



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, July 16, 2025
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on June 25, 2025.*



1. DEVELOPMENT PERMIT 23-023854 (CANCELLATION REQUEST)
(REDMS No. 8096363)

APPLICANT: HNPA Architecture and Planning Inc.

PROPERTY LOCATION: 6071 Azure Road

Director's Recommendations

That the request to cancel Development Permit DP 23-023854 be granted and notice of the Development Permit DP 23-023854 be released from Title of the subject property.



2. DEVELOPMENT PERMIT 24-049965
(REDMS No. 8034338)

APPLICANT: Ponda Development Ltd.

PROPERTY LOCATION: 5120 and 5140 Williams Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of four front-to-back duplexes at 5120 and 5140 Williams Road (one on each new lot after

ITEM

subdivision), on lots zoned “Two-Unit Dwellings (ZD9) – Williams Road (Steveston)”.

☐

3. DEVELOPMENT VARIANCE PERMIT 25-015419

(REDMS No. 8096439)

APPLICANT: Stephen Easterbrook

PROPERTY LOCATION: 17720 River Road

Director’s Recommendations

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 3,875 m² to permit the construction of a poultry barn on a site zoned “Agriculture (AG1)”.

☐

4. New Business

5. Date of Next Meeting: July 30, 2025

ADJOURNMENT



**Development Permit Panel
Wednesday, June 25, 2025**

Time: 3:30 p.m.
Place: Remote (Zoom) Meeting
Present: Wayne Craig, General Manager, Planning and Development, Chair
Milton Chan, Director, Engineering
Todd Gross, Director, Parks Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on June 11, 2025 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 23-031345
(REDMS No. 8055559)

APPLICANT: Jack Peccia

PROPERTY LOCATION: 12399 Steveston Highway

INTENT OF PERMIT:

Permit the construction of a two-storey commercial building at 12399 Steveston Highway on a site zoned "Commercial Mixed Use (ZMU18) – The Gardens (Shellmont)".

Applicant's Comments

Reynold Orogo, of Matthew Cheng Architect Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the project, highlighting the following:

Development Permit Panel

Wednesday, June 25, 2025

- the proposed two-storey commercial building will occupy Air Space Parcel 3 situated on top of an existing shared underground parkade and concrete pad which is located within the “The Gardens” development;
- the shared underground parkade will provide parking for the proposed development and vertical circulation from the parkade up to the second floor of the proposed building will be provided by stairs and an elevator that will be installed from the existing roughed-in shaft and stairwell;
- a new north-south walkway will be constructed to enhance pedestrian connectivity from the Steveston Highway sidewalk to the proposed development and “The Gardens” development;
- the design of the building has been improved and simplified in response to the Advisory Design Panel’s review and comments to enhance the building’s weather protection, fenestration, pedestrian connectivity, and exterior treatment considering the location of the subject property at the prominent corner of Steveston Highway and Highway 99; and
- a rough-in is proposed on the building rooftop for future installation of solar panels in response to the Advisory Design Panel’s comments to enhance the project’s sustainability features.

Yiwen Ruan, PMG Landscape Architects, briefed the Panel on the main landscape features of the project, noting that (i) a large triangle-shaped planting bed, planters, benches and bicycle racks will be provided along the north side of the building, (ii) raised planters are proposed along the west side, (iii) decorative paving is proposed on the north and west frontages of the building, (iv) narrow planters are proposed adjacent to the building and are aligned with the gravel sidewalk along the southeast side, (v) an oval-shaped planting bed is proposed to provide transition to the Riparian Management Area (RMA) to the southeast of the subject site, and (vi) planters and patio furniture are proposed on the rooftop decks, and (vii) the RMA will be enhanced with native planting.

Staff Comments

Joshua Reis, Director, Development noted that (i) the RMA to the southeast of the proposed building will be enhanced with native planting and a three-year maintenance and monitoring period has been secured as a condition for Development Permit approval, (ii) all vehicle and secured bicycle parking for the proposed development is located within the existing underground parkade, (iii) a new north-south walkway will be constructed that would enhance the connection of the subject property and the “The Gardens” development to the Steveston Highway sidewalk, (iv) a rough-in is provided for future solar panel installation on the building rooftop, and (v) there is no Servicing Agreement associated with the project given the scope of the proposed development and considering that the subject site is already serviced by existing onsite systems.

Development Permit Panel

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Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) planting beds and narrow planters are proposed adjacent to the building to create a buffer to Highway 99 to the east, (ii) there are no additional windows proposed on the ground level of the building elevation facing the highway to mitigate noise from the highway, (iii) architectural treatments and landscaping on the ground level as well as the provision of additional windows on the second floor of the building elevation facing the highway are proposed to provide visual interest from the highway, (iv) a rough-in for future installation of solar panels is currently proposed on the building rooftop and appropriate measures would be considered including the use of low-glare solar panels to mitigate potential glare that would impact residents of taller neighbouring residential buildings, and (v) the use of the underground parkade during construction is part of the applicant's construction management plan and storage of construction equipment and materials will be coordinated with the remainder lot owner. In addition, staff noted that a Construction Traffic and Parking Management Plan is required as part of the building permit review process.

In reply to further queries from the Panel, the applicant noted that (i) the proposed on-site decorative paving treatment could be redesigned to ensure accessibility for visually impaired pedestrians, (ii) information regarding the proposed rooftop mechanical units will be provided including potential noise that would be generated and the proposed screening for the rooftop mechanical units would be redesigned if necessary to mitigate potential noise generated by the mechanical units, (iii) the proposed landscaping for the proposed development that is outside of the subject property and located on the remainder lot has been agreed to and authorized by the remainder lot owner, and (iv) the proposed garbage enclosure consists of solid fencing and trellis on top and existing trees to the south of the enclosure will help provide a buffer/screening to the highway.

Correspondence

Shuanjun Wei, 712-10788 No. 5 Road (Schedule 2)

Staff noted that the resident of the neighbouring development to the north expressed concern regarding the density and proximity of the proposed development to the highway off-ramp. In reply to the resident's concerns, staff noted that (i) there is no change to access or roads in this area as part of the proposed development, (ii) the density of the proposed development complies with the Zoning Bylaw applicable to the subject site, and (iii) the commercial use of the subject site was identified at the time of the prior rezoning of the area that permitted the residential uses in "The Gardens" development.

Gallery Comments

None.

Development Permit Panel

Wednesday, June 25, 2025

Panel Discussion

The Panel expressed support for the project and directed staff to work with the applicant to (i) review the decorative pavement contrast on the subject site to ensure there is no impact to the movement of visually impaired pedestrians, and (ii) ensure that acoustical information for the rooftop mechanical equipment be provided by the applicant in order for the applicant to provide appropriate noise mitigation measures should they be necessary.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a two-storey commercial building at 12399 Steveston Highway on a site zoned "Commercial Mixed Use (ZMU18) – The Gardens (Shellmont)".

CARRIED

2. New Business

None.

3. Date of Next Meeting: July 16, 2025

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (3:58 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, June 25, 2025.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk



DPP FOR DP 23-031345

PROPOSED 2-STOREY COMMERCIAL BUILDING

THE GARDENS (BUILDING C) AIR PARCEL 3, 12399 STEVESTON HWY, RICHMOND





LOCATION

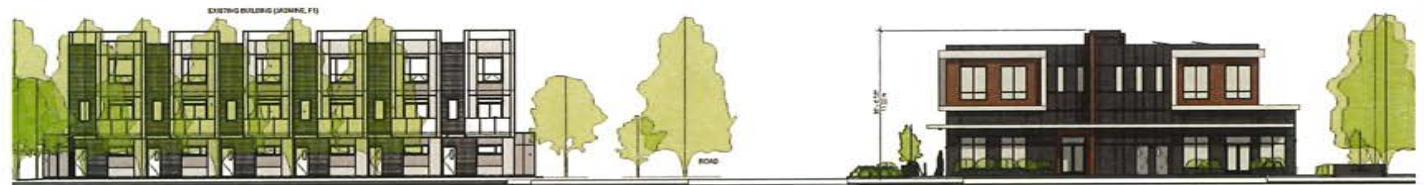
CONTEXT



① NORTH CONTEXT ELEVATION
1" = 150'



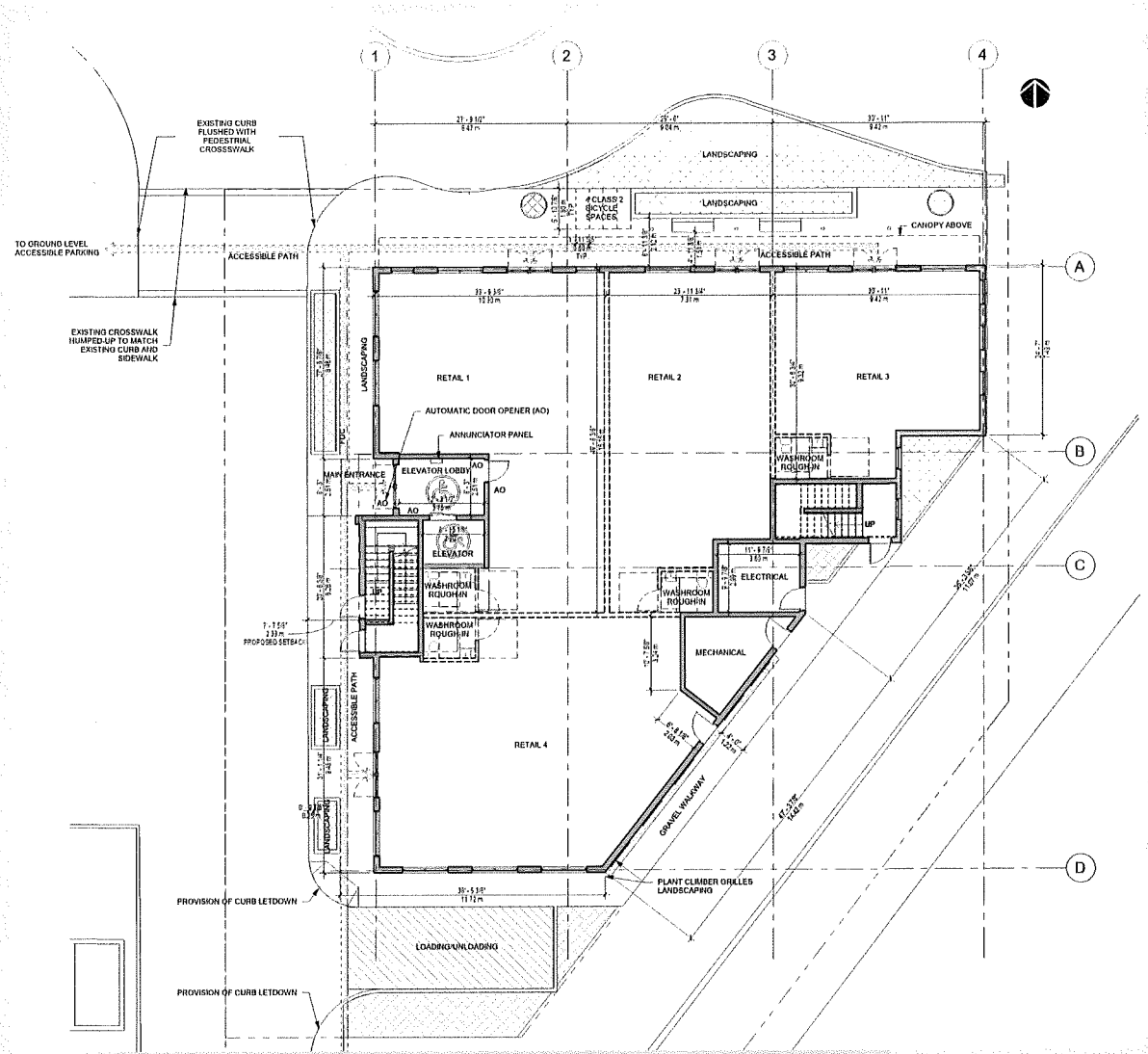
② EAST CONTEXT ELEVATION
1" = 150'



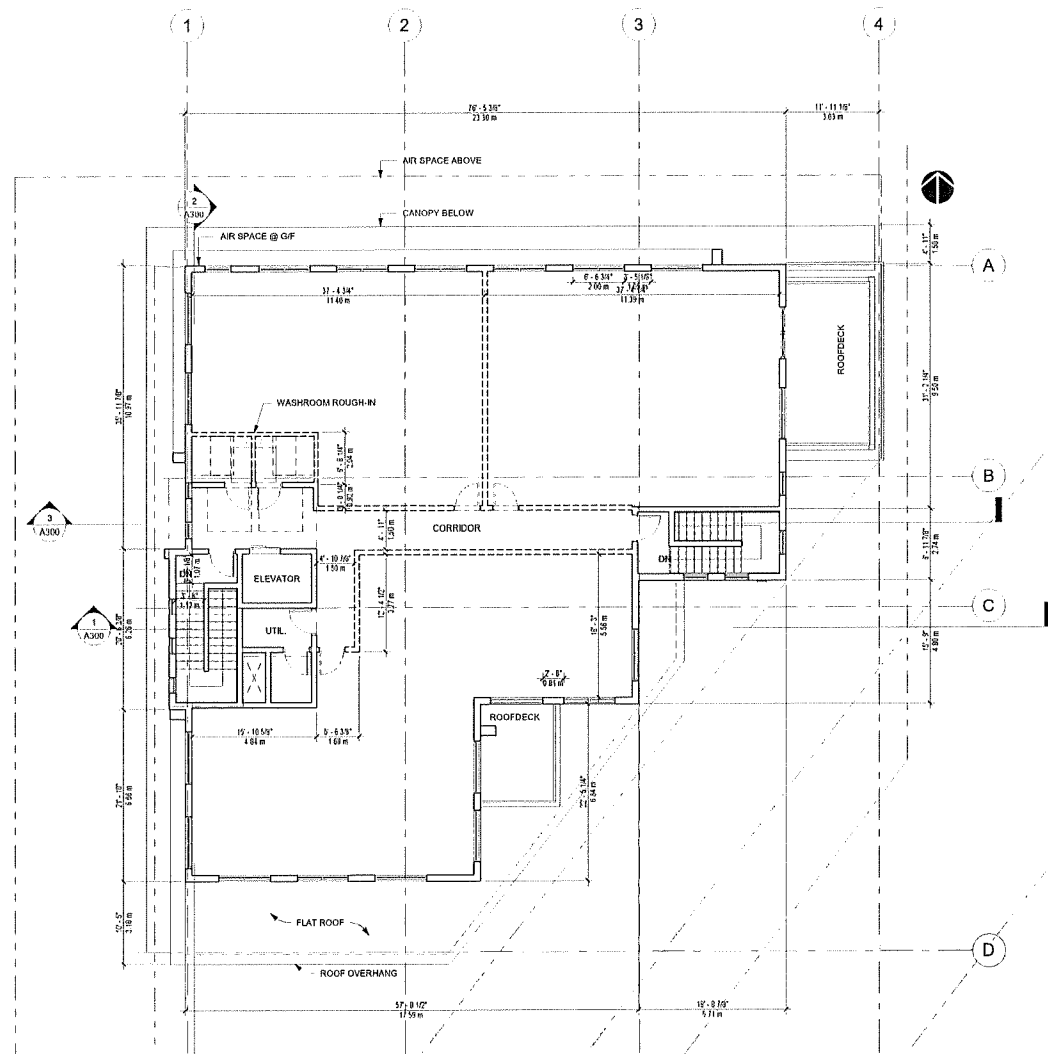
EXISTING BUILDING (APPROX. F1)

[illegible]

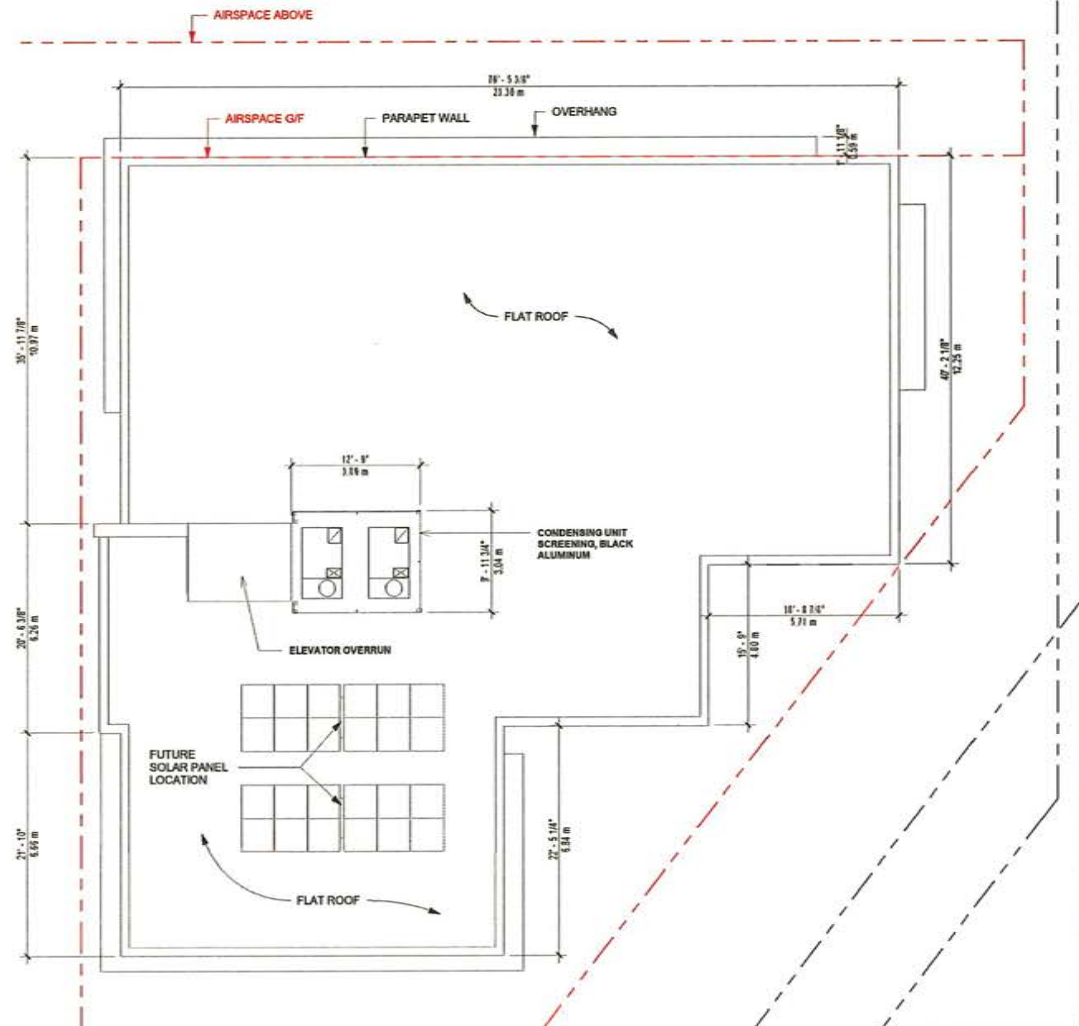
1ST LEVEL PLAN



2ND LEVEL PLAN



ROOF PLAN





M01
DARK GRAY FIBRE CEMENT BOARD PANEL



M02
WHITE FIBRE CEMENT BOARD PANEL



M03
ELUTED METAL FAUX WOOD VERTICAL
SIDING



M04
BLACK COLORS FOR STOREFRONT
AND WINDOW FRAMES



M05
LIGHT GRAY FIBRE CEMENT BOARD
SIDING

NORTH ELEVATION





M01 DARK GRAY FIBRE-CEMENT BOARD PANEL



M03 WHITE FIBRE-CEMENT BOARD PANEL



M02 FLUTED METAL, FAUX WOOD VERTICAL SIDING



M04 BLACK COLORS FOR STOREFRONT AND WINDOW FRAMES



M05 LIGHT GRAY FIBRE-CEMENT BOARD SIDING

EAST ELEVATION

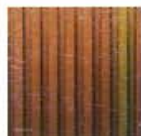




M01
DARK GRAY FIBRE CEMENT BOARD PANEL



M03
WHITE FIBRE CEMENT BOARD PANEL



M02
FLUTED METAL FAUX WOOD VERTICAL
SIDING



M04
BLACK COLORS FOR STOREFRONT
AND WINDOW FRAMES



M05
LIGHT GRAY FIBRE CEMENT BOARD
SIDING

SOUTH ELEVATION





WEST ELEVATION
1 : 100



PERSPECTIVE

NORTHWEST VIEW (MAIN ENTRANCE)



PERSPECTIVE

SOUTHWEST BIRD'S EYE VIEW



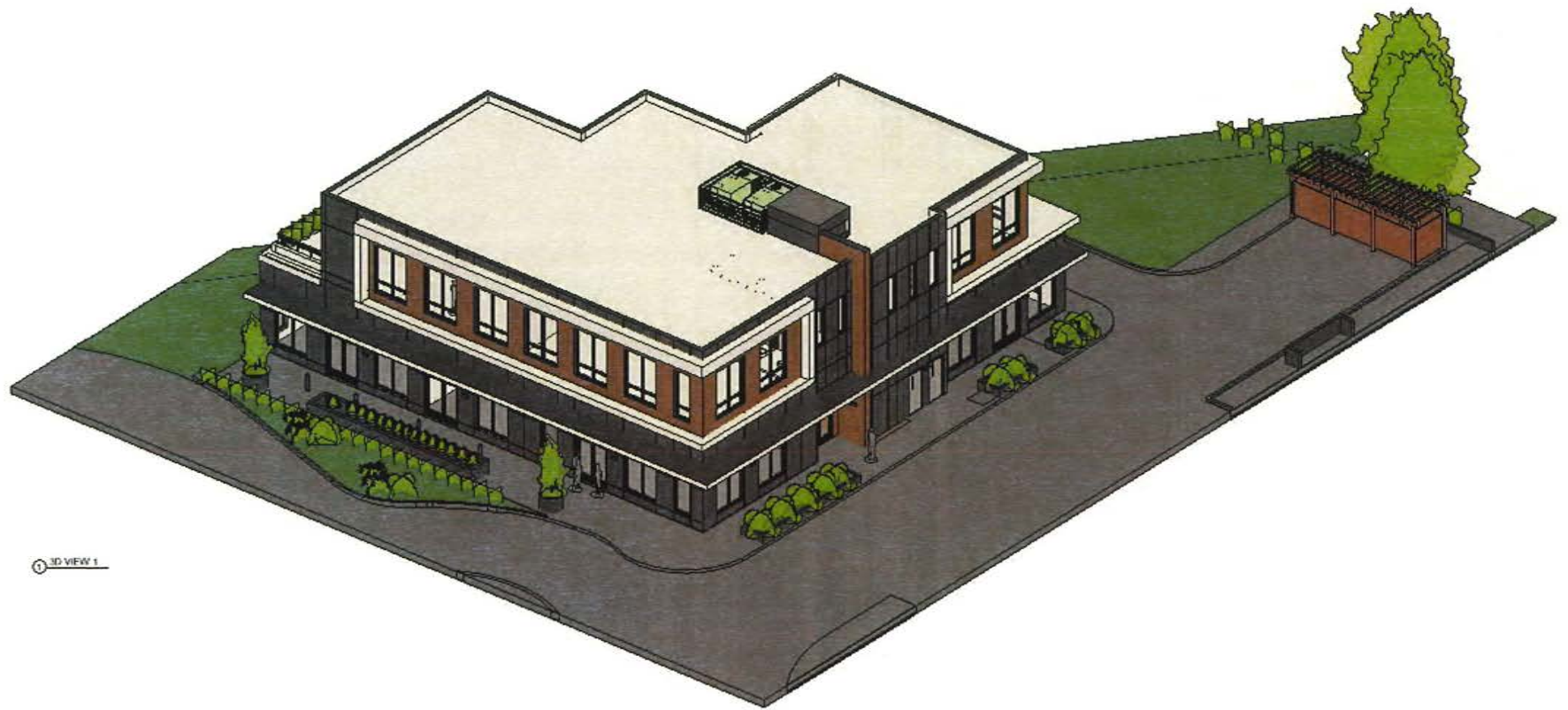
PERSPECTIVE

SOUTHEAST VIEW (HIGHWAY SIDE)



NORTHEAST VIEW (CRU UNITS)

