



Development Permit Panel Electronic Meeting

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, August 21, 2024
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on June 12, 2024.



1. **DEVELOPMENT PERMIT 21-934620**
(REDMS No. 7701427)

APPLICANT: Zhao XD Architect Ltd.

PROPERTY LOCATION: 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of 25 townhouse units at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road on a site zoned "Medium Density Townhouses (RTM3)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum front yard (north yard) and exterior side yard (east yard) from 6.0 m to 5.5 m; and*
 - (b) *reduce the minimum lot width from 50.0 m to 43.0 m.*



Development Permit Panel – Wednesday, August 21, 2024

ITEM

2. DEVELOPMENT PERMIT 24-011767

(REDMS No. 7651471)

APPLICANT: Canadian Tire Ltd.

PROPERTY LOCATION: 11388 Steveston Highway

Director's Recommendations

That a Development Permit be issued which would permit exterior renovations to the façade of the existing building located at 11388 Steveston Highway on a site zoned "Industrial Community Commercial (ZC6)".



3. DEVELOPMENT PERMIT 24-037979

(REDMS No. 7758844)

APPLICANT: Zeidler Architecture

PROPERTY LOCATION: 6551 No. 3 Road

Director's Recommendations

That a Development Permit be issued which would permit exterior upgrades to the main East and West mall entrance of the existing building at 6551 No. 3 Road on a site zoned "Downtown Commercial (CDT1)".



4. New Business

5. Date of Next Meeting: September 12, 2024

ADJOURNMENT



**Development Permit Panel
Wednesday, June 12, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair
Cecilia Achiam, General Manager, Community Safety
Kirk Taylor, Director, Real Estate Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on May 29, 2024 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 23-023854
(REDMS No. 7681802)

APPLICANT: HNPA Architecture & Planning Inc.

PROPERTY LOCATION: 6071 Azure Road

INTENT OF PERMIT:

1. Permit the construction of a low-rise to mid-rise residential development comprising 330 residential units, including 50 low-end-of-rental (LEMR) units, 110 moderate-income rental units and 170 market rental units at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”; and

Development Permit Panel

Wednesday, June 12, 2024

2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and
 - (b) reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.

Applicant's Comments

Jun Nan, HNPA Architecture and Planning Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the existing rental residential site with 50 townhouse units will be redeveloped into two four-storey apartment buildings and one six-storey apartment building with 330 units consisting of 50 low-end-of-market rental (LEMR) units, 110 moderate-income rental housing units and 170 market rental units;
- 46 percent of the total number of units are family-friendly units or units having two to four bedrooms,
- the building height steps down to provide an appropriate interface with the adjacent single-detached homes;
- the buildings are arranged to surround two major courtyards on podium level with a single-level parking structure below;
- the outdoor amenity spaces provided on the podium level and at the fifth floor of the northeastern building are for the shared use of all residents in the proposed development;
- indoor amenity spaces are provided in each building and most are located to open up visually or physically to the outdoor amenity spaces;
- the total area proposed for indoor and outdoor amenity spaces exceeds the City requirements;
- the use of different materials and colours visually breaks down the building massing and provides identity to each building;
- the podium level central courtyard is accessible from the street;
- all of the units meet Basic Universal Housing (BUH) requirements; and
- the project meets the City's energy efficiency and parking requirements.

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James Whelan, Durante Kreuk Ltd., with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the western courtyard has been designed for active uses while the eastern courtyard has been designed for passive uses, (ii) urban agriculture areas are located in the podium level outdoor amenity area and at the fifth floor level of the northeastern building which also provides opportunities for social gathering and events, (iii) all urban agriculture planters have been designed to be accessible for all users, (iv) grade changes along the three road frontages are addressed through tiered retaining walls and significant planting, (v) a grove of trees along the western edge of the site have been retained, (vi) proposed planting includes native and non-native and deciduous and coniferous species, (vii) open spaces for public use are proposed on ground level, and (viii) a variety of play equipment and elements are proposed for the children's play area to cater to different children's age groups.

Staff Comments

In reply to queries from the Panel, staff noted that (i) there is a Servicing Agreement associated with the project including but not limited to the design and construction of road works including road widening on Westminster Highway and frontage improvements along the three road frontages of the site, traffic calming, utility connections and sanitary sewer upgrades, (ii) the proposed parking complies with the Zoning Bylaw requirements and a package of Transportation Demand Management (TDM) measures is proposed to reduce vehicle ownership in the proposed development, (iii) the subject site is impacted by aircraft noise and the project has been designed to meet the City's aircraft noise interior sound levels and thermal comfort requirements during summer, (iv) the project has been designed to achieve Step 3 of the BC Energy Step Code with a low-carbon energy system and will connect to a City District Energy Utility (DEU) facility for domestic hot water heating when one is available in the area, (v) the rooftop urban agriculture is provided for the shared use of all residents in the proposed development, (vi) a significant number of trees along the west property line of the subject site will be retained and protected to provide a buffer to the single-family homes to west, and (vii) the applicant is required to plant 90 replacement trees to compensate for some existing trees being removed from the site but the applicant is proposing to plant 154 trees.

Panel Discussion

In reply to queries from the Panel, staff confirmed that (i) the Transit Pass Program is part of the proposed TDM measures and is offered to all residents of the development and provides a two-zone monthly bus pass for a period of one year, (ii) the proposed 50 LEMR rental housing units are replacement units for the existing rental housing units on the subject site and existing tenants will be offered the option of renting a replacement LEMR unit in the proposed development, and (iii) the six rental housing units currently tenanted by Vancouver Coastal Health (VCH) clients will continue to be offered to VCH when construction of the LEMR units in the development is completed.

Development Permit Panel

Wednesday, June 12, 2024

Discussion ensued regarding access to the podium level central courtyard and it was noted that (i) the central courtyard is only for private use of residents and is not publicly accessible, (ii) there are no gates or fencing proposed at the top or bottom of the ramp and stairs, and (iii) the elevation change from street level sidewalk to the podium level central courtyard marks the transition from the public realm to the semi-private realm.

Following discussion, the applicant was advised to install appropriate signage on the site to inform pedestrians that the podium level courtyard is a private space.

In reply to queries from the Panel, the applicant advised that (i) different types of lighting for different areas in the development are proposed, (ii) all planted areas in the development will be irrigated, (iii) the applicant will work with the arborist to ensure appropriate measures are taken during construction to ensure the protection and survival of existing trees along the west property line, and (iv) the urban agriculture areas are provided with tool storage spaces as well as potting benches and compost storage areas.

Discussion ensued regarding the location of mechanical units and it was noted that (i) majority of mechanical units for the low-carbon energy system will be located in the parkade, (ii) a limited number of mechanical units for corridor ventilation are proposed to be located on building rooftops, and (iii) the provision of a heat pump for each unit and their proposed location in balconies are currently in the planning stage.

As a result of the discussion, the applicant was advised to take into consideration in their planning the noise that will be generated by the heat pumps and introduce appropriate noise mitigation measures.

In reply to a query from the Panel, staff confirmed a tree survival security is required to be provided by the applicant to ensure the survival of on-site trees identified for retention.

Discussion ensued regarding the proposed architectural and landscape treatment for ground level exterior walls facing property lines and it was noted that (i) fencing and landscape screening are proposed for the loading area along Azure Boulevard, (ii) there is a high cast-in-place concrete wall adjacent to the bicycle parking area near the parkade entry on Azure Boulevard, (iii) flush landscaping is proposed at the bicycle parking area on Azure Boulevard near the northeast corner of the site, and (iii) there is a long concrete parkade wall along the west property line adjacent to the retained grove of trees.

Following discussion, the applicant was advised to (i) investigate opportunities to add more interest to the treatment of concrete walls along the west property line and adjacent to bicycle parking areas along Azure Boulevard, and (ii) introduce appropriate treatment to discourage tagging on smooth cast-in-place concrete walls.

In reply to the query from the Panel regarding the anticipated time frame for the development of the project and projected start date of tenant relocation, the applicant advised that (i) tenant relocation will only commence after Building Permit issuance, and (ii) subject to the timing of Building Permit issuance and completion of pre-construction activities, construction could start in June of next year at the earliest.

Development Permit Panel

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In reply to a query from the Panel regarding details of the tenant relocation plan associated with the proposed development, staff noted that the tenant relocation plan secured at rezoning includes (i) providing tenants with a minimum of four months' notice to end the tenancy, (ii) offering tenants the option of renting a replacement LEMR unit and the six housing units currently tenanted by VCH clients in the existing development will continue to be offered to VCH in the new development, (iii) offering tenants who have resided in the existing development longer than one year the choice of four months' free rent or lump sum equivalent, exceeding the OCP policy requirement of three months' free rent or lump sum equivalent, and (iv) acknowledging that some tenants may require additional assistance throughout the relocation process.

Correspondence

Susan Campbell, 6051 Azure Road (Schedule 2)

In reply to concerns indicated in the letter regarding hospital personnel and visitors using the neighbourhood for parking and opposition to the subject application moving forward, staff noted that (i) staff has followed up with the Richmond resident to confirm that parking needs of the proposed development are provided on-site and there are TDM measures proposed to reduce vehicle ownership, (ii) as directed by Council, staff conducted a consultation with residents in the neighbourhood on the potential of introducing a resident only parking program, and (iii) the completed survey indicated little support for the program, except for one small street in the area which is proceeding with the program on a pilot basis.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the project, noting that the proposed development provides 100 percent rental housing units with a high percentage of family-friendly units and varying levels of affordability.

In addition, staff was directed to work with the applicant to (i) investigate opportunities to install access controls such as signage to the outdoor amenity area from public areas, and (ii) review the treatment of exposed walls along the Azure Boulevard frontage and west property line of the subject site.

Also, the applicant was advised to coordinate with City staff regarding phasing of construction of the development if they have not done so already.

Development Permit Panel
Wednesday, June 12, 2024

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of a low-rise to mid-rise residential development comprising 330 residential units, including 50 low-end-of-rental (LEMR) units, 110 moderate-income rental units and 170 market rental units at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and*
 - (b) *reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.*

CARRIED

2. New Business

It was moved and seconded

That the Development Permit Panel meeting tentatively scheduled on Wednesday, June 26, 2024 be cancelled.

3. Date of Next Meeting: July 10, 2024

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:26 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, June 12, 2024.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk



6071 AZURE ROAD - RICHMOND, BC

DEVELOPMENT PERMIT PANEL MEETING - JUN 12, 2024

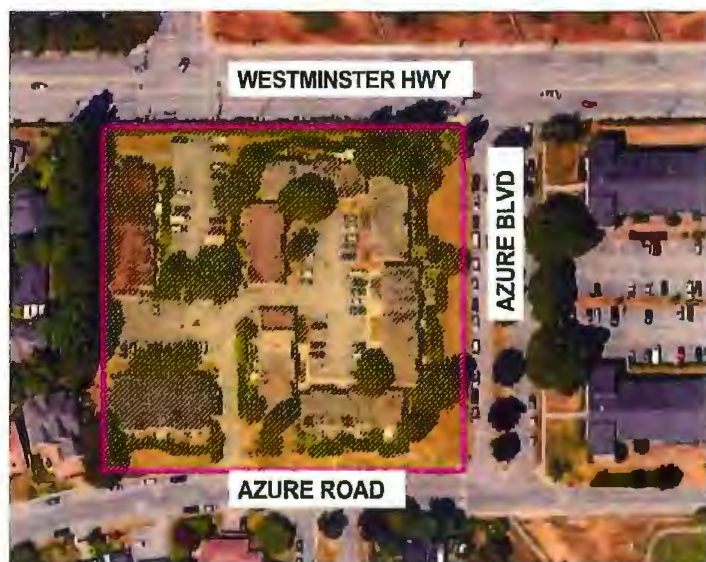


HNPA ARCHITECTURE + PLANNING INC.

DURANTE KREUK LTD.

PROJECT OVERVIEW

SITE INFORMATION



CIVIC ADDRESS

6071 Azure Road, Richmond, British Columbia

LEGAL DESCRIPTION

LOT 592 SEC 7 BLK 4N RG 6W PL NWP25611 LOT 592, BLOCK 4N, PLAN NWP25611, SECTION 7, RANGE 6W, NEW WESTMINSTER LAND DISTRICT

SITE AREA

BEFORE DEDICATION: 12,005 SQ.M (129,221 SQ.FT)

AFTER DEDICATION: 11,606 SQ.M (124,933 SQ.FT)

LAND USE

MULTI-FAMILY RESIDENTIAL

CURRENT ZONING

RTL1 - LOW DENSITY TOWNHOUSES

EXECUTIVE SUMMARY

PROJECT AREAS

Building A : LEMR + HiLs + RENTAL MARKET	5,490 Sq.m. - FAR
Building B : HiLs + RENTAL MARKET	12,087 Sq.m. - FAR
Building C : LEMR + RENTAL MARKET	6,804 Sq.m. - FAR

Total Project Areas	24,381 Sq.m. - FAR
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FAR SUMMARY

Proposed FAR :	21 FAR
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PROJECT UNITS

Building A	56 Units
Building B	177 Units
Building C	97 Units

INDOOR AMENITY

2.00 Sq.m per unit	300 Sq.m. Req'd	371 Sq.m. - Proposed
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OUTDOOR AMENITY

5.95 Sq.m per unit	1,980 Sq.m. Req'd	3,565 Sq.m. - Proposed
West Side - yard outdoor open space:	360 Sq.m	

PARKING

Total Required	272 Car stalls
Total Provided	275 Car stalls

LOADING

Total Required	1 Loading bay
Total Provided	2 Loading bays

BIKE STALLS

Total Required	660 class 1 bikes	66 class 2 bikes
Total Provided	660 class 1 bikes	67 class 2 bikes

SETBACKS

	Required	Proposed
Front Yard - North PL : at Westminter highway	14.76 ft (4.5 m) to new PL	15 ft (4.57m)
Side Yard - East PL : at Azure Blvd	14.76 ft (4.5 m) to PL	15 ft (4.57m)
Side Yard - West PL : at Neighbour	14.76 ft (4.5 m) to PL	23 ft (7.01m)
Rear Yard - South PL : at Azure Rd	14.76 ft (4.5 m) to PL	15 ft (4.57m)

SETBACKS VARIANCES

	Required	Proposed
1- Front Yard - North PL : at Westminter highway (Behind Bus Stop)	14.76 ft (4.5m) to new PL	14.27 ft (4.35m)
2- Front Yard - North PL : at Westminter highway (At North-East Corner)	14.76 ft (4.5m) to new PL	13.58 ft (4.14m)

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2.0 ARCHITECTURAL DRAWINGS

3.0 LANDSCAPE DRAWINGS



1.0

DESIGN RATIONALE





SITE CONTEXT

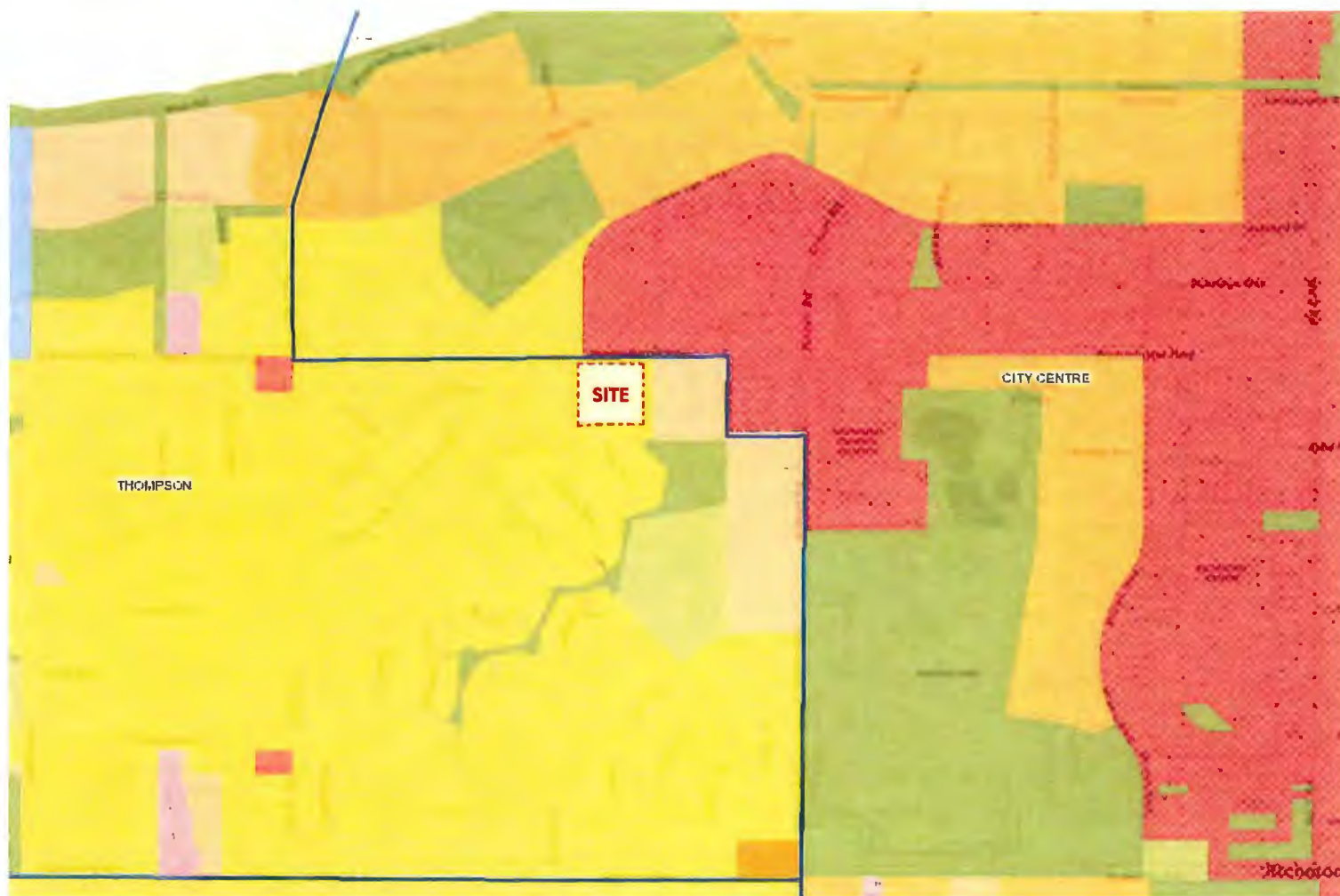
This project is located at 6071 Azure Road, at the intersection of Azure Road and Westminster Highway. The site is located within Richmond's Thompson area. It is adjacent to Richmond's City Centre and surrounded by many of Richmond's major commercial establishments, parks, hospital and recreational facilities.

The area is currently occupied by a number of lowrise residential buildings. The buildings are decades old and are in desperate need of major renewal. Given the site's adjacency to Westminster Highway, redevelopment of the site will also bring refreshing changes to this major street in Richmond.

The site is in a transitional area between single family house neighborhood on the west and multifamily housing on the east, institution and industrial facilities crossing the street. The site is within convenient walking distance to the city centre and has good access to public transit.

SITE CONTEXT

OCP LAND USE MAP



MAP LEGEND

- Apartment Residential
- Commercial
- Community Institutional
- Downtown Mixed Use
- Industrial
- Limited Mixed Use
- Mixed Use
- Neighbourhood Residential
- Park
- School

SITE CONTEXT

WALK RADIUS MAP



MAP LEGEND

HOSPITAL

- 1 Richmond Hospital

PARKS

- 2 Minoru Park
- 3 Brighthouse Neighbourhood Park
- 4 Dover Neighbourhood Park
- 5 North-Arm Dyke

SCHOOLS

- 6 Samuel Brighthouse Elementary

DAYCARES

- 7 Chosen Children Learning Center
- 8 Bowling Green Children's Center

POINTS OF INTEREST

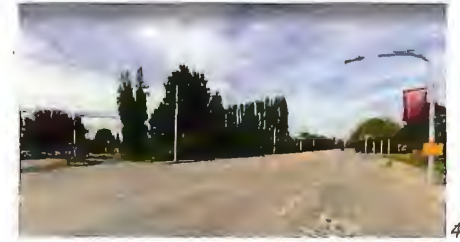
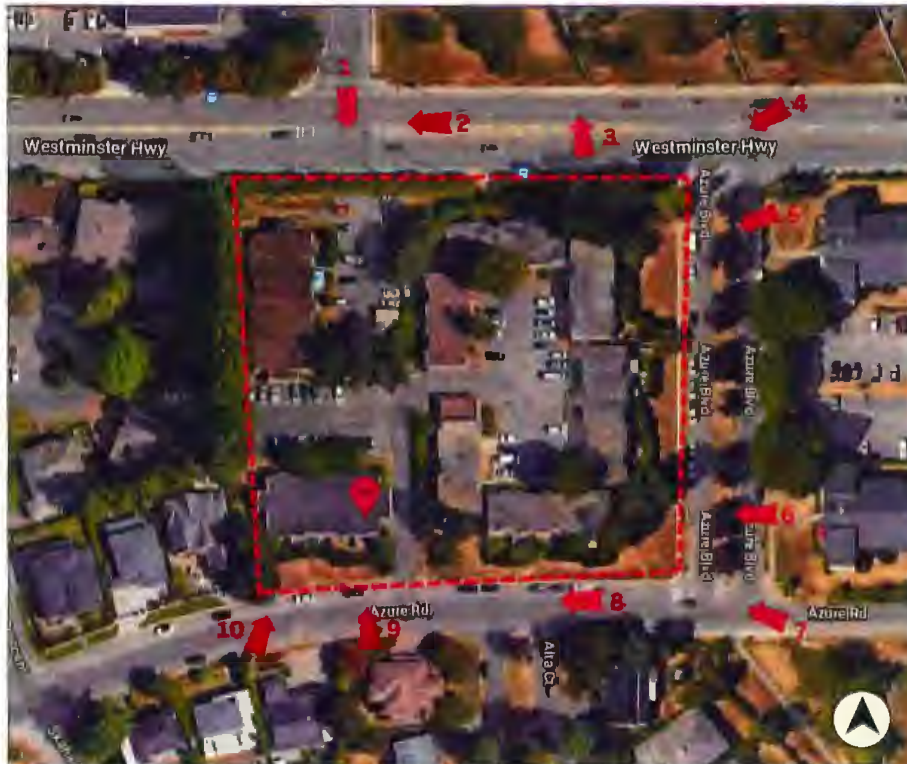
- 9 CF Richmond Centre
- 10 Olympic Experience at Richmond Olympic Oval
- 11 The World of Kidtopolis

SKYTRAIN STATION

- 12 Richmond-Brighthouse Station

SITE CONTEXT

SITE PHOTOS



HOUSING AND LIVABILITY

A 100% RENTAL HOUSING DEVELOPMENT

The proposed development is comprised of three buildings that will supply a total of 330 much-needed rental units to the area and the City of Richmond. 48% of the units are affordable rental housing.

50 LEMR Unit

Total 50 Low-End Market Rental Housing (LEMR) units in Building A and C. The types, sizes, rental rates, and occupant income restrictions for LEMR units are in accordance with the City's Affordable Housing Strategy and guidelines for Low End Market Rental (LEMR) housing

110 HILs Unit

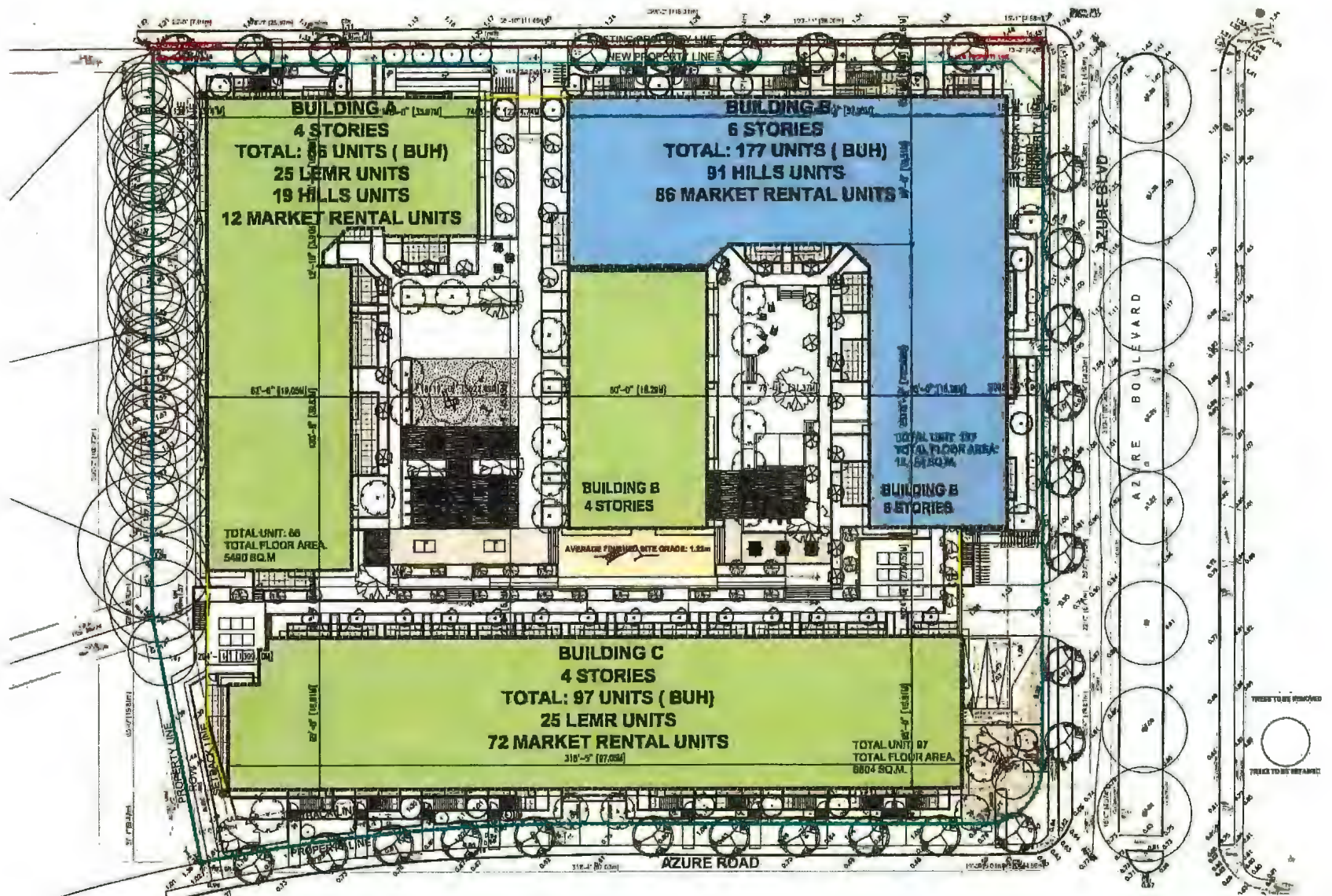
110 Moderate Income Rental Housing unit with the Housing Income Limits (HILs) are located in Building A and B.

170 Market Rental Housing Unit

170 Market Rental Housing units in Building A, B and C.

56% units are family unit with 2 or more bedrooms

RENTAL UNIT TYPES CALCULATION							
	LEMR		HILS		Market Rental		TOTAL
Total Unit	50		110		170		330
STUDIO	0	0%	24	22%	19	11%	43
1 BEDROOM	4	8%	62	56%	69	41%	135
2 BEDROOM	14	28%	20	18%	49	29%	83
3 BEDROOM	29	58%	4	4%	33	19%	66
4 BEDROOM	3	6%	0		0		3
BUH Unit	50	100%	110	100%	170	100%	



SITE PLAN AND MASSING

SITE PLANNING PRINCIPLES

An appropriate fit for the site context

The development places three buildings on site with the two 4-story building on the west and south sides which faces existing single-family houses. The 6-story building is placed at the northeast corner of the site away from the single-family house neighborhood. On the west side, the development is setback by 23' to allow the existing row of trees to be kept and to have minimum impact on the adjacent property on the west.

A balanced massing design for the site

While the new development is higher and denser than the existing one, the massing design breaks down the building mass by varying building façades with colors, materials and frames to create interest and visually break down the massing.

Accessible Outdoor Amenities

The placement of the three buildings naturally forms a courtyard in the centre, to be shared by all residents. The courtyard is easily accessed from the lower level of the buildings and also from the streets via steps and ramps.



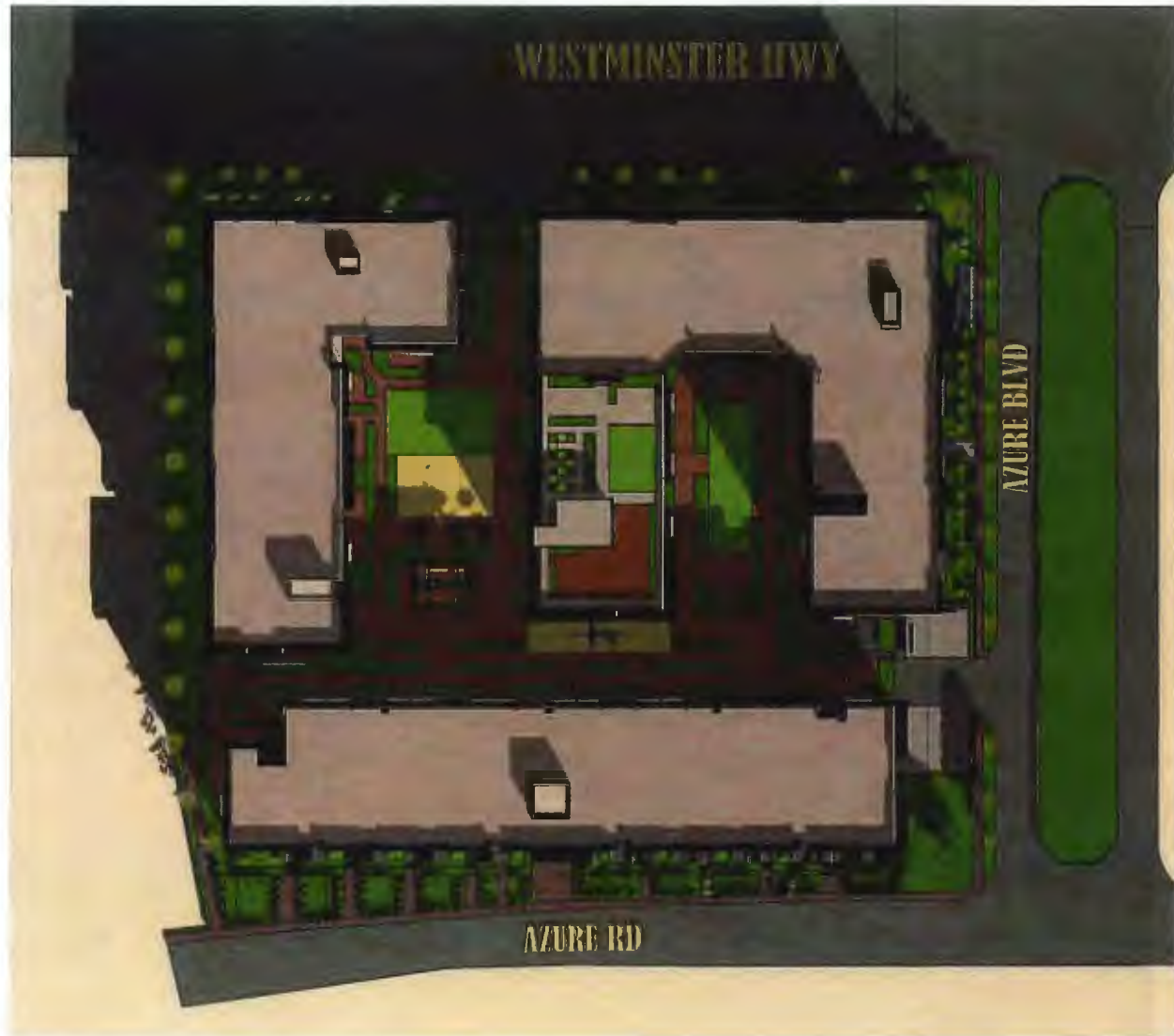


SITE PLAN AND MASSING

SHADOW STUDY

More than 75% units have direct sunlight in all seasons.

People in center courtyard can enjoy sunlight even during the winter with worst sun shade situation.



Worst Shading Situation During the Year



10:00 am Mar/Sep 21



12:00 pm Mar/Sep 21



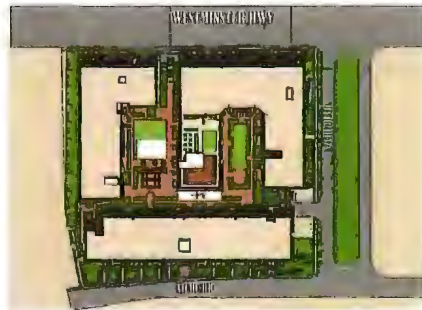
2:00 pm Mar/Sep 21



4:00 pm Mar/Sep 21



10:00 am Jun 21



12:00 pm Jun 21



2:00 pm Jun 21



4:00 pm Jun 21



10:00 am Dec 21



12:00 pm Dec 21



2:00 pm Dec 21



4:00 pm Dec 21

PUBLIC REALM DESIGN

STREETSCAPE

With the introduction of colors and varied design language, streetscapes are animated and lively. Both Westminster HWY and Azure road facades have a variety of design treatments – landscape over parkade, access to the plaza, and stepped planters/ground floor unit accesses from streets make up a much more vibrant streetscape.



North Streetscape



East Streetscape



South Streetscape

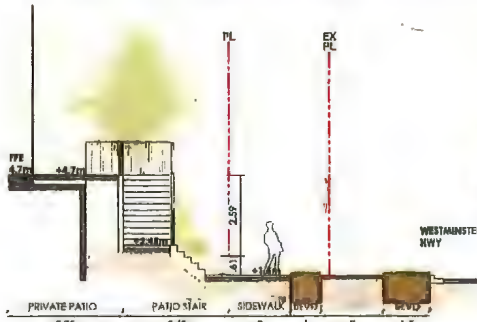
PUBLIC REALM DESIGN

TRANSITION

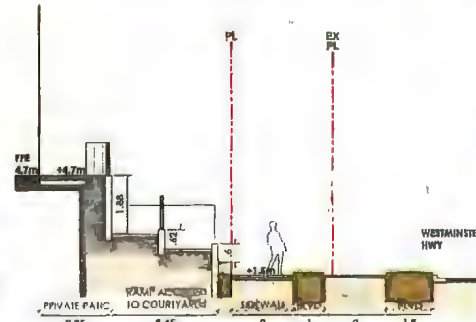
Entrances of three buildings are located at the sidewalk level. Plus all of the 1st floor residential units facing the street have direct access from sidewalk.

Designated stepped landscape planters wrap around the parkade structure, which soften the edge of the building and bring the human scale to the sidewalk.

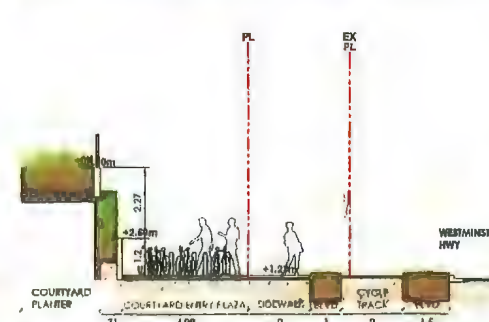




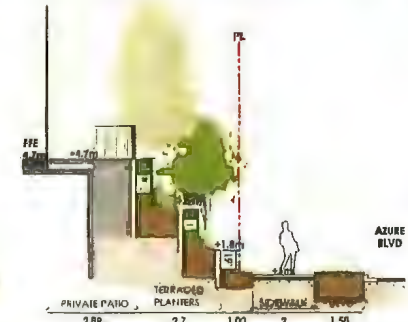
SECTION A: BLDNG A PATIOS/ WESTMINSTER HWY



SECTION B: BLDNG A PATIOS/ COURTYARD RAMP ACCESS



SECTION C: COURTYARD STAIR ACCESS/ WESTMINSTER HWY



SECTION D: BLDNG B PATIOS/ AZURE BLVD

PUBLIC REALM DESIGN

PLAZA

The central plaza can be accessed by everyone in the area with its provisions such as a children's play area, seating, and a paved path for an evening stroll. It is designed to be enjoyed by all residents and the public. The much-landscaped plaza is semi-private and connects the development to the outdoor world. It provides areas for outdoor activities.

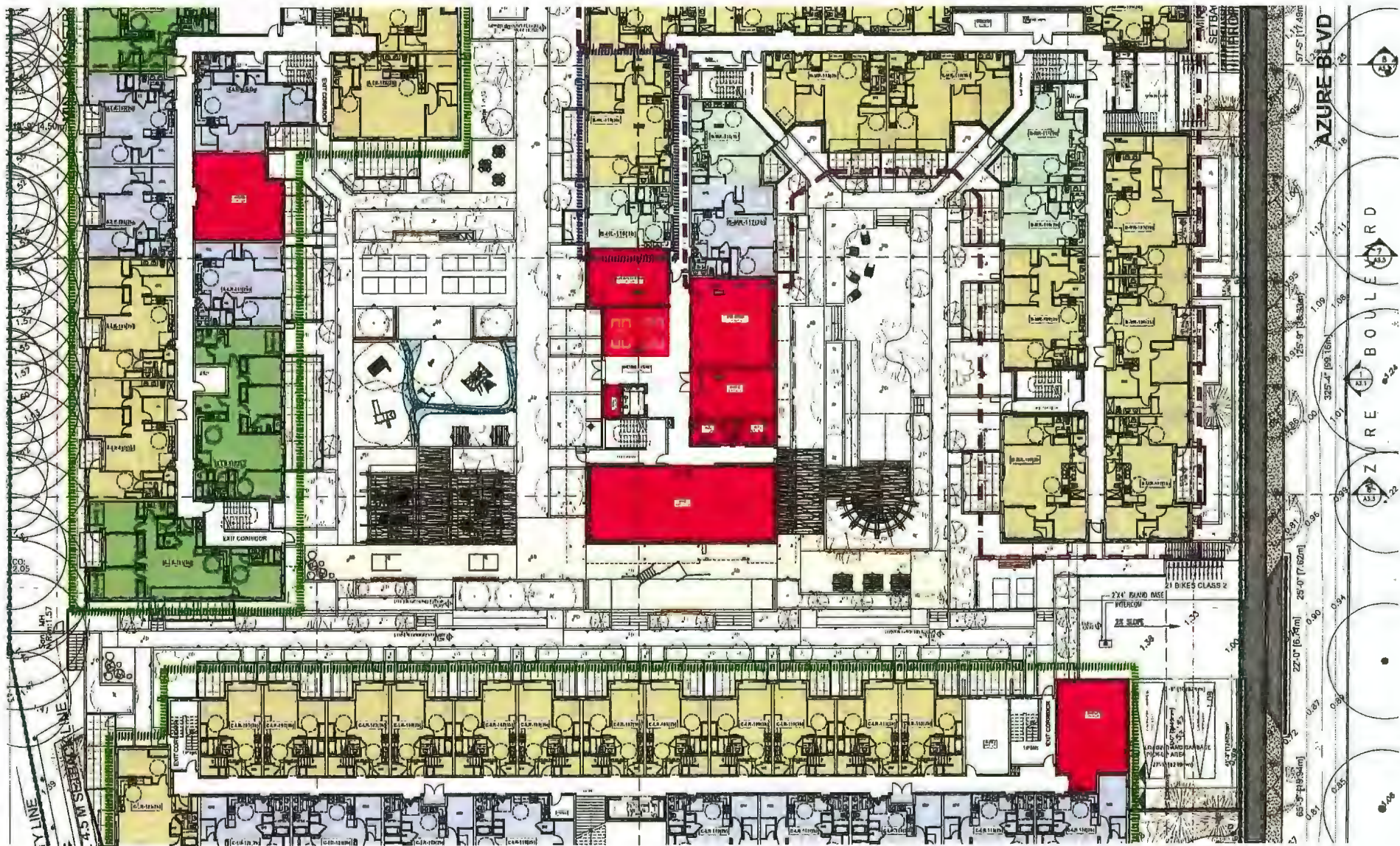


Roof Deck: Amenities and Urban Agriculture

PUBLIC REALM DESIGN

INDOOR AMENITIES

Each building provides indoor amenity spaces for its residents. These spaces are conveniently located at the center of plaza level and have an easy connection between indoor and outdoor amenity space.



BUILDING CHARACTERS

ARCHITECTURE STYLE

The exterior façade design of the buildings aims to create a fresh, vibrant appearance, to animate the streets it faces. Three buildings will each have a color theme, to have its unique identity in the complex. Varied façade design languages break up the massing for a lively streetscape.



Site North Elevation



Site East Elevation



Site South Elevation

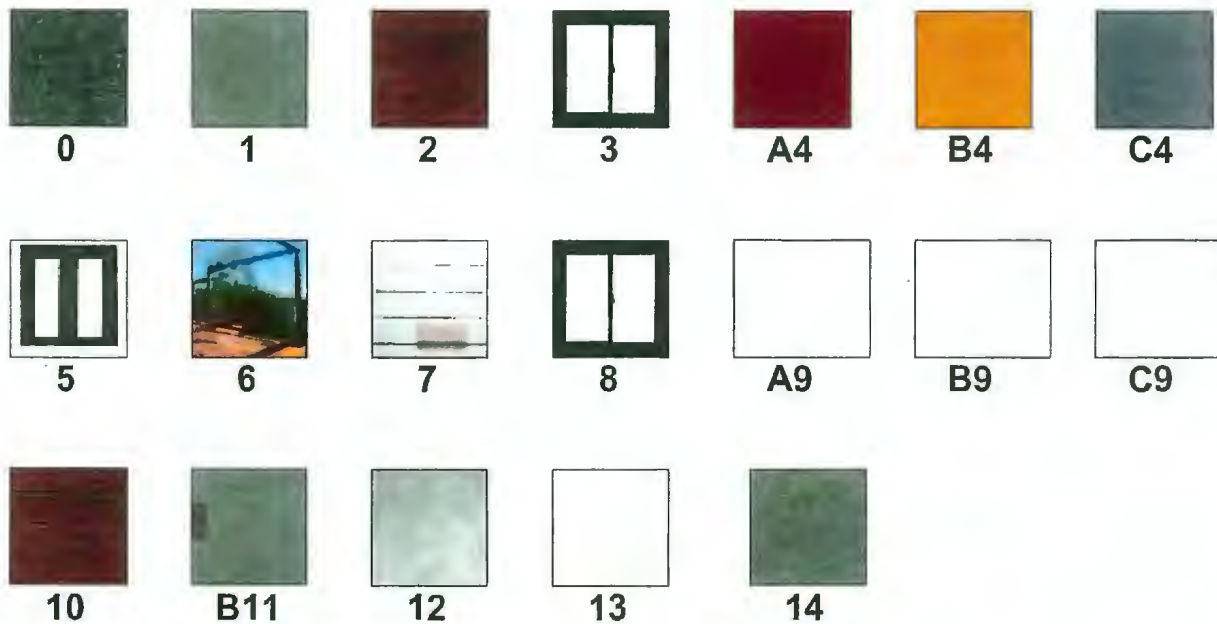


Site West Elevation

BUILDING CHARACTERS

MATERIALITY

The building materials are made up of a neutral colour palette including metal paneling, different colours of cementitious panels, glass, and wood. Both interior and exterior materials will comprise of durable materials sourced locally where possible. Low VOC finishes will be specified for the residential suites and all circulation areas.



Material Legend

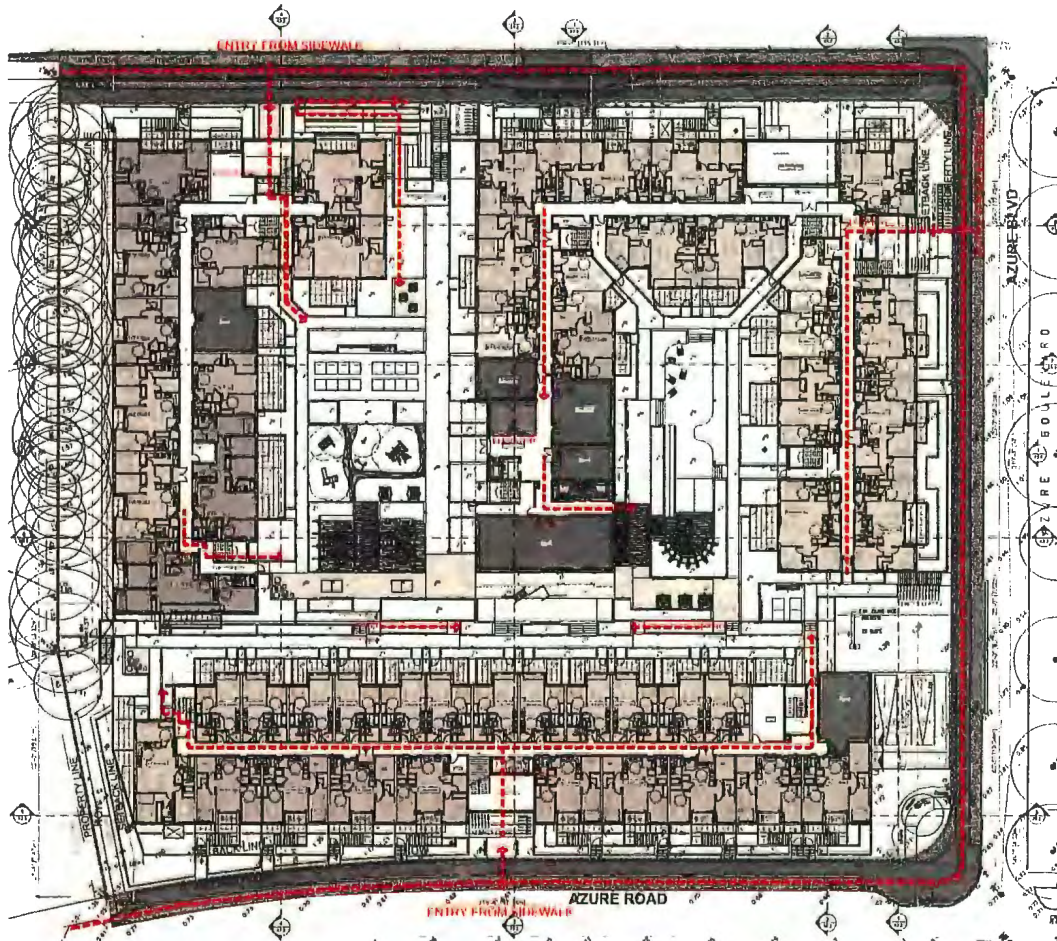
KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0		ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1		FASCIA & TRIM	METAL FLASHING	DARK GREY
2		PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3		WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4		CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4		CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4		CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5		DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6		METAL GUARD RAIL	METAL MATERIALITY	BLACK
7		SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8		FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9		CLADDING BUILDING A	HARDIE PANEL	WHITE
B9		CLADDING BUILDING B	HARDIE PANEL	WHITE
C9		CLADDING BUILDING C	HARDIE PANEL	WHITE
10		WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11		CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12		CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13		GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14		FASCIA COLUMN	HARDIE PANEL	DARK GREY



ACCESSIBILITY

Accessibility Strategy

- Accessible path connecting public sidewalks to the main entries,
- Accessible path to the plaza and outdoor amenity space,
- Accessible parking is at visible location near elevator lobby in parkade.
- Access to the recycling and garbage room is wheel chair accessible.



