

Development Permit Panel

Council Chambers, City Hall 6911 No. 3 Road Wednesday, August 11, 2021 3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on July 28, 2021.

1. **DEVELOPMENT PERMIT 17-768135**

(REDMS No. 6697340)

APPLICANT: 1244013 BC Ltd. (Khalid Hasan)

PROPERTY LOCATION: 4226 Williams Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of two duplexes at 4226 Williams Road on a site zoned "Arterial Road Two-Unit Dwellings (RDA)".

2. DEVELOPMENT PERMIT DV 19-873160

(REDMS No. 6547553)

APPLICANT: Open Road Auto Group Ltd.

PROPERTY LOCATION: 13251 Smallwood Place

ITEM

Director's Recommendations

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the required minimum setback from the west property line from 3.0 m to 0.96 m. This would permit the retention of an existing detached car wash building at 13251 Smallwood Place on a site zoned "Vehicle Sales (CV)".

3. DEVELOPMENT PERMIT 19-881156

(REDMS No. 6706400)

APPLICANT: Minoru View Homes Ltd.

PROPERTY LOCATION: 5740, 5760, and 5800 Minoru Boulevard

Director's Recommendations

That a Development Permit be issued which would permit the construction of a:

- 1. high-rise mixed use development, comprising an office tower, ground floor retail, non-profit social service replacement space, and 429 dwellings including 88 low-end-of-market-rental (LEMR) units at 5740, 5760, and 5800 Minoru Boulevard, on a site zoned "High Density Mixed Use and Affordable Rental Housing (ZMU46) Lansdowne Village (City Centre)"; and
- 2. vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 10138, to reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.
- 4. New Business
- 5. Date of Next Meeting: August 25, 2021

ADJOURNMENT

Minutes



Development Permit Panel Wednesday, July 28, 2021

Time:

3:30 p.m.

Place:

Remote (Zoom) Meeting

Present:

Joe Erceg, General Manager, Planning and Development, Chair

Cecilia Achiam, General Manager, Community Safety

Milton Chan, Director, Engineering

The meeting was called to order at 3:31 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on July 14, 2021 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 19-878817

(REDMS No. 6493940 v. 11)

APPLICANT:

1176782 BC Ltd.

PROPERTY LOCATION:

8100, 8120 & 8180 Westminster Highway

Development Permit Panel Wednesday, July 28, 2021

INTENT OF PERMIT:

- 1. Permit the construction of a high-rise mixed use development containing approximately 880.6 m2 (9,475 ft2) of commercial space and 130 dwellings (including 16 affordable housing units) at 8100, 8120 & 8180 Westminster Highway on a site zoned "Downtown Commercial (CDT1)"; and
- 2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the 3 m front setback for canopy overhang elements only, to 1.45 m; and
 - (b) apply the City Centre parking rate to the subject site.

Staff Comments

Staff advised that the subject application will require additional notification, and as a result, the following **referral motion** was introduced:

It was moved and seconded

That the staff report titled "Application by 1176782 BC Ltd for a Development Permit at 8100, 8120 & 8180 Westminster Highway," dated July 7, 2021, from the Director, Development, be referred back to staff.

The question on the referral motion was then called and it was **CARRIED**.

2. Date of Next Meeting: August 11, 2021

3. Adjournment

It was moved and seconded That the meeting be adjourned at 3:33 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, July 28, 2021.

Joe Erceg	Rustico Agawin
Chair	Committee Clerk



Report to Development Permit Panel

To: Development Permit Panel

Date: July 19, 2021

From:

Wayne Craig

File: DP 17-768135

Director, Development

Re: Application by 12440

Application by 1244013 BC Ltd. (Khalid Hasan) for a Development Permit at

4226 Williams Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of two duplexes at 4226 Williams Road on a site zoned "Arterial Road Two-Unit Dwellings (RDA)".

Wayne Craig

Director, Development

(604-247-4625)

WC:na

Att.

Staff Report

Origin

1244013 BC Ltd. (Khalid Hasan) has applied to the City of Richmond for permission to develop two duplexes on a subdivided lot with shared driveway access at 4226 Williams Road. The site is being rezoned from "Single Detached (RS1/E)" to "Arterial Road Duplexes (RDA)" under Bylaw 9973 (RZ 17-768134), which received third reading at the Public Hearing on February 19, 2019. The site is currently vacant. The single-family dwelling that was on the site was demolished at the end of 2020.

A Servicing Agreement is required prior to subdivision approval, and includes, but is not limited to, the following improvements:

• New concrete sidewalk and landscaped boulevard along the Williams Road frontage.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: Across Williams Road, single-family homes on lots zoned "Single Detached (RS1/C)".
- To the South: Fronting Grander Place, single-family homes on lots zoned "Single Detached (RS1/B)".
- To the East: Congregation of Jehovah's Witnesses on a lot zoned "Assembly (ASY)".
- To the West: Single-family homes on lots zoned "Single Detached (RS1/C)".

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Compliance with Development Permit Guidelines for Arterial Road duplex projects in the 2041 Official Community Plan (OCP).
- Review of the architectural character, scale and massing to ensure that the proposed duplexes are well designed, fit well into the neighbourhood, and do not adversely impact adjacent homes.
- Refinement of the proposed east elevation, which is exposed to the parking area of the adjacent assembly use site.
- Review of aging-in-place features in all units and the provision of a convertible unit.

- Refinement of the proposed site grading to ensure survival of the protected tree, and to provide appropriate transition between the proposed development and adjacent existing developments.
- Refinement of landscape design, including the location and type of fence proposed along
 the front property line within the required Statutory Right of Way (SRW), the provision
 of a holding area for garbage/recycling material collection, and the size and species of
 on-site replacement trees to achieve an acceptable mix of coniferous and deciduous trees
 on-site.

The Public Hearing for the rezoning of this site was held on February 19, 2019. At the Public Hearing, the issue on-site parking was raised by Council.

Staff worked with the applicant to address the parking and circulation issue noted at the Public Hearing as well as the design issues noted at Rezoning stage in the following ways:

- Further refinement of drive aisle and auto court while ensuring that vehicle circulation in the auto court is accommodated.
- A shadow study plan is included in the drawing package to demonstrate that the adjacent homes are not adversely impacted by the proposed duplexes. The placement of building massing on site is designed to establish less overlook at the rear of the property and encourage more use of private outdoor spaces.
- Balcony spaces facing inward towards the courtyard encourages less exposure and overlook to both the adjacent single-family home to the west and the parking area of the adjacent assembly use site to the east.
- Additional details on the architectural character, aging-in-place features, and landscape design are provided in the Analysis section of this report.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Arterial Road Two-Unit Dwellings (RDA)" zone.

Analysis

Conditions of Adjacency

- The west side yard of the proposed development abuts the side yard of a single-family dwelling. A combination of river rock for side yard access, layered planting, and six foot high perimeter fencing with lattice top are proposed for this interface. The site grade will be raised to meet the neighbouring property.
- The east side yard abuts the side yard parking area of the Congregation of Jehovah's Witnesses Assembly. This interface is proposed to include river rock for side yard access, layered planting, and retaining wall with perimeter fencing on top. The perimeter fencing is to be compliant with fencing regulations. The new site grade of the proposed development will be higher than the existing grade of the neighbouring property but will be buffered by the planting and fence.

• The rear yard abuts the rear yard of two single-family dwellings. One Pear tree (tag# 80) near the southeastern edge of the rear yard will be retained. The site grade will slope down to match the existing grade of the location of the tree.

Urban Design and Site Planning

- The proposed development involves subdivision of the lot to create two properties, each of which would contain one duplex.
- Vehicular access to the proposed development would be from a shared driveway to Williams Road. The drive aisle continues along the shared property line, providing access to the parking spaces and rear duplex units. A statutory right-of-way (SRW) agreement establishing this access arrangement has been secured through the rezoning application.
- Each unit fronting Williams Road has direct access to the sidewalk, and rear units have access from the drive aisle. Contrasting pavement treatment is used to visually define a pedestrian route from the sidewalk to the rear units. These unit entries have been designed and positioned to be visible from the street, aiding wayfinding.
- Each unit has two side-by-side parking spaces in a garage, which also includes storage space. All resident parking spaces are provided with Level 2 EV charging as per Richmond Zoning Bylaw 8500.
- One visitor parking space is provided between the two lots and is to be shared by the two lots. This parking space is to be included in the shared access SRW secured through the rezoning application.
- A garbage and recycling landing area is integrated with the site landscaping on Proposed Lot 1 and Lot 2 and is intended to be used on collection days only. Spacing within each garage has been allocated to store waste bins on non-collection days.

Architectural Form and Character

- The proposed development contributes to the low-rise residential character of the neighbourhood by using simple massing, pitched roofs, and French colonial inspired details.
- The dwelling units have been designed to lessen the upper floor massing between the front and rear units, opening up the access to daylight for the adjacent properties to the east and west.
- The material palette is consistent with the Official Community Plan (OCP) guidelines and complements the surrounding neighbourhood character. The stucco finishes accented with fibre crown moldings and contrasting French colonial windows provides a similarity and distinction to the form and character of the block.
- The colour palette is simple, in keeping with the proposed materials and massing and the proposed duplexes are styled after a Canadian west coast interpretation of the French colonial architecture.
- The drawing package includes streetscape elevations and renderings showing the height of the proposed duplexes relative to adjacent dwellings. The maximum building height is 9.0 m or two storeys, which is equivalent to the maximum building height contained in single-family zones, including the "Single Detached (RS1/E)" zone.
- The applicant prepared a shadow study, which is provided in the drawing set. The analysis indicates that the greatest impacts will be to the front yards of the subject site due to sunlight coming from the south.

- Second storey balconies are included facing the internal drive aisle to add visual interest and animate the space.
- Each of the proposed duplexes includes four-bedroom units, with each unit approximately 167 m² (1,798 ft²) in size.

Landscape Design and Open Space Design

- One on-site Pear tree (tag#80) is proposed to be retained. Tree retention was secured through the rezoning, and a Tree Management Plan is included in the Development Permit on Plan 12.
- At rezoning, seven on-site trees in poor condition and one on-site tree with low vigour and storm damage, were approved for removal through the rezoning. As is permitted, following Public Hearing and achieving 3rd Reading of the rezoning bylaw, a T3 Tree Permit (T3 20-914825) was issued in October, 2020, to permit removal of these on-site trees with appropriate tree protection fencing in place.
- 10 new replacement trees are proposed to be planted, 5 on Lot 1 and 5 on Lot 2, and include a mix of coniferous and deciduous species. A \$3,000 contribution to the City's Tree Compensation Fund in lieu of the remaining six replacement trees was secured through the rezoning.
- The proposal includes private outdoor space for each unit consistent with the Official Community Plan (OCP) requirements. The outdoor space for each unit includes both soft and hard landscape elements.
- The drive aisle and auto court are paved with a combination of permeable pavers and concrete. Permeable pavers are used in the centre of the drive aisle, auto court, and the visitor parking space to manage storm water runoff. The edges of the drive aisle are concrete, which provides structure for the paver system and clearly marks pedestrian circulation routes. The concrete has the additional benefit of providing a smooth surface for wheelchair users.
- The applicant has confirmed that a total of 25% live landscaping is provided which is in excess of the required 20% minimum outlined in the "Arterial Road Two-Unit Dwelling (RDA)" zone. Permeable pavers will be used for a portion of the driveway in order to improve storm water management, and account for 15% of the total site coverage.
- New 1.8 m (6 ft.) fencing is proposed along the west edge and 1.2 m (4 ft.) fencing along the east edge of the site to provide privacy and separation. The proposed fence will also screen headlight glare from the visitor parking stall to adjacent properties.
- Irrigation is provided for all planted areas.
- To ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Security in the amount of \$49,137.22 prior to issuance of the Development Permit.

Crime Prevention Through Environmental Design

- Low aluminum fencing of approximately 3 feet 6 inches (1.1 m) with vertical slats and landscaping are provided in the front yard to distinguish public and private space while allowing for casual surveillance of the sidewalk.
- Each of the rear units has a covered entry, which provides weather protection and clearly identifies the unit entrance.

• Low intensity 3 inch LED dimmable pot lighting is proposed within the internal courtyard and in keeping with CPTED principles.

Sustainability

• The proposed development is required to achieve Step 3 of the BC Energy Step Code. The proposed measures to achieve this target include improved air tightness, LED lighting, and radiant heating and cooling systems located within the storage spaces underneath the stairs and accessed via the garages for all units. Any Air conditioning units installed will be compliant with the City's Noise Bylaw and building regulations.

Accessible Housing

- Concrete is used along the perimeter of each drive aisle to visually indicate areas of pedestrian circulation. The concrete provides a level surface for the comfort and safety of individuals using mobility aids such as wheelchairs or scooters, as well as those pushing a stroller.
- The proposed development includes two convertible units (one per lot) that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair (Unit B and D). The potential conversion of these units would require installation of a stairway lift. The units would also include both a ramp and step at the main entry for wheelchair accessibility.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - o Lever-type handles for plumbing fixtures and door handles.
 - o Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
 - Space for installation of a ramp to access the doorstep of Unit B and D.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Nathan Andrews Planning Technician (604-247-4911)

NA:blg

Attachments:

Attachment 1: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

• Receipt of a Letter-of-Credit or cash security for landscaping in the amount of \$49,137.22, based on the cost estimate provided by the landscape designer and inclusive of a 10% contingency.

At Subdivision stage, the developer must complete the following requirements:

- Payment of the current year's taxes, Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fees.
- Enter into a Servicing Agreement for the design and construction of frontage and servicing works. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department.
 Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.



Development Application Data Sheet

Development Applications Department

DP 17-768135 Attachment 1

Address: 4226 Williams Road

Applicant: 1244013 BC Ltd. (Khalid Hasan) Owner: 1244013 BC Ltd.

Planning Area(s): Steveston

	Existing	Proposed
Site Area:	1,186.65 m²	581.8 m ² per lot
Land Uses:	Single-family dwelling	Two-unit dwellings
OCP Designation:	Neighbourhood Residential	No change
Area Plan Designation:	Single Detached/Duplex/Triplex	No change
Zoning:	Single Detached (RS1/E)	Arterial Road Two-Unit Dwellings (RDA)
Number of Units:	One single-family dwelling	Four units in two duplexes

Proposed Lot 1 and 2	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (334.5 m²)	Max. 0.6 FAR (334.5 m²)	none permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 20%	Buildings: Max. 45% Non-porous surfaces: Max. 65% Landscaping: Min. 25%	None
Setback – Front Yard (North):	Min. 6.0 m	6.0 m	None
Setback – Side Yard (West):	Min. 1.2 m	1.2 m	None
Setback – Side Yard (East):	Min. 1.2 m	1.2 m	None
Setback – Rear Yard (South):	Min. 6.0 m	8.12 m	None
Height (m):	Max. 9.0 m	8.7 m	None
Lot Size:	Min. 464.5 m ²	581.8 m ²	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0.2(V) per unit	2(R) and 0.25(V) per unit*	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)*	None

^{*} One visitor parking space is shared among all four units on Proposed Lots A and B, which is permitted in the "Arterial Road Two-Unit Dwellings (RDA)" zone



Development Permit

No. DP 17-768135

To the Holder:

1244013 BC LTD.

Property Address:

4226 WILLIAMS ROAD

Address:

C/O 110 - 6086 RUSS BAKER WAY

RICHMOND, BC V7B 1B4

- 1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #13 attached hereto.
- 4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$49,137.22 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
- 7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

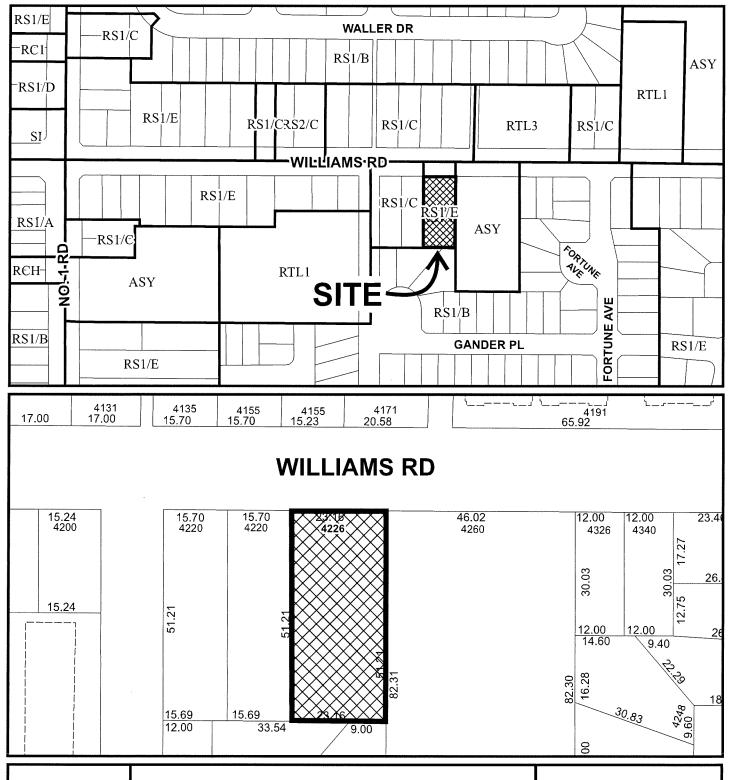
This Permit is not a Building Permit.

Development Permit No. DP 17-768135

To the Holder:	1244013 BC LTD.	
Property Address:	4226 WILLIAMS RC	DAD
Address:	C/O 110 - 6086 RUS RICHMOND, BC V	
AUTHORIZING RESOLU DAY OF ,	TION NO.	ISSUED BY THE COUNCIL THE
DELIVERED THIS	DAY OF ,	·

MAYOR







DP 17-768135 SCHEDULE "A"

Original Date: 04/20/17

Revision Date: 06/21/21

Note: Dimensions are in METRES

PROPOSED 2 DUPLEX RESIDENTIAL DEVELOPMENT 4226 WILLIAMS ROAD, RICHMOND BC

Proposal	Rezoning	g / Su	ubdivisio	on				
Address	4226 Wil	liams	Road					
Zoning Current	Current RS1/E							
Zoning Proposed	Propose	d AD	Α					
Lot Size		Exis	ting		Propos	ed (p	er new	lot)
Site width	23.165	m.	76.0	ft	11.583	m.	38.0	ft.
Site length	51,228	m.	168.1	ft	50.228	m.	164.8	ft.
Site Area	1,186.7	m²	110	s.f.	581.8	m²	54	s,f.
	Cu	rrent	Zoning		Allowa	ble (p	er new	lot)
Areas		RS	1/E			RD	A	
Floor Area Ratio (RDA max. 334.5m² per new lot)	470	m²	5055	s.f.	334.5	m²	3601	s.f.
Permitted Lot Coverage 45% for buildings	534	m²	5748	s.f.	261.8	m²	2818	s.f.
Permitted non-porous surfaces 70%	831	m²	8941	s.f.	407.2	m ²	4383	s.f.
Live planting (RS1/E 30% & RDA 20% lots < 12.0 m)	356	m²	3832	s.f.	116.4	m²	1252	s.f.
Building Height	9.0	m.	29.5	ft	9.0	m.	29.5	ft.
Storeys		2	¥2			2		
Dwellings		•	ſ			2		
Yards & Setbacks								
Front Yard	6.0	m.	19.7	ft	6.0	m,	19.7	ft
Side Yard (lots less than 18.0 m)	1.2	m,	3.94	ft	1.2	m.	3.94	ft,
20% Rear Yard for 60% of the rear wall of the first storey	10.2	m.	33.6	ft.	10.0	m,	33.0	ft.
25% Rear Yard for remaining 40% of first storey & second storey	12.8	m.	42.0	ft,	12.6	m.	41.2	ft.
Rear Yard (RS1/E 8.1.6.7 & RDA 8.16.6.5)	6.0	m.	19.7	ft.	6.0	m.	19.7	ft

Project Summary

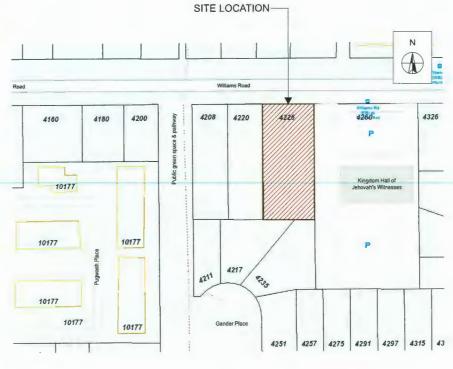
PROPOSED	
Areas	Per new lat
Floor Area Ratio	334.5 m ² 3601 s.
Lot Coverage for buildings	261.4 m ² 2814 s.
Non-porous surfaces	376.4 m² 4051 s.
Landscaping with live planting	155.4 m² 1673 s.
Building Height	8.7 m. 28.6 ft.
Yardş & Setbacks	
Front Yard	6.0 m. 19.7 ft.
Rear Yard	8.12 m. 26.64 ft.
Side Yard lots less than 18.0 m	1.2 m. 3.94 ft.
Parking	(combined both sites)
2 Per Dwelling Unit	8
Visitors Parking (combined both sites)	1

			Uı	nit Areas				
Unit	Main L	.evel	Upper	Level	Garag	je	Stair & Open	to below
Α	91.1 m²	981 s.f.	75.9 m²	817 s.f.	35.6 m ²	383 s.f.	9.9 m²	107 s.f.
8	84.6 m²	911 s.f.	82.8 m²	891 s.f.	35.6 m ²	383 s.f.	10.0 m ²	108 s.f.
C	91.1 m ²	981 s.f.	75.9 m²	817 s.f.	35.6 m²	383 s.f.	9.9 m²	107 s.f.
D	84.6 m²	911 s.f.	82.8 m²	891 s.f.	35.6 m ²	383 s.f.	10.0 m ²	108 s.f.
Unit	Gross	Area	Net A	rea				
Α	212.6 m ²	2288 s.f.	167.0 m ²	1798 s.f.				
В	213.0 m ²	2293 s.f.	167.4 m²	1802 s.f.				
С	212.6 m²	2288 s.f.	167.0 m²	1798 s.f.				
D	213.0 m ²	2293 s.f.	167.4 m²	1802 s.f.				
Lot	Gross	Area	Net A	rea				
1	425.6 m²	4581 s.f.	334.5 m²	3600 s.f.				
2	425.6 m ²	4581 s.f.	334.5 m²	3600 s.f.				









KHALID HASAN

President
URBAN ERA BUILDERS & DEVELOPERS LTD C/o teamKHALID Unit#110-6086 Russ Baker Way Richmond BC V7B 1B4

Off: 604-279-8033 Cell: 604-786-8960

6 CoreConcept CONSULTING LTD.

tel : 604.249.5040 fax: 604.249.5041 #220-2639 Viking way, Richmond, BC, V6V 3B7

LANDSCAPE ARCHITECTS

Suite C100 - 4185 Still Creek Drive Burnaby, British Columbia, V5C 6G9 p: 604 294-0011 ; f: 604 294-0022



TARGET LAND SURVEYING

Adam Fulkerson, BCLS #112-10422 168th Street Surrey, BC V4N 1R9 Adam@targetlandsurveying.ca

Phone: 604-583-6161

Brad Doré

Residential Design 604.782.8240 brad.dore@icloud.com www.braddore.com

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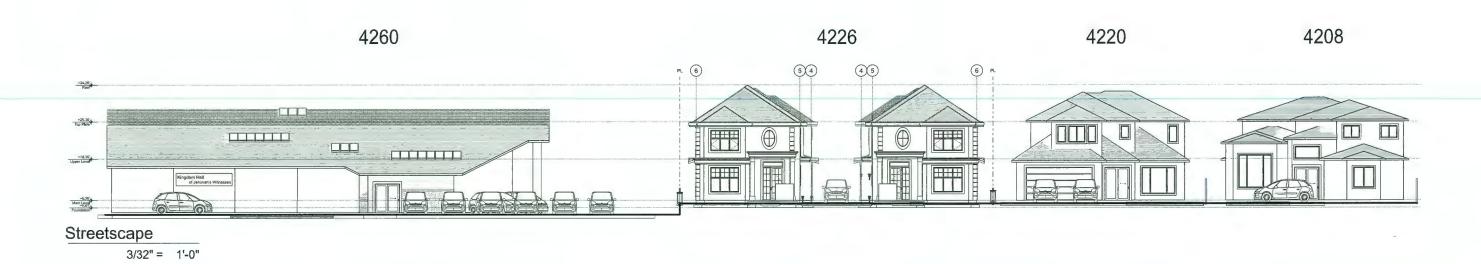
Proposed Duplex Development 4226 Williams Road Richmond, BC

he design and specifications of all drawing conform to BCBC 2018

Cover Sheet Issued for Development Permit 2021-07-21

A-000

4226 WILLIAMS ROAD Streetscape







Proposed Duplex Development 4226 Williams Road Richmond, BC

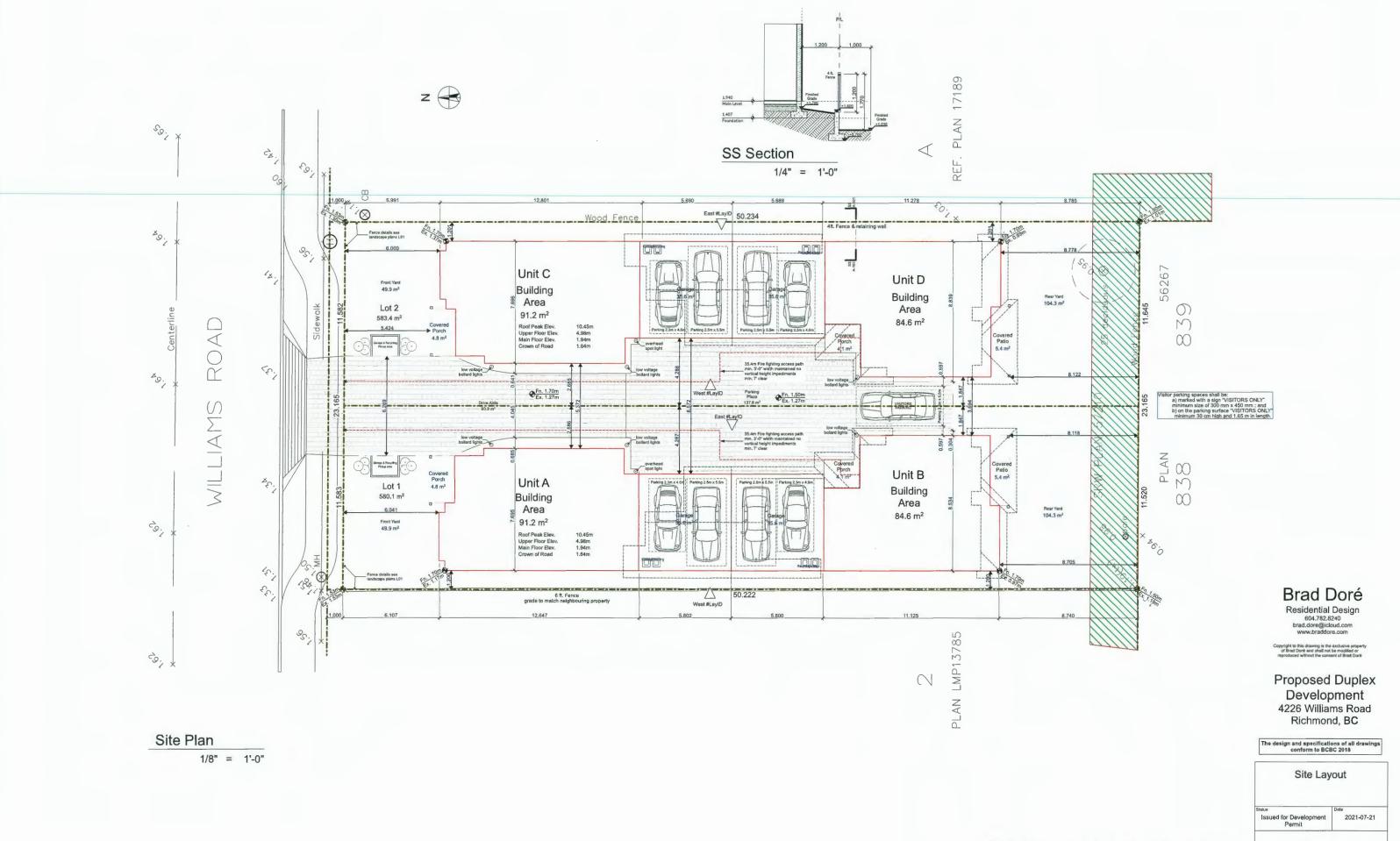
The design and specifications of all drawings conform to BCBC 2018

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Streetscape

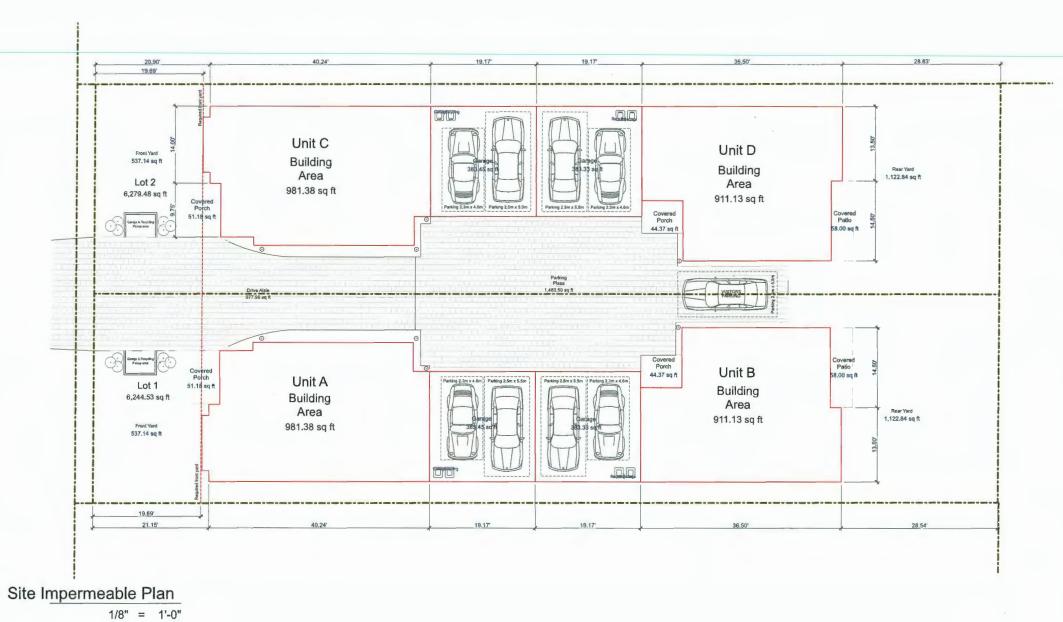
Date 2021-07-21

A-001



DP 17-768135 PLAN 3

A-101



Areas

Floor Area Ratio (RDA max. 334.5m² per new lot Permitted Lot Coverage 45% for buildings Permitted non-porous surfaces 70%

Live planting (RS1/E 30% & RDA 20% lots < 12.0 m)

PROPOS

Areas
Floor Area Ratio
Lot Coverage for buildings
Non-porous surfaces
Landscaping with live planting

Site Areas

Lot 1	Lo	t Cov	erage		Lot 2	Lo	Cov	/erage	
Unit A Building Area	91.2	m²	982	s.f.	Unit A Building Area	91.2	m²	982	s.f.
Unit A Garage	35.6	m ²	383	s.f.	Unit A Garage	35.6	m²	383	s.f.
Unit A Covered Porch	4.9	m^2	53	s.f.	Unit A Covered Porch	4.9	m²	53	s.f.
Unit B Building Area	84.6	m^2	911	s.f.	Unit B Building Area	84.6	m²	911	s.f.
Unit B Garage	35.6	m²	383	s.f.	Unit B Garage	35.6	m²	383	s.f.
Unit B Covered Porch	4.1	m²	44	s.f.	Unit B Covered Porch	4.1	m²	44	s.f.
Unit B Covered Patio	5.4	m²	58	s.f.	Unit B Covered Patio	5.4	m²	58	s.f.
	261.4	m²	2814	s.f.		261.4	m²	2814	s.f.
Lot 1	Non-po	rous	Surfa	ces	Lot 2	Non-po	rous	s Surfa	ces
Lot Coverage	261.4	m²	2814	s.f.	Lot Coverage	261.4	m²	2814	s.f.
Driveway (50%)	43.2	m²	465	s.f.	Driveway (50%)	43.2	m²	465	s.f.

Parking Plaza (50%) 71.8 m² 772 s.f. Parking Plaza (50%) 71.8 m² 772 s.f.

84.6 m² 911 s.f.

Brad Doré

84.6 m² 911 s.f.

Per new lot

334.5 m² 3601 s.f.

261.4 m² 2814 s.f.

155.4 m² 1673 s.f.

Residential Design 604,782.8240 brad.dore@icloud.com www.braddore.com

of Brad Done and shall not be modified or

Proposed Duplex Development 4226 Williams Road Richmond, BC

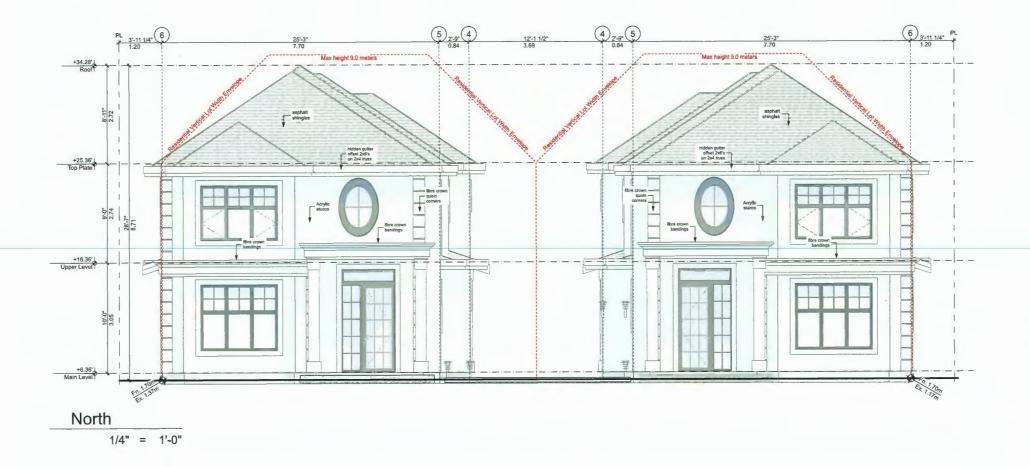
The design and specifications of all drawings conform to BCBC 2018

Site Areas

Status
Issued for Development Permit

Status
2021-07-21

A-102





Stucco & Fibre Crown

Pale Oak



Wrought Iron



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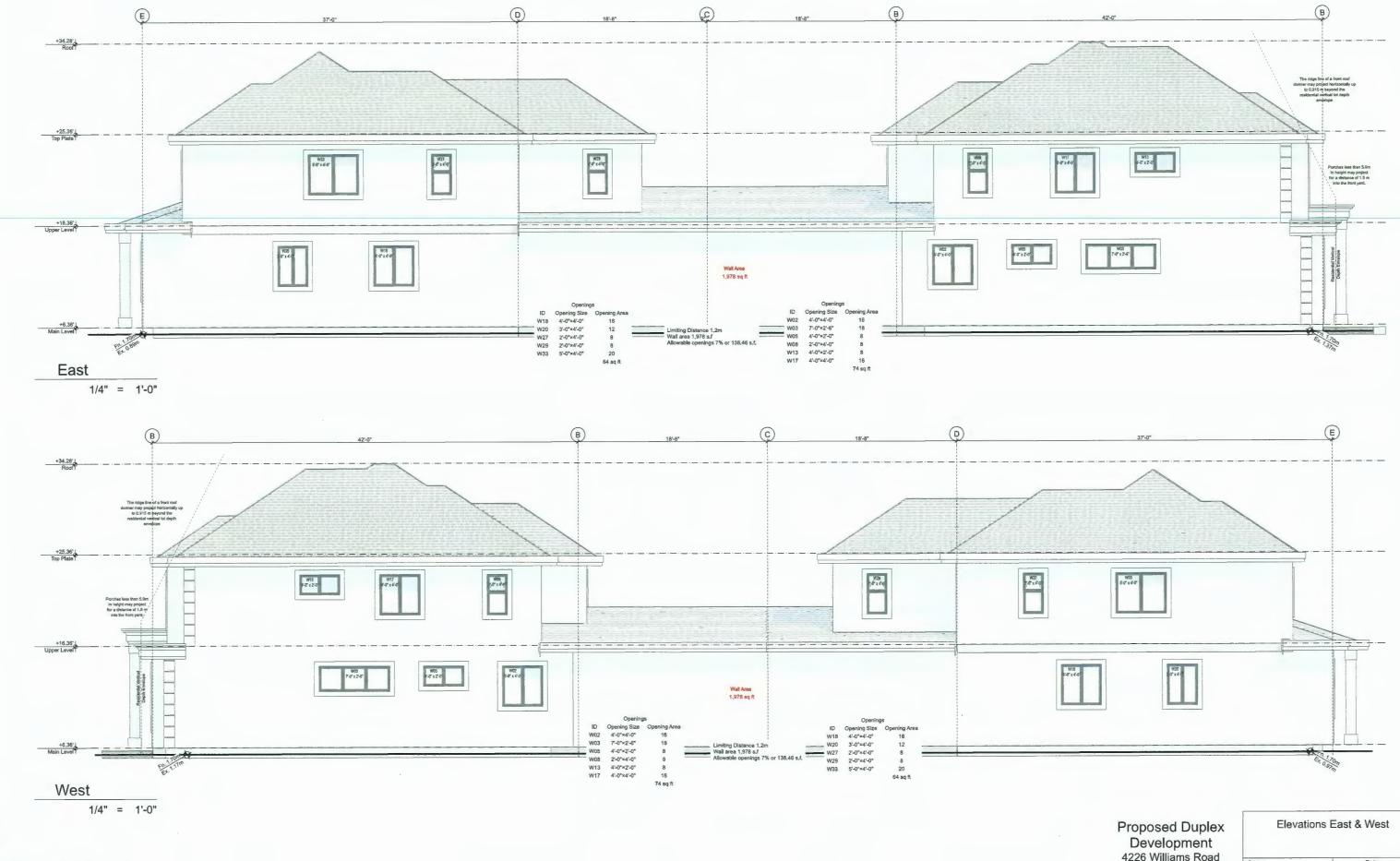
Proposed Duplex Development 4226 Williams Road Richmond, BC

The design and specifications of all drawings conform to BCBC 2018

Elevations North & South

Status Issued for Development Permit | Date 2021-07-21

A-400



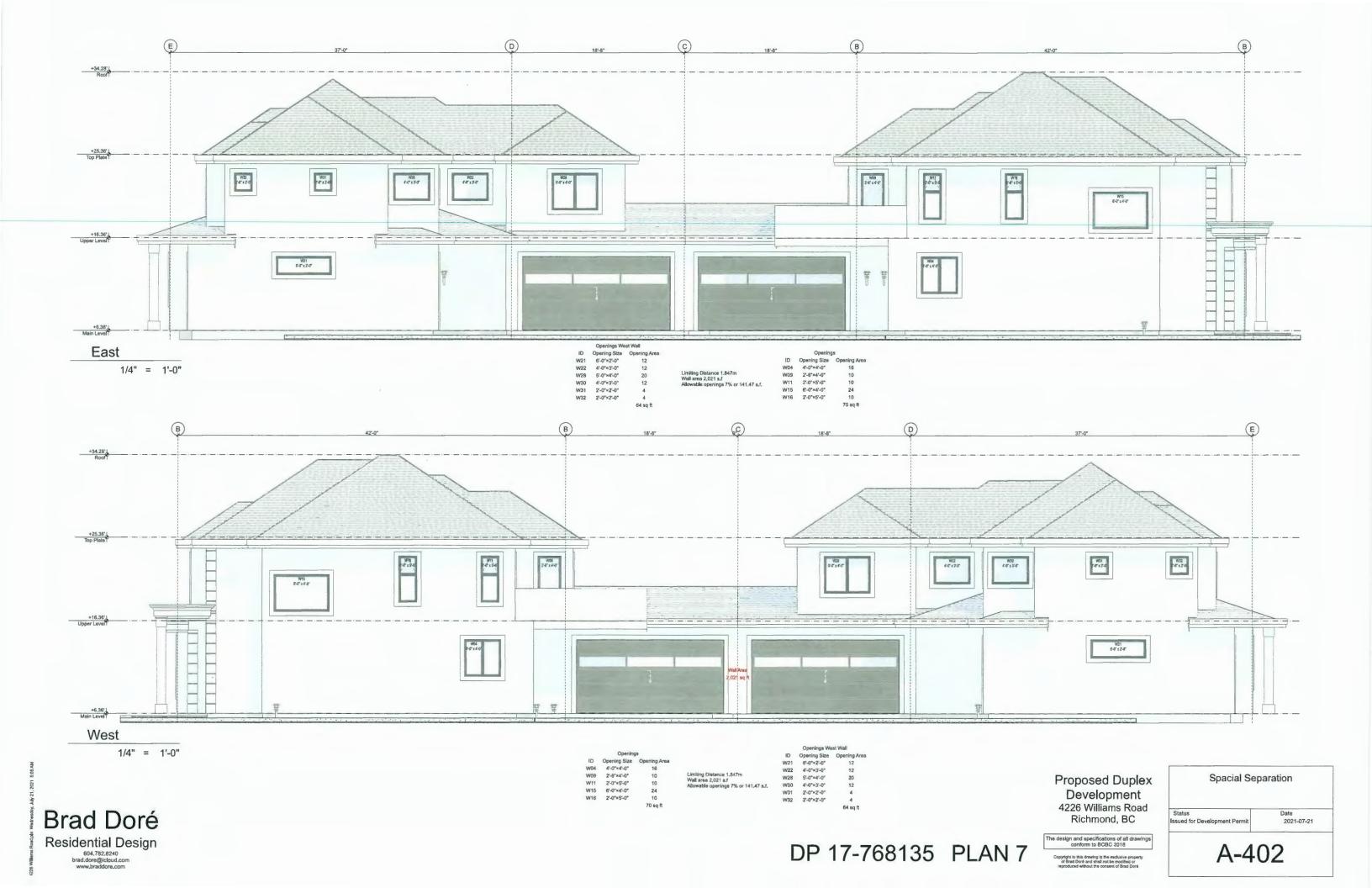
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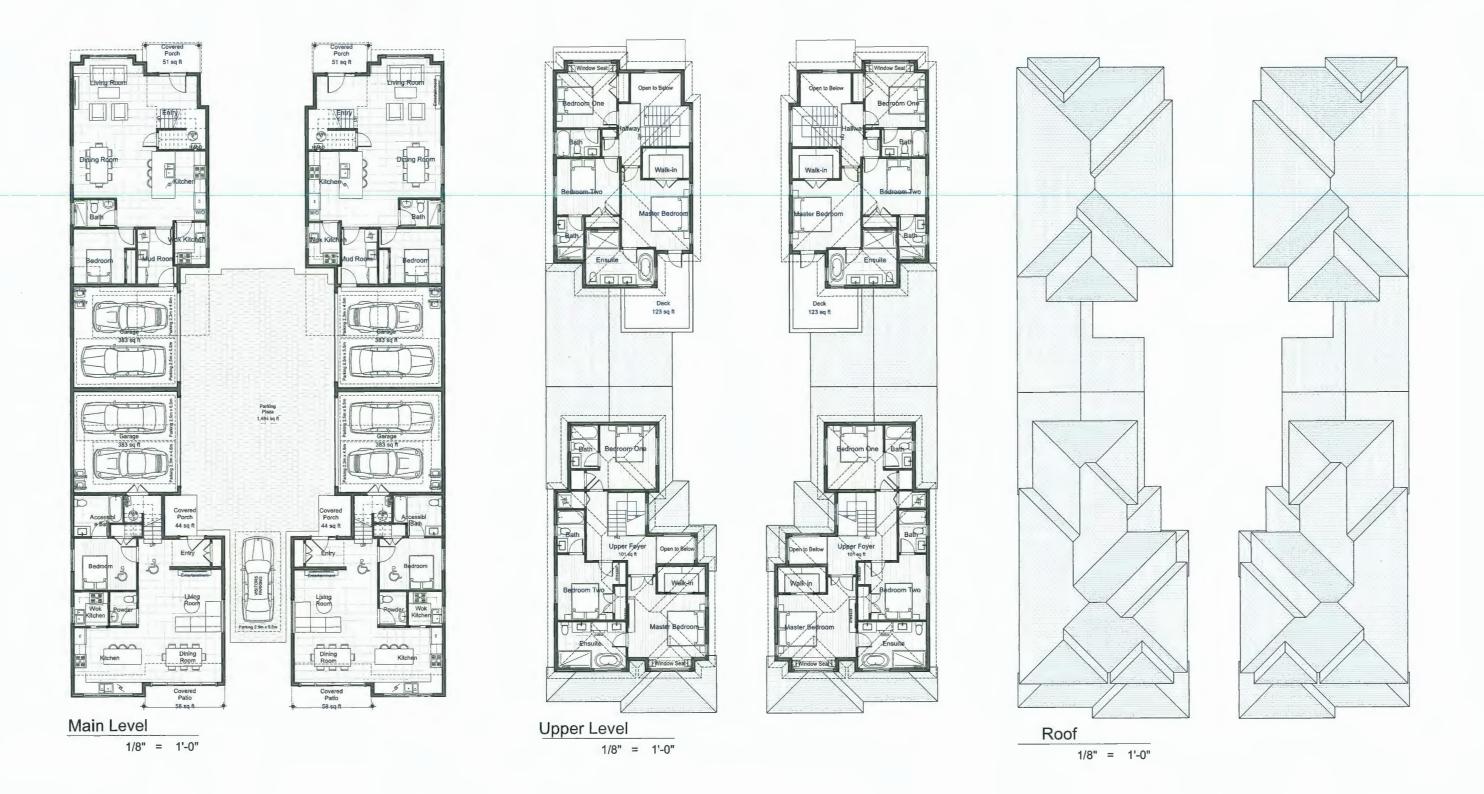
DP 17-768135 PLAN 6

4226 Williams Road Richmond, BC

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Status Issued for Development Permit Date 2021-07-21 A-401





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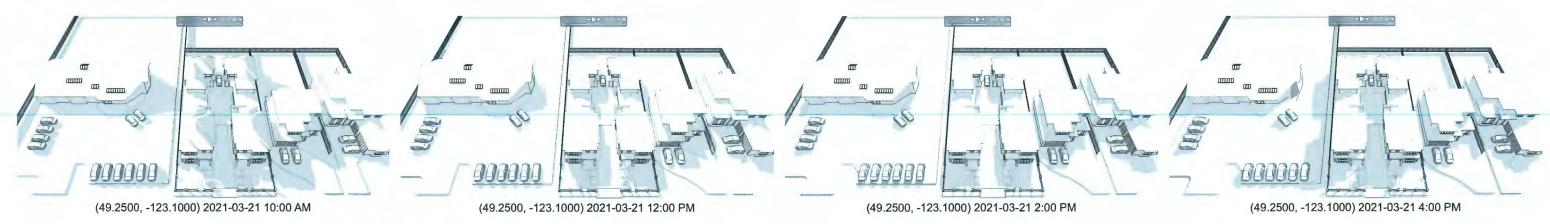
Proposed Duplex Development 4226 Williams Road Richmond, BC

The design and specifications of all drawings conform to BCBC 2018

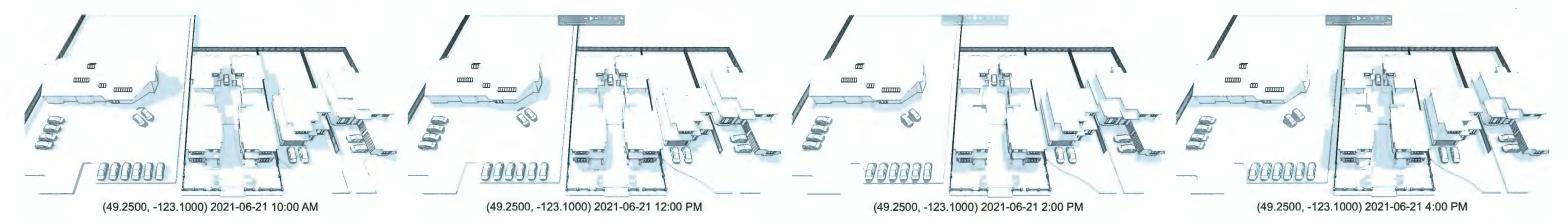
Shadow Studies



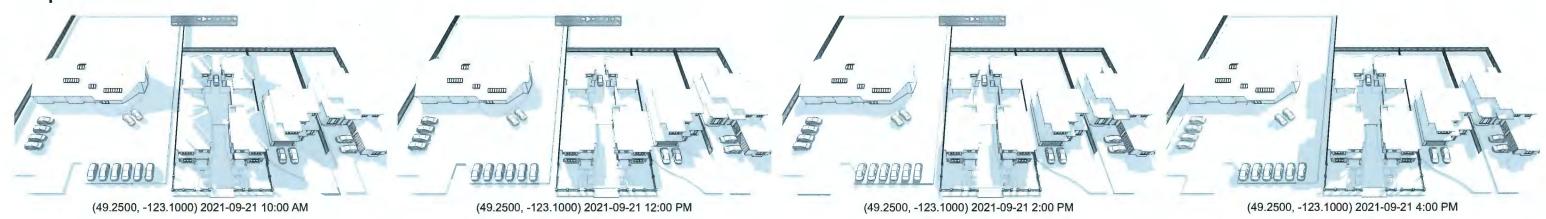
March



June



September



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Residential Design

Proposed Duplex Development 4226 Williams Road Richmond, BC

The design and specifications of all drawings conform to BCBC 2018

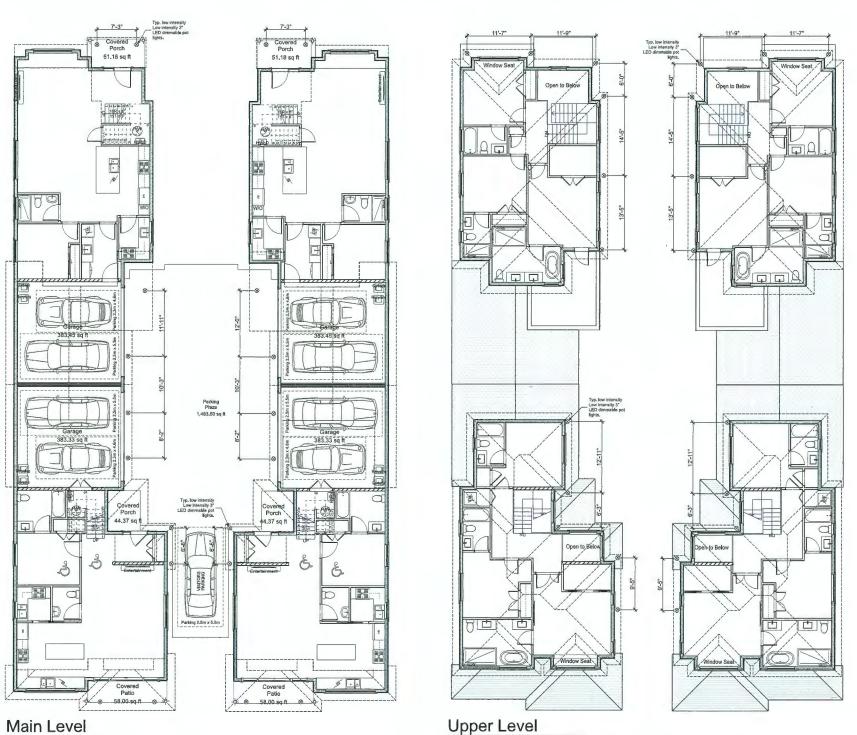
Shadow Study

Tus

Date
2021-07-21

A-502





1/8" = 1'-0"

1/8" = 1'-0"

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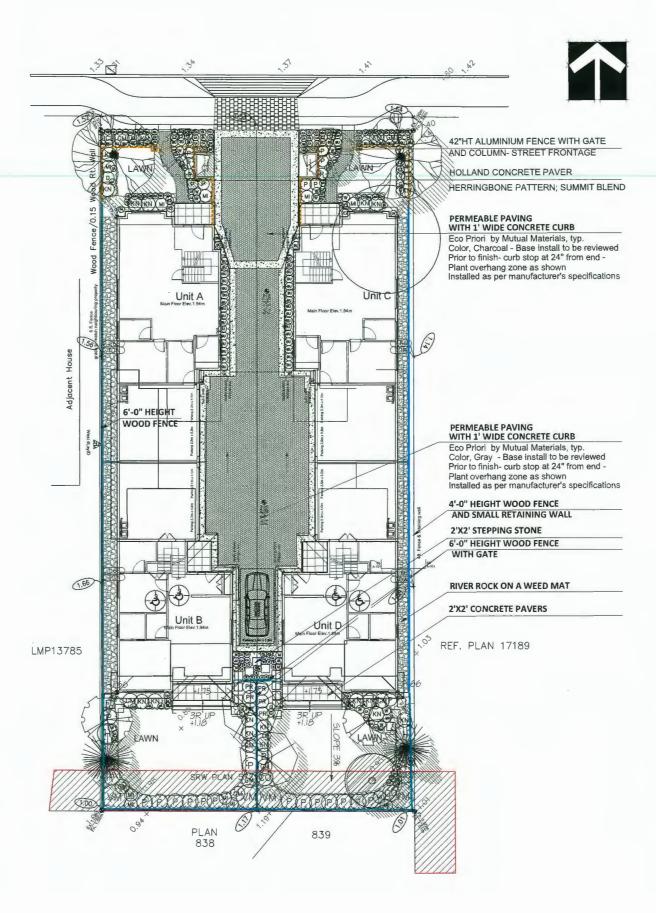
Proposed Duplex Development 4226 Williams Road Richmond, BC

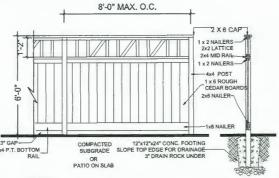
The design and specifications of all drawings conform to BCBC 2018

Lighting Plan

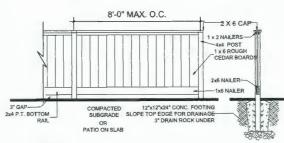
Status

Date 2021-07-21





- ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVITIVE.
- 2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
- 3 ALL HARDWARE HOT DIPPED GALVANIZED.
- APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION FENCE TO MATCH TRIM COLOUR, CONFIRM WITH ARCHITECT
- ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".
- 6'-0"ht WOOD FENCE WITH LATTICE TOP



PLANT SCHEDULE

GA 12 UI 13 G 8 PERENNIAL

B

- ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVITIVE.
- 2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
- ALL HARDWARE HOT DIPPED GALVANIZED.
- APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FENCE TO MATCH TRIM COLOUR, CONFIRM WITH ARCHITECT
- ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

RED SUNSET MAPLE

DAWYCK GOLD BEECH

JAPANESE SNOWBELL

COMMON BOXWOOD

LONGLEAF MAHONIA

GOLDMOUND SPIREA

DAVID'S VIBURNUM

DWARE WEIGELA

FROSTED SEDGE

FOUNTAIN GRASS

PINK COREOPSIS

WESTERN SWORD FERN

ZABLES LAUREL

CHERRY ROMB BARBERRY

KELSEY DWARF DOGWOOD

RADRAZZ KNOCKOUT ROSE

MARIE'S DOUBLE FILE VIBURNUM

EUONYMUS; SILVER VARIEGATED

NOTES: "PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD, LATEST MATERIAL REQUIREMENTS. "SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BE LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BE LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD STANDARD LATEST EDITION. "ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY." BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

DWARF MAIDEN HAIR GRASS

VANDERWOLF'S PYRAMIDAL LIMBER PINE

ENDLESS SUMMER BIGLEAF HYDRANGEA

3 4'-0"ht WOOD FENCE WITH LATTICE TOP

FAGUS SYLVATICA 'DAWYCK GOLD'

BERBERIS THUNGBERGII 'MONOMB

HYDRANGEA M. 'ENDLESS SUMMER' MAHONIA NERVOSA

PIFRIS JAPONICA 'VALLEY ROSE' PRUNUS LAUROCERASUS 'ZABELIANA'

ROSA 'KNOCKOUT RADRAZZ' SPIRAEA X BUMALDA 'GOLDMOUND

VIBURNUM P.T. 'MARIESII'

WEIGELA 'MIDNIGHT WINE

MISCANTHUS SINENSIS 'YAKU JIMA' PENNISETUM ALOPECUROIDES

EUONYMUS JAPONICA 'EMERALD GAIETY'

COREOPSIS 'PINK LEMONADE

POLYSTICHUM MUNITUM

VIRURNUM DAVIDU

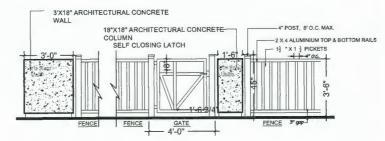
CAREX ICE DANCE

STYRAX JAPONICUS

BUXUS SEMPERVIRENS

CORNUS ALBA 'KELSEYII'

PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'



- METAL MATERIAL: ALUMINUM TO BE POWDER COATED BLACK, TWO COATS.
 ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
 GATE HARDWARD TO BE CHOSEN BY OWNER.
 INSTALL PER MANUPACURER'S INSTRUCTIONS.
- 4. ALUMINIUM FENCE TO BE POWDERCOATED SEM-GLOSS BLACK

2 ALUMINIUM FENCE WITH GATE AND COLUMN- STREET FRONTAGE

PLANTED SIZE / REMARKS

8CM CAL; 2M STD; B&B 8CM CAL; B&B

8CM CAL; 1.8M STD, B&B

3.5M HT;B&B

#3 POT; 40CM

#3 POT; 80CM

#1 POT: 20CM #3 POT; 50CM

#3 POT: 50CM

#2 POT: 40CM

#2 POT: 30CM

#1 POT: 20CM

#2 POT

#2 POT

#2 POT

#3 POT

#1 POT

#1 POT

#1 POT

15 CM POT

#1 POT- 25CM

#1 POT; 25CM

5 19.AUG.19 4 19 JUL 16 NEW SITE PLAN& CITY COMMEN 3 18 DEC.D7 REVISION AS PER CITY COMMEN PMG PROJECT NUMBER: 16-236

CLIENT: LANDCRAFT GROUP

NO. DATE REVISION DESCRIPTION

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ARCHITECTS Suite C100 - 4185 Still Creek Drive

SEAL:

Burnaby, British Columbia, V5C 6G9 p: 604 294-0011; f: 604 294-0022

PROJECT:

4-UNIT DUPLEX DEVELOPMENT

4226 WILLIAMS ROAD RICHMOND

DRAWING TITLE:

LANDSCAPE PLAN

DATE: January 20, 2017 SCALE: 3/32"x1'-0"

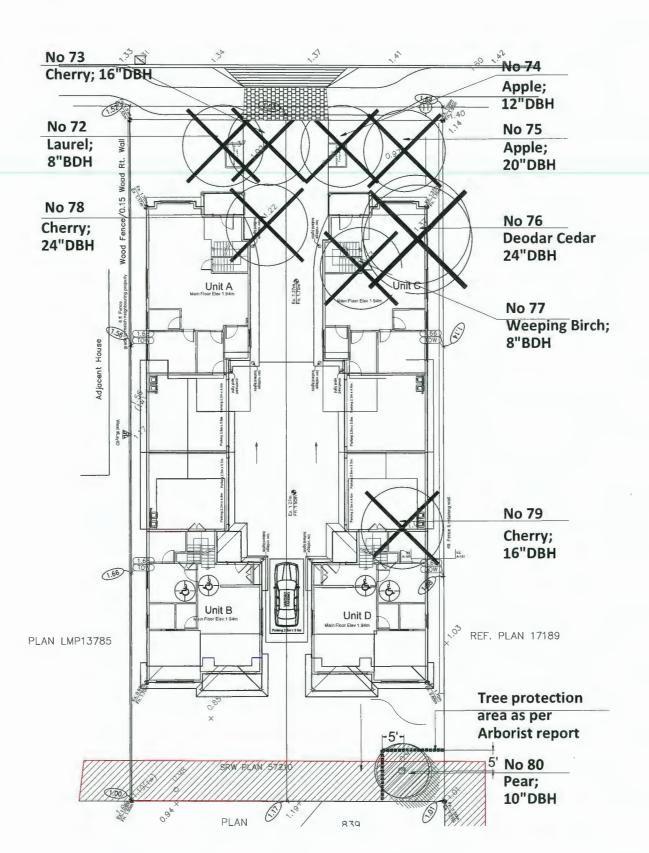
DRAWING NUMBER

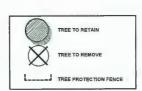
DRAWN- DD DESIGN: DD CHKD: PCM

DP 17-768135 PLAN 11 16235-12.ZP

PMG PROJECT NUMBER

16-236







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11	21.JUL.15	NEW SITE PLAN/CITY COMMENTS	DE
10	21.JUN.22	NEW SITE PLAN/ CITY REQUEST	00
9	20.DEC.03	REVISION AS PER CITY REQUEST	ĐC
3	20.0CT,21	NEW SITE PLAN	191
7	20.MAY.15	NEW SITE PLAN	DO
6	20.FEB.12	NEW SITE PLAN& CITY COMMENTS	DC
5	19.AUG.19	NEW SITE PLAN	DC
4	19JUL16	NEW SITE PLANS CITY COMMENTS	DC
3	18.DEC.07	REVISION AS PER CITY COMMENTS	DE
2	18.JUL23	REVISION AS PER CITY COMMENTS	ĐC
1	18.JUN.11	NEW SITE PLAN/ARBORIST REPORT	DD
NO.	DATE	REVISION DESCRIPTION	DF

CLIENT: LANDCRAFT GROUP

4-UNIT DUPLEX DEVELOPMENT

4226 WILLIAMS ROAD RICHMOND

DRAWING TITLE:

TREE MANAGEMENT **PLAN**

DRAWN: DD

DESIGN: DD CHK'D: PCM

Unit A

Unit D

B 3 /

NOS REF.

1.66

3785

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11	21.JUL.15	NEW SITE PLAN/CITY COMMENTS	
10	21.JUN.22	MEW SITE PLAN/ CITY REQUEST	+
9	20.DEC.03	REVISION AS PER CITY REQUEST	4
8	20.OCT.21	NEW SITE PLAN	
7	20.MAY.15	NEW SITE PLAN	
6	20.FEB.12	NEW SITE PLAN& CITY COMMENTS	
5	19.AUG.19	NEW SITE PLAN	
4	19.JUL.16	NEW SITE PLANS CITY COMMENTS	- (
3	18.DEC.07	REVISION AS PER CITY COMMENTS	
2	18JUL23	REVISION AS PER CITY COMMENTS	
1	18.JUN.11	NEW SITE PLAN/ARBORIST REPORT	
NO.	DATE	REVISION DESCRIPTION	

CLIENT: LANDCRAFT GROUP

4-UNIT DUPLEX DEVELOPMENT

4226 WILLIAMS ROAD RICHMOND

DRAWING TITLE:

LOT COVERAGE PLAN

DRAWN: DD

DESIGN: DD CHK'D: PCM

PMG PROJECT NUMBER:

16-236



Report to Development Permit Panel

To:

Development Permit Panel

Date:

July 19, 2021

From:

Wayne Craig

File:

DV 19-873160

Re:

Director, Development

Application by Open Road Auto Group Ltd. for a Development Variance Permit at

13251 Smallwood Place

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the required minimum setback from the west property line from 3.0 m to 0.96 m. This would permit the retention of an existing detached car wash building at 13251 Smallwood Place on a site zoned "Vehicle Sales (CV)".

Wayne Craig

Director, Development

(604-247-4625)

WC:rp

Att. 7

Staff Report

Origin

Kasian Architecture Interior Design and Planning Ltd.has applied on behalf of Open Road Auto Group Ltd. (Directors: Francis Chia, Marcel Chia, Anna Chia, Marya Chia, and Christian Chia) to the City of Richmond for permission to reduce the required side yard setback in order to retain an existing accessory building at 13251 Smallwood Place. The site currently contains. A Location Map is provided on Attachment 1 and a Site Plan is provided on Attachment 2.

The proposed variance seeks to reduce the required minimum side yard setback from the west property line from 3.0 m to 0.96 m. The proposed variance would allow the existing accessory car wash building to be retained on the subject site following a lot line adjustment that occurred on the adjacent property to the west at 13171 Smallwood Place via an approved zoning text amendment application and development permit (ZT 18-835424, DP 18-810720) to construct a new Porsche dealership, which was approved and issued by Council on October 13, 2020. In consideration of the zoning text amendment on 13171 Smallwood Place, a legal agreement was registered on title which required the owner to obtain the requested variance within two-years time of the lot line adjustment in order to enable the retention of the existing car wash structure. Should the requested variance not be issued, the car wash accessory building would have to be removed from the site in accordance with the legal agreement registered on title of the property. A site survey demonstrating the proposed setback to the car wash structure is provided on Attachment 3 and photographs of the existing car wash structure are provided on Attachment 4. The lot line adjustment is demonstrated on Attachment 5 and a site plan for the approved Porsche dealership is provided on **Attachment 6** for context.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 7) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: An existing Volkswagen dealership on a lot zoned "Vehicle Sales (CV)".

