA-8 LIGHTING BOLLARD, BLACK POWDERCOAT.
	STEP LIGHTING, WAC LIGHTING, BLACK POWDERCOAT, WHITE LIGHT (3000K), LED100 BL-SS
	BUILDING-MOUNTED, FULL CUTOFF



AUG 20 2019

DP 18-829140

PLAN # 30

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 JUN. 08, 2018 ISSUED FOR REZONING
 JUL. 12, 2018 RE-ISSUED FOR DP
 AUG. 20, 2018 RE-ISSUED FOR REZONING/DP
 NOV. 13, 2018 RE-ISSUED FOR DP
 JAN. 31, 2019 ISSUED FOR ADVISORY DESIGN PANEL
 APR. 10, 2019 RE-ISSUED FOR DP
 JUL. 3, 2019 RE-ISSUED FOR DP
 AUG. 7, 2019

19.08.07
 REVISED PER DP COMMENTS
 RECEIVED ON JULY 23, 2019.



ALABASTER
 HOMES

FORMWERKS
 ARCHITECTURAL
 1625 West 8th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-8441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
PERSPECTIVES

SCALE N/A
 SHEET
 DATE MARCH 2017
A0.08



PRIVATE OUTDOOR SPACE



SITE ENTRY



OUTDOOR GATHERING SPACE

SPIRES GATE DEVELOPMENT

AUG 20 2019 PLAN #4

DP 10-829140

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NOV. 16, 2017	RE-ISSUED FOR RETONING
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AUG. 20, 2018	RE-ISSUED FOR RETONING/DP
NOV. 13, 2018	ISSUED FOR ADVISORY DESIGN PANEL
JAN. 31, 2019	RE-ISSUED FOR DP
AUG. 23, 2019	RE-ISSUED FOR DP
AUG. 7, 2019	RE-ISSUED FOR DP

REVISD PER DP COMMENTS RECEIVED ON JULY 23, 2019. 19/08/07

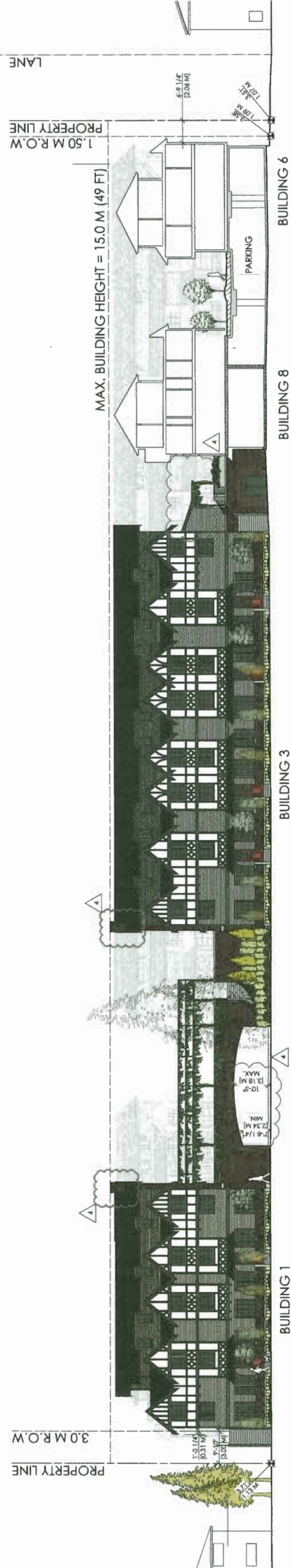
ALABASTER HOMES

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 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-5441

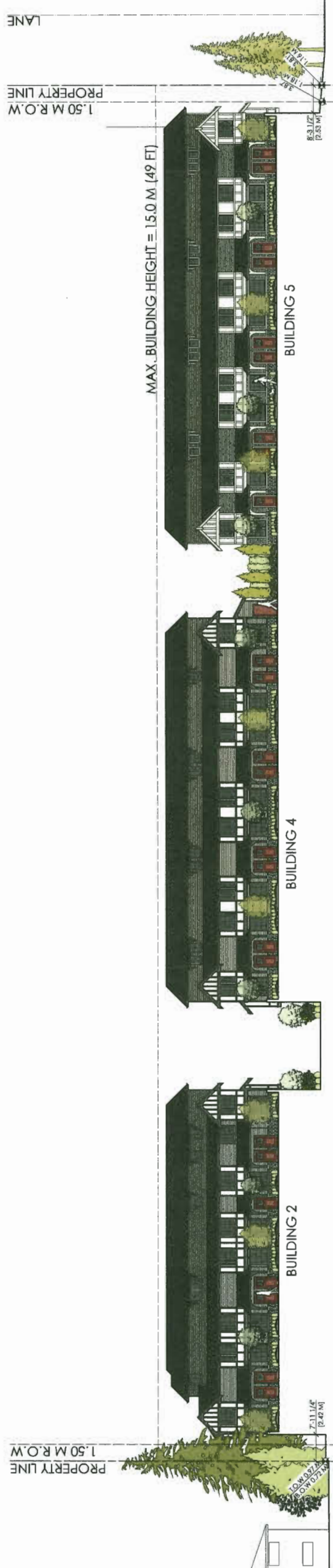
PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
STREETSCAPES

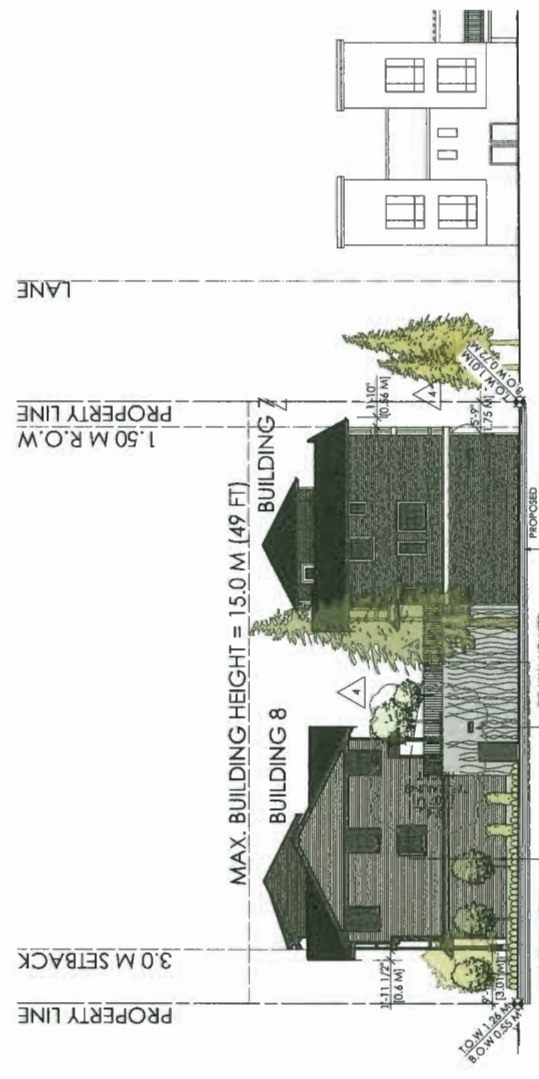
SCALE 1/16" = 1'-0"
 SHEET A1.13
 DATE MARCH 2017



A - NORTH STREETSCAPE (SPIRES ROAD)
 1/16" = 1'-0"



B - NORTH STREETSCAPE (COURTYARD)
 1/16" = 1'-0"



C - NORTH STREETSCAPE
 1/16" = 1'-0"



PLAN # 4A

AUG 20 2019 DP 18-829140

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NOV. 16, 2017
REISSUED FOR REZONING

JUN. 06, 2018
REISSUED FOR REZONING

JUL. 12, 2018
REISSUED FOR REZONING

AUG. 20, 2018
REISSUED FOR REZONING/DP

NOV. 13, 2018
REISSUED FOR DP

JAN. 31, 2019
ISSUED FOR ADVISORY DESIGN PANEL

APR. 26, 2019
REISSUED FOR DP

JUL. 3, 2019
REISSUED FOR DP

AUG. 7, 2019
REISSUED FOR DP

REVISED PER DP COMMENTS
RECEIVED ON JULY 23, 2019.

19.08.07

ALBASTER
HOMES

FORMWERKS
ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1J5
Fax: 685-2076 Phone: 685-3441

PROJECT

**SPIRES
ROAD**

8900 SPIRES ROAD
RICHMOND, BC

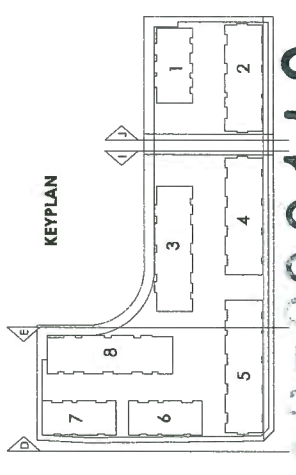
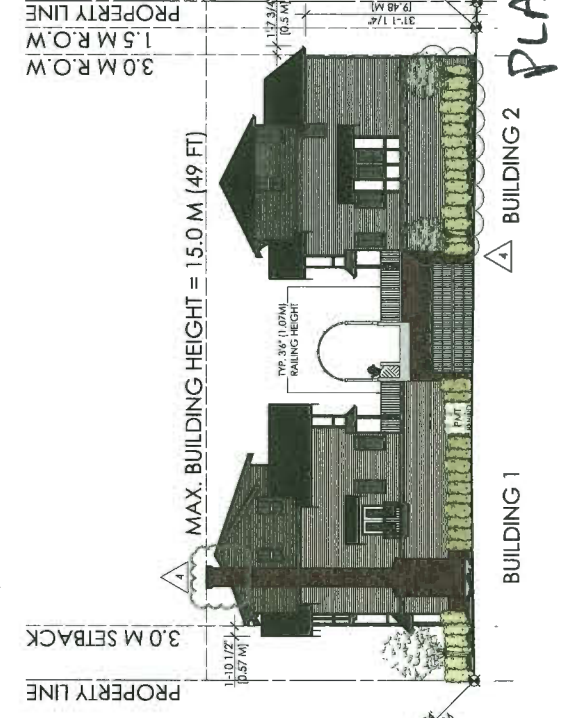
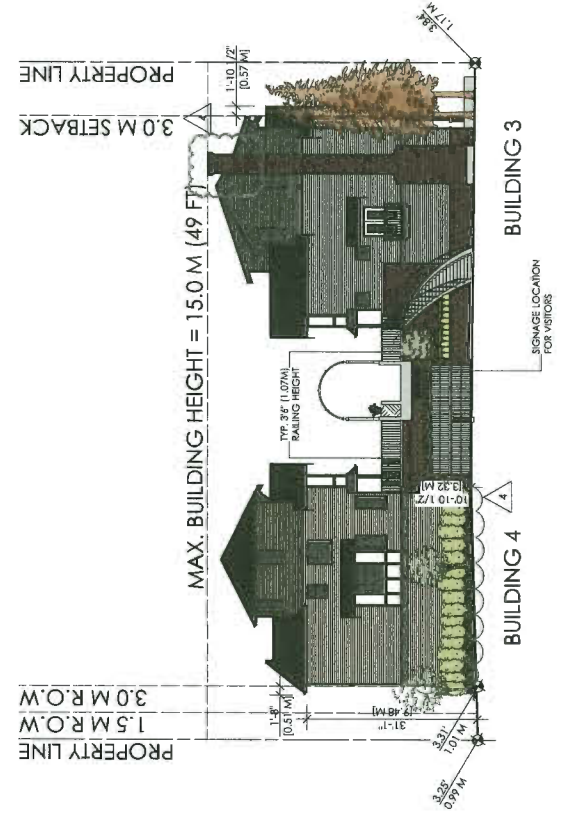
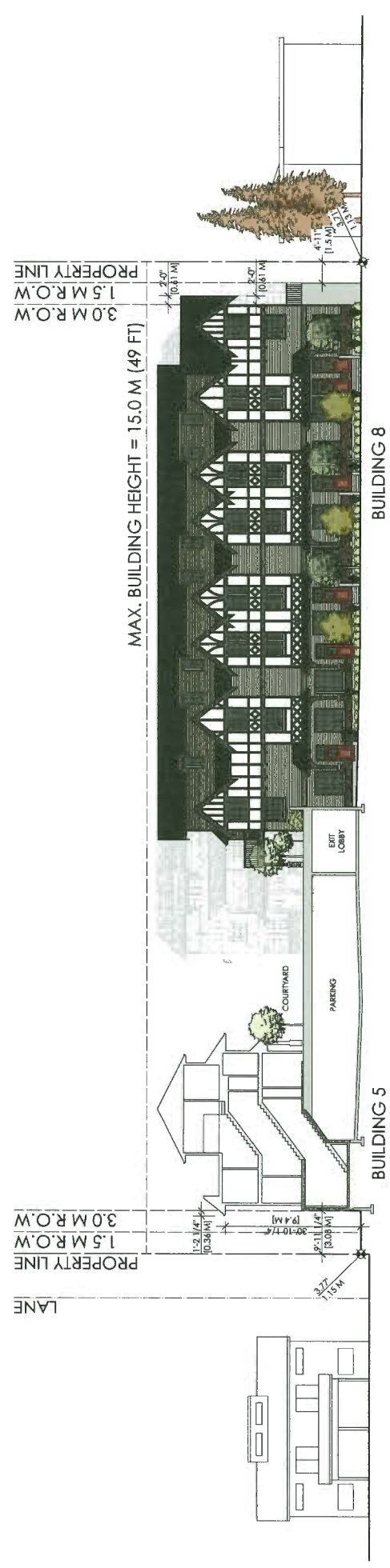
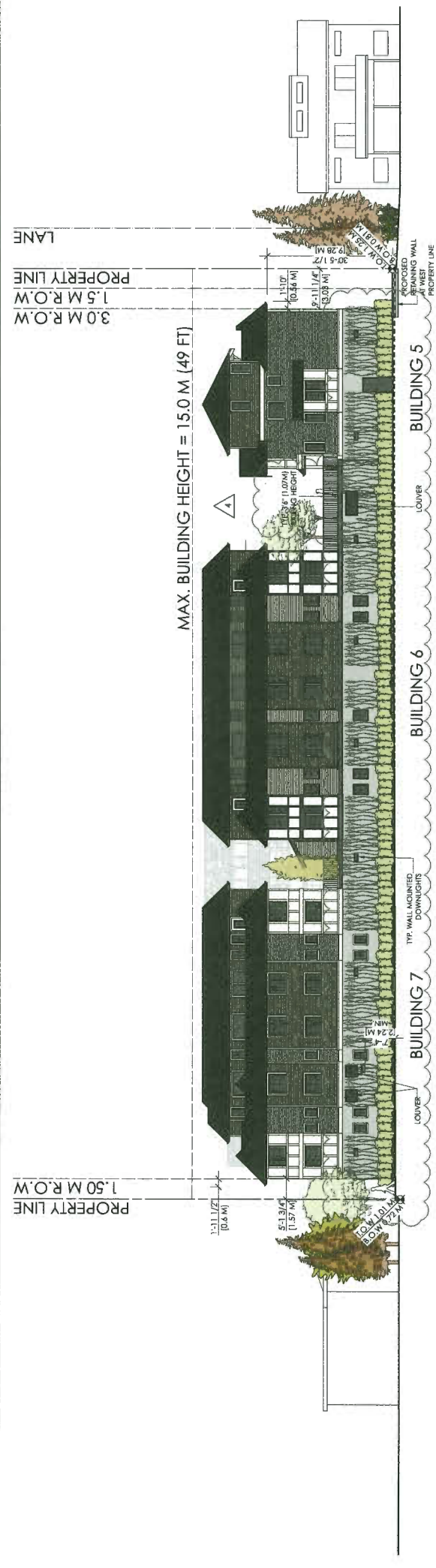
DRAWING

STREETSCAPES

SCALE 1/16" = 1'-0"

SHEET **A1.14**

DATE MARCH 2017



PLAN # 4B

OP 18-829140

AUG 20 2019

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NOV. 14, 2017	RE-ISSUED FOR REZONING
JUN. 08, 2018	RE-ISSUED FOR REZONING
JUL. 12, 2018	RE-ISSUED FOR REZONING
AUG. 20, 2018	RE-ISSUED FOR REZONING/DP
NOV. 13, 2018	RE-ISSUED FOR DP
JAN. 31, 2019	ISSUED FOR ADVISORY DESIGN PANEL
APR. 23, 2019	RE-ISSUED FOR DP
JUL. 23, 2019	RE-ISSUED FOR DP
AUG. 7, 2019	RE-ISSUED FOR DP

19.08.07
REVISED PER DP COMMENTS
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Fax: 685-2076 Phone: 683-5441

PROJECT

SPIRES
ROAD

8900 SPIRES ROAD
RICHMOND, BC

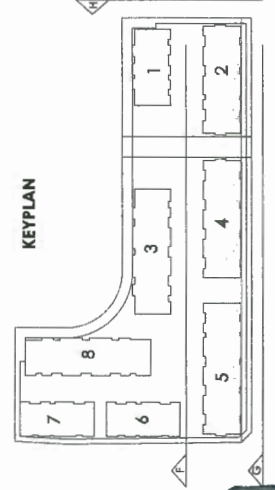
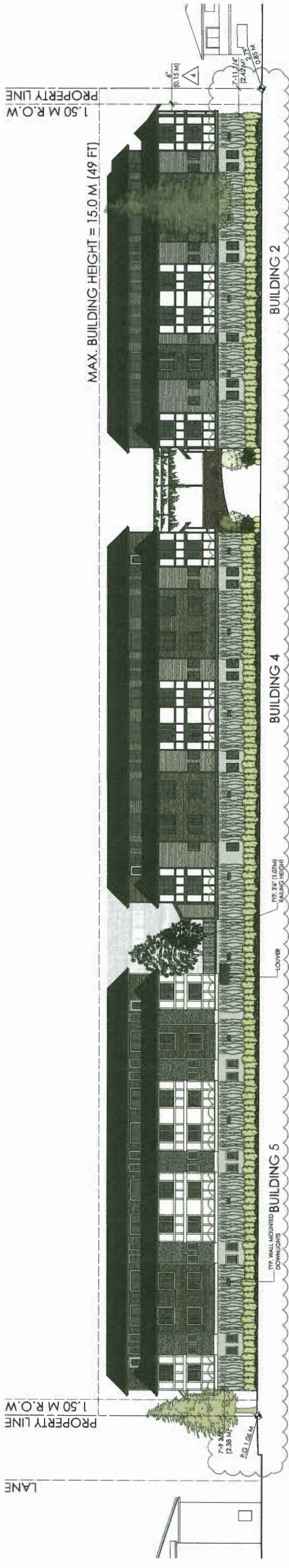
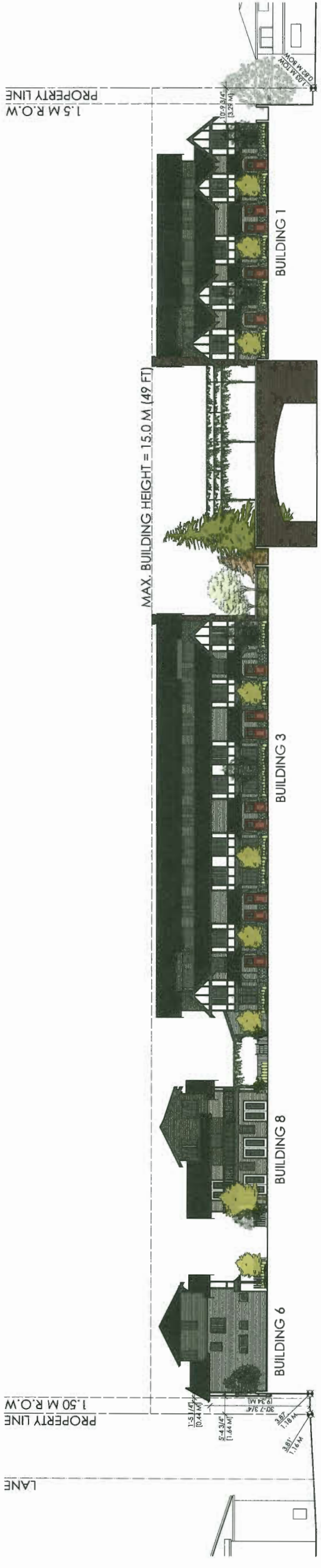
DRAWING

STREETSCAPES

SCALE 1/16"=1'-0"

DATE MARCH 2017

SHEET
A1.15



AUG 20 2019
PLAN # 4C

DP 18-829140

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REVISIONS
MAR. 14, 2017 ISSUED FOR REZONING
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JUN. 09, 2018 RE-ISSUED FOR REZONING
JUL. 12, 2018 RE-ISSUED FOR DP
AUG. 20, 2018 RE-ISSUED FOR REZONING/DP
NOV. 13, 2018 RE-ISSUED FOR DP
JAN. 31, 2019 RE-ISSUED FOR DP
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Fax 685-2076 Phone 683-5441

PROJECT

SPIRES
ROAD

8900 SPIRES ROAD
RICHMOND, BC

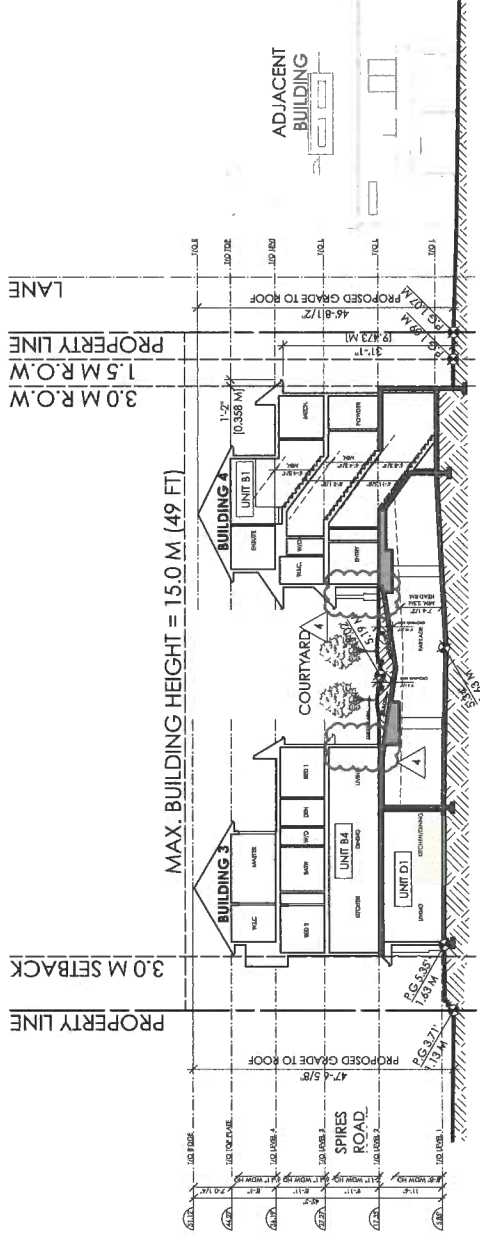
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SITE SECTIONS

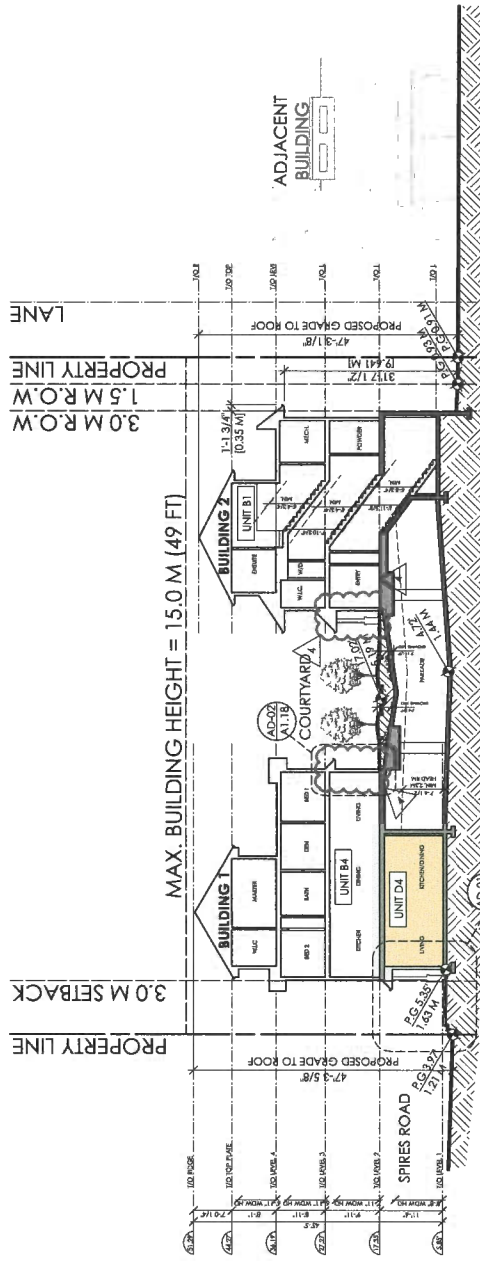
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DATE MARCH 2017

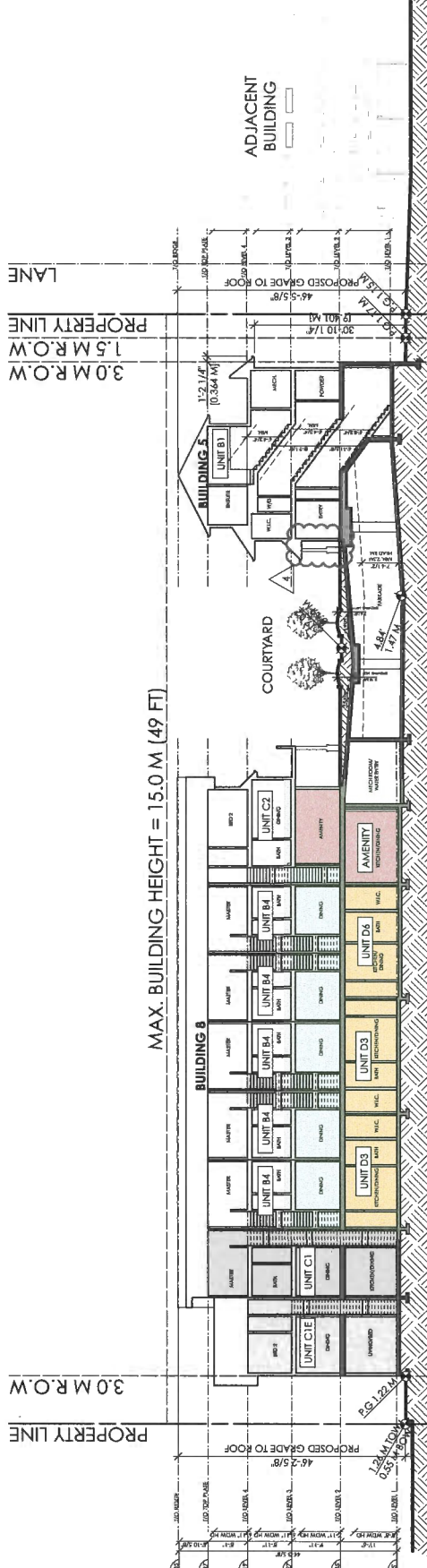
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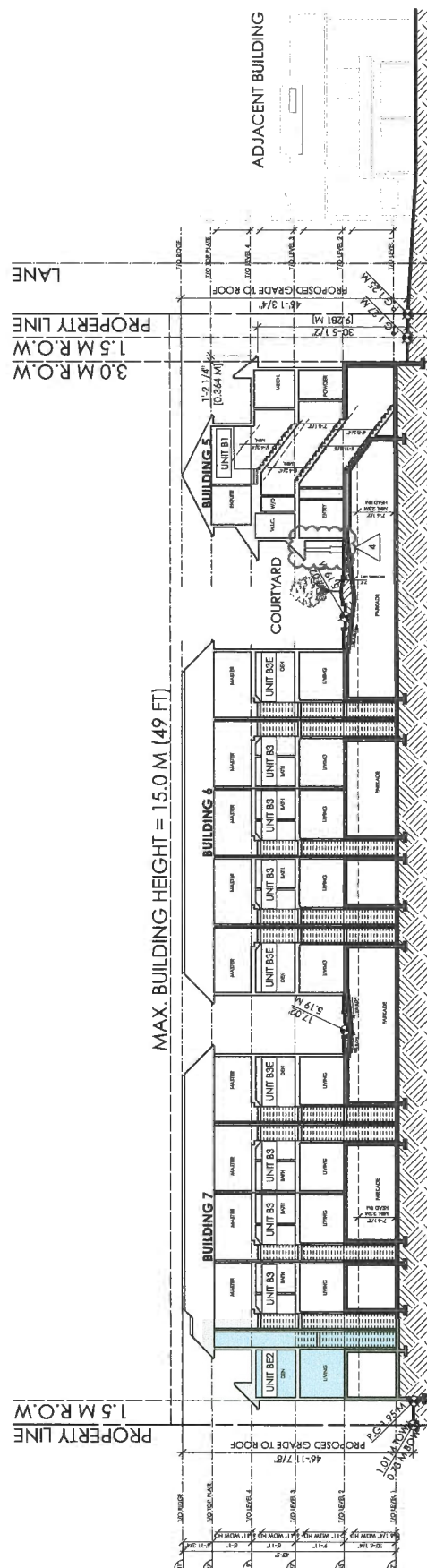
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SITE SECTION B-B
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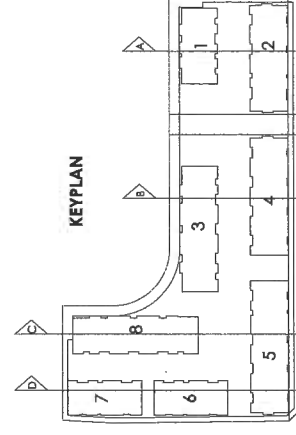


SITE SECTION C-C
1/16" = 1'-0"



SITE SECTION D-D
1/16" = 1'-0"

UNIT LEGEND	
	2 BEDROOM TOWNHOUSE
	3 BEDROOM TOWNHOUSE
	3 BEDROOM TOWNHOUSE + LOCK-OFF SUITE
	4 BEDROOM TOWNHOUSE
	1 BEDROOM GARDEN UNIT
	2 BEDROOM GARDEN UNIT
	3 BEDROOM GARDEN UNIT



AUG 20 2019
PLAN # 4D
DP 16-829140

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JUL. 12, 2018	RE-ISSUED FOR REZONING
AUG. 20, 2018	RE-ISSUED FOR REZONING/DP
NOV. 13, 2018	RE-ISSUED FOR DP
JAN. 31, 2019	ISSUED FOR ADVISORY DESIGN PANEL
FEB. 26, 2019	RE-ISSUED FOR DP
AUG. 7, 2019	RE-ISSUED FOR DP

