



Development Permit Panel

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, August 25, 2021
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on August 11, 2021.*



1. DEVELOPMENT PERMIT 18-829233
(REDMS No. 6710093 v. 1A)

APPLICANT: 1085948 BC Ltd.

PROPERTY LOCATION: 10671, 10691, and 10751 Bridgeport Road

Director's Recommendations

That a Development Permit be issued which would:

- 1. permit the construction of 24 townhouses at 10671, 10691, and 10751 Bridgeport Road on a site zoned "Low Density Townhouses (RTL4)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum front yard along Bridgeport Road from 6.0 m to 5.2 m.*



2. DEVELOPMENT PERMIT 19-862430
(REDMS No. 6561344 v. 3)

APPLICANT: CSC Interior Services

PROPERTY LOCATION: 8011 Leslie Road

ITEM

Director's Recommendations

That a Development Permit be issued which would:

1. *permit renovations to the existing building at 8011 Leslie Road on a site zoned "Auto Oriented Commercial (CA);" and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum side yard setback from 3.0 m to 0 m;*
 - (b) *permit two small vehicle parking spaces;*
 - (c) *reduce the required medium on-site loading spaces from 1 to 0;*
 - (d) *reduce the minimum setback between parking spaces and side lot lines from 1.5 m to 0.8 m; and*
 - (e) *reduce the minimum setback between parking spaces and the rear lot line from 1.5 m to 0 m.*



3. **DEVELOPMENT PERMIT 19-878817**

(REDMS No. 6723324 v. 4)

APPLICANT: 1176782 BC Ltd.

PROPERTY LOCATION: 8100, 8120 & 8180 Westminster Highway

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of a high-rise mixed use development containing approximately 880.6 m² (9,475 ft²) of commercial space and 130 dwellings (including 16 affordable housing units) at 8100, 8120 & 8180 Westminister Highway on a site zoned "Downtown Commercial (CDT1)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the front yard setback to Westminister Hwy. from 3.0 m to 0.0 m (10 ft to 0 ft) inclusive of buildings and canopies; and*
 - (b) *apply the City Centre parking rate to the subject site.*



ITEM

4. **DEVELOPMENT VARIANCE 21-934707**

(REDMS No. 6705767 v. 2A)

APPLICANT: Maybog Farms Ltd.

PROPERTY LOCATION: PID 013-082-434

Director's Recommendations

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor at or below the natural grade of the site from 750 m² to 2,842 m² to permit the construction of a cranberry processing facility at PID 013-082-434 on a site zoned "Agriculture (AG1)".



5. **New Business**

6. **Date of Next Meeting: September 15, 2021**

ADJOURNMENT



**Development Permit Panel
Wednesday, August 11, 2021**

Time: 3:30 p.m.
Place: Remote (Zoom) Meeting
Present: Cecilia Achiam, General Manager, Community Safety, Chair
Milton Chan, Director, Engineering
James Cooper, Director, Building Approvals

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on July 28, 2021 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 17-768135
(REDMS No. 6697340)**

APPLICANT: 1244013 BC Ltd. (Khalid Hasan)

PROPERTY LOCATION: 4226 Williams Road

INTENT OF PERMIT:

Permit the construction of two duplexes at 4226 Williams Road on a site zoned “Arterial Road Two-Unit Dwellings (RDA)”.

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Applicant's Comments

Bradley Doré, Brad Doré Residential Design, with the aid of a visual presentation (copy on file, City Clerk's office), provided background information on the proposed development, highlighting the following:

- a shared internal drive aisle is located in the middle of the two duplex buildings;
- the form and character of the duplexes fits well with the predominantly single-family neighbourhood;
- the massing between the front and rear units of each duplex building has been minimized to enhance sunlight access to adjacent properties;
- the two rear units are convertible units and the two front units are provided with aging-in-place features;
- the shadow study indicates that adjacent properties will not be impacted by shadowing;
- all duplex units will be provided with either a front or rear yard; and
- a significant amount of permeable pavers is proposed for the subject development.

Staff Comments

Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for frontage works along Williams Road, (ii) the project is required to achieve Step 3 of BC Energy Step Code, and (iii) one visitor parking stall is proposed for shared use of all duplex units.

In reply to queries from the Panel, Mr. Craig acknowledged that (i) on-site tree retention and removal were determined at rezoning, (ii) there are landing areas for garbage and recycling pick up in the front of the property, and (iii) the waste bins will be stored in the garages of duplex units during non-collection days.

Panel Discussion

In reply to queries from the Panel, Mr. Doré noted that (i) permeable pavers and concrete curb are proposed for the drive aisle, (ii) permeable pavers will also be installed on the auto court, visitor parking stall and along the west and east side yards of the subject site, (iii) soffit lighting is not proposed on the east and west elevations of the duplex buildings to avoid light pollution on adjacent properties, and (iv) the side yards on either side of the subject site are not accessible to the public.

Discussion then ensued regarding potential schemes to break up the massing along the west façade of the west duplex building including introducing different colour tones and slightly pushing the garage inward into the auto court.

As a result of the discussion, staff was directed to work with the applicant to provide articulation to the west façade of the duplex building either through architectural detailing and/or introducing different colour schemes and materials.

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Gallery Comments

None.

Correspondence

None.

Panel Discussion

The Panel expressed support for the project, noting that its proposed architecture provides a good example for future duplex developments in the City.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of two duplexes at 4226 Williams Road on a site zoned "Arterial Road Two-Unit Dwellings (RDA)".

CARRIED

2. DEVELOPMENT VARIANCE PERMIT DV 19-873160
(REDMS No. 6547553)

APPLICANT: Open Road Auto Group Ltd.

PROPERTY LOCATION: 13251 Smallwood Place

INTENT OF PERMIT:

Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the required minimum setback from the west property line from 3.0 m to 0.96 m. This would permit the retention of an existing detached car wash building at 13251 Smallwood Place on a site zoned "Vehicle Sales (CV)".

Applicant's Comments

Aziz Bootwala, Kasian Architecture, with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development variance permit application, noting that the approved zoning text amendment and development permit application associated with the ongoing construction of a new dealership on the adjacent property to the west (13171 Smallwood Place) of the subject site (13251 Smallwood Place) required a lot line adjustment.

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Mr. Bootwala added that as a result of the new shared lot line for the two adjacent properties, part of the existing car wash building on the subject site would encroach on the required three-meter side yard setback from the west property line, therefore the applicant is requesting a setback variance in order to retain the existing car wash building.

Staff Comments

Mr. Craig noted that prior to forwarding the subject development variance permit application for Council consideration, the applicant is required to confirm that the existing exterior wall on the west side of the car wash building will meet all applicable BC Building Code requirements in fire separation.

Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the required minimum setback from the west property line from 3.0 m to 0.96 m. This would permit the retention of an existing detached car wash building at 13251 Smallwood Place on a site zoned "Vehicle Sales (CV)".

CARRIED

3. DEVELOPMENT PERMIT 19-881156
(REDMS No. 6706400)

APPLICANT: Minoru View Homes Ltd.

PROPERTY LOCATION: 5740, 5760, and 5800 Minoru Boulevard

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INTENT OF PERMIT:

1. Permit the construction of high-rise mixed use development, comprising an office tower, ground floor retail, non-profit social service replacement space, and 429 dwellings including 88 low-end-of-market-rental (LEMR) units at 5740, 5760, and 5800 Minoru Boulevard, on a site zoned “High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 10138, to reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.

Applicant’s Comments

Gwen Vose and Tony Wai, IBI Group Architects, with the aid of a visual presentation (copy on file, City Clerk’s office), provided background information on the proposed development, including among others, its site context, parking plan, entries to towers, indoor and outdoor amenity spaces, building elevations, floor and roof plans, façade treatments, proposed exterior building materials, and signage plan, highlighting the following:

- the proposed development consists of four towers on a podium and four midrise elements;
- entrances to the towers have been designed to provide interest;
- the combined habitable unit area for the proposed 88 affordable housing rental units is 20 percent of the project’s total residential area, which is higher than the 10 percent minimum requirement for affordable housing;
- market strata and affordable housing residents will have access to the common outdoor amenity areas on Level 3 podium rooftop;
- an indoor amenity space is provided for shared use of market strata and affordable housing residents as well as separate indoor amenity spaces dedicated for the exclusive use of each group of residents;
- the exposed podium wall along the south side will be articulated to provide visual interest; and
- mechanical screening will be installed on the southeast residential tower rooftop for the low-carbon energy plant equipment.

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Peter Kreuk, Durante Kreuk Ltd. Landscape Architecture, provided an overview of the main landscape features of the project, noting that (i) street frontages include bicycle lanes, boulevards, street trees and sidewalks, (ii) a new linear park will be installed for the Lansdowne Road frontage, (iii) the common outdoor amenity area on Level 3 podium rooftop is accessible from the indoor amenity spaces and has multiple uses, including social and recreational, and (iv) plantings, extensive green roofs and outdoor amenity spaces are proposed to be installed on some upper levels of the building.

In reply to queries from the Panel, the applicant's design team noted that (i) the affordable housing units consist of 43 percent studio and one-bedroom units and 57 percent two to three-bedroom units, (ii) commercial tenants will be involved in the design of exterior business signage, (iii) the existing lane on the east side will become a new street and is treated as a street frontage, (iv) the south and north children's outdoor play areas on Level 3 have been designed for younger and older children, respectively, (v) irrigation will be provided for street trees and in all planted areas on-site, (vi) the applicant will provide voluntary cash-in-lieu contribution to the Public Art Program Reserve, (vii) an art structure at the corner of Lansdowne Road and the new street will provide an opportunity for temporary displays of public art, (viii) there will be no on-street loading area along the new street, and (ix) the project meets the City's Zoning Bylaw parking requirements.

In reply to a further query from the Panel, Mr. Kreuk reviewed the scheme to separate the private patios of townhouse units along Minoru Boulevard from the public realm which includes installation of raised patios, retaining walls, hedges, guardrails, stairs and entry gates.

Discussion ensued regarding the limited articulation on the top floors of the residential towers and whether further improvement to differentiate them from the lower floors was possible given the limited variation of materials for soffits on the uppermost balconies.

As a result of the discussion, staff was directed to work with the applicant to investigate opportunities for further articulating the top floors of the three residential towers.

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Staff Comments

Mr. Craig noted that (i) there is a substantial Servicing Agreement associated with the project for frontage improvements along the three roads as well as for the construction of the new linear park along Lansdowne Road, (ii) the stand-alone affordable housing building was approved through the rezoning process and is consistent with the City's Affordable Housing Strategy, (iii) a non-profit operator based on-site will manage the affordable housing building, (v) extensive green roofs will be installed on several levels, (vi) non-profit social service replacement space will be provided for two former non-profit tenants on the subject site, (vii) the two non-profits will be granted the first right of refusal for the replacement space and there will be legal agreements to limit rents to 50 percent of market rates, (viii) the office tower will be subject to a legal agreement limiting the subdivision of the office space to a maximum of one strata lot or air space parcel per storey, (ix) there is a significant package of Transportation Demand Management (TDM) measures associated with the project, and (x) the project has been designed to achieve the City's aircraft noise sensitive development requirements and the Canada Mortgage and Housing Corporation (CMHC) internal noise standards.

Gallery Comments

None.

Correspondence

None.

Panel Discussion

The Panel expressed support for the project, noting that the project is consistent with the City's Affordable Housing Strategy. In addition, the Panel expressed appreciation for the provision of replacement space for two non-profit agencies.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a:

1. *high-rise mixed use development, comprising an office tower, ground floor retail, non-profit social service replacement space, and 429 dwellings including 88 low-end-of-market-rental (LEMR) units at 5740, 5760, and 5800 Minoru Boulevard, on a site zoned “High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)”;* and
2. *vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 10138, to reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.*

CARRIED

4. **Date of Next Meeting: August 25, 2021**

5. **Adjournment**

It was moved and seconded

That the meeting be adjourned at 4:33 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, August 11, 2021.

Cecilia Achiam
Chair

Rustico Agawin
Committee Clerk



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 26, 2021

From: Wayne Craig
Director of Development

File: DP 18-829233

Re: **Application by 1085948 BC Ltd for a Development Permit at 10671, 10691, and 10751 Bridgeport Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 24 townhouses at 10671, 10691, and 10751 Bridgeport Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum front yard along Bridgeport Road from 6.0 m to 5.2 m.

Wayne Craig
Director of Development

WC:cl
Att.

Staff Report

Origin

1085948 BC Ltd (Director: Mr. Xin Bo Mao), has applied to the City of Richmond for permission to develop 24 townhouses at 10671, 10691, and 10751 Bridgeport Road on a site zoned “Low Density Townhouses (RTL4)”, with right-in/right-out vehicle access from Bridgeport Road (Attachment 1). The site is currently vacant.

The site is being rezoned from the “Single Detached (RS1/D)” zone to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 9935 (RZ 17-771592). The Bylaw was given Third Reading at the Public Hearing held December 17, 2018, and the Applicant is working to complete all of the Rezoning considerations.

A Servicing Agreement (SA) is required as a condition of rezoning bylaw adoption and includes, but is not limited to, design and construction of the following improvements (SA 19-875791):

- Water, storm, and sanitary service connections, water meter and fire hydrant installation;
- Storm and sanitary sewer system upgrades along portions of McKessock Avenue and Bridgeport Road; and
- Road upgrades to accommodate the raised barrier curb island to restrict vehicle access to right-in/right-out movements, as well as construction of a new treed/grass boulevard at the curb and concrete sidewalk at the new property line after road dedication, with transition to the existing sidewalk to the east and west of the subject site.

Development Information

Please refer to attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 2).

Background

The subject site is located on the north side of Bridgeport Road, between McKessock Avenue and Shell Road. Existing development immediately surrounding the subject site is as follows:

- To the north are the rear portions of lots zoned “Single Detached (RS1/D)” that front McKessock Avenue and Shell Road, which are the subject of an active rezoning application to the “Single Detached (RS2/B)” zone and the “Low Density Townhouses (RTL4)” zone that is currently under staff review (RZ 20-916003 at 2408 McKessock Avenue, 2751, and 2755 Shell Road);
- To the south, across Bridgeport Road, is a lot zoned “Town Housing (ZT17) – Bridgeport Road (Bridgeport Area)” at 3088 Airey Drive, containing two-storey townhouses. In addition, there are three lots zoned “Single Detached (RS1/F)” at 10760, 10780 Bridgeport Road and 3033 Shell Road, which are the subject of active rezoning and Development Permit (DP) applications to permit townhouses on a lot to be zoned “Medium Density Townhouses (RTM3)” (RZ 16-754158/DP 18-828900). The proposed rezoning bylaw received Third Reading at the Public Hearing held on September 4, 2018, and the DP application was endorsed by the Development Permit Panel on April 14, 2021;

- To the east are two lots zoned “Single Detached (RS1/D)” at 10811 and 10891 Bridgeport Road; and
- To the west is one lot zoned “Single Detached (RS1/D)” at 10651 Bridgeport Road.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the DP stage:

- Refinement of the pattern and use of non-porous surface materials to enhance on-site permeability and strengthen on-site pedestrian circulation and future public pedestrian connectivity;
- Refinement of the proposed fencing/screening on-site;
- Demonstrating that all of the relevant accessibility features are incorporated into the design of the proposed Convertible Units, and that aging-in-place features will be incorporated into all units;
- Consideration of alternate locations for some of the proposed replacement trees to ensure no conflict with the vehicle drive-aisle in close proximity to the site’s entry;
- Exploring additional design development to provide adequate building massing articulation along Bridgeport Road;
- Review of the proposed colour palette and exterior building materials;
- Reviewing the Applicant’s design response to the principles of Crime Prevention Through Environmental Design (CPTED);
- Gaining a better understanding of the proposed sustainability features to be incorporated into the project; and
- Refining the concept for the off-site boulevard improvements along Bridgeport Road.

Through the review of this DP application, staff worked with the Applicant to address the design issues to staff’s satisfaction and to ensure that the proposed architectural form and character is consistent with the intent of the design guidelines contained within the Official Community Plan (OCP). The Applicant has made the following modifications to their proposal to address the design issues identified:

- The amount of porous surface material has been increased by 10% to enhance site permeability and the paving stone pattern to highlight on-site pedestrian circulation has been simplified;
- The proposed on-site fencing and screening concept has been clarified and refined to include: perimeter privacy fencing of varied heights based on adjacent lot grading (i.e., from 1.2 m on top of retaining walls to 1.8 m at grade), low transparent fencing along the Bridgeport Rd frontage and between yards of individual units, and privacy screening in strategic locations such as between adjacent patios and entries;
- It is demonstrated on the floor plans that aging-in-place features are incorporated into the design of all units and that all Convertible Units features are incorporated into the design of the two convertible units proposed in the northeast corner of the site (AC9 and AC10 in Building 3);

- The locations of the proposed columnar trees in close proximity to the drive-aisle near the site entry are confirmed by the project Arborist to be suitable;
- The design of the buildings along Bridgeport Road has been revised significantly to improve building mass articulation while clearly defining each unit with a visually interesting motif;
- The proposed colour palette and exterior building materials have been finalized and are summarized below in the “Architectural Form and Character” section of this report;
- Information on how the proposal responds to the principles of CPTED, and the proposed sustainability features to be incorporated into the project, are summarized below in the “Analysis” section of this report; and
- Since the design of the off-site boulevard treatment is being reviewed as part of the SA process, an interim concept is shown on the architectural and landscape plans.

The Public Hearing for the rezoning of this site was held on December 17, 2018. At the Public Hearing, members of the public provided comments about the need for shared vehicle access to adjacent properties to the north fronting McKessock Avenue and Shell Road, and raised concerns about the servicing of sewer lines, the potential for flooding in the area, and the need for repairs to boulevards and lighting. In response to the concerns, staff advised that:

- the adjacent properties to the north could be developed into single-family homes or townhouses with access to McKessock Avenue and Shell Road (consistent with the policies in the Bridgeport Area Plan); and,
- the water, storm, and sanitary sewer lines to the proposed development will be from Bridgeport Road.

Bylaw 9935 for the rezoning of the subject site was given Third Reading at the Public Hearing.

Public Input during the DP Review Process

Subsequent to the Public Hearing, the neighbouring property owner to the west at 10651 Bridgeport Road raised concerns about the status of the subject development site, the condition of the site in the interim, and city infrastructure in the neighbourhood (e.g., maintenance and construction of sidewalks, storm drainage, road).

Staff worked with the applicant to advance the Development Permit application to arrive at a form and character that is consistent with the guidelines in the OCP, and reached out to the applicant to address the concerns about the conditions of the property. The applicant took steps to clean up the property and trim back vegetation when requested by City staff, to engage security to patrol the site, and to demolish the dwellings after they had been vacated by tenants. The applicant intends to proceed with construction as soon as the development applications and permits are approved.

Concerns regarding maintenance and construction of the sidewalk along a portion of Bridgeport Road, as well as storm drainage and a pothole on McKessock Avenue were referred to the City’s Engineering and Public Works department and action was taken in response to investigation of the issues raised. Specifically: the sidewalk along a portion of Bridgeport Road was repaired; a

new storm drain was installed in the boulevard and the shoulder/pothole repaired along McKessock Avenue in the fall of 2019; and staff continued to monitor the situation and implemented additional drainage improvements in consultation with the property owner.

Staff Comments

The proposed scheme attached to this report (Plans # 1.A to # 3.L, and Reference Plans) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the RTL4 zone, except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The Applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum front yard along Bridgeport Road from 6.0 m to 5.2 m.

(Staff supports the proposed variance for the following reasons:

- *Road dedication is being provided along Bridgeport Road for improvements to the public realm and future road widening. The required improvements enable a more pedestrian-oriented environment in front of the units along Bridgeport Road, complete with a treed and grass boulevard between the new property line and the existing curb of the road;*
- *A reduction to the front yard setback enables a deeper rear yard setback to be provided at the north of the site along the interface with existing adjacent single-family housing.*
- *Although the front yard setback is reduced, the proposal maintains consistency with the minimum private outdoor space guidelines in the OCP through the provision of second floor balconies for the units fronting Bridgeport Road, which face north off the main living area, in addition to the front yards; and*
- *The Applicant has made adjustments to the Site Plan since the Rezoning review stage to reduce the scope of the variance. At that time, the proposed variance was to reduce the front yard setback from 6.0 m to 4.7 m, whereas the scope of the variance has now diminished to 5.2 m. The distance between the existing curb face and building face is 10.6 m. Although this distance will be reduced slightly with future road widening upon potential redevelopment of the neighbouring properties to the east (i.e., 8.4 m), the remaining treed and grass boulevard is an improvement over the current condition and the resulting distance is acceptable to staff as it is still greater than it would otherwise be if a single-family dwelling was constructed on-site under the existing zoning without road dedication.*
- *The applicant's acoustic report confirms that the units will achieve the CMHC interior noise standards identified in the OCP when considering traffic and aircraft noise.*

Advisory Design Panel Comments

The Advisory Design Panel review of the proposal was held on December 19, 2019, and was supported to move forward to the Development Permit Panel subject to the Applicant giving consideration to the comments identified at the meeting. A copy of the relevant excerpt from the Advisory Design Panel meeting minutes is attached for reference (Attachment 3). The design response from the Applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The proposed townhouses at the subject site have been designed with consideration of the surrounding single-family context, with side and rear yard setbacks well beyond those required in the RTL4 zone.
- The proposed buildings along the rear yard interface with existing single-family housing to the north (Buildings 3 to 6) are two-storeys in height, are in a duplex form, and are set back from the shared property line a minimum of 4.5 m to the ground floor and 6.0 m to the second floor.
- The proposed three-storey buildings along Bridgeport Road and in the middle of the site (Buildings 1, 2, 7 and 8) are set back from the shared property lines with existing single-family housing to the east and west by at least 7.5 m and up to 10.5 m. Also, the existing large Douglas Fir that is to be retained in the southwest corner of the site acts as a vegetative buffer that screens the proposed development from the west.
- Exposed side and rear building elevations are visually interesting, well articulated, and have limited small windows to minimize potential overlook.
- Privacy fencing is proposed around the perimeter of the site to screen the development at ground level from the north, east and west, while responding appropriately to lot grade differences through varied fence heights.
- As part of the Rezoning Application review process the Applicant submitted preliminary concept plans showing how the neighbouring properties to the north, east, and west of the subject site could potentially redevelop in the future consistent with the Bridgeport Area Plan, a copy of which is on file. To enable shared vehicle access through the subject site to potential future townhouse developments to the east and west, a SRW for public-right-of-passage is required to be registered on title of the subject site prior to rezoning bylaw adoption. The proposed Landscape Plan and Perspectives shows where signage is to be placed on perimeter fencing at the east and west ends of the drive-aisle notifying future townhouse residents at the subject site of potential drive-aisle extension.

Site Planning, Access, and Parking

- The proposal is to develop 24 townhouse units on a site of approximately 4,264 m² (45,899 ft²) in area after the required 2.3 m road dedication along the Bridgeport Road frontage.
- The proposed site layout consists of:
 - Two three-storey buildings (each containing four units) along Bridgeport Road and in the middle of the site (Buildings 1, 2, 7 and 8); and

- Four two-storey buildings along the north end of the site (Buildings 3 to 6).
- All buildings have a north-south orientation and are arranged in east-west rows. The main unit entries for all buildings are proposed to face south, either onto Bridgeport Road or onto the internal drive-aisles.
- Vehicle access to the site was reviewed as part of the Rezoning Application review process and supported by the City's Transportation Department. A single vehicle access point to the site is proposed from Bridgeport Road, and is positioned approximately mid-block between McKessock Avenue and Shell Road. The proposed driveway crossing will be constructed with a triangular-shaped raised barrier curb island within the boulevard to physically restrict vehicle movements to the site to right-in/right-out only.
- To accommodate the raised barrier curb island and for future road widening, a 2.3 m road dedication along the entire south property line on Bridgeport Road is required prior to rezoning bylaw adoption. The design and construction of the required works will be reviewed as part of the SA that must be entered into prior to rezoning bylaw adoption.
- The vehicle access point and internal drive-aisle on-site is intended to provide shared access to future potential townhouses developments to the east and west, avoiding the need for additional vehicle access points in this block between McKessock Avenue and Shell Road in the future. To secure the future shared vehicle access, a Statutory Right-of-Way (SRW) for public-right-of-passage over the internal drive-aisle is required to be registered on title prior to rezoning bylaw adoption.
- Pedestrian access to the site is proposed via a pathway in the southeast corner of the site, as well as via a clearly-defined pathway adjacent to the vehicle entry point on Bridgeport Road that is treated with decorative and permeable pavers that differentiate it from the driving surface. Continued use of the same decorative permeable paver pattern is proposed to highlight north-south circulation through the site via a pathway that is ultimately intended to provide a public pedestrian connection between Bridgeport Road and McKessock Place upon potential redevelopment of adjacent properties to the north in the future, consistent with the Bridgeport Area Plan. To secure the future connection, a SRW for public-right-of-passage is required to be registered on title prior to rezoning bylaw adoption.
- Pedestrian unit entries are provided on the south side of all buildings, which are accessed from pathways leading from the public sidewalk on Bridgeport Road for Buildings 1 and 8; and from the internal drive-aisles for Buildings 2 to 7.
- On-site parking and loading is provided consistent with Richmond Zoning Bylaw 8500. Resident vehicle and bike parking spaces are proposed in individual garages, all of which vehicles are proposed in a side-by-side arrangement. Vehicle parking spaces for visitors are located adjacent to buildings and screened from public view, and includes one van-accessible space. A rack for five visitor bike parking spaces is proposed within one of the open spaces in the north portion of the site. The internal drive-aisle has been designed to accommodate the required undesignated medium-sized loading space.
- Door-to-door service is proposed for garbage, recycling, and organics service, and the garages of each unit have been designed to accommodate the storage of the required receptacles.

Open Space Design and Landscape Design

Outdoor Amenity Space

- The proposed siting of the buildings enables the main common Outdoor Amenity Space to be located in the center of the site in a visible location opposite the main vehicle access point. The space contains a mail kiosk softened by a trellis structure, bollard lighting, seating, timber blocks of varying height for climbing, and a playhouse and whale tail bench within a poured in place rubber surface coloured to reflect the Applicant's desired maritime theme (i.e., green land, sandy beach, and blue water). The width of the play area alongside the required north-south pedestrian pathway through the site cannot accommodate the fall zone requirement associated with alternative equipment of equal play value.
- Three other passive Outdoor Amenity Areas are also proposed on-site:
 - one with seating on either side of the pedestrian pathway in the north portion of the site;
 - one with seating alongside a pathway into the site from the public sidewalk along Bridgeport Road in the southeast portion of the site; and
 - one in the southwest portion of the site, which has been designed to facilitate retention of the large Douglas Fir tree, complete with informal seating at existing grade and a 15' x 15' wood deck elevated above existing grade to enable semi-active use (e.g., Tai-Chi).

Private Outdoor Space

- Private outdoor space for each of the units is proposed as follows, consistent with the size guidelines in the OCP:
 - South-facing front yards are provided at grade for Buildings 1, 2, 7, and 8, along with balconies provided on upper floors; and
 - North-facing rear yards are provided at grade for Buildings 3 to 6.

Landscaping

- On-site tree retention and removal was assessed as part of the Rezoning Application, at which time the City's Tree Preservation Coordinator concurred with the Applicant's proposal to:
 - retain the large Douglas Fir (Tree # 958) in the southwest corner of the subject site and the three trees located on neighbouring properties to the north (Trees # 001, 002, 003); and
 - remove a total of 20 trees on-site due to poor condition, and conflict with the building envelope and proposed lot grading [Trees # 959, 960, 961, 965; 963 (a row of four trees); 964 (a row of three trees); and 967 (a row of nine trees)].

The Landscape Plan includes the proposed Tree Management Plan showing the trees to be retained and removed.

- Consistent with the 2:1 tree replacement ratio goal in the OCP, the Applicant is required to plant and maintain a minimum of 40 replacement trees on-site. The Landscape Plan shows that a mix of 42 deciduous and coniferous replacement trees of various sizes are

proposed to be planted and maintained on-site, along with a variety of shrubs, perennials, grasses and groundcover.

- Tree and plant species proposed as part of the Landscape Plan include: Maples, Nootka Cypress, Beech, Ginkgo, Sweet Gum, Pine, Cherry, Pear, Pin Oak, Boxwood, Hydrangea, Holly, Rhododendron, Rose, Skimmia, Spirea, Viburnum, Yew and Cedar Hedges, Dwarf Fountain Grass, Daylily, Ferns, and Salal.
- The Landscape Plan requires that all soft landscaped areas be irrigated through installation of an automated system consistent with industry standards.
- A variety of decorative paving treatments is proposed on-site to distinguish between pedestrian and vehicle areas, provide visual interest and assist with surface permeability. Specifically: a mix of asphalt and permeable pavers at strategic locations within the internal drive-aisle and visitor parking spaces; and a mix of broom-finished concrete, both permeable and standard paving stones, and flagstones for pathways and patios.
- To define the street edge along Bridgeport Road and other front yard areas within the subject site, low transparent fencing with pedestrian gates is proposed, while solid privacy fencing is proposed around the site perimeter ranging in height from 1.2 m on top of retaining walls to 1.8 m at grade depending on adjacent lot grading.
- To ensure that the Landscape Plan is adhered to, the Applicant is required to submit a Landscaping Security in the amount of 100% of a cost estimate prepared by the Registered Landscape Architect (including installation and a 10% contingency) prior to DP issuance.

Indoor Amenity Space

- Consistent with the OCP, and as considered at the time of rezoning, the Applicant proposes to submit a contribution to the City prior to rezoning bylaw adoption in-lieu of the provision of common indoor amenity space on-site.

Architectural Form and Character

- The Applicant has indicated that the architectural vocabulary is identifiable with some elements from two eclectic styles: Tudor (i.e., front facing gables) and French (i.e., upturned eaves) with the aim of achieving an interesting residential identity.
- The residential character of the development is enhanced with small-scale elements such as multi-paned windows, metal flowerbox frames, and covered/recessed entry porches.
- The proposed colour palette and building materials consist of alternating white, grey, and warm ivory colours of horizontal Hardie lap siding, Hardie panel vertical siding, brick cladding, wood beams, posts, barge board and trim, black and charcoal metal railings and flower box frames, and asphalt shingle roofing;

Accessible Housing

- The proposed development includes two convertible units in one of the two-storey duplex buildings (Building 3), which are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The proposed stair width, framing support, and landings as noted on floor plans for these units enable potential conversion to include installation of a stair lift, consistent with the lift manufacturer's specifications.

The list of convertible unit features and floor plans before and after conversion are included in the Reference Plans to the DP.

- All of the 24 proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability

- At the rezoning stage, the applicant committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating. The proposal meets the Council-adopted grandfathering criteria to proceed on this basis.
- The Applicant has submitted an acceptable evaluation report by an Energy Advisor which confirms that the proposed townhouse units are designed to achieve an EnerGuide rating of 82. The key technical elements that enable this rating to be achieved include air source heat pumps (for both heating and cooling), ductless heating distribution, and heat recovery ventilation systems. The heat pumps for the duplex buildings (Buildings 3 to 6), are proposed to be located in the rear yard, and for the 4-unit buildings (Buildings 1, 2, 7, 8) they are proposed to be located on the 2nd floor decks. The applicant's acoustic report confirms that noise associated with operation of the pumps will comply with the City's Noise Regulation Bylaw due to the incorporation of noise control measures (i.e., neoprene vibration sleeves and isolators). Prior to rezoning bylaw adoption, a legal agreement is required to be registered on title to secure the commitments to install the energy-efficiency upgrade measures identified in the evaluation report and that all units are to be solar hot water ready.
- Consistent with Zoning Bylaw requirements, an energized outlet capable of providing Level 2 EV charging is proposed for all residential vehicle parking spaces.

Crime Prevention Through Environmental Design (CPTED)

The Applicant has identified that the proposal responds to the following principles of CPTED, as encouraged in the design guidelines contained within the OCP:

Natural Access Control

- Pedestrian circulation on-site has landscaped edges, clearly defining the areas for public and private use, and clear wayfinding signage is planned for in both directions along the north-south pedestrian path through the site (to be installed when the ultimate pathway connecting Bridgeport Road and McKessock Place is completed), which is well-lit with bollard lighting.
- All unit entries are clearly visible from the street and internal drive-aisle, and are to be well-lit.

Natural Surveillance

- Window placement on all buildings provide for passive surveillance at pathways, common outdoor amenity areas, visitor parking spaces, main unit entries and garages, and into the passive outdoor space under the canopy of the retained Tree # 958.
- The main common Outdoor Amenity Space is centrally located with good passive surveillance, and includes bollard lighting, low plantings, and site furnishings.

Territoriality/Defensible Space

- Front yards along the street and internal drive-aisle animate semi-private and semi-public outdoor spaces.
- Areas of visual interest at the drive-aisle entry and through the site have decorative surface treatments for additional pedestrian safety and to promote territoriality.

Site Servicing & Off-site Improvements

- Servicing requirements and off-site improvements to support the proposed development were identified during the Rezoning Application review process, and include:
 - A 2.3 m road dedication along the entire Bridgeport Road frontage prior to rezoning bylaw adoption to accommodate the required raised barrier curb island to restrict vehicle movements at the site access point, new treed/grass boulevard at the curb and concrete sidewalk at the new property line after road dedication, with transition to the existing sidewalk to the east and west of the subject site, and future road improvements; and
- Entering into a SA prior to rezoning bylaw adoption (SA 19-875791) for the design and construction of water, storm, and sanitary service connections, water meter and fire hydrant installation, storm and sanitary sewer system upgrades along portions of McKessock Avenue and Bridgeport Road, and the road upgrades described above. The existing sanitary service connections to the site are to be discontinued in favour of the installation of the new sanitary sewer along Bridgeport Road and McKessock Avenue to service the subject site. The existing SRW for the sanitary sewer must remain on-site for continued access to the existing sanitary sewers providing service to the adjacent properties.

Conclusion

This proposal is for a 24-unit townhouse development at 10671, 10691, and 10751 Bridgeport Road, with right-in/right-out vehicle access from Bridgeport Road.

The Applicant has addressed the design issues identified through the Rezoning Application review process, as well as additional staff comments regarding site planning, urban design, architectural form and character, and landscape design identified as part of the DP application review process. The proposal as designed provides an appropriate response to the surrounding single-family context and conforms to the applicable policies and design guidelines contained within the OCP.

The proposed development complies with the requirements of the RTL4 zone, with the exception of the zoning variances discussed.

On this basis, staff recommends that the DP be endorsed, and issuance by Council be recommended.



Cynthia Lussier
Planner 2
(604-276-4108)

CL:cas

Attachment 1: Location Map
Attachment 2: Development Application Data Sheet
Attachment 3: Excerpt from the December 17, 2018 Advisory Design Panel meeting minutes and Applicant's design response

The following are to be met prior to forwarding this application to Council for issuance:

- Final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 9935.
- Receipt of a Letter-of-Credit or other form of security acceptable to the City for landscaping in the amount of \$328,219.10 (100% of the cost estimate provided by the Registered Landscape Architect, including all materials, installation, and a 10% contingency).

Prior to future Building Permit¹ issuance, the Applicant is required to complete the following:

- Incorporation of accessibility measures in Building Permit plans and construction, as determined via the Rezoning and Development Permit applications (e.g., Aging-in-Place features in all units; and Convertible Unit features in the two Units AC).
- Incorporation of energy efficiency measures and pre-ducting for solar hot water heating in Building Permit plans to meet or exceed an EnerGuide score of 82, as specified in the legal agreement that is required via the Rezoning and Development Permit applications.
- Incorporation of noise mitigation measures in Building Permit plans and construction, as outlined in the acoustical/thermal reports and recommendations prepared by the appropriate registered professional via the Rezoning and Development Permit applications, which demonstrate that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Regulation Bylaw (as per the noise-related covenant(s) registered on title prior to rezoning bylaw adoption).
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a Construction Traffic and Parking Management Plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>). The Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation and Infrastructure) and MMCD Traffic Regulation Section 01570.

¹ This requires a separate application.

Notes:

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner, but also as covenants pursuant to Section 219 of the Land Title Act.

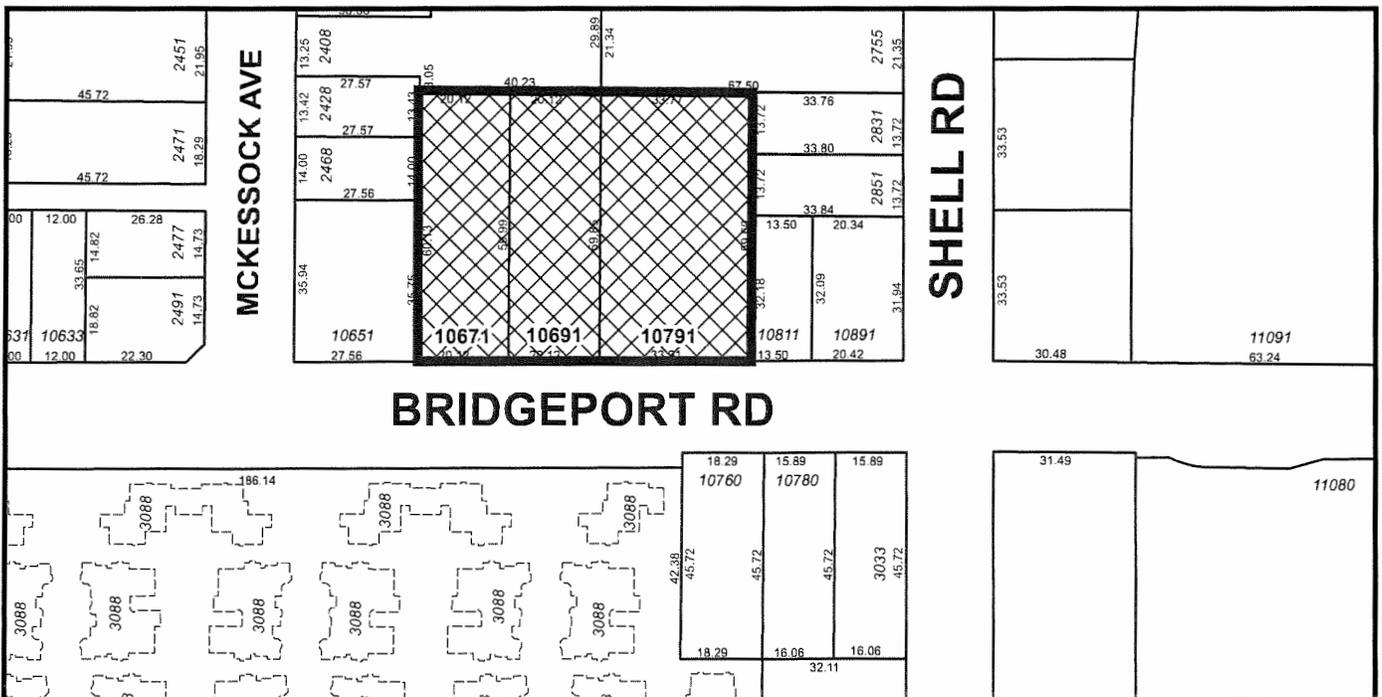
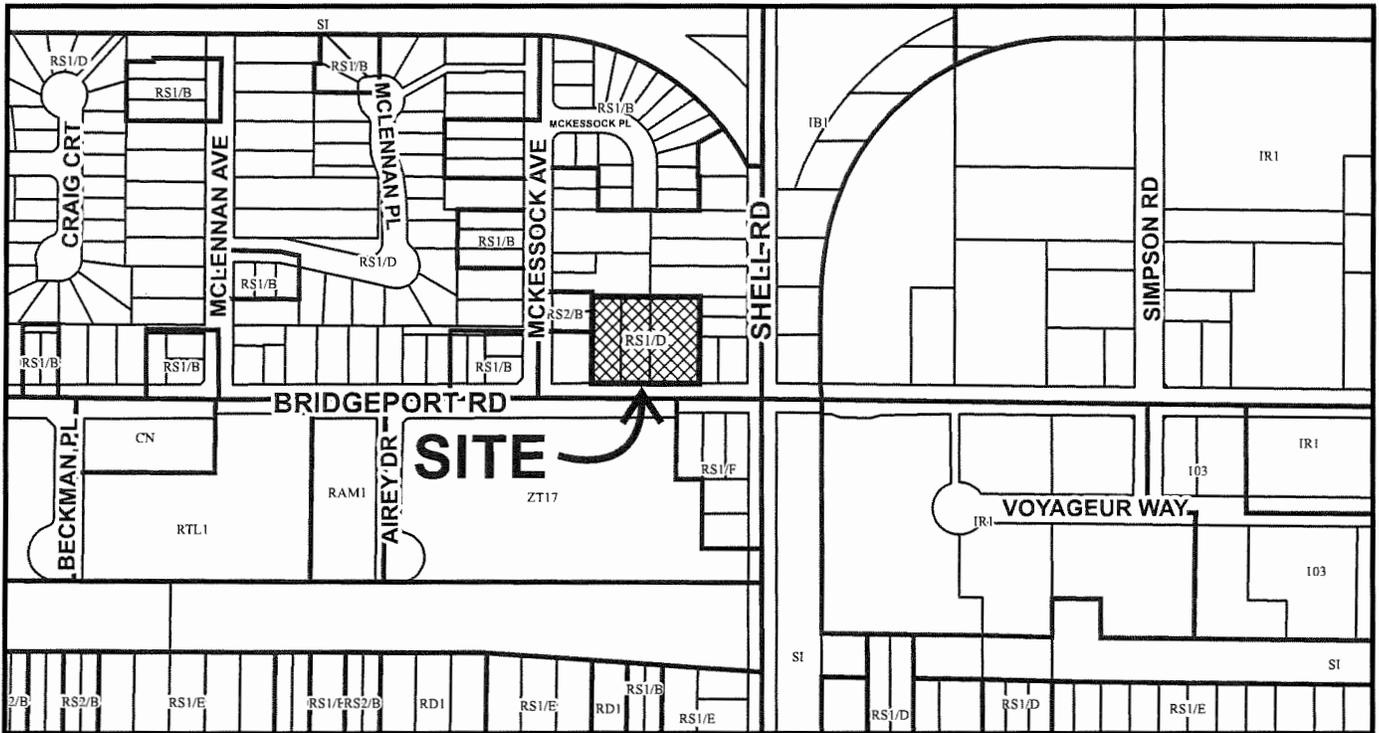
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.



City of
Richmond



DP 18-829233

Original Date: 08/21/18

Revision Date:

Note: Dimensions are in METRES



DP 18-829233

Address: 10671, 10691, 10751 Bridgeport Road

Applicant: 1085948 BC Ltd (Mr. Xin Bo Mao)

Owner: 1085948 BC Ltd (Mr. Xin Bo Mao)

Planning Area(s): Bridgeport

	Existing	Proposed
Site Area:	4,434.7 m ²	4,264.1 m ² (after 170.6 m ² road dedication)
Land Uses:	Vacant Land (previously single-family housing)	Townhouses
OCP Designation:	Neighbourhood Residential	No change
Bridgeport Area Plan Designation:	Residential Area 2 (subject to the policies described in Section 3.1 and 4.0) of the Area Plan	No change
Zoning:	Single Detached (RS1/D)	Low Density Townhouses (RTL4)
Number of Units:	Previously 3 dwelling units	24 dwelling units

	Zoning Bylaw/OCP Requirement	Proposed	Variance
Floor Area Ratio:	0.60	0.60	None permitted
Buildable Floor Area:	2,558.46 m ² (27,539.03 ft ²)	2,550.85 m ² (27,457.12 ft ²)	None permitted
Lot Coverage - Building:	Max. 40%	36.9%	None
Lot Coverage – Non-porous Surfaces:	Max. 65%	51.5%	None
Lot Coverage – Live Landscaping:	Min. 25%	25.0%	None
Minimum Lot Size:	2,500 m ²	4,264.1 m ²	N/A
Minimum Lot Width – Bridgeport Road:	50 m	74 m	None
Setback – Front Yard (South):	Min. 6.0 m	5.2 m	Variance Requested
Setback – Side Yard (East):	Min. 3.0 m	Building 1 - 7.5 m Building 2 - 10.6 m Building 3 - 3.6 m	None
Setback – Side Yard (West):	Min. 3.0 m	Building 6 - 3.3 m Building 7 - 10.4 m Building 8 - 7.5 m	None
Setback – Rear Yard (North):	Min. 3.0 m	Ground Floor – Min. 4.5 m 2 nd Floor - 6.0 m	None

	Zoning Bylaw/OCP Requirement	Proposed	Variance
Height (m):	Max. 12.0 m (3 storeys)	Buildings 1, 2, 7, 8 - 11.8 m (3 storey) Buildings 3, 4, 5, 6, - 8.97 m (2 storey)	None
On-site Vehicle Parking Spaces: Regular (R) 2.0/unit Visitor (V) 0.2/unit	Min. 48 (R) Min. 5 (V)	48 (R) 5 (V)	None
Small Size (Max. 50%):	24 (R) 2 (V)	24 (R) 2 (V)	None
Tandem Vehicle Parking Spaces (Max. 50%):	24 (R)	N/A	None
On-site Accessible Parking Spaces (Min. 2%):	1 Van Accessible	1 Van Accessible	None
Total:	53	53	None
On-site Bicycle Parking Spaces:	Class 1 (1.25/unit) - 30 Class 2 (0.2/unit) - 5	Class 1 - 32 Class 2 - 5	None
Vertical Spaces (Max. 33%):	9	8	None
On-site Loading Space:	1 medium-size (can manoeuvre on-site; designated space not required)	1 medium size (can manoeuvre on-site; designated space not required)	None
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-Lieu	N/A
Amenity Space – Outdoor:	Min. 6 m ² (i.e., 144 m ²)	250.4 m ²	N/A

Excerpt from the Minutes of
The Advisory Design Panel Meeting

Thursday, December 19, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

1. **DP 18-829233 – 24-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Interface Architecture
LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.
PROPERTY LOCATION: 10671, 10691 and 10751 Bridgeport Road

Applicant's Presentation

Kenneth Chow, Interface Architecture Inc., and Mary Chan Yip, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the Applicant.

Panel Discussion

Comments from Panel members present were as follows:

- consider relocating the proposed accessible parking stall, i.e. V2, to visitor parking stall V3 as it is closer to the convertible units; *Idea considered earlier but not possible because both V3 and V4 cannot accommodate the wider width required for the accessible parking space. Visitor accessible space V2 has also since been further widened to be van-accessible.*
- consider installing a vertical lift in lieu of a stair lift for the convertible units as it is easier for people using walkers and in wheelchairs than providing equipment on each floor; *A vertical lift would have functional advantages, but would require additional space; a straight-run stair lift is good solution for these smaller units.*
- appreciate the provision of pocket doors for ground floor powder room, second floor ensuite washrooms and walk-in closets; consider installing outward swinging doors with the hinge on the right to enhance accessibility; *The master bedroom door can be altered and replaced with an out-swinging door upon conversion, however kept as-is pre-conversion to avoid the need for excessive resident movement at top of stairs.*
- consider installing an outward swinging door with the hinge on the right side of the garage door entrance to provide more accessibility; *The door swings into the unit from the garage in Unit Ac have been retained because an outswinging door may conflict with the parking space. The swing (i.e. hinge at front door side) would presumably aid access from the garage to the interior of the unit.*

- consider raising the pedestrian crossing for the north-south pedestrian walkway at the centre of the rear internal drive aisle to enhance the safety of pedestrians; *The paved sections north & south of the amenity area, will be raised 2" c/w rollover curbs.*
- concerned about the narrowness of the 20-foot wide separation between the two three-storey buildings in the middle of the site; *The gap between Buildings 2 & 7 is oriented north-south which results in direct sunlight penetration during mid-day hours. The roofs of both buildings are hipped (i.e. rather than gabled) to reduce shadowing into this area. The pedway design has been simplified for a less cluttered feel in this amenity area. Also, the amenity area has an aspect ratio of less than 3:1 so it should not feel 'narrow'.*
- consider installing permeable pavers across the drive aisles adjacent to the end units of the three-storey buildings in the middle of the site (i.e., Unit 8 in Building 2 and Unit 17 in Building 7) to announce the motorist's arrival into a different area; *Done.*
- reconsider the curved shallow furred out portions of the front facades as these appear forced and could give rise to detail issues; *The detailing of the curved furred out portions of the front facades of Buildings 1 & 8 has been revised and reviewed by the envelope engineer. The top of the furred out portions are now protected by pre-made metal flashing instead of roof shingles. Furthermore, the furred portions were made slightly thicker (from 3 ½" to 6"). The curves are an architectural device that helps unify the front façade of Buildings 1 & 8, and provides motif that is used (to a lesser extent) to create an identity to the 3 rows of buildings. The intent is for the curved flashing to be dimensioned and painted to match the exterior corner trims of the cement board cladding.*
- stoops in the three-storey front buildings facing Bridgeport Road appear out of scale relative to the gable size; the urban character of the stoops in the middle three-storey buildings are more balanced to the three-storey buildings; *Noted. No changes were made because, on the contrary, we feel the ground level gables help create a strong building 'base' (i.e. tripartite façade design) and enhances the visual engagement with passersby at the ground level.*
- a recreation area which could include a tai-chi space in lieu of the proposed passive play area may make more sense in the proposed development; *The passive play area in the SW corner has been re-designed and is ideal for this activity.*
- consider installing a play boat in lieu of a play house in the central outdoor amenity area which is more consistent with the proposed whale tail bench; *The Landscape architect has not recommended this option because the required safety zone around play boats of equal play value that were explored is minimum 6 ft, which cannot be accommodated in the central outdoor amenity area. The design concept for this space is that of coloured play surfaces with rubber balls for climbing and a play house. The only alternatives to these pieces that can be accommodated within the space are play panels, which do not provide equal play value to the pieces selected.*
- the openness of the north-south public pathway in the middle of the site is an appropriate approach as it provides a sense of orientation and direction for residents in the neighbourhood; *Yes, that was the intention.*

- consider installing a special landscape feature at the north entrance to the north-south pedestrian walkway to identify it as a public entry for residents in the immediate neighbourhood; *Added wood trellis feature as a visual terminus just clear of the sewer right-of-way (until the public pathway is eventually opened up to the north properties), which is both a practical and visual improvement in the north amenity area (i.e., more centrally positioned as a hard landscape element to be experienced from both sides).*
- ensure that the proposed bollard and wall lighting along the north-south pedestrian walkway will provide adequate lighting for pedestrians; *Bollard lighting clearly shown on L1, L2, and partial plans. Lighting positions are coordinated with benches and mailbox. Will ensure engineer to design additional pedway lighting (i.e. area lights on wall or lamp standards) if appropriate.*
- support the different paving patterns over portions of the drive aisle as these would enhance the landscaping on the site; *Noted.*
- sidewalks along both edges of the driveway entrance help create a pedestrian territory along the driveway; consider continuing this approach throughout the internal drive aisle; *Sidewalks primarily intended for pedestrian safety at site entry and through the north-south central pathway. Due to the tight layout, not possible to add sidewalks throughout the entire drive aisle loop.*
- consider installing vertical buffers along the east and west ends of the internal drive aisle to mitigate the impact of headlight glare on adjacent single-family homes; *6' high fences will already adequately serve this function, and the east and west ends of the drive-aisle should remain as unobstructed as possible by vegetation to facilitate potential future extension of the drive-aisle to neighbouring sites in the future.*
- proposed design of the north-south pedestrian walkway does not read as a public walkway due to the location of the outdoor amenity area adjacent to the pedestrian walkway; *Improvements have been made: (i) changed Paver Pattern 'A' to 'C' for a visually continuous pedway surface treatment, (ii) removed the playful concrete slab insets which may be confusing, (iii) shifted the north end trellis structure southward to be visually closer to Bridgeport Rd, and (iv) coordinated the placement of the required 3 pedway signs.*
- the outdoor amenity area at the southwest corner of the site is underutilized; consider utilizing a portion of the area for a semi-active play space; *This SW area is re-designed to be a more usable passive and semi-active area, complete with log and boulder seating, sod lawn, and added a 15' x 15' wood deck at the north end of this area for tai-chi.*
- active and passive play areas should be usable by residents; *Understood.*
- consider enhancing the landscaping including tree planting to anchor the southeast corner of the site and balance the large protected tree in the landscaping in the southwest corner of the site; *The landscaping of the common SE open area has been improved to make it more usable by adding a bench for seating and shifting the proposed coniferous tree to the south to help visually anchor the line of trees along the streetfront year round.*

- end units of Buildings 1 and 8 facing the entry driveway need further architectural treatment; the Applicant should not rely only on landscaping for corner treatments; *The two facades facing the driveway now have a picture window at the living rooms, complete with shed roof over, to create a more articulated end unit corner.*
- the curved shallow furred out portions of the front facades may no longer be necessary considering that the circumstances which forced the proposed design are no longer applicable; *The shallow furred out portions create a visually interesting motif for the overall development and also enables cladding transitioning.*
- consider relocating the play area to the southeast corner of the site which is currently underused; *Several locations for the outdoor play area were proposed early in the design process, but a front yard location is not acceptable as it is inconsistent with the Design Guidelines in the OCP due to proximity to Bridgeport Road. The play area as proposed is more desirable as it is centrally-located, provides more visual interest opposite the main site entry, and is located further away from Bridgeport Road.*
- support the proposed curvilinear piece on the front facades which is a clever move; however, the vertical Hardie cladding furred out 3 ½ inches proud of the horizontal siding is not enough; consider adding more depth to at least 18 inches to create a more attractive building elevation and to avoid detailing issues over the long term; *Ideally, an increased depth is preferred, however the front yard setback was increased well into the project design, and limited our building depths. The detail has been finetuned, both visually and technically, and the furred out portions were made slightly thicker (from 3 ½" to 6").*
- review the use of brick on the front façade of the buildings facing Bridgeport Road; consider a stronger use of brick along the base of the front buildings other than on the front facade; and *This was considered by the design team and the owner, but the intent was to use brick to accentuate the entry gable elements, and let the coloured vertical Hardie siding read continuously from the roof soffits down to grade.*
- consider installing a raised deck around the significant tree at the southwest corner of the site; the Applicant could work with the project's arborist to ensure that the retained tree will be protected. *A wood deck that is elevated from the existing grade (to enable tree retention) is now proposed to enable semi-active use of this southwest outdoor area, such as tai-chi.*

The following comments were submitted by Jubin Jalili and read into the record by Sara Badyal:

- the project is showing compliance with EnerGuide rating of 82 by use of air source heat pumps and the owner has committed to the use of heat recovery units which is a great energy savings feature for the project; *Correct.*
- per architectural drawings (i.e., Drawing A1.2) provided by the Applicant, the outdoor units are proposed to be installed in the pathways between the townhomes at the back, on the balconies for the middle row and beside the property walkway for the front units; the installation details, such as support structure, acoustic enclosure (if any) and the refrigerant pipe routing to individual townhomes need to be detailed; and *The installation details will be incorporated into the Building Permit drawings.*

- grouping the outdoor units may have adverse noise impact to the adjacent townhomes and needs to be reviewed by the acoustic consultant. *When asked for a review of the outdoor units, our acoustic consultant immediately suggested that they should not be grouped between townhomes. The mech units are now relocated to the decks and rear yards and noise mitigation measures are proposed consistent with the acoustic report (neoprene vibration sleeves and isolators). See the supplemental acoustic report assessing the outdoor condensing units.*



No. DP 18-829233

To the Holder: 1085948 BC Ltd
Property Address: 10671, 10691, 10751 Bridgeport Road
Address: 2143 West 36th Avenue
Vancouver BC V6M 1L3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum front yard along Bridgeport Road from 6.0 m to 5.2 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1.A to # 3.L and Reference Plans, attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$328,219.10. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-829233

To the Holder: 1085948 BC Ltd
Property Address: 10671, 10691, 10751 Bridgeport Road
Address: 2143 West 36th Avenue
Vancouver BC V6M 1L3

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
This Permit is not a Building Permit.

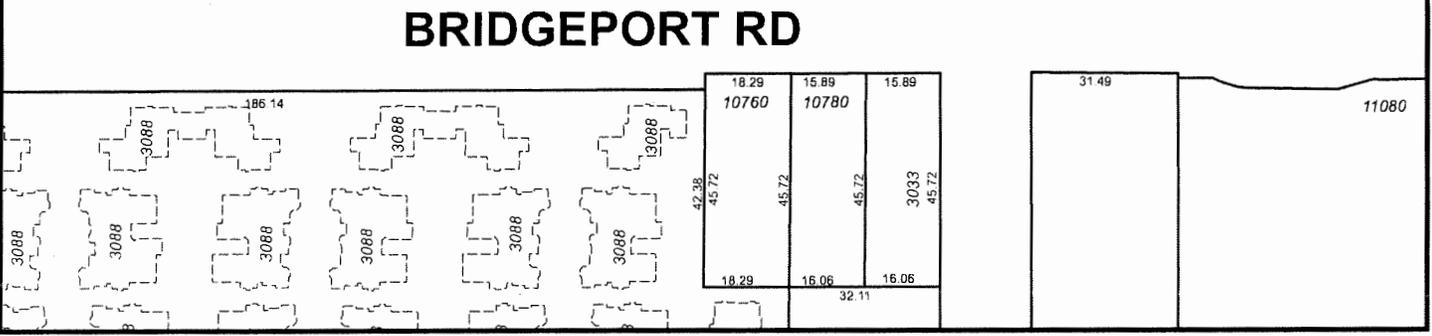
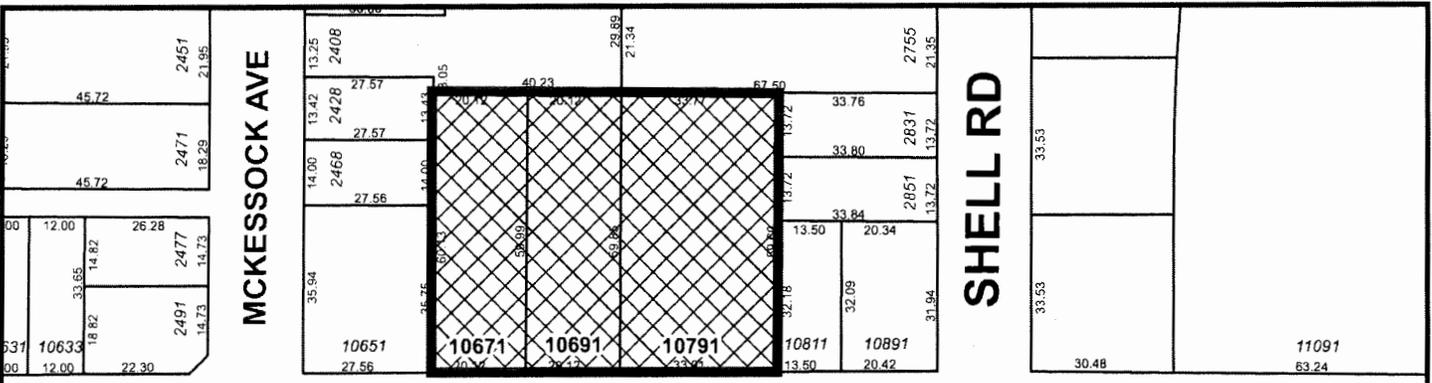
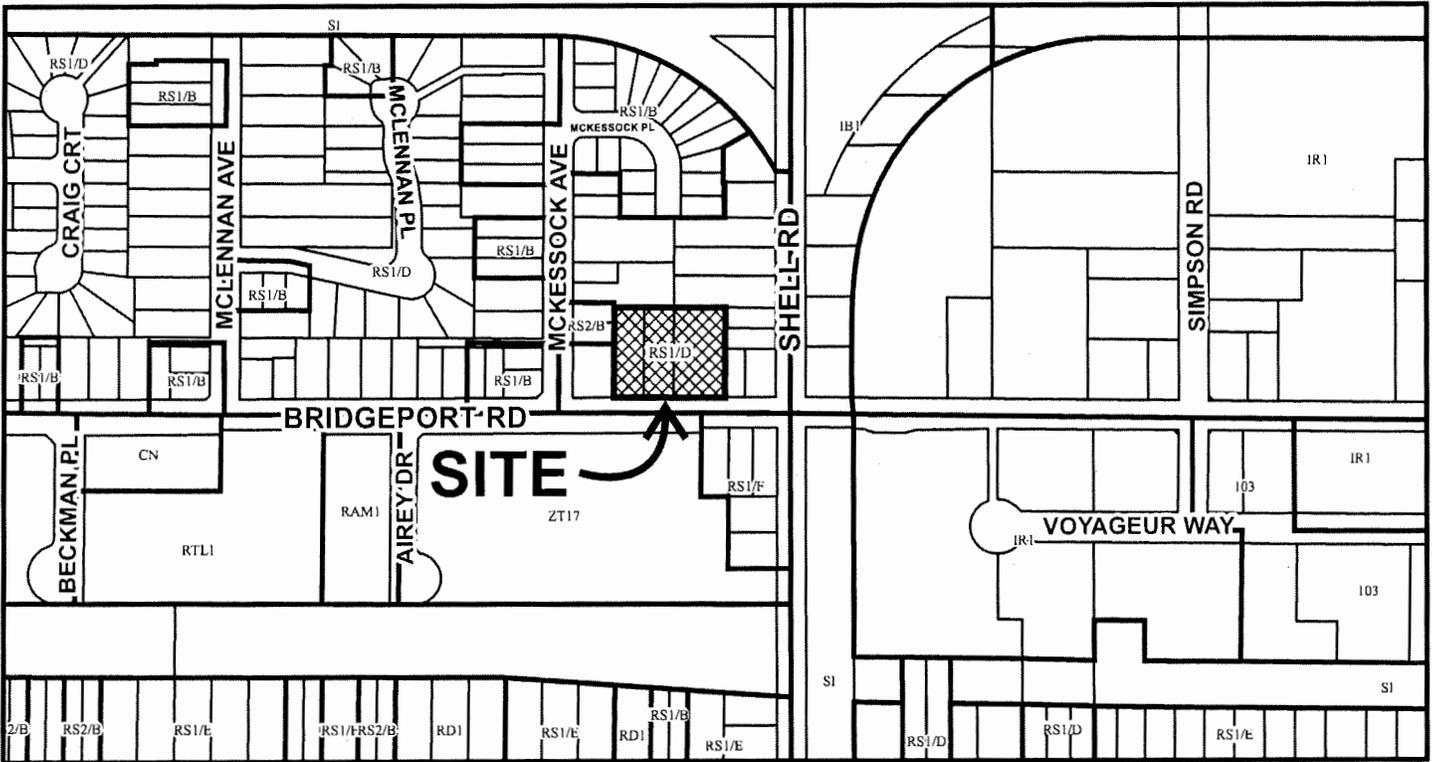
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-829233 SCHEDULE "A"

Original Date: 08/21/18
 Revision Date:
 Note: Dimensions are in METRES

DEVELOPMENT PERMIT RESUBMISSION - 19 JULY 2021

PROPOSED 24-UNIT TOWNHOUSE DEVELOPMENT 10671, 10691, 10751 BRIDGEPORT ROAD

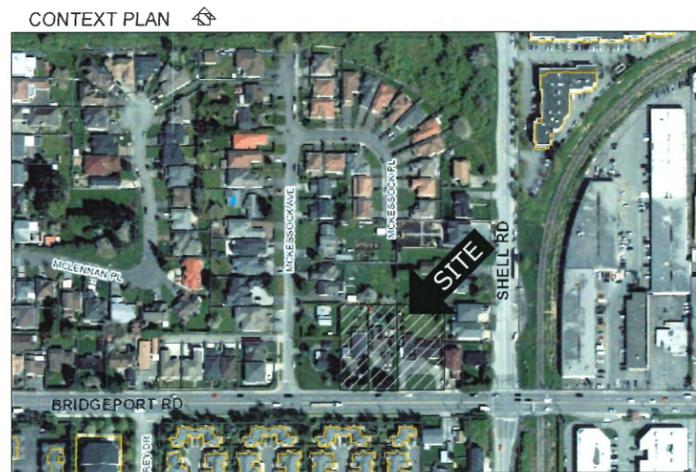
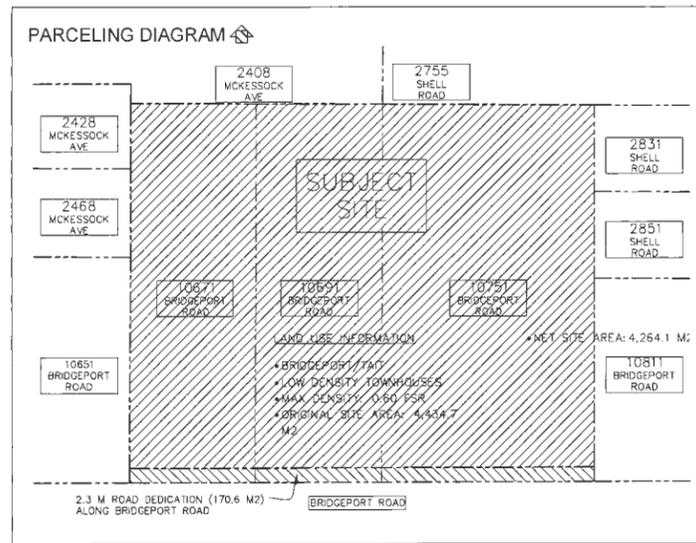


NOTE: MINOR REVISIONS TO SIDE ELEVATIONS OF BUILDING 1 & 8

VIEW ALONG BRIDGEPORT ROAD

RZ17-771592
DP18-829233
PLAN # 1.A

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 28, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
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INTERFACE: Suite 230 11590 Cambie Road Richmond BC Canada V6X 3Z5 T 604 821 1162 F 604 821 1148 www.interfacearchitecture.com	
PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO. 1904BRID	
SCALE As Noted	
DATE Apr. 15, 2017	
DRAWN BY KYC, HD, AL	
CHECKED BY KYC	
SHEET TITLE COVER SHEET	
DRAWING	
A0.0	



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ENGINEERING ISSUES

Human Comfort
 TO MEET COMFORT LEVELS PER ASHRAE 55-2004 (I.E. SUFFICIENT VENTILATION/FRESH AIR WHEN WINDOWS ARE CLOSED DUE TO NOISE), AN AIR CONDITIONING SYSTEM WILL BE INSTALLED TO PROVIDING HEATING/COOLING.

Acoustic
 TO MEET CMHC NOISE CRITERIA FOR RESIDENTIAL PROJECTS WITHIN THE ANSD POLICY AREA, NOISE MITIGATION MEASURES ARE PROPOSED AT ALL BEDROOMS (PER INTERIOR ENVIRONMENTAL NOISE CONTROL STUDY, MARCH 28, 2021):
 * WINDOWS: 6-12x6 DOUBLE GLAZED WINDOWS AT ALL BEDROOMS
 * SOUTH-FACING EXTERIOR WALLS AT BUILDING 1 & 8 MASTER BEDROOMS, WITH 2X6 INTERIOR FRAMING, SHEATHING, AND EXTERIOR 2x6 FRAMING, SHEATHING
 * CEILINGS AT LEVEL 3 BEDROOMS: USE RESILIENT METAL CHANNELS WITH 2 LAYERS OF 5/8" GYPSUM WALLBOARD
 TO ASSESS COMPLIANCE WITH NOISE BYLAW NO.8855, SEE ACOUSTIC REPORT, MARCH 24, 2021 (ASSESSMENT OF CONDENSING UNITS):
 * OUTDOOR CONDENSING UNITS MAX RATED SOUND LEVEL OUTPUT 53dBA at 1m
 * USE NEOPRENE VIBRATION SLIEVES AND ISOLATORS (SEE REPORT)
 CONSULT TWO ACOUSTIC REPORTS FOR THE FULL REQUIREMENTS

Energy
 TO MEET ENERGIUE 82 CRITERIA, THE CEA REPORT (DATED OCT. 6, 2019) SPECIFIES THE MECHANICAL SPECIFICATION DETAILS OUTLINED BELOW:
 * SOLAR HOT WATER READY (PIPES TO FUTURE PANELS)
 * AIR SOURCE HEAT PUMP, PROVIDING BOTH DUCTED HEATING AND COOLING
 * PROJECT MECHANICAL ENGINEER TO PROVIDE LETTER TO CITY OF RICHMOND CONFIRMING THAT THE EQUIPMENT COMPLIES WITH NOISE REG BYLAW NO. 8855
 TO MEET THE CITY'S ELECTRIC VEHICLE CHARGING BYLAW:
 * ALL RESIDENTIAL PARKING SPACES, EXCLUDING VISITOR PARKING SPACES, SHALL FEATURE EV CHARGING OUTLETS CAPABLE OF PROVIDING LEVEL 2 EV CHARGING
 * LEVEL 2 EV. VOLTAGE 208 V TO 240 V, 18A TO 80A

PROJECT DESCRIPTION

A 24-UNIT TOWNHOUSE DEVELOPMENT IS PROPOSED FOR THIS 4,264.7 M² (1.10 ACRE) SITE IN THE BRIDGEPORT/TAIT NEIGHBOURHOOD. THE 3 EXISTING PARCELS (APPROX. 243' COMBINED FRONTAGE) ARE CURRENTLY ZONED RS1E AND ARE SUBJECT TO THE BRIDGEPORT/TAIT OCP AREA PLAN. MAIN FRONTAGE FACES BRIDGEPORT (AN ARTERIAL ROAD), SIDE AND REAR ABUTTING RESIDENTIAL SINGLE FAMILY LOTS. THE PROJECT COMPRISES OF 24 UNITS IN 8 BUILDINGS (4 DUPLEXES AND FOUR 4-PLEXES).

THE PROJECT INCLUDES TWO CONVERTIBLE UNITS (UNIT #9, #10), AND ALL UNITS CONTAIN AGING-IN-PLACE FEATURES.

ONE SIGNIFICANT ON-SITE TREE IS TO BE PROTECTED AND RETAINED AT SW CORNER (TREE #958, DOUGLAS-FIR).

THE TARGET ZONING IS RTL4 WHICH PERMITS UP TO FAR 0.60 + FAR 0.1 FOR ANY INDOOR AMENITY SPACE, SUBJECT TO:

- CONTRIBUTION TO THE AFFORDABLE HOUSING RESERVE.
- COMPLIANCE WITH THE OCP MULTI-FAMILY DESIGN GUIDELINES.
- PROVISION OF A 2.3M ROAD DEDICATION ALONG THE ENTIRE BRIDGEPORT ROAD FRONTAGE.
- PROVISION OF PUBLIC-RIGHT-OF-PASSAGE (PROP) CONNECTING MCKESSOCK PLACE TO BRIDGEPORT ROAD.
 - VIA A PEDESTRIAN WALKWAYS THROUGH THE SITE
 - VIA THE INTERNAL DRIVE AISLE LOOP

ONE ZONING VARIANCE IS REQUESTED:

- FRONT BUILDING SETBACK FROM 6.0 M TO 5.2 M

- ### DRAWING LIST
- Architectural**
- A00 COVER SHEET
 - A10 PROJECT DATA
 - A11 SITE PLAN
 - A12 FIRE ACCESS PLAN, PARKING/TRUCK TURNING PLAN
 - A13 AMENITY OVERLAY
 - A14 LOT COVERAGE OVERLAY
 - A15 PERMEABILITY OVERLAY: NON-POROUS SURFACE
 - A16 PERMEABILITY OVERLAY: POROUS SURFACE & LIVE PLANT MATERIAL
 - A17 FAR BREAKDOWN, FAR OVERLAY BY UNIT TYPES
 - A18 FAR OVERLAY BY BUILDINGS: BUILDINGS 1-6
 - A19 FAR OVERLAY BY BUILDINGS: BUILDINGS 7 & 8
 - A110 NEIGHBOURHOOD DEVELOPMENT SCENARIOS #1,#2
 - A111 CONCEPTUAL LIGHTING PLAN
 - A21 CONVERTIBLE UNIT AS BEFORE & AFTER
 - A22 UNIT A PLANS
 - A23 UNIT B & C PLANS
 - A31 PLANS: BUILDINGS 1 & 8
 - A32 PLANS: BUILDINGS 2 & 7
 - A33 PLANS: BUILDINGS 3 & 4
 - A34 PLANS: BUILDINGS 5 & 6
 - A35 ELEVATIONS: BUILDINGS 1 & 8
 - A36 ELEVATIONS: BUILDINGS 2 & 7
 - A37 ELEVATIONS: BUILDINGS 3 & 4
 - A38 ELEVATIONS: BUILDINGS 5 & 6
 - A41 DETAIL: FRONT FACADE OF BUILDINGS
 - A42 FRAMING DETAIL OF BOX WINDOWS
 - A51 STREETSCAPE 1, 2, 3 & SITE SECTION A
 - A52 SITE SECTIONS B, C, D & E
 - A53 PARTIAL SITE SECTION F & G: INTERIM AND ULTIMATE FRONTAGE CONCEPT
 - A61 3D VIEWS ALONG BRIDGEPORT FRONTAGE
 - A62 3D AERIAL VIEW, VIEW OF DUPLEXES
 - A91 EXTERIOR MATERIAL & COLOUR
 - A92 SHADOW STUDY
- Landscape Architect**
- L1 LANDSCAPE PLAN
 - L2 PLAN SCHEDULE AND KEY PLAN
 - L3 PLANTING AND GRADING PLAN
 - L4 PLANTING AND GRADING PLAN
 - L5 PLANTING AND GRADING PLAN
 - L6 PLANTING AND GRADING PLAN
 - L7 PLANTING AND GRADING PLAN
 - L8 TREE MANAGEMENT PLAN
 - L9 LANDSCAPE DETAILS
 - L10 LANDSCAPE DETAILS
 - L11 LANDSCAPE ENLARGEMENTS
 - L12 LANDSCAPE SPECIFICATIONS

FAR AREA BREAKDOWN BY BUILDING

BLDG NO.	NO. UNIT	BLDG GROSS	BLDG EXEMPT	BLDG FAR AREA (SF)	BLDG FAR AREA (M2)
1	4 x B	6,658 sf	(2,333 sf)	4,325 sf	401.79 M2
2	4 x C	7,092 sf	(2,536 sf)	4,556 sf	423.25 M2
3	2 x Ac	3,445 sf	(1,021 sf)	2,424 sf	225.19 M2
4	2 x A	3,406 sf	(982 sf)	2,424 sf	225.19 M2
5	2 x A	3,406 sf	(982 sf)	2,424 sf	225.19 M2
6	2 x A	3,445 sf	(1,021 sf)	2,424 sf	225.19 M2
7	4 x C	7,092 sf	(2,536 sf)	4,556 sf	423.25 M2
8	4 x B	6,601 sf	(2,276 sf)	4,325 sf	401.79 M2
TOTAL				27,458sf	2,550.85 M2

ZONING SUMMARY

Zoning Bylaw No. 8500

CIVIC ADDRESS: 10671/ 10691/ 10751 BRIDGEPORT ROAD, RICHMOND BC
 LEGAL DESCRIPTION: CURRENTLY LOTS 190, 101, PLAN 33687, AND WEST HALF LOT 101 PLAN 8212
 ALL OF SECTION 23, BLOCK 5 NORTH, RANGE 6 WEST NWD
 ORIGINAL SITE: 4,434.7 M² [4,735 SF] (1.10 ACRES)
 LOT SIZE (3-LOTS): 2.3m ROAD DEDICATION: 170.6 M² [1,837 SF]
 NET SITE: 4,264.1 M² [45,898 SF] (1.05 ACRES)
 HERITIAL/R/ESA/NEF: NO / NO / NO / YES (ANSD AREA 2 - ALL USE TYPES MAY BE CONSIDERED EXCEPT NEW SINGLE-FAMILY)
 AREA PLAN / OCP: BRIDGEPORT AREA PLAN 2.12 / TAIT 3.1

	PERMITTED	PROJECT SPECIFICS (PROPOSED)
LOT ZONING:	RTL4 (CURR: RS1/D)	RTL4 (LOW DENSITY TOWNHOUSES)
MINIMUM LOT SIZE:	50M WIDTH	74.18M [243.4'] (W) X 57.82M [189.7'] (D)
DENSITY (MAX):	FAR 0.6 + FAR 0.1 AMENITY (WITH CONDITIONS)	FAR 0.60 [2,550.85 M ² / 4,264.1 M ²]
LOT COVERAGE:	40% MAX FOR BLDGS	36.9% (1,574.8 M ² / 4,264.1 M ²)
LOT PERMEABILITY:	65% MAX NON-POROUS 25% MIN LANDSCAPED	51.5% (2,193.3 M ² / 4,264.1 M ²) 25.0% (1,067.5 M ² / 4,264.1 M ²)
YARD SETBACKS:		
★ FRONT YARD (S)	6.0 M [19.69'] MIN	5.2M [17.06'] ★
SIDE YARD 1 (E)	3.0 M [9.84'] MIN; 7.5 M [24.58'] MIN AT LEV. 3	BUILDING 1: 7.5 M [24.61'] BUILDING 2: 10.59 M [34.75'] BUILDING 3: 3.62 M [11.92'] BUILDING 6: 3.31 M [10.98'] BUILDING 7: 10.4 M [34.25'] BUILDING 8: 7.51 M [24.43']
SIDE YARD 2 (W)	3.0 M [19.69'] MIN; 7.5 M [24.58'] MIN AT LEV. 3	
REAR YARD (N)	3.0 M [19.69'] MIN LEV 1: 4.5M - OCP 14.4.13 LEV 2: 6.0M - OCP 14.4.13	LEV 1: 4.5M [14.76'] LEV 2: 6.0M [19.69']
YARD PROJECTIONS:		
PRINCIPAL BLDG	MAX 1.5M [4.92'] FRONT YD	0.92M [3'] (ENTRY CANOPIES)
BAY WINDOWS	1.0M [3.28] FRONT 0.6M [1.97] SIDE	N/A 0.18M [0.58] SIDE
BALCONIES	1.5M [4.92] BUT NOT AT SIDE	N/A
PERGOLAS ETC	BY CASE	N/A
ELEC. RM ETC	0.6M [2] REAR, SIDE YD	0.13M [0.42'] SIDE YD (E)
ELEC. RM ETC	0.6M [2] REAR, SIDE YD	0.44M [1.44'] SIDE YD (W)
BUILDING HEIGHT:	12.0M MAX/3-STOREY - FRONT 9.0M MAX/ 2-STOREY - SIDE 9.0M MAX/ 2-STOREY - REAR	11.8M [38.72'] - 3-STOREY N/A - EXCEED 7.5M FROM PL 8.97M [28.43'] - 2-STOREY 2.16M [7.09'] FCL (+1.88M + 0.3M)
FLOODPLAIN C.L.	TOP OF H&B FLR AT 0.3M MIN ABOVE RD CROWN	
PARKING REQUIRED:	48 (2.0/UNIT RESIDENTS); 4.8 (0.2/UNIT VISITORS) MIN 50% STANDARD MAX 50% OF UNITS 2% OF SPACES MIN.	48 RESIDENT SPACES (24 STD, 24 SML) 5 VISITOR SPACES (2 STD, 2 SML, 1 HIC) 49% (26 SMALL / 53 SPACES) N/A PROVIDE 1 HIC VISITOR SPACE
BICYCLE PARKING:		
CLASS 1	30 (1.25 PER UNIT) MAX. 33% PLACED VERT. 5 (0.2 PER UNIT)	32 PROVIDED IN 24 UNITS 25% VERT. (8 OUT OF 32) 5 PROVIDED (OUTDOOR)
AMENITY SPACE:		
COMMON OUTDR	144 M ² (6 M ² /UNIT x 24)	250.4 M ² (2695 SF) SHOWN
PRIVATE OUTDR	30 M ² (323 SF)/UNIT MIN	PROVIDE 30.4 M ² (327 SF) MIN. PER UNIT
INDOOR	70 M ² OR PAY-IN-LIEU	PAY-IN-LIEU
GARBAGE (IN UNIT):	DOOR TO DOOR PICKUP	DOOR TO DOOR PICKUP
GARBAGE CART	1 x 120 Litres	1 x 120 Litres
FOOD SCRAPS	1 x GREEN CART	1 x GREEN CART
MIXED CONT.	1 x KITCHEN CONT.	1 x KITCHEN CONTAINER
MIXED PAPER	1 x CONTAINER	1 x CONTAINER
GLASS	1 x CONTAINER	1 x CONTAINER
ON-SITE LOADING:	MEDIUM SIZE SPACE	N/A - CAN MANOEUVRE ON SITE

★ ZONING VARIANCE REQUIRED

AVERAGE GRADE CALCULATION

	SITE	BLDG 1	BLDG 2	BLDG 3	BLDG 4	BLDG 5	BLDG 6	BLDG 7	BLDG 8	TOTAL AVG.
CORNER 1	1.29	1.95	1.95	1.95	1.95	1.95	1.95	1.95	1.95	
CORNER 2	1.22	1.95	1.95	1.95	1.95	1.95	1.95	1.95	1.95	
CORNER 3	1.60	1.95	1.95	1.95	1.95	1.95	1.95	1.95	1.95	
CORNER 4	1.14	1.95	1.95	1.95	1.95	1.95	1.95	1.95	1.95	
AVG GRD	1.31m	1.95m	1.88m							

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SEAL

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PROJECT

Proposed 24-Unit
 Townhouse Development
 10671-10751 BRIDGEPORT RD.
 Richmond, B.C.

PROJECT NO.
19048RD

SCALE
As Noted

DATE
Apr. 15, 2017

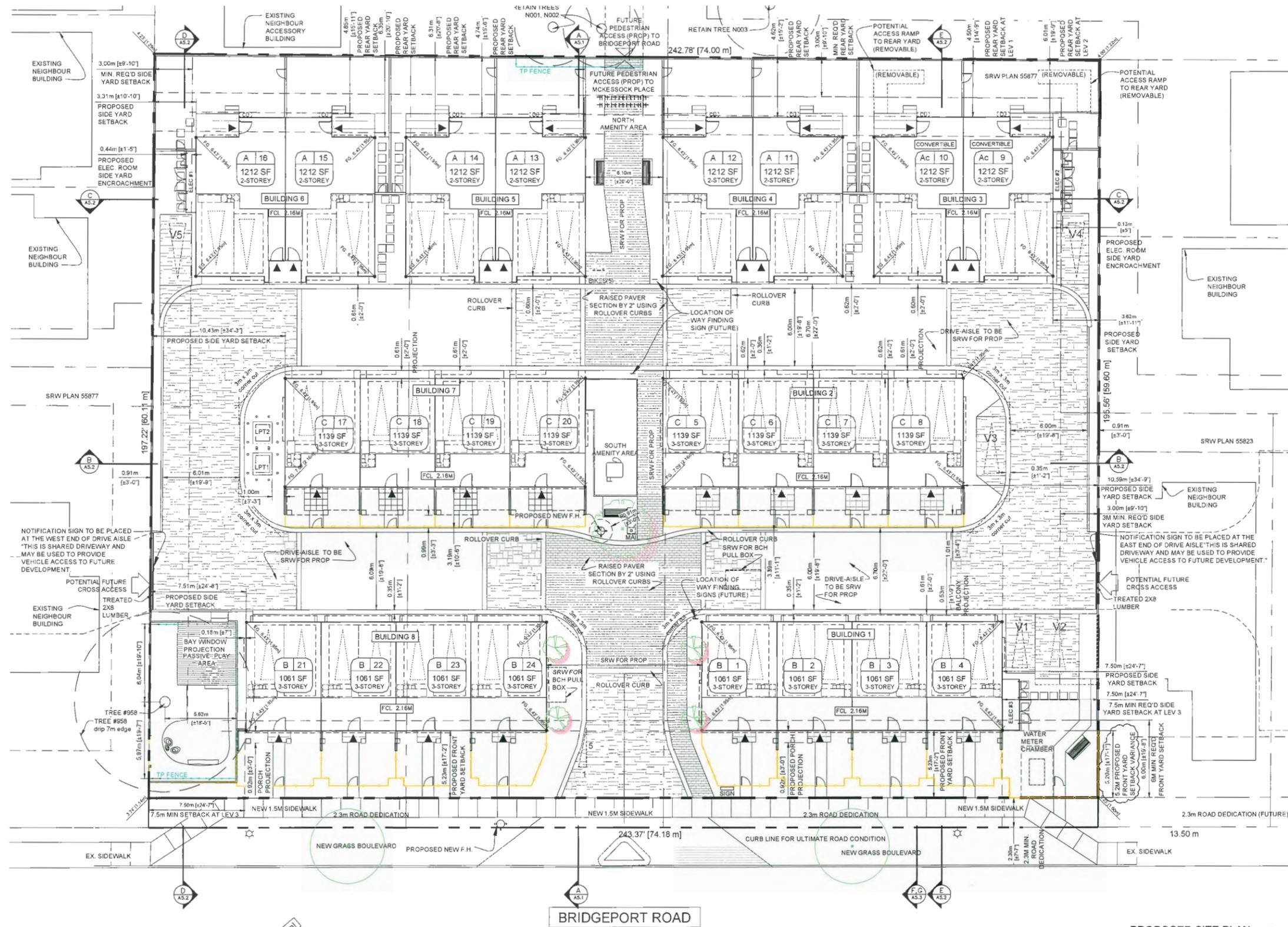
DRAWN BY
KYC, HD, AL

CHECKED BY
KYC

SHEET TITLE
PROJECT DATA

DRAWING

A1.0



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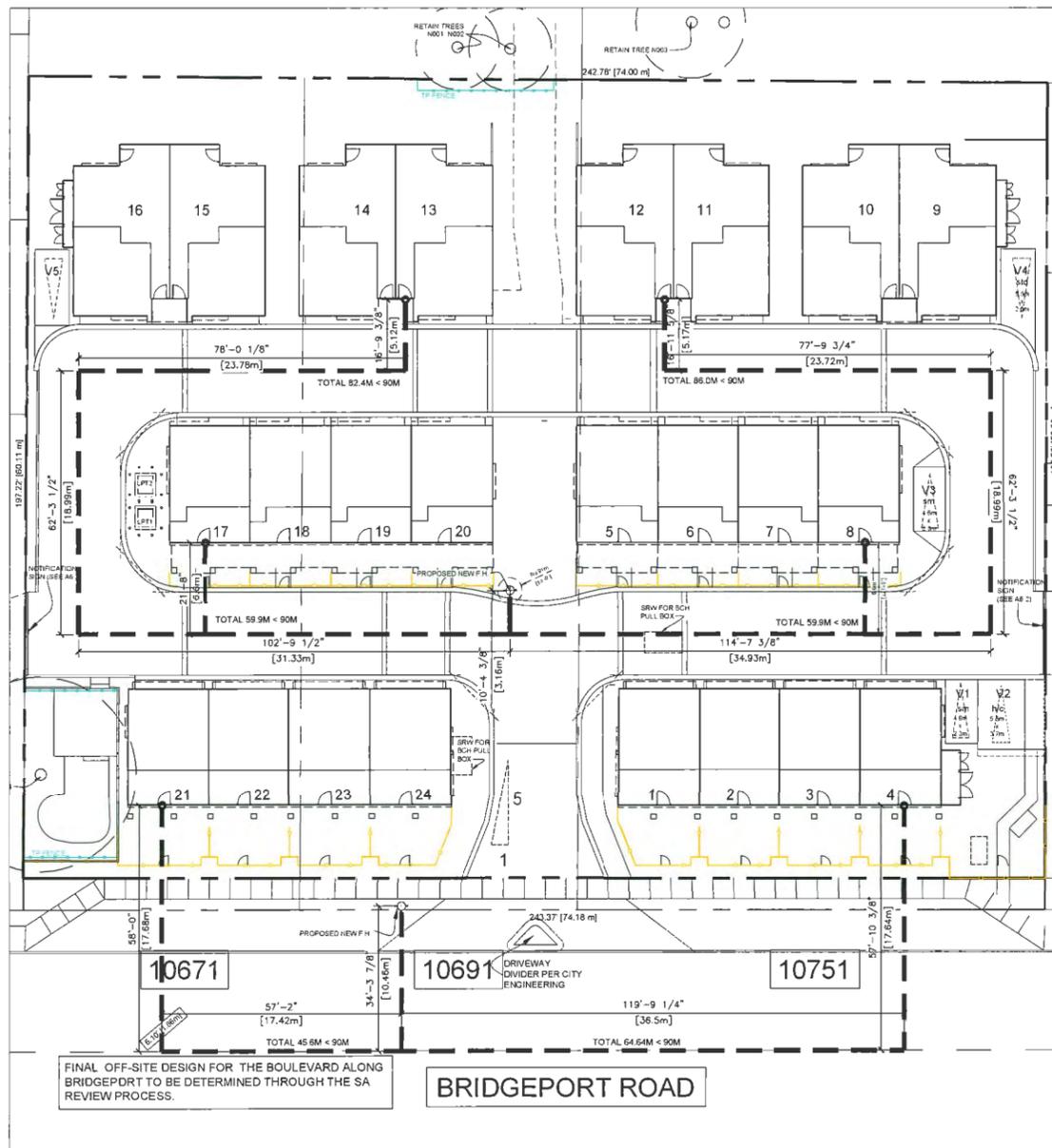
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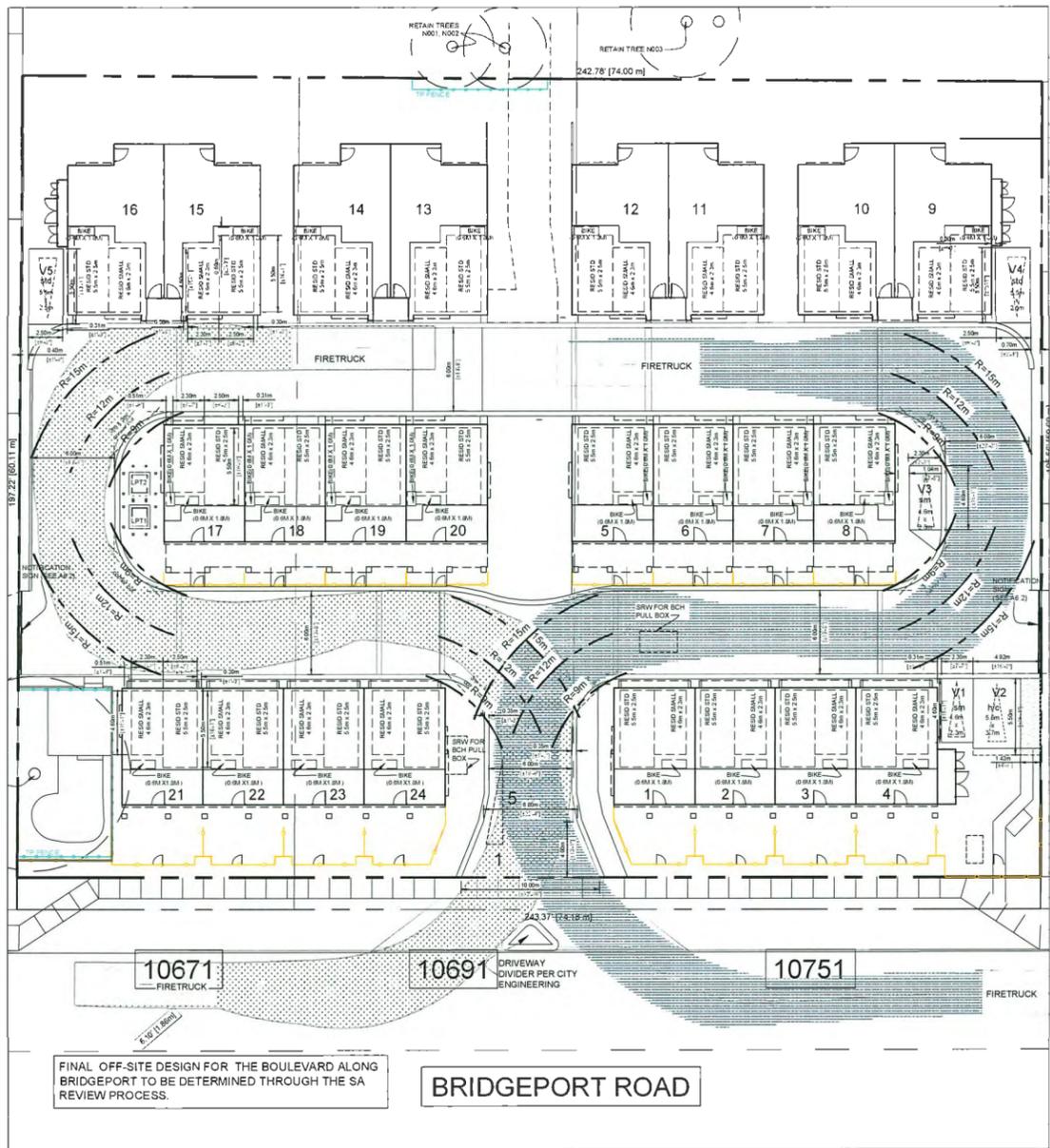
PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD, Richmond, B.C.	
PROJECT NO.	1904BR/D
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD, AL
CHECKED BY	KYC
SHEET TITLE	
SITE PLAN	
DRAWING	

PROPOSED SITE PLAN
 Scale: 3/32"=1'-0"
 DP18-829233 PLAN # 1.C

A1.1



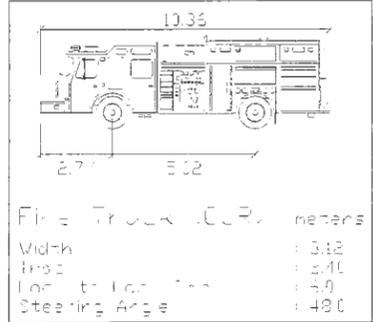
FIRE ACCESS PLAN
Scale: 1/16"=1'-0"



DRAWING NOTES:

- INTERNAL DRIVE AISLE TO BE ENGINEERED TO SUPPORT FIRE TRUCK @ 80,000 LBS
- REFER TO TRAFFIC OPERATIONS ANALYSIS STUDY FOR FIRE TRUCK AND SU-9 VEHICLE SWEEP PATH DIAGRAMS (ISL ENGINEERING, NOV. 9, 2018)

PARKING/TRUCK TURNING PLAN
Scale: 1/16"=1'-0"

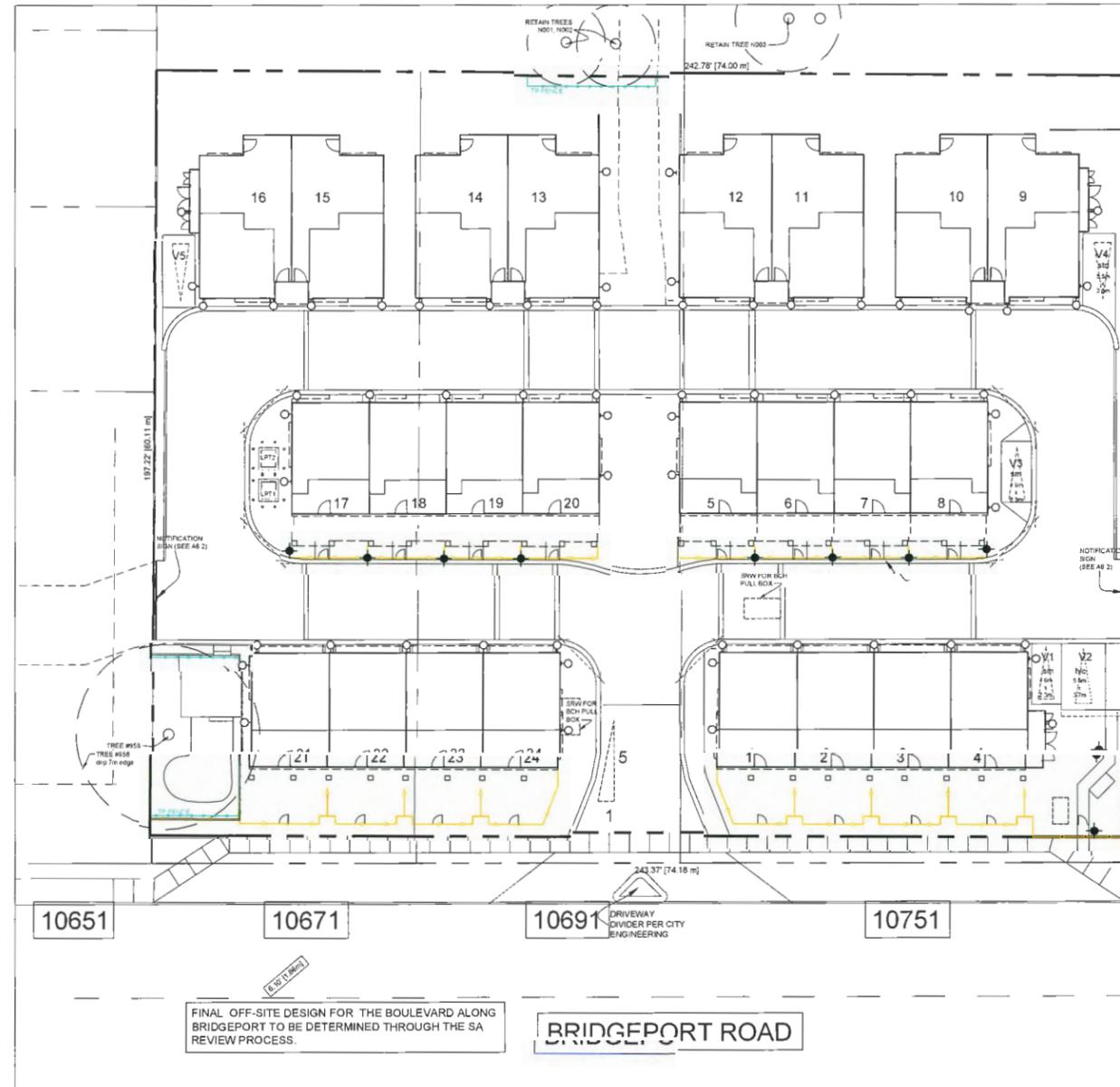


DP18-829233 PLAN # 1.D

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A1.2	



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SEAL	

INTERFACE:
 11590 Cambie Road
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 www.interfacearchitecture.com

PROJECT	
Proposed 24-Unit Townhouse Development 10571-10751 BRIDGEPORT RD, Richmond, B.C.	
PROJECT NO.	
1904BRID	
SCALE	
As Noted	
DATE	
Apr. 15, 2017	
DRAWN BY	
KYC, HD, AL, XY	
CHECKED BY	
KYC	
SHEET TITLE	
CONCEPTUAL LIGHTING PLAN	
DRAWING	

CONCEPTUAL LIGHTING PLAN
 Scale: 1/16"=1'-0"



A1.11

DP18-829233 PLAN # 1.E

EXTERIOR FINISHES

- 1 HORIZONTAL HARDIE CEDAR MILL LAP SIDING
Colour: Arctic White
- 2 BRICK CLADDING
Colour: Endicott-Manganese Ironspot
Velour Modular
- 3 FIBERGLASS ASPHALT ROOF SHINGLES
Colour: Dark Gray (Multicolour, Textured)
- 4 2x10 WOOD TRIM BOARD - PAINTED
Colour: Ultra White (BM CC-10)
- 5 1x4 TRIM BOARD ON 2x8 BARGE BOARD
Colour: Ultra White (BM CC-10)
- 6 WOOD BEAM
Colour: Ultra White (BM CC-10)
- 7 VINYL-FRAMED DOUBLE-GLAZED WINDOWS (Vinytek or Equivalent)
Colour: White
- 8 2x6 WINDOW TRIM BOARD - PAINTED
Colour: Ultra White (BM CC-10)
- 9 ALUMINUM SURFACE MOUNTED GUTTER
Colour: Kendall Charcoal (BM HC-166)
- 10 ENTRY INSULATED METAL DOOR
Door Colour: Ultra White (BM CC-10)
Glaze Panel: Clear
- 11 OVERHEAD WOOD PANEL GARAGE DOOR
Colour: Ultra White (BM CC-10)
- 12 METAL RAILING
Colour: Black (BM 2132-10)
- 13 DOUBLED GLAZE VINYL SLIDING DOOR (Vinytek or Equivalent)
Colour: White
- 14 ELECTRICAL ROOM DOOR
Colour: Ultra White (BM CC-10)
- 16 WOOD POST
Colour: Ultra White (BM CC-10)
- 16A HARDIE PANEL VERTICAL SIDING
A: Colour: Concord Ivory (BM HC-12)
B: Colour: Duxbury Gray (BM HC-163)
- 16B METAL FLOWER BOX
Colour: Kendall Charcoal (BM HC-166)
- 19 STONE LINTEL



BUILDING 8: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



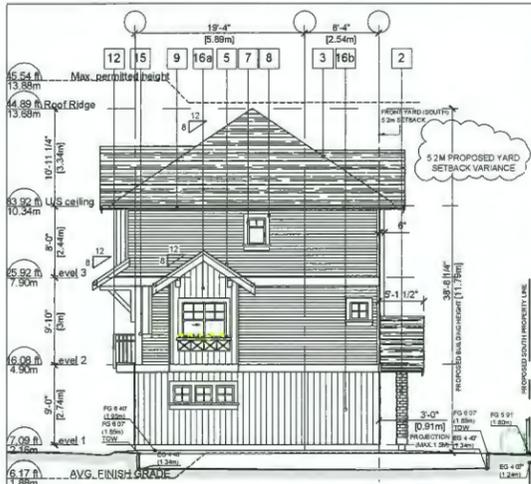
BUILDING 1: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



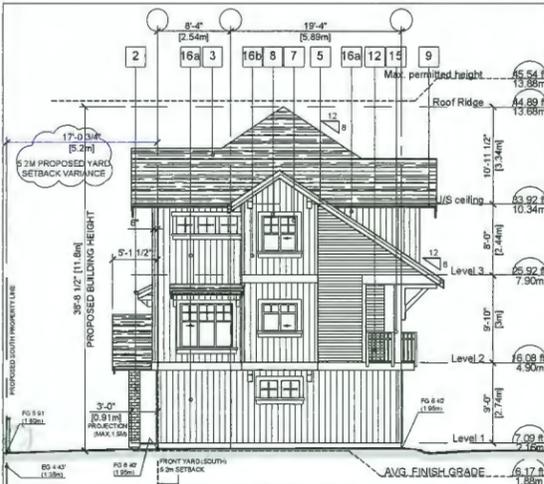
BUILDING 8: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



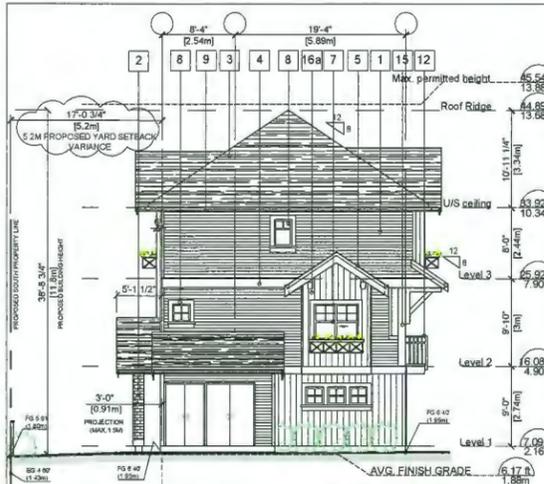
BUILDING 1: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



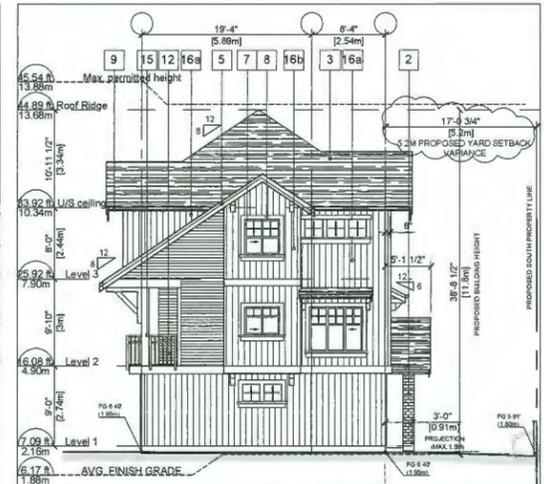
BUILDING 8: WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 8: EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1: EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1: WEST ELEVATION
SCALE: 1/8" = 1'-0"

DP18-829233 PLAN # 2.A

REVISIONS	
JULY 25, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 18, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
NOV 9, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION

CONSULTANTS

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INTERFACE:

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PROJECT

Proposed 24-Unit
Townhouse Development
10871-10751 BRIDGEPORT RD.
Richmond, B.C.