Accessibility Units

100% units meet the Basic Universal Housing (BUH) requirement.
In-suite stairs are designed for future stair lift installation

Figure 1. Clear Opening Measurement For Doors



Figure 2. Front Approach, Pull Side (Refer B736, Step 5/12)

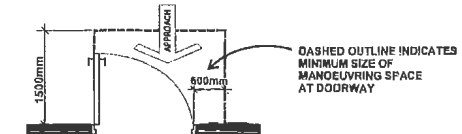


Figure 3. Front Approach, Push Side (Refer B736, Step 5/12)

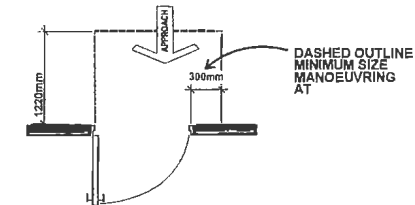


Figure 4. Separation of Doors in Series

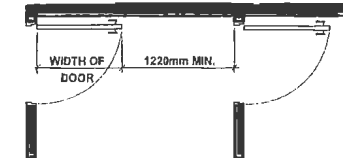


Figure 5. Clear Floor Area at Sink

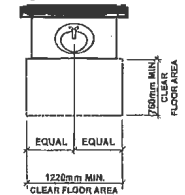
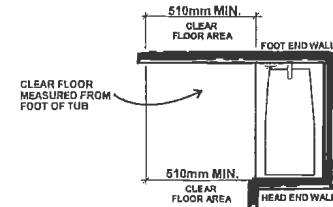


Figure 6. Clear Floor Area at Tub (Refer B736, Step 5/12)



STEP CODE COMPLIANCE

The 6071 Azure Rd Multi-Family Residential Building is attempting to meet the energy and emission performance limits under the City of Richmond's Bulletin BUILDING-40 Rev.: 2023-12-08. The proposed building is a non-combustible construction and is required to meet Step 3 w/ EL-1 or Step 2 w/ EL-2. Emission Level (EL) information of EL-1 and EL-2 are listed in the BC Building Code Section 10.3.

The proposed project will follow the energy compliance path to meet the BC Energy Step 2 w/ EL-2.

The proposed energy conservation measures (ECMs) to help the project achieve the energy and emission performance requirements are listed below:

- High-performance building envelope considering the thermal bridging effect

Model Inputs	Proposed
High-Performance Glazing System	U 0.32 (Btu/h.ft ² .°F) SHGC 0.30
Overall wall effective R or U-value (ft ² .°F.h/Btu)	Steel frame wall with exterior insulation overall R10.2, derating 30% from effective R17.4" semi-rigid insulation - 2X6 steel frame @16OC - 1/2" GWB
Overall roof effective R-value (ft ² .°F.h/Btu)	Flat Roof eff R28 - R10 polyiso insulation - R20 rigid insulation

- Direct Ventilation with in-suite HRV (72% SRE) will be incorporated into the ventilation system design
- High-efficiency HVAC system with air source heat pump heating and cooling at suite level (heating COP of 3.5 and cooling SEER of 3.8)



3D VISUALIZATIONS





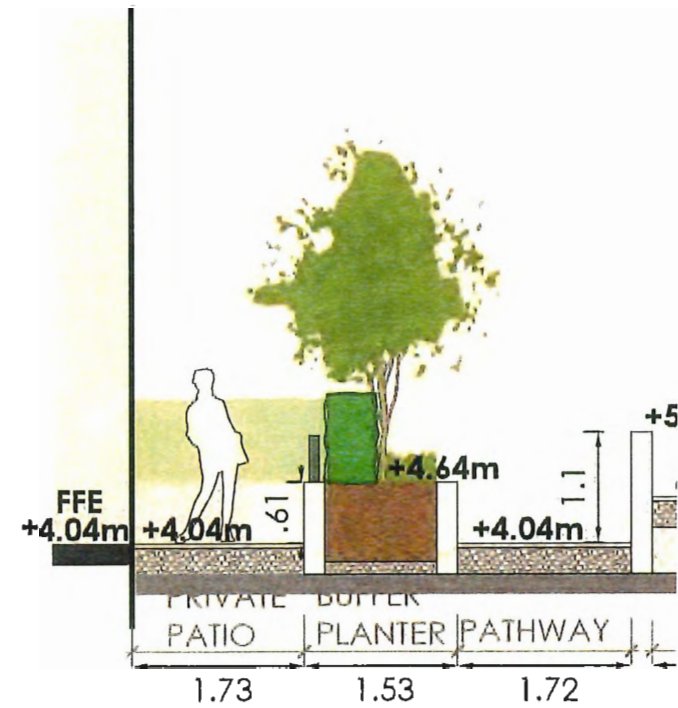
3D VISUALIZATIONS





3.0

LANDSCAPE DRAWINGS





HARVEST TABLE/POTTING
BENCH/ COMPOST BINS

18" HT. URBAN AG
PLANTER

PERIMETER PLANTER

TRELLIS/ CATENARY LIGHTING

WOOD DECKING

HOSE BIB FOR GARDEN PLOTS

IRRIGATION CLOSET

PERIMETER PLANTER

HOSE BIB FOR GARDEN PLOTS

BENCH SEATING

18" HT. URBAN AG
PLANTER

IRRIGATION CLOSET

FRUIT TREES

36" HT. METAL PLANTER
& BENCH SEATING

18" HT. URBAN AG
PLANTER

HARVEST TABLE/POTTING
BENCH/ COMPOST BINS

18" HT. URBAN AG
PLANTER

FRUIT TREE

36" HT. METAL PLANTER
& BENCH SEATING

HARVEST TABLE/POTTING
BENCH/ COMPOST BINS

18" HT. URBAN AG
PLANTER

COVERED SEATING TERRACE

3 MAY 17-24 ISSUED FOR DP RESPONSE
2 APR 12-24 ISSUED FOR DP
1 FEB 10-24 ISSUED FOR DP
NO. 1 1/2010: 1/10/10

Revisions:

pk Paradise Kiosk Ltd.
102-1537 West 5th Avenue
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T: 604 684 4811
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www.pk.bc.ca

Project:
**6071 AZURE ROAD
RICHMOND, BC**

Drawn by: AG/JW

Checked by: PK

Date: MAY 2024

Scale: #003 11x17 size

Drawing Title:

**LANDSCAPE PLAN
LEVEL 5**

Project No:

21122

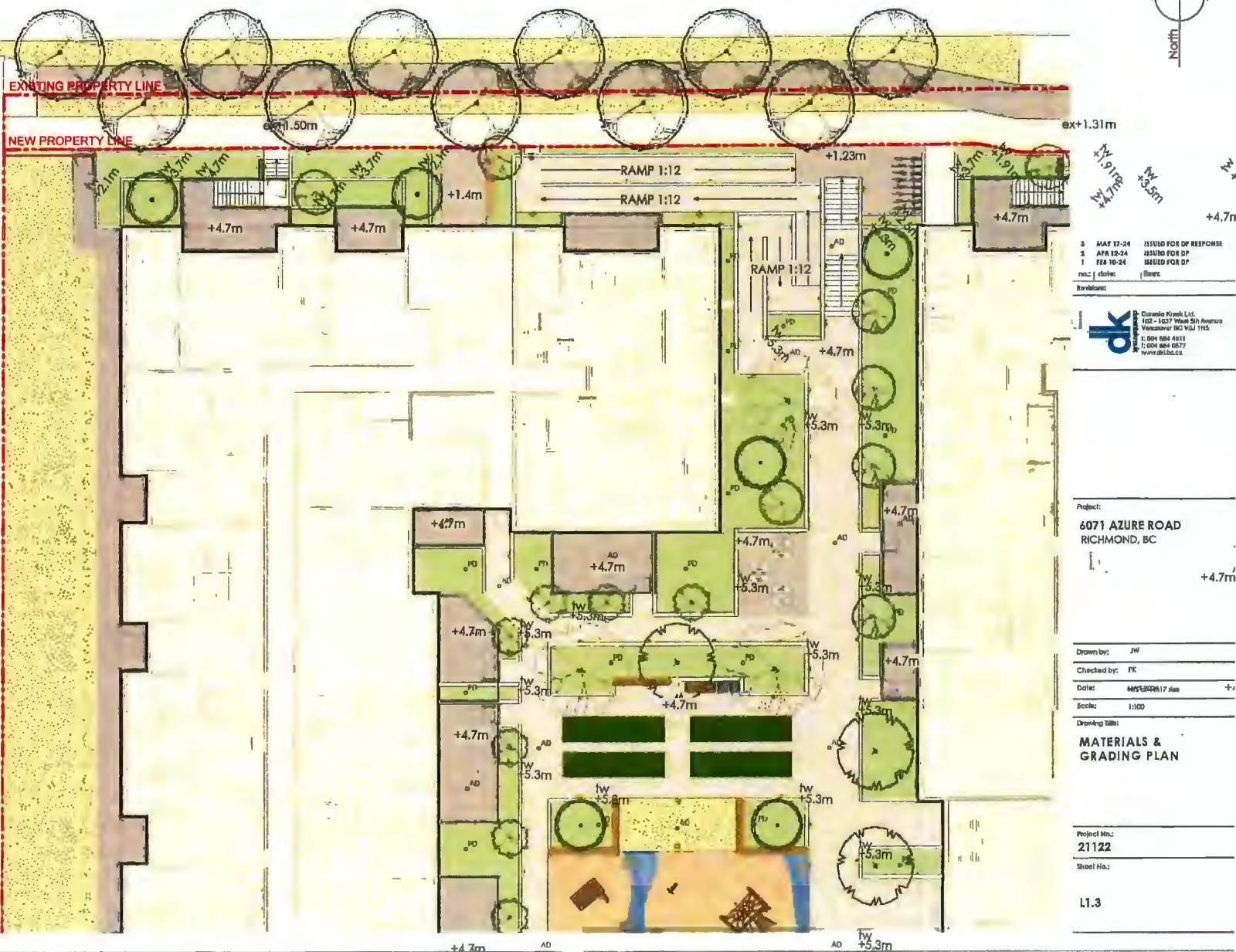
Sheet No:

11.2



EXISTING PROPERTY LINE

NEW PROPERTY LINE



4	MAY 17-24	ISSUED FOR DP RESPONSE
5	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
rev	date	description
Revisions:		

 Durrell Kram Ltd.
102-1037 West 8th Avenue
Vancouver BC V6J 1N6
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www.dkl.ca

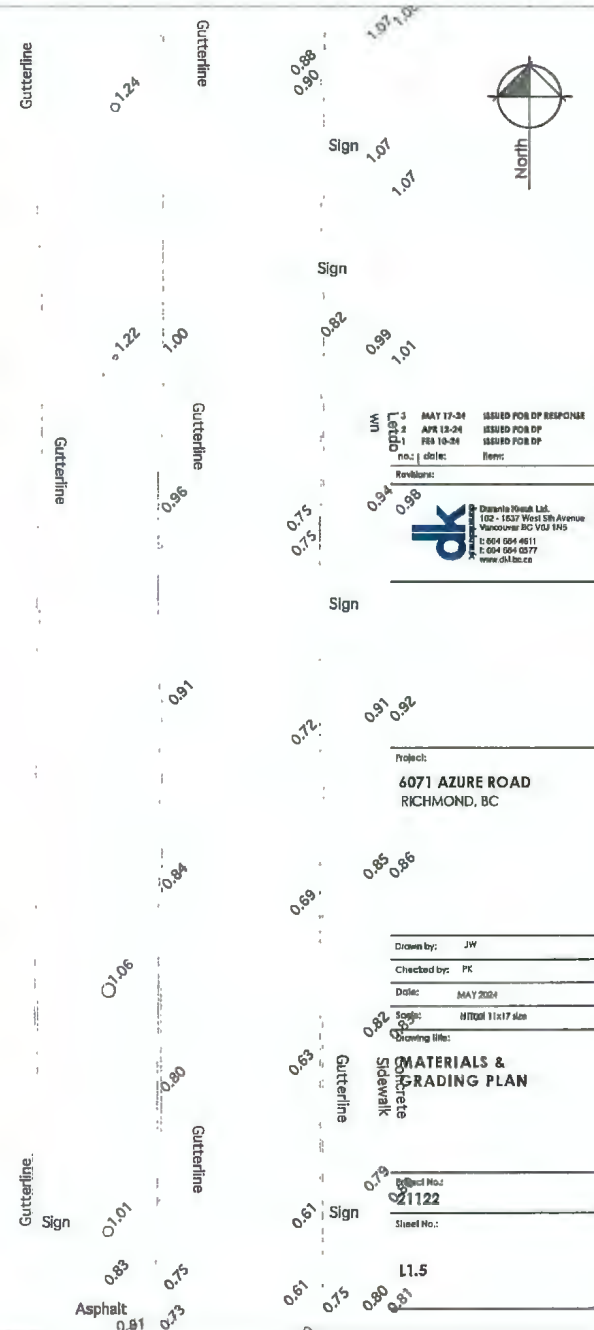
Project:
6071 AZURE ROAD
RICHMOND, BC

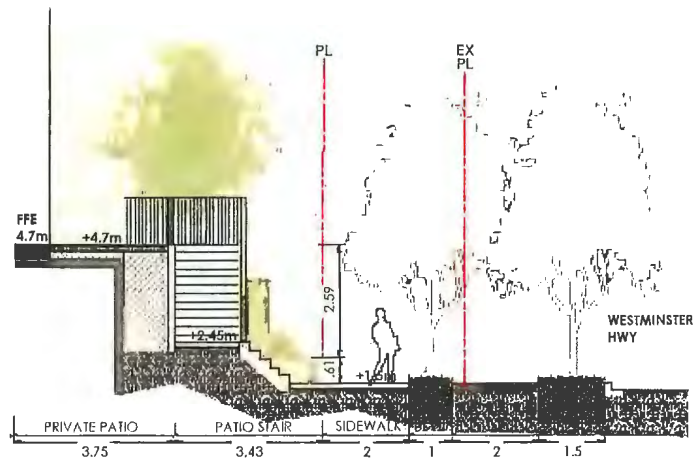
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Checked by: PK
Date: MAY 08 2017
Scale: 1:100

Drawing Title:
MATERIALS & GRADING PLAN

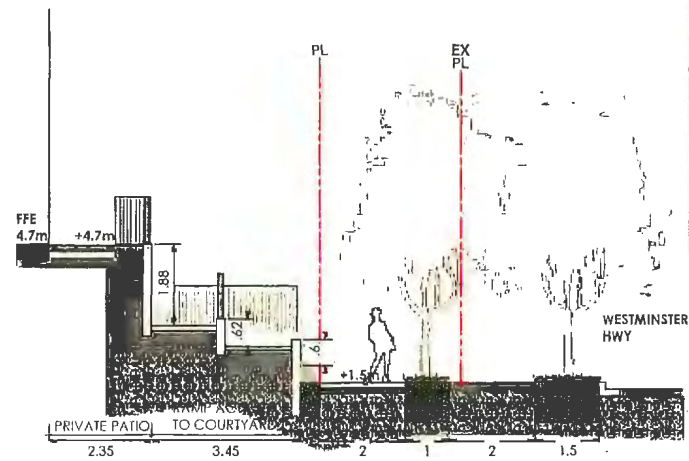
Project No.:
21122
Sheet No.:

L1.3

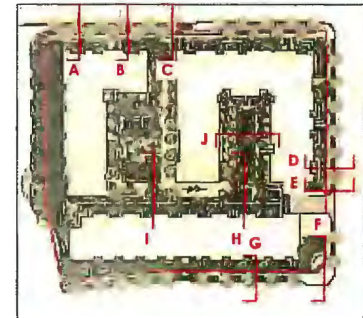




SECTION A: BLDNG A PATIOS/ WESTMINSTER HWY
SCALE 1:50

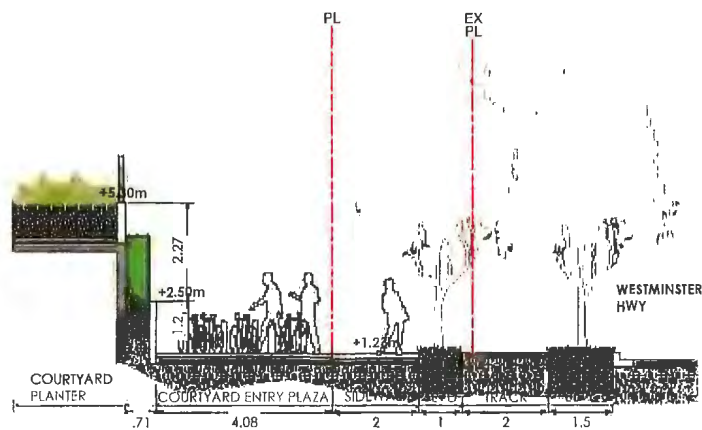


SECTION B: BLDNG A PATIOS/ COURTYARD RAMP ACCESS/ WESTMINSTER HWY
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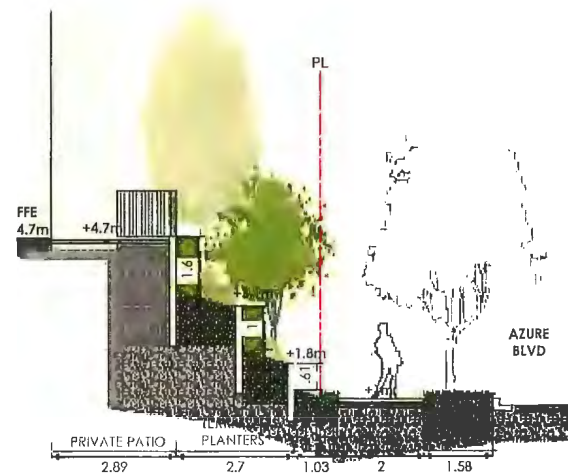


3 MAY 17-24 ISSUED FOR DP RESPONSE
2 APR 12-24 ISSUED FOR DP
1 FEB 10-24 ISSUED FOR DP
not date sent

Revisions:
Doranda Kozak Ltd.
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F: 604 584 0577
www.dk1.bc.ca



SECTION C: COURTYARD STAIR ACCESS/ WESTMINSTER HWY
SCALE 1:50



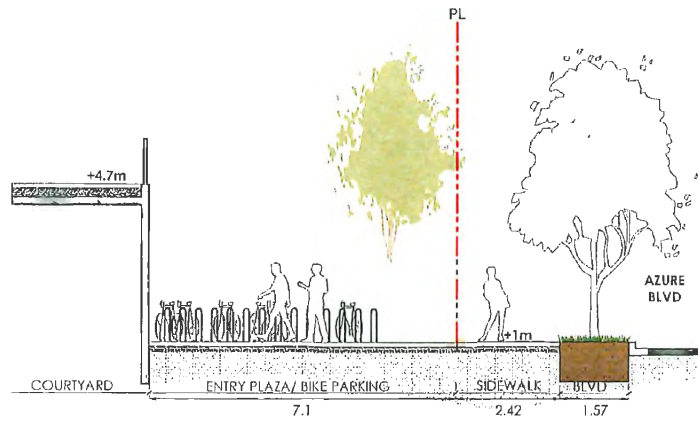
SECTION D: BLDNG B PATIOS/ AZURE BLVD
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Project:
6071 AZURE ROAD
RICHMOND, BC

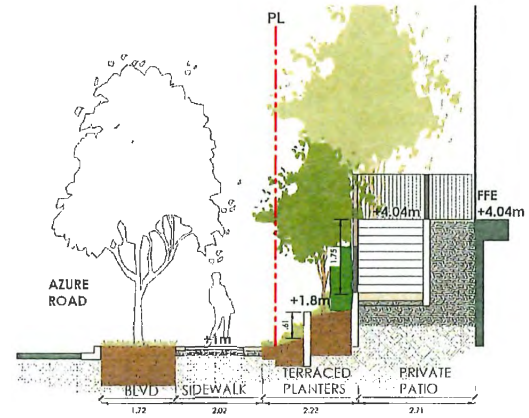
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Checked by: PK
Date: MAY 2024
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Project No.:
21122
Sheet No.:

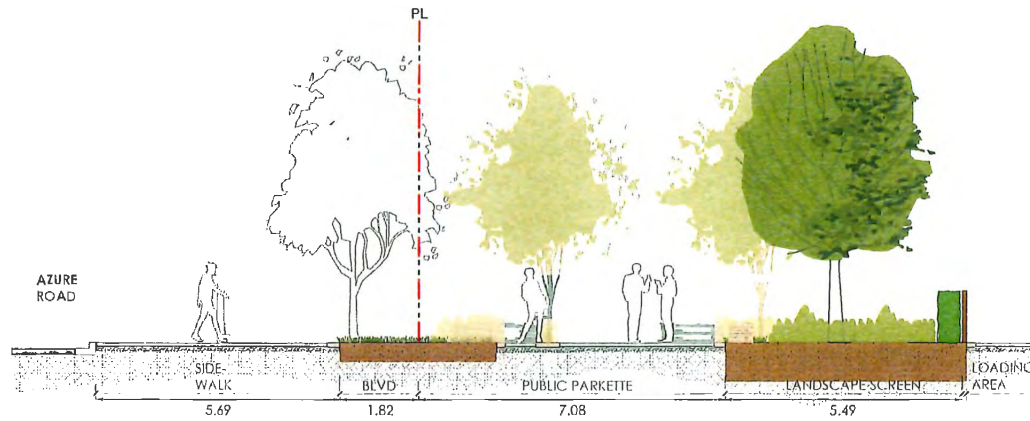
L3.1



SECTION E: COURTYARD/ VISITOR BIKE PARKING/ AZURE BLVD
SCALE 1:50



SECTION G: AZURE ROAD/ BLDNG C PATIOS
SCALE 1:50



SECTION F: AZURE ROAD/ PUBLIC PARKETTE/ LOADING AREA
SCALE 1:50

3 MAY 17-24 ISSUED FOR DP RESPONSE
2 APR 12-24 ISSUED FOR DP
1 FEB 10-24 ISSUED FOR DP
rev: : date: : desc:
Revisions:

dk Design Kropik Ltd.
102 - 1437 West 5th Avenue
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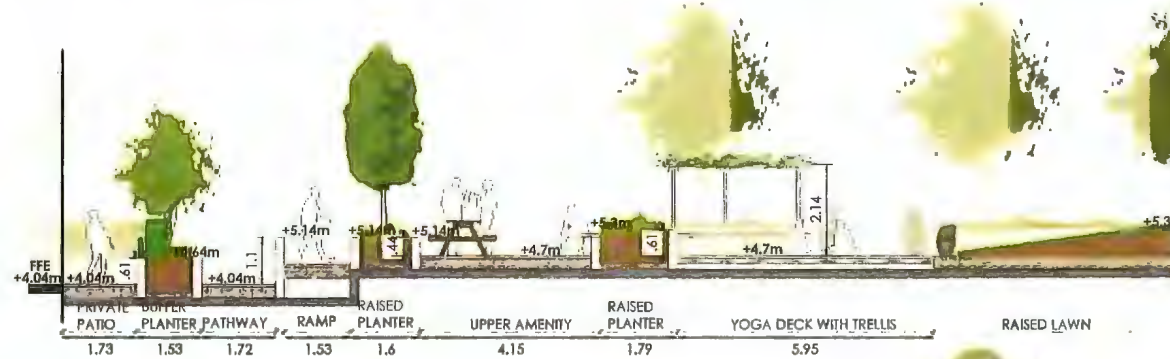
Project:
6071 AZURE ROAD
RICHMOND, BC

Drawn by: JW
Checked by: PK
Date: MAY 2024
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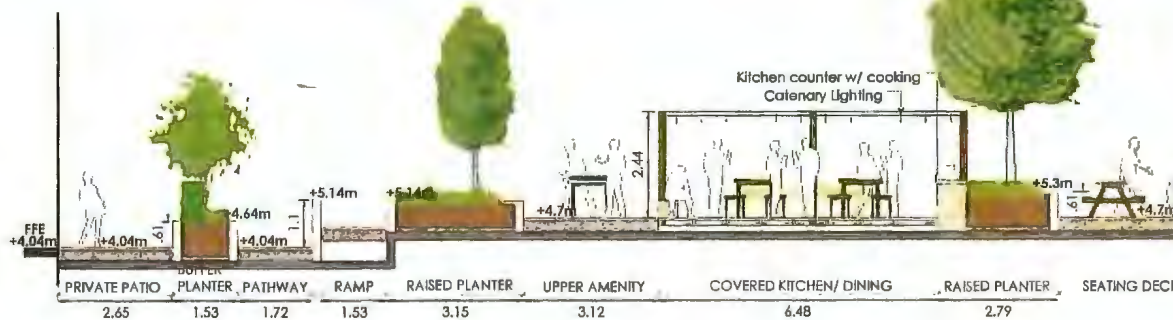
LANDSCAPE SECTIONS

Project No.:
21122
Sheet No.:

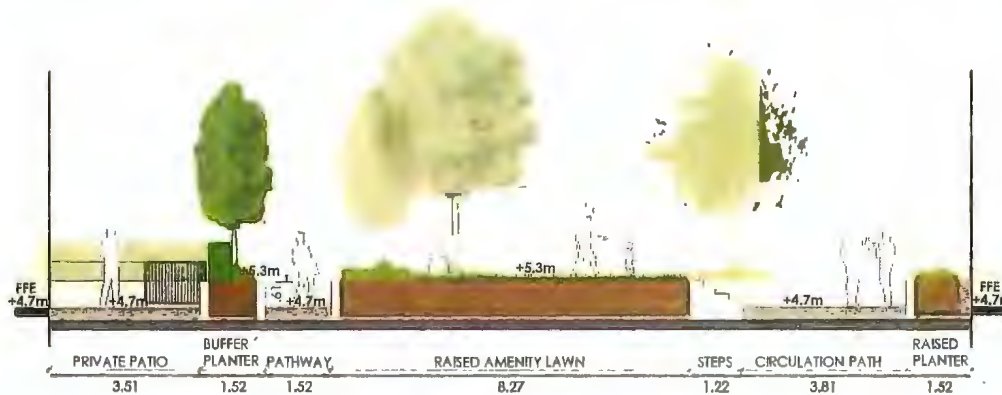
L3.2



SECTION H: BLDG C PATIOS @ EASTERN AMENITY GARDEN
SCALE 1:50



SECTION I: BLDG C PATIOS @ WESTERN AMENITY GARDEN
SCALE 1:50



SECTION J: BLDG B PATIOS @ EASTERN AMENITY GARDEN
SCALE 1:50

3 MAY 17-24 ISSUED FOR DP RESPONSE
2 APR 18-24 ISSUED FOR DP
1 FEB 10-24 ISSUED FOR DP
no. 1 sheet: 0400
Revised:

OK CONSULTING
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Project:
6071 AZURE ROAD
RICHMOND, BC

Drawn by: JW
Checked by: PK
Date: MAY 2024
Scale: 1/8"=1'-0" (1/8"=1'-0")
Drawing Title:

LANDSCAPE SECTIONS

Project No.:
21122
Sheet No.:

L3,3

PLANT LIST

TREES

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
38	1	Shrub trees, final location and species to be determined by the City of Richmond		
16	1	Acer glabrum	Paperbark Maple	4cm cal. B&B
17	1	Magnolia 'Gloria'	Glossy Magnolia	5cm cal. B&B
18	1	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry	4cm cal. B&B
25	1	Acer palmatum 'Okazaki' / 'Okazaki'	Okazaki Japanese Maple	4cm cal. B&B
13	1	Amelanchier alnifolia	Serviceberry	4cm cal. B&B
4	1	Alnus incana (B&B plant)	Pacific Crabapple	4cm cal. B&B
8	1	Acer x freemanii 'Autumn Blaze'	Ashum x Red Freeman Maple	4cm cal. B&B
8	1	Quercus coccinea	Scarlet Oak	7cm cal. B&B
16	1	Acer glabrum 'Crimson Sentry'	Crimson Sentry Maple	4cm cal. B&B
4	1	Cercidiphyllum japonicum	Katsura Tree	4cm cal. B&B
10	1	Prunus 'Serrulata' 'Kwanzan'	Kwanzan Flowering Cherry	4cm cal. B&B
6	1	Pinus ponderosa	Ponderosa Pine	3m H B&B
7	1	Thuja plicata 'Sagittata'	Sagittata Red Cedar	3m H B&B
3	1	Pinus glauca	White Spruce	3m H B&B

SHRUBS/FERNS

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
az	110	Azalea 'Hino White'	Hino White Azalea	#2 pot, 16" o.c.
AZ	19	Azalea 'Hino Pink'	Hino Pink Azalea	#2 pot, 16" o.c.
Bc	14	Buxus microphylla	Winter Green Boxwood	#2 pot, 15" o.c.
Cl	167	Chelidonium	Chelidonium Orange	#3 pot, 24" o.c.
CS	21	Coma sericea 'Aristo Fire'	Aristo Fire Fire-Crown Dogwood	#2 pot, 30" o.c.
De	9	Dracaena fragrans	Autumn Fern	#2 pot, 10" o.c.
G	107	Gaultheria phillyifolia	Sand	#2 pot, 15" o.c.
HS	12	Hydrangea serrata 'Blue Bird'	Blue Bird Hydrangea	#3 pot, 50" o.c.
LP	225	Lonicera japonica	Privet 'Nancy's Choice'	#2 pot, 24" o.c.
MA	12	Maianthemum	Oregon Grape Holly	#3 pot, 24" o.c.
Ma	229	Maianthemum repens	Creeping Oregon Grape Holly	#1 pot, 18" o.c.
PL	9	Platanus occidentalis 'Ola Lyphell'	Laurel Hedge	#2 pot, 30" o.c.
Pm	214	Polystichum munitum	Sword Fern	#2 pot, 16" o.c.
R	47	Rhododendron 'Unioque'	Unioque Rhododendron	#3 pot, 24" o.c.
Rh	108	Rhododendron 'Jazz'	Jazz Rhododendron	#3 pot, 24" o.c.
Rh	64	Rhododendron 'Anna Krueger'	Anna Krueger Rhododendron	#2 pot, 24" o.c.
Sh	81	Shorea robusta 'Kawakawa humilis'	Dwarf Sweet Oak	#2 pot, 18" o.c.
SH	87	Shorea robusta 'Kawakawa humilis'	Dwarf Sweet Oak	#2 pot, 30" o.c.
VS	175	Veronica spicata	Dwarf's Vaseum	#2 pot, 24" o.c.

PERENNIALS/GRASSES

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
oo	260	Carex lasiocarpa 'Evergold'	Evergold Japanese Sedge	#1 pot, 12" o.c.
66	66	Clematis integrifolia	Evergreen Clematis	#2 pot, 16" o.c., min 3 to 5 pots
e	68	Calceolaria pinnatifida	Red-tipped Calceolaria	#1 pot, 15" o.c.
e	149	Erica carnea	Winter Heath	#1 pot, 12" o.c.
f	60	Festuca glauca 'Elijah Blue'	Blue Fescue	#1 pot, 12" o.c.
H	6	Hemerocallis 'Nite Blue'	Nite Blue Day Lily	#1 pot, 15" o.c.
ha	173	Huechella 'Amber Waves'	Amber Waves Coral Bells	#1 pot, 12" o.c.
hg	180	Huechella 'Green Spots'	Green Spots Coral Bells	#1 pot, 12" o.c.
H	260	Huechella 'Lime Bells'	Lime Coral Bells	#1 pot, 12" o.c.
hp	22	Huechella 'Shanghai Purple'	Purple Coral Bells	#1 pot, 12" o.c.
La	102	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender	#1 pot, 14" o.c.
L	600	Lilium 'Mascot' 'Big Blue'	Lily Turf	#1 pot, 12" o.c.
L	153	Lilium 'Mascot' 'Grace Ward'	Grace Ward Lilac	#1 pot, 14" o.c.
Ma	46	Monarda didyma 'Majesty'	Majesty Monarda	#2 pot, 18" o.c.
e	354	Calliopsis japonica 'Hana'	Hardy Hana Grass	6cm pot, 12" o.c.
e	61	Phlox paniculata 'Majesty'	Phlox Creeper	#2 pot, 18" o.c., min 3 to 5 pots
pt	589	Pachyrhizus terminalis	Pachyrhizus	6cm pot, 12" o.c.
P	45	Phlox subulata 'Majesty'	Scarlet Flame Creeping Phlox	#1 pot, 14" o.c.
r	14	Rudbeckia hirta 'Goldsturm'	Black Eye Susans	#2 pot, 15" o.c.
sl	50	Silene tenuifolia	Meibach Feather Grass	#1 pot, 12" o.c.

DRAWING LIST

L1.0 COVER SHEET	L2.3 PLANTING PLAN
L1.1 LANDSCAPE SITE PLAN	L2.4 PLANTING PLAN
L1.2 LANDSCAPE SITE PLAN - LEVEL 5	L2.5 PLANTING PLAN - LEVEL 5
L1.3 MATERIALS & GRADING PLAN	L3.1 LANDSCAPE SECTIONS
L1.4 MATERIALS & GRADING PLAN	L3.2 LANDSCAPE SECTIONS
L1.5 MATERIALS & GRADING PLAN	L3.3 LANDSCAPE SECTIONS
L1.6 MATERIALS & GRADING PLAN	L4.1 LANDSCAPE DETAILS
L2.1 PLANTING PLAN	L4.2 LANDSCAPE DETAILS
L2.2 PLANTING PLAN	L4.3 LANDSCAPE DETAILS
	L4.4 LANDSCAPE DETAILS

MATERIALS KEY

KEY	MATERIAL
	SODDED LAWN
	LAYERED SHRUB PLANTING
	GARDENING PLOTS
 HYDRAPRESSED CONCRETE PAVES	24"x24" HYDRAPRESSED CONCRETE PAVES
	CIP CONCRETE
	FEATURE CONCRETE PAVING
	GRAVEL/RIVER ROCK
	PIP RUBBER PILING SURFACING
	WOOD DECKING FEATURE PAVING
	POUR-IN-PLACE VIRGIN RUBBER PLAY SURFACING
	CIP CONCRETE WALLS/CURBS
	CIP CONCRETE STEPS
	BRICK/STONE FACE ARCHITECTURAL WALL
	METAL FENCING & GATE
	BLACK ALUMINUM PICKET
	LOADING ZONE FENCING
	VISITOR BIKE PARKING
	DINING SEATING
	CUSTOM BENCH SEATING
	PICNIC TABLE WITH UMBRELLA HOLDER
	MOVEABLE LOUNGE SEATER
	ALL-SEASON PING PONG TABLE
	KIDS PLAY PANEL
	KIDS PLAY SPRINGER HORSE
	KIDS PLAY PLAY TOWER
	KIDS PLAY HUT
	KIDS PLAY CLIMBER
	OUTDOOR GYM EQUIPMENT
	BBQ W/ COUNTERTOP SPACE
	LEVEL 5 FURNISHING
	LEVEL 5 FURNISHING
	RECESSED STEP LIGHTING
	LANDSCAPE BOLLARD LIGHTING
	HANGING STRING LIGHTS
	GRADING
	TW TOP OF WALL
	BW BOTTOM OF WALL
	+3.21 SPOT ELEVATION (METERS)
	FFE FINISHED FLOOR ELEVATION

LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
- All trees to be staked in accordance with BCNTA Standards.
- ALL STREET TREES install 8" x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES: CURB AND SIDEWALK).
- For all existing on-site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.
- All Palios shall be equipped with hose bibs.
- All irrigation valves boxes equipped with quick-couplers.
- Coniferous replacement trees shall be 4m height and deciduous replacement trees shall be 8cm caliper per City of Richmond.

DESIGN RATIONALE

The landscape design creates attractive and safe public, semi-private and private spaces for residents and the neighborhood.

The residential courtyard aims to provide a sense of community and inclusivity by offering a variety of opportunities for different user groups to socialize and enjoy. Two distinct courtyard spaces encourage active and passive types of use. The west space adjacent to building A provides lots of social gathering opportunities on a large seating terrace overlooking a kids' play space and flexible use open lawn. Within the east courtyard encircled by building B, a raised garden is proposed. Surrounded by trees and lush planting, the create a relaxed and intimate garden. Connecting these spaces east and west runs a central spine with a fitness amenity zone and rows of tree planting. All units have been designed to have a private patio or an entry porch with private access to the courtyard spaces.

Along the street frontages, grade differentials to private patios at Westminster Hwy, Azure Blvd and Azure Road are addressed through terracing of landscape planters. These terraces are designed to provide effective privacy screening without compromising soil volumes for semi-mature tree plantings. Finished soil levels will be sloped to further assist in bedding the terraced walls into the landscape. Where feasible, stepped access is provided for residents to gain access to private patios from street level.

The project contributes to the neighbourhood by providing an attractive public parkette tucked back from the junction of Azure Road and Azure Blvd. Building entry plazas provide opportunities for public seating and gathering along all three sides.

On the level 5 amenity terrace, the range of programs include an outdoor kitchen and dining, outdoor lounges, sun lawn and urban agriculture planters. A trellis with catenary lighting will enclose and protect the kitchen/ dining space with attractive timber decking. Trees will be planted in raised planters to provide additional shade.

PRECEDENT IMAGERY



3 MAY 17-24 ISSUED FOR DP RESPONSE
2 APR 12-24 ISSUED FOR DP
1 FEB 10-24 ISSUED FOR DP
no. date: item:

Revision:

Project No: 21122
Durant Kienit Ltd.
102-1537 West 8th Avenue
Vancouver BC V6H 1H5
T: 604 694 4511
F: 604 694 0577
www.dkbc.ca

Project:
6071 AZURE ROAD
RICHMOND, BC

Drawn by: AGT JH

Checked by: PK

Date: MAY 2024

Scale: NTS at 1:117.0mm

Drawing title:

COVERSHEET

Project No:

21122

Sheet No:

L1.0

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
June 12, 2024

From: susancampbell@shaw.ca
Sent: June 11, 2024 8:26 AM
To: CityClerk
Subject: DP 23-023854 for 6071 Azure Road

To Development Permit Panel	
Date:	JUNE 12, 2024
Item #	1
Re:	DP 23-023854

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

City Clerk:

I sent a letter of opposition to the original rezoning of this property citing traffic concerns. Apparently those concerns were not considered as Council passed the rezoning and now we are at the Development Permit phase. I imagine my concerns will continue to be ignored but once again I would like to restate and re-emphasize my concerns.

I live at 6051 Azure and hospital personnel use our neighbourhood to park in preferring to park here for free than pay the parking fee in the hospital parking parkade. Visitors to the hospital also use the area for free parking as well. There is just no parking in the area at all and I cannot imagine the chaos that will occur when the City adds another potentially 330 cars in the area trying to find parking. It is madness. I will, of course, speak through the ballot box but the damage has been done. I urge City Council to not pass this DP – stop the development at this stage. There is no parking and even if Council decided to implement resident parking only in our area (which I asked for years ago) adding a potential of 330 additional cars will not help.

I urge City Council to not issue the DP.

Best wishes, Susan





City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 31, 2024

From: Joshua Reis
Director, Development

File: DP 21-934620

Re: **Application by Zhao XD Architect Ltd. for a Development Permit at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 25 townhouse units at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road on a site zoned "Medium Density Townhouses (RTM3)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum front yard (north yard) and exterior side yard (east yard) from 6.0 m to 5.5 m.
 - b) Reduce the minimum lot width from 50.0 m to 43.0 m.

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

JR:cl
Att. 3

Staff Report

Origin

Zhao XD Architect Ltd. has applied on behalf of 1085796 BC Ltd., 1209136 BC Ltd., and XWJ Enterprises Ltd. (Directors: Jia Xun Xu, Hua Han and Jie Xu, respectively) to the City of Richmond for permission to develop 25 townhouse units at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road, on a site zoned “Medium Density Townhouses (RTM3)”. A location map of the subject site is provided in Attachment 1.

The site is being rezoned from the “Small-Scale Multi-Unit Housing (RSM/L)” zone to the “Medium Density Townhouses (RTM3)” zone for this project under Richmond Zoning Bylaw 8500, Amendment Bylaw 10378 (RZ 18-829337). The Bylaw was given third reading at the Public Hearing held May 16, 2022, and the applicant is working to complete all of the rezoning requirements.

A Servicing Agreement is required as a condition of rezoning bylaw adoption for servicing and frontage improvements, including construction of new sidewalks and treed/grass boulevards along No. 2 Road and Blundell Road, and widening of the existing driveway crossing to be shared with 8091 No. 2 Road to a width of 7.5 m, consistent with the City’s Engineering Design Specifications.

Development Information

Please refer to attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 2).

Background

The subject site is located on the southwest corner of the intersection of No. 2 Road and Blundell Road. The site currently consists of six properties, each containing an existing single-detached dwelling and each having an individual driveway crossing to either No. 2 Road or Blundell Road. Existing development immediately surrounding the subject site is as follows:

- To the north: Immediately across Blundell Road, are lots zoned “Small-Scale Multi-Unit Housing (RSM/L)”, each containing single-detached dwellings and which are designated for “Arterial Road Townhouse” development under the Arterial Road Land Use Policy in the Official Community Plan (OCP).
- To the east: Immediately across No. 2 Road, are lots zoned “Community Commercial (CC)”, “Community Commercial (ZC14) – Blundell Road”, and “Neighbourhood Commercial (CN)”, which are occupied by the Blundell Plaza shopping centre.
- To the south: A lot zoned “Medium Density Townhouses (RTM1)”, containing 10 townhouses fronting No. 2 Road.
- To the west: Are lots zoned “Small-Scale Multi-Unit Housing (RSM/L)”, fronting Cantley Road, one of which contains a duplex and the other contains a single-detached dwelling. To the west, fronting Blundell Road, is a lot zoned “Medium Density Townhouses (RTM1)”, containing 16 townhouses.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on May 16, 2022. At the Public Hearing, concerns about the development proposal were expressed both in person and via written submissions. The nature of the concerns was primarily as follows:

- Comments respecting the proposed form of development with a preference to see apartment housing, which may be more affordable and have a lower lot coverage to enable tree and wildlife retention.
- The residents of the existing neighbouring townhouse site to the south at 8091 No. 2 Road were opposed to the proposed use of the shared driveway for vehicle access to the subject site due to cost-sharing and maintenance concerns, increased volume of traffic and parking, and traffic safety.

The proposed use is in compliance with the Official Community Plan land use designation and the Arterial Road Land Use Policy, and the applicant is proposing a townhouse development consistent with that designation. The retention of existing healthy trees was determined as part of the Rezoning Application and replacement of trees proposed for removal is proposed to be provided at a greater than 2:1 ratio.

In response to the concerns raised about the driveway use, staff have confirmed that there is an existing Statutory Right-of-Way (SRW) for Public-Right-of-Passage registered on Title of the townhouse site to the south at 8091 No. 2 Road for shared use of the driveway to access the subject site and that the driveway crossing will be widened and frontage improvements undertaken consistent with the City's current design standards. This approach serves to reduce the number of driveway crossings which can otherwise contribute to vehicle and pedestrian conflicts. Staff have continued to work with the applicant to encourage them to come to an agreement with the owners of the neighbouring townhouse site on the cost-sharing and maintenance of the driveway. To-date the applicant has advised that their efforts to engage their neighbours on this matter are ongoing and that the two parties are close to finalizing the terms of the agreement. The applicant has advised that the two parties will finalize the agreement as the proposal moves forward to construction stage.

During the rezoning process, staff also identified the following design issues to be resolved at the Development Permit (DP) stage:

- Detailed design review for compliance with the DP Guidelines for townhouses in the OCP.
- Review of the size and species of proposed new trees to ensure an appropriate mix of deciduous and coniferous tree species.
- Refinement of the common outdoor amenity space design and programming.
- Review of accessibility features, including the provision of Convertible Units and aging-in-place features in all units.
- Review of the sustainability features proposed as part of the development.

- Review of any necessary noise attenuation features to be incorporated into the design to mitigate impacts from traffic noise, as well as confirmation that the noise generated by any proposed exterior mechanical systems complies with City bylaws.

Through the review of this DP Application, staff worked with the applicant to address these issues to staff's satisfaction and to ensure that the proposed architectural form and character is consistent with the intent of the applicable design guidelines contained within the OCP. The applicant has made revisions to the proposal to address the design issues identified, including:

- Revising the Landscape Plan to increase tree sizes and provide a greater variety of tree species throughout the site, as well as to refine the common outdoor amenity space design to provide for greater shrub and tree planting.
- Demonstrating on the plans that all applicable accessibility features are incorporated into the design of the four Convertible Housing units and that all units contain aging-in-place features.
- Describing the sustainability features proposed as part of the development, including confirmation that the proposed design will comply with the Energy Step Code.
- Incorporating noise attenuation features into the building design to mitigate traffic noise impacts consistent with the report recommendations by a registered Acoustic Engineer in order to meet the City's noise standards for interior living spaces, such as upgraded glazing and exterior wall assemblies (wall and glass type/thickness) for specific areas of the buildings, as shown on the drawings.
- Providing confirmation that noise associated with operation of the proposed exterior mechanical system (e.g., heat pump condenser units) will comply with the City's noise regulation bylaw and the City's guidelines for interior noise standards.

Staff Comments

The proposed scheme attached to this report (Plans # 1 to 4.I) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP Application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the "RTM3" zone, with the exception of the zoning variances noted below.

Zoning Compliance/Variations (staff comments in *bold*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum front yard (north yard) and exterior side yard (east yard) from 6.0 m to 5.5 m.

Staff supports the proposed variance for the following reasons:

- *It assists with off-setting the reduced lot dimensions resulting from road dedication to accommodate the required frontage improvements along both No. 2 Road and Blundell Road. Furthermore, the distance between the proposed buildings and the curb of the road remains at approximately 9.0 m despite the technical variance.*

- *Although the setback is reduced, the proposal maintains consistency with the minimum private outdoor space guidelines in the OCP (30 m² per unit) through the provision of a combination of yards at grade as well as secondary balconies along the drive-aisle on the second level of the three-storey units.*
- *Due to its location on an arterial roadway, the applicant has submitted an acoustic report and documentation by registered Acoustical and Mechanical Engineers, which confirm that the proposal will comply with the standards for interior noise levels and thermal comfort conditions in the OCP. Prior to DP issuance, a traffic noise covenant is to be registered on Title for public awareness and to ensure construction complies with the City's standards.*

This variance was identified as part of the Rezoning Application and no concerns on this matter were raised by members of the public at that time.

- b) Reduce the minimum lot width from 50.0 m to 43.0 m.

Staff supports this as it is a technical variance due to the resulting lot geometry after land assembly and the lot width measurement being derived using the shorter frontage on a corner lot. The proposal demonstrates that a functional site plan that meets the design guidelines in the OCP is achievable for this townhouse proposal despite the technical variance.