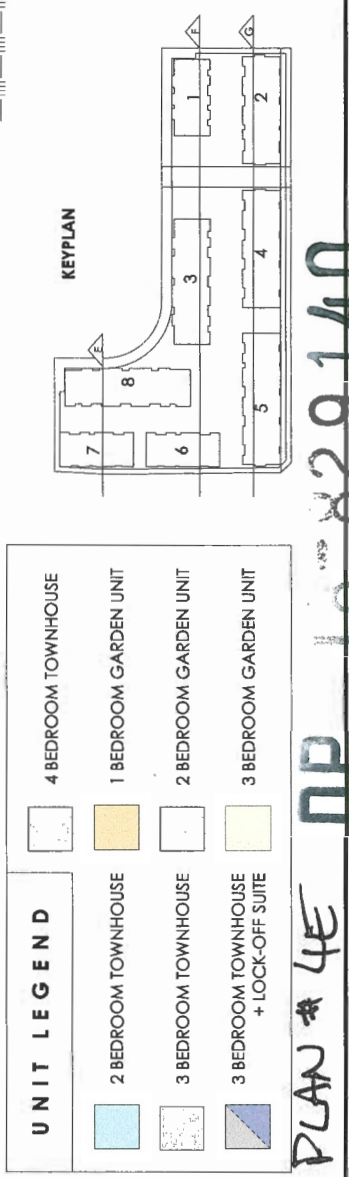
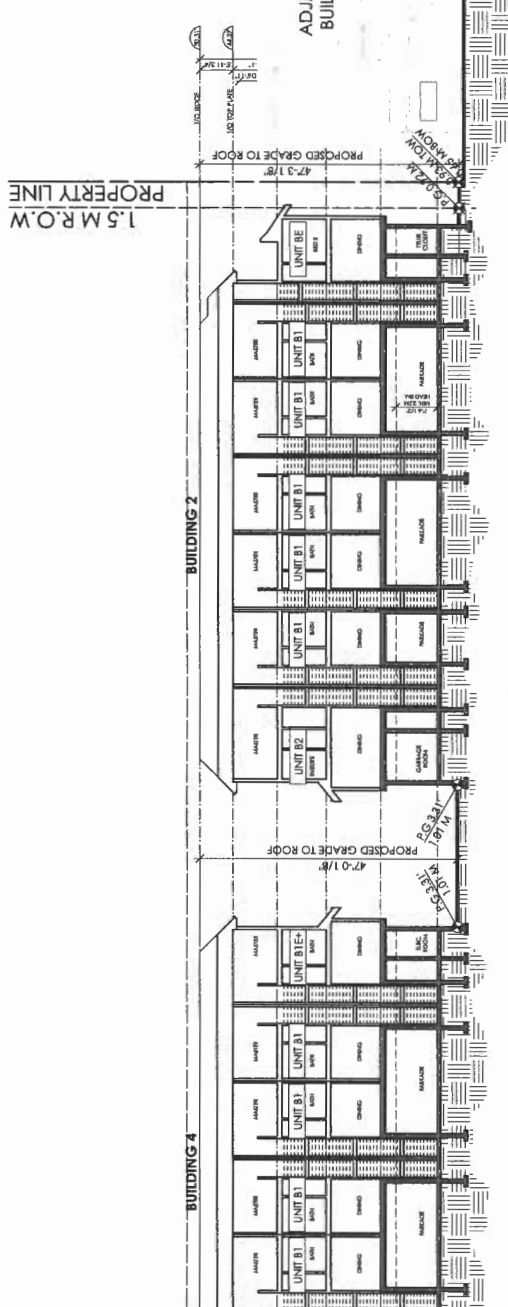
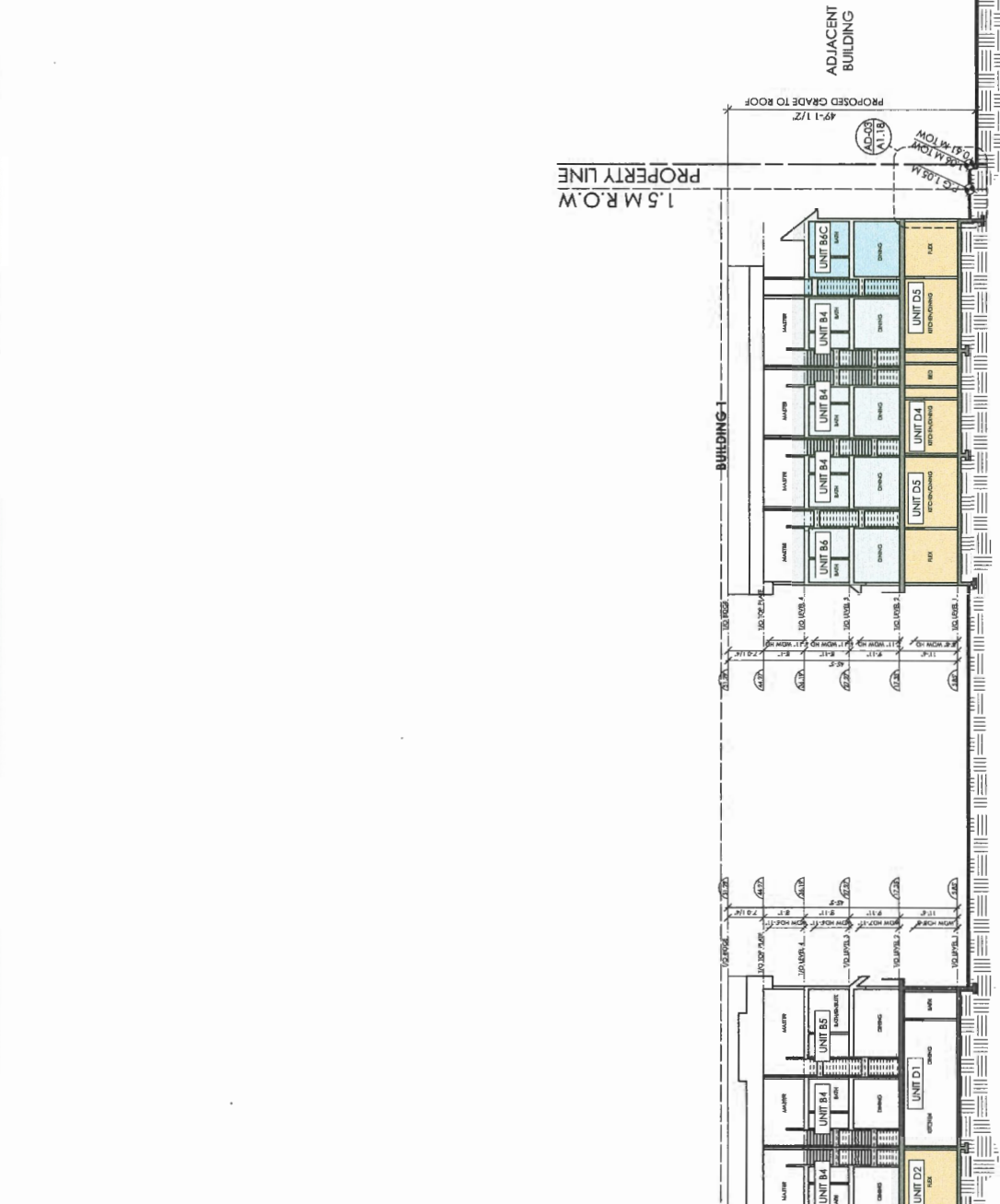
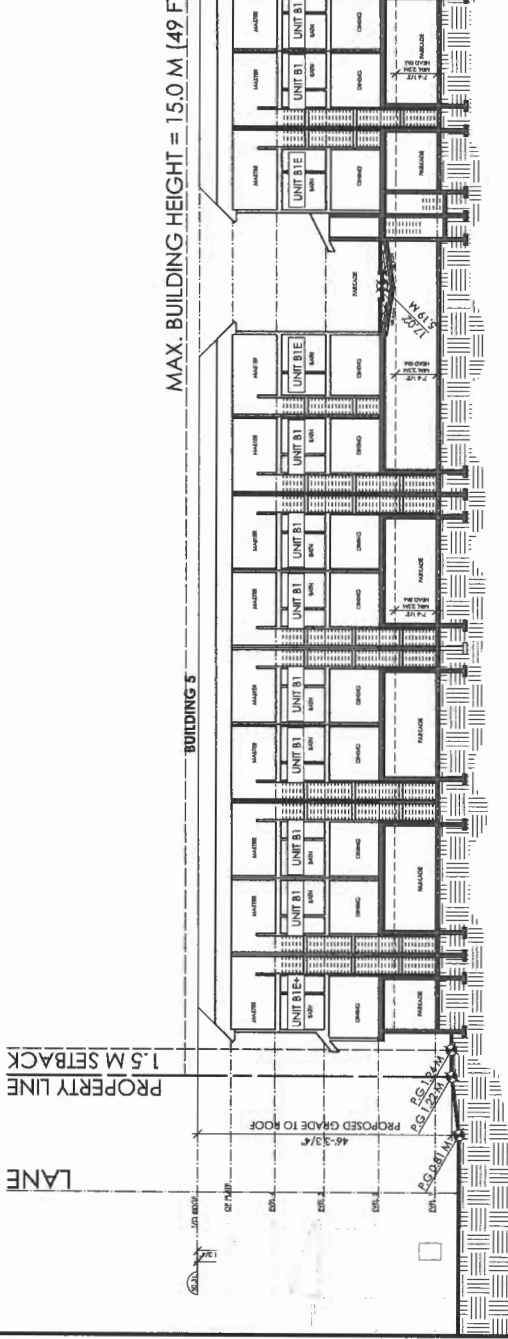
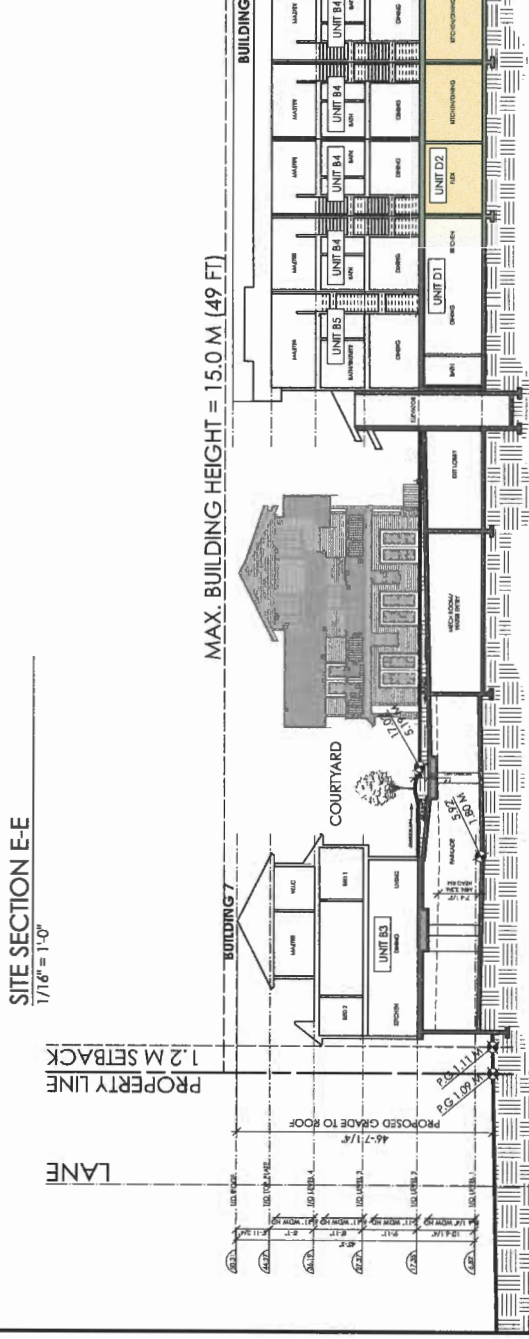
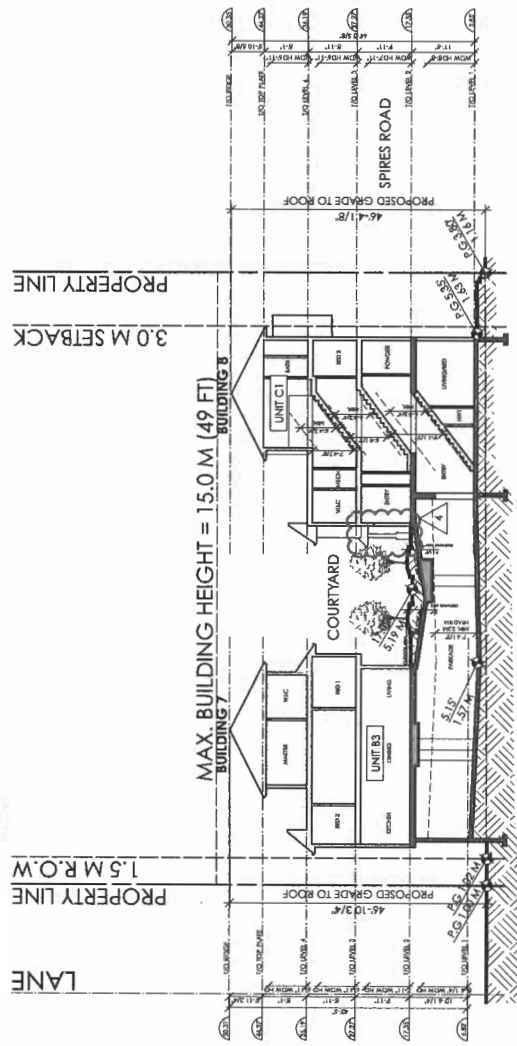
REVISIONS PER DP COMMENTS RECEIVED ON JULY 23, 2019.
 19.08.07

ALBASTER HOMES

FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 685-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
SITE SECTIONS
 SCALE 1/16" = 1'-0"
 DATE MARCH 2017
 SHEET **A1.17**



AUG 20 2019

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 RE-ISSUED FOR REZONING/AUG. 20, 2018
 RE-ISSUED FOR DP NOV. 13, 2018
 RE-ISSUED FOR DP NOV. 31, 2019
 RE-ISSUED FOR DP APR. 24, 2019
 RE-ISSUED FOR DP AUG. 7, 2019

REVISED PER DP COMMENTS RECEIVED ON JULY 23, 2017. 19.08.07



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Phone 483-5441
Fax 483-2076

PROJECT

SPIRES ROAD

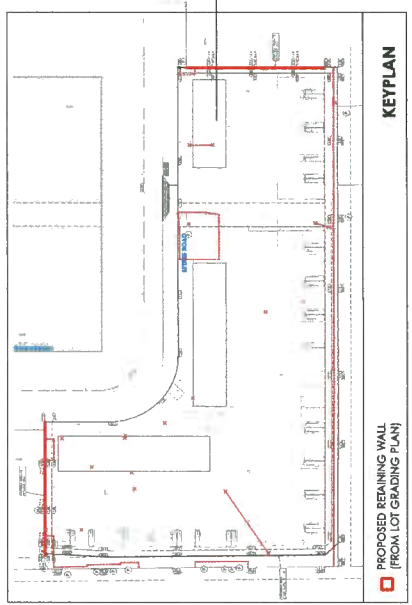
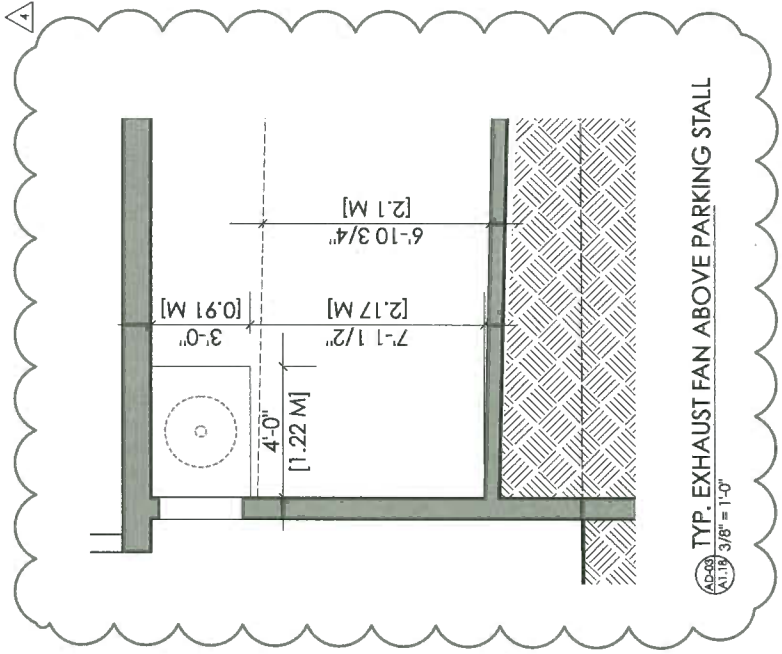
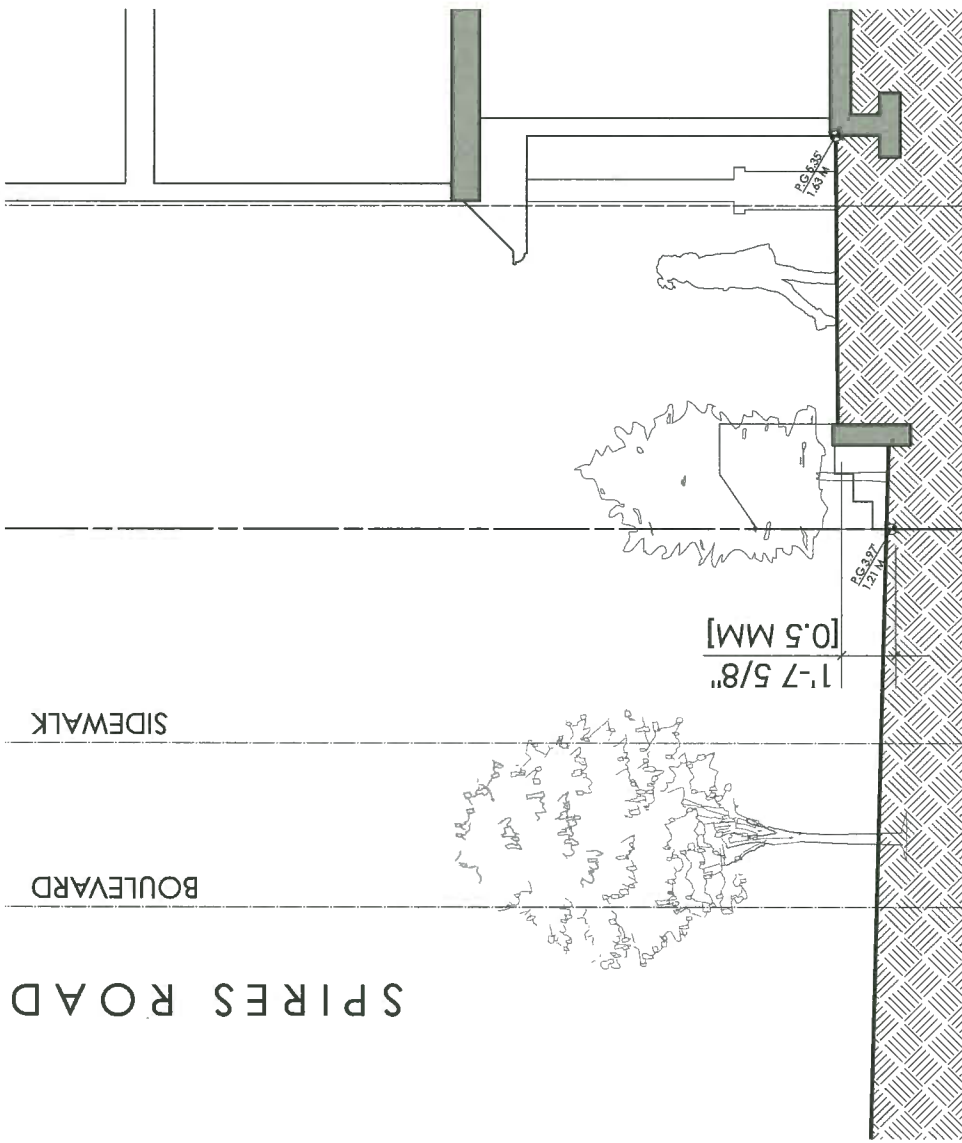
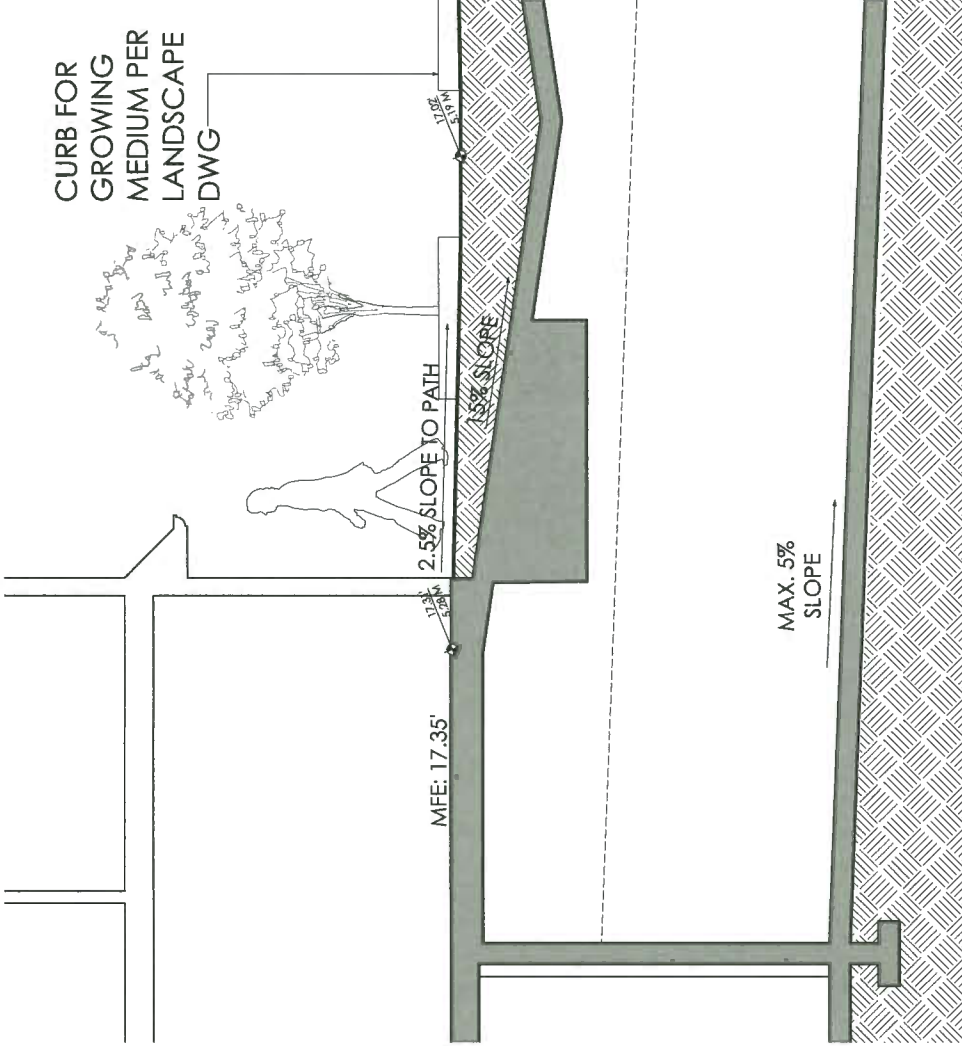
8900 SPIRES ROAD
RICHMOND, BC

DRAWING

SITE SECTIONS
AUG 20 2019

SCALE 1/16" = 1'-0"

SHEET A1.18
DATE MARCH 2017



PLAN # 4F

DP 16-829140

TYP. RETAINING WALL @ PROPERTY LINE
SCALE 3/8" = 1'-0"

TYP. EXHAUST FAN ABOVE PARKING STALL
SCALE 3/8" = 1'-0"

KEYPLAN

PROPOSED RETAINING WALL (FROM LOT GRADING PLAN)

AUG 20 2019

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 NOV. 16, 2017 RE-ISSUED FOR RETONING
 JUN. 08, 2018 RE-ISSUED FOR RETONING
 JUL. 12, 2018 RE-ISSUED FOR RETONING
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 JAN. 31, 2019 ISSUED FOR ADVISORY DESIGN PANEL
 APR. 26, 2019 RE-ISSUED FOR DP
 AUG. 7, 2019 RE-ISSUED FOR DP

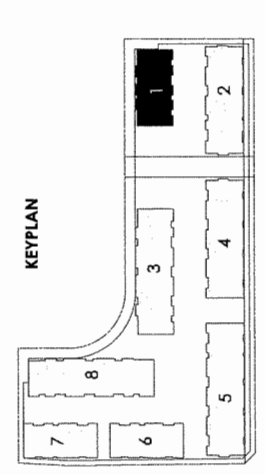
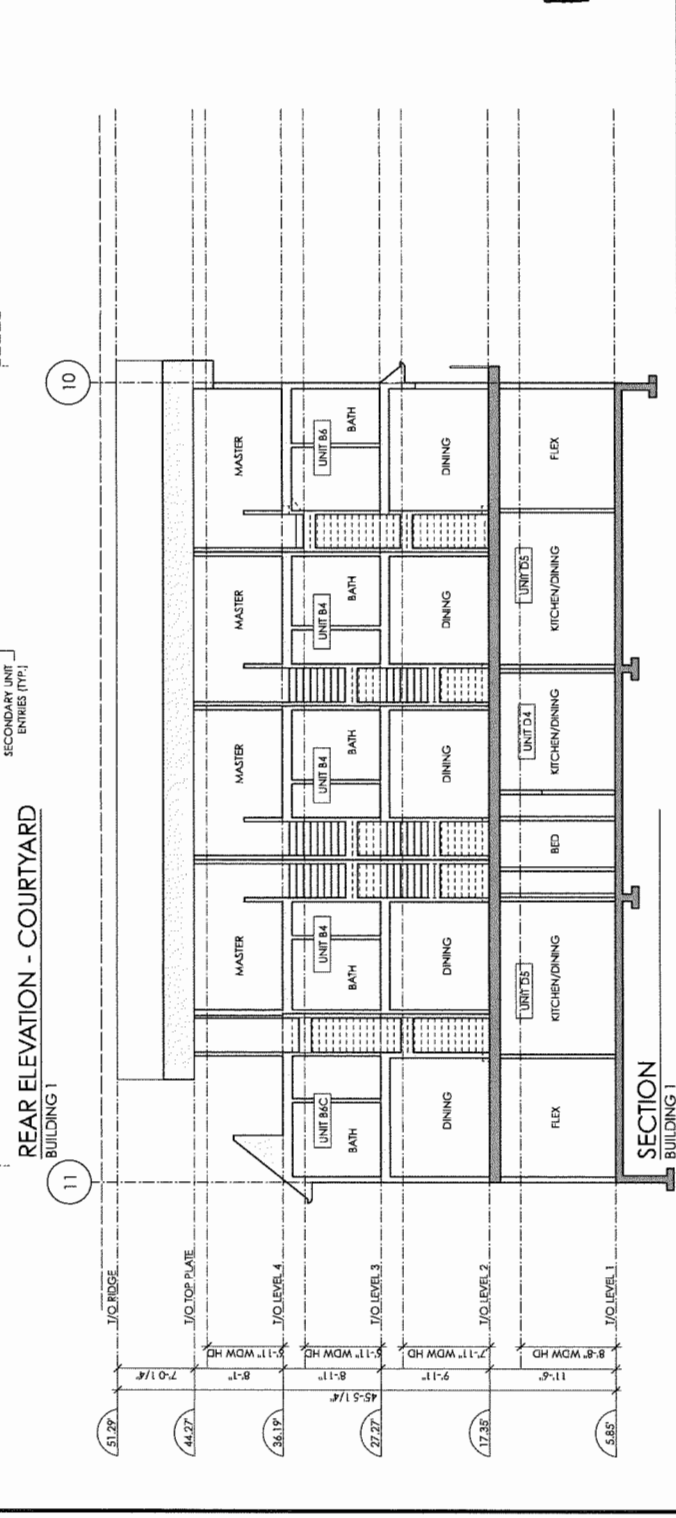
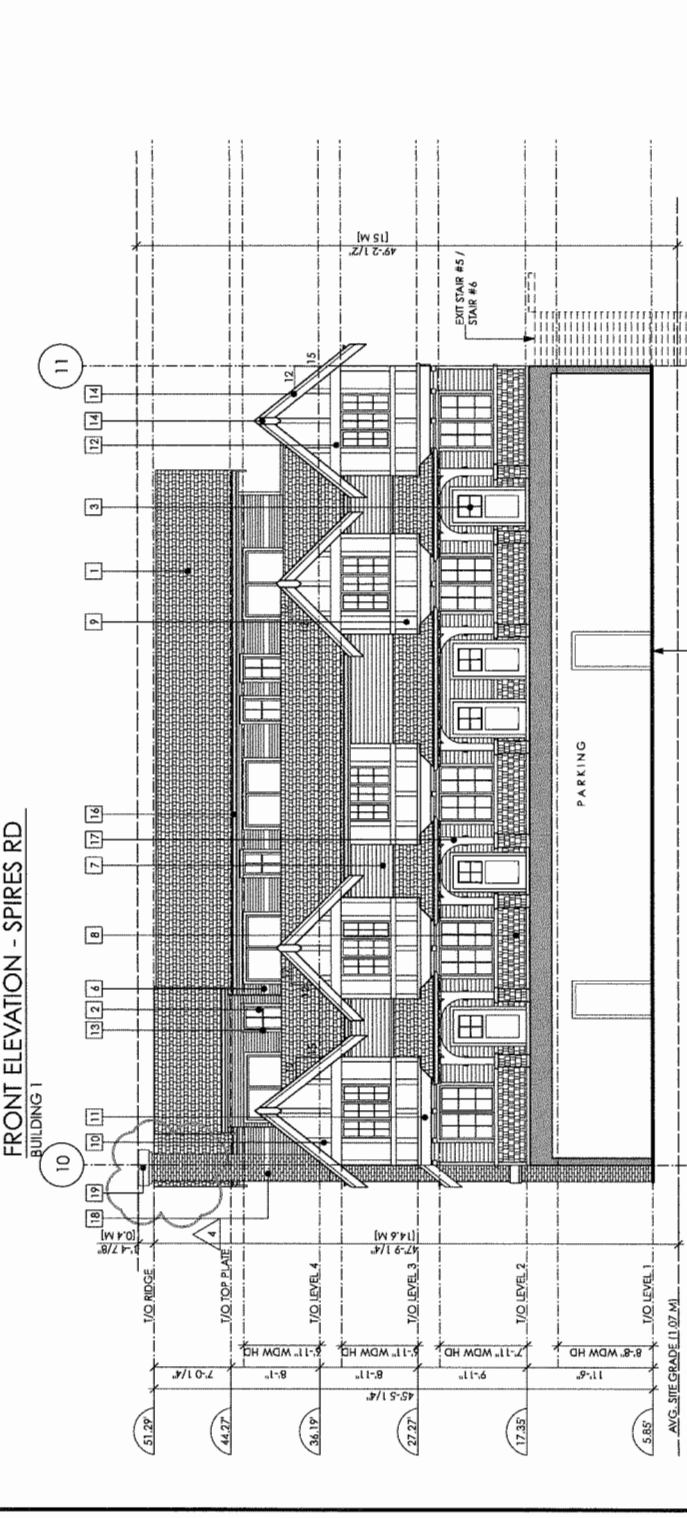
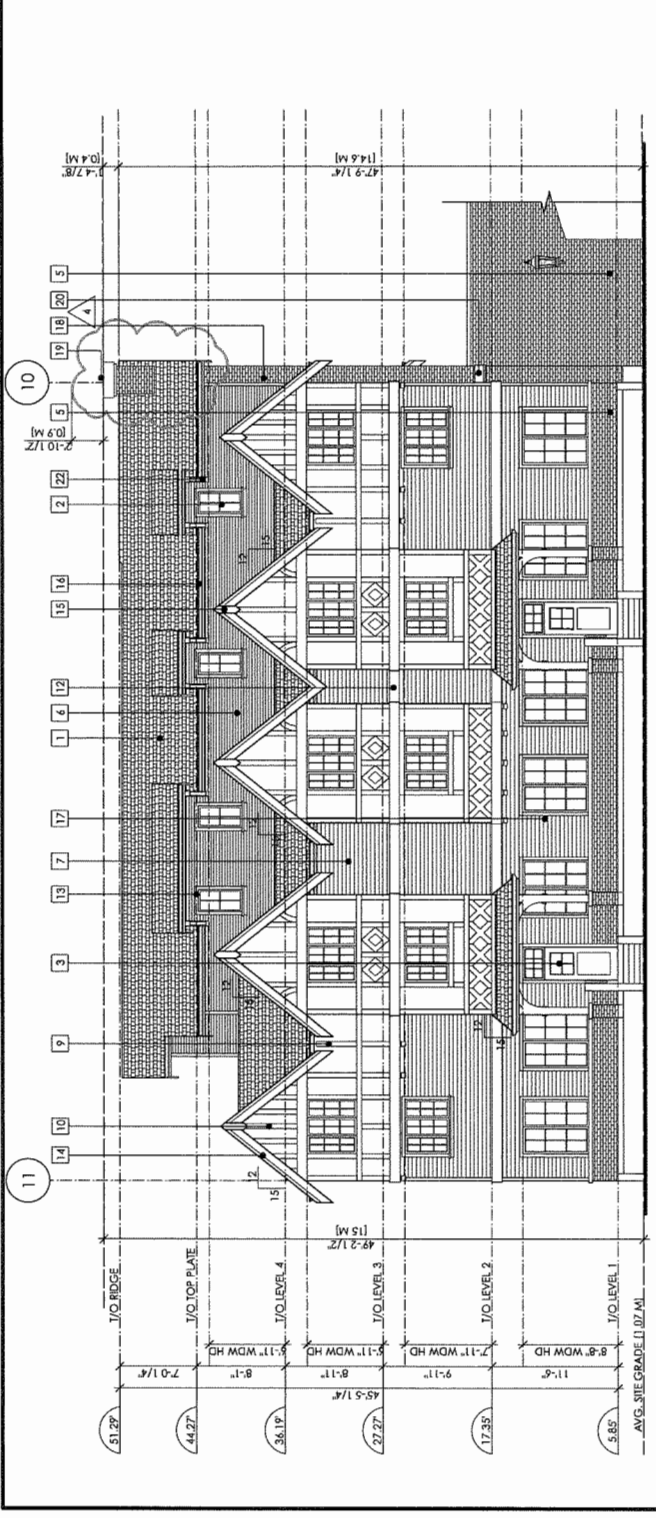
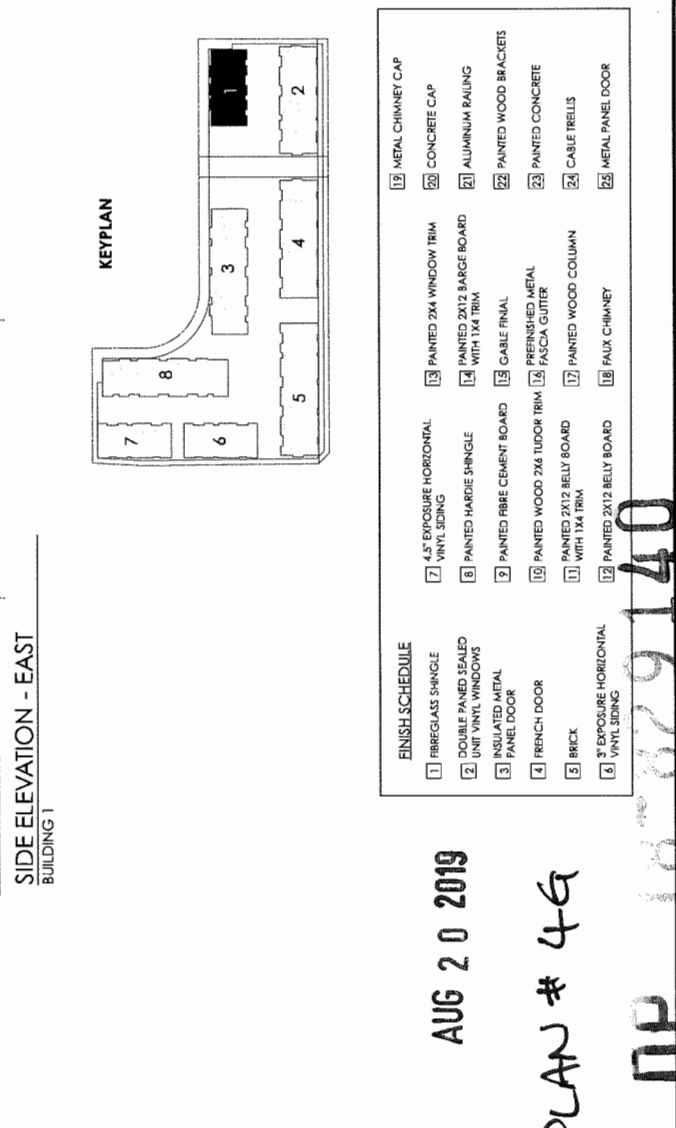
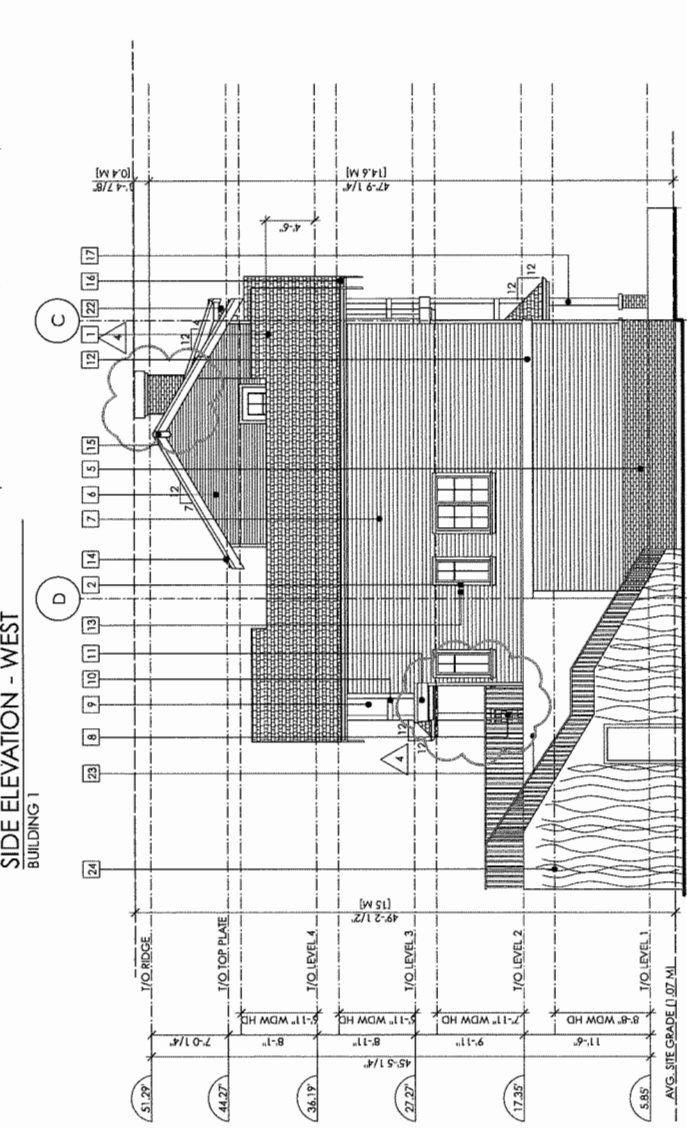
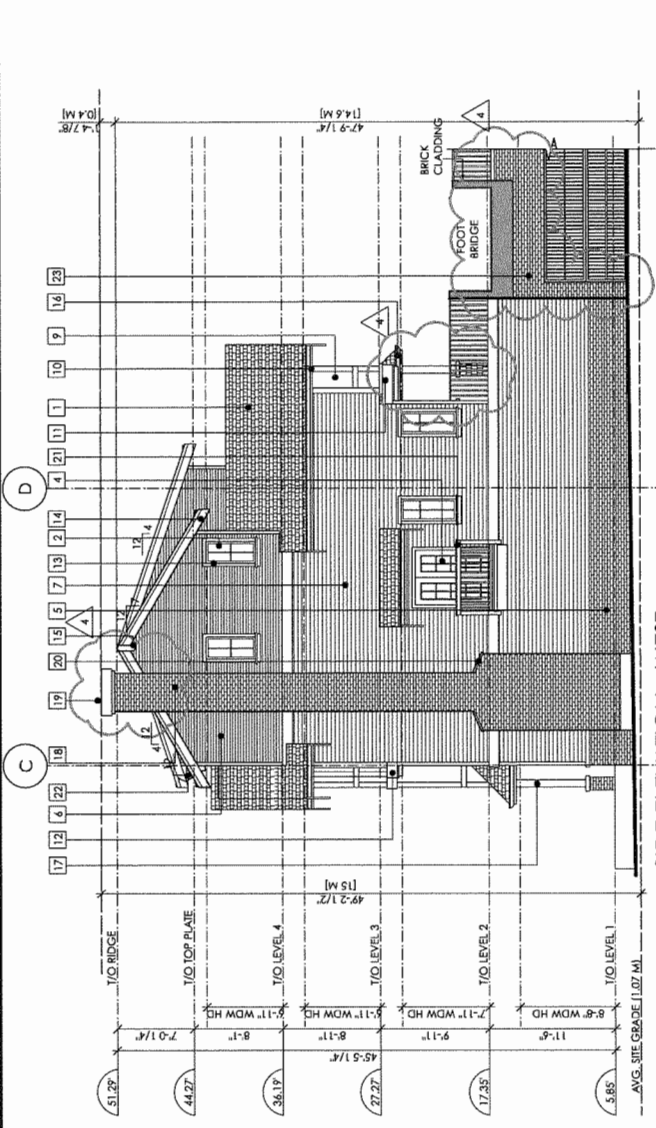
19.08.07
 REVISED PER DP COMMENTS
 RECEIVED ON JULY 23, 2019.