PROJECT NO.
19048R1D

SCALE
As Noted

DATE
Apr. 15, 2017

DRAWN BY
KYC, HD

CHECKED BY
KYC

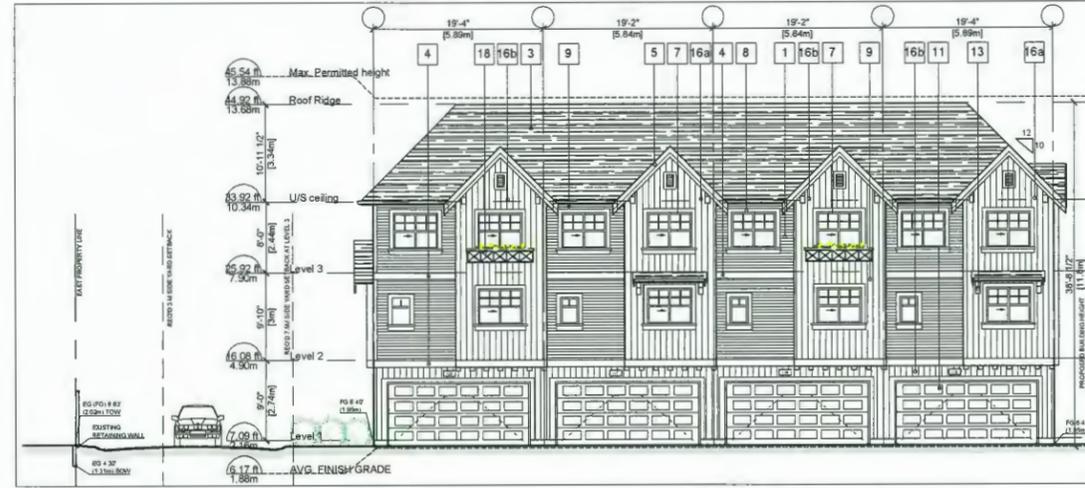
SHEET TITLE
ELEVATIONS:
BUILDINGS 1 & 8

DRAWING

A3.5



BUILDING 7: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



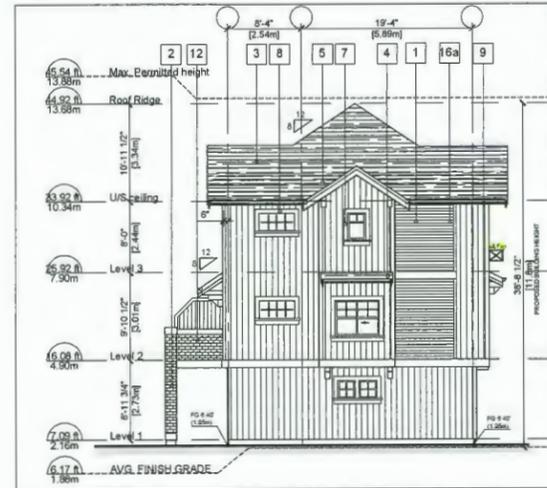
BUILDING 2: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



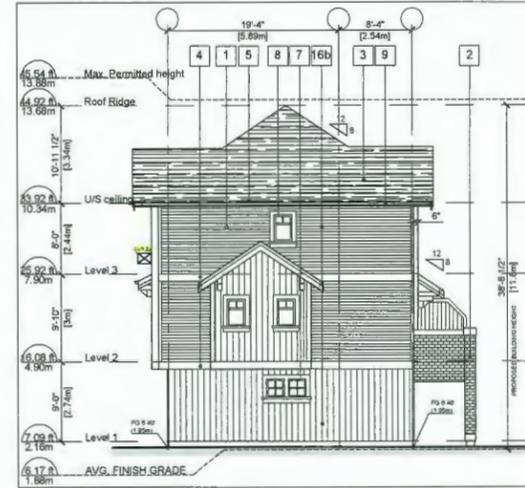
BUILDING 7: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



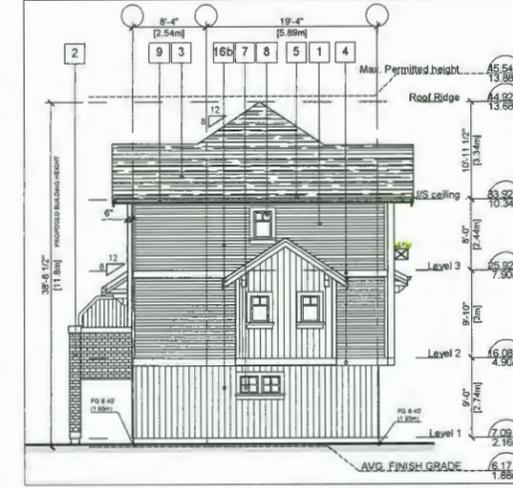
BUILDING 7: EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 7: WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2: WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 2: EAST ELEVATION
SCALE: 1/8" = 1'-0"
DP18-829233 PLAN # 2.B

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 18, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
NOV 9, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION

CONSULTANTS

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SEAL

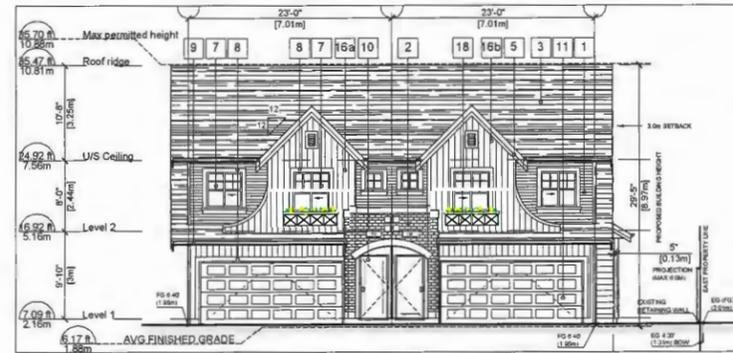
INTERFACE:
Suite 230
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PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	19049RD
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD
CHECKED BY	KYC
SHEET TITLE	ELEVATIONS: BUILDINGS 2 & 7
DRAWING	

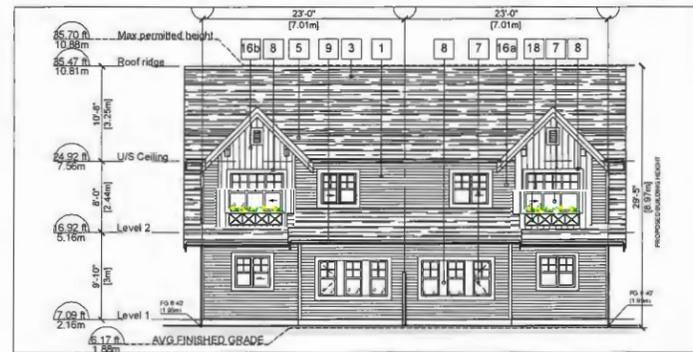
A3.6



BUILDING 4: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



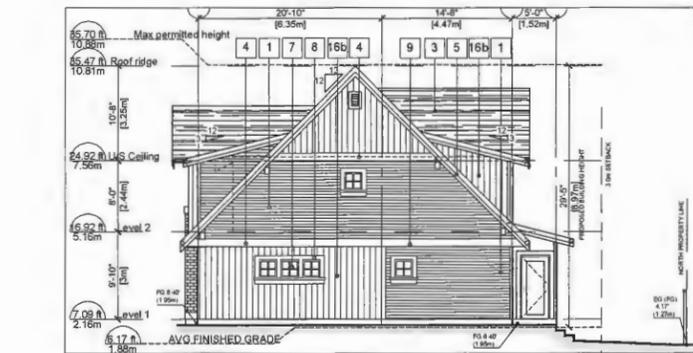
BUILDING 3: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



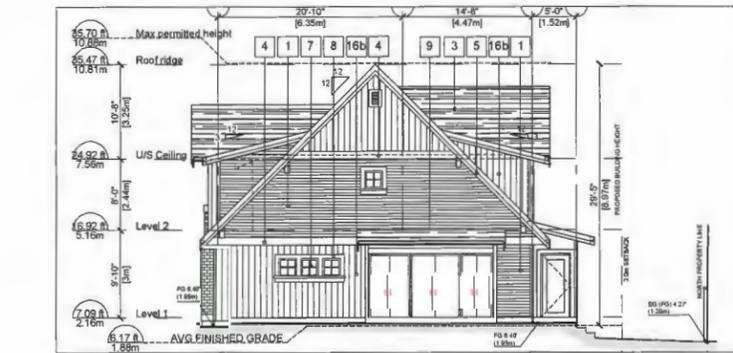
BUILDING 4: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



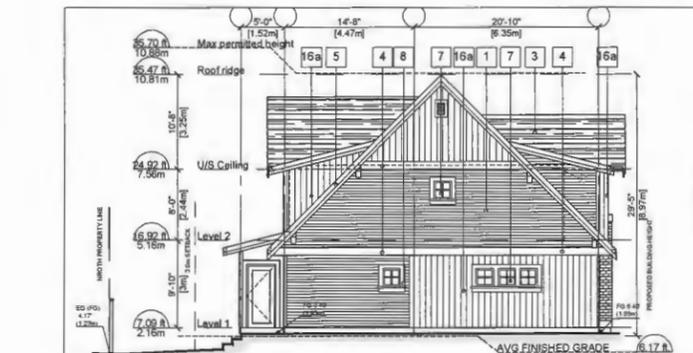
BUILDING 3: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



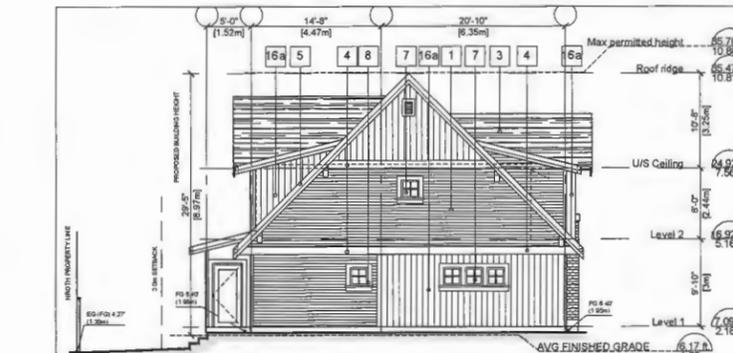
BUILDING 4: EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3: EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 4: WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 3: WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES

- 1 HORIZONTAL HARDIE CEDARMILL LAP SIDING
Colour: Arctic White
- 2 BRICK CLADDING
Colour: Endicott-Manganese Ironspot Velour Modular
- 3 FIBERGLASS ASPHALT ROOF SHINGLES
Colour: Dark Gray (Multicolour, Textured)
- 4 2x10 WOOD TRIM BOARD - PAINTED
Colour: Ultra White (BM CC-10)
- 5 1x4 TRIM BOARD ON 2x8 BARGE BOARD
Colour: Ultra White (BM CC-10)
- 6 WOOD BEAM
Colour: Ultra White (BM CC-10)
- 7 VINYL-FRAMED DOUBLE-GLAZED WINDOWS (Vinyltek or Equivalent)
Colour: White
- 8 2x6 WINDOW TRIM BOARD - PAINTED
Colour: Ultra White (BM CC-10)
- 9 ALUMINUM SURFACE MOUNTED GUTTER
Colour: Kendall Charcoal (BM HC-166)
- 10 ENTRY INSULATED METAL DOOR
Door Colour: Ultra White (BM CC-10)
Glaze Panel: Clear
- 11 OVERHEAD WOOD PANEL GARAGE DOOR
Colour: Ultra White (BM CC-10)
- 12 METAL RAILING
Colour: Black (BM 2132-10)
- 13 DOUBLED GLAZE VINYL SLIDING DOOR (Vinyltek or Equivalent)
Colour: White
- 14 ELECTRICAL ROOM DOOR
Colour: Ultra White (BM CC-10)
- 15 WOOD POST
Colour: Ultra White (BM CC-10)
- 16 HARDIE PANEL VERTICAL SIDING
A: Colour: Concord Ivory (BM HC-12)
B: Colour: Duxbury Gray (BM HC-163)
- 18 METAL FLOWER BOX
Colour: Kendall Charcoal (BM HC-166)
- 19 STONE LINTEL

REVISIONS		
JULY 29, 2021	DP RE-SUBMISSION	
MAR 26, 2021	DP RE-SUBMISSION	
AUG 19, 2020	DP RE-SUBMISSION	
DEC 19, 2019	ADP SUBMISSION	
OCT 4, 2019	DP RE-SUBMISSION	
NOV 9, 2018	RZ RE-SUBMISSION	
SEPT 21, 2018	RZ RE-SUBMISSION	
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SEAL		

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PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	
1904BRD	
SCALE	
As Noted	
DATE	
Apr. 15, 2017	
DRAWN BY	
KYC, HD, AL	
CHECKED BY	
KYC	
SHEET TITLE	
ELEVATIONS: BUILDING 3 & 4	
DRAWING	
A3.7	



BUILDING 6: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



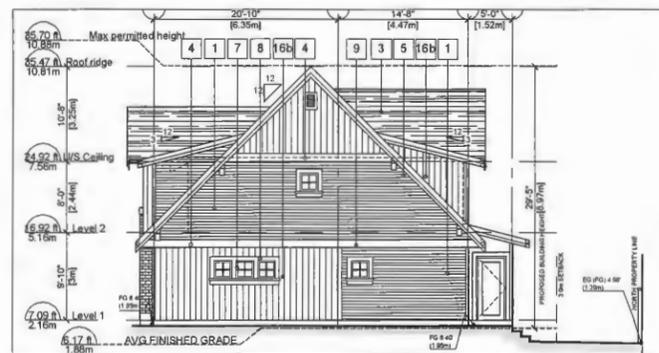
BUILDING 5: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



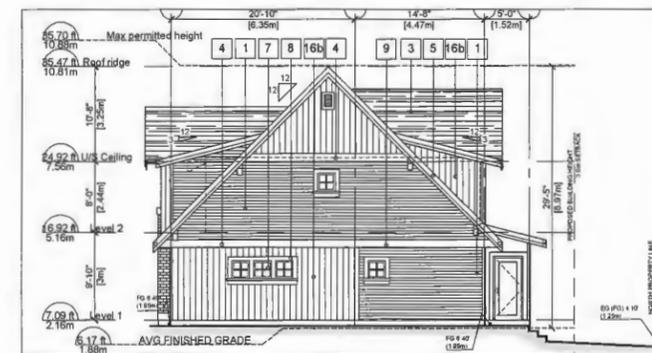
BUILDING 6: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



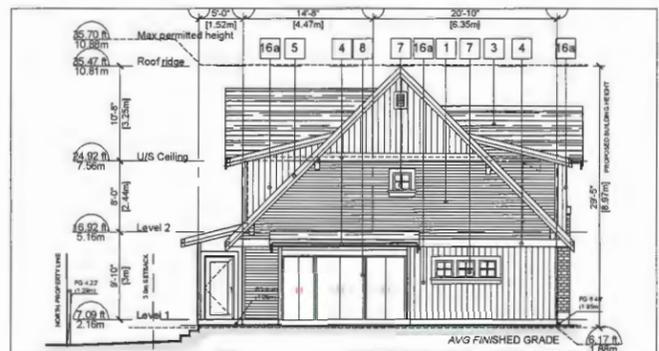
BUILDING 5: NORTH ELEVATION
SCALE: 1/8" = 1'-0"



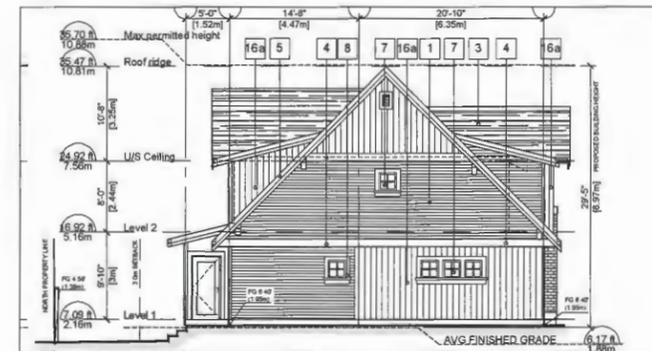
BUILDING 6: EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 5: EAST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 6: WEST ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 5: WEST ELEVATION
SCALE: 1/8" = 1'-0"

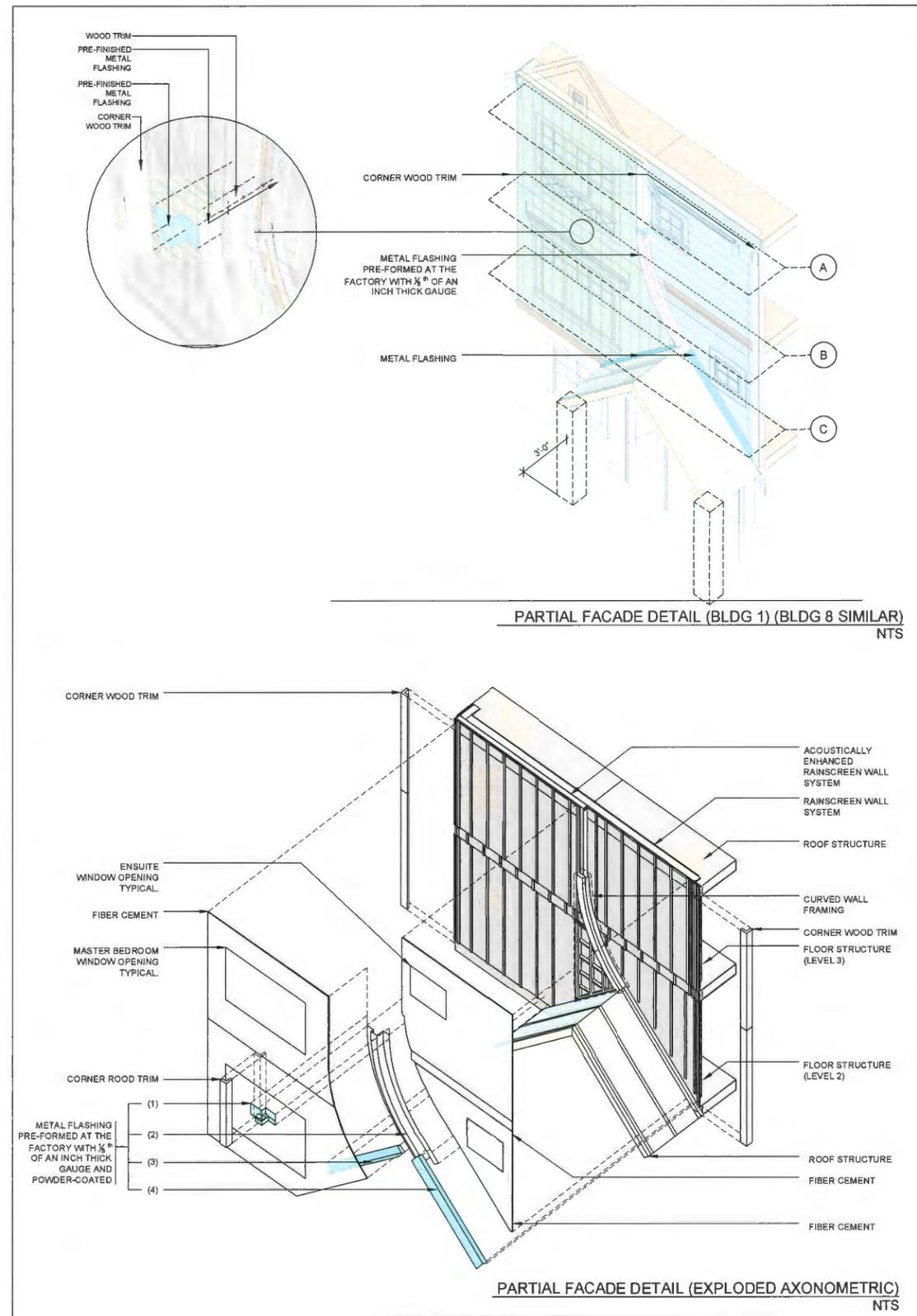
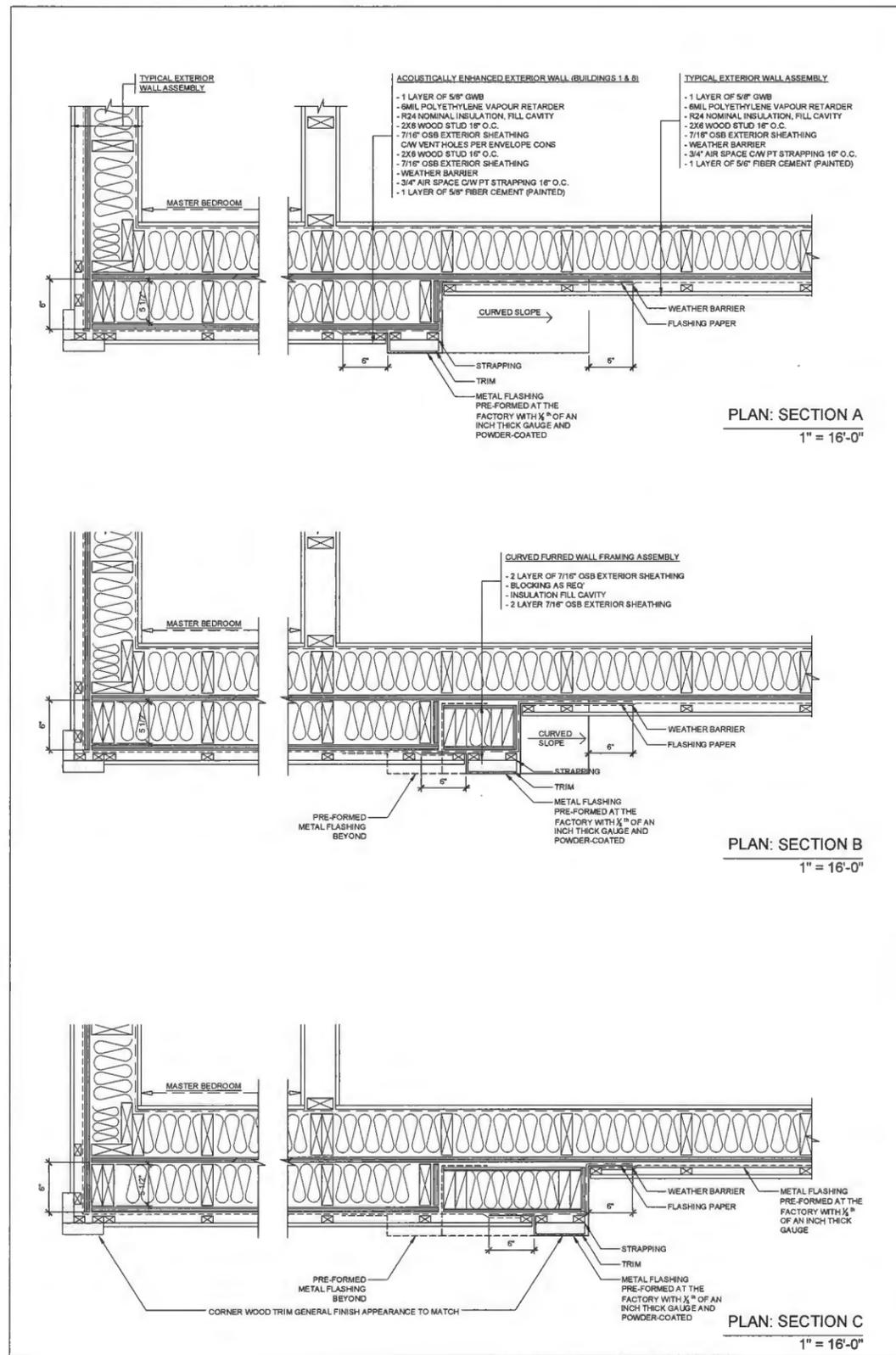
EXTERIOR FINISHES

- 1 HORIZONTAL HARDIE CEDARMILL LAP SIDING
Colour: Arctic White
- 2 BRICK CLADDING
Colour: Endicott-Manganese Ironspot
Velour Modular
- 3 FIBERGLASS ASPHALT ROOF SHINGLES
Colour: Dark Gray (Multicolour, Textured)
- 4 2x10 WOOD TRIM BOARD - PAINTED
Colour: Ultra White (BM CC-10)
- 5 1x4 TRIM BOARD ON 2X8 BARGE BOARD
Colour: Ultra White (BM CC-10)
- 6 WOOD BEAM
Colour: Ultra White (BM CC-10)
- 7 VINYL-FRAMED DOUBLE-GLAZED WINDOWS (Vinyltek or Equivalent)
Colour: White
- 8 2x6 WINDOW TRIM BOARD - PAINTED
Colour: Ultra White (BM CC-10)
- 9 ALUMINUM SURFACE MOUNTED GUTTER
Colour: Kendall Charcoal (BM HC-166)
- 10 ENTRY INSULATED METAL DOOR
Door Colour: Ultra White (BM CC-10)
Glaze Panel: Clear
- 11 OVERHEAD WOOD PANEL GARAGE DOOR
Colour: Ultra White (BM CC-10)
- 12 METAL RAILING
Colour: Black (BM 2132-10)
- 13 DOUBLED GLAZE VINYL SLIDING DOOR (Vinyltek or Equivalent)
Colour: White
- 14 ELECTRICAL ROOM DOOR
Colour: Ultra White (BM CC-10)
- 15 WOOD POST
Colour: Ultra White (BM CC-10)
- 16 HARDIE PANEL VERTICAL SIDING
A: Colour: Concord Ivory (BM HC-12)
B: Colour: Dusty Gray (BM HC-163)
- 18 METAL FLOWER BOX
Colour: Kendall Charcoal (BM HC-166)
- 19 STONE LINTEL

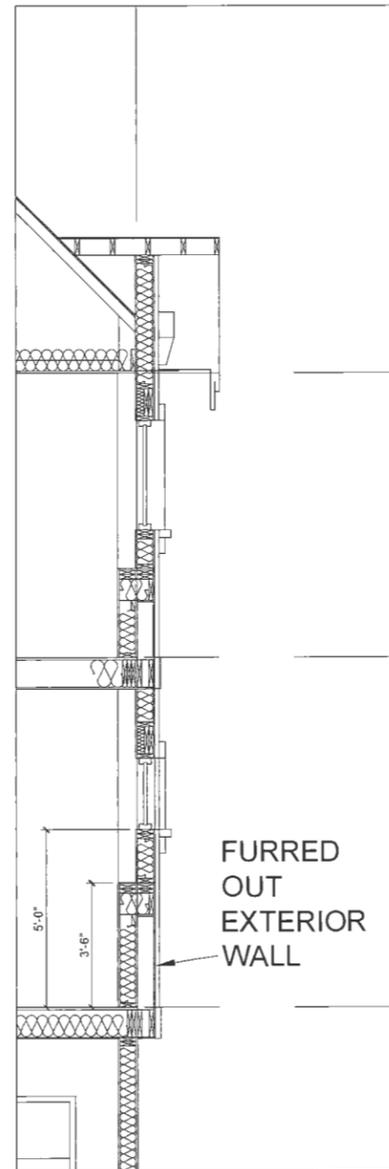
REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 18, 2020	DP RE-SUBMISSION
DEC 10, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
NOV 9, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION
CONSULTANTS	
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PROJECT	
Proposed 24-Unit Townhouse Development 10571-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	
1904BRID	
SCALE	
As Noted	
DATE	
Apr. 15, 2017	
DRAWN BY	
KYC, HD, AL	
CHECKED BY	
KYC	
SHEET TITLE	
ELEVATIONS: BUILDING 5 & 6	
DRAWING	
A3.8	

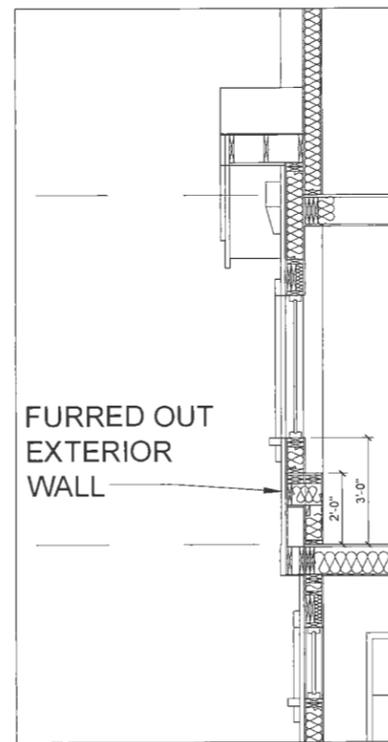


REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2018	DP RE-SUBMISSION
NOV 9, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION
CONSULTANTS	
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SEAL	
<p>INTERFACE: Suite 230 11500 Cambie Road Richmond BC Canada V6X 3Z5 T 604 821 1162 F 604 821 1146 www.interfacearchitecture.com</p>	
PROJECT	
Proposed 24-Unit Townhouse Development 10571-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	
1904BRID	
SCALE	
REF TO DRAWING	
DATE	
Apr. 15, 2017	
DRAWN BY	
KYC, HD, AL, XY	
CHECKED BY	
KYC	
SHEET TITLE	
CURVED FLASHING & FURRED EXT WALLS DETAIL (BLDG 1 & 8)	
DRAWING	
A4.1	



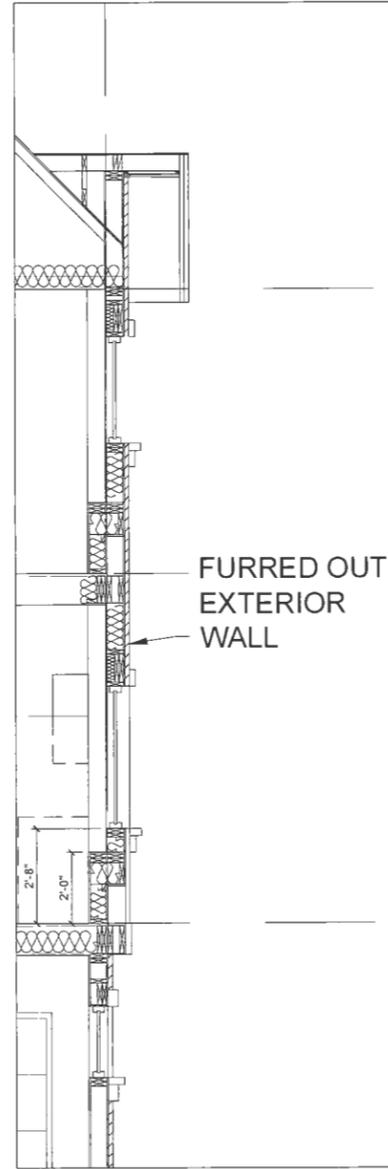
BOX WINDOWS ON THE WEST ELEVATION OF BUILDING 1 (EAST ELEVATION OF BUILDING 8 SIM.)

1/2" = 1'-0"



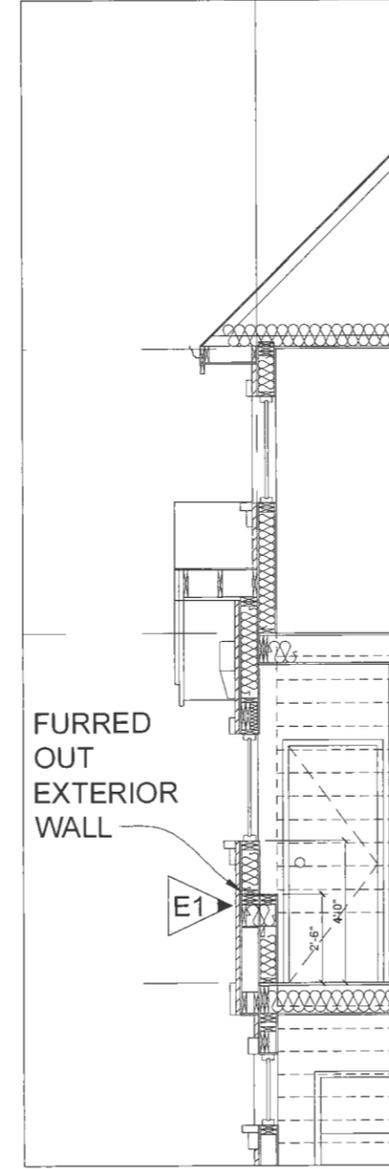
BOX WINDOW ON THE EAST ELEVATION OF BUILDING 1 (WEST ELEVATION OF BUILDING 8 SIM.)

1/2" = 1'-0"



BOX WINDOW ON THE WEST ELEVATION OF BUILDING 2 (EAST ELEVATION OF BUILDING 7 SIM.)

1/2" = 1'-0"



BOX WINDOW ON THE EAST ELEVATION OF BUILDING 2 (WEST ELEVATION OF BUILDING 7 SIM.)

1/2" = 1'-0"

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 28, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
NOV 8, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
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INTERFACE:

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PROJECT

Proposed 24-Unit
Townhouse Development
10671-10751 BRIDGEPORT RD.
Richmond, B.C.

PROJECT NO.
1904BRID

SCALE
As Noted

DATE
Apr. 15, 2017

DRAWN BY
KYC, HD, AL, XY

CHECKED BY
KYC

SHEET TITLE
FRAMING DETAIL OF
BOX WINDOWS

DRAWING

A4.2



STREETSCAPE 1 - ALONG BRIDGEPORT RD (LOOKING NORTH)
Scale: 3/32"=1'-0"



STREETSCAPE 2: ALONG THE SOUTH PART OF INNER DRIVING AISLE LOOP (LOOKING NORTH)
Scale: 3/32"=1'-0"



STREETSCAPE 3 - ALONG THE NORTH PART OF INNER DRIVING AISLE LOOP (LOOKING SOUTH)
Scale: 3/32"=1'-0"



SITE SECTION A - THRU AMENITY AREA/WALKWAY (LOOKING WEST)
Scale: 3/32"=1'-0"

REVISIONS	
JULY 20, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 18, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
NOV 9, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION

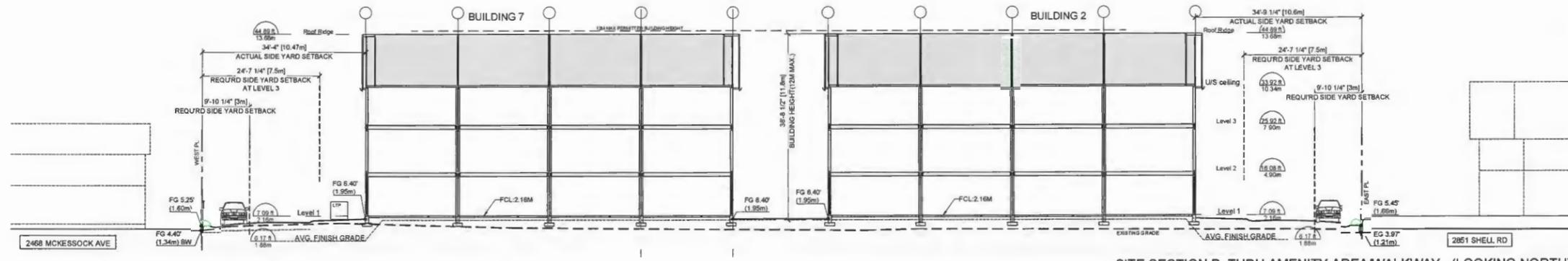
CONSULTANTS

INTERFACE:
Suite 230
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www.interfacearchitecture.com

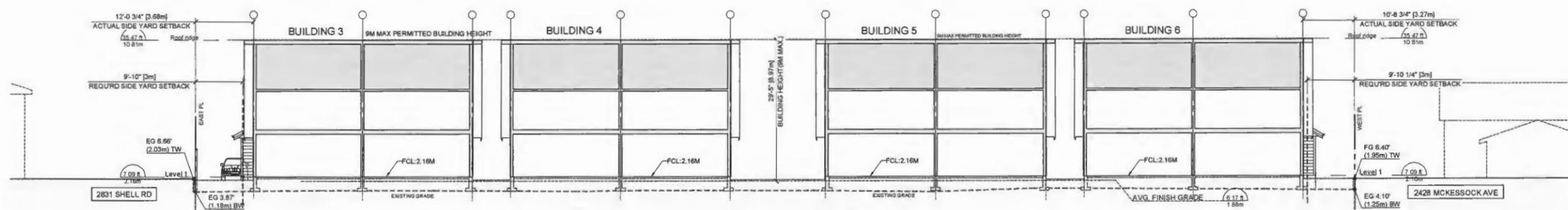
PROJECT
Proposed 24-Unit
Townhouse Development
10671-10751 BRIDGEPORT RD.
Richmond, B.C.

PROJECT NO.
1904BRID
SCALE
As Noted
DATE
Apr. 15, 2017
DRAWN BY
KYC, HD
CHECKED BY
KYC
SHEET TITLE
STREETSCAPE 1, 2 & 3
AND SITE SECTION A
DRAWING

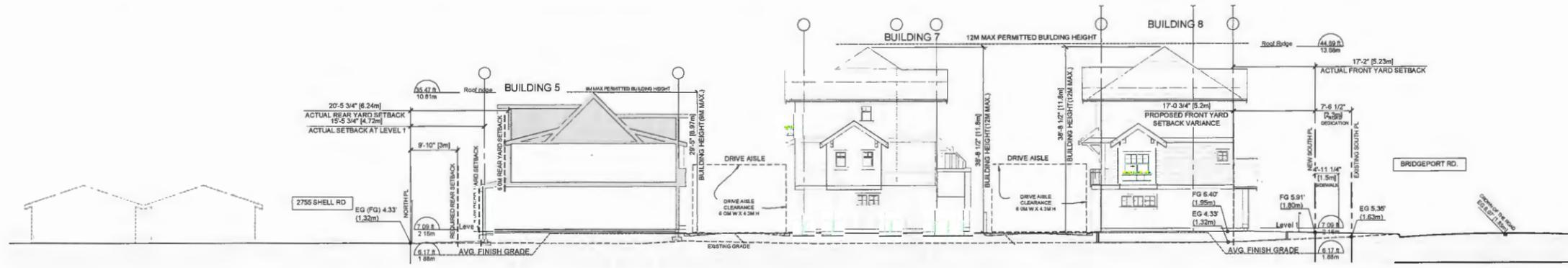
A5.1



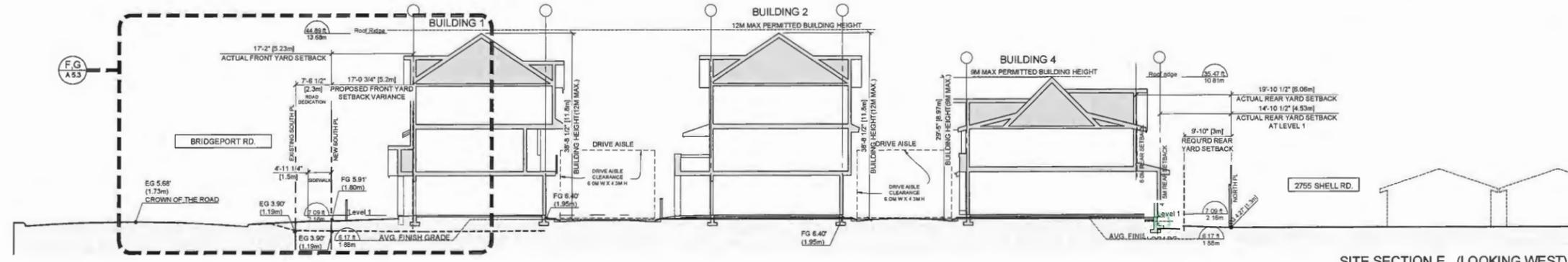
SITE SECTION B: THRU AMENITY AREA/WALKWAY (LOOKING NORTH)
Scale: 3/32"=1'-0"



SITE SECTION C (LOOKING SOUTH)
Scale: 3/32"=1'-0"



SITE SECTION D (LOOKING EAST)
Scale: 3/32"=1'-0"



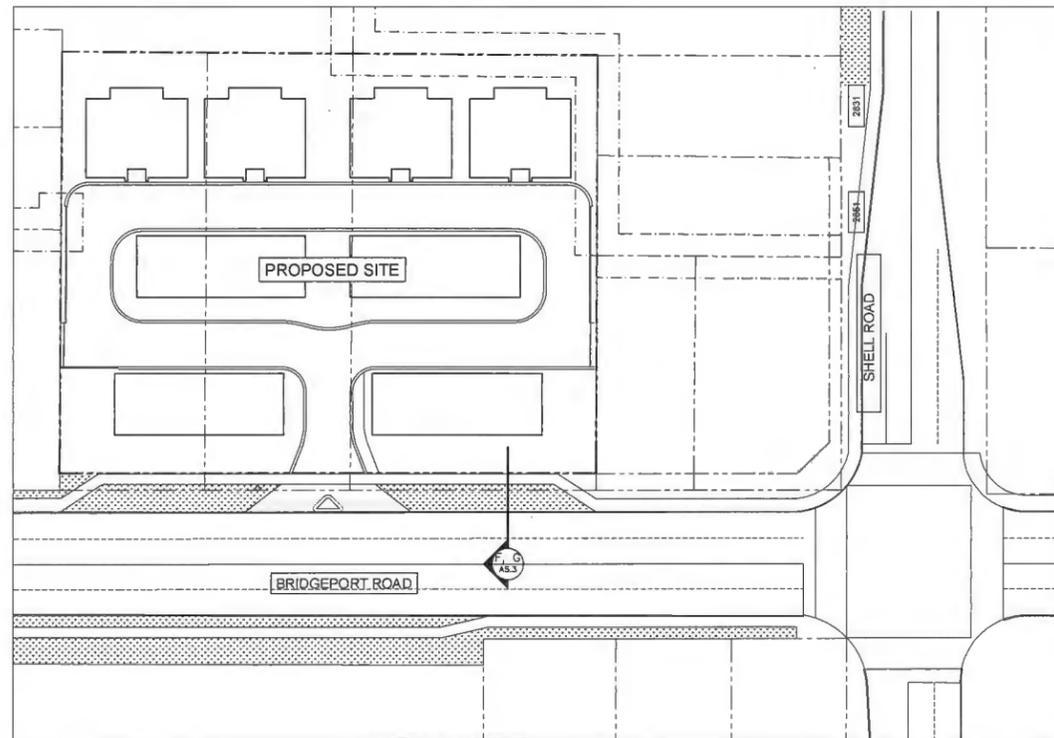
SITE SECTION E (LOOKING WEST)
Scale: 3/32"=1'-0"

DP18-829233 PLAN # 2.H

REVISIONS	
JULY 28, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 18, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
NOV 9, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION
CONSULTANTS	
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SEAL	

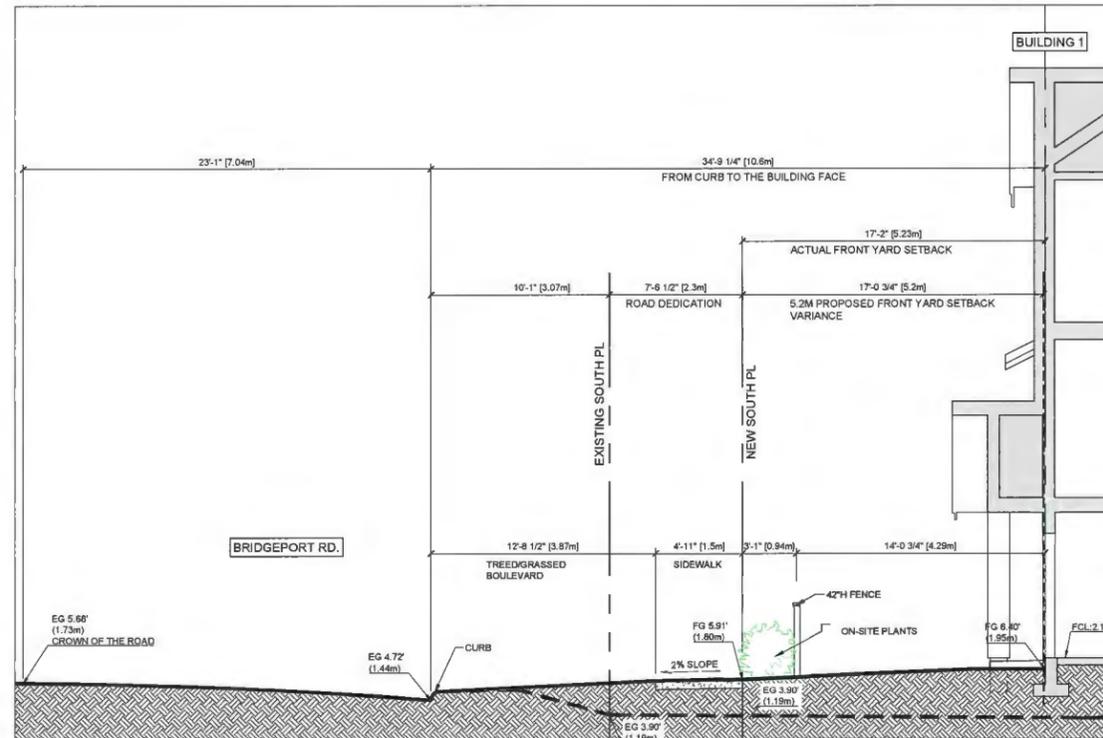
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PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	1904BRID
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD
CHECKED BY	KYC
SHEET TITLE	
SITE SECTIONS B, C, D & E	
DRAWING	
A5.2	



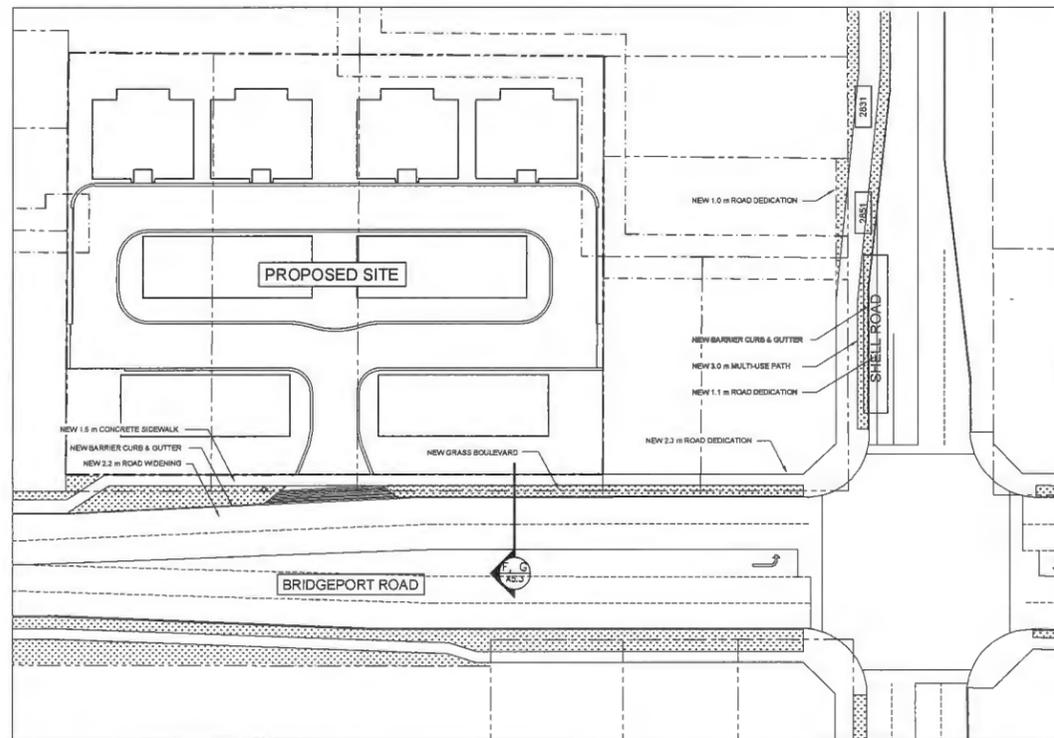
INTERIM CONCEPT ROAD PLAN (NOT FOR CONSTRUCTION; FINAL DESIGN TO BE DETERMINED THROUGH SA)

Scale: 1/32"=1'-0"



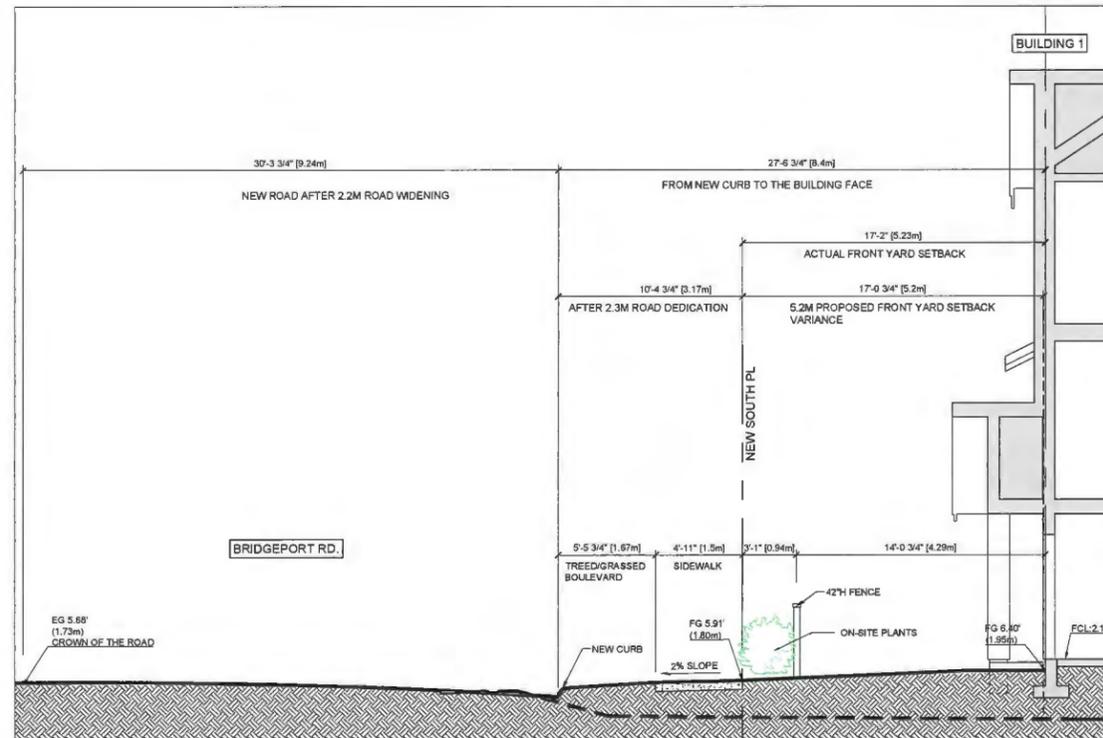
PARTIAL SITE SECTION F: CROSS-SECTION FOR THE INTERIM FRONTAGE CONCEPT

Scale: 1/4"=1'-0"



ULTIMATE CONCEPT ROAD PLAN (NOT FOR CONSTRUCTION; FINAL DESIGN TO BE DETERMINED THROUGH SA)

Scale: 1/32"=1'-0"



PARTIAL SITE SECTION G: CROSS-SECTION FOR THE ULTIMATE FRONTAGE CONCEPT

Scale: 1/4"=1'-0"

DP18-829233 PLAN # 2.1

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
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JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION
CONSULTANTS	
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INTERFACE:
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PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	1904BRID
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD
CHECKED BY	KYC
SHEET TITLE	PARTIAL SITE SECTION F & G: INTERIM AND ULTIMATE FRONTAGE CONCEPT
DRAWING	

A5.3



ALONG BRIDGEPORT RD (LOOKING NORTH-WEST)

N.T.S



ALONG BRIDGEPORT RD (LOOKING NORTH)

N.T.S

REVISIONS	
JULY 28, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
NOV 9, 2018	RZ RE-SUBMISSION
SEPT 21, 2018	RZ RE-SUBMISSION
JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
APRIL 26, 2017	RZ APPLICATION
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PROJECT	Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.
PROJECT NO.	1904BRD
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD
CHECKED BY	KYC
SHEET TITLE	3D VIEWS ALONG BRIDGEPORT FRONTAGE
DRAWING	A6.1



AERIAL VIEW (LOOKING NORTH WEST)
N.T.S.



PERSPECTIVE VIEW OF DUPLEX BUILDINGS (LOOKING NORTH WEST)
N.T.S.



PERSPECTIVE IMAGE - END OF DRIVE AISLE LOOKING WEST
N.T.S.



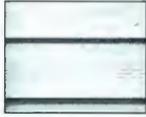
PERSPECTIVE IMAGE - END OF DRIVE AISLE LOOKING EAST
N.T.S.

REVISIONS	
JULY 26, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 16, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
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JULY 16, 2018	DP SUBMISSION
MAY 14, 2018	RE-SUBMISSION
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 www.interfacearchitecture.com

PROJECT	
Proposed 24-Unit Townhouse Development 10571-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	1904BRID
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD
CHECKED BY	KYC
SHEET TITLE	PERSPECTIVES
DRAWING	

A6.2

1	2	3	4 8	5
				
Horizontal Hardie Cedar Mill Lap Siding COLOUR: Arctic White	Brick Cladding COLOUR: Endicott - Manganese Ironspot Velour Modular	Fiberglass Asphalt Roof Shingles COLOUR: Dark Gray (Multicolour, Textured)	Wood Trim Board - painted COLOUR: Ultra White (BM CC-10)	Trim Board on Barge Board COLOUR: Ultra White (BM CC-10)
9	10 11 14	16a	16b	18
				
Aluminum Surface Mounted Gutter COLOUR: Kendall Charcoal (BM HC-166)	Doors COLOUR: Ultra White (BM CC-10)	Hardie Panel Vertical Siding COLOUR: Concord Ivory (BM-HC-12)	Hardie Panel Vertical Siding COLOUR: Duxbury Gray (BM-HC-163)	Metal Flower Box Frame COLOUR: Kendall Charcoal (BM HC-166)
6 15	7 13	12	19	
				
Wood Beams & Posts COLOUR: Ultra White (BM CC-10)	Vinyl-Framed Double-Glazed Windows or Sliding Doors (Vinyltek or Equivalent) COLOUR: White	Metal Railing COLOUR: Black (BM 2132-10)	Stone Lintel	



BUILDING 1: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

REVISIONS	
JULY 26, 2021	DP RE-SUBMISSION
MAR 28, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
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MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION
CONSULTANTS	
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BUILDING 1: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



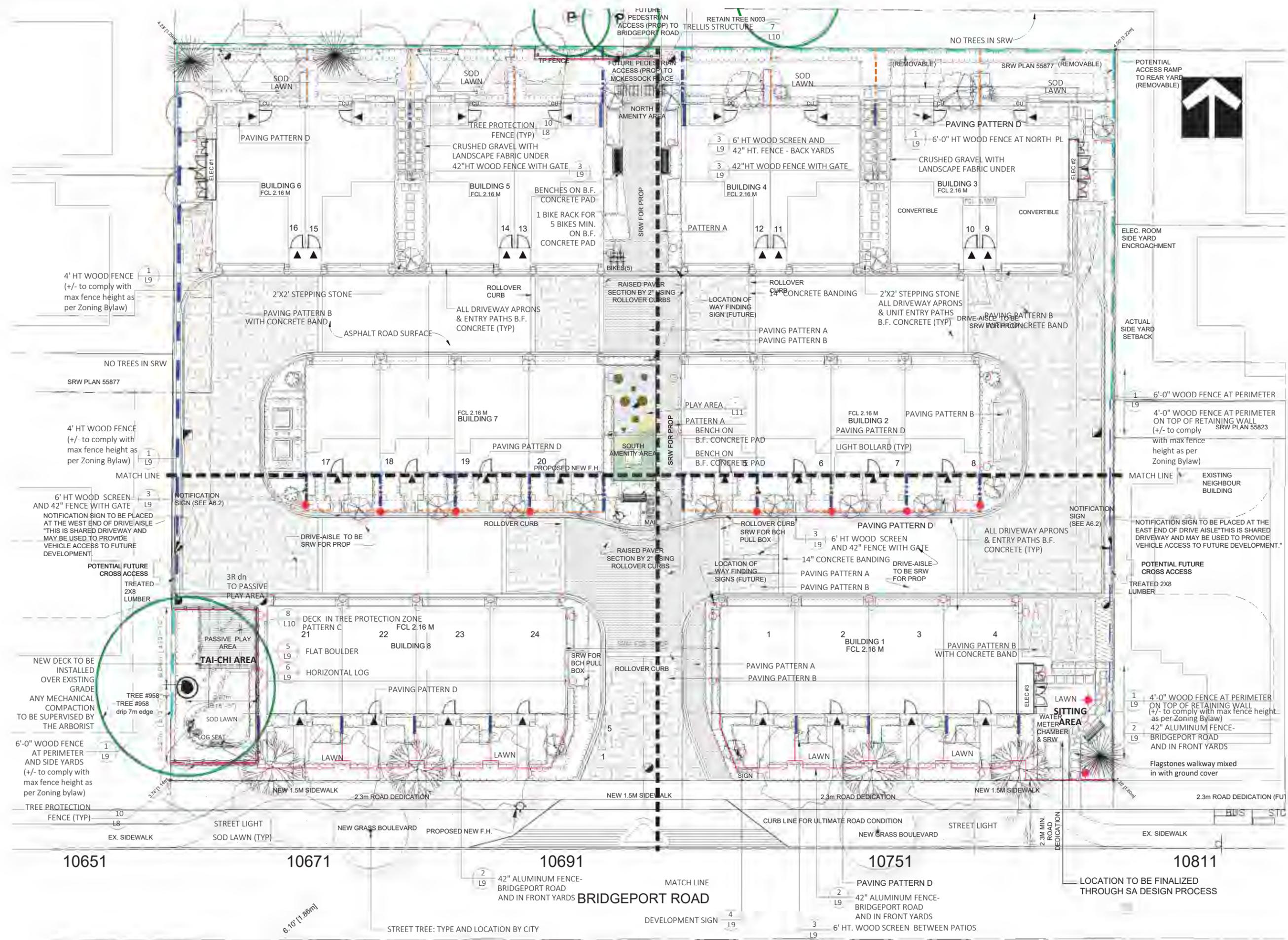
BUILDING 2: SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

DP18-829233 PLAN # 2.L

INTERFACE
 Suite 230
 11590 Cambie Road
 Richmond BC
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PROJECT	
Proposed 24-Unit Townhouse Development 10571-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	
1904BRID	
SCALE	
As Noted	
DATE	
Apr. 15, 2017	
DRAWN BY	
KYC, HD	
CHECKED BY	
KYC	
SHEET TITLE	
EXTERIOR MATERIAL & COLOUR	
DRAWING	
A9.1	

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
15	21.JUL.26	REVISION AS PER CITY COMMENTS	DD
14	21.MAR.26	NEW SITE & CIVIL PLANS	DD
13	21.FEB.25	NEW SITE PLAN & CITY COMMENTS	DD
11	20.AUG.18	NEW SITE PLAN	DD
10	20.JUL.15	NEW SITE CIVIL PLANS AND CITY COMMENTS	DD
9	19.NOV.27	NEW SITE PLAN	DD
8	19.SEP.13	NEW SITE PLAN	DD
7	19.AUG.23	NEW SITE PLAN	DD
6	18.NOV.09	REV. PER ARCH. COMMENTS	DD
5	18.NOV.08	REV. PER CITY COMMENTS	BJ
4	18.SEP.20	PRELIMINARY SUBMISSION TO CONSULTANTS	BJ
-	18.JUL.16	ISSUED FOR DP	DD
3	18.MAY.11	REVISION AS PER CITY REQUEST	DD
2	18.MAY.11	NEW SITE PLAN/ R2 RESUBMISSION	DD
1	17.MAY.04	R2 Application	DD

CLIENT: MFL Development Ltd'

PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT
10671-10751 BRIDGEPORT ROAD
RICHMOND

DP 18-829233 PLAN
DRAWING TITLE:
LANDSCAPE PLAN

DATE: April 27, 2017 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: MCY OF 12

PMG PROJECT NUMBER: 17-036

PLANT SCHEDULE				PMG PROJECT NUMBER: 17-036
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
+	2	STREET TREE	LOCATION AND TYPE BY CITY	7CM CAL; 2M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE				PMG PROJECT NUMBER: 17-036
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
	5	ACER GRISEUM	PAPERBARK MAPLE	6CM CAL; 1.8M STD; B&B
	1	ACER PALMATUM 'ATROPURPUREUM'	RED JAPANESE MAPLE	3.5M HT MULTISTEM; B&B
	2	AMELANCHIER C.'SNOWCLOUD'	SNOWCLOUD SERVICEBERRY	6CM CAL; 1.8M HT; B&B
	5	CHAMAECYPARIS NOOTK. 'VAN DEN AKKER'	VAN DEN AKKER NOOTKA CYPRESS	4.0M HT; B&B
	4	FAGUS SYLVATICA 'DAWYCKII PURPLE'	PURPLE FASTIGIATE BEECH	6CM CAL; 1.8M STD; B&B
	2	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	10CM CAL; 2M STD; B&B
	4	LIQUIDAMBAR ST. 'SLENDER SILHOUETTE'	SLENDER SILHOUETTE SWEET GUM	6CM CAL; 2M STD; B&B
	3	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMIDAL LIMBER PINE	5.0M HT; B&B
	12	PRUNUS SERRULATA 'AMANOGAWA'	AMANOGAWA CHERRY	6CM CAL; 1.5M STD; B&B
	2	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	10CM CAL; 2.0M STD; B&B
	2	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	9CM CAL; 2M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE				PMG PROJECT NUMBER: 17-036
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
AB	34	ABELIA X 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	#3 POT
AL	10	AUCUBA JAPONICA 'MR. GOLDSTRIKE'	MR. GOLDSTRIKE AUCUBA	#3 POT; 50CM
AR	16	AUCUBA JAPONICA 'ROZANNIE'	ROZANNIE AUCUBA	#3 POT; 50CM
BC	8	BERBERIS THUNBERGII 'MONOMB'	CHERRY BOMB BARBERRY	#3 POT
B	211	BUXUS SEMPERVIRENS 'GREEN VELVET'	GREEN VELVET BOXWOOD	#3 POT
H	16	HYDRANGEA M. 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA	#3 POT; 80CM
LG	5	HYDRANGEA PANICULATA 'LITTLE QUICK FIRE'	LITTLE QUICK FIRE HYDRANGEA	#3 POT
SPH	7	ILEX 'SKY PENCIL'	SKY PENCIL HOLLY	1.2M HT, B&B
IB	86	ILEX CORNUTA 'BURFORDII'	BURFORD HOLLY	#3 POT; 60CM
M	6	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY*	#3 POT; 50CM
P	23	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT; 50CM
R	10	RHODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHODODENDRON	#3 POT; 50CM
R4	4	RHODODENDRON 'HOTEI'	HOTEI RHODODENDRON	#2 POT; 30CM
R2	2	RHODODENDRON 'NAOMI'	NAOMI RHODODENDRON	#3 POT; 50CM
R3	2	RHODODENDRON 'P.J.M. ELITE'	P.J.M. ELITE RHODODENDRON	#3 POT
R5	21	ROSA 'KNOCKOUT RADRAZZ'	RADRAZZ KNOCKOUT ROSE	#3 POT
R6	40	ROSA MEIDELAND 'MEIMODAC'	ROYAL BONICA ROSE	#2 POT; 40CM
R7	15	SARCOCOCCA HOOKERANA 'RUSCIFOLIA'	FRAGRANT SARCOCOCCA	#2 POT
R8	17	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM
R9	57	SKIMMIA REEVESIANA	DWARF SKIMMIA	#2 POT
S	5	SPIRAEA X BUMALDA 'LIMEMOUND'	LIMEMOUND SPIREA	#3 POT
TD	14	TAXUS X MEDIA 'DENSIFORMIS'	DWARF YEW	#3 POT, SHEARED
T	126	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.2M HT, B&B
TH	29	THUJA OCCIDENTALIS 'FASTIGIATA'	PYRAMIDAL CEDAR	1.8M HT, B&B
U	4	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2.5M HT; B&B
V	3	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#3 POT
V2	2	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	1.0M HT, B&B; TREE FORM
GRASS				
KF	100	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHEREED GRASS	#2 POT, HEAVY
HA	221	HAKONECHLOA MACRA 'ALLGOLD'	ALLGOLD JAPANESE FOREST GRASS	#1 POT
GP	74	PENNISSETUM ALOPECUROIDES 'HAMLIN'	DWARF FOUNTAIN GRASS	#1 POT; HEAVY
PERENNIAL				
HE	12	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	#1 POT; 1-2 FAN
BE	4	HEUCHERA 'PALACE PURPLE'	PALACE PURPLE CORAL BELLS	15CM POT
L	128	LIRIOPE MUSCARI	BLUE LILY-TURF	#1 POT
OH	39	MATTEUCIA STRUTHIOPTERIS	OSTRICH FERN	#2 POT
OH1	32	NEPETA RACEMOSA 'WALKER'S LOW'	WALKER'S LOW CATMINT	#1 POT
OH4	32	STACHYS BYZNATINA	LAMB'S EAR	#1 POT
GC				
X	90	ADIANTUM PEDATUM	MAIDENHAIR FERN	#2 POT; 35CM
EP	34	EUONYMUS JAPONICA 'EMERALD GAITY'	EMERALD GAITY EUONYMUS	#1 POT; 25CM
G	5	GAULTHERIA SHALLON	SALAL*	#1 POT; 20CM
F	102	POLYSTICHUM MUNITUM	WESTERN SWORD FERN*	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
- All soft landscape areas to be irrigated with automatically nstallation to I.I.A.B.C. Standards, latest edition.

PAVING PATTERN KEY

PATTERN A: ROADWAY/ SIDEWALK
 PAVER: 'ECO PRIORI' PERMEABLE PAVERS, 80mm TH
 SUPPLIER: MUTUAL MATERIALS
 COLOUR: CHARCOAL
 PATTERN: RUNNING BOND, ALIGNED AS SHOWN

PATTERN B: ROADWAY/ VISITOR PARKING
 PAVER: 'ECO PRIORI' PERMEABLE PAVERS, 80mm TH
 SUPPLIER: MUTUAL MATERIALS
 COLOUR: SUMMIT BLEND
 PATTERN: COMBINATION #2, ALIGNED AS SHOWN

PATTERN C: DECK

PATTERN D: PATIOS
 PAVER: VANCOUVER BAY ARCHITECTURAL SLABS 24X24
 SUPPLIER: MUTUAL MATERIALS
 COLOUR: NATURAL
 PATTERN: STACKED BOND, ALIGNED AS SHOWN

PAVING MATERIAL NOTES:

- INTERNAL ROADWAY TO BE ASPHALT UNLESS NOTED OTHERWISE.
- UNIT ENTRY PATHWAYS AND INTERNAL DRIVEWAY APRONS TO BE BROOM FINISH CONCRETE, UNLESS NOTED OTHERWISE.

FENCE PATTERN KEY

42"HT ALUMINUM FENCE AND GATE - BRIDGEPORT AVENUE (2 L9)

6' HT WOOD SCREEN (3 L9)

42" HT. FENCE - INTERNAL STREET AND BACK YARDS (3 L9)

6'-0" HT WOOD FENCE AT PERIMETER (1 L9)

4'-0" HT WOOD FENCE AT PERIMETER (+/- to comply with max fence height as per Zoning Bylaw) (1 L9)

RETAINING WALL



MODENA PARK BENCH; MODEL NUMBER: MAL-5
 BY WISHBONE SITE FURNISHINGS
 ALUMINUM METAL SLATS, POWDER COAT BLACK
 LONG LASTING STAINLESS STEEL HARDWARE



SURF BIKE RACK; SFBRGP-5
 BY WISHBONE SITE FURNISHINGS
 POWDER COAT BLACK METAL
 PHONE: 604 626 0476

NOTE: ALL BENCHES AND BIKE RACKS TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS, SURFACE MOUNTED, ON MIN. 3" THICK B.F. CONCRETE PAD.

SITE LIGHTING LEGEND		
		WALL MOUNTED COMPACT LED LIGHT. OPAL LENS, SUITABLE FOR EXTERIOR USE.
		42"H LED BOLLARDS, ROUND, DARK BRONZE FINISH, LOUVRED & GLASS LENS. MOUNT ON 9"DIA x 36"DEEP CONCRETE BASE WITH ANCHOR BOLTS.

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
15	21.JUL.26	REVISION AS PER CITY COMMENTS	DD
14	21.MAR.26	NEW SITE& CIVIL PLANS	DD
13	21.FEB.25	NEW SITE PLAN & CITY COMMENTS	DD
11	20.AUG.18	NEW SITE PLAN	DD
10	20.JUL.15	NEW SITE&CIVIL PLANS AND CITY COMMENTS	DD
9	19.NOV.27	NEW SITE PLAN	DD
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6	18.NOV.09	REV. PER ARCH. COMMENTS	DD
5	18.NOV.08	REV. PER CITY COMMENTS	BJ
4	18.SEP.20	PRELIMINARY SUBMISSION TO CONSULTANTS	BJ
-	18.JUL.16	ISSUED FOR DP	DD
3	18.MAY.11	REVISION AS PER CITY REQUEST	DD
2	18.MAY.11	NEW SITE PLAN/ R2 RESUBMISSION	DD
1	17.MAY.04	R2 Application	DD

CLIENT: MFL Development Ltd'

PROJECT: 24 UNIT TOWNHOUSE DEVELOPMENT

10671-10751 BRIDGEPORT ROAD
 RICHMOND

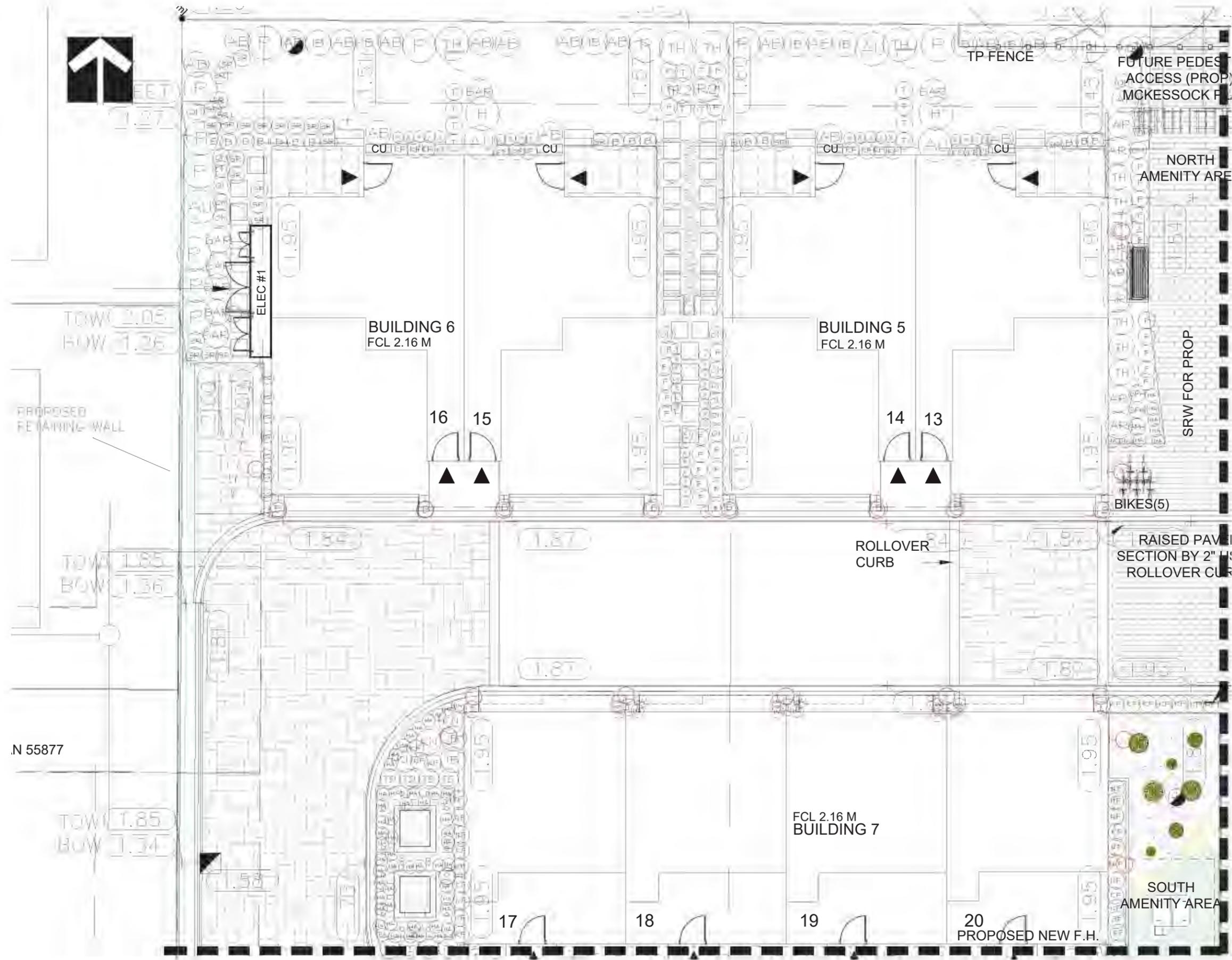
DP 18-829233 PLAN
 DRAWING TITLE:

PLANT SCHEDULE AND KEY PLAN

DATE: April 27, 2017 DRAWING NUMBER:
 SCALE:
 DRAWN: DD
 DESIGN: DD
 CHKD: MCY OF 12

L2

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
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14	21.MAR.26	NEW SITE & CIVIL PLANS	DD
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CLIENT: MFL Development Ltd'

PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT

10671-10751 BRIDGEPORT ROAD
RICHMOND

DP 18-829233 PLAN
DRAWING TITLE:

PLANTING AND GRADING PLAN

DATE: April 27, 2019 DRAWING NUMBER:

SCALE: 3/16"=1'-0"

DRAWN: DD

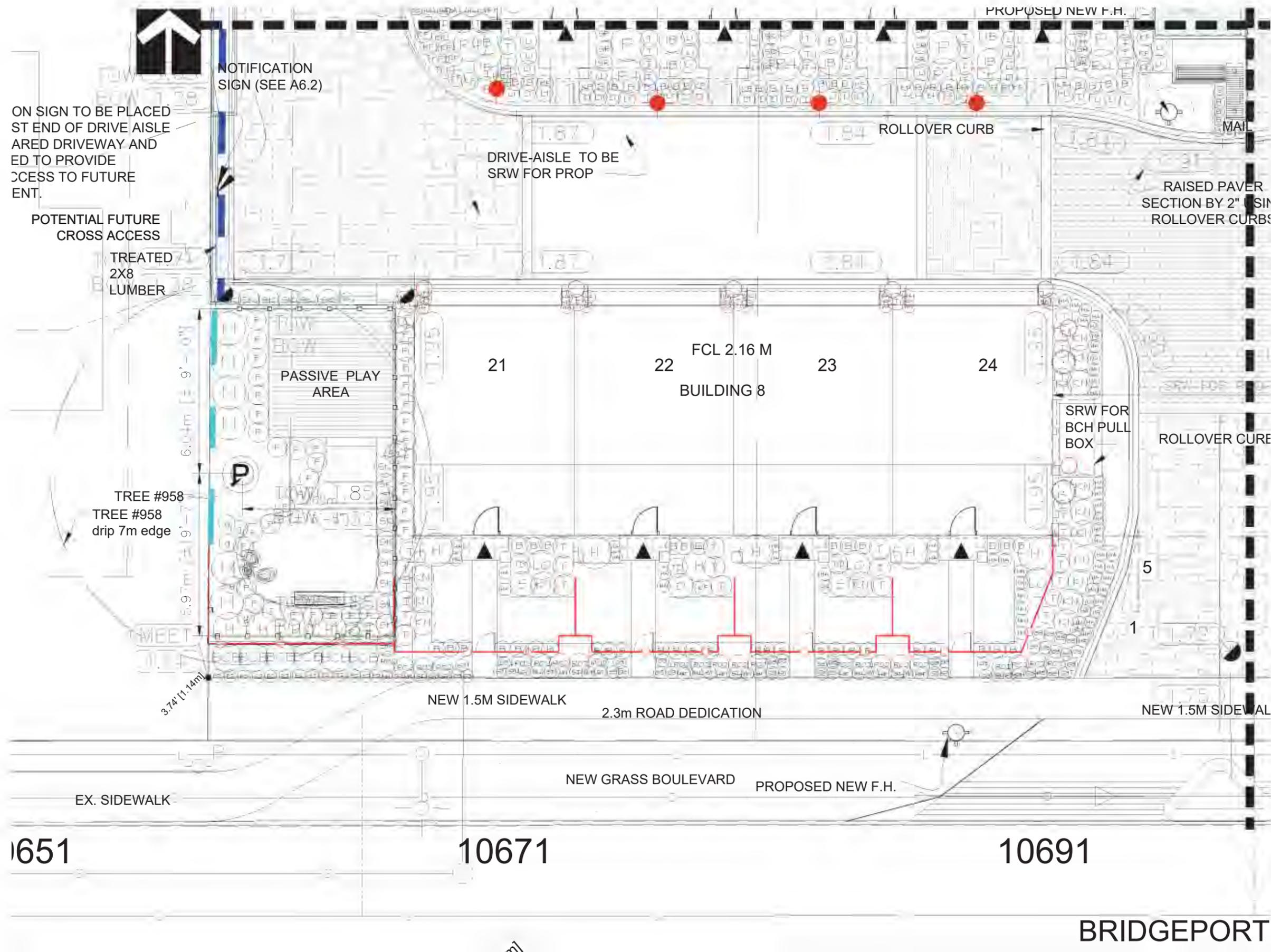
DESIGN: DD

CHKD: MCY

L3

OF 12

SEAL:



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14	21.MAR.26	NEW SITE & CIVIL PLANS	DD
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CLIENT: MFL Development Ltd'

PROJECT:
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10671-10751 BRIDGEPORT ROAD
RICHMOND

DP 18-829233 PLAN
DRAWING TITLE:
PLANTING AND GRADING PLAN

DATE: April 27, 2019 DRAWING NUMBER:
SCALE: 3/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: MCY

L4
OF 12

RIAN
ROP) TO
RT ROAD

RETAIN TREE N003

RIAN
OP) TO
PLACE

REA

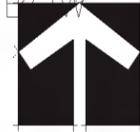
AR
USING
URBS

SRW FOR PROP

(REMOVABLE)

SRW PLAN 55877 (REMOVABLE)

POTENTIAL
ACCESS RAMP
TO REAR YARD
(REMOVABLE)

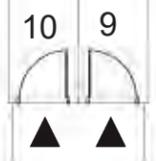
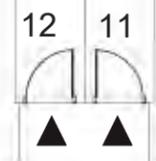


BUILDING 4
FCL 2.16 M

BUILDING 3
FCL 2.16 M

CONVERTIBLE

CONVERTIBLE



ELEC. ROOM
SIDE YARD
ENCROACHMENT

EXISTING
RETAINING WALL
TOW = 2.00'

LOCATION OF
WAY FINDING
SIGN (FUTURE)

ROLLOVER
CURB

DRIVE-AISLE TO BE
SRW FOR PROP

ACTUAL
SIDE YARD
SETBACK

FCL 2.16 M
BUILDING 2

5

6

7

8

PROPOSED
RETAINING WALL

EXIS

DP 18-829233 PLAN # 3.E

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CLIENT: MFL Development Ltd'

PROJECT:
**24 UNIT TOWNHOUSE
DEVELOPMENT**

10671-10751 BRIDGEPORT ROAD
RICHMOND

DP 18-829233 PLAN
DRAWING TITLE:

**PLANTING AND
GRADING PLAN**

DATE: April 27, 2025
DRAWING NUMBER:

SCALE: 3/16"=1'-0"

DRAWN: DD

DESIGN: DD

CHKD: MCY

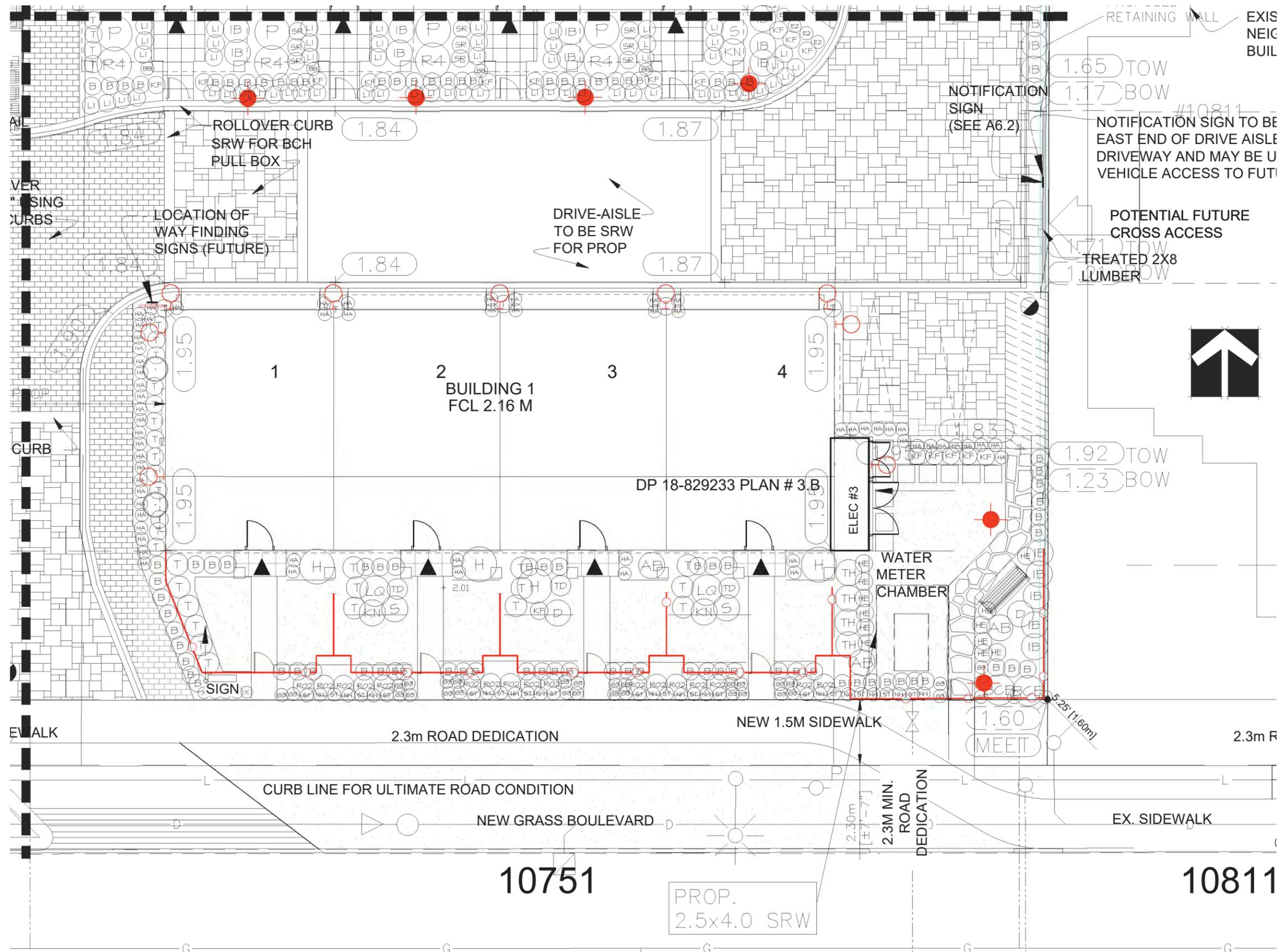
L5

OF 12

PMG PROJECT NUMBER:

17-036

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
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CLIENT: MFL Development Ltd

PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT

10671-10751 BRIDGEPORT ROAD
RICHMOND

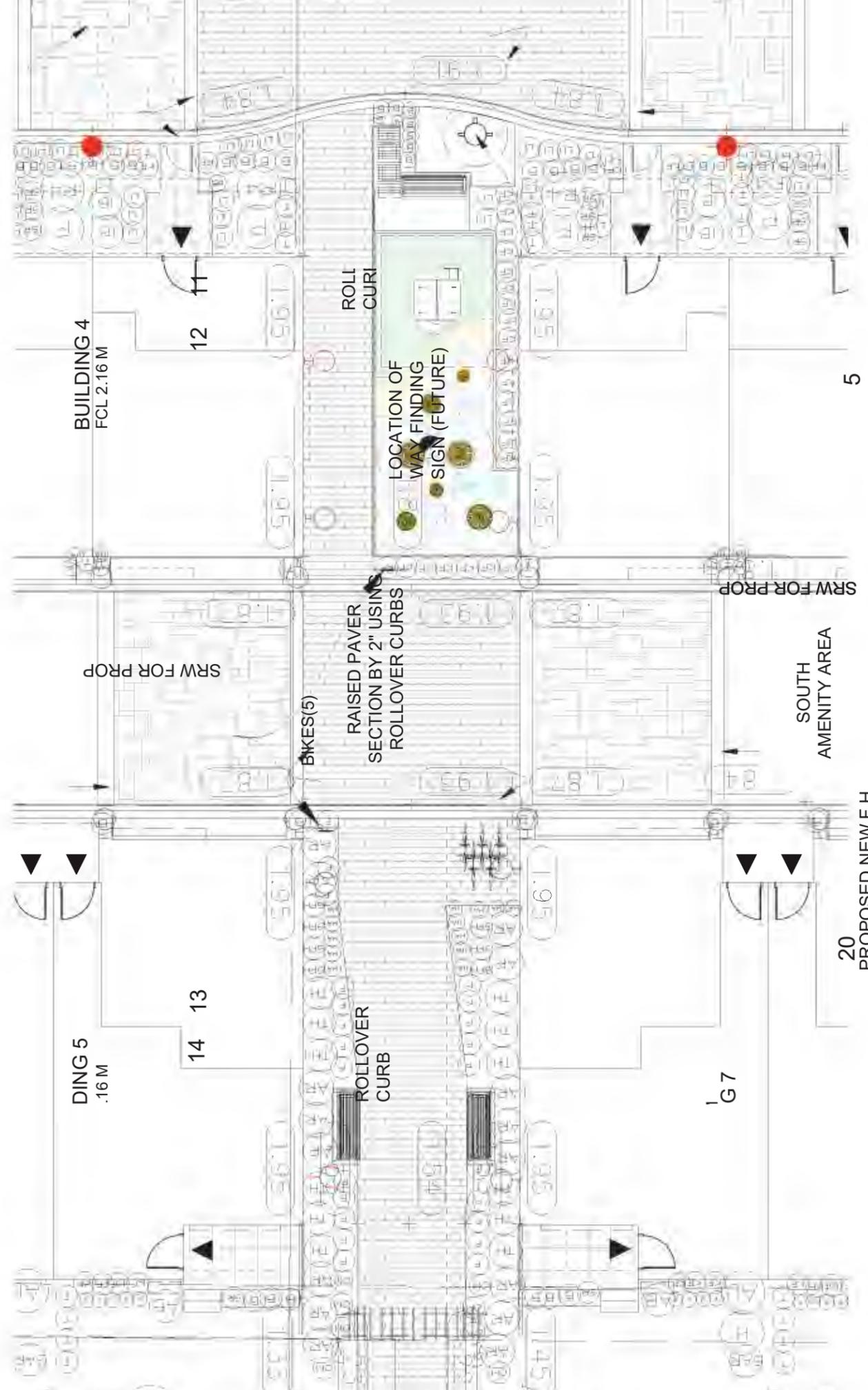
DP 18-829233 PLAN
DRAWING TITLE:
PLANTING AND GRADING PLAN

DATE: April 27, 2019 DRAWING NUMBER:
SCALE: 3/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: MCY

L6

OF 12

SEAL:



RETAIN TREES N001, N002

FUTURE PEDESTRIAN ACCESS (PROP) TO BRIDGEPORT ROAD

RETAIN TREE N003

TP FENCE

FUTURE PEDESTRIAN ACCESS (PROP) TO MCKESSOCK PLACE

CURB

CURB

NORTH AMENITY AREA

SOUTH AMENITY AREA

ROLLOVER CURB

MAIL

ROLLOVER CL SRW FOR BCH PULL BOX

RAISED PAVER SECTION BY 2" USING ROLLOVER CURBS

LOCATION OF WAY FINDING SIGNS (FUTURE)

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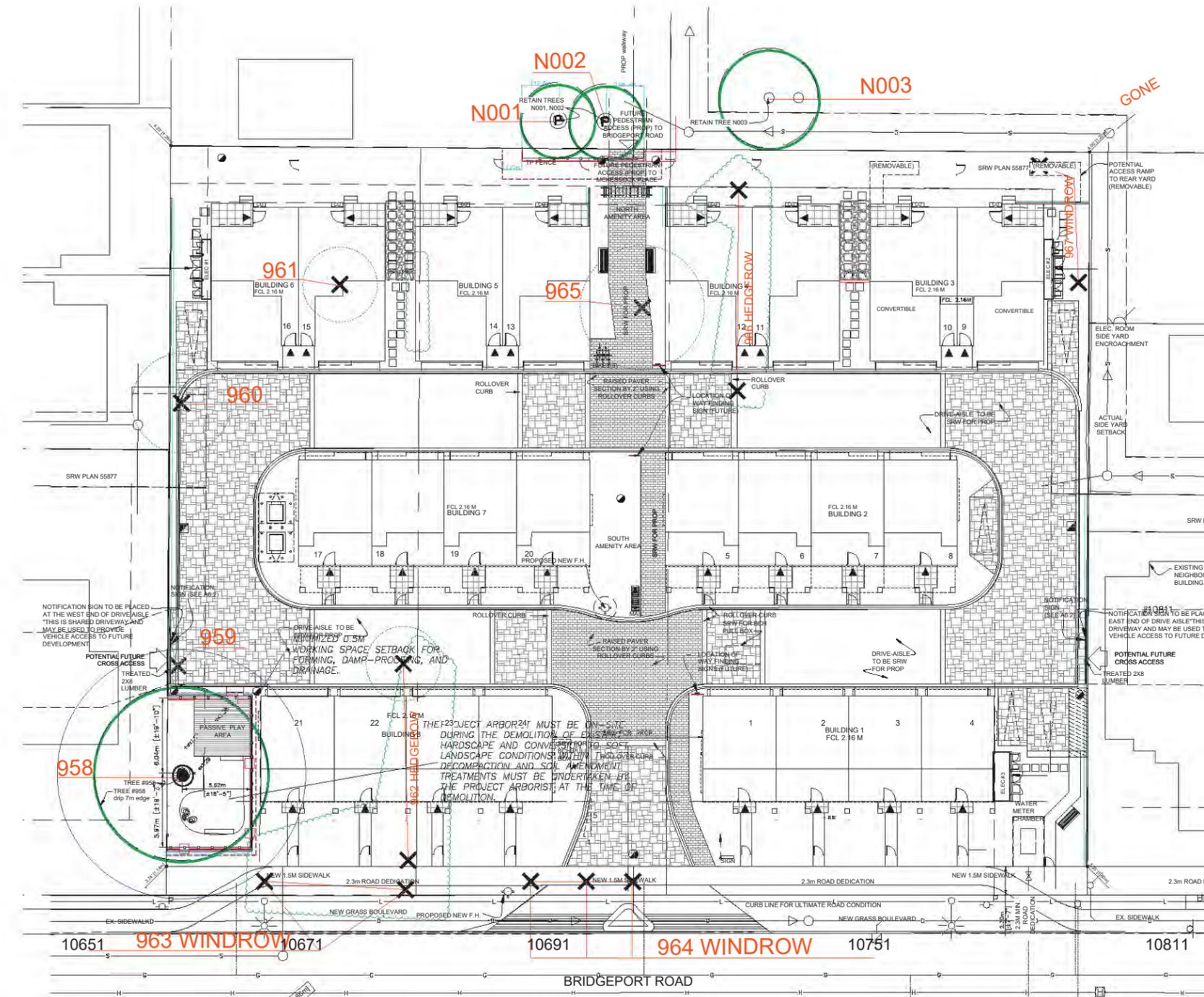
PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT
 10671-10751 BRIDGEPORT ROAD
 RICHMOND

DP 18-829233 PLAN
 DRAWING TITLE:
PLANTING AND GRADING PLAN

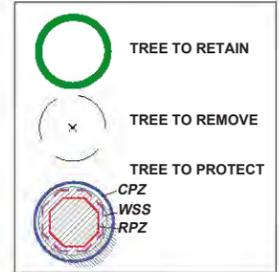
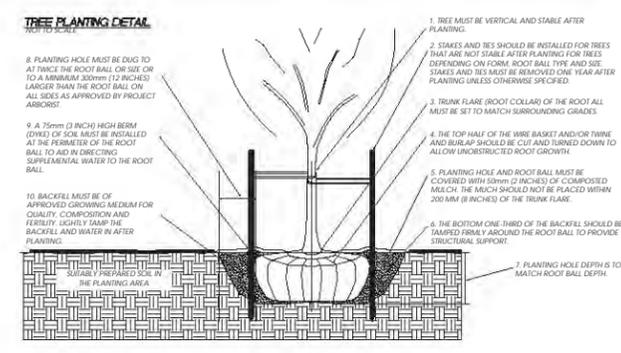
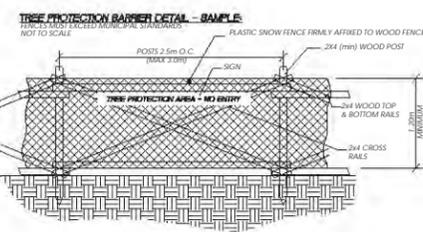
DATE: April 27, 2019 DRAWING NUMBER:
 SCALE: 3/16"=1'-0"
 DRAWN: DD
 DESIGN: DD
 CHKD: MCY

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OF 12



NOTE: FOR ALL TREE PROTECTION AND MANAGEMENT PROTOCOLS AND SPECIFICATIONS, REFER TO ARBORTECH CONSULTING REPORT #17177. TEL: 604-275-3484



Tag or ID:	Dbh (cm): 83	Species: Douglas-fir (<i>Pseudotsuga menziesii</i>)	Struc Class: Open	Condition: Fair
958	Spread Rad (m): 9	Age Class: Mature	Ownership: On-Site	
	Height (m): 23			
Tag or ID:	Dbh (cm): 15,14,13,10,10	Species: Golden chain (<i>Laburnum</i> sp.)	Struc Class: Open	Condition: Very Poor
959	Spread Rad (m): 4	Age Class: Mature	Ownership: On-Site	
	Height (m): 7			
Tag or ID:	Dbh (cm): 28	Species: Flowering cherry (<i>Prunus serotata</i>)	Struc Class: Open	Condition: Very Poor
961	Spread Rad (m): 3	Age Class: Mature	Ownership: On-Site	
	Height (m): 3			
Tag or ID:	Dbh (cm): 23-47*	Species: Mixed coniferous species	Struc Class: Open	Condition: Very Poor
962	Spread Rad (m): 3	Age Class: Mature	Ownership: On-Site	
	Height (m): 11			
Tag or ID:	Dbh (cm): 25*-37	Species: Mixed coniferous	Struc Class: Open	Condition: Very Poor
963	Spread Rad (m): 3	Age Class: Mature	Ownership: On-Site	
	Height (m): 12			
Tag or ID:	Dbh (cm): 39-68	Species: Douglas-fir (<i>Pseudotsuga menziesii</i>)	Struc Class: Open	Condition: Fair
964	Spread Rad (m): 8	Age Class: Mature	Ownership: On-Site	
	Height (m): 21			
Tag or ID:	Dbh (cm): 50	Species: Flowering cherry	Struc Class: Open	Condition: Very Poor
965	Spread Rad (m): 5	Age Class: Mature	Ownership: On-Site	
	Height (m): 8			
Tag or ID:	Dbh (cm): Est. 20	Species: Western redcedar (<i>Thuja plicata</i>)	Struc Class: Open	Condition: Very Poor
966	Spread Rad (m): 3	Age Class: Mature	Ownership: On-Site	
	Height (m): 4			
Tag or ID:	Dbh (cm): 29-68*	Species: Sawara cypress (<i>Chamaecyparis pisifera</i>)	Struc Class: Open	Condition: Very Poor
967	Spread Rad (m): 4	Age Class: Mature	Ownership: On-Site	
	Height (m):			
Tag or ID:	Dbh (cm): Est. 30	Species: Flowering cherry (<i>Prunus serotata</i>)	Struc Class: Open	Condition: Fair
N001	Spread Rad (m): 4	Age Class: Mature	Ownership: Off-Site	
	Height (m): 9			
Tag or ID:	Dbh (cm): Est. 30	Species: Flowering cherry (<i>Prunus serotata</i>)	Struc Class: Open	Condition: Very Poor
N002	Spread Rad (m): 4	Age Class: Mature	Ownership: Off-Site	
	Height (m): 4			
Tag or ID:	Dbh (cm): Est. 18	Species: Pear (<i>Pyrus</i> sp.)	Struc Class: Open	Condition: Very Poor
N003	Spread Rad (m): 4	Age Class: Mature	Ownership: Off-Site	
	Height (m): 4			

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		RZ Application	

CLIENT: MFL Development Ltd

PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT
10671-10751 BRIDGEPORT ROAD
RICHMOND

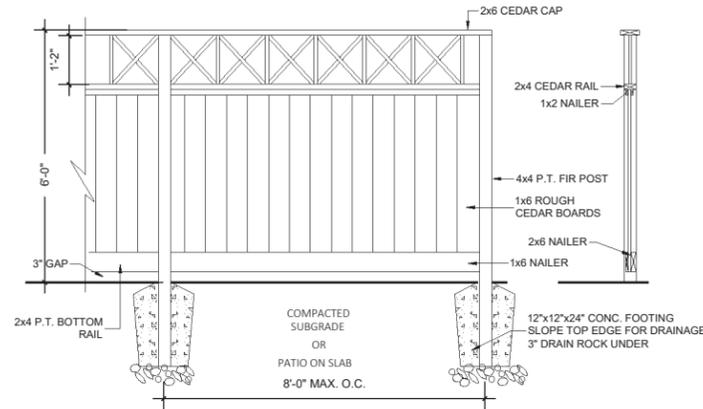
DP 18-829233 PLAN
DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: April 27, 2017 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: MCY OF 12

SEAL:

NOTES:

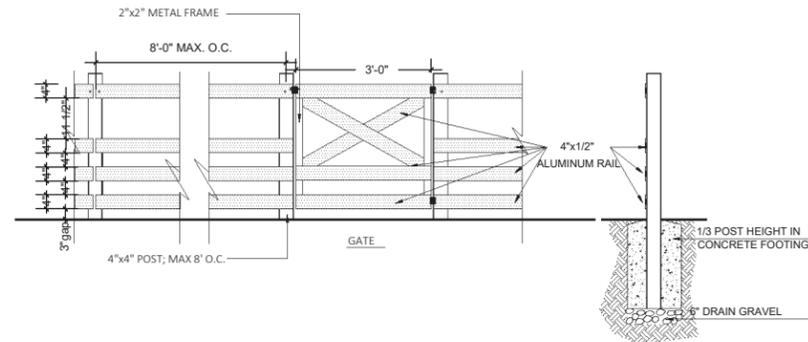
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



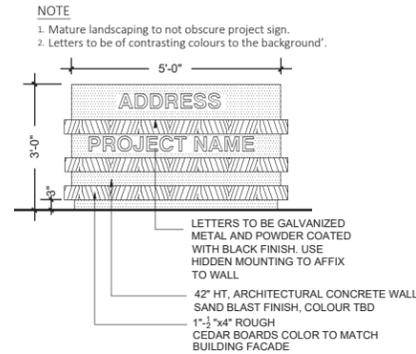
① 4' 6'-0" HT WOOD FENCE AT PERIMETER
(+/- to comply with max fence height as per Zoning Bylaw) 3 / 8" = 1'-0"

ALUMINIUM FENCE NOTES:

1. METAL MATERIAL: ALUMINIUM TO BE POWDER COATED BLACK, TWO COATS.
2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. ALUMINIUM FENCE TO BE POWDERCOATED CONFIRM COLOUR
5. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.