Advisory Design Panel Comments

The Advisory Design Panel review of the proposal was held on October 5, 2023, and received support to move forward to the DP Panel subject to the applicant giving consideration to the comments identified by the Panel members. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The proposed townhouses at the subject site have been designed with consideration of the existing surrounding housing context and are consistent with the design guidelines in the OCP for townhouses on arterial roads.
- Three-storey units are proposed along No. 2 Road consistent with that of townhouses to the south, and three-storey units proposed along Blundell Road step down to two-storeys next to existing two-storey townhouse end units to the west.
- Two-storey units in duplex form, with wider than minimum setbacks to the ground and second floors, are proposed along the rear yard interface with existing single-detached housing to the west, consistent with the design guidelines for Arterial Road Townhouses in the OCP (i.e., minimum 4.5 m and 6.0 m, respectively).

Site Planning, Access, and Parking

- The proposed development is for 25 townhouse units on a site that will be approximately 4,040 m² in area after the required road dedication along No. 2 Road and Blundell Road.

- The site layout consists of seven buildings located on either side of a drive-aisle that runs parallel to No. 2 Road and then west to run parallel to Blundell Road, as follows:
 - Two three-storey buildings are proposed fronting No. 2 Road, on the east side of the north-south leg of the drive-aisle, each of which contain six units (Buildings 1 and 2).
 - Two three-storey buildings are proposed fronting onto Blundell Road, on the north side of the east-west leg of the drive-aisle, one of which is a fourplex and the other a triplex (Buildings 3 and 4). The end unit at the west end of Building 4 steps down to two-storeys consistent with that of the existing adjacent townhouse end unit to the west.
 - Three two-storey duplex buildings are proposed on the west side of the north-south leg of the drive-aisle, along the rear yard interface with existing single-detached housing (Buildings 5 to 7).
- Vehicle access to the subject site was reviewed as part of the Rezoning Application and supported by the City's Transportation Department. Vehicle access to the site is proposed from No. 2 Road via the existing adjacent driveway crossing to the south at 8091 No. 2 Road, over which is secured a SRW for Public-Right-of-Passage for shared access to the subject site and which is to be widened to a total of 7.5 m as part of this development. As part of the Rezoning Application for the subject site, the applicant is required to register a reciprocal SRW for Public-Right-of-Passage on Title allowing residents and visitors of both sites to cross over the shared drive-aisles.
- Pedestrian access to the site is proposed from both No. 2 Road and Blundell Road via pathways between buildings, as well as via the shared driveway. The dual use of the shared driveway by both vehicles and pedestrians is highlighted by its decorative surface treatment at the entry.
- On-site parking is provided consistent with Richmond Zoning Bylaw 8500. Resident vehicle parking spaces are proposed in individual garages, while surface parking spaces are provided at various locations on-site for visitors. Bike parking is also proposed within individual garages, while a bike rack for visitors is proposed at the pedestrian access to the site between Buildings 2 and 3.
- A centralized storage room that is adequately sized to accommodate the required waste and recycling bins is incorporated into the south end of Building 1 near the entrance to the site for ease of servicing.

Architectural Form and Character

- The proposed building massing and height is intended to be sympathetic to and compatible with that of the existing surrounding context of varied development such as three-storey townhouses along the arterial roads, two-storey housing to the west and commercial development immediately across the street and on the northeast corner of No. 2 Road and Blundell Road.
- The proposed architectural character is inspired by the "French style" with an integration of the main mansard roof with the upper floor windows, creating a dormer-like expression that reflects a traditional residential character and assists with breaking down the apparent building height.

- The design employs repetition of typical residential façade components such as covered unit entries or entries accentuated with architectural detailing (e.g., pilasters and cornices) that are in alignment with upper floor windows, which assist to define each individual townhouse unit and to create a rhythm of expression along the street, while appropriate façade and colour variations are also provided to minimize monotony.
- Façade articulation and the proposed material and colour palette assist with providing visual interest and breaking down the buildings into smaller components. Masonry veneer cladding is proposed for portions of the ground floor walls while stucco and metal roofing in varying shades of the colour palette is proposed on upper stories.

Open Space & Landscape Design

- Common outdoor amenity space is centrally located on-site and is sized in accordance with the design guidelines in the OCP (150 m²). The space contains bench seating, a children's play structure that provides for climbing, jumping, sliding and imaginative play, a lawn area, as well as a variety of plant material and a Katsura Tree.
- Private outdoor space for each of the units is provided consistent with the size guidelines in the OCP (min. 30 m² per unit) and is primarily in the form of yards at grade, with secondary balconies along the internal drive-aisles for the street-fronting units.
- On-site tree retention and removal was assessed as part of the Rezoning Application, at which time it was identified that:
 - One tree on the subject site, as well as one shared tree, a hedge and five trees on the neighbouring property to the west at 8080 Cantley Road, are to be retained and protected (Trees # 385, 391, A to E). To ensure that retained trees are protected and maintained, the applicant is required to submit a Tree Survival Security in the amount of \$10,000.00 prior to final adoption of the rezoning bylaw.
 - 12 trees, including two significant trees, are to be removed and 26 replacement trees are required to be planted and maintained on-site.
- The Landscape Plan shows the trees that are to be retained and removed, and also shows that a mix of 31 deciduous and coniferous replacement trees are proposed to be planted and maintained on-site, which exceeds the required number of replacement trees (i.e., Columnar Bowhall Maple, Katsura Tree, Dawyck Gold Beech, Vanderwolf's Pyramidal Limber Pine, and Pink Flowered Japanese Snowbell).
- A variety of shrubs, grasses, perennial plants, and groundcovers are also proposed on-site, including (but not limited to): Azalea, Boxwood, Hydrangea, Skimmia, Viburnum, Evergold Japanese Sedge, Dwarf Fountain Grass, False Spirea, and Western Sword Fern.
- The Landscape Plan indicates that all soft landscaped areas are to be equipped with a high-efficiency automatic irrigation system designed to industry standards.
- To define the street edge and clearly distinguish between public and private space along the street frontages, low fencing with pedestrian gates is proposed, while solid wood privacy fencing is proposed around the perimeter of the site.

- A concept for exterior lighting is provided and includes low bollard lighting at pedestrian access points, pathways and in the common outdoor amenity space, as well as downward-oriented building-mounted lighting at unit entries, along the drive-aisle and between buildings.
- To ensure that the Landscape Plan is adhered to, the applicant is required to submit a Landscaping Security in the amount of \$206,124.58, which is based on 100 per cent of the landscape cost estimate prepared by the Registered Landscape Architect (including installation and a 10 per cent contingency) prior to DP issuance. The applicant must also enter into a legal agreement to accompany the Landscaping Security, which sets the terms for use and release of the security.

Indoor Amenity Space

- Consistent with the OCP, and as considered as part of the Rezoning Application, the applicant proposes to submit a contribution in the amount of \$55,961.00 to the City's Leisure Facilities Reserve Fund prior to rezoning bylaw adoption in-lieu of the provision of common indoor amenity space on-site.

Accessible Housing

- The proposed development includes four Convertible Units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair or with mobility constraints. The potential conversion of these units will require the installation of a stair lift.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell handrails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability

- The applicant has submitted written confirmation from their certified Energy Advisor that the proposed design will meet BC Energy Step Code 3 with a low carbon energy system. The key technical elements that enable this performance target to be achieved include additional insulation in building assemblies (walls, ceilings, roof, floors, slab), electric hot water tank, air source heat pumps for both heating and cooling and a heat recovery ventilation system. To minimize visual impact, the heat pump condenser units for the three-storey buildings are proposed to be located on the second-floor balconies along the internal drive-aisle while the condenser units for the two-storey buildings are proposed to be tucked into the articulated rear building façades. The applicant has provided a report from an acoustical engineer confirming that the heat pumps will comply with the City's Noise Regulation Bylaw.

- The proposed energy performance target is consistent with the provisions for in-stream applications that were submitted to the City prior to October 31, 2023, subject to the DP application being considered and endorsed by the DP Panel and a complete Building Permit application being submitted prior to October 31, 2024. Should the applicant be unable to meet these deadlines, the proposal must be updated to meet the current BC Energy Step Code performance targets (e.g., Step 3 + EL-4).
- Additional environmentally sustainable features of the proposal identified by the applicant include:
 - Energized outlets to support electric vehicle (EV) charging for all resident parking spaces, as required by Richmond Zoning Bylaw 8500.
 - Stucco made from all natural ingredients to be used as the primary cladding material.
 - Permeable pavers to maximize stormwater infiltration potential.

Crime Prevention Through Environmental Design

- The applicant has identified that the proposal responds to the following principles of CPTED, as encouraged in the design guidelines contained within the OCP:
 - Natural access control is demonstrated through a clearly-defined vehicle access point and individual unit entries, along with low fencing and landscaping to differentiate between public and private space without impeding natural surveillance.
 - Natural surveillance is also facilitated by the centralized location of the common outdoor amenity space, and windows and balconies overlooking the internal drive-aisle, pathways, spaces between buildings, and providing “eyes on the street” along No. 2 Road and Blundell Road. Lighting and clear sightlines provide unobstructed views throughout the site.
 - To ensure that the site is seen as a defensible space, the future strata council will need to ensure that landscaping, lighting and equipment is maintained and kept operable so that spaces are used for their intended purpose.

Site Servicing and Off-site Improvements

- Servicing and off-site improvements to support the proposed development were identified during the Rezoning Application review process and are required to be designed and constructed through a Servicing Agreement. The scope of the required works includes:
 - Design and construction of potential storm sewer upgrades, removal of a portion of an existing sanitary sewer line, as well as replacement of a portion of an existing water main that may be impacted by construction and the required upgrades.
 - Replacement of the existing boulevard condition with a new 2.0 m wide sidewalk at the new property line and minimum 1.5 m wide treed/grass boulevard along both No. 2 Road and Blundell Road, as well as widening of the existing driveway crossing at 8091 No. 2 Road to a width of 7.5 m consistent with the City’s design specifications.
- To accommodate the required works and potential future road widening, road dedication ranging from approximately 0.9 m to 2.75 m is required along No. 2 Road and Blundell Road as secured through the Rezoning Application.

Conclusion

This proposal is for a 25-unit townhouse development on a land assembly involving six lots at 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road.

The applicant has addressed the design issues identified through the Rezoning Application review process, as well as additional staff comments regarding site planning, urban design, architectural form and character and landscape design identified as part of the DP Application review process. The proposal provides an appropriate response to the surrounding townhouse and low-density housing context and conforms to the applicable policies and design guidelines contained within the OCP.

The proposed development complies with the requirements of the “RTM3” zone, with the exception of the variances discussed.

On this basis, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Cynthia Lussier
Planner 2
(604-276-4108)

CL:he

- Att. 1. Location Map
 2. Development Application Data Sheet
 3. Excerpt from the October 5, 2023 Advisory Design Panel meeting minutes and the Applicant's design response

The following are to be met prior to forwarding this application to Council for issuance:

1. Final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 10378.
2. Receipt of a Letter of Credit or other form of security acceptable to the City for landscaping in the amount of \$206,124.58 (100% of the cost estimate provided by the Registered Landscape Architect, including all materials, installation, and a 10% contingency). To accompany the landscaping security, a legal agreement that sets the terms for use and release of the security must be entered into between the applicant and the City.
3. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates the impacts of traffic noise to the proposed dwelling units while still enabling appropriate interior thermal conditions to be met. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces, and subsequent updates as they may occur.
4. Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City’s Consolidated Fees Bylaw No 8636, as amended.

Prior to future Building Permit issuance, the applicant is required to complete the following:

- Incorporation of accessibility measures in Building Permit plans and construction, as determined via the Rezoning and Development Permit applications (e.g., Aging-in-place features in all units and four Convertible Units).
- Incorporation of energy efficiency measures in Building Permit plans and construction to meet or exceed the applicable Energy Step Code performance target.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



Development Application Data Sheet

Development Applications Department

DP 21-934620

Address: 8031, 8051, 8071 No. 2 Road and 5760, 5780, 5786 Blundell Road

Applicant: Zhao XD Architect Ltd.

Owner: 1085796 BC Ltd.

1209136 BC Ltd.

XWJ Enterprises Ltd.

Planning Area(s): Blundell

	Existing	Proposed
Site Area:	4,272.6 m ² (45,988.8 ft ²)	4,040.1 m ² (43,486.5 ft ²) after road dedication
Land Uses:	Single Detached Residential	Townhouse
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Small-Scale Multi-Unit Housing (RSM/L)	Medium Density Townhouses (RTM3)
Number of Units:	6	25

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.70	0.70	None permitted
Floor Area (Net):	Max. 2,828.07 m ² Max. (30,440.2 ft ²)	2,828.07 m ² (30,440.2 ft ²)	None permitted
Lot Coverage – Buildings:	Max. 40%	39.9%	None
Lot Coverage – Non-porous Surfaces:	Max. 65%	64.8%	None
Lot Coverage – Live Plant Material:	Min. 25%	25%	None
Setback – Front Yard (North):	Min. 6.0 m	5.5 m	To reduce from 6.0 m to 5.5 m
Setback – Exterior Side Yard (East):	Min. 6.0 m	5.5 m	To reduce from 6.0 m to 5.5 m
Setback – Interior Side Yard (West):	Min. 3.0 m	Bldg. 4 – 3.0 m Bldgs. 5 to 7 – min. 4.5 m (50% ground floor) and 6.0 m (50% ground floor & all second floor)	None
Setback – Rear Yard (South):	Min. 3.0 m	3.0 m	None
Building Height:	Max. 12.0 m (3 storeys)	Bldgs. 1 to 4 – 12.0 m Bldgs. 5 to 7 – 9.0 m	None
Minimum Lot Depth:	Min. 35.0 m	90.3 m	None

	Bylaw Requirement	Proposed	Variance
Minimum Lot Width:	Min. 50.0 m	43.8 m (average)	To reduce from 50.0 m to 43.0 m
On-site Vehicle Parking Spaces:	Min. 50 (R) and 5 (V)	50 (R) and 5 (V)	None
Standard Size:	Min. 50% (28)	69% (38)	None
Small Size:	Max. 50% (27)	31% (17)	
Tandem Vehicle Parking Spaces:	Max. 50% (25)	44 % (22)	None
Accessible Vehicle Parking Spaces:	Min. 2% - 1 Van Accessible Parking Space	1 Van Accessible Parking Space	None
Total Vehicle Parking Spaces:	55	55	None
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6 m ² /unit (i.e., 150 m ²)	150 m ²	None

Excerpt from the Minutes from
The Advisory Design Panel Meeting

Thursday, October 5, 2023 – 4:00 p.m.
Remote (Webex) Meeting

1. **DP 21-934620 – 25-UNIT TOWNHOUSE DEVELOPMENT WITH VEHICLE ACCESS VIA THE ADJACENT SITE TO THE SOUTH**

ARCHITECT: Zhao XD Architect Ltd.

LANDSCAPE ARCHITECT: PMG Landscape Architects

PROPERTY LOCATION: 8031, 8051, 8071 No. 2 Rd and 5760, 5780, 5786
Blundell Road

Applicant's Presentation

Architect Xuedong Zhao, Zhao XD Architect Ltd., and Landscape Designer Denitsa Dimitrova, PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- consider relocating the proposed accessible parking space from the west of the common outdoor amenity space to an area adjacent to the internal drive aisle at the corner and to make it more centrally located and accessible to residents of the convertible units;

The other visitor parking locations (V1, V2 and V3) are facing the drive aisle with busier traffic, which are less ideal for accessible parking in terms of maneuvering and wheelchair path safety. The suggested location at the corner has the same concern as it would be immediately adjacent to the other two driveways. Since the development site is not very large, the proposed V4 parking space is in an accessible location.

- consider relocating the mail kiosk and visitor bike rack from the main vehicle entrance to the site to the area near Unit A2 in Building 5 and the would be relocated accessible parking space to make them less visible from the street but more accessible to residents;

The mail kiosk and visitor bike rack have been relocated (see revised plans).

- appreciate the provision of aging-in-place features to all of the townhouse units;
Noted.

- consider installing wider doorways to the secondary bedrooms of the four convertible units to accommodate mobility devices;

The doors to other two bedrooms are changed to wider door width per suggestions (see updated Sheet A13).

- not concerned about the proposed colour palette as they don't appear overly monotonous;
- the proposed design of Building 3 at the corner of No. 2 Road and Blundell Road does not incorporate landmarks; agree with staff comment that the applicant needs to incorporate a unique feature into the building design to improve the corner treatment in order to better highlight its presence at the street intersection;

A landscaping option (i.e., a unique on-site planting area) is proposed to provide visual interest at the corner to respond to this ADP comment (see updated site plan with notes and landscape architectural plans).

Furthermore as originally proposed, the east elevation of Building 3 (for the Unit 3 amongst the Unit B series) is specially designed for street frontage exposure with more glazing (windows) and more decorative items (brackets), while the other Unit B series come with simpler articulated façade treatments since they are not facing the No.2 Road and Blundell Road street corner.

The "corner turret" in rectangular shape is designed as a unique feature for the building to improve its corner treatment in order to better highlight a presence at the street intersection.

- appreciate the provision of permeable pavers on certain portions of the subject site; however, consider a regular asphalt or porous asphalt treatment in lieu of permeable pavers at the main vehicle entrance to the site as permeable pavers may not be durable enough and not able to support in the long term the expected heavy use of large garbage and recycling trucks;

For the pavement articulations for the "street front" as well as for the south neighbour (in light of shared driveway use) the proposed permeable pavers are an aesthetically better selection for the driveway than asphalt paving. The proposed permeable pavers are selected to match those on the neighbouring site to the south for its strength and durability to suit the traffic load requirements (see Sheet L-1).

- consider installing gable roofs for the proposed townhouse buildings to make the proposed development fit better into the existing neighbourhood, break down the overall mass of the buildings, and provide more identity to individual units;

Very minor gable roof accents are used in the design. As the architectural form/design for the development is inspired by "French style", with mainly mansard roof (or gambrel-style hip roof), little gable roofs are proposed to fit this type of design intent. As the neighbourhood surrounding the site consists of a variety of different building types and styles, including both hip and gable

roofs, as well as commercial flat buildings across the street, the architectural form and scale/massing as proposed for the development should fit well to the existing neighborhood.

The townhouse design employs such typical façade components to be repeated such as “front door and porch” in alignment with 2nd floor and 3rd floor windows with roof dormer, to make their visibility for individual townhouse units, as well as for their unity within their building complex. They can thus clearly read as “individual units” well embedded in the buildings and building complex.

- the main doors to the two-storey rear units facing the internal drive aisle need further architectural articulation to emphasize the main entries to units and make them more welcoming relative to the amount of garage doors at the back and in order to mitigate the monotony of the mews;

The variations in colour (“Aged Pewter” as chosen from colour palette) on portions of these 3 two-storey buildings are provided as suggested to emphasize the entries. See revised color elevations and perspectives for the entry areas on Buildings 5, 6 & 7 where the different colors are applied.

The colour of the entrance doors is also selected for its prominence, together with the articulated door canopies which are proposed above the doors to emphasize the main entry to townhouse units for the two-story buildings. Differentiation of the entrance door and garage door is further achieved with recessed walls (for both ground and upper stories) and recessed roof lines/eaves for the entrance doors, which also provide more transitional space at door front for functionality. Additional articulations are also employed for the entrance doors, such as the decorative brackets and lighting fixtures. To mitigate “the monotony of the mews”, the building form for Building 7 is designed slightly differently from Buildings 5 and 6.

- consider a north-south orientation for the lane at the back of Buildings 3 and 4 with the open end of the lane facing Blundell Road to create a more arterial face to the Blundell Road frontage of the proposed development;

The development is on a corner lot facing two streets. The intent of City design guidelines is to avoid “side elevation” effects for the street frontage of the buildings as much as possible. Since the property has shorter frontage along Blundell Road than along No. 2 Road, we propose Building 3 with more front façade towards Blundell Road than to No. 2 Road, because we already have Buildings 1 and 2 with good amount of “building frontage” (facades) facing the No. 2 Road. To rotate Building 3 with “side elevation” facing Blundell Road would thus not be beneficial for the design of Blundell Road frontage. In addition, we have already addressed the “side elevation” issue, and the east elevation of Building 3 is designed with modifications for a more front-looking façade (refer to comments/responses for previous items).

- consider wrapping architectural features on the corner of Building 3 at No. 2 Road and Blundell Road to provide more articulation to the building faces highly visible from the street;

As rationalized above, the east elevation of Building 3 (for Unit B series) is specially made for street frontage exposure with more glazing (windows) and more decorative items (brackets), while the other Unit B series come with simpler articulated façade treatments since they are not facing the No. 2 Road and Blundell Road street corner.

The corner “turret” in rectangular shape is used to highlight the building’s presence at the street intersection. The proposed projections and recesses, as well as the breakthrough of the eave line/roof line for the ‘turret’, make it an outstanding architectural feature to achieve the same intent also as suggested by ADP.

- ensure that the proposed stucco exterior wall cladding treatment will achieve its architectural intent for the buildings;

The mix of materials are proposed to break down the apparent use of the stucco. The proposed stucco wall areas are divided and segregated by other building composition elements (such as windows, trims, roof, sills) so that singular oversized stucco wall area is minimized in use. The intent is to mix the stucco wall areas well enough with other building materials, as well as to be applied on walls with recesses/projections in order to avoid a monotony of stucco material concentrated on one or more large exterior wall areas.

- the proposed mail kiosk at the main vehicle entrance to site is overly oriented towards the street; consider relocating to a more central location on the subject site;

The mail kiosk is relocated (see revised Site Plan).

- consider introducing more colour variation to the buildings to visually break down the overall mass of the buildings and prevent the monotonous repetition of architectural expression;

The ADP suggestions are considered and subtle variations have been introduced to the building design.

Since the architectural form/design is inspired by French style, the color variations are mainly the differentiations and interactions between the darker colored roof and the lighter colored building “body”. The vertical projections of window dormers, “chimneys” and “turrets” prevent the architectural composition from being too monotonous as typically presented in the French style. Within the lighter portion of the spectrum of the color palette for the buildings, variations between stucco, trims and stone veneer are introduced for more visual interest. However, additional variations are still added to the street front facades with different stucco colors for the recessed wall portions in the middle of Buildings 1 and 2, and between Building 1 and the garbage/recycling room. A darker colour from within the chosen colour

palette has also been added to portions of Buildings 5 to 7 to better highlight the entries (see revised elevations and perspectives).

- the City could consider installing street trees along the boulevard on No. 2 Road and Blundell Road;

As shown on the landscape plans, Columnar Bowhall Maple trees are proposed on-site in the yards along both frontages, and City street trees are required to be planted in the boulevards along No. 2 Road and Blundell Road.

- consider relocating the BC Hydro kiosk away from the children's play area should the applicant agree to the proposal to shift the children's play area to the west;

The currently proposed BC Hydro kiosk location is relatively hidden and centrally located as intended, as well as in consideration of BC Hydro maintenance requirements for its adjacency to driveway. There appears no better location for the kiosk for site plan design. The children's play area is properly separated from the kiosk for both visual and safety considerations. The children's play area is also well protected by fences and landscaping.

- planting strips fronting Buildings 5, 6 and 7 are very small and in close proximity to the internal drive aisle which could impact their survivability;

Good selections of the plant species are made for survivability of the plants (see landscape plans).

Little-leaf boxwood is proposed at these locations. The species is selected to suit the site condition. Once established this plant is typically quite drought tolerant.

- appreciate the proposed design of the children's play area; the proposed location of the mail kiosk at the main vehicle entrance is preferred by Canada Post as it is close to the road;
- investigate whether the roof overhang on Buildings 1 and 2 along No. 2 Road are over some of the plantings below; consider appropriate measures to ensure survivability of plantings, e.g. installing irrigation;

Good selections of the plant species are made for survivability of the plants (see Landscape Plans). "Valley Fire Pieris" is a plant that also prefers open shade for the best flowering and growth. "Morning Light Japanese Silver Grass" is also a low-maintenance plant. The extent of roof overhang on Buildings 1 and 2 is negligible in comparison of its 2-story height where sunlight and rainwater are accessible.

- support the Panel comment to install street trees along No. 2 Road and Blundell Road due to site's prominent corner location and in order to fit well with the surrounding landscape;

See written response to the item with the same topic above.

- consider revisiting the architectural articulation of Building 3 to better respond to its corner location; and

See two previous written responses to the Item(s) for the same topic.

- consider a terracing treatment for the one-meter high planter wall along No. 2 Road to break down the wall and in order to create a gradual approach to the grade transition along No. 2 Road.

The currently proposed planter also considers the “useable areas” of front yard patio and lawn, where additional layer of planter might make the front yards space less usable. Design revisions are however made for additional layer of the planters (see updated Landscape Plans).

Panel Decision

It was moved and seconded

That DP 21-934620 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



No. DP 21-934620

To the Holder: ZHAO XD ARCHITECT LTD

Property Address: 8031, 8051, 8071 No. 2 Road and
5760, 5780, 5786 Blundell Road

Address: 11181 VOYAGEUR WAY SUITE 255
RICHMOND BC V6X 3N9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum front yard (north yard) and exterior side yard (east yard) from 6.0 m to 5.5 m.
 - b) Reduce the minimum lot width from 50.0 m to 43.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4.I attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$206,124.58 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 21-934620

To the Holder: ZHAO XD ARCHITECT LTD

Property Address: 8031, 8051, 8071 No. 2 Road and
5760, 5780, 5786 Blundell Road

Address: 11181 VOYAGEUR WAY SUITE 255
RICHMOND BC V6X 3N9

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

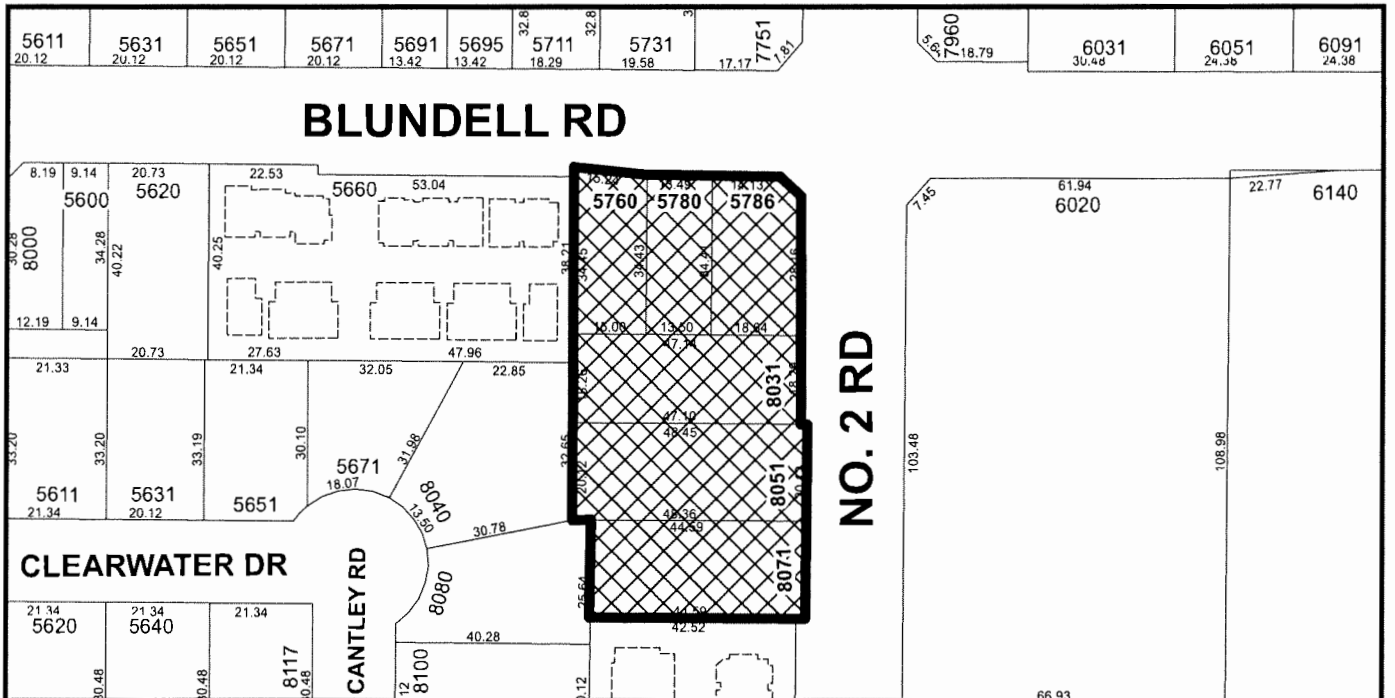
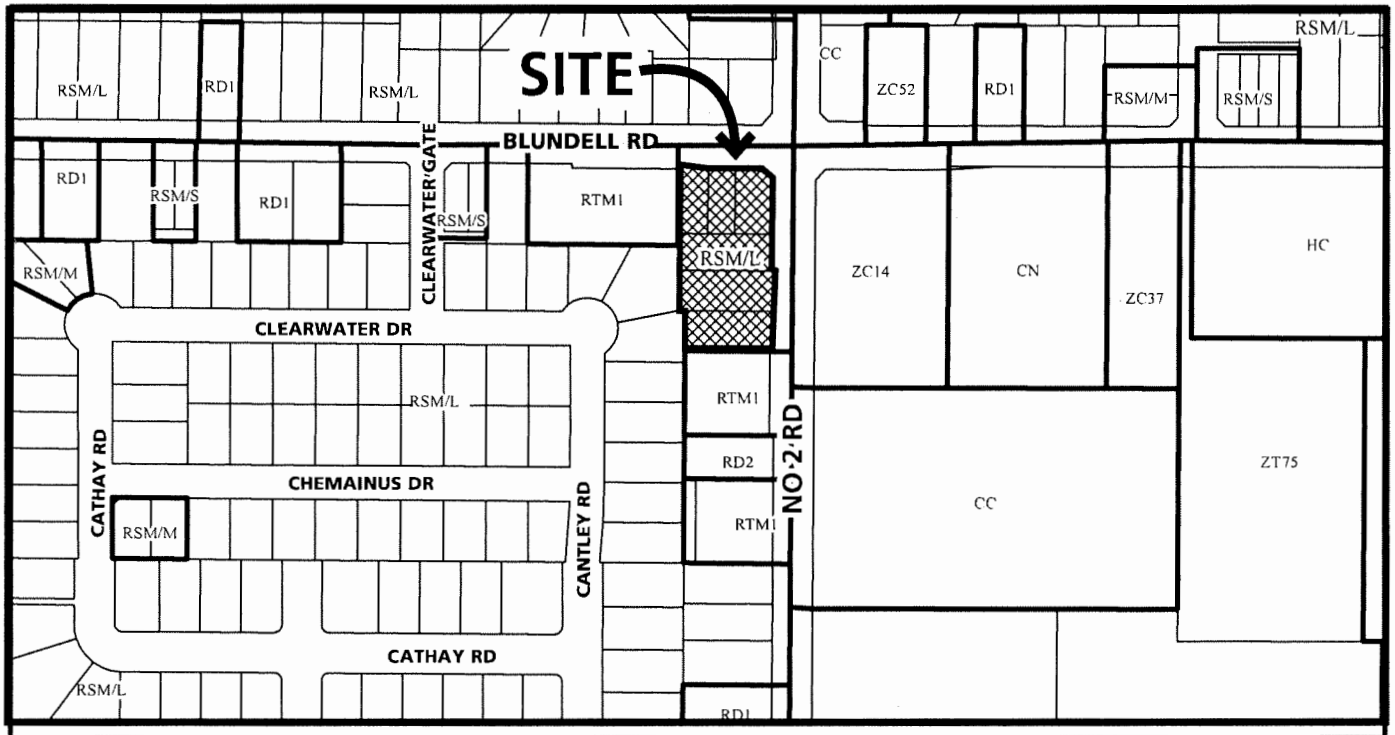
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 21-934620
SCHEDULE "A"

Original Date: 07/07/21

Revision Date: 07/29/24

Note: Dimensions are in METRES



CONTEXT PLAN

SCALE: NTS



F.A.R. CALCULATION: LOT AREA: 43486.0 SQ.FT.

F.A.R. (0.7): FAR (MAX.) = 30440.2 SQ.FT.

UNIT 'A' (COVERTIBLE UNIT)	2X 1239.30	SQ.FT.
UNIT 'A2' (COVERTIBLE UNIT)	2X 1239.30	SQ.FT.
UNIT 'B'	1186.80	SQ.FT.
UNIT 'B2'	1186.80	SQ.FT.
UNIT 'B3'	3X 1186.80	SQ.FT.
UNIT 'B4'	2X 1186.80	SQ.FT.
UNIT 'C'	2X 1236.00	SQ.FT.
UNIT 'C2'	2X 1236.00	SQ.FT.
UNIT 'D'	2X 1160.90	SQ.FT.
UNIT 'D2'	2X 1160.90	SQ.FT.
UNIT 'D3'	2X 1259.10	SQ.FT.
UNIT 'D4'	1259.10	SQ.FT.
UNIT 'E'	1364.70	SQ.FT.
UNIT 'E2'	1298.60	SQ.FT.
UNIT 'F'	1147.2	SQ.FT.

TOTAL PROPOSED = (0.7 FAR) 30440.20 SQ.FT.

F.A.R. CALCULATION: LOT AREA: 4040.10 S.M.

(NUMBERS IN METRIC)

F.A.R. (0.7): FAR (MAX.) = 2828.07 S.M.

UNIT 'A' (COVERTIBLE UNIT)	2X 115.14	S.M.
UNIT 'A2' (COVERTIBLE UNIT)	2X 115.14	S.M.
UNIT 'B'	110.26	S.M.
UNIT 'B2'	110.26	S.M.
UNIT 'B3'	3X 110.26	S.M.
UNIT 'B4'	2X 110.26	S.M.
UNIT 'C'	2X 114.83	S.M.
UNIT 'C2'	2X 114.83	S.M.
UNIT 'D'	2X 107.85	S.M.
UNIT 'D2'	2X 107.85	S.M.
UNIT 'D3'	2X 116.98	S.M.
UNIT 'D4'	116.98	S.M.
UNIT 'E'	126.79	S.M.
UNIT 'E2'	120.65	S.M.
UNIT 'F'	106.58	S.M.

TOTAL PROPOSED = (0.7 FAR) 2828.07 S.M.

AGING IN PLACE FEATURES FOR ALL UNITS.
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS
BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;

NOTE: REQUIREMENTS FOR ELECTRIC VEHICLE (EV) CHARGER SHALL FOLLOW BULLETIN NO. ENGINEERING
-05 AND BYLAW 8500. ALL RESIDENTIAL PARKING SPACES (EXCLUDING VISITOR PARKING), LEVEL 2 EV
CHARGING OUTLETS (208V TO 240V AC AND CURRENT OF 16A TO 80A).

NOTE: 4 CONVERTIBLE UNITS ARE PROVIDED FOR THE DEVELOPMENT.

NOTE: MECHANICAL SYSTEMS IN THIS PROJECT WILL MEET THE THERMAL COMFORT REQUIREMENTS AS
PER THE ASHRAE 55-2004 STANDARD AND SUBSEQUENT UPDATES.

DEVELOPMENT DATA

ADDRESS: #8031- 8071 NO. 2 ROAD, #5760 - 5786 BLUNDELL ROAD
LEGAL DESCRIPTION: 1) LOT 234 EXCEPT: PARCEL E (REFERENCE PLAN LMP40316), PLAN 57659
2) LOT 235 EXCEPT: PARCEL F (REFERENCE PLAN LMP40316), PLAN 57659
3) LOT 236 EXCEPT: PARCEL G (REFERENCE PLAN LMP40316), PLAN 57659
4) SOUTHERLY 60 FEET LOT A EXCEPT; PART ON PLAN LMP43723, PLAN 16911
5) LOT B PLAN 16911
6) LOT 2 EXCEPT FIRSTLY; THE SOUTH 72 FEET AND SECONDLY; PART ON PLAN 43278; PLAN 6188
ALL OF SECTION 24 BLOCK 4 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT

P.I.D. NUMBERS: 003-829-529/003-829-731
003-829-880/004-206-193
003-644-375/001-931-164

PLANNING AREA(S) - ARTERIAL ROAD POLICY

	EXISTING	PROPOSED
SITE SIZE (SM):	4272.6 (45988.8 SF)	4040.1 (43486.5 SF) AFTER ROAD DEDICATIONS
LAND USES:	SINGLE-FAMILY RESIDENTIAL	TOWNHOUSE
OCP DESIGNATION:	NEIGHBOURHOOD RESIDENTIAL	NEIGHBOURHOOD RESIDENTIAL
AREA PLAN DESIGNATION:	OCP ARTERIAL ROAD POLICY	OCP ARTERIAL ROAD POLICY
ZONING:	SINGLE DETACHED (RS-1E)	MEDIUM-DENSITY TOWN HOUSING (RTM3)
NUMBER OF UNITS:	-	25

	BYLAW REQUIREMENT	PROPOSED	VARIANCE
FLOOR AREA RATIO:	0.7 2828.07 SM (30440.2 SF)	0.7 2828.07 SM (30440.2 SF)	NONE
LOT COVERAGE - BUILDING:	MAX. 40% 1616.1 SM (17394.6 SF)	40% 1613.3 SM (17387.4 SF)	NONE
LOT COVERAGE - LIVE LANDSCAPING:	MIN. 25% 1010.0 SM (10871.5 SF)	25% 1010.0 SM (10871.5 SF)	NONE
LOT COVERAGE - NON-POROUS AREA:	MAX. 65% 2626.1 SM (28265.9 SF)	65% 2620.8 SM (28208.9 SF)	NONE
COVERED AREA (SF):	MAX. 10% OF FSR	<10%	NONE
SETBACK - FRONT YARD (NORTH):	MIN. 6.0M	5.5M (BLDG. 3 & 4)	REQUIRED
SETBACK - EXTERIOR SIDE YARD (EAST):	MIN. 6.0M	5.5M (BLDG. 1, 2 & 3)	REQUIRED
SETBACK - INTERIOR SIDE YARD (WEST):	MIN. 3.0M	3.02M & 7.5M (3rd FL.) (BLDG. 4) 5.56M & 6.94M (50%) (BLDG 5 & 6) 4.5M & 6.0M (50%) (BLDG. 7)	NONE
SETBACK - REAR YARD (SOUTH)	MIN. 3.0M	3.0M (BLDG. 7)* 3.0M (1-STORY GARBAGE/BLDG. 1)* 7.32M (MAIN BLDG. 1)	NONE
HEIGHT:	12M (3 STOREYS) 9M (2 STOREYS)	12M (3 STOREYS) 9M (2 STOREYS)	NONE
LOT SIZE (MIN. DIMENSIONS):	(MIN. 50M WIDE) (MIN. 35M DEEP)	45.8M WIDE 90.3M DEEP	REQUIRED NONE
RESIDENTIAL PARKING SPACES:	50 SPACES (2/UNIT)	50 SPACES (2/UNIT)	NONE
VISITOR PARKING SPACES:	0.2 SPACES/ UNIT= 5	5 SPACES	NONE
OFF-STREET PARKING SPACES-TOTAL:	55 SPACES	55 SPACES	NONE
STANDARD SIZE PARKING SPACES:	50% MIN. = 28 SPACES	38 >28 SPACES	NONE
SMALL SIZE PARKING SPACES:	50% MAX. = 28 SPACES	17 <28 SPACES	NONE
TANDEM PARKING SPACES:	(MAX. 50% OF TOTAL PARKING) = 25 SPACES	22 SPACES	NONE
VAN ACCESSIBLE PARKING SPACES:	2% MIN.(FOR VISITOR) =1 SPACE	1 SPACE	NONE
CONVERTIBLE UNITS:	10% PROPOSED UNITS	4 UNITS	NONE
ELECTRIC VEHICLE (EV) CHARGER REQUIREMENTS:	BULLETIN NO. ENGINEERING-05 AND BYLAW 8500	LEVEL 2 EV CHARGING OUTLETS (208V TO 240V AC AND CURRENT OF 16A TO 80A).	NONE
BICYCLE PARKING SPACE-CLASS-1:	1.25 SPACES PER UNIT	2 SPACES PER UNIT	NONE
BICYCLE PARKING SPACE-CLASS-2:	0.2 SPACES PER UNIT	5 SPACES	NONE
AMENITY SPACE - INDOOR:	MIN. 70 SM OR CASH-IN-LIEU	CASH-IN-LIEU	NONE
AMENITY SPACE - OUTDOOR:	MIN. 6 SM PER UNIT	150 SM (1614.6 SF)	NONE
PRIVATE OPEN SPACE	MIN. 30 SM PER UNIT	MIN. 30 SM PER UNIT	NONE

* WITH PERMITTED GROUND FLOOR ENCROACHMENT (LESS THAN 0.6M)

STEP CODE NOTES:

This project will comply with the City of Richmond's Step Code requirements by meeting
Energy Step Code 3 + a Low Carbon Energy System.
Energy efficiency upgrades will include the following as needed:
- Above grade walls: 2x6@16"oc R22 batt + 1.5" exterior rigid insulation
- Ceilings: R50 insulation
- US1-140 windows
- Electric baseboards for space heating or air source heat pump for heating/cooling
- Electric hot water tank for DHW
- HRV for principal ventilation



ZHAO XD
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Tel. (604) 275-8882
Fax (604) 909-1736

Email: info@zhaoarch.com
Web: zhaoarch.com



This drawing shall not be used for construction
unless it is countersigned by the CONSULTANT

DP 21-934620
PLAN # 1
JULY 31, 2024

19JUN/24	DPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DPP
07JUL/21	ROAD DEDICATION
28APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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in whole or in part, is forbidden without the
written permission of the CONSULTANT.
The contractor shall check and verify
all pertinent dimensions and report any
discrepancies to the CONSULTANT
before proceeding with the work.

Project:

TOWNHOUSE
DEVELOPMENT
@ NO. 2 ROAD &
BLUNDELL ROAD

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:

SITE PLAN,
CONTEXT PLAN
& DATA

Date: 2024-05-08

Scale: AS SHOWN

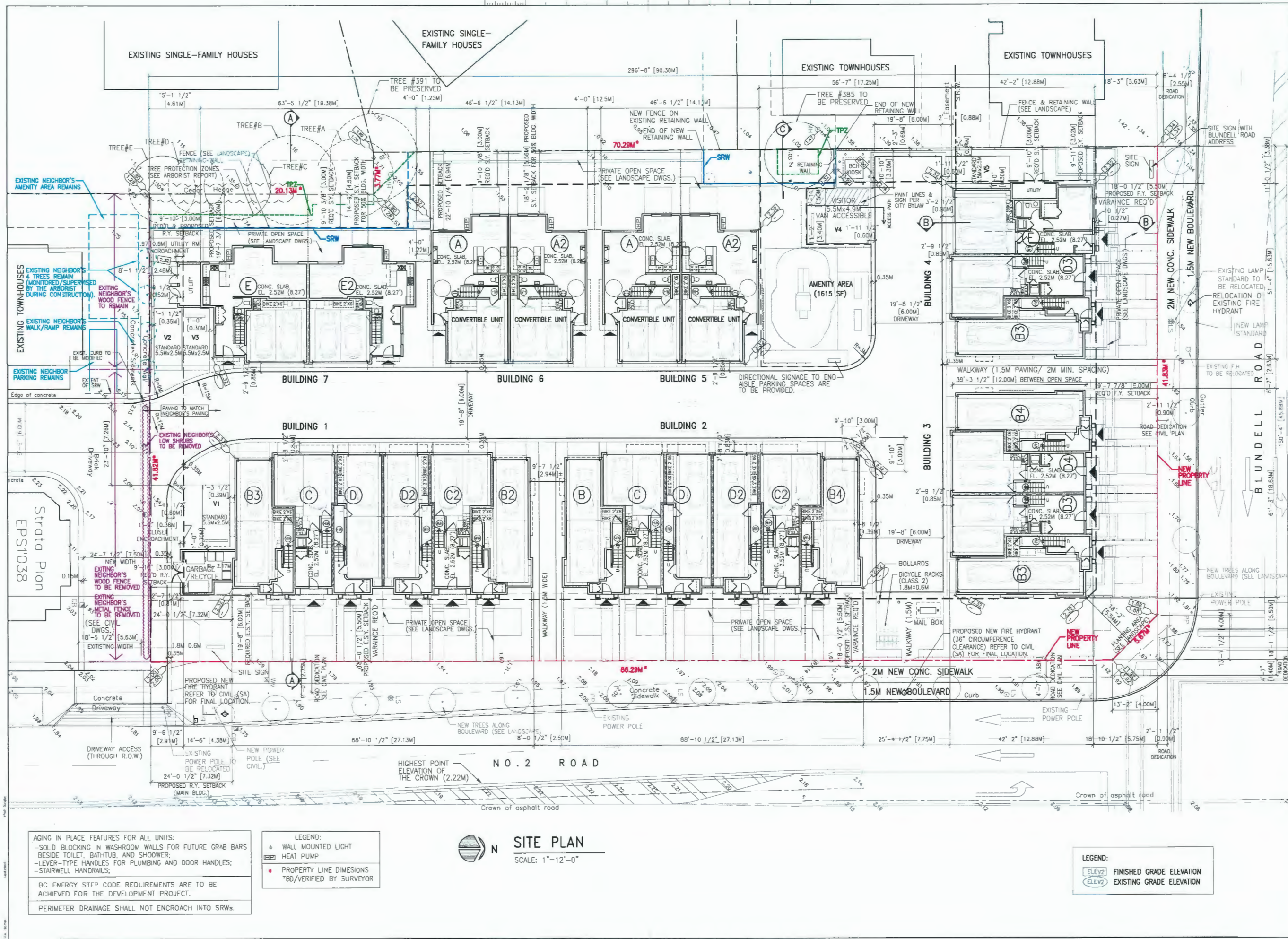
Drawn By: XD ZHAO


Checked By: XD ZHAO

Project No: DP 21-934620

Drawing No.:

A1






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2024-05-17

This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

DP 21-934620
PLAN # 2
JULY 31, 2024

30JUL/24	OPP
17MAY/24	JPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/3DP
07JUL/21	ROAD DEDICATION
26APR/21	3P APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:



A DETAIL NUMBER
B LOCATION SHEET
C DETAIL SHEET

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Project:

TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD & BLUELLE ROAD

8031-71 No. 2 Rd & 5760-88 Blundell Rd., Richmond, BC

Drawing Title:

SITE PLAN, CONTEXT PLAN & DATA

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	

A2

AGING IN PLACE FEATURES FOR ALL UNITS:

- SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB, AND SHOWER;
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
- STAIRWELL HANDRAILS;

BC ENERGY STEP CODE REQUIREMENTS ARE TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT.

PERIMETER DRAINAGE SHALL NOT ENCR OACH INTO SRWS.