PERSPECTIVE



3D MODEL VIEW



3D MODEL VIEW



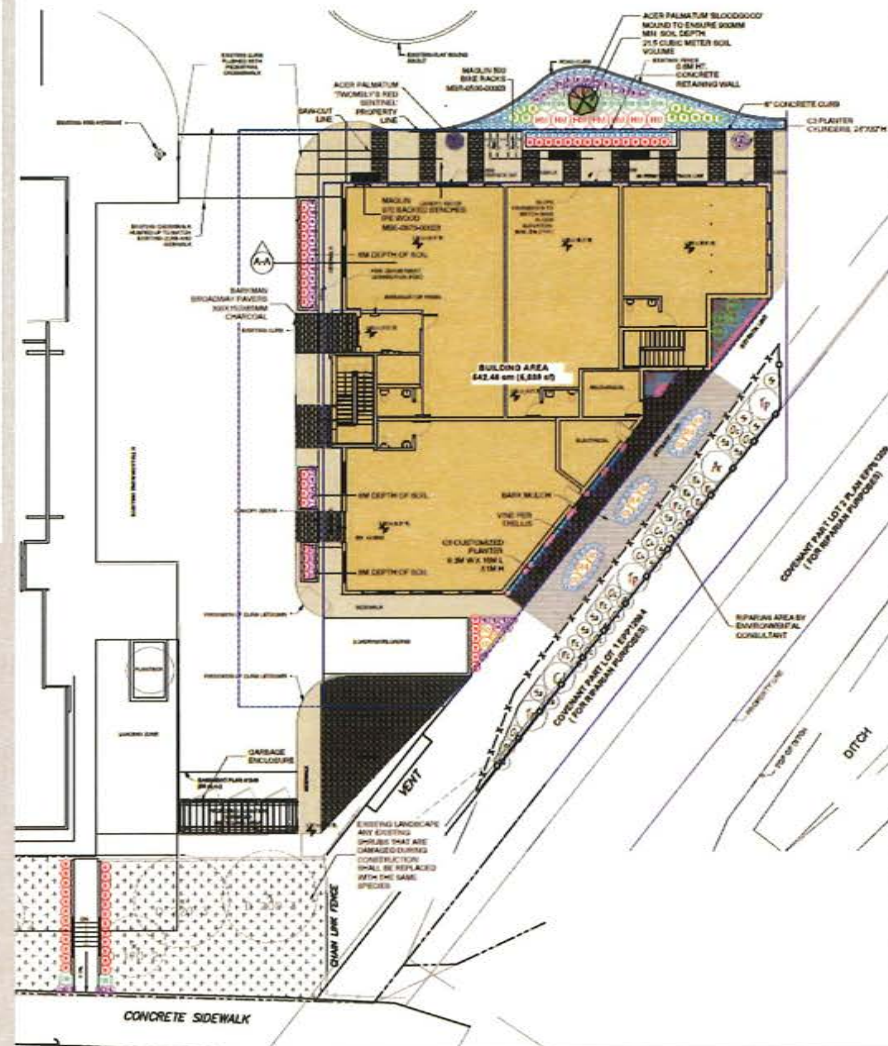
PLANT SCHEDULE

PMG PROJECT NUMBER: 23-106

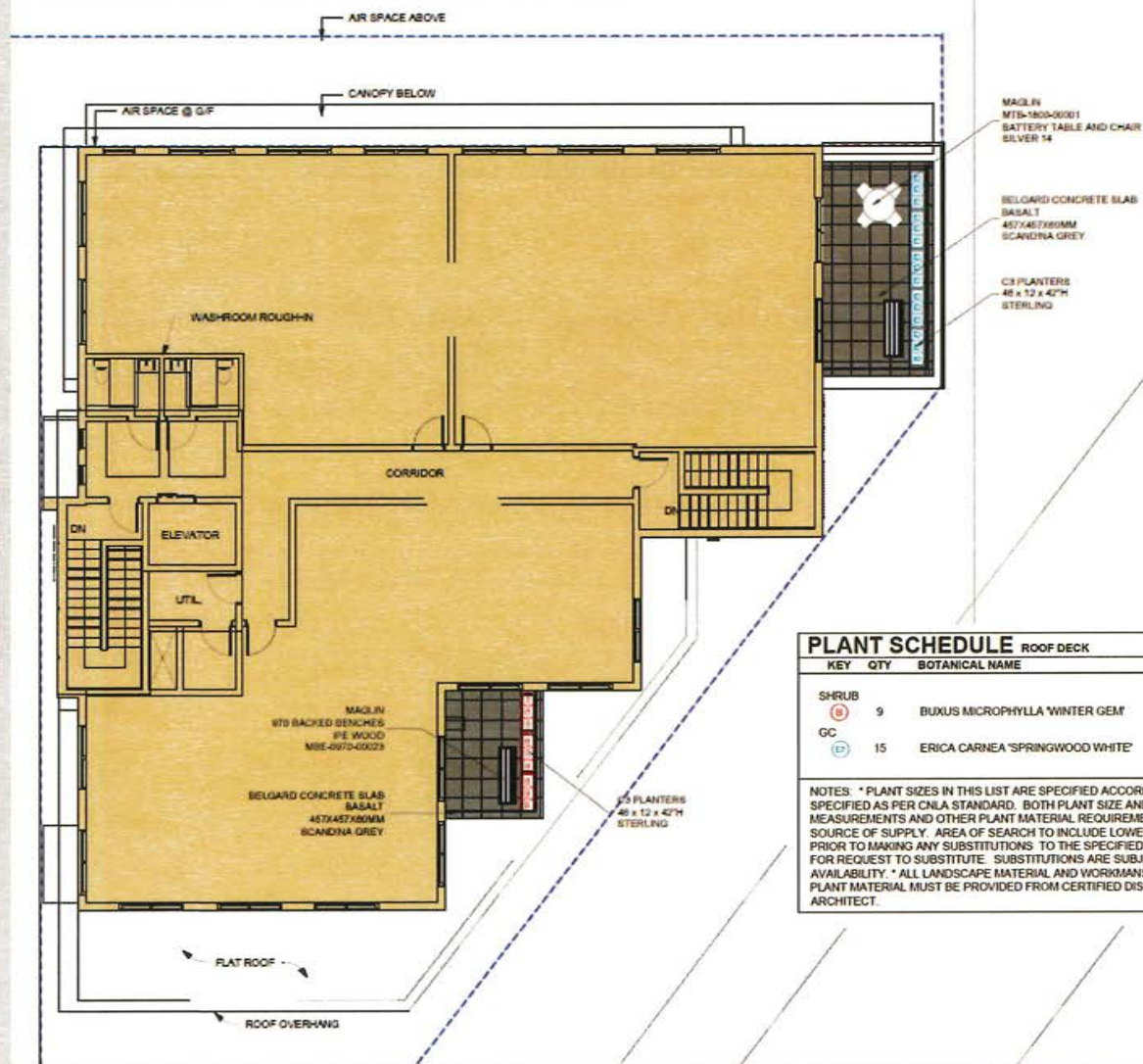
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	NOTES
TREE	1	ACER PALMATUM 'BLOODGOOD'	RED JAPANESE MAPLE	2.5M HT; B&B; UPRIGHT FORM	
SHRUB	2	ACER PALMATUM 'TWOMBLY'S RED SENTINEL'	COLUMNAR RED JAPANESE MAPLE	1.5M HT; B&B	
64	2	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 60CM	DROUGHT TOLERANT
9	2	CORNUS SERICEA	RED TWIG DOGWOOD	#3 POT; 60CM	DROUGHT TOLERANT & NATIVE
7	2	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	BIGLEAF HYDRANGEA (BLUE)	#3 POT; 60CM	DROUGHT TOLERANT
11	2	RHOODENDRON 'BOW BELLS'	RHOODENDRON	#3 POT; 50CM	DROUGHT TOLERANT
15	2	RHOODENDRON 'P.J.M.'	RHOODENDRON, LIGHT PURPLE, E. MAY	#3 POT; 50CM	DROUGHT TOLERANT
3	2	ROSA NUTKANNA	NOOTKA ROSE	#3 POT; 60CM	DROUGHT TOLERANT & NATIVE
GRASS	75	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT	DROUGHT TOLERANT
66	2	FESTUCA IDAHENSIS	IDAHO FESCUE	#1 POT	DROUGHT TOLERANT & NATIVE
33	2	PENNETUM ALOPECUROIDES 'MAMELIN'	DWARF FOUNTAIN GRASS	#1 POT	DROUGHT TOLERANT
VINE	9	TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	#2 POT; 75CM, STAKED	DROUGHT TOLERANT
PERENNIAL	17	HOSTA 'PATRIOT'	HOSTA, GREEN AND WHITE VARIEGATED	#1 POT; 1 EYE	DROUGHT TOLERANT
39	2	IBERIS SEMPERVIRENS 'SNOWFLAKE'	SNOWFLAKE EVERGREEN CANDYTUFF	9CM POT	DROUGHT TOLERANT
8	2	LIRIOPE MUSCARI	BLUE LILY-TURF	#1 POT	DROUGHT TOLERANT
GC	6	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM	DROUGHT TOLERANT & NATIVE
51	2	ARCTOSTAPHYLOS UVA-URSI	KINKINNICK	#1 POT; 20CM	DROUGHT TOLERANT & NATIVE

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: HIGH EFFICIENCY IRRIGATION (INCLUDE RAIN SENSOR) TO IABC STANDARDS TO BE PROVIDED BY IRRIGATION CONTRACTOR THROUGH DESIGN-BUILD SYSTEM. PROVIDE SHOP DRAWINGS TO PMG FOR REVIEW PRIOR TO INSTALLATION.



LANDSCAPING PLAN



C3 PLANTER



BELGARD CONCRETE SLAB

PLANT SCHEDULE ROOF DECK

PMG PROJECT NUMBER: 23-106

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB B	9	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT, 40CM
GC E	15	ERICA CARNEA 'SPRINGWOOD WHITE'	WINTER HEATH, WHITE	#1 POT

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

ROOF DECK

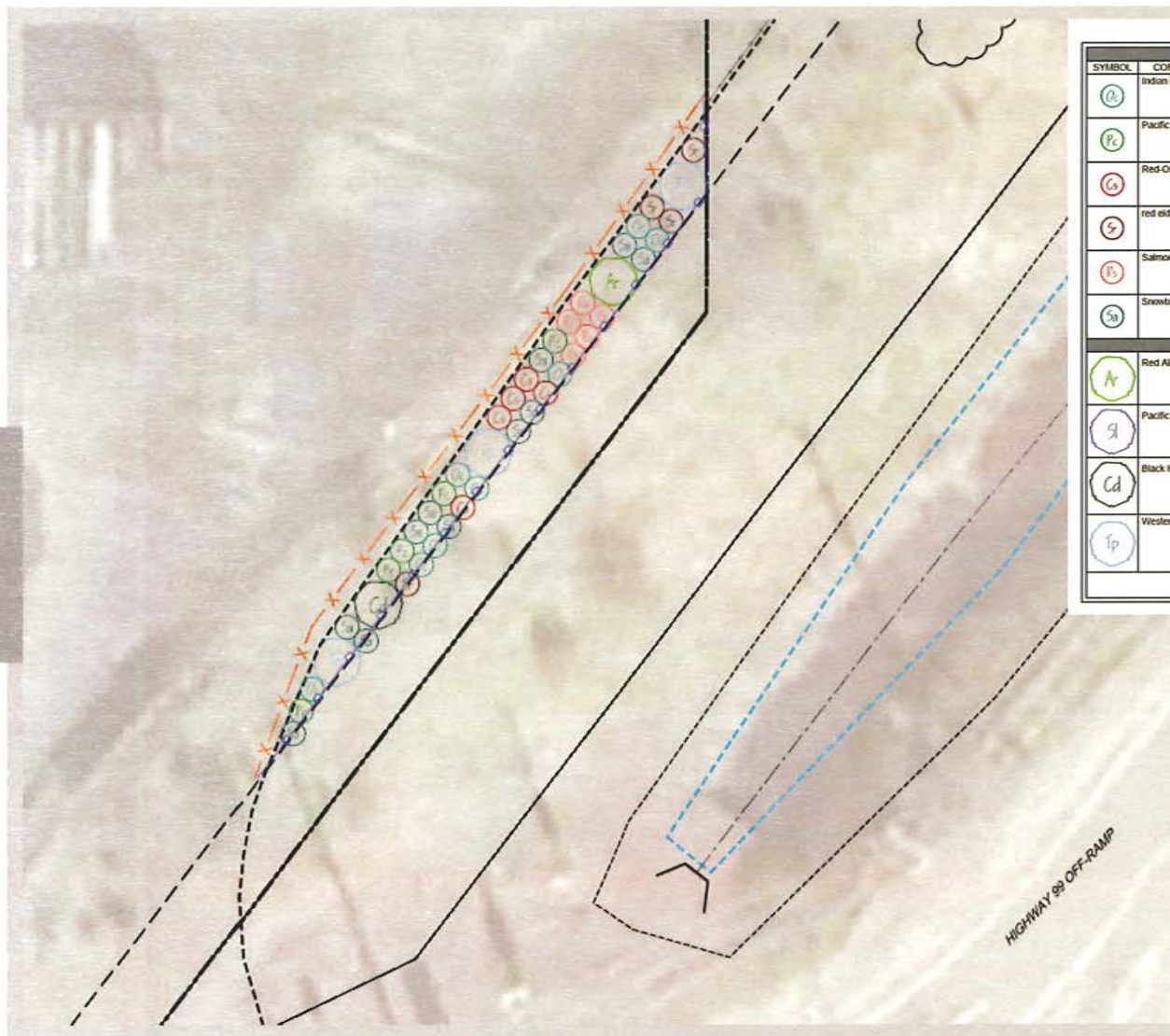
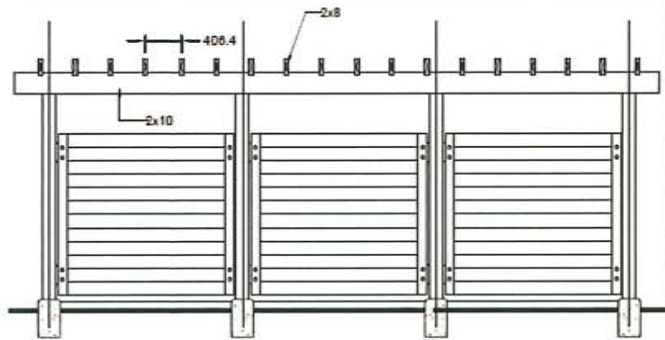


TABLE 1: PETERSON DEVELOPMENT

SYMBOL	COMMON NAME	LATIN NAME	COUNT	Species	ECOLOGICAL VALUE
				SPECIFICATIONS	
O	Indian Plum	<i>Oenothera cerasifolia</i>	8	no. 2 pot, multi-stemmed, densely branched, well established	Fruit bearing, shade value
P	Pacific Ninebark	<i>Physocarpus opulifolius</i>	5	no. 2 pot, densely branched, well established	Litter inputs, shade value
G	Red-Osier Dogwood	<i>Cornus sericea</i>	5	no. 2 pot, densely branched, well established	Fruit bearing, slope stability, shade value
S	red elderberry	<i>Sambucus racemosa</i>	4	no. 2 pot, densely branched, well established	Fruit bearing, shade value
B	Salmonberry	<i>Rubus spectabilis</i>	5	no. 2 pot, multi-stemmed, densely branched, well established	Fruit bearing, slope stability, shade value
Sn	Snowberry	<i>Symphoricarpos albus</i>	11	no. 2 pot, densely branched, well established	Fruit bearing
TREES					
A	Red Alder	<i>Alnus rubra</i>	1	no. 5 pot, densely branched, well established	Litter inputs, shade value, slope stability
W	Pacific Willow	<i>Salix lucida ssp. lasioandra</i>	0	no. 5 pot, densely branched, well established	Litter inputs, shade value, slope stability
Cd	Black Hawthorn	<i>Crataegus douglasii</i>	1	no. 5 pot, densely branched, well established	Litter inputs, fruit bearing
Tp	Western Red Cedar	<i>Thuja plicata</i>	3	no. 5 pot, densely branched, well established	Shade value, nesting habitat
TOTAL			43		

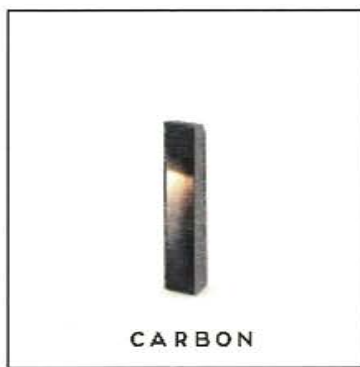
RMA PLANTING



4
L5 **GARBAGE ENCLOSURE**



MAGLIN BATTERY TABLE AND CHAIR



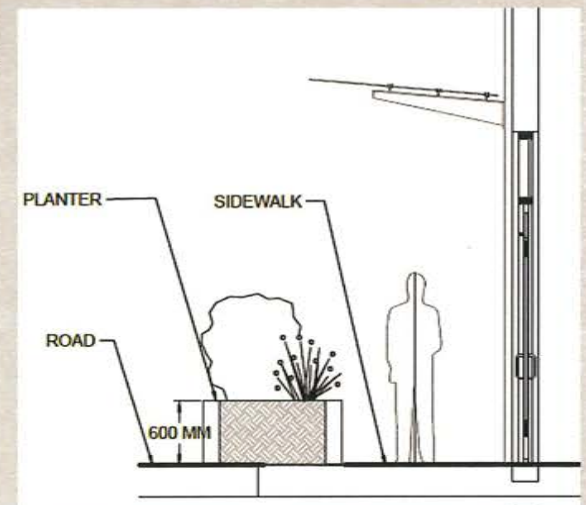
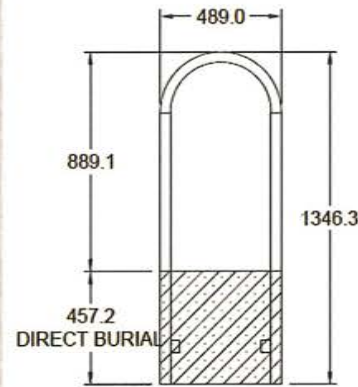
BOLLARD LIGHT



WALL SCONCE LIGHT



CANOPY LIGHT



LANDSCAPING DETAILS





M01
DARK GRAY FIBRE-CEMENT BOARD PANEL



M03
WHITE FIBRE-CEMENT BOARD PANEL



M04
BLACK COLORS FOR STOREFRONT
AND WINDOW FRAMES



M02
FLUTED METAL FAUX WOOD VERTICAL SIDING



M05
LIGHT GRAY FIBRE CEMENT BOARD SIDING

MATERIALS

SUSTAINABILITY FEATURES

Energy Efficiency:

- LED lighting – Energy-efficient lighting with smart controls and daylight sensors.

Water Conservation:

- Low-flow plumbing fixtures – Water-efficient faucets, toilets, and urinals to reduce water consumption.
- Drought-resistant landscaping – Using native plants that require less water and maintenance.

Sustainable Materials:

- Will prioritize locally-sourced materials - Reducing carbon footprint but using materials from nearby sources.
- Low-VOC and non-toxic materials – Improving indoor air quality with eco-friendly paints, adhesives, and finishes.

Waste Management:

- When possible construction waste reduction – Using prefabrication, modular design, and recycling construction materials.

STEP Code Requirement:

- Step Code 2 with LCES will be provided

SITE CONTEXT



1. CONTEXT SITE PLAN
1:1000

EXISTING BUS STOPS

ADJACENT EXISTING APARTMENTS



EXISTING SITE VIEW AS SEEN FROM ON HIGHWAY



ADJACENT EXISTING APARTMENTS



ADJACENT EXISTING TOWNHOUSES



ENTRANCE TO THE
EXISTING BASEMENT
PARKADE

CLOSEST FIRE
HYDRANT LOCATION

FLAT ROLL-OVER CURB
THAT COULD ALLOW
FIRE TRUCK BACKING-
UP

ADJACENT EXISTING COMMERCIAL-RESIDENTIAL BUILDING



EXISTING SITE VIEW AS SEEN FROM THE HIGHWAY

RSMA ZONE

DEVELOPMENT CONTEXT:

Adherence to SAP Plan:

Green Development Strategies:

- Compact, Mixed-Use, Pedestrian Friendly Design : Walkable surface, weather protected canopies have been provided)
- Active Strategies (technology-driven sustainability measures): Rough-in for future solar panel installation, High-efficiency HVAC systems and smart building controls and , Water-saving plumbing fixtures will be suggested to future tenants
- Passive Strategies (design elements that enhance energy efficiency naturally): Large windows for natural ventilation and reduced artificial lighting needs and Shading elements such as overhangs are introduced to regulate indoor temperatures.

High-Performance Building & Landscape Integration

- Drought-Tolerant & Native Landscaping
- We will strive to use recycled & sustainable materials by incorporating locally sourced, non-toxic, and low-carbon footprint materials where possible.

Resource Optimization, Waste Reduction, & Pollution Control

- Garbage recycling area is provided to minimize landfill waste and encourage circular resource use.
- Where applicable we will use low-VOC (Volatile Organic Compound) materials to improve indoor air quality with non-toxic paints, adhesives, and finishes.

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
June 25, 2025

To Development Permit Panel	
Date:	<u>JUNE 25, 2025</u>
Item #	<u>1</u>
Re:	<u>DP 23-031345</u>

From: wei shuanjun <xiaoweivip@hotmail.com>
Sent: June 18, 2025 1:57 PM
To: CityClerk
Subject: About Development Permit panel meeting

Categories: Rustico

[You don't often get email from xiaoweivip@hotmail.com. Learn why this is important at
<https://aka.ms/LearnAboutSenderIdentification>]

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or
open attachments unless you recognize the source of this email and the content is safe..

File : DP 23-031345
Applicant : Jack Peccia

Hi Dear Clerks,

My name : Shuanjun Wei
Address : 712-10788 No. 5 RD Richmond BC V6W 0B7

Sorry, I am unable to attend this development permit panel meeting in-person. Because I'm not in the urban area this
month.

My opinion is as follow :
I'm not in favor of issuing this permit.
Because this place is too close to the Highway road Exit and too dense.
It's too dangerous. Accidents are prone to occur !

Thank you !

Sincerely

Shuanjun Wei

发自我的 iPhone





City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 2, 2025

From: Joshua Reis
Director of Development

File: DP 23-023854

Re: Request by HNP Architecture & Planning Inc. to Cancel a Development Permit
at 6071 Azure Road

Staff Recommendation

That the request to cancel Development Permit DP 23-023854 be granted and notice of the Development Permit DP 23-023854 be released from Title of the subject property

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

JR:sb
Att. 1

Staff Report

Origin

HNPA Architecture & Planning Inc., on behalf of owner Sun Valley Rental Ltd. Inc. No. BC0923745 (Directors: Yiwei Xuan, Hanping Xuan and Minrong Zhang), has requested the cancellation of Development Permit DP 23-023854 for a 330-unit 100 percent rental development at 6071 Azure Road.

On September 9, 2024, Development Permit DP 23-023854 was issued by Council for the development of a residential rental tenure low-rise to mid-rise development at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson” (Attachment 1).

Highlights of the approved Development Permit (DP) include:

- Redevelopment of an existing 50-unit rental residential site with 330 residential rental units including 50 Low-End Market Rental (LEMR) units, 110 moderate-income rental units and 170 market rental units. All of the units are rental tenure and secured through the rezoning bylaw and via Housing Agreements, bylaws and Housing Covenants.
- Two four-storey apartment buildings located at the western and southern edges of the subject site and one six-storey apartment building located in the northeast corner. All three buildings are located over a single-level parking structure.
- A total floor area of approximately 24,371 m² (262,327 ft²) comprised of:
 - Approximately 4,486 m² (48,287 ft²) of LEMR housing units provided over two buildings.
 - Approximately 5,946 m² (64,002 ft²) of moderate-income rental housing units provided over two buildings.
 - Approximately 13,942 m² (150,069 ft²) of market rental housing units and common circulation space provided over the three buildings.
- Approximately 510 m² (5,490 ft²) indoor amenity space provided over the three buildings.

The existing zoning of the subject site is “Low to Mid Rise Apartment (ZLR45) – Thompson”. Should Council approve the cancellation of the Development Permit (DP), the existing zoning of the site would not be impacted. Legal agreements and securities that were secured through the rezoning (RZ 21-931122) of the subject site would not be affected and would continue to remain in effect.

A Servicing Agreement was secured through the rezoning for works including Westminster Highway widening, Azure Road traffic calming, frontage improvements, sanitary sewer upgrades and utility connections.

Analysis

The owner is requesting the DP be cancelled in accordance with Section 9 of the City’s Development Permit, Development Variance Permit and Temporary Commercial and Industrial Use Permit Procedure Bylaw No. 7273 as they no longer wish to proceed with the approved

development at this time. The owner wishes to make changes to the project design and intends to submit a new DP application.

The City is currently holding a landscape security in the amount of \$1,328,911.65, along with associated non-registered landscape security agreement, to ensure landscape works are completed and installed in accordance with the approved DP drawings. The owner has also requested that should the DP be cancelled that the landscape security associated with the approved DP be released. Staff have no objection to the release of the landscape security. Any new DP application will require the owner to enter into a landscape security agreement and provide a landscape security in an amount to be determined by the City and Landscape Architect based on the future application's landscape design and then current costs.

If the approved DP is cancelled, a Building Permit cannot be issued and the owner would be required to submit a new DP application and obtain Council approval to redevelop the subject site.

Existing Legal Agreements

A number of legal agreements and securities were secured through the rezoning and DP. Legal agreements and securities secured through the rezoning remain in effect and would not be affected by the cancellation of the DP. The landscape security and legal agreements secured through the Development Permit DP 23-023854 would no longer be needed after the DP is cancelled.

There are two legal agreements registered on Title that were secured through the approved DP. The first legal agreement allows for construction phasing and requires the provision of all of the LEMR units and at least 200 m² of indoor amenity space be provided in the first phase. The second legal agreement requires the owner to advise potential tenants and include in any rental agreements, notification that the parkade design does not accommodate parking for vehicles larger than 5.5 m in length (e.g. larger pickup trucks). These legal agreements would be permitted to be discharged from Title, or amended or replaced, after Council approval of the cancellation of the existing DP.

After the DP was issued, notification was registered on Title. Should Council authorize the cancellation of the DP, this notice would be released from Title.

Conclusion

The applicant has requested cancellation of Development Permit DP 23-023854 for the development of 6071 Azure Road as they do not wish to proceed with the approved project design. Staff have no objection to the request, and recommend that the request to cancel the DP be granted and that the permit be cancelled.



Sara Badyal
Program Manager, Housing (Development Applications)
(604-276-4282)

SB:aa

Att. 1: Location Map

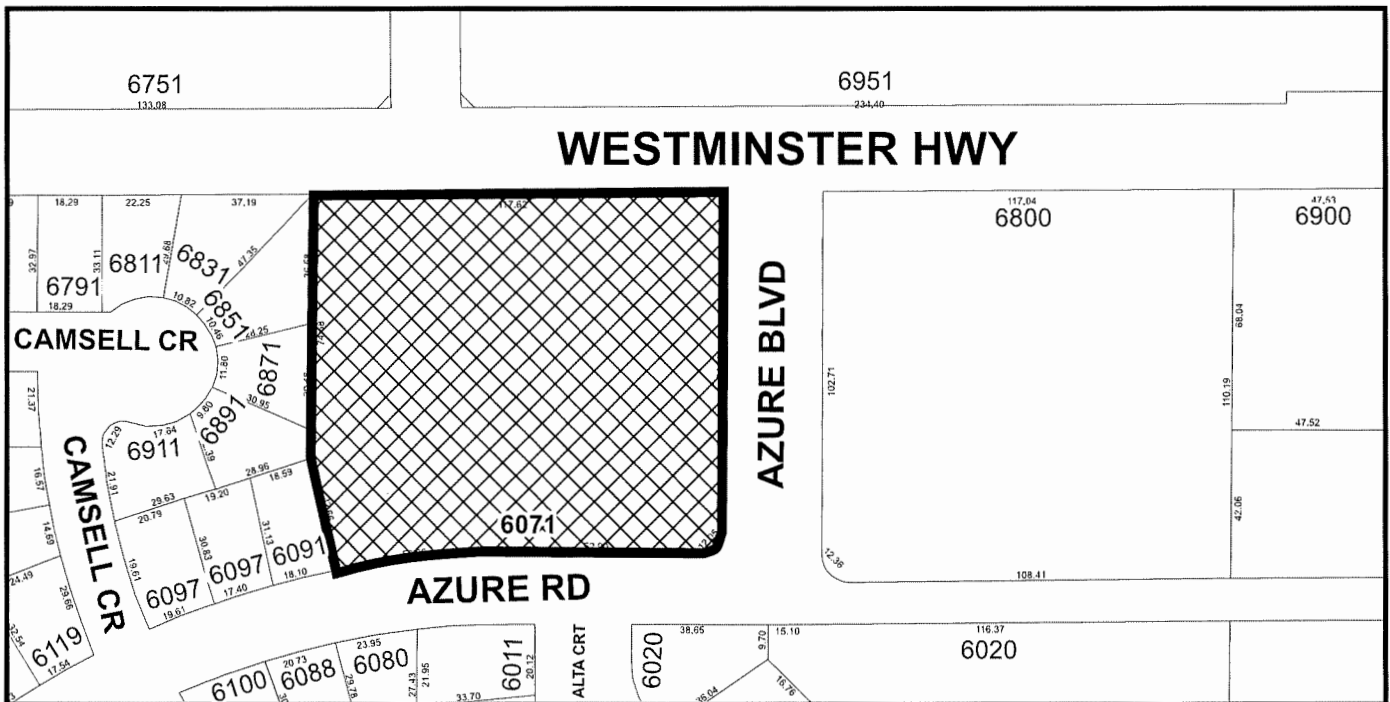
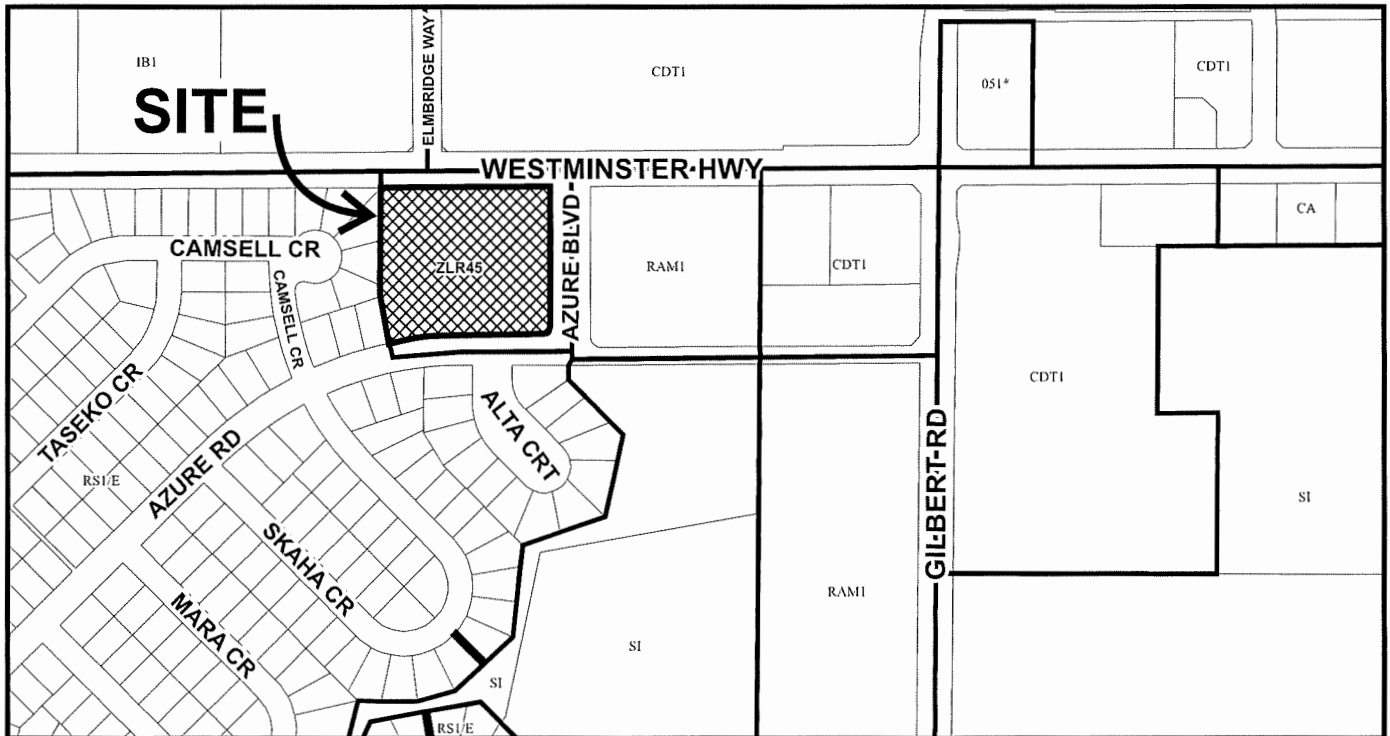
The following are permitted after Council approval of the cancellation of Development Permit DP 23-023854:

- (Notice on Title) Release of Development Permit DP 23-023854 notice registered on Title. The applicant shall be responsible for all costs associated with obtaining the release of notice from Title.
- (Landscape Security) Termination of landscape security legal agreement and release of landscaping security in the amount of \$1,328,911.65.
- (Phasing Agreement) Discharge, amendment, or replacement of legal agreement registered on Title ensuring that any phasing of the development includes in the first phase the provision of all of the LEMR units and the use of the rental management offices for shared indoor amenity space use by the residents until the second phase is completed to ensure at least 100 m2 of indoor amenity space is provided in each building.
- (Parking Agreement) Discharge, amendment or replacement of legal agreement registered on Title requiring the owner to advise potential tenants and include in any rental agreements, notification that the parkade design does not accommodate parking for vehicles larger than 5.5 m in length (e.g. larger pickup trucks).