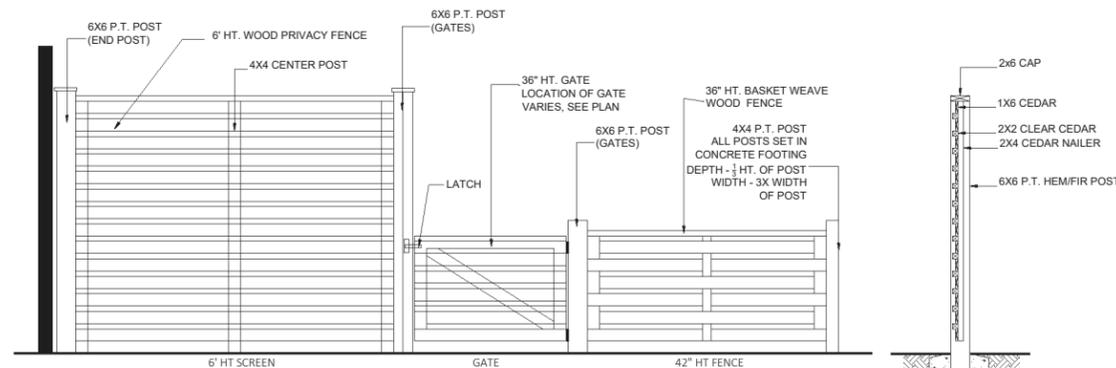
② 42" HT ALUMINIUM FENCE AND GATE - BRIDGEPORT AVENUE
3 / 8" = 1'-0"



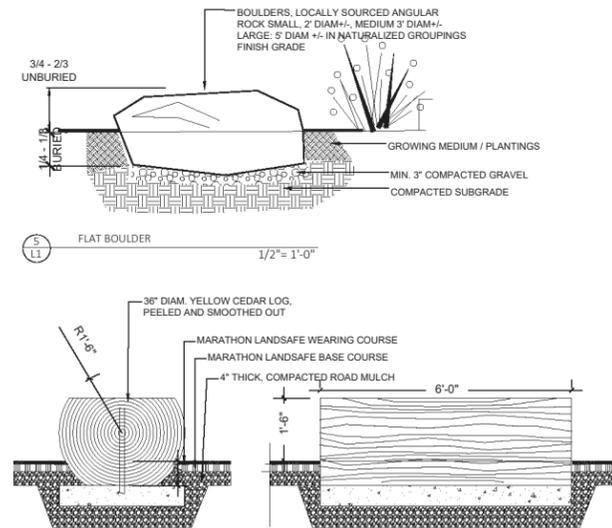
④ DEVELOPMENT SIGNAGE
3 / 8" = 1'-0"

DP 18-829233 PLAN # 3.B

1. TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



③ 6' HT WOOD SCREEN AND 42" HT. FENCE - INTERNAL STREET AND BACK YARDS
3 / 8" = 1'-0"



⑤ FLAT BOULDER
1/2" = 1'-0"

⑥ HORIZONTAL LOG - FOR BALANCE & SEATING
1/2" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
15	21.JUL.26	REVISION AS PER CITY COMMENTS	DD
14	21.MAR.26	NEW SITE & CIVIL PLANS	DD
13	21.FEB.25	NEW SITE PLAN & CITY COMMENTS	DD
11	20.AUG.18	NEW SITE PLAN	DD
10	20.JUL.15	NEW SITE & CIVIL PLANS AND CITY COMMENTS	DD
9	19.NOV.27	NEW SITE PLAN	DD
8	19.SEP.13	NEW SITE PLAN	DD
7	19.AUG.23	NEW SITE PLAN	DD
6	18.NOV.09	REV. PER ARCH. COMMENTS	DD
5	18.NOV.08	REV. PER CITY COMMENTS	BJ
4	18.SEP.20	PRELIMINARY SUBMISSION TO CONSULTANTS	BJ
-	18.JUL.16	ISSUED FOR DP	DD
3	18.MAY.11	REVISION AS PER CITY REQUEST	DD
2	18.MAY.11	NEW SITE PLAN / RZ RESUBMISSION	DD
1	17.MAY.04	RZ Application	DD

CLIENT: MFL Development Ltd

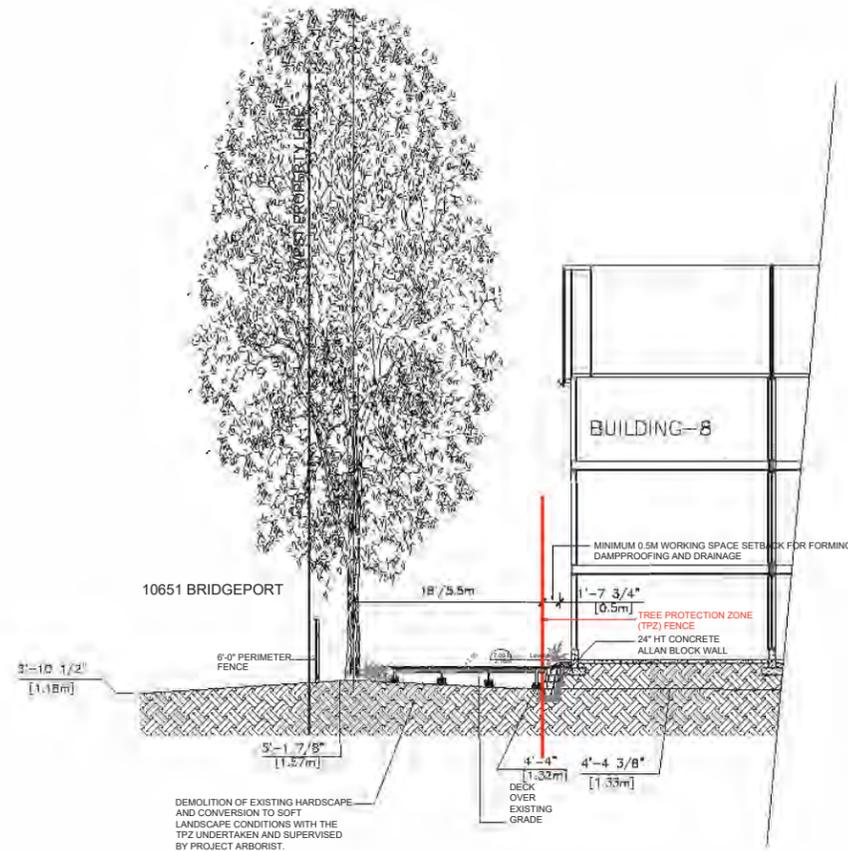
PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT
10671-10751 BRIDGEPORT ROAD
RICHMOND

DP 18-829233 PLAN
DRAWING TITLE:
LANDSCAPE DETAILS

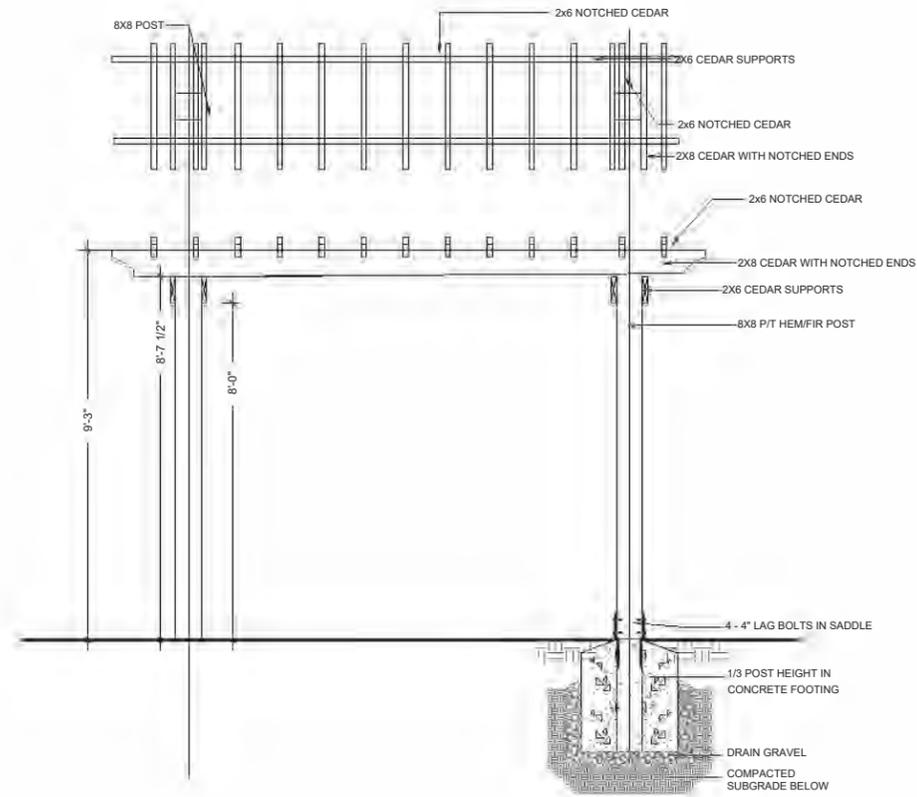
DATE: April 27, 2019
SCALE: VARIES
DRAWN: DD
DESIGN: DD
CHKD: MCY

DRAWING NUMBER:
L9
OF 12

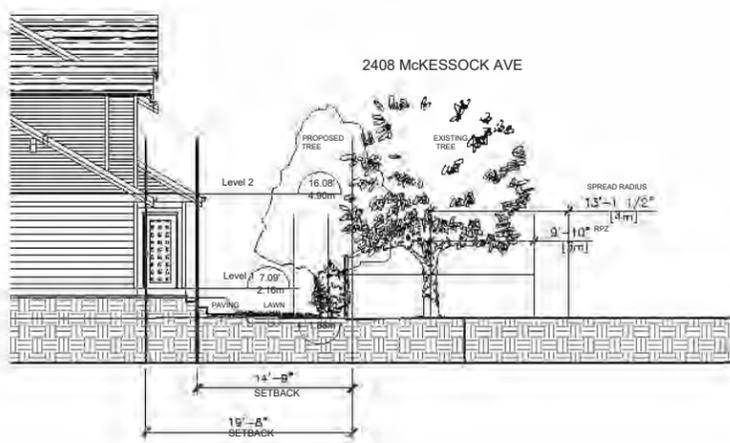
SEAL:



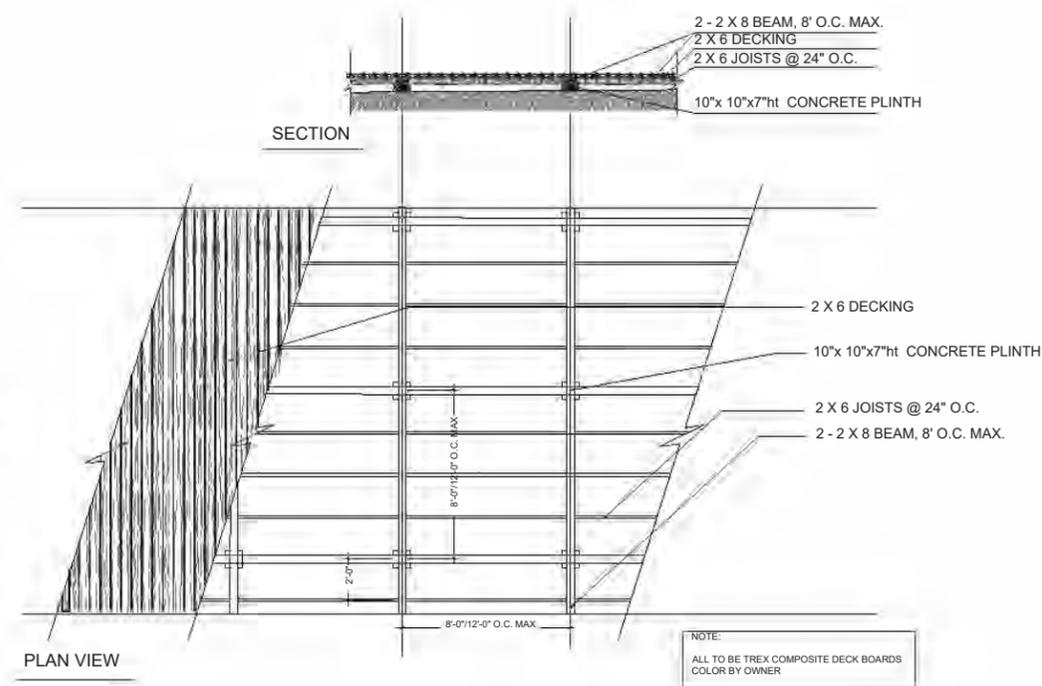
A-A SECTION AT TREE #958
3/16" = 1'-0"



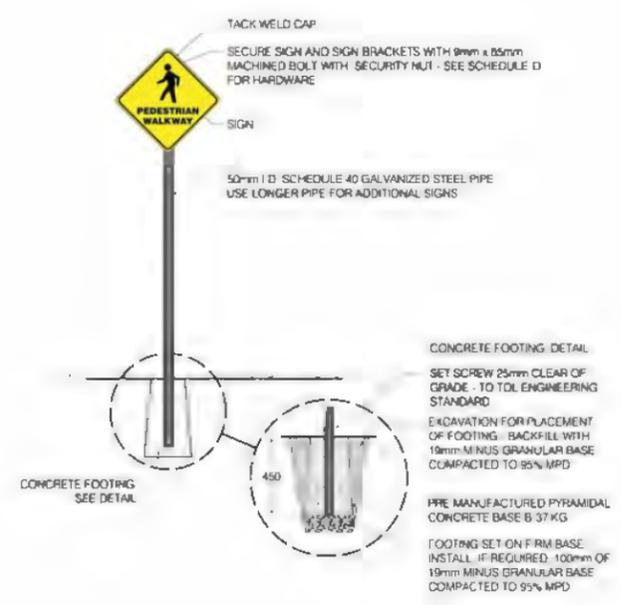
7 TRELIS STRUCTURE AT AMENITY AREA
SCALE: 1/2" = 1'-0"



B-B SECTION AT TREE #001
3/16" = 1'-0"



8 DECK IN TREE PROTECTION ZONE
SCALE: 1/4" = 1'-0"



9 Wayfinding signs

NO.	DATE	REVISION DESCRIPTION	DR.
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4	18.SEP.20	PRELIMINARY SUBMISSION TO CONSULTANTS	BJ
3	18.JUL.16	ISSUED FOR DP	DD
2	18.MAY.11	REVISION AS PER CITY REQUEST	DD
1	18.MAY.11	NEW SITE PLAN/ R2 RESUBMISSION	DD
1	17.MAY.04	R2 Application	DD

CLIENT: MFL Development Ltd

PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT
10671-10751 BRIDGEPORT ROAD
RICHMOND

DP 18-829233 PLAN
DRAWING TITLE:
LANDSCAPE DETAILS

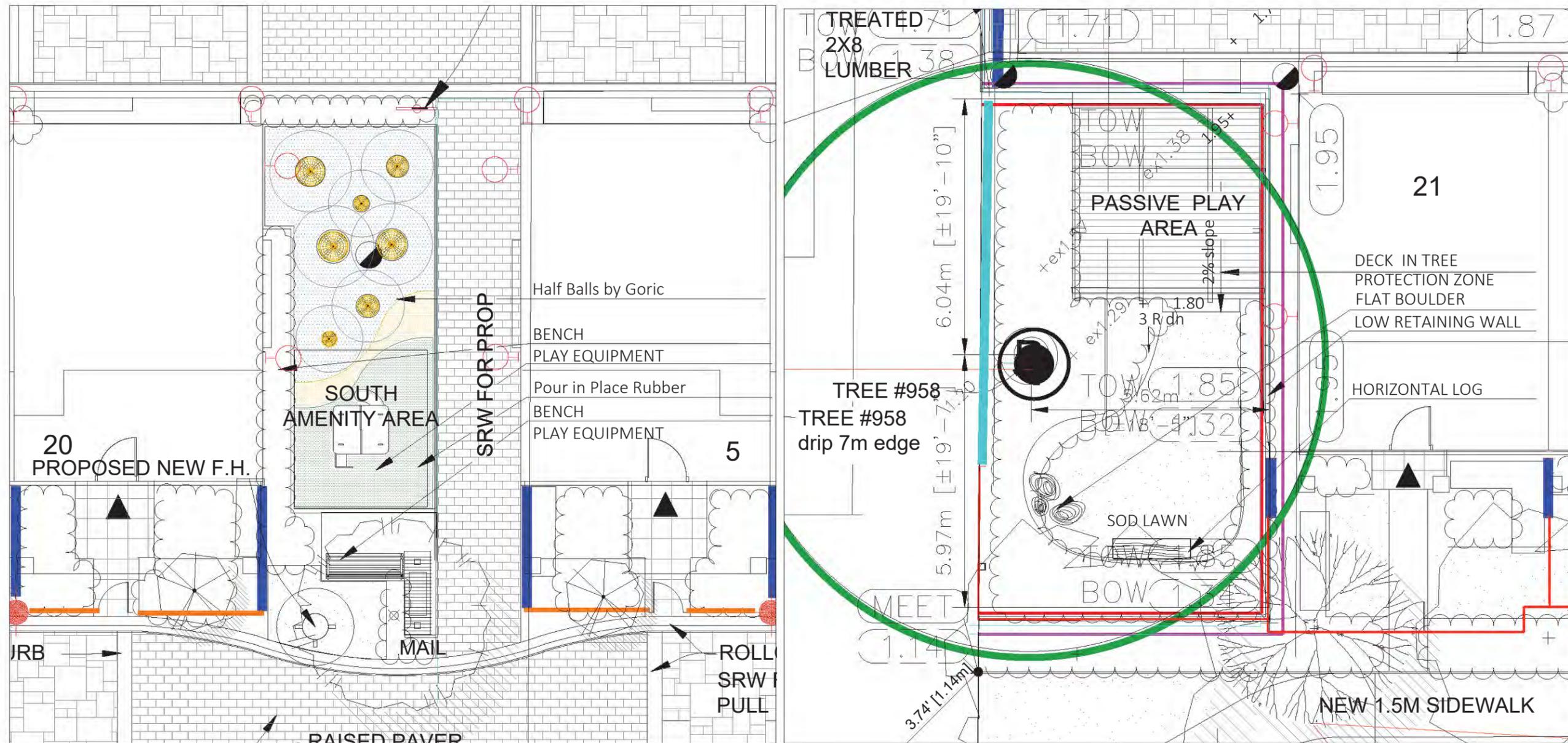
DATE: April 27, 2017 DRAWING NUMBER:

SCALE: AS NOTED **L10**

DRAWN: DD DESIGN: DD

CHKD: MCY OF 12

SEAL:



NO.	DATE	REVISION DESCRIPTION	DR.
15	21.JUL.26	REVISION AS PER CITY COMMENTS	DD
14	21.MAR.26	NEW SITE & CIVIL PLANS	DD
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-	18.JUL.16	ISSUED FOR DP	DD
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1	17.MAY.04	RZ Application	DD

CLIENT: MFL Development Ltd

PLAY AREA FURNITURE



EUROFLEX® Half Balls by Goric
Granulated recycled rubber



RED PLAY HOUSE-M7000
by Kompan

PLAYFALL SURFACING



Pour in Place Rubberby Marathon surfaces

PROJECT:
24 UNIT TOWNHOUSE DEVELOPMENT

10671-10751 BRIDGEPORT ROAD
RICHMOND

DP 18-829233 PLAN
DRAWING TITLE:

LANDSCAPE ENLARGEMENTS

DATE: April 27, 2017 DRAWING NUMBER:

SCALE: AS NOTED

DRAWN: DD

DESIGN: DD

CHKD: MCY

L11

OF 12



SEAL:

PART ONE GENERAL REQUIREMENTS	
11 REFERENCES	<ul style="list-style-type: none"> 1. ECC Doc 2 2008 Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents. 2. Canadian Landscape Standard, latest edition, prepared by the Canadian Society of Landscape Architects and the Canadian Landscape Nursery Association. All work and materials shall meet standards as set out in the Canadian Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instruction. 3. MASTER MUNICIPAL SPECIFICATIONS & STANDARD DETAILS, 2000 edition, prepared by the Consulting Engineers of British Columbia, Rebuilders and Heavy Construction Association, and the Municipal Engineers Division 4. STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, 2009 Prepared by the Irrigation Industry Association of British Columbia. 5. MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED.
12 TESTING	<ul style="list-style-type: none"> 1. A report not more than one month test for all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 3.3 Growing Medium Testing for procedure. 2. Owner reserves the right to test re-test materials. Contractor responsible to pay for testing if materials do not meet specification.
13 SUBMITTALS	<ul style="list-style-type: none"> 1. Any alternate products is differing from that contained in the contract documents must be pre-approved by the Landscape Architect. 2. Submittals to consist of product sample or manufacturer's product description.
14 SITE REVIEW	<ul style="list-style-type: none"> 1. Under the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction it is necessary in their opinion to confirm conformance to the plans and specifications. Contact Owners Representative to arrange for site observation at the appropriate times. Allow two days notice. Observation schedule may include but will not be limited to the following: <ul style="list-style-type: none"> 11. Start Up Site Meeting, General Contract; Prior to any site disturbance, a meeting with the general contractor to review free preservation issues, general landscape issues and municipal requirements. 12. Start Up Site Meeting, Landscape Contract (if applicable) at the start of work with Owner's Representative, Site Superintendent and Landscape Contractor; a meeting to be held to review expected work and to verify the acceptability of the subgrade and general site conditions to the Landscape Contractor. Provide growing medium test results for this meeting. 13. Progress Site Visits: To observe materials and workmanship as necessary through the course of the work. Review of different aspects of the work may be dealt with on any single visit. Such elements may include: Site Layout, Rough Grading, Drainage and Drainage Materials, Lawns or Grass Areas, Planting - plant material including tagplants with tagging, nursery inspections, plant sizes, quality, quantity, planting practices and layout, Tree supports, Mulch, Irrigation Systems, Play Equipment, Site Furniture, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Fencing, Non-structural walls and stairs, Unit Paving. 14. Substantial Performance: Review of all work, accounting of all substitutions, deletions, plant counts, preparation of deficiency list, and recommendations for completion. 15. Certificate of Completion: Upon the declaration of Substantial Performance, a recommendation for the issuance of the Certificate of Completion will be made to the Payment Certifier as defined in the contract. 16. Deficiency Review: Prior to the completion of the hardback portion, checks for completion of deficiencies. Once completed, a Schedule "C" will be issued where required. 17. Warranty Review: Prior to the completion of the warranty period (or, if it exceeds after issuance of the Certificate of Completion, review all warranty material and report recommendations for warranty replacement.
15 WORKMANSHIP	<ul style="list-style-type: none"> 1. Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor. 2. All work and superintendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities. 3. A site visit is required to be conducted familiar with site conditions before bidding and before start of work. 4. Confirm location of all services before proceeding with any work. 5. Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans. 6. Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Comply with all federal, provincial and local statutes and guidelines. 7. Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance. 8. Where new work connects with existing, and where existing work is altered, make good to match existing undisturbed condition.
16 WARRANTIES	<ul style="list-style-type: none"> 1. Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion. 2. Refer to individual sections for specific warranty terms.

PART TWO SCOPE OF WORK	
21 SCOPE OF WORK	<ul style="list-style-type: none"> 1. Other conditions of Contract may apply. Confirm Scope of Work of this of tender. 2. Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following: <ul style="list-style-type: none"> 2.1 Retention of Existing Trees where shown on drawings. 2.2 Final Grading and Landscape Drainage 2.3 Supply and placement of growing medium. 2.4 Testing of imported growing medium and/or site topsoil. 2.5 Supply and incorporation of additives to meet requirements of soil test and Table One. 2.6 Preparation of planting beds, supply of plant material and planting. 2.7 Preparation of lawn areas, supply of materials and seeding. 2.8 Preparation of lawn areas, supply of materials and seeding. 2.9 Supply and placement of bark mulch. 2.10 Maintenance of planted and seeded/seeded areas until accepted by Owner. 2.11 SEPARATE SPEC. Establishment Maintenance, Section 311. 2.12 Other Work other than this list, not specified by Landscape Architect.

22 MATERIALS			
1. Growing Medium: Conform to Canadian Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below.			
TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 2 (SPRINKLED) AND LEVEL 3 (MODERATE AREAS) CANADIAN SYSTEM OF SOIL CLASSIFICATION: TERTIAL CLAYS ("Loamy Sand" to "Sandy Loam")			
Applications:	Low Traffic Areas High Traffic Areas Planting Areas and Planters		
Growing Medium Types	T1 Z1 ZH ZF		
Percent Of Dry Weight of Total Growing Medium			
Texture:			
Coarse Gravel: Larger than 20mm	0 - 1%	0 - 1%	0 - 1%
All Gravel: Larger than 2mm	0 - 5%	0 - 5%	0 - 5%
Percent Of Dry Weight of Growing Medium Excluding Gravel			
Sand: Larger than 0.075mm and smaller than 0.25mm	50 - 80%	70 - 90%	40 - 80%
Silt: Larger than 0.002mm and smaller than 0.05mm	10 - 25%	0 - 5%	10 - 25%
Clay: smaller than 0.002mm	0 - 25%	0 - 5%	0 - 25%
Clay and Silt Combined	maximum 35%	maximum 10%	maximum 35%
Organic Content (total):	3 - 10%	3 - 5%	10 - 20%
Organic Content (inert):	3 - 5%	3 - 5%	5 - 20%
Acidity (pH):	6.0 - 7.0	6.0 - 7.0	6.5 - 8.5
Drainage:	Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.		
2. Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (K) and/or Zinc (Z) in proportions required by soil test.			
3. Lime: Ground agricultural limestone. Meet requirements of the Canadian Landscape Standard.			
4. Organic Additive: Commercial product to the requirements of the Canadian Landscape Standard, latest edition and pre-approved by the Landscape Architect. Recommended suppliers: The Answer Garden Products, Fraser, Richmond Soils & Fibre, Stream Organics Management.			
5. Sand: Clean, washed pump sand to meet requirements of the Canadian Landscape Standard.			
6. Composted Bark Mulch: 10mm (3/8") minus FR/Heatlack bark chips and fines, free of chunks and shoks, dark brown in colour and free of all soil, stones, roots or other extraneous matter. Fresh organic in colour bark will be rejected.			
7. Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes. Applies must hold current licenses issued by the appropriate authorities in the area.			
8. Filter Fabric: A non biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as PERIAT 140 N.M., GEOLIN 140 OR ARDUC 4545 or alternate product pre-approved by the Landscape Architect.)			
9. Drainage Piping if required: Schedule 40 PVC nominal sizes.			
10. Drain Rock: Clean, round, inert, durable and have a maximum size of 19mm and containing no material smaller than 10mm.			
11. Plant Material: To the requirements of the Canadian Landscape Standard. Refer to 3.0, Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification.			
12. Sod: Refer to individual sections in this specification.			
13. Supplier and installers of geotextile block walls to provide engineered drawings for all walls; signed and sealed drawings for all walls, individually, in excess of 12m, or continuous walls collectively in excess of 12m. Installations must be reviewed and signed off by Certified Professional Engineer, insole cost of engineering services is tender price.			
14. Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.			

PART THREE SOFT LANDSCAPE DEVELOPMENT	
31 RETENTION OF EXISTING TREES	<ul style="list-style-type: none"> 1. Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as vegetation retention areas. 1.1 In some instances the Landscape Architect will tag trees or areas to remain. Discuss tree retention areas at a start-up meeting with the Landscape Architect. 2. A physical barrier must be installed to delineate retention areas. Refer to physical barrier detail. If detail not provided, comply with local municipal requirements. 3. No machine travel through or within vegetation retention areas or under crowns of trees to be retained is allowed. 4. Do not stockpile soil, construction materials, or excavated materials within vegetation retention areas. 5. Do not park, fuel or service vehicles within vegetation retention areas. 6. No debris free, clearing free or trash burning shall be permitted within vegetation retention areas. 7. No excavations, drain or service trenches nor any other disruption shall be permitted within vegetation retention areas without a review of the proposed excavation by the Landscape Architect. 8. Do not cut branches or roots of retained trees without the approval of the Landscape Architect. 9. Any damage to existing vegetation intended for preservation will be subject to evaluation by an I.S.A. Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition, 1992. 9.1 Replacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and/or the person(s) responsible for the disturbance. 10. In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws. 11. In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.

32 GRASSES	
1. Ensure subgrade is prepared to conform to depths specified in Section 3.5, Growing Medium Supply, below. Where planting is indicated close to existing trees, prepare suitable planting pockets for material indicated on the planting plan. Subgrade to include firm standing water and conform to the site grading and drainage plan.	
2. Do slopes in excess of 3:1 trench subgrade across slope to 50mm (2") minimum at 1:5m (5 1/2') intervals.	
3. Scarify the entire subgrade immediately prior to laying growing medium. Re-vegetate where vehicular traffic results in compaction during the construction procedures. Ensure that all planting areas are suitably contoured after light compaction to finished grade.	
4. Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradients defined by the Canadian Landscape Standard.	
5. Construct swales free to line and grade, smooth and free of rags or high points. Minimum slope 2%, maximum side slopes 10%. Assume positive drainage to collection points.	
6. Slope not to exceed the following maximums: Rough Grass 3:1, Lawn 4:1, Landscape plantings 2:1.	
7. Finished soil/mulch elevation at building to comply with municipal requirements.	
8. Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch.	

33 LANDSCAPE DRAINAGE	
1. Related Work: Growing medium and finish grading, Grass Areas, Trees Shrubs and Groundcovers, Planters, Grid Walls.	
2. Work Included: Site finish grading and surface drainage. Installation of any drainage systems detailed on landscape plans. Note: Each basin shown on landscape plans for construction only; confirm slope of work prior to bid.	
2.1 Coordinate all landscape drainage work with rest of site drainage. Refer to engineering drawings and specifications for connections and other drainage work.	
2.2 Determine exact location of all existing utilities and structures and underground utilities prior to commencing work, which may not be located on drawings and conduct work as to prevent interference of service or damage to them. Protect existing structures and utility services and be responsible for drainage caused.	
2.3 Install drains on each: Refer to Section 3.0, Installing Landscapes on Structures.	
3. Erection	
3.1 Do trenching and backfilling in accordance with engineering details and specifications.	
3.2 Lay drains on prepared bed. True to line and grade with inverts smooth and free of rags or high points. Ensure barrel of each pipe is in contact with bed throughout full length.	
3.3 Commence laying pipe at outlet and proceed in upstream direction.	
3.4 Lay perforated pipes with perforations at 90mm and 120mm positions.	
3.5 Make joints tight in accordance with manufacturer's directions.	
3.6 Do not allow water to flow through the pipes during construction except as approved by Engineer.	
3.7 Make watertight connections to existing drains, sewers or existing manholes or catchbasins where indicated or as directed by Landscape Architect.	
3.8 Plug upstream ends of pipe with water tight clean out caps.	
3.9 Surround and cover pipe with drain rock in uniform 150mm layers to various depths as shown in details, minimum 100mm.	
3.10 Cover drain rock with non-woven filter cloth lap all edges and seams minimum 150mm.	
3.11 Assess positive drainage.	
3.12 Backfill remainder of trench as indicated.	
3.13 Protect subdrains from floatation during installation.	

34 GROWING MEDIUM TESTING	
1. Submit representative sample of growing medium prepared for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to placing. Test results to include: <ul style="list-style-type: none"> 1.1 Physical properties, % content of gravel, sand, silt, clay and organic. 1.2 Acidity (pH) and quantities of lime or sulphur required to bring within specified range. 1.3 Nutrient levels of phosphate and trace elements and quantities for required soil amendments. 1.4 Carbon/Nitrogen level. 	

35 GROWING MEDIUM SUPPLY AND PLACEMENT	
1. Supply all growing medium required for the performance of the Contract. Do not load, transport or spread growing medium when it is so wet that its structure is likely to be damaged.	
2. Supply all growing medium admixtures as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the various areas.	
2.1 Special mixes may be required for various situations. Refer to drawing notes for instructions.	
3. Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 6" (150mm), over uniform grade free of standing water.	
4. Minimum depths of growing medium placed and compacted to 80%: <ul style="list-style-type: none"> 4.1 On-grade: 5" (125mm) 4.1.1 Seeded and soded lawn: 5" (125mm) 4.1.2 Mass planted shrubs & groundcovers: 8" (150mm) 4.1.3 Groundcover only areas, if defined on plan: 5" (125mm) 4.1.4 Tree & large shrub pit: 8" depth to conform to depth of rootball - with shall be at least twice the width of the root ball with saucer shaped sides. 4.1.5 On-Slab: 5" (125mm) 4.2.1 Irrigated lawn: 5" (125mm) 4.2.2 Groundcover areas: 5" (125mm) 4.2.3 Lawn without automatic irrigation: 10" (250mm) 4.2.4 Shrub & groundcover areas: 8" (150mm) 4.2.5 Trees and specimen shrubs: 8" (175mm) over columns and/or edge of slab (entry courts locations on-site for tree locations) 4.2.6 Depth seeded includes 7 1/2" to 2 1/2" (250-125mm) above filter fabric. 4.2.7 Maximum 8" depth growing medium except where mandated for trees over column points. 	
5. Manually spread growing medium/planting soil around existing trees, shrubs and obstacles.	
6. In perimeter seeded grass areas, feather growing medium out to nothing at edges and blend into existing grades.	
7. Finished grades shall conform to the elevations shown on landscape and site plans.	

36 ROUGH GRASS AREA - SEEDING	
1. General: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all boulevards to edge of roads and lawns.	
2. Preparation of Surfaces: To Canadian Landscape Standard Class 3 Areas (Rough grass) Section 3.13.	
2.1 Clean existing soil by mechanical means of debris over 50mm in any dimension.	
2.2 Roughly grade surfaces to allow for maintenance specified and for positive drainage.	
3. Time of Seeding: Seed from early spring (generally April till to late fall (September 15th)) of each year. Further extensions may be obtained on concurrence of the Landscape Architect.	
4. Seed Supply & Testing: All seed must be obtained from a recognized seed supplier and shall be: <ul style="list-style-type: none"> 4.1 Analyzed for the seed moisture. 4.2 Percentage of each seed type. 	
5. Seed Mixtures: All varieties shall be rated as strong performers in the Pacific Northwest and are subject to client approval.	
5.1 Creeping Red Fescue 20% Annual Ryegrass 5% Suium Perennial Ryegrass 5% Kentucky Bluegrass For Wildflower Areas use a mixture of Wildflowers with Hard Fescues (TerraNova Coastal Wildflowers) with Hard Fescue or pre-approved alternate.	
6. Fertilizer: Mechanical seeding Apply a complete synthetic slow-release fertilizer with maximum 35% water soluble nitrogen and a formulation rate of 18-18-15-52% sulphur urea coated, 102 kg/ha (100 lbs/acre) using a mechanical spreader.	
7. Seeding: Apply seed at a rate of 120/H (100 lbs/acre) with a mechanical spreader. Incorporate seed into the top 1/4" (6mm) of soil and lightly compact.	
8. Acceptance: Provide adequate protection of the seeded areas until conditions of acceptance have been met. Comply with Section 3.7 Hydroseeding.	

37 HYDROSEEDING	
1. May be used as an alternate to mechanical seeding in rough grass areas.	
2. May not be used in lawn areas unless pre-approved by the Landscape Architect prior to bidding.	
3. Preparation and Growing Medium	
3.1 In areas of Rough Grass Comply with Section 3.6, Rough Grass.	
3.2 Where approved for use in areas of lawn, comply with Section 3.3 Lawn Areas: Seeding.	
4. Protection: Ensure that fertilizer in solution does not come in contact with the foliage of any trees, shrubs, or other susceptible vegetation. Do not spray seed or mulch on objects not expected to grow grass. Protect existing site equipment, roadways, landscaping, reference points, monuments, markers and structures from damage. When contamination occurs, remove seeding slurry to satisfaction and as directed by means approved by the Landscape Architect.	
5. Mulch shall consist of virgin wood fibre in recycled paper fibre designed for hydraulic seeding and free of seeds of non-target application. If using recycled paper material for wood fibre substitute use 150% by weight. Conform to Canadian Landscape Standard for mulch requirements.	
6. Water: Shall be free of any impurities that may have an injurious effect on the success of seeding or may be harmful to the environment.	
7. Equipment: Use industry standard hydraulic seed/mulch equipment with the tank volume certified by a identification plate or sticker affixed to the tank with the following information: The hydraulic seed/mulch shall be capable of sufficient application to the material into a homogeneous slurry and to maintain the slurry in a homogeneous state until it is applied. The discharge pump and gun nozzles shall be capable of applying the materials uniformly over the designated area.	

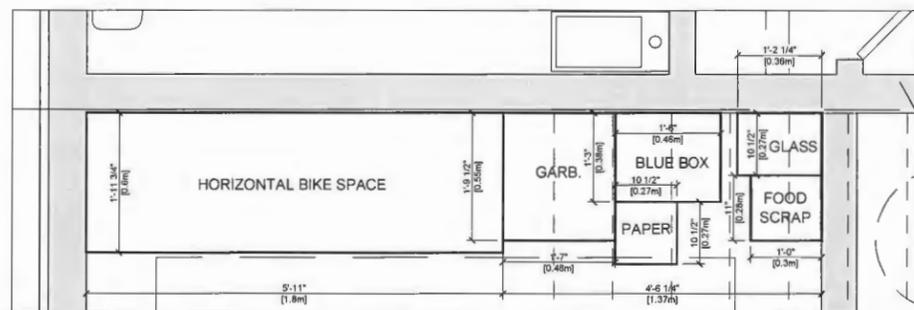
PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	
8. Application Rate: <ul style="list-style-type: none"> 8.1 Seed: 150 kg/ha (135 lbs/acre) 8.1.1 Perennial Ryegrass: 10 kg/ha (9 lbs/acre) 8.1.2 Coastal Wildflowers: Where specified, apply 37 lbs/acre (14 lb - 10 lb) of grass seed. 8.4. Notes: <ul style="list-style-type: none"> 8.4.1 All the Item of Tender provides a complete chart of all components of the mix proposed including mulch, fertilizer, water etc. Sloped sites require fertilizer. 8.4.2 Fertilizer: <ul style="list-style-type: none"> 8.4.2.1 Rough Grass: If a soil analysis is available, comply with results. 8.4.2.2 Lawn: Where hydroseeding is approved, comply with soil analysis recommendations. 	
9. Accurately measure the quantities of each of the materials to be charged into the tank either by mass or by a commonly accepted system of mass-calibrated volume measurements. The materials shall be added to the tank while it is being filled with water, in the following sequence: seed, fertilizer. Thoroughly mix into a homogeneous slurry. After charging, add no water or other material to the mixture. Do not leave slurry in the tank for more than four (4) hours.	
10. Distribute slurry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surfaces.	
11. Clean up: Remove all materials and other debris resulting from seeding operations from the job site.	
12. Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and/or until accepted by the Owner. Re-seed at three week intervals where germination has failed. Protect seeded areas from damage with temporary wire or twine fences comply with signage until grass area is taken over by the Owner. Water in sufficient quantities to ensure good penetration and a frequent irrigation to maintain vigorous growth until grass takes over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contractor.	
13. Acceptance of the Rough Grass Areas: Proper germination of all specified grass species is the responsibility of the Landscape Contractor. The grow-out shall be reasonably well established, with no apparent dead or bare spots and shall be reasonably free of weeds (to Canadian Landscape Standard, Section 37 Maintenance Level 2) once general slurry days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas seeded in Fall will be accepted in Spring one month after start of growing season, provided that the above conditions for acceptance are fulfilled.	

38 LAWN AREAS - SOODING	
1. General: Treat all areas defined as lawn areas on the landscape plan with all property lines of the project including all boulevards to edge of roads and lawns.	
2. Growing Medium: Comply with Section 2.2.1, Growing Medium. Prior to seeding, request an inspection of the finished grade, and depth and condition of growing medium by the Landscape Architect.	
3. Time of Seeding: Sod from April till to October 15th. Further extensions may be obtained on concurrence of the Landscape Architect.	
4. Sod Supply: Conform to all conditions of Canadian Landscape Standard, Section 8, B.C. Standard for Turfgrass Sod.	
5. Specified Turfgrass by area. Refer to Table 2 below.	

TABLE 2 SPECIFIED TURFGRASS BY AREA			
Area	Description	Quality Grade	Major Species
CLASS 1	Lawn all areas noted on drawings as lawn in urban development sites including boulevard grass	No 2 Turfgrass	Kentucky Blue for soil; Fescues for shade
CLASS 2	Grass - public parks, industrial and institutional sites	No 2 Standard	same
CLASS 3	Rough Grass	see hydroseeding	
SPECIAL			

39 PLANTS AND PLANTING	
1. Confirm tree planting layout as shown on Landscape Plans.	
2. Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.	
3. Make edge of beds with smooth clean defined lines.	
4. Time of Planting: <ul style="list-style-type: none"> 4.1 Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to ensure successful adaptation of plants to their new location. 	
5. Standards: <ul style="list-style-type: none"> 5.1 All plant material shall conform to the requirements of the Canadian Landscape Standard, latest edition, unless exceeded by drawing Plant Schedule on this specification. 5.1.1 Refer to Canadian Landscape Standard, Section 9, Plants and Planting and to Section 12, B.C.M.A. Standard for Container Grown Plants for minimum standards. 5.2 Plant material obtained from areas with less severe climatic conditions shall be grown to withstand the local climate. 	
6. Review: <ul style="list-style-type: none"> 6.1 Review of the source of supply and/or collection point does not prevent subsequent rejection of any or all planting stock at the site. 	
7. Availability: <ul style="list-style-type: none"> 7.1 Area of search includes the Lower Mainland and Fraser Valley. Refer to Plant Schedule for any extension of area. 7.2 Supply proof of the availability of the specified plant material within 30 days of the award of the Contract. 	
8. Substitution: <ul style="list-style-type: none"> 8.1 Obtain written approval of the Landscape Architect prior to making any substitutions to the specified material. Non-approved substitutions will be rejected. 8.2 Allow a maximum of 5 days prior to delivery for requested substitutions. 8.3 Substitutions are subject to Canadian Landscape Standard - definition of Conditions of Availability. 	
9. Plant Species & Location: <ul style="list-style-type: none"> 9.1 Plants shall be true to name and of the height, caliper and size of root ball as shown on the landscape/site plan plant schedule. Caliper of trees is to be taken 6" (150mm) above grade. 9.2 Plant all specified species in the location as shown on the landscape drawings. Notify Landscape Architect if conflicting rock or underground/overhead services are encountered. 9.3 Deviation of given planting location will only be allowed after review of the proposed deviation by the Landscape Architect. 	
10. Excavation: <ul style="list-style-type: none"> 10.1 Trees and large shrubs: Excavate a saucer-shaped tree pit to the depth of the rootball and to at least twice the width of the rootball. Assume that finished grade is at the original ground level where the tree was grown. 	
11. Drainage of Planting holes: <ul style="list-style-type: none"> 11.1 Provide drainage of planting pits where required, on a sloped condition, break out the side of the planting pit to allow drainage down slope, and in flat conditions, mound to raise the rootball above impervious layer. Notify the Landscape Architect where the drainage holes is limited. 	
12. Planting and Fertilizing Procedures: <ul style="list-style-type: none"> 12.1 Plant all trees and shrubs with the roots placed in their natural growth position. If burlapped, loosen around the top of the ball and cut away or fold under. Do not pull burlap from under the ball. Carefully remove containers without injuring the rootballs. After settled in place, cut twice. For wire baskets, clip and remove top third of roots. 12.2 Fill the planting holes by gently firming the growing medium around the root system in 6" (150mm) layers. Settle the soil with water. Add soil as required to meet finish grade. Leave no air voids. When 7/2" of the topsoil has been placed, apply fertilizer as recommended by the required soil test at the specified rates. 12.3 Where planting is indicated adjacent to existing trees, use special care to avoid disturbance of the root system or natural grades of such trees. 12.4 Where trees are in lawn areas, provide a clean cut matched 600mm (24") diameter circle around the tree. 	
13. Staking of Trees: <ul style="list-style-type: none"> 13.1 Use two 2"x2"x2" stakes, unless superseded by municipal requirements. Set stakes minimum 2 ft. in soil. Do not drive stake through rootball. 13.2 Leave the tree carefully watered. 13.3 Use who-approved commercial 102 woven polypropylene fabric ball; minimum width 1/8m (3/4"). Approved product: ArborTie - available from Douglas. 13.4 Container Trees over 8 ft. height: Guy with three 2-strand wires (1/2" gauge). Drive three stakes equidistant around the tree completely below grade. 13.5 Trees 8 ft. or wood or concrete blocks: Guy as above using three dead-end (in. 2"x4"x4") buried to the maximum depth instead of stakes. 13.6 Mark all guy wires with visible flagging material. 	
14. Pruning: <ul style="list-style-type: none"> 14.1 Limit pruning to the minimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp tools. Make all cuts clean and cut to the branch collar leaving no stubs. Shape affected areas so as not to retain water. Retain 4 mm depth cut. 	
15. Mulching: <ul style="list-style-type: none"> 15.1 Mulch all planting areas with an even layer of mulch to 2-1/2" - 3" (65 - 105mm) depth. Confirm placement of mulch in areas labeled "Groundcover Area" on drawings. Mulch a 3 ft. (900mm) diameter circle around trees in lawn areas, leave a clean edge. 	
16. Acceptance: <ul style="list-style-type: none"> 16.1 The establishment of all plant material is the responsibility of the Landscape Contractor. 	
17. Plant Material Maintenance: <ul style="list-style-type: none"> 17.1 Maintain all plant material for 60 days after landscape work has received a Certificate of Completion. 17.2 Watering: Conform to Canadian Landscape Standard, Section 13.3.2, watering and generally as follows: <ul style="list-style-type: none"> 17.2.1 Water to supplement natural rainfall such that the soil moisture content is kept to 50% to 100% of field capacity. Water to the full depth of the root zone each time. The Owner is responsible to supply water at no extra cost to the Contractor. Confirm source of water prior to beginning work. 17.3 Use appropriate measures to combat pests or diseases damaging plant material. Comply with local government statutes and guidelines for chemical control. 17.4 Plant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect. 17.5 Repair tree guards, stakes, and guy wires, when necessary. 17.6 Maintain areas relatively weed free. Appearance level to Canadian Landscape Standard, Chapter 13. 17.7 Maintain mulch to specified depths. 17.3 Preparation and Growing Medium 17.4 In areas of Rough Grass Comply with Section 3.6, Rough Grass. 17.5 Where approved for use in areas of lawn, comply with Section 3.3 Lawn Areas: Seeding. 17.6 Protection: Ensure that fertilizer in solution does not come in contact with the foliage of any trees, shrubs, or other susceptible vegetation. Do not spray seed or mulch on objects not expected to grow grass. Protect existing site equipment, roadways, landscaping, reference points, monuments, markers and structures from damage. When contamination occurs, remove seeding slurry to satisfaction and as directed by means approved by the Landscape Architect. 17.7 Mulch shall consist of virgin wood fibre in recycled paper fibre designed for hydraulic seeding and free of seeds of non-target application. If using recycled paper material for wood fibre substitute use 150% by weight. Conform to Canadian Landscape Standard for mulch requirements. 17.8 Water: Shall be free of any impurities that may have an injurious effect on the success of seeding or may be harmful to the environment. 17.9 Equipment: Use industry standard hydraulic seed/mulch equipment with the tank volume certified by a identification plate or sticker affixed to the tank with the following information: The hydraulic seed/mulch shall be capable of sufficient application to the material into a homogeneous slurry and to maintain the slurry in a homogeneous state until it is applied. The discharge pump and gun nozzles shall be capable of applying the materials uniformly over the designated area. 	

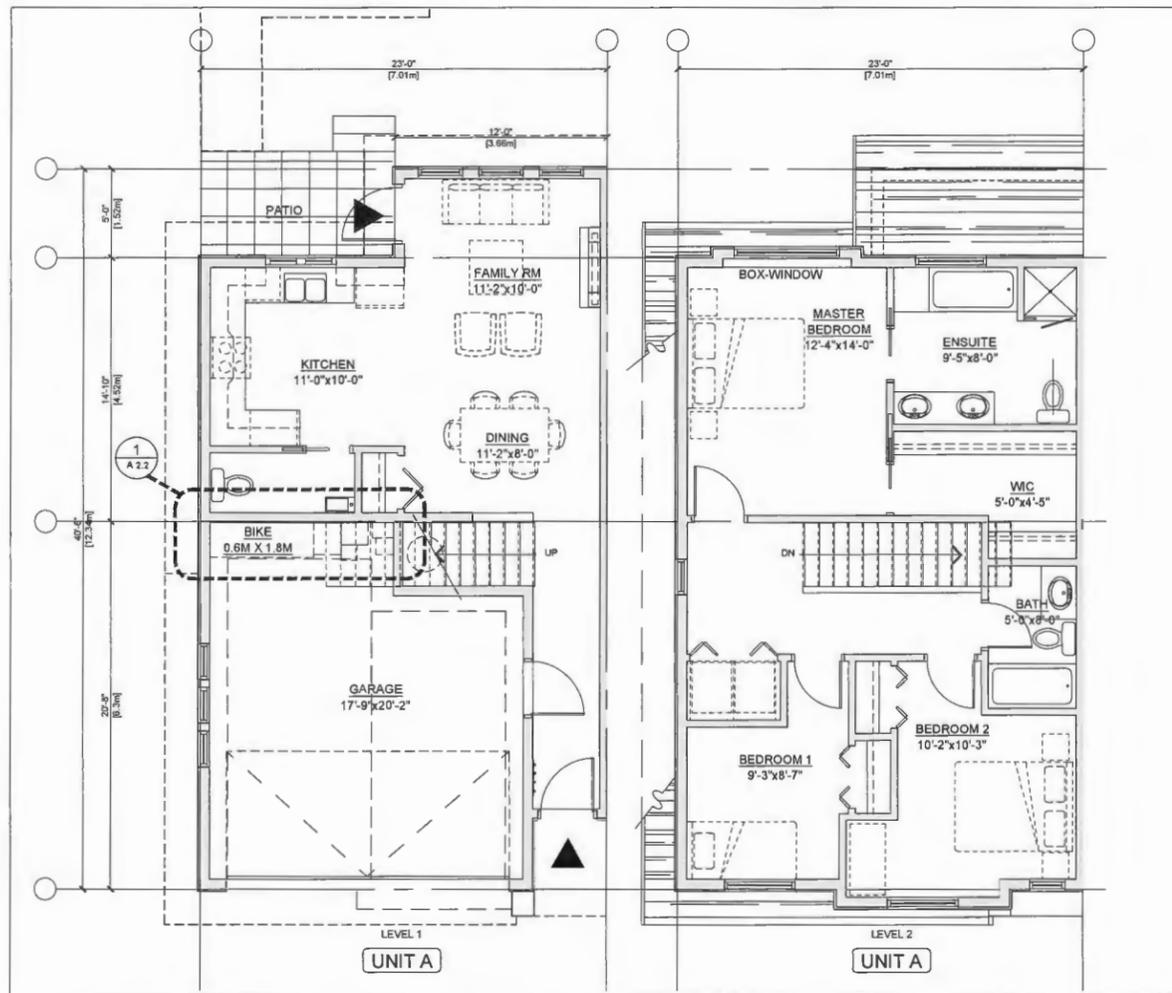
PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT	
18. For all plant material, the Landscape Architect reserves the right to extend the Contractor's responsibility for another growing season if, in his opinion, leaf development and growth is not sufficient to ensure future satisfactory growth.	
18.5 Where the Owner is responsible for plant maintenance and has not provided adequate maintenance, the plant replacement section of the contract may be declared void. The Landscape Architect shall determine whether maintenance has been satisfactory using the Canadian Landscape Standard, Section 13, Maintenance as the guide. The required maintenance standard is a minimum of Level Three - Medium. Refer to Section 3.11, Establishment Maintenance.	
18.6 The Landscape Contractor is responsible to replace any plant material or repair any construction included in the Contract that is damaged or stolen until the issuance of the Certificate of Completion.	
18.7 Deviation from the specifications may require extension of the Warranty Period as determined by the Landscape Architect.	



LEGEND:

- GARB. : 120 LITRE GARBAGE CART (SIZE: 19" X 21.5")
- FOOD SCRAP: 46.5 LITRE ORGANICS CART (SIZE: 12" X 11")
- BLUE BOX: BLUE CONTAINER RECYCLING BIN (SIZE: 15" X 18")
- GLASS: GREY GLASS RECYCLING BIN (SIZE: 11" X 14")
- PAPER: YELLOW PAPER RECYCLING BAG (SIZE: 18" X 18")

1
A2.2 AREA FOR GARBAGE AND RECYCLING BINS
SCALE: 1" = 1'-0"



UNIT A PLANS
SCALE: 1/4" = 1'-0"

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
OCT 4, 2019	DP RE-SUBMISSION
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SEPT 21, 2018	RZ RE-SUBMISSION
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MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION
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PROJECT
 Proposed 24-Unit
 Townhouse Development
 10671-10751 BRIDGEPORT RD.
 Richmond, B.C.

PROJECT NO.
1904BRID

SCALE
As Noted

DATE
Apr. 15, 2017

DRAWN BY
KYC, HD

CHECKED BY
KYC

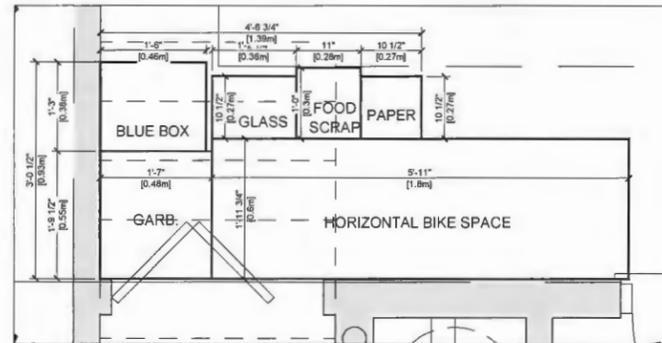
SHEET TITLE
UNIT A PLANS

DRAWING

A2.2

LEGEND:

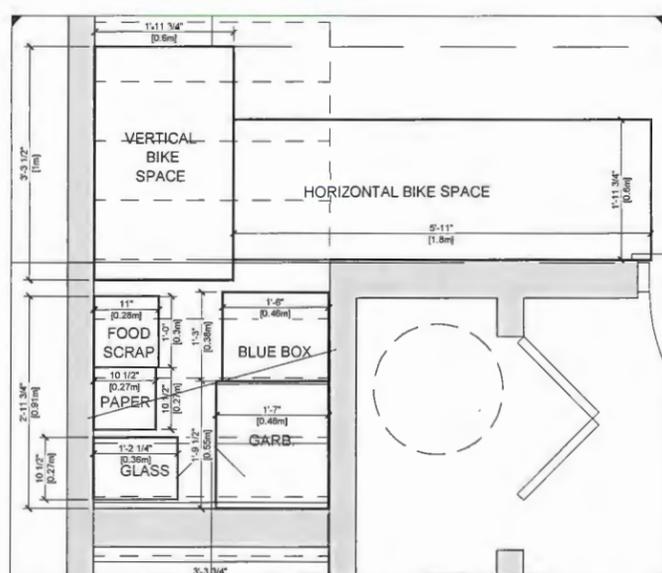
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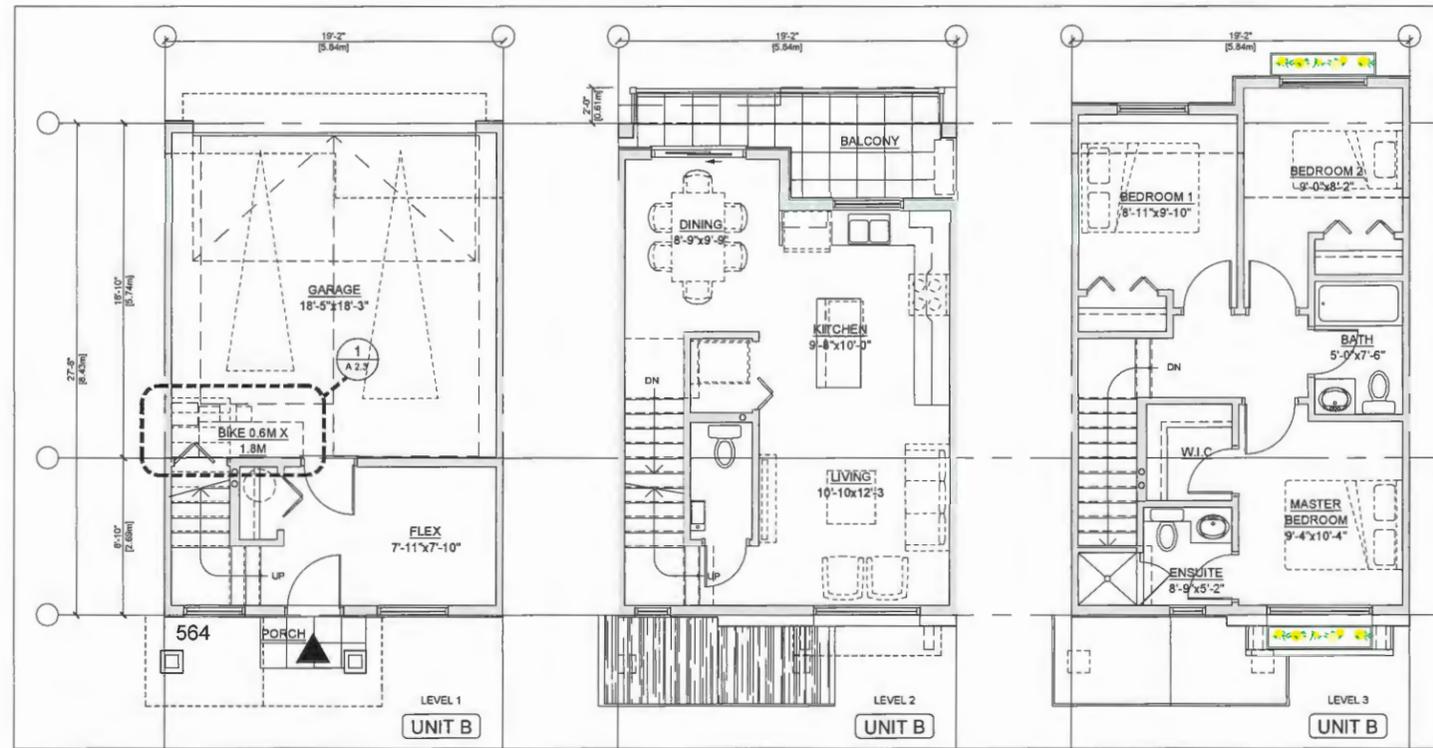
1 AREA FOR GARBAGE AND RECYCLING BINS (UNIT B)
SCALE: 1" = 1'-0"

LEGEND:

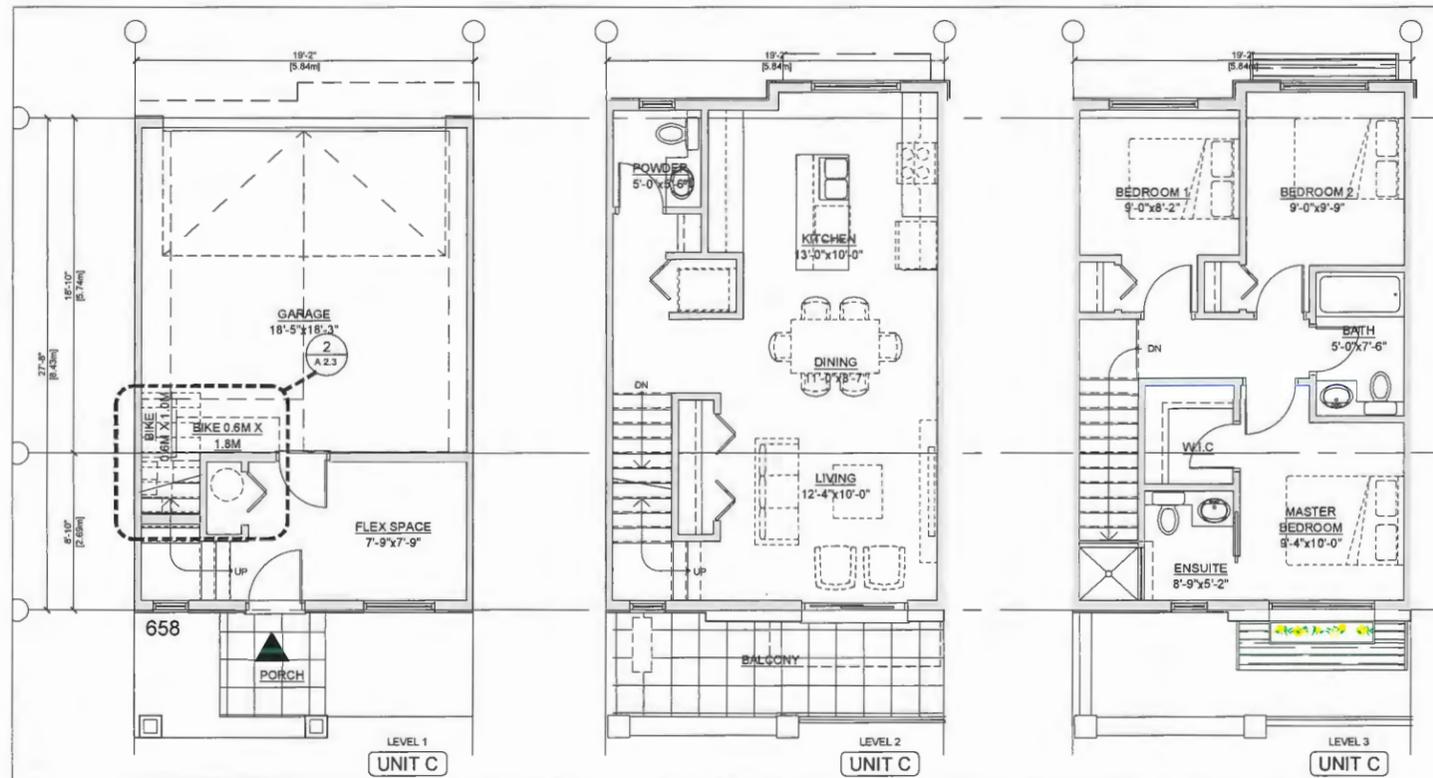
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2 AREA FOR GARBAGE AND RECYCLING BINS (UNIT C)
SCALE: 1" = 1'-0"



UNIT B PLANS
SCALE: 1/4" = 1'-0"



UNIT C PLANS DP18-829233 REFERENCE PLANS
SCALE: 1/4" = 1'-0"

REVISIONS	
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MAY 14, 2018	RE-SUBMISSION
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SEAL

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PROJECT

Proposed 24-Unit
Townhouse Development
10671-10751 BRIDGEPORT RD.
Richmond, B.C.

PROJECT NO.
1904BRID

SCALE

DATE As Noted

DRAWN BY: 15. 2017

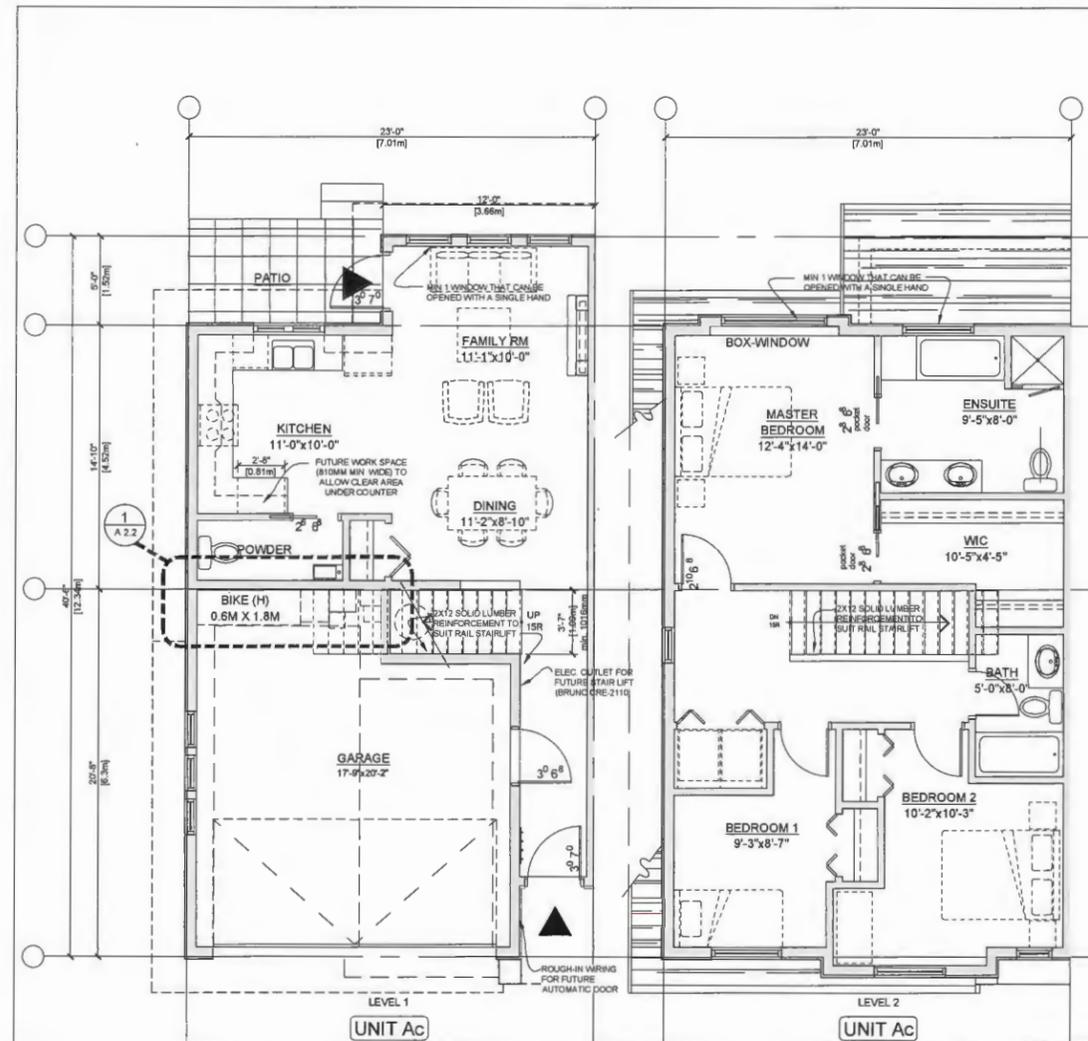
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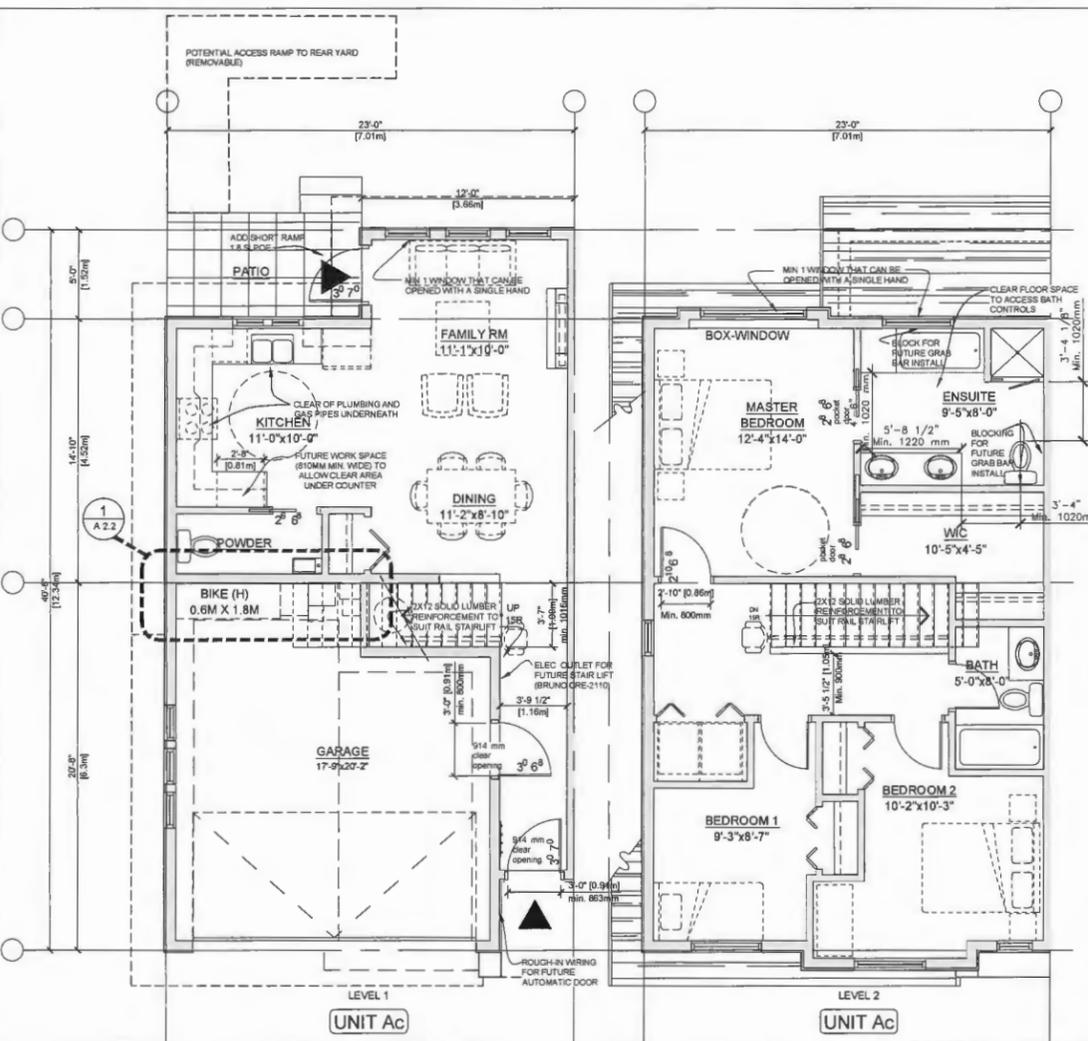
UNIT B PLANS
UNIT C PLANS

DRAWING

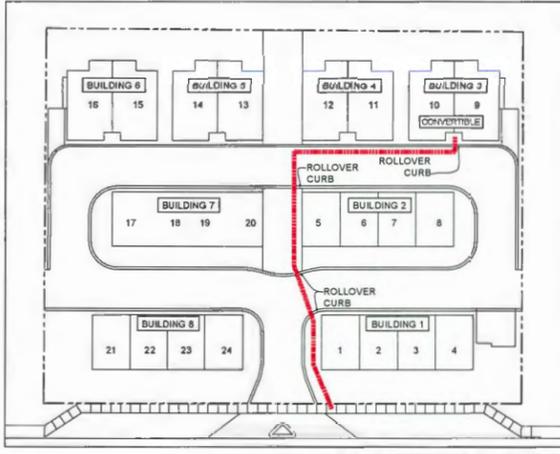
A2.3



UNIT Ac BEFORE CONVERSION
SCALE: 1/4" = 1'-0"



UNIT Ac AFTER CONVERSION
SCALE: 1/4" = 1'-0"



SITE PLAN: ACCESSIBLE PATHS
NOT TO SCALE

CONVERTIBLE UNIT AC FEATURES CHECKLIST		
DOORS & DOORWAYS	ENTRY DOORS MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS	✓
	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN 1220 MM DEPTH BY DOOR WIDTH PLUS 500 MM LATCH SIDE (NOT NEEDED IF ROUGH-IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER)	✓
	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM - MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN HALLWAY AND ROOMS. WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO PROVIDE ACCESS.	✓
	PATIO/BALCONY MIN. 860 MM CLEAR OPENING. AT TIME OF CONVERSION, OCCUPANTS WILL NEED TO PROVIDE A SMALL RAMP TO NEGOTIATE THE RAISED THRESHOLD.	✓
HALLWAYS	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BCBC.	✓
	LEVER-TYPE HANDLES FOR ALL DOORS	✓
GARAGE	MIN. 900 MM WIDTH	✓
	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4M GARAGE WIDTH ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING	✓
VERTICAL CIRCULATION	STAIR LIFT: STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC.	✓
	SPEC NOTE: BRUNO RAIL STAIR LIFT (ELITE CURVE CRE-2110) MAX. LOAD: 400LBS, POWER 24VDC COMPRAISED (2) 7AH 12V BATTERIES	✓
	*** PROVISION FOR - IN UNIT Ac (BUILDING 3) ***	✓
WINDOWS	VERTICAL LIFT(FUTURE): DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION W/O IMPACT TO SURR. STRUCTURE	✓
	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"x12" SOLID LUMBER AT 914 MM TO CENTRE.	✓

ADDITIONAL NOTES FOR CONVERTIBLE UNITS:	
1.	210° LEAF DOORS PROVIDE MINIMUM 800mm CLEAR OPENING
2.	30° LEAF DOORS PROVIDE MINIMUM 863mm CLEAR OPENING
3.	EXTERIOR DOOR THRESHOLDS ARE APPROX 2" HIGHER THAN EXTERIOR FLOOR SURFACE (FOR WATER INGRESS CONCERNS)

BATHROOMS (MIN 1A UNIT)	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT	✓
	WALL BLOCKING FOR FUTURE GRAB BARS AT TOILETS, TUBS, AND SHOWERS	✓
OUTLETS & SWITCHES	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	✓
	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.	✓
KITCHEN	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.	✓
	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).	✓
KITCHEN	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS, BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.	✓
	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.	✓
KITCHEN	CLEAR AREA NEEDED UNDER FUTURE WORKSPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORKSPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.	✓
	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.	✓
KITCHEN	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM	✓
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	✓
WINDOWS	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	✓

DP18-829233 REFERENCE PLANS

REVISIONS	
JULY 26, 2021	DP RE-SUBMISSION
MAR 28, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
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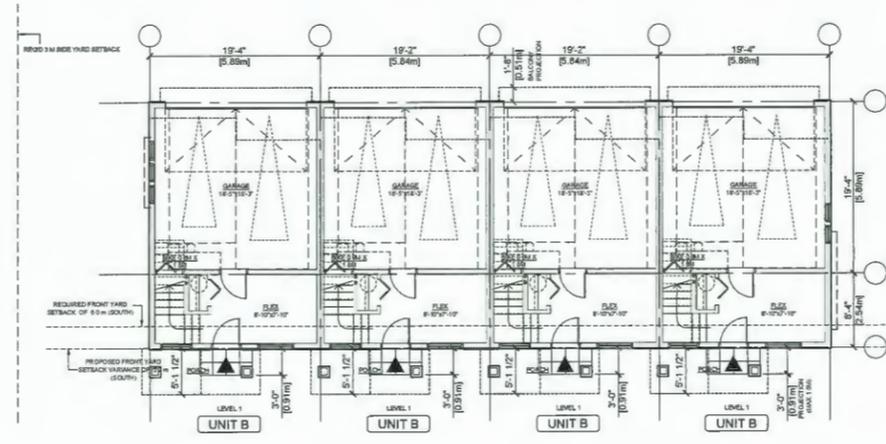
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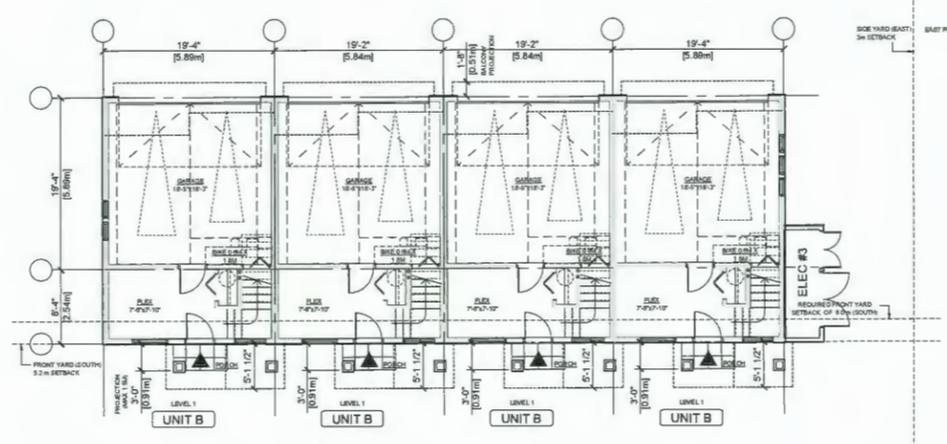
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PROJECT	
Proposed 24-Unit Townhouse Development 10871-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	19048RID
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD, AL
CHECKED BY	KYC
SHEET TITLE	CONVERTIBLE UNIT Ac BEFORE & AFTER
DRAWING	

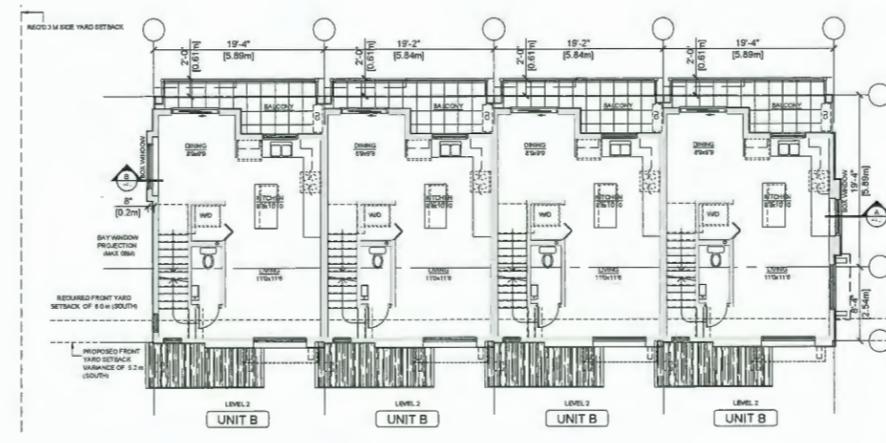
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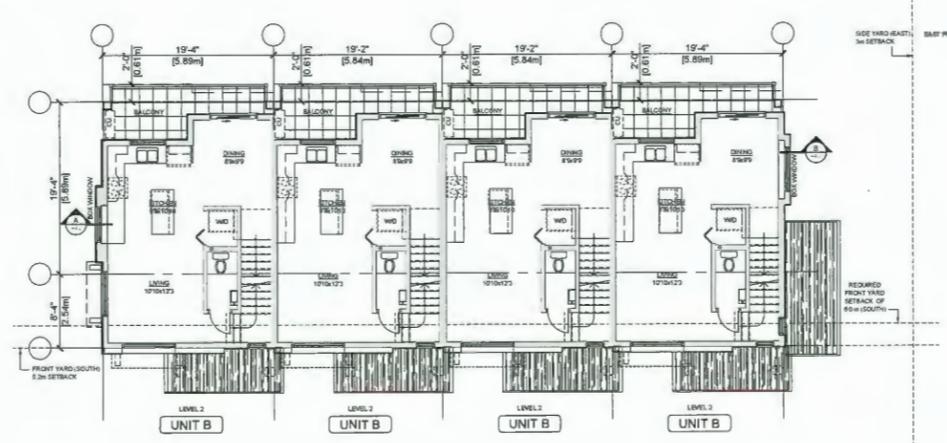
BUILDING 8: LEVEL 1
SCALE: 1/8" = 1'-0"



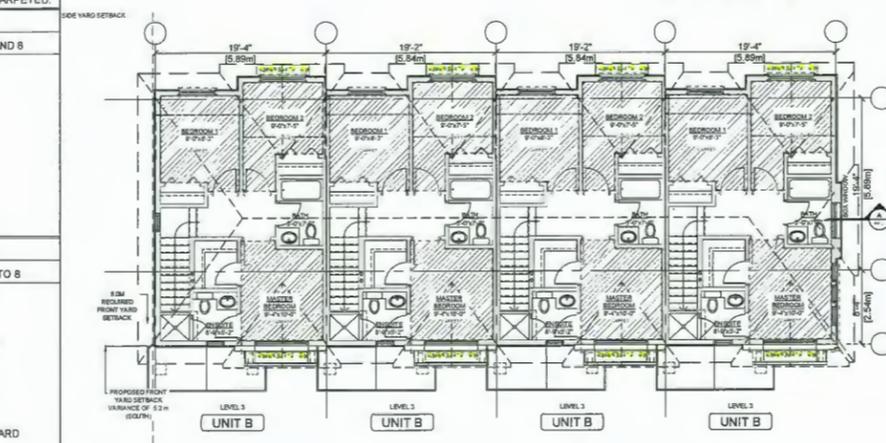
BUILDING 1: LEVEL 1
SCALE: 1/8" = 1'-0"



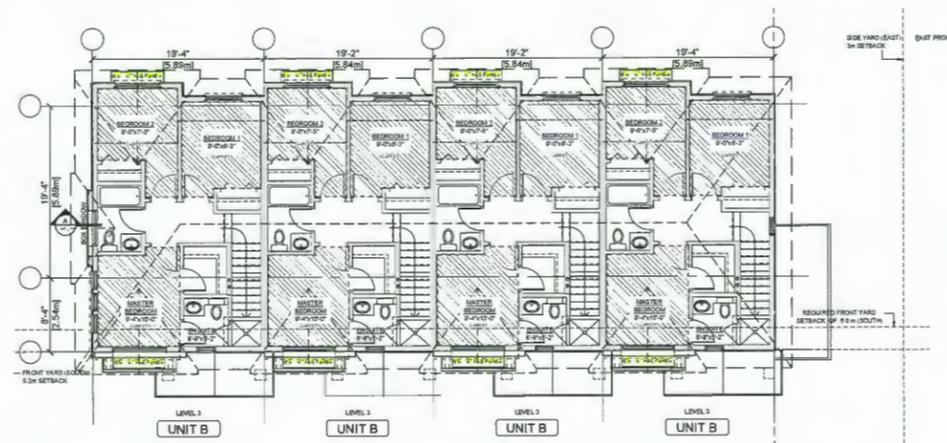
BUILDING 8: LEVEL 2
SCALE: 1/8" = 1'-0"



BUILDING 1: LEVEL 2
SCALE: 1/8" = 1'-0"



BUILDING 8: LEVEL 3
SCALE: 1/8" = 1'-0"



BUILDING 1: LEVEL 3
SCALE: 1/8" = 1'-0"

AGING-IN-PLACE MEASURES	
ALL ROOMS	LEVER TYPE DOOR HANDLES ARE REQUIRED
STAIRS	STAIRWELL HANDRAILS ARE REQUIRED
BATHROOMS, POWDER ROOMS & KITCHEN	SOLID WALL BLOCKING FOR FUTURE GRAB BAR BESIDE TOILET, BATHTUB & SHOWER LEVER TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES

ACOUSTIC UPGRADES	
ALL FLOORING OF BEDROOMS ON UPPER LEVELS TO BE CARPETED.	
EXTERIOR WALL ASSEMBLY	
LOCATION	MASTER BEDROOMS (LEVEL 3) IN BUILDING 1 AND 8
ASSEMBLY	FIBRE CEMENT SIDING - 19 MM STRAPPING - WEATHER BARRIER - 11 MM OSB SHEATHING - 140 MM WOOD STUDS @ 400 MM O.C. - 11 MM OSB SHEATHING - 140 MM WOOD STUDS @ 400 MM O.C. - R-24 BATT INSULATION, FILL CAVITY - 6 MIL POLYETHYLENE VAPOUR BARRIER - 16 MM GYPSUM WALLBOARD
ROOF ASSEMBLY	
LOCATION	ALL BEDROOMS ON LEVEL 2, 3 IN BUILDING 1 TO 8
ASSEMBLY	ASPHALT SHINGLES - #15 ROOFING FELT - 13MM PLYWOOD SHEATHING - PRE-FABRICATED WOOD TRUSSES @ 600MM - EXTERIOR AIR FILM - FIBERGLASS INSULATION (270MM THICK) - MIN. 6 MIL POLY VAPOUR BARRIER - RESILIENT CHANNELS - 2-LAYERS OF 16MM TYPE X GYPSUM WALLBOARD
GLAZED WINDOW ELEMENTS	
LOCATION	ALL BEDROOMS IN BUILDING 1 TO 8
DOUBLE GLAZING	- ONE PANE OF 6MM THICK LAMINATED GLASS - MIN. 12MM AIRSPACE - ONE PANE OF 6MM THICK LAMINATED GLASS

REVISIONS		
JULY 23, 2021	DP RE-SUBMISSION	
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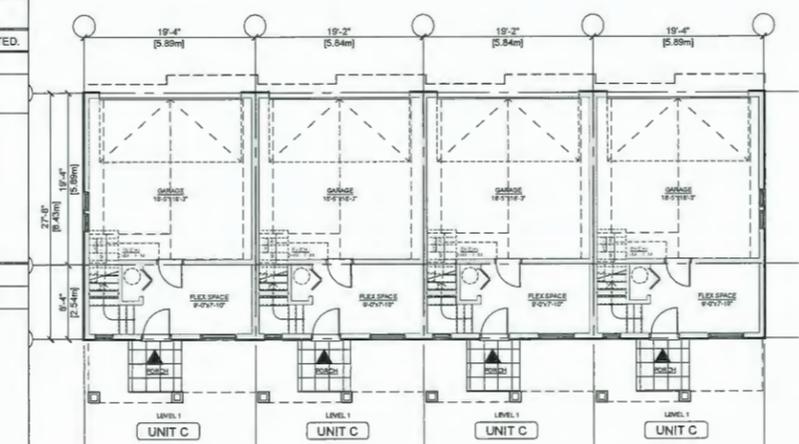
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PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	1904BRID
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD, AL
CHECKED BY	KYC
SHEET TITLE	PLANS: BUILDINGS 1 & 8
DRAWING	

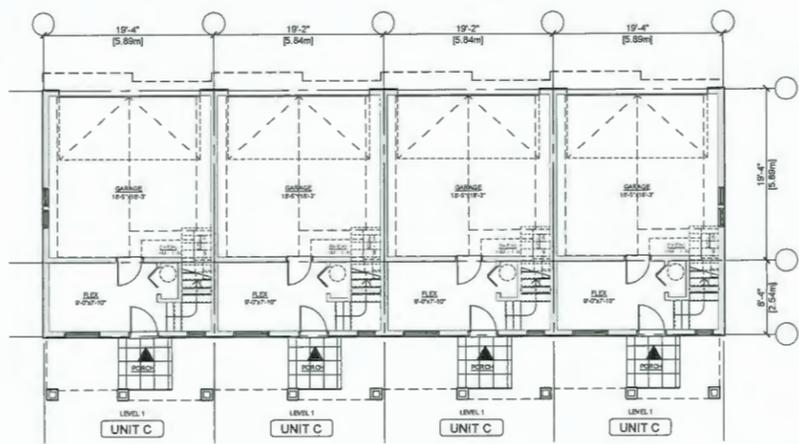
A3.1

ACOUSTIC UPGRADES	
ALL FLOORING OF BEDROOMS ON UPPER LEVELS TO BE CARPETED.	
EXTERIOR WALL ASSEMBLY	
LOCATION	MASTER BEDROOMS (LEVEL 3) EXCEPT FOR BUILDING 1 AND 8
ASSEMBLY	- FIBRE CEMENT SIDING - 19 MM STRAPPING - WEATHER BARRIER - 11 MM OSB SHEATHING - 140 MM WOOD STUDS @ 400 MM O.C. - R-24 BATT INSULATION, FILL CAVITY - 6 MIL POLYETHYLENE VAPOUR BARRIER - 16 MM GYPSUM WALLBOARD
ROOF ASSEMBLY	
LOCATION	ALL BEDROOMS ON LEVEL 2, 3 IN BUILDING 1 TO 8
ASSEMBLY	- ASPHALT SHINGLES - #15 ROOFING FELT - 13MM PLYWOOD SHEATHING - PRE-FABRICATED WOOD TRUSSES @ 600MM - EXTERIOR AIR FILM - FIBERGLASS INSULATION (270MM THICK) - MIN. 6 MIL POLY VAPOUR BARRIER - RESILIENT CHANNELS - 2-LAYERS OF 16MM TYPE X GYPSUM WALLBOARD
GLAZED WINDOW ELEMENTS	
LOCATION	ALL BEDROOMS IN BUILDING 1 TO 8
DOUBLE GLAZING	- ONE PANE OF 6MM THICK LAMINATED GLASS - MIN. 12MM AIRSPACE - ONE PANE OF 6MM THICK LAMINATED GLASS

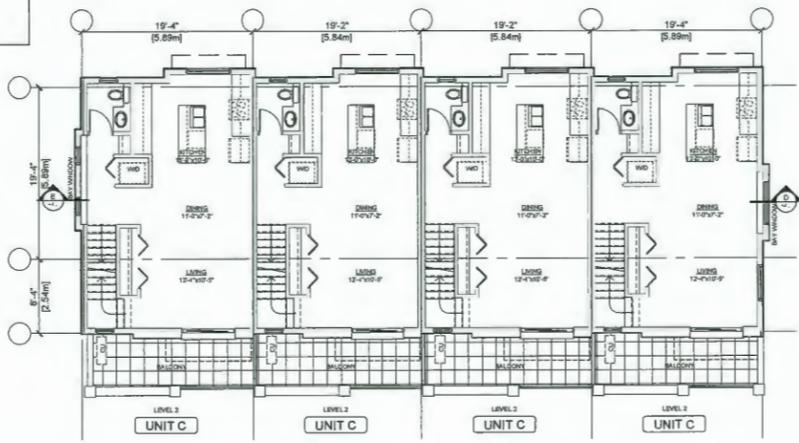
AGING-IN-PLACE MEASURES	
ALL ROOMS	LEVER TYPE DOOR HANDLES
STAIRS	STAIRWELL HANDRAILS ARE REQUIRED
BATHROOMS, POWDER ROOMS & KITCHEN	SOLID WALL BLOCKING FOR FUTURE GRAB BAR BESIDE TOILET, BATHTUB & SHOWER
	LEVER TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES



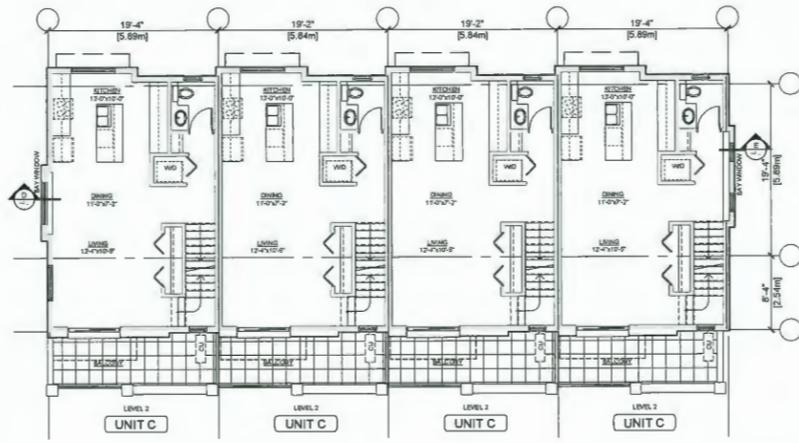
BUILDING 7: LEVEL 1
SCALE: 1/8" = 1'-0"



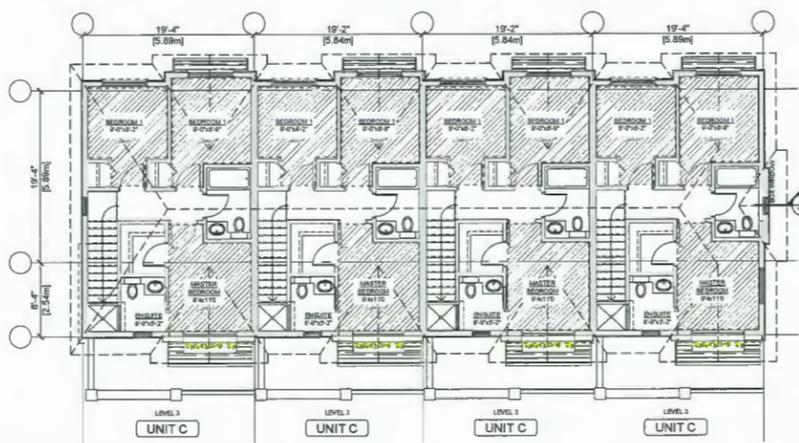
BUILDING 2: LEVEL 1
SCALE: 1/8" = 1'-0"



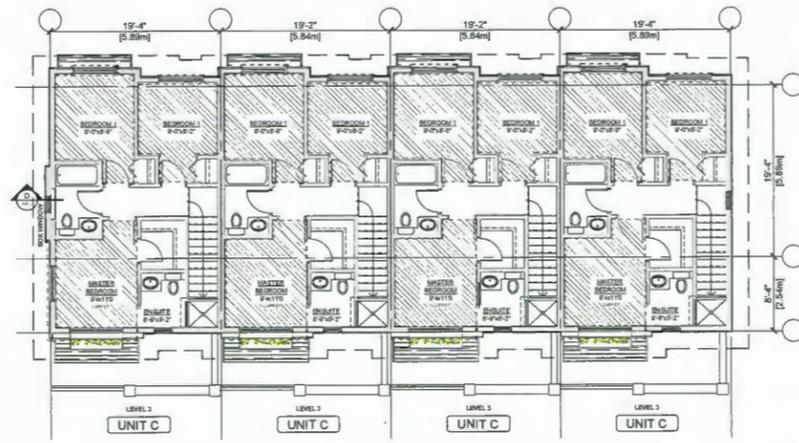
BUILDING 7: LEVEL 2
SCALE: 1/8" = 1'-0"



BUILDING 2: LEVEL 2
SCALE: 1/8" = 1'-0"



BUILDING 7: LEVEL 3
SCALE: 1/8" = 1'-0"



BUILDING 2: LEVEL 3
SCALE: 1/8" = 1'-0"

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
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SEPT 21, 2018	RZ RE-SUBMISSION
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MAY 14, 2018	RE-SUBMISSION
APRIL 28, 2017	RZ APPLICATION

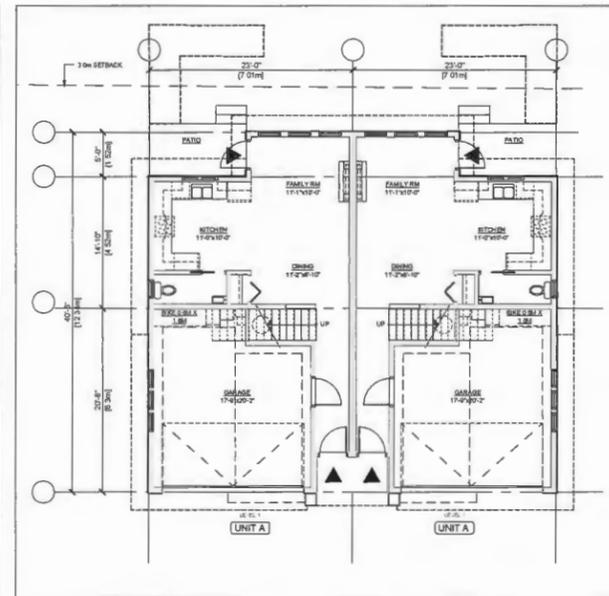
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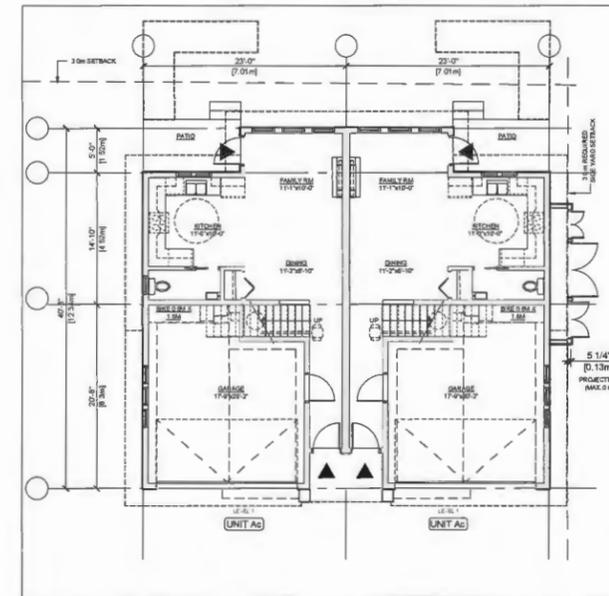
PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	1904BRID
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD, AL
CHECKED BY	KYC
SHEET TITLE	PLANS: BUILDINGS 2 & 7
DRAWING	

A3.2

ACOUSTIC UPGRADES	
ALL FLOORING OF BEDROOMS ON UPPER LEVELS TO BE CARPETED.	
EXTERIOR WALL ASSEMBLY	
LOCATION	MASTER BEDROOMS(LEVEL 3) EXCEPT FOR BUILDING 1 AND 8
ASSEMBLY	FIBRE CEMENT SIDING 19 MM STRAPPING WEATHER BARRIER 11 MM OSB SHEATHING 140 MM WOOD STUDS @ 400 MM O.C. R-24 BATT INSULATION, FILL CAVITY 6 MIL POLYETHYLENE VAPOUR BARRIER 16 MM GYPSUM WALLBOARD
ROOF ASSEMBLY	
LOCATION	ALL BEDROOMS ON LEVEL 2, 3 IN BUILDING 1 TO 8
ASSEMBLY	ASPHALT SHINGLES #15 ROOFING FELT 13MM PLYWOOD SHEATHING PRE-FABRICATED WOOD TRUSSES @ 600MM EXTERIOR AIR FILM FIBERGLASS INSULATION (270MM THICK) MIN. 6 ML POLY VAPOUR BARRIER RESILIENT CHANNELS 2 LAYERS OF 16MM TYPE X GYPSUM WALLBOARD
GLAZED WINDOW ELEMENTS	
LOCATION	ALL BEDROOMS IN BUILDING 1 TO 8
DOUBLE GLAZING	ONE PANE OF 6MM THICK LAMINATED GLASS MIN. 12MM AIRSPACE ONE PANE OF 6MM THICK LAMINATED GLASS

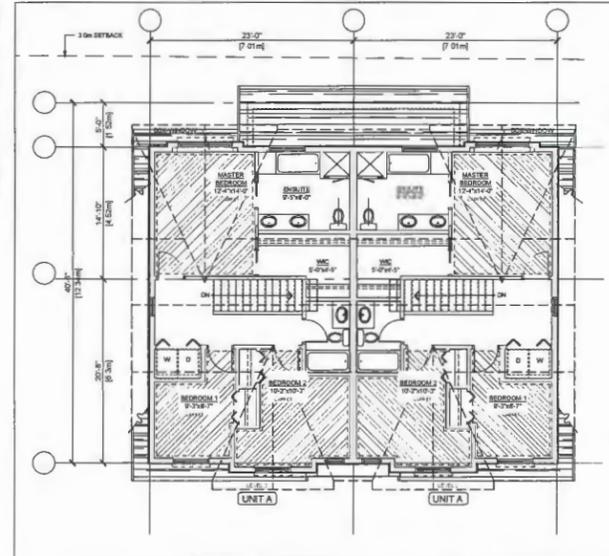


BUILDING 4: LEVEL 1
SCALE: 1/8" = 1'-0"

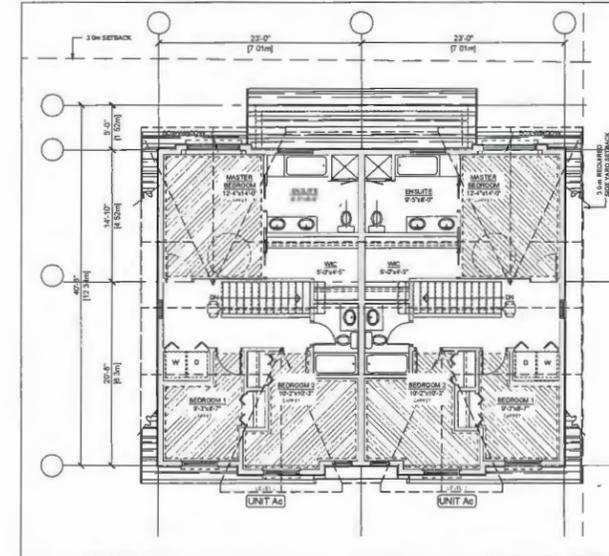


SEE THE CONVERTIBLE UNIT FLOOR PLANS ON A2.1 FOR MORE DETAILS
BUILDING 3: LEVEL 1
SCALE: 1/8" = 1'-0"

AGING-IN-PLACE MEASURES	
ALL ROOMS	LEVER TYPE DOOR HANDLES
STAIRS	STAIRWELL HANDRAILS ARE REQUIRED
BATHROOMS, POWDER ROOMS & KITCHEN	SOLID WALL BLOCKING FOR FUTURE GRAB BAR BESIDE TOILET, BATHTUB & SHOWER LEVER TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES



BUILDING 4: LEVEL 2
SCALE: 1/8" = 1'-0"



SEE THE CONVERTIBLE UNIT FLOOR PLANS ON A2.1 FOR MORE DETAILS
BUILDING 3: LEVEL 2
SCALE: 1/8" = 1'-0"

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
DEC 19, 2019	ADP SUBMISSION
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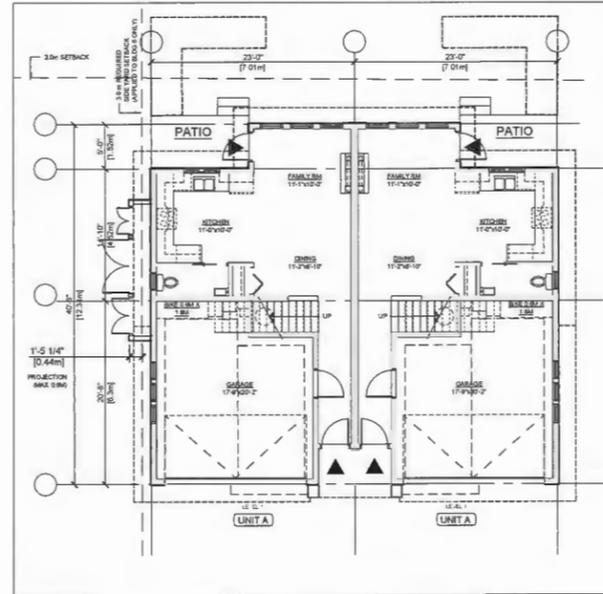
INTERFACE:
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PROJECT	
Proposed 24-Unit Townhouse Development 10671-10751 BRIDGEPORT RD. Richmond, B.C.	
PROJECT NO.	
19048PRD	
SCALE	
As Noted	
DATE	
Apr. 15, 2017	
DRAWN BY	
KYC, HD	
CHECKED BY	
KYC	
SHEET TITLE	
PLANS: BUILDINGS 3 & 4	
DRAWING	

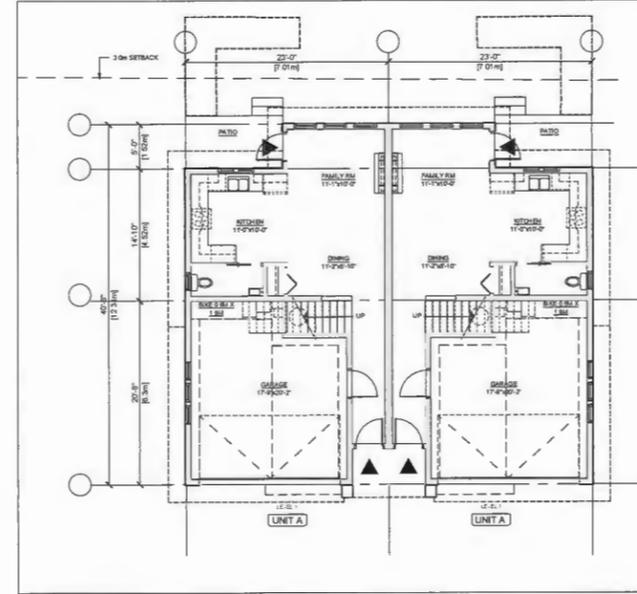
A3.3

ACOUSTIC UPGRADES	
ALL FLOORING OF BEDROOMS ON UPPER LEVELS TO BE CARPETED.	
EXTERIOR WALL ASSEMBLY	
LOCATION	MASTER BEDROOMS(LEVEL 3) EXCEPT FOR BUILDING 1 AND 8
ASSEMBLY	FIBRE CEMENT SIDING 19 MM STRAPPING WEATHER BARRIER 11 MM OSB SHEATHING 140 MM WOOD STUDS @ 400 MM O.C. R-24 BATT INSULATION, FILL CAVITY 5 MIL POLYETHYLENE VAPOUR BARRIER 16 MM GYPSUM WALLBOARD
ROOF ASSEMBLY	
LOCATION	ALL BEDROOMS ON LEVEL 2, 3 IN BUILDING 1 TO 8
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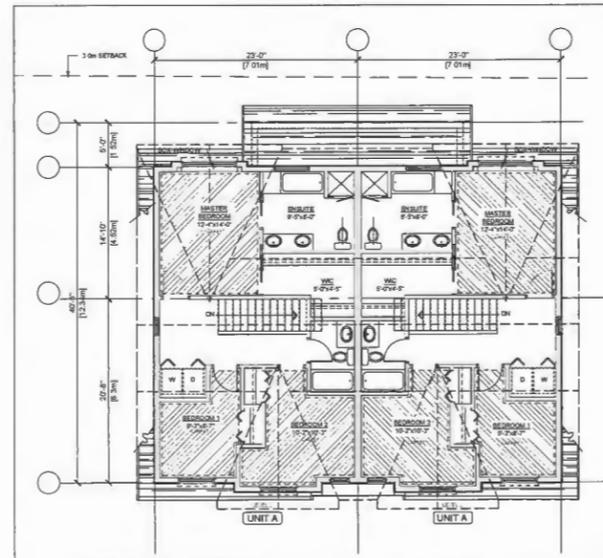
AGING-IN-PLACE MEASURES	
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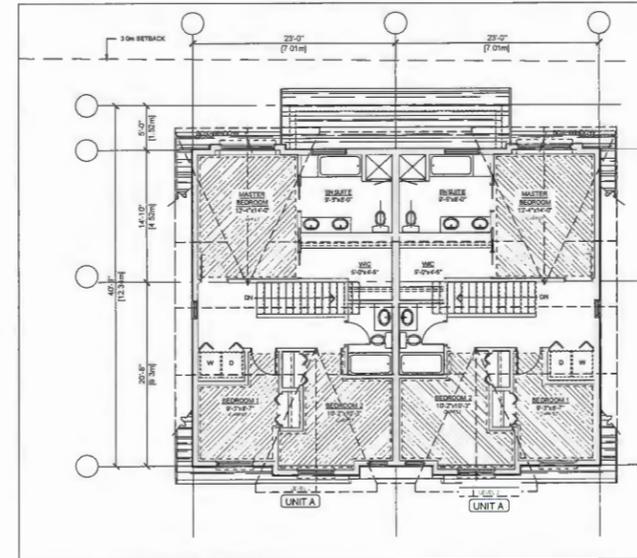
BUILDING 6: LEVEL 1
SCALE: 1/8" = 1'-0"



BUILDING 5: LEVEL 1
SCALE: 1/8" = 1'-0"



BUILDING 6: LEVEL 2
SCALE: 1/8" = 1'-0"



BUILDING 5: LEVEL 2
SCALE: 1/8" = 1'-0"

REVISIONS	
JULY 29, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
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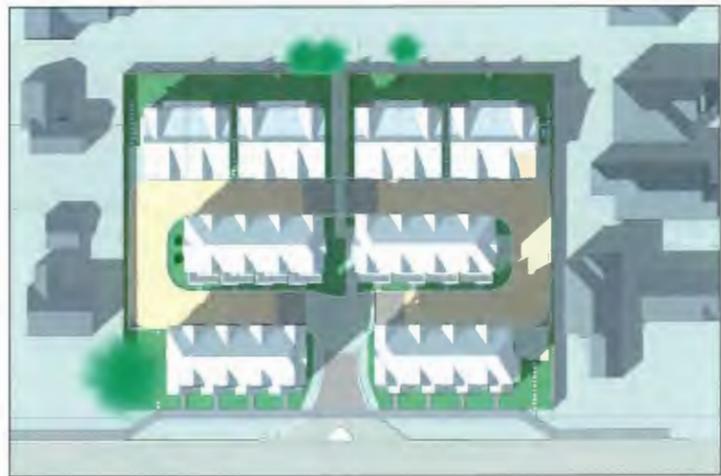
PROJECT	Proposed 24-Unit Townhouse Development 10571-10751 BRIDGEPORT RD. Richmond, B.C.
PROJECT NO.	1904BRID
SCALE	As Noted
DATE	Apr. 15, 2017
DRAWN BY	KYC, HD
CHECKED BY	KYC
SHEET TITLE	PLANS: BUILDINGS 5 & 6
DRAWING	A3.4



MARCH 21, 9AM



MARCH 21, 12PM



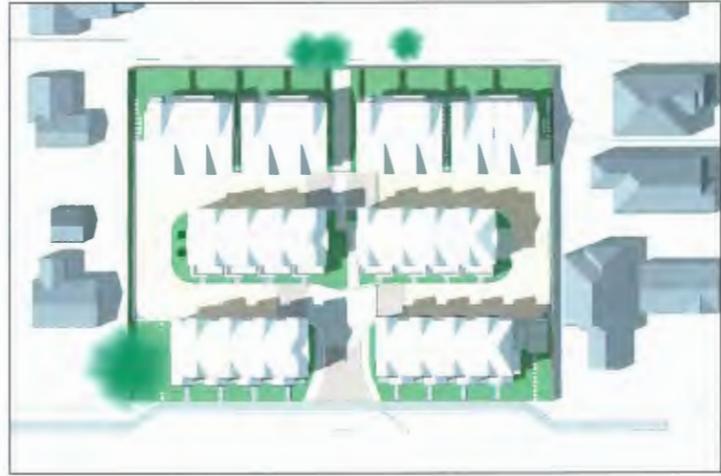
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JUNE 21, 9AM



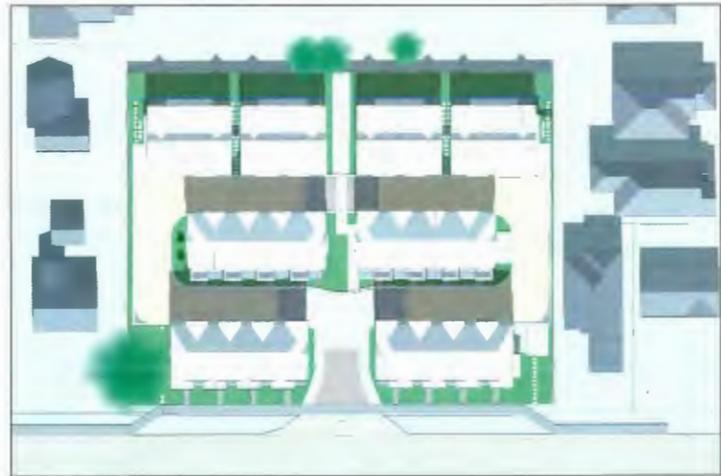
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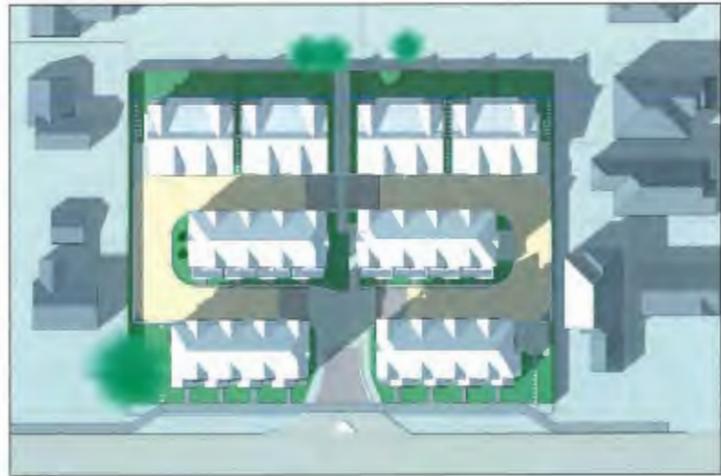
JUNE 21, 3PM



SEPTEMBER 21, 9AM



SEPTEMBER 21, 12PM



SEPTEMBER 21, 3PM

REVISIONS	
JULY 20, 2021	DP RE-SUBMISSION
MAR 26, 2021	DP RE-SUBMISSION
AUG 19, 2020	DP RE-SUBMISSION
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PROJECT

Proposed 24-Unit
Townhouse Development
10671-10751 BRIDGEPORT RD.
Richmond, B.C.

PROJECT NO.

1904BRID

SCALE

As Noted

DATE

Apr. 15, 2017

DRAWN BY

KYC, HD, AL, XY

CHECKED BY

KYC

SHEET TITLE

SHADOW STUDY

DRAWING

A9.2



To: Development Permit Panel

Date: August 4, 2021

From: Wayne Craig
Director, Development

File: DP 19-862430

Re: **Application by CSC Interior Services for a Development Permit at
8011 Leslie Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit renovations to the existing building at 8011 Leslie Road on a site zoned "Auto-Oriented Commercial (CA);" and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum side yard setback from 3.0 m to 0 m;
 - b) Permit two small vehicle parking spaces;
 - c) Reduce the required medium on-site loading spaces from 1 to 0;
 - d) Reduce the minimum setback between parking spaces and side lot lines from 1.5 m to 0.8 m; and
 - e) Reduce the minimum setback between parking spaces and the rear lot line from 1.5 m to 0 m.

for
Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 3

Staff Report

Origin

CSC Interior Services has applied to the City of Richmond on behalf of owner, Canada Mei Fu Jin Investment Ltd. (Director Jiang Fu), for permission to undertake renovations to the existing building at 8011 Leslie Road on a site zoned "Auto-oriented Commercial (CA)." The proposed renovations are to facilitate the use of the building as a hotel. A location map is provided in Attachment 1. The site currently contains a three-storey building.

There is no rezoning application associated with this Development Permit application.

Development Information

Please refer to the Development Application Data Sheet in Attachment 2 for a comparison of the proposed development data with the relevant bylaw requirements.

Background

The subject site is an 829 m² (8,923 ft²) property containing a three-storey building, which was built as offices but is currently vacant. The site is located in the Aberdeen Village area of the City Centre Area Plan (CCAP). The CCAP land use designation for the subject site is "General Urban T5," which supports a variety of commercial uses.

The existing building is located above the parking at grade, with only elevator and stair lobbies occupying the ground floor. The proposed renovation would include replacement of all of the windows, replanting of the landscape areas, and two small additions to the ground floor in an area currently occupied by parking.

Development surrounding the subject site is as follows:

- To the north; a single-storey commercial centre on a property zoned "Auto-oriented Commercial (CA)".
- To the east; a two-storey commercial building on a property zoned "Auto-oriented Commercial (CA)".
- To the south, across Leslie Road; a paved parking lot on a property zoned "Auto-oriented Commercial (CA)".
- To the west; one- and two-storey commercial buildings on properties zoned "Auto-oriented Commercial (CA)".

Staff Comments

The proposal involves the conversion of the building from office to hotel uses. A total of 22 rooms are proposed. No cooking facilities are provided within the rooms although a communal dining area for hotel guests is provided. Consistent with previous applications involving hotels, the applicant will be required to register restrictive covenants on title prior to issuance of the Development Permit. These include a restriction against the strata subdivision of hotel rooms, limit on length of stay to a maximum of 30 consecutive days, and a restriction against providing kitchens in any hotel room.

The proposed exterior alterations are largely limited to the size and location of windows, parking layout, and small ground floor additions within the existing building footprint. The additional floor area is within the allowable floor area ratio (FAR) for hotel uses. The proposed alterations are generally in compliance with the “Auto-oriented Commercial (CA)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum side yard setback from 3.0 to 0 m.

Staff supports the proposed variance as the location of the existing building is an existing legal con-conforming condition and the project involves adaptive reuse of the existing building.

- 2) Permit two small vehicle parking spaces.

Staff supports the proposed variance as it applies only to the existing parking spaces located underneath the building, which cannot be enlarged due to the structural support pillars. The Zoning Bylaw would allow up to 50% small car spaces on properties with 31 or more parking spaces. These two small spaces represent 18% of total stalls. The parking arrangements have been reviewed and accepted by the City’s Transportation Department.

- 3) Reduce the required medium on-site loading spaces from 1 to 0.

Staff supports the proposed variance as the location of the existing building and clearance height of the drive aisle restrict loading activities to the front yard only. Loading is accommodated along the west side of the site, and, although this area is not technically large enough to meet the size requirements for a medium-size loading area as defined in the Zoning Bylaw, the applicant has demonstrated that this area is functional for the needs of the proposed use. The loading arrangement was reviewed and accepted by the City’s Transportation Department.

- 4) Reduce the minimum setback between parking spaces and side lot lines from 1.5 m to 0.8 m.

Staff supports the proposed variance as the proposed landscaped setbacks are an improvement from the existing condition. A 1.5 m landscape setback cannot be accommodated without a variance to the minimum driveway width, which is 7.5 m.

- 5) Reduce the minimum setback between parking spaces and the rear lot line from 1.5 m to 0 m.

Staff support the proposed variance as the rear yard interface is with the service lane of the neighbouring development. A landscaped area is instead provided at the base of the building to add separation between parked vehicles and the ground level hotel units.

Advisory Design Panel Comments

The proposed exterior alterations are limited in scope and will not impact the overall form, massing or site plan of the existing building. Therefore, it was not presented to the Advisory Design Panel for review and comment.

Analysis

Conditions of Adjacency

- The subject site is located within a vehicle-oriented commercial area. There is perimeter fencing around the site, which would be replaced with a new 1.8 m (6 foot) metal fence. As the proposal involves only minor additions to the existing building, no grade changes are proposed.
- The subject site is located in Area A of Richmond Flood Plain Designation and Protection Bylaw 8204. A Flood Indemnity covenant is required to be registered on title prior to issuance of the Development Permit.
- The subject site is located in Aircraft Noise Sensitive Development Area 1A of the Official Community Plan. A Noise Indemnity covenant is required to be registered on title prior to issuance of the Development Permit.

Urban Design and Site Planning

- Vehicle access to the site is from a driveway crossing in the middle of the Leslie Rd frontage. The drive aisle continues through the centre of the site with parking on both sides. The building is located over the parking and drive aisle.
- The proposed renovation would include two small additions under the building, which would replace some of the existing parking stalls. These additions are for a communal dining area, three guest rooms, and new mechanical and electrical rooms. The exterior cladding will be consistent with the exterior cladding on the ground floor of the building.
- A total of 11 parking spaces are provided including one accessible parking space in front of the building. Bicycle parking is provided under the building between two of the pillars.
- There is an existing waste collection area at the front of the site, which is currently not screened. A new garbage and recycling enclosure is proposed under the western side of the building, which would be accessible from an informal loading area on the west side of the site. There is insufficient overhead clearance for a garbage truck to pass under the building for the enclosure to be located at the rear of the site.
- No changes to the site layout or building massing are proposed, and the proposed building additions would be located within the existing footprint.

Architectural Form and Character

- The existing building is a three-storey structure, with the upper two stories located above an unenclosed parking area below.
- The proposed renovation would involve two ground floor additions in the parking area, replacing the existing windows, and reconfiguring the surface parking.
- The building is clad with horizontal metal siding. The siding is proposed to be retained, and new siding to match will be installed on the building additions. All siding would be painted a uniform shade of blue.
- Business signage shown on the plans does not form part of the Development Permit and is subject to additional review by staff through the sign permit application process.

Landscape Design and Open Space Design

- The majority of the site is paved to accommodate vehicle circulation and parking. There are landscaped areas in the front yard setback, which currently contain shrubs in poor condition.

- New landscaping would be planted as part of the proposed renovations. The proposal includes three Japanese Maple trees in the front yard setback with Sweet Woodruff as a groundcover. Sweet Woodruff is a shade tolerant perennial that is attractive to pollinator species includes bees and butterflies.
- A landscape security of \$18,249 is required prior to Development Permit issuance to ensure that the agreed upon landscaping works are installed and maintained.

Crime Prevention Through Environmental Design

- Pedestrian access is proposed via a marked pathway from the sidewalk to the front door. The painted pathway continues along the drive aisle under the building to provide a clear route from the parking area and ground floor guest rooms to the lobby and sidewalk.
- The existing wood perimeter fence is proposed to be removed and replaced with a metal fence.

Sustainability

- The proposal involves the adaptive reuse of an existing building, extending the functional life of the building and reducing demolition waste.

Off-site Works and Frontage Improvements

- A Servicing Agreement is required for off-site servicing works and frontage improvements.
- The property frontage is to be upgraded to the current standard for City Centre, including 2.0 m wide sidewalk and 1.5 m wide landscaped boulevard.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Jordan Rockerbie
Planner 1
(604-276-4092)

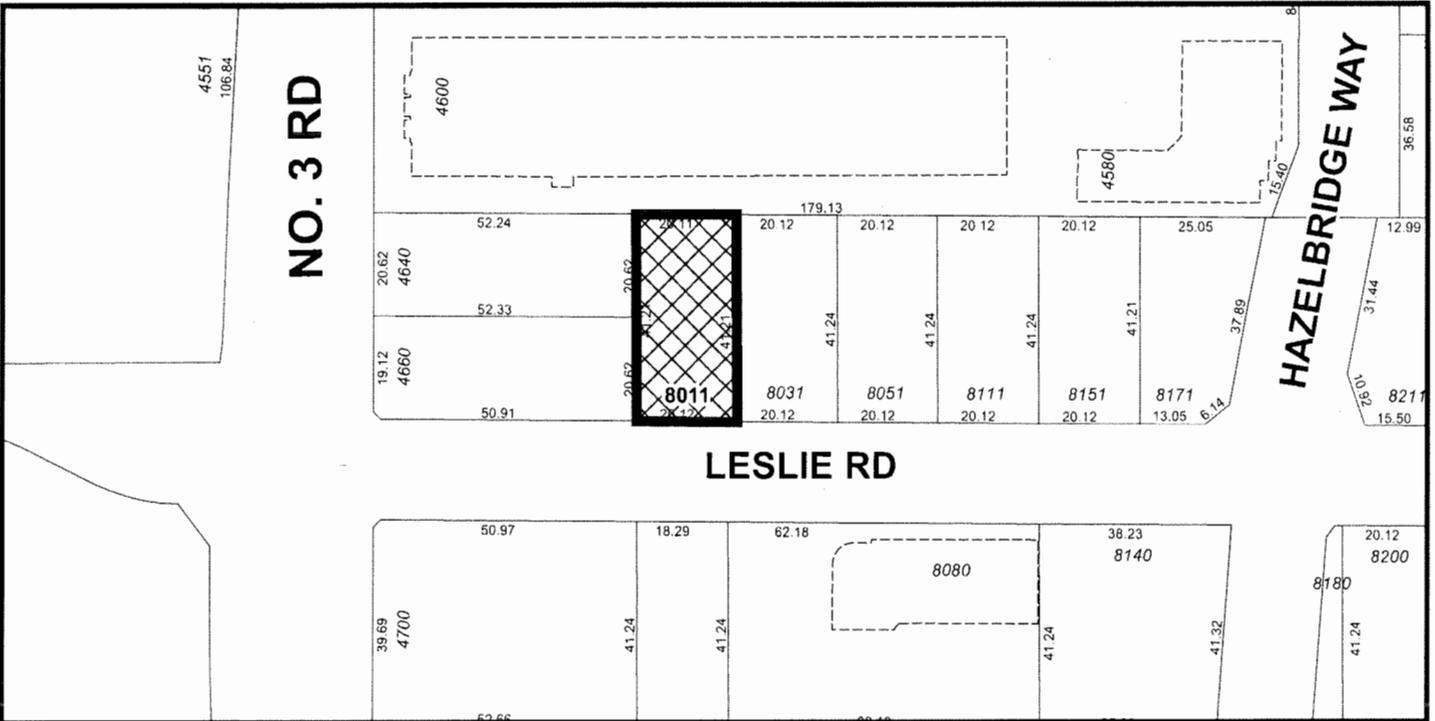
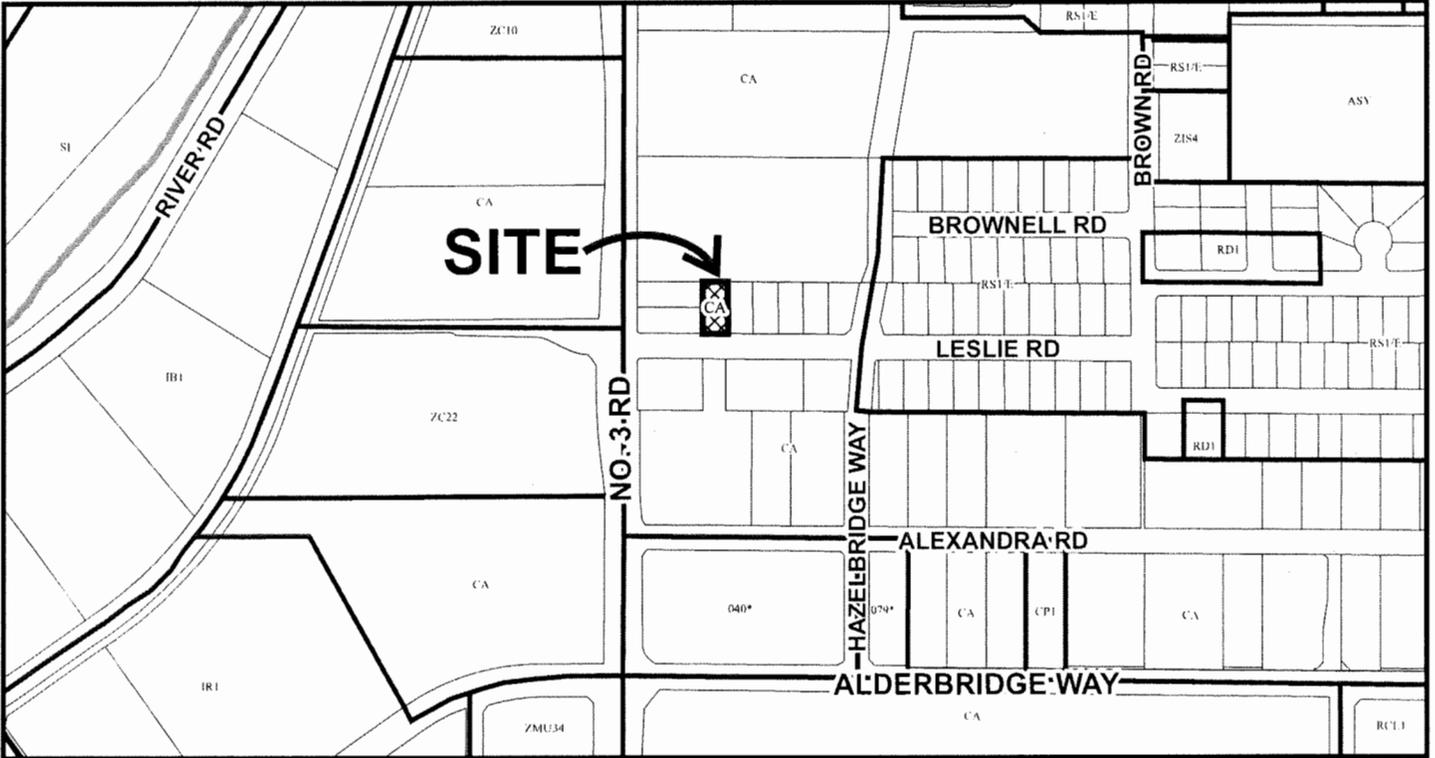
JR:blg

Attachments:

Attachment 1: Location Map
Attachment 2: Development Application Data Sheet
Attachment 3: Development Permit Considerations



City of
Richmond



DP 19-862430

Original Date: 06/05/19

Revision Date:

Note: Dimensions are in METRES



DP 19-862430

Attachment 2

Address: 8011 Leslie Road

Applicant: CSC Interior Services

Owner: Canada Mei Fu Jin Investment Ltd.

Planning Area(s): City Centre

Floor Area Gross: 833.4 m² (8,971 ft²)

Floor Area Net: 833.4 m² (8,971 ft²)

	Existing	Proposed
Site Area:	829 m ²	No change
Land Uses:	Commercial office	Commercial hotel
OCP Designation:	Commercial	No change
CCAP Designation:	General Urban T5	No change
Zoning:	Auto-oriented Commercial (CA)	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.5 FAR for hotels	1.0 FAR	None permitted
Lot Coverage:	Max. 50%	41.1%	None
Setback – Front Yard:	Min. 3.0 m	8.07 m	None
Setback – West Side Yard:	Min. 3.0 m	3.04 m	None
Setback – East Side Yard:	Min. 3.0 m	0 m	Vary by 3.0 m
Setback – Rear Yard:	Min. 3.0 m	12.14 m	None
Height (m):	Max. 45 m for hotels	11.26 m	None
Lot Size:	N/A	829 m ²	None
Off-street Parking Spaces:	Min. 10	11	None
Off-street Parking Spaces – Small:	Not permitted	2	Vary by 2
Off-street Parking Spaces – Accessible:	Min. 2%, i.e. 1	1	None
Off-street Loading Spaces - Medium:	Min. 1	0	Vary by 1
Off-street Loading Spaces - Large:	0	0	None



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8011 Leslie Road

File No.: DP 19-862430

Prior to a Development Permit being forwarded to Council for issuance, the developer is required to:

1. Submission of a Landscape Security in the amount of \$18,249. A portion of the Landscape Security will be returned following a satisfactory Landscape Inspection by the City through the Building Permit process. The City may retain up to 10% of the Landscape Security for a one year holding period, to ensure that the agreed-upon landscaping survives.
2. Registration of an aircraft noise indemnity covenant on title (ANSD Area 1A).
3. Registration of a flood indemnity covenant on title (Area A).
4. Registration of a covenant on title:
 - a. Prohibiting stratification of individual or groups of hotel rooms;
 - b. Securing the owner's and owner's assignee's commitment to limit the length of stay of hotel guests to a maximum of thirty consecutive days; and
 - c. Prohibiting kitchens in any of the hotel rooms.

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to:

Water Works:

- a) Using the OCP Model, there is 303.0 L/s of water available at a 20 psi residual at the Leslie Road frontage. Based on your proposed development, your site requires a minimum fire flow of 200 L/s.
- b) The Developer is required to at the developer's cost:
 - i) Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - ii) Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use
 - iii) Review and confirm if the existing 25mm water service connection is adequate to service the proposed development. In the case that a service connection is not considered acceptable, the service connection shall be replaced by the City, at the Developer's cost, as described below.

iv) Provide a right-of-way for new water meter, if required. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances. Exact right-of-way dimensions to be finalized at the building permit stage.

c) At Developer's cost, the City is to:

i) If required, upgrade the existing 25mm water service connection, complete with meter and meter box.

Storm Sewer Works:

d) The Developer is required to at the developer's cost:

i) Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.

ii) Confirm the size, material and condition of the existing storm service connection through video inspection. Submit the findings for City review. If deemed acceptable by the City, the existing service connection may be retained. In the case that the service connection size is inadequate or it is not in a condition to be re-used, the service connection shall be replaced by the City, at the Developer's cost, as described below.

e) At Developer's cost, the City is to:

i) If required, replace the existing storm service connection, inspection chamber, and storm lead servicing 8011 Leslie Road. The new connection shall be to the existing manhole.

Sanitary Sewer Works:

f) At Developer's cost, the City is to:

i) Cut and cap, at main, the existing rear yard sanitary sewer service connection to the development site and remove its inspection chamber.

ii) Install a new sanitary service connection off of the 200mm collector pipe within Leslie Road, complete with a new inspection chamber.

Frontage Improvements:

g) The Developer is required to at the developer's cost:

i) Coordinate with BC Hydro, Telus and other private communication service providers:

(a) To pre-duct for future hydro, telephone and cable utilities along the Leslie Road frontage.

(b) Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages

(c) Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are

examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan the servicing agreement drawings, and registered prior to SA design approval:

- BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
- ii) Provide roadway lighting at the back of curb at the Leslie Road frontage: Type 7 (LED) INCLUDING 1 street luminaire with a grey pole, but EXCLUDING any pedestrian luminaires, banner arms, flower basket holders, irrigation, or duplex receptacles.
- iii) Complete other frontage improvements as per Transportation requirements:
- (a) New 2.0 m concrete sidewalk at the property line, min. 1.5 m wide landscaped boulevard, existing curb to remain in place.
 - (b) Reconstruct the existing driveway crossing to current design standards.

General Items:

- h) The Developer is required to at the developer's cost:
- i) Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, dewatering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
 - ii) Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into rights-of-ways must be reviewed by the City's Engineering Department.
 - iii) Coordinate the servicing agreement design for this development with the servicing agreement(s) for the adjacent development(s), both existing and in-stream. The developer's civil engineer shall submit a signed and sealed letter with each servicing agreement submission confirming that they have coordinated with civil engineer(s) of the adjacent project(s) and that the servicing agreement designs are consistent. The City will not accept the 1st submission if it is not coordinated with the adjacent developments. The coordination letter should cover, but not be limited to, the following:
 - (a) Corridors for City utilities (existing and proposed water, storm sewer, sanitary and DEU) and private utilities.
 - (b) Pipe sizes, material and slopes.
 - (c) Location of manholes and fire hydrants.
 - (d) Road grades, high points and low points.
 - (e) Alignment of ultimate and interim curbs.
 - (f) Proposed street lights design.

Note:

* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 19-862430

To the Holder: CSC INTERIOR SERVICES
Property Address: 8011 LESLIE ROAD
Address: C/O 3216 SALTSPRING AVENUE
COQUITLAM, BC V3E 1E9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum side yard setback from 3.0 m to 0 m;
 - b) Permit two small vehicle parking spaces;
 - c) Reduce the required medium on-site loading spaces from 1 to 0;
 - d) Reduce the minimum setback between parking spaces and side lot lines from 1.5 m to 0.8 m; and
 - e) Reduce the minimum setback between parking spaces and the rear lot line from 1.5 m to 0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1 to # 6 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$18,249 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

Development Permit
No. DP 19-862430

To the Holder: CSC INTERIOR SERVICES
Property Address: 8011 LESLIE ROAD
Address: C/O 3216 SALTSPRING AVENUE
COQUITLAM, BC V3E 1E9

- 7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
- 8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

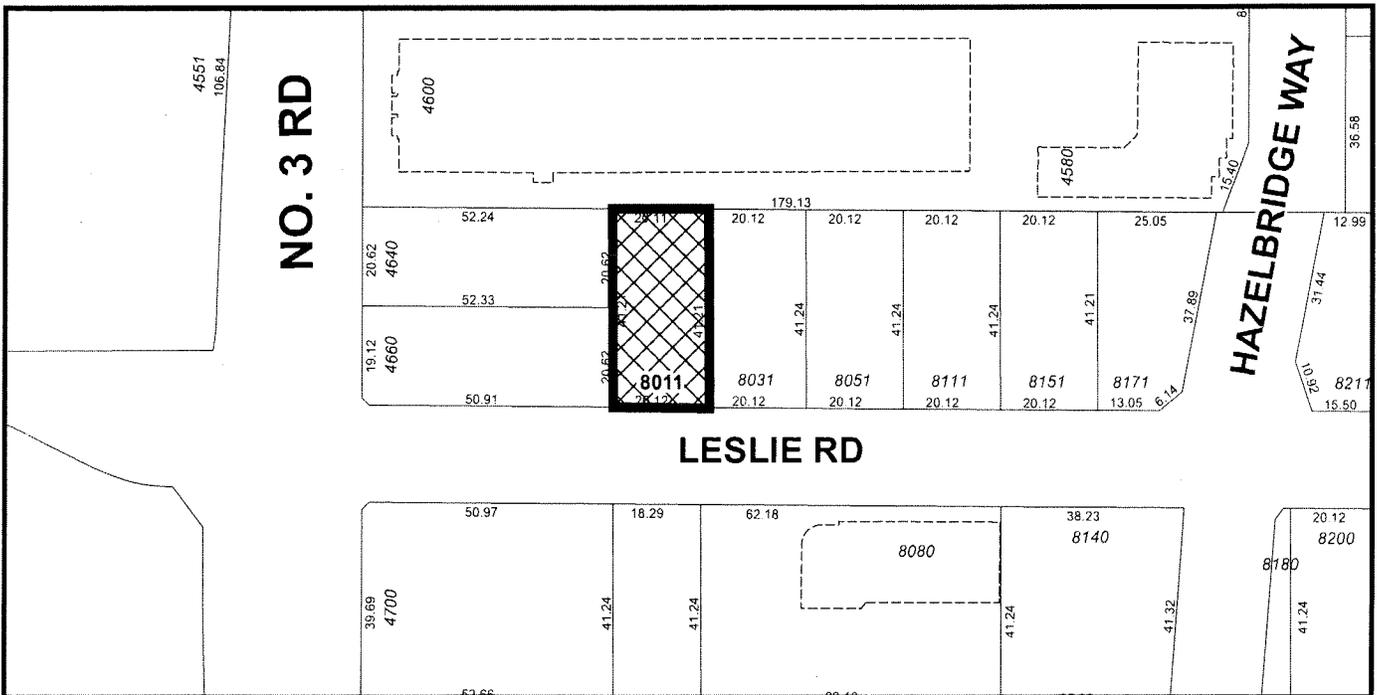
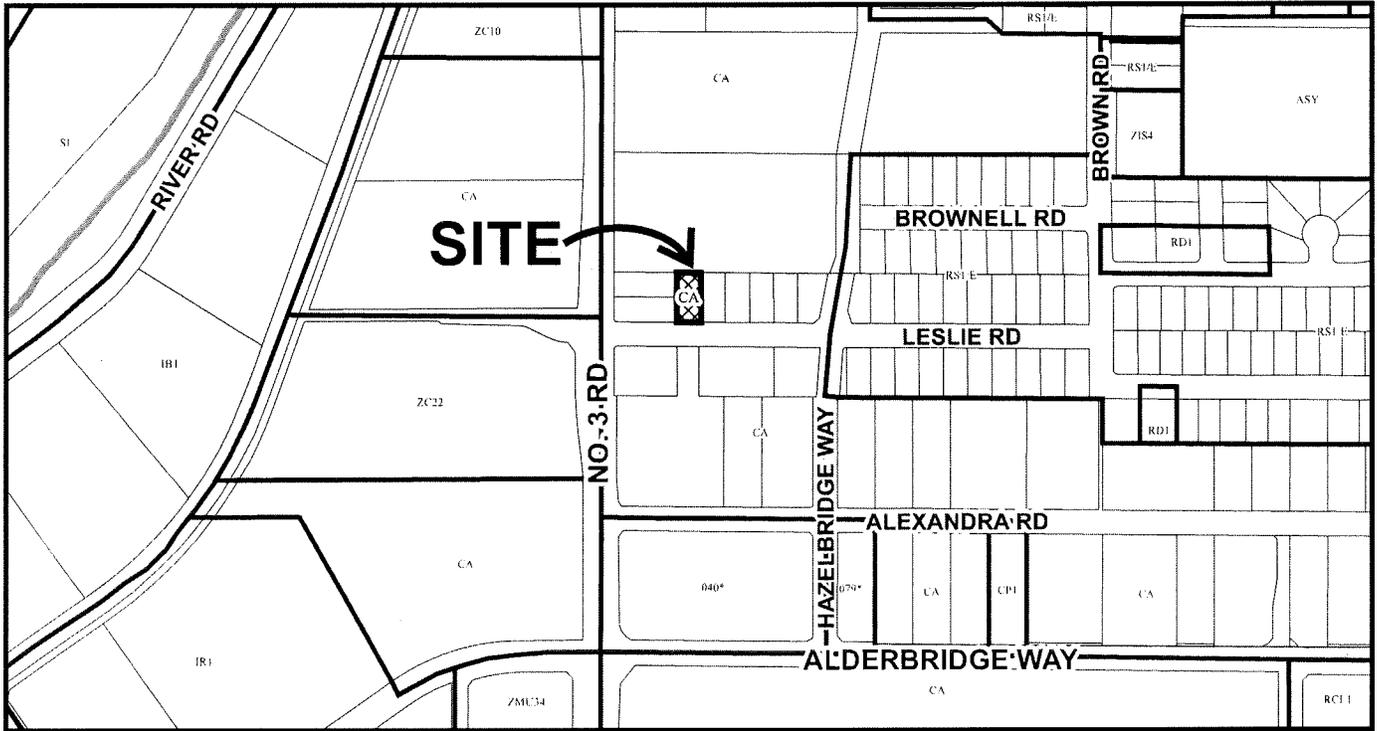
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 19-862430 SCHEDULE "A"

Original Date: 06/05/19

Revision Date:

Note: Dimensions are in METRES

ADDRESS: 8011 LESLIE ROAD RICHMOND

LEGAL DESCRIPTION:
 LOT A, SEC 33, BLOCK 5 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT
 PLAN EPP 70593

SITE WIDTH: 66' (20.11 M) EXIST.
 SITE LENGTH: 135.20' (41.20 M) EXIST.
 SITE AREA: 8,923 SF (828.97 SQ. M) EXIST.
 LOT COVERAGE: ALLOWED MAX. 50% EXISTING PROVIDED 41.1 %

BUILDING SETBACK:	ALLOWED	PROPOSED
FRONT YARD (SOUTH)	MIN 3 M	8.07 M EXISTING
SIDE YARD (WEST)	MIN 3 M	3.04 M EXISTING
SIDE YARD (EAST)	MIN 3 M	ZERO EXISTING VARY
REAR YARD (NORTH)	MIN 3 M	12.14 M EXISTING

BUILDING HEIGHT:	MAX. 45 M	11.26 M EXISTING
PARKING SPACE :	EXISTING	PROPOSED
ACCESSIBLE	1 SPACE	ACCESSIBLE 1 SPACE
STAFF	20 SPACES	GUEST 10 SPACES
LOADING	1 SPACE	LOADING 1 SPACE
		STAFF 1 SPACE

PARKING CALCULATION 1 SPACE PER 2 HOTEL ROOMS, REDUCED BY 15% AT PER ZONE 1 OF CITY CENTRE PARKING RATES.
 REQUIRED BY BUILDING BY-LAW: LOADING 0, CARS 16 **VARY**

PROVIDE 6 BIKE SPACES

ZONE: CA

BUILDING CODE & OCCUPANCY ANALYSIS

FOR HOTEL ONLY

EXISTING BUILDING CLASSIFICATION:
 3.2.2.58 OFFICES
 NOT SPRINKLERED

PROPOSED CLASSIFICATION:

SECTION 3.2.2.53 RESIDENTIAL
 SPRINKLERED

OCCUPANT LOAD:

HOTEL GUEST 42 PERSONS PROPOSED
 STAFF 4 PERSONS PROPOSED

EXISTING CONSTRUCTION :

8" CONC. BLOCK EXTERIOR WALL ON EAST PROPERTY LINE
 NON COMBUSTIBLE CONCRETE AND STEEL STRUCTURE WITH TIMBER INFILL FRAMING

SIZE AND OCCUPANCY REQUIREMENT FOR FIRE SAFTY

NUMBER OF STOREYS : 3 STOREYS
 STREET FACING : 1
 SPRINKLERS : PROVIDED
 CONSTRUCTION : COMBUSTIBLE & NON-COMBUSTIBLE

BUILDING AREA : 3,662.00 SQ.FT. (340.3 SQ. M)

EXISTING FLOOR AREA :	FIRST FLOOR AREA	613.54 SQ.FT
	SECOND FLOOR AREA	3,662.00 SQ.FT
	THIRD FLOOR AREA	3,662.00 SQ.FT

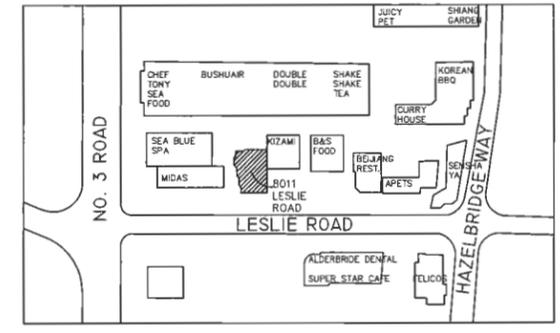
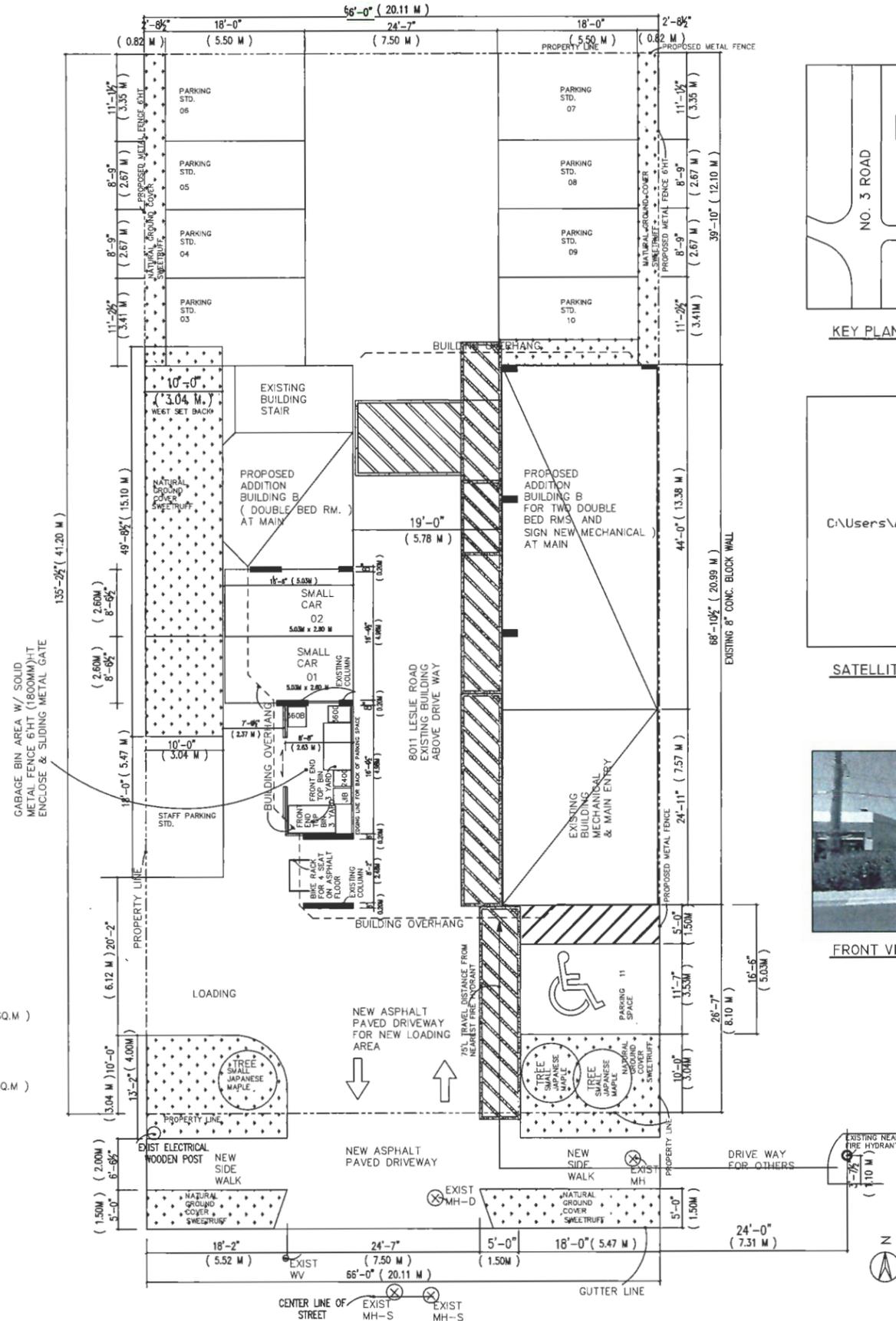
TOTAL EXISTING FLOOR AREA 7,937.54 SQ.FT (737.4 SQ. M)

PROPOSED FLOOR AREA :	FIRST FLOOR AREA	1,647.00 SQ.FT
	SECOND FLOOR AREA	3,662.00 SQ.FT
	THIRD FLOOR AREA	3,662.00 SQ.FT

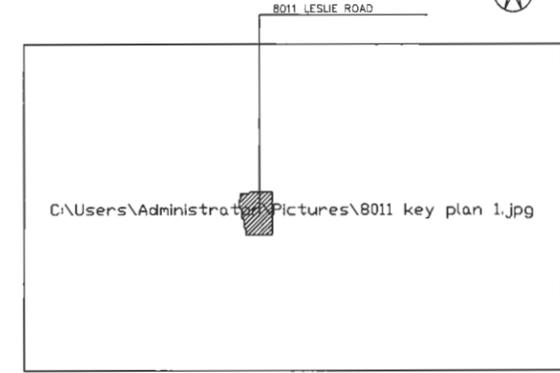
TOTAL EXISTING FLOOR AREA 8,971.00 SQ.FT (833.4 SQ. M)

TRAVEL DISTANCE : MAX. 98.5 FT. (30 m)

EMERGENCY LIGHTING : TO CONFORM TO CURRENT BUILDING CODE BCBC 2018



KEY PLAN



SATELLITE



FRONT VIEW

PROPOSED SITE PLAN

APP. AREA : 8,923 S.F.

EXISTING ASPHALT PAVED DRIVEWAY TO BE ENLARGED AND THIS NEW DRIVEWAY ENTRANCE FOR GUEST AND LOADING

DATE	25 MAY 2018
SCALE	1/8" = 1'-0"
DRAWN BY	DANIEL CHING
APPROVED BY	
PROJECT NO.	P 21019
DRAWING NO.	A 2

NO.	DATE	REVISION

PROJECT TITLE
 8011
 LESLIE ROAD
 RICHMOND

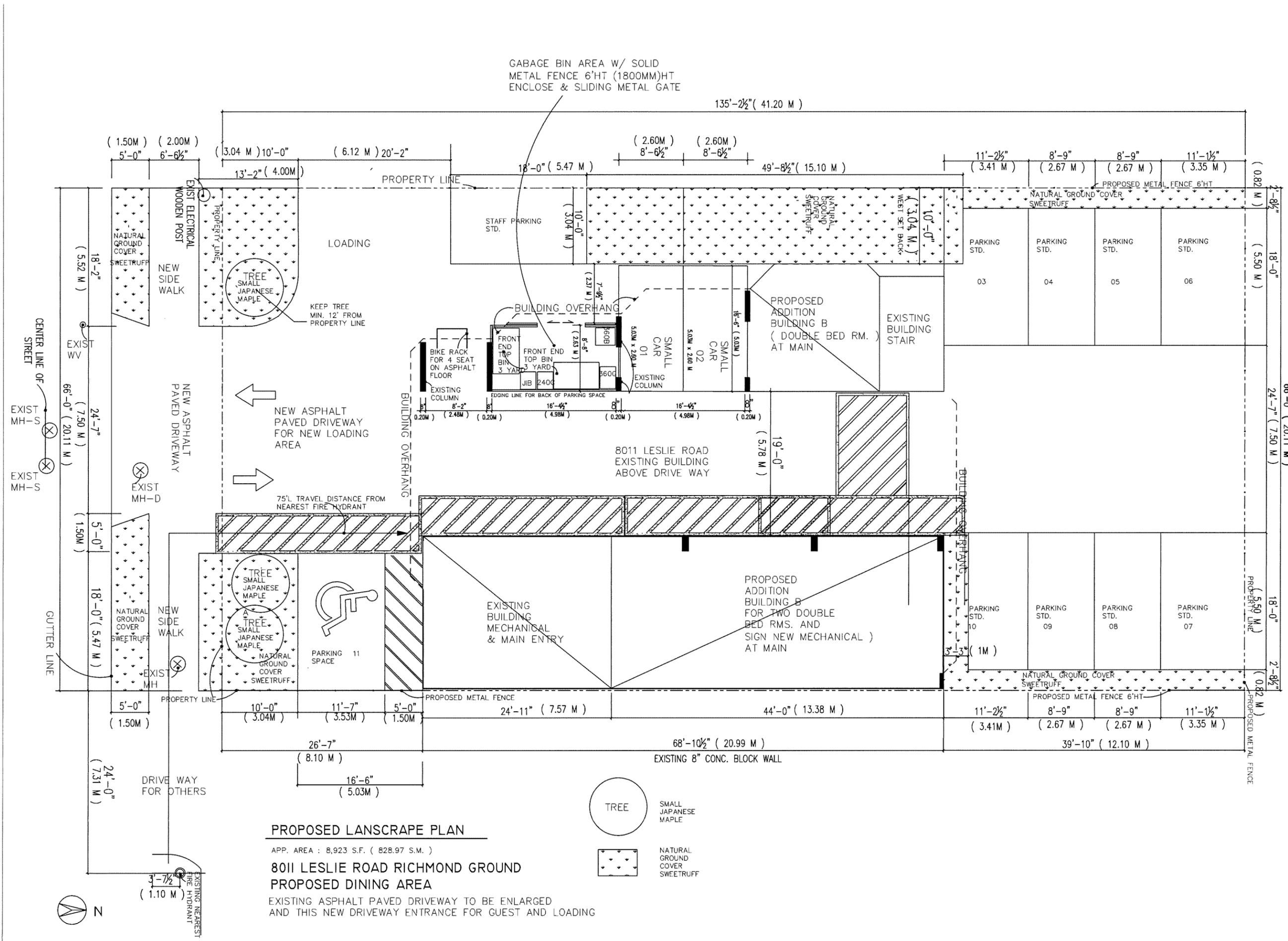
DRAWING TITLE

DP 19-862430

PLAN # 1

Linda Valter, Architect
 #206 - 157 East 21 Street
 North Vancouver, BC V7L 3B5
 604-433-7783
 lvalter@lvalter.ca

DANIEL CHING
 1815 1881 AVE. SUITE 101 488
 VANCOUVER, BC V6L 1A5
 TEL : 604.275.2322 FAX : 604.941.8153
 E-MAIL : daniel@chinging.com



NO.	DATE	REVISION

PROJECT TITLE
 8011
 LESLIE ROAD
 RICHMOND

DRAWING TITLE

DP 19-862430
PLAN # 2

DATE :

Linda Valter, Architect
 #205 - 157 East 21 Street
 North Vancouver, BC V7L 5B5
 604-833-7783
 lvalter@shaw.ca

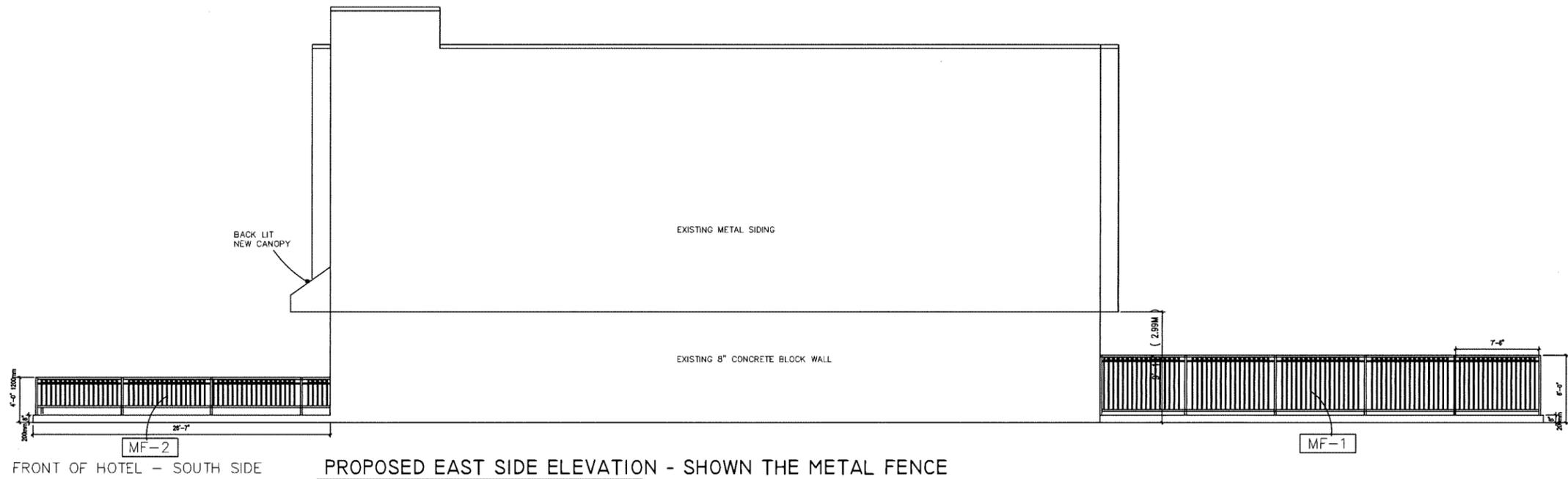
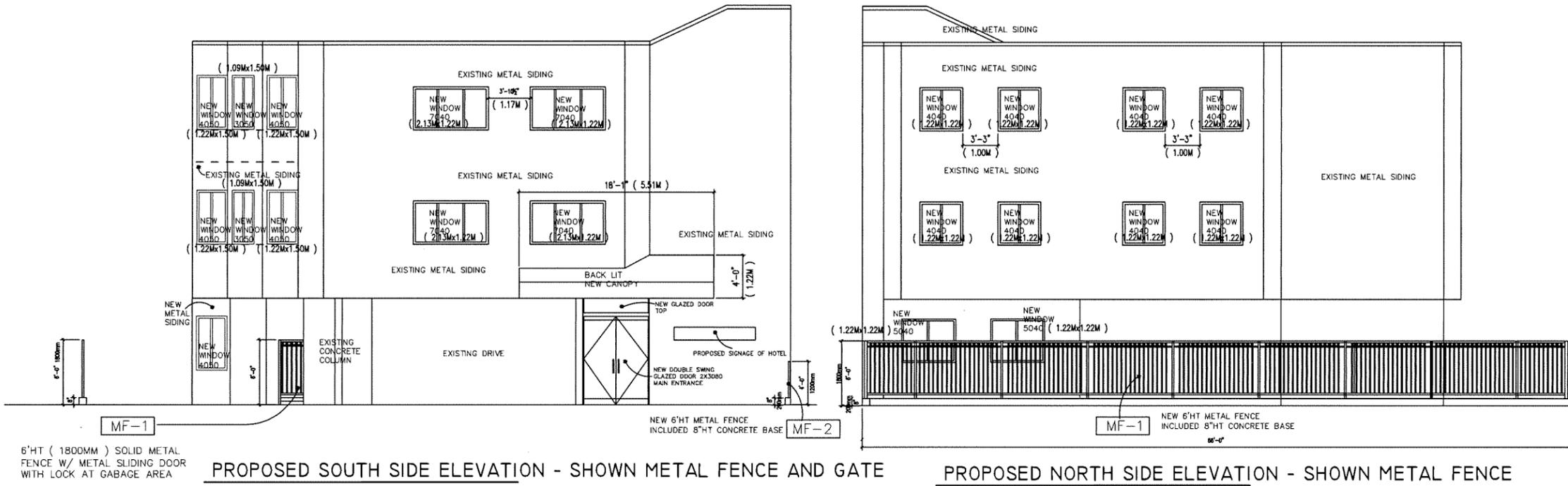
DANIEL CHING
 1815 58A AVE. SURREY BC V2Y 4S5
 604-276-3782 FAX : 604-941-8193
 E-MAIL : daniel@danarch.com

DATE: 25 MAY 2018
 SCALE: 3/16" = 1'-0"
 DRAWN BY: DANIEL CHING
 APPROVED BY: P. 2/18/19
 PROJECT NO.:
 DRAWING NO.: A 3/B

NO.	DATE	REVISION
1		

PROJECT TITLE
 8011
 LESLIE ROAD
 RICHMOND

DRAWING TITLE

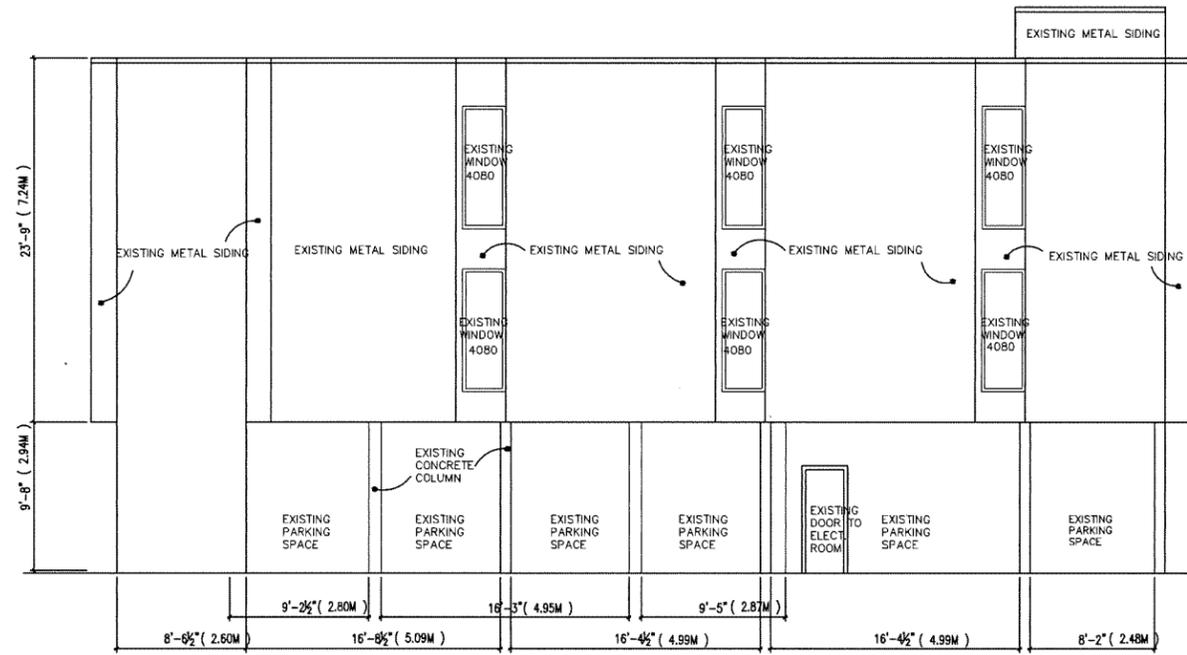


DP 19-862430

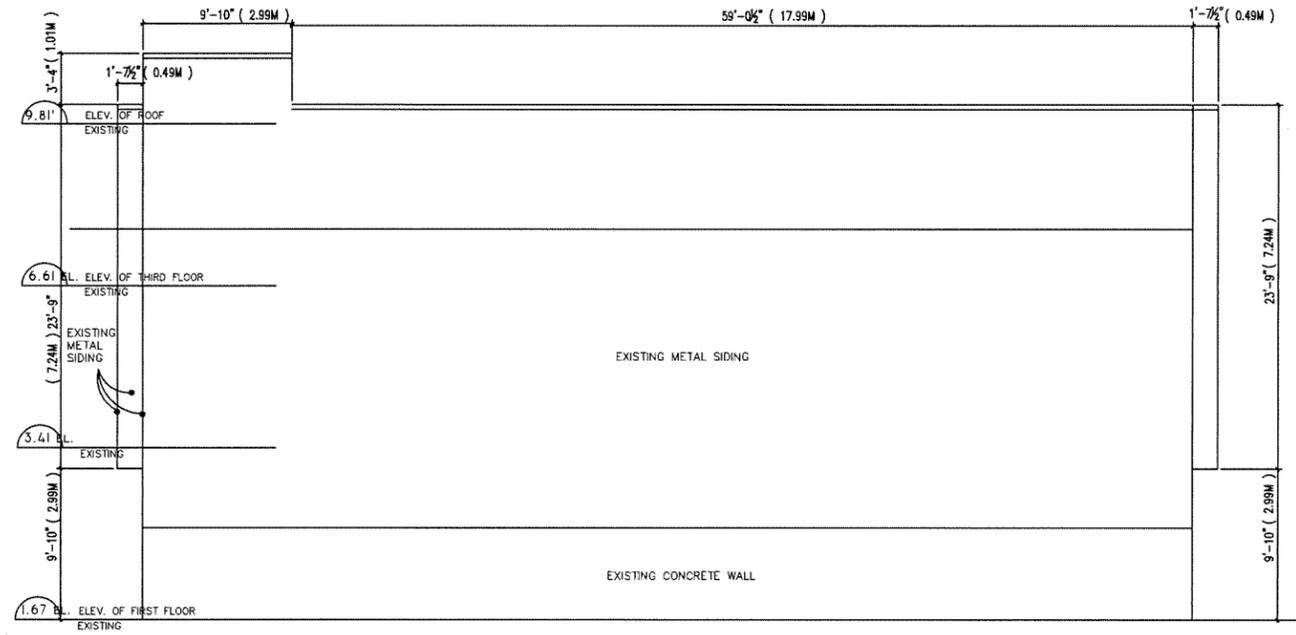
PLAN # 3

Linda Valter, Architect
 #206 - 157 East 21 Street
 North Vancouver, BC V7L 3B5
 604-433-7755
 lvalter@shaw.ca

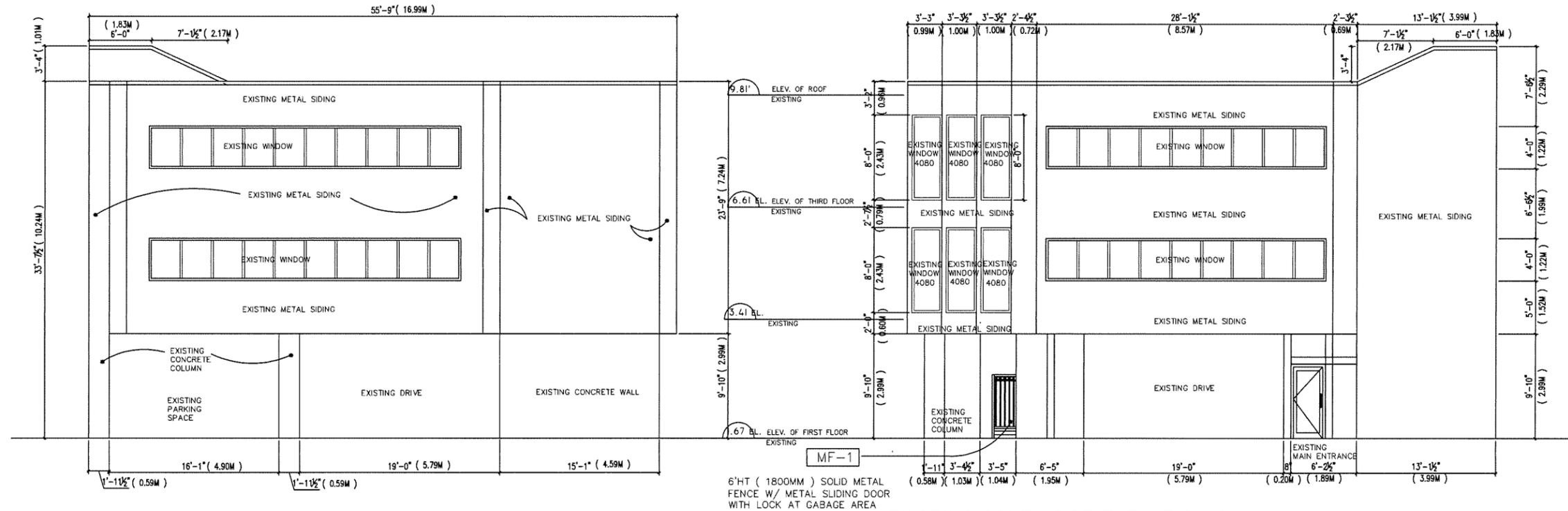
DANIEL CHING
 1215 86A AVE. SUITE 201 V5C 4B9
 604-461-3722 FAX: 604-461-3723
 E-MAIL: daniel@chding.com



EXISTING WEST SIDE ELEVATION



EXISTING EAST SIDE ELEVATION



EXISTING NORTH SIDE ELEVATION

EXISTING SOUTH SIDE ELEVATION

DATE	23 MAY 2018
SCALE	3/16" = 1'-0"
DRAWN BY	DANIEL CHING
APPROVED BY	
PROJECT NO.	P 21819
DRAWING NO.	A 4A

NO.	DATE	REVISION
1		

PROJECT TITLE
8011
LESLIE ROAD
RICHMOND

DRAWING TITLE

DP 19-862430
PLAN # 4

DATE :

Linda Valter, Architect
#206 - 157 East 21 Street
North Vancouver, BC V7L 3B5
604-633-7783
lvalter@shaw.ca

DANIEL CHING
3216 SALTPRING AVE.
COQUITLAM, B.C. V3C 1G9
CELL : 604.276.3782 FAX : 604.941.8103
E-MAIL : east210@gmail.com

INTERIOR 6" (0.152M) WALL 1 HOUR

INTERIOR 8" (0.20M) WALL 1 HOUR (PLUMBING INSIDE)

INTERIOR WALL 45 MIN.

EXTERIOR WALL

PARKING DRIVEWAY CEILING 1HR

2 LAYER 5/8" (0.05M) TYPE 'X' GYPSUM BOARD (RSI 0.097)
2X4" (0.16M x 0.33M) OR 2X6" (0.16M x 0.50M) WOOD STUD @ 16" (0.40M) O.C.
3-1/2" (0.24M) FIBERGLASS BATT INSULATION
2 LAYER 5/8" (0.05M) TYPE 'X' GYPSUM BOARD (RSI 0.097)

2 LAYER 5/8" (0.05M) TYPE 'X' GYPSUM BOARD (RSI 0.097)
2X4" (0.16M x 0.33M) OR 2X6" (0.16M x 0.50M) WOOD STUD @ 16" (0.40M) O.C.
3-1/2" (0.24M) FIBERGLASS BATT INSULATION
2 LAYER 5/8" (0.05M) TYPE 'X' GYPSUM BOARD (RSI 0.097)

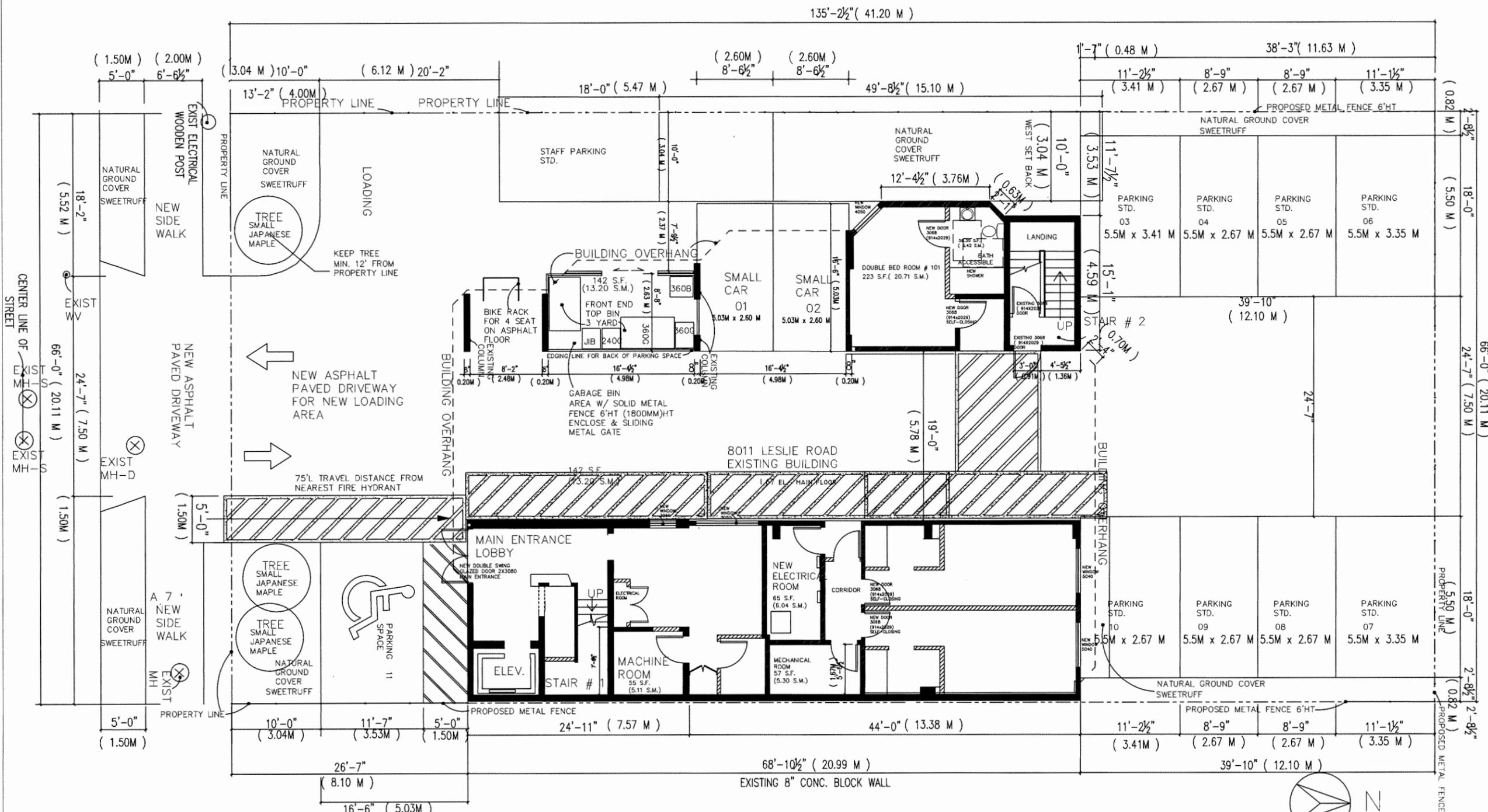
1 LAYER 1/2" (0.152M) GYPSUM BOARD (RSI 0.066)
2X4" (0.16M x 0.33M) OR 2X6" (0.16M x 0.50M) WOOD STUD @ 16" (0.40M) O.C.
3-1/2" (0.24M) FIBERGLASS BATT INSULATION
1 LAYER 1/2" (0.152M) GYPSUM BOARD (RSI 0.066)

METAL SIDING TO MATCH THE EXISTING
3/4" (0.06M) GALVANIZED 'Z' GIRTS
2 LAYERS 30 MIN. SHEATHING PAPER
PLYWOOD SHEATHING
2X6" (0.16M x 0.50M) WOOD STUD @ 16" (0.40M) O.C.
R 28 FIBERGLASS BATT INSULATION
6 MIL. POLY V.B.
1 LAYER 1/2" (0.152M) GYPSUM BOARD

3/4" CEMENT BOARD
TEXTURED STUCCO FINISH

EXISTING WALL

ALL STEEL COLUMN SHALL BE ENCASED IN MIN. 1 LAYER TYPE 'X' 5/8" (0.05M) GYPSUM BOARD



PROPOSED GROUND FLOOR PLAN

APP. AREA : 8,923 S.F. (828.97 S.M.)

8011 LESLIE ROAD RICHMOND GROUND
PROPOSED DINING AREA

PARKING CALCULATION 1 SPACE PER 2 HOTEL ROOMS , TOTAL HOTEL ROOM PROVIDED 21 ROOMS
REDUCED BY 15% AT PER ZONE 1 OF CITY CENTRE PARKING RATES , 11 PARKING SPACES REQUIRED.
FOR THE EXISTING SITE . PROVIDED 15 PARKING ONLY (5 SMALL , 8 STANDARD , 1 HANDICAP & 1 LOADING)

PROVIDE 4 BIKE SPACES , STAFF BIKE STORAGE AT SECOND FLOOR STORAGE AREA .

DATE	25 MAY 2018
SCALE	3/16" = 1'-0"
DRAWN BY	DANIEL CHING
APPROVED BY	
PROJECT NO.	21819
DRAWING NO.	A 6A

NO.	DATE	REVISION
1		

PROJECT TITLE
8011
LESLIE ROAD
RICHMOND

DRAWING TITLE

DP 19-862430
PLAN # 6

DATE :

Linda Valter, Architect
#206 - 157 East 21 Street
North Vancouver, BC V7L 5B5
604-833-7783
lvalter@shaw.ca

DANIEL CHING
1815 59A AVE. SUITE BC 125-405
Vancouver, BC V6L 2E9
CELL : 604.218.3782 FAX : 604.941.8123
E-MAIL : daniel@chic.ca



To: Development Permit Panel

Date: August 4, 2021

From: Wayne Craig
Director of Development

File: DP 19-878817

Re: Application by 1176782 B C Ltd for a Development Permit at 8100, 8120 & 8180 Westminster Highway

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a high-rise mixed use development containing approximately 880.6 m² (9,475 ft²) of commercial space and 130 dwellings (including 16 affordable housing units) at 8100, 8120 & 8180 Westminster Highway on a site zoned "Downtown Commercial (CDT1)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) reduce the front yard setback to Westminster Hwy from 3.0 m to 0.0 m (10 ft to 0 ft) inclusive of buildings and canopies.
 - b) apply the City Centre parking rate to the subject site.

for
Wayne Craig
Director of Development
(604-247-4625)

WC:rp
Att. 6

Staff Report

Origin

1176782 BC Ltd. has applied to the City of Richmond for permission to develop a 15-storey concrete high-rise tower with 130 dwelling units, including 16 affordable housing units, and a four-storey parking podium at 8100, 8120 & 8200 Westminster Highway on a site zoned “Downtown Commercial (CDT1)”. The site currently contains four two-storey commercial buildings, which would be demolished. The Director of the numbered company 1176782 BC Ltd. is Chiqui Zhang. Chiqui Zhang is also co-director of Rise-Sun North America Real Estate Ltd., along with Jianming Geng, which is the developer for this project. A location map for the subject site is provided on Attachment 1.

There is no rezoning associated with this development.