ALABASTER HOMES

FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Phone: 683-5441
 Fax: 685-2076

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
BUILDING 1 ELEVATIONS
 SHEET
 SCALE 1/8" = 1'-0"
 DATE MARCH 2017
A2.01



FINISH SCHEDULE

1	FIBREGLASS SHINGLE	13	PAINTED 2X4 WINDOW TRIM	20	CONCRETE CAP
2	DOUBLE PANELED SEALED UNIT VINYL WINDOWS	14	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM	21	ALUMINUM RAILING
3	INSULATED METAL PANEL DOOR	15	PAINTED FBRE CEMENT BOARD	22	PAINTED WOOD BRACKETS
4	FRENCH DOOR	16	PAINTED WOOD 2X4 TUDOK TRIM	23	PAINTED CONCRETE
5	BRICK	17	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	24	CABLE TRELLIS
6	4.5" EXPOSURE HORIZONTAL VINYL SIDING	18	PAINTED 2X12 BELLY BOARD	25	METAL PANEL DOOR
7	4.5" EXPOSURE HORIZONTAL VINYL SIDING	19	PAINTED 2X4 WINDOW TRIM		
8	PAINTED HARDIE SHINGLE	20	CONCRETE CAP		
9	PAINTED FBRE CEMENT BOARD	21	ALUMINUM RAILING		
10	PAINTED WOOD 2X4 TUDOK TRIM	22	PAINTED WOOD BRACKETS		
11	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	23	PAINTED CONCRETE		
12	PAINTED 2X12 BELLY BOARD	24	CABLE TRELLIS		
13	PAINTED 2X4 WINDOW TRIM	25	METAL PANEL DOOR		

AUG 20 2019
 PLAN # 49
 DP 10-229140

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 NOV. 16, 2017 RE-ISSUED FOR REZONING
 JUN. 08, 2018 RE-ISSUED FOR REZONING
 JUL. 12, 2018 RE-ISSUED FOR DP
 AUG. 20, 2018 RE-ISSUED FOR REZONING/DP
 NOV. 13, 2018 RE-ISSUED FOR DP
 JAN. 31, 2019 ISSUED FOR ADVISORY DESIGN PANEL
 APR. 03, 2019 RE-ISSUED FOR DP
 AUG. 7, 2019 RE-ISSUED FOR DP

REVISED PER DP COMMENTS
 RECEIVED ON JULY 23, 2019.
 19.08.07

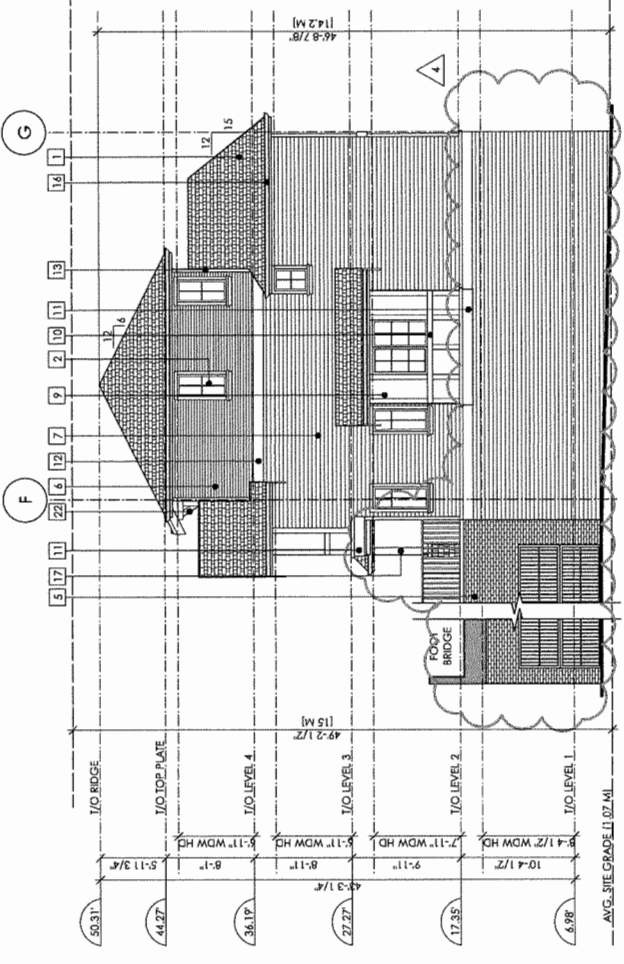
ALBASTER HOMES

FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076

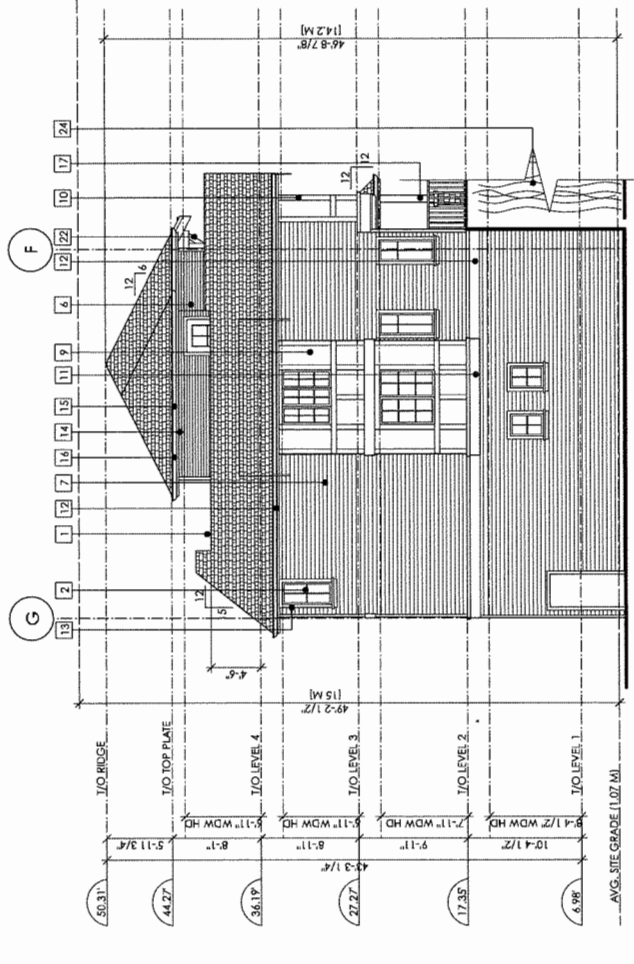
PROJECT
 SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
 BUILDING 2
 ELEVATIONS

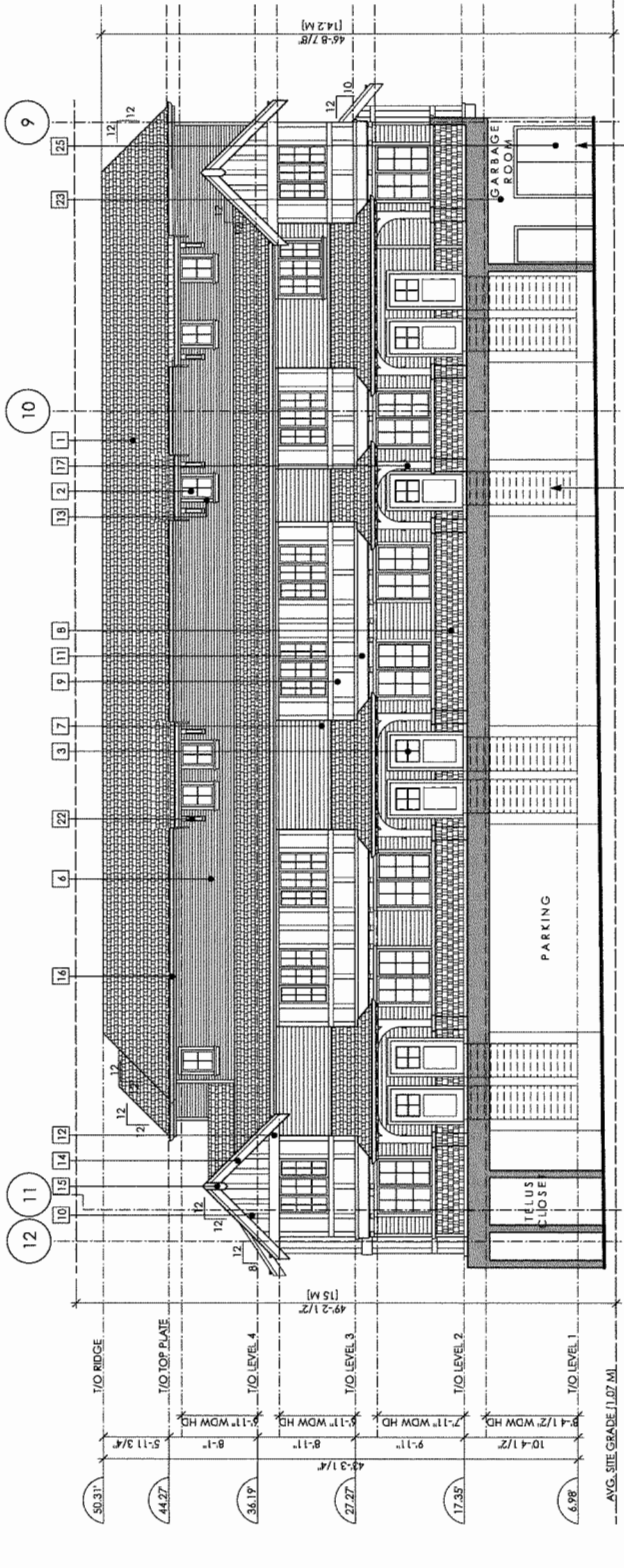
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 SCALE 1/8" = 1'-0"
 DATE MARCH 2017
 A2.03



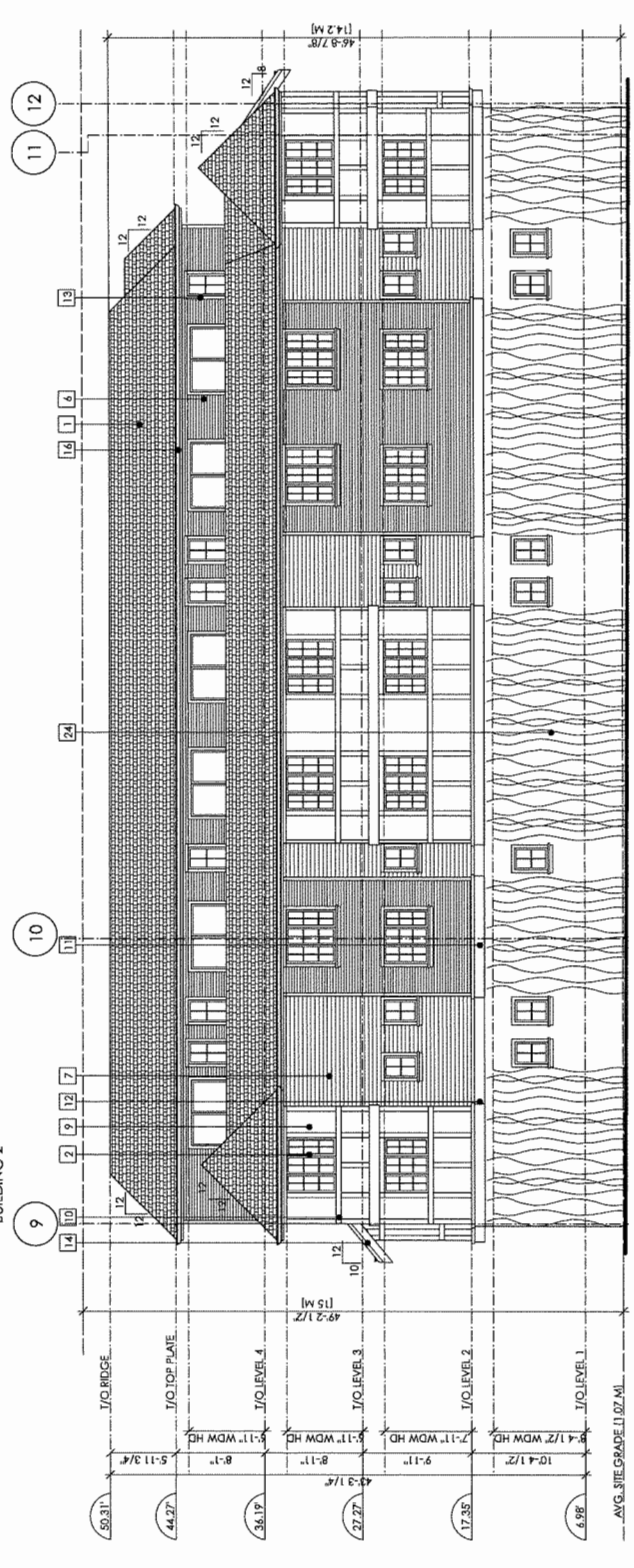
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 BUILDING 2



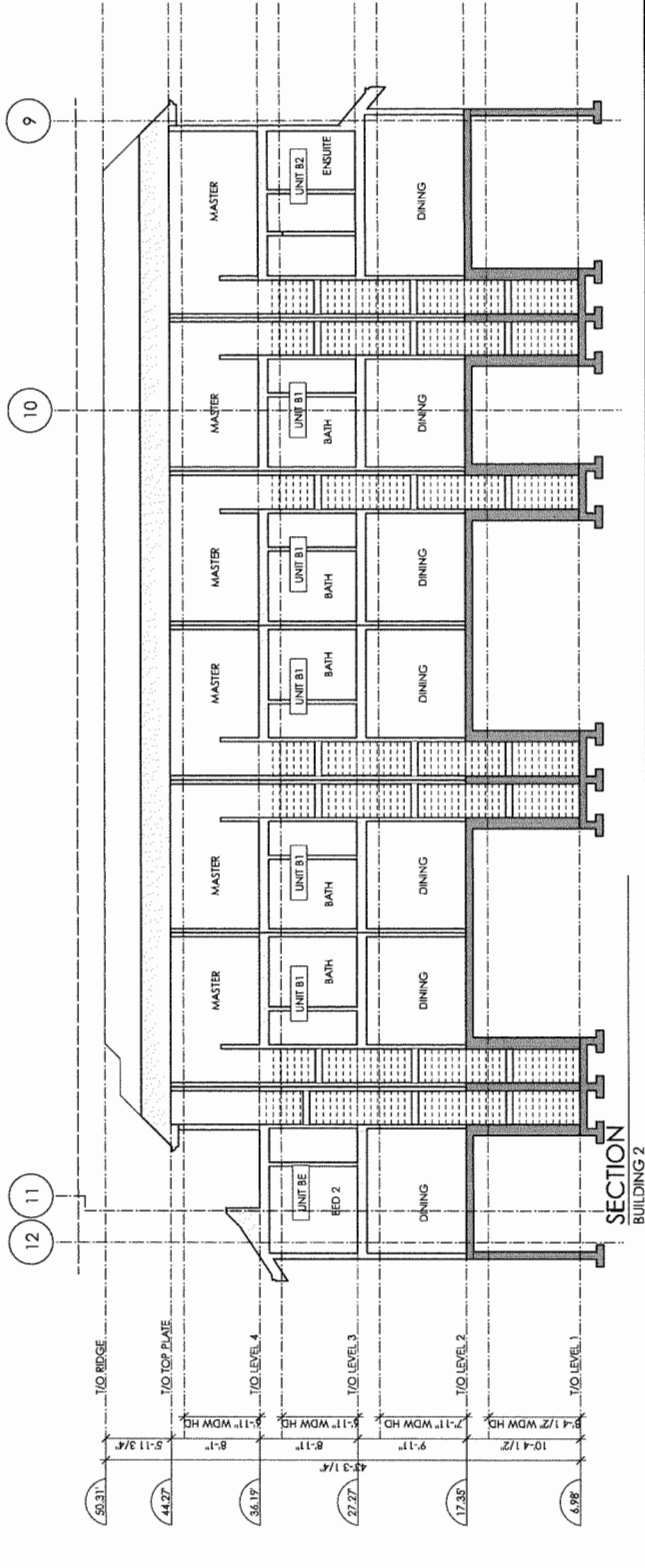
SIDE ELEVATION - EAST
 BUILDING 2



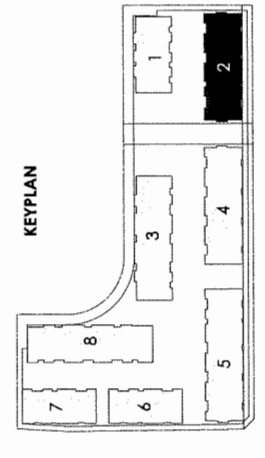
FRONT ELEVATION - COURTYARD
 BUILDING 2



REAR ELEVATION - LANE
 BUILDING 2



SECTION
 BUILDING 2



KEYPLAN

FINISH SCHEDULE

1	FRIBREGLASS SHINGLE	13	PAINTED 2X4 WINDOW TRIM	19	METAL CHIMNEY CAP
2	DOUBLE PANED SEALED UNIT VINYL WINDOWS	14	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM	20	CONCRETE CAP
3	INSULATED METAL PANEL DOOR	15	PAINTED HARDE SHINGLE	21	ALUMINUM RAILING
4	RENCH DOOR	16	PAINTED FIBRE CEMENT BOARD	22	PAINTED WOOD BRACKETS
5	BRICK	17	PAINTED WOOD 2X6 FLOOR TRIM	23	PAINTED CONCRETE
6	3" EXPOSURE HORIZONTAL VINYL SIDING	18	PAINTED WOOD 2X6 TLOOR TRIM WITH 1X4 TRIM	24	CABLE TRELLIS
7	4" EXPOSURE HORIZONTAL VINYL SIDING	19	PAINTED WOOD 2X6 FLOOR TRIM	25	METAL PANEL DOOR
8	PAINTED 2X12 BELLY BOARD	20	PREFINISHED METAL FACIA GUTTER		
9	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	21	PAINTED WOOD COLUMN		
10	PAINTED WOOD 2X6 TLOOR TRIM	22	PAINTED WOOD BRACKETS		
11	PAINTED WOOD 2X6 TLOOR TRIM WITH 1X4 TRIM	23	PAINTED CONCRETE		
12	PAINTED 2X12 BELLY BOARD	24	CABLE TRELLIS		
13	PAINTED 2X12 BELLY BOARD	25	METAL PANEL DOOR		
14	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM				
15	PAINTED FIBRE CEMENT BOARD				
16	PAINTED WOOD 2X6 FLOOR TRIM				
17	PAINTED WOOD 2X6 TLOOR TRIM WITH 1X4 TRIM				
18	FAUX CHIMNEY				

AUG 20 2019
 PLAN # 4H

DP 10-829140

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 JUN. 08, 2018 RE-ISSUED FOR PERMITS
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 NOV. 13, 2018 RE-ISSUED FOR DP
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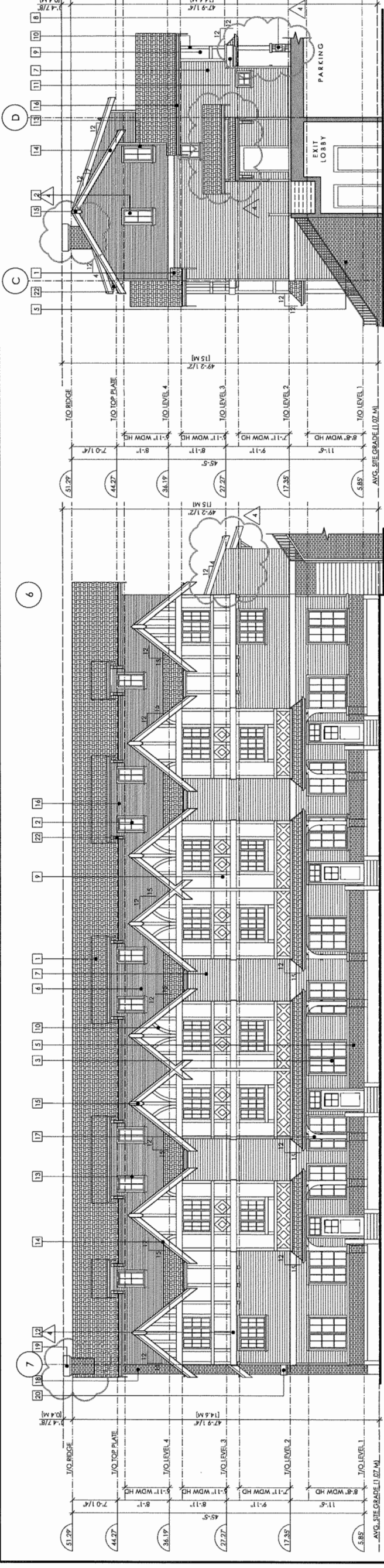
REVISÉ PER DP COMMENTS
 REÇU LE 23 JUIN 2019.
 19.08.07

ALBASTER HOMES

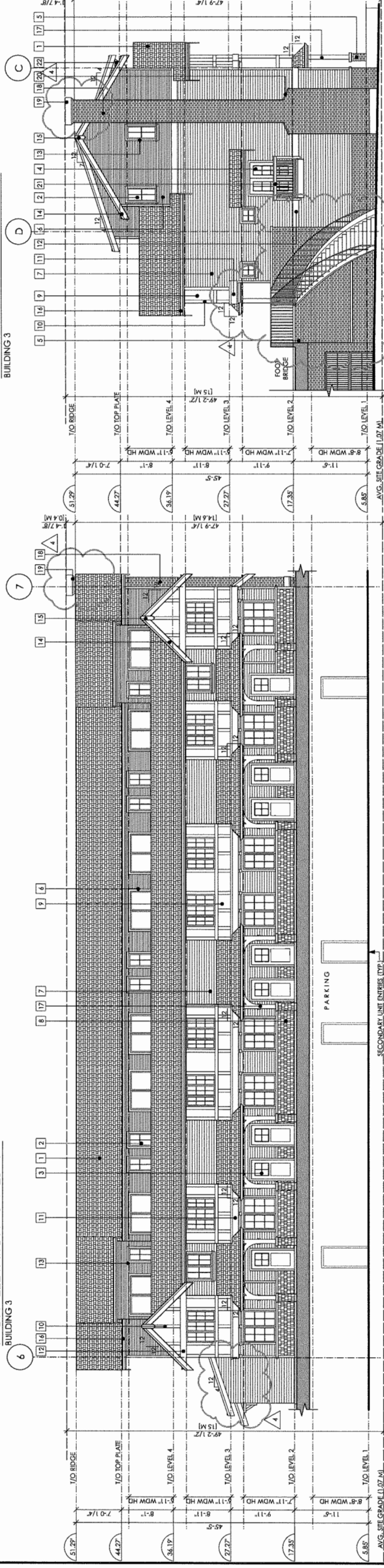
FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