City of Richmond

Attachment 1



DP 23-023854

Original Date: 08/24/23

Revision Date: 07/02/25

Note: Dimensions are in METRES



City of
Richmond



DP 23-023854

Original Date: 06/07/21

Revision Date: 07/02/25

Note: Dimensions are in METRES



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: June 23, 2025

From: Joshua Reis
Director, Development

File: DP 24-049965

Re: Application by Ponda Development Ltd. for a Development Permit at
5120 and 5140 Williams Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of four front-to-back duplexes at 5120 and 5140 Williams Road (one on each new lot after subdivision), on lots zoned "Two-Unit Dwellings (ZD9) – Williams Road (Steveston)".

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

JR:ac
Att. 2

Staff Report

Origin

Ponda Development Ltd. has applied to the City of Richmond, on behalf of Alta West Development Group Ltd. (Directors: P. Zheng & Y. Gao) for permission to develop four front-to-back duplexes at 5120 and 5140 Williams Road (Attachment 1) on a site zoned “Two-Unit Dwellings (ZD9) – Williams Road (Steveston)” with access from Williams Road.

The subject site is being rezoned from the “Small-Scale Multi-Unit Housing (RSM/L)” zone to the “Two-Unit Dwellings (ZD9) – Williams Road (Steveston)” zone under Bylaw 10574 (RZ 23-028712). The rezoning bylaw is currently at third reading, and the applicant is working to complete all the rezoning requirements.

A Servicing Agreement (SA) is required as a condition of subdivision approval and includes, but is not limited to, the following improvements:

- Provision of water, storm and sanitary sewer connections, water meters and inspection chambers as required for each lot.
- Frontage upgrades including installation of a new 2.0 m wide concrete sidewalk with a 1.5 m wide landscaped boulevard.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site currently contains two single-family dwellings located on two separate lots, neither of which contains secondary suites. Both existing dwellings will be demolished. The applicant has indicated that both dwellings are currently tenanted and that tenants have been made aware of the development application and are in mutual agreement to end tenancy on September 30, 2025.

Development surrounding the subject site is as follows:

- | | |
|---------------|--|
| To the North: | Across Williams Road are single-family dwellings on lots zoned “Small-Scale Multi-Unit Housing (RSM/M)” and designated for Townhouse development in the Arterial Road Policy. |
| To the South: | Single-family dwellings on lots zoned “Small-Scale Multi-Unit Housing (RSM/M)” fronting onto Hollycroft Drive and designated for “Single Family” development in the Steveston Area Plan. |
| To the East: | A single-family dwelling on a lot zoned “Small-Scale Multi-Unit Housing (RSM/L)” and designated for Duplex/Triplex development in the Arterial Road Policy. |

To the West: A single-family dwelling on a lot zoned “Small-Scale Multi-Unit Housing (RSM/L)” and designated for Duplex/Triplex development in the Arterial Road Policy.

Rezoning and First Reading Results

The associated rezoning application was granted first, second and third readings by Council at its meeting on November 25, 2024. No concerns regarding the rezoning application were expressed by the public during the Council meeting.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with all aspects of the “Two-Unit Dwellings (ZD9) – Williams Road (Steveston)” zone.

Analysis

Conditions of Adjacency

- The proposed two-storey duplexes have been designed with consideration of the existing surrounding context of low-density, two-storey single-family housing that exists both to the east and west of the subject site.
- The apparent building mass of each duplex has been minimized through the use of façade modulation and the incorporation of physical breaks in the rooflines that assist with clearly defining each unit in the cluster.
- The architectural expression of the proposed buildings is well-articulated and sufficiently distinct from one another to provide variety within the streetscape and to follow the existing residential character in the neighbourhood.
- Upper-level private outdoor spaces are oriented towards the central shared drive aisle and the number and size of window openings are minimized along side yard elevations to avoid overlook into adjacent dwellings.

Site Planning, Access, and Parking

- The proposed site layout on each new lot after subdivision consists of a duplex containing one unit at the front and one unit at the back, separated by a pair of garages that each accommodate two side-by-side resident parking spaces (i.e., a total of four resident parking spaces per lot).
- Each duplex is located on either side of a shared drive aisle that runs through the center of the site over the common property line of each new lot. One visitor parking space is to be shared between the two duplexes at the south end of the shared drive aisle, consistent with the requirements for the ZD9 zone.

- Vehicle access to the site was reviewed as part of the rezoning application review process and supported by the City's Transportation Department. Two shared access driveways to the site are proposed from Williams Road. A legal agreement is required to be registered on Title prior to rezoning bylaw adoption to ensure that upon subdivision of the property, a reciprocal cross-access easement is registered on Title for the area of the shared drive aisles and the shared visitor parking spaces.
- Pedestrian access from the public sidewalk to each of the front units is provided by a pathway treated with permeable pavers. Pedestrian access to each of the back units is provided via the shared drive aisle. The use of the drive aisle by both vehicles and pedestrians is highlighted by the proposed decorative surface treatment with permeable pavers. The entries to each of the four units are visible from Williams Road.
- Garbage and recycling are proposed to be stored within the individual garages. There is a staging area at the driveway entry for collection on pick-up days.

Architectural Form and Character

- Consistent with the design guidelines for Arterial Road Duplexes, an effort was made to differentiate the appearance of each building through the use of different roof shapes, the use of gable/hip roofs and subtle differences in window treatments.
- A contemporary craftsman residential style is used as the main architectural language for this proposal. Details used in the project include hip and gable roofs. The proposed window trim, horizontal siding, shingles and face culture stone are all typical treatments that can be found in the surrounding residential neighbourhood.
- Small-scale elements such as the covered porch or entry canopy help to clearly define the main entries to the front units and reinforce the residential character of proposed development.
- The proposed colour palette and building materials consist of:
 - A neutral and cohesive colour palette of Iron Gray, Light Mist, Artic White and Aged Pewter creates a contemporary streetscape with subtle contrast between light and dark tones.
 - A mix of horizontal and vertical Hardie siding, T&G boards, and smooth panel finishes introduces texture and articulation, helping break up massing and enhance visual interest across the duplex forms.

Landscape Design and Open Space Design

- Private outdoor space is provided for each of the units consistent with the size guidelines in the OCP:
 - The front units have access to the front yards along Williams Road as well as to upper-level decks oriented towards the central shared drive aisle.
 - The back units have access to rear yards at grade with patios.
- A variety of shrubs, perennials, and grasses are proposed in the Landscape Plan, including Abelia, Boxwood, Rhododendron, Meidiland Rose, Fountain Grass and Plantain Lily.

- Tree retention and removal were assessed as part of the rezoning application review process, at which time it was determined that:
 - Two bylaw-sized trees tag # NO3 (Western red cedar, 65 cm caliper) and tag # NO4 (cherry plum, 50 cm caliper) located on the neighbouring property are to be protected.
 - Two hedges are present on neighbouring lots bordering the southeast corner of the development site (# N01 & # N02) that are in good condition and are to be retained and protected.
 - A total of 15 replacement trees are to be provided in response to the removal of seven bylaw-sized trees on the property.
- The Landscape Plan shows that a mix of 18 deciduous and coniferous replacement trees of various sizes are proposed to be planted and maintained on-site to compensate for the trees proposed to be removed.
- All soft landscaped areas are proposed to be maintained with the installation of an automatic irrigation system.
- A variety of decorative paving treatments are proposed on-site to highlight the use of the shared drive aisle by both vehicles and pedestrians, to provide visual interest and to assist with site permeability.
- A basket-weave pattern of stamped asphalt is proposed to emphasize the pedestrian shoulders of the shared drive aisle. Permeable pavers in a running bond pattern will be used for the pedestrian pathways leading from the sidewalk on Williams Road to the front unit entries. Visitor parking stalls will feature permeable pavers arranged in a herringbone pattern, providing both function and visual interest. For the rear unit patios, a stack bond pattern using Cortez slabs is proposed to create a clean and contemporary outdoor living space.
- To define the street edge and clearly distinguish between public and private open space along Williams Road, low fencing with pedestrian gates is proposed around the front yards (1.0 m high). Solid privacy fencing (1.8 m high) is proposed along side and rear yards.
- A preliminary concept for lighting is proposed, which does not cause spill over onto adjacent properties. This includes both downward-facing building-mounted lighting along the shared drive aisle as well as low-height bollard lighting at the site entrance, in select locations along pathways and at the visitor parking area.
- To ensure that the Landscape Plan is adhered to, the applicant is required to submit a Landscaping Security in the amount of 100 per cent of a cost estimate prepared by the Registered Landscape Architect (including all materials, installation, and a 10 per cent contingency) prior to DP issuance.

Crime Prevention Through Environmental Design (CPTED)

- The applicant has identified that the following principles of CPTED are incorporated into the proposed design:
 - The street edge is defined with low fencing and lower planting on either side of the fence for visual porosity into the site.

- Access control is provided by defined pedestrian pathways from the public sidewalk to the front units and shared pedestrian and vehicle access to the back units via the drive aisle.
- Windows and downward-facing exterior lighting are provided on the proposed lighting plan overlooking the shared drive aisle and at the front/rear yards for natural surveillance.

Accessible Housing

- The proposed development includes one convertible unit (front unit of the duplex on proposed Lot D) that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a stair lift. The list of Convertible Unit features and floor plans are included in the Reference Plans to the DP.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - Lever-style door handles;
 - Blocking installed in walls for grab bars; and
 - Stair handrails.

Sustainability

- The applicant has submitted written confirmation from their Certified Energy Advisor that the proposed design will meet the required BC Energy Step Code 3 and EL-4 requirements.
- The heat pumps for each of the front units are proposed to be located on the second-floor decks facing the internal drive aisle, and the heat pumps for the rear units are proposed near the rear corners of each building.
- Acoustic fencing or noise barriers will be installed to limit noise impacts on neighbouring properties. Further, the applicant submitted written confirmation that noise associated with heat pump operation will comply with the City's Noise Regulation Bylaw 8856.

Site Servicing & Offsite Improvements

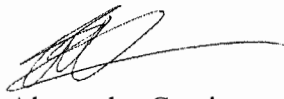
- A SA is required to be entered into prior to subdivision approval for the design and construction of the servicing requirements and frontage improvements.
- Servicing requirements and frontage improvements to support the proposed development were identified during the rezoning application review process and include (but are not limited to):
 - Provision of water, storm, sanitary sewer service connections, water meters and inspection chambers as required for each lot.
 - A new 2.0 m wide concrete sidewalk with a 1.5 m treed/grass boulevard with transition to meet the existing frontage treatments on Williams Road to the east and west of the development's frontage.

Conclusion

The proposal is to develop eight front-to-back duplex units on four lots, with two shared vehicle accesses from Williams Road.

The applicant has addressed staff comments regarding site planning, urban design, architectural form and character and landscape design identified as part of the DP application review process. The proposal, as designed, meets the applicable policies and design guidelines contained in the OCP.

On this basis, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Alexander Costin
Planning 1
(604-276-4200)

AC:js

Att. 1: Location Map
2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for issuance:

- Submission of a Landscape Plan, prepared by a Registered Landscape Architect, to the satisfaction of the Director of Development, and deposit of a Landscaping Security based on 100% of the cost estimate provided by the Landscape Architect, including installation costs.
- Payment of all fees in full for the cost associated with the Public Notices, consistent with the City's Consolidated Fees Bylaw No. 8636, as amended.

Prior to Demolition Permit* issuance, the developer is required to complete the following:

- Installation of protection fencing on-site around the neighbouring trees (i.e., Trees NO3 & NO4 at 5131 Hollycroft Drive) and hedges to be retained (i.e., Hedge NO2 at 5151 Hollycroft Drive and Hedge NO1 at 5148 Williams Road). The protection fencing is to be installed to City standard in accordance with the City's Tree Protection Information Bulletin Tree-03 prior to any works being conducted on-site, and remain in place until construction and landscaping on-site is completed.

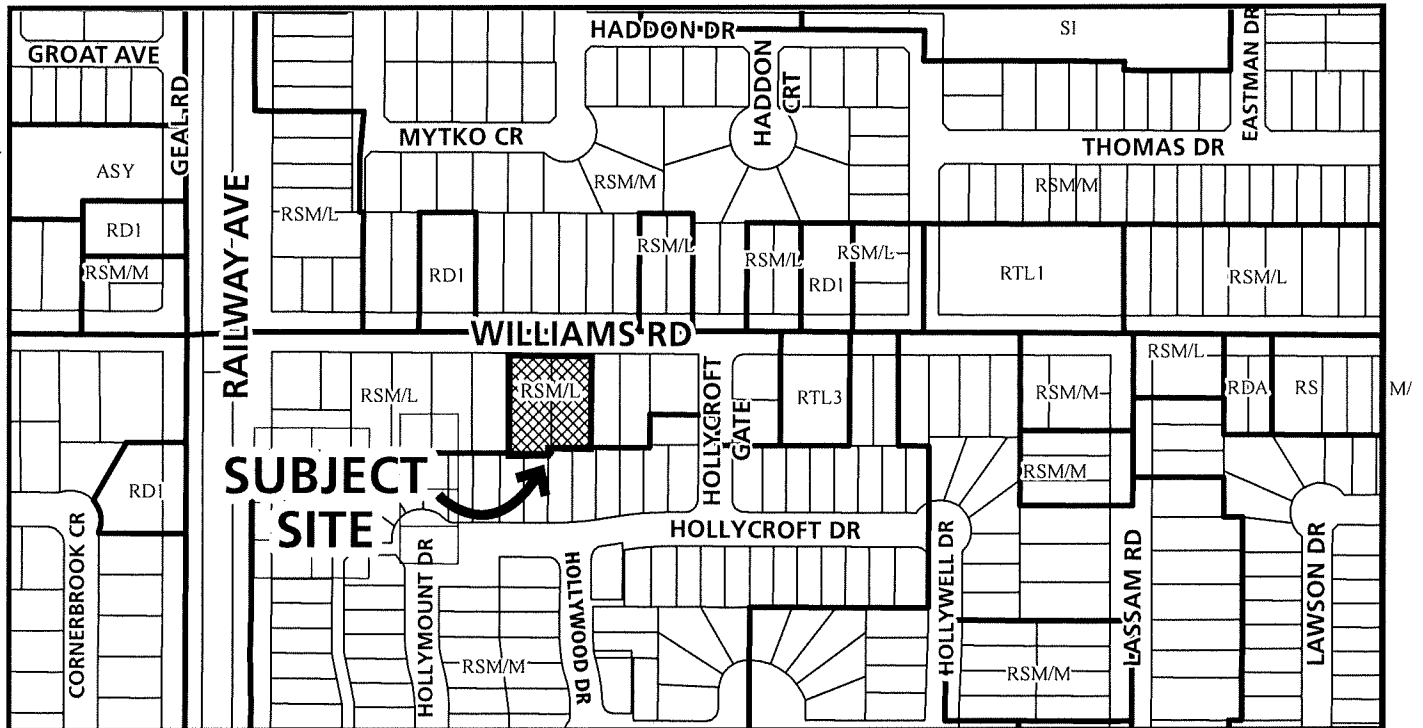
Prior to Building Permit* issuance, the developer is required to complete the following:

- Esurance that the appropriate tree protection fencing is still installed around all trees/hedges to be retained as part of the development prior. Tree protection fencing s to remain in place until construction and landscaping on-site is completed.
- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

*This requires a separate permit.

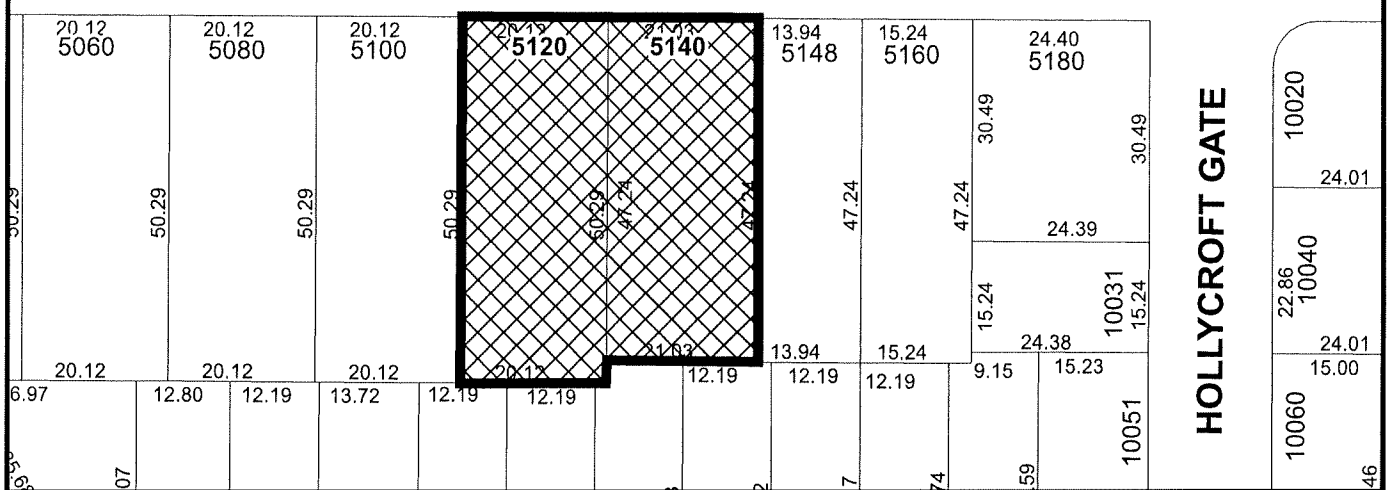


City of
Richmond



5051 14.18	5071 28.35	5091	5111 14.03	5115 14.03	5131 14.03	5139 14.03	5151 13.52	5155 13.52	5171 13.63	5191 13.41	5193 13.41	5231 13.41	5235 13.62
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WILLIAMS RD



DP 24-049965

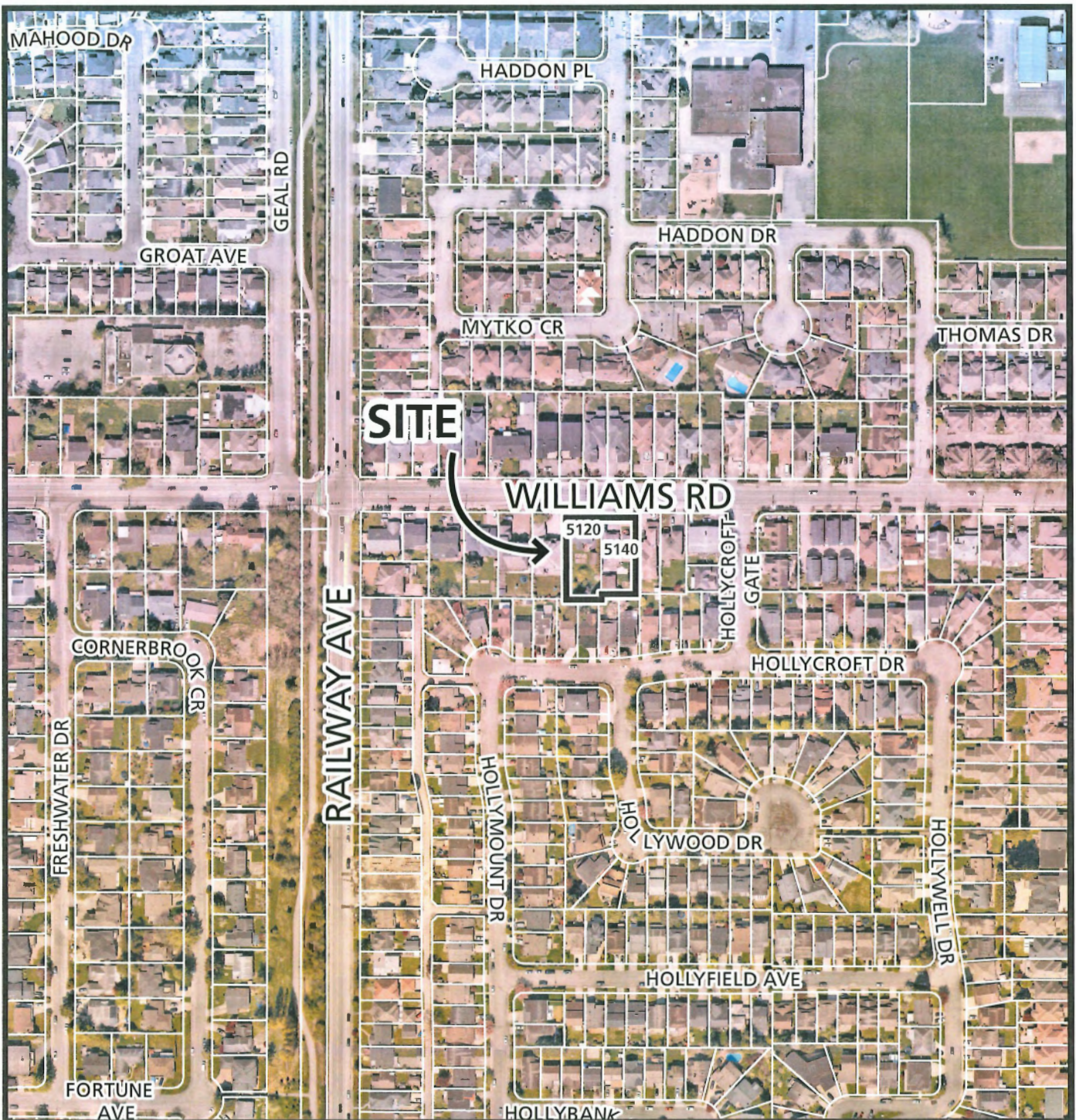
Original Date: 01/27/25

Revision Date:

Note: Dimensions are in METRES



City of
Richmond



DP 24-049965

Original Date: 01/27/25

Revision Date:

Note: Dimensions are in METRES



DP 24-049965

Attachment 2

Address: 5120/5140 Williams Road

Applicant: Ponda Development Ltd.

Owner: ALTA WEST DEVELOPMENT
GROUP LTD.

Planning Area(s): Steveston

	Existing	Proposed
Site Area:	2007.22 m ² (both lots combined)	Lot 1: 517.87 m ² Lot 2: 516.47 m ² Lot 3: 486.86 m ² Lot 4: 486.44 m ²
Land Uses:	One Single-Detached Dwelling	One front-to-back Duplex on each new lot created
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Small-Scale Multi-Unit Housing (RSM/L)	Two-Unit Dwelling (ZD9) – Williams Road (Steveston)
Number of Units:	2	8
Other Designations:	Arterial Road Land Use Policy: Arterial Road Duplex/Triplex	No change

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	The lesser of 0.60 FAR and 334.5 m ²	0.6	none permitted
Buildable Floor Area (m ²):*	Lot 1: Max. 310.84 m ² (3345.85 ft ²) Lot 2: Max. 309.88 m ² (3335.52 ft ²) Lot 3: Max. 291.88 m ² (3141.77 ft ²) Lot 4: Max. 291.86 m ² (3141.55 ft ²)	Lot 1: Max. 310.72 m ² (3344.56 ft ²) Lot 2: Max. 309.63 m ² (3332.83 ft ²) Lot 3: Max. 291.74 m ² (3140.26 ft ²) Lot 4: Max. 291.74 m ² (3140.26 ft ²)	none permitted
Lot Coverage (% of lot area):	Building: Max. 45% Non-porous Surfaces: Max. 70% Landscaping: Min. 20%	Building: Max. 41.2% Non-porous Surfaces: Max. 63.8% Landscaping: Min. 25%	none
Min. Lot Size:	464.5 m ²	Lot 1: 517.87 m ² Lot 2: 516.47 m ² Lot 3: 486.86 m ² Lot 4: 486.44 m ²	none

On Future Subdivided Lots	Bylaw Requirement		Proposed	Variance
Setbacks (m):	Front:	Min. 6.0 m	Min. 6.0 m	None
	Side:	Min. 1.2 m	Min. 1.2 m	
	Rear:	Min. 9.45 -10 m for up to 60% of 1 st storey rear wall and 10.7 m for at least 40% of 1 st storey rear wall and all of 2 nd storey	Min. 9.45 -10 m for up to 60% of 1 st storey rear wall and 10.7 m for at least 40% of 1 st storey rear wall and all of 2 nd storey	
Height (m):	The lesser of 2 storeys or 9.0 m		2 storeys (7.6 m)	None
On-site Resident Parking Spaces per lot:	2 spaces per unit		2 spaces per unit	None
On-site Visitor Parking Spaces:	1 space (shared between 2 lots)		1 space (shared between 2 lots)	None
Private Outdoor Space:	Min. 30 m ² per unit		Min. 30m ² provided per unit	None

* Preliminary estimate; not inclusive of garage; exact building size to be determined through zoning bylaw compliance review at Building Permit stage.