To the South: Across Smallwood Place Road, is an existing Applewood Nissan and Infiniti

dealership at 13220 Smallwood Place, and an existing Applewood Mitsubishi dealership in a building shared with other retail uses at 13340 Smallwood Place. Both properties are zoned "Vehicle Sales (CV)". The City has received a proposed site specific zoning text amendment application to add "Veterinary Service" as a permitted use on 13340 Smallwood Place (ZT 21-930124).

To the East: Across Smallwood Place Road, is an existing insurance agency, surface parking

lot and free-standing Auto Mall signage at 13460 Smallwood Place on a lot zoned

"Vehicle Sales (CV)".

To the West: Construction of a new Porsche dealership building (ZT 18-835424,

DP 18-810720) on a lot zoned "Vehicle Sales (CV)".

Staff Comments

There is no new development associated with the proposed variance. The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Variance Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the East Cambie Area Plan and the Zoning Bylaw except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in bold italics)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1) Reduce the minimum side yard setback for the existing car wash accessory building from 3.0 m to 0.96 m.

(Staff support the proposed variance, as there is no new development associated with the proposed variance, and the setback variance would apply only to the location of the existing car wash building. The proposed variance was identified at the time of the zoning text amendment (ZT 18-835424), and the resulting lot line adjustment, for the adjacent Porsche dealership at 13171 Smallwood Place. The existing car wash building is located behind several rows of parking and immediately adjacent to a proposed accessory building for damaged car storage associated with the Porsche dealership currently under construction to the west. The existing car wash building is also located is in an area of the subject site predominantly used by staff for service uses associated with the existing dealerships's operation.)

Analysis

Conditions of Adjacency

- To the west, a new Porsche dealership building at 13171 Smallwood Place is currently under construction. A new partially-enclosed storage structure for damaged vehicles would abut the shared property line (from which the proposed setback variance is measured). Therefore, the existing car wash building on the subject property would be set back 0.96 m from the car storage structure.
 - O Because of the resulting proximity to the storage structure for damaged vehicles, the exterior wall of the existing car wash would need to be appropriately fire rated for a 0.96 m setback (0.6 m to the eave of the car wash structure) from the car storage structure at 13171 Smallwood Place. Prior to Council's consideration of this development variance permit, the applicant must provide confirmation from a certified professional consultant, to the satisfaction of the Director of Building Approvals, that the existing car wash building is appropriately fire rated and/or undertake the required works to confirm compliance.
 - o A fence is proposed along the shared lot line, to be constructed as part of the development of 13171 Smallwood Place.
- To the north, a 6.8 m-wide drive aisle with parallel parking separates the existing Volkswagen dealership from the subject property. The existing car wash building on the subject property is set back approximately 14.3 m from the shared property line, between which is located on-site solid waste storage.
 - o An existing fence is located along the shared lot line to the north.

<u>Parking</u>

 As a result of the lot line adjustment, 33 parking spaces have been removed from the subject site. The subject site still provides 111 on-site parking spaces, which exceeds the minimum parking requirement (of 110 parking spaces) under Zoning Bylaw 8500.

Landscaping

Staff have conducted a site visit and the existing landscaping on site is adequate. In addition,
a Development Permit application (DP 19-842750) is currently under review by City staff
that would standardize landscaping in the Richmond Auto Mall by establishing a set of
landscaping design guidelines applicable to all lots in the auto mall. This landscaping
development permit will be presented to the development permit panel at a future date.

Crime Prevention Through Environmental Design

- A new fence is being installed at the shared east side of the property as part of the on-going
 construction activities of the adjacent Porsche project. The fence will separate the two
 properties and the fence is constructed chain-link material that makes it difficult for anyone
 to hide without being seen.
- The entire Richmond Auto Mall has a permanent surveillance system in place that is monitored by a third party security company Radius Security.
- Access to the existing car wash building is restricted to staff only public access is not permitted.
- The rear portion of the existing car wash is only utilized for placement of equipment for the
 car wash and is not used for storage purposes. Although materials are currently being stored
 at this location for the on-going construction of the adjacent site at 13171 Smallwood Place,
 those materials will be removed once construction activities are complete and fencing is
 installed.

Ministry of Environment (MOE) Approval

In accordance with the Ministry of Environment (MOE) processes for approval of development activities (including a Development Variance Permit), the applicant is required to secure a release letter from the MOE. Accordingly, the applicant must secure the release letter from the MOE prior to staff forwarding the Development Variance Permit to Council for their approval.

Conclusion

Kasian Architecture Interior Design and Planning Ltd., on behalf of Open Road Auto Group Ltd., has applied to the City of Richmond to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the required minimum setback from the side (west) property line from 3.0 m to 0.96 m, in order to retain an existing accessory car wash building and to facilitate the proposed adjustment of the shared lot line between 13171 Smallwood Place and the subject property.

As the proposed development would meet applicable policies in the Official Community Plan (OCP), staff recommend that the Development Variance Permit be endorsed, and issuance by Council be recommended.

Robin Pallett Planner 2

(604-276-4200)

RP:blg

Attachments:

Attachment 1: Location Map

Attachment 2: Site plan

Attachment 3: Site survey

Attachment 4: Photos of the existing car wash structure

Attachment 5: Lot Line adjustment via ZT 18-835424

Attachment 6: Site Plan for the new Porsche dealership at 13171 Smallwood Place

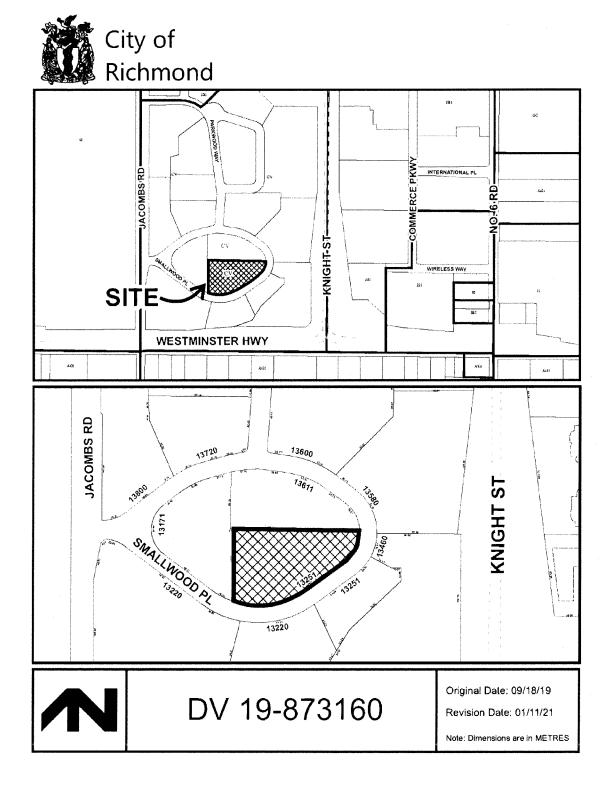
Attachment 7: Development Application Data Sheet

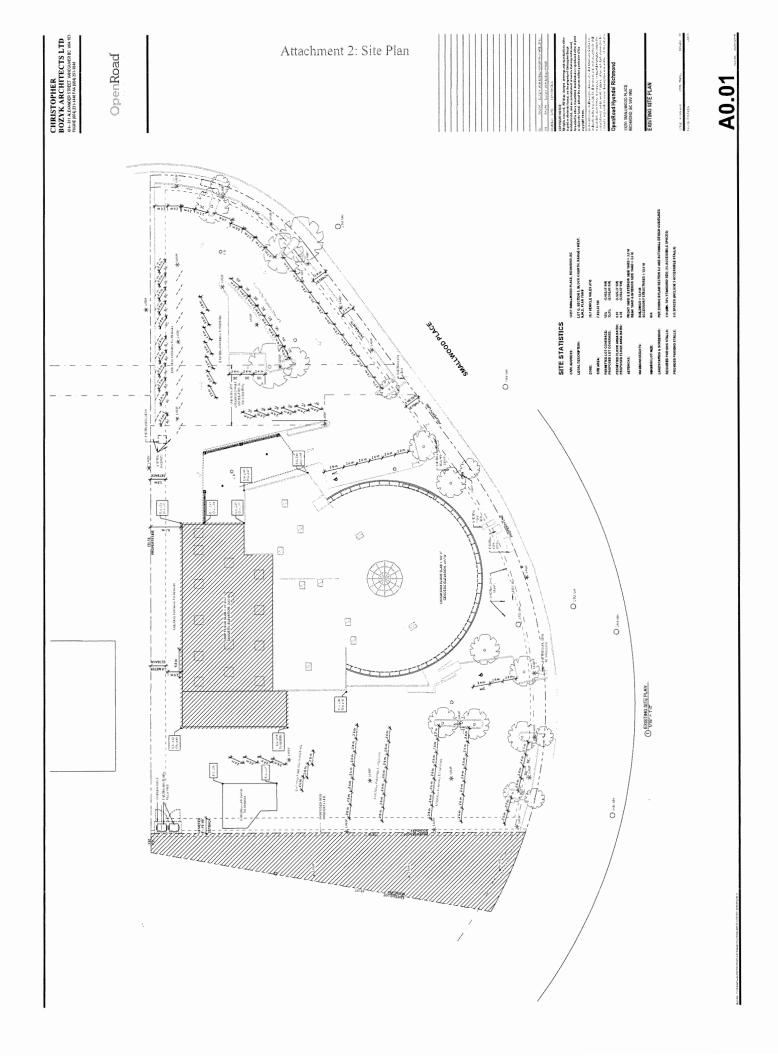
The following are to be met prior to forwarding this application to Council for approval:

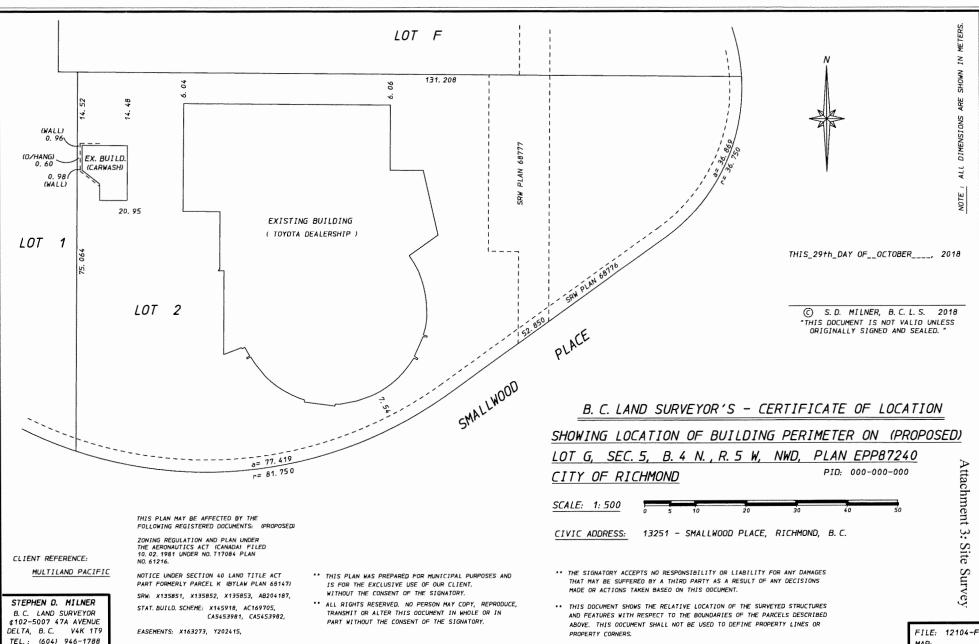
- Confirmation that the exterior wall of the existing car wash is appropriately fire-rated for a 0.96 m setback from the car storage structure at 13171 Smallwood Place.
- Provision of a release letter from The Ministry of Environment (MOE) permitting the City to proceed with approval of the subject Development Variance Permit.

Location Map

Attachment 1







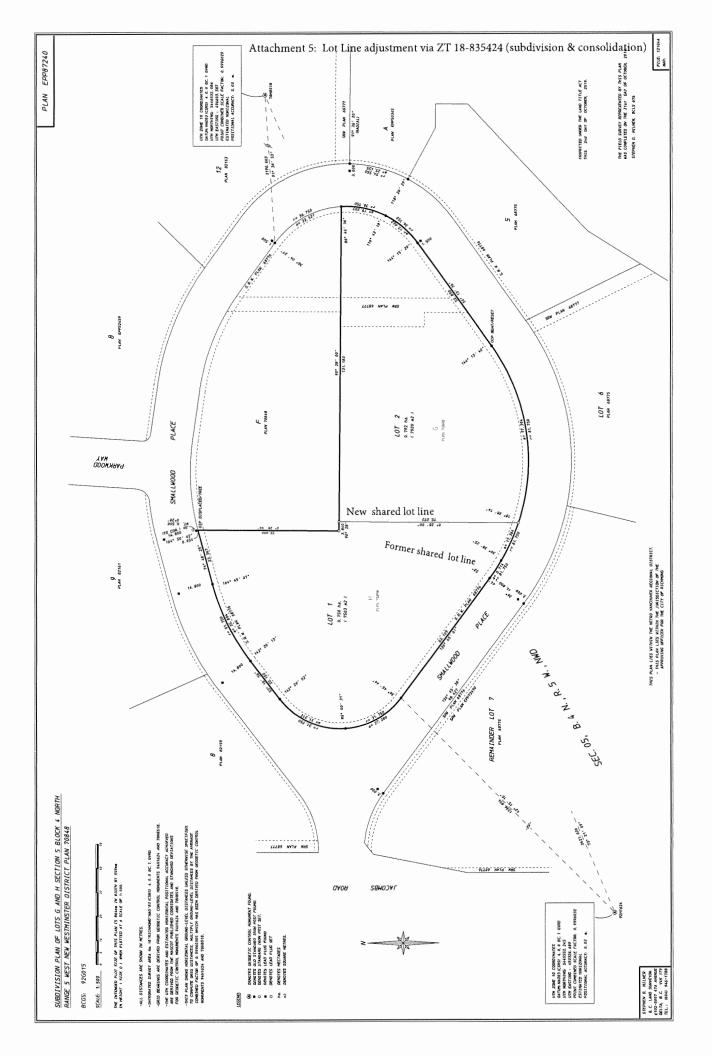
FAX: (604) 946-1789

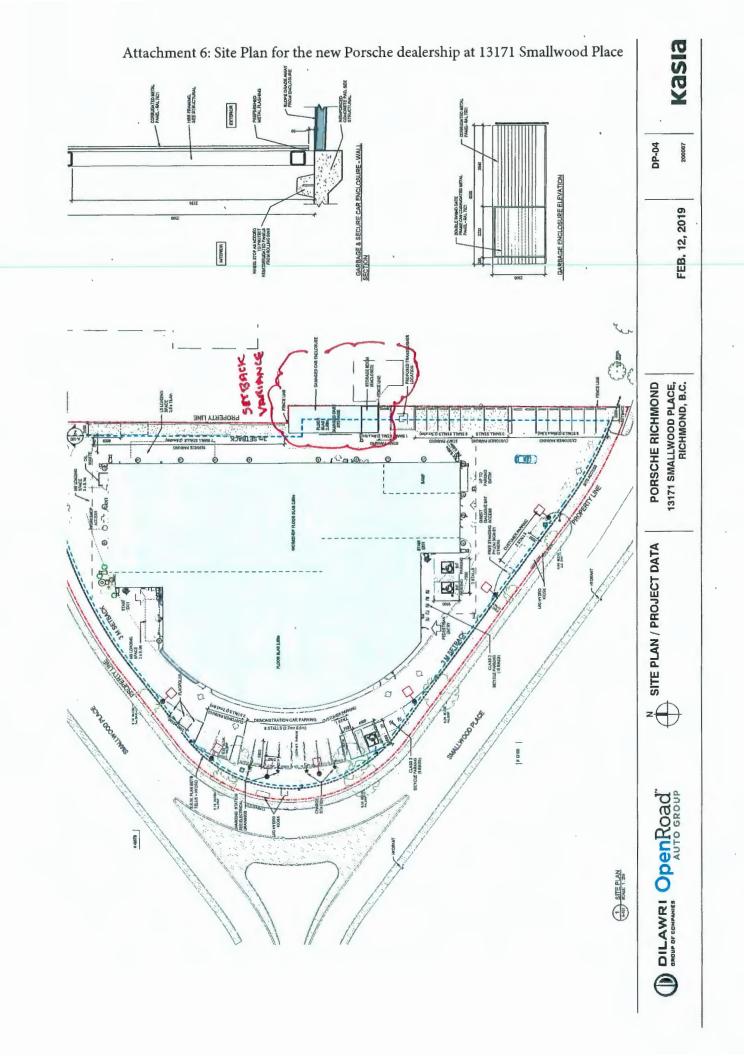
MAP:













Development Application Data Sheet

Development Applications Division

DV 19-873160 Attachment 7

Address: 13251 Smallwood Place

Applicant: Kasian Architecture Interior Design and Planning Ltd. Owner: Open Road Auto Group Ltd.

Planning Area(s): East Cambie

Floor Area Gross: N/A (no proposed development) Floor Area Net: N/A (no proposed development)

	Existing	Proposed
Site Area:	8,626 m ²	7,924.34 m ²
Site Alea.	(prior to subdivision)	(following subdivision)
Land Uses:	Vehicle sale/rental, vehicle body repair (accessory), office (accessory) and car wash (accessory)	No change
OCP Designation:	Commercial (COM)	No change
Zoning:	Vehicle Sales (CV)	No change

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.5	0.39	None permitted
Lot Coverage:	Max. 50%	32.5%	None
Setback - Front Yard:	Min. 3.0 m	6.4 m	None
Setback – Side Yard (north):	Min. 3.0 m	6.1 m	None
Setback – Side Yard (west):	Min. 3.0 m	0.96 m	Variance requested
Setback – Rear Yard:	Min. 3.0 m	N/A (no rear property line)	None
Off-street Parking Spaces – Regular:	107 spaces (min. 50% standard size)	108 spaces	None
Off-street Parking Spaces – Accessible:	3 (2% of parking provision)	3	None
Total off-street Spaces:	110	111	None



Development Variance Permit

No. DV 19-873160

To the Holder:

OPEN ROAD AUTO GROUP LTD.

Property Address:

13251 SMALLWOOD PLACE

Address:

C/O KASIAN ARCHITECTURE INTERIOR DESIGN

AND PLANNING LTD.

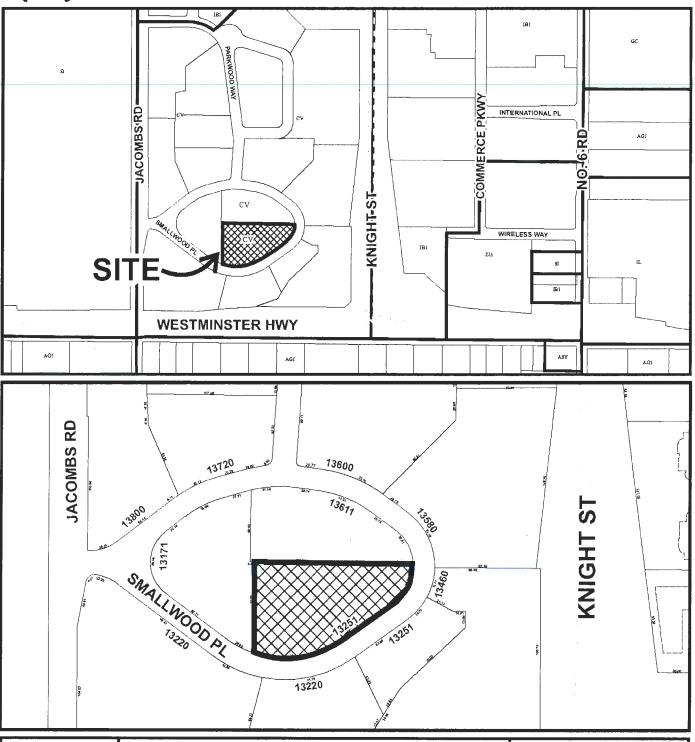
#1685 – 1500 GEORGIA STREET VANCOUVER, BC V6G 2Z6

- 1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
- 2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) Reduce the minimum side yard setback for the existing car wash accessory building from 3.0 m to 0.96 m.
- 4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
- 5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESO DAY OF			ISSUED BY THE COUNCIL THE
DELIVERED THIS	DAY OF	,	
MAYOR			







DV 19-873160 SCHEDULE "A"

Original Date: 09/18/19

Revision Date: 01/11/21

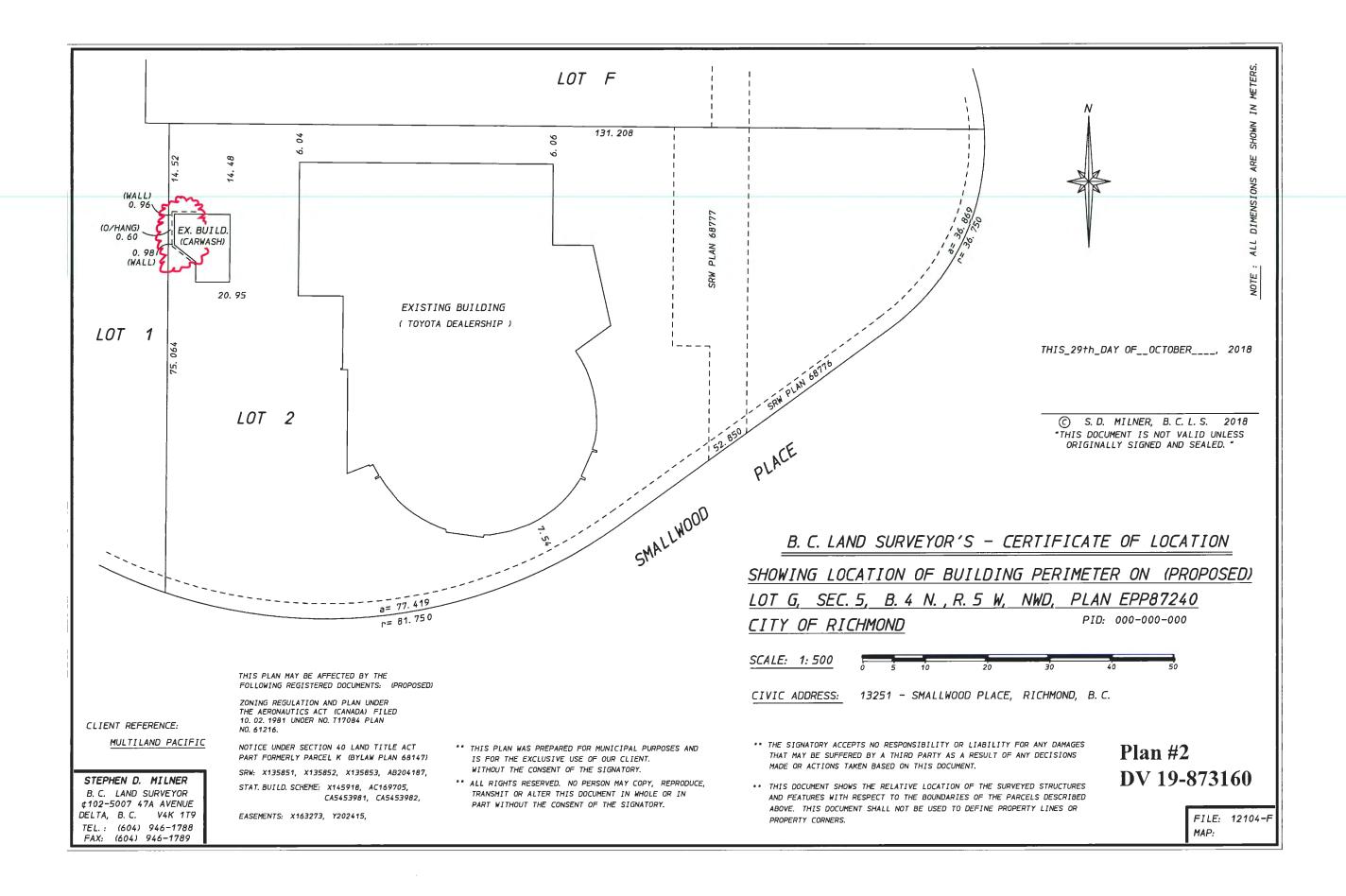
Note: Dimensions are in METRES

CHRISTOPHER BOZYK ARCHITECTS LTD 414-611 ALEXANDER STREET VANCOUVER BC V6A 1E1 PHONE (604) 251-3440 FAX (604) 251-3848 OpenRoad GROUP EG. 244 EG. 253 Q.G. 2.53 EG. 257 D.G. 257 Po 00 0 OC 2.8m , 2.6m , 2.6m , 2.6m , 2.6m , 2.6m , 18 SHOWROOM PLOOR SLAB = 100' 0" GEODETIC ELEVATION: 2.67 M O SAN, MH SITE STATISTICS O STM, MH 50% (3.962,17 SM) 32,5% (2,592,89 SM) O SAN, MH 0,50 (3,926,17 SM) 0,39 (3,084,67 SM) 13251 SMALLWOOD PLACE RICHMOND, BC V6V 1W8 1/16" = 1'-0" EXISTING SITE PLAN 110 (MM. 50% STANDARD SEE; 2% ACCESSBLE SPACES) Plan #1

DV 19-873160

A0.01

O SATI, MH





Report to Development Permit Panel

To: Development Permit Panel

Date: July 16, 2021

From: Wayne Craig

File: DP 19-881156

Director of Development

Re: Application by Minoru View Homes Ltd. for a Development Permit at 5740, 5760,

and 5800 Minoru Boulevard

Staff Recommendation

That a Development Permit be issued which would permit the construction of a:

- 1) High-rise mixed use development, comprising an office tower, ground floor retail, non-profit social service replacement space, and 429 dwellings including 88 low-end-of-market-rental (LEMR) units at 5740, 5760, and 5800 Minoru Boulevard, on a site zoned "High Density Mixed Use and Affordable Rental Housing (ZMU46) Lansdowne Village (City Centre)"; and
- 2) Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 10138, to reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.

Wayne Craig

Director of Development

WC:sch Att. 7

Staff Report

Origin

Minoru View Homes Ltd. has applied to the City of Richmond for permission to construct a high rise mixed use development, comprising an office tower, ground floor retail, non-profit social service replacement space, and 429 dwellings including 88 low-end-of-market-rental (LEMR) units at 5740, 5760, and 5800 Minoru Boulevard, on a site zoned "High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)". (Attachment 1)

The site currently contains several unoccupied low-rise commercial buildings. For the purpose of the subject development, through RZ 18-807640, the Official Community Plan (OCP) and City Centre Area Plan (CCAP) are being amended, to encourage office uses along the east side of Minoru Boulevard and designate the south side of Lansdowne Road for park use, under Bylaw 7100, Amendment Bylaw 10136 and 10137, and the site is being rezoned from "Industrial Retail (IR1)" to "School and Institution Use (SI)" and "High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)", under Bylaw 8500, Amendment Bylaw 10138. Prior to adoption of the rezoning bylaws, the developer shall, among other things:

- 1) Register a Housing Agreement and Covenant on title to the lot to secure 88 low-end-of-market-rental (LEMR) units with a combined habitable unit area of 6,166 m² (66,370 ft²) (i.e. 20% of total residential floor area), constructed to a turnkey level of finish (at the developer's cost), in an affordable rental housing building along the site's east side, subject to a Memorandum of Understanding with a non-profit operator (S.U.C.C.E.S.S.);
- 2) Register a legal agreement on title to the lot to secure 462 m² (4,977 ft²) gross leasable area (GLA) of affordable rental replacement non-profit social service agency space (constructed to a shell level of finish), plus ancillary circulation, and give first rights of refusal for occupancy to the site's two former non-profit social service tenants;
- 3) Register a legal agreement on title to the lot restricting subdivision of the proposed 14,826 m² (159,587 ft²) office tower to a maximum of one strata lot or air space parcel per storey;
- 4) Transfer 859 m² (0.21 acre) of fee simple land to the City for use as a 7 m (23 ft.) wide linear park along the south side of Lansdowne Road and register a statutory rights-of-way on title along the site's Lansdowne Road frontage to secure additional contiguous space for public plaza and walkway use; and
- 5) Enter into a Servicing Agreement, secured with a letter of credit, to design and construct all engineering, transportation, and parks off-site requirements in respect to the proposed development including, but not limited to, utility upgrades, widening of Lansdowne Road, an off-street bike path along Minoru Boulevard, conversion of an existing lane along the site's east side to a local street, public realm improvements along all street frontages, and the creation of the new linear park along Lansdowne Road. Some engineering and transportation works (i.e. not parks works) may be eligible for Development Cost Charge credits.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: Lansdowne Road, beyond which, at 5520, 5560, and 5660 Minoru Boulevard,

rezoning is under review for a high-rise mixed use project on a site occupied by low-rise commercial buildings (RZ 16-744658) and, at 5591, 5631, 5651, and 5671 No. 3 Road, construction is approved for a linear park and high-rise development comprising 365 dwellings, office, retail, and 557 m² (6,000 ft²) of non-profit social

service agency replacement space (RZ 17-779262 / DP 18-829841).

To the south: A retail car lot, beyond which are Ackroyd Road and a high-rise development

containing the City Centre Community Centre and Trinity Western University.

To the east: An existing City lane, which the developer must widen to become a street (as

designated by the CCAP), beyond which are a mix of older low-rise commercial

buildings and newer mixed use towers fronting No. 3 Road.

To the west: Minor Boulevard, beyond which are low-rise commercial and light industrial

buildings designated by the CCAP for medium density mixed use development.

In addition, the subject site is located within 400 m (4,300 ft.) or roughly a 5-minute walk of the Lansdowne Canada Line Station.

Rezoning and Public Hearing Results

The Public Hearing for rezoning was held on September 8, 2020. Concern was raised that the stand-alone affordable housing building may segregate the low-end-of-market-rental (LEMR) residents from the market residents. Staff worked with the applicant to address this issue by:

- 1) Securing the entirety of the development's 2,977 m² (32,044 ft²) podium-level outdoor amenity space and adjacent 484 m² (5,210 ft²) indoor fitness facility for shared use by the LEMR and market strata residents (subject to legal agreements registered on title);
- 2) Supporting shared use of the podium-level amenities by both LEMR and market strata residents with spaces/uses that encourage socializing (e.g., dog run, children's playgrounds and lawn, garden plots, and outdoor kitchens and dining areas) and providing direct access to/from fronting LEMR and market units and the indoor fitness facility; and
- 3) Providing a high quality of materials and finishes throughout the development, including special facade and landscape features along the project's east site (e.g., zigzag balcony pattern with colourful guards, decorative paving, planting, trees, weather protection, and seating) to enhance the streetscape at the LEMR building and southeast market strata tower.

The development's non-profit housing operator, S.U.C.C.E.S.S., has reviewed the developer's proposal and confirmed that it supports the proposed design. (Attachment 3)

During the rezoning process, staff identified various items requiring design development through the Development Permit process. In brief, this included refinements to the public realm design and park interface, affordable housing building and non-profit social services (NPSS) space, residential amenity space, low carbon energy plant, and loading/waste facilities. All items have been addressed. Details are provided in the Staff Comments and Analysis sections of this report.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the rezoning and subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP), as amended under Bylaw 7100, Amendment Bylaw 10136 and 10137, and complies with the "High Density Mixed Use and Affordable Rental Housing (ZMU46) – Lansdowne Village (City Centre)" zone, except as described in the Zoning Compliance/Variance section of this report.

1) Affordable Housing: The site-specific ZMU46 zone includes residential rental tenure zoning requiring at least 88 rental units and provides for a 0.2 FAR affordable housing bonus to facilitate an increased developer contribution (beyond the typical 10% minimum LEMR requirement). As a condition of rezoning adoption, the developer must construct all 88 residential rental tenure units as LEMR units (to a turnkey level of finish), together with ancillary and indoor amenity spaces, in a stand-alone affordable housing building (along with related features such as residential amenity space, parking, and bike storage).

Affordable Housing staff support the applicant's proposal, as summarized in the table below. The proposed 88 low-end-of-market-rental (LEMR) units have a combined habitable unit area of 6,166 m² (66,370 ft²) (i.e. 20% of total residential floor area). Council adopted Housing Agreement Bylaw 10214 to secure the units on January 25, 2021. The developer has entered into a Memorandum of Understanding with a non-profit housing operator to manage the affordable housing building (S.U.C.C.E.S.S.) and the operator has reviewed the DP design and confirmed it is satisfactory (Attachment 3). Prior to rezoning adoption and DP issuance, a Housing Covenant will be registered on title to the lot to secure the details of the developer's contribution, to the City's satisfaction.

Building Features	Estimated Minimum @ RZ Stage	Proposed Minimum Floor Area
A. MIN. RESIDENTIAL SPACE	6,431 m ² (69,217 ft ²)	7,127 m² (76,712 ft²)
Min. Combined Total Habitable Unit Area	Not specified	6,166 m ² (66,370 ft ²)
Min. Residential Ancillary Space	Not specified	961 m ² (10,342 ft ²)
B. MIN. EXCLUSIVE INDOOR AMENITY SPACE	111 m² (1,194 ft²)	154 m² (1,654 ft²)
C. MIN. TOTAL AFFORDABLE HOUSING FEATURES	6,541 m ² (70,411 ft ²)	7,280 m² (78,366 ft²)
Min. Number of Units	88	88
Unit Mix	Studio/1-BR: 47% (41 units) 2-BR/3-BR: 53% (47 units)	Studio/1-BR: 47%(41 units) 2-BR/3-BR: 53% (47 units)

NOTE:

- Floor areas exclude standard Zoning Bylaw exemptions.
- Min. Residential Space excludes the Level 1 and 2 lobbies shared with the non-profit social service (NPSS) tenants. Prior to rezoning adoption and DP issuance, legal agreements will be registered on title to secure the developer's commitment to construct both lobbies to a turnkey level of finish (at the developer's cost) and provide for shared use of the lobbies by the LEMR and NPSS tenants, to the City's satisfaction.
- Min. Exclusive Indoor Amenity Space means the indoor amenity space located within the affordable rental building for the exclusive use of the affordable housing unit residents/operator, including 18.6 m² (200.0 ft²) for the non-profit housing operator administration and program purposes.
- Min. Number of Units is secured through Residential Rental Tenure Zoning, as specified in the ZMU46 zone.
- 100% of affordable housing units shall comply with the City's Basic Universal Housing (BUH) standards.

- 2) Non-Profit Social Service (NPSS) Replacement Space: As determined through the rezoning, the developer proposes to comply with City objectives aimed at mitigating development impacts on existing City Centre NPSS agencies by providing replacement space on the subject site for two former NPSS tenants: Community Mental Wellness Society of Canada (C.M.W.S.C.) and Richmond Society for Community Living (R.S.C.L.). This will include, among other things:
 - Constructing replacement space at a 1:1 ratio to a shell level of finish and providing ancillary space (e.g., circulation) at a turnkey level of finish;
 - Designating 23 parking spaces for exclusive use of the NPSS tenants and their visitors;
 - Limiting rents to 50% of comparable market rates; and
 - Granting the former tenants first right of refusal to occupy the replacement space.

The proposed NPSS space is located on the second floor of the affordable housing building, with views to the new street along the site's east side (McNaughton Road). As approved through rezoning, access to the space is via two lobbies shared with the building's LEMR residents, including one at grade and a second floor lobby with direct access to the parkade and the NPSS's designated parking spaces. The proposed floor area is consistent with the rezoning and the two former NPSS tenants have confirmed that the DP design meets their needs (Attachments 4 and 5). Prior to rezoning adoption and DP issuance, a legal agreement will be registered on title to secure the details of the developer's NPSS space commitment.

MINIMUM PERMITTED (AS PER RZ 18-807640)	PROPOSED
Total area to be determined based on: • Tenant units: 426 m² (4,582 ft²) GLA • Ancillary space (e.g., Level 1 & 2 lobbies shared with the building's LEMR residents)	TOTAL: 714.2 m ² (7,688.0 ft ²) including: • Tenant units: 462 m ² (4,977 ft ²) GLA • Ancillary space: 251.9 m ² (2,711.0 ft ²)

NOTE: Floor areas exclude standard Zoning Bylaw exemptions.

- 3) <u>Village Centre Bonus Office Use Only</u>: The CCAP, as amended through the rezoning application, and the ZMU46 zone provide for a density bonus (1.0 FAR) for office use. As a condition of this bonus, prior to rezoning bylaw adoption the developer shall:
 - Submit a voluntary cash-in-lieu community amenity contribution to Richmond's Leisure Facilities Reserve Fund (based on the construction cost of 5% of bonus floor area) to facilitate the City's construction of community amenity space in the City Centre; and
 - Register a legal agreement on title to the lot to restrict subdivision of the proposed 14,826 m² (159,587 ft²) office tower to a maximum of one strata lot or air space parcel per storey. The proposed gross floor areas of the office tower floors range from approximately 1,180 m² (12,700 ft²) to 1,470 m² (15,800 ft²).
- 4) <u>Transportation Demand Management (TDM) Measures</u>: Based on the developer's provision of an approved suite of TDM measures (at the developer's cost), the ZMU46 zone permits a 25% parking reduction for affordable housing units and the Zoning Bylaw permits a 10% parking reduction for other uses. The required TDM measures, which will be secured with legal agreements registered on title prior to rezoning adoption, include the following:
 - 124 public (short-term/hourly) parking spaces (i.e. 50% of commercial parking);
 - 23 parking spaces for the non-profit social service (NPSS) tenants and their visitors;
 - 8 spaces for residential visitors (in addition to visitor use of the 124 public hourly spaces);

- 2 car share parking spaces, two cars, and an operator's agreement;
- Transit pass programs, including implementation strategies to the City's satisfaction, for commercial tenants (i.e. \$40,000 value) and LEMR residents (i.e. monthly 2-zone passes for two tears for 100% of units);
- Increased residential Class 1 (secure) bike storage for LEMR and market strata residents at a rate of 1.7 bike spaces (instead of 1.25) per unit, including 10% in the form of over-size lockers to accommodate multiple bikes or larger items (e.g., mobility scooters);
- End-of-trip cycling facilities (e.g., showers, toilets, and change rooms) for commercial tenants, co-located with the development's commercial Class 1 bike storage; and
- Bike maintenance stations (e.g., air pump, bike stand, and integrated tools) and bike wash facilities for both commercial and residential tenants.
- 5) <u>Electric Vehicle (EV) Charging</u>: Prior to rezoning adoption, a legal agreement will be registered on title to the site to specify the development's EV charging requirements with respect to OCP policy and the Zoning Bylaw, as required through the rezoning and Development Permit. More specifically, the agreement shall require that:
 - 100% of resident parking shall be EV-equipped (240V);
 - 5% of non-residential parking (i.e. 14 spaces) shall be EV-equipped (240V), comprising 12 of the 23 non-profit social service (NPSS) parking spaces and the two car-share spaces; and
 - If the developer chooses to design the project to allow for the future installation of a load-sharing EV system by others, the developer must satisfy specific requirements prior to first occupancy (i.e. equipping the car-share spaces with operating EV Chargers and 25% of the other EV spaces with operating EV Charging Stations).
- 6) <u>District Energy Utility (DEU) and BC Energy Step Code</u>: Sustainability staff support the applicant's proposal. Prior to rezoning adoption, a legal agreement will be registered on title to the site requiring that:
 - The developer shall design, construct, and transfer ownership to the City of a low carbon energy plant and related infrastructure (e.g., rooftop and ground floor equipment at the southeast residential tower) to facilitate a future connection to a City DEU system; and
 - As a high-rise building with an on-site low carbon energy plant, the building design shall comply with BC Energy Step 2, as demonstrated by the developer's submission of an energy modelling report showing that it meets all applicable Step Code requirements.
- 7) <u>Public Art</u>: Prior to rezoning adoption, the developer will submit a voluntary cash-in-lieu contribution to the Public Art Reserve, which may be applied to public art and/or related features along the Lansdowne Road "art walk", as determined to the satisfaction of Council.
- 8) <u>Airport Zoning Regulations</u>: The developer has submitted a letter prepared by a surveyor confirming that the maximum height of the proposed development, 47 m (154 ft.) GSC, complies with Transport Canada regulations.
- 9) <u>Flood Construction</u>: Prior to rezoning adoption, the City's standard flood indemnity covenant will be registered on title to the lot. The development complies with the Richmond flood protection bylaw and provides for a minimum elevation of 2.9 m (9.5 ft.) GSC for all dwellings and electrical/mechanical rooms and 0.3 m (1.0 ft.) above the crown of the fronting street for commercial uses and residential lobbies.

- 10) <u>Aircraft Noise</u>: The OCP permits residential and other aircraft noise sensitive uses in this location, subject to specific requirements. A certified acoustic professional has submitted a report confirming that the DP design meets OCP and CMHC interior noise standards. Prior to rezoning adoption, the City's standard aircraft noise covenant will be registered on title to ensure that the building will be constructed in compliance with the City's noise requirements, as confirmed by a certified professional.
- 11) <u>View Blockage and Other Development Impacts</u>: Prior to rezoning adoption, the City's standard mixed use covenant will be registered on title to the site to notify purchasers of potential impacts that may arise through nearby development and/or uses, and to ensure that the developer incorporates appropriate mitigation measures in the design.
- 12) Existing Trees: There are no bylaw-size trees on the subject site. Through the rezoning, it was determined that eight existing street trees must be removed from the Lansdowne Road median to facilitate the construction of the new street along the site's east side (McNaughton Road), including a full-movement intersection at Lansdowne Road. The developer will install new street trees through the Servicing Agreement process and, prior to rezoning adoption, will contribute to the Tree Compensation Fund to facilitate the City's planting of trees elsewhere in Richmond.
- 13) <u>Land Contamination</u>: The potential for contamination was identified through the rezoning application process and will be addressed by the developer, to the City's satisfaction, prior to rezoning adoption and Development Permit issuance.
- 14) Occupancy Staging: Prior to rezoning adoption, a restrictive covenant will be registered on title to the lot to ensure the timely completion of community amenities and other features. In brief, the covenant will require that all non-profit social services (NPSS) space and DEU requirements (e.g., low carbon energy plant) must be satisfied prior to first occupancy of the building. In addition:
 - No residential space may be occupied unless the affordable housing building and related features (e.g., amenity space, parking, and transit pass program) are complete; and
 - No commercial space may be occupied unless the public (hourly) parking, car-share, end-of-trip cycling facilities, and commercial transit pass program are satisfactory.

Zoning Compliance/Variance

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 10138, to reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.

Staff support the requested variance because the proposed balconies will:

- Enhance the development's appearance by creating visual interest at the southwest tower and across the façade of the affordable housing building;
- Have negligible impact on the public realm because the projection is minor and occurs above the second storey along limited portions of the site's east and west frontages; and
- Provide necessary private outdoor space for market strata and LEMR residents.

Advisory Design Panel Comments

On November 4, 2020, the Advisory Design Panel (ADP) considered the subject application and recommended that it move forward to the Development Permit Panel subject to the applicant giving consideration to ADP's comments. The relevant excerpt from the ADP Minutes is attached for reference, together with the written response from the applicant shown in 'bold italics' (Attachment 6). In brief, in response to the Panel's comments, the architect and landscape architect have undertaken design development regarding the:

- 1) Affordable housing building's façade and frontage treatment to provide more variety in residential expression (e.g., playful pattern of balconies with colourful guards, a decorative entry wall feature, and enhanced accessibility and landscape features);
- 2) Replacement of a walkway previously proposed along the site's south side (which raised security and personal safety concerns) with a combination of townhouse units (screening parking behind) and a gated/fenced landscape buffer (where a neighbour's existing sewer easement precludes building construction); and
- 3) Low-carbon energy plant, including relocating rooftop equipment from the mid-rise affordable housing building (where noise, views, and increased building height were a concern) to the southeast residential tower (without increasing the tower's overall height). The City's standard technical review and approval process with respect to low-carbon energy plants and related equipment will ensure that the design and operation of the proposed infrastructure will comply with all City noise bylaw requirements.

Analysis

The proposed high-rise, high density, mixed-use development generally complies with all Zoning Bylaw requirements and the objectives of the CCAP's Development Permit Guidelines. More specifically, the development has successfully demonstrated:

- 1) A strong urban concept that will contribute towards a high amenity, transit-oriented community attractive to families with children (i.e. 54% two- and three-bedroom units), residents with mobility issues (i.e. 30% Basic Universal Housing units), and lower income households (i.e. 20% of residential floor area as affordable LEMR units);
- 2) An articulated building typology with distinctive forms and features that break down the building massing, incorporate varied building heights, provide streetscape interest, and provide for sunny spaces on-site and along fronting streets and open spaces; and
- 3) An attractive public realm, including a new linear park along Lansdowne Road (subject to a Servicing Agreement) and varied residential and commercial frontage treatments that will contribute to the emerging use and identity of each fronting street.

Conditions of Adjacency

The proposed development is designed to address adjacency issues as follows.

1) The development includes a new linear park along its north side, together with landscaped setbacks for expanded walkway and plaza purposes (both subject to a Servicing Agreement), which will enhance Lansdowne Road as a civic route linking the downtown with the riverfront and complement recently approved/constructed sections of Lansdowne's linear park to the east and west of the subject site.

- 2) The development's towers are separated from:
 - Each other along the site's west, south, and east sides by at least 24 m (79 ft.), as per the recommended CCAP minimum;
 - Each other along the site's north side by 46 m (151 ft.) to maximize solar access to the future linear park along the north side of Lansdowne Road; and
 - The site's south property line by 17 m (56 ft.) to allow for a 35 m (151 ft.) separation from future neighbouring development (i.e. assuming equal tower setbacks on both sites).
- 3) Potential on-site overlook issues are addressed by:
 - At inset corners, wrapping larger units around both sides of the corner and designing smaller units so that their primary outlook (e.g., balconies and large living room windows) is directed away from that of their neighbours;
 - At residential interfaces with the office building and common indoor amenity spaces, installing opaque walls next to any residential unit; and
 - Along facades with rows of more than two projecting balconies, intermittently providing privacy screens in the form of tall frosted glass guards.
- 4) Part of the podium's south party wall near Minoru Boulevard is enhanced with a decorative painted pattern where it will be visible on an interim basis until the neighbour redevelops; and
- 5) All vehicle access to the site will be via the new street (McNaughton Road).

Urban Design and Site Planning

The proposed form of development takes advantage of the site's three frontages to incorporate measures aimed at knitting the local community together.

- 1) The CCAP encourages the development of a network of neighbourhood parks, greenways, and other landscape features. As approved through rezoning, the developer is required to design and construct (subject to a Servicing Agreement) portions of:
 - Lansdowne Road's civic promenade linking the Lansdowne Canada Line Station with the Richmond Olympic Oval, including a linear City park along Lansdowne Road's south side and contiguous space for a walkway and an expanded plaza at the Minoru Boulevard intersection (secured with a statutory right-of-way registered on title);
 - Minoru Boulevard's off-street bike path and greenway linking the civic precinct (e.g., City Hall), City Centre Community Centre, and future riverfront park; and
 - McNaughton Road, in the form of a new minor street along the site's east side intended to contribute towards a pedestrian-friendly, finer grain street network.
- 2) The building massing takes into account the CCAP's transition in building height from 25 m (82 ft.) west of Minoru Boulevard to 47 m (154 ft.) GSC along No. 3 Road by incorporating varying tower and streetwall heights that are generally lowest in the northwest (to maximize sun to the public realm) and step up in a counter-clockwise arrangement to the site's tallest buildings along its east side, including:
 - Three residential towers at 37 m (121 ft.), 40 m (132 ft.), and 43 m (141 ft.) and the office tower at 47 m (154 ft.) GSC; and
 - Four mid-rise elements ranging from three storeys (11 m/37 ft.) along Lansdowne Road to four storeys (14 m/45 ft.) on Minoru Boulevard, six storeys (17 m/54 ft.) on the south, and nine storeys (30 m/100 ft.) at the affordable housing building on the east.

- 3) Along Lansdowne Road, continuous pedestrian-oriented retail lines the park, anchored by a plaza on the west, providing a neighbourhood-oriented space for outdoor dining and socializing, and an office building on the east, located in view of Lansdowne Station and proposed high-rise development near No. 3 Road.
- 4) Along Minoru Boulevard, townhouses with front doors and raised patios, residential lobbies, and retail units near Lansdowne Road's park and plaza contribute towards a varied streetscape enhanced with landscaped setbacks and a double row of trees in keeping with the street's "greenway" role.
- 5) Along the site's east side, the design aims to animate the new street (McNaughton Road) with entrances to the office building, southeast market strata tower, affordable housing building, and non-profit social services (NPSS) space, complemented by pedestrian-oriented retail and landscape features.
- 6) Parking and loading are concealed from view around the perimeter of the site by commercial and residential uses, and vehicle access is limited to a single driveway to minimize potential impacts on the amenity or safety of the public realm.

Architectural Form and Character

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the streetwall vocabulary established elsewhere in Lansdowne Village, while proposing distinct architectural features that visually animate the streetscape, complement the variety of uses on-site, and enhance the development's role along three important downtown streets. In brief:

- 1) The development is made visually distinct by its simple massing, strong horizontal and vertical lines, and minimal colour pallet of white accented with terracotta, bronze, and woodlook features.
- 2) The office building has full height curtain walls, accented with a staggered pattern of bronzecoloured vertical fins and alternating vertical bands of vision glass and light grey glass spandrel panels that complement the stepped articulations at the tower's top and sides.
- 3) Ground floor retail units are expressed as double-height volumes, accented by a grid of bronze coloured mullions and muntins that pick up on the office tower's vertical fins and lend the streetscape a distinctive, high-amenity character.
- 4) The project's three residential towers are clean white and glass volumes articulated with a horizontal pattern of projecting balconies enhanced with bold terracotta-coloured soffits. A similar façade treatment is applied to the affordable housing building, except that there a number of the terracotta balcony soffits are extended horizontally and vertically to create a zigzag pattern across the building face, helping to visually animate the new street (McNaughton Road) and enhance views to the building from Lansdowne Road.

Residential Amenity Space

The proposed development satisfies all OCP and CCAP requirements for the provision of indoor and outdoor residential amenity space for the shared and private use of residents. The design also complies with the rezoning with respect to the location and sizes of spaces for the shared use of the market strata and LEMR residents.

- 1) Common Indoor Amenity Space: The development is required to provide at least 877 m² (9,935 ft²) of common indoor amenity space for recreation and socializing based on the CCAP ratio for large developments, together with an additional 19 m² (200 ft²) for the non-profit housing operator for administration and programming. Furthermore, through the rezoning it was determined that the amenity space would be broken into three parts including at least 465 m² (5,000 ft²) for the shared use of the market strata and LEMR residents and separate spaces for the exclusive use of each group. The proposed development provides a combined total of 1,118 m² (12,028 ft²) of indoor amenity space, which exceeds the minimum requirement and includes the following:
 - Shared indoor amenity space, which was increased in size to 484 m² (5,210 ft²) through the DP design process, comprising a fitness facility for the shared use of the market strata and LEMR residents at the development's podium level, contiguous with its outdoor amenity space;
 - 154 m² (1,654 ft²) of indoor amenity space for the exclusive use of the LEMR residents including a large recreation space contiguous with the podium-level outdoor amenity space (including a lounge, multi-purpose rooms, kitchenette, and operator program space) and an office for the operator at the lobby level; and
 - 480 m² (5,164 ft²) of indoor amenity space for the market strata residents including a lounge and tearoom contiguous with the podium-level outdoor amenity space and a workshop located one storey above.
- 2) Common Outdoor Amenity Space: The development requires at least 2,574 m² (27,706 ft²) of common outdoor amenity space including at least 600 m² (6,458 ft²) of children's play space. The proposed development exceeds these minimum requirements with 3,034 m² (32,657 ft²) of total outdoor amenity space and 746 m² (8,030 ft²) of children's play space. All of the proposed space is available for use of the LEMR residents including:
 - A small terrace, 57 m2 (614 ft²) in size, at the ninth floor of the affordable housing building for the exclusive use of LEMR residents; and
 - A 2,977 m² (32,044 ft²) at the podium rooftop, including:
 - a) a dog run;
 - b) outdoor kitchens, patios, and space to relax;
 - c) a gardening area with garden plots, fruit trees, berry bushes, tool storage, hose bibs, and related features; and
 - d) two children's playgrounds including climbing structures with slides installed on colourful resilient surfaces, sand play, balance logs, stepping stones through a treed area, and adjacent lawn space for running and games.

Landscape and Open Space Design

In addition to the common outdoor amenity space described above, the development provides a variety of other landscape spaces and features.

- 1) All frontages are designed to complement and enhance the building's appearance and public enjoyment of the fronting street and park spaces.
 - Along the Lansdowne Road frontage, the building is set back from the City park to provide a broad public walkway and plaza area along the retail storefronts, including seating, bike racks, planting, decorative paving, and continuous weather protection, together with space for outdoor dining. Multiple pathways criss-cross the park (incorporating stormwater detention measures), interspersed with islands of

- planting/trees/seating and opportunities for temporary public art, to create an attractive, animated space that will be visually engaging and allow people to move seamlessly between the storefront walkway and the City sidewalk.
- Along Minoru Boulevard, townhouse units are generally set back 6 m (20 ft.) from the sidewalk to provide space for terraced planting that will complement the street's "greenway" role (e.g., double row of street trees) and screen the private patio, which are raised 1.4 m (4.5 ft.) above the grade of the sidewalk. Near the south property line, the building setback increases to accommodate required utility cabinets flanked by landscaped walkways to individual townhouse units.
- Along the new east street (McNaughton Road), the design takes advantage of changes in grade elevation and road alignment to create a broad landscaped terrace with continuous weather protection along the office, retail and residential lobby frontages. The terrace is flush with the sidewalk at its north end (along the frontage of the office building) and gradually rises towards the south, separated from the sidewalk by planters with trees, shrubs, seasonal planting, and seating. At the terrace's south end, a 5% ramp, glass canopies, decorative wood-look wall treatment (that is back-lit at night), and planting provide for an attractive, universally accessible route between the shared affordable housing/non-profit social service (NPSS) lobby, the fronting sidewalk, and a designated on-street lay-by for passenger and HandiDart pick-up.
- 2) Private outdoor amenity space is provided for each dwelling in the form of a patio or balcony.
- 3) Patio space is provided in association with the office building. This space is for the exclusive use of office tenants and is provided in addition to the development's residential amenity space requirements. It will be accessed via the fourth floor of the office building and will have no access to residential spaces. The patio is proposed for a sunny spot along the north side of the site with views of Lansdowne Road and will provide space for office tenants to relax, have lunch, and enjoy quiet activities like yoga or tai chi.
- 4) Drought tolerant green roof planting with a combined area of 1,151 m² (12,389 ft²) will be installed on Levels 4, 5, 6, and 10 (accessed via roof hatches for periodic maintenance). An additional 1,309 m² (14,090 ft²) of planted area will be installed in the form of landscape buffers and decorative features (over and above outdoor amenity space requirements) to improve the outlook for residents and neighbours and reduce the heat island effect.
- 5) Irrigation will be installed in all planted areas to ensure that lawn, trees, and other planting will remain healthy. Drought tolerant planting will be used throughout to reduce the reliance on irrigation once plants are established.
- 6) To minimize light pollution and potential outdoor lighting impacts on residents:
 - There is no up-lighting of the building;
 - Lighting is generally shrouded or oriented towards the ground (e.g., small step/wall lights at townhouse entrances and retail frontages);
 - Decorative lighting (e.g., catenary lighting over a small part of the residential amenity space, back-lighting of the wall feature near the affordable housing lobby, and tree lights) are used selectively to add visual interest and designed to minimize potential overspill;
 - No lights will be installed on residential balconies (but electrical receptacles will be provided for convenience); and

 Within the City park, through the Servicing Agreement review process, design development will be undertaken regarding proposed in-ground light bands to ensure they respect the City's dark skies objectives.

Crime Prevention through Environmental Design (CPTED)

Security and personal safety are enhanced through measures that support:

- 1) Casual surveillance by creating prominent residential and commercial lobby entrances and street-oriented retail frontages, clustering commercial parking on the parkade's first two floors with alternative means of access/egress for pedestrians, providing clear sightlines to exits and glazed vestibules within the parkade, and minimizing blind corners;
- 2) Territoriality through the use of landscape buffers and grade changes to help define the interface of public and private spaces; and
- 3) Target hardening with special security features at all residential, commercial, and parkade entrances and a gate/fence securing the landscaped setback (sewer easement) along a portion of the south property line.

Accessible Housing

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide the following:

- 1) Barrier-free access to all building lobbies and indoor and outdoor amenity spaces;
- 2) Aging in place features in all dwellings (e.g., stairwell hand rails, lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers); and
- 3) 129 Basic Universal Housing (BUH) units (i.e. 30% of total units) designed to satisfy all applicable Zoning Bylaw requirements, including 41 market strata units (i.e. 12% of market units) and 88 affordable housing units (i.e. 100% of LEMR units).

Sustainability Measures

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards. In brief, among other things the development will include:

- 1) Measures incorporated into the facade of the office building to increase visibility for birds and reduce bird strikes including visual markers applied to the glazing, an alternating pattern of spandrel and clear glazing (to interrupt reflectivity), dark coloured mullion caps, and no open vents (to minimize potential nesting);
- 2) BC Energy Step Code compliant building designs (i.e. Step 2, based on the developer's construction of a low carbon energy plant on-site to the satisfaction of the City);
- 3) District Energy Utility (DEU) compatible building and mechanical system designs to facilitate a future connection to a City utility and the transfer of an on-site low-carbon energy plant to Lulu Island Energy Company (LIEC), at the developer's cost;

- 4) A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building's energy related systems are operating efficiently and as designed;
- 5) Energized electric vehicle (EV) 240V charging equipment, including charging stations for 5% of commercial parking (14 spaces) and 100% of resident parking (307 market strata spaces and 60 affordable housing spaces);
- 6) Energized electric bicycle 120V charging outlets for Class 1 secure bike storage (one outlet for shared use by each 10 bikes) for residents and commercial tenants;
- 7) End-of-trip cycling facilities for commercial tenants;
- 8) Bicycle repair and maintenance stations (i.e. foot-activated pump and repair stand with integrated tools) for residents and commercial tenants;
- 9) Transit pass programs for commercial tenants and affordable housing (LEMR) tenants;
- 10) High efficiency plumbing and irrigation fixtures/systems to reduce water usage;
- 11) Drought tolerant green roof and other planting to reduce reliance on irrigation; and
- 12) Best practices to optimize air quality and provide a clean and healthy building for occupants.

Conclusions

The proposed development is consistent with Richmond's objectives for the subject site, as set out in the OCP, City Centre Area Plan, and Zoning Bylaw. The project's form, pedestrian-oriented streetscapes, affordable and accessible housing, public art, landscaping, and sustainable development measures, together with off-site improvements secured through rezoning, will contribute towards the establishment of Lansdowne Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Suzanne Carter-Huffman Senior Planner/Urban Design

(604-276-4228)

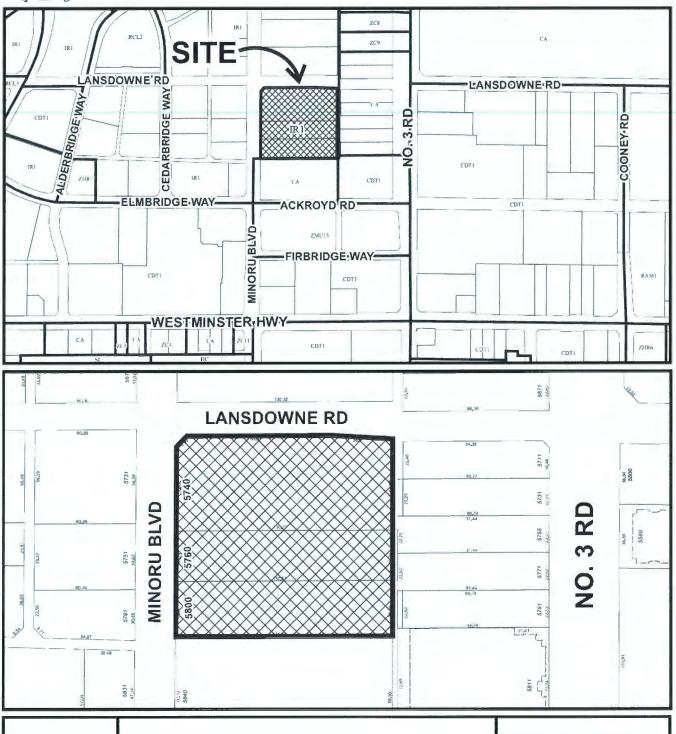
Attachments:

- 1. Location Map
- 2. Development Application Data Sheet

Enpanne Coxter-Huffman.

