



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, August 26, 2015
3:30 p.m.

Minutes

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on July 15, 2015.*

1. **General Compliance Ruling**
Development Permit 11-564405
(REDMS No. 4615191 v. 2)

APPLICANT: Dava Development Ltd.

PROPERTY LOCATION: 10011, 10111 & 10197 River Drive and a portion of 10199 River Drive (formerly 10011 & 10111 River Drive and a portion of 10199 River Drive)

Director's Recommendation

That the attached plans involving changes to the design of building "B" (addressed as 10013 River Drive) be considered in General Compliance with the approved Development Permit (DP 11-564405).

2. **Development Permit 14-672830**
(REDMS No. 4630289)

APPLICANT: JM Architecture

PROPERTY LOCATION: 10019 Granville Avenue

ITEM

Director's Recommendation

That a Development Permit be issued which would permit the construction of a licensed child care facility for a maximum of 88 children with an accessory residential caretaker unit at 10019 Granville Avenue on a site zoned "Child Care (ZR8) – McLennan."



3. New Business

4. Date of Next Meeting: September 16, 2015

5. Adjournment



**Development Permit Panel
Wednesday, July 15, 2015**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cathryn Volkering Carlile, General Manager, Community Services
Victor Wei, Director, Transportation

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on June 24, 2015, be adopted.

CARRIED

1. Development Permit 14-669686
(File Ref. No.: DP 14-669686) (REDMS No. 4549394 v. 2)

APPLICANT: Buttjes Architecture on behalf of 0737974 B.C. Ltd.

PROPERTY LOCATION: 5580 Parkwood Crescent

INTENT OF PERMIT:

1. Permit the construction of an automobile dealership and service centre at 5580 Parkwood Crescent on a site zoned "Vehicle Sales (CV)"; and
2. Waive the requirement for an on-site large size loading space.

Development Permit Panel

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Applicant's Comments

Dirk Buttjess, Buttjes Architecture Inc., provided a brief overview of the proposed application regarding (i) urban design, (ii) architectural form and character, and (iii) landscape and open space design. He added that the proposed development will have two storeys with the showroom and service centre on the first floor and office space and staff lunchroom on the upper floor. Also, he noted that the proposed development's design is consistent with the Richmond Auto Mall Association's (RAMA) design guidelines.

Mr. Buttjes spoke of the proposed development's sustainability features, noting that the proposed development will use (i) permeable asphalt, (ii) a rain water recapture system for the carwash and irrigation system, (iii) Low-E windows, (iv) low-flow water systems, and (v) LED lighting.

Al Tanzer, LandSpace Design Inc., provided a brief overview of the landscape and open space design and noted that (i) proposed trees within a grass boulevard along the Parkwood Crescent frontage will create a double row of street trees in an alternating pattern, (ii) the proposed development will use permeable paving on-site, (iii) the perimeter plantings will include cedars, and (iv) the existing trees in the adjacent site will be protected during construction.

Panel Discussion

Discussion ensued with regard to the current dry conditions and the watering plan for the proposed development. Mr. Tanzer noted that the proposed development will use plantings that will be able to survive without irrigation.

In reply to queries from the Panel, Mr. Tanzer noted that the proposed development will have outdoor benches and bicycle racks. He added that the Richmond Auto Mall is a pedestrian friendly site with wide sidewalks and pedestrians will typically follow the pathway to the proposed building.

In reply to queries from the Panel with regard to the proposed variance to waive the requirement for an on-site large size loading space, Mr. Buttjes advised that deliveries would occur along the curb side with four-way flashers and cones after hours.

Staff Comments

Wayne Craig, Director, Development spoke of the proposed variance to waive the requirement for an on-site large size loading space, noting that a traffic loading study was submitted by the applicant as part of the application review and deliveries would occur after hours. Also, he noted that RAMA has expressed support and confirmed their coordination role for loading and unloading of vehicles along the City street adjacent to the subject site.

Mr. Craig wished to thank the applicant for including sustainability measures in the proposed development. Also, he noted that the proposed application will include a cash contribution to the City's Public Art Fund.

Development Permit Panel
Wednesday, July 15, 2015

Correspondence

None.

Gallery Comments

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of an automobile dealership and service centre at 5580 Parkwood Crescent on a site zoned "Vehicle Sales (CV)"; and*
2. *waive the requirement for an on-site large size loading space.*

CARRIED

2. Development Permit 14-676613

(File Ref. No.: DP 14-676613) (REDMS No. 4601574 v. 3)

APPLICANT: Ryan Cowell on behalf of 0737974 B.C. Ltd.

PROPERTY LOCATION: 5600 Parkwood Crescent

INTENT OF PERMIT:

1. Permit the construction of two (2) car dealerships at 5600 Parkwood Crescent on a site zoned "Vehicle Sales (CV)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) waive the requirement for on-site large size loading spaces; and
 - b) increase the maximum permitted height for a building from 12.0 m to 14.5 m.

Applicant's Comments

Christopher Bozyk, Christopher Bozyk Architects Ltd., provided a brief overview of the proposed application regarding (i) urban design, (ii) architectural form and character, and (iii) landscape and open space design. He added that the proposed development will include two buildings and will feature high end materials reflective of the proposed dealerships' branding.

In reply to queries from the Panel, Mr. Bozyk noted that the proposed buildings will be visible through the landscaping along the Knight Street frontage.

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Mr. Bozyk spoke of the proposed development's sustainability features, noting that the proposed buildings will be three storeys to accommodate the product on-site and reduce the need to transport product from an external location. He noted that the main floor will house the showroom and service bay. The second floor will have another showroom and some staff facilities and the third floor will have space for an additional showroom and vehicle storage. Also, he noted that the rooftop will have space for vehicle parking. He added that the floors will be accessed by internal ramps.

Mr. Tanzer briefed the Panel on the proposed development's landscape and open space design, noting that the landscape design is similar to the adjacent development along Parkwood Crescent and meets RAMA's design guidelines. He added that the existing trees along the Knight Street frontage will be retained. Also, he noted that the proposed development will feature permeable paving and bike racks on-site.

Panel Discussion

In reply to queries from the Panel, Mr. Tanzer advised that the site's grading did not necessitate the removal of the existing mature trees along the Knight Street frontage.

In reply to queries from the Panel, Mr. Bozyk advised that due to sign regulations there would be minimal signage along the Knight Street frontage; however, the buildings will be visible.

Staff Comments

Mr. Craig noted that the proposed height variance is supported by staff and he wished to thank the applicant for their efforts in including sustainability features and retaining existing trees on-site.

Panel Discussion

Discussion ensued with regard to the proposed new road extension within the Richmond Auto Mall and Mr. Bozyk noted that once the proposed developments are completed, the old buildings will be demolished and the road will be extended. He added that in the interim, the applicants are proposing a cul-de-sac termination as part of the requirements for the Development Permit.

Correspondence

None.

Gallery Comments

None.

Development Permit Panel
Wednesday, July 15, 2015

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of two (2) car dealerships at 5600 Parkwood Crescent on a site zoned "Vehicle Sales (CV)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - a) *waive the requirement for on-site large size loading spaces; and*
 - b) *increase the maximum permitted height for a building from 12.0 m to 14.5 m.*

CARRIED

3. New Business

It was moved and seconded

That the July 29, 2015 Development Permit Panel meeting be cancelled.

CARRIED

4. Date of Next Meeting:

5. Adjournment

It was moved and seconded

That the meeting be adjourned at 4:10 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, July 15, 2015.

Joe Erceg
Chair

Evangel Biason
Auxiliary Committee Clerk



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 28, 2015

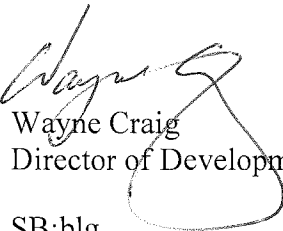
From: Wayne Craig
Director of Development

File: DP 11-564405

Re: Application by Dava Development Ltd. for a General Compliance Ruling at
10011, 10111 & 10197 River Drive and a portion of 10199 River Drive
(formerly 10011 & 10111 River Drive and a portion of 10199 River Drive)

Staff Recommendation

1. That the attached plans involving changes to the design of building "B" (addressed as 10013 River Drive) be considered in General Compliance with the approved Development Permit (DP 11-564405).



Wayne Craig
Director of Development

SB:blg
Att.

Staff Report

Origin

Dava Development Ltd. has requested a General Compliance Ruling regarding the previously issued Development Permit (DP 11-564405) for proposed development at 10011, 10111 & 10197 River Drive and a portion of 10199 River Drive (formerly 10011 & 10111 River Drive and a portion of 10199 River Drive) (Attachment 1), which was endorsed by the Development Permit Panel at its meeting held on April 11, 2012 and approved by Council on July 24, 2012. The approved Development Permit was for the first phase of the overall Parc Riviera development.

The main changes to the approved Development Permit include modifications to Building “B” (addressed as 10013 River Drive). The landscape design remains largely unchanged, with the exception of localized changes in the landscaping area adjacent to the building. Copies of the relevant approved plans (Attachment 2) and the plans outlining proposed changes (Attachment 3) are attached to this report.

Background

Development surrounding the subject site is as follows:

- To the North and West: City park and City dike along the north arm of the Fraser River, which are being developed as part of the overall Parc Riviera development.
- To the East: The next phase of the overall development; also zoned “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)”. A Development Permit Application (DP 15-694616) is currently under review for a proposed townhouse development located at 10199 River Drive.
- To the South: Across River Drive, single-family homes on lots zoned “Single Detached (RS1/D)”.

Findings of Fact

The Development Permits required for the overall project are being considered in phases. The approved Development Permit for the first phase of the project has been approved for 10011, 10111, 10197 River Drive and a portion of 10199 River Drive (DP 11-564405). This first phase includes an amenity building, a mixed-use building, apartment buildings and townhouse buildings.

The approved Development Permit (DP 11-564405) includes a parking structure, district energy building and seven (7) buildings identified as buildings “A” through “G” as Phase 1 of a larger multi-phase development (Attachment 2).

In conformance with the approved Development Permit, Building Permits have been issued for the parking structure, district energy building and five (5) of the seven (7) buildings at 10011, 10033, 10119, 10133 and 10155 River Drive.

As part of the approved Development Permit, the 1,045 m² mixed-use two-storey building “B” (now addressed as 10013 River Drive) included 412 m² indoor amenity space on the ground level, 633 m² commercial and office space on the ground and second levels, and an outdoor amenity deck on the second level. The provision of indoor amenity space was secured through the rezoning.

The subject application proposes revisions to the design of building “B” (Building 10013 River Drive located at 10011 River Drive) while maintaining the provision of indoor and outdoor amenity space and reflecting the character of the development.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject application for a General Compliance to the approved Development Permit (DP 11-564405). In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)” zone and side yard variance approved through the approved Development Permit.

Analysis

The proposed changes to the mixed-use building are within the scope of the General Compliance Guidelines as adopted by Council.

Architectural Form and Character

The main changes are consistent with the overall architectural form and character approach of the approved Development Permit (DP 11-564405). These include the following proposed design modifications to the exterior facades of building “B”:

- The height of the two-storey commercial/office component of the building is lowered from 10.1 m to 9 m to open views for upper floor units in the adjacent Buildings “A” and “E” (addressed as 10011 and 10033 River Drive). This change is acceptable to staff as it would reduce the building massing adjacent to the City-owned park and would improve views for some of the residential units.
- Angled building elements have been adjusted to improve circulation, interior space layout and to simplify construction details. This change is acceptable to staff as it would allow interior spaces to be more efficiently used.
- The building articulation is enhanced by adding small areas of glazing to improve views, provide natural lighting, along with adding louvres for mechanical equipment needs. These changes are acceptable to staff as they would provide visual interest and increased natural lighting in the building.

- The outdoor amenity deck is relocated from the second level down to a more accessible space adjacent to the indoor amenity area at ground level. This change is acceptable to staff as it would animate the ground level with active uses.

Landscape Design and Open Space Design

- Landscape details and outdoor amenity deck are added into the space immediately north of building B, which was shown with unspecified landscaping in the approved design. This change is acceptable to staff as it would animate the ground level with active uses.

Conclusions

Dava Development Ltd. has requested a General Compliance ruling on the approved mixed-use development project at 10011, 10111 & 10197 River Drive and a portion of 10199 River Drive (formerly 10011 & 10111 River Drive and a portion of 10199 River Drive) to modify the architectural plans for building "B" (building addressed as 10013 River Drive). The proposed modification is within the scope of the General Compliance Guidelines as adopted by Council. Staff have no objection to the proposed revisions. Staff recommend support of this General Compliance request for the proposed changes to the approved Development Permit.

Sara Badyal

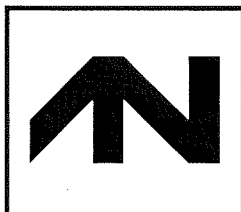
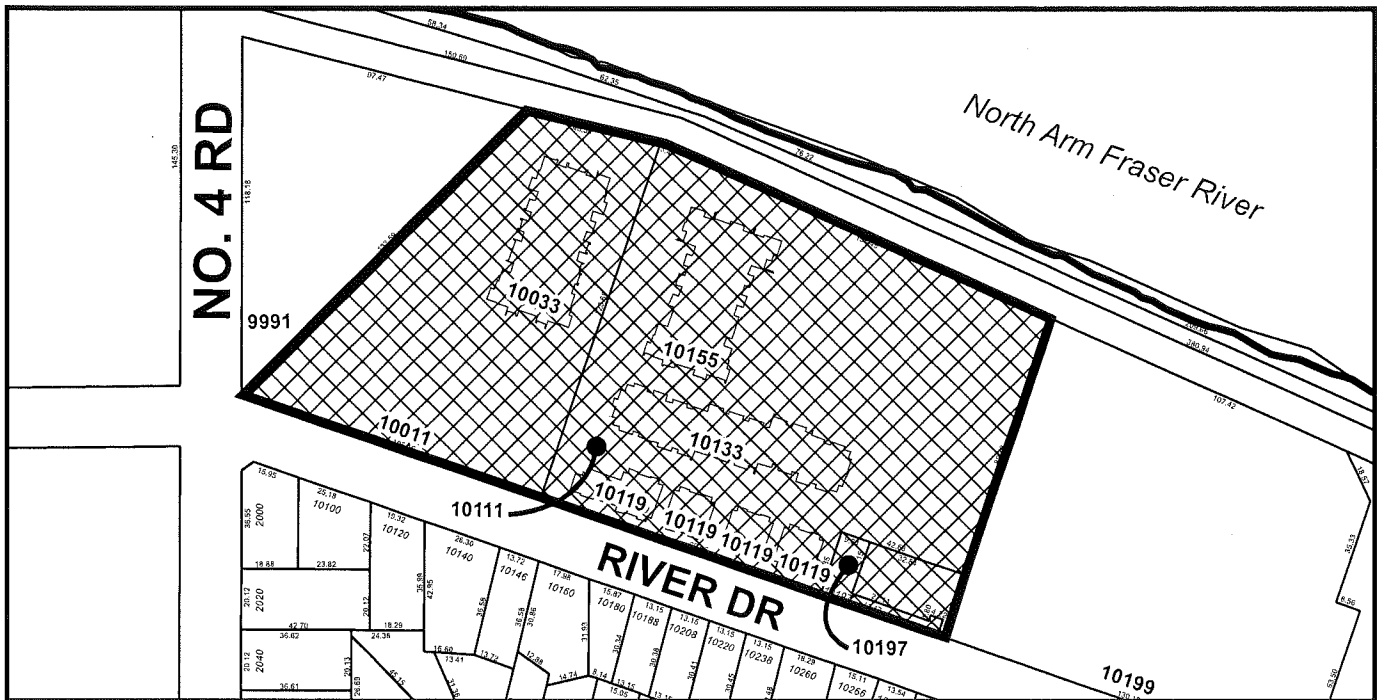
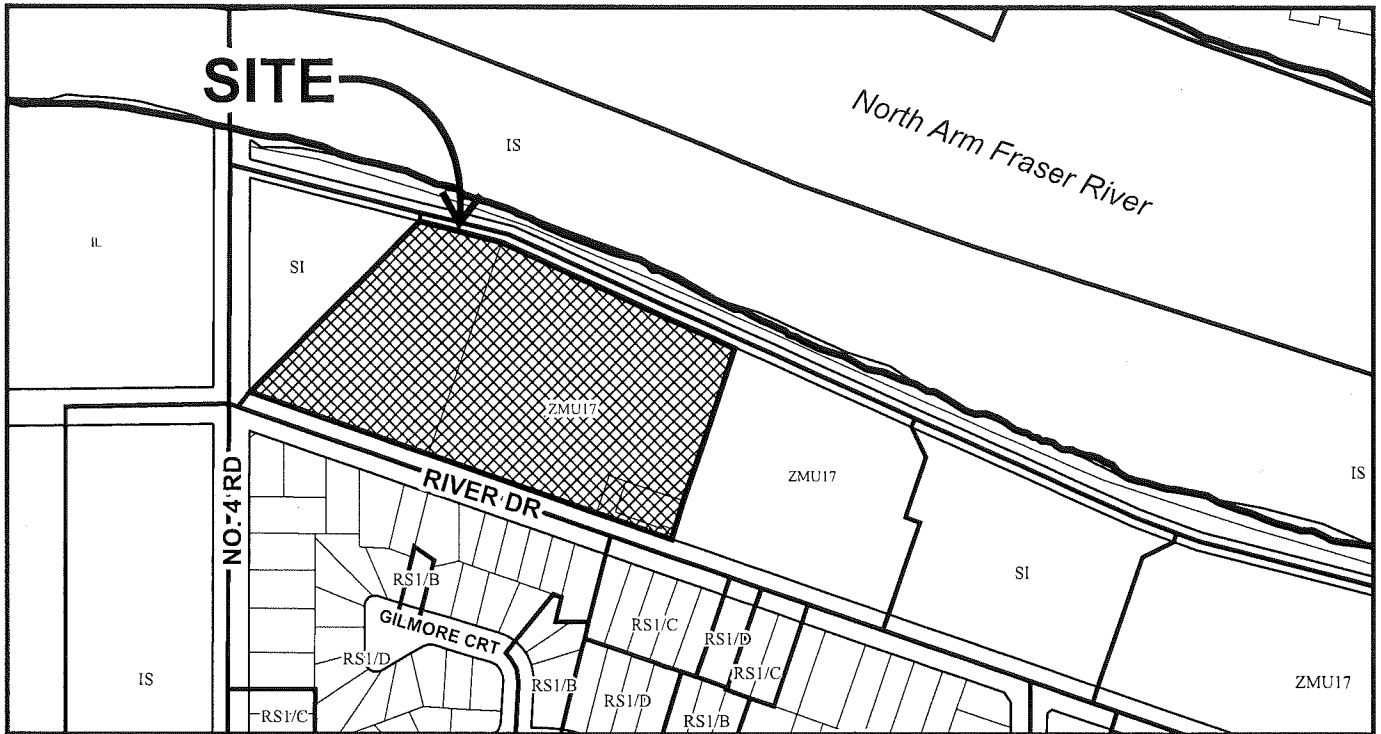
Sara Badyal
Planner 2
(604-276-4282)

SB:blg

Attachment 1: Location Map & Aerial Photo
Attachment 2: Copies of relevant approved Development Permit Plans
Attachment 3: Proposed new Development Permit Plans



City of
Richmond



DP 11-564405

Original Date: 03/06/14

Revision Date: 06/16/15

Note: Dimensions are in METRES



City of
Richmond

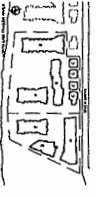


DP 11-564405

Original Date: 04/15/15

Revision Date:

Note: Dimensions are in METRES



LEGEND

1 A	COLOUR
1 A	MATERIAL

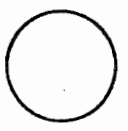
NOTE
 ALL COLOURS AND MATERIALS INDICATED WILL BE APPROVED BY THE ARCHITECTURAL REVIEW BOARD AND MUST BE MATCHED TO THE SAMPLES PROVIDED BY THE ARCHITECT.

- MATERIAL LIST
- 1 BRICK WITH METAL TRIM FINISH
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 - 4 STONEFRONT GLAZING
 - 5 ALUMINUM FRAMED GLAZING
 - 6 METAL GLASS VENT WINDOWS
 - 7 ARCHITECTURAL ASPHALT SHINGLES
 - 8 STANDING SEAM METAL ROOFPANEL
 - 9 STANDING CEDAR WOOD
 - 10 PAINTED WOOD
 - 11 BRICK METAL PANEL
 - 12 PENDING TRIM PANEL
 - 13 GLAZED FINISH
 - 14 SPIT FACE CONCRETE BLOCK
 - 15 METAL GANTRY
 - 16 HIGH DENSITY POLYETHYLENE PIPE
 - 17 PAINTED METAL FASCIA
 - 18 ALUMINUM IMULAD
 - 19 PAINTED STRUCTURE
 - 20 SPIT FASCO CONCRETE BLOCK
 - 21 PAINTED WOOD FASCIA
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- COLOUR LIST
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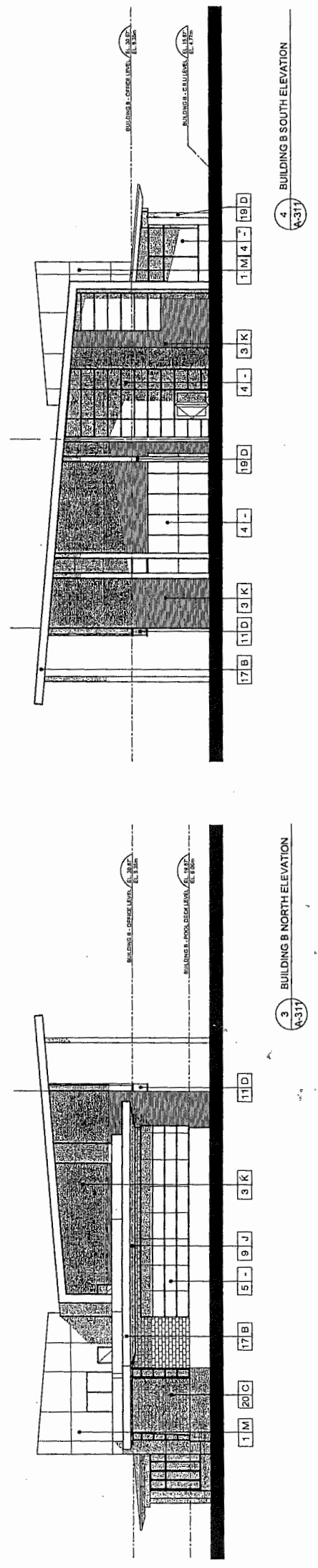
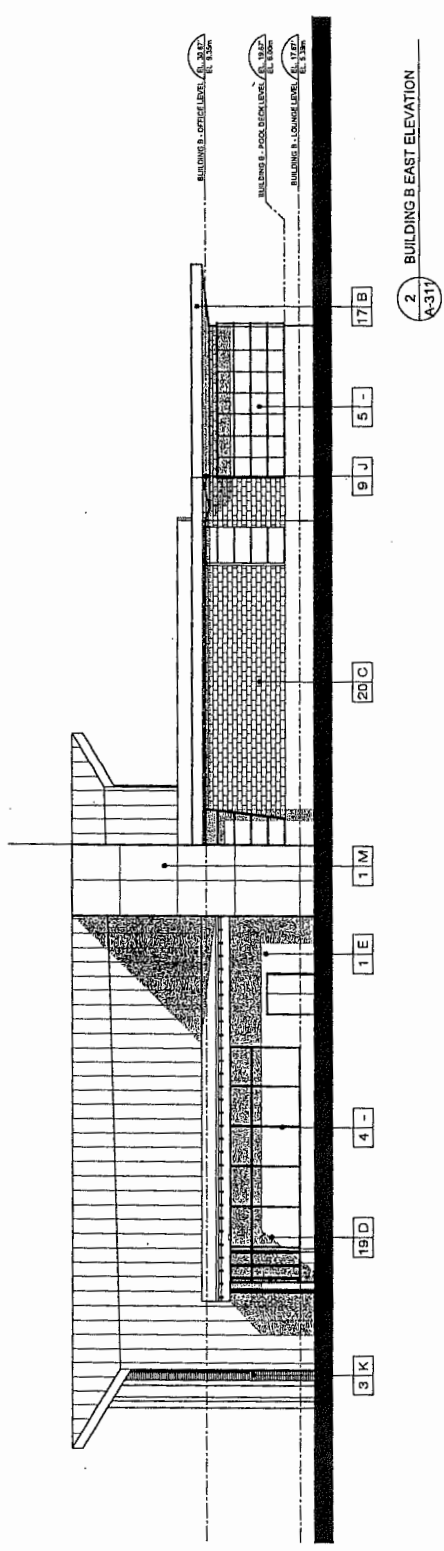
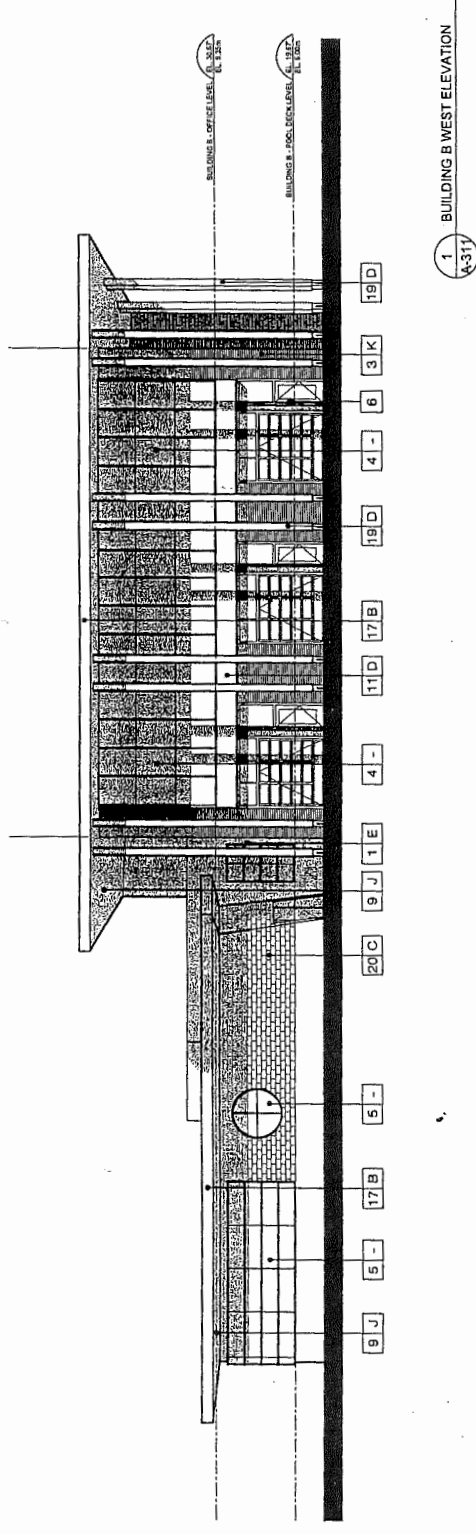
Approved DP Plan 13

MAR 12 2012



D-11564405

13



cotter
ARCHITECTS

4235 - 133RD AVE S, RICHMOND, BC V7A 1P7
 TEL: 604-273-1111
 WWW.COTTERARCHITECTS.COM

PARC RIVIERA
 A RECREATION DEVELOPMENT
 Mixed-use Development
 1000 West River Drive &
 Richmond, B.C.