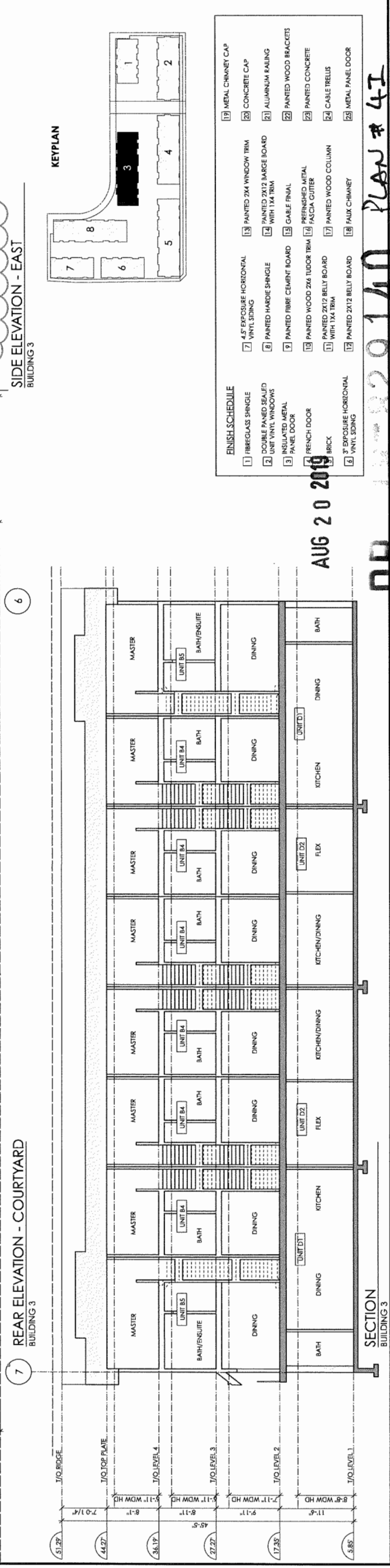
DRAWING
BUILDING 3 ELEVATIONS
 SHEET
 SCALE 1/8" = 1'-0"
 DATE MARCH 2017
A2.05



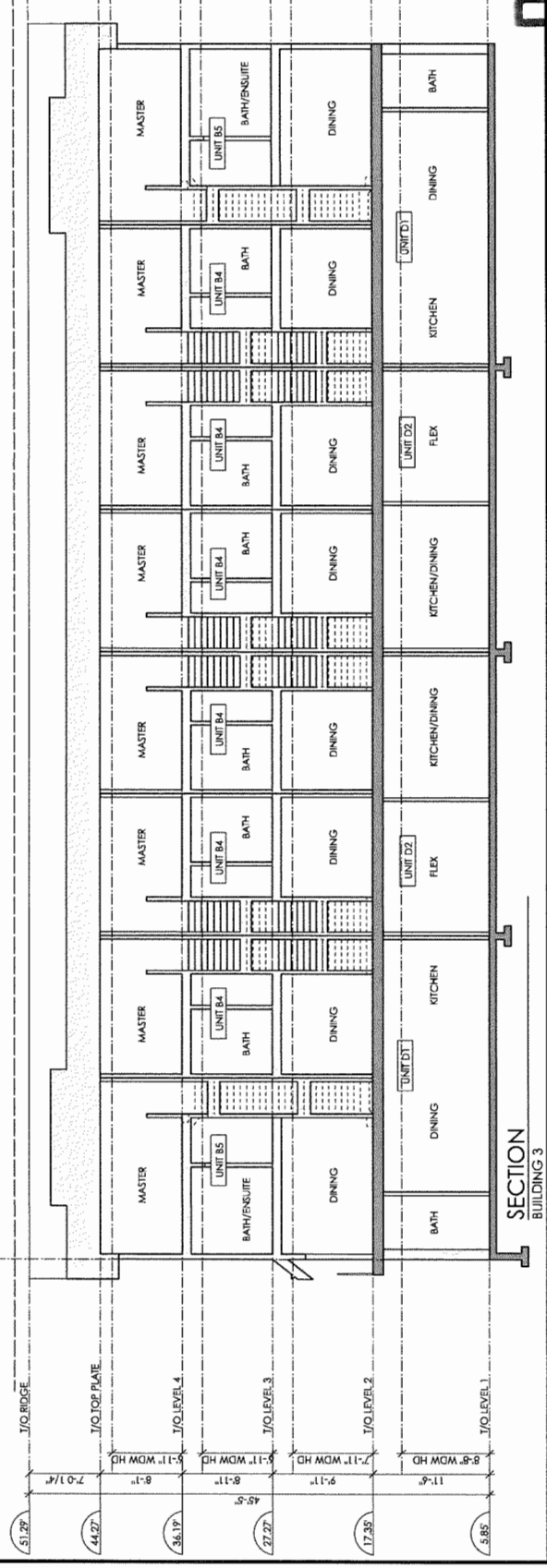
FRONT ELEVATION - SPIRES RD
 BUILDING 3



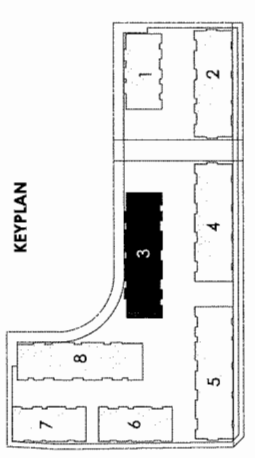
SIDE ELEVATION - WEST
 BUILDING 3



SIDE ELEVATION - EAST
 BUILDING 3



SECTION
 BUILDING 3



FINISH SCHEDULE

1	IBR/CLASH SHINGLE	13	PAINTED 2X4 WINDOW TRIM	19	METAL CHIMNEY CAP
2	DOUBLE PANED SEALED UNIT VINYL WINDOWS	14	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM	20	CONCRETE CAP
3	INSULATED METAL PANEL DOOR	15	PAINTED HARDIE SHINGLE	21	ALUMINUM RAILING
4	FRENCH DOOR	16	PAINTED FIBRE CEMENT BOARD	22	PAINTED WOOD BRACKETS
5	3" EXPOSURE HORIZONTAL VINYL SIDING	17	PAINTED WOOD TUDOR TRIM WITH 1X4 TRIM	23	PAINTED CONCRETE
6	BRICK	18	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	24	CASLE TRELLIS
7	4.5" EXPOSURE HORIZONTAL VINYL SIDING	19	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM	25	METAL PANEL DOOR
8	DOUBLE PANED SEALED UNIT VINYL WINDOWS	20	PAINTED 2X4 WINDOW TRIM		
9	INSULATED METAL PANEL DOOR	21	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM		
10	FRENCH DOOR	22	PAINTED FIBRE CEMENT BOARD		
11	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	23	PAINTED WOOD BRACKETS		
12	PAINTED 2X12 BELLY BOARD	24	PAINTED CONCRETE		
13	PAINTED 2X4 WINDOW TRIM	25	CASLE TRELLIS		
14	PAINTED HARDIE SHINGLE				
15	PAINTED FIBRE CEMENT BOARD				
16	PAINTED WOOD TUDOR TRIM WITH 1X4 TRIM				
17	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM				
18	PAINTED 2X12 BELLY BOARD				
19	METAL CHIMNEY CAP				
20	CONCRETE CAP				
21	ALUMINUM RAILING				
22	PAINTED WOOD BRACKETS				
23	PAINTED CONCRETE				
24	CASLE TRELLIS				
25	METAL PANEL DOOR				

AUG 20 2019
 PLAN # 41
 DP 10-829140

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 JUL. 7, 2019 RE-ISSUED FOR DP

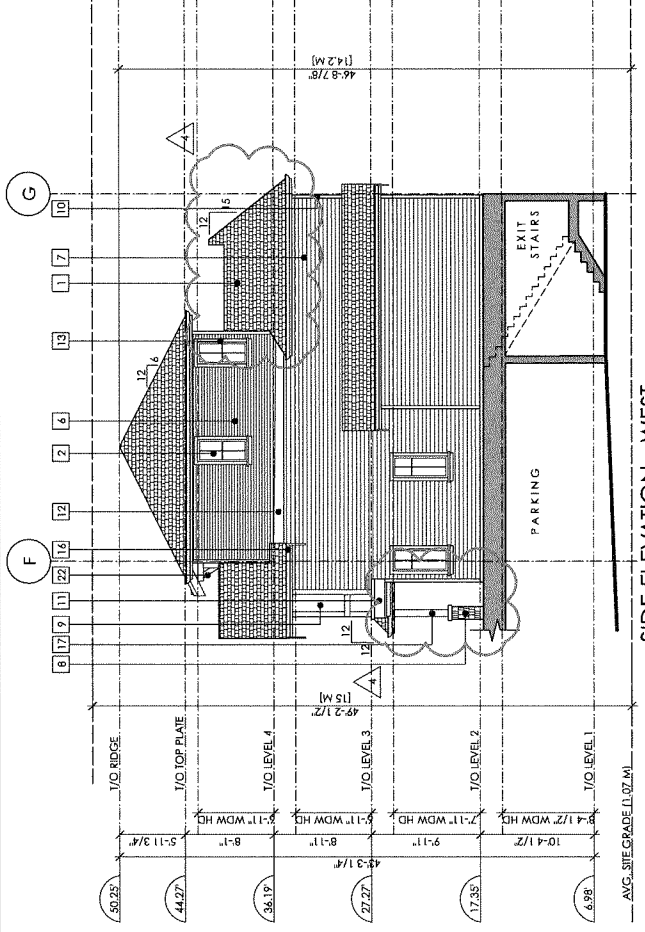
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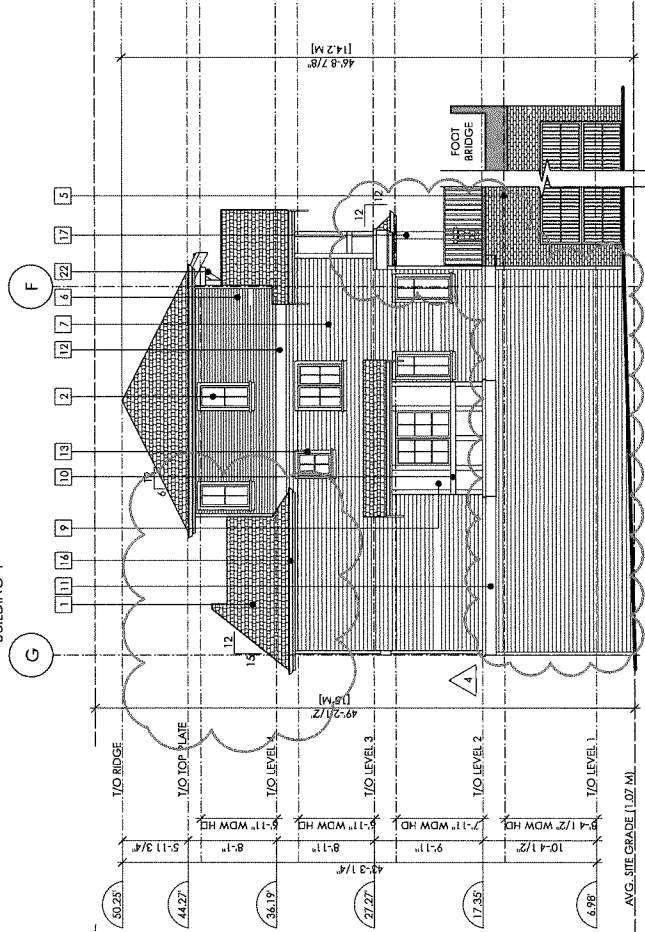
FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

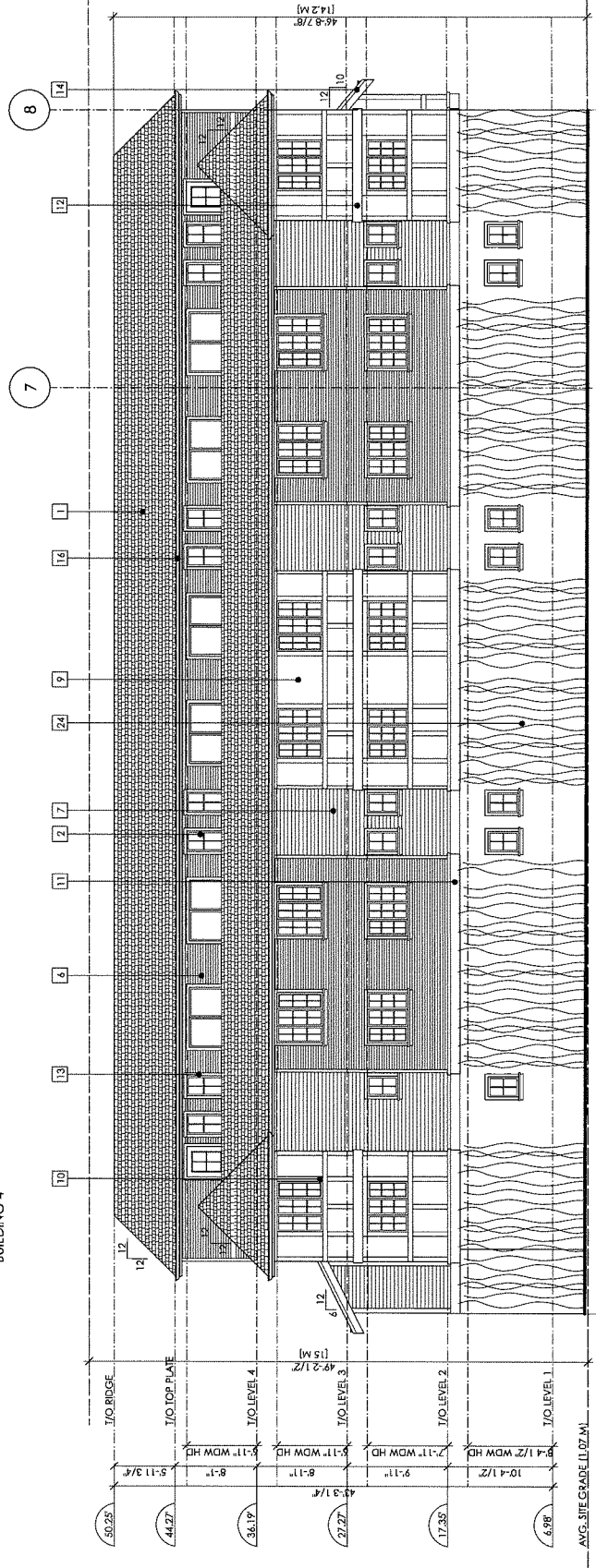
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 SHEET A2.07
 DATE MARCH 2017



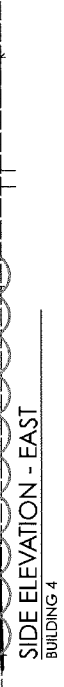
FRONT ELEVATION - COURTYARD
 BUILDING 4



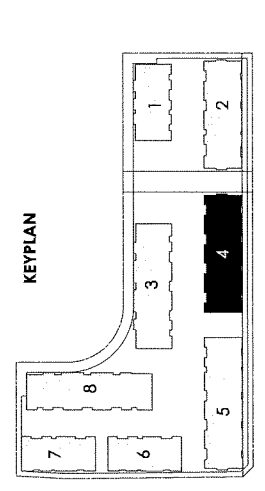
SIDE ELEVATION - WEST
 BUILDING 4



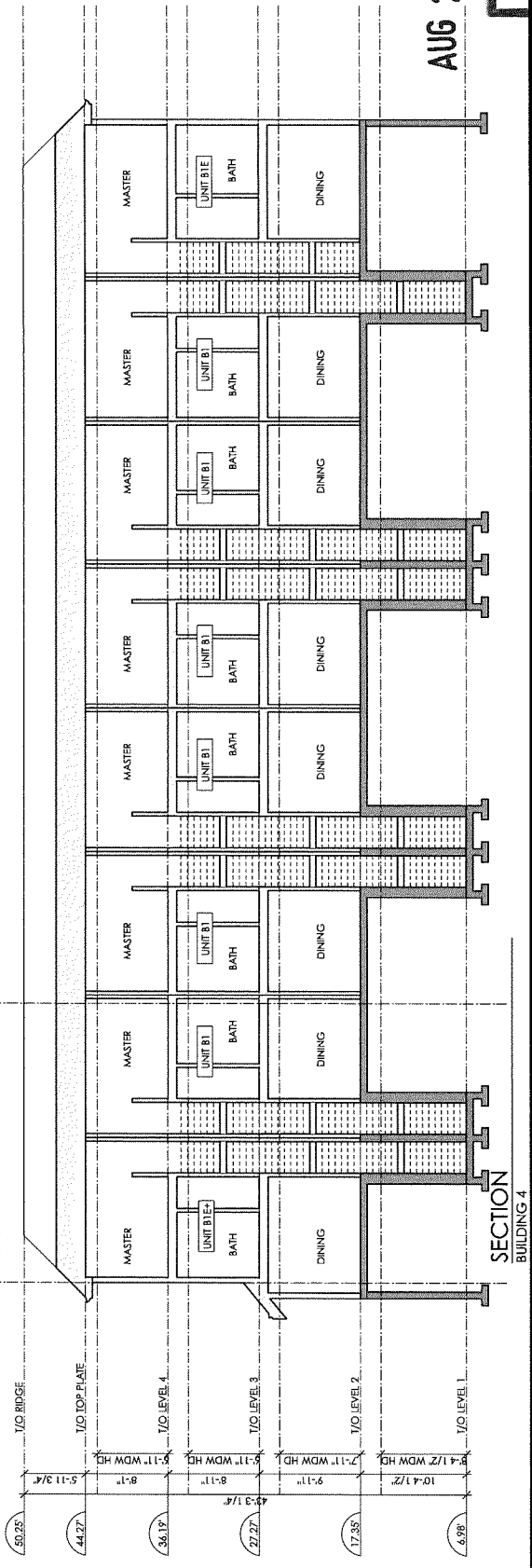
REAR ELEVATION - LANE
 BUILDING 4



SIDE ELEVATION - EAST
 BUILDING 4



KEYPLAN



SECTION
 BUILDING 4

FINISH SCHEDULE

1	FIBREGLASS SHINGLE	13	PAINTED 2X4 WINDOW TRIM	19	METAL CHIMNEY CAP
2	DOUBLE PANED SEALED UNIT VINYL WINDOWS	14	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM	20	CONCRETE CAP
3	INSULATED METAL PANEL DOOR	15	PAINTED HARDIE SHINGLE	21	ALUMINUM RAILING
4	FRENCH DOOR	16	PAINTED RBE CEMENT BOARD	22	PAINTED WOOD BRACKETS
5	BRICK	17	PAINTED WOOD 2X6 TUDOR TRIM	23	PAINTED CONCRETE
6	2 EXPOSURE HORIZONTAL VINYL SIDING	18	PREFINISHED METAL FASCIA GUTTER	24	CABLE TRELLIS
7	1/2 EXPOSURE HORIZONTAL VINYL SIDING	19	PAINTED WOOD COLUMN WITH 1X4 TRIM	25	METAL PANEL DOOR
8	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	20	PAINTED 2X4 TUDOR TRIM		
9	PAINTED RBE CEMENT BOARD	21	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM		
10	PAINTED WOOD 2X6 TUDOR TRIM	22	PAINTED HARDIE SHINGLE		
11	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	23	PAINTED RBE CEMENT BOARD		
12	PAINTED 2X12 BELLY BOARD	24	PAINTED WOOD 2X6 TUDOR TRIM		
		25	PREFINISHED METAL FASCIA GUTTER		
		26	PAINTED WOOD COLUMN WITH 1X4 TRIM		
		27	PAINTED 2X4 TUDOR TRIM		
		28	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM		
		29	PAINTED HARDIE SHINGLE		
		30	PAINTED 2X4 WINDOW TRIM		
		31	METAL CHIMNEY CAP		

AUG 20 2019

DP 18 829140 PLAN # 4J

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 NOV. 13, 2018 RE-ISSUED FOR ADVISORY DESIGN PANEL
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 APR. 26, 2019 RE-ISSUED FOR DP
 JUL. 3, 2019 RE-ISSUED FOR DP
 AUG. 17, 2019 RE-ISSUED FOR DP

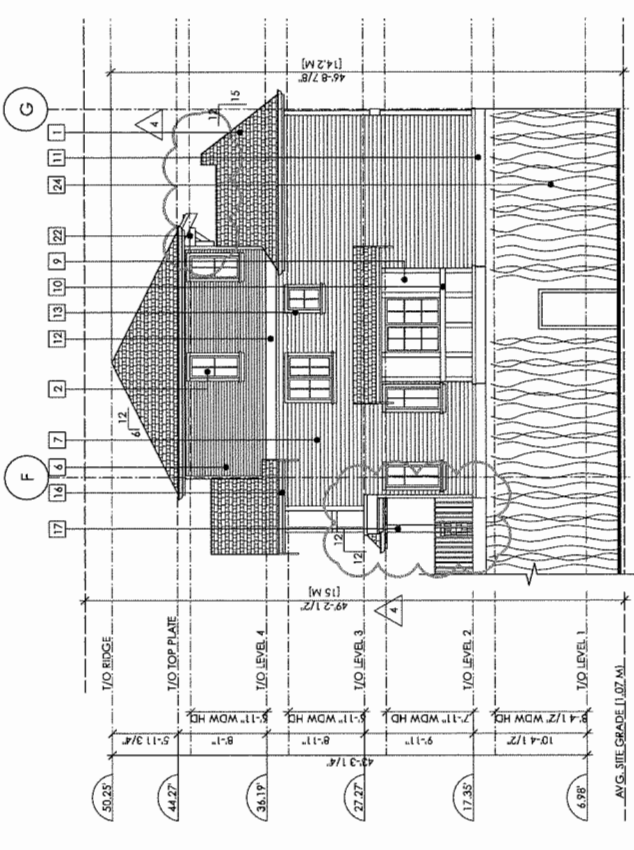
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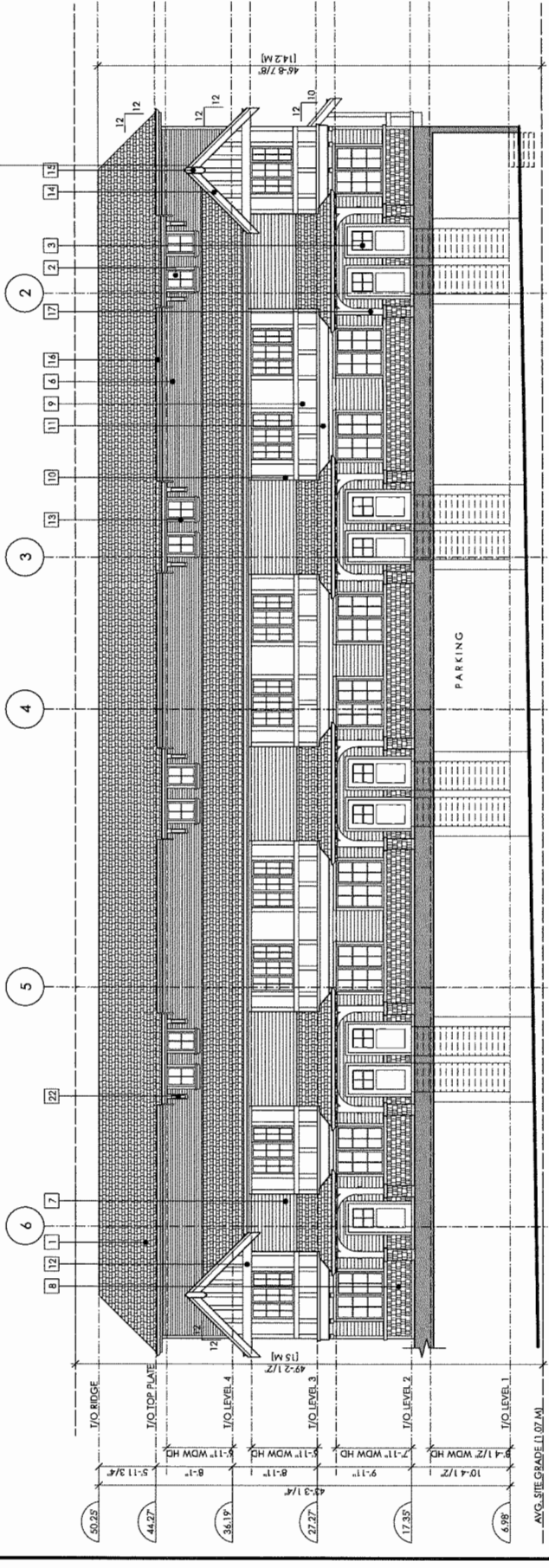
FORMWORKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-5481

PROJECT
 SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

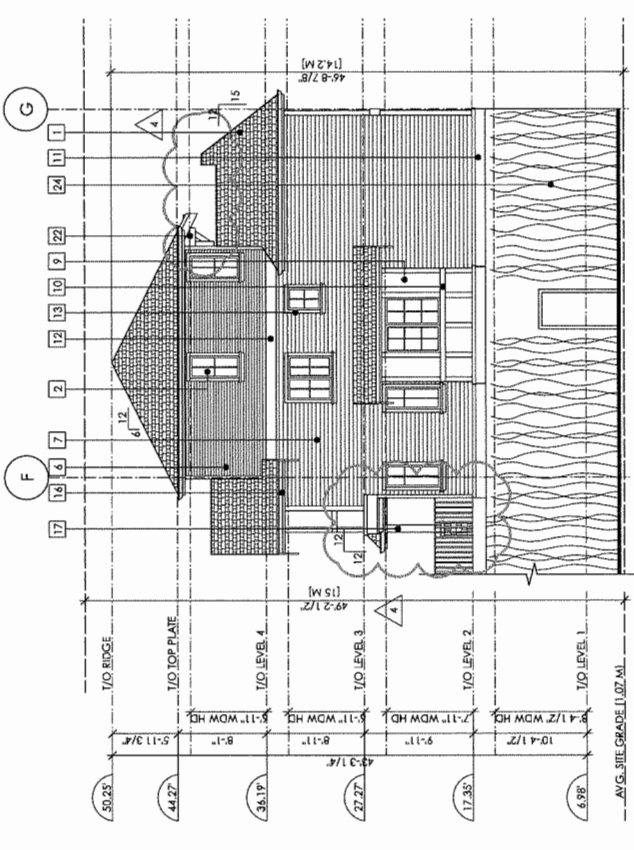
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 SHEET A2.09
 DATE MARCH 2017



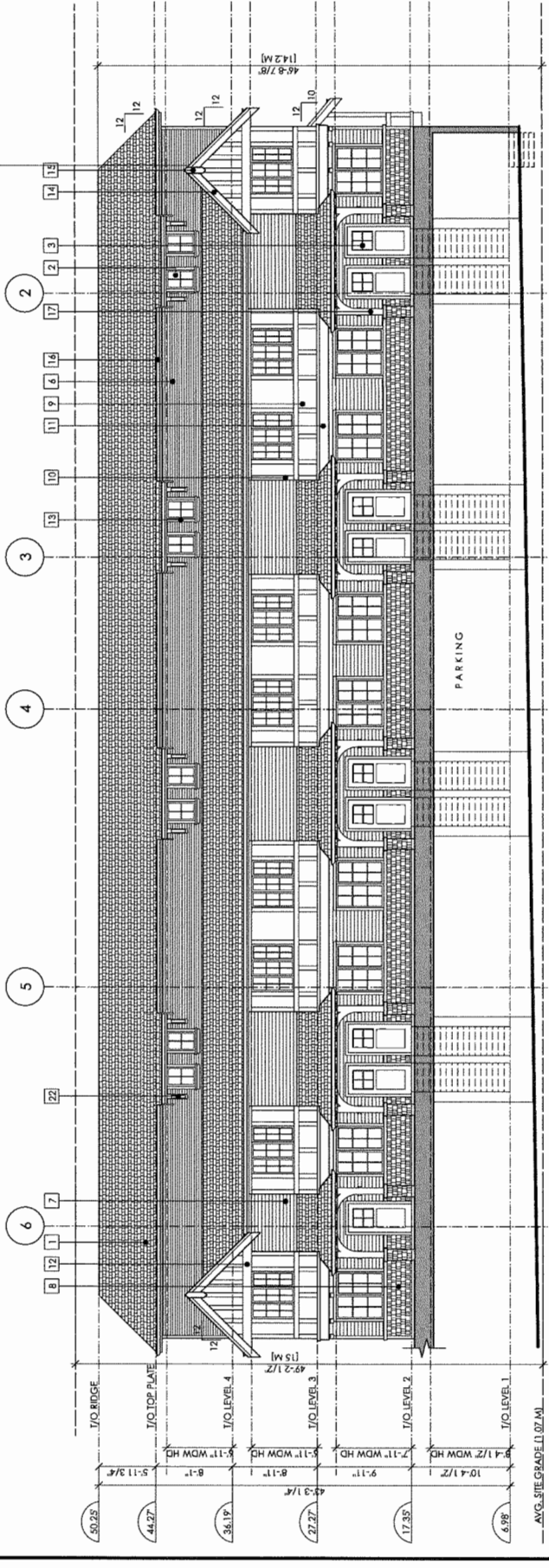
FRONT ELEVATION - COURTYARD
 BUILDING 5



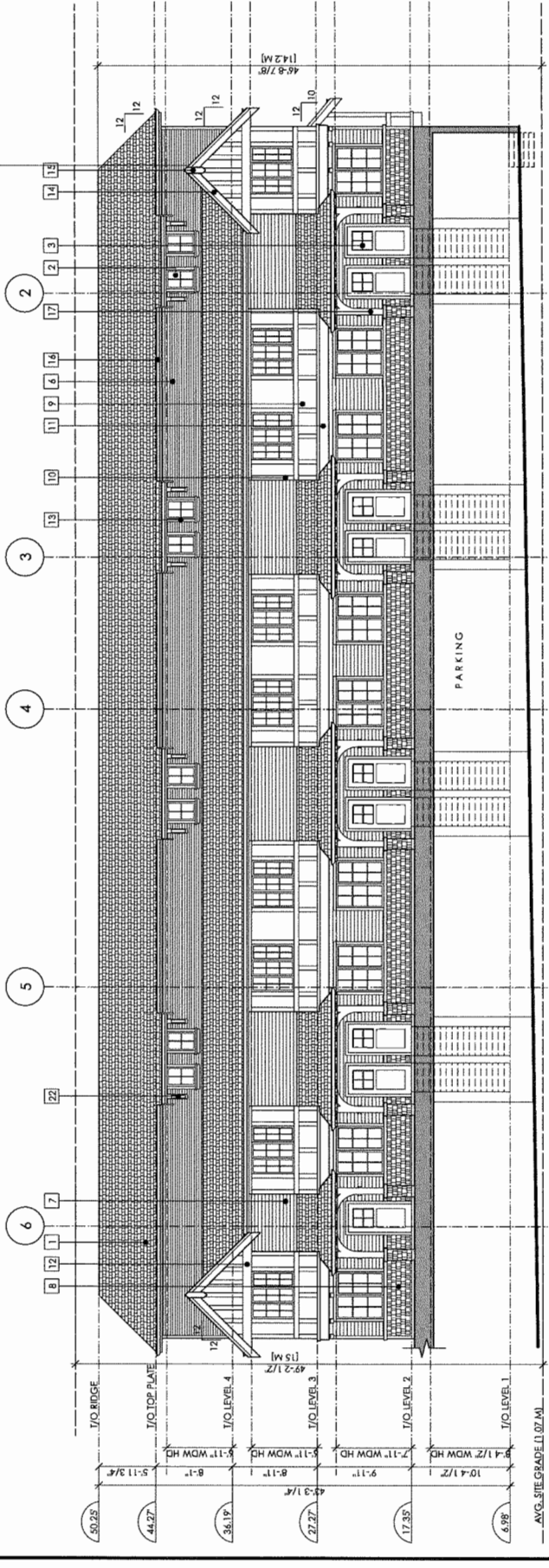
REAR ELEVATION - LANE
 BUILDING 5



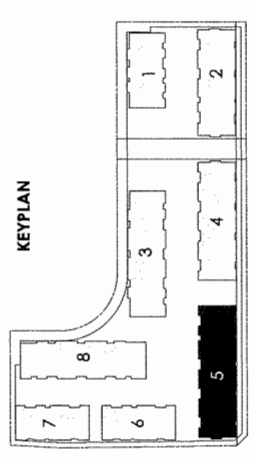
SIDE ELEVATION - WEST
 BUILDING 5



SIDE ELEVATION - EAST
 BUILDING 5



SECTION
 BUILDING 5



FINISH SCHEDULE

1	FRIBGLASS SHINGLE	7	4.5" EXPOSURE HORIZONTAL VINYL SIDING	13	PAINTED 2X4 WINDOW TRIM	19	METAL CHIMNEY CAP
2	DOUBLE PANELED SEALED UNIT VINYL WINDOWS	8	PAINTED HARDIE SHINGLE	14	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM	20	CONCRETE CAP
3	INSULATED METAL PANEL DOOR	9	PAINTED FBRE CEMENT BOARD	15	CABLE FINISH	21	ALUMINUM RAILING
4	FRENCH DOOR	10	PAINTED WOOD 2X6 TUDOR TRIM WITH 1X4 TRIM	16	PREFINISHED METAL FACIA GUTTER	22	PAINTED WOOD BRACKETS
5	BRICK	11	PAINTED WOOD 2X6 TUDOR TRIM WITH 1X4 TRIM	17	PAINTED WOOD COLUMN	23	PAINTED CONCRETE
6	3" EXPOSURE HORIZONTAL VINYL SIDING	12	PAINTED 2X12 BELLY BOARD	18	FAUX CHIMNEY	24	CABLE TRUSS
						25	METAL PANEL DOOR

AUG 20 2019
 18-829140
 PLAN # 4K
 OP

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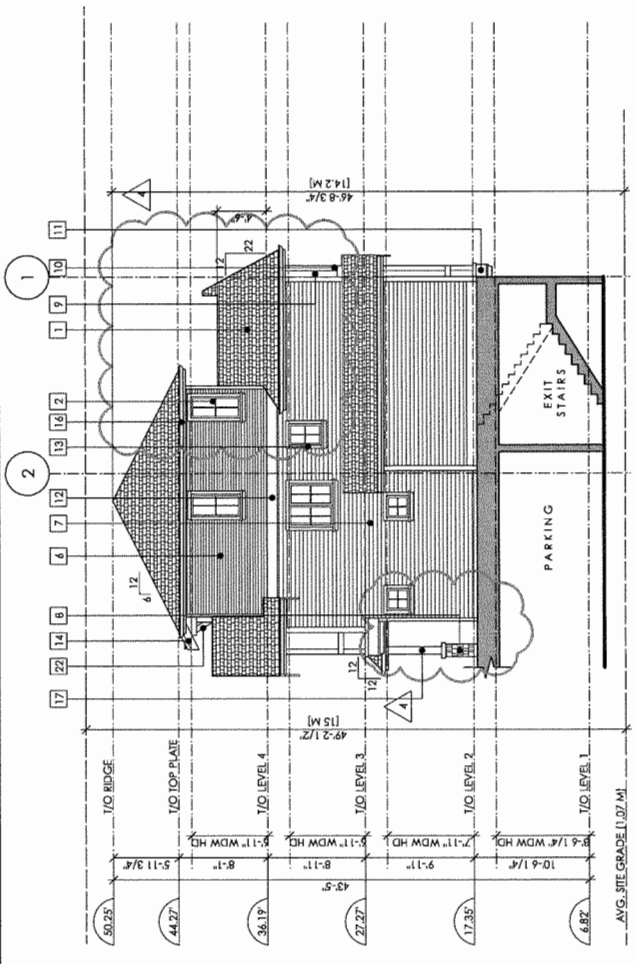
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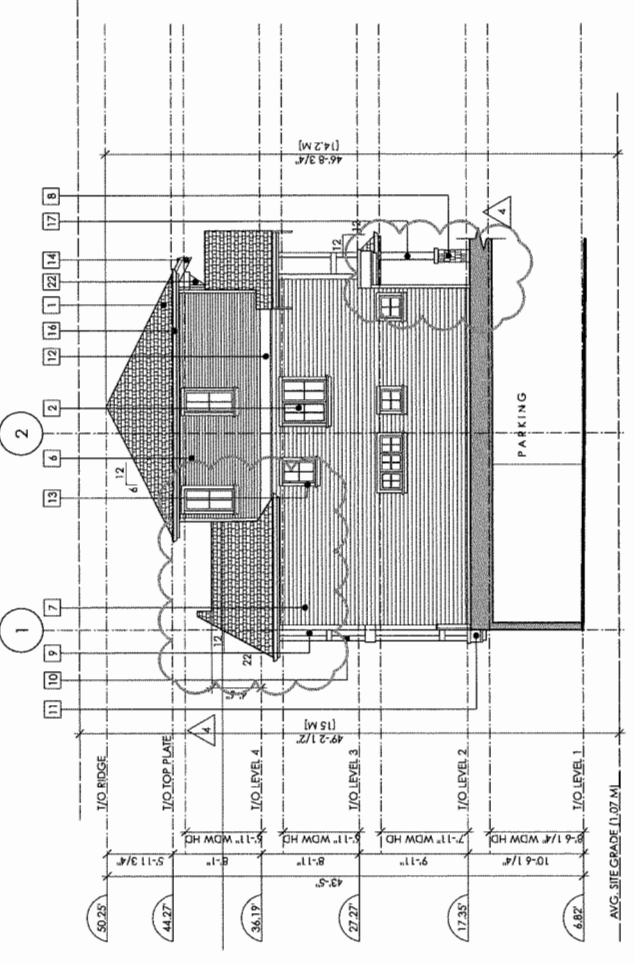
PROJECT
 SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
 BUILDING 6
 ELEVATIONS

