

Development Permit Panel Electronic Meeting

Council Chambers, City Hall 6911 No. 3 Road Wednesday, August 23, 2023 3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on August 9, 2023.

1. DEVELOPMENT PERMIT 22-017484

(REDMS No. 7276188)

APPLICANT: Polygon Talisman Park Ltd.

PROPERTY LOCATION: 3588 Ketcheson Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of 178 residential units in a 14-storey high-rise multi-family apartment building at 3588 Ketcheson Road on a site zoned "Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)".

2. **DEVELOPMENT PERMIT 22-027199**

(REDMS No. 7290124)

APPLICANT: Farrell Estates Ltd.

PROPERTY LOCATION: 20455 Dyke Road, 7500 No. 9 Road and a portion of PID 031-

553-231

ITEM

Director's Recommendations

That a Development Permit be issued which would permit the construction of a light industrial building at 20455 Dyke Road, 7500 No. 9 Road and a portion of PID 031-553-231 on a site zoned "Industrial Business Park and Marina (ZI20) – Graybar Road (East Richmond)", abutting the edge of the Agricultural Land Reserve (ALR).

- 3. New Business
- 4. Date of Next Meeting: September 14, 2023

ADJOURNMENT

Minutes



Development Permit Panel Wednesday, August 9, 2023

Time:

3:30 p.m.

Place:

Remote (Zoom) Meeting

Present:

Cecilia Achiam, General Manager, Community Safety, Chair

Peter Russell, Acting General Manager, Engineering and Public Works

James Cooper, Director, Building Approvals

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on Wednesday, July 26, 2023, be adopted.

CARRIED

1. DEVELOPMENT PERMIT 21-940028

(REDMS No. 7236092)

APPLICANT:

The Panatch Group

PROPERTY LOCATION:

10140, 10160, 10180 No.1 Road and 4051 Cavendish Drive

INTENT OF PERMIT:

Permit the construction of 35 townhouse units at 10140, 10160, 10180 No.1 Road and 4051 Cavendish Drive on a site zoned "Town Housing (ZT88) - No. 1 Road (Steveston)".

Applicant's Comments

David Jacobson and Kush Panatch, representing The Panatch Group, introduced the project and highlighted the following:

Document Number: 7333783

Version: 1

- the project has been designed to fit well with the existing neighbourhood;
- the proposed development consists of 35 townhouse units, including six affordable housing units and 29 market residential units;
- the design and quality of materials of the affordable housing units is not differentiated from the market residential units;
- all six affordable housing units and four market residential units are convertible units:
- four of the units will contain a secondary suite;
- two significant trees will be retained and protected in the central outdoor amenity area:
- the proposed common outdoor amenity spaces exceed the City's minimum requirement and a significant portion is dedicated to the children's play area;
- the project has been designed to achieve Step Code Level 3 of the BC Energy Step Code and includes a low-carbon energy system;
- Level 2 electric vehicle (EV) charging will be provided in each residential garage; and
- an east-west public walkway is proposed along the south property line to provide a pedestrian connection from No. 1 Road to Cavendish Drive.

Taizo Yamamoto, Yamamoto Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as <u>Schedule 1</u>), provided additional background information on the proposed development, noting that (i) an emergency vehicle access and pedestrian connector will be provided to connect the two ends of Cavendish Drive along the east side of the subject site, (ii) a secondary outdoor amenity area including an active children's play area will be provided in addition to the central outdoor amenity area, (iii) the heights of some buildings has been reduced to provide an appropriate interface with adjacent single-family homes, and (iv) the proposed massing and architectural design of the buildings are informed by their site context and existing adjacent developments.

Mary Chan-Yip, PMG Landscape Architects, briefed the Panel on the main landscaping features of the project, noting that (i) a diverse palette of planting materials is proposed for the project, (ii) appropriate landscaping is proposed for the frontage and along the edges of the subject site, (iii) lighting will be provided for the public walkway along the south property line, (iv) all units will be provided with a semi-private yard with a patio and landscaped area, (v) a wood deck is proposed in the central outdoor amenity area to protect the root zone of the two retained trees, (vi) permeable pavers are strategically installed on the subject site, (vii) appropriate types of lighting will be provided throughout the site, and (viii) an on-site highly efficient smart irrigation system is proposed.

Staff Comments

Suzanne Smith, Acting Director, Development, noted that (i) the six affordable housing units are secured with a housing agreement, (ii) there are no variances associated with the proposal, (iii) two on-site trees located in the outdoor amenity area, six trees located on adjacent properties, and one City tree will be retained and protected, (iv) 62 on-site trees were removed, (v) 66 replacement trees are proposed to be planted, (vi) the applicant will provide a voluntary contribution to the City's Tree Compensation Fund for the remaining replacement trees that are required, (vii) the Servicing Agreement associated with the project includes frontage improvements along No. 1 Road, a new emergency vehicle access and pedestrian connector along Cavendish Drive, a public walkway along the south property line and water, storm sewer, and sanitary sewer upgrades, and (viii) the project has been designed to achieve BC Energy Step Code Level 3 with a low-carbon energy system including heat pumps and will be designed to be solar ready.

Panel Discussion

In reply to a query from the Panel, Ms. Smith advised that staff provided an updated location map for the subject site that excludes the adjacent property to the north at 10120 No. 1 Road (attached to and forming part of these minutes as <u>Schedule 2</u>). Also, she noted that the developer had made efforts to include the adjacent property to the north into the proposed development but was unsuccessful.

In reply to further queries from the Panel, Ms. Smith confirmed that the proposed emergency vehicle access/pedestrian connector along Cavendish Drive and the east-west public walkway are owned by the City.

In reply to queries from the Panel, the applicant noted that (i) the attic on the third floor of convertible unit C1 will be within the single roof form of the building that will read like a two-and a half-storey building, (ii) the applicant could consider installing a pedestrian pathway to connect the secondary play area to the emergency vehicle access/pedestrian connector, (iii) no benches are proposed along the emergency access/pedestrian connector along Cavendish Drive, (iv) a detached utility building is provided adjacent to the central outdoor amenity area, (v) the sod boulevard with street trees along Cavendish Drive could be usable and provide play opportunities, (vi) the convertible units are accessible from the outside to their main entries, (vii) the Fire Department has been consulted regarding fire truck access into the site, (viii) the type of heat pumps proposed for the project has been proven to have no noise concerns, and (ix) the heat pumps are located on the ground floor and away from areas that are noise sensitive.

Correspondence

None.

Gallery Comments

Mark Nielsen, 8-10177 Pugwash Place, expressed support for the proposed east-west public walkway and the retention of significant trees on the subject site. In addition, he queried (i) whether the remaining replacement trees that could not be accommodated on the site would be planted elsewhere, and (ii) when should site preparation activities occur, e.g. preloading, considering that significant site preparation activities has been undertaken on the subject site and a development permit has yet to be issued for the proposed development.

In reply to the query regarding the replacement trees, Ms. Smith noted that (i) the voluntary contribution the applicant would pay to the City's Tree Compensation Fund in lieu of planting the remaining required replacement trees on-site would be used by the City's Parks Department to plant trees elsewhere, and (ii) the City's Parks Department will determine where the replacement trees would be planted, if possible in areas immediately adjacent to the subject site.

In reply to the query on the timing of site preparation activities, the applicant noted that although there is a risk that a development permit will not be issued for the project or the project will be modified, the developer had already started preloading activities in order to save time.

In reply to the same query, Edwin Lee, Planner 2, noted that there is no permit required for site preparation activities and the timing would be the developer's decision.

Panel Discussion

The Panel expressed support for the proposal, noting that the project is sensitively designed.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of 35 townhouse units at 10140, 10160, 10180 No.1 Road and 4051 Cavendish Drive on a site zoned "Town Housing (ZT88) - No. 1 Road (Steveston)".

CARRIED

2. New Business

None.

CARRIED

3. Date of Next Meeting: August 23, 2023

ADJOURNMENT

It was moved and seconded *That the meeting adjourn (4:18 p.m.).*

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, August 9, 2023.

Cecilia Achiam Chair Rustico Agawin Committee Clerk Schedule 1 to the Minutes of the Development Permit Panel meeting held on Wednesday, August 9, 2023



10140, 10160 & 10180 NO 1 ROAD & 4051 & 4068 CAVENDISH DRIVE, RICHMOND.

YAMAMOTO ARCHITECTURE

DESIGN PANEL AUGUST 9TH, 2023

PROJECT STATISTICS

TOTAL FAR = 42,833 SF / 3,979.31 SQM (.65 FAR)

35 TOWNHOUSE UNITS

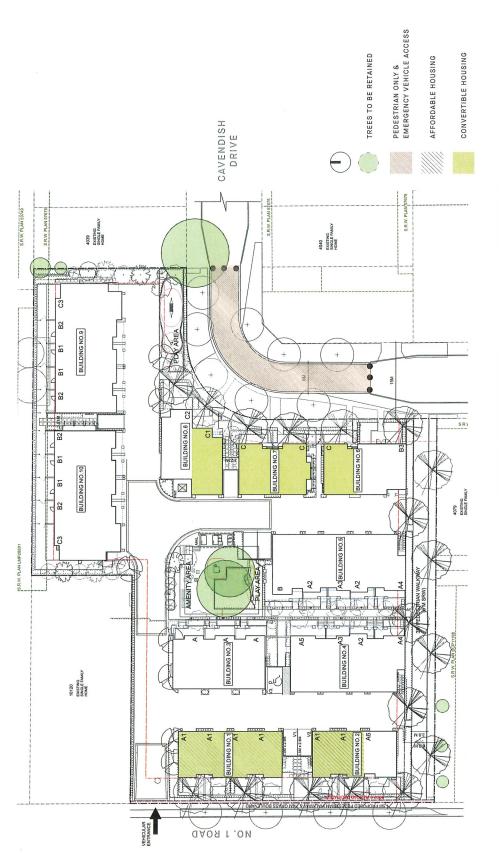
6 AFFORDABLE UNITS (BUILDINGS 1 & 2)

4 CONVERTIBLE UNITS (BUILDINGS 6, 7 & 8)

64 PARKING STALLS

7 VISITOR STALLS (INCL 1 ACCESSIBLE STALL)

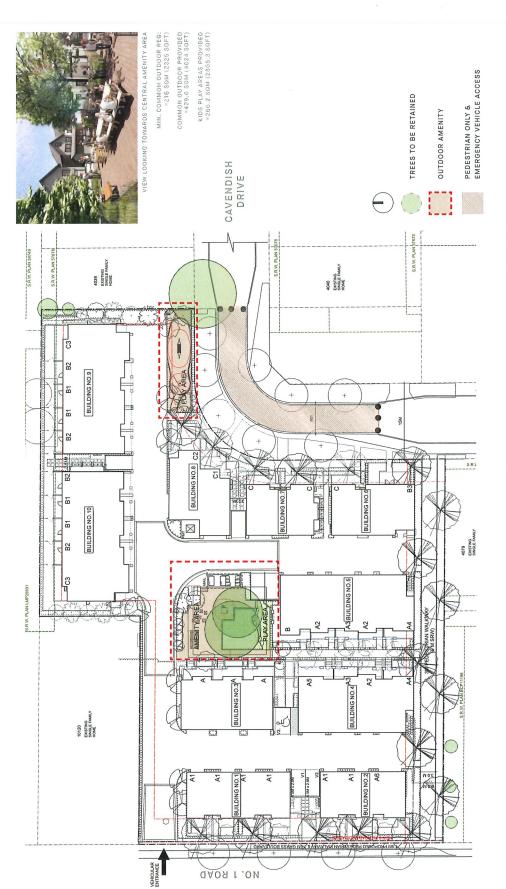
DESIGN PANEL



CAVENDISH DRIVE TOWNHOUSES

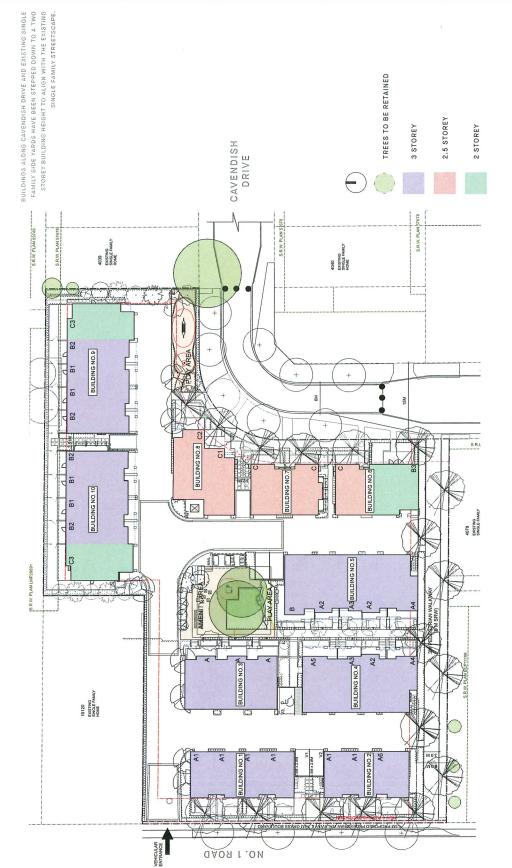
DESIGN PANEL

AMENITY SPACES



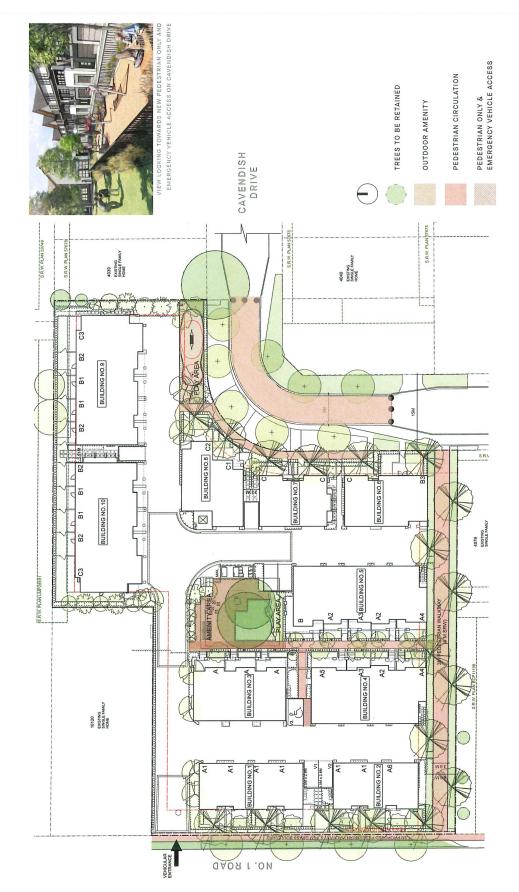
CAVENDISH DRIVE TOWNHOUSES

BUILDING HEIGHTS



CAVENDISH DRIVE TOWNHOUSES

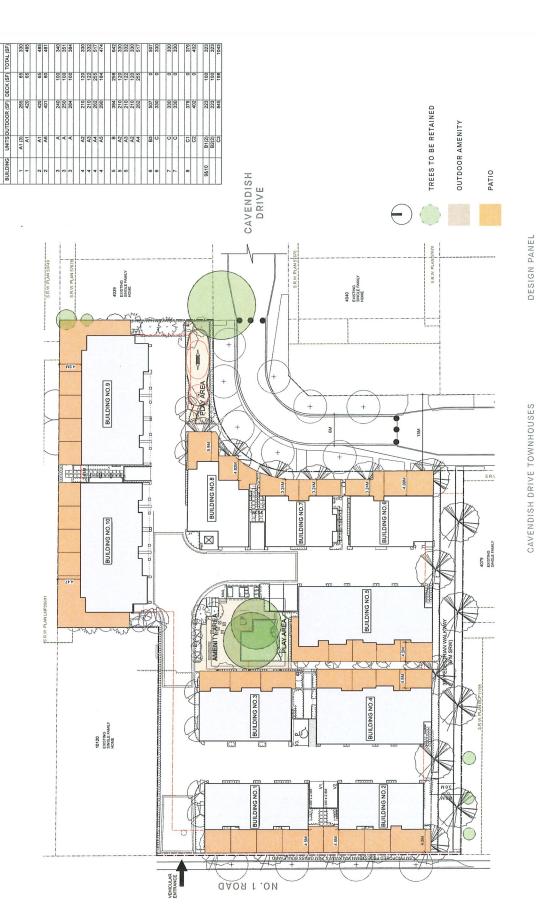
PEDESTRIAN CIRCULATION



CAVENDISH DRIVE TOWNHOUSES

DESIGN PANEL

OUTDOOR PATIO LAYOUT



BUILDING HEIGHTS - AERIAL PERSPECTIVE

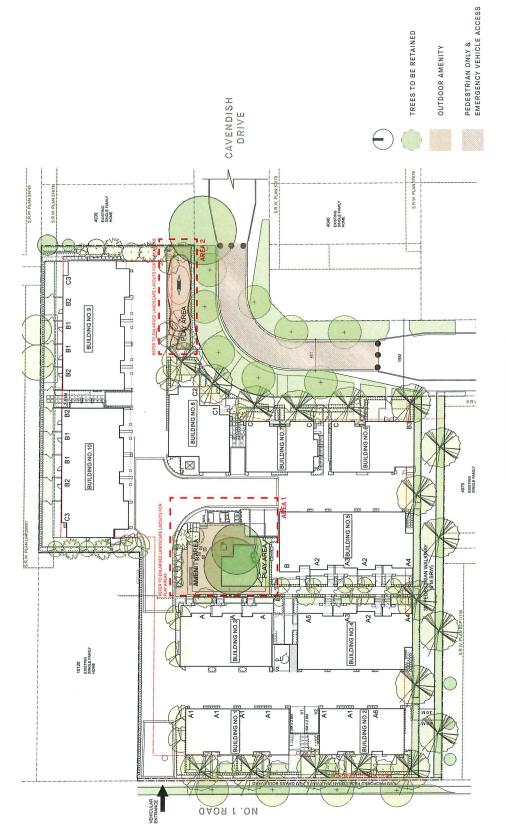


PROPOSED BUILDING | VIEW LOOKING NORTHEAST

CAVENDISH DRIVE TOWNHOUSES

DESIGN PANEL

LANDSCAPE PLAN

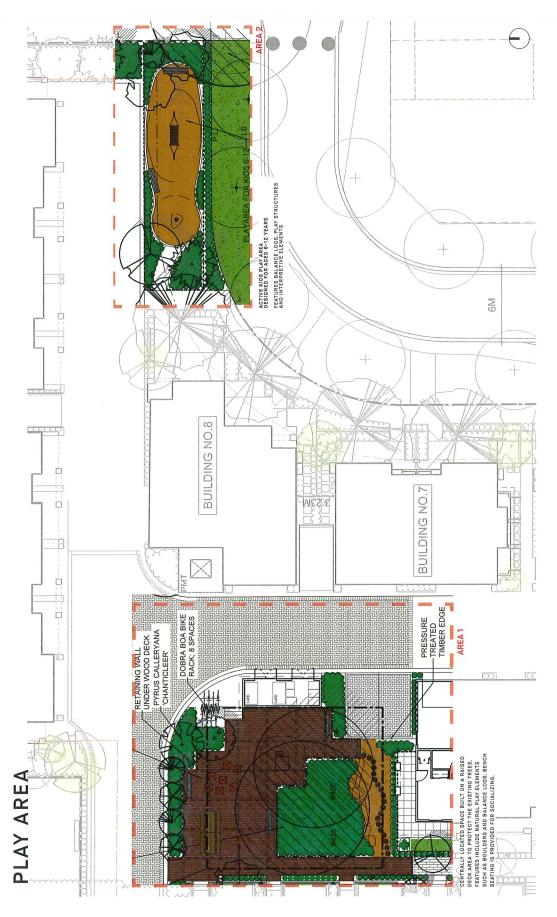


CAVENDISH DRIVE TOWNHOUSES

DETAILED LANDSCAPE PLAN



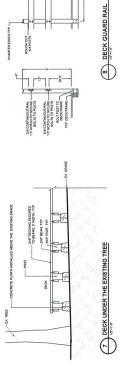
CAVENDISH DRIVE TOWNHOUSES

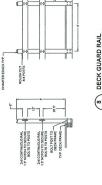


CAVENDISH DRIVE TOWNHOUSES

DESIGN PANEL

PLAY AREA SPECIFICATIONS













13 BENCH - COMPOSITE WISHBONE BAYVIEW

-36" DIAM, LOG, 1/3 RD SET IN GROU LENGTH 6-10"

OF SPLINTERS BURY MIN. 1.D HT. OF LOG LENGTH
PROVIDE MIT
FOR LOG END
FOR LOG END









11 PLAY AREA BOULDERS

10 WOOD SEAT/BLOCK

DESIGN PANEL

MATERIAL BLOW-UP



CAVENDISH DRIVE TOWNHOUSES

DESIGN PANEL

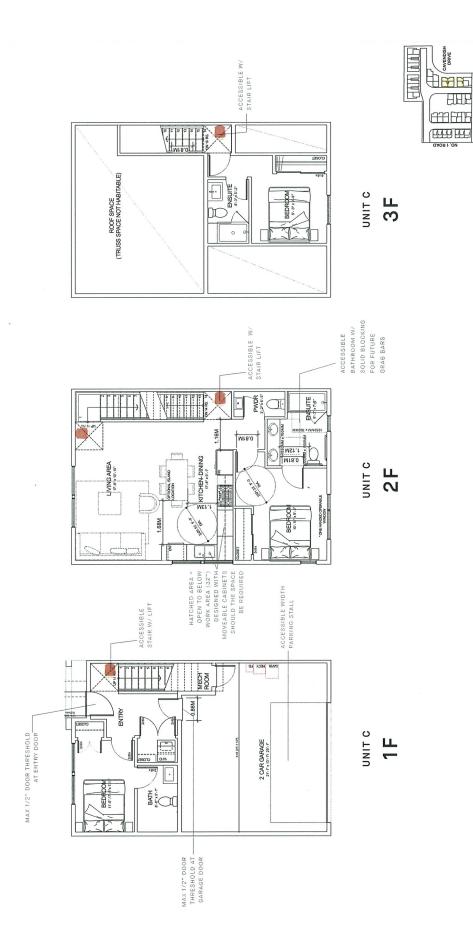
CONVERTIBLE UNIT GUIDELINES

Convertible L	Convertible Unit Guidelines
Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access.
	Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm
	Interior doors to main living areas. 1 bathroom and 1 bedroom, min. 800 mm clear
	opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access
	between the hallway and rooms and widen hallway and/or doorway(s) if necessary to
	Patio/balcony min. 860 mm clear opening. Note how accessed.
	All interior thresholds within units comply with BC Building Code.
1	Level-type namines for all doors.
Vertical Circulation	Starr lift, starcase width, framing support, and landings, as noted on floor plans in compliance with manufacturer specifications.
	OK
	Vertical lift, depressed slab area, and landings, as noted on floor plans in compliance
	with manufacturer specifications. Framing to accommodate shaft construction without impact to surrounding structure.
	At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to centre.
Hallways	Min. 900 mm width.
Garage	Min. 1 accessible parking space with min. 4 m garage width.
	Access from garage to living area min. 800 mm clear opening.
Bathroom (Min. 1)	Toilet clear floor space min. 1020 mm at side and in front.
	Wall blocking for future grab bar installation at toilet, tub and shower. Reinforced
	with 2" x 12" solid lumber in all bathtub, shower, and toilet locations.
	Lever-type handles for plumbing fixtures.
	Pressure and temperature control valves are installed on all shower faucets.
	Cabinets underneath sink(s) are easily removed.
	Demonstrate bath and shower controls are accessible (layout or fixture placement).
Kitchen	Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-
	1100T) 10cated clear of under counter area of future work space (stove, sink & min. 810 mm viide counter).
	centre of the pipe from floor level.
	Cabinets underneath sink are easily removed.
	1500 mm turning diameter or turning path diagram.
	Lever-type handles for plumbing fixtures.
Windows	Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room)
Outlets &	Placement locations of electrical outlets: beside window, bottom of stairways, beside
Switches	toilet, above external doors (outside and inside), on front face of kitchen counter,
	Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation
	room.





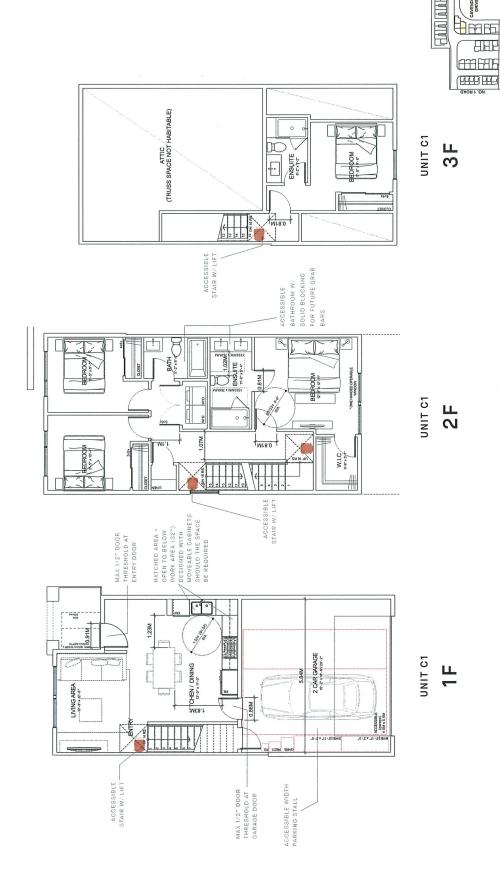
CONVERTIBLE UNIT LAYOUTS



CAVENDISH DRIVE TOWNHOUSES

DESIGN PANEL

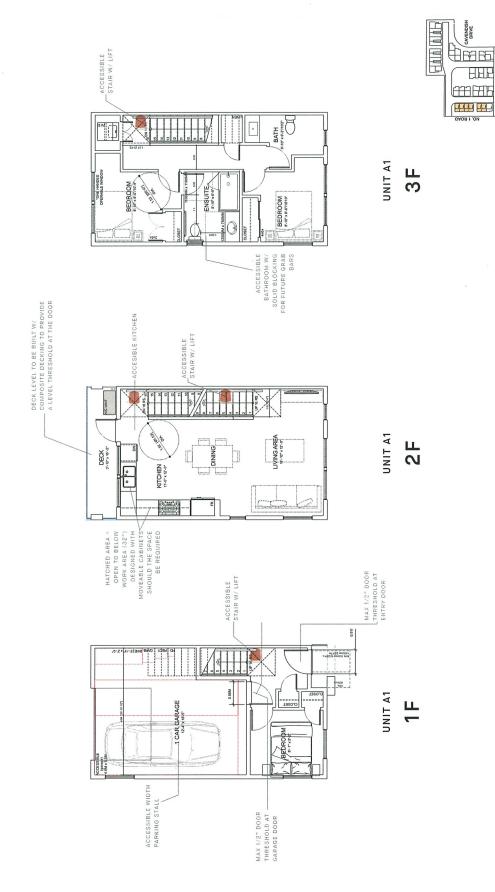
CONVERTIBLE UNIT LAYOUTS



CAVENDISH DRIVE TOWNHOUSES

NHOUSES

CONVERTIBLE UNIT LAYOUTS



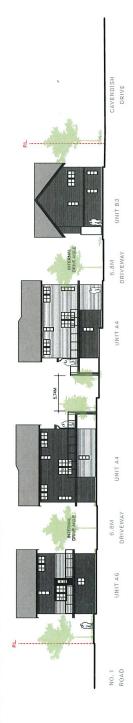
CAVENDISH DRIVE TOWNHOUSES

CAVENDISH

HHP

STREETSCAPE ELEVATIONS

STREETSCAPE ELEVATION - PUBLIC WALKWAY



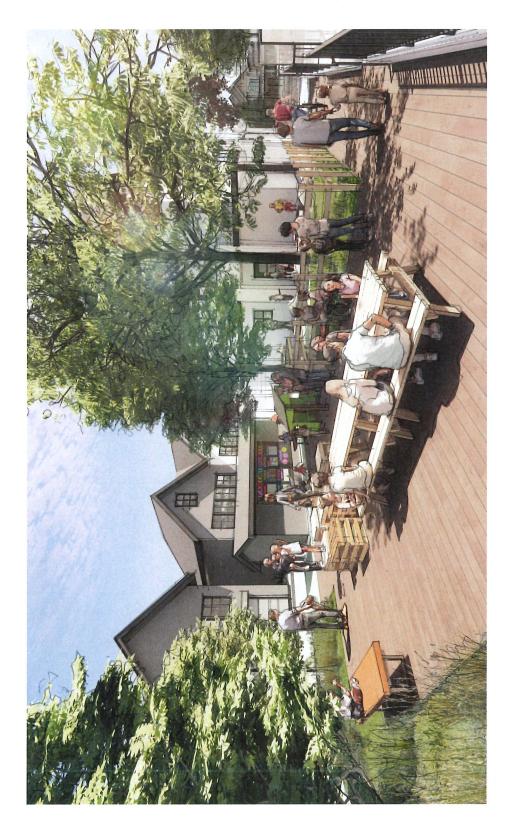
STREETSCAPE ELEVATION - CAVENDISH DRIVE



STREETSCAPE ELEVATION - NO. 1 ROAD



CAVENDISH DRIVE TOWNHOUSES



CAVENDISH DRIVE TOWNHOUSES

RENDERING



DESIGN PANEL



PROPOSED BUILDING | VIEW ALONG NO. 1 ROAD

PROJECT STATISTICS

STATISTICS OPTION	:ion						Ā	RUNITC	F.A.R UNIT CALCULATION	ION :	
CONCADDRESS. LEGAL DESCRIPTION:		10140, 10150, 10 PARTS OF BLOC	K 4 NORT	HOAD A	1914), 1916), 19169 NO I ROAD & 4851, 4816 CAVENDISH DRIVE PARTS OF BLOCK 4 NORTH RANGE 7 WEST NEW WESTANNSTER DISTRICT	DRIVE ENSTER DISTRICT	UNIT.	GROSS AREA:	STAIRS (EXEMPT AREA):	NET FLOOR	GARAGE
ZONING:		RTM					A-1F		45 SF	229 SF	390 SF
SITE AREA BEFORE DEDICATIONS SITE AREA AFTER DEDICATIONS:	ATIONS TICINS:	75,347 SQ.FT. 17,028 SG.28			92		A-2F	682 St 2023 St	2	F 20 50	
LOT COVERAGE PERMITTED:	ğ	6,125 SQ.M.)		¥	40% • 26,372 SQ.FT.		A1-16	25 55	23.54	75.85	305 SF
LOT COVERAGE PROPOSED. BUILDINGS (INC. COV. AREAS & DECKS)	D. ZAS & DECKS)	25,183 SQ.FT. (2,340 SQ.M.)	_	480	ć		2.5	44 SF 197 SF	50 SF 100 SF	384.9F 494.5F	
LOT COVERAGE PERMITTED: BLDGS, STRUCTURES, NON PORQUS	N POROUS	65,929 SQ.FT. (0,125 SQ.M.)	_	×	65% - 42,854 SQ.FT.		42.1	406.55	48.54	2	435 SF
LOT COVERACE PROPOSED BLDGS, STRUCTURES, NON PORGUS	N PORGUS	41,302 SQ FT. (3,837 SQ M.)		*29*	ž		45.0	1606 St St	25 12 15 25 15 15 15 15 15 15 15 15 15 15 15 15 15	103.54	
TOTAL UNIT NUMBER:		25 UNITS	(4 CONV	Бяти	25 UNITS (4 CONVERTIBLE UNITS, 8 LEMR UNITS)		A3.1F	505 SF	2.2	219.55	352 SF
FLOOR AREA PERMITED FLOOR AREA PROPOSED.		42,854 SQ.FT. 42,633 SQ.FT.	(0.65 FAR) (1.978.31 SO.M)	SO K.	(D.65 FAR)		10.00	560 SF 1732 SF	12.55	529 SF 1287 SF	
GROSS FLOOR AREA PROPOSED.	POSEO.	62,951 SQ,FT,	(5,867.16 SQ.M)	SO (N)		INCLUDES AL COVERED AREAS 2810 SF)	A4.15 A4.35	507 SF 257 SF 25	2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	315 SF 942 SF 764 SF 7421 SF	382 SF
COMMON INDOOR (PROVIDED): COMMON INDOOR (PROVIDED):	RED):	72 SQ.M. (775 SQ.FT) PAYMENT IN LIEU	Ē,				AS-IF	787 SF	45.57	320 SF 082 SF	392 SF
COMMON OUTDOOR (REGUIRED)	URED	216 SOM (2325 SOFT.)	SOFT				ASJ.	715 SP	20 SE 138 SE	1057 SF	
COMMON OUTDOOR (PROVIDED): KIDS PLAY AREA (PROVIDED):	VIDED):	429.6 SO.M. (4,624 SO.FT.) 266.2 SO.M. (2665.3 SO.FT.)	14 SQ.FT.)	- 7	PROVIDED IN TWO PLAY AREAS	LAY AREAS	AS-1F	616 ST 514 ST	2 2	197 SF	385 835
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LANDSCAPING: UNE PLANTING REC. LINE PLANTING PROP.		65,820 SOFT.		×	25% * 16,482 SQ.FT.		8.37	72.77.57 72.77.57 72.77.57	៩៩៩៩ មិនខម្ព	657 SF 104 SF	à R
F.A.R. OPTION:	75	PART EN ES FAIR					81-1F 81-2F	100	881	1 55	520 SF
PROPOSED FLOOR AREA	JOR ARE	الة					î	1807 SF	# £5 £5	146 5F	
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total		8		i	4301 30,17,			1411 SF	100 SF	1529 SF	
ADDITIONAL AREA ELECTRICAL CLOSETS: TOTAL	16 SQ FT.		etten		20 to FT.		9 2 2 2	823 SF 803 SF 282 SF	5 5 5 5 6 5 5 6 7 6 5 5 6 5 5 6 7 6 5 5 6 5 5 6 7 6 5 5 6 5 5 6 7 6 5 5 6 5 5 6 7 6 5 5 6 5 5 6 7 6 5 6 7 6 5 6 7 6 5 6 7 6 5 7 6 5 7 6 7 6 7 6 7 6	246 SF 755 SF 740 SF	367 SP
AFFORDABLE UNITS FLOOR AREA:	ITS FLOOF	RAREA:	STAN		110 20 11	300 500 FT.		1020 SF	10.55	1370 SF	
CONVERTIBLE LIN	IIT TYPES				9114 DO FT		88	270 35	8 8 8 8 8 8 8 8	257 ST	i I
UNIT-CIT BRY G) UNIT-CIT BRY G)	02 05U		CINTO		7 00 500 F 100 500	200 SEC 17	9.0	932 SF 720 SF 1800 SF	38 SF 37 SF 75 SF	519 SF 661 SF 1216 SF	37.5 STE
PARKING: REGUIRED:	2.0 SPACES x 29 UNITS 1.0 SPACES x 0 UNITS 0.2 SPACES x 30 UNITS 101A.	C29 UNITS G UNITS			SS SPACES (RESIDENTS) IS SPACES (LEMR) I SPACES (VISITORS) 71 SPACES	<u>.</u>					
PROVIDED.	2 CAR GARA 1 CAR GARA OPEN VISITE TOTAL	2 CAR GARAGES × 29 UNITS 1 CAR GARAGES × 6 UNITS OPEN VISITORS PARKING TOTAL			SB SPACES (RESIDENTS) 6 SPACES (RESIDENTS) 7 SPACES (VISITORS) 71 SPACES	86					
ACCESSIBLE PARKING:	1 ACCESSIBI	1 ACCESSIBLE VISITOR PARKING STALLS	ING STALI	2							
RECURRED BICYCLE	1.2 SPACES x 35 UNITS 0.2 SPACES x 35 UNITS TOTAL	x 35 UNITS	l		44 SPACES (CLASS 1) 7 SPACES (CLASS 2) 51 SPACES	-					
PROVIDED BICYCLE:	2 SPACES R	15 GARAGES			30 SPACES (CLASS 1)						

Convertible	Convertible Unit Guidelines
Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access.
	Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side not needed if rainch in wiring provided for fittire automatic door general.
	Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear
	opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access
	between the namway and looms and widen hamway and/of doorway(s) is necessary to secure access.
	Patio/balcony min. 860 mm clear opening. Note how accessed.
	All interior thresholds within units comply with BC Building Code.
	Lever-type handles for all doors.
Vertical	Stair lift, staircase width, framing support, and landings, as noted on floor plans in
Circulation	compliance with manufacturer specifications.
	Vertical lift depressed slab area and landings as noted on floor plans in compliance
	with manufacturer specifications. Framing to accommodate shaft construction without
	impact to surrounding structure.
	At the top of all stairways, walls are reinforced with 2" x 12" solid lumber at 914 mm to centre
Hallways	Min. 900 mm width.
Garage	Min. 1 accessible parking space with min. 4 m garage width.
	Access from garage to living area min. 800 mm clear opening.
Bathroom	Toilet clear floor space min. 1020 mm at side and in front.
(Mill. 1)	Well blooking for fitting amb has installation at tailst tak and shouser. Bainforned
	Mili Z. X. L. Solla milioer in an bannuo, shower, and toner locations. I again time handles for plumbing fortunes.
	be very periodical formation of the second s
	Pressure and temperature control valves are installed on all shower faucets. Calinots independent einfelt are easily removed.
	Catomoretrate both and chouse controls are accessible (layout or fixture placement)
Vitohan	Clear area readed under fiture work crace. Directing and are given (in well and in
	floor) located clear of under counter area of future work space (stove sink & min 810
	mm wide counter). All pines are brought in no higher than 304 mm to 355 mm to the
	centre of the pipe from floor level.
	Cabinets underneath sink are easily removed.
	1500 mm turning diameter or turning path diagram.
	Lever-type handles for plumbing fixtures.
Windows	Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room)
Outlets &	Placement locations of electrical outlets: beside window, bottom of stairways, beside
Switches	toilet, above external doors (outside and inside), on front face of kitchen counter,
	within proximity of control centre for smart home options.
	Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation
	LOOM

©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not by reproperty or PMG Landscape Architects and may not by reproduced or used for other projects without their permission. 10140, 10160, 10180 NO. 1 ROAD AND 4051, 4068 CAVENDISH DRIVE RICHMOND, BC PANATCH GROUP DRAWING TITLE.