LEGEND:

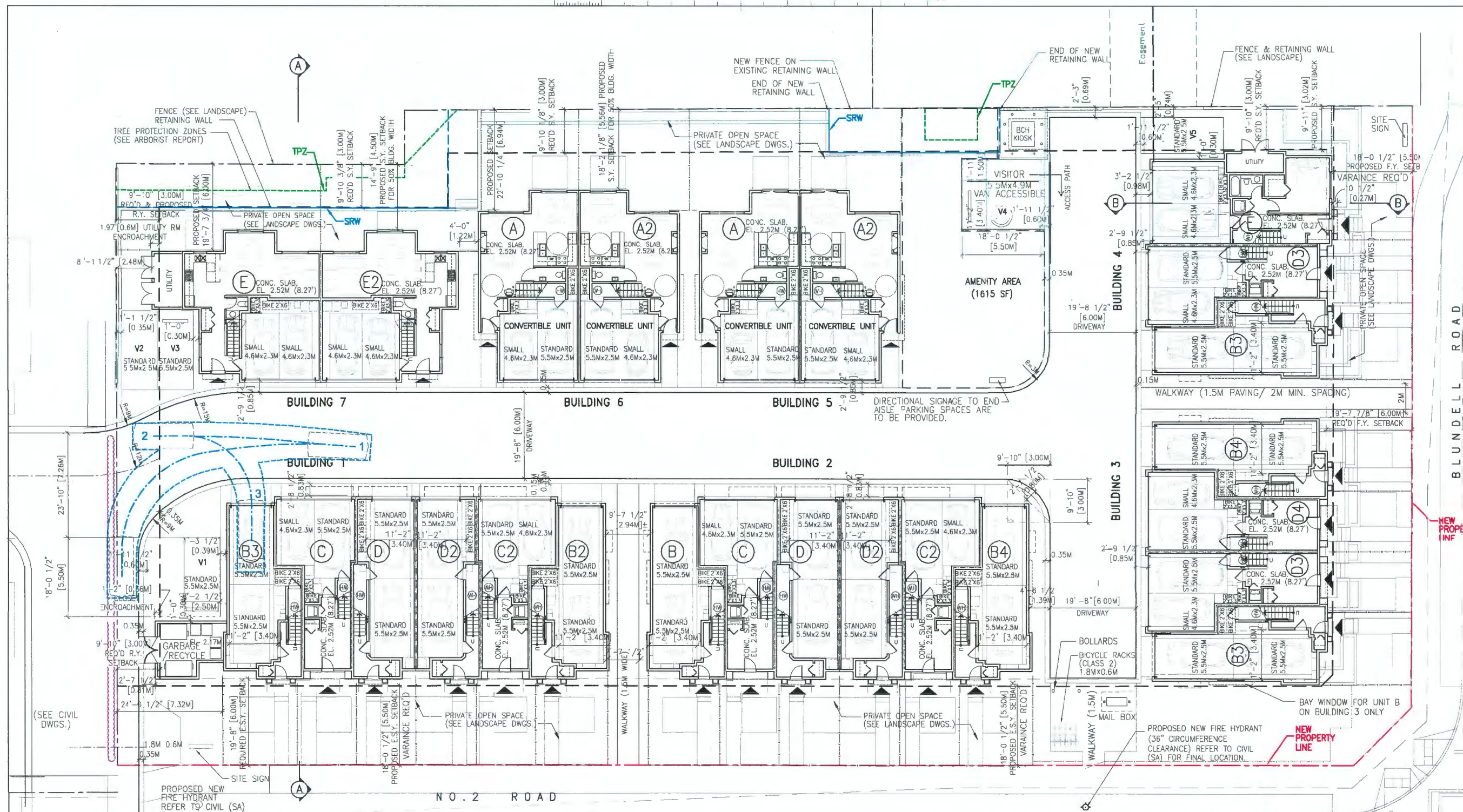
- WALL MOUNTED LIGHT
- HEAT PUMP
- PROPERTY LINE DIMENSIONS TO BE VERIFIED BY SURVEYOR

SITE PLAN
SCALE: 1"=12'-0"

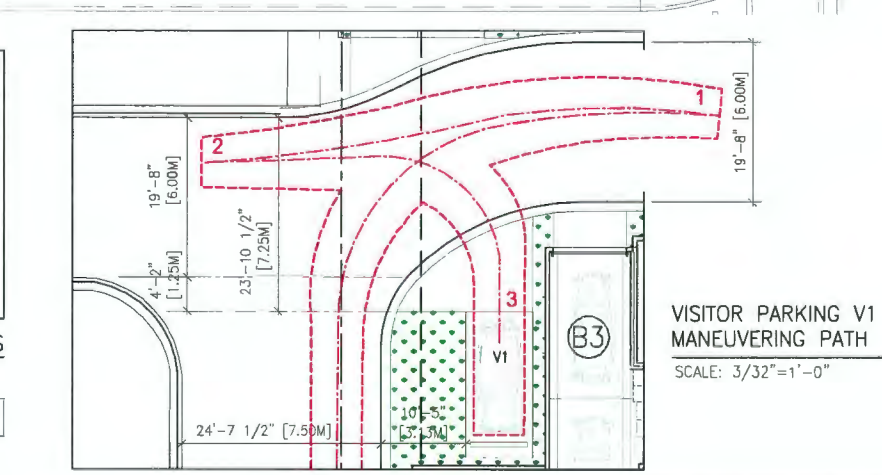
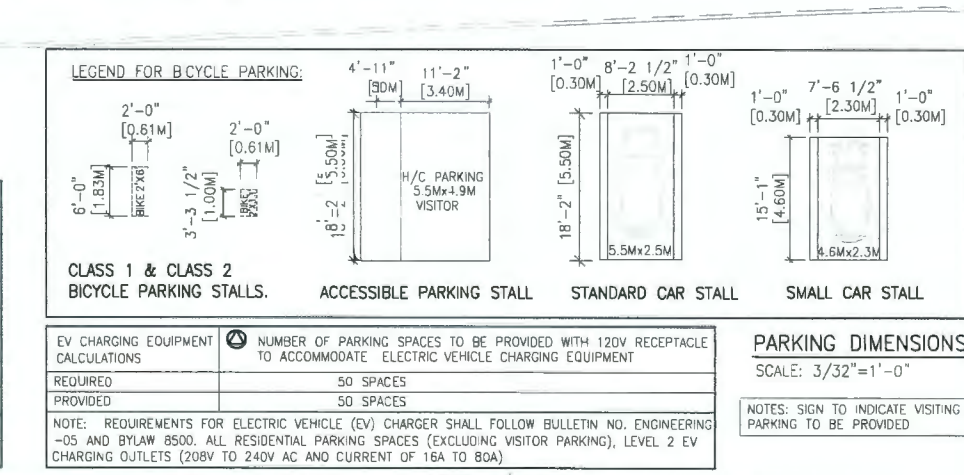
LEGEND:

- FINISHED GRADE ELEVATION
- EXISTING GRADE ELEVATION

This drawing is NOT to be scaled. Use figured dimensions only.

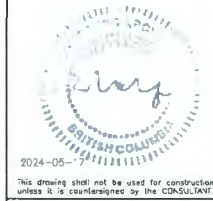


PARKING PLAN			
SCALE: 3/32"=1'-0"			
LOT COVERAGE - BUILDING:			
MAX. 40%	1616.1 SM (17394.6 SF)	40%	1613.3 SM (17387.4 SF)
LOT SIZE (MIN. DIMENSIONS):	(MIN. 50M WIDE) (MIN 35M DEEP)	45.8M WIDE 90.3M DEEP	REQUIRED NONE
RESIDENTIAL PARKING SPACES:	50 SPACES (2/UNIT)	50 SPACES (2/UNIT)	NONE
VISITOR PARKING SPACES:	0.2 SPACES/ UNIT = 5	5 SPACES	NONE
OFF-STREET PARKING SPACES-TOTAL:	55 SPACES	55 SPACES	NONE
STANDARD SIZE PARKING SPACES:	50% MIN. = 28 SPACES	38 >28 SPACES	NONE
SMALL SIZE PARKING SPACES:	50% MAX. = 28 SPACES	17 <28 SPACES	NONE
VAN ACCESSIBLE PARKING SPACES	2% MIN.(FOR VISITOR) = 1 SPACE	1 SPACE	NONE
CONVERTIBLE UNITS:	10% PROPOSED UNITS	4 UNITS	NONE



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**DP 21-934620
PLAN # 2.A
JULY 31, 2024**

30JUL/24	OPP
17MAY/24	OPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DPP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A DETAIL NUMBER
B LOCATION SHEET
C DETAIL SHEET

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Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD & BLUDELL ROAD**

8031-71 No. 2 Rd & 5780-86
Blundell Rd., Richmond, BC

Drawing Title:
PARKING PLAN

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	

A2.4



ZHAO XD
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DP 21-934620
PLAN # 3
JULY 31, 2024

19JUN/24	DPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DPP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUDELL ROAD

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:
STREET ELEVATIONS

Date: 2024-05-08
Scale: AS SHOWN
Drawn By: XD ZHAO
Checked By: XD ZHAO
Project No.: DP 21-934620
Drawing No.:

A7



STREET ELEVATION (NO. 2 ROAD)

SCALE: 3/32"=1'-0"

ALL EXTERIOR WALLS ON THIS ELEVATION TO FOLLOW 15 (WITH EXTRA INTERIOR LAYER OF GWB)

ALL GLAZING ON THIS ELEVATION TO FOLLOW 16 (WITH MIN. OTIC 29) EXCEPT THE REST TO FOLLOW 17 AS NOTED.

EXTERIOR FINISH & COLOR

- STAND SEAM METAL ROOF - VICWEST (PRESTIGE)
SIGNATURE - SMP COATED METAL CHARCOAL 56072
- STUCCO WALL FINISH - OFF-WHITE
BM OC36 NIVEOUS
- HORIZONTAL TRIM BOARD MOULDING - AGED PEWTER
- CULTURE STONE - SPAN HEWN STONE
TIGHT-FITTED MORTAR JOINTS
- JAMES HARDIE PANEL (EASYTRIM) AGED PEWTER
- ALUMN. GUARDRAIL (BLACK)
- DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
C/W 2x4 SILL (SLOPE 15%) & 2x4 SIDE & TOP TRIM
C/W FLASHING OVER
TRIM PAINTED BM OC40 ALBESCENT
- 5" ALUM. GUTTER ON 2X10 WOOD FASCIA BOARD
- PAINTED (TYP.) GREY (COLOR TO MATCH 3)
- LIGHT FIXTURE (MOTION SENSOR LED)
- SOLID CORE WOOD DOOR - BM 2080-10 RASPBERRY TRUFFLE
- GARAGE DOOR: - BM: AF-105 ELKHORN
- POT LIGHTS AT EACH ENTRY
- 2X4 TRIM AGED PEWTER
- 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AGED PEWTER
- EXTRA INTERIOR LAYER OF GWB
- MIN. OTIC 29 GLAZING
- MIN. OTIC 31 GLAZING
- DECORATIVE ACCENT PANEL

NOTES: HEAT PUMP CONDENSER UNIT TO BE
INSTALLED WITH NEOPRENE PADS/DAMPENERS



STREET ELEVATION (BLUNDELL ROAD)

SCALE: 3/32"=1'-0"

ALL EXTERIOR WALLS ON THIS ELEVATION TO FOLLOW 15 (WITH EXTRA INTERIOR LAYER OF GWB)

ALL GLAZING ON THIS ELEVATION TO FOLLOW 16 (WITH MIN. OTIC 29) EXCEPT THE REST TO FOLLOW 17 AS NOTED.



WEST ELEVATION

SCALE: 3/32"=1'-0"



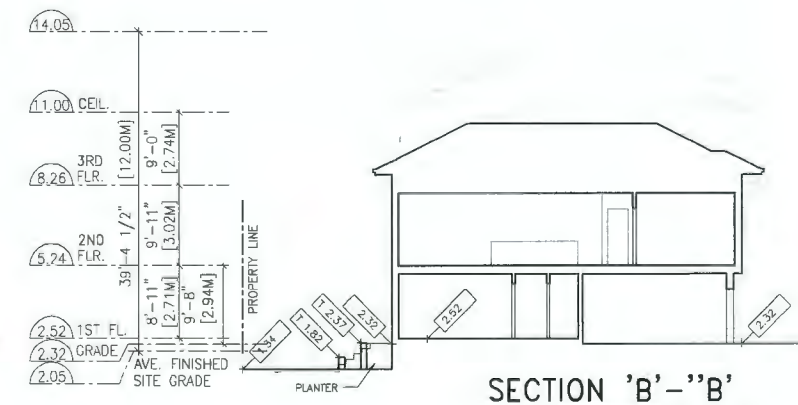
SOUTH ELEVATION

SCALE: 3/32"=1'-0"



NORTH ELEVATION

SCALE: 3/32"=1'-0"



SECTION 'B'-B'

SCALE: 3/32"=1'-0"



ZHAO XD
ARCHITECT
LTD.

#255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1735

Email: info@zhaoarch.com
Web: zhaoarch.com



DP 21-934620
PLAN # 3.A
JULY 31, 2024

19JUN/24	OPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/CDP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:
STREET ELEVATIONS

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	

A8





ZHAO XD ARCHITECT LTD.

25-UNIT TOWNHOUSE DEVELOPMENT
8031- 8071 No. 2 Road, 5760 - 5786 Blundell Road, Richmond, BC

EXTERIAL FINISH - MATERIAL & COLOR

STAND SEAM METAL ROOF - VICWEST (PRESTIGE)
SIGNATURE -SMP COATED METAL CHARCOAL 56072



5" ALUM. GUTTER ON 2X10 WOOD FASCIA BOARD - PAINTED
COLOR MATCH TO "AGED PEWTER"



STUCCO WALL FINISH (OFF-WHITE)
BM OC36 NIVEOUS



HARDIE PANEL (EASYTRIM)
AGED PEWTER



HORIZONTAL TRIM & TRIM BOARD MOULDING
-PAINTED
COLOR MATCH TO "AGED PEWTER"



WINDOW & DOOR TRIM
-PAINTED BM OC40 ALBESCENT



CULTURE STONE - SPAN HEWN STONE
TIGHT-FITTED MORTAR JOINTS



SOLID CORE WOOD DOOR
BJ 1231 WYNWOOD



GARAGE DOOR
BM: AF-105 ELKHOM



#255-11181 Voyageur Way, Richmond, BC V6X 3N9
Email: info@zhaoarch.com

Tel: 604 275-8882 604 312-6278
Web: www.zhaoarch.com

IMAGES OF MATERIALS
STANDING SEAM METAL ROOF
(PRECEDENT SAMPLE)



IMAGES OF MATERIALS

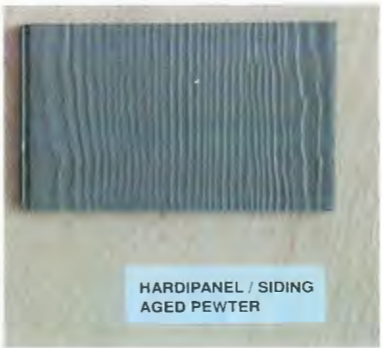


56072 Charcoal



OC-36 Niveous

Brand: Benjamin Moore



HARDIPANEL / SIDING
AGED PEWTER



**ZHAO XD
ARCHITECT
LTD.**

#255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1736

Email: info@zhaoarch.com
Web: zhaoarch.com

All drawings shall not be used for construction
unless they are countersigned by the Consultant

**DP 21-934620
PLAN # 3.C
JULY 31, 2024**

09MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DOP
07JUL/21	ROAD DEDICATION
28APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:

**TOWNHOUSE
DEVELOPMENT
@ NO. 2 ROAD &
BLUDELL ROAD**

**8031-71 No. 2 Rd & 5780-80
Blundell Rd., Richmond, BC**

Drawing Title:

**STREETSCAPE
ELEVATIONS**

Date: 2024-04-04
Scale: AS SHOWN
Drawn By: XJ ZHAO
Checked By: XJ ZHAO
Project No: DP 21-934620
Drawing No:

A-14



6020

STREET SCAPE – BLUDELL ROAD

SCALE: 1"=20'-0"

5660



NO. 2 ROAD



BLUDELL ROAD

8133

8091

DRIVEWAY
ENTRANCE

BUILDING 1

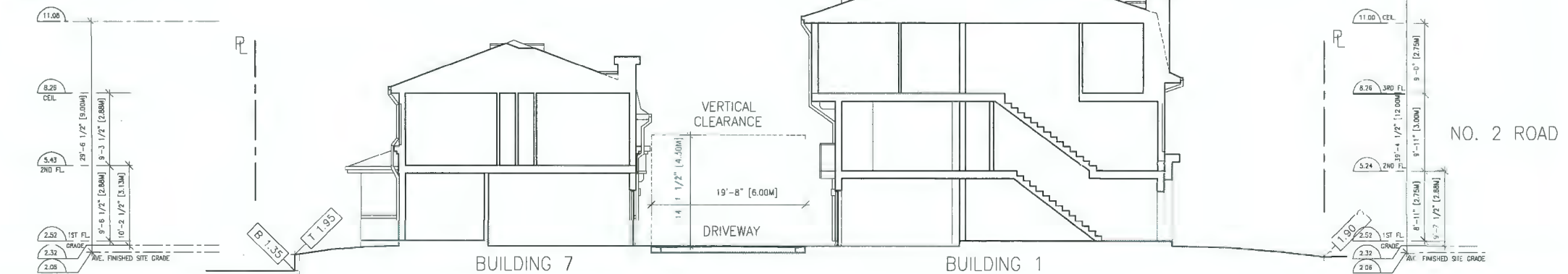
BUILDING 2

BUILDING 3

7751

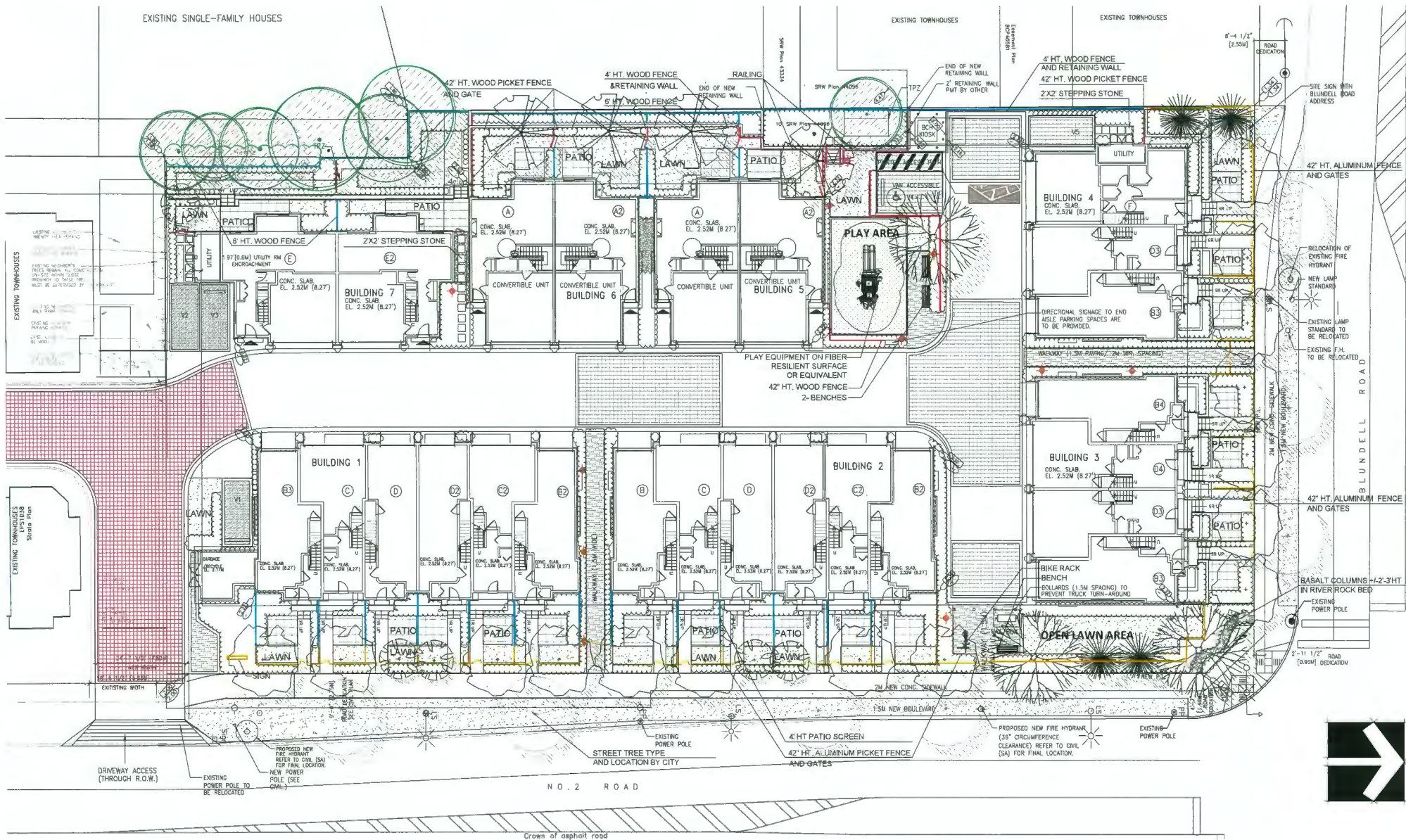
STREET SCAPE – NO. 2 ROAD

SCALE: 1"=20'-0"



SECTION 'A'-'A'

SCALE: 1"=20'-0"



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	15	ACER RUBRUM 'BOWHALL'	COLUMNAR BOWHALL MAPLE	8CM CAL; 2M STD; B&B
	3	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	8CM CAL; 1.8M STD; B&B
	5	FAGUS SYLVATICA 'DAWYCK GOLD'	DAWYCK GOLD BEECH	8CM CAL; 1.8M STD; B&B
	4	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMIDAL LIMBER PINE	4M HT; B&B
	4	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	8CM CAL; 1.8M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
* PROVIDE DESIGNED BUILD HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM TO I.L.A.B.C. STANDARDS TO ALL SOFT LANDSCAPE AREAS.
SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	7	STREET TREE	TYPE AND LOCATION BY CITY	7CM CAL; 1.8M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

HARDSCAPE LEGEND

8"X8" ECO-PRIOA PERMEABLE PAVERS BY MUTUAL MATERIALS WITH 1/2" WIDE CONCRETE BAND; GRAY COLOR; INSTALLED PER MANUFACTURER SPECIFICATIONS	
PERMEABLE PAVERS TO MATCH NEIGHBORING SITE AT SOUTH PL	
2"X2" Vancouver Bay Architectural Slabs COLOR: GRAY; BY MUTUAL MATERIALS	
FIBAR ON PLAYGROUND	
GRAVEL ON A WEED MAT	
HOLLAND PAVERS; BY MUTUAL MATERIALS; HOLLAND COMBINATIONS; PATTERN: CASCADE BLEND	

FENCE LEGEND

42" HT. ALUMINUM PICKET FENCE AND GATES	
42" HT. WOOD PICKET FENCE AND GATES	
6" HT. WOOD FENCE	
4" HT. WOOD FENCE	
RETAINING A WALL	

FURNITURE LEGEND

	Playstructure (J3-17287-A) by JAMBETTE 18 months to 5 years old 20 children
	MAGLIN BENCH - SCB1600
	MAGLIN BIKE RACK - MBR-0400-00007 FOR 5 BIKE RACKS
	± 2'-3" HT BASALT COLUMNS BY NORTHWEST LANDSCAPE & STONE SUPPLY

NOTE:
ALL BENCHES AND BIKE RACKS TO BE INSTALLED TO MANUFACTURER'S SPECIFICATION ON 3" THICK CONCRETE PAD.

LIGHTING LEGEND

SYMBOL	STYLE
	BOLLARD 36" HT. LITHONIA RADIAN LED BOLLARD
	UPLIGHT

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pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604 294-0011 ; f. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
12	24.AUG.11	REVISION A3 PER CITY COMMENTS	DD
11	24.AUG.15	REVISION A5 PER CITY COMMENTS	DD
10	24.JUN.23	NEW SITE PLAN & CITY COMMENTS	DD
9	24.MAY.10	NEW SITE PLAN	DD
7	24.APR.25	REVISION A5 PER CITY COMMENTS	DD
6	23.NOV.17	NEW SITE PLAN & CITY COMMENTS	DD
5	23.APR.28	NEW SITE PLAN & CITY COMMENTS	DD
4	22.MAR.04	REVISION A5 PER CITY COMMENTS	DD
3	22.JAN.21	NEW SITE PLAN	DD
2	31.NOV.04	NEW PH	DD
1	21.AUG.12	NEW SITE PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

DP 21-934620
PLAN # 4.A
JULY 31, 2024

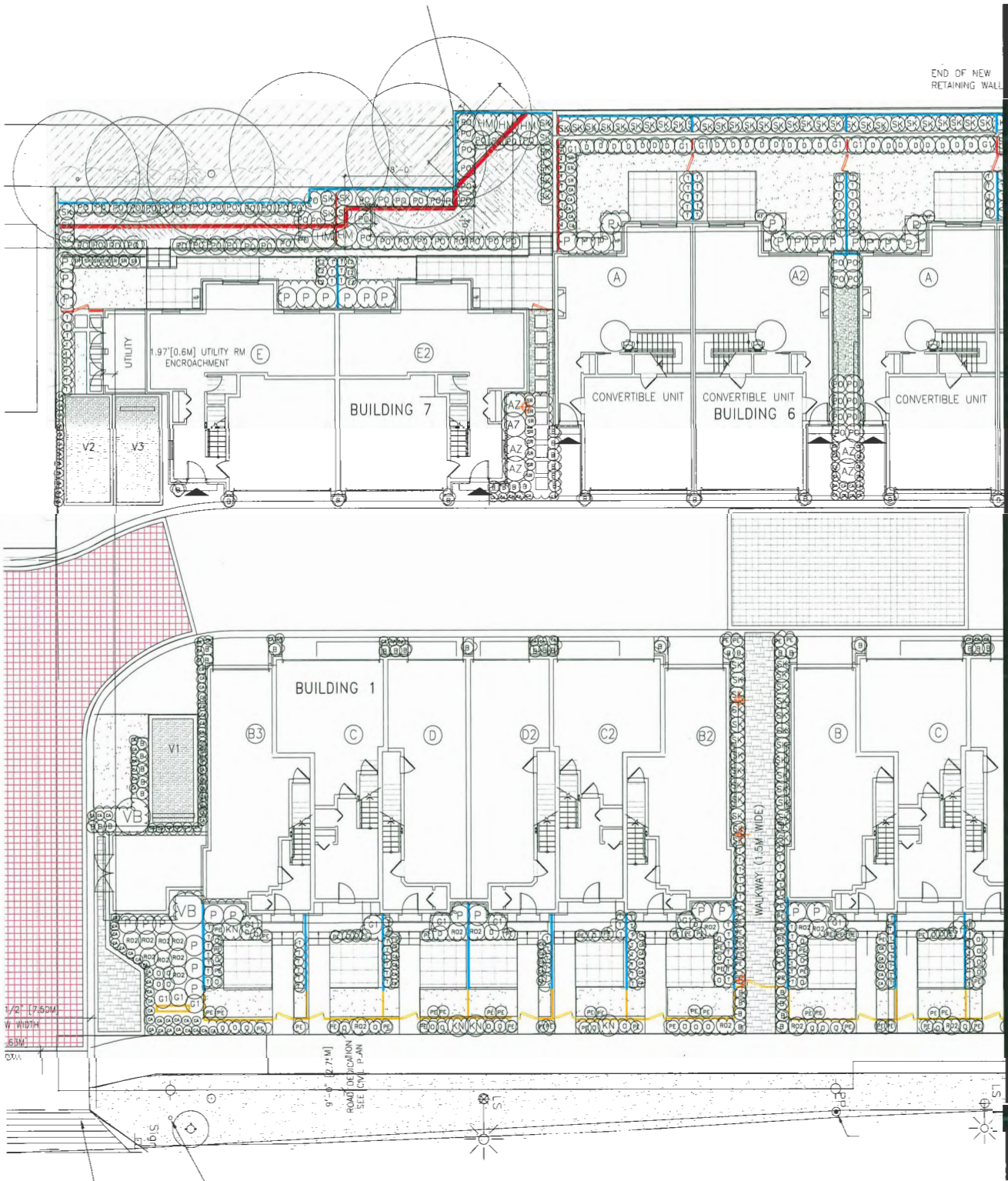
PROJECT:
25 UNIT TOWNHOUSE DEVELOPMENT

8031-8071 NO. 2 ROAD AND 5760-5786 BLUNDELL ROAD RICHMOND

DRAWING TITLE:
LANDSCAPE PLAN

DATE: March
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER:
L1
OF 8

SEAL



PLANT SCHEDULE

PMG PROJECT NUMBER: 21-041

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
AZ	6	AZALEA MOLLIS HYBRIDS	DECIDUOUS AZALEAS VARIETIES	#3 POT: 40CM
B	244	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT: 50CM
HU	5	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT: 80CM
K	4	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT: 50CM
P	91	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT: 50CM
PM	4	PINUS MUGO 'MOPS'	MOPS DWARF MUGO PINE	#2 POT: 25CM
R	14	ROSA 'KNOCKOUT RADRAZZ'	RADRAZZ KNOCKOUT ROSE	#2 POT
SK	19	ROSA 'SCARLET MEIDILAND'	SCARLET MEIDILAND ROSE	#2 POT: 40CM
SKM	100	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT: 50CM
SR	18	SKIMMIA REEVESIANA	DWARF SKIMMIA	#2 POT: 30CM
T	224	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.00M B&B
VB	4	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	#3 POT: 50CM
GRASS				
CF	32	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT: HEAVY
CI	273	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
CL	38	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#2 POT
D	67	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
PE	132	PENNISETUM ALOPECUROIDES 'HAELIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
AS	6	ASTILBE x ARENDSII 'RED SENTINEL'	FALSE SPIREA; RED	#1 POT
RU	41	RUDBECKIA FULGIDA VAR SULLIVANTII 'GOLDBLOCK'	RUDBECKIA; YELLOW-ORANGE	15CM POT
GC				
EU	66	EUONYMUS JAPONICA 'EMERALD GAIETY'	EUONYMUS; SILVER VARIEGATED	#1 POT: 25CM
PS	73	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT: 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
10	24 JUN 21	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 21	NEW SITE PLAN	DD
7	24 APR 21	REVISION AS PER CITY COMMENTS	DD
7	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
6	23 SEP 18	NEW SITE PLAN & CITY COMMENTS	DD
5	23 APR 21	NEW SITE PLAN & CITY COMMENTS	DD
4	22 MAR 24	REVISION AS PER CITY COMMENTS	DD
3	22 JAN 21	NEW SITE PLAN	DD
2	22 NOV 04	NEW PH	DD
1	19 JUL 17	APR 18 PLAN	DD

CLIENT: 1209136 BC LTD.
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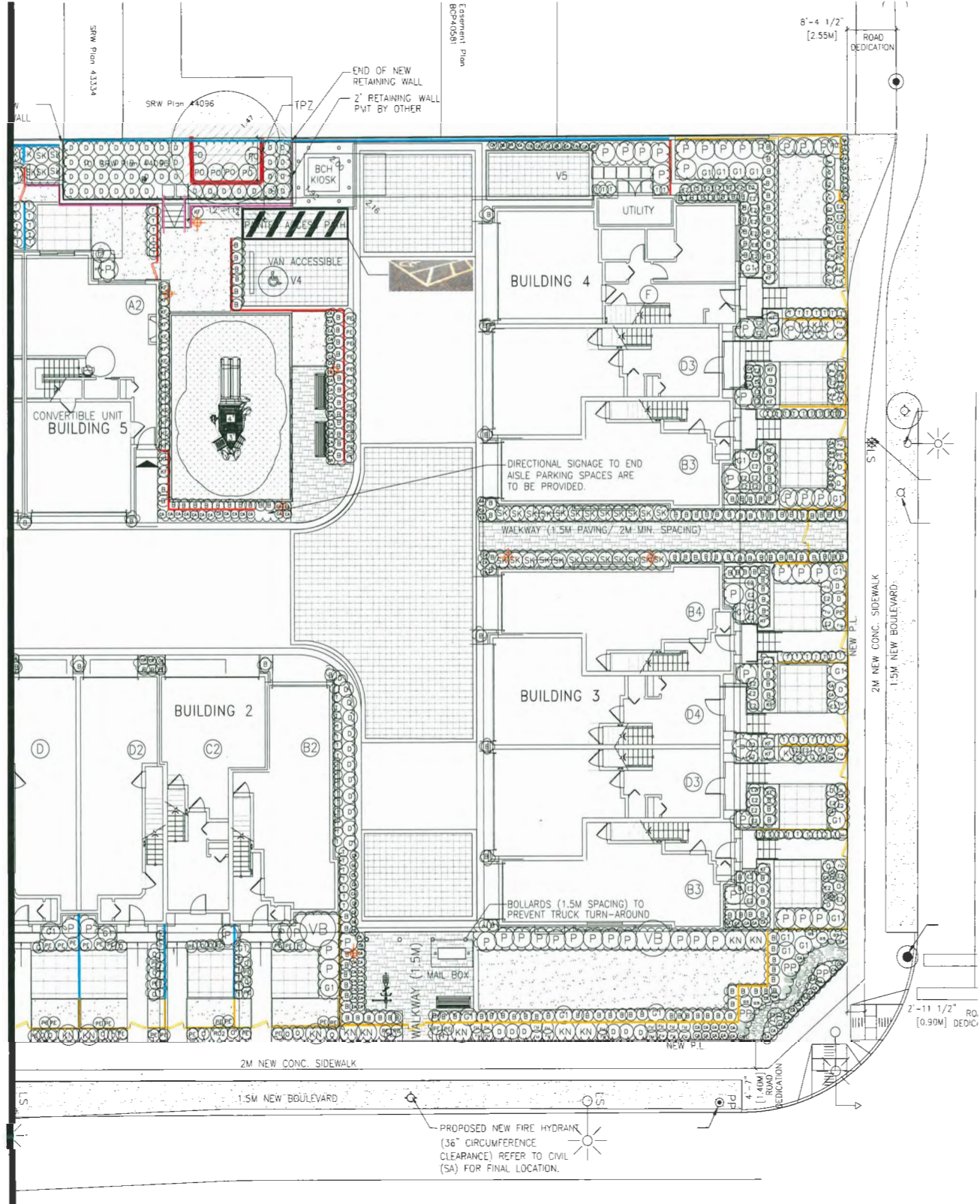
DP 21-934620
PLAN # 4.B
JULY 31, 2024

PROJECT:
**25 UNIT TOWNHOUSE
DEVELOPMENT**

**8031-8071 BL. 2 ROAD AND
5760-5786 BUNDLELL ROAD
RICHMOND**

DRAWING TITLE:
SHRUB PLAN

DATE: March
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHK'D: PCM
DRAWING NUMBER:
L2
OF 8



PLANT SCHEDULE				PMG PROJECT NUMBER: 21-041
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(A)	6	AZALEA MOLLIS HYBRIDS	DECIDUOUS AZALEAS VARIETIES	#3 POT; 40CM
(B)	244	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 50CM
(C)	5	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT; 80CM
(D)	4	KALMIA LATIFOLIA 'ELF'	DWARF MOUNTAIN LAUREL	#3 POT; 50CM
(E)	91	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT; 50CM
(F)	4	PINUS MUGO 'MOPS'	MOPS DWARF MUGO PINE	#2 POT; 25CM
(G)	14	ROSA 'KNOCKOUT RADRAZZ'	RADRAZZ KNOCKOUT ROSE	#2 POT
(H)	19	ROSA 'SCARLET MEIDILAND'	SCARLET MEIDILAND ROSE	#2 POT; 40CM
(I)	100	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT; 50CM
(J)	18	SKIMMIA REEVESIANA	DWARF SKIMMIA	#2 POT; 30CM
(K)	224	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1.00M B&B
(L)	4	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	#3 POT; 50CM
GRASS				
(M)	32	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT, HEAVY
(N)	273	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
(O)	38	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#2 POT
(P)	67	OPHIPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT
(Q)	132	PENNISETUM ALOPECUROIDES 'HAEMELI'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
(R)	6	ASTILBE x ARENDsii 'RED SENTINEL'	FALSE SPIREA, RED	#1 POT
(S)	41	RUDBECKIA FULGIDA VAR SULLIVANTII	GOLDOLOCK RUDBECKIA, YELLOW-ORANGE	15CM POT
GC				
(T)	66	EUONYMUS JAPONICA 'EMERALD GAJET'	EUONYMUS; SILVER VARIEGATED	#1 POT; 25CM
(U)	73	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM
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SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
13	24 JUL 25	REVISION AS PER CITY COMMENTS	DD
14	24 JUL 25	NEW SITE PLAN & CITY COMMENTS	DD
15	24 JUL 25	NEW SITE PLAN	DD
16	24 APR 25	REVISION AS PER CITY COMMENTS	DD
17	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
18	23 SEP 18	NEW SITE PLAN & CITY COMMENTS	DD
19	23 APR 23	NEW SITE PLAN & CITY COMMENTS	DD
20	27 MAR 24	REVISION AS PER CITY COMMENTS	DD
21	22 JAN 21	NEW SITE PLAN	DD
22	21 NOV 04	NEW PH	DD
23	11 JUL 17	NEW PH PLAN	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

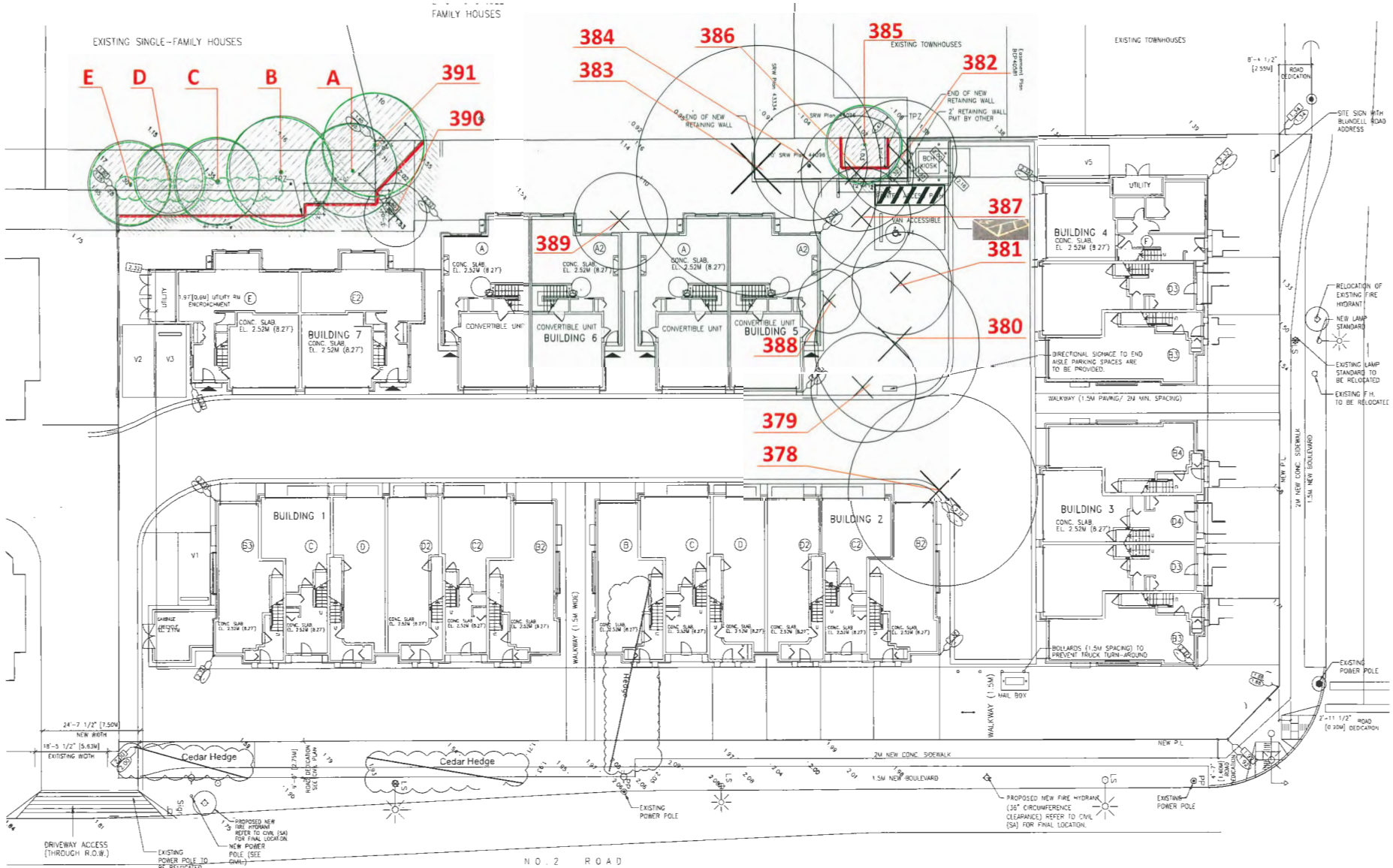
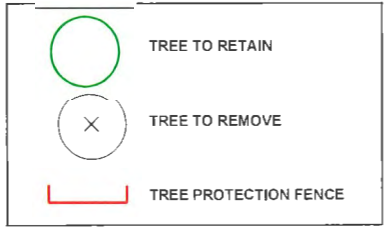
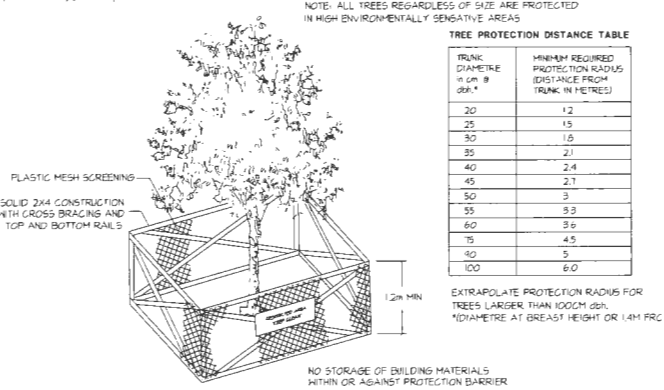
DP 21-934620
PLAN # 4.C
JULY 31, 2024

PROJECT:
25 UNIT TOWNHOUSE
DEVELOPMENT

8031-8071 NO. 2 ROAD AND
5760-5786 BLUNDELL ROAD
RICHMOND

DRAWING TITLE:
SHRUB PLAN

DATE: March
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER:
L3
OF 8



12	24 JUL 25	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 25	REVISION AS PER CITY COMMENTS	DD
10	24 JUN 23	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 23	NEW SITE PLAN	DD
7	24 APR 25	REVISION AS PER CITY COMMENTS	DD
6	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
5	23 SEP 18	NEW SITE PLAN & CITY COMMENTS	DD
4	23 APR 23	NEW SITE PLAN & CITY COMMENTS	DD
3	22 MAR 24	REVISION AS PER CITY COMMENTS	DD
2	22 MAR 21	NEW SITE PLAN	DD
1	21 NOV 04	NEW PM	DD
1	21 NOV 17	MPA 101 PLAN	DD

NO. DATE REVISION DESCRIPTION DR.

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

DP 21-934620
PLAN # 4.D
JULY 31, 2024

PROJECT
25 UNIT TOWNHOUSE
DEVELOPMENT

8031-8071 BL. 2 ROAD AND
5760-5786 BLUNDLE ROAD
RICHMOND

DRAWING TITLE
TREE MANAGEMENT
PLAN

DATE: March 1/16"-1'-0" DRAWING NUMBER:
SCALE
DRAWN: DD
DESIGN: DD
CHKD: PCM

L5

OF 8

SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
12	26 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 25	REVISION AS PER CITY COMMENTS	DD
10	24 JUN 03	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 30	NEW SITE PLAN	DD
7	24 APR 25	REVISION AS PER CITY COMMENTS	DD
7	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
6	23 SEP 16	NEW SITE PLAN & CITY COMMENTS	DD
5	23 APR 25	NEW SITE PLAN & CITY COMMENTS	DD
4	22 MAR 08	REVISION AS PER CITY COMMENTS	DD
3	22 JAN 21	NEW SITE PLAN	DD
2	23 NOV 04	NEW PH	DD
1	23 JUN 17	NEW PH PLAN	DD

CLIENT: 1209136 BC LTD.
WITH : ZHAO XD ARCHITECT LTD.