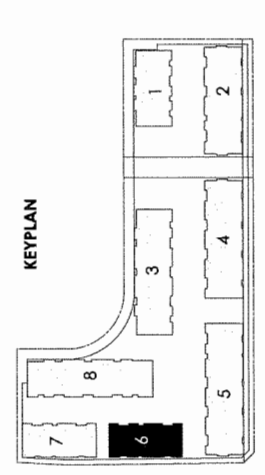
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 DATE MARCH 2017
 A2.11



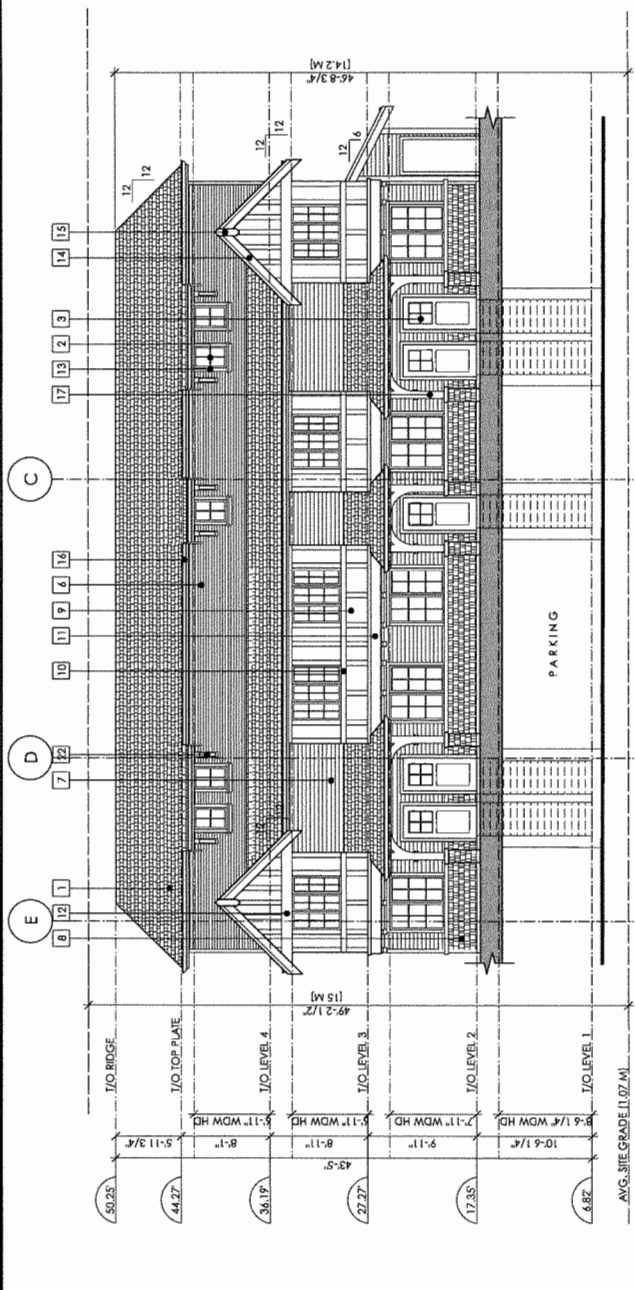
SIDE ELEVATION - NORTH
 BUILDING 6



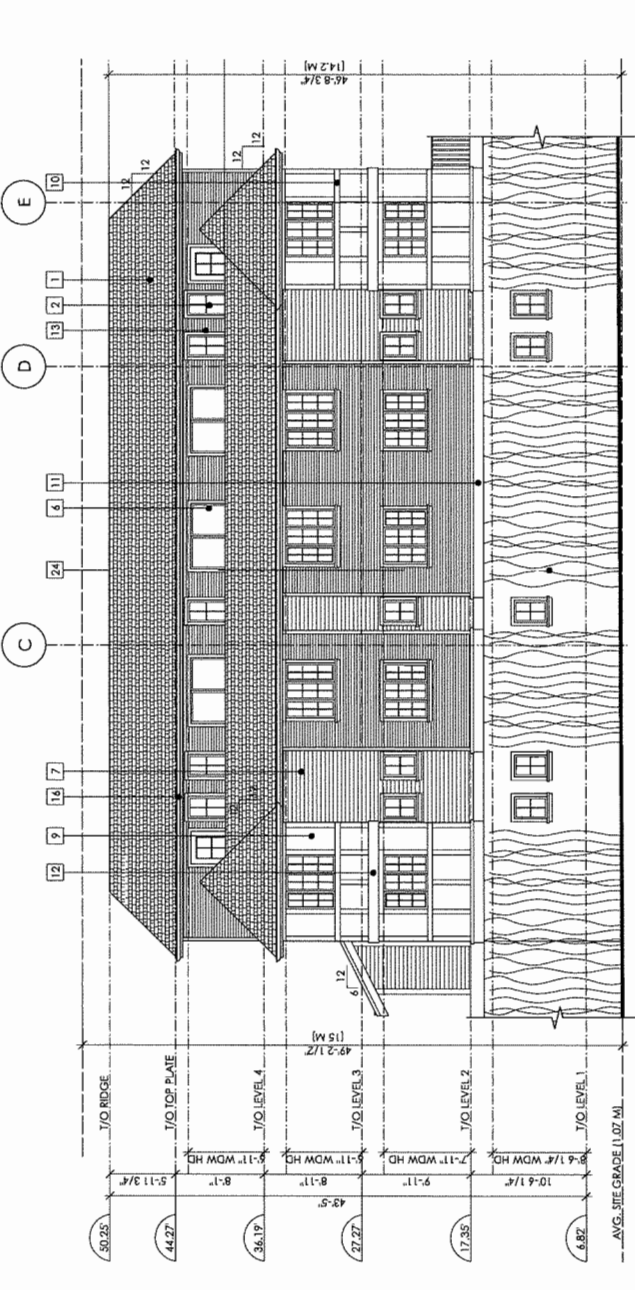
SIDE ELEVATION - SOUTH
 BUILDING 6



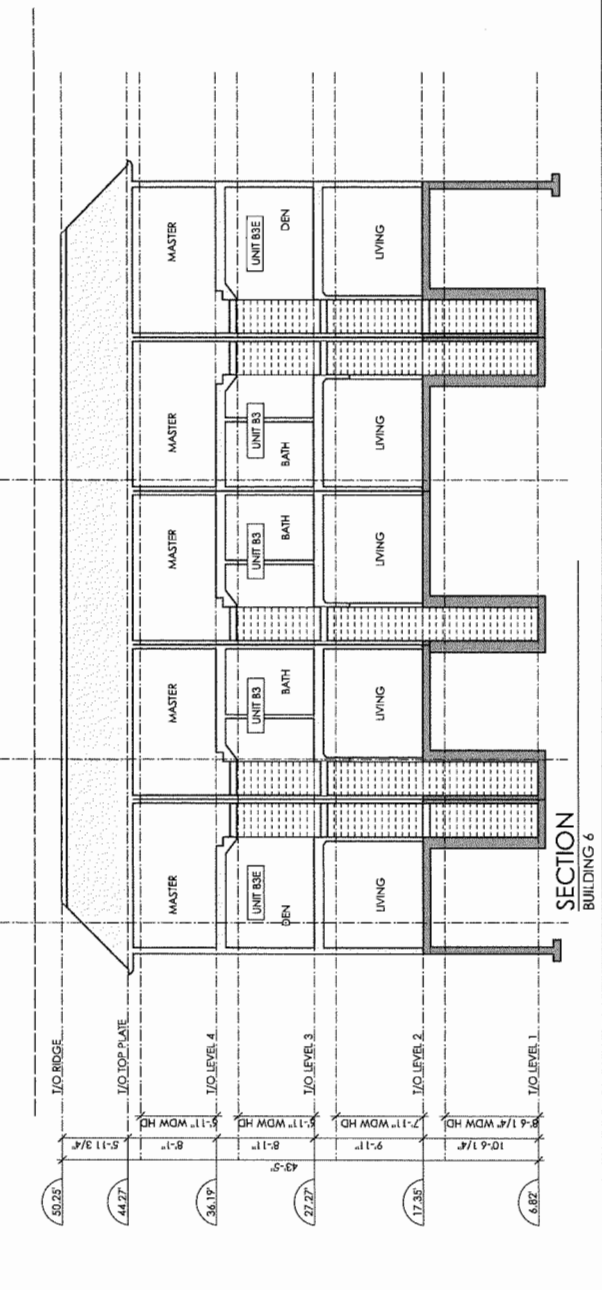
FINISH SCHEDULE	
1	IRREGULAR SHINGLE
2	DOUBLE PANELED SEALED UNIT VINYL WINDOWS
3	INSULATED METAL PANEL DOOR
4	FRENCH DOOR
5	BRICK
6	9" EXPOSURE HORIZONTAL VINYL SIDING
7	4.5" EXPOSURE HORIZONTAL VINYL SIDING
8	PAINTED 2X4 WINDOW TRIM
9	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM
10	PAINTED FIBRE CEMENT BOARD
11	PAINTED WOOD 2X6 FLOOR TRIM WITH 1X4 TRIM
12	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM
13	PAINTED 2X4 WINDOW TRIM
14	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM
15	PAINTED FIBRE CEMENT BOARD
16	PAINTED WOOD 2X6 FLOOR TRIM WITH 1X4 TRIM
17	PAINTED WOOD COLUMN
18	FAUX CHIMNEY
19	METAL CHIMNEY CAP
20	CONCRETE CAP
21	ALUMINUM RAILING
22	PAINTED WOOD BRACKETS
23	PAINTED CONCRETE
24	CABLE TRELLIS
25	METAL PANEL DOOR



FRONT ELEVATION - COURTYARD
 BUILDING 6



REAR ELEVATION - LANE
 BUILDING 6



SECTION
 BUILDING 6

AUG 20 2019

DP 18-0829140 PLAN HL

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REVISIONS
 ISSUED FOR REZONING MAR. 14, 2017
 REISSUED FOR REZONING NOV. 16, 2017
 REISSUED FOR REZONING JUN. 08, 2018
 REISSUED FOR REZONING JUL. 12, 2018
 REISSUED FOR DP AUG. 20, 2018
 REISSUED FOR REZONING/DP NOV. 13, 2018
 ISSUED FOR ADVOCACY DESIGN PANEL JAN. 31, 2019
 REISSUED FOR DP JUL. 3, 2019
 REISSUED FOR DP AUG. 7, 2019

RECEIVED FOR DP COMMENTS
 RECEIVED ON JULY 23, 2019.
 19.08.07

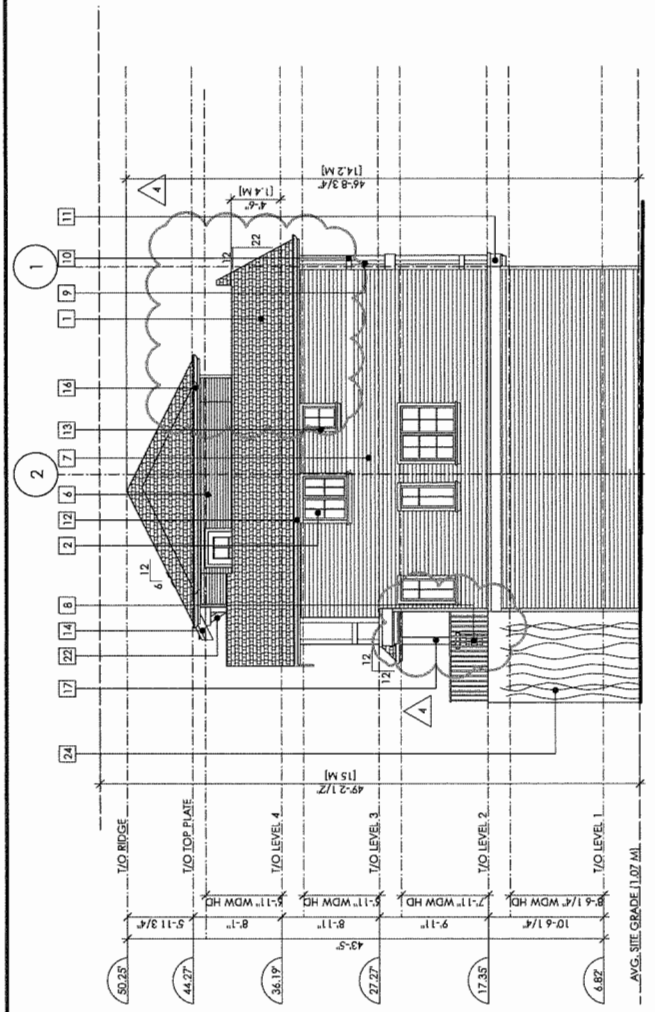
ALBASTER HOMES

FORMWORKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1H5
 Fax: 685-5076 Phone: 685-5441

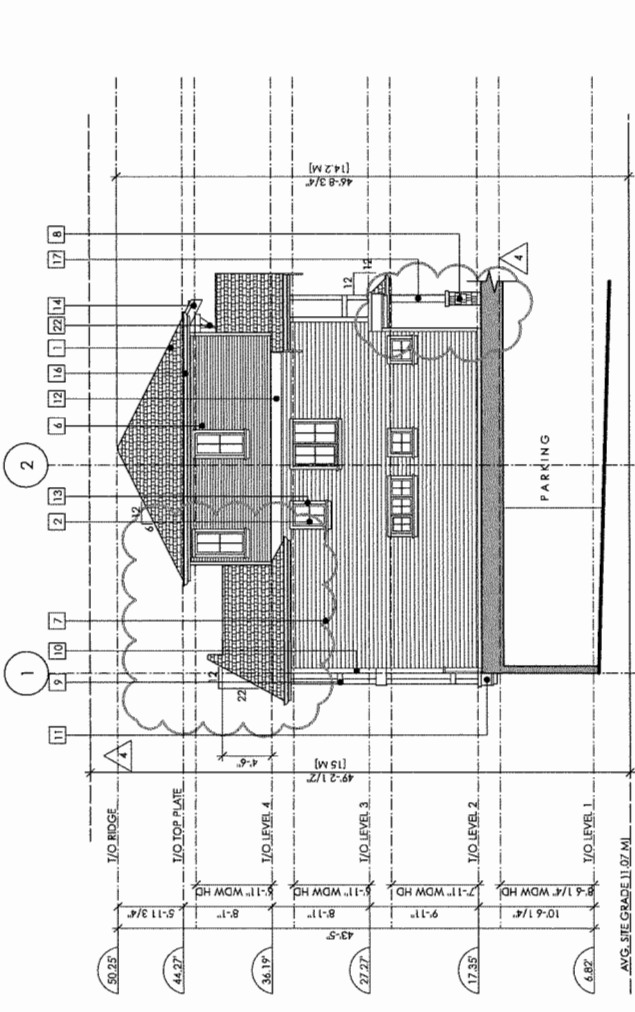
PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
BUILDING 7 ELEVATIONS

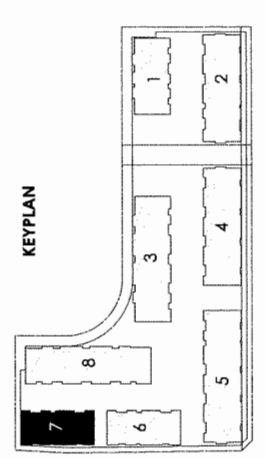
SCALE 1/8" = 1'-0"
 DATE MARCH 2017
 SHEET **A2.13**



SIDE ELEVATION - NORTH
 BUILDING 7

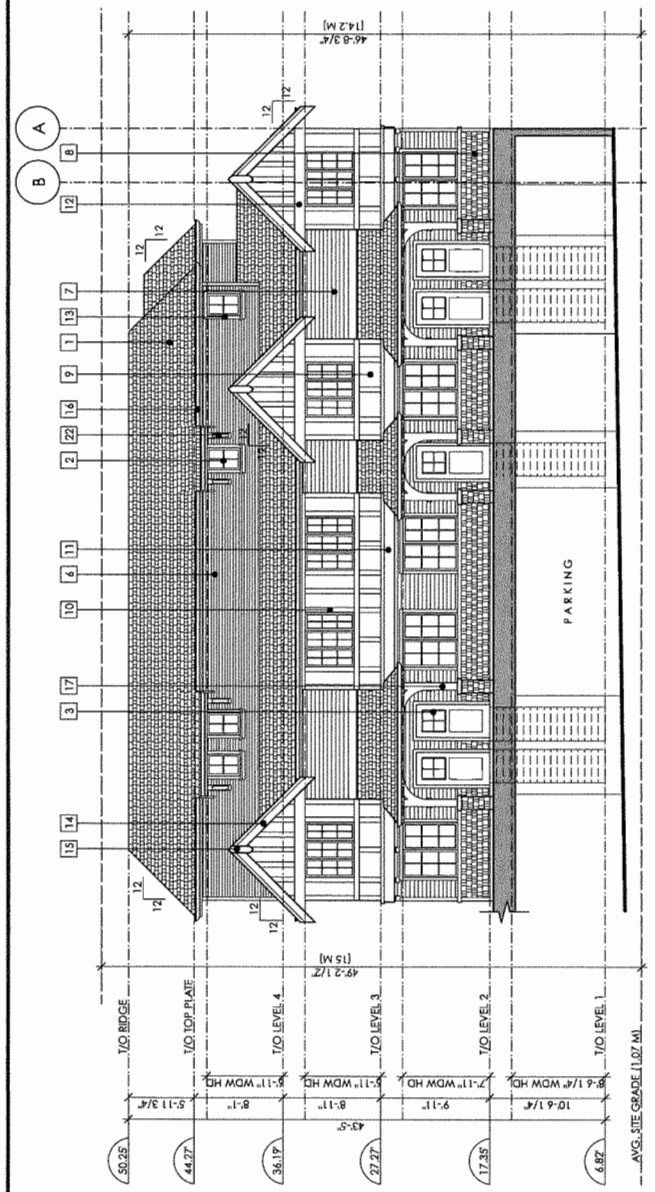


SIDE ELEVATION - SOUTH
 BUILDING 7

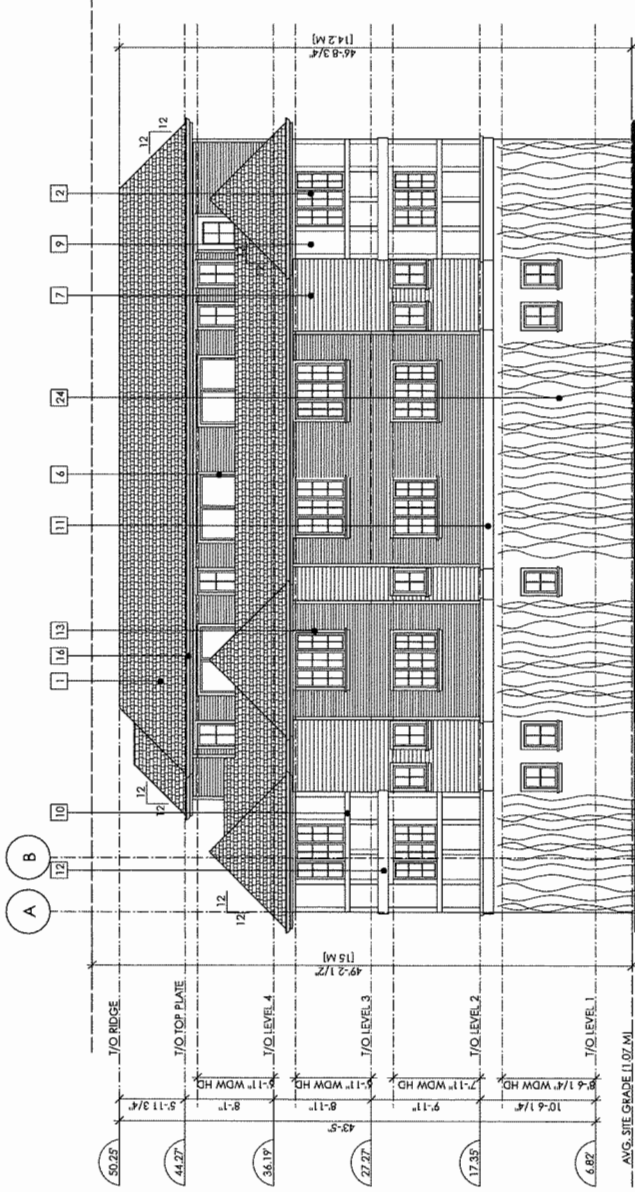


FINISH SCHEDULE

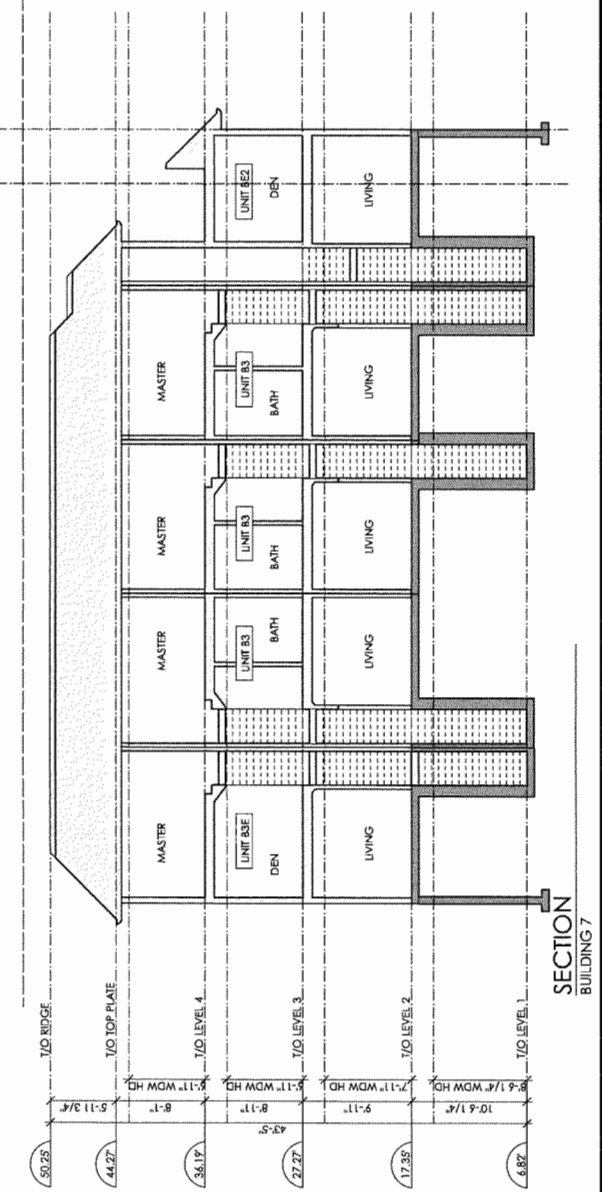
1	FIBREGLASS SHINGLE	13	PAINTED 2X4 WINDOW TRIM	25	CONCRETE CAP
2	DOUBLE PANELED SEALED UNIT VINYL WINDOWS	14	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM	21	ALUMINUM RAILING
3	INSULATED METAL PANEL DOOR	15	PAINTED FIBRE CEMENT BOARD	22	PAINTED WOOD BRACKETS
4	FRENCH DOOR	16	PAINTED WOOD 2X4 TUDOR TRIM	23	PAINTED CONCRETE
5	BRICK	17	PAINTED WOOD COLUMN WITH 1X4 TRIM	24	CABLE TRELLIS
6	3" EXPOSURE HORIZONTAL VINYL SIDING	18	PAINTED 2X12 BELLY BOARD	26	METAL PANEL DOOR
7	4.5" EXPOSURE HORIZONTAL VINYL SIDING	19	METAL CHIMNEY CAP		
8	PAINTED HARDIE SHINGLE	20	PAINTED 2X12 BARGE BOARD WITH 1X4 TRIM		
9	PAINTED FIBRE CEMENT BOARD				
10	PAINTED WOOD 2X4 TUDOR TRIM				
11	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM				
12	PAINTED 2X12 BELLY BOARD				



FRONT ELEVATION - COURTYARD
 BUILDING 7



REAR ELEVATION - LANE
 BUILDING 7



SECTION
 BUILDING 7

AUG 20 2019

DP 18-829140 PLAN # 4M

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 MAR. 14, 2017 ISSUED FOR RECONING
 NOV. 16, 2017 RE-ISSUED FOR RECONING
 JUN. 08, 2018 RE-ISSUED FOR RECONING
 JUL. 12, 2018 RE-ISSUED FOR DP
 AUG. 20, 2018 RE-ISSUED FOR RECONING/DP
 NOV. 13, 2018 RE-ISSUED FOR DP
 APR. 31, 2019 RE-ISSUED FOR DP
 JUL. 3, 2019 RE-ISSUED FOR DP
 AUG. 7, 2019 RE-ISSUED FOR DP

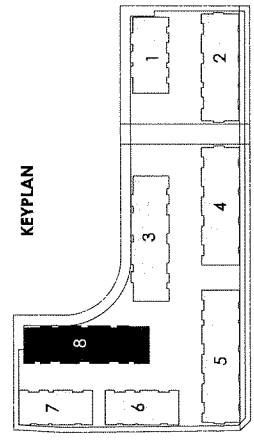
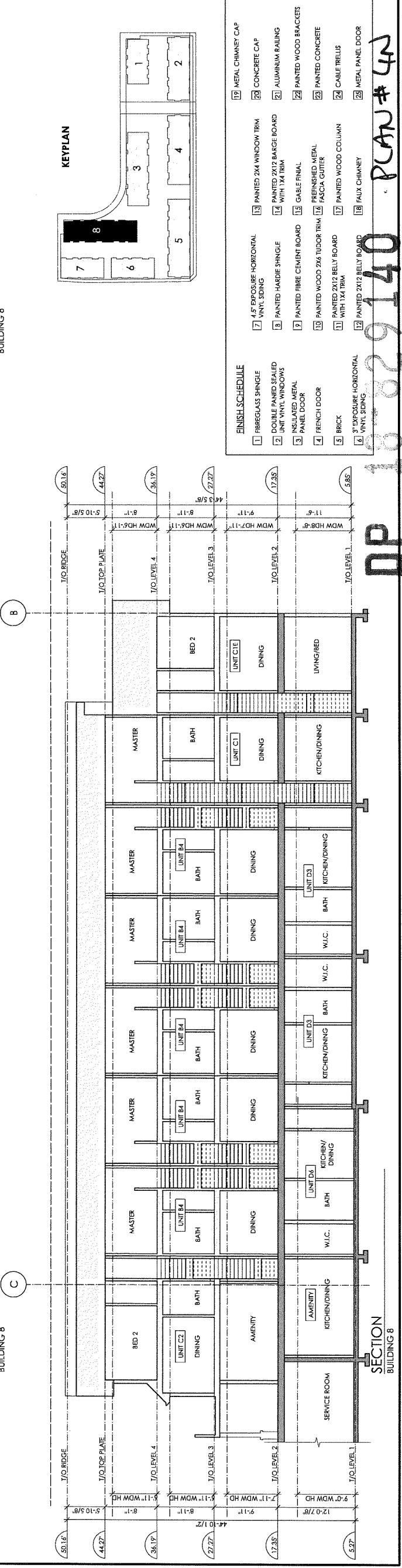
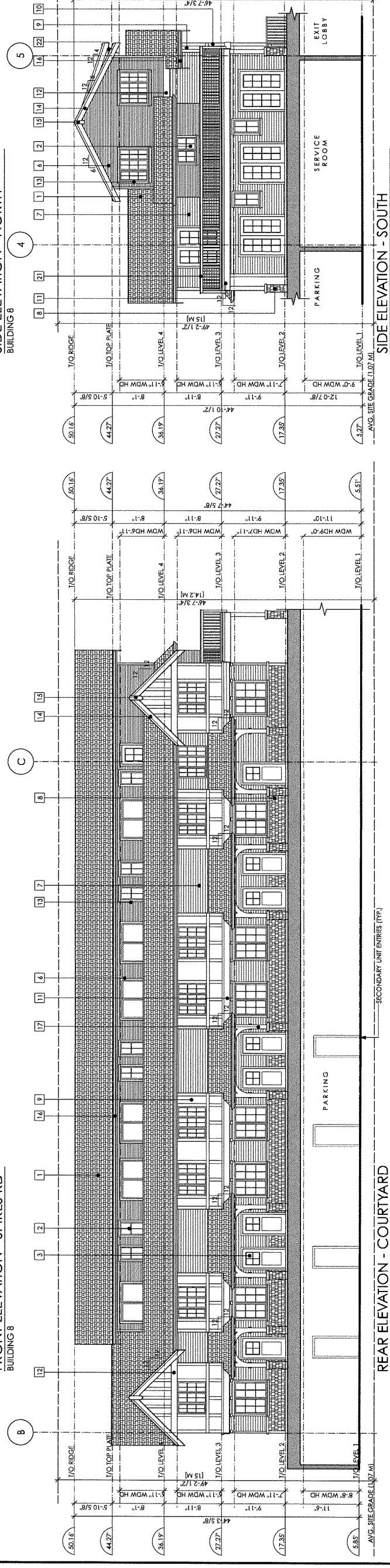
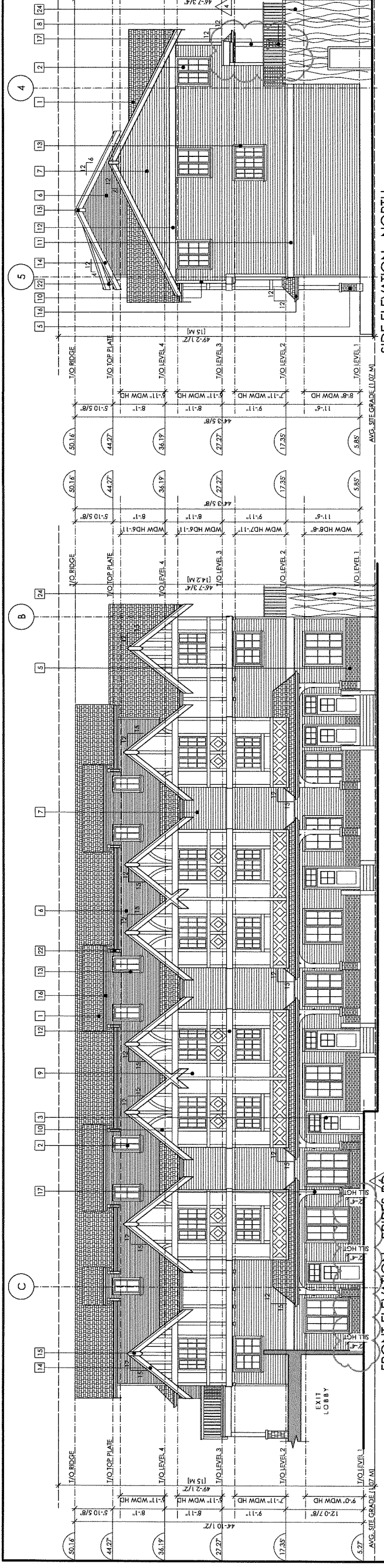
19.08.07
 REVISED PER DP COMMENTS
 RECEIVED ON JULY 23, 2019.