No. DP 24-049965

To the Holder: Alta West Development Group Ltd

Property Address: 5120 and 5140 Williams Road

Address: 9831 Bates Road Richmond, British Columbia, V7A 1E5 CAN

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1 to # 12 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security on 100% of the cost estimate provided by a Registered Landscape Architect including installation costs and 10% contingency, to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 24-049965

To the Holder: Alta West Development Group Ltd

Property Address: 5120 and 5140 Williams Road

Address: 9831 Bates Road Richmond, British Columbia, V7A 1E5 CAN

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

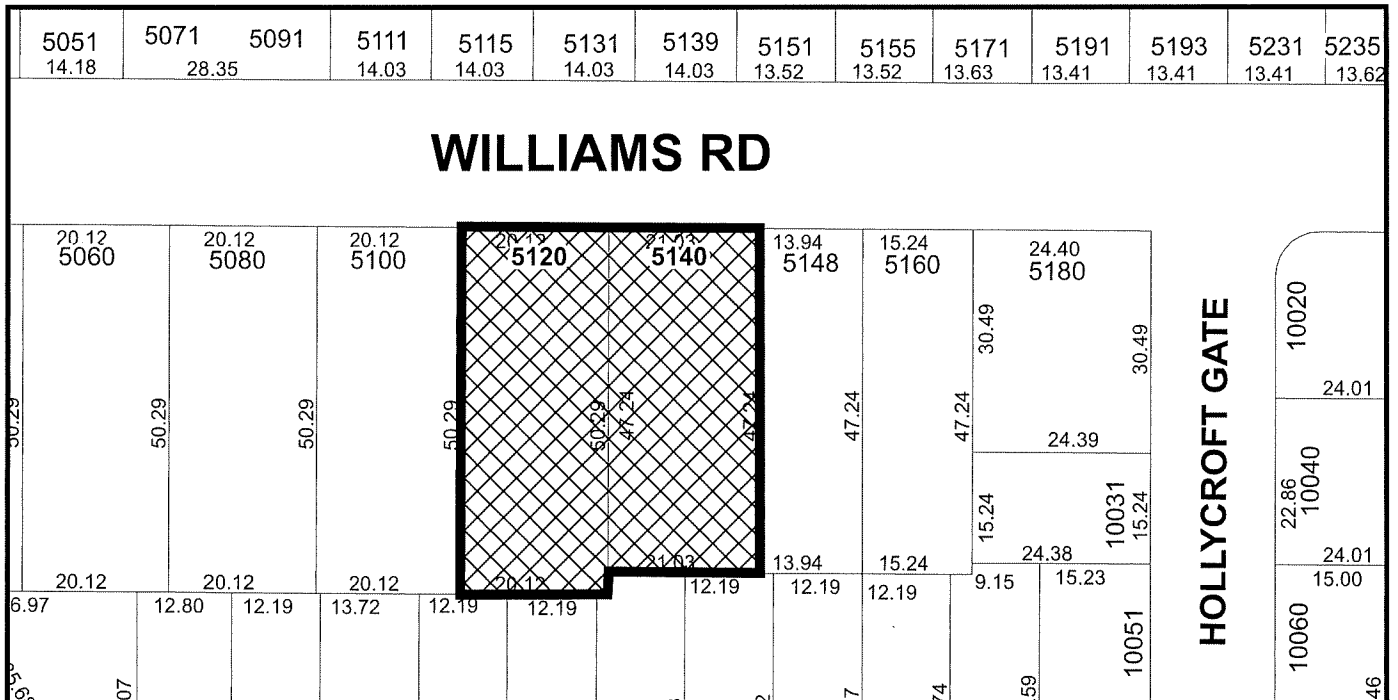
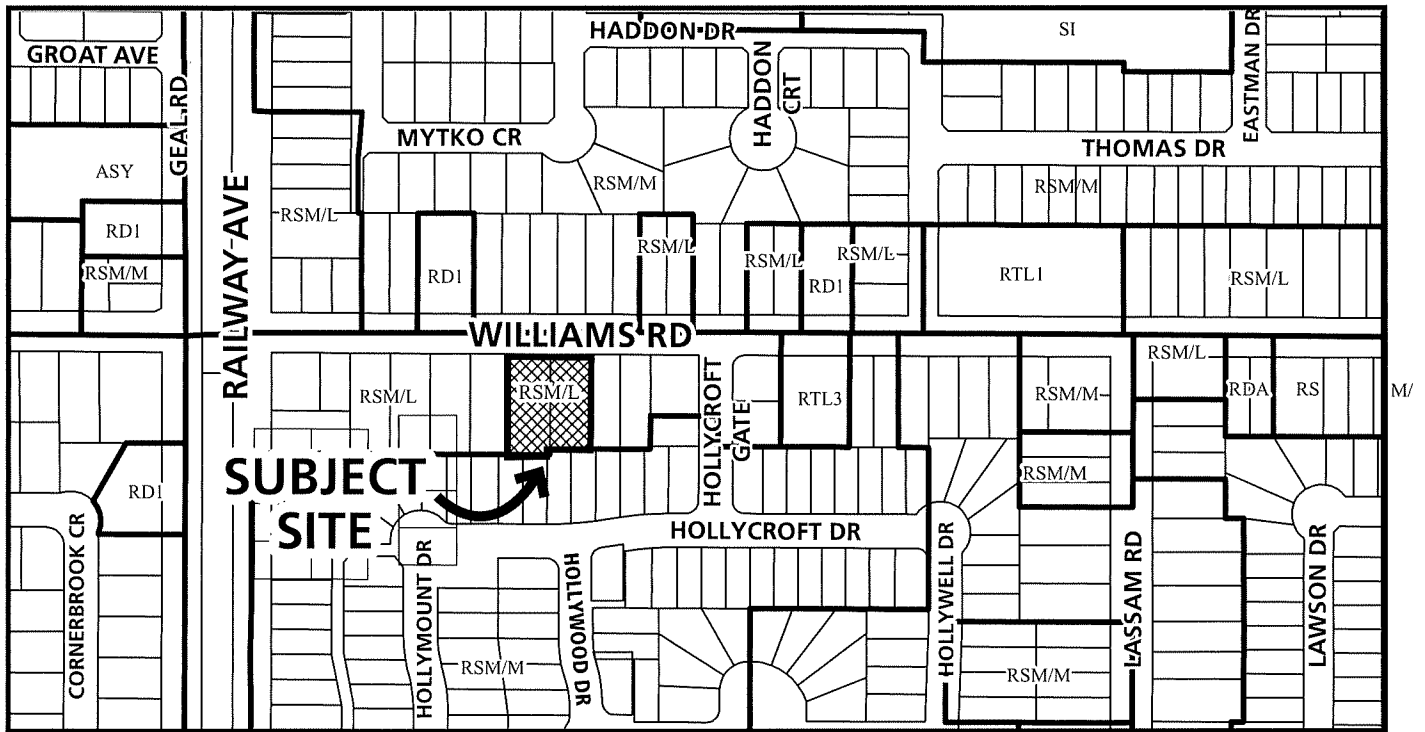
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 24-049965
SCHEDULE "A"

Original Date: 01/27/25

Revision Date:

Note: Dimensions are in METRES

LOT A

	EXISTING	PROPOSED:
SITE AREA:	1012.80SM & 994.42SM	517.87SM
LAND USES:	SINGLE-FAMILY DWELLING	DUPLEXES
OCP DESIGNATION:	RESIDENTIAL	NO CHANGE
ZONING:	RS1/E	RDA ARTERIAL ROAD DUPLEX (TBD)
NUMBER OF UNITS:	1 & 1	4
	ALLOWED/REQUIREMENTS:	PROPOSED:
FLOOR AREA RATIO: (NET)	0.600 (310.84SM) MAX. (334.5SM)	0.600 (310.73SM)
LOT COVERAGE:	BLDGS: 0.450	0.412 (213.22SM)
SETBACK-FRONT (NORTH)	6.000m	6.051m
SETBACK-REAR (SOUTH)	60% GF: 20% LOT DEPTH(10.06m) REST: MAX.10.7m	10.20m REST: 10.83m
SETBACK-SIDE (WEST)	1.200m	1.200m
SETBACK-SIDE (EAST)	1.200m	1.562m
HEIGHT: (m)	9.000m	8.810m
LOT SIZE:		
OFF-STREET PARKING RESIDENTIAL/COMMERCIAL:	4 AND 1	4 (2 + 2 SMALL) 1 (SHARED)
OFF-STREET PARKING ACCESSIBLE:	N/A	0
OFF-STREET PARKING TOTAL	5	5
TANDEM PARKING SPACES:	NONE	NONE

LOT B

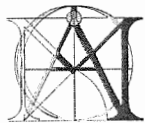
	EXISTING	PROPOSED:
SITE AREA:	1012.80SM & 994.42SM	516.47SM
LAND USES:	SINGLE-FAMILY DWELLING	DUPLEXES
OCP DESIGNATION:	RESIDENTIAL	NO CHANGE
ZONING:	RS1/E	RDA ARTERIAL ROAD DUPLEX (TBD)
NUMBER OF UNITS:	1 & 1	4
	ALLOWED/REQUIREMENTS:	PROPOSED:
FLOOR AREA RATIO: (NET)	0.600 (309.88SM) MAX. (334.5SM)	0.600 (309.63SM)
LOT COVERAGE:	BLDGS: 0.450	0.413 (213.22SM)
SETBACK-FRONT (NORTH)	6.000m	6.000m
SETBACK-REAR (SOUTH)	60% GF: 20% LOT DEPTH(10.06m) REST: MAX.10.7m	10.243m REST: 10.834m
SETBACK-SIDE (WEST)	1.200m	1.562m
SETBACK-SIDE (EAST)	1.200m	1.200m
HEIGHT: (m)	9.000m	8.810m
LOT SIZE:		
OFF-STREET PARKING RESIDENTIAL/COMMERCIAL:	4 AND 1	4 (2 + 2 SMALL) 1 (SHARED)
OFF-STREET PARKING ACCESSIBLE:	N/A	0
OFF-STREET PARKING TOTAL	5	5
TANDEM PARKING SPACES:	NONE	NONE

LOT C

	EXISTING	PROPOSED:
SITE AREA:	1012.80SM & 994.42SM	486.46SM
LAND USES:	SINGLE-FAMILY DWELLING	DUPLEXES
OCP DESIGNATION:	RESIDENTIAL	NO CHANGE
ZONING:	RS1/E	RDA ARTERIAL ROAD DUPLEX (TBD)
NUMBER OF UNITS:	1 & 1	4
	ALLOWED/REQUIREMENTS:	PROPOSED:
FLOOR AREA RATIO: (NET)	0.600 (291.88SM) MAX. (334.5SM)	0.600 (291.74SM)
LOT COVERAGE:	BLDGS: 0.450	0.406 (197.33SM)
SETBACK-FRONT (NORTH)	6.000m	6.048m
SETBACK-REAR (SOUTH)	60% GF: 20% LOT DEPTH(9.448m) REST: MAX.10.7m	9.483m REST: 10.724m
SETBACK-SIDE (WEST)	1.200m	1.200m
SETBACK-SIDE (EAST)	1.200m	1.562m
HEIGHT: (m)	9.000m	8.810m
LOT SIZE:		
OFF-STREET PARKING RESIDENTIAL/COMMERCIAL:	4 AND 1	4 (2 + 2 SMALL) 1 (SHARED)
OFF-STREET PARKING ACCESSIBLE:	N/A	1
OFF-STREET PARKING TOTAL	5	5
TANDEM PARKING SPACES:	NONE	NONE

LOT D

	EXISTING	PROPOSED:
SITE AREA:	1012.80SM & 994.42SM	486.44SM
LAND USES:	SINGLE-FAMILY DWELLING	DUPLEXES
OCP DESIGNATION:	RESIDENTIAL	NO CHANGE
ZONING:	RS1/E	RDA ARTERIAL ROAD DUPLEX (TBD)
NUMBER OF UNITS:	1 & 1	4
	ALLOWED/REQUIREMENTS:	PROPOSED:
FLOOR AREA RATIO: (NET)	0.600 (291.86SM) MAX. (334.5SM)	0.600 (291.72SM)
LOT COVERAGE:	BLDGS: 0.450	0.406 (197.33SM)
SETBACK-FRONT (NORTH)	6.000m	6.000m
SETBACK-REAR (SOUTH)	60% GF: 20% LOT DEPTH(9.448m) REST: MAX.10.7m	9.535m REST: 10.732m
SETBACK-SIDE (WEST)	1.200m	1.562m
SETBACK-SIDE (EAST)	1.200m	1.200m
HEIGHT: (m)	9.000m	8.810m
LOT SIZE:		
OFF-STREET PARKING RESIDENTIAL/COMMERCIAL:	4 AND 1	4 (2 + 2 SMALL) 1 (SHARED)
OFF-STREET PARKING ACCESSIBLE:	N/A	1
OFF-STREET PARKING TOTAL	5	5
TANDEM PARKING SPACES:	NONE	NONE



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No Date Revision

No Date Revision

Consultants

June 23, 2025
DP 24-049965
Plan # 1

Project Title

ARTERIAL ROAD DUPLEX
DEVELOPMENT
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.
RZ 23-028712

Sheet Title

PROJECT DATA

Drawn:

HC

Checked:

MC

Scale:

1/8" = 1'-0"

Project Number:

Revision Date:

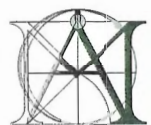
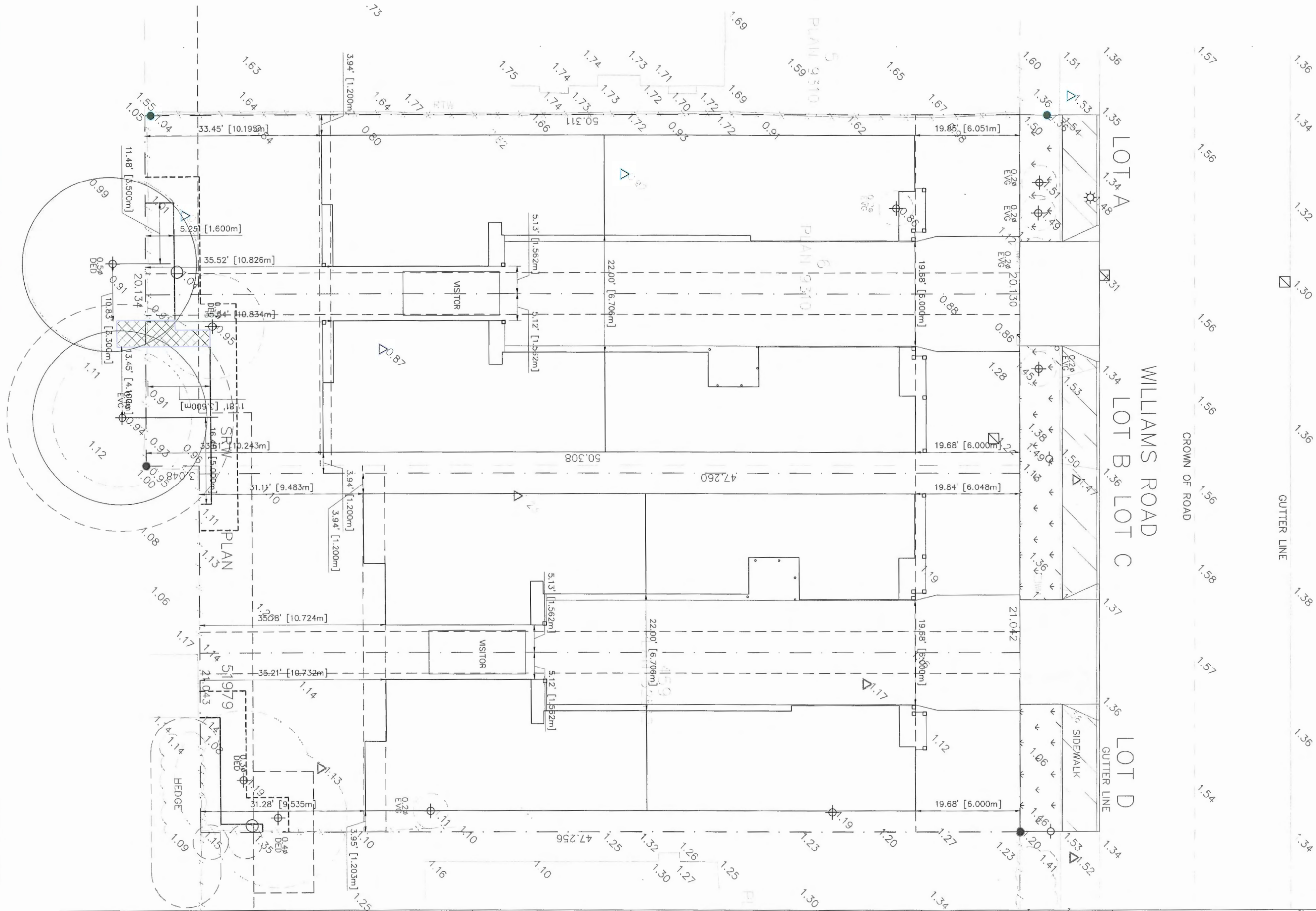
JUN. 13, 2025

Print Date:

JUN. 13, 2025

Dwg. No.

D00a



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No Date Revision

No Date Revision

Consultants

June 23, 2025
DP 24-049965
Plan # 2

Project Title
**ARTERIAL ROAD DUPLEX
DEVELOPMENT**
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.
RZ 23-028712

Sheet Title
SITE PLAN

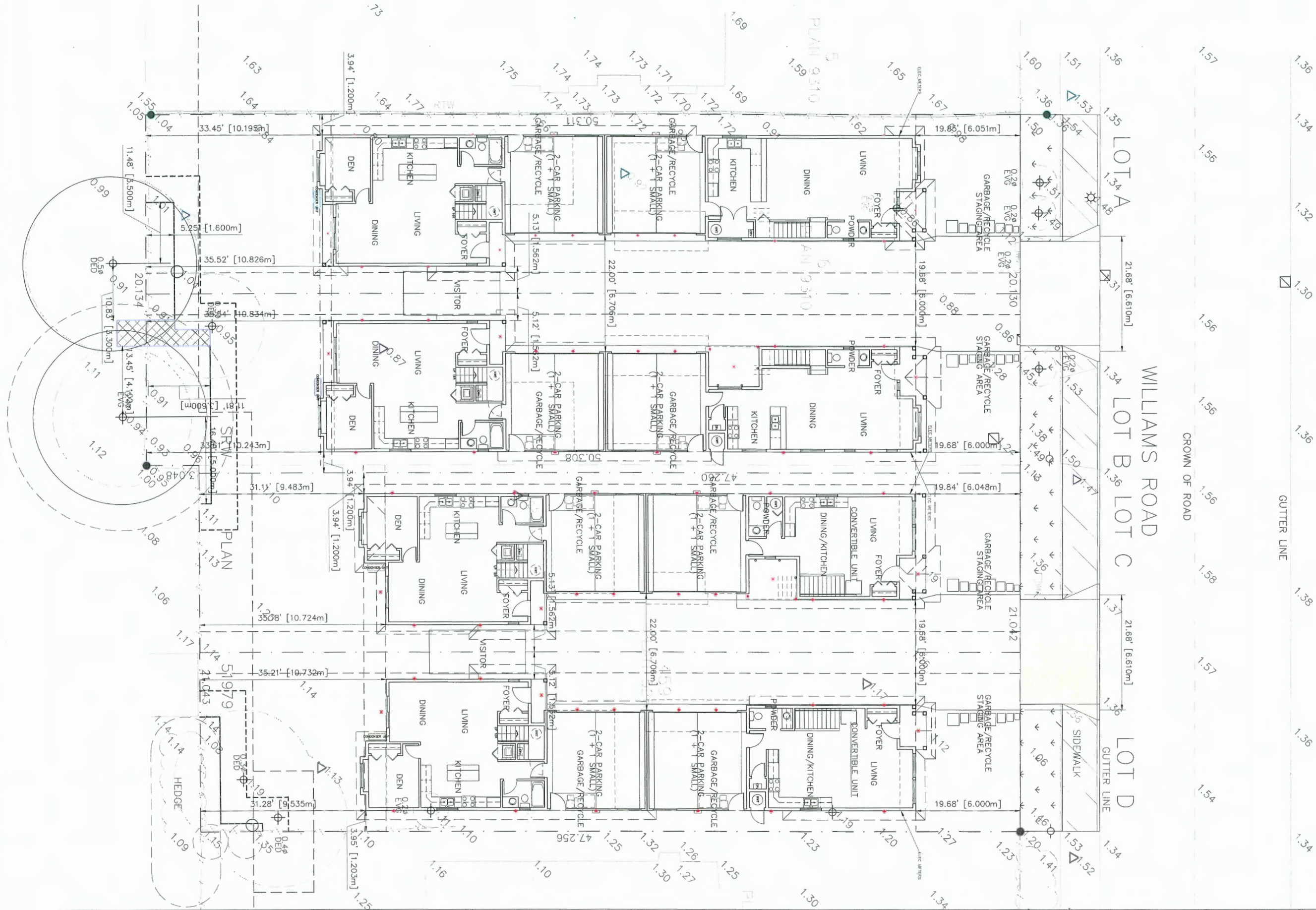
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HC
Checked:
MC
Scale:
1/8" = 1'-0"
Project Number:

Revision Date:
JUN. 13, 2025

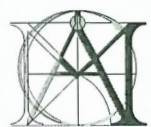
Print Date:
JUN. 13, 2025

Dwg. No.

D01



LEGEND:
 * WALL MOUNTED LIGHTING
 * IN SOFFIT LIGHTING
 * ON BOLLARD LIGHTING
 * ELECTRICAL PANEL
 * CONCRETE BOLLARD



**MATTHEW CHENG
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No Date Revision

No Date Revision

Consultants

**June 23, 2025
DP 24-049965
Plan # 3**

Project Title
**ARTERIAL ROAD DUPLEX
DEVELOPMENT
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.
RZ 23-028712**

Sheet Title

**CONCEPTUAL LIGHTING
PLAN**

Drawn:
HC
Checked:
MC
Scale:
1/8" = 1'-0"
Project Number:

Revision Date:
JUN. 13, 2025
Print Date:
JUN. 13, 2025
Dwg. No.
D02

NOTES:

ALL UNITS TO INCLUDE THE FOLLOWING AGING-IN-PLACE FEATURES:
-LEVER STYLE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES;
-BLOCKING INSTALLED IN WASHROOM WALLS FOR FUTURE GRAB BARS INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER AND
-STAIR HANDRAILS

EACH RESIDENT PARKING SPACE (EXCLUDING VISITOR PARKING) TO BE SUPPLIED WITH ENERGIZED 240-280V OUTLETS IN ORDER TO SUPPORT EV CHARGING WITH EACH PARKING SPACE CAPABLE OF RECEIVING "LEVEL 2" CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12KWH WITHIN AN 8-HOUR PERIOD.

-ALL UNITS TO BE VISIBLE AND IN CONTRASTING COLORS
-SITE ADDRESS TO VISIBLE FROM STREET APPROACH AND IN CONTRASTING COLORS
-BUILDINGS A, B & G TO HAVE UNIT NUMBERS ON BOTH EAST AND WEST FACES

CONVERTIBLE UNIT GUIDELINES:

DOORS & DOORWAYS
-ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
-ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
-INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
-PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
-LEVER-TYPE HANDLES FOR ALL DOORS.

VERTICAL CIRCULATION
-STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
-AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.

HALLWAYS
-MIN. 900 MM WIDTH.

GARAGE
-MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
-ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.

BATHROOM (MIN. 1)
-TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
-WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
-LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
-PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
-CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).

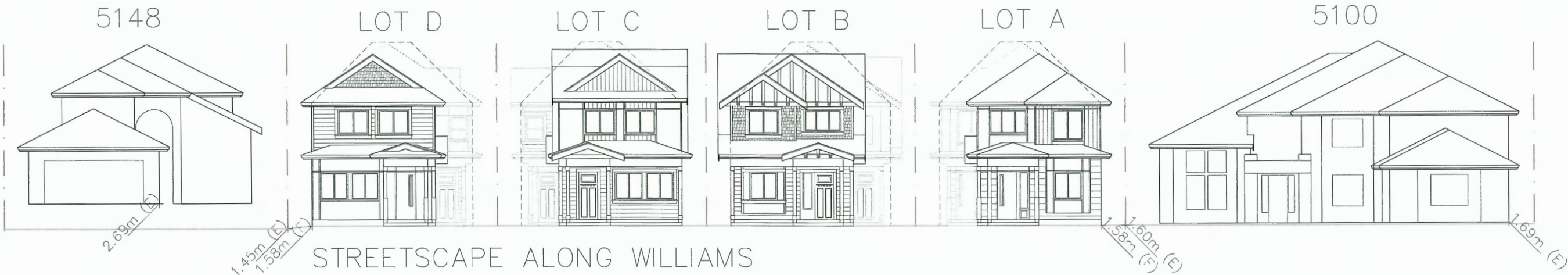
KITCHEN
-CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
-CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
-1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
-LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

WINDOWS
-MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

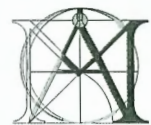
OUTLETS & SWITCHES
-PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. -UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



REAR YARD ELEVATIONS



STREETSCAPE ALONG WILLIAMS



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No Date Revision

No Date Revision

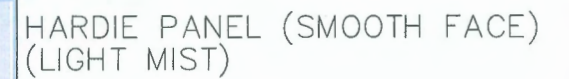
Consultants

**June 23, 2025
DP 24-049965
Plan # 6**

Project Title
**ARTERIAL ROAD DUPLEX
DEVELOPMENT
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.**
RZ 23-028712

Sheet Title
STREETSCAPES

Drawn: HC	Revision Date: JUN. 13, 2025
Checked: MC	Print Date: JUN. 13, 2025
Scale: 1/8" = 1'-0"	Dwg. No. D04
Project Number:	



GARAGE WALLS/BALCONIES



LOT D

LOT C

LOT B

LOT A

4" WOOD TRIM
(CONTRASTING TO CLADDING)

2" REVEAL
(SAME AS PANEL)

MATERIAL BOARD



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No	Date	Revision
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No	Date	Revision
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Consultants

June 23, 2025
DP 24-049965
Plan # 7

Project Title	ARTERIAL ROAD DUPLEX DEVELOPMENT 5120-5140 WILLIAMS ROAD RICHMOND, B.C.
Project Number	RZ 23-028712

Sheet Title
COLOUR BOARD

Drawn:	HC
Checked:	MC
Scale:	1/8" = 1'-0"
Project Number:	

Revision Date:
JUN. 13, 2025

Print Date:
JUN. 13. 2025

Dwg. No.