LANDSCAPE
PLAN DATE: SCALE: DRAWN: DESIGN CHKD: EXISTING SINGLE FAMILY HOME CAVENDISH DRIVE EXISTING SINGLE FAMILY HOME 2-STOREY
DWELLING
CLEAN UP BY HAND AND AD 05
GROWNEW MEDIUM TO BE SUPERVISED
ARBORTECH CONSULTING 64275344 #4080 CAVENDISH DRIVE HT. ALUMINUM FENCE AND GATE

—6" HT. SOLID WOOD FENCE EXISTING SINGLE FAMILY HOME PRESSURE -TREATED TIMBER EDGE LIQUIDAMBAR -'SLENDER SILHOUETTE DOBRA BOA BIKE RACK, 8 SPACES TREE TO BE RETAINED DAMBAR STYRACIFLUA SLENDER SILHOUETTE 2-STOREY TOWNHOUSE ABLE PAVERS

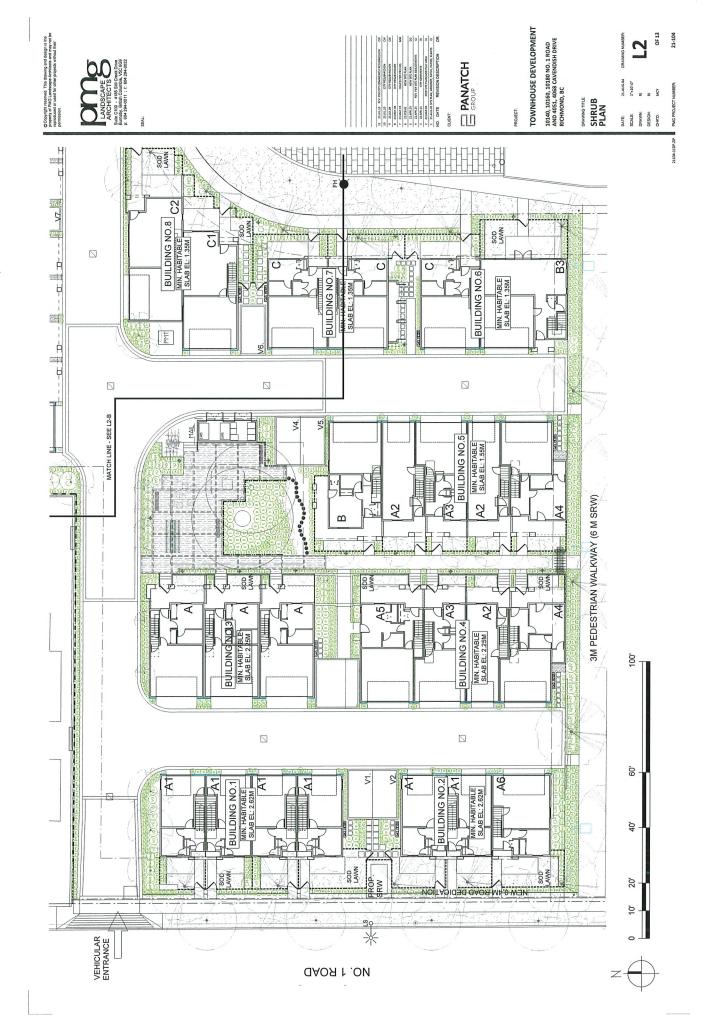
CLEAN UP BY HAND 4 ADD 8" GROWING

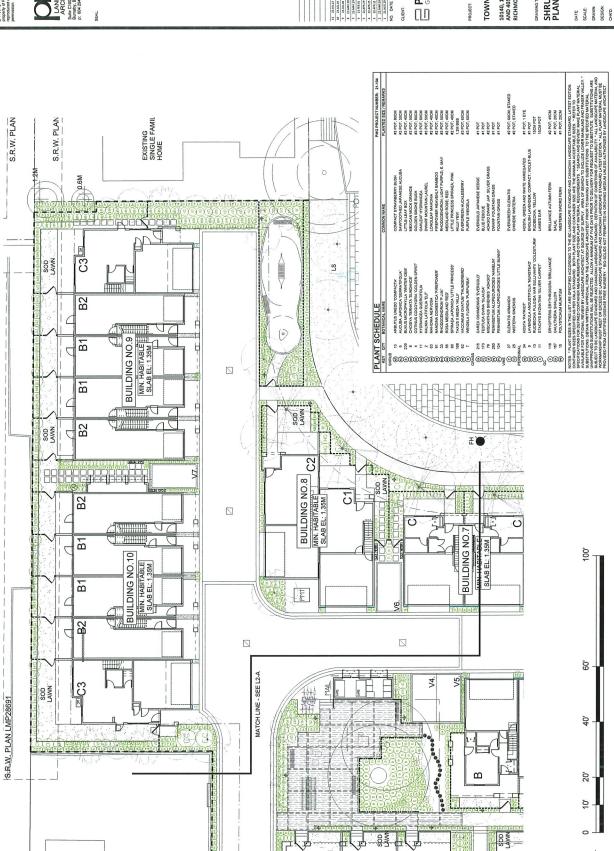
MEDIUM. TO BE SUPERVISED BY ARBORIST:
ARRORFECH CONSULTING 6042753484 EXISTING SINGLE FAMILY HOME CURB STOP & PLANTED OVERHANG ZON PERMEABLE PAVERS .09 TREE SCHEDULE

FOR THE SCHEDUL 42" HT. ALUMINUM FENCE AND GATE SOD BOULEVARD
WITH CONTINUOUS
SOIL CHANNEL
0.75M DEEP, 3:1
SIDE SLOPES TO
EDGES NO. 1 ROAD

TOWNHOUSE DEVELOPMENT

OF 13





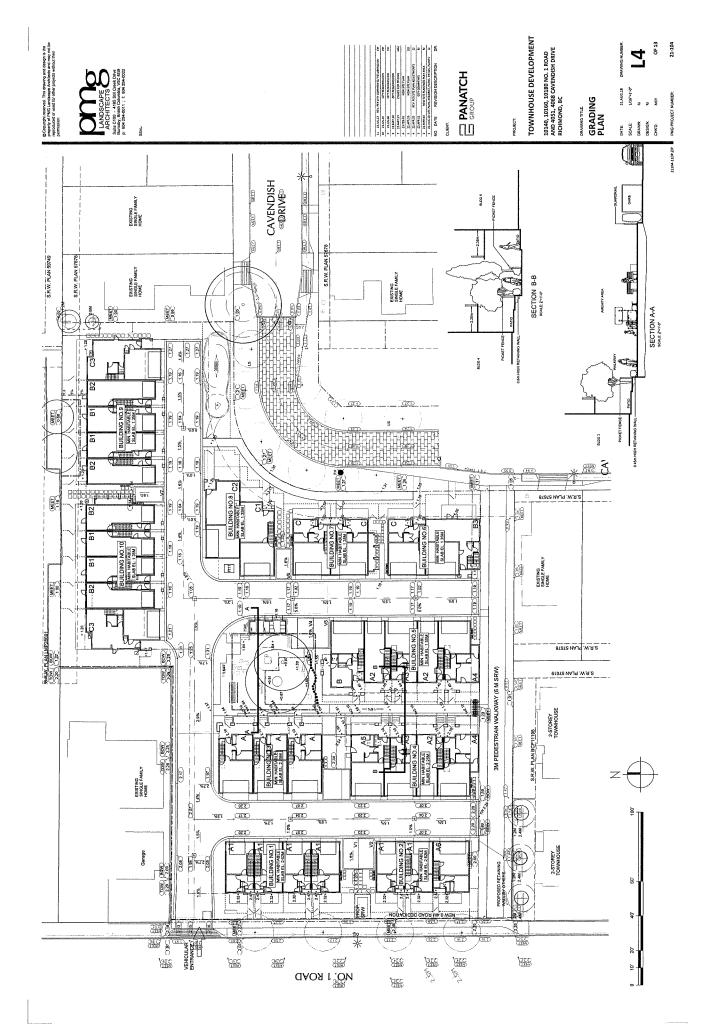
PANATCH GROUP

TOWNHOUSE DEVELOPMENT

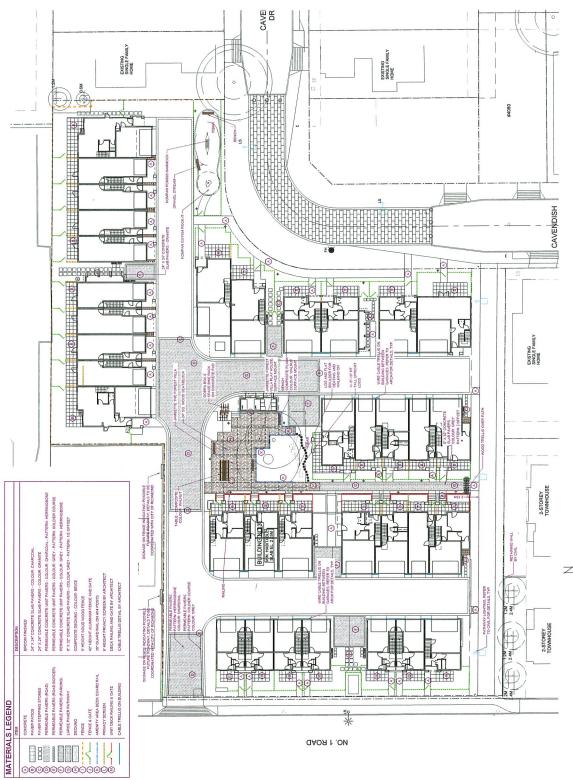
10140, 10160, 10180 NO. 1 ROAD AND 4051, 4068 CAVENDISH DRIVE RICHMOND, BC

A5

SHRUB PLAN







PANATCH GROUP

TOWNHOUSE DEVELOPMENT

10140, 10160, 10180 NO. 1 ROAD AND 4051, 4068 CAVENDISH DRIVE RICHMOND, BC

DRAWNIG TITLE
MATERIALS
PLAN

2

SCALE: DRAWN DESIGN CHKD:

40,

OF 13



B DECK GUARD RAIL

2-6 CONTINUOUS RAIL 1.5" NOTCH TO SECURE BOLTS TO POSTS

ZX6" DECKING SECURED TO BEAMS, 5' WIDTH, TYP.





GRADE CONCRETE

36" DIAM. LOG, 1/3 RD SET IN GROUND LENGTH 6-10"

PROVIDE ANTI-SLIP MATERIAL FOR LOG END

724" DIAM. LOG, TOP SMOOTHED & FREE OF SPLINTERS BURY MIN, 1/3 HT, OF LOG LENGTH

7 DECK UNDER THE EXISTING TREE

BALANCE LOG (SEE FOOTING DETAIL)

BALANCE LOG
OR TABLE
—COMPACTED GRANULAR BASE

9 PLAY AREA BALANCE LOGS







TOWNHOUSE DEVELOPMENT 10140, 10160, 10180 NO. 1 ROAD AND 4051, 4068 CAVENDISH DRIVE RICHMOND, BC

PANATCH GROUP

11 PLAY AREA BOULDERS

10 WOOD SEAT/BLOCK

PROVIDE BHOP DRAWINGS

| NOTICE HOP DRAWINGS | PROPERTY | PARTEUR | PARTEUR

FASTEN PLASTIC LUMBER TOGETHER WITH APPROVED MANUFACTURER'S FASTENERS COLOUR OF LUMBER TO BE SAND OR RED BLOCKS TO TO SAND OR REDWOOD DATE: SCALE: DRAWN: DESIGN: CHKD:

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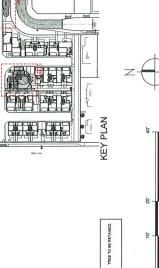
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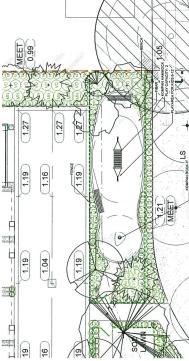
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VISITOR BIKE RACKS: 1.16



1.17 1.02 PANATCH

TOWNHOUSE DEVELOPMENT

AREA 2

10140, 10160, 10180 NO. 1 ROAD AND 4051, 4068 CAVENDISH DRIVE RICHMOND, BC

PLAYAREA ENLARGEMENT

00

DATE: SCALE: DRAWN DESIGN CHKD:

AREA 1

1.19 1.19

1.19

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A5















MODEL PHOTOS

ARCHITECTURE





ARCHITECTURE

MODEL PHOTOS





ARCHITECTURE





MODEL PHOTOS





CAVENDISH DRIVE TOWNHOUSES



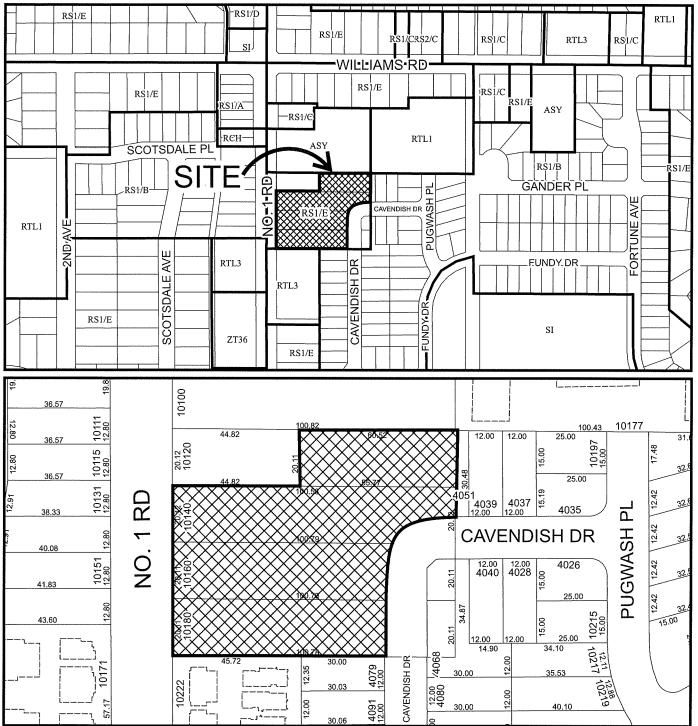
CAVENDISH DRIVE TOWNHOUSES

Schedule 2 to the Minutes of the Development Permit Panel meeting held on Wednesday, August 9, 2023

ON TABLE ITEM

Date: Ang. 9, 2023
Meeting: 3PP
Item: # [







DP 21-940028 SCHEDULE "A"

Original Date: 10/21/21

Revision Date: 07/12/23

Note: Dimensions are in METRES



Report to Development Permit Panel

To: Development Permit Panel

Date: August 2, 2023

From: Wayne Craig

File:

DP 22-017484

Director, Development

Re:

Application by Polygon Talisman Park Ltd. for a Development Permit at

3588 Ketcheson Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 178 residential units in a 14-storey high-rise multi-family apartment building at 3588 Ketcheson Road on a site zoned "Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)".

Wayne Craig

Director, Development

(604-247-4625)

WC:sb

Att. 3

Staff Report

Origin

Polygon Talisman Park Ltd. has applied to the City of Richmond for permission to develop 178 housing units in a 14-storey apartment building at 3588 Ketcheson Road, a recently subdivided development site comprising a portion of the property formerly located at 8791 Cambie Road/3600 Sexsmith Road and zoned "Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)". The site is currently vacant.

Highlights of the proposed development include:

- The subject application is the second phase of a four-phase development. The first phase of the development will provide all of the required affordable housing and the majority of the required market rental housing. The associated Development Permit (DP 22-015851) was issued by Council on July 10, 2023. Additional market rental housing is required in the second, third and fourth phases (17 market rental units in each phase).
- The subject development includes 178 apartment units, consisting of 17 market rental units and 161 strata residential units.
- The subject development provides a range of unit types from one-bedroom to three-bedroom.
 - O Unit areas are proposed to range from 57 m² to 104 m² (613 ft² to 1,120 ft²).
 - o All the units will be connected to a City-owned Low Carbon Energy System (as secured through the associated rezoning application).
- Approximately 1,876.8 m² (20,202 ft²) of indoor amenity space.
- Approximately 1,611 m² (17,341 ft²) of outdoor amenity space.
- Approximately 900 m² (9,692 ft²) of publicly accessible open space.

A Servicing Agreement is required to accommodate the development and was secured through the associated rezoning application, providing for the design and construction of new roads, road widening, frontage improvements off-site, and on-site public pathway and central green along the north and south edges of the subject site.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is located in the centre of the four-phase development, fronting onto new roads provided by the development. The subject site is in the Capstan Village area of the City Centre Planning Area and has a net site area of 4,510.4 m² (48,549.5 ft²) in area.

Development surrounding the subject site is as follows:

To the Northwest: Site for the fourth phase of the subject four-phase development, which will include high-density high-rise residential development.

To the Northeast: Site for the third phase of the subject four-phase development, which

will include high-density high-rise development and commercial uses

fronting Capstan Way.

To the Southeast: Site for the recently approved first phase of the subject four-phase

development, which will provide affordable housing and market rental housing. The associated Development Permit (DP 22-015851) was issued

by Council on July 10, 2023.

To the South: Church site, zoned "Assembly (ASY)" designated in the CCAP for

institutional and low to medium density low to mid-rise residential

development with limited commercial uses (General Urban T4 (25 m) and

Institution).

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and with the "Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)" zone.

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the proposal subject to the applicant taking into consideration the Panel's comments. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from April 5, 2023, is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Advisory Design Panel comments and is identified in 'bold italics'.

Analysis

Conditions of Adjacency

- The proposal is located in the centre of the proposed four-phase development.
- Along the new road at the west edge of the building, the entry plaza area includes Class 2 bicycle racks, and stair and ramp connections to the entry lobby.
- Along the new road at the east edge of the building planting and trees help soften the parking entry and interior DEU service area.
- Along the south edge of the building, are raised semi-private patios with direct access to a public open space pathway, planting beds and a wall trellis supporting vine planting and seating benches along the public open space pathway.
- Along the south property line, a public open space pathway is provided as secured through the associated rezoning application. Further details are provided in the Urban Design and Site Planning section and Landscape Design and Open Space Design section of this report.
- Along the north edges of the subject site, a public open space central green is provided as secured through the associated rezoning application. Further details are provided in the Urban Design and Site Planning section and Landscape Design and Open Space Design section of this report.

• An acoustic report has been provided and required noise attenuation and thermal comfort measures will be provided. The detailed Building Permit design for the development will comply with the City's requirements related to aircraft noise-sensitive development, as required by the legal agreement secured through the associated rezoning application.

Urban Design and Site Planning

- The 14-storey concrete building is proposed atop a two-level underground parking structure with ground-level units and indoor amenity space for residents of the proposed building and the residents of the future third and fourth phases of the development.
- The main entry lobby fronts onto the new road along the west edge of the subject site.
- To the north, the building faces ground-level outdoor amenity space for the shared use of residents in the building and in future third and fourth phases of the overall development and a public open space central green that is accessible from the surrounding sidewalks. A public pathway runs along the curved boundary of the central green, separated from the private outdoor amenity space by a lowered rain garden and connected with a bridge to an entry plaza to the private indoor amenity space. Private outdoor amenity activity areas are setback from the central green behind the rain garden planting and fenced with visually permeable vertical open picket metal fencing.
- Approximately 1,876.8 m² (20,202 ft²) of indoor amenity space is provided. Approximately 88 m² (945 ft²) is provided on the 13th level in a party room with kitchen facilities for the use of residents in the building. Approximately 1,789 m² (19,257 ft²) on the first two floors provide meeting room, lounge, indoor sports court, equipment storage, swimming pool, hot tubs and change rooms, yoga studio, aerobic and weight lifting gyms, office and children's play room facilities for the shared use of residents in the building and in the future third and fourth phases of the overall development. In order to secure access for residents in the future third and fourth phases, the developer has agreed to enter into a legal agreement to be registered on Title.
- Approximately 1,611 m² (17,341 ft²) of outdoor amenity space is provided. Approximately 1,081 m² (11,636 ft²) is provided on the 13th level roof for the use of the residents in the building. Approximately 597 m² (6,426 ft²) is provided at grade for the shared use of residents in the building and in the future third and fourth phases of the overall development. Further details are provided in the Landscape Design and Open Space Design section of this report. In order to secure access for residents in the future third and fourth phases, the developer has agreed to enter into a legal agreement to be registered on Title.
- Approximately 900 m² (9,692 ft²) of public open space is provided on-site, as secured through the associated rezoning application with public-rights-of-passage Statutory-Rights-of-Way as part of the overall development's Capstan Station Bonus Public Open Space requirements, with detail design and construction through a Servicing Agreement. Approximately 222 m² (2,390 ft²) is a public open space pathway area along the south edge of the subject site, providing connections between the new Brown Road extension, the new road cul-de-sac (and Garden City Road further to the East of the cul-de-sac) and towards the new City Park. Approximately 678 m² (7,302 ft²) is a public open space central green area at the north edge of the subject site. Further details are provided in the Landscape Design and Open Space Design section of this report.

- Vehicle access to the parkade will be provided from the new road along the east edge of the subject site.
- A loading space and garbage/recycling collection area is located inside the parking structure.

Architectural Form and Character

- The project proposes a contemporary architectural style featuring vertical building bays, stacked glazing, stacked balconies and staggered vertical bands of coloured screens creating a vertical visual rhythm in the upper building, which is complemented by a strong podium with horizontal glazing patterning at the indoor amenity areas and white brick helping mark the building entry.
- Along the south edge of the podium, glazing at the second floor amenity space is coordinated with the ground level units, glazing provides views into the district energy room and a pattern of white brick pilasters break up the length of the wall and provides visual interest at the solid wall screening interior service and parking areas.
- In recognition of the subject sites location within the CCAP Richmond Arts District, the arrangement and colouring of balcony vertical shade elements reference the sway of long grasses in marshy areas. For night time interest, the vertical shade elements on the north end of the west façade and the west end of the north façade include a lighting feature of recessed coloured lighting that will be programmed to turn on in the early evening, slowing change pattern once an hour, dim by 50 per cent at 10 p.m. and turn off at midnight. Illustration of the lighting feature is included on DP plan #27.
- To ensure the proposed lighting feature is installed and operated in such a way as to enhance the neighbourhood without causing disturbance to neighbourhood residents, prior to DP issuance, the applicant has agreed to enter into a legal agreement to be registered on Title, including providing a security in the amount of \$25,000.00 to be released after the lighting feature is installed and operational in accordance with the approved Development Permit and detail design to the City's satisfaction; and indicating the details of the lighting feature and securing the ability for the City to compel the owner and future strata to maintain, reduce lighting intensity, reduce animation, change colouring, cease operations and/or remove the lighting feature.
- The exterior cladding is a combination of window wall with grey aluminum framing and floor banding and grey spandrels, curtain wall, white brick, grey painted concrete, white painted soffits and glass guardrails. Aluminum balcony metal shade panels and amenity area curtain wall mullions feature blue and cream to light brown colouring referencing sky, water and tall marsh grasses. Taller glazed walls identify and highlight the entry lobby and interior amenity areas.
- The colour palette of light grey and accents of white, blue and warm cream to light brown tones provide accent and visual interest.

Tree Management

• Existing trees were reviewed and evaluated through the associated rezoning application, which required the protection of one existing tree on the neighbouring property to the south.

• As required through the associated rezoning application, the Official Community Plan 2:1 replacement ratio requires that a minimum of 206 replacement trees be provided across the overall four-phase development for the removal of 103 bylaw-sized trees on-site across the overall development. The first phase secured the planting of 138 trees and the applicant has agreed to plant 49 trees on the subject site. The remaining 19 replacement trees will be addressed during the remaining two phases of development.

Landscape Design and Open Space Design

- Along the new road at the west edge of the building, the entry plaza area includes Class 2 bicycle racks and stair and ramp connections to the entry lobby.
- Along the new road at the east edge of the building planting and trees help soften the parking entry and interior DEU service area.
- Along the south edge of the building, are raised semi-private patios with direct access to the
 public open space pathway, planting beds and a wall trellis supporting vine planting and
 seating benches along the public open space pathway.
- The public open space central green at the north end of the site provides walking paths, seating opportunities, bermed areas, planting and trees.
- The public open space pathway and central green will be designed in detail and constructed through a Servicing Agreement and will include lighting. Fencing between the subject site and neighbouring property to the west will be provided, delineating the edge of the public open space pathway area.
- Outdoor amenity space proposed in this development exceeds the minimum OCP requirements. Outdoor amenity spaces proposed on the ground level for the shared use of residents in the building and in the future third and fourth phases of the overall development include a hot tub, cold plunge pool and sauna, paved patio, BBQ, fire table, seating and a bocce green. These are edged with planting and trees. Rooftop outdoor amenity space for the use of residents in the building include children's play areas, raised gardening beds, planting beds and play lawn, pathways, seating, fire table and dining area opportunities and outdoor dining patio area adjacent to indoor amenity area. The children's play area features a coloured metal bamboo grove, bermed rubber mounds, wood decks and open lawn areas. Additional children's play opportunities are provided in the indoor swimming pool and indoor sports court areas.
- The plant palette selection includes native and non-native plants with a variety of bloom periods and textures, delivering all-season interest. The landscape design includes 49 trees of seven species, including coniferous species of fir, cedar and hemlock and deciduous species of maple, redbud and dogwood.
- An urban agriculture garden area is provided in the rooftop outdoor amenity area including raised vegetable gardening planters, work table with tool storage and hose bib.
- A lighting plan is included in the DP plans. Lighting will be provided throughout the site and is to be directed downwards and into the site.
- On-site irrigation will be provided for all planted areas.

• In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,089,660.00 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, pedestrian pathways and resident private/semi-private areas are designed to be
 well-defined by soft landscaping and hard fencing/gates to clearly delineate boundaries of
 uses.
- The entry lobby is designed to be visually open from the sidewalk.
- The parkade entry (overhead gate) is designed with clear sight lines.
- Views from interior spaces provide passive surveillance opportunities to outdoor amenity
 areas and patios. Views from upper units provide passive surveillance opportunities of
 grade-level public pathway.

Sustainability and Renewable Energy

- The subject site is required to be connected to an on-site low-carbon energy system and the ownership of the system is required to be transferred to the City. Registration of legal agreements securing the provision of and connection to the district energy utility was secured through the associated rezoning application.
- The developer has committed to design the subject development to meet the City's Step Code requirements (e.g. Step 2), which is supported by preliminary energy modelling prepared for the subject development. Details on how all units are to be built and maintained to this commitment will be reviewed at Building Permit stage.

Transportation

- The two levels of underground parking accommodate a total of 194 parking spaces, including 147 parking spaces for strata residential units, 14 parking spaces for market rental units and 33 visitor parking spaces, which includes two car share spaces. A total of five accessible parking stalls will be provided.
- The proposed parking rates are consistent with the parking requirements under the site-specific ZMU47 zone subject to the provision of Transportation Demand Management measures (TDMs) to the satisfaction of the City, which were secured through the associated rezoning application.

The TDMs include:

- o Provision of two Class 1 bicycle storage spaces per dwelling unit, 10 per cent of which as larger family sized (e.g. for bicycle trailers or multiple bicycles).
- o Provision of a bicycle maintenance and repair facility in the development.
- o Provision of 120V electric plug-ins for 10 per cent of Class 1 bicycle storage spaces for electric bicycles.
- o Provision of two car-share vehicles, dedicated parking spaces, and associated Public Rights of Passage SRW to facilitate public access to the car share vehicles.

Additional TDMs applying to only the market rental units include:

- o Provision of one year of bicycle share service memberships for 100 per cent of the market rental units.
- o Provision of one year of two-zone monthly transit passes for 100 per cent of the market rental units.
- o Provision of one year of car share service membership for 100 per cent of market rental units.
- There is a total of 356 Class 1 bicycle storage spaces provided in secure rooms. No more than 40 Class 1 bicycle spaces are provided in a single room, in compliance with provisions of Zoning Bylaw 8500.
- There is a total of 36 Class 2 bicycle storage spaces provided throughout the site.

Affordable Housing

• As secured through the associated rezoning application, affordable housing units are being provided in the first phase of the development and are required to achieve occupancy before occupancy of any other phase of development, including the second phase of development on the subject site. The associated development permit (DP 22-015851) for Phase 1 was issued by Council at its meeting of July 10, 2023.

Market Rental Housing

• As secured through the associated rezoning application, the development proposal provides 17 market rental housing units of approximately 1,237.7 m² (13,322 ft²) of floor area on the fourth and fifth levels. The proposed unit types are shown in the table below:

Unit Type	Number of Units	Proposed Unit Area
1-Bedroom	3	56.9 - 62.7 m ² (613 - 675 ft ²)
2-Bedroom	14	64.8 - 93.2 m ² (697 - 1,003 ft ²)

- The rental charge rates for these units are market rates and not subject to any City restrictions. These units are restricted to rental tenure only in accordance with a market rental housing agreement registered on Title through the associated rezoning application.
- The market rental housing unit locations are indicated on the development plans.

Accessible Housing

- The proposed development includes 17 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - o stairwell handrails:
 - o lever-type handles for plumbing fixtures and door handles; and

- o solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- The building lobby is accessed from the new road sidewalk.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Sara Badyal

Planner 3

(604-276-4282)

Sara Badyal

SB:js

Att. 1: Development Application Data Sheet

2: Advisory Design Panel Meeting Minutes (Annotated Excerpt from April 5, 2023)

2: Development Permit Considerations



Development Application Data SheetDevelopment Applications Department

DP 22-017484				ttachment 1		
Location	3588	3588 Ketcheson Road				
Applicant	Polyg	on Talisman Park Ltd.				
Owner	Polyg	on Talistar Homes Ltd. (inc. No. BC1167752	2)			
Planning Area(s)	Capst	an Village (City Centre)				
		Existing	Proposed			
Site Area	4,510	.4 m²	No change			
Land Uses	Vacar	it	Multi-family residential	Multi-family residential		
OCP Designation	Mixed-Use		Complies			
CCAP Designation	Urban Centre T5 (35m) and additional density and additional building height Capstan Station Bonus (CSB) Richmond Arts District		Complies			
Zoning	1	ential / Limited Commercial (ZMU47) – an Village (City Centre)	Complies			
Number of Units	None		178 apartment units, including 17 Market Rental units (Min. 1,20 161 Strata units)2.63 m²)		
		Bylaw Requirement	Proposed	Variance		
Floor Area Ratio		Max. 3.28 (14,794 m²)	3.25 (14,625 m²)	None permitted		
Lot Coverage		Max. 90%	52%	None		
Setbacks: Public Road Interior Side Yard		Min. 3 m None	Min. 3 m Min. 6 m	None		
Parkade Setbacks: Public Road		Min. 1.55 m	Min. 3 m	None		
Underground		None	Min. 0 m			
			Min. 0 m 44.5 m	None		
Underground		None		None None		
Underground Building Height		None Max. 45 m	44.5 m			

	Bylaw Requirement	Proposed	Variance
Small Car Parking Spaces	Max. 50%	20%	None
Tandem Parking Spaces	Permitted	None	None
Loading Spaces	1 medium	1 medium	None
Bicycle Spaces	356 Class 1 (TDM), including 36 family sized (TDM) 36 Class 2	356 Class 1 (TDM), including 37 family sized (TDM) 36 Class 2	None
EV (Energized) Car Charging	100% resident parking spaces	100% resident parking spaces	None
Amenity Space – Indoor	Min. 356 m ²	1,876.8 m ²	None
Amenity Space – Outdoor	Min. 1,519 m ²	1,611 m ²	None
Capstan Station Bonus Public Open Space	Min. 890 m²	900.4 m²	None

Annotated Excerpt from the Minutes from Richmond Advisory Design Panel

Wednesday, April 5, 2023 – 4:00 p.m. Remote (Webex) Meeting

Panel Discussion

Comments from Panel members were as follows:

- proposed multi-toned aluminum louvers on the building have an interesting detail and have value; consider strengthening the colours of louvers to make the building stand out from other buildings in Richmond which have a monotone appearance Design improved. The colour palette has been refined to include a shade of blue which is indicative of the sky reflecting on the marsh water;
- the colour and design of the building should be further emphasized considering its central location in the overall project and in order to reinforce the Richmond Arts District character; investigate opportunities to create something that is unique and speaks to its location in the Richmond Arts District Design improved, façade design refined and colours refined as noted above and façade lighting feature intended to reflect Richmond Arts District location;
- ensure that the proposed location of public art in the central green space fronting the building will not be screened by trees and other plantings in the long term *Noted*, this will be finalized through the future Public Art Plan process;
- consider enhancing the design of the picket fences in front of the units along the south side to make them more artsy, colourful and interesting in order to provide more visual appeal to passing pedestrians and in keeping with its location in the Richmond Arts District Design improved. Guardrail has been updated to include coloured vertical slats that extend the abstract marsh grass motif to the ground level patios. The colour scheme utilizes the building colour palette;
- appreciate the provision of underground parking in the project; the applicant's approach to hide the parking spaces is successful *Noted*;
- the "back of house" blank facades at the southeast corner need further treatment and articulation; considering the central location of the subject building and being surrounded by buildings in other phases of the overall project, there should be no "back of house" blank facades in the proposed building; all façades should be treated with good texture and material Design improved. The concrete wall on the east and south side of the DEU room at the southeast corner has been replaced with a glazed wall system to provide views into the DEU system interior. In addition, the trellis was replaced with a stainless steel wall grid system to support climbing plants, and together with seating and planters moved to respond to the DEU glazing and to align more closely with the north-south public pathway leading to the neighbourhood City park;
- appreciate the unique design of the building which stands out in the neighbourhood;
 however, not sure if it successfully reflects the marsh habitat theme *Design improved as noted above*;
- consider whether two bicycle parking spaces per residential unit are needed as they take up significant space which could otherwise be utilized for other uses *Considered*;

- the use of marsh habitat referencing elements in the building are subtle but effective in expressing the concept *Noted*;
- the use of coloured lights at dusk presents an opportunity for underscoring the marsh habitat concept if subtle and easy on the eye; would also enhance the Richmond Arts District character *Noted*;
- in general, the project is interesting *Noted*;
- appreciate the presentation and design of the project *Noted*;
- appreciate the provision of a significant amount of permeable areas; however, concerned about the soil volume in planters on the south side as they don't look large enough to accommodate trees Design improved. Two trees were relocated and all other trees will have adequate soil volume. Hedge planting remains between private patios to ensure screening and vertical articulation of the SRW throughway;
- in connection with public open space, ensure that the public amenity area and semi-private area for the building are differentiated; consider installing fencing to provide separation between the two areas *Noted. Fencing separates these two areas*;
- support Panel comments that the marsh habitat theme could be further enhanced in the
 project through introducing more design elements such as fencing and more colours Design
 improved as noted above;
- consider incorporating children's play equipment and other play opportunities for different
 age groups on the ground level outdoor amenity area (west zone) Additional children's
 play opportunities are provided in the indoor swimming pool and indoor sports court
 areas;
- consider incorporating more variety of seating elements in the public open space on the north side of the project for different users, e.g. benches with backrest and arm rests for seniors Design improved. Backrests have been added to several of the benches within the North and South SRW areas; and
- overall, the design of the project is excellent and a welcome addition to the neighbourhood *Noted*.

In addition to the above comments from the Panel, the following written comments were submitted by Panel member Pam Andrews and were read into the record by Chris Lee:

- appreciate that aging-in-place features are included in all units of the project, i.e. all market strata and market rental units; the project definitely addresses both the present and future needs of the City *Noted; and*
- impressed that all of the BUH units have level access to the patio area; this is not always the case on units above ground level Noted. In order to address building envelope concerns regarding water ingress there will always be a sill separating the interior volumes from exterior patios/balconies. The sill will be minimized while also maintaining the integrity of the envelope.

Panel Decision

It was moved and seconded

That DP 22-017484 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIE



Development Permit Considerations

Development Applications Department

Address: 3588 Ketcheson Road File No.: DP 22-017484

Prior to Development Permit issuance, the following are to be met prior to forwarding this application to Council for approval:

- 1. (Landscape security) Entering into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$1,089,660.00.
- 2. (DPP Meeting Notification) Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No. 8636, as amended.
- 3. (Lighting Feature) Registration of a legal agreement on title requiring the proposed lighting feature be installed, maintained and operated in such a way as to enhance the neighbourhood without causing disturbance to neighbourhood residents, including
 - a. Entering into a security agreement and receipt of a Letter-of-Credit in the amount of \$25,000 to be released after the lighting feature is installed and operational in accordance with the approved Development Permit and detail design to the City's satisfaction; and
 - b. Granting the City the right to compel the owner and future strata to maintain, reduce lighting intensity, reduce animation, change colouring, cease operations, and/or remove the lighting feature.
- 4. (Indoor Amenity Space Shared Use) Registration of a legal agreement on title securing shared use of on-site indoor amenity space located on the first and second floor with residents of the future third and fourth phases of the overall development.
- 5. (Outdoor Amenity Space Shared Use) Registration of a legal agreement on title securing shared use of on-site outdoor amenity space located at ground level with residents of the future third and fourth phases of the overall development.

Prior to Building Permit* issuance, the developer must complete the following requirements:

- 1. (RZ/DP legal agreements) Compliance with all legal agreements secured through the associated rezoning and Development Permit applications.
- 2. (Aircraft Noise Sensitive Development) Submission of and compliance with acoustic and mechanical engineering reports as per aircraft noise sensitive development legal agreement registered on title.
- 3. (Traffic and Parking Management Plan) Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (http://www.richmond.ca/services/ttp/special.htm).
- 4. (Hoarding) The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any

part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.