A Servicing Agreement is required as a condition of development permit issuance and includes, but is not limited to, the following improvements:

- Construct a new 2.0 m (7 ft.) concrete sidewalk with extended walkway to curb along the front site frontage (i.e. the Westminster Hwy site frontage).
- Construct a new 1.5 m (5 ft.) concrete sidewalk and rollover curb along the west site frontage (i.e. along the westerly lane).
- Disconnect all existing water, drainage and sanitary connections to the subject site and install new service connections.
- Registration of a legal easement agreement is required, ensuring that any above-ground third party equipment, such as hydro/telephone kiosks, are not located within the project’s frontage works. The exact right-of-way locations and dimensions of the PROP SRW would be confirmed through the Servicing Agreement process.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, across Westminster Highway, there are small, low-rise commercial developments designated under the City Centre Area Plan (CCAP) for high-density commercial and mixed-use development (Urban Core T6 (45 m) and Village Centre Bonus). Directly across from the subject site at 8131 Westminster Highway is an active development application (DP 18-797127) for a mixed use development consisting of a residential high-rise tower and mid-rise/parking podium, which was endorsed by the DP Panel on June 24, 2020. This DP would be forwarded to Council for consideration once the developer has satisfied the DP considerations associated with the proposed development.

- To the east is an existing mixed use development consisting of a residential high-rise tower and low-rise/parking podium at 8228 Westminster Highway (at the corner of Buswell Street). There is also a public lane that extends to and terminates at the east side of the subject site from Buswell Street.
- To the south is an existing parking structure that is attached via elevated walkway to a mixed use development consisting of a residential high-rise tower and mid-rise/parking podium at 6068 No. 3 Road.
- To the west is a public lane, across which is an existing mixed use development consisting of a residential high-rise tower and mid-rise/parking podium at 8068 No. 3 Road.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application.

The proposed development complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Downtown Commercial (CDT1)” zone, except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to

- 1) reduce the front yard setback to Westminster Hwy from 3.0 m to 0.0 m (10 ft to 0 ft) inclusive of buildings and canopies.

(Staff support the proposed variance as it is a function of the road dedication being provided along Westminster Highway. The front edge of the proposed building face is in line with adjacent buildings to the east and west of the subject site and there is no impact on pedestrian circulation as new City Centre sidewalk will be constructed within the road dedication being provided.)

The proposed canopies and overhanging portions of the building contribute to enhancing the interface with the public realm along Westminster Highway and providing protection from the elements, consistent with the City’s design guidelines and policies, which support covered publicly accessible areas. The applicant has confirmed that there are no third-party utilities in the affected areas.)

- 2) apply the City Centre parking rate to the subject site.

(Staff support the applying the City Centre parking rates to the site as the property is an existing CDT1 zoned site and the applicant has agreed to provide affordable housing in keeping with the City’s Affordable Housing Policy. The CDT1 zone was excluded from automatically qualifying for the City Centre parking rates to incentivise the provision of affordable housing units. Transportation-related improvements are also being secured in the form of road dedication and frontage upgrades to ensure vehicle travel is accommodated in keeping with City standards.)

Advisory Design Panel Comments

On May 5, 2021, the Advisory Design Panel (ADP) supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3), together with the applicant's design response in '*bold italics*'.

Analysis

Conditions of Adjacency

- The proposed development includes enhancement of the Westminster Highway streetscape with active commercial uses and a covered approach to the residential entry lobby.
- The interface with the proposed west (side) City lane is enhanced at street level with retail frontage that wraps the corner and a pedestrian walkway extending south from Westminster Highway to the south, a loading bay and parkade access at street level; on the upper storeys of the podium form, the west elevation proposes parkade fenestration, limited dwelling fenestration and a deck attached to a dwelling unit.
- There is an existing sanitary SRW along the rear lot line and along the southerly 15.5 m (51 ft.) of the east lot line. As a condition of Development Permit issuance, the applicant is required to replace the existing SRW with a new one that updates the language of the agreement and expands the SRW by 1.5 m (resulting in an ultimate 3 m (10 ft.) SRW width along the rear of the site and an ultimate 4.5 m (15 ft.) SRW width along the southerly portion of the east side of the site, in order to ensure proper access to the underground sanitary infrastructure as needed. No sanitary works are required through the SA for this project.
 - Along the south lot line, the subject SRW area is proposed to be treated with a combination of artificial dog turf (as a dog run area), pedestrian pavers (for the dog owners), fencing and landscaping.
 - Along the east lot line, the subject SRW area is proposed to be treated with a combination of paving (as a terminus and turnaround for the easterly lane) and landscaping.
- To the rear (south) of the site is an existing four-storey parking structure. The roof of the parking structure is landscaped and accessible by residents of 6068 No. 3 Road and users of the parkade. The interface with that parking structure includes a 7.5 m separation between buildings. On the subject site, the rear yard contains the aforementioned dog run area and landscaping, and on the other side of that shared lot line is a paved area 4.5 m (15 ft.) wide, containing five Red Maple trees. Over both setback areas is an existing sanitary utility SRW that would be expanded on the subject site as part of this development. A new fence would be introduced along the shared lot line.
- A tiered massing is provided along the east side of the building, whereas the west side is more vertically-oriented. This asymmetry is effective in acknowledging the massing of buildings to the east and west of the subject site, and the massing context of the city block in general.
- The abutting podium to the east at 8228 Westminster Highway is lower than the proposed podium. That podium top includes landscaping, seating and a children's play structure, with a parapet and railing around its perimeter. The vast majority of the interface with the adjacent podium at 8228 Westminster Highway will be landscaped at a height equal to the

abutting podium's parapet. The remaining non-landscaped portions of the east podium interface consists of:

- the proposed east stair vestibule, which is located approximately the mid point of the east side of the subject podium; and
 - along the front most 10 m of the subject podium's east side, where it is unable to incorporate a stepped planter without impacting the easterly affordable housing dwelling below (on the fourth storey). This area will be treated with the with the terracotta rain screen that wraps around from the front elevation to add some colour and textural interest.
- The tower shape and placement on the subject site achieves the minimum 24m tower spacing guideline in the CCAP.

Urban Design and Site Planning

- Retail frontage is proposed along Westminster Highway (on both sides of the residential lobby entrance) and the northernmost portion of the west alley.
- An inset residential lobby entrance is proposed at the centre of the Westminster Highway frontage.
- Registration of a legal easement agreement is required, ensuring that that future owners of the building are aware of the potential impacts of the site's urban setting, including but not limited to the loss of view or sunlight as a result of off-site development.
- Registration of a flood indemnity covenant is required.
- The subject site would be required to be consolidated into a single lot prior to Development Permit issuance. Before the lots can be consolidated, the existing buildings must be demolished and the site cleared.

Transportation

- The CCAP requires the expansion of rear lane and road networks. Road dedication is required along the north property line of 2 m width for future Westminster Highway road widening. Lane dedication is required along the west property lines of 3 m width (plus a 1.2 m corner cut).
 - In accordance with the existing "Downtown Commercial (CDT1)" zoning, the density is calculated on the gross site area prior to road dedications being provided.
- The adjacent urban lane to the west of the subject site runs north-south, from Westminster Highway to Saba Road.
- The adjacent urban lane to the east of the subject site runs east-west, from Buswell Street and terminates at the east lot line of the site. This lane provides vehicle access to both 6133 and 6191 Buswell Street, and would not serve or otherwise impact the proposed development.
- All transportation improvements required with respect to the subject development will be designed and constructed at the owner's sole cost through the City's Standard Servicing Agreement processes as a consideration of the Development Permit. Key transportation improvements to be provided by the owner include:
 - Along the Westminster Highway frontage: new 2.0 m wide concrete sidewalk at the new property line, street trees in tree grates and hardscaping behind existing curb and gutter, and maintain existing eastbound traffic lanes.
 - Along the City lane frontage: new 1.5 m wide concrete sidewalk at the new property line and paving the lane along the west frontage, complete with roll-over curb.

- Because the solid waste pick up area does not meet the dimensional requirements for certain garbage and recycling trucks, signage informing solid waste service providers of the area dimensions are required to be included on the Building Permit drawings when the Building Permit is submitted.
- The applicant has agreed to voluntarily contribute to Traffic Intersection Upgrades for the intersection at Westminster Highway & No. 3 Road.

Parking and Access

- Vehicle access is proposed to the site from the required City lane at the west side of the development, which is accessed from Westminster Highway (via eastbound only) and Saba Road.
- The total number of parking spaces proposed to be provided on-site is 178, including 147 for the use of the residents (of which 15 spaces are assigned to residents of affordable housing unit) and 31 spaces shared between commercial uses and residential visitors.
- A medium (SU-9) on-site loading spaces is provided on the west side of the site, accessed by, and parallel to, the west lane.
- Commercial parking is provided on the first storey (P1), whereas residential parking is provided on the upper storeys of the parkade (P2, P3 and P4).
- Short term class 2 bicycle storage is accommodated with bicycle racks dispersed within the front yard along Westminster Highway. Longer term class 1 bicycle storage is accommodated in shared secure bicycle storage areas located on all four levels of the parking structure, with commercial class 1 bicycle storage and end-of-trip facilities located on P1.
- Registration of a legal agreement is required, ensuring the provision of energized electric vehicle (EV) charging outlets for 10 per cent of the shared visitor/commercial parking spaces (208V - 240V). 100% of the residential parking spaces will be energized in accordance with the Zoning Bylaw requirements.
- Registration of a legal agreement is required, ensuring that tandem vehicle parking spaces are assigned to the same dwelling unit. All 16 sets of tandem parking spaces (consisting of 32 individual parking spaces) are located on P4.
- Registration of a legal agreement is required, ensuring that the shared visitor/commercial parking spaces, loading bay or bicycle storage will not be sold, leased, assigned, designated or allocated in any way, and that the conversion of bicycle storage areas into habitable space remain prohibited.

Architectural Form and Character

- The proposed development contributes towards contemporary architectural expression including a high level of architectural design, articulation and material quality. The design includes articulation along the building facades, terraced building massing and a substantial podium with commercial base to anchor the building.
- The front elevation treatment of the podium wraps around to the north part of the west elevation, providing a more welcoming urban environment to the portion of the west elevation that would be visible from No. 3 Road and the Canada Line.
- The front elevation of the parkade (facing Westminster Highway) is screened by the retail units on the first and second storeys, and on the third and fourth storeys (in tandem with the affordable housing dwelling units on the fourth storey) by a red terracotta rain screen

cladding that would be attached to the face of the parkade structure and building. This screening structure also wraps around to include the northerly portion of the west elevation.

- The proposed cladding materials (cement panel, metal panels, stainless steel perforated screens, window wall, and glass guard rails) are consistent with the Official Community Plan (OCP) guidelines and contribute towards a distinct identity and urban environment.
- The palette of colours includes light grey tones, with dark grey tone accents and a singular, bold terracotta accent across the podium above the retail units. When used in combination with variations in massing and materials, helps break up the massing, reinforce the identity of the project and project an interesting and contemporary image.
- Rooftop equipment will be located at the top floor level and screened.

Landscape Design and Open Space Design

- The CCAP encourages the provision of additional open space to enhance the urban environment. The subject development's public open space contributions are provided along Westminster Highway and the northerly parts of the adjacent lane to the west.
- 1,132 m² (12,185 ft²) of residential outdoor amenity space is provided atop the podium on the fifth storey that wraps around the east, south and west sides of the tower. This area includes a children's play area and is accessed through corridors on the fifth storey as well as via the adjacent indoor amenity area.
 - Urban Agriculture plots for residents are provided in the southwest corner of the podium-top residential outdoor amenity area.
 - 408 m² (4,392 ft²) of the podium-top residential outdoor amenity area is dedicated as children's play area, which is designed to encourage children's play including:
 - a prefabricated 'forest cottage' playhouse (to accommodate play for ages three and under) with wood seating stumps.
 - a circular rubberized play mound, with embedded tunnels through the mound and embedded timber climbing poles (to accommodate play for ages 3 to 12) with a Snakebark Maple tree in the centre and rubberized surface surrounding the mound's fall zone.
 - dense landscaping on the east and southeast sides of the play areas. The easterly landscaping is stepped down in a lowered planter in order to improve the interface with the abutting podium to the east at 8228 Westminster Highway.
 - Three bistro tables, each with four chairs, are provided between the children's play area and the indoor amenity area, for easy supervision of children.
- Private outdoor patios or balconies are provided for all dwelling units.
- A dog run is proposed in the centre of the 3.0 m deep rear yard, which is over a required 3.0 m sanitary SRW. The 51.5 m² dog area includes artificial dog turf and urine-tolerant grass planting, and is fenced off with a 1.26 m high steel post fence and gate at the east and west extents of the artificial turf area. To the east and west of the dog area are pedestrian areas (each approximately 30 m² in size exclusive of landscaping) that include pavers ground treatment and low, CPTED-friendly and shade-tolerant plantings.
 - The dog run area is accessed via the pedestrian rear yard areas, which are in turn accessed from the parkade interior (P1).
 - Access to the rear yard is restricted by 1.87 m high steel post fence along the rear lot line, south of the vehicle access gate adjacent to the west lane and south of the easterly lane turnaround on the east side of the site.

- There are several green roof areas proposed throughout the building, each of which would not be accessible to residents:
 - The northeast corner of the fifth storey podium top would be planted with patterned sedum and magnolia trees, establishing an effective buffer between the proposed building and the adjacent podium to the east at 8228 Westminster Highway.
 - Seventh storey rooftop (i.e. L8), which will not be accessible, is proposed to be landscaped with patterned sedum.
- All landscaped areas will be serviced by an irrigation system.
- Prior to forwarding the subject application to Council, the applicant is required to provide to the City, a Letter of Credit for landscaping in the amount of \$739,457.95, as estimated by the project Landscape Architect and including a 10% contingency to ensure that on-site landscape features are provided in accordance with the Development Permit.
- Five off-site trees (trees #643-647; all Red Maple trees in good-to-fair condition), one street tree (tree # 642; also a Red Maple tree in fair condition), and three on-site trees were identified on the tree survey. The off-site trees and the street tree were identified for retention, and the total tree survival security is \$12,500.
 - The tree survival security for the street tree is \$5,000.
 - The tree survival security for the five off-site tree is \$7,500 (5 x \$1,500).
- There are no bylaw-sized trees on-site. There are 56 trees being planted on-site.
- Prior to issuance of the Development Permit, the applicant must submit a contract with the project arborist ensuring that they are on-site during any construction works within a tree protection zone of a retained tree, and also to require the arborist's site monitoring inspections and a post-construction assessment report which would be submitted to the City for review.

Exterior Lighting

- At the front of the building, exterior lighting is only proposed on street level. Wall sconces are proposed along the Westminster retail storefronts for pedestrian safety and as a general CPTED best-practice. Soffit lights are proposed along the east retail frontage where the terra cotta volume overhangs. Wall sconces are proposed on both sides of the inset approach to the residential lobby entrance. No lights would be provided on the building canopies.
- The west lane is proposed to have wall-mounted lights at street level (regular interval) for pedestrian safety and as a general CPTED best-practice. The lane will also have street lamps per standard city lane improvement requirements.
- The rear yard is proposed to be lit by wall-mounted lights at street level (regular interval) as a general CPTED best-practice.
- A portion of the parkade lights would be activated by motion sensors (part of energy conservation measures), which would reduce the amount of light emitting thru the openings on the south, west & east walls. Surrounding buildings include parkade podiums of comparable height and fenestration. The applicant has confirmed that headlights cast from the subject parking structure would not impact neighbouring buildings.
- With the exception of lights over exterior fire exit doors on the fifth storey roof garden (which are required via Building Code), there will be no exterior lights attached to the tower, including no exterior lights on the balconies & patios accessed from individual dwelling units.

- Landscape lighting on the fifth storey roof garden would consist only of path lighting. The path lighting is proposed as downlights recessed into the sides of concrete planter walls.

Crime Prevention Through Environmental Design

- CPTED measures enhance safety and personal security in and around the proposed building.
- Along the Westminster Highway frontage, building entries are clearly visible and easily recognizable, with paving treatments that delineate the public, semi-public, and private spaces. Natural surveillance is enhanced at street level by the extensive amount of retail glazing.
- Along the west lane, a raised sidewalk and new street lamps enhance pedestrian safety. The retail glazing wraps around and extends down the lane from Westminster providing additional natural surveillance. There are no blind corners or hidden alcoves & recesses. The area outside the loading, garbage collection, and parkade entry would be clearly visible and well-lit.
- The rear yard is fenced in, with an open picket fence design to maximize natural surveillance and to delineate the space as a semi-private area, and programmed with a dog area to encourage its regular use. The rear yard is fully open to view from the parkade interior and from the west lane, with wide building openings along the length of the space to allow easy physical and visual connection. Planted areas are minimized and are planted with low groundcover and hedges to prevent obstructing natural surveillance, eliminate hiding opportunities, and easy maintenance to give an impression of ownership, care, and security. Exterior lighting, placed at regular intervals, provides visibility. The upper levels of the parkade facing the rear yard have large openings to promote a sense of natural surveillance (note that the neighbouring building to the south also has large openings facing this rear yard).
- The parkade has an open floor plan design for clear line of sight. Hidden recesses and alcoves are avoided. Painted paths are provided to allow protected pedestrian access outside of drive aisles to the dog area. The residential parkade is separated from the commercial parkade by a security gate. Access to elevator lobbies and exit stairwells are clearly visible. Elevator lobbies have clear-glazed enclosures for better natural surveillance, and are equipped with controlled-access (card reader) and CCTV systems. All bicycle storage rooms are enclosed with solid opaque walls and have steel doors & frames with safety glazing for permanent visual access. Doors are hinged on the inside to prevent tampering. Access to bicycle rooms is via a card reader controlled-access system. The entire interior of the bicycle rooms are also visible from its entry door.
- The residential lobby is a single-point entry to the residential tower, with all other access points required for fire egress are restricted to exit only. The lobby is easily visible from the street and is well lit for natural surveillance. Access is via a card reader controlled-access system and a CCTV system would also be employed.
- Common indoor amenity spaces are located to allow natural surveillance and include windows adjacent common corridors and the exterior. The interior of each amenity room is visible through its entry door. The exterior amenity garden on the fifth storey allows natural surveillance from the surrounding dwelling units, and there is also clear delineation between private patio areas and common areas.

Public Art

- As a consideration of Development Permit issuance, the applicant has offered to make a cash-in-lieu contribution to the City's Public Art Program. Public Art staff have proposed that part of the contribution be used to install an art work on the terracotta rain screen on the second to fourth story of the front and west elevations of the building to celebrate the Brighthouse Village Centre. The applicant is supportive of this proposal and the general location and budget details are included in the attached Public Art Plan (Attachment 4).
- The associated Public Art Plan was considered and endorsed by the Richmond Public Art Advisory Committee (RPAAC) on April 20, 2021.
- Should the proposal move forward, the artist and art concept selection process is expected to be completed in the autumn of 2021. Once the art concept is determined and the technicalities of its implementation within the facade are fully understood, a General Compliance application will be required to modify the approved Development Permit and a general compliance report will be brought forward to the DP Panel for consideration.
- As a consideration of Development Permit issuance, the property owner will register an agreement on title to ensure that the public art installations are maintained by the owner should the public art be installed on the building as envisioned.
- Prior to Development Permit issuance, the developer shall submit a Letter of Credit for \$98,134.16 in order to secure the implementation of the Detailed Public Art Plan.

Affordable Housing

- In compliance with the City’s Affordable Housing Strategy, the owner proposes to design and construct 16 low-end-of-market rental units, comprising at least 967.04 m² (10,409 ft²) of habitable space, based on 10 per cent of the development’s total residential floor area. Occupants of these units will enjoy full use of all residential amenity spaces, parking, bicycle storage, and related features, at no additional charge to the affordable housing occupants.
- Affordable housing units are located on the fourth storey (nine dwelling units) and on the sixth storey (seven dwelling units).
- The applicant has engaged with a Non-Profit Organization (S.U.C.C.E.S.S) to manage the affordable housing dwelling units. A memorandum of understanding from the organization, which confirms the intent to enter into a 20-year lease agreement with the developer to provide management operations and maintenance services for the affordable housing component of the proposed development, is provided on Attachment 5.
- The proposed building includes 968.3 m² (10,423 ft²) of floor area exclusive to Affordable Housing dwelling units, which exceeds the minimum.
- Prior to Development Permit issuance, a Housing Agreement and Housing Covenant will be registered on title requiring that the owner satisfies all City requirements in perpetuity.

Unit Type	Affordable Housing Strategy Requirements			Project Targets	
	Minimum Unit Area	Maximum Monthly Unit Rent*	Total Maximum Household Income*	Unit Mix	Number of Units**
Studio	37 m ² (400 ft ²)	\$811	\$ 34,650 or less	6.3%	1
1-Bedroom	50 m ² (535 ft ²)	\$975	\$ 38,250 or less	62.5%	10
2-Bedroom	69 m ² (741 ft ²)	\$1,218	\$ 46,800 or less	25.0%	4
3-Bedroom	91 m ² (980 ft ²)	\$1,480	\$ 58,050 or less	6.3%	1
Total	967.0 m² (10,409 ft²)	N/A	N/A	100%	16

* Denotes the council-approved rates as of July 24, 2017. Rates may be adjusted periodically as provided for under adopted City policy.

** 88% of affordable housing units meet Richmond Basic Universal Housing (BUH) standards.

Accessible Housing

- 14 of the 16 affordable housing units in the proposed development are basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City’s Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails.
 - lever-type handles for plumbing fixtures and door handles.
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- Wheelchair access is accommodated in all interior and exterior common areas and corridors to unit entries.

Child Care

- The developer would provide a voluntary cash contribution of \$0.80 per buildable square foot to the City’s child care fund, resulting in a total contribution of \$90,855.24.

Sustainability Measures

- The building is proposed to be District Energy Utility (DEU) compatible and mechanical system would be designed to facilitate a future connection to a City utility. Registration of a legal agreement on title is required, securing the owner’s commitment to connect to a DEU that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The owner will also be required to provide mechanical drawings and energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.
- The proposed building would be required to achieve Step 3 of the BC Building Step Code.

Urban Noise & Noise Mitigation

- The site is located in an area impacted by aircraft noise (Area 4) and registration of an aircraft noise sensitive use legal agreement on title is a consideration of the Development Permit. As part of the Building Permit (BP) process, the applicant is required to design and construct the building in a manner that mitigates potential aircraft noise to the proposed dwelling units. Submitted acoustic and mechanical engineering information indicate the proposal dwelling units will achieve the required:

- CMHC guidelines for interior noise levels as indicated in the following chart:

Portions of Dwelling Units	Noise Levels (decibels)
○ Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
- Registration of a legal easement agreement is required, identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise to dwelling units.

- An acoustical and mechanical report and recommendations, prepared by an appropriate registered professional, is required prior to Development Permit issuance. This report would demonstrate that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements.
- Registration of a legal easement agreement is required, ensuring that that future owners of the building are aware of the potential noise impacts originating from the on-site commercial uses.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 6, which has been agreed to by the applicant (signed concurrence on file).



Robin Pallett
Planner 2
(604-276-4200)

RP:js

Attachments

Attachment 1: Location Map

Attachment 2: Development Application Data Sheet

Attachment 3: Excerpt from the Meeting Minutes of the ADP (May 5, 2021)

Attachment 4: Public Art Plan

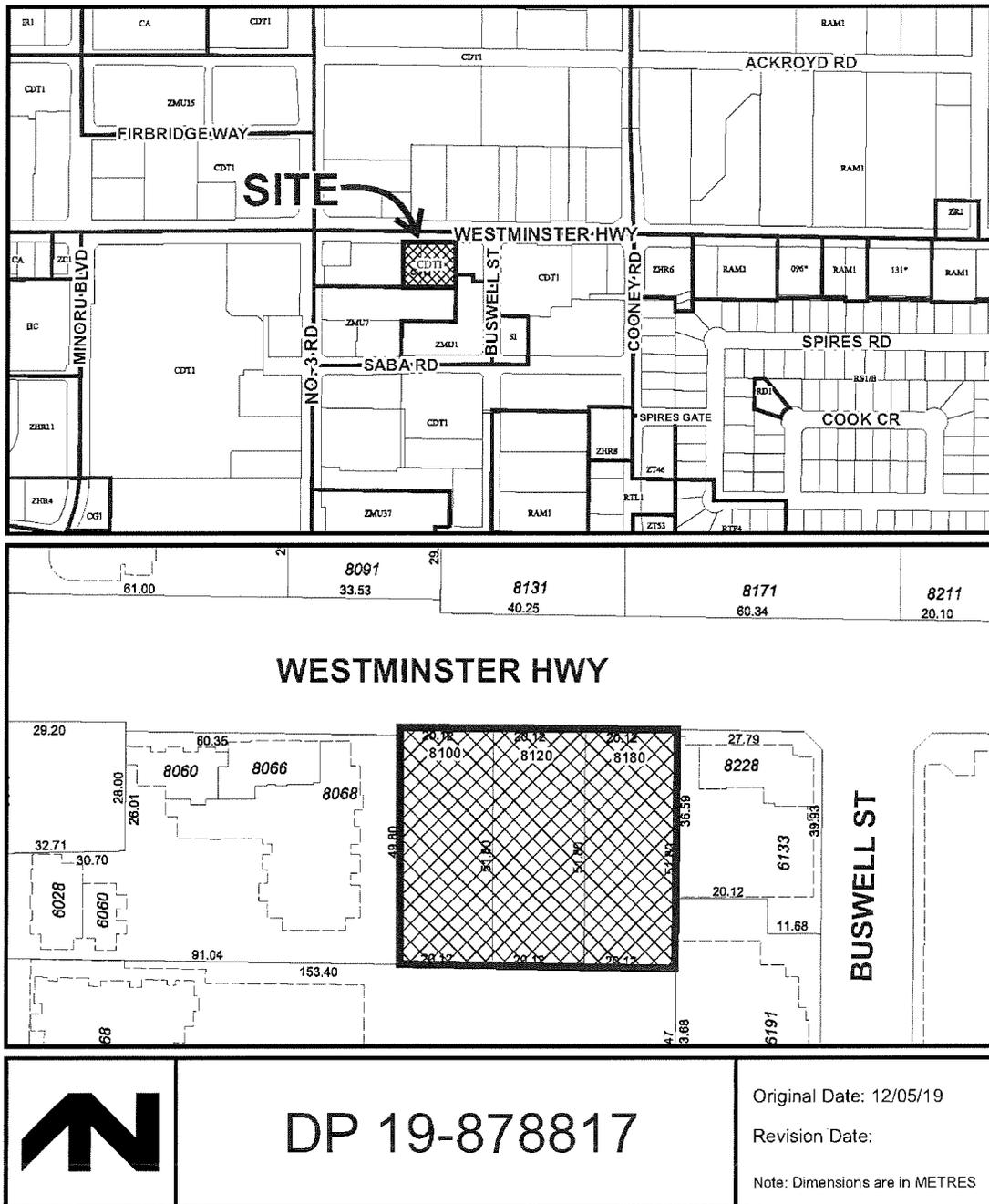
Attachment 5: Letter from S.U.C.C.E.S.S.

Attachment 6: Development Permit Considerations

Location Map



City of
Richmond





DP 19-878817

Attachment 2

Address: 8100, 8120 & 8180 Westminster Highway

Applicant: 1176782 BC Ltd.

Owner: 1176782 BC Ltd.

Planning Area(s): City Centre Area Plan (Brighthouse Village), Sub-Area B.4

Floor Area Gross: 11,299.42 m²

Floor Area Net: 10,550.91 m²

	Existing	Proposed
Site Area:	3,127.20 m ²	2,877.48 m ²
Land Uses:	Commercial	Commercial, Multi-Family Residential
OCP Designation:	Downtown Mixed Use	No change
Zoning:	CDT1	No change
Number of Units:	0	130

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	3.33 Base (incl. 0.33 FAR bonus for providing affordable housing and child care cash-in-lieu)	3.33 FAR plus DEU Bonus (1.0 m ² per dwelling unit) & BUH Exemption (1.86 m ² applied to 7 dwelling units) Total proposed FAR: 3.37	None permitted
Lot Coverage:	Max. 90%	37%	None
Setback – Front Yard:	Min. 3.0 m	0.0 m	Variance Requested
Setback – West (interior) Side Yard:	Min. 0.0 m	0.0 m	None
Setback – East (interior) Side Yard:	Min. 0.0 m	0.0 m	None
Setback – Rear Yard:	Min. 3.0 m	3.0 m (0.0 m to sanitary SRW)	None
Height (m):	Max. 47.0m (GSC*) above geodetic	46.96m (GSC) above geodetic	None
Off-street Parking Spaces – Regular/Commercial:	Commercial: 30 min. Residential: 129 min.	Commercial: 30 Residential: 140	Variance Requested
Off-street Parking Spaces – Accessible:	Commercial: 1 min. Residential: 3 min.	Commercial: 1 Residential: 4	None
Total off-street Spaces:	159	170	None

Tandem Parking Spaces	Max. 50% of market residential spaces	16 sets (32 spaces), or 23%	None
Amenity Space – Indoor:	OCP: Min. 100 m ²	168 m ²	None
Amenity Space – Outdoor:	<p>OCP: Min. 6.0 m²/unit = 780 m², of which 3.0m²/unit = 390 m² is for children’s play area, plus</p> <p>CCAP: Min. 10% of net site area = 287.75 m²</p> <p>Total Min. = 1,067.75 m²</p>	<p>1,132 m², (of which 408 m² is child-friendly play area)</p>	None

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, May 5, 2021 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

DP 19-878817 – 15-STOREY HIGH RISE TOWER MIXED USE DEVELOPMENT

ARCHITECT: W.T. Leung Architects Inc.
LANDSCAPE ARCHITECT: ETA Landscape Architecture
PROPERTY LOCATION: 8100, 8120 and 8200 Westminster Highway

Applicant's Presentation

Architects Wing Ting Leung and Konning Tam, W.T. Leung Architecture Inc., Landscape Architect Jocelle Smith, ETA Landscape Architecture, Jason Packer, Recollective, and Peter Kuo, Williams Engineering, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the provision of 16 affordable housing units all designed with Basic Universal Housing (BUH) features;
- also appreciate the provision of wheelchair access to the balconies of all units with BUH features;
- consider adding more accessible parking spaces than what is required by the City considering the number of accessible units that are being provided and the present and future needs of the City's aging population;

Total number of accessible parking spaces increased from three to four.

- appreciate the applicant's informative presentation;
- appreciate the applicant for targeting Step 3 of the BC Energy Step Code in terms of energy efficiency;

- consider enhancing the design of louvers on the façade of CRUs considering their importance to the aesthetics of the building and from a public realm perspective;

For the CRUs east of the lobby entrance, the design intent is to place intake and exhaust vents on the soffit of the overhanging terra cotta volume. This negates the need to place louvers within the storefront windows for a cleaner aesthetic. For the CRUs west of the lobby entrance, louvers are placed within the storefront behind the terra cotta “baguettes” (horizontal sunshades) above the glass canopy. The baguettes will conceal the louvers.

- consider the ventilation and exhaust system requirements and exterior façade design should one of the CRUs be utilized as a restaurant space;

Should one or more of the east CRUs be used as a restaurant, the kitchen exhaust can be routed via the parkade to discharge to the east lane. This location is furthest away from street activity as well as dwelling units. For the west CRUs, the kitchen exhaust can be routed to via the parkade to discharge at the garbage collection area on the west lane.

- appreciate the design of the building and its separation from surrounding towers; like the massing and articulation of the building façade; not concerned with the building exceeding the maximum tower floorplate as provided in the CCAP guidelines due to the proposed articulation of the tower massing;
- reconsider the proposed dog run area on the south property line as it lacks sun exposure and could only be accessed from inside the building; the proposed amenity would not provide a good experience for users;

Applicant proposes to re-program the rear yard with uses that are an extension of the parking area – ie. parking spaces and/or Class B bicycle racks. Discussions are ongoing with Staff to identify suitable use(s) and plant materials with CPTED concerns in mind.

- consider extending the CRU frontage at the northwest corner (i.e., at the corner of Westminster Highway and the public lane) to activate the public lane;

The storefront glazing has been extended an additional 2.4m [8 ft.] south down the lane

- appreciate the terra cotta screening that appears to float above the ground level retail spaces; creates a strong presence to the project; reconsider pulling out the podium street wall at the east end to preserve the design intent for the floating volume;

The wall at the east end is a down-turned extension of the soffit band treatment and acts as a bookend to conceal the sidewall of the east neighbour for a cleaner aesthetic. Because the end wall (and the soffit) is clad in a contrasting grey fibre cement panel, this will not distract from the strong terra cotta volume above.

- consider incorporating outdoor patio spaces for dining along the frontage of CRU spaces to help activate the public realm, maximize the use of CRU spaces, and address business and health concerns for the present and future pandemics;

The CRUs are currently intended to be retail or office-oriented instead of food service-related. Should a restaurant and/or café tenant materialize, there is a small area between the back of sidewalk and storefront face for outdoor seating. The area may be expanded if the operator seeks a street use license with the City.

- consider installing appropriate types of doors (e.g. roll up doors) for the CRUs to enhance indoor-outdoor connection especially during summer; look at coffee shops along Main Street in Vancouver as precedent;

The CRUs are currently intended to be mainly retail or office-oriented instead of food service-related. Should a restaurant and/or café tenant materialize, the storefront system can be modified for sliding or rollup doors. If modification is requested by the Owner prior to Building Permit application, an amendment to the Development Permit will be applied for.

- appreciate the presentation which is easy to follow;
- the programming and choice of materials for the podium level shared outdoor amenity area are appropriate; appreciate the series of outdoor rooms being created; the programming for the play area is well thought out; appreciate the installation of natural play elements in the play area;

Noted. East of the children's play area is a water feature with three granite cube bubblers and a river stone runnel. It is envisioned that this water feature will be used as part of children's play.

- consider incorporating a water feature with play value on the shared outdoor amenity area;
- appreciate the choice of planting materials on the podium; consider introducing the same planting strategy, i.e. pollinator planting, for the extensive green roofs rather than just sedum planting;
- ensure appropriate soil depth for planters on the podium level;

Noted. Per Landscape Architect details, raised planter walls will ensure minimum soil depths of 610mm to 915mm.

- support the Panel comment that the proposed dog run area on the south property line could be problematic due to its proximity to adjacent developments; consider opportunities for programming of the widened SRW area along the rear of the subject site;

Applicant proposes to re-program the rear yard with uses that are an extension of the parking area – ie. parking spaces and/or Class B bicycle racks. Discussions are ongoing with Staff to identify suitable use(s) and plant materials with CPTED concerns in mind.

- there is contrast between the CRU units and the entrance to the residential tower; consider stronger articulation on the ground level;

The zigzag pattern of the tower's light-coloured fibre cement cladding has been extended down to ground level to help further articulate the residential tower.

- support the Panel comment to provide usable outdoor spaces for CRUs as it would enhance the public realm along Westminster Highway;
- overall, the proposed development is well thought out;
- in general, appreciate the slender tower form with a north-south orientation, which is the most successful feature of the project together with the strip of balconies; more successful than the vertical zigzag pattern;
- appreciate the light-coloured cladding of the tower which helps blend in with the sky and the terra cotta screening which anchors the building on the ground plane;
- support the recessed entry for the residential tower which creates a private zone and provides a natural wayfinding for the residential uses of the building;
- support the introduction of horizontal and vertical slots which are generally successful; however, there is missed opportunity for the horizontal slot underneath the balconies at Level 11 which could have been carried all the way across to the east; this would have helped clarify the tower's distinct volumes;

The massing diagram in the submission material may have been unclear. The horizontal slot does indeed extend around the south and onto the east side of the tower, stopping at the vertical slot on the east side. This can be seen on the east elevation drawing as well as on images of the model.

- in general, support the additional tower floor plate; however, does not fully support the "bump" on the east side of the tower on the 8th, 9th and 10th storeys which appears to contradict the design intent of the building architecture (i.e., slim tower profile facing Westminster Highway);

The "bump" on the east side is intended to create a terraced massing for varying roof heights and intervening forms. We note that the massing is generally appreciated by the Panel.

- appreciate the terra cotta screening; the applicant is encouraged not to bring it down to grade to preserve its design intent to create a floating horizontal volume;

The terra cotta cladding does not extend down to the ground level.

- consider recessing the west side of CRU No. 101 slightly inward to further celebrate the terra cotta screening as a floating volume;

While the west wall is not recessed, the west storefront windows have been extended a further 2.4m south down the lane. This additional glass area will further reinforce the floating volume above.

- consider installing additional security features for the bicycle rooms (e.g. removing automatic door openers and adding more deadbolt locks) to prevent thefts in the parkade;

Per Bylaw requirements, all bike rooms are enclosed with solid opaque walls and have steel doors & frames with safety glass for permanent visual access. Doors are hinged on the inside to prevent tampering. No automatic door operators will be specified, and access will be via a programmed key fob. All of the interior within each bike room will be visible from the entry door. Bike rooms will also have motion-activated lights.

- appreciate the massing on the east side of the building broken down and stepped down and the west side massing not stepped down and flat and aligns with the adjacent development to the west; the proposed development fits well with its existing site context;
- not concerned with the building exceeding the maximum tower floorplate as per the CCAP's guidelines; the slender tower form is successful when viewed from Westminster Highway and from the south; the building may appear a bit bulky looking from the east and west but not dramatic;
- appreciate the terra cotta floating volume; however, the two pieces on both sides of the residential tower are very similar; consider either making them identical, i.e., symmetrically similar, or differentiate them, e.g. adding more terra cotta to the top;

The intent is to create volumes that are similar, but not identical. While the treatments are similar, the differences are not subtle. The volumes have different parapet heights; the west volume is articulated with "baguette" sunshades, while the east volume has a soffit band clad in contrasting colour & material; the east volume uses deep horizontal slots to express the floating volume, while the west volume uses a combination of glazing & baguettes to reinforce the floating volume above. Additional differentiation may make the facade too busy and distracting.

- not concerned with the "bump" as it works well on the stepped down massing on the east side of the building;
- concerned with the usability of the proposed dog run area at the rear of the building as a dog run area is already provided at the shared outdoor amenity area on Level 5 which would be preferred by residents due to its better location; consider alternative programming for the dog run space on ground level, e.g. potential space for bike storage;

The dog area has been deleted. Applicant proposes to re-program the rear yard with uses that are an extension of the parking area – ie. parking spaces and/or Class B bicycle racks. Discussions are ongoing with Staff to identify suitable use(s) and plant materials with CPTED concerns in mind.

- appreciate the proposed use of cementitious panels around the buildings; commend the applicant for the choice of building materials and colours;

- the project would be a good addition to the area;
- new buildings in the City are targets for break-ins and thefts; consider installing CCTV cameras in the parkade and installing adequate lighting; and

CCTV cameras are provided at entry points to the building – eg. Street lobby, parkade access points, lobbies & common corridors from each parkade level.

- support the Panel comment to enhance the security for bike storage and enclosures in the parkade.

Per Bylaw requirements, all bike rooms are enclosed with solid opaque walls and have steel doors & frames with safety glass for permanent visual access. Doors are hinged on the inside to prevent tampering. No automatic door operators will be specified, and access will be via a programmed key fob. All of the interior within each bike room will be visible from the entry door. Bike rooms will also have motion-activated lights.

Panel Decision

It was moved and seconded

That DP 19-878817 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Attachment 4



DETAILED PUBLIC ART PLAN 8100 WESTMINSTER HWY

SUBMITTED APRIL 13, 2021

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PROJECT DETAILS

PROJECT ADDRESS	8100 - 8180 WESTMINSTER HWY
LEGAL ADDRESS	Lots 1, 2, and 3 Section 9 Block 4 North Range 6 New Westminster District Plan 8649
TOTAL FAR SITE AREA	11,299.42 M ² (121,625.94 SQ. FT.)
PUBLIC ART BUDGET	\$98,134.16

PROJECT CONSULTANTS

PROJECT OWNER | RISESUN NORTH AMERICA REAL ESTATE LTD.
400- 999 W Broadway
Vancouver, BC V5Z 1K5

ARCHITECT | W.T.LEUNG ARCHITECTS INC
973 W Broadway wing@wtleungarch.com
Vancouver, BC V5Z 1K3

Wing Leung | Principal
(604) 736-9711
wing@wtleungarch.com

LANDSCAPE ARCHITECT | ETA LANDSCAPE ARCHITECTURE
1690 W 2nd Ave
Vancouver, BC V6J 1H4

PUBLIC ART CONSULTANT | BALLARD FINE ART LTD.
1243 Duchess Avenue
West Vancouver, BC V7T 1H3

Jan Ballard | Principal
(604) 922-6843
jan@ballardfineart.com

INTRODUCTION

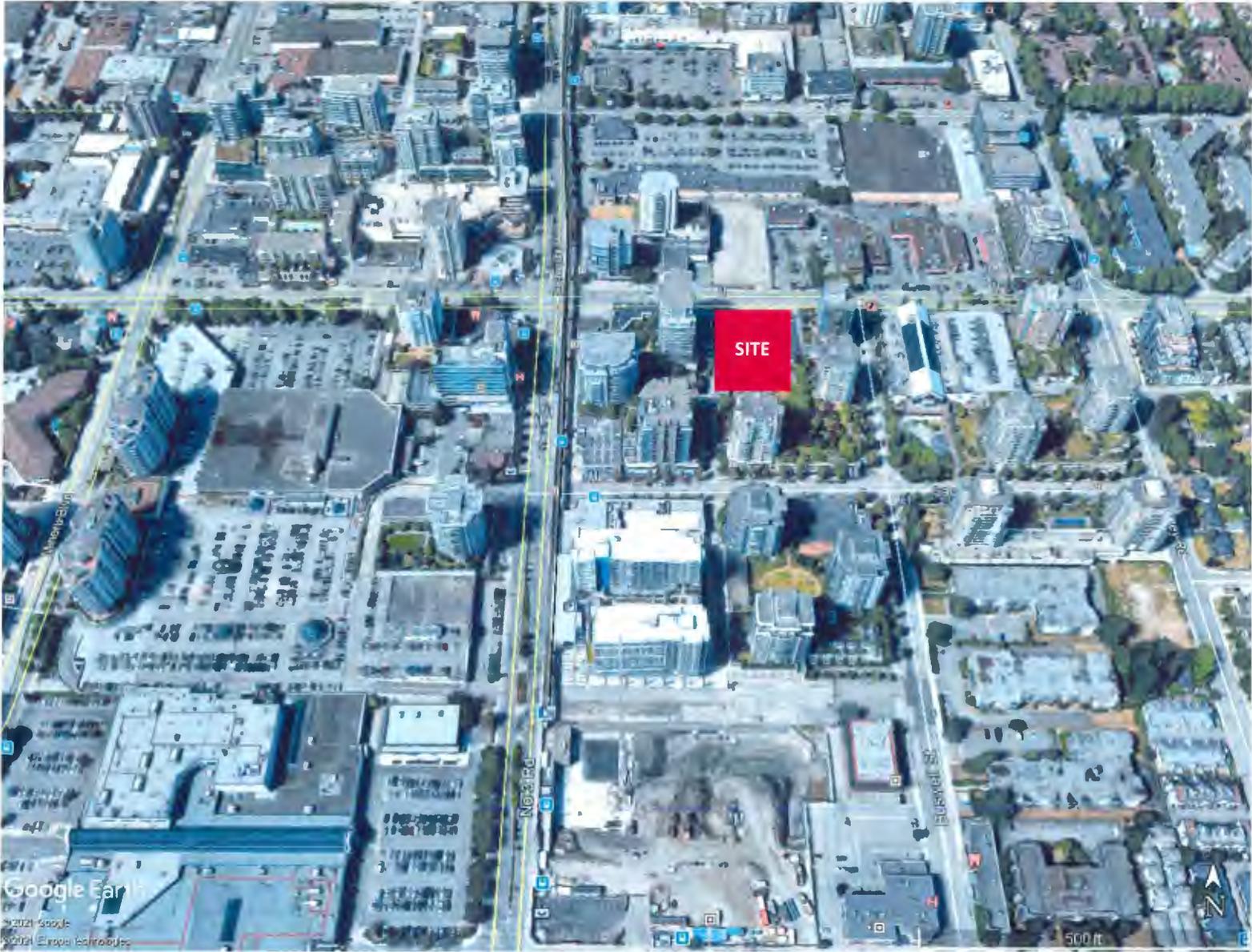


Richmond City Centre, Aerial View

8100 Westminster Hwy is a mixed-use housing development located on Westminster Hwy in the evolving Brighthouse neighbourhood within Richmond City Centre. Fronted by Westminster Hwy, with No. 3 Rd to the west and Buswell St to the east, this connected site offers an exciting opportunity for an engaging public artwork which reflects the unique qualities of the area.

To ensure the highest quality, creativity, and originality of the public artwork, RiseSun North America Real Estate Ltd. has engaged Ballard Fine Art Ltd. to provide public art consultation. Ballard Fine Art will strive to support the City of Richmond's Public Art Program goals by facilitating a public art work that creates distinctive public spaces, enhances the sense of community place and civic pride and increases connectivity within the area. Rise Sun North America is looking forward to working with the City of Richmond and the selected artist to facilitate a dynamic public artwork that will contribute to the artistic and cultural landscape of the Brighthouse Village neighbourhood and the greater Richmond Community.

CONTEXT PLAN



Context Map showing 8100 Westminister Hwy site location within the Brighthouse Village neighbourhood of the City of Richmond

PROJECT DESCRIPTION



Perspective view looking SE from Westminster Hwy, Rendering

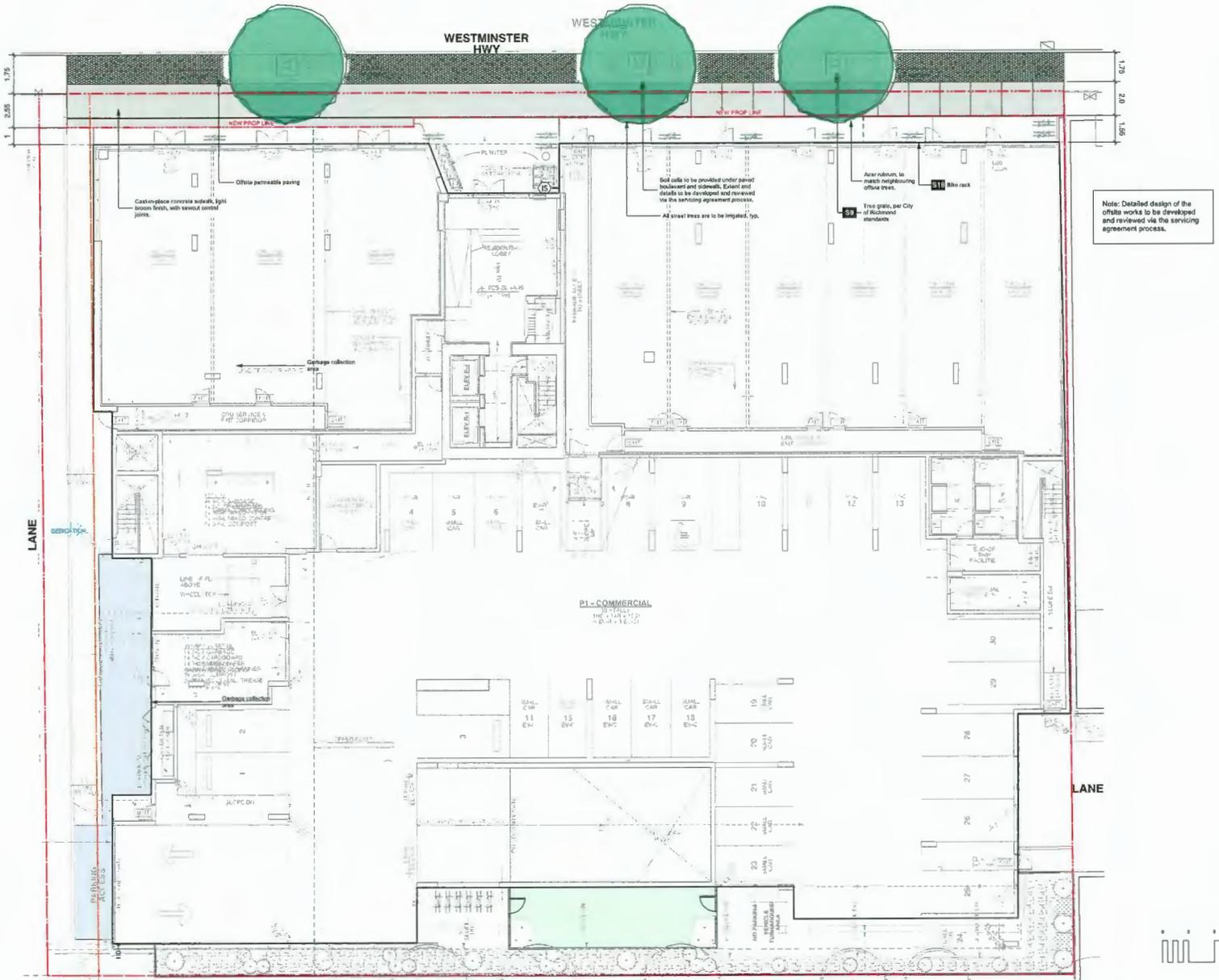
8100 Westminster Hwy is envisioned as an urban, mixed use, residential development offering of a 15-storey residential tower stepped back at the upper levels above a mixed-use retail residential podium. The set back podium design and varied building forms create a unified transition to the surrounding community; the podium level boasts a unique outdoor space with a range of centralized amenities for residents including a children's play area, outdoor community dining and an extensive roof garden. The project features a total of 114 market condo units in addition to a proposed 16 affordable units, ranging from studio, one-, two-, and three-bedroom homes. The residential offering is complimented by 9,744.58 sq.ft of street-level retail space. The sophisticated palate and the carefully considered lines of the building are refined and welcoming, designed to create a friendly, livable environment for residents, workers, and visitors alike.

Located just a few blocks from the Richmond Brighthouse Station and in close proximity to a myriad of amenities, services and important community infrastructure, this dynamic and connected site offers a lively retail/commercial frontage, which will further activate Westminster Hwy and help to generate pedestrian activity along the street and throughout the Brighthouse neighborhood. Envisioned as an integral part of Brighthouse' growing community and responding to the City Centre Area Plan vision to "build community", "build green", "build economic vitality" and "build a legacy," 8100 Westminster Hwy seeks to create a distinct framework in which to live, work and play, while fostering dialogue and connectivity among residents of this evolving Richmond neighborhood.



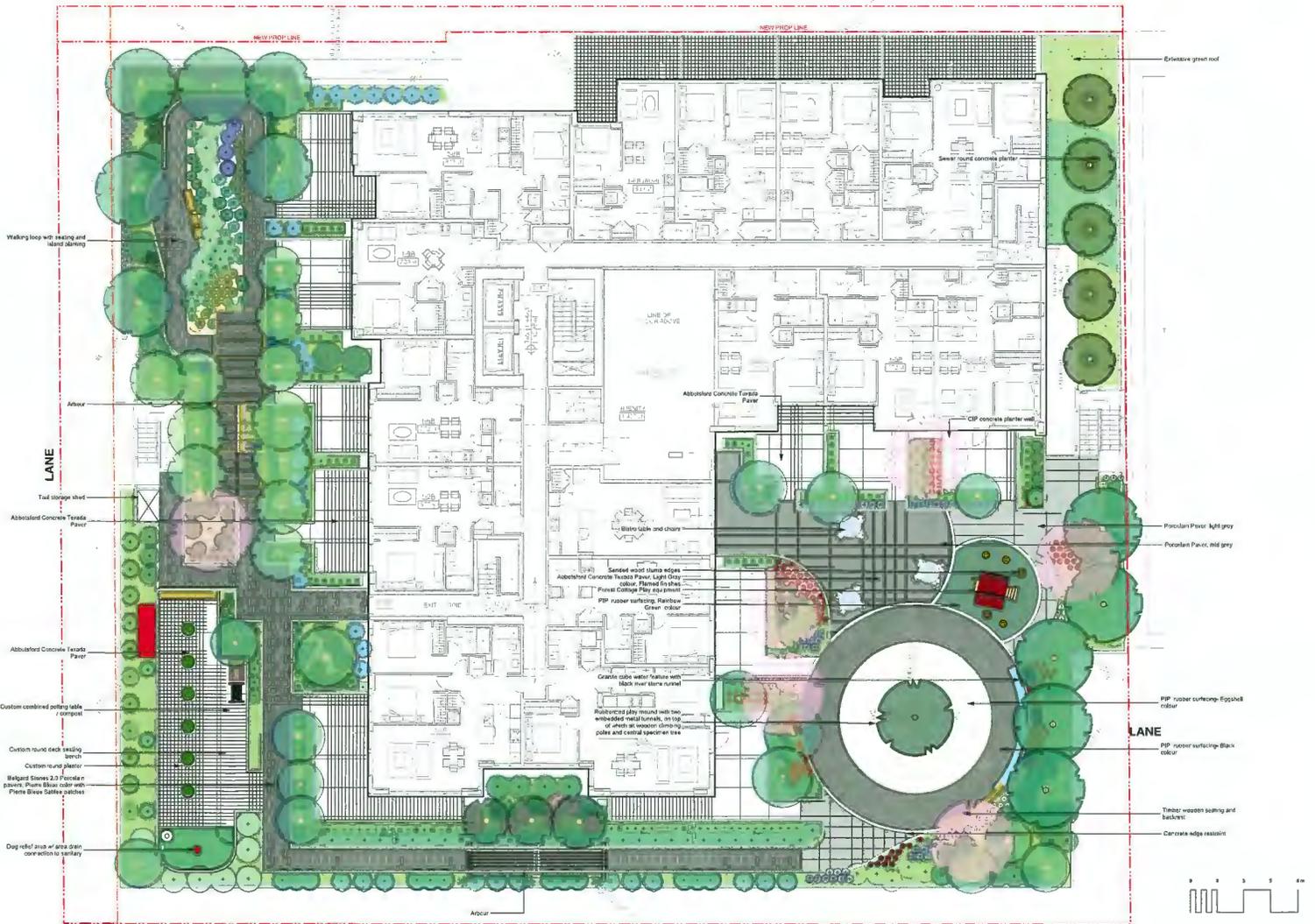
Perspective view looking SW from Westminster Hwy showing the lane way elevation

LANDSCAPE PLAN



Landscape Ground Level Plan

WESTMINSTER HWY



Landscape Amenity Level Plan

PUBLIC REALM



Annual Picnic at Brighthouse Square, organized by Minoru Senior Centre



Richmond Public Library Brighthouse Branch

8100 Westminster Hwy is proposed as a modern and inclusive urban community. Its central and accessible location within Brighthouse Village in the Richmond City Centre places residents close to a multitude of amenities, city services and parks at the core of this burgeoning neighborhood. Brighthouse Village is one of six key neighborhoods identified for growth under the City Centre Area Plan, benefiting from the rich social and cultural history of its surroundings, the development and public art will respond to the diverse needs of both residents and visitors by increasing connectivity and cultivating a welcoming and all-inclusive public realm befitting of this vital location.

Designated as the “Civic Heart” and inclusive of Richmond’s civic offices and a range of community services, Brighthouse Village is envisioned as a high density, pedestrian friendly, retail high street with multiple family housing developments, offices and hotels. With the Canada Line-Brighthouse Station and transit hubs close by, 8100 Westminister Hwy provides high connectivity for the residents to other areas of Richmond and the rest of Metro Vancouver.



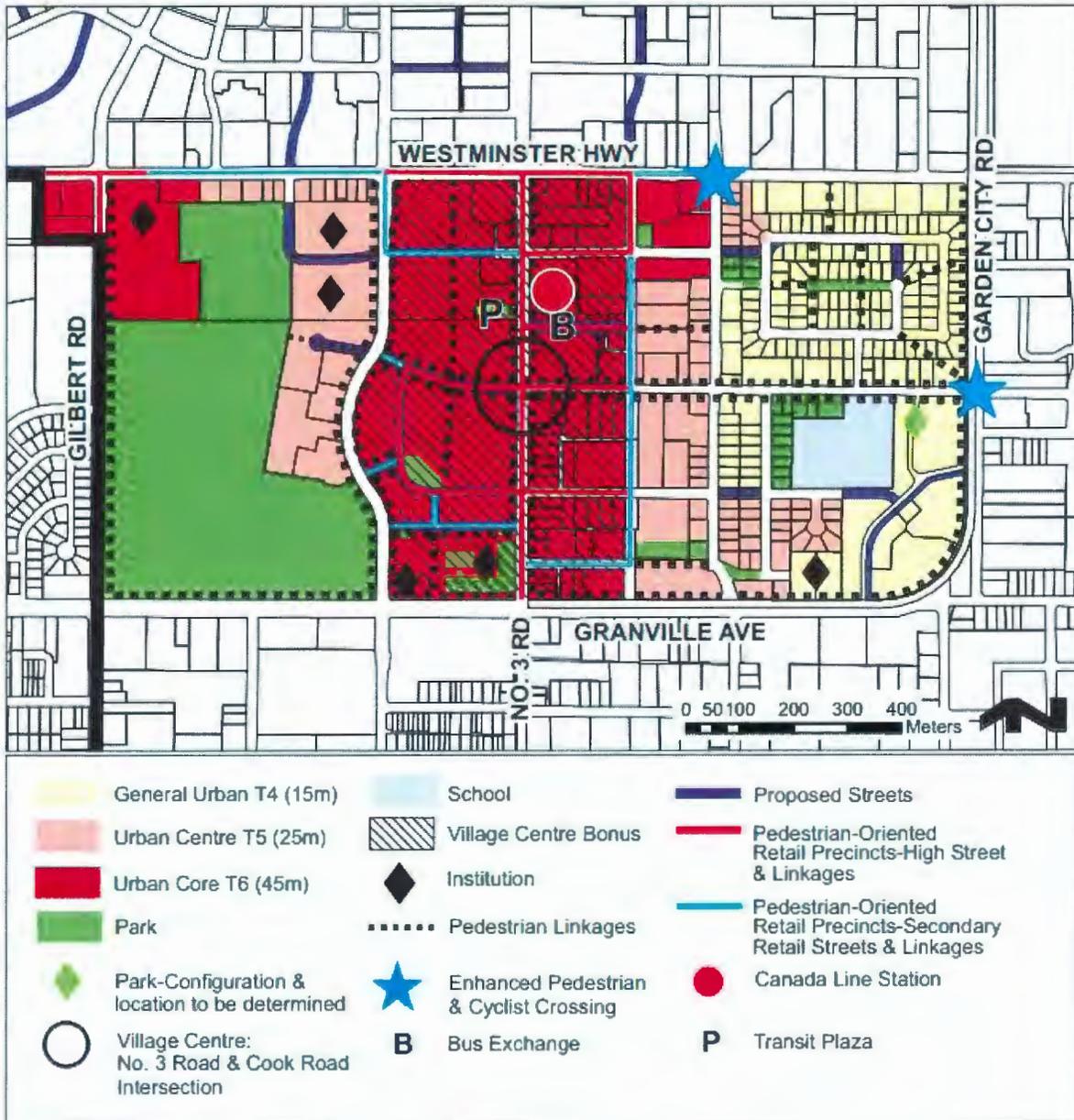
Richmond World Festival at Minoru Park



Richmond-Brighthouse Station

Specific Land Use Map: Brighthouse Village (2031)

Bylaw 9892
2020/07/13



Bylaw 10020
2019.05.21 Maximum building height may be subject to established Airport Zoning Regulations in certain areas.

Richmond City Centre Area Plan, Specific Land Use Map Brighthouse Village



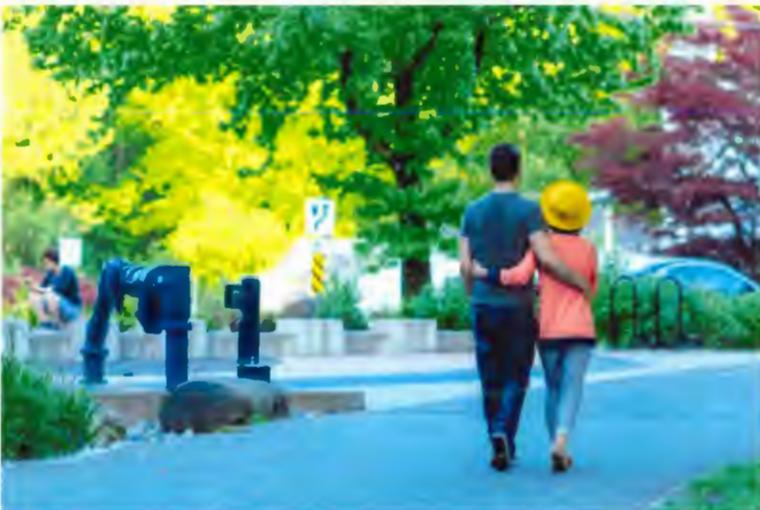
Minoru Aquatic Center with Public Art Errant Rain Cloud by Germaine Koh and Gordon Hicks



Winter Wonderland Skate at Minoru Arena

The close proximity to shopping and services provides easy access for residents and encourages walking and cycling. 8100 Westminster Hwy is situated less than a block from Richmond Centre Shopping Mall, additionally the development is close to the Richmond Hospital, which is just 1.1 kilometers from the site, the expansive Minoru Park is just 1.9 kilometers away which includes the Minoru Center for Active Living, Minoru Arenas, two artificial turf playing fields, tennis courts, Minoru Lakes and Pierrefonds Gardens Walking Trail, Richmond Brighthouse Library and Richmond Art Gallery. William Cook Elementary School, Richmond City Centre Community Centre, Brighthouse Park and Garden City Community Park are also close by.

The new development at 8100 Westminster Hwy will enliven and enrich the area with street scape improvements and a new enclave of retail storefront which will enhance public pedestrian experience and connections, enliven the street scape and energize the neighbourhood to create a friendly and connected public realm.



Public Connectivity



Minoru Park

COMMUNITY CONTEXT



A Coast Salish fishing camp along Fraser River



Farm culture in Richmond, c. 1913

The City of Richmond is uniquely situated on Lulu Island at the mouth of the Fraser River. Comprised of a total of 17 islands, including Sea Island and other smaller islets, Richmond’s human history has long depended on the use of the River. For thousands of years prior to European arrival, the Coast Salish peoples established seasonal dwellings and permanent residences, using the area for harvesting berries and fishing salmon. An ecologically vital gathering ground rich with shellfish and young salmonids, the Fraser River was a critical living and food-gathering place, offering the First Nations Peoples a life of abundance prior to European settlement.

As early as the 1860’s, settlers began to clear the fertile land for farming. Agriculture dominated early land use in the area and the many dairy and vegetable farms earned Richmond the nickname of “Garden City” by the early 1900’s for supplying food for the City of Vancouver. The early settlements were near the Fraser River, facilitating transportation by water and encouraging the migration of fishers from First Nations, Japanese, Chinese, and European heritage. Close proximity to the Fraser River—which runs 1,325 km from its headwaters in eastern British Columbia to its mouth at the Strait of Georgia in the City of Vancouver—provided easy transport and access, influencing the growth of industries such as boat building and fish canning.



Richmond’s original Town Hall, left, the Agricultural Hall, centre, and the Richmond Methodist Church, now Minoru Chapel



Brighouse area, showing Richmond High School, Brighouse Race Track and Middle Arm of the Fraser River, 1953



Street Celebration at Richmond Brighthouse Station



Lunar New Year Festival, Richmond

Samuel Brighthouse, for whom Brighthouse Village was named, played a key role in the early development of the area. An early investor in agriculture and prominent business man in the Lower Mainland, he immigrated to Canada from the U.K. with his cousin John Morton. Looking to expand his business, Brighthouse acquired 697 acres on Lulu Island in 1864 and began cultivating the property with crops and livestock. In 1880 Brighthouse sold five acres of his Lulu Island property, at the present intersection of River and Cambie Roads, to the Township of Richmond for \$400. This site became home to the first Richmond Town Hall.

Incorporated as a municipality in 1879 and designated as a City in 1990, Richmond has continued to grow and develop with remarkable speed, transforming from a rural, local community to a dynamic urban center. Today, the City of Richmond is characterized by its strong sense of community, with an ethnically diverse and continually growing population. According to the City Center Area Plan the Richmond City Centre Population is expected to triple over the next 100 years making Richmond a major center within Metro Vancouver.

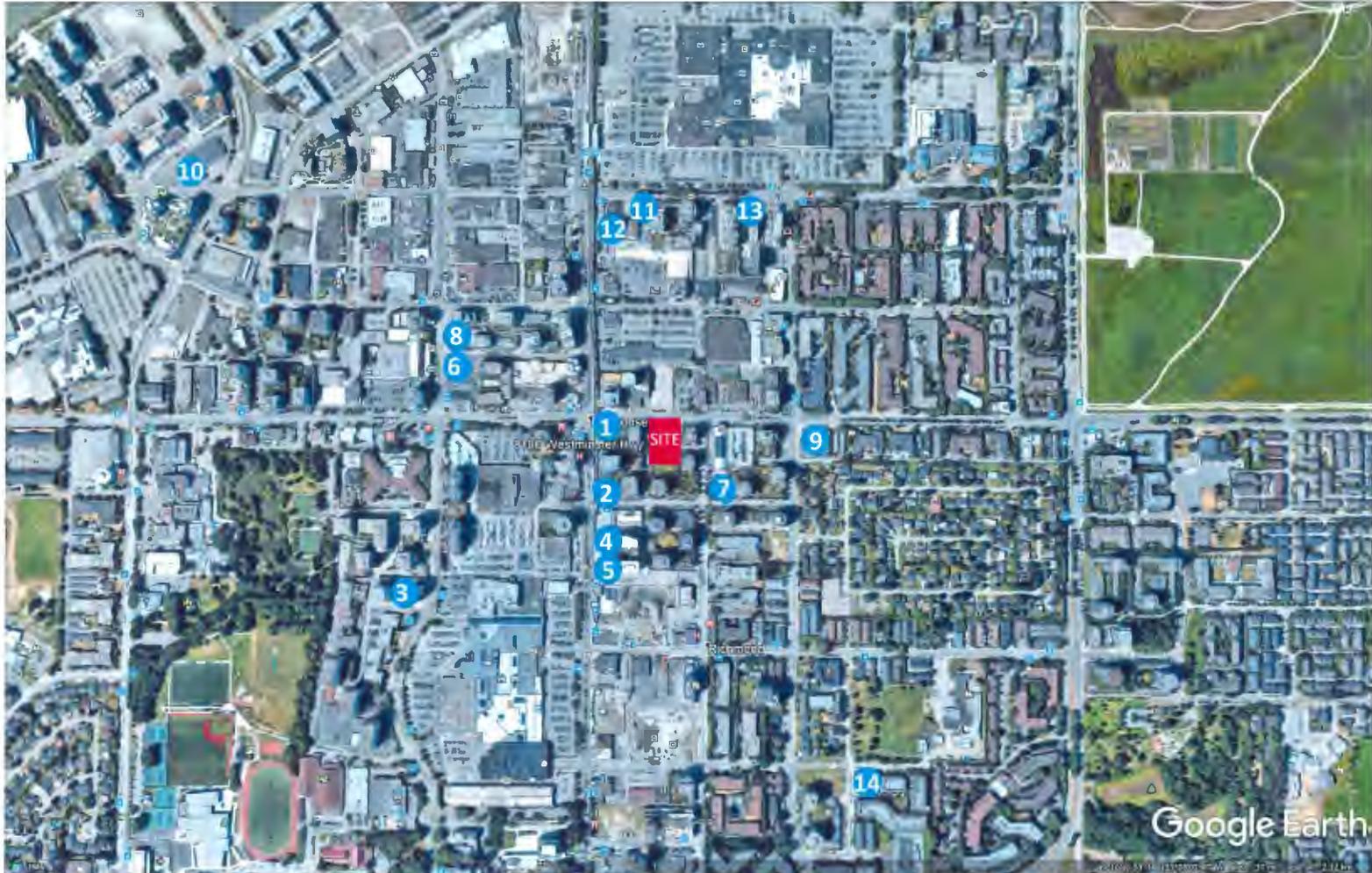


Vancouver International Airport, Richmond



Richmond City Centre Community Centre, Summer Camp

PUBLIC ART CONTEXT



Public Art Context Map

Public art plays a key role in the well-being of individuals, communities and society by energizing public spaces, inspiring thought and dialogue, and transforming sites of work, live and play into welcoming, engaging and enjoyable environments. Reflecting the City of Richmond's unique identity, history, and culture, the public artwork at 8100 Westminister Hwy will operate within the City's Public Art Program and will seek to offer public access to ideas generated by contemporary art, encourage citizens to take pride in cultural expression, and transform the places where we live, work, and play.

The City of Richmond's Public Art Program Policy has established a dynamic and engaging collection of public art throughout the area. With several public artworks in close proximity to the site, *Instant Coffee's, Perpetual Sunset*, located at the corner of No. 3 Rd and Westminster Hwy is adjacent to the site and creates a connection to other public works located throughout Brighthouse Village and neighbouring Landsdowne Village.

The public art generated by 8100 Westminster Hwy has the potential to engage the wider public art context of the Brighthouse Village neighbourhood, as well as the City of Richmond more broadly, activating and enlivening the public realm. RiseSun North America is committed to hosting a dynamic and enduring public artwork that speaks to diverse audiences, invites engagement, and enriches local culture.

1. *Instant Coffee (Jinhan Ko and Kelly Lycan), Perpetual Sunset, 2012*
8068 Westminster Highway



2. *Alberto Replanski Harmony, 1998*
6088 No 3 Rd.

3. *Javier Campos and Elspeth Pratt, tango, 2015*
6251 Minoru Blvd



4. *Bill Pechet, closer than, 2016*
6180, 6280, and 6300 No. 3 Road

5. *Nathan Lee, Skydam, 2016*
6340 No. 3 Road



6. *Jacqueline Metz and Nancy Chew, ebb & flow, 2015*
5900 Minoru Blvd

7. Gwen Boyle, Return to Balance, 2017
Lang Park, 8211 Saba Rd



8. Rebecca Bayer, Motif of One and Many, 2015
City Centre Community Centre, 5900 Minoru Blvd



9. Illarion Gallant
Rock Water, Reeds, 2014
6180 Cooney Rd



10. Derek Root, Sail Wall
2017
7468 Lansdowne Road



11. Jacqueline Metz and Nancy Chew, Made in China, 2013
8180 Lansdowne Road



12. Kelly Lycan, The Shape of Things, 2018
5580 No. 3 Road



13. Krzysztof Zukowski,
Versante, 2009
8280 Lansdowne Road



14. Jacqueline Metz & Nancy Chew, Saffron, 2012
8600 Park Road



GUIDING PRINCIPALS

- Reflect the vision and spirit of the 8100 Westminster Hwy project
- Thoughtfully consider the unique historic, social, and cultural context of the City of Richmond's Brighthouse Village community
- Reflect the broad thematic of "Yesterday, Today and Tomorrow" identified in the Richmond City Centre Public Art Plan and the Brighthouse Village Character Zone vision designating the area as the "Civic Heart"
- Offer high public visibility and accessibility for a diverse array of audiences
- Strive for the highest quality of artistic expression and standards
- Provide a public artwork that is dynamic and engaging, in accordance with the City of Richmond's public art program and guidelines
- Contribute to a vibrant street scape along Westminster Hwy and No. 3 Rd



Plan showing the front elevation of the building on Westminster Hwy facing south with the public art opportunity outlined in blue



Plan showing the side elevation from the laneway facing east with the public art opportunity outlined in blue

PRECEDENT IMAGES



Lucien Durey, *The Bird Carver*, 2020, Kelowna, BC



Adad Hannah, *Rebound/Bounce*, 2017, Montreal, QC



Elizabeth Mackintosh, *Finger Paint*, 2018, Vancouver, BC



Kevin Schmidt, *Reckless*, 2018, North Vancouver, BC



Alex Morrison, *Folly Electric*, 2020, Burnaby, BC



Thomas Cannell, *əw'xələməʔ: whistling (people)*, 2019, Richmond, BC

PUBLIC ART BUDGET

The total public art contribution for 8100 Westminster Hwy is \$98,134.16.

The amount designated for public artwork is \$72,500.00 and includes the artist fee, artwork fabrication, artwork storage if required, engineering certificates, construction coordination and site preparation, lighting, insurance, and artwork delivery and installation. The artist selected will be responsible for a general public liability insurance policy. Premium for this coverage will be assumed as a cost of doing business and part of the studio overhead.

The administration portion of the budget is \$11,227.46 and includes the art selection process, artist and panel honorarium fees, as well as a developer’s contingency and plaque/signage.

Public Artwork	\$72,500.00
Selection Process and Honoraria	\$7,600.00
Artist Honoraria (3 x \$2,000)	\$6,000.00
Selection Panel Honoraria (2 x \$800)	\$1,600.00
Developer’s Contingency	\$2,127.46
Signage/Plaque	\$1,500.00
Public Art Program Administration (5%)	\$4,906.70
Public Art Consultation (maximum 10%)	\$9,500.00
Total On-site Public Art Budget.....	\$98,134.16

Please note:

As per the City of Richmond Public Art Program Administrative Procedures Manual (2.4.2), “if an artist is asked to address functional features, such as a fountain, façade, or windscreens, the art budget is the “upgrade” to the existing costs of the feature”.

All cost savings or unused funds remaining from the administration portion of the budget will be put towards the artwork.

TIMELINE

PROJECT TIMELINE

Development Permit Application	Nov 29, 2019
Anticipated Development Permit Issuance	October 2021
Construction Start	October 2022
Construction Completion	February 2025
Occupancy Permit Issuance.....	February 2025

PUBLIC ART TIMELINE

Detailed Public Art Plan Submission and Presentation.....	April 2021
Expressions of Interest (EOI).....	May 2021
First Selection Panel Meeting.....	June/July 2021
Second Selection Panel Meeting - Shortlisted Artist Concept Presentations	September 2021
Final Artist Selection	September 2021
Artist Contract	October/November 2021
Art Installation	January 2025

* DATES ARE BEST ESTIMATED TARGETS AND SUBJECT TO CHANGE

SELECTION PROCESS

All stages of the selection process will be facilitated by public art consultant Ballard Fine Art Ltd.

The artist selection process will involve a two-stage open call for Expressions of Interest (EOI) to local and regional artists with a voting selection panel. The panel will consist of 3 voting members, comprised of 1 art or design professionals from the local art community, 1 community representative and 1 member from the 8100 Westminster Hwy team. Panel members will be selected for their experience with public art, as well as their knowledge of the area and will receive an \$800 honorarium for their work excluding members of the 8100 Westminster Hwy team. In addition, representatives from the City of Richmond including the Public Art Manager, and a staff representative from Planning and Parks will be invited to participate in a non-voting advisory capacity. The City advisors will be invited to attend the selection panel meetings and provide commentary and feedback on the Terms of Reference, EOIs, shortlisted artist nominations, artist concept proposals, and final artist considered for selection.

Selection Panel members:

Kai Lin, RiseSun North America Ltd or Wing Leung, Project Architect, W.T. Leung Architects Inc.
Tom Hsu, Artist and Richmond Resident
Rebecca Bayer, Artist

Selection Panel alternates:

Brenda Crabtree, Artist and Director of Aboriginal Program, Emily Carr University
Thomas Cannell, Artist
Jeanette Lee, Artist with public artwork in Richmond

Non-voting Advisors:

Biliana Velkova, City of Richmond, Public Art Planner

Stage One

In stage one of the selection process, artists will submit an Expression of Interest (EOI) for consideration by the selection panel. The selection panel will review all EOI submissions and discuss the merits of the artists' past work and potential fit with the respective public art opportunity and determine a shortlist of 3 artists to develop a concept proposal.

Stage Two

In stage two, the shortlisted artists will be invited to develop and present a concept proposal to the selection panel. The shortlisted artists will be oriented to the public art opportunity, project, site, and community contexts, with an opportunity to meet with the developer and design team. Each shortlisted artist will be paid an honorarium of \$2,000 for their work, paid upon receipt and presentation of the concept proposal.

Following the selection panel's review of the shortlisted artist concept proposals, a final artist and artwork will be recommended for selection. Prior to notifying the final artist nominated, RiseSun will have the opportunity to review the nominated artist's concept. The final artist selected for the project will enter into a contract agreement with RiseSun North America Ltd. to complete the proposed artwork on time and budget.

The Short-listed Artist Public Art Proposal Will Include:

- i) Written public art proposal (1-2 pages)
- ii) Visual Aids (renderings/model)
- iii) Detailed public art budget
- iv) Project timeline
- v) Details of all materials, finishes, colours, dimensions, installation requirements, names of fabricators & maintenance requirements
- vi) CV and examples of past projects

Artist/Artist Team Selection Criteria for Stage Two:

- i) High quality and innovative concept with a clear vision of the final artwork
- ii) Demonstrated understanding of the public space and the impact on the proposed site
- iii) Understanding of the project architecture, the site and its contexts
- iv) Demonstrated feasibility in terms of a detailed budget, timeline, implementation, safety, maintenance and site consideration
- v) Artistic quality of artwork presented in the documentation of past work
- vi) Availability

Please note: If no submission warrants consideration, RiseSun reserves the right not to award the commission.

Please direct any questions to:

Jan Ballard | Ballard Fine Art Ltd.

O. 604 922 6843 | C. 604 612 6645 | E. jan@ballardfineart.com

MEMORANDUM OF UNDERSTANDING

BETWEEN

RISESUN NORTH AMERICA REAL ESTATE LTD.

(BC Incorporation #BC1066376)

AND

S.U.C.C.E.S.S AFFORDABLE HOUSING SOCIETY

(BC Incorporation #S0061005)

WHEREAS:

Risesun North America Real Estate Ltd. (“Risesun”), is developing a 15-storey mixed commercial & multi-family residential building for a site located on the south side of Westminster Highway between No. 3 Road and Buswell Street. The development comprises street-oriented retail spaces fronting Westminster Highway and 130 dwelling units on floors above.

Risesun is a residential and mixed-use real estate development company. We are a practice dedicated to creating a livable space for people. Our Canadian office was established in 2016. Risesun currently owns a piece of land in Richmond and the future development will be a mixed-use building. It is in the stage of planning now and the project aims to finish by 2025.

AND;

S.U.C.C.E.S.S Affordable Housing Society (“S.U.C.C.E.S.S. AHS”) who is experienced in providing housing operations, management and maintenance services for affordable homes.

SECTION A. OBJECTIVE:

1. Risesun will develop and own new affordable units and is seeking a non-profit housing provider to operate, manage and maintain the units whilst Risesun builds up its capacity.
2. S.U.C.C.E.S.S Affordable Housing Society will manage the operations of these affordable housing units through a leased agreement with Risesun.

SECTION B. INTENT

3. The proposed project is located at 8100-8180 Westminster Highway, Richmond. The affordable housing units are proposed on levels four and six of the development. On level four, all units are affordable housing units. On level six, units are a mix of affordable housing and market units. It will contain 16 affordable low-end-of-market-rental (LEMR) housing units.
4. The project is currently at the Development Permit stage. The number and mix of housing is subject to change through the permitting process.
5. It is intended that Risesun will enter into a 20 year lease agreement with S.U.C.C.E.S.S AHS to provide efficient management and maintenance services for the projects listed in Appendix A. Further projects may be added as Risesun develops its affordable housing portfolio.
6. Risesun will own the affordable units and is responsible for its mortgage. S.U.C.C.E.S.S Affordable Housing Society will operate the units and manage the operating budget. If the operating budget is in a deficit at any time, Risesun will immediately forward an amount equal to or greater than the deficit to S.U.C.C.E.S.S. AHS. Risesun will pay a management fee to S.U.C.C.E.S.S. AHS for the management and maintenance services outlined in Section C on a monthly basis. If the operating budget results in a surplus after covering all operating expenses, S.U.C.C.E.S.S. AHS will forward that surplus to Risesun.

SECTION C. RESPONSIBILITIES: S.U.C.C.E.S.S Affordable Housing Society

7. Support the permitting process for the project, attending meetings with the municipality as required.
8. Provide general advice and guidance on specification and design however Risesun retains the right to develop in accordance with their requirements.
9. Provide an Operational Plan and Asset Management Plan which will be included in the lease.
10. Select tenants in accordance with municipal, provincial and federal guidelines, undertaking the necessary credit, landlord, and employment references.
11. Advise tenants of their responsibilities and that these are clearly defined in the tenancy agreement which is signed prior to tenanting.
12. Undertake appropriate level of inspections to ensure that the property is well maintained.
11. Provide maintenance and repair services in a timely manner depending on the urgency of the repair.
12. To contribute an appropriate amount as part of the operating budget to a capital reserve fund for major repairs and replacement.
13. Collect rent and to follow up on any rent arrears in a timely manner, advising tenants on any benefits or sources of income that they may be eligible for.
14. Manage tenant relations dealing with any disruptive behaviours and nuisance in an expeditious manner, providing support to tenants who are at risk of eviction to minimize any evictions, enforcing the tenancy agreement where appropriate.

15. Provide annual audited financial statements to Risesun.

SECTION D. RESPONSIBILITIES: RISESUN

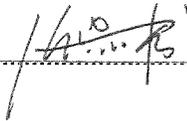
16. Project manage the permitting and development process to Building Occupancy.
17. Pay the agreed management fee to S.U.C.C.E.S.S on a monthly basis.
18. Pay any operating deficit to S.U.C.C.E.S.S. immediately.
19. Offer training and employment opportunities to the tenants referred by S.U.C.C.E.S.S.

SECTION E. BINDING

20. This Memorandum is intended to be non-binding, and until a lease agreement is executed by both parties there will no binding legal obligations between the parties. Although this Memorandum sets out the basic understandings reached between Risesun and S.U.C.C.E.S.S. Affordable Housing Society to date, the actual documentation may well be the subject of further good faith negotiation and contain terms not included in this Memorandum.

This Memorandum of Understanding outlines the parties' intentions prior to a legal agreement being entered into formalizing the terms of the relationship together with a draft of the Operating Agreement which will be completed at least six months in advance of receipt of an Occupancy Permit.

SIGNED:


.....

NAME:

Chiqiu Zhang
.....

TITLE:

CEO
.....

DATE:

06-16-2021
.....

RISESUN NORTH AMERICA REAL ESTATE LTD.

SIGNED:


.....

NAME:

Ahmed Omran
.....

TITLE:

Director of Community Real Estate and Asset Management
.....

DATE:

June 16, 2021
.....

S.U.C.C.E.S.S AFFORDABLE HOUSING SOCIETY

APPENDIX 1
PROJECT LIST

The proposed project is located at 8100-8180 Westminster Highway, Richmond and consists of a 15-storey building .The development comprises street-oriented retail spaces fronting Westminster Highway and 130 dwelling units on floors above. Among these units, there are 16 Affordable Homes of the following mix – 1 studios, 10 one bed, 4 two bed, 1 three bed units.



Address: 8100, 8120 & 8180 Westminster Highway

File No.: DP 19-878817

Prior to a Development Permit* being forwarded to the Development Permit Panel for consideration, the developer is required to:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development.

Prior to Development Permit Issuance, the developer must complete the following requirements:

2. Site Consolidation: Consolidation of all subject lots into a single development parcel (which will require the demolition of the existing dwellings).
3. On-Site Arborist Supervision: Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
4. Landscaping Security: Receipt of a Letter of Credit for landscaping in the amount of \$725,949.95 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
5. Tree Retention: Submission of a Tree Survival Security to the City in the amount of \$12,500. This amount includes a \$5,000 security for the street tree (tree #642) and \$1,500 for each of the five offsite trees (trees #643-647) to be retained. The security should be held until an inspection of the subject trees, occurring 12 months following a landscaping inspection that confirms the completion of landscaping works, by City Urban Forestry Preservation or Tree Preservation staff (as the case may be) for a change to the condition of the tree.
6. On-Site Replacement Trees: Submission of an on-site landscape plan for the subject project site that includes at least 6 replacement trees based on a ratio of at least 2:1 to compensate for 3 on-site bylaw-size trees to be removed (tag #s 639, 640 & 641). The required replacement trees are to be of the minimum sizes, based on the size of the trees being removed as per Tree Protection Bylaw No. 8057. The owner will be required to provide \$500 to the City's Tree Compensation Fund for each and any number of trees short of the required 6 replacement trees.
7. Road Dedication:
 - a) A road dedication of 2.0 m along the north properly line of the subject development (Westminster Hwy) from the west end of the frontage, then offset (at approximately the residential lobby entrance) to a 1.45m road dedication to the east end. The offset accommodates alignment of this development's podium with the east neighbouring building.
 - b) A road dedication of 3.0 m along the west properly line of the subject development (the westerly lane).
8. Sanitary SRW Replacement: Replacement of the existing sanitary SRW 285753 along the rear and east sides, and expansion of the SRW areas of the site as follows:
 - a) Discharge sanitary SRW 285753, of which:
 - i. a 1.5 m (5 ft) wide portion is located along the rear of the subject site; and
 - ii. a 3.0 m (10 ft) wide portion is located along the rearmost 15.5 m (51 ft) of the east side of the site.
 - b) Register a new sanitary SRW that reflects contemporary language for utility SRWs and expands the SRW area to cover:
 - i. the rearmost 3.0 m of the subject site; and
 - ii. a width of 4.5 m (15 ft) along the rearmost 15.5 m (51 ft) of the east side of the site,
9. Terminus/Turnaround SRW for Easterly Lane: The granting of a new SRW Property Right-of-Passage (PROP) to accommodate a 3 m (10 ft) minimum extension of the neighboring lane to the east to allow for three-point truck turnaround for the neighboring property. Exact right-of-way dimensions (length and width) of the PROP SRW will

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be confirmed through the Servicing Agreement* process. Paving, bollards and drainage will likewise be confirmed through the Servicing Agreement* process.

- 10. Water Meter Access Easement: The granting of an easement from a lot line abutting Westminster Highway or the westerly lane to the Water Entry room on P2, for water meter access. Exact right-of-way dimensions to be finalized via the Servicing Agreement process.
- 11. Third Party Equipment SRWs: All above ground hydro/telephone kiosks and other third party equipment must not be placed within any frontage works area including sidewalk. On-site SRW's are to be secured for the placement of this equipment. Exact right-of-way dimensions of the PROP SRW would be confirmed through the Servicing Agreement* process.
- 12. Mixed Use Covenant: Registration of a covenant on title that identifies the building as a mixed use building.
- 13. City Centre Impacts Covenant: Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
- 14. Commercial Noise Covenant: Registration of a commercial noise restrictive covenant on title addressing noise impacts generated by the internal uses from penetrating into residential areas that exceed noise levels allowed in the City's Noise Bylaw and that noise generated from rooftop equipment will comply with the City's Noise Bylaw.
- 15. Aircraft Noise Sensitive Development Covenant: Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise (Area 4) to the proposed dwelling units. Dwelling units must be designed and constructed to achieve:

a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

b) the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.

- 16. Noise Mitigation Report: Complete an acoustical and mechanical report and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- 17. Flood Covenant: Registration of a flood indemnity covenant on title.
- 18. Parking, Loading and Bicycle Storage Covenant: Registration of a legal agreement on title, ensuring:
 - a) The provision of shared visitor/commercial parking spaces in accordance with the DP and such spaces will be identified and will not be sold, leased, assigned, designated or allocated in any other manner to individual unit owners/renters/occupants or any other person. The shared parking spaces are to be available for use by customers of commercial/office units within the subject development during business hours and available for use at all times by both visitors of residents of residential units; and owners, tenants and employees of commercial units. The provision of any gates in the parkade are to remain open during business hours to allow access by customers of the commercial uses.

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- b) The provision of shared loading area in accordance with the DP and such area will be identified and will not be sold, leased, assigned, designated or allocated in any other manner to individual unit owners/renters/occupants or any other person.
 - c) The provision of shared bicycle storage areas designated as common property for the sole purpose of bicycle storage by residents of residential units; and owners, tenants and employees of commercial/office units. The conversion of bicycle storage area into habitable space is prohibited (e.g., other storage uses).
19. Electric Vehicle (EV) Charging Infrastructure for Vehicles Covenant: Registration of a legal agreement on title, securing the owner's commitment to voluntarily provide, install, and maintain EV charging infrastructure within the buildings on the subject site. More specifically, the minimum required rates for EV charging infrastructure shall be the greater of the following table or as per the Official Community Plan or Zoning Bylaw rates in effect at the time of Development Permit approval.

User/Use	Energized Outlet – Minimum Permitted Rates
	Vehicle Parking *
Market Residential (i.e. resident parking & bike storage)	(1 per parking space as per Zoning Bylaw)
Affordable Housing (i.e. resident parking & bike storage)	
Non-Residential (i.e. shared/tenant/employee parking & bike storage)	1 in 10 parking spaces

* “Vehicle Parking” “Energized Outlet” shall mean all the wiring, electrical equipment, and related infrastructure necessary to provide Level 2 charging (as per SAE International’s J1772 standard) or higher to an electric vehicle.

NOTE: Richmond’s Electric Vehicle Charging Infrastructure Bylaw provides that, where an electric vehicle energy management system is implemented, the Director of Engineering may specify a minimum performance standard to ensure a sufficient rate of electric vehicle charging. For the purposes of the Bylaw, electric vehicle energy management system means a system to control electric vehicle supply equipment electrical loads comprised of monitor(s), communications equipment, controller(s), timer(s), and other applicable devices.

20. Public Art:

- a) Registration of an agreement to facilitate the implementation of the City approved Public Art Plan which secures that “no occupancy” shall be permitted on the subject lands, restricting final Building Permit inspection granting occupancy of the building (exclusive of parking), in whole or in part, on the subject lands until:
 - i. The property owner, at the property owner’s sole cost and expense, commissions one or more artists to conceive, create, manufacture, design, and oversee or provide input about the manufacturing of the public artwork, in accordance with the City approved Public Art Plan and, as applicable, detailed Public Art Plan.
 - ii. A Public Art Plan has been submitted for the subject lands. A Letter of Credit or cash (as determined at the sole discretion of the City) will be secured.
 - iii. The agreement will secure the following:
 - (a) The property owner, at his/her expense and within thirty (30) days of the date on which the Public Art is installed, executes and delivers to the City a transfer of all of the developer’s rights, title and interest in the Public Art to the subsequent strata (including transfer of joint world-wide copyright) or as otherwise determined to be satisfactory by the City Solicitor and Director, Arts, Culture and Heritage Services.

NOTE: It is the understanding of the City that the artist’s title and interest in the public artwork will be transferred to the owner upon acceptance of the artwork based on an agreement solely between the owner and the artist and that these interests will in turn be transferred to the City, subject to approval by Council to accept the donation of the artwork.
 - (b) The property owner will maintain the Public Art in a good and workmanlike manner and in accordance with the final report referred to in (c) below and, without limiting the generality of the foregoing, will be responsible for all costs associated with the maintenance, cleaning, repair and replacement of the Public Art.
 - (c) The owner, at the owner’s sole cost and expense, submits a final report to the City promptly after completion of the installation of the Public Art in accordance with the City approved Public Art

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Plan. This report shall, to the satisfaction of the Director, Development and Director, Arts, Culture, and Heritage Services, include:

- Information regarding the siting of the Public Art, a brief biography of the artist(s), a statement from the artist(s) on the Public Art, and other such details as the Director, Development and Director, Arts, Culture, and Heritage Services may require.
- A statutory declaration, satisfactory to the City Solicitor, confirming that the owner's financial obligation(s) to the artist(s) have been fully satisfied.
- The maintenance plan for the Public Art prepared by the artist(s).
- Digital records (e.g., photographic images) of the Public Art, to the satisfaction of the Director, Development, and Director, Arts, Culture and Heritage Services.

iv. As an alternative to the provision on Public Art on-site, the owner may offer to make a voluntary cash contribution in lieu.

b) The developer shall submit a \$98,134.16 Letter of Credit to secure the implementation of the Detailed Public Art Plan.

21. **Child Care Fund Contribution:** City acceptance of the developer's offer to voluntarily contribute \$0.80 per buildable square foot (e.g. \$90,855.24) to the City's child care fund.

22. **Affordable Housing:** Registration of the City's standard Housing Agreement and Housing Covenant to secure 16 affordable housing units, the combined habitable floor area of which shall comprise at least 10% of the subject development's total residential building area. Occupants of the affordable housing units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces. Affordable Housing tenants shall not be charged any additional fees (e.g., parking fees, move in/move out fees). The terms of the Housing Agreements shall indicate that they apply in perpetuity and provide for the following:

Unit Type	Affordable Housing Strategy Requirements			Project Targets	
	Minimum Unit Area	Maximum Monthly Unit Rent*	Total Maximum Household Income*	Unit Mix	Number of Units**
Studio	37 m ² (400 ft ²)	\$811	\$ 34,650 or less	6.3%	1
1-Bedroom	50 m ² (535 ft ²)	\$975	\$ 38,250 or less	62.5%	10
2-Bedroom	69 m ² (741 ft ²)	\$1,218	\$ 46,800 or less	25.0%	4
3-Bedroom	91 m ² (980 ft ²)	\$1,480	\$ 58,050 or less	6.3%	1
Total	967.0 m² (10,409 ft²)	N/A	N/A	100%	16

* Denotes the council-approved rates as of July 24, 2017. Rates may be adjusted periodically as provided for under adopted City policy.

** 88% of affordable housing units meet Richmond Basic Universal Housing (BUH) standards.

23. **Tandem Parking Covenant:** Registration of a legal agreement on title ensuring that where two parking spaces are provided in a tandem arrangement both parking spaces must be assigned to the same dwelling unit.

24. **District Energy Utility (DEU):** Registration of a restrictive covenant and statutory right of way and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU) and granting the statutory right of way(s) necessary for supplying the DEU services to the building(s), which covenant and statutory right of way and/or legal agreement(s) will include, at minimum, the following terms and conditions:

- a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering.
- b) If a low carbon energy plant district energy utility (LCDEU) service area bylaw which applies to the site is adopted by Council prior to the issuance of the building permit for the subject site, no building permit will be issued for a building on the subject site unless:
 - i. the owner designs, to the satisfaction of the City and the City's DEU service provider, Lulu Island Energy Company Ltd. (LIEC), a low carbon energy plant to be constructed and installed on the site, with the capability to connect to and be serviced by a DEU; and
 - ii. the owner enters into an asset transfer agreement with the City and/or the City's DEU service provider on terms and conditions satisfactory to the City to transfer ownership of the low carbon energy plant to the City or as directed by the City, including to the City's DEU service provider, at no cost to the City or

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City's DEU service provider, LIEC, on a date prior to final building inspection permitting occupancy of the first building on the site. Such restrictive covenant and/or asset transfer agreement shall include a warranty from the owner with respect to the on-site DEU works (including the low carbon energy plant) and the provision by the owner of both warranty and deficiency security, all on terms and conditions satisfactory to the City;

- c) The owner agrees that the building(s) will connect to a DEU when a DEU is in operation, unless otherwise directed by the City and the City's DEU service provider, LIEC.
 - d) If a DEU is available for connection and the City has directed the owner to connect, no final building inspection permitting occupancy of a building will be granted unless, and until:
 - i. the building is connected to the DEU;
 - ii. the owner enters into a Service Provider Agreement for that building with the City and/or the City's DEU service provider, LIEC, prior to depositing any subdivision plan with LTO (including Air Space parcel subdivision and Strata Plan subdivision) and on terms and conditions satisfactory to the City; and
 - iii. prior to subdivision (including Air Space parcel subdivision and Strata Plan filing), the owner grants or acquires, and registers, all Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building.
 - e) If a DEU is not available for connection, but a LCDEU service area bylaw which applies to the site has been adopted by Council prior to the issuance of the building permit for the subject site, no final building inspection permitting occupancy of a building will be granted unless and until:
 - i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - ii. the building is connected to a low carbon energy plant supplied and installed by the owner, at the owner's sole cost, to provide heating, cooling and domestic hot water heating to the building(s), which energy plant will be designed, constructed and installed on the subject site to the satisfaction of the City and the City's service provider, LIEC;
 - iii. the owner transfers ownership of the low carbon energy plant on the subject site, to the City or as directed by the City, including to the City's DEU service provider, LIEC, at no cost to the City or City's DEU service provider, on terms and conditions satisfactory to the City;
 - iv. prior to depositing any subdivision plan with LTO (including Air Space parcel subdivision and Strata Plan subdivision), the owner enters into a Service Provider Agreement for the building with the City and/or the City's DEU service provider, LIEC, on terms and conditions satisfactory to the City; and
 - v. prior to subdivision (including Air Space parcel subdivision and Strata Plan filing), the owner grants or acquires, and registers, all additional Covenants, Statutory Right-of-Way(s) and/or easements necessary for supplying the services to the building and the operation of the low carbon energy plant by the City and/or the City's DEU service provider, LIEC.
 - f) If a DEU is not available for connection, and a LCDEU service area bylaw which applies to the site has not been adopted by Council prior to the issuance of the building permit for the subject site, no final building inspection permitting occupancy of a building will be granted until:
 - i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU; and
 - ii. the owner grants or acquires any additional Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building, registered prior to subdivision (including Air Space parcel subdivision and strata plan filing).
25. Servicing Agreement: Enter into a Servicing Agreement* for the design and construction of Engineering and Transportation works in accordance with Transportation Association of Canada (TAC) Specifications, City Engineering Design Specifications and applicable Bylaws to the satisfaction of the City. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:
- 25-I: Water Works:
- a) Using the OCP Model, there is 1304 L/s of water available at a 20 psi residual at the Westminster Highway frontage. Based on your proposed development, your site requires a minimum fire flow of 200 L/s.
 - b) At Developer's cost, the Developer is required to:

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- i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - ii. Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use.
 - iii. Provide a right-of-way for the water meter. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2o-SD) + 0.5 m on all sides. Exact right-of-way dimensions to be finalized via the servicing agreement process.
- c) At Developer's cost, the City will:
- i. Disconnect all existing water service connections prior to demolition of existing onsite structures. It is the developer's responsibility to coordinate with the City the required disconnections via the Demolition Permit process.
 - ii. Install a service connection and tie-in to the existing 300mm diameter water main at Westminster Highway frontage. The size and location of the service connection will be determined via the SA design process.
 - iii. Complete all proposed water tie-ins to existing City infrastructure.