- 3. Letter from Non-Profit Housing Operator (S.U.C.C.E.S.S.)
- 4. Letter from Non-Profit Social Services Agency (C.M.W.A.C.)
- 5. Letter from Non-Profit Social Services Agency (R.S.C.L.)
- 6. Advisory Design Panel Meeting Minutes, November 4, 2020 (excerpt)
- 7. Development Permit Considerations







DP 19-881156

Original Date: 01/07/20

Revision Date:

Note: Dimensions are in METRES



Development Application Data Sheet Development Applications Department

DF 19-001130				
Applicant: N	Minoru View Homes Ltd.	Owner:	Minoru View Homes Ltd.	
Floor Area Gros	51 633 56 m² (555 779 00 ft²)	Floor Area Net	47 906 5 m² (515 661 5 ft²)	

	Existing		Proposed	
Site Area	• 15,604.2 m² (167,962.2 ft²)	 Density-Eligible Park: 8 Density-Eligible Road: Other Road: 569.9 m² 	 Road & Park Contributions: Density-Eligible Park: 859.2 m² (9,248.4 ft²) Density-Eligible Road: 1,210.3 m² (13,027.6 ft²) Other Road: 569.9 m² (6,134.4 ft²) Net Site: 12,964.8 m² (139,551.9 ft²) 	
Site for Density Calculations	• N/A	• 15,034.3 m ² (161,827.9 ft	2)	
Land Uses	Commercial, recreation & light industry		d commercial & multi-family re e affordable housing units)	esidential (including 88
OCP	Mixed Use	Mixed Use		
City Centre Area Plan (CCAP) Designation	Urban Centre T5 (35 m) (2 FAR) Pedestrian-Oriented Retail Precinct Proposed Streets	Village Centre Bonus (Park	As per the existing CCAP, PLUS: Village Centre Bonus (office only) (1.0 FAR) Park Pedestrian-Oriented Retail Precinct – High Street & Linkages	
Aircraft Noise Sensitive Development	Moderate Aircraft Noise (Area 3) – All aircraft noise sensitive development (ANSD) uses may be considered	As per OCP Policy: Registration of the City's standard restrictive ANSD covenant; preparation of an acoustic report; noise mitigation measures; & air conditioning capability (e.g., pre-ducted)		
Zoning	Industrial Retail (IR1)	Development site: "High I City-owned park site: "Sch	Density Mixed Use & Affordab nool & Institution Use (SI)"	e Rental Housing (ZMU46)"
		Housing Types	Studio + 1-BR	2-BR + 3-BR
Number of Units		Market Units (341)	4 + 152 = 156 (46%)	166 + 19 = 185 (54%)
& Unit Mix	• N/A	Affordable H. (88)	15 + 26 = 41 (47%)	41 + 6 = 47 (53%)
		• Total (429 Units) 19 + 178 = 197 (46%) 207 + 25 = 232 (54%)		207 + 25 = 232 (54%)
% Affordable Housing (AH)	• N/A	Habitable unit area: 20% of total residential floor area		
Basic Universal Housing	• N/A	30% of total units (129 units), including: 12% Market Units (41 units) 100% Affordable Housing Units (88 units)		
BC Energy Step Code & District Energy Utility	• N/A	District Energy Utility (DEU) ready On-site low-carbon energy plant transferred to the City (at the developer's cost) BC Energy Step 2		

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Floor Area Ratio (FAR)	Mixed use: 3.2 FAR max, including: Base (including 10% AH, 90% market housing & balance as retail): 2.0 FAR Additional AH bonus: 0.2 FAR Sub-Total: 2.2 FAR Village Centre Bonus (office only): 1.0 FAR Community amenity (non-profit social service/NPSS use only: 0.1 FAR max.	Mixed use: 3.186 FAR, including: Residential: 2.056 FAR a) Market housing: 1.582 FAR b) AH Housing Features: 0.474 FAR Retail: 0.144 FAR Sub-Total: 2.2 FAR Office (VCB): 0.986 FAR Community amenity (NPSS use only): 0.039 FAR, including both GLA & ancillary space NOTE: "AH Housing Features" includes both habitable unit area & ancillary space in the stand-alone rental building	None permitted

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Buildable Floor Area*	Mixed use: 48,109.8 m² (517,849.2 ft²) max., including: Base (including 10% AH, 90% market housing & balance as retail): 30,068.6 m² (323,655.7 ft²) Additional AH bonus: 3,006.9 m² (32,365.6 ft²) Sub-Total: 33,075.5 m² (356,021.3 ft²) Village Centre Bonus (office only): 15,034.3 m² (161,827.9 ft²) Community amenity (NPSS use only): 425.7 m² (4,582.2 ft²) min. GLA plus ancillary space	 Mixed use: 47,906.5 m² (515,661.5 ft²), including: Residential: 30,912.5 m² (332,739.5 ft²) a) Market: 23,785.7 m² (256,027.5 ft²) b) AH rental: 7,126.8 m² (76,712.0 ft²) Retail: 2,163.0 m² (23,281.8 ft²) Sub-Total: 33,075.5 m² (356,021.3 ft²) Office (VCB): 14,826.1 m² (159,587.0 ft²) Community amenity (NPSS only): 714.2 m² (7,688.0 ft²) including 462.4 m² (4,977.0 ft²)_ GLA & ancillary space (including Level 1 & 2 lobbies shared with AH tenants) NOTE: "AH rental" includes habitable unit area & ancillary space (except shared lobbies & indoor amenity space) 	None permitted
Lot Coverage	Buildings & landscaped roofs over parking: Max. 90%	• 90%	None
Setbacks	Front & Exterior Side Yards: Min. 6.0 m (19.7 ft.), but may be reduced to 3.0 m (9.8 ft.) with a proper interface, as per an approved Development Permit Interior Side Yards: Nil Parking below finished grade: Nil Balconies: Min. 2.0 m (6.6 ft.) Canopies: Nil if approved for weather protection	Front & Exterior Side Yards: 3.0 m (9.8 ft.) Interior Side Yard: Nil Parking below finished grade: Nil Balconies: 2.0 m (6.6 ft.) min., EXECEPT 1.5 m (4.9 ft.) min. above the 2 nd storey along parts of Minoru Boulevard & the new east street Canopies: Nil	Reduce balcony setback from 2.0 m to 1.5 m above 2 nd storey
Height	35 m (114.8 ft.) measured to finished grade, but this may be increased to 47 m GSC if a proper interface is provided with adjacent buildings/park, as specified in an approved Development Permit	• 47 m GSC max.	None
Parking – TOTAL	Total: 624 spaces (after 10% TDM reduction), including: Residents: 375 Non-residential: 247 Car-Share: 2	 Total: 624 spaces, including: Residents: 375, including 60 AH spaces & 8 Visitor Non-residential: 247, including 124 (50%) Public (hourly) Parking spaces & 23 NPSS spaces Car-Share: 2 	None
Class 1 Bike Storage (Secured)	 Total: 775 spaces, including - Non-Residential @ 0.27/100 m² GLA: 45 Residents @ 1.7/unit: 730 including: Market: 522 standard size & 58 over-size AH: 135 standard size & 15 over-size 	 Total: 775 spaces, including - Non-Residential: 45 Residents: 730 including: 580 Market strata (522 standard & 58 over-size) 150 AH (135 standard & 15 over-size) 	
Class 2 Bikes	Total: 154 min.	154 located outdoors around the perimeter of the site	None
Electric Vehicle (EV) Charging	 For motor vehicles: Energized 240V charging stations (may provide for loading sharing), including: 100% AH & Market Strata resident parking spaces (This excludes visitor parking.) 5% of non-residential parking For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per 10 or less bike spaces per room 	For motor vehicles: Market Strata parking spaces: 307 AH rental building parking spaces: 60 NPSS parking spaces: 12 Car-share parking spaces: 2 For Class 1 bike storage: At least - 58 for Market Strata bike storage 15 for AH rental building bike storage 5 for non-residential bike storage room	None
Loading	Medium truck spaces: 5 Waste pick-up: 1	Medium truck spaces: 5 Waste pick-up: 1	None
Residential Amenity Space – Indoor	 Total: Min. 877.0 m² (9,439.9 ft²), including: Market @ 2 m²/unit = 682.0 m² (7,341.0 ft²) AH @ 2 m²/unit: 176 m² (1,894.4 ft²) Rental Building NP Operator: 18.6 m² (200.0 ft²) for administration/programs 	 Total: 1,117.4 m² (12,028.0 ft²), including: Exclusive use: Market: 479.8 m² (5,164.0 ft²) AH rental building: 153.6.0 m² (1,654.0 ft²) Shared (AH & Market): 484.0 m² (5,210.0 ft²) 	None
Residential Amenity Space – Outdoor	 429 units @ 6.0 m²/unit: Min. 2,574.0 m² (27,706.3 ft²) including at least 600 m² (6,458.3 ft²) of children's play space 	 3,034.0 m² (32,657.7 ft²), including: Exclusive (AH only): 57.0 m² (613.5 ft²) Shared (Mkt/AH): 2,977.0 m² (32,044.2 ft²) including: 2,231.0 m² (24,014.3 ft²) of recreation space 746.0 m² (8,029.9 ft²) of children's play space 	None
CCAP Landscape Area	• Min. 10% of net site: 1,296.5 m² (13,955.4 ft²)	• 1,309.0 m² (14,090.0 ft²)	None
Extensive Green Roofs	Encouraged on low- and mid-rise rooftops that are not otherwise used for outdoor amenity space or other purposes (e.g., mechanical equipment)	1,151.0 m² (12,389.3 ft²) at Levels 4, 5, 6 & 10	None

Other: Tree replacement compensation is required for the removal of City trees within Lansdowne Road. (No on-site trees.)

^{*} Preliminary estimate (exclusive of parking garage). The exact building size shall be determined through Zoning Bylaw compliance review at Building Permit stage.



S.U.C.C.E.S.S. Affordable Housing Society

Dear Susan

I reviewed the latest DP design with Allan Lal on July 7, 2021 focusing on the section of the building containing the LEMR units. This is to confirm that the DP design is satisfactory to S.U.C.C.E.S.S.

Please let me know if you require any further information

Regards

Ahmed Omran

Acc

Director, Community Real Estate and Asset Management

July 7, 2021



Community Mental Wellness Association of Canada

加拿大社區情緒健康協會

#3105 - 8888 Odlin Crescent, Richmond, BC, V6X 3Z8 Tel: (604) 273-1791 Fax: (604) 332-0156

E-mail: info@cmwac.ca
CMWACanada

www.emwac.ca
@CMWAC

U CMWACanada

June 30, 2021

Allan Lal, Development Manager Thind Properties 700-4211 Kingsway, Burnaby, BC, V5H 1Z6

Dear Mr. Lal,

Thank you very much for your recent email with your request for a letter of confirmation. On behalf of the CMWAC, we will exercise the first right-of-refusal as a non-profit organization.

In addition, this is to advise that the building design meets the needs of CMWAC. We look forward to hearing from your further news regarding the development progress.

Warmest Regards,

Ahlay Chin, M.A., R.P.C., A.B.M.P.P Executive Director Community Mental Wellness Association of Canada Cc: Ching Colobong Jessica Yen



Seeing beyond disability...
... to ability

June 25, 2021

City of Richmond Planning and Development 6911 No. 3 Rd, Richmond BC V6Y 2C1

Attention: Suzanne Carter-Huffman, Senior Planner/Urban Designer

Re: Thind Development, 5740, 5760, 5800 Minoru Blvd. DP (#19-881156)

To Whom It May Concern:

I have reviewed the design plans for the Thind Development. The design plans will meet Richmond Society for Community Living's needs, with first right of refusal to relocate to the new development.

Sincerely,

Shannon Crofton Chief Executive Officer

Scroffen

Excerpt from the Minutes from the Advisory Design Panel

Wednesday, November 4, 2020 - 4:00 pm (Remote meeting)

1. DP 19-881156 – HIGH-RISE MIXED-USE DEVELOPMENT

ARCHITECT: IBI Group Architects

LANDSCAPE Durante Kreuk Ltd. (DKL)

ARCHITECT:

PROPERTY LOCATION: 5740, 5760 and 5800 Minoru Boulevard

Applicant's Presentation

Architect Gwyn Vose, IBI Group Architects, and Landscape Architect Stephen Vincent, Durante Kreuk Ltd., presented the project and together with Tony Wai and Mladen Pecanac, IBI, Dave Westley and Lu Tang, Thind Properties, and George Ghattas, SRC Engineering, answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the provision of 19 percent or 88 affordable housing units in the proposed development;
- support the location of all affordable housing units in a single stand-alone building as it will facilitate the management of the units by the non-profit operator;
- consider installing outward-opening doors for all accessible washrooms in the public and common areas;

The public washrooms are designed to meet accessibility design requirements.

• consider installing pocket or outward-opening doors for all washrooms, closets and powder rooms in all Basic Universal Housing (BUH) units;

Swinging the doors outwards would cause circulation flow issues for the outward space. The BUH washrooms are designed to meet accessibility design requirements.

- appreciate the accessibility of all shared amenities for tenants and visitors;
- consider making the garbage area accessible to allow tenants in wheelchairs to independently dispose of their garbage;

Design has been revised so that garbage areas are wheelchair accessible.

- appreciate the well designed, comprehensive, and inclusive mixed-use development;
- the project is well conceived and well thought out; appreciate the project's mixed uses which make it appear like a city within a city;
- the proposed treatment, particularly the colour, of the underside of balconies provides visual interest;
- support the planning and site layout of the project; appreciate the siting and design of the buildings which minimize the shadow impact on the linear park;
- appreciate the proposal package;

• concerned about how the proposed exterior building materials, e.g. window walls, would appear when the project is built; the model appears more realistic than the renderings; the applicant is encouraged to look at precedent projects and review the proposed building envelope materials to address potential durability and long-term maintenance concerns;

Window wall is still the primary material use. We will work with the window wall supplier closely to ensure that potential durability and long-term maintenance concerns are minimized.

• consider relocating the low-rise units located between Tower B and Tower C to the west (between Tower A and Tower B) in order to allow southern sun exposure to the central courtyard;

By doing so, it has minimal affect / improvements to the shadow impact to the courtyard. The current tower and podium height was set to have a gradual height descending expression from building C to A, which we felt was more important to keep intact.

• review the proposed location of the three adjacent fire exit doors that open onto the linear park's CRU frontage; consider other options for the location of the fire exits such as at the office tower entrance/exit;

The corridors and exit doors have been relocated.

• look at potential CPTED concerns regarding the south walkway, particularly for the townhouse unit at the southwest corner of Tower B; review the floor plans, e.g. location of the bedroom, to address/mitigate potential security and privacy concerns;

The south end of the project has been redesigned to eliminate or minimize any CPTED concerns including the redesign of the SW townhouse.

• concerned about the livability, e.g. lack of views and natural light exposure for the affordable housing unit beside the southern staircase on Level 4 to Level 8 of the affordable housing building as these units are enclosed by other units;

The inner corner units and adjacent units have been redesigned to allow for more light and views.

• review the accuracy of the labelling of exterior building materials on the south elevation drawing on page 79 of the proposal package; for example, the window wall with spandrel panel has been incorrectly labelled as "CW5" which is actually wood-look metal fin;

Corrected.

• some balconies on the residential towers are located in close proximity to each other; consider potential CPTED and privacy issues as these balconies could be accessed from adjacent balconies;

Privacy screens or walls have been added to eliminate or minimize potential CPTED and privacy issues.

- appreciate the applicant's comprehensive and detailed presentation;
- appreciate the subtlety and restrained material palette for the linear park and the use of the landform to create different public amenity spaces; however, consider installing weather protection structures to allow all yearround use of some public amenities/spaces and seating with backrest for seniors;
- the incorporation of stormwater management infrastructure in the development of the linear park is appreciated; consider making the stormwater management infrastructure more visible in order to make the linear park more park-like;

Acknowledged. The design of these elements will be refined through the Servicing Agreement process.

• the materials and programming of the shared outdoor amenity areas are appropriate; appreciate the provision of substantial greenery and planting; however, ensure that the growing medium is sufficient to establish and maintain the planting;

Calculations for soil volume show that we are achieving more than 15 cu. m. per tree. We agree this matter is important and will work to maximize the soil volumes.

- consider more variety to the planting palette for the extensive green roofs other than the proposed sedum mats to enhance biodiversity and sustainability;
 - We find that, over time, Sedum Mats tend to take on their own life with seeds from birds and other pioneering species. However, we will mound the soil in some locations to achieve enough depth for some native pollinators.
- consider different building envelope materials for each building to visually break down the massing;
 - We have used colour and different balcony and glazing configurations to breakdown the massing of the building.
- appreciate the proposal package which is easy to follow; however, the applicant could have provided additional diagrams to better explain the context, key design rationale, and overall design approach for the project;
- overall, the project is well thought out;
- appreciate the project's mixed uses; agree with Panel comment that the project appears like a small city;
- appreciate the animation along the project's street frontages as it would enhance the pedestrian experience;
 also appreciate the landscaping, in particular the use of the same pavers with different tones along the building frontages especially along the proposed linear park; the proposed paving treatment provides articulation and animation for the linear park;
- consider bringing the playfulness of the landscaping into the treatment of the residential building elevations which currently appear neutral; appreciate the introduction of colour under the balconies; however, consider further treatment to animate the residential building elevations, e.g. change in materials, to create playfulness;
 - We have used colour and different balcony and glazing configurations to breakdown the massing of the building.
- appreciate the applicant's presentation; the challenge for this type of project is to provide cohesion to the buildings so that they will look like a single development while still allowing for individual building expression;
- the project is a good addition to the city;
- appreciate the linear park; support the Panel comment regarding increasing the visibility of the stormwater management infrastructure;
 - Acknowledged. The design of these elements will be refined through the Servicing Agreement process.
- parkade walls are visible in building elevations/sections due to its height; look at how the landscaping interacts and intersects with the building architecture;
 - The parkade walls are only visible along the site's south side and part of the east frontage. The south side will only be visible on an interim basis (until the adjacent lot redevelops). This side of the proposed building is enhanced with a decorative paint treatment on the party wall and, where the building is setback, a landscape buffer. On the site's east side, the parkade wall is screened with a decorative wall treatment, canopy structure, trees, and planting.
- appreciate the proposed paving treatment along building frontages; however, the pavers appear chunky and the applicant should be mindful that the proposed type, size and thickness of the pavers are difficult to work with; also consider how the proposed on-site paving treatment transitions to off-site surface paving treatment;
 - Acknowledged. The detailed design of these elements will be refined in coordination with the Servicing Agreement to ensure a well-designed transition between on-site and off-site areas.
- like the separate but cohesive buildings with minimal material palette which are compatible with the natural character of Richmond (e.g. light coming from the sun and reflection from the river); appreciate the appearance of the buildings will change through the different seasons;

• consider a playful treatment to all pedestrian entries to the buildings that ties in with the landscaping of the project's three frontages and differentiates the entries; the large mural beside the affordable housing building and Tower C lobbies along the lane would be a good place to start;

The frontages at the tower entrances have been refined to incorporate more landscaping and complement the proposed façade treatments.

• support the Panel comment regarding adding variety to the planting on the extensive green roofs; consider an extensive green roof treatment that would enhance its ecological function;

See previous comments.

- appreciate that the shared outdoor amenity spaces on the landscaped podium could be accessed from separate doorways from each tower; like the flexibility and wide range of amenity spaces provided that could be used by different groups and ages;
- concerned about the small size of the proposed dog run on the podium level common outdoor amenity area; consider increasing its size to accommodate more dogs and provide more space for dogs to move around;

The size of the dog run has been increased from 2.5 m to 3.5 m in width and from 12 m to 14 m n length. Please note that the dog run is not intended as the primary place for owners to exercise their dogs, as that would require a large area and could have noise impacts on residents. Rather, the purpose of this dog run is to provide a convenience and offer residents the opportunity to bring their dogs with them when they visit the amenity area to socialize or for other activities. In light of this, the aim of the design was to provide a compact and functional design that could be attractively co-located with the children's play space, lawn, patio, and outdoor dining spaces.

- support Panel comments regarding the applicant's efforts to enhance the public experience in the project; appreciate the extra effort to incorporate public art in the project;
- appreciate the proposal package provided by the applicant and the presentation of the project; however, a section/page on sustainability is lacking; the size and importance of the project should have warranted a section/page on the sustainability aspect of the project to showcase the project's sustainability report, e.g. energy modeling results and preliminary results to demonstrate that the project is on track in terms of sustainability;

We will work with our consultants to ensure that this project meets the required sustainability standards.

• mechanical equipment, e.g. air source heat pumps, in mixed-use projects are usually concentrated in the affordable housing building/units as is the case of the subject development;

We have relocated this equipment to the top of Tower C. As it is one of the project's highest buildings, this location will minimize potential visual and noise impacts on nearby residents and office tenants.

• the noise generated by the mechanical units on the rooftop of the mid-rise affordable housing building could impact adjacent units in the office and residential towers as well as the affordable housing units below; consider conducting a noise sensitivity study on the noise impact of the mechanical units to the office and residential units with a view to eliminating/mitigating the noise impact;

The equipment has been relocated as noted above.

- appreciate the comprehensive package; the project is well presented;
- appreciate the design of the project which makes the complicated project look easy as there is a lot of
 complexity in the project, e.g. the integration of the affordable housing component with the office, retail and
 market residential components; the proposed linear park is also complicated;

• wondered about the appropriate representation or articulation of the architecture of the project; appreciate the applicant's efforts to articulate the ground plane and differentiate the street frontages which make the project stronger; the sameness of the residential towers makes them less successful;

We have added more colour and variations in glazing and balcony configurations to enhance the articulation of the building façades.

- the planning and massing of the project are successful; appreciate the spacing of the tower blocks and the differentiation of the office component from the residential component of the project;
- the restrained material and colour palette for the whole project may not be applicable to the three residential towers as their similar architectural treatment and slight differences in height make them look the same from the street; consider introducing slight differentiation for the three residential towers through variation in material, colour and/or detailing;

We have refined the design to enhance the articulation.

review the proposed location of the office tower lobby/entrance on the lane side at the northeast corner of the site; the proposed design of the public realm along the lane side may not be able to support the potential heavy pedestrian traffic of office workers and visitors as it lacks the design features of the more active Lansdowne Road frontage, e.g. planters for seating; consider moving the office entrance to the Lansdowne frontage to animate the park;

Working with City staff, we have decided to leave the office lobby in its original location on the basis that the proposed orientation is key to animating the new street along the site's east side and will have a negligible impact on the vitality of the site's Lansdowne frontage.

 support the Panel comment that the applicant should have included more information in the proposal package regarding the project's sustainability strategy/measures, including its proposed on-site low-carbon energy plant;

Acknowledged.

• the applicant should have included architectural renderings on the linear park frontage from the street perspective as the model lacks details;

Acknowledged.

- appreciate the landscaping for the common outdoor amenity spaces on the podium level as they are well
 designed urban spaces with nice dimensions and openings for sunlight and air to flow between the building
 forms above; would enhance the residents' experience and keep them engaged;
- consider applying the landscape design approach for the landscaped podium on Level 3, e.g. minimal concrete
 planter walls, to the linear park along the north edge of the subject site; the proposed traditional planters on the
 linear park would be suitable for seating but could block access to the retail frontage and the animation of the
 base of the building; and

Acknowledged. The design of these elements will be refined through the Servicing Agreement process.

• the proposed landscape features/structures for artworks and activities at the northeast and northwest corners of the subject site need further design development as they currently appear incongruous with the rest of the project.

Acknowledged. The design of these elements will be refined through the Servicing Agreement process.

Panel Decision

It was moved and seconded

That DP 19-881156 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

ATTACHMENT 7

File No.: <u>DP 19-881156</u>



Development Permit Considerations
Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 5740, 5760, and 5800 Minoru Boulevard

Prior to approval of the Development Permit, the developer is required to complete the following:

- 1. OCP Amendment: Final adoption of Bylaw 10136 and Bylaw 10137.
- 2. Zoning Amendment: Final adoption of Bylaw 10138.
- 3. <u>Revised Development Requirements</u>: Completion, to the City's satisfaction, of the terms of the Rezoning Considerations approved by Council with respect to RZ 18-807640, which terms shall be amended to accurately reflect the Development Permit design, as determined to the City's satisfaction, with respect to the following:
 - 3.1. (RZC 3.4) Statutory Right-of-Way (SRW) City-Owned Park Enhancement Area: Revise the terms to:
 - a) Permit encroachments (permanent and temporary) in the "linear park expansion" area on the same terms as the "plaza expansion" area, provided that an uninterrupted, universally accessible route is provided for public use at all times, measuring at least 2.0 m (6 ft. 6 in.) wide (between the north boundary of the SRW area and the building face) and extending the full length (east-to-west) of the SRW area;
 - b) Permit permanent encroachments in the form of landscape features and furnishings approved through the Development Permit and Servicing Agreement*; and
 - c) Permit temporary encroachments in the form of outdoor dining areas for the exclusive use of specific fronting commercial units or temporary food vendors, provided that it is not contained within a permanent or temporary structure, with the exception of retractable weather protection (e.g., patio umbrellas).
 - 3.2. (RZC 12.1) Affordable Rental Housing Building: Revise the terms of the Housing Covenant to reflect accurately the Development Permit design, without reducing the developer's commitment to the total floor area or number of units, as generally shown in Table 1 and Table 2 below, as determined to the satisfaction of the Director, Community Social Development and Director, Development.

TABLE 1

Calculation of Minimum Residential Area	Estimated Minimum Area @ RZ Stage	Proposed Minimum Floor Area
A. MIN. RESIDENTIAL SPACE	6,430.5 m ² (69,217.0 ft ²)	7,126.8 m² (76,712.0 ft²)
 Habitable Unit Area (10% of max. permitted ZMU46 "base" residential floor area) 	2,774.1 m ² (29,860.3 ft ²)	2,790.6 m ² (30,037.4 ft ²)
 ZMU46 affordable housing bonus comprising habitable unit area and ancillary space 	3,006.9 m ² (32,365.6 ft ²)	3,006.9 m ² (32,365.6 ft ²)
Additional ancillary space	649.5 m ² (6,991.1 ft ²)	1,329.3 m ² (14,309.0 ft ²)

TABLE 2

Building Features	Estimated Minimum Area @ RZ Stage	Proposed Minimum Floor Area
A. MIN. RESIDENTIAL SPACE	6,430.5 m ² (69,217.0 ft ²)	7,126.8 m ² (76,712.0 ft ²)
Min. Combined Total Habitable Unit Area	Not specified	6,166.0 m ² (66,370.0 ft ²)
Min. Residential Ancillary Space	Not specified	960.8 m ² (10,342.0 ft ²)

Building Features	Estimated Minimum Area @ RZ Stage	Proposed Minimum Floor Area
B. MIN. EXCLUSIVE INDOOR AMENITY SPACE	110.9 m² (1,194.0 ft²)	153.6 m² (1,654.0 ft²)
C. MIN. TOTAL AFFORDABLE HOUSING FEATURES	6,541.4 m ² (70,411.0 ft ²)	7,280.4 m² (78,366.0 ft²)
Min. Number of Units	88	88
Unit Mix	Studio/1-BR: 47% (41 units) 2-BR/3-BR: 53% (47 units)	Studio/1-BR: 47%(41 units) 2-BR/3-BR: 53% (47 units)

NOTE:

- Floor areas exclude standard Zoning Bylaw exemptions
- Habitable Unit Floor Area shall be measured to the outside face of any exterior walls and the mid-point of any demising walls separating a unit from another unit or space/use (e.g., corridors), as per City standards.
- Min. Combined Total Habitable Unit Area shall include at least 10% of the development's "base" residential density, together with part of the ZMU46 affordable housing bonus and/or additional "base" residential density as needed to satisfy City policy regarding the Habitable Unit Areas, Unit Mix, and Basic Universal Housing (BUH) requirements for the 88 affordable low-end-of-market-rental (LEMR) units.
- For the purpose of the Min. Total Combined Habitable Unit Area calculation, the ZMU46 "base" residential density shall be 2 FAR less the estimated retail floor area at Level 1 = 27,905.6 m² (300,373.9 ft².)
- The affordable housing unit residents/operator and non-profit social service space (NPSS) tenants shall have unrestricted shared use of the Level 1 and 2 lobbies. For density calculation purposes, the Level 1 and 2 lobbies are "community amenity space" (i.e. not residential) and, thus, the tables EXCLUDE the Level 1 and 2 lobbies from the floor areas indicated for A. Min. Residential Space and C. Min. Total Affordable Housing Features. FOR CLARITY, while the Level 1 and 2 lobbies are excluded from the tables, the developer shall design and construct both lobbies to a turnkey level of finish (at the developer's sole cost) and secure them for shared affordable housing/NPSS use, to the satisfaction of the Director, Community Social Development and Director, Development.
- Min. Residential Ancillary Space generally comprises those walls not included in Habitable Unit Area and circulation, EXCLUDING the Level 1 and 2 lobbies.
- Min. Exclusive Indoor Amenity Space means the indoor amenity space located within the affordable rental building for the exclusive use of the affordable housing unit residents/operator, including 18.6 m² (200.0 ft²) for the non-profit housing operator administration and program purposes.
- Min. Number of Units is secured through Residential Rental Tenure Zoning, as specified in the ZMU46 zone.
- 100% of affordable housing units shall comply with the City's Basic Universal Housing (BUH) standards.
- 4. <u>Development Holds</u>: Completion, to the City's satisfaction, of the terms of all restrictions on Development Permit issuance specified in legal agreements registered on title to the lands with respect to RZ 18-807640, which (in addition to providing required features in the DP design) shall include, but may not be limited to the following:
 - 4.1. Statutory Right-of-Way (SRW) with respect to:
 - a) (RZC 11.6) Car-Share Measures: Registration of a SRW on title to the lands, together with applicable access easement and/or other legal agreements, to secure the car-share parking facilities and their required operation, as determined to the satisfaction of the Direction of Transportation.
 - 4.2. Report from an accredited/registered professional with respect to:
 - a) (RZC 5) Aircraft Noise: Confirmation from an acoustic professional that the building design complies with all OCP aircraft noise requirements. (Submitted December 18, 2019, REDMS #6704267)
 - 4.3. Letters of confirmation from accredited/registered professionals and others, as applicable, with respect to:
 - a) (RZC 1) Building Height: Confirmation from the surveyor that the building height complies with Transport Canada regulations. (Submitted June 21, 2021, REDMS #6704265)
 - b) (RZC 6) Flood Construction: Confirmation from the architect that the building design complies with Richmond's Flood Construction Bylaw ("Area A"). (Submitted June 25, 2021, REDMS #6703555)

- c) (RZC 7) View and Other Development Impact: Confirmation from the architect that the building design complies with the report prepared by the architect and attached to the View and Other Development covenant prior to adoption of the rezoning bylaw. (Submitted June 25, 2021, REDMS #6703555)
- d) (RZC 12.1) Affordable Rental Housing Building: Confirmation from the non-profit housing operator that:
 - i. The Memorandum of Understanding (MOU) with the developer, signed June 11, 2020, a copy of which was submitted to the City through the rezoning, remains in effect; and
 - ii. The building design, parking, residential indoor and outdoor amenity spaces, and related features shown in the Development Permit drawings with respect to the Affordable Rental Housing Building and its future occupants are satisfactory. (Submitted July 7, 2021, REDMS #6708910)
- e) (RZC 13) Non-Profit Social Service Agency Accommodation Measures: Confirmation from the two non-profit social service agencies previously located on the lands that that the building design will meet their needs should one or both choose to exercise their first-right-of-refusal to relocate to the development's required on-site Replacement Space. (Submitted June 25 & 30, 2021, REDMS #6703689 & #6705714)
- 4.4. Letter of credit with respect to:
 - a) (RZC 11.6) Car-Share Measures: Submission of a Letter of Credit (\$50,000) to the City to secure the developer's commitment to provide two car-share vehicles, based on \$25,000 per car.
- 5. <u>Residential Amenity Space</u>: Registration on title of a restrictive covenant or alternative legal agreement, to the satisfaction of the City, specifying the amount and distribution of common indoor and outdoor amenity space and securing use of the amenity spaces for occupants of the market dwellings and occupants on the Affordable Rental Housing Building as set out in the Development Permit. More specifically:
 - 5.1. Common outdoor residential amenity space provided to satisfy OCP and CCAP DP Guidelines and the rezoning shall:
 - a) Based on a maximum of 429 dwellings, have a minimum combined total area of 2,574.0 m² (27,706.3 ft²) or as approved through the Development Permit, whichever is greater, and include at least 600.0 m² (6,458.3 ft²) of children's play space; and
 - b) Be designated for use by the residents of the Affordable Rental Housing Building (AH) and market strata units (MS) as indicated in the following table, unless otherwise approved by the Director of Development and Director of Community Social Development:

Users	Location	Outdoor Amenity Description	Proposed Area
AH only	AH Building (L9)	Landscaped patio	57.0 m² (613.5 ft²)
AH & MS shared	Podium roof south & centre (L3)	Landscaped patios, decorative gardens, lawns, children's play spaces and gardening plots with related facilities.	2,977.0 m ² (32,044.2 ft ²), including at least 746.0 m ² (8,029.9 ft ²) of children's play space
TOTAL			3,034.0 m ² (32,657.7 ft ²)

- 5.2. Common indoor residential amenity space provided to satisfy OCP and CCAP DP Guidelines and the rezoning shall:
 - a) Based on a maximum of 429 dwellings, have a minimum combined total area of 876.6 m² (9,435.4 ft²) comprising at least:
 - i. 858.0 m² (9,235.4 ft²) of indoor recreation space, based on a minimum of 2.0 m² per unit:
 - ii. 18.6 m² (200.0 ft²) of space for the use of the non-profit affordable housing operator; and

b) Be designated for the use of the residents of the Affordable Rental Housing Building (AH) and market strata units (MS) as indicated in the following table, unless otherwise approved by the Director of Development and Director of Community Social Development.

Users	Location	Indoor Amenity Description	Minimum Area	Proposed Area		
AH & MS shared	Office tower (L3)	Fitness	464.5 m ² (5,000.0 ft ²)	484.0 (5,210.		
AH only	AH Building (L3)	Lounge, multi-purposes rooms, kitchenette, and space for the non- profit housing operator	110.9 m ²	144.3 m ² (1,554.0 ft ²)	153.6 m ² - (1,654.0 ft ²)	
AH only	AH Building (L1)	Housing operator's office	(1,194.0 ft ²)	9.3 m ² (100.0 ft ²)		
MS only	L3	Lounge and tea house	N/A	391.7 m² (4,216.0 ft²)	479.8 m ²	
MS only	L4	Workshop	IN/A	88.1 m ² (948.0 ft ²)	(5,164.0 ft ²)	
TOTAL			876.6 m ² (9,435.4 ft ²)	1,117. (12,028		

- 5.3. The owners and occupants of the market residential units and owner, operator, and occupants of the Affordable Rental Housing Building may permit non-residential tenants on the lands (e.g., workers in the office building) to have shared use of indoor residential amenity space on the lands, provided that:
 - a) Non-residential use of outdoor residential amenity space shall be prohibited;
 - b) Non-residential use of indoor residential amenity space shall be limited to the indoor facilities located at Level 3 of the office tower and must be managed to ensure that it does not compromise the use or enjoyment of those indoor facilities by residents, as determined to the satisfaction of both the market strata residents and affordable housing occupants; and
 - c) Any related costs (e.g., increased maintenance or security) are not passed on to the owner, operator, or occupants of the Affordable Rental Housing Building.
- 5.4. No Building Permit* shall be issued for a building on the lands, in whole or in part (excluding parking intended to be ancillary to a non-parking use on the lands) unless:
 - a) The detailed design of the residential amenity spaces, including features and related requirements necessary for possible future non-residential shared use of the indoor facility within the office building, is satisfactory to the Director of Development and Director, Community and Social Development; and
 - b) The architect submits a letter of confirming that the design of the amenity spaces and features satisfies all applicable City requirements.
- 6. <u>Electric Vehicle (EV) Charging Equipment for Vehicles and "Class 1" Bike Storage:</u> Registration on title of a restrictive covenant or alternative legal agreement, to the satisfaction of the City, to clarify requirements regarding EV charging facilities specified through RZ 18-807640 and contained within the Development Permit. More specifically, the agreement shall require that:
 - 6.1. 100% of resident parking (i.e. designated for the use of occupants of the market units and Affordable Rental Housing Building) shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher); and

- 6.2. 5% of non-residential parking, based on the total number of commercial parking spaces approved through the Development Permit plus the two (2) required car-share parking spaces shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher) and shall include:
 - a) At least 12 of the 23 parking spaces designated for the exclusive use of the non-profit social service agency "Replacement Space" tenants and their guests (as per the terms of RZC 13, Schedule D), including at least one accessible space or van-accessible space and no more that 50% small car spaces (as defined by the Zoning Bylaw); and
 - b) Two car-share parking spaces (as per the terms of RZC 11.6 "Car-Share Measures").
- 6.3. The electrical circuits serving the:
 - a) Market residential parking spaces must serve only those parking spaces;
 - b) Affordable Rental Housing Building parking spaces must serve only those parking spaces;
 - c) Non-profit social service agency parking spaces must serve only those parking spaces; and
 - d) Car-share parking spaces must serve only those parking spaces.
- 6.4. For the car-share parking spaces, as determined at the developer/owner's discretion, the required service shall be provided by either:
 - a) dedicating one 40A 208V circuit to each individual parking space, such that upon first occupancy of the building, in whole or in part (as provided for by RZC 17 "Occupancy Staging Agreement"), both of the required EV-equipped parking spaces are equipped with an energized outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); or
 - b) servicing the 2 car-share parking spaces with a single 40A 208-240V circuit by, prior to first occupancy of the building, in whole or in part (as provided for by RZC 17 "Occupancy Staging Agreement"), providing each parking space with an energized outlet with a smart EV Charger connected to a load-sharing system capable of delivering at least 24 kWh of charging to each vehicle within an 8 hour period when both parking spaces are occupied by charging vehicles (e.g. 2-way load share of a 40A 208-240V circuit).
- 6.5. For resident parking (for the occupants of market units and Affordable Rental Housing Building units) and non-profit social service agency parking (for tenants of the "Replacement Space" and their guests), as determined at the developer's discretion, the required service may be provided by either:
 - a) Dedicating one 208V circuit to each individual parking space, such that upon first occupancy of the building, in whole or in part (as provided for by RZC 17 "Occupancy Staging Agreement"), all of the required EV-equipped parking spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); or
 - b) Servicing multiple parking spaces with each 40A 208-240V circuit, such that:
 - i. The building design supports the future installation by others (e.g., residential and/or non-residential owners) of a load sharing system capable of delivering at least 12 kWh of charging to every car within an 8 hour period when every parking space is occupied by a charging car (e.g. 4-way load share of a 40A 208-240V circuit); and
 - ii. Upon first occupancy of the building, in whole or in part (as provided for by RZC 17 "Occupancy Staging Agreement"), prior to the installation of a load sharing system:
 - at least 25% of resident parking spaces (including a proportional share of required market resident parking and Affordable Rental Housing Building parking) and at least 25% of the required EV-equipped non-profit social service agency parking spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); and
 - the remaining required EV-equipped resident and non-profit social service agency parking spaces each have an outlet box containing capped energized wires covered with a cover plate.

- 7. <u>Loading</u>: Registration on title of a restrictive covenant or alternative legal agreement, to the satisfaction of the City, specifying the amount, distribution, operation, and shared use of loading facilities, including those required for waste pick-up, as set out in the rezoning and Development Permit, to the satisfaction of the Director of Transportation. This shall include, but will not be limited to, shared use of the development's loading and waste management facilities by the occupants and operator of the affordable housing units and the owner and tenants of the replacement non-profit social services space to the satisfaction of the Director, Community Social Development. (All on-street waste management operations shall be prohibited.) Specifics of the loading requirements shall include, but shall not be limited to:
 - 7.1. The owner's construction and maintenance of six (6) medium truck loading spaces, including:
 - a) Five (5) standard loading spaces that comply with Zoning Bylaw requirements; and
 - b) One (1) over-sized loading space, with increased width and a minimum clear ceiling height of 7.5 m (24.6 ft.), for exclusive use for waste vehicle pick-up and related waste management activities;
 - 7.2. Shared use of the waste vehicle pick-up space by all on-site uses, including the occupants and operator of the affordable housing units and the tenants of the replacement non-profit social services space;
 - 7.3. Shared use of the five (5) standard loading spaces as follows, unless otherwise determined to the satisfaction of the Director of Transportation:
 - a) Two (2) contiguous spaces shall be designated for shared non-residential use only, including the owners, operators, employees, and tenants of the office, retail, restaurant, and other commercial spaces/uses on the site (excluding any home-based business conducted by a resident in a dwelling) and the owner and tenants of the replacement non-profit social services space; and
 - b) Three (3) contiguous spaces shall be designated for shared residential use only, including the owners, operators, and tenants of the market strata units and affordable housing units.
- 8. <u>Development Permit Landscape Security</u>: Enter into a legal agreement and submit a Letter of Credit (\$1,656,611.00) for landscaping, based on a signed/sealed cost estimate provided by a CSLA registered landscape architect (including 10% contingency), excluding landscape works that are subject to a Servicing Agreement* (i.e. off-site works and works within the City-Owned Park Enhancement Area SRW).

Prior to Building Permit* issuance, the developer must complete the following requirements:

- 1. Existing Legal Agreements: Completion, to the City's satisfaction, of the terms of all applicable legal agreements registered on title to the lands prior to rezoning and/or Development Permit issuance. This may include the discharge of existing agreements and the registration of modifications, replacements, and/or new legal agreement, as determined by the City, and may require the developer's submission of security (Letters of Credit), cash payments, reports or letters of assurance, or other items, as applicable.
- Construction Parking and Traffic Management Plan: Submission of a Plan to the Transportation Department. The
 Plan shall include locations for parking for services, deliveries, and workers, loading, applications for any lane
 closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry
 of Transportation) and MMCD Traffic Regulation Section 01570.
- 3. <u>Accessibility</u>: Incorporation of accessibility measures in Building Permit* plans as determined via the Development Permit.
- 4. <u>BC Energy Step Code & District Energy Utility (DEU)</u>: Incorporation of measures in Building Permit* plans, as determined to the City's satisfaction, to:
 - 4.1. Facilitate the future connection of the lands to a City DEU system; and
 - 4.2. Provide for the development, which shall include a low carbon energy plan, to achieve Step 2.

5. <u>Construction Hoarding</u>: Obtain a Building Permit* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. For additional information, contact the Building Approvals Department at 604-276-4285.

NOTE:

- Items marked with an asterisk (*) require separate applications.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
 - All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
 - The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement*(s) and/or Building Permit*(s) to the
 satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation,
 de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in
 settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory
 Birds Convention Act, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits
 does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or
 vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that
 development activities comply with all relevant legislation.

SIGNED COPY ON FILE	
Signed	Date



Development Permit

No. DP 19-881156

To the Holder: Minoru View Homes Ltd.

Property Address: 5740, 5760, and 5800 Minoru Boulevard

Address: #700 – 4211 Kingsway, Burnaby, BC V5H 1Z6

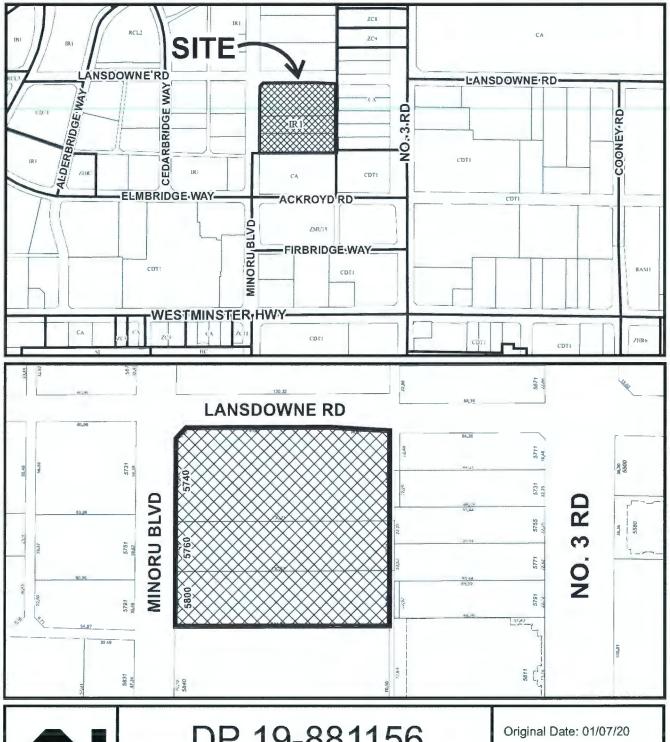
1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.

- 2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
- 3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - Reduce the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable housing building.
- 4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1a to #11 attached hereto.
- 5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
- 6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,656,611.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
- 7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit No. DP 19-881156

To the Holder:	Minoru View Homes Ltd.			
Property Address:	5740, 5760, and 5800 Minoru Boulevard			
Address:	#700 – 4211 Kingsway, Burnaby, BC V5H 1Z6			
	•			
AUTHORIZING RESOLUTEDAY OF ,	ION NO. ISSUED BY THE COUNCIL THE			
DELIVERED THIS D	AY OF , .			
MAYOR				







DP 19-881156 SCHEDULE "A"

Revision Date:

Note: Dimensions are in METRES

DP 19-881156 5740, 5760, and 5800 Minoru Boulevard

Applicant: Minoru View Homes Ltd. Minoru View Homes Ltd.

Floor Area Gross: 51,633.56 m² (555,779.00 ft²) 47,906.5 m² (515,661.5 ft²) Floor Area Net:

	Existing		Proposed		
Site Area	• 15,604.2 m² (167,962.2 ft²)	 Road & Park Contribution Density-Eligible Park: 8 Density-Eligible Road: Other Road: 569.9 m² Net Site: 12,964.8 m² (139) 	359.2 m ² (9,248.4 ft ²) 1,210.3 m ² (13,027.6 ft ²) (6,134.4 ft ²)		
Site for Density Calculations	• N/A	• 15,034.3 m² (161,827.9 ft	²)		
Land Uses	Commercial, recreation & light industry		d commercial & multi-family re e affordable housing units)	esidential (including 88	
ОСР	Mixed Use	Mixed Use			
City Centre Area Plan (CCAP) Designation	Urban Centre T5 (35 m) (2 FAR) Pedestrian-Oriented Retail Precinct Proposed Streets	As per the existing CCAP, PLUS: Village Centre Bonus (office only) (1.0 FAR) Park Pedestrian-Oriented Retail Precinct – High Street & Linkages			
Aircraft Noise Sensitive Development	Moderate Aircraft Noise (Area 3) – All aircraft noise sensitive development (ANSD) uses may be considered	As per OCP Policy: Registration of the City's standard restrictive ANSD covenant; preparation of an acoustic report; noise mitigation measures; & air conditioning capability (e.g., pre-ducted)			
Zoning	Industrial Retail (IR1)	Development site: "High E City-owned park site: "Sch	Density Mixed Use & Affordab nool & Institution Use (SI)"	le Rental Housing (ZMU46)"	
		Housing Types	Studio + 1-BR	2-BR + 3-BR	
Number of Units &	• N/A	Market Units (341)	4 + 152 = 156 (46%)	166 + 19 = 185 (54%)	
Unit Mix	• N/A	Affordable H. (88)	15 + 26 = 41 (47%)	41 + 6 = 47 (53%)	
		Total (429 Units)	19 + 178 = 197 (46%)	207 + 25 = 232 (54%)	
% Affordable Housing (AH)	• N/A	AH Habitable unit area: 20% of total residential AH Residential Area (habitable units + ancillary): 23% of total residential			
Basic Universal Housing	• N/A	30% of total units (129 un 12% Market Units (41) 100% Affordable Hous	units)		
BC Energy Step Code & District Energy Utility	• N/A	District Energy Utility (DE On-site low-carbon energy BC Energy Step 2	U) ready y plant transferred to the City	(at the developer's cost)	

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Floor Area Ratio (FAR)	Mixed use: 3.2 FAR max, including: Base (including 10% AH, 90% market housing & balance as retail): 2.0 FAR Additional AH bonus: 0.2 FAR Sub-Total: 2.2 FAR Village Centre Bonus (office only): 1.0 FAR Community amenity (non-profit social service/NPSS use only: 0.1 FAR max.	Mixed use: 3.186 FAR, including: Residential: 2.056 FAR a) Market housing: 1.582 FAR b) AH Housing Features: 0.474 FAR Retail: 0.144 FAR Sub-Total: 2.2 FAR Office (VCB): 0.986 FAR Community amenity (NPSS use only): 0.039 FAR, including both GLA & ancillary space NOTE: "AH Housing Features" includes both habitable unit area & ancillary space in the stand-alone rental building	None permitted
Buildable Floor Area*	 Mixed use: 48,109.8 m² (517,849.2 ft²) max., including: Base (including 10% AH, 90% market housing & balance as retail): 30,068.6 m² (323,655.7 ft²) Additional AH bonus: 3,006.9 m² (32,365.6 ft²) Sub-Total: 33,075.5 m² (356,021.3 ft²) Village Centre Bonus (office only): 15,034.3 m² (161,827.9 ft²) Community amenity (NPSS use only): 425.7 m² (4,582.2 ft²) min. GLA plus ancillary space 	 Mixed use: 47,906.5 m² (515,661.5 ft²), including: Residential: 30,912.5 m² (332,739.5 ft²) a) Market: 23,785.7 m² (256,027.5 ft²) b) AH rental: 7,126.8 m² (76,712.0 ft²) Retail: 2,163.0 m² (23,281.8 ft²) Sub-Total: 33,075.5 m² (356,021.3 ft²) Office (VCB): 14,826.1 m² (159,587.0 ft²) Community amenity (NPSS only): 714.2 m² (7,688.0 ft²) including 462.3 m² (4,977.0 ft²) GLA & ancillary space (including Level 1 & 2 lobbies shared with AH tenants) NOTE: "AH rental" includes habitable unit area & ancillary space (except shared lobbies & indoor amenity space) 	None permitted



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5740, 5760, 5800 Minoru Blvd., Richmond

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021

11. PLAN #11

DP 19-881156

August 11, 2021 PLAN #1a

CITY OF RICHMOND NOTES (DP 19-881156):

VARIANCES: The development reduces the minimum balcony setback from 2.0 m to 1.5 m above the second storey along the Minoru Boulevard frontage of the southwest residential tower and the east street frontage of the affordable rental building. Variances are shown on Plan #2 Site Plan and applicable floor plans, building sections, and landscape plans.

Statutory Rights-of-Ways: Prior to rezoning adoption and/or Development Permit issuance, as applicable, right-of-ways for public access and utilities will be registered on title. These areas comprise part of the net developable site for Development Permit and Building Permit FAR calculation purposes and are shown on Plan #2 Site Plan and the applicable floor plans and landscape plans.

Energy/Sustainability: BC Energy Step #2 (requires a low-carbon energy plant to be constructed on-site)

District Energy Utility (DEU): Legal agreement registered on title. DEU-ready design required.

Maximum Number of Dwellings: 429 (88 affordable units + 341 market strata units)

DR.	AWINGS ORGANIZ	ED AS FOLLOWS:
1. 2.	PLAN #1 PLAN #2	Statistics Site Plan – This section includes: Variance & SRWs (public access & utilities) on Site Plan Subdivision Plan with SRWs (NOTE: Existing sanitary sewer SRW along the subject site's south PL serves the neighbour & must remain in place.) Aerial photograph (REFERENCE PLAN) Shading studies (REFERENCE PLAN)
3.	PLAN #3	Floor Plans • Flood Construction covenant is registered on title to the site
4.	PLAN #4	Landscape REFERENCE PLANS included for the linear park & adjacent SRW (Subject to the SA)
5. 6. 7. 8. 9.	PLAN #5 PLAN #6 PLAN #7 PLAN #8 PLAN #9	Building Sections Building Elevations Materials Streetscape Details (3D views) Occupancy Staging Diagrams
10.	PLAN #10 a) PLAN #10a	Development Details Affordable Rental Building, including: 88 low-end-of-market-rental units in a stand-alone building (Housing Agreement registered on title) to be built to a turnkey level of finish 2 non-profit social service (NPSS) spaces (legal agreement on title) to be built to a shell level of finish + turnkey level for lobby/circulation
	b) PLAN #10b	Basic Universal Housing (BUH) & Aging in Place Summary 129 BUH units = 88 Affordable Housing & 41 market units) All other units include aging in place features
	c) PLAN #10c d) PLAN #10d e) PLAN #10e	Outdoor Amenity Space Summary Indoor Amenity Space Summary Parking & EV Charging Summary • There are special parking requirements for Public (short-term) Parking, NPSS space parking, Affordable Housing parking, and residential visitor parking, all of which are secured with legal agreements • 2 parking spaces for car-share vehicles must be located o the ground floor
	f) PLAN #10f	 EV charging requirements are described & shown on the plan (i.e. all resident parking spaces, 12 NPSS spaces, and the 2 car-share spaces) Non-Residential Class 1 Bike Storage & End-of-Trip Facilities End-of-trip cycling facilities & bike maintenance/repair facilities (including a bike wash) are provided for non-residential tenants Energized 120V duplex outlets provided (at least 1 for each 10 bikes in each Class 1 bike room)
	g) PLAN #10g	Residential Class 1 Bike Storage & Bike Maintenance Facilities Bike maintenance/repair facilities (including a bike wash) are provided for residential tenants Energized 120V duplex outlets provided (at least 1 for each 10 bikes in each Class 1 bike room)
	h) PLAN #10h	Class 2 Bike Storage All Class 2 bike storage is provide in the form of racks outside the building
44	i) PLAN #10i j) PLAN #10j k) PLAN #10k	Loading Summary Waste Management Summary Fire Response Summary

Signage Concept (REFERENCE PLAN)

	ZMU46 Bylaw / Rezoning Requirements		Propose	d	Variance
Affordable Rental Building	Affordable Housing Features: 6,541.4 m² (69,327.9 ft²) min. including residential uses and indoor amenity space (AH use only): NPSS Space Features: Area to be determined based on at least 425.7 m² (4,582.2 ft²) GLA min. plus ancillary space (e.g., Level 1 & 2 lobbies shared with LEMR residents)	Afford (include NPSS)	7,994.6 m² (86,054.0 ft²), lable Housing Features: 7 display indoor amenity for ex Space Features: 714.2 l reas exclude typical Zoni	7,280.4 m² (78,366.0 ft²) colusive AH resident use) m² (7,688.0 ft²)	None permitted
	NOTE: Areas exclude typical Zoning Bylaw exemptions. NOTE: Additional indoor residential amenity space is required for shared use with market strata residents.		dditional indoor residenti for shared use with mark		
Affordable Rental Building – Affordable Housing Features	Residential: 6,430.5 m² (69,217.0 ft²) minimum estimate at RZ stage, including: - 88 LEMR units with a combined habitable unit area that includes: a) At least 10% of "base" residential density b) Some or all of the AH bonus: 3,006.9 m² (32,365.6 ft²) - Ancillary space (e.g., corridors) comprising "base" residential density and/or AH bonus Indoor Amenity (AH use only): 110.9 m² (1,194.0 ft²) minimum estimate at RZ stage, including: - AH occupant use: 92.3 m² (994.0 ft²) - AH operator use: 18.6 m² (200.0 ft²) min.	• Resid - AH - AH • Indoo includ - AH	7,280.4 m ² (78,366.0 ft ²) ential: 7,126.8 m ² (76,71: I Habitable unit area: 6,7: I Ancillary space: 960.8 n r Amenity (AH use only): ing: I occupant use: 135.0 m ² I operator use: 18.6 m ² (2	2.0 ft²) including: 36.0 m² (66,370.0 ft²) n² (10,342.0 ft²) 153.6 m² (1,654.0 ft²), (1,454.0 ft²)	None permitted
Affordable Rental Building – NPSS Space Features	Total area to be determined based on: Tenant units: 425.7 m² (4,582.2 ft²) GLA min. Ancillary (e.g., Level 1 & 2 lobbies shared with LEMR residents)	Tenar Ancilla	714.2 m² (7,688.0 ft²) incl nt units: 462.3 m² (4,977.4 ary (e.g., Level 1 & 2 lobt ents): 251.9 m² (2,711.0 ft	Oft ²) GLA bies shared with LEMR	None permitted
Lot Coverage	Buildings & landscaped roofs over parking: Max. 90%	• 90%	• 90%		
Setbacks	Front & Exterior Side Yards: Min. 6.0 m (19.7 ft.), but may be reduced to 3.0 m (9.8 ft.) with a proper interface, as specified in an approved Development Permit Interior Side Yards: Nil Parking below finished grade: Nil Features within required street setbacks (measured to a property line): Balconies: Min. 2.0 m (6.6 ft.) Canopies: Nil if approved for weather protection	Front & Exterior Side Yards: 3.0 m (9.8 ft.) Interior Side Yard: Nil Parking below finished grade: Nil Features within required street setbacks (measured to a property line): Balconies: 2.0 m (6.6 ft.) min., EXECEPT 1.5 m (4.9 ft.) min. above the 2 nd storey along parts of Minoru Boulevard & the new east street Canopies: Nil		Reduce min. balcony setback from 2.0 m to 1.5 m above the 2 nd storey	
Height	35 m (114.8 ft.) measured to finished grade, but this may be increased to 47 m GSC if a proper interface is provided with adjacent buildings/park, as specified in an approved Development Permit	A B C	Parapet of Highest Habitable Floor 35 m (113 ft.) 37 m (123 ft.) 40 m (132 ft.)	Highest Point (Elevator/Mechanical) 37 m (121 ft.) 40 m (132 ft.) 43 m (141 ft.)	None
Parking – TOTAL	Total: 624 spaces (after 10% TDM reduction), including: Residents: 375 Non-residential: 247 Car-Share: 2	Office 47.0 m (154.2 ft.) GSC Total: 624 spaces, including: Residents: 375 Non-residential: 247 Car-Share: 2		None	
Parking – Residential	Total: 375 spaces (after 10% TDM reduction), including: Market Strata @ 1/unit – 10% = 307 AH units @ 0.9/unit – 25% = 60 Visitors: 8	- Ma - AH vai spa - Vis	375 spaces, including: arket Strata: 307 I units: 60 (including at lenaccessible space, and racces) sitors: 8 (2 spaces for the sidential building)		None
Parking – Non- Residential	Total: 247 spaces (after 10% TDM reduction), including: Non-profit social service use @ 3.75/100 m² GLA – 10% = 15 Office @ 1.275/100 m² GLA – 10% = 165 Retail @ 3.75/100 m² GLA – 10% = 67 NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).	- 50' agi - 50'	247 spaces, including: % Public Parking: 124 se reement for general publi % Assignable Parking: 12 23 spaces secured by le exclusive use of the NP (including at least 1 acc accessible space & no r spaces) 100 spaces that may be assigned to specific bus	c use 23, including gal agreement for the SS tenants & their guests essible space, 1 van- nore than 12 small sold, leased, or	None
Parking – Car-Share	2 spaces (car-share use only)	• 2 spa	ces (car-share use only)		None
	<u> </u>	1			L

August 11, 2021 PLAN #1b

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Class 1 Bike Storage (Secured)	 Total: 775 spaces, including - Non-Residential @ 0.27/100 m² GLA: 45 Residents @ 1.7/unit: 730 including: Market: 522 standard size & 58 over-size AH: 135 standard size & 15 over-size 	 Total: 775 spaces, including - Non-Residential: 45 Residents: 730 including: 580 Market strata (522 standard & 58 over-size) 150 AH (135 standard & 15 over-size) 	
Class 2 Bike Storage (Public use)	 Total: 154, including: Non-Residential @ 0.4/100 m² GLA: 68 Residents @ 0.2/unit = 86 	154 located outdoors around the perimeter of the site	None
Electric Vehicle (EV) Charging	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: 100% AH & Market Strata resident parking spaces (This excludes visitor parking.) 5% of non-residential parking, including: 12 NPSS parking spaces 2 Car-share parking spaces For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each: Residential (AH & Market Strata) bike storage room Non-residential bike storage room	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: Market Strata parking spaces: 307 AH rental building parking spaces: 60 NPSS parking spaces: 12 Car-share parking spaces: 2 For Class 1 bike storage: Energized 120V duplex receptacles including at least: 58 for Market Strata bike storage 15 for AH rental building bike storage 5 for non-residential bike storage room	None
Loading	Medium truck spaces: 5 Waste pick-up: 1	Medium truck spaces: 5 Waste pick-up: 1	None
Residential Amenity Space – Indoor	Total: Min. 877.0 m² (9,439.9 ft²), including: - Market @ 2 m²/unit = 682.0 m² (7,341.0 ft²) - AH @ 2 m²/unit: 176 m² (1,894.4 ft²) - Rental Building NP Operator: 18.6 m² (200.0 ft²) for administration/programs NOTE: Of the required amenity space, legal agreements registered on title require at least: For AH residents only: 110.9 m² (1,194.0 ft²), including 18.6 ft² (200.0 ft²) for the non-profit housing operator For shared AH & Market resident use: 464.5 m² (5,000.0 ft²)	 Total: 1,117.4 m² (12,028.0 ft²), including: Exclusive use: Market: 479.8 m² (5,164.0 ft²) AH rental building: 153.6.0 m² (1,654.0 ft²), including space for exclusive: AH occupants: 135.0 m² (1,454.0 ft²) AH operator: 18.6 m² (200 ft²) Shared (AH & Market): 484.0 m² (5,210.0 ft²) 	None
Residential Amenity Space – Outdoor	429 units @ 6.0 m²/unit: Min. 2,574.0 m² (27,706.3 ft²) including at least 600 m² (6,458.3 ft²) of children's play space	 3,034.0 m² (32,657.7 ft²), including: Exclusive (AH only): 57.0 m² (613.5 ft²) Shared (Mkt/AH): 2,977.0 m² (32,044.2 ft²) including: 2,231.0 m² (24,014.3 ft²) of recreation space 746.0 m² (8,029.9 ft²) of children's play space 	None
CCAP Landscape Area	Min. 10% of net site: 1,296.5 m² (13,955.4 ft²)	• 1,309.0 m² (14,090.0 ft²)	None
Extensive Green Roofs	Encouraged on low- and mid-rise rooftops that are not otherwise used for outdoor amenity space or other purposes (e.g., mechanical equipment)	• 1,151.0 m² (12,389.3 ft²) at Levels 4, 5, 6 & 10	None





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August 11, 2021 PLAN #2a

1. Road "A" =569.9m²

569.9 m² (6,134.4 ft²) for road widening along the south side of Lansdowne Road and the east side of Minoru Boulevard

2. PARK =859.2m²

Transfer of at least 859.2 m² (9,248.4 ft²) to the City as fee simple for park and related purposes

3. SRW =363.1m² (Minoru Corner Plaza + Linear Park Expansions)

Registration on title of a restrictive covenant and SRW agreement for public access, open space, and related purposes with respect to an irregular strip of land along the entire north edge of the subject site, comprised of a rectangular "plaza expansion" area adjacent to Minoru Boulevard, measuring approximately 8.0 m (26.3 ft.) deep and 13.0 m (42.7 ft.) wide, next to a "linear park expansion" area.Linear Park Expansion measuring at least 3.0 m (9.8 ft.) deep at its west end and tapering towards the east, as generally indicated in the Preliminary Statutory Right-of-Way Plan

- 4. Road "B" =77.8m2 +
- 5. Road "C" =1132.5m²

1,210.3 m² (13,027.6 ft²) for sidewalk widening along the south side of Lansdowne Road and lane widening for the purpose of establishing a new minor street along the subject site's east side.