DAVA Development Ltd.
 River Drive Corp.
 Oris Consulting
 River Drive Corp.

23

Approved DP Plan 23

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PARC RIVIERA

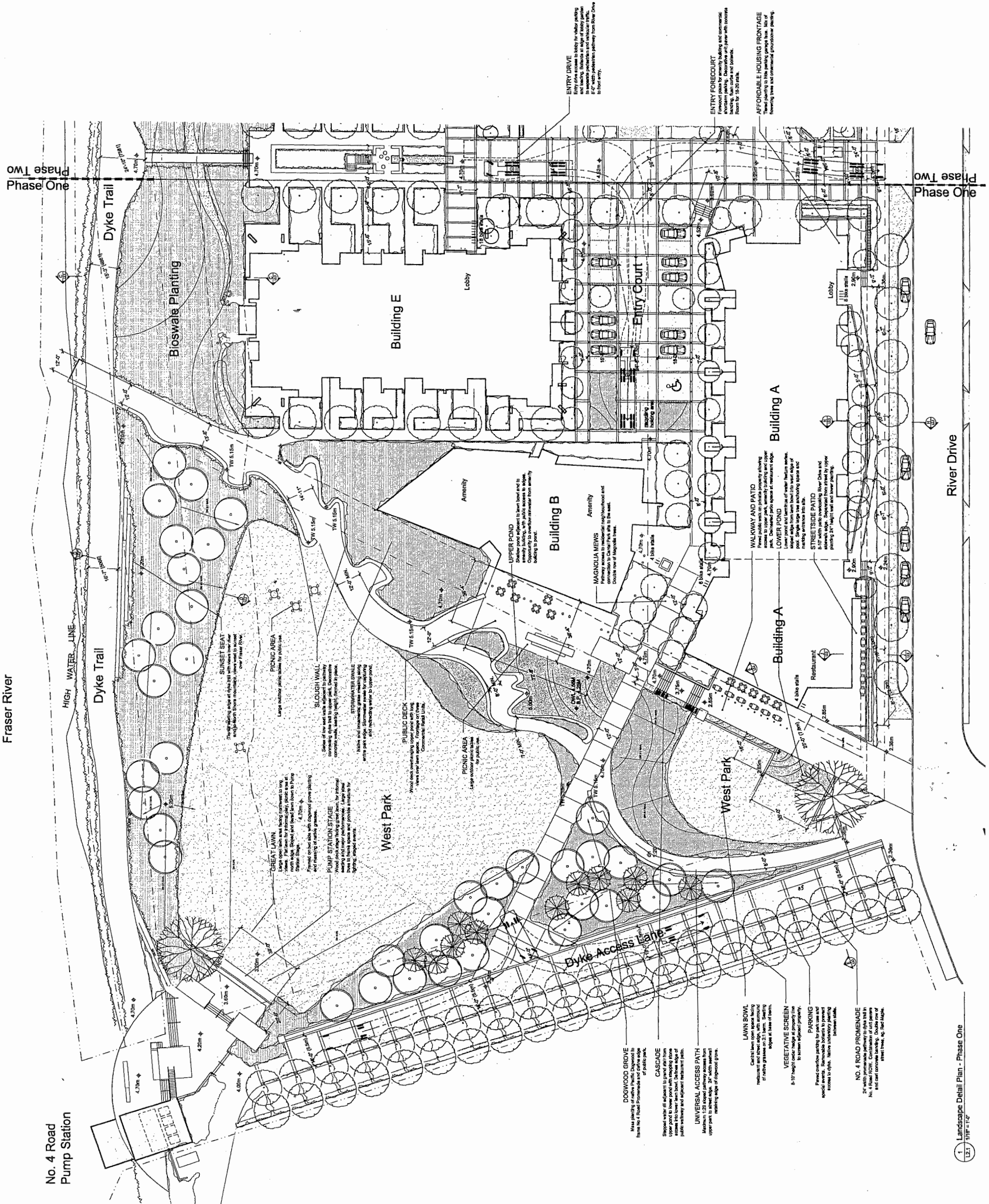
Architecture Development
1880 Ave. of the River Drive &
Richmond, B.C.
DAVA Development Ltd.
(River Drive) Corp.
City Consulting
(River Drive) Corp.

Rev.	Description	Date
1	Revised for DP	Mar. 2012
2	Revised for DP	Mar. 2012
3	Revised for DP	Mar. 2012

Parc Riviera
Multi-Use Development
Richmond BC

Landscape
Detail Plan
Phase One

12.1

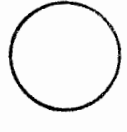


Approved DP Reference Plan

REFERENCE

MAR 12 2012

D-11564405



PROJECT: PARC RIVIERA
10071-10311 River Chere & 1880 No. 4 Road Richmond, B.C.

cotter ARCHITECTS

10071-10311 RIVER CHERE & 1880 NO. 4 ROAD RICHMOND, B.C. V7A 4Z7
TEL: 604-271-7100 FAX: 604-271-7101
WWW.COTTERARCHITECTS.COM

PROJECT: PARC RIVIERA

Mead-Jacobs Development
10071-10311 River Chere & 1880 No. 4 Road Richmond, B.C.

DAVA Development Ltd.
River Davel Corp.

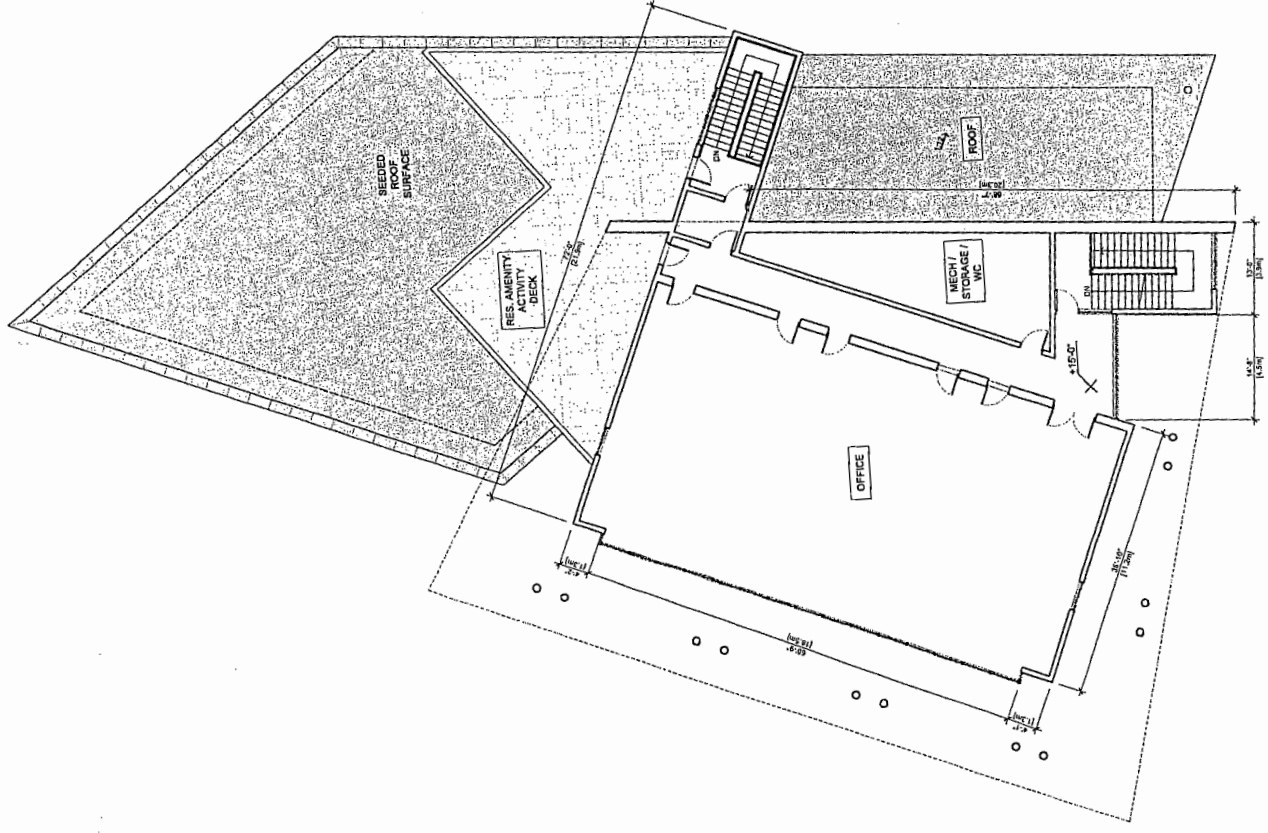
Old Consulting
River Davel Corp.

Table with columns: NO., DATE, REVISIONS, DRAWN BY, CHECKED BY, DATE, SCALE, SHEET NO., TOTAL SHEETS.

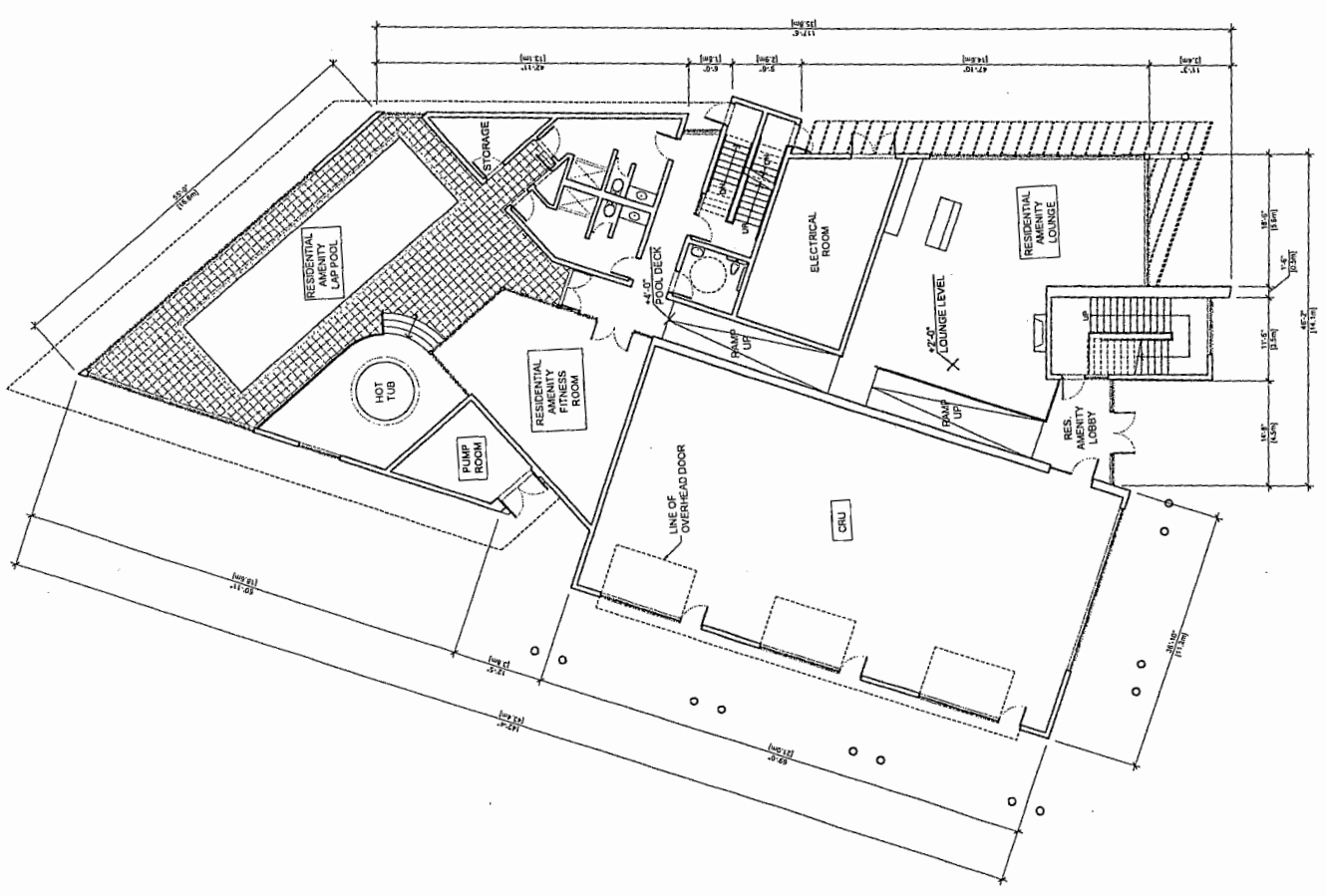
BUILDING B
LEVEL 1 & 2 FLOOR PLANS



A-212 F



2 BUILDING B - LEVEL 2 FLOOR PLAN
A-212



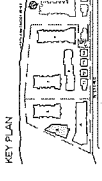
1 BUILDING B - LEVEL 1 FLOOR PLAN
A-212

- CEPT PRINCIPLES
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3. Natural ventilation is used to provide a high quality interior environment.
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AGING IN PLACE PRINCIPLES

GENERAL NOTES

ACCESSIBILITY NOTES



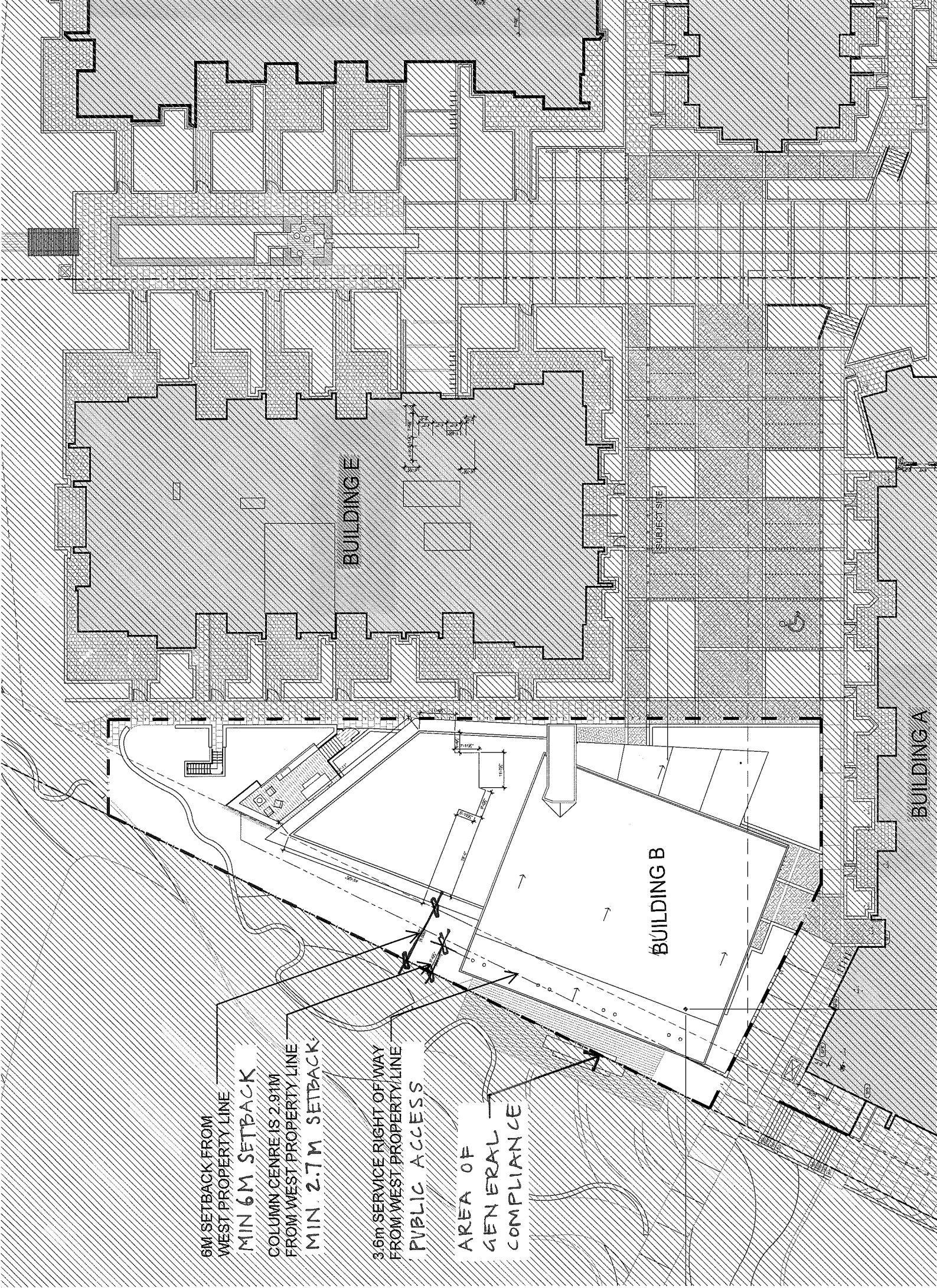
Supplements Plan 3 with
revisions at Building B only

Plan 3b
Jul 13, 2015
DP 11-564405

cotter
ARCHITECTS
1001 & 1011 PATER DRIVE
RICHMOND BC
V6X 3L9
TEL: 604.273.3333
WWW.COTTERARCHITECTS.COM

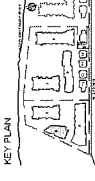
PARC RIVIERA
A RESTAURANT CASUALTY
1001 & 1011 PATER DRIVE
RICHMOND BC
V6X 3L9
TEL: 604.273.3333
WWW.PARC-RIVIERA.COM

PARC RIVIERA
PROJECTS INC.
1001 & 1011 PATER DRIVE
RICHMOND BC
V6X 3L9
TEL: 604.273.3333
WWW.PARC-RIVIERA.COM



6M SETBACK FROM
WEST PROPERTY LINE
MIN 6M SETBACK
COLUMN CENTRE IS 2.91M
FROM WEST PROPERTY LINE
MIN 2.7M SETBACK
3.6m SERVICE RIGHT OF WAY
FROM WEST PROPERTY LINE
PUBLIC ACCESS
AREA OF
GENERAL
COMPLIANCE

1 PARTIAL SITE PLAN
A-112



LEGEND

1	A	COLOUR
		MATERIAL

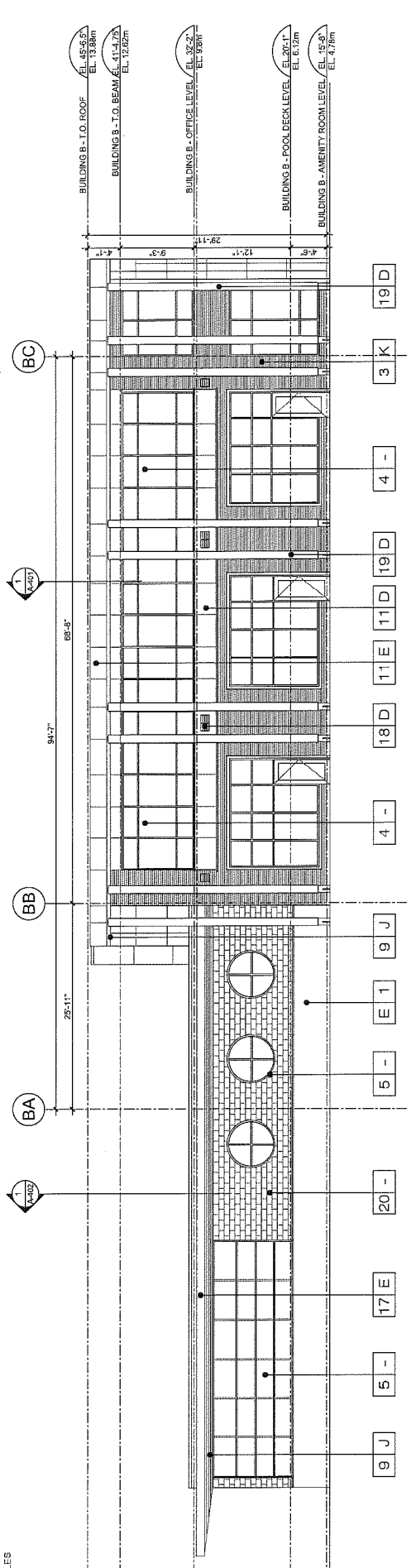
NOTE
 All colors and materials indicated are representative of design intent. However final colour and material selection may vary.

MATERIAL LIST

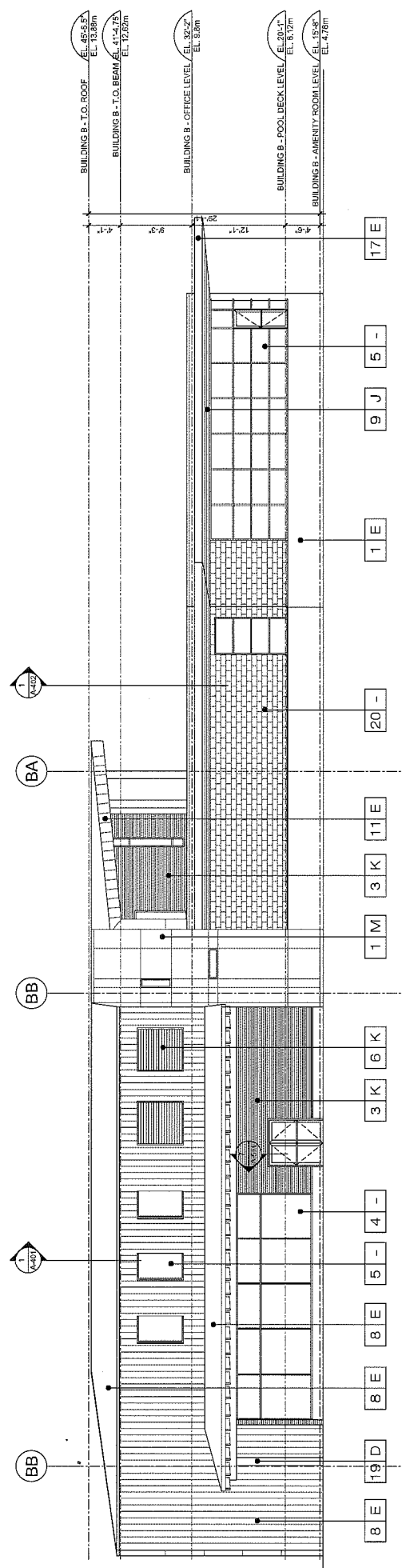
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- 2 ARCHITECTURAL CONCRETE
- 3 GALVALUME METAL SIDING
- 4 CURTAIN WALL GLAZING
- 5 ALUMINUM FRAMED GLAZING
- 6 ALUMINUM LOUVER
- 7 ARCHITECTURAL ASPHALT MEMBRANE
- 8 CORRUGATED METAL ROOF PANEL
- 9 FIBER CEMENT BOARD
- 10 PAINTED WOOD
- 11 ALUMINUM METAL PANEL
- 12 PHENOLIC RESIN PANEL
- 13 GLAZED RAILING
- 14 SPLIT FACE CONCRETE BLOCK
- 15 METAL CHIMNEY
- 16 HIGH DENSITY POLYETHYLENE PIPE
- 17 PAINTED METAL FASCIA
- 18 INTAKE / EXHAUST LOUVER
- 19 PAINTED STRUCTURE
- 20 SPLIT FACED CONCRETE BLOCK
- 21 PAINTED WOOD FASCIA
- 22 SOFFIT

COLOUR LIST

- | | |
|---|-----------|
| A | WHITE |
| B | BLACK |
| C | BEIGE |
| D | RED |
| E | BLUE |
| F | GREEN |
| G | YELLOW |
| H | ORANGE |
| I | PURPLE |
| J | PINK |
| K | GREY |
| L | BROWN |
| M | TEAL |
| N | SLATE |
| O | IVORY |
| P | CHOCOLATE |
| Q | NAVY |
| R | CRIMSON |
| S | INDIGO |
| T | ROSE |
| U | SLATE |
| V | SLATE |
| W | SLATE |



1 BUILDING B WEST ELEVATION



2 BUILDING B EAST ELEVATION

Replacements for Plan 13
 with revised elevations for
 Building B

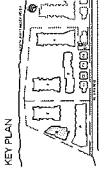
Plan 13a Jul 13, 2015
 DP 11-564405

cotter ARCHITECTS
 1000 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, BC V6H 2E6
 TEL: 604.681.1111
 WWW.COTTERARCHITECTS.COM

PARC RIVIERA
 1000 WEST 10TH AVENUE, SUITE 100
 VANCOUVER, BC V6H 2E6
 TEL: 604.681.1111
 WWW.PARC-RIVIERA.COM

REVISIONS

NO.	DATE	DESCRIPTION
1	2015-07-13	ISSUED FOR PERMIT
2	2015-07-13	ISSUED FOR PERMIT
3	2015-07-13	ISSUED FOR PERMIT
4	2015-07-13	ISSUED FOR PERMIT
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20	2015-07-13	ISSUED FOR PERMIT
21	2015-07-13	ISSUED FOR PERMIT
22	2015-07-13	ISSUED FOR PERMIT



LEGEND

1	A	COLOUR
		MATERIAL

NOTE
All colours and materials indicated are representative of design intent, however final colour and material selection may vary.