ALABASTER HOMES

FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 683-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
BUILDING 8 ELEVATIONS
 SHEET
 SCALE 1/8" = 1'-0"
 DATE **AUG 20 2019**
A2.15



FINISH SCHEDULE

1	IRREGULAR SHINGLE	13	PAINTED 2X4 WINDOW TRIM	19	METAL CHIMNEY CAP
2	DOUBLE PANELED UNIT VINYL WINDOWS	14	PAINTED 2X12 RAFCO BOARD WITH 1X4 TRIM	20	CONCRETE CAP
3	UNPAINTED METAL PANEL DOOR	15	PAINTED HARDIE SHINGLE	21	ALUMINUM RAILING
4	FRENCH DOOR	16	PAINTED FIBRE CEMENT BOARD	22	PAINTED WOOD BRACKETS
5	BRICK	17	PAINTED WOOD 2X6 TUDOR TRIM WITH 1X4 TRIM	23	PAINTED CONCRETE
6	2" EXPOSURE HORIZONTAL VINYL SIDING	18	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	24	CABLE TRELLIS
7	4.5" EXPOSURE HORIZONTAL VINYL SIDING	19	PAINTED 2X12 BELLY BOARD	25	METAL PANEL DOOR
8	PAINTED 2X4 WINDOW TRIM	20	CONCRETE CAP		
9	PAINTED HARDIE SHINGLE	21	ALUMINUM RAILING		
10	PAINTED WOOD 2X6 TUDOR TRIM WITH 1X4 TRIM	22	PAINTED WOOD BRACKETS		
11	PAINTED 2X12 BELLY BOARD WITH 1X4 TRIM	23	PAINTED CONCRETE		
12	PAINTED 2X12 BELLY BOARD	24	CABLE TRELLIS		
13	PAINTED 2X4 WINDOW TRIM	25	METAL PANEL DOOR		

DP 10-829140 PLAN # 4N

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REVISIONS

MAR. 14, 2017	ISSUED FOR REZONING
NOV. 16, 2017	RE-ISSUED FOR REZONING
JUN. 08, 2018	ISSUED FOR REZONING
JUL. 12, 2018	ISSUED FOR DP
AUG. 20, 2018	RE-ISSUED FOR REZONING/DP
NOV. 13, 2018	RE-ISSUED FOR DP
JAN. 31, 2019	ISSUED FOR ADVISORY DESIGN PANEL
FEB. 14, 2019	RE-ISSUED FOR DP
JUL. 3, 2019	RE-ISSUED FOR DP
AUG. 7, 2019	RE-ISSUED FOR DP

REVISED PER DP COMMENTS RECEIVED ON JULY 23, 2019. 19.08.07



ALBASTER HOMES

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax 485-2076 Phone 683-5441

PROJECT

SPIRES ROAD

8900 SPIRES ROAD
RICHMOND, BC

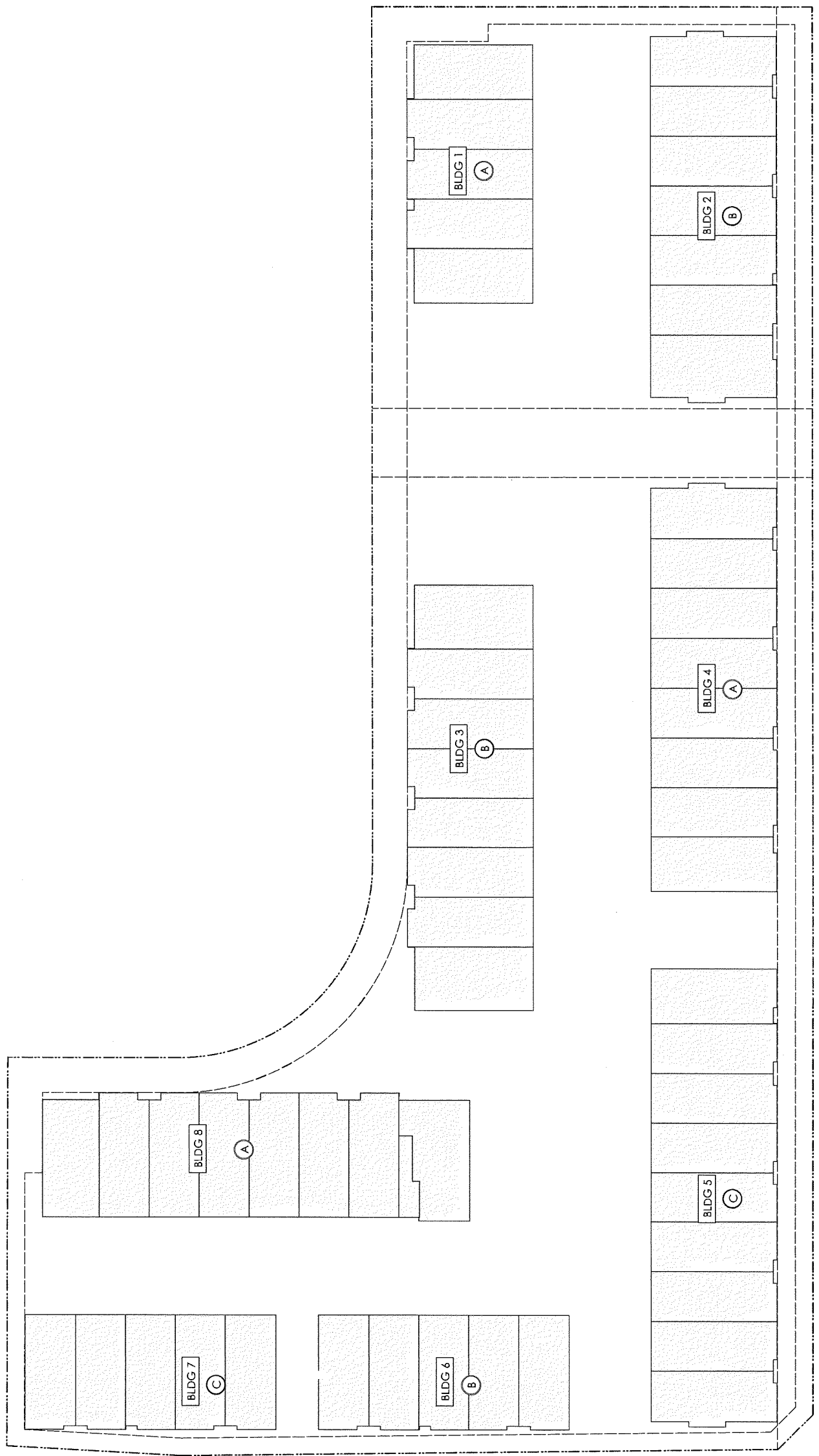
DRAWING

COLOUR SCHEME KEY PLAN

SCALE 1/16" = 1'-0"

SHEET **A1.10**

DATE MARCH 2017



N

LEGEND

(A)	COLOUR SCHEME A
(B)	COLOUR SCHEME B

PLAN # 40

AUG 20 2019

DP 18-829140

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 AUG. 7, 2019

19.08.07
 REVISIONS PER DP COMMENTS RECEIVED ON JULY 23, 2019.



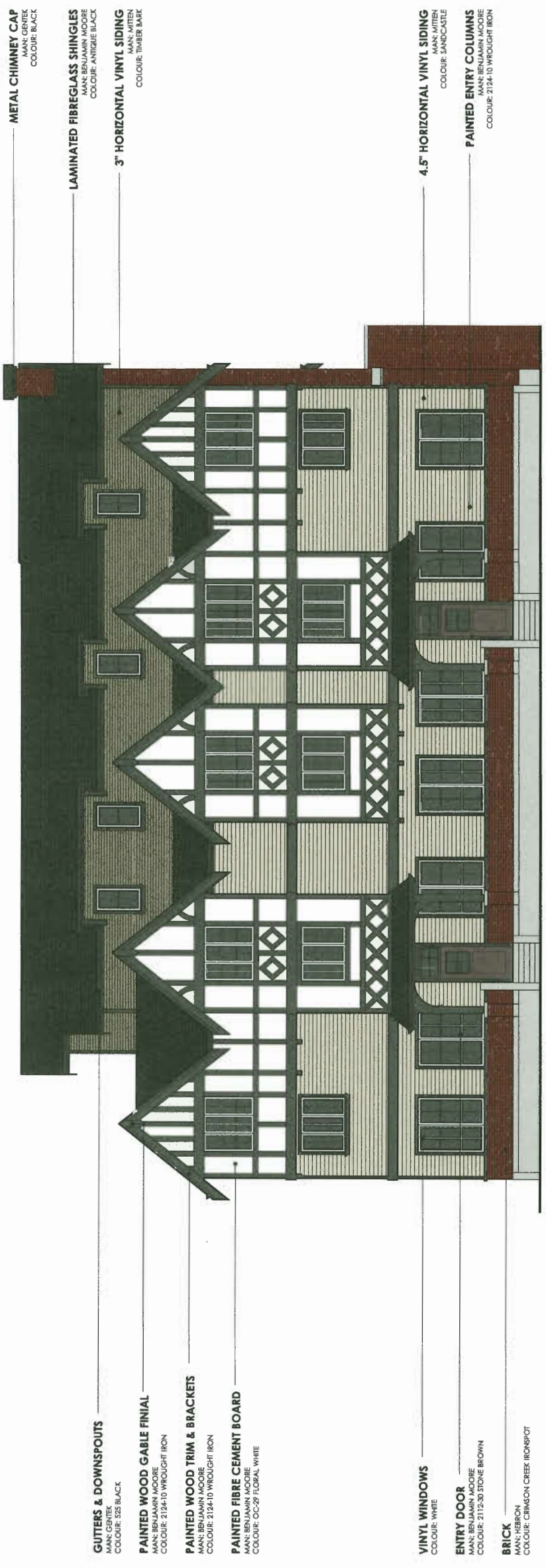
ALABASTER HOMES

FORMWORKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2876 Phone: 685-5441

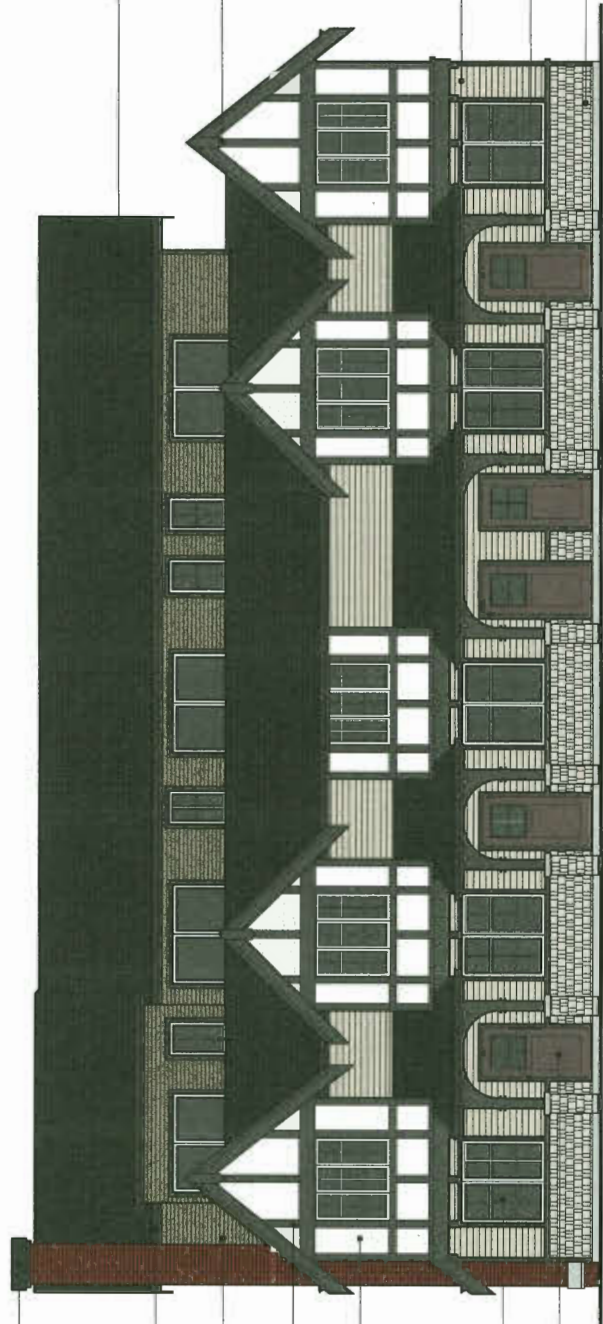
PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
COLOUR SCHEME A

SCALE 3/16" = 1'-0"
 SHEET **A1.11**
 MARCH 2017



FRONT ELEVATION - SPIRES RD
 BUILDING 1



REAR ELEVATION - COURTYARD
 BUILDING 1

- 3" HORIZONTAL VINYL SIDING**
 MAN: MITTEN
 COLOUR: TIMBER BARK
- 4.5" HORIZONTAL VINYL SIDING**
 MAN: MITTEN
 COLOUR: SANDCASTLE
- CEDAR SHINGLES**
 MAN: BENJAMIN MOORE
 COLOUR: SMOKEY TAUPE
 NUMBER: 983
- FIBRE CEMENT BOARD**
 MAN: BENJAMIN MOORE
 COLOUR: FLOAL WHITE
 NUMBER: OC-29
- PAINTED WOOD TRIM & WOOD DETAILS**
 MAN: BENJAMIN MOORE
 COLOUR: WROUGHT IRON
 NUMBER: 2124-10
- ENTRY DOORS**
 MAN: BENJAMIN MOORE
 COLOUR: STONE BROWN
 NUMBER: 2115-30

AUG 20 2019
 PLAN # 4P

DP 18-8291

GUTTERS & DOWNSPOUTS
 MAN: GENTEK
 COLOUR: 525 BLACK

PAINTED WOOD GABLE FINIAL
 MAN: BENJAMIN MOORE
 COLOUR: 2124-10 WROUGHT IRON

PAINTED WOOD TRIM & BRACKETS
 MAN: BENJAMIN MOORE
 COLOUR: 2124-10 WROUGHT IRON

PAINTED FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: OC-29 FLOAL WHITE

VINYL WINDOWS
 COLOUR: WHITE

ENTRY DOOR
 MAN: MITTEN
 COLOUR: 2125-30 STONE BROWN

BRICK
 MAN: HEBRON
 COLOUR: CHEROKEE CREEK IRONSPOT

METAL CHIMNEY CAP
 MAN: GENTEK
 COLOUR: BLACK

GUTTERS & DOWNSPOUTS
 MAN: GENTEK
 COLOUR: 525 BLACK

3" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: TIMBER BARK

PAINTED WOOD TRIM & BRACKETS
 MAN: BENJAMIN MOORE
 COLOUR: 2124-10 WROUGHT IRON

PAINTED FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: OC-29 FLOAL WHITE

VINYL WINDOWS
 COLOUR: WHITE

ENTRY DOOR
 MAN: MITTEN
 COLOUR: 2125-30 STONE BROWN

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REVISIONS
 MAR. 14, 2017 ISSUED FOR PERMITTING
 NOV. 16, 2017 RE-ISSUED FOR REZONING
 JUN. 08, 2018 RE-ISSUED FOR REZONING
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REVISED PER DP COMMENTS
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 19.08.07

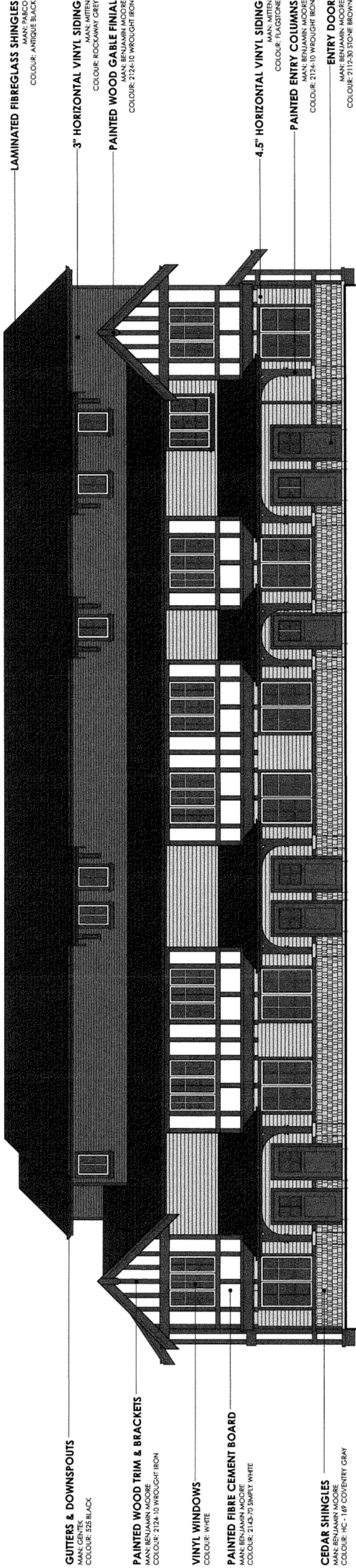
ALABASTER HOMES

FORMWERKS ARCHITECTURAL
 1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax 685-2076 Phone 683-5441

PROJECT
 SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
 COLOUR SCHEME B

SCALE 3/16" = 1'-0"
 SHEET A1.12
 DATE AUG 20 2019
 DRAWN BY CH 2017



FRONT ELEVATION - SPIRES RD
 BUILDING 3

GUTTERS & DOWNSPOUTS
 MAN: GENIEK
 COLOUR: 325 BLACK

PAINTED WOOD TRIM & BRACKETS
 MAN: BENJAMIN MOORE
 COLOUR: 2124-10 WROUGHT IRON

VINYL WINDOWS
 COLOUR: WHITE

PAINTED FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: 2143-70 SMPLY WHITE

CEDAR SHINGLES
 MAN: BENJAMIN MOORE
 COLOUR: HC-169 COVENTRY GRAY

LAMINATED FIBREGLOSS SHINGLES
 COLOUR: ANTIQUE BLACK

3" HORIZONTAL VINYL SIDING
 MAN: ROCKAWAY GREY
 COLOUR: ROCKAWAY GREY

PAINTED WOOD GABLE FINIAL
 MAN: BENJAMIN MOORE
 COLOUR: 2124-10 WROUGHT IRON

4.5" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: FLAGSTONE

PAINTED ENTRY COLUMNS
 MAN: BENJAMIN MOORE
 COLOUR: 2124-10 WROUGHT IRON

ENTRY DOOR
 MAN: BENJAMIN MOORE
 COLOUR: 2112-30 STONE BROWN

LAMINATED FIBREGLOSS SHINGLES
 MAN: PAKCO
 COLOUR: ANTIQUE BLACK

3" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: ROCKAWAY GREY

4.5" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: FLAGSTONE

PAINTED CONCRETE
 MAN: BENJAMIN MOORE
 COLOUR: 2111-50 STONE HARBOR

GUTTERS & DOWNSPOUTS
 MAN: GENIEK
 COLOUR: 325 BLACK

VINYL WINDOWS
 COLOUR: WHITE

PAINTED WOOD TRIM & BRACKETS
 MAN: BENJAMIN MOORE
 COLOUR: 2124-10 WROUGHT IRON

PAINTED FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: 2143-70 SMPLY WHITE



REAR ELEVATION - COURTYARD
 BUILDING 3

3" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: ROCKAWAY GREY

4.5" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: FLAGSTONE

CEDAR SHINGLES
 MAN: BENJAMIN MOORE
 COLOUR: COVENTRY GRAY
 NUMBER: HC-169

FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: SMPLY WHITE
 NUMBER: 2143-70

PAINTED WOOD TRIM & WOOD DETAILS
 MAN: BENJAMIN MOORE
 COLOUR: WROUGHT IRON
 NUMBER: 2124-10

ENTRY DOORS
 MAN: BENJAMIN MOORE
 COLOUR: STONE BROWN
 NUMBER: 2112-30

PAINTED CONCRETE
 MAN: BENJAMIN MOORE
 COLOUR: STONE HARBOR
 NUMBER: 2111-50

AUG 20 2019
 PLAN # 4Q

18-829140

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 AUG. 20, 2018
 NOV. 13, 2018
 JAN. 31, 2019
 APR. 02, 2019
 JUL. 03, 2019
 AUG. 07, 2019
 ISSUED FOR REZONING
 RE-ISSUED FOR REZONING
 ISSUED FOR REZONING
 RE-ISSUED FOR REZONING/DP
 ISSUED FOR ADVOCACY DESIGN PANEL
 RE-ISSUED FOR DP
 RE-ISSUED FOR DP

19.08.07
 REVISED PER DP COMMENTS
 RECEIVED ON JULY 23, 2019.

ALABASTER
 HOMES



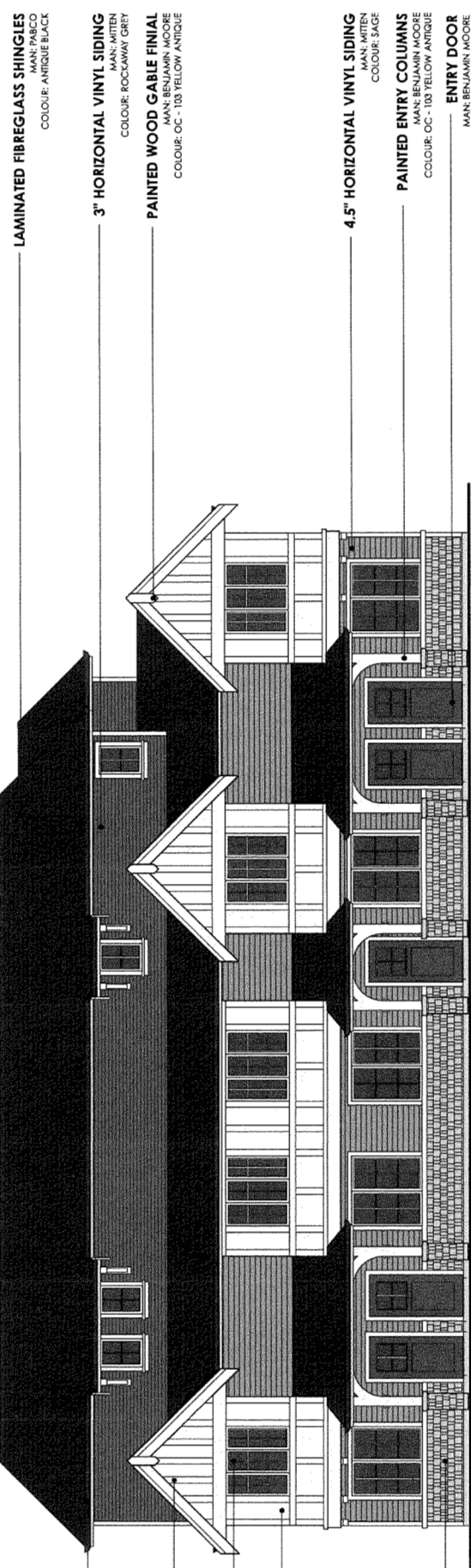
FORMWORKS
 ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
 Fax: 685-2076 Phone: 685-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
COLOUR SCHEME C

SCALE 3/16" = 1'-0"
 SHEET
 DATE MARCH 2017
A1.12B



COURTYARD ELEVATION - COURTYARD
 BUILDING 7

GUTTERS & DOWNSPOUTS
 MAN: GENTEK
 COLOUR: 525 BLACK

PAINTED WOOD TRIM & BRACKETS
 MAN: BENJAMIN MOORE
 COLOUR: OC-103 YELLOW ANTIQUE

VINYL WINDOWS
 COLOUR: WHITE

PAINTED FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: OC-29 FLORAL WHITE

CEDAR SHINGLES
 MAN: BENJAMIN MOORE
 COLOUR: 2137-40 DESERT TWILIGHT

LAMINATED FIBREGLASS SHINGLES
 COLOUR: ANTIQUE BLACK

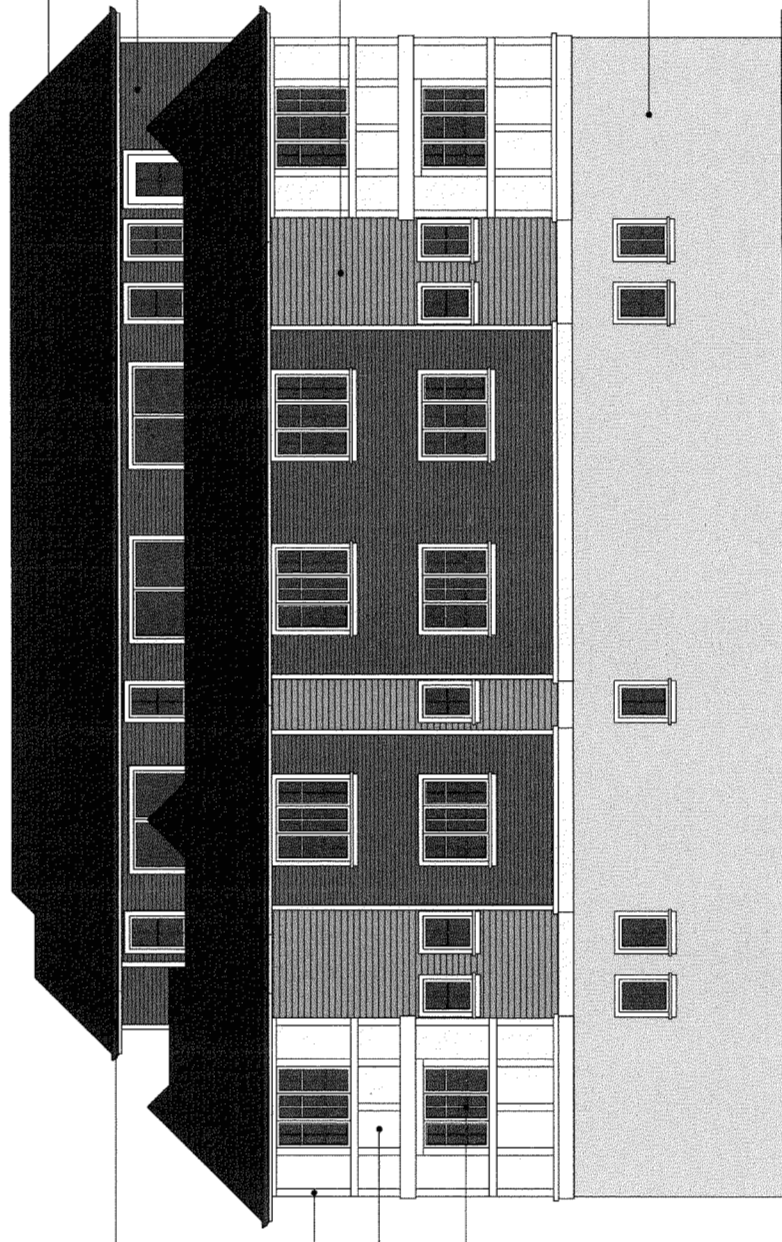
3" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: ROCKAWAY GREY

PAINTED WOOD GABLE FINIAL
 MAN: BENJAMIN MOORE
 COLOUR: OC-103 YELLOW ANTIQUE

4.5" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: SAGE

PAINTED ENTRY COLUMNS
 MAN: BENJAMIN MOORE
 COLOUR: OC-103 YELLOW ANTIQUE

ENTRY DOOR
 MAN: BENJAMIN MOORE
 COLOUR: 21200 STONE HARBOR



REAR ELEVATION - LANE
 BUILDING 7

GUTTERS & DOWNSPOUTS
 MAN: GENTEK
 COLOUR: 525 BLACK

PAINTED WOOD TRIM & BRACKETS
 MAN: BENJAMIN MOORE
 COLOUR: OC-103 ANTIQUE YELLOW

PAINTED FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: OC-29 FLORAL WHITE

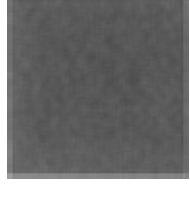
VINYL WINDOWS
 COLOUR: WHITE

LAMINATED FIBREGLASS SHINGLES
 COLOUR: ANTIQUE BLACK

3" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: ROCKAWAY GREY

4.5" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: SAGE

PAINTED CONCRETE
 MAN: BENJAMIN MOORE
 COLOUR: 2111-50 STONE HARBOR



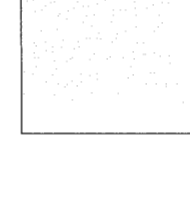
3" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: ROCKAWAY GREY



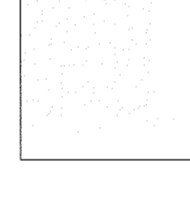
4.5" HORIZONTAL VINYL SIDING
 MAN: MITTEN
 COLOUR: SAGE



CEDAR SHINGLES
 MAN: BENJAMIN MOORE
 COLOUR: DESERT TWILIGHT
 NUMBER: 2137-40



FIBRE CEMENT BOARD
 MAN: BENJAMIN MOORE
 COLOUR: FLORAL WHITE
 NUMBER: OC-29



PAINTED WOOD TRIM & WOOD DETAILS
 COLOUR: YELLOW ANTIQUE
 NUMBER: OC-103



ENTRY DOORS
 MAN: BENJAMIN MOORE
 COLOUR: STONE HARBOR
 NUMBER: 2112-30



PAINTED CONCRETE
 MAN: BENJAMIN MOORE
 COLOUR: STONE HARBOR
 NUMBER: 2111-50

AUG 20 2019
 PLAN # 4R

DP 10-829140

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- JAN. 31, 2019 RE-ISSUED FOR DP
- FEB. 23, 2019 RE-ISSUED FOR DP
- AUG. 7, 2019 RE-ISSUED FOR DP

REVISED PER DP COMMENTS RECEIVED ON JULY 23, 2019.