25-II: Storm Sewer Works:

- a) At Developer's cost, the Developer is required to provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
- b) At Developer's cost, the City will:
 - i. Disconnect all existing drainage service connections prior to demolition of existing onsite structures. It is the developer's responsibility to coordinate with the City the required disconnections via the Demolition Permit process.
 - ii. Install a new service connection and tie-in to the existing box culvert at Westminster Highway frontage. Explore using one of the existing holes/tie-ins in the box culvert to facilitate tie-in of new service connection. The size and location of the service connection will be determined via the SA design process.
 - iii. Complete all proposed storm sewer tie-ins to existing City infrastructure.

25-III: Sanitary Sewer Works:

- a) At Developer's cost, the Developer is required to:
 - i. Not encroach in the existing City sanitary rights of ways along the south and east property lines of the proposed site.
 - ii. Register a new sanitary SRW that reflects contemporary language for utility SRWs and expands the SRW area to cover:
 - i. the rearmost 3.0 m of the subject site; and
 - ii. a width of 4.5 m (15 ft) along the rearmost 15.5 m (51 ft) of the east side of the site,
- b) At Developer's cost, the City will:
 - i. Disconnect all existing sanitary service connections prior to demolition of existing onsite structures. It is the developer's responsibility to coordinate with the City the required disconnections via the Demolition Permit process.
 - ii. Install a new service connection and tie-in to the existing sanitary manhole midway at the lane frontage. The size of the service connection will be determined via the SA design process.
 - iii. Complete all proposed sanitary tie-ins to existing City infrastructure.

25-VI: Frontage Improvements: (to be finalized through the servicing agreement review)

At a minimum the following is required:

- a) Along the Westminster Hwy site frontage, construct a new concrete sidewalk with extended walkway to curb. The new frontage works are to transition to meet the existing frontage treatments to the east and west of the

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subject site. The behind-the-curb frontage improvements are to have the following cross-section (measuring from the fronting property line of the site):

- i. Minimum 2.0m wide concrete sidewalk.
 - ii. Remaining area between sidewalk and existing curb to be hardscaped boulevard (permeable pavers in grey tones) and provide space for transit shelters, pedestrian circulation. Design to be in line with CCAP guidelines.
 - iii. Trees to be placed in in 1.2 m x 1.8 m tree grates and soil cells as directed by Parks.
 - iv. 0.15 m wide curb (existing).
- b) Along the laneway at the west property frontage, construct a new concrete sidewalk and roll over curb. The new sidewalk and curb is to transition to meet the new and existing frontage treatments to the north and south respectively of the subject site. Frontage improvements are to have the following cross-section (measuring from the fronting property line of the site):
- i. 1.5m wide concrete sidewalk
 - ii. 0.15m roll over curb
 - i. 7.5m paved road (see R-7-DS for details).
 - ii. The loading area for the garbage and recycling truck proposed parallel to the lane is to be added to the lane cross section in a SRW PROP area. The loading area is to be outside the 1.5m sidewalk.
- c) Reinstate/back-fill street signage and pavement marking affected by the frontage works.
- d) All existing driveways and pathways along the Westminster Hwy development frontage are to be closed permanently. The Developer is responsible for the removal of existing driveway let-downs and pathways and replaced with barrier curb/gutter, extended pedestrian space with street trees, and concrete sidewalk per standards described above.
- e) Consult Parks on the requirements for tree protection/placement including tree species and spacing as part of the frontage works.
- f) Consult Engineering on lighting and other utility requirements as part of the frontage works.
- g) All existing driveways along the frontage of the subject development are to be closed permanently. Vehicle access to the subject development is to be provided by a single driveway located in the laneway along the west property line, as south as possible.
- h) At Developer's cost, the Developer is required to:
- i. Coordinate with BC Hydro, Telus and other private communication service providers:
 - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - Before relocating/modifying any of the existing power poles and/or guy wires along the frontages and within the proposed site. Relocation of existing BC Hydro overhead lines and Shaw underground lines are required prior to preload or site preparation.
 - To underground overhead service lines.
 - ii. Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development and proposed undergrounding works, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:
 - BC Hydro Vista – confirm dimensions with BC Hydro.
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m

Initial: _____

- Telus FDH cabinet – 1.1 x 1.0 m
- iii. Review street lighting levels along all road and lane frontages, and upgrade as required.
- iv. Complete other frontage improvements as per Transportation requirements.

25-V: General Items:

- a) At Developer's cost, the Developer is required to:
- i. Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities (especially fronting the development site and provide mitigation recommendations.
 - ii. Provide a video inspection report of the existing sanitary lines along the south and east property lines prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection, complete with a civil engineer's signed and sealed recommendation letter, is required after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) to assess the condition of the existing utilities and provide recommendations to retain, replace, or repair. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced or repaired at the Developer's cost.
 - iii. Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
 - iv. Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
 - v. Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage groundwater onsite or by removing and disposing at an appropriate facility. If this is not feasible, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of groundwater, the Developer will be required to enter into a de-watering agreement with the City wherein the developer will be required to treat the groundwater before discharging it to the City's storm sewer system.
 - vi. Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures.
 - vii. Coordinate the servicing agreement design for this development with the servicing agreement(s) for the adjacent development(s), both existing and in-stream. The developer's civil engineer shall submit a signed and sealed letter with each servicing agreement submission confirming that they have coordinated with civil engineer(s) of the adjacent project(s) and that the servicing agreement designs are consistent. The City will not accept the 1st submission if it is not coordinated with the adjacent developments. The coordination letter should cover, but not be limited to, the following:
 - Corridors for City utilities (existing and proposed water, storm sewer, sanitary and DEU) and private utilities.
 - Pipe sizes, material and slopes.
 - Location of manholes and fire hydrants.
 - Road grades, high points and low points.
 - Alignment of ultimate and interim curbs.
 - Proposed street lights design.
 - viii. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
 - ix. Traffic signal upgrades at No. 3 Rd/Westminster Hwy to include traffic signal design and installation of traffic cabinet and components, UPS cabinet and LED street light luminaires.

Initial: _____

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 26. Construction Parking and Traffic Management Plan: Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570. (<http://www.richmond.ca/services/ttp/special.htm>).
- 27. Development Permit: Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Development Permit process.
- 28. Aircraft Noise Sensitive Development: Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
 - a) Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels
 - b) Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
- 29. Construction Hoarding: Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
- 30. Solid Waste Pick-Up Signage: Incorporation of signage, located in the area around the solid waste service area and to the attention of "ALL GARBAGE AND RECYCLING TRUCKS TO SERVICE IN THIS AREA", in Building Permit (BP) plans that indicate the dimensions (width, length & height) of the service area.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.



No. DP 19-878817

To the Holder: 1176782 B C Ltd

Property Address: 8100, 8120 & 8180 WESTMINSTER HIGHWAY

Address: 215-10451 SHELLBRIDGE WAY, RICHMOND BC V6X 2W8
(C/O DORSET REALTY GROUP)

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) reduce the front yard setback to Westminster Hwy from 3.0 m to 0.0 m (10 ft to 0 ft) inclusive of buildings and canopies.
 - b) apply the City Centre parking rate to the subject site.
3. Subject to Section 490 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #47 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$725,949.95 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 19-878817

To the Holder: 1176782 B C Ltd
Property Address: 8100, 8120 & 8180 Westminster Highway
Address: 215-10451 SHELLBRIDGE WAY, RICHMOND BC V6X 2W8
(C/O DORSET REALTY GROUP)

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

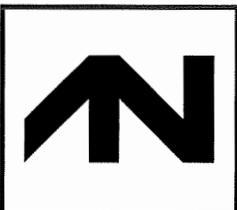
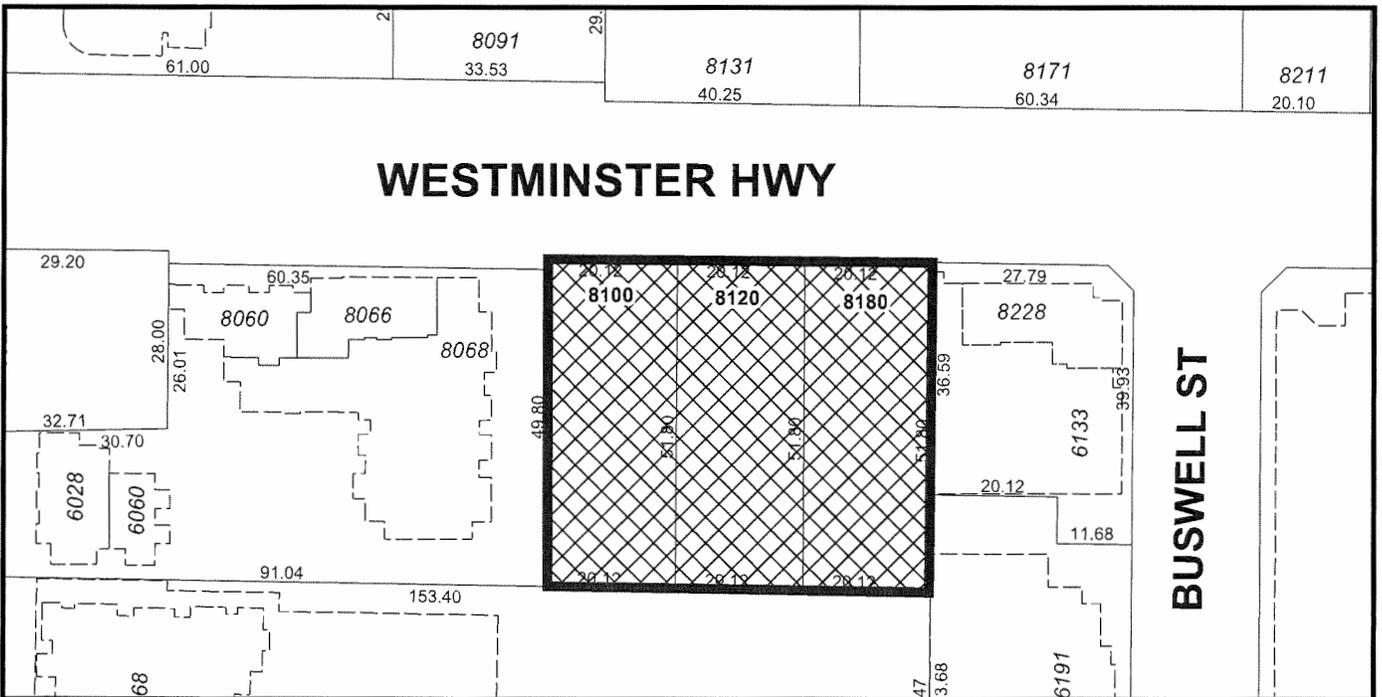
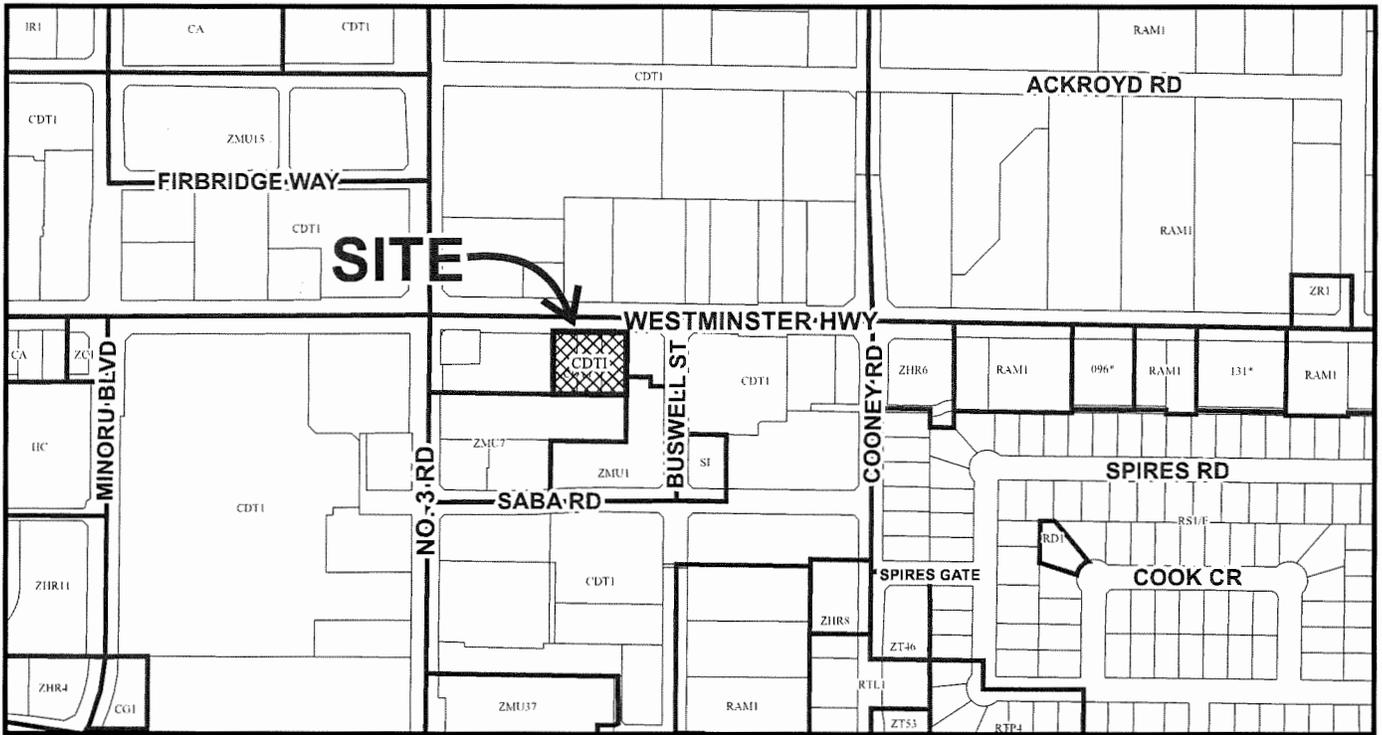
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



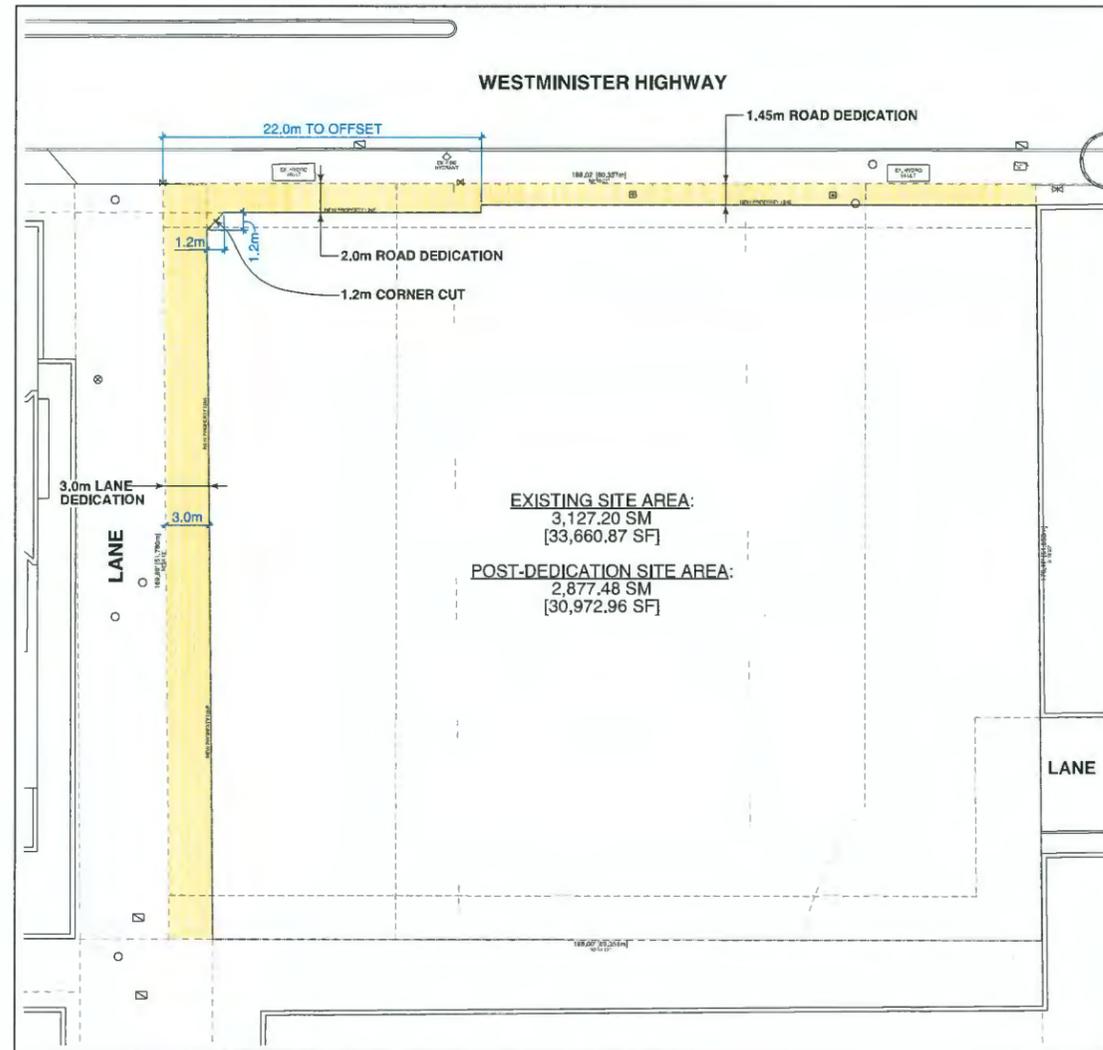
DP 19-878817 SCHEDULE "A"

Original Date: 12/05/19

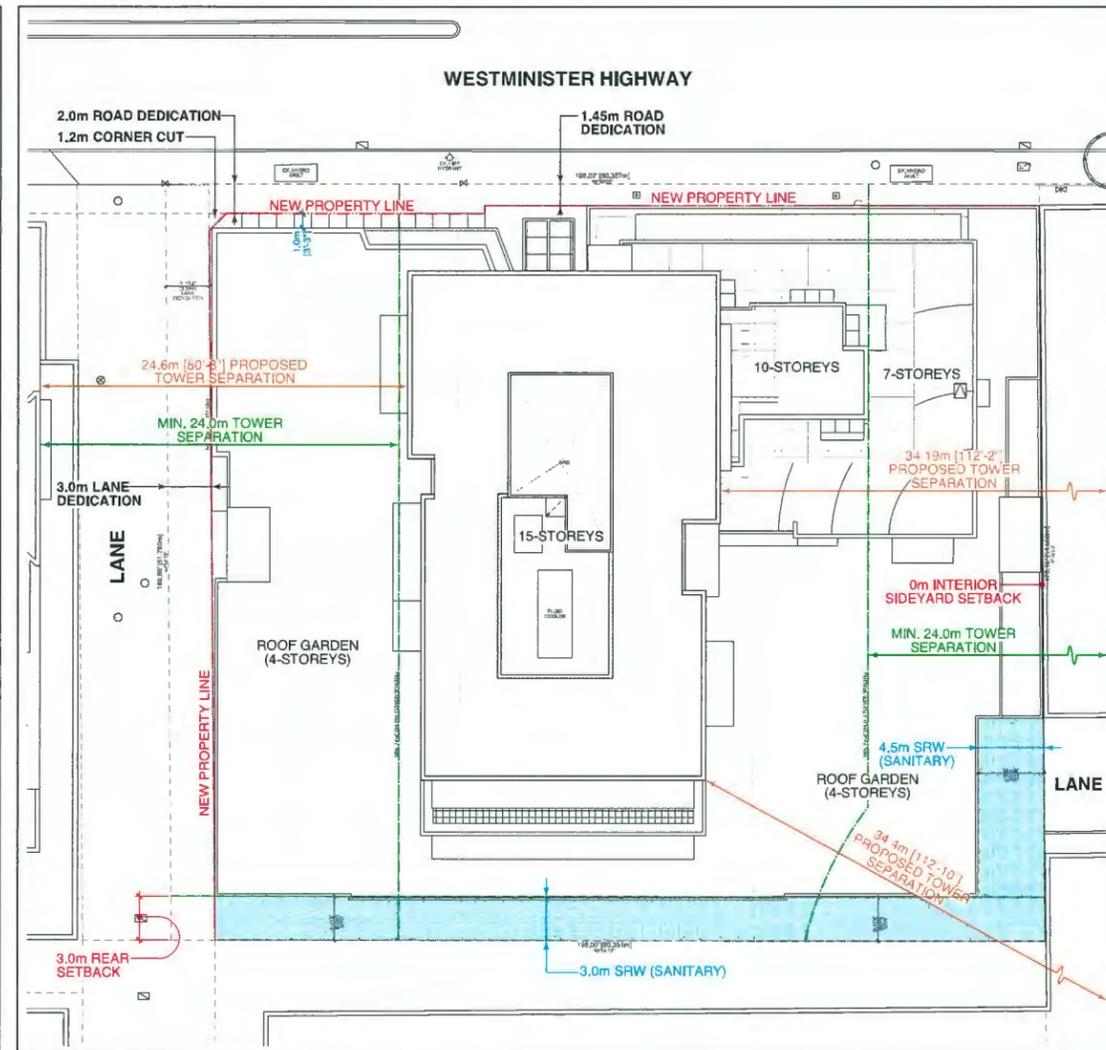
Revision Date:

Note: Dimensions are in METRES

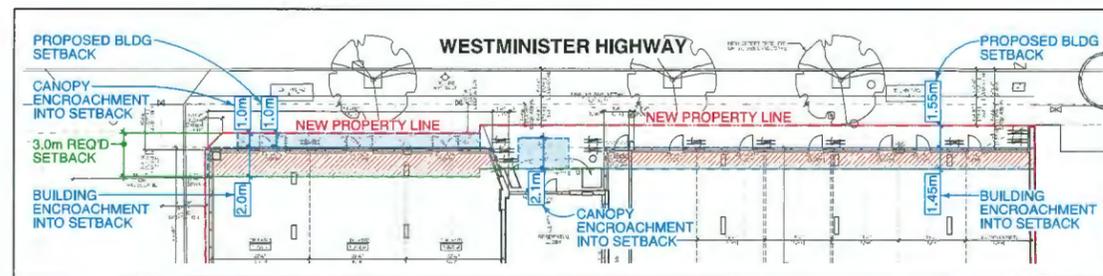
ISSUE/REVISION	DATE	DESCRIPTION
1	2019-11-21	ISSUED FOR DP
2	2020-10-07	RE-DESIGNED FOR DP
3	2021-04-07	RE-DESIGNED FOR DP
4	2021-08-11	RE-DESIGNED FOR DP
5	2021-08-29	RE-DESIGNED FOR DP



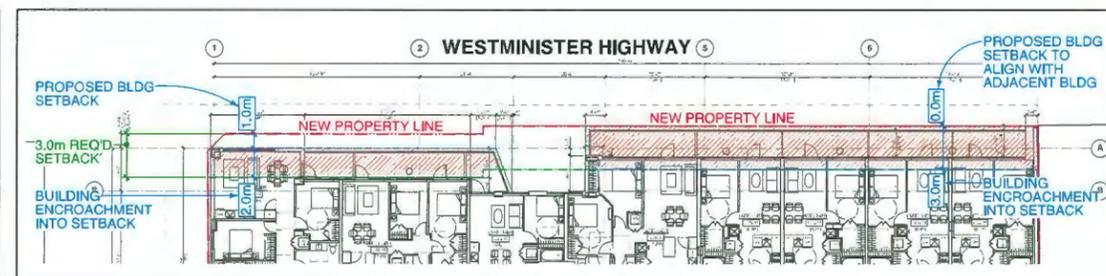
1 ROAD / LANE DEDICATION DIAGRAM
1/16" = 1'-0"



2 SRW / SETBACKS / TOWER SEPARATIONS DIAGRAM
1/16" = 1'-0"



3 FRONT SETBACK & ENCROACHMENT DIAGRAM - GRD & 2nd FLOORS
1/16" = 1'-0"



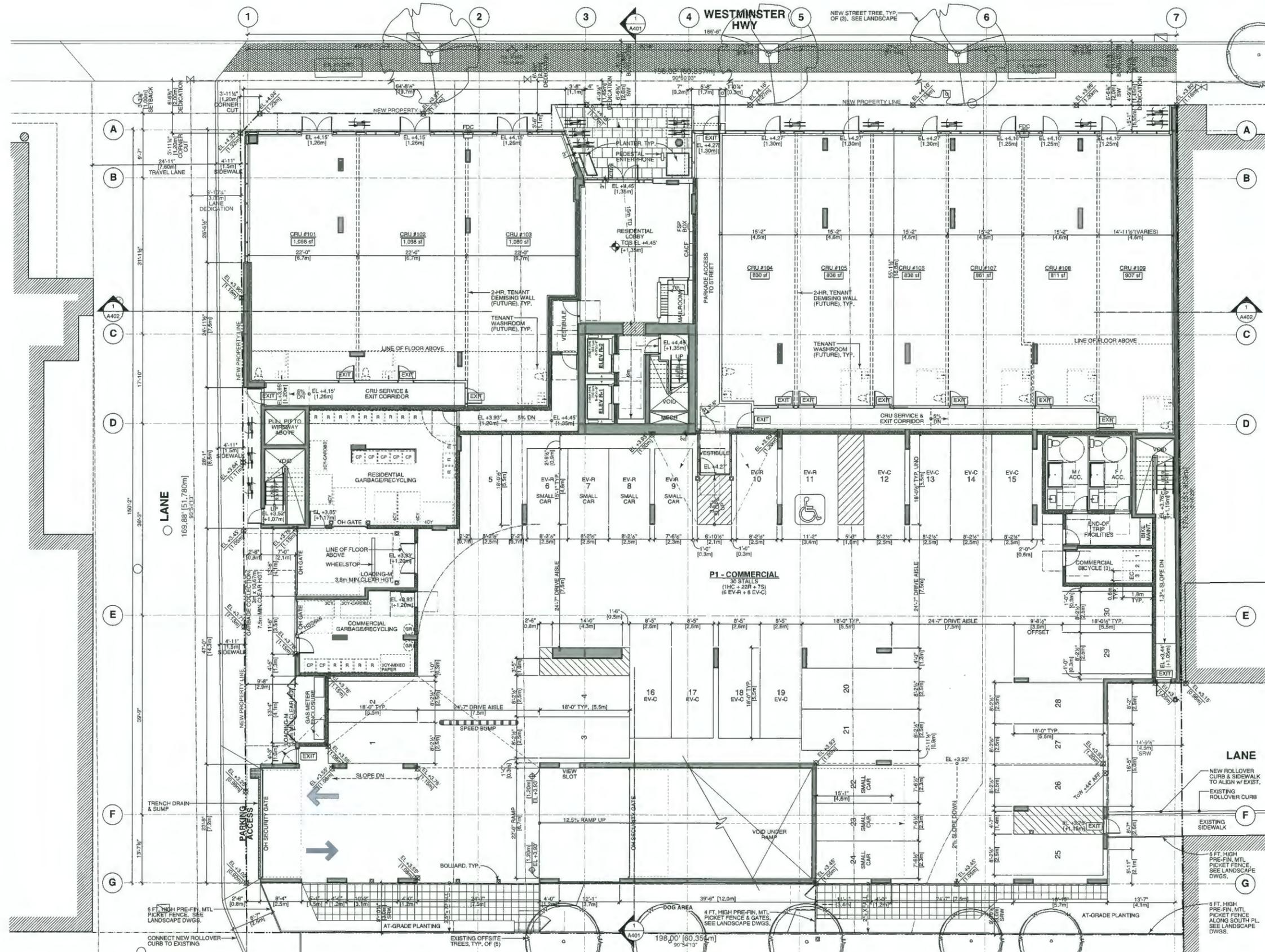
4 FRONT SETBACK & ENCROACHMENT DIAGRAM - 3rd & 4th FLOORS
1/16" = 1'-0"

SITE DEFINITION DIAGRAMS

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

JOB NO. 18-09
DRAWN BY KT
DATE 03 AUG 2021
SCALE 1/16" = 1'-0"
CHECKED WTL
DRAWING NO. #1b

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Vancouver, British Columbia • Canada V5Z 1K3
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REVISION

1	2018-11-21	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-04-11	RE-ISSUED FOR DP
5	2021-04-28	RE-ISSUED FOR DP

PROJECT
8100-8180 WESTMINSTER HWY DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

GROUND FLOOR / P1 FLOOR PLAN

JOB NO. 18-09

DRAWN KT

DATE 03 AUG 2021

SCALE 1/8" = 1'-0"

CHECKED WTL

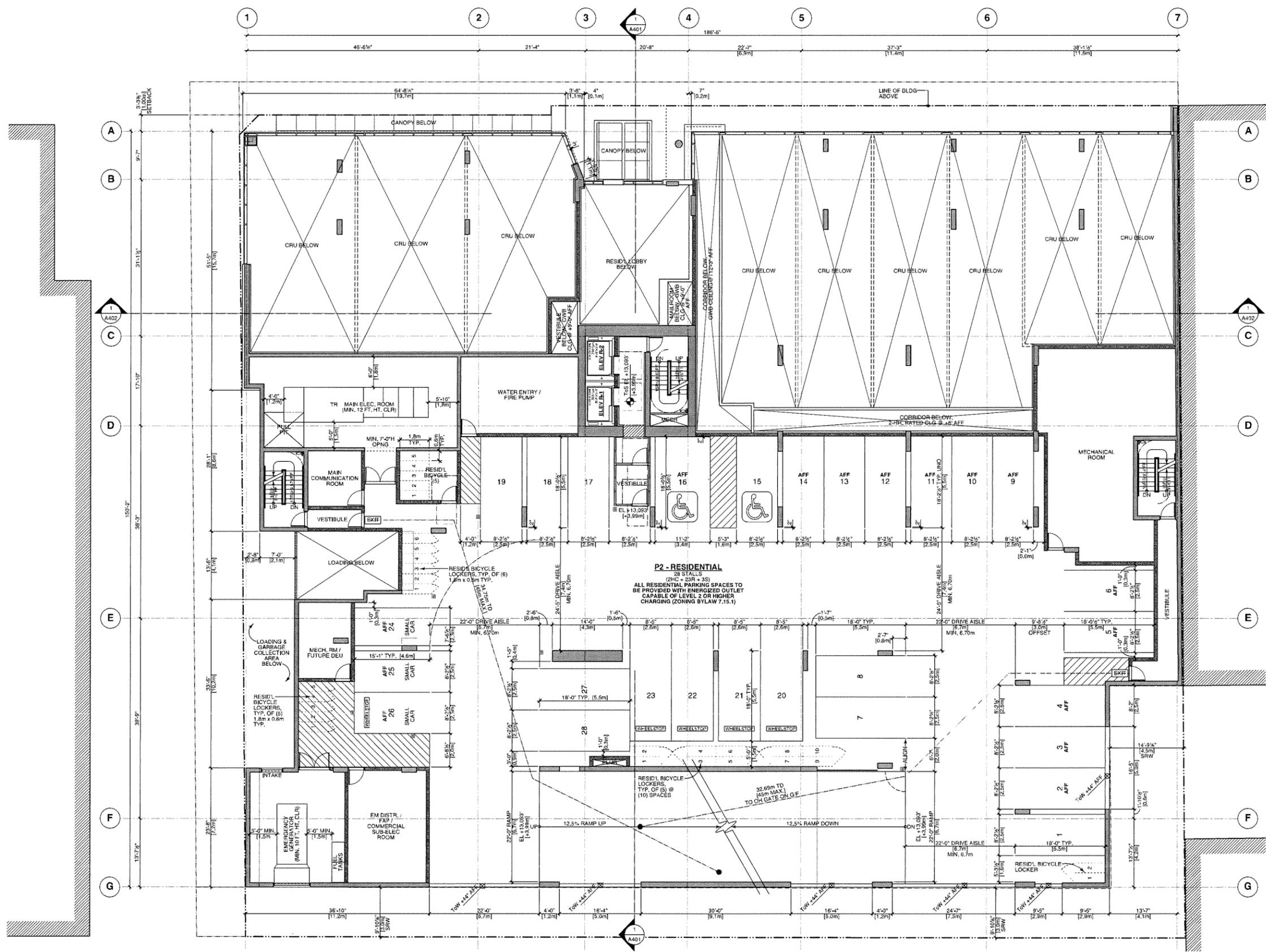
DRAWING NO. 18-09-01

Plan #2

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Vancouver, British Columbia • Canada V5Z 1K3
Telephone: 604 736-2711, Facsimile: 604 736-2991

REVISION

1	2015-12-21	ISSUED FOR CP
2	2020-10-07	RE-DESIGNED FOR CP
3	2021-04-07	RE-DESIGNED FOR CP
4	2021-04-29	RE-DESIGNED FOR CP
5	2021-04-29	RE-DESIGNED FOR CP



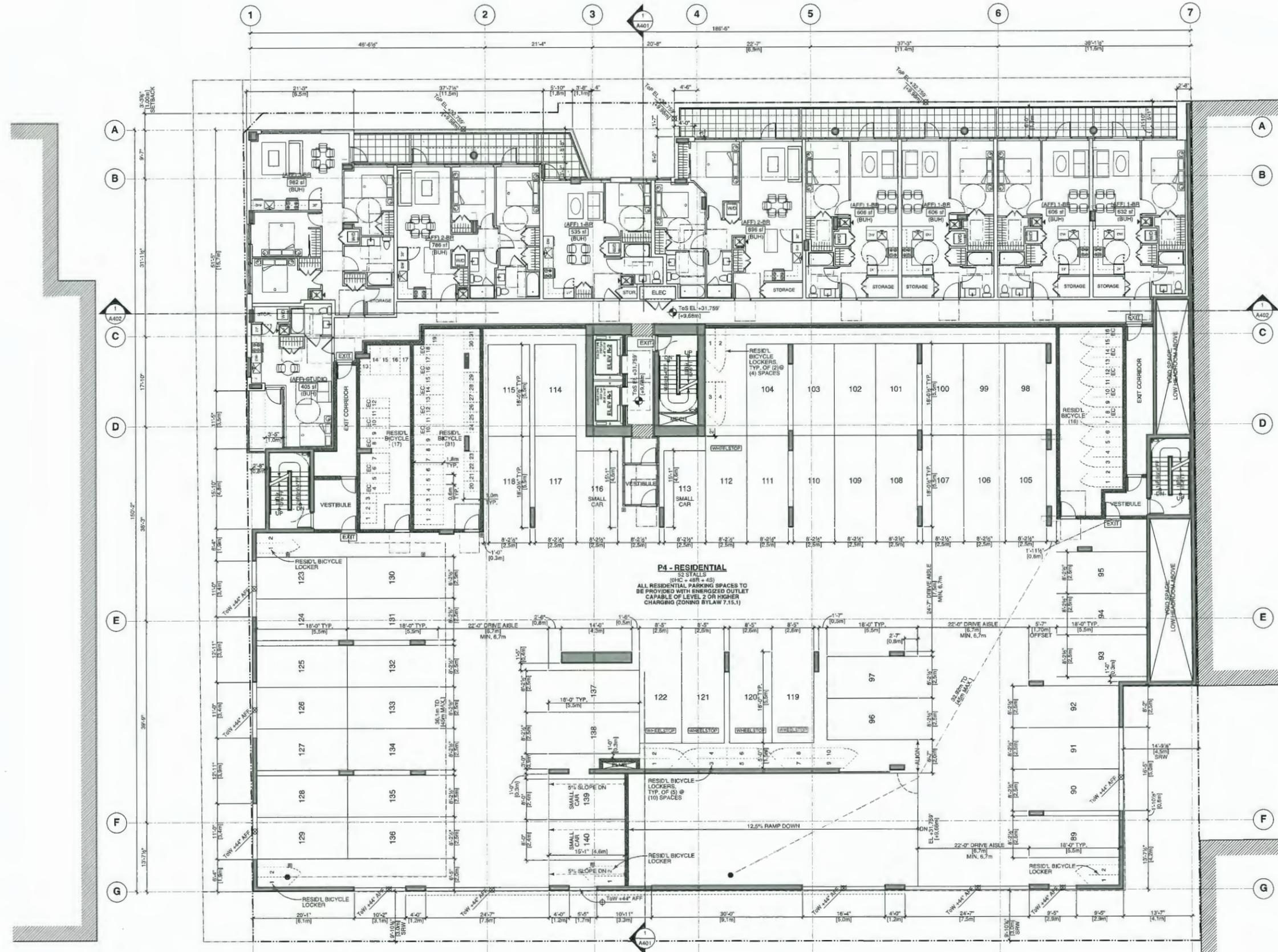
PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

PARKING P2
FLOOR PLAN

JOB NO. 18-09
DRAWN KT
DATE 03 AUG 2021
SCALE 1/8" = 1'-0"
CHECKED WTL
DRAWING NO. #25

Plan #3

REVISION	DATE	BY	DESCRIPTION
1	2018-11-21	WTL	ISSUED FOR CP
2	2020-04-07	WTL	RE-ISSUED FOR CP
3	2021-04-07	WTL	RE-ISSUED FOR CP
4	2021-06-11	WTL	RE-ISSUED FOR CP
5	2021-06-29	WTL	RE-ISSUED FOR CP



PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

4th FLOOR /
P4 FLOOR PLAN

JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
CHECKED	WTL
DRAWING NO.	#20

Plan #5

REVISION

1	2018-12-21	REVISED FOR CP
2	2020-03-07	REVISED FOR DP
3	2021-04-07	REVISED FOR DP
4	2021-08-11	REVISED FOR DP
5	2021-08-29	REVISED FOR DP

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

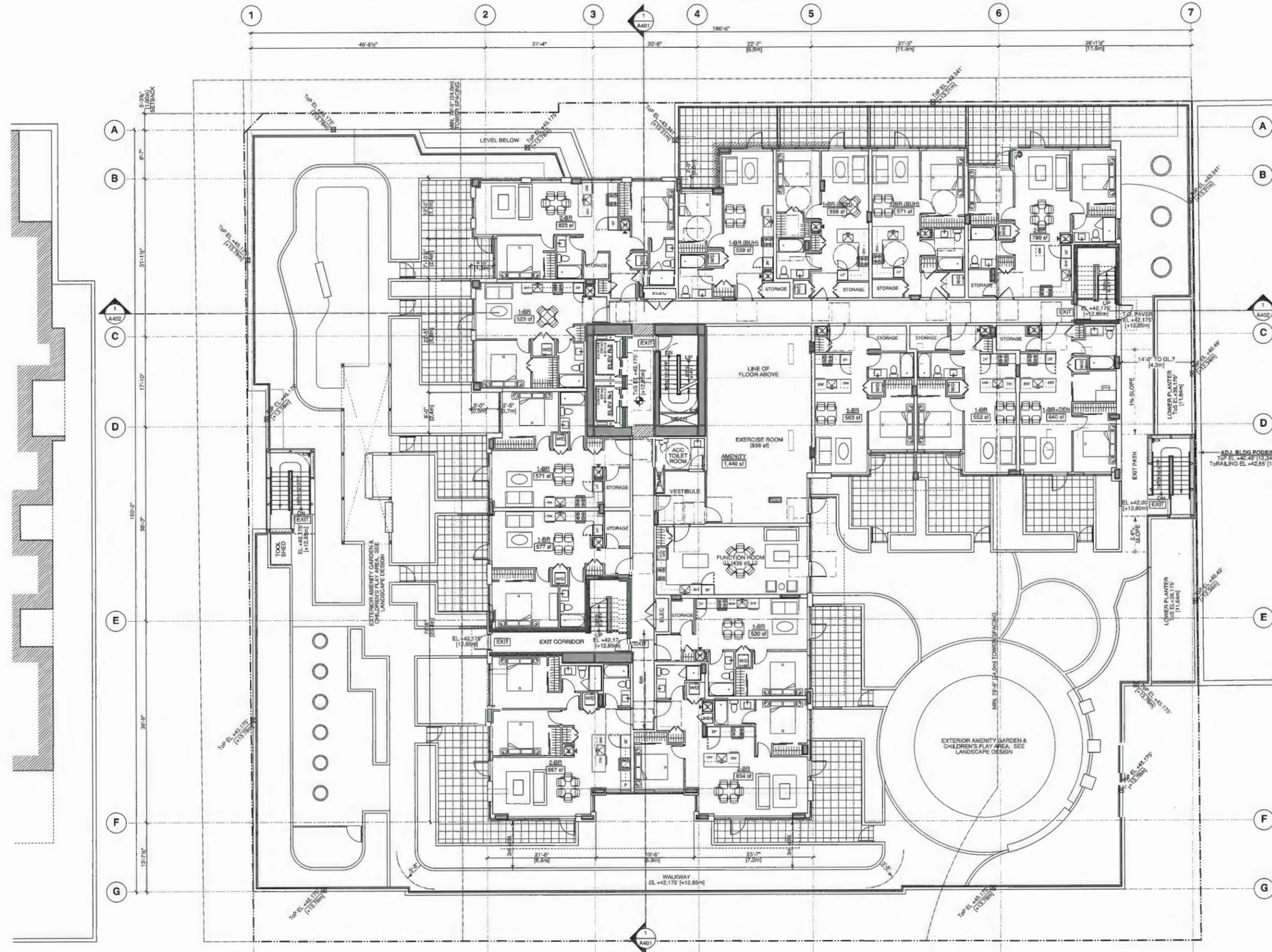
5th FLOOR PLAN



JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
CHECKED	WTL

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Plan #6



REVISION	DATE	BY
1	2018-11-01	DESIGNED FOR DP
2	2020-10-07	RE-DESIGNED FOR DP
3	2021-04-07	RE-DESIGNED FOR DP
4	2021-04-11	RE-DESIGNED FOR DP
5	2021-04-28	RE-DESIGNED FOR DP

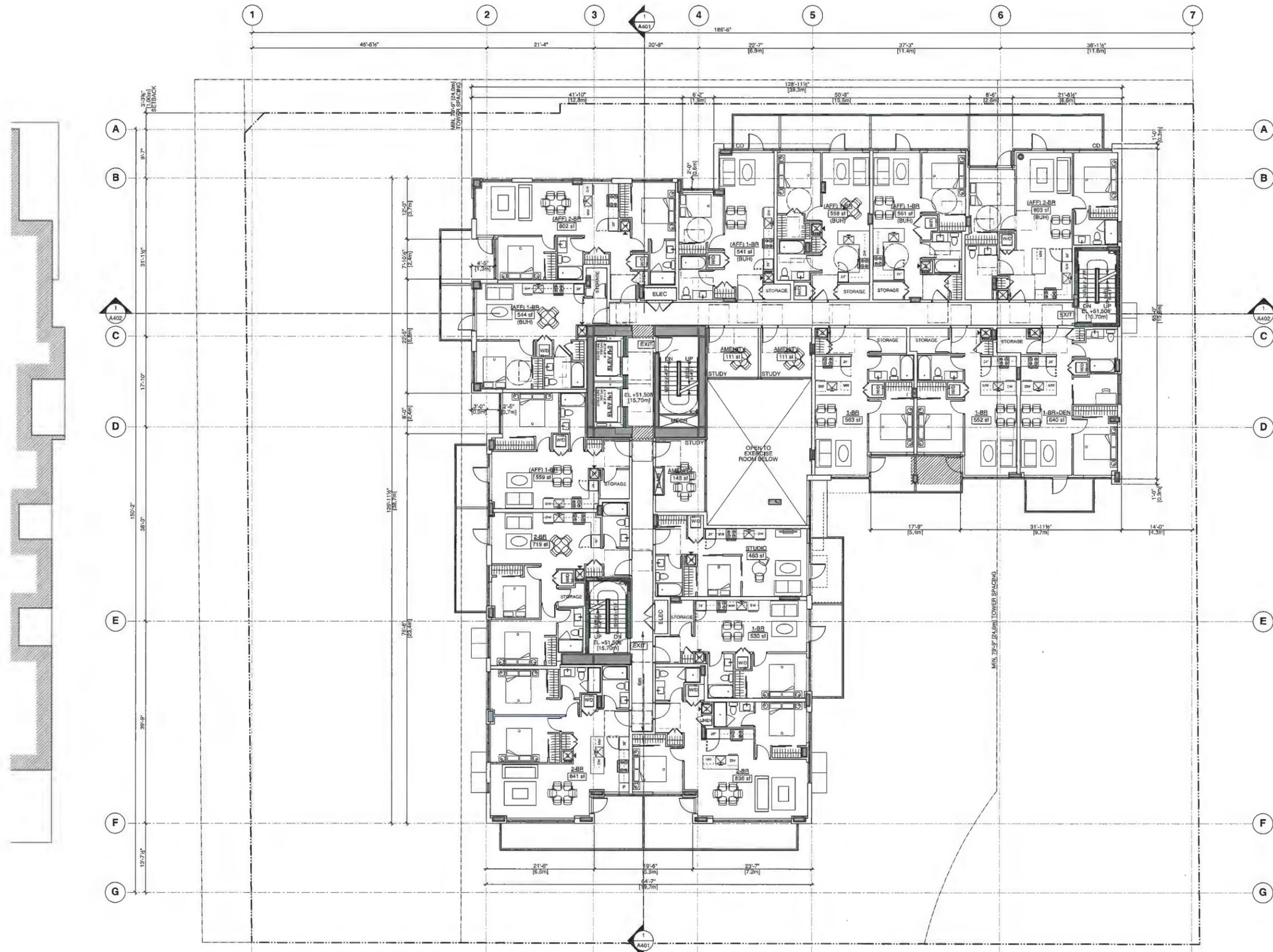
PROJECT
**8100-8180 WESTMINSTER HWY
DP 19-878817**
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

6th FLOOR PLAN



JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
CHECKED	WTL
DESIGNED BY	

Plan #7



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Telephone: 604-736-9711, Facsimile: 604-736-7391

REVISION

1	2018-11-21	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-04-11	RE-ISSUED FOR DP
5	2021-04-28	RE-ISSUED FOR DP

PROJECT
**8100-8180
WESTMINSTER HWY
DP 19-878817**
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

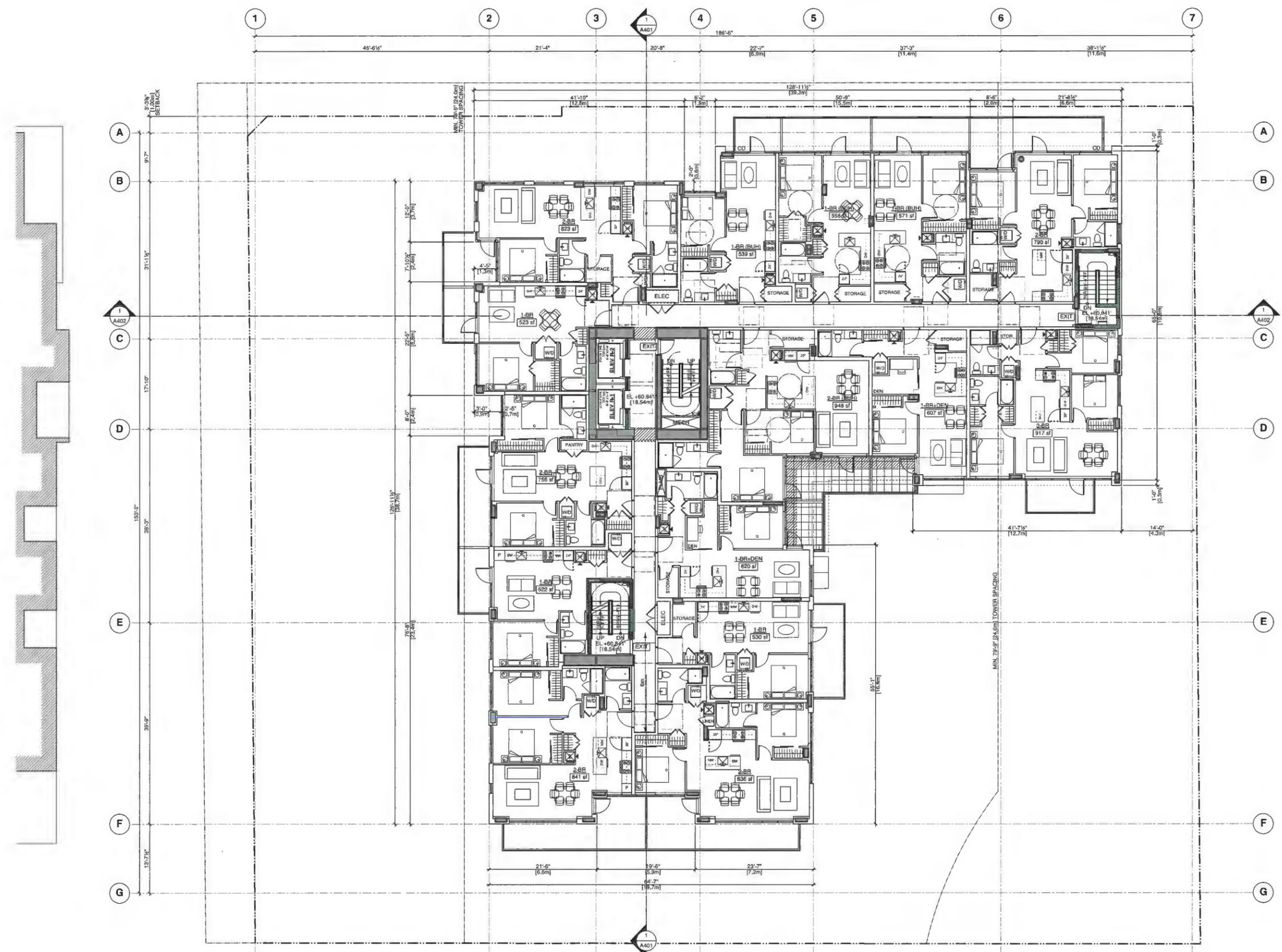
**7th FLOOR
PLAN**



JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
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Plan #8



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REVISION	DATE	BY	DESCRIPTION
1	2018-11-21	KS	ISSUED FOR CP
2	2020-06-07	RE	ISSUED FOR DP
3	2021-04-07	RE	ISSUED FOR DP
4	2021-04-11	RE	ISSUED FOR DP
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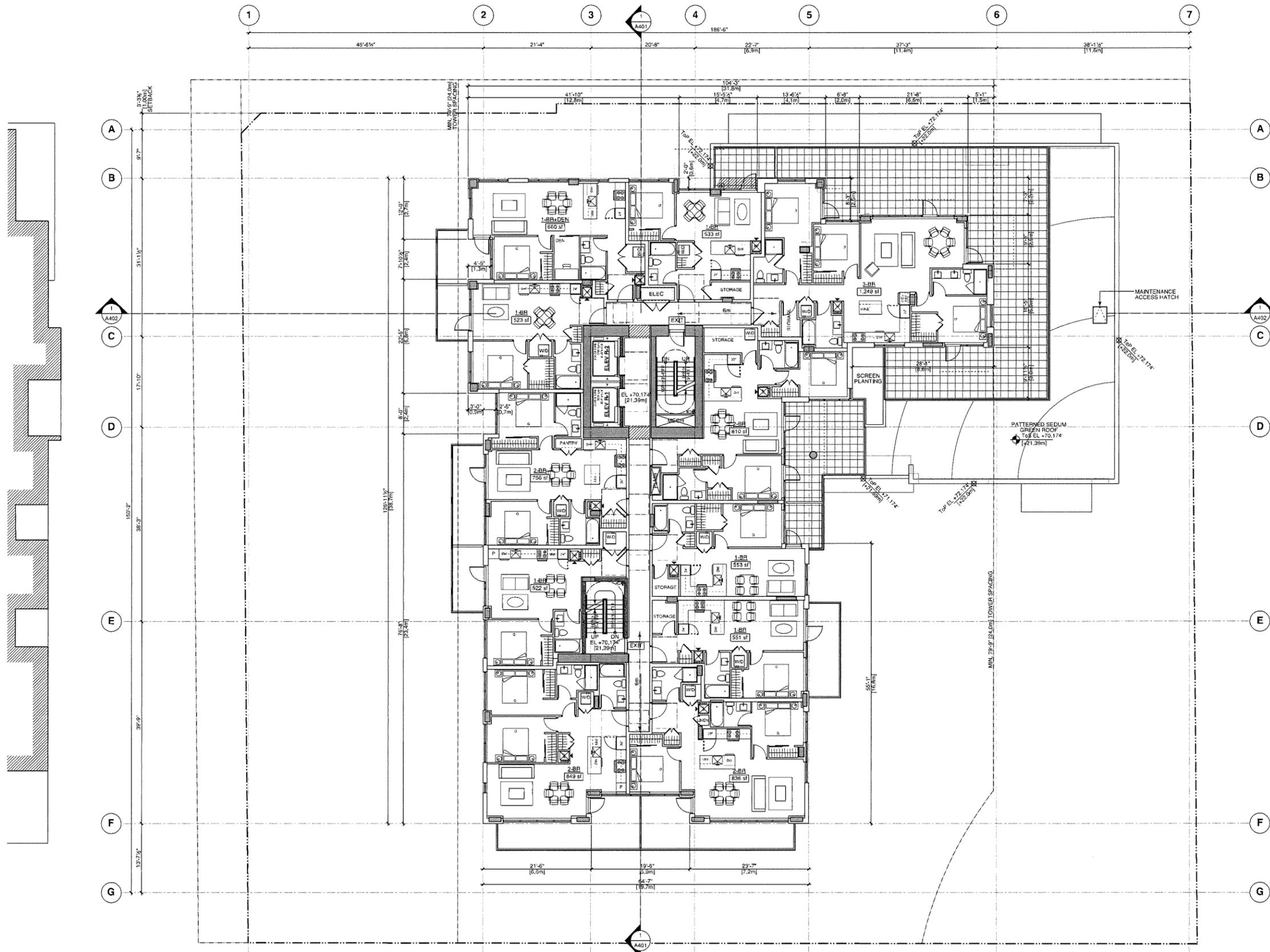
PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

8th FLOOR
PLAN



JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
CHECKED	WTL
DRAWING NO.	#2h

Plan #9



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REVISION

1	2018-11-21	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-04-11	RE-ISSUED FOR DP
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PROJECT

8100-8180
WESTMINSTER HWY
DP 19-878817

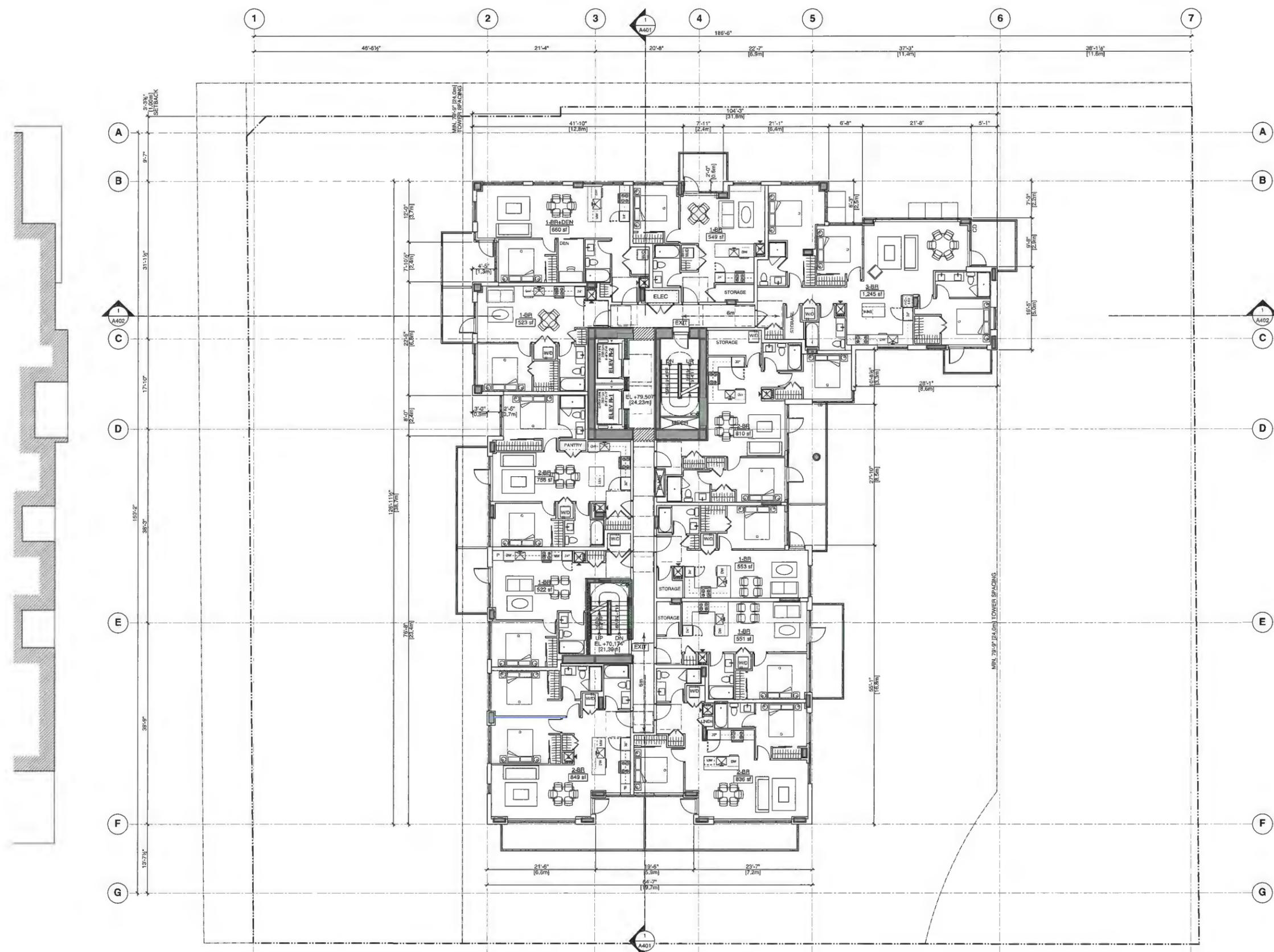
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

9th FLOOR
PLAN



JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
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Plan #10



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ISSUE/REVISION

1	2018-11-21	ISSUED FOR DP
2	2020-10-27	RE-DESIGNED FOR DP
3	2021-04-07	RE-DESIGNED FOR DP
4	2021-08-11	RE-DESIGNED FOR DP
5	2021-08-29	RE-DESIGNED FOR DP

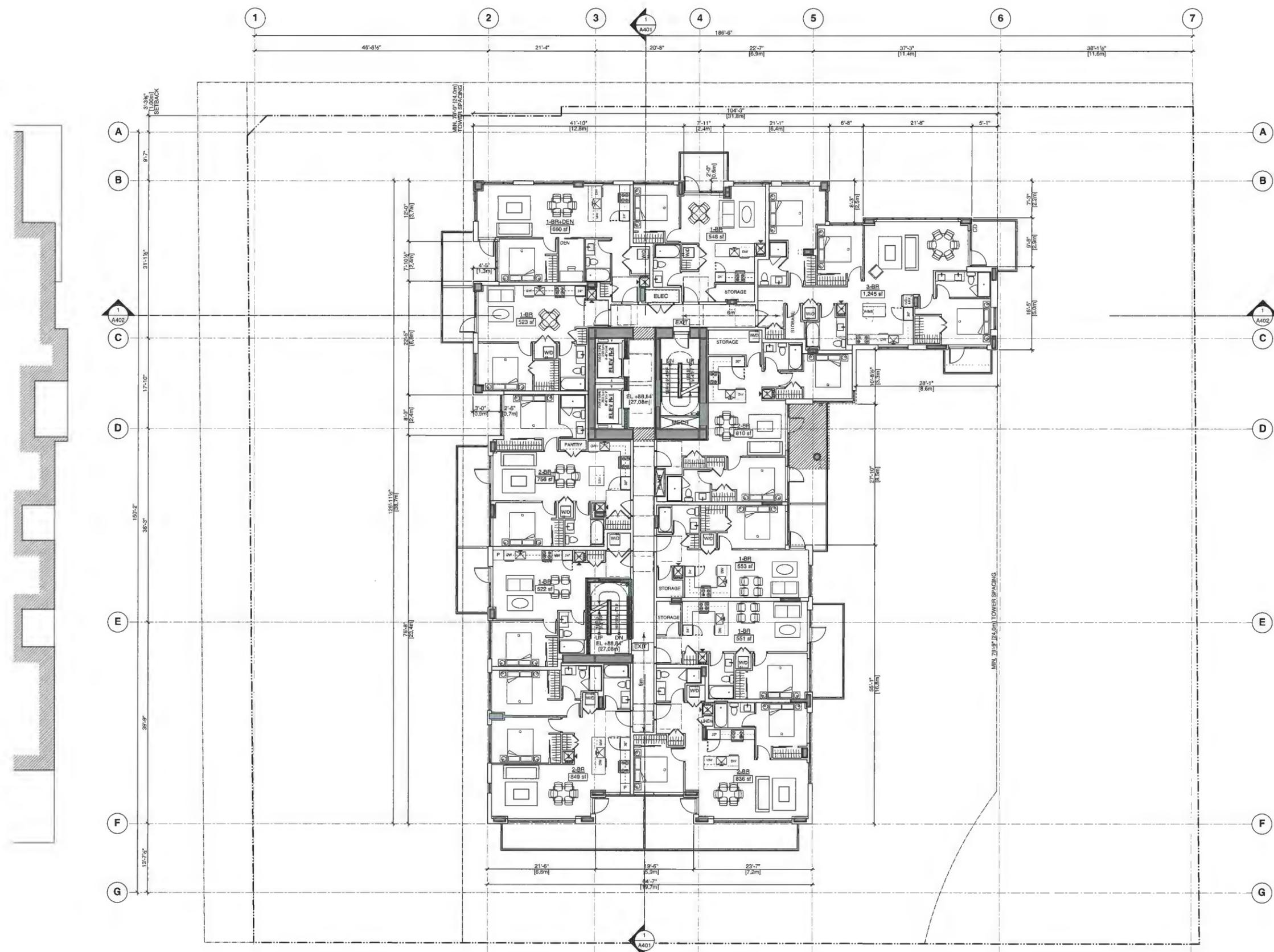
PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

10th FLOOR
PLAN



JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
CHECKED	WTL
DRAWING NO.	#11

Plan #11



REVISION	
1	2018-11-21 ISSUED FOR DP
2	2020-10-07 RE-ISSUED FOR DP
3	2021-04-07 RE-ISSUED FOR DP
4	2021-06-11 RE-ISSUED FOR DP
5	2021-06-29 RE-ISSUED FOR DP

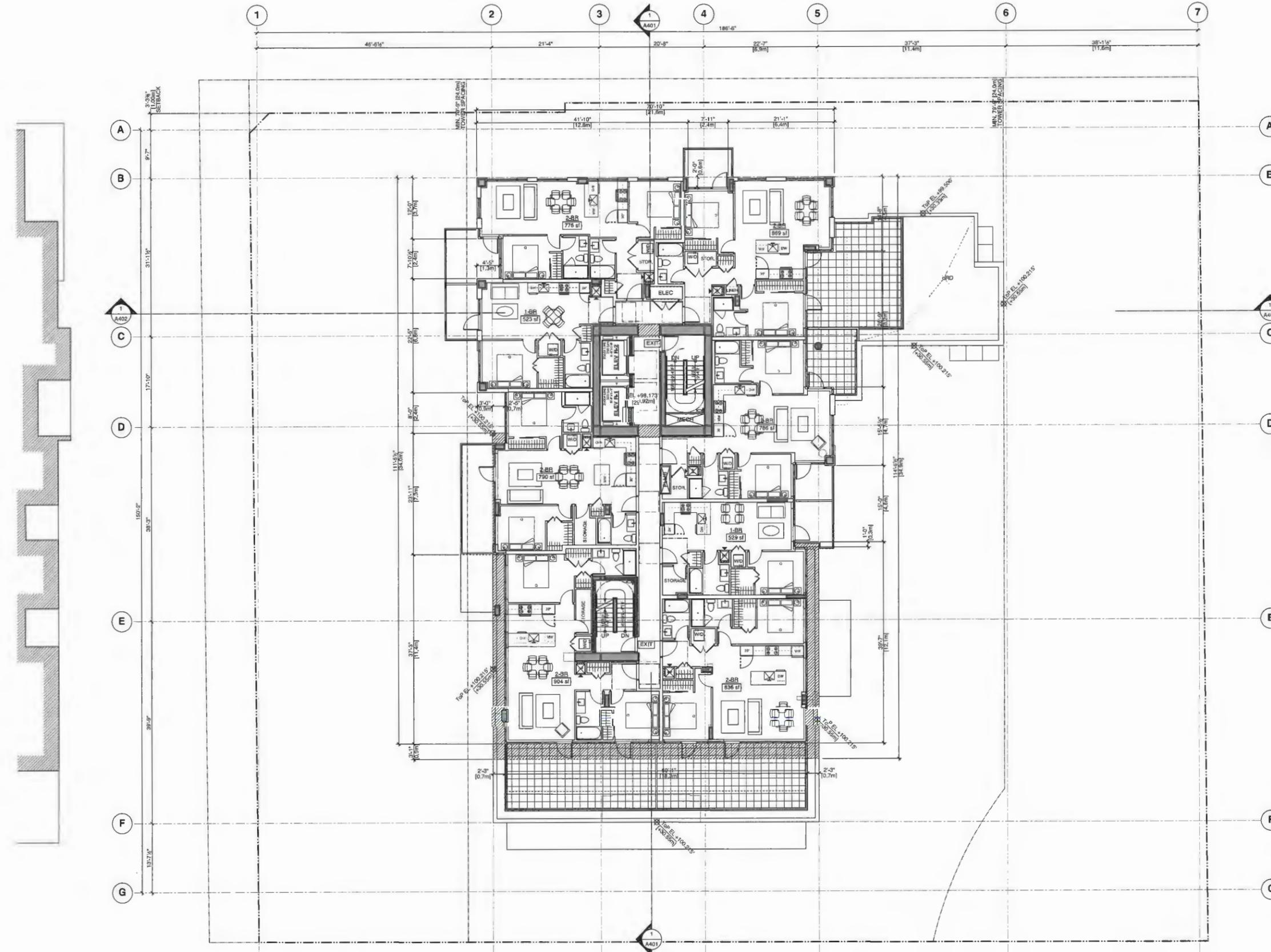
PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

11th FLOOR
PLAN



JOB NO. 18-09
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Plan #12



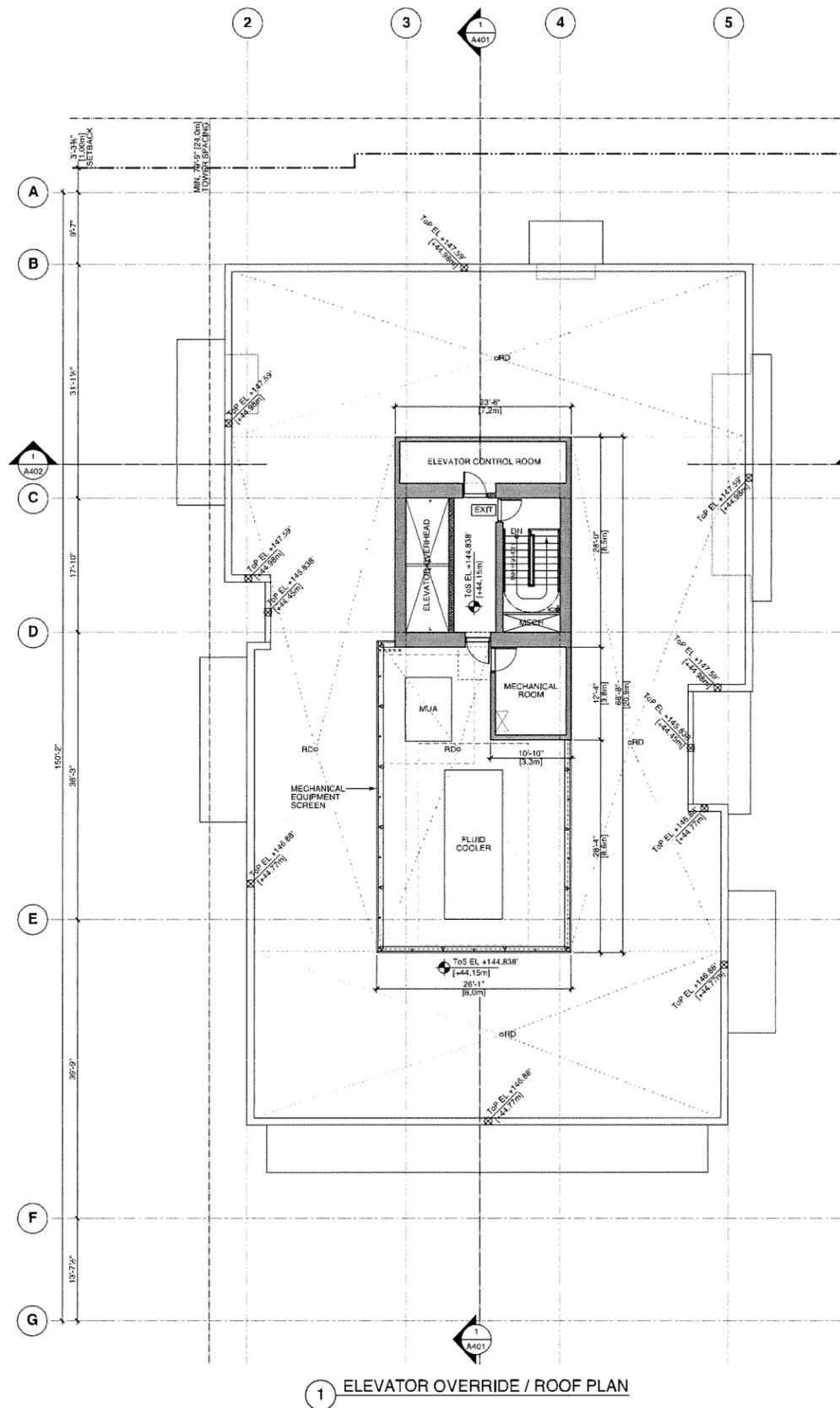
REVISION	DATE	BY	DESCRIPTION
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2	2020-06-07	WTL	REVISED FOR DP
3	2021-04-07	WTL	REVISED FOR DP
4	2021-06-11	WTL	REVISED FOR DP
5	2021-06-28	WTL	REVISED FOR DP

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

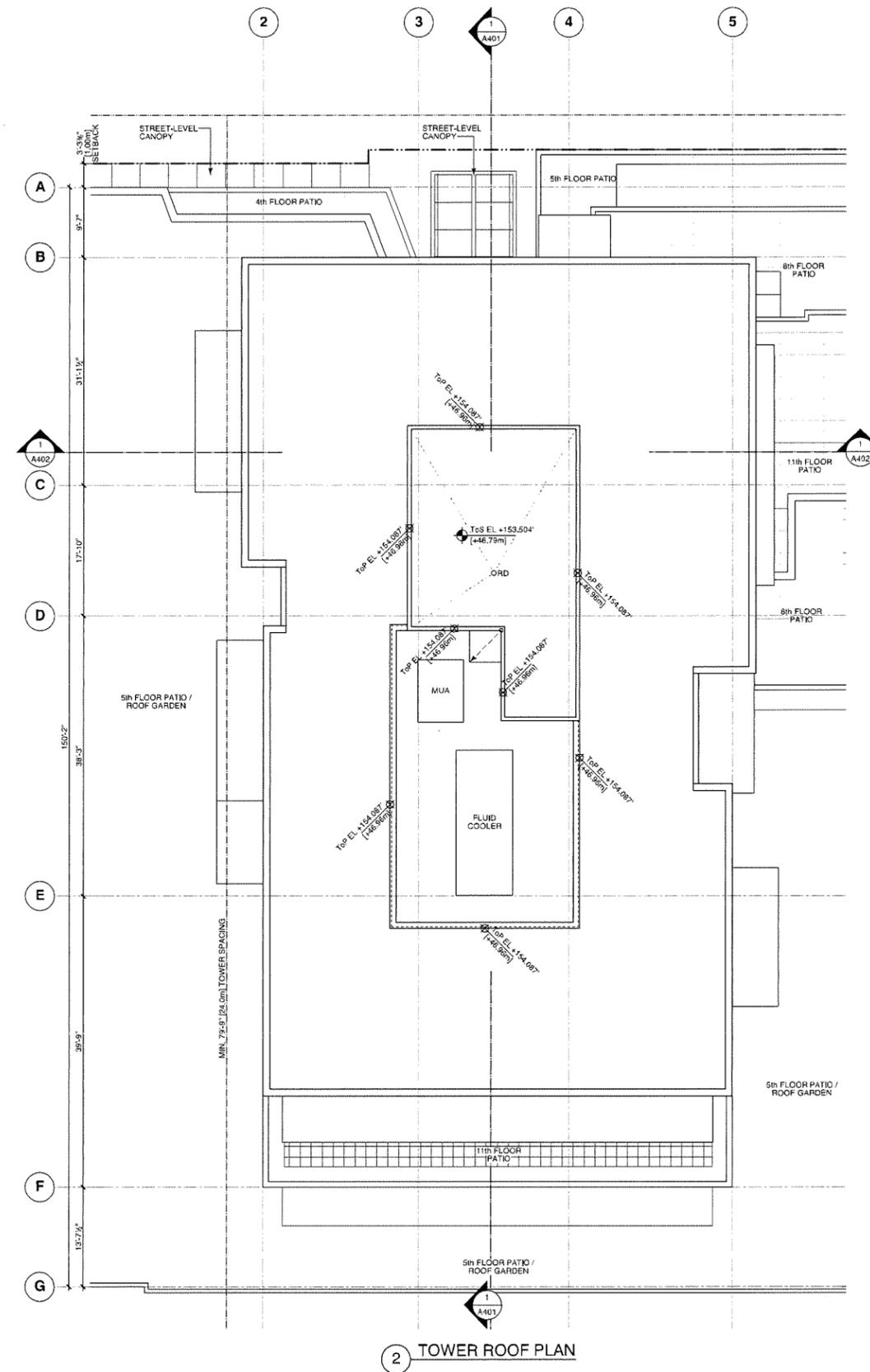
ROOF PLANS



JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
CHECKED	WTL
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1 ELEVATOR OVERRIDE / ROOF PLAN



2 TOWER ROOF PLAN

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Telephone: 604-736-9711, Facsimile: 604-736-7991



DATE/REVISION

1	2018-11-21	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-04-11	RE-ISSUED FOR DP
5	2021-04-28	RE-ISSUED FOR DP

FINISH MATERIAL LEGEND

1A	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 7020 "BRICK RED" - SMOOTH
1B	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 7020 "BRICK RED" - GROOVED
2	TERRA COTTA RAINSCREEN TONALITY SQUARE BRISE SOLEIL "BRICK RED"
3	FIBRE CEMENT RAINSCREEN CLADDING: EQUITONE (TECTIVA) TE90
4	FIBRE CEMENT RAINSCREEN CLADDING: EQUITONE (TECTIVA) TE20
5	PRE-FINISHED ALUMINUM WINDOW WALL: STANDARD SILVER
6	PRE-FINISHED ALUMINUM WINDOW WALL: IRON MOUNTAIN GREY
7A	PRE-FINISHED ALUMINUM CURTAIN WALL: IRON MOUNTAIN GREY
7B	PRE-FINISHED ALUMINUM CURTAIN WALL: STANDARD SILVER
8	PRE-FINISHED ALUMINUM & GLASS RAILING
9	CONTINUOUS LOUVRE SYSTEM: RENSON I-LINUS
10	EXPANDED METAL MESH SCREEN: STANDARD SILVER
11	PRE-FINISHED ALUMINUM GRILLE: COLOUR TO MATCH ADJACENT SURFACE
12	PAINTED ARCHITECTURAL CONCRETE (ELASTOMERIC COATING)
13	STEEL & GLASS CANOPY
14	PRE-FIN. PICKET FENCE

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100-8180 WESTMINSTER HWY
RICHMOND, BC

NORTH ELEVATION
(WESTMINSTER HWY)

JOB NO. 18-09
DRAWN KT
DATE 03 AUG 2021
SCALE 1/8" = 1'-0"
CHECKED
DRAWING NO. 18-09-01

Plan #16

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ISSUE/REVISION

1	2019-11-21	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-04-11	RE-ISSUED FOR DP
5	2021-08-29	RE-ISSUED FOR DP

FINISH MATERIAL LEGEND

1A	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 7020 "BRICK RED" - SMOOTH
1B	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 7020 "BRICK RED" - GROOVED
2	TERRA COTTA SUNSCREEN: TONALITY SQUARE BRICK SOLEL "BRICK RED"
3	FIBRE CEMENT RAINSCREEN CLADDING: EQUITONE (TECTIVA) T90
4	FIBRE CEMENT RAINSCREEN CLADDING: EQUITONE (TECTIVA) T20
5	PRE-FINISHED ALUMINUM WINDOW WALL - STANDARD SILVER
6	PRE-FINISHED ALUMINUM WINDOW WALL - IRON MOUNTAIN GREY
7A	PRE-FINISHED ALUMINUM CURTAIN WALL - IRON MOUNTAIN GREY
7B	PRE-FINISHED ALUMINUM CURTAIN WALL - STANDARD SILVER
8	PRE-FINISHED ALUMINUM & GLASS RAILING
9	CONTINUOUS LOUVRE SYSTEM: RENSON (LNU5)
10	EXPANDED METAL MESH SCREEN: STANDARD SILVER
11	PRE-FINISHED ALUMINUM GRILLE: COLOUR TO MATCH ADJACENT SURFACE
12	PAINTED ARCHITECTURAL CONCRETE (ELASTOMERIC COATING)
13	STEEL & GLASS CANOPY
14	PRE-FIN. PICKET FENCE

PROJECT
8100-8180 WESTMINSTER HWY DP 19-878817
8100-8180 WESTMINSTER HWY RICHMOND, BC

WEST ELEVATION (LANE)

JOB NO. 18-09
DRAWN BY KT
DATE 03 AUG 2021
SCALE 1/8" = 1'-0"
CHECKED
DRAWING NO.

Plan #17



SOURCEBOOK

1	2010-11-21	ISSUED FOR DP
2	2020-10-07	RE-DESIGNED FOR DP
3	2021-04-07	RE-DESIGNED FOR DP
4	2021-06-11	RE-DESIGNED FOR DP
5	2021-06-28	RE-DESIGNED FOR DP

FINISH MATERIAL LEGEND

13A	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 70520 "BRICK RED" - SMOOTH
13B	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 70520 "BRICK RED" - GROOVED
2	TERRA COTTA RAINSCREEN TONALITY SQUARE BRISE SOLEIL "BRICK RED"
3	FIBRE CEMENT RAINSCREEN CLADDING: EQUITONE (TECTIVA) TE90
4	FIBRE CEMENT RAINSCREEN CLADDING: EQUITONE (TECTIVA) TE20
5	PRE-FINISHED ALUMINUM WINDOW WALL: STANDARD SILVER
6	PRE-FINISHED ALUMINUM WINDOW WALL: IRON MOUNTAIN GREY
7A	PRE-FINISHED ALUMINUM CURTAIN WALL: IRON MOUNTAIN GREY
7B	PRE-FINISHED ALUMINUM CURTAIN WALL: STANDARD SILVER
8	PRE-FINISHED ALUMINUM & GLASS RAILING
9	CONTINUOUS LOUVER SYSTEM: RENSON (LINUS)
10	EXPANDED METAL MESH SCREEN: STANDARD SILVER
11	PRE-FINISHED ALUMINUM GILLE SURFACE COLOUR TO MATCH ADJACENT
12	PAINTED ARCHITECTURAL CONCRETE (ELASTOMERIC COATING)
13	STEEL & GLASS CANOPY
14	PRE-FIN. PICKET FENCE

PROJECT

**8100-8180
WESTMINSTER HWY
DP 19-878817**

8100-8180 WESTMINSTER HWY
RICHMOND, BC

SOUTH ELEVATION

JOB NO. 18-09

DRAWN KT

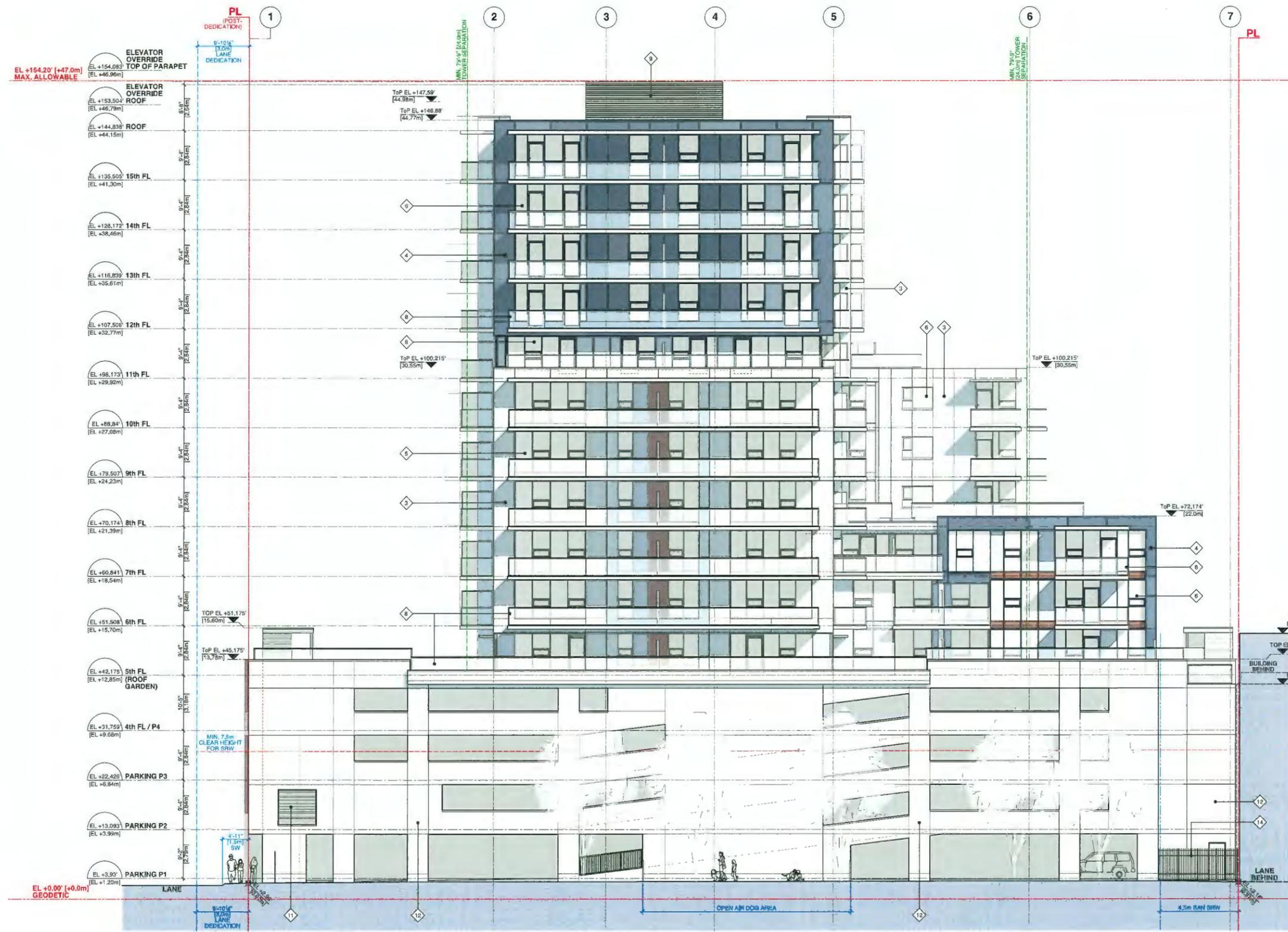
DATE 03 AUG 2021

SCALE 1/8" = 1'-0"

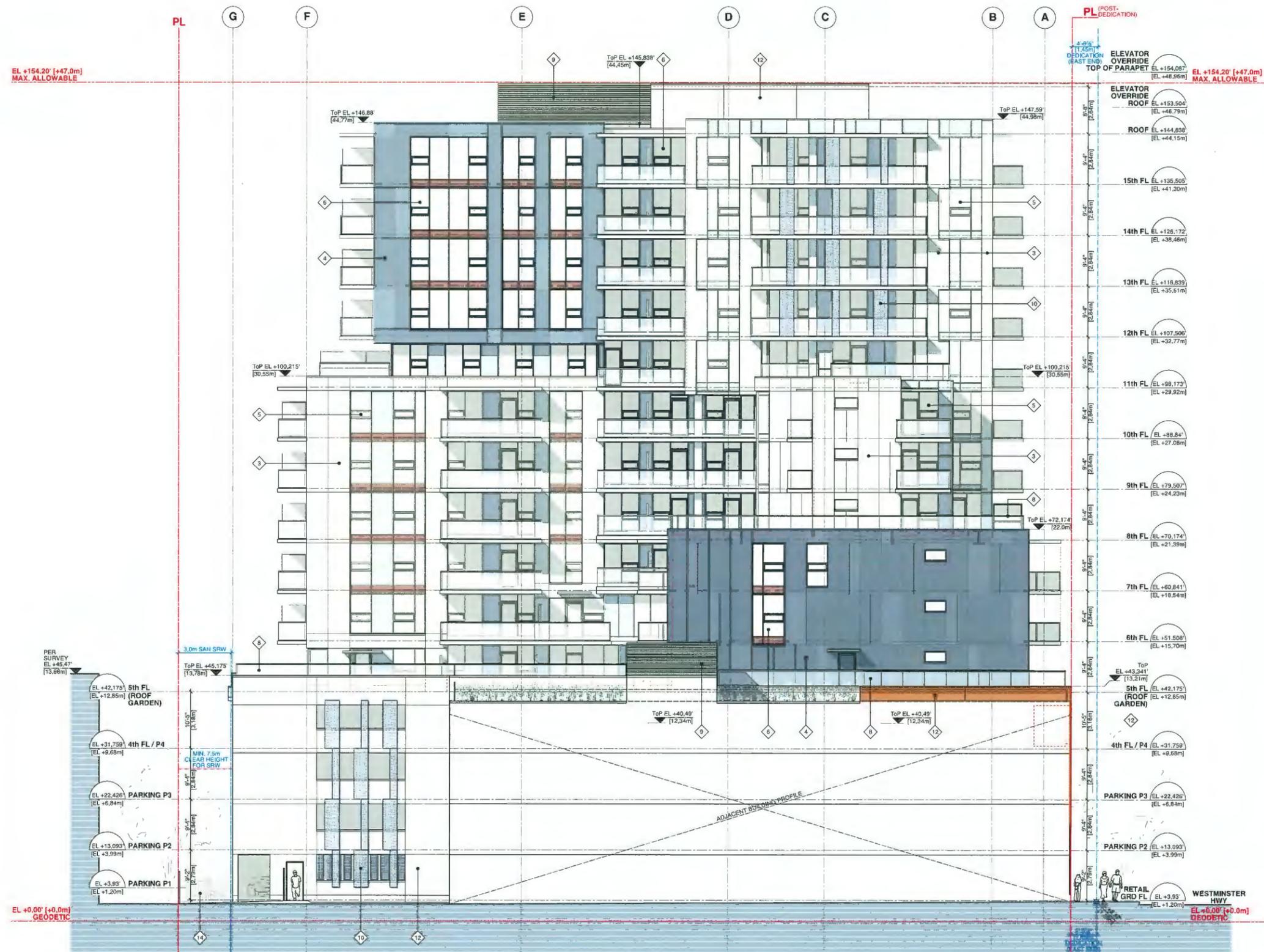
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DRAWING NO. 18-09-01



Plan #18



REVISION

1	2018-1-21	ISSUED FOR DP
2	2020-10-07	RE-DESIGNED FOR DP
3	2021-04-07	RE-DESIGNED FOR DP
4	2021-04-11	RE-DESIGNED FOR DP
5	2021-04-29	RE-DESIGNED FOR DP

FINISH MATERIAL LEGEND

1A	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 7000 "BRICK RED" - SMOOTH
1B	TERRA COTTA RAINSCREEN CLADDING: TONALITY (NUANCE) 7000 "BRICK RED" - GROOVED
2	TERRA COTTA SUNSCREEN: TONALITY SQUARE BRICK SOLEIL "BRICK RED"
3	FIBRE CEMENT RAINSCREEN CLADDING: EQUISTONE (TECTVA) T80
4	FIBRE CEMENT RAINSCREEN CLADDING: EQUISTONE (TECTVA) T20
5	PRE-FINISHED ALUMINUM WINDOW WALL - STANDARD SILVER
6	PRE-FINISHED ALUMINUM WINDOW WALL - IRON MOUNTAIN GREY
7A	PRE-FINISHED ALUMINUM CURTAIN WALL - STANDARD SILVER
7B	PRE-FINISHED ALUMINUM CURTAIN WALL - IRON MOUNTAIN GREY
8	PRE-FINISHED ALUMINUM & GLASS RAILING
9	CONTINUOUS LOUVER SYSTEM: HENSON (LINDS)
10	EXPANDED METAL MESH SCREEN: STANDARD SILVER
11	PRE-FINISHED ALUMINUM GRILLE: COLOUR TO MATCH ADJACENT SURFACE
12	PAINTED ARCHITECTURAL CONCRETE (ELASTOMERIC COATING)
13	STEEL & GLASS CANOPY
14	PRE-FIN. PICKET FENCE

PROJECT

8100-8180
WESTMINSTER HWY
DP 19-878817

8100-8180 WESTMINSTER HWY
RICHMOND, BC

EAST ELEVATION

JOB NO. 18-09

DRAWN KT

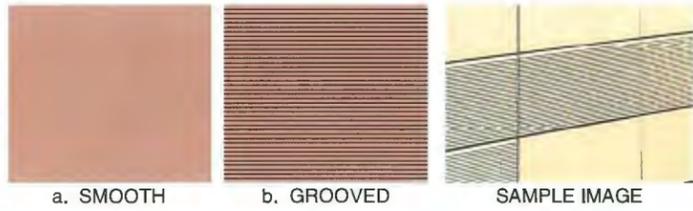
DATE 03 AUG 2021

SCALE 1/8" = 1'-0"

CHECKED

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Plan #19



1 TERRA COTTA RAINSCREEN CLADDING:
TONALITY [NUANCE] 70020 "BRICK RED"



6 ALUMINUM WINDOW:
STANDARD SILVER

7 SPANDREL GLAZING:
BENJAMIN MOORE HC-169
"COVENTRY GREY"



2 TERRA COTTA SQUARE BRISE SOLEIL "BRICK RED"



8 ALUMINUM WINDOW:
IRON MOUNTAIN GREY

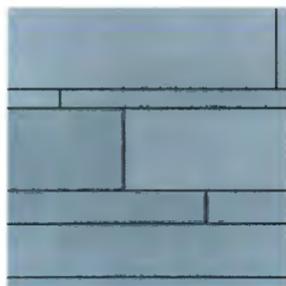
8 SPANDREL GLAZING:
SHERWIN WILLIAMS SW 2803
"ROOKWOOD TERRA COTTA"

10 PAINTED ARCHITECTURAL CONCRETE:
BENJAMIN MOORE OC-25
"CLOUD COVER"

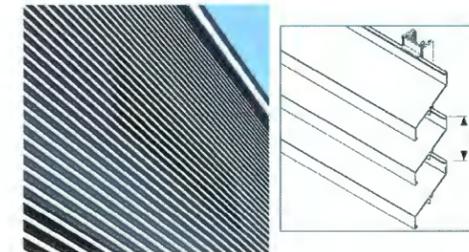
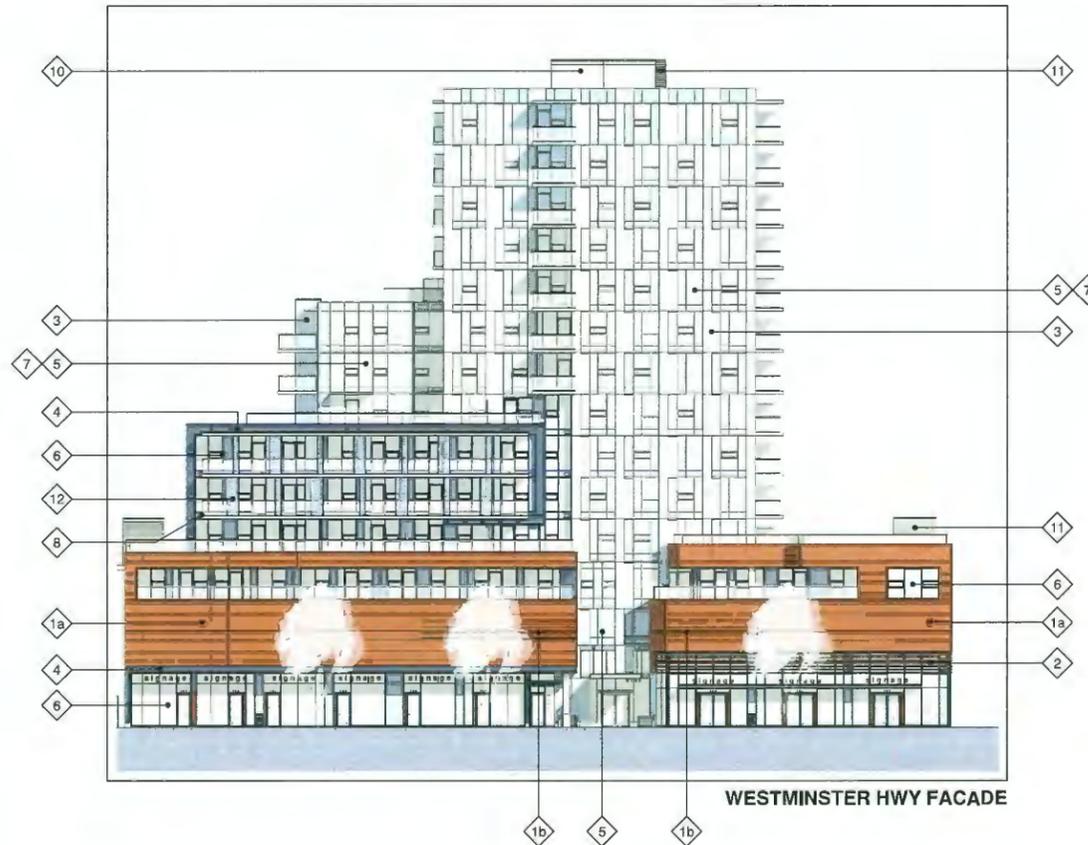
ISSUE/REVISION	DATE	DESCRIPTION
1	2019-11-21	ISSUED FOR DP
2	2020-04-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-06-11	RE-ISSUED FOR DP
5	2021-06-29	RE-ISSUED FOR DP



3 FIBRE CEMENT RAINSCREEN CLADDING:
EQUITONE [TECTIVA] TE90



4 FIBRE CEMENT RAINSCREEN CLADDING:
EQUITONE [TECTIVA] TE20



11 CONTINUOUS LOUVRE SYSTEM:
RENSON [LINIUS]



12 EXPANDED METAL MESH SCREEN

PROJECT
8100-8180
WESTMINSTER HWY
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8100-8180 WESTMINSTER HWY
RICHMOND, BC

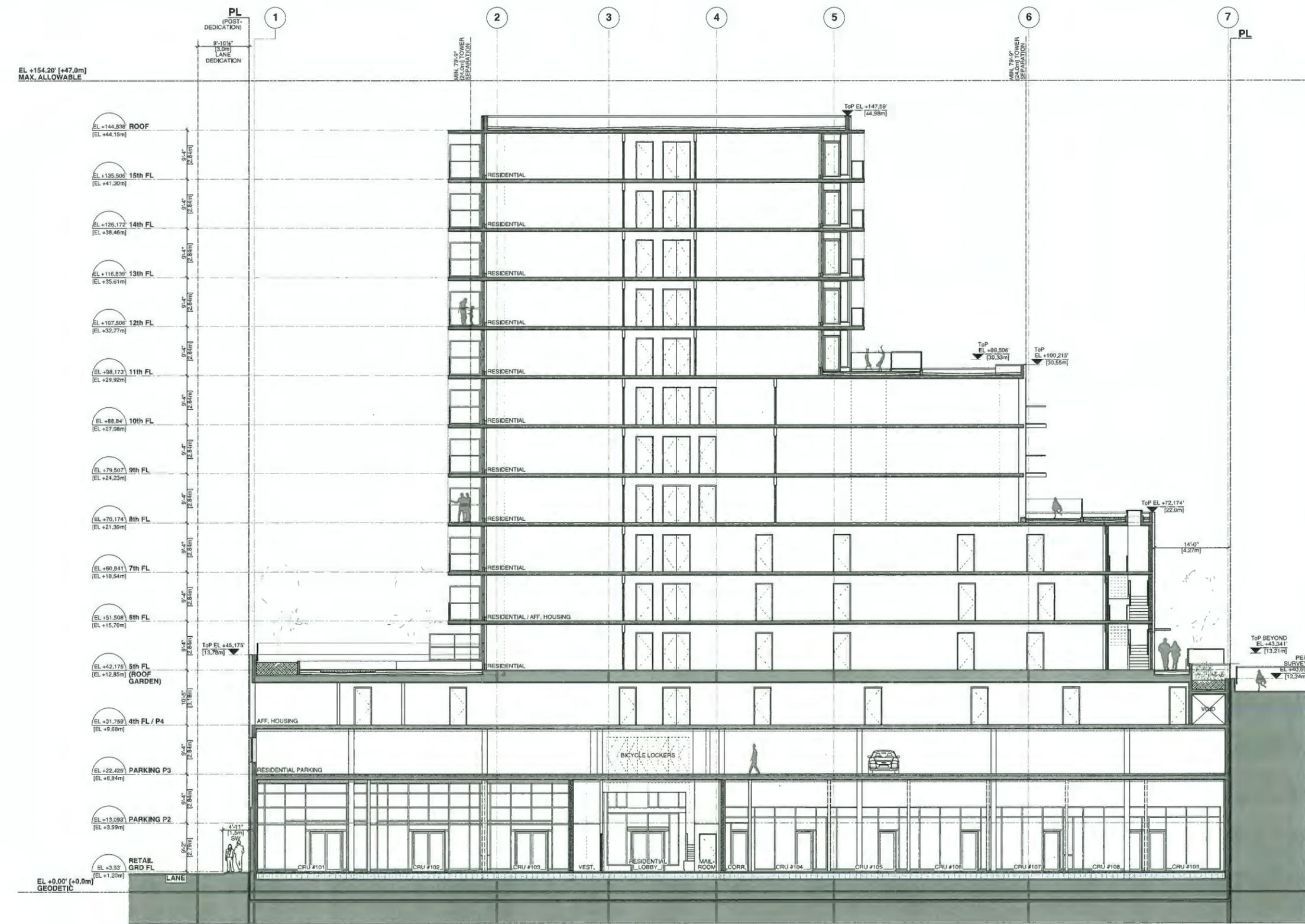
**EXTERIOR
MATERIAL
PALETTE**

JOB NO. 18-09
DRAWN KT
DATE 29 JUN 2021
SCALE NO SCALE
CHECKED WTL

DRAWING NO. 18-09-01

Plan #20

Suite 300, 973 West Broadway,
Vancouver, British Columbia • Canada V5Z 1K3
Telephone: 604 736-9711, Facsimile: 604 736-7991



REVISION

1	2019-11-21	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-04-11	RE-ISSUED FOR DP
5	2021-04-28	RE-ISSUED FOR DP

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100-8180 WESTMINSTER HWY
RICHMOND, BC

E-W BUILDING SECTION

JOB NO.	18-09
DRAWN	KT
DATE	03 AUG 2021
SCALE	1/8" = 1'-0"
CHECKED	
DRAWING NO.	