5. (Latecomer Agreements) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.

NOTE:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be
 drawn not only as personal covenants of the property owner but also as covenants pursuant to
 Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]	
Signed	Date



Development Permit

No. DP 22-017484

To the Holder: Polygon Talisman Park Ltd. (Robin Glover)

1333 West Broadway, Unit 900

Vancouver, BC V6H 4C2

Property: 3588 Ketcheson Road

Address: 1333 West Broadway, Unit 900

Vancouver, BC V6H 4C2

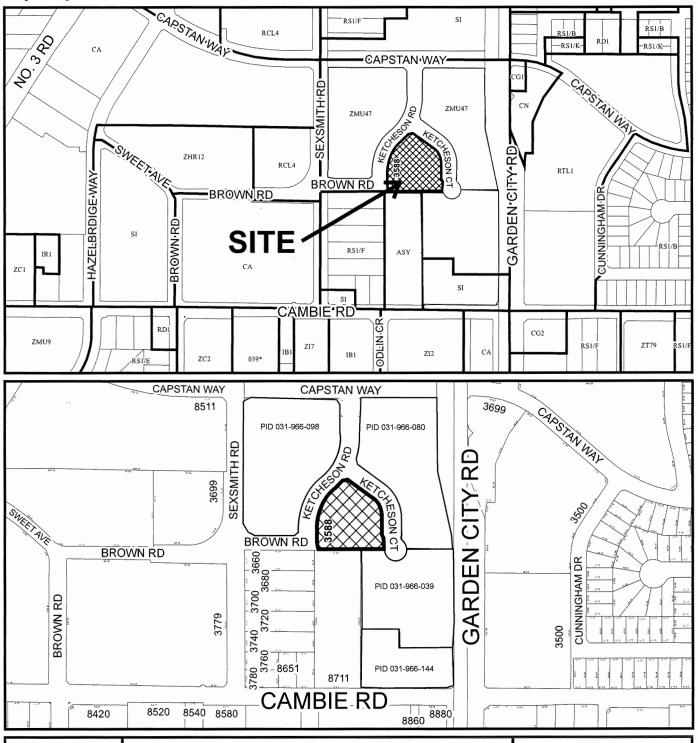
1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.

- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #57 attached hereto.
- 4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,089,660.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit No. DP 22-017484

To the Holder:	Polygon Talisman Park Ltd. (Robin Glover) 1333 West Broadway, Unit 900 Vancouver, BC V6H 4C2			
Property:	3588 Ketcheson Road	d		
Address:	1333 West Broadway Vancouver, BC V6H 4			
	s of this Permit and any a part hereof.	enerally in accordance with the terms and y plans and specifications attached to this		
AUTHORIZING RESOLUT DAY OF ,	ION NO.	ISSUED BY THE COUNCIL THE		
DELIVERED THIS D	OAY OF ,			
MAYOR				







DP 22-017484 SCHEDULE "A"

Original Date: 07/20/23

Revision Date:

Note: Dimensions are in METRES



- Development to comply with legal agreements registered on title
 17 Market Rental Units
- Parking reductions with TDMs
- 2 Class 1 bicycle storage spaces per Market Rental units
 10% of Class 1 bicycle storage spaces are to be family-sized
- · Shared bicycle maintenance facility
- •EV: 100% of resident & Market Rental visitor parking spaces, and 10% of class 1 bicycle storage
- 2 car share parking spaces & SRW
- · Irrigation system for all soft landscaping
- Tree protection as per RZ 18-836123
- Development to comply with Aircraft Noise Sensitive Development legal agreement and acoustic report and mechanical report requirements
- · Onsite LCES DEU ownership to be transferred to City
- · Off-site works and PROP SRW central green space and south public pathway areas to be designed constructed via separate required Servicing Agreement

Talistar Dat Talisman Park





HAPA

ISSUED FOR DP RE-SUBMISSION 2023-05-18



8791 Cambie Road, Richmond, B.C.

DP PLAN# 1 July 18, 2023 DP 22-017484

Site & Project Description

One Residential Building with Townhomes at Grade

Civic Address:

8791 Camble, Richmond BC

Planing Area Existing Zoning Proposed Zoning

Capstan Village (City Center)
Single Detached (RS1/F)
Residential / Umited Commercial (ZMU47) – Capstan Village (City Centre)

Bylaw 10198

3.24 44.5 Building Height (m)

Existing Land Use N/A

Ketchenson Road Site 1 - Future Development Site 2 - Future Development

	Metric (M)	Imperial (FT ²)
Gross Site Area	4,510.40	48,549.54
Min. Lot Area	4,400.00	47,361.21

	Metric	Imperial.	FAR
FAR Area	14,625.0	157,422	3.24

		Provided GFA		Provided Exclusions		Provided FAR Area	
Use	Provided FAR	Metric (M ²)	Imperial (FT ²)	Metric (M ²)	Imperial (FT ²)	Metric (M²)	Imperial (FT ²)
Market Residential Condo	2.95	17,478.0	188,132	4,163.9	44,820	13,314.1	143,31
Market Rental Housing	0.29	1,408.2	15,158	97.4	1,048	1,310.9	14,11

	Width (Varies)		Depth (Varies)	
	Metric	Imperial	Metric	Imperial
Dimensions	73.7	241.7	73.2	240.

* Refer to survey drawing for site dimension

BUILDING SETBACKS

	Required (By	aw 10198)	Proposed	
Property Line	Metric (m)	Imperial (ft.)	Metric (m)	Imperial (ft.)
North	6m-3m	19.6 ft9.84 ft.	32.40	106.27
South	6m-0m	19.6 ft0 ft	6.10	20.00
East	6m-3m	19.6 ft9.84 ft.	3.05	10.00
1444	6-3-	10 5 ft 0 9/1 ft	2.05	10.00

Legal Addresses: Lot 4 Section 27 and 28 Block 5 North Range 6 West New Westminister District

	Metric (M²)	Imperial (FT ²)
Gross Site Area	4,510.4	48,550
Building Footprint	2,362.2	25,427
Site Coverage %		52%
Max. Permitted Lot Coverage %		90%

Walking Distance

ON-SITE AMENITY SPACE

Indoor Amenity Space Requirement

Category	Rz 18-886123 Identified for phase 2,3 & 4 Total
Indoor Ameni	1,876 m ² of the 2,130 m ² indoor amenity space needed to support the proposed
Indoor Ameni	1,065 dwelling units in phases 2, 3 and 4.

Indoor Amenity Space Provided Area Summany (SM)

Category	Function	Location	User	Area
Indoor Amenity	Pool,Sport Court,Lounge	Ground Floor	Phase 2-4 Residents	911.6
	Meeting Room	Ground Floor	Phase 2 Residents Only	32.9
	Gym, Yoga, We-work, Children's Play Room	Level 2	Phase 2-4 Residents	844.5
	Party Room	Level 13	Phase 2 Residents Only	87.8
	TOTAL			1876.1

Category	OCF Min.	CCAP Additional	FOTAL
On-Site Amenity Space	€ M ² x178=1068 M ² (Children' Play Area: 3M ² x178=534 M ²)	4510 M ² X 10%=451 M ²	1519 M²

Outdoor Amenity Space Provided Area Summary (SM)

Category	Function	Location	Area
GCP Min		Ground Floor	156
	Children's Play Area	Level 13	440
		Sub-Total	596
	Louinge, Guitfoor Dining.	Ground Floor	441
	O.rrdoor Dining	Level 13	641
	TOTAL		1082
CCAP Additional	Shrubs, Traces, Decarative lawn	Ground Floor	379
	Plant Beds #Shruks	Level 3	150
	TOTAL		529

TOTAL OUTDOOR AMENITY SPACE

Public Open Space Requirem	Ibiic Open Space Kequirement		
Category	Required		
Open Space	178 UNITS X 5 M2 = 890 M2		

Public Open Space Provided Area Summary (SM)

abite Open Spece Frevioles Area Summary (311)		
Location	Area	
Central Lot SouthE1	222.5	
Central Lot NorthE3	678.2	
TOTAL	900.7	



1333 W Broadway #900, Vancouver, BC V6H 4C2

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IBI Group Architects (Canada) Inc., a sended of the IBI Group of companies



DP PLAN# 2 July 18, 2023 DP 22-017484



Talistar D at Talisman Park

8791 Cambie Road, Richmond, B.C. PROJECT NO: 137723 DRAWN BY: User PROJECT MGR: APPROVED BY:

Statistics General

A0.04

	Tower		Shoulder		Podium	
	Metric (M)	Imperial (FT)	Metric (M)	Imperial (FT)	Metric (M)	Imperial (FT)
NUMBER OF FLOORS		14	12	2	2	
TOP OF LAST OCCUPIED LEVEL	40.90	134.19	35.40	116.14	7.80	25.5
TOP OF APPURTENANCE	44.50	146.00	36.60	120.08	9.00	29.5

2.52 M Average Finished Site Grade

* Average finished site grade is the average of the finished grade at the lot corners and building/s corners. (DP Application form)

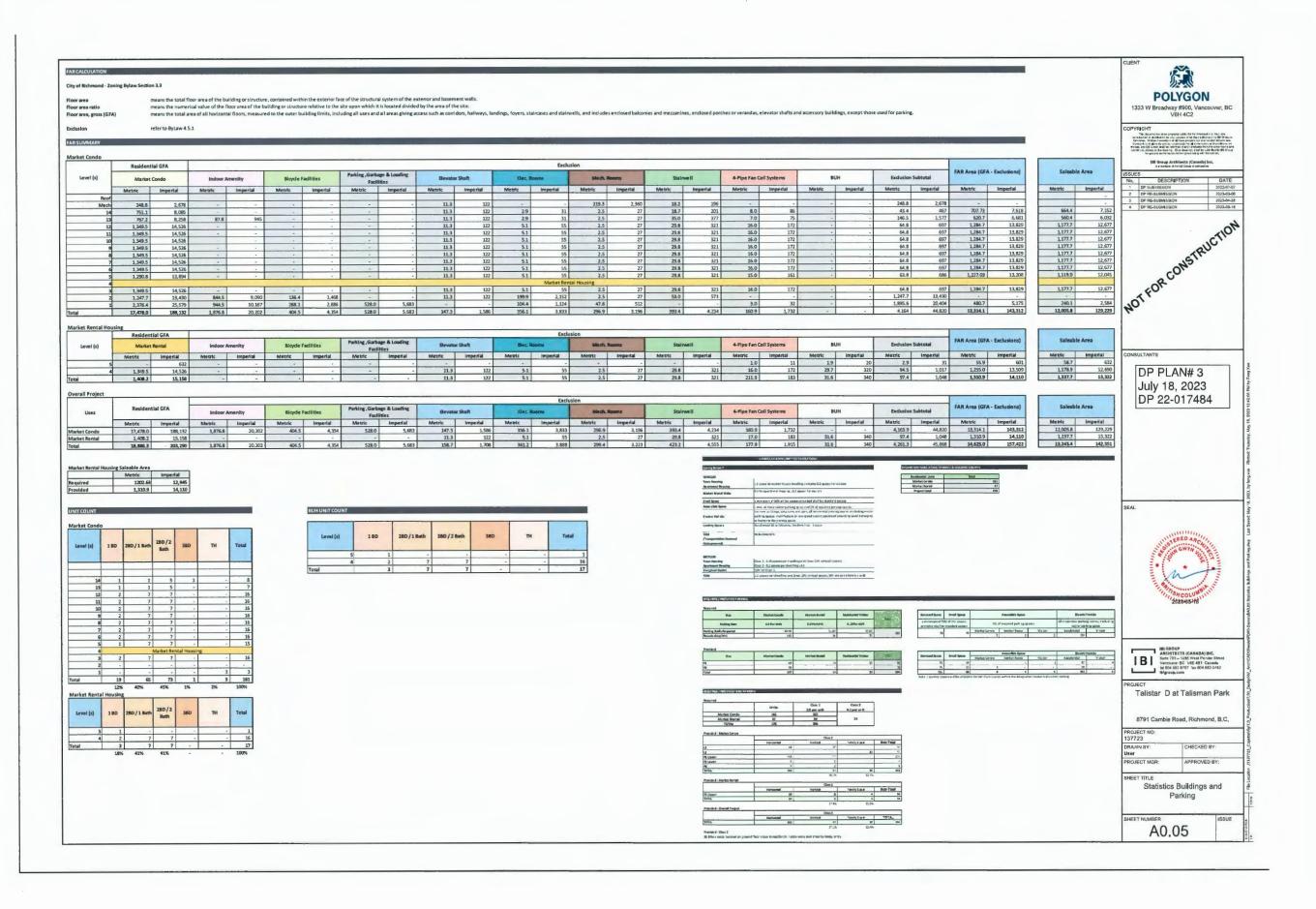
Unit Mix-Market Condo					
Туре	18D	280	38D	TH	Total
Total	19	138	1	3	161
Distribution	11.8%	85.7%	0.6%	1.9%	100%

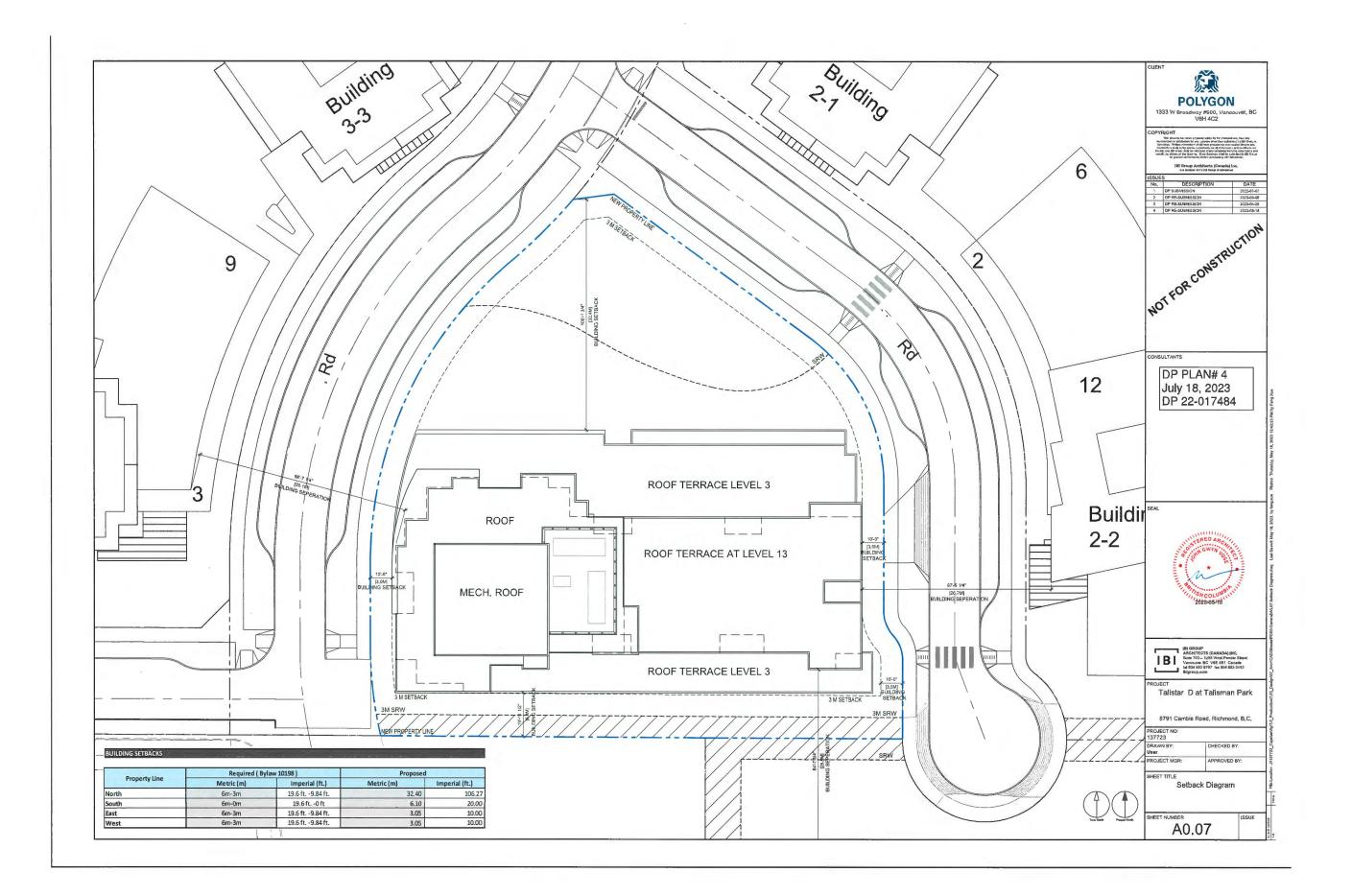
Unit Mix-Market Rental Housing

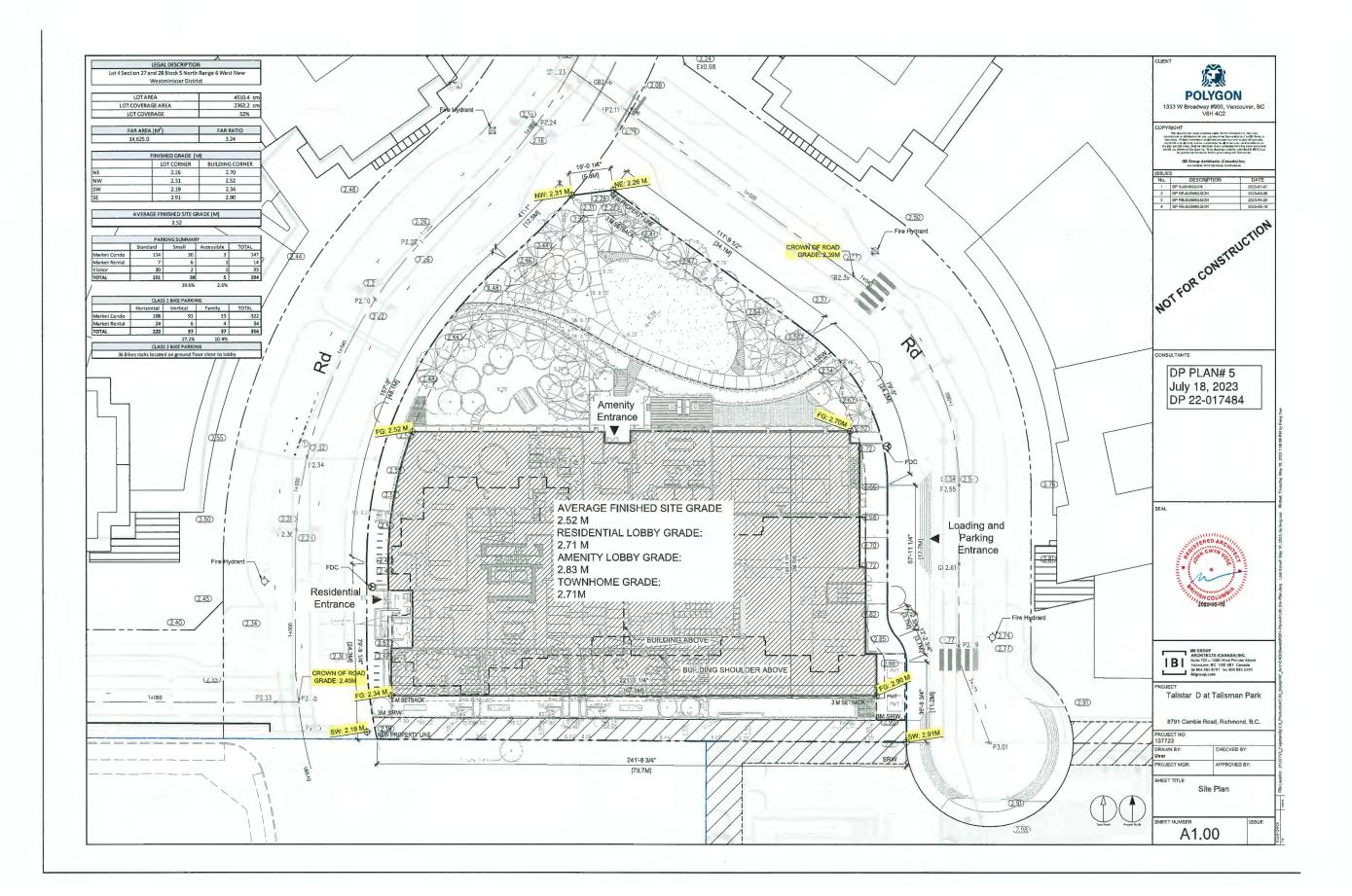
Type	18D	280	38D	TH	Total
Total	3	14			17
Distribution	17.6%	82.4%		-	100%

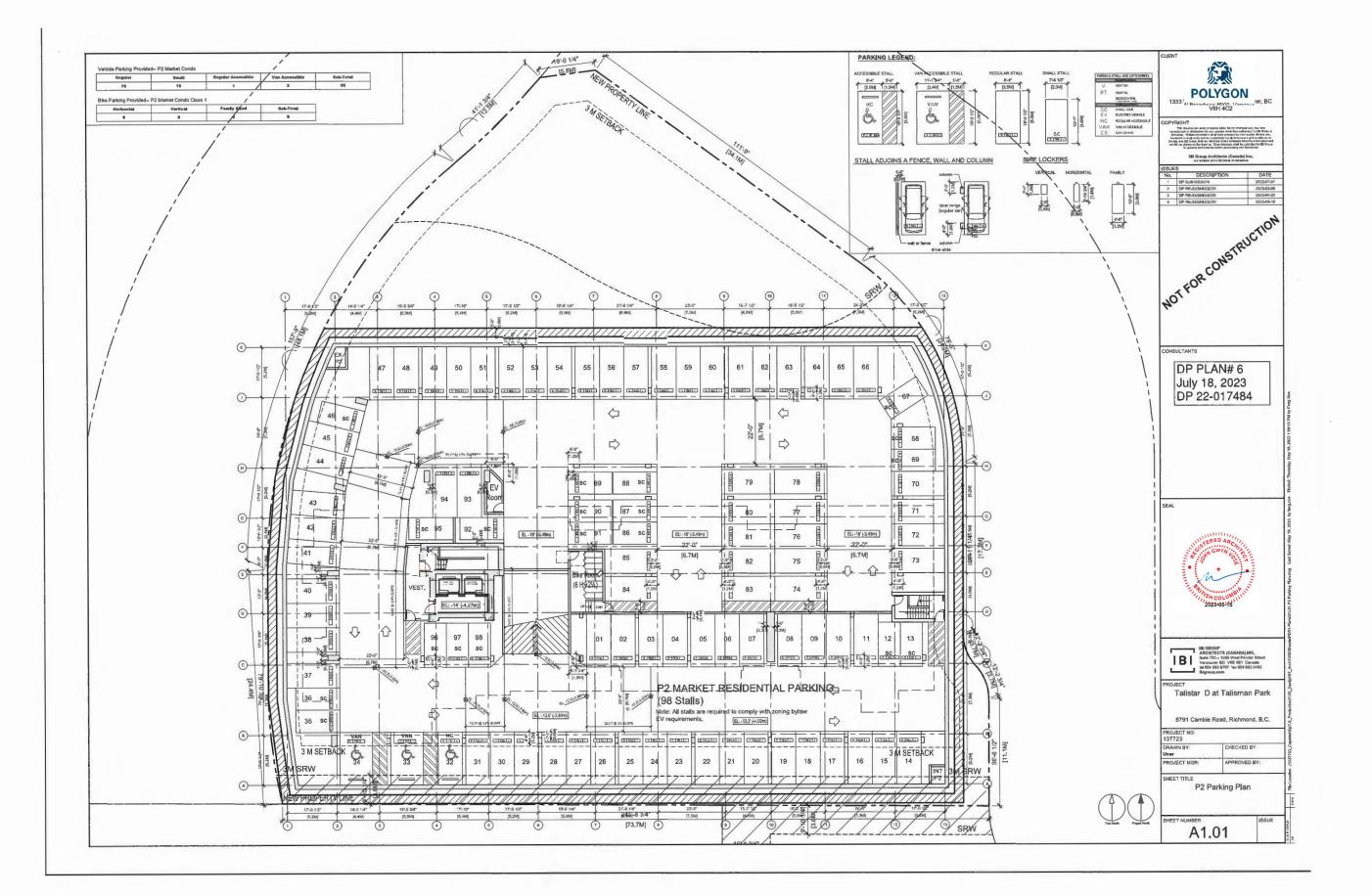
Basic Universal Housing (BUH) to be provided on Site 4 (market rental housing), as agreed by Polygon and City. Refer to DP package appendix for July 31, 2020 R2 amendment package and illustrative site plan.

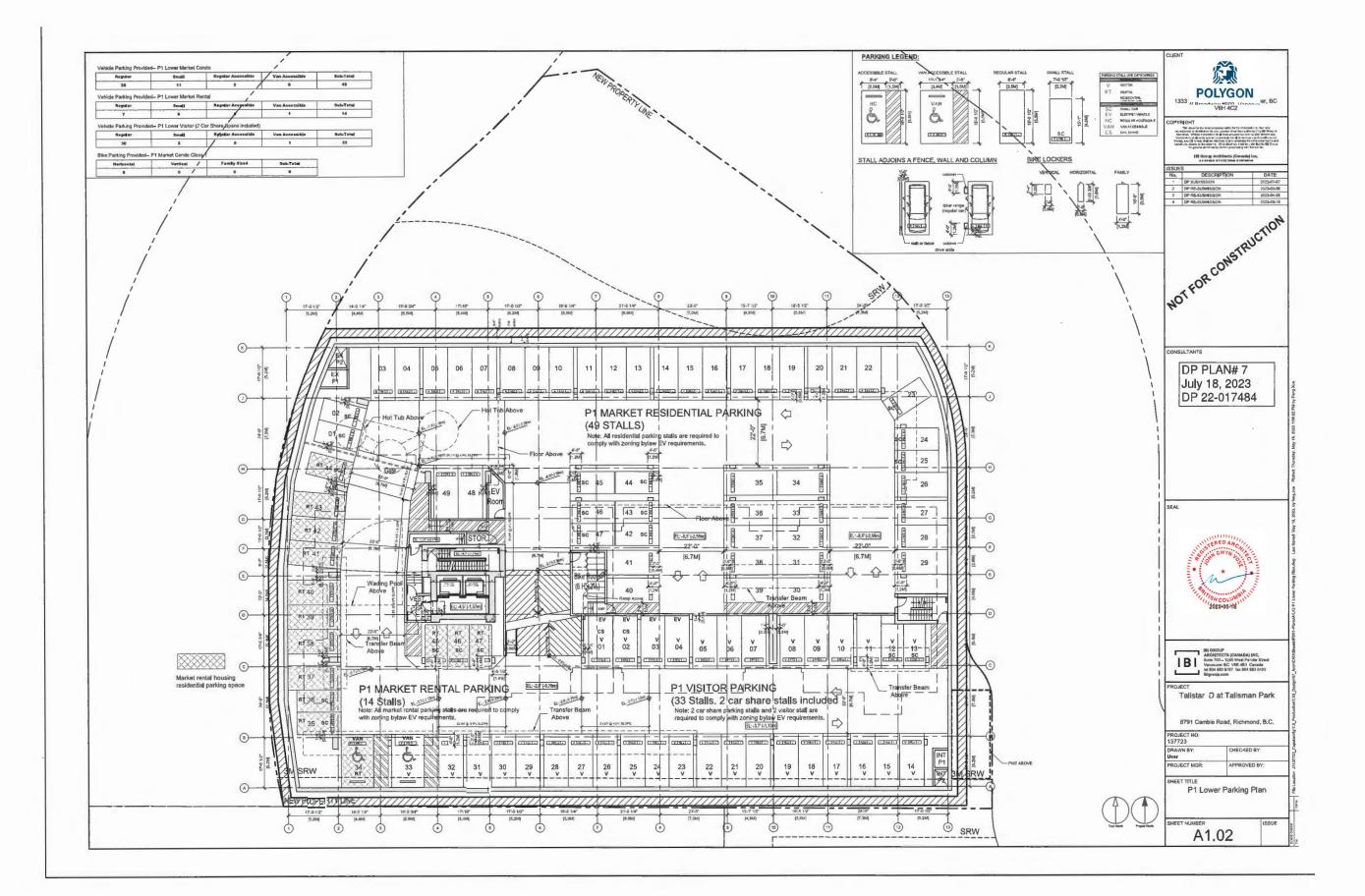
Site 4 BUH Unit			
Market Condo			
Market Rental Housing	17		
Total	17		