I Existing Setback Lines

SRW - Minoru Corner Plaza + Linear Park Expansion



Dedication - Park

Road B

tback from 2.0n

levard frontage

and the east stree

PROPOSED SRW

Road C



New Setback LinesNew Property Lines



PROPOSED SRW FOR TELUS PROPOSED SRW

PROPOSED SRW

FOR BCH

PROPOSED SRW FOR

STREET LIGHT KIOSK

MINORU BOULEVARD

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esidential tower

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3

TOWER A

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ARCHITECTS (CANADA) INC.
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Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0492

TOWER B

5740, 5760, 5800 Minoru Blvd., Richmond

TOWER C

SRW 34077

Richmond, B.C. Canada

DP 19-881156

LANSDOWNE ROAD

LEVEL 4

LEVEL 5

LEVEL 10

LEVEL 11

Date: August 11, 2021

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5740, 5760, 5800 Minoru Blvd., Richmond

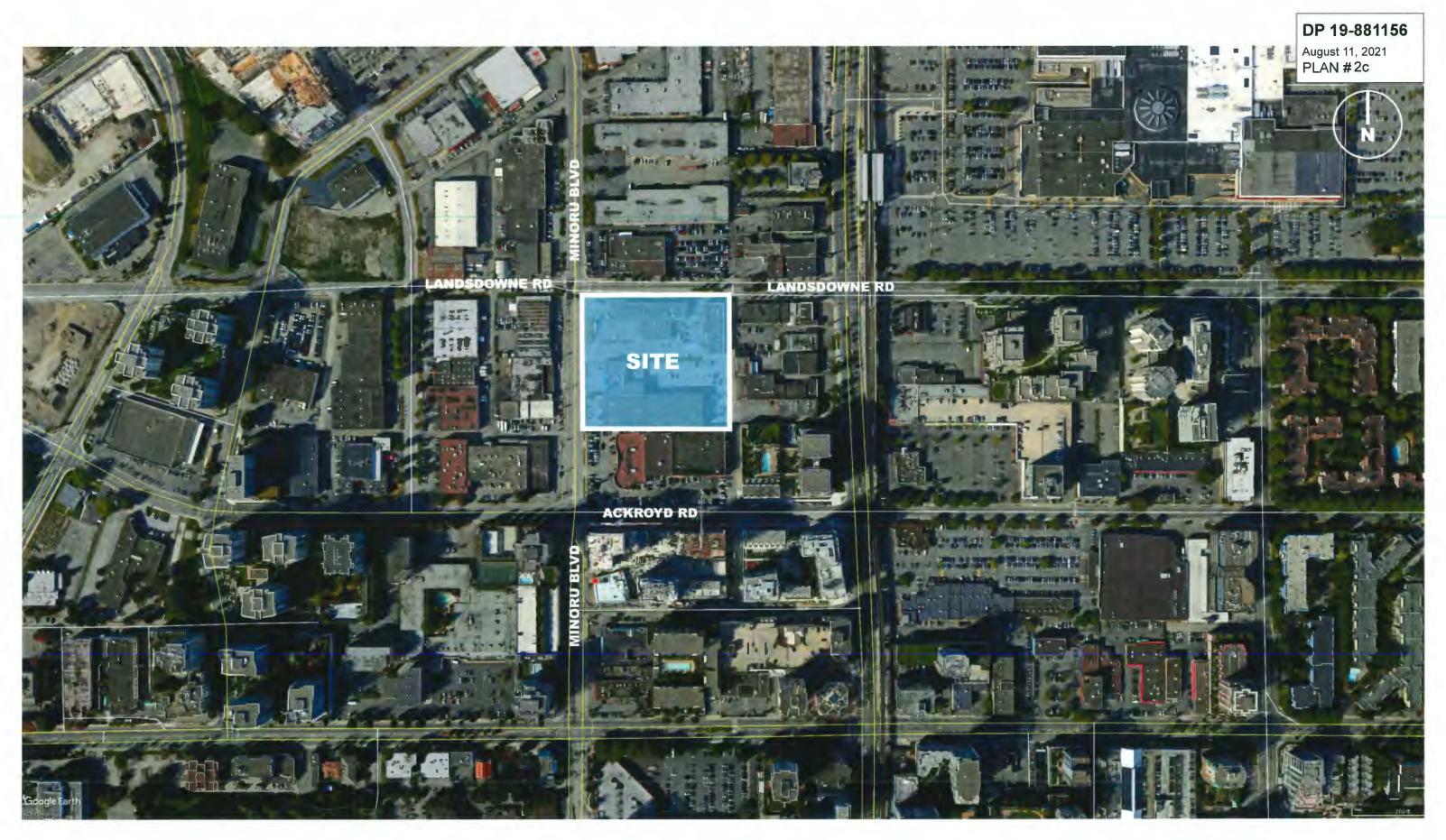
PLAN #2b - SUBDIVISION PLAN

PLAN EPP_ PROPOSED SUBDIVISION PLAN OF PROPOSED LOT 47 PLAN 34383, LOT A PLAN NWP88228, AND LOT 26 EXCEPT: EAST 10 FEET, PLAN 32135 ALL OF SECTION 5 BLOCK 4 NORTH RANGE 6 WEST **NEW WESTMINSTER DISTRICT** BCGS 92G.015 LEGEND SCALE 1:500 0 10 20 ALL DISTANCES ARE IN METRES THE INTENDED PLOT SIZE OF THIS PLAN
IS 884mm IN HEIGHT BY 580mm IN WIDTH (D SIZE)
WHEN PLOTTED AT A SCALE OF 1:500 INTEGRATED SURVEY AREA NO.18, CITY OF RICHMOND, B.C. NAD83 (CSRS) 4.0.D. BC.1.MVRD THIS PLAN SHOWS HORIZONTAL GROUND LEVEL DISTANCES UNLESS OTHERWISE SPECIFIED. TO COMPUTE GRID DISTANCES, MULTIPLY GROUND LEVEL DISTANCES BY THE AVERAGE COMBINED FACTOR OF 0.9980405. THE AVERAGE COMBINED FACTOR HAS BEEN DETERMINED FACTOR HAS DEED DETERMINED FACTOR HAS DEED AND 144–690 REM 45 sec 5 LEGEND INDICATES CONTROL MONUMENT FOUND INDICATES LEAD PLUG FOUND INDICATES LEAD PLUG PLACED INDICATES STANDARD IRON POST FOUND MOICATES STANDARD IRON POST PLACED INDICATES NOTHING FOUND PLAN 34152 POSTING PLAN 82236 89'44'08" 126.312 THIS PLAN SHOWS ONE OR MORE WITNESS POSTS WHICH ARE NOT SET ON THE TRUE CORNER(S) LANSDOWNE ROAD 5015.387 2 5015.387 2 48.297 92'25'37 А PLAN NWP88228 ROAD
Total Road Area = 0. (1780 1 KOAD MINORU BOULEVARD SRW PLAN 34077 LANE REM 26 PLAN 32135 FILING ROAD 113361 Block 4 N 47 PLAN 34383 48 PLAN 34383 Rge 6 W GCM 144-595 UTM ZONE 10 COORDINATES DATUM: NADB3(CSRS) 4.0.0. BC.1.M UTM NORTHING: 5446387.052 UTM EASTING: 480048.374 ABSOLUTE ACCURACY: 0.02 ACKROYD ROAD 3530 EPS3103 EPS1653 EPS3105 EPS1746 AIR SPACE PLAN EPP50213 EPS3106 THIS PLAN LIES WITHIN THE METRO VANCOUVER REGIONAL DISTRICT — CITY OF RICHMOND H.Y. AND ASSOCIATES LAND SURVEYING LTD. 200, 9128 - 152nd Street Surrey, B.C. V3R 4E7 Ph: (804)583-1616 File: 174799_584+SRW2.DWG THIS PLAN LIES WITHIN THE JURISDICTION OF THE APPROVING OFFICER FOR THE CITY OF RICHMOND

> P 19-881156

4

August 11, 2021 PLAN #2b





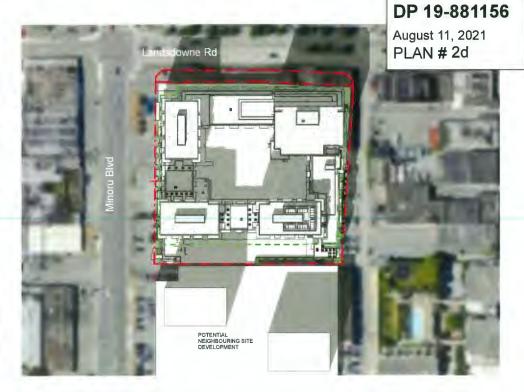




Fall Equinox - Sept 22 - 10:00 am



Fall Equinox - Sept 22 - 12:00 pm



Fall Equinox - Sept 22 - 2:00 pm



SUMMER SOLSTICE - June 21 - 10:00 am



SUMMER SOLSTICE - June 21 - 12:00 pm



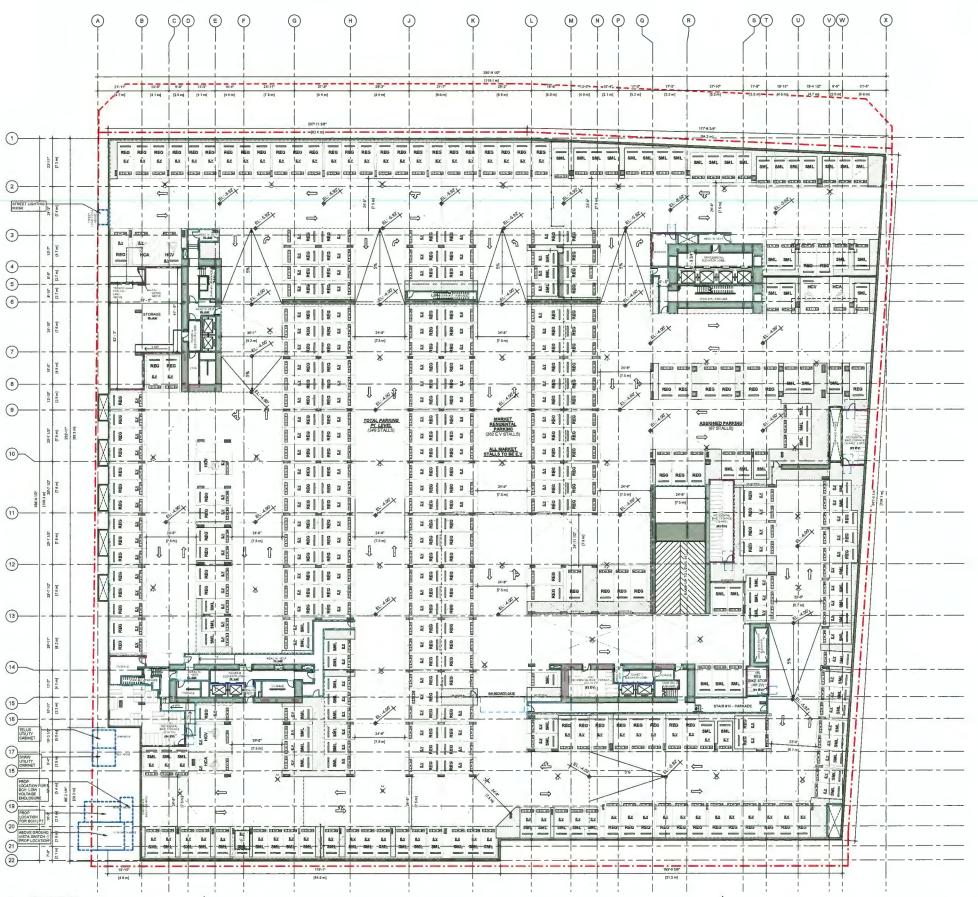
SUMMER SOLSTICE - June 21 - 2:00 pm





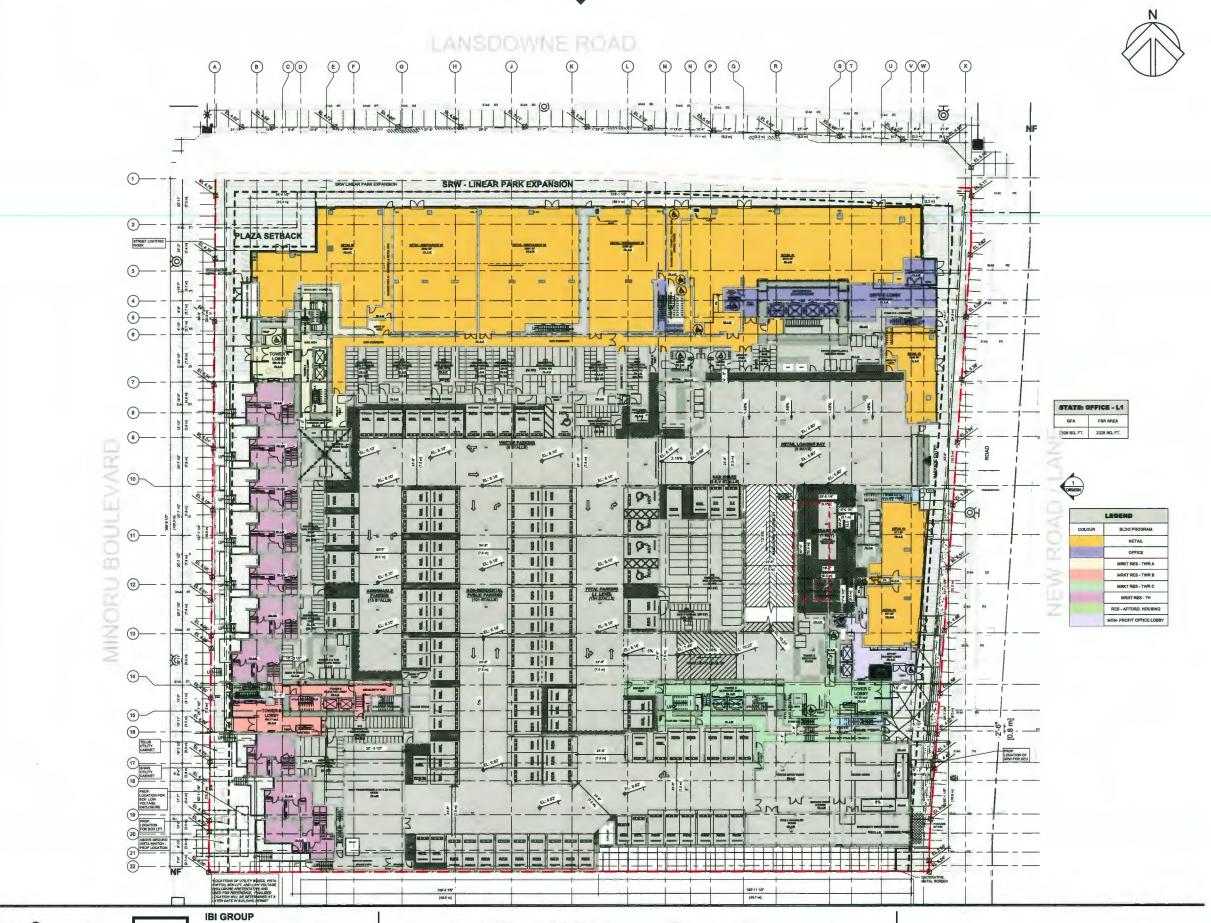


August 11, 2021 PLAN # 3a











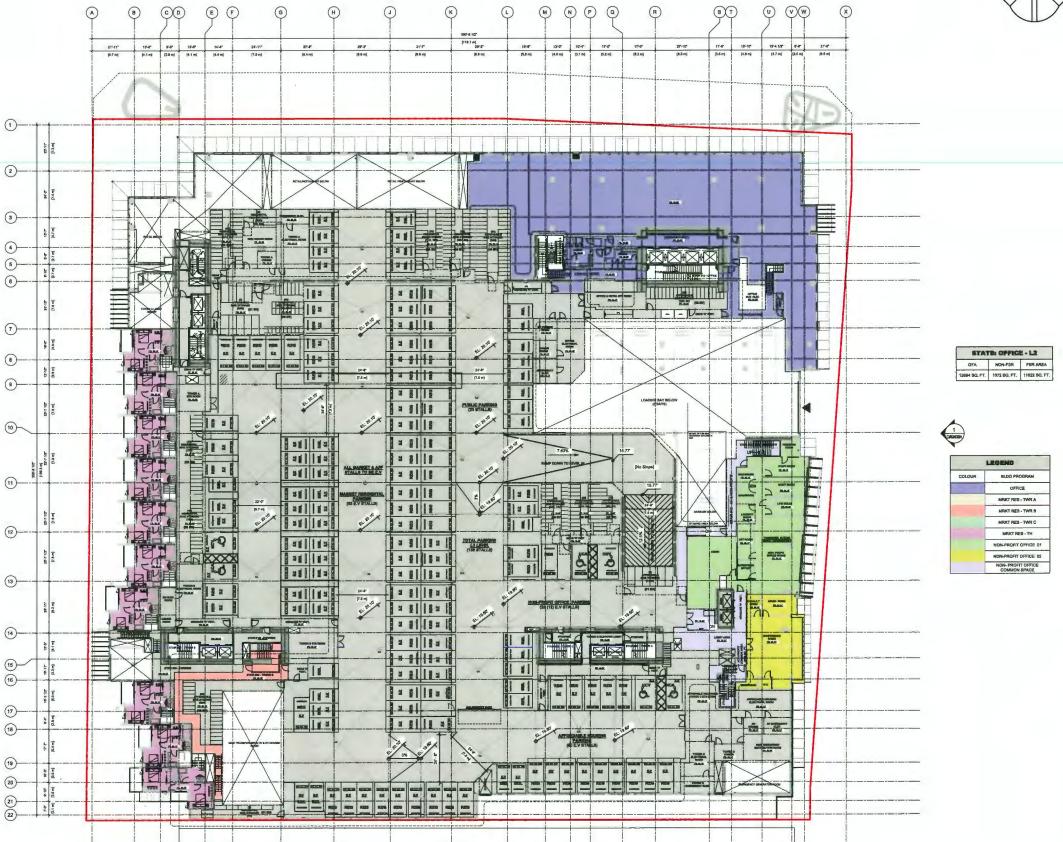


DP 19-881156August 11, 2021

PLAN # 3b



August 11, 2021 PLAN # 3c



DP-4.02





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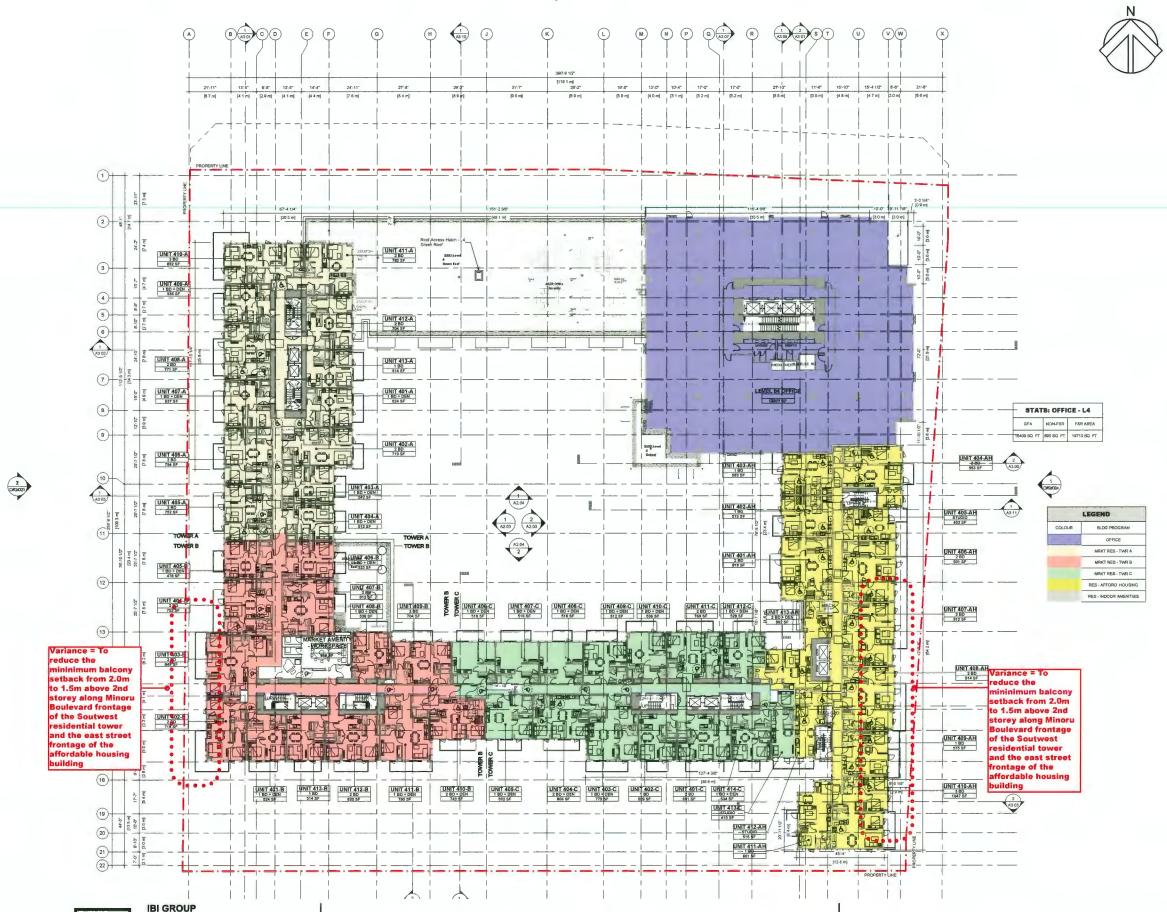
August 11, 2021 PLAN # 3d







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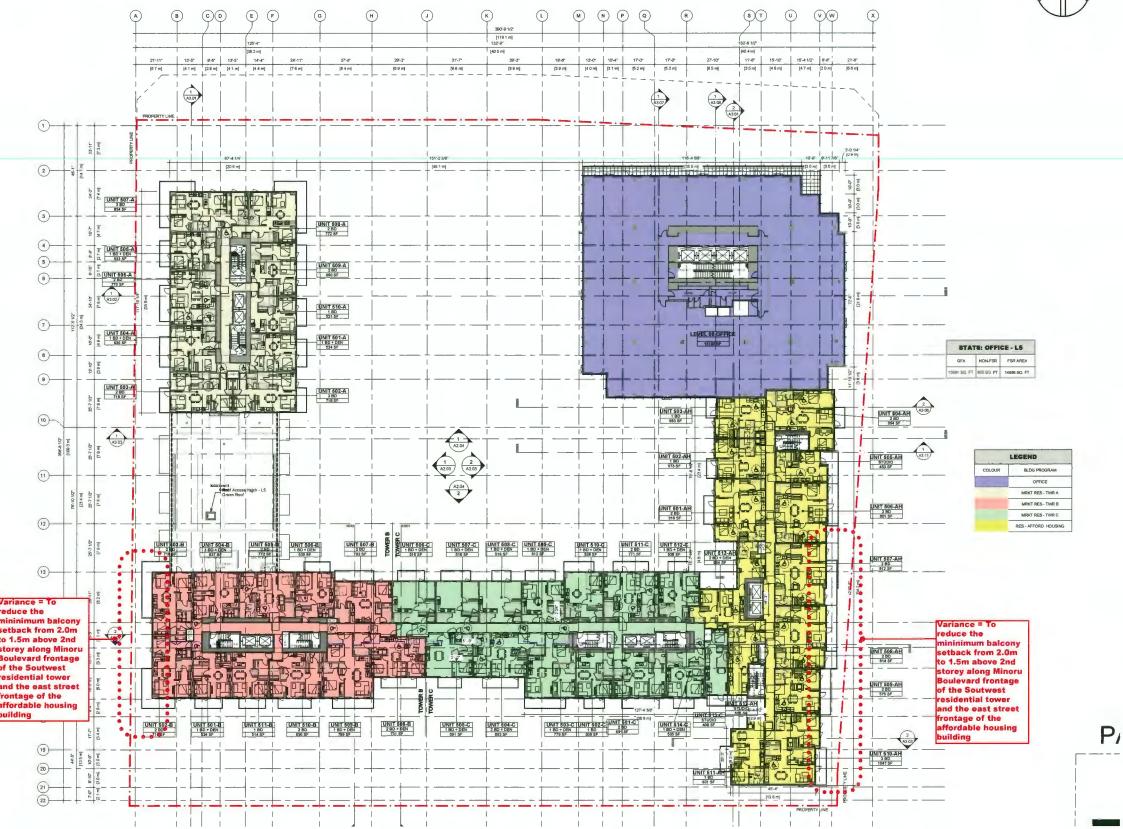


August 11, 2021

PLAN # 3e



August 11, 2021 PLAN # 3f



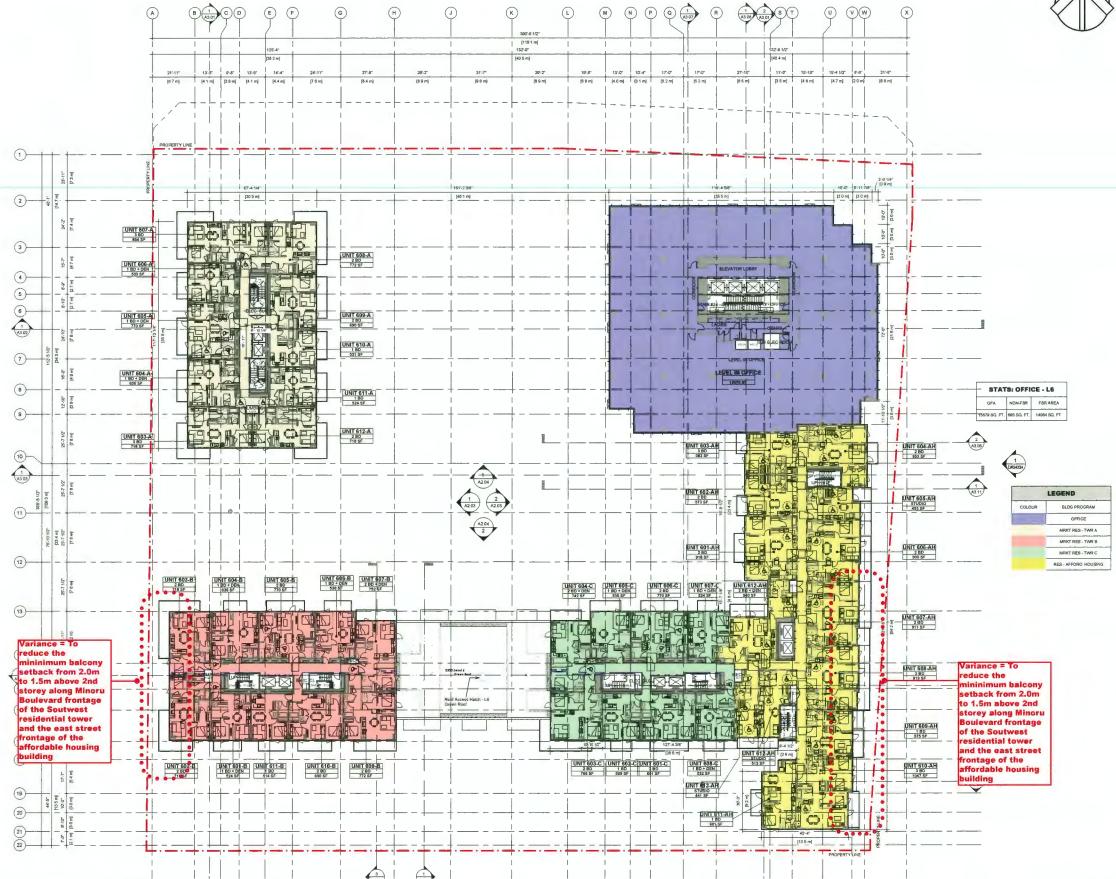




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August 11, 2021 PLAN # 3g







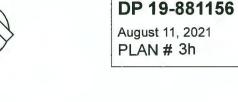
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5740, 5760, 5800 Minoru Blvd., Richmond

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021







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B (1) (C) (D) (E) (F) M N P U VW 2 E UNIT 905-A A204)

A204)

A204

A205

A205

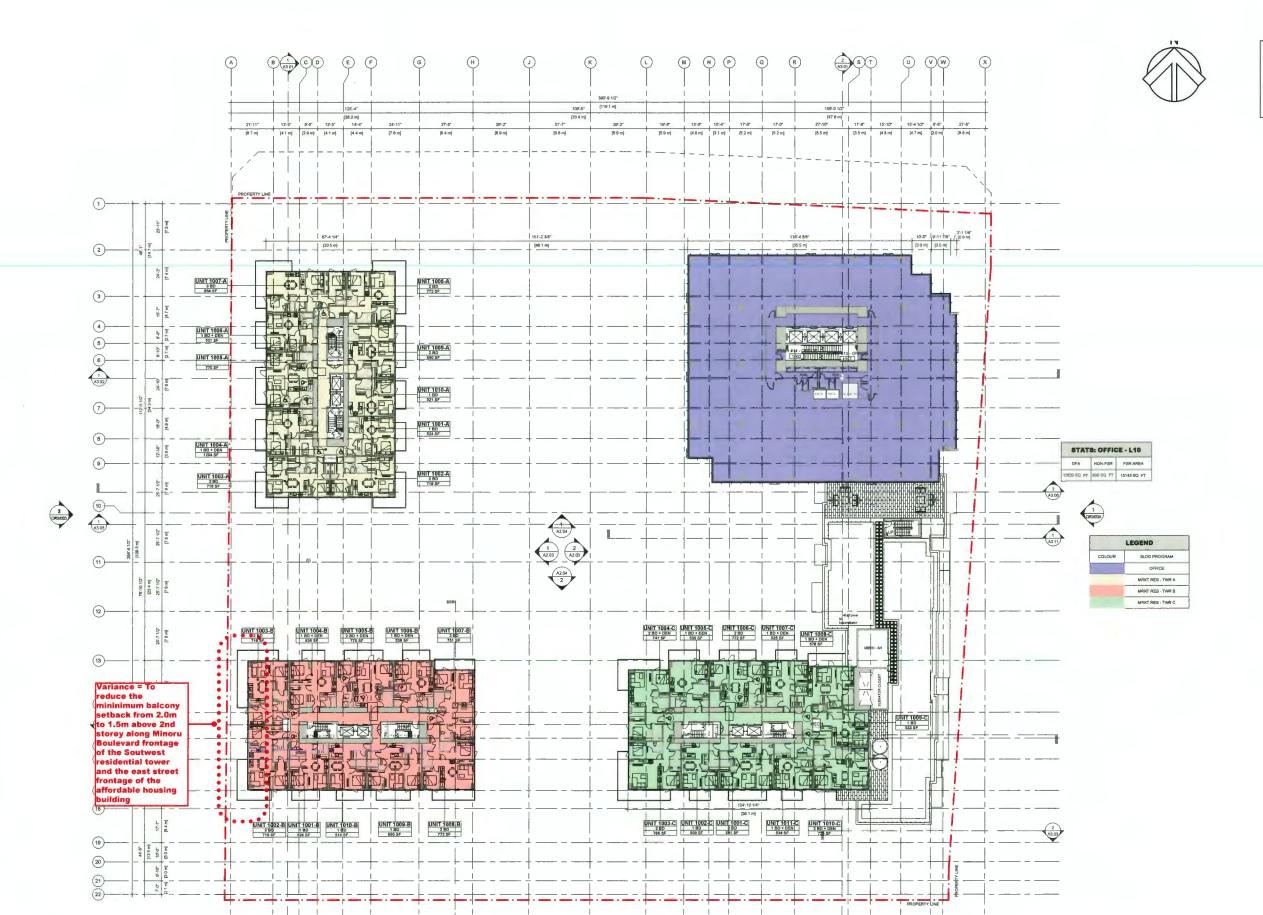
A205 LEGEND BLDG PROGRAM 11)-MRKT RES - TWR A MRKT RES - TWR B MRKT RES - TWR C 12 RES - AFFORD HOUSING to 1.5m above 2nd torey along Minoru Soulevard frontage and the east street of the Soutwest frontage of the esidential tower nd the east street frontage of the affordable housing





DP 19-881156

August 11, 2021 PLAN # 3i

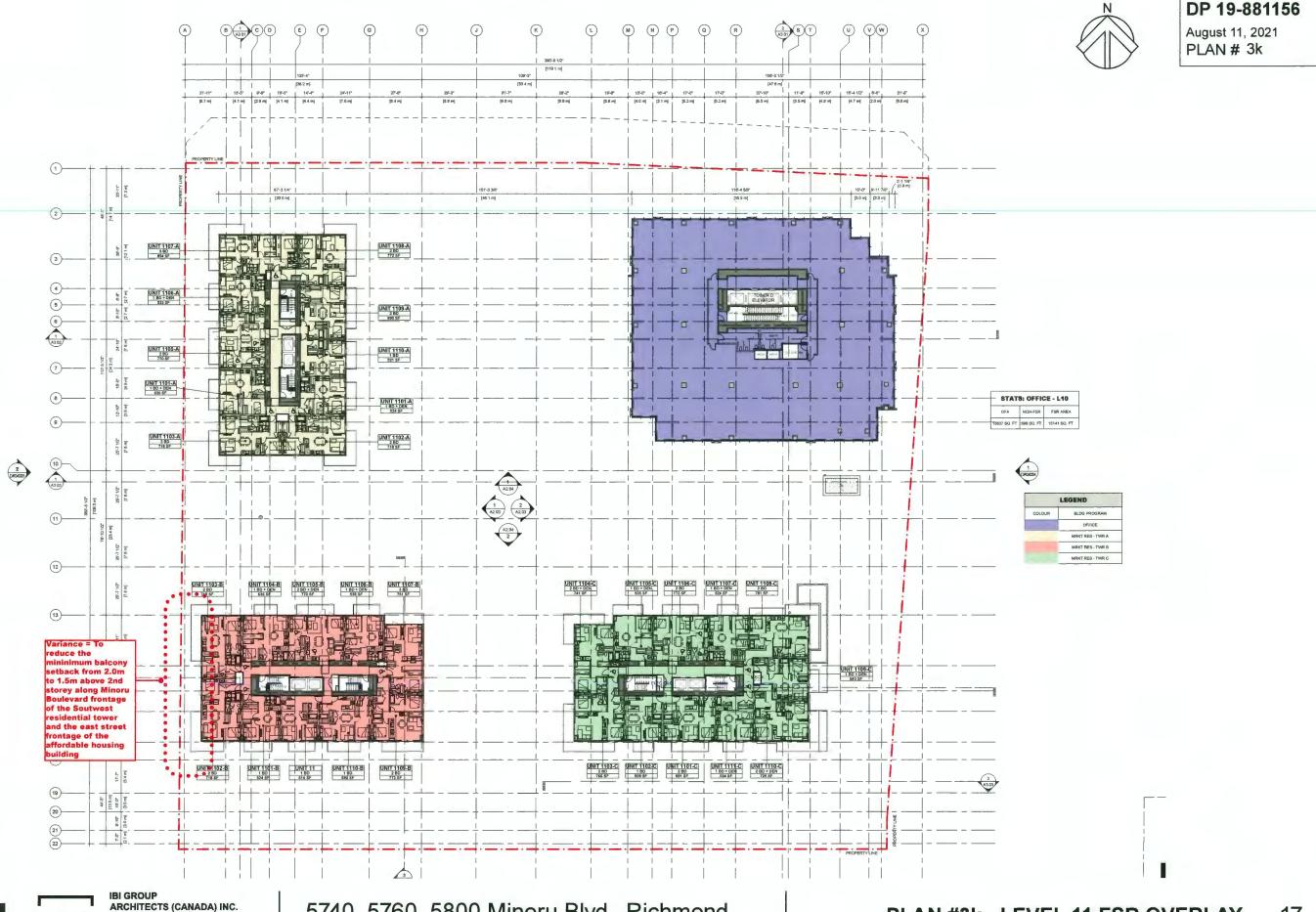






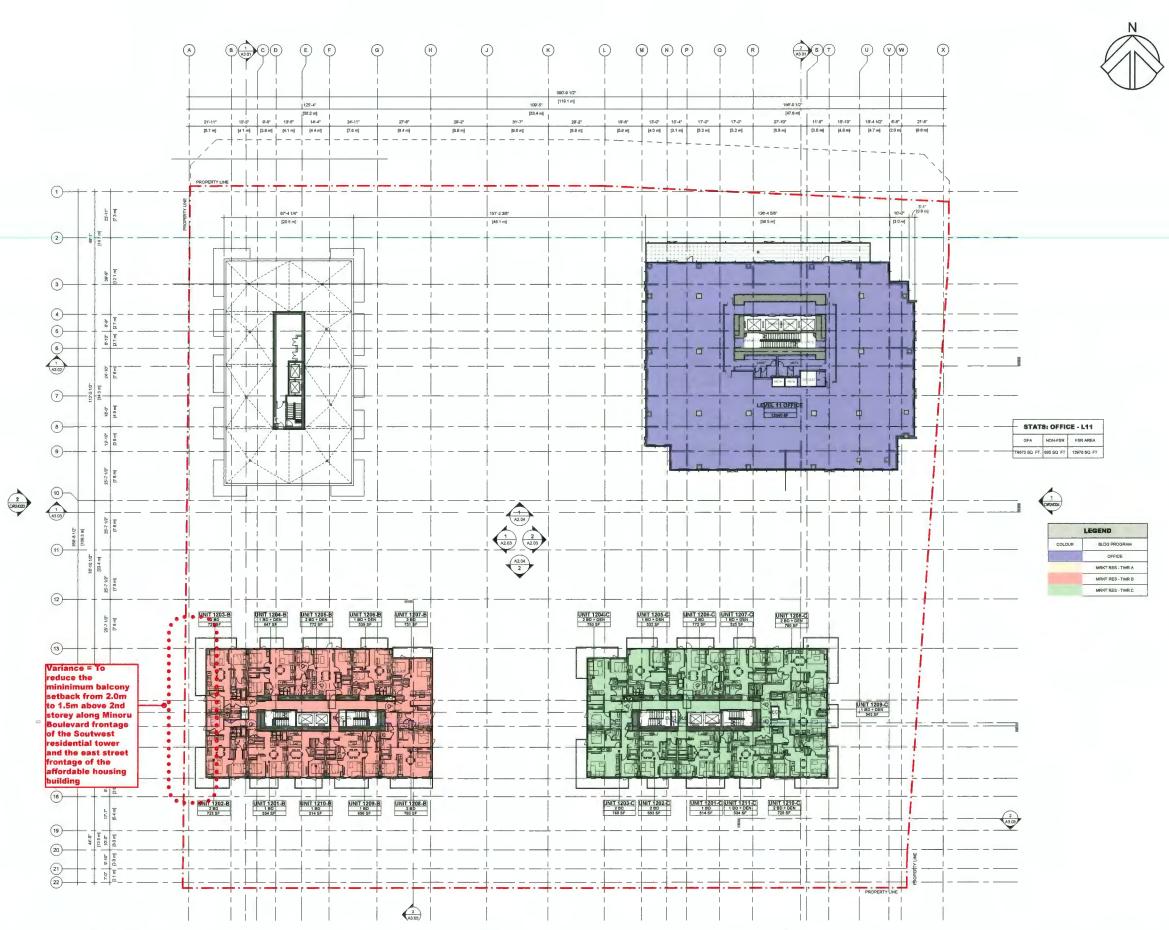
IBI GROUP ARCHITECTS (CANADA) INC. 700 – 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com DP 19-881156

August 11, 2021 PLAN # 3j











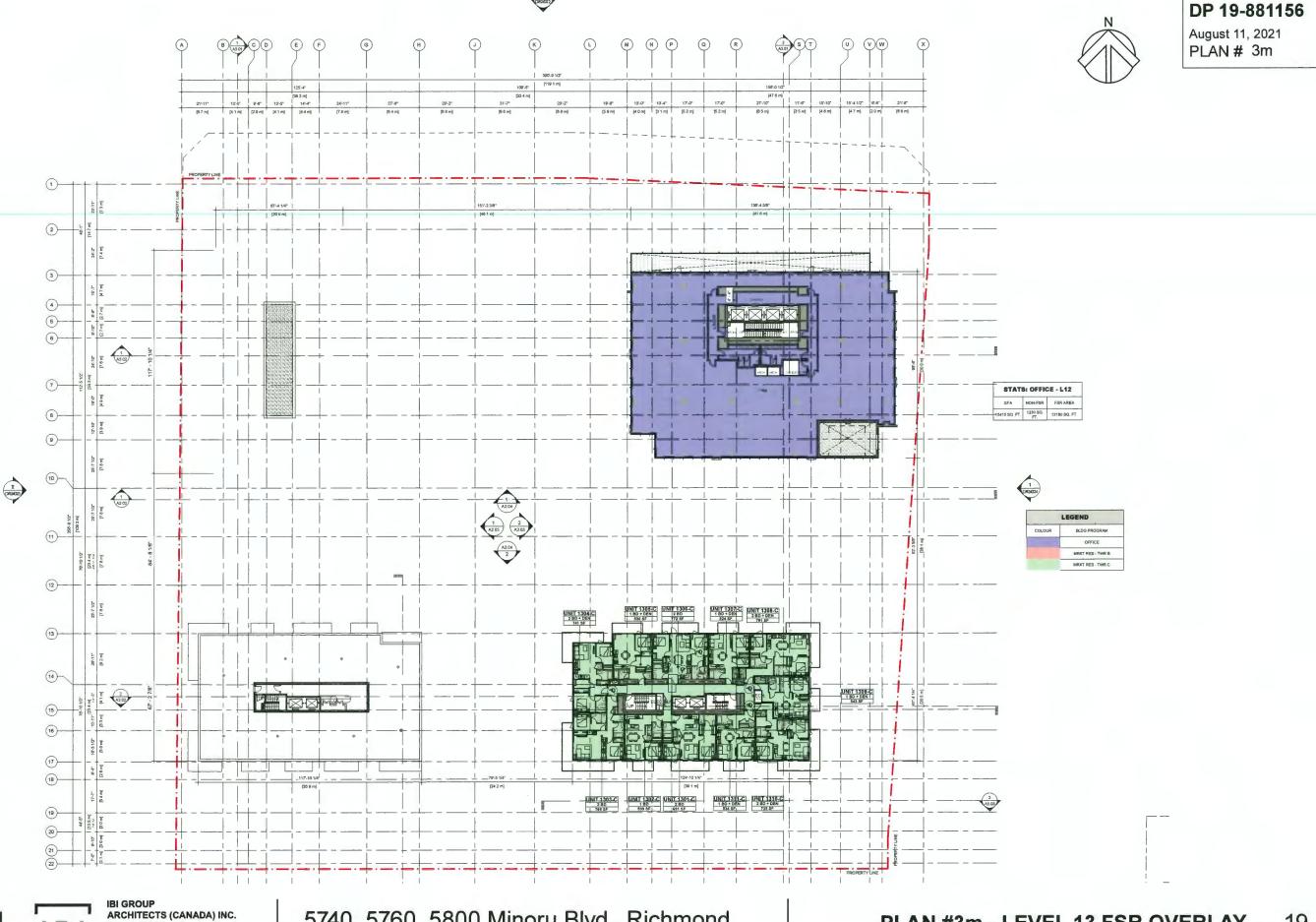


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5740, 5760, 5800 Minoru Blvd., Richmond Richmond, B.C. Canada

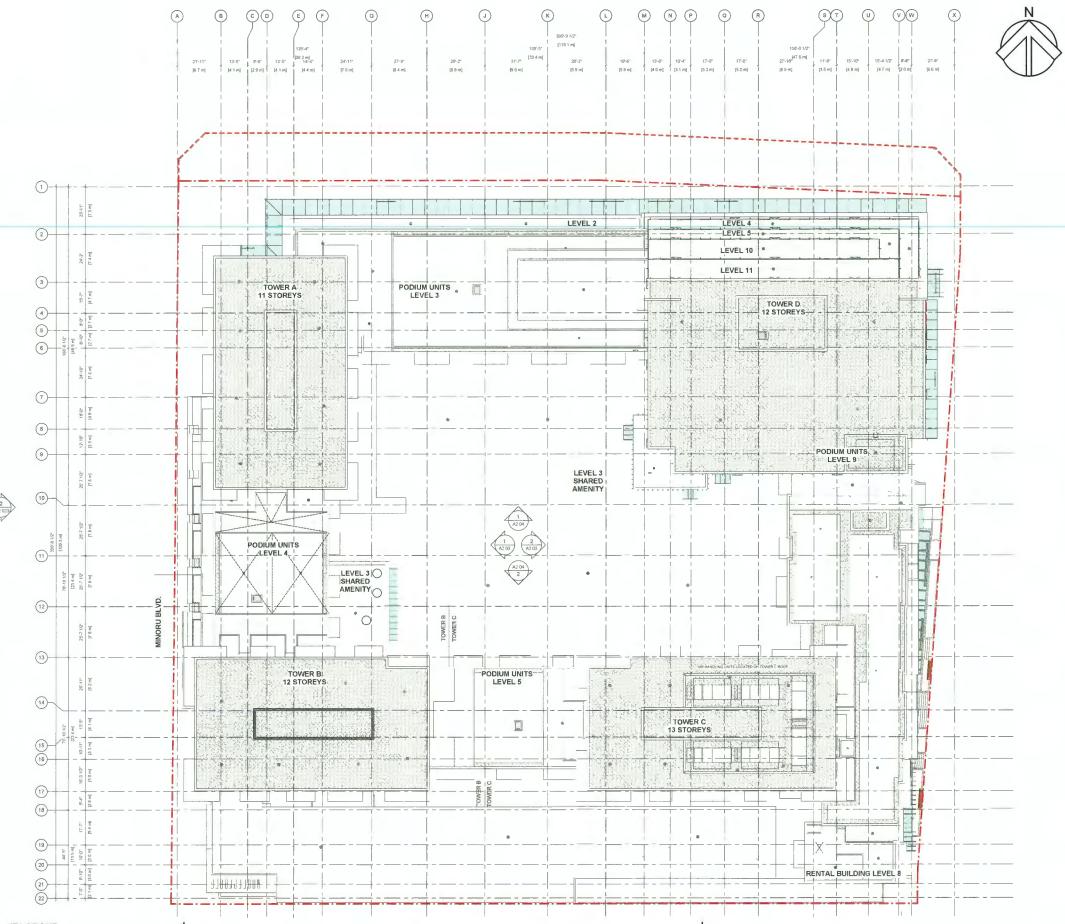
DP 19-881156

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DP 19-881156August 11, 2021
PLAN # 3n

ZAWBOT	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING	SURFAC	ES		
3	21	Acer freemanii 'Armstrong'	Freeman Maple	5cm cal. 8&8		Off-Site Hard Surfaces:		Soft Landscape:
0	6	Acer palmatum	Japanese Maple	6cm cal. B&B	(P1).	CIP Concrete - Broom Finished with Saw Cuts	(21)	Sand Based Sodded Lawr
C			Chinese Dogwaod	(am cal 0 0 0	(P2)	Unilock Promenade Plank Paver Size: 24" x B" x 4" Color: Opal		0
1	18	Camus kausa 'Satami'		écm cal. B&B		Unilock Promenade Plank Paver		Shrub/Perennial Beds
(\cdot)	35	Camus mas	Cornelian Cherry Dogwood	6cm cal. 8&6	(P3)	Size: 24" x 8" x 4" Color: Black Granite Series Finish		Evergreen Hedging
}	9	Fagus sylvatica 'Dawyck'	European Beech	6cm. B&B	(P4)	Charcoal Colour CIP Concrete - Broom Finished with Saw Cuts		
(.)	40	Magnolia 'Butterflies'	Magnalia	6cm cal. 8&8	(14)		12	Urban Agriculture Plantin
1	3	Malus 'Dom Haralson	Dom Haralson Apple Tree	#20 Pat	P5) HH	HydraPressed Concrete Slabs by Abbotsford Concrete Products 24" x12" x 2" Colour: Natural		Extensive Green Roof, Se
0					POHHI	HydraPressed Concrete Slabs by Abbotsford Concrete Products	_	
U	39	Magnolia stellata	Star Magnalia	5 ht. multi-stem	(311111	24"x12"x 2" Colour: Charcoal		Berm Planting
}	29	Prunus semula	Japanese Rawering Cherry	6cm cal. 88.B	(P7)	'UNILOCK 'Senzo' Concrete Unit Pavers. Colour: 'Cremo' Size: 20 x 40 cm.		
	2	Quercus rubra	Red Oak	6cm cal. 88,8	(P8)~~~~	Decorative River Rock. Size: 10-20 cm		Subsurface / drainage
AND					1000	Colour: Ebony Black. Supplier: Northwest Landscape & Stone		Soil Cells (15 cubic mete
					(P9)	Timber Decking		Stormwater detention of
SYMBOL	EVEL PLANTS QTY	8OTANIC NAME Azaleo Hino White	COMMON NAME Dwarf azalea	SIZE SPACING				Storm line
Į.	136 322	Buxus m. japonica 'Green Beauty' Carex oshimensis 'Evergald'	Japanese boxwood 'Evergald' sedge	#2 pol #2 pol.	(P10)	PIP Rubber Surfacing - Level 3		Trench drain
CI	3	Carex ashimensis 'Ice dance Chaisya temata	'ice Dance' sedge Mexican arange	#2 pot. #2 pot.	(e))	Play Sand - Level 3		Trench drain
Hb Im	72 94 55	Echinacea purpurea "White Swan" Hebe buxifolia Lavandula angustifolia "Munstead"	Caneflower Boxwood Hebe English lavender	#2 pot. #3 pot. #2 pot.		nay sand - covero		Area Drain
Lm LP Pb	20	Lonicera pileoto Ponicum virgotum 'blood brothers'	Boxle of honeysuckle Switchgrass	#2 pot. #2 pot.	(P12)	Artifical Turf at Dog Run - Level 3		
PI st	26	Prunus Iusitanic Stipa tenuissima	Portuguese laurel Mexican Feathergrass	3' ht. #2 pot.	(013)	Chan shares I'll offers alooky the Piles and alone it.		
th	130 205	Taxus media 'Hilli' Thymus x citrindans	Hills yew (Male Plant anly) Lemon thyme	3'ht. #Lpo!		Step stones (2' diameter) with Fibar surfacing (Level 3)		
SYMBOL SYMBOL	QTY	BOTANIC NAME	COMMON NAME	SIZE SPACING		Furniture + Shructures:		Grading + Drainage:
A3 Agw	100 438 187	Asarum splendens 'Quicksilver' Azalea 'Hino White' Azalea 'Gumpo White'	Wild Ginger Dwarl ozalea Dwarl azalea	#1 pot. #2 pot. #2 pot.	V	1060mm/42" ht. Metal Fence + Gate	+ TS 10.00m	top of stair
0	250 290	Calamagrostis acutiflora 'Karl Foerster' Carex oshimensis 'Evergold'	Feather reed grass 'Evergold' sedge	#2 pol. #1 pot.	************	5' High Metal Fence to be screened by evergreen planting	+ BS 10.00m	bottom of stair
ě C	161 394 262	Carex 'Everest Evercolau' Carex ashimensis 'Ice dance' Choisva temata	'Evercalour' sedge 'Ice dance' sedge Mexican orange	#1 pot. #1 pot. #2 pot.		C.I.P. Concrete Planter Wall	+ TW 10.00m	top of wall
d er	262 428 60	Dicentra formosa 'Aurara' Erica carnea 'December red	Mexican orange Aurora bleeding heart Heather 'December red'	#2 pot. #2 pot. #2 pot.		7	+ BW 10,00m	bottom of wall
Hb	236 47	Hebe buxifolia Helictotrichon sempervirens	Boxwood Hebe Blue Oat Grass	#2 pol. #2 pol.		Outdoor Kitchen w/ Built-In Trellis, 8BQ and Sink.	+ 10.00m	spot elevation
hs hk Lm	264 242	Hakonechlo a macra Lavandula angustifolia 'Munstead'	Hakone Grass English lavender	#2 pot. #2 pot.	I		+ FG 8.50m	finished grade
Te Te	127 293 142	Listope spicata 'Silver Dragan' Lonicera pileata Misconthus sinensis 'Little Kilten'	Silver dragon lilyturf Boxlaaf honeysuckle Chinese Silver Grass	#2 pot. #2 pot. #2 pot.		The Universe Bench System-71" backed provided by landscape forms.		
m2 Mlk Lp	77	Miscanthus sinensis 'Marning Light' Lonicera pileata	Eulalia Boxleaf honeysuckle	#2 pot. #2 pot.		To be installed on concrete seat wall (and free standing bench) as per manufacturer's instruction.	+ BG 8.35m	building grade
Nr op	126 676	Nepeta racemosa 'Walker' Ophiopogon japonicus	Calmint Black Mando Grass	#1 pot. #1 pot.	No.	Color: Natural Wood & Red. Qty: As shown on the plans		existing elevation (as p
Pb	729 294	Pachysondra terminlis Panicum virgatum 'Blood Brothers'	Japanese spurge Red switch grass	#2 pot. #2 pot.	13 HALLA	Wood Seating Platform on concrete base	74,	direction/percent slope
Ppb Pm	180 117 87	Perovskia artiplicifolia Plati's Black New Zealand Flax Polystichum munitum	Russian Sage New Zealand Flax Western sword fern	#2 pof. #2 pof. #2 pof.	2 4 11 1 1			break in slope
Rbw	63	Rhodo. Bloom-A-Than White Rudbeckia fulgida	Bloom-A-Thon White Orange Coneflower	#2 pol. #1 pot.		Gas Appliance - Fire Table	DN 4R	direction/number of rise
Rhs Sc	228 95	Rudbeckia hirta Sarcococca hook, hurniks	Black-eyed susans Sweetbox	#1 pot. #2 pot.		A LANGE CONTRACTOR OF THE CONT		
# **	95 64 615	Stipa tenuissima Vaccinium corymbosum Taxus media 'Hilli'	Mexican Feathergrass Highbush Blueberry Hills yew (Male Plant only)	#1 pot. #2 pot. 3' h		Bench - Neoliviana - Landscape Forms - 69" Backed		
IEVEL 4 PLA	303	Thymus x citriodorus	Lemon thyme	#1 pot.	0000000000000000	Balancing logs to retain growing medium at kids play area		
SYMBOL	21	Azaleo 'Gumpo White'	COMMON NAME Dworf azaleo	SIZE SPACING #2 pot.	60000	Boulders to retain growing medium at kids play area		Irrigation & Hose Bibs:
Brn Bs	108	Buxus m. joponica 'Green Beauty' Blochnum spicant	Japanese boxwood Deer fem	#2 pof #2 pof.	000	boolders to retain growing medicin at his play area	1	Hose Bib
c X Ct	161 82 33	Carex oshimensis "Evergold" Carex "Everest Evercolour" Choisya temata	'Evergold' sedge 'Evercolour' sedge Mexican orange	#2 pof. #2 pof. #2 pof.			•	Irrigation Stub Up 50psi + 50gpm
•	44 23	Echinacea purpurea 'White Swan' Hosta 'Love Pal'	Coneflower Hosta	#2 pol. #2 pol.		Bustrative - Custom Play Equipment, w/ Built-In Embankment Slide,	•	oopsi oogpiii
ho HP La	14 76	Hydrangea querc. 'Munchkin' Dwarf Lavandula angustifolia 'Hidcote'	Oakleaf hydrongeo Hidcote lavender	#4 pot. #2 pot.		Stepping Stones and Balancing logs. To Be Specified.		
LP	10	Liriope spicata 'Silver Dragon' Lonicera pileata Nepeta racemoso 'Walker'	Silver dragon lilyturl Boxleaf honeysuckle Catmint	#2 pot. #2 pot. #2 pot.	145			
Ph Ro	114 16 38	Pennisetum alopecuroides 'hameln' Rosa 'Sea Foam'	Fountain Grass White flowered rose	# 2 pot. # 2 pot. # 2 pot.				Lighting:
r T	28 130	Rudbeckia hirla Taxus media 'Hillii'	Black-eyed susans Hilfs yew (Male Plant only)	#2 pol. 3'h	~	Balancing logs and tree trunks as natural play equipments		
LEVEL S PLA	ANTS	BOTANIC NAME	COMMON NAME	SITE SPACING	Dann			In-wall Mounted Light
Bs	44 25	Blechnum spicont Hosta 'Love Pat'	Deer fern Hosta	SIZE. SPACING #2 pot. #2 pot.	20 H	Loungers, chairs and tables. Illustrative Furnishings.	rs.	Dawnlight in Irellis (level 3
ho	19 17	Hydrangea querc, 'Munchkin' Dwart Lonicera pileata	Oakleaf hydrangea Boxleof honeysuckle	#2 pol. #2 pol.				Burnam have a
HP	99	Pachysandra terminlis Taxus media "Hillii"	Japonese spurge Hill's yew (Male Plant only)	#2 pot. 3 h				Rush Mount Graund Light
HP	22		COMMON NAME	SIZE SPACING	d((●)	Illustrative - Prefabricated Play Equipment.		Hanne I Ety Pall and I.
HP LP T LEVEL 9 PLA		BOTANIC PAME	'Ice dance' sedge	SIZE SPACING #1 pot. #2 pot.				Unear LED light at base o planter wall in recess
HP LP T LEVEL 7 PLA SYMBOL	32 36	Carex oshimensis 'Ice dance' Calamagrostis acutiflora 'Karl Foerster'	Feather reed grass	#2 pol.	11111	Pills Control to the CORD Local Marrier		Calenory Lighting (Level
HP LP P T LEVEL ? PLA SYMBOL	32 36 23 10	Carex oshimensis "Ice dance" Calamagiostis aculiflora "Karl Foerster" Choisya temata Hebe bwifolio	Feather reed grass Mexican orange Boxwood Hebe	#2 pol.		Bike Racks, Model: SCBR I 600, Mounting: Surface Finish; Silver 14, Powdercoat w/ E-Coat Rustproof, Supplier; Maglin		
HP LP P T LEVEL 9 PLA SYMBOL C1 Hb Lo Nr	32 36 23	Carex oshimensis "ice dance" Calamagiostis acutiflora "Karl Foerster" Choisya terrada Hebe buzifolia Lavandula angustifolia "Hidcote" Neceta racemosa "Walker"	Feather reed grass Mexican orange Boxwood Hebe Hidcote lavender Catmint	#2 pol. #2 pol. #1 pol.	H HATT	nnish: silver 14. Fowdercodi w/ c-codi Rusiptool: soppiler: Mugiin		
HP LP T LEVEL 9 PLA SYMBOL C1 Hb Lo Nr Pb	32 36 23 10 10	Corex oshimensis 'ice dance' Calamagiostis acultilora 'Kail Foester' Choisya femata Hebe busifolia Lavandula angustilolia 'Hidcote' Nepeta racemosa 'Walker' Panicum virgatum 'Blood Brothers' Flati's Black New Zeoland Flox	Feather reed grass Mexican orange Boxwood Hebe Hidoofe lavender Catmint Red switch grass New Zedond Flox	#2 pof. #2 pof. #1 pof. #2 pof. #2 pof.	11111	-		
ho HP LP P T LEVEL 1 PL SYMBOL CI Hb LO Ni Pb B B LEVEL 10 PL LEVEL 10 PL	32 33 36 23 10 10 10 7 10 29	Corex othimensis 'Lee dance' Calamagrosis acutifilia 'Tali Faestler' Choirya fenaria Habe busines Levandula angustillafa 'Hidoote' Levandula angustillafa 'Hidoote' Walkin' Panicum 'Rogalum' (Boad Brother) Patif Black New Zeoland Flax Taxus media 'HIII'	Feather reed grass Mexican orange Boxwood Hebe Hidcofe lavender Catmint Red switch grass New Zealand Rox Hill's yew (Male Plant only)	#2 pol. #2 pol. #1 pol. #2 pol. #1 pol. #1 h		Bike Racks, Model: W7510, Mounting: Surface Finish: Stainless Steel Supplier: Cora		
HP LP LP LEVEL 1 PL SYMBOL C C C C C C C C C C C C C C C C C C	32 36 23 10 10 10 10 7 10 29	Corex othimensis 'Lee dance' Calamagorista acutifiliora 'Kaif Faestler' Choinya feenata Hebe busing Lavandula angustilia'a 'Hideote' Nepela racemora'a 'Walair Penisum vigatum 'Bood Brither' Pela's Back Hev Zeoland Fox Tauut media 'Hilli KOTANIC NAME Azalea 'Gumpa White'	Feather reed grass Mexican orange Boxwood Hebe Hidcofe lavender Catmint Red switch grass New Zeoland Rox Hill's yew (Mall Plant only) COMMON NAME Dward azalea	#2 pol. #3 pol. #4 pol		Bike Racks. Model: W7510. Mounting: Surface		
LEVEL 7 PLA SYMBOL O O O Hb Lo Nr P P D LEVEL 10 PL	32 33 36 23 10 10 10 7 10 29	Corex othimensis 'Lee dance' Calamagrapia acutilitora 'Kari Foenter' Calamagrapia acutilitora 'Kari Foenter' Hebe b Lurifolia Lovandulota angutiliolia 'Hidcote' Nepela racemosa 'Walker' Pendum Wagolum' Blood Brotheri Pendum Wagolum' Blood Brotheri Pendum Wagolum' Blood Brotheri Footal mada 'Hillia' BOTANIC NAME Audoo Carrigora Willia' Laucan'Hemann x.1' Bechy'	Fecihier reed grass Newican corange Boxwood Hebe Hidcole lawnder Hidcole lawnder Ged swilch gross Hew Yedond Riax Helf syew (Made Plant andy) COMMON NAME Deed and Color Hidcole lawnder Hidcole lawnder Sharte daily	#2 pol. #2 pol. #3 pol. #1 pol.		Bike Racks. Model: W7510. Mounling: Surface Finish: Stainless Steet Supplier: Cora Litter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines')		
HP IP P T LEVEL ? PL SYMBOL C Hb Lo No	32 36 23 10 10 10 10 29 LANTS QTY 8 10 5 6	Corex oshimensis 'Lee dance' Calamagrapia acutilitora 'Kari Foester' Calamagrapia acutilitora 'Kari Foester' Hebe b uzifolia Lovandulota angustiliolia 'Hidoote' Nepela rocemota 'Walker' Penicum 'Wajolum' Blood Briothen' grantum 'Wajolum' Blood Briothen' Toxus media 'Hilli' BOTANIC NAME BOTANIC NAME Azidela Cumpa While' Lovandulo angustifola 'Hidoote' Laucantherman x s. 'Becky' Lonicera pileafia Toxus media 'Hilli' Toxus	Fecihier reed grass Nessican crange Bowwood Hebe Fidoole lawnder Fidoole lawnder Red switch grass New Zedond Riox Hill syew (Mode Plant only) COMMON NAME Dwarf acalea Hidoole lawnder Sharia daily Bowled Inneysubde Hill syew (Mode Roat only)	#2 pot. #2 pot. #1 pot. #2 pot. #2 pot. #2 pot.		Bike Racks, Model: W7510, Mounling: Surface Finish: Stainless Steet Supplier: Cora Utter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle basket - Approved by Previormental Programs		
HP IP	32 36 38 23 10 10 10 10 17 10 29 LANTS GTY 8 10 5 6 5	Corex oshimensis 'Ece dance' Calamagrapia acutilitora 'Kari Foenter' Calamagrapia acutilitora 'Kari Foenter' Hebe b uvifolia Lovandulo angustiliola 'Hidoote' Nepela racemosa 'Walker' Penicum 'Wajolum' Blood Brotheri grant 'Angulum' Blood Brotheri Taxus media 'Hilli' BOTANIC ILAME ROTANIC ILAME Lovandulo angustifola 'Hidoote' Lovandulo angustifola 'Hidoote' Leucanthermam x s.' Becky' tonicera pilearia Taxus media 'Hilli' LANT LIST FOR TEMPORANY COVER') AREA COL Carpopleis' Lolandonemis'	Fecihier reed grass Nessican corange Bowwood Hebe Hiddoel iswander Hiddoel iswander Red switch grass New Zedond Rick Hill syew (Mode Plant anly) COMMON NAME Dwarf acalea Hiddoel kovender Shorate daily Bowled hangvuyde Hill syew (Mode Plant anly) MRI 1930 sgls. Bloubrid #1 ppt.	#2 pol. #2 pol. #1 pol. #2 pol. #1 hol. #2 pol. #1 pol. #2 pol. #1 pol. #2 pol. #1 pol		Bike Racks, Model: W7510, Mounling: Surface Finish: Stainless Steet Supplier: Cora Uitter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle basket - Approved by Profrommetal Programs Product: Hazaflan - 2 Stream Recycling Unit Company: EnvirolZene		
HP IP P T LEVEL ? PL SYMBOL C Hb Lo No	32 32 34 23 36 23 36 23 36 23 36 23 36 23 36 23 36 25 27 5 275 275 275 275 275 275 275 275	Corex oshimensis 'Lee dance' Calamagnesia acutilitora 'Kari Foester' Calamagnesia acutilitora 'Kari Foester' Hebe b Luvidola Lovandulota angustiliofa 'Hidoote' Nepela racemosa 'Walker' Panicum Wigolum' Blood Brothen' Platri Blood I Hev. Zeoland Fox Total mada'o Hiller BOTANIC HAME Azoleo 'Gumpo White' Lovandulo ongustificia 'Hidoote' Lovandulo ongustificia 'Hidoote' Lovandulo ongustificia 'Hidoote' Lovandulo ongustificia 'Hidoote' Lovandulo 'Hiller "LANT LIST FOR TRAFORAN' COVER') AREA COL Compoplisis 's clandenamis' Compoplisis 's clandenamis' Compoplisis 's clandenamis' Compositis 's clandenamis' Compositis 's clandenamis' Compositis 's clandenamis'	Fecihier reed grass Newican corange Boxwood Hebe Hidcole Iswander Ged swilch gross New Yedond Riax Heif's yew (Mode Plant andy) COMMON NAME Ded and and be swinder Hidcole Iswander Shart addig Boded honeysude Hill's yew (Mode Plant andy) WHT: 1938 cgft. Who Plant and Shart addig Boded from yeur and Shart addig WHT: 1938 cgft. WHT: 1938 cgft. WHT: 1948 cgft. Who Plant and Shart and	#2 pol. #2 pol. #1 pol. #2 pol. #1 pol. #2 pol. #1 pol. #2 pol. #1 pol. #2 pol. #1 pol		Bike Racks, Model: W7510, Mounling: Surface Finish: Slainless Steet Supplier: Cora Utter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle basket - Approved by Provionmental Programs Product: Hazelton - 2 Stream Recycling Unit Company: Enviro2.one Coppadity: 147 Bires per compartment		
HP LP P T LEYEL 9 PL SYMBOL C C C C C C C C C C C C C C C C C C	32 34 35 32 36 36 36 36 36 36 36 36 36 36 36 36 36	Corex oshimensis 'Lee dance' Calamagnesis acutilitora 'Kali foester' Choling temata Levandula angulifila'a Hidacote' Nepeta racemasa 'Walker' Panicum Wigalum' Blood Brothen' Platif Black New Zeoland Fox Toust media'd Hillis BOTANIC NAME Azakea 'Gumpa White' Lovandula ongulificia' Hidacote' Laucantheman xx. 'Backy' Lovandula ongulificia' Hidacote' Laucantheman xx. 'Backy' Court media 'Hillis' LANT LIST FOR TEMPORANY COVER') AREA COL Caropopteis x clandonensis Coreopsis verificialitor Festuca idaha emis Ordopary mylagre	Fechher reed grass Mexican crange Boxwood Hebe Hidcole lavender Calmin Hidcole lavender Calmin New Zedond flac Hills yew (Mode Plant anly) COMMON NAME Dward azaliea Dward azaliea Dward azaliea Dward azaliea Dward azaliea Hills yew (Mode Plant anly) Bouleaf honeyucke Hills yew (Mode Plant anly) UNIT: 1930 rgfl. Bloubbird #1 pot. Careopins #1 pot. Gayleather #1 pot. Gaylea	#2 pol. #2 pol. #1 pol		Bike Racks, Model: W7510, Mounling: Surface Finish: Stainless Steet Supplier: Cora Uitter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle basket - Approved by Profrommetal Programs Product: Hazaflan - 2 Stream Recycling Unit Company: EnvirolZene		
HP IP P T LEVEL ? PL SYMBOL C Hb Lo No	32 32 32 32 36 23 10 10 10 10 7 10 29 20 20 27 5 27 5 27 5 27 5 27 5 27 5 27	Corex oshimensis 'Lee dance' Calamagorisi acutifilio 'Tala Foestler' Choinya lennata Calamagorisi acutifilio 'Tala Foestler' Choinya lennata Leonaduki angustilialia 'Hidaote' Nepelar racemasi 'Walker' Panicum Wagotum' Blood Brothen' Platif Black New Zeoland Fax Taux media 'Hilli' BOTANIC MAME Azabe 'Gumpa While' Leonaduki angustifilia 'Hidaote' Leonaduki angus	Fecihier reed grass Mexican carange Bowwood Hebe Hiddoel Iswander Hiddoel Iswander Red switch grass New Zeoland Rick Hill syew (Motle Plant anly) COMMON NAME Dwarf azalea Hiddoel Iswander Sharist daliy Bowled Inneysuuble Hill syew (Motle Plant anly) UMIT: 1930 sgl. Bloubird #1 pol. Coreopsis #1 pol. Role Iswander #1 pol. Coreopsis #1 pol. Colden Oregano #1 pol.	#2 pol. #2 pol	田	Bike Racks, Model: W7\$10, Mounlings: Surface Finish: Stoinless Steel Supplier: Cora Litter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle basket - Approved by Environmental Programs - Product Haggilton - 2 Stream Recycling Unit Company: EnviroZone - Capacity: 147 Pites per compartment Precast Concrete Step Stones		
HP LP P P T T SYMBOL SYMBOL ON P P D D D D D D D D D D D D D D D D D	32 32 33 36 33 36 32 31 10 10 10 10 7 7 10 29 21 10 10 5 6 5 5 275 275 275 275 275 275 275 275 275	Corex oshimensis 'Ece dance' Calamagrapia acutilitora 'Kari Foester' Calamagrapia acutilitora 'Kari Foester' Hebe b uvifolia Lovandulo angustiliola 'Hidoote' Nepela racemasa 'Walker' Penicum 'Wajalum' Blood Brotheri grant 'Brotheri' Taxus media 'Hilli' BOTANIC BANE BOTANIC BANE Asterio Campon White' Lovandulo angustifola 'Hidoote' Laucanthermam x s. 'Backy' toniceva pilearia Toxus media 'Hilli' LANT LIST FOR TEMPORANY COVER') AREA COL Carpopla's s. calandonemis Careopsi weficillato Fatulos dichoremis Carlogalama 'Wajara' Origanum vulgara 'Anguren' Origanum vulgara 'Anguren'	Fecihier reed grass Mexican carange Bowwood Hebe Hiddoel Iswander Hiddoel Iswander Red switch grass New Zeoland Rick Hill syew (Motle Plant anly) COMMON NAME Dwarf azalea Hiddoel Iswander Sharist daliy Bowled Inneysuuble Hill syew (Motle Plant anly) UMIT: 1930 sgl. Bloubird #1 pol. Coreopsis #1 pol. Role Iswander #1 pol. Coreopsis #1 pol.	#2 pol. #2 pol. #2 pol. #2 pol. #2 pol. #2 pol. #3 pol. #4 pol. #2 pol. #4 pol. #2 pol. #4 pol	田	Bike Racks, Model: W7\$10, Mounlings: Surface Finish: Stoinless Steel Supplier: Cora Litter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle basket - Approved by Environmental Programs - Product Haggilton - 2 Stream Recycling Unit Company: EnviroZone - Capacity: 147 Pites per compartment Precast Concrete Step Stones		
HP LP P P P P P P P P P P P P P P P P P	32 32 33 36 23 10 10 10 10 7 7 10 29 20 20 275 275 275 275 275 275 275 275 275 275	Corex orhimensis 'Lee dance' Calcimagnosini acutifilira 'Kai fi center' Choliva temata Levandula angulifila'a 'Hiddote' Nepeta racemasa 'Walker' Panicum Wigolum' Blood Brothen' Platif Black New Zeoland Fax Tausi media 'Hilli' BOTANIC NAME Azakea 'Gumpa While' Lovandula ongunifila'a 'Hiddote' Leucanthemum xx. 'Becky' tonice's pelleata Lovandula ongunifilira' Hiddote' Leucanthemum xx. 'Becky' tonice's pelleata Tausi media 'Hilli' **LANT LIST FOR TEMPOLANY COVER') AREA COL Caropateis xa clandonensis Caropatis weffeillato Fettuca idotha emis Lost in piped or bobod Ohigamum vulgare 'Aureum' Sakka Officinalis G NOTES seed the requirements as cutilined in these	Fecihier reed grass Mexican corrange Boxwood Hebs Boxwood Hebs Cottman Red switch grass New Zedonia Red Hill yew (Mote Plant orly) COMMON NAME COMMON NAME COMMON NAME COMMON NAME Dwarf azalea Hidcole laborater Boxeter thoneyuckle Hill yew (Mote Plant orly) Bluefar Boxeter thoneyuckle Hill yew (Mote Plant orly) Bluefar Boxeter thoneyuckle Hill yew (Mote Plant orly) Bluefar Boxeter thoneyuckle Hill yew (Mote Plant orly) Blue feacuse Goyfecther Bluefar Goyfecther Go	#Z pol. #Z pol. #Z pol. #Z pol. #Z pol. #I pol. #A pol. #B pol. #B pol. #B pol. #B pol. #B pol. #B pol. #C pocing #Z	田	Bike Racks, Model: W7510, Mounting: Surface Finish: Stainless Steel Supplier: Cora Utter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle baske! - Apprived by Priviormental Programs Product: Hazarlan - 2 Stream Recycling Unit Company: EnviroiZaine Copposity: 147 Bites per compartment Precast Concrete Step Stones Broom Finished, 1.5" x 18" x 18"		
HPLP PP PT LEVEL*PPU SYMBOL O CI Hb Lo Nr Pp Pp SYMBOL Level*Prob SY	32 32 33 33 33 34 32 34 32 34 34	Corex oshimensis 'Lee dance' Calcimagneria acutilitora 'Kari Foester' Calcimagneria acutilitora 'Kari Foester' Hebe b Luifolia Lovandulota anguilliofa 'Hidoote' Nepeta rocemosa 'Walker' Pendum Wegolum' Blood Brotheri Pendum Wegolum' Blood Brotheri Pendum Wegolum' Blood Brotheri Foots 'Gumpar Willer' Acabas 'Gumpar Willer' Leucantherman x.s. 'Backy' Lonicera pileatio Toxus medio 'Hilli' Leucantherman x.s. 'Backy' Lonicera pileation' Toxus medio 'Hilli' Lonicera pileation'	Fechher reed grass Mexican crange Boxwood Hebs Boxwood Hebs Commit Red switch grass New Zedonia Red switch Re	#Z pol. #Z pol	田	Bike Racks, Model: W7510, Mounting: Surface Finish: Stainless Steel Supplier: Cora Utter & Recycling Receptacles. (as per COR 'Outdoor Bin Guidelines') - Standard 3 stream garbage and recycle baske! - Apprived by Priviormental Programs Product: Hazarlan - 2 Stream Recycling Unit Company: EnviroiZaine Copposity: 147 Bites per compartment Precast Concrete Step Stones Broom Finished, 1.5" x 18" x 18"		