MATERIAL LIST

1	FIBER CEMENT BOARD / SIDING / SHINGLES WITH METAL TRIM / REVEAL
2	ARCHITECTURAL CONCRETE
3	GALVALUME METAL SIDING
4	CURTAIN WALL GLAZING
5	ALUMINUM FRAMED GLAZING
6	ALUMINUM LOUVER
7	ARCHITECTURAL ASPHALT MEMBRANE
8	CORRUGATED METAL ROOF/PANEL
9	FIBER CEMENT BOARD
10	PAINTED WOOD
11	ALUMINUM METAL PANEL
12	PHENOLIC RESIN PANEL
13	GLAZED PAILING
14	SPLIT FACE CONCRETE BLOCK
15	METAL CANOPY
16	HIGH DENSITY POLYETHYLENE PIPE
17	PAINTED METAL FASCIA
18	INTAKE / EXHAUST LOUVER
19	PAINTED STRUCTURE
20	SPLIT FACED CONCRETE BLOCK
21	PAINTED WOOD FASCIA
22	SCOFF

COLOUR LIST

A	WHITE
B	B.MOORE 00-04 PURE WHITE
C	B.MOORE 2138-10 BLACK NIGHT
D	BEIGE : (VINYL WINDOWS)
E	B.MOORE HC-00 BLEEKER BEIGE
F	RED :
G	B.MOORE 2022-10 VERMILION
H	DARK GRAY :
I	B.MOORE 2228-20 STONE OUTER
J	BEIGE : (FIBER CEMENT CLADDING)
K	B.MOORE HC-04 EMPIRA WHITE
L	TAUPE : (FIBER CEMENT CLADDING)
M	B.MOORE HC-08 SANDY HOOK GRAY
N	DARK GRAY : (PAILING)
O	B.MOORE 2182-10 PEGASUS GRAY
P	J NATURAL CEDAR FINISH
Q	GALVALUME METAL FINISH :
R	B.MOORE 2151-50 ICED CUBE SILVER
S	RED :
T	B.MOORE 2098-10 MERLOT RED
U	BLUE :
V	B.MOORE 2098-20 DOWN POUR BLUE
W	BEIGE :
X	B.MOORE 00-08 HAZY SKIES
Y	BEIGE :
Z	B.MOORE 00-11 MISTY AIR
AA	BLUE :
AB	B.MOORE 2086-20 BLUE DANUBE
AC	BEIGE :
AD	B.MOORE HC-108 SANDY HOOK GRAY
AE	GREEN :
AF	B.MOORE HC-127 FAIRMONT GREEN
AG	BLUE :
AH	B.MOORE HC-159 PHILIPBURG BLUE
AI	CREAM :
AJ	B.MOORE HC-040 CARRINGTON BEIGE
AK	
AL	
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AO	
AP	
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AR	
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AT	
AU	
AV	
AW	

Plan 13b Jul 13, 2015
DP 11-564405
Replacements for Plan 13
with revised elevations for
Building B

Plan 13b Jul 13, 2015
DP 11-564405

cotter
ARCHITECTS
4215 - 2000 111 AVE. S.W. #100
VANCOUVER, BC V6V 2K6
TEL: 604.273.8888
WWW.COTTERARCHITECTS.COM



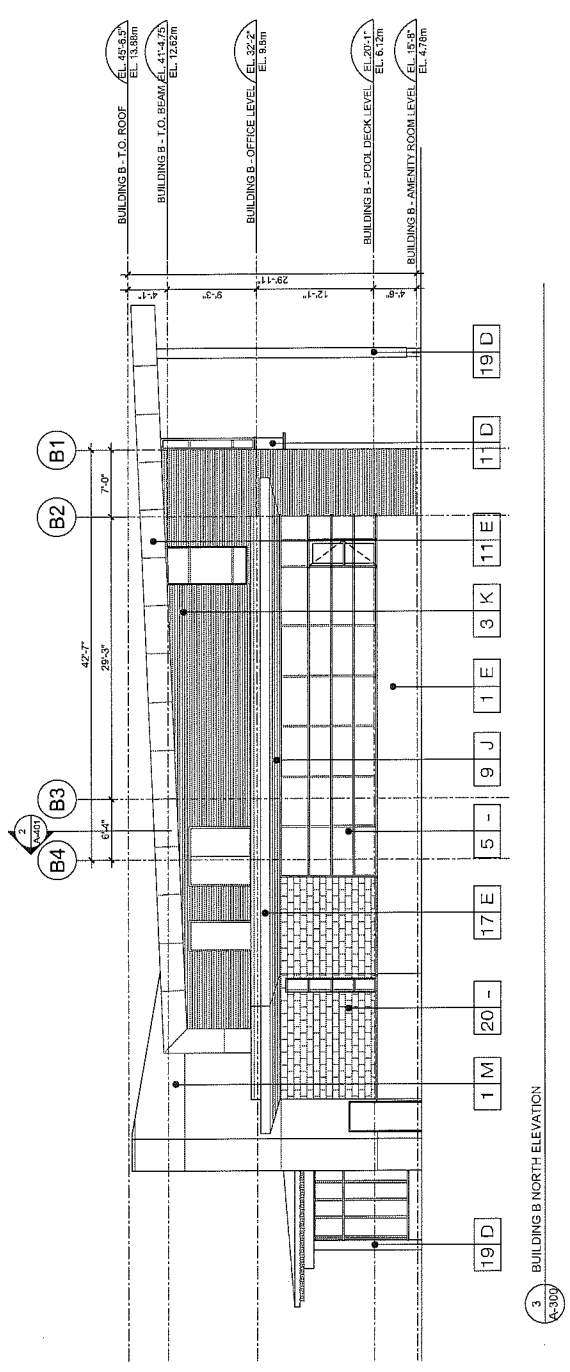
PARC RIVIERA
A RECREATION COMPANY
10011 & 10111 River Drive
Richmond BC
VANCOUVER, BC
PROJECTS INC.

REVISIONS

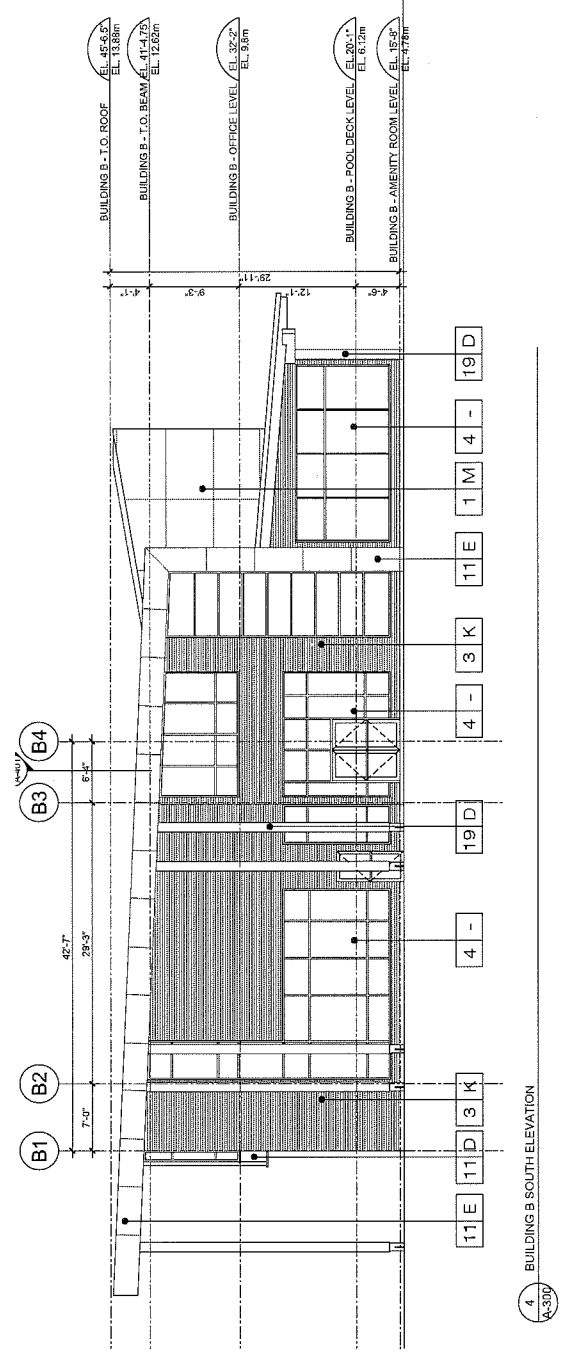
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DRAWING NO. 11-564405-01
DATE: 07/13/15
SCALE: AS SHOWN
PROJECT: PARC RIVIERA
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]

PROJECT NO. 11-564405
DRAWING NO. 11-564405-01
DATE: 07/13/15
SCALE: AS SHOWN
PROJECT: PARC RIVIERA
DRAWN BY: [Name]
CHECKED BY: [Name]
APPROVED BY: [Name]



3 BUILDING B NORTH ELEVATION
A-300



4 BUILDING B SOUTH ELEVATION
A-300

Supplements Plan 23 with
materials and layout details
at Building B only

Plan 23a Jul 13, 2015
DP 11-564405



Multi-use Development
1007-10111 River Drive B
1800 No. 4 Road
Richmond, B.C.

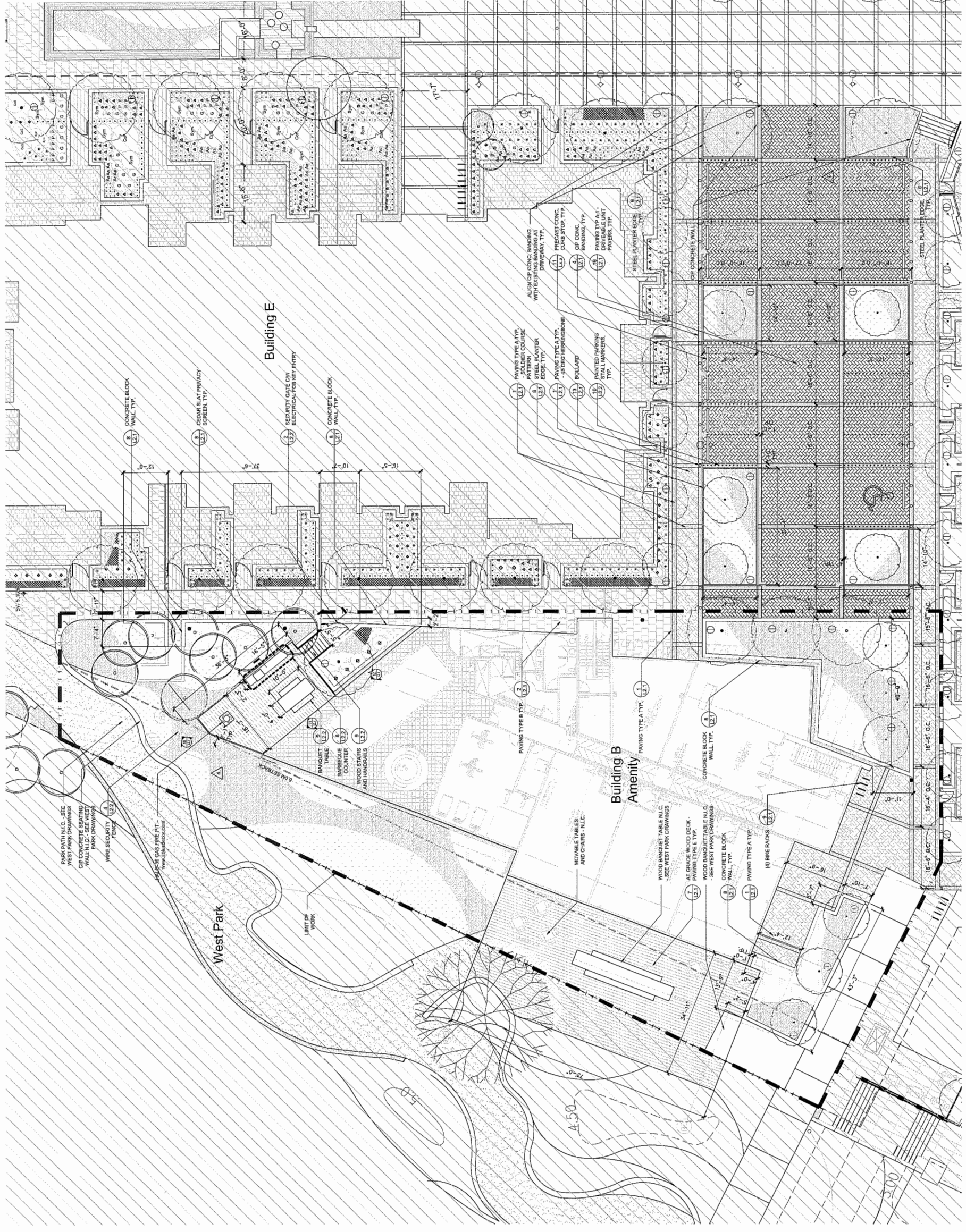
DAVA Development Ltd.
(River Drive) Corp.

Oris Consulting
(River Drive) Corp.

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Parc Riviera
Multi-Use Development
Richmond BC

Materials and
Layout Plan
Building B



Supplements Plan 23 with
Planting B only
Building B only

Plan 23b Jul 13, 2015
DP 11-564405



PARC RIVIERA
A WESTBANK DEVELOPMENT

Mixed-use Development
10071-10311 River Drive E
100' Prec. 4 and
100' Prec. 5
Richmond, B.C.

DAVA Development Ltd.
(River Drive) Corp.
Oris Consulting
(River Drive) Corp.

1	Revised for General Circulation	Nov. 11/15
2	Revised for General Circulation	Nov. 11/15
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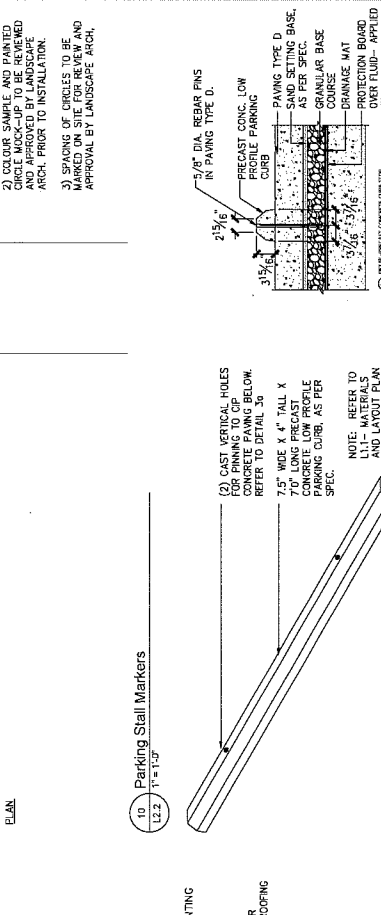
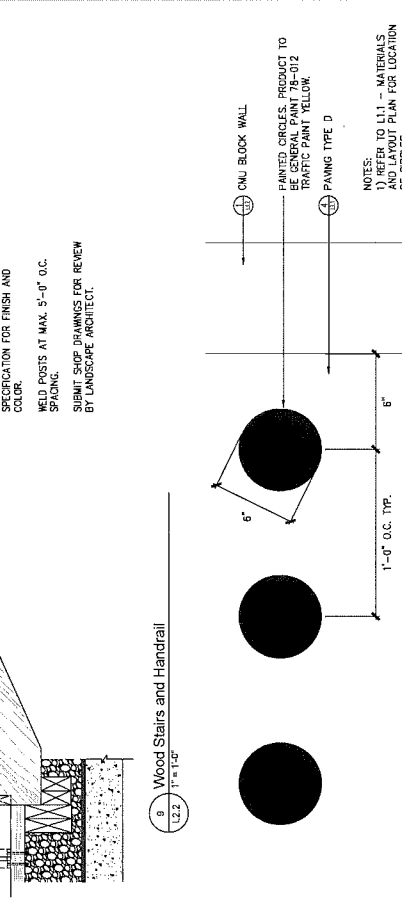
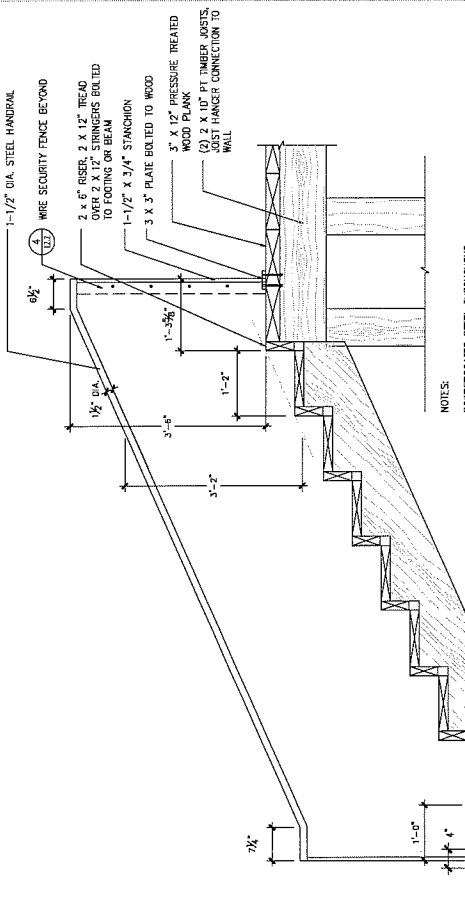
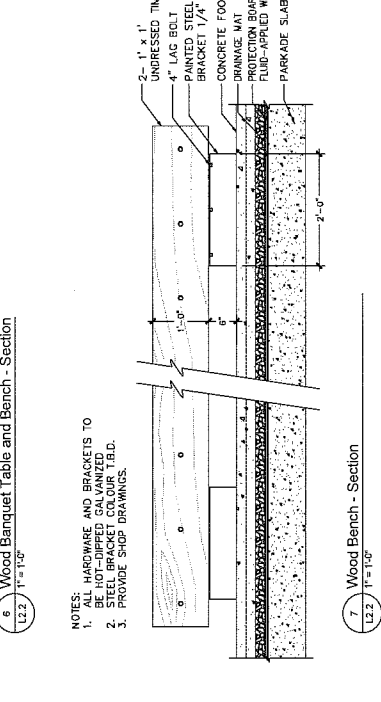
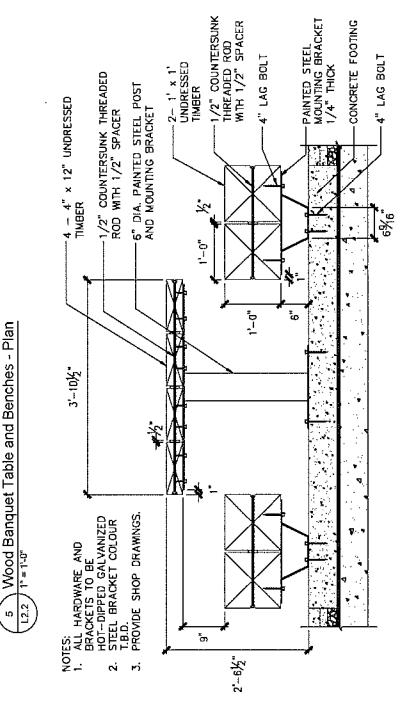
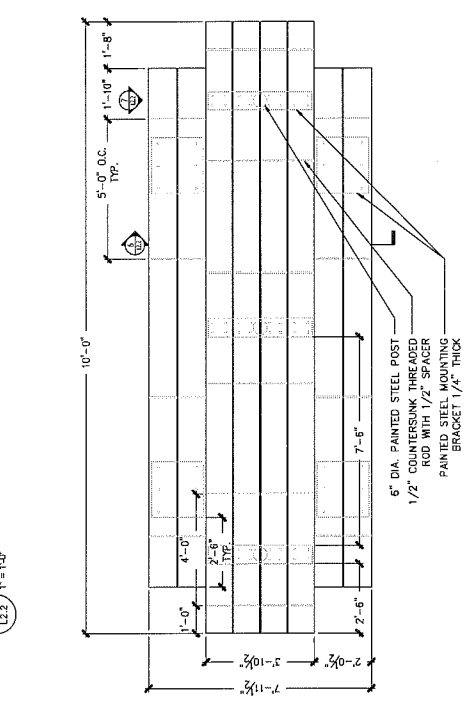
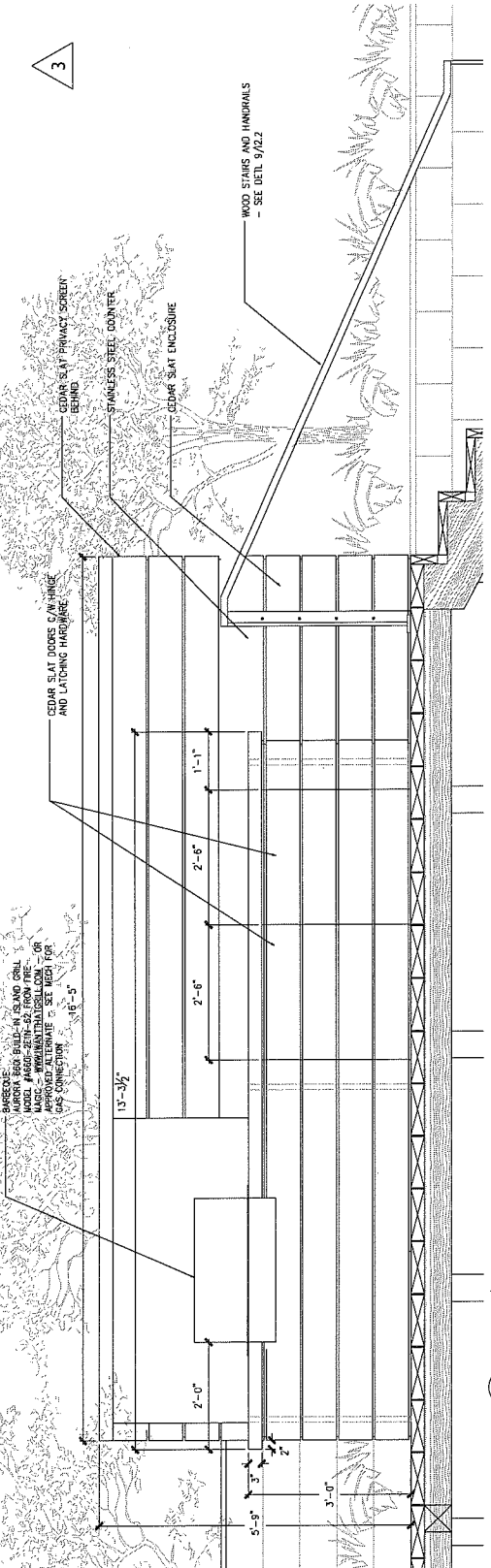
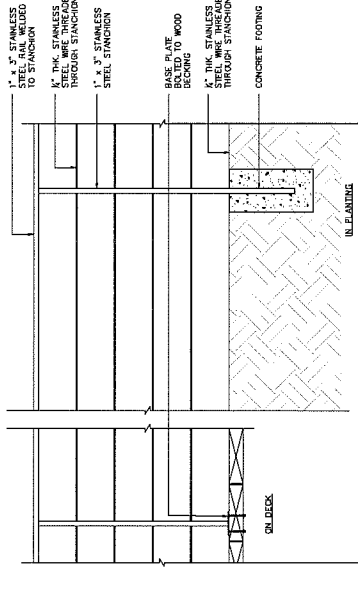
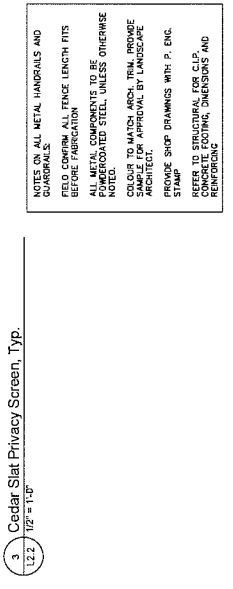
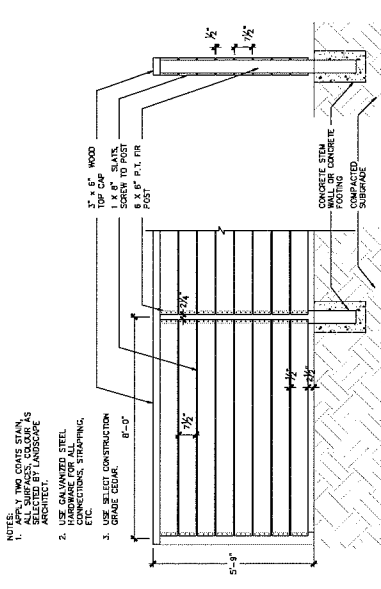
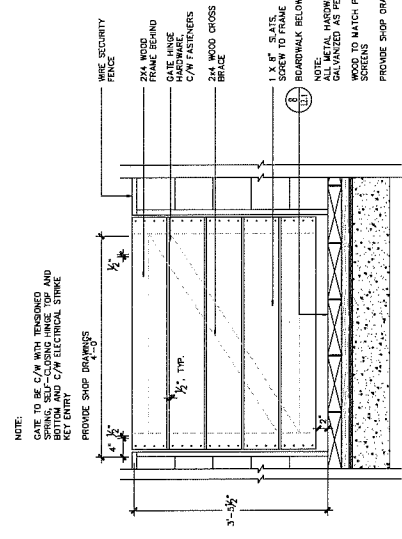
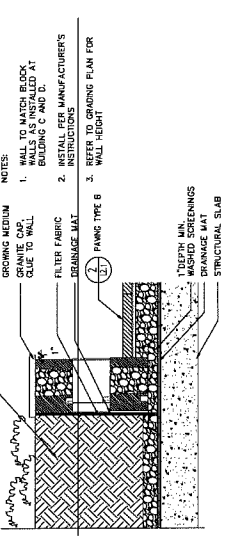
Parc Riviera
Multi-Use Development
Richmond BC

Planting Plan
Building B



PLANT SCHEDULE	SYN	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	COMMENTS
DN	8		CORNUS KOUSA	KOUSA DOGWOOD	2.0M HT., 800	FALL WINTER SIZE & QUALITY
LS	2		LOQUANDIA STRYCIIFOLIA	AMERICAN SWITZLIUM	3.0M HT., 800	FALL WINTER SIZE & QUALITY
NS	11		MAGNOLIA S. SOULANGIANA	SWEET MAGNOLIA	2.0M HT., 800	FALL WINTER SIZE & QUALITY
SI	4		STYRAX JAPONICA	JAPANESE STYRAX	3.0M HT., 800	FALL WINTER SIZE & QUALITY
ES	5		DOXYDAUS ALAUS COMPACTUS	SHARP WINGED BURNINGSHUSH	# POT, 400mm D.C.	FALL
OS	750		CALAMAGROSTIS INTRICATA	NOCTUA REEDGRASS	# POT, 400mm D.C.	FALL
AS	430		CAREX PACIFICOSTACHYA	COMMON SEDGE	# POT, 600mm D.C.	FALL
DS	750		DESDHAMPIA CRYPTOTA	TUFFED HAIR GRASS	# POT, 400mm D.C.	FALL
PS	430		PANDICUM VIRIDULA 'SICHUANICUM'	SIBERIANHAIR SWITCH GRASS	# POT, 600mm D.C.	FALL
AC	30		ALUMINUM CERNUUM	HOODING ORNCH	# POT	FALL
AS	13		ERIVONIA OCCIDENTALIS	BUTTERFLYBANE MASTER	# POT	FALL
CS	32		REST FULVA	COPPER IRIS	# POT	FALL
L	28		LUPINUS POLYVITELLUS	LARGE-LEAVED LUPINE	# POT	FALL
S	13		SOLIDAGO CANADENSIS	CANADA GOLDENROD	# POT	FALL
T	8		AMBRICA NORTENA	COMMON THISTLE	# POT	FALL

NOTES:
1. All landscape design to be coordinated with City of Vancouver's Department of Parks, Trees & Streets. This plan shows landscape proposed as part of the development.
2. Areas of growth to be coordinated with City of Vancouver's Department of Parks, Trees & Streets, including the City of Vancouver's Department of Parks, Trees & Streets.
3. Areas of growth to be coordinated with City of Vancouver's Department of Parks, Trees & Streets, including the City of Vancouver's Department of Parks, Trees & Streets.
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6. Areas of growth to be coordinated with City of Vancouver's Department of Parks, Trees & Streets, including the City of Vancouver's Department of Parks, Trees & Streets.