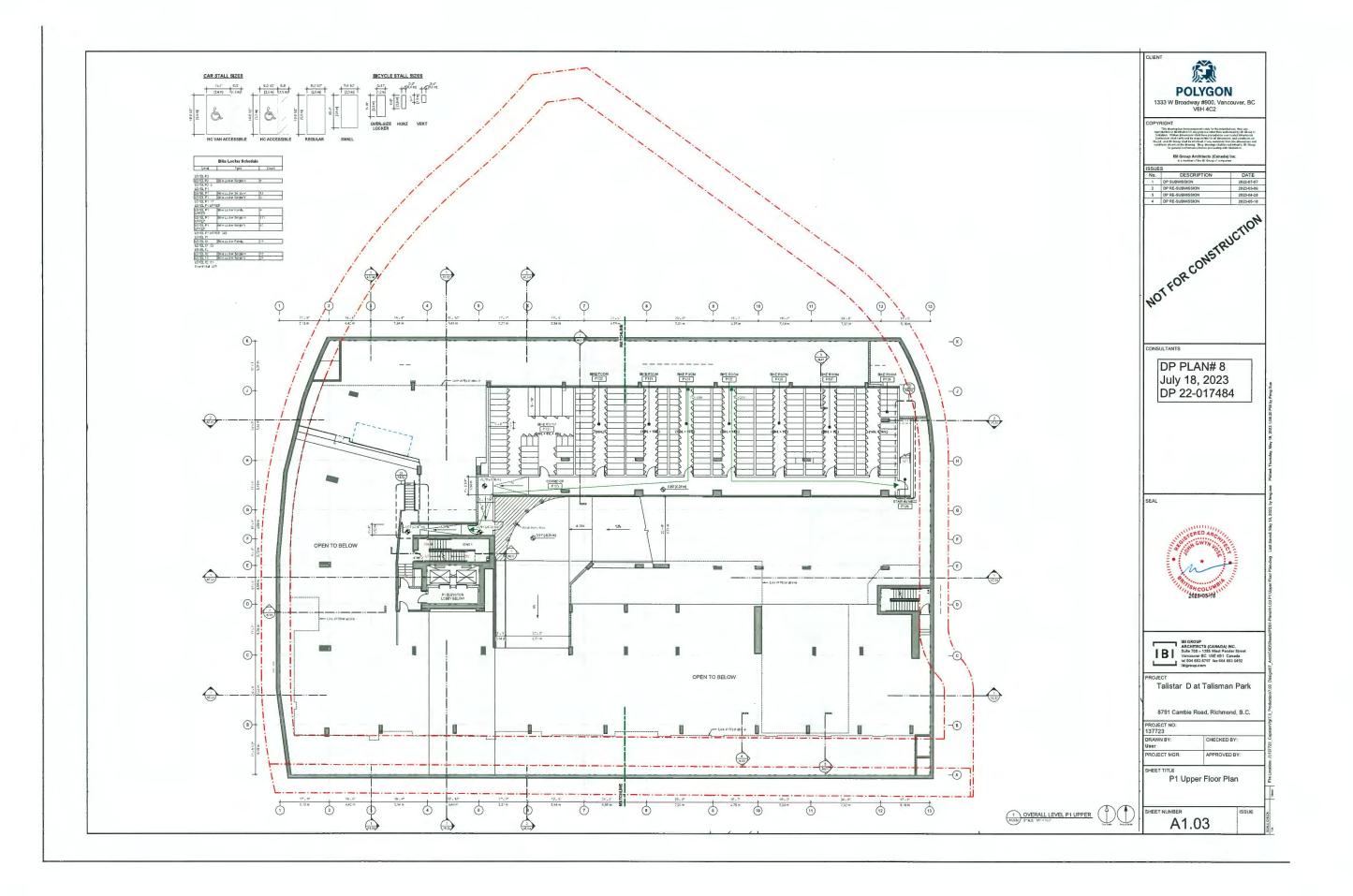


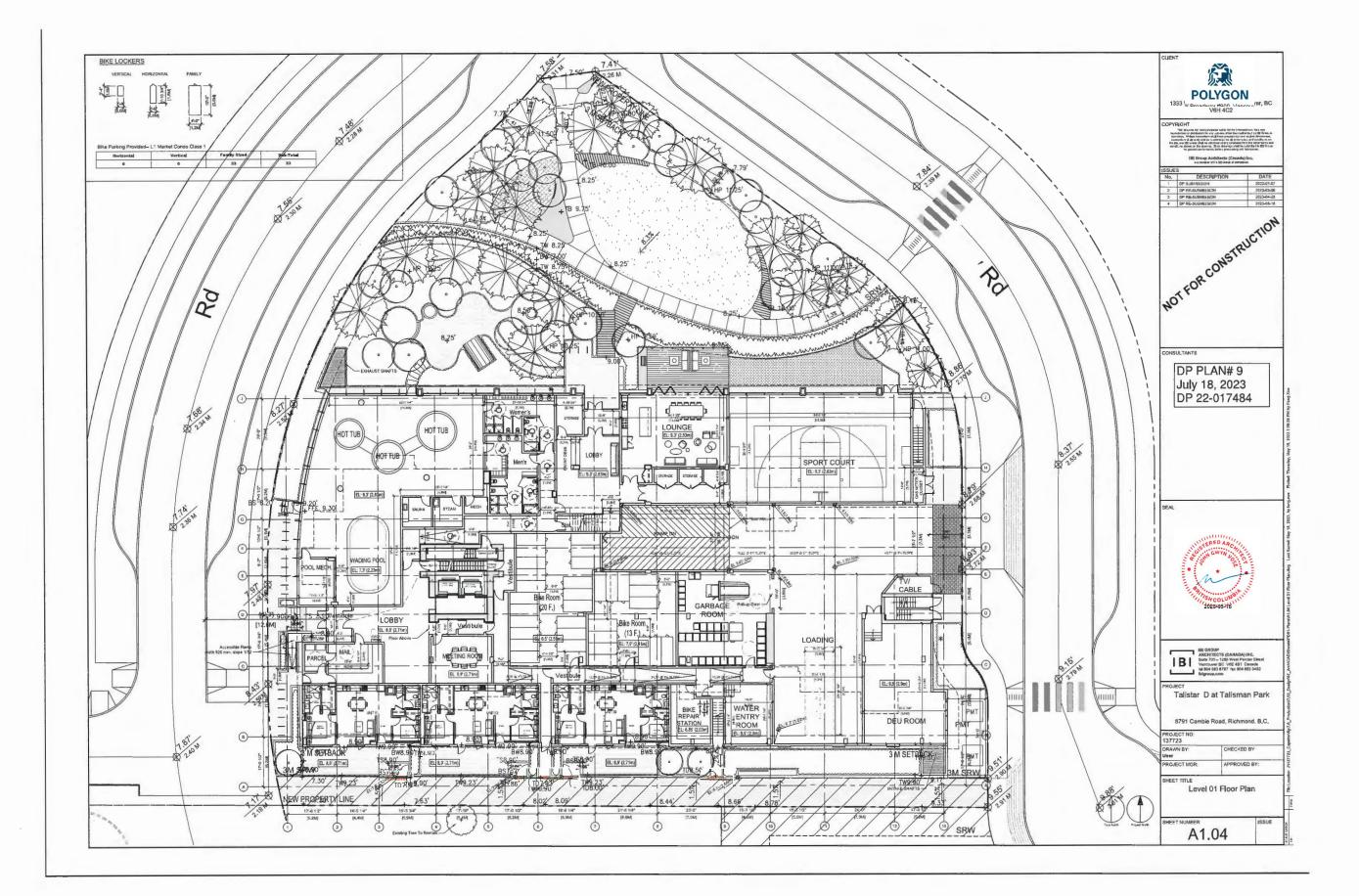


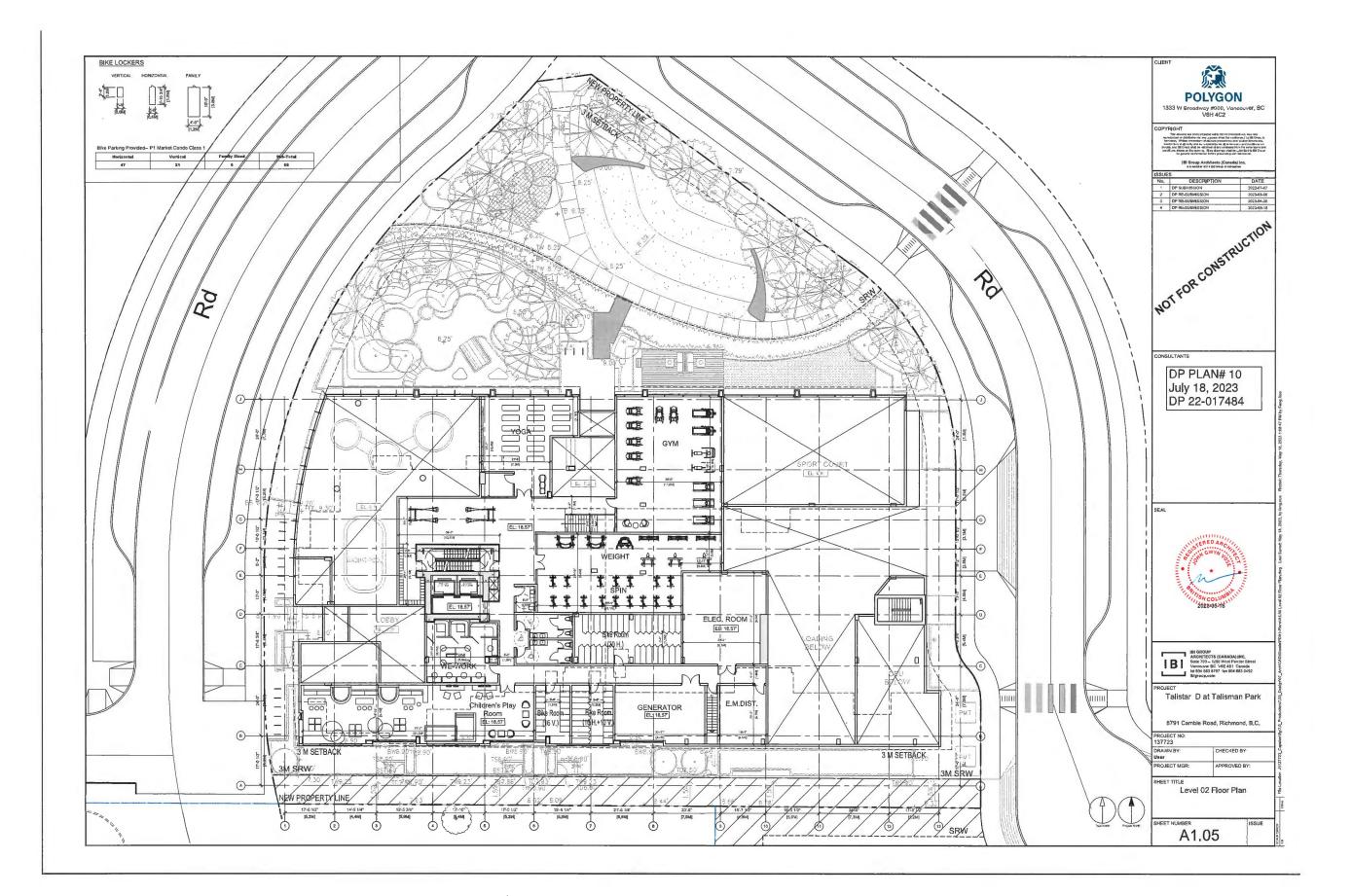


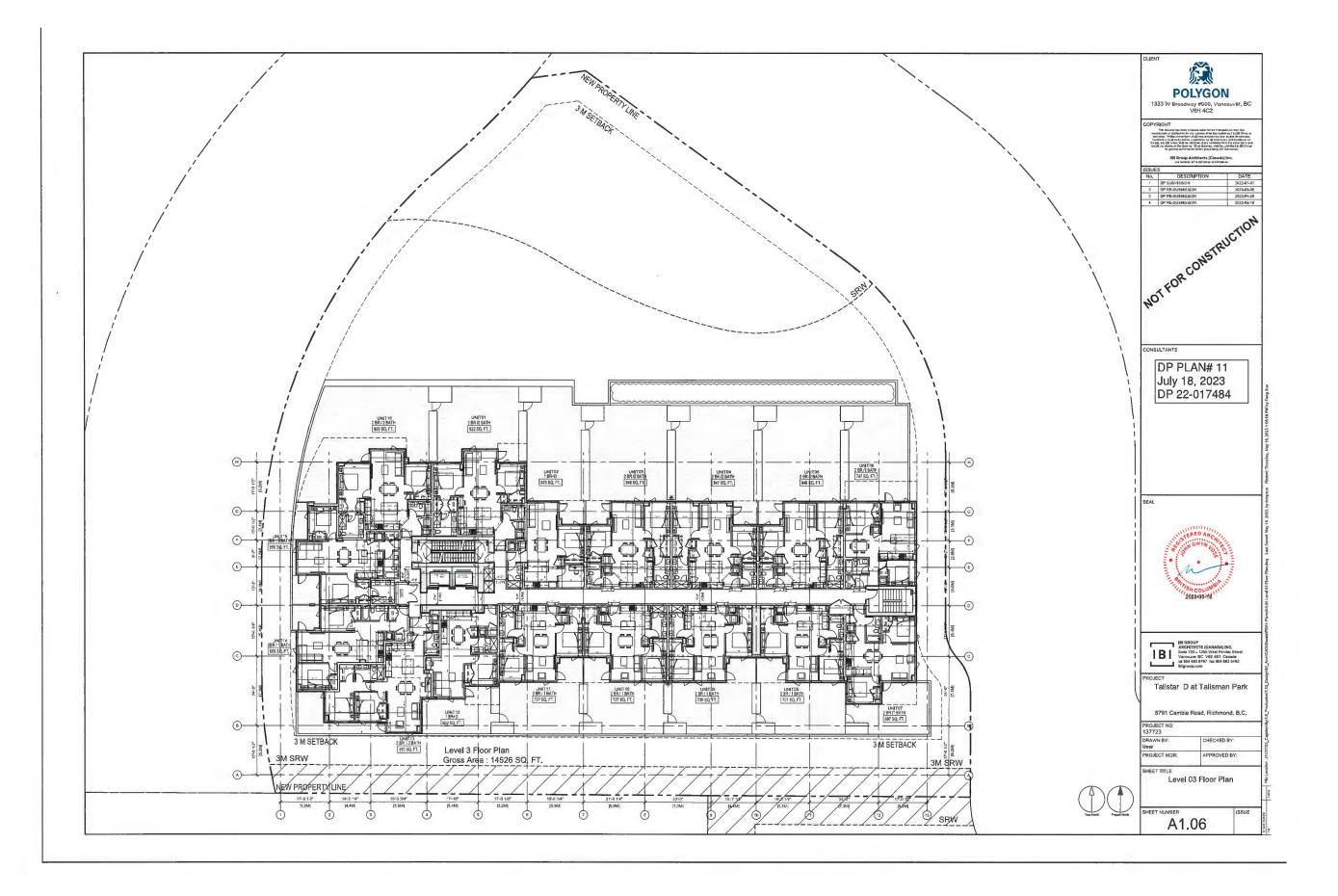


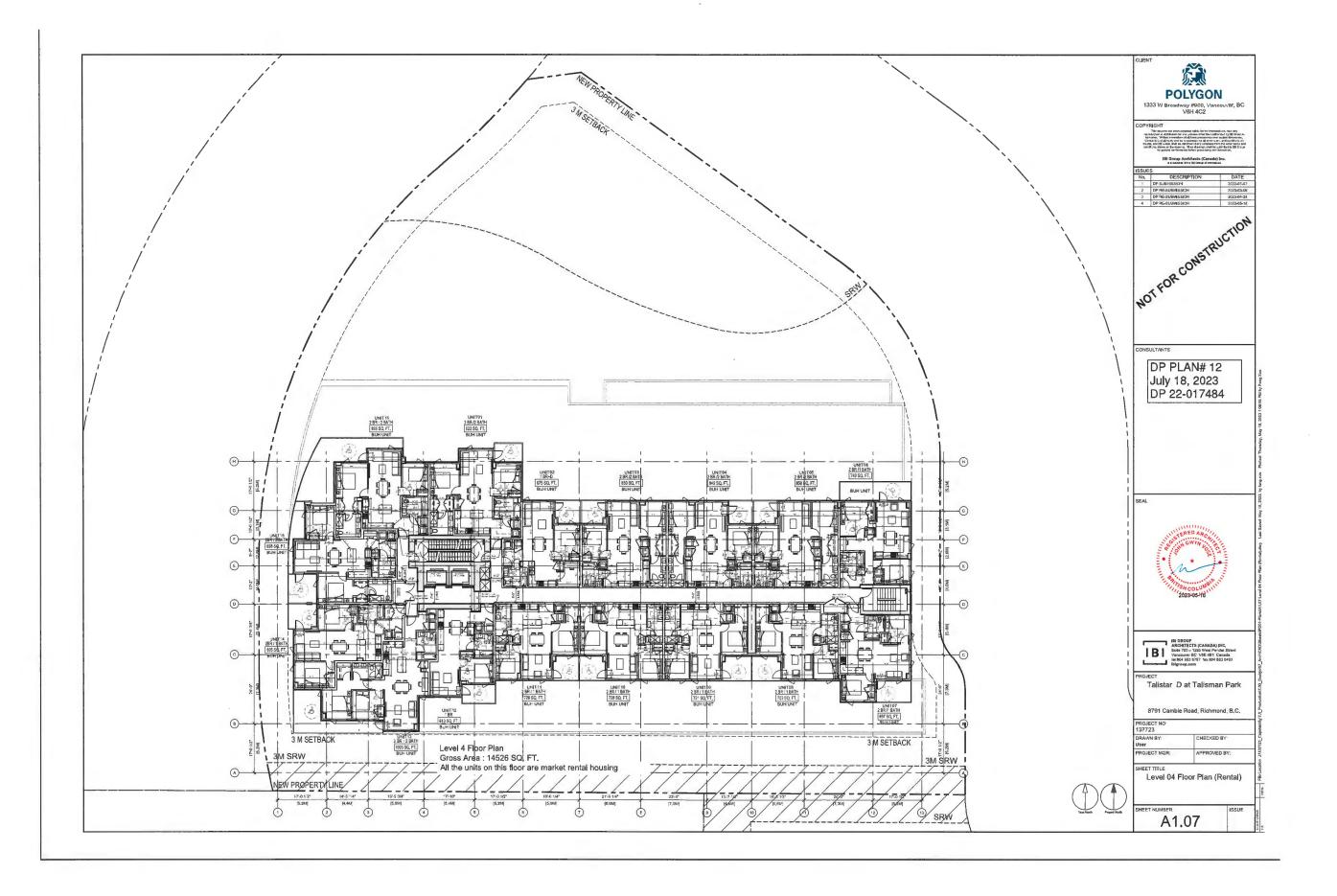


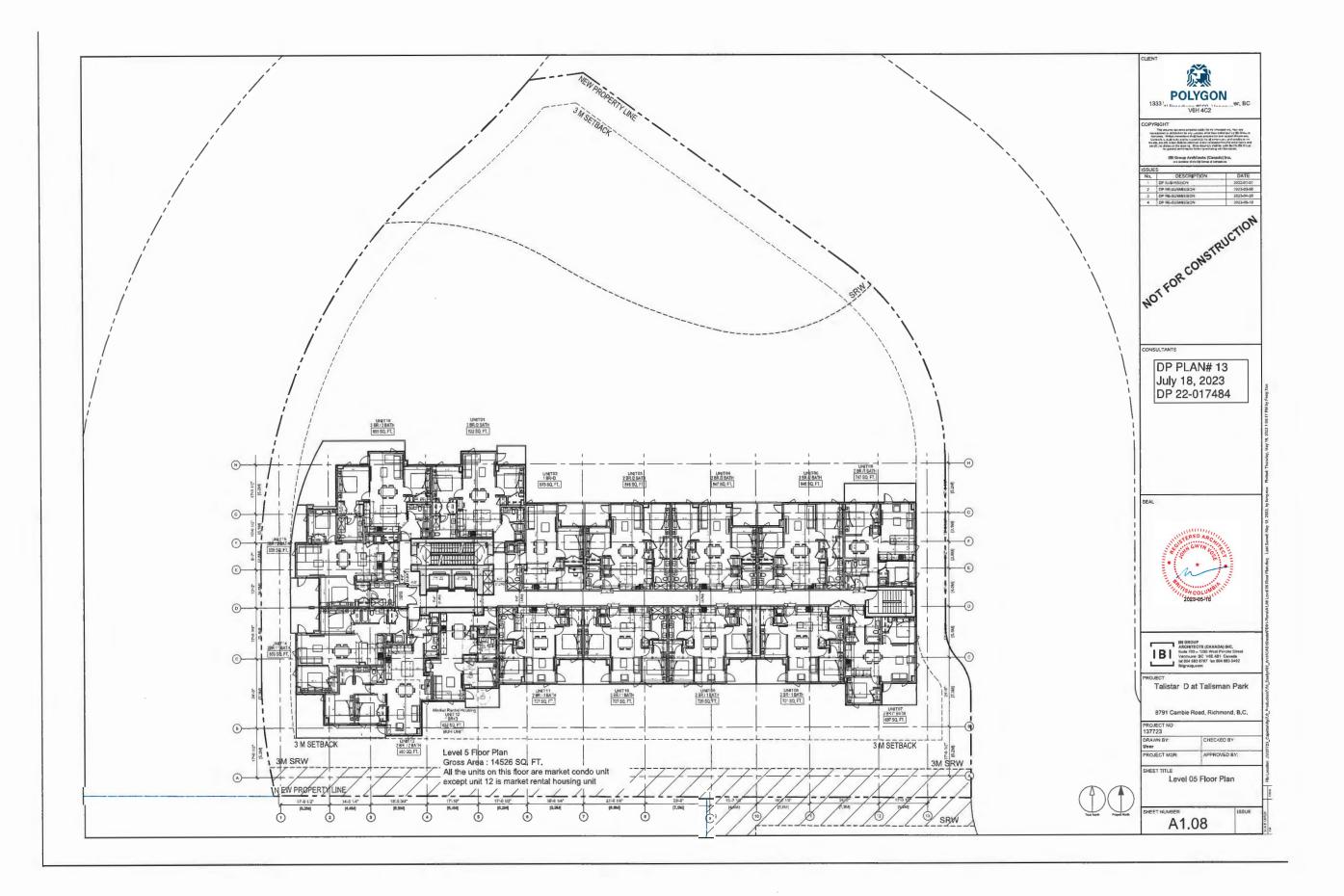


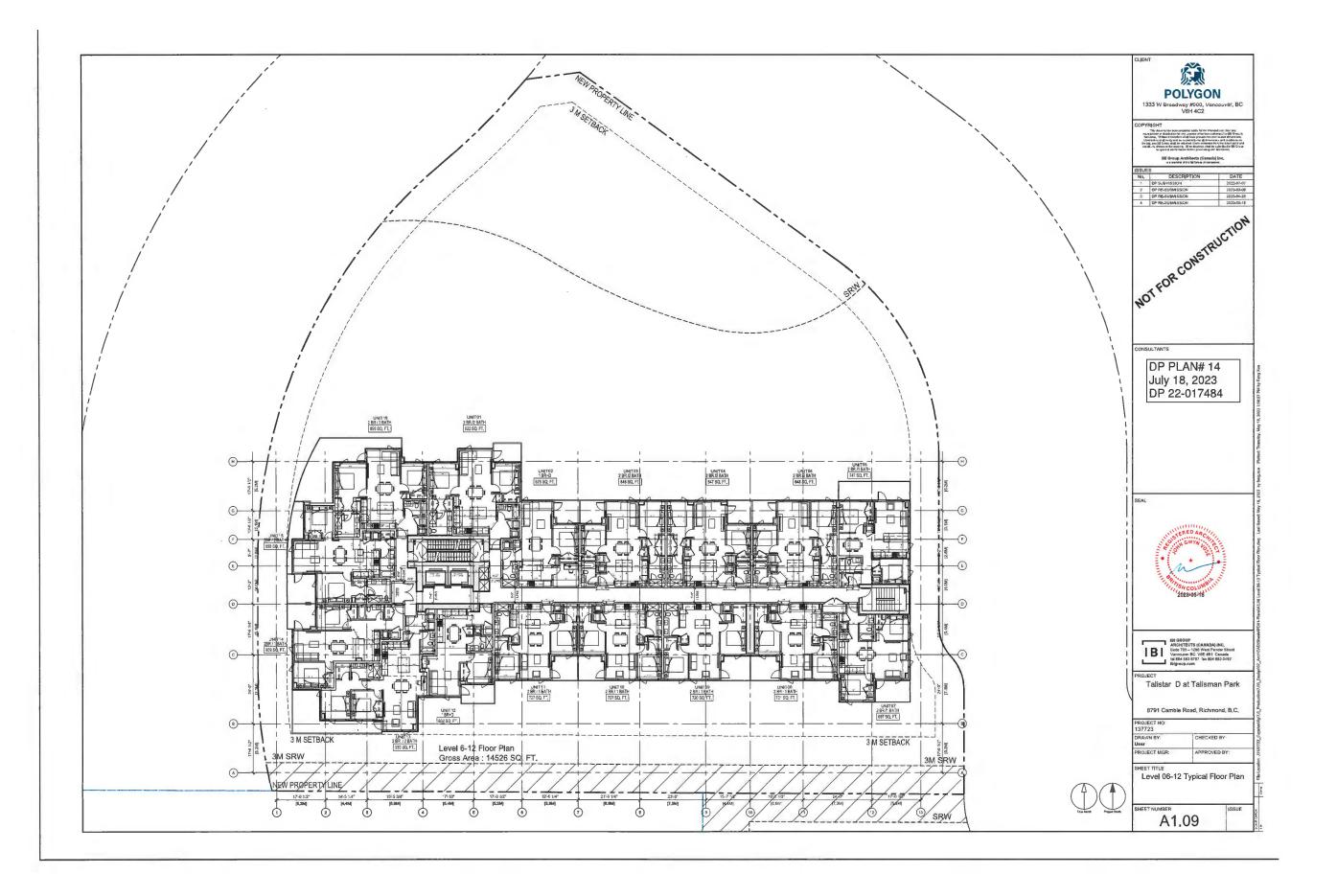


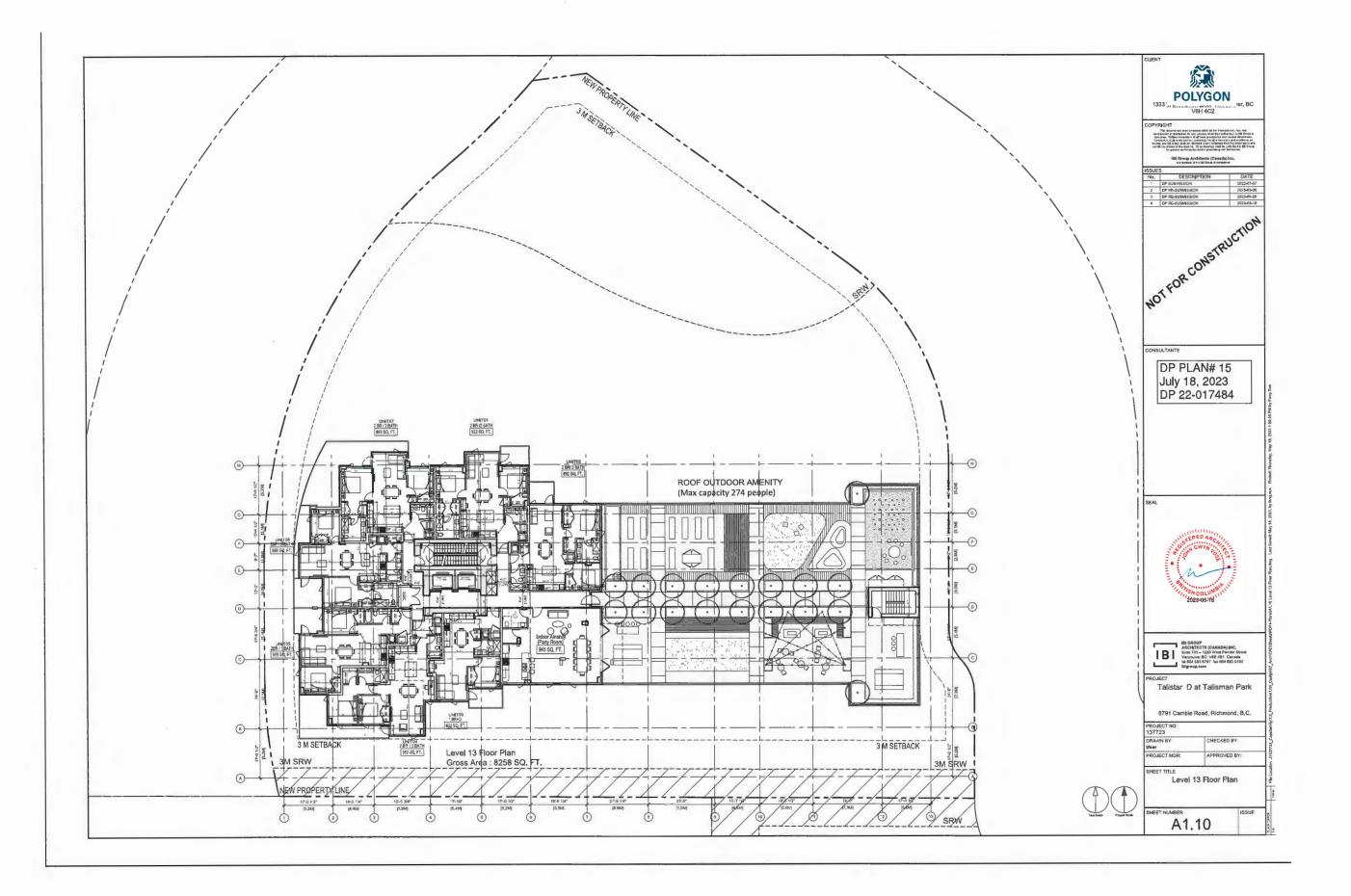


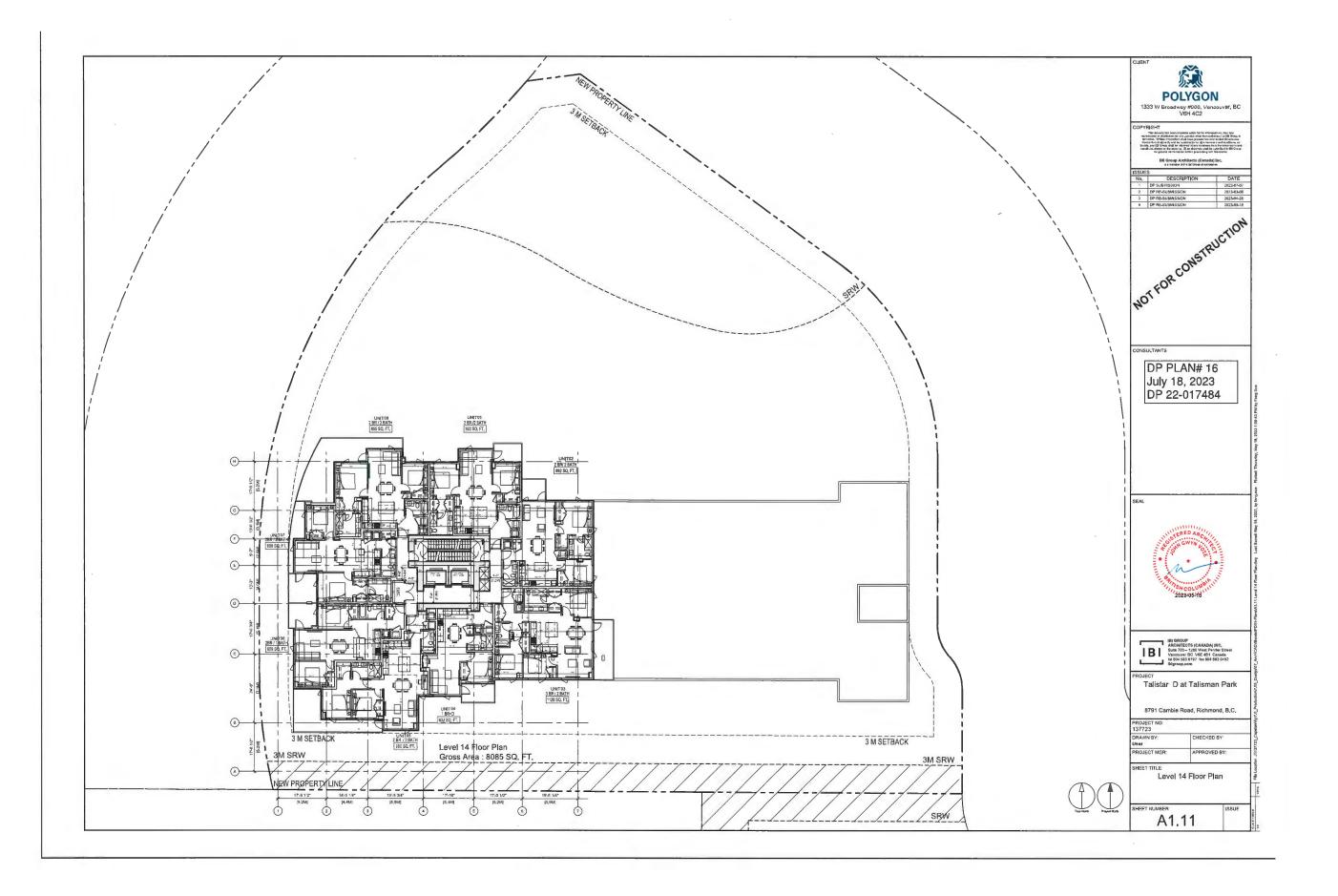


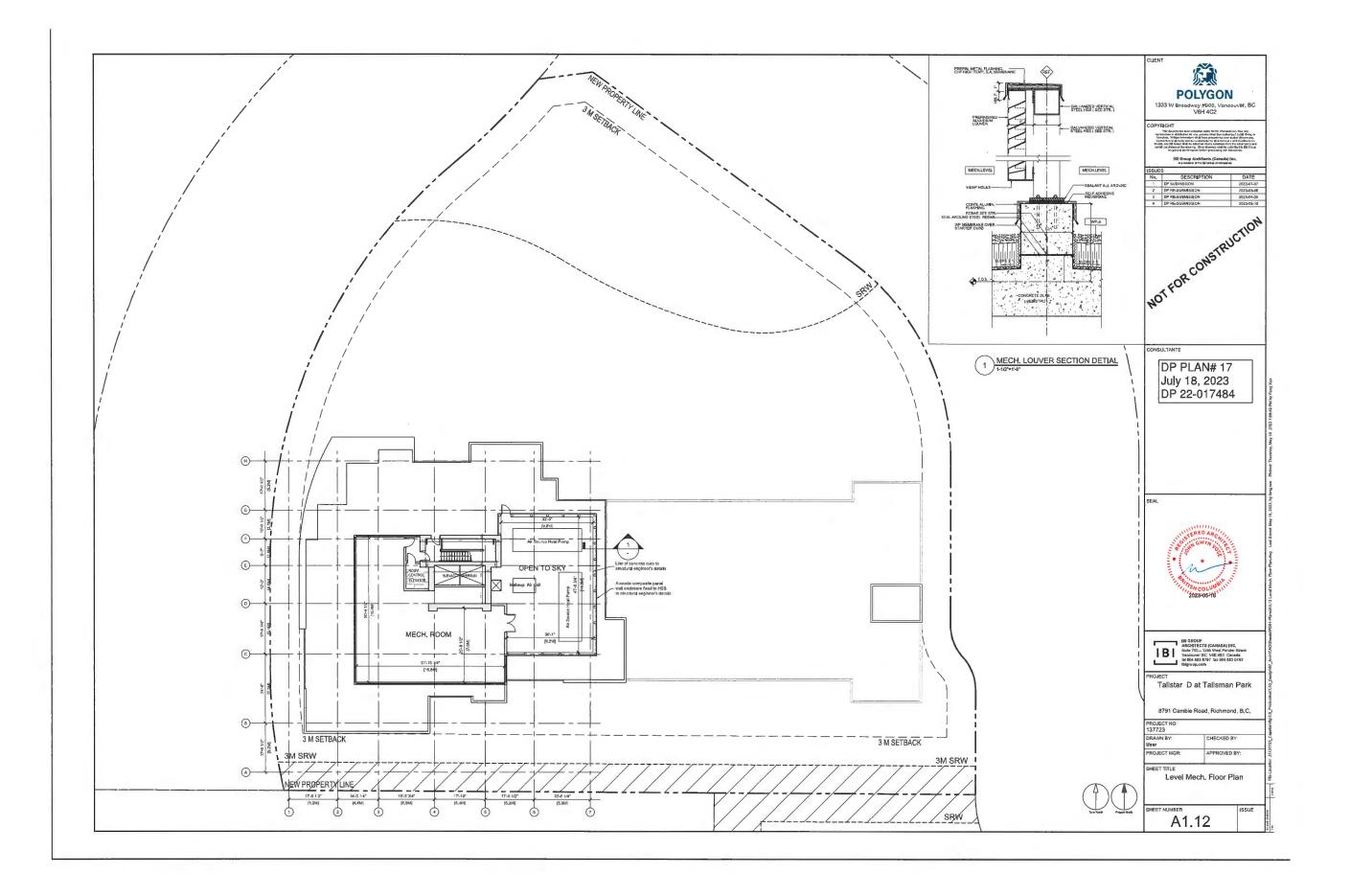


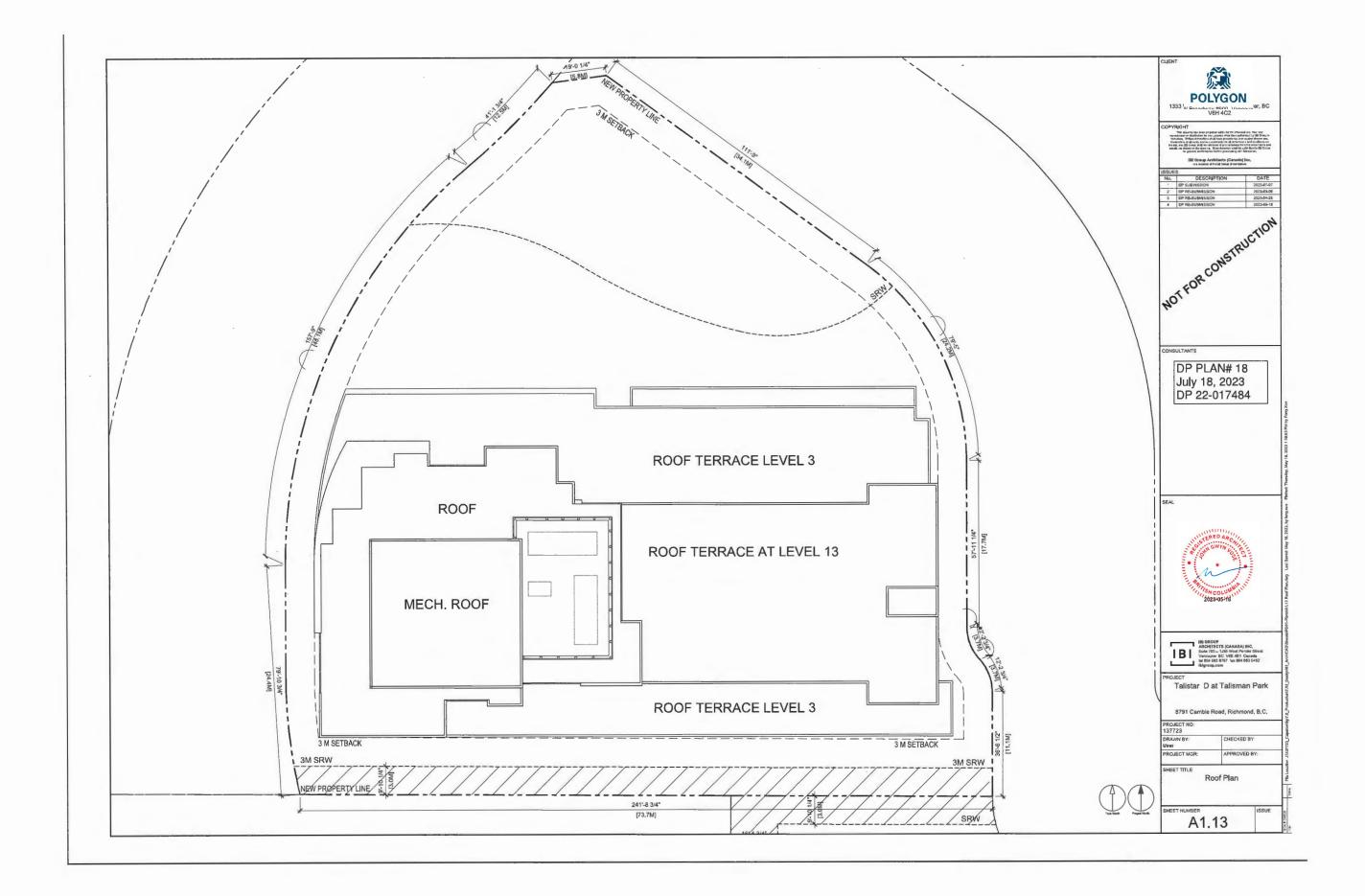


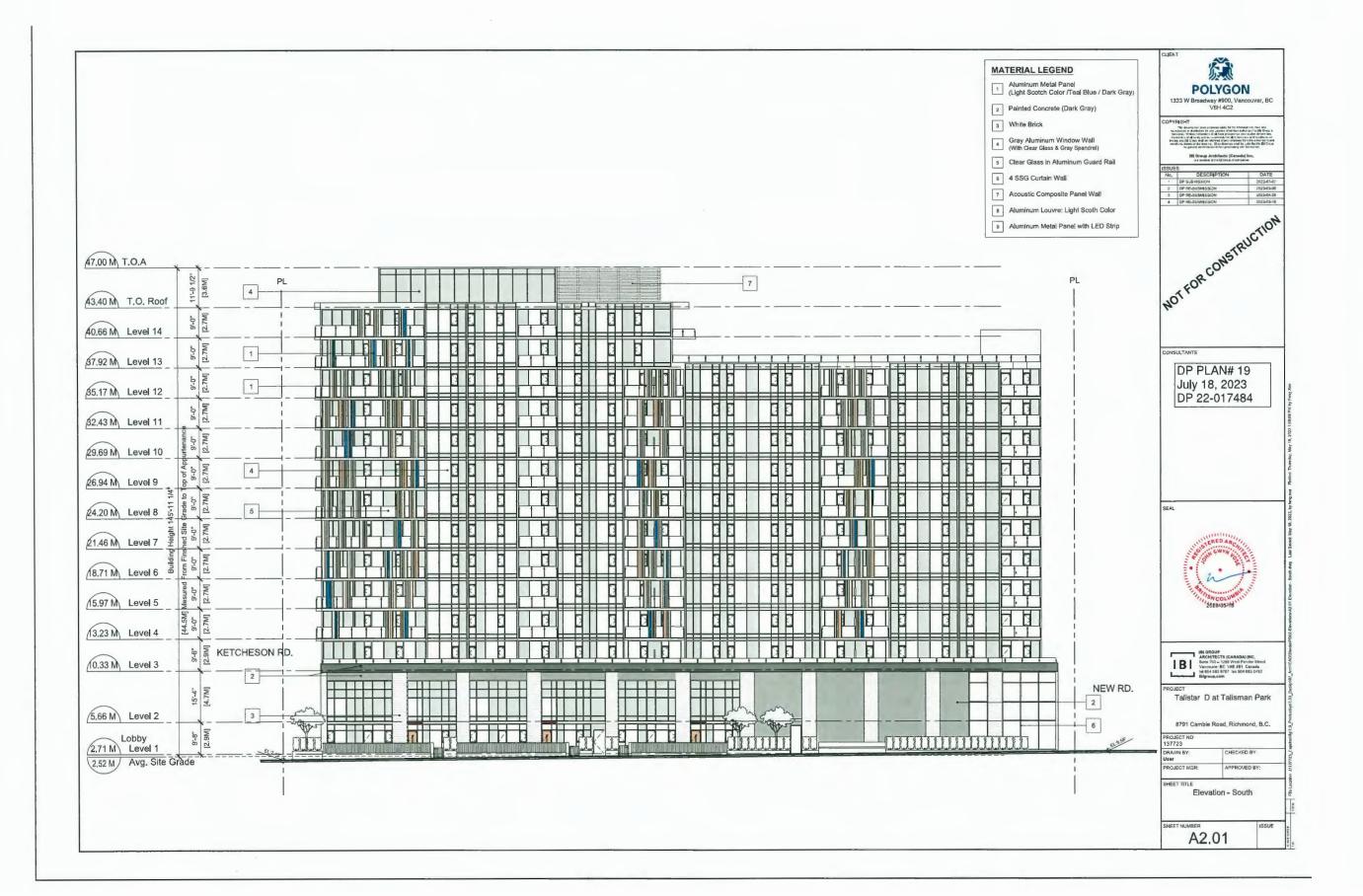




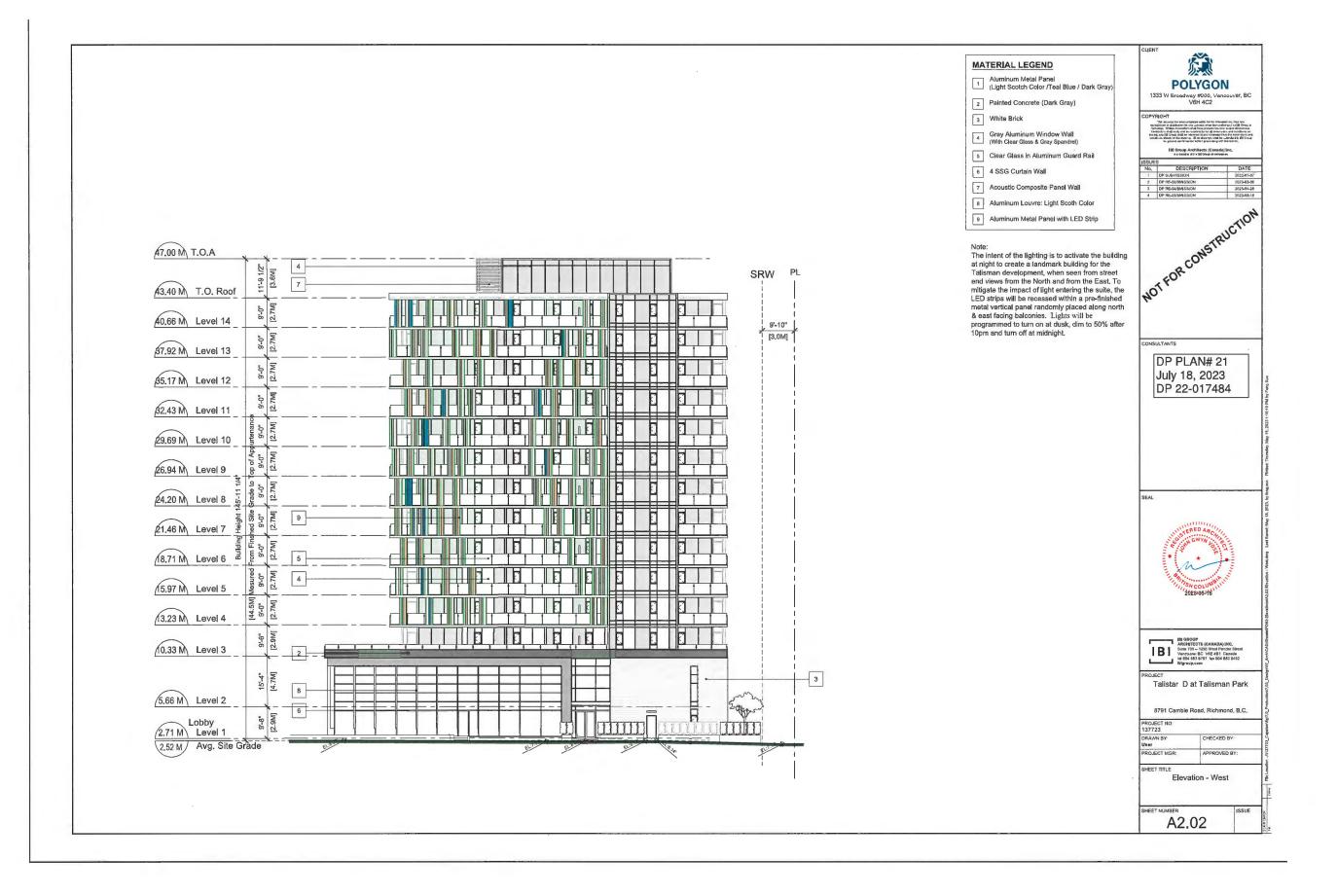




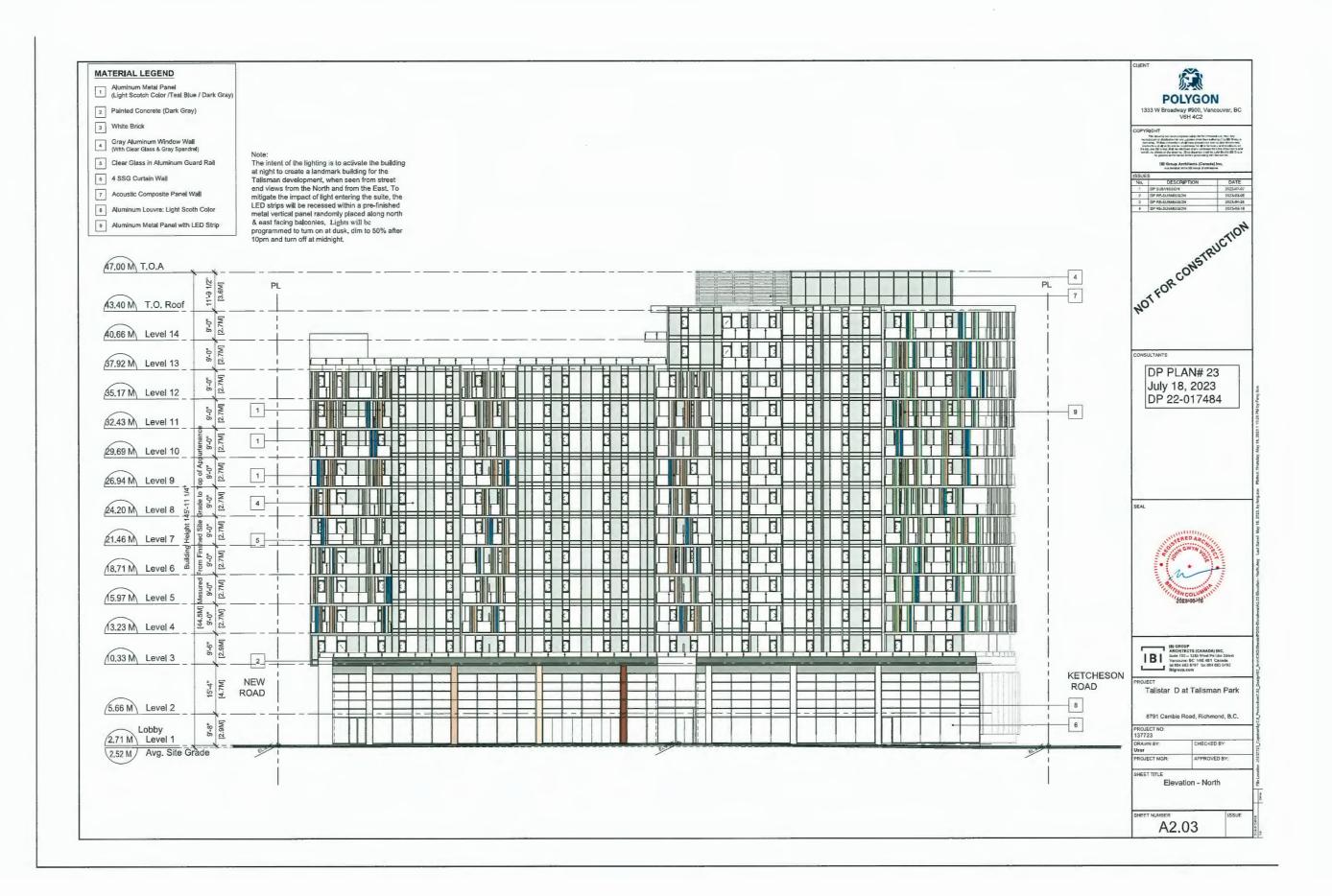




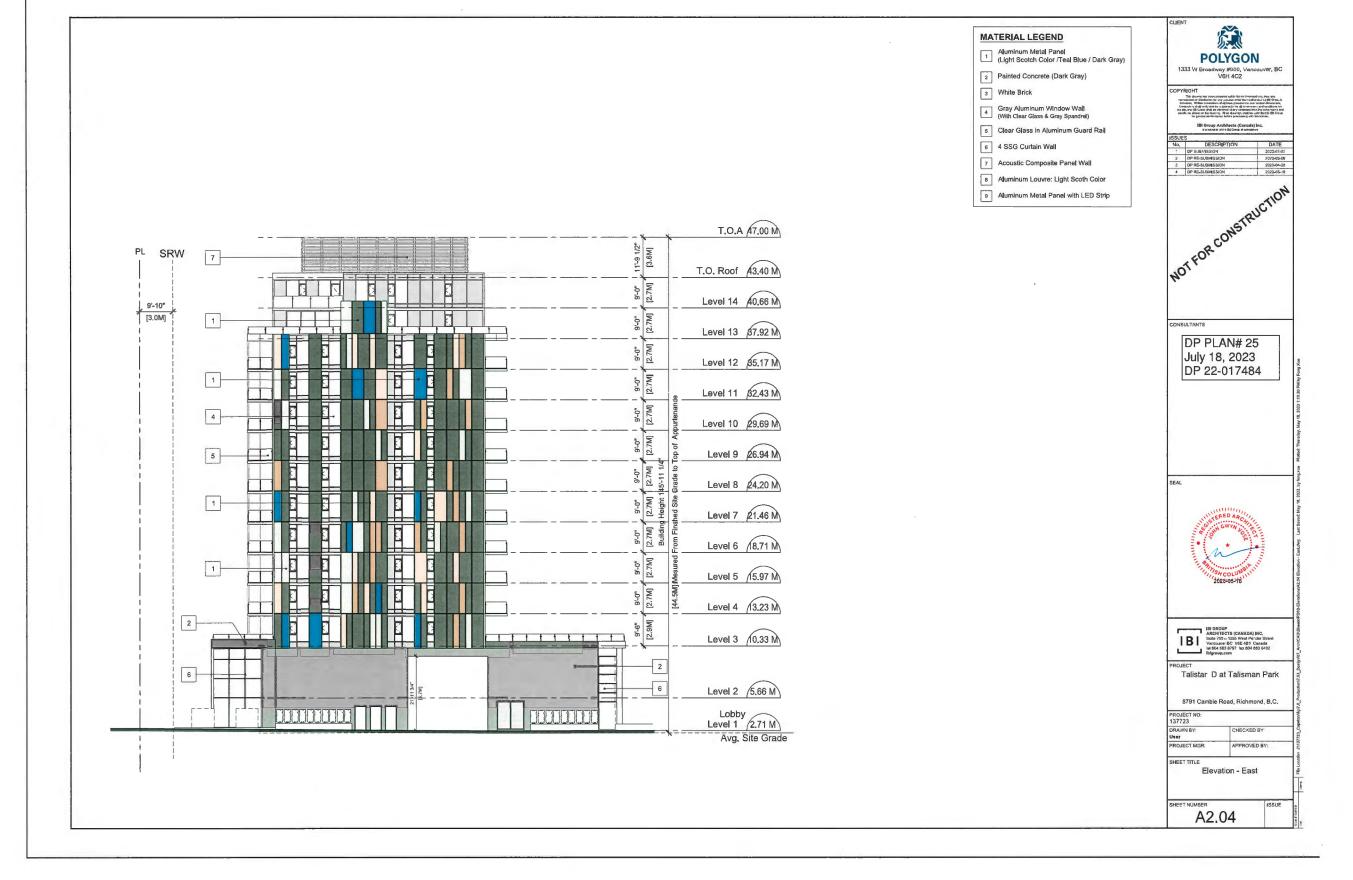
















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Bird Friendly Glazing

Project will adhere to bird-friendly glazing by utilizing the following techniques as outlined in the UBC Bird Friendly Design Guidelines for Buildings.

- The use of an adhesive film, acid-etch, or frit pattern. Pattern to be high contrast and dense: spacing at maximum 5 cm x 5 cm apart with markers no more than 0.32 cm in size.
- Application of patterns to the exterior surface of glazing to minimize reflections
- Application of fritted grass pattern to all glazed guardailings on the first four storeys.
 Application of dotted pattern (Fig. 1) to all standard vision glass on the first four storeys.



Daylight View





Night View of Light Feature

The intent of the Vertical LED lighting is to reinforce the marsh grass design theme at night; particularly when seen from the north and west. To mitigate the impact of light entering the project suites, the LED strips will be recessed within a pre-finished metal vertical screen system. The lights will be programmed to turn on at dusk, dim to 50% at 10pm, and to turn off at midnight.

Night View



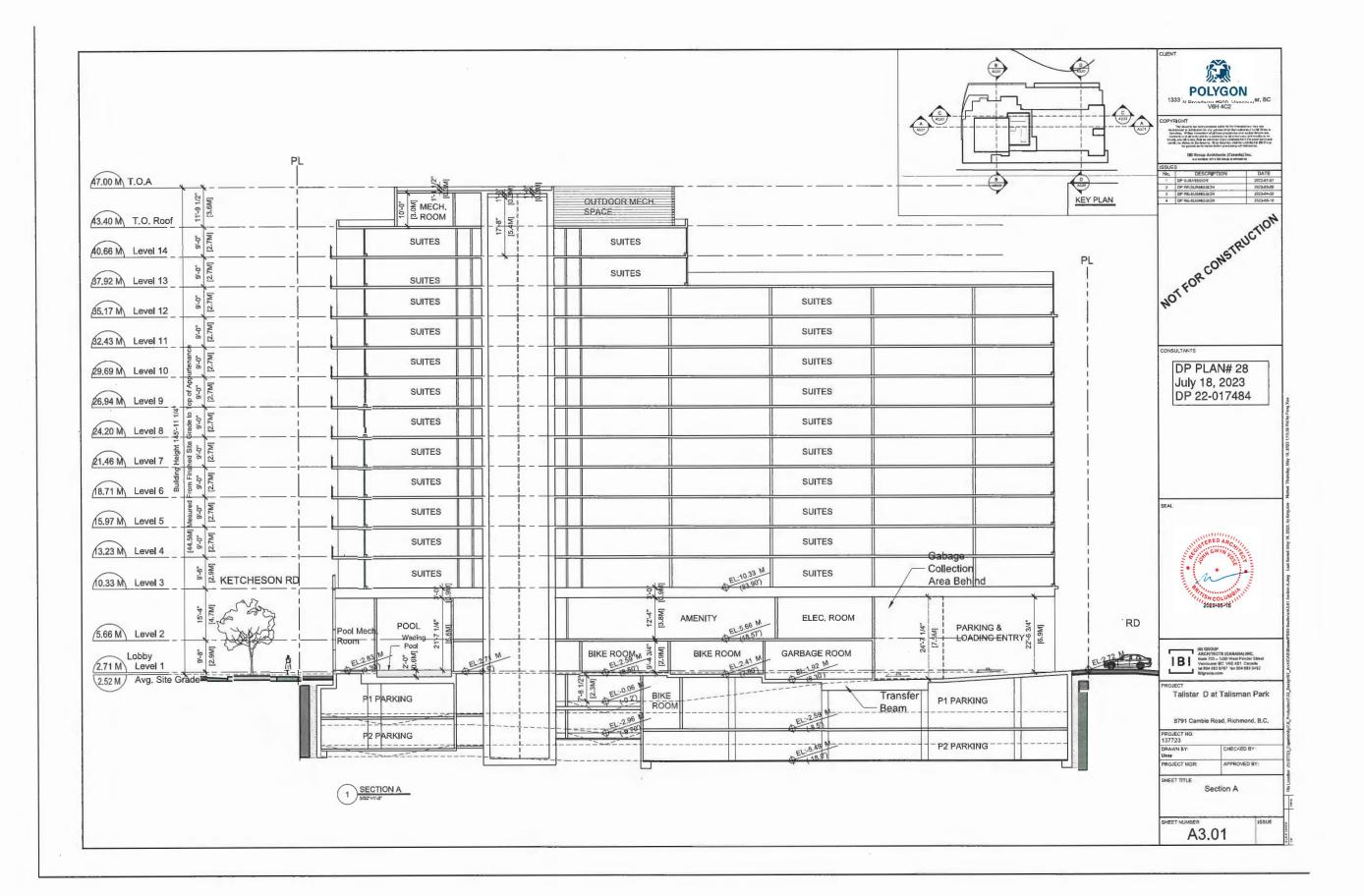
DP PLAN# 27 July 18, 2023 DP 22-017484

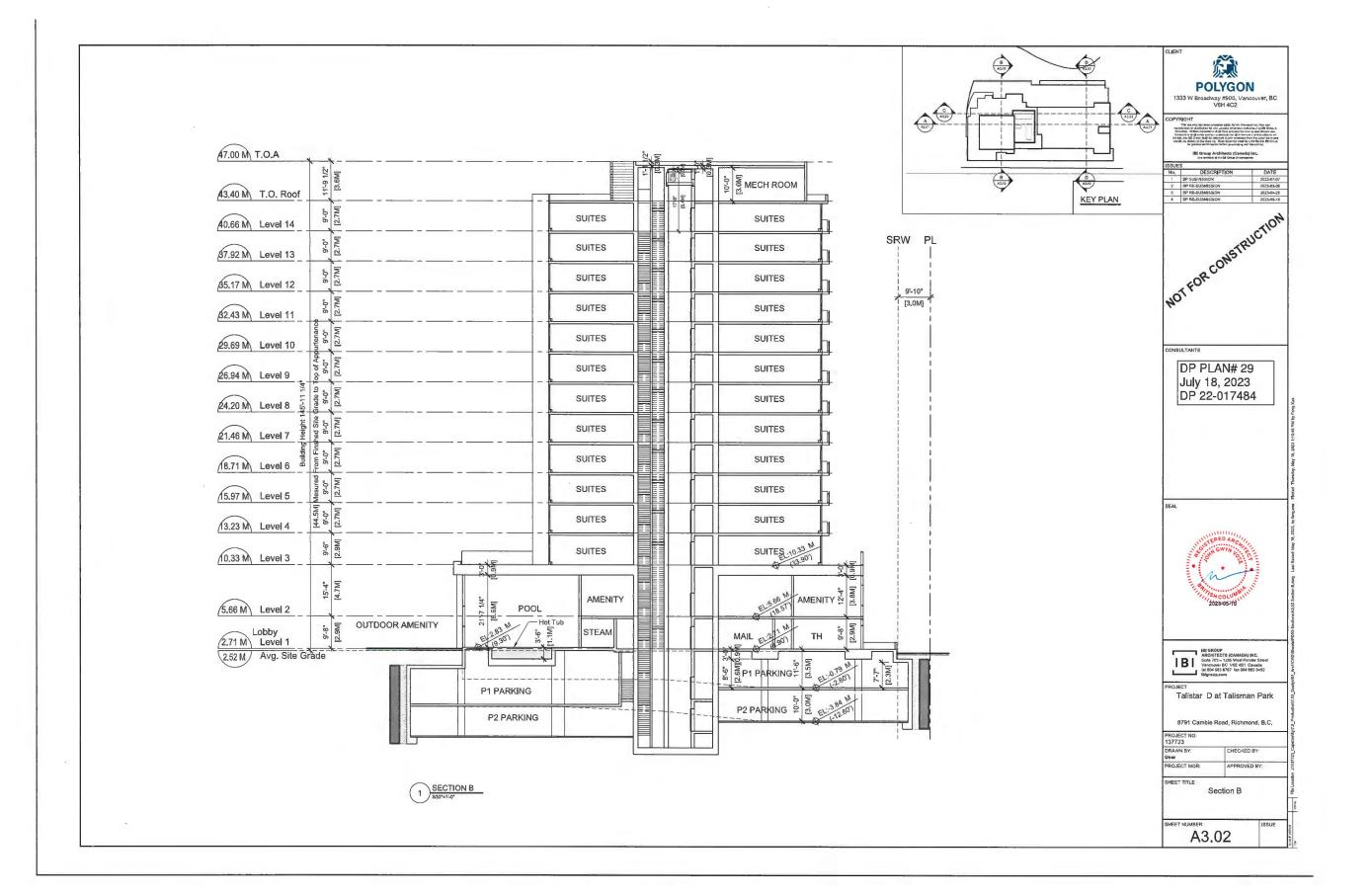


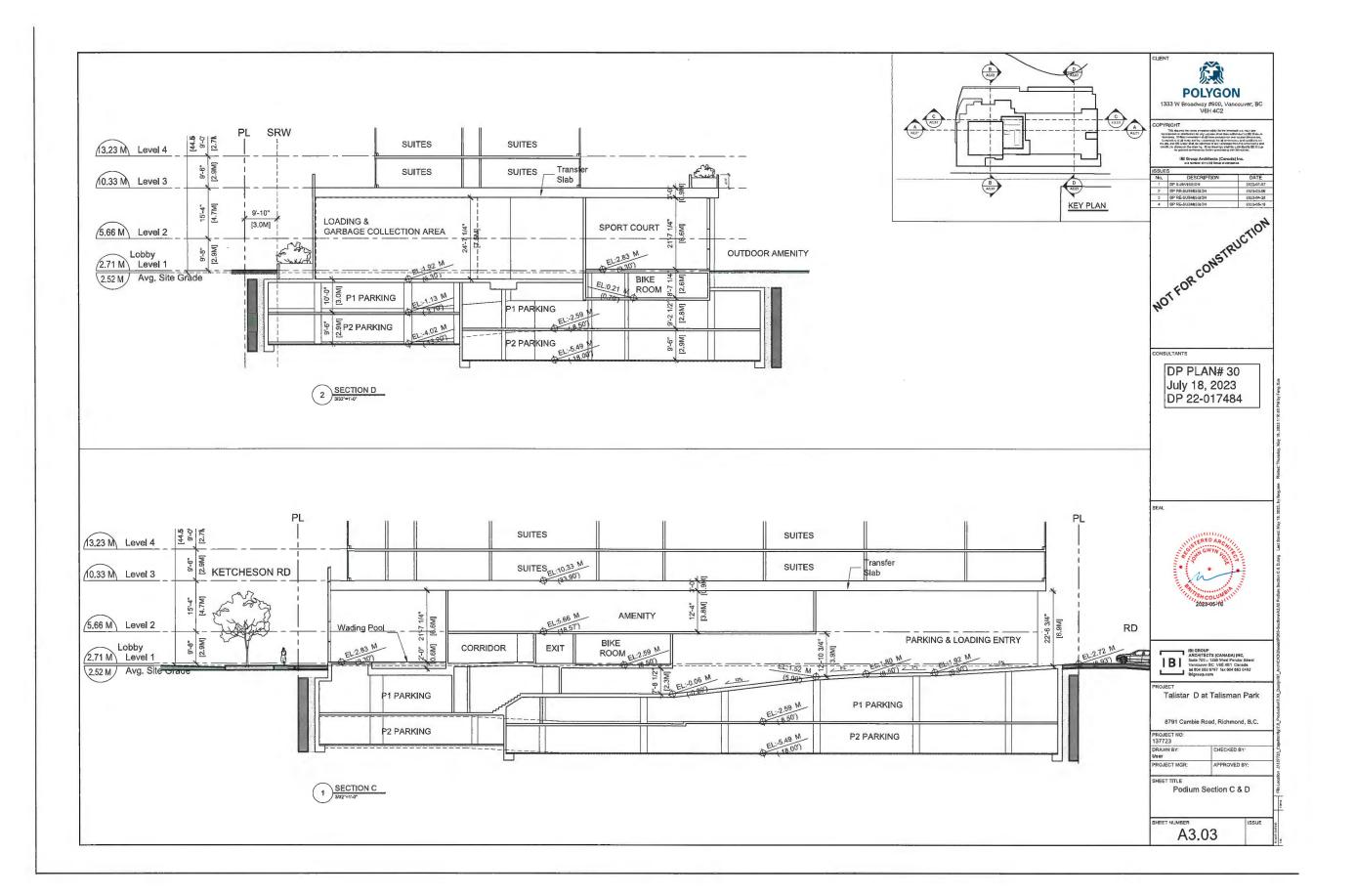
Talistar D at Talisman Park

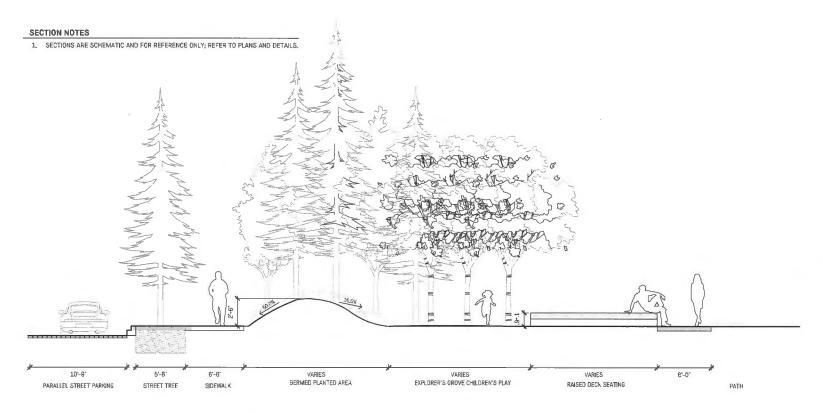
View from Brown Road

A0,22

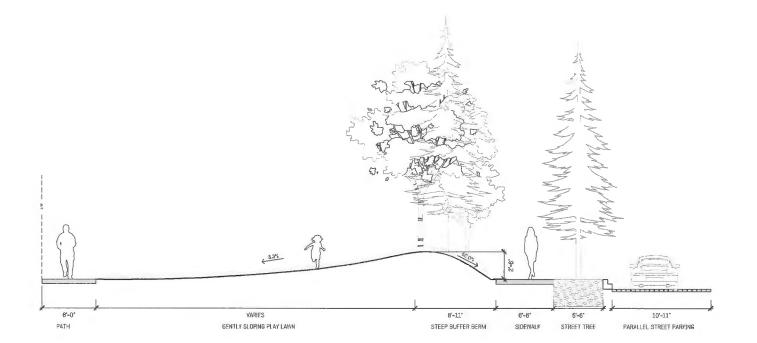








SECTION THROUGH BERM AT ROAD



2 SECTION THROUGH LAWN AND BERM AT EAST ROAD
1/4" = 1'0'

DP PLAN# 31 July 18, 2023 DP 22-017484

 3
 Revised as per ADP Comments
 APR 27/2023

 2
 Re-issued for DP
 MAR 08/2023

 1
 Issued for DP
 JULY 08/2022

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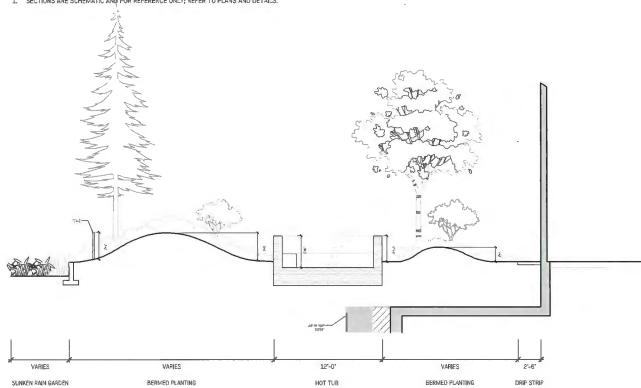
Copyright, Roservedt, "Two drawing is and remains at all intes the evaluative property of "Hapa Collaborative and opinith be lived spoth field or upped without the expression mitter scheduled of the landscape architect."

CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

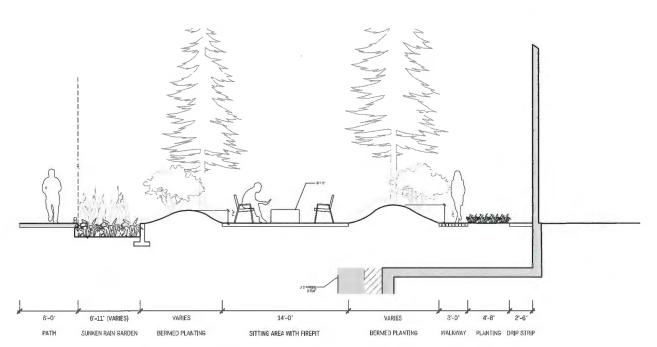
Landscape Sections Ground Level North SRW

2210	10 44
L'4" = 1'-0"	L2.11

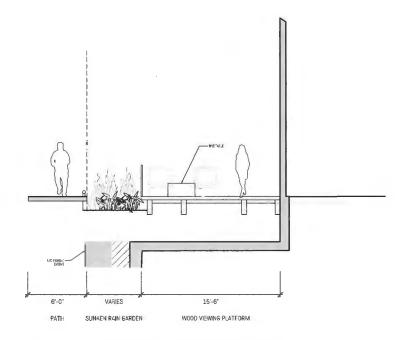
1. SECTIONS ARE SCHEMATIC AND FOR REFERENCE ONLY; REFER TO PLANS AND DETAILS.



SECTION THROUGH NATIVE PLANTINGS AND HOT TUB



3 SECTION THROUGH RAINGARDEN AND LOUNGE AREA



2 SECTION THROUGH RAINGARDEN AND LOUNGE AREA 1/4" - 1'0"

DP PLAN# 32 July 18, 2023 DP 22-017484

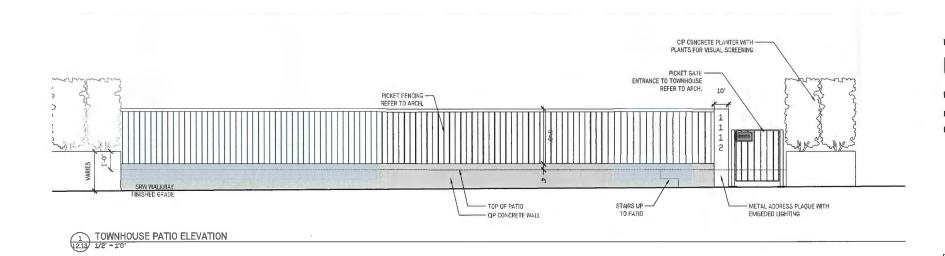
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CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

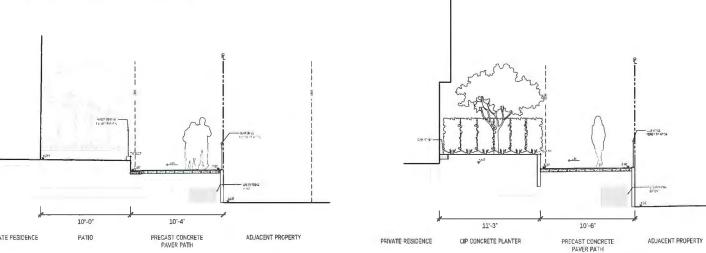
Landscape Sections Ground Level Private Amenity

Date	04/2022	Drawing Number
Project ko,	2210	1010
Scale	1/2" = 1'-0"	L2.12
Drawn(Cliec	Led SS CM	



SECTIONS ARE SCHEMATIC AND FOR REFERENCE ONLY; REFER TO PLANS AND DETAILS,
 PRECAST CONCRETE PAVER PATH TO MATCH OTHER SRW PATHS





2 TOWNHOUSE PATIO THROUGH SOUTH SRW

TOWNHOUSE PATIO THROUGH SOUTH SRW

DP PLAN# 33 July 18, 2023 DP 22-017484

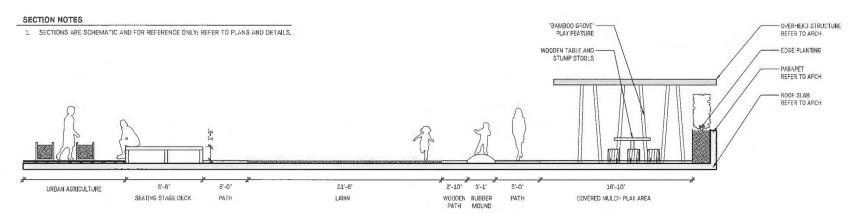
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2	Re-issued for DP Issued for DP	MAR 08/2023 JULY 08/2022
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CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

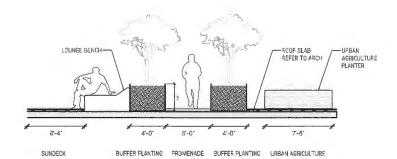
Landscape Sections Ground Level Private Amenity - South SRW

Data	04/2022	Drawing Number
Project ko.	2210	
Scale	1/2" = 1'-0"	12.13

HAPA COLLABORATIVE Landscape Architecture Under Design University Attention University Atten



SECTION THROUGH ROOFTOP - WEST TO EAST 1/4" - 1/0"



2 SECTION THROUGH ROOFTOP - NORTH TO SOUTH
(2.14) 1/4" - 1'0"

DP PLAN# 34 July 18, 2023 DP 22-017484

3 Revised as per ADP Comments APR 27/2023
2 Re-issued for DP MAR 08/2023
1 Issued for DP JULY 08/2022

No. Description Date

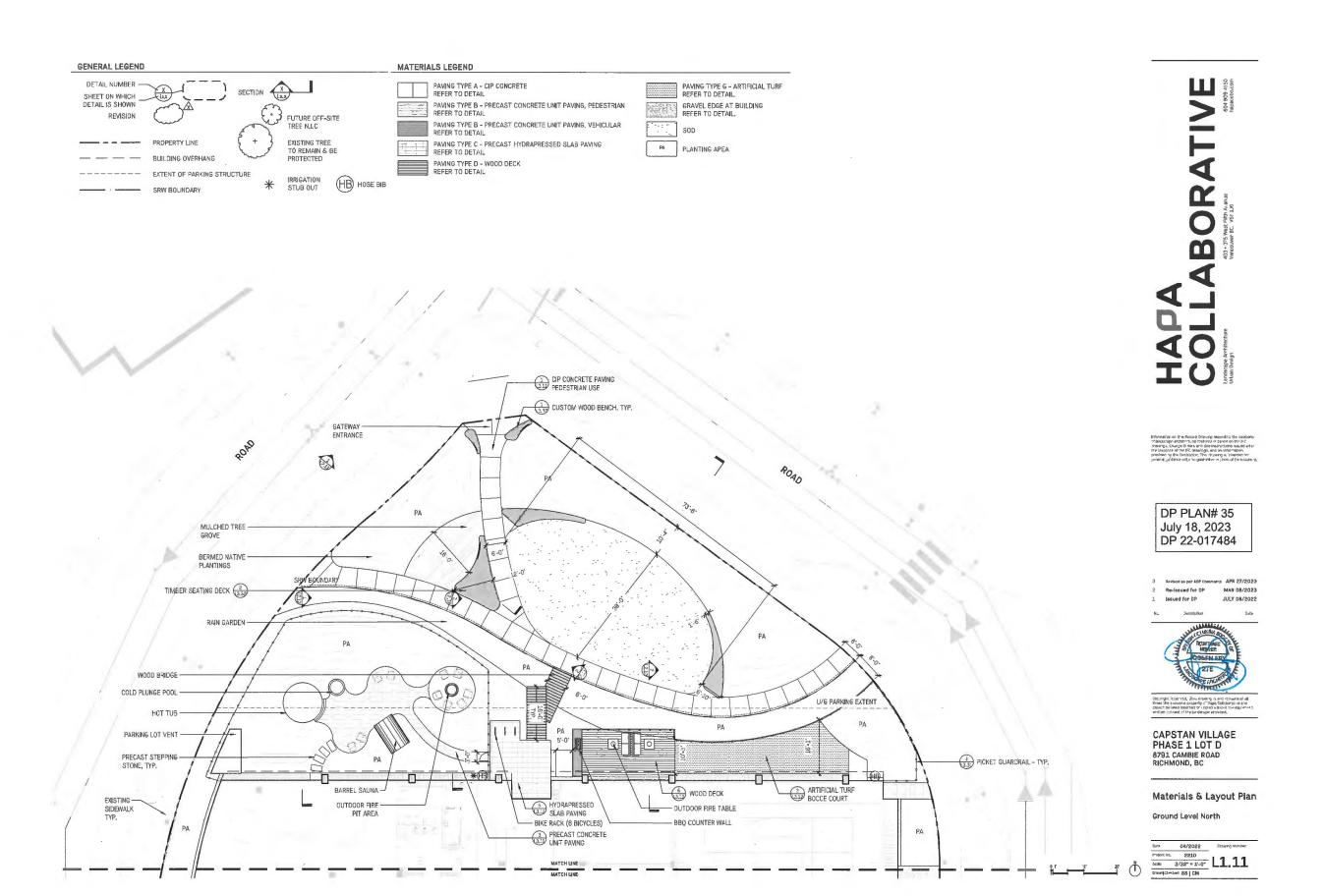
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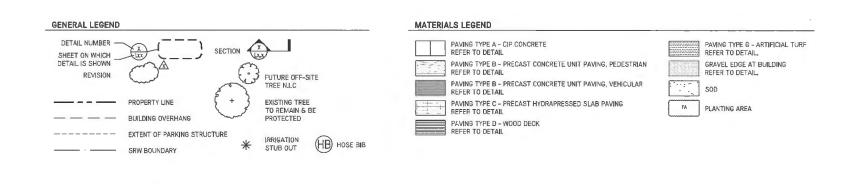
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CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

Landscape Sections Level 13 Private Amenity

Dara	04/2022	Drawing Nume
Project No.	2210	104
Scale	1/2" = 1'-0"	12.1





CIP CONCRETE
PATIO PLANTER

PICKET GATE & FENCE REFER TO ARCH.

- EXISTING TREE

TO REMAIN
PROTECT IN PLACE

DRIP STRIP TYP. (4)3.1)

BIKE RACK (18 BICYCLES)

CIP CONCRETE PLANTER (5)

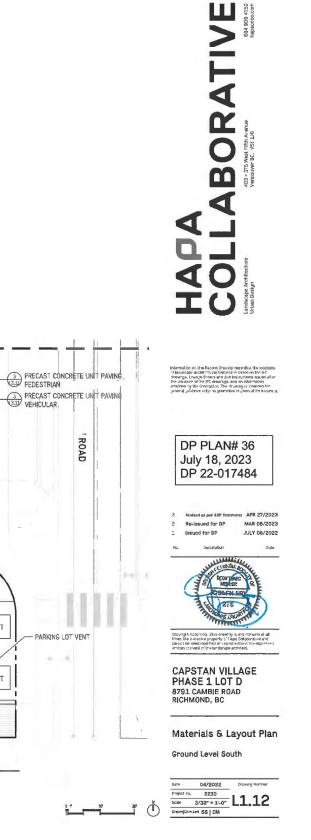
HANDRAIL - TYP, (2)

CIF CONCRETE STAIRS - TYP.

BIKE RACK (12 BICYCLES)

PRECAST CONCRETE UNIT PAVING SVEHICULAR

SRW BOUNDARY



DRIP STRIP TYP.