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5740, 5760, 5800 Minoru Blvd., Richmond

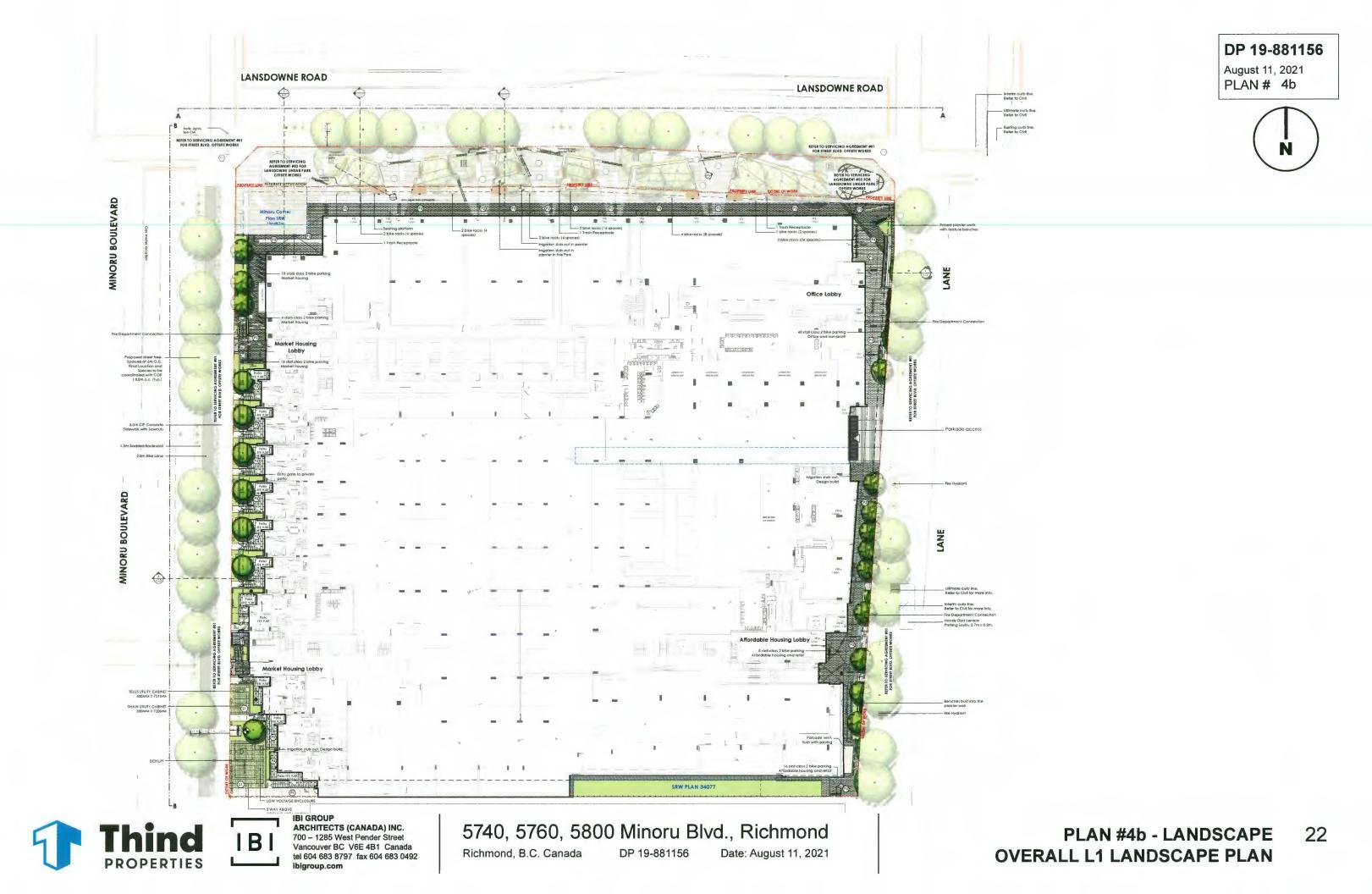
Richmond, B.C. Canada

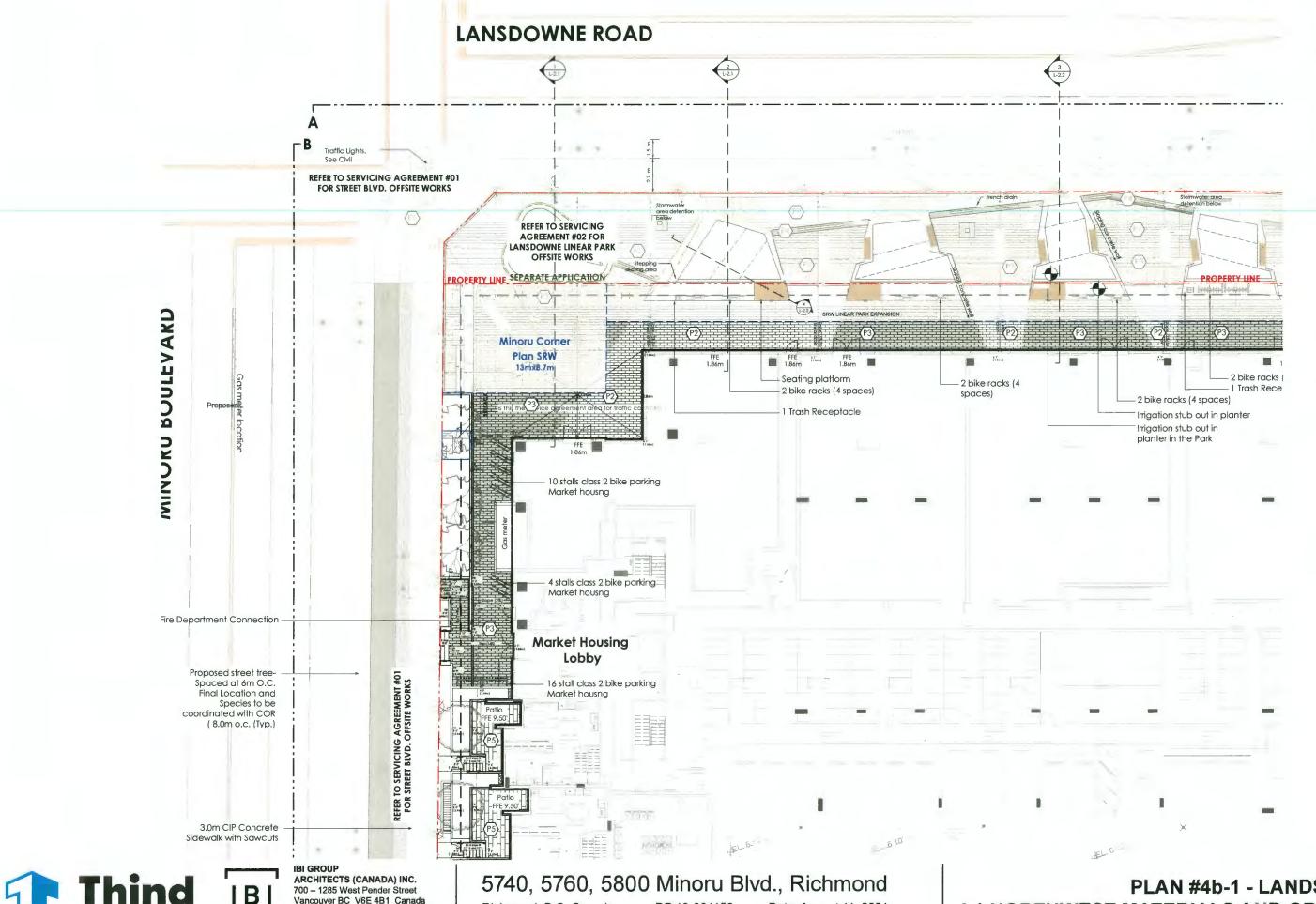
DP 19-881156

Date: August 11, 2021

DP 19-881156

August 11, 2021 PLAN# 4a





Richmond, B.C. Canada

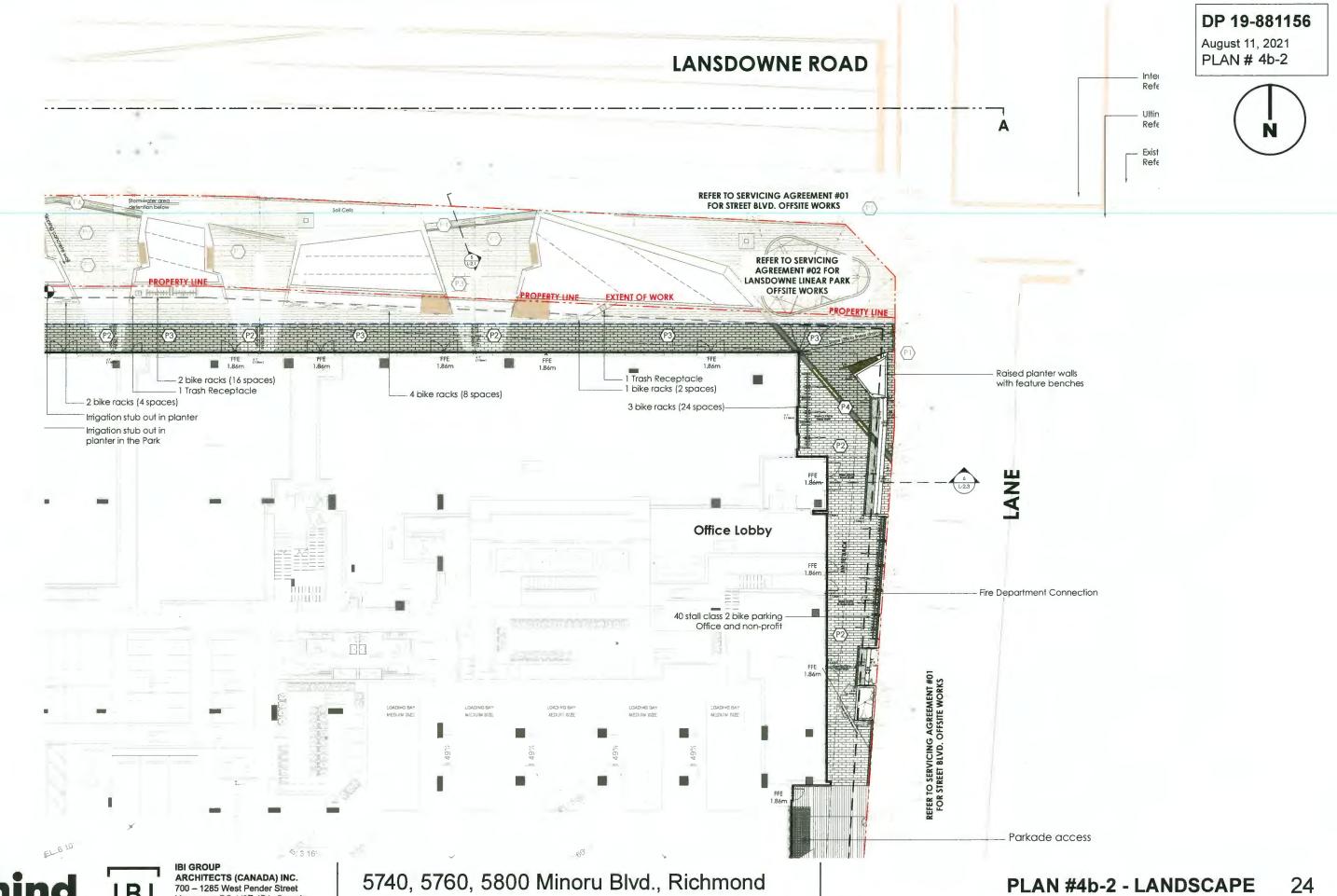
tel 604 683 8797 fax 604 683 0492 ibigroup.com

Date: August 11, 2021

DP 19-881156

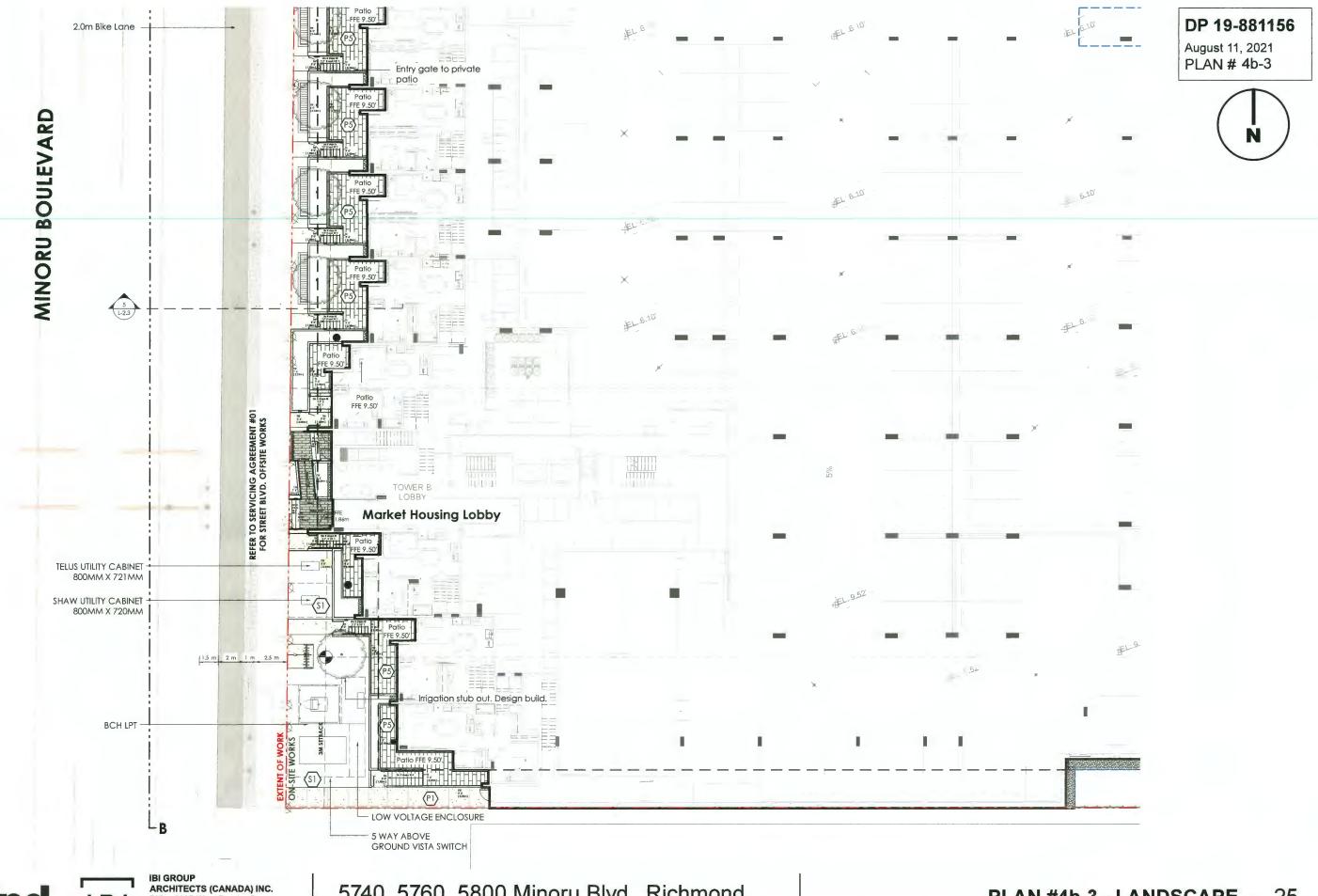
August 11, 2021 PLAN # 4b-1







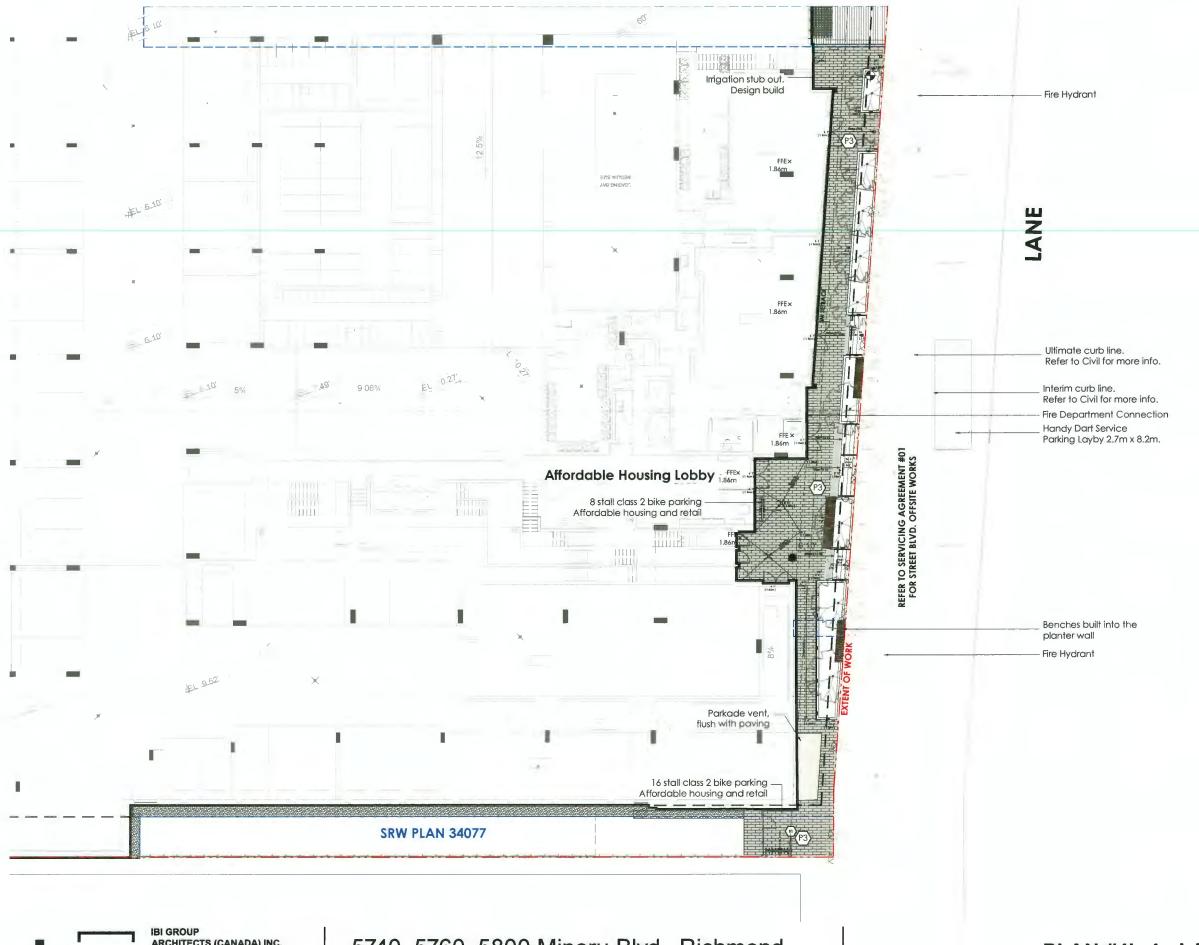








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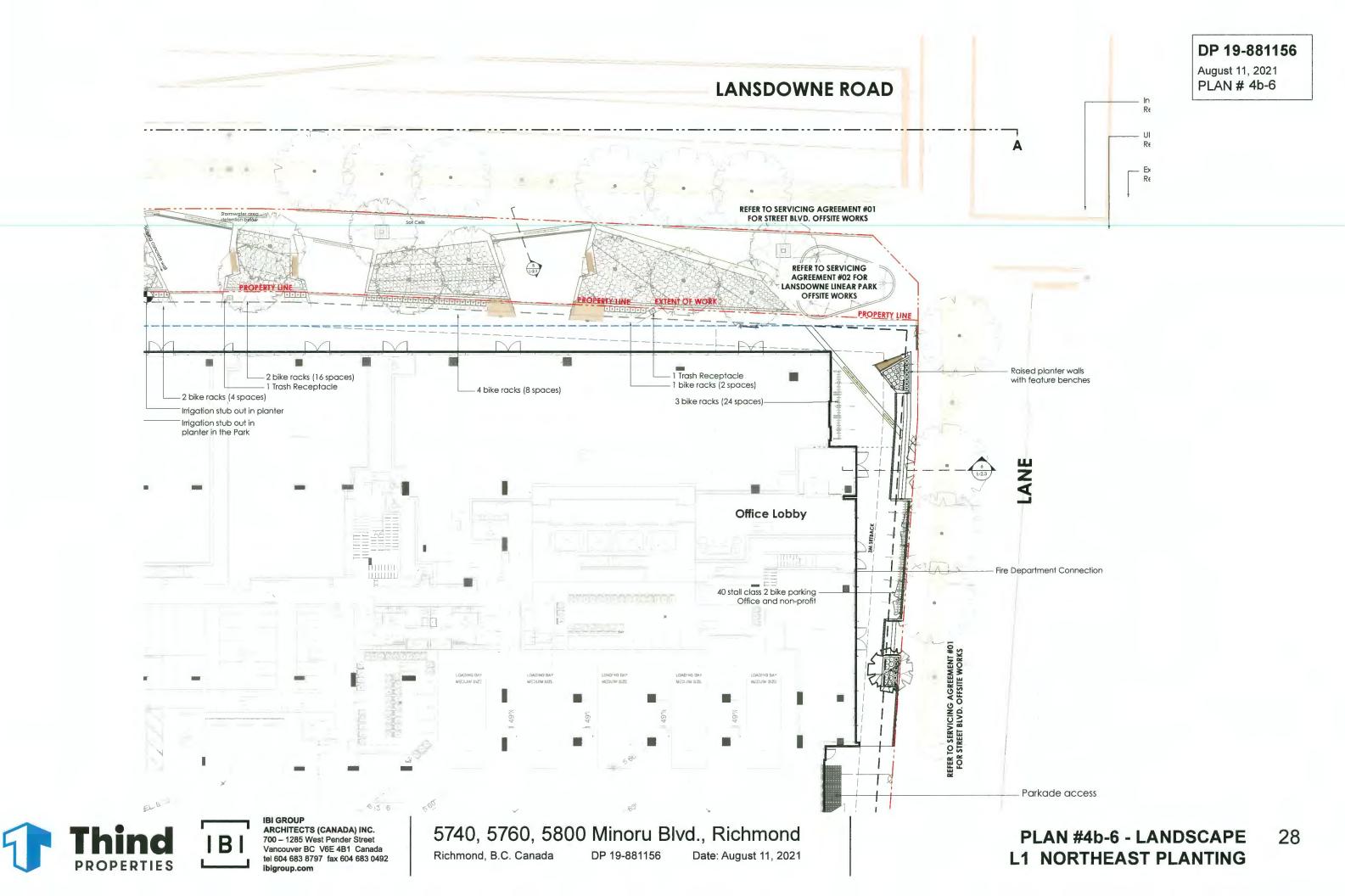


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DP 19-881156

August 11, 2021

PLAN # 4b-4

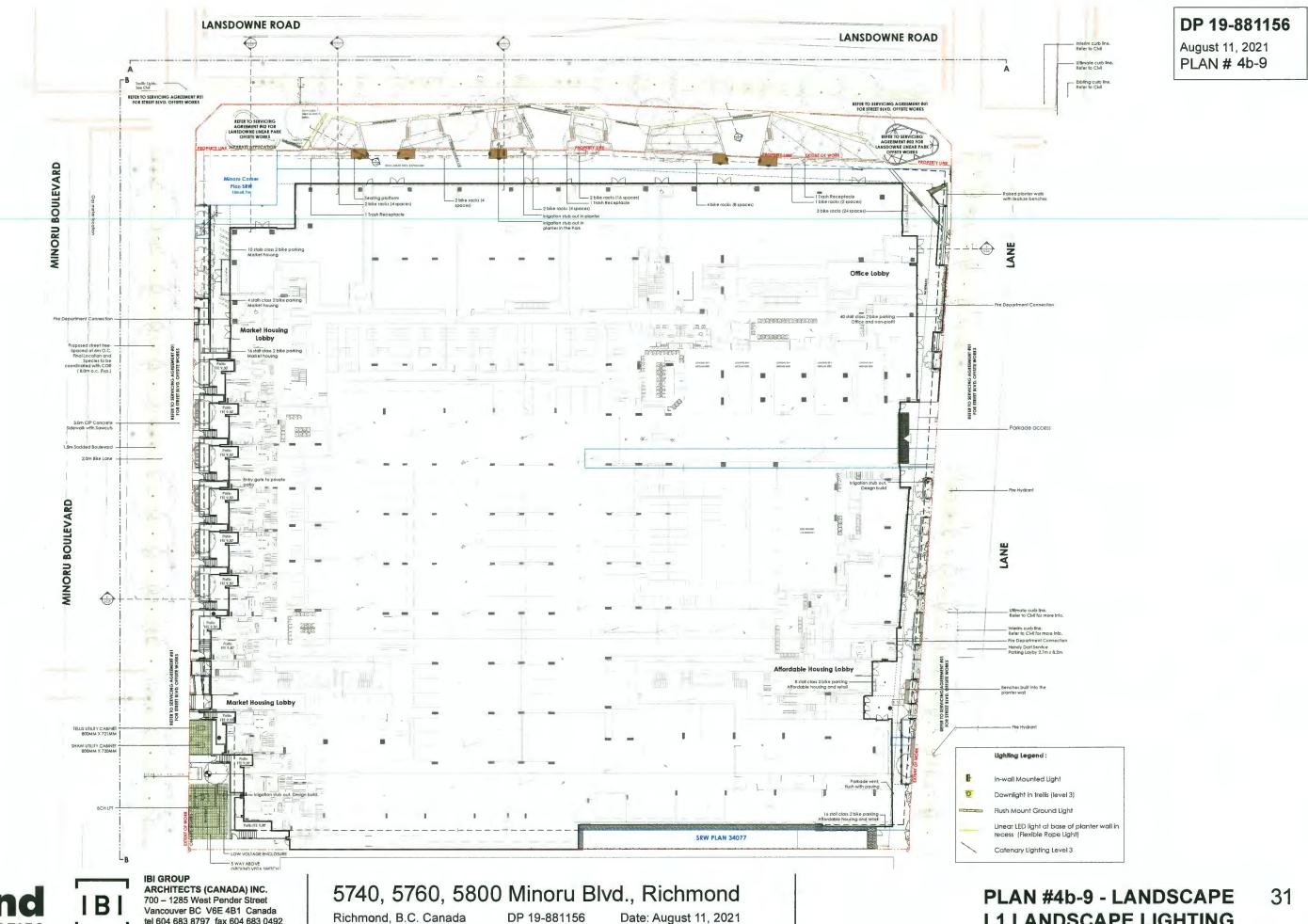


DP 19-881156 2.0m Bike Lane August 11, 2021 PLAN # 4b-7 Entry gate to private MINORU BOULEVARD REFER TO SERVICING AGREEMENT #01 FOR STREET BLVD. OFFSITE WORKS TOWER B **Market Housing Lobby** TELUS UTILITY CABINET 800MM X 721MM SHAW UTILITY CABINET 800MM X 720MM BCH LPT LOW VOLTAGE ENCLOSURE **GROUND VISTA SWITCH** IBI GROUP ARCHITECTS (CANADA) INC. 5740, 5760, 5800 Minoru Blvd., Richmond PLAN #4b-7 - LANDSCAPE 29 700 - 1285 West Pender Street

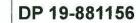




August 11, 2021 PLAN # 4b-8







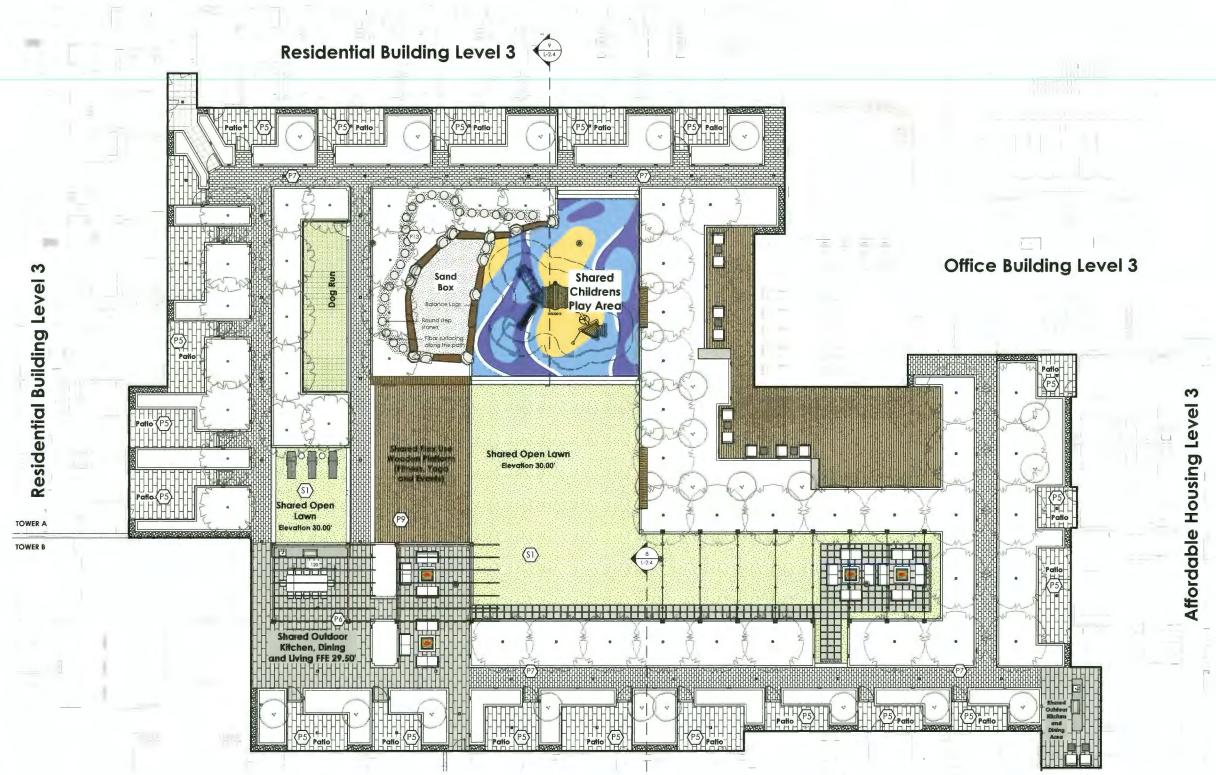
August 11, 2021 PLAN #4c





August 11, 2021 PLAN #4c-1









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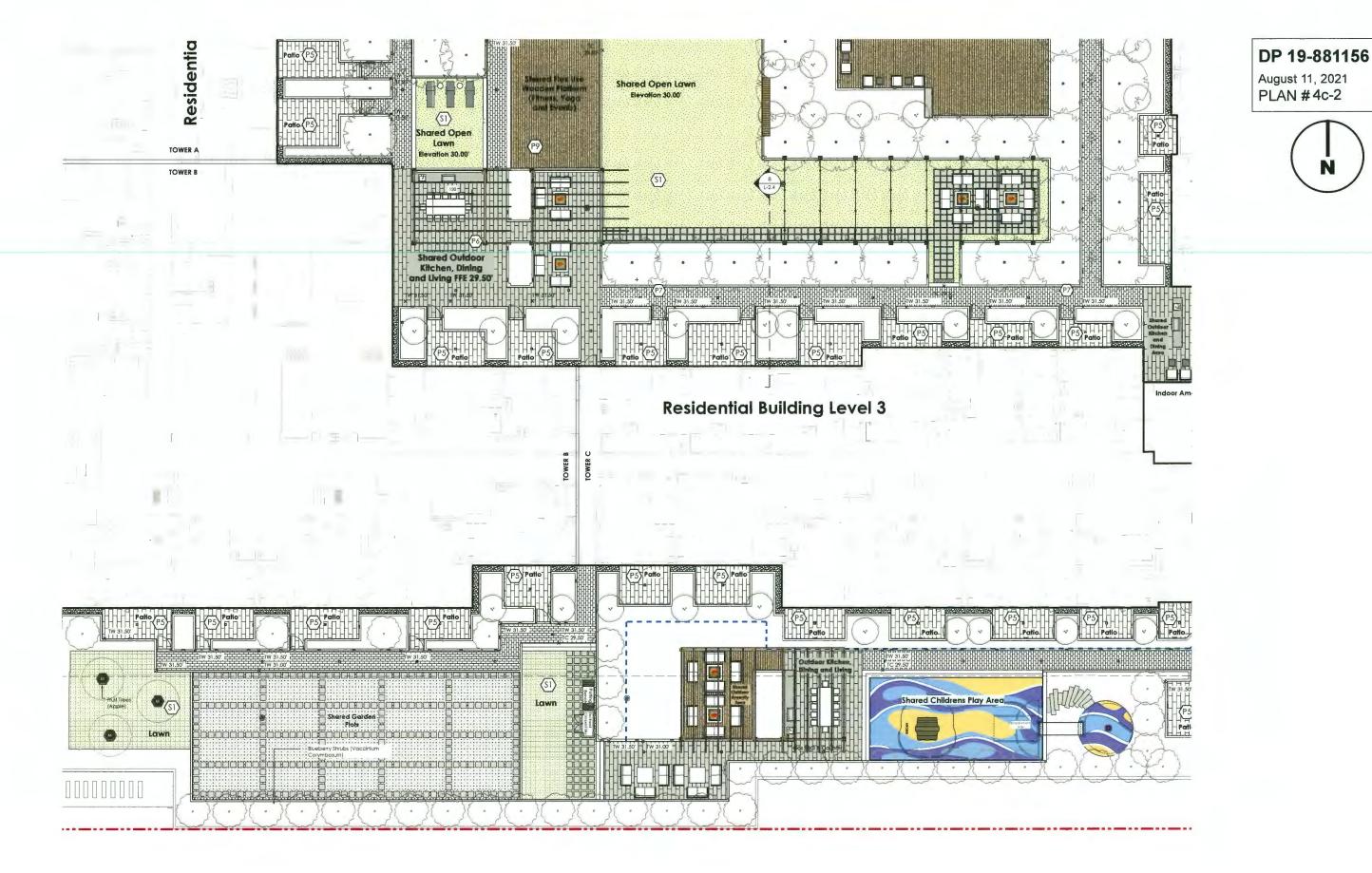
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Richmond, B.C. Canada DP

DP 19-881156

Date: August 11, 2021

PLAN #4c-1 - LANDSCAPE L3 NORTH MATERIALS AND GRADING

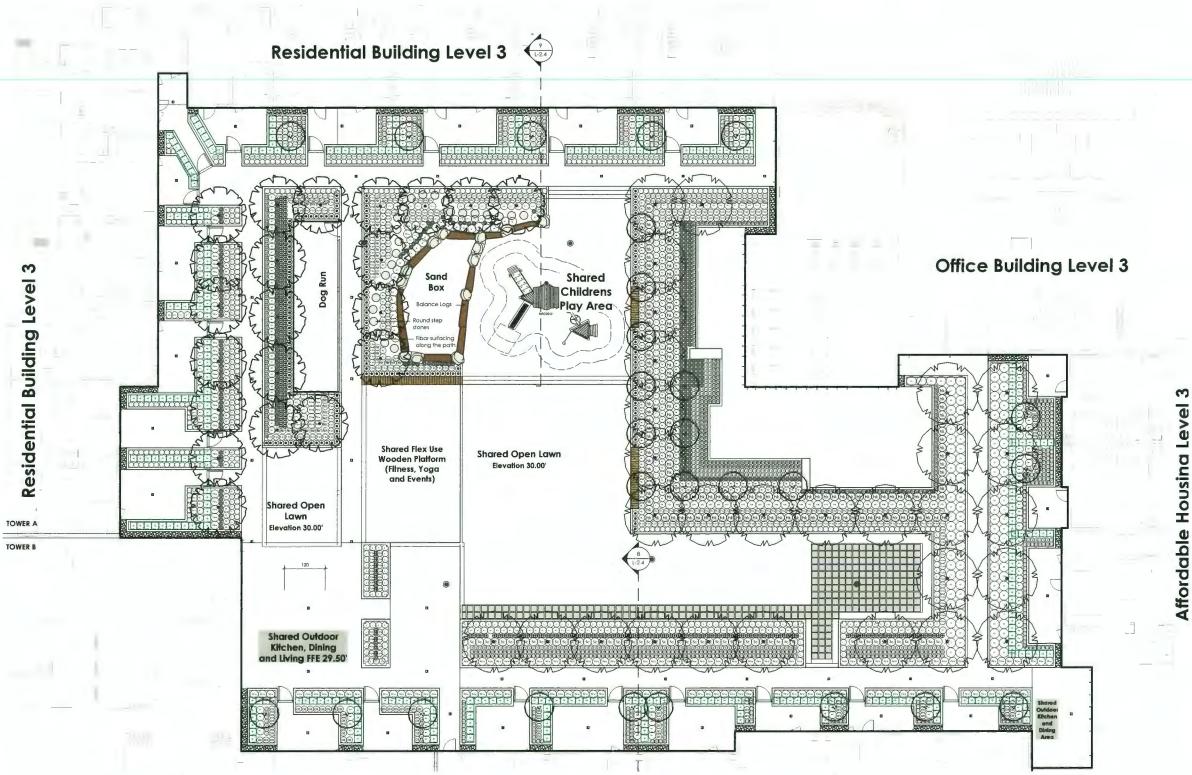






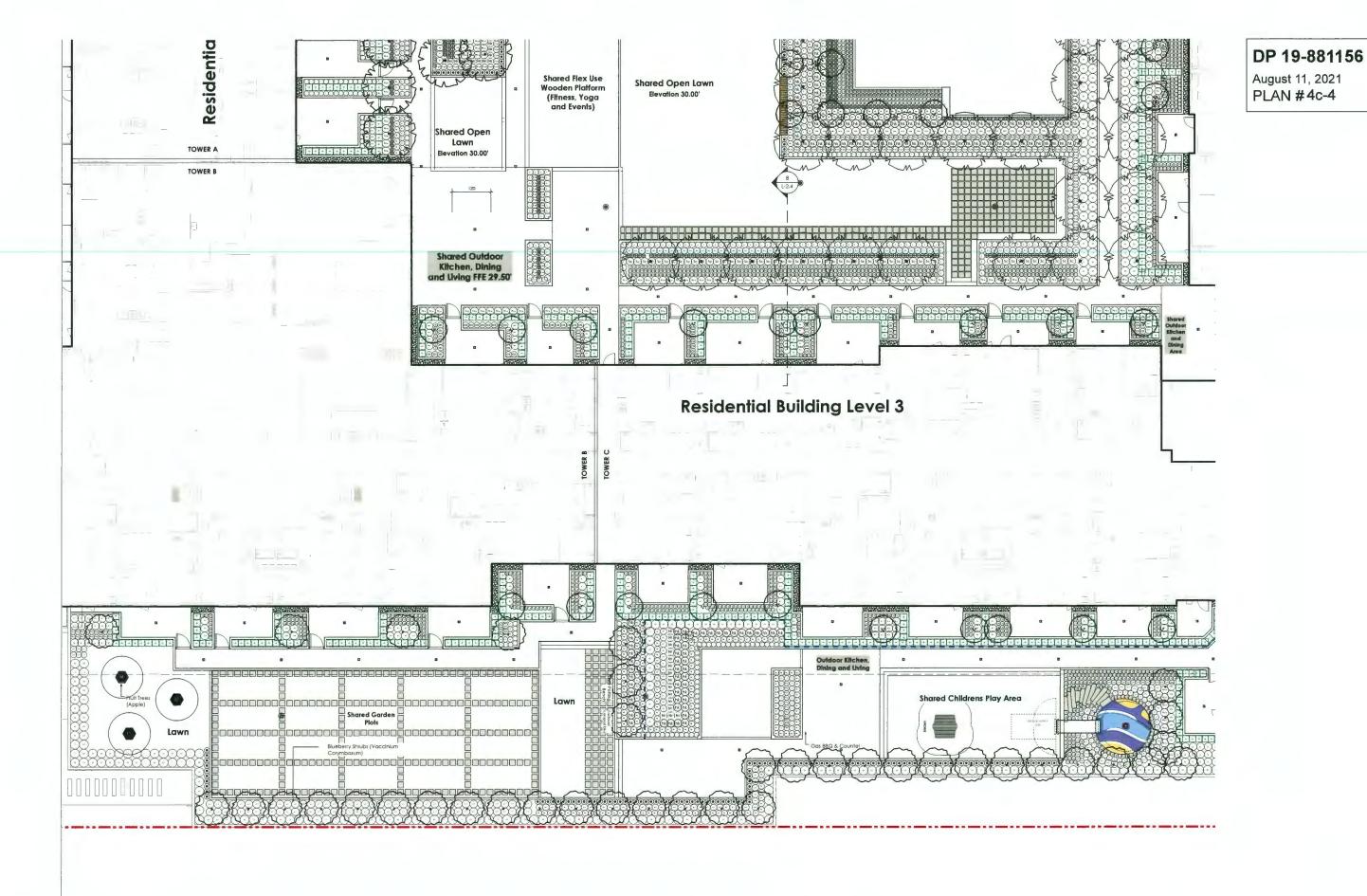
Richmond, B.C. Canada

August 11, 2021 PLAN #4c-3





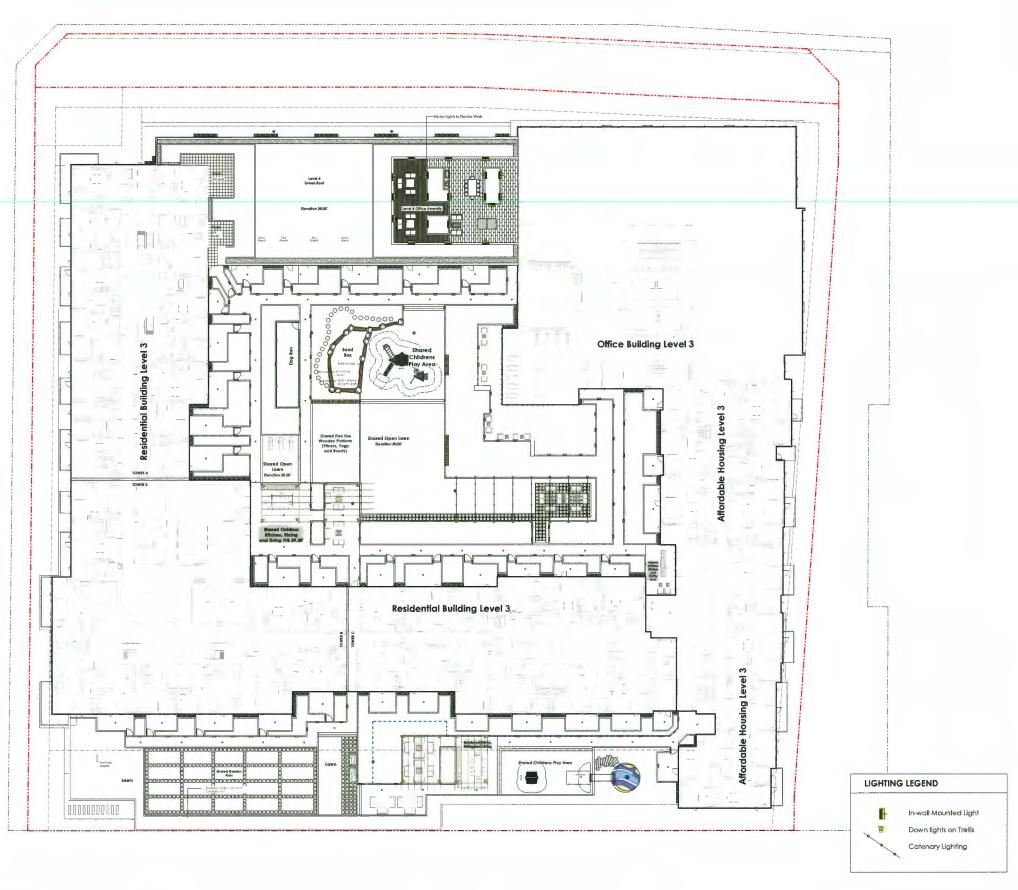








August 11, 2021 PLAN #4c-5









August 11, 2021 PLAN #4d





August 11, 2021 PLAN #4e



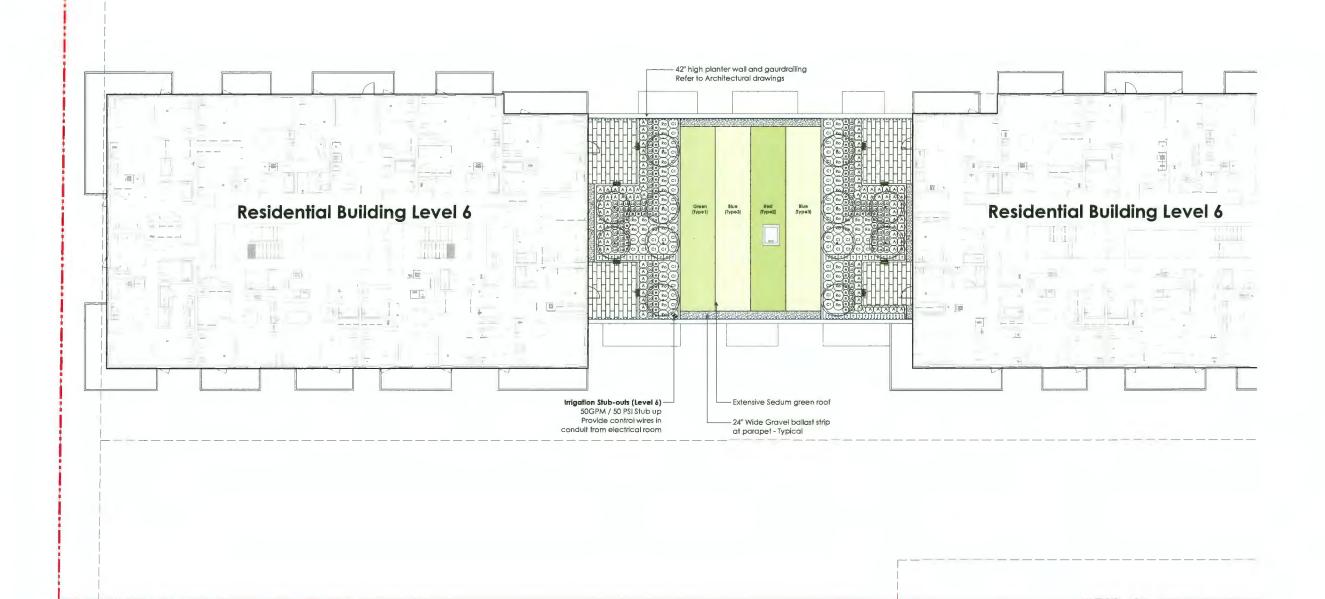






August 11, 2021 PLAN #4f

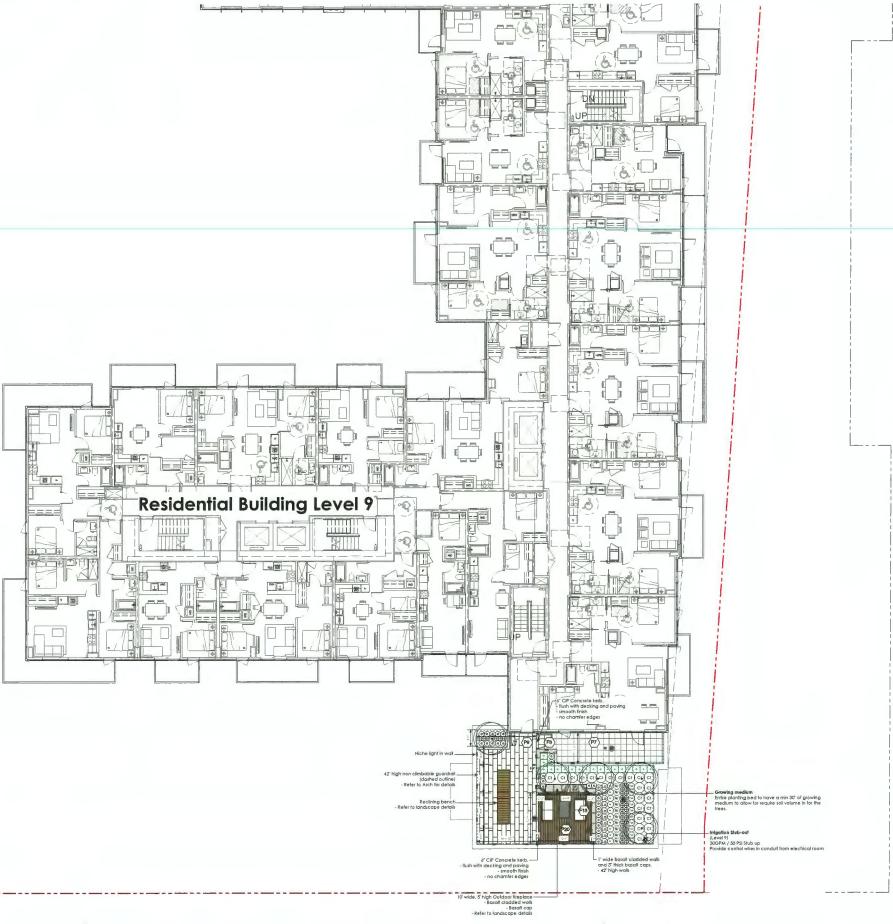








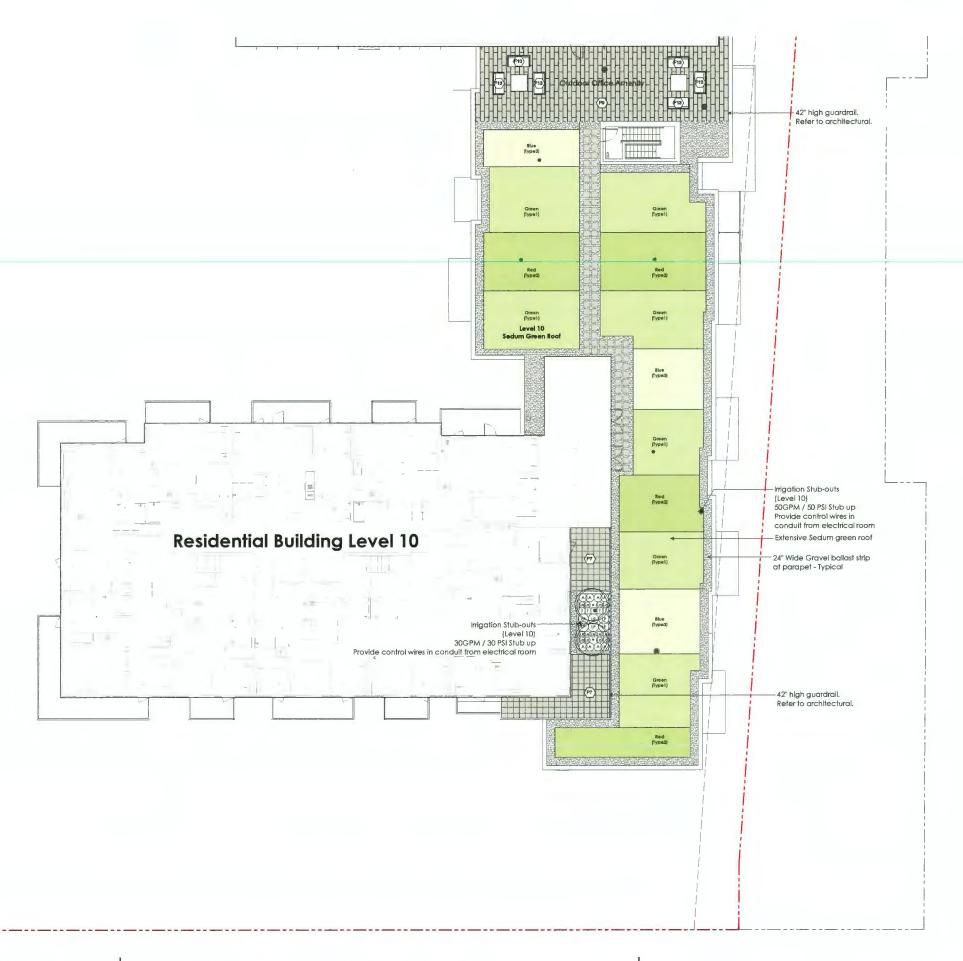
IBI GROUP ARCHITECTS (CANADA) INC. 700 – 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com







August 11, 2021 PLAN #4g



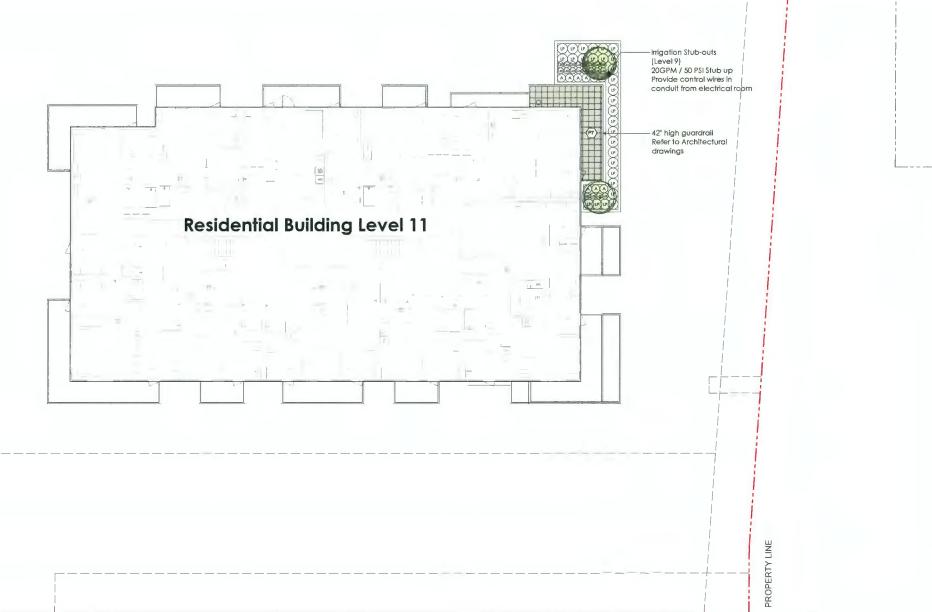




August 11, 2021 PLAN #4h

August 11, 2021 PLAN #4i





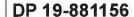




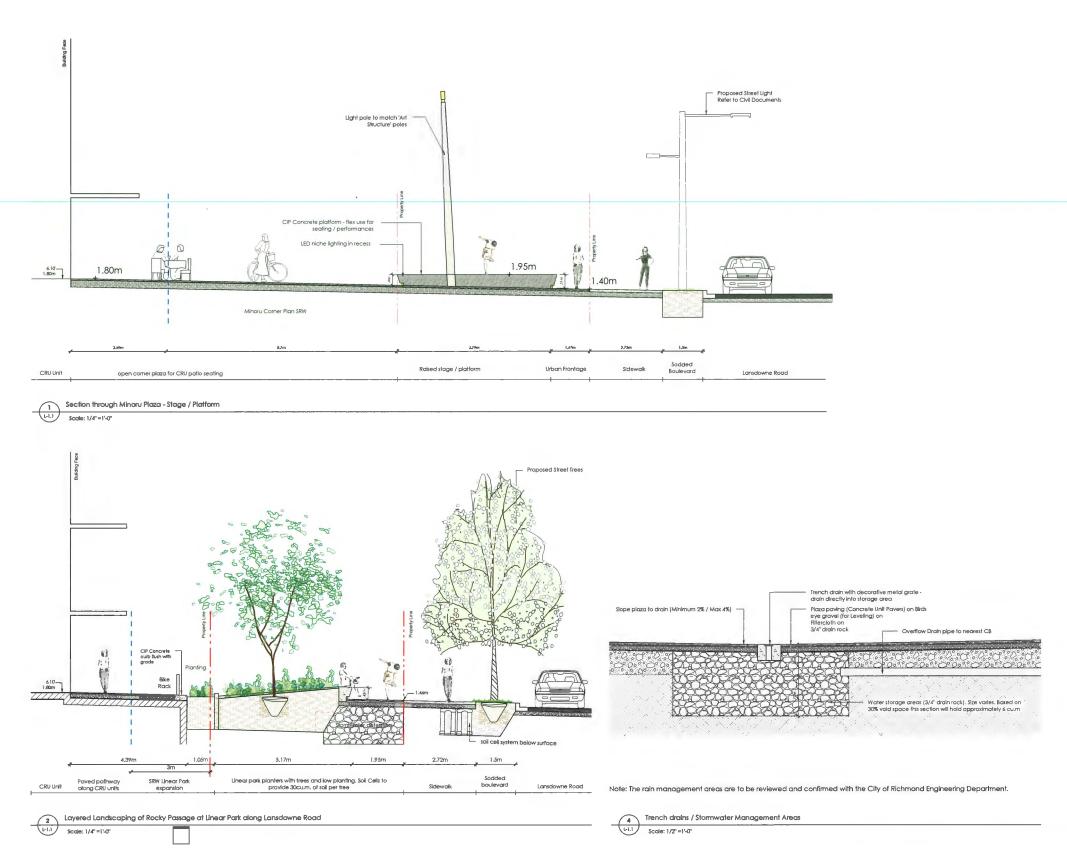
IBI GROUP ARCHITECTS (CANADA) INC. 700 – 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com

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PROPERTY LINE



August 11, 2021 PLAN #4j-1



Note: For Linear Park Information, Reference the separate Drawing Submission - SA-02 (SA 21-923345)

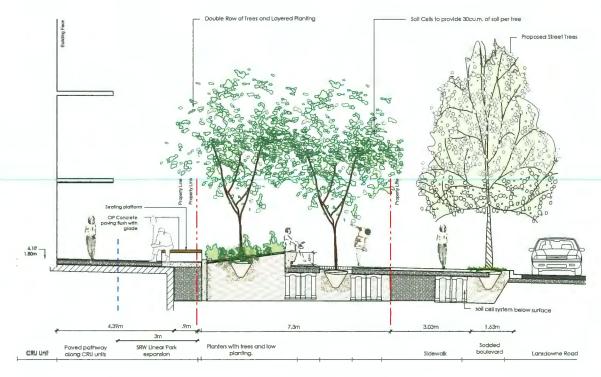
PARK/REFERENCE PLAN





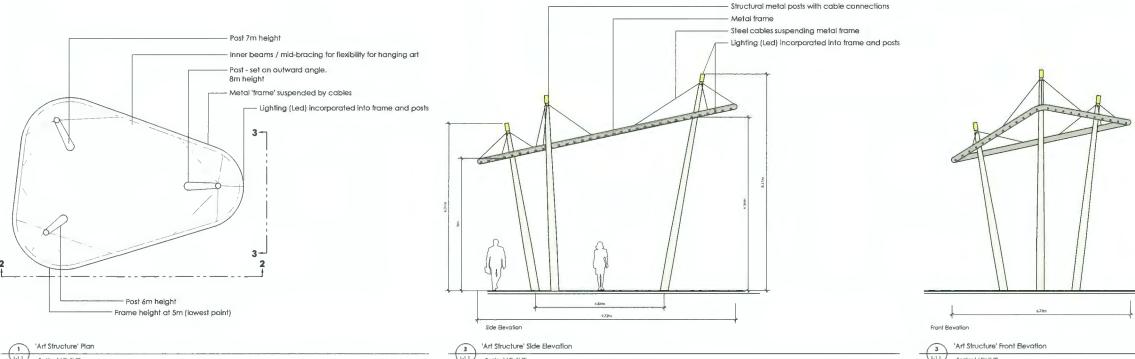
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August 11, 2021 PLAN #4j-2



Layered Landscaping at Linear Park along Lansdowne Road Scale: 1/4" =1'-0"

3 Layered Lands Layered Landscaping of Rocky Passage at Linear Park along Lansdowne Road



Note: For Linear Park Information, Reference the separate Drawing Submission - SA-02 (SA 21-923345)

PARK/REFERENCE PLAN



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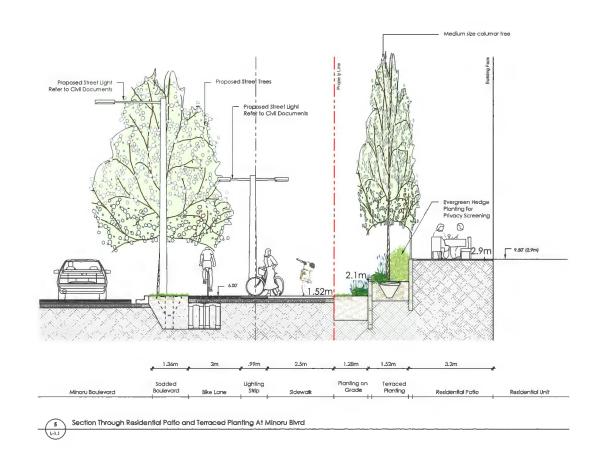
Richmond, B.C. Canada