PARC RIVIERA
A RESIDENT DEVELOPMENT

Multi-use Development
1007-10111 River Drive E
Richmond, BC
VANICOR, INC.

DAVA Development Ltd.
(River Drive) Corp.
Oris Consulting
(River Drive) Corp.

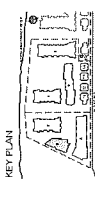
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3	Issued for Construction	Nov. 12/15
4	Issued for Tender	Nov. 12/15
5	Issued for Construction	Nov. 12/15
6	Issued for Tender	Nov. 12/15
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Parc Riviera
Multi-Use Development

Richmond BC

Landscapes
Details

Screens and Walls



Replacement Reference Plan
with revised floor plans for
Building B

Reference Plan Jul 13, 2015
DP 11-564405

cotter
ARCHITECTS
1000 WEST 10TH AVENUE, SUITE 100
VANCOUVER, BC V6H 2E6
TEL: 604.681.1111
WWW.COTTERARCHITECTS.COM

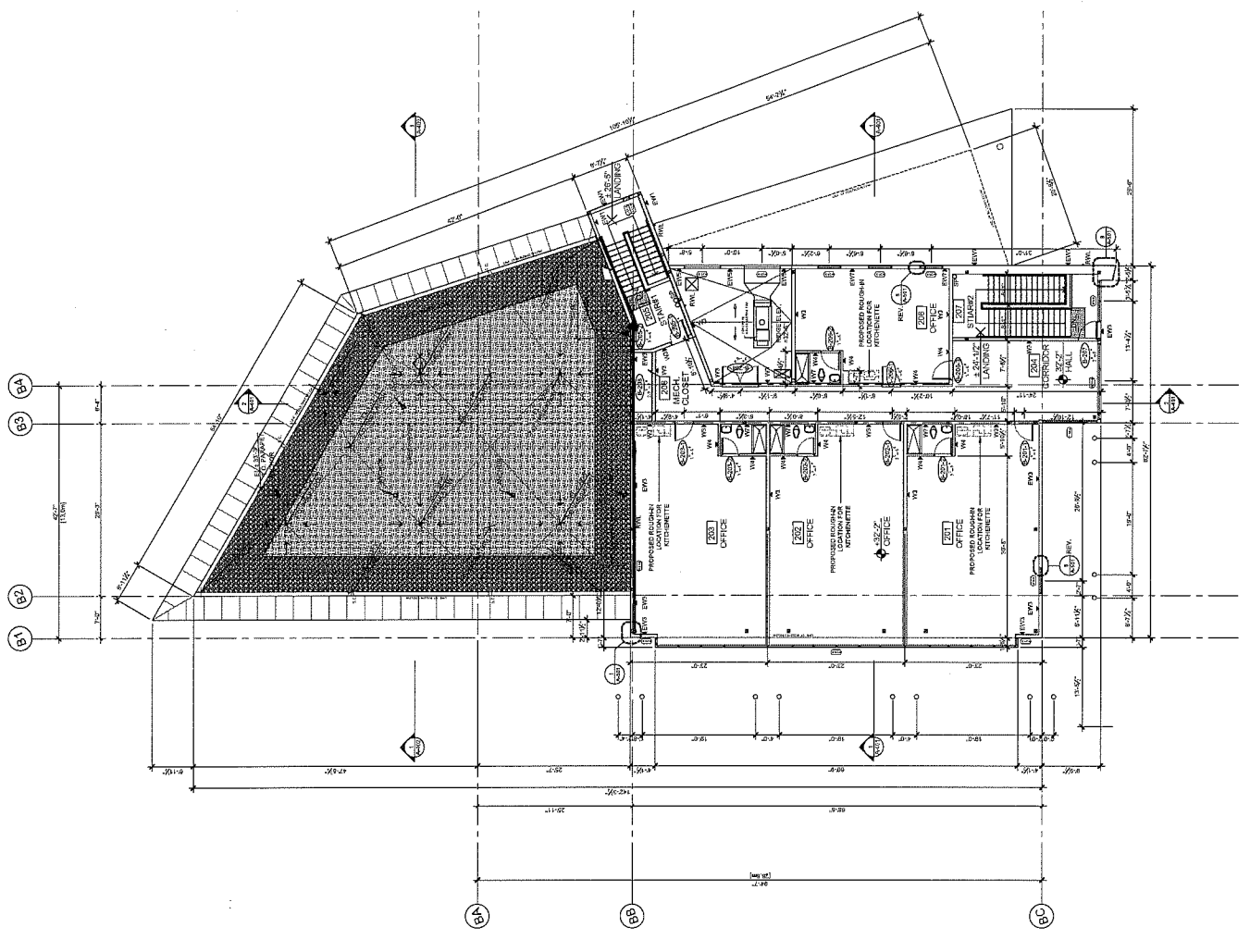


PARC RIVIERA
A PARTNERSHIP BETWEEN
COTTER ARCHITECTS AND
PARQ PROJECTS INC.
1100 WEST 10TH AVENUE, SUITE 100
VANCOUVER, BC V6H 2E6

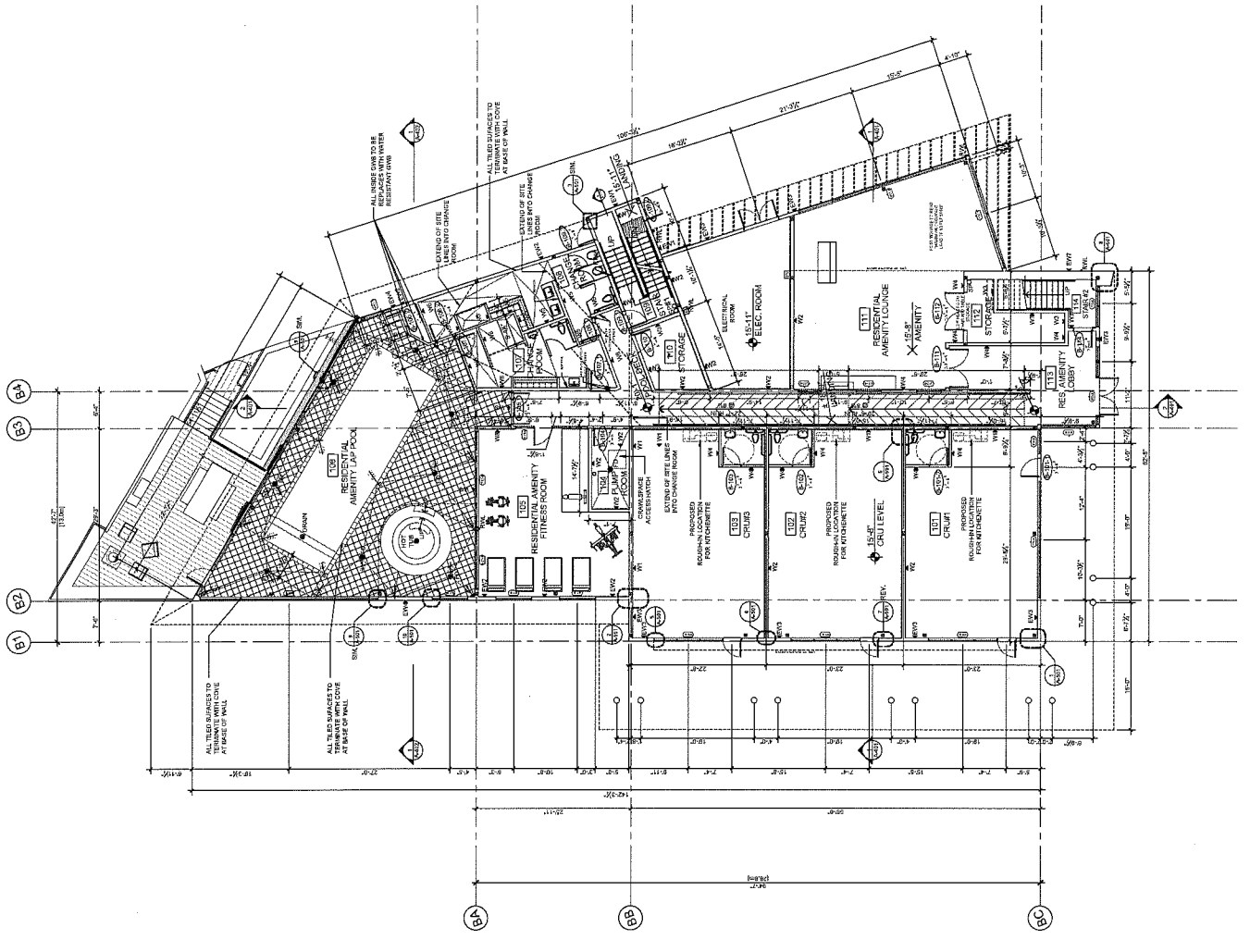
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DATE:	2015.07.13
SCALE:	AS SHOWN
DESIGNER:	COTTER ARCHITECTS
CLIENT:	PARC RIVIERA
LOCATION:	1100 WEST 10TH AVENUE, SUITE 100, VANCOUVER, BC

LEVEL 1 & 2 FLOOR PLANS

A-201 D



2 BUILDING B - LEVEL 2 FLOOR PLAN
A-200



1 BUILDING B - LEVEL 1 FLOOR PLAN
A-200



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 20, 2015

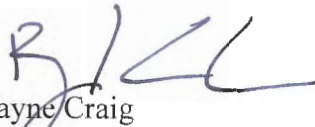
From: Wayne Craig
Director of Development

File: DP 14-672830

Re: **Application by JM Architecture for a Development Permit at 10019 Granville Avenue**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a licensed child care facility for a maximum of 88 children with an accessory residential caretaker unit at 10019 Granville Avenue on a site zoned "Child Care (ZR8) – McLennan".


Wayne Craig
Director of Development

WC:mp
Att.

Staff Report

Origin

JM Architecture has applied to the City of Richmond for permission to develop a licensed child care facility for a maximum of 88 children with an accessory residential caretaker unit at 10019 Granville Avenue on a site zoned “Child Care (ZR8) – McLennan”. The site is currently vacant.

In 2012, the subject site was rezoned from “Local Commercial (CL)” to “Congregate Housing and Child Care (ZR8) - McLennan” to develop a 10-bed congregate housing care facility with full-time medical care, a child care facility for a maximum of 37 children and a residential security/operator’s unit. Subsequently, a Development Permit was issued on September 10, 2012 but the owner did not proceed with the proposal as he could not secure funding for the congregate housing facility and the permit lapsed in 2014.

A zoning text amendment application is being processed under Bylaw 9209 (RZ 14-671974) to remove “congregate housing” from the permitted uses in the site-specific zone and increase the maximum number of children permitted in a licensed child care facility from 37 to 88. The bylaw received third reading at a Public Hearing on March 16, 2015.

Prior to final adoption of the zoning amendment bylaw, the developer is required to enter into a Servicing Agreement for the design and construction of public road frontage upgrades along No. 4 Road and Granville Avenue, including widening of the north side of Granville Avenue.

The subject site is contained in the Agricultural Land Reserve (ALR); however, it is exempt from the Agricultural Land Commission (ALC) regulations because the property was on separate certificate of title and was less than 2 acres in size as of December 21, 1972.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Surrounding Development

Development surrounding the subject site is as follows:

To the North: A single detached dwelling on a small “Agriculture (AG1)” zoned parcel (less than 0.5 acres) contained in the ALR.

To the East: A single detached dwelling on a small “Agriculture (AG1)” zoned parcel (less than 0.5 acres) contained in the ALR.

To the South: single detached dwellings on small “Agriculture (AG1)” zoned parcels (less than 0.5 acres) contained in the ALR.

*note: None of the immediately neighbouring sites in the ALR are currently farmed.

To the West: Across No. 4 Road, a duplex on a property zoned “Two-Unit Dwellings (RD1)” located outside of the ALR. The property is located in the City Centre Area McLennan North Sub-Area and the Plan designates the property for two family dwellings or 2 & 3 storey townhouses.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Composition of the landscape buffer to the existing single family dwellings in the immediate area
- Streetscape design along No. 4 Road and Granville Avenue
- Refinement of the proposed building form and massing
- Landscape and open space design details
- Refinement of the children’s outdoor play area design including the choice of play equipment.

Staff are satisfied that all issues identified at rezoning have been addressed. The Public Hearing for the rezoning of this site was held on March 16, 2015. At the Public Hearing, no concerns or public comments were received.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposal is consistent with the applicable sections of the 2041 Official Community Plan and is in compliance with the “Child Care (ZR8) – McLennan” zoning regulations.

Advisory Design Panel Comments

The application was initially considered by the Advisory Design Panel on April 16, 2015. The Panel identified a number of design issues and asked the applicant to consider the Panel’s comments and return to the Panel for further review. A copy of the excerpt from the Advisory Design Panel minutes is attached for reference. The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’ (Attachment 2).

The applicant substantially revised the building design based on the ADP and staff comments and further developed the landscape design with more detailed children’s outdoor play area programming. The revised design was presented to the Advisory Design Panel on June 17, 2015. Since quorum was not present, the Panel did not vote on the item; however the consensus of the Panel was that there had been significant improvement to the building and landscape design. The Panel had a few additional minor comments and suggestions and supported the application to proceed to the Development Permit Panel. The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘*bold italics*’ (Attachment 3).

Analysis

Conditions of Adjacency

- The height, siting and orientation of the proposed two-storey building respects the existing single family homes immediately adjacent to the site.
- The building is proposed to be located at the southwest corner of the site to minimize potential privacy and overlook concerns for the immediate neighbours to the north and east.
- A 1m landscape buffer strip with 6' high wooden fence, hedge and columnar trees is proposed along the north and east property lines for screening.
- The garbage and recycling area proposed at the northeast corner will be enclosed in a structure and will be further screened from the immediate neighbours by the wooden fence and hedge.

Urban Design and Site Planning

- The location of the building will create a strong street presence through architecturally interesting building facades, varied rooflines and high-quality landscape treatment, which will contribute to the pedestrian experience along No.4 Road and Granville Avenue.
- The primary vehicle access/egress is provided via a full movement access from Granville Avenue and a right-out only exit is proposed on No. 4 Road. A covenant has been registered on title to restrict the No. 4 Road exit to right-out only as part of the previous rezoning application (RZ10-552527).
- From the streets, the parking and loading area will be screened by the building and a perimeter landscape buffer and metal fence. The proposal will provide 24 parking stalls and a loading space which meets the zoning requirement.
- Once accessible parking stall will be located close to the main entrance of the child care facility for ease of access.
- A pedestrian access will be provided from Granville Avenue adjacent to the driveway and will be connected to the entrances to the child care facility and the residential suite on the north side of the building.
- A garbage and recycling enclosure is proposed at the northeast corner where it can be easily accessed by a collection vehicle. A pathway is proposed adjacent to the enclosure for convenient access by occupants.
- Children's outdoor play areas are proposed around the building along the south and west property lines to maximize the sun exposure and provide direct access from indoors to outdoors. An additional children's outdoor play area is proposed on the second floor deck at the north of the building.

Architectural Form and Character

- The building provides a playful, dynamic and colourful design, which is appropriate for the proposed use.
- The building is articulated with variation in roof form, height, materials, colours and architectural details including gable roof elements, trellis, canopies and wood trims.
- The proposed building features high quality cladding materials including fiber-cement siding, shingles and board and batten.
- The proposed colour scheme consists of a grey tone with bright/bold colour accents for contrast.

- Various colours and building materials will be used to differentiate individual classrooms for different age groups and help break the massing of the building.
- Vertical lattice with climbing vines is proposed on the north side of the building to add visual interest and avoid a large blank wall.

Landscape Design and Open Space Design

- The landscaping and open space design focuses on mitigating site impacts along the public road frontage. To soften the impact of the required protective fence for the child care, a wave form hedge and fence have been provided.
- A 1m landscape buffer with hedge and wooden fence is proposed along the north and east property lines.
- Columnar trees and landscape islands will be incorporated into the parking area to provide shadow, colour and rhythm.
- The children's outdoor play area is designed to provide a range of opportunities for the social, physical and emotional development of children while providing an attractive urban face to the public realm. Design details are as follows:
 - The programming focuses on providing opportunities for children to interact with the natural landscape and explore various activities.
 - The location of the outdoor play area would maximize the southern and western exposures for natural light. Substantial windows are proposed to maximize natural lighting available to the interior space.
 - Canopies will be provided for the entrances to the indoor classrooms to act as a transition zone from the indoors to the outside.
 - The proposed trees in the children's outdoor play area will be a mix of evergreen and deciduous trees including fruit trees to provide seasonal interest. The trees will also provide natural shade and cooling during the summer months.
 - Each outdoor play area is designed to serve a different age group (separated by a 3' fence) and is contiguous with the age group's indoor classroom.
- For children's safety, the children's outdoor play area is completely fenced with metal fence and hedge. The height of the fence and hedge will be between 4' and 5' and will have a playful oscillating shape to enhance the character of the development. In addition, wooden trellis and lockable gates are proposed to add visual interest.
- A Letter-of-Credit for landscaping in the amount of \$86,106.41 inclusive of a 10% contingency cost is included in the DP considerations.

Crime Prevention Through Environmental Design

The proposed development includes the following design elements that support CPTED principles:

- The corner site has good visibility from the streets.
- The children's outdoor area will be fenced completely for the safety of children.
- The accessory residential unit on the second floor provides natural surveillance of the streets and surrounding areas.
- Vandal resistant hardware to all doors, restricted opening to all windows and selected purpose-driven lighting to all access and egress doors will be provided.
- All gates will have security hardware installed to lessen the opportunity for vandalism.
- Entry points to and from the site are clearly defined from the adjacent streets.

Accessible Housing

- The proposed development includes the following accessibility features for a future resident with mobility challenges:
 - The accessible parking stall will be located close to the main entrances of the building.
 - All bedroom doorways in the accessory residential unit will be 3' wide to ensure wheelchair accessibility.
 - One of the bedrooms is designed to be an accessible unit; a closet and bathroom are designed to ensure universal accessibility.
 - Manoeuvring space in the kitchen will accommodate wheelchair accessibility.
- Additional accessibility features may be incorporated once further design work is completed for a building permit.

Energy and Sustainability

The applicant has indicated that the following sustainability measures will be incorporated into the development:

- Low-flow plumbing fixtures to reduce water consumption
- LED lighting where practicable to minimize energy consumption
- All appliances and fixtures will be selected based on ENERGY STAR® ratings
- Increased thermal insulation and high-quality windows with Low E glass
- Instructions to the consultant engineers will be provided to achieve a 10-15% reduction in mechanical and electrical loads wherever possible
- Using the BC Building Code as a base reference, insulation levels will be increased by 10-15% over the ASHREA 90.1.-2010 standards

Conclusions

The Development Permit application has addressed the issues and comments related to the site's existing condition of adjacency, urban design and site planning, architectural form and character and landscaping design. Staff recommend support of the Development Permit application.



Minhee Park
Planner 1

MP:cas

Attachment 1: Development Application Data Sheet

Attachment 2: Advisory Design Panel Meeting Minutes (Excerpt), April 16, 2015

Attachment 3: Advisory Design Panel Discussion Notes (Excerpt), June 17, 2015

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$86,106.41

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be

required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*

- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



DP 14-672830

Attachment 1

Address: 10019 Granville Avenue

Applicant: JM Architecture

Owner: Haraka Enterprises Inc.

Planning Area(s): East Richmond McLennan Sub Area

Floor Area Gross: 1,145.3 m²

	Existing	Proposed
Site Area:	2,448 m ²	No Change
Land Uses:	Vacant	88 space child care facility + Residential Security/Operator Unit
OCP Designation:	Agriculture	No Change
Zoning:	Agriculture, Institutional and Public	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max 0.5 FAR	0.47 FAR	none permitted
Lot Coverage:	Max. 40%	28.7%	none
Setback – Public Road	Min. 3 m	4 m (Granville Avenue) 5 m (No. 4 Road)	none
Setback – North	Min. 5 m to building Min. 0.9 m to garbage and recycling enclosure	5.7 m to building 0.9 m to garbage and recycling enclosure	none
Setback – East	Min. 9 m to building Min. 0.9 m to garbage and recycling enclosure	21.2 m to building 0.9 m to garbage and recycling enclosure	none
Height (m):	Max. 12.5 m	10.3 m	none
Off-street Parking Spaces – Total Regular/Commercial:	Min. 24	24	none
Loading Spaces	Min. 1	1	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, April 16, 2015 – 4:00 p.m.
Rm. M.2.002
Richmond City Hall

4. **DP 14-672830 – 88-SPACE CHILD CARE FACILITY**

APPLICANT: JM Architecture Inc.

PROPERTY 10019 Granville Avenue

Applicant's Presentation

Architect Joe Minten, JM Architecture Inc., and Landscape Architect Clark Kavolinas, CJK Landscape Architecture, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- good break in the building façade; use of different building materials visually breaks down the large building and provides good articulation; different heights provide an interesting roofline;

General Information

- outdoor spaces appear too linear but understand that they are subject to lot dimensions;

General Information

- use of sandy brown and desert colours and significant amount of stucco materials makes the building look outdated; consider alternative colours and materials to create a more modern expression;

The revised plans illustrate a complete departure from the original submission to a more vibrant dynamic colour palette. The stucco and stone materials have been deleted in favour of shiplap and panel siding (James Hardie products).

- suggest that the applicant set specific target efficiencies with regard to the sustainability aspect of the project, e.g. 20 percent water consumption savings;

Also noted in the design brief goals to the following will be sought:

- *10% to 15% reduction in mechanical and electrical loads over BCBC regulations.*
- *10% to 15% increase in thermal insulation over the ASHREA 90.1.2010 standards.*

- consider introducing public art in the project as it will benefit the children and the public;

The layout of fencing at the intersection has been changed to permit two triangular areas – in these we have inserted a playful nod to the day care use. This interactive piece of artwork should be looked upon as a definition to the use of the daycare facility and can be used to sit on as well thus promoting a degree of public meeting and interaction. The materials of the letters are proposed to be concrete at the base and transparent lit pieces (by means of solar collection).

- consider design development to the cross gable roof on the tower element at the corner of Granville Avenue and No. 4 Road as it is very prominent; at the south elevation of the tower, consider relocating the three windows and the double door to the centre;

The cross gable roof has been changed to a single gable facing No. 4 Road added rooflets provide shading to the interior classroom spaces.

- reconsider the extensive use of cultured stone in the tower element; introduce larger windows;

The cultured stone has all been deleted.

- proposed colour palette appears bland; consider more “fun” colours;

As noted above, the colour palette has been completely revised to suit this comment.

