



## Development Permit Panel

Council Chambers, City Hall  
6911 No. 3 Road

Wednesday, July 29, 2020  
3:30 p.m.

### MINUTES

*Motion to adopt the minutes of the Development Permit Panel meeting held on July 15, 2020.*



1. **DEVELOPMENT PERMIT 18-829083**  
(REDMS No. 6474952)

APPLICANT: Konic Development Ltd.

PROPERTY LOCATION: 8291 and 8311 Williams Road

#### Director's Recommendations

*That a Development Permit be issued which would:*

1. *permit the construction of 10 townhouse units at 8291 and 8311 Williams Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *reduce the front yard setback along Williams Road from 6.0 m to 4.5 m; and*
  - (b) *allow one small car parking space in each of the side-by-side garages (eight small car parking spaces in total).*



2. **DEVELOPMENT PERMIT 20-890821**  
(REDMS No. 6489448 v. 2A)

APPLICANT: Vivid Green Architecture Inc.

ITEM

PROPERTY LOCATION: 5500 Williams Road

**Director's Recommendations**

*That a Development Permit be issued which would permit the construction of two duplexes at 5500 Williams Road on a site zoned "Arterial Road Two-Unit Dwellings (RDA)".*



**3. DEVELOPMENT PERMIT 20-893127**

(REDMS No. 6489448 v. 2A)

APPLICANT: Design Work Group Ltd.

PROPERTY LOCATION: 11480 and 11500 Railway Avenue

**Director's Recommendations**

*That a Development Permit be issued which would:*

- 1. permit the construction of three duplexes at 11480 and 11500 Railway Avenue on a site zoned "Arterial Road Two-Unit Dwellings (RDA)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.*



**4. DEVELOPMENT PERMIT 18-837117**

(REDMS No. 6492174 v. 2)

APPLICANT: W. T. Leung Architects Inc.

PROPERTY LOCATION: 6333 Mah Bing Street

**Director's Recommendations**

*That a Development Permit be issued which would:*

- 1. permit the construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 364 parking spaces at 6333 Mah Bing Street on a site zoned "High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)"; and*

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ITEM

2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 13,000 m<sup>2</sup> (139,930 ft<sup>2</sup>) to 8,227 m<sup>2</sup> (88,554 ft<sup>2</sup>).*



5. **New Business**

6. **Date of Next Meeting: August 12, 2020**

**ADJOURNMENT**



## Development Permit Panel Wednesday, July 15, 2020

Time: 3:30 p.m.  
Place: Council Chambers  
Richmond City Hall  
Present: Joe Erceg, Chair  
Cecilia Achiam, General Manager, Community Safety  
Peter Russell, Director, Sustainability and District Energy

The meeting was called to order at 3:30 p.m.

### Minutes

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on June 24, 2020 be adopted.*

CARRIED

#### 1. GENERAL COMPLIANCE – REQUEST BY HAMILTON HIGH STREET HOLDINGS CORP. FOR A GENERAL COMPLIANCE RULING AT 23100 GARRIPIE AVENUE

(File Ref. No.: DP 15-716274 Xr: DP 19-880533) (REDMS No. 6442201 v. 7)

APPLICANT: Hamilton High Street Holdings Corp.

PROPERTY LOCATION: 23100 Garripie Avenue

#### INTENT OF PERMIT:

To consider the attached plans involving changes to the design of the proposed building and landscaping be considered to be in General Compliance with the approved Development Permit (DP 15-716274).



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#### **Applicant's Comments**

Bryce Rositch, Rositch Hemphill Architects, with the aid of a visual presentation (copy on file, City Clerk's Office), briefed the Panel on the historical background of the proposed changes to the approved Development Permit (DP 15-716274) and provided an overview of the proposed changes, noting that (i) there will be soft and hard landscape changes in some areas of the site, (ii) minor changes are proposed for storefront windows on Level 1, (iii) the location of the HandyDART parking along the new road (Garripie Avenue) will be changed, and (iv) changes along the Westminster Highway frontage include, among others, the removal of the approved elevated paved walkway and addition of stairs.

In reply to a query from the Panel, Rob Howard, New Coast Lifestyles, advised that the removal of the elevated walkway that fronts Westminster Highway is proposed due to changes in traffic conditions which pose a safety concern for memory ward patients.

In reply to queries from the Panel, the project design team, including Ryan Broadfoot, HAPA Collaborative, noted that (i) there will be an opportunity for tree planting on the new landscaped berm on the courtyard, and (ii) the subject development complies with the City's previous sustainability requirement.

In reply to a query from the Panel, Wayne Craig, Director, Development, noted that the subject development would have been required to achieve LEED Silver Equivalency at the time of its rezoning application a number of years ago.

#### **Staff Comments**

Mr. Craig noted that (i) the applicant's presentation regarding the proposed changes to the approved Development Permit is comprehensive, (ii) from a public realm perspective, the proposed landscape change along Westminster Highway will improve the amount of landscaping and helps soften this edge, and (iii) the removal of the elevated paved walkway will not be a concern as there are alternative pedestrian routes available.

#### **Gallery Comments**

None.

#### **Correspondence**

None.

#### **Panel Decision**

It was moved and seconded

*That the attached plans involving changes to the design of the proposed building and landscaping be considered to be in General Compliance with the approved Development Permit (DP 15-716274).*

**CARRIED**

2.

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**2. DEVELOPMENT PERMIT 18-820689**

(REDMS No. 6469416 v. 4)

APPLICANT: Integrated Construction

PROPERTY LOCATION: 1600 Savage Road

**INTENT OF PERMIT:**

Permit the construction of a warehouse building at 1600 Savage Road on a site zoned “Light Industrial (IL)” and partially designated as Environmentally Sensitive Area (ESA).

**Applicant's Comments**

Wade Lundquist, representing the applicant, Integrated Construction, provided a historical background on the project, including events which resulted in the City’s issuance of a stop work order to prohibit further construction on the site. In addition, Mr. Lundquist noted that the project has been designed to serve the operational needs of the business of the property owner.

Chris Lee, Aqua Terra Environmental Ltd., briefed the Panel regarding the Environmentally Sensitive Area (ESA) on the subject site, noting that (i) non-native plant species are found on the small polygon-shaped central ESA which is surrounded by paved areas and separated from the larger contiguous northern ESA, (ii) the central ESA has a low habitat value, and (iii) the northern ESA has more opportunities for enhancement to increase its habitat value due to its larger size, contiguousness with adjacent off-site ESAs, and proximity to the Fraser River.

In reply to queries from the Panel, Mr. Lee acknowledged that (i) the proposed ESA enhancement scheme for the northern ESA would result in a net gain in habitat area with a gain-loss ratio of 2:1, and (ii) no changes have been made to the ESA enhancement plan previously presented to the Panel.

Larry Podhoral, Larry Podhoral, Architecture Inc., briefed the Panel regarding the alternative site plan that would allow for the retention of the central ESA, noting that (i) pulling the building to the south would significantly reduce the lot coverage and building floor area, (ii) the turning radius for vehicles would be negatively affected, (iii) the alternative site plan and building design and orientation would not be consistent with good planning and architectural practice, and (iv) the alternative site plan would not serve the functional needs of the business of the property owner.

In reply to queries from the Panel, Mr. Podhoral confirmed that the alternative site plan would (i) reduce the amount of vehicle parking area, (ii) result in conflicts with the shared access between the subject site and the adjacent property to the south, and (iii) increase the visibility of vehicle loading to the street.

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In reply to a query from the Panel, Adrian Botez, property owner, stated that (i) he owns two separate business companies that will be located in the proposed building, (ii) the two companies have different operational requirements and would require two separate loading bays for efficiency and safety reasons, and (iii) the alternative site plan would result in an irregular shape for the building, reduce usable floor space, and not accommodate the operational needs of the businesses.

In reply to further queries from the Panel, the applicant and property owner noted that (i) stacking the spaces for window manufacturing and storage operations on two levels within the same building would not be feasible due to the floor space required for each business and the operational and height requirements associated with the manufacturing process, (ii) the net gain in habitat area as a result of the proposed ESA compensation scheme exceeds the minimum requirement, and (iii) the additional ESA on the northern ESA would more than compensate for the loss of the central ESA.

#### **Staff Comments**

Mr. Craig noted that (i) the applicant's proposed site plan, which provides cross access immediately to the south of the subject site, is the most efficient use of the site and provides the most environmental benefit, (ii) in response to a Council referral item, the Qualified Environmental Professional (QEP) for the project has confirmed that the removal of the English Ivy from affected areas, including the ivy climbing the trees, will be part of the ESA compensation, (iii) all invasive species removal and ESA restoration work will be supervised by the project QEP on-site, and (iv) the project QEP has reviewed the planting palette for enhancement of the northern ESA and recommended that Lodgepole Pines not be included due to concerns regarding their survivability and limited growth potential on the northern ESA.

In reply to a query from the Panel, Mr. Craig confirmed that (i) the proposed expansion of the northern ESA by 305 square meters would more than compensate for the removal of the 198-square meter central ESA, and (ii) there will be a three-year monitoring period for ESA enhancements to be conducted annually by the QEP.

#### **Gallery Comments**

None.

#### **Correspondence**

None.

#### **Panel Discussion**

The Panel expressed support for the project, noting that (i) the applicant has reviewed the site plan previously presented to the Panel and considered an alternative site plan, and (ii) the proposed site plan and building design is appropriate for the manufacturing and storage uses by the property owner.

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**Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would permit the construction of a warehouse building at 1600 Savage Road on a site zoned "Light Industrial (IL)" and partially designated as Environmentally Sensitive Area (ESA).*

**CARRIED**

**3. DEVELOPMENT PERMIT 18-835533**

(REDMS No. 6397573 v. 6)

APPLICANT: Mosaic No. 3 Road and Williams Limited Partnership

PROPERTY LOCATION: 9900 No. 3 Road and 8031 Williams Road

**INTENT OF PERMIT:**

1. Permit the construction of a four-storey mixed use building containing 638 m<sup>2</sup> (6,867 ft<sup>2</sup>) of non-residential uses on the ground floor and 33 secured market rental apartment units at 9900 No. 3 Road and 8031 Williams Road on a site zoned "Commercial Mixed Use (ZMU44) – Broadmoor"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the setbacks to No. 3 Road and Williams Road for the southwest corner of the building from 2.0 m to 0.0 m.

**Applicant's Comments**

Ben Nielsen, Proscenium Architecture and Interiors, Inc., with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development, including its site plan and context, proposed architectural design for the building, exterior cladding materials, and building floor plans.

In addition, Mr. Nielsen highlighted the following:

- the siting of the project conceals the surface parking area and limits its overlook and shadowing on neighbouring properties;
- the four-storey mixed use development is located at the prominent No. 3 Road and Williams Road intersection and provides four commercial units at ground level and 33 secured market rental dwelling units on three storeys above;
- 42 percent of the rental units have two or more bedrooms that are suitable for families with children;
- 30 percent of the rental units have been designed with basic universal housing (BUH) features and all units have aging-in-place features;
- 28 of the units will be provided with Juliet balconies;

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- a four-storey white brick corner tower element is proposed at the No. 3 Road and Williams Road intersection; and
- a right-in/right-out vehicle circulation is proposed.

Alexa Gonzalez, Durante Kreuk, Ltd., briefed the Panel on the main landscape features of the project, including (i) the public realm interface on the west and south sides of the site and frontage improvements, (ii) the variety of proposed surface paving treatments to assist pedestrian circulation, help identify building entries and parking spaces, and provide visual interest, (iii) the provision of an accessory structure containing secured bicycle parking, (iv) buffering along the north and east property lines to provide separation to adjacent residential developments, and (v) the proposed design, siting and programming of the common outdoor amenity area on the building rooftop.

In reply to queries from the Panel, the project design team including Elise Spearing, MOSAIC Homes, acknowledged that (i) the proposed Juliet balconies are not designed for residents to stand on, (ii) a significant number of market rental units are family-oriented, (iii) the site slopes down towards the northeast corner where a retaining wall is proposed, (iv) a variety of paving treatments would help soften the drive aisle and surface parking area, (v) the design of the vehicular entry/exit takes into account pedestrian safety and required turning radius for large and small vehicles, (vi) the applicant will consider upsizing the trees to be planted on ground level with consideration for not impacting vehicle parking and pedestrian circulation, and (vii) the design of electric vehicle charging stations for residential parking stalls would be appropriate for an outdoor surface parking area.

#### **Staff Comments**

Mr. Craig noted that (i) both driveway letdowns will be restricted to right- in/right-out only, (ii) the design of the letdowns will be done through a City servicing agreement, (iii) 42 percent of the market rental units have two or more bedrooms, (iv) the proposed setback variance due to the required corner cut road dedication at the No. 3 Road and Williams Road intersection was extensively reviewed and will not impact pedestrian circulation and vehicle sightlines at the corner, and (v) there will be a Servicing Agreement for frontage works and site services.

In reply to query from the Panel, Mr. Craig advised that the proposed size of the communal rooftop outdoor amenity area will compensate for the small size of the Juliet balconies and significantly exceeds the City's typical requirements for total common and private outdoor space.

#### **Gallery Comments**

None.

#### **Correspondence**

None.

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**Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would:*

1. *permit the construction of a four-storey mixed use building containing 638 m<sup>2</sup> (6,867 ft<sup>2</sup>) of non-residential uses on the ground floor and 33 secured market rental apartment units at 9900 No. 3 Road and 8031 Williams Road on a site zoned "Commercial Mixed Use (ZMU44) – Broadmoor"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the setbacks to No. 3 Road and Williams Road for the southwest corner of the building from 2.0 m to 0.0 m.*

**CARRIED**

**4. Date of Next Meeting: July 29, 2020**

**5. Adjournment**

It was moved and seconded

*That the meeting be adjourned at 4:37 p.m.*

**CARRIED**

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, July 15, 2020.

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Joe Erceg  
Chair

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Rustico Agawin  
Committee Clerk



# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** July 7, 2020

**From:** Wayne Craig  
Director, Development

**File:** DP 18-829083

**Re:** **Application by Konic Development Ltd. for a Development Permit at 8291 and 8311 Williams Road**

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 10 townhouse units at 8291 and 8311 Williams Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Reduce the front yard setback along Williams Road from 6.0 m to 4.5 m; and
  - b) Allow one small car parking space in each of the side-by-side garages (eight small car parking spaces in total).

Wayne Craig  
Director, Development  
(604-247-4625)

WC:jl  
Att. 4

## **Staff Report**

### **Origin**

Konic Development Ltd. has applied to the City of Richmond for permission to develop 10 townhouse units at 8291 and 8311 Williams Road with vehicle access to Williams Road. One of the 10 townhouse units is proposed to contain a ground-level secondary suite. The site is being rezoned from the “Single Detached (RS1/E)” zone to the “Low Density Townhouses (RTL4)” zone under Bylaw 10053 (RZ 17-788945), which received Third Reading following the Public Hearing on September 3, 2019. The subject site currently contains two single-family dwellings that will be demolished at a future development stage.

A Servicing Agreement (SA 18-840886) is also associated with the proposal, which is a condition of Building Permit issuance and includes, but is not limited to, utility works, a new sidewalk and landscaped boulevard along the Williams Road frontage.

### **Development Information**

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

- To the North: Single-family dwellings on lots zoned “Single Detached (RS1/E)”, fronting Pigott Road.
- To the East: Single-family dwellings on lots zoned “Single Detached (RS1/E)” and designated “Arterial Road Townhouse” under the Arterial Road Land Use Policy, fronting Williams Road.
- To the South: Across Williams Road, single-family dwellings on lots zoned “Single Detached (RS1/E)” and designated “Arterial Road Townhouse” under the Arterial Road Land Use Policy, fronting Williams Road.
- To the West: Single-family dwellings on lots zoned “Single Detached (RS1/E)”, which are proposed to be rezoned to “Low Density Townhouses (RTL4)”, in accordance with the Arterial Road Land Use Policy, in order to develop 10 townhouse units (RZ 18-824503). Vehicle access to the proposed development is to be provided via the proposed driveway and drive aisle on the subject site. The rezoning bylaw received First Reading at the Council meeting on June 8, 2020, and a Development Permit (DP 19-858783) is currently under review.

### **Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site was held on September 3, 2019. At the Public Hearing, the following concerns were expressed by a representative of the property owners of the neighbouring property to the north of the subject site at 8300 Pigott Road:

- The height of the proposed development is considerably higher than neighbouring properties and will directly impact the privacy of this property.



- The loss of solar rights for the residential property.

Staff worked with the applicant to address these issues in the following ways:

- The developer has noted that the rear buildings adjacent to single-family dwellings are limited to two storeys with a duplex building form. Privacy concerns of the existing single-family properties to the north of the subject site are proposed to be minimized through the provision of a 6.0 m rear yard setback, retention of four mature trees and addition of two trees in the rear yard, and the installation of a 1.8 m tall wood fence along the north property line.
- A sight line analysis (Attachment 2) has been provided to address overlooking concerns due to the height of the three-storey buildings. It is noted that existing single-family properties to the north of the subject site will not be visible from the windows located at the third storey as the sight line is blocked by the proposed rear buildings.
- The proposed roof line is designed to diminish the impact of shadowing.
- A shadow analysis (Attachment 3) has also been provided to address concerns of shadow impacts on neighbouring properties. It is noted that the greatest shadow impacts would occur during the winter solstice, with minimal impacts during the rest of the year.

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouses (RTL4)” zone except for the zoning variances noted below.

### Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1) Reduce the minimum front yard setback along Williams Road from 6.0 m to 4.5 m.

- **Staff are supportive of the proposed variance as it is consistent with the Arterial Road Guidelines for Townhouses in the OCP which allows for a 4.5 m front yard setback where a 6.0 m rear yard setback to both the ground and second floors of the rear units adjacent to single-family development is provided. This provides an improved rear yard interface with the existing single-family dwellings to the north.**
- **Staff are also supportive of the proposed variance as it maximizes the retention of four existing trees in the rear yard.**
- **A 1.0 m road dedication along the Williams Road frontage is provided to accommodate a new sidewalk and landscaped boulevard behind the existing curb.**
- **The variance was identified at rezoning and no concerns were raised.**

2) Allow one small car parking space in each of the side-by-side garages (eight small car parking spaces in total).

- *Staff are supportive of the proposed variance as it enables the required resident vehicle parking spaces to be provided within the garages of each unit, in a side-by-side arrangement. The Zoning Bylaw allows a maximum of 50% of the spaces provided to be small vehicle parking stall for on-site parking areas which contain 31 or more spaces.*
- *The variance was identified at rezoning and no concerns were raised.*

### **Advisory Design Panel Comments**

The Advisory Design Panel reviewed the proposal on December 4, 2019. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 4, 2019 is attached for reference (Attachment 4). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

### **Analysis**

#### ***Conditions of Adjacency***

- As per the Arterial Road Land Use Policy, the building height of the two-storey duplex units proposed at the rear is below 9.0 m in response to the rear yard interface with single-family houses to the north. In addition, a 6.0 m rear yard setback has been provided to both the ground and second floors of the rear units to provide an improved interface and tree retention opportunities. The location of the outdoor amenity area, along with the retention of significant trees along the north property line, provides a buffer between the proposed townhouse units and the adjacent single-family development to the north.
- To the east and west, the subject site is also bordered by single-family developments which are identified for townhouse development in the Arterial Road Land Use Policy. The single-family lots immediately to the west are proposed to be rezoned in order to develop 10 townhouse units (RZ 18-824503). The three-storey townhouse buildings along Williams Road are reduced to two storeys within 7.8 m of the side property lines with a minimum side yard setback of 4.5 m to provide an adequate transition to the adjacent residential developments.
- The applicant has provided a shadow analysis to demonstrate how the proposed height and setbacks are articulated to address potential shadowing over adjacent properties to the north, east, and west. The proposed roof line is designed to diminish the impact of shadowing and scale to the neighbours.
- A statutory right-of-way (SRW) over the entry driveway and internal drive aisle, allowing access to/from the adjacent future development sites through the subject site, has been secured at rezoning stage. Signage indicating future connections to adjacent future development will be installed at each drive-aisle dead end and will be inspected through the landscape inspection process. The applicant has entered into preliminary discussions with the property owner and developer of the proposed townhouse development immediately to the west regarding the day-to-day operation and maintenance of the shared driveway and drive-aisle, which will be addressed in a private agreement entered into by the project developers and upheld by the future strata corporations of both townhouse developments.

- The site grade of the future adjacent townhouse site to the west will be raised to match the proposed site grade along the west property line of the subject site, and a temporary wood retaining wall will be provided along the shared (west) property line (ranging from 0.11 m to 0.73 m in height). A 1.8 m fence will be provided on top of the temporary retaining wall to maintain privacy.
- A 1.8 m tall wood fence will also be installed along the north (rear) and east property lines to protect the privacy of the neighbouring single-family homes. The site grading within the rear yard and east side yard is proposed to meet the existing grade of the adjacent single-family properties, and no retaining walls are proposed.
- A number of existing trees will be retained and a variety of new trees will be planted along the rear and side property lines to enhance the interfaces between the proposed townhouse development and existing adjacent residential developments.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact neighbouring properties.

### ***Urban Design and Site Planning***

- The proposed site layout includes 4 three-storey units and 6 two-storey units in four townhouse clusters.
- The layout of the townhouse buildings is oriented around a single “T” shaped driveway, providing vehicle access to the site from Williams Road, and an east-west internal maneuvering drive-aisle, providing access to the unit garages and future access to the neighbouring properties to the east and west, secured by a SRW.
- Units along Williams Road are designed to have an attractive pedestrian-oriented streetscape along Williams Road with individual front entrances and yards, providing direct pedestrian access to the street. All other units will have access from the internal drive-aisle.
- One of the three-storey townhouse units in Building B (i.e., Unit 106) will contain a one-bedroom secondary suite at ground level of approximately 25.2 m<sup>2</sup> (271.3 ft<sup>2</sup>) in size. No additional parking space is provided for the secondary suite, in compliance with the Zoning Bylaw requirement.
- All units will have two vehicle parking spaces. Eight units are proposed to have garages in a side-by-side arrangement and two units are proposed to have garages in a tandem arrangement. A variance is requested for one small parking space in each side-by-side garage, for a total of eight small parking spaces.
- A total of two visitor parking spaces will be provided at the west and east dead-ends of the internal drive-aisle. The number of visitor parking spaces proposed is in compliance with the minimum Zoning Bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with Zoning Bylaw requirements.

- All units will have private outdoor spaces consisting of a front, side, or rear yard that complies with the Development Permit Guidelines of the OCP (30 m<sup>2</sup> per unit). Each three-storey unit will also have a private balcony on the second floor facing the internal drive-aisle.
- The shared outdoor amenity area is located at the rear of the site in order to maximize tree retention opportunities, enhance sun exposure opportunities, provide convenient access to/from all units, and offer casual surveillance from the pedestrian walkway and adjacent units. The covered mail kiosk is proposed at the entry point of the outdoor amenity area to provide additional visual supervision. The size of outdoor amenity area proposed (approximately 85.8 m<sup>2</sup>) and exceeds the OCP requirement of 6.0 m<sup>2</sup> per unit (60.0 m<sup>2</sup> total).
- Cash-in-lieu of indoor amenity space was secured through the rezoning stage (\$16,000) consistent with OCP requirement of \$1,600 per unit.
- One garbage, recycling and organic waste storage room is proposed and is integrated into the design of Building A to minimize the visual impact. The location of the room near the intersection of the internal drive-aisle provides convenient access.

### ***Architectural Form and Character***

- Tudor architectural style is proposed with the use of decorative wood trim boards on hardi panel at the projected bays and traditional brick to ground the overall massing.
- Main architectural features include projected bay windows with wood batten and gable roofs above to simulate dormers, cantilevered canopies above each unit entry, wood fascia and trim boards around windows/doors and to separate finishing materials, natural brick as the base, and cement board siding with wood texture imprint on the upper floors.
- Strong colour contrast is proposed between filed colours (siding) and accent colours (fascia board and trims). The proposed colour scheme includes alternating warm and cold tones (i.e., beige and light brown) between buildings with dark red brick proposed at the base of all buildings to provide a consistent design.
- A combination of staggered units and varying colour schemes and roof styles is proposed to enhance visual diversity along Williams Road.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, and planting along the internal driveway.
- The proposed building materials (asphalt roof shingles, hardi siding, brick cladding, metal guard rail, wood trim, etc.) are generally consistent with the OCP Guidelines and are generally compatible with the existing single-family character of the neighbourhood.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage; a total of six bylaw-sized trees (tag #1, 2, 3, 4, 5, and 6) were identified on site, two hedges (tag #7 and 8) were identified on the shared property line with the neighbour to the east, and one tree (tag #9) was noted on the neighbouring property to the west.

- Two trees (tag #1 and 2) on-site were identified for removal. Based on the 2:1 tree replacement ratio stated in the OCP, four replacement trees are required. The applicant is proposing to plant nine new trees on-site, including one coniferous and eight deciduous trees.
- Four existing trees (tag #3, 4, 5, and 6) located along the rear property line, two hedges (tag #7 and 8) located on the shared property line to the east, and one tree (tag #9) located on the adjacent neighbouring property to the west are identified to be retained and protected. Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site. A contract with a Certified Arborist and a Tree Survival Security of \$35,000 were secured through rezoning to ensure that all trees identified for retention will be protected.
- The proposal provides an improved streetscape with low 1.06 m (42 in.) tall aluminum fencing which is set back to accommodate visually interesting plant species, a new tree in each private front yard, lawn and patio areas, and a gate to each street fronting unit. All other units will have a private yard with a patio and a small lawn/landscaped area with various hedges, shrubs and ground covers.
- Pockets of live landscaping will be provided along the driveway and drive-aisle between entry doors and garages to soften the internal streetscape. Drought tolerant plant species are proposed along the internal drive-aisle as well as the outdoor amenity area.
- An irrigation system is proposed to ensure continued maintenance of all on-site live landscaped areas.
- A children's play area with a small playhouse and natural play elements, such as flat boulders and balance logs, are proposed within the outdoor amenity area. These play structures/elements are chosen to fit into the amenity area and provides different age groups with different play opportunities for the development of climbing, social, imagination, balance, and motor skills. Benches and Class 2 bicycle parking are proposed near the children's play area.
- One Cherry tree (tag #3) is located within the outdoor amenity area. A raised deck is provided above the tree protection zone to provide additional tree protection while allowing usability of the space. The raised deck is proposed to be directly accessible by the private outdoor areas of adjacent townhouse units (Units 108 and 109), and landscaping and a 1.8 m tall fence is incorporated to maintain privacy to the units.
- 1.8 m tall wood perimeter fencing is proposed as well as trees and a landscape strip to create privacy from adjacent developments. Private yards are separated by fencing (1.8 m patio screening with 42 in. picket fence and gate) with landscaping to create privacy between townhouse units.
- Permeable paver treatment is integrated into the driveway, internal drive-aisle, and visitor parking spaces to break up the expansive paved surface on-site. A pedestrian pathway is provided along the driveway and internal drive-aisle and will be differentiated with permeable pavers of a different colour.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Letter of Credit of \$70,917.28 in association with the Development Permit.

***Crime Prevention Through Environmental Design***

- The pedestrian walkway connecting the sidewalk to the development provides an enhanced natural flow.
- Additional windows are provided along the side elevations adjacent to the outdoor amenity area to enhance visual surveillance opportunities.
- Low permeable, metal fencing with low landscaping on either side of the fence are provided along the street edge to provide visual porosity into the site.
- Exterior lighting at unit entries and garages along the driveway will be installed to provide adequate lighting levels for supervision.
- The covered mail kiosk is located at the entry point to the outdoor amenity area to enhance visual supervision.

***Sustainability***

- As the application was submitted prior to the introduction of the Step Code requirement, the applicant has provided a report produced by a Certified Energy Advisor to confirm that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Building Permit drawings. A Building Permit application was received prior to December 31, 2019 to allow the application to continue to be grandfathered.
- An air source heat pump system will be used for this development. The applicant has provided an acoustical report from an acoustical consultant indicating the proposed units, with consideration of the proposed location, will comply with the City's Noise Bylaw.
- The architect has advised that the following design/features are incorporated into the proposal:
  - Solar hot water ready requirement for future installation of solar hot water system.
  - The use of low-energy lighting and high energy efficiency appliances.
  - Low-E double glazed windows to alleviate heating and cooling energy consumption.
  - Electric vehicle charging outlets in each private garage.
  - Permeable ground cover and drought-tolerant planting.

***Accessible Housing***

- The proposed development includes one convertible unit (Unit 101) that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical chair lift in the future, if desired. A storage room located across the staircase on each floor of Unit 101 has been dimensioned and will be constructed to accommodate a future vertical chair lift.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.

- Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

## Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Jessica Lee  
Planner 1  
(604-247-4908)

JL:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Site Line Analysis

Attachment 3: Shadow Analysis

Attachment 4: Excerpt from the Advisory Design Panel Meeting Minutes (December 4, 2019)

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 10053.
- Receipt of a Letter of Credit for landscaping in the amount of \$70,917.28.  
NOTE: staff to ensure that landscape estimates include a 10% contingency cost.
- Submission of a formal agreement between the developer and the developer of the proposed townhouse development immediately west (8231 and 8251 Williams Road) regarding the day-to-day operation and maintenance of the shared driveway and drive aisle. The agreement is to be upheld by the future strata corporations of both townhouse developments.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of accessibility measures in Building Permit (BP) Plans as determined via the Rezoning and/or Development Permit processes.
- Enter into a Servicing Agreement for the design and construction of engineering infrastructure improvements. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Service Agreement.



**DP 18-829083**

**Attachment 1**

Address: 8291 and 8311 Williams Road

Applicant: Konic Development Ltd.

Owner: South Arm Williams Homes Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 1680.52 m<sup>2</sup>

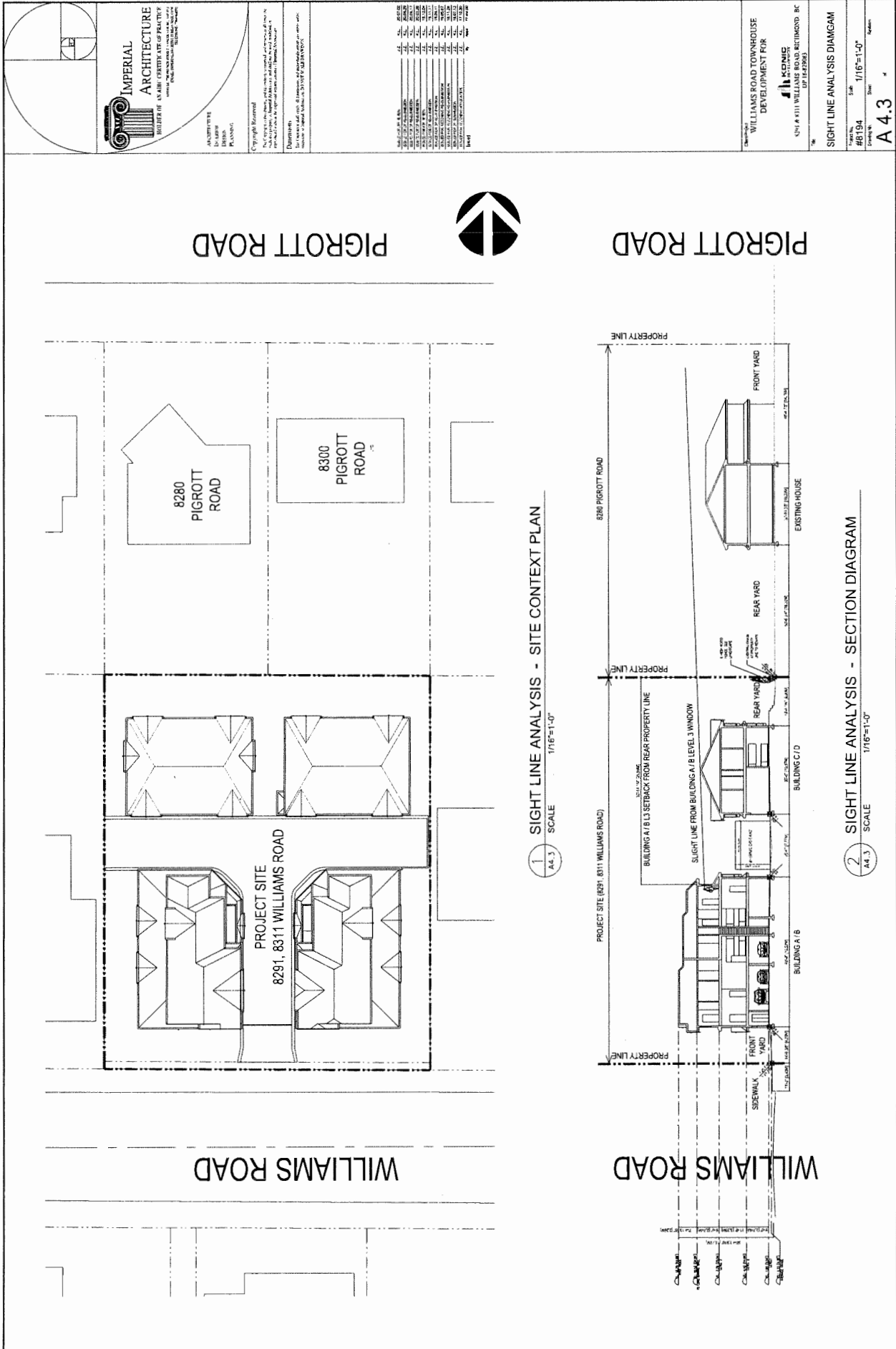
Floor Area Net: 1151.28 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	1959.00 m <sup>2</sup>	1918.78 m <sup>2</sup>
<b>Land Uses:</b>	Single-Family Residential	Townhouse
<b>OCP Designation:</b>	Neighbourhood Residential	No change
<b>Zoning:</b>	RS1/E	RTL4
<b>Number of Units:</b>	2 single detached dwellings	10 townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6	0.6	None permitted
Lot Coverage – Building:	Max. 40%	38.3%	None
Lot Coverage – Non-porous Surfaces:	Max. 65%	56.7%	None
Lot Coverage – Live Landscaping:	Min. 25%	25.5%	None
Setback – Front Yard:	Min. 6.0 m	4.51 m	Variance requested
Setback – West Side Yard:	Min. 3.0 m	Buildings A & B: 4.53 m Buildings C & D: 3.29 m	None
Setback – East Side Yard:	Min. 3.0 m	Buildings A & B: 4.58 m Buildings C & D: 3.07 m	None
Setback – Rear Yard:	Min. 3.0 m	6.01 m	None
Height:	Max. 12.0 m	11.45 m	None
Lot Width:	Min. 40.0 m	40.23 m	None
Lot Depth:	Min. 35.0 m	37.71 m	None
Off-street Parking Spaces – Regular (R) / Visitor (V):	Min. 2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	None
Off-street Parking Spaces – Accessible:	No requirement	0	None



Total Off-street Spaces:	Min. 20 (R) and 2 (V)	20 (R) and 2 (V)	None
Tandem Parking Spaces:	No requirement	2	None
Small Car Parking Spaces:	None permitted	8	Variance requested
Bicycle Parking Spaces – Class 1:	Min. 1.25 per unit	1.25 per unit	None
Bicycle Parking Spaces – Class 2:	Min. 0.2 per unit	0.2 per unit	None
Bicycle Parking Spaces – Total:	Min. 13 (Class 1) and 2 (Class 2)	13 (Class 1) and 2 (Class 2)	None
Amenity Space – Indoor:	Min. 50 m <sup>2</sup> or \$1,600 per unit cash-in-lieu	\$16,000 per unit cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> per unit = 60 m <sup>2</sup>	85.76 m <sup>2</sup>	None



**IMPERIAL ARCHITECTURE**  
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 1000 WEST 10TH AVENUE, SUITE 100  
 DENVER, COLORADO 80202

ARCHITECT  
 1000 WEST 10TH AVENUE, SUITE 100  
 DENVER, COLORADO 80202

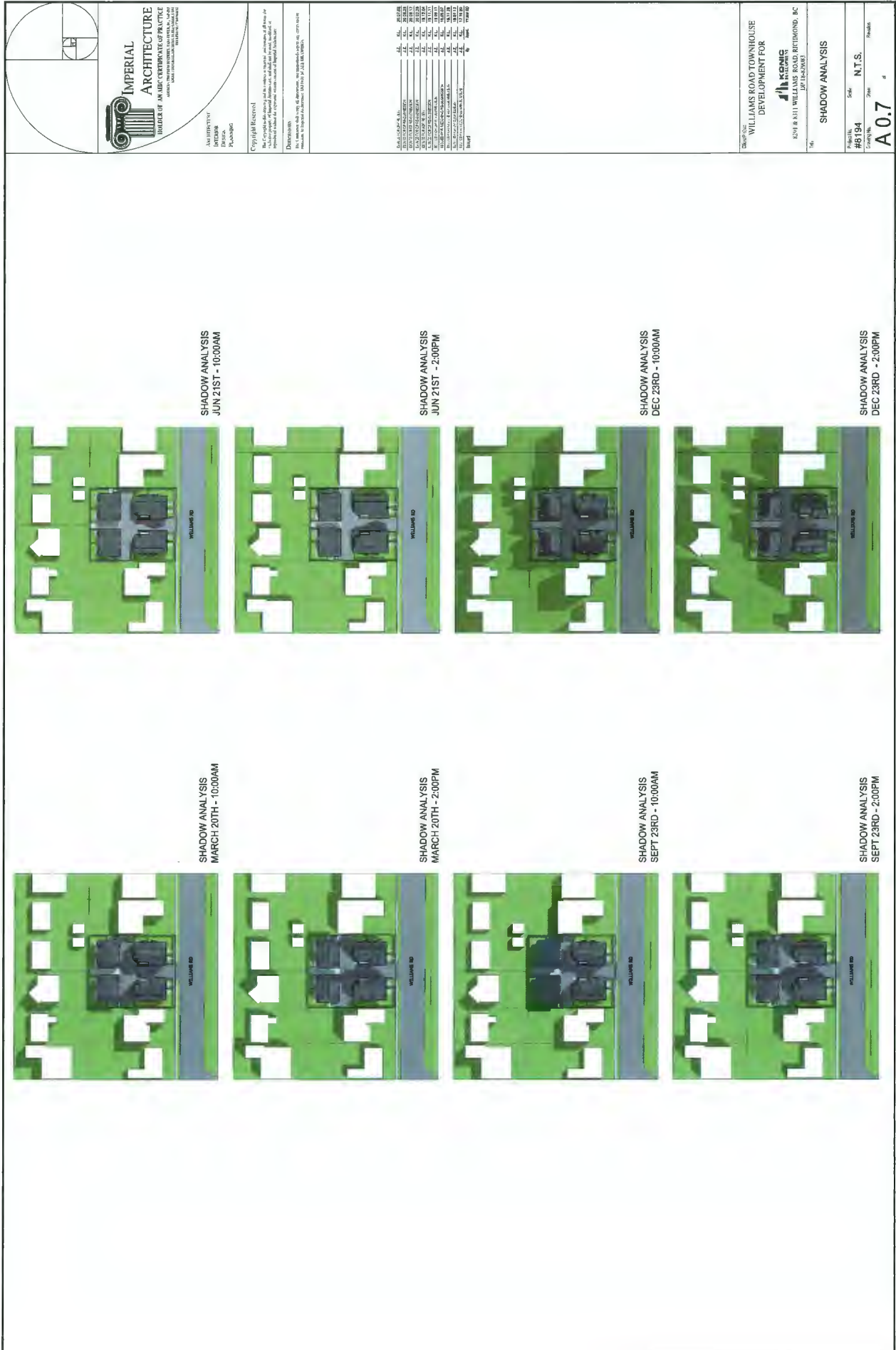
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NO.	DATE	DESCRIPTION
1	10/10/2018	PRELIMINARY
2	10/10/2018	REVISED
3	10/10/2018	REVISED
4	10/10/2018	REVISED
5	10/10/2018	REVISED
6	10/10/2018	REVISED
7	10/10/2018	REVISED
8	10/10/2018	REVISED
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18	10/10/2018	REVISED
19	10/10/2018	REVISED
20	10/10/2018	REVISED

WILLIAMS ROAD TOWNHOUSE DEVELOPMENT FOR  
**JKM**  
 4301 W 11TH AVE, SUITE 100, DENVER, CO 80202

SIGHT LINE ANALYSIS DIAGRAM  
 #8194  
 Scale: 1/16"=1'-0"  
 Drawing No. A 4.3



**IMPERIAL ARCHITECTURE**  
BUREAU OF ARCHITECTURE OF PRACTICE  
ARCHITECTS, PLANNERS, ENGINEERS, AND DESIGNERS  
1000 WILSON AVENUE  
WILSON, BC V3V 2K9

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DATE	TIME	SHADOW ANALYSIS
2018-03-20	10:00AM	SHADOW ANALYSIS
2018-03-20	2:00PM	SHADOW ANALYSIS
2018-06-21	10:00AM	SHADOW ANALYSIS
2018-06-21	2:00PM	SHADOW ANALYSIS
2018-09-23	10:00AM	SHADOW ANALYSIS
2018-09-23	2:00PM	SHADOW ANALYSIS
2018-12-23	10:00AM	SHADOW ANALYSIS
2018-12-23	2:00PM	SHADOW ANALYSIS

**WILLIAMS ROAD TOWNHOUSE DEVELOPMENT FOR**

**IMPERIAL ARCHITECTURE**

2018-03-20 10:00AM

2018-03-20 2:00PM

2018-06-21 10:00AM

2018-06-21 2:00PM

2018-09-23 10:00AM

2018-09-23 2:00PM

2018-12-23 10:00AM

2018-12-23 2:00PM

Excerpt from the Minutes from  
**The Design Panel Meeting**

Wednesday, December 4, 2019 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

**DP 18-829083 – 10-UNIT ARTERIAL ROAD TOWNHOUSE DEVELOPMENT**

ARCHITECT: Imperial Architecture  
LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.  
PROPERTY LOCATION: 8291 and 8311 Williams Road

**Applicant's Presentation**

Jiang Zhu, Imperial Architecture, and Denitsa Dimitrova, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

*The following comments were submitted by Sam Siu and read into the record by Sara Badyal:*

- excellent to see that space is reserved for future vertical lift installation in the convertible unit; and

*Noted.*

- consider pocket doors for second floor washroom and bedroom, third floor ensuite and washroom in the convertible unit (pocket doors for all washrooms and bedrooms in the convertible unit are preferable).

*All bathroom doors in convertible unit were changed to pocket door type except the designated accessible washroom for the following reasons.*

- 1. We have wood blocks required for mounting future grab bars on the wall beside washroom door which makes the pocket door not feasible.*
- 2. The width of the wall beside 3'-0" door opening is not long enough to accommodate a 3'-0" pocket door considering wood frame construction assembly.*
- 3. The door for designated washroom is 3'-0" which is in full compliance to building code requirements and is sufficient to handicap people to use.*
- 4. We flipped the 3'-0" door swing direction for the bedroom to make the wheelchair traffic flow smoother.*

*Comments from Panel members present were as follows:*

- appreciate the applicant contributing to the City's Public Art Program; support the applicant's intention to embellish the signage at the site entry as it will help provide identity to the project;

*Noted.*

- appreciate the different paving treatments and landscaping on the internal drive aisle which provide a pedestrian environment; consider enhancing the pedestrian environment by delineating a pedestrian pathway along the internal drive aisle;

*3'-6" wide "pedestrian pathway" in different colour permeable pavers leading from Williams Rd to the Amenity area have been added into internal driveway.*

- adjacent overlook and privacy concerns due to the location of large windows and private outdoor areas along the side yards are mitigated through the proposed planting of trees adjacent to the side yards; when mature, the trees will provide screening to the windows and buffering to adjacent developments;

*Proposed new trees have been relocated away from large windows along side yards.*

- appreciate the model and the design of the project;

*Noted.*

- appreciate the use of brick cladding wrapping around the entire base of each building;

*Noted.*

- understand that the corridor in Unit 106 will be utilized to provide access from the lock-off unit to the unit's private yard;

***Provided a door from bedroom of lock-off unit to corridor of main unit of 106.***

- consider installing another dormer window, or high window, at the upper levels of end units of Buildings A and B, i.e. in Unit 103 (west side) and Unit 106 (east side) to allow more daylight into these spaces and provide natural ventilation; would also provide natural lighting at the top of the stairs;

***Added bay windows and dormer at level 3 stair landing areas for both Unit 103 and Unit 106 per this comment. See revised elevations and color renderings.***

- consider installing ventilation in the garbage room to address potential odour issues especially during summertime;

***A note as "Exhaust fan with duct to roof to be provided to garbage room" was added to ground floor plan. Detailed mechanical design will be provided at BP stage.***

- consider installing an entry signage on the east side of the driveway entry in addition to the proposed signage on the west side of the driveway entry, or other measures to allow sign to be read from both drivers travelling in both directions;

***Two sign walls have been provided for both sides of the internal driveway entry.***

- consider enhancing the entry; consider pulling back the fences at the driveway entry to create more space for additional planting of species specific to the entry; consider incorporating the entry signage;

***Fence for front yard for Unit 104 have been pulled back at driveway entry to create more space for additional planting. This change is impossible to make for Convertible Unit 101 because of the proposed ramp to the main entry door.***

- proposed lawn areas on the site would be difficult to grow due to inadequate sun exposure; consider installing flag stone patios with bigger gaps for permeability and introducing shade tolerant plant species;

***Lawn areas under existing trees proposed for retention have been replaced with flag stone walkways and shade tolerant plant species.***

- retained Cherry tree at the outdoor amenity area species typically has sensitive roots; consider installing a raised deck around the tree for seating and protection to the tree roots;

***Raised deck around the retained Cherry tree at the outdoor amenity area for seating and protection to the tree roots have been provided.***

- appreciate the applicant providing information regarding how the project will achieve an EnerGuide 82 rating;

*Noted.*

- concerned about the potential impacts of the garbage room due to its proximity to the balcony in Unit 103 above the garbage room; consider installing mechanical ventilation using carbon filters or synthesizers to mitigate potential odour issues;

*A note as "Exhaust fan with duct to roof to be provided to garbage room" was added to ground floor plan. Detailed mechanical design will be provided at BP stage*

- reconsider relocating the outdoor mechanical units for the air source heat pumps into the internal drive aisle due to impact on pedestrian circulation; consider instead relocating to upper balcony;

*Revised the site plan as per next comment to locate the condensing unit in space below stair landing. Demountable louver is introduced for ventilation purpose.*

- support the Panel comment that the outdoor mechanical units for the air source heat pumps should not be visible along the driveway as it could diminish the value of the project; could also consider inset screened location under stairs;

*Revised the site plan as per this comment to locate the condensing unit in space below stair landing. Demountable louver is introduced for ventilation purpose.*

- the lock-off unit layout should be reconsidered should an access be provided from the corridor; also consider a flexible design for the lock-off unit, e.g. a studio unit design as opposed to a bedroom, should the owner decide to utilize the whole unit;

*Provided a door from bedroom of lock-off unit to corridor of main unit of 106. One bedroom unit provides better privacy and livability and is always more preferable by users compared to studio type.*

- concerned about the privacy of the bedrooms on the upper levels of Building A and Building B along the driveway which are directly facing each other; consider redesigning the lay-out of the units to offset bedroom windows, e.g. swapping the location of the bedroom and living room for Units 101 and 104 to address privacy concerns;

*Explored the possibilities of switching living room and bedroom and noted that the change would compromise living / dining / kitchen open layout concept and reduce the quality and livability. In addition, switching living room and bedroom locations will not change window locations dramatically due to limited exterior wall length. Lastly, the distance between windows facing each other is more than 25 feet which is normally considered as spacious for townhouse projects.*

- consider adding variety in a subtle manner on the building façade without impacting the classical symmetry in the overall design of the buildings;

*More architectural treatment and details were added to façade design. The gable roof profile above bay windows and unit entries for building A and B had different profiles.*

- support the Panel comment to install skylights above appropriate areas in the building, e.g. above the stairwells; and

*Added bay windows and dormer at level 3 stair landing areas for both Unit 103 and Unit 106 per this comment. See revised elevations and color renderings. The rationale for providing high bay window with dormers is:*

- 1. Bay window with dormer / gable roof above adds more interest to the elevation and breaks the flat roof line.*
- 2. Glazing plan in bay window in vertical and with gable roof overhang above. It is more preferable with building envelope and weather protection point of view compared to glass skylight.*
- 3. Talking about maintenance, vertical glazing is much easier to be kept clean rather than glass skylight facing to the sky.*

- concerned the children's play area may appear a little bleak; consider introducing further play opportunities by realigning the bench and bicycle rack and reducing the size of shrub bed in the outdoor amenity area to create more space for an additional play equipment that would be interesting to children; and

*A children's play area has been included for the younger ones. Natural play elements and small play equipment design has been proposed to fit into Amenity space and provides different play opportunities such as climbing, social, imagination, balance, motor skills that can be used multiple purposes and by different age groups. The play area is at the same grade as the internal roadway. There is a bench for caregivers and for 1 bike rack for two bikes*

- consider providing irrigation or using drought tolerant species in planting areas along the drive aisle due to their small soil volume.

*Drought tolerant species are proposed for landscape areas along internal driveway and for Amenity area.*

#### **Panel Decision**

It was moved and seconded

*That DP 18-829083 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**





No. DP 18-829083

To the Holder: KONIC DEVELOPMENT LTD.  
Property Address: 8291 AND 8311 WILLIAMS ROAD  
Address: C/O LIBBY YANG  
UNIT 1135 – 13700 MAYFIELD PLACE  
RICHMOND, BC V6V 2E4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce the minimum front yard setback along Williams Road from 6.0 m to 4.5 m; and
  - b) Allow one small car parking space in each of the side-by-side garages (eight small car parking spaces in total).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4.d attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$70,917.28 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 18-829083**

To the Holder: KONIC DEVELOPMENT LTD.  
Property Address: 8291 AND 8311 WILLIAMS ROAD  
Address: C/O LIBBY YANG  
UNIT 1135 – 13700 MAYFIELD PLACE  
RICHMOND, BC V6V 2E4

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

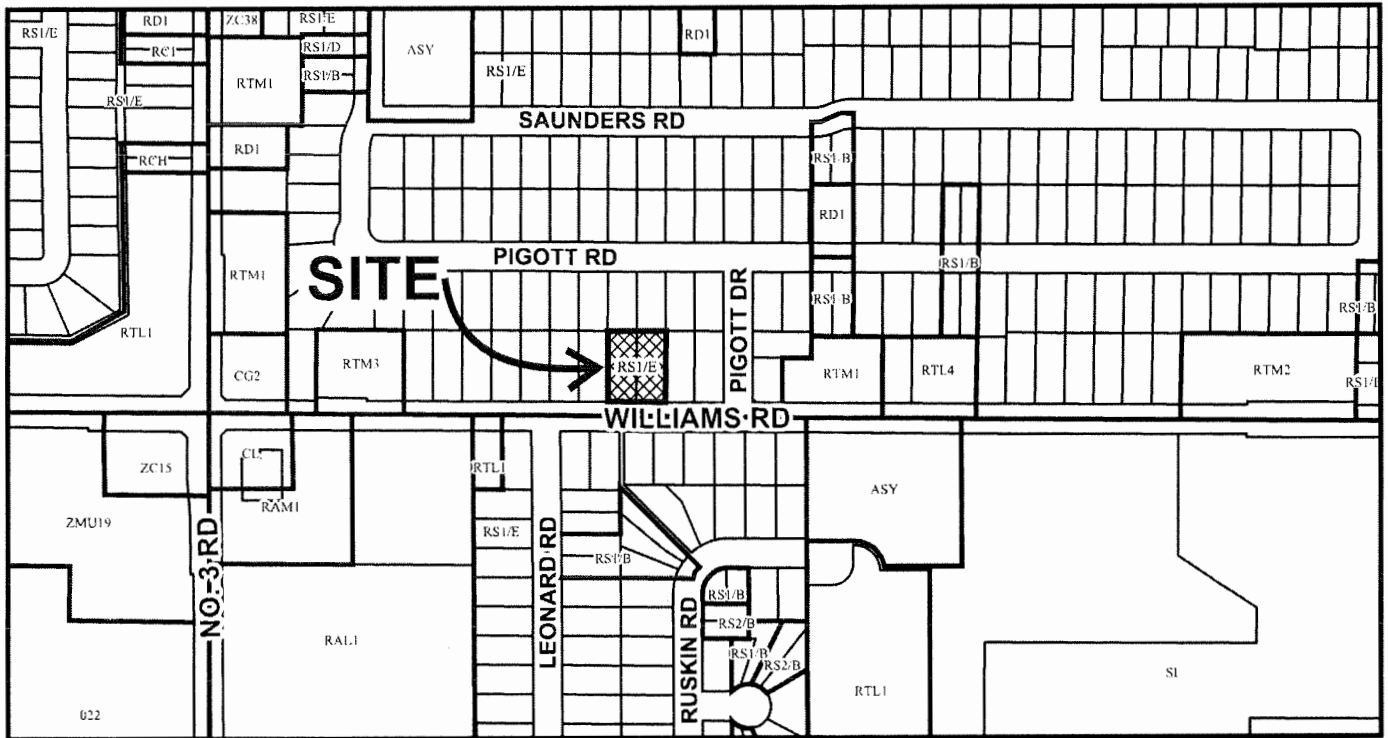
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



40.77	40.77	40.77	40.77	40.77	40.77	40.77	40.77	40.77	9779	40.77	40.77
20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	40.2
48.73	48.73	48.73	48.73	48.73	48.73	48.73	48.73	48.73	48.73	18.00	9700
8191	8211	8231	8251	8291	8311	8331	8351	8371	8391	8411	8431
20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12	20.12
WILLIAMS RD											
20.11	20.12	20.12	21.07	20.42	21.10	21.10	21.10	21.10	21.10	21.10	21.10
8200		8240	8260	8300	8320	8340	8360	8380	8400	8420	8440



## DP 18-829083 SCHEDULE "A"

Original Date: 08/20/18

Revision Date:

Note: Dimensions are in METRES





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## Dimensions

The Contractor shall verify all dimensions, and immediately report any errors and/or corrections to Imperial Architecture. DO NOT SCALE DRAWINGS

	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	2101	2102	2103	2104	2105	2106	2107	2108	2109	2110	2111	2112	2113	2114	2115	2116	2117	2118	2119	2120	2121	2122	2123	2124	2125	2126	2127	2128	2129	2130	2131	2132	2133	2134	2135	2136	2137	2138	2139	2140	2141	2142	2143	2144	2145	2146	2147	2148	2149	2150	2151	2152	2153	2154	2155	2156	2157	2158	2159	2160	2161	2162	2163	2164	2165	2166	2167	2168	2169	2170	2171	2172	2173	2174	2175	2176	2177	2178	2179	2180	2181	2182	2183	2184	2185	2186	2187	2188	2189	2190	2191	2192	2193	2194	2195	2196	2197	2198	2199	2200	2201	2202	2203	2204	2205	2206	2207	2208	2209	2210	2211	2212	2213	2214	2215	2216	2217	2218	2219	2220	2221	2222	2223	2224	2225	2226	2227	2228	2229	2230	2231	2232	2233	2234	2235	2236	2237	2238	2239	2240	2241	2242	2243	2244	2245	2246	2247	2248	2249	2250	2251	2252	2253	2254	2255	2256	2257	2258	2259	2260	2261	2262	2263	2264	2265	2266	2267	2268	2269	2270	2271	2272	2273	2274	2275	2276	2277	2278	2279	2280	2281	2282	2283	2284	2285	2286	2287	2288	2289	2290	2291	2292	2293	2294	2295	2296	2297	2298	2299	2300	2301	2302	2303	2304	2305	2306	2307	2308	2309	2310	2311	2312	2313	2314	2315	2316	2317	2318	2319	2320	2321	2322	2323	2324	2325	2326	2327	2328	2329	2330	2331	2332	2333	2334	2335	2336	2337	2338	2339	2340	2341	2342	2343	2344	2345	2346	2347	2348	2349	2350	2351	2352	2353	2354	2355	2356	2357	2358	2359	2360	2361	2362	2363	2364	2365	2366	2367	2368	2369	2370	2371	2372	2373	2374	2375	2376	2377	2378	2379	2380	2381	2382	2383	2384	2385	2386	2387	2388	2389	2390	2391	2392	2393	2394	2395	2396	2397	2398	2399	2400	2401	2402	2403	2404	2405	2406	2407	2408	2409	2410	2411	2412	2413	2414	2415	2416	2417	2418	2419	2420	2421	2422	2423	2424	2425	2426	2427	2428	2429	2430	2431	2432	2433	2434	2435	2436	2437	2438	2439	2440	2441	2442	2443	2444	2445	2446	2447	2448	2449	2450	2451	2452	2453	2454	2455	2456	2457	2458	2459	2460	2461	2462	2463	2464	2465	2466	2467	2468	2469	2470	2471	2472	2473	2474	2475	2476	2477	2478	2479	2480	2481	2482	2483	2484	2485	2486	2487	2488	2489	2490	2491	2492	2493	2494	2495	2496	2497	2498	2499	2500	2501	2502	2503	2504	2505	2506	2507	2508	2509	2510	2511	2512	2513	2514	2515	2516	2517	2518	2519	2520	2521	2522	2523	2524	2525	2526	2527	2528	2529	2530	2531	2532	2533	2534	2535	2536	2537	2538	2539	2540	2541	2542	2543	2544	2545	2546	2547	2548	2549	2550	2551	2552	2553	2554	2555	2556	2557	2558	2559	2560	2561	2562	2563	2564	2565	2566	2567	2568	2569	2570	2571	2572	2573	2574	2575	2576	2577	2578	2579	2580	2581	2582	2583	2584	2585	2586	2587	2588	2589	2590	2591	2592	2593	2594	2595	2596	2597	2598	2599	2600	2601	2602	2603	2604	2605	2606	2607	2608	2609	2610	2611	2612	2613	2614	2615	2616	2617	2618	2619	2620	2621	2622	2623	2624	2625	2626	2627	2628	2629	2630	2631	2632	2633	2634	2635	2636	2637	2638	2639	2640	2641	2642	2643	2644	2645	2646	2647	2648	2649	2650	2651	2652	2653	2654	2655	2656	2657	2658	2659	2660	2661	2662	2663	2664	2665	2666	2667	2668	2669	2670	2671	2672	2673	2674	2675	2676	2677	2678	2679	2680	2681	2682	2683	2684	2685	2686	2687	2688	2689	2690	2691	2692	2693	2694	2695	2696	2697	2698	2699	2700	2701	2702	2703	2704	2705	2706	2707	2708	2709	2710	2711	2712	2713	2714	2715	2716	2717	2718	2719	2720	2721	2722	2723	2724	2725	2726	2727	2728	2729	2730	2731	2732	2733	2734	2735	2736	2737	2738	2739	2740	2741	2742	2743	2744	2745	2746	2747	2748	2749	2750	2751	2752	2753	2754	2755	2756	2757	2758	2759	2760	2761	2762	2763	2764	2765	2766	2767	2768	2769	2770	2771	2772	2773	2774	2775	2776	2777	2778	2779	2780	2781	2782	2783	2784	2785	2786	2787	2788	2789	2790	2791	2792	2793	2794	2795	2796	2797	2798	2799	2800	2801	2802	2803	2804	2805	2806	2807	2808	2809	2810	2811	2812	2813	2814	2815	2816	2817	2818	2819	2820	2821	2822	2823	2824	2825	2826	2827	2828	2829	2830	2831	2832	2833	2834	2835	2836	2837	2838	2839	2840	2841	2842	2843	2844	2845	2846	2847	2848	2849	2850	2851	2852	2853	2854	2855	2856	2857	2858	2859	2860	2861	2862	2863	2864	2865	2866	2867	2868	2869	2870	2871	2872	2873	2874	2875	2876	2877	2878	2879	2880	2881	2882	2883	2884	2885	2886	2887	2888	2889	2890	2891	2892	2893	2894	2895	2896	2897	2898	2899	2900	2901	2902	2903	2904	2905	2906	2907	2908	2909	2910	2911	2912	2913	2914	2915	2916	2917	2918	2919	2920	2921	2922	2923	2924	2925	2926	2927	2928	2929	2930	2931	2932	2933	2934	2935	2936	2937	2938	2939	2940	2941	2942	2943	2944	2945	2946	2947	2948	2949	2950	2951	2952	2953	2954	2955	2956	2957	2958	2959	2960	2961	2962	2963	2964	2965	2966	2967	2968	2969	2970	2971	2972	2973	2974	2975	2976	2977	2978	2979	2980	2981	2982	2983	2984	2985	2986	2987	2988	2989	2990	2991	2992	2993	2994	2995	2996	2997	2998	2999	3000
ISSUED FOR RE-EXAMINATION	1/2	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4	1/4																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																							



ARCHITECTURAL:

A0.0 COVER SHEET

A0.11	COLOR RENDERING
A0.12	COLOR RENDERING
A0.13	COLOR RENDERING
A0.14	COLOR RENDERING
A0.15	COLOR RENDERING
A0.16	COLOR RENDERING
A0.17	COLOR RENDERING
A0.18	COLOR RENDERING
A0.19	COLOR RENDERING

A0.2	COLOR EXTERIOR FINISH MATERIAL BOARD
A0.3	PROJECT DATA & STATISTICS
A0.4	SITE AERIAL PHOTO
A0.5	SITE CONTEXT PLAN / STREET ELEVATION
A0.6	SITE SURVEY PLAN
A0.7	SHADOW ANALYSIS

A1.0	SITE PLAN
A1.1	PARKING PLAN
A1.2	FIRE FIGHTING PLAN
A1.3	PRIVATE OUTDOOR
A1.4	BUILDING / PORCH A

**ELECTRICAL:**

E1 CONCEPTUAL SITE PLAN

A2.1	LEVEL 1 FLOOR PLANS	
A2.1A	LEVEL 1 AREA OVERLAY DIAGRAM	
A2.2	LEVEL 2 FLOOR PLANS	
A2.2A	LEVEL 2 AREA OVERLAY DIAGRAM	
A2.3	LEVEL 3 FLOOR PLANS	
A2.3A	LEVEL 3 AREA OVERLAY DIAGRAM	
A2.4	ROOF PLANS	
A3.1	BUILDING A ELEVATIONS	
A3.2	BUILDING B ELEVATIONS	
A3.3	BUILDING C ELEVATIONS	
A3.4	BUILDING D ELEVATIONS	
A4.1	BUILDING SECTIONS	
A4.2	BUILDING SECTIONS	
A4.3	SIGHT LINE ANALYSIS DIAGRAM	

## A5.1 CONVERTIBLE UNIT FLOOR PLANS

LANDSCAPE:

L1	LANDSCAPE PLAN
L2	SHRUB AND GRADING PLAN
L3	LANDSCAPE DETAILS
L4	LOT COVERAGE PLAN
L5	TREE MANAGEMENT PLAN
L6	LANDSCAPE SPECIFICATIONS

E1 ELECTRICAL: CONCEPTUAL SITE PLAN

TOWNHOUSE DEVELOPMENT  
AT 8291 & 8311 WILLIAMS RD, RICHMOND, BC (DP 18-829083)

ISSUED FOR DPP REVIEW 2020-07-02

## CONTACT LIST

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**ARCHITECT**  
IMPERIAL ARCHITECTURE  
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COQUITON BC, V3R 4W5  
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BURNABY BC V5C 6G9  
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**ARBORIST**  
MOUNTAIN MAPLE GARDEN  
& TREE SERVICE LTD.  
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DELTA BC V4G 1J6  
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MOUNTAINMAPLE@HOTMAIL.COM





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### Dimensions

The Contractor shall verify all dimensions, and immediately report any errors and/or omissions to Imperial Architecture. DO NOT SCALE DRAWINGS.

[illegible]

Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR  
 **KONIC**  
DEVELOPMENT  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

SITE / LEVEL 1 FLOOR PLAN	
Project No.	Scale
#8194	1/8"=1'-0"
Drawing No.	Sheet
A1.0	of
Revision	



DP 18-829083 Plan #1.a



15

1 LEVEL 1 FLOOR PLAN / SITE PLAN  
A1.0 SCALE 1/8"=1'-0"

**VARIANCE REQUIRED:**


1. TO ALLOW 8 SMALL CAR PARKING STALLS
2. TO ALLOW 4.51M FRONT YARD SETBACK

**PRE RECOMMENDATION IN OCP DESIGN GUIDELINE**

 PROPOSED TIMBER RETAINING WALL  
 ALONG WEST PROPERTY LINE, SEE  
 LANDSCAPE AND CIVIL  
  
 ROAD DEDICATION

Average Grading Calculation		Average Grade	
PTS	PTS	PTS	PTS
1	1	1	1
2	2	2	2
3	3	3	3
4	4	4	4
5	5	5	5
6	6	6	6
7	7	7	7
8	8	8	8
9	9	9	9
10	10	10	10
11	11	11	11
12	12	12	12
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100	100	100	100

<b>Ground Floor Interior Elevation Calculation</b>	
Highest Point of Crown of Adjacent Street	1.3914 m
Flood Protection Requirements for Living Space	0.1144 m


 A diagram showing a street layout. On the left, a vertical line represents a 'STAIRWAY OF-WAY' (a narrow path between a 'DRIVE' and a 'ROAD'). To its right is a 'DRIVE' (a narrow road). To the right of the 'DRIVE' is a 'ROAD' (a wider road). The 'STAIRWAY OF-WAY' is labeled 'OVER THE RIGHT-OF-WAY OF ANOTHER VEHICLE' and 'REGISTERED AS TO BE USED FOR PUBLIC'. The 'ROAD' is labeled 'THE HIGHEST POINT OF CENTRELINE OF ROAD' and 'LEVEL 1 INTERIOR ELEVATION FOR'.

ALL BUILDINGS 1.69M (5.54 FT), 0.3M HIGHER THAN THE HIGHEST POINT OF CENTRELINE OF ROAD. THE HIGHEST POINT OF CENTRELINE OF ROAD FINISHED SITE ELEVATION: 1.05M (3.54 FT)

1. REFER TO LANDSCAPE FOR MORE INFO. ON LAYOUT OF SOFT AND HARD LANDSCAPE COMPONENTS
2. REFER TO LANDSCAPE FOR MORE INFO. ON SITE GRADING
3. REFER TO LANDSCAPE FOR MORE INFO. ON OFF SITE DEVELOPMENT ON WILLIAMS ROAD
4. LEVEL 1 (HABITABLE SPACE) ELEVATION IS 300MM HIGHER THAN THE HIGHEST POINT OF CROWN OF ADJACENT STREET

GENERAL NOTES:

1. AGING IN PLACE FEATURES SUCH AS STAIRWELL HANDRAILS, BOLD BLOCKING IN STAIRWELLS, IS TO REMAIN TO FUTURE CONSTRUCTION. THE FOLLOWING ARE TO BE RIPPED OUT AND REPLACED WITH NEW HANDRAILS, BATH TUB AND SHOWER, AND LID-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES WILL BE REPLACED IN ALL UNITS.
1. UNIT 101 IS THE CONVERTIBLE UNIT. ITS DESIGN IS IN FULL COMPLIANCE WITH CITY'S CONVERTIBLE DESIGN GUIDELINE / CHECKLIST
2. THE PROJECT WILL PROVIDE HEAT PUMP AC UNIT WITH HWV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGY LEAD STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGY LEAD REQUIREMENTS:
  - (A): SOLAR HOT WATER READY REQUIREMENT
  - (B): ENERGY STAR APPLIANCES AND LIGHTS
  - (C): LOW E DOUBLE GLAZING WINDOWS
  - (D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
4. THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE THERMAL SYSTEMS IN CBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
5. AN AUTOMATED IRRIGATION SYSTEM FOR PLANTING AND LANDSCAPE MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE.

RECOMMENDATIONS FROM ACOUSTICAL  
REPORT BY BKL DATED FEB 28, 2020:

EXTERIOR WALL

- THE PROPOSED WALL CONSTRUCTION OF:
  - FIBRE CEMENT BOARD LAP SIDING
  - OR CEDAR SHINGLE OR BRICK VENEER
  - 1X3 PRESSURE TREATED VERTICAL STRAPPING
  - 2X6 WOOD STUDS
  - 2X6 WOOD SHIMING
  - 2X6 WOOD STUDS
  - 2X0 BATT INSULATION
  - 6 MIL. POLY VAPOUR BARRIER
  - 5/8" TYPE X GYPSUM WALL BOARD

WILL PROVIDE ADEQUATE NOISE ISOLATION TO ALL INTERIOR SPACES. ANY FURTHER INCREASE IN MATERIAL THICKNESS OR DENSITY IS ACCEPTABLE.

Nail in aluminum  
Tag #1357  
Site Benchmark  
Elevation: 1.22m





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### Dimensions

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INITIAL FOR REP. REVIEW	12	11	20/07/20
INITIAL FOR REP. REVISION	12	11	20/08/20
INITIAL FOR REP. REVISION	12	11	20/09/20
INITIAL FOR REP. REVISION	12	11	20/10/20
INITIAL FOR REP. REVIEW	12	11	20/12/20
INITIAL FOR REP. REVIEW	12	11	18/12/24
INITIAL FOR REP. REVISION	12	11	16/08/11
INITIAL FOR REP. REVISION	12	11	16/08/27
INITIAL FOR REP. REVISION	12	11	18/11/28
INITIAL FOR REP. REVISION	12	11	18/07/13
INITIAL FOR REP. REVISION	12	11	17/10/20
INITIAL	By	Appx.	17/10/20

DP 18-829083  
Plan #1.b

Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR

**KONIC**  
DEVELOPMENT

8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

## LEVEL 1 FLOOR PLANS

Project No. **#8194** Scale **1/8"=1'-0"**

Drawing No. **A2.0** of Sheet Revision



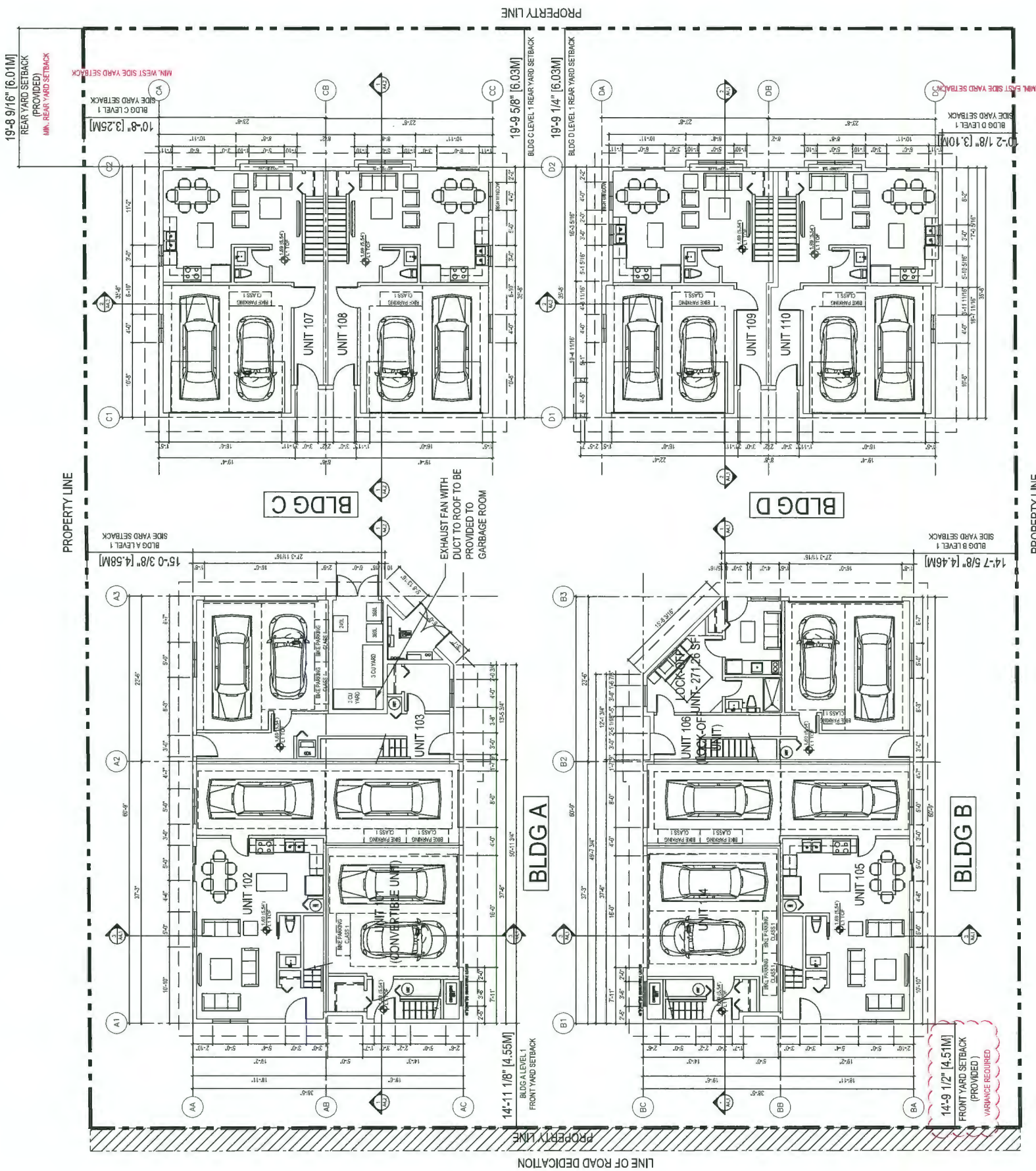
1

LEVEL 1 FLOOR PLANS

A2.1

SCALE

1/8"=1'-0"



1. AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.

2. THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGYGUIDE 82 STANDARD, FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGYGUIDE 82 REQUIREMENTS:

(D); POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS

4. THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN CBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.

5. AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

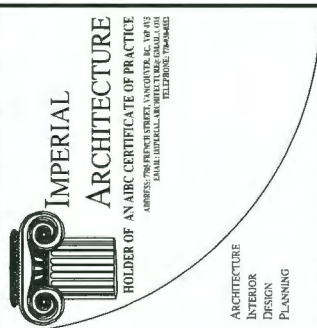
EXTERIOR WALL

THE PROPOSED WALL CONSTRUCTION OF:

- FIBRE CEMENT BOARD LAP SIDING OR CEDAR SHINGLE OR BRICK VENEER
- 1X3 PRESSURE TREATED VERTICAL STRAPPING
- WATER PROOFING MEMBRANE
- ½" EXT. PLYWOOD SHEATHING
- 2X6 WOOD STUDS
- R20 BATT INSULATION
- 6 MIL. POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM WALL BOARD

WILL PROVIDE ADEQUATE NOISE ISOLATION TO ALL INTERIOR SPACES. ANY FURTHER INCREASE IN MATERIAL THICKNESS OR DENSITY IS ACCEPTABLE.





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[illegible]

DP 18-829083  
Plan #1.c

Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR  
 **KONIC**  
DEVELOPMENT  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-8294183

**A 2.1**

Drawing No.