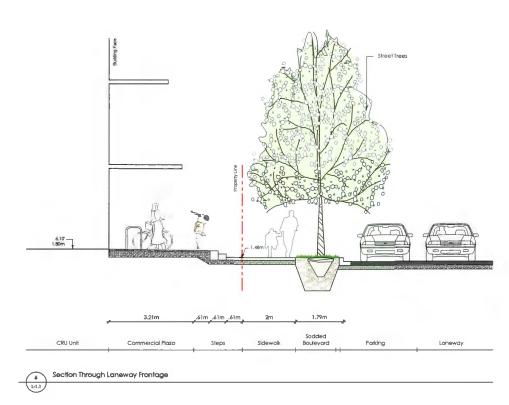
DP 19-881156

Date: August 11, 2021

PLAN #4j-2 - LANDSCAPE **SECTIONS**

August 11, 2021 PLAN #4j-3







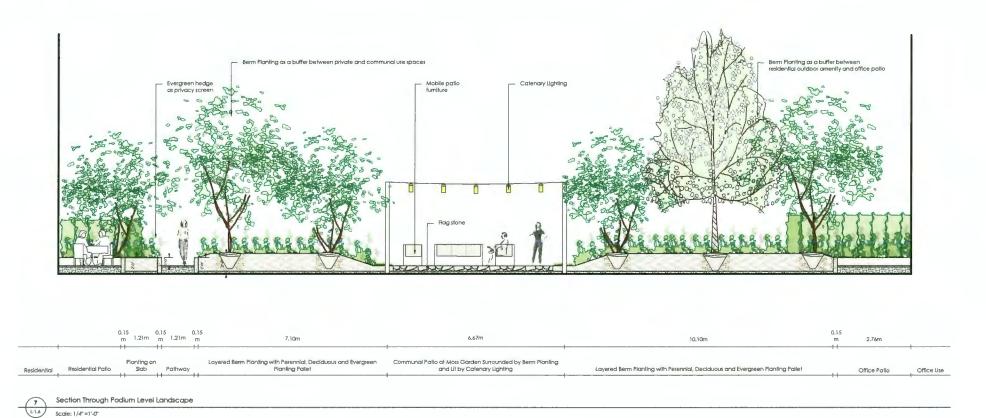


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August 11, 2021 PLAN #4j-4





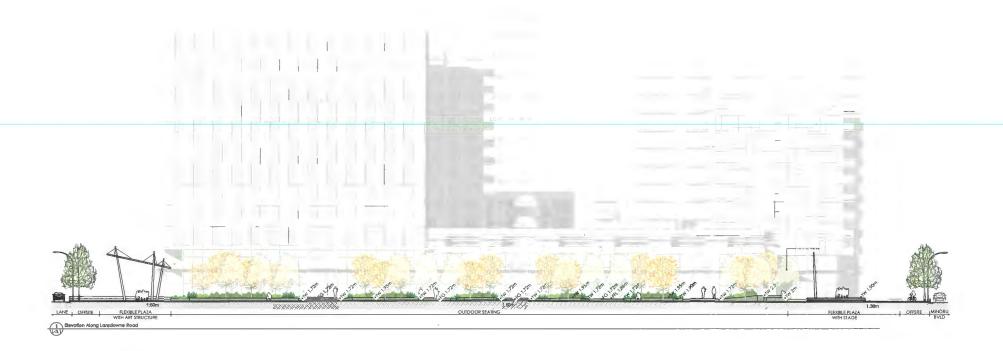






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August 11, 2021 PLAN #4j-5









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DP 19-881156

Date: August 11, 2021

PARK/REFERENCE PLAN
*For Reference Only - Park Design submitted in separate Submission

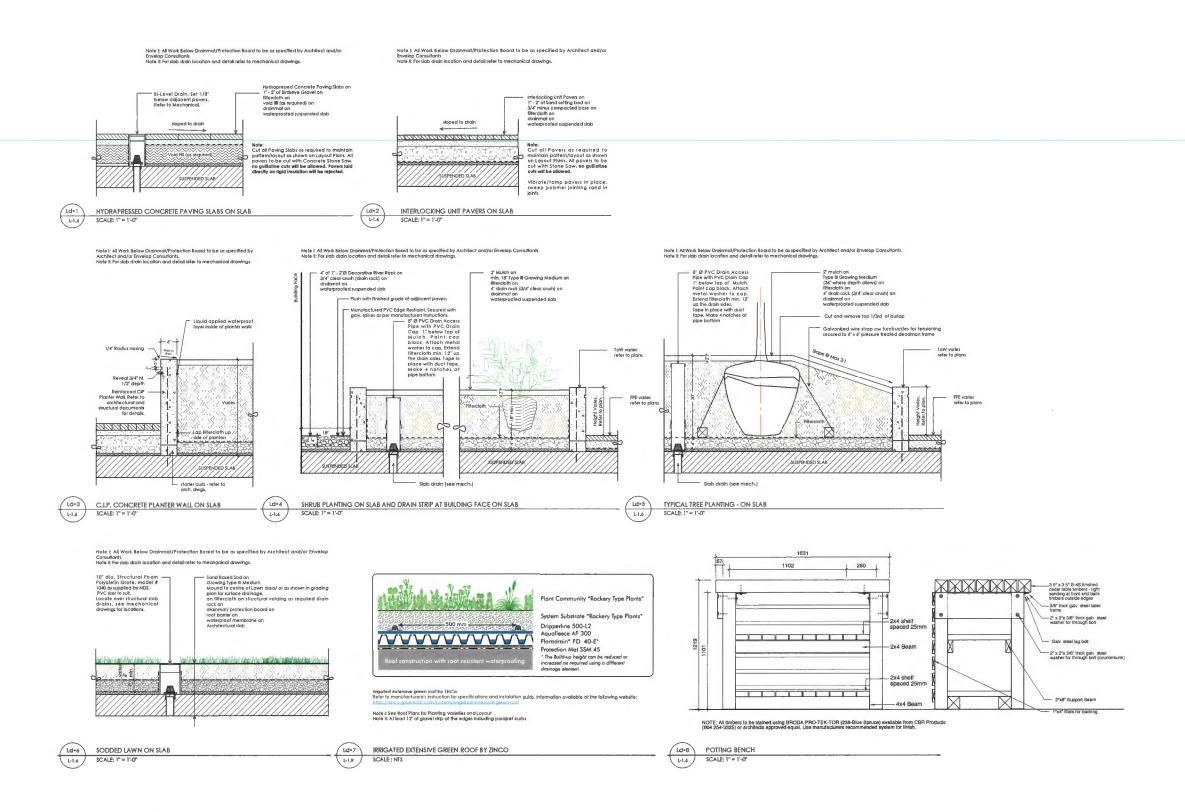
PLAN #4j-5 - LANDSCAPE 48 **ELEVATIONS**





IBI GROUP ARCHITECTS (CANADA) INC. Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com DP 19-881156 August 11, 2021 PLAN #4j-6

August 11, 2021 PLAN #4j-7







August 11, 2021 PLAN #4j-8



State Sta

Double Tower with Turbo Challenge (NRC2012) Provided By KOMPAN/ RecTec Refer to manufacturer's Instruction for specifications and instalation guids, Information available at the following website: https://www.kompan.us/play/organic-robinia/fraditional-play-rand-and-water-play/double-fow embankment stade provided by Rected Side Code: 21 0102-1000 Name: AL-HRB 100 Refer to manufacturere's instruction for specifications and instalation gui-

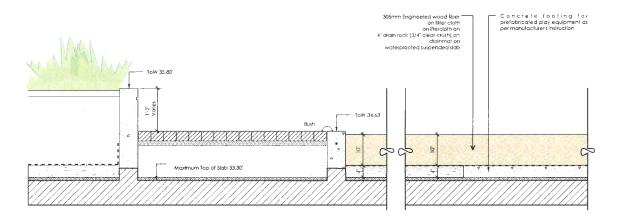
(Ld+1)

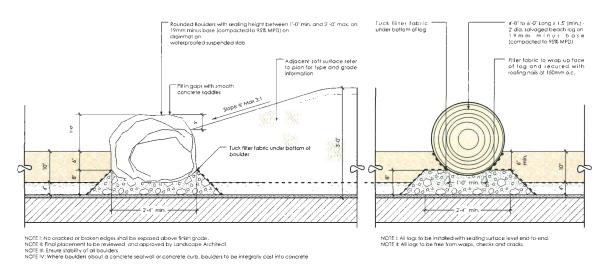
PREFABRICATED PLAY EQUIPMENT BY KOMPAN/ RECTEC SCALE: NTS

Ld*2

EMBANKMENT SLIDE PROVIDED BY RECTEC

SCALE: NTS





(Ld•4

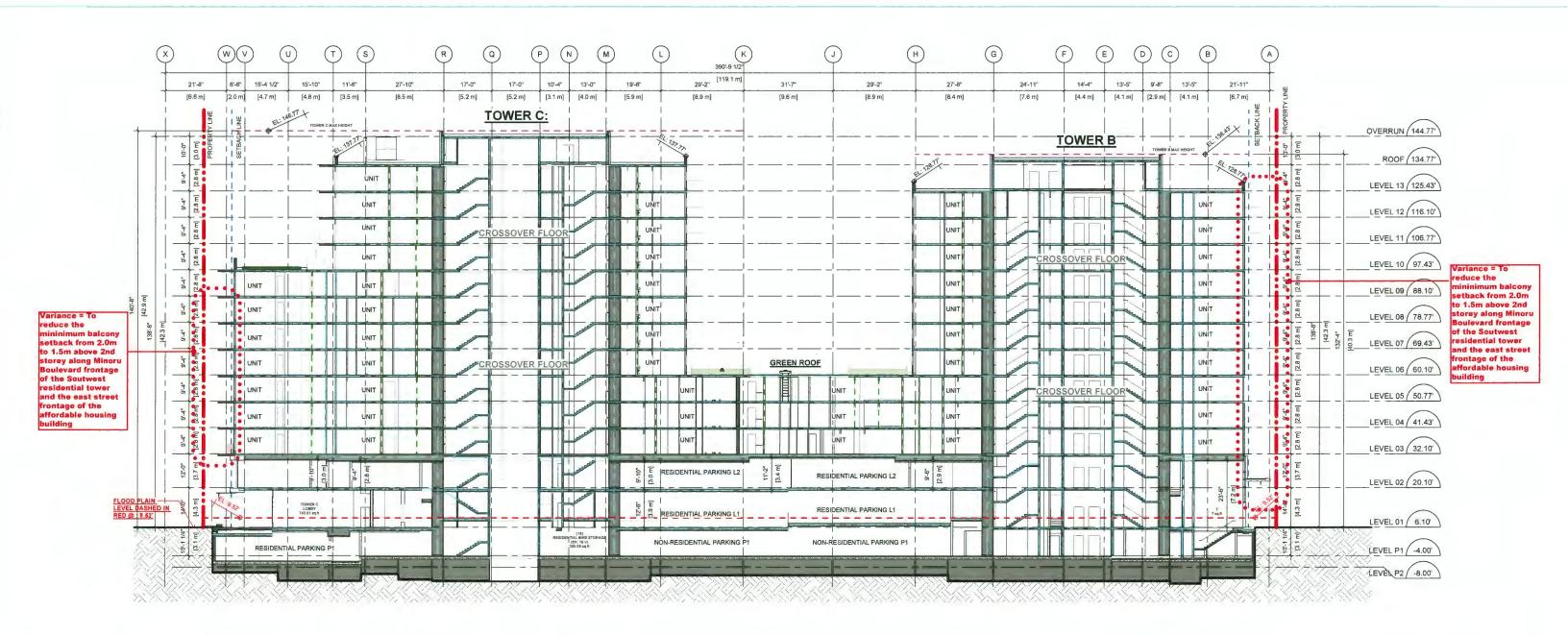
CENTRAL KIDS PLAY AREA EDGE CONDITIONS SCALE: 1" = 1'-0"





August 11, 2021 PLAN #5a

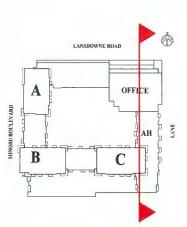


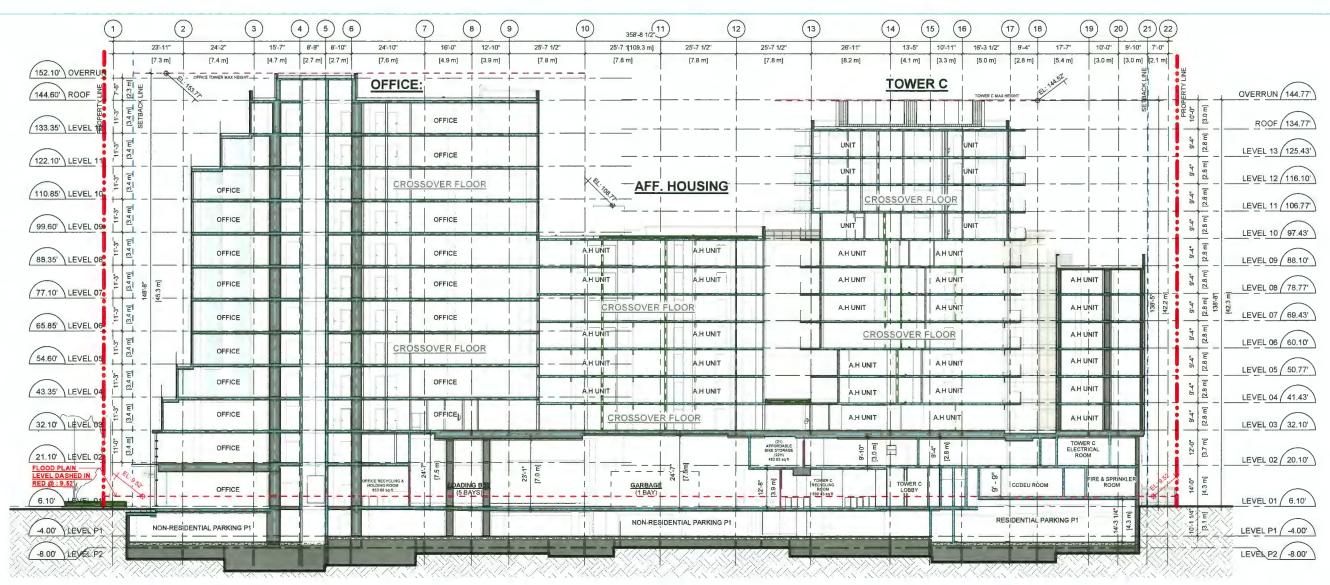






August 11, 2021 PLAN #5b







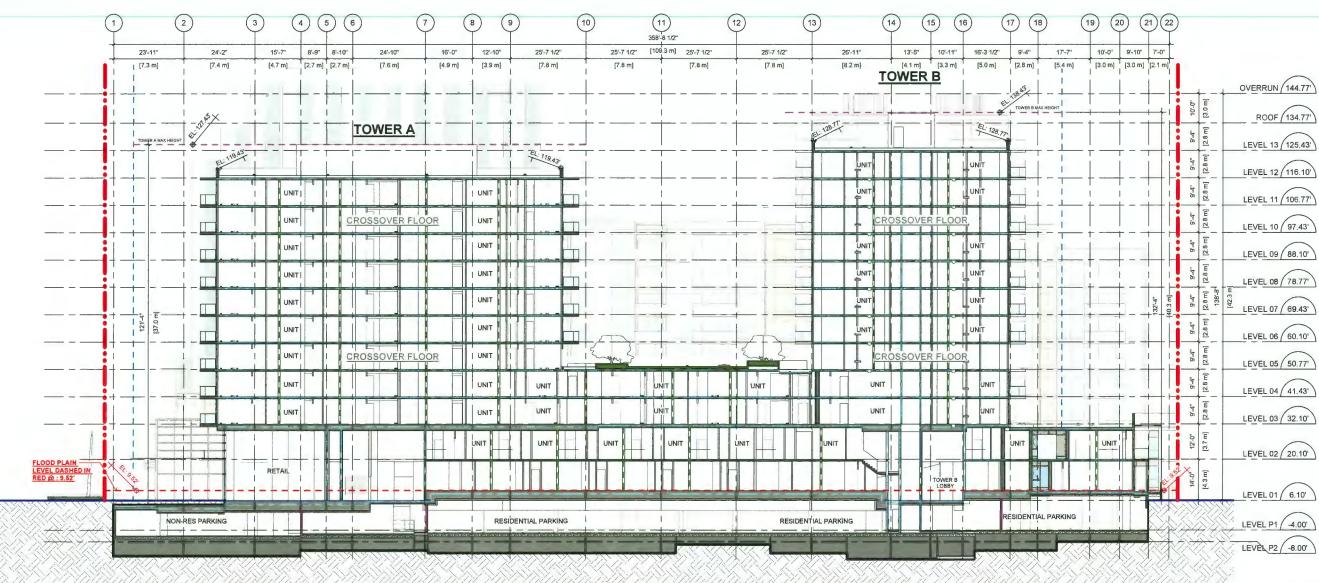


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DP 19-881156

August 11, 2021 PLAN #5c



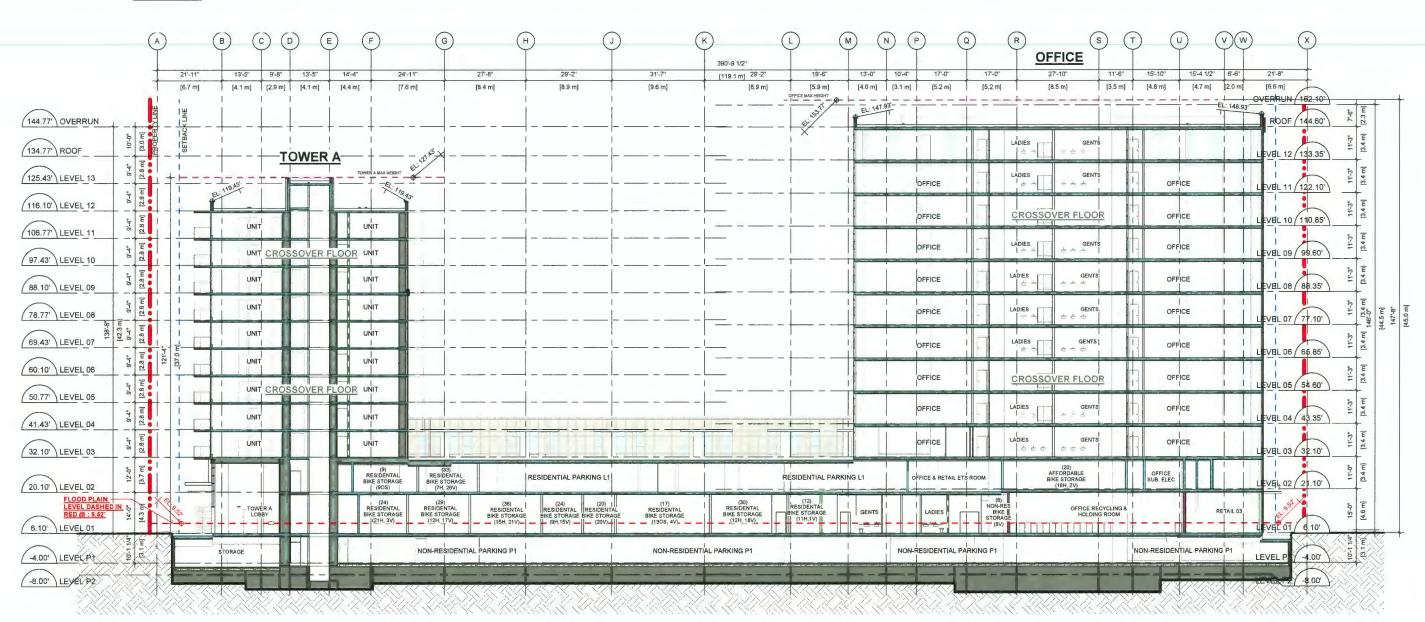






August 11, 2021 PLAN #5d

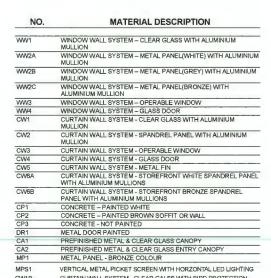


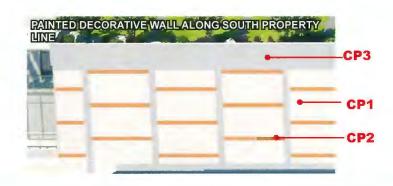






August 11, 2021 PLAN #6a









A

B

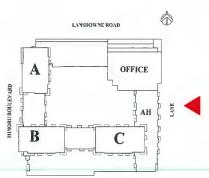
OFFICE

 \mathbf{C}

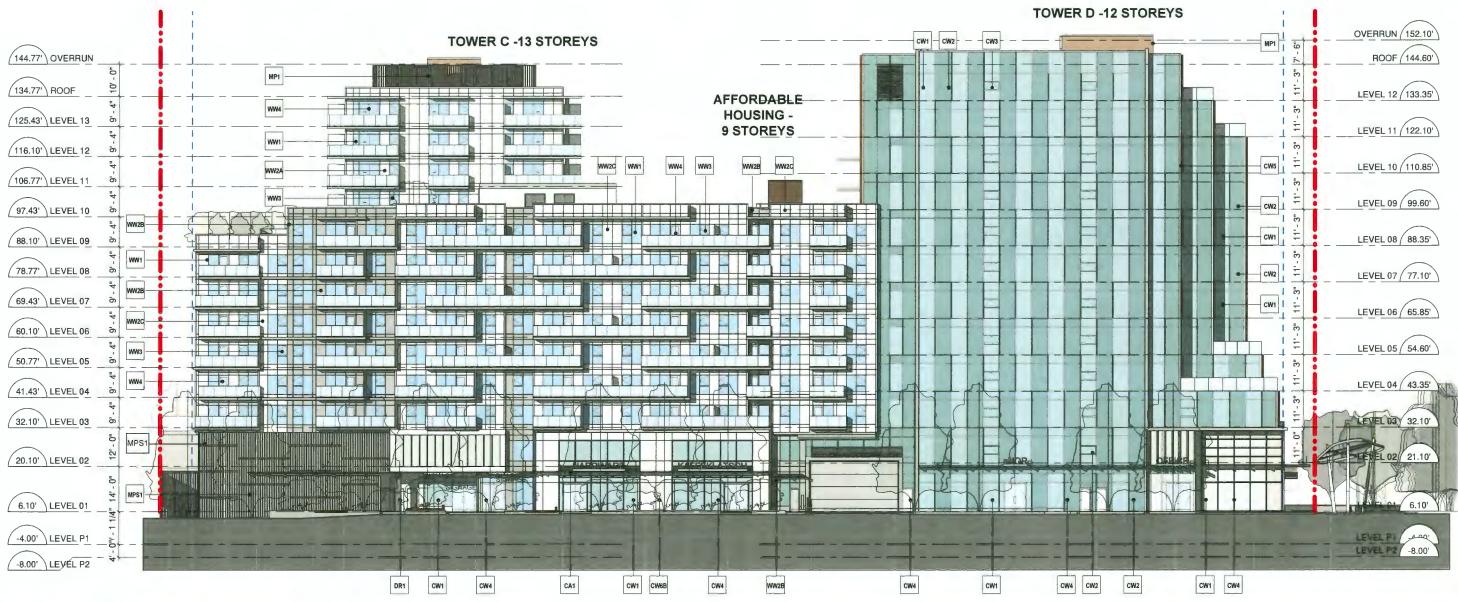


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August 11, 2021 PLAN #6b



NO.	MATERIAL DESCRIPTION	
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION	
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION	
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION	
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION	
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW	
WW4	WINDOW WALL SYSTEM - GLASS DOOR	
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION	
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION	
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW	
CW4	CURTAIN WALL SYSTEM - GLASS DOOR	
CW5	CURTAIN WALL SYSTEM - METAL FIN	
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS	
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS	
CP1	CONCRETE - PAINTED WHITE	
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL	
CP3	CONCRETE - NOT PAINTED	
DR1	METAL DOOR PAINTED	
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY	
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY	
MP1	METAL PANEL - BRONZE COLOUR	
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING	
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS	



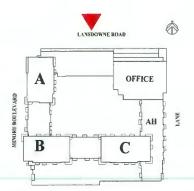




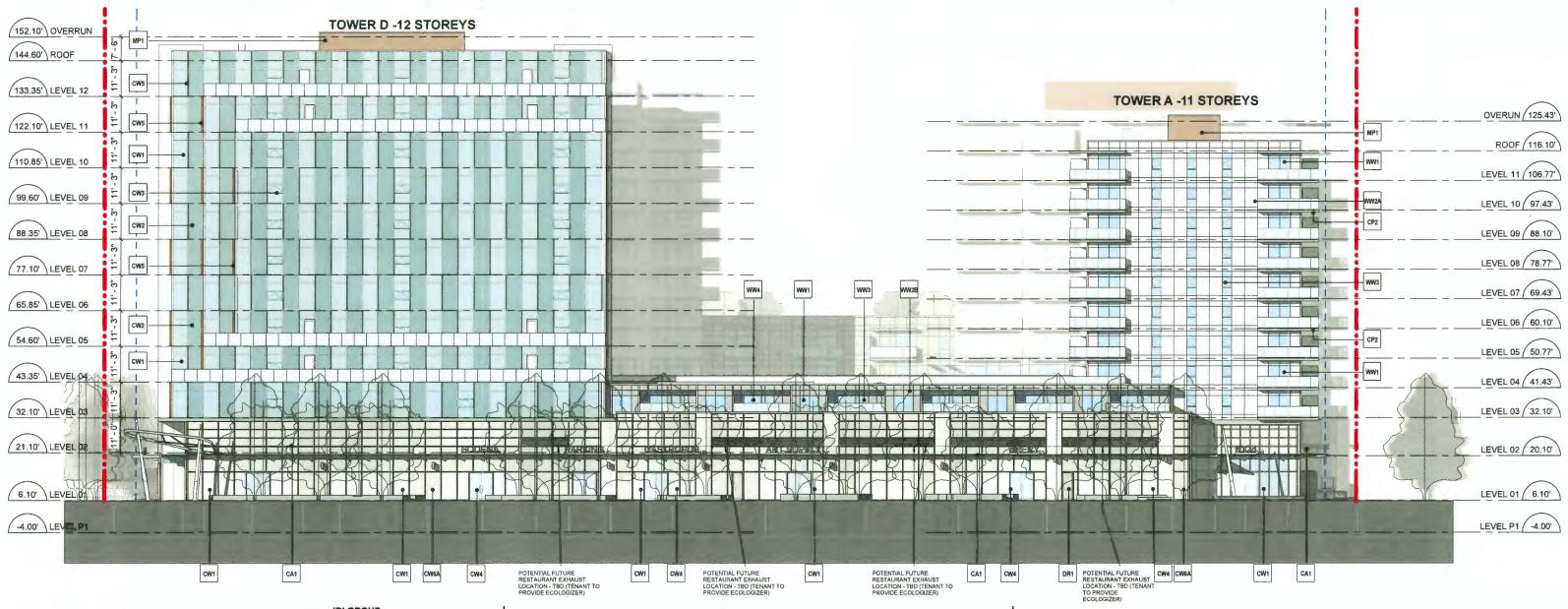
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DP 19-881156	
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August 11, 2021 PLAN #6c



NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUN MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS







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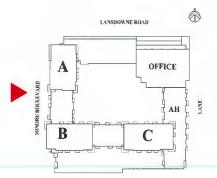
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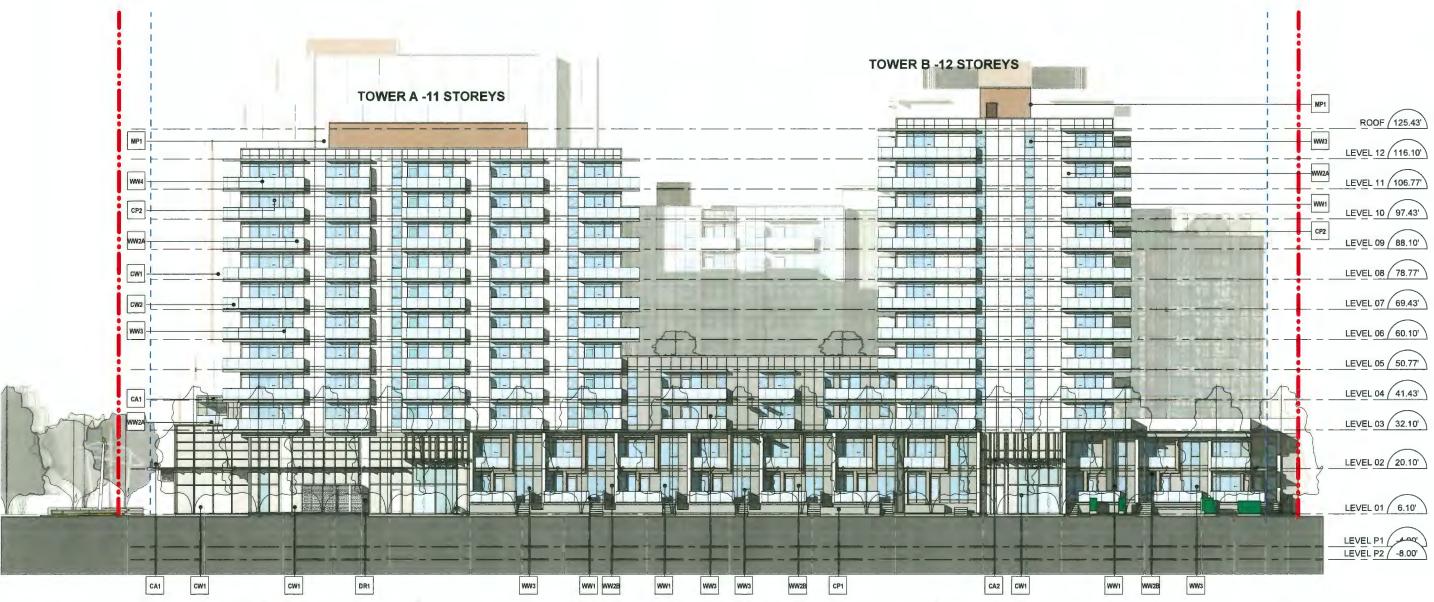
DP 19-881156

Date: August 11, 2021

August 11, 2021 PLAN #6d



NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM — METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CM3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS







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Richmond, B.C. Canada

DP 19-881156

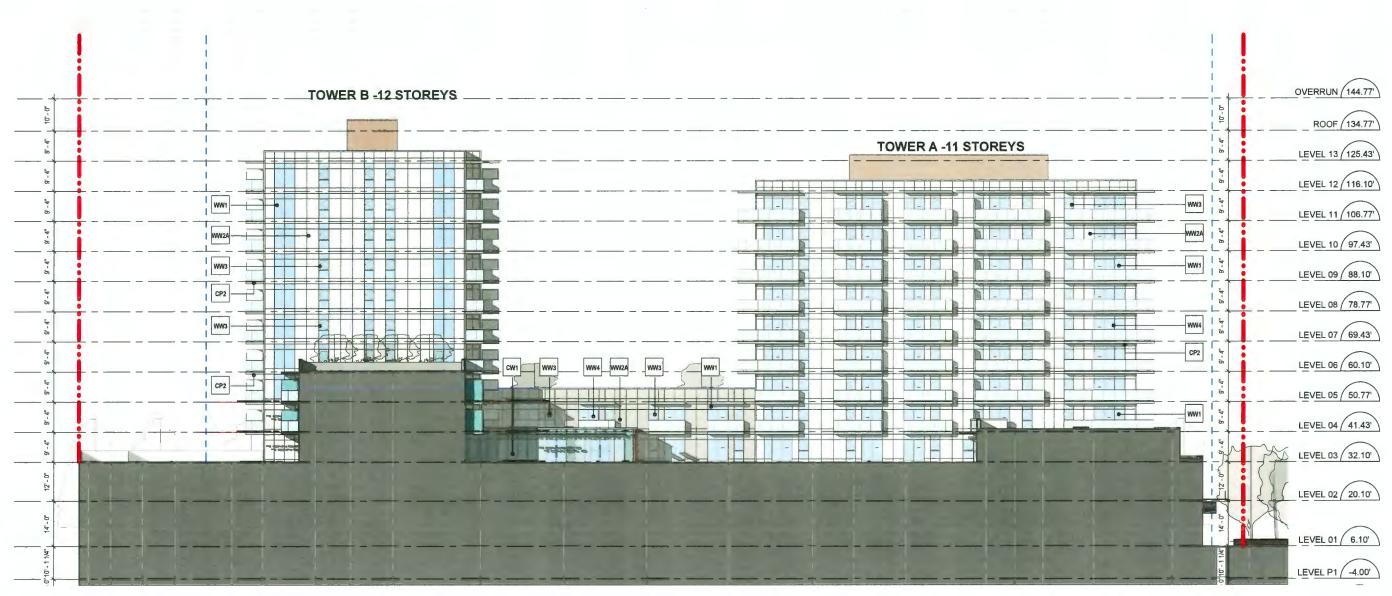
Date: August 11, 2021

DP 19-881156	DP	19	-88	11	56
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August 11, 2021 PLAN #6e



NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS





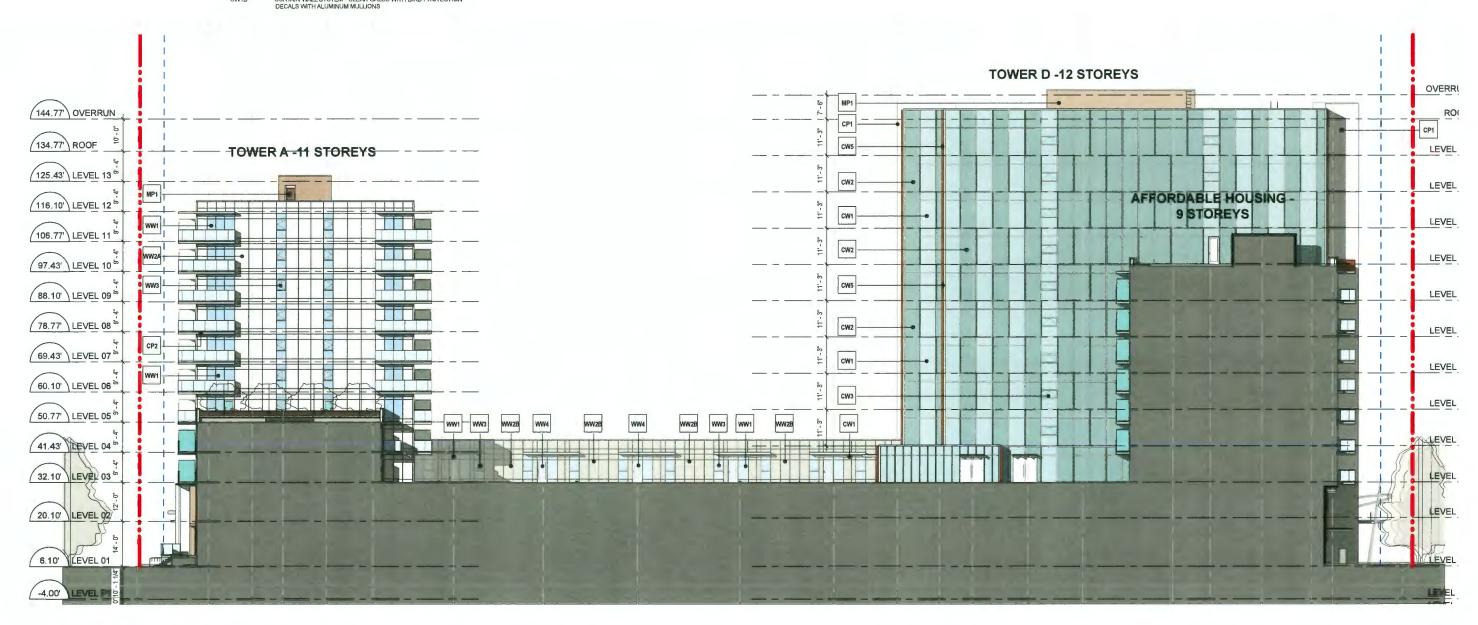


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August 11, 2021 PLAN #6f



NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION

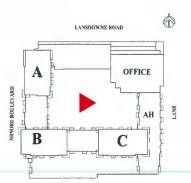




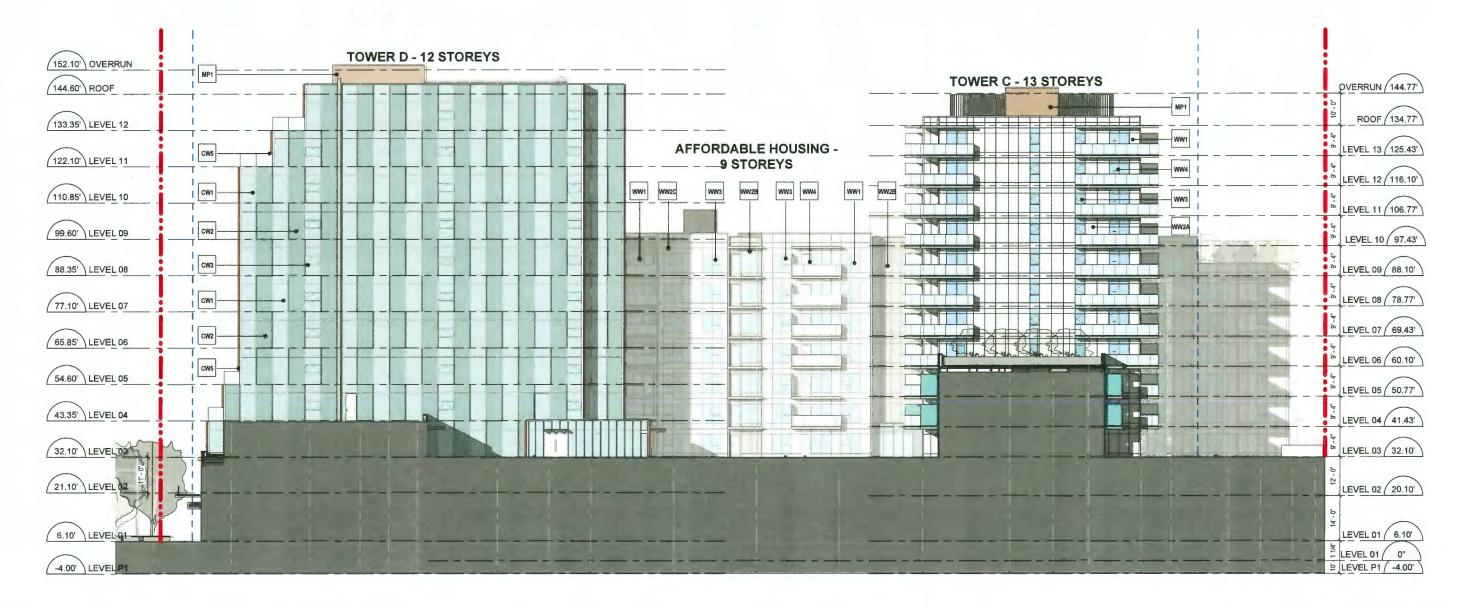


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August 11, 2021 PLAN #6g



NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL, SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS







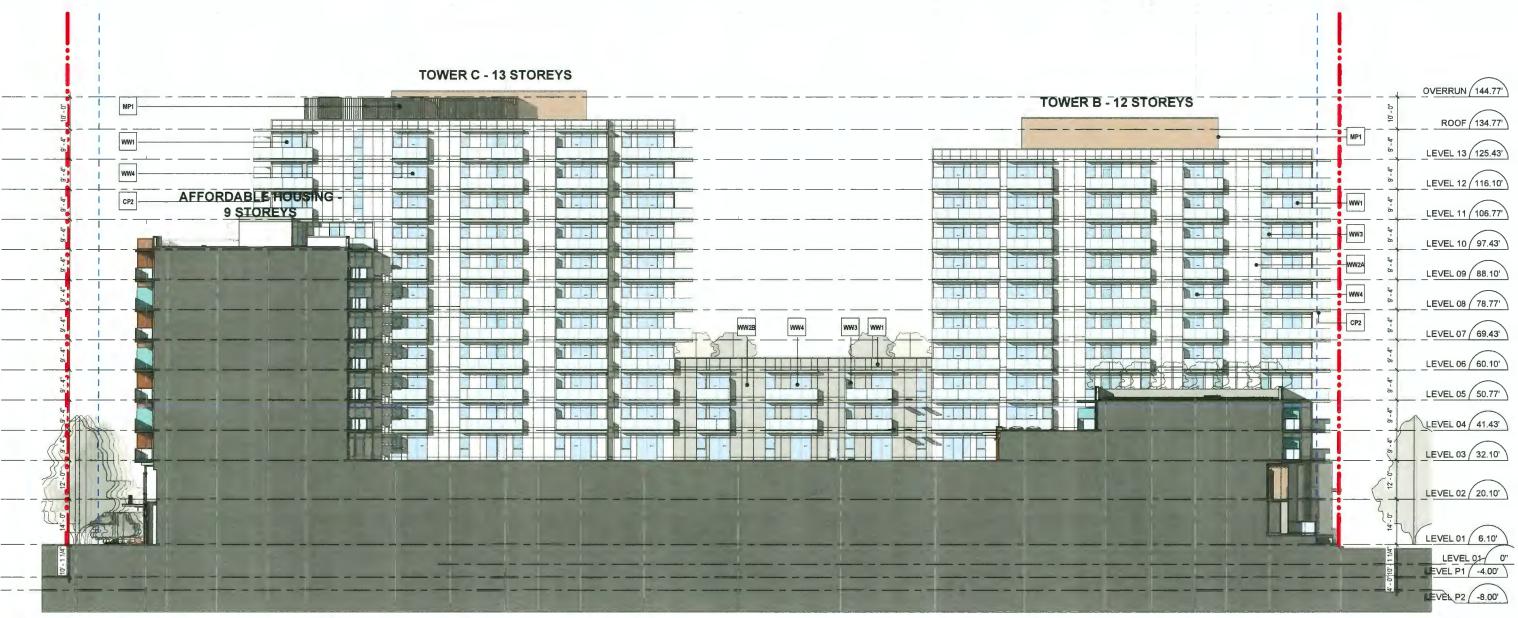
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August 11, 2021 PLAN #6h



NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
VVV4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS







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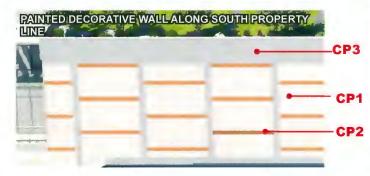
CW6B

WW1 WW3 WW4

DP 19-881156August 11, 2021

PLAN #7a

NO.	MATERIAL DESCRIPTION
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION











WW2B

MPS1 CP3

IBI

CW6A

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CW6A WW2A

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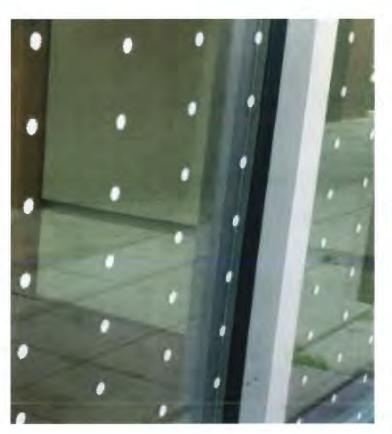
CW5

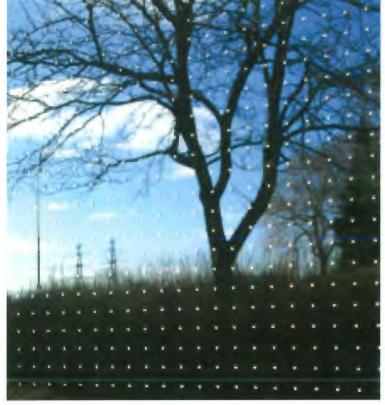
August 11, 2021 PLAN #7b

BELOW THE FOURTH STOREY - WE WILL INCREASE THE VISIBILITY OF THE GLASS TO PROVIDE A BIRD FRIENDLY DESIGN BY, APPLYING VISULAR MARKERS TO EXTERIOR OF GLASS SURFACES (NO GREATER THAN 5 CM VERTICALLY OR 10 CM HORIZONTALLY

ENTIRE OFFICE GLASS FACADE TO BE BIRD FRIENDLY BY INCORPORATING THE FOLLOWING:

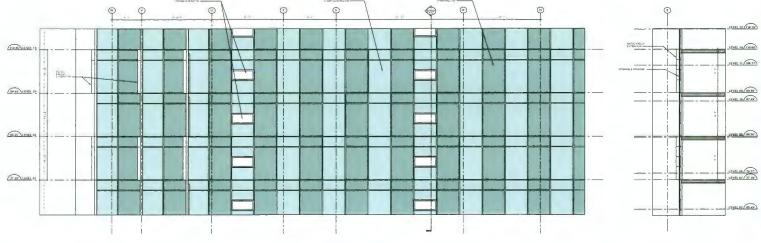
- 1. ALTERNATING SPANDREL AND CLEAR GLAZING TO INTERRUPT RELECTIVITY OF THE GLASS AND REDUCE ANY "CLEAR" PATH TO SKY OR VEGETATION
- 2. BROWN MULLION CAP EXTENSIONS USED TO DAMPEN RELECTIONS
- 3. NO OPEN VENTS WHERE A BIRDS MAY BECOME ENTRAPPED WHEN INVESTIGATING POTENTIAL NESTING SITES.











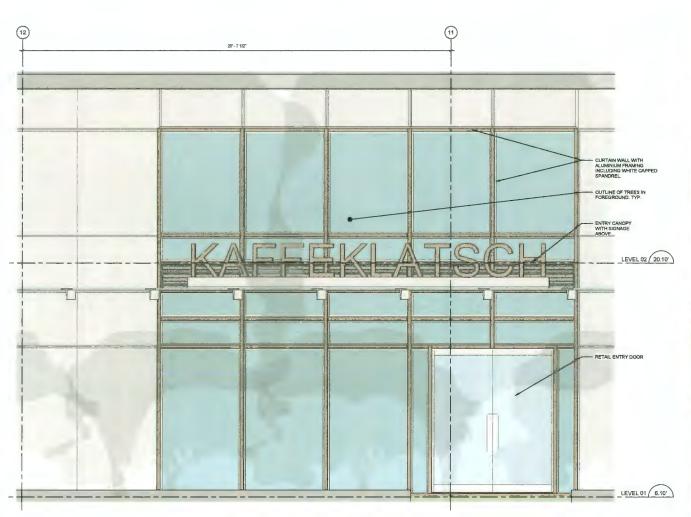




August 11, 2021 PLAN #8a-1



	ELEVATION MATERIAL
NO.	MATERIAL DESCRIPTION
WW1	WINDDW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL (GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS





2 ENLARGED PARTIAL EAST ELEVATION @ RETAIL UNIT

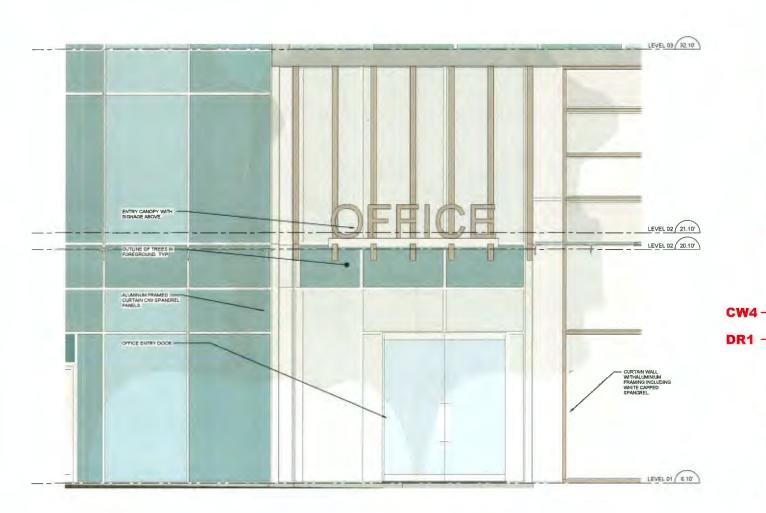




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	ELEVATION MATERIAL
NO.	MATERIAL DESCRIPTION
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
WW2A	WINDOW WALL SYSTEM - METAL PANEL (WHITE) WITH ALUMINIUM MULLION
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW
WW4	WINDOW WALL SYSTEM - GLASS DOOR
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW
CW4	CURTAIN WALL SYSTEM - GLASS DOOR
CW5	CURTAIN WALL SYSTEM - METAL FIN
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS
CP1	CONCRETE - PAINTED WHITE
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL
CP3	CONCRETE - NOT PAINTED
DR1	METAL DOOR PAINTED
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY
MP1	METAL PANEL - BRONZE COLOUR
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS

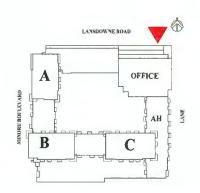




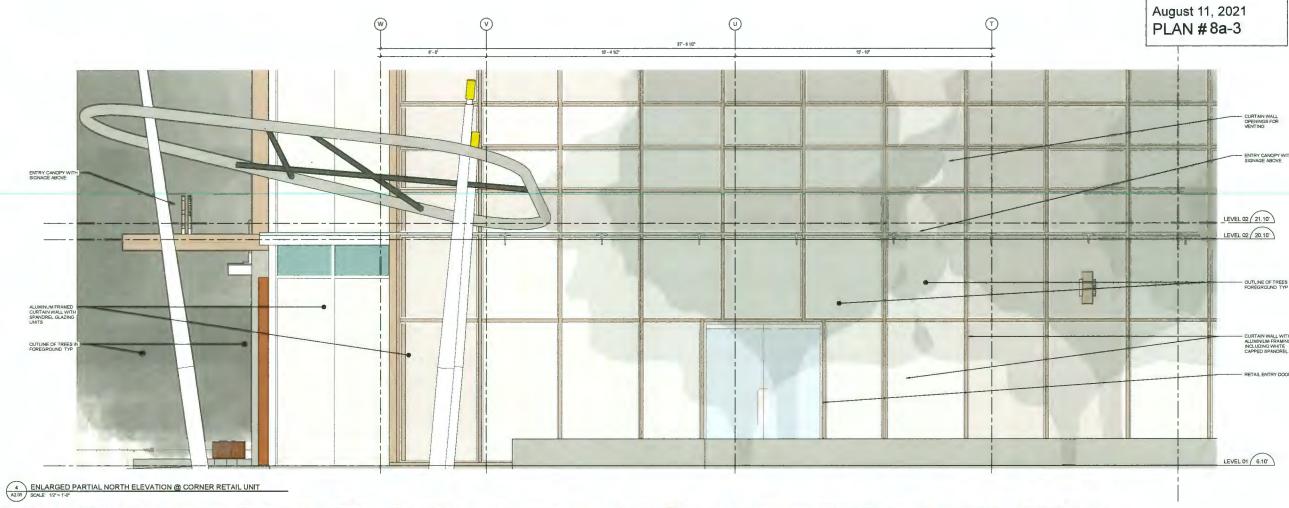








	ELEVATION MATERIAL				
NO.	MATERIAL DESCRIPTION				
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION				
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION				
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION				
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION				
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW				
WW4	WINDOW WALL SYSTEM - GLASS DOOR				
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION				
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION				
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW				
CW4	CURTAIN WALL SYSTEM - GLASS DOOR				
CW5	CURTAIN WALL SYSTEM - METAL FIN				
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS				
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS				
CP1	CONCRETE - PAINTED WHITE				
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL				
CP3	CONCRETE - NOT PAINTED				
DR1	MÉTAL DOOR PAINTED				
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY				
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY				
MP1	METAL PANEL - BRONZE COLOUR				
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING				
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS				





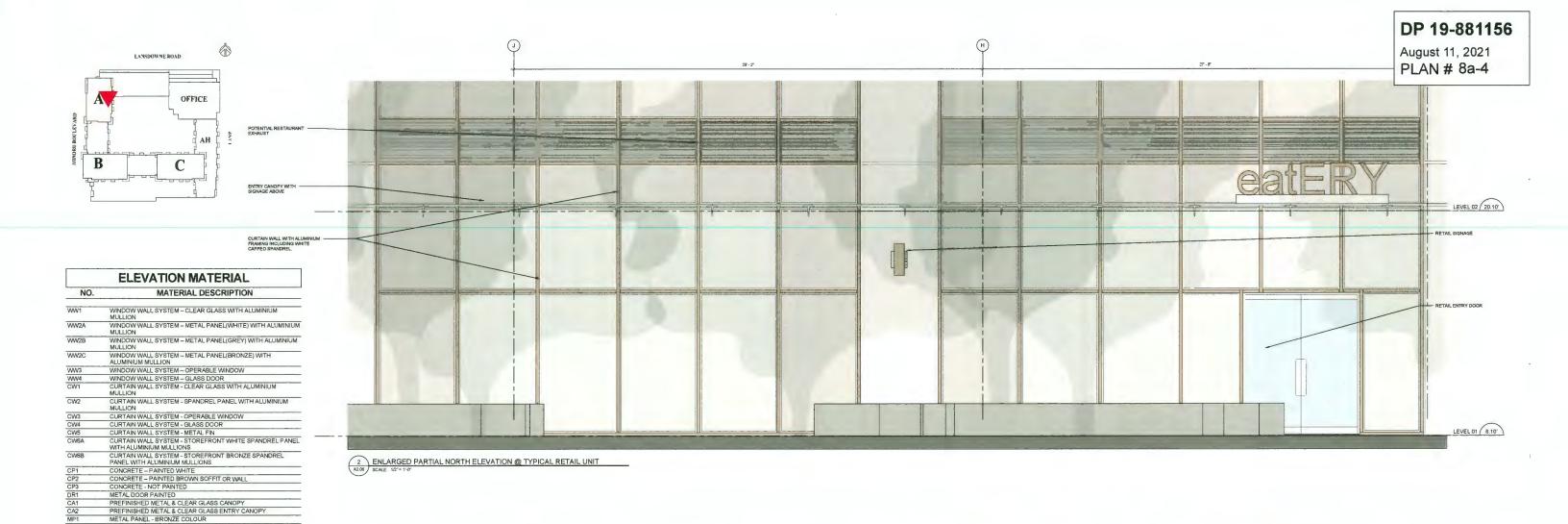




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VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS

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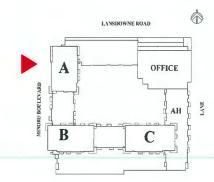
5740, 5760, 5800 Minoru Blvd., Richmond Richmond, B.C. Canada

DP 19-881156

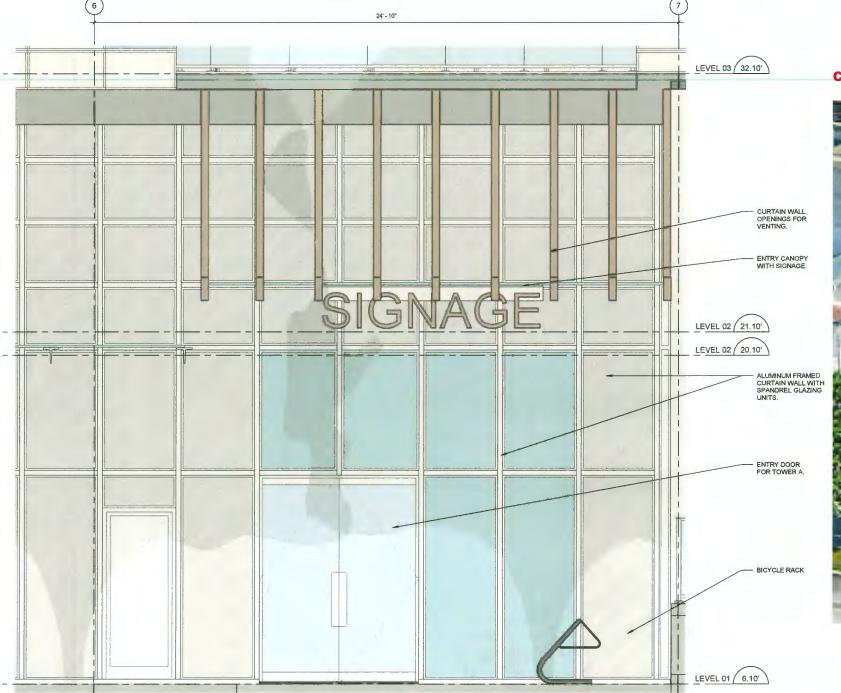
Date: August 11, 2021

PLAN #8a-4 - RETAIL STREETSCAPE **ELEVATIONS**

August 11, 2021 PLAN # 8a-5



ELEVATION MATERIAL					
NO.	MATERIAL DESCRIPTION				
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION				
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION				
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION				
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION				
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW				
VVV4	WINDOW WALL SYSTEM - GLASS DOOR				
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION				
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION				
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW				
CW4	CURTAIN WALL SYSTEM - GLASS DOOR				
CW5	CURTAIN WALL SYSTEM - METAL FIN				
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS				
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS				
CP1	CONCRETE - PAINTED WHITE				
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL				
CP3	CONCRETE - NOT PAINTED				
DR1	METAL DOOR PAINTED				
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY				
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY				
MP1	METAL PANEL - BRONZE COLOUR				
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING				
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS				



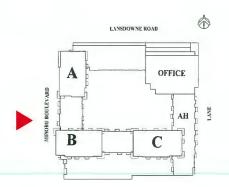


1 ENLARGED PARTIAL WEST ELEVATION @ TOWER A LOBBY ENTRY

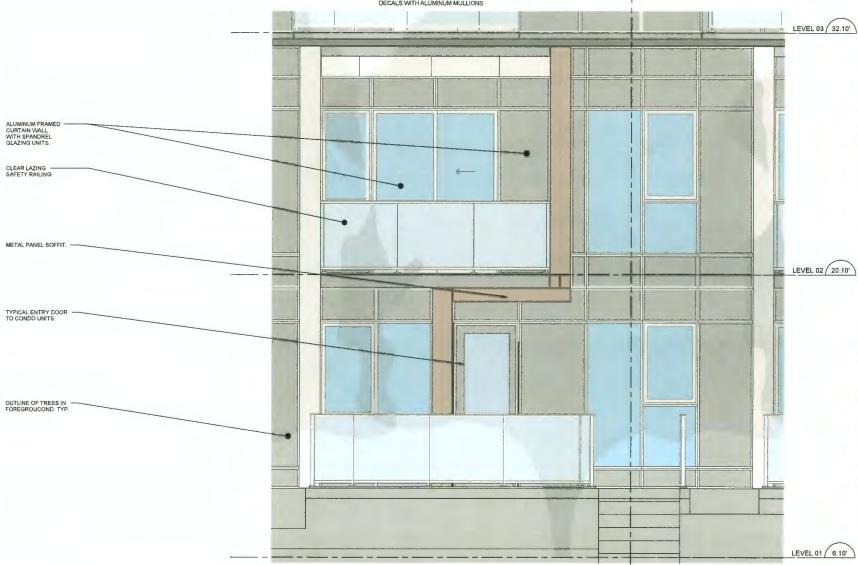
A2.06 SCALE: 172"=1"-0"

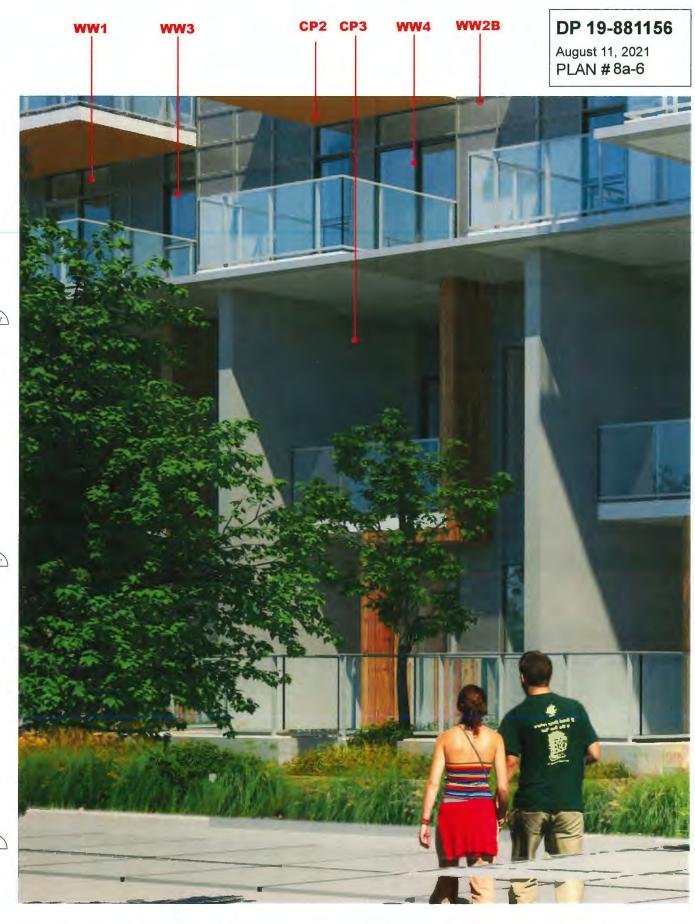






	ELEVATION MATERIAL					
NO.	MATERIAL DESCRIPTION					
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION					
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION					
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUN MULLION					
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION					
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW					
WW4	WINDOW WALL SYSTEM - GLASS DOOR					
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION					
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION					
CM3	CURTAIN WALL SYSTEM - OPERABLE WINDOW					
CW4	CURTAIN WALL SYSTEM - GLASS DOOR					
CW5	CURTAIN WALL SYSTEM - METAL FIN					
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS					
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS					
CP1	CONCRETE - PAINTED WHITE					
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL					
CP3	CONCRETE - NOT PAINTED					
DR1	METAL DOOR PAINTED					
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY					
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY					
MP1	METAL PANEL - BRONZE COLOUR					
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING					
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALLUMINUM MULLIONS					





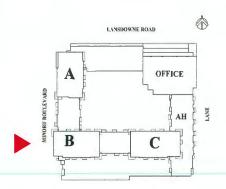




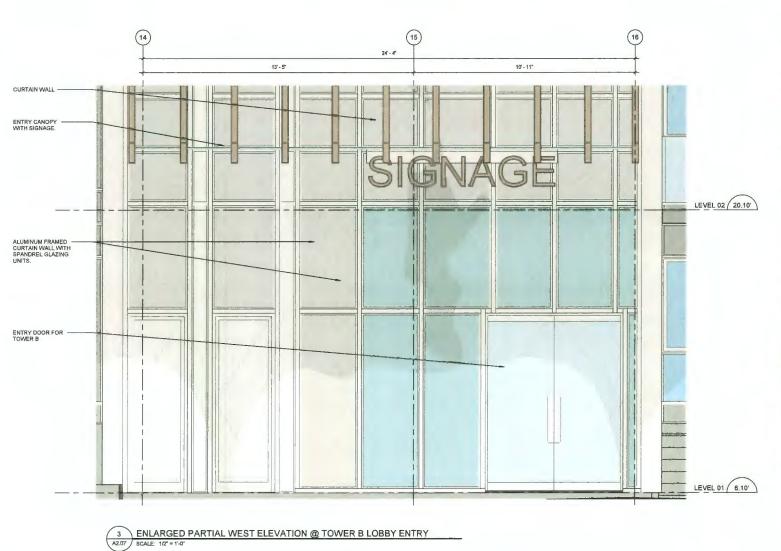
2 ENLARGED PARTIAL WEST ELEVATION FOR TYPICAL TOWNHOUSE UNITS SCALE: 1/2" = 1/4"

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ELEVATION MATERIAL					
NO.	MATERIAL DESCRIPTION				
WW1	WINDOW WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION				
WW2A	WINDOW WALL SYSTEM - METAL PANEL(WHITE) WITH ALUMINIUM MULLION				
WW2B	WINDOW WALL SYSTEM - METAL PANEL(GREY) WITH ALUMINIUM MULLION				
WW2C	WINDOW WALL SYSTEM - METAL PANEL(BRONZE) WITH ALUMINIUM MULLION				
WW3	WINDOW WALL SYSTEM - OPERABLE WINDOW				
WW4	WINDOW WALL SYSTEM - GLASS DOOR				
CW1	CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION				
CW2	CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION				
CW3	CURTAIN WALL SYSTEM - OPERABLE WINDOW				
CW4	CURTAIN WALL SYSTEM - GLASS DOOR				
CW5	CURTAIN WALL SYSTEM - METAL FIN				
CW6A	CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS				
CW6B	CURTAIN WALL SYSTEM - STOREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS				
CP1	CONCRETE - PAINTED WHITE				
CP2	CONCRETE - PAINTED BROWN SOFFIT OR WALL				
CP3	CONCRETE - NOT PAINTED				
DR1	METAL DOOR PAINTED				
CA1	PREFINISHED METAL & CLEAR GLASS CANOPY				
CA2	PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY				
MP1	METAL PANEL - BRONZE COLOUR				
MPS1	VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING				
CW1B	CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION				









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August 11, 2021 PLAN #8a-8

LEVEL 02 20.10'