- entrances/doors to the building appear confusing from the outside; use different colours or colour blocks to identify entrances and uses of the building according to various age groups;

The doors from the classrooms to the exterior are now framed in different coloured trim boards – the same colours are reintroduced as horizontal trims on the tower element and the north edge of the building.

- agree with comments regarding the choice of colours and extensive use of cultured stone on the tower element;

Reference notes to colour change

- the project has a stage-set feel; sill heights of windows at the upper level of the building are very high; consider enlarging the windows;

Several changes have addressed this concern:

- *The floor to ceiling height of the second floor has been lessened.*
- *The windows throughout the project have been given heavier more pronounced trims and on the tower, they have been pushed out of the exterior wall plane.*

- the building appears flat, e.g. no window reveals and thin bargeboards and fascias; needs more detailing;

Similar to above the revisions noted address the “set-stage” appearance previously presented.

- proposed colours need some contrast; agree with comments regarding the extensive use of cultured stone, lack of detailing in the tower element and size of windows; proportions work but overall design refinement is needed;

Reference comments related to colour palette change.

- additional screening of the outdoor children’s play area located along Granville Avenue which is a busy street is needed; location of children’s play area is a concern;

The edge interface of street and play area along No. 4 Road and Granville Avenue comprises a continuous hedge backed by a four foot high metal fence; aligned to the classroom egress doors the fence is changed to a fixed gate of five height and topped y a wood trellis.

- consider a one direction gable roof on the tower element in lieu of a cross gable roof;

Done.

- a more developed outdoor children’s play area consistent with the intended use of the proposed facility is needed; children’s play area lacks definition; and

A new landscape plan has been developed; please refer to it.

- the applicant is encouraged to work with City staff to introduce tree planting along Granville Avenue to provide some shading to the south side of the proposed development and screening of the children’s play area.

Trees along the city boulevard have been approved as part of the off-site civil works – they are now presented in graphic form in this presentation.

Panel Decision

It was moved and seconded

That DP 14-672830 return to the Panel for further review with the applicant giving consideration to the comments of the Panel.

CARRIED

Opposed: Steve Jedreicich

Excerpt from the Discussion Notes from
The Design Panel Meeting

Wednesday, June 16, 2015 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

2. DP 14-672830 - 88 SPACE CHILD CARE FACILITY

APPLICANT: JM Architecture Inc.

PROPERTY LOCATION: 10019 Granville Avenue

Applicant's Presentation

Architect Joe Minten, JM Architecture, and Landscape Architect Meredith Mitchell, M2 Landscape Architecture, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- the applicant has introduced good improvements to the project since its previous presentation the Panel;
- design changes to the project addressed the concerns of the Panel; the enhanced character of the building fits a daycare centre;
- appreciate the efforts of the applicant to make a lot of improvements to the project; also appreciate the applicant's presentation of the project and the renderings and elevations provided by the applicant to the Panel;
- entry canopy on the main entrance at the south elevation (along Granville Avenue) appears skimpy; consider enlarging the scale of the canopy;

There really is no wall space available to enlarge this canopy and still have it address the entry doors it serves; the canopy roof remains as presented.

- big improvement on the fascias;
- consider a chimney/fireplace expression in the suite;

A chimney has been added as recommended.

- windows to the kitchen in the south elevation (along Granville Avenue) and opposite windows in the north elevation are pushed up; consider bringing the window sills down;

Windows on the south side could not be enlarged as there are kitchen cabinets which determine the height of the sill. Windows on the north side have been increased as recommended.

- gable element introduced to the play space appears weak and does not appear to be coordinated with the landscape plan; consider an open frame element;

The west facing gable component was revised, reviewed and rejected by the architect and the client – we felt the design was foreign to the integrity of the overall facade facing No. 4 Road.

- the proposed development appears less institutional; choice of colours and introduction of colour contrast and gables make the project fit with its site context;
- agree with comments regarding the improvements on the project; appreciate the architectural details;
- appreciate the positive details of the outdoor play area programming and support the proposed landscaping which is going in the right direction; and
- appreciate the introduction of trellis elements along the street; however, look at control of children's access.

The Chair noted that the Panel members present expressed general support for the project.

Due to the absence of a quorum, a Panel recommendation could not be considered.



No. DP 14-672830

To the Holder: JM Architecture Inc.
Property Address: 10019 Granville Avenue
Address: c/o Joe Minten
Main Floor, Building 4
15243 – 91st Avenue
Surrey, BC V3R 8P8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #18 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$86,106.41 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

To the Holder: JM Architecture Inc.
Property Address: 10019 Granville Avenue
Address: c/o Joe Minten
Main Floor, Building 4
15243 – 91st Avenue
Surrey, BC V3R 8P8

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

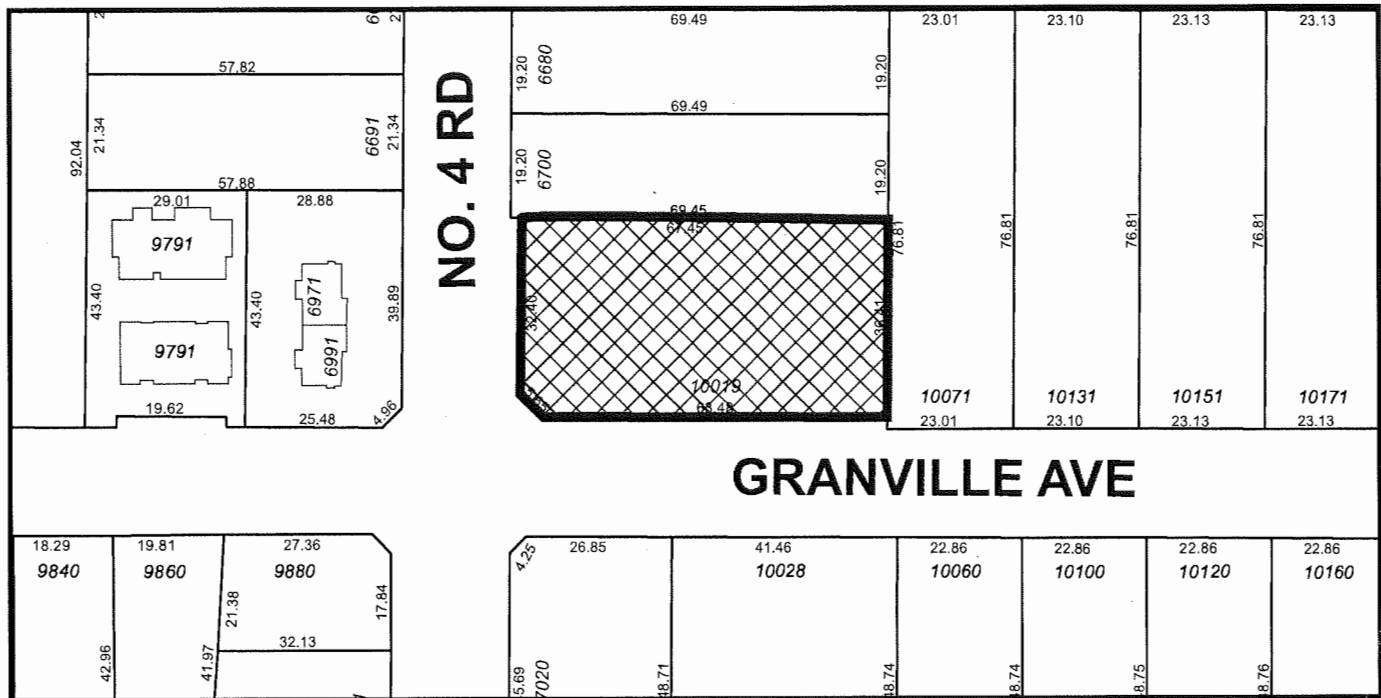
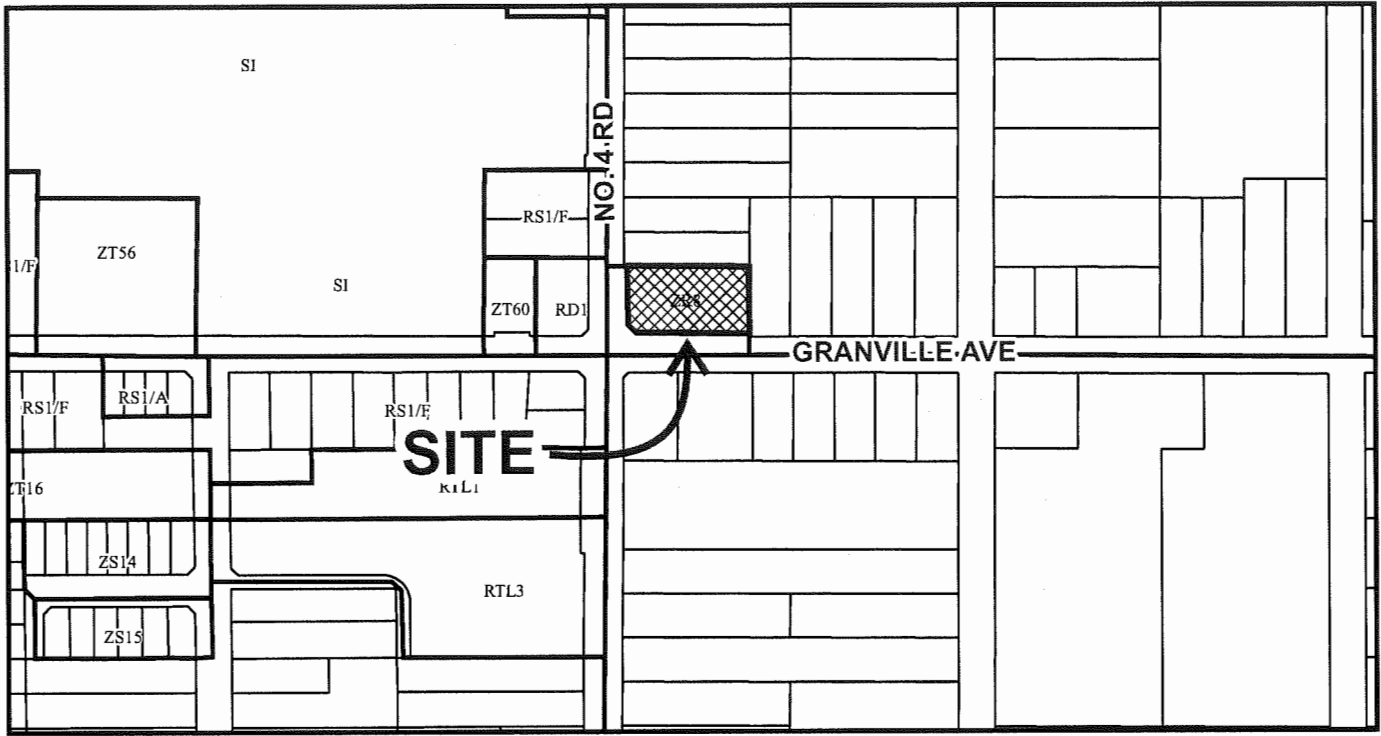
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 14-672830
SCHEDULE "A"

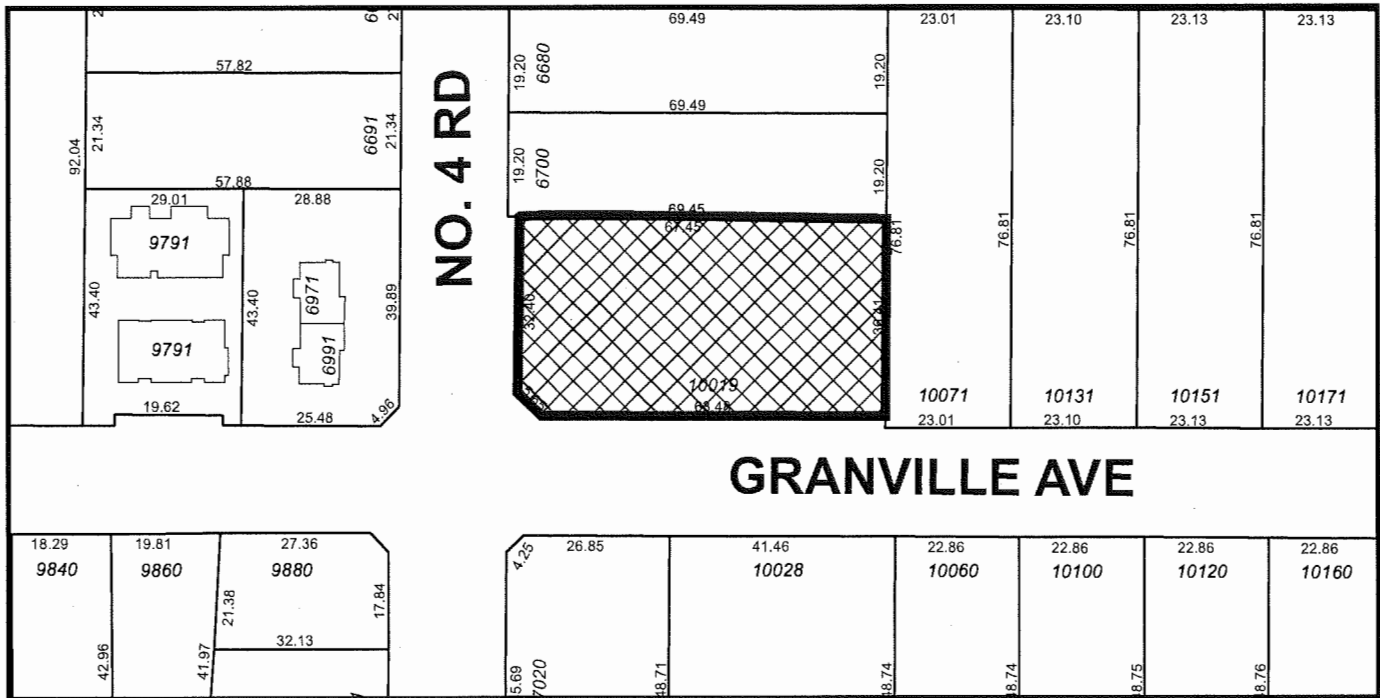
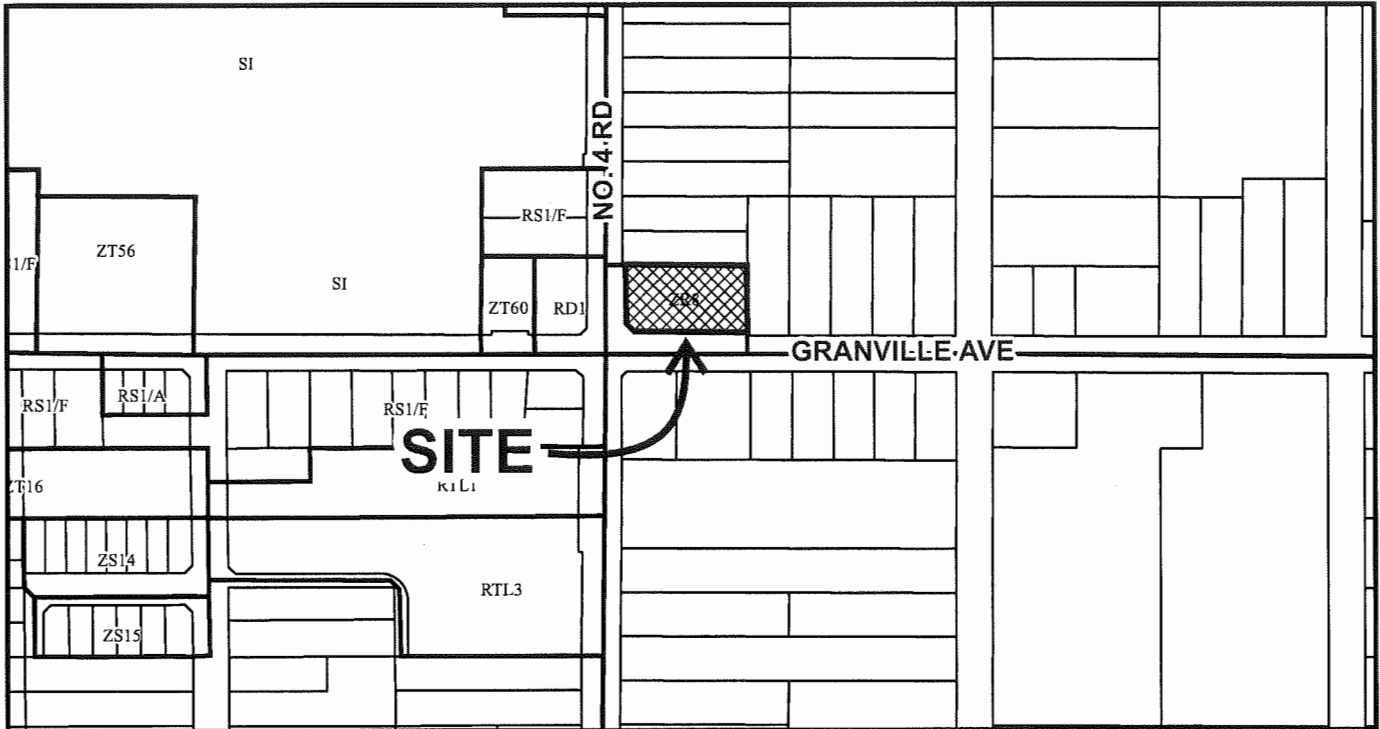
Original Date: 10/01/14

Revision Date:

Note: Dimensions are in METRES



City of Richmond



	<h2>DP 14-672830</h2>	Original Date: 10/01/14 Revision Date: Note: Dimensions are in METRES
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MIXED USE RICHMOND

City of Richmond, BC
10019 Granville Avenue
Richmond, BC

RENDERING – SNAP SHOTS



SITE MAP



DP SUBMISSION

Contact

OWNER
Title A - Planning Consultants
8545 Glenville Avenue
RICHMOND, B.C. V6C 1E7
TEL: 604 502 7889
FAX: 604 271 7700
EMAIL: am@titlea.com
MR. AMIN ALIDINA

ARCHITECT
JM ARCHITECTURE INC
#100 - BLDG 4 - 15243 91st Avenue
SURREY, B.C. V3R 8P8
TEL: 604 583 1004
FAX: 604 583 1004
EMAIL: jmarch@shaw.ca
CONTACT: JOE MINTEN, mbtc, asa

SURVEYOR
MATSON BECK & TOPLESS SURVEYORS & ENGINEERS
#320 - 11120 Horseshoe Way
RICHMOND, B.C. V7A 9H7
TEL: 604 270 4137
FAX: 604 270 4137

LANDSCAPE ARCHITECT
KAVOLJINS & ASSOCIATES INC
2462 Juncal Court
ABBOTSFORD, B.C. V3G 3E8
TEL: 604 857 2316
FAX: 604 857 2316
EMAIL: kavoljins@shaw.ca
CONTACT: CLARK KAVOLINA, bcsla, cml

CIVIL ENGINEERING
CORE CONCEPT CONSULTING LTD.
#1209 - 13351 Commerce Parkway
RICHMOND, B.C. V6V 2K7
TEL: 604 249 5040
FAX: 604 249 5041
EMAIL: dkozak@coreconcept.com
CONTACT: DAVID KOZAK, ASst

Drawing List

DRAWING No.	DRAWING TITLE
A-100.1	SITE CONTEXT AND RECONCILIATION
A-100.2	SITE PLAN
A-100.2B	STREET CONTEXT MAP
A-100.3	SITE DETAILS
A-101.1	MAIN FLOOR PLAN
A-101.2	2ND FLOOR PLAN
A-101.3	ROOF PLAN
A-103.1	ELEVATIONS
A-103.2	ELEVATIONS
A-103.3	PERSPECTIVES
A-103.4	PERSPECTIVES
SURVEY	
DRAWING No.	DRAWING TITLE
1	SITE SURVEY
LANDSCAPE	
DRAWING No.	DRAWING TITLE
1	LANDSCAPE PLAN

BRAINTREE E.L.C., 10019 GRANVILLE AVE., RICHMOND, BC

DP-14-672830

Plan #1

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JM Architecture Inc.
 architecture
 interior design
 planning
 Architect: Joe M. Minchin
 Building 4 - Main Floor
 3243 B. V. Dr.
 804 - 883 2003 - 1
 804 - 883 2003 - 2
 804 - 883 2003 - 3

DO NOT SCALE DRAWING



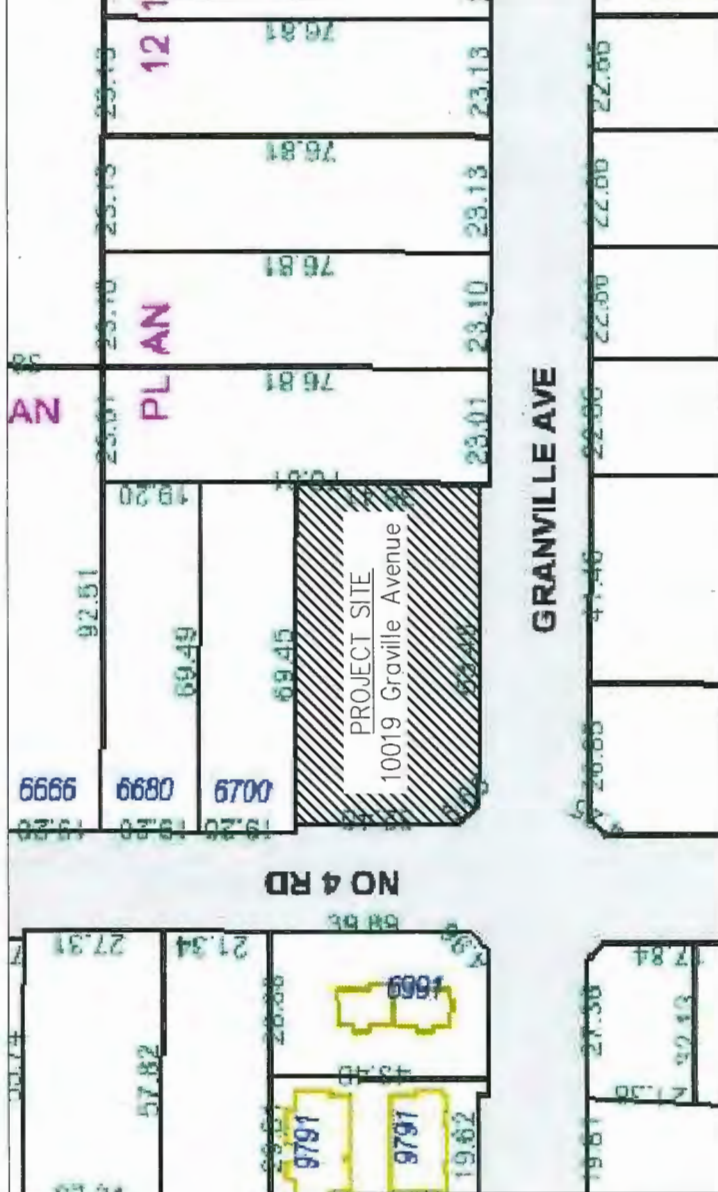
SITE CONTEXT PLAN
 SCALE 1/8" = 1'-0"

ZONING RECONCILIATION	
CIVIC ADDRESS 10019 Granville Avenue, Richmond, BC Legal Address Lot 1, Sec 11, Block 4 North, Range 6 West, NWD, PL BCP 20081, PID: 026-483-734	Local Commercial Comprehensive Development
EXISTING ZONE CD	PROVIDED
PROPOSED ZONE	PROVIDED
BASED ON RICHMOND ZONING BY LAW	PROVIDED
LOT AREA GROSS SITE AREA	N/A 2,446m ² (26,351 SF)
DENSITY GROSS DENSITY	N/A 1,145.3m ² / 2,446.0m ² = 0.47
LOT COVERAGE GROSS LOT COVERAGE	N/A 704.66m ² / 2,446.00m ² = 28.7%
YARD SET BACK FRONT SET BACK (INC. 4 ROAD) FRONT SET BACK (GRANVILLE AVENUE) SIDE YARD SET BACK REAR YARD SET BACK	5.0m (16'-5") 4.01m (13'-2") 21.22m (69'-7 1/4") 5.78m (18'-11 5/8")
HEIGHT BUILDING HEIGHT OF BUILDING TO AVERAGE GRADE (1.92)	N/A 10.33m (33'-10 1/8")

OFF-STREET PARKING	CHILDCARE
GROUP INFANT 1 - UNDER 18 MONTHS (12 CHILD) - STAFF REQUIRED: 1 INFANT EDUCATOR & 1 OTHER EDUCATOR & 1 ASSISTANT = 3 EMPLOYEES	13
GROUP INFANT 2 - UNDER 18 MONTHS (8 CHILD) - STAFF REQUIRED: 1 INFANT EDUCATOR & 1 OTHER EDUCATOR = 2 EMPLOYEES	9
GROUP TODDLER 1 - BETWEEN 18 AND 36 MONTHS (10 CHILD) - STAFF REQUIRED: 1 INFANT EDUCATOR & 1 ASSISTANT = 3 EMPLOYEES	2
GROUP TODDLER 2 - BETWEEN 18 AND 36 MONTHS (6 CHILD) - STAFF REQUIRED: 1 INFANT EDUCATOR & 1 OTHER EDUCATOR = 2 EMPLOYEES	2
30 MONTHS TO SCHOOL AGE (25 CHILD) - STAFF REQUIRED: 1 EDUCATOR & 1 ASSISTANT = 2 EMPLOYEES	24
ADMINISTRATION = 1 EMPLOYEE	13
17 EMPLOYEES X 0.75	8
1 PER 10 CHILDREN (88 CHILD)	2
OWNERS/RESIDENCE	2
TOTAL REQUIRED PARKING SPACES	24
TOTAL PROVIDED PARKING SPACES	24