Sheet

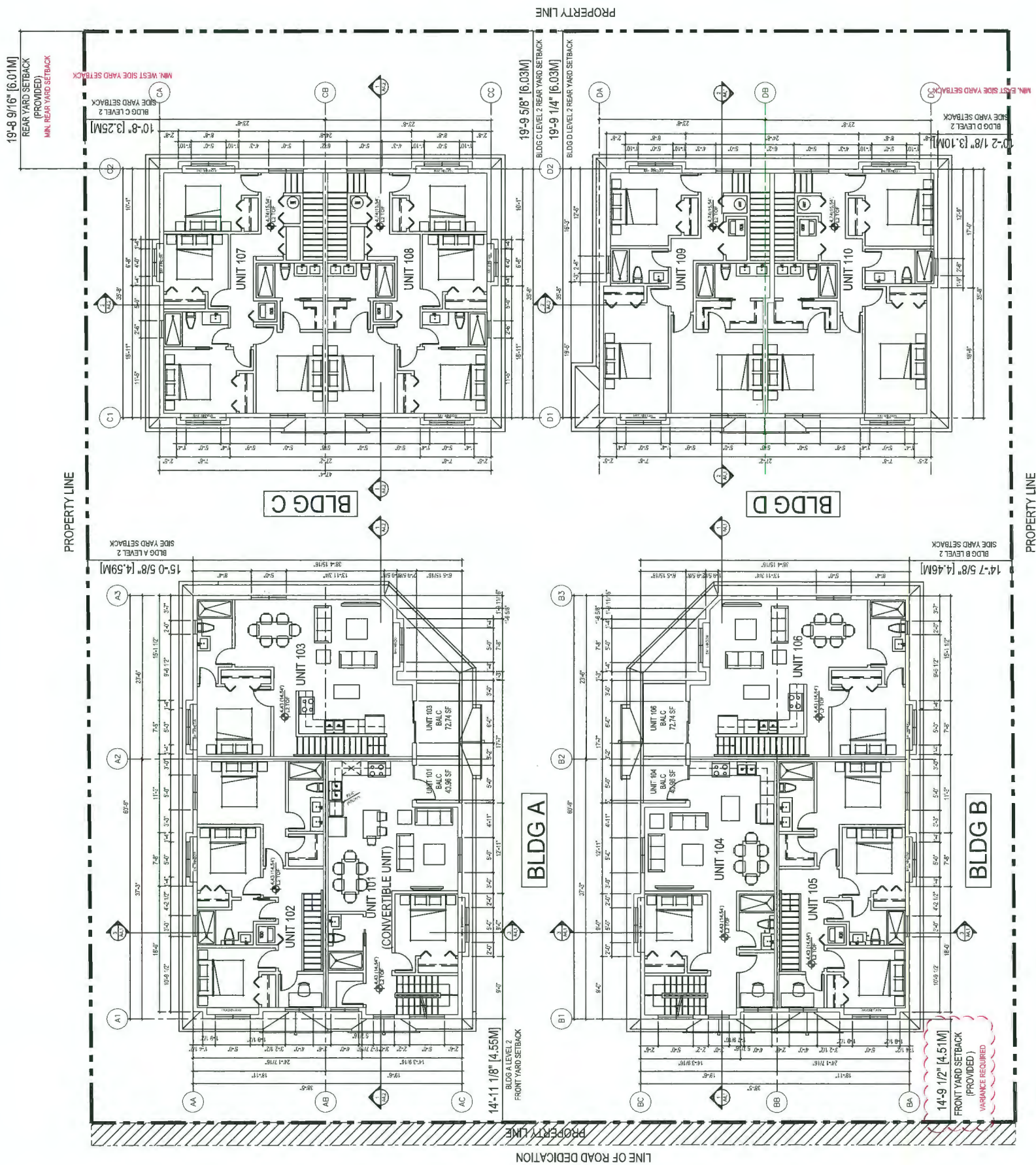
Scale

**#8194**

**1/8"=1'-0"**

Revision

**LEVEL 2 FLOOR PLANS**



1 LEVEL 2 FLOOR PLANS  
A2.2 SCALE 1/8"=1'-0"



- GENERAL NOTES:**
- AGING IN PLACE FEATURES SUCH AS "STARWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
  - UNIT 001 IS THE CONVERTIBLE UNIT. ITS DESIGN IS IN FULL COMPLIANCE WITH CITY'S CONVERTIBLE DESIGN GUIDELINE / CHECKLIST
  - THE PROJECT WILL PROVIDE HEAT PUMP AC UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGY E2 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGY E2 REQUIREMENTS:
    - SOLAR HOT WATER READY REQUIREMENT
    - ENERGY STAR APPLIANCES AND LIGHT BULBS
    - LOW E DOUBLE GLAZING WINDOWS
    - POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
  - THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BGCBC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
  - AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

RECOMMENDATIONS FROM ACOUSTICAL REPORT BY BKL  
DATED FEB 28, 2020:

EXTERIOR WALL

THE PROPOSED WALL CONSTRUCTION OF:

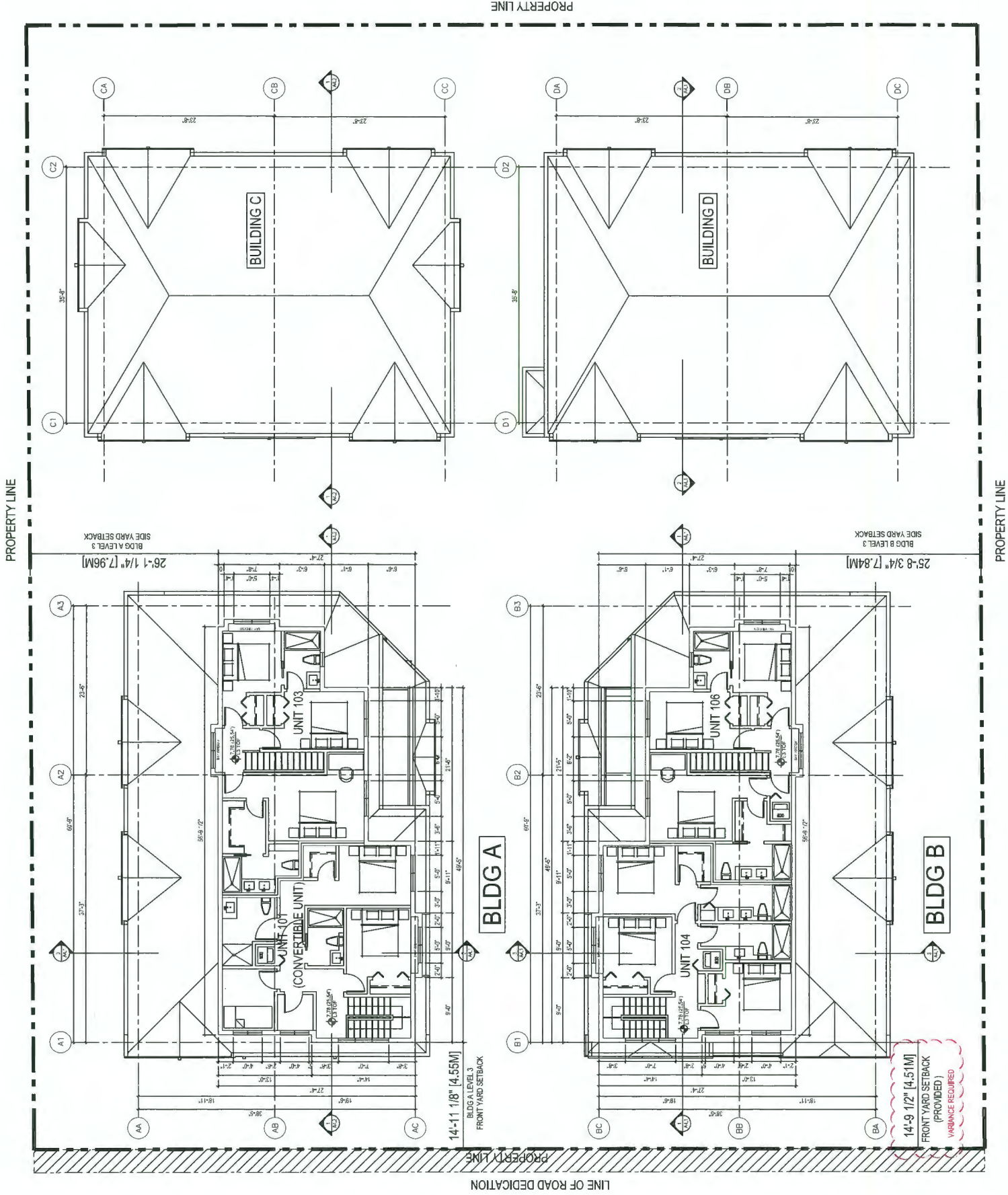
- FIBRE CEMENT BOARD, LAP SIDING OR CEDAR SHINGLE OR BRICK VENER
- 1X3 PRESSURE TREATED VERTICAL STRAPPING
- WATER PROOFING MEMBRANE
- 1/2" EXT. PLYWOOD SHEATHING
- 2X6 WOOD STUDS
- R20 BATT INSULATION
- 6 MIL. POLY VAPOUR BARRIER
- 5/8" TYPE 'X' GYPSUM WALL BOARD

WILL PROVIDE ADEQUATE NOISE ISOLATION TO ALL INTERIOR SPACES. ANY FURTHER INCREASE IN MATERIAL THICKNESS OR DENSITY IS ACCEPTABLE.



- GENERAL NOTES:
- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
  - UNIT 101 IS THE CONVERTIBLE UNIT. ITS DESIGN IS IN FULL COMPLIANCE WITH CITY'S CONVERTIBLE DESIGN GUIDELINE / CHECKLIST
  - THE PROJECT WILL PROVIDE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM TO ACHIEVE ENERGYGUIDE 82 STANDARD. FOLLOWING SUSTAINABLE FEATURES WILL ALSO BE PROVIDED IN THE PROJECT BEYOND ENERGYGUIDE 82 REQUIREMENTS:
    - (A): SOLAR HOT WATER READY REQUIREMENT
    - (B): ENERGY STAR APPLIANCES AND LIGHT BULBS
    - (C): LOW E DOUBLE GLAZING WINDOWS
    - (D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
  - THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCSC-2018 AND ASHRAE 55 REGARDING THE STANDARDS OF THERMAL COMFORT.
  - 5.AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ONGOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

- RECOMMENDATIONS FROM ACOUSTICAL REPORT BY BKL  
DATED FEB 28, 2020:
- EXTERIOR WALL
- THE PROPOSED WALL CONSTRUCTION OF:
- FIBRE CEMENT BOARD LAP SIDING OR CEDAR SHINGLE OR BRICK VENEER
  - 1X3 PRESSURE TREATED VERTICAL STRAPPING
  - WATER PROOFING MEMBRANE
  - 1/2" EXT. PLYWOOD SHEATHING
  - 2X6 WOOD STUDS
  - R20 BATT INSULATION
  - 6 MIL POLY VAPOUR BARRIER
  - 5/8" TYPE 'X' GYPSUM WALL BOARD
- WILL PROVIDE ADEQUATE NOISE ISOLATION TO ALL INTERIOR SPACES. ANY FURTHER INCREASE IN MATERIAL THICKNESS OR DENSITY IS ACCEPTABLE.



1 LEVEL 3 FLOOR PLANS  
A2.3 SCALE 1/8"=1'-0"



PROPERTY LINE

LINE OF ROAD DEDICATION

PROPERTY LINE

BLDGA

BLDGB

BLDGA LEVEL 3  
FRONT YARD SETBACK

BLDGB LEVEL 3  
SIDE YARD SETBACK

PROPERTY LINE

PROPERTY LINE

BUILDING C

BUILDING D

DP 18-829083  
Plan #1.d

REVISION	DATE	BY	APP.
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3.0	18.08.20	KL	KL
4.0	18.08.20	KL	KL
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99.0	18.08.20	KL	KL
100.0	18.08.20	KL	KL

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ARCHITECTURE  
HOLDER OF AN AIBC CERTIFICATE OF PRACTICE  
ADDRESS: 1111 WILKINS ROAD, RICHMOND, BC  
V6X 3E8  
TELEPHONE: 778-444-1111

ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING

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Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR



8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

LEVEL 2 FLOOR PLANS

Project No.  
#8194

Scale

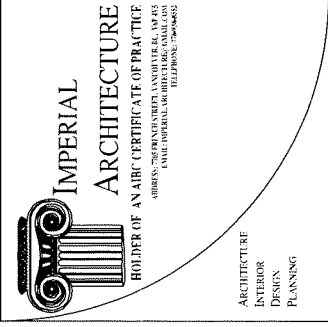
1/8"=1'-0"

Sheet

Revision

A2.2 of






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## Dimensions

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[illegible]

Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR  
 **KONIG**  
RESIDENTIAL  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

Project No.	Scale
-------------	-------

#8194

Drawing No.

## A 2.3



SCALE  $1/8"=1'-0"$

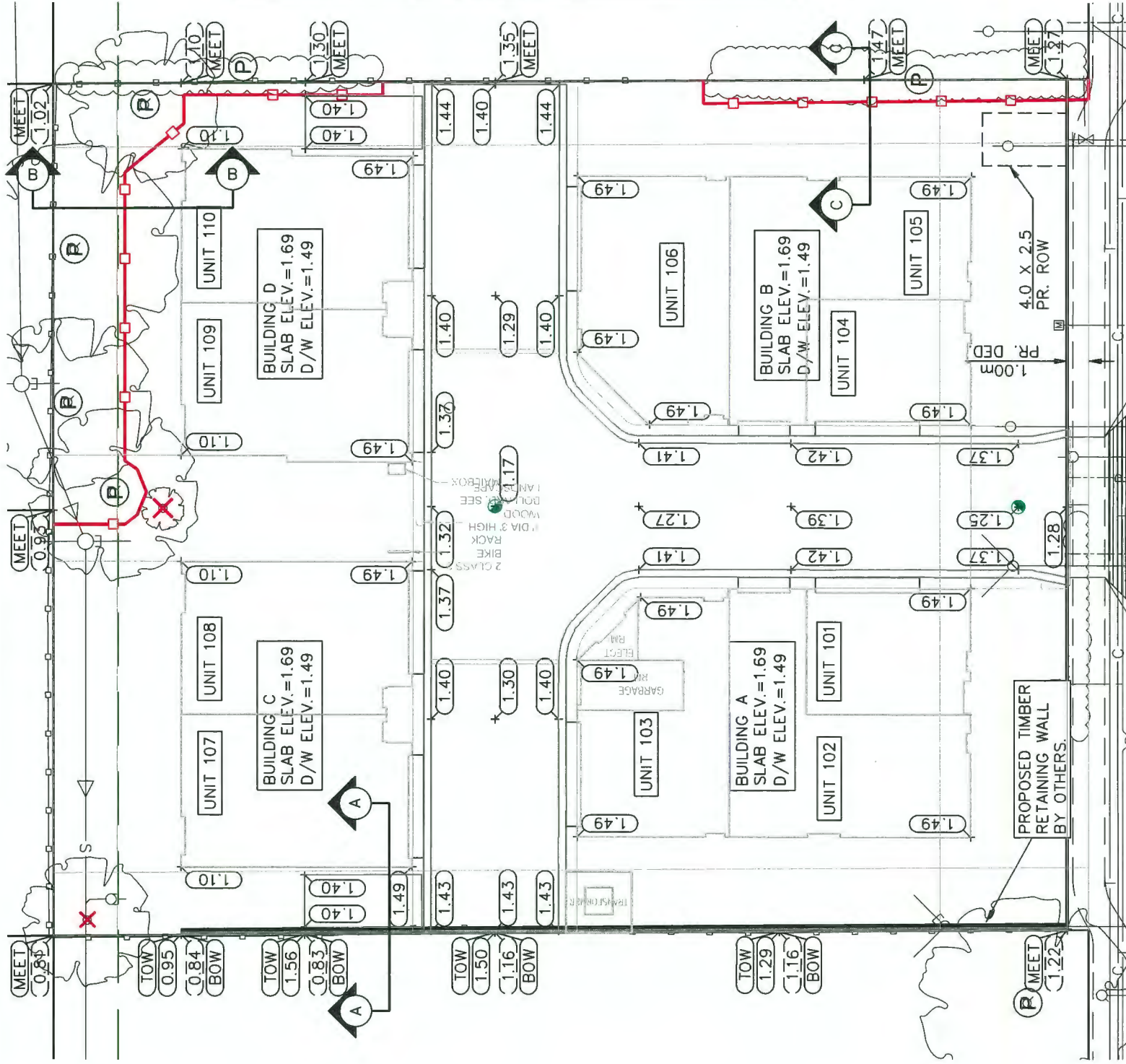
1. AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.

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(D): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS

4. THE MECHANICAL HEATING AND COOLING SYSTEM (AIR SOURCE HEAT PUMP SYSTEM) TO COMPLY WITH RELATIVE REQUIREMENTS IN BCBC- 2018 AND ASHRAE 55 REGARDING STANDARDS OF THERMAL COMFORT.

5. AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE



### SITE GRADE CALCULATIONS

AVERAGE PROP. SITE GRADE =  
AVG. BLDG. GRADE+AVG. EX. SITE CORNER GRADE / 2  
= (1.30m+1.30m + 1.49m+1.49m) / 4  
= 1.40m

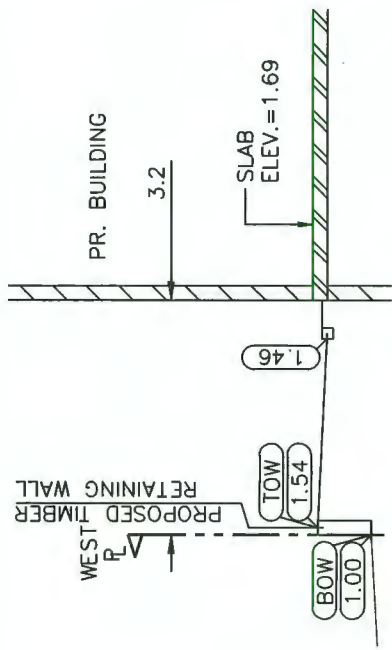
AVERAGE EX. SITE CORNER GRADE =  
1.02m + 0.81m + 1.22m + 1.27m / 4  
= 1.08m

AVERAGE PROP SITE GRADE = 1.33m

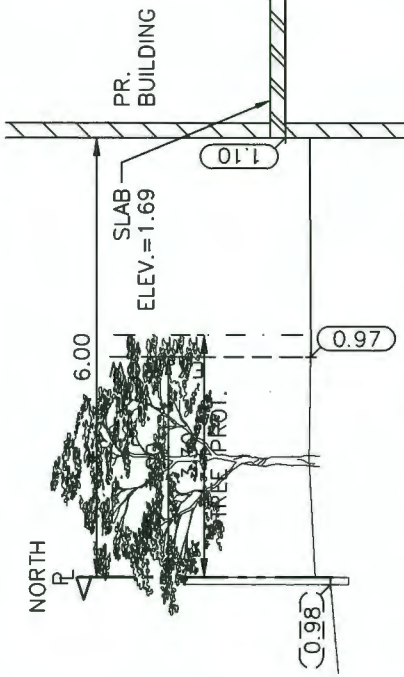
PROPOSED FILL = (AVG. PROP. SITE GRADE -  
AVG. EX. SITE GRADE)\*SITE AREA  
= (1.33m - 1.08m) \* 1920m<sup>2</sup>  
= 423m<sup>3</sup>

DP 18-829083  
Plan #1.f

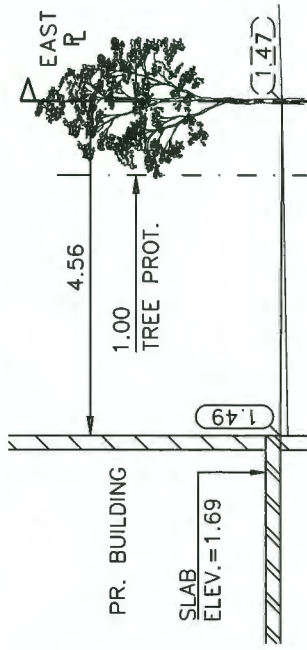
LEGEND	
X	TREE TO BE REMOVED
(P)	TREE TO BE PRESERVED
—	TREE PROTECTION FENCE



SECTION A-A  
SCALE: 1:100 HOR.; NTS VER.



SECTION B-B  
SCALE: 1:100 HOR.; NTS VER.



SECTION C-C  
SCALE: 1:100 HOR.; NTS VER.

City of Richmond

6911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

TITLE:

LOT GRADING

8291 & 8311 WILLIAMS ROAD

CITYFILE:

DESIGN:	AR	DWG. No.:	
DRAWN:	GG		
CHECKED:	TS	SCALE:	1 : 250
ENGINEER:	TS	SEC. No.:	28-4-6
		DATE:	SEP 2019
		SHT No.:	1 OF 1

PLAN

SCALE: 1:250

tel : 604.249.5040  
fax : 604.249.5041  
#220-2639 Viking Way, Richmond, BC, V6V 3B7  
www.coreconceptconsulting.com

KONIC DEVELOPMENT INC.

Core Concept Consulting Project No. 18090

DWG. 1 OF 1

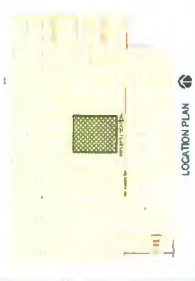
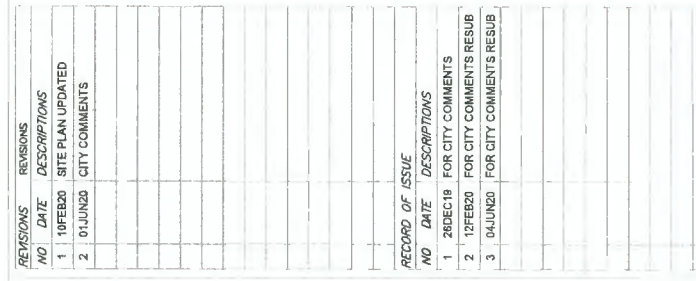
4.	26 JUN 2020	AR	TS	DP RESUBMISSION
3.	17 JUN 2020	AR	TS	DP RESUBMISSION
2.	24 FEB 2020	AR	TS	DP RESUBMISSION
1.	12 NOV 2019	AR	TS	DP RESUBMISSION
0.	25 SEPT 2019	AR	TS	DP SUBMISSION

REV'N	DATE	BY	CH.	DESCRIPTION

REVISIONS

16 JUN 2020





ARCHITECTURE  
INTERIOR  
DESIGN  
PLANNING

PROJECT NAME & CIVIC ADDRESS:  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR



# SITE LIGHTING PLAN

**LEE**  
ELECTRICAL CONSULTANTS

**LEW ENGINEERING LTD.**  
Electrical Consulting Engineers  
108-1121 Horseshoe Way  
Richmond, BC, V7A 5G7  
Tel/Fax: 604-277-3157  
Email: [rllewengld@telus.net](mailto:rllewengld@telus.net)


DATE: 1600TT17 SEAL:   
SCALE:   
AS SHOWN   
DESIGN BY:   
RULAKIN   
DRAWN BY:   
RVLAGE   
CHECKED BY:   
RVL

PROJ. NO. 1739 SHEET NO. E1.1

DP 18-829083  
Plan #1.g







**IMPERIAL  
ARCHITECTURE**

**HOLDER OF AN AIBC CERTIFICATE OF PRACTICE**

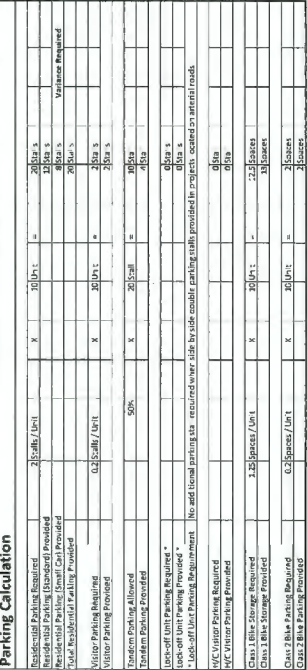
ADDRESS: 701 PRINCE STREET, VANCOUVER, B.C. V6B 4E5  
 TEL: 604-681-1111 FAX: 604-681-1112  
 E-MAIL: INFO@IMPERIALARCHITECTURE.COM  
 WEBSITE: WWW.IMPERIALARCHITECTURE.COM

ARCHITECTURE  
 INTERIOR  
 DESIGN  
 PLANNING

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[illegible][illegible]

1 PARKING PLAN  
A1.1 SCALE 1/8"=1'-0"



Client/Project	WILLIAMS ROAD TOWNHOUSE DEVELOPMENT FOR
Title	PARKING PLAN (PLAN #2)
Project No.	Scale
#8194	1/8"=1'-0"
Drawing No.	Sheet
	Perkins





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REPAIRS FOR PUMP REPAIR	4.2	K/L	2007/07
REPAIRS FOR PUMP REPAIR	4.2	K/L	2008/07
REPAIRS FOR PUMP REPAIR	4.2	K/L	2009/07
REPAIRS FOR PUMP REPAIR	4.2	K/L	2010/07
REPAIRS FOR PUMP REPAIR	4.2	K/L	2011/07
REPAIRS FOR PUMP REPAIR	4.2	K/L	2012/07
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DP 18-829083  
Plan #3

Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR

**KONIC**  
OF ALL OPINION

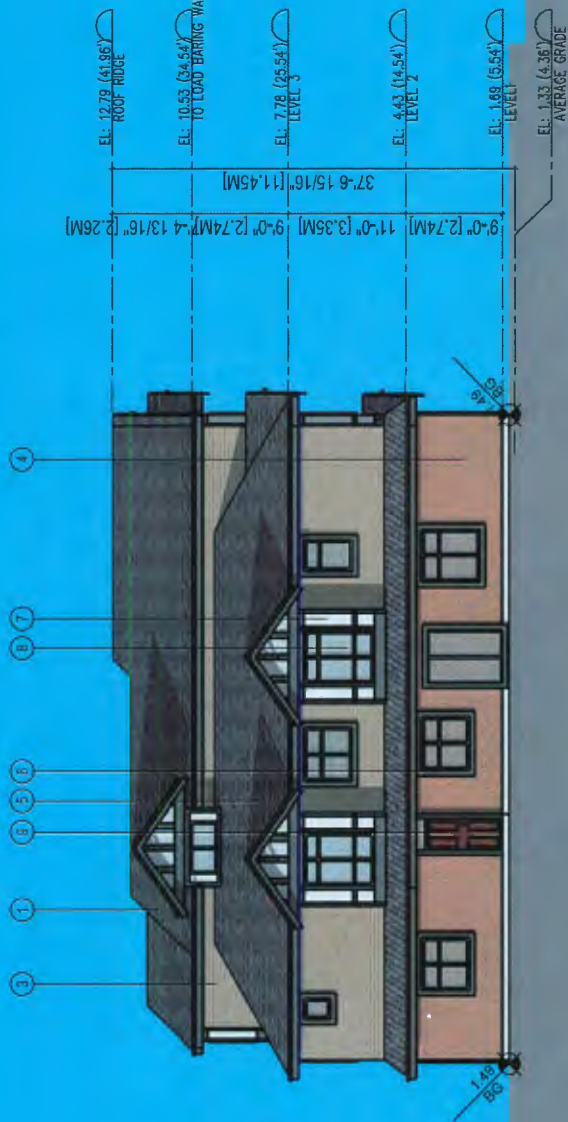
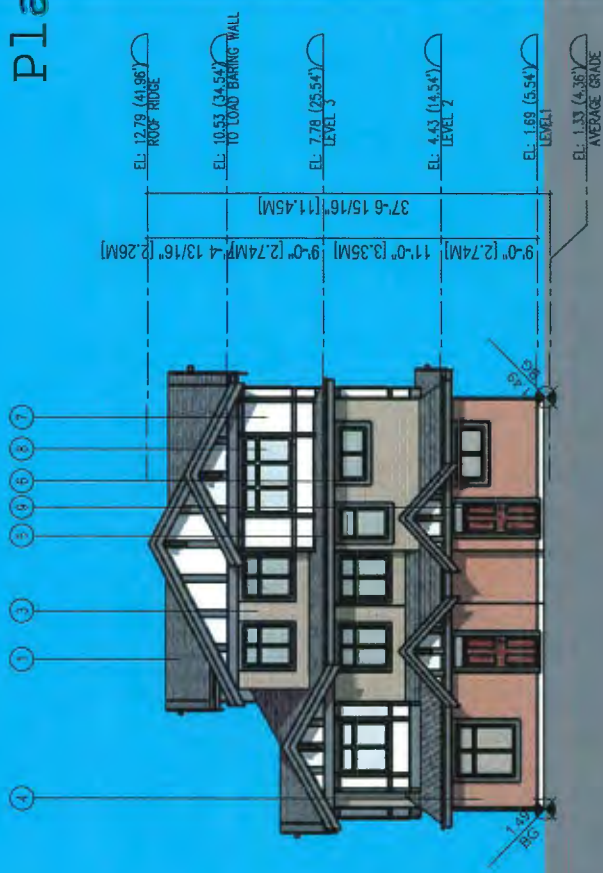
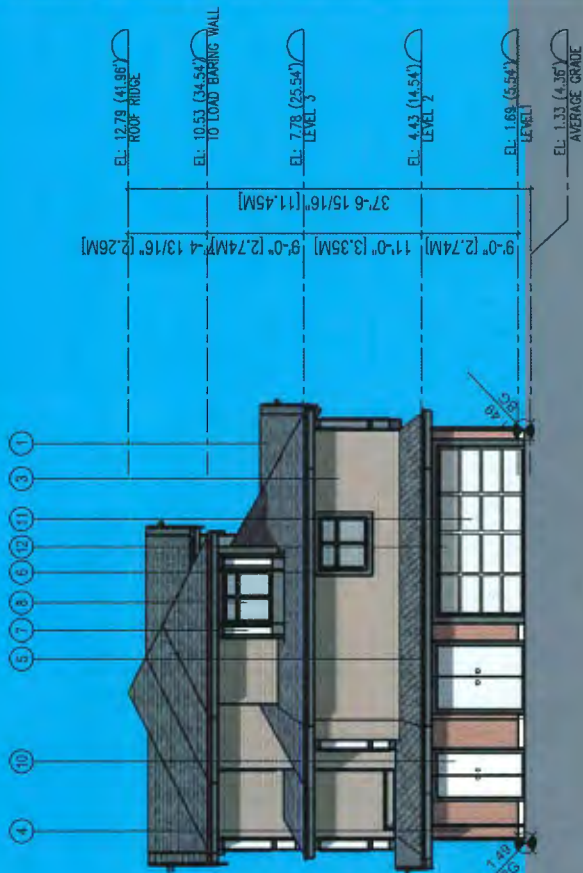
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

BUILDING A  
ELEVATIONS

Project No. **#8194** Scale **1/8"=1'-0"**

Revision	Sheet	Drawing No.
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A 3.1



- ## EXTERIOR FINISH MATERIAL SCHEDULE

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. HARDIE LAP SIDING (BEIGE)
3. HARDIE LAP SIDING (LIGHT BROWN )
4. BRICK CLADDING (RED)
5. FASCIA BOARD (DARK GREY)
6. WOOD TRIM (DARK GREY)
7. HARDIE BOARD PANEL (LIGHT GREY )
8. DOUBLE GLAZED VINYL WINDOW W/ DARK GREY FRAME
9. STAINED WOOD DOOR (DARK BROWN)
10. PREFINISHED METAL DOOR (LIGHT GREY)
11. GARAGE DOOR METAL PANEL (LIGHT GREY)
12. GARAGE DOOR GLAZING (TRANSLUCENT)
13. PRE-FINISHED GUARDRAIL/ R.W.L. (BLACK)
14. PRE-FINISHED ALUM. LOUVER (ANODIZED ALUM.)



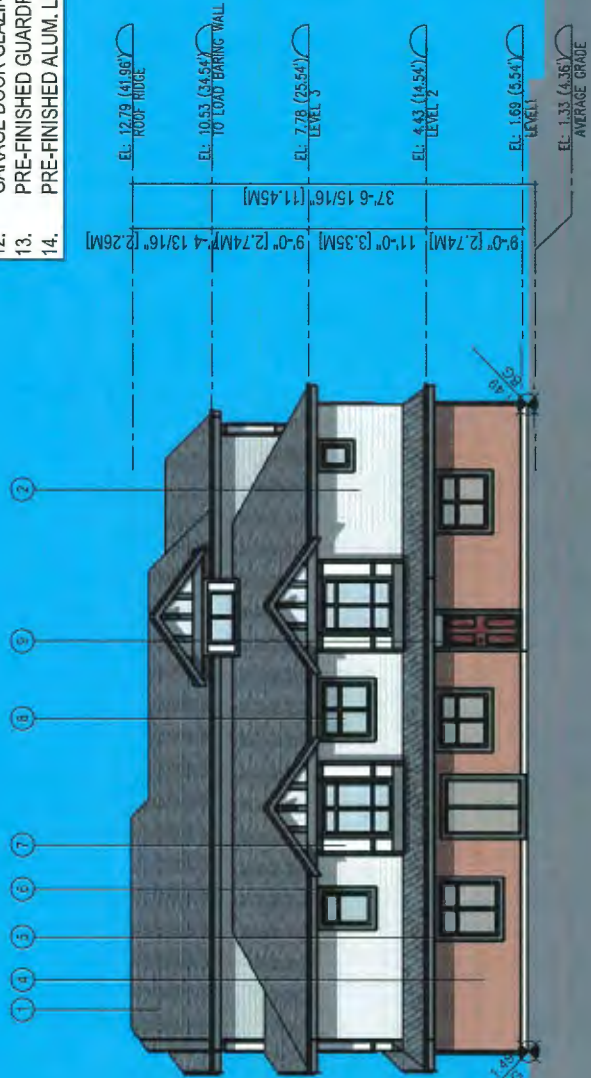




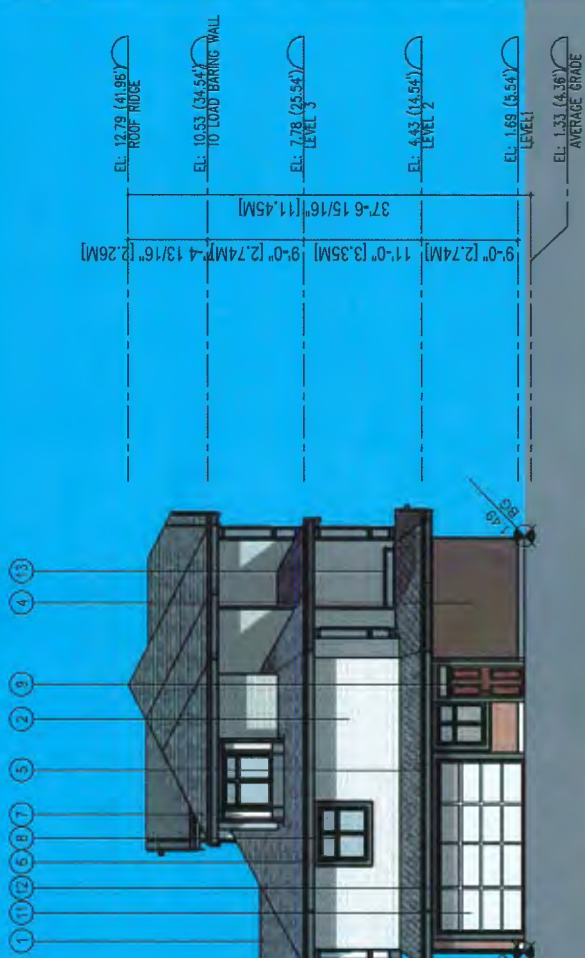
1 BUILDING B WEST ELEVATION  
SCALE 1/8"=1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE

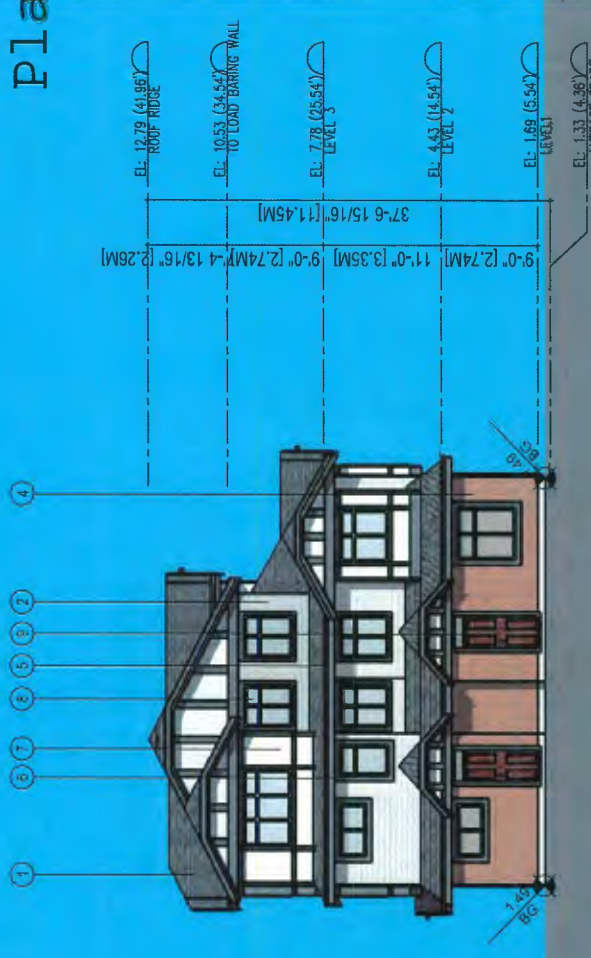
1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. HARDIE LAP SIDING (BEIGE)
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14. PRE-FINISHED ALUM. LOUVER (ANODIZED ALUM.)



3 BUILDING B EAST ELEVATION  
SCALE 1/8"=1'-0"



2 BUILDING B NORTH ELEVATION  
SCALE 1/8"=1'-0"



4 BUILDING B SOUTH ELEVATION  
SCALE 1/8"=1'-0"

REVISION	DATE	BY	APP.
1	20.07.09	JL	
2	20.08.09	JL	
3	20.09.09	JL	
4	20.10.09	JL	
5	20.11.09	JL	
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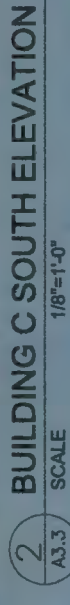
**Dimensions**  
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	2016/17	2017/18	2018/19
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RESULT FOR THE SUBMISSION	1.2	1.1	17.10.20
RESULT FOR THE SUBMISSION	1.2	1.1	17.10.20
Result	By	By	By

Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR  
 **KONIG**  
DEVELOPMENT  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

Project No. **#8194** Scale **1/8"=1'-0"**

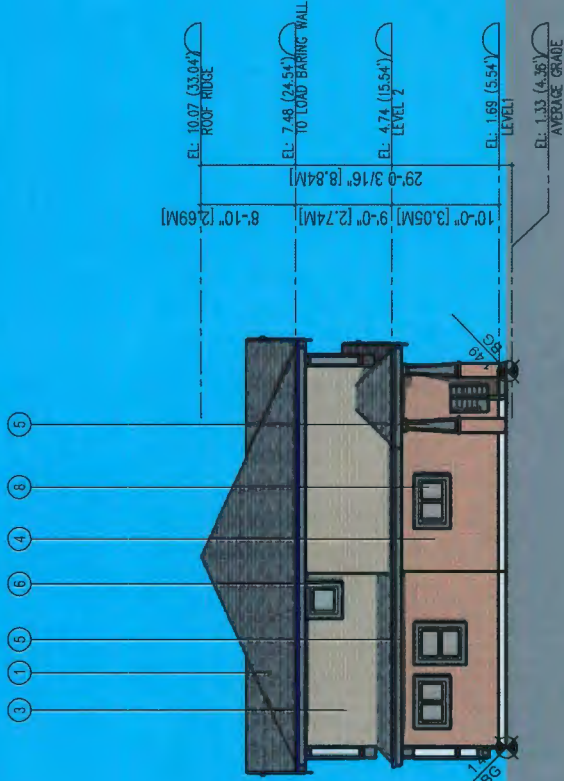
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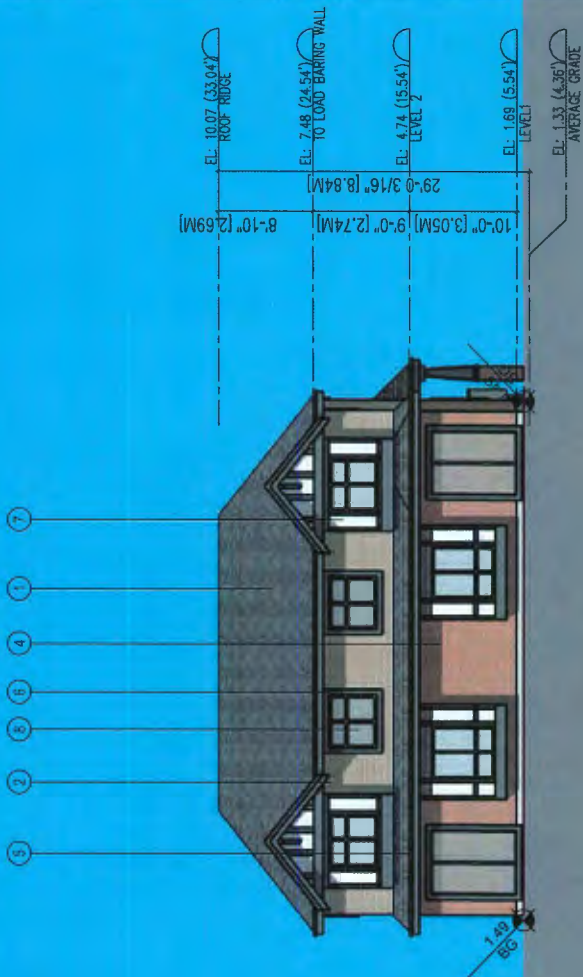
- | EXTERIOR FINISH MATERIAL SCHEDULE |   |
|-----------------------------------|---|
| 1.                                | HIGH PROFILE ASPHALT SHINGLES (DARK GREY)     |
| 2.                                | HARDIE LAP SIDING (BEIGE)                     |
| 3.                                | HARDIE LAP SIDING (LIGHT BROWN)               |
| 4.                                | BRICK CLADDING (RED)                          |
| 5.                                | FASCIA BOARD (DARK GREY)                      |
| 6.                                | WOOD TRIM (DARK GREY)                         |
| 7.                                | HARDIE BOARD PANEL (LIGHT GREY)               |
| 8.                                | DOUBLE GLAZED VINYL WINDOW W/ DARK GREY FRAME |
| 9.                                | STAINED WOOD DOOR (DARK BROWN)                |
| 10.                               | PRE-FINISHED METAL DOOR (LIGHT GREY)          |
| 11.                               | GARAGE DOOR METAL PANEL (LIGHT GREY)          |
| 12.                               | GARAGE DOOR GLAZING (TRANSLUCENT)             |
| 13.                               | PRE-FINISHED GUARDRAIL/ R.W.L. (BLACK)        |
| 14.                               | PRE-FINISHED ALUM. LOUVER (ANODIZED ALUM.)    |







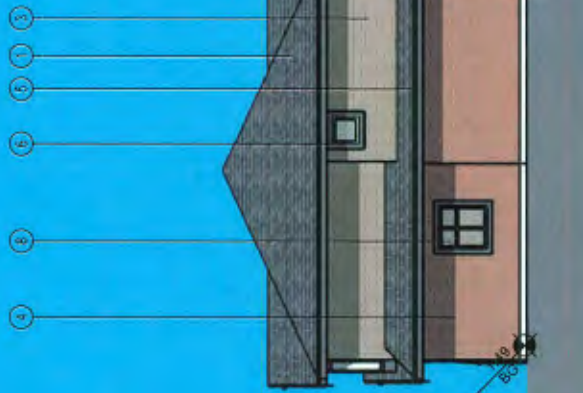
1 BUILDING D WEST ELEVATION  
A3.4 SCALE 1/8"=1'-0"



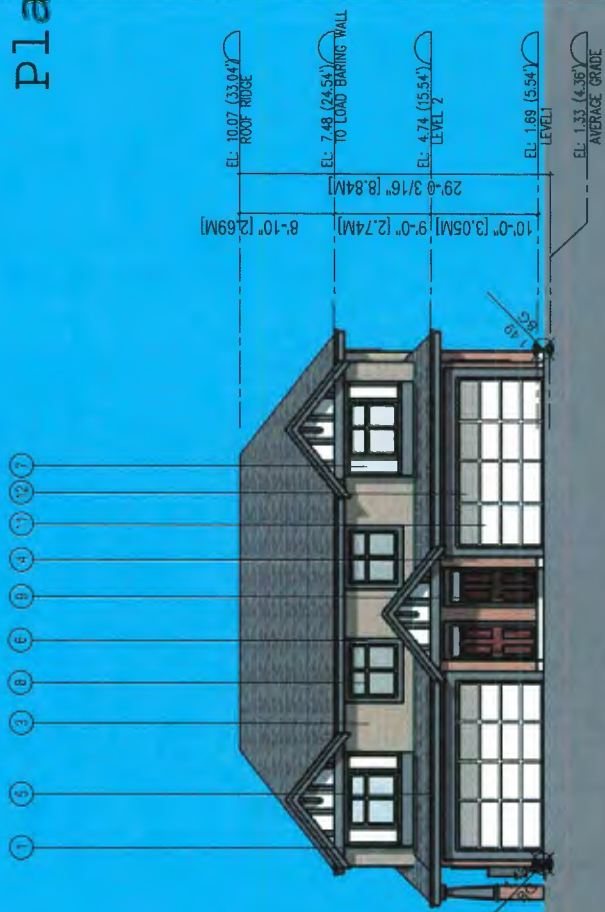
2 BUILDING D SOUTH ELEVATION  
A3.4 SCALE 1/8"=1'-0"

EXTERIOR FINISH MATERIAL SCHEDULE

1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. HARDIE LAP SIDING (BEIGE)
3. HARDIE LAP SIDING (LIGHT BROWN )
4. BRICK CLADDING (RED)
5. FASCIA BOARD (DARK GREY)
6. WOOD TRIM (DARK GREY)
7. HARDIE BOARD PANEL (LIGHT GREY )
8. DOUBLE GLAZED VINYL WINDOW W/ DARK GREY FRAME
9. STAINED WOOD DOOR (DARK BROWN)
10. PREFINISHED METAL DOOR (LIGHT GREY)
11. GARAGE DOOR METAL PANEL (LIGHT GREY)
12. GARAGE DOOR GLAZING (TRANSLUCENT)
13. PRE-FINISHED GUARDRAIL/ R.W.L. (BLACK)
14. PRE-FINISHED ALUM. LOUVER (ANODIZED ALUM.)



3 BUILDING D EAST ELEVATION  
A3.4 SCALE 1/8"=1'-0"



4 BUILDING D NORTH ELEVATION  
A3.4 SCALE 1/8"=1'-0"

REVISION FOR DP 18-829083	1-2	K.L.	20.07.09
REVISION FOR DP 18-829083	1-2	K.L.	20.08.29
REVISION FOR DP 18-829083	1-2	K.L.	20.08.17
REVISION FOR DP 18-829083	1-2	K.L.	20.02.06
REVISION FOR DP 18-829083	1-2	K.L.	18.12.04
REVISION FOR DP 18-829083	1-2	K.L.	18.11.11
REVISION FOR DP 18-829083	1-2	K.L.	18.09.07
REVISION FOR DP 18-829083	1-2	K.L.	18.11.28
REVISION FOR DP 18-829083	1-2	K.L.	18.07.13
REVISION FOR DP 18-829083	1-2	K.L.	17.10.20
REVISION FOR DP 18-829083	1-2	K.L.	17.04.20

DP 18-829083  
Plan #3.c

Williams Road Townhouse Development For  
KONIG ARCHITECTURE  
8291 & 831 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

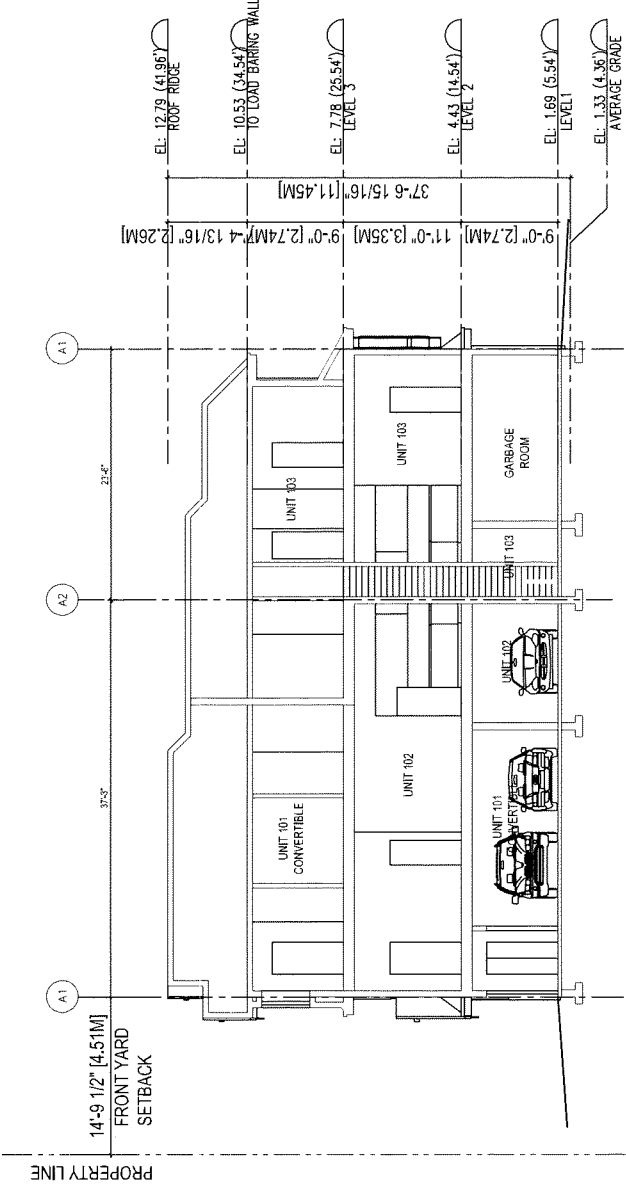
BUILDING D  
ELEVATIONS  
Project No: #8194  
Scale: 1/8"=1'-0"  
Drawing No: A3.4  
Sheet  
Revision

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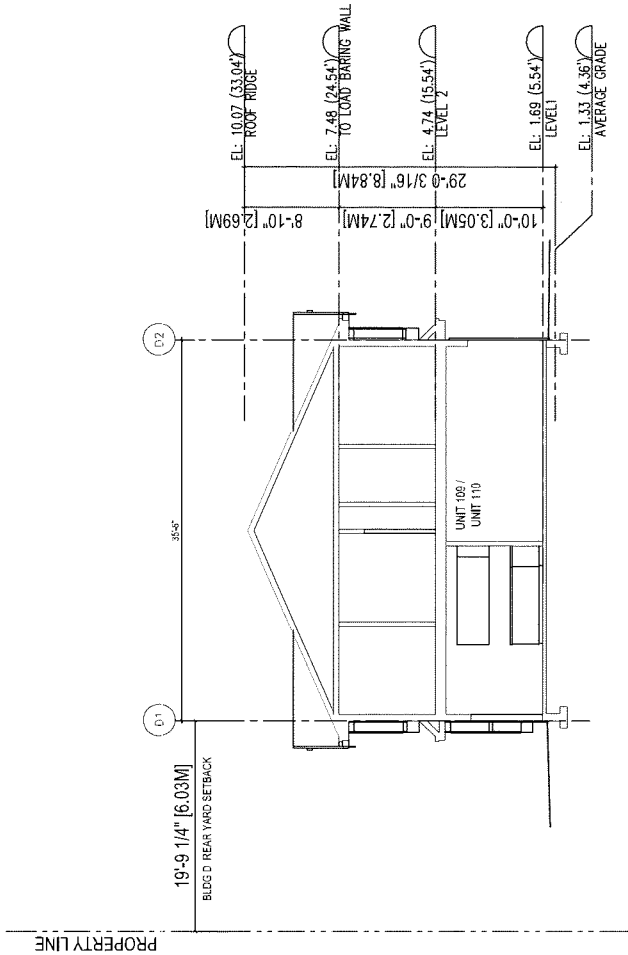
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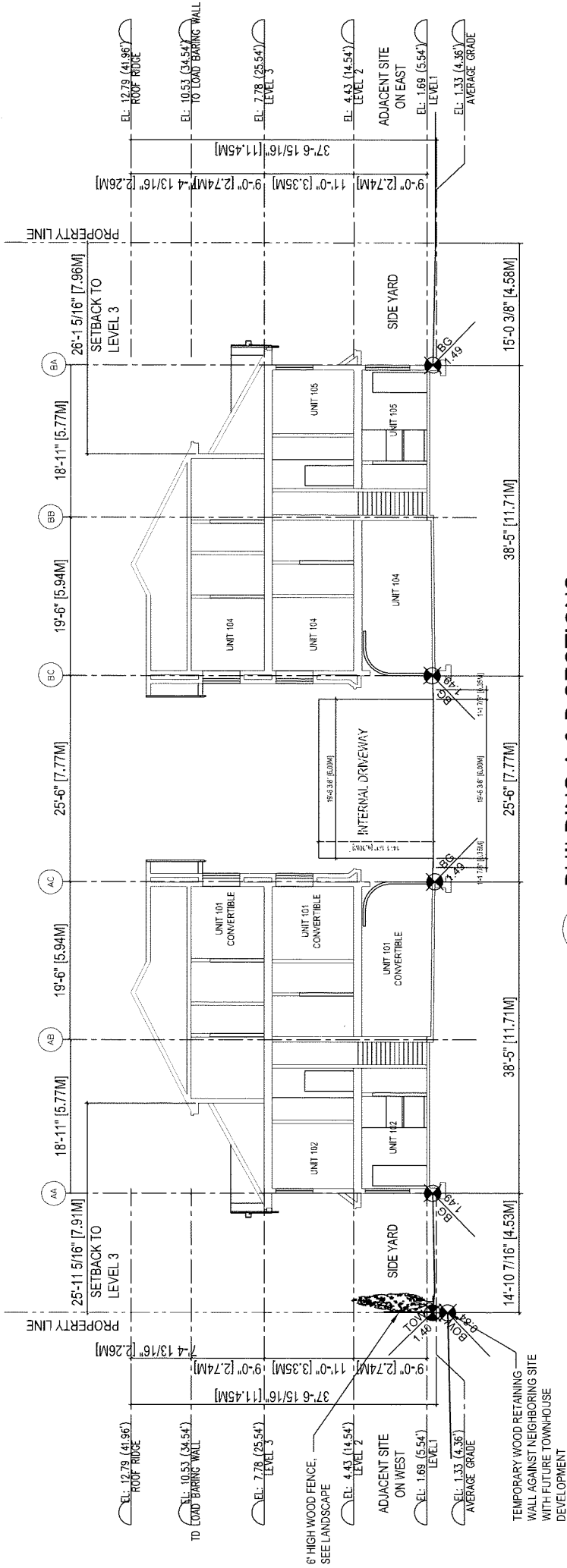




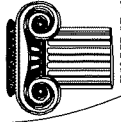
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A4.1 SCALE 1/8"=1'-0"



4 BUILDING D SECTION 2  
A4.1 SCALE 1/8"=1'-0"



3 BUILDING A & B SECTIONS  
A4.1 SCALE 1/8"=1'-0"



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WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR

 KONIG  
ARCHITECT  
8291 & 831 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

BUILDING  
SECTIONS

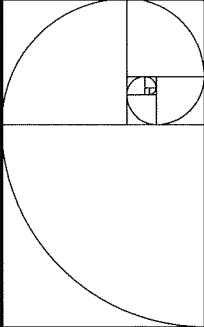
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Scale  
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Sheet

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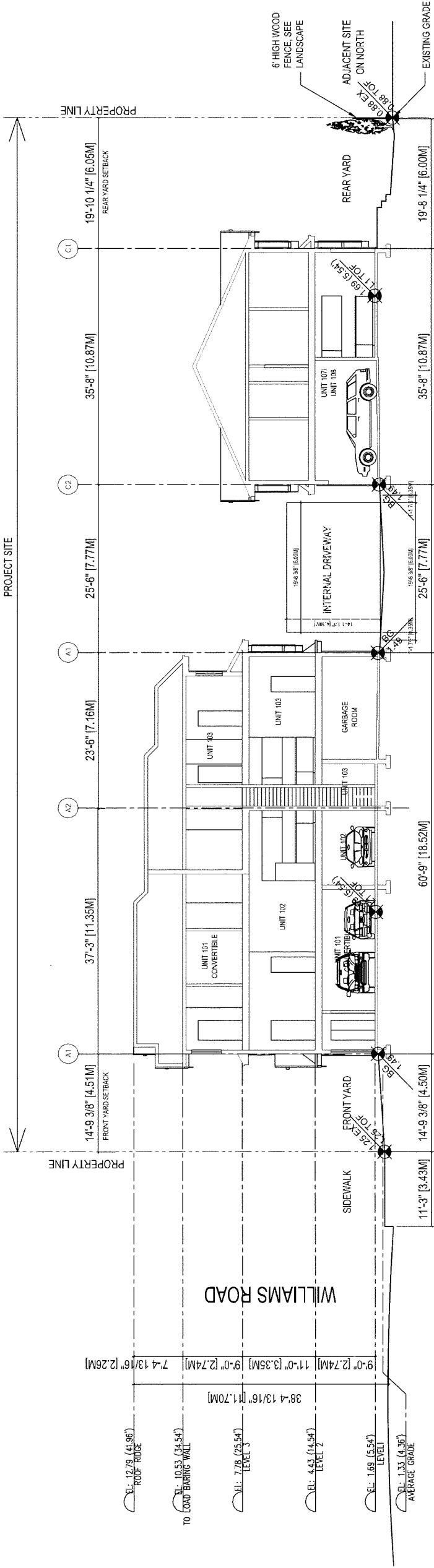
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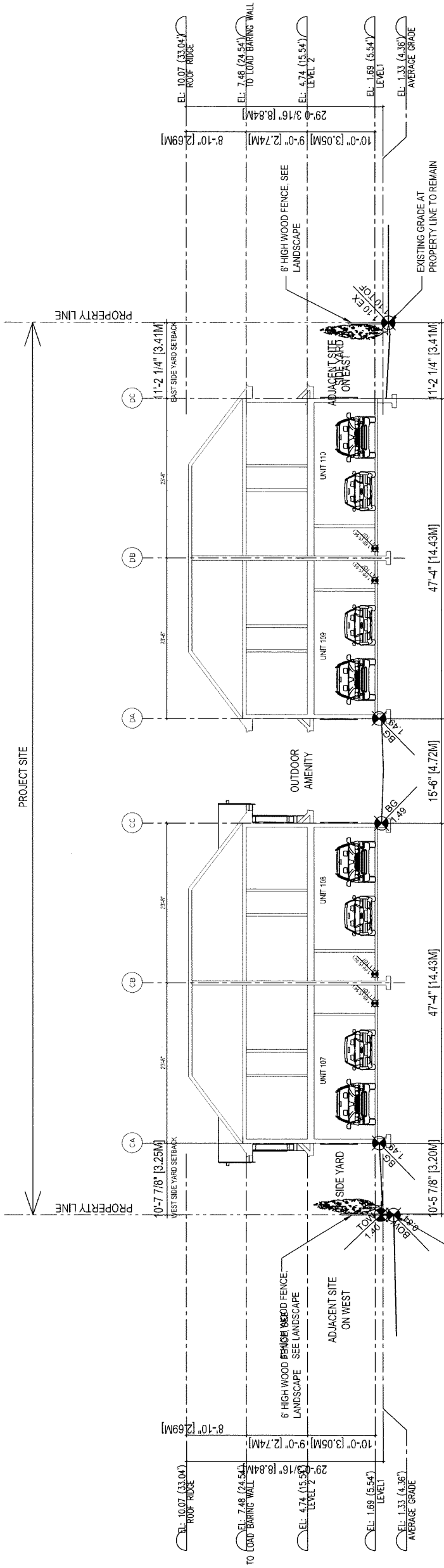
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1 BUILDING A / C SECTIONS  
A4.2 SCALE 1/8"=1'-0"



2 BUILDING C / D SECTIONS  
A4.2 SCALE 1/8"=1'-0"

Williams Road Townhouse  
Development for  
**KONIG**  
ARCHITECT  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

BUILDING  
SECTIONS

Project No.  
#8194

Scale  
1/8"=1'-0"

Sheet  
A4.2

DP 18-829083 Plan #3.e









NO.	DATE	DESCRIPTION	DR.
1	10/16/16	NEW STEEL/CIVIL PLANT/CIVIL COMMENTS	
2	13/MAY/16	NEW STEEL CIVIL PLANS	
3	15/JUN/13	INTIMATED PROVIDED FOR LOCK-OFF UNIT	R
4	15/SEP/11	ADDED FOR NEW CIVIL PLAN	DO
5	15/SEP/09	ADDED FOR CIVIL	DO
6	19/OCT/25	NEW STEEL CIVIL PLANS	DO
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100	19/OCT/25	NEW STEEL CIVIL PLANS	DO

CLIENT: KONIC DEVELOPMENT

**PROJECT:**  
**10 UNIT TOWNHOUSE**  
**DEVELOPMENT**

8291 WILLIAMS ROAD  
RICHMOND

**DRAWING TITLE:**

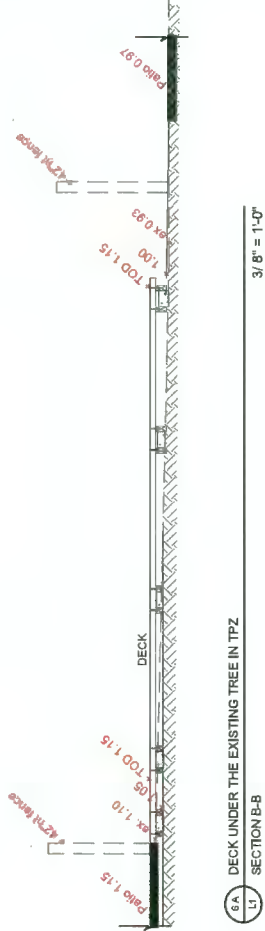
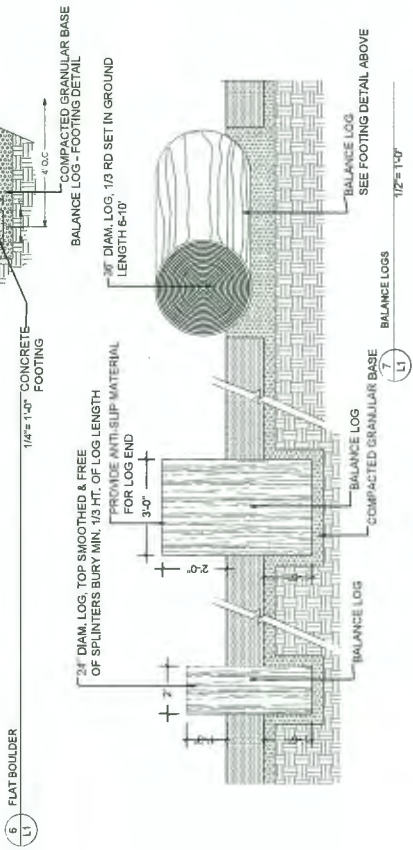
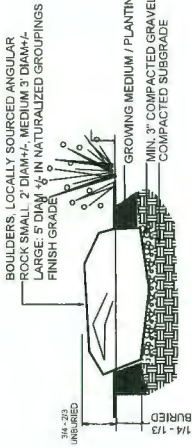
## SHRUB AND GRADING PLAN

DATE: July 10, 2018  
SCALE: 1/8"=1-0"  
DRAWN DD  
DESIGN: DD  
CHK'D: PCM  
DRAWING NUMBER: L2 OF 6

DP 18-829083 Plan #4.a



SEAL:



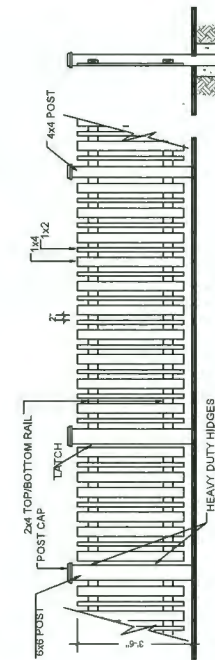
DP 18-829083  
Plan #4.b

PROJECT:  
**10 UNIT TOWNHOUSE  
DEVELOPMENT**  
**8291 WILLIAMS ROAD  
RICHMOND**

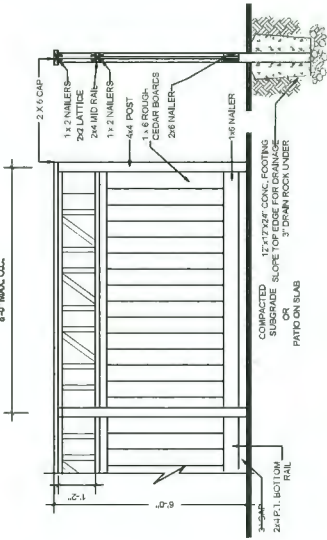
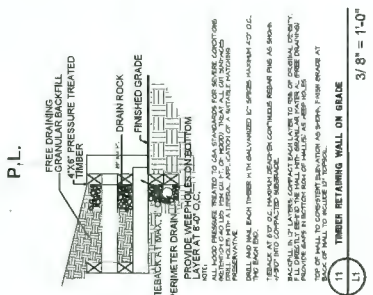
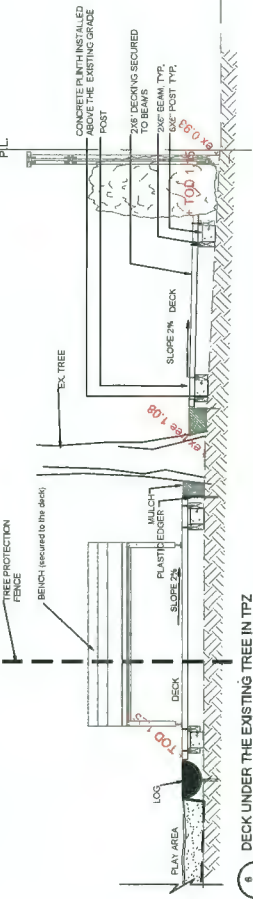
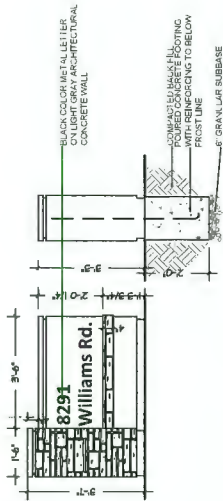
DRAWING TITLE  
**LANDSCAPE  
DETAILS**

DRAWING NUMBER:  
**L3**  
DATE: July 10, 2018  
SCALE:  
DRAWN DD  
DESIGN DD  
CHKD: PCM

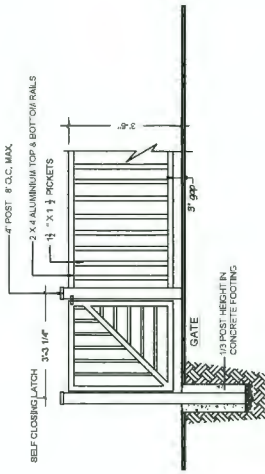
PMG PROJECT NUMBER:  
**18-145**



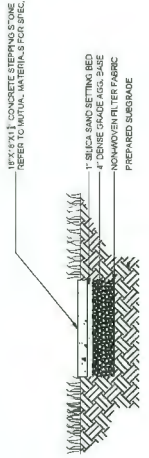
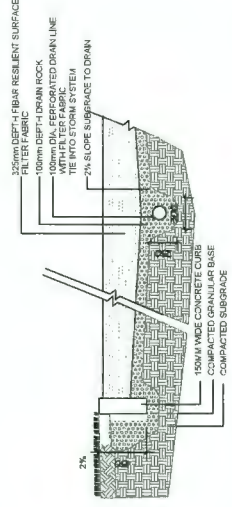
- NOTE
1. POSTS PRESURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
  2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
  3. ALL HARDWARE HOT DIPPED GALVANIZED.
  4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURER'S SPECIFICATION.
  5. ALL FENCES TO BE LEVEL, CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/8".



- NOTES:
1. METAL MATERIAL - ALUMINUM TO BE POWDER COATED BLACK, TWO COATS.
  2. GATE HARDWARE TO BE CHOSEN BY OWNER.
  3. GATE HARDWARE TO BE CHOSEN BY OWNER.
  4. ALUMINUM FENCE TO BE POWDER COATED SEMI-GLOSS BLACK.



- NOTES:
1. METAL MATERIAL - ALUMINUM TO BE POWDER COATED BLACK, TWO COATS.
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  3. GATE HARDWARE TO BE CHOSEN BY OWNER.
  4. ALUMINUM FENCE TO BE POWDER COATED SEMI-GLOSS BLACK.



Natural play elements



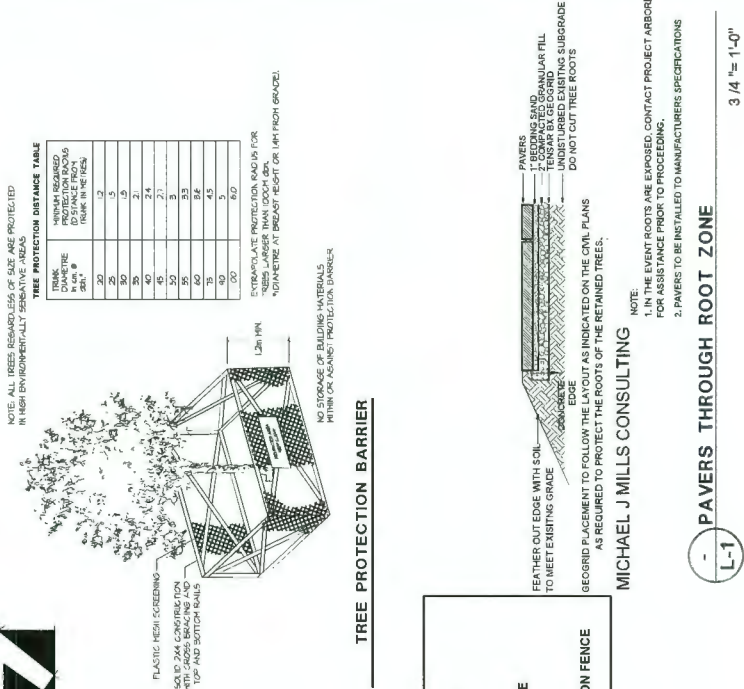
Play equipment - The Forest Villa (A-17000)  
BY JAMBETTE







SEAL:



NO.	DATE	REVISION DESCRIPTION	OR.
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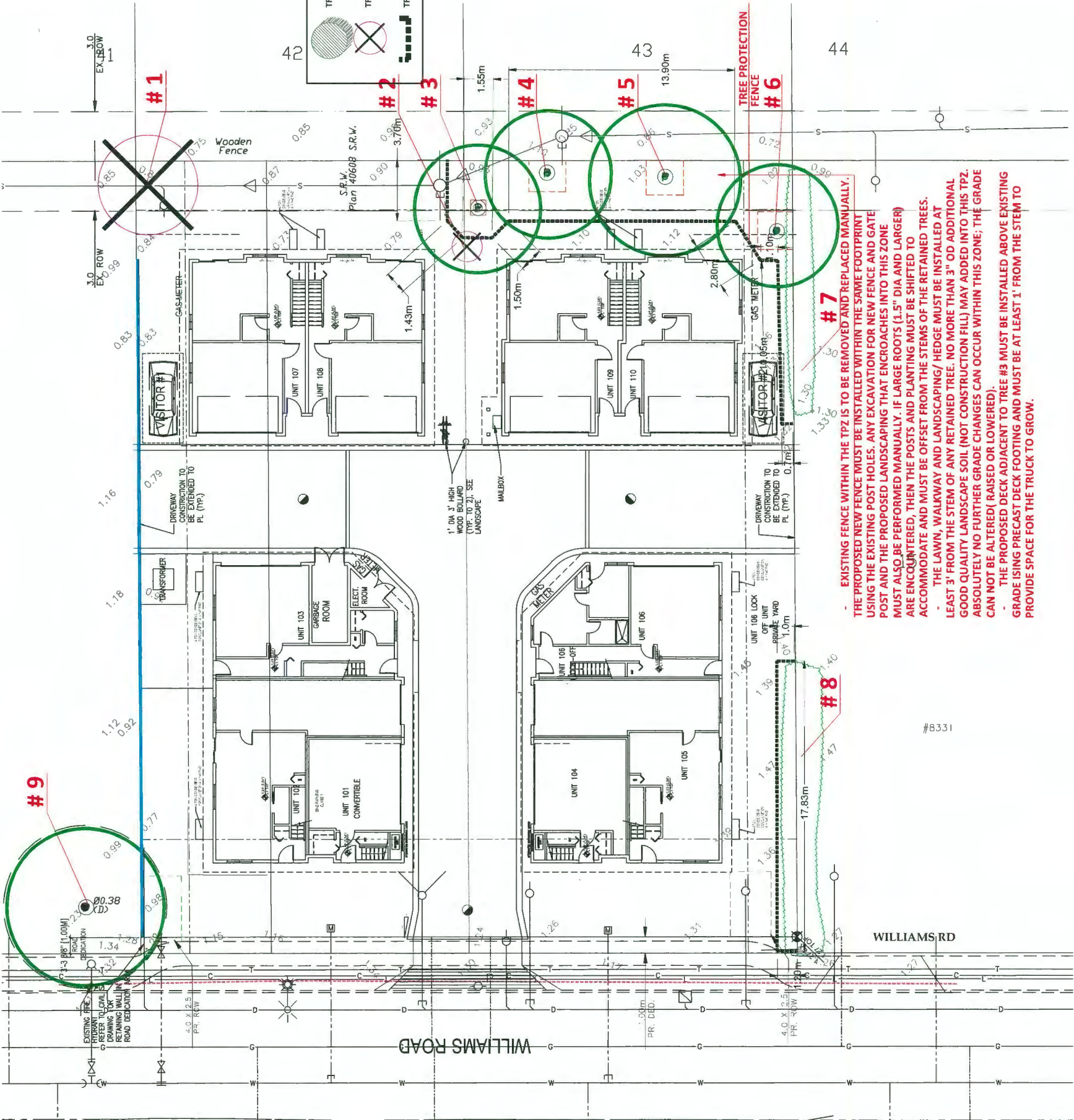
PROJECT:  
**10 UNIT TOWNHOUSE  
DEVELOPMENT**  
**8291 WILLIAMS ROAD  
RICHMOND**

DRAWING TITLE:  
**TREE MANAGEMENT  
PLAN**

DATE: July 10, 2018  
SCALE: 3/32"=1'-0"  
DRAWN: DO  
DESIGN: DO  
CHKD: PCM

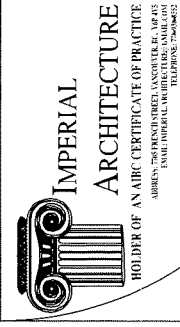
PMG PROJECT NUMBER:  
18-145

DP 18-829083 Plan #4.d



- EXISTING FENCE WITHIN THE TPZ IS TO BE REMOVED AND REPLACED MANUALLY. THE PROPOSED NEW FENCE MUST BE INSTALLED WITHIN THE SAME FOOTPRINT USING THE EXISTING POST HOLES. ANY EXCAVATION FOR NEW FENCE AND GATE POST AND THE PROPOSED LANDSCAPING THAT ENCLOSES INTO THIS ZONE MUST ALSO BE PERFORMED MANUALLY. IF LARGE ROOTS (1.5" DIA AND LARGER) ARE ENCOUNTERED, THEN THE POSTS AND PLANTING MUST BE SHIFTED TO ACCOMMODATE AND MUST BE OFFSET FROM THE STEMS OF THE RETAINED TREES.
- THE LAWN, WALKWAY AND LANDSCAPING/ HEDGE MUST BE INSTALLED AT LEAST 3' FROM THE STEM OF ANY RETAINED TREE. NO MORE THAN 3" OD ADDITIONAL GOOD QUALITY LANDSCAPE SOIL (NOT CONSTRUCTION FILL) MAY BE ADDED INTO THIS TPZ. ABSOLUTELY NO FURTHER GRADE CHANGES CAN OCCUR WITHIN THIS ZONE; THE GRADE CAN NOT BE ALTERED (RAISED OR LOWERED).
- THE PROPOSED DECK ADJACENT TO TREE #3 MUST BE INSTALLED ABOVE EXISTING GRADE USING PRECAST DECK FOOTING AND MUST BE AT LEAST 1' FROM THE STEM TO PROVIDE SPACE FOR THE TRUCK TO GROW.

TREE #	SPECIES	DBH (cm)	SPREAD (m ESL)
1	Holly ( <i>Ilex sp.</i> )	39 per survey	5.5m
2	Dwarf Alberta Spruce ( <i>Picea sp.</i> )	40	2.1m
3	Cherry ( <i>Prunus sp.</i> )	24	7.6m
4	Holly ( <i>Ilex sp.</i> )	41 per survey	7.9m
5	Cherry ( <i>Prunus sp.</i> )	35	10m
6	Cherry ( <i>Prunus sp.</i> )	combined (15+12+8+5)	7m
7	Cedar ( <i>Thuja occidentalis</i> )	-	1.5m
8	Laurel ( <i>Laurocerasus sp.</i> )	-	2m
9	Cherry ( <i>Prunus sp.</i> )	38 per survey	9.4m



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WILLIAMS ROAD

LEONARD ROAD

DP 18-829083  
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WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR



8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

7th

COLOR RENDERING

Project No.

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Revision

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DEVELOPMENT FOR

8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

KONIG  
BY LAYOUT

COLOR RENDERING

Project No.  
#8194

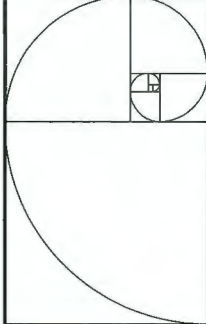
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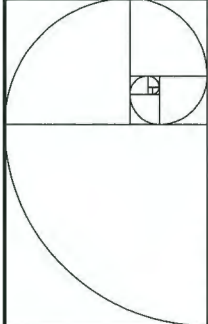
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DEVELOPMENT FOR  
KONIG  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

COLOR RENDERING

Project No. #8194  
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DP 18-829083 Reference Plan





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Client/Project  
WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR  
KONIG  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

COLOR RENDERING

Project No. #8194  
Scale N.T.S.  
Drawing No. A0.14  
Revision













REVISION	DATE	BY	REASON
1	18.07.08	K.L.	20.07.08
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PLANNING

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Client/Project

WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR

8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

KONIG  
BY E. KONIG

COLOR RENDERING

Project No.  
#8194

Scale  
N.T.S.

Sheet  
A0.17

Revised

DP 18-829083 Reference Plan



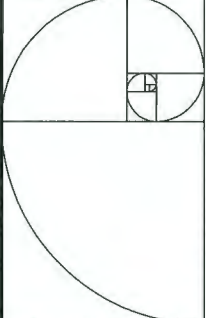


ISSUED FOR PERMIT	J.S.	K.L.	20.07.20
REVISED FOR RE-Submission	J.S.	K.L.	20.08.20
REVISED FOR RE-Submission	J.S.	K.L.	20.08.17
REVISED FOR RE-Submission	J.S.	K.L.	20.02.16
REVISED FOR RE-Submission	J.S.	K.L.	18.12.04
REVISED FOR RE-Submission	J.S.	K.L.	18.11.11
REVISED FOR RE-Submission	J.S.	K.L.	18.08.07
REVISED FOR RE-Submission	J.S.	K.L.	18.11.28
REVISED FOR RE-Submission	J.S.	K.L.	18.07.13
REVISED FOR RE-Submission	J.S.	K.L.	17.10.20
Revised	By	Appd.	17.09.20

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TELEPHONE: 779-0946



Client/Project  
**WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR**  
**KONIG  
BY APPOINTMENT**  
8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

**COLOR RENDERING**

Project No. **#8194** Scale **N.T.S.**  
Drawing No. \_\_\_\_\_ Sheet \_\_\_\_\_ Revision \_\_\_\_\_





ISSUED FOR PERMIT	1:2	K.L.	20.07.19
ISSUED FOR RE-DESIGN	1:2	K.L.	20.08.19
ISSUED FOR RE-DESIGN	1:2	K.L.	20.08.17
ISSUED FOR RE-DESIGN	1:2	K.L.	20.02.16
ISSUED FOR PERMIT	1:2	K.L.	18.12.14
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ISSUED FOR RE-DESIGN	1:2	K.L.	17.10.10
ISSUED FOR RE-DESIGN	1:2	K.L.	17.08.02





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Client/Field

WILLIAMS ROAD TOWNHOUSE  
DEVELOPMENT FOR

 **KONIG**  
CONSULTING

8291 & 8311 WILLIAMS ROAD, RICHMOND, BC  
DP 18-829083

1/8"

COLOR RENDERING

Project No. **#8194**

Scale **N.T.S.**

Drawing No. **A0.19**

Sheet **4**

Revision

DP 18-829083 Reference Plan



[illegible]

**CONVERTIBLE UNIT GUIDELINES**  
(NOTE: SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS)

A	DOORS & DOORWAYS	A1	ENTRY DOORS ARE A MINIMUM 60 IN. BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
		A2	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1200 MM DEPTH BY DOOR WIDTH PLUS 500 MM ON LATCH SIDE (NOT NEEDED IF DOUGH IN WINGS) PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER.
		A3	INTERIOR DOORS TO LIVING AREAS, BATHROOMS & BEDROOMS: MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE A WEEHCHAIR AND WALKER PASSING BETWEEN THE HALLWAY AND ROOMS AND WHEEN HALLWAY AND OF DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
		A4	PATIO /EALCONY MIN. 800 MM CLEAR OPENING. SMALL REMOVABLE WOOD RAMP WILL BE USED TO ADAPT 7" HEIGHT DIFFERENCE BETWEEN FINISHED SURFACES WHEN THE UNIT IS CONVERTED TO ACCESSIBLE UNIT (I.E. WHEN THE ELEVATOR IS INSTALLED)
B	VERTICAL CIRCULATION	A5	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH #6 BUILDING CODE
		A6	LEVENTRY HANDLES FOR ALL DOORS
		B2	VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDING, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC'S. FRAMING TO ACCOMMODATE A SHIRT CONSTRUCTION, WITHOUT IMPACT TO SURROUNDING STRUCTURE.
		B3	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
C	HALLWAYS	C1	MIN. 500 MM WIDTH.
		D1	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
		D2	ACCESS FROM GARAGE TO LIVING AREA MIN. 100 MM CLEAR OPENING.
		E1	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
E	BATHROOM (MIN.1)	E2	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
		E3	LEVENTRY HANDLES FOR PLUMBING FIXTURES.
		E4	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
		E5	CABINETS UNDERNEATH SINKS ARE EASILY REMOVED.
F	KITCHEN	E6	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OF FIXTURE PLACEMENT)
		F1	CLEAR AREA UNDER FUTURE TUB SPACE, PLUMBING AND GAS PIPES (UNWALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA, FUTURE WORK SPACE (STOVE, SINK & MIN. 800 MM WIRE COUNTER, ALL PIPES ARE BROUGHT IN NO HIGHER THAN 300 MM TO 333 MM AT THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
		F2	CABINETS UNDERNEATH SINK ARE EASILY REMOVED
		F3	1400 MM TURNING DIAMETER OR TURNING PATH IN GARAGE.
G	WINDOWS	F4	LEVENTRY HANDLES FOR PLUMBING FIXTURES.
		G1	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN & LIVING ROOM)
		H1	PLACEMENT LOCATION OF ELECTRICAL OUTLETS BESIDE WINDOW, BOTTOM OF STAIRWAYS
		H2	BESIDE SWITCHES TOILET ABOVE EXTERNAL DOORS OUTSIDE AND INSIDE ON FRONT FACE OF KITCHEN COUNTER WITHIN PROXIMITY OF CONTROL CENTER FOR SMART HOME OPTIONS
H	OUTLETS & SWITCHES	H2	UPGRADE TO FOUR-POLE OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM

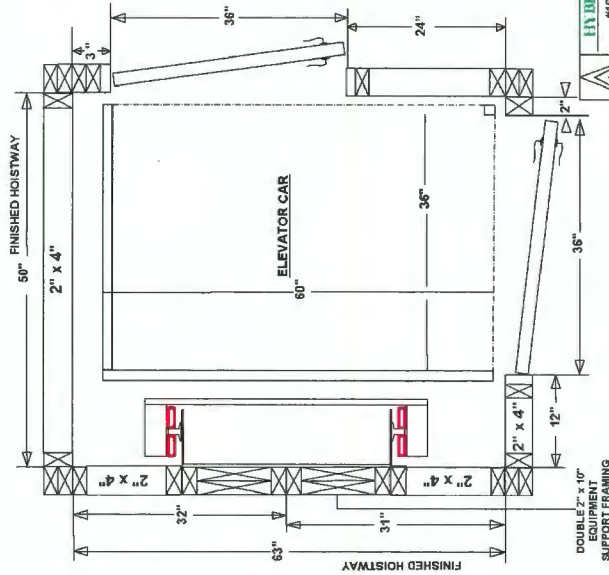
**FOR DETAILED INSTRUCTIONS  
PLEASE REFER  
TO HOISTWAY DRAWINGS.**

**NOTE:**  
ALL DIMENSIONS ARE IN INCHES.  
ALL DIMENSIONS ARE SPECIFIC TO  
OUR EQUIPMENT AND ELEVATOR  
CODES. THEY MUST BE MAINTAINED  
TO ENSURE A PROPER INSTALLATION.  
NOTIFY: "HYBRID ELEVATOR"  
ENGINEERING REGARDING ANY  
OR ALL DIMENSIONAL  
CHANGES BEFORE PROCEEDING.  
ALL FINISHED HOISTWAY  
DIMENSIONS INCLUDE  
1/2" DRY WALL, HW-DWG # 5

HOISTWAY DOORS & FRAMES ARE TO BE INSTALLED IN A 2" x 4" CONSTRUCTED WALL. THIS IS REQUIRED TO COMPLY WITH THE 3" x 5" CODE RULE. HW-DWG # 7 HOISTWAY DOORS TO BE SOLID CORE. (SUPPLIED BY OTHERS)

DOUBLE 2" x 10" EQUIPMENT SUPPORT  
FRAMING WALL, HW-DWG # 2

DETAILED ELECTRICAL  
REQUIREMENTS, HW-DWG # 9A



TYPE #3 LEFT HAND DRIVE WALL  
3' x 5' CAR

<b>HYBRID ELEVATOR INC.</b>		Date	FEB. 28/2013
#16 - 364 LOUGHEED ROAD KELOWNA, BC V1X 7R8 PHONE: (778) 484-0064 FAX: (778) 484-0086		Scale	NTS
		Design	DAE & LSD
		DWG #	16 REV. 2
		Drawn	DAE
<b>RESIDENTIAL ELEVATORS / LIFTS</b> <b>STANDARD HOISTWAY PLAN</b>			



# City of Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** July 8, 2020

**From:** Wayne Craig  
Director, Development

**File:** DP 20-890821

**Re:** **Application by Vivid Green Architecture Inc. for a Development Permit at  
5500 Williams Road**

---

### Staff Recommendation

That a Development Permit be issued which would permit the construction of two duplexes at 5500 Williams Road on a site zoned "Arterial Road Two-Unit Dwellings (RDA)".