PRECEDENT IMAGE - HORZONTAL LED LIGHTING FIXTURE FOR MPS1

ELEVATION MATERIAL MATERIAL DESCRIPTION MULLION WINDOW WALL SYSTEM — METAL PANEL(BRONZE) WITH ALUMINIUM MULLION WINDOW WALL SYSTEM — OPERABLE WINDOW WINDOW WALL SYSTEM — GLASS DOOR WINDOW WALL SYSTEM - GLASS DOOR CURTAIN WALL SYSTEM - CLEAR GLASS WITH ALUMINIUM MULLION CURTAIN WALL SYSTEM - SPANDREL PANEL WITH ALUMINIUM MULLION CURTAIN WALL SYSTEM - OPERABLE WINDOW CURTAIN WALL SYSTEM - GLASS DOOR CURTAIN WALL SYSTEM - METAL FIN CURTAIN WALL SYSTEM - STOREFRONT WHITE SPANDREL PANEL WITH ALUMINIUM MULLIONS CURTAIN WALL SYSTEM - STÖREFRONT BRONZE SPANDREL PANEL WITH ALUMINIUM MULLIONS CONCRETE BANNED WALTE PANEL WITH ALLUMINION MOLIONS CONCRETE - PAINTED WHITE CONCRETE - PAINTED BROWN SOFFIT OR WALL CONCRETE - NOT PAINTED METAL DOOR PAINTED PREFINISHED METAL & CLEAR GLASS CANOPY PREFINISHED METAL & CLEAR GLASS ENTRY CANOPY METAL PANEL - BRONZE COLOUR VERTICAL METAL PICKET SCREEN WITH HORZONTAL LED LIGHTING CURTAIN WALL SYSTEM - CLEAR GALSS WITH BIRD PROTECTION DECALS WITH ALUMINUM MULLIONS



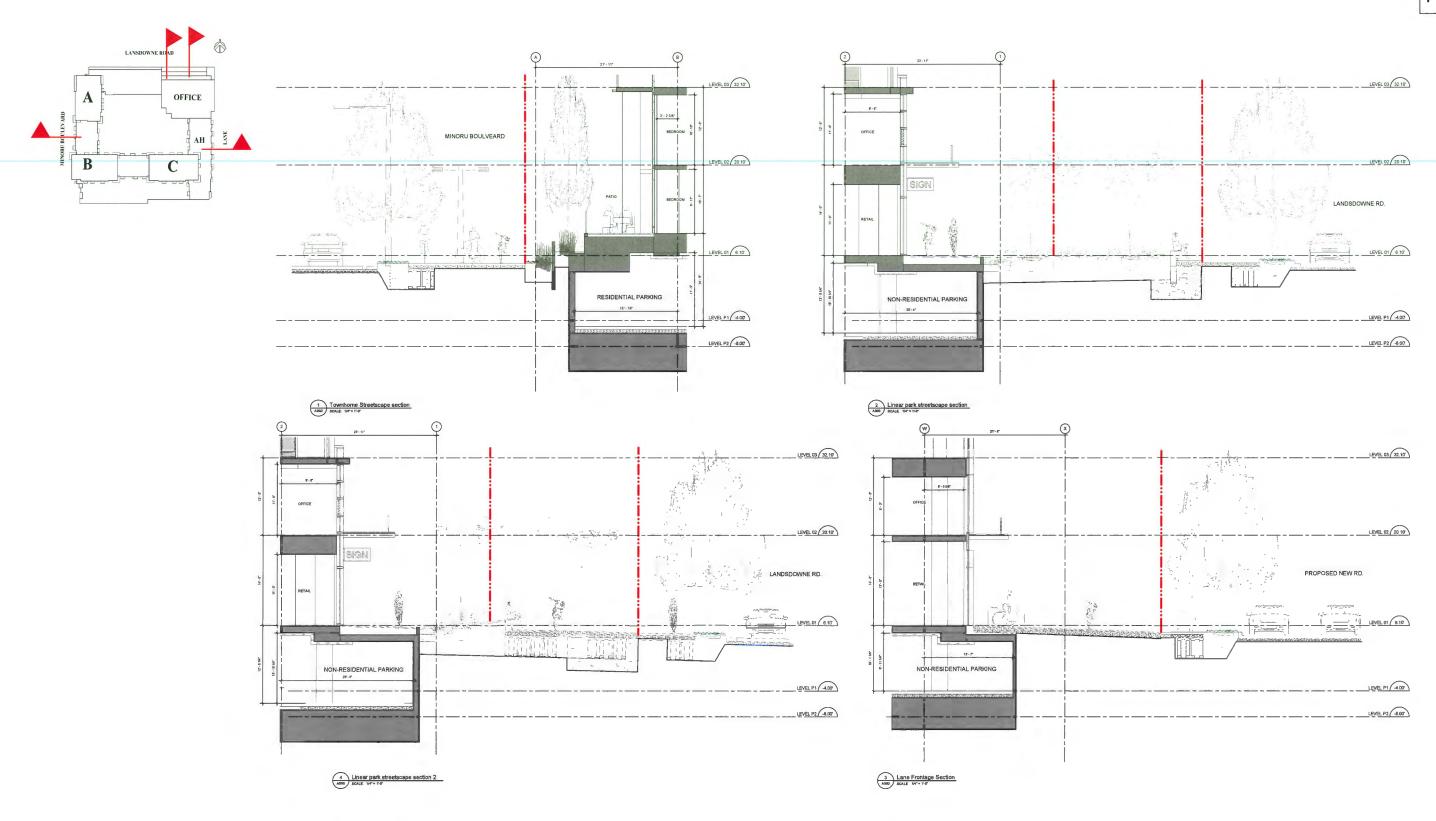




ENLARGED PARTIAL EAST ELEVATION @ TOWER C AND AFFORDABLE HOUSING LOBBY

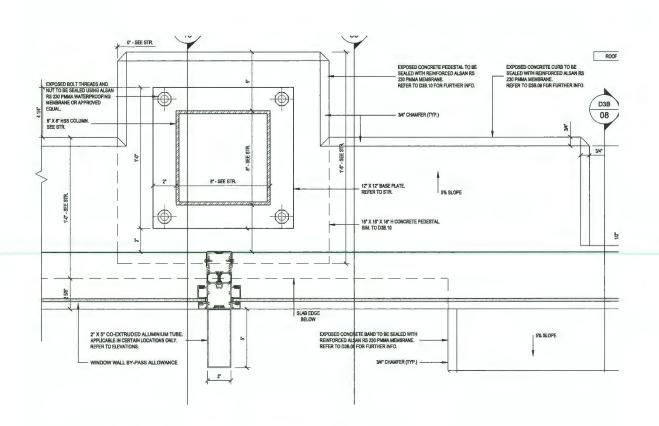
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August 11, 2021 PLAN #8b-1

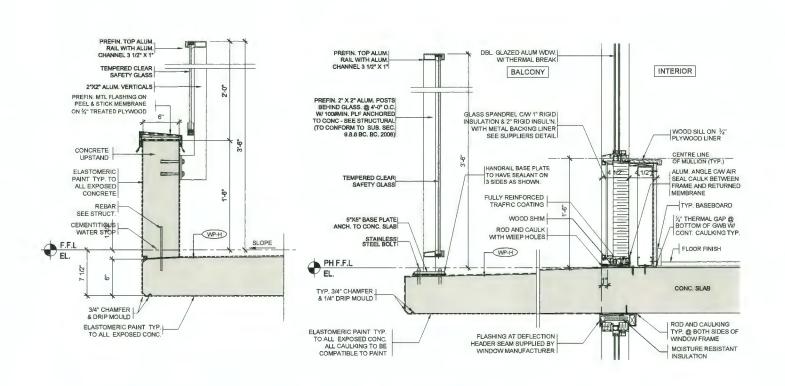


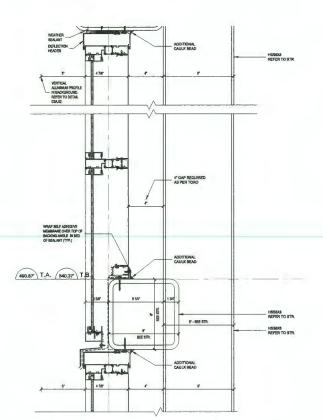




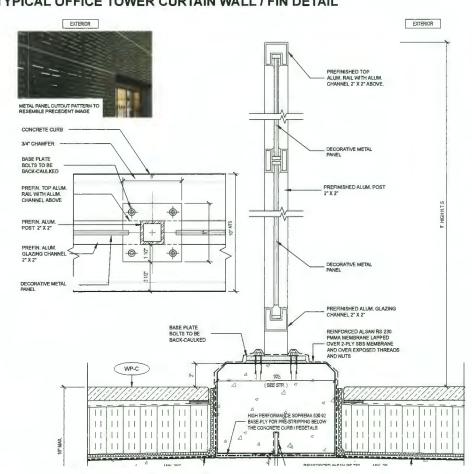


1 - TYPICAL OFFICE TOWER CURTAIN WALL FIN PLAN DETAIL

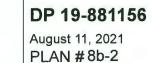


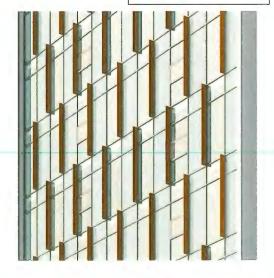


2 - TYPICAL OFFICE TOWER CURTAIN WALL / FIN DETAIL



4 - TYPICAL DECORATIVE METAL FENCE DETAILS - GAS METER













3 - TYPICAL AFFORDABLE HOUSING FEATURE BALCONY DESIGN DETAILS

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Residential Privacy Measures

Legend

balcony privacy screen

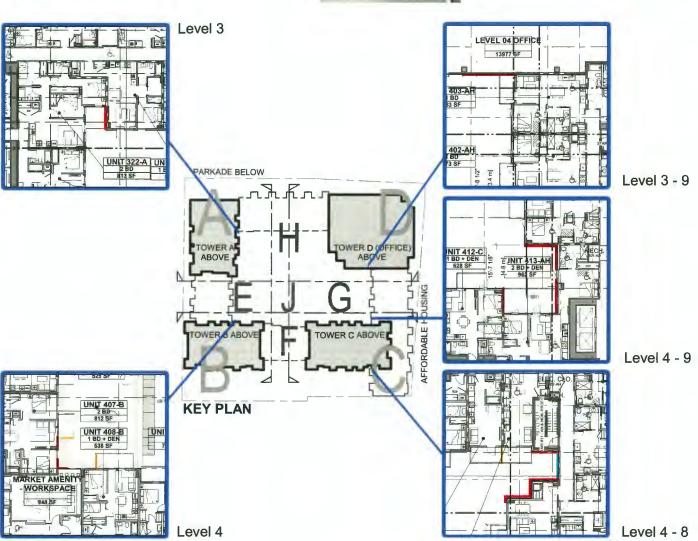


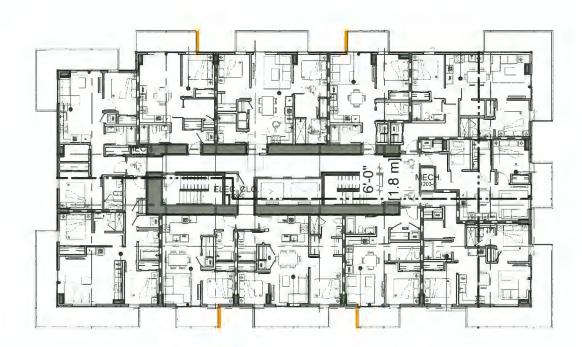
frosted glass facade



opaque spandrel glass facade







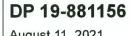
Typical strategy for Tower A, B and C where 4 privacy screens are placed per floor





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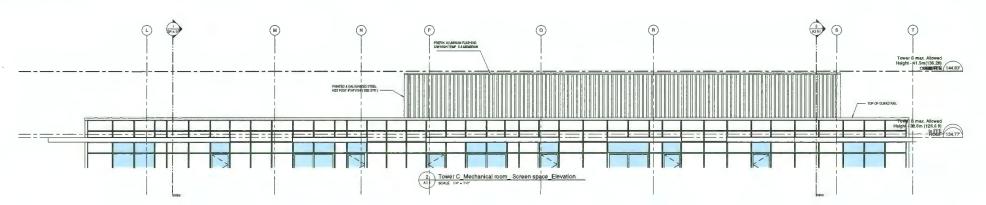
August 11, 2021 PLAN #8c-2





* Above are sample images from precedent projects.

PREFIN. ALLMINIAM PLASPING CW HIGH TEMP E.A.MEMERAN MECHANICAL EQUIPMENT OPEN TO SKY 15 MECH. ROOF 16 PAINTED & GALVANIZED STEEL HISS POST Tower C MECHANICAL ROOM Enlarged Plan TOWER ROOF MECH. ENCLOSURE WITH ALUMINUM PANEL. AND CANOPY SECTION







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OFFICE

 \mathbf{C}

August 11, 2021 PLAN #8e









August 11, 2021 PLAN #8f









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August 11, 2021 PLAN #8g









August 11, 2021 PLAN #8h

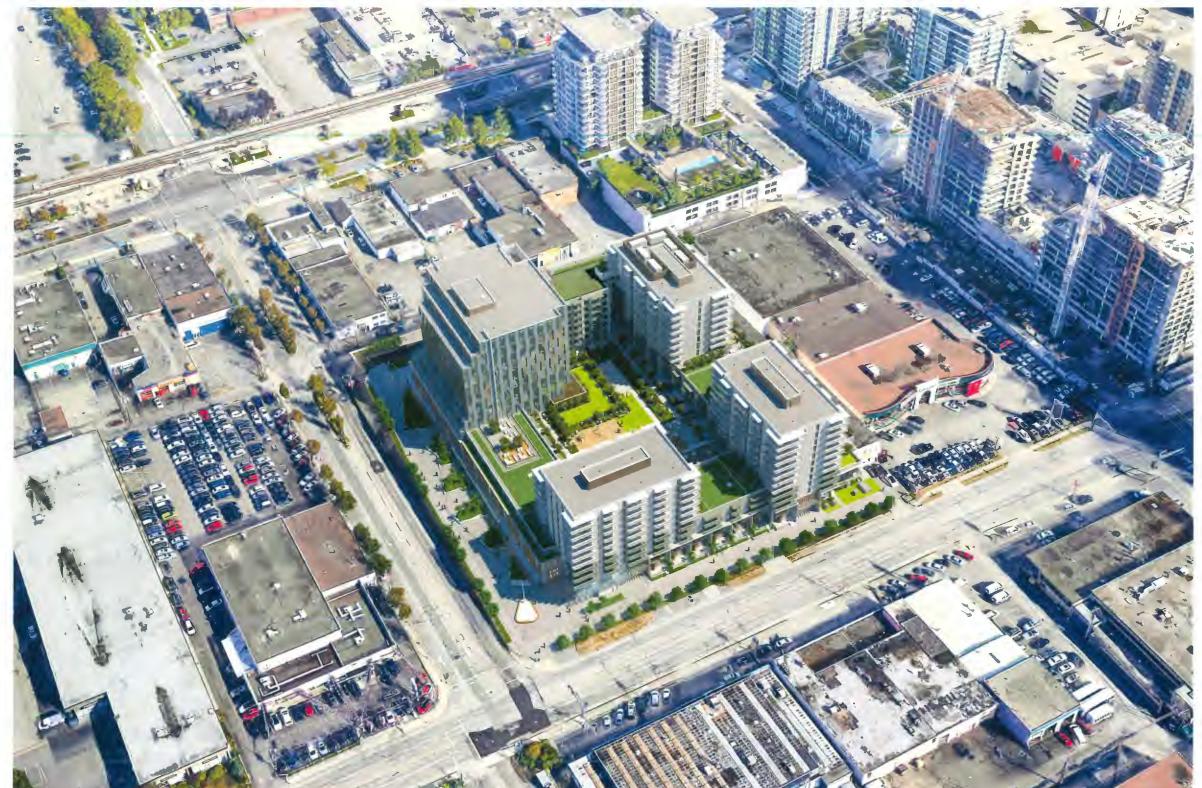








August 11, 2021 PLAN #8i





August 11, 2021 PLAN #8j









August 11, 2021 PLAN #8k









August 11, 2021 PLAN #8I

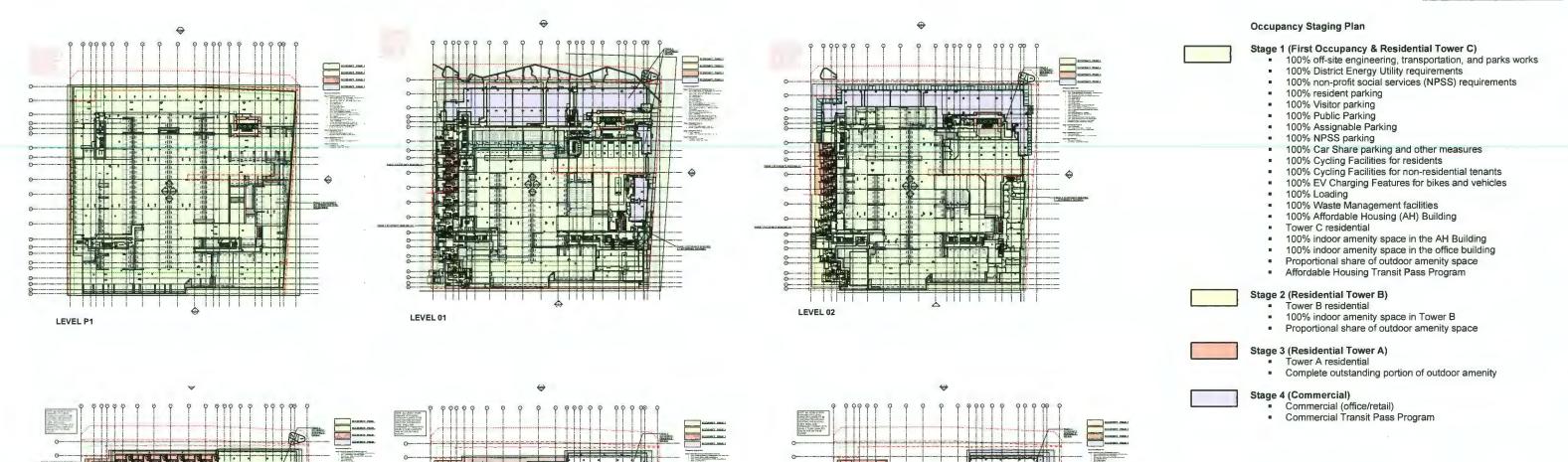








August 11, 2021 PLAN #9





LEVEL 03



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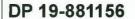
LEVEL 04

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LEVEL 05

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Affordable Rental Building	Affordable Housing Features: 6,541.4 m² (69,327.9 ft²) min. including residential uses and indoor amenity space (AH use only): NPSS Space Features: Area to be determined based on at least 425.7 m² (4,582.2 ft²) GLA min. plus ancillary space (e.g., Level 1 & 2 lobbies shared with LEMR residents) NOTE: Areas exclude typical Zoning Bylaw exemptions. NOTE: Additional indoor residential amenity space is required for shared use with market strata residents.	TOTAL: 7,994.6 m² (86,054.0 ft²), including - • Affordable Housing Features: 7,280.4 m² (78,366.0 ft²) (including indoor amenity for exclusive AH resident use) • NPSS Space Features: 714.2 m² (7,688.0 ft²) NOTE: Areas exclude typical Zoning Bylaw exemptions. NOTE: Additional indoor residential amenity space is required for shared use with market strata residents.	None permitted
Affordable Rental Building – Affordable Housing Features	Residential: 6,430.5 m² (69,217.0 ft²) minimum estimate at RZ stage, including: 88 LEMR units with a combined habitable unit area that includes: a) At least 10% of "base" residential density b) Some or all of the AH bonus: 3,006.9 m² (32,365.6 ft²) Ancillary space (e.g., corridors) comprising "base" residential density and/or AH bonus Indoor Amenity (AH use only): 110.9 m² (1,194.0 ft²) minimum estimate at RZ stage, including: AH occupant use: 92.3 m² (994.0 ft²) AH operator use: 18.6 m² (200.0 ft²) min.	TOTAL: 7,280.4 m² (78,366.0 ft²) including: • Residential: 7,126.8 m² (76,712.0 ft²) including: - AH Habitable unit area: 6,166.0 m² (66,370.0 ft²) - AH Ancillary space: 960.8 m² (10,342.0 ft²) • Indoor Amenity (AH use only): 153.6 m² (1,654.0 ft²), including: - AH occupant use: 135.0 m² (1,454.0 ft²) - AH operator use: 18.6 m² (200.0 ft²)	None permitted
Affordable Rental Building – NPSS Space Features	Total area to be determined based on: Tenant units: 425.7 m² (4,582.2 ft²) GLA min. Ancillary (e.g., Level 1 & 2 lobbies shared with LEMR residents)	TOTAL: 714.2 m ² (7,688.0 ft ²) including: • Tenant units: 462.3 m ² (4,977.0 ft ²) GLA • Ancillary (e.g., Level 1 & 2 lobbies shared with LEMR residents): 251.9 m ² (2,711.0 ft ²)	None permitted





August 11, 2021 PLAN # 10a-1

Name	Level	Unit Description	Comments*	Агеа
UNIT 301-AH	LEVEL 03	2BD	BUH	917 SF
UNIT 302-AH	LEVEL 03	1BD	BUH	573 SF
UNIT 303-AH	LEVEL 03	1BD	BUH	583 SF
UNIT 304-AH	LEVEL 03	2BD	BUH	953 SF
UNIT 305-AH	LEVEL 03	STUDIO	BUH	453 SF
UNIT 306-AH	LEVEL 03	2BD	BUH	901 SF
UNIT 307-AH	LEVEL 03	2BD	BUH	912 SF
UNIT 308-AH	LEVEL 03	2BD	BUH	914 SF
UNIT 309-AH	LEVEL 03	1BD	BUH	575 SF
UNIT 310-AH	LEVEL 03	3BD	BUH	1,047 SF
UNIT 311-AH	LEVEL 03	1BD	BUH	601 SF

Name	Level	Unit Description	Comments*	Area
UNIT 401-AH	ILEVEL 04	I2BD	BUH	1918 SF
UNIT 402-AH	LEVEL 04	1BD	BUH	573 SF
UNIT 403-AH	LEVEL 04	1BD	BUH	583 SF
UNIT 404-AH	LEVEL 04	2BD	BUH	953 SF
UNIT 405-AH	LEVEL 04	STUDIO	BUH	453 SF
UNIT 406-AH	LEVEL 04	2BD	BUH	901 SF
UNIT 407-AH	LEVEL 04	2BD	BUH	912 SF
UNIT 408-AH	LEVEL 04	- 2BD	BUH	914 SF
UNIT 409-AH	LEVEL 04	1BD	BUH	575 SF
UNIT 410-AH	LEVEL 04	3BD	BUH	1,047 SF
UNIT 411-AH	LEVEL 04	1BD	BUH	601 SF
UNIT 412-AH	LEVEL 04	STUDIO	BUH	515 SF
UNIT 413-AH	LEVEL 04	2BD+DEN	BUH	962 SF

Name	Level	Unit Description	Comments*	Area
UNIT 501-AH	LEVEL 05	2BD	BUH	1918 SF
UNIT 502-AH	LEVEL 05	1BD	BUH	573 SF
UNIT 503-AH	LÉVEL 05	1BD	BUH	583 SF
UNIT 504-AH	LEVEL 05	2BD	BUH	954 SF
UNIT 505-AH	LEVEL 05	STUDIO	BUH	453 SF
UNIT 506-AH	LEVEL 05	1BD	BUH	901 SF
UNIT 507-AH	LEVEL 05	1BD	BUH	912 SF
UNIT 508-AH	LEVEL 05	1BD	BUH	914 SF
UNIT 509-AH	LEVEL 05	1BD	BUH	575 SF
UNIT 510-AH	LEVEL 05	3BD	BUH	1,047 SF
UNIT 511-AH	LEVEL 05	1BD	BUH	601 SF
UNIT 512-AH	LEVEL 05	STUDIO	BUH	515 SF
UNIT 513-AH	LEVEL 05	2BD+DEN	BUH	964 SF
TOTAL				9.909 SF

Name	Level	Unit Description	Comments*	Area
UNIT 601-AH	TLEVEL 06	2BD	BUH	1918 SF
UNIT 602-AH	LEVEL 06	1BD	BUH	573 SF
UNIT 603-AH	LEVEL 06	1BD	BUH	583 SF
UNIT 604-AH	LEVEL 06	2BD	BUH	954 SF
UNIT 605-AH	LEVEL 06	STUDIO	BUH	453 SF
UNIT 606-AH	LEVEL 06	2BD	BUH	901 SF
UNIT 607-AH	LEVEL 06	2BD	BUH	912 SF
UNIT 608-AH	LEVEL 06	2BD	BUH	914 SF
UNIT 609-AH	LEVEL 06	1BD	BUH	575 SF
UNIT 610-AH	LEVEL 06	3BD	BUH	1,047 SF
UNIT 611-AH	LEVEL 06	1BD	BUH	601 SF
UNIT 612-AH	LEVEL 06	STUDIO	BUH	513 SF
UNIT 613-AH	LEVEL 06	STUDIO	BUH	441 SF
UNIT 614-AH	LEVEL 06	2BD+DEN	BUH	940 SF

Name	Level	Unit Description	Comments*	Are
UNIT 701-AH	LEVEL 07	28D	BUH	918 SF
UNIT 702-AH	LEVEL 07	1BD	BUH	573 SF
UNIT 703-AH	LEVEL 07	18D	BUH	583 SF
UNIT 704-AH	LEVEL 07	2BD	BUH	954 SF
UNIT 705-AH	LEVEL 07	STUDIO	BUH	453 SF
UNIT 706-AH	LEVEL 07	2BD	BUH	901 SF
UNIT 707-AH	LEVEL 07	2BD	BUH	912 SF
UNIT 708-AH	LEVEL 07	2BD	BUH	914 SF
UNIT 709-AH	LEVEL 07	1BD	BUH	575 SF
UNIT 710-AH	LEVEL 07	3BD	BUH	1,047 SF
UNIT 711-AH	LEVEL 07	1BD	BUH	601 SF
UNIT 712-AH	LEVEL 07	STUDIO	BUH	513 SF
UNIT 713-AH	LEVEL 07	STUDIO	BUH	441 SF
UNIT 714-AH	LEVEL 07	2BD+DEN	BUH	940 SF

Name	Level	Unit Description	Comments*	Area	
DUT ARA ALL	1 5151 00	lann	Твини	T040.0F	
UNIT 801-AH	LEVEL 08	2BD	BUH	918 SF	
UNIT 802-AH	LEVEL 08	1BD	BUH	573 SF	
UNIT 803-AH	LEVEL 08	1BD	BUH	583 SF	
UNIT 804-AH	LEVEL 08	2BD	BUH	954 SF	
UNIT 805-AH	LEVEL 08	STUDIO	BUH	453 SF	
UNIT 806-AH	LEVEL 08	2BD	BUH	901 SF	
UNIT 807-AH	LEVEL 08	2BD	BUH	912 SF	
UNIT 808-AH	LEVEL 08	2BD	BUH	914 SF	
UNIT 809-AH	LEVEL 08	1BD	BUH	575 SF	
UNIT 810-AH	LEVEL 08	3BD	BUH	1,047 SF	
UNIT 811-AH	LEVEL 08	1BD	BUH	601 SF	
UNIT 812-AH	LEVEL 08	STUDIO	BUH	513 SF	
UNIT 813-AH	LEVEL 08	STUDIO	BUH	441 SF	
UNIT 814-AH	LEVEL 08	2BD+DEN	BUH	940 SF	

Name	Level	Unit Description	Comments*	Area
UNIT 901-AH	LEVEL 09	2BD	BUH	918 SF
UNIT 902-AH	LEVEL 09	1BD	BUH	573 SF
UNIT 903-AH	LEVEL 09	1BD	BUH	583 SF
UNIT 904-AH	LEVEL 09	2BD	BUH	953 SF
UNIT 905-AH	LEVEL 09	STUDIO	BUH	453 SF
UNIT 906-AH	LEVEL 09	2BD	BUH	901 SF
UNIT 907-AH	LEVEL 09	2BD	BUH	912 SF
UNIT 908-AH	LEVEL 09	2BD	BUH	913 SF
UNIT 909-AH	LEVEL 09	2BD	BUH	943 SF
TOTAL				7,149 SF

*NOTE: ALL AFFORDABLE UNITS TO COMPLY WITH MINIMUM RICHMOND ZONING BYLAW REQUIREMENTS FOR BASIC UNIVERSAL HOUSING INCLUDING (AMONG OTHER THINIS), THE MINIMUM SIZE OF BALCONIES, FLUSH THRESHOLDS & BALCONY DOORWAYS AND MINIMUM CLEARANCE FOR DOORWAYS

* 'NOTE: ALL AFFORDABLE HABITABLE UNIT AREA IS MEASURED TO THE OUTSIDE FACE OF THE EXTERIOR WALLS AND THE CENTRE LINE OF DEMISING WALLS SEPARATING UNITS FROM ADJACENT DWELLINGS, CORRIDORS AND OTHER SPACES IN THE BLDG.





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DP 19-881156

Date: August 11, 2021

*Affordable Housing Habitable Area is measured to the ouside face of the exterior walls and the center line of demising walls separating the unit from adjacent dwellins, corriodrs and other spaces within the building UNIT 304-AH 2 BD 953 SF UNIT 305-AH STUDIO 453 SF (A) (D) UNIT 301-AH 2 BD 917 SF UNIT 311-C 1 BD + DEN 530 SF

Affordable Housing Plan - L3
Total GFA = 11429 SF / Total FSR = 9109.64 SF/
Total Habitable Area = 8429 SF

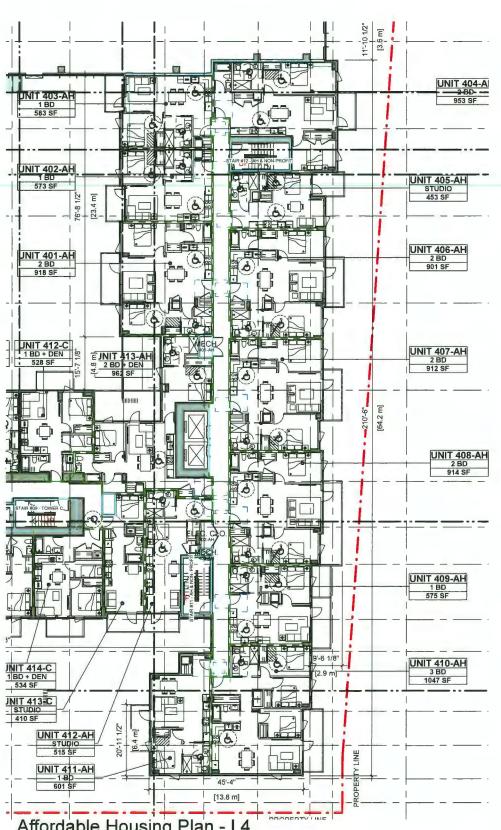


UNIT 313-C 1 BD + DEN 533 SF



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UNIT 310-AH 3 BD 1047 SF



Affordable Housing Plan - L4

Total GFA = 11314 SF / Total FSR = 10485 SF

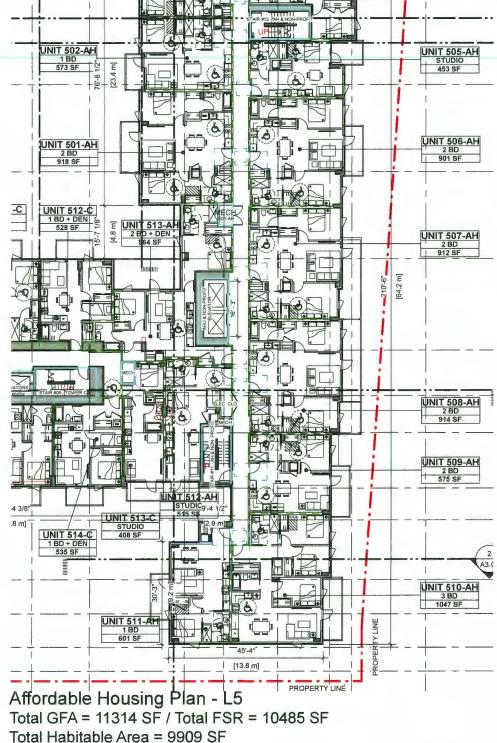
Total Habitable Area = 9909 SF

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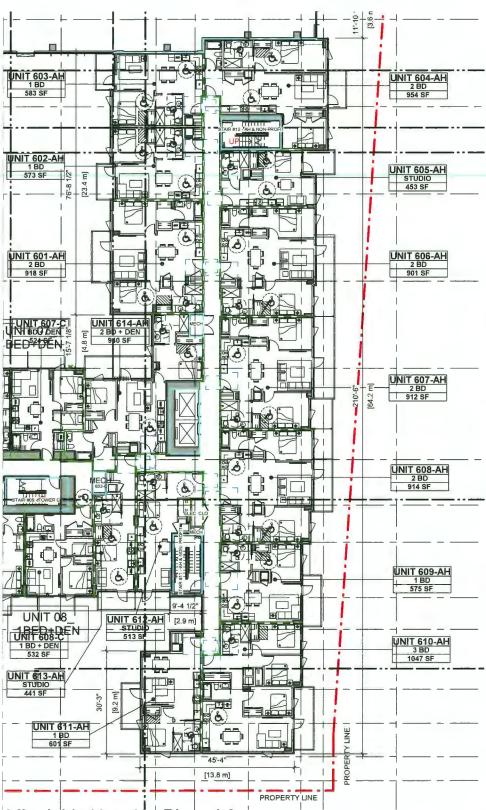


DP 19-881156

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> UNIT 504-AH 2 BD 954 SF

*Affordable Housing Habitable Area is measured to the ouside face of the exterior walls and the center line of demising walls separating the unit from adjacent dwellins, corriodrs and other spaces within the building

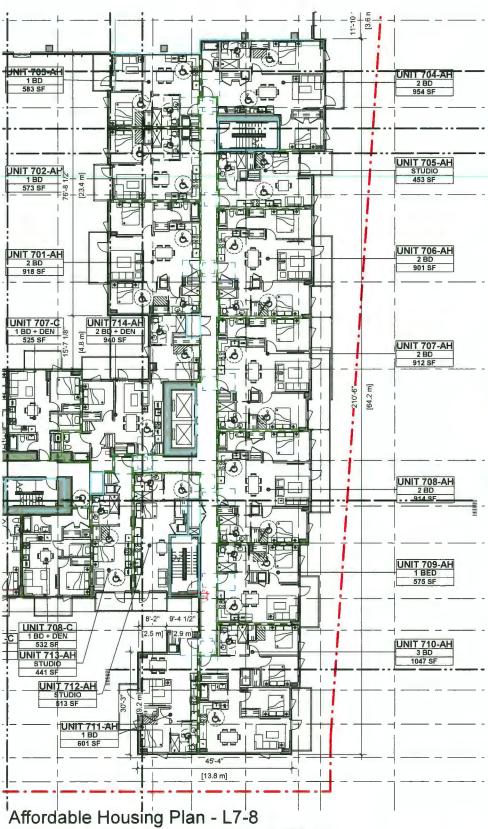


Affordable Housing Plan - L6
Total GFA = 11844 SF / Total FSR = 10983 SF
Total Habitable Area = 10324 SF





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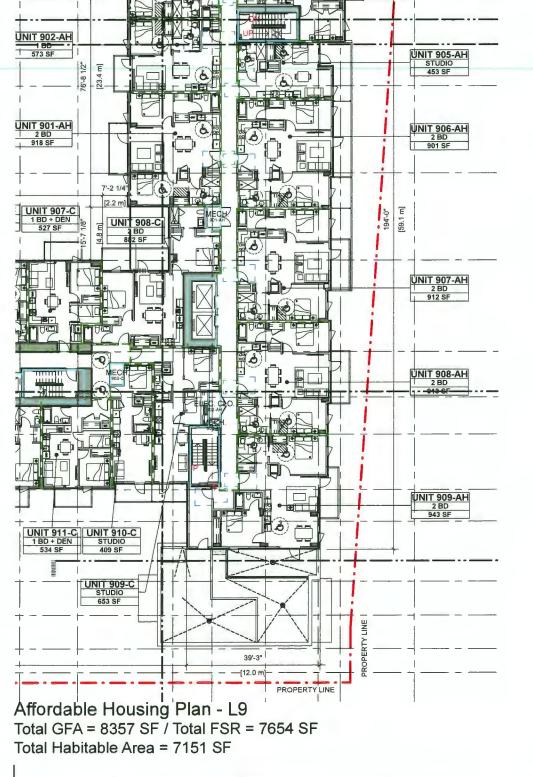


Affordable Housing Plan - L7-8
Total GFA = 11844 SF / Total FSR = 10983 SF
Total Habitable Area = 10324 SF

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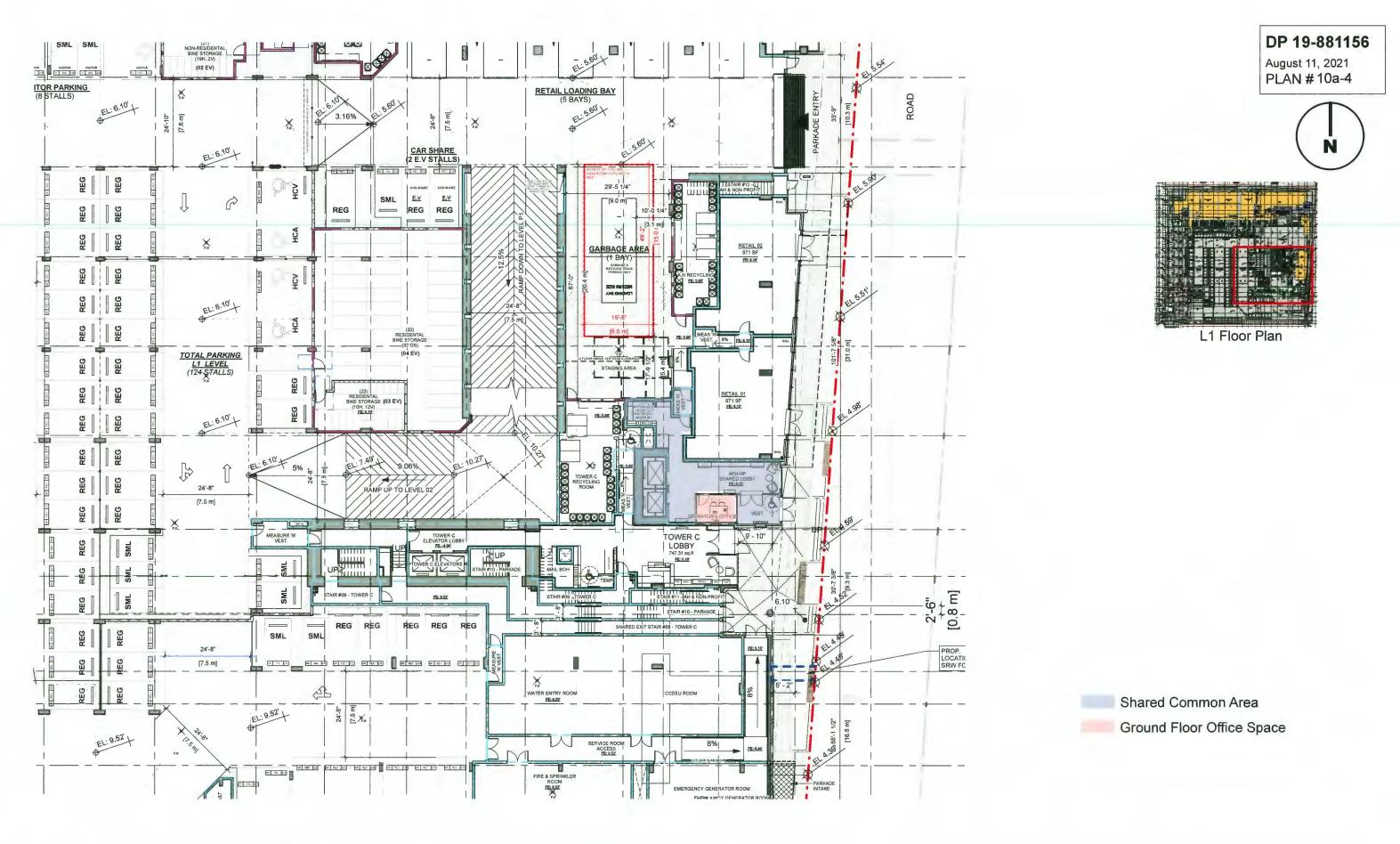
Richmond, B.C. Canada DP 19-881156

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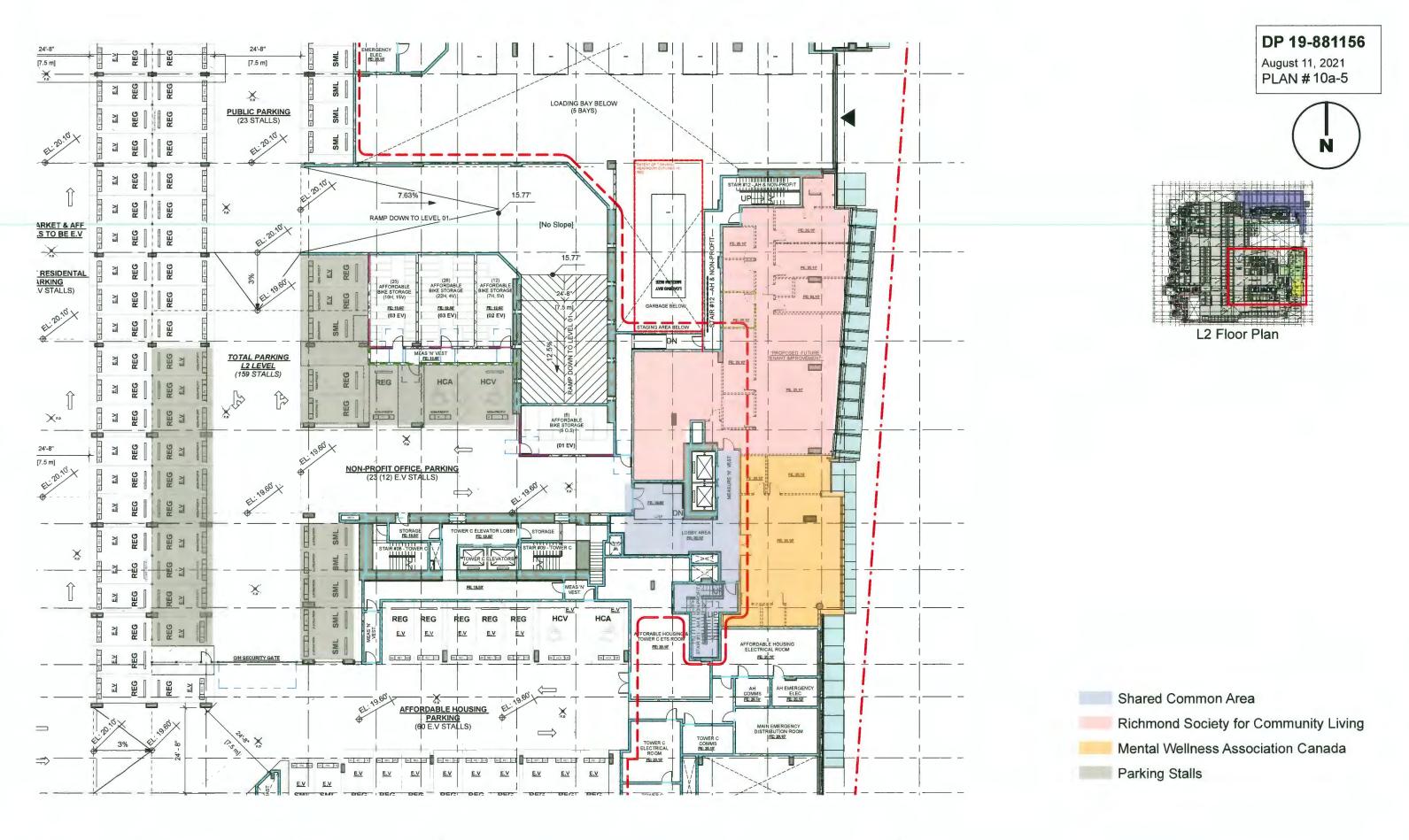
DP 19-881156

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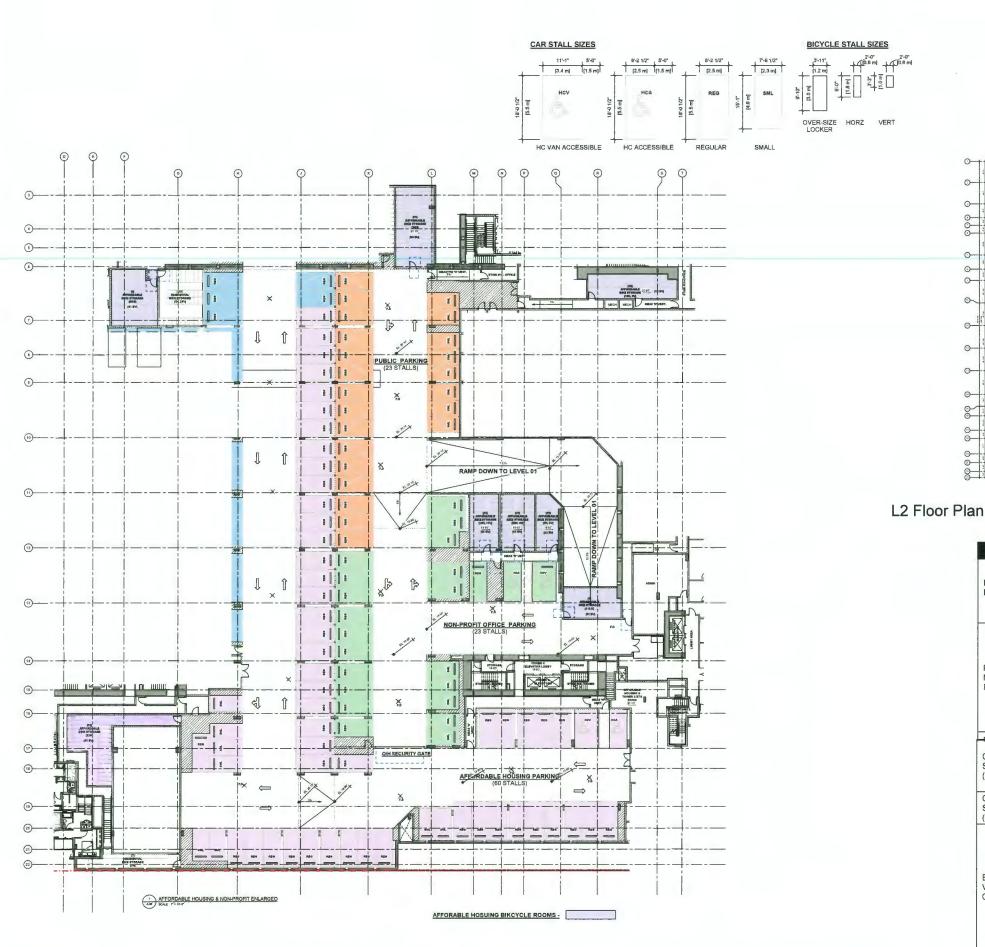


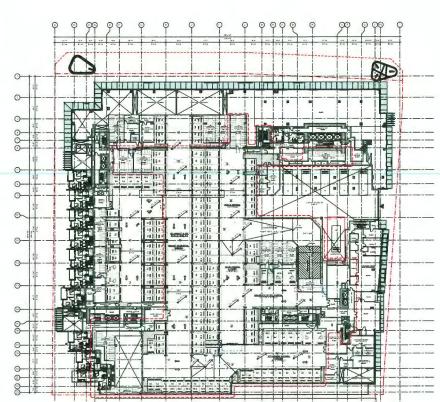






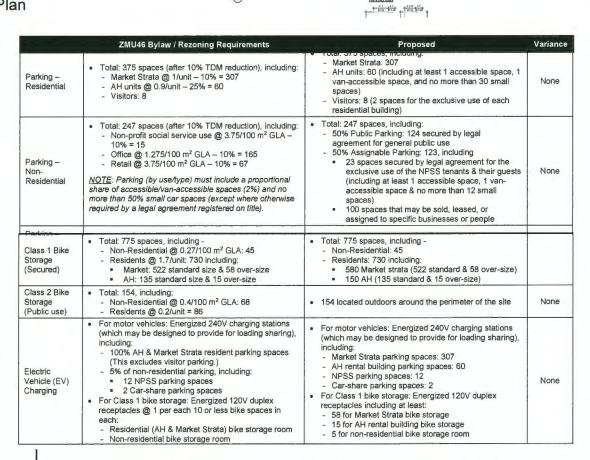






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ZONING BYLAW BUH REQUIREMENTS

Purpose

4.16.1 The basic universal housing features described in Section 4.16 are intended to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.

Building Access

- 4.16.2 Each dwelling unit and each type of amenity space shall be accessible to a person with a disability from a road and from an on-site parking area.
- 4.16.3 Access to the elevator shall be provided from both the road and the entry to the on-site parking area.
- 4.16.4 An automatic door opener shall be provided for the main entry.

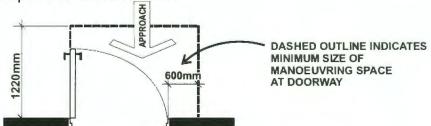
Doors and Doorways

- 4.16.5 The min. clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 855mm (which will be provided by a swing door).
- 4.16.6 The min. clear openings for all interior doors to at least one bedroom and one accessible bathroom in every dwelling unit shall be no less than 800mm (which will be provided by a swing door).
- 4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrist.
- 4.16.8 Flush thresholds throughout the building shall be a max of 13mm in height.
- 4.16.9 The above-noted requirements for doors do not apply to mechanical rooms, services areas, closets etc. where through access is not required and access to a person with a disability is not anticipated.
- 4.16.10 Clear openings shall be measured

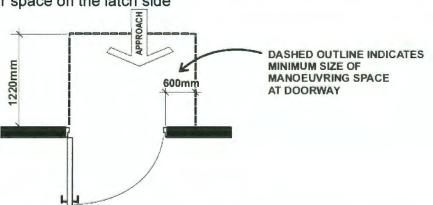


Manoeuvring Space at Doorways

- 4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:
- a) where the door swings toward the area (pull door), 1220mm long by the width of the door plus at least 600mm clear space on the latch side



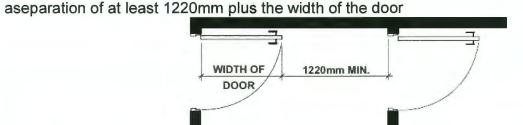
b) where the door swings away the area (push door), 1220mm long by the width of the door plus at least 600mm clear space on the latch side



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c) where there are doors in a series in common areas, there must be

d) entry doors to every dwelling unit are exempted from the requirement to provide the 1220mm long clear area and 600mm clear space if rough in wiring is provided for future conversion for an automatic door opener.

Corridor Widths

4.16.12 Common corridors shall be no less than 1220mm wide.

Floor Surfaces

- 4.16.13 Floor suefaces throughout the building shall have no abrupt changes in level, i.e. a max. break of the flush threshold of 13mm in height.
- 4.16.14 Floor surfaces shall be slip resistant.
- 4.16.15 Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13mm height.

Windows

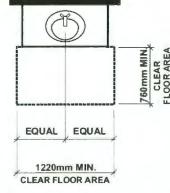
- 4.16.16 Windows which are accessible shall have a window sill height that does not exceed 750mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.
- 4.16.17 Windows which are accessible shall have opening mechanishms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit.

Outlets and Switches

- 4.16.18 Light switches, electrical panels and intercom buttons shall be a max 1220mm from the floor.
- 4.16.19 Electrical outlets, cable outlets and telephone jacks shall be located not less than 450mm from the floor.
- 4.16.20 Thermostats shall be located between 900mm to 1350mm from the floor.
- 4.16.21 The operable part of controls shall be located with reach of a clear floor area that has a width of not less than 750mm.
- 4.16.22 Light switches will be rocker or paddle-type switches.

Bathrooms

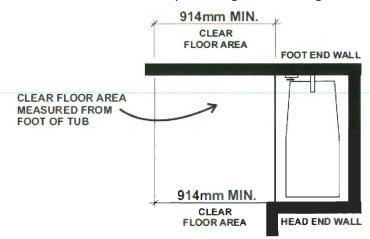
- 4.16.23 At least one bathroom shall:
- a) have a toilet positioned with the center line of the toilet 420mm to 480mm from a side wall on which a grab bar can be installed and at least 1020mm from away obstruction on the non-grab side or in front of the toilet: and
- b) have a clear floor area at the sink of 760mm X 1220mm positioned for a parallel approach and centered on the sink.



August 11, 2021 PLAN # 10b-2

ZONING BYLAW BUH REQUIREMENTS (CONT'D)

c) have a min clear area of 914mm in depth along the full length of the bathtub.



- d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars; and
 - e) include easy to grasp handles on faucets, e.g. lever-type faucets

Kitchens

- 4.16.25 The kitchen must have:
- a) some usable counter space and supboards that can be easily accessed by people with disabilities, including people with wheelhairs, e.g. continuous counter between the stove and sink adajustable shelves in all cabinets; pull-out work boards at 810mm height and pull-out cabinet shelves
 - b) easy to grasp handles on faucets, e.g. lever-type faucets
- c) easy to reach and grasp handles on cupboards, e.g. D or J type caibinet handles and grab edges under counters:
 - d) task lighting at sink, stove and key work areas; and
- e) plumbing and utility pipes located to provide for a potential 810mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.

Bedroom and Closet

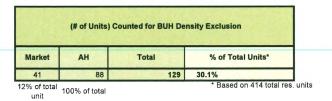
- 4.16.26 The space around a bed in a dwelling unit that consist of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500mm on one side of a double bed.
- 4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900mm clear floor space of at least 750mm X 1200mm and a clothes hanger rod than can be lowered to 1200mm.

Patios and Balconies

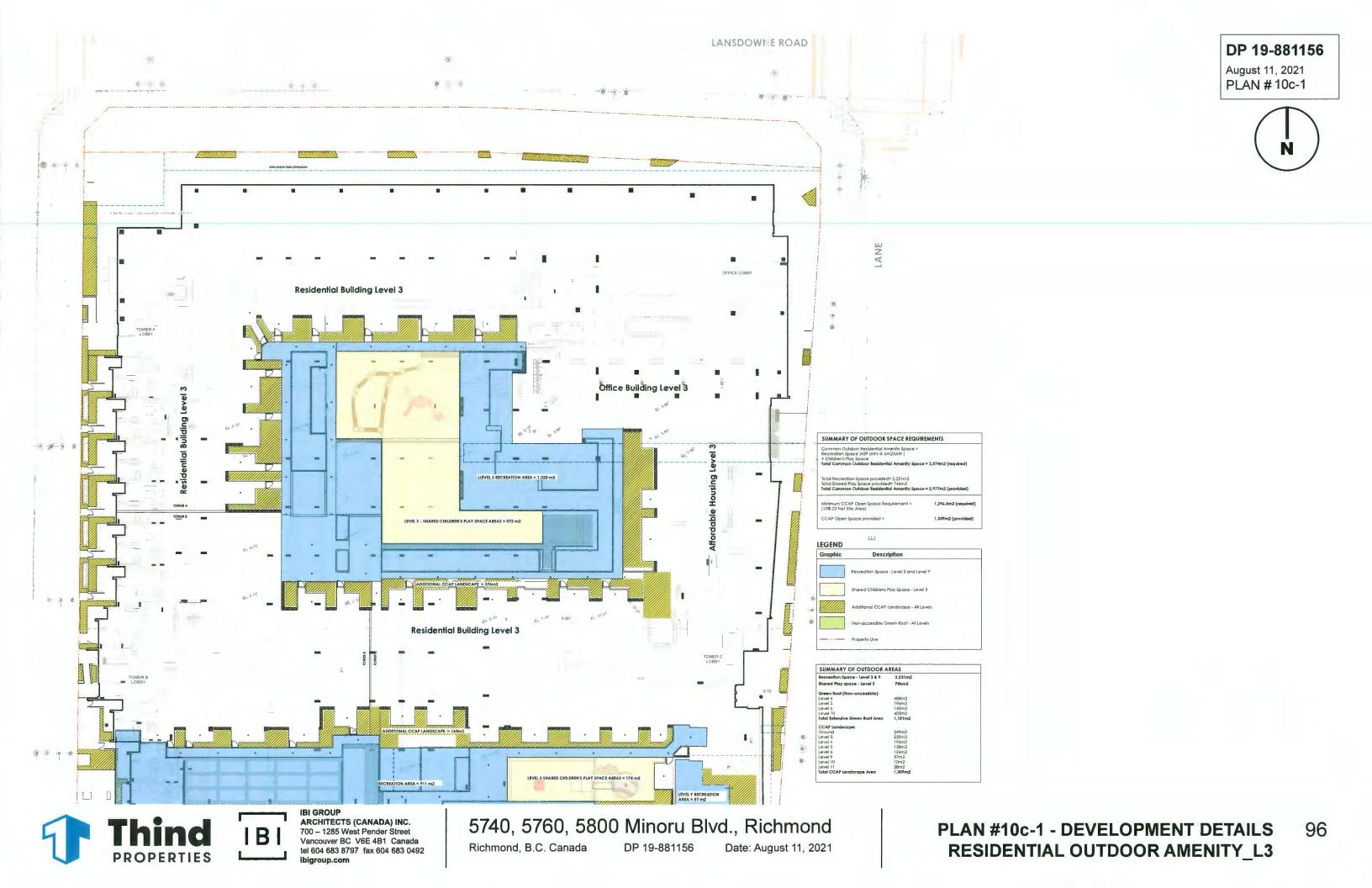
- 4.16.28 Access (patio) doors shall have a min, clear opening of 860mm.
- 4.16.29 Min dimensions of any balcony or patio shall be 1500mm X 500mm.

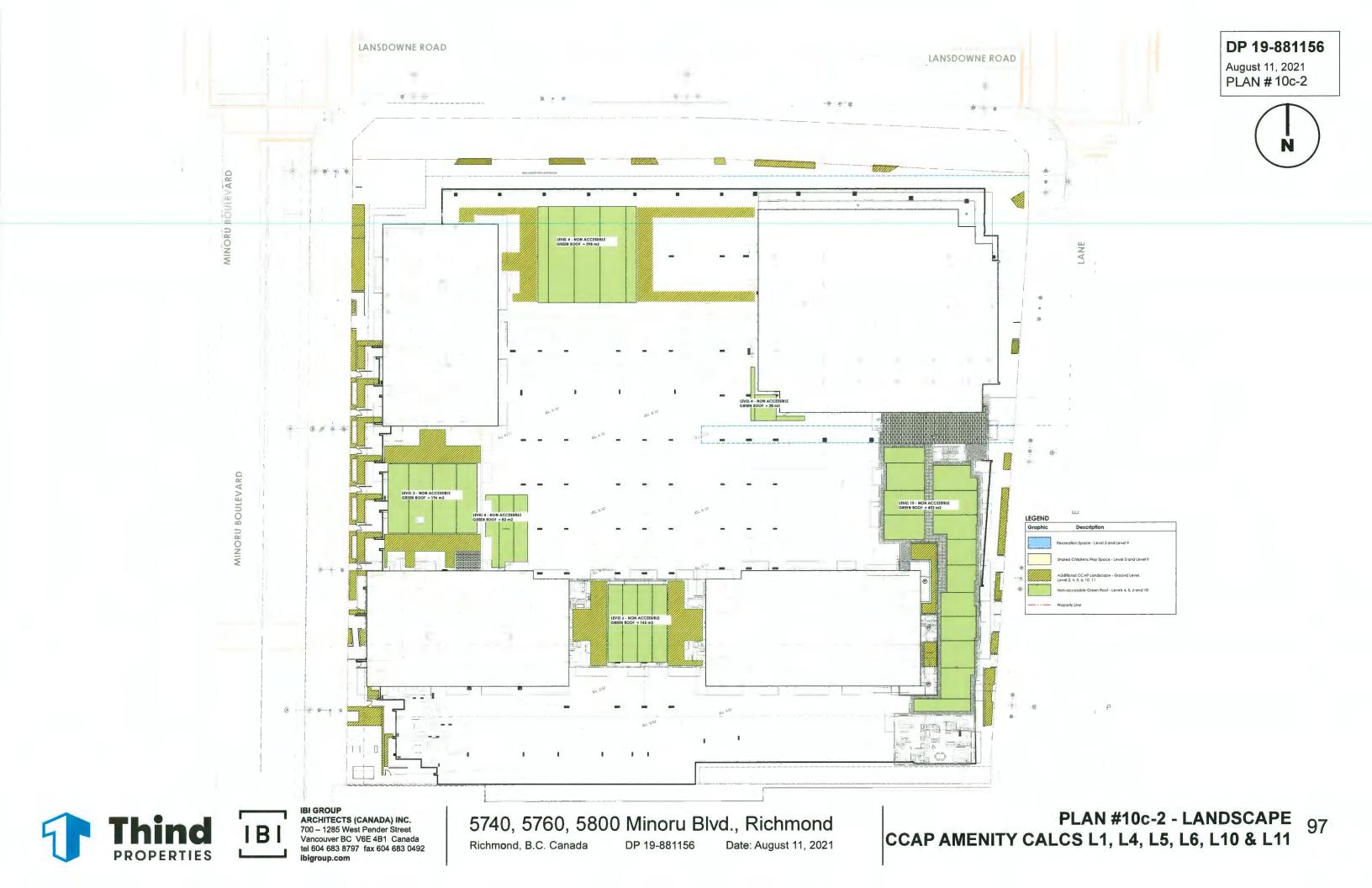
BUH UNITS COUNT

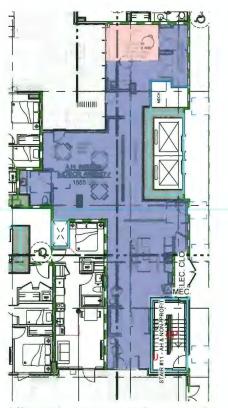
100% of affordable building units are BUH units, (88 units out of 88 units) 12% of market residential units are BUH units, (41 units out of 341 units) 30.1 % of all units are BUH units (129 units out of 414 units)



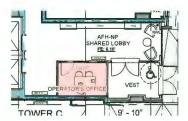
100% of non-BUH units shall include aging-in-place features and list the features proposed (e.g., lever door handles; flush thresholds at all exterior doors & balconies; solid blocking in walls for future grab bar installation; etc.)