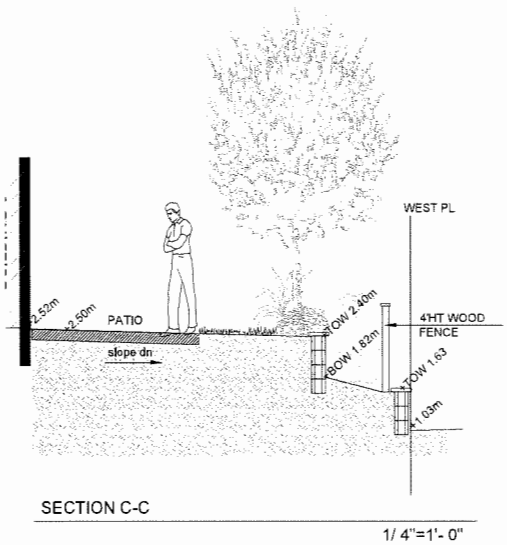
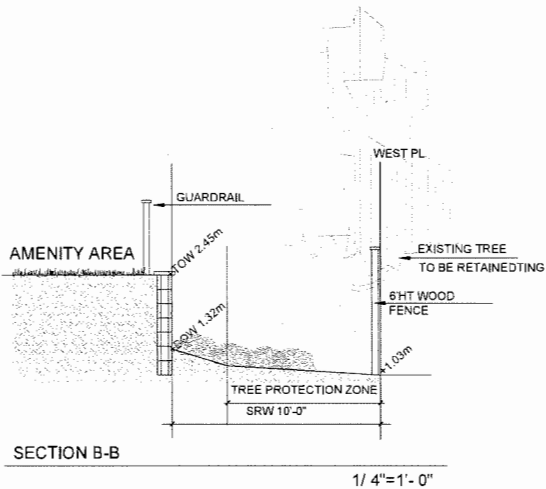
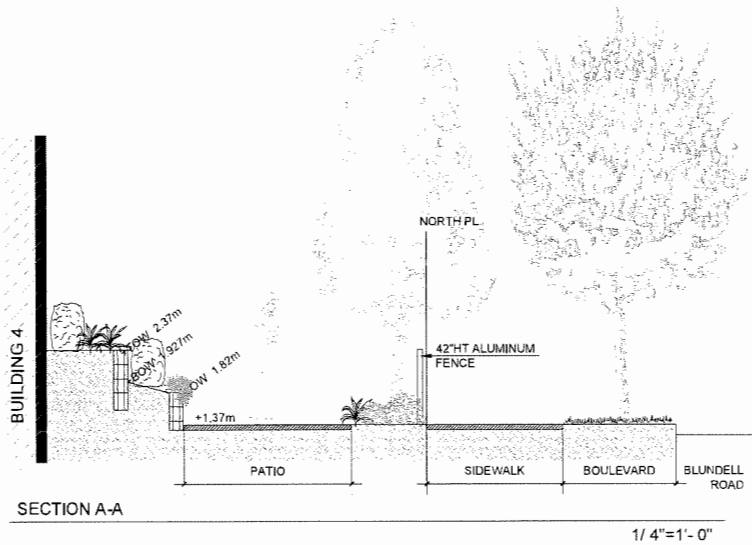
DP 21-934620
PLAN # 4.E
JULY 31, 2024

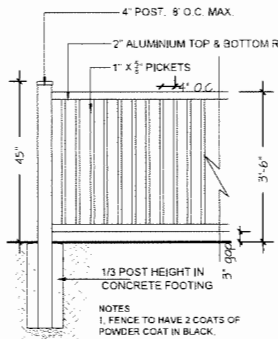
PROJECT:
**25 UNIT TOWNHOUSE
DEVELOPMENT**

**8031-8071 NO. 2 ROAD AND
5760-5786 BLUNDELL ROAD
RICHMOND**

DRAWING TITLE
**LOT COVERAGE PLAN
LANDSCAPE SECTIONS**

DATE: March 1/ 16"=1'-0" DRAWING NUMBER:
SCALE
DRAWN: DD
DESIGN: DD
CHK'D: PCM
L6
OF 8

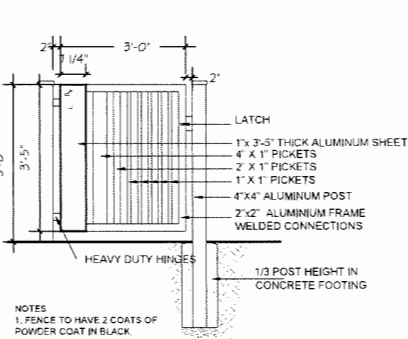




UNIT FENCES

42" HT ALUMINUM FENCE AND GATE

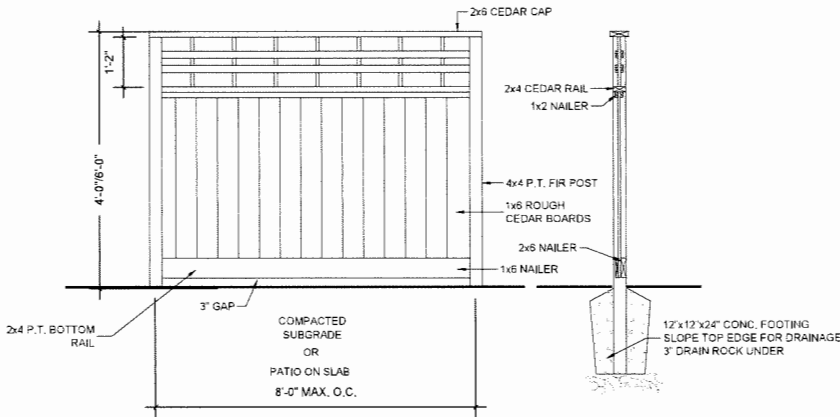
1/2" = 1'-0"



UNIT GATES

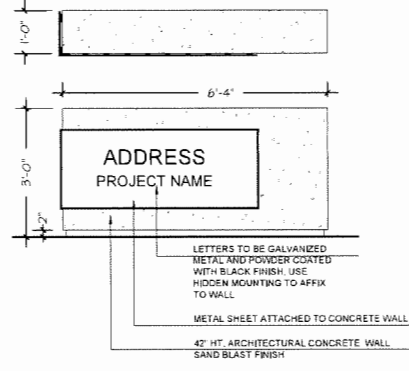
4' 6" HT WOOD FENCE

1/2" = 1'-0"



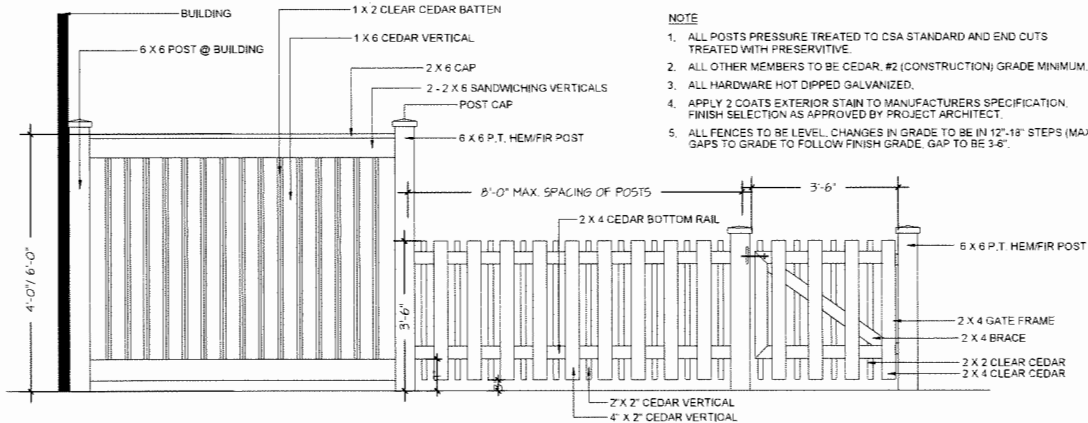
4' 6" HT WOOD FENCE

1/2" = 1'-0"



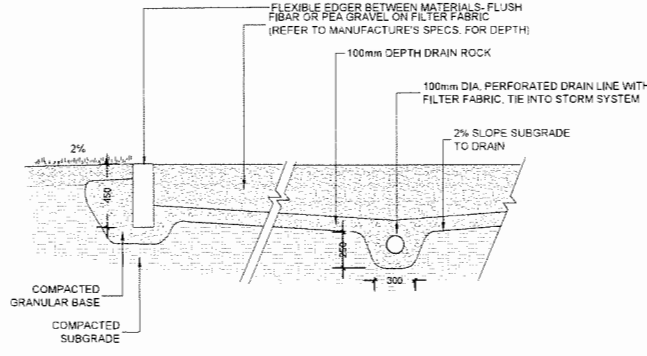
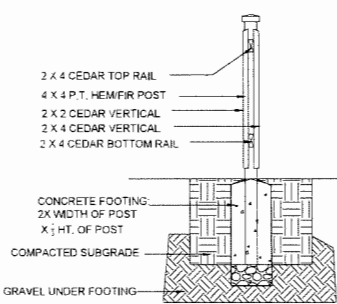
DEVELOPMENT SIGNAGE

1/2" = 1'-0"



6' 4" HT PATIO SCREEN AND 42" HT WOOD FENCE AND GATE

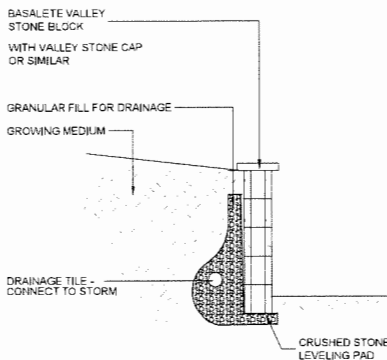
1/2" = 1'-0"



PLAYGROUND SAFETY SURFACE

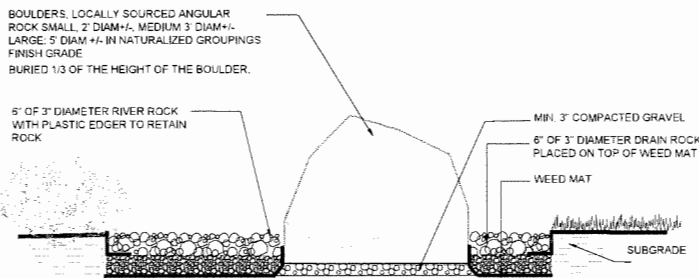
1/2" = 1'-0"

NOTE
DRAIN TILE OUTPUT LOCATIONS TO BE COORDINATED
WITH CIVIL ENG.
WALLS OF 1.2M TO BE ENGINEERED.
REFER TO BASALITE DETAILS FOR INSTALLATION.



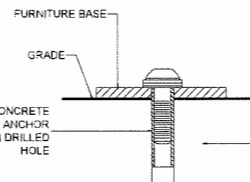
BASALITE VALLEYSTONE WALL

1/2" = 1'-0"



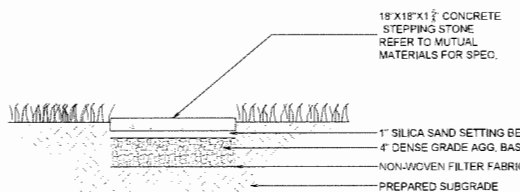
BASALT COLUMN +/- 2'-3" HT

1/2" = 1'-0"



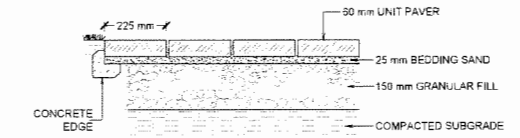
SITE FURNITURE MOUNTING

1/2" = 1'-0"



STEPPING STONE

1" = 1'-0"



PAVERS EDGE

1" = 1'-0"

DP 21-934620
PLAN # 4.F
JULY 31, 2024

PROJECT:
25 UNIT TOWNHOUSE
DEVELOPMENT

8031-8071 NO. 2 ROAD AND
5760-5786 BLUNDLE ROAD
RICHMOND

DRAWING TITLE
LANDSCAPE DETAILS

DATE: March A/S DRAWING NUMBER:
SCALE:
DRAWN: DD
DESIGN: DD
CHK'D: PCM
OF 8

L7

NO.	DATE	REVISION DESCRIPTION	DR.
12	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
11	24 JUL 21	REVISION AS PER CITY COMMENTS	DD
10	24 JUL 21	NEW SITE PLAN & CITY COMMENTS	DD
9	24 MAY 20	NEW SITE PLAN	DD
7	24 APR 21	REVISION AS PER CITY COMMENTS	DD
7	23 NOV 17	NEW SITE PLAN & CITY COMMENTS	DD
6	28 SEP 16	NEW SITE PLAN & CITY COMMENTS	DD
5	23 APR 20	NEW SITE PLAN & CITY COMMENTS	DD
4	27 MAR 20	REVISION AS PER CITY COMMENTS	DD
3	22 JUL 21	NEW SITE PLAN	DD
2	28 NOV 18	NEW PH	DD
1	18 JUL 17	NEW PH	DD

CLIENT: 1209136 BC LTD.
WITH: ZHAO XD ARCHITECT LTD.

DP 21-934620
PLAN # 4.G
JULY 31, 2024

PROJECT:
**25 UNIT TOWNHOUSE
DEVELOPMENT**

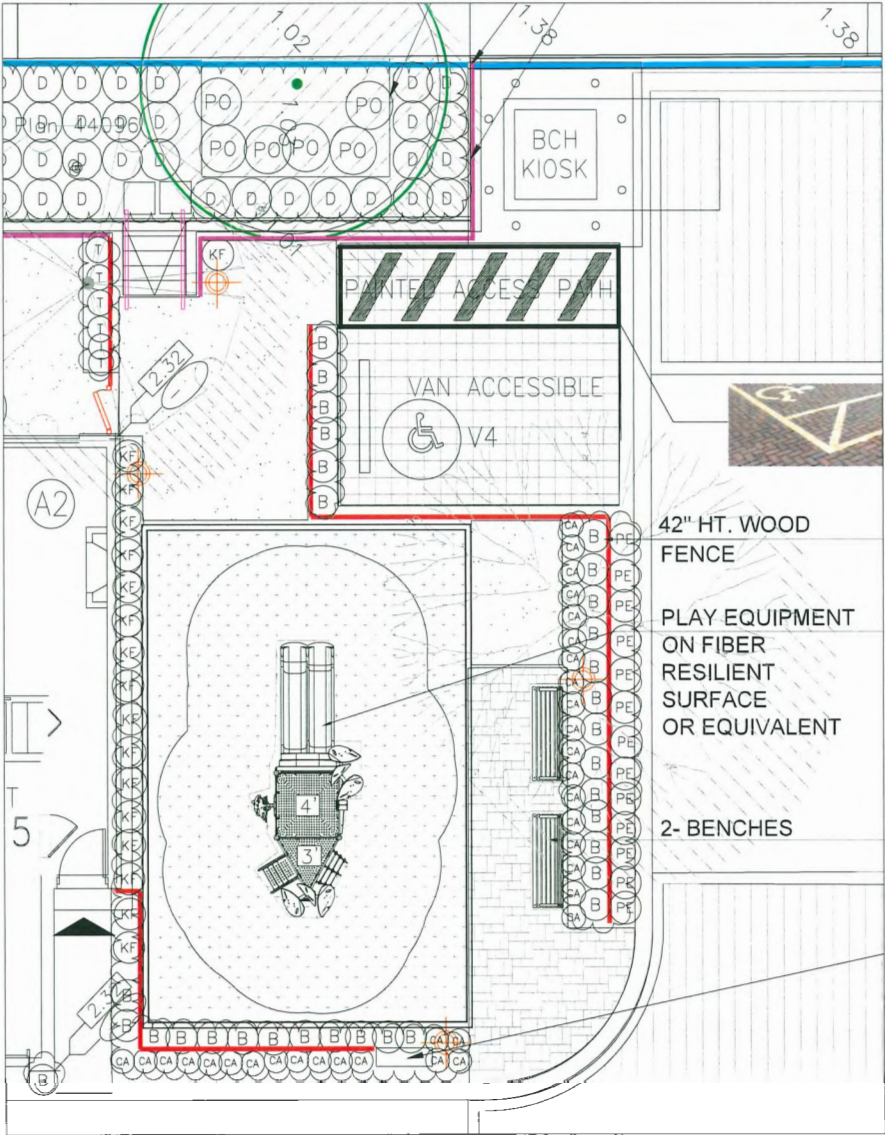
**8031-8071 NO. 2 ROAD AND
5760-5786 BLUNDILL ROAD
RICHMOND**

DRAWING TITLE:
**LANDSCAPE
ENLARGEMENTS**

DATE: March A/5 DRAWING NUMBER:
SCALE:
DRAWN DD
DESIGN DD
CHK'D PCM

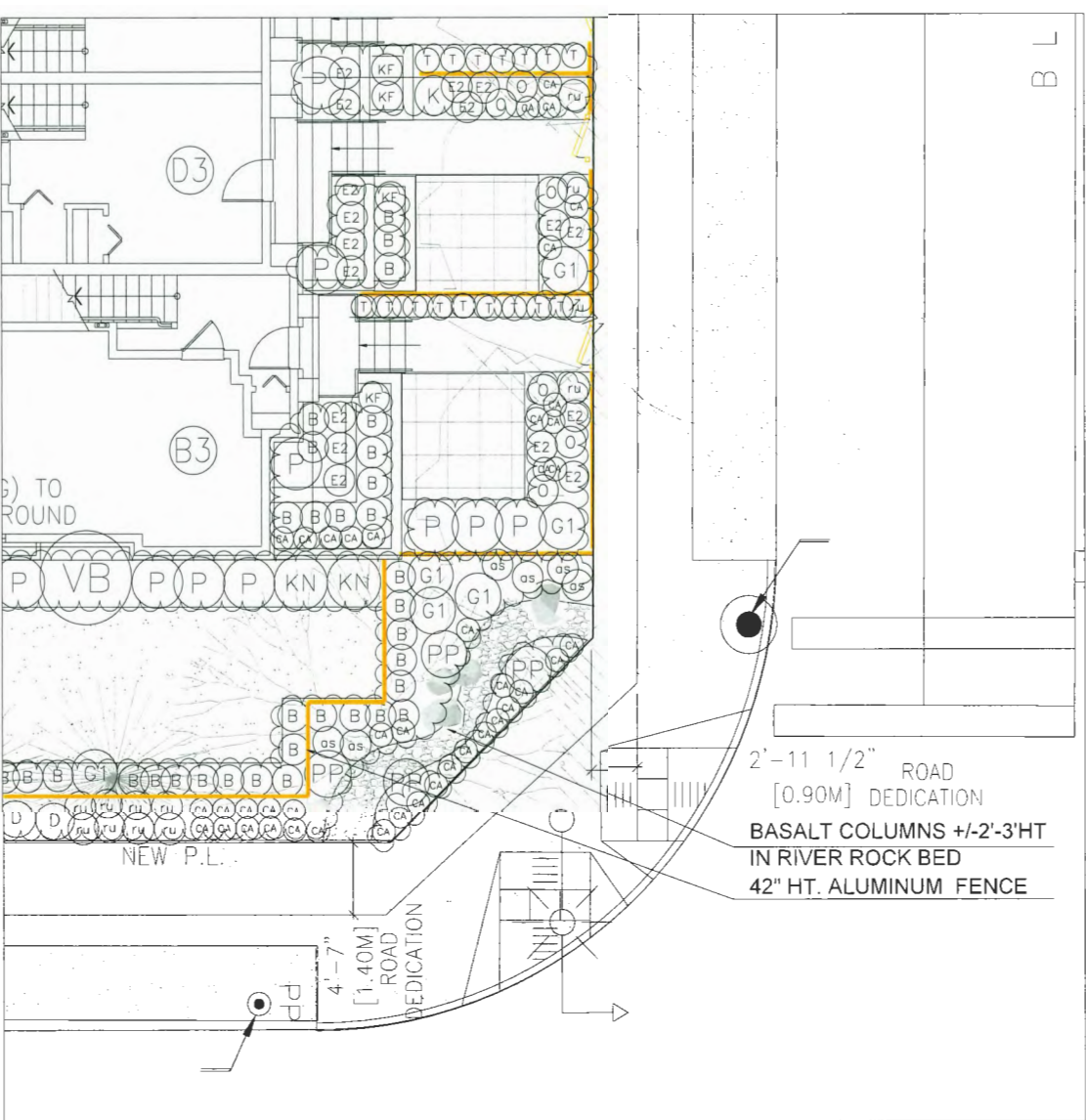
L8

OF 8



AMENITY AREA ENLARGEMENT

SCALE 3/16"=1'-0"



NORTH EAST CORNER ENLARGEMENT

SCALE 3/16"=1'-0"



ZHAO XD
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Email: info@zhaoarch.com
Web: zhaoarch.com



This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

30JUL/24	OPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DDP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:

GRADING PLAN
DP 21-934620
PLAN # 4.H
JULY 31, 2024

Date: 2024-05-08

Scale: AS SHOWN

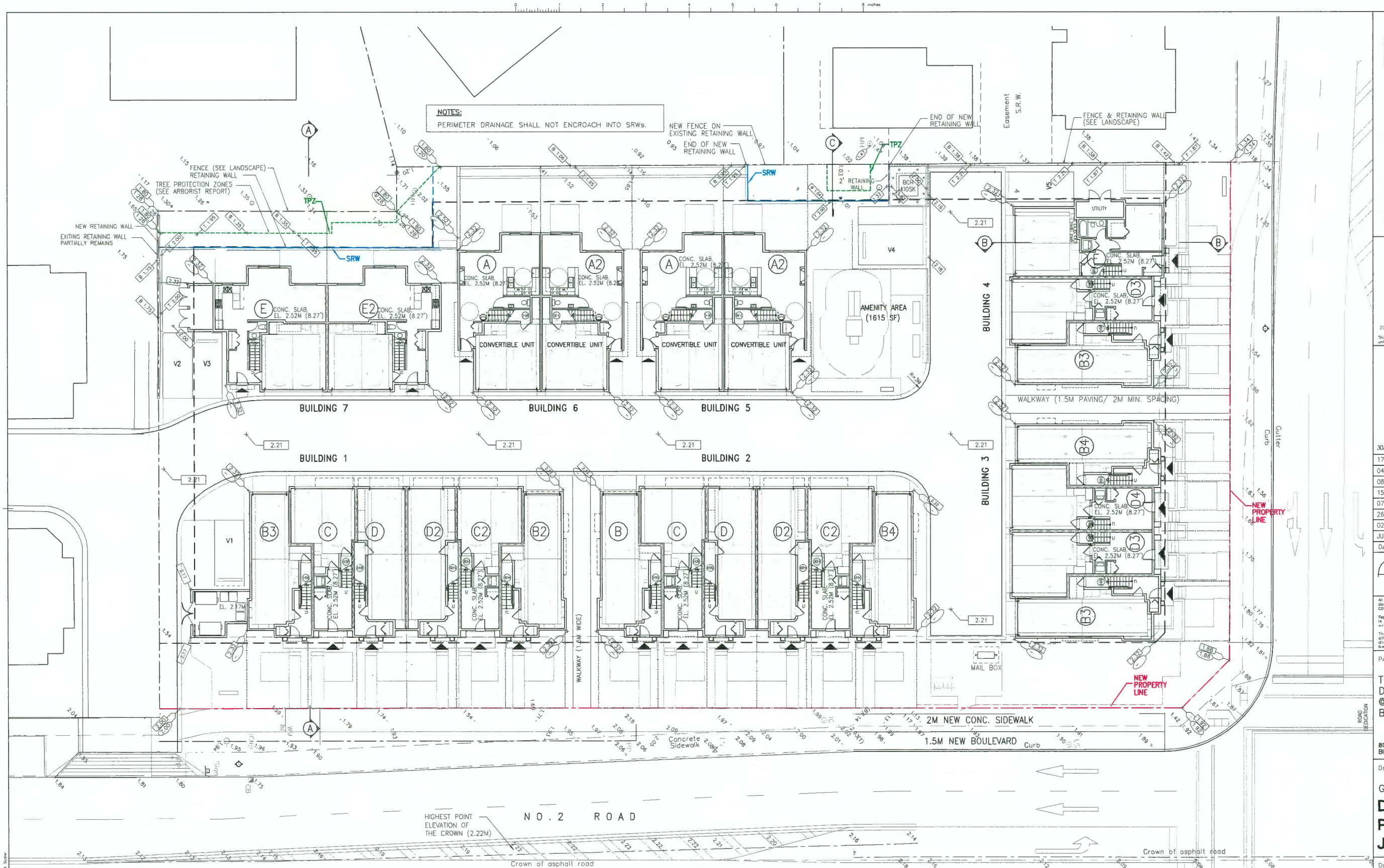
Drawn By: XD ZHAO

Checked By: XD ZHAO

Project No.: DP 21-934620

Drawing No.:

A2.2

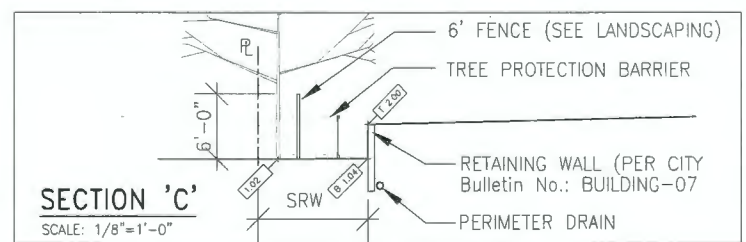


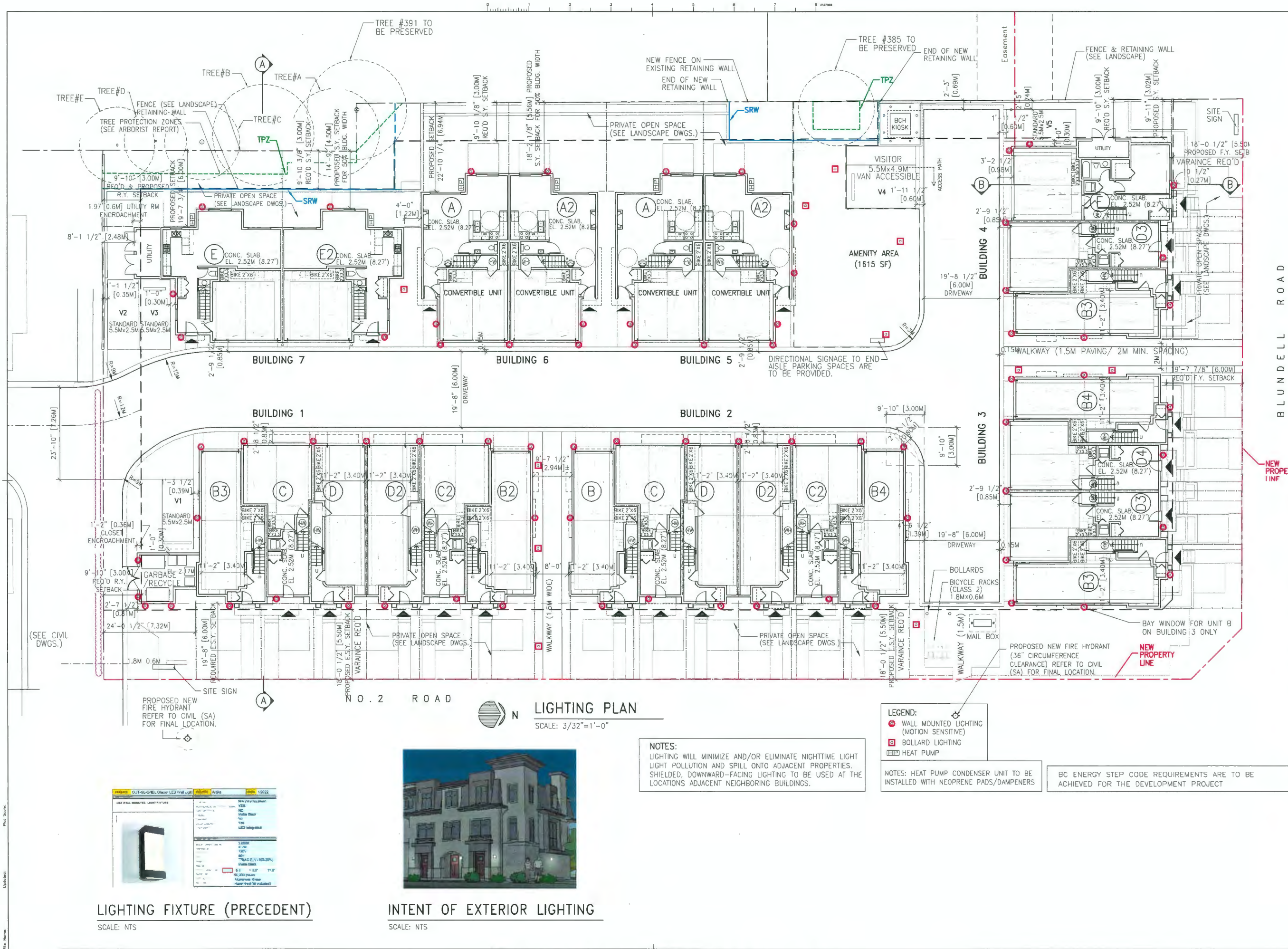
GRADING PLAN
SCALE: 1"=12'-0"

AVERAGE FINISHED GRADE (LOT CORNERS):		AVERAGE FINISHED GRADE (BUILDINGS):			
NW LOT CORNER: 1.34		BLDG.1 NW BUILDING CORNER: 2.32	BLDG.1 NW BUILDING CORNER: 2.32	BLDG.1 NW BUILDING CORNER: 2.32	BLDG.1 NW BUILDING CORNER: 2.32
NE LOT CORNER: 1.98		NE BUILDING CORNER: 2.32	NE BUILDING CORNER: 2.32	NE BUILDING CORNER: 2.32	NE BUILDING CORNER: 2.32
SE LOT CORNER: 1.92		SE BUILDING CORNER: 2.32	SE BUILDING CORNER: 2.32	SE BUILDING CORNER: 2.32	SE BUILDING CORNER: 2.32
SW LOT CORNER: 2.00		SW BUILDING CORNER: 2.32	SW BUILDING CORNER: 2.32	SW BUILDING CORNER: 2.32	SW BUILDING CORNER: 2.32
MID LOT CORNER: 1.80		AVERAGE= 2.28	AVERAGE= 2.32	AVERAGE= 2.32	AVERAGE= 2.32
MID LOT CORNER: 1.80					
MID LOT CORNER: 1.80					
AVERAGE: 1.79					
AVERAGE: 1.79					
AVERAGE FINISHED GRADE: 2.05					

HIGHEST POINT
ELEVATION OF
THE CROWN (2.22M)
SLAB ELEVATION: 2.52M
AVERAGE GROUND ELEVATION 2.06M

LEGEND:
ELEV2 FINISHED GRADE ELEVATION
ELEV1 EXISTING GRADE ELEVATION





ZHAO XD ARCHITECT LTD.

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Web: zhaoarch.com



30JUL/24	OPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DPP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
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Project:
**TOWNHOUSE DEVELOPMENT
@ NO. 2 ROAD &
BLUDELL ROAD**

8031-71 No. 2 Rd & 5760-85
Blundell Rd., Richmond, BC

Drawing Title:
**LIGHTING PLAN
DP 21-934620
PLAN # 4.1
JULY 31, 2024**

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	

A2.6

BLUNDELL ROAD

NEW PROPERTY LINE

LIGHTING PLAN
SCALE: 3/32"=1'-0"

NOTES:
LIGHTING WILL MINIMIZE AND/OR ELIMINATE NIGHTTIME LIGHT POLLUTION AND SPILL ONTO ADJACENT PROPERTIES. SHIELDED, DOWNWARD-FACING LIGHTING TO BE USED AT THE LOCATIONS ADJACENT NEIGHBORING BUILDINGS.

- LEGEND:
- WALL MOUNTED LIGHTING (MOTION SENSITIVE)
 - BOLLARD LIGHTING
 - HEAT PUMP

NOTES: HEAT PUMP CONDENSER UNIT TO BE INSTALLED WITH NEOPRENE PADS/DAMPENERS

BC ENERGY STEP CODE REQUIREMENTS ARE TO BE ACHIEVED FOR THE DEVELOPMENT PROJECT

LIGHTING FIXTURE (PRECEDENT)
SCALE: NTS

INTENT OF EXTERIOR LIGHTING
SCALE: NTS



(PERSPECTIVE FOR BUILDING ONLY, SEE LANDSCAPE FOR FENCES, GATES & PLANTS)

25-UNIT TOWNHOUSE DEVELOPMENT

#8031- 8071 NO. 2 ROAD & #5760 - 5786 BLUNDELL ROAD
RICHMOND, BC



ZHAO XD ARCHITECT LTD.

www.zhaoarch.com Tel: 604 275-8882

REFERENCE PLANS



**25-UNIT TOWNHOUSE
DEVELOPMENT**
#8031- 8071 NO. 2 ROAD
& #5760 - 5786 BLUNDELL ROAD
RICHMOND, BC



ZHAO XD ARCHITECT LTD.
www.zhaoarch.com Tel: 604 275-8882

REFERENCE PLANS



25-UNIT TOWNHOUSE DEVELOPMENT

#8031- 8071 NO. 2 ROAD & #5760 - 5786 BLUNDELL ROAD, RICHMOND, BC

(PERSPECTIVE FOR BUILDING ONLY, SEE LANDSCAPE FOR FENCES, GATES & PLANTS)



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REFERENCE PLANS



ZHAO XD
ARCHITECT
LTD.

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Richmond, BC V6X 3N9
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Fax (604) 809-1735

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Web: zhaarch.com



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29 JUL/24	OPP
17MAY/24	JPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DDP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JULY/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:

TOWNHOUSE
DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:

GROUND FLOOR
PLAN

Date: 2024-05-08

Scale: AS SHOWN

Drawn By: XD ZHAO

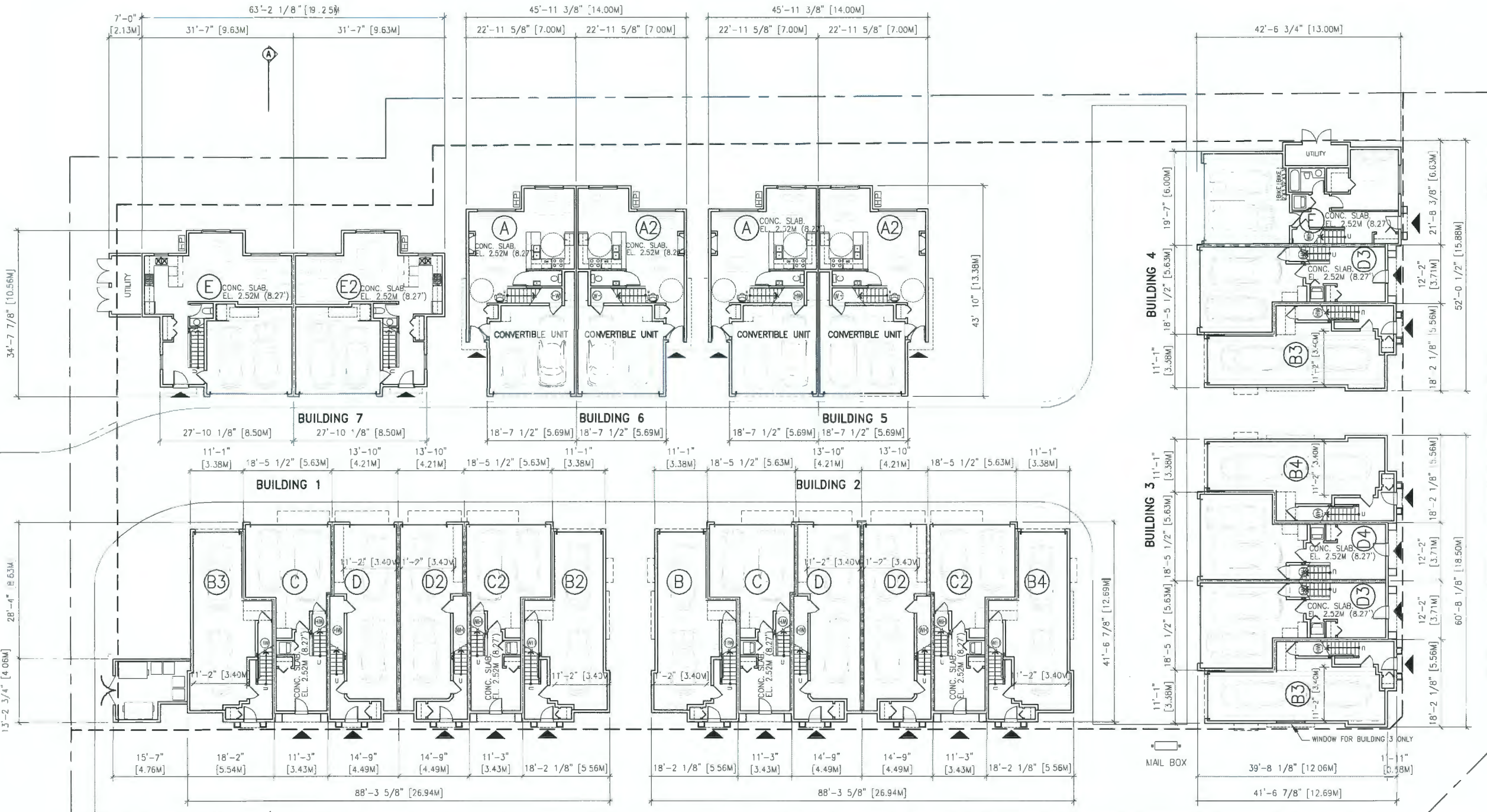
Checked By: XD ZHAO

Project No.: DP 21-934620

Drawing No.:

REFERENCE PLANS

A3



GROUND FLOOR PLAN

SCALE: 3/32"=1'-0"

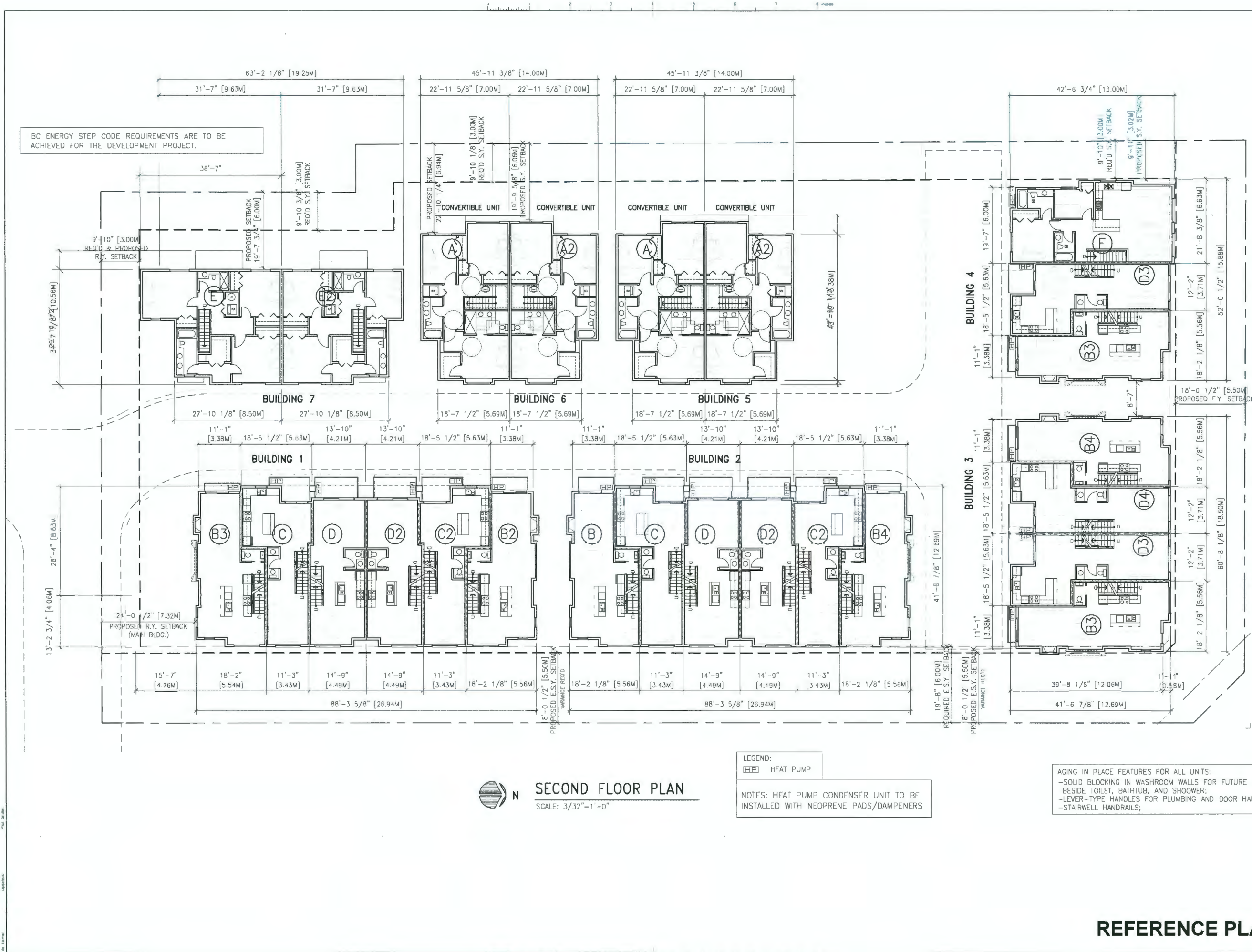
LEGEND:

HP HEAT PUMP

NOTES HEAT PUMP CONDENSER UNIT TO BE
INSTALLED WITH NEOPRENE PADS/DAMPENERS

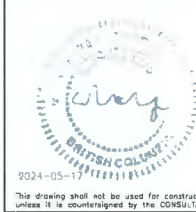
AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS
BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;

BC ENERGY STEP CODE REQUIREMENTS ARE TO BE
ACHIEVED FOR THE DEVELOPMENT PROJECT.



**ZHAO XD
ARCHITECT
LTD.**

#255-11181 Voyager Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
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Email: info@zhaoarch.com
Web: zhaoarch.com



29JUL/24	OPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DPP
07JUL/21	ROAD DEDICATION
26APR/21	DP APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A A DETAIL NUMBER
B B LOCATION SHEET
C C DETAIL SHEET

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Project:
**TOWNHOUSE
DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD**

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:
**SECOND FLOOR
PLAN**

Date:	2024-05-08
Scale:	AS SHOWN
Drawn By:	XD ZHAO
Checked By:	XD ZHAO
Project No.:	DP 21-934620
Drawing No.:	

REFERENCE PLANS

A4

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS
BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;



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Web: zhaarch.com



2024-05-11
This drawing shall not be used for construction
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19JUN/24	DPP
17MAY/24	DPP
04APR/24	CITY COMMENTS/DPP
08NOV/23	ADP COMMENTS/DPP
15JUN/22	ADP/DPP
07JUL/21	ROAD DEDICATION
26APR/21	3P APPLICATION
02JUL/20	FOR CITY COMMENTS
JUN/18	RZ APPLICATION
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
TOWNHOUSE
DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:

THIRD FLOOR
PLAN

Date: 2024-05-08

Scale: AS SHOWN

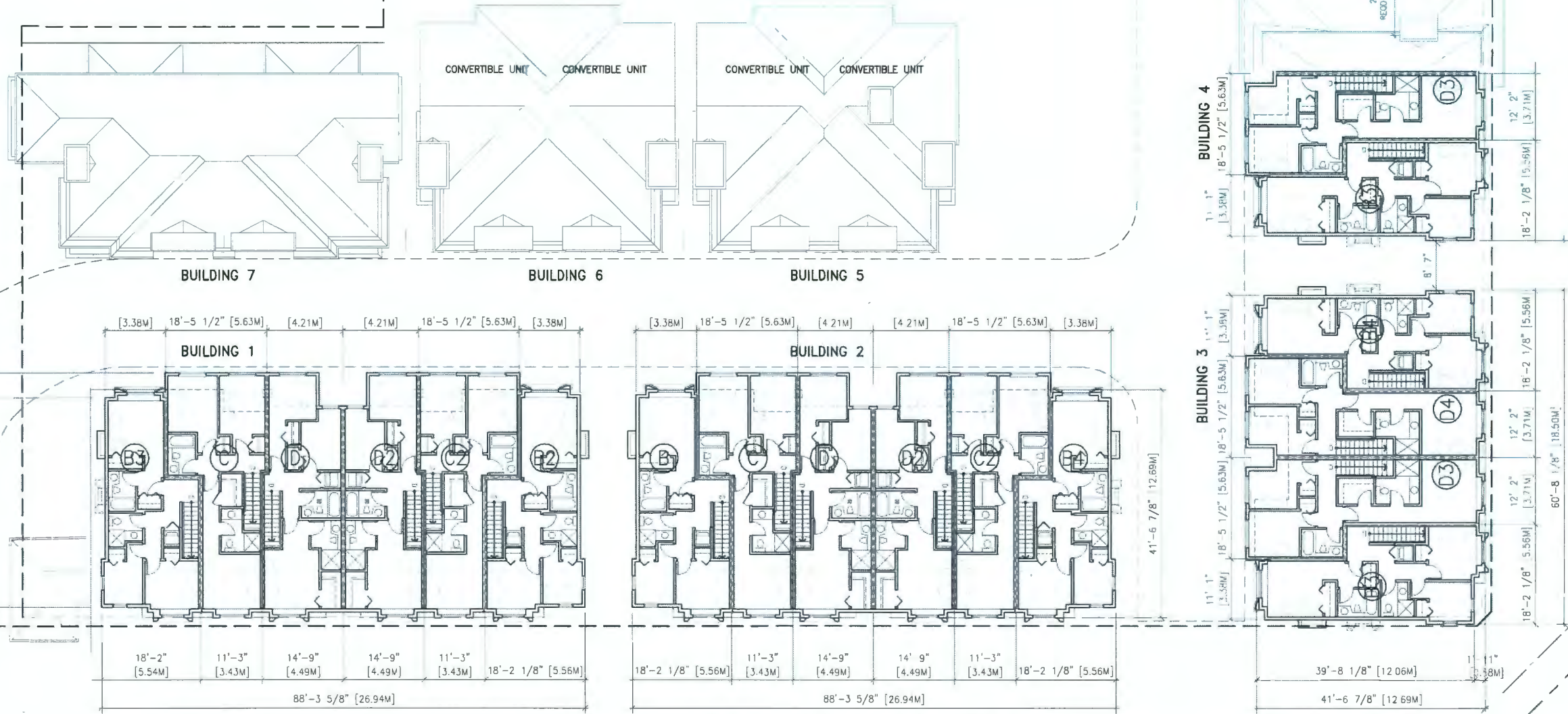
Drawn By: XD ZHAO

Checked By: XD ZHAO

Project No.: DP 21-93462D

Drawing No.:

A5



BC ENERGY STEP CODE REQUIREMENTS ARE TO BE
ACHIEVED FOR THE DEVELOPMENT PROJECT.



THIRD FLOOR PLAN

SCALE: 3/32"=1'-0"

UPGRADE EXTERIOR WALL:

- 38 mm Roxul Comfortboard 80
- 13 mm plywood sheathing
- 140 mm wood studs @ 400 mm O.C.
- Fibreglass or mineral wool insulation
- 2 layers of 16 mm type X gypsum wallboard

e.g., two panes of 6 mm thick
glass separated by a 13 mm
airgap (i.e., 6-13-6).

e.g., one pane of 6 mm thick
laminated glass separated from one 6
mm pane of glass by a 12 mm
airgap (i.e., 6(laminate)-12-6).