A handwritten signature in black ink, appearing to read "Wayne Craig", with a large, stylized flourish at the end.

Wayne Craig  
Director, Development  
(604-247-4625)

WC:jr  
Att. 3

## **Staff Report**

### **Origin**

Vivid Green Architecture Inc. has applied to the City of Richmond for permission to develop two duplexes on a subdivided lot at 5500 Williams Road. The site is being rezoned from “Single Detached (RS1/E)” to “Arterial Road Duplexes (RDA)” under Bylaw 10091 (RZ 17-790028), which received third reading at the Public Hearing on December 16, 2019. The site currently contains a single-family dwelling, which would be demolished.

A Servicing Agreement is required prior to subdivision approval, and includes, but is not limited to, the following improvements:

- New concrete sidewalk and landscaped boulevard along the Williams Road frontage.
- Special pavement treatments and paint at the driveway crossing to highlight the existing bike lane on Williams Road.

### **Development Information**

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

- To the north, across Williams Road: Single-family dwellings on lots zoned “Single Detached (RS1/E)” with vehicle access from Williams Road.
- To the east: A single-family dwelling on a lot zoned “Single Detached (RS1/E)” with vehicle access from Williams Road.
- To the south: A single-family dwelling on a lot zoned “Single Detached (RS1/B)” with vehicle access from Lawson Drive.
- To the west: Single-family dwellings on lots zoned “Single Detached (RS1/E)” and “Single Detached (RS2/B)” with vehicle access from Lassam Road.

### **Rezoning and Public Hearing Results**

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Review of the architectural character, scale, and massing to ensure that the proposed duplexes are well designed, fit into the neighbourhood, and do not adversely impact adjacent homes.
- Review of aging-in-place features in all units and the provision of one convertible unit.
- Refinement of landscape design including retention of five existing trees and new trees to be planted on site.

The Public Hearing for the rezoning of this site was held on December 16, 2019. At the Public Hearing, the following concerns about rezoning the property were expressed by a resident of 10131 Lawson Drive:

- The level of density proposed for the subject site.
- The proposed height of the development relative to the adjacent single-family dwellings.
- The required parking and maneuvering space limiting the available space for landscaping.
- The length and height of the easternmost wall.
- The impact on Lassam Road street parking.
- Increased traffic and the potential for turning conflicts on Williams Road.

Staff worked with the applicant to address these issues in the following ways:

- The drawing package includes streetscape elevations showing the height of the proposed duplexes relative to adjacent dwellings. The maximum building height is 9.0 m or two storeys, which is equivalent to the maximum building height contained in single-family zones, including the “Single Detached (RS1/E)” zone.
- The applicant prepared a shadow study, which is provided in Attachment 2. The analysis indicates that the greatest impacts will be to the front yards of the subject site and that due to the height of the existing hedge, it casts a larger shadow than the proposed duplexes.
- Each of the proposed duplexes includes one four-bedroom unit and one three-bedroom unit, with unit sizes ranging between 117 m<sup>2</sup> (1,266 ft<sup>2</sup>) and 140 m<sup>2</sup> (1,515 ft<sup>2</sup>). These unit sizes are consistent with what is typically achieved in Arterial Road Townhouse developments.
- The applicant has confirmed that 30% of the site will be landscaped, which is in excess of the required 25% in the “Arterial Road Two-Unit Dwelling (RDA)” zone. Permeable pavers will be used for a portion of the driveway in order to improve storm water management, and account for 17% of the total site coverage.
- Additional design features have been added to the east elevation in order to break up the massing, including different coloured cladding on the first and second storeys, gabled window boxes and vertical white trim.
- The overall architectural character is the same as what was proposed at rezoning stage. Minor visual changes have been made to break up the horizontal expression of the buildings, including the addition of contrasting white trim. A second colour palette has been added to provide a distinct visual identity for each building.
- Additional details on the architectural character, aging-in-place features, and landscape design are provided in the Analysis section of this report.



**Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Arterial Road Two-Unit Dwellings (RDA)” zone.

**Advisory Design Panel Comments**

On June 17, 2020, the Advisory Design Panel supported the subject Development Permit application moving forward to the Development Permit Panel subject to the applicant giving consideration to the Panel’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference, together with the applicant’s design response in in ‘*bold italics*’ (Attachment 3).

**Analysis*****Conditions of Adjacency***

- The west side yard abuts the rear yard of two single-family dwellings. This interface includes two retained trees. A new hedge and perimeter fencing are proposed. The site grade within the critical root zone of these two trees will be maintained, and outside of the critical root zone the site grade will be raised to meet the neighbouring properties.
- The east side yard abuts the side yard of a single-family dwelling. This interface includes a new hedge and perimeter fencing. The site grade will be raised to meet the existing grade of the neighbouring property.
- The rear yard abuts the rear yard of a single-family dwelling. There is a large hedge on the neighbouring property which will be retained. The site grade will slope down to match the existing grade at the property line, to avoid construction of a retaining wall within the critical root zone of the hedge.

***Urban Design and Site Planning***

- The proposed development involves a subdivision to create two properties, each of which would contain one duplex.
- Vehicular access to the proposed development is from a shared driveway to Williams Road. The drive aisle continues along the shared property line, providing access to the parking spaces and rear duplex units. A statutory right-of-way (SRW) agreement establishing this access arrangement has been secured through the rezoning application.
- Each unit fronting Williams Road has direct access to the sidewalk, and rear units have access from the drive aisle. Contrasting pavement treatment is used to visually define a pedestrian route from the sidewalk to the rear units. These unit entries have been designed and positioned to be visible from the street, aiding wayfinding.
- Each unit has two side-by-side parking spaces in a garage, which also includes space for bicycle parking and waste bin storage. All resident parking spaces are provided with Level 2 EV charging as per Richmond Zoning Bylaw 8500.

- One visitor parking space is provided on Proposed Lot B and is to be shared by the two lots. This parking space is to be included in the shared access SRW secured through the rezoning application.
- A waste bin landing area is integrated with the site landscaping on Proposed Lot A and is intended to be used on collection days only. Each garage has sufficient space to store waste bins on non-collection days.
- A mail kiosk is located on Proposed Lot B. Both the waste bin landing and mail kiosk areas are to be shared by all four dwelling units and will be included in the shared access SRW secured through the rezoning application.

### ***Architectural Form and Character***

- The proposed development contributes to the low-rise residential character of the neighbourhood by using simple massing, pitched roofs, and craftsman-inspired details. The design includes articulation on each elevation, and the two buildings have varied massing to avoid being mirror images.
- Second storey balconies are included facing the internal drive aisle to add visual interest and animate the space.
- The proposed cladding materials include cultured stone, hardie board siding, asphalt shingles, and white trim. The material palette is consistent with the Official Community Plan (OCP) guidelines and complements the surrounding neighbourhood character.
- The colour palette is simple, in keeping with the proposed materials and massing. The base of each duplex is darker, with predominantly grey tones, while the upper stories are lighter, using either yellow or blue siding. Vertical white trim is used strategically on the longer building facades to break up the horizontal expression.

### ***Landscape Design and Open Space Design***

- Five on-site trees are proposed to be retained, including three Japanese cherry trees in the front yard of Proposed Lot B, a Douglas fir tree in the side yard of Proposed Lot A, and a Plum tree in the side yard of Proposed Lot A. Tree retention was secured through the rezoning, and a Tree Management Plan is included in the Development Permit on Plan 4. The building envelopes have been modified to avoid footings within the critical root zones, and site grade will be maintained. Installation of tree protection fencing is required prior to demolition of the existing dwelling, and arborist supervision is required for all works within the tree protection areas.
- Three on-site trees in poor condition and one on-site tree in conflict with the driveway were approved for removal through the rezoning. Five new trees are proposed and include a mix of coniferous and deciduous species. A \$2,500 contribution to the City's Tree Compensation Fund in lieu of the remaining replacement trees was secured through the rezoning.
- The proposal includes private outdoor space for each unit consistent with the Official Community Plan (OCP) requirements. The outdoor space for each unit includes both soft and hard landscape elements.
- The drive aisle and auto court are paved with a combination of permeable pavers and concrete. Permeable pavers are used in the centre of the drive aisle, auto court, and the visitor parking space to manage storm water runoff. The edges of the drive aisle are concrete, which provides structure for the paver system and clearly marks likely pedestrian circulation routes. The concrete has the additional benefit of providing a smooth surface for wheelchair users.

- A small planted area is provided between the garages on Proposed Lot A, and additional planting is provided at the end of the drive aisle on both proposed lots.
- Landscaping is provided between the waste bin landing area and walkway to Unit 1 to break up the hard surfaces and provide some screening.
- Irrigation is provided for all planted areas.
- To ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Security in the amount of \$39,473.94 prior to issuance of the Development Permit.

### ***Crime Prevention Through Environmental Design***

- Low fencing and landscaping are provided in the front yard to distinguish public and private space while allowing for casual surveillance of the sidewalk.
- New 1.8 m (6 ft.) fencing and Cedar hedges are proposed around the perimeter of the site to provide privacy and separation. The proposed fence will also screen headlight glare from the visitor parking stall.
- Each of the rear units has a covered entry, which provides weather protection and clearly identifies the unit entrance.

### ***Sustainability***

- The proposed development is required to achieve Step 1 of the BC Energy Step Code, however the applicant has indicated that they intend to achieve Step 3. This higher building sustainability target is voluntary, and was not secured in the rezoning. The proposed measures to achieve this target include improved air tightness, LED lighting, and heat recovery ventilator (HRV) heating and cooling systems for all units.

### ***Accessible Housing***

- Concrete is used along the perimeter of each drive aisle to visually indicate areas of pedestrian circulation. The concrete provides a level surface for the comfort and safety of individuals using mobility aids such as wheelchairs or scooters, as well as those pushing a stroller.
- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair (Unit 4). The potential conversion of this unit would require installation of a stairway lift. This unit includes both a ramp and step at the main entry for wheelchair accessibility.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
  - Space for installation of a ramp to access the doorstep of Unit 3.

**Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Jordan Rockerbie  
Planner 1  
(604-276-4092)

JR:blg

**Attachments:**

Attachment 1: Development Application Data Sheet

Attachment 2: Shadow Study Diagram

Attachment 3: Excerpt from the Draft Minutes of the Advisory Design Panel

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit or cash security for landscaping in the amount of \$39,473.94, based on the cost estimate provided by the landscape designer and inclusive of a 10% contingency.

Prior to a Demolition Permit issuance, the developer is required to complete the following:

- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

At Subdivision stage, the developer must complete the following requirements:

- Payment of the current year's taxes, Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fees.
- Enter into a Servicing Agreement for the design and construction of frontage and servicing works. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.





DP 20-890821

Attachment 1

Address: 5500 Williams Road

Applicant: Vivid Green Architecture Inc.

Owner: Systemos Development Ltd.

Planning Area(s): Steveston

	Existing	Proposed
Site Area:	940 m <sup>2</sup>	Lot A: 474 m <sup>2</sup> Lot B: 466 m <sup>2</sup>
Land Uses:	Single-family dwelling	Two-unit dwellings
OCP Designation:	Neighbourhood Residential	No change
Area Plan Designation:	Single Detached/Duplex/Triplex	No change
Zoning:	Single Detached (RS1E)	Arterial Road Two-Unit Dwellings (RDA)
Number of Units:	One single-family dwelling	Four units in two duplexes

Proposed Lot A	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (284.4 m <sup>2</sup> )	0.58 FAR (275.8 m <sup>2</sup> )	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: 42% Non-porous surfaces: 49% Landscaping: 32%	None
Setback – Front Yard (North):	Min. 6.0 m	6.0 m	None
Setback – Side Yard (West):	Min. 1.2 m	1.2 m	None
Setback – Side Yard (East):	Min. 1.2 m	1.25 m	None
Setback – Rear Yard (South):	Min. 6.0 m	6.0 m	None
Height (m):	Max. 9.0 m	9.0 m	None
Lot Size:	Min. 464.5 m <sup>2</sup>	474 m <sup>2</sup>	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0.2(V) per unit	2(R) and 0.25(V) per unit*	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)*	None

\* One visitor parking space is shared among all four units on Proposed Lots A and B, which is permitted in the "Arterial Road Two-Unit Dwellings (RDA)" zone

Proposed Lot B	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (279.6 m <sup>2</sup> )	0.54 FAR (253.5 m <sup>2</sup> )	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	None
Setback – Front Yard (North):	Min. 6.0 m	6.0 m	None
Setback – Side Yard (West):	Min. 1.2 m	1.25 m	None
Setback – Side Yard (East):	Min. 1.2 m	1.2 m	None
Setback – Rear Yard (South):	Min. 6.0 m	6.0 m	None
Height (m):	Max. 9.0 m	9.0 m	None
Lot Size:	Min. 464.5 m <sup>2</sup>	466 m <sup>2</sup>	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0.2(V) per unit	2(R) and 0.25(V) per unit*	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)*	None
* One visitor parking space is shared among all four units on Proposed Lots A and B, which is permitted in the “Arterial Road Two-Unit Dwellings (RDA)” zone			



Figure 8- Hedge



OF HEDGE FROM  
ST REPORT



④ Site Plan March. 21 - 10 am  
1" = 40'-0"



⑤ Site Plan March. 21 - 12 pm  
1" = 40'-0"



⑥ Site Plan March. 21 - 4 pm  
1" = 40'-0"



⑦ Site Plan June 21 - 10 am  
1" = 40'-0"



⑧ Site Plan June 21 - 12 pm  
1" = 40'-0"



⑨ Site Plan June 21 - 4 pm  
1" = 40'-0"



② Site Plan Sept. 21 - 10 am  
1" = 40'-0"



③ Site Plan Sept. 21 - 12 pm  
1" = 40'-0"



⑩ Site Plan Sept. 21 - 4 pm  
1" = 40'-0"

6	Nov. 2017
REV	TY-M
PROJECT	DUPLI DRIVE 3500 W BC
ARCHITECT	Shade
DESIGNED	
DRAWN	
SCALE	
DATE	
PROJECT	17

**Annotated Excerpt from the Draft Minutes from  
Advisory Design Panel Meeting**

**Wednesday, June 17, 2020 – 4:00 p.m.**

**DP 20-890821 – TWO ARTERIAL ROAD DUPLEXES**

ARCHITECT: Vivid Green Architecture Inc.

LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.

PROPERTY LOCATION: 5500 Williams Road

**Applicant's Presentation**

Architect Rosa Salcido, Vivid Green Architecture, and Landscape Designer Denitsa Dimitrova, PMG Landscape Architects Ltd., presented the project and answered queries from the Panel.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the provision of a convertible unit in the project; consider installing pocket doors for all washrooms, closets, and powder room in the convertible unit to make them more accessible for a resident or visitor in a wheelchair;

***Pocket doors proposed for HC accessible washrooms. Please refer to page A105, unit 4.***

- a chair lift does not provide safety and independence for people using walkers and those in a wheelchair; consider providing adequate space for future installation of a vertical lift;

***Place for the future lift installation is proposed beside the stairs (page A105, unit 4).***

- appreciate the informative package provided to the Panel;
- the design of the project is coherent; the two buildings read as one project with some variations;
- consider installing larger windows for the living and dining areas on the ground floor to allow more natural light into these areas;

***Size of all windows on main floor is increased.***

- the project is well done;



- the design of the project is successful; appreciate how the two buildings are differentiated by changing colours but using the same materials; appreciate the “playfulness” in the Williams Road elevation of the two buildings which appear symmetrical but actually have slight variations; also appreciate the slight variations on the floor plan layouts;
- the scale of the project is appropriate and fits well with its single-family dwelling neighbourhood;
- appreciate the presentation of the project and the comprehensive package provided to the Panel;
- the project is on the right track in terms of sustainability; appreciate the applicant raising the bar on sustainability and for targeting BC Step Code 3 which exceed the minimum requirement;
- appreciate the applicant’s presentation of the project;
- coordination between the building architecture and landscaping is noted; however, the proposed materials for the entry columns and gates and the overall character of the buildings could have been better matched and coordinated; consider incorporating more details to make them more compatible;

***Craftsman style details are added to the columns beside the entry, material on the main level of the model is replaced to match the material board.***

- the proposed plant palette is strong; however, the rear yards could be challenging due to the large hedge on the neighbouring property to the south;
- applicant needs to provide more information regarding the center strip of the internal drive aisle which currently reads as concrete; consider a permeable paving treatment for the centre strip and concrete paving for the outside edge to help frame and provide a rigid structure for the permeable pavers in the middle and better manage water runoff and on-site drainage;

***The materials for the driveway are modified – the perimeter is concrete and the center portion is permeable pavers.***

- the proposed building typology is successful;
- living room windows which front the street need more design development;

***All windows replaced by craftsman style windows with mullions and transom.***

- consider installing a landscaping hedge for the garbage collection area; and
- consider installing soft landscaping along the edges of the internal drive aisle, where the walls of the buildings meet the pavers.

***For both items please refer to Landscape drawings.***

*The following comments of Panel member Chris Lee were read into the record by Sara Badyal:*

- overall, the proposal is clear; the choice of building and planting materials is appropriate; there are some discrepancies between the architectural site plan (drawingg.A102) and landscape plan (drawing L1) at the entry to the site; the proposed "Garbage Placement Area on Collection Day" is not shown on the landscape plan.

*The landscape and architectural plans are edited to match each other.*

#### **Panel Decision**

It was moved and seconded

*That DP 20-890821 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**



# City of Richmond

## Development Permit

**No. DP 20-890821**

To the Holder: VIVID GREEN ARCHITECTURE INC.

Property Address: 5500 WILLIAMS ROAD

Address: C/O 1141 - 11871 HORSESHOE WAY  
RICHMOND, BC V7A 5H5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #10 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$39,473.94 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.



# Development Permit

No. DP 20-890821

To the Holder: VIVID GREEN ARCHITECTURE INC.

Property Address: 5500 WILLIAMS ROAD

Address: C/O 1141 - 11871 HORSESHOE WAY  
RICHMOND, BC V7A 5H5

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

---

MAYOR





# DEVELOPMENT OF PROPERTY

## 5500 Williams Rd.

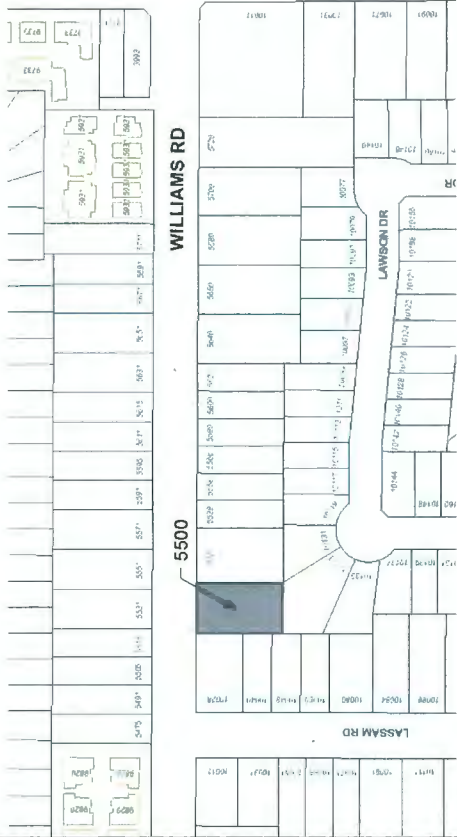
### ZONING

ARTERIAL ROAD TWO-UNIT DWELLING (RDA)  
FOR 2 DUPLEXES WITH SHARED DRIVEWAY

### LEGAL DESCRIPTION

96 SEC 36BLK4N RG7W PL NWP31420 Except Plan 55424

ZONING REQUIREMENTS				
	REQUIRED/PERMITTED	PROPOSED Lot A	PROPOSED Lot B	TOTAL
1 LOT SIZE	939.5 sm (10112.69 sf)	474 m <sup>2</sup>	466 m <sup>2</sup>	
2 LOT WIDTH	10.35 m (min)	11.8 m (38.7 Ft)	11.8 m (38.7 Ft)	
3 LOT DEPTH	24.0 m (min)	39.69 m (130.2 Ft)	39.69 m (130.2 Ft)	
4 FAR	0.6	0.6	0.6	
5 GFA	0.6x939.5=563.7 m <sup>2</sup> (6057.61 Ft <sup>2</sup> )	275.8 m <sup>2</sup> (2968.7 Ft <sup>2</sup> )	253.5 m <sup>2</sup> (2700.7 Ft <sup>2</sup> )	530.5 m <sup>2</sup> (5710.3 Ft <sup>2</sup> )
6 LOT COVERAGE	0.45x939.5=422.77 m <sup>2</sup> (4550.65 Ft <sup>2</sup> )	200.8 m <sup>2</sup> (2161 Ft <sup>2</sup> )	179 m <sup>2</sup> (1931 Ft <sup>2</sup> )	379.8 m <sup>2</sup> (4088 Ft <sup>2</sup> )
7 FRONT YARD SETBACK	6 m	6 m	6 m	6 m
8 SIDE YARD SETBACK	1.2 m	1.2 m	1.2 m	1.2 m
9 REAR YARD SETBACK	6 m	6 m	6 m	6 m
10 BUILDING HEIGHT	2 STOREYS	2 STOREYS	2 STOREYS	2 STOREYS



FINISHED AVERAGE GRADE CALCULATIONS  
FOR UNITS 1,4

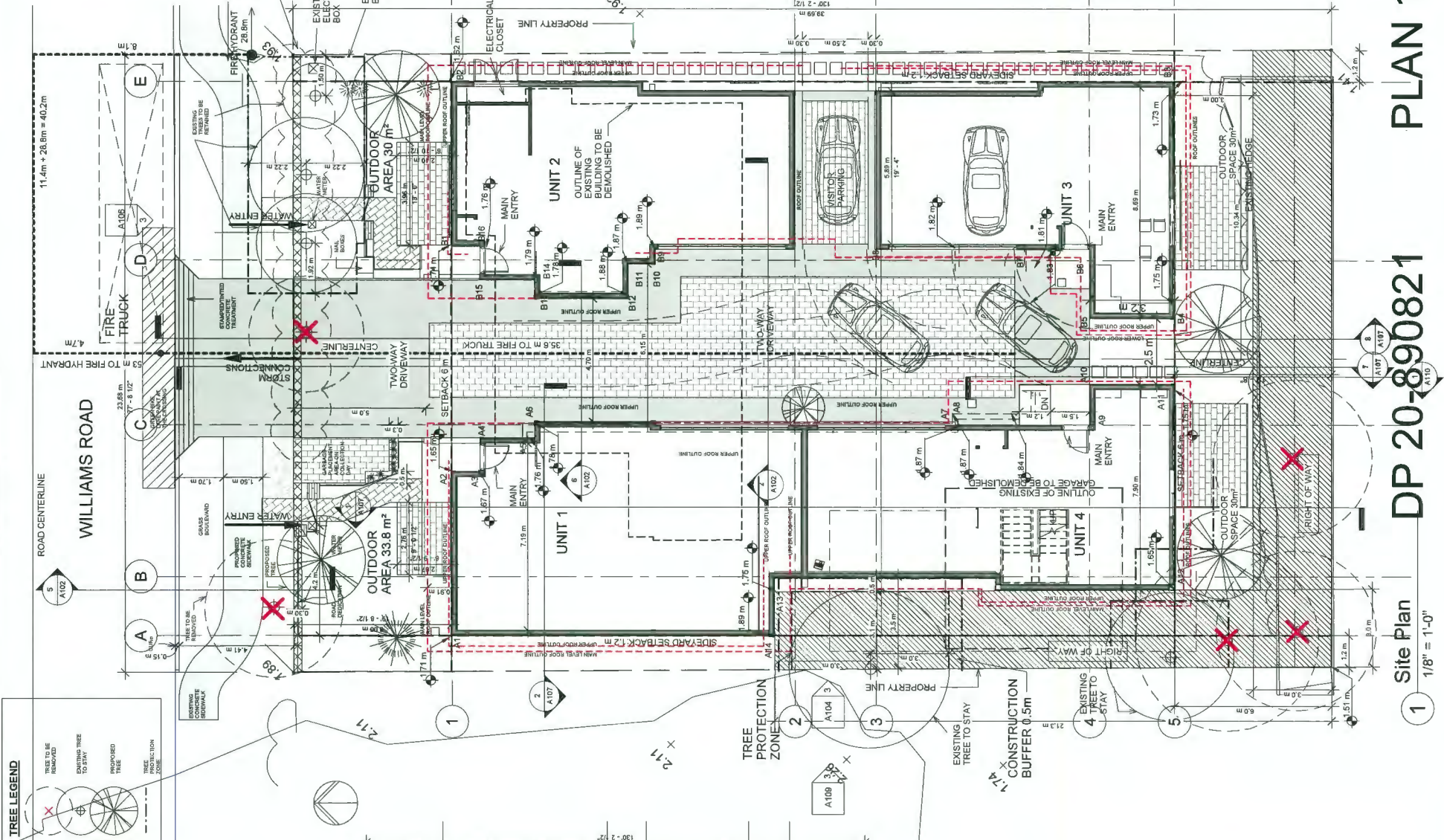
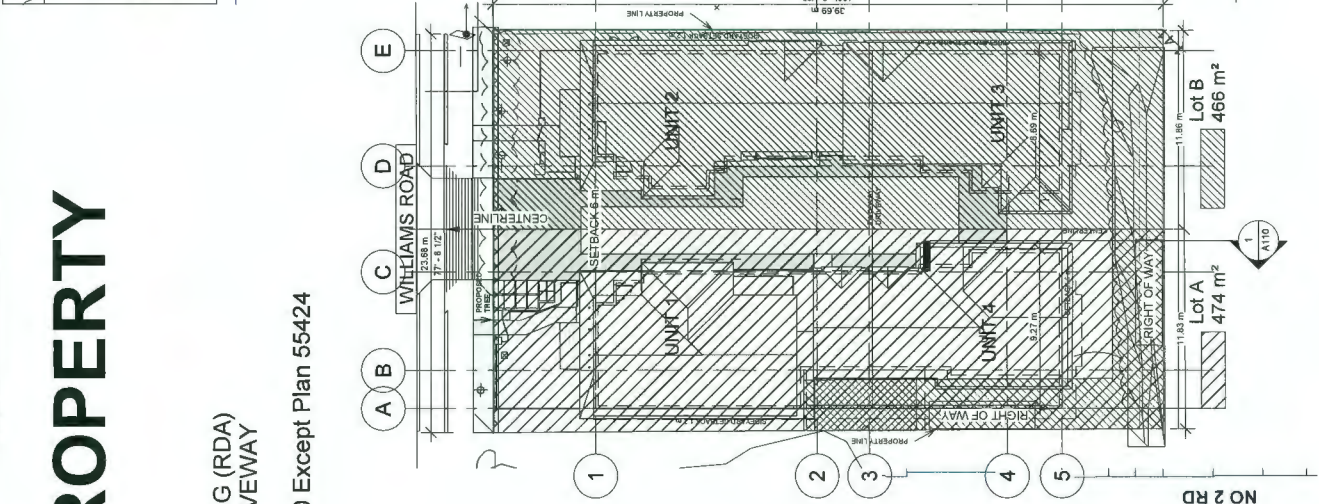
	ELEV	DISTANCE	AVER. HEIGHT
A1-A2	1.71	6.29	10.57
A2-A3	1.65	1.67	1.81
A3-A4	1.67	1.71	1.3
A4-A5	1.71	1.76	3.64
A5-A6	1.76	1.78	1.03
A6-A7	1.78	1.87	15.96
A7-A8	1.87	0.38	29.13
A8-A9	1.87	2.99	5.53
A9-A10	1.83	1.13	2.07
A10-A11	1.83	5.5	9.85
A11-A12	1.75	7.9	13.43
A12-A13	1.65	15.31	26.10
A13-A14	1.76	1.77	3.23
A14-A1	1.89	12.36	22.25
Total		74.66	131.54
			1.76

FINISHED AVERAGE GRADE CALCULATIONS  
FOR UNITS 2,3

	ELEV	DISTANCE	AVER. HEIGHT
B1-B2	1.71	6.33	10.54
B2-B3	1.62	27.64	46.44
B3-B4	1.74	8.5	14.83
B4-B5	1.75	5.5	9.85
B5-B6	1.83	1.2	2.18
B6-B7	1.81	2.9	5.31
B7-B8	1.85	0.89	1.63
B8-B9	1.82	11.46	21.26
B9-B10	1.89	1.9	1.65
B10-B11	1.9	1	1.89
B11-B12	1.87	0.96	1.80
B12-B13	1.88	3.57	6.48
B13-B14	1.75	0.6	1.06
B14-B15	1.79	2.1	3.70
B15-B16	1.73	1.3	2.25
B16-B1	1.73	1	1.72
Total		75.82	132.57
			1.75

Site Plan Subdivision

1 : 200



PLAN 1

DP 20-890821

Site Plan

1/8" = 1'-0"



114-11871 Horseshoe Way,  
Richmond, BC V7A 5J5  
tel: 778.388.4894  
www.VividGreenArchitecture.com

REVIEW/  
SEEN BY  
ARCH  
STRUCT  
MECH  
ELECT  
CML

REV	TY	MM-DD	ISSUE DESCRIPTION	DRAWN	REVIEWED
6	Nov.	21, 2019	Revision 6	RS	OP
5	Aug	18/2019	Revision 5	RS	OP
4	July	23, 2019	Revision 4	RS	OP
3	March	27, 2019	Revision 3	RS	OP
2	Feb.	11, 2019	Revision 2	RS	OP
1	July	10, 2018	Revision 1	RS	OP

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### PROJECT

DUPLEXES WITH SHARED DRIVEWAY

5500 Williams Road, Richmond, BC

### ARCHITECTURAL

### Project Data

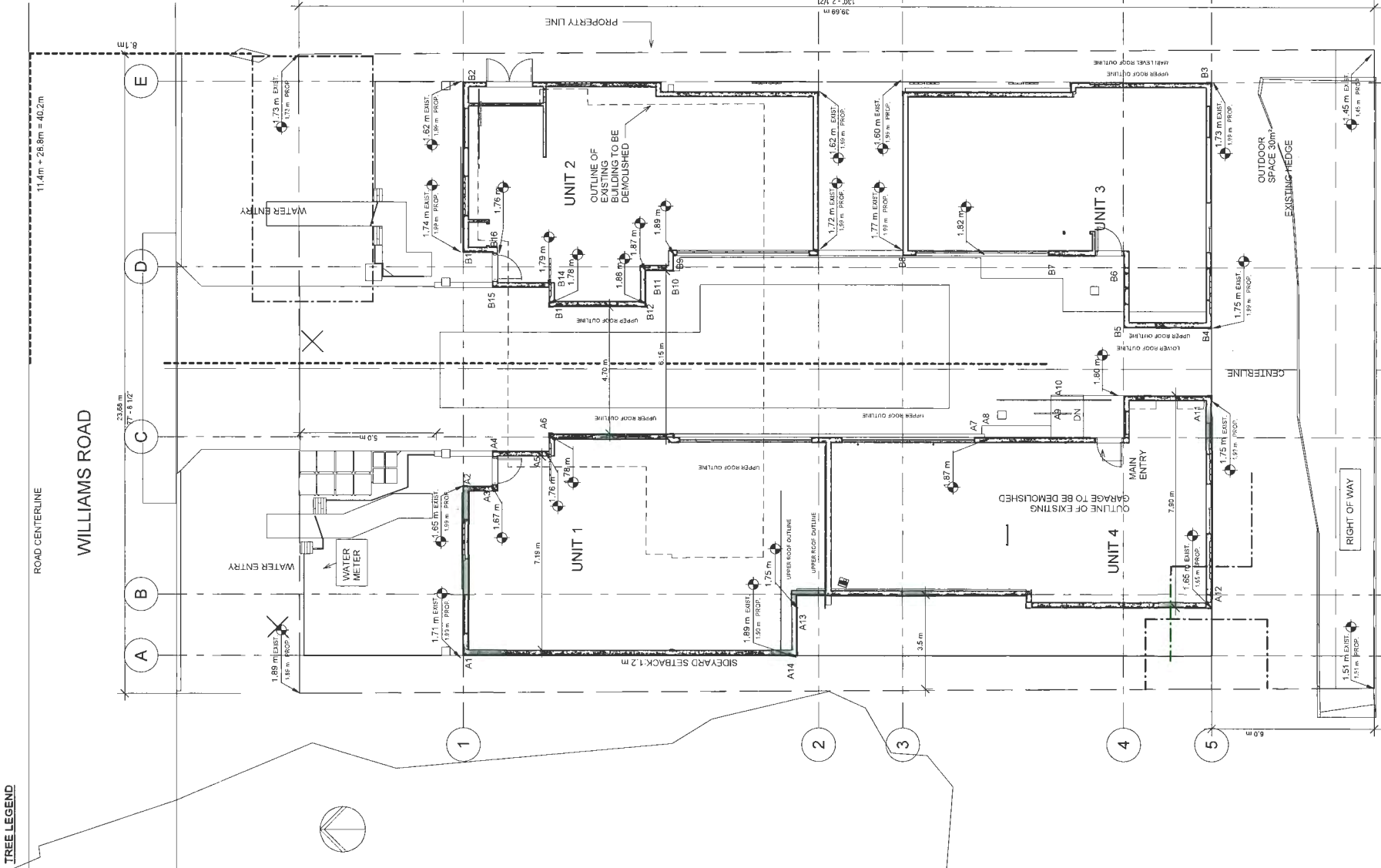
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DATE	10/23/17	

PROJECT NO.	1742WPK	DRAWING NO.	A101	REV
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THIS REVISION SUPERSEDES ALL PREVIOUS REVISION LETTER



TREE LEGEND



1 Grading Plan  
1/8" = 1'-0"

DP 20-890821

PLAN 2



1141-11871 Horseshoe Way,  
Richmond, BC V7A 5H5  
Tel. 778.388.4804  
www.VividGreenArchitecture.com

ARCHITECTURE INC.

REVISION/

ARCH

STRUCT

MECH

ELECT

CML

REV	YT-MM-DD	ISSUE DESCRIPTION	DRAWN	REVIEWED
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PROJECT

DUPLEXES WITH SHARED DRIVEWAY

5500 Williams Road, Richmond, BC

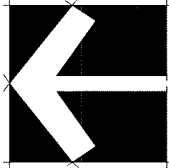
ARCHITECTURAL

Grading Plan

DESIGNED	Designer	SEAL
DRAWN	Author	
SCALE	1/8" = 1'-0"	
DATE	10/18/19	

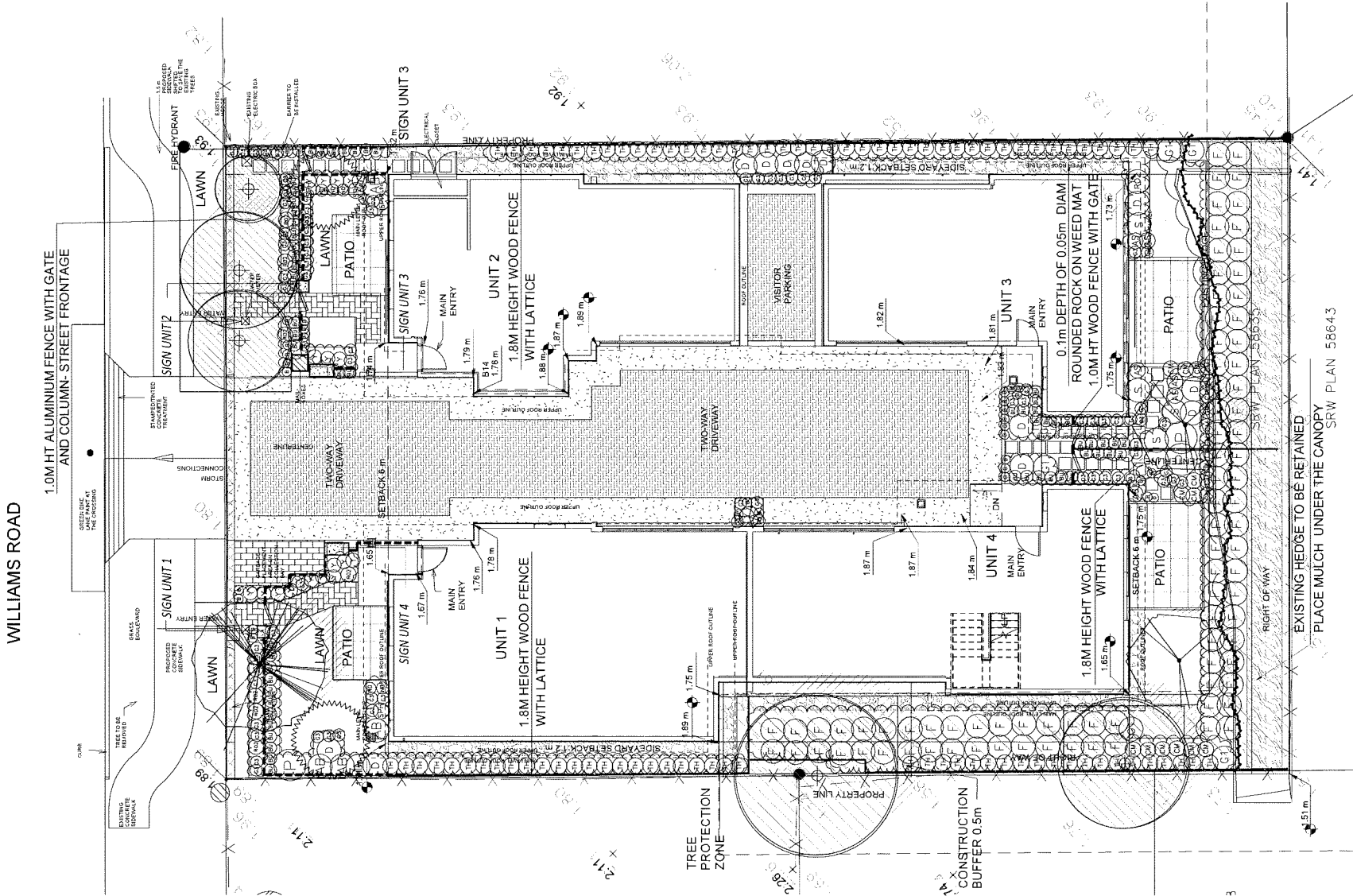
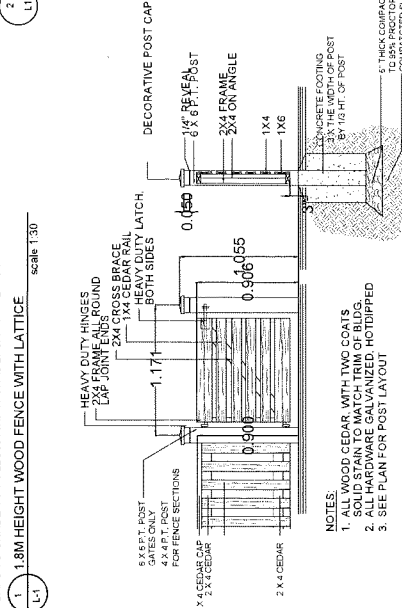
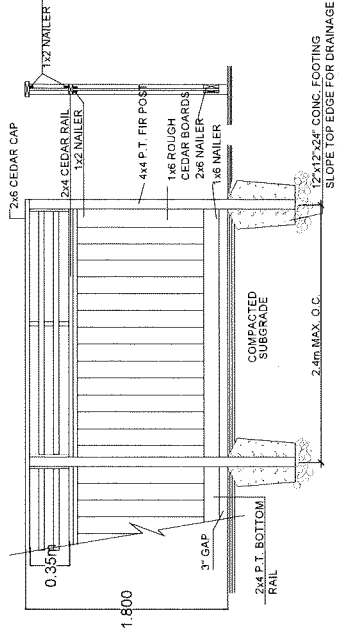
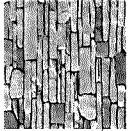
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THIS REVISION SUPERSEDES ALL PREVIOUS REVISION LETTERS

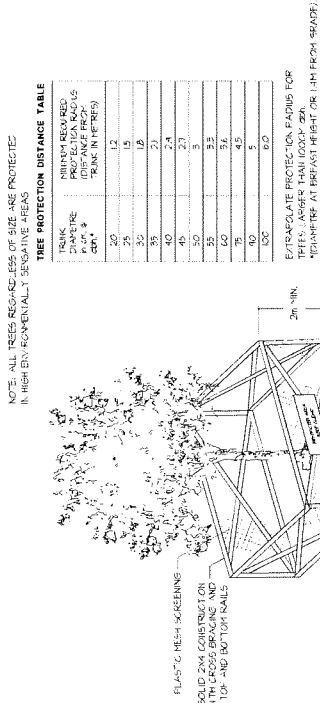
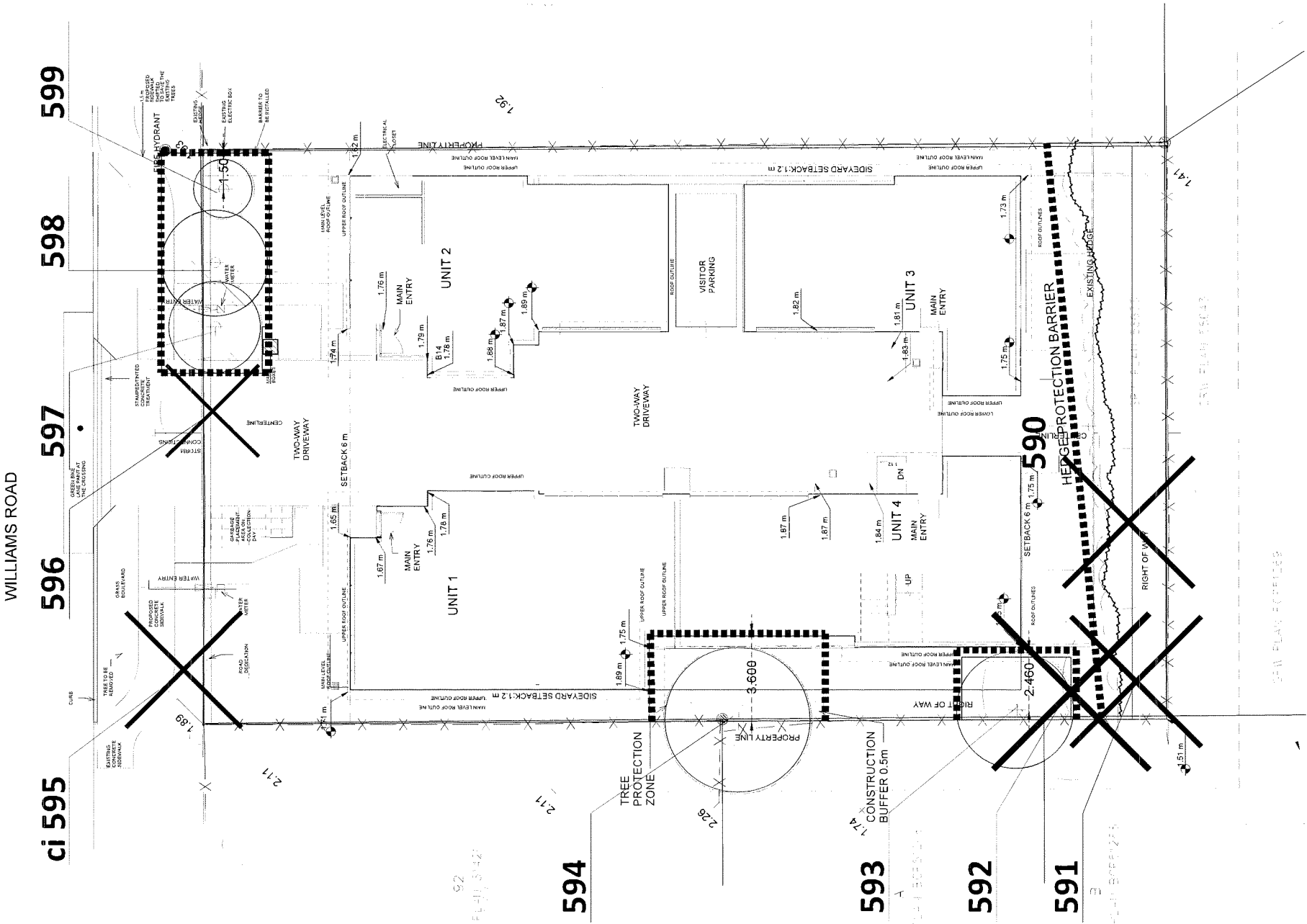
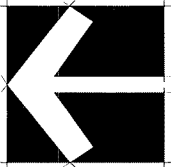


PLANT SCHEDULE			COMMON NAME		PLANTED SIZE/REMARKS	
PLANT CODE	SYMBOL	SYMBOL/TREE NAME	COMMON NAME	PLANTED SIZE/REMARKS		
1		FAJUS SYLVATICA DAWYCK PURPLE	DAWKY PURPLE BEECH	6CM CAL. 2M STD. B&B		
2		MAGNOLIA KORUS STELLATA	STAR MAGNOLIA	6CM CAL. 2M STD. B&B		
3		PICEA OMORICA BRUNTS	PRINCE SERBIA SPRUCE	3.5M HT. 1.5M		
4		BEUKA EDWARD GOUCHAR	EDWARD GOUCHAR ABELIA	#2 POT. 40CM		
5		BILKA MACROPHYLLA WINTER GEM	LITTLE LEAF BOX	#3 POT. 40CM		
6		EUNOMYAS JAPONICA AUROCH-MARGINATUS	GOLDEN EUNOMYAS	#2 POT. 30CM		
7		ALEX SXY PENCIL	SKY PENCIL HOLLY	#3 POT		
8		ROSA JAPONICA VALLEY ROSE	SCARLET MEDLAND ROSE	#3 POT. 50CM		
9		PIERIS SCARLET MEDLAND	PIERIS	#2 POT. 40CM		
10		TAJUS X MEDIA HICKSII	HICKS TAY	80CM TRN. 1.5M B&B		
11		DAVIDS VIBURNUM	DAVIDS VIBURNUM	#2 POT. 30CM		
12		MORNING LIGHT JAP SILVER GRASS	MORNING LIGHT JAP SILVER GRASS	#2 POT		
13		DWARF FOUNTAIN GRASS	DWARF FOUNTAIN GRASS	#1 POT. HEAVY		
14		ETNA FALSE SPRAEAL (RED)	ETNA FALSE SPRAEAL (RED)	#3 POT. 1.5YE OR LARGER		
15		HEARTLEAF BERGEMIA ROSE PINK	HEARTLEAF BERGEMIA ROSE PINK	15CM POT		
16		MOONBEAM TCKSEED	MOONBEAM TCKSEED	#1 POT		
17		HARBOR DWARF NANDINA	HARBOR DWARF NANDINA	#1 POT		
18		WESTERN SWORD FERN	WESTERN SWORD FERN	#1 POT. 25CM		

NOTES : "PLANT CODES, TREE HT. ARE SPECIFIED ACCORDING TO THE LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANADA STANDARD. POT PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIMAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY



SEAL:



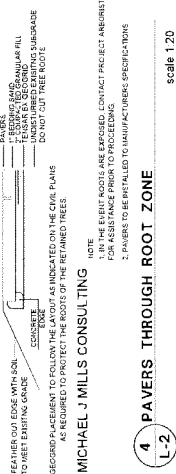
TREE PROTECTION DISTANCE TABLE	
TRUNK DIAMETER (CM)	PROTECTION RADIUS (M)
20	1.2
30	1.8
40	2.4
50	3.0
60	3.6
75	4.5
90	5.4
100	6.0

TREE PROTECTION BARRIER

Summary

Tag	Species	DBH (cm)	TPZ (m)
590	<i>Prunus domestica</i>	16	n/a
591	<i>Prunus domestica</i>	16	n/a
592	<i>Prunus domestica</i>	21	n/a
593	<i>Prunus domestica</i>	41	2.46
594	<i>Pseudotsuga menziesii</i>	51	3.06
ci595	<i>Thuja plicata</i> 'Excelsa'	44	2.64
596	<i>Prunus serrulata</i>	24	1.44
597	<i>Prunus serrulata</i>	32	1.92
598	<i>Prunus serrulata</i>	37	2.22
599	<i>Prunus serrulata</i>	21	1.5
Note			

Trees #590-592 are dead.



4 PAVERS THROUGH ROOT ZONE

scale 1:20

PROJECT:

4 UNIT DEVELOPMENT

5500 WILLIAMS ROAD  
RICHMOND

DRAWING TITLE:

TREE MANAGEMENT  
PLAN

DATE: May 02, 2018  
SCALE: 1:100  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM

DRAWING NUMBER:

L2

OF 3

PMG PROJECT NUMBER: 18-077

DP 20-890821

PLAN 4

18077-6-ZIP



NO.	DATE	REVISION DESCRIPTION	DR
1	15 APR 03	NEW SITE PLAN	DD
2	19 AUG 26	NEW SITE PLAN/CITY COMMENTS	DD
3	19 AUG 28	REVISION AS PER CITY REQUEST	DD
4	20 APR 06	REVISION AS PER CITY COMMENTS	DD
5	20 JUN 25	NEW SITE PLAN/CITY COMMENTS	DD

NO.	DATE	REVISION DESCRIPTION	DR
CLIENT:			

**PROJECT:**

## 4 UNIT DEVELOPMENT

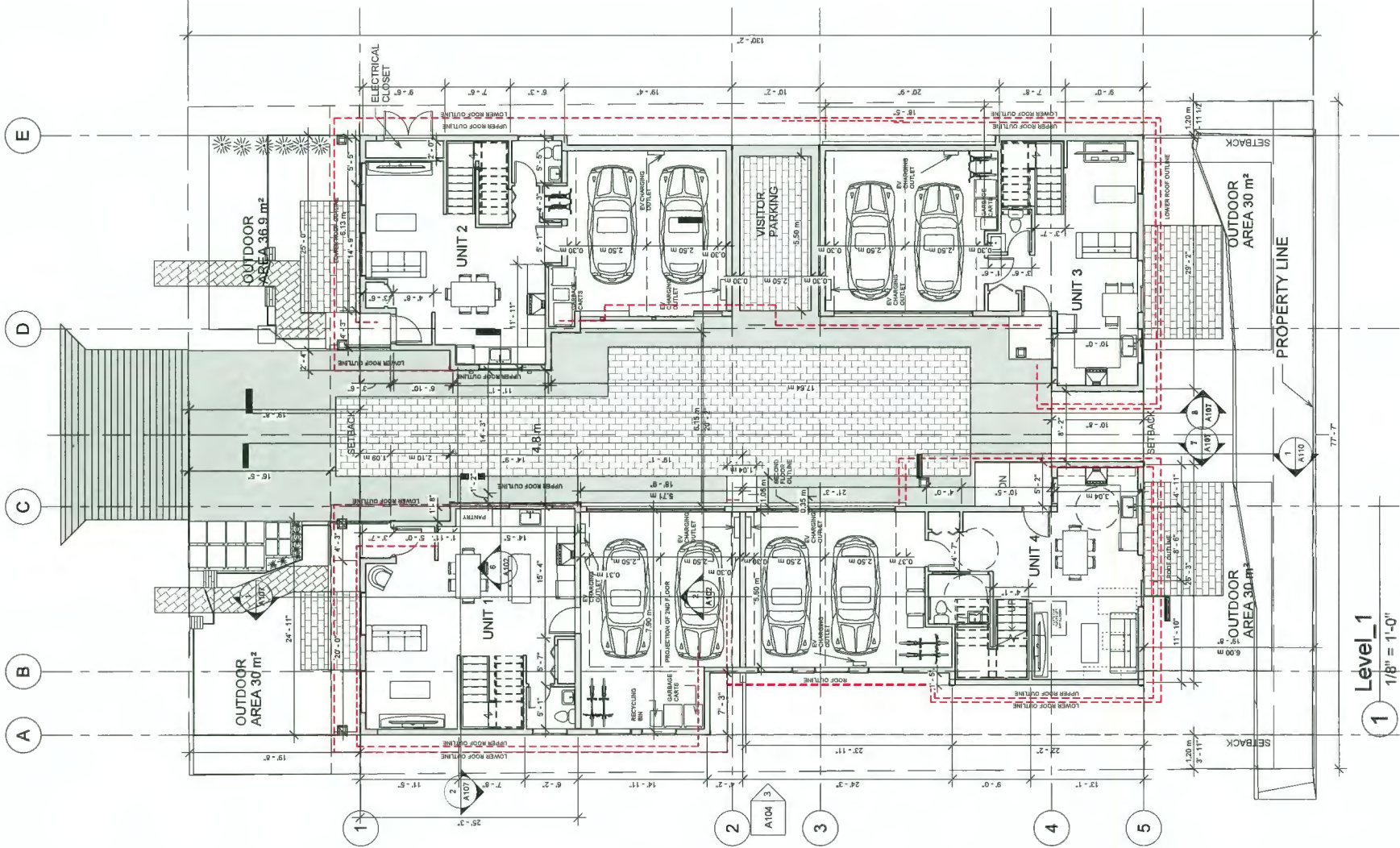
5500 WILLIAMS ROAD  
RICHMOND

DRAWING TITLE:

# LOT COVERAGE PLAN

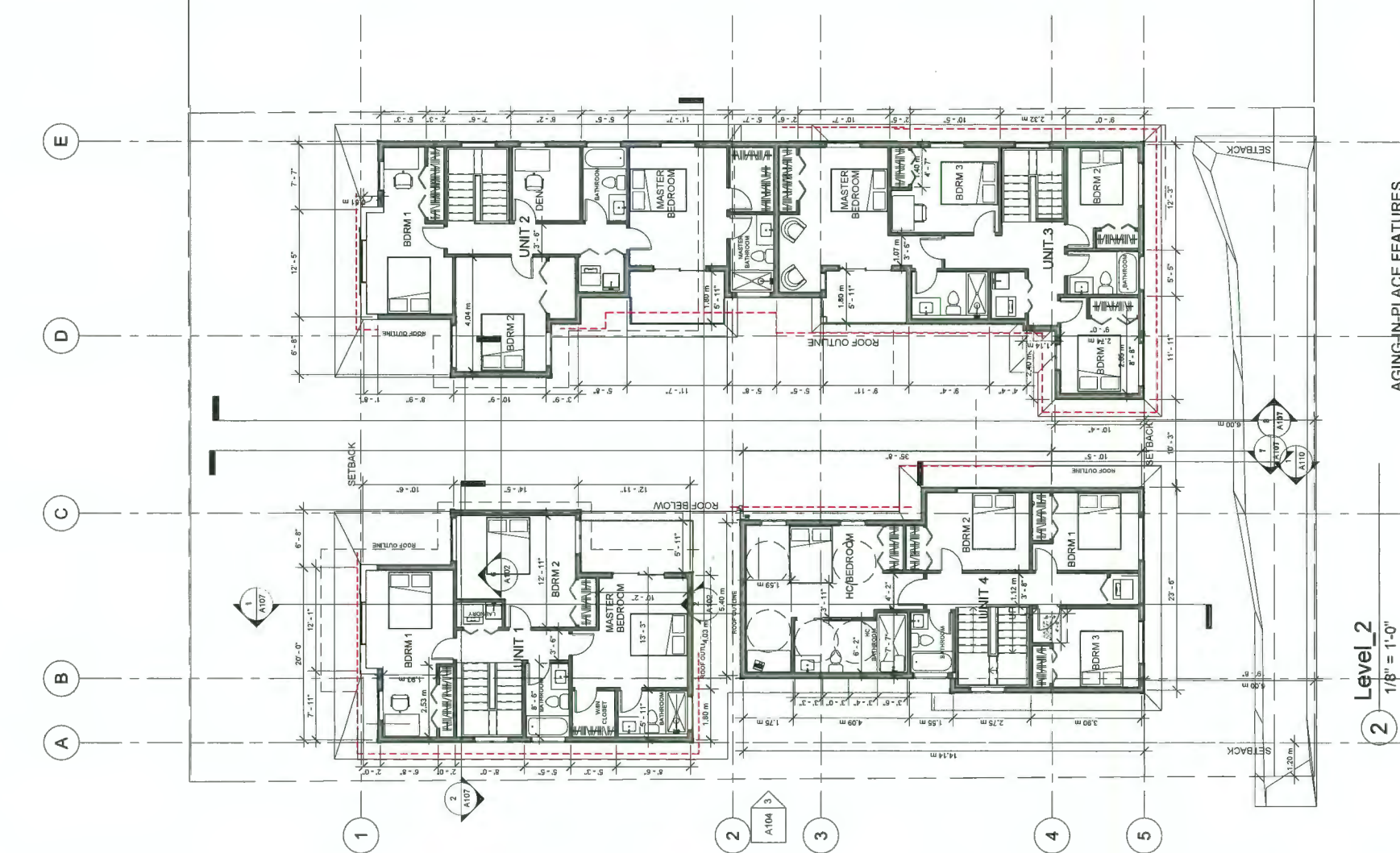
DATE: May 02, 2018  
DRAWING NUMBER:  
SCALE: 1:100  
DRAWN DD  
DESIGN DD  
CHKD: PCM  
OF 3

PMG PROJECT NUMBER: 18-077



Level 1  
1/8" = 1'-0"

- HC ACCESSIBLE UNIT 4
- DOORS TO HC ACCESSIBLE SPACES TO BE 36" CLEAR;
  - LEVER STYLE DOOR HANDLES;
  - HAND HELD SHOWER HEAD;
  - KITCHEN COUNTER 2'-8" HIGH;
  - HC TOILET 18" HIGH;
  - GRAB BAR BESIDE THE TOILET.



Level 2  
1/8" = 1'-0"

- AGING-IN-PLACE FEATURES
- PROVIDE SOLID BLOCKING IN BATHROOM WALLS FOR FUTURE INSTALLATION OF GRAB-BARS BESIDE THE TOILET, BATHTUB AND SHOWER.
  - BLOCKING THE STAIR WALLS TO ACCOMMODATE LIFT INSTALLATION AT THE FUTURE DATE.
  - PROVISION OF LEVER TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES.

# PLAN 6

DP 20-890821

**VividGreen**  
architecture inc.

1141-11871 Horseshoe Way,  
Richmond, BC V7A 5H5  
Tel: 778.388.4894  
www.VividGreenArchitecture.com

REVIEW BY	ARCH
STRUCT	
MECH	
ELECT	
CML	

REV	DATE	DESCRIPTION	DRAWN	REVIEWED
4	July 23, 2019	Revision 4	RS	OP
3	March 27, 2019	Revision 3	RS	OP
2	Feb. 11, 2019	Revision 2	RS	OP
1	July 10, 2018	Revision 1	RS	OP

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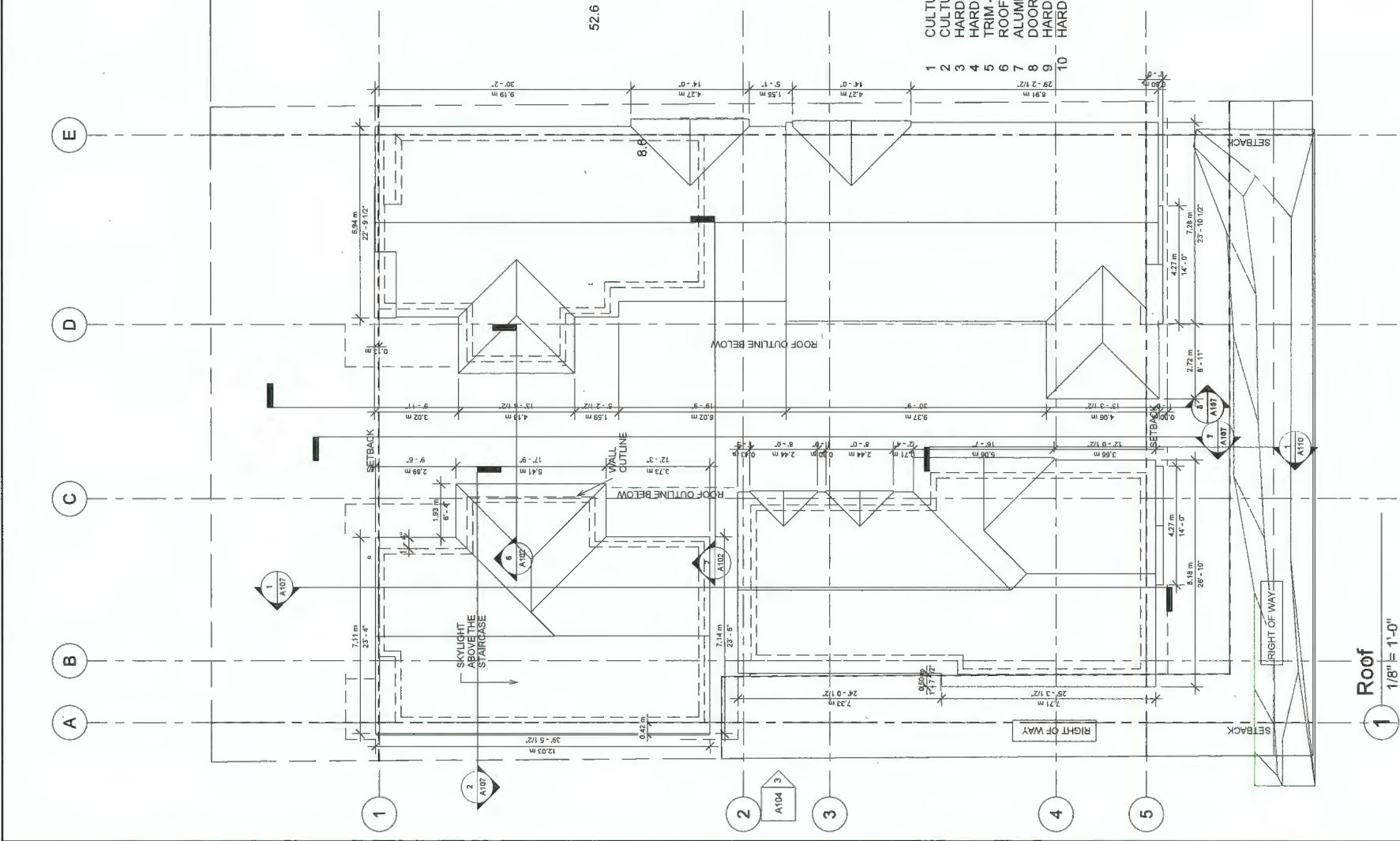
PROJECT  
**DUPLEXES WITH SHARED DRIVEWAY**  
5500 Williams Road, Richmond, BC  
ARCHITECTURAL  
**First and Second Floor Plans**

DESIGNED	RS	SEAL
DRAWN	OP	
SCALE	As Indicated	
DATE	10/23/17	

PROJECT NO. 1742WPK  
DRAWING NO. A105  
REV

THIS REVISION SUPERSEDES ALL PREVIOUS REVISION LETTERS





DP 20-890821

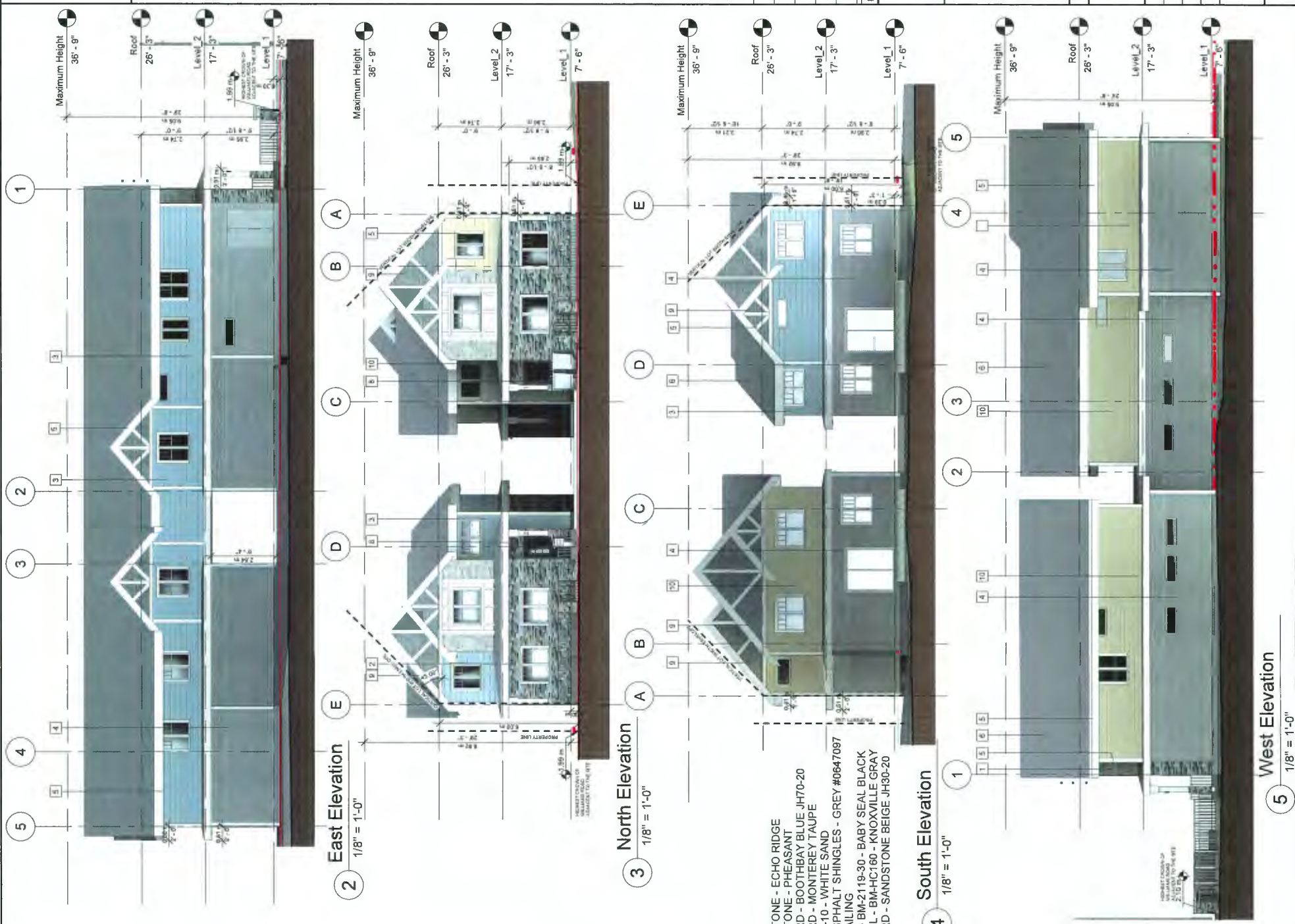
PLAN 7



**VividGreen**  
architecture inc.

1141-11871 Horseshoe Way,  
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tel: 778.388.4804  
www.VividGreenArchitecture.com

REVIEW BY  
ARCH  
STRUCT  
MECH  
ELECT  
CML



5 1/8" = 1'-0"

West Elevation

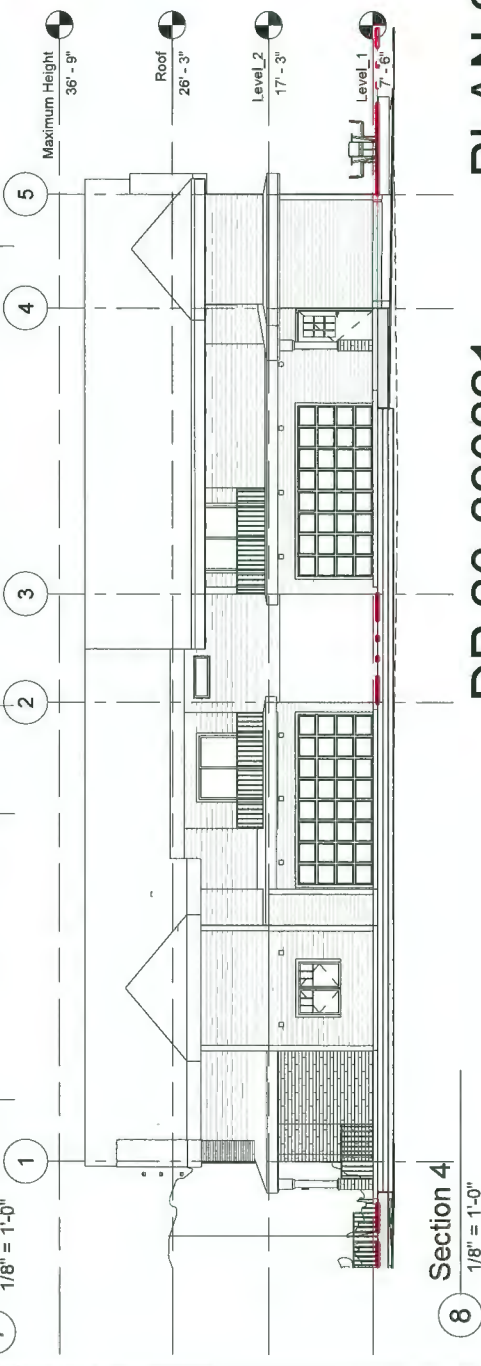
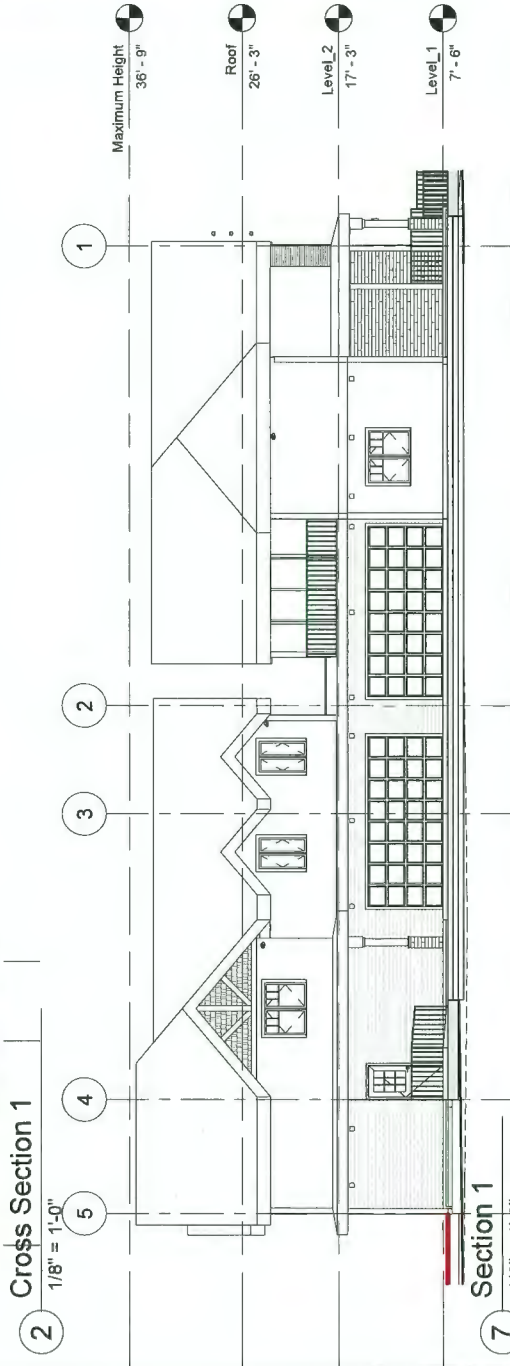
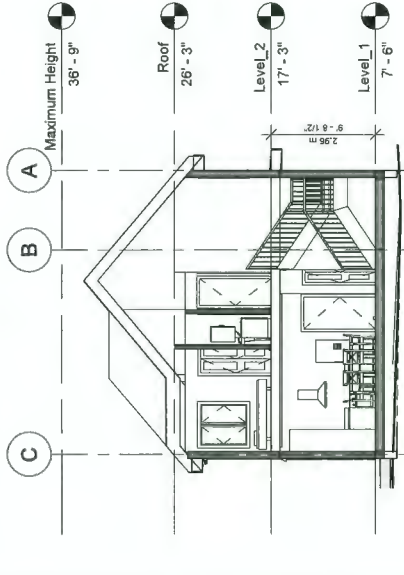
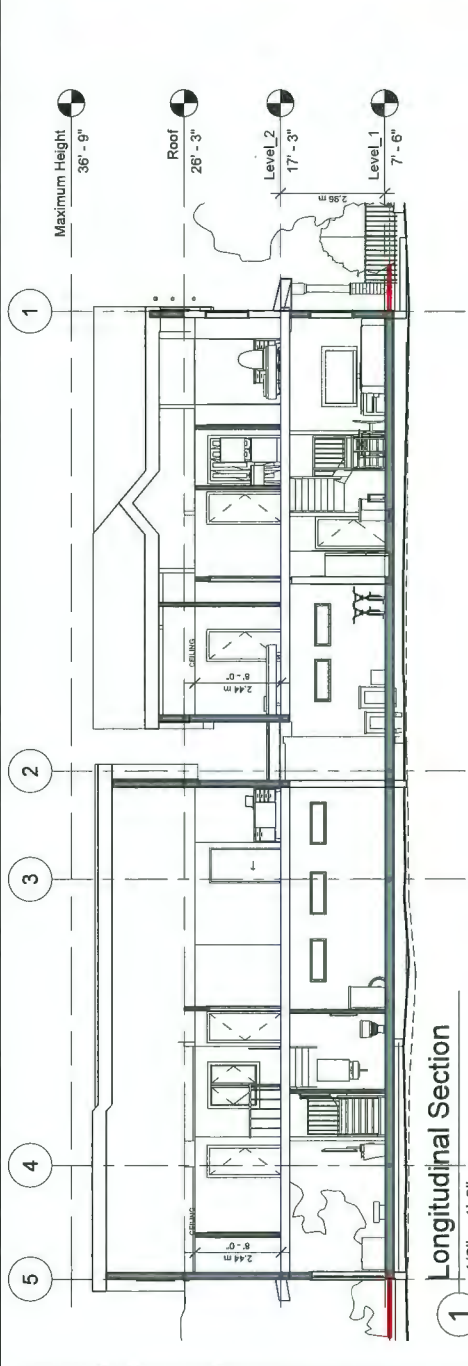
PROJECT NO.  
1742WPK

DRAWING NO.  
A106

REV  
A

THIS REVISION SUPERSEDES  
DRAWINGS BEING PREVIOUS  
REVISION LETTER





DP 20-890821

PLAN 8



1141-11871 Horseshoe Way,  
Richmond, BC V7A 5H5  
Tel: 778-389-4894  
www.vividgreenarchitecture.com

REVIEW BY ARCH STRUCT MECH ELEC CML

REV	DATE	DESCRIPTION	DRAWN	REVIEWED
4	July 23, 2019	Revision 4	RS	OP
3	March 27, 2019	Revision 3	RS	OP
2	Feb. 11, 2019	Revision 2	RS	OP
1	July 10, 2018	Revision 1	RS	OP

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PROJECT  
DUPLICES WITH SHARED DRIVEWAY  
5500 Williams Road, Richmond, BC

ARCHITECTURAL  
Sections & 3D Views

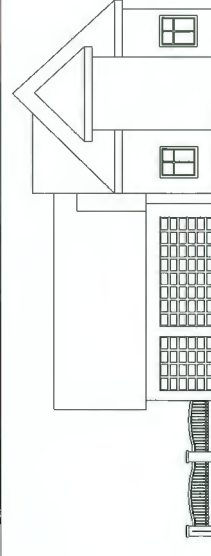
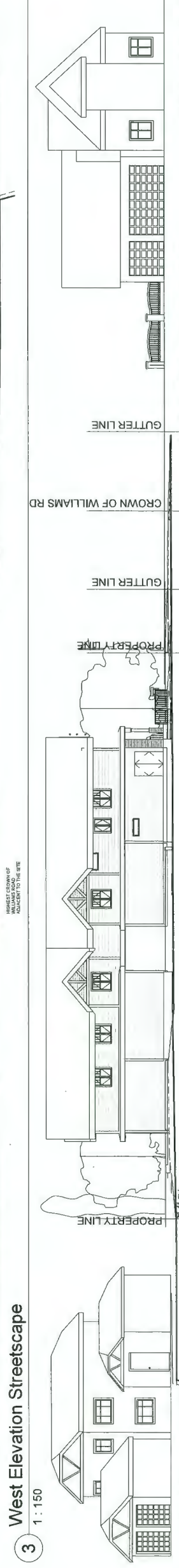
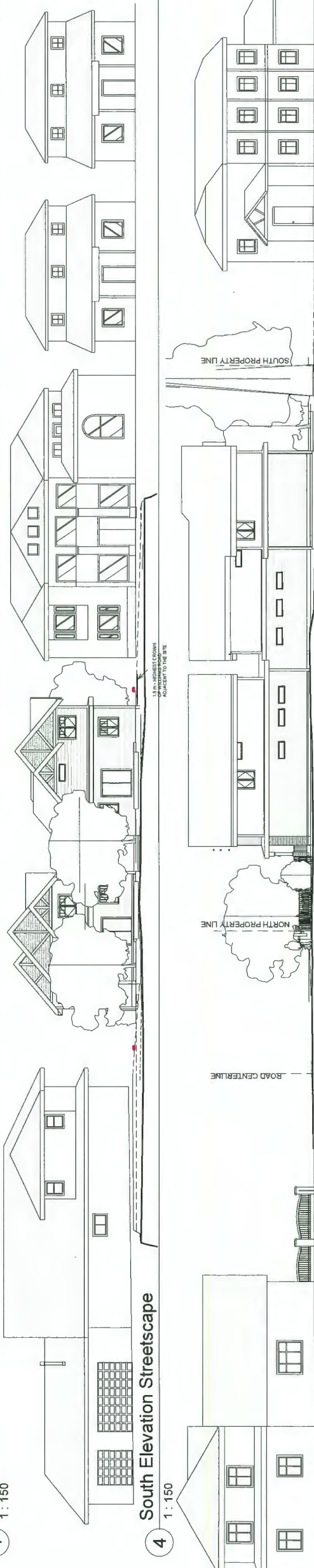
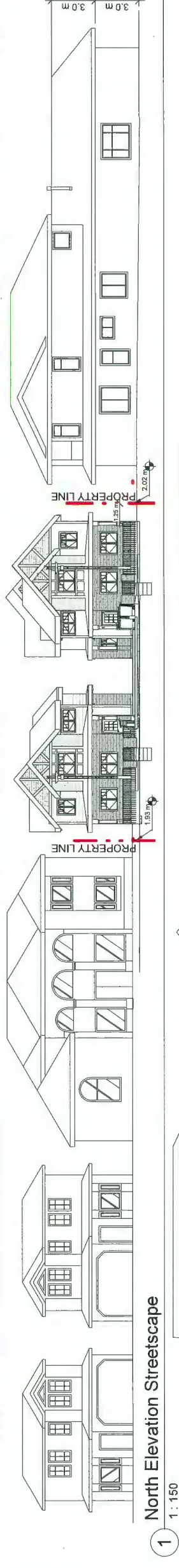
DESIGNED	RS	SEAL
DRAWN	OP	
SCALE	1/8" = 1'-0"	
DATE	10/23/17	

PROJECT NO.	1742WPK	DRAWING NO.	A107
REV			

THIS REVISION SUPERSEDES ALL PREVIOUS REVISION LETTER

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DESIGNED	Designer	SEAL
DRAWN	Author	
SCALE	1 : 150	
DATE	09/14/18	

PROJECT NO.	DRAWING NO.	REVISION
1742WPK	A109	

THIS REVISION SUPERSEDES  
DRAWINGS BEARING PREVIOUS  
REVISION LETTER

REV	YY-MM-DD	ISSUE DESCRIPTION	DRAWN	REVIEW
3	March 27, 2019	Revision 3	RS	OP
2	Feb. 11, 2019	Revision 2	RS	OP
1	July 10, 2018	Revision 1	RS	OP

REV	YY-MM-DD	ISSUE DESCRIPTION	DRAWN	REVIEW
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PROJECT  
DUPLEXES WITH SHARED  
DRIVEWAY

## West Elevation Streetscape

## East Elevation Streetscape

DP 20-890821

# PLAN 9









# City of Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** July 8, 2020

**From:** Wayne Craig  
Director, Development

**File:** DP 20-893127

**Re:** Application by Design Work Group Ltd. for a Development Permit at 11480 and 11500 Railway Avenue

---

### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of three duplexes at 11480 and 11500 Railway Avenue on a site zoned "Arterial Road Two-Unit Dwellings (RDA)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.