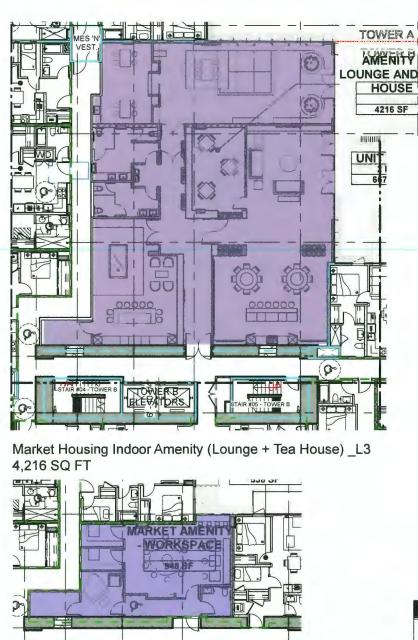




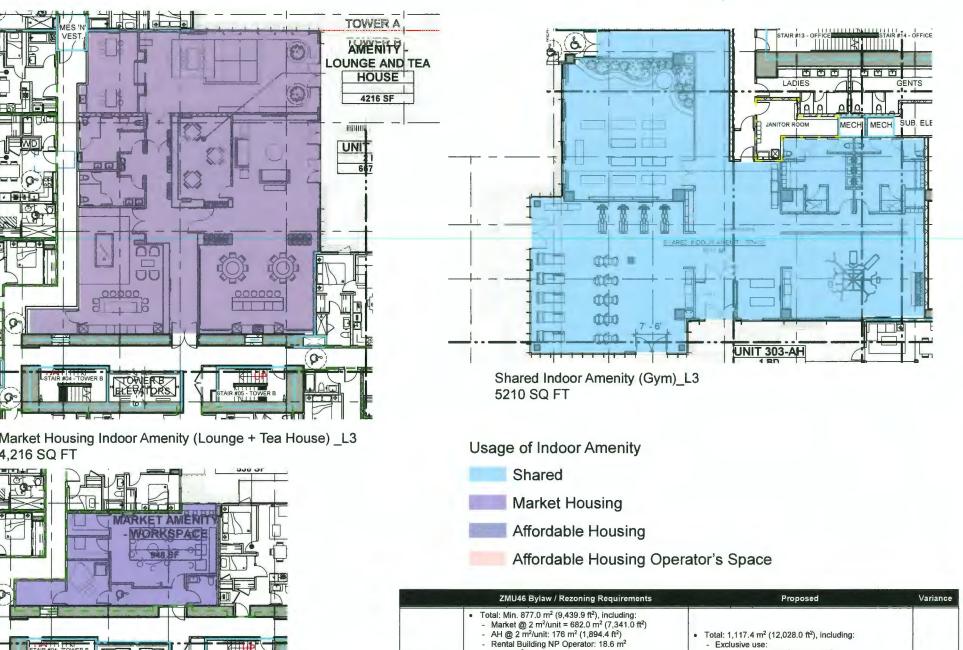
Affordable Housing Indoor Amenity _L3 1554 SQ FT Affordable Housing Operator's Space _ L3 100 SQ FT



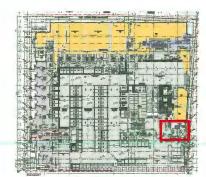
Affordable Housing Operator's Space _L1 100 SQ FT







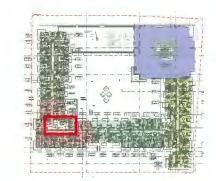
August 11, 2021 **PLAN # 10d**



L1 Floor Plan



L3 Floor Plan



L4 Floor Plan







ARCHITECTS (CANADA) INC. 700 - 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0492

5740, 5760, 5800 Minoru Blvd., Richmond

Residentia Amenity

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021

(200.0 ft2) for administration/programs

NOTE: Of the required amenity space, legal agreements

registered on title require at least:
For AH residents only: 110.9 m² (1,194.0 ft²), including 18.6 ft² (200.0 ft²) for the non-profit housing operator

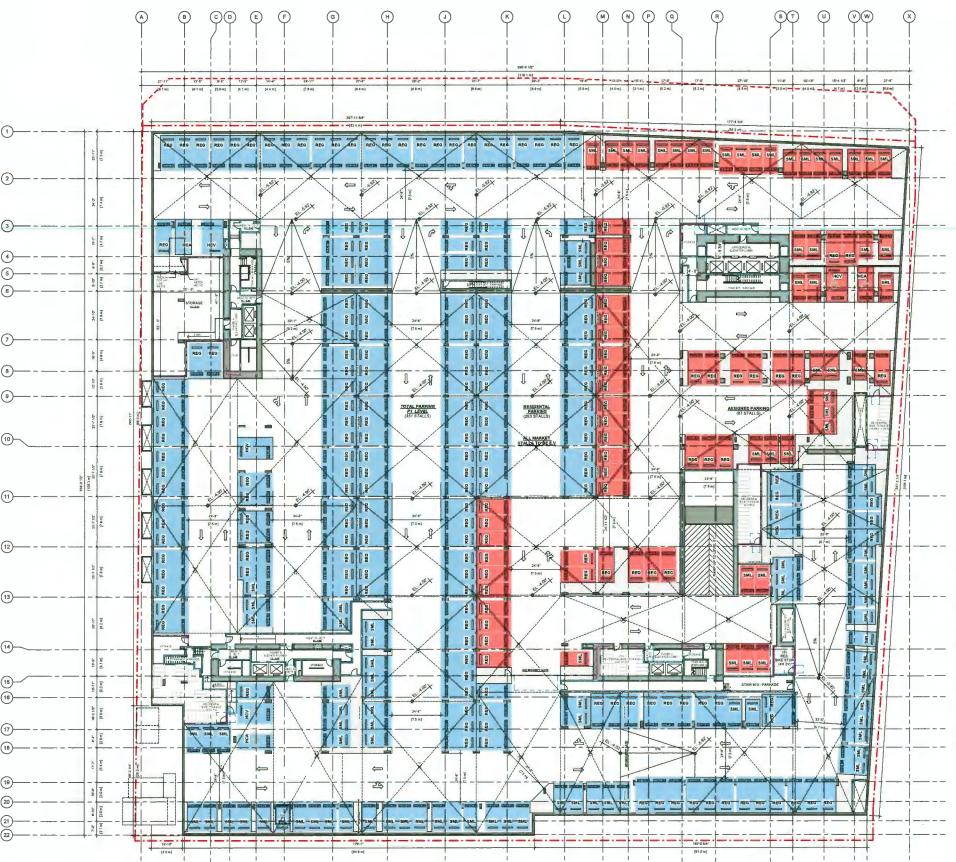
For shared AH & Market resident use: 464.5 m²

Exclusive use:
 Market: 479.8 m² (5,164.0 ft²)
 AH rental building: 153.6.0 m² (1,654.0 ft²),

Shared (AH & Market): 484.0 m2 (5,210.0 ft2)

AH occupants: 135.0 m² (1,454.0 ft²)
 AH operator: 18.6 m² (200 ft²)

including space for exclusive:





August 11, 2021 PLAN # 10e-1

	ZWO40 Bylaw / Rezoning Requirements	rioposcu	VAIIIIIIO
Parking – TOTAL	Total: 524 spaces (arter 10% 1DM reduction), including: Residents: 375 Non-residential: 247 Car-Share: 2	Total: 524 spaces, including: Residents: 375 Non-residential: 247 Car-Share: 2	None
Parking – Residential	Total: 375 spaces (after 10% TDM reduction), including: Market Strata @ 1/unit – 10% = 307 AH units @ 0.9/unit – 25% = 60 Visitors: 8	Total: 375 spaces, including: Market Strata: 307 AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces) Visitors: 8 (2 spaces for the exclusive use of each residential building)	None
Parking – Non- Residential	Total: 247 spaces (after 10% TDM reduction), including: Non-profit social service use @ 3.75/100 m² GLA – 10% = 15 Office @ 1.275/100 m² GLA – 10% = 165 Retail @ 3.75/100 m² GLA – 10% = 67 NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).	Total: 247 spaces, including: 50% Public Parking: 124 secured by legal agreement for general public use 50% Assignable Parking: 123, including 23 spaces secured by legal agreement for the exclusive use of the NPSS tenants & their guests (including at least 1 accessible space, 1 vanaccessible space & no more than 12 small spaces) 100 spaces that may be sold, leased, or assigned to specific businesses or people	None
Parking – Car-Share	2 spaces (car-share use only)	2 spaces (car-share use only)	None
Electric Vehicle (EV) Charging	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including:	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: - Market Strata parking spaces: 307 - AH rental building parking spaces: 60 - NPSS parking spaces: 12 - Car-share parking spaces: 2 - For Class 1 bike storage: Energized 120V duplex receptacles including at least: - 58 for Market Strata bike storage - 15 for AH rental building bike storage - 5 for non-residential bike storage - 6 for non-residential bike storage - 7 for non-residential bike storage room	None

PARKING & EV DISTRIBUTION

Use	P1	L1	L2	Total
Residential Parking				375, including:
Market strata	254 (254 EV)	0	53 (53 EV)	 307 (307 EV)
AH units	0	0	60 (60 EV)	• 60 (60 EV)
Residential Visitors	0	8	0	• 8
Non-Residential Parking				247 including:
Public Parking	0	101	23	• 124
 Assignable Parking – NPSS 	0	0	23 (12 EV)	 23 (12 EV)
 Assignable Parking – Others 	87	13	0	• 100
Car-Share	0	2 (2 EV)	0	2 spaces (2 EV)
TOTAL	341 (254 EV)	124 (2 EV)	159 (125 EV)	624 (381 EV)

PARKING COLOR CODE LEGEND

RESIDENTIAL	
VISITOR	Alexander
PUBLIC (NON-RES)	
ASSIGNABLE (NON-RES)	
ASSIGNABLE (NON-PROFIT)	
AFFORDABLE HOUSING	
CAR SHARE	

PARKING SPACE TYPE/SIZE BY USE

Use	Accessible	Van- Accessible	Standard	Small Car	Total
Residential Parking					375, including:
Market strata	3	4	196	104	• 307
AH units	1	1	50	8	• 60
 Residential Visitors 	0	1	3	4	• 8
Non-Residential Parking					247 including:
 Public Parking 	2	2	73	47	• 124
 Assignable Parking – NPSS 	1	1	9	12	• 23
 Assignable Parking – Others 	1	1	49	49	• 100
Car-Share	. 0	0	2	0	2 spaces
TOTAL	8	10	383	224	624

	CAR STALL SIZES				BICYCLE STALL SIZES
+	11'-1" 5'-0" [3.4 m] [1.5 m]	8'-2 1/2" 5'-0" [1.5 m]	8'-2 1/2' [2.5 m]	7-6 1/2*	3-11° ([0.6 m] 70.6 m]
18-0 1/2"		HCA HCA	REG 1/2"	SML E SML	(3.0 m) (3.0 m) (11.8 m
					OVER-SIZE HORZ VERT LOCKER
,	HC VAN ACCESSIBLE	HC ACCESSIBLE	REGULAR	SMALL	





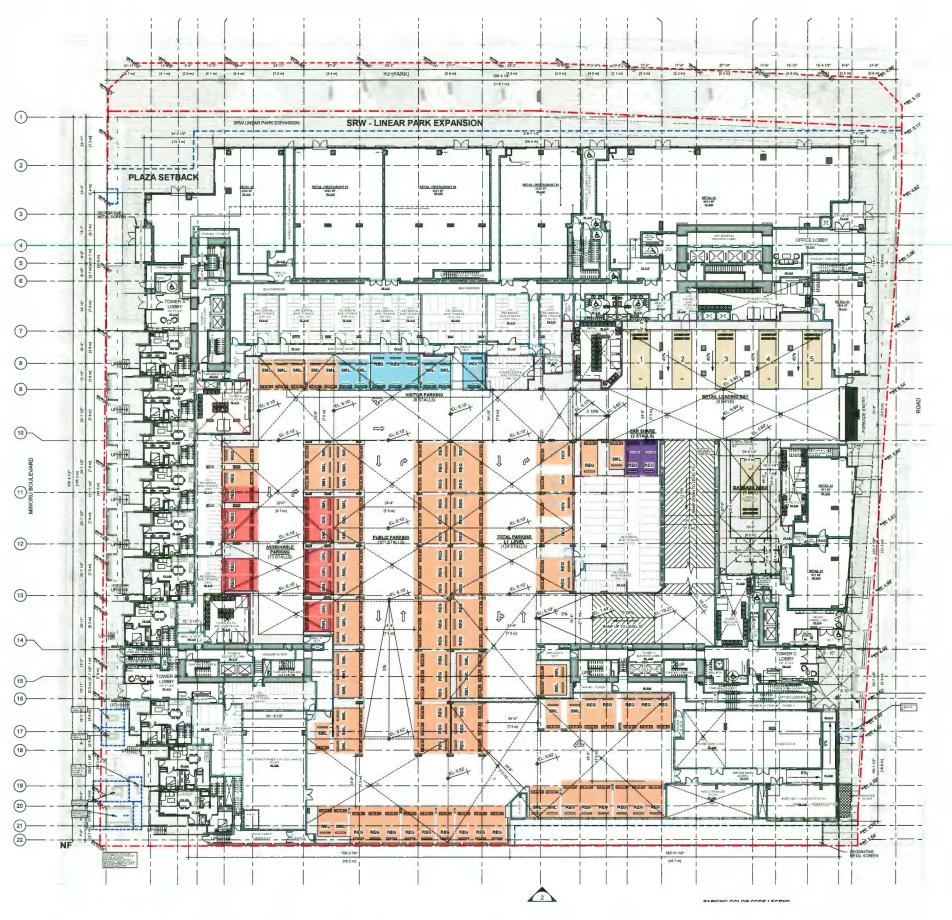
IBI GROUP ARCHITECTS (CANADA) INC. 700 – 1285 West Pender Street Vancouver BC V6E 4B1 Canada tel 604 683 8797 fax 604 683 0492 ibigroup com

5740, 5760, 5800 Minoru Blvd., Richmond

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021





August 11, 2021 PLAN # 10e-2

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Parking – TOTAL	Total: 524 spaces (arter 10% 10% reduction), including: Residents: 375 Non-residential: 247 Car-Share: 2	Total: 624 spaces, including: Residents: 375 Non-residential: 247 Car-Share: 2	None
Parking – Residential	Total: 375 spaces (after 10% TDM reduction), including: Market Strata @ 1/unit – 10% = 307 AH units @ 0.9/unit – 25% = 60 Visitors: 8	Total: 375 spaces, including: Market Strata: 307 AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces) Visitors: 8 (2 spaces for the exclusive use of each residential building)	None
Parking – Non- Residential	Total: 247 spaces (after 10% TDM reduction), including: Non-profit social service use @ 3.75/100 m² GLA – 10% = 15 Office @ 1.275/100 m² GLA – 10% = 165 Retail @ 3.75/100 m² GLA – 10% = 67 NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).	Total: 247 spaces, including: 50% Public Parking: 124 secured by legal agreement for general public use 50% Assignable Parking: 123, including 23 spaces secured by legal agreement for the exclusive use of the NPSS tenants & their guests (including at least 1 accessible space, 1 vanaccessible space & no more than 12 small spaces) 100 spaces that may be sold, leased, or assigned to specific businesses or people	None
Parking – Car-Share	2 spaces (car-share use only)	2 spaces (car-share use only)	None
Electric Vehicle (EV) Charging	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: 100% AH & Market Strata resident parking spaces (This excludes visitor parking.) 5% of non-residential parking, including: 12 NPSS parking spaces 2 Car-share parking spaces For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each: Residential (AH & Market Strata) bike storage room Non-residential bike storage room	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: Market Strata parking spaces: 307 AH rental building parking spaces: 60 NPSS parking spaces: 12 Car-share parking spaces: 2 For Class 1 bike storage: Energized 120V duplex receptacles including at least: 58 for Market Strata bike storage 15 for AH rental building bike storage 5 for non-residential bike storage room	None

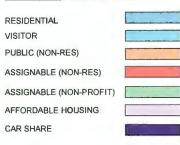
PARKING & EV DISTRIBUTION

Use	P1	L1	L2	Total
Residential Parking				375, including:
Market strata	254 (254 EV)	0	53 (53 EV)	• 307 (307 EV)
AH units	0	0	60 (60 EV)	• 60 (60 EV)
 Residential Visitors 	0	8	0	• 8
Non-Residential Parking				247 including:
Public Parking	0	101	23	• 124
 Assignable Parking – NPSS 	0	0	23 (12 EV)	 23 (12 EV)
 Assignable Parking - Others 	87	13	0	• 100
Car-Share	0	2 (2 EV)	0	2 spaces (2 EV)
TOTAL	341 (254 EV)	124 (2 EV)	159 (125 EV)	624 (381 EV)

PARKING SPACE TYPE/SIZE BY USE

Use	Accessible	Van- Accessible	Standard	Small Car	Total
Residential Parking					375, including
Market strata	3	4	196	104	• 307
AH units	1	1	50	8	• 60
 Residential Visitors 	0	1	3	4	• 8
Non-Residential Parking					247 including:
Public Parking	2	2	73	47	• 124
 Assignable Parking – NPSS 	1	1	9	12	• 23
 Assignable Parking – Others 	1	1	49	49	• 100
Car-Share	0	0	2	0	2 spaces
TOTAL	8	10	383	224	624

PARKING COLOR CODE LEGEND



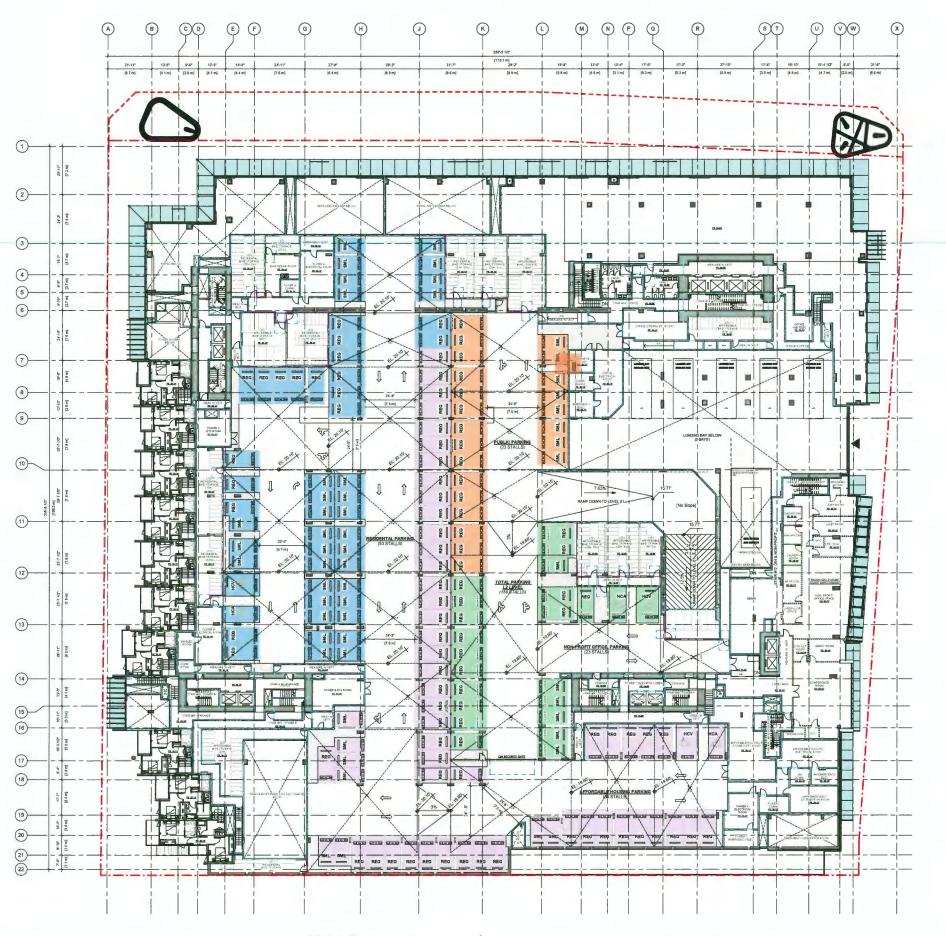
	_	JAR STALL	SIZES									DICTULE	SIALLS	NES	
	_	11'-1" [3.4 m]	5-0°	_+	8'-2 1/2" [2.5 m]	5'-0" [1.5 m]	+	8'-2 1/2 2.5 m	-	+	7-6 1/2° [2.3 m]	3'-11" [1.2 m]	470.6	'm +4	2'-0"][0.6 m]
18'-0 1/2"		HCA		18:0 1/2" [5.5 m]	HCA		18-0 1/2" E5.5 ml	REG	10) *	[4.8 m]	SML	9-10" 3.0 m]	[E 8.1]	74 <u>5</u>	
92				B F			= =			_		OVER-SIZE LOCKER	HORZ	VERT	
-	+	HC VAN ACC	ESSIBLE	+	C ACCE	SSIBLE	+	REGULA	R	5	SMALL				





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August 11, 2021 PLAN # 10e-3

RESIDENTIAL

PUBLIC (NON-RES)

ASSIGNABLE (NON-RES)

AFFORDABLE HOUSING

ASSIGNABLE (NON-PROFIT)

VISITOR

CAR SHARE

	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Parking ~ TOTAL	Total: 524 spaces (after 10% 10M reduction), including: Residents: 375 Non-residential: 247 Car-Share: 2	Total: 624 spaces, including: Residents: 375 Non-residential: 247 Car-Share: 2	None
Parking – Residential	Total: 375 spaces (after 10% TDM reduction), including: Market Strata @ 1/unit – 10% = 307 AH units @ 0.9/unit – 25% = 60 Visitors: 8	Total: 375 spaces, including: Market Strata: 307 AH units: 60 (including at least 1 accessible space, 1 van-accessible space, and no more than 30 small spaces) Visitors: 8 (2 spaces for the exclusive use of each residential building)	None
Parking – Non- Residential	Total: 247 spaces (after 10% TDM reduction), including: Non-profit social service use @ 3.75/100 m² GLA – 10% = 15 Office @ 1.275/100 m² GLA – 10% = 165 Retail @ 3.75/100 m² GLA – 10% = 67 NOTE: Parking (by use/type) must include a proportional share of accessible/van-accessible spaces (2%) and no more than 50% small car spaces (except where otherwise required by a legal agreement registered on title).	Total: 247 spaces, including: 50% Public Parking: 124 secured by legal agreement for general public use 50% Assignable Parking: 123, including 23 spaces secured by legal agreement for the exclusive use of the NPSS tenants & their guests (including at least 1 accessible space, 1 vanaccessible space & no more than 12 small spaces) 100 spaces that may be sold, leased, or assigned to specific businesses or people	None
Parking – Car-Share	2 spaces (car-share use only)	2 spaces (car-share use only)	None
Electric Vehicle (EV) Charging	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: 100% AH & Market Strata resident parking spaces (This excludes visitor parking.) 5% of non-residential parking, including: 12 NPSS parking spaces 2 Car-share parking spaces For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each: Residential (AH & Market Strata) bike storage room	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: Market Strata parking spaces: 307 All rental building parking spaces: 60 NPSS parking spaces: 12 Car-share parking spaces: 2 For Class 1 bike storage: Energized 120V duplex receptacles including at least: 58 for Market Strata bike storage 15 for AH rental building bike storage 5 for non-residential bike storage 5 for non-residential bike storage room	None

PARKING & EV DISTRIBUTION

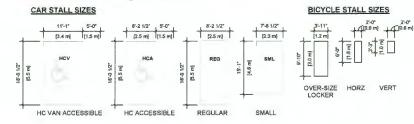
Use	P1	L1	L2	Total
Residential Parking				375, including:
Market strata	254 (254 EV)	0	53 (53 EV)	• 307 (307 EV)
AH units	0	0	60 (60 EV)	• 60 (60 EV)
 Residential Visitors 	0	8	0	• 8
Non-Residential Parking				247 including:
Public Parking	0	101	23	• 124
 Assignable Parking – NPSS 	0	0	23 (12 EV)	 23 (12 EV)
 Assignable Parking – Others 	87	13	0	• 100
Car-Share	0	2 (2 EV)	0	2 spaces (2 EV)
TOTAL	341 (254 EV)	124 (2 EV)	159 (125 EV)	624 (381 EV)

- Non-residential bike storage room

PARKING SPACE TYPE/SIZE BY USE

Use	Accessible	Van- Accessible	Standard	Small Car	Total
Residential Parking					375, including
Market strata	3	4	196	104	• 307
 AH units 	1	1	50	8	• 60
 Residential Visitors 	0	1	3	4	• 8
Non-Residential Parking					247 including:
Public Parking	2	2	73	47	• 124
 Assignable Parking – NPSS 	1	1	9	12	• 23
 Assignable Parking – Others 	1	1	49	49	• 100
Car-Share	0	0	2	0	2 spaces
TOTAL	8	10	383	224	624

EV Charge Room







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Richmond, B.C. Canada

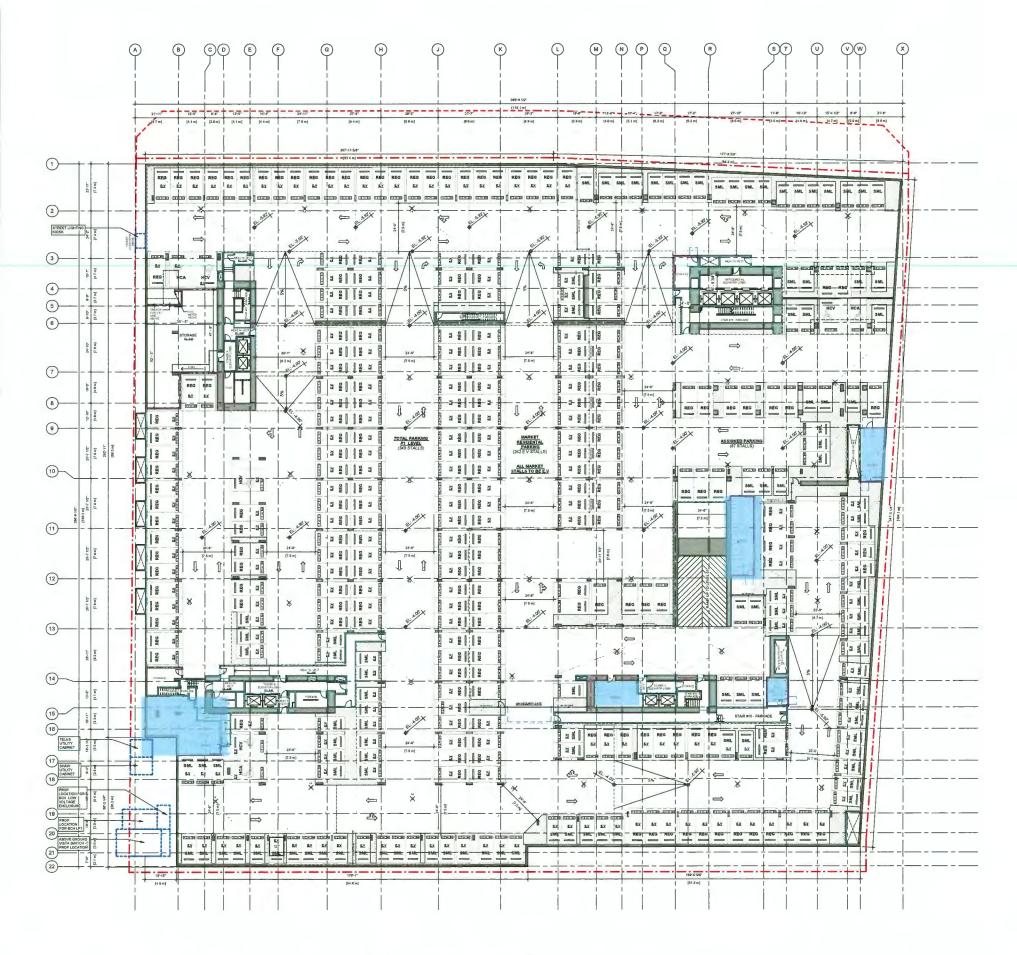
DP 19-881156

Date: August 11, 2021

August 11, 2021 PLAN # 10f-1

	ZMU46 Bylaw / Rezoning Requirements	Proposed		
Class 1 Bike Storage (Secured)	Total: 775 spaces, including - Non-Residential @ 0.27/100 m² GLA: 45 Residents @ 1.7/mit: 730 including: Market: 522 standard size & 58 over-size AH: 135 standard size & 15 over-size	Total: 775 spaces, including - Non-Residential: 45 Residents: 730 including: 580 Market strata (522 standard & 58 over-size) 150 AH (135 standard & 15 over-size)		
Class 2 Bike Storage (Public use)	Total: 154, including: Non-Residential @ 0.4/100 m² GLA: 68 Residents @ 0.2/unit = 86	154 located outdoors around the perimeter of the site	None	
Electric Vehicle (EV) Charging	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: 100% AH & Market Strata resident parking spaces (This excludes visitor parking.) 5% of non-residential parking, including: 12 NPSS parking spaces 2 Car-share parking spaces For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each: Residential (AH & Market Strata) bike storage room Non-residential bike storage room	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: Market Strata parking spaces: 307 AH rental building parking spaces: 60 NPSS parking spaces: 12 Car-share parking spaces: 2 For Class 1 bike storage: Energized 120V duplex receptacles including at least: 58 for Market Strata bike storage 15 for AH rental building bike storage 5 for non-residential bike storage room	None	

Residential Class 1 Bike Storage







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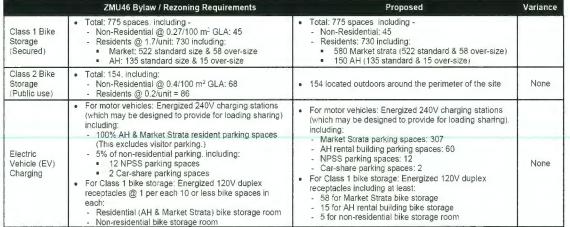
Richmond, B.C. Canada

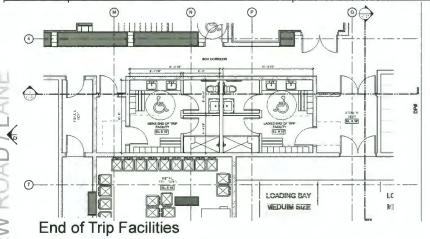
DP 19-881156

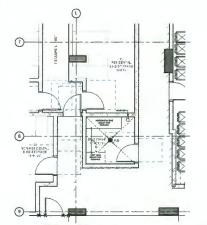
Date: August 11, 2021



August 11, 2021 PLAN # 10f-2







Bike Maintenance Facilities

Residential Class 1 Bike Storage

End of Trip Facilities

Bike Maintenance Facilities

Commercial Class 1 Bike Storage

Thind PROPERTIES



(E)

PLAZA SETBACK

6

8 -9 -

16

24-10" [7.6 m]

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ACCESS TO A

Richmond, B.C. Canada

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SRW - LINEAR PARK EXPANSION

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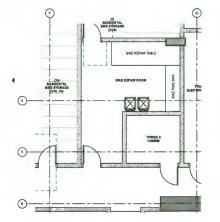
PLAN #10f-2 - DEVELOPMENT DETAILS
COMMERCIAL CLASS 1 BIKE STORAGE/EV &
END OF TRIP FACILITIES_L1



August 11, 2021 PLAN # 10g-3



	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Class 1 Bike Storage (Secured)	Total: 775 spaces, including - Non-Residential @ 0.27/100 m² GLA: 45 Residents @ 1.7/unit: 730 including: Market: 522 standard size & 58 over-size AH: 135 standard size & 15 over-size	Total: 775 spaces, including - Non-Residential: 45 Residents: 730 including: S80 Market strata (522 standard & 58 over-size) 150 AH (135 standard & 15 over-size)	
Class 2 Bike Storage (Public use)	Total: 154, including: Non-Residential @ 0.4/100 m² GLA: 68 Residents @ 0.2/unit = 86	154 located outdoors around the perimeter of the site	None
Electric Vehicle (EV) Charging	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: 100% AH & Market Strata resident parking spaces (This excludes visitor parking.) 5% of non-residential parking, including: 12 NPSS parking spaces 2 Car-share parking spaces For Class 1 bike storage: Energized 120V duplex receptacles @ 1 per each 10 or less bike spaces in each: Residential (AH & Market Strata) bike storage room Non-residential bike storage room	For motor vehicles: Energized 240V charging stations (which may be designed to provide for loading sharing), including: Market Strata parking spaces: 307 AH rental building parking spaces: 60 NPSS parking spaces: 12 Car-share parking spaces: 2 For Class 1 bike storage: Energized 120V duplex receptacles including at least: 58 for Market Strata bike storage 15 for AH rental building bike storage 5 for non-residential bike storage room	None



Bike Maintenance Facilities on Level 2 include :

- -Foot Pump
- -Bike Repair stand
- -Integrated Bike tools

Bike Wash Station on Level 1 include:

- -Hose Bib
- -Bike Washing Stand





* Above are sample images from precedent projects.

Bike Maintenance Facilities

Residential Class 1 Bike Storage

Thing
PROPERTIES

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PUBLIC PARKING (23 STALLS)

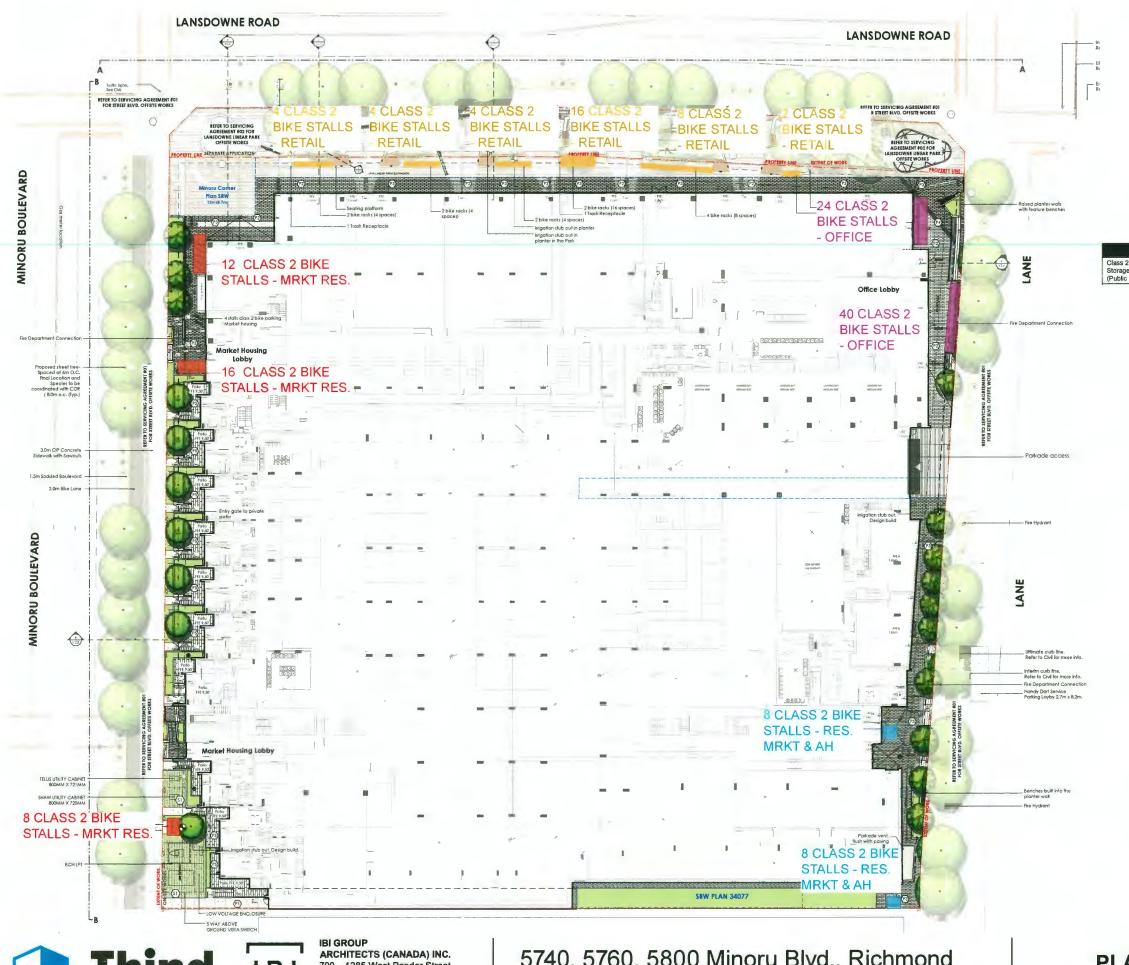
5740, 5760, 5800 Minoru Blvd., Richmond

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021

PLAN #10g-3 - DEVELOPMENT DETAILS
RESIDENTIAL CLASS 1 BIKE STORAGE/EV &
BIKE MAINTENANCE FACILITIES_L2



August 11, 2021 **PLAN # 10h**

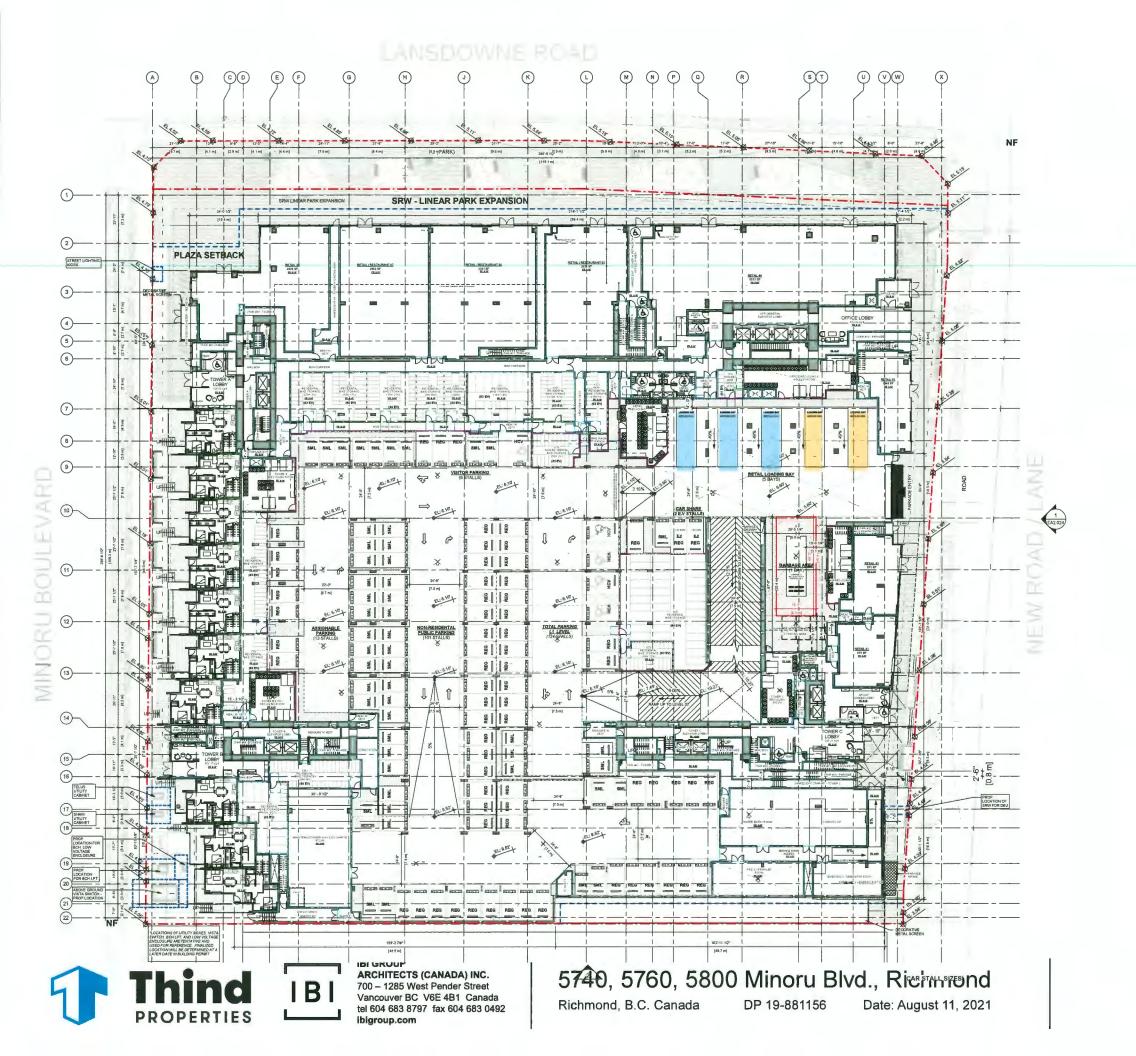


Total: 154, including:
- Non-Residential @ 0.4/100 m² GLA; 68
- Residents @ 0.2/unit = 86



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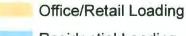
August 11, 2021 PLAN # 10i



	ZMU46 Bylaw / Rezoning Requirements	Proposed	Variance
Loading	Medium truck spaces: 5 Waste pick-up: 1	Medium truck spaces: 5 Waste pick-up: 1	None

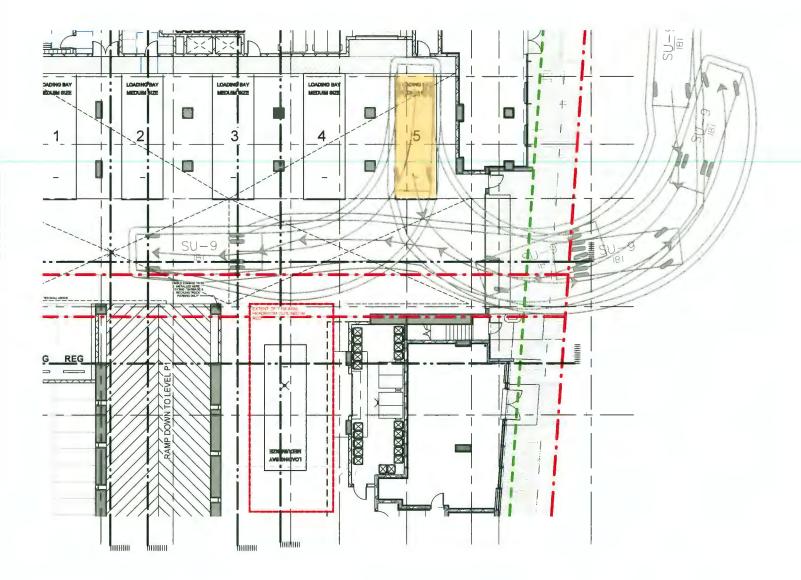
Required Loading
Residential 3 (1 per tower)
Retail/Office 2

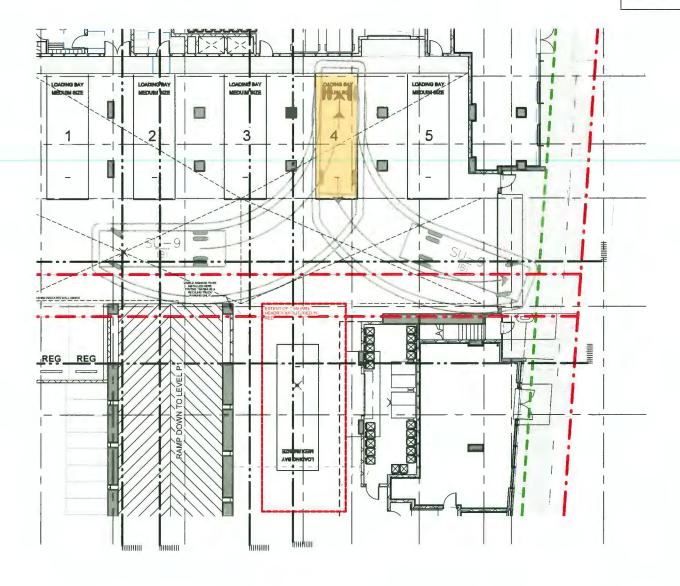
Provided Loading
Residential 3 (1 per tower)
Retail/Office 2



Residential Loading

August 11, 2021 PLAN # 10i-1





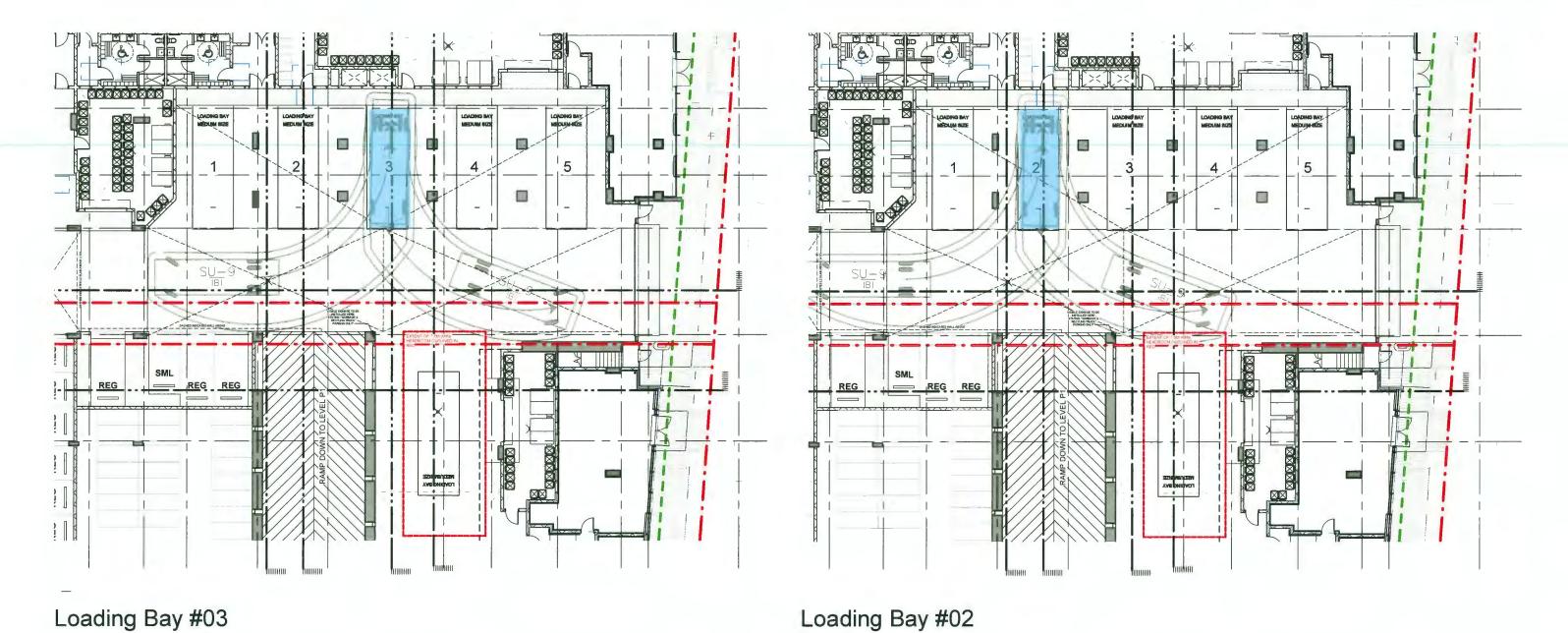
Loading Bay #05

Loading Bay #04





August 11, 2021 PLAN # 10i-2





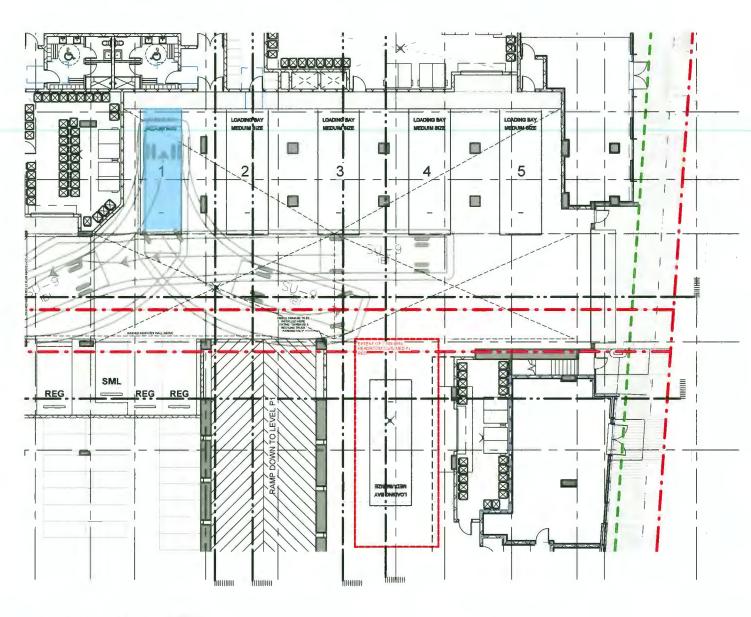


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August 11, 2021 PLAN # 10i-3



Loading Bay #01





August 11, 2021 **PLAN #10**j

SIZE			914 sq. ft. (\$4.91 sq. m) GROUND IVE - AT CRADE				
LOCATION	ı						
ACCESS IN	FORMATH	OW	OPEN 7AM-7	≥W.			
BUILDING	LISE		VIUITIPI "				
		FOOTPRINT	COLLECTION WASTE SERVICES				
BIN TYPE	# OF BINS	OF 1 BIN (sq. m)	SERVICE	PROVIDED			
				OFFICE MIXED			
350	5	0.56	CJTY	CONTA NERS			
				OFFICE NEWSPAPER,			
350	ış	0.56	CITY	MIXED PAPER			
4 CUBIC				OFFICE CARDBOARD			
CRAY	1	2.51	CITY	CONTAINERS			
240.	1	0.43	CITY	OFFICE GLASS			
240.	12	0.43	CITY	OFFICE FOOD SCRAPS			
3 C - 3 C				OFFICE GARBAGE			
YARD	2	1.96	CITY	CONTA NERS			

EACH CONTAINER X MAN FOUVER FACTOR SPACE ALLOCATION FOR STOAGRE FACILITY

SIZE			486 sq. ft. (49	.15 sq. m)			
LOCATION	4		GROUND LEVEL AT GRADE				
ACCESS IN	FORMATIC	ON	OPEN 7AM 7	PVI			
BUILDING	LISE		VI.ITIPIE				
BIN TYPE	# OF BINS	FOOTPRINT OF 1BIN [sq. m)	COLLECTION SERVICE	WASTE SERVICES PROVIDED			
360_	5	0.56	CITY	RETAIL MIXED CONTAINERS			
350 BICUBIC VARD	13		CITY	RITAH NEWSPAPES, MIKED PAPES RETAIL CARDSDARD CONTAINERS			
240_	1	0.43	CITY	OFFICE GLASS			
4 CUBIC YARD	1.	1.96	CITY	OFFICE GARBAGE CONTAINERS			

SIZE			808 sq. "L (84,35 sq. m)					
LOCATION	V V		GROUND LEV	EL - AT GRADE				
ACCESS IN	FORMATIC	NC	OPEN TO RESIDENTS 24/7					
NUMBER	OF UNITS		168					
BIN TYPE	# OF BINS	FOOTPRINT OF LBIN (sq. m)	COLLECTION SERVICE	WASTE SERVICES PROVIDED				
350_	7	0.56	CITY	RESIDENT A MIXED CONTAINERS RESIDENT AL				
350	5	0.56	CITY	NEWSPAPER, VIXED				
4 CUBIC	,	2.51	CITY	RESIDENT AL CARDEOARD CONTAINERS				
240_	1	0.43	CITY	RESIDENT A_GLASS RESIDENT A_FOOD				
240	7	0.43	CITY	SCRAPS				
SICUBIC YARD	4	3.07	CITY	RESIDENT ALGARBAGE CONTAINERS				
		FOR STOAGRE VIANCEL.VER		UMBER CONTAINERS X				
SPACE AL	LOCATION I	FOR STOAGR	FACILITY					

	A	B (D E) (F) (G	3 H	②	(K) M	N P Q	R	ST	9 VW	(X)
	12 4 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	13/2		26-17-46-18-18-18-18-18-18-18-18-18-18-18-18-18-	77-4 [8.4 m]	29-2* (0.9 mPARK)	ia e w)	397-9 1/2 ⁶ 9 m)	88.57g. 16124 013407 159m) (40m)	(3 tm) -(5 2 m)	17-67 27-16 [2 2 m] 18-5m		11 (20 m)	21-07 48 16 16 16 16 16 16 16 16 16 16 16 16 16
1	1 - 11			RW LINEAR PARK EXPANSION	SRW	- LINEAR PARK	EXPANSION							e sit
	71-122 WE/I	34-0 1/			M		M	(36 4 m)		R		õ	122	7/2 m]
STREET LIGHTING	- Land	PLAZA SETE	ACK	CETAL DE LE CETAL	RETAL FRESTALMANT OF 2013 OF CLARK	BETAI	ARESTALMANI CO	RETAL / REE	AGRANT #5		1			EL AST
3	DECORATINE METAL SCREEN	7.5		- Line Company					100000	<u> </u>	PARTAG. Se 6910 SF GLARK			R
4	7.81 (4.7.m) (4.7.m)	33. 440-Proposition (1)		TO Classes		1-1			6		wa was		FFICE LOBBY	1 E (1) S (1)
5	0 1.3 0 1.3	17415 #01 - PARP ACC		MEA.N VE.7	1 S 1 S 4	WW -	BOH CORRIDOR						7545 417 - 5460-400 2444 147 - 2446 UP	
	77.5mg	Tower	MAL POH	BOM CORMODS	CONTAL SECRETAL SECRE	SELECTION SELECT	INTO THE CONTRIDOR FOR THE CONTRIDOR FOR THE CONTRIDOR (FOR ANY) FOR THE CONTRIDOR (FOR ANY)	## 155. ## 150 (\$4.4.5) ## 150 (\$4.4.5) ## 150 (\$2.2.5)	PE TORAGE		Marie		METALL 23 There are	338
7	16.0°F				DHC FORMS ACCEDA			(1) EN (1)						
8	(13 m) 1.		FINANCE II	SML SML SML	SML SML SML SML	REG REG REG	ML SML	NTHABBIBENTAL BHE STORAGE SHE STORAGE	End which	-		5007		
9	201 C-221			EL. 6.10 X	E S E S 10 1	X VISITOR PA	LS)	76mi 3X	& 6.18 3 16%	28.45 17.5 ml	RETAIL LOAD	S SEP Y		110.3 ml
10				B. 6.107	SMI SMI	EL: 6.10		EF: 6:10.1		CAR SHARE 2 EV STALLS)		29:5 144		\$ 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
L: 78	17.4 mil 17.		P PERSONA BE	<u> </u>	SMI)	2 2 2 2 2 2 2 2 2 2	*.	REG	SML EY EY REG REG		10-0 1/4- 10-0 1/4- 13-1 mil		
(1)————————————————————————————————————	Mil. 1877.7		(1) EV)			24-5* [1]	2 2		او			SANBAGE AREA IT BAY	PETAL SZ ETT SF EEAX	55
(12)————————————————————————————————————	2557 11.4 11.4 11.4 11.4 11.4 11.4 11.4 11.			EL:6.10+	# # # #	E: 8:101	REC REC	E. 8.101	54	SE SEPORAL SPECIFICACION		[60m] J		
	77.8 rol		E CANADA I O		SML SML SML SML SML SML SML	NON-RESIDENTAL PUBLIC PARKING (101 STALLS)	REG REG	IOTAL PARKING	2	CONTAC (MA SV)			BRIAN BY SYLEY SAME	
(13)	**************************************		BEDERICH ST. (SCHOOL ST. (SCHO		SWL SWL	0.101	REG REG		6.10 5% b		0.27		+	
14	28:41*		3 · 5 1/2'	*	HW H		REG	24-9- [7-5 m]		RAMP UP TO LEVEL OZ			APART STATE	#
	137.57 [6.1 m] 7.0 m]	OGO TOWERS	710 MARIANE 100M	MEANUE STUDENT	- I	8 1	SMI SMI		MENGUE N	TO THE COLUMN TO	I UP	TOWER C LOGBY	2 3° 10 1	
15	I STATE OF THE STA	LOBBY			COMM ROOM E	7-1-1	2 1 1 8 8		TAS 80- 102	15 EUE	1	X HALLY ME SAILS	- 6 i0	E

SIZE			492 sq. ft. (45.71 sq. m) GROUND LEVEL AT GRADE					
LOCATION	V							
ACCESS IF	VEORMATIC	ON	OPEN TO RESIDENTS 24/7 104					
NUMBER	OF LINITS							
BIN TYPE	# OF BINS	FOOTPRINT OF 1 BIN (sq. m)	COLLECTION SERVICE	WASTE SERVICES PROVIDED				
350.	5	0.56	CITY	RESIDENT A MIXED CONTAINERS RESIDENT AL NEWSPAPER, MIXED				
350	4	0.56	CITY	PAPER				
BICUBIC VARD	,	1.06	CITY	RESIDENT A CARDROARD CONTAINERS				
240_	1		CITY	RESIDENT AL GLASS				
240 5 CUBIC	5		CITY	RESIDENT A TOOD SCRAPS RESIDENT ALGARBAGE				
Y.A.R.D	2	3.07	CITY	CONTAINERS				

MULTI-FAMILY WASTE ROOM INFORMATION TABLE- TOWER A

SERVICE

SPACE ALLOCATION FOR STOAGRE FACILITY = NUMBER CONTAINERS X

FAST LCONTAINER & MANEOUVER FACTOR SPACE ALLOCATION FOR STOAGRE FACILITY

FOOTPRINT

478 sq. ft. (44.41 sq. m) GROUND LEVEL AT GRADE OPEN TO RESIDENTS 24/7

COLLECTION WASTE SERVICES

PROVIDED

SCRAPS

RESIDENT ALGARBAGE CONTAINERS

CONTAINERS RESIDENT A. NEWSPAPER, MIXED RESIDENT A CARDBOARD CONTAINERS RESIDENT A TOOD

SIZE
LOCATION
ACCESS INFORMATION
NUMBER OF LINITS

5 CUBIC

BIN TYPE # OF BINS OF 1 BIN

SPACE ALLOCATION FOR STOAGRE FACILITY = NUMBER CONTAINERS X FACI CONTÁINER & MANEOUVERFACTOR SPACE ALLOCATION FOR STOAGRE FACILITY





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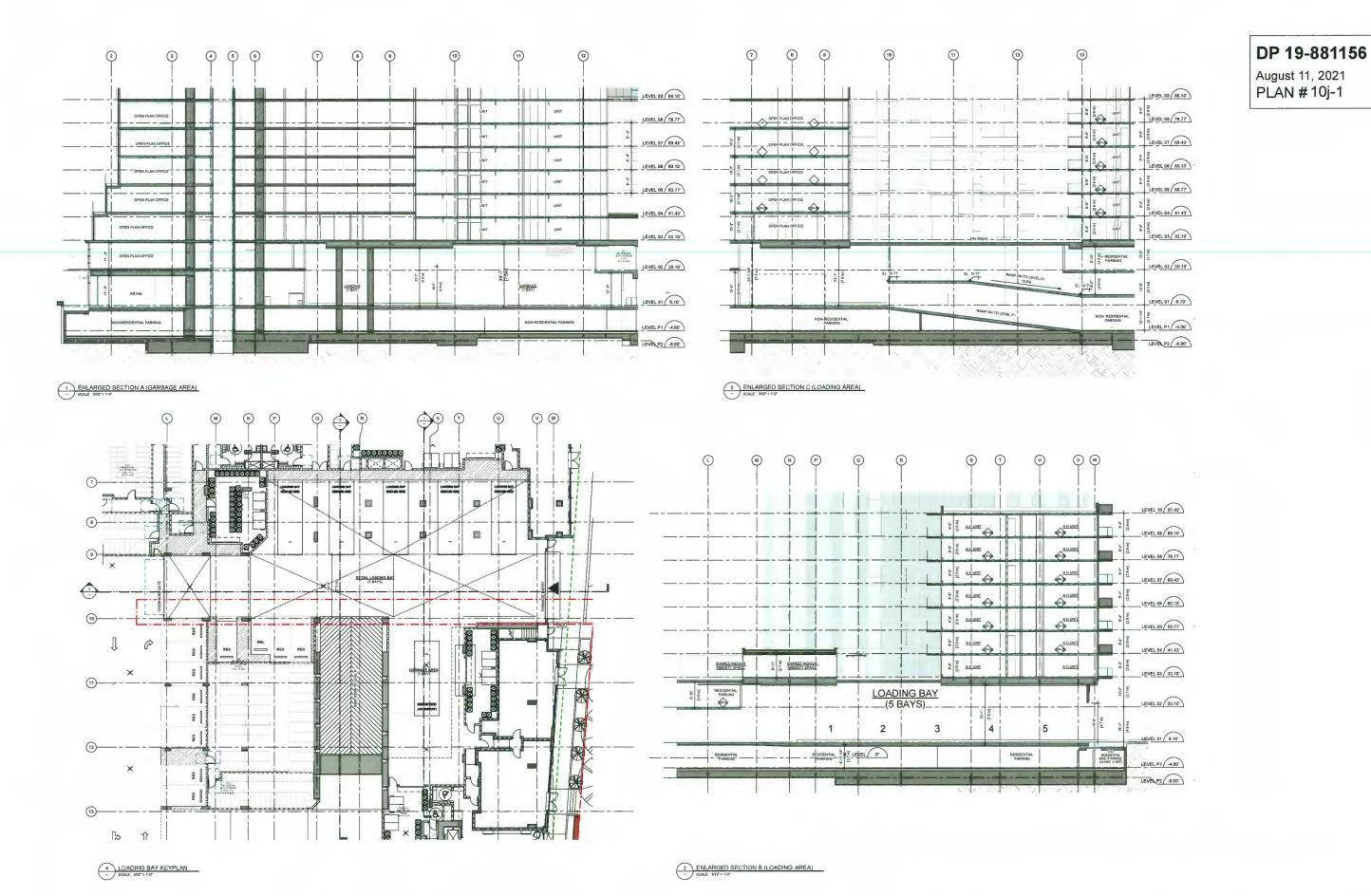
EL: 9.52

Richmond, B.C. Canada

DP 19-881156

Date: August 11, 2021

PLAN #10j - DEVELOPMENT DETAILS **WASTE MANAGEMENT_L1**





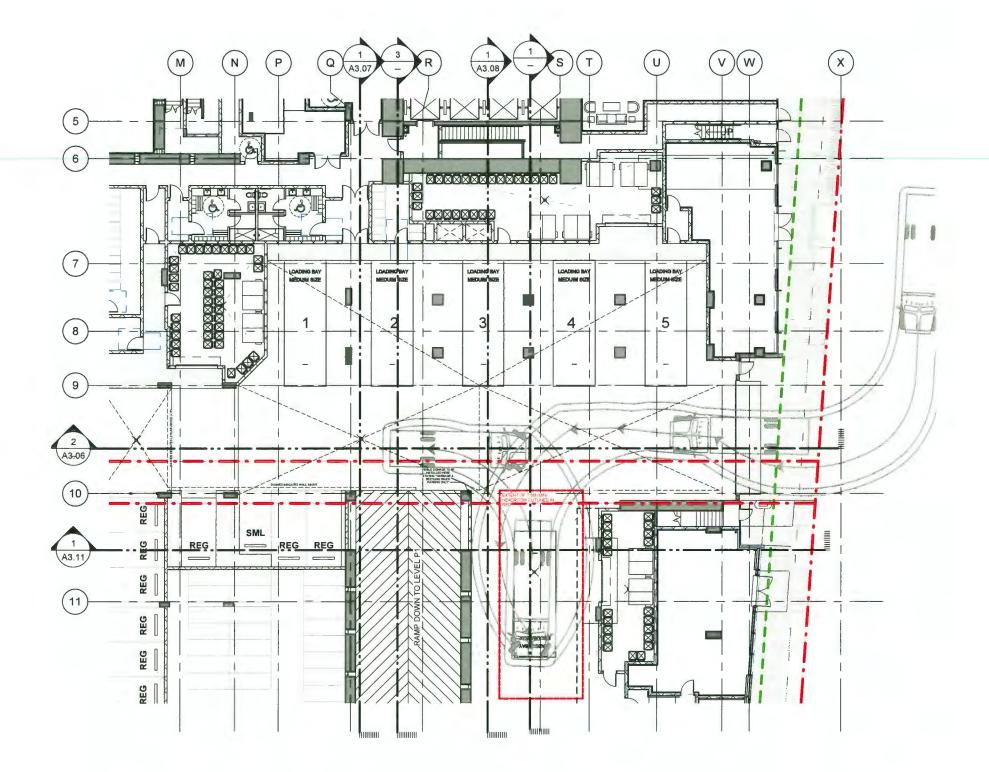


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August 11, 2021 PLAN # 10j-2

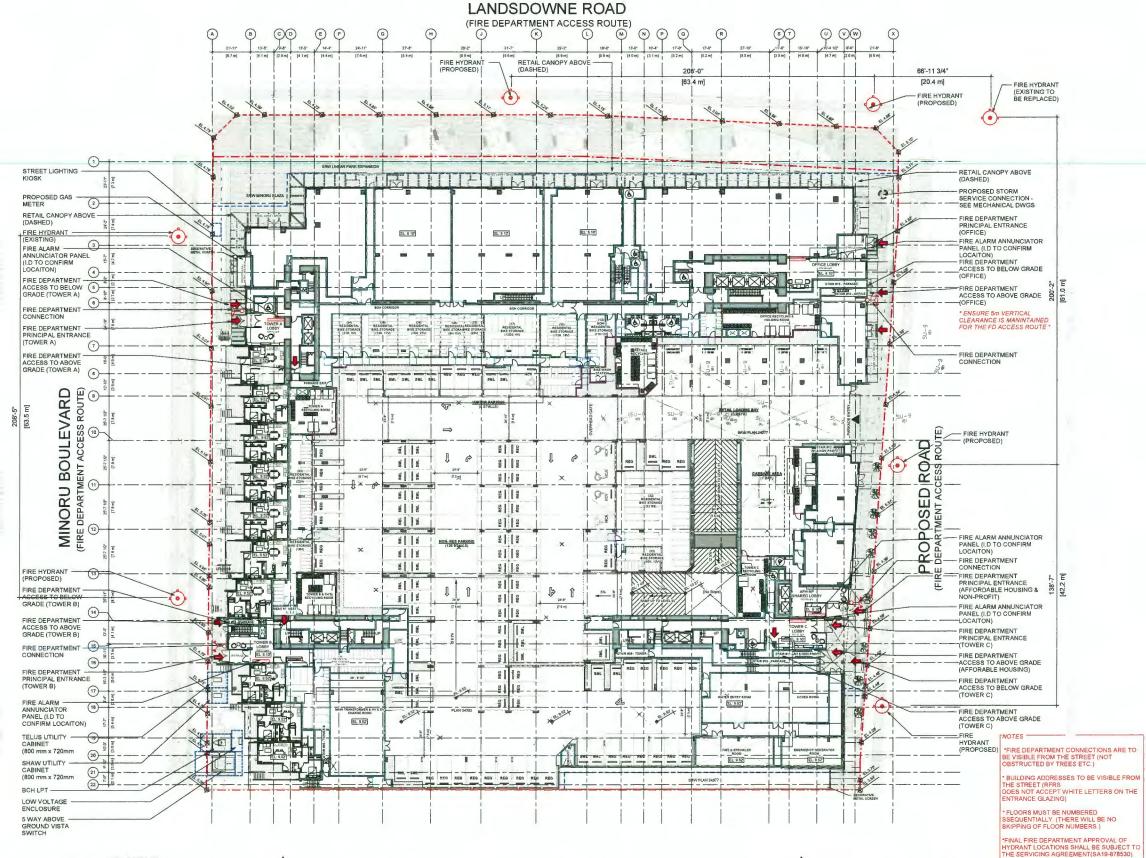






August 11, 2021 PLAN # 10k





NOTE: "Location of Hydrants are currently under review and yet to be finalized"





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August 11, 2021 PLAN # 11

Signage Plan



1. Building Entrance Signage

: Aluminum cast numbers on top of the canopy at each building entrance





2. Office Signage

: Stand alone signage for offices on glass board



3. Townhouse Signage

: Aluminum cast numbers on the building facade



4. Retail Signage

: Suspended tenant blade



5. Parking Signage

: Entry signage and wayfinding at each core



6. Office Tower Signage

: Backlit Letters and Logo at the top of the Office

Tower



* Above are sample images from precedent projects.