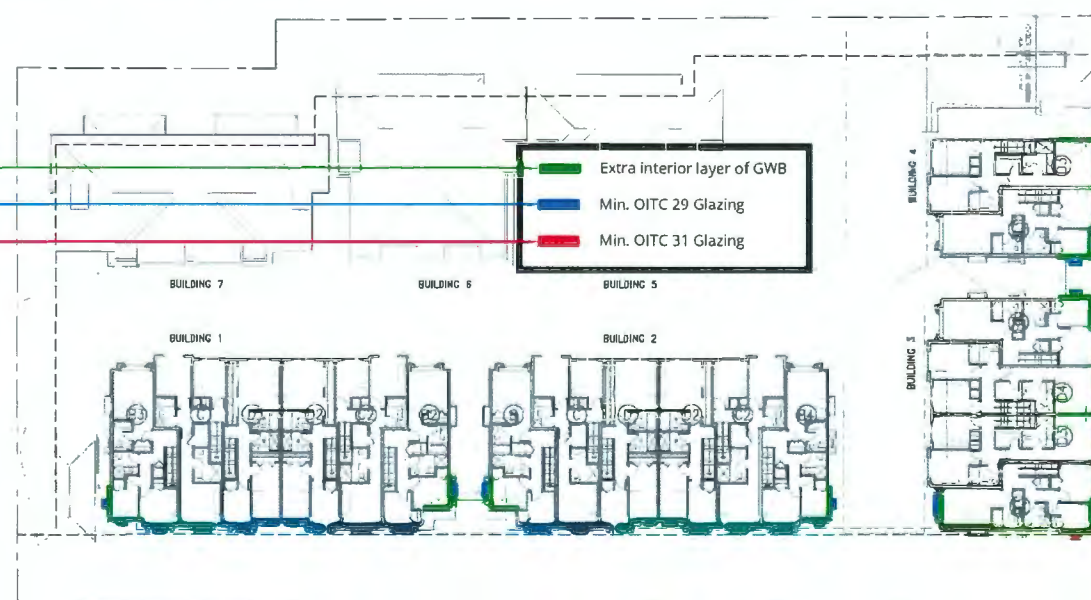
NOTES ON ACOUSTIC REPORT:

Mechanical noises including in-suite and exterior
mechanical equipment noises are controlled per City and
governmental requirements (see Acoustic Report)

EXTERIOR WALL/GLAZING UPGRADING FOR ACOUSTIC REQUIREMENTS

SCALE: NTS

- Extra interior layer of GWB
- Min. OITC 29 Glazing
- Min. OITC 31 Glazing



THIRD FLOOR PLAN

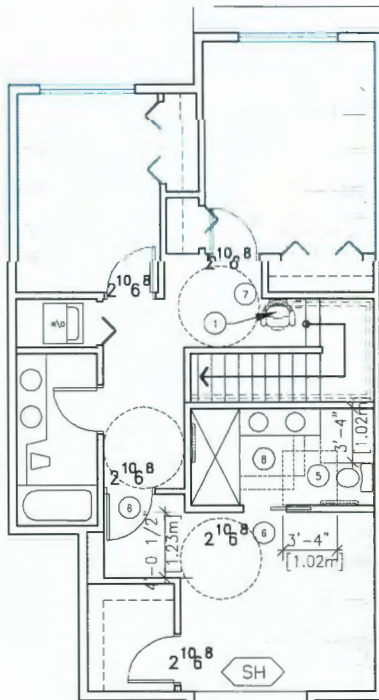
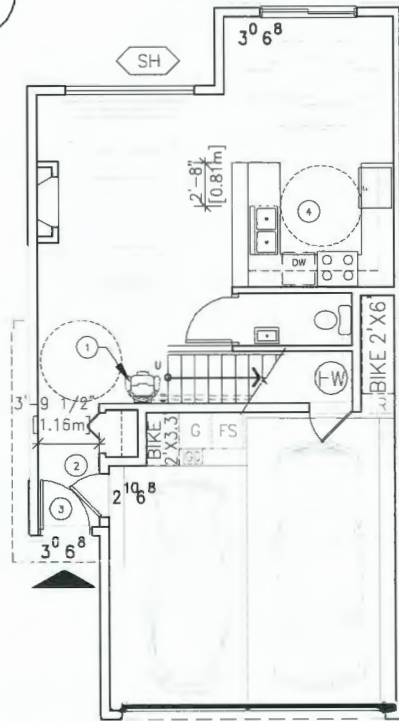
SCALE: 3/32"=1'-0"

REFERENCE PLANS

A

GROUND FLOOR

SECOND FLOOR



UNIT A

GROUND FLOOR

SECOND FLOOR

SCALE: 1/8"=1'-0" 427.20 SF 39.70 SM
GARAGE 366.8 SF 34.1 SM
STAIR ENTRY: 107.6 SF 10.0 SM (EXCLUDED)

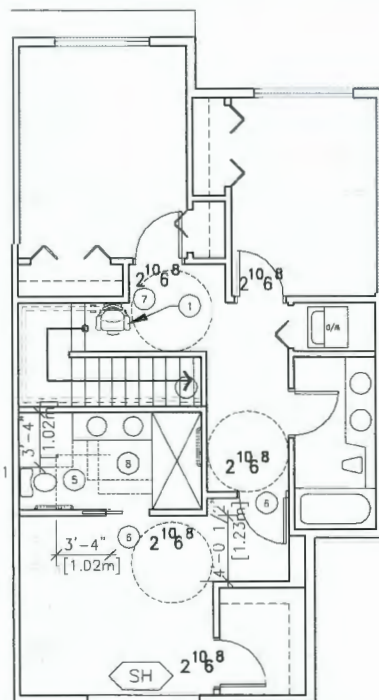
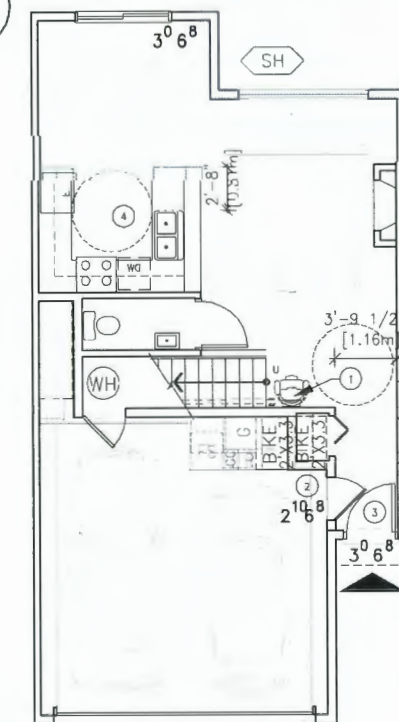
SCALE: 1/8"=1'-0" 812.1 SF 75.4 SM
STAIRCASE: (EXCLUDED)

TOTAL FLOOR AREA: 1239.30 SF 115.1 SM
LOT COVERAGE: 901.7 SF 7.8 SM

GROSS FLOOR AREA: 1713.70 SF 159.2 SM
EXEMPTED FLOOR AREA: 474.40 SF 44.1 SM

SH WINDOW THAT CAN BE OPENED WITH A SINGLE HAND

A2



UNIT A2

GROUND FLOOR

SECOND FLOOR

SCALE: 1/8"=1'-0" 427.20 SF 39.70 SM
GARAGE 366.8 SF 34.1 SM
STAIR ENTRY: 107.6 SF 10.0 SM (EXCLUDED)

SCALE: 1/8"=1'-0" 812.1 SF 75.4 SM
STAIRCASE: (EXCLUDED)

TOTAL FLOOR AREA: 1239.30 SF 115.1 SM
LOT COVERAGE: 901.7 SF 7.8 SM

GROSS FLOOR AREA: 1713.70 SF 159.2 SM
EXEMPTED FLOOR AREA: 474.40 SF 44.1 SM

NOTE 1 : WINDOW ONLY FOR UNIT A2 OF BLDG. 5 ON N. ELEVATION.

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB, AND SHOWER;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES;
-STAIRWELL HANDRAILS;

BAY WINDOW NOTES:

BAY WINDOW SEAT MIN. 2' ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE. (REFER SECTION DETAIL ON A-10)

LEGEND FOR NOTES

- 1 LIFT CHAIR
- 2 2'-10" (0.863M) MIN. WIDTH CLEAR FLUSH THRESHOLDS (13MM MAX.)
- 3 PROVIDE WIRING IN WALL FOR FUTURE AUTOMATIC DOOR 2'-10" (0.863M) WIDTH CLEAR FLUSH THRESHOLDS (13MM MAX.)
- 4 PLUMBING & GAS PIPES LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE
- 5 TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT
- 6 2'-8" (0.8M) MIN. WIDTH CLEAR FOR DOORS TO MASTER BEDROOM & ENSUITE BATH ROOM (2'-8" SLIDING)
- 7 AT TOP OF ALL STAIRS, WALLS ARE REINFORCED WITH 2X12 SOLID LUMBER @ 3'-0" O.C.
- 8 SOLID WOOD BLOCK'G TO BE INSTALLED FOR GRAB BARS IN ALL BATHROOMS (INCLUDING TYP. UNITS) & LEVEL HANDLES TO BE USED

CHECKLIST - CONVERTIBLE UNIT FEATURES

DOORS & DOORWAYS

ENTRY DOOR MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS.
ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER)

INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.

PATIO/BALCONY MIN. 860MM CLEAR OPENING.
(REMOVABLE THRESHOLD RAMP TO BE USED FOR ACCESSIBILITY)
ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY BC BUILDING CODE.
LEVER-TYPE HANDLES FOR ALL DOORS.

VERTICAL CIRCULATION

CHAIR LIFT (FOR VERTICAL CIRCULATION AS NOTED ON FLOOR PLANS) IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE CHAIR LIFT INSTALLATION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2X12 SOLID LUMBER AT 914MM TO CENTRE.

HALLWAYS

MIN. 900 MM WIDTH

GARAGE

MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH
ACCESS FROM GARAGE TO LIVING AREA WITH MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.) AND FLUSH THRESHOLDS MAX. 13 MM HEIGHT

BATHROOMS (MIN. 1)

TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2X12 SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
CABINETS UNDER SINK(S) ARE EASILY REMOVED.
DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE. (LAYOUT OR FIXTURE PLACEMENT).
MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.)
WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT

KITCHEN

CLEAR AREA NEEDED UNDER FUTURE WORK SPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER) ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304MM TO 355MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
CABINETS UNDER SINK ARE EASILY REMOVED.
1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM
MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.)
WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT
LEVER-TYPE HANDLES FOR PLUMBING FIXTURES

WINDOWS

MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

OUTLETS & SWITCHES

PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITH PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS
UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

REFERENCE PLANS



ZHAO XD
ARCHITECT
LTD.

#255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1736

Email: info@zhaoarch.com
Web: zhaoarch.com



2024-05-17
This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

29JUL/24 OPP

17MAY/24 JPP

04APR/24 CITY COMMENTS/DPP

08NOV/23 ADP COMMENTS/DPP

15JUN/22 ADP/DPP

07JUL/21 ROAD DEDICATION

26APR/21 JP APPLICATION

02JULY/20 FOR CITY COMMENTS

JUN/18 RZ APPLICATION

Date: Issued For:

A A DETAIL NUMBER
B B LOCATION SHEET
C C DETAIL SHEET

All drawings, specifications and other related documents are the copyright property of the CONSULTANT and shall be returned upon request.

Reproduction of drawings and related documents, in whole or in part, is forbidden without the written permission of the CONSULTANT.

The contractor shall check and verify all pertinent dimensions and report any discrepancies to the CONSULTANT before proceeding with the work.

Project:

TOWNHOUSE
DEVELOPMENT
@ NO. 2 ROAD &
BLUELLE ROAD

8031-71 No. 2 Rd & 5760-86
Blundell Rd., Richmond, BC

Drawing Title:

UNIT PLAN &
OVERLAYS

Date: 2024-05-08

Scale: AS SHOWN

Drawn By: XD ZHAO

Checked By: XD ZHAO

Project No: OP 21-934620

Drawing No.:

A13



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 31, 2024

From: Joshua Reis
Director, Development

File: DP 24-011767

Re: Application by Canadian Tire Ltd. for a Development Permit at 11388 Steveston Highway

Staff Recommendation

That a Development Permit be issued which would permit exterior renovations to the façade of the existing building located at 11388 Steveston Highway on a site zoned "Industrial Community Commercial (ZC6)".

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

JR:le
Att. 2

Staff Report

Origin

Canadian Tire Ltd. has applied to the City of Richmond on behalf of Coppersmith Corner Shopping Centre Inc. (Director: David Bell and Officer: Ian Gillespie) for permission to renovate the exterior façade of the existing Canadian Tire at 11388 Steveston Highway on a site zoned “Industrial Community Commercial (ZC6) – Ironwood Area” (Attachment 1). The site currently contains a commercial shopping centre with five separate buildings. The proposed exterior renovations are limited to the existing Canadian Tire building, located in the southeast corner of the site and represents a brand refresh of the façade. The proposal also includes upgrades to existing on-site landscaping and re-striping of on-site pedestrian crossings.

There is no change to existing floor area and no new servicing requirements associated with the proposed development.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: Across Steveston Highway, existing single-family homes fronting Steveston Highway zoned “Small-Scale Multi-Unit Housing (RSM/L)” and townhouses zoned “Low-Density Townhouses (RTL3)”.
- To the east: Across Coppersmith Place, a neighbourhood shopping centre (the Ironwood Shopping Centre) zoned “Community Commercial (CC)” and “Industrial Business Park (IB1)”.
- To the south: Existing industrial buildings zoned “Industrial Business Park (IB1)” and a commercial building zoned “Industrial Community Commercial (ZC6) – Ironwood Area”.
- To the west: An existing TransLink facility on a site that is split-zoned as “Light Industrial (IL)” and “Industrial Business Park (IB1)”.

Staff Comments

The subject site is a 31,541 m² property containing a shopping centre located at the southwestern corner of Steveston Highway and Coppersmith Place in the Ironwood Sub-Area of the Shellmont Area Plan. The site is designated “Mixed Employment” in the Official Community Plan (OCP) and is zoned “Industrial Community Commercial (ZC6) – Ironwood Area”. The application is in compliance with the site’s zoning and is generally consistent with the OCP and Area Plan Development Permit guidelines applicable to the site. The limited scope of the proposed exterior alterations will neither significantly impact the overall existing form of the shopping centre, nor result in any change in floor area.

Analysis

The existing development is comprised of five single-storey buildings and associated surface parking. The original Development Permit was issued by Council on April 10, 2000 (DP 99-170446). The applicant proposes to undertake renovations to the façade of one of the buildings located in the southeastern corner of the site adjacent to Coppersmith Place as well as make some additional upgrades to landscaping on site and re-striping of on-site pedestrian crosswalks. No changes to the other buildings on the property are proposed.

Conditions of Adjacency

- The proposed exterior renovations are consistent with the established form of Commercial Retail buildings within this shopping centre and the adjacent shopping centre (Ironwood Mall) to the east across Coppersmith Place.
- The existing building is well setback from Steveston Highway and will have no additional impact on the residential properties north of Steveston Highway.
- There are no additional impacts anticipated to adjacent industrial and commercial properties located to the south and west of the subject site as a result of the proposed scope of work.

Urban Design and Site Planning

- The existing commercial centre consists of five single-storey buildings with associated surface parking. An L-shaped drive aisle provides vehicle access to each building and the parking areas.
- Existing sidewalks are provided along the front of each building for pedestrian circulation. Those sidewalks are connected to the parking areas via marked pedestrian crossings. Through this application, the applicant proposes to restripe the marked on-site pedestrian crossings.
- The existing buildings were located to allow for visibility through the site from Steveston Highway, with the rear building having a prominent entry structure with tenant branding.
- No changes to the site layout or building massing are proposed.

Architectural Form and Character

- The existing building is a single-storey with high interior ceilings, resulting in a two-storey massing. The entry feature projects above the roof line to draw attention to the location of the entrance. The proposed renovation would not change the building height.
- The existing building is currently clad in two different shades of grey, with a black feature wall and a light-coloured stone-clad feature wall adjacent to the main entrance. The pillars supporting the overhead rain protection on either side of the main entrance area also clad in light-coloured stone.
- The proposed renovation would involve updated paint with a colour scheme of grey, black and red; and re-cladding of the central feature walls.
- The proposed updated cladding on the feature walls are wood finish panels.
- The updates proposed to the existing architectural elements across the building's façade, are generally consistent with the guidelines for commercial developments along the south side of Steveston Highway in the Ironwood Sub-Area Plan.

- The building use and floor area remain unchanged. The existing provision of off-street parking exceeds the bylaw requirements.
- Business signage shown on the plans does not form part of the Development Permit and is subject to additional review by staff through the sign permit application process.

Landscape and Open Space Design

- On-site landscaping was secured through the original Development Permit (DP 99-170446) which remains generally consistent with the current guidelines. The parking area includes perimeter landscaping, landscaped islands and lighting. Accessible parking spaces are provided near the building entrance next to the central pedestrian crossing.
- While the site is well marked for pedestrian connectivity and includes on-site landscaping, not all the landscaping has been maintained in good condition and supplementation of some additional low height planting has been identified.
- Through this Development Permit application, the applicant proposes to upgrade the existing landscaping through the planting of additional low height perennial plants and shrubs and a review of the existing irrigation system to make necessary repairs.
- The applicant has provided a Landscape Plan and an associated cost estimate of \$11,033.00 for re-painting of pedestrian crossings and the planting of new low perennial plants and shrubs, including the costs of materials, installation and a 10 per cent contingency.
- Prior to the issuance of the Development Permit, the applicant will be required to pay a security deposit equivalent to the Cost Estimate as a Development Permit consideration for this project.
- There is no proposed change to exterior lighting on-site. The existing building mounted lighting is downward focused.

Crime Prevention Through Environmental Design

- The building has a single entrance for customers, which is located in the centre of the unit frontage and is visible from both Steveston Highway and Coppersmith Place.
- Pedestrian circulation through the site is via sidewalks along the front of the buildings. Pedestrian crossings between the sidewalks and the parking area are marked with cross-hatching. Through this application, the applicant proposes to update the paint markings on the pedestrian crossings that fall within the parking area which will increase the visibility of the secondary pedestrian crosswalks on either side of the main crosswalk.

Sustainability Features

- The applicant has confirmed that as part of the proposed interior building renovations specific features will be incorporated which will enhance the overall sustainability of the existing building. These include new water fixtures in the public washrooms which will be replaced with hands-free and low-flow fixtures which will result in greater water conservation.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Tolu Alabi on behalf of
Laurel Eyton
Planning Technician
(604) 276-4262

LE:he

Att. 1: Location Map
2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$11,033.00.

NOTE: staff to ensure that landscape estimates include a 10% contingency cost.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).



DP 24-011767

Attachment 2

Address: 11388 Steveston Highway

Applicant: Canadian Tire Ltd.

Owner: Coppersmith Corner Shopping Centre Inc.

Planning Area(s): Shellmont

	Existing	Proposed
Site Area:	31,541 m ²	No change
Land Uses:	Commercial and service uses	No change
OCP Designation:	Mixed Employment	No change
Zoning:	Industrial Community Commercial (ZC6) – Ironwood Area	No change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6	Max. 0.6	None permitted
Lot Coverage:	Max. 50%	No change	None
Setback – from a public road	Min. 6.0 m	No change	None
Height (m):	Max. 12.0 m	No change	None



No. DP 24-011767

To the Holder: Coppersmith Corner Shopping Centre Inc.

Property Address: 11388 Steveston Hwy

Address: #600-1067 West Cordova Street, Vancouver BC

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #5 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$11,033.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit.
6. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 24-011767

To the Holder: Coppersmith Corner Shopping Centre Inc.

Property Address: 11388 Steveston Hwy

Address: #600-1067 West Cordova Street, Vancouver BC

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

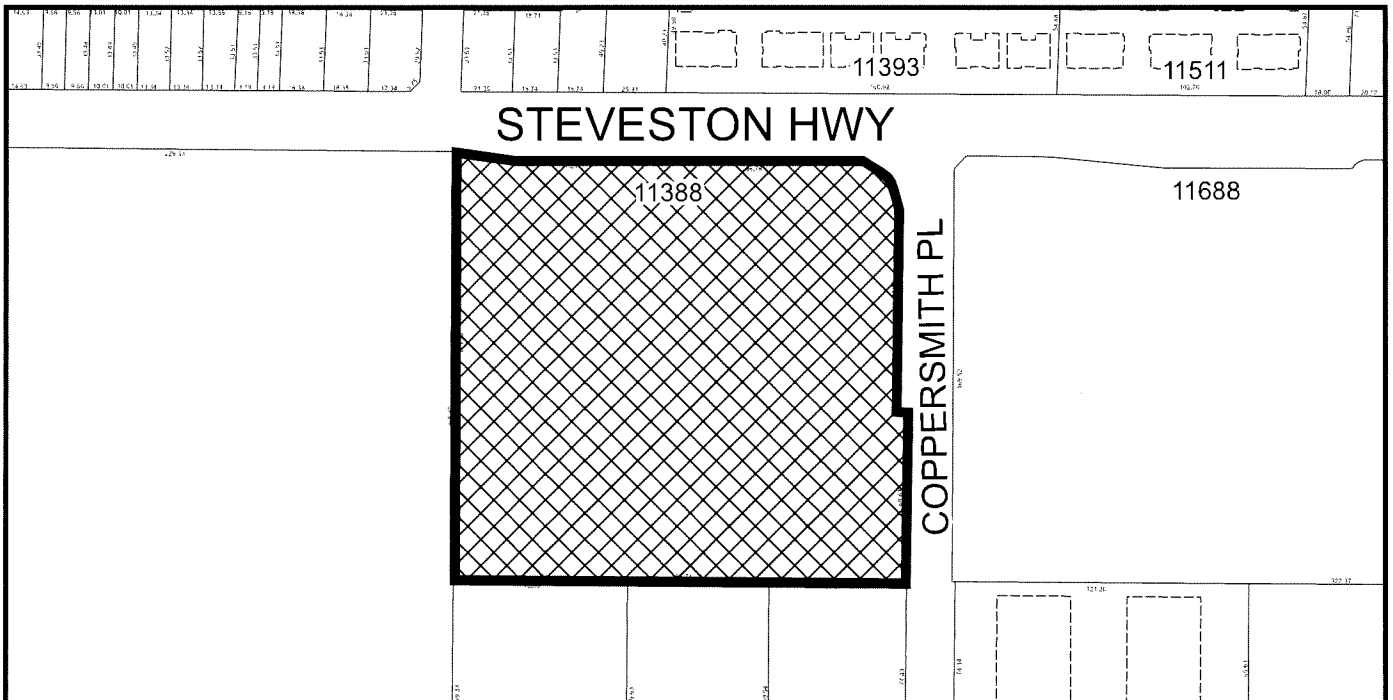
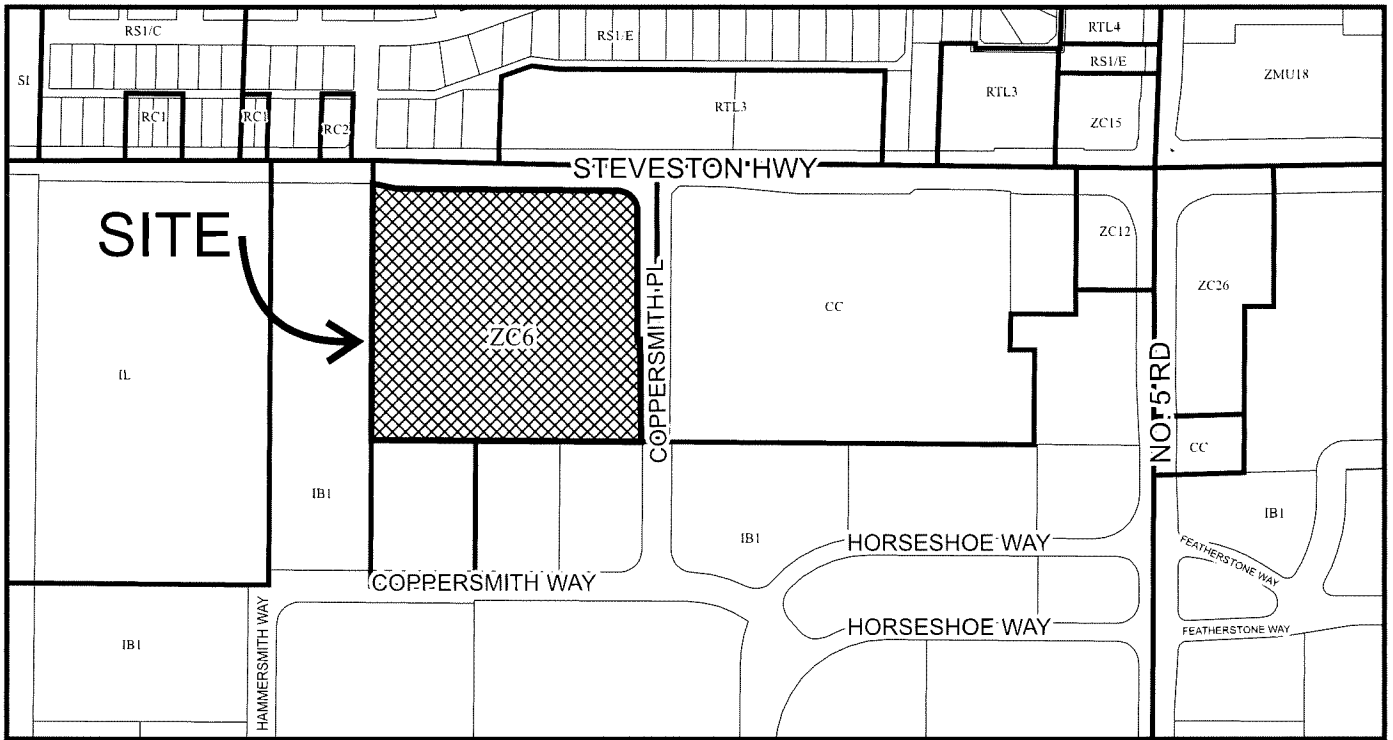
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 24-011767
SCHEDULE "A"

Original Date: 04/23/24

Revision Date: 04/26/24

Note: Dimensions are in METRES

CTR 610 - SOUTH RICHMOND

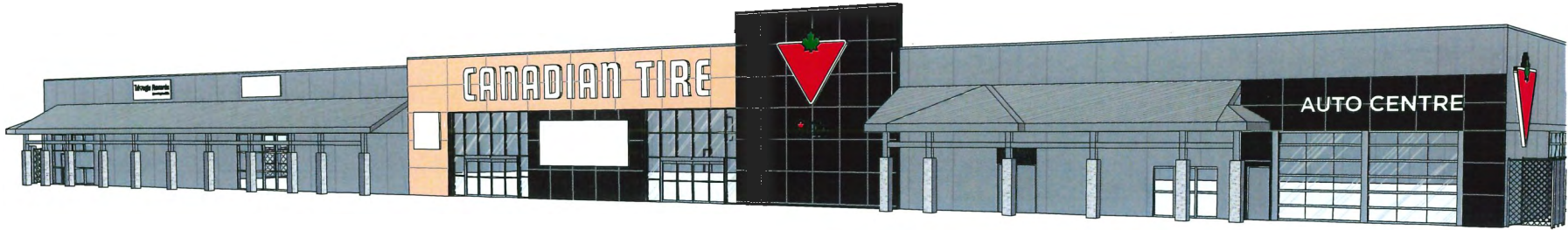
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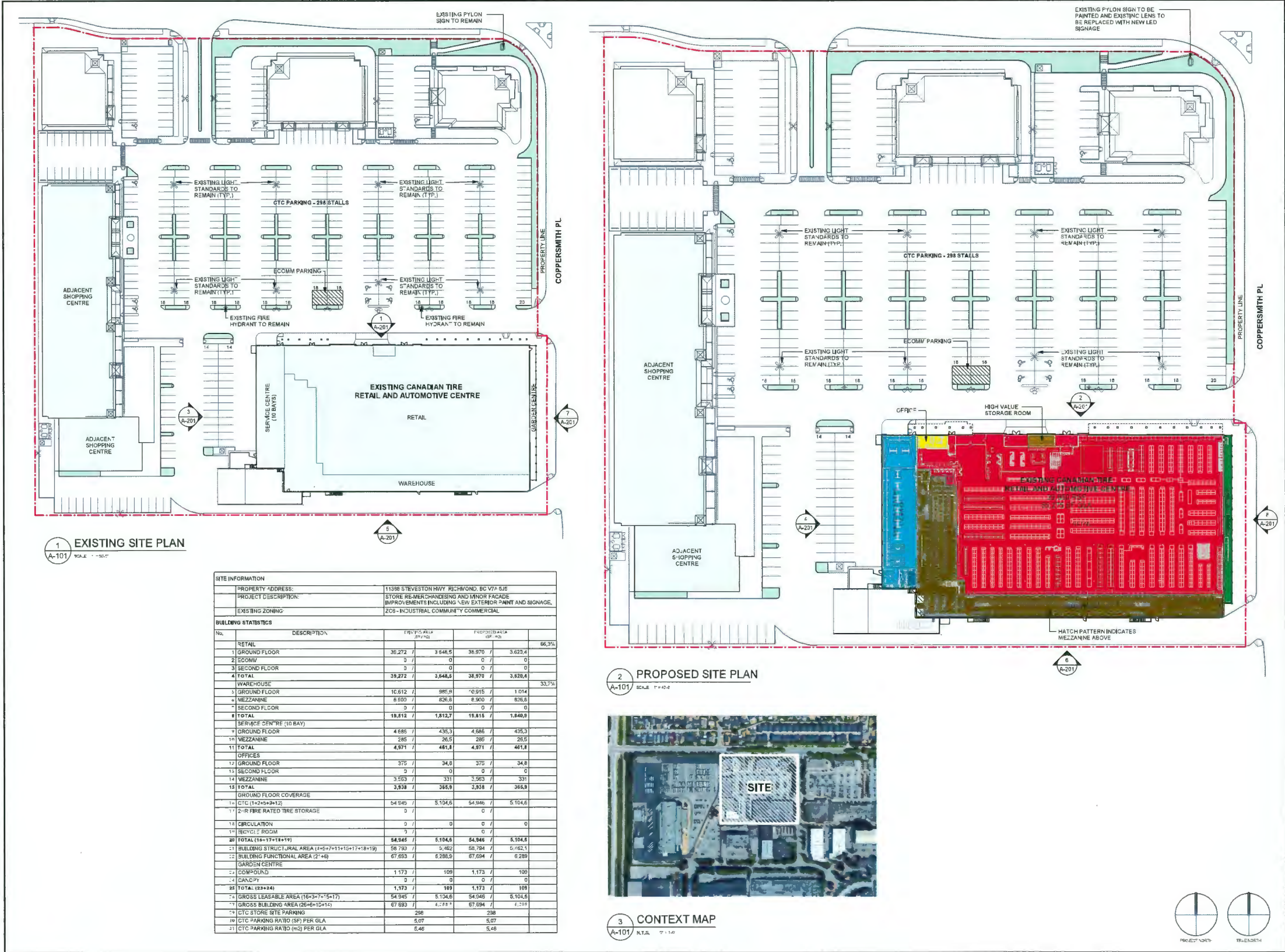


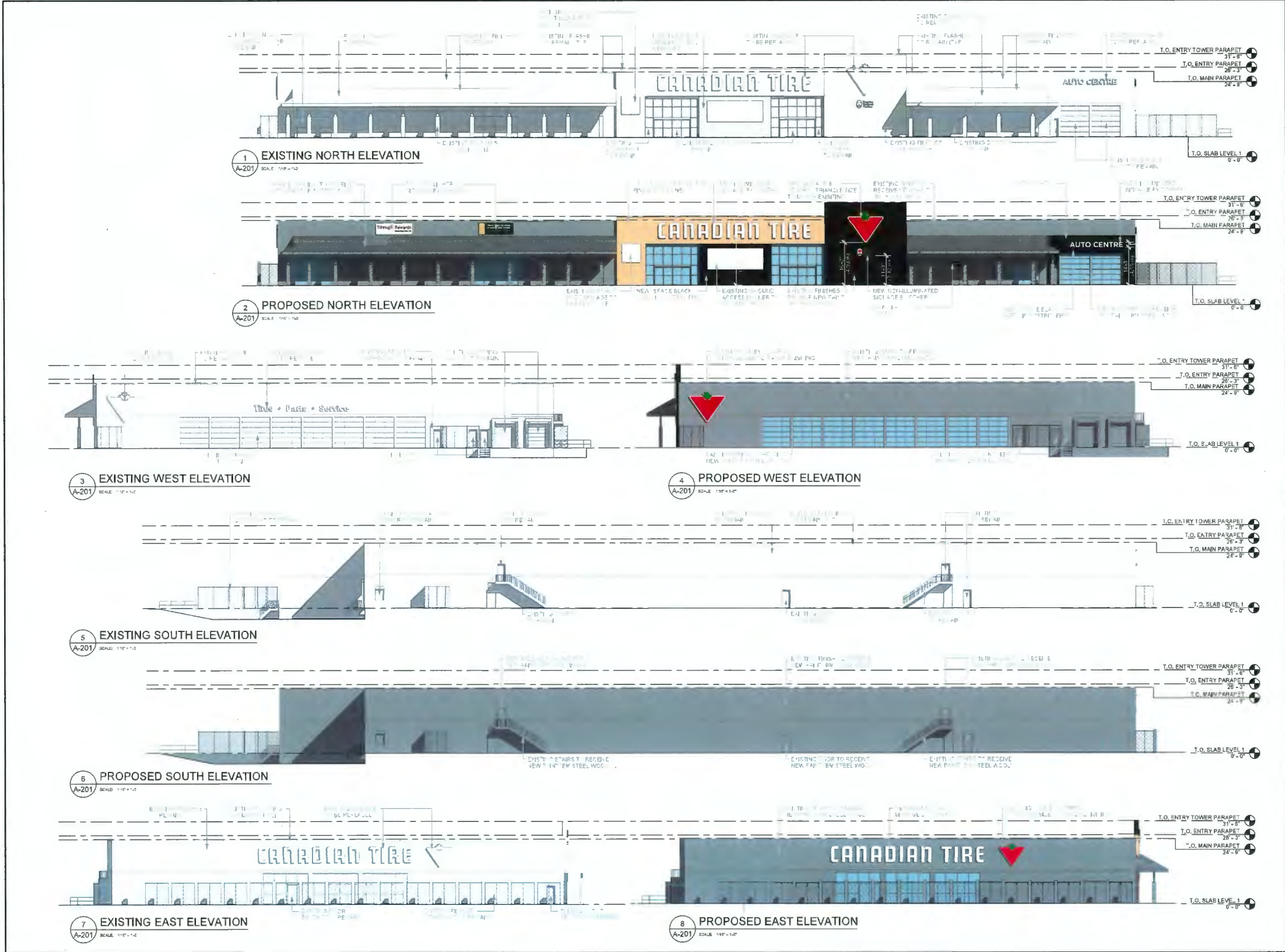
CLIENT
CANADIAN TIRE CORPORATION LTD.
WESTERN CANADA

ARCHITECTURAL
MGB ARCHITECTURE INC.
REBEKKA HAMMER
SUITE 101 1725 GOVERNMENT STREET.
VICTORIA BC V8W 1Z4
EMAIL: RHAMMER@MGBA.COM
PH: 647.217.9506

DP 24-011767
August 7, 2024
Plan # 1







MGBA

ARCHITECTURE + INTERIOR DESIGN
FAYE DELANEY + PARTNERS
UNIVERSITY MICROFILMS INTERNATIONAL
1000 BAYVIEW AVE. #1000 SCARBOROUGH, ONTARIO M1B 2Y5

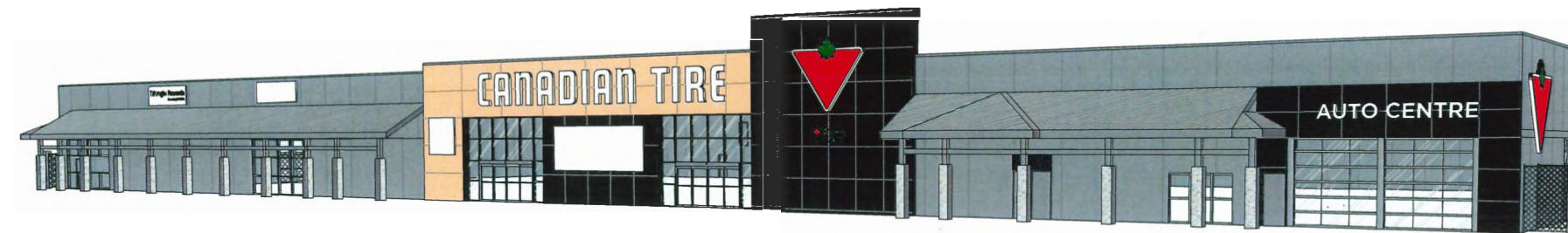
DP 24-011767
August 7, 2024
Plan # 3

NO.	DESCRIPTION	DATE	BY	CHKD.
1	ISSUED FOR DEVELOPMENT	12/12/24	MD	MD
2	FOR REVIEW	12/12/24	MD	MD
3	FOR REVIEW	12/12/24	MD	MD
4	FOR REVIEW	12/12/24	MD	MD
5	FOR REVIEW	12/12/24	MD	MD
6	FOR REVIEW	12/12/24	MD	MD
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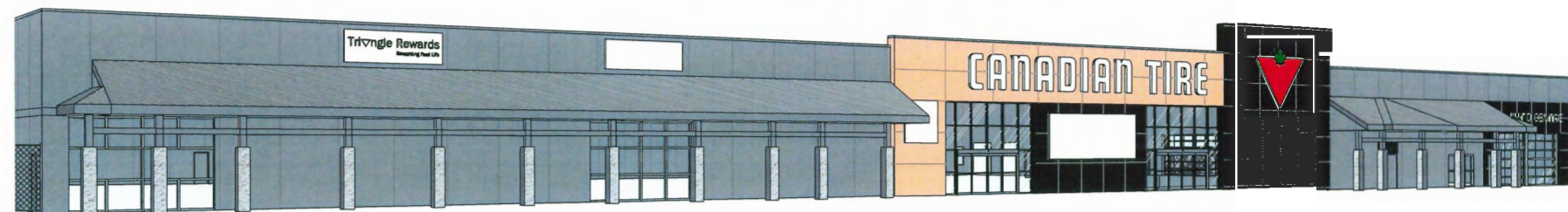
Canadian Tire Corp.
CTR 610 - SOUTH RICHMOND
11388 STEVESTON HWY RICHMOND BC
V7A 5J5

EXTERIOR
ELEVATIONS

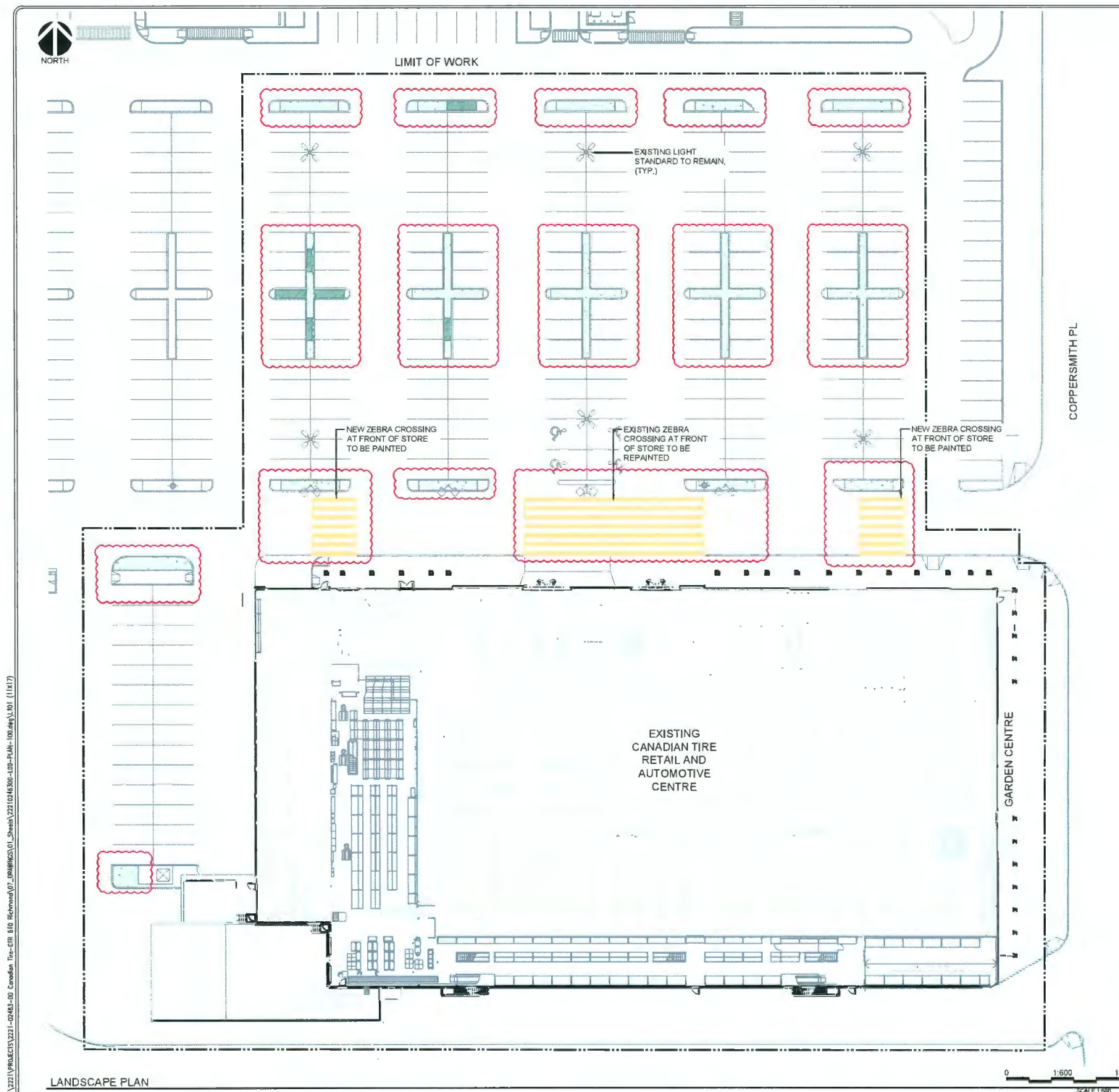
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SCALE	1/16" = 1'-0"	
SHEET NO.	A-201	2



1 NORTHWEST VIEW
A-301 N.T.S.



2 NORTHEAST VIEW
A-3D1 N.T.S.



LEGEND

--- LIMIT OF WORK

EXISTING PARKING ISLAND PLANTING BED REMOVE AND REPLACE EXISTING MULCH WITH 75mm DEPTH BARK MULCH. REMOVE DEAD AND DYING PLANT MATERIAL TO SUPPLY AND INSTALL MUNSTEAD LAVENDER. MULCH TO BE PLACED LEVEL WITH ADJACENT SURFACES. CROWN IN CENTRE OF ALL SHRUB BEDS AND TREE WELLS.

EXISTING PARKING ISLAND PLANTING BED, REMOVE EXISTING MULCH AND PERENNIAL FORBS. SUPPLY AND INSTALL SHRUBS ON EITHER SIDE OF THE TREE. SUPPLY AND INSTALL MULCH TO BE PLACED LEVEL WITH ADJACENT SURFACES CROWN IN CENTRE.

EXISTING LIGHT STANDARD TO REMAIN

AREA OF PROPOSED SITE IMPROVEMENT

NOTES

1. PARKING LAYOUT AND SURFACE MATERIALS ARE EXISTING.
2. NO NEW AREAS OF SOFT LANDSCAPING ARE PROPOSED.
3. NO NEW AREAS OF HARD LANDSCAPING ARE PROPOSED. ALL HARD SURFACE MATERIALS ARE EXISTING.
4. ALL LIGHTING INDICATED ON THE PLAN IS EXISTING.
5. PAVING, FENCING, GATES, OUTDOOR EQUIPMENT AND SCREENING ARE EXISTING.
6. IRRIGATION SYSTEM TO BE TESTED TO ENSURE ALL ZONES ARE OPERATIONAL AND NO LEAKS ARE PRESENT.
7. NO NEW TREES ARE PROPOSED - EXISTING ON SITE TREES ARE IN GOOD CONDITION.
8. PEDESTRIAN ZEBRA CROSSING LINE PAINTING TO BE YELLOW THERMOPLASTIC OR MMA.

PLANTING NOTES

1. ALL LANDSCAPING WORK AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD AND BE IN ACCORDANCE WITH CITY OF RICHMOND STANDARDS/GUIDELINES.
2. ALL PLANT MATERIAL TO COME FROM A CERTIFIED DISEASE-FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.
3. ALL PLANTING BEDS TO HAVE A MINIMUM OF 75mm DEEP BARK MULCH. ENSURE CLEAR RADIUS OF 100mm AROUND PLANT STEM.
4. PROVIDE GROWING MEDIUM DEPTHS/VOLUMES AS FOLLOWS:
 - PLANTING BEDS (PERENNIALS) - 450mm CONTINUOUS DEPTH

PLANT SCHEDULE

Total Qty.	Key	Botanical Name	Common Name	Size	Spacing O.C.	Mature Ht.
Shrub						
12	rs	<i>Ribes sanguineum</i>	Red Flowering Currant	#5 cont.	2.6m	2.4m
Perennial						
50	ts	<i>Lavandula angustifolia 'Munstead'</i>	Munstead Lavender	#5 cont.	1.5m	0.9m

PLANT IMAGES

PERENNIALS



MUNSTEAD LAVENDER
RED FLOWERING CURRANT

UTILITY LOCATES
NO RESPONSIBILITY IS IMPLIED OR ASSUMED BY THE ENGINEER/LANDSCAPE ARCHITECT AS TO THE LOCATION AND ELEVATION OF ANY UTILITY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE AND LOCATION OF ALL UTILITIES THAT MAY BE IMPACTED AND MUST CONTACT THE VARIOUS UTILITY COMPANIES FOR THE SITE PRIOR TO COMMENCEMENT OF ANY OPERATIONS. PROVIDE ENGINEER/LANDSCAPE ARCHITECT WITH COPY OF ALL LOCATE REPORTS.



KEY PLAN

SCALE N.T.S.

GENERAL NOTES

1. THIS DRAWING HAS BEEN PREPARED FOR DEVELOPMENT PERMIT PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.
2. LANDSCAPE AND CIVIL DRAWINGS SHALL BE COORDINATED. LANDSCAPE GRADING SHALL CONFORM TO THE SITE GRADING AND DRAINAGE CIVIL DRAWINGS. ENSURE POSITIVE DRAINAGE ON THE WALKWAY AND SURROUNDING LANDSCAPE.
3. LOCATION OF UNDERGROUND UTILITIES TO BE CONFIRMED PRIOR TO COMMENCEMENT OF LANDSCAPE WORKS.
4. ALL LANDSCAPE AREAS SHALL BE AUTOMATICALLY IRRIGATED.
5. VERIFY ALL DIMENSIONS, ELEVATIONS, AND DATUM. REPORT ANY ERRORS AND/OR DISCREPANCIES TO THE OWNER PRIOR TO CONSTRUCTION.
6. DO NOT SCALE DRAWINGS.
7. ALL DIMENSIONS IN MILLIMETERS UNLESS OTHERWISE NOTED.

DP 24-011767
August 7, 2024
Plan # 5

THE CITY OF RICHMOND IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS

McElhanney
2300 - 13450 - 102 Avenue, Surrey, BC Canada V3T 5X3 T: 604-536 0391

City of Richmond
6911 N.W. 3 ROAD, RICHMOND, B.C. V6V 2C1

TITLE
LANDSCAPE PLAN
11388 STEVESTON HWY
CANADIAN TIRE RENOVATION

DESIGN: KU
DRAWN: LJ
CHECKED: KU
ENGINEER: LJ
DWG. NO.: 2221-02463-00
SCALE: 1:500
DATE: 2024-07-28
SHT. NO.: 01 OF 1



PROPERTY ACQUISITION
SURVEY PLAN & PROFILE
ROAD CONSTRUCTION
STORM SEWER INSTALLATION
WATERMAIN INSTALLATION
ORNAMENTAL STREET LIGHTING
TRAFFIC SIGNALS
SANITARY SEWER INSTALLATION
OTHER _____
NOTE - PROVIDE LOCATION OF ALL UTILITIES SERVICES BEFORE STARTING CONSTRUCTION.

REFERENCE DRAWINGS
Aq _____
PP _____
Oc _____
Lc _____
Wc _____
Tc _____
Ec _____

BENCHMARK
ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER
ELEVATION _____ FIELD BOOK NO. _____
CITY WORK ORDER NO. _____ TENDER/PROJECT NO. _____
CONTRACTOR WORK ORDER NO. _____ ACCOUNT NO. _____

B.C. GAS SERVICES
THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES AND WHERE NECESSARY ARRANGE FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION OF THE WORKS SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:
B.C. GAS SERVICE RECORDS DEPARTMENT
TELEPHONE: 230-8692
NOTE - B.C. GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 31, 2024

From: Joshua Reis
Director, Development

File: DP 24-037979

Re: Application by Zeidler Architecture for a Development Permit at
6551 No. 3 Road

Staff Recommendation

That a Development Permit be issued which would permit exterior upgrades to the main East and West mall entrance of the existing building at 6551 No. 3 Road on a site zoned "Downtown Commercial (CDT1)".