Wayne Craig  
Director, Development  
(604-247-4625)

WC:jr  
Att. 2

## **Staff Report**

### **Origin**

Design Work Group Ltd. has applied to the City of Richmond for permission to develop three duplexes on subdivided lots at 11480 and 11500 Railway Avenue. The site is proposed to be rezoned from “Single Detached (RS1/E)” to “Arterial Road Duplexes (RDA)” under Bylaw 10060 (RZ 17-771371), which received third reading at the Public Hearing on December 16, 2019. The site currently contains two single-family dwellings, which would each be demolished.

A Servicing Agreement is required prior to final adoption of the rezoning bylaw, and includes, but is not limited to, the following improvements:

- New concrete sidewalk and landscaped boulevard along the Railway Avenue frontage.
- Special pavement treatments and paint at the driveway crossings to highlight the existing bike lane on Railway Avenue.
- Construction of a concrete median on Railway Avenue to prevent vehicle turning movements across the northbound travel lane.

### **Development Information**

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

- To the north, single-family dwellings on lots zoned “Single Detached (RS1/E)” with vehicle access from Railway Avenue.
- To the east, single-family dwellings on lots zoned “Single Detached (RS1/B)” with vehicle access from Kestrel Drive.
- To the south, a single-family dwelling on a property subject to an active application to rezone from the “Single Detached (RS1/E)” zone to the “Arterial Road Duplexes (RDA)” zone, to permit the development of one new duplex (RZ 18- 819258). The associated rezoning bylaw received third reading on June 17, 2019.
- To the west, across Railway Avenue, a single-family dwelling on a lot zoned “Single Detached (RS1/A)” with vehicle access from Garry Street.

### **Rezoning and Public Hearing Results**

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Review of the architectural character, scale, and massing to ensure that the proposed duplexes are well designed, fit into the neighbourhood, and do not adversely impact adjacent homes.

- Review of the roof design to ensure it meets the “Residential Vertical Lot Depth Envelope” and “Residential Vertical Lot Width Envelope” requirements under Zoning Bylaw 8500.
- Review of aging-in-place features in all units and the provision of two convertible units.
- Refinement of the proposed site grading to ensure survival of the protected tree, and to provide an appropriate transition between the proposed development and adjacent existing developments.
- Refinement of the driveway and auto court configurations to minimize paved areas on site and explore the opportunity to widen the street fronting units to further animate the public realm.
- Refinement of landscape design including new trees to be planted on site.

The first Public Hearing for the rezoning of this site was held on September 3, 2019. At the Public Hearing, the following concerns about rezoning the property were expressed by members of the public:

- Development in the neighbourhood has resulted in pressure on the limited street parking on Garry Street.

The application was referred back to staff for further consideration of alternative designs to improve the overall site plan and parking, including density. Staff worked with the applicant on a townhouse concept, however the result was a development with the same number of units and a higher proportion of paved area. A revised duplex design that included one additional visitor parking stall on Proposed Lot 3 was then brought forward to a second Public Hearing on December 19, 2020, where the associated bylaw was given third reading.

Staff worked with the applicant to address the previously noted design issues in the following ways:

- The upper storey massing has been reduced to comply with the “Residential Vertical Lot Depth Envelope” and “Residential Vertical Lot Width Envelope”.
- The material palette has been refined and takes inspiration from single-family dwellings in the neighbourhood.
- The site grade will be raised to meet the minimum Flood Construction Level, except for the area within the tree protection zone, which will remain as is. The proposed grade change within the utility statutory right-of-way (SRW) is supported by Engineering staff, as it avoids a potential scenario where the SRW is located in a trench with retaining walls on either side.
- The driveway width and auto court area have been maintained to provide sufficient area for vehicle turning movements on site.
- Additional details on the architectural character, aging-in-place features, and landscape design are provided in the Analysis section of this report.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject



Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Arterial Road Two-Unit Dwellings (RDA)” zone except for the zoning variances noted below.

### **Zoning Compliance/Variations** (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.

*The proposed variance would be for the duplex located on Proposed Lot 3 only. The proposed variance is a direct result of shifting floor area from the rear unit to accommodate the visitor parking space, and was identified at the rezoning stage. No concerns were raised about the proposed variance at the Public Hearing.*

*Staff supports the proposed variance as the reduced setback does not detract from the relationship between the building and the public realm. The front yard area, though reduced, includes a porch, walkway, and a layered landscape. Railway Avenue has a wide boulevard in this location, so the building face would be 11.87 m from the back of the curb.*

### **Advisory Design Panel Comments**

On June 17, 2020, the Advisory Design Panel supported the subject Development Permit application moving forward to the Development Permit Panel subject to the applicant giving consideration to the Panel’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference, together with the applicant’s design response in in ‘*bold italics*’ (Attachment 2).

### **Analysis**

#### *Conditions of Adjacency*

- The north side yard abuts the side yard of a single-family dwelling. The site grade will be raised resulting in a 0.4 m (1.3 ft.) retaining wall along the north property line. A new perimeter fence is proposed on top of the retaining wall. The applicant reviewed the location of windows on the neighbouring dwelling when designing the interior spaces, so as to avoid having windows located across from one another.
- The south side yard abuts the side yard of a single-family dwelling, which is proposed to be redeveloped to a similar front-back duplex. The site grade will be raised and it is anticipated that the neighbouring property will also be raised as part of the redevelopment. A new perimeter fence is proposed.
- The rear yard abuts the rear yard of single-family dwellings. This interface includes one retained tree. The site grade will be raised resulting in a 0.6 m (2 ft.) retaining wall along the rear property line, except for within the critical root zone of the protected tree. A perimeter fence is proposed on top of the retaining wall.

#### *Urban Design and Site Planning*

- The proposed development involves subdivision to create three properties, each of which would contain one duplex.

- Vehicular access to Proposed Lots 1 and 2 would be from a shared driveway to Railway Avenue. A statutory right-of-way (SRW) agreement establishing this access arrangement has been secured through the rezoning application.
- Vehicular access to Proposed Lot 3 would be from a driveway to Railway Avenue.
- The design of the drive aisle includes permeable pavers within the front yard setback and in the centre of the drive aisle. In addition to increasing permeable surface area, the contrasting paving treatment provides a visual cue for pedestrian circulation routes from the sidewalk to the rear units.
- Each unit fronting Railway Avenue has direct access to the sidewalk, and rear units have access from the drive aisle. These unit entries have been designed and positioned to be visible from the street, aiding wayfinding.
- Each unit has two side-by-side parking spaces in a garage, which also includes space for bicycle parking and waste bin storage. All resident parking spaces are provided with Level 2 EV charging as per Richmond Zoning Bylaw 8500.
- One visitor parking space is shared by Proposed Lots 1 and 2. This parking space is to be included in the shared access SRW secured through the rezoning application. Proposed Lot 3 includes a visitor parking space at the end of the drive aisle.

#### ***Architectural Form and Character***

- The proposed development contributes to the low-rise residential character of the neighbourhood by using simple massing, pitched roofs, and details inspired by common single-family styles. Each duplex is characterized by a unique architectural style, providing variety in the streetscape while maintaining similar massing. The applicant has chosen to take inspiration from the “Tudor,” “Modern Farmhouse,” and “Craftsman” styles.
- The diverse architecture is unified by a colour palette of grey, beige, and white, with contrasting black, brown, and red elements. Brick and stone veneer, board and batten hardie board, and hardie shingles are used to complement the materials of adjacent single-family dwellings. The proposed materials and colours are consistent with the Official Community Plan (OCP) guidelines and the surrounding neighbourhood character.

#### ***Landscape Design and Open Space Design***

- There are no bylaw-sized trees on the development site. The existing hedges on the northwest and southeast corners of the subject site are proposed to be removed. Eight new trees are proposed, and include a mix of coniferous and deciduous species.
- One off-site tree on a neighbouring property to the east will be retained. Tree protection fencing is required prior to demolition of the existing buildings, and arborist supervision is required for any works within the tree protection zone. This tree and the required fencing are shown on Plan # 2.
- The proposal includes private outdoor space for each unit consistent with the Official Community Plan (OCP) requirements. Each outdoor space includes both soft and hard landscape elements.
- The front of each property has a layered landscape design including a variety of shrubs and trees. Two waste bin landing areas are provided, and are screened with low shrubs.
- Irrigation is provided for all planted areas.
- A significant amount of permeable pavers are used within the drive aisle, increasing the total permeable surface area to between 50-60% for each proposed lot.

- To ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Security in the amount of \$23,656 prior to issuance of the Development Permit.

### ***Crime Prevention Through Environmental Design***

- Low fencing and landscaping are provided in the front yard to distinguish public and private space while allowing for casual surveillance of the sidewalk.
- New 1.8 m (6 ft.) fencing is proposed around the perimeter of the site to provide privacy and separation. The proposed fencing will also screen headlight glare from the visitor parking and auto courts.
- Each of the rear units has a covered entry, which provides weather protection and clearly identifies the unit entrance.

### ***Sustainability***

- The proposed development is required to achieve Step 1 of the BC Energy Step Code.
- Level 2 EV charging is provided in each garage as per Richmond Zoning Bylaw 8500.

### ***Accessible Housing***

- Concrete is used along the perimeter of each drive aisle to visually indicate areas of pedestrian circulation. The concrete provides a level surface for the comfort and safety of individuals using mobility aids such as wheelchairs or scooters, as well as those pushing a stroller.
- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair (Unit B on each of Proposed Lots 1 and 3). The potential conversion of these units will require installation of a stair lift.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Jordan Rockerbie  
Planner I  
(604-276-4092)

JR:blg



Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the draft minutes of the Advisory Design Panel

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit or cash security for landscaping in the amount of \$23,656, based on the cost estimate provided by the landscape designer and inclusive of a 10% contingency.

Prior to a Demolition Permit issuance, the developer is required to complete the following:

- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

At Subdivision stage, the developer must complete the following requirements:

- Payment of the current year's taxes, Development Cost Charges (City and GVS & DD), School Site Acquisition Charge, and Address Assignment Fees.
- Registration of a cross-access easement over the driveway, drive aisle, and visitor parking stall shared between the two northern lots.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.



**DP 20-893127**

**Attachment 1**

Address: 11480 and 11500 Railway Avenue

Applicant: Design Work Group Ltd.

Owner: 1113132 BC LTD

Planning Area(s): Steveston

	Existing	Proposed
<b>Site Area:</b>	1,530.6 m <sup>2</sup>	Lot A: 484.1 m <sup>2</sup> Lot B: 464.8 m <sup>2</sup> Lot C: 544.8 m <sup>2</sup>
<b>Land Uses:</b>	Single-family dwellings	Two-unit dwellings
<b>OCP Designation:</b>	Neighbourhood Residential	No change
<b>Zoning:</b>	Single Detached (RS1/E)	Arterial Road Two-Unit Dwellings (RDA)
<b>Number of Units:</b>	Two single-family dwellings	Three two-unit dwellings

Proposed Lot 1	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (290.5 m <sup>2</sup> )	0.58 FAR (282.55 m <sup>2</sup> )	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: 43% Non-porous surfaces: 49% Landscaping: 34%	None
Setback – Front Yard (West):	Min. 6.0 m	6.16 m	None
Setback – Side Yard (North):	Min. 1.2 m	1.24 m	None
Setback – Side Yard (South):	Min. 1.2 m	1.70 m	None
Setback – Rear Yard (East):	Min. 6.0 m	6.33 m	None
Height (m):	Max. 9.0 m	8.19 m	None
Lot Size:	Min. 464.5 m <sup>2</sup>	484.1 m <sup>2</sup>	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0.2(V) per unit	2(R) and 0.25(V) per unit*	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)*	None

\* One visitor parking space is shared among all four units on Proposed Lots 1 and 2, which is permitted in the "Arterial Road Two-Unit Dwellings (RDA)" zone

Proposed Lot 2	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (278.9 m <sup>2</sup> )	0.6 FAR (277.6 m <sup>2</sup> )	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: 39% Non-porous surfaces: 44% Landscaping: 28%	None
Setback – Front Yard (West):	Min. 6.0 m	6.04 m	None
Setback – Side Yard (North):	Min. 1.2 m	2.35 m	None
Setback – Side Yard (South):	Min. 1.2 m	1.2 m	None
Setback – Rear Yard (East):	Min. 6.0 m	6.0 m	None
Height (m):	Max. 9.0 m	8.14 m	None
Lot Size:	Min. 464.5 m <sup>2</sup>	464.8 m <sup>2</sup>	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0.2(V) per unit	2(R) and 0.25(V) per unit*	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)*	None
* One visitor parking space is shared among all four units on Proposed Lots 1 and 2, which is permitted in the “Arterial Road Two-Unit Dwellings (RDA)” zone			

Proposed Lot 3	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6 FAR (326.9 m <sup>2</sup> )	0.58 FAR (316.4 m <sup>2</sup> )	None permitted
Lot Coverage:	Buildings: Max. 45% Non-porous surfaces: Max. 70% Landscaping: Min. 25%	Buildings: 35% Non-porous surfaces: 39% Landscaping: 25%	None
Setback – Front Yard (West):	Min. 6.0 m	5.0 m	<b>Vary by 1.0 m</b>
Setback – Side Yard (North):	Min. 1.2 m	1.2 m	None
Setback – Side Yard (South):	Min. 1.2 m	3.2 m	None
Setback – Rear Yard (East):	Min. 6.0 m	6.33 m	None
Height (m):	Max. 9.0 m	8.99 m	None
Lot Size:	Min. 464.5 m <sup>2</sup>	544.8 m <sup>2</sup>	None
Off-street Parking Spaces – Resident/Visitor:	Min. 2(R) and 0(V)** per unit	2(R) and 0(V)** per unit	None
Total off-street Spaces:	4(R) and 1(V)	4(R) and 1(V)	None
** Visitor parking is only required when three or more dwelling units share a driveway access			



**Annotated Excerpt from the Draft Minutes from  
Advisory Design Panel Meeting**

**Wednesday, June 17, 2020 – 4:00 p.m.**

**DP 20-893127 – THREE ARTERIAL ROAD DUPLEXES**

ARCHITECT: Design Work Group Ltd.  
LANDSCAPE ARCHITECT: Larry Fiddler, Landscape Designer  
PROPERTY LOCATION: 11480 and 11500 Railway Avenue

**Applicant's Presentation**

Architectural Technologist Michael Lu, Design Work Group Ltd., and Landscape Designer Larry Fiddler, presented the project, and together with Inder Johal, Brick Lane Development, answered queries from the Panel.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the provision of two convertible units in the project; consider installing pocket doors for all washrooms and closets in the convertible units; also consider installing an outward-opening door for the powder room with the hinges installed on the opposite side to provide adequate manoeuvring space for a resident in a wheelchair; ***Pocket doors added where possible. Powder room has outward-opening door***
- consider providing space for future installation of a vertical lift in the convertible units as a chair lift does not work well for a resident in a wheelchair or using a walker considering that a wheelchair is required for each floor level;
- reconsider the proposed location of the garbage collection area as it is sited at the front of the proposed development; consider relocating it to a centralized corner space as landscaping may not provide adequate screening; ***Lot 1 and lot 2 garbage collection areas have been centralized. We are not able to relocate the garbage area as it has to be close to the driveway. We do not want to have lot 3 garbage area to be in the same area as it will be quite a distance for lot 3 rear unit to move their bins. Also it is because there are fences between lot 2 and lot 3.***
- there appears to be no compelling reason for the proposed front yard setback variance;
- appreciate the overall project, particularly the nice elevations and streetscape;

- consider installing permeable pavers for the patios; *Permeable pavers are added to front and rear units*
- consider installing low acoustical fencing to provide sound barrier for units fronting Williams Road; *See-thru fencing is added for units fronting Railway Avenue*
- appreciate the duplex typology which is the appropriate approach to increase the density of the area;
- not concerned about the relaxation of the front yard setback as the applicant needs some leeway for the new building typology being introduced in the area;
- like the scale of the duplexes; however, concerned about their different architectural styles; consider minimizing the differences in architectural styles and materials;
- appreciate the distinct architectural styles for the three duplex buildings which fit well with the predominantly single-family dwelling neighbourhood;
- consider incorporating the screening for the future cooling system/unit into the design of the unit so it does not appear as an add-on;
- provision of patios will enhance the livability of the duplex units; would be interesting to see how this will be translated in the rear yards of back units and how the large SRW at the back could be accessed by residents; consider integrating a pathway at the patio on the east side that steps down to the SRW to make it a usable space; *Retaining walls have been relocated to the property line per Engineering. No steps down required into SRW. SRW can now be part of rear unit green/patio area.*
- appreciate the provision of lawns as these provide usable outdoor spaces; however, consider a stronger balance between the lawn spaces and the buffer spaces along the sidewalk;
- does not support the proposal to install a wall to provide an acoustic barrier as it is not an effective method to mitigate street noise; suggest that the proposed visually porous street frontage be maintained to create a neighbour-friendly character;
- look at the detailing of the retaining wall along the south property line considering the permeable paving treatment of the drive aisle which allow infiltration of ground water into the ground system; *Permeable pavers and drainage proposed*
- the project is an attractive addition to the neighbourhood;
- support the distinct architectural styles for the three duplex buildings as opposed to one cohesive looking project;
- appreciate the cedar hedge along the front of the property; however, consider installing a light porous fence to mark the edge of the property; and *Light porous fence added*

- consider incorporating soft landscaping around the two visitor parking stalls. ***Landscaping added***

*The following comments of Panel member Chris Lee were read into the record by Sara Badyal:*

- overall, the proposal is easy to follow; however, would like to see an illustrative or coloured landscape plan for better understanding of the proposal;
- consider the following suggestions relating to the landscape plan:
  - (i) the width of the proposed "pavers walkway" next to the double doors connecting the interior is not sufficient to provide landing space; ***Patio added as sufficient landing space***
  - (ii) strongly encourage to introduce additional greenery through planting between buildings and at the back of the buildings; and ***Additional planting added***
  - (iii) introduction of low fence fronting the street would provide clearer delineation between public and private spaces. ***Low see-thru fencing added***

#### **Panel Decision**

It was moved and seconded

***That DP 20-893127 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**





No. DP 20-893127

To the Holder: DESIGN WORK GROUP LTD.

Property Address: 11480 AND 11500 RAILWAY AVENUE

Address: C/O SUITE 203 - 5066 KINGSWAY  
BURNABY, BC V5H 2E7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce the front yard setback to Railway Avenue from 6.0 m to 5.0 m for Proposed Lot 3.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #20 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$23,656 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 20-893127

To the Holder: DESIGN WORK GROUP LTD.  
Property Address: 11480 AND 11500 RAILWAY AVENUE  
Address: C/O SUITE 203 - 5066 KINGSWAY  
BURNABY, BC V5H 2E7

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

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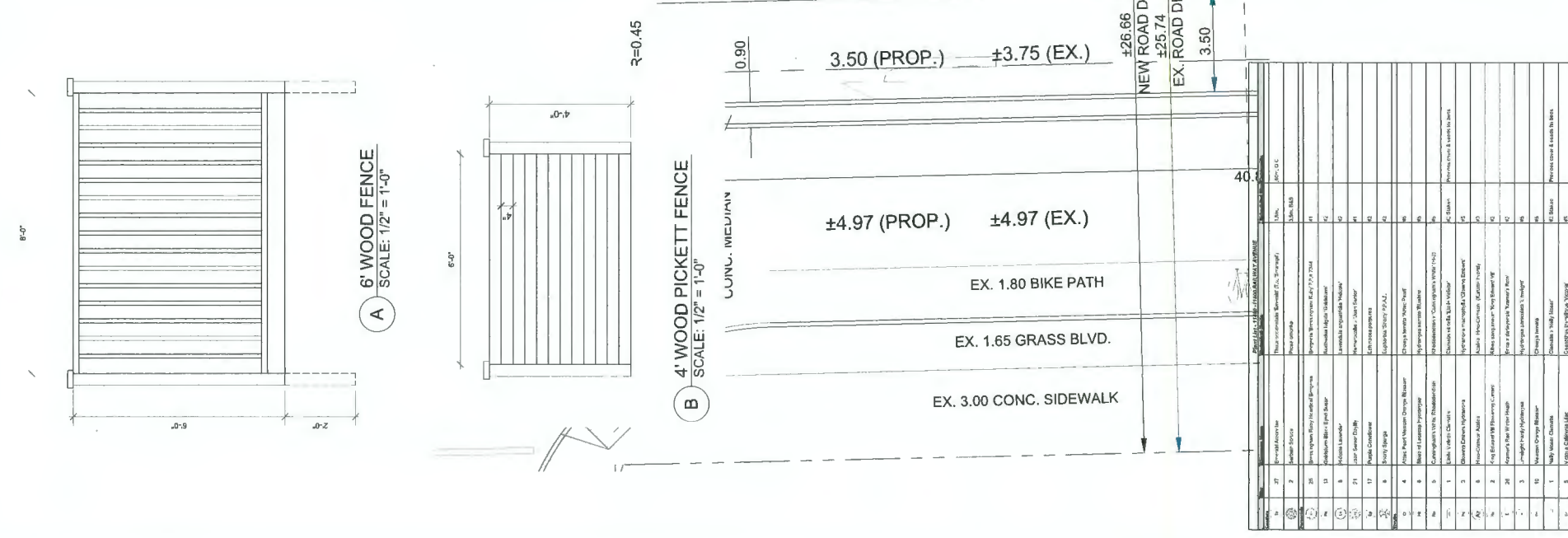
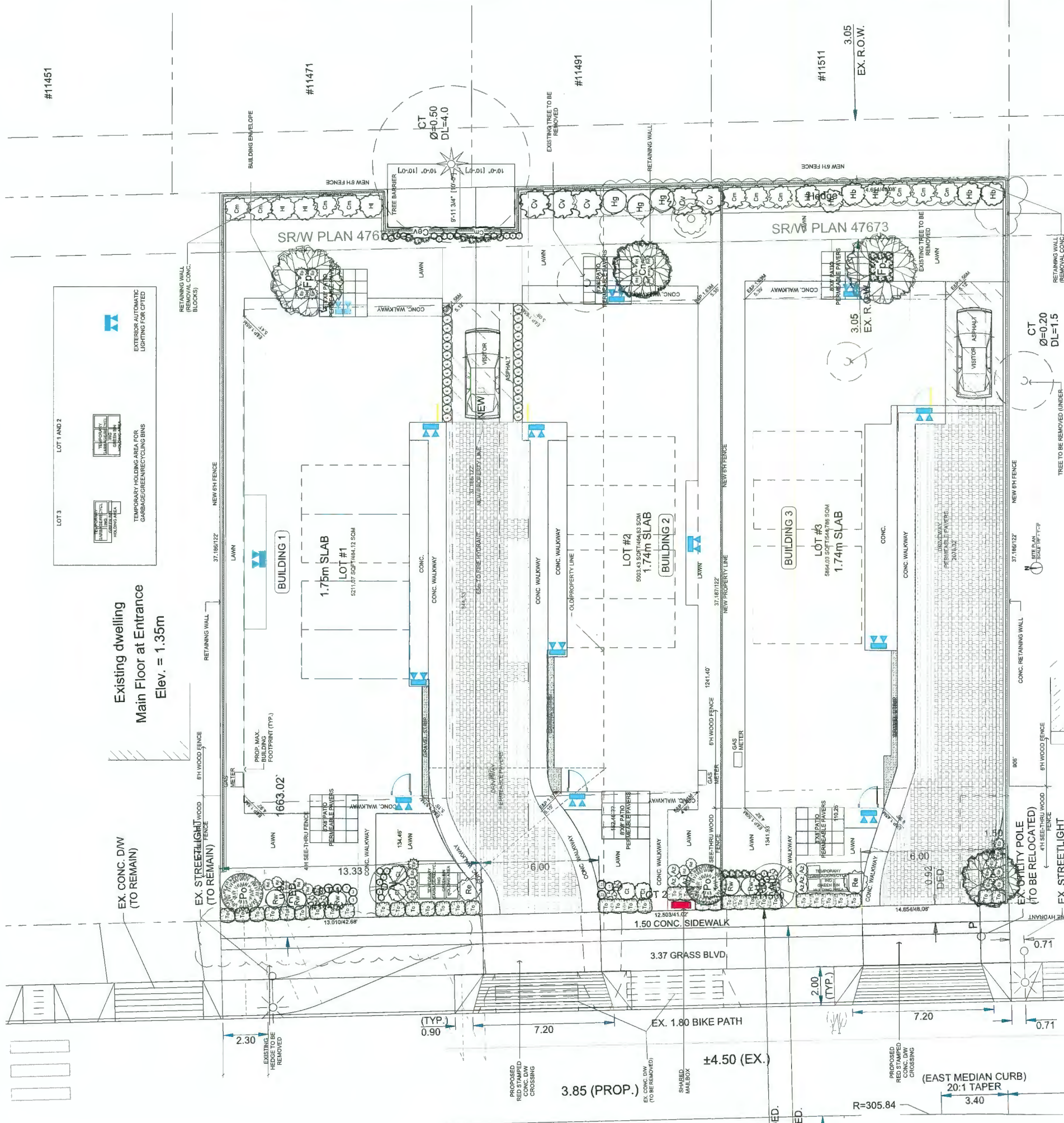
MAYOR











DP 20-893127  
PLAN # 2

No.	Date	Appr	Revision Notes
1	19-4-12		CITY COMMENTS
2	20-2-3		NEW SITE PLAN
3	20-4-27		PRIOR TO CONDITIONS
4	20-7-3		CITY COMMENTS
5	20-7-8		PLANTS ADDED TO BACK YARDS

No.	Date	Appr	Revision Notes
A	18-6-11		ARCHITECT/CLIENT REVIEW

Project No.

604.816.7712

Project Name

3 DUPLEXES  
11480 - 11500 RAILWAY AVE.  
RICHMOND, B.C.

Project Manager

Larry Fidler, Certified Landscape Designer  
CNLABCLNA

Client

DESIGN WORK GROUP  
Suite 203-5066 KINGSWAY  
Burnaby, B.C. V5H 2E7

Project Title

LANDSCAPE PLAN

Project No.

28/18

Scale

1/8" = 1' - 0"

Sheet No.

L1

Date

20/4/27

Drawn By

L.F.















Reviewed By

Client No.

Client Name

No.	Date	Appr	Revision Notes
1	19-4-12		CITY COMMENTS
2	20-2-3		NEW SITE PLAN
3	20-4-27		PRIOR TO CONDITIONS
4	20-7-3		CITY COMMENTS
5	20-7-8		PLANTS ADDED TO BACK YARDS



Plant List - 11480 -11500 RAILWAY AVENUE					
	Qty	Common Name	Botanical Name	Scheduled Size	Comments
Conifers					
	37	Emerald Arborvitae	Thuja occidentalis 'Emerald' (T.o. 'Smaragd')	1.8m.	.60m. O/C
	2	Serbian Spruce	Picea omorika	3.5m. B&B	
Perennials					
	11	Bressingham Ruby Heartleaf Bergenia	Bergenia 'Bressingham Ruby' P.P.# 7344	#1	
	13	Goldsturm Black Eyed Susan	Rudbeckia fulgida 'Goldsturm'	#2	
	8	Hidcote Lavender	Lavandula angustifolia 'Hidcote'	#2	
	14	Joan Senior Daylily	Hemerocallis x 'Joan Senior'	#1	
	17	Purple Coneflower	Echinacea purpurea	#2	
	8	Shorty Spurge	Euphorbia 'Shorty' P.P.A.F.	#2	
Shrubs					
	4	Aztec Pearl Mexican Orange Blossom	Choisya ternata 'Aztec Pearl'	#5	
	5	Cunningham's White Rhododendron	Rhododendron x 'Cunningham's White' (H-2)	#5	
	6	Hino-Crimson Azalea	Azalea 'Hino-Crimson' (Kurume hybrid)	#3	
	2	King Edward VII Flowering Currant	Ribes sanguineum 'King Edward VII'	#2	
	26	Kramer's Red Winter Heath	Erica x darleyensis 'Kramer's Rote'	#2	
Trees					
	2	Eddie's White Wonder Dogwood	Cornus x 'Eddie's White Wonder'	6cm. B&B	
	2	Green Ash	Fraxinus pennsylvanica Leprechaun	6cm. B&B	
	2	Shadblow Serviceberry	Amelanchier canadensis	2.5m. B&B	











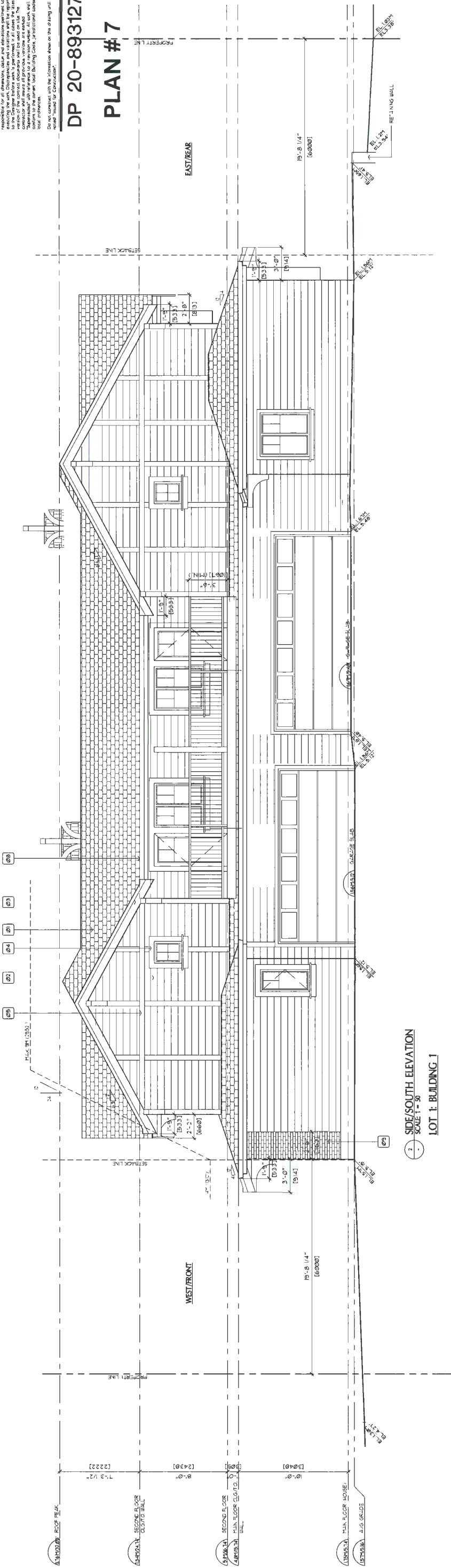


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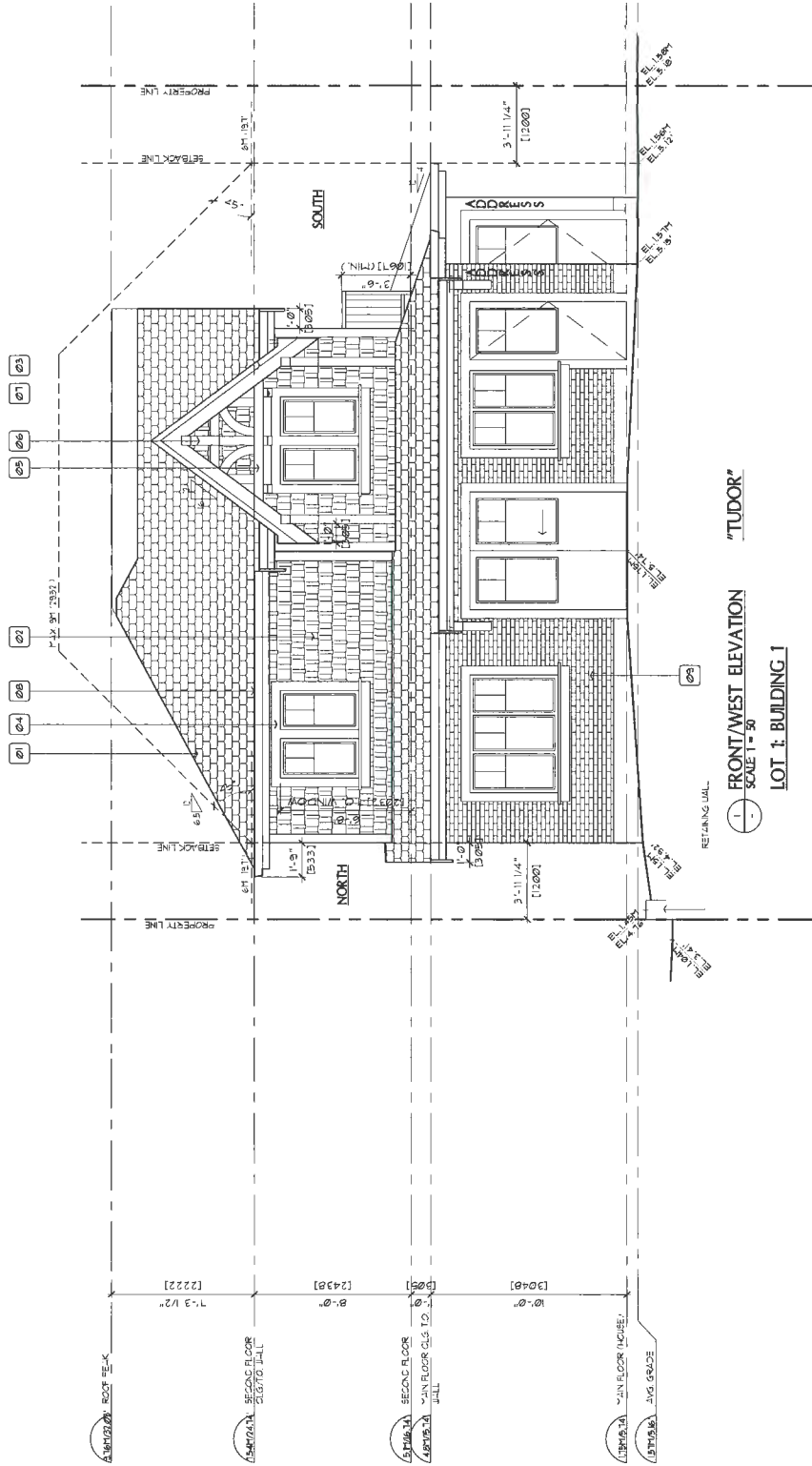
Do not construct until the information shown on this drawing and it is approved by the appropriate authorities.

DP 20-893127

PLAN # 7



2. SIDE/SOUTH ELEVATION  
SCALE 1" = 50'  
LOT 1: BUILDING 1



1. FRONT/WEST ELEVATION  
SCALE 1" = 50'  
LOT 1: BUILDING 1

- LEGEND:
- 01 ASPHALT ROOF SHINGLES
  - 02 HARDIE SHINGLES
  - 03 1/4" OVER 3/16" FASCIA
  - 04 VINYL FRAME WINDOWS 4" x 6" TYP
  - 05 2x8 DECORATIVE WOOD TRIM
  - 06 DECORATIVE WOOD KNEE BRUCE
  - 07 DECORATIVE CORBEL
  - 08 METAL GUTTER OVER 2x8-2x10
  - 09 RED BRICK VENEER
- NOTE: RAISED CURBS LINES DENOTE TOP OF CONCRETE FOR JAIL

MAY 1/2010	RE ISSUED FOR DP	△
FEB 3/2010	ISSUED FOR DP	△
JUNE 1/2010	RE ISSUED FOR REZONING	△
OCT 25/2010	RE ISSUED FOR REZONING	△
JUNE 1/2010	ISSUED FOR REZONING	△
DRAWING REVISIONS / 33825		

DVG  
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info@designworkgroup.bc.ca  
www.designworkgroup.bc.ca

PROJECT

PROPOSED  
DUPLEXES

1000 AND 1005 GILBERT AVE.  
RICHMOND  
B.C.

DRAWING TITLE  
LOT 1 WEST AND SOUTH  
ELEVATIONS

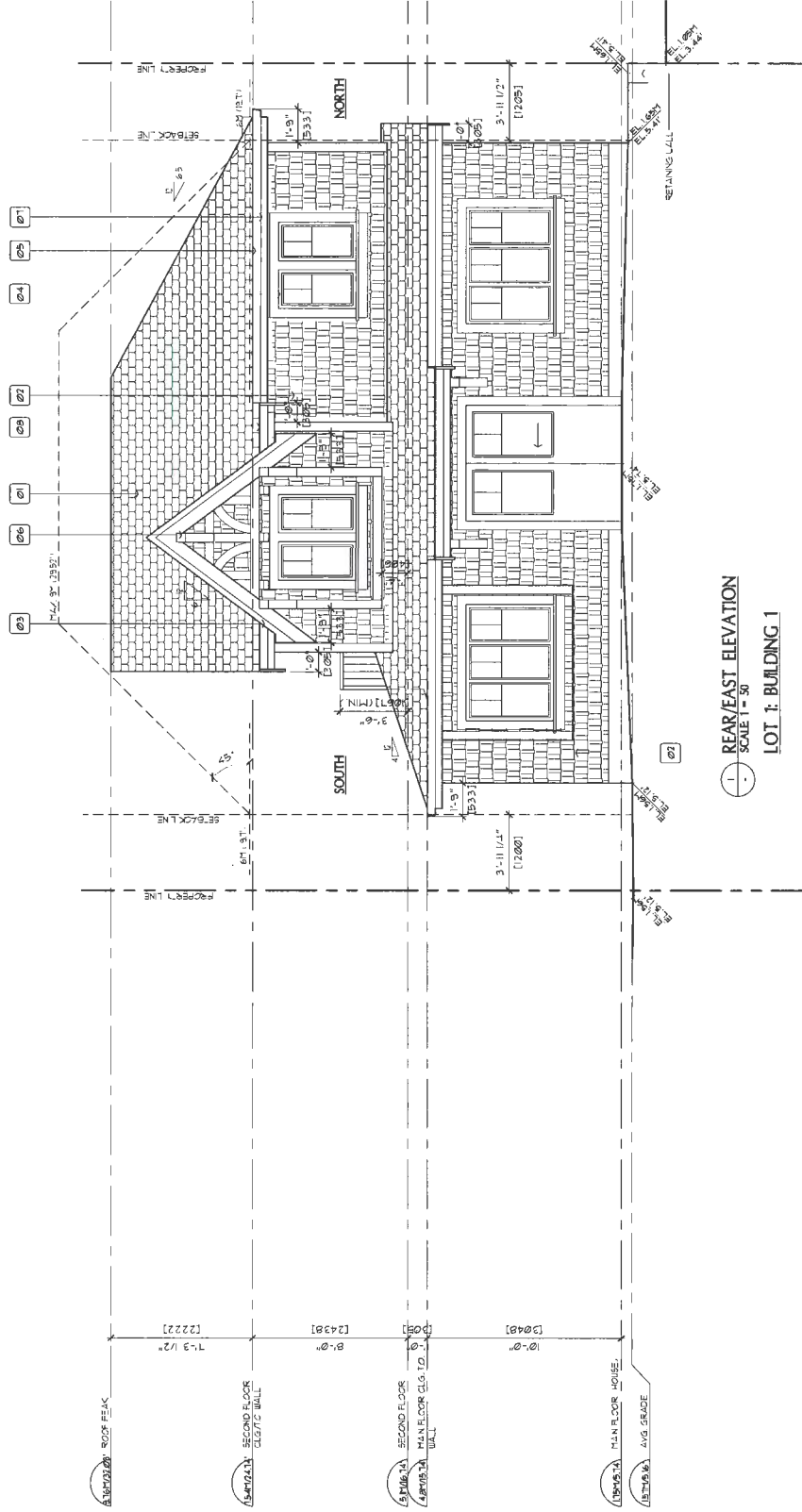
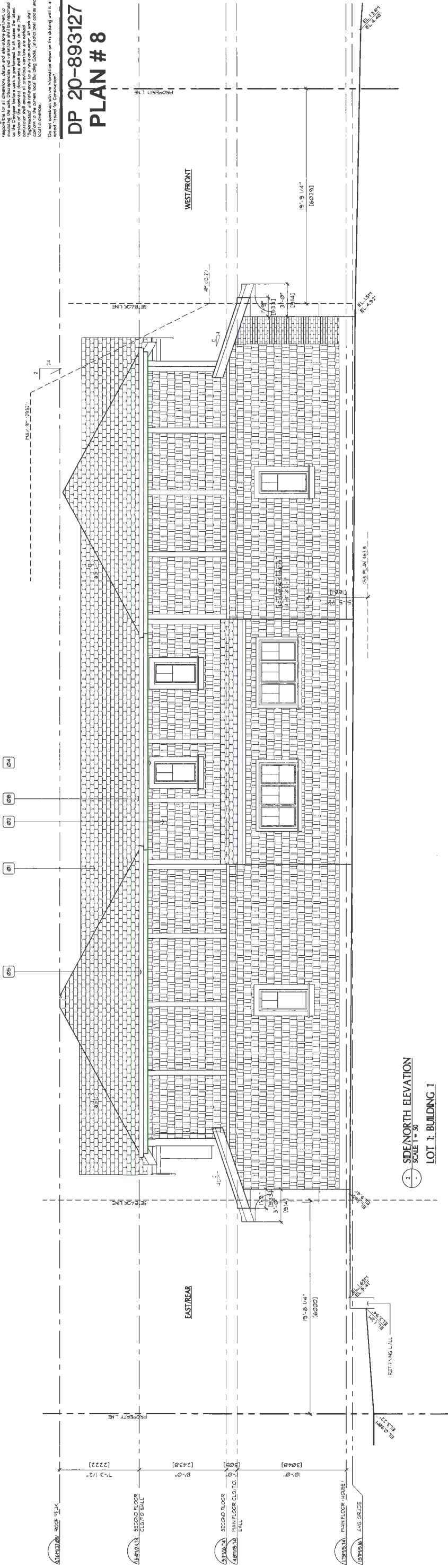
DRAWN	DATE	REVISION
CK'D	FILE	JOB NO.
DESIGN		DRAWING NO.
CK'D		
SCALE	AS SHOWN	

A2.3

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# DP 20-893127 PLAN # 8



MAY 1/2020	RE ISSUED FOR DP	△
FEB 3/2020	ISSUED FOR DP	△
JUNE 8/2020	RE ISSUED FOR REZONING	△
OCT 25/2020	RE ISSUED FOR REZONING	△
JUNE 17/2020	ISSUED FOR REZONING	△
DRAWING REVISION / ISSUES		

**DVG**  
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www.designworkgroup.biz

## PROPOSED DUPLEXES

1000 AND 1000 MILLARY AVE  
SCOPED

B.C.

DRAWING TITLE  
LOT 1 EAST AND WEST  
ELEVATIONS

DRAWN	SP1	DATE	FEB/2020
CHECKED	ML	JOB NO.	-
DESIGN		DRAWING NO.	
CHECKED			
SCALE		AS SHOWN	

**A2.4**































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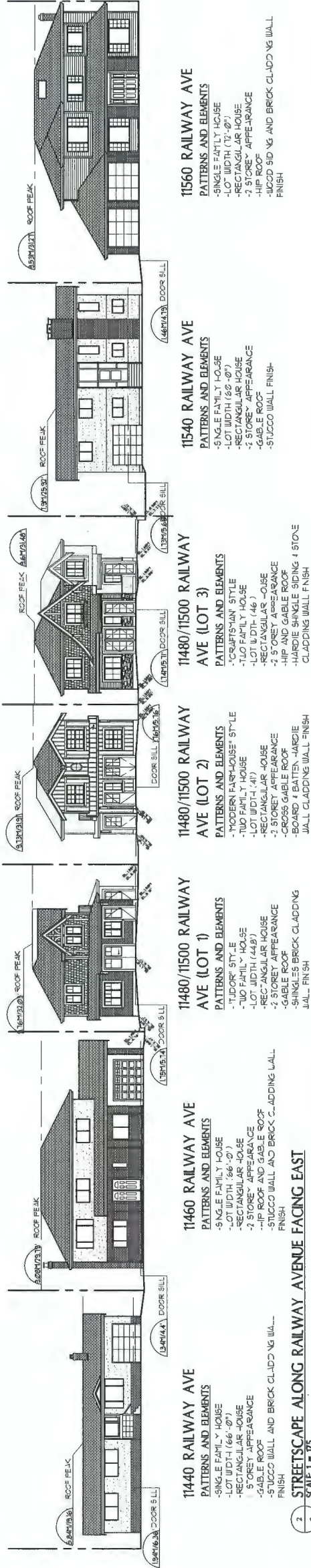
DP 20-893127

PLAN # 19



11440 RAILWAY AVE  
11460 RAILWAY AVE  
11480 RAILWAY AVE  
11500 RAILWAY AVE  
11560 RAILWAY AVE  
PHOTO STREETSCAPE ALONG RAILWAY AVENUE FACING EAST  
NTS

SUBJECT PROPERTIES



2 - STREETSCAPE ALONG RAILWAY AVENUE FACING EAST  
SCALE 1" = 10'

## PROPOSED COLOUR FRONT ELEVATIONS



"TUDOR"  
11480/11500 RAILWAY AVE (LOT 1 - BUILDING 1)

"MODERN FARMHOUSE"  
11480/11500 RAILWAY AVE (LOT 2 - BUILDING 2)

"CRAFTSMAN"  
11480/11500 RAILWAY AVE (LOT 3- BUILDING 3)

MAY 1/2016	REVISED FOR DP	△
FEB 3/2016	ISSUED FOR DP	△
JAN 17/2016	REVISED FOR REZONING	△
OCT 25/2016	REVISED FOR REZONING	△
JUNE 17/2016	ISSUED FOR REZONING	△
DRAWING REVISIONS / ISSUES		

**DWG**  
**DESIGN WORK GROUP LTD.**

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www.designworkgroup.biz

PROJECT

PROPOSED  
DUPLEXES

11480 AND 11500 RAILWAY AVE  
REZONING

DRAWING TITLE  
STREETSCAPES  
& COLOUR ELEVATIONS

DRAWN BY	DATE	REVISION
CHECKED BY	JOB NO.	
DESIGN NO.	DRAWING NO.	
CAD		
SCALE	AS SHOWN	

A5.0



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DP 20-893127

## PLAN # 20

### PROPOSED COLOUR FRONT ELEVATIONS



"TUDOR"  
11480/11500 RAILWAY AVE (LOT 1 - BUILDING 1)

"MODERN FARMHOUSE"  
11480/11500 RAILWAY AVE (LOT 2 - BUILDING 2)

"CRAFTSMAN"  
11480/11500 RAILWAY AVE (LOT 3- BUILDING 3)



RED BRICK VENEER



GREY  
SUI 1025  
"BACKDROP"



BEIGE  
SUI 1511  
"CHINA DOLL"



BLACK



WHITE



"BLACK PEARL" LEDGE  
STONE VENEER



GREY  
SUI 1015  
"JEB GRAY"



BROWN  
SUI 1039



"ROTCRAFT COPPER RED"

HARDIE SHINGLES

TRIMS/FASCIA/DECORATIVE  
KNEEBRACES

HARDIE BOARD & BATTEN

HARDIE SIDING

TRIMS/FASCIAS

HARD E SHINGLES

HARDIE SHINGLES



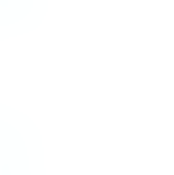
BLACK



BROWN  
SUI 1039



"ROTCRAFT COPPER RED"



BLACK



DOORS/WINDOWS/RAILING



DOORS/WINDOWS/RAILING



BLACK



BEIGE  
SUI 1562



"ROTCRAFT COPPER RED"



DOORS



TRIMS/FASCIA/DECORATIVE  
KNEEBRACES



DOORS



TRIMS/FASCIA/DECORATIVE  
KNEEBRACES

DWG

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info@designworkgroup.biz  
www.designworkgroup.biz

PROJECT

PROPOSED  
DUPLEXES

11480 AND 11500 RAILWAY AVE  
BROMPTON

N/C

DRAWING TITLE  
EXTERIOR MATERIALS AND  
COLOURS AND FINISHES

DRAWN BY DATE FEB/2019

CHECKED BY JOB NO. -

DESIGNER DRAWING NO.

CHECKED BY A7.0

SCALE AS SHOWN





DP 20-893127 REFERENCE # 1









# City of Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** July 7, 2020

**From:** Wayne Craig  
Director, Development

**File:** DP 18-837117

**Re:** Application by W. T. Leung Architects Inc. for a Development Permit at  
6333 Mah Bing Street

---

### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 364 parking spaces at 6333 Mah Bing Street on a site zoned "High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 13,000 m<sup>2</sup> (139,930 ft<sup>2</sup>) to 8,227 m<sup>2</sup> (88,554 ft<sup>2</sup>).

Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 4

## Staff Report

### Origin

W. T. Leung Architects Inc. has applied to the City of Richmond for permission to develop a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building, consisting of approximately 232 dwelling units and 358 parking spaces at 6333 Mah Bing Street on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”. Key components of the proposal include:

- Second phase of the “Park Residences” development, including three buildings (Towers C, D & E) and a greenway connection between Mah Bing Street and Minoru Park, on a site adjacent to the previously approved phase east of the subject site.
- One 15-storey building (Tower C) with five levels of parking, three of which are located within a podium above grade with townhouse and apartment units which interface with the public realm on three sides of the building.
- One 15-storey and one 9-storey building (Towers D & E) with four levels of parking, three of which are located within a podium above grade with townhouse and apartment units which interface with the public realm on all sides with the exception of the south elevation of the podium.
- A maximum floor area ratio (FAR) of 3.4 for residential uses and a maximum floor area ratio of (FAR) 0.1 for indoor amenity uses are allowed for the entire “Park Residences” development. Phase 2 utilizes the balance of the floor area allowed (approximately 27,995 m<sup>2</sup> or 91,847 ft<sup>2</sup>) to create approximately 232 dwelling units.
- Maximum height allowed is at 47.0 m geodetic.
- Step Code 2 and connection to the district energy utility (DEU) system.
- Provision of statutory rights-of-way (SRW) for a pedestrian greenway connection through the middle of site between Mah Bing Street and Minoru Park in alignment with Murdoch Avenue.

An associated Servicing Agreement (SA 08-413951) was secured through the Rezoning (RZ 04-286496, approved in 2008) for works required to service Phase 2 of the “Park Residences” development. Modification to the original Servicing Agreement (approved in February, 2012) is required to match existing conditions and reduce impacts on Minoru Park. The required modifications to Servicing Agreement (SA 08-413951) will be facilitated through a post approval revision. Modifications include rerouting of underground services to preserve trees in Minoru Park and revisions to the extent of the road and sidewalk.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.



**Background**

- The site currently contains two three-storey rental apartment buildings.
- The site was initially rezoned in 2008 (RZ 04-286496), prior to adoption of the City Centre Area Plan (CCAP), for the proposed “Park Residences” development.
- The Development Permit for Phase 1 of the “Park Residences” development (DP 07-362006) was issued in 2013, which includes two high-rise buildings over a common parking structure consisting of 92 market housing units, 110 residential market rental units, and 22 affordable senior housing units.
- When the Phase 1 of the development was completed, the existing rental tenants were provided with first opportunity to relocate into the rental units in the Phase 1 development.
- The subject Development Permit application is for Phase 2 (Towers C, D, and E) of the “Park Residences” development.

Development surrounding the subject site is as follows:

To the north: Two 15-storey residential buildings linked by a mid-rise podium on a site zoned “High Rise Apartment (ZHR11) – Brighthouse Village (City Centre)”.

To the east: Across Mah Bing Street, on the north side of Murdoch Avenue, two 15-storey residential buildings on a site zoned “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)”, which is Phase 1 (Towers A and B) of the “Park Residences” development; on the south side of Murdoch Avenue, two three-storey apartment buildings fronting Minoru Boulevard, on properties zoned “Medium Density Low Rise Apartments (RAM1)”.

To the south: Three high-rise residential buildings on a site zoned under “Land Use Contract (LUC 001)” with underlying zoning “High Rise Apartment (ZHR14) – Brighthouse Village (City Centre)”.

To the west: Minoru Park zoned “School and Intuition (SI).”

**Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site (Zoning Amendment Bylaw 8103) was held on September 6, 2006. At the Public Hearing, the following concerns about rezoning the property were expressed:

- Concerns regarding increased traffic in the area, especially trucks, during construction of the new building.
- Concerns regarding impact of construction of the new building on the adjacent buildings and the residents in the immediate vicinity of the development site.
- Concerns regarding preservation of the rental housing stock in the City Centre area.
- Issue of loss of views/property values was also raised by some residents.

Staff worked with the applicant to address these issues in the following ways:

- Development of the “Park Residences” project has been divided into two phases. A new road (Murdoch Avenue) was constructed prior to construction of Phase 1 to minimize traffic impacts to the area residents. A separate Traffic Management Plan for construction vehicles and construction workers will be required as part of the Building Permit submission for the subject development (i.e., Phase 2 of the “Park Residences” project).
- Adequate geotechnical analysis of the site has been undertaken and appropriate procedures will be put in place to minimize impact on neighbouring properties, and to address any possible damage to adjacent buildings which might occur as a result of construction of the new development.
- Provision of replacement rental units is included in Phase 1 of the Park Residences” project (Tower A). Details are included the “Housing-Rental Replacement and Affordable Housing” section in this report.
- Refinements of the massing and location of Towers C, D and E on the subject site have been exercised to maximize view corridors. It should be noted that some obstruction of existing views is to be expected from the redevelopment of this site in this higher density City Centre location.

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)” except for the zoning variances noted below.

### Zoning Compliance/Variance (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum lot area from 13,000 m<sup>2</sup> (139,930 ft<sup>2</sup>) to 8,227 m<sup>2</sup> (88,554 ft<sup>2</sup>).

*(Staff supports the proposed variance as the subject development is the second and last phase of a larger development known as “Park Residences”. The minimum lot area under the “High Rise Apartment (ZHR4) – Brighthouse Village (City Centre)” was based on the total site area of the entire development. Upon development of Phase 1 of the “Park Residences” development, the original development site was subdivided into two lots and two new roads (Murdoch Avenue and Mah Bing Street) were created. The lot located at the northeast corner of Murdoch Avenue and Mah Bing Street contains Phase 1 of the development; and the lot located west of Mah Bing Street is created for Phase 2 of the development. This variance is required due to the phasing of the development).*

Through the applicant's Development Permit processes, the developer has satisfied the following development requirements.

#### Road Dedications

A Statutory Right-of-Way (SRW) (CA3023335, EPP28003) over Mah Bing Street located on the subject site has been secured as part of the rezoning application in 2008. This SRW area is required for the construction of Mah Bing Street; dedication of this area has been deferred due to the fact that this area is being used for surface parking, serving the existing rental buildings. An Option to Purchase the SRW is included in the SRW agreement, and this area will be transferred to the City once the existing rental buildings on site are demolished.

A 3.5 m wide SRW (CA3023366, EPP21004) has also been secured as part of the rezoning application in 2008 for future sidewalk and boulevard along the west side of Mah Bing Street. Based on the functional design provided by the applicant, the SRW is required to expand to 5.0 m wide to accommodate the proposed sidewalk and boulevard, and a 4 m x 4 m corner cut at the southeast corner of the site is required. It is recommended that the existing SRW (CA3023366, EPP21004) be discharged and a new SRW over the proposed sidewalk and boulevard on the west side of Mah Bing Street and the 4 m x 4 m corner cut, with an option to purchase, be provided by the applicant prior to Development Permit issuance. This SRW area will be transferred to the City once the Building Permit for the subject development is issued.

#### On Site Public Walkways

The western property boundary of the subject site abuts Minoru Park. A 3.0 m wide lit pedestrian walkway with a 0.28 m wide landscape strip on the development side is proposed to run the length of the western property line providing access to the adjacent townhouses and a walking path for all park users. Prior to Development Permit issuance, provision of a 3.28 m wide SRW for public access along the west property line of the site is required.

A 1.2 m wide SRW for public access along the south property line of the site is also required to provide adequate width for two-way traffic on the lane of the neighbouring site. This SRW may also be used as a pathway, and will be connected to the proposed pathway along the west property line, adjacent to Minoru Park.

#### Greenway

The development will create a major greenway connection between Mah Bing Street and Minoru Park in alignment with Murdoch Avenue; an SRW has been secured at Rezoning. The greenway configuration was originally defined by the tower footprints envisioned at Rezoning. In order to better align Tower C's façade with Towers A and B built in Phase 1 of the "Park Residences" development, and to allow for a wider view corridor between Towers C and D, the tower footprints have been modified. As a result, the SRW for the greenway is required to be revised. Staff support the proposed revision as the width and the size of the modified greenway are similar to the original configuration; except that the greenway is to be shifted approximately 3.5 m to the north.



### Existing Legal Encumbrances

There is an existing Statutory Right of Way (SRW) in favour of BC Hydro along the north property line of site (CA2817671, Plan EPP24203). The developer is required to discharge this SRW or confirm an alternative form of approval from BC Hydro prior to Building Permit issuance. The developer is responsible to coordinate with BC Hydro.

### Housing-Rental Replacement and Affordable Housing

When the rezoning application (RZ 04-286496) for the parent parcel of the “Park Residences” (including both Phase 1 and Phase 2) was submitted in 2004, the City did not have a formalized rental housing replacement policy for redevelopment of sites with existing rental units. The applicant has worked cooperatively with the City to create housing options to minimize the impact on the residents. The following table summaries the existing and proposed rental housing availability on-site.

	<b>Existing</b> (6391 and 6491 Minoru Blvd.)	<b>Proposed</b> (7399 Murdoch Ave.)
Senior's Affordable Housing	None designated	22
Market Rental	128	110
<b>Total units</b>	128	132

Tower A in Phase 1 of the “Park Residences” development at 7399 Murdoch Avenue was secured for residential rental by a Housing Agreement. It contains 22 units of senior’s affordable housing for residents 65 years or older, and 110 market rental units. The existing rental buildings on-site (known as 6391 and 6491 Minoru Boulevard) were requested by the City to remain on-site during the construction of the first phase of the “Park Residences” development. At the time of redevelopment of Phase 1, the developer gave the residents at 6391 and 6491 Minoru Boulevard first option for refusal on the new rental units in Tower A when the new rental units were ready for occupancy, which provided the opportunity for those tenants that would be displaced by construction of Phase 2 to rent units in Tower A. All the new rental units in Tower A are currently occupied.

### Tenant Relocation Plan

As per the City’s current OCP requirements, a Tenant Relocation Plan (Attachment 2) for the existing residents at 6391 and 6491 Minoru Boulevard has been provided by the applicant. The proposed Tenant Relocation Plan complies with the Market Rental Housing Policy in the OCP. The applicant has agreed to register a legal document on title, prior to Development Permit issuance, to ensure that the proposed tenant relocation plan will be implemented prior to any demolition construction activity occurs on-site.

### View Blockage and Other Development Impacts

The subject development’s towers generally satisfy Development Permit Guidelines with respect to tower separation. Prior to Development Permit issuance, a covenant will be registered on title to the site to notify potential purchasers that future adjacent development may block views and/or have other impacts.

### Aircraft Noise

The site is designated as “Area 4 - Aircraft Noise Notification Area” where “all aircraft noise sensitive land use types may be considered.” A City’s standard residential aircraft noise covenant has been secured at Rezoning stage. An acoustic report and a mechanical report, prepared by a certified professional and satisfactory to the City, are required prior to Building Permit issuance.

### Floodplain Requirements

In accordance with the City’s Flood Management Strategy, the applicant is required to register a legal document on title referencing the minimum habitable elevation for the area, which is 2.9 m (geodetic). A Flood Indemnity Covenant has been secured at Rezoning stage.

### **Advisory Design Panel Comments**

On November 2, 2019, the Advisory Design Panel (ADP) reviewed and supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP’s comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3), together with the applicant’s design response in ‘*bold italics*’.

### **Analysis**

#### *Conditions of Adjacency*

- The applicant proposes three buildings as follows:
  - Tower C (North of the Greenway): A 15-storey building with five levels of parking, three of which are located within a podium above grade and with townhouse and apartment units facing the public realm in most areas.
  - Towers D and E (South of the Greenway): 15-storey and nine-storey buildings with four levels of parking, three of which are located within a podium above grade with townhouse and apartment units facing on the public realm in most areas with the exception of the south elevation of the podium.
- The north side of the Tower C podium includes a three-storey concrete wall on the north property line that will abut a similar podium wall on the development to the north. The proposed height of the podium wall (at 10.67 m or 35.0 ft.) matches the height of the podium wall to the north. The indoor pool building on level 4 sets back approximately 1.5 m (5.0 ft.) from the north property line and the tower above level 4 sets back approximately 14.0 m (46 ft.) from the north property line.
- Tower C is designed to terrace down from west to east in order to maximize the tower spacing between the proposed Tower C and existing adjacent “Carrera” towers to the north; the proposed minimum tower separation is 38.1 m (125 ft.) to the closest adjacent tower to the north.
- The terracing design of Tower C also maximize the tower spacing between the proposed Tower C and existing adjacent Tower B of “Park Residences” (Phase 1) to the east; the proposed minimum tower separation is 38.2 m (125.3 ft.).

- The massing and orientations of the Towers C, D and E (with narrow, elongated floor plates) are designed to minimize impacts on existing buildings to the east and provide view corridors towards the park.
- Tower E is designed to be nine storey high and set back from Minoru Park in order to minimize impacts on existing adjacent buildings to the south.
- The south wall of the Tower D/E podium includes a three-storey concrete wall, clad in brick and vine planting systems, set back 1.44 m (4.7 ft.) from the south property line, and faces the side of the existing tower to the south.

### ***Architectural Form and Character***

- The proposed form of development, which combines articulated streetwall building elements and towers, generally complement with the adjacent residential and mixed-use projects developed under the City Centre Area Plan (CCAP).
- The proposed development is a continuation of the high-density residential tower project generally envisioned under the site specific zone adopted in 2008. While the density and building heights are higher than that provided under the current CCAP designation (adopted in 2009), the project has a similar density and the building height found throughout much of Brighthouse Village.
- Proposed massing, height and architectural expression of the towers, and overall character of the proposed development are generally in compliance with the applicable Design Guidelines.
- The massing of the towers is reduced by reinforcing their verticality with large glass surfaces contained by a well proportioned, full-height solid grid frame at the northern portion of Tower C and northeast corners of Tower D respectively. The other sides of the towers reduce the perception of mass with a combination of a solid grid frame and glass surfaces.
- Massing is refined further by a series of three-storey elements, grounding the tower at the Greenway and Mah Bing Street. The lighter glazed tower is recessed and appears to float above.
- Major balconies (especially south and west facing) wrap around and provide sun shade for the corner units. Window walls will be used especially higher up, to give the appearance of a light structure above, reducing the appearance of mass.
- Significant corner elements will be clad in cementitious panels. Elements closer to the ground will be clad in brick, whereas other solid elements will be painted concrete frames with punched windows.
- The scale and architectural detailing, including materials and colours of the proposed ground-oriented units, the entrance to the residential towers, and other architectural features in the lower levels help to reinforce a pedestrian scale.



### ***Urban Design and Site Planning***

- The proposed buildings have been carefully sited to minimize potential impacts to views and shadows on existing and future neighbouring developments. The towers are oriented east-west and step inwards, to take advantage of the westward park views. The east-west origination leans itself towards a narrow, elongated floor plates. This orientation provides view corridors towards the park for future developments to the east of the subject site.
- While Tower C is designed to terrace down from west to east, Tower D is designed to descend from east to west in order to maximize tower spacing between Tower C and Tower D and to increase view exposure and balcony opportunities westward towards Minoru Park. Tower E, at nine storeys, is massed similarly to Tower D, but at a lower ultimate height.
- The edge conditions along Minoru Park, the proposed greenway and Mah Bing Street achieve the proper pedestrian scale and provide a gentle transition between sidewalk/public walkway and building. The relationship between public, semi-private, and private realms is well resolved and provides a high quality streetscape.
- Townhouse units line the Minoru Park frontage with a raised patios. Additional townhouse units and main entrances for Towers C and D are proposed along the greenway to provide “eyes on the street”.
- The façades of the podiums along Mah Bing Street are designed to minimize the visual impact of the parkade entrances. Street-fronting indoor amenity areas are designed to animate Mah Bing Street. Extent of glass window wall at units above grade is maximized.
- Extent of solid façade on the east elevation of the Tower C podium is minimized and is softened with brick treatment and vertical landscaping.
- Loading and waste collection will be provided within laybys off of Mah Bing Street adjacent to each of the parkade entrances
- There is a total of 358 parking spaces provided in the two podiums (311 residential and 47 visitor parking spaces; including nine accessible parking stalls). The proposed number of parking spaces is consistent with the parking requirements under the ZHR4 zone subject to the provision of Transportation Demand Measures (TDM) to the satisfaction of the City. The TDM includes:
  - a greenway to Minoru Park through the subject site, which provides a direct and functional connection from Minoru Boulevard to Minoru Park through a combination of road (Murdoch Avenue) and private property right-of-way (ROW) on-site; and
  - an additional 50 Class 1 and 25 Class 2 bicycle parking space beyond the minimum bylaw requirements to promote alternate mode of transportation.
- Energized electric vehicle (EV) charging outlets for 100% of resident vehicle parking spaces (208V - 240V) will be provided.
- The proposal will feature 62 parking spaces in a tandem arrangement. Registration of a restrictive covenant to prohibit the conversion of the tandem garage area into habitable space, and to ensure that both parking spaces be assigned to the same dwelling unit where two parking spaces are provided in a tandem arrangement, is required prior to Development Permit issuance.

- Registration of a restrictive covenant to the number of visitor parking stalls per zoning bylaw requirements will be maintained in perpetuity is required prior to Development Permit issuance.
- There is a total of 412 bicycle parking spaces provided throughout the site (340 Class 1 and 72 Class 2 spaces).
- All residential bicycle parking spaces/lockers will be provided within bike storage room within the parking structure. Prior to Development Permit issuance, a restrictive covenant is required to be registered on title to ensure that:
  - Conversion of the proposed bike storage room/lockers in this development into habitable space or general storage area is prohibited.
  - The bike storage room must remain available for shared common use and for the sole purpose of bicycle storage.
- 32 visitor bicycle parking spaces will be provided in the open area by each of the main entry of Towers C, D, and E. As there is insufficient room to provide additional bicycle racks on the exterior without impacting the proposed public greenway, the balance of the visitor bicycle parking spaces are to be provided within the parking structures: 10 spaces will be provided adjacent to the vestibule serving visitor parking for Tower C; and 30 spaces will be provided near the south end of visitor parking in Towers D and E. Prior to Development Permit issuance, a restrictive covenant is required to be registered on title to ensure that:
  - The number of visitor bicycle parking spaces per Zoning Bylaw requirements will be maintained in perpetuity.
  - Conversion of the proposed visitor bicycle parking areas in this development into habitable space or general storage area is prohibited.
- It is noted that garbage and recycling collection vehicles currently access the Minoru Towers property (adjacent residential development at 6611 Minoru Boulevard) by driving across the southeast corner of the subject site though there is no access easement registered on title. The applicant had contacted the strata of 6611 Minoru Boulevard and proposed two options to provide truck access to the garbage and recycling collection facilities at 6611 Minoru Boulevard. One of the options involves physical changes to the Minoru Towers property and the other does not. Since there is no agreement with the adjacent strata corporation regarding modifications to their property, the applicant offers to provide a hammerhead at the southwest corner of the subject property to allow garbage and recycling collection vehicles servicing 6611 Minoru Boulevard to turn-around. No physical changes to the Minoru Towers property is required. The proposed hammerhead is designed by the applicant's traffic engineers (Attachment 4) and the proposal is acceptable to Transportation and Environment Services staff. Prior to Development Permit issuance, an SRW over the entire hammerhead area for public rights-of-passage (PROP) will be required.
- The applicant has also worked with the owners of 6551 Minoru Boulevard to relocate the existing garbage and recycling bins for that residential development to a new location that would not impede traffic flow and truck movement to the Minoru Towers property south of the subject site. Correspondence related to this matter between the applicant and the property management company of 6551 Minoru Boulevard are on file.

***Tree Management***

- The applicant has submitted a Certified Arborist's Report; which identifies on-site and off-site tree species, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The Report identifies eight bylaw-sized trees on the subject development site, all in good to fair condition, and recommends that all of them be removed since they are falling within the proposed building footprints or area of heavy construction (i.e., underground services as coordinated in Servicing Agreement or required pedestrian pathway along Minoru Park).
- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 16 replacement trees are required. The applicant is proposing to plant 120 replacement trees on-site, including 70 conifer and 50 deciduous trees.
- The proposed buildings and underground parking structures have been set back sufficiently to enable retention of trees located along the adjacent Minoru Park frontage. Landscape installation within the Critical Root Zone will be coordinated with the consulting arborist.
- Prior to Development Permit issuance, the applicant is required to submit to the City of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to the tree protection zones for trees located within Minoru Park. The contract must include the scope of work required, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection, and a provision for the Arborist to submit a post-construction impact assessment to the City for review.
- Prior to demolition of the existing buildings on the subject development site, installation of tree protection fencing around adjacent trees within Minoru Park is required. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.
- Tree preservation strategy for off-site servicing works will be reviewed as part of the Post Approval Revision to Servicing Agreement (SA 08-413951).

***Landscape Design and Open Space Design***

- The proposed greenway located between Towers C and D will provide a generous public open space between the two buildings, creating a new connection between Minoru Park and Mah Bing Street.
- The greenway features a plaza with Public Art, benches, planting beds with trees, and open flexible lawn areas for picnics or active play. A gateway trellis is proposed at the west end of the greenway to announce the arrival to Minoru Park.
- At the Minoru Park interface, a 3.0 m wide walkway is provided and will connect to the existing walkway established on the adjacent development to the north.
- The overall landscape concept satisfactorily enhances and softens the interface between building(s) and the public realm.
- Building lobbies and private patios with individual gates are proposed along the greenway and along the walkway adjacent to Minoru Park to animate the public realm.



- Along Mah Bing Street, the public realm is primarily defined by a tree lined boulevard.
- The podium roofs on Level 4 are designed to be a “landscaped roof” with significant landscaping and planting areas that will help to reduce storm water flow and provide a pleasant outdoor amenity for the residents.
- Tower C has an outdoor amenity space featuring a children’s play area with a kid table and sitting poles, a play house, a spring toy and a play tower with climbing net, wood post and plastic slide. In addition, there is a patio area, a sodded lawn, an urban agriculture space, and a south-facing amenity deck which can be considered as an outdoor extension of the indoor pool area.
- Towers D and E share an outdoor space which feature a larger children’s play areas; in addition to the kid table, play house, spring toy, and play tower featured in Tower C, a single balance beam and timber steps are included in the play area. In addition, similar to the Tower C rooftop, an amenity deck adjacent to the indoor pool area is proposed.
- With the open space provided in the greenway, the proposed size of the outdoor amenity space exceeds the minimum identified under the Development Permit Guidelines.
- Proposed children’s play area (composed of the open lawn areas in the proposed greenway and the children’s play spaces on Level 4 in both towers) meets the minimum identified under the Development Permit Guidelines.
- The CCAP requires that multi-family development comprising 200 units or more provide indoor amenity space at a standard of 2 m<sup>2</sup> (21.5 ft<sup>2</sup>) per dwelling unit. The subject development exceeds the CCAP minimum and provides for 854 m<sup>2</sup> (9,201 ft<sup>2</sup>) of indoor amenity space located over three floors in the podium. Tower C features a fitness room on ground floor, an amenity room on the second floor, and a pool area on level 4. Towers D & E feature an amenity rooms on the ground floor and a pool area on level 4.
- An irrigation system is proposed to ensure continued maintenance of live landscaping on site.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,066,863.05 in association with the Development Permit.

### ***Public Art***

- The applicant is participating in the public art program. Contribution was secured through the Rezoning. The art piece will be approved through the standard public art approval process and is intended to be installed in the greenway connecting Mah Bing Street to Minoru Park. Registration of a public art covenant is required prior to Development Permit issuance.

### ***Crime Prevention Through Environmental Design***

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Ground-oriented units are proposed along the greenway and Minoru Park to create animation and facilitate casual surveillance for added pedestrian’s safety. Units in Levels 2 and 3 of the podium, along Mah Bing Street, also achieve this general objective.
- Pedestrian accesses to the ground-oriented units will be raised above grade clearly denoting them as private space.

- Vehicular accesses for visitors are gated; entry for non-residents will be controlled by residents via cell phone technology.
- Parking is on designated half levels; each half level is open visually at all ends.
- Openings are provided at all intermediate ramps to increase visual access between levels.
- Elevator lobbies are fully glazed; vestibule doors to access residential areas feature glazed opening with wired Georgian glass.

### ***Energy and Sustainability***

- The subject site will be required to connect to the City's District Energy Utility (DEU) via connection to energy transfer stations to be located in DEU mechanical rooms within the buildings. Registration of a legal agreement on title is required, securing the owner's commitment to connect to a DEU that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. Prior to Building Permit Issuance, DEU mechanical room size and location, service connection routing, and building mechanical system compatibility are subject to approval of the City and the DEU provider LIEC. The owner will also be required to provide mechanical drawings and detailed energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements prior to Building Permit issuance.
- The project is subject to the Step 2 of the Energy Step Code.

### ***Accessible Housing***

- The proposed development includes 12 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### ***Servicing Requirements***

Through Rezoning (RZ 04-286496), the developer had entered into two Servicing Agreements (e.g., SA 07-382691 and SA 08-413951) to service the two phases of the "Park Residences" development. Both Servicing Agreement designs are approved, SA07-382691 covered the recently constructed Servicing Agreement works needed to service Phase 1 (i.e., 7333 and 7399 Murdoch Avenue), while Servicing Agreement (SA 08-413951) will cover the remaining works required to service Phase 2, which is the subject of this Development Permit application.

In order to service the subject site, infrastructure works will be required within Minoru Park due to the existing gravity system. The approved servicing design for Phase 2 (i.e., SA 08-413951) was approved in February, 2012 (bonding is in place). It had been developed to minimize impact

on trees within Minoru Park but it is impossible to complete the infrastructure improvements without some impact on trees within the park. In order to minimize the impact on the trees and address additional servicing modifications, the approved Servicing Agreement for Phase 2 requires modification to match existing conditions. The required modifications will be facilitated through a post approval revision, in consultation with the parks department. This will be a condition to Development Permit issuance. Site servicing works are being coordinated with Parks and Engineering staff; detailed design review is ongoing. Any tree removal and replacement associated with the SA works will be determined by the Parks Services Department.