Plan #22

ISSUE/REVISION	DATE	DESCRIPTION
1	2018-11-21	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-06-11	RE-ISSUED FOR DP
5	2021-06-29	RE-ISSUED FOR DP



VIEW FROM WESTMINSTER HWY



VIEW FROM CANADA LINE ELEVATED GUIDEWAY ABOVE No. 3 ROAD



STREET VIEW ON WESTMINSTER HWY TOWARDS No. 3 ROAD



STREET VIEW ON WESTMINSTER HWY

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100-8180 WESTMINSTER HWY
RICHMOND, BC

**BUILDING
PERSPECTIVES**

JOB NO. 18-09

DRAWN KT

DATE 29 JUN 2021

SCALE N/A

CHECKED

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DRAWING NO.



VIEW FROM NORTHEAST



VIEW FROM NORTHWEST



VIEW FROM SOUTHWEST



VIEW FROM SOUTHEAST

ISSUE/REVISION	DATE	DESCRIPTION
1	2018-11-21	ISSUED FOR DP
2	2019-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-04-11	RE-ISSUED FOR DP
5	2021-06-29	RE-ISSUED FOR DP

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100-8180 WESTMINSTER HWY
RICHMOND, BC

BUILDING
PERSPECTIVES

JOB NO. 18-09
DRAWN KT
DATE 29 JUN 2021
SCALE N/A
CHECKED

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Suite 300, 973 West Broadway,
Vancouver, British Columbia • Canada V5Z 1K3
Telephone: 604 736-9711, Facsimile: 604 736-7591

ISSUE/REVISION	DATE	DESCRIPTION
1	2018-11-01	ISSUED FOR DP
2	2020-10-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-06-11	RE-ISSUED FOR DP
5	2021-06-29	RE-ISSUED FOR DP



AERIAL FROM NORTHEAST



AERIAL FROM NORTHWEST



AERIAL FROM SOUTHWEST



AERIAL FROM SOUTHEAST

PROJECT
8100-8180
WESTMINSTER HWY
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8100-8180 WESTMINSTER HWY
RICHMOND, BC

BUILDING
PERSPECTIVES

JOB NO.	18-09
DRAWN	KT
DATE	29 JUN 2021
SCALE	N/A
CHECKED	

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DRAWING NO. **AC**

Plan #25

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO THE CURRENT EDITION OF THE CSLA/CLNA STANDARDS.

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE. CONTRACTOR TO
ARRANGE FOR INSPECTION AND MATERIAL TO ASSEMBLED IN ONE LOCATION
FOR REVIEW.

IMPORTED GROWING MEDIA SHALL BE A SANDY LOAM OR LDAMY
SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT)
CONTAINING 4 AND 15% ORGANIC MATTER (BY WEIGHT
BASIS).

GROWING MEDIA SHALL BE FREE FROM SUBSOIL,
WOOD INCLUDING WOODY PLANT PARTS, INVASIVE AND NOXIOUS PLANT AND THEIR
REPRODUCTIVE PARTS, PLANT PATHOGENIC ORGANISMS, ORGANIC OR INORGANIC
MATERIALS, TOXINS, STONES OVER 30mm (1.2"), ANY DEBRIS AND FOREIGN OBJECTS.

IMPORTED GROWING MEDIA SHALL CONFORM TO AND BE TREATED AS PER SECTION
6.2.3 TO 6.2.7 INCLUSIVE OF THE CURRENT EDITION BCNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1 "WELL-GROOMED" AREAS: LOW
TRAFFIC LAWN AREAS, TREES AND LARGE SHRUBS (IL IN TABLE T-6.3.5.1 OF THE
CURRENT EDITION OF THE CSLA/CLNA STANDARDS).

TEXTURE -

*COARSE GRAVEL (LARGER THAN 19mm AND SMALLER THAN 40mm): 0-1%

*ALL GRAVEL (LARGER THAN 2mm AND SMALLER THAN 40mm): 0-5%

*SAND (LARGER THAN 0.075mm AND SMALLER
THAN 2mm): 50-70%

*SILT (LARGER THAN 0.002mm AND SMALLER
THAN 0.075mm): 10-25%

*CLAY (SMALLER THAN 0.002mm): 0-20%

*CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity (pH): 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT NO STANDING WATER IS VISIBLE 60
MINUTES AFTER AT LEAST 10 MINUTES OF MODERATE TO HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER TABLE T 6.3.5.5 OF THE CURRENT EDITION BCNA
STANDARDS:

	Over prepared subgrade where the subsoil drains rapidly	Over structures or where the subsoil drains poorly
TREES (10m ² PER TREE)	610 MM (24")	750 MM (30")
LARGE SHRUBS	610 MM (24")	610 MM (24")
GROUNDCOVERS	300 MM (12")	225 MM (9")
LAWN-IRRIGATED	150 MM (6")	150 MM (6")
LAWN-NOT IRRIGATED	150 MM (6")	225 MM (9")

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION REVIEW

SOIL FOR URBAN AGRICULTURE PLOTS IS TO BE URBAN GRO PROVIDED BY VERATEC,
OR APPROVED ALTERNATIVE. SOIL FOR URBAN AGRICULTURE AREAS IS TO MEET OR
EXCEED THE GUIDELINES FOR COMPOST QUALITY UNDER CANADIAN COUNCIL OF
MINISTERS OF THE ENVIRONMENT (CCME).

COMPOST IS TO BE TESTED AND RESULTS SUBMITTED TO CONSULTANT PRIOR TO
DELIVERY TO SITE.

BEDS TO HAVE 50MM (2") MULCH LAYER (after settling) CONSISTING OF ORGANIC
COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY IRRIGATION SYSTEM - SHOP
DRAWINGS ARE TO BE PREPARED BY AN IABC CERTIFIED DESIGNER AND APPROVED BY
LANDSCAPE ARCHITECT.

CONTRACTOR TO PROVIDE MAINTENANCE FOR 1 YEAR FOLLOWING SUBSTANTIAL
COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON PLANT MATERIAL.

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE CONSULTANT 3 WEEKS
PRIOR TO DELIVERY ON-SITE. TEST TO BE PERFORMED BY AN INDEPENDENT LAB AND IS
TO INCLUDE RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.

CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS DOES NOT PRECLUDE
THE CONSULTANT FROM PERFORMING AN INDEPENDENT SOIL ANALYSIS AT TIME OF
SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND
REPLACEMENT OF SOIL THAT DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO
CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL SPECIFICATIONS.

AN INDEPENDENT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO END OF 1 YEAR
WARRANTY PERIOD CONTRACTOR TO PROVIDE SOIL AMENDMENTS TO BRING SOIL UP
TO QUALITY RECOMMENDED IN
SOILS REPORT.

SITE INSPECTION
EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY ACCEPTANCE IN WRITING TO
THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING SERVICES AND SUBGRADES
PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO EXERCISE SUCH
PRECAUTIONS AT NO COST TO THE OWNER.

ALL PLUNING TO BE IN ACCORDANCE WITH THE BCNA/BCSLA STANDARDS CURRENT
EDITION.

PLANTING PLAN
IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND
PLANT SYMBOLS ON DRAWING, THE DRAWING TAKES PRECEDENCE. THE CONTRACTOR
IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.

ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR
LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN
THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.

SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON.

BIRD FRIENDLY PLANTING
PLANTS THAT ENABLE BIRD-FRIENDLY HABITAT CONSERVATION AND PROMOTION HAVE
BEEN SELECTED AND CAN BE FOUND THROUGHOUT THE LANDSCAPE. PLANTING IS
GROUPED IN NATURALIZED LAYERS OF TREES, TALL SHRUBS, LOW SHRUBS AND
GROUNDCOVERS, MIMICKING THE IDEAL ENVIRONMENTAL CONDITIONS FOR BIRDS.
THESE LAYERS WILL BE VARIED WITH A DIVERSITY OF TEXTURES AND DENSITIES THAT
ATTRACTS AND PROTECTS MANY BIRD SPECIES, SPECIFIC LOCAL AND NON-INVASIVE
PLANT SPECIES HAVE BEEN SELECTED BASED ON THEIR ABILITY TO PROVIDE YEAR-
ROUND FOOD FOR BIRDS AND/OR YEAR-ROUND NESTING OPPORTUNITIES.

HARD MATERIALS PLAN LEGEND

	Pierre Bleue Sablee Porcelain Patches; 24" x 24" sizes, 0.75" Thickness; FINISH: SO 11 ST Natural Finish; COLOUR: Light Gray; PATTERN: Running Bond
	Pierre Bleu Porcelain Pavers; 24" x 24" sizes, 0.75" Thickness; FINISH: SO 10 ST Natural Finish; COLOUR: Mid Gray; PATTERN: Running Bond
	Pierre Bleue Sablee Porcelain Paver, 24" x 24" sizes, .75" Thickness; FINISH: SO 11 ST Natural Finish; COLOUR: Light Gray; PATTERN: Grid
	Abbotsford Concrete Texada Paver / 24" x 24" sizes, 2" Thickness; FINISH: Natural Rough Finish; COLOUR: Charcoal; PATTERN: Grid
	Pierre Bleue Porcelain Paver, 24" x 24" sizes, .75" Thickness; FINISH: SO 10 ST Natural Finish; COLOUR: Mid Gray; PATTERN: Grid
	PIP Rubber Surfacing; 3" - 6" Thickness depending on play equipment fall height; COLOUR: Rainbow Green
	PIP Rubber Surfacing; 3" - 6" Thickness depending on play equipment fall height; COLOUR: Eggshell
	PIP Rubber Surfacing; 3" - 6" Thickness depending on play equipment fall height; COLOUR: Slate Grey
	CIP Concrete Edge restraint
	Onsite paving - CIP concrete; Broom finish
	Offsite paving to conform to City of Richmond standards
	Grass grid paver
	Permeable paver
	Light colored Basalt tile Mid-tone pavers with random accent tiles, Flamed finish to match light colored lower cladding. Paving to continue into lobby. To be coordinated with interior designer; Running Bond pattern
	Exposed aggregate concrete band
	CIP concrete planter wall; FINISH: Natural Finish; COLOUR: Natural Concrete Gray
	Bistro Tables & Chairs
	Sewer Round Concrete Planter
	Powder Coated Aluminum Planter, Light colour
	Timber wooden seating and backrest
	Custom Sewer Round Planter
	Bicycle racks, Light colored aluminum
	Tree grate, per City of Richmond standards
	Tables & Chairs, by owner typ.
	Sofa seats, by owner typ.
	Coffee table & chairs, by owner typ.
	Firepit, by owner typ.
	Tree Trunk
	Planting area anno

MATERIALS AND FURNISHINGS

SITE FURNISHINGS									
ID	REFEREN	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	FINISH	
S1	2/3j	Foro Table	743mm H x 381mm Dia		MaqIn Foro Table: FRT1700		Light silver		
S2	1/3j	Kontur Chair	495mm W X 457mm D		Kontur Chair		Light silver		
S3	4/3j	Round Concrete Planter	Overall Height: 30cm Diameter varies						
S4	5/nn	Powder Coated Aluminum Planter	Height varies				Light silver	Matte finish	
S5	1/nn	Dog Waste Bag Receptacle	9" X 3.5" X 21" T		DL-EDS100-POLY		Standard		
S6	1/3j	Timber seating and backrest	.10m x .46m x .61m sizes, .05m Thickness			Custom Made	Natural Cedar Color	Matte finish	
S7	5/3j	Custom Round Planter	.9m dia		Custom		Clear Stain		
S8	4/3j	Bird Boxes	Varies		Custom	Custom Made	Clear Stain		
S9	1/3kk	Arbor Type 1			Custom		Clear Stain		
S12	3/3j	Freestanding Trellis			Custom	Freestanding	TBD		
S14	5/3j	Potting table / compost	3.64 x .91m x .91m		Custom		Clear Stain		
S15	2/3nn	Waste receptacle	95.5cm x 63.5cm		Model: MLWR200-20		Silver 14 Powdercoat		
S16	3/3nn	Fire hydrant			Free standing		Red		
S17	2/3j	Tool storage shed	1.83m x .91m		Outdoor Garden Shed		timber	natural	
S18	6/3nn	Bike rack	562mm x 889mm x 489mm		MBR500-S		Light silver	powdercoat	
PLAY ELEMENTS									
ID	REFEREN	DESCRIPTION	SIZE	MODEL	MANUFACTURER	COMMENT	COLOUR	FINISH	
P1	4/3nn	Forest Cottage Play equipment		NRO408	Kompan Supply		Natural Stain	Matte Finish	
P2	3/3i	Sanded wood stump toddler seating	.15m to .46m Height		Custom			Matte Finish	
P3	4/3nn	Custom Mound w/ Tunnel Poles			Custom				
MATERIALS									
ID	REFEREN	DESCRIPTION	SIZE	MODEL	MANUFACTURER	FINISH	COLOUR	PATTERN	
M1	6/3hh	Pierre Bleue Sablee Patches	.61m x .61m sizes, .02m Thickness		Pierre Bleue Sablee	Belgard	SO 11 ST Natural Finish	Light Gray	Running Bond
M2	6/3hh	Pierre Bleue	.61m x .61m sizes, .02m Thickness		Pierre Bleue	Belgard	SO 10 ST Natural Finish	Mid Gray	Running Bond
M3	6/3hh	Concrete pavers Mid Gray	.61m x .61m sizes, .05m Thickness		Concrete Texada Paver	Abbotsford Concrete Products	Sand Blast	Mid Gray	Grid
M4	1+5/3hh	Concrete pavers Charcoal	.61m x .61m sizes, .05m Thickness		Concrete Texada Paver	Abbotsford Concrete Products	Natural Rough Finish	Charcoal	Grid
M5	6/3hh	Concrete pavers Light Grey	.61m x .61m sizes, .05m Thickness		Concrete Texada Paver	Abbotsford Concrete Products	Flamed Finish	Light Gray	Running bond
M6	3/3hh	PIP Rubber Surfacing	.08 - .15m Thickness		Marathon Surfaces Supply			Rainbow Green	
M7	3/3hh	PIP rubber surfacing	.08 - .15m Thickness		Marathon Surfaces Supply			Eggshell	
M8	3/3hh	PIP Rubber Surfacing	.08 - .15m Thickness		Marathon Surfaces Supply			Black	
M9	5/3hh	Flush Concrete Curb Edger	150mm W		Custom			Natural	
M10	7/3hh	CIP Concrete Paving							Broom Finish
M11		Offsite paving as per city of Richmond							
M12	6/3i	Grass Grid Pavers	500mm x 500mm x 40mm		Abbotsford Concrete				
M13	2/3hh	Permeable Pavers	221.5mm x 110mm x 80mm thick		Aquapave	Abbotsford Concrete	Standard	Shadow blend	Herringbone
M14	4/3hh	Basalt Paver	TBC w/ Interior Designer				Flamed	Match tower cladding	Runningbond
M15	7/3hh	Aggregate Concrete Band						Grey	
M16	2/3i	Dog Area Surfacing/Drainage							
WALLS & FENCING									
ID	REFEREN	DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	FINISH	
F1	1/3ja	CIP concrete planter wall					Natural Gray Color	Natural Finish	
F2	3/3i	3' Metal Fence and Gate - L5 Dogrun		.92m	Custom			Black powdercoat	
F3	1/3mm	4' Metal Fence and Gate - L1 Dogrun		1.22m	Custom			Black powdercoat	
F4	2/3mm	6' Metal Fence and Gate		1.83m	Custom			Black powdercoat	
NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS SCHEDULE, QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.									

SOFT LANDSCAPE TREE PLANTING PLAN LEGEND

	Trees, for info refer to soft landscape schedule
	Tree Species abbreviation, for info refer to soft landscape schedule

SOFT LANDSCAPE PLANTING PLAN LEGEND

	Shrubs & Groundcovers soft callouts, ##= number of plants in area, Xxx= Plant species abbreviation, refer to soft landscape schedule
--	--

SOIL DEPTH PLAN LEGEND

	3' Soil Depth (Soil slopes down to perimeter parapets)
	2' Soil Depth
	6' Soil Depth

IRRIGATED AREAS PLAN LEGEND

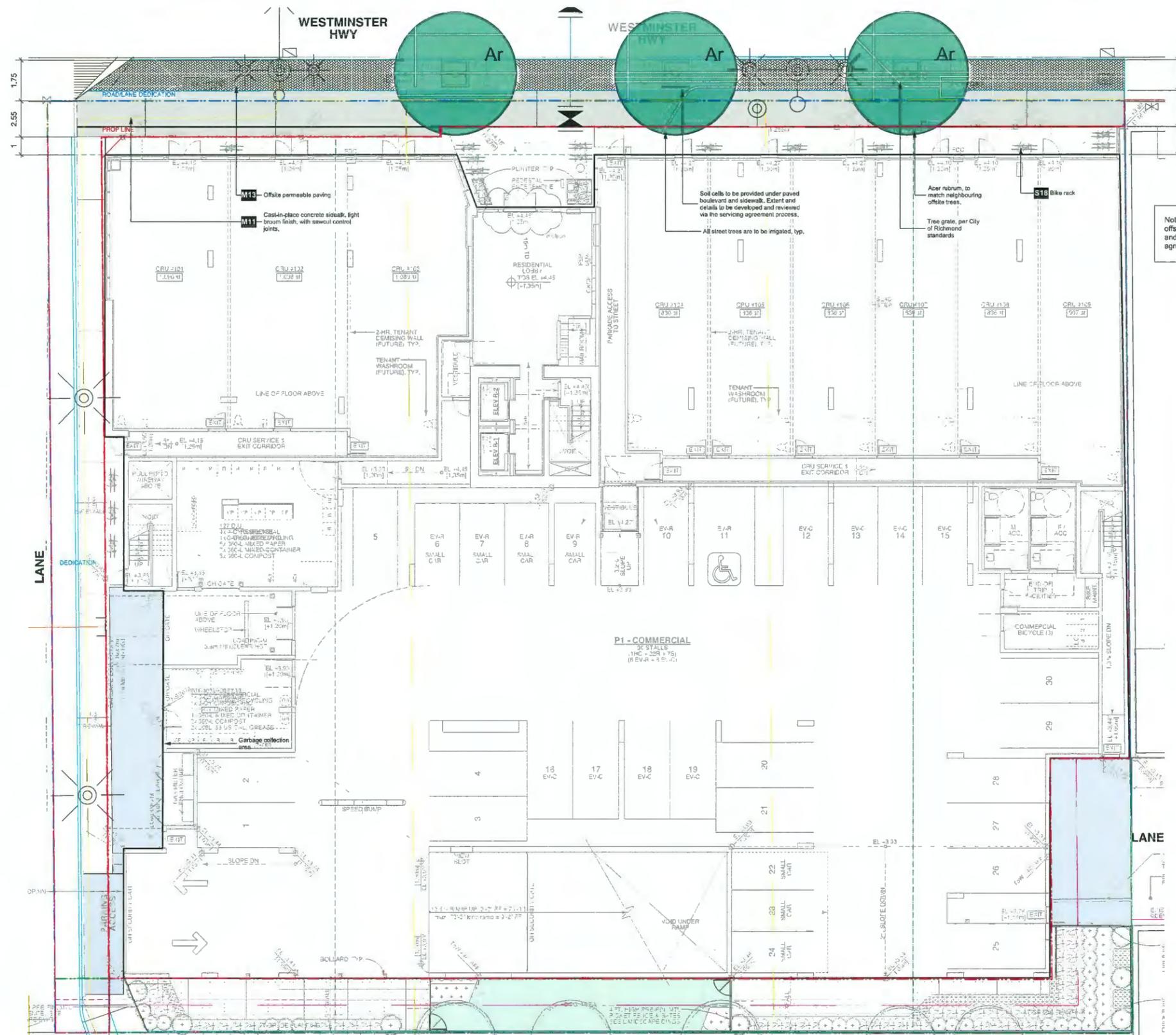
	Irrigated areas
	Tree Trunk

GRADING LEGEND

	ToW - TOP OF WALL
	BoW - BOTTOM OF WALL
	FG - FINISHED GRADE
	IG - INTERPOLATED GRADE
	FFE - BUILDING FINISH FLOOR LEVEL
	Tree Trunk
	Planting area anno

PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES	ATTRIBUTES
TREES - OFF-SITE							
Ar	3	Acer rubrum	red maple	as shown	7cm cal	2 m standard	
SHRUBS / GROUNDCOVERS / PERENNIALS - OFFSITE							
LAWN - OFFSITE							
Non-Netted, grown on sand							
TREES							
Acc	1	Acer davidii	snakebark maple	as shown	6cm cal/ B&B	2m standard/ full crown	
Aq	14	Acer griseum	paperbark maple	as shown	15' / 4.5m full height	full, bushy plants	
Apr	11	Acer palmatum 'Seiryu'	Seiryu Japanese maple	as shown	5cm cal. B&B	full/bushy plants	
Bnh	9	Betulus nigra 'Heritage'	Heritage river birch	as shown	3-4m specimen/ B&B	low branching/ vary height	
Maq-L	3	Magnolia stellata 'Summer Snow'	Lufur magnolia	as shown	1.5m B&B	full, bushy plants	
Par	6	Prunus yedoensis 'Akebono'	Yoshino cherry	as shown	7cm cal/B&B		
Stpa	3	Stewartia pseudocamellia	Japanese stewartia	as shown	4m ht/ B&B	multistemmed	
SHRUBS / GROUNDCOVERS / PERENNIALS							
Aca	268	Asarum caudatum	wild ginger		0.3' #2 cont.	full, bushy plants	N, E, B, P
Ajp	28	Azalea japonica 'purple splendor'	evergreen azalea		0.76' #2 cont.	full, bushy plants	
Anp	3	Athyrium niponicum var pictum	Japanese painted fern		0.46' #2 cont.	full, bushy plants	E, W
Apr1	8	Aster novae-angliae 'Purple Dome'	Purple Dome New England Ast		0.76' #2 cont.	Flower & Rose Food	
Aq	6	Akebia quinata	chocolate vine		0.61' #2 cont.	staked	Ed
Bms	11	Brunnera macrophylla 'Silver Spear'	Siberian bugloss		0.28' #1 cont.	full/ bushy plants/ heavy P	
Cakf	21	Callamagrostis x acutiflora 'Karl Forester'	Feather Reed Grass		0.61' #2 cont.		W
Camf	18	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire dogwood		0.91' #3 cont.	full/bushy	
Csas	9	Camellia sasanqua	camellia		1.22' #5 cont.	full/ bushy plants	E, W
Csib	9	Cornus alba 'Sibirica'	Red Twig Dogwood		0.91' #2 cont.	All-Purpose Plant Fe	
Epw	168	Epimedium x warleyense	Warley Bishop's hat		0.38' #2 cont.	full/ bushy plants	E, P
Gem	89	Garanium macrorrhizum Bevan's Variety	Blarroot Cranestill		0.46' #1 cont.	full/ bushy plants	P
Hthw	3	Hedera helix	White wonder English Ivy		0.31' #1 cont.		All-Purpose Plant Fe
Hma	24	Hydrangea macrophylla	big leaf hydrangea		1.07' #3 cont.	full/ bushy plants	
Hsd	10	Hydrangea quercifolia 'Sikes Dwarf'	Sikes dwarf hydrangea		---	#1 cont.	Tree & Shrub Food
La	44	Lavandula angustifolia	English lavender		0.45' #2 cont.	full, bushy plants	E, B, P, Ed
Ma-np	4	Malus domestica 'North Pole'	apple		4.5cm cal/B&B	dwarf root stock	
PAf	117	Penicaria affinis 'Superba'	Fleece Flower		0.41' #1 cont.		
PaH	58	Pennisetum alopecuroides 'Hamel'	Dwarf Fountain Grass		0.55' #1 cont.-heavy	full/ bushy plants	B, W
Pa-1	95	Penicaria bistorta 'Superba'	Fleece Flower		0.41' #1 cont.		
Rmb	26	Rhododendron 'Mission Bells'	white rhododendron		1.07' 1mx1m/ field grown/ B&B	full/ bushy plants	
Ron	53	Rosa nutkana	Nootka rose		0.91' #2 cont.	full/ bushy plants	
Rra-1	14	Rhododendron 'Ramapo'	purple rhododendron		0.76' #5 cont.	full/ bushy plants	
Rs	8	Ribes sanguineum 'King Edward'	flowering currant		0.91' #5 cont.	full/ bushy plants	
Sh	34	Sarcococca hookeriana var. Humilis	sweet box		0.46' #2 cont.	full, bushy plants	
Sl	11	Solidaster luteus 'Lemore'					



Note: Detailed design of the offsite works to be developed and reviewed via the servicing agreement process.

Revision No.	Date	Revision Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for DP
C	2020-08-14	Issue for Review per Draft DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

Issue No.	Date	Issue Notes
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D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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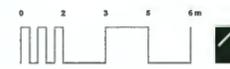
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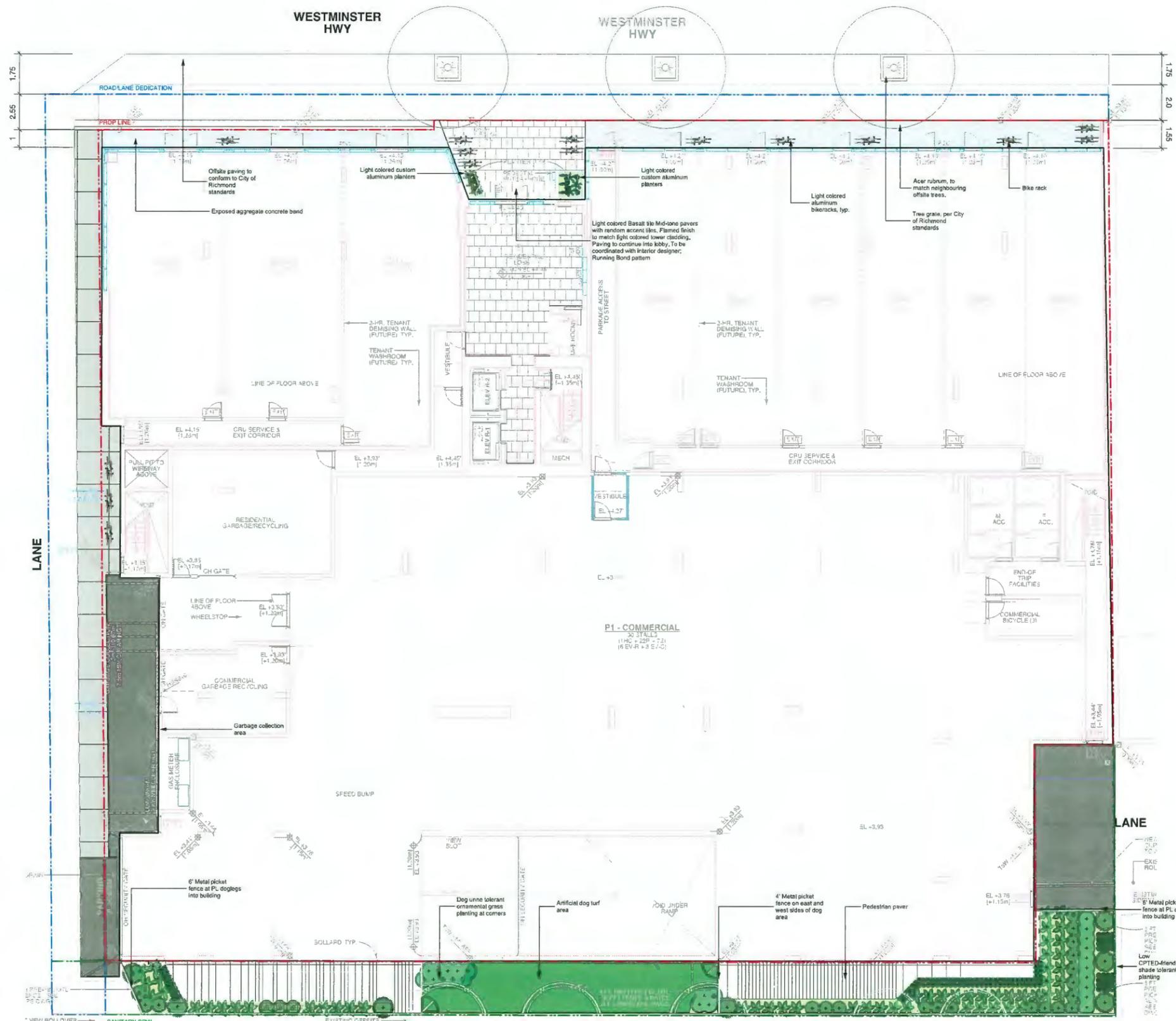
Project
8100 Westminister Hwy

8100 - 8180 Westminister Hwy
Project Address

Drawing Title
Offsite Plan

Project Manager	Project No.
21938	21938
Scale	Scale
1:100	1:100
Drawn By	Drawn By
3C	3C
Checked By	Checked By
3C	3C
Plan #27	





Revision No.	Date	Revision Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for CP
C	2020-06-14	Issue for Review per Engr CP Comments
D	2020-10-05	Re-issued for CP
E	2021-04-07	Re-issued for CP
F	2021-06-25	Re-issued for CP

Issue No.	Date	Issue Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for CP
C	2020-06-14	Issue for Review per Engr CP Comments
D	2020-10-05	Re-issued for CP
E	2021-04-07	Re-issued for CP
F	2021-06-25	Re-issued for CP

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8100 - 8180 Westminister Hwy
 Project Address

Drawing Title

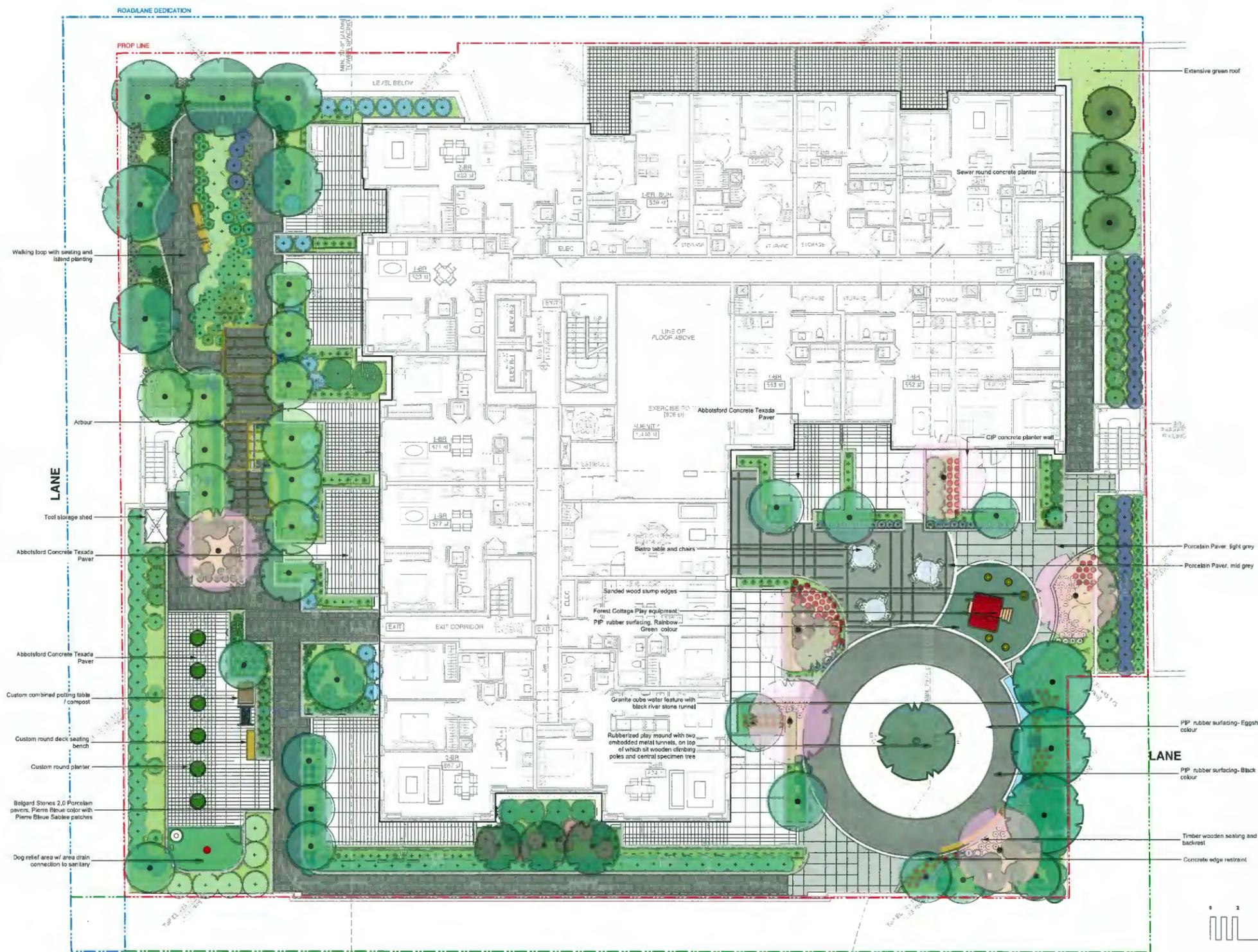
L1 - Site Plan

Project Manager	Project #
21938	21938
Scale	Scale
1:100	1:100
Reviewed By	Drawing No.
00/00/00	31

Plan #28

Plot Date:

WESTMINSTER HWY



No.	Date	Revision Notes
A	2019-11-20	Issue for DP
B	2020-06-14	Issue for Review per Staff DP Comments
C	2020-10-06	Re-issued for DP
D	2021-04-07	Re-issued for DP
E	2021-06-25	Re-issued for DP

Issue No.	Date	Issue Notes
A	2019-11-20	Issue for Review
B	2020-06-14	Issue for Review per Staff DP Comments
C	2020-10-06	Re-issued for DP
D	2021-04-07	Re-issued for DP
E	2021-06-25	Re-issued for DP

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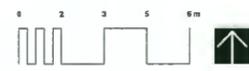
8100 - 8180 Westminister Hwy
 Project Address

Drawing Title

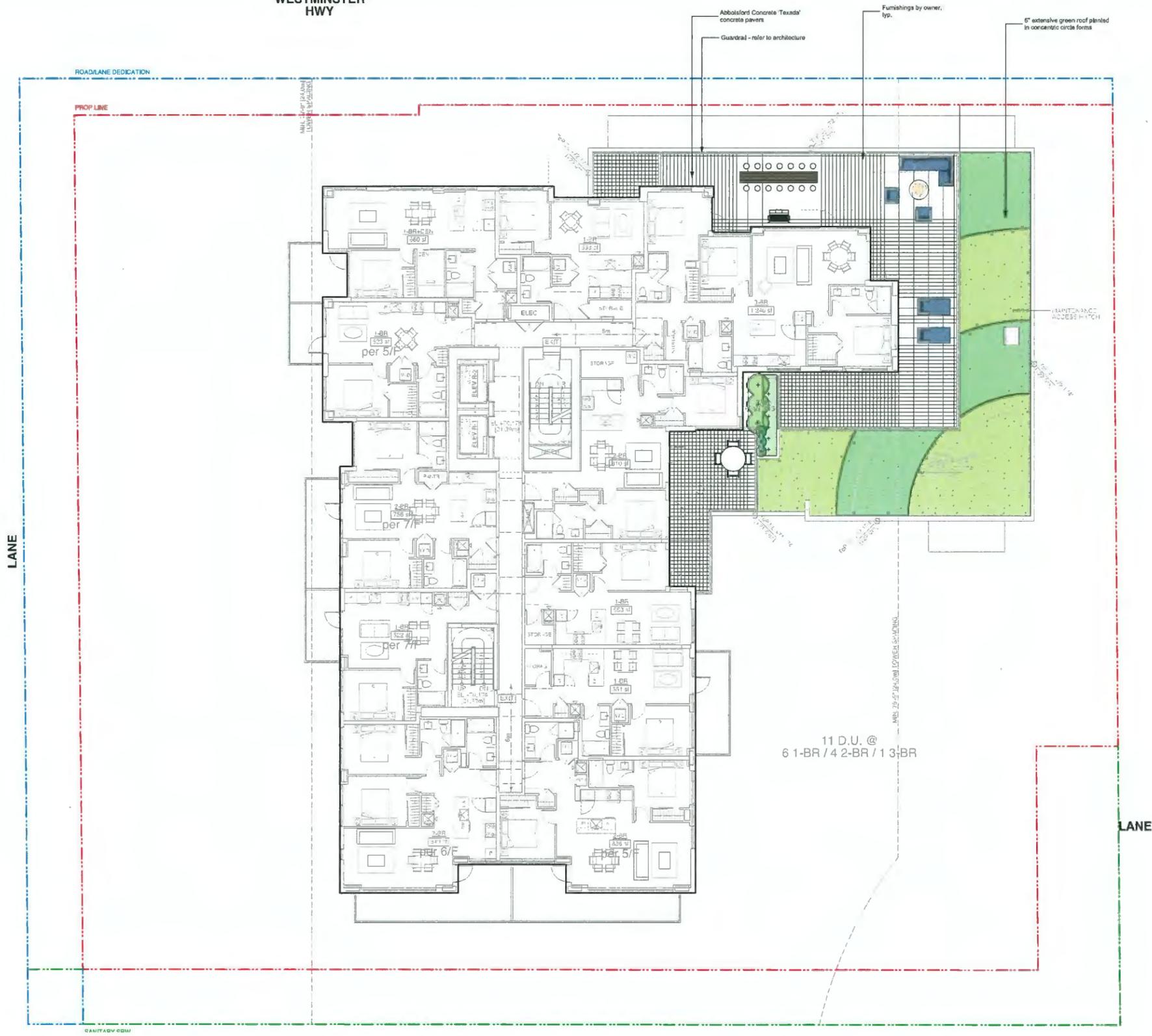
L5 - Site Plan

Project Manager	Project #
215538	
Drawn By	Date
as noted	
Reviewed By	Drawn No.
00 00 00	
Print Date:	

Plan #29



WESTMINSTER HWY



Revisions

No.	Date	Revision Notes
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Issue

No.	Date	Issue Notes
A	2019-11-08	Issue for Review
B	2019-11-20	Issue for DP
C	2020-06-14	Issue for Review per Staff DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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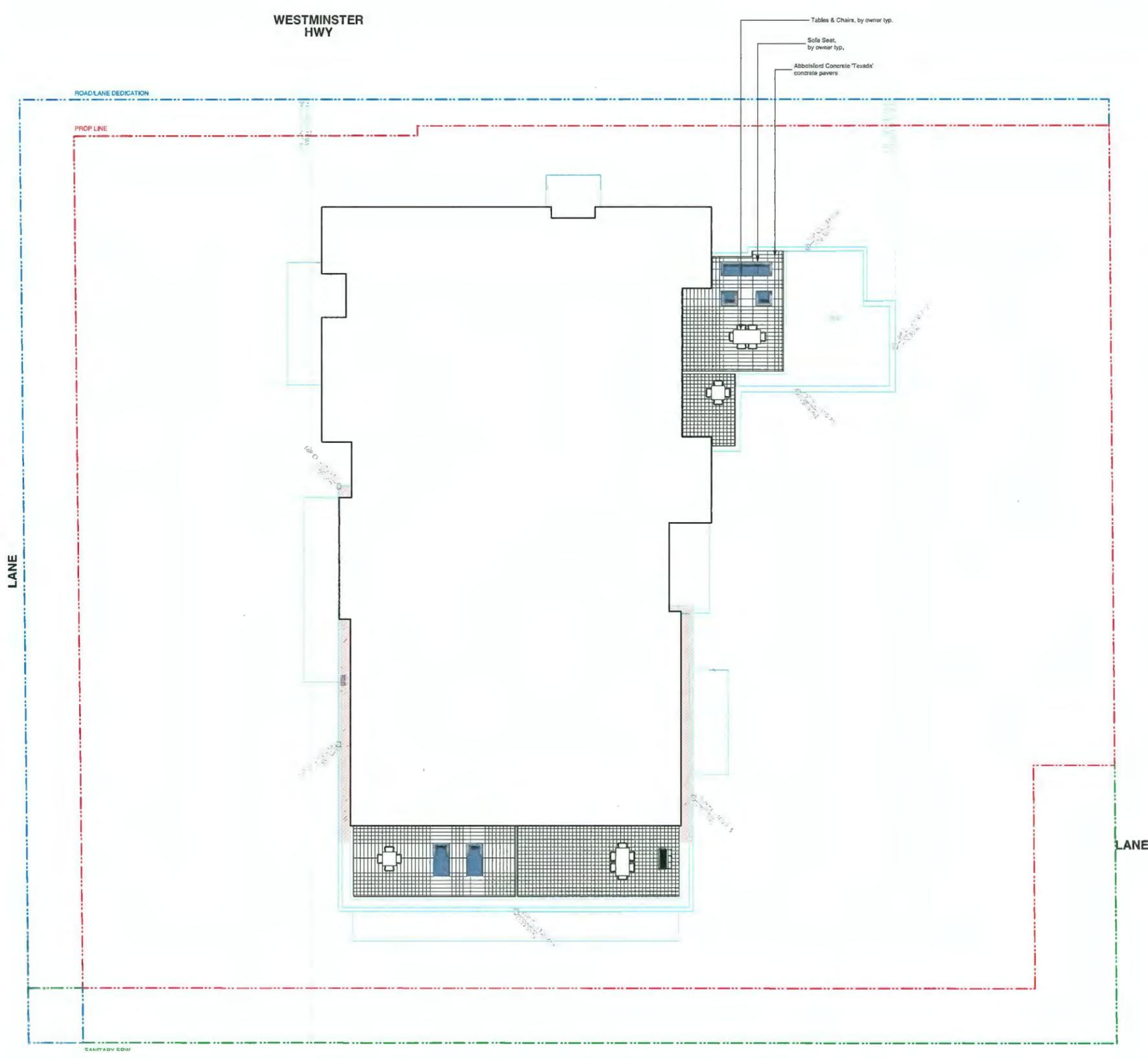
8100 - 8180 Westminster Hwy
 Project Address

Drawing Title
L8 - Site Plan



Project Manager	Project ID
21938	21938
Author	Drawn By
JS	BS Folstad
Reviewed By	Checked By
00/00/00	
Print Date:	

Plan #30



Revision No.	Date	Revision Notes
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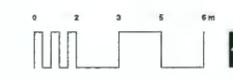
Issue No.	Date	Issue Notes
A	2019-11-03	Issue for review
B	2019-11-30	Issue for CP
C	2020-06-14	Issue for Review per Staff DP Comments
D	2020-10-06	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-05-25	Re-issued for DP

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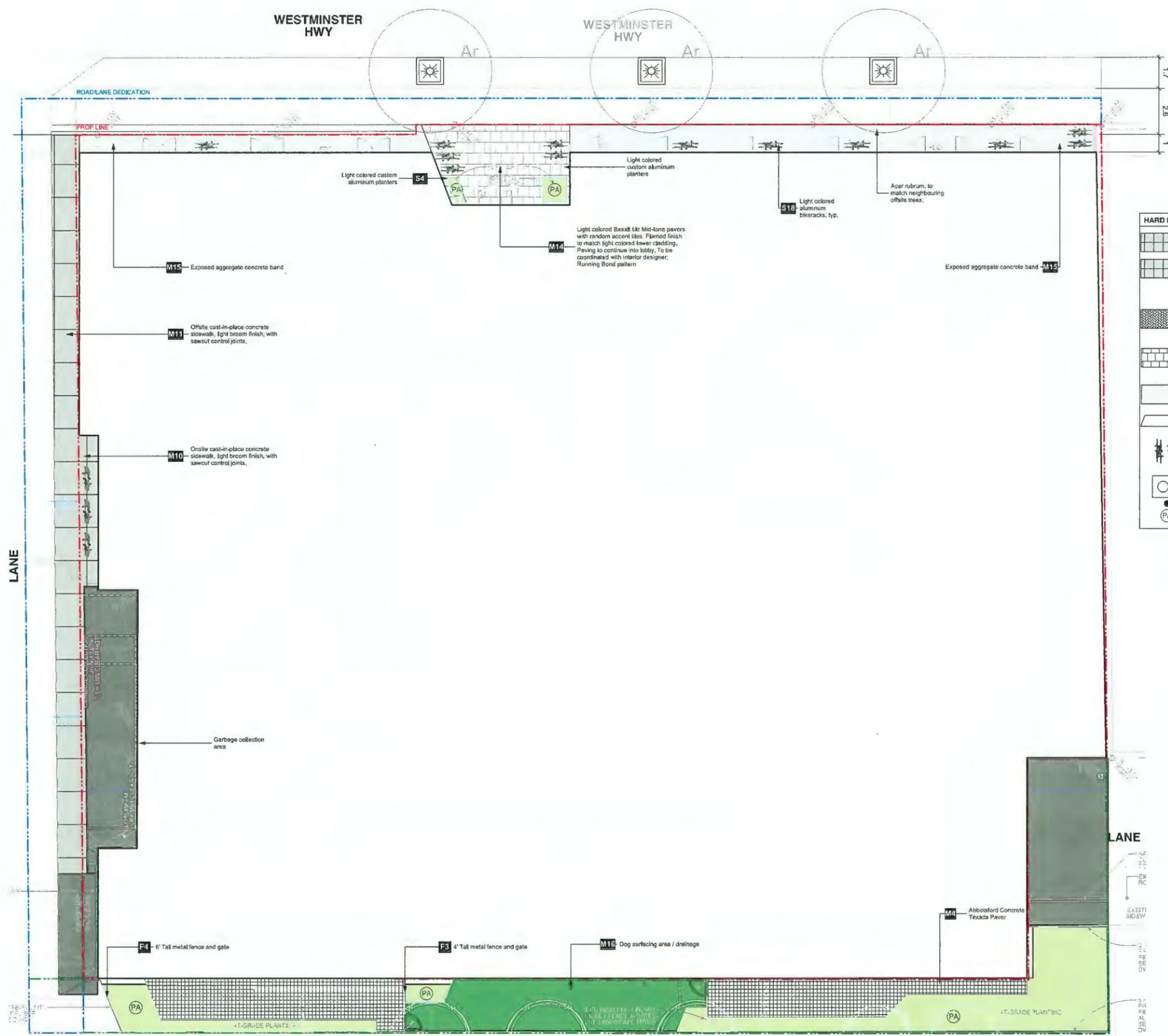
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Project
8100 Westminister Hwy
 8100 - 8180 Westminister Hwy
 Project Address
 Drawing Title
L11 - Site Plan



Project Location	Project ID
Project Manager	21938
Drawn By	Scale
LD	AS NOTED
Reviewed By	Drawn No. 3g
Date	00/00/00
Plan #31	
Plot Date:	



HARD MATERIALS PLAN LEGEND

	M10 Onsite paving - CIP concrete; Broom finish
	M11 Offsite paving to conform to City of Richmond standards
	M13 Permeable paver
	M14 Light colored Basalt tile Mid-tone pavers with random accent tiles. Flamed finish to match light colored tower cladding. Paving to continue into lobby. To be coordinated with interior designer; Running Bond pattern
	M15 Exposed aggregate concrete band
	S4 Powder Coated Aluminum Planter, Light colour
	S18 Bicycle racks, Light colored aluminum
	S7 Tree grate, per City of Richmond standards
	Tree Trunk
	Planting area anno

Revision

No.	Date	Revision Notes
A	2019-11-06	Issue for review
B	2019-11-20	Issue for DP
C	2020-05-14	Issue for Review per Staff DP Comments
D	2020-10-06	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

Issue

No.	Date	Issue Notes
A	2019-11-06	Issue for review
B	2019-11-20	Issue for DP
C	2020-05-14	Issue for Review per Staff DP Comments
D	2020-10-06	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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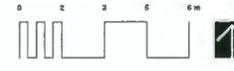
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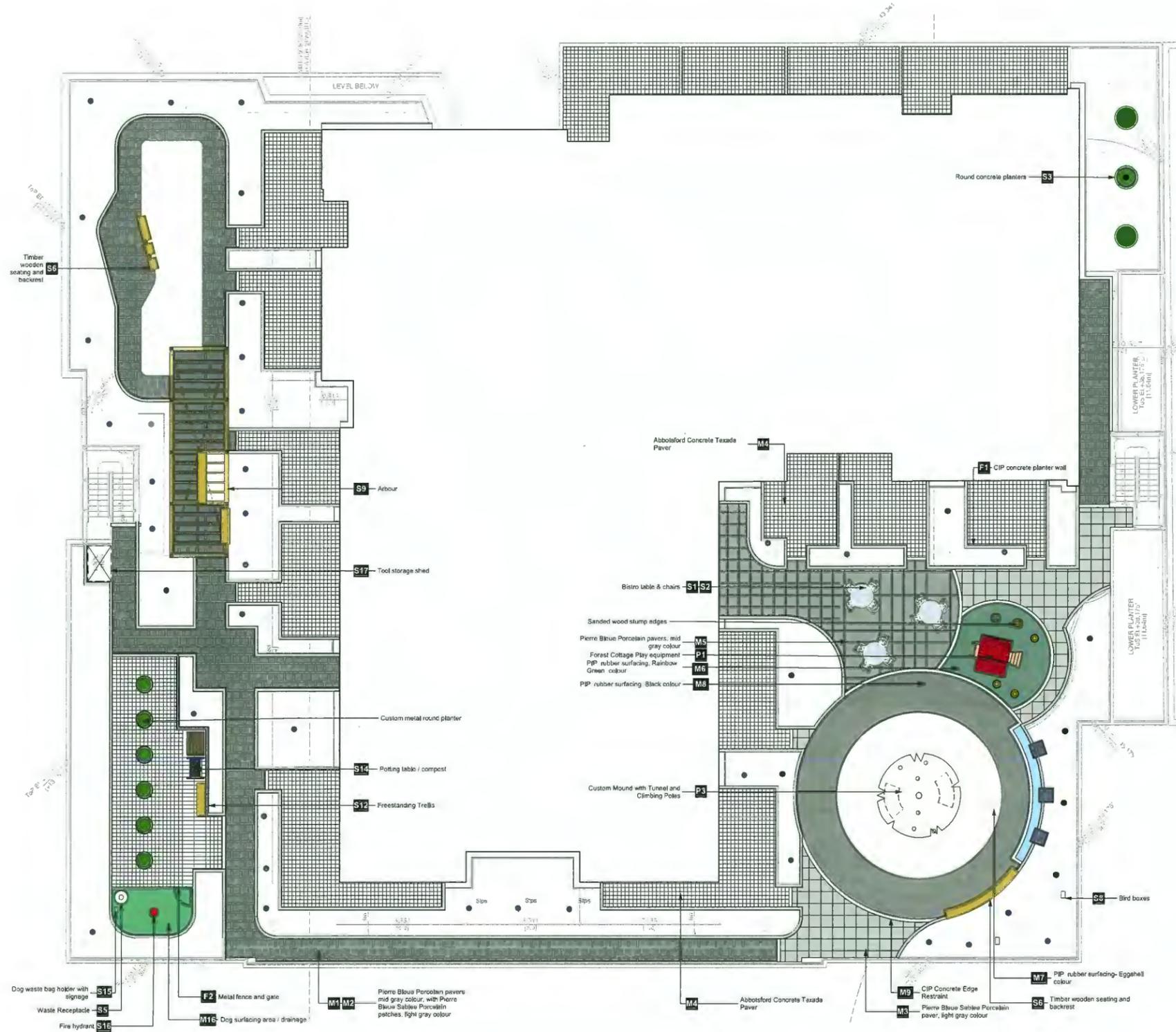
Project
8100 Westminister Hwy
 8100 - 8180 Westminister Hwy
 Project Address

Drawing Title
L1 - Materials Plan
Materials Plan

Project Manager	Project ID
JIS	21938
Scale	1:100
Drawn By	Drawn No.
CO.03/00	31
Reviewed By	Plan #32



Plot Date



HARD MATERIALS PLAN LEGEND

	M1 Pierre Bleue Sable Porcelain Patches; 24" x 24" sizes, 0.75" Thickness; FINISH: SO 11 ST Natural Finish; COLOUR: Light Gray; PATTERN: Running Bond
	M2 Pierre Bleu Porcelain Pavers; 24" x 24" sizes, 0.75" Thickness; FINISH: SO 10 ST Natural Finish; COLOUR: Mid Gray; PATTERN: Running Bond
	M3 Pierre Bleue Sable Porcelain Paver, 24" x 24" sizes, .75" Thickness; FINISH: SO 11 ST Natural Finish; COLOUR: Light Gray; PATTERN: Grid
	M4 Abbotsford Concrete Texada Paver; 24" x 24" sizes, 2" Thickness; FINISH: Natural Rough Finish; COLOUR: Charcoal; PATTERN: Grid
	M9 CIP Concrete Edge restraint
	M5 Pierre Bleue Porcelain Paver, 24" x 24" sizes, .75" Thickness; FINISH: SO 10 ST Natural Finish; COLOUR: Mid Gray; PATTERN: Grid
	M6 PIP Rubber Surfacing; 3" - 6" Thickness depending on play equipment fall height; COLOUR: Rainbow Green
	M7 PIP Rubber Surfacing; 3" - 6" Thickness depending on play equipment fall height; COLOUR: Eggshell
	M8 PIP Rubber Surfacing; 3" - 6" Thickness depending on play equipment fall height; COLOUR: Slate Gray
	F1 CIP concrete planter wall; FINISH: Natural Finish; COLOUR: Natural Concrete Gray; PATTERN: Running Bond
	S1 S2 Bistro Tables & Chairs
	S3 Round concrete planter
	S5 Timber wooden seating and backrest
	S6 Custom metal round planter
	S8 Bird boxes
	S9 Tree Trunk
	PA Planting area anno

Revision

No.	Date	Revision Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for DP
C	2020-09-14	Issue for Review per Staff DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

Issue

Issue No.	Date	Issue Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for DP
C	2020-09-14	Issue for Review per Staff DP Comments
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E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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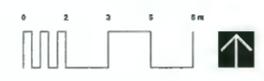
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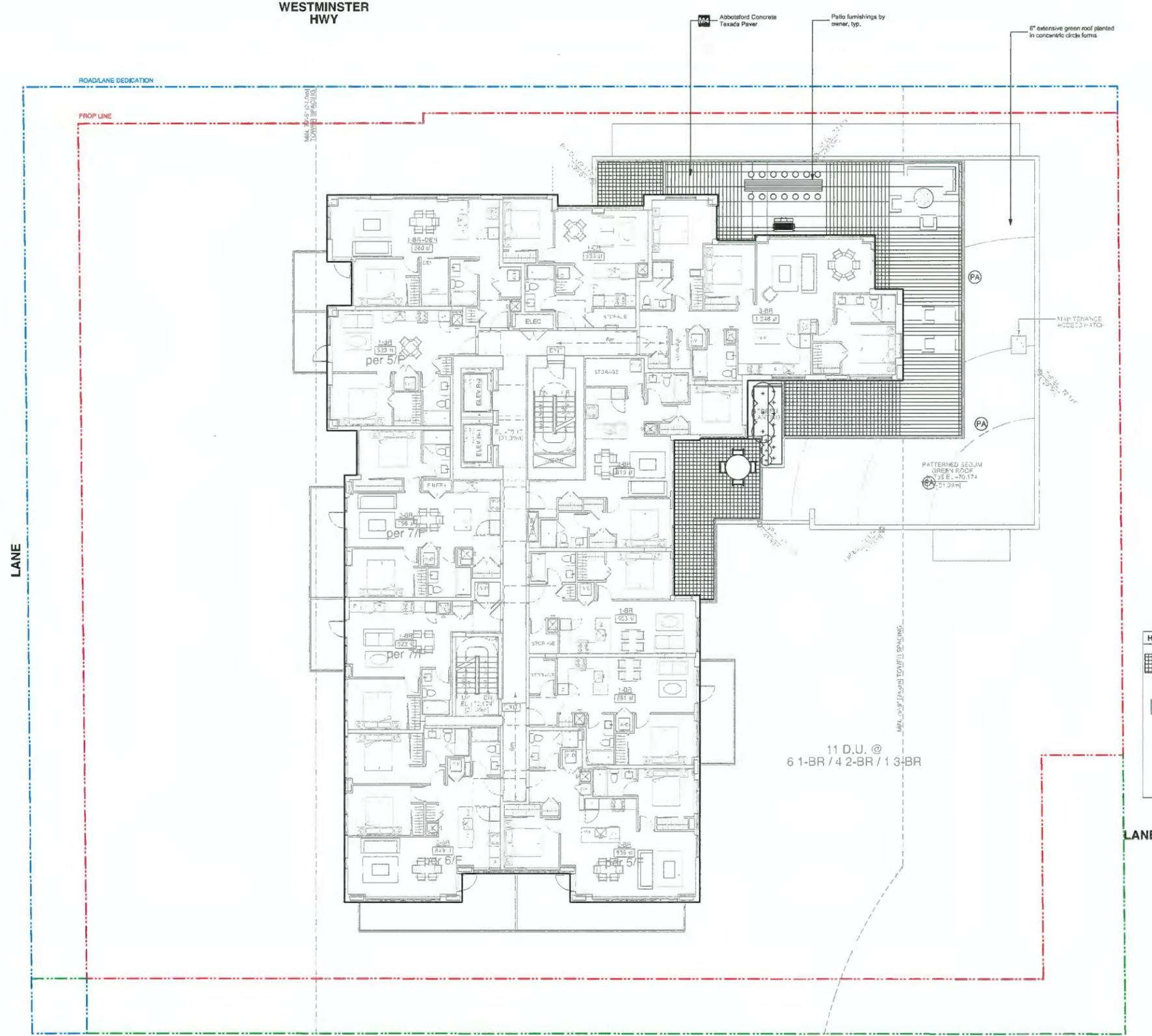
Drawing Title
L5 - Materials Plan
Materials Plan

Project Manager	Project Manager
Client	Client
Drawn By	Drawn By
Reviewed By	Reviewed By
Scale	Scale
Plot Date	Plot Date



Plan #33

WESTMINSTER HWY



Revision No.	Date	Revision Notes
A	2019-11-06	Issue for review
B	2019-11-20	Issue for DP
C	2020-06-14	Issue for Review per Staff Comments
D	2020-10-09	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-05-25	Re-issued for DP

Issue No.	Date	Issue Notes
A	2019-11-06	Issue for review
B	2019-11-20	Issue for DP
C	2020-06-14	Issue for Review per Staff Comments
D	2020-10-09	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-05-25	Re-issued for DP

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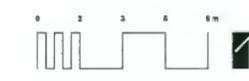
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Project
8100 Westminster Hwy
 8100 - 8180 Westminster Hwy
 Project Address

Drawing Title
L8 - Materials Plan
Materials Plan

HARD MATERIALS PLAN LEGEND

- M4 Concrete pavers : 24" x 24" sizes, 2" Thickness; FINISH: Natural Rough Finish; COLOUR: Charcoal; PATTERN: Grid
- Patio furnishings by owner, typ.
- Tree Trunk
- Planting area anno



Project Manager	Project
JJ	21038
Client	Scale
AS	AS NOTED
Reviewed By	Drawn By
CS	JJ
Date	
00/00/00	
	Plan #34

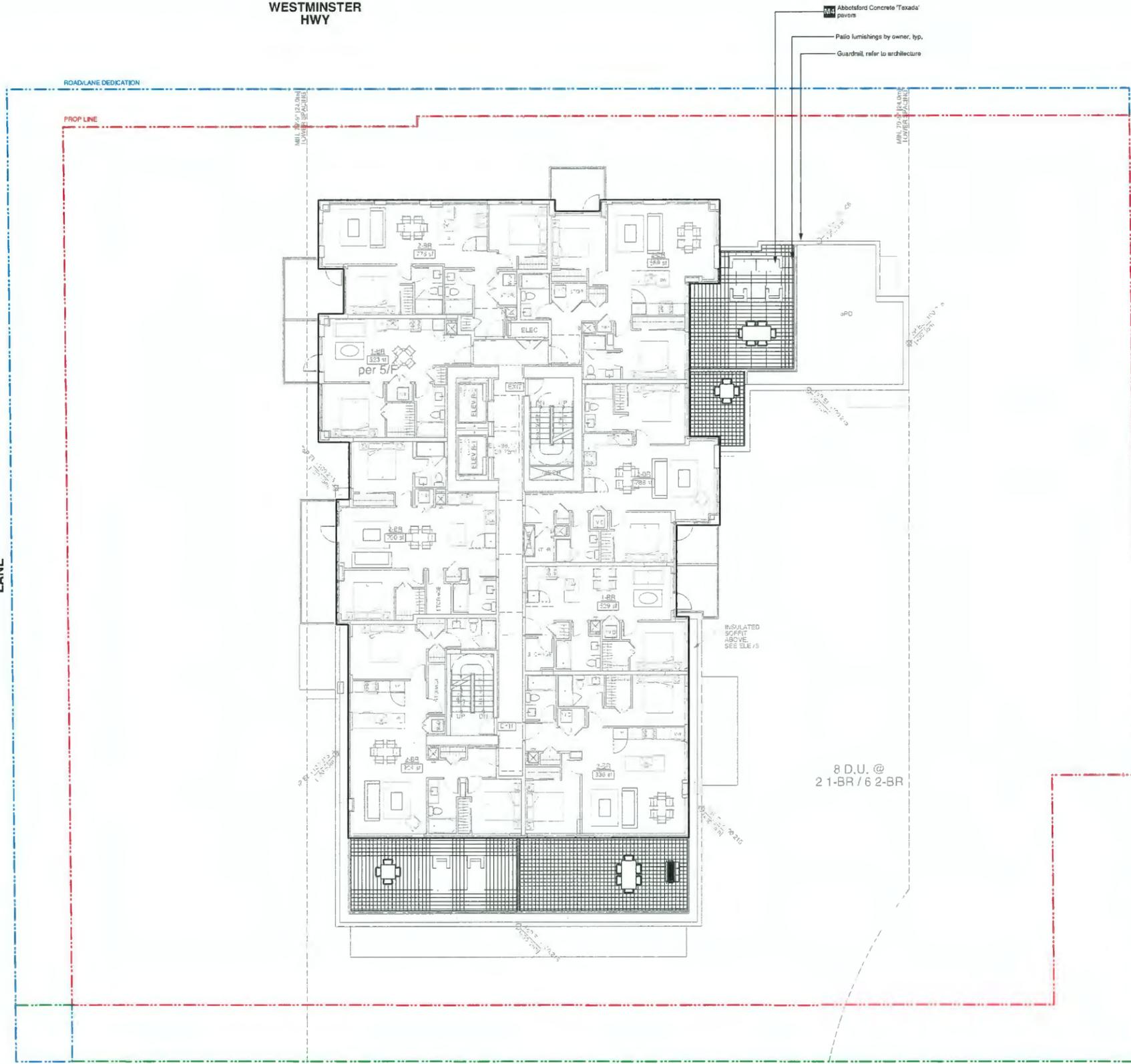
LANE

LANE

11 D.U. @
 6 1-BR / 4 2-BR / 1 3-BR

CS11P13GV.GDW

WESTMINSTER HWY



Revision No.	Date	Revision Notes

Issue No.	Date	Issue Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for DP
C	2020-05-14	Issue for Review per Draft DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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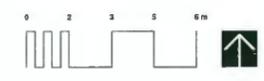
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Project
8100 Westminster Hwy
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 Project Address

Drawing Title
L11 - Materials Plan
Materials Plan

HARD MATERIALS PLAN LEGEND

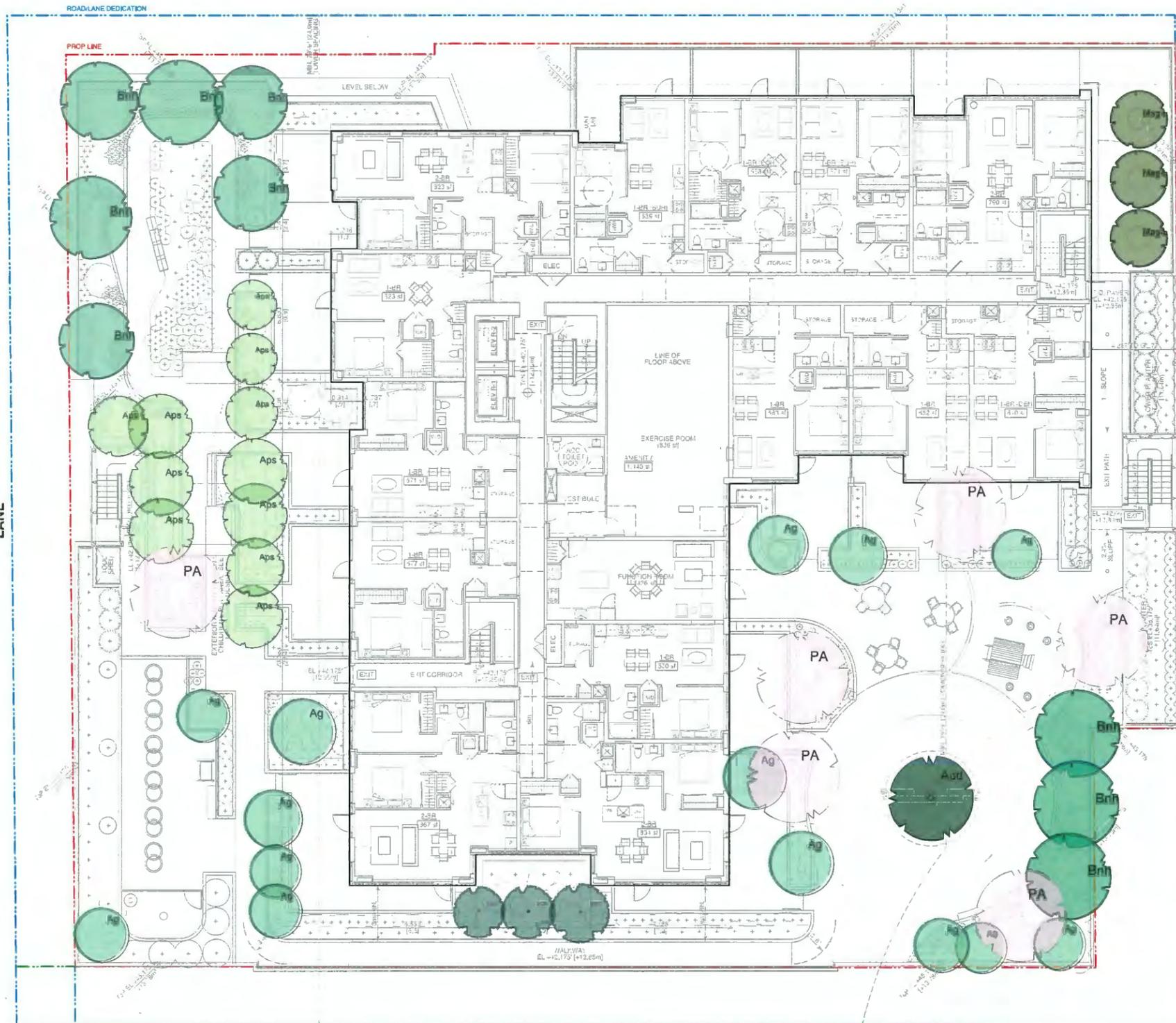
- Concrete pavers ; 24" x 24" sizes, 2" Thickness; FINISH: Natural Rough Finish; COLOUR: Charcoal; PATTERN: Grid
- Tables & Chairs, by owner typ.
- Sofa seats, by owner typ.
- Tree Trunk
- Planting area anno



Project Manager	Project ID
00/00/00	21938
Drawn By	Date
00/00/00	00/00/00
Reviewed By	Drawn By
00/00/00	00/00/00

Plan #35

WESTMINSTER HWY



Revision No.	Date	Revision Notes
A	2019-11-08	Issue for m.lsh
B	2019-11-08	Issue for DP
C	2020-09-14	Issue for Review per Staff DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-05-25	Re-issued for DP

Issue No.	Date	Issue Notes
A	2019-11-08	Issue for m.lsh
B	2019-11-08	Issue for DP
C	2020-09-14	Issue for Review per Staff DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-05-25	Re-issued for DP

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Project

8100 Westminster Hwy

8100 - 8180 Westminister Hwy

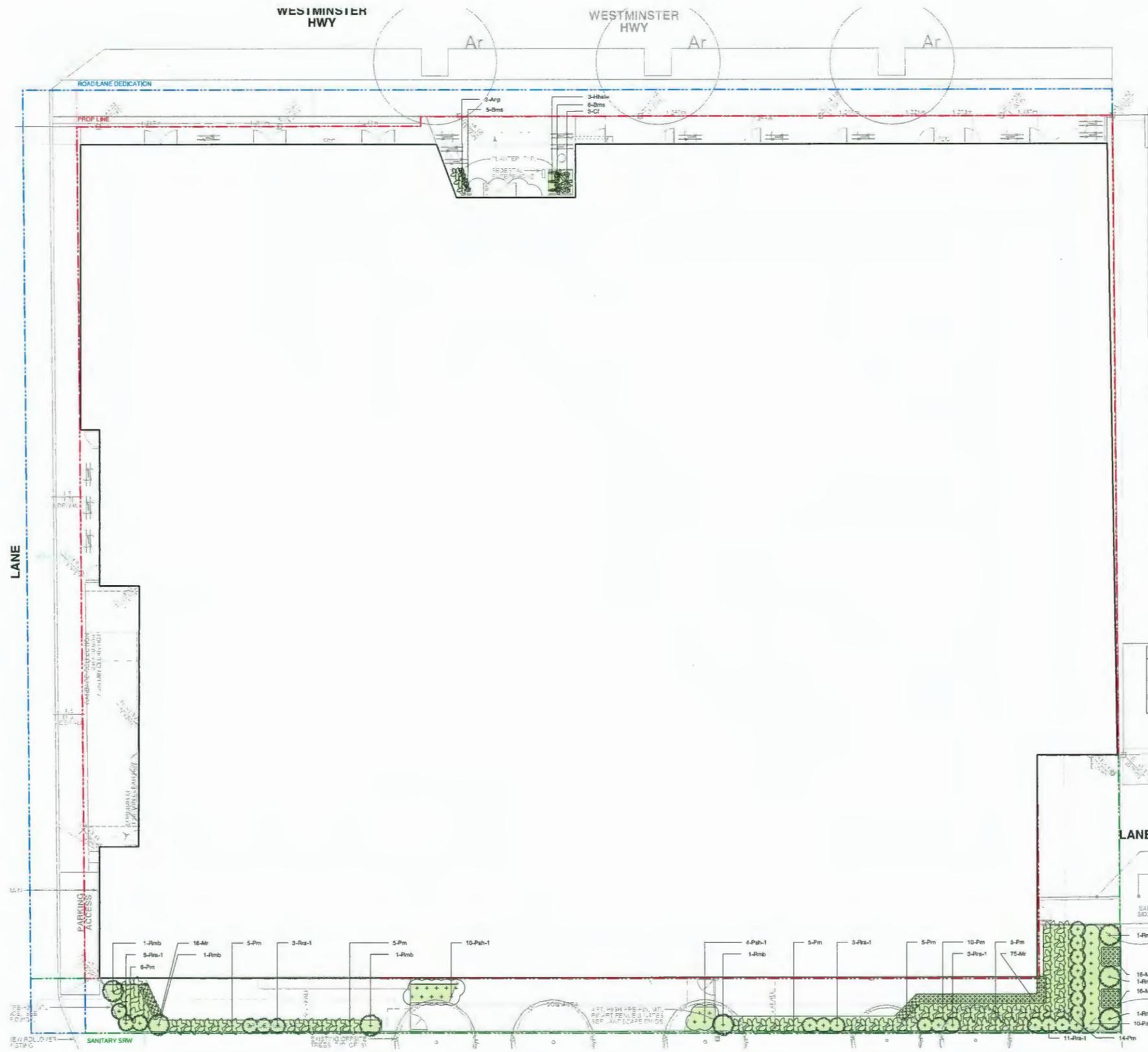
Project Address

Drawing Title

L5 - Tree Plan



Project Manager	Project ID
JW	21938
Scale	1:100
Drawn By	Drawn Date
CD/00/00	
Plan #36	



BIRD STRATEGY

- 1) LANDSCAPE CONSISTS OF NATIVE AND NON-INVASIVE PLANTS TO ATTRACT BIRDS BY PROVIDING FOOD AND SHELTER.
- 2) PLANTING LAYERS OF GROUND-COVER, SHRUBS AND TREES TO CREATE VERTICAL VEGETATION STRUCTURE TO ENHANCE BIRD SPECIES RICHNESS AND DIVERSITY.
- 3) LANDSCAPE CONSISTS OF NATIVE PLANTS THAT PROVIDE A VARIETY OF FORAGING OPTIONS FOR BIRDS WHICH INCLUDE: SEEDS, FRUITS, NUTS AND NECTAR.
- 4) LANDSCAPE CONSISTS OF PLANTS WITH EARLY FLOWERING TO ENSURE A RELIABLE SUPPLY OF NECTAR.
- 5) MINIMAL LAWN AREA TO CREATE MORE BIODIVERSITY OF PLANTING.
- 6) REDUCTION OF LIGHT POLLUTION.
- 7) NEST BOXES LOCATED AROUND SITE

EDIBLE PLANTING STRATEGY

- 1) L5: URBAN AGRICULTURE AREA WITH LARGE PLANTER BOXES, TOOL STORAGE SHED AND COMMUNAL HARVEST TABLE ON WHICH TO SERVE PRODUCE. ROW OF SPIRE APPLE TREES FLANK THE WEST SIDE.
- 2) L5: ROW OF BLUEBERRY AND RASPBERRY SHRUBS, AND GRAPE ON ARBOUR STRUCTURE, ALONG SOUTH WALKWAY
- 3) L5 WEST SIDE: BLACK ELDERBERRY BERRIES AND FLOWERHEADS, AND HOSTA LEAVES EDIBLE
- 4) THROUGHOUT SITE: LAVENDER, ROSA RUGOSA AND EVERGREEN HUCKLEBERRY HAVE EDIBLE VALUE
- 5) THROUGHOUT SITE: NATIVE SHRUBS SUCH AS FLOWERING CURRANT ATTRACT POLLINATORS FOR EDIBLE PLANTS

SOFT LANDSCAPE PLANTING PLAN LEGEND

##-Xxx
 Shrub & Groundcovers soft callouts, ##= number of plants in area, Xxx= Plant species abbreviation, refer to soft landscape schedule

Revision No.	Date	Revision Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for DP
C	2020-06-14	Issue for Review per Staff DP Comments
D	2020-10-06	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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F	2021-06-25	Re-issued for DP

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Project
8100 Westminister Hwy

8100 - 8180 Westminister Hwy
 Project Address

Drawing Title
L1 - Planting Plan

Project Manager	Project Manager
Project Manager	Project Manager
Scale	Scale
1:100	1:100
Drawn By	Drawn By
Checked By	Checked By
00/03/00	00/03/00
Plan #37	



WESTMINSTER HWY



BIRD STRATEGY

- 1) LANDSCAPE CONSISTS OF NATIVE AND NON-INVASIVE PLANTS TO ATTRACT BIRDS BY PROVIDING FOOD AND SHELTER.
- 2) PLANTING LAYERS OF GROUND-COVER, SHRUBS AND TREES TO CREATE VERTICAL VEGETATION STRUCTURE TO ENHANCE BIRD SPECIES RICHNESS AND DIVERSITY.
- 3) LANDSCAPE CONSISTS OF NATIVE PLANTS THAT PROVIDE A VARIETY OF FORAGING OPTIONS FOR BIRDS WHICH INCLUDE: SEEDS, FRUITS, NUTS AND NECTAR.
- 4) LANDSCAPE CONSISTS OF PLANTS WITH EARLY FLOWERING TO ENSURE A RELIABLE SUPPLY OF NECTAR.
- 5) MINIMAL LAWN AREA TO CREATE MORE BIODIVERSITY OF PLANTING.
- 6) REDUCTION OF LIGHT POLLUTION.
- 7) NEST BOXES LOCATED AROUND SITE

EDIBLE PLANTING STRATEGY

- 1) L5: URBAN AGRICULTURE AREA WITH LARGE PLANTER BOXES, TOOL STORAGE SHED AND COMMUNAL HARVEST TABLE ON WHICH TO SERVE PRODUCE, ROW OF SPIRE APPLE TREES FLANK THE WEST SIDE.
- 2) L5: ROW OF BLUEBERRY AND RASPBERRY SHRUBS, AND GRAPE ON ARBOUR STRUCTURE, ALONG SOUTH WALKWAY
- 3) L5 WEST SIDE: BLACK ELDERBERRY BERRIES AND FLOWERHEADS, AND HOSTA LEAVES EDIBLE
- 4) THROUGHOUT SITE: LAVENDER, ROSA RUGOSA AND EVERGREEN HUCKLEBERRY HAVE EDIBLE VALUE
- 5) THROUGHOUT SITE: NATIVE SHRUBS SUCH AS FLOWERING CURRANT ATTRACT POLLINATORS FOR EDIBLE PLANTS

SOFT LANDSCAPE PLANTING PLAN LEGEND

##-Xxx Shrubs & Groundcovers soft callouts, ##= number of plants in area
 Xxx= Plant species abbreviation, refer to soft landscape schedule

Revision No.	Date	Revision Notes
A	2018-11-08	Issue for review
B	2018-11-20	Issue for DP
C	2020-05-14	Issue for Review per Staff DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-05-25	Re-issued for DP

Issue No.	Date	Issue Notes
A	2018-11-08	Issue for review
B	2018-11-20	Issue for DP
C	2020-05-14	Issue for Review per Staff DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-05-25	Re-issued for DP

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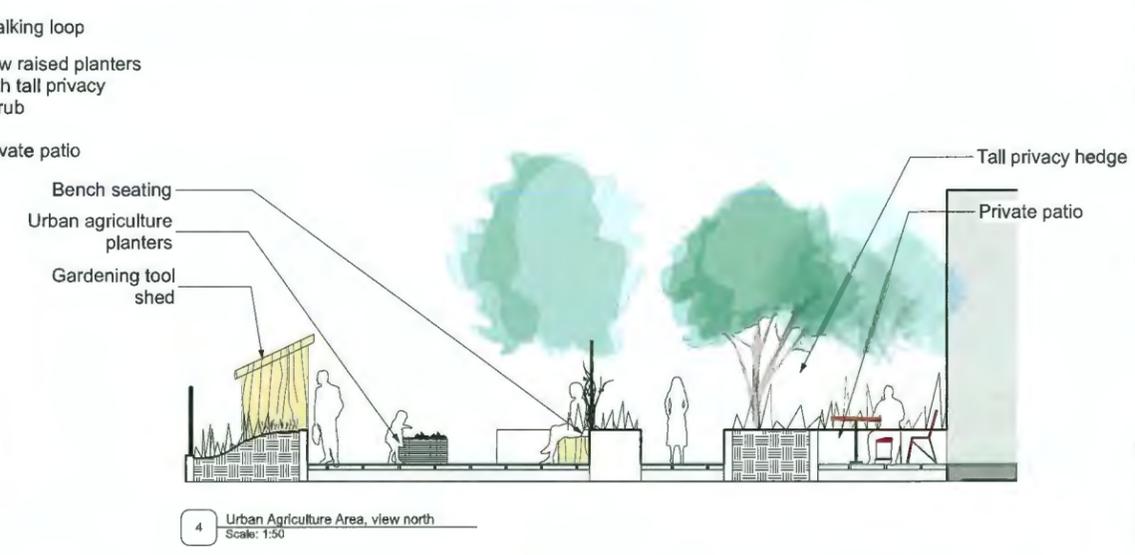
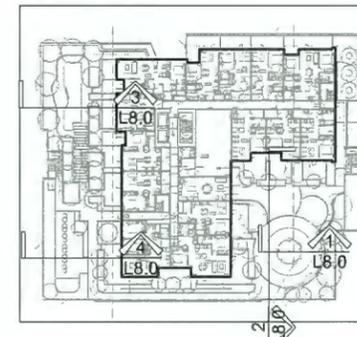
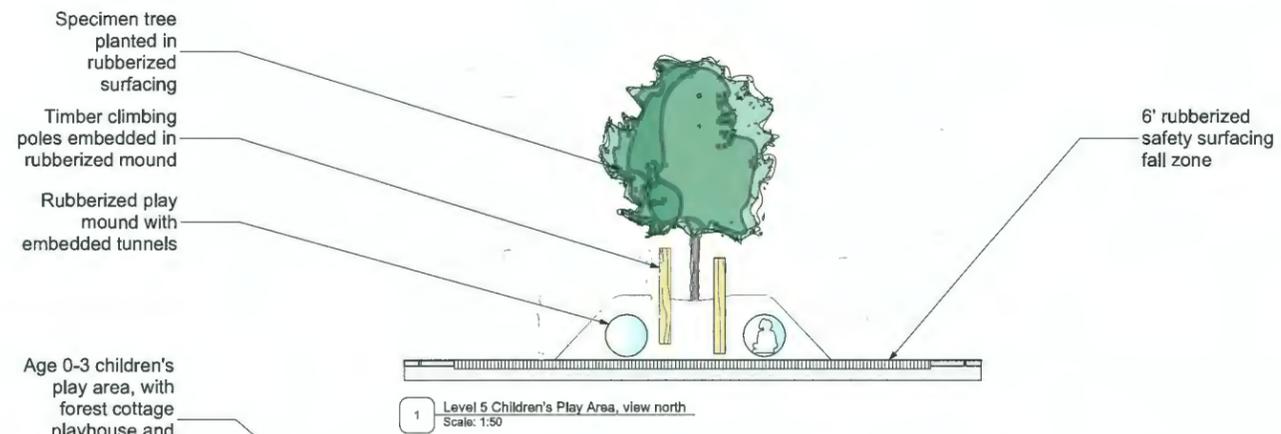
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Project
8100 Westminister Hwy
 8100 - 8180 Westminister Hwy
 Project Address

Drawing Title
L5 - Planting Plan

Project Manager	Project ID
Project Manager	21938
Client	Scale
JS	As Noted
Drawn By	Drawn Date
Revised By	Revised Date
CD	00/00/00
Project Date	

Plan #38



Revision No.	Date	Revision Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for DP
C	2020-05-14	Issue for Review per ECAF DP Comments
D	2020-10-06	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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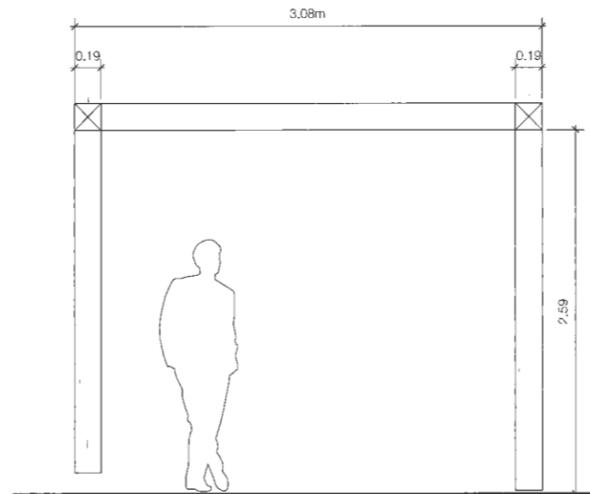
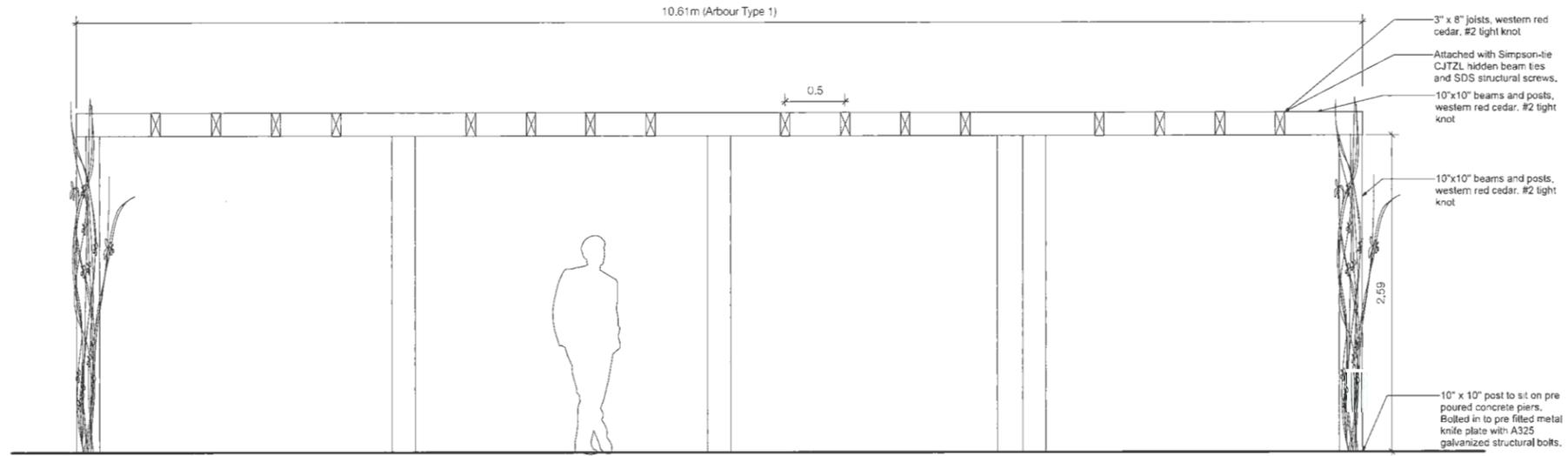
Project
8100 Westminster Hwy

8100 - 8180 Westminister Hwy
Project Address

Drawing Title
Landscape Sections

Project Manager	Project ID
21938	
Scale	Scale
1:50	1:50
Drawn By	Drawn No.
000000	3
Reviewed By	Reviewed No.
Date	
00/00/00	

Plan #40



Refer to materials legend for materials and finish. Shop drawings required. Refer to structural for fastenings.