PART 3 - CHILDCARE LICENSING REGULATION	
GROUP CHILDCARE - 30 MONTHS - SCHOOL AGE - GROUP 1 - 24 CHILD (MAIN FLOOR) 3.7m ² OF FLOOR AREA PER CHILD (MAX GROUP OF 24 CHILD)	PROVIDED 3.75m ² x 24 90.00m ² (968.70 SF)
GROUP CHILDCARE - 30 MONTHS - SCHOOL AGE - GROUP 2 - 24 CHILD (MAIN FLOOR) 3.7m ² OF FLOOR AREA PER CHILD (MAX GROUP OF 24 CHILD)	PROVIDED 3.85m ² x 24 92.02m ² (990.50 SF)
GROUP CHILDCARE - INFANT - UNDER 18 MONTHS - GROUP 1 - 12 CHILD 3.7m ² OF FLOOR AREA PER CHILD (MAX GROUP OF 12 CHILD)	PROVIDED 3.72m ² x 12 44.63m ² (480.42 SF)
GROUP CHILDCARE - INFANT - UNDER 18 MONTHS - GROUP 2 - 8 CHILD 3.7m ² OF FLOOR AREA PER CHILD (MAX GROUP OF 8 CHILD)	PROVIDED 3.716m ² x 8 29.73m ² (320 SF)
GROUP CHILDCARE - TODDLER - BETWEEN 18 AND 36 MONTHS - GROUP 1 - 12 CHILD 3.7m ² OF FLOOR AREA PER CHILD (MAX GROUP OF 12 CHILD)	PROVIDED 3.70m ² x 12 44.4m ² (478 SF)
GROUP CHILDCARE - INFANT - BETWEEN 18 AND 36 MONTHS - GROUP 2 - 8 CHILD 3.7m ² OF FLOOR AREA PER CHILD (MAX GROUP OF 8 CHILD)	PROVIDED 3.90m ² x 8 31.20m ² (335.90 SF)
OUTDOOR PLAY AREA 7.0m ² OF OUTDOOR PLAY AREA PER CHILD GROUP 1 - TODDLER - BETWEEN 18 AND 36 MONTHS GROUP 2 - INFANT - UNDER 18 MONTHS GROUP 3 - INFANT - UNDER 18 MONTHS GROUP 4 - TODDLER - BETWEEN 18 AND 36 MONTHS GROUP 5 - 3-5 YR OLD GROUP 6 - 3-5 YR OLD	CHILDREN 8 6 12 24 24 24 TOTAL 88
TOTAL 7.0m ² X 88	633.10m ² (6,813.55 SF)

LEGAL DESCRIPTION
 LOT 1, SEC 11, BLOCK 4 NORTH, RANGE 6 WEST, NWD,
 PL BCP 20081, PID: 026-483-734



Project No. 3.0
 200-10
 A-100.1

DP-14-672830

Plan #2

Project Name
BRAINTREE E.L.C.
 10019 Granville Avenue
 RICHMOND, B.C.
 Mr. Jeff Miller
 Title: Planning Consultant
 510 Don Mills Ave., RICHMOND

2018-07-22

START DATE: MARCH 2010
 PROJECT No.: 2008-10
 DR.: EB
 CH.: JM
 SCALE: AS SHOWN

REV	DATE	DESCRIPTION	BY
01	20-08-10	ISSUED FOR PERMITS	JM
02	20-08-10	ISSUED FOR PERMITS	JM
03	20-08-10	ISSUED FOR PERMITS	JM
04	20-08-10	ISSUED FOR PERMITS	JM

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JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Joe M. Milton
 12243 - 81st Avenue
 Richmond, B.C. V6V 2G3
 604-271-5533 2023 - T
 604-271-5533 2023 - F
 604-271-5533 2023 - M

DO NOT SCALE DRAWING

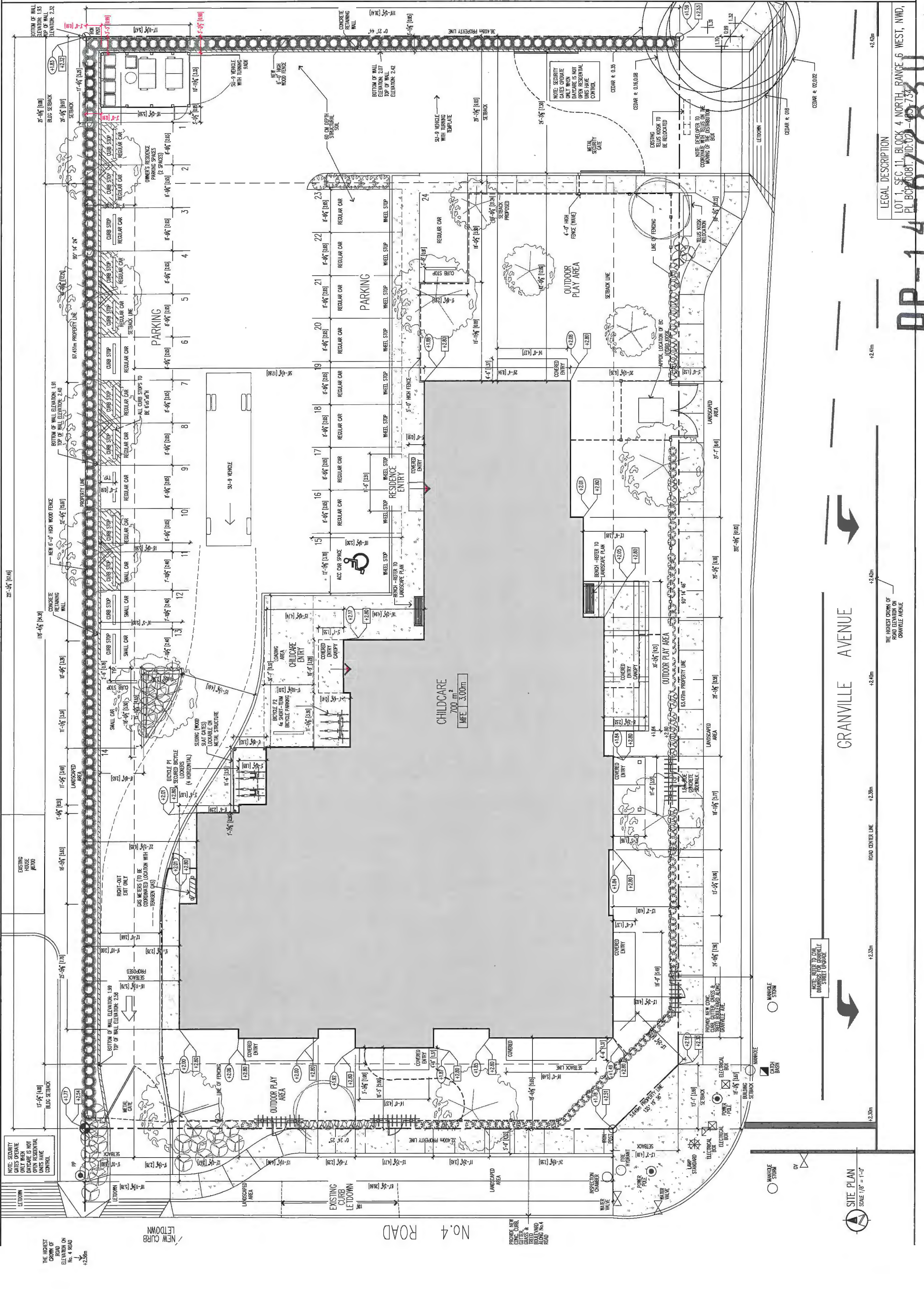
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 1. SWEET NOTES
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LEGEND
 (E) EXISTING GRADE ELEVATION FROM SURVEY
 (F) FINISHED GRADE ELEVATION

REV	DATE	DESCRIPTION	BY
01	2015-07-22	ISSUE FOR PERMIT	JM
02	2015-07-22	REVISED PER PERMIT COMMENTS	JM
03	2015-07-22	REVISED PER PERMIT COMMENTS	JM
04	2015-07-22	REVISED PER PERMIT COMMENTS	JM
05	2015-07-22	REVISED PER PERMIT COMMENTS	JM
06	2015-07-22	REVISED PER PERMIT COMMENTS	JM
07	2015-07-22	REVISED PER PERMIT COMMENTS	JM
08	2015-07-22	REVISED PER PERMIT COMMENTS	JM
09	2015-07-22	REVISED PER PERMIT COMMENTS	JM
10	2015-07-22	REVISED PER PERMIT COMMENTS	JM
11	2015-07-22	REVISED PER PERMIT COMMENTS	JM
12	2015-07-22	REVISED PER PERMIT COMMENTS	JM
13	2015-07-22	REVISED PER PERMIT COMMENTS	JM
14	2015-07-22	REVISED PER PERMIT COMMENTS	JM
15	2015-07-22	REVISED PER PERMIT COMMENTS	JM
16	2015-07-22	REVISED PER PERMIT COMMENTS	JM
17	2015-07-22	REVISED PER PERMIT COMMENTS	JM
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21	2015-07-22	REVISED PER PERMIT COMMENTS	JM
22	2015-07-22	REVISED PER PERMIT COMMENTS	JM
23	2015-07-22	REVISED PER PERMIT COMMENTS	JM
24	2015-07-22	REVISED PER PERMIT COMMENTS	JM

START DATE MARCH 2010
PROJECT No 2015-10
DR. JB
CH. JM
SCALE AS SHOWN
Architects' Seal
 Registered Professional Architect
 British Columbia
 License No. 10000
 Joe M. Milton
 5300 Granville Ave. Richmond
 B.C. V6V 2G3

Project Name 2015-07-22
BRAINTREE E.L.C.
 10019 Granville Avenue
 RICHMOND, B.C.
 Mr. Arin Aldin
 5300 Granville Ave. Richmond
 B.C. V6V 2G3
 2015-07-22
SITE PLAN DIMENSIONS ONLY
 Project No. 2015-10
 Scale 1/8" = 1'-0"
 A-100.2



LEGAL DESCRIPTION
 LOT 1, SEC 11, BLOCK 4 NORTH, RANGE 6 WEST, N.W.D.,
 P.L. BCP 0081, 2010-02-04-734

DP-14-072030

Plan # 3

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JM Architecture Inc.
architecture
interior design
planning

Architect: Joe M. Weston
5544g 4 Street Floor
Surrey, B.C. V3R 8P8
604 - 885 1004 - F
jweston@jma.ca

DO NOT SCALE DRAWING

REV	DATE	DESCRIPTION	BY
20	26/04/20	PROPOSALS	JM
19	24/03/20	REVISIONS	JM

START DATE: OCT 2019
PROJECT No: 20019
DR: B
CH: JM
SCALE: AS SHOWN
Architects Seal

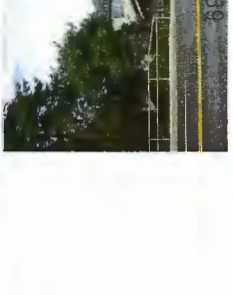
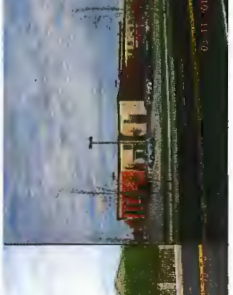
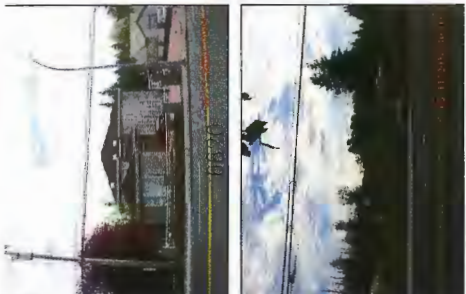
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BRAINTREE E.L.C.
1010 CRANVILLE AVENUE
RICHMOND, BC

Mr. Arif Akbar
Triple A - Planning Consultants
2548 Granville Avenue, RICHMOND

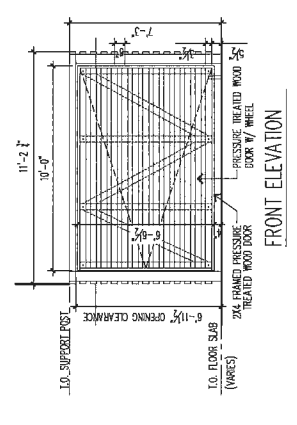
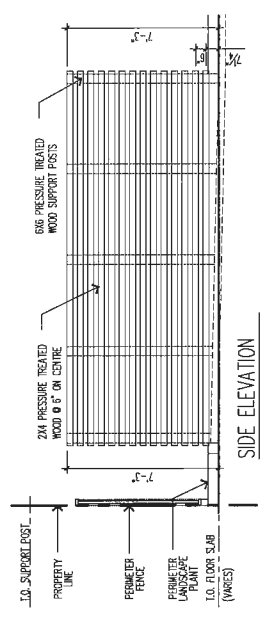
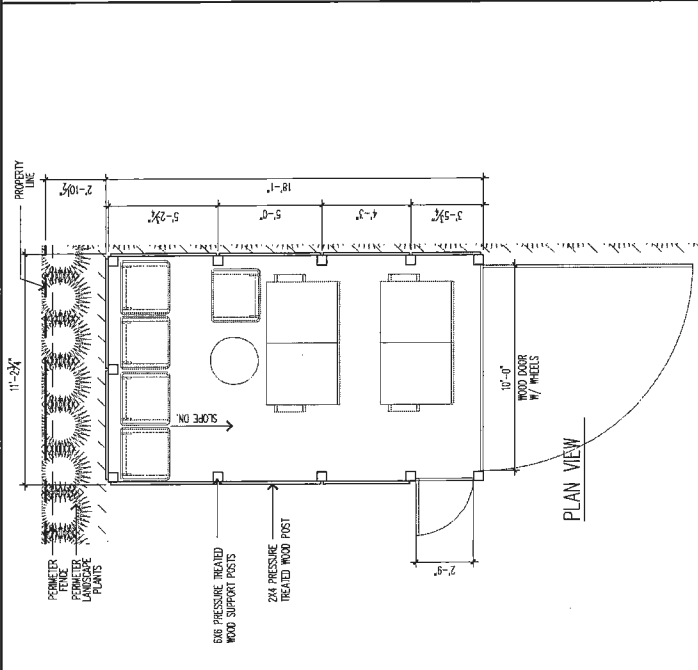
STREET SCAPE
CONTEXT MAP

Project No: A-100.2
Scale: 2.0

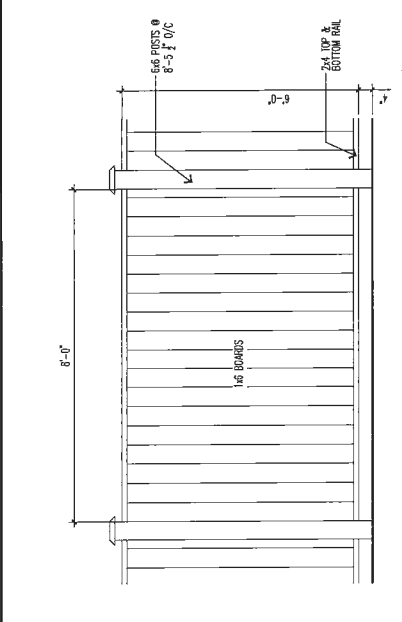
Plan # 4



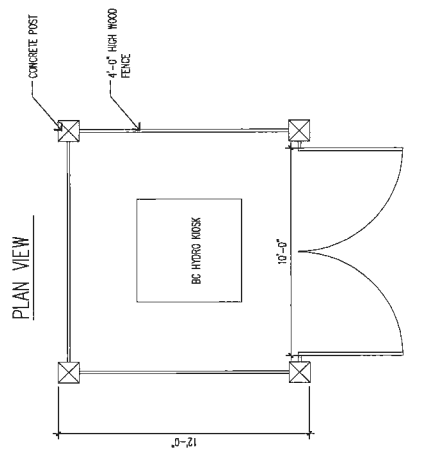
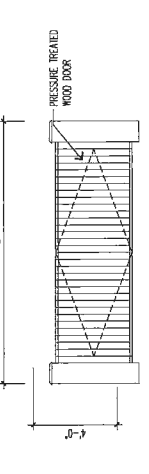
DP-14-672830



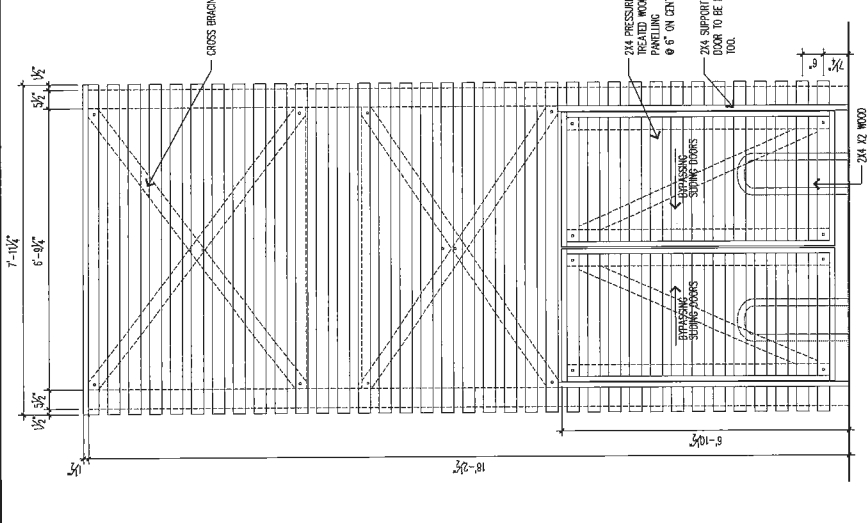
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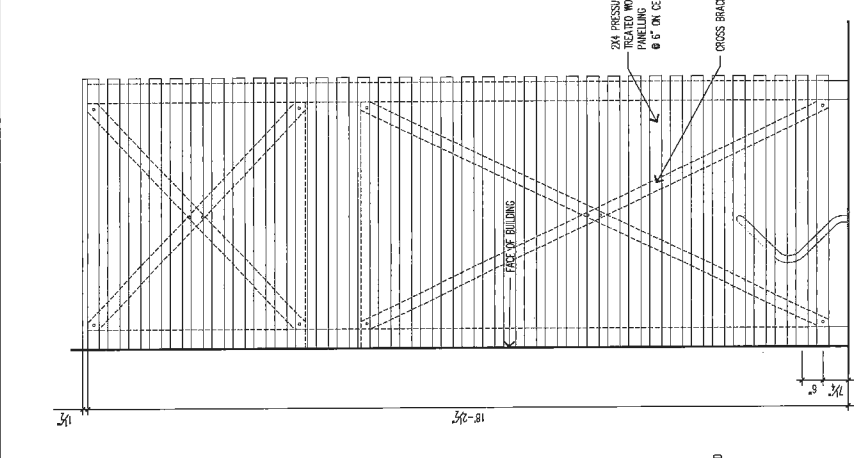
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A-1002 SCALE: 1/2" = 1'-0"



8. BC HYDRO PAD MOUNTED TRANSFORMER
A-1002 SCALE: 1/4" = 1'-0"



6. SECURED BICYCLE ENCLOSURE DETAIL
A-1002 SCALE: 1/2" = 1'-0"



7. BICYCLE RACK DETAIL
A-1002 SCALE: 1/2" = 1'-0"

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604-2-893-2003 - T
604-2-893-2000 - F
jwhiten@jma.ca
www.jma.ca

DO NOT SCALE DRAWING

REV	DATE	DESCRIPTION	BY
15	2010-03-03	REVISED PER COMMENTS	JM
14	2010-03-03	REVISED PER COMMENTS	JM
13	2010-03-03	REVISED PER COMMENTS	JM
12	2010-03-03	REVISED PER COMMENTS	JM
11	2010-03-03	REVISED PER COMMENTS	JM
10	2010-03-03	REVISED PER COMMENTS	JM
9	2010-03-03	REVISED PER COMMENTS	JM
8	2010-03-03	REVISED PER COMMENTS	JM
7	2010-03-03	REVISED PER COMMENTS	JM
6	2010-03-03	REVISED PER COMMENTS	JM
5	2010-03-03	REVISED PER COMMENTS	JM
4	2010-03-03	REVISED PER COMMENTS	JM
3	2010-03-03	REVISED PER COMMENTS	JM
2	2010-03-03	REVISED PER COMMENTS	JM
1	2010-03-03	REVISED PER COMMENTS	JM

START DATE: MARCH 2010
PROJECT No: 2010-10
DR: JB
CH: JM
SCALE: AS SHOWN
Architects Seal

Project Name: **CASA DEL SOL**
10011 Glenview Avenue
RICHMOND, B.C.
Mr. Josh Miles
Title: A Planning Consultant
530 Granville Ave. RICHMOND

SITE DETAILS
Project No: 2010-10
Sheet: 6.0
100.3

DP-14-67203U
Plan #5

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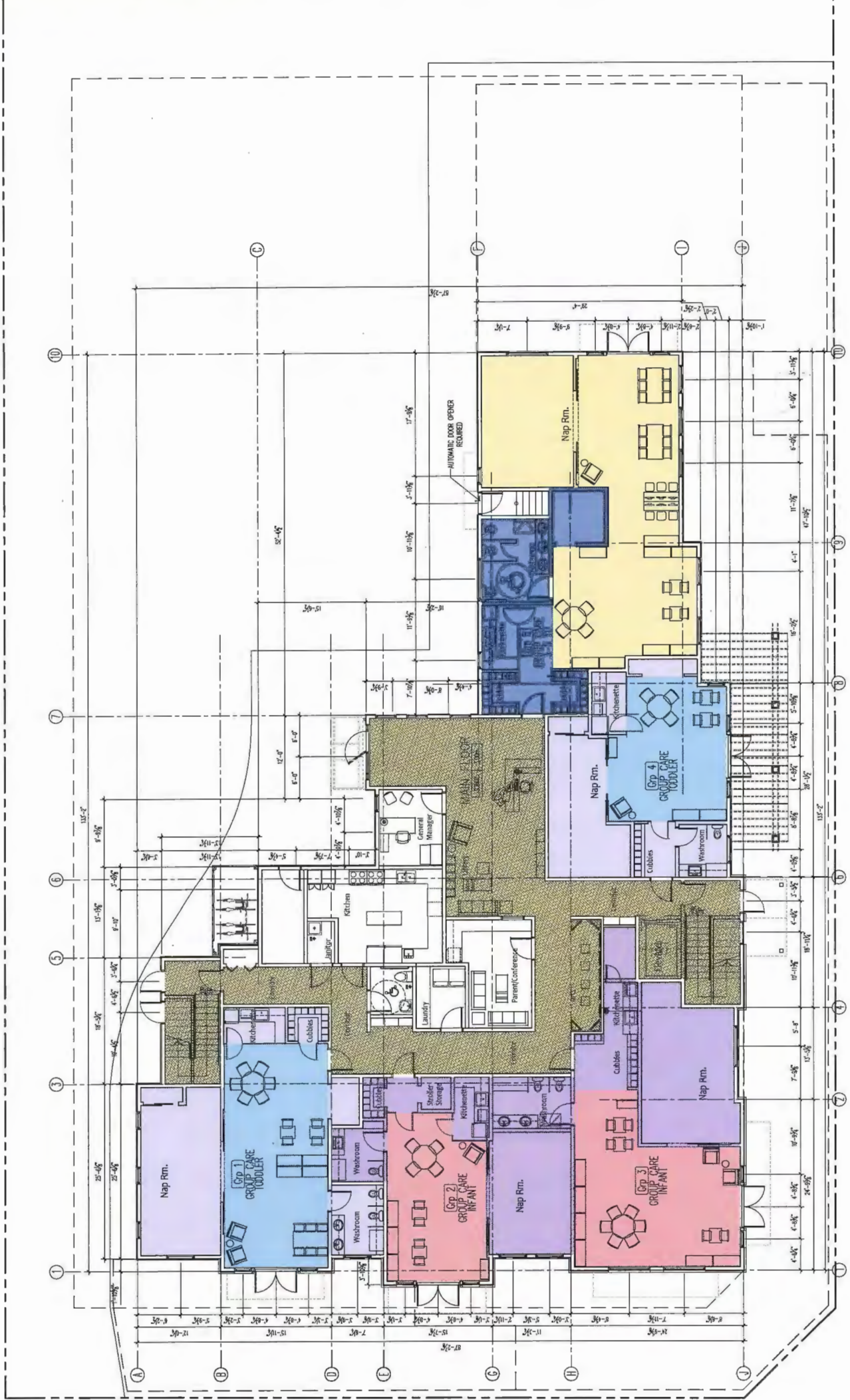
JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Joe M. Watson
 15243 8th Avenue
 Richmond, B.C. V6V 2G3
 604-275-2003

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ROOM	REQUIRED	PROVIDED
Group 1- Toddler (8):		
Usable area	318.50 SF (29.6m ²)	322.61 SF (29.97 m ²)
Nap room	187 SF (17.34m ²)	195 SF (18.12 m ²)
Outdoor play area	602.78 SF (56m ²)	889.51 SF (82.64 m ²)
Group 2 Infant (6):		
Usable area	318.50 SF (29.6m ²)	330 SF (30.66 m ²)
Nap room	187 SF (17.34m ²)	207.68 SF (19.29 m ²)
Outdoor play area	602.78 SF (56m ²)	607.15 SF (56.4 m ²)
Group 3 Infant (12):		
Usable area	477.74 SF (44.40m ²)	480.20 SF (46.54 m ²)
Nap room	279.86 SF (26m ²)	287.44 SF (26.70 m ²)
Outdoor play area	904.15 SF (84m ²)	918.16 SF (85.30 m ²)
Group 4 Toddler (12)		
Usable area	477.74 SF (44.40m ²)	485.89 SF (45.14 m ²)
Nap room	279.86 SF (26m ²)	280.38 SF (26.03 m ²)
Outdoor play area	904.15 SF (84m ²)	782.60 SF (72.71 m ²)
Group 5 3-5 YO (24):		
Usable area	955.49 SF (88.80m ²)	968.70 SF (90m ²)
Outdoor play area	388.34 SF (36m ²)	1894.50 SF (174.03 m ²)

Note: Infant outdoor play area is combined (total of 20 infants).
 Required: 1506.95 SF (140m²)
 Provided: 1527.59 SF (141.88m²)



REV	DATE	DESCRIPTION	BY
1	2016-07-22	ISSUE FOR PERMIT	JM
2	2016-07-22	ISSUE FOR PERMIT	JM
3	2016-07-22	ISSUE FOR PERMIT	JM
4	2016-07-22	ISSUE FOR PERMIT	JM
5	2016-07-22	ISSUE FOR PERMIT	JM
6	2016-07-22	ISSUE FOR PERMIT	JM
7	2016-07-22	ISSUE FOR PERMIT	JM
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12	2016-07-22	ISSUE FOR PERMIT	JM
13	2016-07-22	ISSUE FOR PERMIT	JM
14	2016-07-22	ISSUE FOR PERMIT	JM
15	2016-07-22	ISSUE FOR PERMIT	JM
16	2016-07-22	ISSUE FOR PERMIT	JM
17	2016-07-22	ISSUE FOR PERMIT	JM
18	2016-07-22	ISSUE FOR PERMIT	JM
19	2016-07-22	ISSUE FOR PERMIT	JM
20	2016-07-22	ISSUE FOR PERMIT	JM

MAIN FLOOR PLAN
 SCALE 1/8" = 1'-0"

START DATE: MARCH 2010
 PROJECT No: 2010-10
 DIR: EB
 CH: JM
 SCALE: AS SHOWN
 ARCHITECT: JM Architecture Inc.