### **Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee  
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EL:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Tenant Relocation Plan

Attachment 3: Excerpt from Advisory Design Panel Meeting Minutes (November 2, 2019)

Attachment 4: Turning Paths at 6611 Minoru Boulevard - Garbage Truck and Recycling Truck

Attachment 5: Development Permit Considerations





**DP 18837117**

**Attachment 1**

Address: 6333 Mah Bing Street

Applicant: WT Leung Architects Inc.

Owner: 410730 BC Ltd.

Planning Area(s): City Centre

Floor Area Gross: 30,525.55 m<sup>2</sup> (328,574 ft<sup>2</sup>)

Floor Area Net: 27,948.47 m<sup>2</sup> (408,474 ft<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	9,810 m <sup>2</sup> (105,594 ft <sup>2</sup> )	Post road dedication as secured at Rezoning = 8,720 m <sup>2</sup> (93,861 ft <sup>2</sup> )
<b>Land Uses:</b>	Multi-family Residential	Multi-family Residential
<b>OCP Designation:</b>	Mixed Use	No Change
<b>Area Plan Designation</b>	City Centre Area Plan: General Urban T5 (25 m) Sub-Area B.3: Mixed Use – High-Rise Residential, Commercial & Mixed Use	No Change
<b>Zoning:</b>	ZHR4	No Change
<b>Number of Units:</b>	124	232

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio (Residential):	3.40	3.21	none permitted
Floor Area Ratio (Amenity Space):	0.10	0.10	none permitted
Lot Coverage - Building:	Max. 90 %	67%	none
Setback – Front Yard:	Min. 6.0 m	6.0 m	none
Setback – Side Yard (north):	n/a	0.0 m	none
Setback – Side Yard (south):	n/a	1.44 m	none
Setback – Rear Yard (west):	Min. 6.0 m	6.0 m	none
Height (m):	Max. 47.0 m geodetic	47.0 m geodetic	none
Lot Size:	13,000 m <sup>2</sup> (139,930 ft <sup>2</sup> )	8,720 m <sup>2</sup> (93,861 ft <sup>2</sup> )	<b>Variance Requested</b>
Off-street Parking Spaces – Residential:	327 or 295 with TDM	311 with TDM	none
Off-street Parking Spaces – Visitor:	47	47	none
Off-street Parking Spaces – Total:	374 or 342 with TDM	358 with TDM	none

Accessible Parking Spaces:	Min. 2% when 11 or more spaces are required (358 x 2% = 8 spaces)	9	none
Tandem Parking Spaces:	Max. 100%	62	none
Small Car Parking Spaces:	Max. 50% when 31 or more spaces are provided on-site (358 x Max. 50% = 179)	149	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.20 (Class 2) per unit	1.46 (Class 1) and 0.31 (Class 2) per unit	none
Bicycle Parking Spaces - Total:	290 (Class 1) and 47 (Class 2)	340 (Class 1) and 72 (Class 2)	none
Amenity Space – Indoor:	Min. 2 m <sup>2</sup> x 232 units = 464 m <sup>2</sup> (4,994 ft <sup>2</sup> )	835 m <sup>2</sup> (8,987 ft <sup>2</sup> )	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 232 units + 10% of net site area = 2,219 m <sup>2</sup> (23,885 ft <sup>2</sup> )	3,054 m <sup>2</sup> (32,873 ft <sup>2</sup> )	none

**(A) Current Site Information**

<b>Site Address:</b>	6391 Minoru Blvd / 6491 Minoru Blvd (new site address 6333 Mah Bing Street)
<b>Legal Description:</b>	Lot B, Section 8, Block 4 North Range 6 West, NWD Plan EPP21002
<b>Owner Name:</b>	410730 BC Ltd (Park Residences Phase II Limited Partnership)
<b>Applicant Name:</b>	Rachel Hutton, Stikeman Elliott LLP
<b>Phone:</b>	604-631-1342
<b>E-mail:</b>	rhutton@stikeman.com
<b>Current Zoning:</b>	Richmond Bylaw 8300 Amendment Bylaw No. 8103 (per RZ004-286496 adopted Sept 08, 2008)
<b>Current Rental Type:</b> (select all that apply)	<input checked="" type="checkbox"/> Market <input type="checkbox"/> Non-market <input type="checkbox"/> Cooperative <input type="checkbox"/> Other (please specify):

**(B) Current Total Rental Units**

Unit Type	Number of Current Units			Average Monthly Rent	Average Size (m <sup>2</sup> )
	Total	Occupied	Ground-Oriented*		
Studio	06	05	0	\$ 0 884.00	52.0
1 BR	67	62	0	\$ 1 054.68	72.2
2 BR	46	45	0	\$ 1 262.67	102.8
3 BR	05	05	0	\$1 433.00	124.9
3+ BR					
<b>Total</b>	<b>124</b>	<b>117</b>	<b>0</b>	n/a	n/a

**(C) New Rental Units ( \*CONSTRUCTION COMPLETED - OCCUPANCY Nov 2016 )**

Unit Type	New Rental Units			
	Number of Units	Ground-Oriented*	Initial Average Monthly Rent at occupancy	Average Size (m <sup>2</sup> )
Studio	28	0	\$ 0 927.78 senior ** \$ 1 115.00 market ***	46.1
1 BR	74	0	\$ 1 000.00 senior ** \$ 1 347.88 market ***	50.0
2 BR	30	0	\$ 1 882.67 market ***	70.3
3 BR				
3+ BR				
<b>Total</b>	<b>132</b>	n/a	n/a	n/a

\* Ground-oriented unit means a unit that is directly accessible from the road

\*\* 22 units seniors' housing was provided with rents capped at \$1 000/ month per housing agreement

\*\*\* 110 units market housing was provided



## (D) Tenant Relocation Plan

Tenant Relocation Plan Components	Tenant Relocation Plan	Comply with the policy?
<b>Notification:</b> <ul style="list-style-type: none"> <li>A minimum 4 months' notice to end tenancy, and otherwise as set out in the provincial <i>Residential Tenancy Act</i></li> </ul>	<p>The <i>Residential Tenancy Act</i> will be followed as it pertains to notification and compensation</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<b>Right of First Refusal:</b> <ul style="list-style-type: none"> <li>Offer to return to the building, with rent rates set at low-end market rental (LEMR) rates (without having to meet income thresholds)</li> </ul>	<p>132 Replacement Rental Units were constructed, completed and occupancy granted December 06, 2016 (110 market + 22 non-market seniors' affordable) Existing Tenants were offered first refusal Yes, 19 accepted the offer</p> <p>*NOTE: Rezoning adopted Sept. 08, 2008; initial rents were as per rates outlined in housing agreement – rates were established at max \$1 000 / month for seniors non market as outlined in the housing agreement</p> <p><u>July 07, 2020 – updated</u> Existing tenants received a letter offering priority viewing on Oct. 18, 2016.</p> <p>As a condition of rezoning, the owns of the existing buildings entered a legal agreement with the City of Richmond requiring demolition of these buildings within two years of occupancy (Mandatory Demolition was to occur by December 05, 2018).</p> <p>A demolition bond of \$577 500 was also posted</p> <p>The owner of these rental properties had ceased signing lease agreements beyond 2018 in anticipation of required demolition, and all new rentals are handled on a month to month basis</p> <p>Planning requested in 2018 that demolition be deferred pending revisions to rental policies</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>
<b>Relocation Assistance:</b> (Only required for tenants with tenancy of 1+ years) <ul style="list-style-type: none"> <li>Accommodation must meet the tenant's needs</li> <li>Accommodation should be located in Richmond or in another location at the tenant's discretion</li> <li>Rents at the new location should not exceed CMHC average area rents for Richmond</li> </ul>	<p>The developer will provide relocation assistance</p> <p>Yes, a Tenant Relocation Coordinator will be retained to provide relocation assistance</p> <p><u>July 07, 2020 – updated</u></p> <p>The relocation coordinator will be Betty Thien, Property Manager (Rhome)</p> <p><a href="mailto:Betty.Thien@Rhomepm.com">Betty.Thien@Rhomepm.com</a> - 604-501-4413</p>	<p><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>

<b>Compensation:</b> <i>(Only required for tenants with tenancy of 1+ years)</i> <ul style="list-style-type: none"> <li>3 months' free rent or lump sum equivalent</li> </ul>	<p>3 months free rent or lump sum equivalent will be provided</p> <p><u>July 07, 2020 – updated</u></p> <p>For those who qualify for compensation, the option will be provided for 3 months' free rent or lump sum equivalent</p> <p>Those who have resided in the building for five years or more will receive one additional month free rent or lump sum equivalent</p> <p>Those who have resided in the building for ten years or more will receive two additional months free rent or lump sum equivalent</p> <p>Ms. Betty Thien (Rhome Management) will handle all monetary issues</p> <p>All damage deposits will be returned to the tenants upon vacating, as the buildings will be demolished</p>	<p>x Yes  <input type="checkbox"/> No</p>
<b>Communication with Tenants:</b>	<p>Property management has been in communication with tenants during the development application process</p> <p><u>July 07, 2020 – updated</u></p> <p>The on-site manager in regular communication with tenants is Mr. Ivan Petrov, 604-270-6779</p> <p>The DP Sign was erected in front of the buildings, at the intersection of Murdoch and Mah Bing November 13, 2018.</p> <p>After Development Permit Approval and issuance and Demolition Permit Issuance, the applicant will conduct an Open House meeting with tenants (Covid-19 conditions permitting) and will also advise tenants in writing of relocation assistance options and compensation available</p>	<p>X Yes  <input type="checkbox"/> No</p>

Prepared by: \_\_\_\_\_ Doug Millar architect aibc \_\_\_\_\_

Date: \_\_\_\_\_ July 07, 2020 \_\_\_\_\_

Excerpt from the Minutes from  
**The Design Panel Meeting**

Wednesday, November 2, 2019 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall

**1. DP 18-837117 – THREE-TOWER RESIDENTIAL DEVELOPMENT**

ARCHITECT: W.T. Leung Architects Inc.  
LANDSCAPE ARCHITECT: Durante Kreuk Landscape Architects  
PROPERTY LOCATION: 6333 Mah Bing Street

**Applicant's Presentation**

Wing Ting Leung, Arnold Wong, and Doug Millar, W.T. Leung Architects, Inc., Richard O' Connor and Jane Durante, Durante Kreuk Landscape Architects, Daniel Roberts, Kane Consulting, and Willie Perez, MCW Consultants, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

***(Applicant Responses in Bold Italics)***

*Comments from Panel members were as follows:*

- consider installing a pocket door for the ensuite washroom in the master bedroom and an outward swinging door for the second washroom (in lieu of an inward swinging door) in convertible units to enhance accessibility of residents in wheelchairs and strollers;

***WTLA: pocket doors are not typically included on our projects. There are a number of drawbacks to pocket doors in our view. These include difficulty cleaning the inside pocket space and binding that occurs after building settlement, which renders the pocket door inoperable. We will review swing doors and adjust according to the comments***



- consider installing an automatic door from the parkade to the elevator to assist people with disabilities;

***WTLA: The Building Code requires automatic door openers when the proscribed clearances on the push/pull sides of the door are not being met. We will meet the proscribed clearances OR provide automatic openers on every level of the parkade accessed by people with disabilities***

- consider incorporating aging-in-place features for some townhouse units;

***WTLA: Typical aging-in-place features (lever handles, blocking, clearances at door entries) are provided throughout this project. With respect to multi-storey townhouses, there are 10 (ten) three-storey units fronting the park. Each of these units contains its own elevator to assist with aging-in-place***

- proposed public art feature in a highly visible location benefits the project and the public realm, improves wayfinding and enhances the public character of the plaza;

***WTLA: noted***

- consider further breaking down the massing of the podium wall above the parkade entrances facing Mah Bing Street considering their visible and prominent location and the possibility that the proposed vine planting on the podium wall may take time to grow; consider further articulating the podium wall and introducing architectural elements to provide a pedestrian scale treatment to the Mah Bing Street elevation and improve the appearance of the parkade entrances;

***WTLA: The East Elevation has been revised to increase the amount of Gold Glazing at the feature above the parkade entry, and to add Terra Cotta Paneling over the parkade entrance to Towers D/E. Canopies have also been enhanced at Tower Entries.***

- appreciate the current approach to break down the massing of the south façade of Tower E; however, consider further breaking down the mass on the pedestrian level at grade through further articulation, e.g. introducing patterns or another colour for the brick material to provide visual interest to pedestrians; also ensure adequate lighting on the south edge to address potential CPTED concerns;

***WTLA: Brick material provided at south elevation between Terra Cotta at Mah Bing and Glass Panel at park. Separate Lighting Plan has been developed and lighting specs included on landscape drawing L1.9***

- appreciate the project design with open view corridors and the openness to the park; the project is well conceived and well landscaped;

***WTLA: noted***

- review the proposed lighting strategy for the greenway and consider a lighting strategy which balances addressing potential CPTED issues and avoiding light disturbance to neighbouring residences and light pollution; consider installing a greater number of low level lighting to ensure a more even distribution of lighting in the greenway;

***WTLA: Separate Lighting Plan has been developed and lighting specs included on landscape drawing L1.9***

- appreciate the applicant's comprehensive presentation and package submission which includes energy modeling results and LEED scorecard;

***WTLA: noted***

- a 50 percent glass-to-wall ratio is not apparent in the model presented by the applicant; applicant is advised to review assumptions regarding the energy and sustainability aspects of the project to ensure compliance with BC Step Code requirements;

***WTLA: The preliminary model was based on design elevations with less than 50% glass to wall ratio. The building uses a lot of spandrel glass with insulated panel behind, for ease of construction. Spandrel panels are included as wall in the wall-to-window ratios. The elevations are deceptive due to the appearance of more glazing. The spandrel glass inserted as part of the window-wall system for ease of fabrication / ease of construction. BC Step Code compliance will be demonstrated in more detail with the Building Permit submission.***

- review the proposed strategy to mitigate noise from the generator room to ensure that potential noise impacts to the adjacent tower to the south are addressed;

***WTLA: Specific mitigation measures being incorporated:***

- ***Emergency Generator*** – will provide a muffler to reduce sound power at point of discharge;
- ***Parkade Exhaust Ventilation*** – operates “on demand” w/ variable speeds;
- ***Rooftop Units*** – all rooftop equipment is screened visually and acoustically i.e.
  - ***6333 Mah Bing (Tower ‘c’)*** – all equipment is behind a parapet;
  - ***6355 -6399 Mah Bing*** – all equipment is behind a rooftop screen;

***The acoustic noise mitigation properties of all above measures will be incorporated at the Building Permit stage when equipment selections and design details are complete.***

- review the design and energy requirements of the lobby vestibules as these may meet BC Step Code requirements but not provide thermal comfort;

*WTLA: There is no requirement in the BC Building Code 2018 edition for vestibules. Should the refined energy model based on developed Building permit drawings show that the project is not meeting Step 2 requirements then we will need a vestibule. Short of that there is no specific requirement mandating the application of vestibules for this project. We will revisit this issue when the detailed energy model is closer to completion, and act accordingly should vestibules not be required to meet Step Code.*

- appreciate the applicant voluntarily designing the project to achieve LEED Silver Equivalency; however, consider targeting LEED Silver Certification;

*WTLA: The project exceeds LEED Silver Equivalency. The LEED Certification process adds project costs without changing this benefit. These costs are borne ultimately by the purchaser. This is not a value-add to the project and only increases the cost of housing in general.*

- appreciate the model as it helped the Panel better understand the project;

*WTLA: noted*

- consider a consistent approach for the articulation colour and materiality of the soffits on the townhouse versus the tower levels;

*WTLA: Colour details for treatment of various soffits will be developed for construction documents, and will reflect the design approach evident on phase 1, now complete*

*WTLA JUNE 29 – soffits to match colour of concrete (BM-OV 14 – natural cream)*

- consider introducing a different treatment for the main pedestrian entrances of the buildings along the greenway, e.g. through introducing accent colours, banding or coloured canopies over the recesses, to make them more prominent;

*WTLA: Canopies have been accentuated in the drawings – see elevations for revisions*

- appreciate the proposed overall landscaping for the project; and

*WTLA: noted*

- consider introducing more landscape treatment for the three-meter wide sidewalk along the edge of the park to make it more visually interesting.

*WTLA: Changes of paving added to the landscape plans; the front entrances to the buildings changed to special paving. Refer to landscape plans*

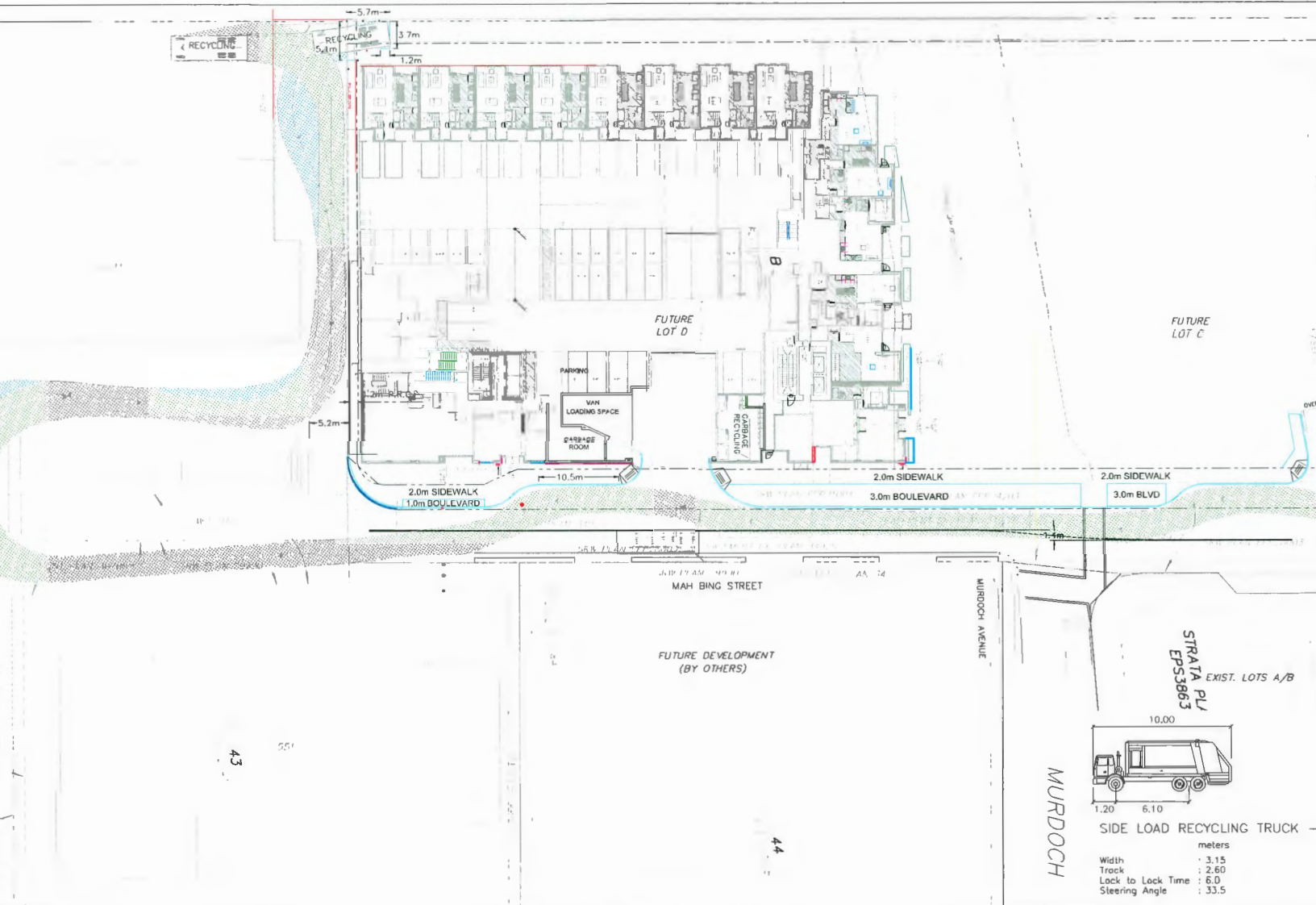


**Panel Decision**

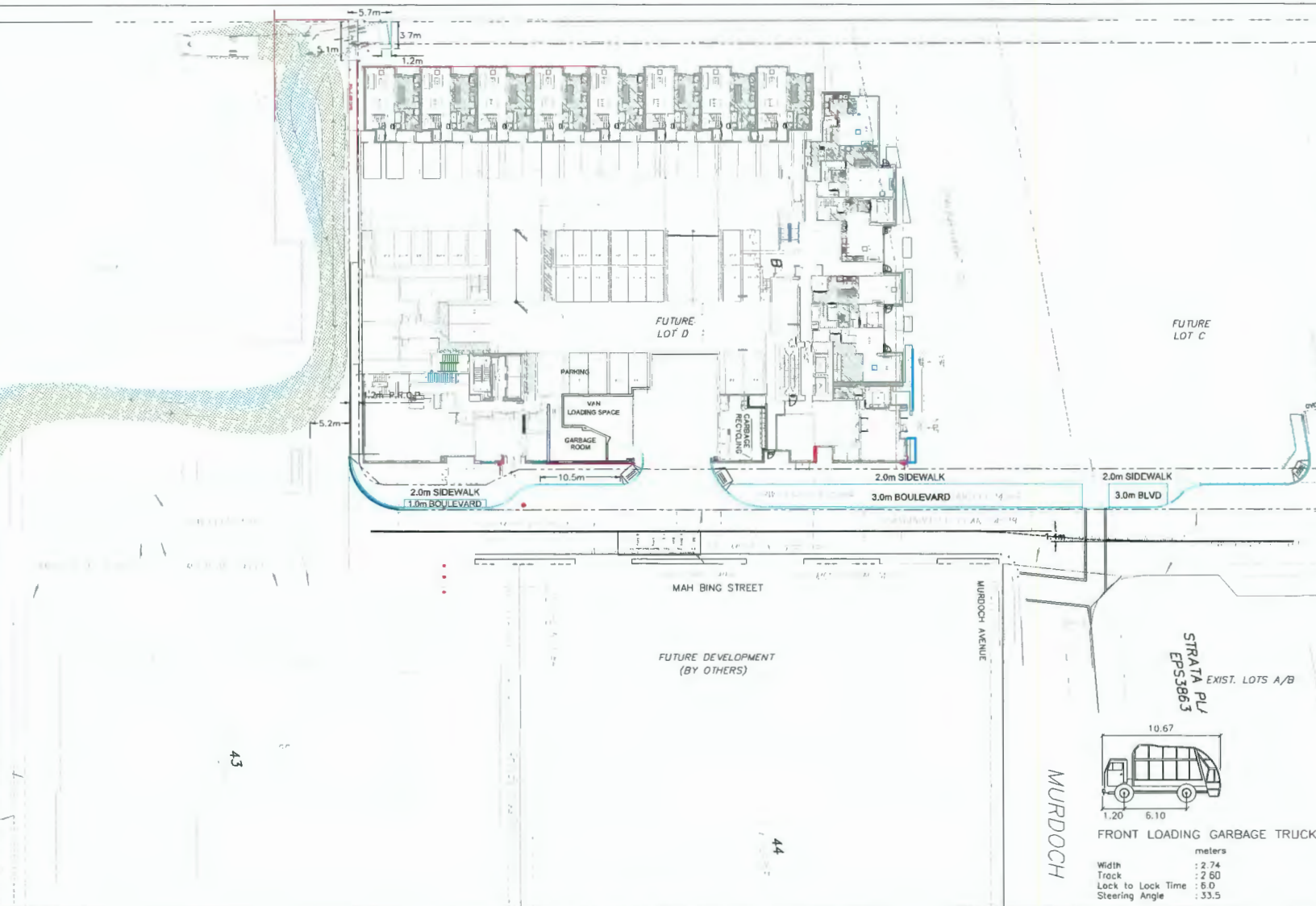
It was moved and seconded

*That DP 18-837117 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**



RICHMOND 6333 MAH BING STREET (DP 18-837117)  
 MAH BING STREET FUNCTIONAL DESIGN  
 RECYCLING TRUCK ENTERING AND EXITING LOADING AREAS



**RICHMOND 6333 MAH BING STREET (DP 18-837117)**  
 MAH BING STREET FUNCTIONAL DESIGN  
 GARBAGE TRUCK ENTERING AND EXITING LOADING AREAS





## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6333 Mah Bing Street

**File No.:** DP 18-837117

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Discharge of Statutory Right of Way CA3023366 (Plan EPP21004) for "Utilities and Sidewalk - Lot B".
2. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site for utilities and sidewalk. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. Languages should be included in the document that the entire SRW area shall be transferred to the City after the Building Permit for the development (DP 18-837117) has been issued, and prior to Final Inspection of the Building Permit (i.e., occupancy) is granted.
3. Granting of a 3.28 m wide statutory right-of-way along the entire west property line of the site for the purposes of a public walkway. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
4. Granting of a 1.2 m wide statutory right-of-way along the entire south property line of the site to provide adequate width for two way traffic on neighbour's lane. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works. The property owner/strata are responsible for all maintenance of improvements, including but not limited to the public walkways/sidewalks, street furniture, lighting and landscaping within the SRW, and are responsible for all liability of SRW area.
5. Replace Plan EPP21005 attached to Statutory Right of Way CA3023344 to reflect the new alignment of the public greenway.
6. Registration of a legal agreement(s) regarding the developer's commitment to the proposed Tenant Relocation Plan. Languages should be included in the document to confirm adherence to the Tenant Relocation Plan prior to any demolition construction activity on site.
7. Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
8. Registration of a statutory right-of-way, and/or other legal agreements or measures, as determined to the satisfaction of the Director of Development, over the proposed hammerhead area at the southwest corner of the site to facilitate truck turnaround capability between the subject site and the property to the south at 6611 Minoru Boulevard. Any works essential for truck turnaround within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA). The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

Initial: \_\_\_\_\_

9. Registration of a legal agreement on title ensuring that:
  - a) where two parking spaces are provided in a tandem arrangement both parking spaces must be assigned to the same dwelling unit ; and
  - b) conversion of tandem parking area into habitable space is prohibited.
10. Registration of a legal agreement on title ensuring that:
  - a) the number of visitor parking stalls per zoning bylaw requirements will be maintained in perpetuity;
  - b) selling, leasing, assigning, or designating any of the visitor parking spaces to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
  - c) the required visitor parking stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
11. Registration of a legal agreement on title ensuring that:
  - a) conversion of any of the bicycle parking areas within the parking structure into habitable space or general storage area is prohibited; and
  - b) all of the bicycle parking areas are available for shared common use and for the sole purpose of bicycle storage.
12. Registration of a legal agreement on title ensuring that:
  - a) the number of visitor bicycle parking (Class 2) stalls per zoning bylaw requirements will be maintained in perpetuity;
  - b) selling, leasing, assigning, or designating any of the visitor bicycle parking (Class 2) stalls to individual unit owners/renters/occupants or any other persons by the developers/applicants/owners and future strata councils is prohibited; and
  - c) the required visitor bicycle parking (Class 2) stalls are available for the common use of visitors to this development and are accessible to visitors at all times.
13. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
  - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
  - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
  - c) If a DEU is not available for connection, then the following is required prior to the earlier of subdivision (stratification) or final building inspection permitting occupancy of a building:
    - i) the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
    - ii) the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
    - iii) the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building;
    - iv) if required by the Director of Engineering, the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
14. Registration of a Public Art Covenant on title for the implementation of the City approved Public Art Plan.
15. Receipt of a Letter of Credit for landscaping in the amount of \$ 1,066,863.05 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

Initial: \_\_\_\_\_

16. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within or in close proximity to the tree protection zones for trees located within Minoru Park. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
17. Approval of a Post Approval Revision to SA 08-413951. An updated Letter of Credit or cash security for the value of the revised Service Agreement works, as determined by the City, will be required as part of the Post Approval Revision to SA 08-413951. Works include, but may not be limited to:

Water Works:

- Using the OCP Model, there is 344 L/s of water available at a 20 psi residual at the Mah Bing street frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
- At the developer's cost, the Developer is required to:
  - Update the water works design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
  - Install the proposed 200mm diameter watermain at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
  - Provide new hydrants to meet the 75m standard spacing required as per City standard.
  - Install new water service connection off of the proposed 300 mm PVC water main along the Mah Bing frontage. Meter to be located onsite (i.e. in a mechanical room).

Storm Sewer Works:

- At the Developer's cost, the Developer is required to:
  - Update the storm sewer design as per approved SA08-413951 to reflect the actual invert elevations at the tie-in points.
  - Install the proposed 600mm diameter storm sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
  - Revise the alignment of the proposed box culvert (as per SA08-413951) in the proposed greenway to match the latest greenway concept and revise the proposed box culvert alignment in the park to minimize required tree removal. Parks and Engineering staff will provide directions on this prior to revising SA08-413951.

Sanitary Sewer Works:

- At the Developer's cost the Developer is required to:
  - Update the sanitary sewer design (as per approved SA08-413951) to reflect the actual invert elevations at the tie-in points.
  - Install the proposed 250mm diameter sanitary sewer at the frontage of Tower D & E (i.e., southern portion of Mah Bing Street) as per SA08-413951.
  - Revise the alignments of the proposed sanitary main and forcemain in the proposed greenway (as per approved SA08-413951) to match the latest greenway concept.
  - Provide an updated tree survey within the affected portion of Minoru Park and determine an alignment for the proposed box culvert, forcemain and sanitary main that will require the least tree removal. Parks and Engineering staff will provide input on this prior to revising SA08-413951.
  - Revise the alignment of the proposed sanitary main (as per approved SA08-413951) from the west property line to an alignment through the Minoru Park.
  - Confirm whether the existing sanitary main (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
- At Developer's cost, the City is to:
  - Cut and cap, at main, all existing service connections to the development site and remove inspection chambers.
  - Perform all tie-ins to existing City infrastructure.

Initial: \_\_\_\_\_



Frontage Improvements:

- The Developer is required to:
  - Provide other frontage improvements as per Transportation's requirements, provided separately. Changes to the road width, sidewalks, boulevards, etc) Improvements shall be built to the ultimate condition wherever possible.
  - Coordinate with BC Hydro, Telus and other private communication service providers to pre-duct for future hydro, telephone and cable utilities along the Mah Bing Street frontages.
  - Coordinate with BC Hydro, the removal or relocation within the proposed development of the existing PMT that fronts the proposed Tower C (i.e., proposed building north of the proposed greenway) at the east side of Mah Bing Street.
  - Coordinate with BC Hydro, Telus and other private communication service providers to determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These should be located onsite, as described below.
  - Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the DP architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:
    - Vista – Approximately 8.8 x 6.5 m, confirm SRW dimensions with BC Hydro
    - BC Hydro PMT – 4.0 x 5.0 m
    - BC Hydro LPT – 3.5 x 3.5 m
    - Street light kiosk – 1.5 x 1.5 m
    - Traffic signal kiosk – 2.0 x 1.5 m
    - Traffic signal UPS – 1.0 x 1.0 m
    - Shaw cable kiosk – 1.0 x 1.0 m
    - Telus FDH cabinet – 1.1 x 1.0 m
  - Revise the street lighting design as per SA08-413951 to update to current City Center standards.

General Items:

- The Developer is required to:
  - Provide an updated tree survey, arborist report and QEP report to confirm whether the existing trees and RMA in Minoru Park will be affected by the developer's proposed sanitary line construction.
  - Provide, within the post approval revision to the servicing agreement or prior to start of site preparation works (whichever comes first), a geotechnical assessment of preload, de-watering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
  - Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per the geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
  - Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of groundwater, the Developer will be required to enter into a de-watering agreement with the City wherein the developer will be required to treat the groundwater before discharging it to the City's storm sewer system.
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other

Initial: \_\_\_\_\_

activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
- Conduct pre and post construction video inspections of adjacent sewer mains to check for possible construction damage. At their cost, the developer is responsible for rectifying construction damage.

Notes:

- For City review, the developer shall submit the cost estimate from the winning contractor for the works covered under the approved post approval revision to SA08-413951, which will be the basis of the updated security bond. If the winning contractor's estimate is not available, a signed and sealed Engineer's estimate would be acceptable subject to a 150% bonding percentage.
- Prior to start of any site preparations works (e.g., preload, soil densifications, etc.), the developer is required to:
  - Complete the post approval revision to SA08-413951 and extend first the proposed sanitary main, forcemain and box culvert through the proposed greenway and tie-in to the existing sanitary main, forcemain and canal inside Minoru Park.
  - Confirm whether the existing sanitary main at the north end of Mah Bing Street (coming from the property to the north that is 7368 Gollner Avenue) is live. If it is live, the developer is required to relocate that existing sanitary main prior to any site preparation works.
  - Remove or relocate the existing PMT at the west side of Mah Bing Street fronting the proposed tower C (i.e., proposed building north of the proposed greenway).

**Prior to Demolition Permit Issuance, the developer must complete the following requirements:**

1. Provide written confirmation and supporting documents to demonstrate that the proposed Tenant Relocation Plan has been implemented.
2. Installation of appropriate tree protection fencing adjacent trees within Minoru Park prior to any construction activities, including building demolition, occurring on-site.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Dedicate the SRW area (Plan EPP28003, CA3023335) on the subject site (i.e., Mah Bing Street secured as part of the rezoning application RZ 04-286496) to the City once the existing rental buildings on site are demolished.
2. Discharge of existing Statutory Right of Way (SRW) (CA2817671, Plan EPP24203) or confirm an alternative form of approval from BC Hydro to facilitate the proposed development.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Prior to Final Inspection of Building Permit (i.e., Occupancy), the developer must complete the following requirements:**

1. Transfer of the SRW area over the proposed sidewalk and boulevard areas along Mah Bing Street and the proposed 4.0 m x 4.0 m corner cut at the southeast corner of the site, secured as part of the Development Permit application DP 18-837117 to the City.

Initial: \_\_\_\_\_

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date





# City of Richmond

## Development Permit

**No. DP 18-837117**

To the Holder: W. T. LEUNG ARCHITECTS  
Property Address: 6333 MAH BING STREET  
Address: C/O 973 W. BROADWAY STREET, UNIT 300  
VANCOUVER, BC V5Z 1K3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum lot area from 13,000 m<sup>2</sup> (139,930 ft<sup>2</sup>) to 8,227 m<sup>2</sup> (88,554 ft<sup>2</sup>).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #74 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,066,863.05 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

## Development Permit

No. DP 18-837117

To the Holder: W. T. LEUNG ARCHITECTS  
Property Address: 6333 MAH BING STREET  
Address: C/O 973 W. BROADWAY STREET, UNIT 300  
VANCOUVER, BC V5Z 1K3

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

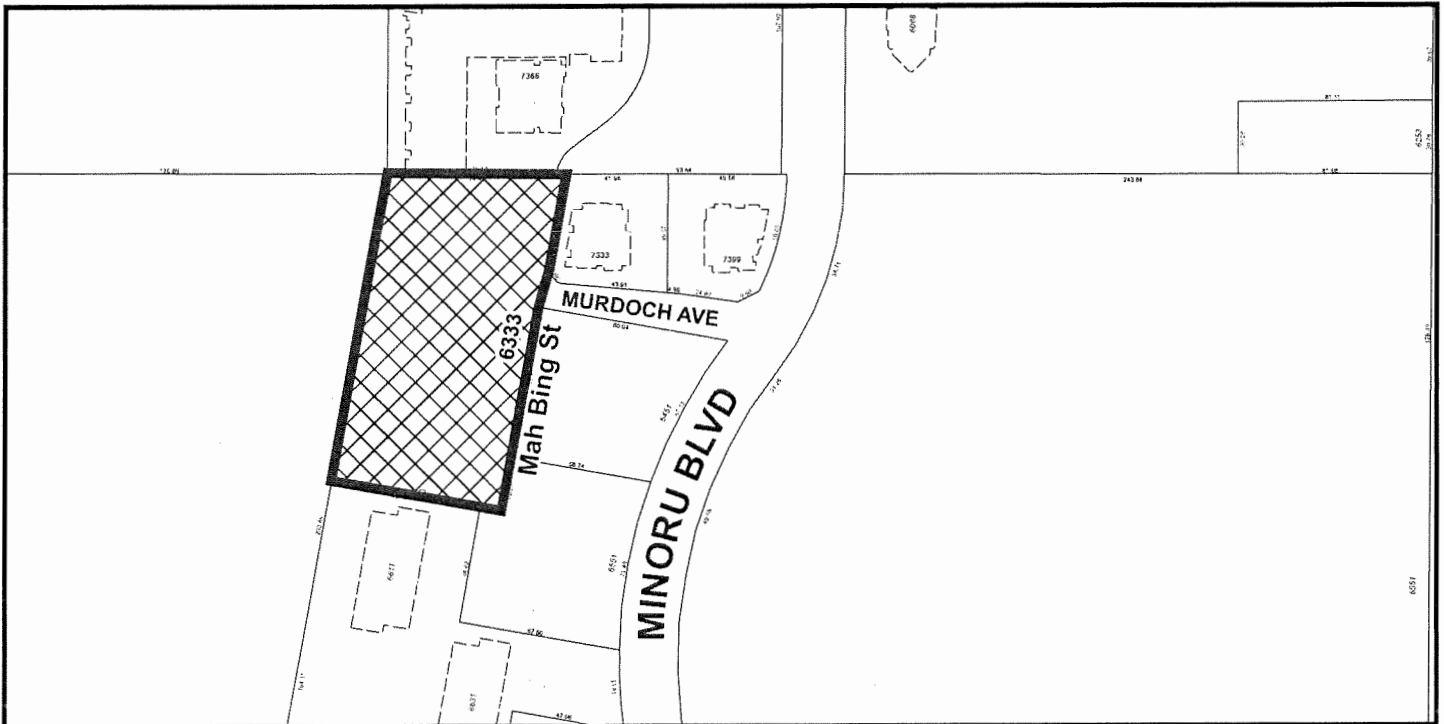
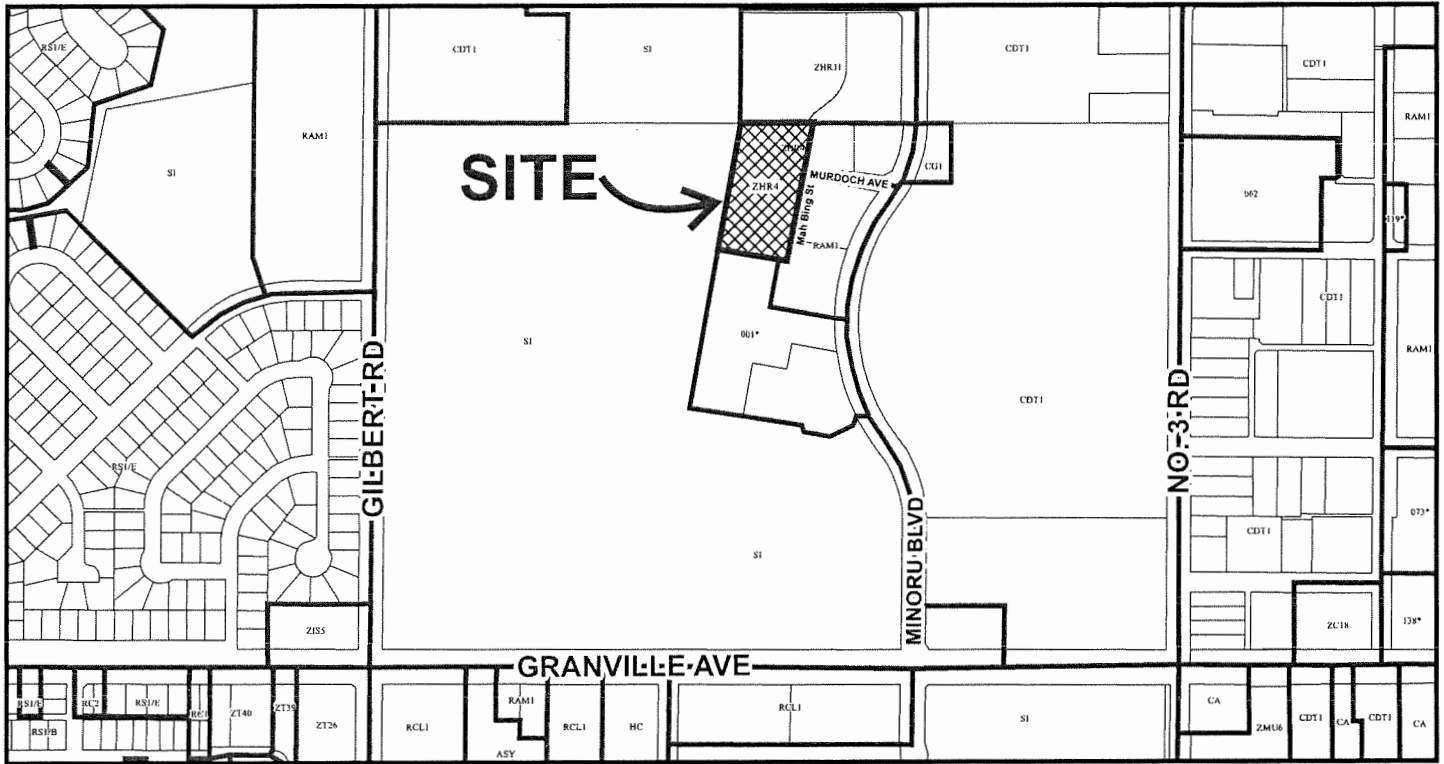
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



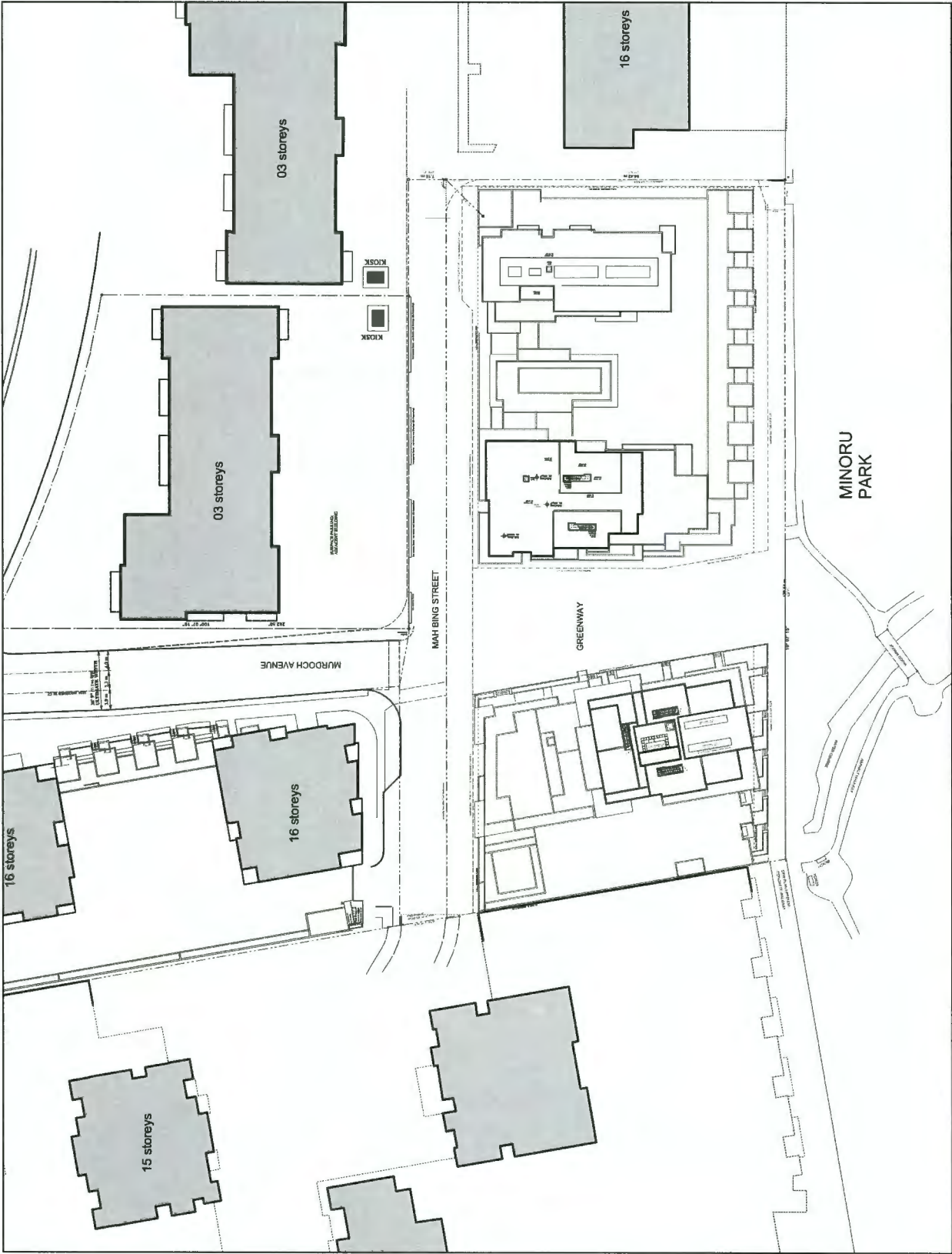
DP 18-837117  
SCHEDULE "A"

Original Date: 09/27/18

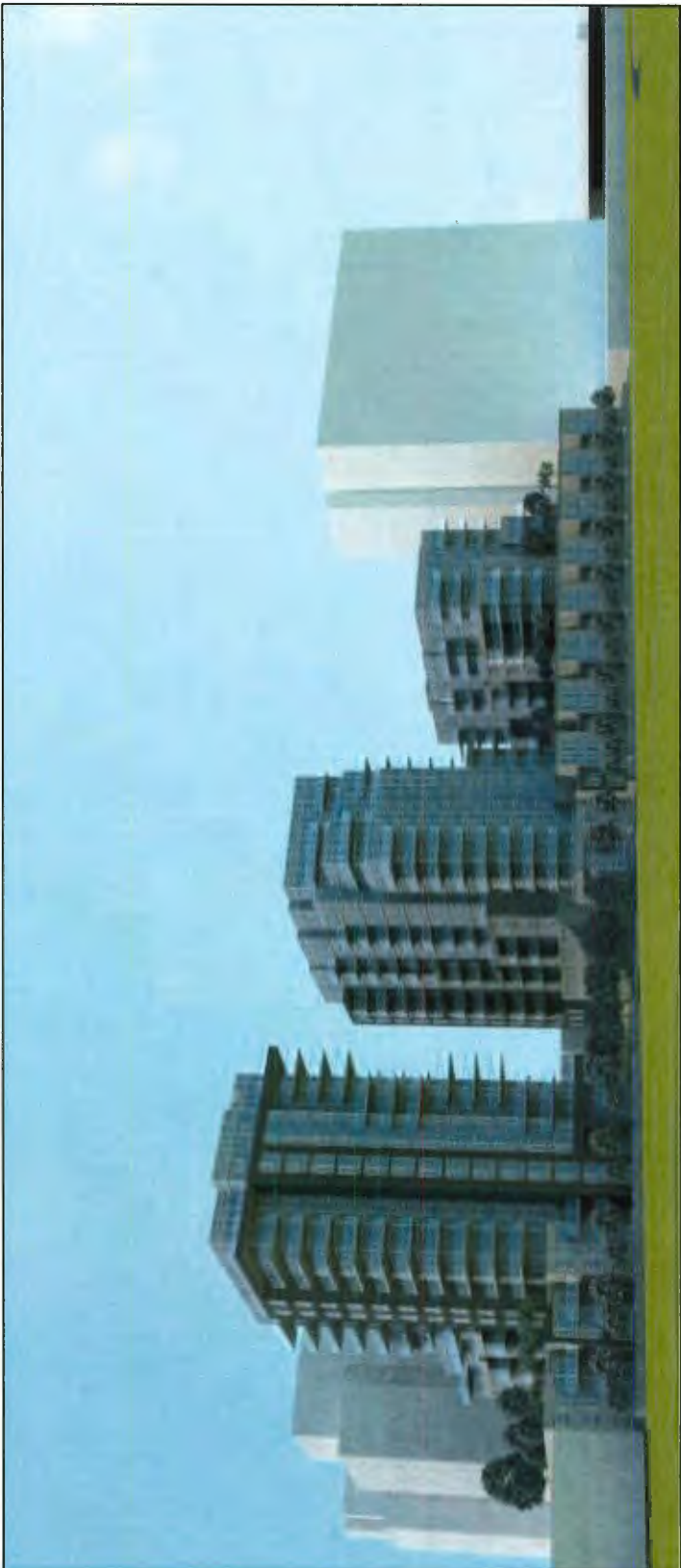
Revision Date:

Note: Dimensions are in METRES





1 SITE / CONTEXT PLAN  
1:5000  
SEE ALSO SHEET A2.16 ROOF PLANS  
FOR ADDITIONAL SITE INFORMATION



REVISIONS	
1	09/18/18 Issued for Development Permit
2	03/20/19 Re-submitted for Development Permit
3	06/09/19 Re-submitted per Staff Comments
4	10/21/19 Re-submitted per Staff Comments (2)
5	11/14/19 Re-submitted per Staff Comments (3)
6	11/04/19 Issued for ADP
7	09/12/20 Re-submitted per Staff Comments (4)
8	09/15/20 Re-submitted per Staff Report
9	09/29/20 Re-submitted per June 24 comments
10	07/06/20 Issued for DP Permit

REFERENCE NOTES:	
1.1	2000 Bylaw 6500 (repealed November 16, 2008)
1.2	2000 Bylaw 6500 (repealed November 16, 2008)
1.3	2000 Bylaw 6500 (repealed November 16, 2008)
1.4	2000 Bylaw 6500 (repealed November 16, 2008)
1.5	2000 Bylaw 6500 (repealed November 16, 2008)
1.6	2000 Bylaw 6500 (repealed November 16, 2008)
1.7	2000 Bylaw 6500 (repealed November 16, 2008)
1.8	2000 Bylaw 6500 (repealed November 16, 2008)
1.9	2000 Bylaw 6500 (repealed November 16, 2008)
2	2000 Bylaw 6500 (repealed November 16, 2008)
3	2000 Bylaw 6500 (repealed November 16, 2008)
4	2000 Bylaw 6500 (repealed November 16, 2008)
5	2000 Bylaw 6500 (repealed November 16, 2008)
6	2000 Bylaw 6500 (repealed November 16, 2008)
7	2000 Bylaw 6500 (repealed November 16, 2008)
8	2000 Bylaw 6500 (repealed November 16, 2008)
9	2000 Bylaw 6500 (repealed November 16, 2008)

PROJECT

Resid'I Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

DATA + COVER  
TWR C+D+E

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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exclusive property of W. T. Leung Architects Inc. and should be used without  
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DRAWING NO.:

A-1.01

PROJECT DATA	
City Address	6333 - 6399 Mah Bing Street, Richmond, BC
Legal Description	Lot B, Section 8, Block 4 North, Range 6 West, New Westminster District Plan EPP21002
Zoning	Existing: Richmond Zoning & Development By-Law 5300 (Amendment Bylaw No. 8103 (RZ004-286498 - adopted Sept. 08, 2008) Proposed: Richmond Zoning & Development By-Law 5300 (Amendment Bylaw No. 8103 (RZ004-286498 - adopted Sept. 08, 2008)
Use	Existing: Residential Proposed: Multi-Family Residential
Lot Size	167,175.00 SF 142,106.00 SF Per Survey by J.C. Tam & Associates Per Survey by Butler Sundbyck
Density (Floor Area Ratio)	Allowable: 3.40 Base +0.10 Amenity Bonus Proposed: 3.40 Base +0.10 Amenity Bonus
Lot Coverage	Allowable: 80% Maximum Proposed: 98.7%

AREA SUMMARY				
	Gross Area (SF)	Exclusions (SF) Amenity	Exclusions (SF) BUH / Unit	Exclusions (SF) Mech / Stairs
Tower C Residential	130,426.50 SF	3,656.30 SF	0.00 SF	5,979.10 SF
Tower D Residential	144,331.60 SF	4,107.20 SF	240.00 SF	1,162.08 SF
Tower E Residential	32,401.10 SF	1,230.50 SF	0.00 SF	1,162.08 SF
Total Building Area	207,159.20 SF	8,994.00 SF	240.00 SF	8,303.26 SF
Total Residential Area	165,712.00 SF	5,237.00 SF	0.00 SF	7,770.00 SF
PH1 (TWRA + TWR B)	18,181.64 SF	466.52 SF	0.00 SF	0.00 SF
PH1 + PH2	522,874.20 SF	14,231.00 SF	240.00 SF	23,660.50 SF
PH1 + PH2	48,574.73 SF	1,322.09 SF	22.30 SF	2,142.32 SF
TOTAL FAR	3.88 Gross	0.10 Gross		

RESIDENTIAL UNIT SUMMARY				
Unit Type	TH4BDR	3BDR	2BDR	1BDR
Tower C	6	36	35	1
Tower D	13	8	21	108
Tower E	19	50	117	48
Total Units	38	94	173	167

PARKING ANALYSIS	
Required/Allowed	w/ TDM (-10%)
Section 7.9.3.1 Zone 2	278
Section 7.9.3.1 Zone 2	47
HC Stalls per Section 7.5.14	7 (min.)
Small Car Stalls (max. 50%)	179 (max.)
Tandem Stalls (max. 50%)	156 (max.)
Total Stalls (Residential)	345

Bicycle Parking Residential		
Section 7.14.10 Class 1	290	340
0.2 per Dwelling Unit		
Section 7.14.10 Class 2	47	72
0.2 per Dwelling Unit		
Section 7.14.5	112	134
35% Max. Per'd @ Vertical Spaces		
Loading Space Residential		
	40	134



REVISION	
1	08/19/18 Issued for Development Permit
2	03/29/19 Re-submitted for Development Permit
3	09/09/19 Re-submitted per Staff Comments
4	10/21/19 Re-submitted per Staff Comments (2)
5	11/01/19 Re-submitted per Staff Comments (3)
6	07/09/20 Issued for DP Permit

STREETSCAPE - MURDOCH AVENUE



STREETSCAPE - MAH BING ROAD

PLAN #2

JUL 07 2020

DP

18-837117

A-1.02

PROJECT

Resid'l Development  
Park Residences PH 2  
Tower C+D+E

6333 - 6399 Mah Bing Road  
Richmond, BC

STREETSCAPE  
Park Elevation

JOB NO. 02-03

DRAWN DWI/VK

DATE August 23, 2018

SCALE 1/16"

CHECKED WTL

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DRAWING NO.:

REVISION

- |    |          |                                |
|----|----------|--------------------------------|
| 1. | 09/18/18 | Issued for Development Permit  |
| 2. | 03/20/19 | Revised for Development Permit |
| 3. | 07/19/19 | Revised per Staff Comments     |
| 4. | 10/21/19 | Revised per Staff Comments (2) |
| 5. | 05/12/20 | Revised per Staff Comments (5) |
| 6. | 07/29/20 | Issued for DP Panel            |

REFERENCE NOTES:

1. Refer to Bylaw 8600 (Amended November 14, 2009)
2. Refer to Bylaw 8600 (Amended November 14, 2009)
3. Refer to Bylaw 8600 (Amended November 14, 2009)
4. Refer to Bylaw 8600 (Amended November 14, 2009)
5. Refer to Bylaw 8600 (Amended November 14, 2009)
6. Refer to Bylaw 8600 (Amended November 14, 2009)
7. Refer to Bylaw 8600 (Amended November 14, 2009)
8. Refer to Bylaw 8600 (Amended November 14, 2009)
9. Refer to Bylaw 8600 (Amended November 14, 2009)

PROJECT

Resid'l Development  
Park Residences PH2  
Tower C+D+E

6333 - 6399 Mah Bing Street  
Richmond, BC

SHADOW  
ANALYSIS  
TWR C+D+E

JOB NO.	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

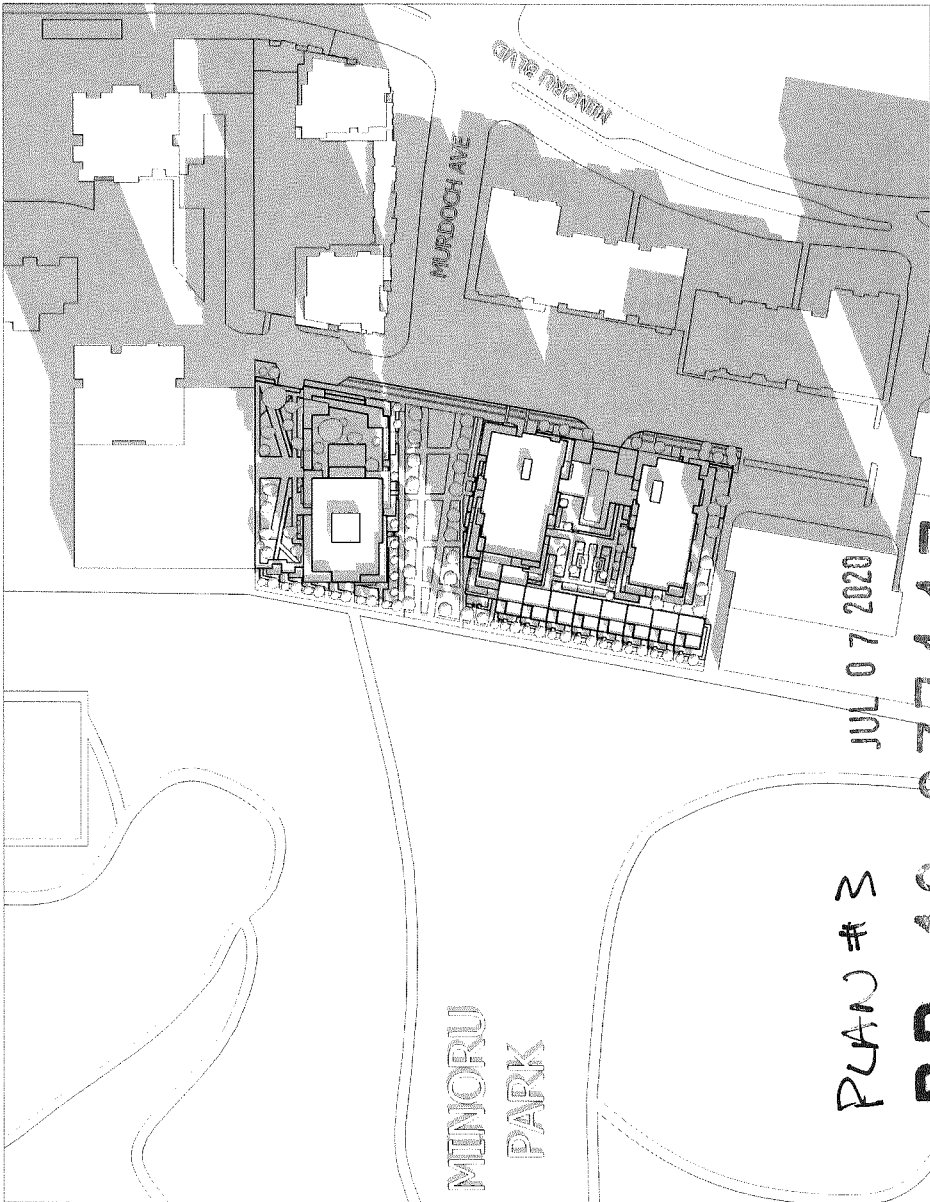
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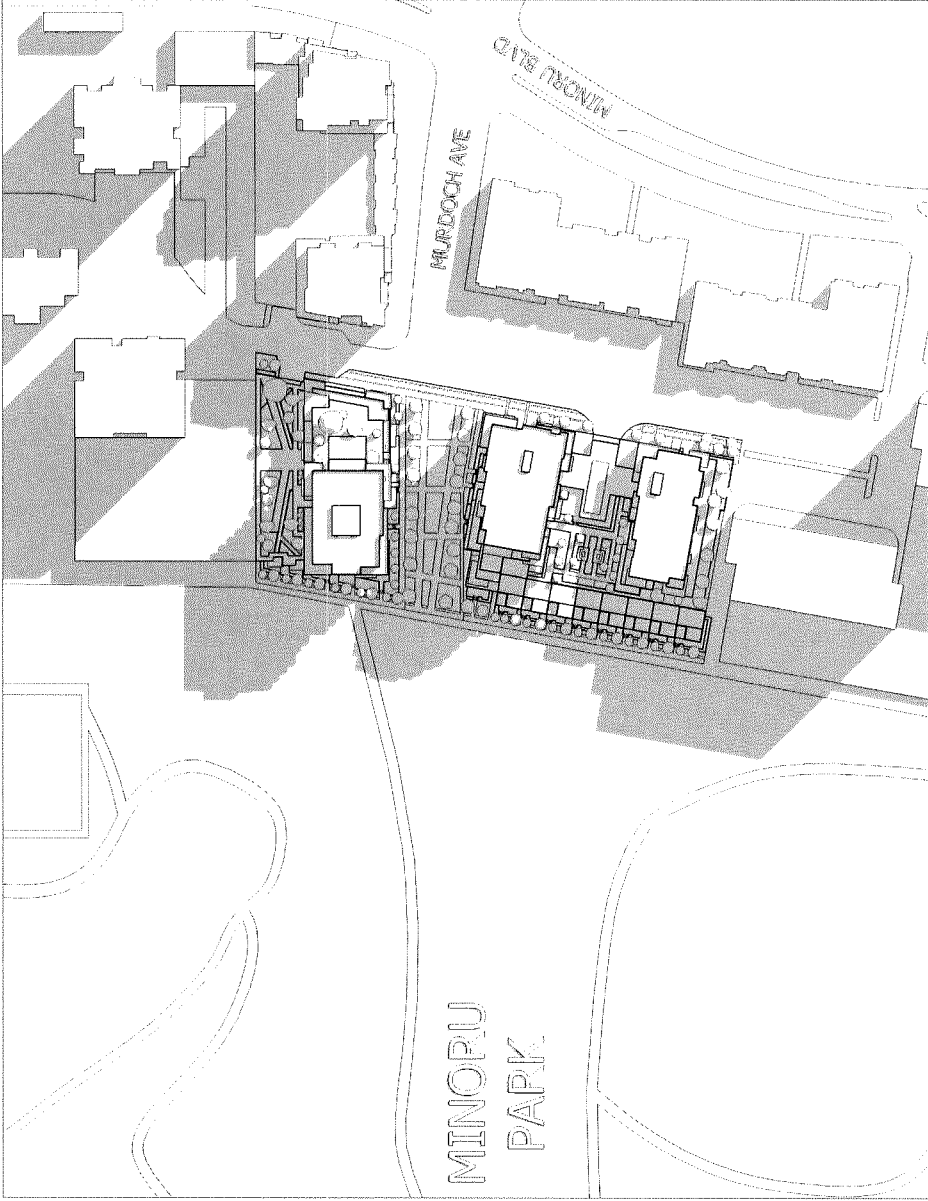
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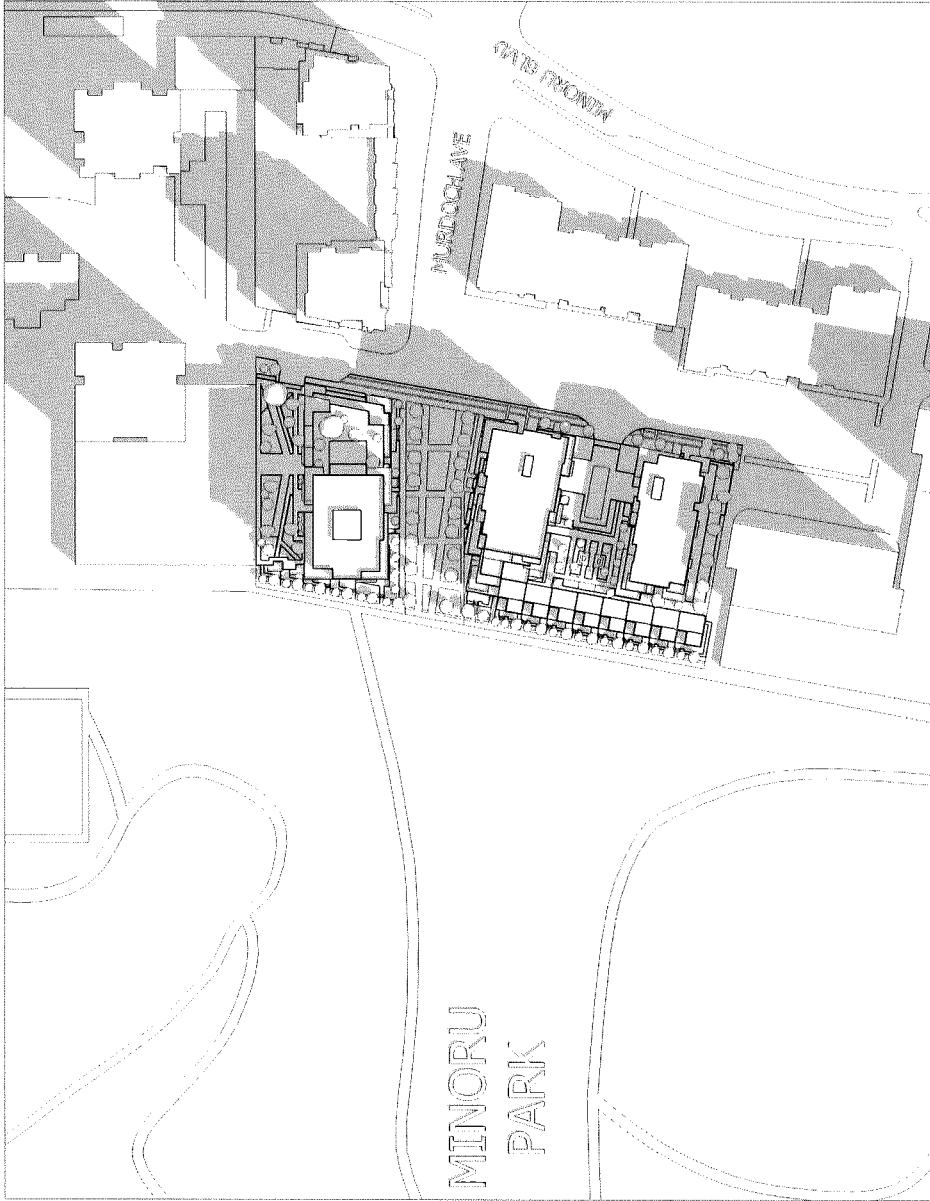
MARCH 21 / SEPTEMBER 21 @ 12NOON



MARCH 21 / SEPTEMBER 21 @ 4PM

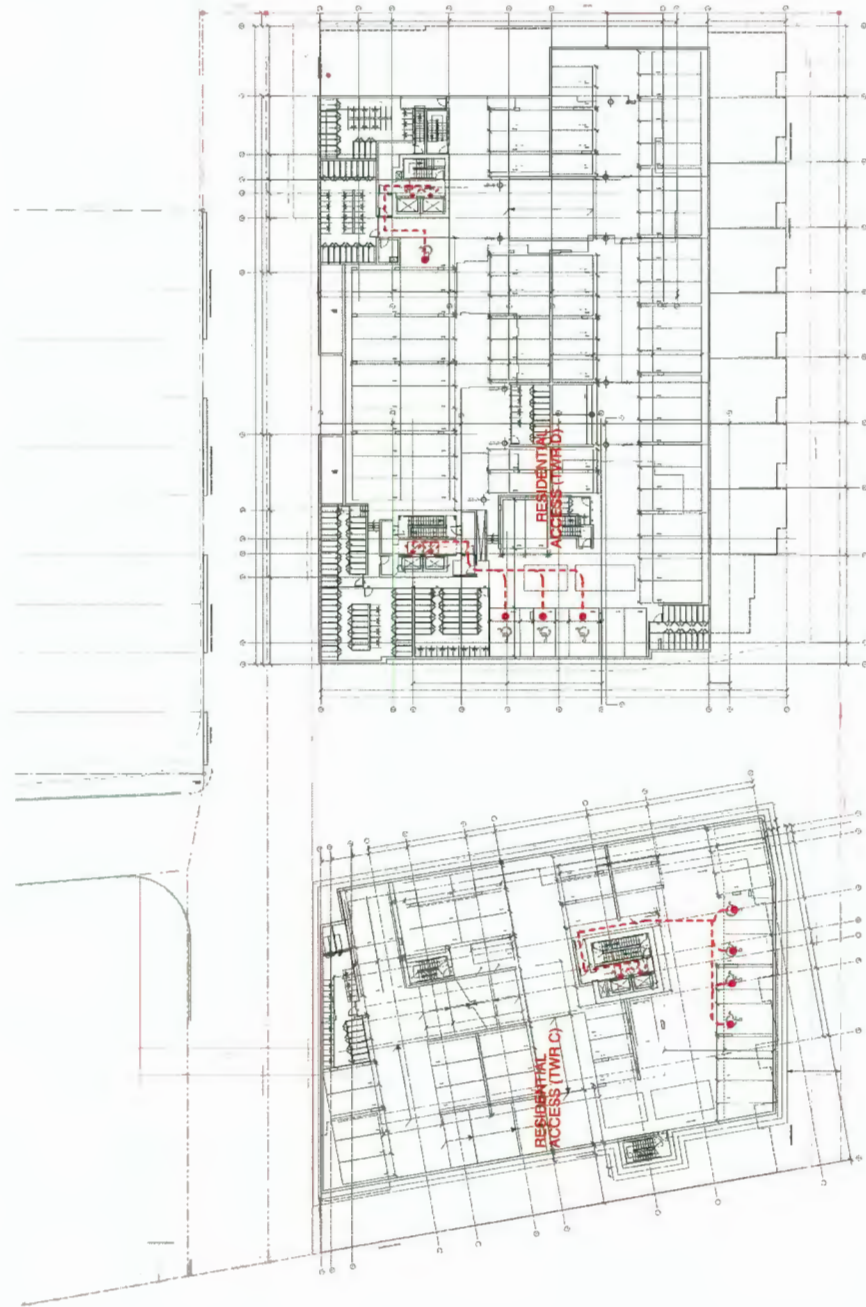
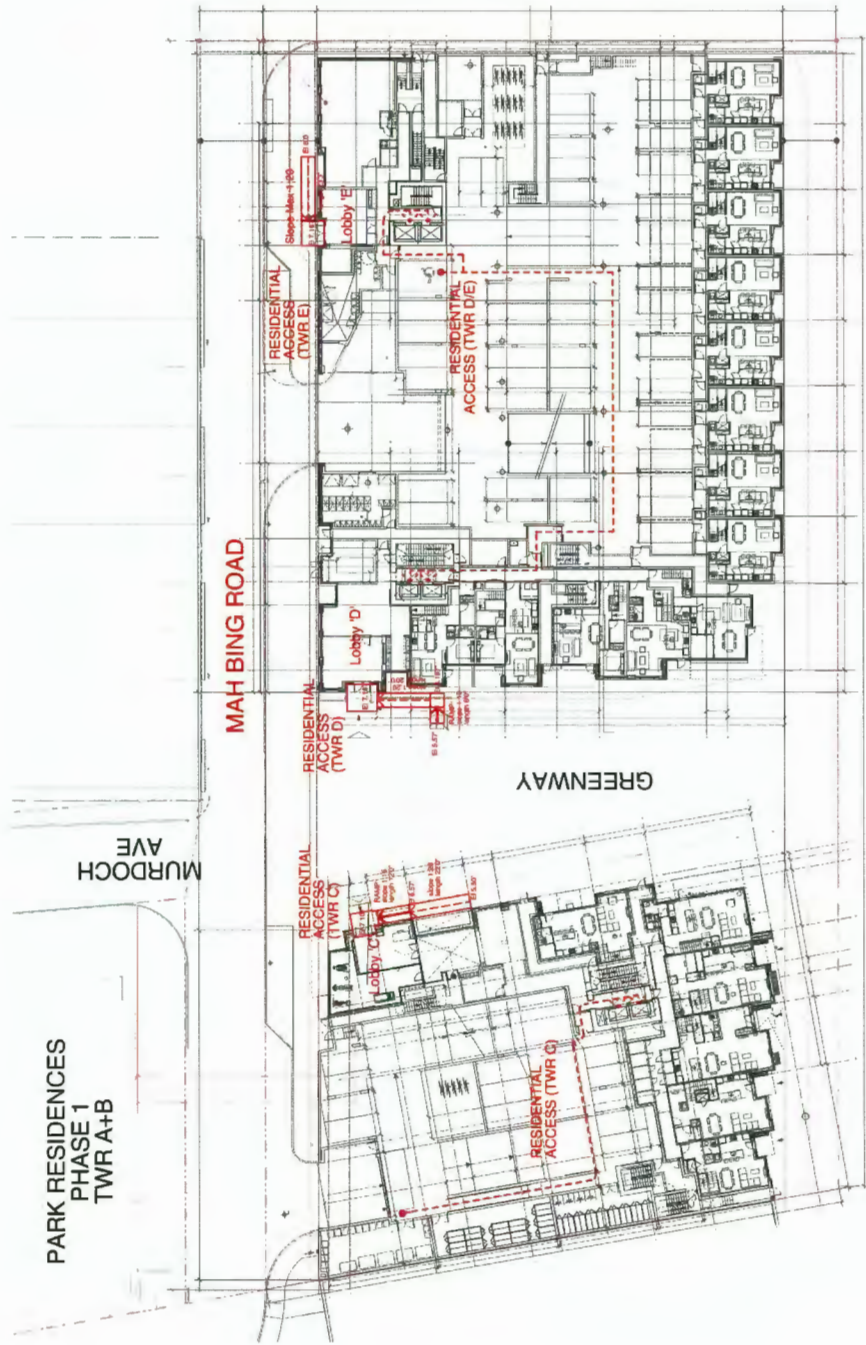


MARCH 21 / SEPTEMBER 21 @ 10AM



MARCH 21 / SEPTEMBER 21 @ 2PM





ACCESSIBILITY ROUTE ON LEVEL PL-0

MINORU PARK

ACCESSIBILITY ROUTE ON GROUND FLOOR

- REFERENCE NOTES:
1. All drawings shall conform to the requirements of the British Columbia Building Code (BCBC) and the National Building Code of Canada (NBC).
  2. All drawings shall conform to the requirements of the International Building Code (IBC) and the International Residential Code (IRC).
  3. All drawings shall conform to the requirements of the American Institute of Architects (AIA) and the American Society of Mechanical Engineers (ASME).
  4. All drawings shall conform to the requirements of the American Institute of Architects (AIA) and the American Society of Mechanical Engineers (ASME).
  5. All drawings shall conform to the requirements of the American Institute of Architects (AIA) and the American Society of Mechanical Engineers (ASME).
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  7. All drawings shall conform to the requirements of the American Institute of Architects (AIA) and the American Society of Mechanical Engineers (ASME).
  8. All drawings shall conform to the requirements of the American Institute of Architects (AIA) and the American Society of Mechanical Engineers (ASME).