D04a

SEAL

5	24.OCT.11	QTY COMMENTS	YR
4	24.OCT.04	NEW SITE PLAN	RJ
3	24.JUL.11	NEW SITE PLAN	RJ
2	28.APR.16	QTY COMMENTS	RJ
1	23.AUG.29	GARBAGE STAGING AREA UPDATED	RJ
NO	DATE	REVISION DESCRIPTION	DR

CLIENT:

PROJECT:

8 UNIT DUPLEX DEVELOPMENT

5120/5140 WILLIAMS ROAD
RICHMOND

DRAWING TITLE:

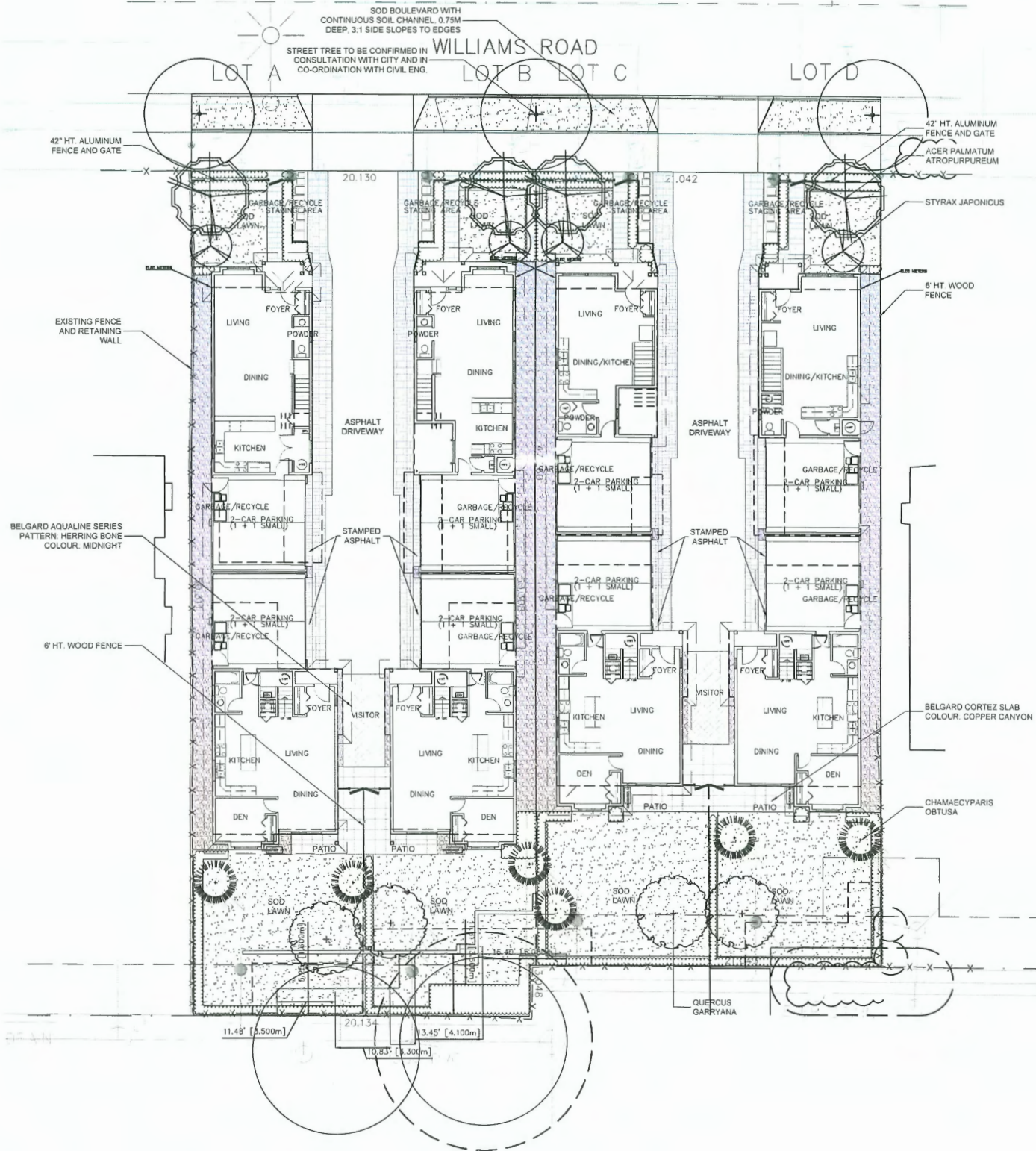
**LANDSCAPE
PLAN**

DATE	23.AUG.23	DRAWING NUMBER
SCALE	1:150	L1 OF 7
DRAWN:	RJ	
DESIGN:	RJ	
CHKD:	YR	

23125-4.2IP

PMG PROJECT NUMBER:

23-125



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	4	ACER PALMATUM ATROPURPUREUM	RED JAPANESE MAPLE	8CM CAL: 1.8M STD, B&B
	6	CHAMAECYPARIS OBTUSA	HINOKI FALSE CYPRESS	4M HT, B&B
	4	QUERCUS GARRYANA	GARRY OAK	8CM CAL: 1.8M STD, B&B
	4	STYRAX JAPONICUS	JAPANESE SNOWBELL	8CM CAL: B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. * CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW. MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM; INSTALLATION TO I.L.A.B.C STANDARDS, LATEST EDITION.

- * REQUIRED REPLACEMENT TREES: 16
- * PROVIDED REPLACEMENT TREES: 18



June 23, 2025
DP 24-049965
Plan # 8



SEAL:

PLANT SCHEDULE				PMG PROJECT NUMBER: 23-125
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(AB)	45	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	#2 POT; 30CM
(CB)	30	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
(MA)	2	MAHONIA NERVOSA	LONGLEAF MAHONIA	#2 POT; 40CM
(NR)	11	ROSA NUTKANA	NOOTKA ROSE	#2 POT; 40CM
(TX)	161	TAXUS X MEDIA 'HILLI'	HILLI YEW	1.5M B&B
GRASS				
(PA)	36	PENNISETUM ALOPECUROIDES 'HAEMELI'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
(HL)	4	HELLEBORUS x HYBRIDUS	LENTEN ROSE	15CM POT
(PS)	19	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM
(GA)	62	GAULTHERIA SHALLON	SALAL	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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NO	DATE	REVISION DESCRIPTION	DR
5	24.OCT.11	CITY COMMENTS	YR
4	24.OCT.04	NEW SITE PLAN	RJ
3	24.JUL.11	NEW SITE PLAN	RJ
2	24.APR.16	CITY COMMENTS	RJ
1	23.AUG.25	GARBAGE STAGING AREA UPDATED	RJ

CLIENT:

PROJECT:

8 UNIT DUPLEX DEVELOPMENT

5120/5140 WILLIAMS ROAD
RICHMOND

DRAWING TITLE

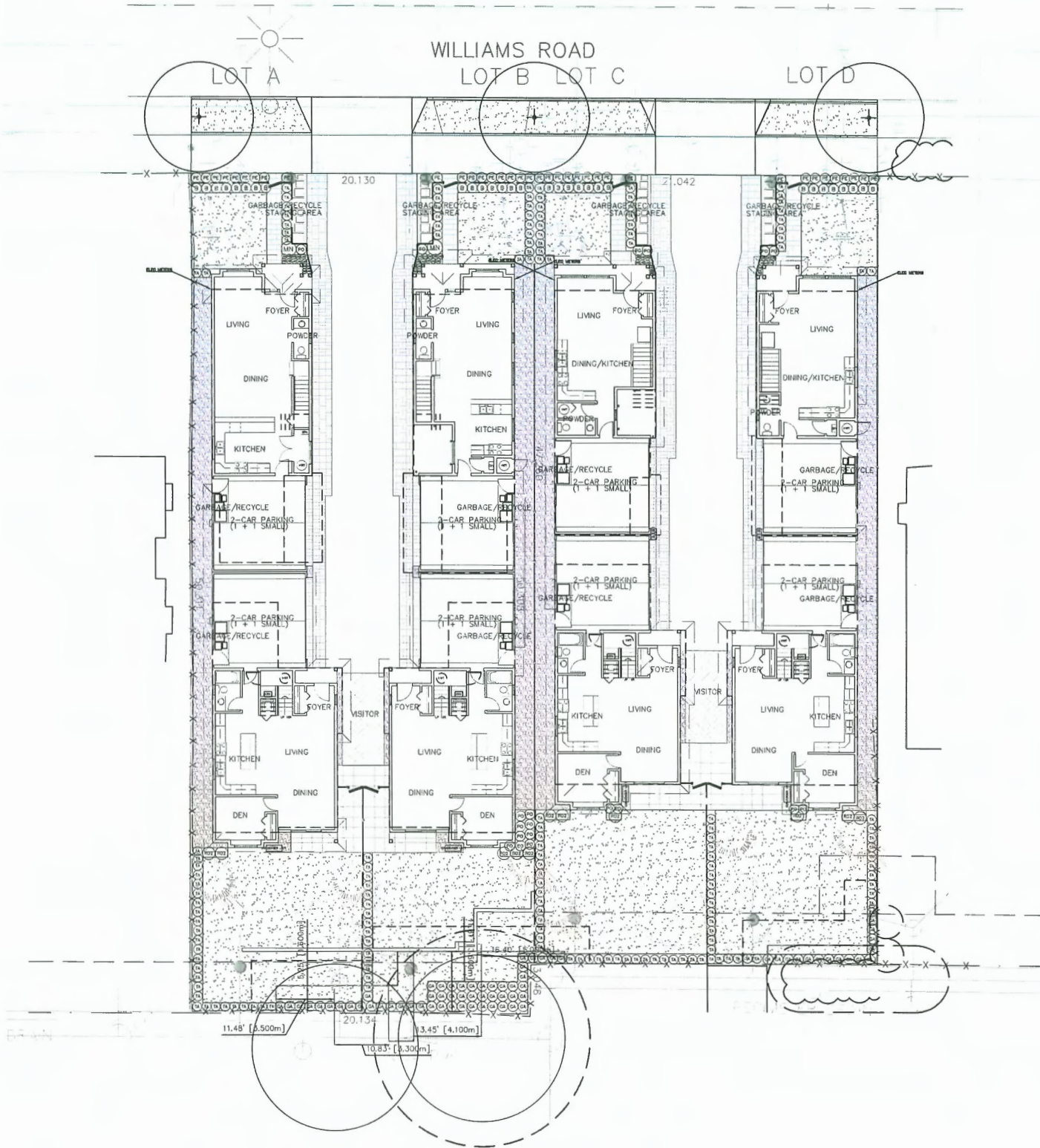
**SHRUB
PLAN**

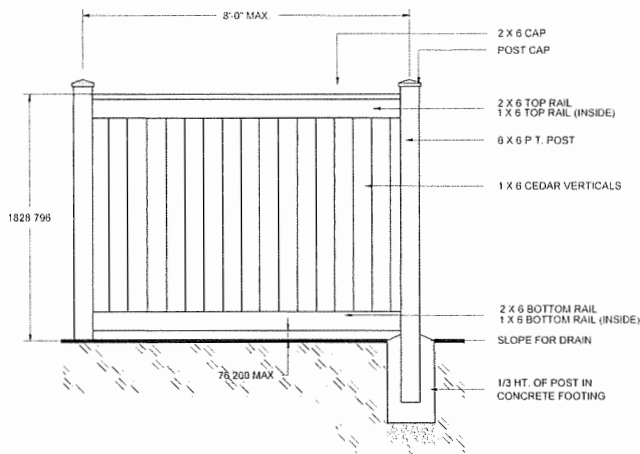
DATE: 23.AUG.23 DRAWING NUMBER:
SCALE: 1:150
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L2

OF 7

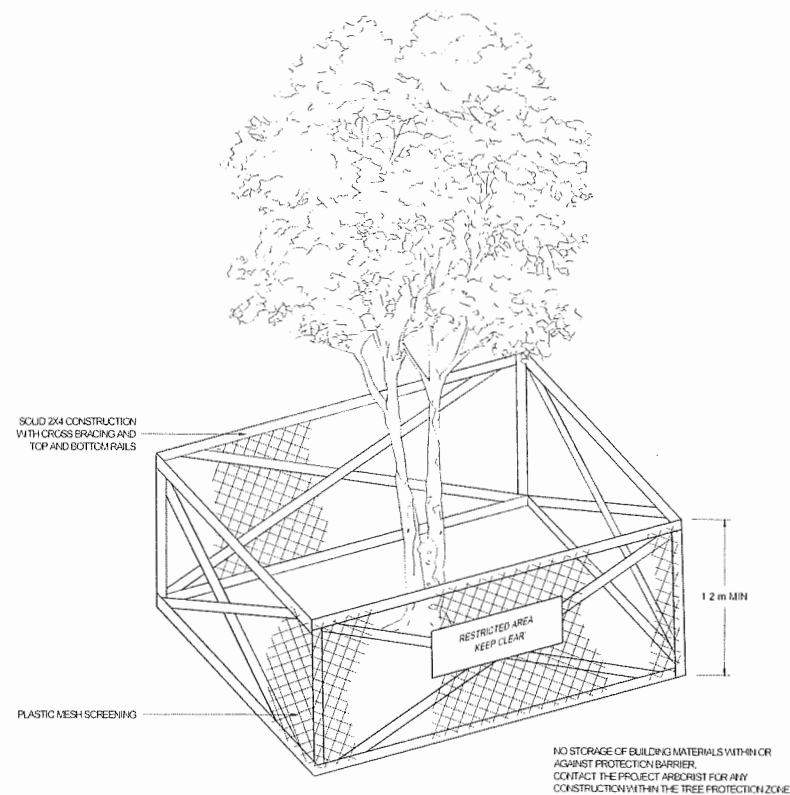
June 23, 2025
DP 24-049965
Plan # 9



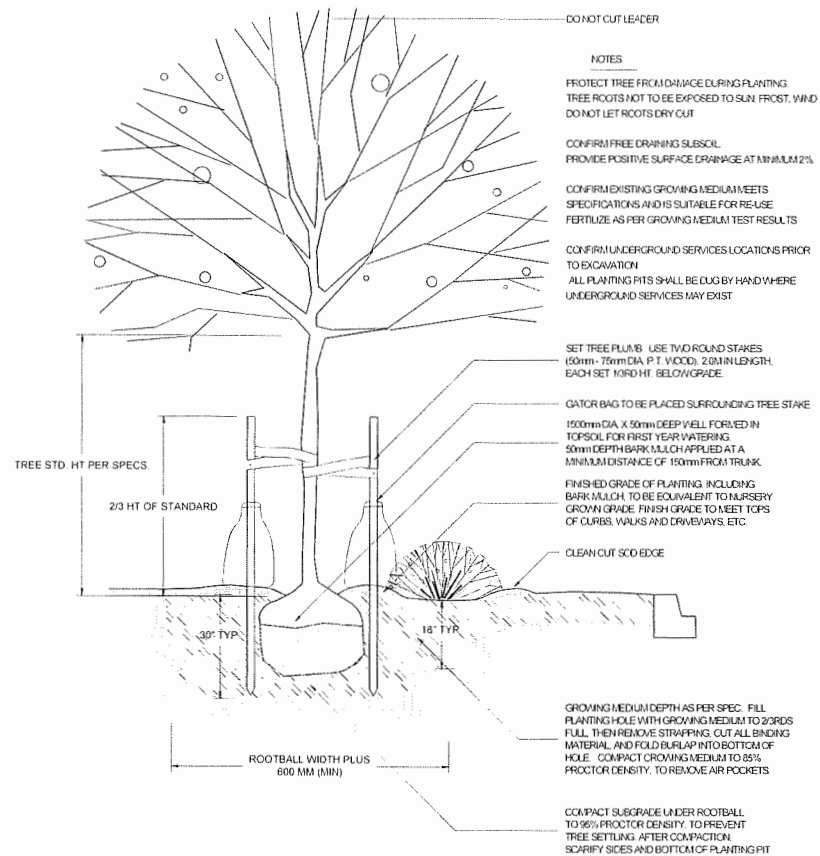


- NOTES
- ALL POST TO BE PRESSURE TREATED TO CSA STANDARDS. ALL OTHER MEMBERS TO BE MINIMUM #2 CONSTRUCTION GRADE UNLESS OTHERWISE SPECIFIED.
 - APPLY TWO COATS PRESERVATIVE TO ALL END CUTS.
 - ALL HARDWARE TO BE HOT DIPPED GALVANIZED.
 - APPLY TWO COATS OF STAIN ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND IN A COLOUR TO MATCH BUILDING AS APPROVED BY THE PROJECT ARCHITECT.

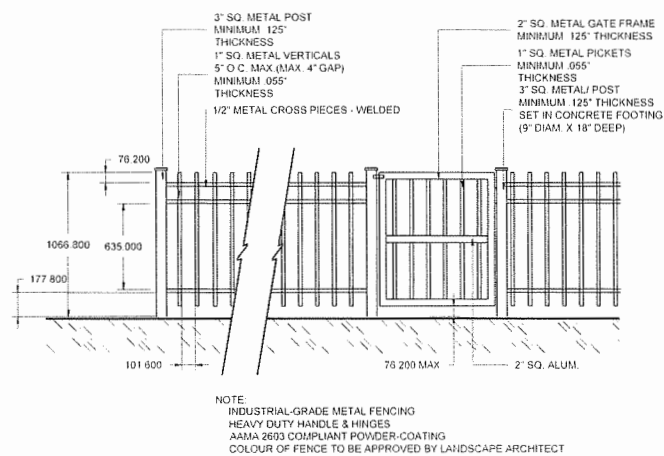
1 6' HT. WOOD FENCE
1/25



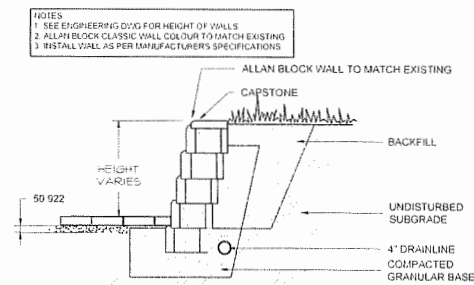
2 TREE PROTECTION FENCE
NTS



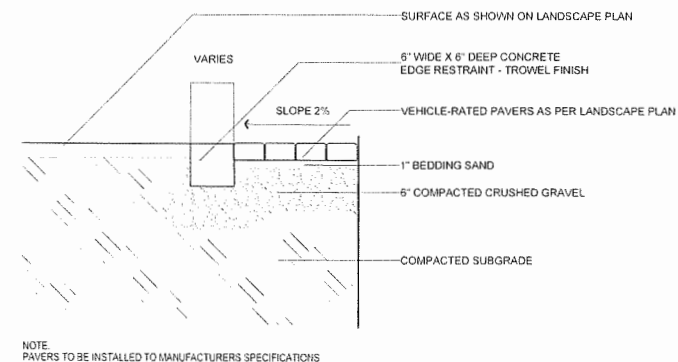
3 TREE AND SHRUB PLANTING AT GRADE
1/25



4 42\"/>



5 ALLAN BLOCK WALL
1/25



6 PAVER PARKING STALL
1/50

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pmg
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

5	24 OCT 11	CITY COMMENTS	YR
4	25 OCT 04	NEW SITE PLAN	RJ
3	24 JUL 11	NEW SITE PLAN	RJ
2	23 APR 16	CITY COMMENTS	RJ
1	23 AUG 29	GARAGE STAGING AREA UPDATED	RJ

CLIENT:

PROJECT

8 UNIT DUPLEX DEVELOPMENT

5120/5140 WILLIAMS ROAD
RICHMOND

DRAWING TITLE

LANDSCAPE
DETAIL

DATE:	23.AUG.23	DRAWING NUMBER:	
SCALE:	AS SHOWN		
DRAWN:	RJ		
DESIGN:	RJ		
CHK'D:	YR		

L7

OF 7

PMG PROJECT NUMBER

23-125

June 23, 2025
DP 24-049965
Plan # 10

23125-4.ZIP

SEAL:

FENCING LEGEND

	6' WOOD FENCE
	42" HT. ALUMINUM FENCE

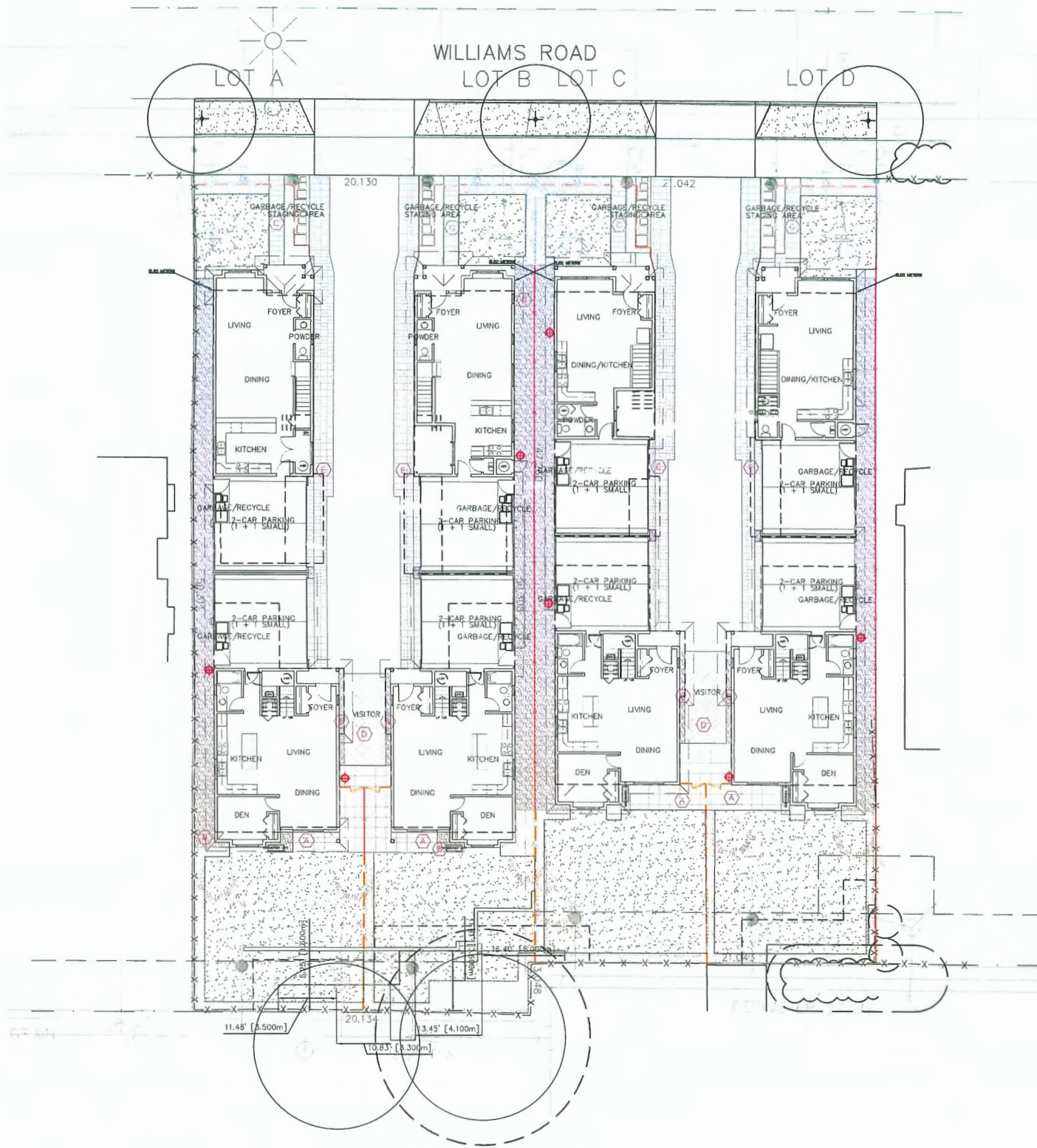
MATERIAL LEGEND

	BELGARD CORTEZ SLAB COLOUR: COPPER CANYON
	GRAVEL
	BELGARD AQUILINE SERIES PATTERN: RUNNING BOUND COLOUR: NATURAL
	BELGARD AQUILINE SERIES PATTERN: HERRINGBONE COLOUR: MIDNIGHT
	STAMPED ASPHALT

LIGHT LEGEND

	BOLLARD LIGHT: UGMAK 18" BOLLARD, MATT SILVER DARK SKY CERTIFIED
--	--

NOTE: LIGHTING SPEC LOCATION
PER ELECTRICAL DWG.