ALABASTER HOMES

FORMWORKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax: 685-2076

PROJECT

SPIRES ROAD

8900 SPIRES ROAD
RICHMOND, BC

DRAWING

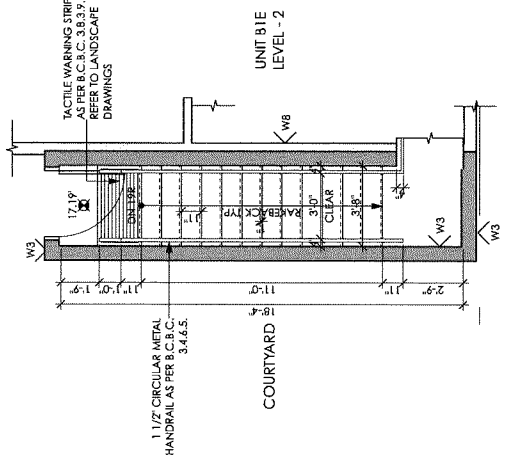
STAIR DETAILS

SCALE 1/4" = 1'-0"

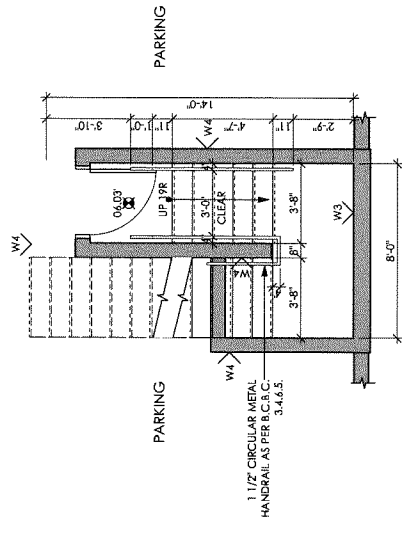
DATE MARCH 2017

SHEET A4.00

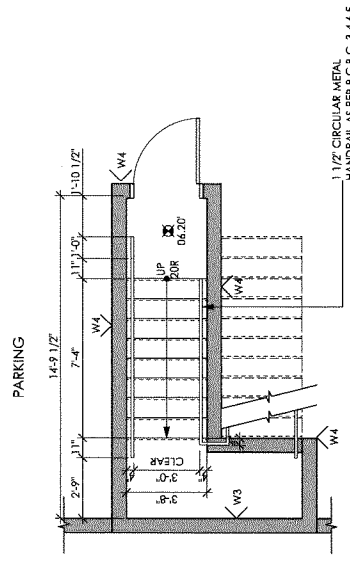
NOTE: TREAD TO HAVE SLIP-RESISTANT FINISH AND LEADING EDGE OF TREAD TO HAVE COLOUR CONTRASTIVE PATTERN AS PER B.C.C.C. 3.4.4.6.1.1.1



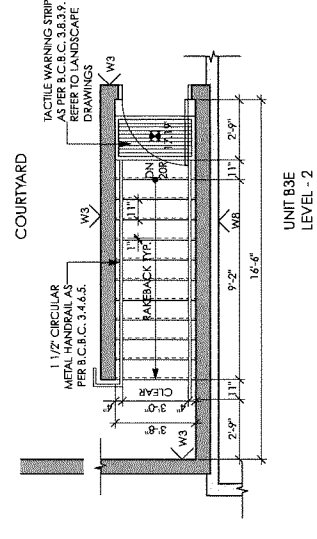
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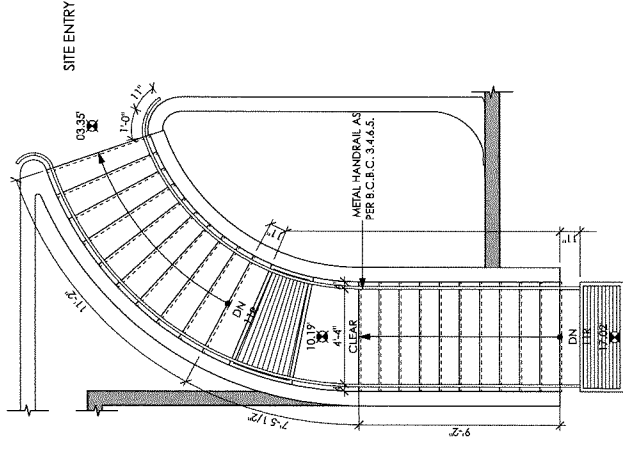
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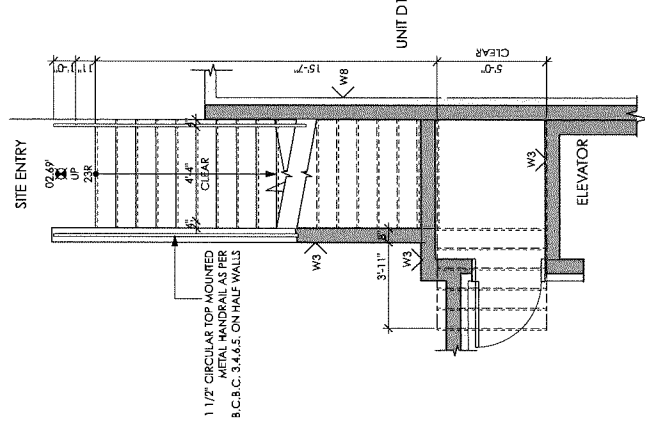
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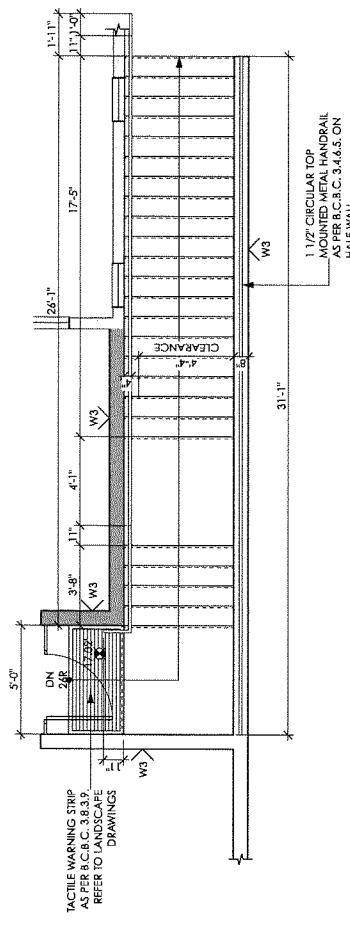
EXIT STAIR #2 PLAN - L2



EXIT STAIR #7 PLAN - L2



EXIT STAIR #8 PLAN - L1



EXIT STAIR #6 PLAN - L2

AUG 20 2019

PLANS # 4S

DP 18-829140

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- APR. 24, 2019 RE-ISSUED FOR DP
- MAY. 13, 2019 RE-ISSUED FOR DP
- AUG. 7, 2019 RE-ISSUED FOR DP

REVISED PER DP COMMENTS RECEIVED ON JULY 23, 2017.



ALABASTER HOMES

FORMWERKS ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax 685-2076

PROJECT

SPIRES ROAD
8900 SPIRES ROAD
RICHMOND, BC

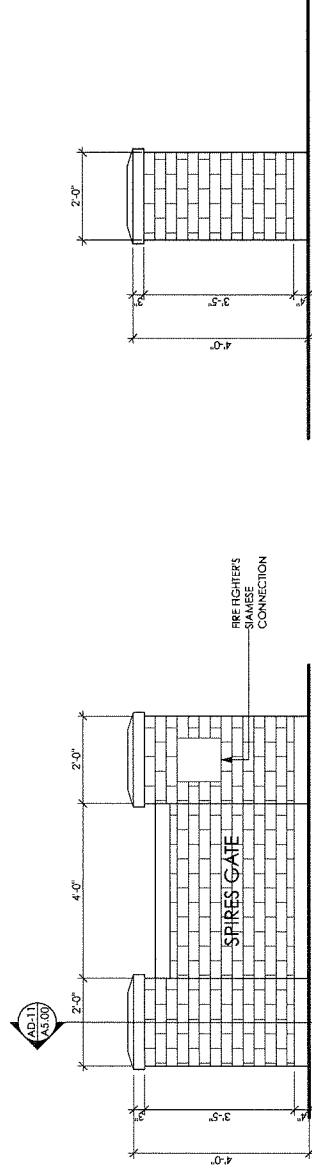
DRAWING

ENTRY MONUMENT

SCALE 1/2" = 1'-0"

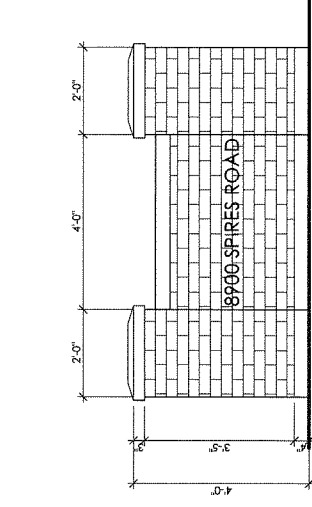
DATE MARCH 2017

SHEET A5.00

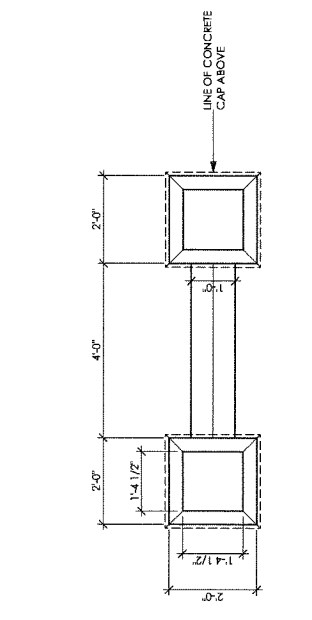


FRONT ELEVATION A
ENTRY MONUMENT A

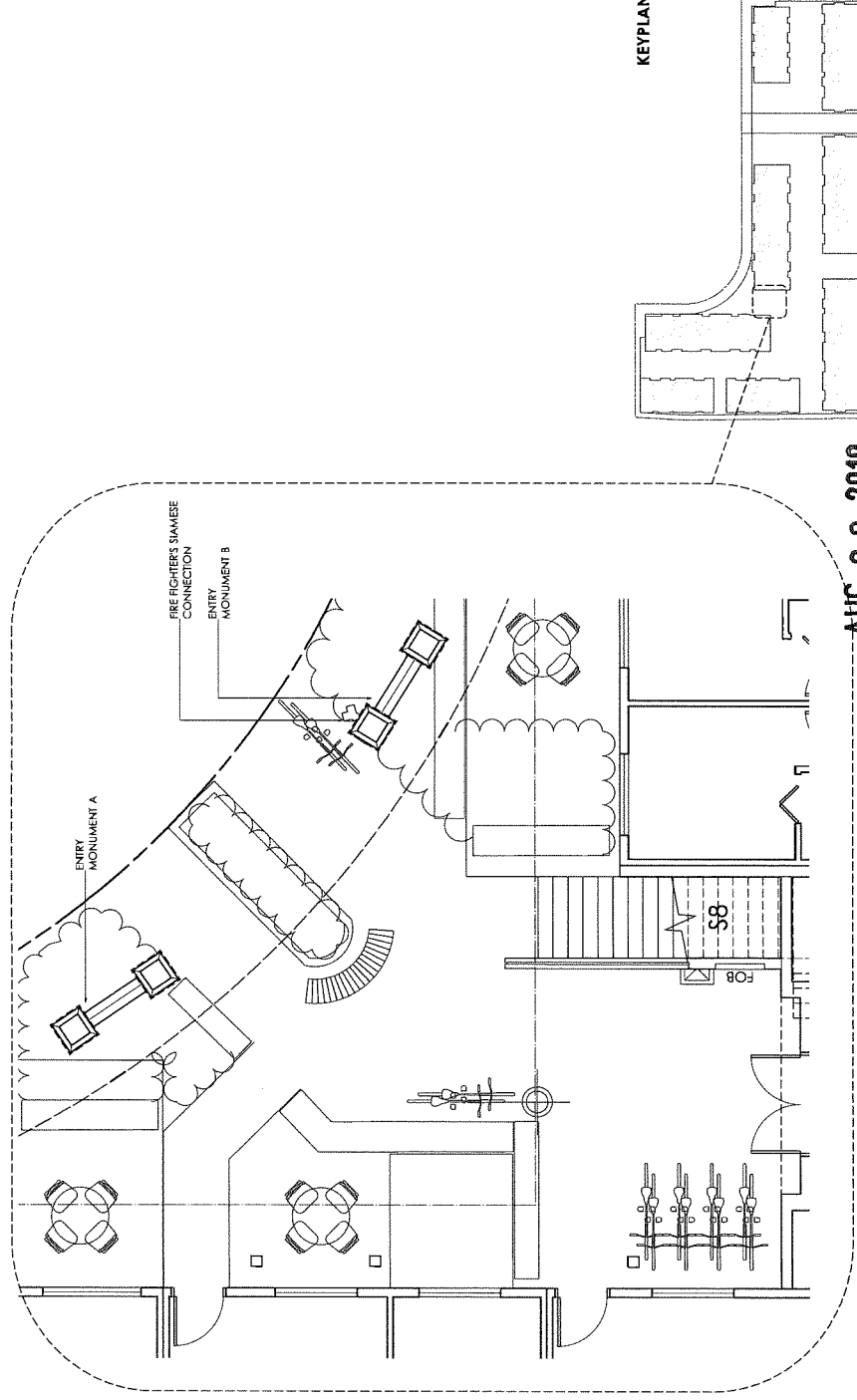
FRONT ELEVATION B
ENTRY MONUMENT B



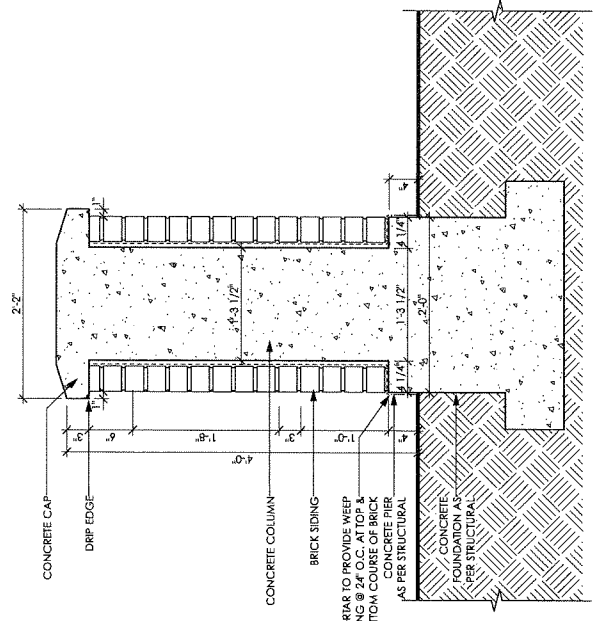
SIDE ELEVATION
ENTRY MONUMENT



MONUMENT PLAN
ENTRY MONUMENT



KEY PLAN



AD-11 TYPICAL MONUMENT SECTION
A5.00 SCALE: 1" = 1'-0"

AUG 20 2019

PLAN # 4T ENTRY PLAZA

10-829140



KANE CONSULTING

24 January 2019

Project: 8900 Spires Road, Richmond

Re: Summary of Proposed Sustainability Measures

The following list highlights the prominent sustainable features of the 8900 Spires Road project. Many of these features are a passive response to energy conservation, thermal comfort and protection or restoration of a more natural environment.

We have also provided a Multifamily Sustainability checklist which shows that the project is incorporating numerous sustainable strategies resulting in 56 points (30 points are required in Silver). Several more points are potentially available and the scorecard will be confirmed as the design is refined.

1.0 Site:

- An erosion and sedimentation control plan will be implemented to minimize erosion and sedimentation during demolition, site preparation and throughout construction.
- Landscaping will utilize natural and adaptive plants and is designed to reduce the development's heat island effect and minimize its impact on storm sewers while increasing local habitat.
- The project is located within close walking proximity to skytrain and various bus routes.

2.0 Water:

- The irrigation system will include a number of features to significantly reduce the amount of water consumed.
- Low flow/flush plumbing fixtures will be provided.

3.0 Energy:

- The project is being designed to achieve an EnerGuide Rating of 82.
- Energy conservation measures include high performance envelope including glazing systems and highly insulated walls and roof.
- Energy efficient appliances including dishwashers, refrigerators and clothes washers.

#408 - 535 Thurlow Street, Vancouver, BC V6E 3L2
604-924-0094



KANE CONSULTING

4.0 Materials:

- A construction waste management plan will be developed and implemented throughout construction with a goal of diverting over 75% of waste generated.
- Many of the building materials and components will be selected based on recycled content and local or regional production.
- Low VOC paints.
- Low emitting carpet, flooring and composite wood will be evaluated for use.

5.0 Environmental Quality:

- Best practices will be implemented during construction to optimize air quality and provide a clean and healthy building for the future residents.
- Operable windows will be incorporated throughout the buildings giving the future residents a high level of control over their thermal comfort.
- Appropriate glazing selection and placement will allow for plenty of daylight and views.

Thank you,

Joe Stano
M.A.Sc. LEED BD+C & O+M, Certified Passive House Consultant
Partner
Kane Consulting Partnership

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604-924-0094

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AUG. 7, 2019	RE-ISSUED FOR DP

REVISED PER DP COMMENTS
RECEIVED ON JULY 29, 2019. 19.08.07



ALABASTER HOMES

FORMWORKS ARCHITECTURAL

1025 West 5th Ave., Vancouver, BC V6J 1N5
Fax 482-2076 Phone 483-5441

PROJECT

SPIRES ROAD

8900 SPIRES ROAD
RICHMOND, BC

DRAWING

SUSTAINABILITY STATEMENT & SCORECARD

SCALE	N/A	SHEET	A0.09
DATE	MARCH 2017		

THE FOLLOWING UPGRADES ARE PROPOSED PER BUILDING ENERGY REPORT:

- ALL UNITS ARE TO BE CONSTRUCTED PER REQUIREMENTS OF THE BC SOLAR HOT WATER READY REGULATION

- AIR SOURCE HEAT PUMP TO BE INSTALLED IN UNIT 36 (UNIT B2). IF THIS UPGRADE IS INSTALLED IN UNIT 36, AND IN OTHER UNITS ASSESSED TO HAVE SIMILAR OR BETTER ENERGY PERFORMANCE, ENERGY MODELLING INDICATE THE UNITS WILL ACHIEVE OR EXCEED AN ENERGUIDE 82 RATING.

Building Design and Construction: Multifamily Midrise Sustainability Scorecard
Project Name: 8900 Spires Road
Date: January 24, 2019

Y	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
Y	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
Y	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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PLAN # 4U
AUG 20 2019
DP 18-829140

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RE-ISSUED FOR DP	NOV. 13, 2018
ISSUED FOR ADVISORY DESIGN PANEL	JAN. 31, 2019
RE-ISSUED FOR DP	APR. 26, 2019
RE-ISSUED FOR DP	MAY. 15, 2019
RE-ISSUED FOR DP	AUG. 7, 2019

REVISED PER DP COMMENTS
RECEIVED ON JULY 23, 2019.

19.08.07



ALABASTER
HOMES

FORMWERKS
ARCHITECTURAL

1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax: 485-2076 Phone: 483-5441

PROJECT

SPIRES
ROAD

8900 SPIRES ROAD
RICHMOND, BC

DRAWING

UNIT TYPE B5
PLANS
(CONVERTIBLE)

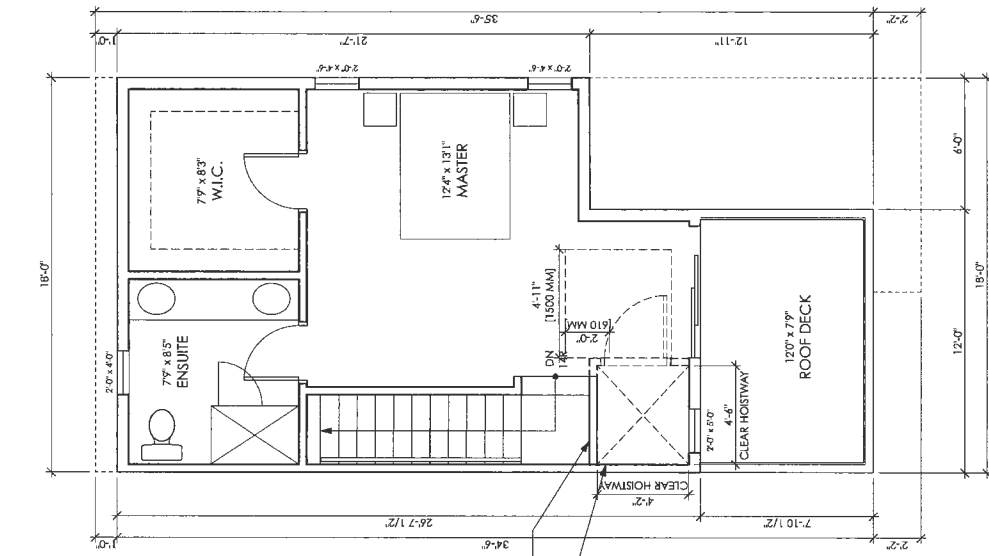


SCALE 1/4" = 1'-0"

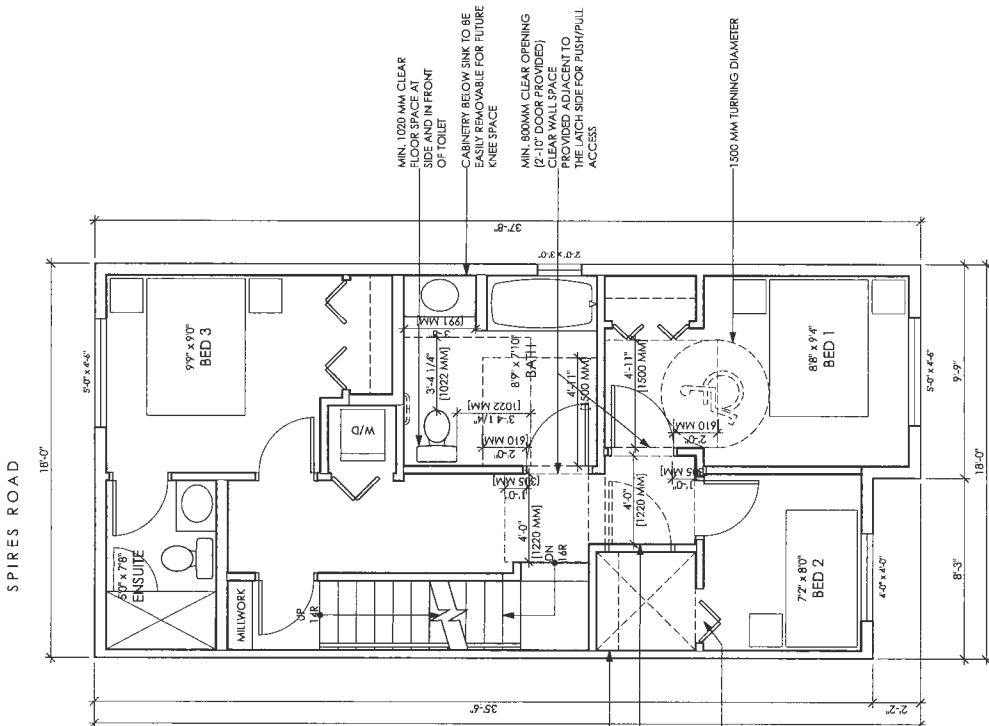
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MARCH 2017

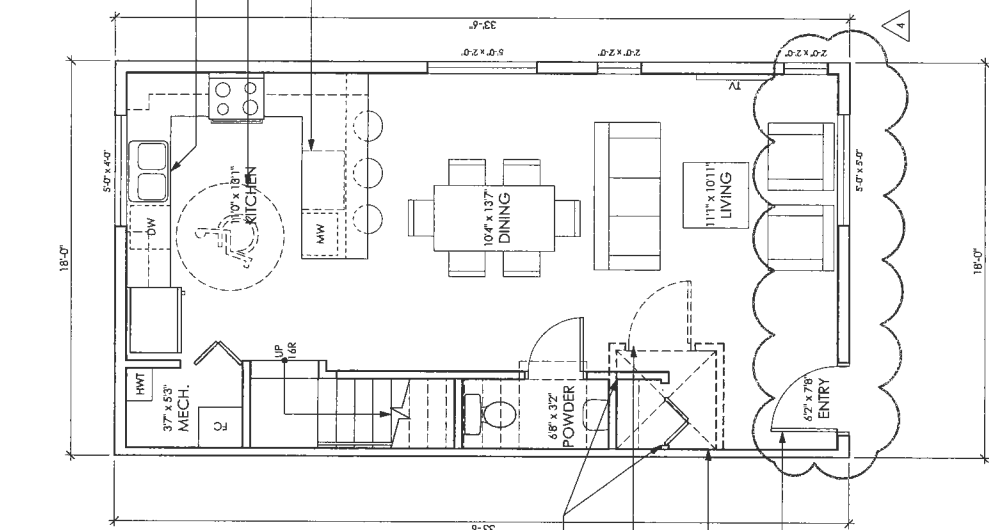
SHEET
A3.01



LEVEL 3 PLAN
UNIT B5



LEVEL 2 PLAN
UNIT B5



LEVEL 1 PLAN
UNIT B5

Convertible Unit Guidelines for Townhouses

Convertible Unit Guidelines	DESCRIPTION
Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access. Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side (not needed if rough in wiring provided for future automatic door opener). Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access between the hallway and rooms and widen hallway and/or doorway(s) if necessary to secure access. Patio/balcony min. 860 mm clear opening. Note how accessed. All interior thresholds within units comply with BC Building Code. Lever-type handles for all doors. Stair lift, staircase width, framing support, and landings, as noted on floor plans in compliance with manufacturer specifications. OR Vertical lift, depressed slab area, and landings, as noted on floor plans in compliance with manufacturer specifications. Framing to accommodate shaft construction without impact to surrounding structure. At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to centre.
Hallways	Min. 900 mm width.
Garage	Min. 1 accessible parking space with min. 4 m garage width. Access from garage to living area min. 800 mm clear opening.
Bathroom (Min. 1)	Toilet clear floor space min. 1020 mm at side and in front. Wall blocking for future grab bar installation at toilet, tub and shower. Reinforced with 2" x 12" solid lumber in all bathtub, shower, and toilet locations. Lever-type handles for plumbing fixtures. Pressure and temperature control valves are installed on all shower faucets. Cabinets underneath sinks(s) are easily removed. Demonstrate bath and shower controls are accessible (layout or fixture placement). Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter). All pipes are brought in no higher than 304 mm to 355 mm to the centre of the pipe on floor level. Cabinets of the paper on floor level. 1500 mm turning diameter for future path diagram. Lever-type handles for enabling fixtures.
Kitchen	Min. 1500 mm turning diameter for enabling fixtures. Placement locations of electrical outlets, beside window, bottom of cabinets, beside toilet, above external door (outside and inside), on front face of kitchen counter, within proximity of control centre for smart home options. Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room.
Windows	Min. 1500 mm turning diameter for enabling fixtures.
Outlets & Switches	Placement locations of electrical outlets, beside window, bottom of cabinets, beside toilet, above external door (outside and inside), on front face of kitchen counter, within proximity of control centre for smart home options. Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room.

32" x 48" ELMIRA
LEFT INLINE CAB

PRODUCTION APPROVAL

THIS DOCUMENT REFLECTS OUR APPROVAL OF THE APPEARANCE OF THE CABINETS AND IS NOT A CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

PROVIDER'S NOTES:

- 1. FACTORY SUPPLIED OR ADVISORY AGENT SUPPLY
- 2. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A MINIMUM OF 1.5mm CLEARANCE TO THE TOP OF THE CABINET
- 3. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A MINIMUM OF 1.5mm CLEARANCE TO THE TOP OF THE CABINET
- 4. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A MINIMUM OF 1.5mm CLEARANCE TO THE TOP OF THE CABINET
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- 9. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A MINIMUM OF 1.5mm CLEARANCE TO THE TOP OF THE CABINET
- 10. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A MINIMUM OF 1.5mm CLEARANCE TO THE TOP OF THE CABINET
- 11. ALL INTERIOR SURFACES SHALL BE FINISHED WITH A MINIMUM OF 1.5mm CLEARANCE TO THE TOP OF THE CABINET

AUG 20 2019

UNIT B5 FLOOR AREAS		LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
GROSS		0.0 SF	403.0 SF	660.1 SF	449.7 SF	1711.9 SF
EXCLUSIONS		0.0 SF	35.5 SF	44.0 SF	48.0 SF	128.5 SF
NET		0.0 SF	367.3 SF	614.2 SF	401.6 SF	1583.3 SF

REFERENCE PLAN

029140

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19.08.07
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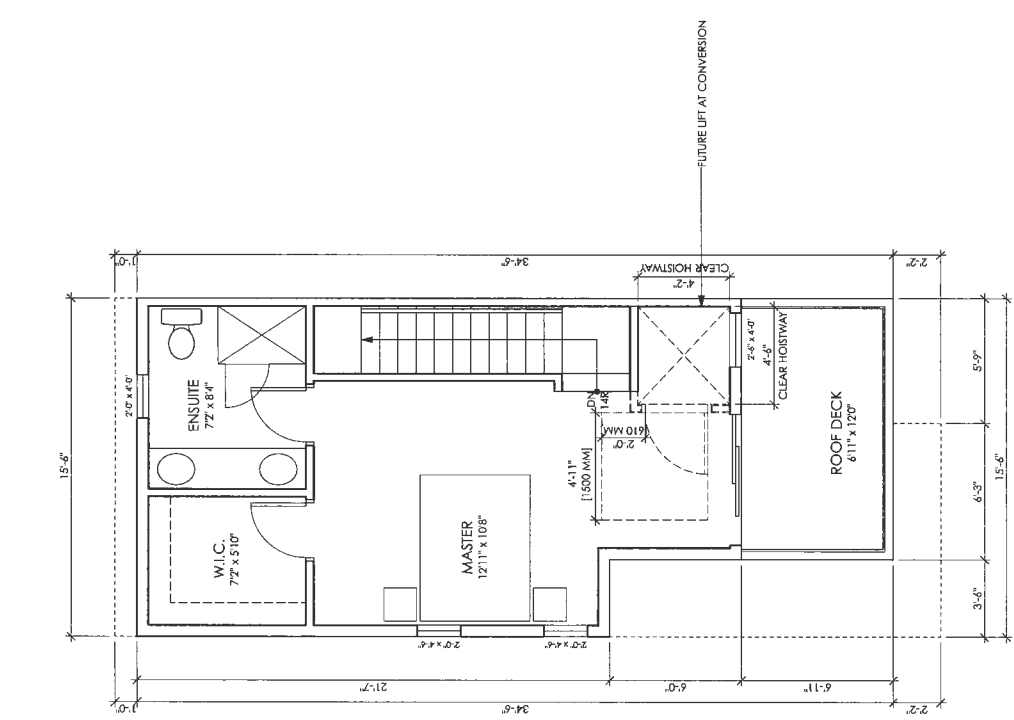
ALABASTER HOMES

FORMWERKS ARCHITECTURAL
1625 West 5th Ave., Vancouver, BC V6J 1N5
Fax: 685.2076 Phone: 683.5441

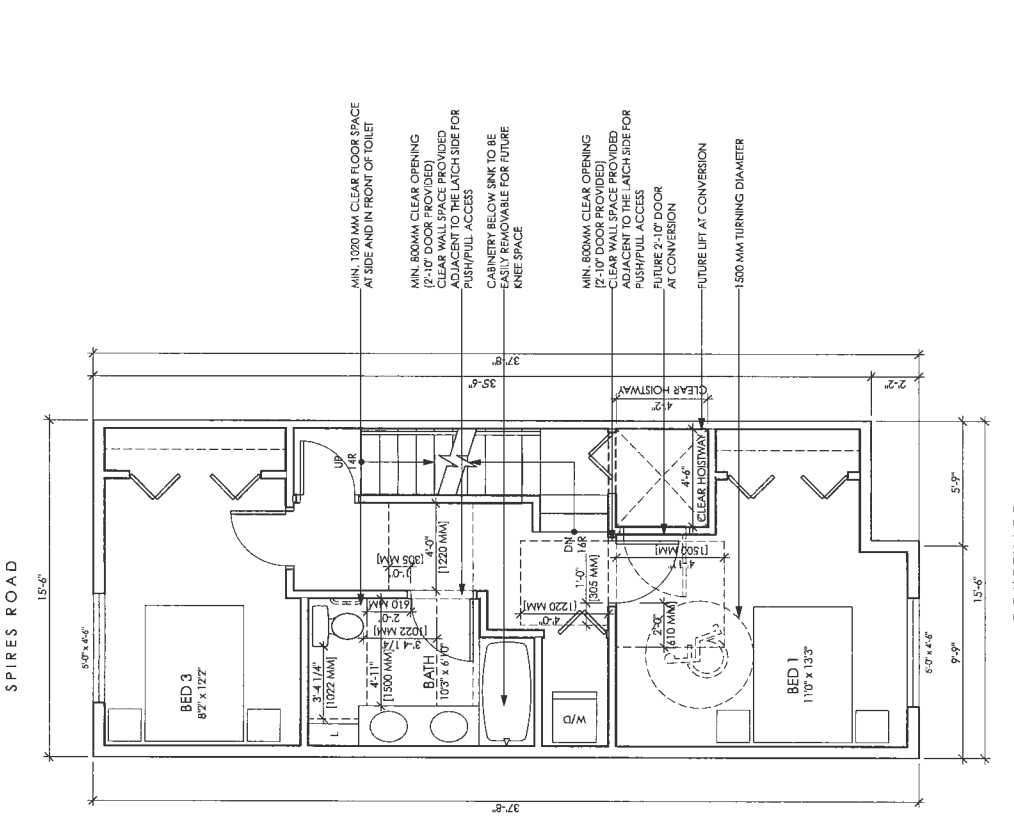
PROJECT
SPIRES ROAD
8900 SPIRES ROAD
RICHMOND, BC

DRAWING
UNIT TYPE B6 PLANS (CONVERTIBLE)

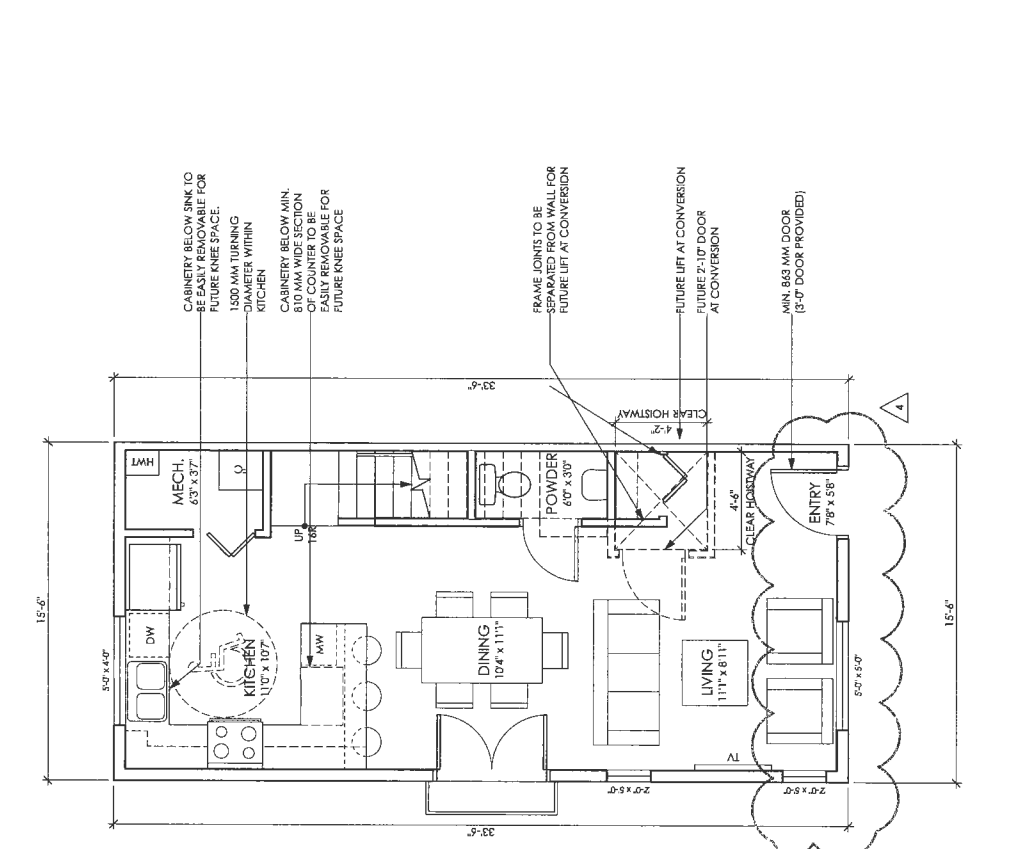
SHEET
SCALE 1/4" = 1'-0"
DATE MARCH 2017
A3.02



LEVEL 3 PLAN
UNIT B6



LEVEL 2 PLAN
UNIT B6



LEVEL 1 PLAN
UNIT B6

Convertible Unit Guidelines for Townhouses

Convertible Unit Guidelines	Notes
Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access. Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side (not needed if rough in wiring provided for future automatic door opener). Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access between the hallway and rooms and widen hallway and/or doorway(s) if necessary to secure access. Patio/balcony min. 860 mm clear opening. Note how accessed. All interior thresholds within units comply with BC Building Code. Lever-type handles for all doors. Lever-type handles for all doors. OR Vertical lift, depressed slab area, and landings, as noted on floor plans in compliance with manufacturer specifications. Framing to accommodate shaft construction without impact to surrounding structure. At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to centre. Min. 900 mm width. Access from garage to living area min. 800 mm clear opening. Toilet clear floor space min. 1020 mm at side and in front.
Bedroom (Min. 1)	Wall blocking for future grab bar installation at toilet, tub and shower. Reinforced with 2" x 12" solid lumber in all bathtub, shower, and toilet locations. Lever-type handles for plumbing fixtures. Shower and temperature control valves are installed on all shower faucets. Cabinets underneath sinks (S) are easily removed. Demonstrate land and shower controls are accessible (layout or fixture placement). Clear area needed under future work space. Plumbing and gas pipes (at all and in floor level) clear under counter area of future work space (show 6.35 x 6.35 x 6.35 mm wide side clear). All floor joists in no higher than 304 mm to 355 mm to the centre of the pipe from floor level. Cabinets underneath sink are easily removed. 1500 mm turning diameter or turning path diagram. Lever-type handles for plumbing fixtures. Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room).
Kitchen	Placement locations of electrical outlets: beside window, bottom of stairs, beside toilet, above external doors (outside and inside), on front face of kitchen counter, within proximity of control centre for smart home options. Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room.
Windows & Shutters (Min. 1)	Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room). Placement locations of electrical outlets: beside window, bottom of stairs, beside toilet, above external doors (outside and inside), on front face of kitchen counter, within proximity of control centre for smart home options. Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room.