SRW BOUNDARY

- PARKING LOT VENT

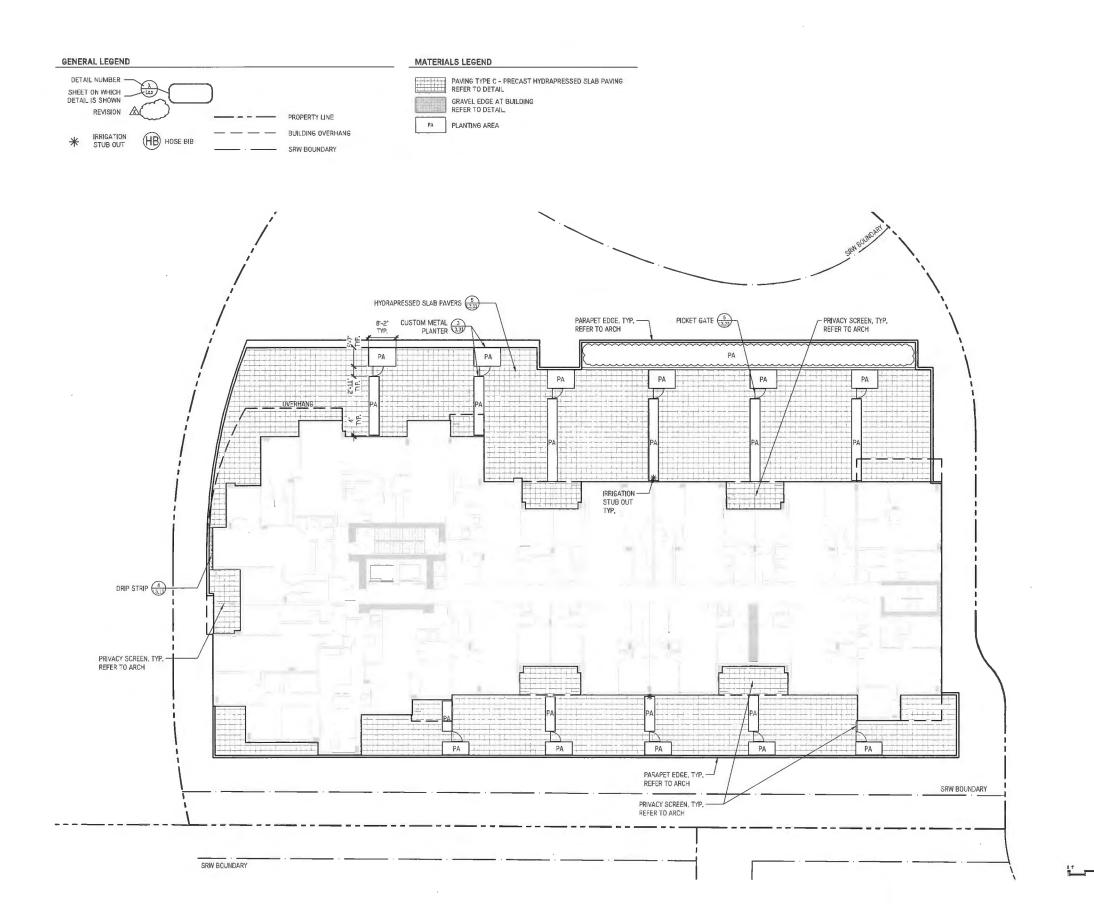
PMT

3.4 VINE GREEN WALLS, TYP.

- IRRIGATION STUB OUT, TYP.

CUSTOM WOOD TOP
BENCH WITH BACKREST

- U/G PARKING EXTENT



HAPA
COLLABORATIVE

1302-315 West Fifth A should

1404-015 Using builty victor of E. 1951 16

DP PLAN# 37 July 18, 2023 DP 22-017484

3	Revised as per ADP Comments Re-issued for DP	MAR
1	(ssued for DP	JULY
Nú.	Description	
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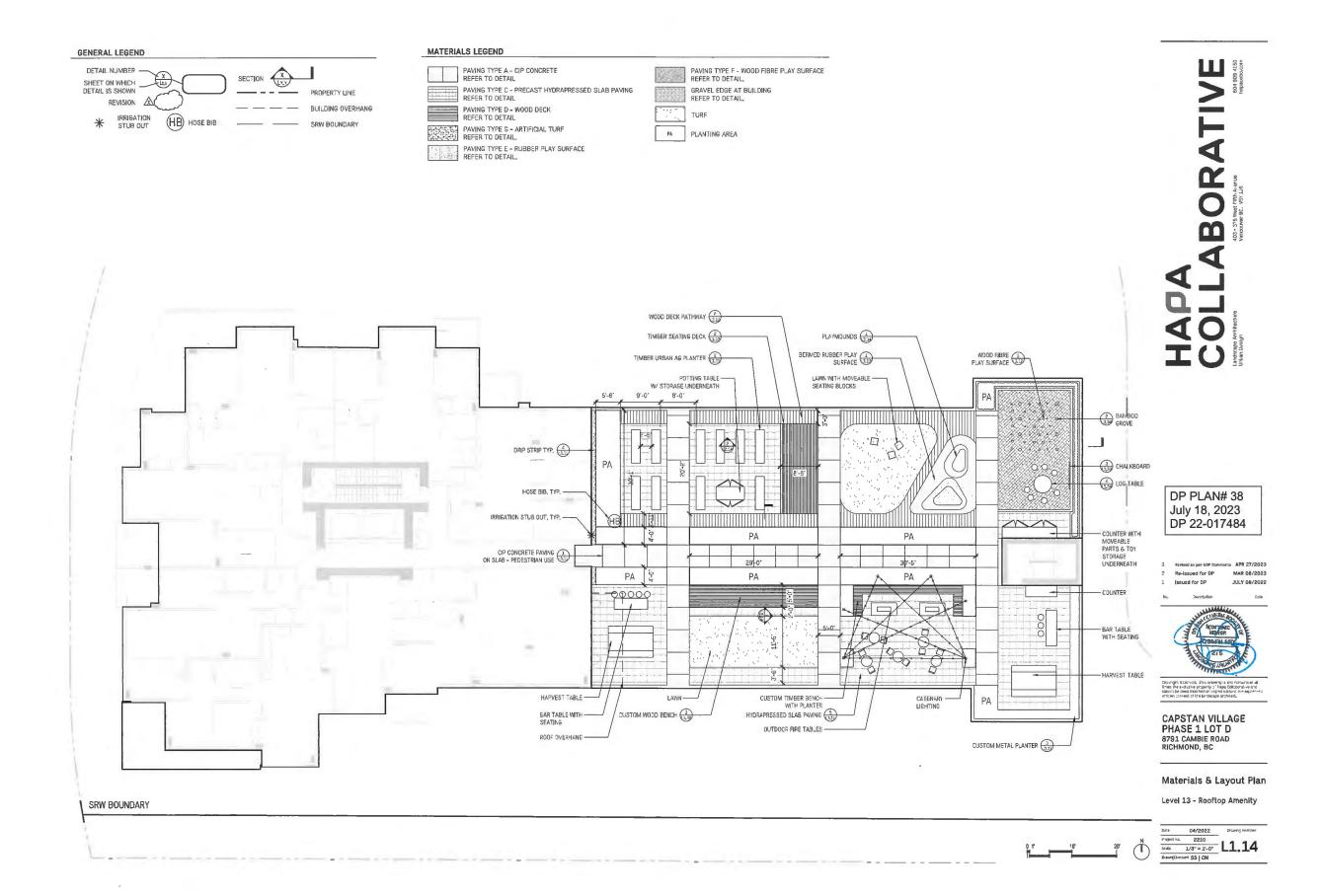
Copyright Reserved, This creating is and remoral at all times the exclusive property of Tapa Colleborative and casemble without the sead method for rop and without the expression strices consent of the landscape arothests.

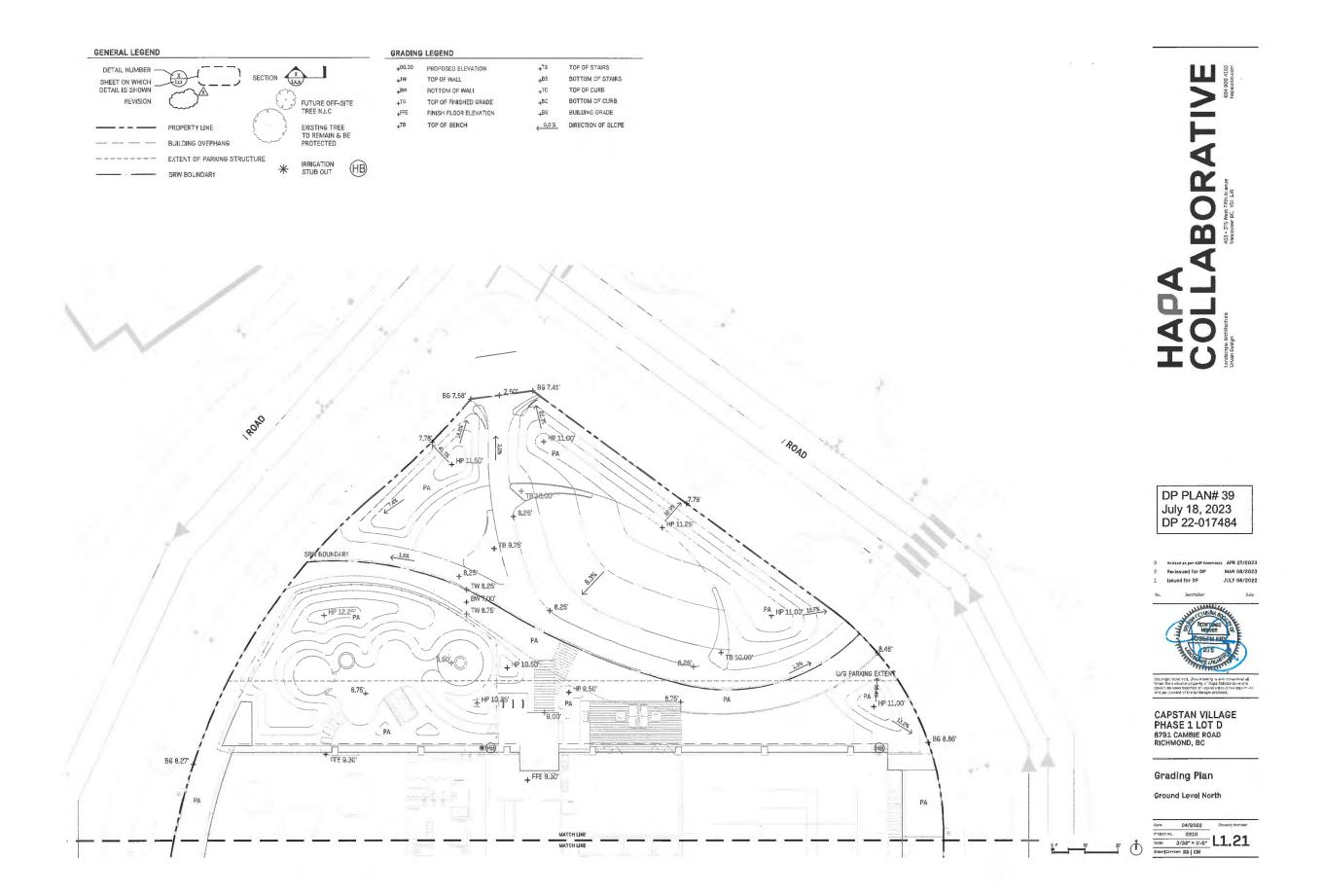
CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

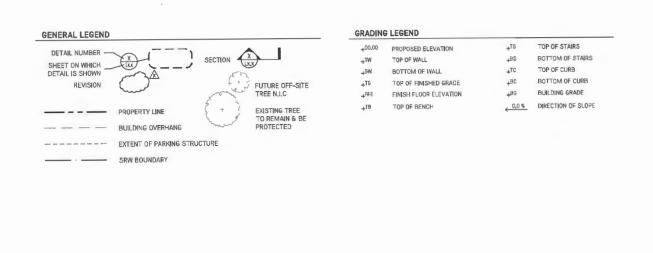
Materials & Layout Plan

Level 3

		Date	04/2022	Drawing Number
		Project No.	2210	1440
20"	*	Scale	3/32" = 1'-0"	L1.13
<u>_</u>	(1)	Drawn(Cher	Land SS CM	







BS 4.20 TS 9.20

BS 7,90, 7S 8,90°

SRW BOUNDARY

TW9.90' + BW8.90' TS8.90' BS7.60'+

TD7,55

+ TW9.90'

₹TW9.90°

TD7.86' TD7.93' TD8.30' TD8.30'

BS8-00-17S8,90°

PA %7

BG 7.97

BG 8,14

ROAD





BG 8.79°

BG 8.93'

PMT

PMT

SRW BOUNDARY

t_{TW9.90'}

U/G PARKING EXTENT

<1.5%

PLANT SCHEDULE

A6S 6 Ables grandis / Grand Fir 2.4m ht As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 130 - 240 ft. I ACC 16 Acer circinatum / Vine Maple 2.0m ht. As Shown B&B, Multi-Stemmed, Dense Tree 10 - ' ht. C0 3 Cercis occidentalis / Western Redbud 1.8m ht. As Shown B&B, Well Branched, Dense Tree 10 - ' ht. CNE 9 Cornus nuttalii x florida 'Eddie's White Wonder' / Eddie's White Wonder Dogwood 2.0m ht. As Shown B&B, Multi-Stemmed, Dense Tree 25 - 40ft, ht. PMI 3 Pseudotsuga menziesii / Douglas Fir 2,4m ht As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground > 65ft, ht.											
ACC 18 Acer cincinatum / Vine Maple 2.0m ht. As Shown 868, Multi-Stemmed, Dense Tree 10 - 1 ht. CO 3 Cercis occidentals / Western Red Duc 1.8m ht. As Shown 868, Multi-Stemmed, Dense Tree 10 - 1 ht. CNE 9 Cornus nuttalis ix florida 'Eddie's White Wonder / Eddie's White Wonder Dogwood 2.0m ht. As Shown 868, Multi-Stemmed, Dense Tree 25 - 40ft, ht. PMI 3 Peaudotouga mendiesis / Couglas Fir 2.4m ht. As Shown 868, Multi-Stemmed, Dense Tree 25 - 40ft, ht. TPA 6 Thugs pictats / Western Red Cedar 2.4m ht. As Shown 868, Dense Tree, Good Branching within 0.6m of Ground 40 - 66ft, ht. TPA 6 Thugs pictats / Western Mendock 2.4m ht. As Shown 868, Dense Tree, Good Branching within 0.6m of Ground 40 - 66ft, ht. TPA 6 Thugs pictats / Western Mendock 2.4m ht. As Shown 868, Dense Tree, Good Branching within 0.6m of Ground 40 - f. ht. SPENSE DOS 97Y ECTAMOL. COMMON MARE 92 SZE SPACINE COMMENTS TO 30 Factor occurred from Mark 100 Factor Stemmen 100 Factor Mark 100 Factor	TREES	CODE	QTY	BOTANICAL / COMMON NAME				SIZE	SPACING	COMMENTS	MATURE HEIGHT
CO 3 Cercle occidentals / Western Redbud 1.6m Nr. As Shown B6B, Wall Branched, Dense Tree 10 - 1 ht. CNE 9 Cornus nuttalix storica Eodie's White Wonder / Eodie's White Wonder Dogwood 2.0m ht. As Shown B6B, Multi-Stemmed, Dense Tree 25 - 40ft, ht. FMI 3 Pseudotsuga menziesiii / Douglas Fir 2.4m ht As Shown B6B, Dense Tree, Good Branching within 0.6m of Ground 40 - 65ft, ht. TPA 6 Trugs pricerphyla / Western Red Cedar 2.4m ht As Shown B6B, Dense Tree, Good Branching within 0.6m of Ground 40 - 65ft, ht. THE 6 Tsuga neterophyla / Western Hemiock 2.4m ht As Shown B6B, Dense Tree, Good Branching within 0.6m of Ground 40 - f ht. SPRUS COOK 0TV EOTAMCA, COMMON MANE 32E SPACING COMMENTS The 200 of True Stories of Memory Common 40 - f ht. SPRUS AREAS COOK 0TV EOTAMCA, COMMON MANE 32E SPACING COMMENTS The 200 of True Stories of Memory Common 40 - f ht. SPRUS AREAS COOK 0TV EOTAMCA, COMMON MANE 32E SPACING COMMENTS The 200 of True Stories of Memory Common 41 - f ht. SPRUS AREAS COOK 0TV EOTAMCA, COMMON MANE 32E SPACING COMMENTS The 200 of True Stories of Memory Common Many of True Memory Common Many of Memory Common Many of True Memory Common Many of Memory Common Many of True Memory Common Many of Memory Common Many of True Memory Common Many of Memory Common Many of True Memory Common Many of Memory Common Many of True Memo		AGS	6	Abies grandis / Grand Fir				2,4m ht	As Shown	B&B, Dense Tree, Good Branching within 0.6m of Ground	130 - 240 ft, ht,
CNE 9 Comus nuttalii x fiorica 'Eodie's White Wonder' / Eodie's White Wonder Dogwood 2.0m ht. As Shown B&B, Multi-Stemmed, Dense Tree 25 - 40ft, ht. PMI 3 Peaudotauga menziesii / Douglas Fir 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground > 65ft, ht. TPA 6 Thuga plicata / Western Reo Cedar 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown B&B, Dense Tree, Good Branching within 0.6m of Ground 40 - 6ft, ht. The 6 Tauga heterophylis / Western Heritook 2.4m ht. As Shown Banching within 0.6m of		ACC	16	Acer circinatum / Vine Maple				2,0m ht,	As Shown	B&B, Multi-Stemmed, Dense Tree	10 - ' ht,
PMI 3 Poseudotauga menziesii / Douglas Fir 2,4m ht As Shown B&B, Dense Tree, Good Branching within 0,6m of Ground > 65ft, ht, TPA 6 Thuga plicata / Western Red Cedar 2,4m ht As Shown B&B, Dense Tree, Good Branching within 0,6m of Ground 40 - 65ft, ht, THE 6 Tauga heterophylia / Western Hemiock 2,4m ht As Shown B&B, Dense Tree, Good Branching within 0,6m of Ground 40 - 6 ft, ht, THE 6 Tauga heterophylia / Western Hemiock 2,4m ht As Shown B&B, Dense Tree, Good Branching within 0,6m of Ground 40 - 6 ft, ht, SHPUB AREAS CODE OTY BOTANCAL COMMON NAME 35 Shown 92 Pol As Shown 92 Pol As Shown 93 Tauau x media "Hotasi" / Hicka regio-pagnese Yew 92 Pol As Shown 94 Pol As Shown 95 Pol Pol As Shown 95 Pol Pol As Shown 95 Pol	\odot	СО	3	Cercis occidentalis / Western Redbud				1.8m ht.	As Shown	B&B, Well Branched, Dense Tree	10 - ' ht.
TPA 6 Truta pilozat / Western Reo Cedar 2.4m nt As Shown B6B, Dense Tree, Good Branching within 0,6m of Ground 40 - 65ft, nt. THE 6 Tsuga heterophylla / Western Hemiook 2.4m nt As Shown B6B, Dense Tree, Good Branching within 0,6m of Ground 40 - f' nt. SHPUBS CODE OTY BSTANDAL, COMMON MANE SIZE SPACING Th 33 Taxus x media "Hockei" / Hocks Anglo-Japaness Yew #2 Pot As Shown SHPUB AREAS CODE OTY BSTANDAL / COMMON MANE SIZE SPACING OMMENTS SHPUB AREAS COMMENTS PA 88 Shown SHPUB AREAS COMMENTS SHPUB AREAS COMMENTS PA 88 Shown SHPUB AREAS COMMENTS SHPUB AREAS COMMENTS PA 88 Shown SHPUB AREAS COMMENTS PA 90 Shown SHPUB AREAS COMMENTS PA 100 Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Shown Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching Within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching Within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching Within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Good Branching Within 0,6m of Ground 40 - f' nt. As Shown Sheet Tree, Go)	CNE	9	Cornus nuttalii x florida 'Eddie's White Wonder'	Eddie's \	White Wond	er Dogwood	2.0m ht.	As Shown	B&B. Multi-Stemmed, Dense Tree	25 - 40ft, ht.
THE 6 Tsuga heterophylla / Western Hemlock 2.4m ht As Shown 86B, Dense Tree, Good Branching within 0.6m of Ground 40 - I' ht. SPPUSS CODE OTY EGTANICAL COMMON NAME SIZE SPACINE COMMENTS The 33 Taxus x media "Hoxan" / Neks Angio-Appanese Yew 42 Pot As Shown SIPPUB AREAS CODE OTY BOTANICAL / COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS BERNAL NOS-BOTANICAL / COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME SIZE SPACINE COMMENTS The 2 200 at FIELD STANDARY COMMON NAME ST		PMI	3	Pseudotsuga menziesii / Douglas Fir				2,4m ht	As Shown	B&B, Dense Tree, Good Branching within 0,6m of Ground	> 65ft, ht,
SPRUS CODE OTY BOTAMICAL COMIZON NAME SIZE SPACING COMMENTS PQ 8 Partherocissus quinquefolia / Virgina Creeper 43 Prot As Shown Th 33 Taxus x madia 'Hickalii / Hicka Anglo-Japanesa Yew 42 Pol As Shown SHPUB AREAS CODE OTY BOTAMICAL COMIZON NAME SIZE SPACING COMMENTS Th 2 200 st Turf Sod Belaro Plus / Fascue bland - 2 200 st Turf Sod Belaro Plus / Fascue bland	3	TPA	6	Thuja plicata / Western Reo Cedar				2.4m ht	As Shown	B&B, Dense Tree, Good Branching within 0,6m of Ground	40 - 65ft. nt.
Fq 8 Parthenocissus quinquefolia / Virgins Creeper 43 Pot As Shown		THE	6	Tsuga heterophylla / Western Hemlock				2,4m ht	As Shown	B&B, Dense Tree, Good Branching within 0.6m of Ground	40 - f" ht.
Th	SHPUBS	CODE	<u>0TY</u>	ESTANICAL COMMON NAME	SIZE	SPACING	COMMENTS				
SHPUB AREAS CODE OTY BOTANICAL / COMIKON NAME SIZE SPACING COMMENTS	Dutte	Pq	8	Parthenocissus quinquefolia / Virgina Creeper	#3 Pot	As Shown					
The 2 202 st TeLD The 2 202 st Turn Sod Rolero Plus / Fescue bland 6 695 st at	0	Th	33	Taxus x media "Hicksii" / Hicks Anglo-Japanese Yew	#2 Pal	As Shown					
To 2 202 st Turt Sod Bolero Plus / Fescue blend - 1	SHPUB AREAS	CODE	<u>OTY</u>	BOTANICAL / COMIADN NAME	SIZE	SPACING	COMMENTS				
aff 2 004		ТЬ			-						
Coa		gsn pmm nps sdi	2 004 1 002 1 002 696 310 556 635	Aquillegia formosa / Western Columbine Blechnum spicant , Deer Fern Gaultheria shallon / Salat Polystichum munitum / Western Sword Fern Rubus parviflorus / Thimblobarry Spiraaa douglasii / Western Spiraa	#1 pot #2 pot #1 pot #2 pot #2 pot	30cm 25cm 30cm 45cm 60cm	Well Estaclis Well Estaclis Well Estaclis Well Estaclis Well Estaclis	hed hed hed had had			
Section Sect		ehh	149 84 21	Carex obnupta / Slough Sedge Equisatum hyamala / Horsatali Iris douglasiana / Douglas Iris	#2 pot #2 pot	48°	Well Establis Well Establis	hed hed			
		Cbi dca ess joe pmp	495 14 28 344 50 63	Achillaa millefollum / Common Yarrow Callicerpa bodinieri / Beautybarry Deschampsla cespitosa / Tuffed Hair Grass Echinacea x 'Sundown' / Sundown Purple Coneflower Jasminum officinale / Poet's Jasmine Pinus mugo 'Pumilic' / Mugo Pine	#3 Pot #1 pot #2 pot #2 pot #2 pot	90cm 60cm 30cm 45cm 40cm	Well Establis Well Establis Well Establis Well Establis Well Establis	ihed ihed ihed ihed ihed			

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DP PLAN# 41 July 18, 2023 DP 22-017484

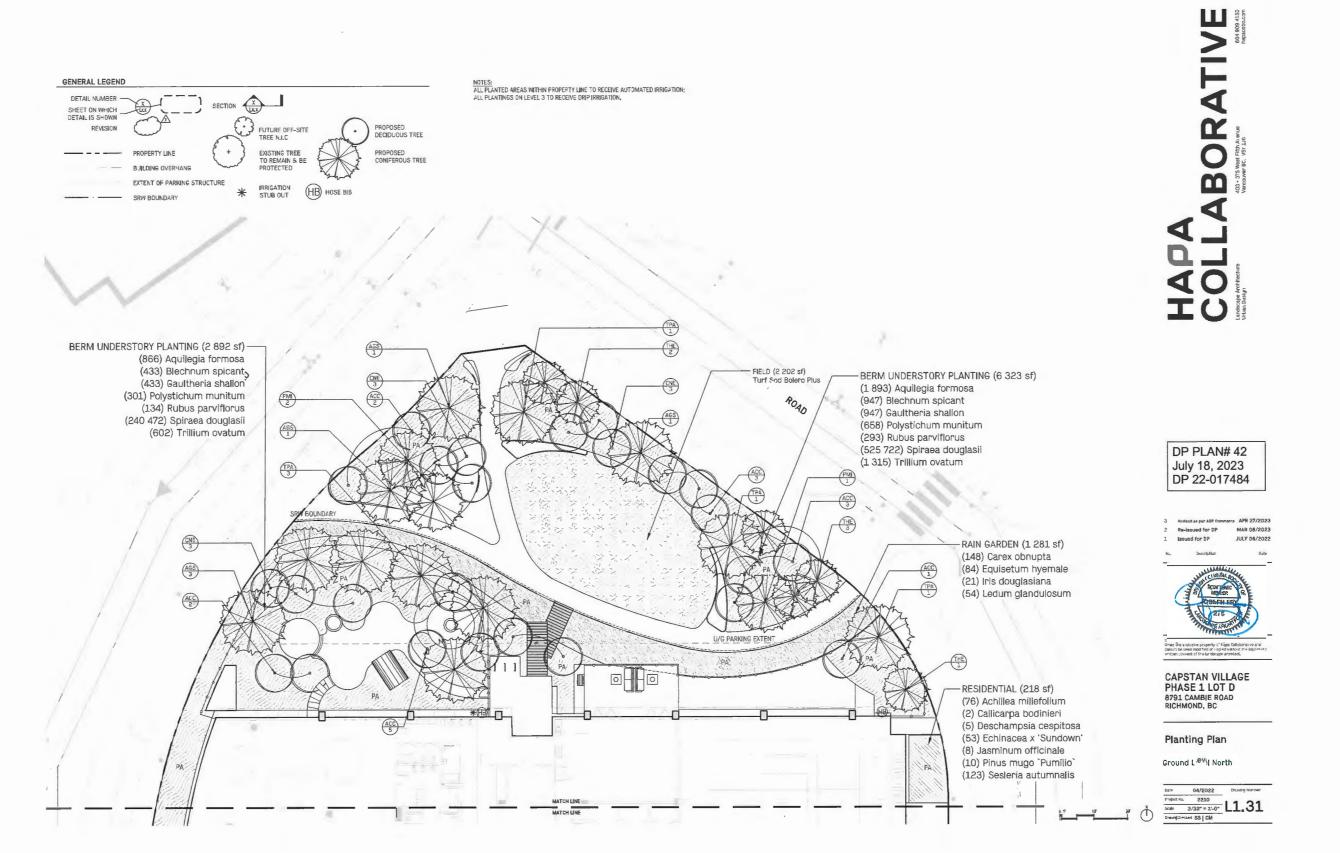


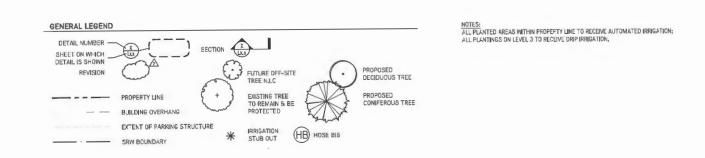
CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

Planting Schedule

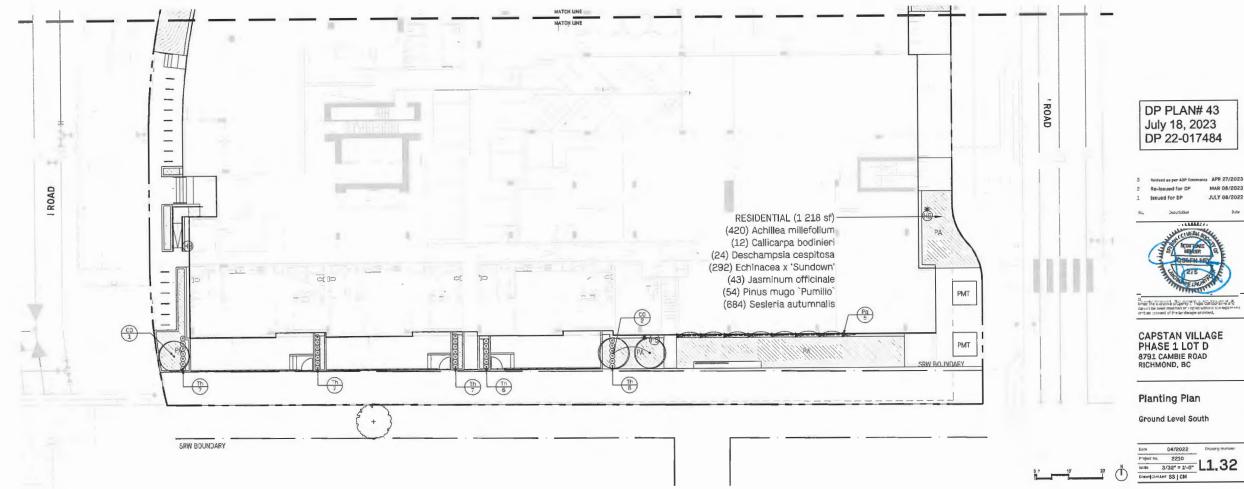
Ground Level

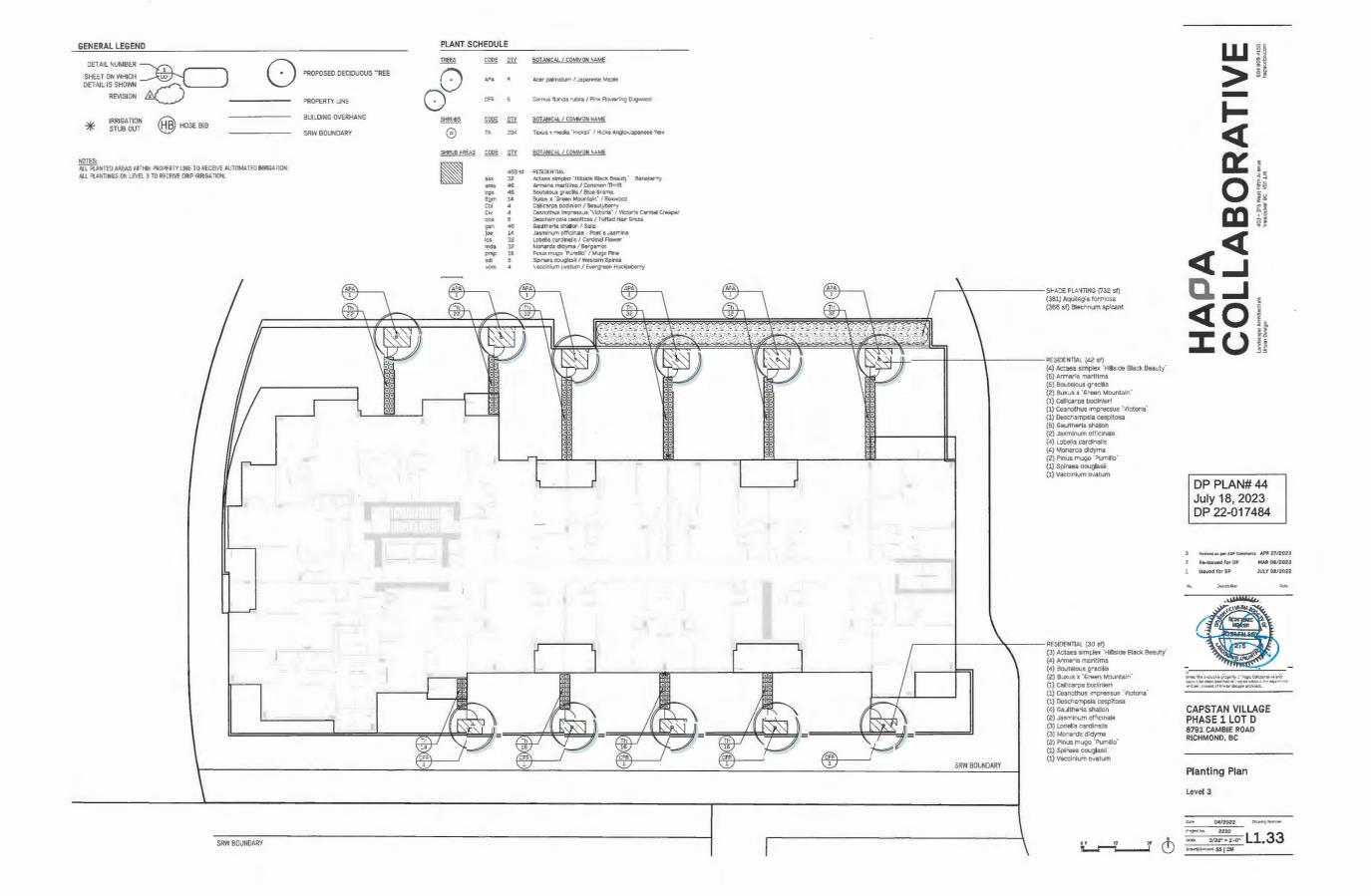
Date	04/2022	Drawing Number
Project No.	2210	14.04
Scale		L1.30

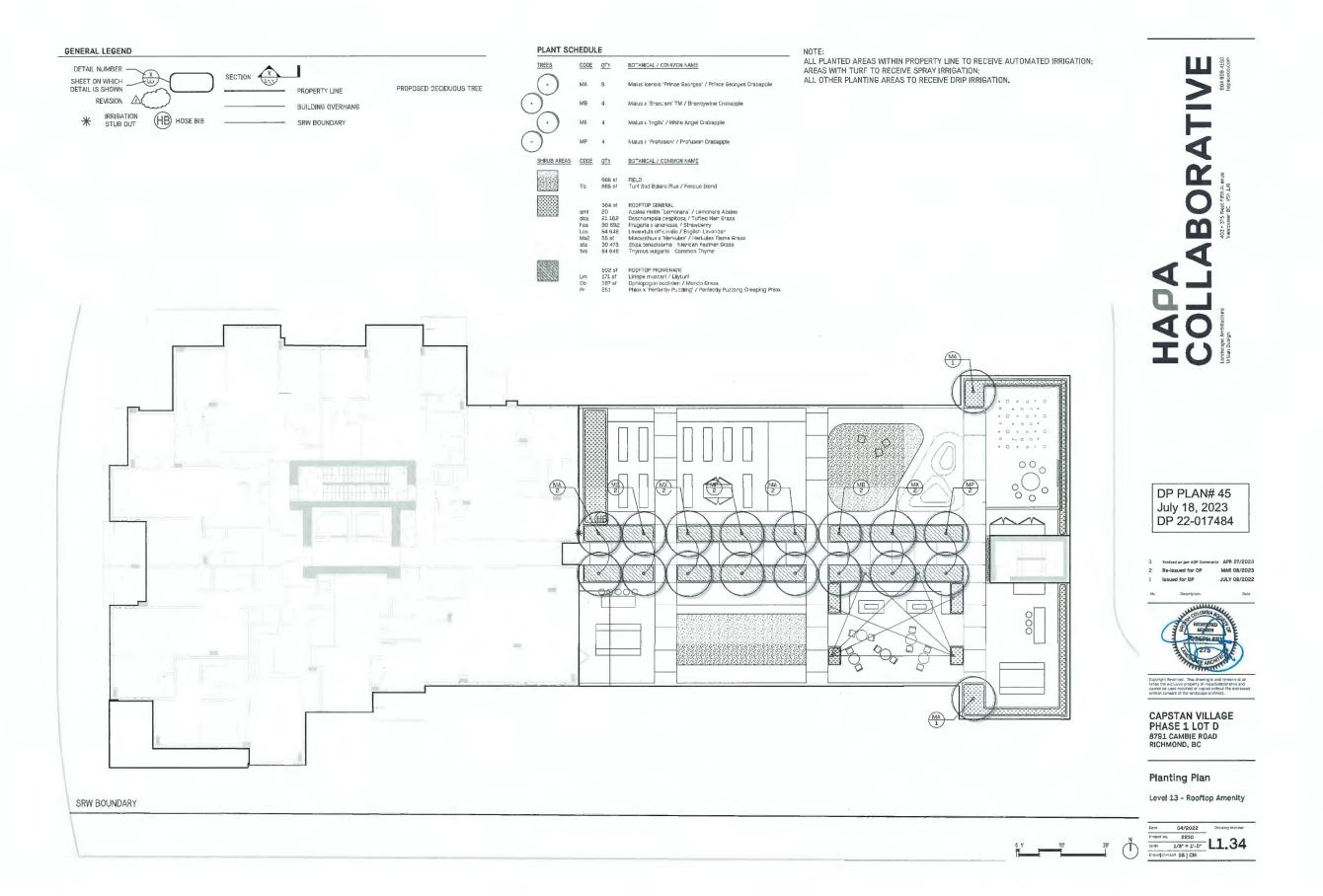


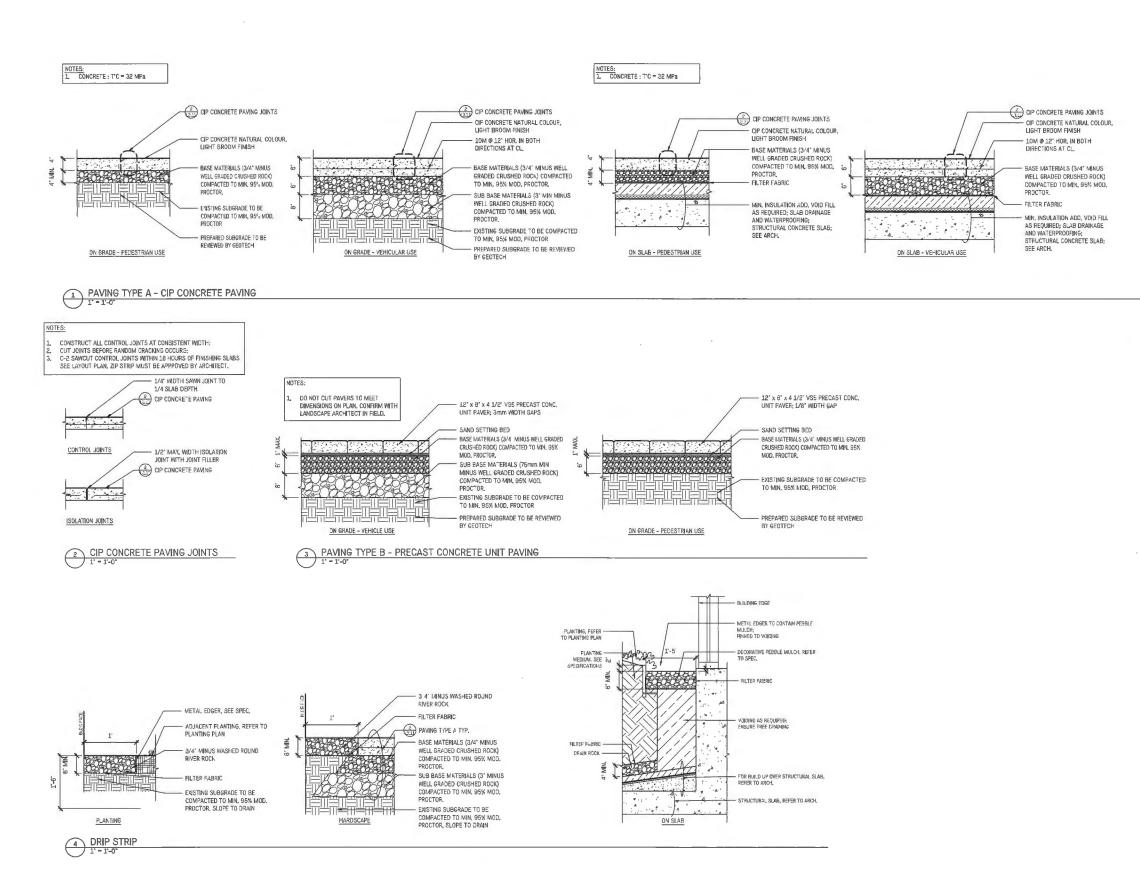












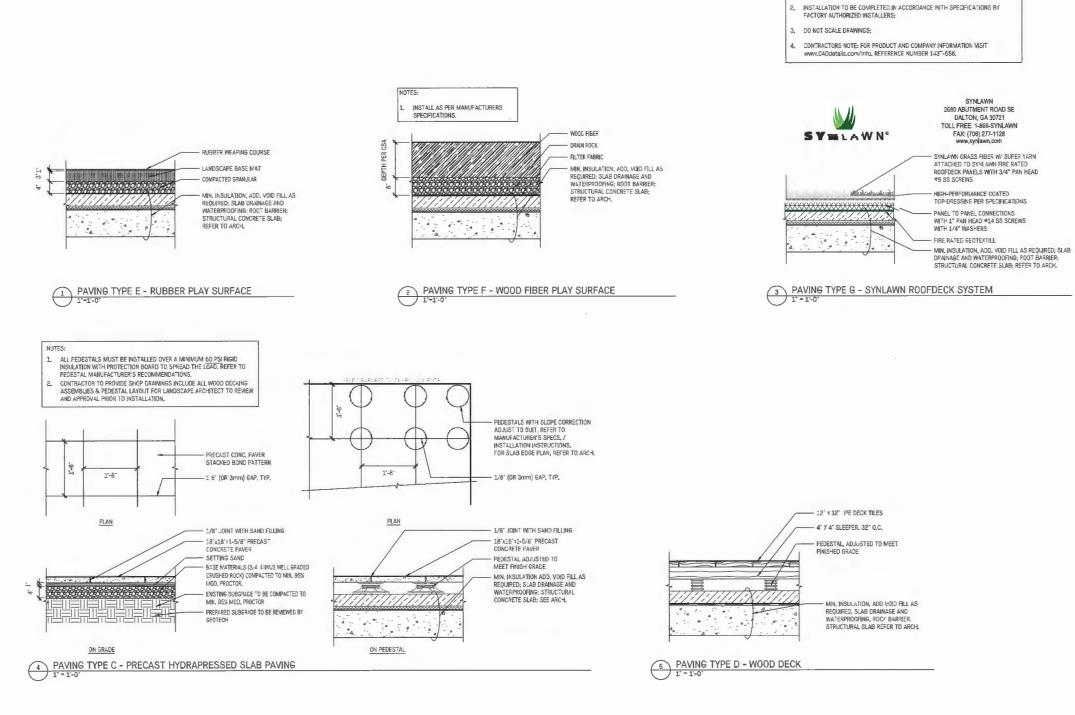
DP PLAN# 46 July 18, 2023 DP 22-017484

3	Revised as per ADP Comments Re-issued for DP	APR 27/20 MAR 08/20
1		JULY 08/20
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	ALL CLUBBA SO	EVE .

CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

Details Paving

04/2022	Drawing Numb
2210	104
AS NOTED	L3,1
	2210



HAPA COLLABORATIVE Usun Design (1972-375 West Fifth A WIND SHIPS)

1. THE SPASS MUST BE INSTALLED AND SEAMED WITH ADJACENT PIECES RUNNING IN THE SAME DIRECTION:

DP PLAN# 47 July 18, 2023 DP 22-017484

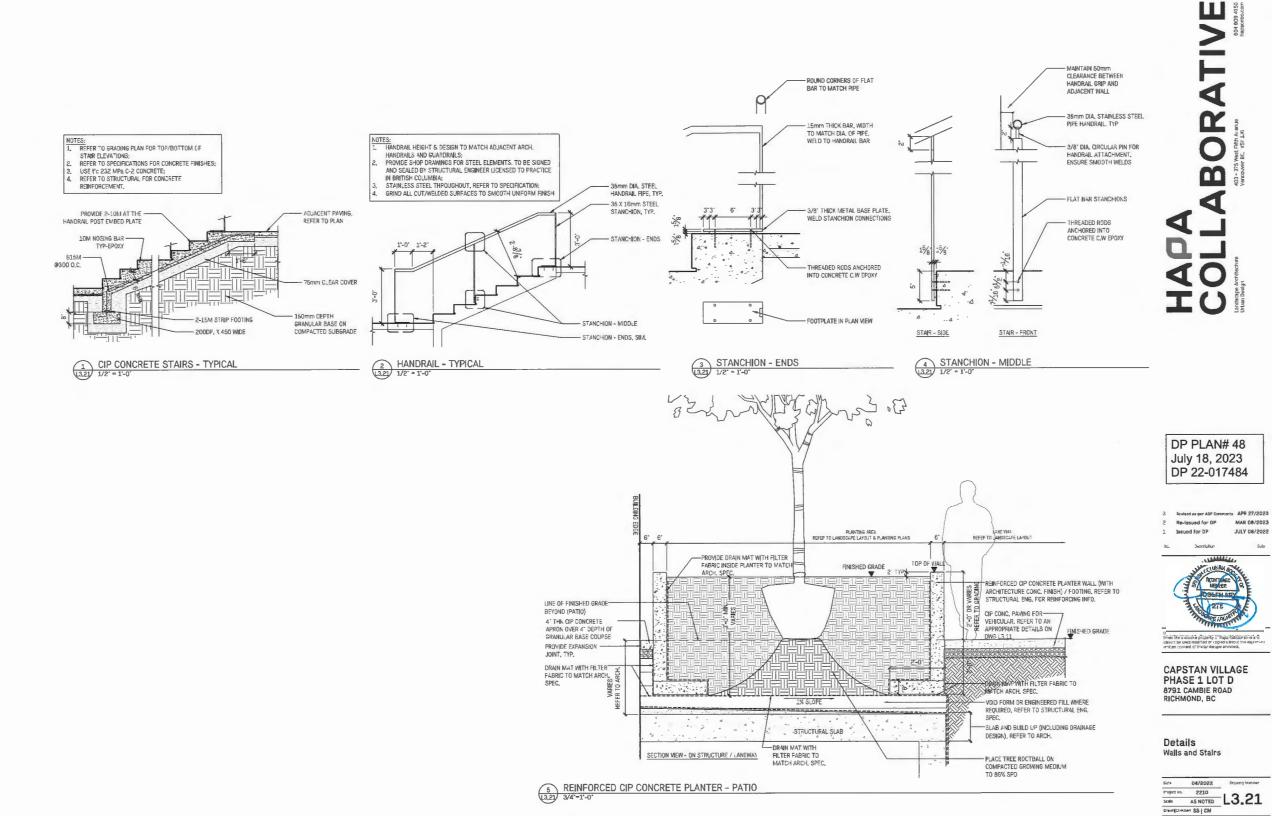
3 Revised as per ADP Commercs APR 27/2023
2 Re-issued for DP MAR 08/2023
1 Issued for DP JULY 08/2022

No. Section Deb

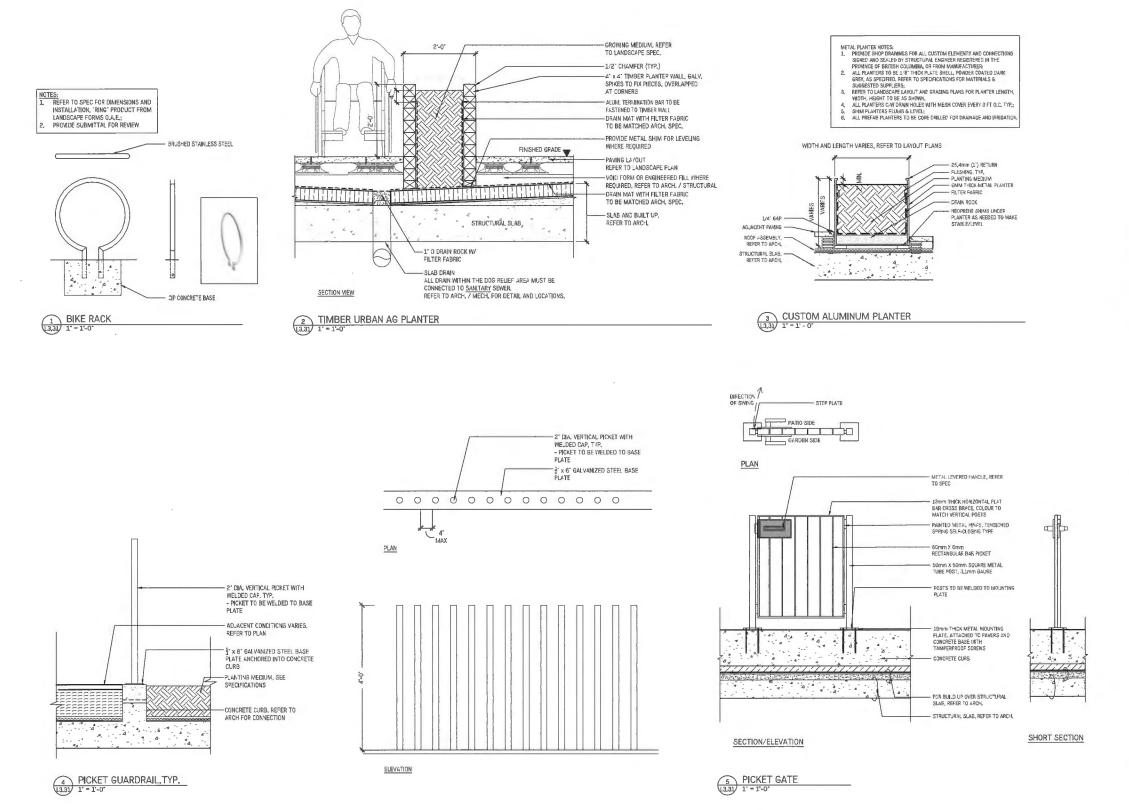
CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

Details Paving

Date	04/2022	Drowing found
Project No.	2210	101
Scale .	AS NOTED	L3.1



JULY 08/2022



HAPA COLLABORATIVE Interpretation of the Control of

DP PLAN# 49 July 18, 2023 DP 22-017484

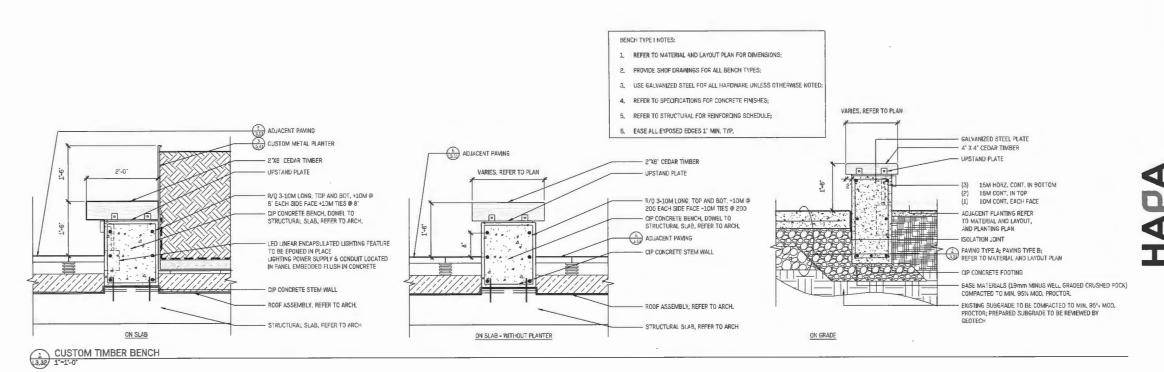
3	Revised as per ADP Comments	APR
S	Re-issued for DP	MAR
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Ni.	Discription	
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CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

Details Site Furnishings

Date	04/2022	Drawing Number
Project No.	2210	1004
Scale	AS NOTED	L3.31

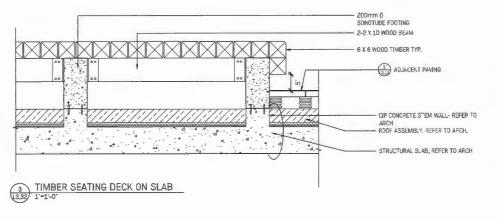


200mm Ø
SCNOTUBE FOOTING
2-2 7 10 WOOD BEAM
6 X 6 WOOD TIMBER TIP,

GRAVE, BENEATH WAVE DECK
DRAIN ROCK
DRAIN ROCK
PAYING TYPE A TYP.
CIP CONCRETE S'RIP FOOTING
PERP, PIPE CONNECT TO
STORM TYP, REFRET TO CIVIL
BASE MATERIALS (19mm IAINUS
WELL GRADED CRUSHED ROCK)
COMPACTED TO MIN, 95% MOD.
PROCTOR, BENEATH ALL FOOTINGS TIP.
EUSTING SUBGRADE TO BE
COMPACTED TO MIN, 95% MOD.
PROCTOR, BENEATH ALL FOOTINGS
TYP., PREPARED SUBGRADE TO BE
COMPACTED TO MIN, 95% MOD.
PROCTOR, BENEATH ALL FOOTINGS
TYP., PREPARED SUBGRADE TO BE
REVIEWED BY SEOTECH

WOOD DECK AND PLATFORM NOTES:

- 1. REFER TO MATERIAL AND LAYOUT PLAN FOR DIMENSIONS;
- PROVIDE ENGINEERED SHOP DRAWINGS BY A STRUCTURAL ENGINEER REGISTERED IN BC FOR DECK AND PLATFORM DESIGN INCLUDING FOOTINGS, REINFORCEMENT, AND ALL CONNECTIONS;
- 3. USE GALVANIZED STEEL FOR ALL HARDWARE UNLESS OTHERWISE NOTED;
- ALL TIMBERS YELLOW CEDAR \$4\$;
- ALL BEAMS PRESURE TREATED SPF CONSTRUCTION GRADE; ANY EXPOSED BEAMS \$4S;
- 6. EASE ALL EXPOSED EDGES 25mm MIN. TYP.



DP PLAN# 50 July 18, 2023 DP 22-017484

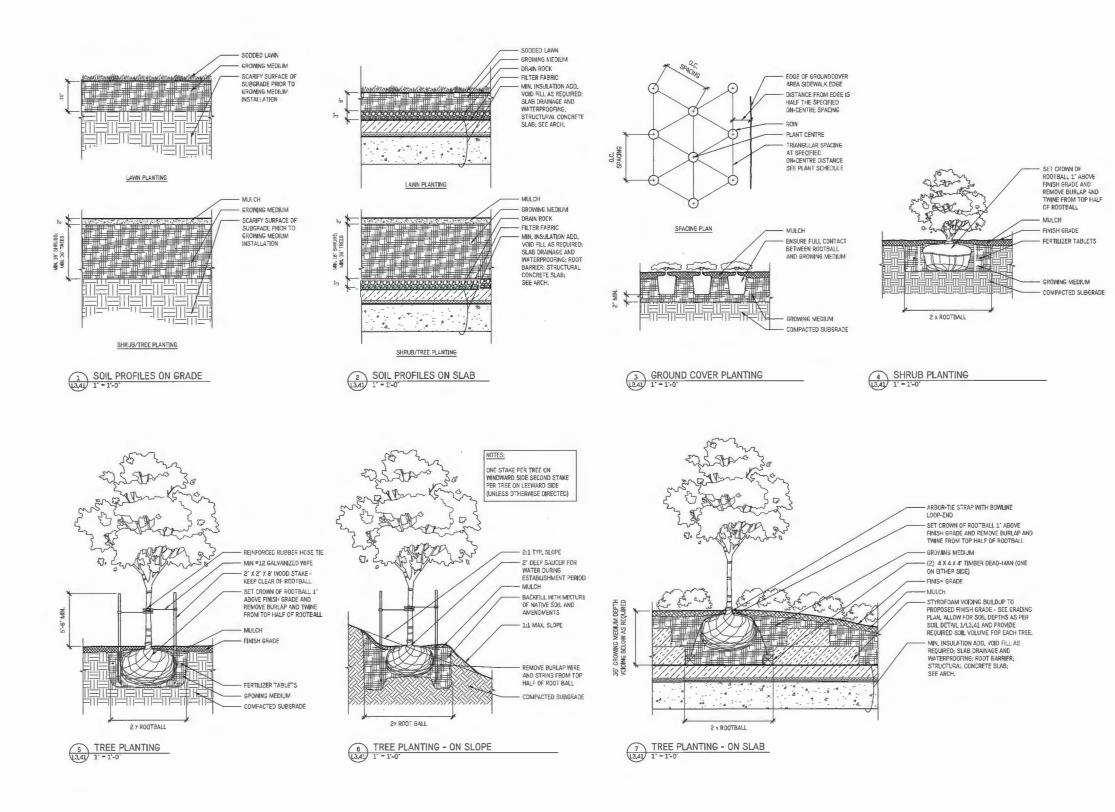
ABORATIVE ADD-375 West FIFTIA ON 1909 ADD-000-0000



CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

Details Site Furnishings 2

Late	04/2022	Erening Number
Project No.	2210	1000
Scale	AS NOTED	L3.32



HAPA COLLABORATIVE Lindetep Architector Li

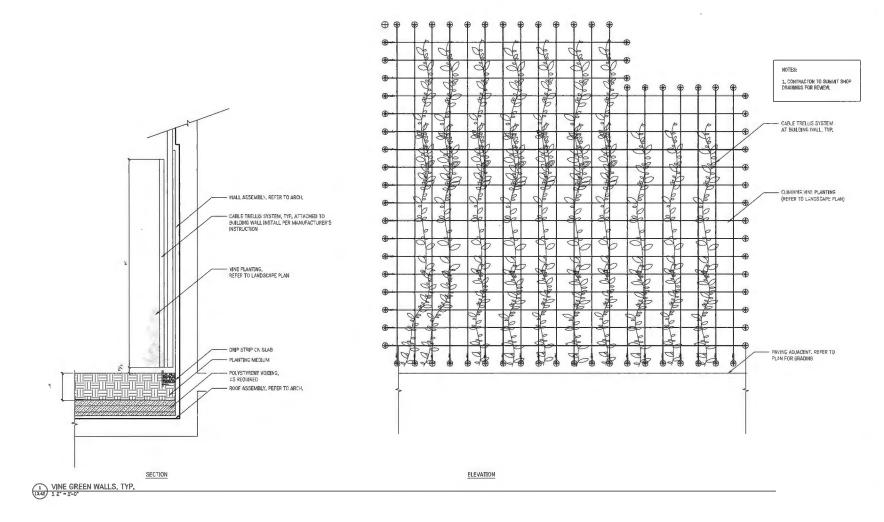
DP PLAN# 51 July 18, 2023 DP 22-017484

1 Issued for DP JULY 08/20 No. >exception Da Annual Club But Agents Information Services Info	3	Revised as per ADP Comm	
No. Secretain De la Secretair De la Secretain De la Secretain De la Secretain	5	Re-issued for DP	MAR 08/20
FORFILL STATE	1	Issued for DP	JULY 08/20
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		A SA LIFTH ICE	ALL AND A

CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

Details Planting

Date	04/2022	Drewing No
Project No.	2210	10
Scale .	AS NOTED	L3,4
Drawn(Clied	ed SS CM	



HAPA COLLABORATIVE Lindecape Architecture Unden Design Varcolver 81. V57.16 Proposobocom Proposo

DP PLAN# 52 July 18, 2023 DP 22-017484

3 Revised as per ADP Comments APR 27/2023 2 Re-issued for DP MAR 08/2023 JULY 08/2022 1 | Issued for DP



CAPSTAN VILLAGE PHASE 1 LOT D

8791 CAMBIE ROAD RICHMOND, BC

Details Planting

Code AS NOTED
Drawer(Circled SS | CM

GENERAL NOTES

- PRIGR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR MUST MAKE CAREFUL EXAMINATION OF EXISTING SITE SURFACE CONDITIONS AND TOPOGRAPHY AND ADVISE LANDSCAPE ARCHITECT OF ANY UNSATISFACTORY SITE SURFACE CONDITIONS AND TOPOGRAPHY, ON ALLOWANCES WILL BE MADE LATER FOR ANY EXPENSES INCURRED THROUGH FAILURE TO MOTE UNSATISFACTORY SITE SURFACE CONDITIONS AND TOPOGRAPHY;
- 2. DO NOT SCALE DRAWINGS. USE DIMENSIONAL INFO AS NOTED IN DRAWINGS. CONTACT THE LANDSCAPE ARCHITECT IS HERE IS ANY AMBIGUITY: LACK OF INFORMATION, OR INCONSISTENCY:
- 3. THE CONTRACTOR WILL CLEAN AND REINSTATE ALL AREAS DAMAGED OR AFFECTED BY WORKS OUTSIDE THE LIMIT OF WORK TO THE CONDITIONS THAT EXISTED PRIOR TO CONSTRUCTION OR BETTER AND TO THE SATISFACTION OF THE
- 4. THE CONTRACTOR SHALL VERIFY DIMENSIONS SHOWN ON DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES OR INCONSISTENCIES PRIOR TO CONSTRUCTION:
- 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING THE LIMIT OF WORK LINE;
 6. CONTRACTOR SHALL BE RESPONSIBLE FOR VERTINIB ALL UNDERGROUND UTILITIES AND TAKING THE NECESSARY PRECAUTIONS PRIOR TO AND DURING CONSTRUCTION. REFER TO CIVIL:
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF EXCESS FILL OFF-SITE:
- 8. ARCHITECTURAL AND CIVIL DESIGN SHOWN FOR INFORMATION ONLY:
- 9. REFER CIVIL AND ELECTRICAL DRAWINGS FOR DISCIPLINE SPECIFIC REMOVALS.

TREE PROTECTION PLAN NOTES

- 1. TREE PROTECTION FENCE TO MEET CITY OF RICHMOND STANDARDS;
- 2. REFER TO TREE PROTECTION DETAIL TO DETERMINE LOCATION OF TREE PROTECTION FENCING:
- 3. REFER TO ARBORIST'S INVENTOR //ASSESSMENT REPORT PREPARED BY PROJECT ARBORIST FOR TREE SPECIES AND
- 4. NO EXISTING TREES IN GROUND LEVEL NORTH AREA

MATERIALS PLAN NOTES

- 1. REFER TO DETAILS AND SECTIONS FOR ALL LANDSCAPE IMPROVEMENTS:
- 2. REFER TO CITY OF RICHMOND STANDARDS FOR WORK ON TYPICAL SIDEWALKS;
- 3. TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH CITY OF RICHMOND ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES, METHODS OF TREE PROTECTION FOR STREET TREES TO BE

LAYOUT PLAN NOTES

- 1. ALL DIMENSIONS ARE NOMINAL;
- 2, REFER TO GRADING PLAN FOR HORIZONTAL CONTROL OF PAVING/LANDSCAPE AREAS;
- 3. ALL SITE FURNISHING LOCATIONS TO BE CONFIRMED WITH LANDSCAPE ARCHITECT ON SITE PRIOR IN INSTALLATION:
- 4. CONFIRM SAWCUT PATTERN AND EXPANSION JOINT LAYOUT CHSITE WITH LANDSCAPE ARCHITECT;
- 5. REFER TO CIVIL DRAWINGS FOR ROADWAY AND CURB ALIGNMENTS AND DETAILS.

GRADING PLAN NOTES

- ALL ELEVATIONS ARE NOMINAL AND ARE BASED ON SURVEY AND ELEVATIONS PROVIDED BY ARCH, AND CIVIL. CONTRACTOR TO VERIFY ALL MEASUREMENTS:
- 2. ALL PROPOSED ELEVATIONS ARE TO TOP OF FINISHED GRADE UNLESS NOTED OTHERWISE;
- 3. REFER TO SOIL DEPTH DETAILS FOR SOIL DEPTH AND VOIDING:
- 4. PAVING IS GRADED TO A TYPICAL DIMENSION ABOVE STRUCTURAL SLABS. REFER TO ARCHITECT FOR TYPICAL
- 5. ALL UTILITY COVERS INSIDE LANDSCAPE AREA TO BE ADJUSTED TO FINAL GRADE;
- 6. CONDUCT GRADING START UP MEETING WITH LANDSCAPE ARCHITECT IN FIELD TO CONFIRM GRADING DESIGN.

PLANTING PLAN NOTES

- 1. ALL PLANT MATERIAL TO CNLA AND BCSLA STANDARDS. REFER TO THE CNLA LANDSCAPE STANDARD, LATEST
- 2. AREA OF SEARCH FOR PLANT MATERIAL: PACIFIC NORTHWEST, INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON, FURTHER SEARCH TO BE TAKEN IF NECESSARY;
- 3. REFER TO SPECIFICATION FOR GENERAL CONDITIONS, MATERIALS AND INSTALLATION REQUIREMENTS;
- 4. CONFIRM TREE PLANTING LOCATIONS, AND PLANTING LAYOUT WITH LANDSCAPE ARCHITECT ON SITE:
- 6. NO SUBSTITUTIONS OF ANY PLANT MATERIAL WILL BE APPROVED WITHOUT SUBMITTAL REVIEW AND APPROVAL BY THE 6. FOR STREET TREES: FINAL SPACING, QUANTITY, AND TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER
- FOR STREET TREES: FIRML SPACING, QUARTITY, AND TREES PECKES OF THE INTERPLET OF THE PERCENT WARRING TO THE SHIPPE, AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE SUARDS AND APPROPRIATE SOIL. PLANTING DEPTH OF ROOTBALL MUST BE BELOW SIDEWALK GRADE, CALL CITY OF DELTA STREET TREES DIVISION, FOR INSPECTION AFTER TREE PLANTING COMPLETION;
- 7. CONTRACTOR TO PEVIEW AND ABIDE BY CURRENT REGULATIONS OF JAPANESE BEETLE INFESTATION THAT AFFECTS

MOVEMENT AND OR TRANSPORTATION OF MATERIAL TO AND FROM THE SITE. REFER TO CURRENT CANADIAN FOOD INSPECTION AGENCY REGULATIONS

- 8. PROVIDE DESIGN BUILD IRRIGATION FOR ALL PLANTER AREAS ONSITE IN COMPLIANCE WITH PROJECT SPECIFICATION. STUBOUT LOCATIONS AS PER MECHANICAL.
- 9. PROVIDE HIGH EFFICIENCY IRRIGATION FOR ALL PLANTING AREAS.

IRRIGATION PLAN NOTES

- 1. IRRIGATION DESIGN IS SCHEMATIC AND FOR INFORMATION ONLY, PLANS ARE NOT TO BE CONSTRUCTED FROM.
- 2. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION
- 3. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE A MIN. (5) FIVE YEARS DOCUMENTED EXPERIENCE AND A MEMBER IN GOOD STANDING OF THE HABC (IRRIGATION INDUSTRY ASSOCIATED OF BC). 4, IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS.
- 5. IRRIGATION TO CONFIRM TO ALL HABC STANDARD.
- 6. IRRIGATION TO CONFORM TO ALL CITY OF ENGINEERING DEPARTMENT SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS SCHEDULE H (REFER TO DETAILS IR-C-1 THROUGH 5 AND IR-S-1 THROUGH 3.
- 8. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION, INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, HEAD LAYOUT, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS, VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS ARE TO BE APPROVED PRIOR TO INSTALL.
- 9. CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
- 10. HIGH EFFICIENCY IRRIGATION TECHNOLOGY IS TO BE USED.
- 11. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIPED WITH
- 12. PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED. 13. PROVIDE AS-BUILT RECORD DPAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING AND
- 14. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT THE WARRANTY PERIOD, WINTERIZATION AS PEQUIRED.
- 15. PROVIDE (3) THPEE COPIES OF INSTRUCTION MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND
- CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.

 16. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF THE SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS, USE OPERATION AND MAINTENANCE MANUAL AS BASIS FOR DEMONSTRATION.

LIGHTING PLAN NOTES

- 1. REFER TO ELECTRICAL DRAWINGS FOR MORE DETAILS;
- 2. CONFIRM ALL LIGHT LOCATIONS ONSITE WITH LANDSCAPE ARCHITECT:
- 3, DO NOT SUBSTITUTE LIGHT FIXTURE TYPES WITHOUT PRIOR APPROVAL BY LANDSCAPE ARCHITECT.

SECTION AND ELEVATION NOTES

1 SECTIONS/ELEVATIONS ARE SCHEMATIC AND FOR REFERENCE ONLY; REFER TO PLANS AND DETAILS.

DETAIL NOTES

METAL TYP,

- 1. PROVIDE ENGINEERED SHOP DRAWINGS FOR CUSTOM METAL DETAILS INCLUDING HANDRALS, FENCES, AND GUARDRAILS, AND ALL REQUIRED CONNECTIONS, SIGNED AND SEALED BY STRUCTURAL ENGINEER REGISTERED IN PROVINCE OF PRITISH COLUMPIA-
- 2. PROVIDE ENGINEERED SHOP DRAWINGS FOR METAL CLADDING WALLS, AND ALL REQUIRED CONNECTIONS, SIGNED AND SEALED BY STRUCTURAL ENGINEER REGISTERED IN:
- 3. ALL STEEL HOT-DIPPED GALVANIZED HARDWARE, INCLUDING ROD CLIPS, THREADED RODS, BOLTS AND NUTS.

WOOD TYP.

- 1. WOOD TIMBERS: TIGHT-KNOT RED OR YELLOW CEDAR OR EQUIVALENT PLANED FOR SMOOTH FINISH, SLIGHTLY EASED EDGES, FINISH WITH 'ECO-WOOD' WOOD TREATMENT OR EQUIVALENT
- 2. PROVIDE CLOSED WOOD PLUGS AT ALL ROD ASSEMBLY CONNECTIONS.

I ANDSCAPE ARCHITECTURE ABBREVIATIONS

LANDSCA	TE ARCHITECTURE ADDREVIATIONS	IAIL
		MISC
AD	AREA DRAIN	NIC
В	BOLLARD	NTS
BC	BOTTOM OF CURB ELEVATION	OAE
BCH	BOTTOM OF CHANNEL	OC
BG	BUILDING GRADE	OD
BS	BOTTOM OF STEP/ STAIR ELEVATION	PA
BIV	BOTTOM OF WALL ELEVATION	PD
ÇB	CATCH BASIN	PSI
CIP	CAST IN PLACE	QTY
CIV	CIVIL	R
CJ	CONTROL JOINT	RAD
CL	CENTRE LINE	REQ
CONC	CONCRETE	ROW
CoR	CITY OF RICHMOND	SB
DEG (°)	DEGREE	SIM
DET	DETAIL	SPEC
DIA (D)	DIAMETER	sq
DIM	DIMENSION	SS
DWG	DRAWING	STA PT
EJ	EXPANSION JOINT	STD
ELEC	ELECTRICAL	TB
ELEV	ELEVATION	TC
ENG	ENGINEER/ ENGINEERING	TEMP
EO	EDITAL	THIS

TOP OF SLAB TOP OF STEP/ STAIR ELEVATION TOP OF WALL ELEVATION WITHOUT

MIRROR

NOT TO SCALE

ON CENTRE OUTSIDE DIAMETER PLANTING AREA PLANTER DRAIN

CUANTITY

SETBACK

SIMILAR

STANDARD TOP OF BENCH ELEVATION TOP OF CURB ELEVATION TEMPORARY

RADIUS REQUIRED RIGHT OF WAY

SPECIFICATIONS

SQUARES STAINLESS STEEL STATION POINT

TREE MANAGEMENT PLAN

OR APPROVED EQUAL

POUNDS PER SQUARE

WATERPRODEING

LANDSCAPE ARCHITECTURE SYMBOLS

EXISTING
FINISH FLOOR ELEVATION
FINISH GRADE
FINISH

GALVANIZED

HIGH POINT SWALE

INTERPOLATED

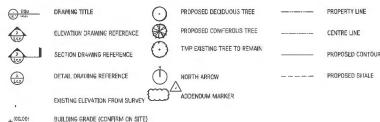
LIMIT OF WORK

MINIMUM

JOINT LOW POINT SWALE

HIGH POINT

LPS LOW MAX MIN



BUILDING GRADE (CONFIRM ON SITE)

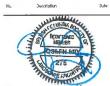
PROPOSED SECTION ELEVATION

PROPOSED PLAN ELEVATION

0.0% SLOPE DP PLAN# 53 July 18, 2023 DP 22-017484

Revised as per ADP Comments APR 27/2023 Re-issued for DP MAR 08/2023 Issued for DP JULY 08/2022