ACCESSIBILITY ROUTE ON LEVEL P2

PROJECT  
**Resid'l Development  
Park Residences PH2  
Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

**ACCESSIBILITY  
DIAGRAM  
TWR C+D+E**

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL





ISSUE/REVISION	
1	Issued for Development Permit
2	Re-assessed for Development Permit
3	Re-assessed per Staff Comments
4	Re-assessed per Staff Comments (2)
5	Issued for ADP
6	Re-assessed per Staff Comments (3)
7	Revisions for Staff Report
8	Drawings reuploaded to refer re-revisions clarified
9	Revisions per June 24 comments
10	Issued for DP Permit

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**Resid'I Development  
Park Residences PH2  
Tower C+D+E**

6333 - 6399 Mah Bing Street  
Richmond, BC

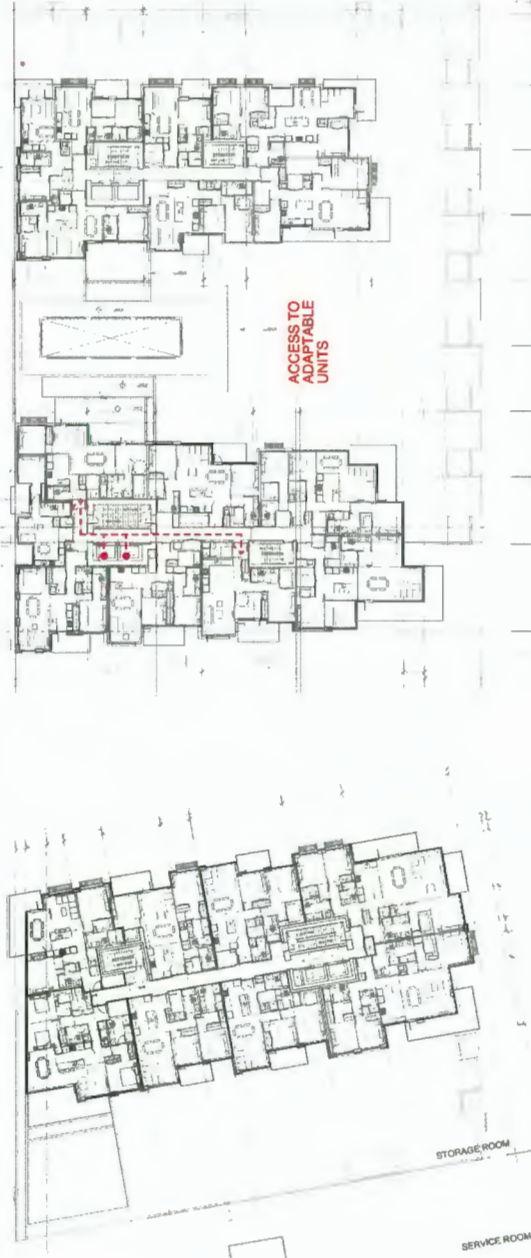
## ACCESSIBILITY DIAGRAM TWR C+D+E

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

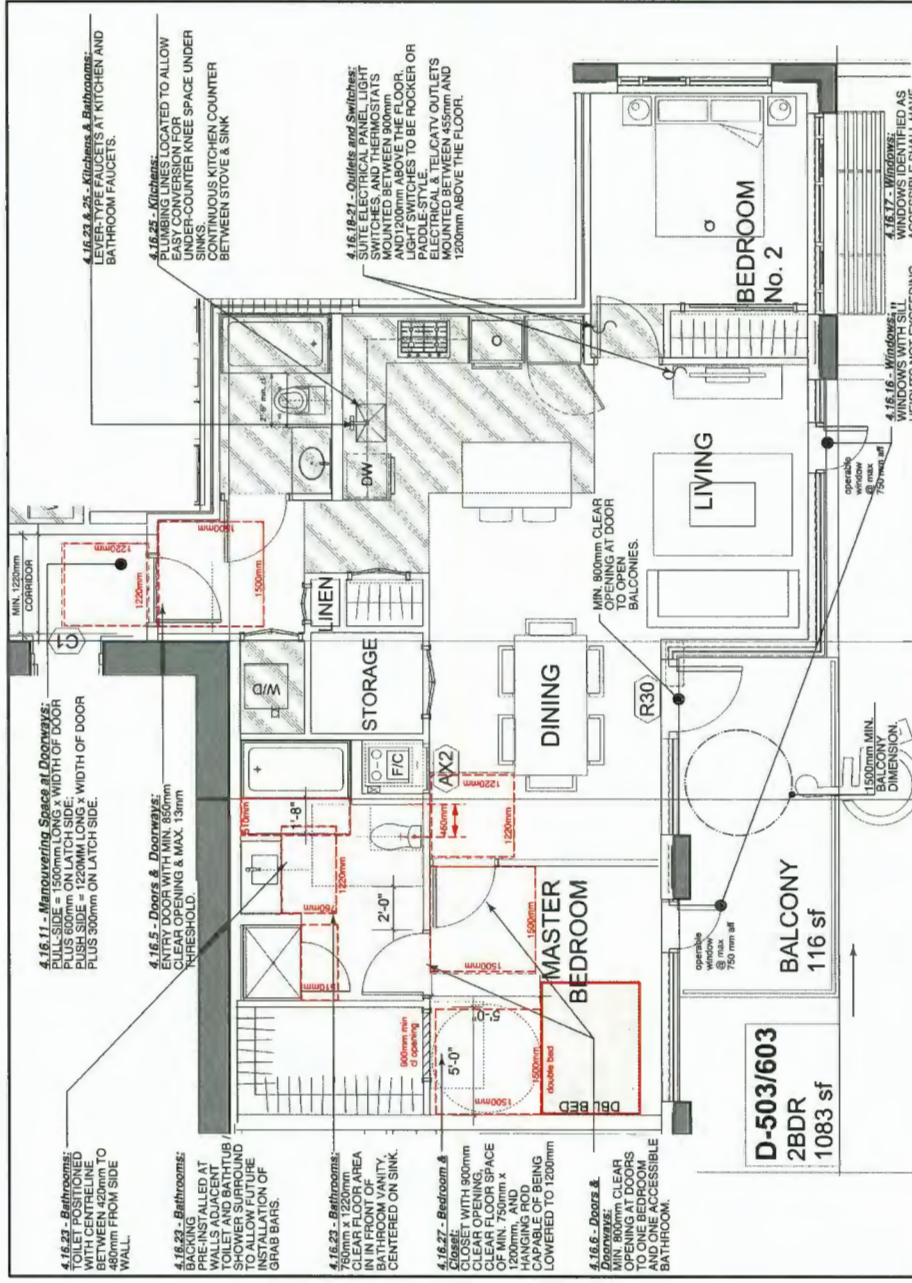
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DRAWING NO.: PLAN #5  
A-1.06

217



## ACCESSIBILITY ROUTE ON TYPICAL TOWER FLOORS

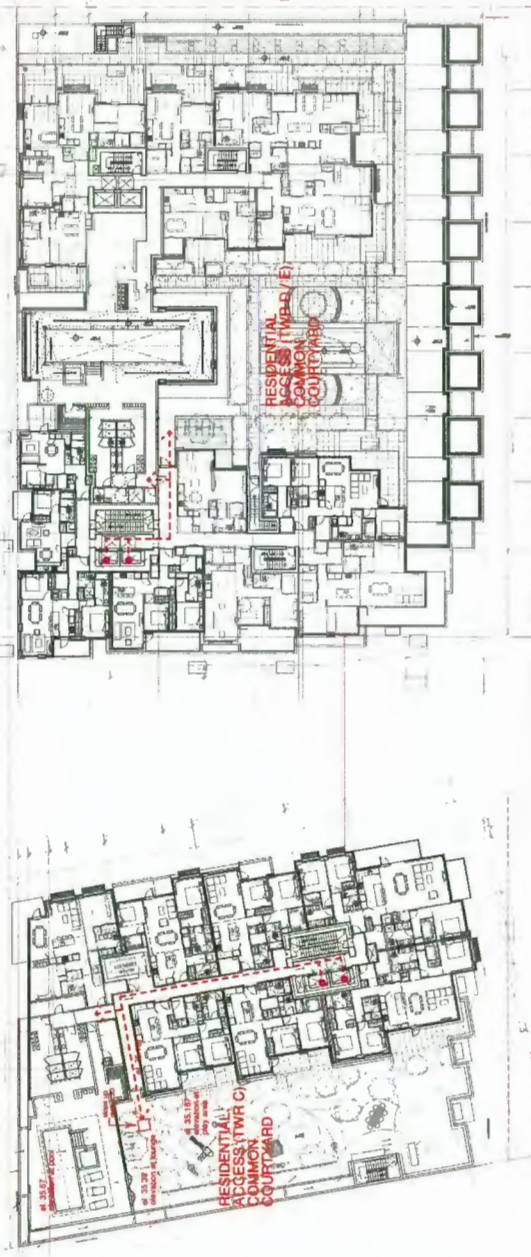


HEIGHTS NOT EXCEEDING  
750mm ABOVE THE FLOOR  
TO AFFORD SEATED  
VIEWING

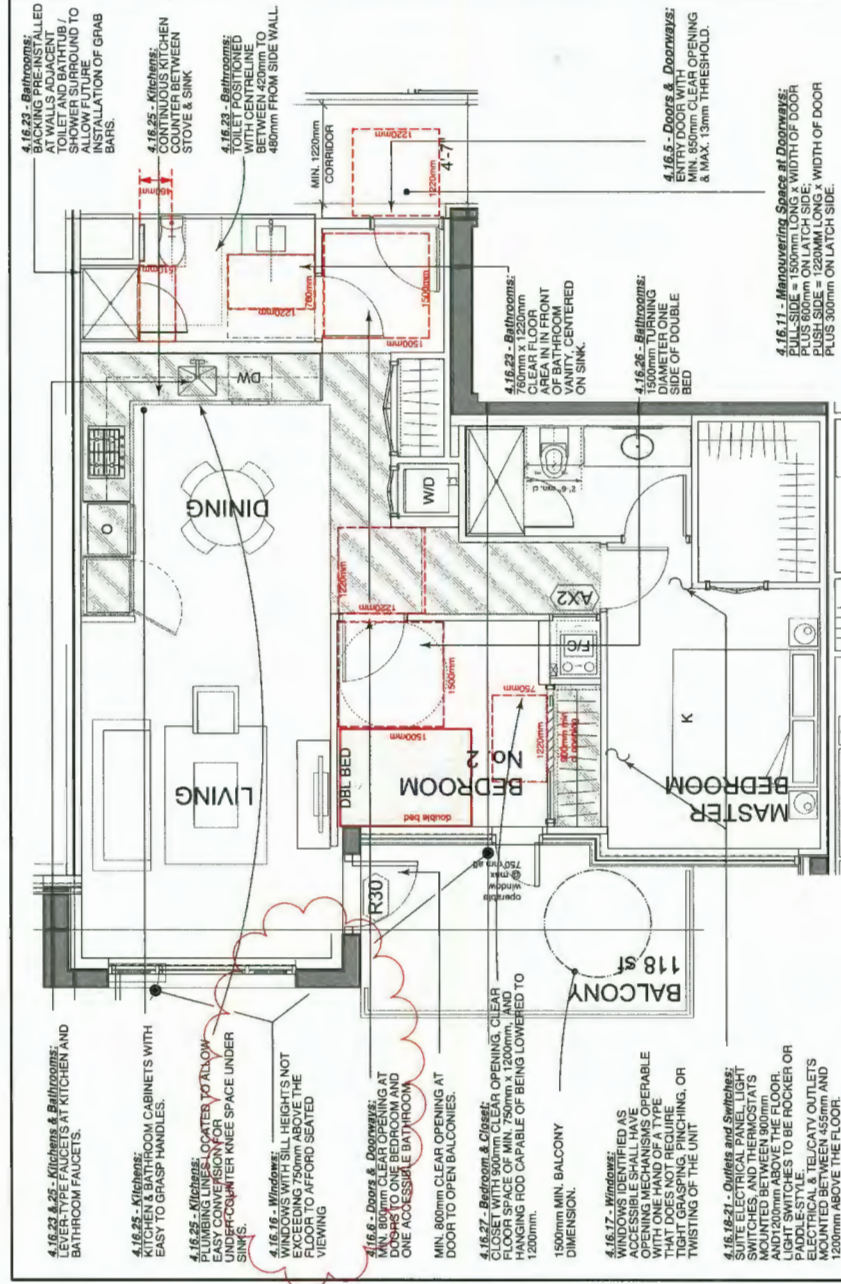
JUL 07

**SAMPLE 2-BR UNIT w/  
BASIC UNIVERSAL HOUSING FEATURES**  
( units D503, 603, 703, 803, 903, 1003)

**THIS UNIT TO FOLLOW  
SECTION 4.16 OF  
RICHMOND ZONING  
BYLAW 8500 FOR  
ACCESSIBILITY  
FEATURES**



### ACCESSIBILITY ROUTE ON 4th FLOOR (AMENITIES & ROOF GARDEN)



**THIS UNIT TO FOLLOW  
SECTION 4.16 OF  
RICHMOND ZONING  
BYLAW 8500 FOR  
ACCESSIBILITY  
FEATURES**

**SAMPLE 2-BR. UNIT w/ BASIC UNIVERSAL  
HOUSING FEATURES**  
(units D407, 507, 607, 707, 807, 907)

**-BR UNIT w/ BASIC U  
HOUSING FEATURES**





ISSUE/REVISION		
1	03/18/15	Issued for Development Permit
2	03/20/15	Re-issued for Development Permit
3	09/09/15	Re-issued per Staff Comments
4	10/21/15	Re-issued per Staff Comments (2)
5	11/06/15	Issued for ADP
6	05/12/20	Re-issued per Staff Comments (3)
7	06/15/20	Revisions for Staff Report
8	06/25/20	Revisions per June 24 Comments
9	07/09/20	Issued for DP Permit

REFERENCE NUMBER	DESCRIPTION
1.	zoning history 2002 (submitted November 14, 2009)
1.1	rezoning application, rezoning map, and rezoning map (A1, A2, A3, A4, A5, A6, A7, A8, A9, A10, A11, A12, A13, A14, A15, A16, A17, A18, A19, A20, A21, A22, A23, A24, A25, A26, A27, A28, A29, A30, A31, A32, A33, A34, A35, A36, A37, A38, A39, A40, A41, A42, A43, A44, A45, A46, A47, A48, A49, A50, A51, A52, A53, A54, A55, A56, A57, A58, A59, A60, A61, A62, A63, A64, A65, A66, A67, A68, A69, A70, A71, A72, A73, A74, A75, A76, A77, A78, A79, A80, A81, A82, A83, A84, A85, A86, A87, A88, A89, A90, A91, A92, A93, A94, A95, A96, A97, A98, A99, A100, A101, A102, A103, A104, A105, A106, A107, A108, A109, A110, A111, A112, A113, A114, A115, A116, A117, A118, A119, A120, A121, A122, A123, A124, A125, A126, A127, A128, A129, A130, A131, A132, A133, A134, A135, A136, A137, A138, A139, A140, A141, A142, A143, A144, A145, A146, A147, A148, A149, A150, A151, A152, A153, A154, A155, A156, A157, A158, A159, A160, A161, A162, A163, A164, A165, A166, A167, A168, A169, A170, A171, A172, A173, A174, A175, A176, A177, A178, A179, A180, A181, A182, A183, A184, A185, A186, A187, A188, A189, A190, A191, A192, A193, A194, A195, A196, A197, A198, A199, A200, A201, A202, A203, A204, A205, A206, A207, A208, A209, A210, A211, A212, A213, A214, A215, A216, A217, A218, A219, A220, A221, A222, A223, A224, A225, A226, A227, A228, A229, A230, A231, A232, A233, A234, A235, A236, A237, A238, A239, A240, A241, A242, A243, A244, A245, A246, A247, A248, A249, A250, A251, A252, A253, A254, A255, A256, A257, A258, A259, A260, A261, A262, A263, A264, A265, A266, A267, A268, A269, A270, A271, A272, A273, A274, A275, A276, A277, A278, A279, A280, A281, A282, A283, A284, A285, A286, A287, A288, A289, A290, A291, A292, A293, A294, A295, A296, A297, A298, A299, A300, A301, A302, A303, A304, A305, A306, A307, A308, A309, A310, A311, A312, A313, A314, A315, A316, A317, A318, A319, A320, A321, A322, A323, A324, A325, A326, A327, A328, A329, A330, A331, A332, A333, A334, A335, A336, A337, A338, A339, A340, A341, A342, A343, A344, A345, A346, A347, A348, A349, A350, A351, A352, A353, A354, A355, A356, A357, A358, A359, A360, A361, A362, A363, A364, A365, A366, A367, A368, A369, A370, A371, A372, A373, A374, A375, A376, A377, A378, A379, A380, A381, A382, A383, A384, A385, A386, A387, A388, A389, A390, A391, A392, A393, A394, A395, A396, A397, A398, A399, A400, A401, A402, A403, A404, A405, A406, A407, A408, A409, A410, A411, A412, A413, A414, A415, A416, A417, A418, A419, A420, A421, A422, A423, A424, A425, A426, A427, A428, A429, A430, A431, A432, A433, A434, A435, A436, A437, A438, A439, A440, A441, A442, A443, A444, A445, A446, A447, A448, A449, A450, A451, A452, A453, A454, A455, A456, A457, A458, A459, A460, A461, A462, A463, A464, A465, A466, A467, A468, A469, A470, A471, A472, A473, A474, A475, A476, A477, A478, A479, A480, A481, A482, A483, A484, A485, A486, A487, A488, A489, A490, A491, A492, A493, A494, A495, A496, A497, A498, A499, A500, A501, A502, A503, A504, A505, A506, A507, A508, A509, A510, A511, A512, A513, A514, A515, A516, A517, A518, A519, A520, A521, A522, A523, A524, A525, A526, A527, A528, A529, A530, A531, A532, A533, A534, A535, A536, A537, A538, A539, A540, A541, A542, A543, A544, A545, A546, A547, A548, A549, A550, A551, A552, A553, A554, A555, A556, A557, A558, A559, A560, A561, A562, A563, A564, A565, A566, A567, A568, A569, A570, A571, A572, A573, A574, A575, A576, A577, A578, A579, A580, A581, A582, A583, A584, A585, A586, A587, A588, A589, A590, A591, A592, A593, A594, A595, A596, A597, A598, A599, A600, A601, A602, A603, A604, A605, A606, A607, A608, A609, A610, A611, A612, A613, A614, A615, A616, A617, A618, A619, A620, A621, A622, A623, A624, A625, A626, A627, A628, A629, A630, A631, A632, A633, A634, A635, A636, A637, A638, A639, A640, A641, A642, A643, A644, A645, A646, A647, A648, A649, A650, A651, A652, A653, A654, A655, A656, A657, A658, A659, A660, A661, A662, A663, A664, A665, A666, A667, A668, A669, A670, A671, A672, A673, A674, A675, A676, A677, A678, A679, A680, A681, A682, A683, A684, A685, A686, A687, A688, A689, A690, A691, A692, A693, A694, A695, A696, A697, A698, A699, A700, A701, A702, A703, A704, A705, A706, A707, A708, A709, A710, A711, A712, A713, A714, A715, A716, A717, A718, A719, A720, A721, A722, A723, A724, A725, A726, A727, A728, A729, A730, A731, A732, A733, A734, A735, A736, A737, A738, A739, A740, A741, A742, A743, A744, A745, A746, A747, A748, A749, A750, A751, A752, A753, A754, A755, A756, A757, A758, A759, A760, A761, A762, A763, A764, A765, A766, A767, A768, A769, A770, A771, A772, A773, A774, A775, A776, A777, A778, A779, A780, A781, A782, A783, A784, A785, A786, A787, A788, A789, A790, A791, A792, A793, A794, A795, A796, A797, A798, A799, A800, A801, A802, A803, A804, A805, A806, A807, A808, A809, A810, A811, A812, A813, A814, A815, A816, A817, A818, A819, A820,

PROJECT

**Resid'I Development  
Park Residences PH2  
Tower C+D+E**

6333 - 6399 Mah Bing Street  
Richmond, BC

**WASTE  
MANAGEMENT PLAN  
TWR C+D+E**

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL
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DRAWING NO.:	

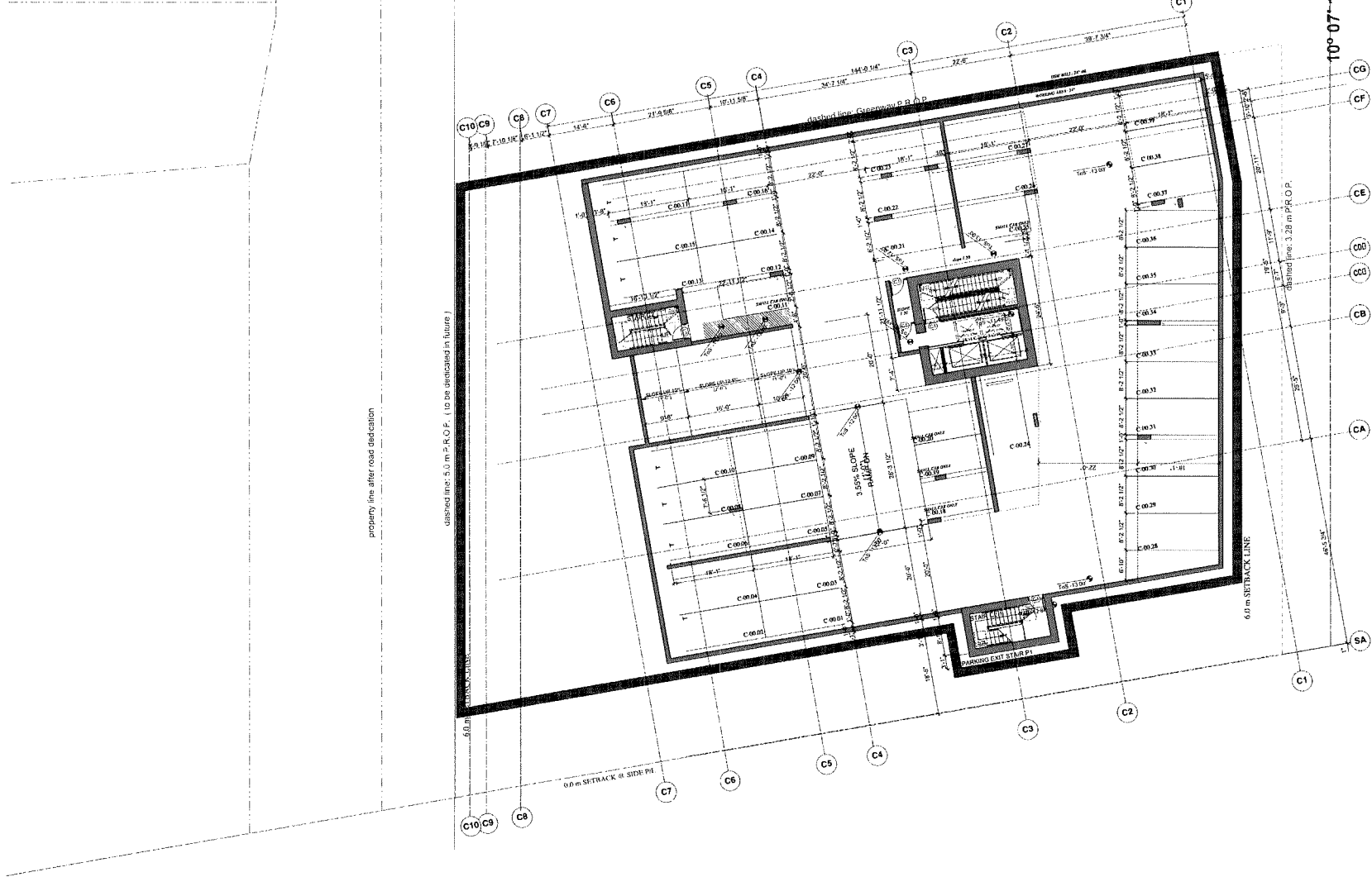
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PLAN #6 JUL 07 2020 DP 18-837117

# MINORU PARK







PLAN #7 JUL 07 2020  
DP 18-837117



ISSUE/REVISION	
1	09/18/16 Issued for Development Permit
2	03/20/19 Revised per Development Permit
3	09/09/19 Revised per Staff Comments
4	10/21/19 Revised per Staff Comments (2)
5	11/01/19 Revised per Staff Comments (3)
6	11/01/19 Issued for ADP
7	05/12/20 Revised per Staff Comments (5)
8	06/14/20 Revised per Staff Report
9	07/09/20 Issued for DP Permit

- REFERENCE NOTES:
- 1.1 Town of Bylaw 6500 (Adopted November 18, 2008)
  - 1.2 Town of Bylaw 6500 (Amended November 18, 2008)
  - 1.3 Town of Bylaw 6500 (Amended November 18, 2008)
  - 1.4 Town of Bylaw 6500 (Amended November 18, 2008)
  - 1.5 Town of Bylaw 6500 (Amended November 18, 2008)
  - 1.6 Town of Bylaw 6500 (Amended November 18, 2008)
  - 2.1 Town of Bylaw 6500 (Amended November 18, 2008)
  - 3.1 Town of Bylaw 6500 (Amended November 18, 2008)
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  - 8.1 Town of Bylaw 6500 (Amended November 18, 2008)
  - 9.1 Town of Bylaw 6500 (Amended November 18, 2008)

PROJECT

**Resid'I Development  
Park Residences PH2  
Tower C+D+E**

6333 - 6399 Mah Bing Street  
Richmond, BC

Floor Plan PL-1

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

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DRAWING NO. :

A-2.00



ISSUE/REVISION	
1	09/18/16 Issued for Development Permit
2	03/03/19 Revised for Development Permit
3	06/09/19 Revised per Staff Comments
4	10/27/19 Revised per Staff Comments (2)
5	11/04/19 Revised per Staff Comments (3)
6	11/04/19 Issued for ADP
7	09/13/20 Revised per Staff Comments (4)
8	09/14/20 Revised per Staff Report
9	09/29/20 Revisions per June 24 comments
10	07/09/20 Issued for DP Permit

- REFERENCE NOTES:
1. 2009 BC Building Code (Amendment 2015)
  2. 2009 BC Building Code (Amendment 2015)
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PROJECT  
Resid'l Development  
Park Residences PH2  
Tower C+D+E

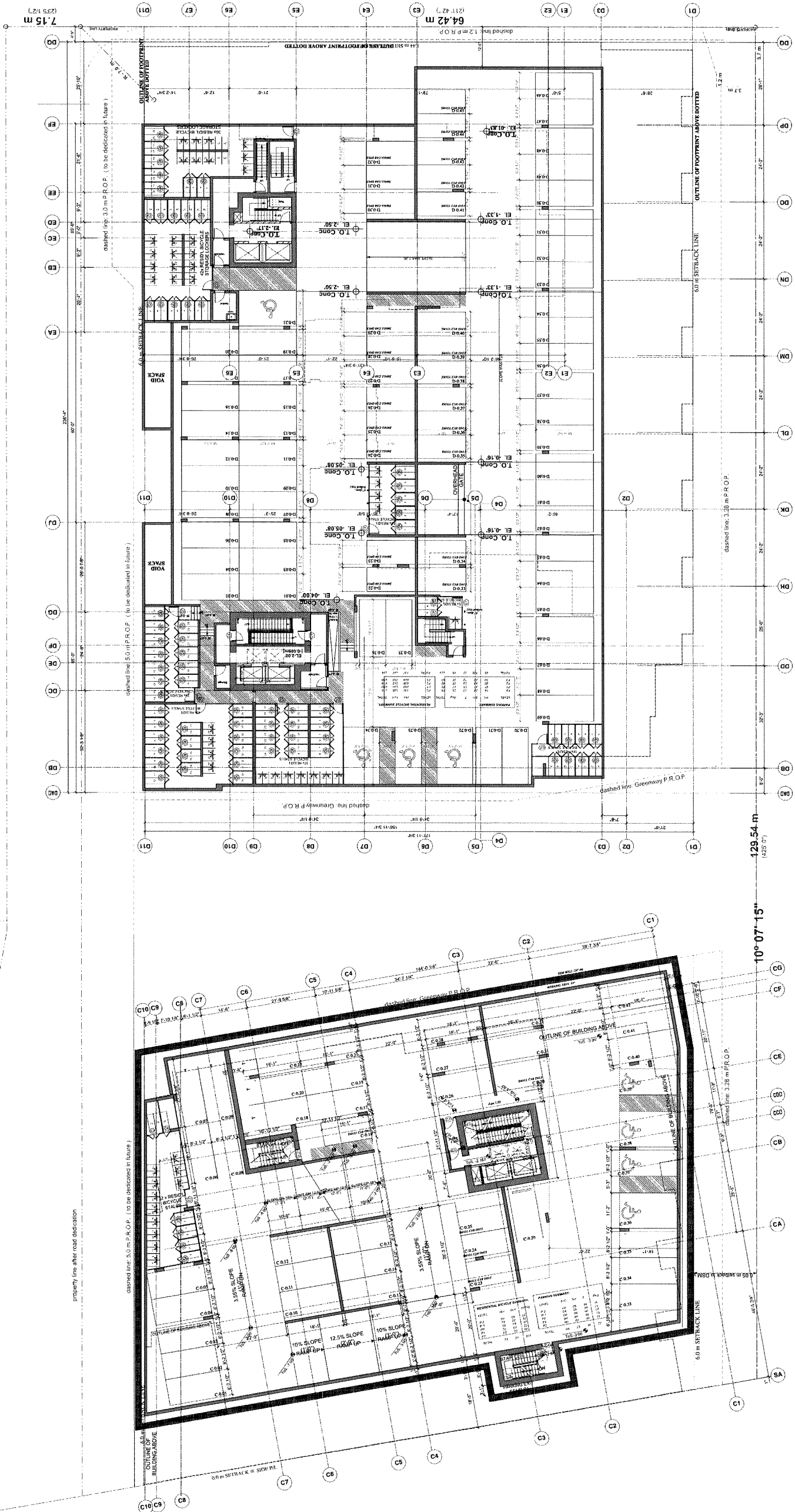
6333 - 6399 Mah Bing Street  
Richmond, BC

Floor Plan PL 0

JOB NO	02-03
DRAWN	DMVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"

CHECKED: WTL  
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PLAN #8  
JUL 07 2020  
DP 18-837117

MUR

SURFACE PARKING:  
ADJACENT BUILDING

KIOSK

KIOSK

Frontage = 462'-5 1/4" (140.951m)

129'-7" (39.50 m ) Tower 'C'

88'-1" (26.85 m)

236'-4" (72.03 m) Tower 'D/E'

4'-9"

NOTE:  
Crown of Road:  
Spot Elevations derived  
from SA08-41395

MAH BING STREET

EL 5.507 (1.68m)

EL 5.397 (1.66m)

EL 5.217 (1.58m)

EL 5.057 (1.54m)

EL 4.887 (1.48m)

EL 4.697 (1.42m)

EL 4.537 (1.38m)

EL 4.377 (1.34m)

EL 4.217 (1.30m)

EL 4.057 (1.26m)

EL 3.897 (1.22m)

EL 3.737 (1.18m)

EL 3.577 (1.14m)

EL 3.417 (1.10m)

EL 3.257 (1.06m)

EL 3.097 (1.02m)

EL 2.937 (0.98m)

EL 2.777 (0.94m)

EL 2.617 (0.90m)

EL 2.457 (0.86m)

EL 2.297 (0.82m)

EL 2.137 (0.78m)

EL 1.977 (0.74m)

EL 1.817 (0.70m)

EL 1.657 (0.66m)

EL 1.497 (0.62m)

EL 1.337 (0.58m)

EL 1.177 (0.54m)

EL 1.017 (0.50m)

EL 0.857 (0.46m)

EL 0.697 (0.42m)

EL 0.537 (0.38m)

EL 0.377 (0.34m)

EL 0.217 (0.30m)

EL 0.057 (0.26m)

EL -0.103 (0.22m)

EL -0.263 (0.18m)

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EL -36.423 (0.02m)

EL -36.583 (0.02m)

EL -36.743 (0.02m)

EL -36.903 (0.





NO.	DESCRIPTION	DATE
1	Issued for Development Permit	09/18/18
2	Revised for Development Permit	03/20/19
3	Revised per Staff Comments	09/09/19
4	Revised per Staff Comments	10/21/19
5	Revised per Staff Comments	11/14/19
6	Issued for ADP	11/18/19
7	Revised per Staff Comments	07/12/20
8	Revised for Staff Report	09/14/20
9	Revised per June 24 Comments	09/29/20
10	Issued for Staff Report	07/29/21

REFERENCE NOTES:

1. Zoning Bylaw 8000 (Amended November 18, 2009)
2. British Columbia Building Act (RSO 1996, Chapter 244)
3. British Columbia Building Code (BCBC 2015)
4. British Columbia Fire Code (BCFC 2015)
5. British Columbia Electrical Code (BCEC 2015)
6. British Columbia Gas Code (BCGC 2015)
7. British Columbia Mechanical Code (BCMC 2015)
8. British Columbia Plumbing Code (BCPC 2015)
9. British Columbia Fire Protection Code (BCFPC 2015)
10. British Columbia Fire Prevention Code (BCFPC 2015)

PROJECT:

Resid'1 Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

Floor Plan L-2

JOB NO. 02-03

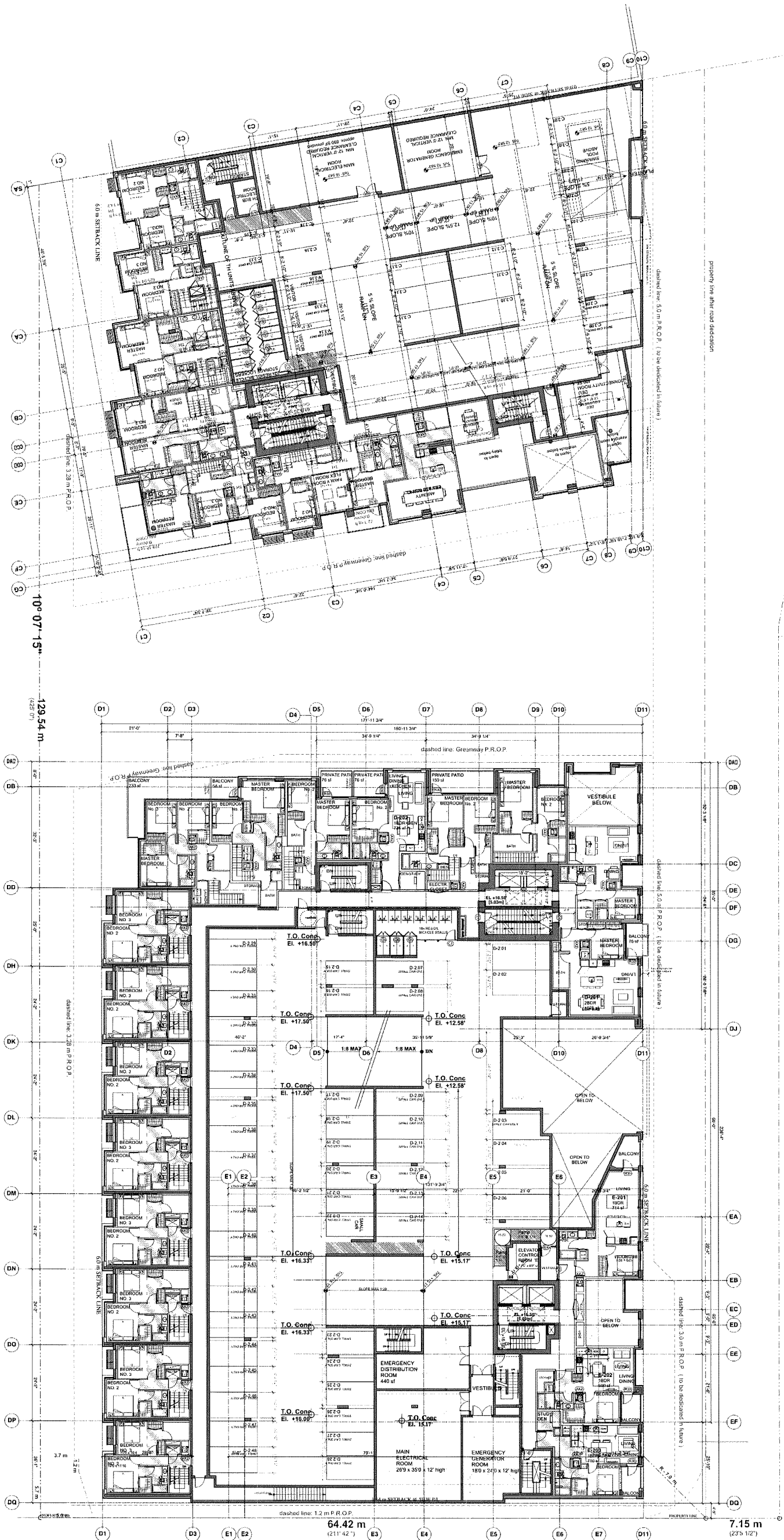
DRAWN DM/VK

DATE August 23, 2018

SCALE 1/16" = 1'-0"

CHECKED WTL

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ISSUANCE/REVISION	REVISION
1	09/18/18 Issued for Development Permit
2	03/28/19 Revised per Development Permit
3	09/09/19 Revised per Staff Comments
4	10/21/19 Revised per Staff Comments (2)
5	11/14/19 Revised per Staff Comments (3)
6	11/28/19 Issued for ADP
7	05/22/20 Revised per Staff Comments (5)
8	06/15/20 Revisions for Staff Report
9	07/09/20 Issued for DP Panel

- REFERENCE NOTES:**
1. Zone 1 (Bylaw 600) (Adopted November 14, 2008)
  2. Rezoning Bylaw 5802, Amendment (Bylaw No. 5163) (Adopted June 23, 2011)
  3. Official Development Plan, Energy Efficiency Bylaw 5154, (Adopted June 23, 2011)
  4. Official Development Plan, Energy Efficiency Bylaw 5154, (Adopted June 23, 2011)
  5. Official Development Plan, Energy Efficiency Bylaw 5154, (Adopted June 23, 2011)
  6. Official Development Plan, Energy Efficiency Bylaw 5154, (Adopted June 23, 2011)
  7. Official Development Plan, Energy Efficiency Bylaw 5154, (Adopted June 23, 2011)
  8. Official Development Plan, Energy Efficiency Bylaw 5154, (Adopted June 23, 2011)
  9. Official Development Plan, Energy Efficiency Bylaw 5154, (Adopted June 23, 2011)

**PROJECT**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C+D+E**  
**6333 - 6399 Mah Bing Street**  
**Richmond, BC**

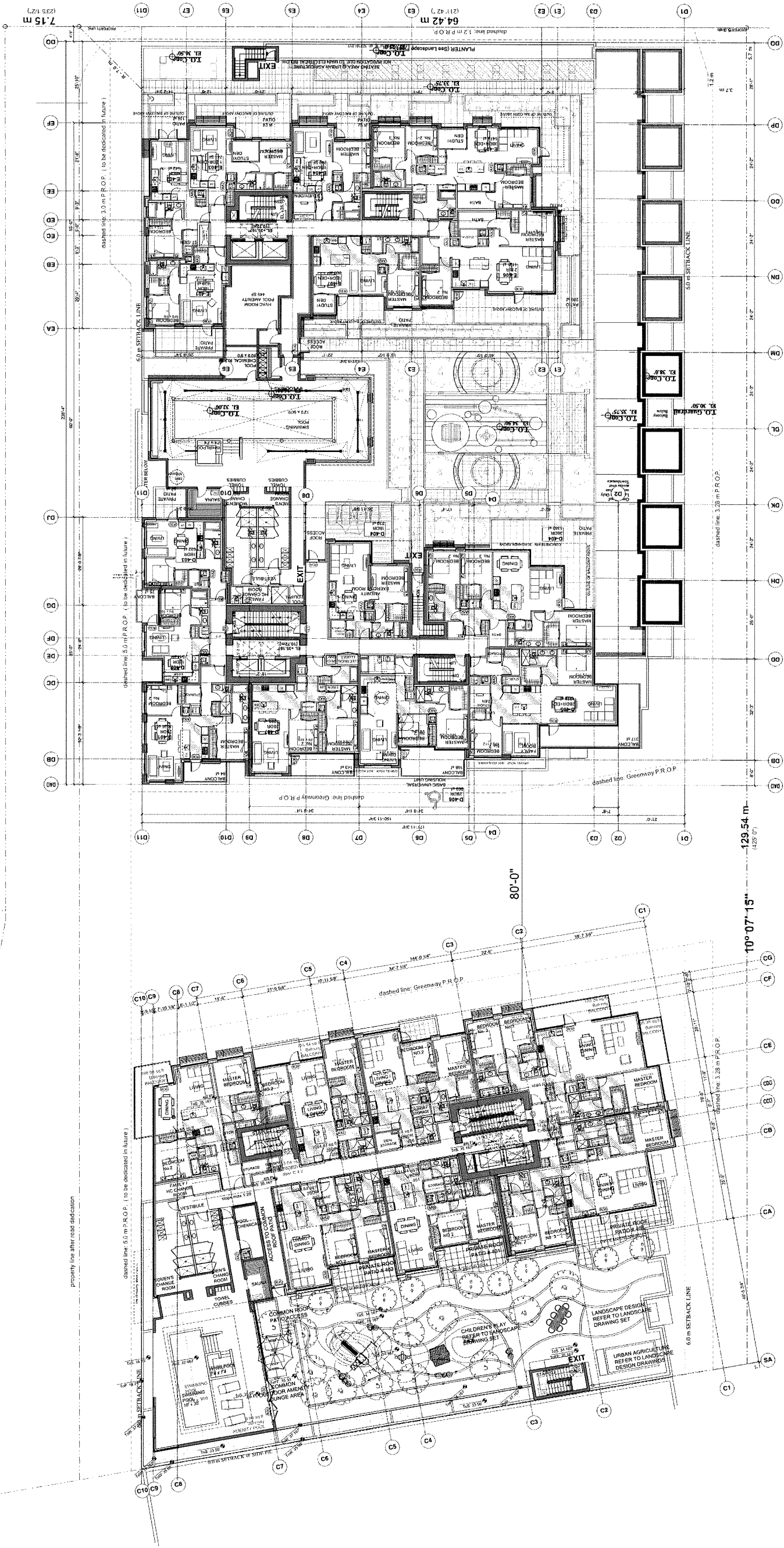
**Floor Plan L-4**  
**Courtyard FL**

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

DP 18-837117

Plans #12

JUL 07 2020









Suite 300, 973 West Broadway,  
Vancouver, British Columbia • Canada V5Z 1K3  
Telephone 604 736-9711, Facsimile 604 736-7991



ISSUE/REVISION	
1	09/18/18 Issued for Development Permit
2	03/20/19 Re-issued for Development Permit
3	09/09/19 Re-issued per Staff Comments
4	10/21/19 Re-issued per Staff Comments (2)
5	11/4/19 Re-issued per Staff Comments (3)
6	11/08/19 Issued for ADP
7	05/12/20 Re-issued per Staff Comments (3)
8	06/15/20 Revisions for Staff Report
9	07/09/20 Issued for DP Panel

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**Resid'l Developmen  
Park Residences PH1  
Tower C+D+E**

**6333 - 6399 Mah Bing Street  
Richmond, BC**

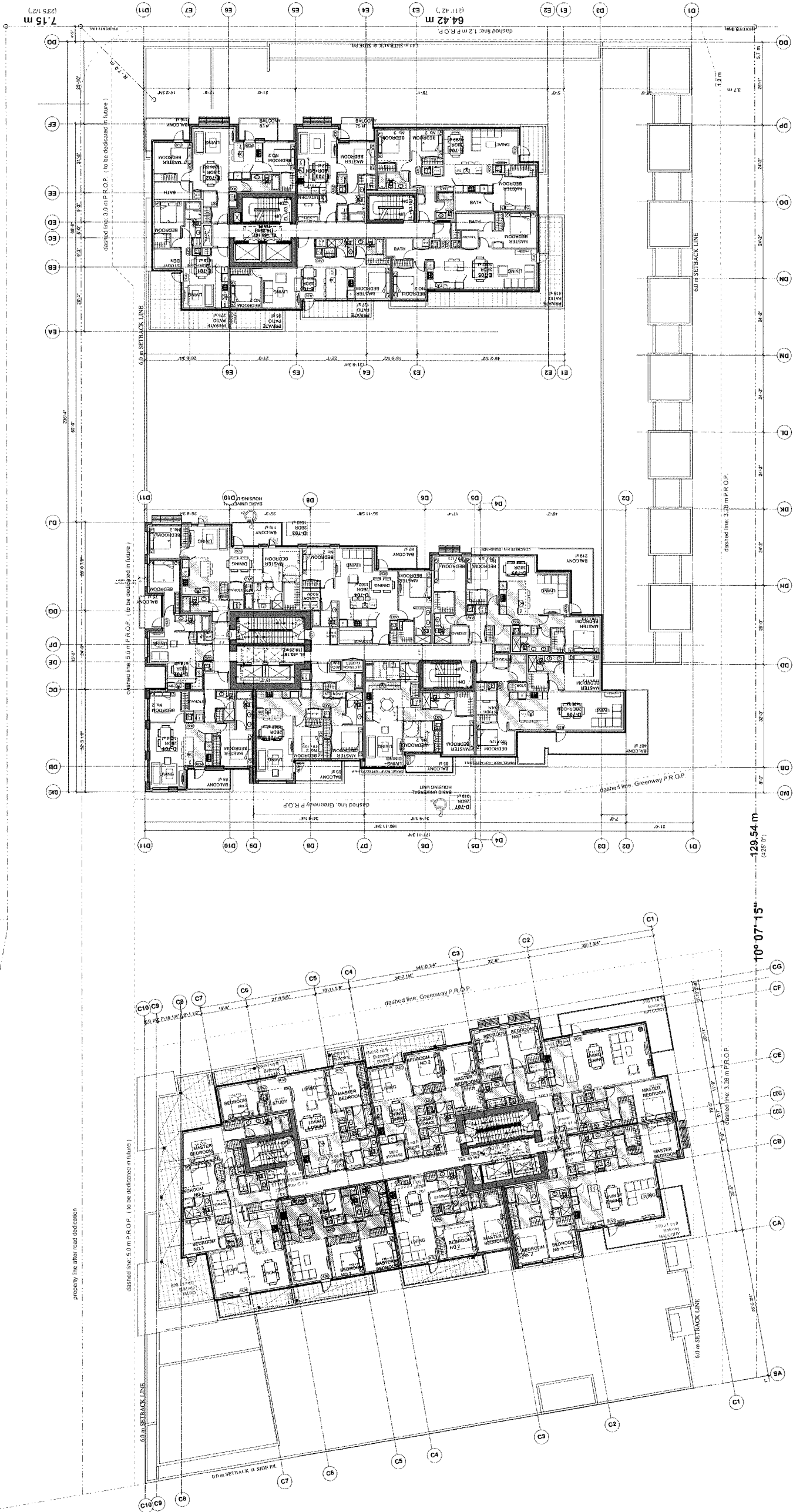
## Floor Plan L-7

JOB NO.	02-03
DRAWN	DM/IVK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL
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DRAWING NO. :	

DRAWING NO. :

**A-2.08**

PLAN #15 JUL 07 2020 DF 18-037117









ISSUANCE	REVISION
1	06/18/18 Issued for Development Permit
2	03/20/19 Revised for Development Permit
3	08/09/19 Revised for Staff Comments
4	10/21/19 Revised for Staff Comments (2)
5	11/14/19 Revised for Staff Comments (2)
6	11/06/19 Issued for ACP
7	09/12/20 Revised for Staff Comments (2)
8	06/15/20 Revised for Staff Report
9	07/09/20 Issued for CP Panel

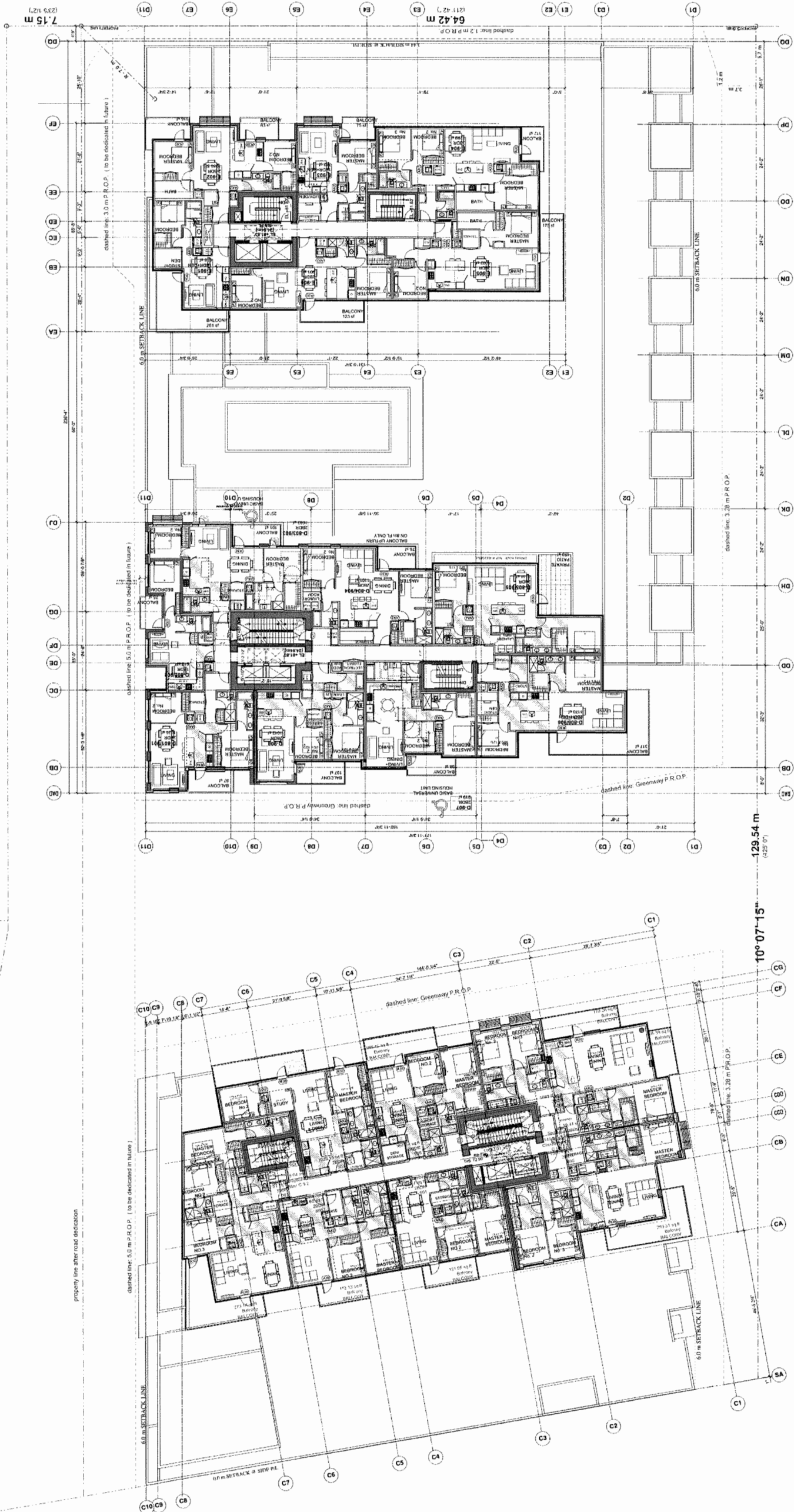
- REFERENCE NOTES:
1. BC Building Act, 1992
  2. BC Building Regulation, 1992
  3. BC Building Code, 1992
  4. BC Building Code, 1992
  5. BC Building Code, 1992
  6. BC Building Code, 1992
  7. BC Building Code, 1992
  8. BC Building Code, 1992
  9. BC Building Code, 1992

Resid'I Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6395 Mah Bing Street  
Richmond, BC

Floor Plan L-9

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

PLAN #17 JUL 07 2020  
DP 18-837117





ISSUE/REVISION		
1	09/18/18	Issued for Development Permit
2	03/20/19	Revised for Development Permit
3	08/04/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/4/19	Revised per Staff Comments (3)
6	11/03/19	Issued for ADP
7	03/12/20	Revised per Staff Comments (3)
8	08/15/20	Revisions for Staff Report
9	07/09/20	Issued for DP Permit

- REFERENCE NOTES:**
- 1.1 Zoning Bylaw 8500 (adopted November 16, 2008)
  - 1.2 Zoning Bylaw 8500 Amendment No. 8103
  - 1.3 Zoning Bylaw 8500 Amendment No. 8103
  - 1.4 Zoning Bylaw 8500 Amendment No. 8103
  - 1.5 Zoning Bylaw 8500 Amendment No. 8103
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  - 2.00 Zoning Bylaw 8500 Amendment No. 8103

**PROJECT**

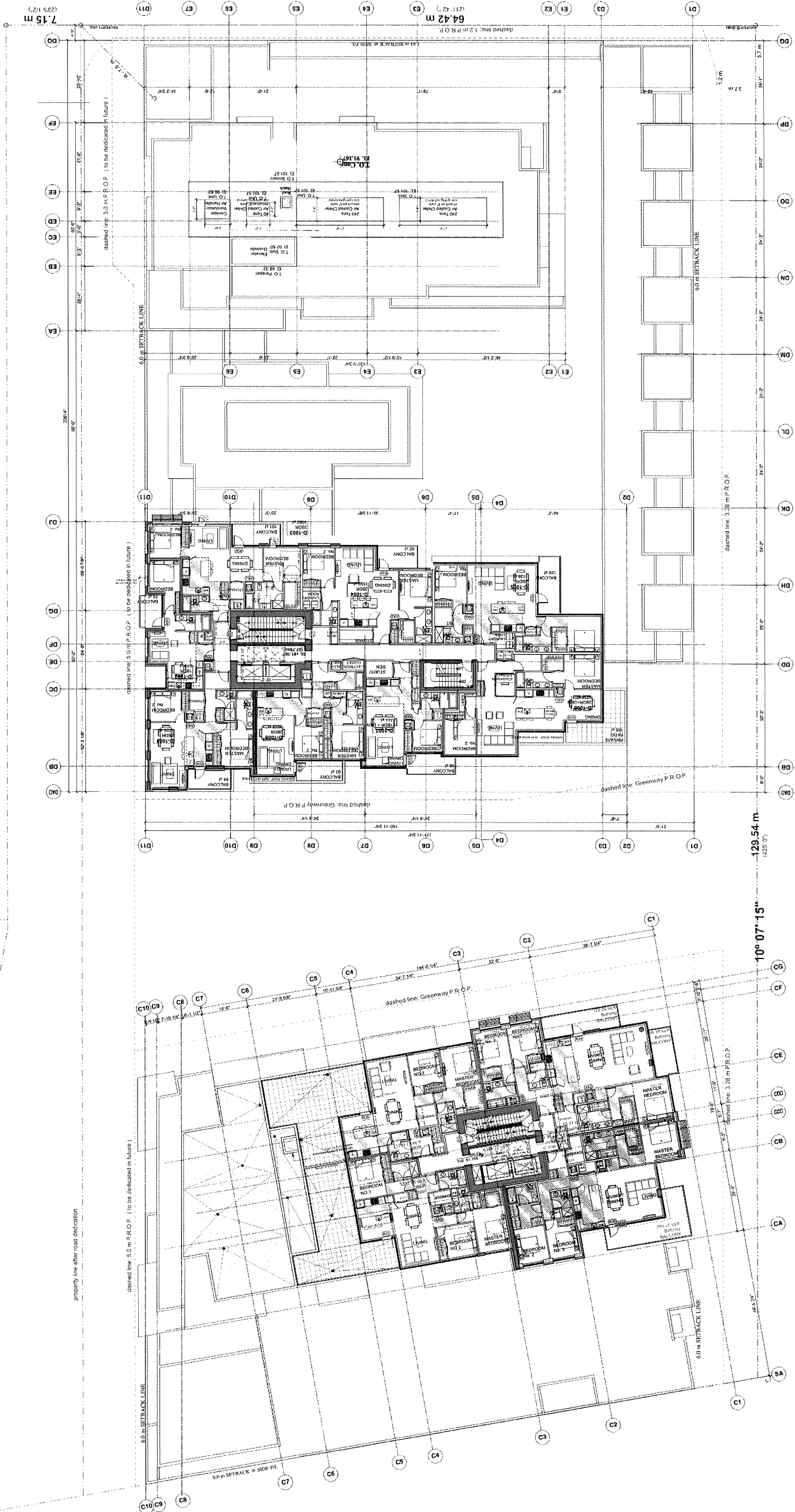
**Resid'I Development  
Park Residences PH2  
Tower C+D+E**

6333 - 6399 Mah Bing Street  
Richmond, BC

Floor Plan L-10

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

PLAN #18  
JUL 07 2020  
DP 18-837117







Suite 300, 973 West Broadway,  
Vancouver, British Columbia • Canada V5Z 1K3  
Telephone 604 736-9711, Facsimile 604 736-7991



ISSUE/REVISION	
1	09/16/18
2	03/20/19
3	03/09/19
4	10/21/19
5	11/14/19
6	11/08/19
7	05/12/20
8	06/15/20
9	07/09/20

REFERENCE NO.	DESCRIPTION
1.	Zoning Bylaw 6500 (Landscape) November 11, 2000
2.	RT2000-2001-0001-0002-0003-0004-0005-0006-0007-0008-0009-0010-0011-0012-0013-0014-0015-0016-0017-0018-0019-0020-0021-0022-0023-0024-0025-0026-0027-0028-0029-0030-0031-0032-0033-0034-0035-0036-0037-0038-0039-0040-0041-0042-0043-0044-0045-0046-0047-0048-0049-0050-0051-0052-0053-0054-0055-0056-0057-0058-0059-0060-0061-0062-0063-0064-0065-0066-0067-0068-0069-0070-0071-0072-0073-0074-0075-0076-0077-0078-0079-0080-0081-0082-0083-0084-0085-0086-0087-0088-0089-0090-0091-0092-0093-0094-0095-0096-0097-0098-0099-0100-0101-0102-0103-0104-0105-0106-0107-0108-0109-0110-0111-0112-0113-0114-0115-0116-0117-0118-0119-0120-0121-0122-0123-0124-0125-0126-0127-0128-0129-0130-0131-0132-0133-0134-0135-0136-0137-0138-0139-0140-0141-0142-0143-0144-0145-0146-0147-0148-0149-0150-0151-0152-0153-0154-0155-0156-0157-0158-0159-0160-0161-0162-0163-0164-0165-0166-0167-0168-0169-0170-0171-0172-0173-0174-0175-0176-0177-0178-0179-0180-0181-0182-0183-0184-0185-0186-0187-0188-0189-0190-0191-0192-0193-0194-0195-0196-0197-0198-0199-0200-0201-0202-0203-0204-0205-0206-0207-0208-0209-0210-0211-0212-0213-0214-0215-0216-0217-0218-0219-0220-0221-0222-0223-0224-0225-0226-0227-0228-0229-0230-0231-0232-0233-0234-0235-0236-0237-0238-0239-0240-0241-0242-0243-0244-0245-0246-0247-0248-0249-0250-0251-0252-0253-0254-0255-0256-0257-0258-0259-0260-0261-0262-0263-0264-0265-0266-0267-0268-0269-0270-0271-0272-0273-0274-0275-0276-0277-0278-0279-0280-0281-0282-0283-0284-0285-0286-0287-0288-0289-0290-0291-0292-0293-0294-0295-0296-0297-0298-0299-0300-0301-0302-0303-0304-0305-0306-0307-0308-0309-0310-0311-0312-0313-0314-0315-0316-0317-0318-0319-0320-0321-0322-0323-0324-0325-0326-0327-0328-0329-0330-0331-0332-0333-0334-0335-0336-0337-0338-0339-0340-0341-0342-0343-0344-0345-0346-0347-0348-0349-0350-0351-0352-0353-0354-0355-0356-0357-0358-0359-0360-0361-0362-0363-0364-0365-0366-0367-0368-0369-0370-0371-0372-0373-0374-0375-0376-0377-0378-0379-0380-0381-0382-0383-0384-0385-0386-0387-0388-0389-0390-0391-0392-0393-0394-0395-0396-0397-0398-0399-0400-0401-0402-0403-0404-0405-0406-0407-0408-0409-0410-0411-0412-0413-0414-0415-0416-0417-0418-0419-0420-0421-0422-0423-0424-0425-0426-0427-0428-0429-0430-0431-0432-0433-0434-0435-0436-0437-0438-0439-0440-0441-0442-0443-0444-0445-0446-0447-0448-0449-0450-0451-0452-0453-0454-0455-0456-0457-0458-0459-0460-0461-0462-0463-0464-0465-0466-0467-0468-0469-0470-0471-0472-0473-0474-0475-0476-0477-0478-0479-0480-0481-0482-0483-0484-0485-0486-0487-0488-0489-0490-0491-0492-0493-0494-0495-0496-0497-0498-0499-0500-0501-0502-0503-0504-0505-0506-0507-0508-0509-0510-0511-0512-0513-0514-0515-0516-0517-0518-0519-0520-0521-0522-0523-0524-0525-0526-0527-0528-0529-0530-0531-0532-0533-0534-0535-0536-0537-0538-0539-0540-0541-0542-0543-0544-0545-0546-0547-0548-0549-0550-0551-0552-0553-0554-0555-0556-0557-0558-0559-0560-0561-0562-0563-0564-0565-0566-0567-0568-0569-0570-0571-0572-0573-0574-0575-0576-0577-0578-0579-0580-0581-0582-0583-0584-0585-0586-0587-0588-0589-0590-0591-0592-0593-0594-0595-0596-0597-0598-0599-0600-0601-0602-0603-0604-0605-0606-0607-0608-0609-0610-0611-0612-0613-0614-0615-0616-0617-0618-0619-0620-0621-0622-0623-0624-0625-0626-0627-0628-0629-0630-0631-0632-0633-0634-0635-0636-0637-0638-0639-0640-0641-0642-0643-0644-0645-0646-0647-0648-0649-0650-0651-0652-0653-0654-0655-0656-0657-0658-0659-0660-0661-0662-0663-0664-0665-0666-0667-0668-0669-0670-0671-0672-0673-0674-0675-0676-0677-0678-0679-0680-0681-0682-0683-0684-0685-0686-0687-0688-0689-0690-0691-0692-0693-0694-0695-0696-0697-0698-0699-0700-0701-0702-0703-0704-0705-0706-0707-0708-0709-0710-0711-0712-0713-0714-0715-0716-0717-0718-0719-0720-0721-0722-0723-0724-0725-0726-0727-0728-0729-0730-0731-0732-0733-0734-0735-0736-0737-0738-0739-0740-0741-0742-0743-0744-0745-0746-0747-0748-0749-0750-0751-0752-0753-0754-0755-0756-0757-0758-0759-0760-0761-0762-0763-0764-0765-0766-0767-0768-0769-0770-0771-0772-0773-0774-0775-0776-0777-0778-0779-0780-0781-0782-0783-0784-0785-0786-0787-0788-0789-0790-0791-0792-0793-0794-0795-0796-0797-0798-079







ISSUE/REVISION	
1	09/18/16 Issued for Development Permit
2	03/20/19 Revised for Development Permit
3	06/09/19 Revised per Staff Comments
4	10/21/19 Revised per Staff Comments (2)
5	11/14/19 Revised per Staff Comments (3)
6	11/01/19 Issued for ADP
7	09/12/20 Revised per Staff Comments (4)
8	09/14/20 Revised for Staff Report
9	07/09/20 Issued for DP Permit

- REFERENCE NOTES:
- 1.1 Zoned Bylaw 8550 (Adopted November 16, 2008)
  - 1.2 Zoned Bylaw 8550 (Amended November 16, 2008)
  - 1.3 Zoned Bylaw 8550 (Amended November 16, 2008)
  - 1.4 Zoned Bylaw 8550 (Amended November 16, 2008)
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  - 1.15 Zoned Bylaw 8550 (Amended November 16, 2008)
  - 1.16 Zoned Bylaw 8550 (Amended November 16, 2008)
  - 1.17 Zoned Bylaw 8550 (Amended November 16, 2008)
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  - 1.99 Zoned Bylaw 8550 (Amended November 16, 2008)
  - 2.00 Zoned Bylaw 8550 (Amended November 16, 2008)

PROJECT

Resid'l Development  
Park Residences PH2  
Tower C+D+E

6333 - 6399 Mah Bing Street  
Richmond, BC

Floor Plan L-14

JOB NO	02-03
DRAWN	DMWK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL

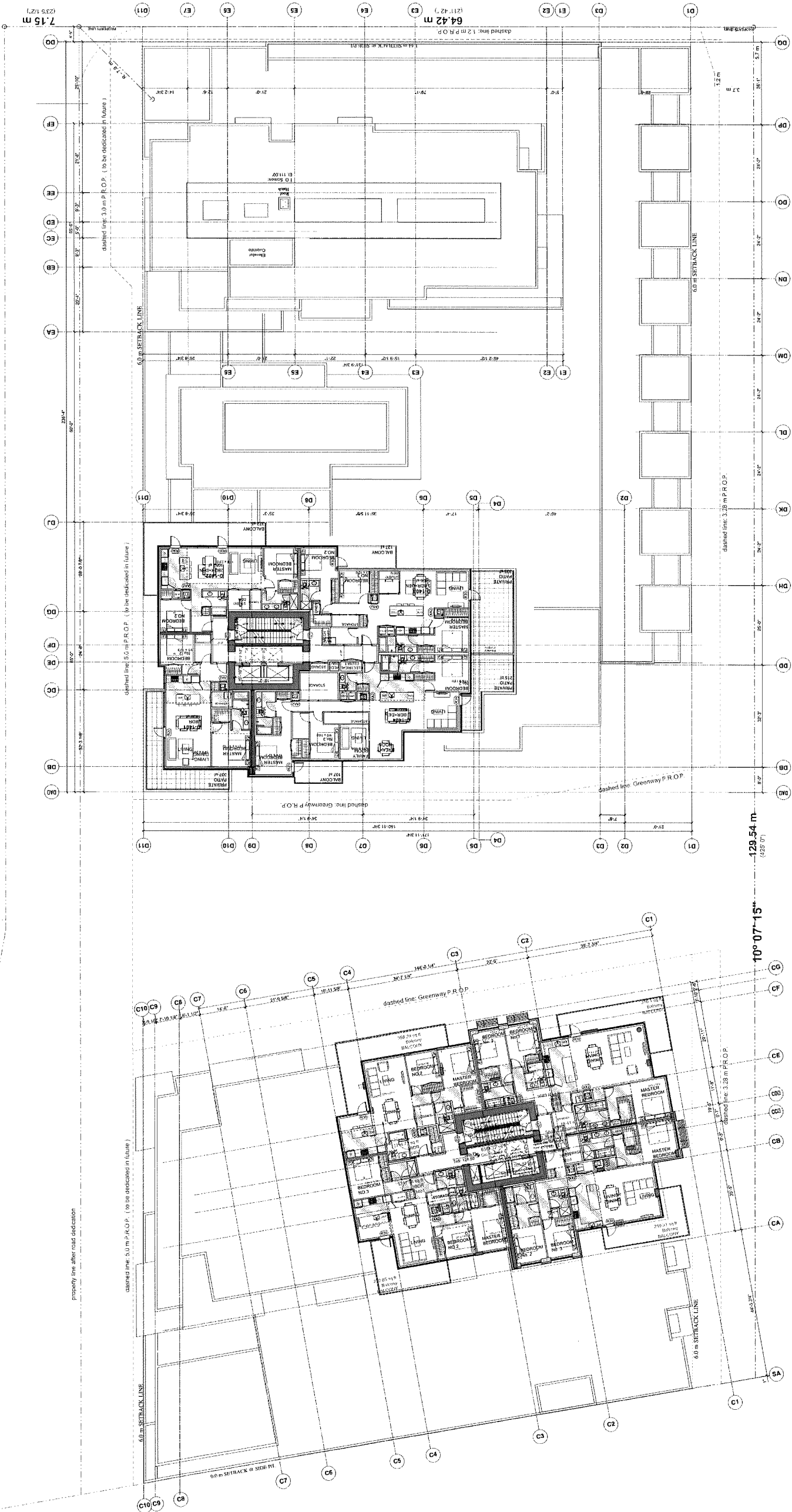
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DRAWING NO. :

A-2.15

PLAN 22 JUL 07 2020

DP 18-837117





ISSUE/REVISION	
1	09/18/18 Issued for Development Permit
2	03/20/19 Reissued for Development Permit
3	09/09/19 Reissued per Staff Comments
4	10/21/19 Reissued per Staff Comments (2)
5	11/4/19 Reissued per Staff Comments (3)
6	11/04/19 Issued for ACP
7	05/12/20 Reissued per Staff Comments (1)
8	06/15/20 Reissued per Staff Report
9	07/09/20 Issued for CP Permit

- REFERENCE NOTES:
- 1.1 Zone Bylaw 8500 (adopted November 18, 2008)
  - 1.2 Rezoning Bylaw 5300 (Amendment Bylaw No. 8103)
  - 1.3 Development Permit (CP) Bylaw 8500, Part 3.04, Item 3.04.1 (2)
  - 1.4 Development Permit (CP) Bylaw 8500, Part 3.04, Item 3.04.1 (2)
  - 1.5 Development Permit (CP) Bylaw 8500, Part 3.04, Item 3.04.1 (2)
  - 1.6 Development Permit (CP) Bylaw 8500, Part 3.04, Item 3.04.1 (2)
  - 2.1 Planning Policy
  - 3.1 Policy to Landscape Drawings for Landscape and Planning Plan
  - 4.1 Accessory Measures will be incorporated into the development and will be subject to the same review process as the main development. Accessory measures will be subject to the same review process as the main development.
  - 5.1 Mechanical Equipment (Ventilators, Generators, Compressors and Exhaust Systems) to be designed in accordance with Bylaw 8500.
  - 6.1 Design of Parking Structures to be designed in accordance with Bylaw 8500.
  - 7.1 Design of Parking Structures to be designed in accordance with Bylaw 8500.
  - 8.1 Design of Parking Structures to be designed in accordance with Bylaw 8500.
  - 9.1 Design of Parking Structures to be designed in accordance with Bylaw 8500.

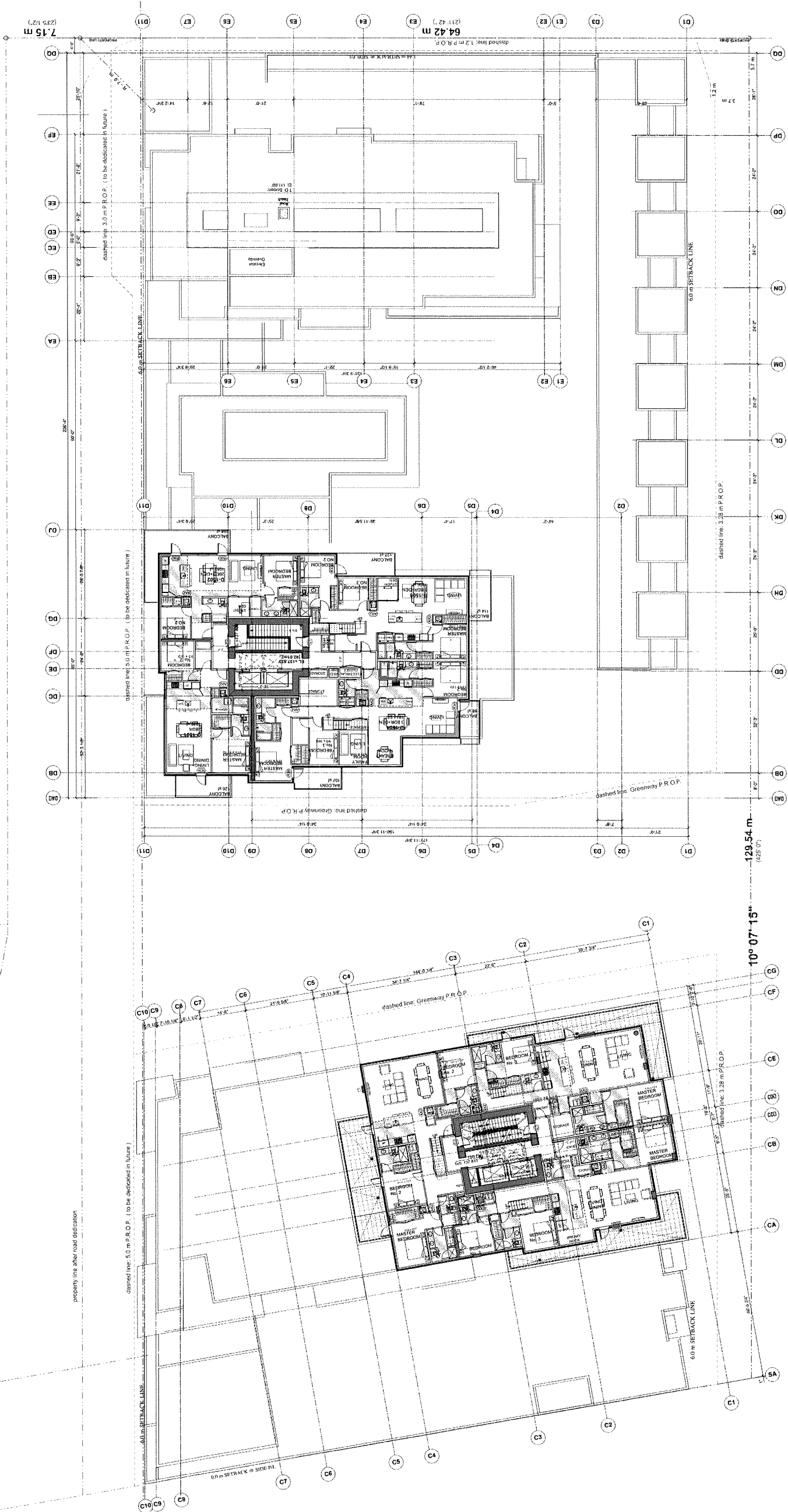
PROJECT  
**Resid'l Development  
Park Residences PH2  
Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

Floor Plan L-15

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
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DRAWING NO :	

A-2.16

PLAN #23  
JUL 07 2020  
OP 18-837117



Suite 300, 973 West Broadway,  
Vancouver, British Columbia • Canada V5Z 1K3  
Telephone 604 736-9711, Facsimile 604 736-7991



ISSUE/REVISION					
1	09/18/18	Issued for Development Permit			
2	03/20/19	Reissued for Development Permit			
3	09/09/19	Re-issued per Staff Comments			
4	10/27/19	Re-issued per Staff Comments (2)			
5	11/4/19	Re-issued per Staff Comments (3)			
6	11/08/19	Issued for ADP			
7	05/12/20	Re-issued per Staff Comments (1)			
8	06/15/20	Revisions for Staff Report			
9	07/09/20	Issued for DP Permit			

**REFERENCE NOTES:**

- [illegible]

**PROJECT**

**Resid'I Development  
Park Residences PH2  
Tower C+D+E**

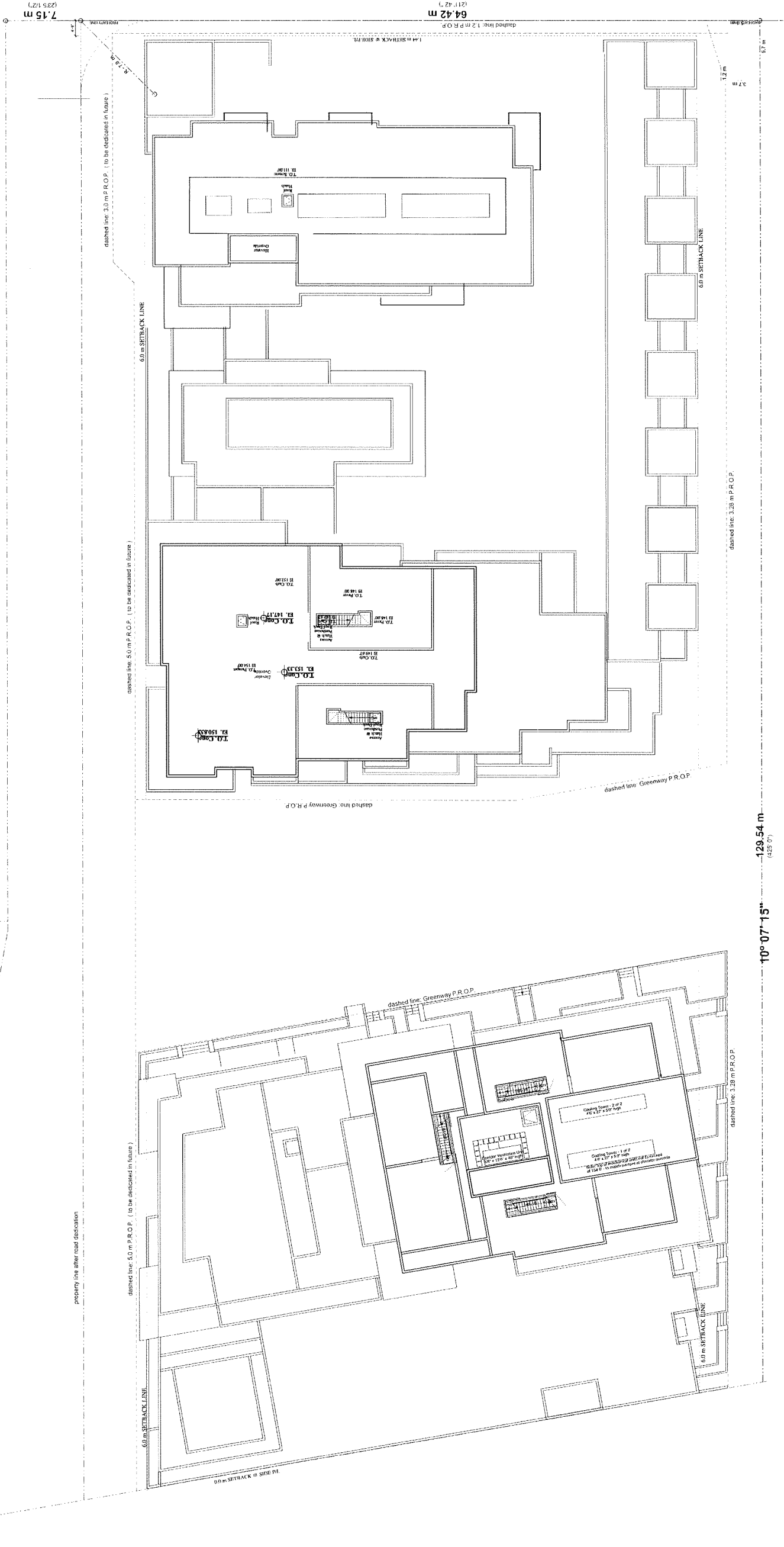
6333 - 6399 Mah Bing Street  
Richmond, BC

**Floor Plan L-16**  
**ROOF PLAN**

JOB NO	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
CHECKED	WTL
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DRAWING NO.	