NO	DATE	REVISION DESCRIPTION	DR
5	24.OCT.11	CITY COMMENTS	YR
4	24.OCT.04	NEW SITE PLAN	RJ
3	24.JUL.11	NEW SITE PLAN	RJ
2	24.APR.16	CITY COMMENTS	RJ
1	23.AUG.23	GARBAGE STAGING AREA UPDATED	RJ

CLIENT:

PROJECT:

8 UNIT DUPLEX DEVELOPMENT

5120/5140 WILLIAMS ROAD
RICHMOND

DRAWING TITLE:

LANDSCAPE
MATERIAL

DATE:	23.AUG.23	DRAWING NUMBER
SCALE:	1:150	
DRAWN:	RJ	
DESIGN:	RJ	
CHK'D:	YR	

L3

OF 7

June 23, 2025
DP 24-049965
Plan # 11



SEAL:

5	24.OCT.11	CITY COMMENTS	YR
4	24.OCT.04	NEW SITE PLAN	RJ
3	24.JUL.11	NEW SITE PLAN	RJ
2	24.APR.16	CITY COMMENTS	RJ
1	23.AUG.23	GARBAGE STAGING AREA UPDATED	RJ

NO. DATE REVISION DESCRIPTION DR

CLIENT:

PROJECT

8 UNIT DUPLEX DEVELOPMENT

5120/5140 WILLIAMS ROAD
RICHMOND

DRAWING TITLE:

**LANDSCAPE
GRADING**

DATE: 23.AUG.23 DRAWING NUMBER:
SCALE: 1:150
DRAWN: RJ
DESIGN: RJ
CHK'D: YR

L6

OF 7

23125-4.ZIP

PMG PROJECT NUMBER

23-125



June 23, 2025
DP 24-049965
Plan # 12



REAR LOOKING NW



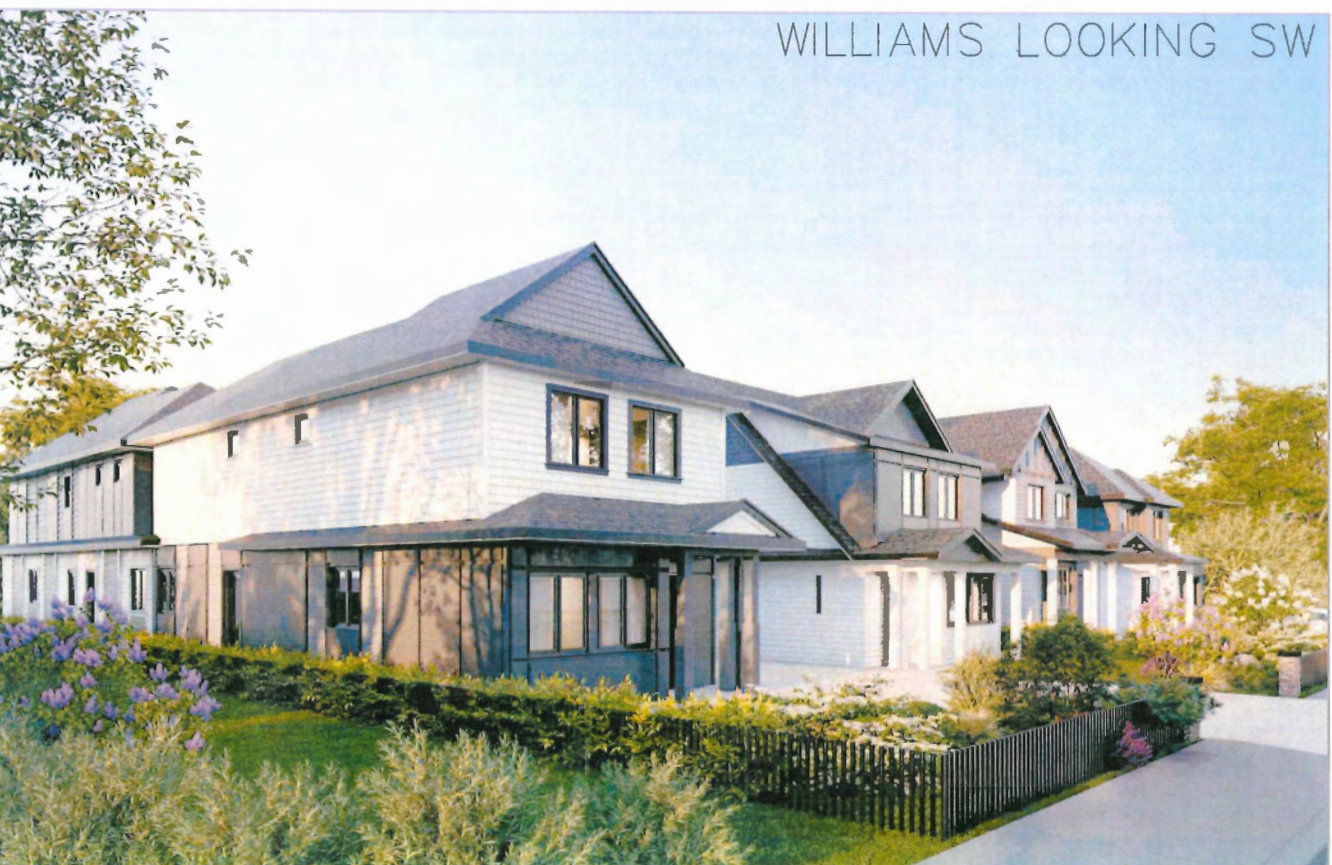
REAR LOOKING NE



WILLIAMS LOOKING SE



WILLIAMS LOOKING SW



MATTHEW CHENG
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No Date Revision

No Date Revision

Consultants

June 23, 2025
DP 24-049965
Reference Plan

Project Title
ARTERIAL ROAD DUPLEX
DEVELOPMENT
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.
RZ 23-028712

Sheet Title
RENDERINGS

Drawn:
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1/8" = 1'-0"
Project Number:

Revision Date:
JUN. 13, 2025

Print Date:

JUN. 13, 2025

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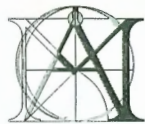
D06



LOTS C&D COURTYARD

STREETSCAPE ALONG WILLIAMS

LOTS A&B COURTYARD



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No Date Revision

No Date Revision

Consultants

**June 23, 2025
DP 24-049965
Reference Plan**

Project Title
**ARTERIAL ROAD DUPLEX
DEVELOPMENT**
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.
RZ 23-028712

Sheet Title
RENDERINGS

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1/8" = 1'-0"

Project Number:

Revision Date:

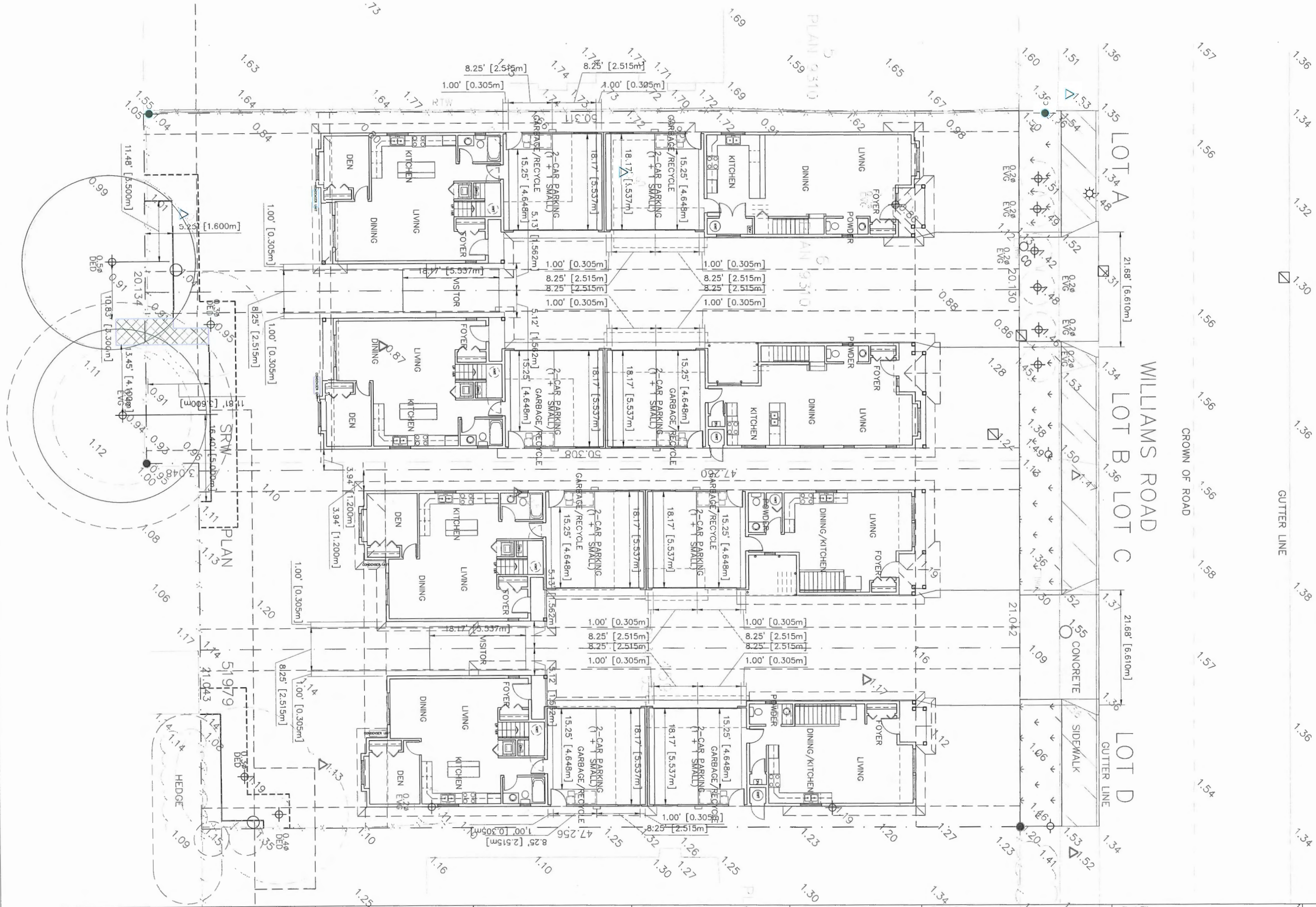
JUN. 13, 2025

Print Date:

JUN. 13, 2025

Dwg. No.

D06a



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No Date Revision

No Date Revision

Consultants

**June 23, 2025
DP 24-049965
Reference Plan**

Project Title

**ARTERIAL ROAD DUPLEX
DEVELOPMENT
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.**

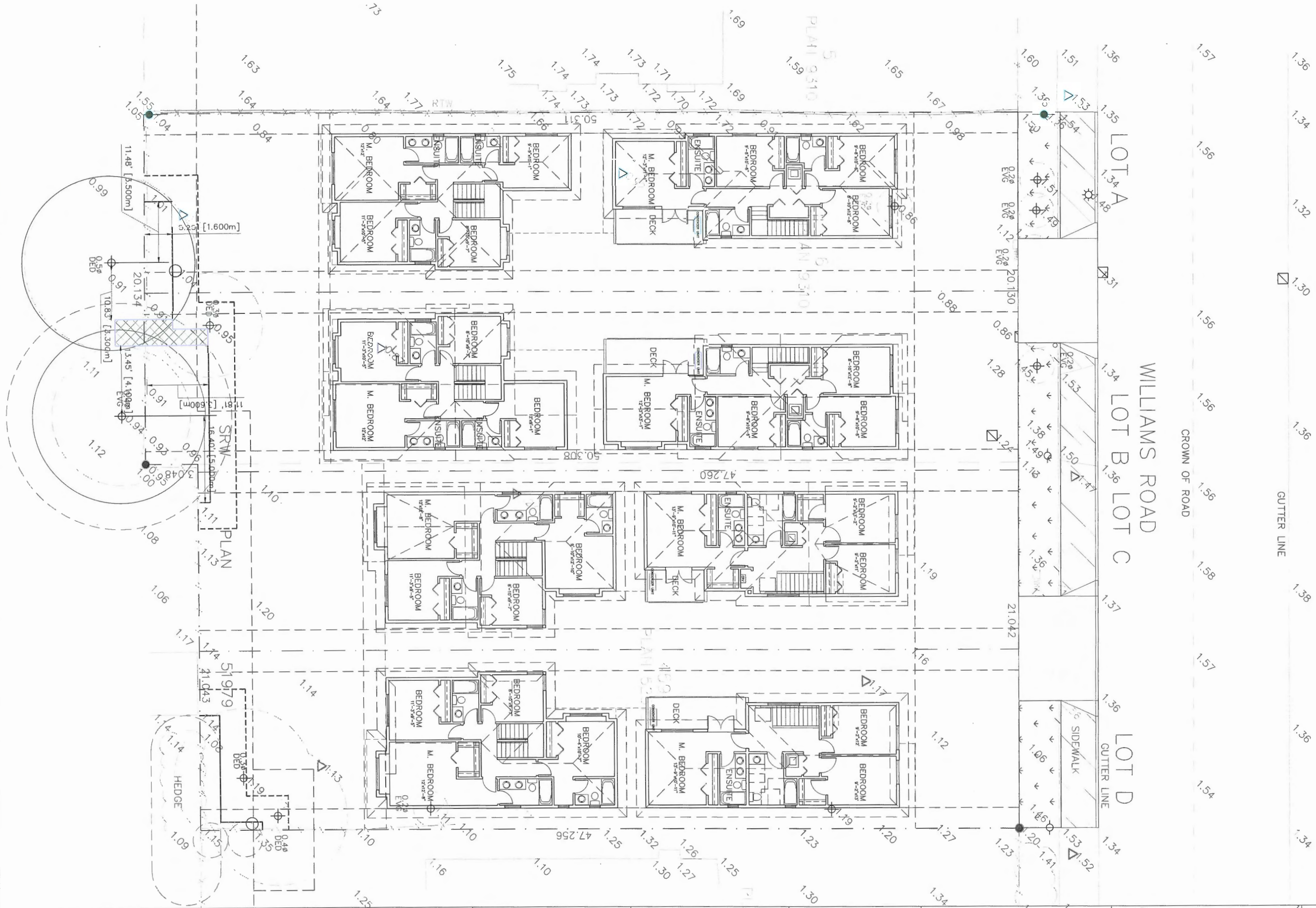
RZ 23-028712

Sheet Title

**GROUND FLOOR/
PARKING PLAN**

Drawn:
HC
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Scale:
1/8" = 1'-0"
Project Number:

Revision Date:
JUN. 13, 2025
Print Date:
JUN. 13, 2025
Dwg. No.
D01c



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No Date Revision

No Date Revision

Consultants

**June 23, 2025
DP 24-049965
Reference Plan**

Project Title
**ARTERIAL ROAD DUPLEX
DEVELOPMENT**
5120-5140 WILLIAMS ROAD
RICHMOND, B.C.
RZ 23-028712

Sheet Title
**SECOND FLOOR PLAN
SITE PLAN**

Drawn:
HC
Checked:
MC
Scale:
1/8" = 1'-0"
Project Number:

Revision Date:
JUN. 13, 2025
Print Date:
JUN. 13, 2025
Dwg. No.
D02a

CONVERTIBLE UNIT GUIDELINES:

DOORS & DOORWAYS

- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
- ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
- INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
- PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
- LEVER-TYPE HANDLES FOR ALL DOORS.

VERTICAL CIRCULATION

- STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
- AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.

HALLWAYS

- MIN. 900 MM WIDTH.

GARAGE

- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
- ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.

BATHROOM (MIN. 1)

- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
- WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
- PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
- CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).

KITCHEN

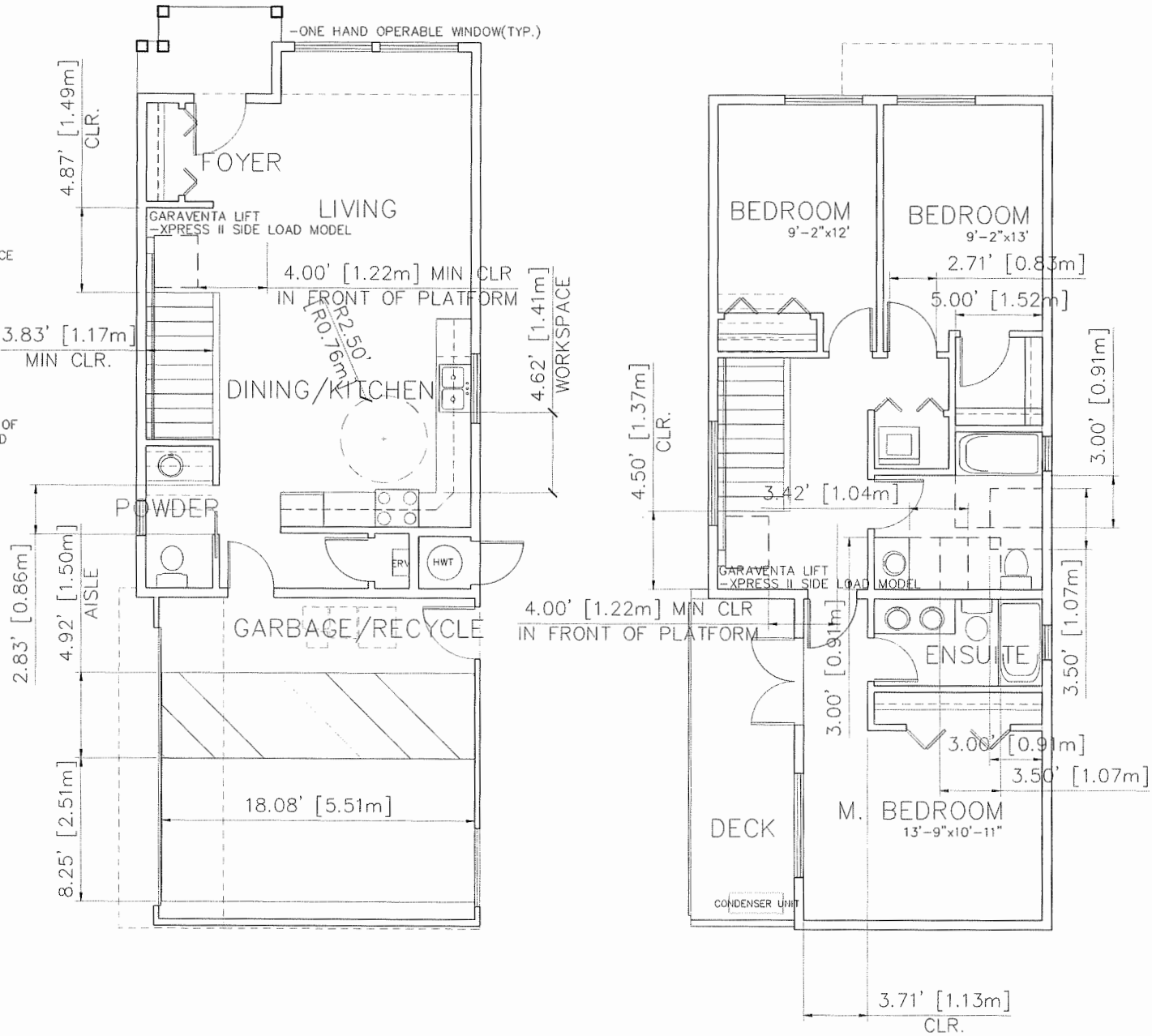
- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
- CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
- 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.


WINDOWS

- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, LIVING ROOM)

OUTLETS & SWITCHES

- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS, BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, CONTROL CENTRE FOR SMART HOME OPTIONS. -UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



 <div>MATTHEW CHENG ARCHITECT INC.</div> <div>Unit 202 - 670 EVANS AVENUE VANCOUVER, BC V6A 2K9 Tel: (604) 731-3012 Fax: (604) 731-3008 Cell: (604) 849-0609 Email: matthew.cheng@ca</div>	THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND ALL TIES REMAIN THE EXCLUSIVE PROPERTY OF MATTHEW CHENG ARCHITECT INC. AND MAY NOT BE REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.	No Date	Revision	No Date	Revision	Consultants	Project Title ARTERIAL ROAD DUPLEX DEVELOPMENT 5120-5140 WILLIAMS ROAD RICHMOND, B.C. RZ 23-028712	Sheet Title CONVERTIBLE UNIT PLAN	Drawn: HC	Revision Date: JUN. 13, 2025
									Checked: MC	Print Date: JUN. 13, 2025
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									Project Number:	



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: July 2, 2025

From: Joshua Reis
Director, Development

File: DV 25-015419

Re: Application by Stephen Easterbrook for a Development Variance Permit at 17720 River Road

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 3,875 m² to permit the construction of a poultry barn on a site zoned "Agriculture (AG1)".

Joshua Reis
Director of Development
(604-247-4625)

JR:jh
Att. 4

Staff Report

Origin

Stephen Easterbrook has applied to the City of Richmond on behalf of Easterbrook Milling Co. Ltd. for permission to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 3,875 m² to permit the construction of a 3,875 m² poultry barn at 17720 River Road on a site zoned "Agriculture (AG1)". Location and aerial maps of the subject property are provided in Attachment 1.

In 2018, Council adopted Bylaw 9861 to amend the "Agriculture (AG1)" zone to add regulations for agricultural buildings and structures, and greenhouses to restrict the construction of concrete slabs or other impermeable structures and surfaces sunk into, at or below the natural grade. As per the current AG1 zone, for agricultural buildings and structures with a concrete slab, an area up to 750 m² (8,073 ft²) is permitted to be concrete construction, hardsurfacing or other impermeable structure of construction.

At the time of Bylaw 9861 adoption, Council implemented a "fast track" application process for property owners proposing a larger area of concrete construction for agricultural buildings, in support of a farming operation. This includes a concurrent building permit (BP) and a "fast track" staff report process. The subject Development Variance Permit (DVP) proposal for a larger area of concrete construction is being proposed as a "fast track" application.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Across River Road, a property zoned "Agriculture (AG1)" and located in the Agricultural Land Reserve (ALR);

To the East: A property owned by the Port of Metro Vancouver, that is leased by Easterbrook Milling Co. Ltd. and part of the existing farm operation, which is zoned "Agriculture (AG1)" and located in the ALR;

To the South: Across a railyard, properties zoned "Agriculture (AG1)" and located in the ALR; and

To the West: A property zoned "Agriculture (AG1)" and located in the ALR.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject DVP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Agriculture (AG1)" zone except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 3,875 m², to permit the construction of a poultry barn at 17720 River Road, on a site zoned “Agriculture (AG1)”:

- *The purpose of the poultry barn is to support the existing farm operation (Rabbit River Farms), including egg production and the rearing of 14,000 organic egg layer hens.*
- *The subject property has farm status as per BC Assessment.*
- *In addition to egg production, a bi-product of the farm operation is organic chicken manure which is sold as a non-chemical natural fertilizer for gardens and other farming operations.*
- *The applicant has an existing 1,486 m² poultry barn located on the property to the East (17740 River Road), which currently houses 8,200 organic layer hens. The existing poultry barn is located on leased land with the lease terminating in 2027, and the applicant has no certainty of a lease extension. In addition, the existing barn and equipment are reaching the end of their useful life cycles.*
- *Egg production is controlled under the Federal “Supply Management System”. As the population increases, egg producers receive authority to increase flock size. The applicant’s current quota exceeds what can be produced in the existing poultry barn.*
- *The new poultry barn will include energy efficient heating systems, energy efficient cooling systems, improved insulation, and produce significantly less CO₂ emissions than the existing poultry barn.*
- *As a condition of the DVP, the applicant is required to register a legal agreement on Title to prohibit the use of the building for medical or non-medical cannabis production. The applicant has also submitted a Statutory Declaration confirming that all proposed uses comply with Zoning Bylaw 8500.*
- *The Food Security and Agricultural Advisory Committee (FSAAC) reviewed and supported the subject DVP application at its meeting held on June 12, 2025. An excerpt from the June 12, 2025 FSAAC meeting minutes is provided in Attachment 3.*

Other Applications Applicable to the Subject Property*Environmentally Sensitive Area Development Permit*

A Development Permit (DP) (DP 19-876647) was previously issued for the subject site to permit the construction of a single detached house on a site designated as an Environmentally Sensitive Area (ESA). As a condition of the DP, the applicant had entered into legal agreements that included ESA compensation works and the demolition of the existing residential single-family dwelling located on the north-west of the property. The new single-family house has been constructed but final occupancy has not been issued. Prior to final occupancy being granted for the single-family house, the applicant is required to complete the agreed to ESA compensation. The existing residential single-family dwelling is the subject of separate applications to the Agricultural Land Commission (ALC) and City (discussed below).

The existing ESA covenant on Title to the subject property, that was secured through the ESA DP application, prohibits BP issuance until the ESA works, as approved are completed. As the proposed Development Variance Permit facilitates the development of an agricultural building for farming purposes, and farm activities within the ALR are exempt from the City's ESA policies, this requirement does not apply to the proposed farm building.

Watercourse Crossing Permit

In 2023, the City approved a new watercourse crossing (Permit DX20-920917) for a 12m wide driveway access. The City permitted the works subject to the applicant removing the existing watercourse crossing and driveway located on the north-west frontage of the property. The new watercourse crossing has been constructed, but the existing watercourse at the north-west frontage has not been removed.

Non-Adhering Residential Use and Rezoning Application

The applicant has submitted an ALC Non-Adhering Residential Use (NARU) application (AG 25-016791), and a corresponding rezoning application (RZ 25-015421) to permit the retention of the existing single-family dwelling on-site (previously identified for demolition as part of the new single-family home which was constructed on the property) to be used for farm labour. The application is currently under review and will be presented to Committee and Council for consideration upon completion of the technical review, including consideration of the removal and or improvements and maintenance of the watercourse crossing at the north-west frontage of the property.

Analysis

The purpose of the subject DVP application is to allow the construction of a 3,875 m² (41,710 ft²) poultry barn, in support of the existing farming operation. The proposed facility will be used for the rearing of 14,000 organic layer hens for egg production. The proposed use is consistent with the "Agriculture (AG1)" zone and the ALR Regulations and the applicant has submitted a Statutory Declaration ensuring that all proposed uses comply with the Zoning Bylaw. As a condition of the DVP, the applicant is required to register a legal agreement on Title to prohibit the building's use for medical or non-medical cannabis production.

The proposed farm building and its use does not interfere with or prohibit the ESA compensation secured as part of the prior application for the single-family building.

The applicant proposes the use of slab on grade and suspended concrete slab construction as well as the use of screw piling. This method will require fill, raising the site grade around the building by approximately 0.8 m. The applicant had applied for a Soil and Fill Notice of Intent to the ALC and received approval for fill deposition in support of the poultry barn, driveway and surrounding free range pasture area. A drainage plan will be submitted as part of the City application to deposit soil on site, and an Erosion and Sediment Control Plan will be required prior to Building Permit issuance.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Variance Permit be endorsed, and issuance by Council be recommended.

The list of Development Variance Permit Considerations is included in Attachment 4, which has been agreed to by the applicant (signed concurrence on file).



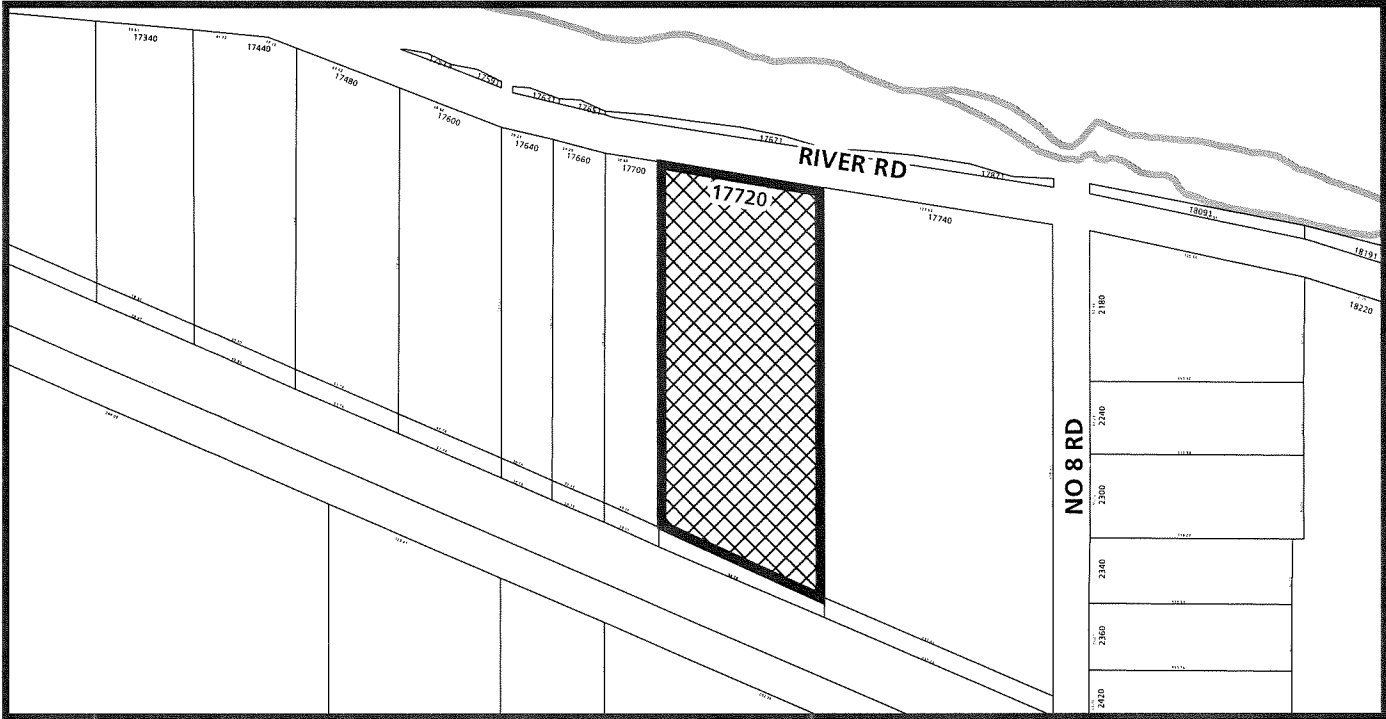
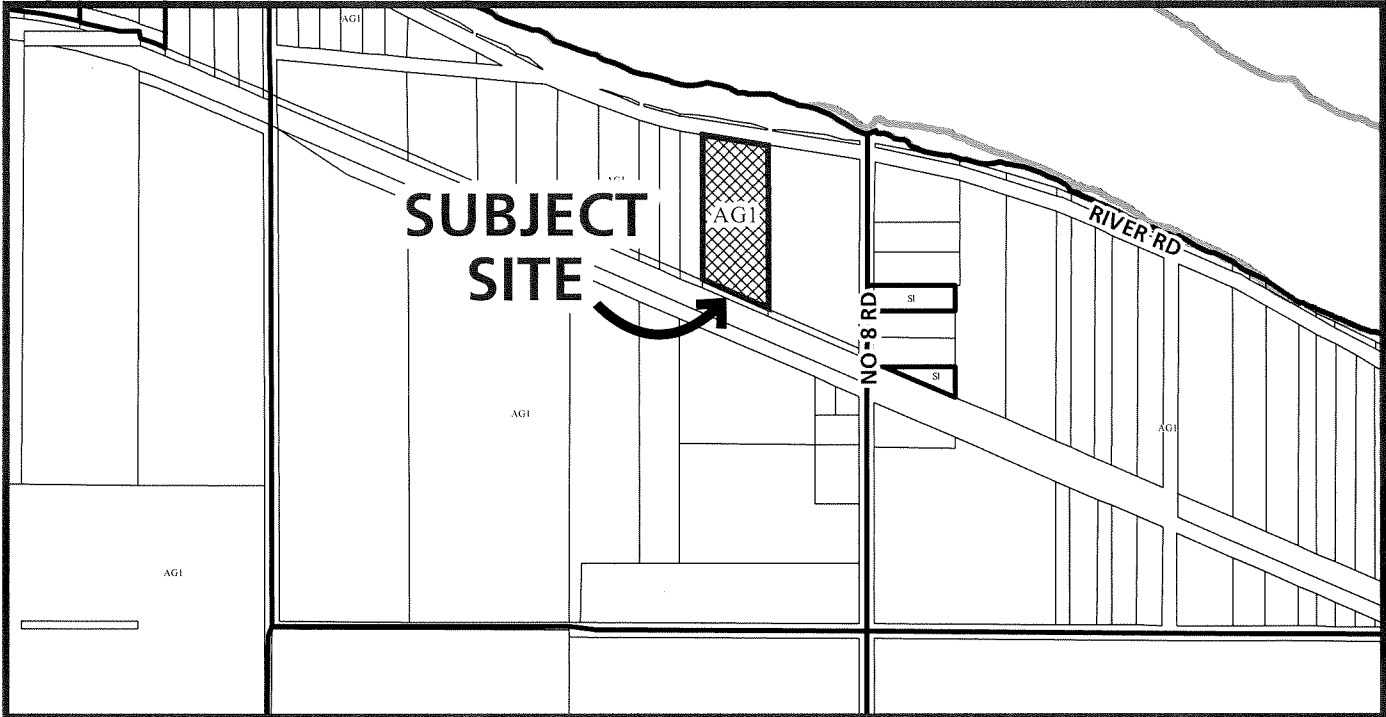
James Hnatowich
Planner I
(604-247-4911)