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

JR:ac
Att.2

Staff Report

Origin

Zeidler Architecture has applied on behalf of the owners, RC (South) Inc. (Directors: Lois A. Miles, Sal Iacono, Brian Salpeter) and 7904185 Canada Inc (Directors: Ian Woychuk, Bilal Choksi, Stephen Kinsey), to the City of Richmond for permission to undertake exterior upgrades to CF Richmond Centre's main mall entrances at either end of the existing east-west galleria concourse facing No. 3 Road and Minoru Boulevard. The existing shopping mall building at CF Richmond Centre is located at 6551 No. 3 Road on a site zoned "Downtown Commercial (CDT1)". A location map is provided in Attachment 1.

Background

The subject site currently contains a commercial shopping centre. The south portion of the subject is the subject of a separate Development Permit application (DP 24-014255) for Phase Two of the overall redevelopment of CF Richmond Centre, and which includes a mixed-use development and expanded mall. The proposed exterior upgrades as part of this application are strictly limited to the two main mall galleria entrances.

As part of the OCP Amendment application (CP 16-752923) associated with the overall redevelopment of the mall, staff secured a SRW/PROP to ensure, upon occupancy of the first building in Phase Two, future public access through the galleria during transit operating hours. This will allow the public to pass through the mall and across the outdoor spaces surrounding the existing retail building (e.g., surface parking lots and walkways) via a generally weather protected route, as determined to the satisfaction of the City.

There is no rezoning application associated with this Development Permit application and no associated Servicing Agreement.

Development Information

6551 No. 3 Road is a roughly 11 ha (28 ac) lot located in the middle of the City Centre's Brighthouse Village area. It is currently occupied by the south part of CF Richmond Centre, a low-rise, low-density, automobile-oriented shopping centre and associated parking.

Existing development surrounding 6551 No. 3 Road includes the following:

To the north: North portion of CF Richmond Centre Mall including the "Horizons" residential towers on a site zoned "Downtown Commercial (CDT1)".

To the south: Phase One of Richmond Centre redevelopment currently under construction involving an approved Development Permit to enable expansion of the mall and construction of high-density mixed-use development (DP 17-768248), and Phase Two of Richmond Centre redevelopment involving a Development Permit, currently under staff review, to permit commercial and high-density strata and rental residential uses (DP 24-014255). Further south, the existing Richmond City Hall and City Hall Annex Building on a site zoned Downtown Commercial (CDT1).

- To the west: Further west, across Minoru Boulevard are low- and high-rise residential buildings, on lots zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)” and “High Rise Apartment (ZHR11) – Brighthouse Village (City Centre)”, the Richmond Cultural Centre and Minoru Park.
- To the east: No. 3 Road, beyond which are older, low-rise, auto-oriented commercial buildings zoned “Auto Commercial (CA)”, existing site specific zoned mixed-use and residential towers, the Canada Line's terminus station (Richmond-Brighthouse).

Staff Comments

The existing development and proposed design change complies with the intent of the applicable sections of the Official Community Plan (OCP) and "Downtown Commercial (CDT1)" zone. The existing site is zoned “Downtown Commercial (CDT1)”, with a small area, outside of the scope of this development permit, zoned "Gas & Service Stations (CG 1)" in the northwest corner of the property, which contains surface parking.

The limited scope of the proposed exterior alterations to the main mall entrances will neither significantly impact the overall existing form of the shopping centre, nor result in an increase in floor area.

Analysis

Conditions of Adjacency

- The subject site is located in the City Centre's Brighthouse Village area and the mall has a long-standing presence in the City Centre.
- The applicant is proposing a modern glass design upgrade to the existing entrances that will fit well with recent modern design aesthetics of neighbouring developments in the City Centre.
- There are no anticipated impacts to adjacent properties relating to the proposed upgrade as the galleria entrance will occupy the same areas as the previous entrances did.

Urban Design and Site Planning

- CF Richmond Centre Mall extends between No. 3 Road and Minoru Boulevard in the east-west directions and between Westminster Highway and Richmond City Hall in the north-south directions.
- The galleria is a primary east-to-west thoroughfare through CF Richmond Centre.
- In the future, the galleria is to serve as public weather protected connection through the site and a convenient connection between Minoru Boulevard and No. 3 Road and the Brighthouse Canada Line station. This connection was secured as part of the OCP Amendment application (CP 16-752923) associated with the overall redevelopment of the mall.
- At either end of the concourse is a grand entrance into the mall. These primary east and west entrances are the sole focus of this development application. Vestibules are incorporated as part of the upgrade for the primary egress doors in the new entrances for energy efficient purposes. The proposed upgrade of the galleria entrances will result in no other changes to the site layout.

Architectural Form and Character

- The proposed upgrade aims to renew and cosmetically upgrade CF Richmond Centre's main points of entry into the galleria concourse.
- Eliminating the central arch expression of the existing entrances and introducing a squared entryway will bring a new modern form to the site. The resulting appearance clearly defines the contemporary design of CF Richmond Centre, while aligning with the modern standards of future Richmond Centre residential redevelopments.
- The proposed façade entrances are comprised of three planes built out from the original façades which will step back gradually to be in line with the existing plane.
- The primary cladding being applied to the façades will be a high-performance curtain glazing system. The proposed frit patterning to be applied will be solid vertical bands that assist in conveying the verticality of the façade at the entrances. Clear glazing and solid etched glazing will be used at open areas or spandrel areas, respectively.
- The solid metal panel cladding will be used as an insulated opaque cladding between and around the glazing elements. The metal panel will be a neutral tone that is light in colour to achieve the lightness the design concept desires.
- Please note that any signage shown on the proposed plans is subject to a separate sign permit, review process and approval by the City.

Landscape Design and Open Space Design

- All existing exit pathways and building exits will remain unchanged.
- There are no proposed changes to the existing site layout and landscaping.
- The upgrade to the galleria incorporates suspended canopies over the main entrances providing weather protection to pedestrians.
- The underside of the entrance canopies will include decorative downward focused lighting on the underside of the canopy.
- On-site landscaping upgrades for the entire site have been secured as part of the approved Phase One Development Permit (DP 17-768248) and will be further reviewed as part of the review and consideration of the proposed Phase Two (DP 24-01255) Development Permit application associated with CF Richmond Centre's redevelopment.

Crime Prevention Through Environmental Design

- The proposal does not raise any CPTED concerns.
- The existing bollards in front of each entrance are proposed to remain in place providing protection between vehicles and pedestrians.
- The function of the glazed entrance will remain unchanged, with high visibility during the day and the doors securely locked after hours.
- There are no new features proposed which would add concern from a CPTED perspective.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Alex Costin
Planning Technician
(604-276-4200)

AC:he

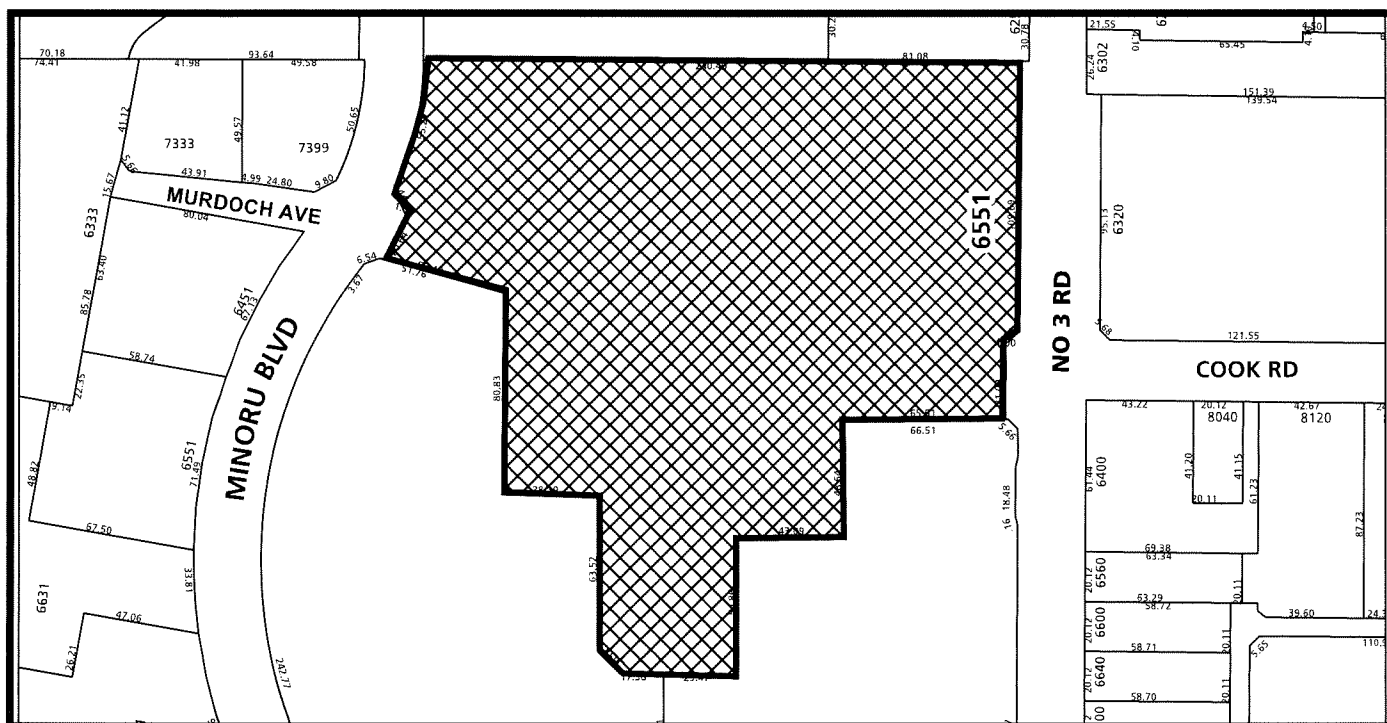
Att. 1: Location Map
2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

- Payment of all fees in full for cost associated with Public Notices.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>), if applicable.



DP 24-037979

Note: Dimensions are in METRES



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 24-037979

Attachment 2

Address: 6551 No. 3 Road

Applicant: Zeidler Architecture Owner: RC (South) Inc. and
7904185 Canada Inc.

Planning Area(s): Brighthouse Village (City Centre)

Floor Area Gross: 49,124 m² Floor Area Net: 44,940 m²

	Existing	Proposed
Site Area	112,304 m ²	No Change
Land Uses	Commercial	No Change
OCP Designation	Downtown Mixed Use	No Change
Area Plan Designation	Urban Core T6 (45m)	No Change
Zoning	Downtown Commercial (CDT1) & Gas & Service Stations (CG1)	No Change



No. DP 24-037979

To the Holder: ZEIDLER ARCHITECTURE

Property Address: 6551 No. 3 Road

Address: 1981 Main Street, Vancouver, BC V5T 3C1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #12 attached hereto.
4. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 24-037979

To the Holder: ZEIDLER ARCHITECTURE

Property Address: 6551 No. 3 Road

Address: 1981 Main Street, Vancouver, BC V5T 3C1

5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

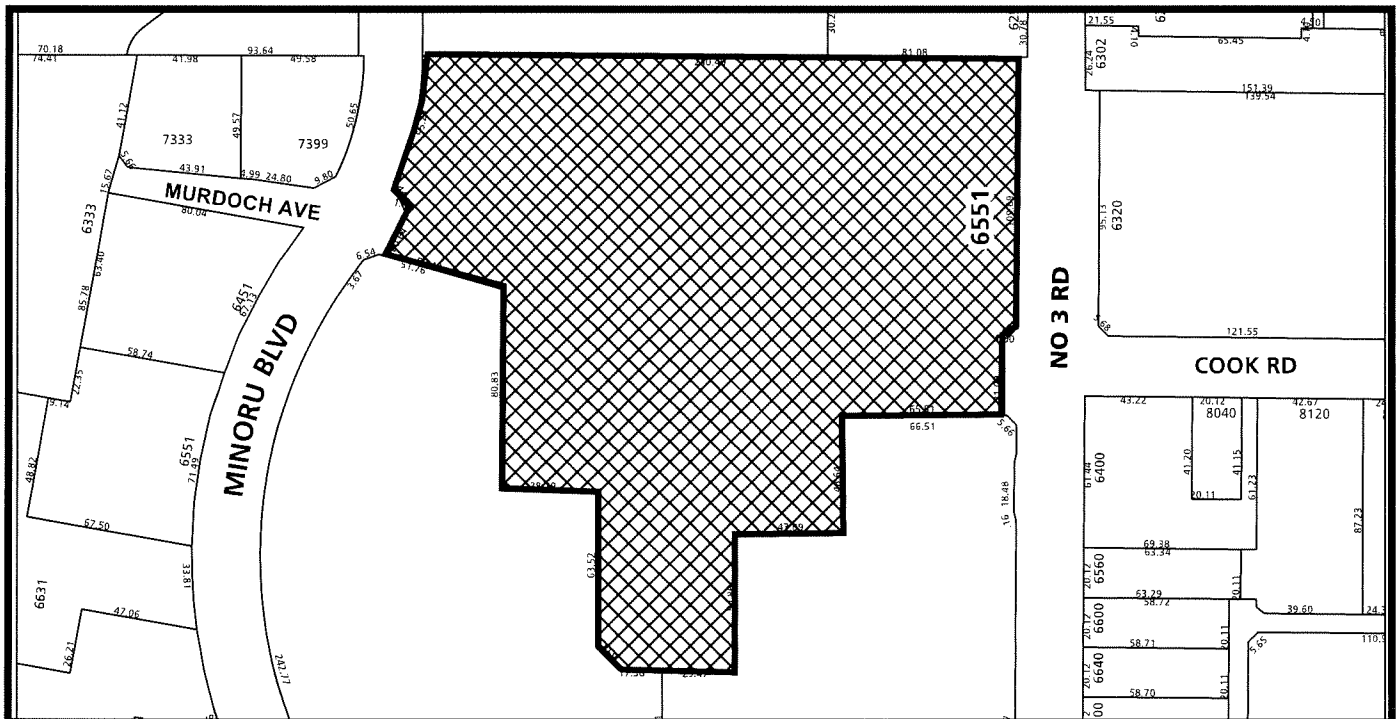
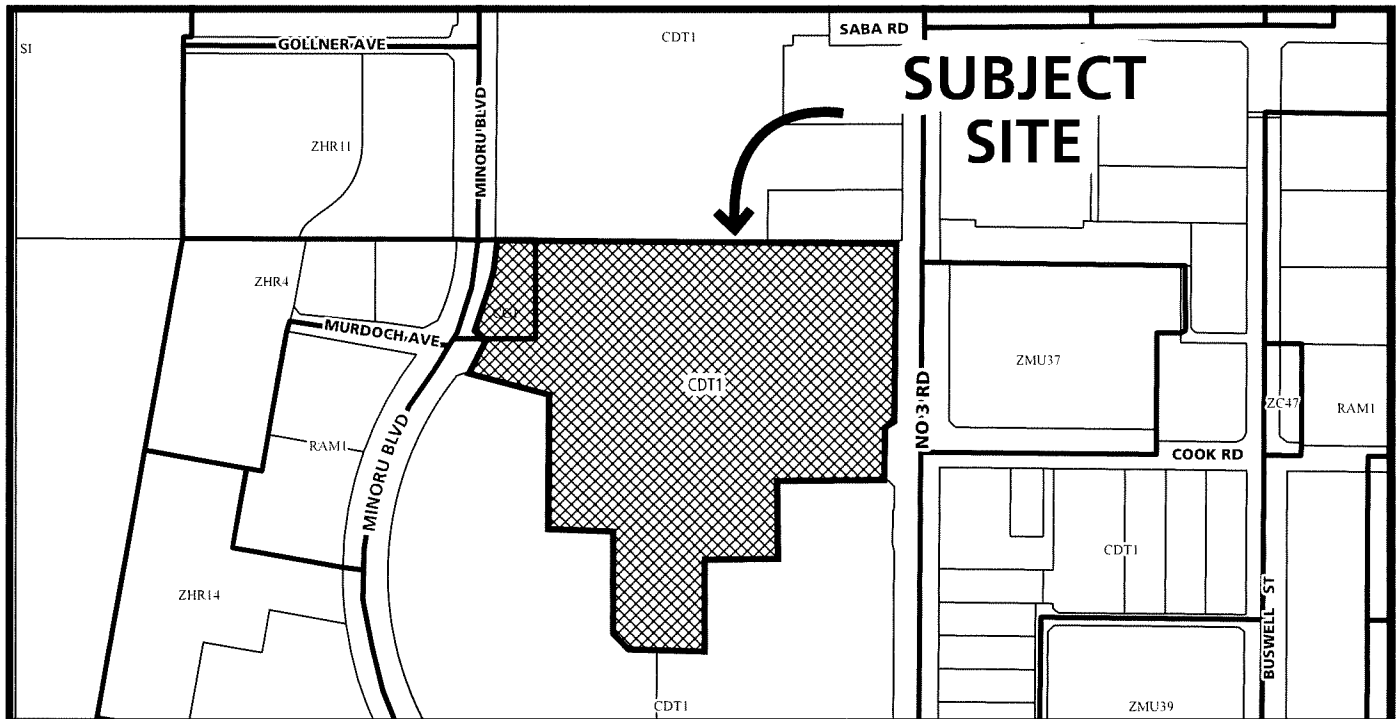
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of
Richmond



DP 24-037979
SCHEDULE "A"

Original date: 07/03/24

Revision Date: 07/29/24

Note: Dimensions are in METRES



REVISED FOR DEVELOPMENT PERMIT

2024-05-31

CF RICHMOND CENTRE - GALLERIA UPGRADES

6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

ARCHITECTURAL

- DP0.00 COVER SHEET
- DP0.01 GENERAL INFORMATION
- DP0.02 LEGENDS & SCHEDULES
- DP1.00 SITE INFORMATION & ZONING
- DP1.01 SITE CONTEXT PLAN
- DP1.02 SITE PLAN
- DP1.03 SITE PLAN - GALLERIA ENTRANCES
- DP2.01 TYPICAL ENTRANCE - DEMO & NEW
- DP2.02 NEW FLOOR PLAN / RCP - ENTRANCE VESTIBULES
- DP3.01 EXTERIOR ELEVATION - TYPICAL NEW ENTRANCE



Zeidler Architecture

1981 Main Street
Vancouver, British Columbia V5T 3C1
T 604 423 3183 | zeidler.com

CLIENT



#910 - 609 GRANVILLE ST.
VANCOUVER, B.C. V7Y 1G5

DAVID LEE
604-688-7236

ARCHITECTURAL



1981 MAIN STREET
VANCOUVER, B.C. V5T 3C1

SEAN CRAWFORD
403-699-7794

STRUCTURAL



#300 - 1285 W BROADWAY
VANCOUVER, B.C. V6H 3X8

DAMIEN STONEHAM
604-739-0048

MECHANICAL



#300 - 6400 ROBERTS STREET
BURNABY, B.C. V5G 4C9

IAN GRANNARY
778-313-0470

ELECTRICAL



#300 - 6400 ROBERTS STREET
BURNABY, B.C. V5G 4C9

IAN GRANNARY
778-313-0470

COMMERCIAL DESIGN



#200 - 1420 FIFTH AVE.
SEATTLE, WA. 98101-2343

DAVID R.
CHAMNESS
206-623-4646

July 30, 2024
DP 24-037979
Plan # 1

2	REVISED FOR DEVELOPMENT PERMIT	2024-05-31
1	ISSUE FOR DEVELOPMENT PERMIT	2024-03-22
NO.	ISSUE/ REVISION	DATE

PROJECT NO.	DRAWN	CHECKED
222-125	CP	EA

DRAWING NO.	REVISION NO.
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DP0.00

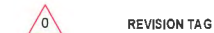
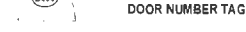
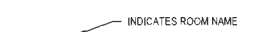
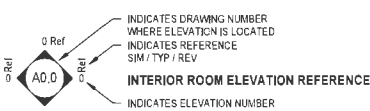
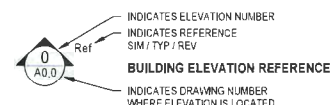
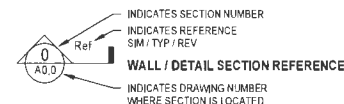
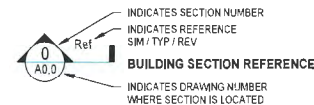
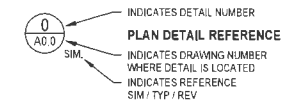
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Autodesk Docs //CF Richmond Center - Mail Upgrades/222-125_2023-05-25-Richmond Centre Mail Upgrades_R23_OD_Central.rvt 2024-03-22 9:45:24 AM

THESE DRAWINGS SHALL BE READ IN CONJUNCTION AND COORDINATED WITH ALL CONTRACT DOCUMENTS ISSUED FOR THIS PROJECT.
CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH THE 2018 BRITISH COLUMBIA BUILDING CODE, AND ALL OTHER MUNICIPAL AND/OR BASE BUILDING LANDLORD REGULATIONS AND STANDARDS

SYMBOL LEGEND

ANNOTATION SYMBOLS



ASSEMBLY SYMBOLS



FINISHES SYMBOLS



GENERAL NOTES

- A SITE CHECK MUST BE CONDUCTED BY THE CONTRACTOR PRIOR TO COMMENCING WORK. CONTRACTOR TO NOTIFY ARCHITECT IN WRITING OF ANY CONCERNS OR UNEXPECTED CONDITIONS PRIOR TO STARTING WORK. ANY SITE CONDITIONS FOUND TO BE DIFFERENT THAN THOSE SHOWN SHALL BE REPORTED TO THE ARCHITECT IN WRITING.
- ALL WORK TO COMPLY WITH THE APPLICABLE VERSION OF THE BUILDING CODE, STANDARDS, AND LOCAL BYLAWS, REGULATIONS, & ORDINANCES.
- DRAWINGS ARE NOT TO BE SCALED.
- ALL DIMENSIONS AND INSTALLATIONS ARE TO BE VERIFIED ON SITE BY THE CONTRACTOR. DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO STARTING WORK.
- PROVIDE SOLID BLOCKING IN WALLS AS REQUIRED FOR RAILINGS, MILLWORK, WASHROOM ACCESSORIES, ETC. AND AT ALL DOOR JAMBS WHERE LOCKING HARDWARE IS SPECIFIED FOR THE DOOR. PROVIDE SOLID BLOCKING IN STUD PARTITIONS AND CORES IN MASONRY PARTITIONS BEHIND ALL RECESSED OR FLUSH MOUNTED EQUIPMENT AND ACCESSORIES AT ALL ANCHORING POINTS.
- CAULK OR SEAL ALL OPENINGS INTO OR THROUGH NON-RATED WALLS, FLOORS, CEILING AND VOID SPACES TO PROVIDE A SMOKE SEAL & ACOUSTIC CONTINUITY.
- PROVIDE SOLID BLOCKING FIRESTOPS IN WALLS AT 3.0m INTERVALS VERTICALLY.
- EXTERIOR DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF CMU AND FACE OF SHEATHING UNO. SHEATHING LINE TO ALIGN WITH FACE OF CONCRETE BELOW UNO.
- INTERIOR DIMENSIONS INDICATED ON FLOOR PLANS ARE TO GRID LINE CENTERLINE AND/OR FACE OF CONCRETE, OR STUD FACE OF WALLS. SEE FLOOR PLANS FOR ADDITIONAL DIMENSION NOTES.
- CONTRACTOR TO BE RESPONSIBLE FOR ALL CONSTRUCTION AND SITE SAFETY FOR THE DURATION OF THE PROJECT.
- CONTRACTOR TO MAINTAIN ONE FULL SIZE SET OF APPROVED BUILDING PERMIT AND ISSUED FOR CONSTRUCTION DOCUMENTS ON-SITE AND MAKE AVAILABLE FOR CHECKING AT ALL TIMES DURING CONSTRUCTION.
- ANY PROPOSED CHANGES ARE TO BE SUBMITTED TO THE ARCHITECT FOR REVIEW PRIOR TO THE WORK BEING CARRIED OUT.
- REFER TO THE ARCHITECT FOR ALL CODE INQUIRIES, DETAILS AND CODE RELATED INFORMATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO BRING ALL OMISSIONS, DISCREPANCIES, INCLUDING DIMENSIONS, TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCING OF ANY WORK.
- ANY PATCHING, REPAIR, REFINISHING, RECONSTRUCTION AND REPAINTING WORK REQUIRED AS A RESULT OF PERFORMANCE OF WORK OF THIS CONTRACT SHALL INCORPORATE AND BE PERFORMED WITH MATERIALS TO MATCH SAME AND SHALL MAINTAIN REQUIRED FIRE RATINGS AT CONTRACTOR'S EXPENSE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT WHEREVER A FIRE SEPARATION IS REQUIRED AS INDICATED BY THE CONSTRUCTION TYPE ON THE DRAWINGS, ALL COMPONENTS OF THE ASSEMBLY ARE TO BE APPROVED MATERIALS WITH INSTALLATION/FABRICATION PROCEDURES PER DIRECTIONS OF THE U.L.C. AND/OR REQUIREMENTS OF THE APPLICABLE VERSION OF THE BUILDING CODE. ALL FIRE SEPARATIONS MUST BE CONTINUOUS AND ALL JOINTS TO BE AIRTIGHT.
- WHERE TYPE "X" OR TYPE "C" GYPSUM BOARD IS NOTED ON DRAWINGS, PROVIDE FIRE-RESISTANT GYPSUM BOARD C/W U.L.C. OR cUL LABEL.
- MOISTURE RESISTANT GYPSUM WALLBOARD OR CEMENT BOARD TO BE USED INSTEAD OF GYPSUM WALLBOARD IN SHOWERS, AROUND TUBS, AND BEHIND ALL WET AREAS.
- GYPSUM BOARD CONTROL JOINTS ARE TO BE 30" O.C. MAXIMUM AND ALIGN WITH CEILING CONTROL JOINTS, U.N.O.
- PROVIDE 3/4" FIRE RESISTANT TREATED PLYWOOD BACKING TO SIZE AND LOCATION NOTED FOR TELEPHONE AND SURFACE MOUNTED ELECTRICAL PANELS. LOCATIONS OF PANELS AS INDICATED ON ELECTRICAL DRAWINGS. PAINT BACKING TO MATCH ADJACENT FINISH.
- PROVIDE END DAMS AT TERMINATION OF SILL AND HEAD FLASHINGS, WINDOW AND DOOR FLASHINGS SHALL BE CONTINUOUS (NO JOINTS) FOR EACH LOCATION. THROUGH WALL AND CAP FLASHINGS TO INCORPORATE S-LOCK JOINTS. ALL FLASHINGS TO HAVE FOLDED DRIP EDGES.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE HIS OWN FORCES AND HIS SUB TRADERS TO ENSURE THAT HOLES CUT FOR PENETRATIONS THROUGH THE EXTERIOR WALL SYSTEMS ARE NOT OVERSIZED. AFTER INSTALLATION OF ANY PENETRATIONS, THE VOIDS BETWEEN THE PENETRATION OPENING AND THE PENETRATION MATERIALS SHALL BE COMPLETELY SEALED TO ENSURE THE INTEGRITY OF THE AIR-VAPOUR BARRIER.
- WHERE ARCHITECTURAL, STRUCTURAL, MECHANICAL, OR ELECTRICAL INSTALLATIONS PENETRATE WALL AND/OR FLOOR ASSEMBLIES AS A RESULT OF WORK OF THIS CONTRACT SEAL ANY SUCH PENETRATIONS WITH FIRE RATED ACOUSTICAL SEALANT AND MAINTAIN REQUIRED FIRE RATING AND ACOUSTICAL MINIMUMS.
- THESE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE GEOTECHNICAL REPORT, SURVEY, STRUCTURAL, MECHANICAL, ELECTRICAL, CIVIL, LANDSCAPING, INTERIOR DESIGN, AND ANY OTHER CONSULTANT DRAWINGS.
- WHERE NEW SITE GRADING IS CALLED FOR ON THESE DRAWINGS, SLOPE NEW ELEVATIONS UP ON TO MEET EXISTING GRADE ELEVATIONS (TO REMAIN) AT A MAXIMUM SLOPE OF 1:3.5 AND BLEND NEW TO EXISTING. PROVIDE LANDSCAPING AS INDICATED ON THE DRAWINGS. MAKE GOOD TO EXISTING SITE FINISHES, LANDSCAPING AND ELEVATIONS WHERE AFFECTED BY DEMOLITION OR CONSTRUCTION.
- ALL CEILING HEIGHTS SHOWN ON THE PLANS ARE RELATED TO A CLEAR DIMENSION ABOVE THE FINISHED FLOOR AND DIRECTLY BELOW THE CEILING.
- WHERE WALLS, BULKHEADS, ETC. ARE CALLED FOR TO EXTEND UP TO THE U/S OF THE STRUCTURE OR DECK ABOVE IT IS THE INTENTION OF THESE DRAWINGS THAT THE ASSEMBLIES IN QUESTION ARE TO EXTEND UP TO THE U/S OF THE DECK, SUBSTRATE, BOARDING OR BEAM DIRECTLY ABOVE THE SAID ASSEMBLY UNLESS INDICATED OTHERWISE ON THE STRUCTURAL DRAWINGS.
- PROVIDE DEFLECTION DETAIL AT TOP OF ALL NON-LOAD BEARING WALLS WHERE WALL ABUTS STRUCTURE ABOVE.
- WHERE FITMENTS OR INSTALLATIONS ARE SECURED/MOUNTED TO FRAMED WALL ASSEMBLIES PROVIDE HORIZONTAL SHEET METAL STRAPPING OR SOLID WOOD BLOCKING FOR ANCHORING PURPOSES.
- IN EXTERIOR WALLS WHERE DISSIMILAR MATERIALS MEET ON THE CAVITY FACE OF THE INNER WALL LAP THE JOINT OF THE DISSIMILAR MATERIALS WITH AIR/MOISTURE BARRIER (AMB/AVB) MEMBRANE TO MINIMUM 6" EACH SIDE OF THE JOINT. TYPICAL AT ALL HORIZONTAL AND VERTICAL JOINTS. REFER ALSO TO SECTION AND PLAN DETAILS, TYPICAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING MEETING MINUTES FOR ALL SITE / CONSTRUCTION MEETINGS WITH THE CONSULTANT AND OWNERSHIP TEAM. MEETING MINUTES TO BE DISTRIBUTED WITHIN 72HRS OF MEETING DATE AND SHALL INCLUDE A SAFETY REPORT, CURRENT SCHEDULE, AND UPDATED RFI & SUBMITTAL LOGS.

GENERAL NOTES CONT.

- FIRESTOPPING
- WHERE FIRE SEPARATIONS OCCUR, EXTEND PARTITIONS TO UNDERSIDE OF SLAB OR ROOF DECK OR UPPER FLOOR DECK.
- SEAL ANY OPENINGS BETWEEN STRUCTURE ABOVE AND PARTITIONS WITH ULC APPROVED FIRE STOPPING MATERIALS AND SYSTEMS.
- SEAL PENETRATIONS THROUGH FIRE SEPARATIONS WITH ULC APPROVED FIRE STOPPING MATERIALS AND SYSTEMS.
- SERVICES PENETRATING A RATED CONSTRUCTION ASSEMBLY MUST CONFORM TO THE APPLICABLE VERSION OF THE BUILDING CODE. REFER TO "PENETRATIONS IN FIRE SEPARATIONS AND FIRE-RATED ASSEMBLIES, AND ALL RELATED STANDARDS."
- THE CONTRACTOR IS TO ENSURE NO SERVICES RUN THROUGH RATED ASSEMBLIES UNLESS ALL OTHER PRACTICAL METHODS ARE EXHAUSTED AND HAVE BEEN REVIEWED WITH THE ARCHITECT. ALL D.W.V., VACUUM PIPING, WATER & GAS SUPPLY, AND CHIMNEY FLUES ARE TO BE ROUTED INTERNALLY FOR EACH UNIT AND WALL NOT PENETRATE UNIT DEMISING (PARTY) WALLS.
- REFER TO MECHANICAL AND ELECTRICAL CONSULTANT DOCUMENTS FOR SPECIFIC REQUIREMENTS TO FIRESTOPPING MECHANICAL AND ELECTRICAL SYSTEMS.
- ONLY TESTED AND APPROVED FIRESTOP SYSTEMS CONFORMING TO THE REQUIREMENTS OF APPLICABLE VERSION OF THE BUILDING CODE AND THE AUTHORITY HAVING JURISDICTION WILL BE USED. TRADE RESPONSIBLE SHALL SUBMIT SHOP DRAWINGS OF ALL ASSEMBLIES FOR REVIEW BY THE ARCHITECT PRIOR TO INSTALLATION.
- ALL REQUIRED FIRE STOPPING IS TO BE INSTALLED BY A QUALIFIED INSTALLER, USING THE MANUFACTURER'S INSTALLATION METHODS, AND THOSE THAT FOLLOW GOOD BUILDING PRACTICE.
- ALL FIRE STOPPING IS TO BE INSPECTED BY THE AHJ AND REVIEWED BY THE ARCHITECT, AS REQUIRED, PRIOR TO THE INSTALLATION OF FURTHER OR FINISH CONSTRUCTION WHICH WOULD OTHERWISE OBSCURE THE INSPECTION PROCESS. CONTRACTOR TO REQUEST A REVIEW OF FIRE STOPPING AND INSULATION BY THE ARCHITECT A MINIMUM 72 HOURS PRIOR TO COVERING.

ABBREVIATION LEGEND

NOTE: NOT ALL ABBREVIATIONS AND SYMBOLS ARE USED ON DRAWINGS CONTAINED IN THIS SET. ABBREVIATIONS AND SYMBOLS ON THIS SHEET APPLY ONLY TO ARCHITECTURAL DRAWINGS.

A/C	-AIR CONDITIONING	ELEV	-ELEVATION	MECH	-MECHANICAL	TEL	-TELEPHONE
AB	-ANCHOR BOLT	ELAS	-ELASTOMERIC	MEDC	-MEDICINE CABINET	TEMP	-TEMPERATURE
AC	-ACOUSTICAL	ELEC	-ELECTRICAL	MFR	-MANUFACTURER	THK	-THICKNESS
ACR	-ACRYLIC	ELEV	-ELEVATOR	MH	-MANHOLE	THR	-THRESHOLD
ACT	-ACOUSTICAL TILE	ENC	-ENCLOSURE	MN	-MINIMUM	THRU	-THROUGH
AD	-ACCESS DOOR	ENT	-ENTRANCE	MIR	-MIRROR	TO	-TOP OF
AD	-AREA DRAIN	EP	-ELECTRICAL	MISC	-MISCELLANEOUS	TOB	-TOP OF
ADD	-ADDENDUM	EPB	-ELECTRIC PANELBOARD	MMB	-MEMBRANE	TOC	-TOP OF CURB BEAM
ADH	-ADHESIVE	EQ	-EQUAL	MC	-MASONRY OPENING	TOI	-TOP OF INSULATION
ADJ	-ADJACENT	EOP	-EQUIPMENT	MR	-MOISTURE RESISTANT	TS	-TOP OF PARAPET
ADJST	-ADJUSTABLE	ESR	-ELASTIC SHEET	MTD	-MOUNT(D)(ING)	TOS	-TOP OF SLAB
AFF	-ABOVE FINISHED FLOOR	ROOF	-ROOFING	MTL	-METAL	TOSTL	-TOP OF STEEL
AHU	-AIR HANDLING UNIT	EW	-ELECTRIC WATER	NIC	-NOT IN CONTRACT	TOW	-TOP OF WALL
AL	-ALUMINUM	EXH	-EXHAUST	NO	-NUMBER	TPD	-TOILET PAPER
ALT	-ALTERNATE	EXIST	-EXISTING	NOM	-NOMINAL	TPTN	-TOILET PARTITION
ANC	-ANCHOR, ANCHORAGE	EXP	-EXPOSED	NRC	-NOISE REDUCTION	TRANSL	-TRANSLUCENT
ANGD	-ANGLED	EXP	-EXPANSION	NTS	-NOT TO SCALE	TS	-TUBE STEEL
AP	-ACCESS PANEL	EXN	-EXPANSION	NTS	-NOT TO SCALE	TV	-TELEVISION
APLD	-APPLIED	EXT	-EXTERIOR	CA	-OVERALL	TWB	-TREATED WOOD
APPROX	-APPROXIMATE (LY)	FBO	-FURNISHED BY OWNER	OB	-OBSOLETE	TX	-BLOCKING
ARCH	-ARCHITECTURAL	FD	-FLOOR DRAIN	OC	-ON CENTER(S)	TY	-TYPICAL
ASPH	-ASPHALT	FEC	-FIRE EXTINGUISHER	OD	-OUTSIDE DIAMETER	TZ	-TERRAZZO
AUTO	-AUTOMATIC	FEX	-FIRE EXTINGUISHER	OH	-OVERHEAD	UC	-UNDERCUT
BD	-BOARD	FFE	-FIRE EXTINGUISHER	OPG	-OPENING	UCL	-UNDERWRITERS
BET	-BETWEEN	FHS	-FIRE HOSE STATION	OPP	-OPPOSITE	UNFIN	-UNFINISHED
BINS	-BATT INSULATION	FHSM	-FLATHEAD SHT MET	ORD	-OVERFLOW ROOF DRAIN	UNON	-UNLESS OTHERWISE NOTED
BIT	-BITUMINOUS	FIN	-FINISHED	PAR	-PARALLEL	UR	-URINAL
BLDG	-BUILDING	FLC	-FLOOR CLEANOUT	PCC	-PRECAST CONCRETE	VAR	-VARIABLE (VARIES)
BLK(S)	-BLOCKING	FLG	-FLASHING	PL	-PLATE	VB	-VAPOR BARRIER
BM	-BEAM OR BENCH MARK	FLR(G)	-FLOORING	PLBG	-PLUMBING	VCT	-VINYL COMPOSITION
BOT	-BOTTOM	FND	-FOUNDATION	PTD	-PAINTED	TILE	-TILE
BR	-BRACKER ROD	FR	-FACE OF STUD	PTDR	-PAPER TOWEL RECEPT	VERT	-VERTICAL
BRG	-BEARING	FRR	-FIRE RESISTIVE	PVC	-POLYVINYL CHLORIDE	VEST	-VESTIBULE
BRK	-BRICK	FS	-FIRE SEPERATION	PVMT	-PAVEMENT	VIF	-VERIFY IN FIELD
BS	-BOTH SIDES	FTG	-FOOTING	PWD	-PLYWOOD	W	-WIDE OR WIDTH
BSMT	-BASEMENT	FUT	-FUTURE	QTY	-QUANTITY	W	-WITHOUT
BUR	-BURIED UP ROOFING	GA	-GAUGE, GAGE	R	-RISER	WC	-WATER CLOSET
BW	-BOTH WAYS	GALV	-GALVANIZED	RSI	-RESISTANCE, THERMAL	WO	-WOOD
CAB	-CABINET	GI	-GRAB BAR	RAD	-RADIUS	WOM	-WOMEN
CB	-CATCH BASIN	GL	-GENERAL CONTRACTOR	RCP	-REFLECTED CEILING	WR(G)	-WATERPROOFING
CFM	-CUBIC FEET/MINUTE	GSS	-GLASS GLAZING	RD	-ROOF DRAIN	WPT	-WORK POINT
CD	-COILING DOOR	GWB	-GYPSUM WALLBOARD	RE	-REFERENCE REFER TO	WR	-WATER RESISTANT
CG	-COILING GRILLE	GSS	-GALVANIZED STEEL	REIN	-REINFORCING	WWF	-WELDED WIRE FABRIC
CG	-CORNER GUARD	QST	-QUALED STRUCTURAL SHEET	REM	-REMOVE		
CI	-CAST IRON	TLE	-TILE	RNS	-RIGID INSULATION		
CJ	-CONTROL JOINT	GBLK	-GLASS BLOCK UNIT	RM	-ROOM		
CKT	-CRICKET	HB	-HORSE BIB	RO	-ROUGH OPENING		
CLG	-CEILING	HC	-HOLLOW CORE	ROW	-RIGHT OF WAY		
CLO	-CLOSET	HCAP	-HANDICAPPED	RP	-RADIANT PANEL		
CLR	-CLEAR (ANCE)	HOW	-HARDWARE	RWL	-RAIN WATER LEADER		
CM	-CENTIMETER	HM	-HOLLOW METAL	SBLK	-SPLASH BLOCK		
CMP	-CONCRETE	HOR	-HORIZONTAL	SC	-SOLID CORE		
CMU	-CONCRETE MASONRY UNIT	HPT	-HIGH POINT	SCH	-SCHEDULE		
CNTR	-CENTER	HR	-HOUR	SD	-SOAP DISPENSER		
CO	-CLEANOUT	HT	-HEIGHT	SD	-STORM DRAIN		
COL	-COLUMN	HTR	-HEATER	SEC	-SECTION		
COMP	-COMPRESSED (ION)	HVAC	-HEATING/VENTILATION	SH	-SHELF, SHELVING		
CONC	-CONCRETE	CTR	-COUNTER	SHT	-SHEET		
CONST	-CONSTRUCTION	CTRSK	-COUNTERSINK/ COUNTERSUNK	SHFT	-SHEATHING		
CONT	-CONTINUOUS	CW	-COLD WATER	SM	-SIMILAR		
CONTR	-CONTRACT	CWK	-CASEWORK	SND	-SANITARY NAPKIN DISPENSER		
COORD	-COORDINATE	CX	-CONNECTION	SNR	-SANITARY NAPKIN RECEPTOR		
COR	-CORRIDOR	DBL	-DOUBLE	SNT	-SEALANT		
COR	-CORRUGATED	DEM	-DEMOLISH DEMOLITION	SGG	-SLAB ON GRADE		
CPT	-CARPET (ED)	DF	-DRINKING FOUNTAIN	SPC	-SPACER, SHIM		
CT	-CERAMIC TILE	DIA	-DIAMETER	SPEC	-SPECIFICATION(S)		
CTR	-COUNTER	DIM	-DIMENSION	SPL	-SPECIAL		
CTRSK	-COUNTERSINK/ COUNTERSUNK	DISP	-DISPOSAL	SQ	-SQUARE		
CW	-COLD WATER	DL	-DEAD LOAD	SSK	-SERVICE SINK		
CWK	-CASEWORK	DN	-DOWN	ST	-STAINLESS STEEL		
CX	-CONNECTION	DOY	-DITTO	STC	-SOUND TRANSMISSION CLASS		
DBL	-DOUBLE	DP	-DAMP/PROOFING	STD	-STANDARD		
DEM	-DEMOLISH DEMOLITION	DSPP	-DISPENSER	STL	-STEEL		
DF	-DRINKING FOUNTAIN	DTL	-DETAIL	STOR	-STORAGE		
DIA	-DIAMETER	DWG	-DRAWING	STRUCT	-STRUCTURAL		
DIM	-DIMENSION	EA	-EACH	SUS	-SUSPENDED/SYMMETRICAL		
DISP	-DISPOSAL	EB	-EXPANSION BOLT	T	-TREAD		
DL	-DEAD LOAD	EJC	-ELECTRICAL CONTRACTOR	T&B	-TOP AND BOTTOM		
DN	-DOWN	EJC	-EXPANSION JOINT	T&G	-TONGUE AND GROOVE		
DOY	-DITTO	EJTF	-EXPANSION JOINT FILLER	TB	-TEST BORING/TOWEL BAR		
DP	-DAMP/PROOFING	MAINT	-MAINTENANCE				
DSPP	-DISPENSER	MAS	-MASONRY				
DTL	-DETAIL	MATL	-MATERIAL				
DWG	-DRAWING	MAX	-MAXIMUM				
EA	-EACH	MC	-MECHANICAL CONTRACTOR				
EB	-EXPANSION BOLT						
EJC	-ELECTRICAL CONTRACTOR						
EJC	-EXPANSION JOINT						
EJTF	-EXPANSION JOINT FILLER						



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July 30, 2024
DP 24-037979
Plan # 2

1	ISSUE FOR DEVELOPMENT PERMIT	2024-03-22
NO.	ISSUE/REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT

CF RICHMOND
CENTRE - GALLERIA
UPGRADES

PROJECT ADDRESS

6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2S6

TITLE

GENERAL
INFORMATION

PROJECT NO.	DRAWN	CHECKED
222-125	CP	EA

DRAWING NO.	REVISION NO.
-------------	--------------

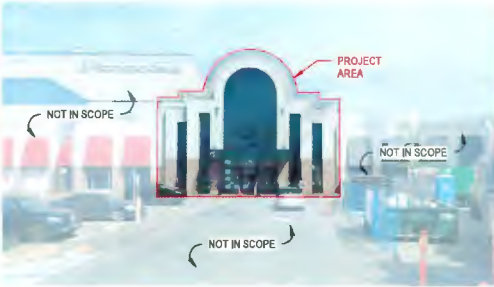
DP0.01

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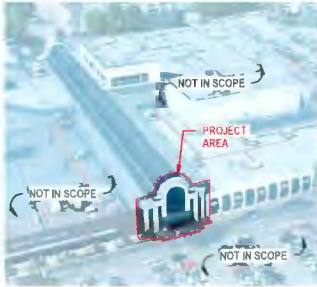
PROJECT & PROPERTY INFORMATION			
LEGAL DESCRIPTION	CIVIC ADDRESS	PROJECT CONTACT	PROPERTY CONTACT
LOT A SEC 8 BLK 4N RG 6W PL NWP31877 LOT A BLOCK 4N, PLAN NWP31877, SECTION 8, RANGE 6W, NEW WESTMINSTER LAND DISTRICT, EXCEPT PLAN EPP877 74, (B258536)	CF RICHMOND CENTRE 6551 NO. 3 ROAD RICHMOND B.C. V6Y 2B6	DP APPLICANT: ERIC ASLAN PROJECT MANAGER ZEIDLER ARCHITECTURE 604-423-3183	KELLY GORDON CLIENT / PROJECT MANAGER CADILLAC FAIRVIEW 604-318-6920
DEVELOPMENT PERMIT - PROJECT STATISTICS			
ZONING CDT1 DISTRICT (TO REMAIN UNCHANGED)		PROJECT SCOPE THIS ANALYSIS DESCRIBES INTERIOR & EXTERIOR RENOVATION OF THE SPECIFIED GALLERIA CONCOURSE & ENTRANCES OF THE EXISTING NORTH SUBDIVISION OF CF RICHMOND CENTRE. EXISTING BUILDING, USE, AND OCCUPANT LOAD IS TO REMAIN UNCHANGED EXCEPT WHERE NOTED OTHERWISE WITHIN DEVELOPMENT EXTENTS.	
PRINCIPAL USES COMMERCIAL RETAIL (TO REMAIN UNCHANGED)			
SITE PROPERTY AREA TOTAL SITE AREA = 107,884 m ²			
SUBDIVISION (NORTH) AREA TOTAL SITE AREA = 42,304 m ²			
PROJECT AREA TOTAL PROJECT SCOPE AREA = APPROX. 200 m ²			
SCOPE / LOCATION	AREA	GENERAL NOTES THE DEVELOPMENT PROCEDURES OUTLINED IN THESE DOCUMENTS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2018 AND ITS SUPPLEMENTS.	
EAST ENTRY	100 m ²		
WEST ENTRY	100 m ²		
GALLERIA CONCOURSE	NA		
GROSS TOTAL AREA	200 m²		