**A-2.17**

PLAN #24  
JUL 07 2020  
DP 18-837117





MATERIAL LIST

- 1a

TERRA COTTA PANEL Moeding Quarzgrey (regular layout pattern)
- 1b

TERRA COTTA PANEL Moeding Quarzgrey (accent layout pattern)
- 2

CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3

DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4

BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5

GLASS GUARDRAIL
- 6

VERTICAL LANDSCAPING (see landscape drawings)
- 7

PERFORATED METAL SCREEN (mechanical rooftop units)
- 8

SPANDREL PANEL various colours (location TBD)

Ba

BM 2125-70 Weeding Veil

Bb

BM HC-16 Wedgewood Gray

Bc

BM HC-169 Wedgewood Blue

Bd

BM HC-12 Concord Ivory

Be

BM 2013-50 Sandblast

Bf

BM OC-840 Blue Heron
- 9

BRICK MASONRY - Imperial Gray

MECHANICAL NOTES

- A

FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind parapet  
acoustic noise mitigation measures to be incorporated at BP stage  
when equipment details and specifications complete
- B

FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties  
acoustic noise mitigation measures to be incorporated at BP stage  
when equipment details and specifications complete
- C

EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound  
at point of discharge
- D

PARKADE EXHAUST VENTILATION  
parkade fans w/ Variable Frequency Drives  
ventilation system operates on demand  
fan speeds match gas concentrations with parkade
- E

PASSIVE VENTILATION  
passive ventilation at service rooms



ISSUE/REVISION		
1	06/15/18	Issued for Development Permit
2	02/20/19	Re-issued for Development Permit
3	09/09/19	Re-issued per Staff Comments
4	10/21/19	Re-issued per Staff Comments (2)
5	11/04/19	Re-issued per Staff Comments (3)
6	11/06/19	Issued for ADP

PROJECT  
**Resid'l Development  
Park Residences PH 2  
Tower C+D+E**  
6333 - 6399 Mah Bing Road  
Richmond, BC

**Elevation West  
Park Elevation**

SUB NO.	02-03
DRAWN	DM/ VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

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DRAWING NO.:



MATERIAL LIST

- 1a

TERRA COTTA PANEL Moeding Quartzgrey (regular layout pattern)
- 1b

TERRA COTTA PANEL Moeding Quartzgrey (accent layout pattern)
- 2

CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3

DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4

BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5

GLASS GUARDRAIL
- 6

VERTICAL LANDSCAPING (see landscape drawings)
- 7

PERFORATED METAL SCREEN (mechanical rooftop units)
- 8

SPANDREL PANEL various colours (location TBD)

8a

BM 2125-70 Weeding Veil

8b

BM HC-15 Imperial Gray

8c

BM HC-159 Philadelphia Blue

8d

BM HC-12 Concord Ivory

8e

BM 2013-50 Sandblast

8f

BM CC-640 Blue Heron

9

BRICK MASONRY - Imperial Gray
- MECHANICAL NOTES
- A

FLUID COOLERS AND AIR HANDLING UNITS  
acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete

B

FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties  
acoustic noise mitigation measures to be incorporated at BP stage when equipment details and specifications complete

C

EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound at point of discharge

D

PARKADE EXHAUST VENTILATION  
parkade fans w/ Variable Frequency Drives  
ventilation system operates on demand  
fan speeds match gas concentrations w/in parkade

E

PASSIVE VENTILATION  
passive ventilation at service rooms
- 
- 2  
JUL 9, 2020 9:03:55 PM  
MIN 3.0+/- 0 ELEVATIONS+SECTIONS PLOT FILE TWR C+D+E CURRENT V2015 .vwx
- JUL 07 2020 PLAN #26 DP 18-837117
- A-3.02



MATERIAL LIST

- 1a

TERRA COTTA PANEL, Moeding Quarzgrey (regular layout pattern)
- 1b

TERRA COTTA PANEL, Moeding Quarzgrey (accent layout pattern)
- 2

CONCRETE clw ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3

DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4

BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5

GLASS GUARDRAIL
- 6

VERTICAL LANDSCAPING (see landscape drawings)
- 7

PERFORATED METAL SCREEN (mechanical rooftop units)
- 8

SPANDREL PANEL various colours (location TBD)

8a

BM 1725-70 Wedding Veil

8b

BM 1725-70 Weddings Veil

8c

BM HC-159 Philippsburg Blue

8d

BM HC-12 Concord Ivory

8e

BM 2013-SO Sandblast

8f

BM CC-840 Blue Heron

9

BRICK MASONRY - Imperial Gray
- MECHANICAL NOTES
- A

FLUID COOLERS AND AIR HANDLING UNITS  
located behind parapet wall  
acoustic noise mitigation measures to be incorporated at BP stage  
when equipment details and specifications complete

B

FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties  
acoustic noise mitigation measures to be incorporated at BP stage  
when equipment details and specifications complete

C

EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound  
at point of discharge

D

PARKADE EXHAUST VENTILATION  
perforated fans w/ Variable Frequency Drives  
operating at low speeds to reduce noise  
fan speeds match gas concentrations with parkade

E

PASSIVE VENTILATION  
passive ventilation at service rooms
- | ISSUE/REVISION |          | Issued for Development Permit    |
|----------------|----------|----------------------------------|
| 1              | 09/18/15 | Permitted for Development Permit |
| 2              | 03/20/19 | Re-issued per Staff Comments     |
| 3              | 06/09/19 | Re-issued per Staff Comments     |
| 4              | 10/21/19 | Re-issued per Staff Comments (2) |
| 5              | 11/04/19 | Re-issued per Staff Comments (3) |
| 6              | 11/06/19 | Issued for ADP                   |
| 7              | 01/17/20 | Re-issued per Staff Comments (4) |
- 
- PROJECT  
**Resid'l Development**  
**Park Residences PH 2**  
**Tower C+D+E**  
6333 - 6399 Mah Bing Road  
Richmond, BC
- Greenway Elevations**  
**SOUTH TWR C**  
**NORTH TWR D**
- |         |                 |
|---------|-----------------|
| JOB NO. | 02-03           |
| DRAWN   | DM/ VK          |
| DATE    | August 23, 2018 |
| SCALE   | 1/16"           |
| CHECKED | WTL             |
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- DRAWING NO. :
- GREENWAY NORTH ELEVATION TOWER D
- GREENWAY SOUTH ELEVATION TOWER C **PLAN#27 DP 18-837117**
- A-3.03**  
**JUL 07 2020**



MATERIAL LIST

- 1a

TERRA COTTA PANEL Moeding Quarzgrey (regular layout pattern)
- 1b

TERRA COTTA PANEL Moeding Quarzgrey (accent layout pattern)
- 2

CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3

DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4

BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5

GLASS GUARDRAIL
- 6

VERTICAL LANDSCAPING (see landscape drawings)
- 7

PERFORATED METAL SCREEN (mechanical rooftop units)
- 8

SPANDREL PANEL various colours (location TBD)  
8a BM 2125-70 Wedding Veil  
8b BM HC-146 Wedgewood Gray  
8c BM HC-146 Wedgewood Blue  
8d BM HC-12 Concord Ivory  
8e BM 2013-30 Sunblast  
8f BM CC-840 Blue Heron
- 9

BRICK MASONRY - Imperial Gray

MECHANICAL NOTES

- A

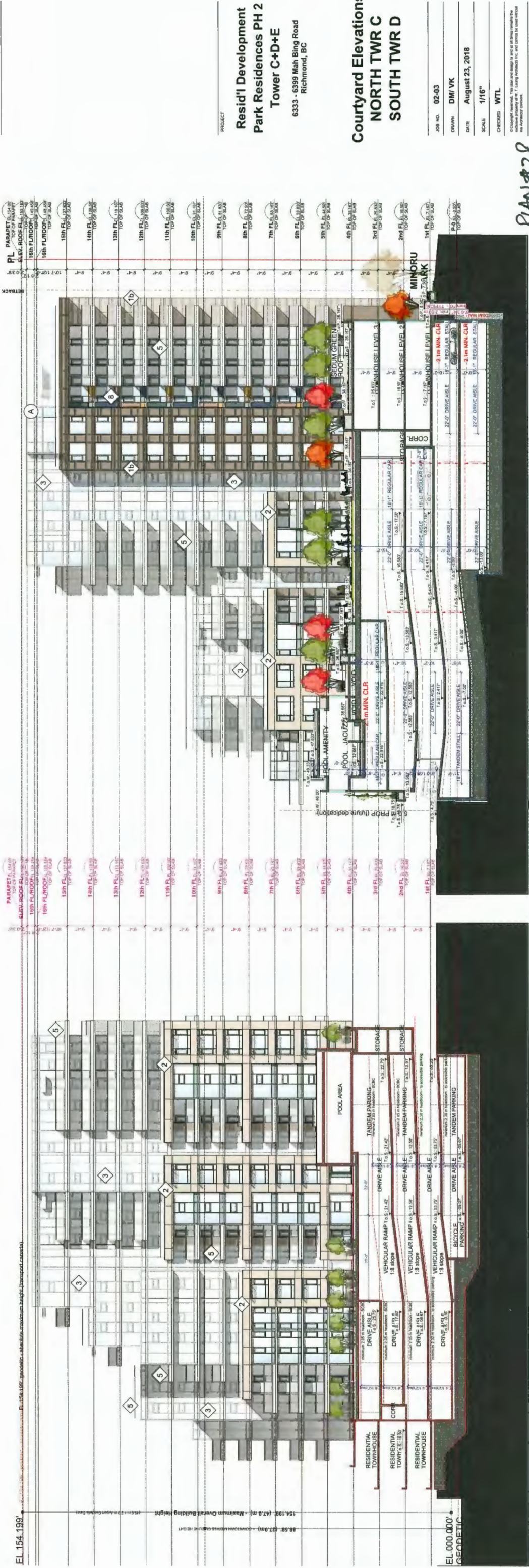
FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind parapet  
acoustic noise mitigation measures to be incorporated at BP stage  
when equipment details and specifications complete
- B

FLUID COOLERS AND AIR HANDLING UNITS  
concealed behind metal screen w/ acoustic properties  
acoustic noise mitigation measures to be incorporated at BP stage  
when equipment details and specifications complete
- C

EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound  
at point of discharge
- D

PARKADE EXHAUST VENTILATION  
parkade fans w/ Variable Frequency Drives  
ventilation system operates 'on demand'  
fan speeds match gas concentrations with parkade
- E

PASSIVE VENTILATION  
passive ventilation at service rooms



COURTYARD SOUTH ELEVATION TOWER D

COURTYARD NORTH ELEVATION TOWER C

PLAN #28

ISSUE/REVISION		Issued for Development Permit
1	06/18/19	Revised for Development Permit
2	02/20/19	Revised for Development Permit
3	09/06/19	Revised per Staff Comments
4	10/21/19	Revised per Staff Comments (2)
5	11/04/19	Revised per Staff Comments (3)
6	11/06/19	Issued for ADP

PROJECT  
Resid'l Development  
Park Residences PH 2  
Tower C+D+E  
6333 - 6399 Mah Bing Road  
Richmond, BC

Courtyard Elevations  
NORTH TWR C  
SOUTH TWR D

JOB NO	02-03
DRAWN	DM/ VK
DATE	August 23, 2018
SCALE	1/16"
CHECKED	WTL

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DRAWING NO.:



MATERIAL LIST

- 1a

TERRA COTTA PANEL Moeding Quarzgrey (regular layout pattern)
- 1b

TERRA COTTA PANEL Moeding Quarzgrey (accent layout pattern)
- 2

CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3

DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4

BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5

GLASS GUARDRAIL
- 6

VERTICAL LANDSCAPING (see landscape drawings)
- 7

PERFORATED METAL SCREEN (mechanical rooftop units)
- 8

SPANDREL PANEL various colours (location TBD)  
8a BM 2125-70 Wedding Veil  
8b BM HC-12 Concord Ivory  
8c BM HC-159 Phosphor Blue  
8d BM HC-12 Concord Ivory  
8e BM 2013-50 Sandblast  
8f BM CC-940 Blue Heron
- 9

BRICK MASONRY - Imperial Gray

MECHANICAL NOTES

- A

FLUID COOLERS AND AIR HANDLING UNITS  
condensed drain piping shall be connected to the main building drain and vent system. All condensate piping shall be installed in a manner that ensures proper drainage. All piping shall be supported independently of the building structure. All piping shall be installed in a manner that ensures proper drainage. All piping shall be installed in a manner that ensures proper drainage.
- B

FLUID COOLERS AND AIR HANDLING UNITS  
condensed drain piping shall be connected to the main building drain and vent system. All condensate piping shall be installed in a manner that ensures proper drainage. All piping shall be supported independently of the building structure. All piping shall be installed in a manner that ensures proper drainage. All piping shall be installed in a manner that ensures proper drainage.
- C

EMERGENCY GENERATOR ROOM  
generator equipped with engine muffler to reduce sound at point of discharge
- D

PARKADE EXHAUST VENTILATION  
parkade fans w/ Variable Frequency Drives  
ventilation system operates "on demand"  
fan speeds match gas concentrations with parkade
- E

PASSIVE VENTILATION  
passive ventilation at service rooms



COURTYARD NORTH ELEVATION TOWER E

LANE SOUTH ELEVATION TOWER E

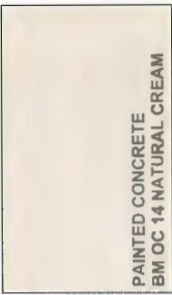




PAINTED CONCRETE BUILDING



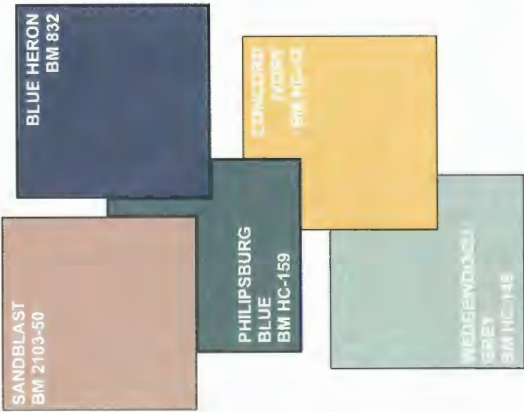
GLASS SPANDREL PANEL  
GLASS TOWER PORTION



PAINTED CONCRETE BUILDING  
BM OC 14 NATURAL CREAM



GLAZED PANEL  
BACK PAINTED GLASS  
BM 2155-20 Gold Mine



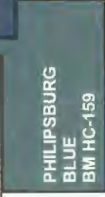
GLASS SPANDREL PANEL



SANDBLAST  
BM 2103-50



BLUE HERON  
BM 892



PHILIPSBURG  
BLUE  
BM HC-159

TERRA COTTA  
MOEDING ALPHATON  
COLOUR QUARTZ GREY



WEDGEWOOD  
GREY  
BM HC-146

MATERIAL LIST

- 1a
- TERRA COTTA PANEL Moeding Quartzgrey (regular layout pattern)
- 1b
- TERRA COTTA PANEL Moeding Quartzgrey (accent layout pattern)
- 2
- CONCRETE c/w ELASTOMERIC PAINT FINISH (BM OC-14 Natural Cream)
- 3
- DOUBLE GLAZED WINDOW IN PREFINISHED ALUMINUM FRAME (window wall)
- 4
- BACKPAINTED GLAZED PANEL - ACCENT COLOUR BM 2155-20 Gold Mine
- 5
- GLASS GUARDRAIL
- 6
- VERTICAL LANDSCAPING (see landscape drawings)
- 7
- PERFORATED METAL SCREEN (mechanical rooftop units)
- 8
- SPANDREL PANEL various colours (location TBD)  
BM HC-125 Wedding Veil  
BM HC-146 Philipsburg Grey  
BM HC-159 Philipsburg Blue  
BM HC-12 Concord Ivory  
BM 2013-50 Sandblast  
BM CC-840 Blue Heron



BM 2136-70 WHISPERING SPRING

BM HC-146 WEDGEWOOD GREY

ISSUE/REVISION

PROJECT

Resid'I Development  
Park Residences PH 2  
Tower C+D+E  
6333 - 6399 Main BIng Road  
Richmond, BC

MATERIAL DETAILS  
EQUITONE TE60  
PHASE 2

JOB NO. 02-03

DRAWN DM, VK

DATE AUGUST 31, 2018

SCALE NTS

CHECKED WTL

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JUL 07 2020

PLAN #31

DP 18-837117  
A-X.x9







RESIDENTIAL

PROJECT  
Resid'l Development  
Park Residences PH 2  
Tower C-D+E  
6333 - 6399 Mah Bing Road  
Richmond, BC

MATERIAL DETAILS  
QUARTZGRAU  
PHASE 2

JOB NO.	02-03
DRAWN	DM, VK
DATE	AUGUST 31, 2018
SCALE	NTS
CHECKED	WTL
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DRAWING NO.	

JUL 07 2020

PLAN # 32

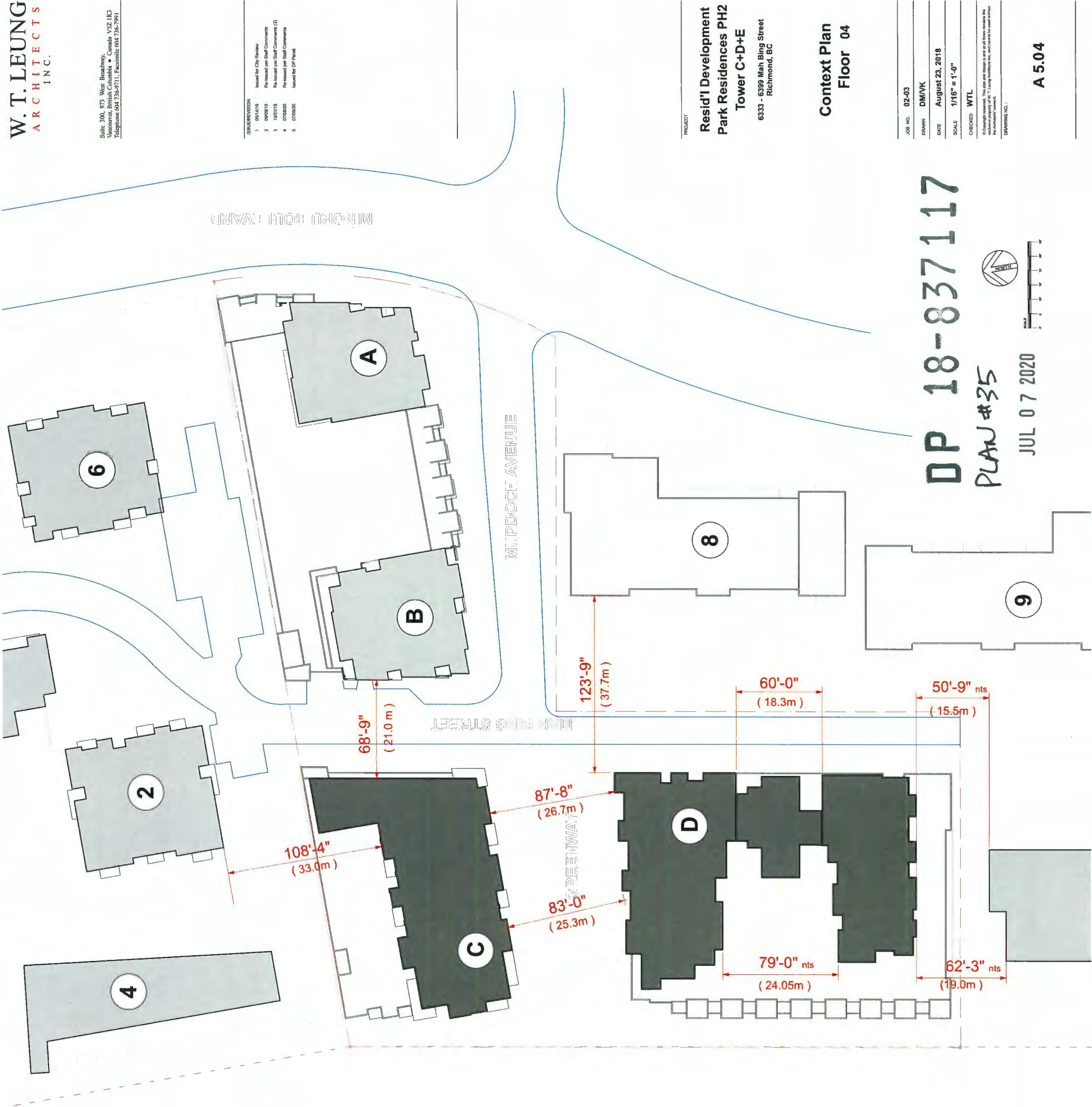
DP 18-837117







REVISION	
1	05/14/18 Issued for City Review
2	09/09/18 Re-issued per Staff Comments
3	10/21/18 Re-issued per Staff Comments (2)
4	07/06/20 Re-issued per Staff Comments
5	07/06/20 Issued for DP Picked



DP 18-837117

PLAN #35

JUL 07 2020



A 5.04

#	NAME	FL PLATE
---	------	----------

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	4 360 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* ADJACEN PROPERTIES

\* adjacent floorplate sizes approximate based on available information

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	13 219 sf
D	6355 Mah Bing	12 623 sf
E	6399 Mah Bing	7 577 sf

SUBJECT SITE

Floor Level 04

T.O. Slab - EI 35.17' (a.55m above ground plain)

PROJECT  
Resid'l Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

Context Plan  
Floor 04

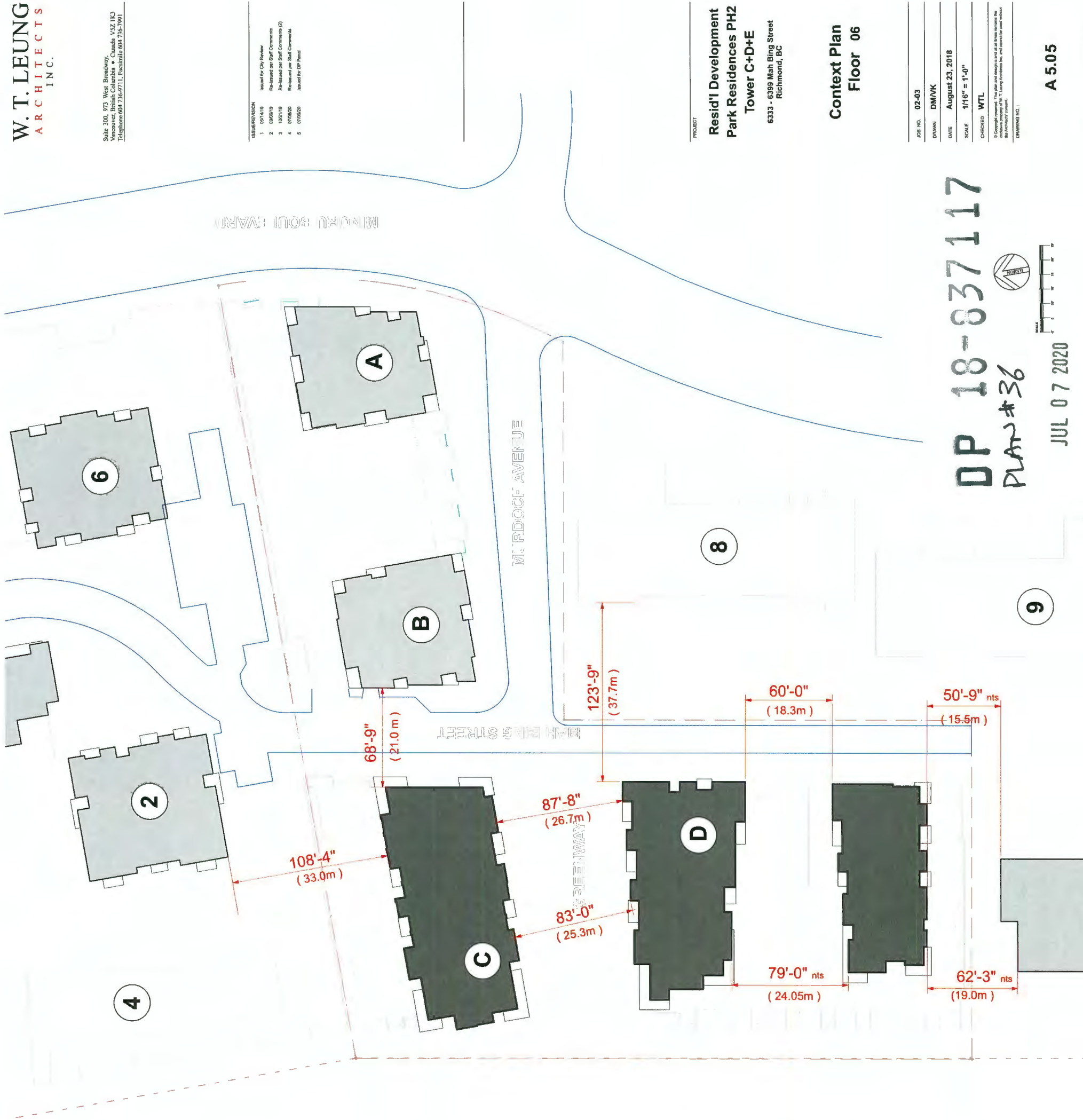
JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"

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DP 18-837117  
PLAN #36



JUL 07 2020

A 5.05

#	NAME	FL PLATE
---	------	----------

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* ADJACENT PROPERTIES \*

\* adjacent floorplate sizes approximate based on available information

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	11 610 sf
D	6355 Mah Bing	9 737 sf
E	6399 Mah Bing	7 204 sf

SUBJECT SITE

PROJECT  
Resid'l Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

Context Plan  
Floor 06

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
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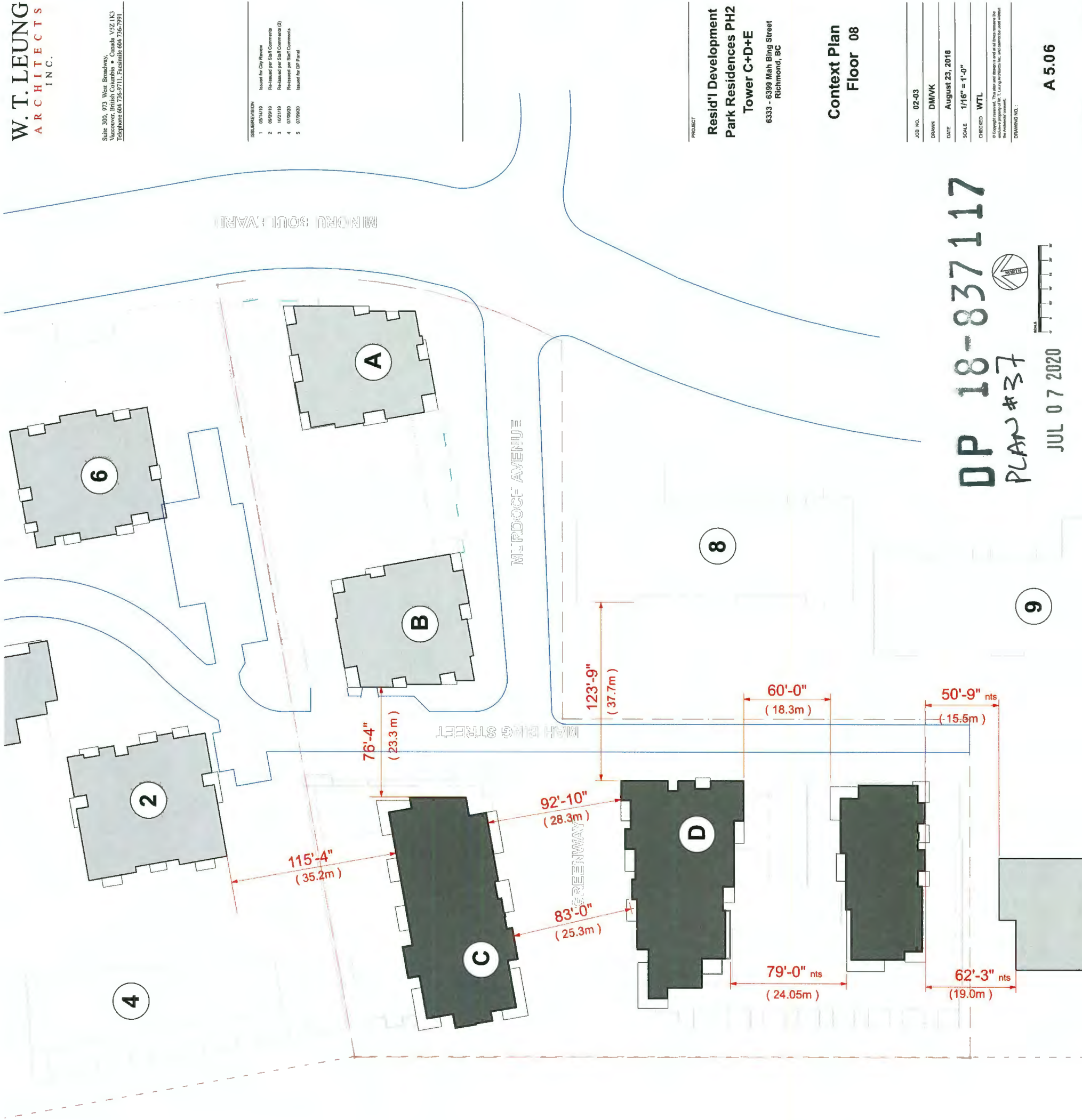
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DRAWING NO.:

Floor Level 06

T.O. Slab - EI 53.83' (14.2m above ground plane)



ISSUANCE/REVISION	
1	05/14/19 Issued for City Review
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5	07/08/20 Issued for DP Panel



#	NAME	FL PLATE
---	------	----------

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	16 395 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* ADJACEN PROPERTIES \*

\* adjacent floorplate sizes approximate based on available information

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	10 157 sf
D	6355 Mah Bing	9 290 sf
E	6399 Mah Bing	6 280 sf

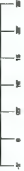
SUBJECT SITE

PROJECT  
Resid'l Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

Context Plan  
Floor 08

JOB NO.	02-03
DESIGN	DM/VK
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DP 18-837117  
PLAN #37



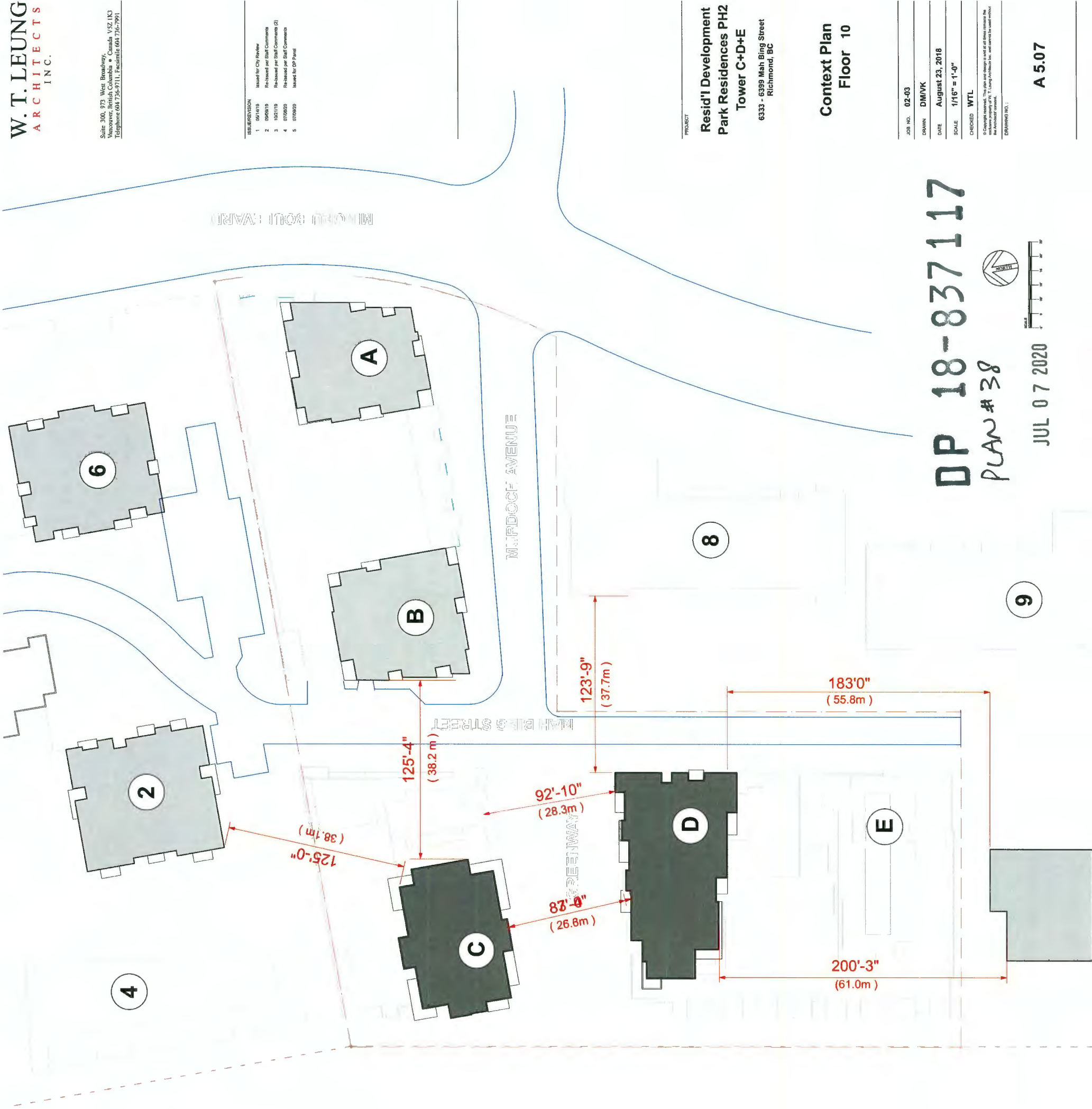
JUL 07 2020

A 5.06

Floor Level 08

T.O. Slab - EI 72.50' (19.25m above ground plain)

REVISION		
1	05/14/19	Issued for City Review
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#	NAME	FL PLATE
---	------	----------

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* ADJACEN PROPERTIES

\* adjacent floorplate sizes approximate based on available information

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	6 668 sf
D	6355 Mah Bing	9 125 sf
E	6399 Mah Bing	6 193 sf

SUBJECT SITE

PROJECT  
Resid'l Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

Context Plan  
Floor 10

JOB NO.	02-03
DRAWN	DM/VK
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DRAWING NO. 1

DP 18-837117  
PLAN #38

JUL 07 2020

A 5.07

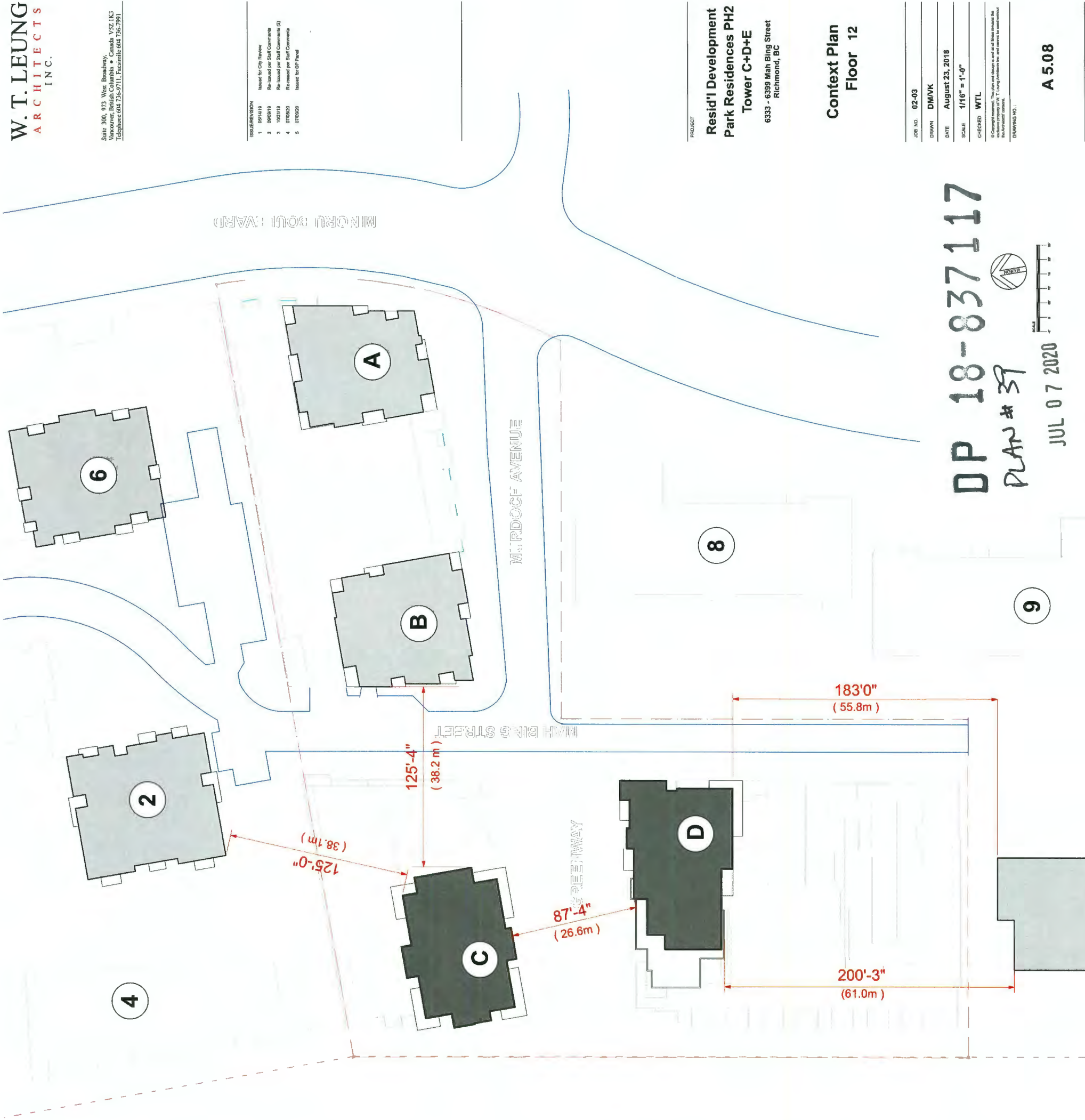
Floor Level 10

T.O. Slab - EI 91.67' (25.6m above ground plane)



Suite 300, 973 West Broadway,  
Vancouver, British Columbia • Canada V6Z 1K3  
Telephone (604) 736-9711 • Facsimile (604) 736-7891

ISSUE/REVISION	
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#	NAME	FL PLATE
---	------	----------

1	Carrera Tower	8 519 sf
2	Carrera Tower	8 519 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 800 sf
6	Kiwanis Tower	7 800 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

ADJACEN PROPERTIES \*

A	7399 Murdoch	6 660 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	6 668 sf
D	6355 Mah Bing	7 176 sf
E	6399 Mah Bing	0 000 sf

SUBJECT SITE

\* adjacent floorplate sizes approximate based on available information

PROJECT  
Resid'l Development  
Park Residences PH2  
Tower C+D+E  
6333 - 6399 Mah Bing Street  
Richmond, BC

Context Plan  
Floor 12

JOB NO.	02-03
DRAWN	DM/VK
DATE	August 23, 2018
SCALE	1/16" = 1'-0"
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DRAWING NO.:

DP 18-837117  
PLAN # 39

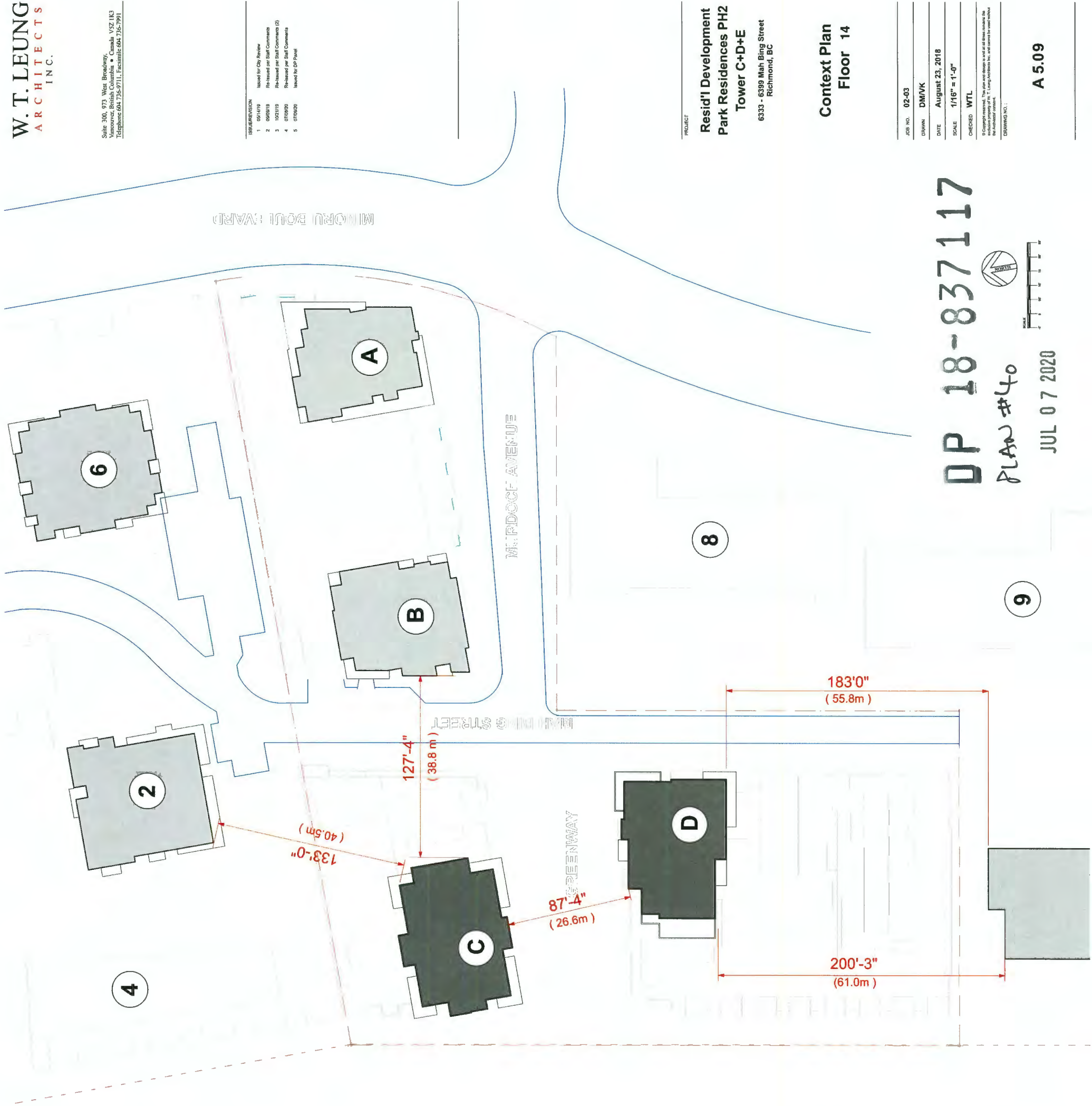
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A 5.08



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REVISION	
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4	07/06/20 Re-issued per Staff Comments
5	07/06/20 Issued for CP Permit



PROJECT  
**Resid'l Development  
Park Residences PH2  
Tower C+D+E**  
6333 - 6399 Mah Bing Street  
Richmond, BC

Context Plan  
Floor 14

JOB NO.	02-03
DRAWN	DM/VK
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SCALE	1/16" = 1'-0"
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DRAWING NO.:  
**A 5.09**

DP 18-837117

PLAN #40

JUL 07 2020

Floor Level 14

T.O. Slab - EI 128.50 (27.05m above ground plane)

\* ADJACENT PROPERTIES

#	NAME	FL PLATE
1	Carrera Tower	8 275 sf
2	Carrera Tower	8 275 sf
3	Carrera Mid-Rise	0 000 sf
4	Carrera Amenity	0 000 sf
5	Kiwanis Tower	7 600 sf
6	Kiwanis Tower	7 600 sf
7	Minoru Gardens	12 610 sf
8	Low Rise	0 000 sf
9	Low Rise	0 000 sf

\* adjacent floorplate sizes approximate based on available information

SUBJECT SITE

A	7399 Murdoch	5 540 sf
B	7333 Murdoch	6 865 sf
C	6333 Mah Bing	6 668 sf
D	6355 Mah Bing	6 294 sf
E	6399 Mah Bing	0 000 sf









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102 - 1637 West 5th Avenue Vancouver  
BC V6J 1N5  
t: 604 684 4611  
f: 604 684 0577  
www.dk.bc.ca

Drawn by:	ROC
Checked by:	ID
Date:	June 28th 2018
Scale:	1/8" = 1' 0"
Drawing Title:	

PLAN #42

Sheet No.:

-8371<sup>L-2</sup>17















**Project:**  
**Resid"l Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	1/8" = 1' 0"

Drawing Title:

**Landscape Plan  
Level 4  
Building C**

Project No.:

Sheet No.:

L-1.5

[illegible]

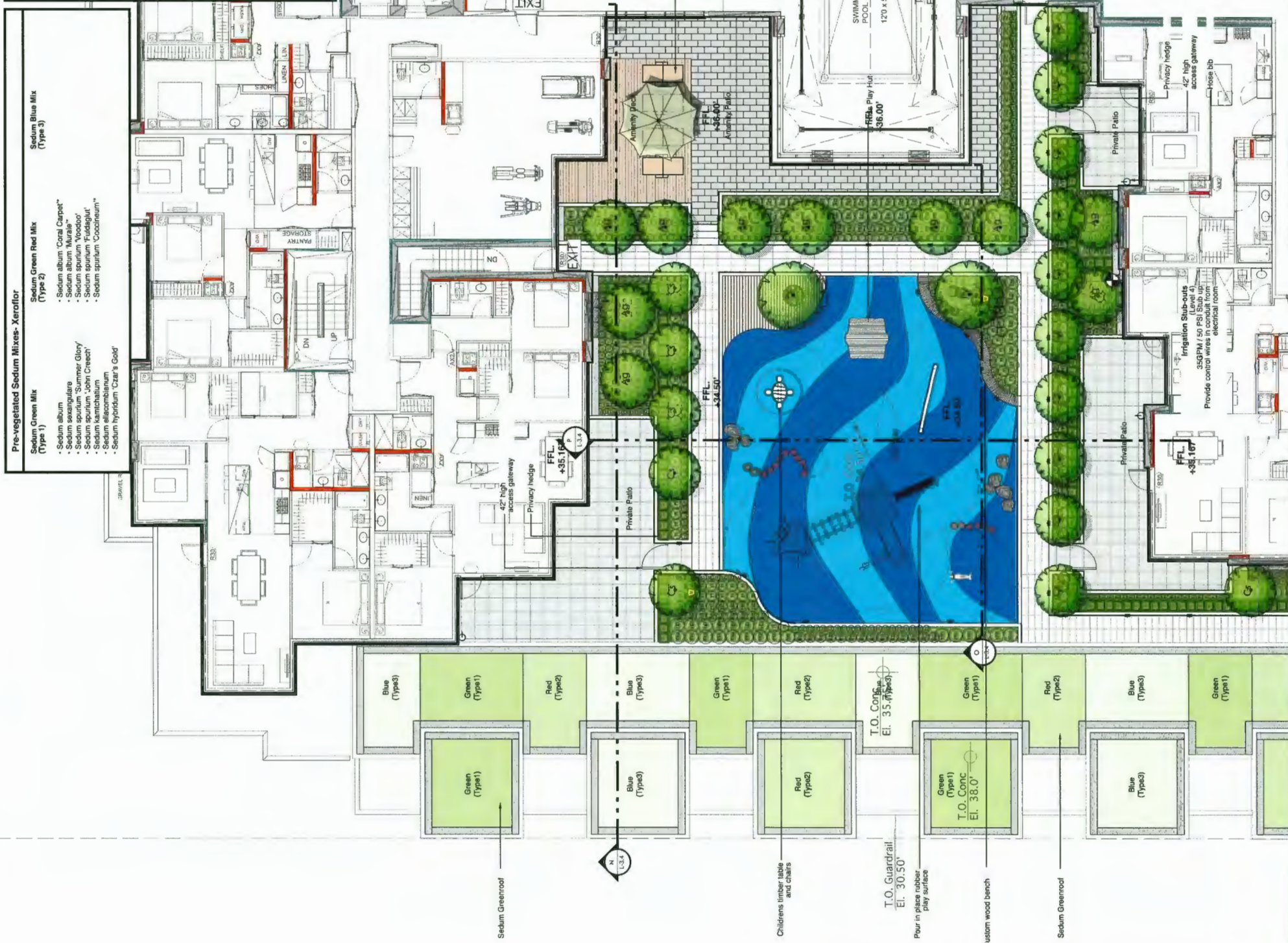
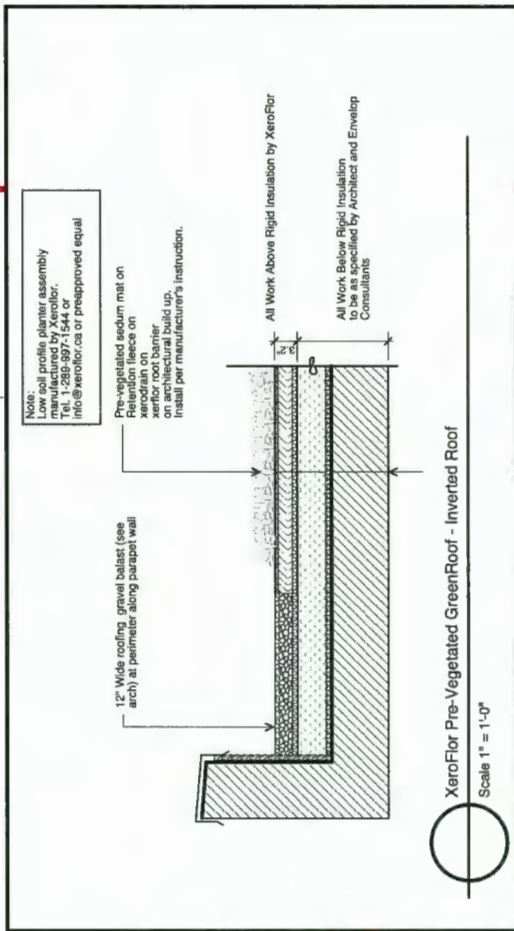
**durantekreuk**

**dk**

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NEW PROPERTY LINE (after road dedication)

PLAN #46

JUL 07 2020

## L-1.6

[illegible]

**durantekruk**  
**kruk**

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**Project:**  
**Resid'N' Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

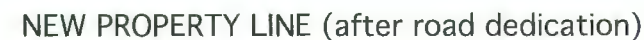
Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	1/8" = 1' 0"

**Landscape Plan  
Level 4  
Buildings D&E**

Project No.: 17020

Sheet No.:



[illegible]

Revisions:

**durantekreuk**

**k p**

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**Project:**  
**Resid'l Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

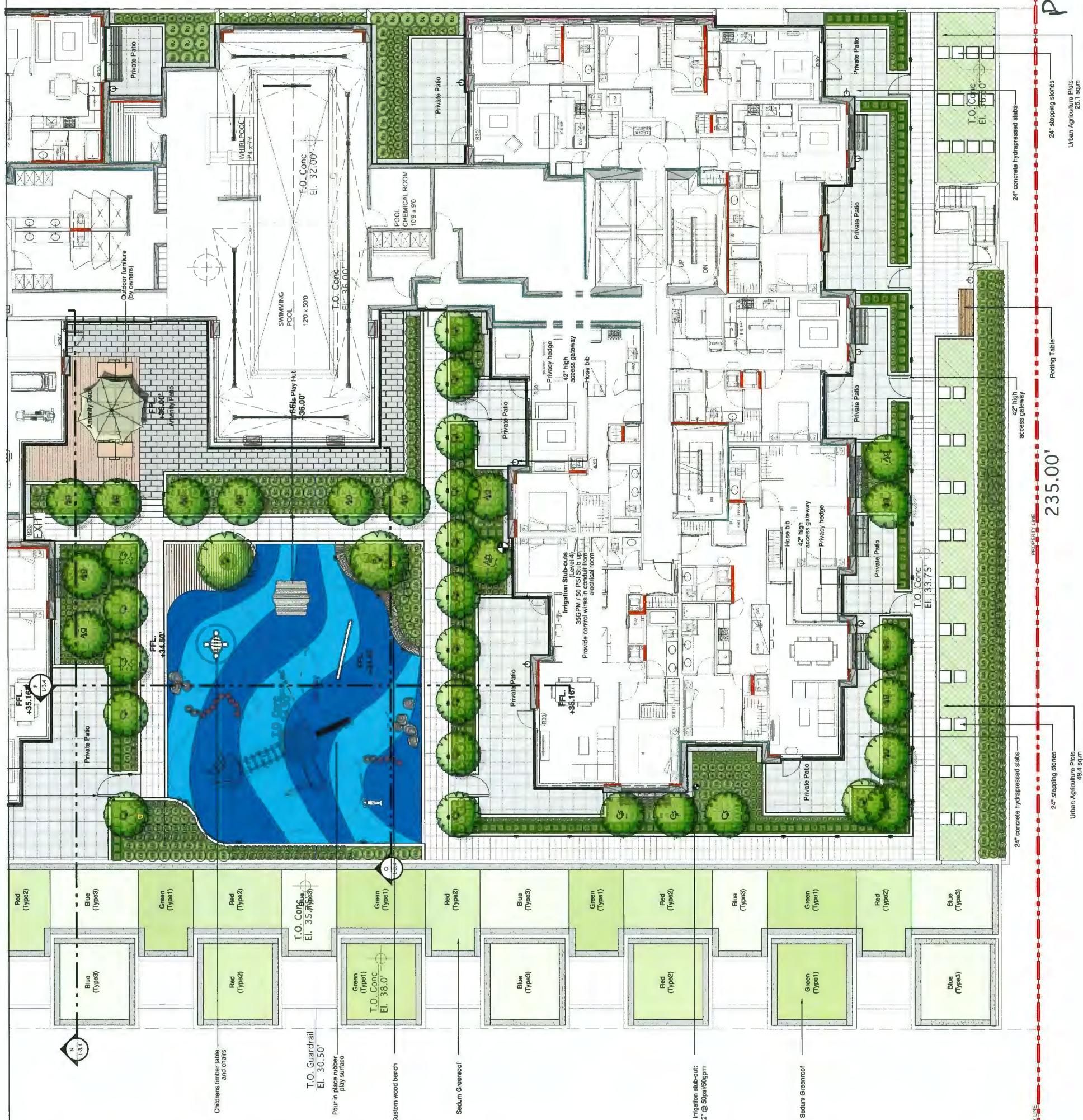
Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	1/8" = 1' 0"
Drawing title:	

**Landscape Plan  
Level 4  
Buildings D&E**

Project No.: 17020

Sheet No.:

### L-1.7



2020 07 20

PROPERTY LINE

PLA 2 #47

26.1 sq.m

Urban Agriculture Plots—  
10 A sq m



[illegible]

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**Project:**  
**Resid'I Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing S**  
**Richmond, B.C.**

Drown by: RO'C

Checked by: JD

Date: June 28th 2018

Scale:  $1/8" = 1' 0"$ 

Drawing Title:

**Landscape Plan  
Level 2 & Level 9  
Building C**

Project No.:

17020

Sheet No.:

L-1.8



PLAN #48

DP 18-837117









LIGHTING LEGEND		Detail Key
Graphic	Description	
	Light Pole (Located in Greenway) MTR Column (round) Supplier: Selux	
	Up-lighting (Located in public art piece) Or approved equivalent Supplier: Bega (or approved equivalent) In grade adjustable w/ clear glass	
	Inset Wall Lights (located at building entrances and townhouse steps) Or approved equivalent Supplier: Bega (or approved equivalent)	
	Downlighting (attached to building facade) Or approved equivalent Supplier: Bega (or approved equivalent)	

[illegible]

**durantekruk**  
**dk**

**Project:**  
**Resid'I Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	1/8" = 1' 0"
Drawing Title:	

**Landscape Lighting Plan  
Ground Level  
Building C & D**

Project No.: 17020

Sheet No.:

L-1.10

PLAN 450 JUL 07 2020 DP 18-837117











[illegible]

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**durantekreuk**  
**kp**

**Project:**  
**Resid'ni Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	1/8" = 1' 0"
Drawing Title:	

**Landscape Lighting Plan  
Level 4  
Buildings D&E**

117  
Project No. 17020

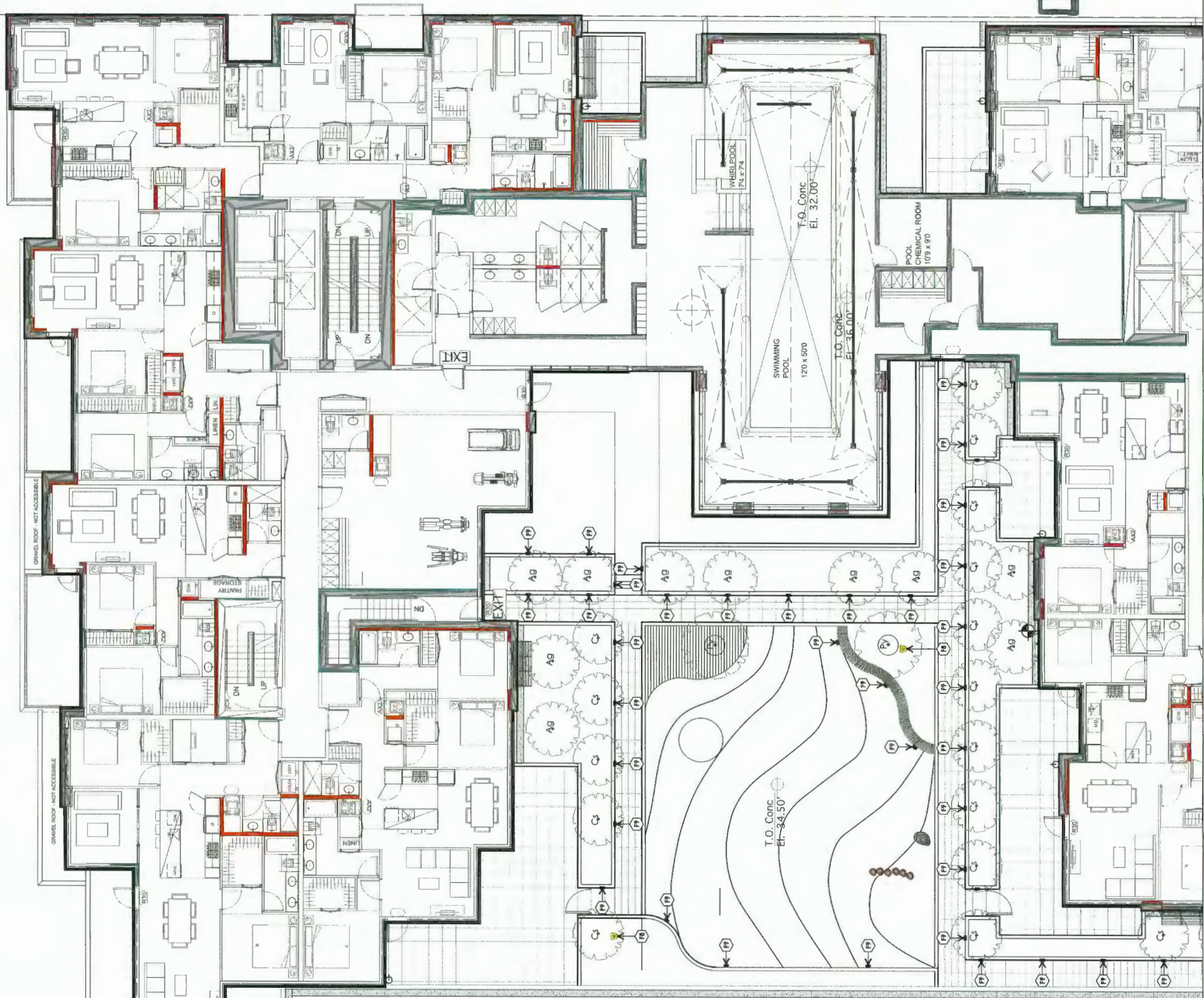
Sheet No.:




**L-1.13**

NEW PROPERTY LINE (after road dedication)

DP 18-  
PLAN #53

JUL 7 2020



LIGHTING LEGEND		Detail Key
Graphic	Description	
	<b>Light Pole (Located in Greenway)</b> MTR Column (round) Supplier: Seux	
	<b>Uplighting (Located in public art piece)</b> Or approved equivalent Supplier: Beggs (or approved equivalent) In grade concrete w/ clear glass	
	<b>Inset Wall lights (located at building entrances and townhouse steps)</b> Or approved equivalent Supplier: Beggs (or approved equivalent)	

T.O. Guardrail	T.O. Conc
El. 30.50'	El. 35.75'

T.O. Conc  
El. 38.0'

T.O. Conc  
El. 35.75'

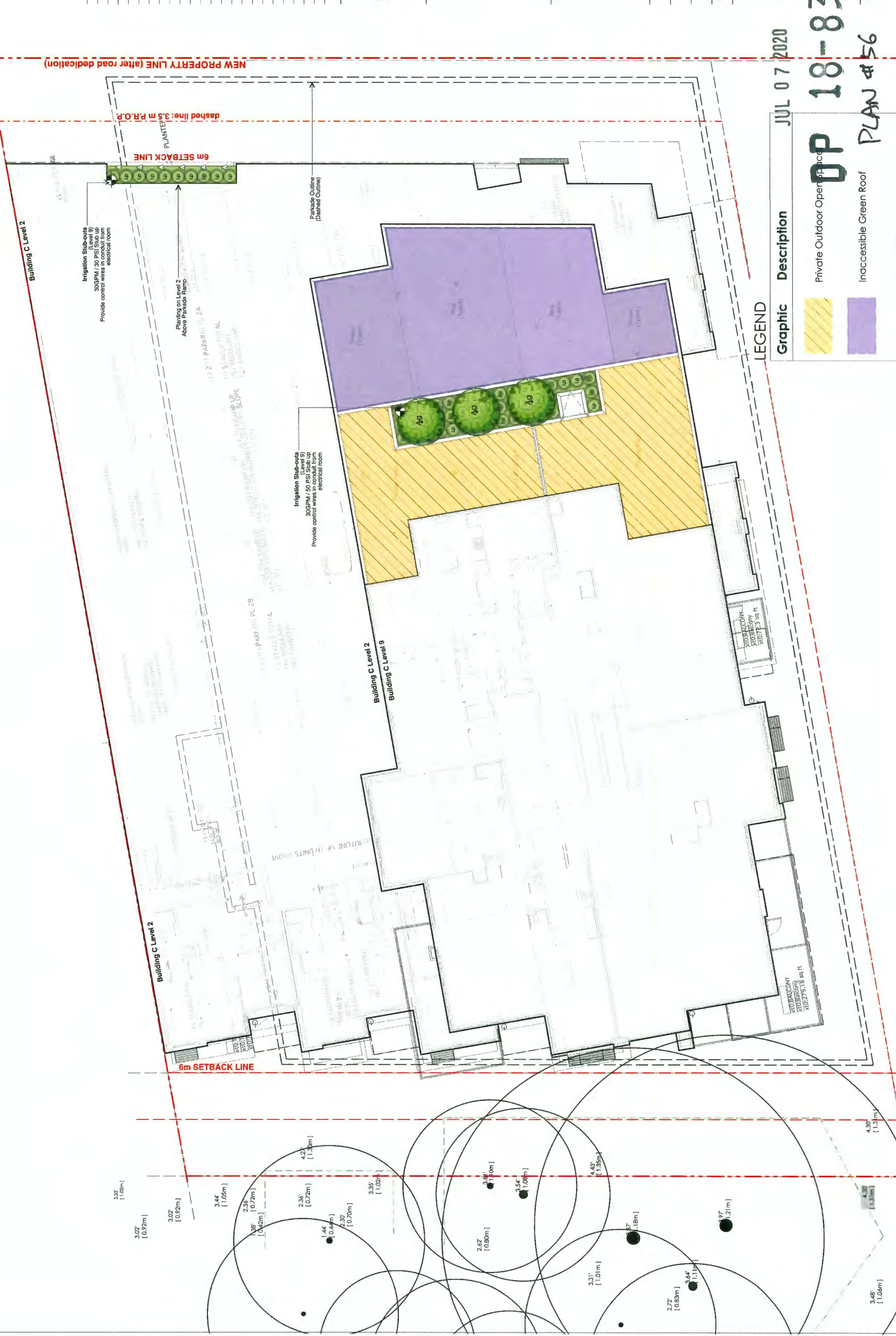















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**Project:**  
**Resid'N' Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

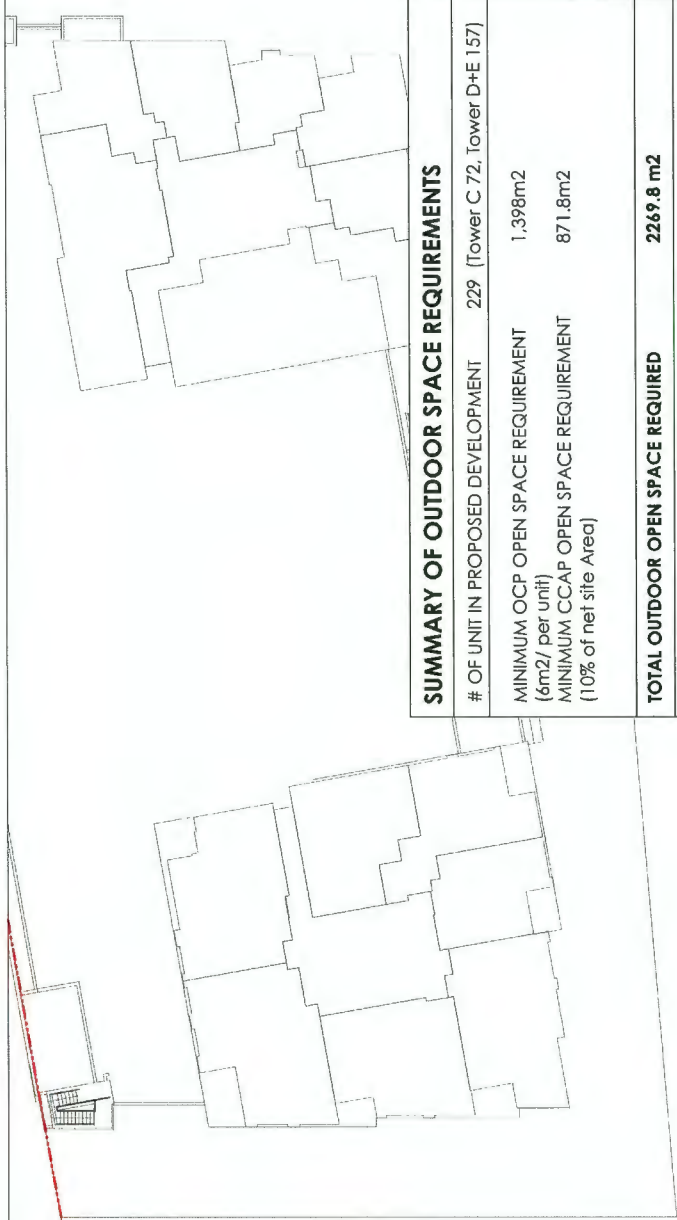
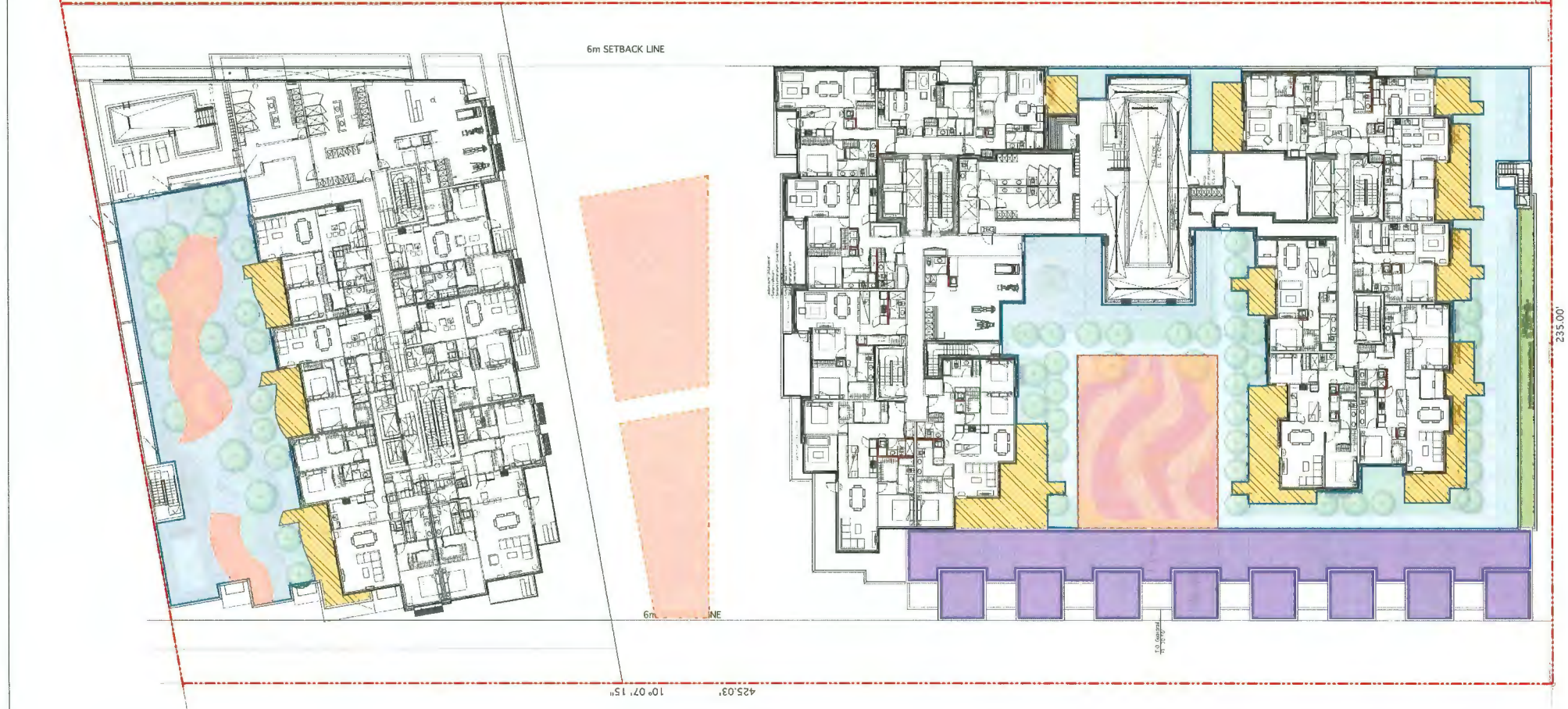
Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	1/8" = 1'0"
Drawing Title:	

Landscape Plan  
 Level 2 & Level 9  
 Amenity Calculation  
 37117  
 Project No.: 17020  
 Sheet No.: L-1.16

Graphic	Description	JUL
	Private Outdoor Open Space	OP
	Inaccessible Green Roof	PLA
	Property Line	

**Landscape Outdoor Amenity Calculation Detail See L1.17 Plan**





SUMMARY OF OUTDOOR SPACE REQUIREMENTS		
# OF UNIT IN PROPOSED DEVELOPMENT	229 (Tower C 72, Tower D+E 157)	
MINIMUM OCP OPEN SPACE REQUIREMENT (6m2/ per unit)	1,398m <sup>2</sup>	
MINIMUM CCAP OPEN SPACE REQUIREMENT (10% of net site Area)	871.8m <sup>2</sup>	
<b>TOTAL OUTDOOR OPEN SPACE REQUIRED</b>	<b>2269.8 m<sup>2</sup></b>	
Public Outdoor Space Provided (L1)	2053.4 m <sup>2</sup>	
Private Outdoor Space Provided (L4)	1001.3 m <sup>2</sup>	
<b>Total Outdoor Space Provided</b>	<b>3,054.3 m<sup>2</sup></b>	

COMMON CHILDREN'S PLAY SPACE AREAS	
'Public' Ground Level	379.9 m2
'Private' North Tower(C) Level 4	100.2 m2
'Private' South Towers(D&E) Level 4	217.4 m2
<b>Total</b>	<b>697.5 m2</b>
# of Unit in Proposed Development (Tower C, D & E)	229
MINIMUM CHILDREN'S PLAY SPACE REQUIRED 3 sq. ft. per Unit (1/3 of OCP Requirement)	
<b>TOTAL CHILDREN'S PLAY SPACE PROVIDED</b>	<b>697.5 m2</b>

<b>Total Inaccessible Green Roof Area</b>	
South Towers(D&E) Level 4	388.3 m2
North Tower(C) Level 9	154.6 m2
<b>Total</b>	<b>542.9 m2</b>
<b>TOTAL INACCESSIBLE GREEN ROOF AREA PROVIDED</b>	<b>542.9 m2</b>

LEGEND	Graphic	Description
		Common Outdoor Open Space
		Private Outdoor Open Space
		Children's Play Space
		Inaccessible Green Roof
		Property Line

[illegible]

Revisions:

**du** Duranba Krauk Ltd.  
102 - 1637 West 5th Avenue Vancouver BC V6L 1N5

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f: 604 684 0577  
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**Project:**

**Resid"l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by: \_\_\_\_\_ RO'C

Checked by: JD

Date: June 28th 2018

Scale: NTS

**Drawing Title:**

**Landscape CCAP Amenity Calculations  
Level 4**

837117  
Prob. No.:

17020

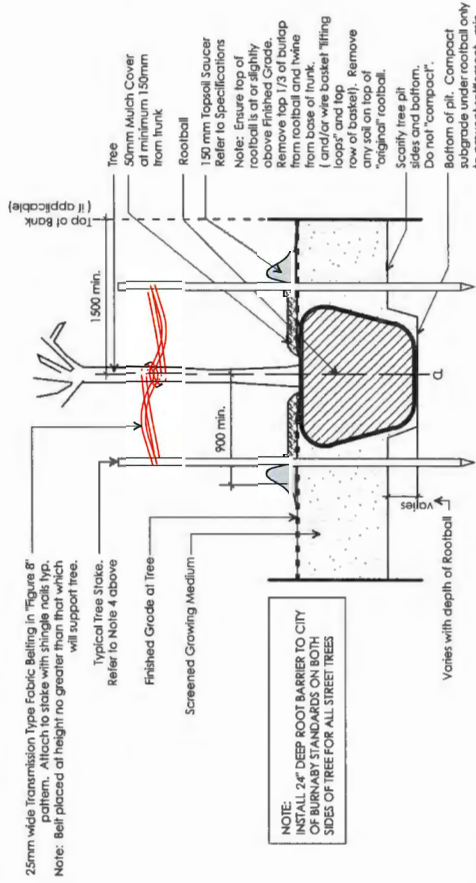
Sheet No.:

**L-1.17**

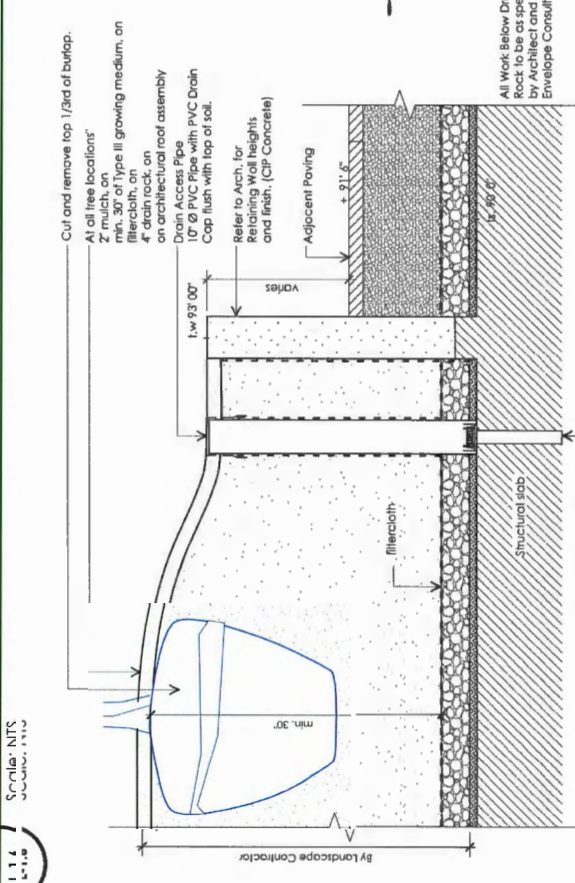


	Depth of Growing Medium Total (mm)	Aveo (M2)	Variation 1 Size of Surface Square	Variation 2 Size of Surface Circle
	450	1.11	3.3 M x 3.3 M	3.80 M Ø
	600	8.33	2.9 M x 2.9 M	3.25 M Ø
	750	6.67	2.6 M x 2.6 M	2.90 M Ø

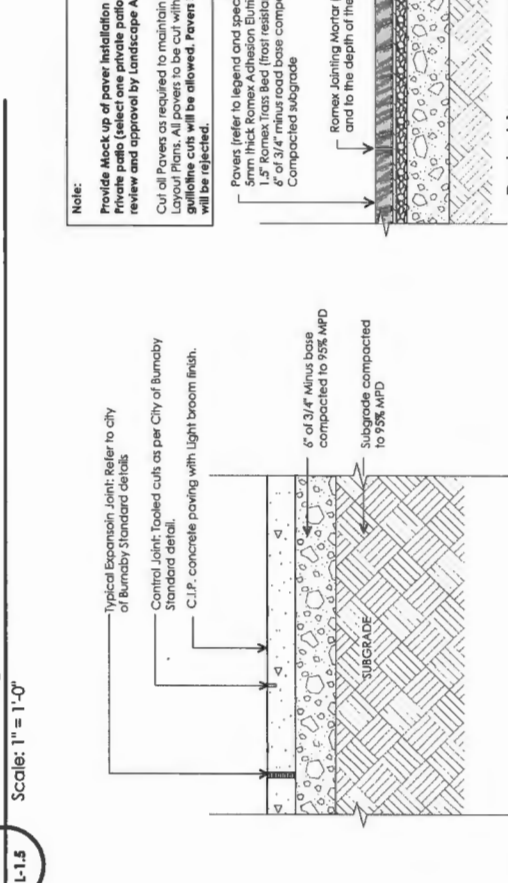
1. Do not cut Tree Leader.
2. Protect trees from damage during planting. Ensure rootball protected from Sun, frost or Destication.
3. Ensure tree location does not conflict with Underground Services. "Call before digging".
4. All street trees to be staked with 2 x 100mm<sup>2</sup> x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
5. Provide min. 5 cubic meters of growing medium per tree.
6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



### Typical Deciduous Tree Planting on Crado



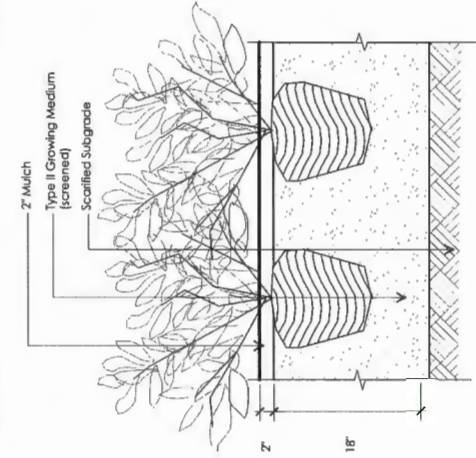
### Tree Planting on slab



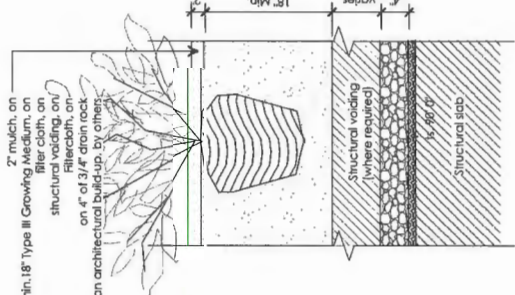
4-09 CIP Concrete sidewalk on Grade



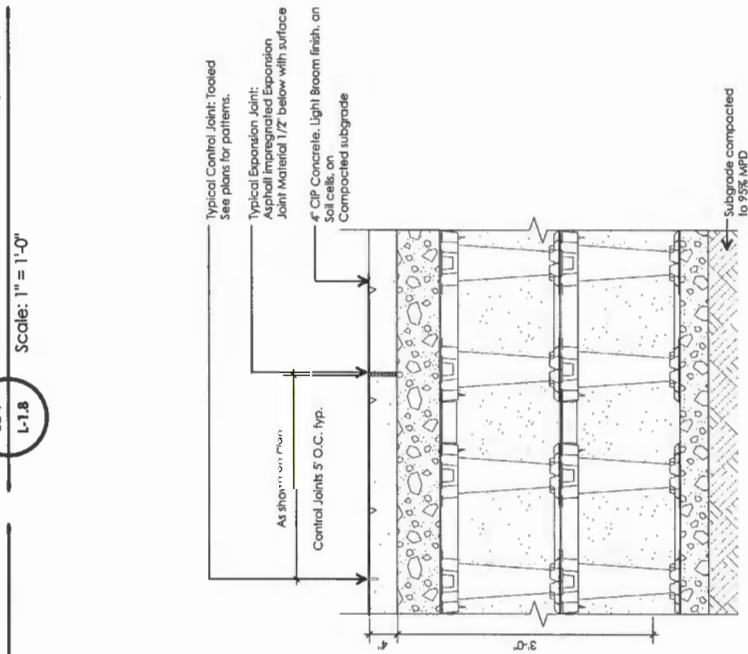
Pedestrian pavers on Grade  
@ Building Entrances