JH:cas

- Att. 1: Location Map
2: Development Application Data Sheet
3: Excerpt from the June 12, 2025 FSAAC Meeting Minutes
4: Development Variance Permit Considerations



City of
Richmond



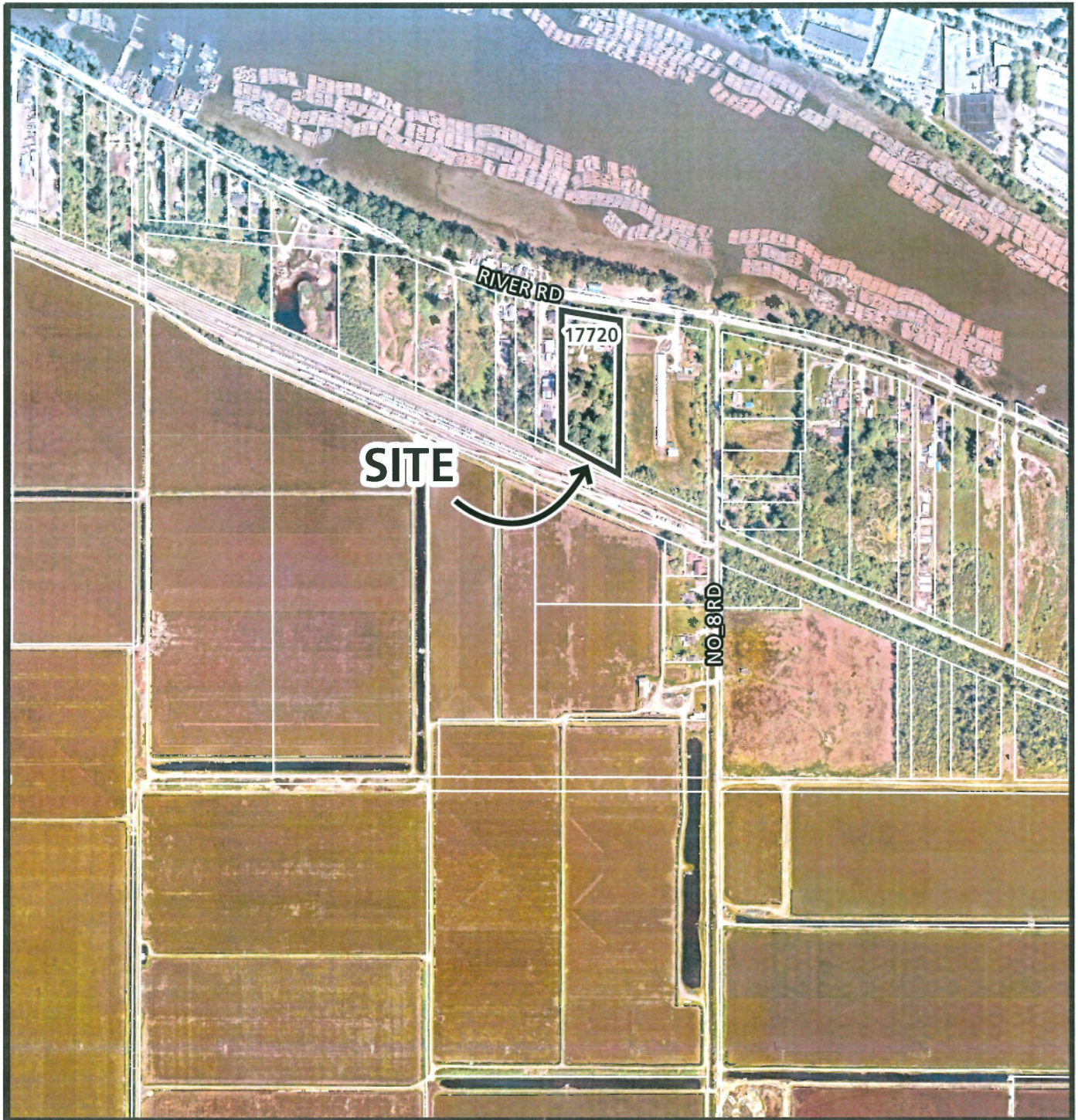
DV 25-015419

Original Date: 05/27/25
Revision Date:

Note: Dimensions are in METRES



City of
Richmond



DV 25-015419

Original Date: 06/05/25
Revision Date:

Note: Dimensions are in METRES



**City of
Richmond**

Development Application Data Sheet
Development Applications Division

DV 015419

Attachment 1

Address: 17720 River Road

Applicant: Stephen Easterbrook

Owner: Easterbrook Milling Co. Ltd.

Planning Area(s): East Richmond

	Existing	Proposed
Site Area:	1.92 ha (4.75 acres)	No Change
Land Uses:	Agriculture	No Change
OCP Designation:	Agriculture (AGR)	No Change
Zoning:	Agriculture (AG1)	No Change

	Bylaw Requirement	Proposed	Variance
Lot Coverage:	Max. 35%	Complies	None
Lot Coverage- Agricultural Building Concrete Construction:	Max. 750 m ²	3,875 m ²	Variance Requested
Setback – Front Yard:	Min. 7.5 m	98.15 m	None
Setback – Side Yard:	Min. 4.5 m	32.05 m	None
Setback – Rear Yard:	Min. 4.5 m	17.40 m	None
Height (m):	Max. 35.0 m	8.83 m	None



Food Security and Agricultural Advisory Committee (FSAAC)

Held Thursday, June 12, 2025 (7:00 pm)
Microsoft Teams

Development Variance Permit (17720 River Road DV25-015419)

James Hnatowich, Policy Planning, introduced the proposal and provided the following comments:

- In 2018, the City of Richmond Council adopted a Bylaw to add regulations for cumulative lot coverage of impermeable surfaces in agricultural buildings in excess of 750 m².
- A property owner may apply to build an agricultural building with impermeable surfacing in excess of 750 m², through a Development Variance Permit application.
- A “fast track” review process is applicable to these applications, given the applicant has provided farm status, which the applicant has provided.
- This application is for a poultry barn with impermeable surfaces in excess of 750 m².

Stephen Easterbrook, of Easterbrook Milling Company Ltd., representing the brand Rabbit River Farms provided a presentation on the application identifying:

- This application is for a new state of the art poultry barn which will be used for the rearing of up to 14,000 organic egg layer hens;
- The existing poultry barn is located on land leased by the Port of Metro Vancouver, and there is no certainty of a lease extension;
 - In addition, the existing poultry barn is reaching the end of its useful life-cycle;
- The applicants current quota exceeds what can be produced on site. The new barn will allow the applicant reach quota and future demand.
 - Any additional space can be utilized for the hens, who’s quality of life would be improved with additional space.
- The new barn will include energy efficient heating and cooling systems, improved insulation, a reduction in gas consumption, and significantly less CO₂ emissions.
- The application offer numerous benefits to the community, including improved food safety & security, local food availability, organic fertilizer, education opportunities and employment.

In response to questions from the Committee, the applicant team provided the following additional comments:

- If the applicants lease is extended on the property of the existing barn, the existing barn will be used for the rearing of hens, or converted for strawberry production;
- Applicant is utilizing best practices to separate hens from wild birds who may contain Avian influenza;
- The barn has been designed for 2% growth per year, forecasted until the applicant intends to fully step away from the business (but will continue operation within the family);

In response to questions from the Committee, Policy Planning staff provided the following comments:

- As this is for farming purposes, there is the “Right to Farm” which does not require Environmentally Sensitive Area (ESA) compensation for development within the ESA.

FSAAC provided the following comments on the proposal:

- FSAAC supports the City to continue to work on mechanisms that can expedite development applications for legitimate farmers.

In response to questions from the committee, staff provided the following comments:

- The fast track process was established in response to the time sensitive nature of agricultural applications. Staff are working with the applicant to complete the necessary reviews and approvals in a timely manner and are processing the application concurrently with the Building Permit application. The subject application is tentatively scheduled for Development Permit Panel on July 16th, 2025, which is ahead of the fast track process’s 2-month target time frame.

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee endorse the Development Variance Permit application at 17720 River Road.

Carried Unanimously



**City of
Richmond**

Development Variance Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 17720 River Road

File No.: DV25-015419

Prior to approval of the Development Variance Permit, the applicant is required to complete the following:

1. Registration of a restrictive covenant on Title to prohibit the use of the buildings on site for medical or non-medical cannabis production.
2. Payment of all fees in full for the cost associated with the Development Permit Panel Notices.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
3. At the developers cost, via City Work Order, design and construct/ install utility and frontage improvements, works in, but may not be limited to the following:

a) Water Works:

- (1) Using the OCP Model, there is 389.0 L/s of water available at a 20 psi residual at the River Road frontage. Based on your proposed development, your site requires a minimum fire flow of 250 L/s.
- (2) At Developer's cost, the Developer is required to:
 - (a) Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - (b) Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use.
 - (c) Provide a right-of-way for the water meter. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2n-SD) + 0.5 m on all sides. Exact right-of-way dimensions are to be finalized during the building permit process.
- (3) At Developer's cost, the City will:
 - (a) Retain the existing 50mm water service connection including water meter and water meter box at River Road frontage.

b) Storm Sewer Works:

- (1) At Developer's cost, the Developer is required to:
 - (a) Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the building permit process.

Initial: _____

- (b) Confirm the capacity and condition of the existing storm connection to open ditch. If the existing storm connection is adequate to be reused, it may be retained. If not, it shall be replaced.

c) Sanitary Sewer Works:

- (1) At Developer's cost, the Developer is required to:
 - (a) Install an on-site sewage disposal system. Design shall be signed and sealed by a Professional Engineer.

d) General Items:

- (1) At Developer's cost, the Developer is required to:
 - (a) Complete other frontage improvements as per Transportation requirements.
 - (b) Coordinate with BC Hydro, Telus and other private communication service providers:
 - Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - (c) Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development and proposed undergrounding works, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to design approval:
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
 - (d) Provide, prior to the start of site preparation works a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
 - (e) Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage groundwater onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of groundwater, the Developer will be required to enter into a de-watering agreement with the City wherein the developer will be required to treat the groundwater before discharging it to the City's storm sewer system.
 - (f) Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into rights-of-ways must be reviewed by the City's Engineering Department.
 - (g) Enter into, if required, additional legal agreements, as determined through the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Initial: _____

Note:

* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed _____

Date _____



City of Richmond

Development Variance Permit

No. DV25- 015419

To the Holder: Stephen Easterbrook

Property Address: 17720 River Road

Address: 17740 River Road

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 3,875 m².
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof (Plans 1 to Plan 4).
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

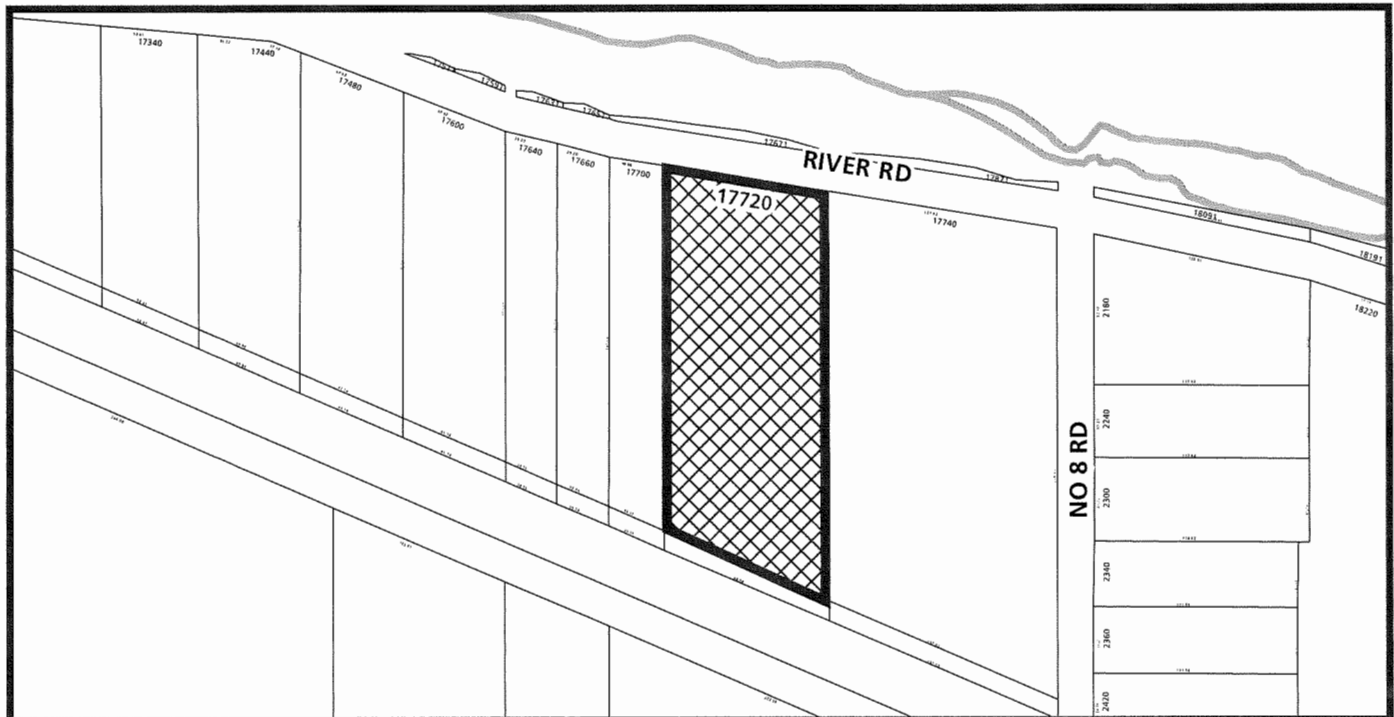
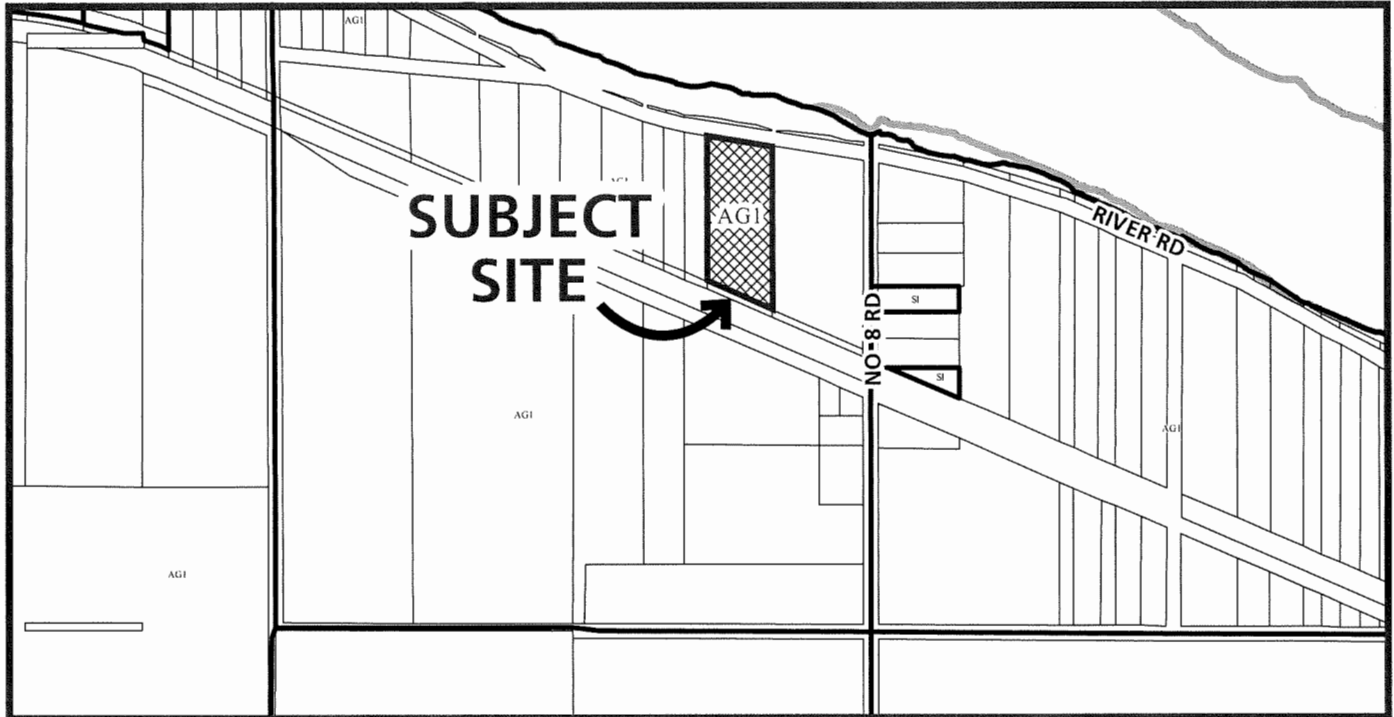
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of
Richmond



DV 25-015419
SCHEDULE "A"

Original Date: 05/27/25
Revision Date:

Note: Dimensions are in METRES

General

Read structural drawings in conjunction with all other consultants' drawings, contract documents and specifications.

Check and verify all dimensions, elevations, quantities, and conditions with architectural drawings before commencing with any work. Notify architect and engineer of any discrepancies or inconsistencies. Any discrepancies not reported become the responsibility of the contractor.

The latest edition of the standards and codes referenced in these notes and drawings shall apply.

All dimensions and notes to take precedence over scale shown on plans, sections, and details.

In the event of discrepancies in the specifications, drawings or contract documents, the more stringent requirement shall apply. Contact Quantum Engineering for clarification.

The contractor shall inform Quantum Engineering during the bidding period of any discrepancies or omissions noted on the drawings or in the specifications. The engineer will provide written clarification.

Notes and details specified on the plans and details take precedence over those in the general structural notes, except for minimum requirements.

For conditions not explicitly shown, contractor shall immediately request clarification from Quantum Engineering.

Review of any work or portion thereof by the Engineer, shall not in any way relieve the contractor of any responsibility and obligation to comply with the contract documents and specifications.

Structural information on these drawings do not include any design or detailing of any waterproofing systems.

Architectural and building envelope design, civil, electrical, geotechnical, and mechanical engineering requirements are not included on these drawings and are the responsibility of others.

Design Loads

This structure has been designed in accordance with Part 4 of the BC Building Code 2024, and the 1995 Canadian Farm Building Code.

The structure has been designed to the following loads:

Uniformly distributed loads (specified loads $1s, 1w, 1e = 1.0$):

Floor:	41.8psf (2.0kPa)	15psf (0.72kPa)
Roofs:	varies	15psf (0.72kPa)

Importance Category: Farm (Low)

Snow: $S_s = 1.5kPa$ (31.3psf), $S_r = 0.2kPa$ (4.2psf)
 $3\frac{1}{2} / 12$ Roof: $C_s = 0.85$, $C_e = 1.00$, $C_b = 0.8$
 $S(bal) = S(unbal) = 1.22 kPa$ (25.4psf)

Wind: $Q10 = 0.36kPa$
Net Specified uplift: 19.0psf (0.9kPa)

Seismic: N/A for agricultural structures.

Construction

Drawings show the completed structure only. The contractor is responsible for all temporary bracing for all building elements against construction loading conditions, for construction erection procedures, stability until the structure is complete, falsework, shoring, and underpinning of adjacent structures.

All construction to be in accordance with municipal by-laws and the British Columbia Building Code 2024, and WorkSafeBC regulations.

Contractors, suppliers, and subtrades are responsible for ensuring they are working with current drawings and for verification of this. All obsolete drawings should be discarded. Do not construct from these drawings unless marked "Issued for Construction".

The contractor is responsible for job site safety and conformance with WorkSafeBC regulations during construction.

All structural work and elements shall be protected during adverse weather.

Contractor to provide Quantum Engineering with a written submission of all proposed alternate products and systems and provide technical specifications if required for review and approval prior to construction.

The contractor shall immediately notify the engineer if site conditions differ from those anticipated or shown on the drawings for corrective or remedial work.

The contractor is responsible for all costs associated with the correction of deficiencies as directed by the Engineer.

FOUNDATIONS

Design of foundations, footings, slab on grade, & piles by Nexon Engineering (Project 25-0062)

Field Reviews

Quantum Engineering Ltd. provides field reviews only for the work shown on the structural drawings prepared by Quantum Engineering. These field reviews consist of a periodic review at the professional judgement of Quantum Engineering. The purpose is to ascertain that the work is in general conformance with the structural documents and drawings prepared by Quantum Engineering Ltd. and to facilitate completion of the Letters of Assurance required by the local Authority having Jurisdiction. These field reviews do not replace any required municipal inspections.

Field reviews are not carried out for the benefit of the contractor(s), nor does the field review make Quantum Engineering guarantor of the contractor(s) work. The contractor(s) is responsible for their own quality control and shall perform the work with good workmanship and in conformance with the contract documents.

The contractor shall provide minimum 24 hours notice to Quantum Engineering for field reviews of the following items:

- Wood framing - prior to concealment
- Structural steel - prior to concealment

Contractor is responsible for pre-inspecting the work and confirming completeness and conformity with the structural documents prior to field review by Quantum Engineering Ltd.

The work must be complete prior to field review and the contractor shall provide safe access for the engineer. Allow sufficient time for the field review and to execute any corrections.

Any work that is found to be incomplete, poorly executed, contains errors or omissions, unauthorized alterations, and requires additional field reviews and/or remedial design by the Engineer shall be at the expense of the contractor.

All works shall be accessible for review. Failure to provide required notification and accessibility may result in the Engineer requiring removal and replacement of the work at the contractor's expense.

The contractor shall notify the truss manufacturer to review the installation of all trusses and provide a sealed certificate for installation and manufacture prior to installation of any roofing.

Refer to materials sections for inspection requirements related to specific materials.

Secondary and Non-structural elements

Quantum Engineering Ltd is not responsible for the structural design of non-structural and secondary building elements and their connection to the primary structure. These elements include, but are not limited to:

- All glazed component systems including windows, storefronts, curtain walls, skylights, canopies, and guards.
- Attached and free standing sign structure.
- Roofing systems and wall cladding systems.
- Interior non-load bearing walls
- Ceiling systems
- Movable curtain/door systems
- Storage shelving and racking systems
- Guards, handrails, and guard systems
- Elevators, escalators, lifts and dock levelers

Secondary building components shall be designed to part 4 of the Building code for gravity and lateral loads, designed and inspected by the specialty Professional Engineer retained by the contractor. Specialty engineers to submit letters of assurance, sealed shop drawings, and perform appropriate field reviews.

Submit shop drawings to Quantum Engineering for review at least three weeks prior to fabrication. Shop drawings to indicate all design assumptions, loads, and loads imposed on building structure, and connection details.

Shop drawings must be signed and sealed by a BC registered Professional Engineer for structural design.

Shop Drawings

Refer to the prime consultants documents and drawings for items requiring shop drawings.

Submit no more than 4 hard copies of shop drawings and allow minimum of 10 working days for review by the Engineer.

Shop drawings shall clearly indicate the supplier's company, detailers' information, drawing date, material lists, member arrangement, dimensions, assembly information, applicable codes and standards, finish, etc.

The supplier, subcontractor and specialty engineer are responsible for dimensions, detailing, engineering design and field inspections of the installed components.

Hand sketched shop drawings will be rejected.

Shop drawings for structural components shall be signed and sealed by the supplier's specialty Professional Engineer.

The specialist engineer must be experienced with the associated component, registered in BC and in good standing with EGBC. Upon completion of the work in the field, the specialty engineer shall submit to the general contractor and engineer a signed and sealed letters of assurance certifying conformity of the work to the contract documents.

Printing costs for shop drawings sent to Quantum Engineering by email or fax will be charged to the respective subcontractor, contractor and/or project owner.

Wood Framing

Lumber grading to NLGA standard grading rules for Canadian lumber.

All framing details shall conform to BCBC 2024 sections 9.23 and 9.24.

Provide continuous cross bridging between floor joists at maximum 7'-0" on center.

All framing members to be S-P-F, Kiln Dried, No.1/No.2 unless noted otherwise.

D Fir-L shall not be used for studs, joists, beams, or rafters unless specifically noted.

All drop beams, lintels and flush beams to be minimum 2-2x10 KD SPF No.1/No.2 unless noted otherwise.

All built up beams and headers to be laminated together with 3 rows of 3 1/2" nails at 16" o/c per lamination. Cantilevered beams greater than 2-ply nail together with 3 rows of 3 1/2" nails at 8" o/c each ply.

All beam splices are to occur at supports, uno.

Where sheathing fastened to built up posts, fasten sheathing to each ply of the post with minimum 2 1/2" nails at 8" o/c and laminate each ply with 2 rows of 3" nails at 8" o/c

Laterally unsupported built up posts to shall be laminated as follows:

2 ply	2x4	3" nails at 8" o/c staggered.
	2x6/2x8	2 rows 3" nails at 8" o/c.
3ply	2x4	4 1/2" nails at 8" o/c staggered
	2x6/2x8	2 rows 4 1/2" nails at 8" o/c
4-ply	2x4	6" nails at 8" o/c staggered
	2x6/2x8	2 rows of 6" nails at 8" o/c.

Provide solid blocking @ 24" o/c at locations where bearing walls run parallel with the joist span.

All steel fasteners in contact with ACQ or CA pressure treated wood shall be either stainless steel or hot-dip galvanized in accordance with ASTM A653, G185 designations, or hot dip galvanized after manufacture in accordance with ASTM A123.

Structural Steel

Fabrication, erection, design & detailing shall be in accordance with CSA-S16. Welding shall be in accordance with CSA W47.1. General requirements and workmanship in accordance with CAN/CSA G40.20-13 / CAN/CSA G40.21-13 (R2018). Primer to CAN/CSG8-1.40-97 requirements.

All welding shall conform to CSA W59, W55.3, and W186. All welding shall be performed by fabricators fully certified by the Canadian Welding Bureau to the requirements of W47.1. All welders shall be CWB certified.

Submit clear copies of the shop and welders' certificates to the Engineer along with the shop drawings.

Supplier shall confirm all dimensions and site conditions prior to fabrication.