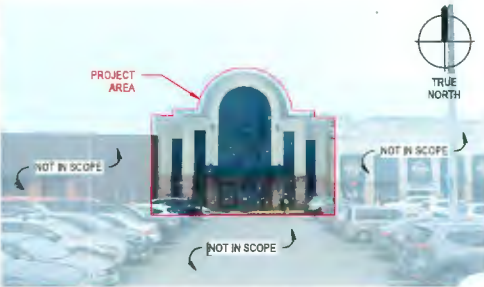
AERIAL VIEW
WEST GALLERIA ENTRANCE



STREETSCAPE ELEVATION



AERIAL VIEW
EAST GALLERIA ENTRANCE



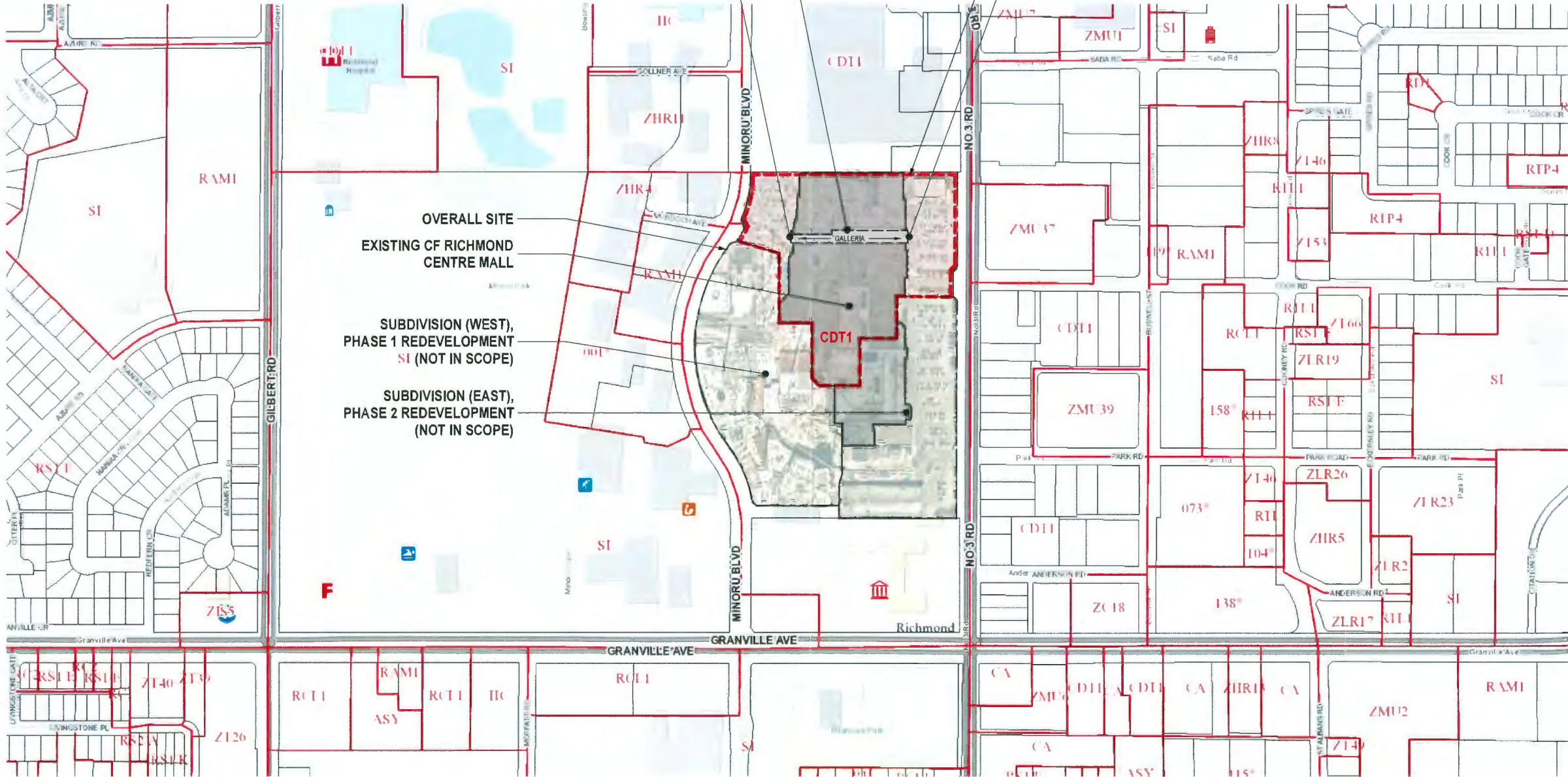
STREETSCAPE ELEVATION



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July 30, 2024
DP 24-037979
Plan # 4

1	ISSUE FOR DEVELOPMENT PERMIT	2024-03-22
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT
CF RICHMOND CENTRE - GALLERIA UPGRADES

PROJECT ADDRESS
6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

TITLE
SITE INFORMATION & ZONING

PROJECT NO.	DRAWN	CHECKED
222-125	CP	EA

DRAWING NO.	REVISION NO.
-------------	--------------

DP1.00





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July 30, 2024
DP 24-037979
Plan # 5

1 ISSUE FOR DEVELOPMENT PERMIT 2024-03-22

NO.	ISSUE/REVISION	DATE
-----	----------------	------

NOT FOR CONSTRUCTION

PROJECT

CF RICHMOND CENTRE - GALLERIA UPGRADES

PROJECT ADDRESS

6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

TITLE

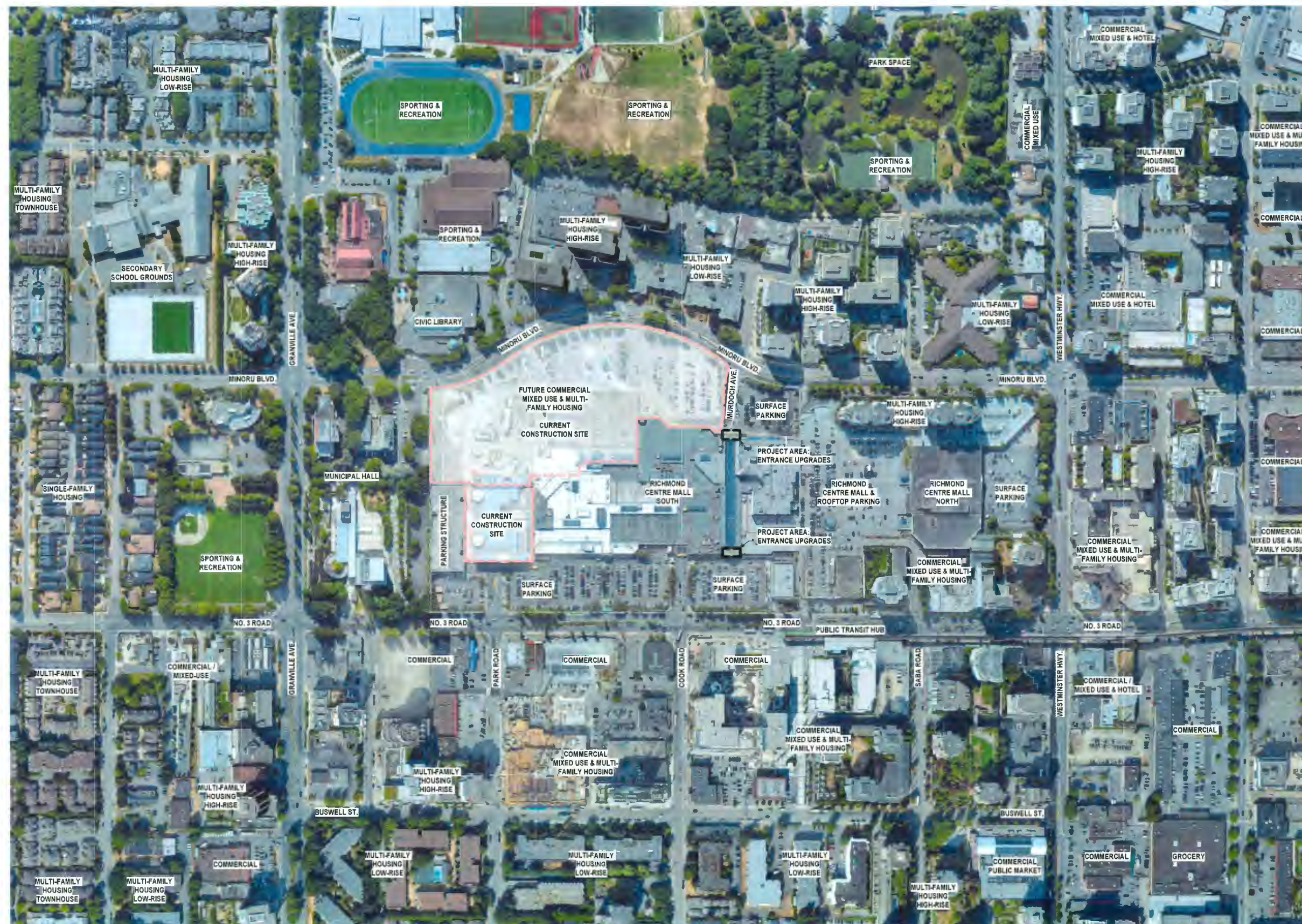
SITE CONTEXT PLAN

PROJECT NO.	DRAWN	CHECKED
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222-125	CP	EA
---------	----	----

DRAWING NO. _____ REVISION NO. _____

DP1.01



1 URBAN CONTEXT PLAN
DP1.01 SCALE: 1" = 160'-0"

autodesk Docs://G/F Richmond Center - Mall Upgrades/222-125_2023-05-25-Richmond Centre Mall Upgrades_R23_DD_Central.M

2024-03-22 9:45:44 AM

Autodesk Docs: /CF Richmond Center - Mail Upgrades/222-125_2023-05-25-Richmond Centre Mail Upgrades_R23_DO_Central.rvt

2024-03-22 9:46:02 AM

DRAFTING GRAPHIC LEGEND

- EXISTING CONSTRUCTION
NEW CONSTRUCTION
NOT IN CONTRACT
PROJECT AREA
DEMOLISHED
RE-DEVELOPMENT AREAS NOT IN SCOPE



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July 30, 2024
DP 24-037979
Plan # 6

3	ISSUE FOR DEVELOPMENT PERMIT	2024-03-22
	ISSUE FOR COSTING	2023-08-14
NO.	ISSUE/ REVISION	DATE

NOT FOR CONSTRUCTION

PROJECT

CF RICHMOND CENTRE - GALLERIA UPGRADES

PROJECT ADDRESS

6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

TITLE

SITE PLAN

PROJECT NO.	DRAWN	CHECKED
222-125	CP	EA
DRAWING NO.	REVISION NO.	

DP1.02

2

GENERAL NOTES - PROJECT SCOPE:

- PROJECT AREA IN SCOPE IS INDICATED BY FILLED REGION
- EXISTING AREAS NOT IN SCOPE ARE INDICATED BY HATCHED AREAS
- REFER TO NOTES ON SITE PLAN FOR CLARITY
- DEVELOPMENT PERMIT SCOPE OF WORK IS LIMITED TO THE CF RICHMOND CENTRE GALLERIA CONCOURSE

RICHMOND CENTRE
EXISTING EAST PARKING AREA
TO REMAIN

RICHMOND CENTRE
EXISTING EAST PARKING AREA
TO REMAIN

1 SITE PLAN
SCALE: 1" = 60'-0"

Note all existing on-site fire hydrants and Fire Department connection points will not be impacted and will remain in place.

DRAFTING GRAPHIC LEGEND

- EXISTING CONSTRUCTION
- NEW CONSTRUCTION
- NOT IN CONTRACT
- PROJECT AREA
- DEMOLISHED
- RE-DEVELOPMENT AREAS NOT IN SCOPE



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July 30, 2024
DP 24-037979
Plan # 7

5	PROGRESS DRAWINGS	2024-06-25
4	REVISED FOR DEVELOPMENT PERMIT	2024-05-31
3	ISSUE FOR DEVELOPMENT PERMIT	2024-03-22
2	ISSUE FOR COSTING	2023-08-14
1	ISSUE FOR PRELIMINARY COSTING	2023-01-16

NO.	ISSUE/REVISION	DATE
-----	----------------	------

NOT FOR CONSTRUCTION

PROJECT

CF RICHMOND CENTRE - GALLERIA UPGRADES

PROJECT ADDRESS

6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

TITLE

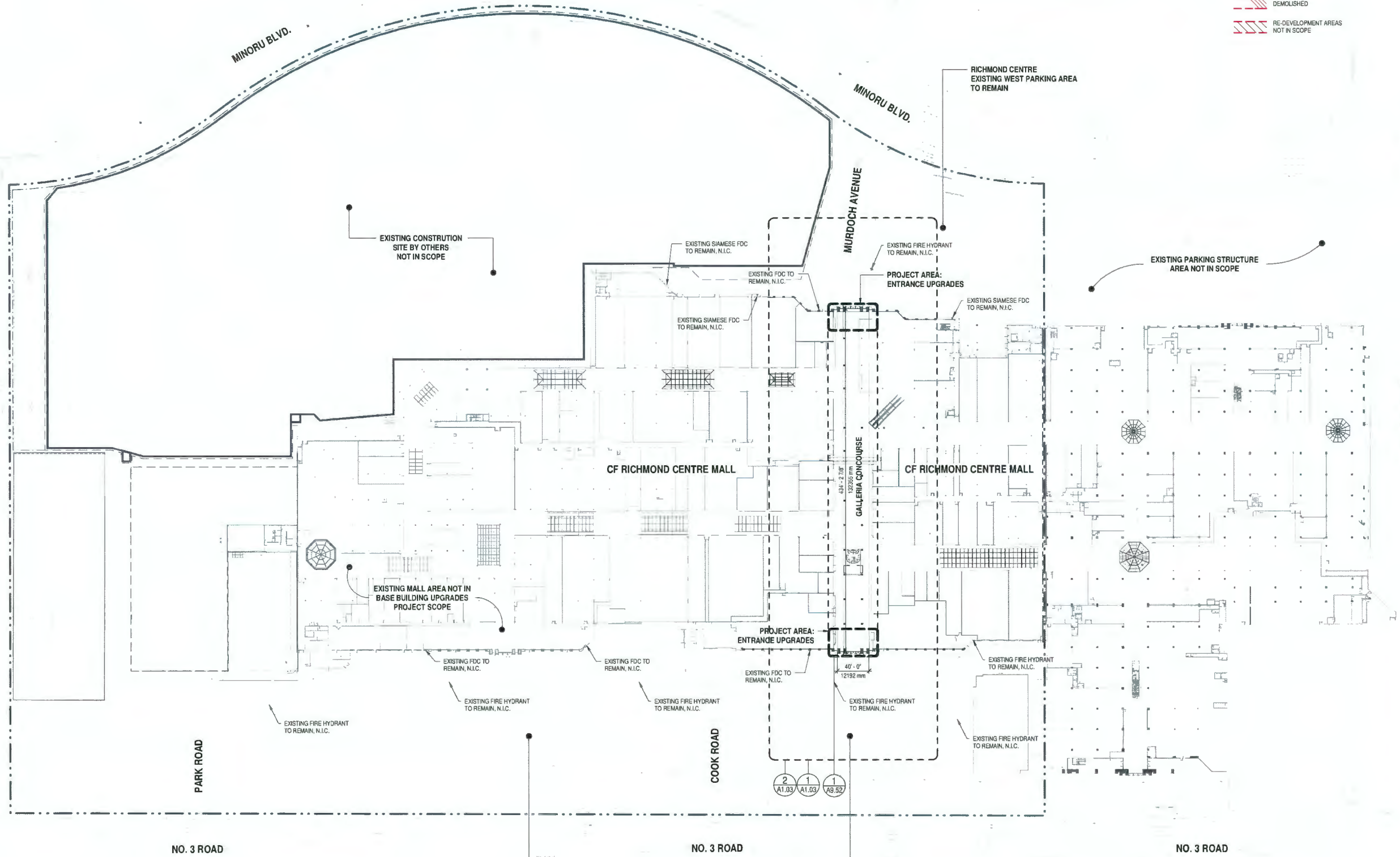
SITE PLAN

PROJECT NO.	DRAWN	CHECKED
222-125	CP	EA

DRAWING NO.	REVISION NO.
-------------	--------------

A1.02

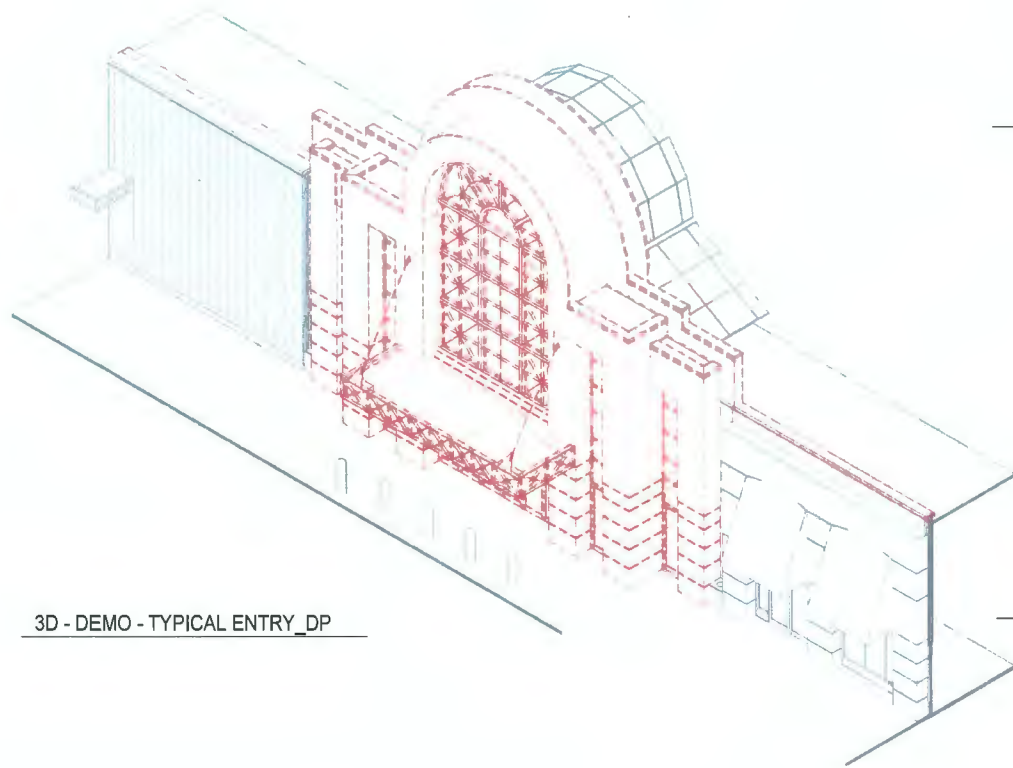
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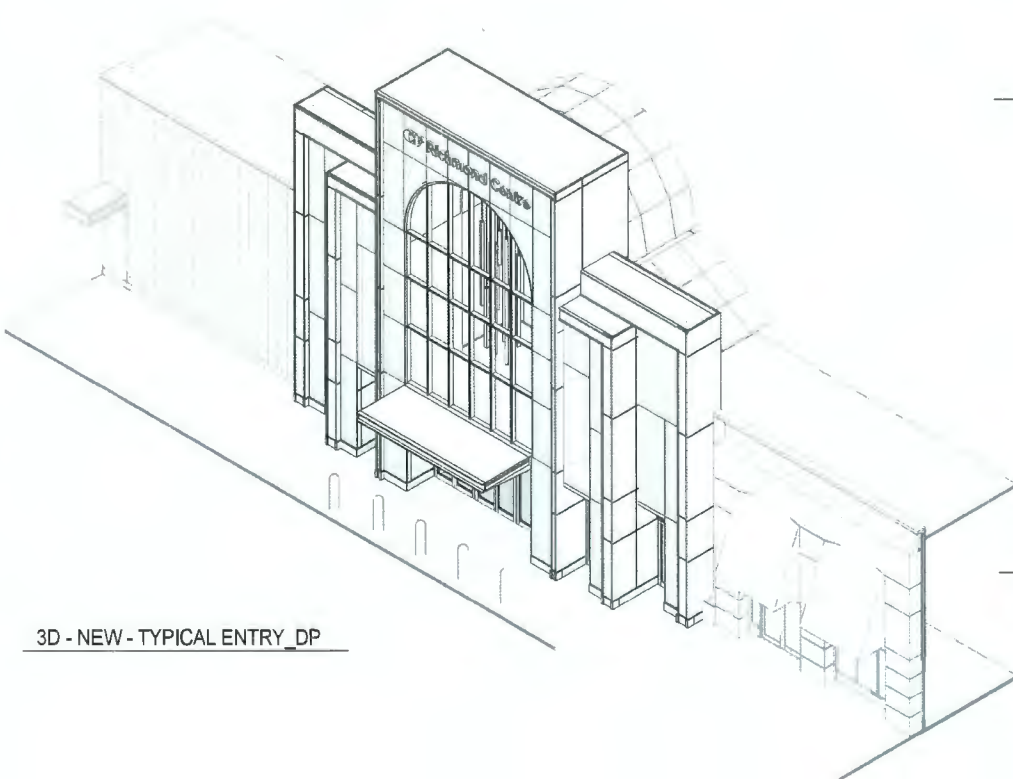
GENERAL NOTES - PROJECT SCOPE:

- PROJECT AREA IN SCOPE IS INDICATED BY FILLED REGION
- EXISTING AREAS NOT IN SCOPE ARE INDICATED BY HATCHED AREAS
- REFER TO NOTES ON SITE PLAN FOR CLARITY
- DEVELOPMENT PERMIT SCOPE OF WORK IS LIMITED TO THE CF RICHMOND CENTRE GALLERIA CONCOURSE

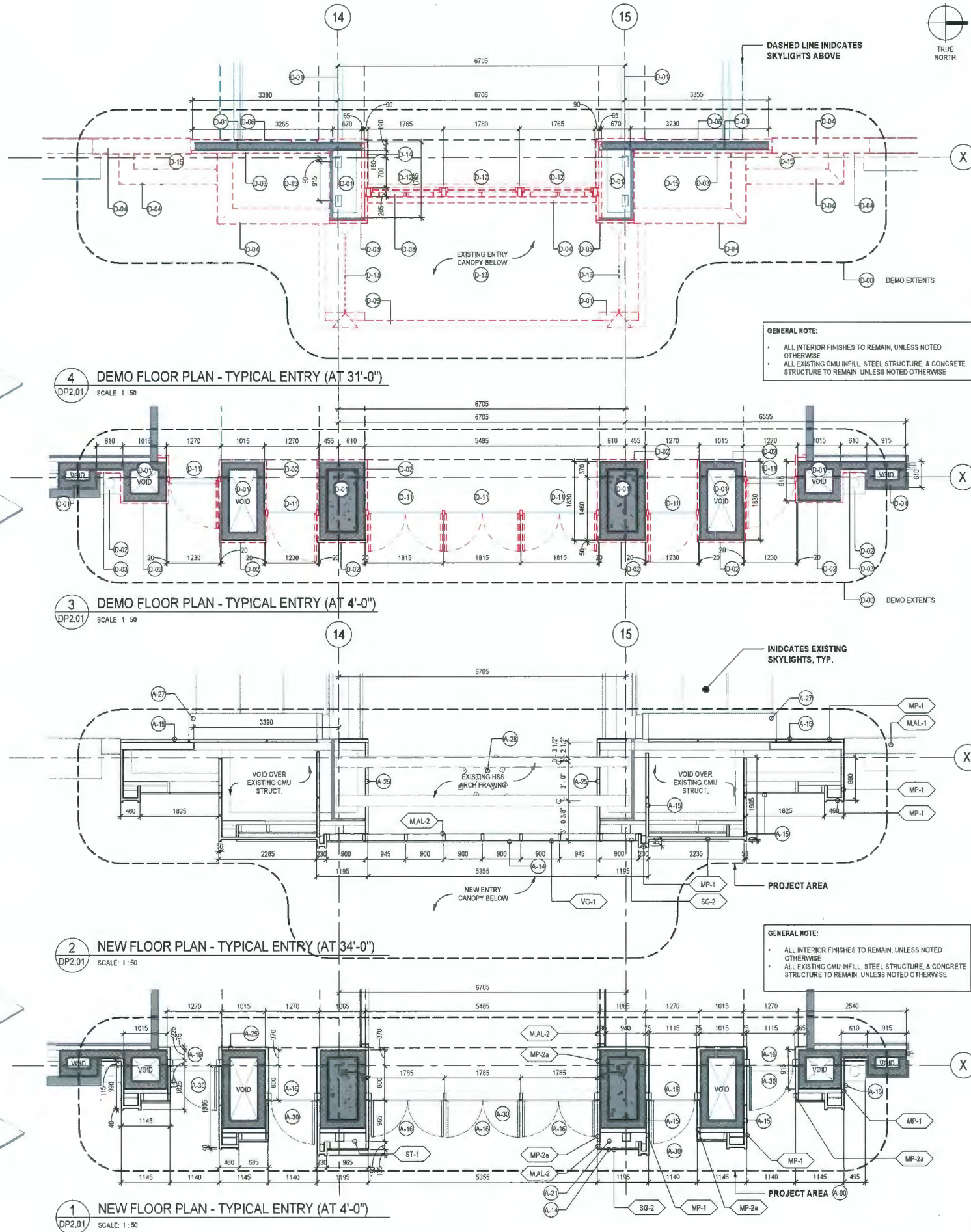
1 SITE PLAN
A1.02 SCALE: 1" = 60'-0"



3D - DEMO - TYPICAL ENTRY_DP



3D - NEW - TYPICAL ENTRY_DP



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July 30, 2024
DP 24-037979
Plan # 9

NO.	ISSUE / REVISION	DATE
1	ISSUE FOR DEVELOPMENT PERMIT	2024-03-22

NOT FOR CONSTRUCTION

PROJECT

**CF RICHMOND
CENTRE - GALLERIA
UPGRADES**

PROJECT ADDRESS
6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B8

TITLE

**TYPICAL ENTRANCE -
DEMO & NEW**

PROJECT NO.	DRAWN	CHECKED
222-125	CP	EA
DRAWING NO.	REVISION NO.	

DP2.01



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July 30, 2024
DP 24-037979
Plan # 10

3 REVISED FOR DEVELOPMENT PERMIT 2024-05-31
2 ISSUE FOR DEVELOPMENT PERMIT 2024-03-22
1 ISSUE FOR COSTING 2023-08-14

NO. ISSUE/ REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
**CF RICHMOND
CENTRE - GALLERIA
UPGRADES**

PROJECT ADDRESS
6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

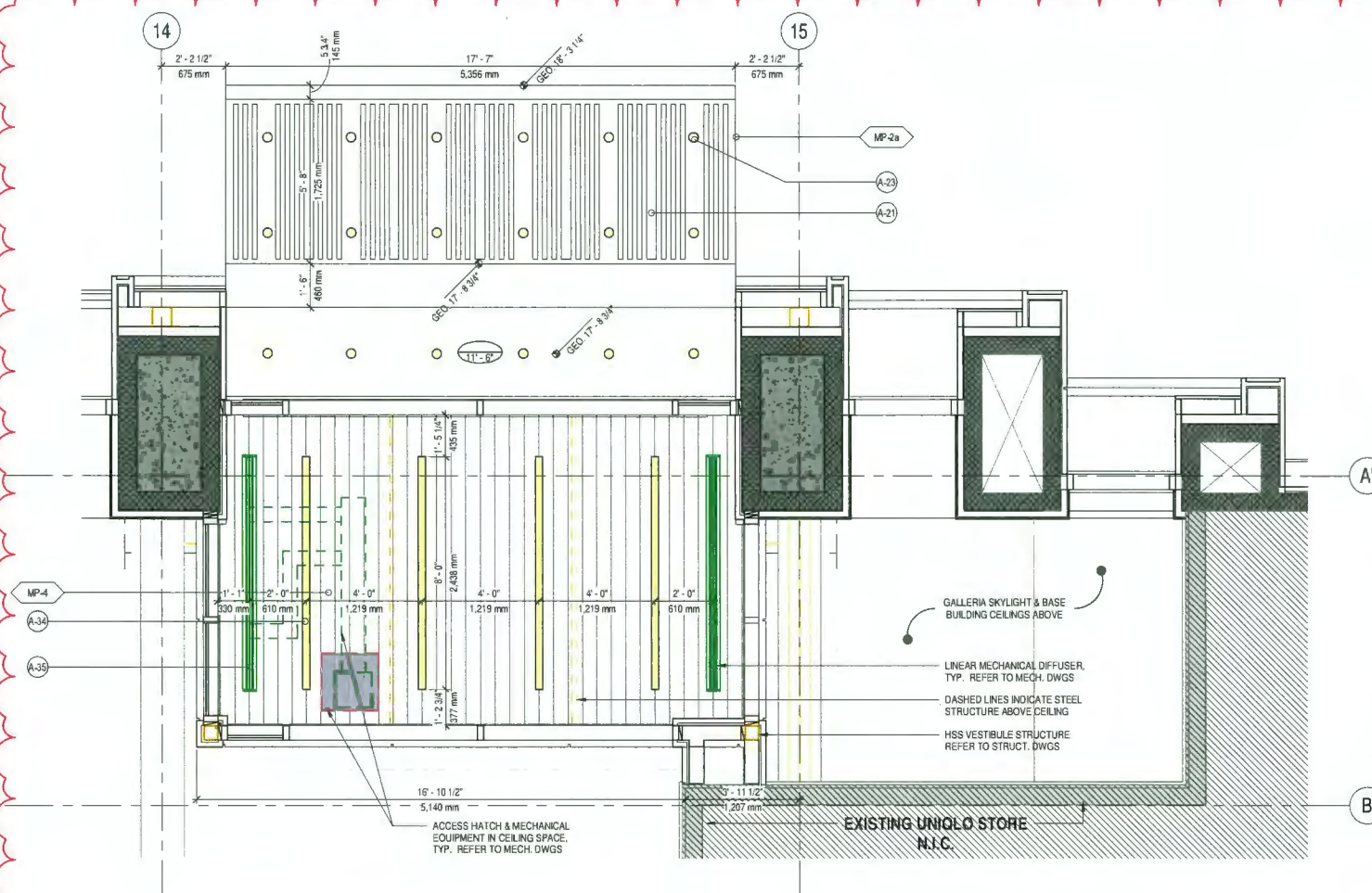
TITLE
**NEW FLOOR PLAN /
RCP - ENTRANCE
VESTIBULES**

PROJECT NO. 222-125 DRAWN CP, JK CHECKED EA

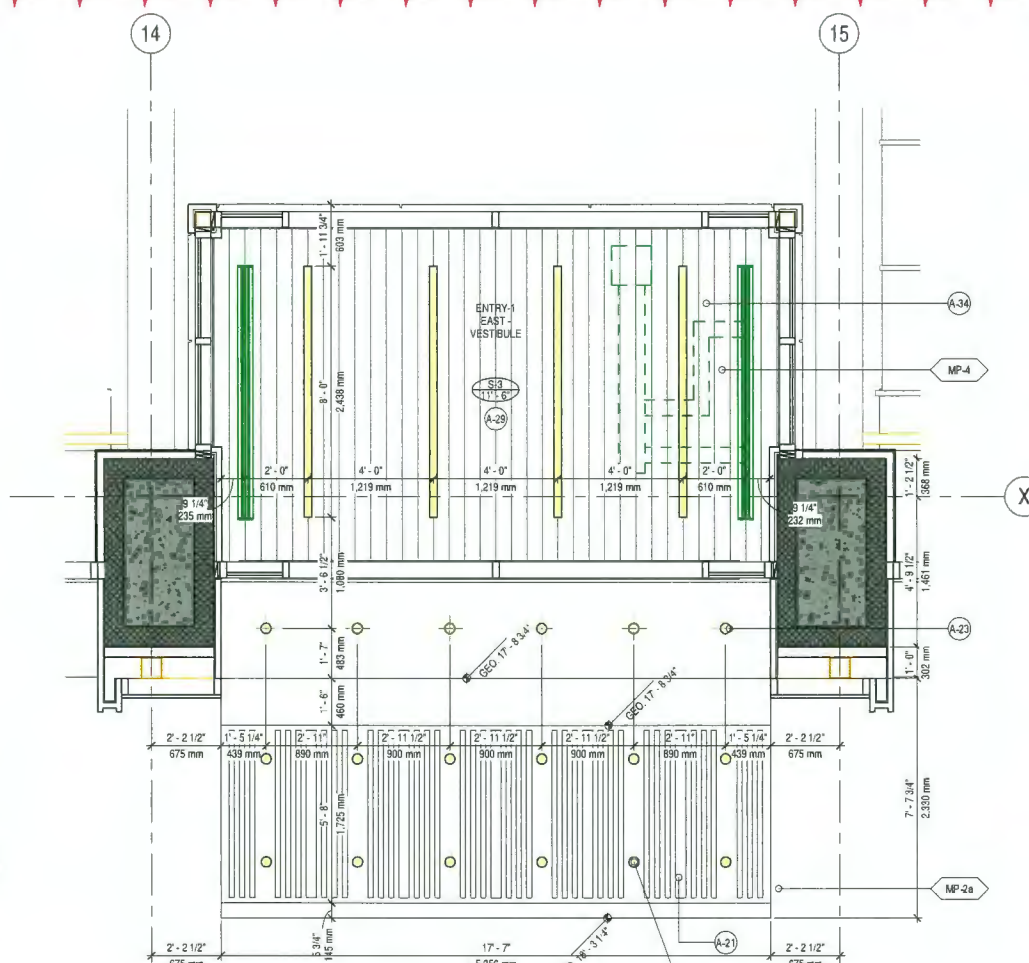
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DP2.02

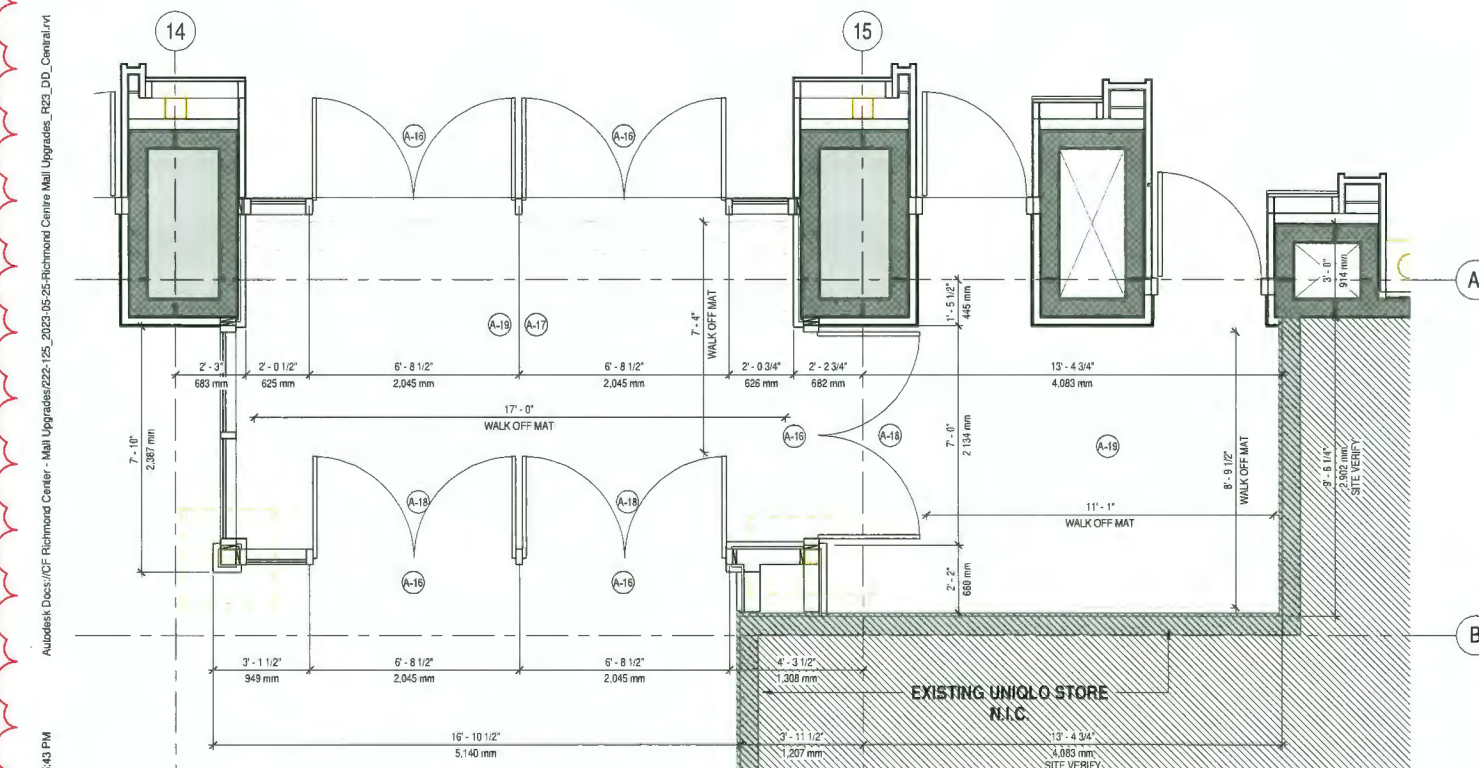
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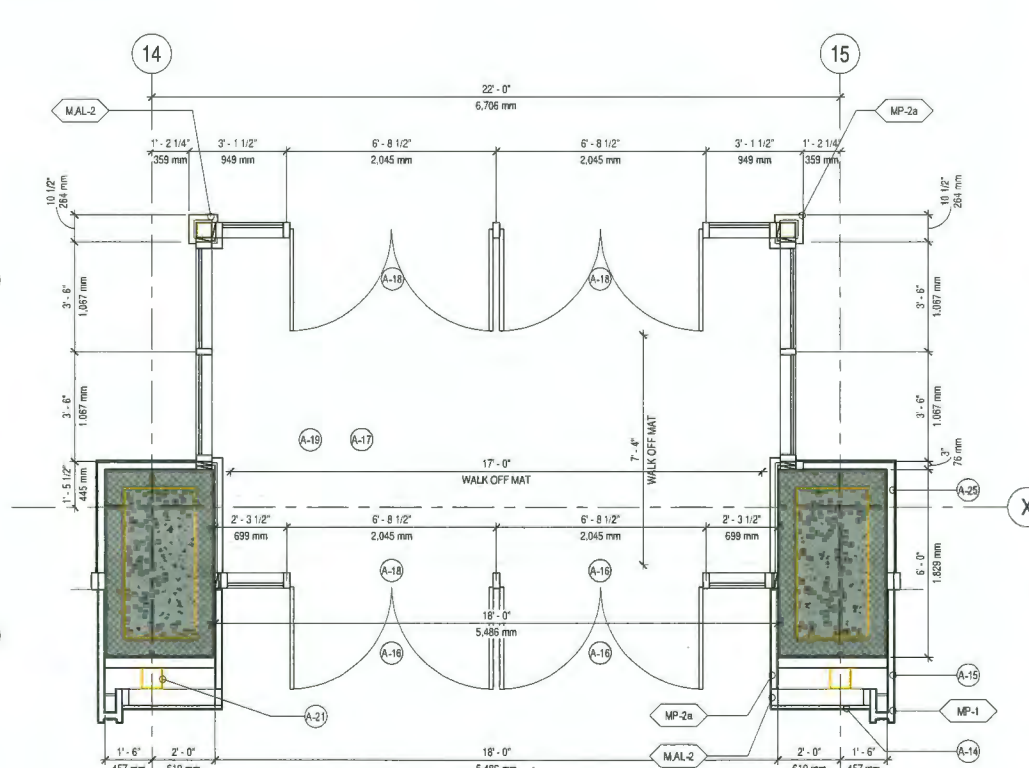
4 NEW RCP - ENTRY-2 VESTIBULE - WEST
DP2.02 SCALE: 3/8" = 1'-0"



2 NEW RCP - ENTRY-1 VESTIBULE - EAST
DP2.02 SCALE: 3/8" = 1'-0"



3 FLOOR PLAN - ENTRY-2 VESTIBULE - WEST
DP2.02 SCALE: 3/8" = 1'-0"



1 NEW FLOOR PLAN - TYPICAL ENTRY VESTIBULE
DP2.02 SCALE: 3/8" = 1'-0"

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July 30, 2024
DP 24-037979
Plan # 11

1 ISSUE FOR DEVELOPMENT PERMIT 2024-03-22
NO. ISSUE/ REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
**CF RICHMOND
CENTRE - GALLERIA
UPGRADES**

PROJECT ADDRESS
6561 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

TITLE
**EXTERIOR
ELEVATION - TYPICAL
NEW ENTRANCE**

PROJECT NO. 222-125 DRAWN CP CHECKED EA

DRAWING NO. REVISION NO.

DP3.01

1

MATERIAL SAMPLES - TYPICAL ENTRY



TYPICAL ENTRY PERSPECTIVE
MATERIALITY RENDERING



VG-1
GLAZING - CLEAR (LOW IRON)



VG-2
GLAZING - CLEAR (LOW IRON) BACK
+ VERTICAL FRIT FACE



SG-2
GLAZING - SOLID ETCH BACK
+ VERTICAL FRIT FACE



MP-1
METAL PANEL - WHITE METALLIC



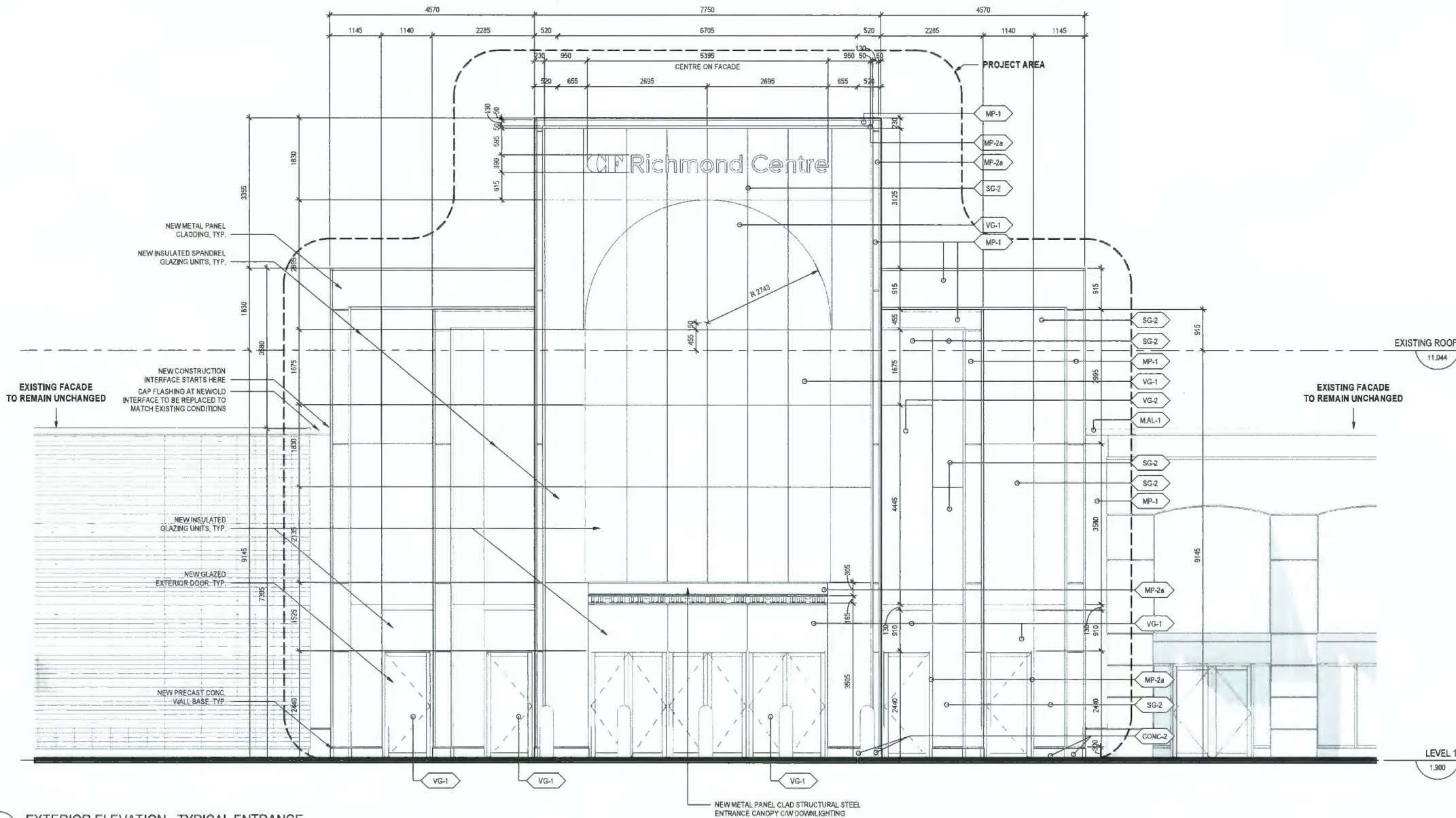
MP-2a
METAL PANEL - PEWTER MICA METALLIC



MP-4
METAL PANEL SOFFIT - LIGHT CHERRY
(VESTIBULE ONLY)



CONC-2
CONCRETE - PRECAST BASE



1
DP3.01
EXTERIOR ELEVATION - TYPICAL ENTRANCE
SCALE: 1 : 50

NOTE
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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS ON THE JOB. ANY DISCREPANCY OR CONTRADICTORY INFORMATION WITHIN THIS SET OF DRAWINGS AND / OR OTHER CONSULTANTS' DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.

July 30, 2024
DP 24-037979
Plan # 12

NO. ISSUE/ REVISION DATE

NOT FOR CONSTRUCTION

PROJECT
CF RICHMOND CENTRE - GALLERIA UPGRADES

PROJECT ADDRESS
6551 NO. 3 ROAD
RICHMOND, BRITISH COLUMBIA V6Y 2B6

TITLE
COLOUR EXTERIOR ELEVATIONS

PROJECT NO. 222-125 DRAWN JK CHECKED EA

DRAWING NO. A3.13 REVISION NO.



PROJECT MATERIAL BOARD



VG-1
GLAZING - CLEAR (LOW IRON)



VG-2
GLAZING - CLEAR (LOW IRON) BACK
+ VERTICAL FRIT FACE



SG-2
GLAZING - SOLID ETCH BACK
+ VERTICAL FRIT FACE



MP-1
METAL PANEL - WHITE METALLIC

MP-2a
METAL PANEL - PEWTER MICA METALLIC



CONC-2
CONCRETE - PRECAST BASE



2 EXTERIOR ELEVATION (COLOUR) - WEST
A3.13 SCALE: 3/16" = 1'-0"



1 EXTERIOR ELEVATION (COLOUR) - EAST
A3.13 SCALE: 3/16" = 1'-0"