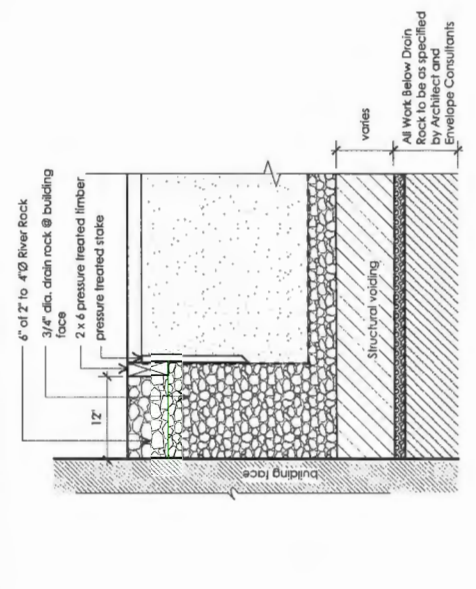
Typical Shrub Planting on Grade



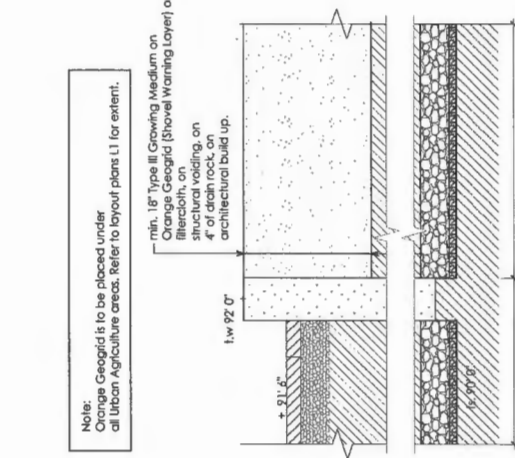
Shrub planting on slab



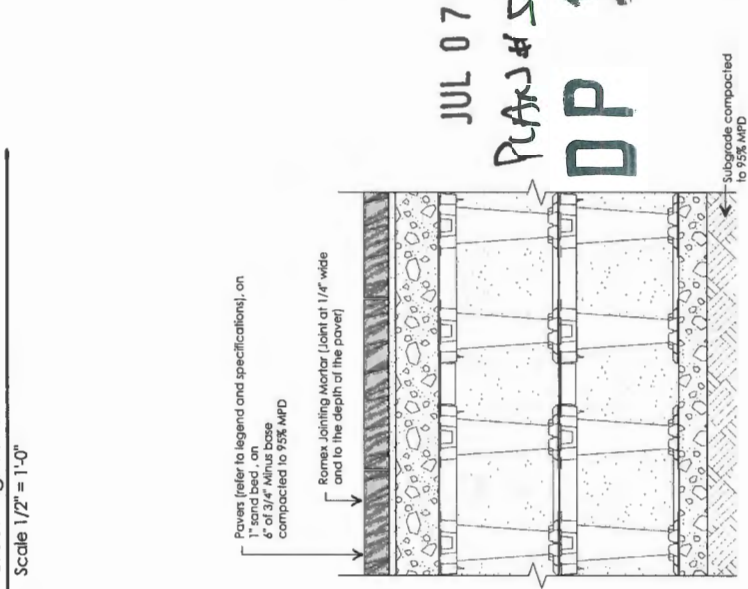
Sodded Lawn on Grade / Slab



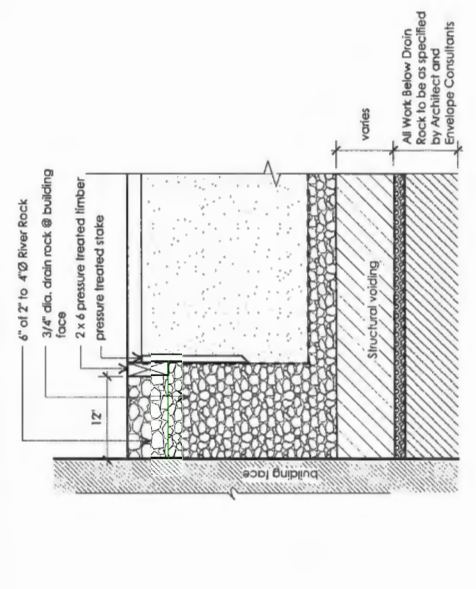
14.3 Sodded Lawn on Grade



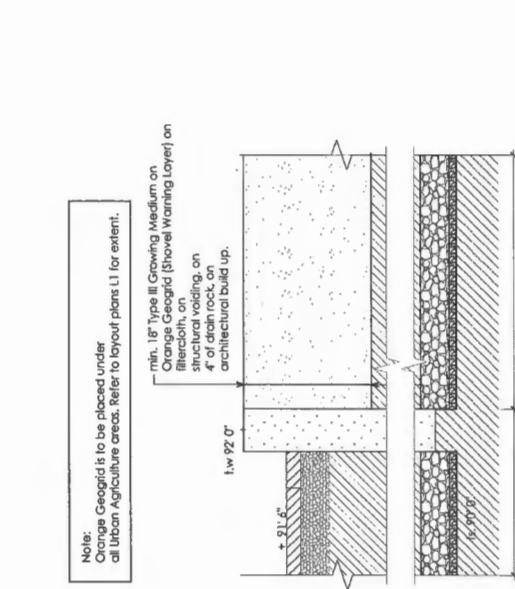
Urban Agriculture @ Level4



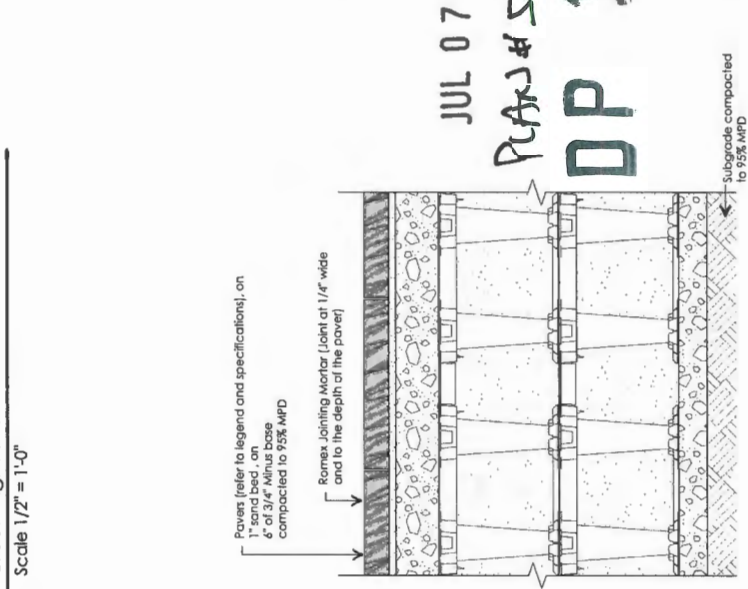
Urban Agriculture @ Level4



#### Gravel Drip Strip at Building Face



Urban Agriculture @ Level4



Urban Agriculture @ Level4

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**Resid'I Development'**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	As Shown

8-837117

Project No.: 17020  
Sheet No.: L-2.1

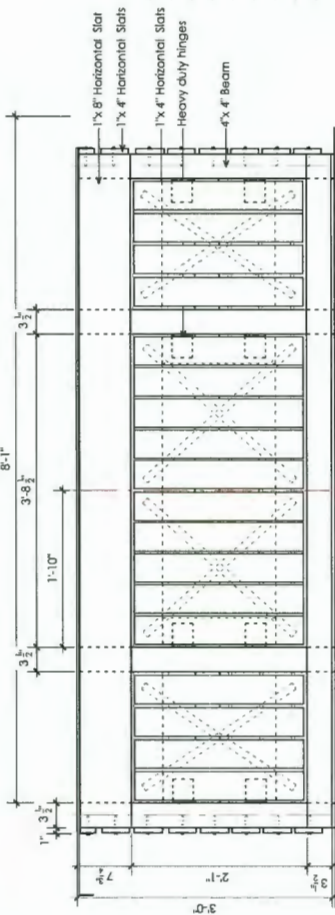












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12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 21-19	Issued for Staff Comments(3)
5	Oct 21-19	Issued for Staff Comments(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar20-19	Issued for DP Re-submission
2	Nov15-18	Issued for DP Re-submission
1	Sep18-18	Issued for DP
no.:	date:	item:
Revisions:		

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Richmond, B.C.**

Checked by: JD

Date: June 28th 2018

Scale: As Shown

**Drawing Title:**

## Landscape Details

242 #61

17020

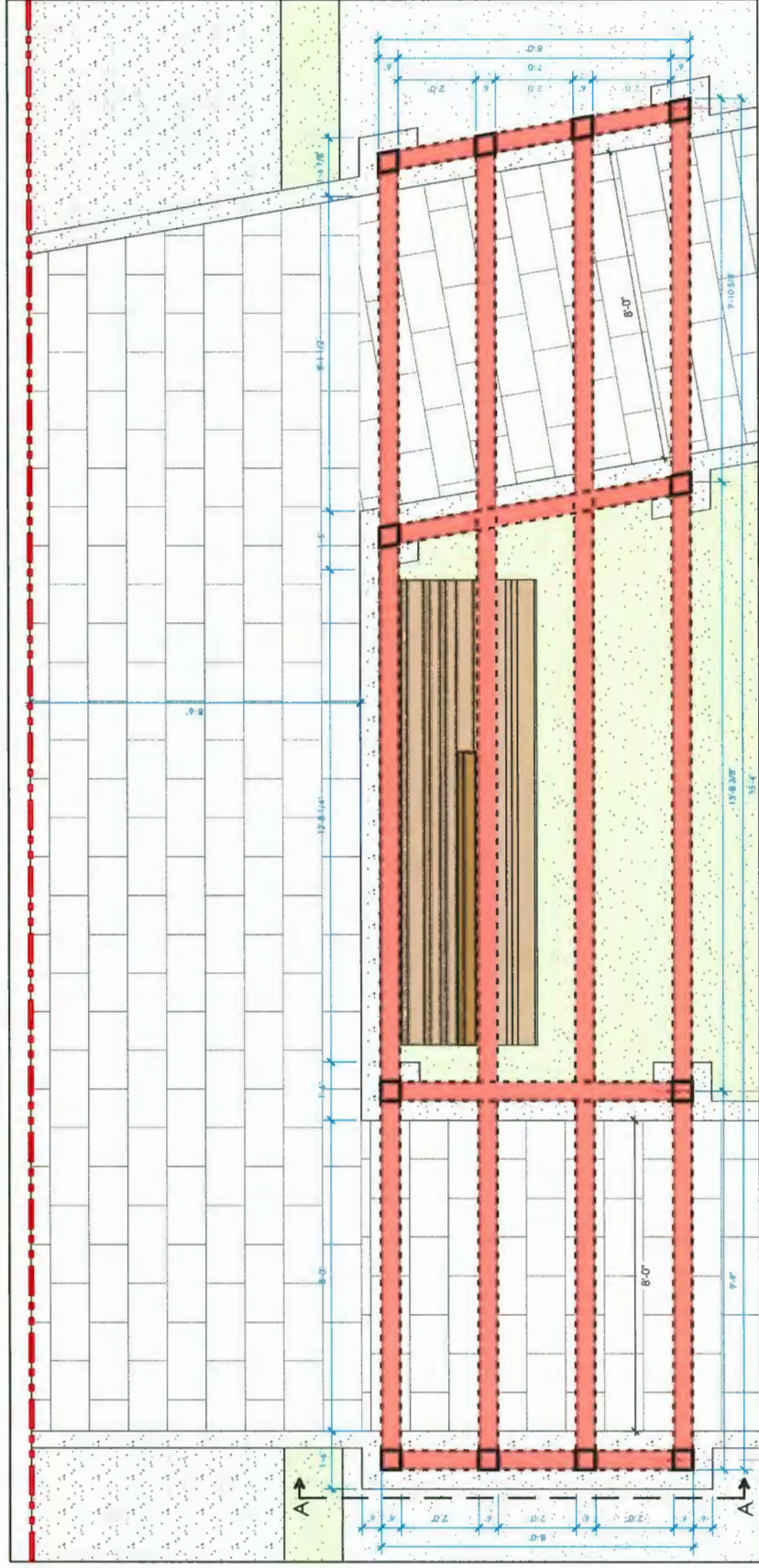
JUL 07 2020

## L-2.4









12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
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3	Mar20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept18-18	Issued for DP
no.:	date:	Item:

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**Richmond, B.C.**

Drawn by: \_\_\_\_\_ RO'C

Checked by: JD

Date: June 28th 2018

Scale: As shown

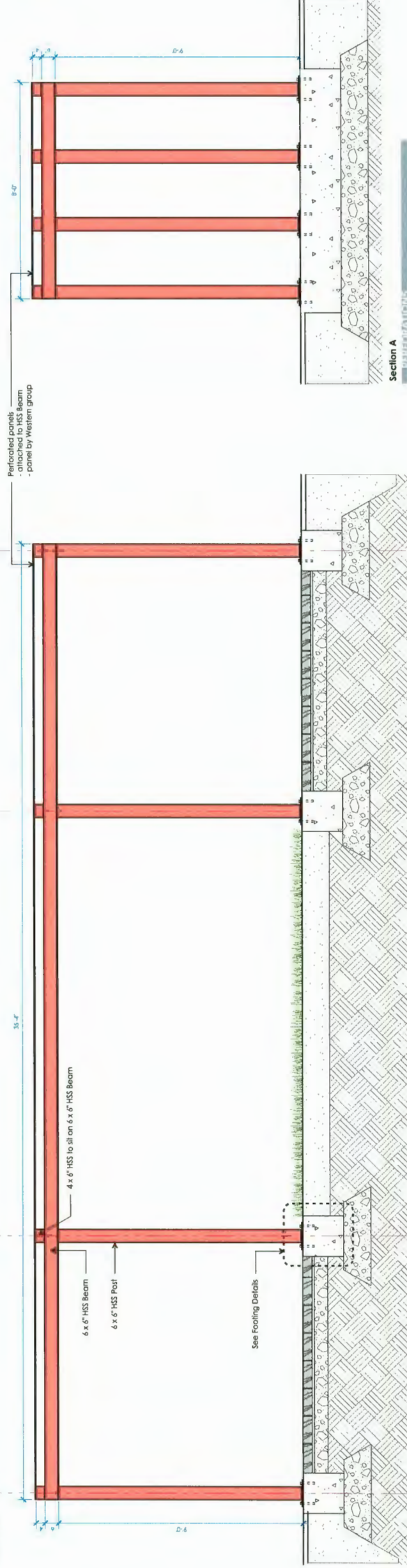
Drawing Title:

## Landscape Details

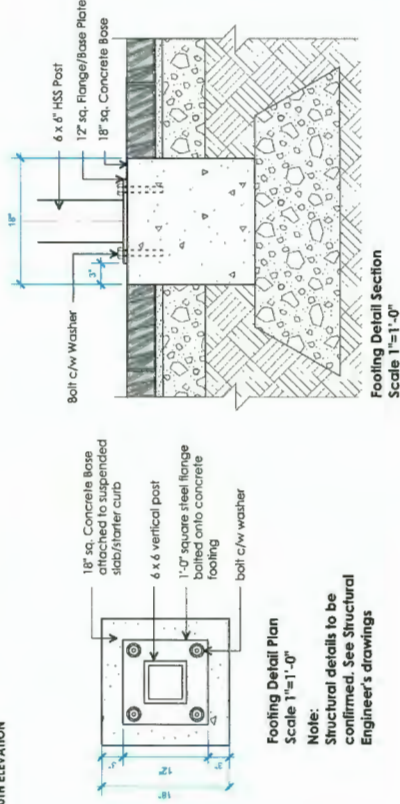
18-837117

Project No.: 17020  
PLAN # 63

Sheet No.: JUL 07 2020  
L-2.6



**SOUTH ELEVATION**



### Footling Detail Plan

Scale 1"=1'-0"

**Note:**  
Structural details to be confirmed. See Structural Engineer's drawings

Ground level 'Gateway' Trellis

Scale: 1/2" = 1'-0"



Matrix	Aqua Matrix
<p>Male Size: 0.7" x 1.5" (0.37" x 2.2") Rectangle</p> <p>Male Pattern: 0.7" Spacing, 1.5" Spacing</p> <p>Open Area: 37-42% (range)</p>	<p>Male Size: 0.7" x 1.7" (0.37" x 2.1") Oblong</p> <p>Male Pattern: 0.7" Spacing, 1.7" Spacing</p> <p>Open Area: 34-39% (range)</p>











SUPPLEMENTARY SPECIFICATIONS  
AND DETAIL DRAWINGS

(To complement Master Municipal Construction Documents (MMCD) – Platinum Edition)

SCHEDULE G

SUPPLEMENTARY SPECIFICATIONS AND DETAIL  
DRAWINGS FOR TREE PLANTING ON SIDEWALKS AND  
BOULEVARDS

The Supplementary Specifications hereunder shall apply to all tree planting work in the City of Richmond. They represent the minimum standards for the preparation and execution of the drawings and specifications for the planting of trees on sidewalks and boulevards. The drawings and specifications shall be prepared in accordance with the Master Municipal Construction Documents (MMCD) – Platinum Edition, except in particular items where specific reference are made to items under the MMCD.

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SECTION 1 - MATERIALS	33
1.0 Definition	
1.1 Tree Species	
1.2 Origin	
1.3 Tree Dimensions	
1.4 Root System	

TABLE 9-1			
MINIMUM ROOTBALL DIAMETERS FOR CONIFEROUS TREES			
Height (cm)	Dwarf and Medium	Tall and Columnar	Tall and Broad
30 cm	20	-	-
40 cm	25	-	-
50 cm	30	25	25
60 cm	30	30	30
70 cm	30	30	30
80 cm	30	35	35
1.0 M	45	35	40
1.25 M	50	35	45
1.50 M	60	40	50
1.75 M	70	45	55
2.0 M	-	50	60
2.5 M	-	55	70
3.0 M	-	70	85
* For conifers 200 cm and taller, caliper shall override height using the same caliper to rootball diameter as deciduous trees.			

TABLE 9-2		
MINIMUM ROOTBALL DIAMETERS FOR DECIDUOUS TREES		
Caliper	Minimum Rootball Diameters (cm)	
	Zone 2 & Below	Zone 3 & Above
4	55	50
4.5	55	50
5	60	55
6	70	60
7	75	65
8	80	70
9	95	90
10	105	100
12.5	125	110
15	150	130
17.5	170	150
20	200	140
For every 2.5 cm of caliper over 20 cm, rootball diameter shall increase by 10 cm.		

- 1.5 Condition
- 1.1 All plant material shall be of good health and vigour with no visible signs of diseases, insect pests, damage or other objectionable deformations.
- 2 The contractor is responsible for contacting the City for inspection and approval of the trees on site and before planting.

SECTION 2 - INSTALLATION

2.1 Subgrade and Topsoil	
2.2 Time of Planting	
2.3 Location of Planting	
2.4 Planting Procedures - Trees	

be backfilled with topsoil to bring the plant material to the depth they were originally growing in the nursery. All trees shall be planted so that after settlement they will be at the original growing medium depth.

- 3 Ensure top of rootball is at or slightly above finished grade. Remove top 1/3 of Burlap from rootball and twine from base of trunk (and/or wire basket, "tilling loops" and top row of basket). Remove any soil on top of "original" rootball.
- 4 Once the trees are in place, the holes are to be backfilled with topsoil mixed with a high phosphate fertilizer applied at a rate according to the manufacturers recommendations. The holes shall be backfilled, tamped and mulched in layers to help secure the tree and eliminate large air pockets.
- 5 Once planted, the trees are to be securely staked using two (2) 5/8" x 10' galvanized steel rods or approved equivalent. The rods shall be secured with approved or approved equal branding attached to each stake with a shringle nail.
- 6 Install Aboguard® to protect the tree trunk.

2.5 Planting Procedures

- 1 All plants for planting areas shall be delivered to the site and protected from sun and drying winds. Plants that cannot be planted immediately on delivery shall be kept well watered.
- 2 Plants shall be planted so that after settlement they will be at the original growing medium depth. Allow for settling of the growing medium after planting so that the total depth of the rootball remains in the topsoil.
- 3 Plants shall be set plumb in the planting beds or planting pits, except where the plant's character requires variation from this.
- 4 Upon completion of boulevard planting, the soil shall be raked to remove any debris brought to the surface by the planting operations. After raking the planting area should be mulched with 75mm of bark mulch placed in an even layer over the soil surface.
- 5 Once planting and mulching is completed, the site shall be cleaned of all excess soil, rock and debris.

2.6 Plant Maintenance

- 1 The developer/contractor is responsible for all necessary maintenance of the plant material for the duration of the Maintenance Period. This shall include any operations necessary to maintain the plant material in good health and condition, including watering, pruning, and treatment for disease and pests. All planting beds shall have all weeds removed at least once per month during the growing season by hand-pulling or hoeing. Plants are to be watered as often as required to ensure



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Richmond, B.C.**

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Checked by: JD

Date: June 28th 2018

Scale: As Shown

Drawing Title: **Landscape Details**

Landscape Details

**DP 10-037117**

**PLAN #66**

Project No.: 17020

JUL 0 7 2020

Sheet No.: L-2.9



Section 32 91 21 – Topsoil and Finish Grading		
Details		
	1.3.1 1.3.2 2.10.8 2.10.9 2.10.10 2.10.11 2.10.12 2.10.13 2.10.14 2.10.17 Table 2 Table 3 Table 4 Table 5 2.10.4 2.10.5 3.5	
Add the following		
1.3	.1 (es) new .2 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added.
1.5	.2 (es) new .3 (es) new .4 (es) new	Inspection and Testing Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.

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1.6 new	.5 (es) new .6 (es) new .7 (es) new	At the discretion of the Contract Administrator, submit up to two additional samples at intervals outlined by Contract Administrator of growing medium taken from material delivered to site. Samples shall be taken from a minimum of three random locations and mixed to create a single uniform sample. The Contractor shall submit the sample to the Contract Administrator for review. Growing medium failing to satisfy specifications or being considered by the Contract Administrator to be unacceptable to be adjusted will be rejected and not permitted for use in the project. The Contractor shall be responsible for the quality of the growing medium. The Contract Administrator will perform independent testing and the Contract Administrator's results will be binding.
1.6 new	.1 (es) new .1.1 (es) new .1.2 (es) new .2 (es) new	Submit to the Contract Administrator samples of the following materials: Dolomite Limestone: 5 kg (11.1 lbs.) Organic Material: 5 kg (11.1 lbs.) Growing Medium Sample: One composite sample. Samples shall be taken from a minimum of three random locations and taken from a stockpile to be used for work of this project. Samples older than one (1) month will be rejected. Do no move or work growing medium or additives when they are extremely wet or very dry. Test for dry matter content. Growing medium whose structure has been compromised by handling under these conditions will be rejected and shall be replaced by the Contractor at no cost to the Contract Administrator. Protect growing medium and additives against extreme wetting by rain or other agents, and against contamination by weeds and insects. Deliver fertilizer and other chemicals in manufacturer's original containers. Protect against and moisture until incorporated into the work. Deliver to the prepared form the same supplier throughout the life of the project.
1.7 new	.1 (es) new .2 (es) new .3 (es) new .4 (es) new	Product Handling Protect growing medium and additives against extreme wetting by rain or other agents, and against contamination by weeds and insects. Deliver fertilizer and other chemicals in manufacturer's original containers. Protect against and moisture until incorporated into the work. Deliver to the prepared form the same supplier throughout the life of the project.
2.6	.1 (es) new	Sand Hard, sharp, granular, river pump sand, well washed and free of contaminants, chemical and organic matter. Particle sizes by weight: SIEVE SIZE CLASSIFICATION % RETAINED No. 4 (4.75 mm) Fine gravel 0% No. 10 (2.0 mm) Fine gravel 0 – 5%

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2.8	.1 (es) new	Wood Residuals Wood residuals in the form of saw dust, wood chips, etc. shall not be included in the make up of the growing medium. Complete commercial synthetic slow release fertilizer shall be included in the make up of the growing medium. Fertilizer shall be packed in water proof containers, clearly marked with the name of the manufacturer, weight and analysis.
2.9	.1 (es) new	Wood Residuals Wood residuals in the form of saw dust, wood chips, etc. shall not be included in the make up of the growing medium. Complete commercial synthetic slow release fertilizer shall be included in the make up of the growing medium. Fertilizer shall be packed in water proof containers, clearly marked with the name of the manufacturer, weight and analysis.
2.10	.2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Formulation ratio: as per soil test recommendations. To be the fertilizers recommended in the soils analysis report or approved by the Contract Administrator. Contractor to provide proof of purchase and application of fertilizers and liming agents in the forms of receipts. Substitute for Contract Administrator. Available Calcium to be 500 to 2500 ppm by dry weight. For growing media high in % sand, a soil may become acceptable after leaching with fresh water followed by thorough drainage prior to planting. Total Nitrogen to be 0.2 to 0.5 % by dry weight. Available Phosphorus to be 25 to 250 ppm by dry weight. Available Potassium to be 50 to 1,000 ppm by dry weight. Available Magnesium to be 50 to 500 ppm by dry weight. Carbon to Nitrogen ratio (C/N) to be not more than 20:1. Texture, particle sizes and proportions of each size particle shall be as specified in the "Gravel" section of the Contract Administrator's "Gravel" in Table 2 is indicated, this should be read to include debris and wood chips.

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2.11 (es) new	.1 (es) new	Standard for Prepared Growing Medium 1. Particle Size Class and Properties Lawns Other Planting Areas Sand (Larger than 0.05 mm and smaller than 0.075 mm) Gravel (Larger than 0.075 mm and smaller than 0.05 mm) Clay (Smaller than 0.002 mm) Organic Material Content Rock and Gravel (2 percent) of Dry Weight Carbon to nitrogen ratio Fertilizer: Total nitrogen: 0.4 – 0.8% by weight Available phosphorus: 25 – 50 ppm Available potassium: 50 – 250 ppm Available magnesium: 50 – 500 ppm Available calcium: 500 – 2500 ppm 6. Salinity: Maximum saturation extract conductivity: 3.0 mS/cm at 25 degrees C. 7. Hydraulic Conductivity: Minimum saturated hydraulic conductivity 5.0 – 12.0 cm/hr in place. Coarse (unless noted otherwise), ground dolomite limestone containing minimum 65% of total carbonates.
2.12 (es) new	.1 (es) new	Line Coarse (unless noted otherwise), ground dolomite limestone containing minimum 65% of total carbonates.

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2.13	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
3.2	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
3.3	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
3.4	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.

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3.5	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
3.6	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
3.7	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
3.8	.1 (es) new .2 (es) new .3 (es) new .4 (es) new .5 (es) new .6 (es) new .7 (es) new .8 (es) new .9 (es) new .10 (es) new .11 (es) new .12 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.

66

3.10	.1 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
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67

3.11	.1 (es) new	Soil Quality Control Growing medium preparation to be done by a company with experience in growing medium production and testing, measuring and mixing of constituent components that make up a prepared medium mix. The prepared growing medium shall match the standard established by the approved tested sample after all recommended amendments have been added. Medium new from a laboratory approved by the Contract Administrator. The analysts shall be of tests done on the proposed growing medium from samples taken at the supply source within three weeks immediately prior to soil tests to ensure compliance with specification shall be borne by the Contractor. Results of these tests shall be presented to the Contract Administrator for review at least seven (7) days before any growing medium is used in the project. The Contractor shall submit the following components: particle size data and properties, total nitrogen by weight, carbon to nitrogen ratio, available levels of phosphorus, potassium, calcium, magnesium in parts per million by weight, and pH value. The analysis shall outline the testing laboratory's recommendations for amendments, fertilizer and other required modifications to make the proposed growing medium meet the requirements of this specification. The soil medium must be tested and certified by a qualified soil scientist (type-written not hand written) and signed by a qualified soil scientist. Any further testing due to growing medium failing to meet specifications will be paid by the Contractor.
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Project:  
**Resid' Developments  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	As Shown
Drawing Title:	

Landscape Details

DP 18-837117

PLAN #67

Project No.:  
17020

Sheet No.:

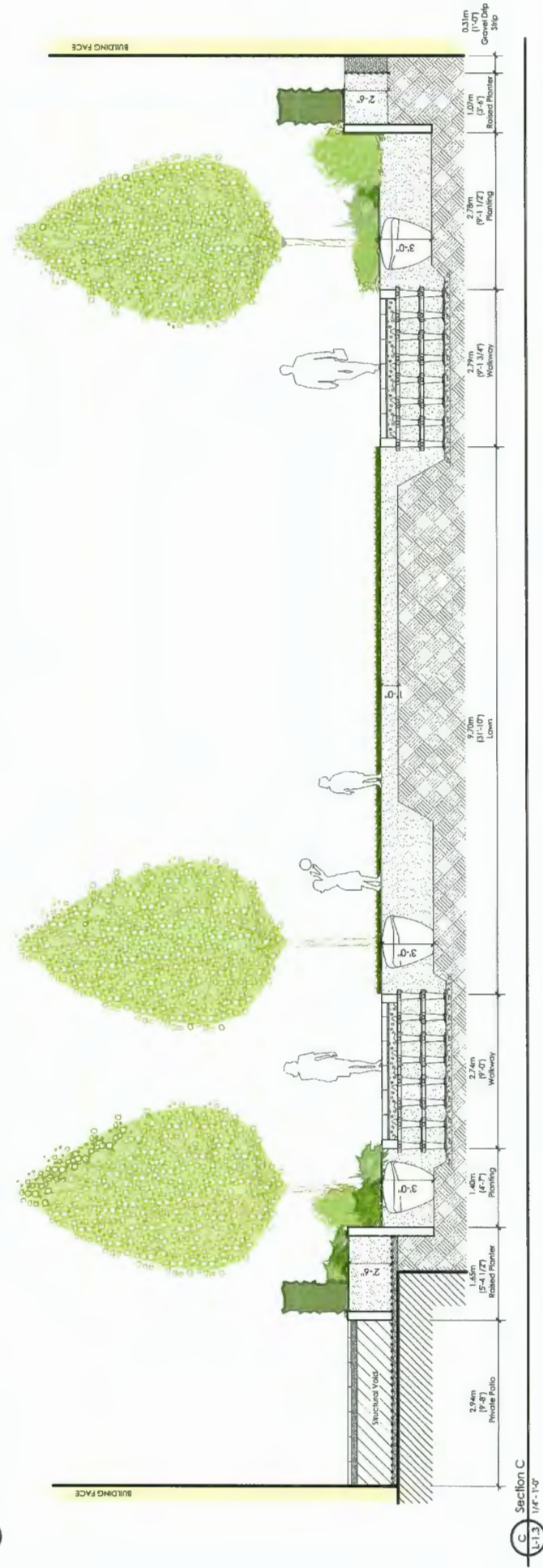
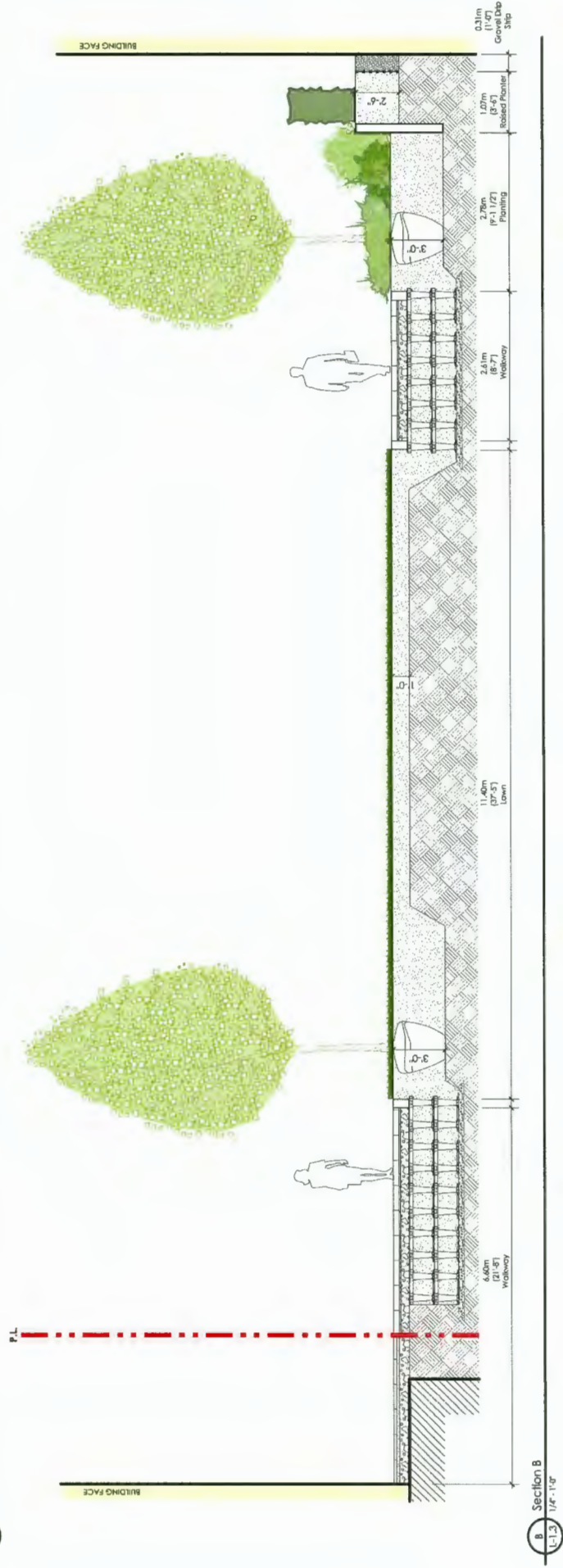
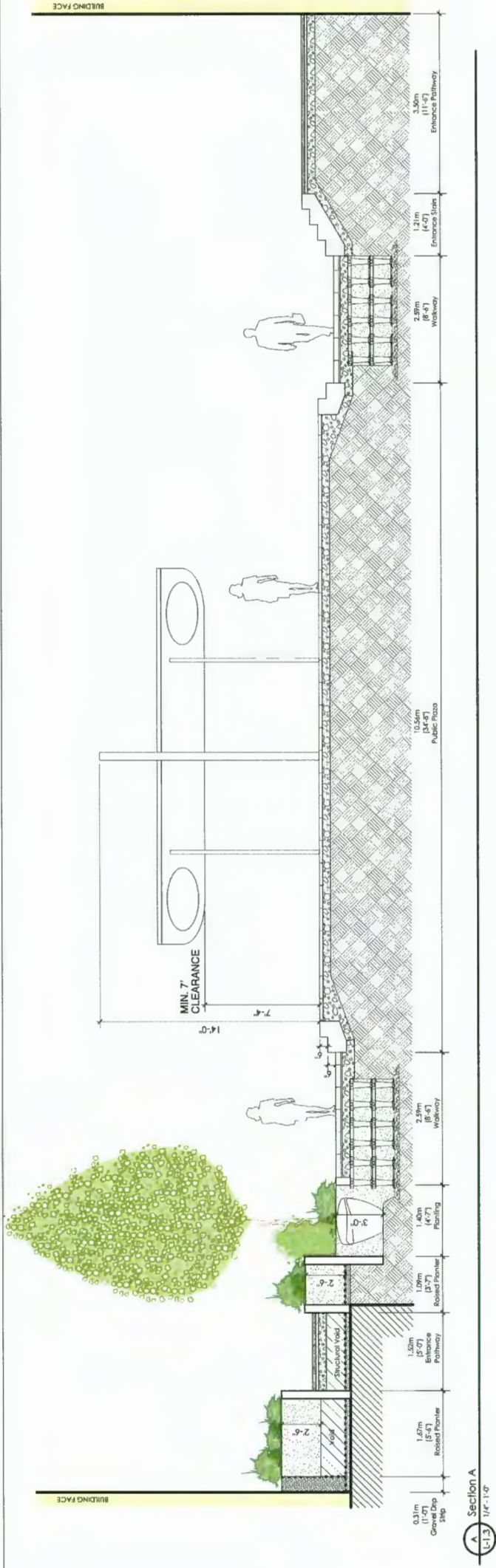
JUL 07 2020

I-2.10







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**durantekreuk**  
**pk**

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**Project:**  
**Resid'I' Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

Drawn by: \_\_\_\_\_ RO'C

Checked by: JD

Date: June 28th 2018

Scale:  $1/8" = 1' 0"$ 

Drawing Title:

## Landscape Sections

DP 18-837117

PLAN # 69

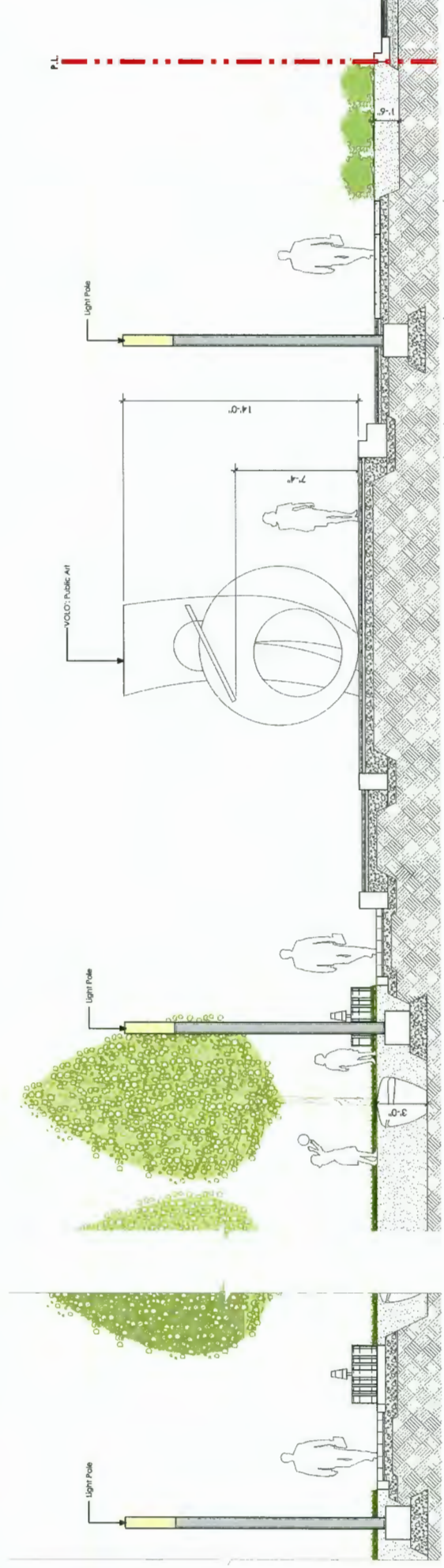
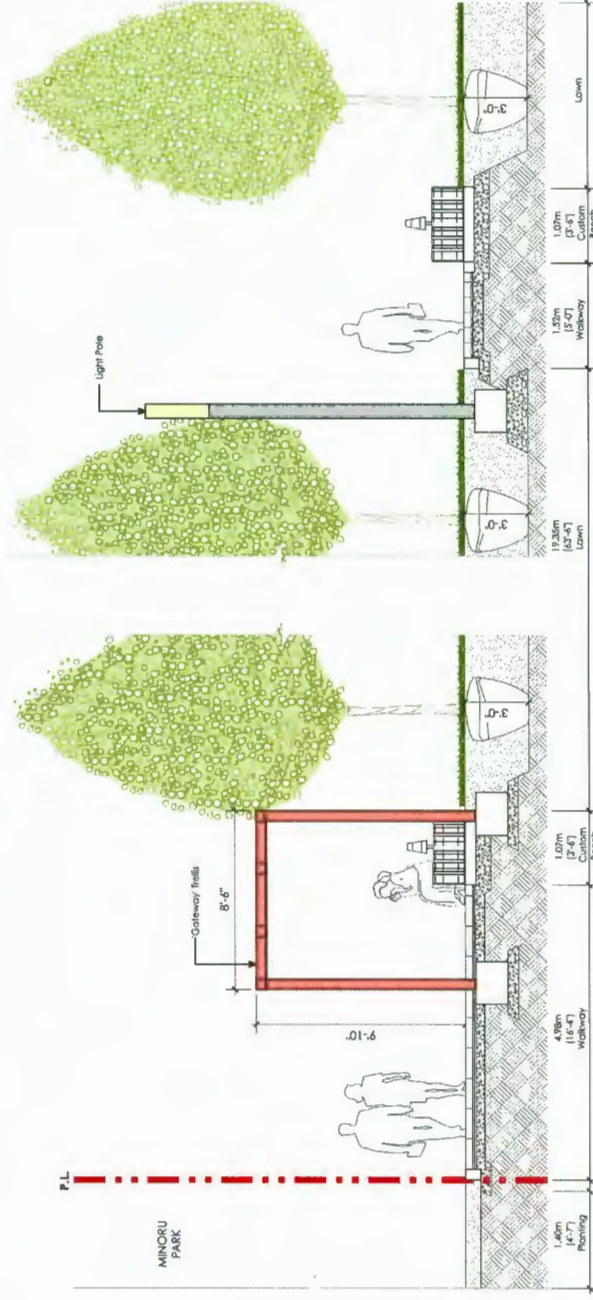
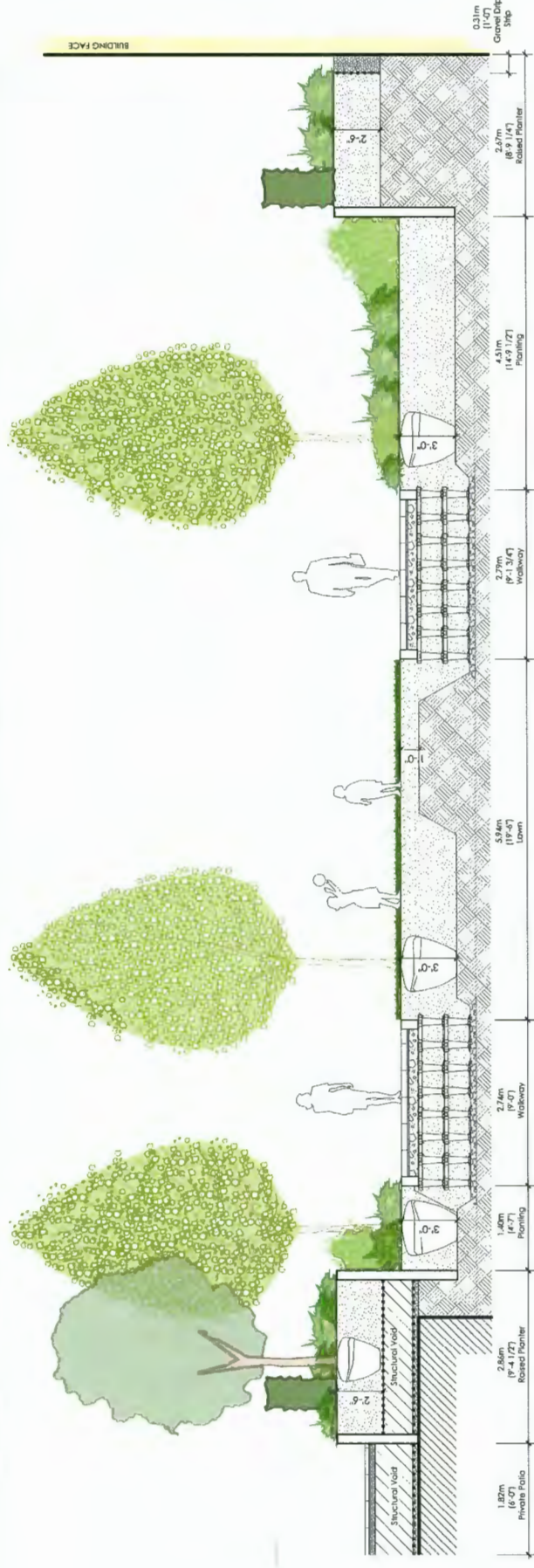
JUL 07 2020

Project No.:

Sheet No.:

### L-3.1



[illegible]

Revisions:

**durante**kreuk  
**kp**

Project:

**Resid"l Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drown by: RO'C

Checked by: JD

Date: June 28th 2018

Scale:  $1/8" = 1'0"$ 

Drawing Title:

## Landscape Sections

DP 18-837117

Plan # 70

Project No.:

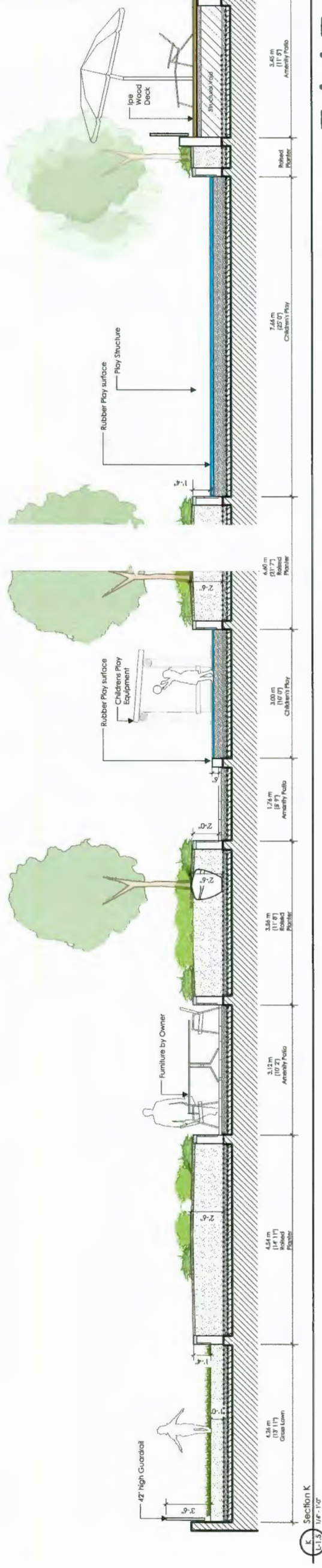
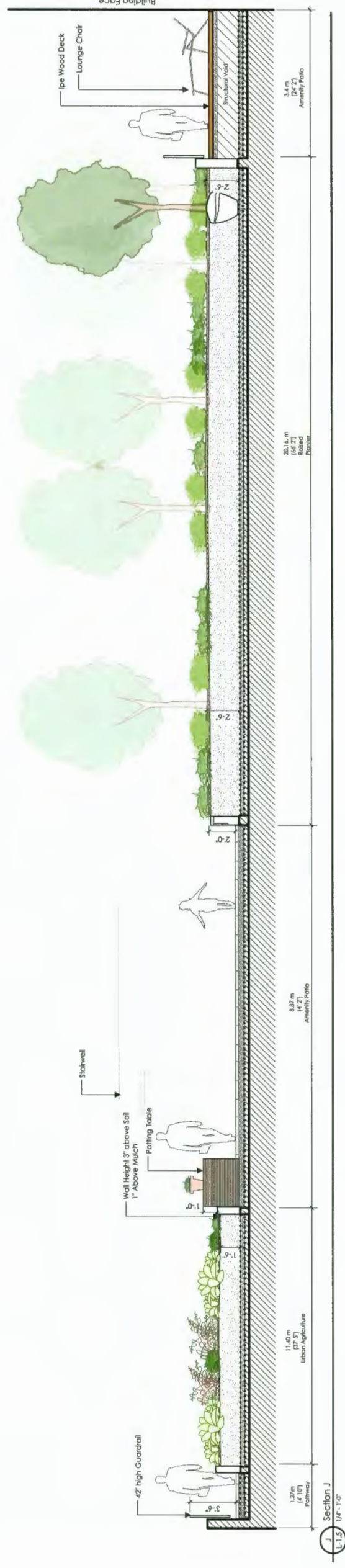
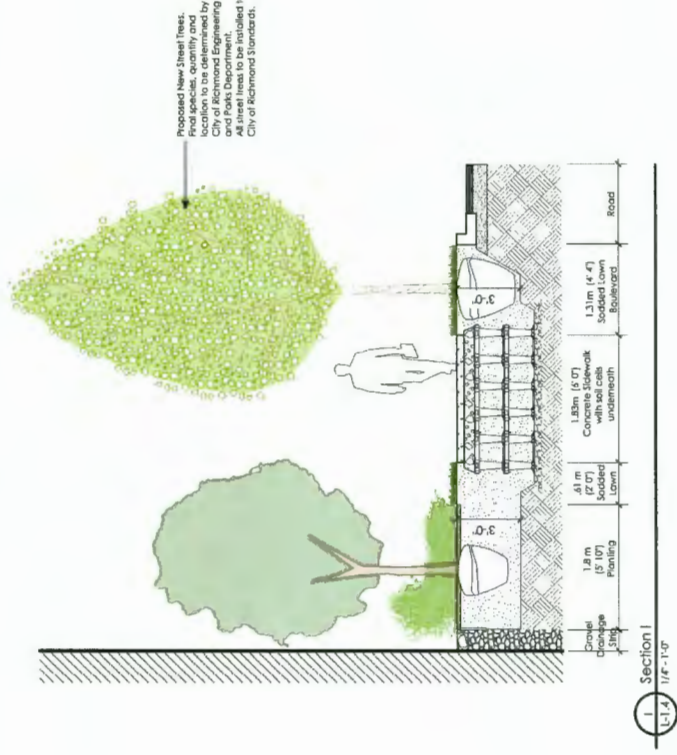
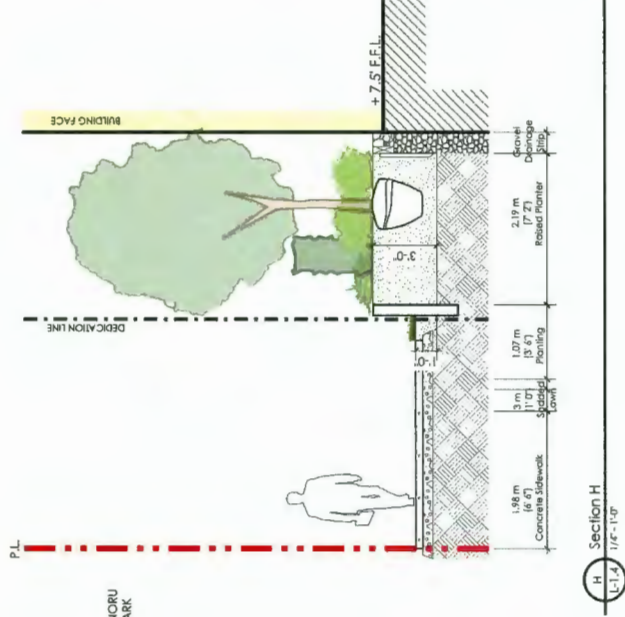
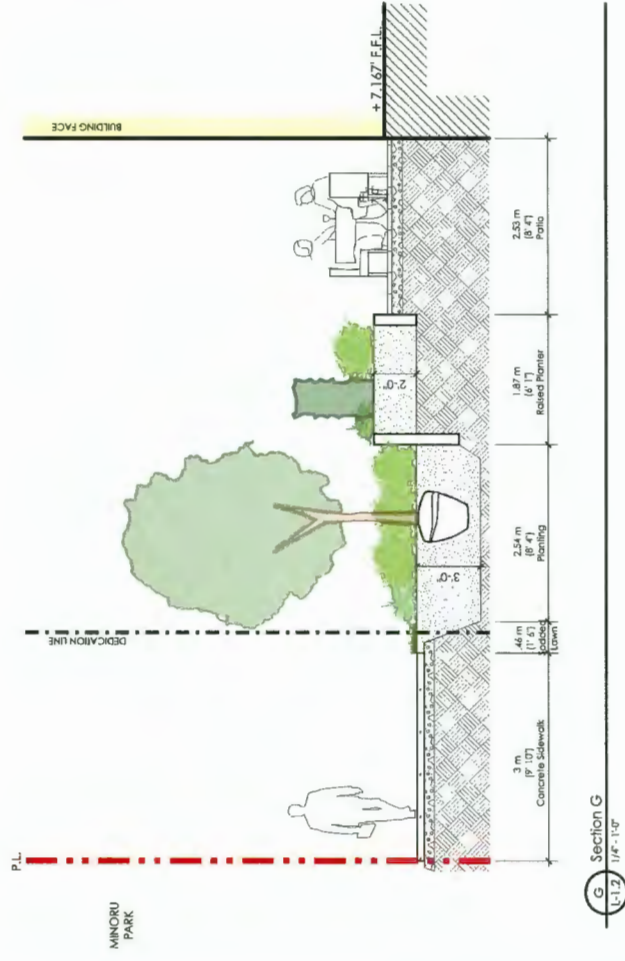
17020

Sheet No.:

### L-3.2

JUL 07 2020



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**durante**kreuk  
**pk**

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**Project:**  
**Resid"l Development**  
**Park Residences PH2**  
**Tower C + D + E**  
**6333-6399 Mah Bing Street**  
**Richmond, B.C.**

Drawn by:	ROC
Checked by:	JD
Date:	June 28th 2018
Scale:	1/8" = 1' 0"
Drawing Title:	

Drawing Title:

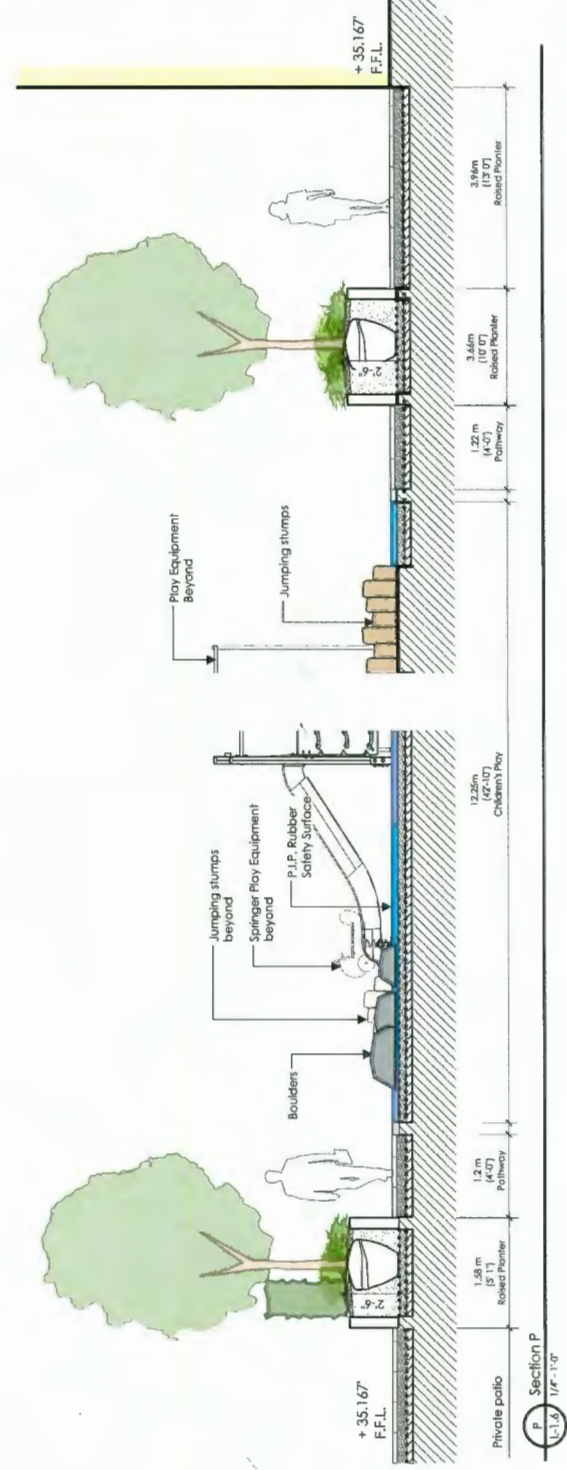
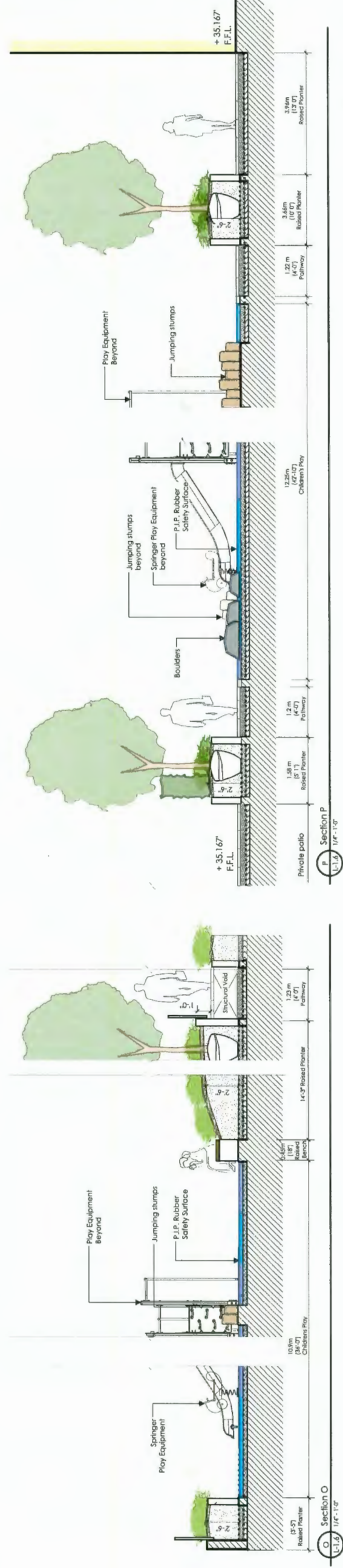
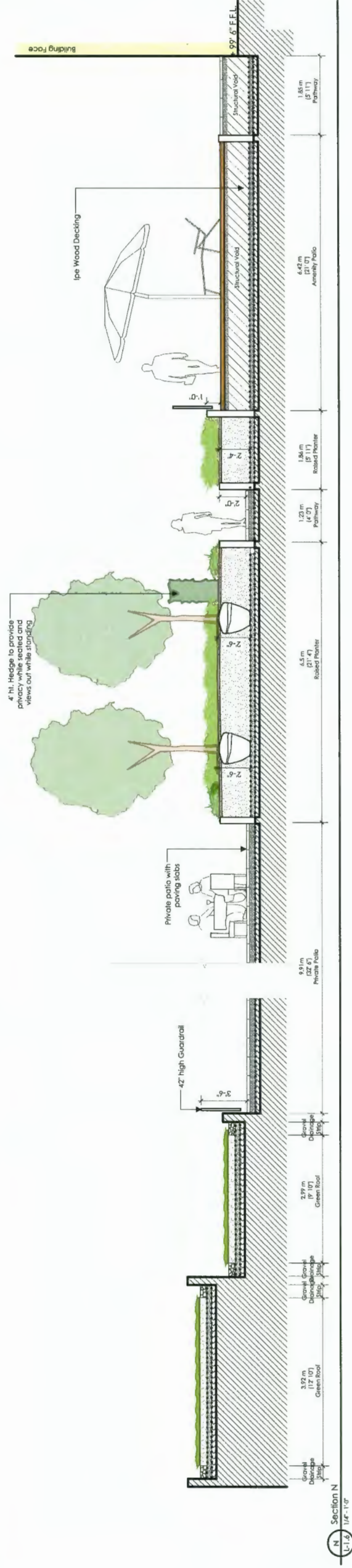
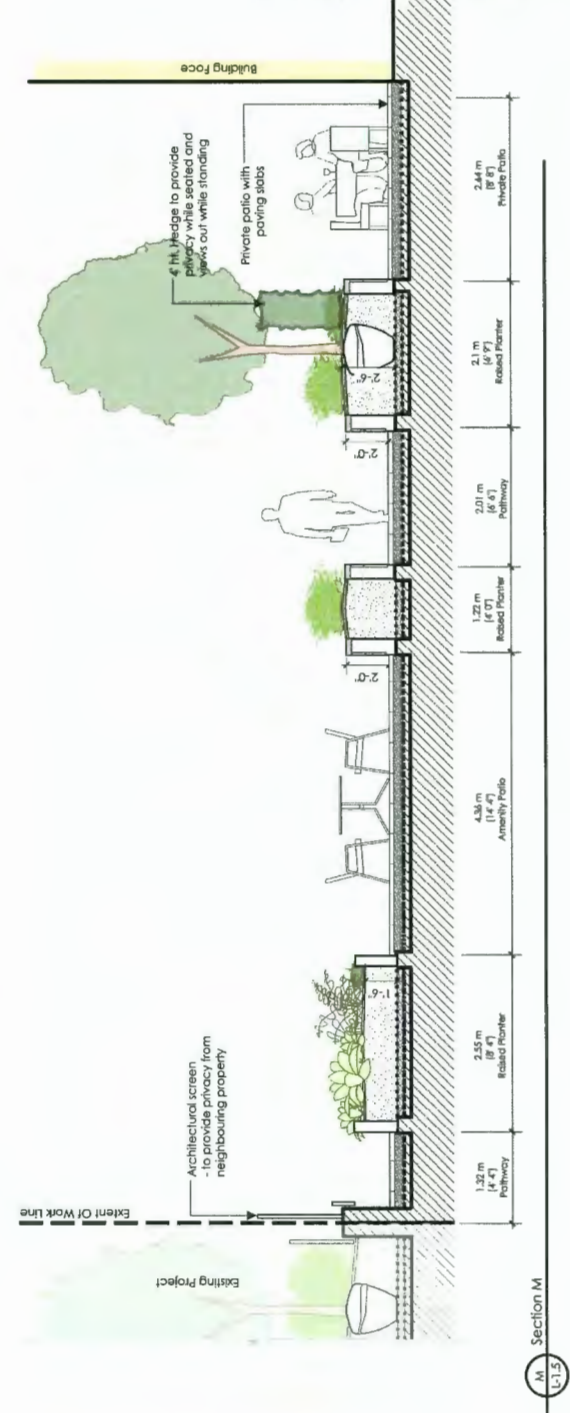
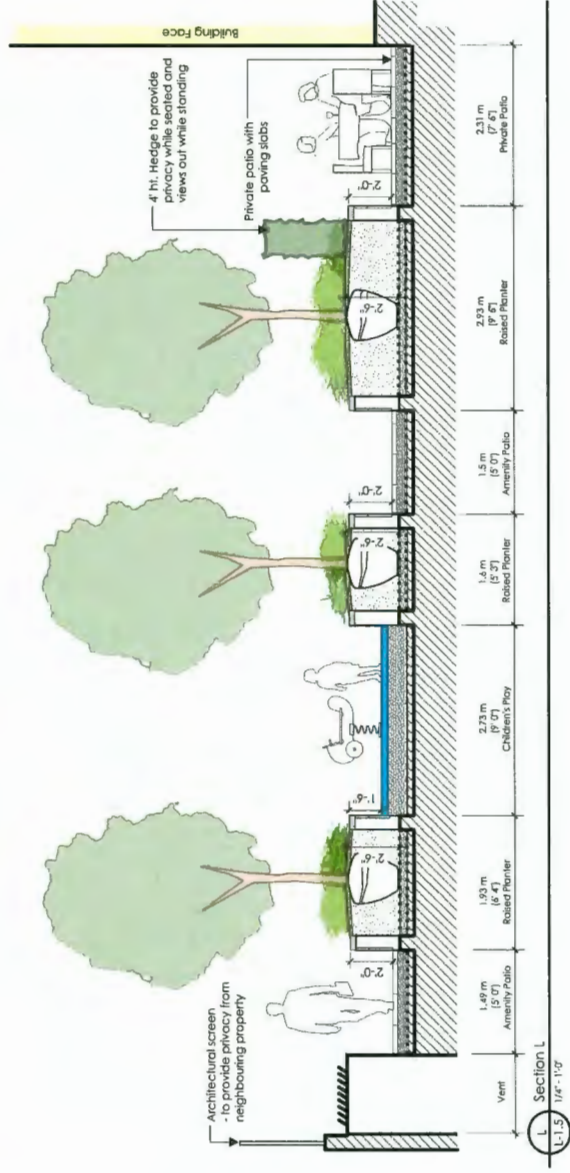
Project No.: 17020

Sheet No.: \_\_\_\_\_

### L-3.3

JUL 07 2020  
PLAU #71  
DP 18-837117





Project:

**Resid'I Development  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by:	RO'C
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Checked by: \_\_\_\_\_

Date: June 28th 2018

Scale:  $1/8" = 1' 0"$ 

**Drawing Title:**

## Landscape Sections

Project No.:

17020

Sheet No.:

### L-3.4

DP 18-837117  
JUL 07 2020  
PLAN #72

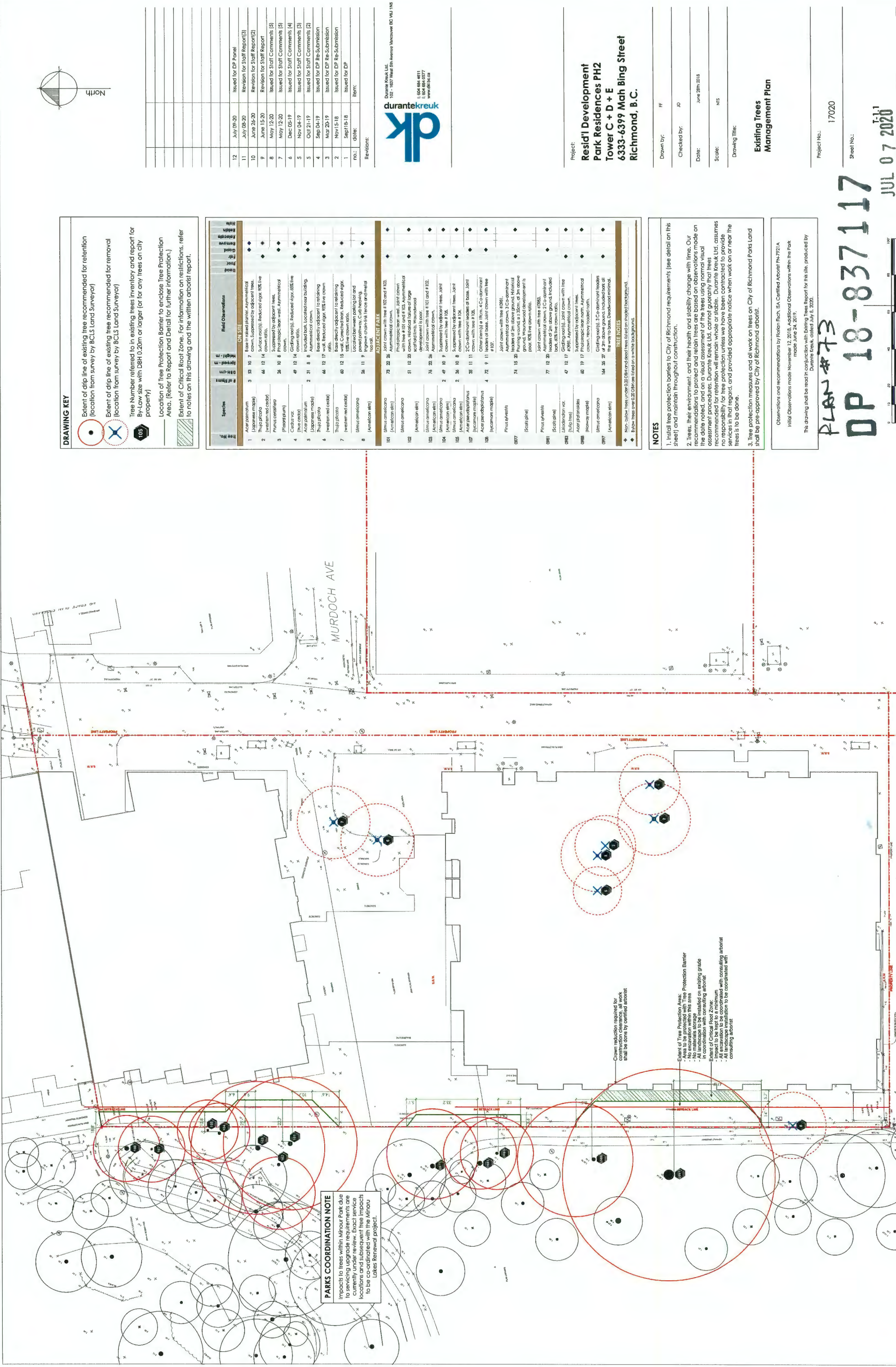
12	July 09-20	Issued for DP Panel
11	July 08-20	Revision for Staff Report(3)
10	June 26-20	Revision for Staff Report(2)
9	June 15-20	Revision for Staff Report
8	May 12-20	Issued for Staff Comments(5)
7	Dec 05-19	Issued for Staff Comments(4)
6	Nov 04-19	Issued for Staff Comment(3)
5	Oct 21-19	Issued for Staff Comment(2)
4	Sep 04-19	Issued for DP Re-submission
3	Mar 20-19	Issued for DP Re-submission
2	Nov 15-18	Issued for DP Re-submission
1	Sept 18-18	Issued for DP
no.:	date:	Item:

**dura**  
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DRAWING KEY

- Extent of drip line of existing tree recommended for retention (location from survey by BCLS Land Surveyor)
- Extent of drip line of existing tree recommended for removal (location from survey by BCLS Land Surveyor)
- Tree Number referred to in existing trees inventory and report for By-Law site with DBH 0.20m or larger (or for any trees on city property)
- Location of Tree Protection Barrier to enclose Tree Protection Area. (Refer to Report and Detail for further information.)
- Extent of Critical Root Zone. For information on restrictions, refer to notes on this drawing and the written arborist report.

Tree No.	Species	# of Stems	Height - m	DBH - cm	Field Observations	Notes
1	Acer palmatum (Japanese maple)	3	10	7	Base in raised planter. Asymmetrical crown. Suppressed by adjacent trees.	Issued for DP Panel
2	Thuja plicata (Japanese cedar)	44	12	14	Suppressed by adjacent trees. Reduced vigor. 95% live crown ratio.	Revision for Staff Report(3)
3	Pinus caesia (Red pine)	26	10	8	Suppressed by adjacent trees. Asymmetrical crown.	Revision for Staff Report(2)
4	Castanea sativa (Sweet chestnut)	49	12	14	Girdling root(s). Reduced vigor. 85% live crown ratio. Localized tree building.	Issued for Staff Comments (5)
5	Thuja plicata (Japanese cedar)	2	31	8	Asymmetrical crown. Base directly adjacent to retaining wall.	Issued for Staff Comments (5)
6	Western red cedar	44	12	17	Reduced vigor. 95% live crown ratio. Base directly adjacent to retaining wall.	Issued for Staff Comments (4)
7	Thuja plicata (Japanese cedar)	40	12	15	Asymmetrical crown. Reduced vigor. 95% live crown ratio. Located between parking lot and paved pathway. Club housing.	Issued for Staff Comments (3)
8	Ulmus americana (American elm)	26	11	9	Asymmetrical crown. Located between parking lot and paved pathway. Club housing.	Issued for DP Re-Submission

Tree No.	Species	# of Stems	Height - m	DBH - cm	Field Observations	Notes
101	Ulmus americana (American elm)	73	23	26	Joint crown with tree #102 and #103. Asymmetrical crown. Photocopy leaf wall. Joint crown.	Issued for DP
102	Ulmus americana (American elm)	51	12	23	Asymmetrical crown. Reduced vigor. 95% live crown ratio. Located between parking lot and paved pathway. Club housing.	Issued for DP
103	Ulmus americana (American elm)	76	23	26	Joint crown with tree #101 and #102. Asymmetrical crown. Photocopy leaf wall. Joint crown.	Issued for DP
104	Ulmus americana (American elm)	2	49	9	Suppressed by adjacent trees. Joint crown with tree #105.	Issued for DP
105	Ulmus americana (American elm)	2	36	10	Suppressed by adjacent trees. Joint crown with tree #104.	Issued for DP
106	Acer pseudoplatanus (Sycamore maple)	35	11	11	2 Co-dominant leaders at base. Joint crown with tree #103.	Issued for DP
107	Acer pseudoplatanus (Sycamore maple)	4	72	9	Other stem(s) at 19cm. 4 Co-dominant leaders at base. Joint crown with tree #103.	Issued for DP
108	Pinus sylvestris (Scots pine)	74	15	20	Joint crown with tree #107. Asymmetrical crown. 3 Co-dominant leaders at 2m above ground. Historical pruning wound ± 35cm. at 2m above ground. Reduced vigor. 95% live crown ratio.	Issued for DP
109	Pinus sylvestris (Scots pine)	77	12	20	Joint crown with tree #108. Asymmetrical crown. 2 Co-dominant leaders at 2m above ground. Historical pruning wound ± 35cm. at 2m above ground. Reduced vigor. 95% live crown ratio.	Issued for DP
110	Ulmus americana (American elm)	47	12	17	Girdling root(s). Joint crown with tree #108. Asymmetrical crown. Reduced vigor. 95% live crown ratio.	Issued for DP
111	Acer pseudoplatanus (Sycamore maple)	40	19	17	Photocopy leaf wall. Asymmetrical crown. Heavy leader north.	Issued for DP
112	Ulmus americana (American elm)	144	33	27	Girdling root(s). 3 Co-dominant leaders at 2m above ground. Historical pruning wound ± 35cm. at 2m above ground. Reduced vigor. 95% live crown ratio.	Issued for DP

NOTES

- Initial tree protection barriers to City of Richmond requirements (see detail on this sheet) and maintain throughout construction.
- Trees, their environment, and their health and stability change with time. Our recommendations to protect and retain trees are based on observations made on the date noted, and on a visual assessment of the trees using normal visual assessment procedures. Durante Kreuk Ltd. cannot guarantee that trees recommended for retention will remain whole or stable. Durante Kreuk Ltd. assumes no responsibility for tree protection unless we have been contracted to provide services in that regard, and provided appropriate notice when work on or near the trees is to be done.
- Tree protection measures and all work on trees on City of Richmond Parks Land shall be pre-approved by City of Richmond arborist.

Observations and recommendations by Durante Kreuk, ISA Certified Arborist PN-7721 A  
Initial Observations made November 12, 2019. Additional Observations within the Park made June 24, 2020.  
This drawing shall be read in conjunction with Existing Trees Report for this site, produced by Durante Kreuk, dated July 8, 2020.

PLAN # 73

DP 18-837117

JUL 07 2020



Revisions:	no.	date:	item:
	1	Sept 18-18	Issued for DP
	2	Nov 15-18	Issued for DP Re-Submission
	3	Mar 20-19	Issued for DP Re-Submission
	4	Sep 04-19	Issued for Staff Comments (2)
	5	Oct 21-19	Issued for Staff Comments (3)
	6	Nov 04-19	Issued for Staff Comments (4)
	7	May 12-20	Issued for Staff Comments (5)
	8	June 15-20	Issued for Staff Comments (5)
	9	June 15-20	Issued for Staff Comments (5)
	10	June 26-20	Revision for Staff Report(2)
	11	July 08-20	Revision for Staff Report(3)
	12	July 09-20	Issued for DP Panel



Project:  
**Resid'l Developent  
Park Residences PH2  
Tower C + D + E  
6333-6399 Mah Bing Street  
Richmond, B.C.**

Drawn by:	FF
Checked by:	JO
Date:	June 28th, 2018
Scale:	N.T.S.
Drawing Title:	

Existing Trees  
Management Plan

Project No.: 17020

Sheet No.:





Tree No.	Species	# of Stems	DBH-cm	Spread - m	Height - m	Field Observations							Dead	Poor	Fair	Good	Remove	Relocate	Note
ON SITE																			
1	<i>Acer palmatum</i> (Japanese maple)	3	53	10	7	Base in raised planter. Asymmetrical crown. Suppressed by adjacent trees.										◆	◆		
2	<i>Thuja plicata</i> (western red cedar)		66	12	14	Surface root(s). Reduced vigor. 90% live crown ratio.								◆			◆		
3	<i>Prunus cerasifera</i> (Pissard plum)		26	10	8	Suppressed by adjacent trees. Phototropic lean west. Asymmetrical crown.										◆	◆		
4	<i>Cedrus var.</i> (true cedar)		49	12	14	Girdling root(s). Reduced vigor. 85% live crown ratio.								◆			◆		
5	<i>Acer palmatum</i> (Japanese maple)	2	31	8	8	Included bark. Located near building. Asymmetrical crown.										◆	◆		
6	<i>Thuja plicata</i> (western red cedar)		66	12	17	Base directly adjacent to retaining wall. Reduced vigor. 95% live crown ratio.								◆			◆		
7	<i>Thuja plicata</i> (western red cedar)		60	12	15	Base directly adjacent to retaining wall. Corrected lean. Reduced vigor. 95% live crown ratio.										◆	◆		
8	<i>Ulmus americana</i> (American elm)		26	11	9	Located between parking lot and paved pathway. Cub heaving. Ingrown chain-link fence and metal top rail.											◆	◆	

dk 9

17020\_Tree Report



Tree No.	Species	# of Stems	DBH-cm	Spread - m	Height - m	Field Observations												
0977	<i>Pinus sylvestris</i>  (Scots pine)	74	15	20		Joint crown with tree #0981. Asymmetrical crown. 3 Co-dominant leaders at 2m above ground. Historical Pruning wound. $\phi \pm 35$ cm. at 3m above ground. Woundwood development is poor. 90% live crown ratio.	◆											
0981	<i>Pinus sylvestris</i>  (Scots pine)	77	12	20		Joint crown with tree #0983. Asymmetrical crown. 2 Co-dominant leaders at 2m above ground. Included bark. 60% live crown ratio.		◆										
0983	<i>Liriodendron</i> var. (tulip tree)	47	12	17		Girdling root(s). Joint crown with tree #0981. Asymmetrical crown.			◆									
0988	<i>Acer platanoides</i> (Norway maple)	60	19	17		Suppressed by adjacent trees. Phototropic lean north. Asymmetrical crown. Heavy loaded north.				◆								
0997	<i>Ulmus americana</i> (American elm)	164	35	27		Girdling root(s). 3 Co-dominant leaders at 2m above ground. Included bark all the way to base. Deadwood minimal.					◆							
TREE NOTES																		
◆	Non- bylaw trees under 0.20 DBH and dead trees listed on shaded background.																	
◆	Bylaw trees over 0.20 DBH are listed on a white background.																	

dk 10

17020\_Tree Report

PLAN #74

DP 18-837117

JUL 07 2020



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**From:** Yuewen Gong <ywgong@live.ca>  
**Sent:** July 16, 2020 4:45 PM  
**To:** CityClerk  
**Subject:** Application of DP 18-837117

Hello

I received the notice recently and feel that there are some concerns may need to be addressed before permitting the application. 1. When they design the building, it needs to consider not too close to near-by building such as the Carrera building, 2. The building should not close the Mah Bing street, 3. It needs to consider not to affect current green space, and the building need to have some green space also.

Thanks

Yuewen Gong  
Residence of Carreras building

Sent from my iPad

---

**From:** Simon Ho <go@simonho.net>  
**Sent:** July 17, 2020 9:26 PM  
**To:** CityClerk  
**Cc:** Gladys Leung  
**Subject:** Notice Of Development Permit Panel Meeting

To: Planning & Development Division

File: DP 18-837117  
Site: 6333 Mah Bing Street

I would not permit the construction of a multiple-family residential development at 6333 Mah Bing Street.

The reason is I am living 6611 Minoru Blvd, Richmond. That construction will happen very close to our building. It will produce lots of noise and dust to break and rebuild a new building. And I worry it will affect our building's foundation or infrastructure. If so, its dangerous to me, my family, and my neighbors.

In fact, Richmond still has a lot of empty space. Why that development selects the land which has existing buildings!?

HO SIU M  
LEUNG CHING M



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**From:** JINGWEI SONG <jingwei\_song@yahoo.com>  
**Sent:** July 16, 2020 6:19 PM  
**To:** CityClerk  
**Subject:** Please do not permit the development application - DP 18-837117

Dear Sir or Madam,

I am one of the owners of Park Residences Tower B - 7333 Murdoch Ave., Richmond. I am writing to comment on the application of DP 18-837117.

I got a Notice of Developemt Permit for File: DP 18-837117 by mail today.

After having carefully read the notice, I and my family, we would like to suggest you do not permit this application.

The proposed construction of a multiple-family residential development with two 15-storey high-rise buildings and a nine-storey mid-rise building is not a good idea because at this location, there have already been already two high-rise buildings with more than 200 units next to the proposed construction, which are Park Residences tower A & B on Murdoch Ave. The proposed construction is too close to these two buildings, therefore will cause the following effects and dangers to all the residents in these two buildings, especially our building B - it is right loacted at the corner of Murdoch Ave and Mah Bing Street.

1. What will happen to the settlement in the soil at this area when there are going to be three more buildings constructing? I can't imagine, it could be dangerous as Richmond has really been considered as a high risk city for earthquakes! As a resident, I am highly worried that this project will increase the possibility of instability and danger  $\Delta$  of staying at my home.

2. Construction Noises and Dusts. During the construction, I am sure we will be bearing noises and dusts. We could not even open our building! And of course we cannot enjoy our balconies either.

3. More crowded Traffic. The coming 232 units will definitely bring more traffics. I can't imagine what will happen at the rush hour every morning, too many cars are going out at the same time, and there are only two way out. It would be a disaster!

4. Increasing Maintenance Costs and Lower Rents for owners who rent their homes out.

If the application is permitted, there will be more buildings, this means the supply of rental apartments at this area is increasing. As a result, rents could be lowered. This is such a bad news for oweners of Park Residences Tower Buildings who rent out their homes. And the property insurance might also be increased due to a higher risk of earthquake.

So, as a owner and resident, I highly suggest that you do not permit this application!

Thank you!

Sincerely,  
Jessy