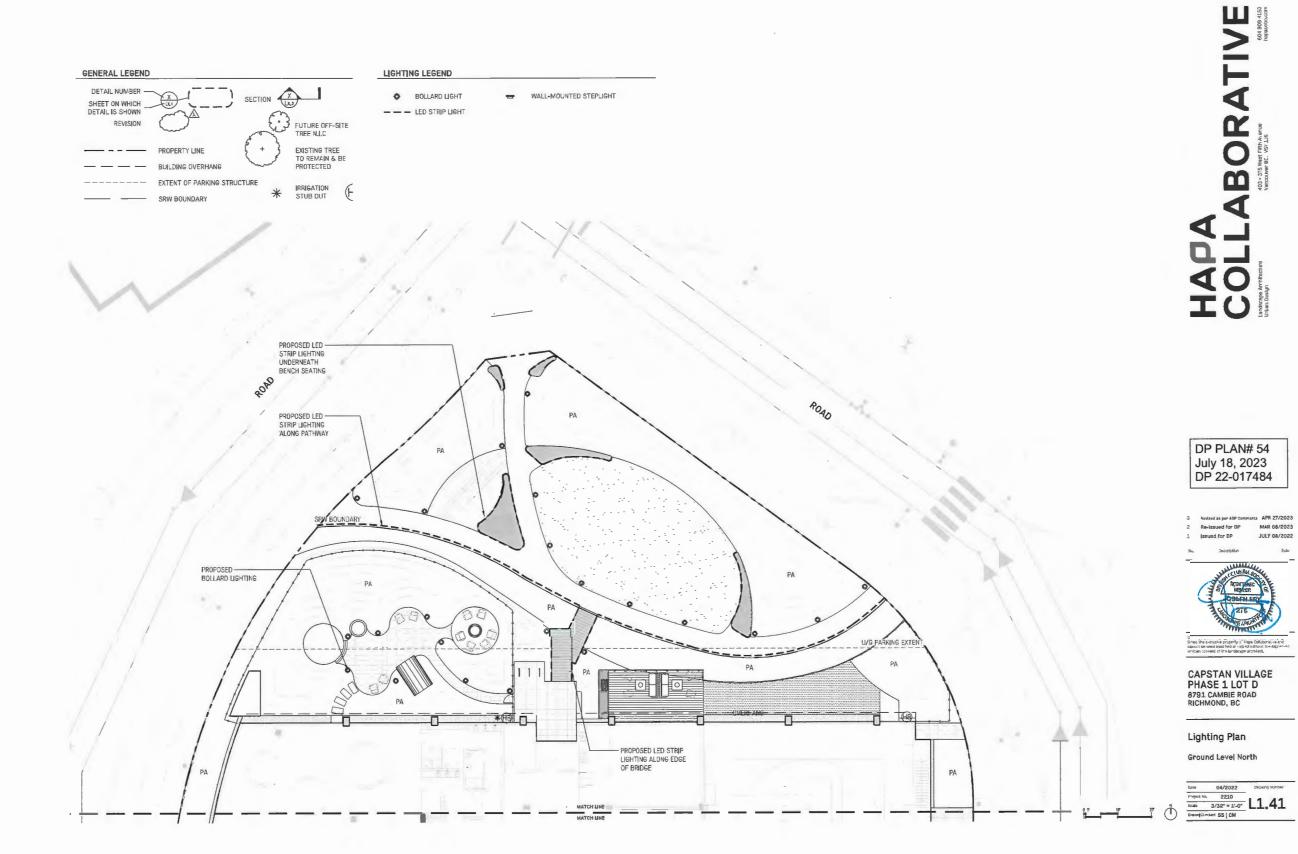
Description

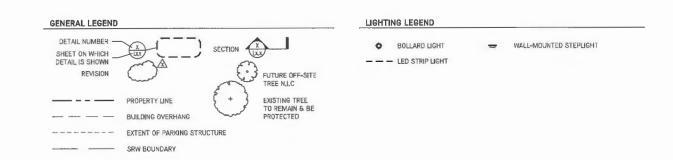


CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC

General Notes

Date	04/2022	Drawing Number
Project Ho,	2210	14.00
Scale		LT.UU

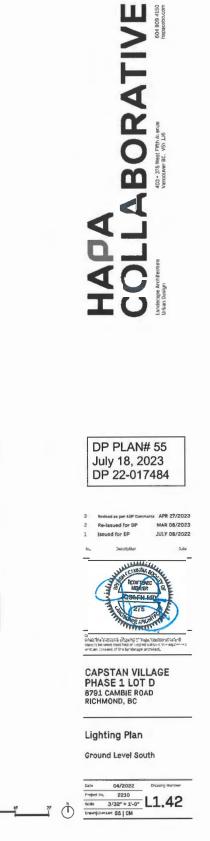




SRW BOUNDARY

PROPOSED -

WALL-MOUNTED STEPLIGHT



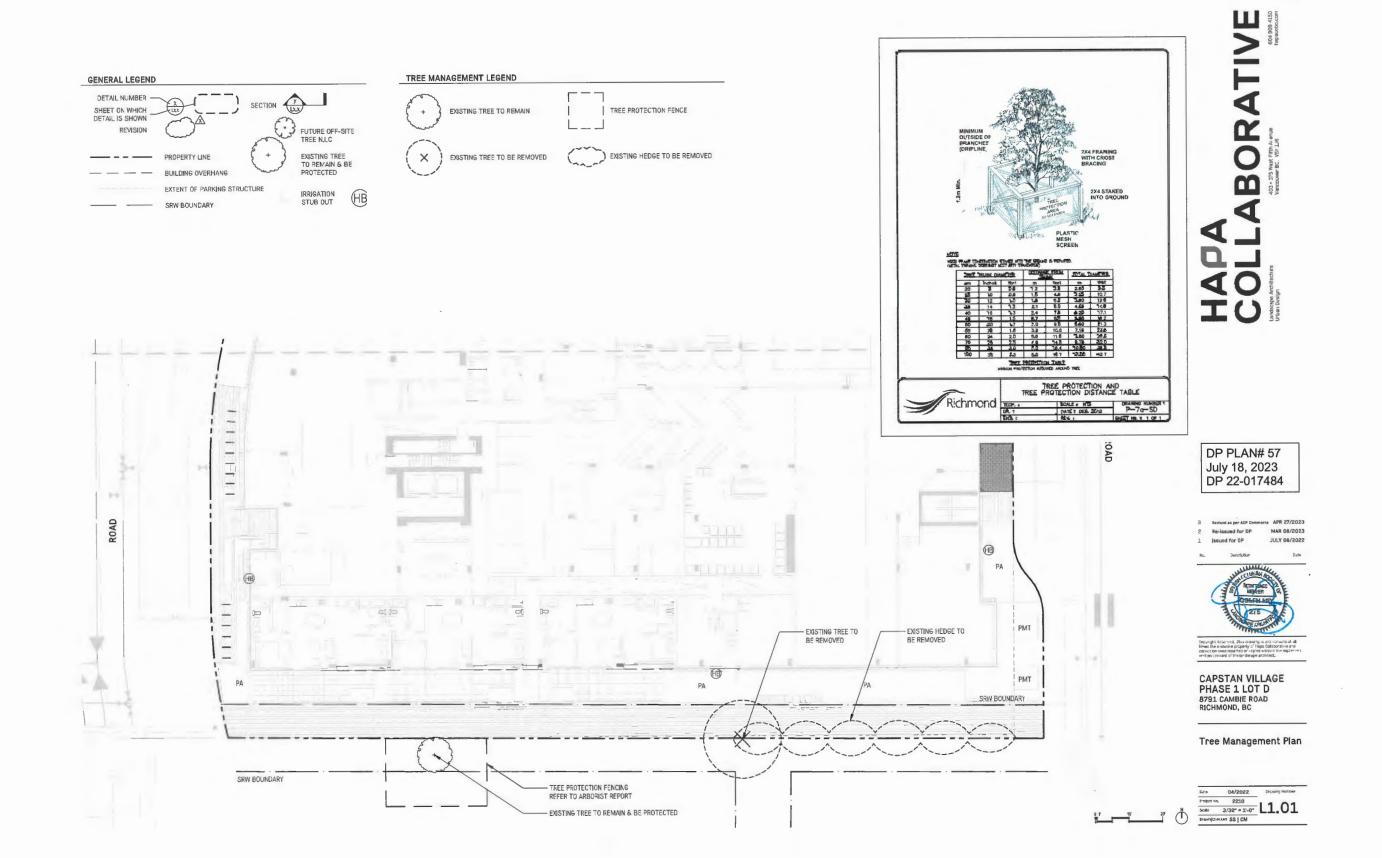
PMT

PMT

PROPOSED LED STRIP -

LIGHTING UNDER BENCH

LIGHTING LEGEND **GENERAL LEGEND** SECTION X WALL-MOUNTED STEPLIGHT ----- CATENARY LIGHT SHEET ON WHICH _____ - - - LED STRIP LIGHT REVISION A - BUILDING OVERHANG * IRRIGATION STUB OUT HB HOSE BIB SRW BOUNDARY PROPOSED LED — STRIP LIGHTING UNDERNEATH DECK SEATING D DP PLAN# 56 PROPOSED — RECESSED LIGHTING IN PLANTERS July 18, 2023 DP 22-017484 PROPOSED -CATENARY LIGHTING CAPSTAN VILLAGE PHASE 1 LOT D 8791 CAMBIE ROAD RICHMOND, BC Lighting Plan Level 13. Roof top Amenity SRW BOUNDARY









-	ISSUE	S	
	No,	DESCRIPTION	DATE
	4	DP SJEVISSION	2022-07-07
	2	DP RE-SUBMISSION	2023-03-06
4	3	DP RE-SUBMISSION	2023-04-28
8	4	OP RE-SUBMISSION	2023-05-18

Reference Plan July 18, 2023 DP 22-017484



Talistar D at Talisman Park

PROJECT NO: 137723	
DRAWN BY: User	CHECKED BY:
PROJECT MGR:	APPROVED BY:

SHEET TITLE
View from Ketcheson Road





No.	DESCRIPTION	DAT
	DP SUBMISSION	2023-0
2	DP RE-SUBMISSION	2073-0
3	DP RE-SUBMISSION	2023-0
4	DP RE-SUBMISSION	2023-0

Reference Plan July 18, 2023 DP 22-017484





View of Cul De Sac in East Road



View of Amenity near East Road



No,	DESCRIPTION	DATE
1	DP SUBMISSION	2023-07-
2	DP RE-SUBMISSION	7073-03-
3	DP RE-SUBMISSION	2023-04-
4	DP RE-SUBMISSION	2023-05-

Reference Plan July 18, 2023 DP 22-017484



OJECT
Talistar D at Talisman Park

CHECKED BY
APPROVED BY:

SHEET TITLE
View from Cul De Sac on East
Road



POLYGON
1333 W Broadway #900, Vancouver, BC
V8H 4C2

COPYRIGHT

This common bits tree propered subjet for the immediations may any management of the property of the common of the

B) Group Architects (Canada) Inc

No,	DESCRIPTION	DATE
1	OP SUBVISSION	2022-07-0
2	DP RE-SUBMISSION	2023-03-0
3	DP RE-SUBMISSION	2023-04-2
4	DP RE-SUBMISSION	2023-05-1

T FOR CONSTRUCT

CONSULTANTS

Reference Plan July 18, 2023 DP 22-017484

SEAL



IBI O ARC

лест Talistar D at Talisman Park

91 Cambie Road, Richmond, B.C.

PROJECT NO 137723	
DRAWN BY: User	CHECKED BY
PROJECT MGR:	APPROVED BY:

View of Entranceways

A0.26

View of Condo Lobby Entranceway



View of Townhouse Entranceway

REZONING INTRODUCTION

The Talistar-D project follows the significant master plan rezoning of 13.5 acres of land in Richmond, BC. The master plan block is bounded by Capstan Way, Sexsmith Road, Garden City Road, and Cambie Road. Southwest to the master plan site is the home to the Richmond United Church, a daycare, and several private residences. Talisman-8 falls into one of the sub-divisions of the master planning overall site.

INTRODUCTION

The project is prominently located in Capstan Village, a new transit-oriented urban village on the north side of Richmond's City Centre. The entire site can be reached within a 5 to 10-minute walk of the forthcoming Capstan Canada Line

Talistar D's design has been informed by the Official Community Plan guidelines while also providing a visually pleasing and iconic heart to this master planned community. Through the provision of significant outdoor public and private space; and a common shared amenity building, this phase of the project seeks to a place not only to live but to ARCHITECTUAL DESIGN CONCEPT interact and thrive.

URBAN DESIGN CONCEPT

Talistar Dilies at the heart of this master planned development. The site has been bisected into two; half dedicated to outdoor park and nature and the other a zone for new homes. The two storey amenity at the base will provide an active edge along the east, north and west sides; while ground oriented units flank the new east-west pedestrian path.

MARCH 2023



The Project consists of a two-level podium composed of lobby, amenity and ground oriented units; with a 14 storey residential building above that steps to 12 storeys on its eastern side. The building massing is broken up with a series of balcony strips; and additional pulses of height in the form of roof top canopies, adding further variety to its skyline. The project finds inspiration in the Sloughs and marshes of Richmond. Colored screens and lighting have been implemented on key facades, which echo the form and tones of the riparian environment that surrounds it.

The project complies with the City of Richmond's allowable height requirement of 47m (geodetic) and will enhance the overall skyline of the Capstan Village area









Design Rationale - Building Colour and Materials

The building will be clad in charcoal gray aluminum mullions with a mix of clear and spandrel glazing. A light gray traffic coating will be applied to the top and sides of the balconies and a white paint will be applied to the underside. Vertical fins are provided on the west facade to mitigate solar impacts. These will be vertical slat screens of various widths with colour tones Indicative of a marsh. Lighting is intended to reinforce the marsh theme and activate the building at night to create a landmark building for the Talisman development when viewed from the north and east ends of the street. Along north and east facing balconies, the LED strips will be recessed within a pre-finished metal vertical panel to minimize the impact of light. The lights will be programmed to turn on at dusk, dim to 50% after 10pm, and turn off at midnight. White brick is used in the ground-oriented units.







IBI Group Archi

Reference Plan July 18, 2023 DP 22-017484



Talistar D at Talisman Park

ROJECT MGR APPROVED BY:

Design Rationale

SHEET NUMBER A0.06

TALISMAN D DP APPLICATION

Design Rationale - Sustainable Strategies

The project will conform to the BCBC's Step Code Level 2 and LEED Silver equivalency. The project will provide considerations to the City of Richmond Sustainability Guidelines such as: the use of recycled materials. application of passive heating and cooling techniques, alternative energy sources, etc.

a) Sustainable Site

This development will also contribute to the reduction of the City's carbon footprint by having housing within walking distance of shops and services, and access to various transit options via the various bus routes. On account of the proximity to transit, the development will provide charging receptacles for electric vehicles and electric bikes to further promote car-free transportation Secured bicycle storage and Bike share racks will be provided in strategic locations.

stormwater management plan, on the other hand will be developed to treat stormwater runoff from the average annual rainfall using best management practices.

b) Water Conservation

The project will seek to achieve an overall reduction in water use by a minimum of 40% by efficient plumbing fixtures like ultra low-flow toilets and urinals, waterless urinals, low-flow and sensored sinks, low-flow showerheads, and water-efficient dishwashers and washing machines. Outdoor water conservation strategies will include water efficient landscaping by specifying drought tolerant landscaping, less impervious surfaces planting and an efficient irrigation system. Water recycling or reuse measures will also be considered.

The project highly considers the reduction of overall energy loads by means of a high-performance building envelope and energy efficient HVAC&R, domestic hot water and lighting systems. Energy efficiency considerations include heat recovery ventilator units for residential suites; low energy/low mercury content lighting, efficient building envelope, and low-e glazing IGU's.

d) Materials and Resources

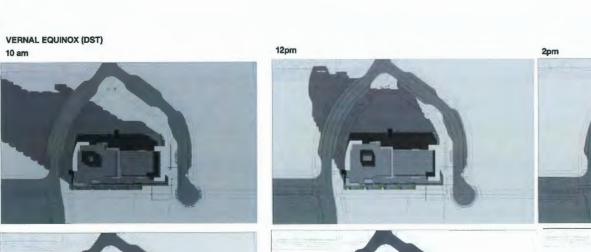
Durability, functionality, aesthetics and low environmental footprint will be key factors to consider in the selection of materials.

Priority will be placed on Environmentally preferable products and Waste Management strategies.

Garbage and recycling operation will be addressed by a combination of garbage compaction and loading on Parking P1 level. The residents and commercial tenants will be provided with dedicated areas for storage of materials, recycling and collection of paper, cardboard, glass, plastics, metals, and compostables. These are strategically located at the P1 level (proximate to the elevator lobbles) and a support facility at the North-end

An indoor air quality management plan will be implemented during construction in order to protect the systems and prevent build-up of contaminants. Low-emitting materials that offer low or no toxic off-gassing will be of utmost importance, most especially in the selection of paints and coatings, adhesives and sealants, carpet systems and flooring, and composite wood.

On the administrative side of things, smoking will be prohibited in all common areas. However, should this be allowed inside the suites, air leakage test between suites will be conducted prior to occupancy to avoid passage of smoke and odours from the suites. Indoor chemical and pollutant source control systems will be installed prior to occupancy, such as entryway systems, filtration media and similar exhaust for pollutant sources such as garages, and housekeeping and laundry areas.



12pm





10 am SUMMER SOLSTICE DST





ISSUES ·			
No,	DESCRIPTION	DAT	
1	DP SUBVISSION	2022-0	
2	DP RE-SUBMISSION	2023-0	
3	DP RE-SUBMISSION	2023-0	
4	DP RE-SUBMISSION	2023-0	

Reference Plan July 18, 2023 DP 22-017484



Talistar D at Talisman Park

8791 Cambie Road, Richmond, B.C. APPROVED BY:

Shadow Study



Report to Development Permit Panel

To: Development Permit Panel

July 31, 2023 Date:

From: Wayne Craig File: DP 22-027199

Director, Development

Application by Farrell Estates Ltd. for a Development Permit at 20455 Dyke Road, Re:

7500 No. 9 Road and a portion of PID 031-553-231

Staff Recommendation

That a Development Permit be issued which would permit the construction of a light industrial building at 20455 Dyke Road, 7500 No. 9 Road and a portion of PID 031-553-231 on a site zoned "Industrial Business Park and Marina (ZI20) - Graybar Road (East Richmond)", abutting the edge of the Agricultural Land Reserve (ALR).

1. F

Wayne Craig Director, Development (604-247-4625)

WC:sds Att. 4

Staff Report

Origin

Farrell Estates Ltd. has applied to the City of Richmond for permission to develop a light industrial building at 20455 Dyke Road, 7500 No. 9 Road and a portion of PID 031-553-231 on a site zoned "Industrial Business Park and Marina (ZI20) – Graybar Road (East Richmond)", abutting the edge of the Agricultural Land Reserve (ALR). The site currently contains a marina/boat yard and associated buildings, structures and parking.

The subject site is part of a phased industrial development, including 6831 Graybar Road, 20455 Dyke Road, 20911 Dyke Road, 7500 No. 9 Road, PID 031-553-231 and a portion of Graybar Road, which is being rezoned from the "Industrial and Marina (ZI17) – Graybar Road (East Richmond)", "Industrial Business Park (IB1)", and "Light Industrial (IL)" zones to the "Industrial Business Park and Marina (ZI20) – Graybar Road (East Richmond)" zone under Bylaw 10336 (RZ 21-928623), which received third reading on July 18, 2022. The applicant proposes to consolidate the site into two lots and construct a multi-phase (5 phases) light industrial development consisting of two buildings (Phase 1 and 2) and three additional buildings in undetermined future phases (Phase 3-5) (Attachment 1).

The subject Development Permit application only applies to Phase 2, as it abuts the edge of the Agricultural Land Reserve (ALR). As per the City's Official Community Plan (OCP) Development Permit (DP) Guidelines, all significant new development abutting the ALR (with no intervening road) requires a Development Permit to address the urban/rural interface by adequate setbacks, screening and landscaping. If the subject site did not have direct ALR adjacency, a Development Permit application would not be required.

A Servicing Agreement is required as a condition of rezoning approval and includes, but is not limited to, new sidewalk and landscaped boulevard along the site's road frontages and site servicing upgrades.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: an active farm operation on a property at 20500 Westminster Highway zoned

"Agriculture (AG1)" and located in the Agricultural Land Reserve (ALR);

To the east: Phase 1 of the subject site's phased industrial development (see Attachment 1 for

phasing plan), including the development of a new light industrial building;

To the south: Phases 3-5 of the subject site's phased development, Dyke Road and the south

arm of the Fraser River, including a boat yard associated with the subject site; and

To the west: an active rail right-of-way and properties zoned "Agriculture (AG1)" and "Light

Industrial (IL)", including properties owned by Lafarge Canada Inc.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on July 18, 2022. At the Public Hearing, concerns expressed about rezoning the property were primarily related to tree removal and retention. As required by the associated rezoning application, 46 replacement trees are required to be planted as part of Phase 2. Staff worked with the applicant to increase the number of replacement trees to 99 trees as part of the subject Agricultural Land Reserve (ALR) Development Permit application.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the issues and other staff comments identified as part of the review of the subject Agricultural Land Reserve (ALR) Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Industrial Business Park and Marina (ZI20) – Graybar Road (East Richmond)" zone (no variances are proposed).

Food Security and Agricultural Advisory Committee Comments

The Food Security and Agricultural Advisory Committee (FSAAC) reviewed and supported the subject Agricultural Land Reserve (ALR) Development Permit application at its meeting held on June 29, 2023. An excerpt from the June 29, 2023 FSAAC meeting minutes is provided in Attachment 3.

Analysis

Background

The subject site is not located in the Agricultural Land Reserve (ALR), but has direct adjacency to the ALR boundary (with no intervening road). As per the City's Official Community Plan (OCP) Development Permit (DP) Guidelines, all significant new development abutting to the edge of the ALR is required to submit an ALR DP application to address the urban/rural interface by adequate setbacks, screening and landscaping. The focus of staff's review is the proposed landscape buffer between the subject site and the adjacent ALR property.

Proposal

Although the associated rezoning application is for the larger phased light industrial development, only Phase 2, involving 20455 Dyke Road, 7500 No 9 Road and a portion of PID 031-553-231, has direct adjacency with the ALR boundary and is subject to the ALR Development Permit process. The remaining phases of the development do not require an ALR DP.

The proposal for Phase 2 includes consolidation of the subject lots and construction of a two-storey 22-unit multi-tenant industrial building with approximately 8,044 m² (86,586 ft²) of floor area. Phase 2 also includes vehicle/bicycle parking and loading, and outdoor amenities (picnic tables and benches). The proposed building design and sustainability features for Phase 2 are consistent with what was presented as part of the associated rezoning application for the overall multi-phase development and were secured as part of the rezoning, including:

- a minimum of 12 EV charging stations to be provided for each building (60 stations in total across all five phases);
- rooftop solar photovoltaic panels capable of powering all landlord/common area electrical needs, including exterior lighting and lighting in mechanical and service areas;
- pre-ducting/conduit rough-in within each unit for future rooftop solar photovoltaic infrastructure as an alternative energy source for individual tenants; and
- buildings are proposed to be constructed to achieve a minimum 10 per cent better energy efficiency than the base building code requirement.

As part of the associated rezoning application, the applicant is required to register a legal agreement on Title to ensure that development of the subject site proceeds in accordance with the above commitments.

The proposal for Phase 2 also includes a 5 m wide landscape buffer on-site along the adjacency with the ALR boundary (north property line) to address the urban/rural interface. The applicant is proposing to plant 99 replacement trees as part of Phase 2, including 75 trees within the ALR landscape buffer and a variety of shrubs and groundcover. An additional 24 trees are being provided throughout the Phase 2 site, outside of the ALR landscape buffer. As per the OCP DP Guidelines, an ALR landscape buffer is required to be provided, consistent with the following:

- The landscape buffer should have an appropriate width and located between the development and the agricultural land;
 - The proposed landscape buffer is 5.0 m wide and located between the light industrial building and the adjacent agricultural property. This is consistent with what was proposed through the associated rezoning application. The landscape buffer includes secondary exit stairs and a 1.5 m wide pathway as per BC Building Code requirements. Permeable material (gravel) is proposed for the pathway to provide permeability and limit runoff.
- The landscape buffer should be designed, established and maintained in accordance with the Ministry of Agriculture's Guide to Edge Planning; and
 - The proposed landscape buffer is generally consistent with the Ministry of Agriculture's Guide to Edge Planning, including:
 - o low-maintenance and drought-tolerant plants, and no invasive species;
 - selection of tree and shrub species which will not harbour insects or diseases harmful to nearby farm crops; and
 - selection of tree and shrub species that will filter dust and spray drift from the agricultural area.
- The design of the development should protect the landscape buffer from potential impacts related to on-site activities (e.g. drainage).

The proposed landscape buffer will match the existing grade of the adjacent ALR property and will not introduce any outward drainage flow from the subject site to the adjacent ALR property. The landscape buffer will also consist of permeable soft landscaping and free drainage material (gravel) to account for precipitation landing directly on the buffer area.

All runoff flows from the building and paved areas are graded to directly feed into the proposed onsite drainage system located under the drive aisle along the south side of the building (i.e. no additional drainage flows directed to the landscape buffer or adjacent ALR property).

The proposed landscape buffer will also provide screening of the light industrial building and a six-foot-high chain link fence along the property line to contain the proposed vegetation and on-site activities, consistent with the Ministry of Agriculture's Guide to Edge Planning. The proposed fence extends around Phase 2 in order to secure the site, along with wall-mounted lighting on the building to provide consistent outdoor security illumination, including the landscape buffer area.

In addition, the applicant reviewed the proposed landscape buffer with the neighbouring farm operator at 20500 Westminster Highway (Maybog Farms Ltd.). The farm operator requested that only conifer species be planted in order to avoid impacts from fallen leaves on the adjacent reservoir located on the farm property. The proposed landscape buffer was revised to accommodate the farm operator's request and includes only conifer plantings.

The purpose of the ALR buffer is also to achieve public safety and minimize agricultural-urban land use conflicts and complaints. As part of the associated rezoning application, the applicant is required to register a legal agreement on Title to identify the ALR buffer zone, ensure that landscaping is not removed, and address public awareness for future tenants of the potential impacts of agricultural activities such as noise, dust and odour.

In order to ensure the proposed landscaping works are completed, the applicant is also required to submit a landscape security of \$128,472 prior to issuance of the Development Permit.

Conclusions

Farrell Estates Ltd. has applied to the City of Richmond for permission to develop a light industrial building at 20455 Dyke Road, 7500 No. 9 Road and a portion of PID 031-553-231 on a site zoned "Industrial Business Park and Marina (ZI20) – Graybar Road (East Richmond)", abutting the edge of the Agricultural Land Reserve (ALR).

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 4, which has been agreed to by the applicant (signed concurrence on file).

Steven De Sousa Planner 3 (604-204-8529)

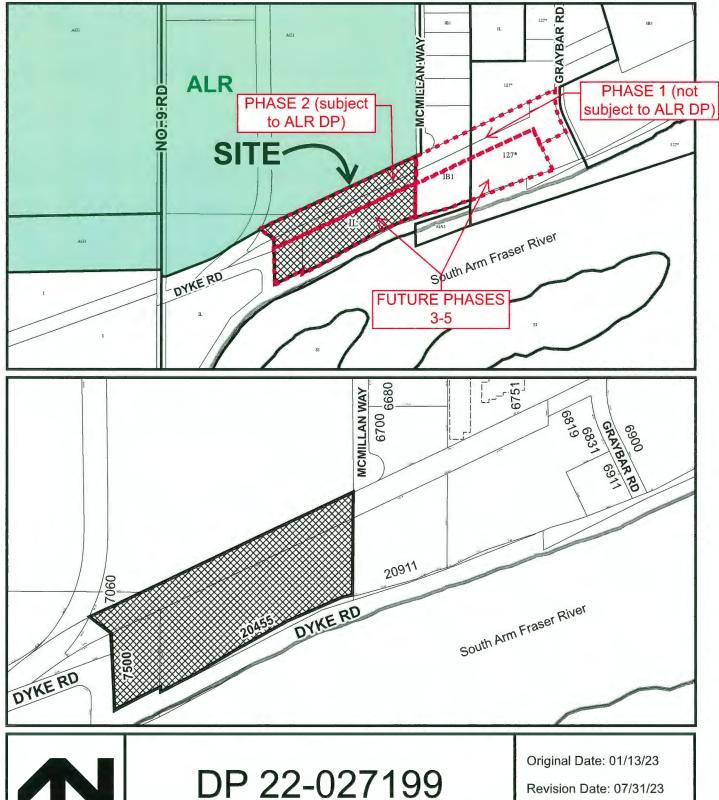
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Att.

- Location Map/Phasing Plan
 Development Application Data Sheet
- 3. Excerpt from the June 29, 2023 FSAAC Meeting Minutes
- 4. Development Permit Considerations

Note: Dimensions are in METRES







Development Application Data Sheet

Development Applications Department

DP 22-027199 Attachment 2

Address: 20455 Dyke Road, 7500 No. 9 Road, and a portion of PID 031-553-231

Applicant: Farrell Estates Ltd. Owner: Farrell Estates Ltd.

Planning Area(s): East Richmond

	Existing	Proposed
Site Area:	10.6 ac (4.3 ha)	No change
Land Uses:	Boat yard and marina	Light industrial, boat yard, and marina
OCP Designation:	Industrial (IND)	No change
Zoning:	Light Industrial (IL)	Industrial Business Park and Marina (Zl20) – Graybar Road (East Richmond)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.0 FAR	0.19 8,044 m² (86,586 ft²)	None Permitted
Lot Coverage – Buildings:	Max. 75%	15%	None
Setback – North (abutting the ALR):	Min. 5.0 m	5.0 m	None
Setback – Interior Side Yard (East & West):	N/A	Complies	None
Setback – Rear Yard (South):	N/A	Complies	None
Height (m):	Max. 16.0 m	10.2 m	None
Lot Size:	N/A	10.6 ac (4.3 ha)	None
Off-street Parking Spaces:	Min. 62	168	None
Off-street Parking Spaces – Accessible:	2	3	None
Bicycle Parking Spaces – Class 1:	22	22	None
Bicycle Parking Spaces – Class 2:	22	29	None

Excerpt from the Meeting Minutes of the Food Security and Agricultural Advisory Committee (FSAAC)

Thursday, June 29, 2023 – 7:00 p.m. Webex

ALR Development Permit - 20455 Dyke Road, 7500 No. 9 Road, and a portion of PID 031 553-231

Steven De Sousa, Planner 2, Policy Planning, introduced the ALR Development Permit application and provided the following comments:

- The subject property has a direct adjacency with the ALR, which triggers the
 requirement to submit an ALR DP and provide a landscape buffer to address the
 urban/rural interface;
- The Committee's role in reviewing this type of application is to review the proposed landscape buffer from an agricultural perspective;
- The purpose of the application is to develop a 22-unit multi-tenant industrial building as part of Phase 2 of the subject site's redevelopment;
- The proposal includes a 5 m wide landscape buffer along the ALR boundary, generally consistent with the Ministry of Agriculture's Guide to Edge Planning;
- The proposed landscape buffer was reviewed with the neighbouring farm operator and was revised to accommodate the farm operator's comments; and
- No additional drainage flows will be directed to the adjacent ALR property.

The applicant provided the following additional comments:

- The proposed siting of the building provides a wall along the ALR boundary and screening of parking and light industrial activity area;
- All access will be from McMillan Way;
- The proposed landscape buffer is consistent with the Ministry of Agriculture's Guide to Edge Planning and the neighbouring farm operator was consulted in the development of the plan;
- Plantings within the BC Hydro Right-of-Way (ROW) will comply with BC Hydro requirements; and
- A six foot high chain link fence is proposed along the ALR boundary to provide separation between the uses.

In response to questions from the Committee, the applicant provided the following additional comments:

• Future tenants will be advised that the property is adjacent to the ALR and associated

farm activities;

- The buildings are located along the north property line, front loaded, and facing south, providing separation between the light industrial uses and the neighbouring farm;
- Potential shading of proposed trees would be limited to only the reservoir portion of the adjacent farm; and
- No deciduous trees are proposed as per the farm operator's request to avoid impacts to the adjacent reservoir from fallen leaves.

The Committee appreciated the applicant consulting the neighbouring farm operator and accommodating their concerns into the proposal.

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee support the ALR Development Permit at 20455 Dyke Road, 7500 No. 9 Road, and a portion of PID 031-553-231 (DP 22-027199).

Carried Unanimously



Development Permit Considerations

Development Applications Department 6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 20455 Dyke Road, 7500 No. 9 Road, and a portion of PID 031-553-231 File No.: DP 22-027199

Prior to forwarding the application to Council for approval, the developer is required to complete the following:

- 1. Final Adoption of Zoning Amendment Bylaw 10336.
- 2. Receipt of a Letter-of-Credit for landscaping in the amount of \$128,472. The letter-of-credit will not be returned until the Letter of Assurance, confirming the landscaping is installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff. Up to 90% of the Landscape Security will be refunded after a Landscape Inspection, with the remainder held for up to one year to ensure the agreed upon landscaping survives.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
 - All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
 - The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy in file]	
Signed	Date



Development Permit

No. DP 22-027199

To the Holder: Farrell Estates Ltd.

Property Address: 20455 Dyke Road, 7500 No. 9 Road, and a portion of

PID 031-553-231

Address: Unit 200 - 6911 Graybar Road, Richmond BC, V6W 1H3

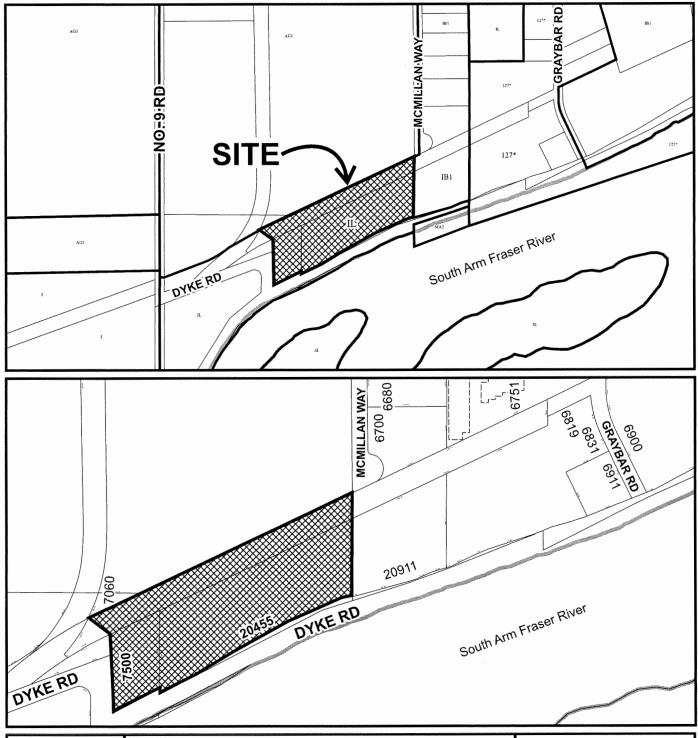
1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.

- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 attached hereto.
- 4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$128,472 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit No. DP 22-027199

To the Holder:	Farrell Estates Ltd.					
Property Address:	20455 Dyke Road, 7500 No. 9 Road, and a portion of PID 031-553-231					
Address:	Unit 200 - 6911 Graybar Road, Richmond BC, V6W 1H3					
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AUTHORIZING RESOLUT DAY OF ,	ION NO. ISSUED BY THE COUNCIL THE					
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MAYOR						





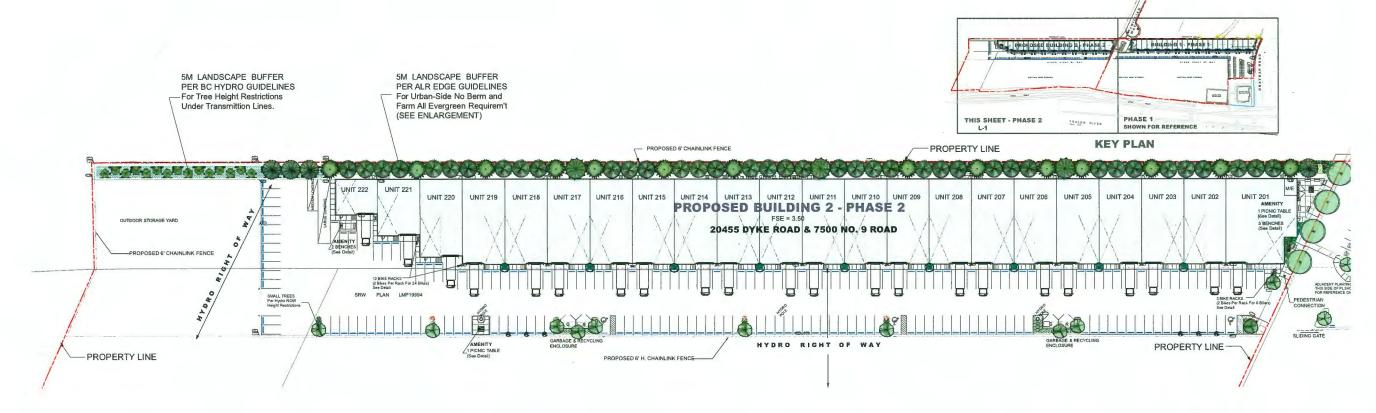


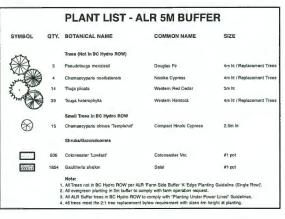
DP 22-027199 SCHEDULE "A"

Original Date: 01/13/23

Revision Date: 07/31/23

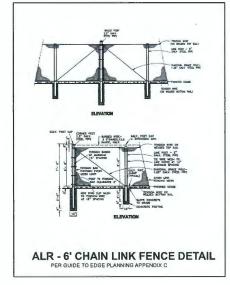
Note: Dimensions are in METRES



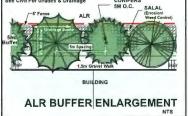


QTY. BOTANICAL NAM

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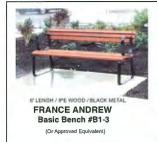














							(Or Approved Equivalent)	Or Approved Equ
PLANT LIST -	ON SITE		1					
QTY. BOTANICAL NAME	COMMON NAME	SIZE	Strrubs Continued					DD 0
			1 Lonicera pileata	Evergreen Honeysuckle	#3 pol			DP 2
Trees			4 Pieris japonica 'Forest Flame'	Japanese Andromeda	#3 pot			
11 Hibiscus syricus note: size subject to availability	Hardy Hibiscus	2.5m ht. / s-stem	76 Carex morrowii 'Aureo-variegata'	Variegated Japanese Sedge	#1 pol			
4 Fraxinus americana 'Autumn Purp! alt: Liquidambar s. 'Worpledon'	le' Ash Var.	6cm cal, / 1.8m stnd.	45 Liriope muscari 'Big Blue'	Blue Lily-turl	#1 pot			La de c
9 Acer palmatum 'Butterfly'	Japanese Maple Var.	2.5m ht / stind.	O at 0 Personal Impact of col	Level Mes	#21			Julv

99 #1







	SHEET TITLE:	ISSUES: #1- MAR 31'22 ISSTO FOR REZ SURIM	DRAWN. AT
	LANDSCAPE PLAN - BUILDING 2	W2- MAY 09'22 REISS'D FOR REZ SUBM (add't 7 trees to Bldg1)	SCALE: 1"=30'-0"
	On Site and ALR Buffer Design	#3- DEC 05'22 ISS'D FOR DP SUBM Review #4- JUN 14'23 Issue for FSAAC Review	DEC 21'20K
1	PROPOSED: SHELTER ISLAND INDUSTRIAL		DRAWING.
	6811 GRAYBAR STREET, RICHMOND, B.C.		OF 1

PROPOSED INDUSTRIAL BUILDING FOR:

SHELTER ISLAND INDUSTRIAL CENTRE 2

20455 DYKE ROAD & 7500 No. 9 ROAD, RICHMOND, B.C.

LOT 24 EXCEPT: FIRSTLY, PARCEL '6' (REFERENCE PLAN 45212) SECONDLY, PARCEL 'H' (REFERENCE PLAN 45212) SECTION 16 BLOCK 4 NORTH RANGE 4
WEST NND PLAN 5025T LOT A SECTIONS 9 AND 16 BLOCK 4 NORTH RANGE 4 MEST NND PLAN LMP 47879 LOT A SECTIONS 9, 16, 17 AND 20 BLOCK 4



ARTIST'S RENDERING - VIEW TO THE NORTHWEST



ARTIST'S RENDERING - VIEW TO THE NORTHEAST



ARTIST'S RENDERING - VIEW TO THE SOUTHWEST



4 CONTEXT PLAN



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DP 22-027199 Reference Plan

July 28, 2023