Project Name:
BRAINTREE E.L.C.
 8009 Gamble Avenue
 RICHMOND, B.C.

Mr. Mark Miller
 Title: Project Consultant
 5340 Brantree Ave. RICHMOND

MAIN FLOOR PLAN

Project No. A-101.1
 4.0 2010-10

DP-14-672830

Plan # 6

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JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Joe M. Nelson
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 604 - 850 1004 - F

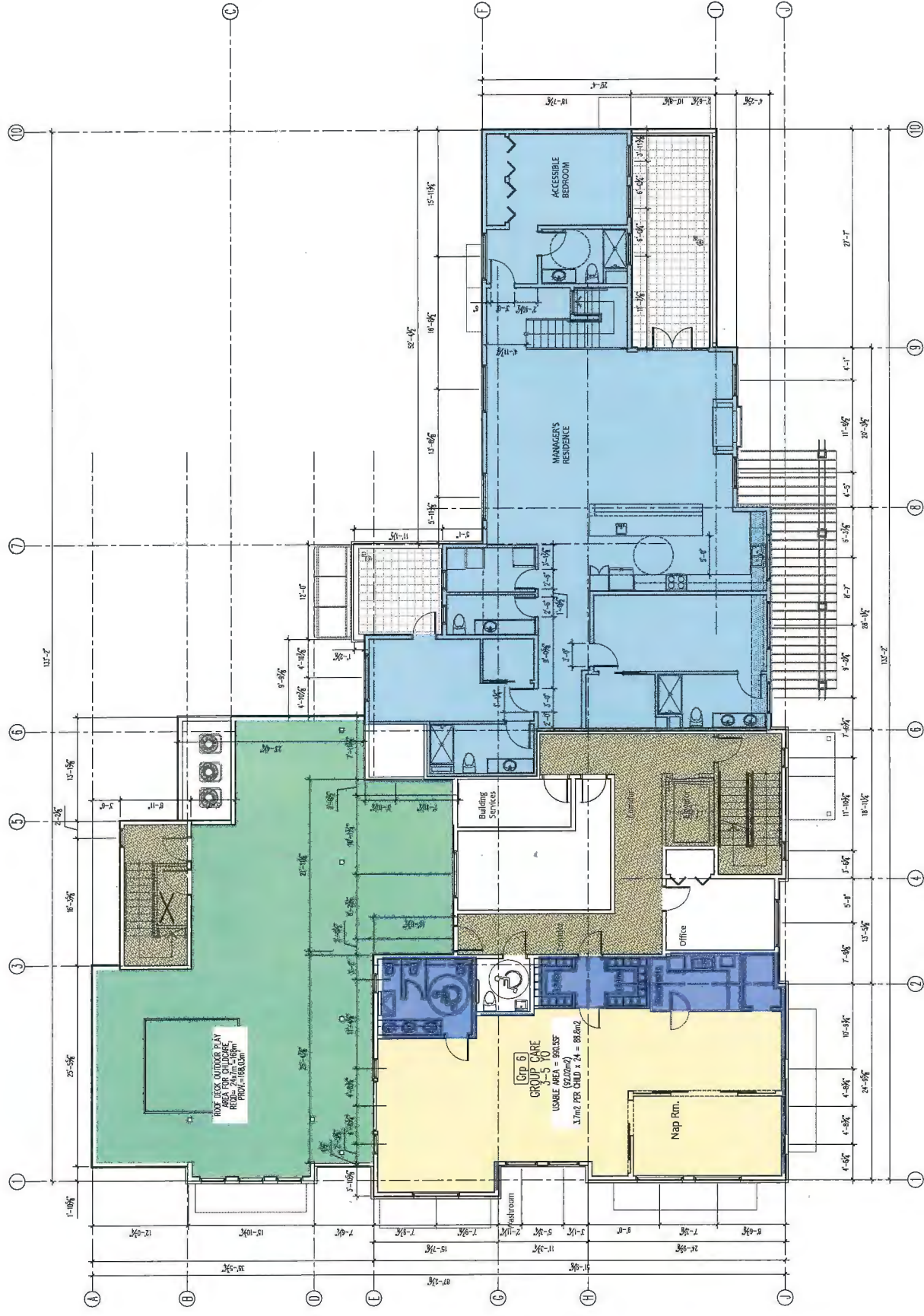
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Group 6 S-5 TO (24):

Usable area	1955.49 SF (88.80m ²)	1032.44 SF (94.84m ²)
Outdoor play area	1808.34 SF (168m ²)	1088.66 SF (100.03m ²)

AREAS:

CHILDCARE FACILITY	MANAGER'S RESIDENCE	OFFICE	GROUP CARE	ACCESSIBLE BEDROOM	OTHER
MAN FLOOR	1706.7	151.86	257.06	273.88	11.48
WOMEN FLOOR	957.20	10,004.67			
TOTAL	11163.06	12492.68			



2nd FLOOR PLAN
 SCALE 1/8" = 1'-0"

REV	DATE	DESCRIPTION	BY
01	2016-03-22	ISSUE FOR PERMITS	JM
02	2016-03-22	ISSUE FOR PERMITS	JM
03	2016-03-22	ISSUE FOR PERMITS	JM
04	2016-03-22	ISSUE FOR PERMITS	JM

START DATE: MARCH 2016
 PROJECT No: 2016-10
 DR: JB
 CH: JM
 SCALE: AS SHOWN

Project Name: BRAINTREE E.L.C.
 10018 Granville Avenue
 RICHMOND, B.C.

Mr. Joe Nelson
 Architect
 15243 - 81st Avenue
 Richmond, BC V6V 2G7

DP-14-672830

2ND FLOOR PLAN
 Project No. 2016-10
 A-101.2

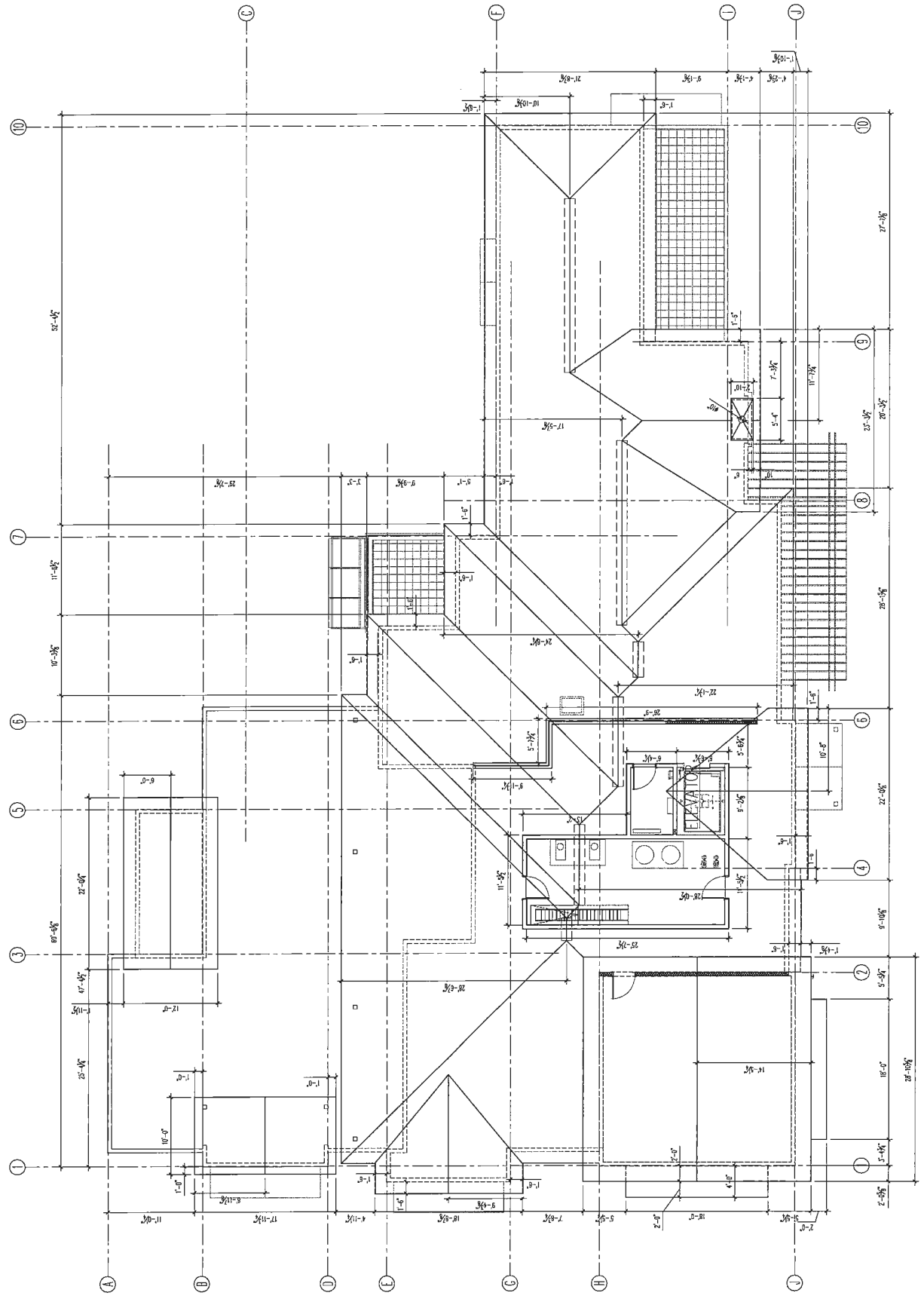
Plan # 7

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Architect: Joe M. Wilson
 Architect: Joe M. Wilson
 Building 4 - Main Floor
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 Richmond, BC V6V 2G3
 604-273-5833
 604-273-5833
 604-273-5833

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10	2010-03-23	REVISIONS	JM
09	2010-03-23	REVISIONS	JM
08	2010-03-23	REVISIONS	JM
07	2010-03-23	REVISIONS	JM
06	2010-03-23	REVISIONS	JM
05	2010-03-23	REVISIONS	JM
04	2010-03-23	REVISIONS	JM
03	2010-03-23	REVISIONS	JM
02	2010-03-23	REVISIONS	JM
01	2010-03-23	REVISIONS	JM

START DATE: MARCH 2010
 PROJECT No: 2010-10
 DIR: EB
 CH: JM
 SCALE: AS SHOWN
 Architects Seal

Project Name:
BRAINTREE E.L.C.
 1009 Granville Avenue
 RICHMOND, B.C.
 Mr. John Wilson
 1009 Granville Ave.
 Richmond, B.C.

ROOF PLAN

Project No. A-101.3
 2.0 2010-10

Plan # 2



ROOF PLAN
 SCALE 1/8" = 1'-0"

DP-14-672830

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JM Architecture Inc.
 architecture
 interior design
 planning

Architect: Joe M. Wilson
 Building 8 - Main Floor
 5313 - 91st Avenue
 504-7583-8023 • 1
 jmarch@shaw.ca • 1

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SOUTH ELEVATION (GRANVILLE AVENUE)
 SCALE 3/16" = 1'-0"



WEST ELEVATION (No. 4 ROAD)
 SCALE 3/16" = 1'-0"

MATERIAL/COLOUR SELECTION

BUILDING MATERIALS	FINISH	COLOUR
A ASPHALT SHINGLES	INTEGRAL	ROYAL ESTATE
B HARDBOARD SIDING	PAINTED	HARVEST SLATE
C HARDBOARD SIDING	PAINTED	GENERAL PAINT VIGILANTE CL. 1517N
D HARDBOARD SIDING	PAINTED	GENERAL PAINT PRAIRIE WHEAT CLC 1242D
E HARDBOARD SIDING - HORIZONTAL	INTEGRAL	IRON GRAY
F HARDBOARD SIDING - BOARD & BATTEN	INTEGRAL	IRON GRAY
G WOOD TRIM	PAINTED	IRON GREY & NAVADO BEIGE
H WOOD TRIM	PAINTED	GENERAL PAINT DEER FEATHER CLW 1477W
I TIMBER SLATS	PAINTED	GENERAL PAINT CL. 1517N
J METAL GUARDRAILS & FENCE	PAINTED	3- VIGILANTE CL. 1517N 4- PRAIRIE WHEAT CLC 1242D 5- TRACING PAPER CL. 2862W
K PRE FINISHED METAL AWNING	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
	INTEGRAL	IRON MOUNTAIN GREY

NOTE:
 FOR FENCING AND RELATED TO LANDSCAPE DETAILS REFER TO LANDSCAPE DRAWINGS.

REV	DATE	DESCRIPTION	BY
3.0	2019-02-14	ISSUED TO CITY FOR DP	FK
4.0	2019-06-19	ISSUED TO CITY FOR DP	FK
3.0	2019-06-19	ADD REVISION DOCUMENTS	FK
3.0	2019-08-01	ISSUED TO CLIENT	FK
1.0	2019-08-01	ISSUED TO CITY FOR DP	AP

START DATE	007-2019
PROJECT No	2019-19
DR.	AP / FK
CH.	JM
SCALE	A5 3/16"K
Architects Seal	

Project Name
EDAIN TUBE E.L.C.
 1009 GRANVILLE AVENUE
 RICHMOND, BC

Mr. Amin Alidina
 Triple A - Planning Consultants
 5346 Granville Avenue, Richmond BC

ELEVATIONS

Project No
 5.0
 2019-19

Project No
 A-103-1

Plan # 9

DP-14-672850

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 Architect: Joe M. Minon
 Building 5 - Main Floor
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 604 - 583 2083 - T
 jmin@shaw.ca - E

DO NOT SCALE DRAWING



NORTH ELEVATION
 SCALE 3/16" = 1'-0"



EAST ELEVATION
 SCALE 3/16" = 1'-0"

MATERIAL/COLOUR SELECTION		
BUILDING MATERIALS	FINISH	COLOUR
A ASPHALT SHINGLES	INTEGRAL	ROYAL ESTATE
B HARDDIESHINGLE SIDING	PAINTED	HARVEST SLATE
C HARDDIESHINGLE SIDING	PAINTED	GENERAL PAINT VOLUANTE CL. 1517N
D HARDDIESHINGLE SIDING	PAINTED	GENERAL PAINT PRAIRIE WHEAT CL. C 1242D
E HARDDIESHINGLE SIDING	PAINTED	GENERAL PAINT IRON GRAY
F HARDDIESHINGLE SIDING - HORIZONTAL	INTEGRAL	IRON GRAY
G HARDDIESHINGLE SIDING - BOARD & BATTEN	INTEGRAL	IRON GREY & NAVAJA BEIGE
H WOOD TRIM	PAINTED	GENERAL PAINT DEER FEATHER CL. W 1047W
I WOOD TRIM	PAINTED	GENERAL PAINT 1-COURTESAN CL. 1307N
J WOOD TRIM	PAINTED	GENERAL PAINT 2-VOLUANTE CL. 1517N
K WOOD TRIM	PAINTED	GENERAL PAINT 3-ROYAL ESTATE CL. 1242D
L WOOD TRIM	PAINTED	GENERAL PAINT 4-HONGRE CL. 2187N
M WOOD TRIM	PAINTED	GENERAL PAINT 5-TRACING PAPER CL. 2862W
N WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
O WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
P WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
Q WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
R WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
S WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
T WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
U WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
V WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
W WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
X WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
Y WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
Z WOOD TRIM	PAINTED	GENERAL PAINT TRACING PAPER CL. 2862W
REV	DATE	DESCRIPTION
BY		

NOTE:
 FOR FENCING AND RELATED LANDSCAPE DETAILS REFER TO LANDSCAPE DRAWINGS.

START DATE: OCT 2009
 PROJECT NO: 2004-0
 DR: A / FK
 CH: JM
 SCALE: AS SHOWN
 Architects Seal

Project Name
BDAIN IDEE E.L.C.
 1009 GRANVILLE AVENUE
 RICHMOND, BC
 Mr. Amin Alidina
 Triple A - Planning Consultants
 5310 Granville Avenue, Richmond BC

ELEVATIONS

Project No. A-103-2
 5.0
 2010-10

Plan # 10

DP-14-672830

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JM Architecture Inc.

architecture
interior design
planning
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 604 - 583-2023 - 1
 604 - 583-2023 - 1
 jmarch@shaw.ca - E

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REV	DATE	DESCRIPTION	BY
5.0	2015-07-24	ISSUED TO CITY FOR DP	JK
4.0	2015-06-12	ISSUED TO CITY FOR DP	JK
3.0	2015-06-04	ANY REVISED DOCUMENTS	JK
2.0	2015-05-04	ISSUED TO CLIENT	JK
1.0	2014-09-24	ISSUED TO CITY FOR DP	AP

START DATE: OCT 2009
 PROJECT No: 2009-09
 DR: AP / JK
 CH: JM
 SCALE: AS SHOWN
 Architects' Seal

Project Name
BRAIN IDLE E.L.C.
 1005 GRANVILLE AVENUE
 RICHMOND, BC

Mr. Amin Alidina
 Triple A - Planning Consultants
 5340 Granville Avenue, Richmond, BC

PERSPECTIVES

Project No. A-103-3
 5.0 2010-10

DP-14-672830

Plan # 11

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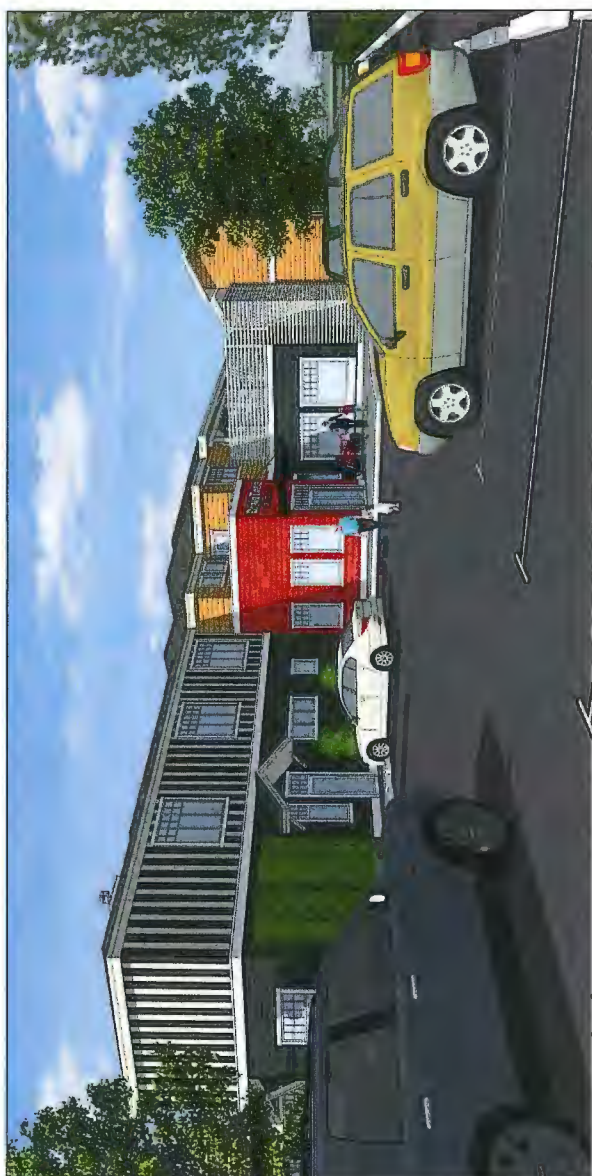
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JM Architecture Inc.

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interior design
planning

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604.273.2093
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REV	DATE	DESCRIPTION	BY
1.0	2019-07-01	ISSUED TO CITY FOR DP	JK
2.0	2019-07-01	ISSUED TO CITY FOR DP	JK
3.0	2019-07-01	AP7 REISED DOCUMENTS	JK
4.0	2019-07-01	ISSUED TO CLIENT	JK
5.0	2019-07-01	ISSUED TO CITY FOR DP	JK

START DATE: OCT 2019
PROJECT No: 2019-09
DR: AP / JK
CR: JK
SCALE: AS SHOWN
Architects Seal

Project Name
BDAIN IDIFF E.L.C.
1009 GRANVILLE AVENUE
RICHMOND, BC

Mr. Amin Alidina
Triple A - Planning Consultants
5340 Cremille Avenue, Richmond BC

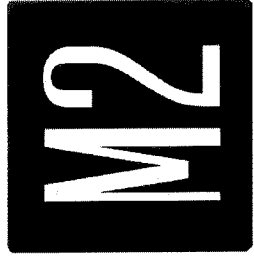
PERSPECTIVES

Scale	5.0	Project No.	2019-09	Sheet No.	A-103.4
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DP-14-672830

Plan #12

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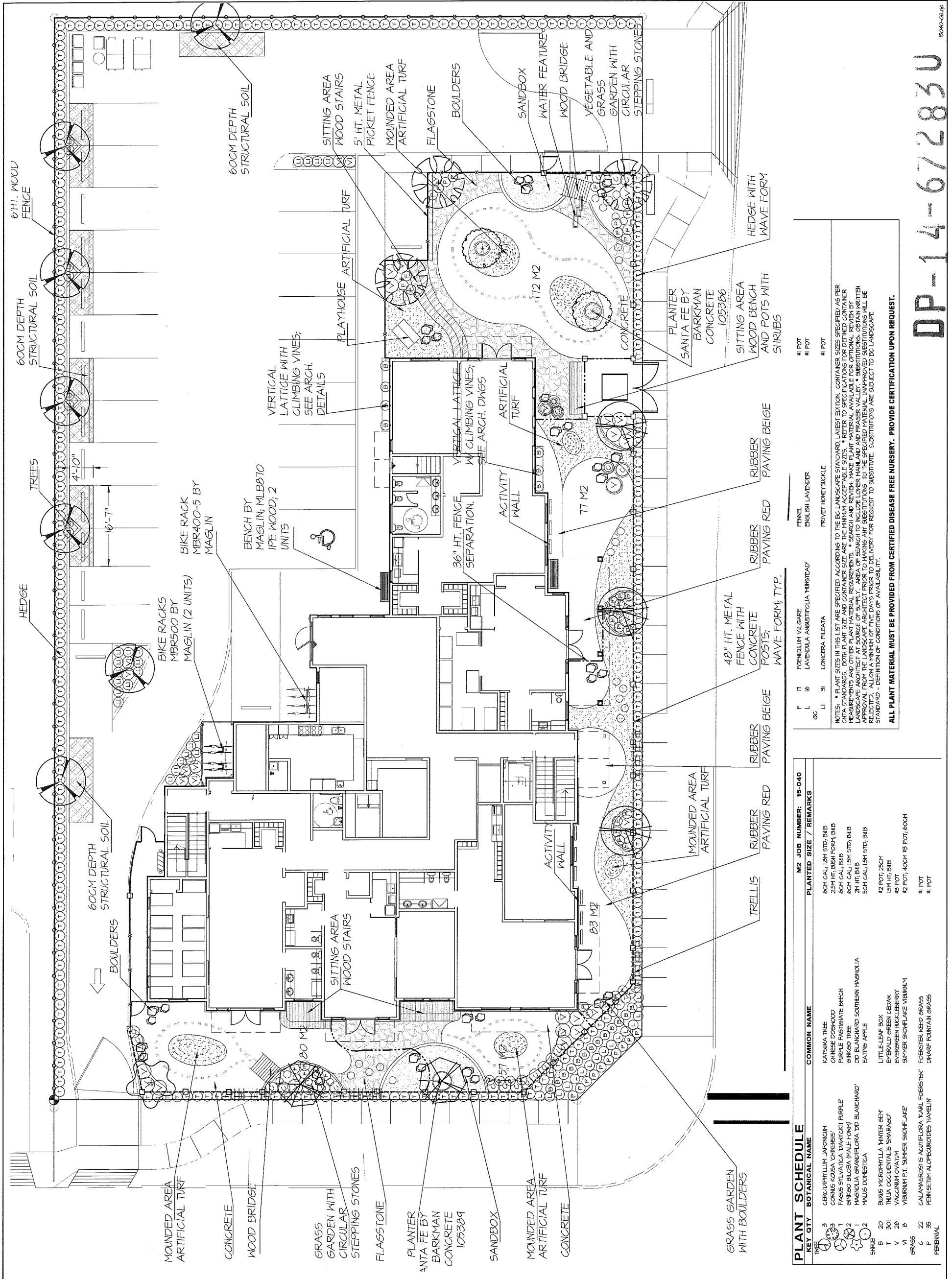


LANDSCAPE ARCHITECTURE
 #220 - 26 Lorne Mews
 New Westminster, British Columbia
 V3M 3L7
 Tel: 604.553.0044
 Fax: 604.553.0045
 Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1	12/07	ADP SUBMISSION	SKC
2	12/07	ISSUED FOR CP	SKC
3	12/07	REVISED AS PER CITY COMMENTS	SKC
4	12/07	REVISED AS PER ANSP ADJUSTMENT	SKC
5	12/07	REVISED AS PER CITY COMMENTS	SKC

PROJECT:
DAYCARE
 10009 GRANVILLE AVENUE
 RICHMOND, BC.