32" x 48" ELMIRA LEFT INLINE CAB

ELMIRA
WWW.CAMBRIDGECLEANING.COM
CAMBRIDGE CLEANING
905.886.8274 181.883.0022

NOTES:
1. PROVIDE BLOCKING IN BATHROOM WALLS ADJACENT TO THE TOILET & BATHTUB OR SHOWER FOR POTENTIAL FUTURE INSTALLATION OF GRAB BARS CONFORMING TO BCSC CLAUSE 3.8.3.12.(g) AND CLAUSES 3.8.3.16.(1)(f) OR 3.8.3.17.(1)(f)
2. PROVIDE BLOCKING AT TOP OF ALL STAIRWAYS AT 35° O.C. FOR POTENTIAL FUTURE INSTALLATION OF STAIR LIFT
3. DOORS TO HAVE LEVER-TYPE HANDLES
4. PLUMBING FIXTURES TO HAVE LEVER-TYPE HANDLES THAT CONFORM TO BCSC 3.7.2.3.(4)
5. PROVIDE PRESSURE AND TEMPERATURE CONTROL VALVES ON ALL SHOWER FAUCETS
6. REFER TO RICHMOND ZONING BY-LAW SECTION 4: GENERAL DEVELOPMENT REGULATIONS, SENTENCES 4.16.18 TO 4.16.22, FOR ELECTRICAL OUTLET AND SWITCH REQUIREMENTS. INSTALL FOUR-PLEX OUTLETS IN MASTER BEDROOM. (REFER TO ELECTRICAL DRAWINGS)
7. PROVIDE ELECTRICAL ROUGH-IN NEAR ENTRY DOOR FOR FUTURE AUTOMATIC DOOR OPENER (REFER TO ELECTRICAL DRAWINGS)
8. PLUMBING & GASPIPE (IN-WALL & IN-FLOOR) LOCATED UNDER KITCHEN SINK NOT TO BE LOCATED HIGHER THAN 304-355 MM TO THE CENTRE OF THE PIPE FROM THE FLOOR LEVEL.
9. ALL WINDOWS TO BE OPERABLE WITH ONE HAND.
10. STRUCTURAL FRAMING IN HOISTWAY TO BE PROVIDED TO ALLOW FOR FUTURE OPENING FOR ACCESSIBLE LIFT SHAFT.
11. FRAME JOINTS TO BE SEPARATED FROM WALL TO ALLOW FOR FUTURE CONVERTIBLE UNITS FOR LIFT.

REFERENCE PLAN
DP 2029140
AUG 20 2019

UNIT B6 FLOOR AREAS

LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
GROSS 0.0 SF	519.3 SF	571.9 SF	406.5 SF	1497.7 SF
EXCLUSIONS 0.0 SF	33.6 SF	44.3 SF	49.9 SF	127.7 SF
NET 0.0 SF	485.7 SF	527.6 SF	356.7 SF	1370.0 SF

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REVISIONS

ISSUED FOR REZONING	MAR. 14, 2017
REISSUED FOR REZONING	NOV. 16, 2017
REISSUED FOR REZONING	SEP. 12, 2018
REISSUED FOR REZONING	JUL. 12, 2018
REISSUED FOR DP	JUL. 12, 2018
REISSUED FOR REZONING/DP	AUG. 20, 2018
REISSUED FOR DP	NOV. 13, 2018
REISSUED FOR ADVISORY DESIGN PANEL	JAN. 21, 2019
REISSUED FOR DP	JUL. 3, 2019
REISSUED FOR DP	AUG. 7, 2019

19.08.07
 REVISED PER DP COMMENTS
 RECEIVED ON JULY 23, 2019.

ALBASTER
 HOMES

FORMWORKS
 ARCHITECTURAL

1625 West 51st Ave., Vancouver, BC V6J 1N5
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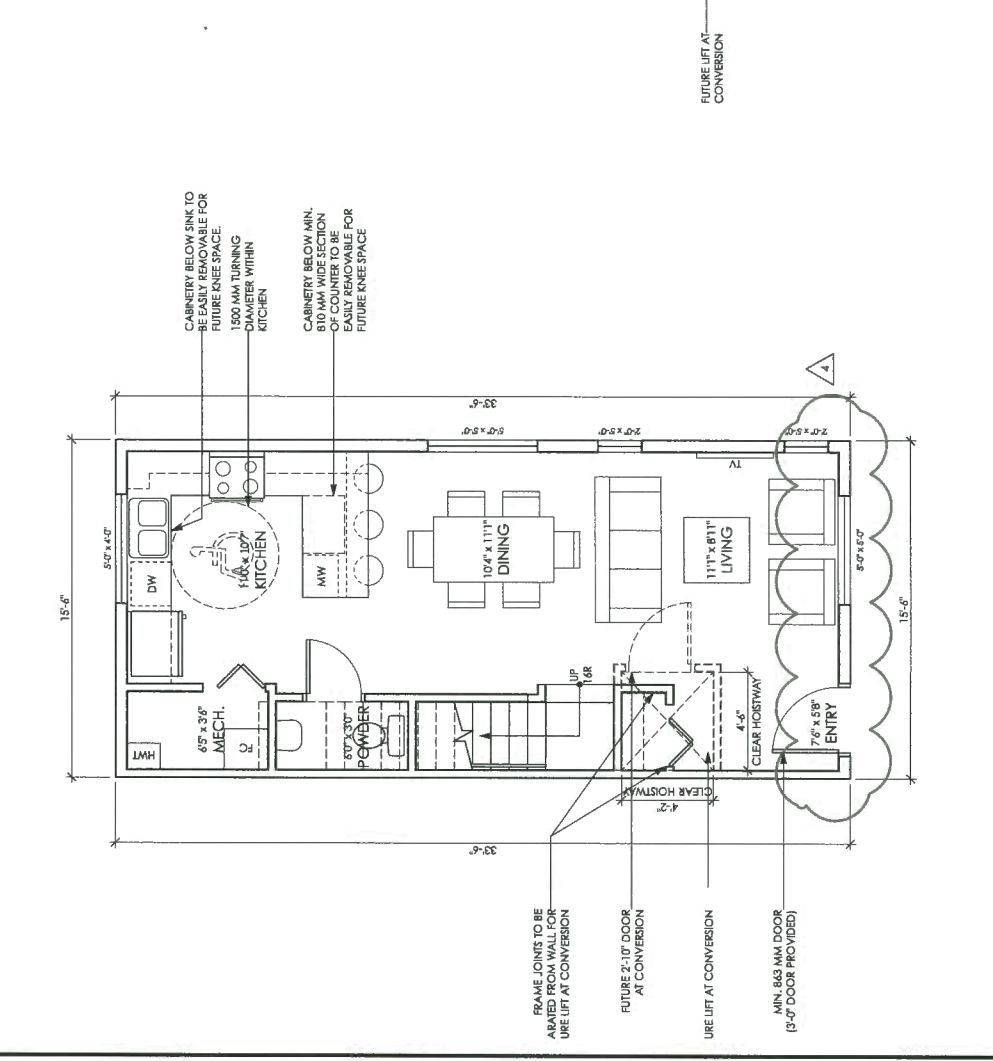
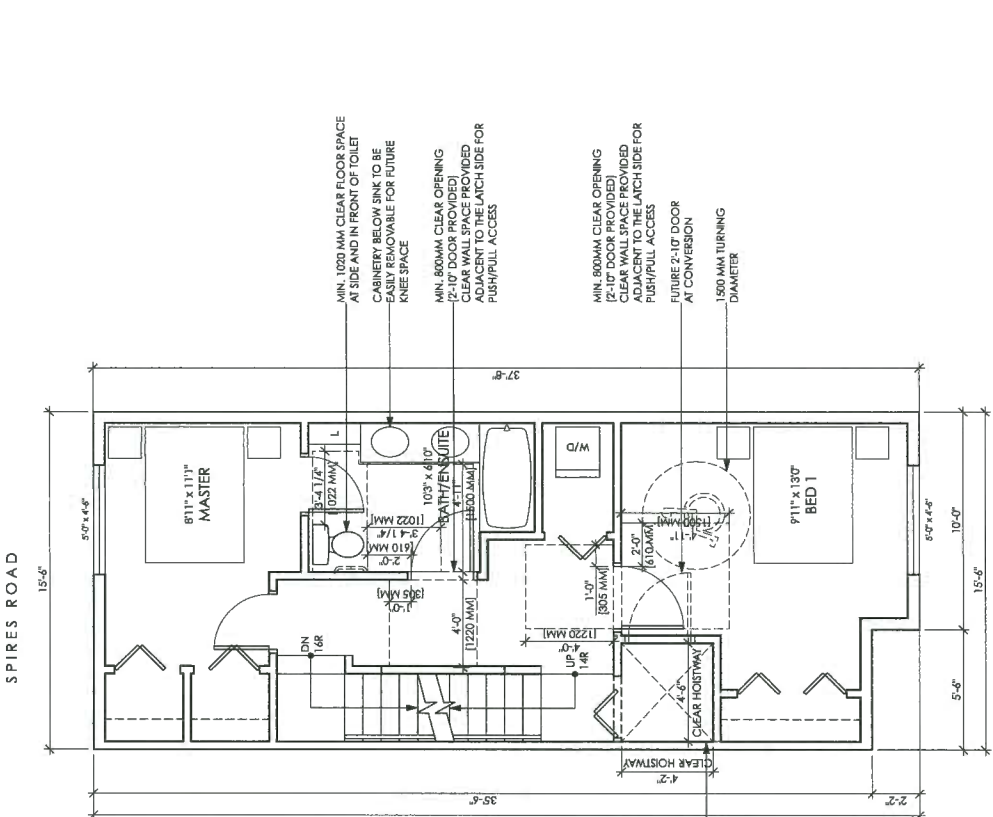
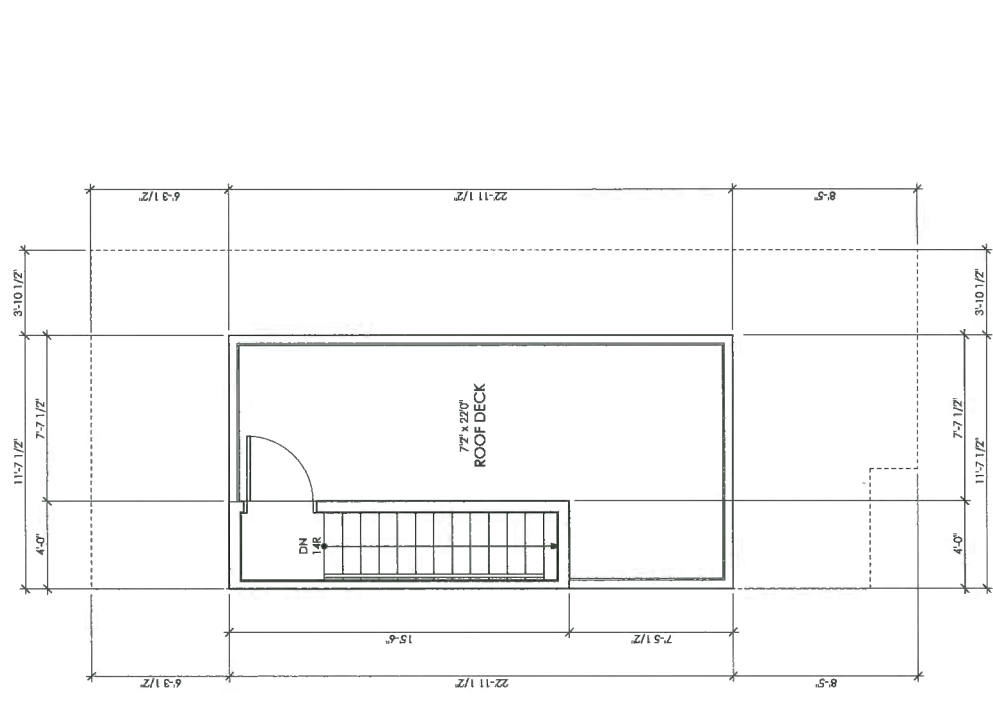
PROJECT
 SPIRES
 ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
 UNIT TYPE B6C
 PLANS
 (CONVERTIBLE)

SCALE
 1/4" = 1'-0"

DATE
 MARCH 2017

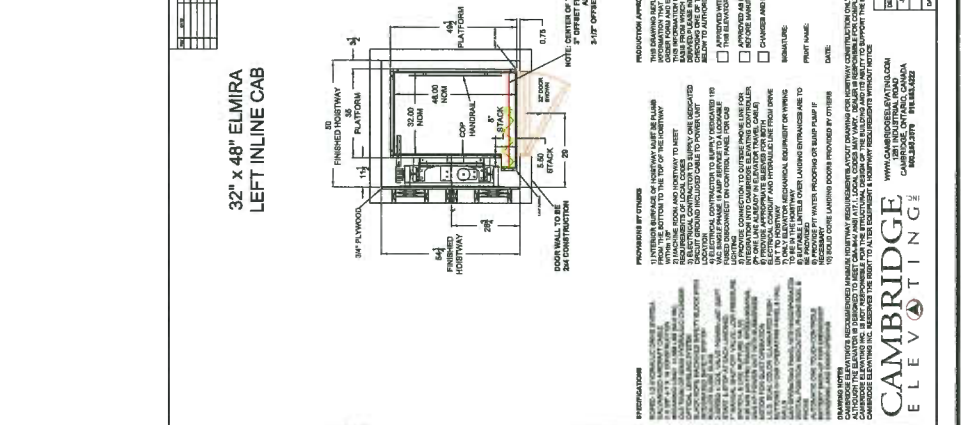
SHEET
 A3.03



REFERENCE PLAN
 AUG 20 2019
 DP 18-829140

UNIT B6C FLOOR AREAS	LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4	TOTAL
GROSS	0.0 SF	5192.5 SF	571.9 SF	62.0 SF	1152.2 SF
EXCLUSIONS	0.0 SF	387.7 SF	55.6 SF	42.0 SF	131.3 SF
NET	0.0 SF	4804.8 SF	516.3 SF	0.0 SF	1001.9 SF

- NOTES:
- PROVIDE BLOCKING IN BATHROOM WALLS ADJACENT TO THE TOILET & BATHUB OR SHOWER FOR POTENTIAL FUTURE INSTALLATION OF GRAB BARS CONFORMING TO BCBC CLAUSE 3.8.3.12(e) AND CLAUSES 3.8.3.16(1)(f) OR 3.8.3.17(1)(f)
 - PROVIDE BLOCKING AT TOP OF ALL STAIRWAYS AT 36" O.C. FOR POTENTIAL FUTURE INSTALLATION OF STAIR LIFT
 - DOORS TO FUTURE LIFT-TYPE HANDLES THAT CONFORM TO BCBC 3.7.2.3.(4)
 - PLUMBING FIXTURES TO HAVE LIFT-TYPE HANDLES THAT CONFORM TO BCBC 3.7.2.3.(4) LAVATORY AND 3.8.3.13(1)(b) WATER CLOSET
 - PROVIDE PRESSURE AND TEMPERATURE CONTROL VALVES ON ALL SHOWER FAUCETS REFER TO RICHMOND ZONING BY-LAW SECTION 4; GENERAL DEVELOPMENT REGULATIONS, SENTENCES 4.1.6.18 TO 4.1.6.22; FOR ELECTRICAL OUTLET AND SWITCH REQUIREMENTS, INSTALL FOUR-PLEX OUTLETS IN MASTER BEDROOM. (REFER TO ELECTRICAL DRAWINGS)
 - PROVIDE ELECTRICAL ROUGH-IN NEAR ENTRY DOOR FOR FUTURE AUTOMATIC DOOR OPENER (REFER TO ELECTRICAL DRAWINGS)
 - PLUMBING & GASPIPE (IN-WALL & IN-FLOOR) LOCATED UNDER KITCHEN SINK NOT TO BE LOCATED HIGHER THAN 304-355 MM TO THE CENTRE OF THE PIPE FROM THE FLOOR LEVEL.
 - ALL WINDOWS TO BE OPERABLE WITH ONE HAND.
 - STRUCTURAL FRAMING IN HOISTWAY TO BE PROVIDED TO ALLOW FOR FUTURE OPENING FOR ACCESSIBLE LIFT SHAFT.
 - FRAME JOINTS TO BE SEPARATED FROM WALL TO ALLOW FOR FUTURE CONVERTIBLE UNITS FOR LIFT.



Convertible Unit Guidelines for Townhouses

Convertible Unit Guidelines	Guidelines
Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access. Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side (not needed if rough in wiring provided for future automatic door opener). Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access between the hallway and rooms and widen hallway and/or doorway(s) if necessary to secure access. Patio/hallway min. 860 mm clear opening. Note how accessed. All interior thresholds within units comply with BC Building Code. Lever-type handles for all doors. Stair lift, staircase width, framing support, and landings, as noted on floor plans in compliance with manufacturer specifications.
Vertical Circulation	OR Vertical lift, depressed slab area, and landings, as noted on floor plans in compliance with manufacturer specifications. Framing to accommodate shaft construction without impact to surrounding structure. At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to centre. Min. 900 mm width. Min. 1 accessible parking space with min. 4 m garage width. Access from garage to living area min. 800 mm clear opening. Toilet clear floor space min. 1020 mm at side and in front.
Hallways	Min. 900 mm width.
Garage	Min. 1 accessible parking space with min. 4 m garage width.
Bathroom (Min. 1)	Wall blocking for future grab bar installation at toilet, tub and shower. Reinforced with 2" x 12" solid lumber in all bathtub, shower, and toilet locations. Pressure and temperature control valves are installed on all shower faucets. Chairs and temperature control valves are installed on all shower faucets. Lever-type handles for plumbing fixtures. Domestic hand (s) are easily removed. Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under-counter area of future work space (stove, sink & min. 810 mm wide counter). All pipes are brought in no higher than 304 mm to 555 mm to the centre of the pipe from floor level. Business undermount sink, are easily removed. 1500 mm turning radius or turning path diagram.
Kitchen	Lever-type handles for plumbing fixtures. Min. 1 window that is operable with a single hand (bathroom, kitchen, living room) toilet shut location (near window, bottom of stairways, beside window, beside door) (outside inside) within 1500 mm of the face of the kitchen counter, within 1500 mm of the centre of the counter for each home option. Upgrade to four-plex outlets in master bedroom, lounge office, garage, and recreation room.
Windows	Min. 1 window that is operable with a single hand (bathroom, kitchen, living room)
Outlets & Switches	Min. 1 window that is operable with a single hand (bathroom, kitchen, living room) toilet shut location (near window, bottom of stairways, beside window, beside door) (outside inside) within 1500 mm of the face of the kitchen counter, within 1500 mm of the centre of the counter for each home option. Upgrade to four-plex outlets in master bedroom, lounge office, garage, and recreation room.

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REVISIONS

ISSUED FOR REZONING	MAR. 14, 2017
ISSUED FOR REZONING	MAY 08, 2018
ISSUED FOR REZONING	JUN. 08, 2018
ISSUED FOR REZONING	JUL. 12, 2018
ISSUED FOR REZONING/DP	AUG. 20, 2018
ISSUED FOR REZONING/DP	SEP. 13, 2019
ISSUED FOR PROSPECTIVE DESIGN PANEL	MAR. 31, 2019
ISSUED FOR DP	APR. 24, 2019
ISSUED FOR DP	JUL. 3, 2019
ISSUED FOR DP	AUG. 7, 2019

REVISED PER DP COMMENTS RECEIVED ON JUL. 23, 2019. 19.08.07

ALABASTER HOMES

FORMWERKS ARCHITECTURAL
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 Fax: 685-5376 Phone: 685-5441

PROJECT
SPIRES ROAD
 8900 SPIRES ROAD
 RICHMOND, BC

DRAWING
UNIT TYPE D6 PLANS (UNIVERSAL)

SCALE AS NOTED
 SHEET A3.04
 DATE MARCH 2017

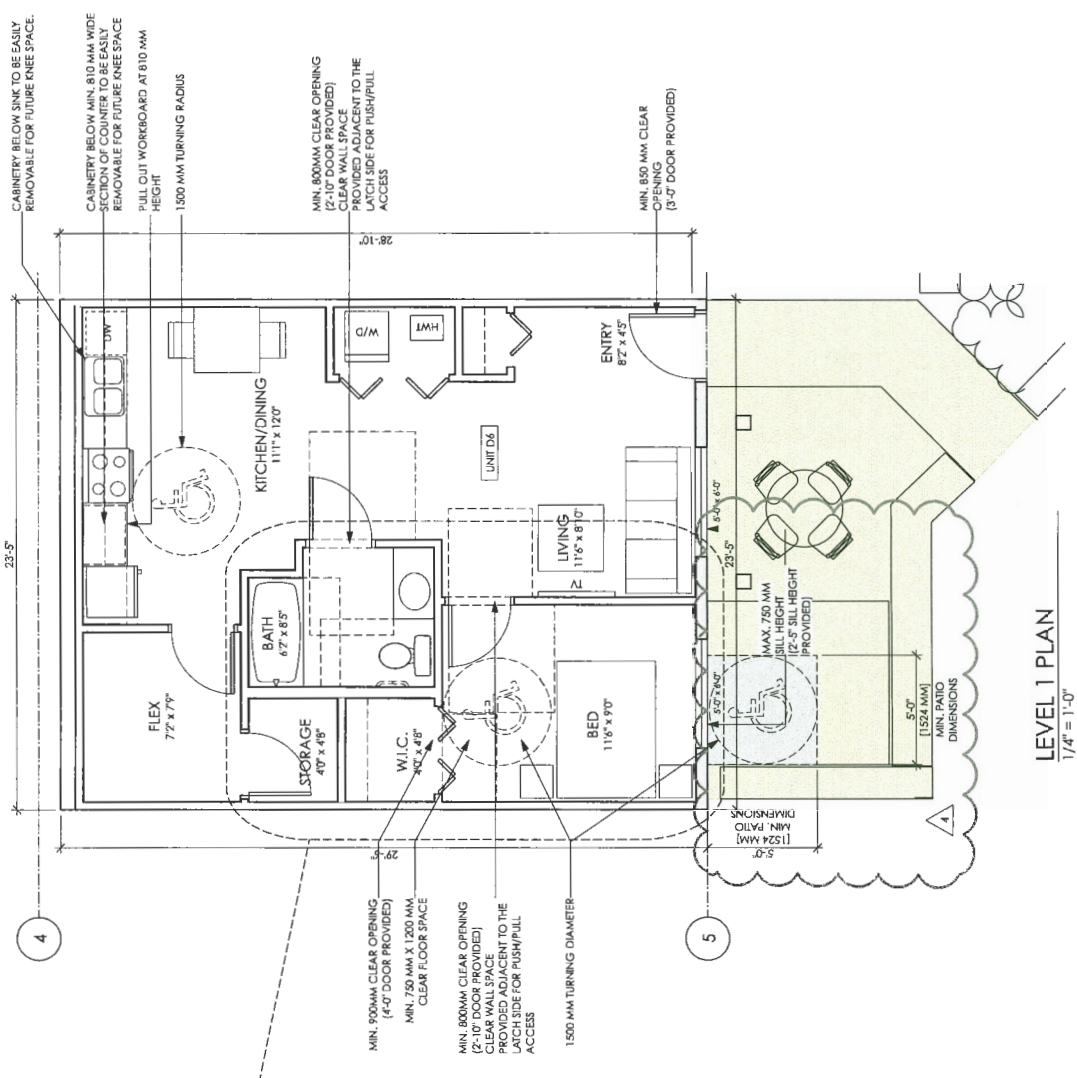
REFERENCE PLAN
 AUG 20 2019

DP 19-0929140

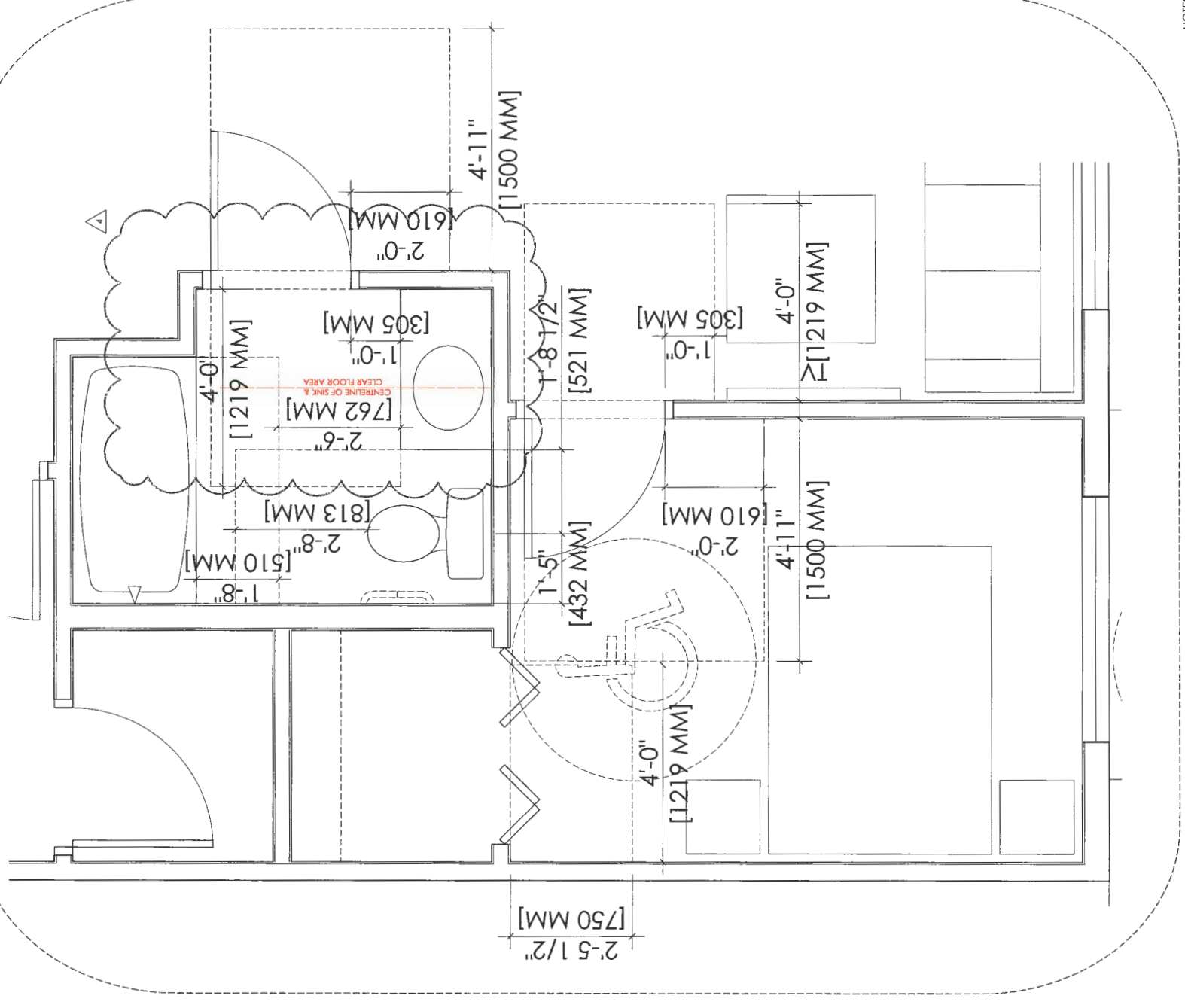
PROPOSED OUTDOOR AREA (REFER TO OUTDOOR OVERLAYS FOR DIMENSIONS AND AREA)

UNIT D6 FLOOR AREAS

	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL
GROSS	690.8 SF	0.0 SF	0.0 SF	690.8 SF
EXCLUSIONS	20.0 SF	0.0 SF	0.0 SF	20.0 SF
NET	670.8 SF	0.0 SF	0.0 SF	670.8 SF



LEVEL 1 PLAN
 1/4" = 1'-0"



BATHROOM/BEDROOM PLAN
 3/4" = 1'-0"

- NOTES:
- PROVIDE BLOCKING IN BATHROOM WALLS ADJACENT TO THE TOILET & BATHUB OR SHOWER 3.8.3.12.(6) AND CLAUSES 3.8.3.16.(1)(f) OR 3.8.3.17.(1)(f)
 - DOORS TO HAVE LEVER-TYPE HANDLES
 - PLUMBING FIXTURES TO HAVE LEVER-TYPE HANDLES THAT CONFORM TO BCBC 3.7.2.3.(4) LAVATORY AND 3.8.3.13.(1)(6) WATER CLOSET
 - PROVIDE PRESSURE AND TEMPERATURE CONTROL VALVES ON ALL SHOWER FAUCETS REFER TO RICHMOND ZONING BYLAW SECTION 4: GENERAL DEVELOPMENT REGULATIONS SENTENCES 4:1.6.18 TO 4:1.6.22: FOR ELECTRICAL OUTLET AND SWITCH REQUIREMENTS. INSTALL FOUR-PLEX OUTLETS IN MASTER BEDROOM. (REFER TO ELECTRICAL DRAWINGS)
 - PROVIDE ELECTRICAL ROUGH-IN NEAR ENTRY DOOR FOR FUTURE AUTOMATIC DOOR OPENER (REFER TO ELECTRICAL DRAWINGS)
 - PLUMBING & GASPIPE (IN-WALL & IN-FLOOR) LOCATED UNDER KITCHEN SINK NOT TO BE LOCATED HIGHER THAN 304-355 MM TO THE CENTRE OF THE PIPE FROM THE FLOOR LEVEL.
 - ALL WINDOWS TO BE OPERABLE WITH ONE HAND IN ACCORDANCE WITH SECTION 4.1.6.17 OF RICHMOND ZONING BYLAW 8500
 - BASIC UNIVERSAL HOUSING UNIT IS DESIGNED IN ACCORDANCE WITH SECTION 4.1.6 OF RICHMOND ZONING BYLAW 8500