1 Arbour
Scale: 1:20

No.	Date	Revision Notes

Issue No.	Date	Issue Notes
A	2014-11-03	Issue for RFP
B	2015-11-03	Issue for CP
C	2015-04-11	Issue for RFP - 6000 8000 2000 10
D	2015-10-05	Revised for CP
E	2017-04-27	Revised for CP
F	2017-04-27	Revised for CP

Project: 18 2018

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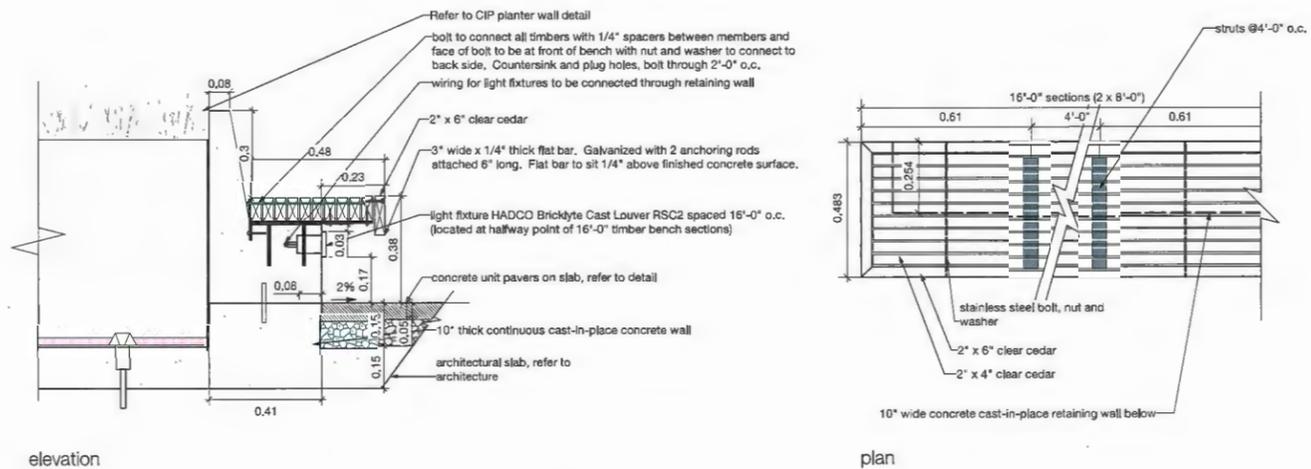
Project
8100 Westminister Hwy

8100 - 8180 Westminister Hwy
Project Address

Scale: 1:20
Site Furnishings Details 3

Project Manager	Project #
JD	21938
Drawn By	Scale
JD	1/8" = 1'-0"
Reviewed By	Drawing No.
	3kk
Date	
03/03/00	

Plan #41



elevation

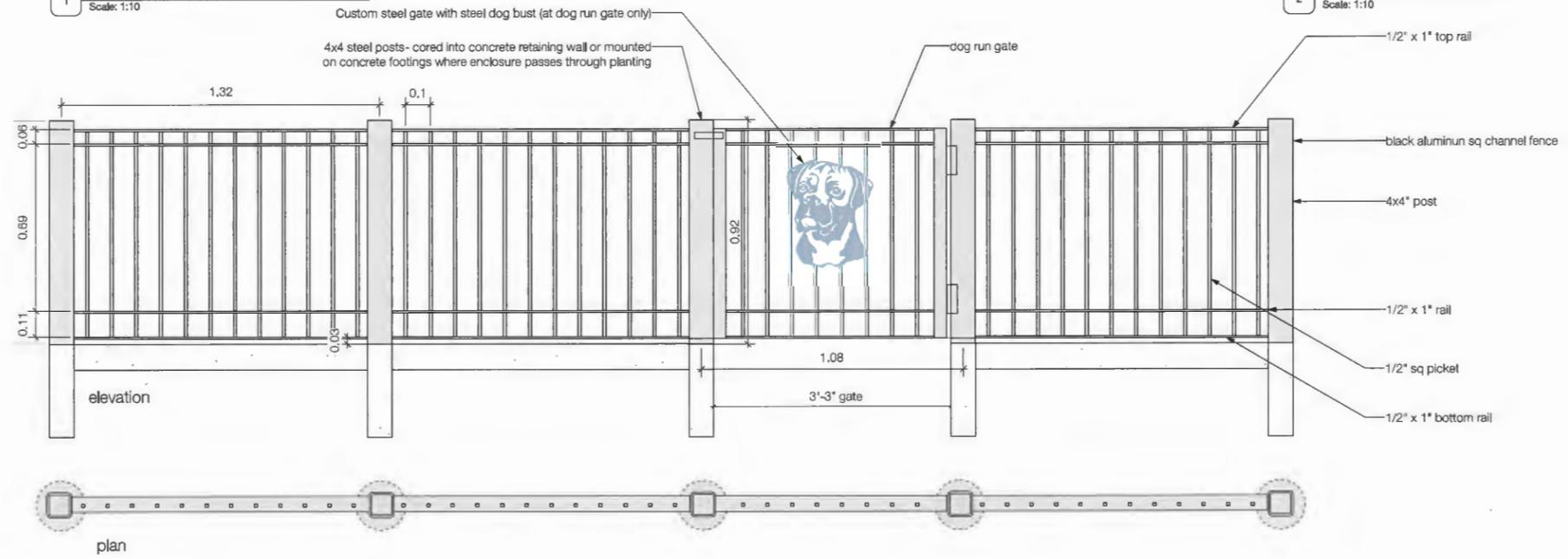
plan



Revision		
No.	Date	Revision Notes
A	2015-11-8	Issue for review
B	2015-11-20	Issue for CP
C	2020-08-14	Issue for Review per Staff CP Comments
D	2020-10-05	Re-issued for CP
E	2021-04-07	Re-issued for CP
F	2021-06-25	Re-issued for CP

1 DETAIL: Timber Seat with Backrest on Concrete Wall
Scale: 1:10

2 IMAGE: Tool Storage Shed, Outdoor Living Today, Item No. 1055529, Costco
Scale: 1:10



elevation

plan

3 DETAIL: 3' Dog Area Gate/Fence
Scale: 1:10

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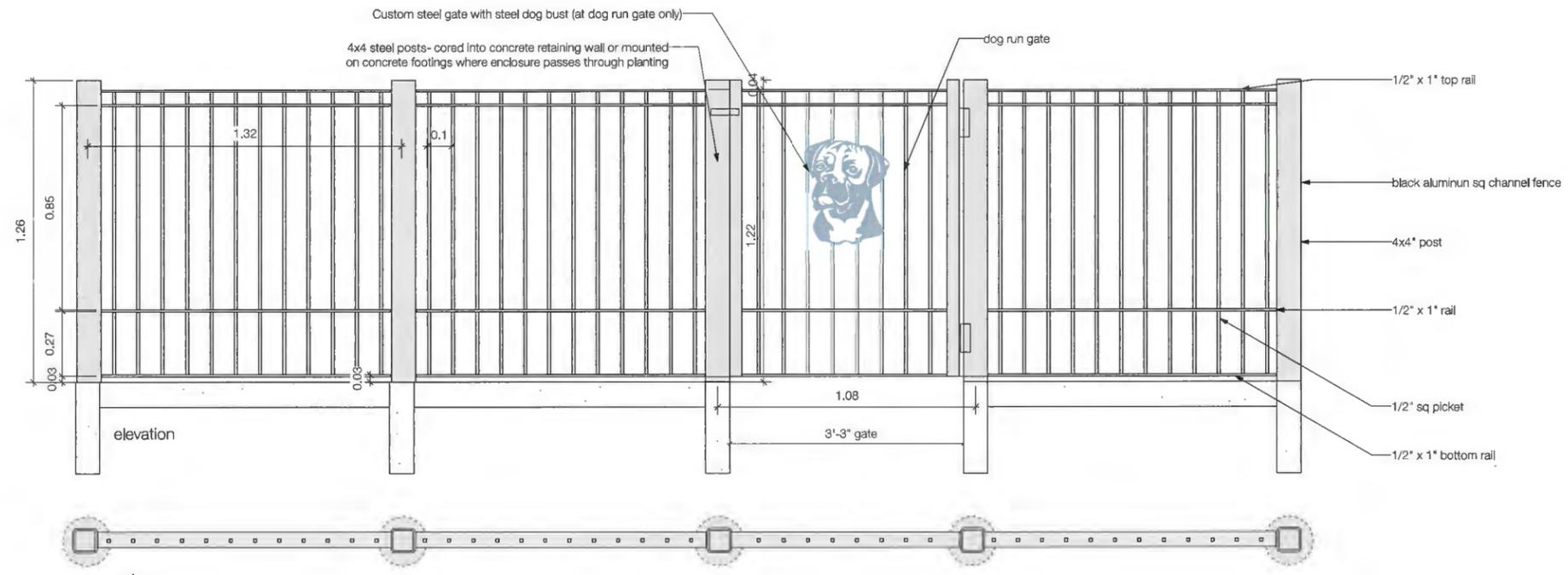
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Project
8100 Westminster Hwy
8100 - 8160 Westminister Hwy
Project Address

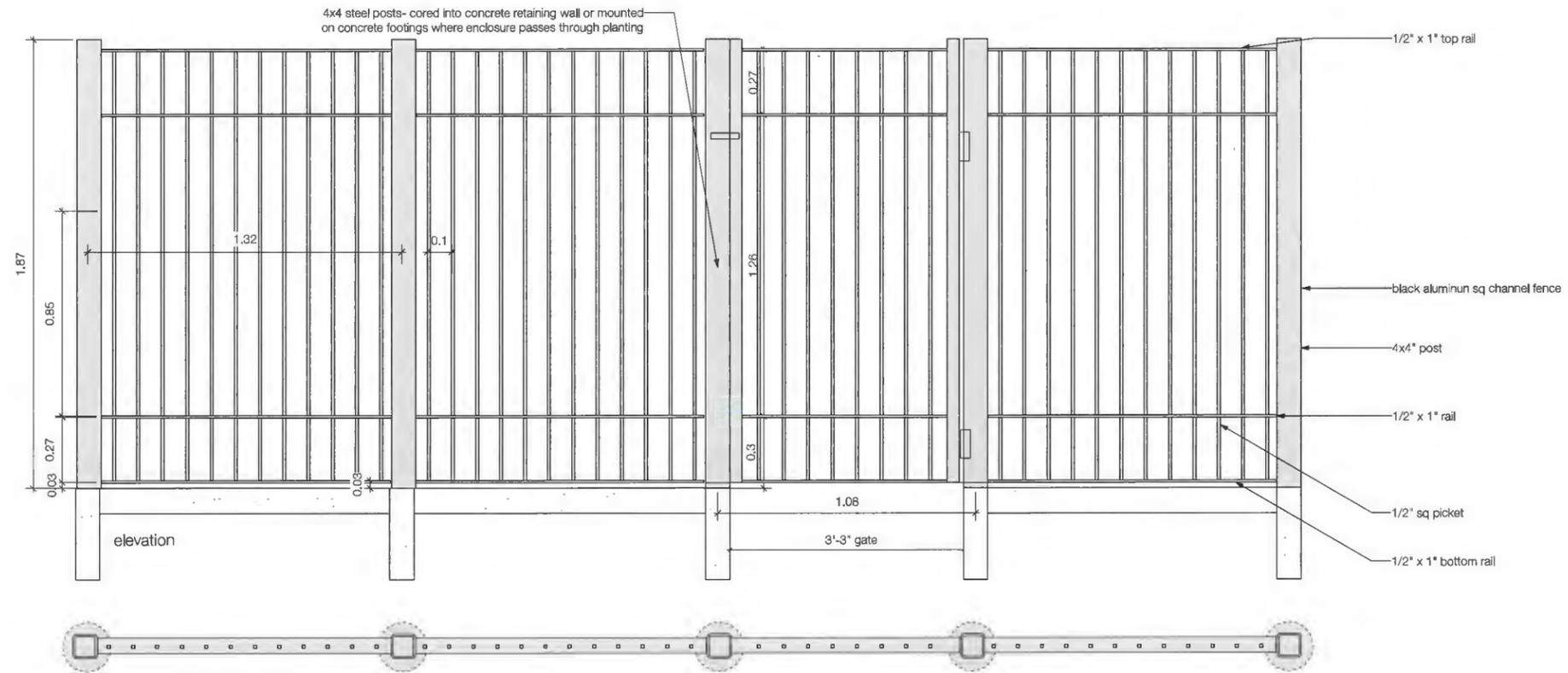
Drawing Title
Site Furnishings Details 4

Project Manager	Tracy C 21938
Drawn By	JS
Reviewed By	Chris No. 311
Date	03/03/20
PK4 Date:	

Plan #42



1 DETAIL: 4' Dog Area Gate/Fence
Scale: 1:10



2 DETAIL: 6' Metal picket fence
Scale: 1:10

Revision No.	Date	Revision Notes
--------------	------	----------------

Issue No.	Date	Issue Notes
A	2019-11-05	Issue for review
B	2019-11-02	Issue for CP
C	2020-09-11	Issue for Review per Staff DP Comments
D	2020-10-05	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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Project

8100 Westminister Hwy

8100 - 8180 Westminister Hwy

Project Address

Drawing Title

Site Furnishings Details 5

Project Manager	Francis
Project Manager	21938
Drawn By	JS
Drawn By	8/10/20
Reviewed By	3mm
Date	03/03/20

Plan #43

File Name:

ECO DOG STATION™ POLY

Model : DL-EDS100-POLY

STANDARD FEATURES

- EXCLUSIVE PRODUCT to Gyms - for Dogs™ and Livin' The Dog Life™
- Aluminum Waste Bag Dispenser
- Bag dispenser holds 2 x 4' x 4' of ORO-BIODEGRADABLE Litter Pk Lb Bags
- 10 gallon Poly Trash Receptacle with lid with mounting hardware
- Box of 50 Trash can liner bags
- Locking dispenser holds 2 200 ct refill boxes.

PRODUCT DIMENSIONS
Dimensions: 58" H x 19" W x 14" D

RECOMMENDED SPECIFICATIONS

Aluminum Bag Dispenser

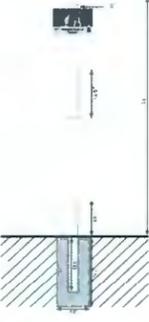
- H: 12.5" x W: 9" x D: 3.5"
- 14 gauge powder coated forest green Aluminum
- Weight: 6 lbs.
- 400 bag capacity
- Two diamond shaped bag dispenser slots
- Flange locking access panel
- Clearly posted instructions

Poly Trash Receptacle Receptacle with Lid

- H: 21" x W: 14" x D: 12"
- 2.5 mm ABS / PP forest green polystyrene
- Weight: 4 lbs.
- 10 gallon capacity
- Attachable hinged lid
- One (1) box 50 count Trash Bags included (5' lbs.)

Poly Post

- #7 1/8 gauge Fiberglass
- Weight: 8 lbs.
- 58" total height from above ground
- Fill with 40 lbs "ready to use" cement

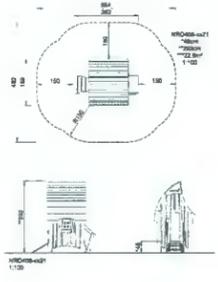
GYMS FOR DOGS™
Natural Dog Park Products

LIVIN' THE DOG LIFE™
DOG PARK PRODUCTS & DESIGNS

sales@LivinTheDogLife.com www.LivinTheDogLife.com 800-931-1562 Phone

1 Eco Dog station
Scale: 1:20

KOMPAN™
Let's play



Weight/heaviest part kg. **Installation (Manpower)** Persons

Concrete required m³ **Installation (Hours)** Hours

Foundation amount/footing m³ **Excavation** m³

↳ H: gross del glazed ply surface.
↳ Total height of product.

KOMPAN INC. C.F. "The Big One" 33C
Df 5220 066 use 58 Tel: +43 43 62 12 50
info@kmpn.com | www.kmpn.com

KOMPAN INC. License No. FSC-000483C | www.fsc.org
The way we help you help the world.

4 KOMPAN Robinia Forest Cottage Playhouse
Scale: 1:20

TRASH CONTAINERS

MAGLIN™

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F: 877 360 3263
www.maglin.com
sales@maglin.com

MLWR200-20-ST

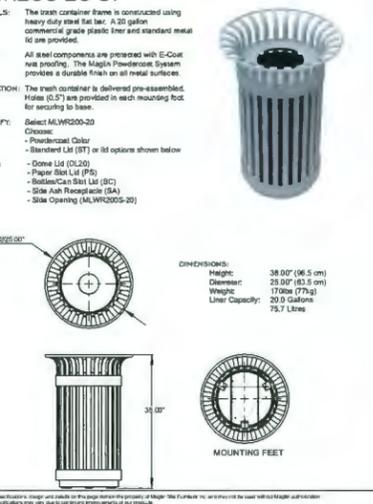
MATERIALS: The trash container frame is constructed using heavy duty steel flat bar. A 20 gallon commercial grade plastic liner and standard metal lid are provided.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The trash container is delivered pre-assembled. Holes (Ø 5") are provided in each mounting foot for securing to base.

TO SPECIFY: Select MLWR200-20
Options:
• Powdercoat Color
• Standard Lid (ST) or lid options shown below

OPTIONS:
• Dome Lid (DL20)
• Paper Roll Lid (PL)
• Bottle/Can Slot Lid (BC)
• Side Ash Receptacle (SA)
• Side Opening (MLWR200-20)



TO SPECIFY: Select MLWR200-20
Options:
• Powdercoat Color
• Standard Lid (ST) or lid options shown below

OPTIONS:
• Dome Lid (DL20)
• Paper Roll Lid (PL)
• Bottle/Can Slot Lid (BC)
• Side Ash Receptacle (SA)
• Side Opening (MLWR200-20)

DIMENSIONS:
Height: 38.00" (96.5 cm)
Diameter: 20.00" (50.8 cm)
Weight: 17.0 lbs (7.7 kg)
Liner Capacity: 20.0 Gallons
75.7 Litres

MOUNTING FEET

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2 Waste Receptacle
Scale: 1:20

pot
inc. or pot. inc.

GEO 3 PLANTER

INSTALLATION:

- 1" rim for structural integrity and aesthetics
- 1" drain holes - water tight plug available for interior use
- 1" debossed feet for surface elevation

MATERIALS AVAILABLE:

- 8 - 10 gauge flange dependent 5052 marine grade powder-coated aluminum
- 10 - 12 gauge (size dependent) A806 Corten weathering steel
- 14 - 16 gauge 304 brushed stainless steel

CUSTOM SIZING AVAILABLE
PREMIUM FINISHES OR REQUEST A CUSTOM COLOUR

POWDER COATED ALUMINUM COLOURS: SLATE, GUN, POLAR, COFFEE, LAVA, EMERALD

STEEL FINISHES: 11, 12

604 862 4273 | info@potinc.ca

5 Pot Inc Aluminum Geo 3 Planter
Scale: 1:20

GYMS FOR DOGS™
Natural Dog Park Products



3 Fire Hydrant
Scale: 1:20

500 SERIES

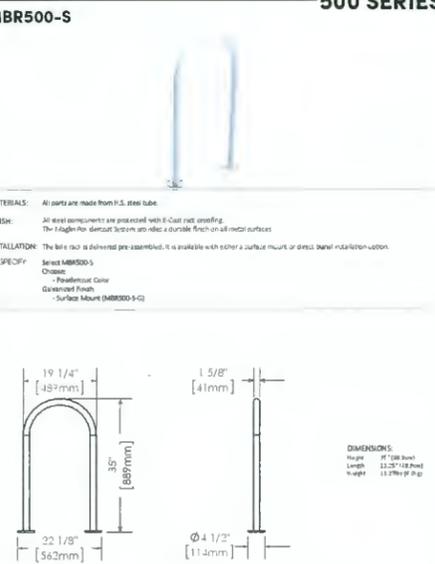
MBR500-S

MATERIALS: All parts are made from 11.5 steel tube.

FINISH: All steel components are protected with E-Coat rust proofing. The Maglin Powdercoat System provides a durable finish on all metal surfaces.

INSTALLATION: The bike rack is delivered pre-assembled. It is available with either a surface mount or direct wall installation option.

TO SPECIFY: Select MBR500-S
Options:
• Powdercoat Color
• Galvanized Finish
• Surface Mount (MBR500-S-C)



DIMENSIONS:
Height: 21.708" (552mm)
Length: 22.25" (565mm)
Weight: 11.25 lbs (5.1kg)

MAGLIN™

T: 800 716 5306
F: 877 360 3263
www.maglin.com
sales@maglin.com

6 Maglin Bike Rack
Scale: 1:20

Revision No.	Date	Revision Notes
A	2019-11-08	Issue for review
B	2019-11-20	Issue for CP
C	2020-09-14	Issue for Review per Staff CP Comments
D	2020-10-05	Re-issued for CP
E	2021-04-27	Re-issued for CP
F	2021-06-25	Re-issued for CP

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Project
8100 Westminster Hwy

8100 - 8180 Westminister Hwy
Project Address

Drawing Title
Site Furnishings Details 6

Project Manager	Project
Drawn By	Scale
Checked By	Issue No.
Reviewed By	Drawing No.
Date	
00/00/00	

Plan #44



L1 Entryway planters



L5 Timber arbours



L5 Black granite water feature cubes



L5 Black river rock mortared runnel



L5 Light pink cherry trees



L5 Light pink cherry petals on dark pavers



L5 Dark pavers, varied finishes



L5 Mosaic tiled urban ag planters



L5 Dining area with silver bistro furnishings



L5 Circular plaza forms

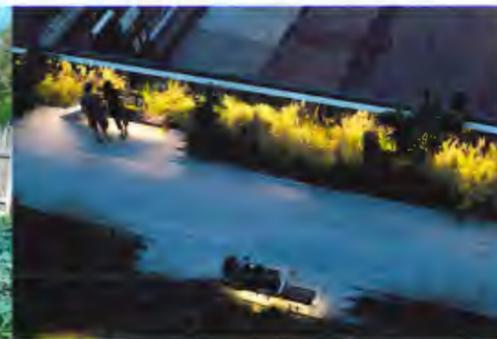
L5 Curved timber inset seatwalls



L5 Dog relief area with artificial turf and hydrant



L5 Round concrete urban agriculture planters



L5 Diffused night lighting

Revision

No.	Date	Revision Notes
-----	------	----------------

Issue

No.	Date	Issue Notes
A	2017-01-16	Issue for review
B	2019-11-03	Issue for DP
C	2020-06-14	Issue for Review per Staff GP Comments
D	2020-10-06	Re-issued for DP
E	2021-04-07	Re-issued for DP
F	2021-06-25	Re-issued for DP

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Project

8100 Westminister Hwy

8100 - 8180 Westminister Hwy

Project Address

Drawing Title

Precedent Images 1

Project Number	21938
Project Manager	JG
Scale	1:100
Drawn By	
Checked By	
Date	00:00:00

Plan #45

Plot Date



L5 Forest playhouse



L5 Custom tool storage shed



L5 Naturalized tree grove



L5 Warm planting palette



L8/L11 Feature tree in concrete planter



L5 Raspberry along south wall



L5 Japanese maple alley



L8/L11 Sedum green roof



L5 Japanese Stewartia



L5 River birch



L5 Play Area - Snakebark maple



L5 Spire apple



L5 Magnolia



L5 Rubberized surfacing mound play area



L5 Nature play for younger children



L5 Circular playspace with naturalized central area for active play

Revision		
No.	Date	Revision Notes

Issue		
No.	Date	Issue Notes
A	2014-11-06	Issue for review
B	2015-11-20	Issue for CP
C	2020-05-14	Issue for Review per Staff CP Comments
D	2020-10-06	Re-issued for CP
E	2021-04-07	Re-issued for CP
F	2021-06-25	Re-issued for CP

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for the development of the development project, and shall not be made
available to the public without the Consultant's prior written
consent and/or the recipient's written consent without liability to the
Consultant.

Project

8100 Westminster Hwy

8100 - 8180 Westminster Hwy

Project Address

Drawing Title

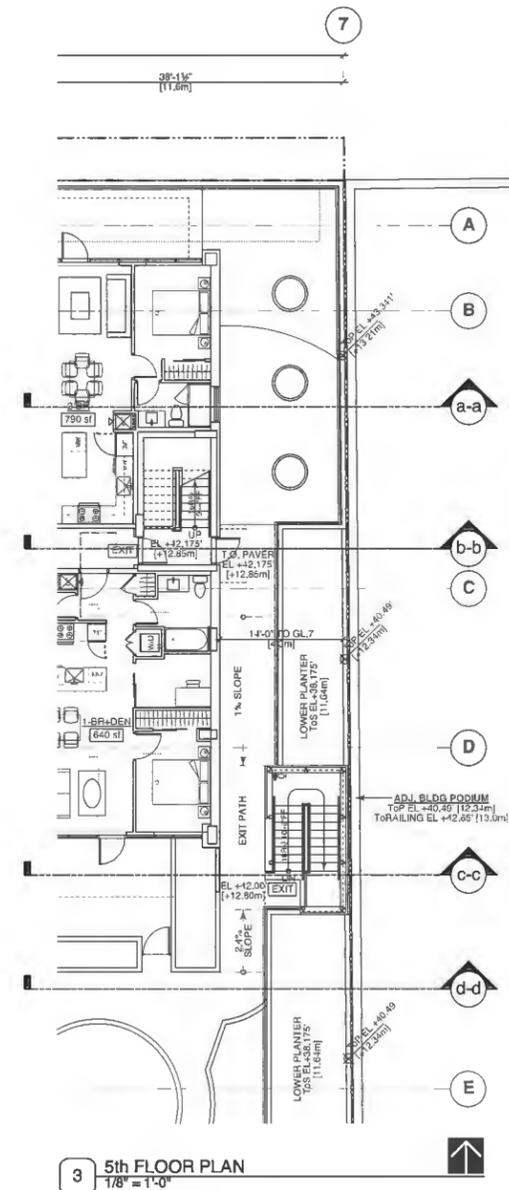
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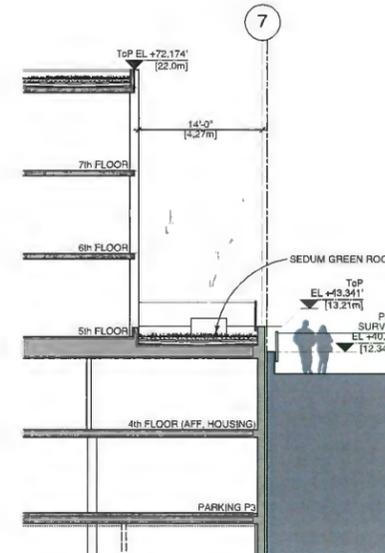
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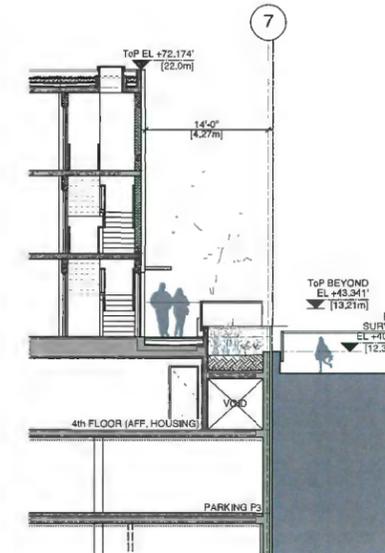
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2	2020-04-07	RE-ISSUED FOR DP
3	2021-04-07	RE-ISSUED FOR DP
4	2021-06-11	RE-ISSUED FOR DP
5	2021-06-22	RE-ISSUED FOR DP



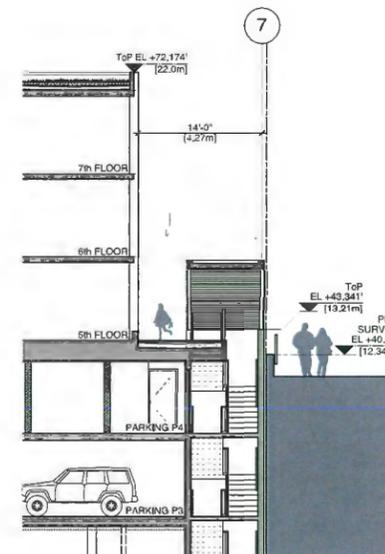
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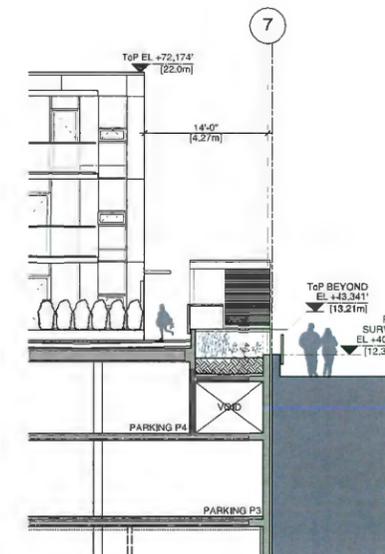
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2 SECTION b-b
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4 SECTION c-c
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5 SECTION d-d
1/8" = 1'-0"

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100-8180 WESTMINSTER HWY
RICHMOND, BC

PODIUM EAST
INTERFACE

JOB NO. 18-09
DRAWN BY KT
DATE 07 JUL 2021
SCALE 1/8" = 1'-0"
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DRAWING NO. 18-09-047



MARCH 20 @ 10am



SEPTEMBER 22 @ 10am



MARCH 20 @ 12pm



SEPTEMBER 22 @ 12pm



MARCH 20 @ 2pm



SEPTEMBER 22 @ 2pm

W. T. LEUNG
ARCHITECTS
INC.

Suite 300, 975 West Broadway,
Vancouver, British Columbia • Canada V5Z 1K3
Telephone: 604 736-9711, Facsimile: 604 736-7991

DATE	DESCRIPTION
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3 2021-04-07	RE-DESIGNED FOR DP
4 2021-06-11	RE-DESIGNED FOR DP
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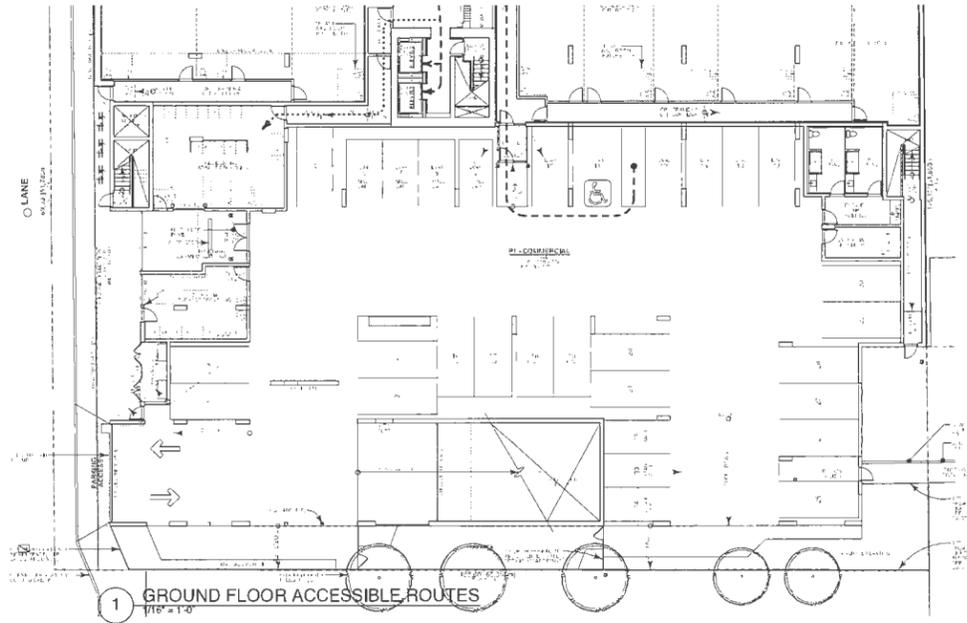
PROJECT
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WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

SHADOW
DIAGRAMS

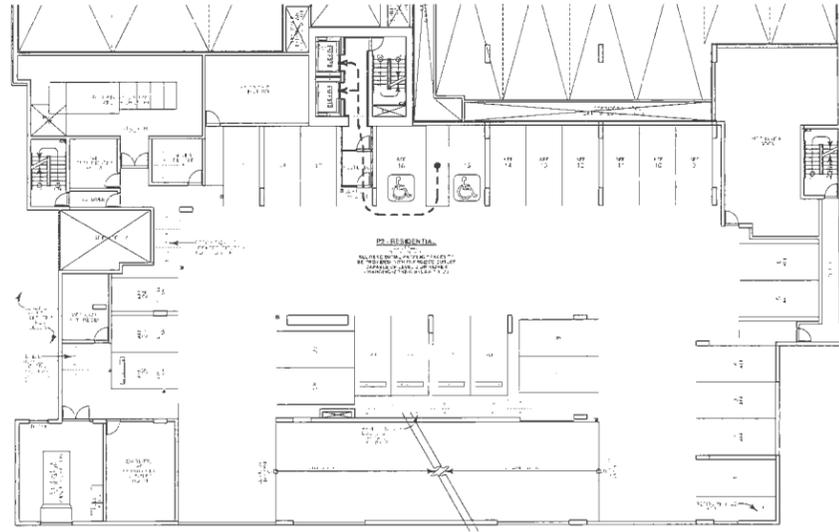


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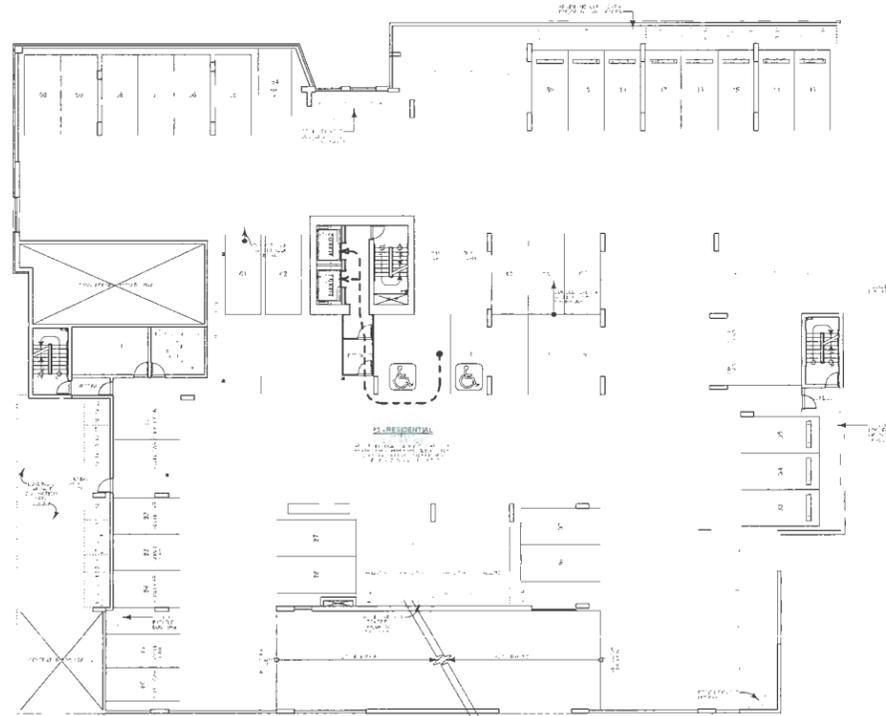
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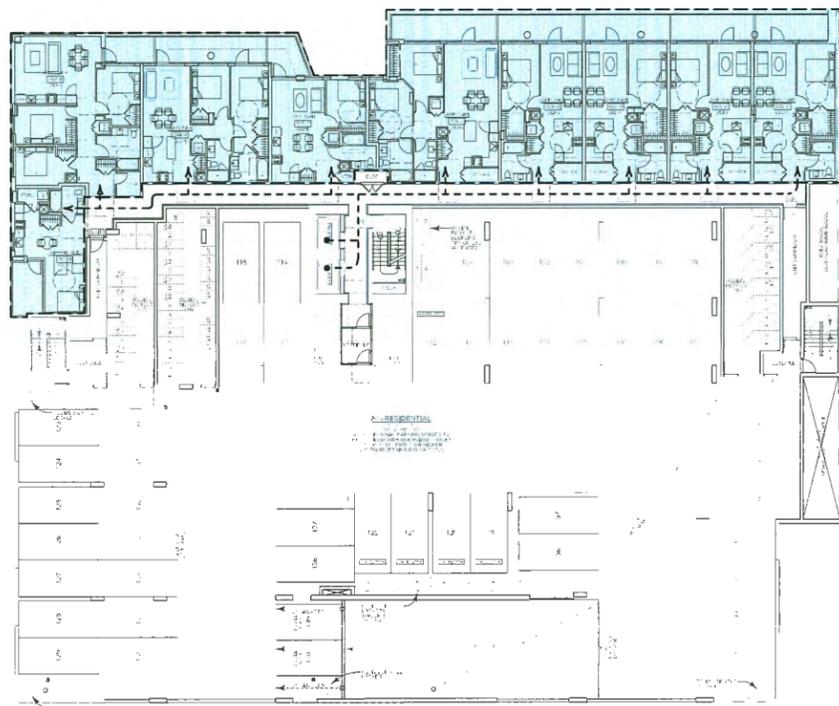
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2 PARKING P2 ACCESSIBLE ROUTE
1/16" = 1'-0"



3 PARKING P3 ACCESSIBLE ROUTE
1/16" = 1'-0"



4 4th FLOOR / PARKING P4 ACCESSIBLE ROUTE & LOCATIONS OF BUH UNITS
1/16" = 1'-0"

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3	2021-01-07	RE-ISSUED FOR DP
4	2021-06-11	RE-ISSUED FOR DP
5	2021-06-29	RE-ISSUED FOR DP

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

ACCESSIBILITY STRATEGY

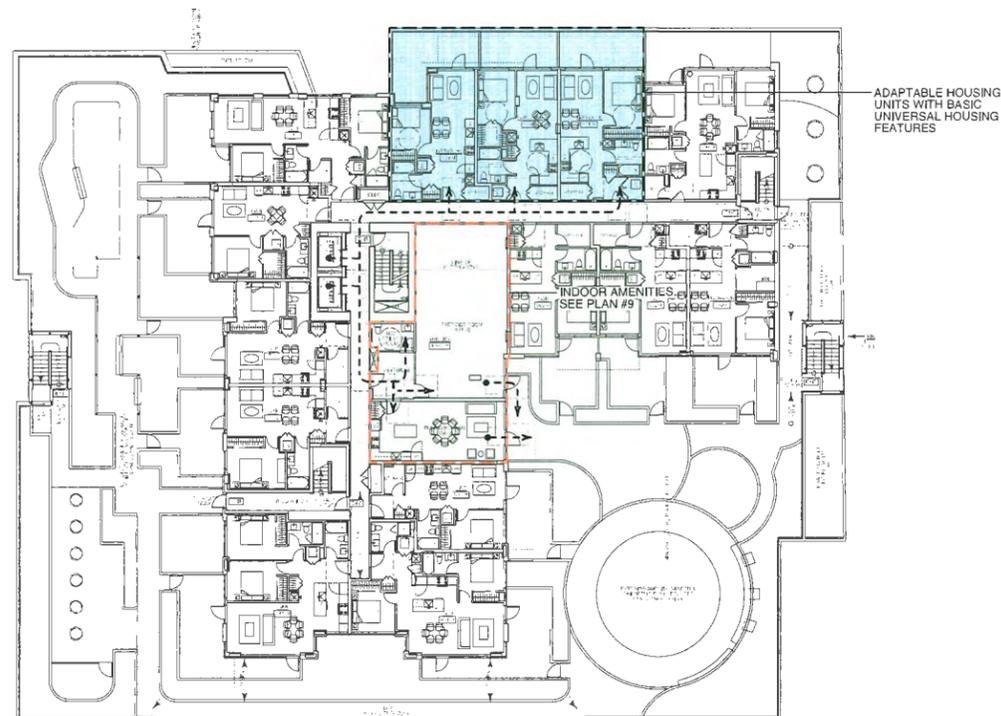


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DATE **29 JUN 2021**
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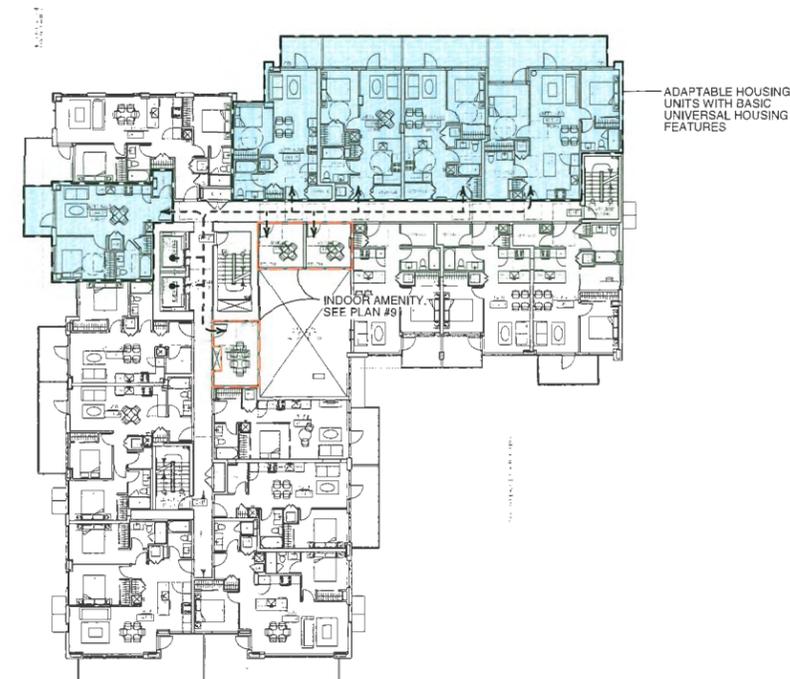
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Reference Plan

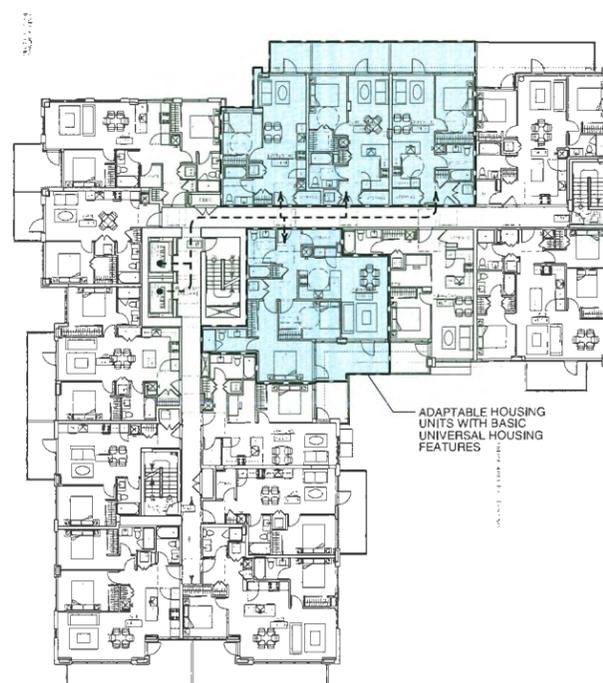
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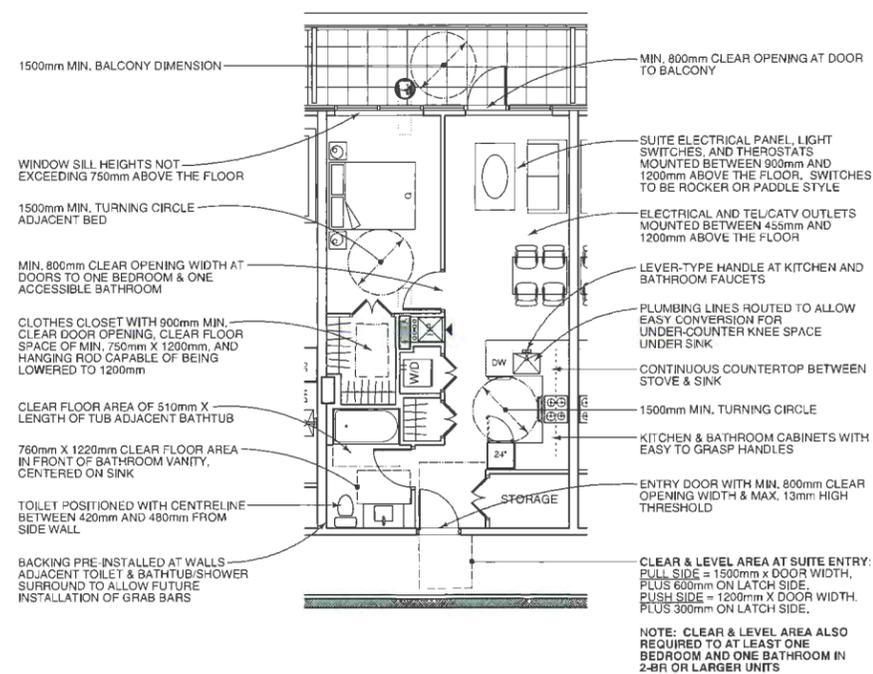
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2 6th FLOOR / AMENITIES ACCESSIBLE ROUTE & LOCATIONS OF BUH UNITS
1/16" = 1/4"



3 7th FLOOR ACCESSIBLE ROUTES & LOCATIONS OF BUH UNITS
1/16" = 1/4"



4 SAMPLE 1-BR ADAPTABLE UNIT WITH BASIC UNIVERSAL HOUSING FEATURES (2-BR UNIT SIM.)
3/16" = 1/4"

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

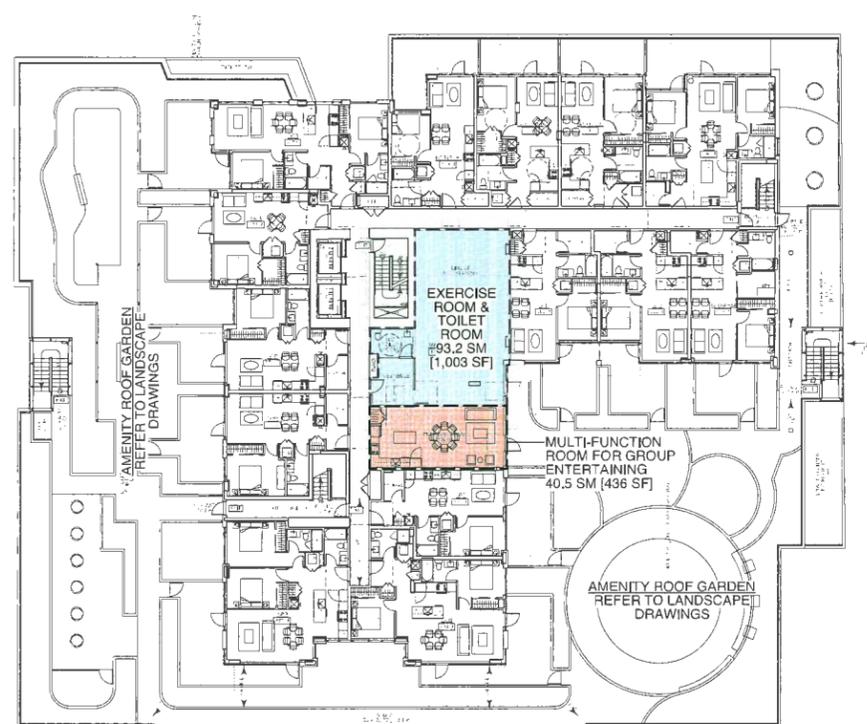
ACCESSIBILITY
STRATEGY



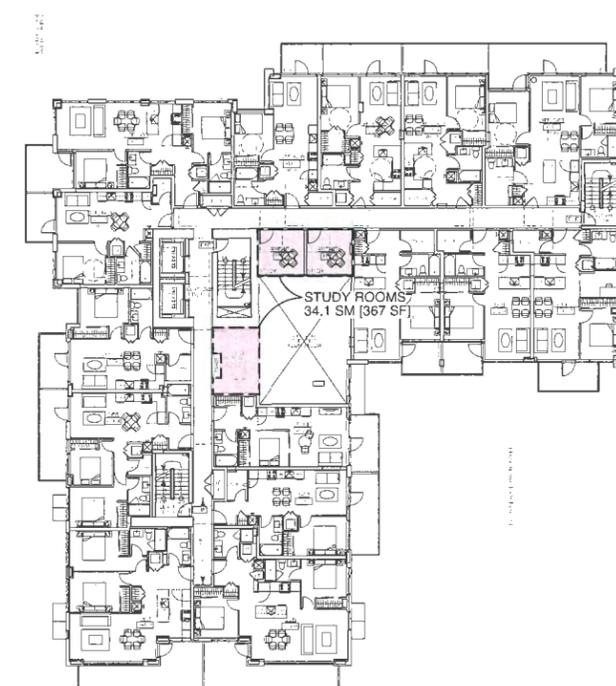
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DATE 29 JUN 2021
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2021-06-21	RE-ISSUED FOR DP
2021-06-21	RE-ISSUED FOR DP
2021-06-21	RE-ISSUED FOR DP
2021-06-21	RE-ISSUED FOR DP



1 5th FLOOR AMENITIES
1/16" = 1'-0"



2 6th FLOOR AMENITIES
1/16" = 1'-0"

PROJECT
8100-8180
WESTMINSTER HWY
DP 19-878817
8100 - 8180 WESTMINSTER HWY
RICHMOND, BC

INDOOR AMENITY
DIAGRAMS



REV. NO.	18-09
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Reference Plan



City of
Richmond

Report to Development Permit Panel
Fast Track Application

To: Development Permit Panel

Date: July 30, 2021

From: Wayne Craig
Director of Development

File: DV 21-934707

Re: Application by Maybog Farms Ltd. for a Development Variance Permit at
PID 013-082-434

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor at or below the natural grade of the site from 750 m² to 2,842 m² to permit the construction of a cranberry processing facility at PID 013-082-434 on a site zoned "Agriculture (AG1)".

Wayne Craig
Director of Development

WC:sds
Att. 5

Staff Report

Origin

Maybog Farms Ltd. (Directors: John & Lila May) has applied to the City of Richmond for permission to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor at or below the natural grade of the site from 750 m² to 2,842 m² to permit the construction of a cranberry processing facility at PID 013-082-434 on a site zoned “Agriculture (AG1)”. An aerial photograph showing the subject property and the proposal is provided in Attachment 1. The site currently contains an active cranberry farm.

In 2018, Council adopted Bylaw 9861 to amend the “Agriculture (AG1)” zone to add regulations for agricultural buildings and structures, and greenhouses to restrict the construction of concrete slabs or other impermeable structures and surfaces at or below the natural grade. As per the current AG1 zone, for agricultural buildings and structures with a concrete slab, an area up to 750 m² (8,073 ft²) is permitted to be concrete construction, hardsurfacing or other impermeable structure or construction. At the time of Bylaw 9861 adoption, Council also implemented a “fast track” application process (in this case a Development Variance Permit (DVP) application) for property owners proposing a larger area of concrete construction for agricultural buildings, in support of a farming operation. This includes a concurrent building permit and soil deposit review process, and a “fast track” staff report process. The subject DVP proposal for a larger area of concrete construction is being processed as a “fast track” application.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north, cranberry farm operation on a parcel zoned “Agriculture (AG1)” and located in the Agricultural Land Reserve (ALR).

To the east, across the No. 8 Road allowance, cranberry farm operation on parcels zoned AG1 located in the ALR, and a drainage canal designated Riparian Management Area (RMA).

To the south, property owned by Maybog Farms Ltd. zoned AG1, located in the ALR, and associated with the subject cranberry farm operation.

To the west, cranberry farm operation on a parcel zoned AG1 and located in the ALR.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Variance Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Agriculture (AG1)” except for the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor at or below the natural grade of the site from 750 m² to 2,842 m² to permit the construction of a cranberry processing facility at PID 013-082-434 on a site zoned “Agriculture (AG1)”.

- *The purpose of the cranberry processing facility is to support the existing cranberry farm operation (Maybog Farms Ltd.), including receiving, processing, packing and storing farm product.*
- *The existing farm operation (Maybog Farms Ltd.) has over 400 acres in production and an average yearly production of over 10,000,000 lbs of cranberries. The cranberry processing facility is proposed to specialize in fresh cranberries, which will account for approximately 10% (approximately 1,000,000 lbs) of the total production. The remaining balance of cranberries will continue to be processed at another facility. The subject property has farm status as per BC Assessment and an Agrologist Report has been submitted in support of the application (Attachment 3).*
- *The proposed location of the cranberry processing facility is in an area that utilizes existing farm infrastructure and minimizes the impact to the existing farm production. The submitted Agrologist Report indicates the location is the least productive portion of the farm and the site is adjacent to associated farm buildings and services on the property to the south. The Report also indicates that the location is well positioned to receive cranberries from the fields and minimizes transport times and distances to local markets.*
- *Emergency access is proposed through a Statutory Right-of-Way (SRW) on the two adjacent lots to the south (PID 016-472-942 & 4811 No. 8 Road), in order to provide access to the No. 8 Road overpass. The SRW would only allow access to the subject property and only for the purposes of the farm operation and emergency vehicles (no residential access permitted). The emergency access road (fire lane) is required to be a minimum 6.0 m wide and capable of supporting a fire truck. Prior to Council consideration of the DVP, the registration of the SRW will be required.*
- *The Riparian Management Area (RMA) designation along the east property line will not be impacted by the proposal. Although agricultural activities are exempt from RMA setback requirements, the proposed cranberry processing facility is located outside of the RMA setback area.*
- *As a condition of the Development Variance Permit, the applicant is required to register a legal agreement on Title to prohibit the use of the building for medical or non-medical cannabis production. At Building Permit stage, the applicant is also required to submit a Statutory Declaration confirming that all proposed uses shall comply with Zoning Bylaw 8500.*
- *The Food Security and Agricultural Advisory Committee (FSAAC) reviewed and supported the subject Development Variance Permit application at its meeting held on June 29, 2021. An excerpt from the June 29, 2021 FSAAC meeting minutes is provided in Attachment 4.*

Analysis

The purpose of the subject Development Variance Permit application is to allow the construction of a 2,842 m² (30,591 ft²) cranberry processing facility, in support of the existing cranberry farm operation. The proposed facility will be used to receive cranberries harvested from the cranberry farm operation and to process, package and store cranberry farm product. The proposed use is consistent with the “Agriculture (AG1)” zone and the Agricultural Land Reserve (ALR) Regulations. As a condition of the DVP, the applicant is required to register a legal agreement on Title to prohibit the use of the building for medical or non-medical cannabis production. In addition, at Building Permit stage, the applicant is required to submit a Statutory Declaration to ensure all proposed uses comply with the Zoning Bylaw. The facility is proposed to be located in the southeast corner of the subject property, near existing farm infrastructure on the property to the south.

The proposed cranberry processing facility is consistent with the “Agriculture (AG1)” zone, except for the maximum cumulative lot coverage for concrete construction in association with an agricultural building/structure. The subject DVP requests to vary this provision in order to allow the construction of the proposed cranberry facility.

The property is classified as a “no access parcel” as it does not front a constructed municipal road to municipal standards that meet the necessary specification for emergency vehicle access and life safety access. A Statutory Right-of-Way (SRW) on the two adjacent lots to the south (PID 016-472-942 & 4811 No. 8 Road) is required, in order to provide emergency access from the No. 8 Road overpass to the subject property. The SRW would only allow access to the subject property and only for the purposes of the farm operation and emergency vehicles. No residential access would be permitted. The access road (fire lane) is required to be a minimum 6.0 m wide and capable of supporting a fire truck. Registration of the SRW on Title is a condition of DVP issuance.

A Soil Use for the Placement of Fill Application has also been submitted in association with the proposal, which proposes to retain 3,600 cubic metres of soil (i.e. structural fill) recently deposited onto the Property without Agricultural Land Commission (ALC) or City approval. The purpose of the fill is to facilitate the construction of the proposed cranberry processing facility. The soil deposit area includes the proposed building and a concrete loading apron outside of the building envelope for loading of farm product and maneuvering vehicles associated with the farm operation. As part of the soil deposit application, the applicant provided security bonds in the amount of \$15,000 to ensure the material is removed if the proposal is denied. The soil deposit application was recently considered by Council on July 26, 2021 and forwarded to the Agricultural Land Commission (ALC) for review and decision. Approval of the soil deposit application by the ALC is a condition of DVP issuance.

July 30, 2021

- 5 -

DV 21-934707
Fast Track Application

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Variance Permit be endorsed, and issuance by Council be recommended.

The list of Development Variance Permit Considerations is included in Attachment 5, which has been agreed to by the applicant (signed concurrence on file).



Steven De Sousa
Planner 1

SDS:cas

- Attachment 1: Aerial Photograph
- Attachment 2: Development Application Data Sheet
- Attachment 3: Agrologist Report
- Attachment 4: Excerpt from the June 29, 2021 FSAAC Meeting Minutes
- Attachment 5: Development Variance Permit Considerations

Proposed variance:
Increase the maximum cumulative lot coverage for agricultural buildings and structures with an impermeable surface floor at or below the natural grade of the site from 750 sq. m to 2,842 sq. m.

Proposed fill volume
(3,600 cubic meters)

Proposed building footprint
(2,842 sq. m)

Proposed cranberry field berm* (vehicle access over the cranberry berm)
*does not require application

Approximate location of required Statutory Right-of-Way (fire lane) (6.0 m wide)



Plan Date: 2021-04-22

Note:
The information shown on this map is compiled from various sources and the City makes no warranties, expressed or implied, as to the accuracy or completeness of the information.
Users are reminded that lot area and legal description must be confirmed in the Land Title Office in New Westminster.
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HIGHWAY 93
HIGHWAY 91



DV 21-934707

Attachment 2

Address: PID 013-082-434

Applicant: Maybog Farms Ltd.

Owner: Maybog Farms Ltd.

Planning Area(s): East Richmond

	Existing	Proposed
Site Area:	8.12 ha (20.06 acres)	No change
Land Uses:	Agriculture	No change
OCP Designation:	Agriculture (AGR)	No change
Zoning:	Agriculture (AG1)	No change

	Bylaw Requirement	Proposed (Agricultural Building)	Variance
Lot Coverage – Agricultural Buildings:	Max. 35%	4%	None
Lot Coverage – Concrete Construction:	Max. 750 m ² (8,073 ft ²)	2,842 m ² (30,591 ft ²)	Variance requested
Setback – Front Yard (East):	Min. 7.5 m	50.0 m	None
Setback – Side & Rear Yard (North, South & West):	Min. 4.5 m	30.0 m	None
Height – Agricultural Buildings:	Max. 35.0 m	11.3 m	None

Agrologist Report

Agricultural Development Plan for a Fresh Cranberry Facility

**Report Prepared for:
Maybog Farms Ltd**

Jan 23, 2020

Prepared by:
David Melnychuk, P.Ag
19915-37A Avenue
Langley, BC, V3A 2S8
January 23, 2020

Introduction

The success of agricultural enterprises in the City of Richmond will be dependent on a partnership between farmers and its citizens. Finding a balance of farmers willing to reinvest in their farms through horticultural and technological advancements, and the support of local consumers desirous of safe and secure sources of healthy and nutritious foods will ultimately support agricultural viability in this community.

Maybog Farms Ltd is a large well established cranberry farm in the City of Richmond. To ensure continued agricultural viability, they are expanding a value added component to their overall farm operations. The 5th generation farming family is ensuring that the healthful product that they grow will have direct market access in their local communities. Activities are expected to include: sizing, sorting, grading, cooling, storage and packing of fresh cranberries grown on the farm. Finished product will be transported from this location directly to the local and regional market place. Agriculture is changing, and adapting to industry best practices, and embracing value adding is proving to be an important pillar supporting the long term sustainability of the family farm. To reach this goal of economic sustainability will require a facility with the technological advancements and the capacity to handle the volume of cranberry crop grown on their farm.

Proposed location

The following aerial photograph outlines in blue the property located at 4711 # 8 Road, its configuration and size. The property contains approximately 8 hectares and has historically been utilized for cranberry production. The proposed site (0.36 hectares) for the sorting and packing facility is located in the South East corner of the property and is outlined in red , only for illustrative purposes (not a legal survey).



Soil considerations

The original mapping of the “*Soils of the Langley-Vancouver Map Area*” completed by the province of BC in 1980, indicated that the original soils on this property consists of 3 different soil types as described below;

The property is located in a soils transition zone, where the soils transition from the mineral Bates soil (medium textured local stream deposits) with a shallow topping of organic material to an organic Lumbum-Richmond soil with 40 to 160 cm of semi-decomposed organic material underlain with moderately fine textured deltaic deposits. The variance in soil type and depth of organic matter generates several challenges from a crop production perspective when attempting to achieve high yields of top quality cranberry fruit. This is evident in the health of some of the plants with sporadic die off throughout the field. The building site itself has only 5-10 cm of organic material remaining. One of the benefits of the proposal would be associated with increasing organic matter in the inferior production areas, by stripping off the organic material (5-10 cm) from the facility site and distributing the organic matter to enhance the remaining challenged sites in the field.

Facility Location

The proposed facility is located in an excellent location for the following reasons:

- The proposed facility site will have a minimal disturbance on the remaining cranberry production area in this field and is located on the least productive portion of the farm.
- The site is adjacent to the other farm buildings and services (i.e., machinery storage and maintenance) located on the property south of the proposed building, minimizing the need to duplicate infrastructure around the packing shed
- Logistically the site is well positioned to receive cranberries from the other fields on the farm.
- On farm facilities minimizes transport times and distances to local markets. Fresh produce logistics are simplified, removing the need to be transported out of the country for further preparation, only to be returned back to the consumer in the locality where it was first grown. This investment is ensuring the product has direct access to local markets in Metro Vancouver and other regions in BC.

Facility

The proposed facility is to receive cranberries harvested from Maybog Farms, with over 400 acres in production, with an average yearly production of over 10,000,000 lbs of cranberries. The facility will be sized to handle a portion of this product, providing the following activities: receiving, cleaning, sizing, colour sorting, grading, cooling, storing and packing.

In terms of size, the facility will be 60 meters by 60 meters, an area of 3,600 square meters (0.36 hectares) on a parcel containing 8 hectares.

The site coverage will be approximately 4 %

Facility as it applies to Provincial legislation

The Farm Practices Act (Right to Farm) states in the definition section regarding “**farm operation**” under (k) means “ *processing or direct marketing by a farmer of the products owned or operated by the farmer to the extent that the processing or marketing of those products is conducted on the farmer’s farm*” .

Further under the Ministers Bylaw Standards for bylaw development in the Agricultural Land Reserve, section in 2.4.5 states that “*Bylaws should not restrict the area of a lot which may be covered by buildings and structures for farm use, to an area less than **35%** or less than 75% for greenhouses.*”

The proposed project meets all the Provincial regulations regarding on-farm value added activities.

Comparable agricultural facilities on farms in the Fraser Valley

To provide a perspective on scale and size of agricultural buildings and structures which are common on farms throughout the Fraser Valley, the following examples of farm building and structures are provided for added information. These examples are taken from existing facilities on farms in Delta and Surrey.

- Dairy and Poultry barns and supporting structures – 1 to 2 hectares
- Vegetable Green houses with on farm packaging facilities– over 5 to 10 hectares
- On farm potato and vegetable storage and handling facilities – 1 to 2 hectares

As is evident by many real life illustrations, the sizes of agricultural facilities on farm are trending upwards because of economic pressures and market demand for local food products. There is also an extreme shortage of local packing facilities, often causing local produce to leave the province or country before returning back to consumers in the same marketplace where it was grown.

Final Comments

Maybog Farms is making a major investment in agriculture. The establishment of a facility on their 5th generation family farm which is capable of receiving, handling, packing and distributing fresh cranberries to the local market and beyond will directly support future viability. The proposal reflects the economic realities of farming and illustrates the trends towards value adding of primary agricultural products. Healthy products, grown locally, will be directly available to consumers in their own backyard. The proposal fits in well with provincial regulations and provincial agricultural policy which encourages increased value added activities on farm, leading to a greater share of the product value remaining with farmers who live and work in the local community. The current generation’s substantial commitment reflects their vision, that the healthy food grown on their farm be available to the community in which they participate. This thoughtful and deliberate action ensures that farming in Richmond continues to be viable long in to the future.

David Melnychuk, P.Ag
January 23, 2020



**Excerpt from the Meeting Minutes of the
Food Security and Agricultural Advisory Committee (FSAAC)**

**Tuesday, June 29, 2021 – 7:00 p.m.
Webex**

**ALR Soil Use for the Placement of Fill Application & Development Variance
Permit Application – PID 013-082-434**

Steven De Sousa, Planner I, Policy Planning, introduced the proposal at PID 013-082-434, provided clarification regarding the two separate applications, and provided the following comments:

- The proposal is to construct an approximately 30,000 ft² cranberry processing facility at the subject property, in support of the existing cranberry farm operation;
- The Development Variance Permit application is required in order to vary the maximum lot coverage permitted for agricultural buildings with concrete construction;
- In 2018, Council amended the AG1 zone to limit concrete construction in agricultural buildings (approximately 8,000 ft² maximum) and implemented a fast track process for farmers who needed a larger building to support their farming operation;
- Access to the property will be provided through a Statutory Right-of-Way (SRW) on the adjacent lots to the south, which have access from the No. 8 Road overpass. The SRW would only allow access to the farm operation and for emergency vehicles (no residential access is permitted); and
- Prior to Council consideration of the DVP, Council and ALC approval of the associated fill application is required.

Mike Morin, Soil Bylaw Officer, Community Bylaws, introduced the ALR Soil Use for the Placement of Fill Application and provided the following comments:

- The application is being made to retain 3,600 cubic metres of soil (structural fill) recently deposited onto the subject property prior to approval from the Agricultural Land Commission (ALC) or City approval;
- The purpose of the soil importation is to establish an area to construct a cranberry processing facility; and
- If approved, the structural fill shall remain and form part of the foundation for the future building.

Todd May, Applicant, provided the following comments:

- The applicant is a fifth generation farmer with a current focus on cranberry production;
- Majority of cranberry production in the region focuses on processed cranberries (e.g. cranberry juice, sweetened cranberries and dried cranberries);

- The purpose of the proposed cranberry production facility is to process fresh cranberries locally; and
- The facility has been located to minimize impact to the existing cranberry farm operation and utilize existing farm operation infrastructure in the surrounding area.

In response to questions from the Committee, the applicant provided the following additional information:

- The layout and equipment within the facility is designed specifically to process fresh cranberries;
- The material deposited on the property and proposed to be retained is structural material for the purposes of building the proposed cranberry production facility;
- Tipping fees were not received by the applicant for the deposition of the structural material;
- In order to achieve traceability and food safety standards, impermeable concrete construction is required; and
- It is estimated approximately 10% of the current cranberry production (approximately 10 million pounds) will be fresh cranberries, with an opportunity for growth in the future.

In response to question from the Committee, staff noted that due to the soil importation exceeding 0.1 ha and having received no ALC approval in advance of the importation, the ALC has determined that the applicant must submit a Soil Use for the Placement of Fill Application to the ALC.

Discussion ensued regarding the proposed business plan and association with Ocean Spray, the uniqueness of the proposal as the structural material is required for the construction of the building, and the potential to set a precedent by approving a proposal that deposited material without appropriate approvals.

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee (FSAAC) support the Agricultural Land Reserve Soil Use for the Placement of Fill Application at PID 013-082-434 (CD 127964) subject to removal of the structural material deposited on the subject property if the proposed farm building is not approved.

In addition, the FSAAC is concerned with potentially setting a precedent by supporting a proposal that deposited material prior to approval. However, the FSAAC recognize that this is not a typical fill application as the structural material is required for a farm building and is not being used for the farm operation.

*Carried
with Lynn Kemper and Cory May abstained*

Discussion ensued regarding the proposed size of the cranberry processing facility, the size of the associated farm operation, the origin of the AG1 zone regulations limiting concrete construction, and the fast track process for farmers.

In response to questions from the Committee, staff noted that a Statutory Declaration is required as part of the Building Permit process for agricultural buildings to confirm the use is consistent with Zoning Bylaw requirements.

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee (FSAAC) support the Development Variance Permit Application at PID 013-082-434 (DV 21-934707).

*Carried
with Lynn Kemper and Cory May abstained*



Development Variance Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: PID 013-082-434

File No.: DV 21-934707

Prior to approval of the Development Variance Permit, the applicant is required to complete the following:

1. Agricultural Land Commission (ALC) approval of the associated Soil Use for the Placement of Fill Application.
2. Registration of a cross-access easement, statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development and Director of Building Approvals, along the east property line of PID 016-472-942 and the northeast corner of 4811 No. 8 Road (minimum 6.0 m wide) to provide access to the subject site only for the purpose of the farm operation and emergency vehicles, and prohibiting residential access to the subject site. The emergency access road (fire lane) is required to be a minimum 6.0 m wide and capable of supporting a fire truck.
3. Registration of a restrictive covenant on Title to prohibit the use of the building for medical or non-medical cannabis production.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Statutory Declaration confirming that all proposed construction shall comply with the permitted uses specified in Zoning Bylaw 8500, consistent with the City's Bulletin No. BUILDING-32 "Statutory Declaration Requirement for Building Permit Applications in AG1 Zones".
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy on file]

Signed

Date



City of Richmond

Development Variance Permit

No. DV 21-934707

To the Holder: Todd May

Property Address: PID 013-082-434

Address: 15411 Cambie Road
Richmond, BC V6V 1T3

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 2,842 m².
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures shall be constructed generally in accordance with Plan #1 attached hereto.
5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

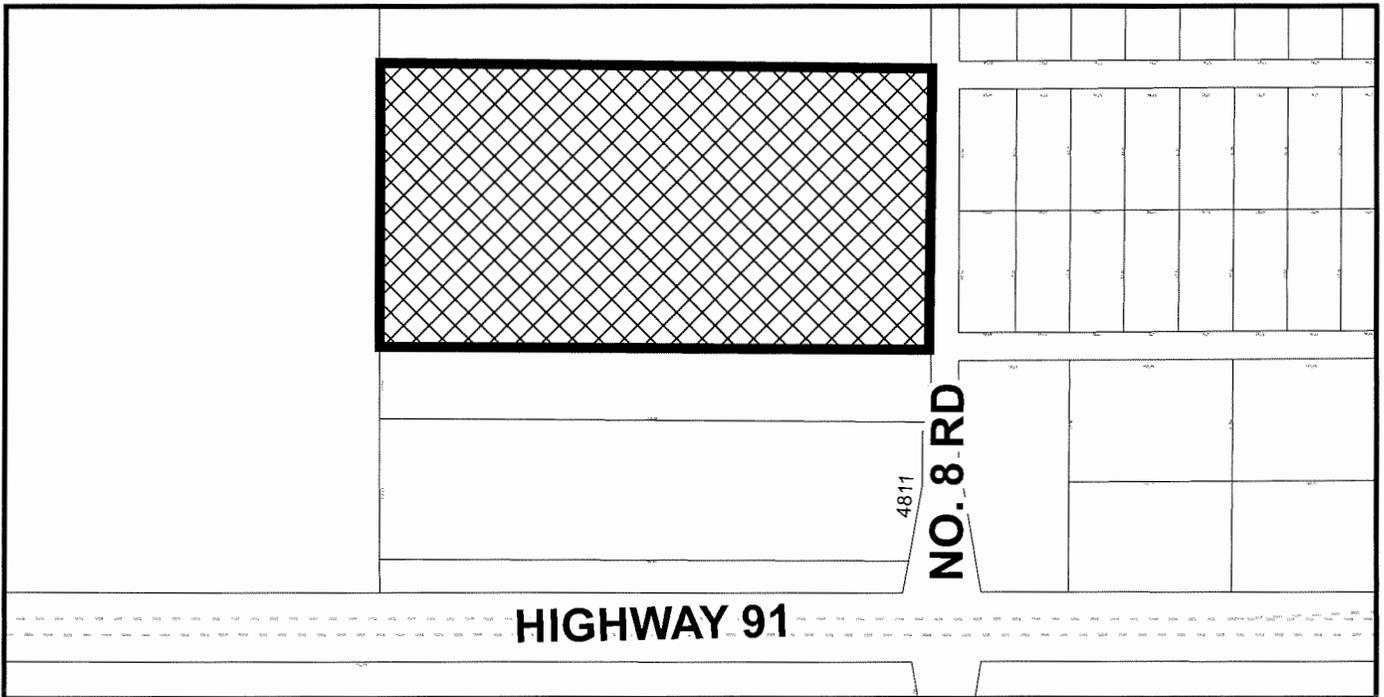
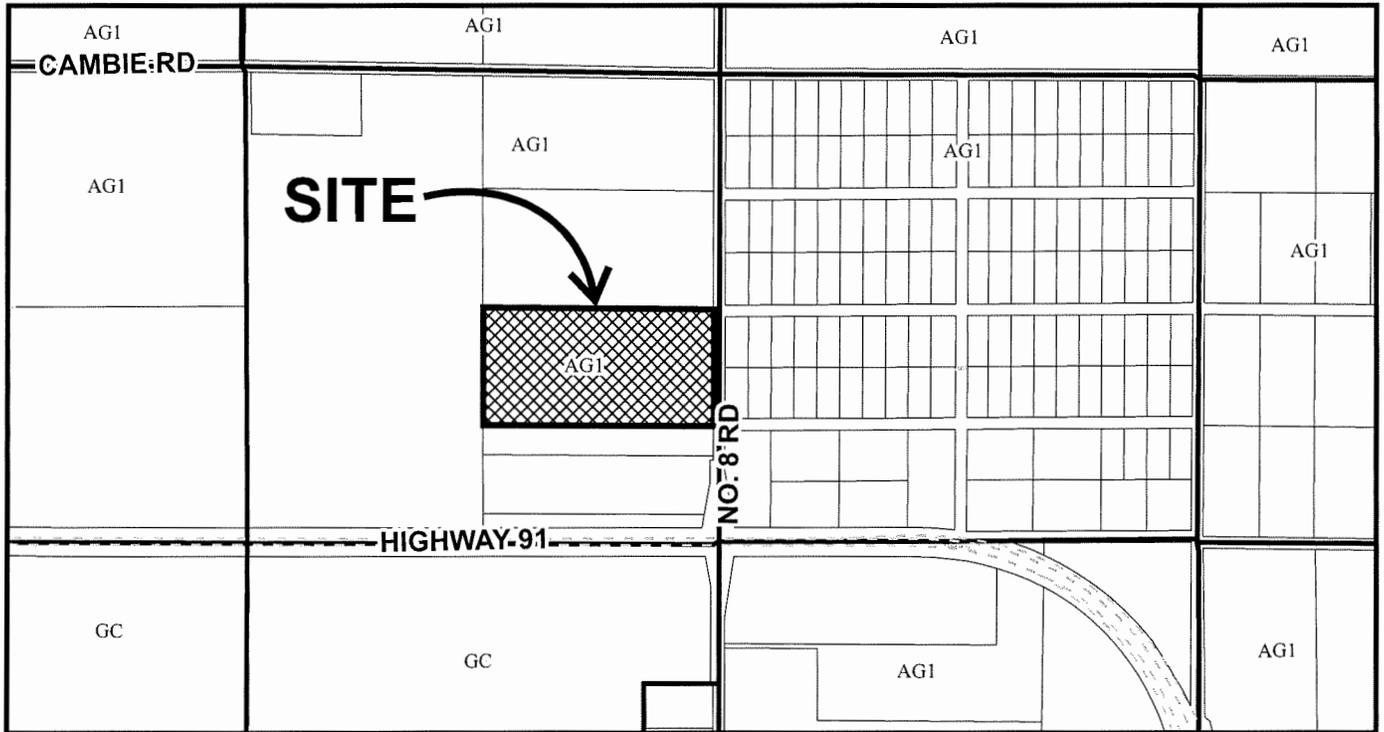
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



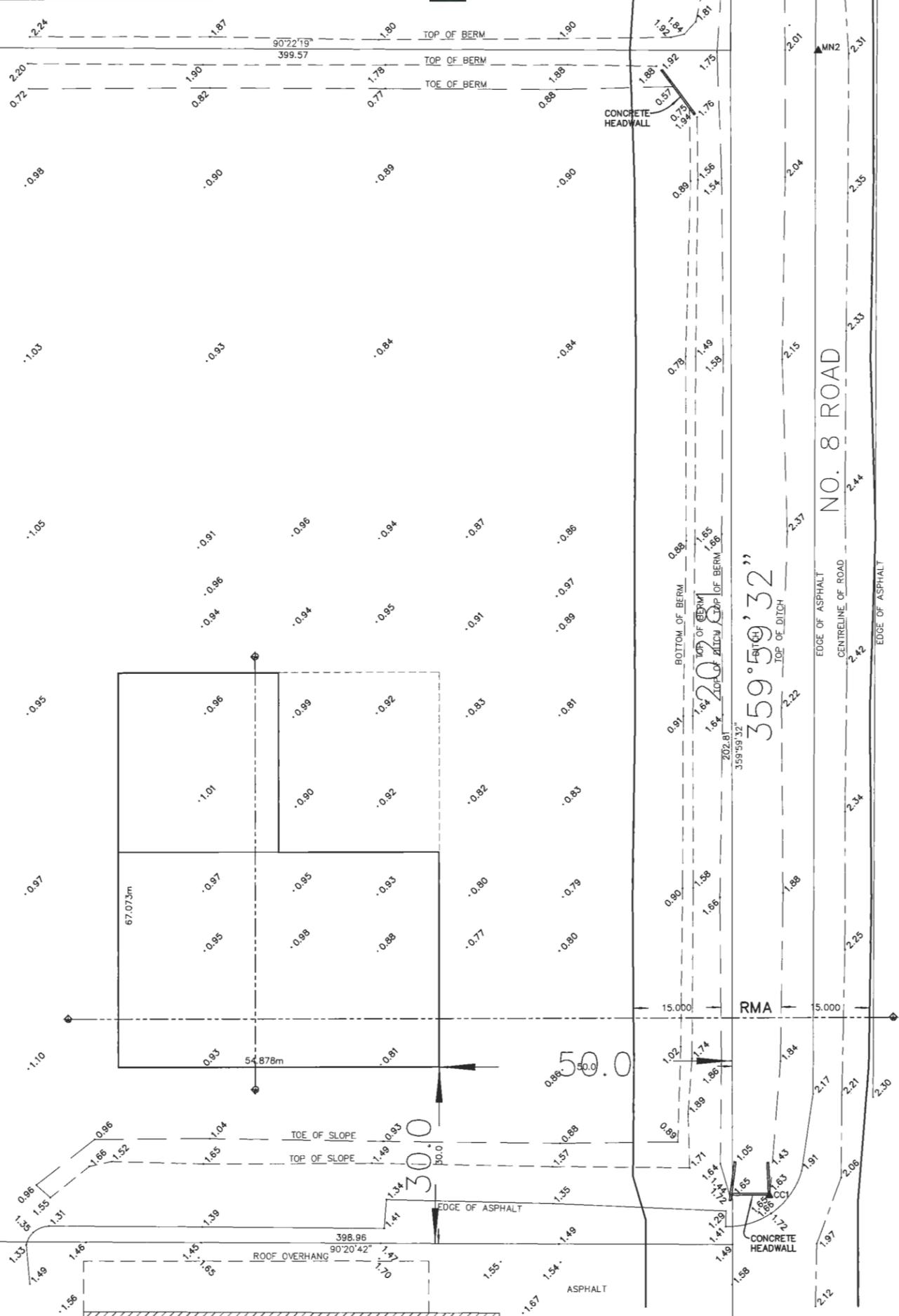
DV 21-934707
SCHEDULE "A"

Original Date: 06/24/21

Revision Date:

Note: Dimensions are in METRES

90°22'19"
399.57



398.96
90°20'42"

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MAR 25/2020		△
DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		



1070 14th ST W.
NORTH VANCOUVER,
BC V7P 3P3

PROJECT
MAYBOG FARMS LTD.
4711 NO. 8 ROAD
RICHMOND, BC

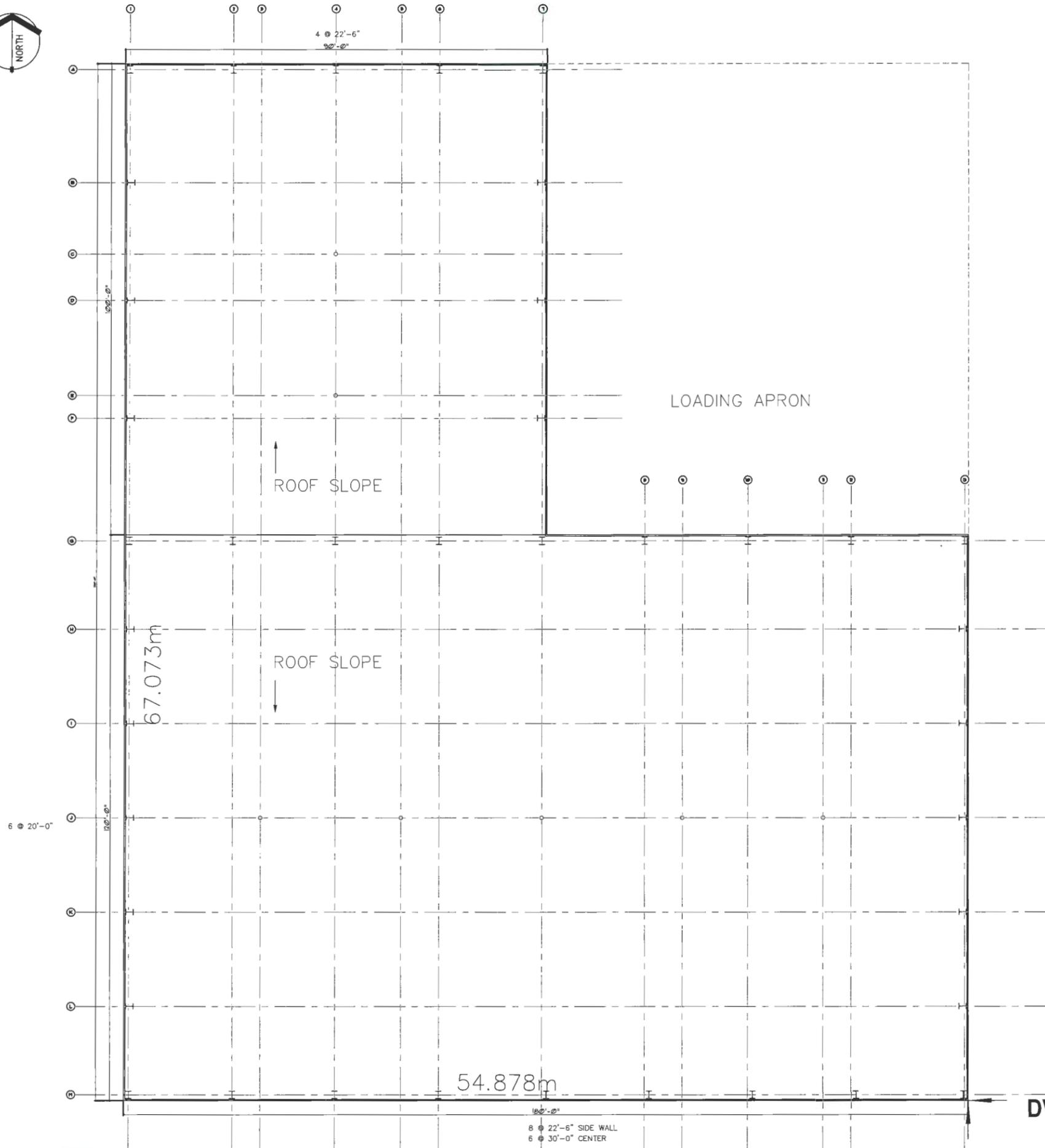
DRAWING TITLE
TOPOGRAPHIC SURVEY PLAN

DRAWN	LL	DATE	MAR 28
CHECKED	EL	JOB No.	-
DESIGN	-	DRAWING No.	-
CHECKED	-	ID	2
SCALE 1/32" = 1'-0"			

Plan #1.A
DV 21-934707
July 19, 2021



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DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		



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NORTH VANCOUVER,
BC V7P 3P3

PROJECT
MAYBOG FARMS LTD.

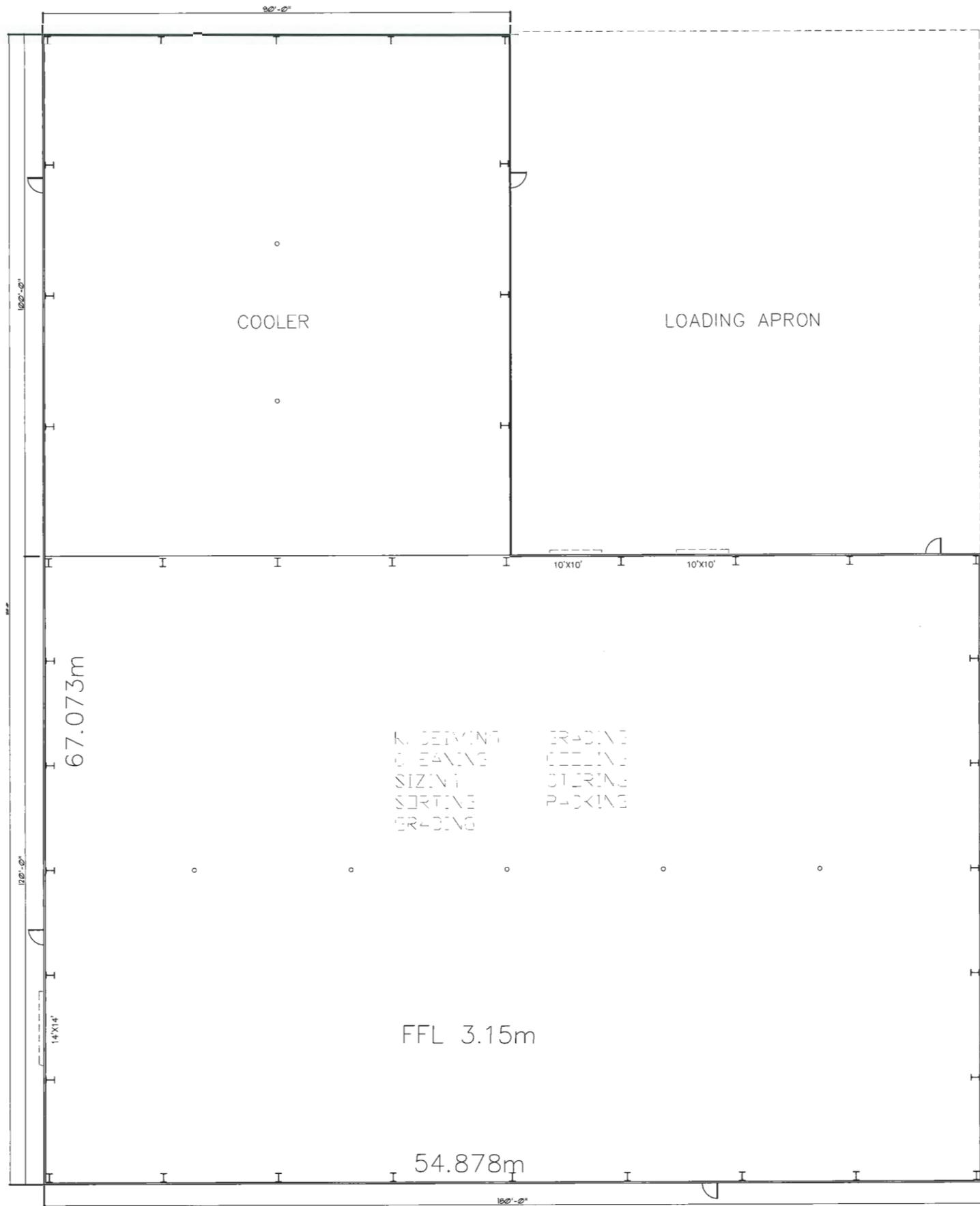
4711 NO. 8 ROAD
RICHMOND, BC

DRAWING TITLE
COLUMN PLAN

DRAWN	LL	DATE	MAR 28
CHECKED	EL	JOB No.	
DESIGN		DRAWING No.	
CHECKED			1D3
SCALE	3/32" = 1'-0"		

Plan #1.B
DV 21-934707
July 19, 2021

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MAR 25/2021		△
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DRAWING REVISIONS / ISSUES



1070 14th ST W.
NORTH VANCOUVER,
BC V7P 3P3

PROJECT

MAYBOG FARMS LTD.

4711 NO. 8 ROAD
RICHMOND, BC

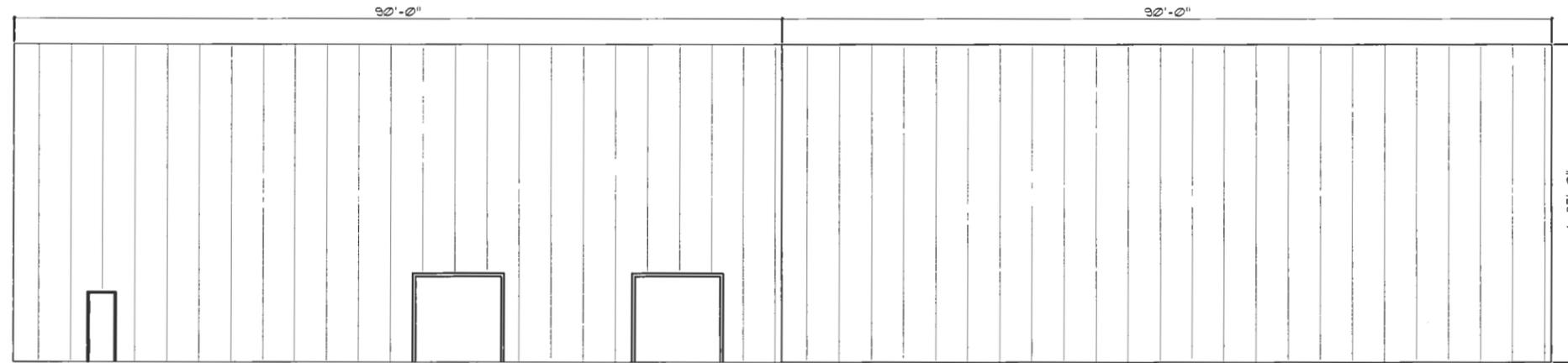
DRAWING TITLE

BUILDING PLAN

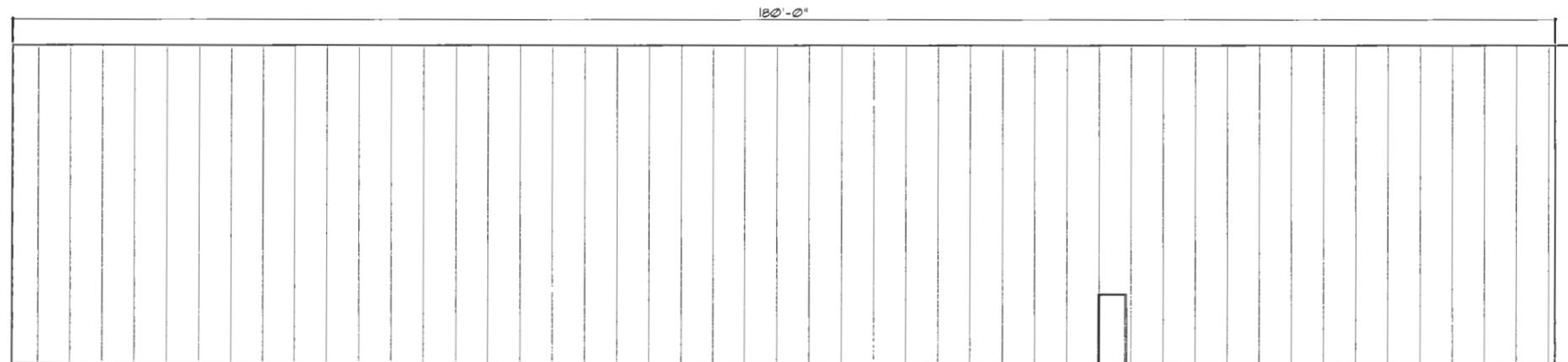
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CHKD	EL	JOB No.	
DESIGN		DRAWING No.	
CHKD			ID4
SCALE	3/32" = 1'-0"		

1 BUILDING PLAN
ID4 SCALE: 3/32" = 1'-0"

Plan #1.C
DV 21-934707
July 19, 2021



1 NORTH ELEVATION
 DS SCALE: 1/8" = 1'-0"



2 SOUTH ELEVATION
 DS SCALE: 1/8" = 1'-0"

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DATE	REMARKS	NO.
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1070 1-4th ST W.
 NORTH VANCOUVER,
 BC V7P 3P1

PROJECT
MAYBOG FARMS LTD.
 4711 NO. 8 ROAD
 RICHMOND, BC

DRAWING TITLE
 NORTH ELEVATION
 SOUTH ELEVATION

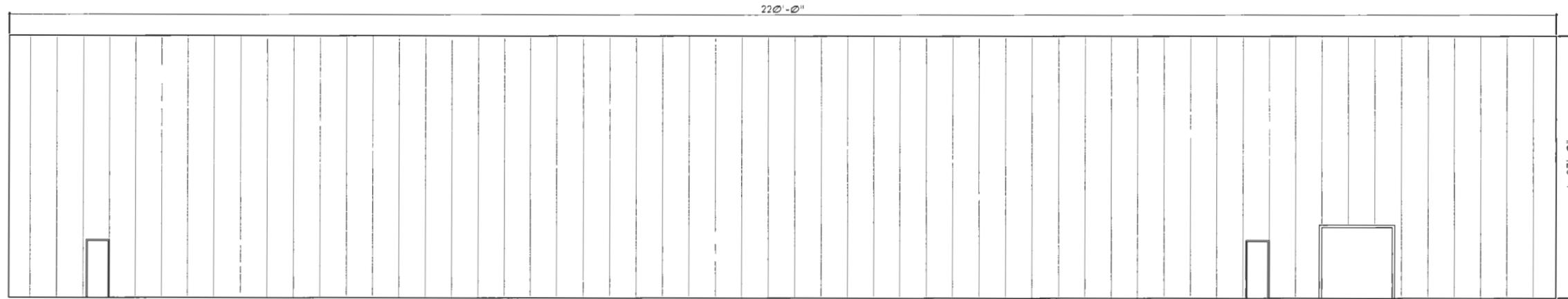
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SCALE	1/8" = 1'-0"		

Plan #1.D
DV 21-934707
 July 19, 2021

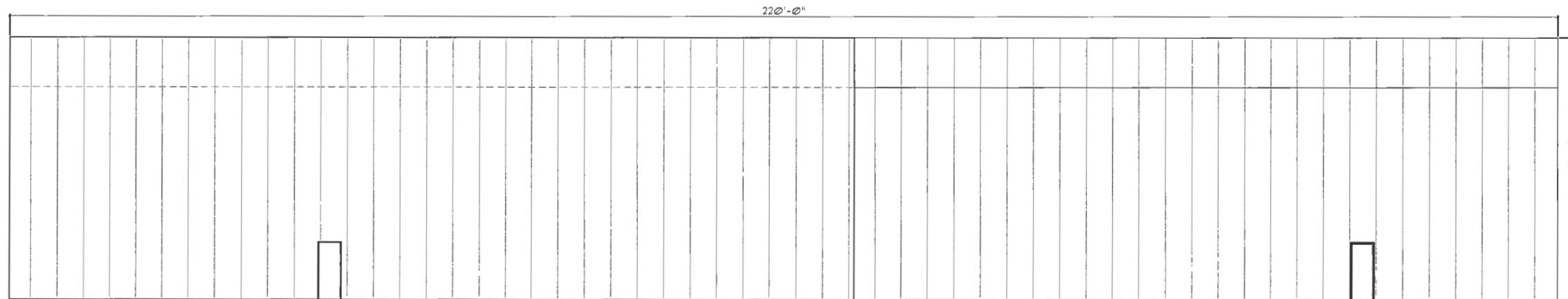
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1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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MAR 25/2021		△
DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		



1070 14th ST W.
NORTH VANCOUVER,
BC V7P 3P3

PROJECT
MAYBOG FARMS LTD.

4711 NO. 8 ROAD
RICHMOND, BC

DRAWING TITLE
WEST ELEVATION
EAST ELEVATION

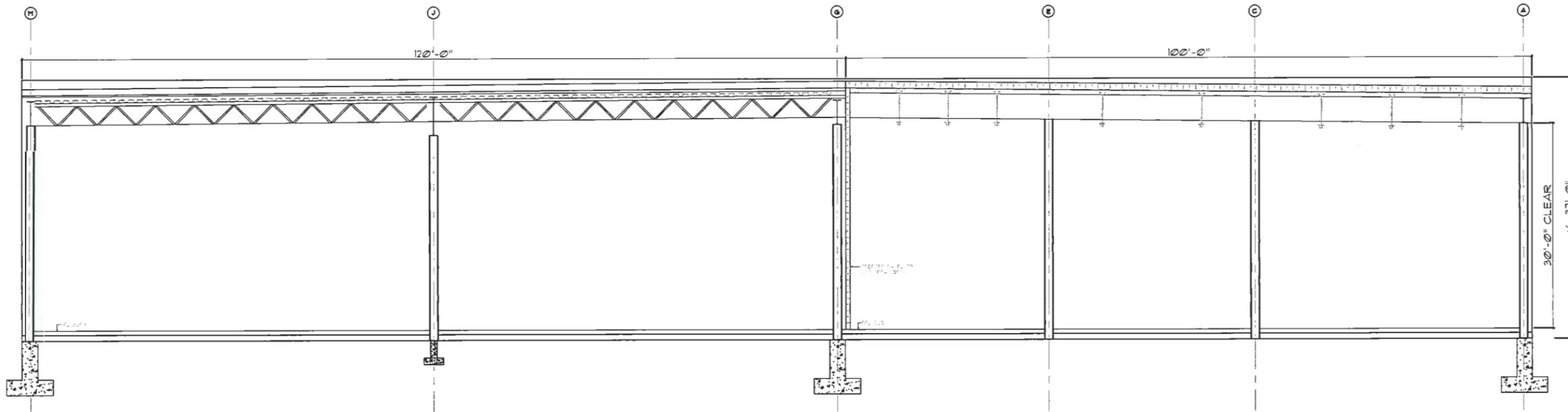
DRAWN	LL	DATE	MAR 25
CHECKED	EL	JOB No.	-
DESIGN		DRAWING No.	
CHECKED			ID6
SCALE	1/8" = 1'-0"		

Plan #1.E
DV 21-934707
July 19, 2021

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SECTION
SCALE: 1/8" = 1'-0"

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MAR 25/2020		△
DATE	REMARKS	NO.
DRAWING REVISIONS / ISSUES		



1070 14th ST W.
NORTH VANCOUVER,
BC V7P 3P3

PROJECT
MAYBOG FARMS LTD.
4711 NO. 8 ROAD
RICHMOND, BC

DRAWING TITLE
SECTION

DRAWN	LL	DATE	MAR 20
CHECKED	EL	JOB No.	.
DESIGN		DRAWING No.	
CHECKED			107
SCALE	1/8" = 1'-0"		

Plan #1.F
DV 21-934707
July 19, 2021