DRAWING TITLE:
**MAIN FLOOR
 LANDSCAPE PLAN**
 DATE: 05/04/21
 SCALE: 1/50
 DRAWN: SKC
 DESIGN: SKC
 CKD: MM
 DRAWING NUMBER:
L1
 M2LA PROJECT NUMBER:
DP-14-67283U
 OF 6
 JOB NO 15-040



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TRE	3	CERCIDIPHYLLUM JAPONICUM	KATSURKA TREE	6CM CAL, 12M STD, B4B
TRE	3	QUERCUS KOONSII 'CHINENSIS'	CHINESE DOGWOOD	23M HT, BSH FORM, B4B
TRE	1	FAGUS SYLVATICA 'DARTMOUTH PEARLE'	PEARLE FASTIGIATE BEECH	6CM CAL, B4B
TRE	2	GINSENG BILOBA (MALE FORM)	GINSENG TREE	6CM CAL, 15M STD, B4B
TRE	1	MAGNOLIA GRANDIFLORA 'DD BLANCHARD'	DD BLANCHARD SOUTHERN MAGNOLIA	21 HT, B4B
TRE	2	MALUS DOMESTICA	EATING APPLE	5CM CAL, 15M STD, B4B
SHRB	20	BUXUS MICROPHYLLA 'WINTER BEY'	LITTLE-LEAF BOX	#2 POT, 25CH
T	301	TRILIA OCCIDENTALIS 'SHARASO'	EMERALD GREEN CEDAR	15M HT, B4B
V	28	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#8 POT
V	6	VIBURNUM P.T. 'SNOWSNOFLAKE'	SUMMER SNOWFLAKE VIBURNUM	#2 POT, 40CH, 15 POT, 60CH
G	22	CALAMAGROSTIS AGASTIFLORA 'KARL FORSTNER'	FORSTNER REED GRASS	#1 POT
P	35	PENSTEMON ALPECUROIDES 'HAWELIN'	SNOWY FOUNTAIN GRASS	#1 POT
FERNAL				

NOTES: * PLANT SITES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

F	IT	LI	91	FOENICULUM VULGARIS	FENNEL	#1 POT
L	6			LAVENDULA ANGSTIFOLIA 'MINSTEAD'	ENGLISH LAVENDER	#1 POT
EC				LONGERA FILEATA	FRUIT MONETARDE	#1 POT

DP-14-67283U

Plan #13

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 Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
4	15 JUL 21	REVISED AS PER AREAS ADJUSTMENT	SKC
3	15 JUL 21	REVISED AS PER CITY COMMENTS	SKC
2	15 JUN 21	ISSUED FOR DP	SKC
1	15 JUN 21	ASP SUBMISSION	SKC
NC.			DR.

PROJECT:
DAYCARE
 10009 GRANVILLE AVENUE
 RICHMOND, B.C.

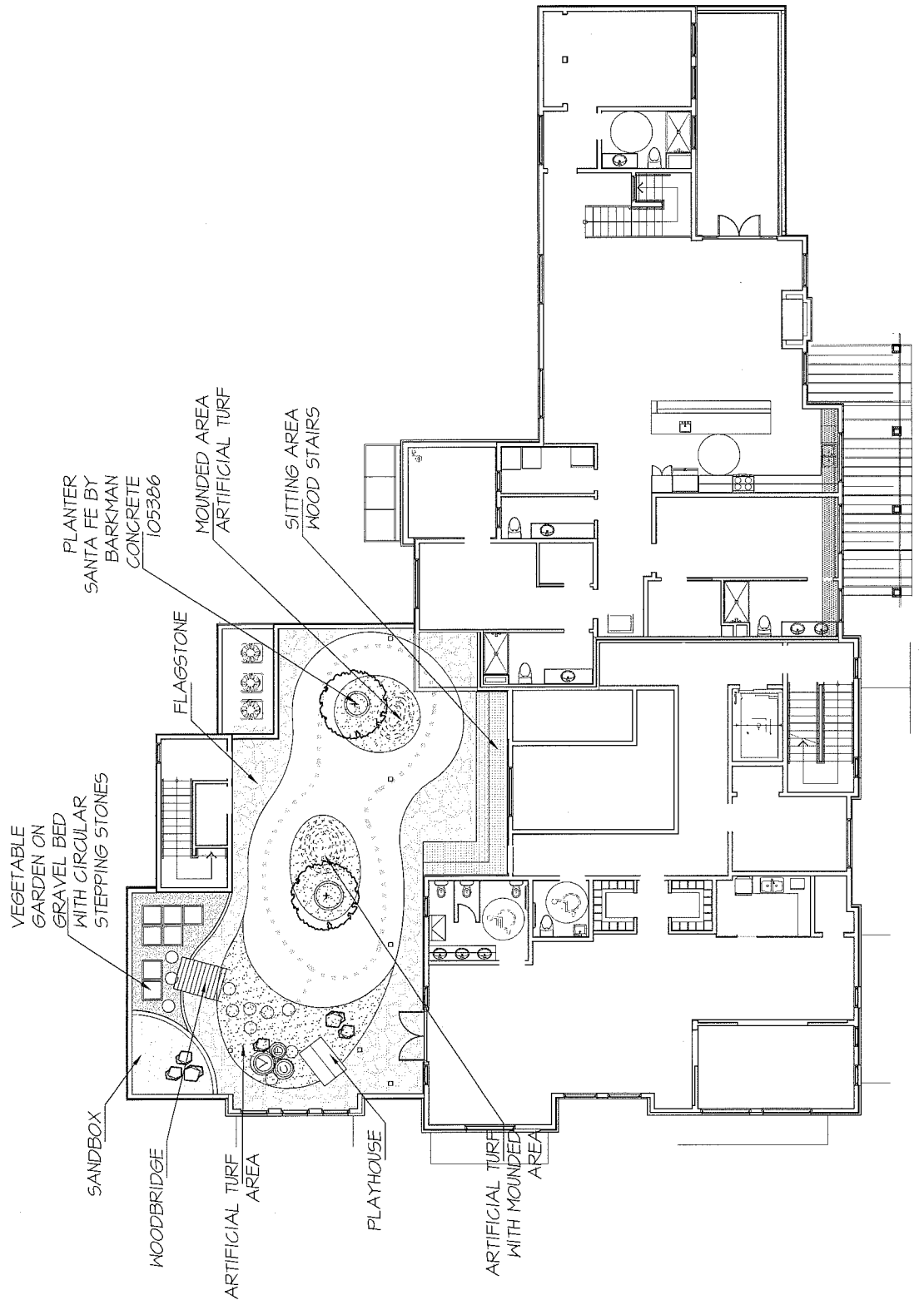
DRAWING TITLE:
**SECOND FLOOR
 PRELIMINARY DESIGN**

DATE:	15 JUL 21	DRAWING NUMBER:	
SCALE:	1/100		
DRAWN:	SKC		
DESIGN:	SKC		
CHKD:	PM		

M2LA PROJECT NUMBER: **15-040-024P**
 JOB NO **15-040**
 OF **6**

Plan # 14

DP-14-6/2850



PLANT SCHEDULE - 2nd FLOOR M2 JOB NUMBER: 15-040

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	MALUS DOMESTICA	EATING APPLE	5CM CAL; 15M STD; B4B
SHRUB	1	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT
GRASS	1	CALAMAGROSTIS ACUTIFLORA KARL FOENSTER	FOENSTER REED GRASS	#1 POT
PERENNIAL	1	FENICULUM VILGARE	FENNEL	#1 POT

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NO.	DATE	REVISION DESCRIPTION	DR.
4	18 JUL 21	REVISED AS PER AECOM ACQUISITION	SMC
3	18 JUL 20	REVISED AS PER CITY COMMENTS	SMC
2	18 JUN 20	ISSUED FOR CP	SMC
1	15 JUN 20	ACP SUBMISSION	SMC



CONCEPT
ARTIFICIAL TURF WITH MOUNDS



PANELS FOR ACTIVITY WALL
BY BLUE IMP



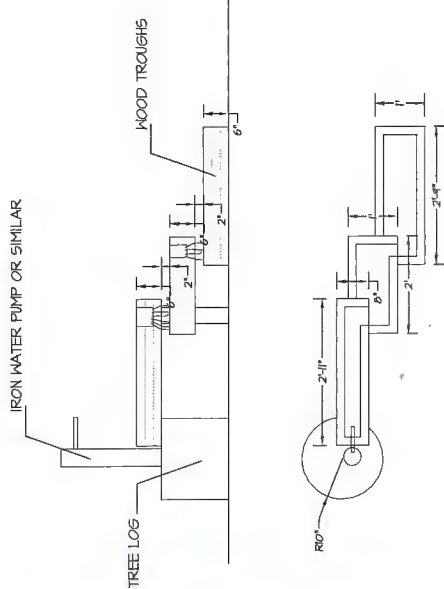
CONCEPT
WOOD STAIRS AMPHITHEATRE

CONCEPT
PAINTED BOULDERS

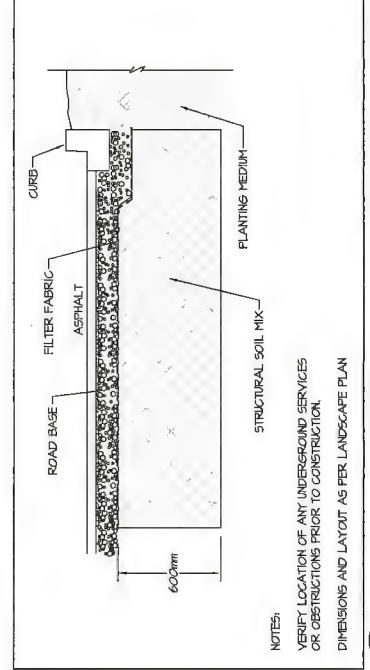
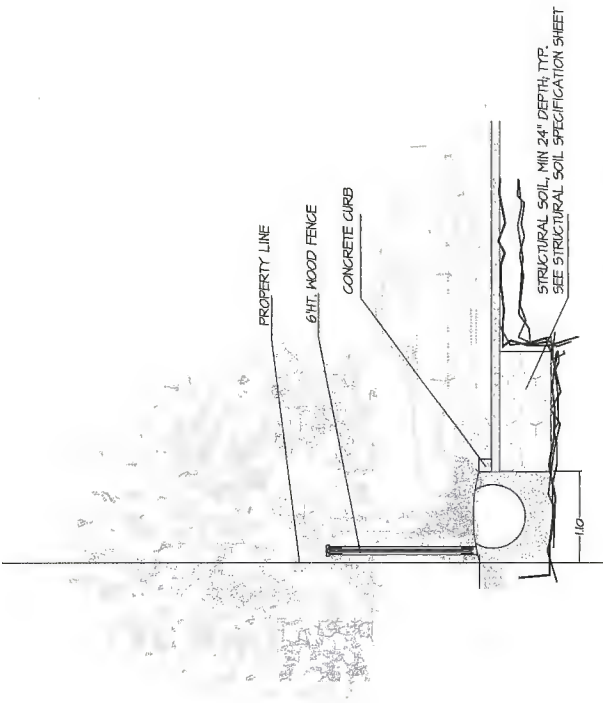


SANTA FE PLANTER
BARKMAN CONCRETE
1 X MODEL 1053094
4 X MODEL 105306

PLAYHOUSE
BY BIG TOYS

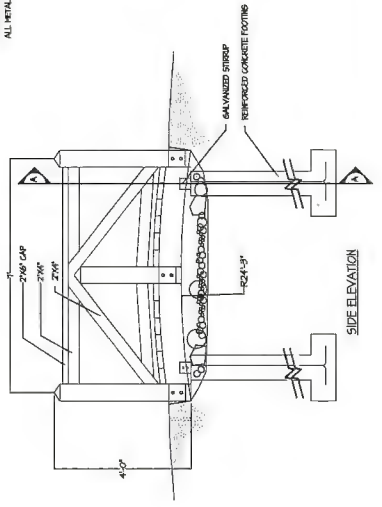
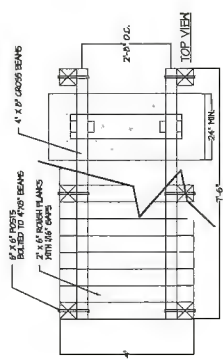


1 WEST WATER FEATURE
L3 CONCEPT DRAWING 1/50



NOTES:
 VERIFY LOCATION OF ANY UNDERGROUND SERVICES OR OBSTRUCTIONS PRIOR TO CONSTRUCTION.
 DIMENSIONS AND LAYOUT AS PER LANDSCAPE PLAN

2 SECTION THROUGH STRUCTURAL SOIL
L3 N.T.S.



3 PEDESTRIAN WOOD BRIDGE
L3 1/50

DP-14-672830
 15040-02-8P
 Plan #15

PROJECT:
 DAYCARE
 100019 GRANVILLE AVENUE
 RICHMOND, BC.

DRAWING TITLE:
 LANDSCAPE
 DETAILS 1

DATE: 15 MAY 21 DRAWING NUMBER:
 SCALE: - L3
 DRAWN: SMC
 DESIGN: SMC
 CHECKED: MM
 M2LA PROJECT NUMBER: JOB NO 15-040 OF 6

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 Fax: 604.553.0045
 Email: office@m2la.com

PROJECT:
DAYCARE
 10009 GRANVILLE AVENUE
 RICHMOND, B.C.

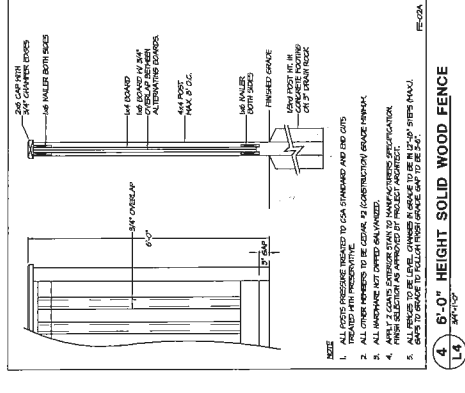
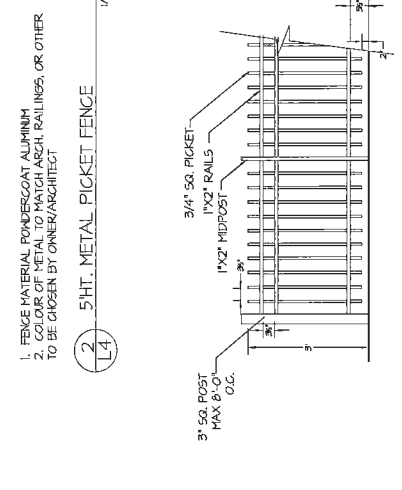
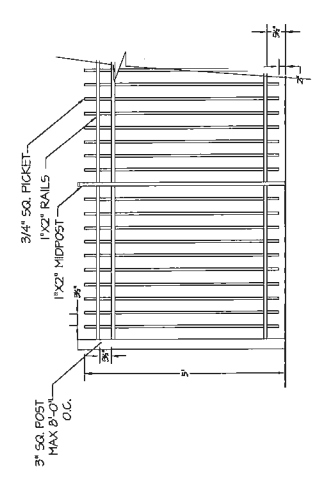
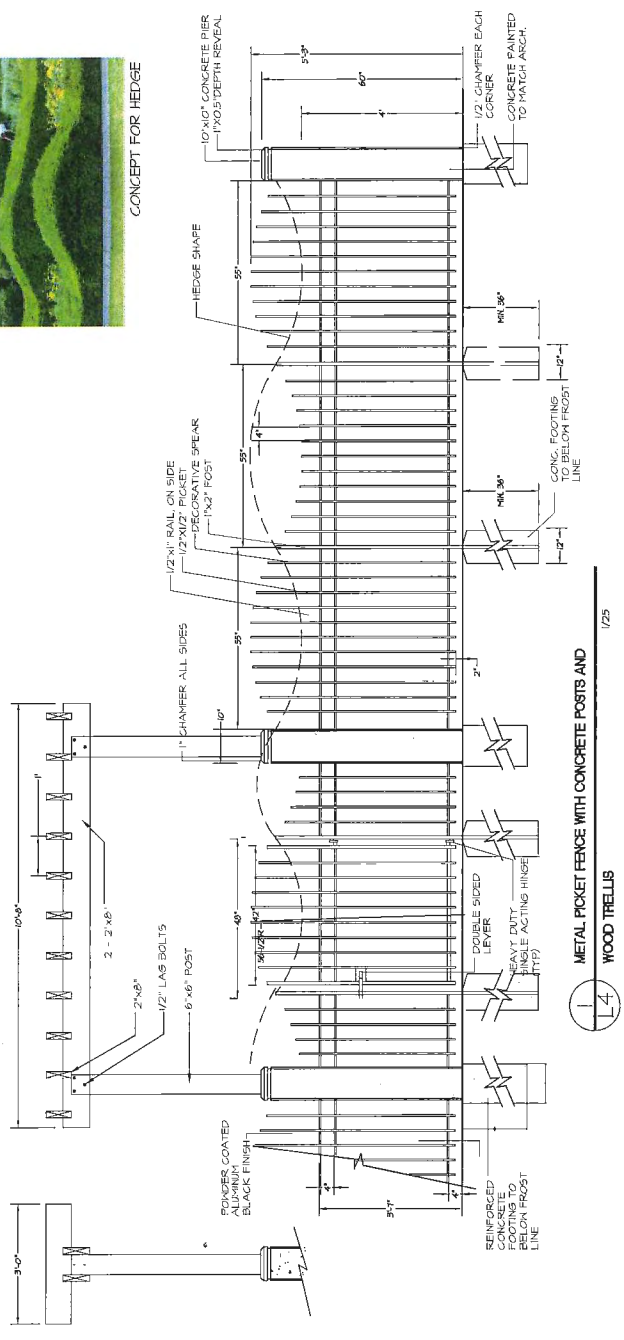
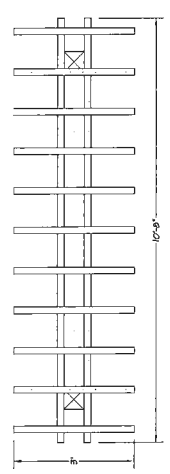
DRAWING TITLE:
**LANDSCAPE
 DETAILS 2: FENCES**

DATE:	15-MAY-21	DRAWING NUMBER:	
SCALE:	-		
DRAWN:	SKC		L4
DESIGN:	SKC		
CHK'D:	MM		
M2LA PROJECT NUMBER:			OF 6
			JOB NO 15-040

15CA0-05-#B

Plan #16

- NOTES:**
1. ALL WOOD PRESURE TREATED TO CSA STANDARDS.
 2. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED.
 3. APPLY TWO COATS OF STAIN TO MATCH THE COLOUR OF THE BUILDING (TO BE APPROVED BY LANDSCAPE ARCHITECT OR ARCHITECT).
 4. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE.



NO.	DATE	REVISION DESCRIPTION	DR.
1	15-JUN-21	ISSUED FOR DP	SKC
2	15-JUN-21	ADP SUBMISSION	SKC
3	15-JUL-21	REVISED AS PER CITY COMMENTS	SKC
4	15-JUL-21	REVISED AS PER AREA ADJUSTMENT	SKC
5	15-JUL-21	REVISED AS PER CITY COMMENTS	SKC

DP-14-67283U



M2
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PART THREE - EXECUTION (cont)	
316. WEEDS	<p>1. Do not OVER MIX OVERHANDING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material.</p> <p>2. All mixing shall be performed on a flat hard level surface approved by the consultant, using the appropriate soil mixing equipment.</p> <p>3. Prepare sample Structural Soil Tests to determine erode of the components. Submit samples with test results for approval.</p>
317. PLACEMENT	<p>1. Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.</p> <p>2. Structural soil shall be mixed, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structure, irrigation equipment, concrete structures or pavement.</p> <p>3. Place Stone mixture in 300mm lifts through entire area of structural soil mixture.</p> <p>4. Compact each lift of structural soil mixture with vibrating drum roller to the satisfaction of the civil engineer.</p> <p>5. Provide Geotechnical Report to confirm composition. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil mixture. Refer to Quality Assurance section 15</p> <p>6. Provide a uniform firm and level surface allowing for specified depths of road base and/or growing medium to meet finished design grade.</p> <p>7. Installation of structural soil in the location of the tree is not recommended. Various techniques such as mechanical wood boxes, sheet piling, large diameter PVC pipe, etc have been employed to allow for soil to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the soil is removed and growing medium for per Section 214 added to surround the root ball.</p>
318. INSTALLATION OF FILTER FABRIC	<p>1. After approval of structural soil mixture composition, install Filter Fabric.</p> <p>2. Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.</p>
319. GRANULAR BASE MATERIAL	<p>1. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.</p> <p>2. All areas shall be graded to the contours and elevations indicated on the contract drawings. Ensure positive drainage.</p>
320. PROTECTION	<p>1. Prevent existing conditions from damage or staining and make good any damage.</p> <p>2. All areas shall be repaired at the expense of the installation contractor.</p>
321. TREE PLANTING	<p>1. Remove structural soil or other backfill material based, see comments in section 317 from the full dimensions of the tree grade area (1.2m x 1.2m x depth of root ball).</p> <p>2. Re-compact all material below root ball to original specified density to prevent settling of the root ball in the hole.</p> <p>3. Ensure trees are planted in the exact centre of the specified planting station (straight and true).</p> <p>4. Install tree in accordance with BCSA Landscape Standard. Cut away synthetic root ball tubes, cut back improperly staked wire baskets, pull back bridge from around trunk etc.</p> <p>5. Backfill with Growing Medium as per Section 21. Ensure the same growing medium used in the structural soil mix is installed as backfill material.</p> <p>6. Place 50mm depth compacted gravel base mulch over the top of the open tree pit area.</p>
322. TREE GRATES	<p>1. Site Furniture and to contract drawings for tree grates, frames and footings.</p>
323. ACCEPTANCE	<p>1. Consultant shall inspect structural soil to "place" and determine acceptance of material, and finish grading prior to paving.</p> <p>2. Finish grade shall be to within 5mm of proposed grades within 15m of any adjacent final elevation and to within 5mm of proposed grades over any other 30 length. Finish grades shall not be within 15m of any adjacent final elevation and to within 5mm of proposed grades over any other 30 length.</p>
324. SUPPLIES MATERIALS	<p>1. Remove all excess fill soils and its stock, pile and dispose of all waste materials, trash and debris from the site.</p> <p>2. Clean up any soil or dirt spilled on any paved surface at the end of each working day.</p> <p>3. Upon completion of this structural soil mixture installation. Leave area brown-green. Avoid washing the area until all of the paving has been completed.</p>

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318. INSTALLATION OF FILTER FABRIC	<p>1. After approval of structural soil mixture composition, install Filter Fabric.</p> <p>2. Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.</p>
319. GRANULAR BASE MATERIAL	<p>1. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.</p> <p>2. All areas shall be graded to the contours and elevations indicated on the contract drawings. Ensure positive drainage.</p>
320. PROTECTION	<p>1. Prevent existing conditions from damage or staining and make good any damage.</p> <p>2. All areas shall be repaired at the expense of the installation contractor.</p>
321. TREE PLANTING	<p>1. Remove structural soil or other backfill material based, see comments in section 317 from the full dimensions of the tree grade area (1.2m x 1.2m x depth of root ball).</p> <p>2. Re-compact all material below root ball to original specified density to prevent settling of the root ball in the hole.</p> <p>3. Ensure trees are planted in the exact centre of the specified planting station (straight and true).</p> <p>4. Install tree in accordance with BCSA Landscape Standard. Cut away synthetic root ball tubes, cut back improperly staked wire baskets, pull back bridge from around trunk etc.</p> <p>5. Backfill with Growing Medium as per Section 21. Ensure the same growing medium used in the structural soil mix is installed as backfill material.</p> <p>6. Place 50mm depth compacted gravel base mulch over the top of the open tree pit area.</p>
322. TREE GRATES	<p>1. Site Furniture and to contract drawings for tree grates, frames and footings.</p>
323. ACCEPTANCE	<p>1. Consultant shall inspect structural soil to "place" and determine acceptance of material, and finish grading prior to paving.</p> <p>2. Finish grade shall be to within 5mm of proposed grades within 15m of any adjacent final elevation and to within 5mm of proposed grades over any other 30 length. Finish grades shall not be within 15m of any adjacent final elevation and to within 5mm of proposed grades over any other 30 length.</p>
324. SUPPLIES MATERIALS	<p>1. Remove all excess fill soils and its stock, pile and dispose of all waste materials, trash and debris from the site.</p> <p>2. Clean up any soil or dirt spilled on any paved surface at the end of each working day.</p> <p>3. Upon completion of this structural soil mixture installation. Leave area brown-green. Avoid washing the area until all of the paving has been completed.</p>

Plan #18

DP-14-672830

NZLA PROJECT NUMBER: JOB NO 15-040 OF-6

STRUCTURAL SOIL SPECIFICATIONS

DATE:	05/MAY/21
SCALE:	1/200
DRAWN:	SKC
DESIGN:	SKC
CHKD:	MY
DRAWING NUMBER:	L6

DAYCARE
 10009 GRANVILLE AVENUE
 RICHMOND, B.C.

PROJECT:

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