Submit shop drawings for steel fabrications to Quantum Engineering and the architect for review prior to fabrication. Show all pertinent details, material specifications on the shop drawings. All shop drawings to be sealed and signed by the fabricators Professional Engineer for the connection design.

The Professional Engineer sealing the shop drawings shall be responsible for inspections of the steel installation for conformance with their design and shop drawings. Upon completion the specialty engineer shall provide a Schedule S certifying substantial conformance to the Engineer of Record.

Materials

All structural steel	350W
Hollow Structural sections, HSS	350W, Class C
Plates, angles, channels	300W
Structural Pipe	ASTM A53 (240MPa)
Bars, Rods, sheets & misc metal	300W
Bolts, nuts and washers	ASTM A325
Anchor bolts	ASTM A307/F1554 (grade 36)
Welds	E-70xx (480MPa)

All edges and corners of connections shall be ground smooth

Apply minimum one coat of shop primer to all steel work. Use weldable primer where further welding is anticipated.

Cap all open ends of pipes, tubes and HSS sections with 4.8mm (3/16") thick steel plates with seal welds all around

Any steel subject to corrosion shall be hot dip galvanized. All hot dip galvanizing to be in accordance with CAN/CSA G164.

Refer to architectural, mechanical, and electrical drawings for roof top units and openings. Reinforce openings with welded L150x150x6 angles spanning to adjacent supports. Verify unit and opening sizes with shop drawings.

All beams to have minimum one 10mm (3/8") full height web stiffener on both sides centered about support/supported columns. Increase thickness of stiffeners for deeper beams to resist buckling and bending. Use double stiffeners where specified by the specialty engineer.

Provide a positive dead load camber to all simple span floor beams. Camber to be L/460, where L is the member length.

Grout under all baseplates with a non-shrink flowable, high-strength grout. Ensure full area is grouted.

Erection bracing during construction is the responsibility of the contractors.

Sheathing & Timber

All D Fir plywood shall conform with requirements in CAN/CSA O121 and OSB to CAN/CSA O437.

Location	Grade	Thickness(min)
Roof	D Fir/OSB	1/2" + H clip@12.7mm
Floor	D Fir/OSB	5/8" T&G/15.5mm
Walls	D Fir/OSB	3/8"/9.5mm

Orient floor and roof sheathing with face grain perpendicular to joists. Stagger panel joints.

Minimum nailing of sheathing (UNO): 2 1/2" nails at 6" o/c at sheet edges. 2 1/2" nails at 12" o/c at intermediate support members. Staples are not permitted.

All sawn timber exposed to the exterior or in contact with concrete to be given a preservative treatment approved by the designer.

All sawn timber to be graded by a certified member of the National Lumber Grading Association, in accordance with the Canadian Lumber Standards Accreditation Board.

Minimum rough sawn timber grades to be No.1 unless noted otherwise.

Engineered Wood Products & Glulam Beams

Engineered wood products to be manufactured to CSA standards by Trus Joist (weyerhaeuser) or Louisiana Pacific

Alternative manufacturers will be allowed if supporting documentation, sealed by a Professional Engineer registered in BC, are submitted to Quantum Engineering for review.

Supplier to provide layout drawings showing location and specifications for all engineered wood products.

Parallel Strand Lumber (PSL).
 $E = 2.2 \times 10^6$ psi / $F_b = 5360$ psi (for 12" deep member)

Laminated Veneer Lumber (LVL).
 $E = 2.0 \times 10^6$ psi / $F_b = 4805$ psi, $F_c(perp) = 1365$ psi (for 12" deep member)

Laminated Strand Lumber (LSL).
 $E = 1.55 \times 10^6$ psi / $F_b = 3195$ psi, $F_c(perp) = 1365$ psi (for 12" deep member)

Fasten all laminations together as per manufacturer's specifications.

Glulam

All glulam beams shall be manufactured at a plant approved by the CSA under the requirements of CSA O122.

Upon request, supply the purchaser with a certificate confirming that the material has been manufactured in accordance with CSA O122 and according to the design requirements of CSA O86.1.

Prefabricated Wood Trusses/Joists

Design and fabricate trusses in accordance with:

- Part 4 of the Building code, CAN/CSA O86 and O86.1, and TPIC standards
- Design loads and design criteria as indicated on the structural drawings
- Western Wood Truss Association of British Columbia Quality Assurance Program

The truss manufacturer shall design trusses and joists for mechanical unit weights as specified by the mechanical consultant and contractor.

Live load deflections shall not exceed L/360, where L is the clear span of the truss.

The truss supplier's engineer shall design and supply all steel connections required for: Truss to truss connections, and truss to supporting structure connections.

Truss tie-down clips to be provided at ends of all trusses as specified by Engineer.

Supplier's truss systems engineer is responsible for the design of all bridging, blocking, bracing, and metal connections, required for the stability of the truss or joist.

All proposed site modifications and/or damage to trusses shall be reviewed by the supplier's truss systems Engineer who shall issue written instruction and repair details as required. Notify Quantum Engineering accordingly.

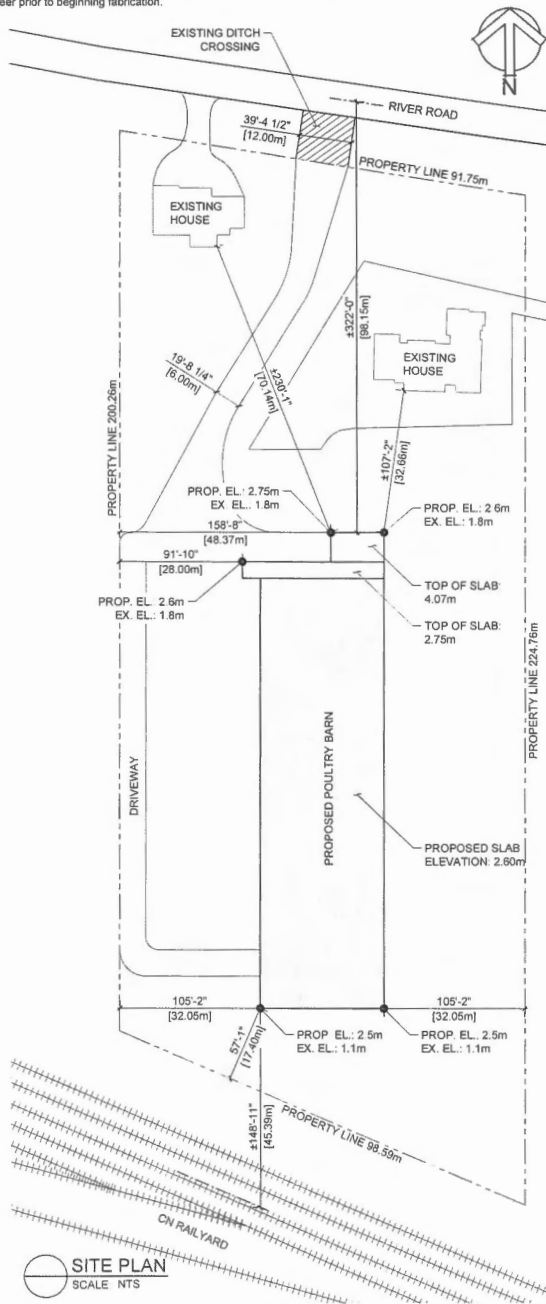
Suppliers shall provide the following submittals:

- Shop drawings sealed and signed by the truss supplier's truss systems Engineer who must be registered in BC.
- Truss layout showing location of trusses and all design loads including snow drift and unbalanced snow diagrams, and wind loads.
- Detailed design/fabrication of each truss, clearly showing design loads, member forces, deflections, camber details, lateral bracing etc.
- Truss erection instruction and details indicating required temporary and permanent bracing and connections.
- Site inspection report by the supplier's truss systems Engineer for the erection of the trusses.
- Letters of Assurance for design and installation of prefabricated wood trusses by the Supplier's truss systems engineer.

Refer to the Shop Drawings section of these notes for additional requirements for the submittals. Allow minimum 10 working days for review by the Engineer prior to beginning fabrication.

Typical Abbreviations

AB = anchor bolt	KD = kiln dried
ALT = alternate	lg. = long
ARCH = architectural	LL = live load
BL = bottom lower layer	LSL = timberstrand
BUL = bottom upper layer	LVL = microlam
BM = beam	MAX = maximum
B/S = both sides	MF = factored moment
B/U = built up	MIN = minimum
CANTL = cantilever	NS = near side
CL = clear	N STUD = nelson/shear stud
CONC = concrete	NTS = not to scale
c = center line	O/C = on center
COL = column	PEN = Penetration
CONT = continuous	PSL = Parallam
CP = complete penetration	PT = prestress treated
CSK = countersink	RS = rough sawn
CW = complete or connect with	REINF = reinforcing
DB = drop beam	R/W = reinforce with
DL = dead load	SIM = similar
dp. = deep	SIF = soil face
DWG = drawing	S.O.G. = slab on grade
E/ = each	SST = Simpson Strong Tie
E/E = each end	STAG = stagger
E/F = each face	TI = factored tension
EW = each way	T&G = tongue and groove
ELEV = elevation	THK = thick
EXT = exterior	TLL = top lower layer
FB = flush beam	T.O. = top of
FDN = foundation	TUL = top upper layer
FO = face of	TRANS = transverse
FS = far side	TYP = typical
GALV = hot dip galvanized	UDL = uniformly distributed load
GL = glulam	UNO = unless noted otherwise
H1E = hook one end	UIS = underside
H2E = hook two ends	VERT = vertical
HORIZ = horizontal	V = factored shear
I/F = inside face	W = with
INT = interior	W/O = without



July 16, 2025
DV25-015419
Plan #1

Client: EASTERBROOK FARMS

Project: POULTRY BARN

17720 RIVER ROAD, RICHMOND, BC

207-46187 Yale Road
Chilliwack, BC V2P 2P2
Tel: 604.703.1905
Fax: 604.900.1993
Email: info@quantumeng.ca
Permit to practice #: 1000230

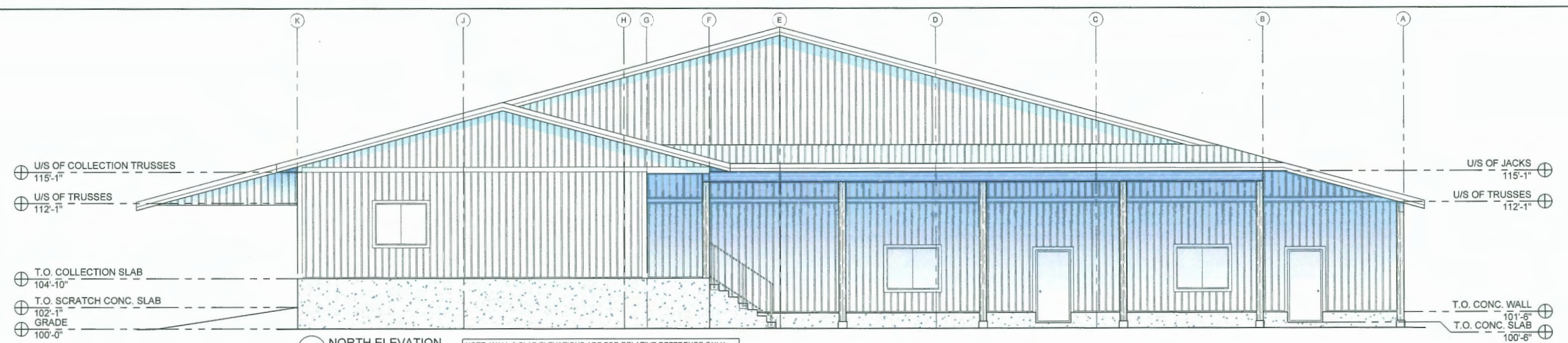
QUANTUM
ENGINEERING LTD.

Designed: D.V.
Drawn: M.S.
Checked: J.K.
Project No: 24.443

Seal: PROFESSIONAL ENGINEER OF BRITISH COLUMBIA
A.C. KERNOR
356111
2025-05-02

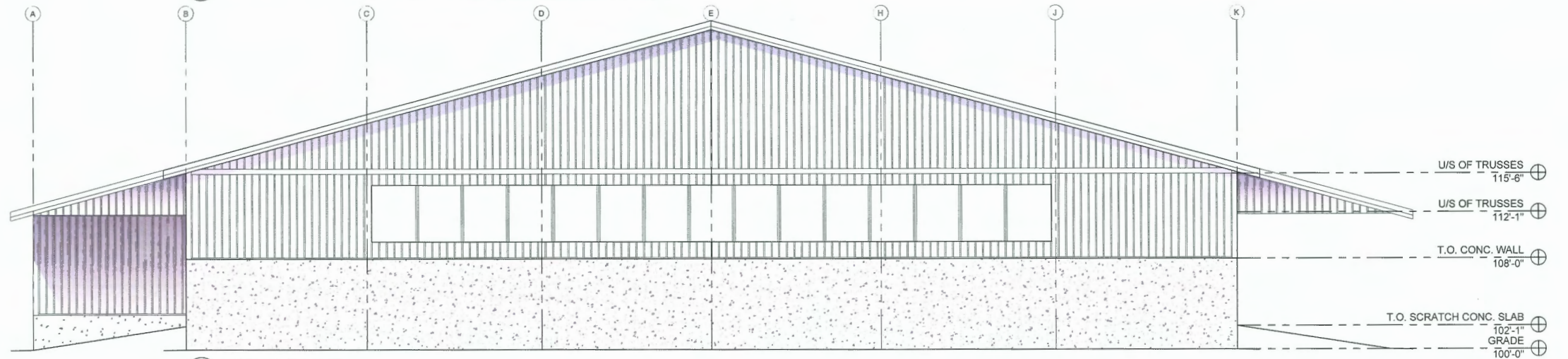
STRUCTURAL NOTES
SITE PLAN

Sheet No: S1.1

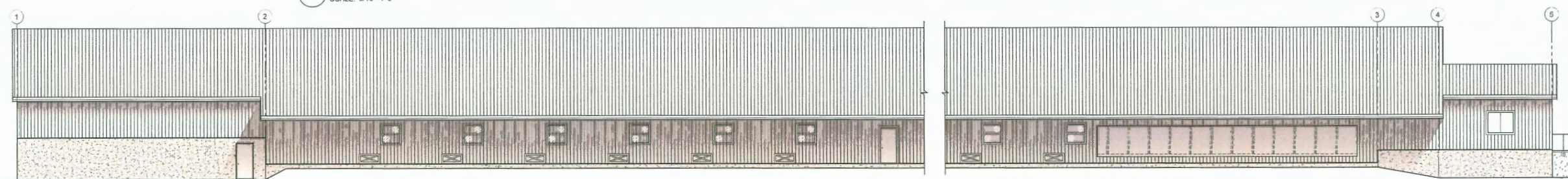


NORTH ELEVATION
SCALE: 3/16"=1'-0"

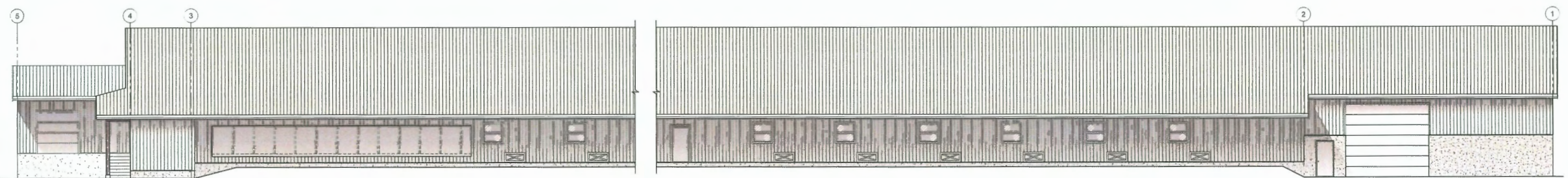
NOTE: WALL & SLAB ELEVATIONS ARE FOR RELATIVE REFERENCE ONLY AND DO NOT REFER TO A GEODETIC ELEVATION. 100'-0" = 2.80m GEODETIC



SOUTH ELEVATION
SCALE: 3/16"=1'-0"



EAST ELEVATION
SCALE: 3/32"=1'-0"



WEST ELEVATION
SCALE: 3/32"=1'-0"

FRR WALL ASSEMBLIES	
RATING	ASSEMBLY
1 HR FRR BCBC TABLE D-2.1.1	8" CONCRETE WALL
1 HR FRR BCBC EW1a	30 GA METAL CLADDING 2x6 STUDS PER PLAN 1/2" TYPE 'X' GWB 3/4" PLYWOOD

SPATIAL SEPARATION						
1. Fire Response Time <10min						
2. Table 3.2.3.1-C (F2)						
Facade	Limiting Distance	Exposing Building Face Area	% Openings Allowable	Openings % Actual	Construction	Fire Rating
NORTH	98.2m	128.9 m²	100%	16.7%	Combustible	N/A
WEST P1	42.2m	30.8 m²	100%	N/A	Combustible	N/A
WEST P2	21.8m	13.8 m²	80.8%	0%	Combustible	1HR (EW1a)
WEST P3	26.0m	317.7 m²	100%	N/A	Combustible	N/A
SOUTH	42.8m	147.5 m²	100%	0%	Combustible	N/A
EAST	38.1m	360.3 m²	100%	N/A	Combustible	N/A

July 16, 2025
DV25-015419
Plan #2

REISSUED FOR PERMIT	FOR PERMIT	DESCRIPTION	NO.	DATE
2	1			May 1, 25
				Apr 18, 25

Client: **EASTERBROOK FARMS**
Project: **POULTRY BARN**
17720 RIVER ROAD, RICHMOND, BC

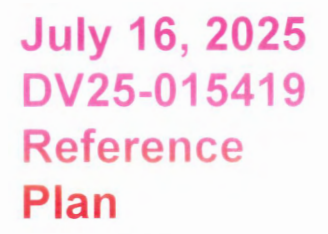
207 - 45167 Yale Road
Surrey, BC V4N 1A2
Tel: 604.593.1652
Fax: 604.593.1653
Email: info@quantumeng.ca
Permit to practice # 1003230

QUANTUM
ENGINEERING LTD.

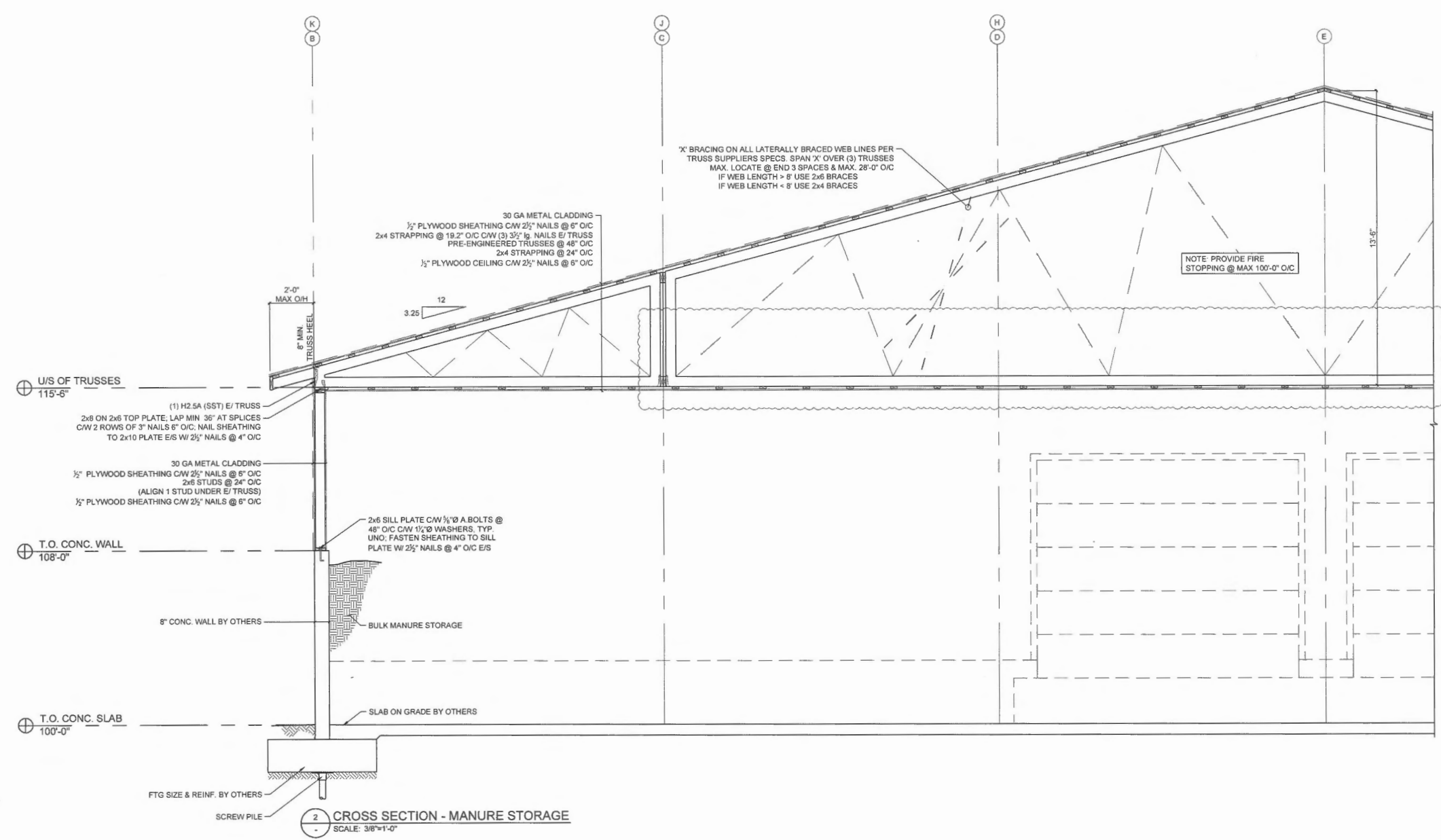
Designed: D.V.
Drawn: M.S.
Checked: J.K.
Project No: **24.443**



Sheet No: **S1.2**

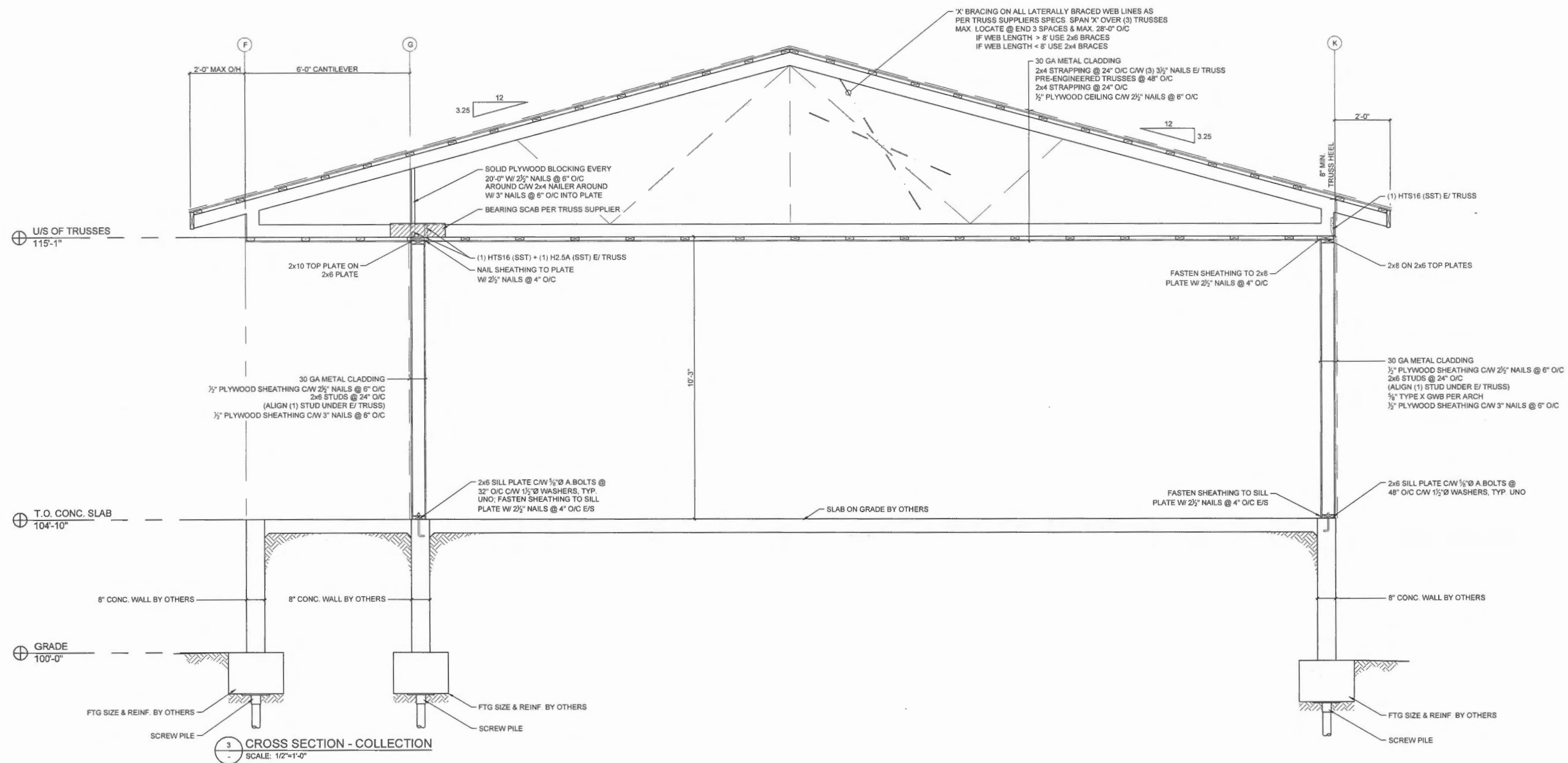


Title CROSS SECTION ROOSTS S3.1		Seal 24.443	<p>QUANTUM ENGINEERING LTD.</p> <p>207 - 46187 Yale Road Chilliwack, BC, V2P 2P2 Tel: 604.703.8005 Fax: 604.909.1903 Email: info@quantumeng.ca Permit to produce #: 1003230</p>	Client EASTERBROOK FARMS	Project POULTRY BARN	2	REISSUED FOR PERMIT 1	FOR PERMIT NO.	DESCRIPTION NO.	REVISIONS	DATE
				17720 RIVER ROAD, RICHMOND, BC					May 1, 25	Apr. 16, 25	DATE



July 16, 2025
DV25-015419
Reference
Plan

Client		Project		Revisions	
EASTERBROOK FARMS		POULTRY BARN		NO	
17720 RIVER ROAD, RICHMOND, BC					
207 - 46167 Yale Road Richmond, BC V6X 1P2 Tel: 604.703.1605 Fax: 604.909.1983 Email: info@quantumeng.ca Permit to practice # 1003230					
QUANTUM ENGINEERING LTD.					
Designed: D.V. Drawn: M.S. Checked: J.K. Project No: 24.443					
Seal					
CROSS SECTION MANURE STORAGE					
S3.2					



July 16, 2025
DV25-015419
Reference
Plan

RE-ISSUED FOR PERMIT	FOR PERMIT	DESCRIPTION	REVISIONS
May 1, 25	Apr 16, 25		DATE
2	1		NO.

Client: **EASTERBROOK FARMS**
Project: **POULTRY BARN**
Address: **17720 RIVER ROAD, RICHMOND, BC**

207 - 46167 Yule Road
Richmond, BC V6V 2P2
Tel: 604.703.1605
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QUANTUM
ENGINEERING LTD.

Designed: D.V.
Drawn: M.S.
Checked: J.K.
Project No: **24.443**

Seal:

Title: **CROSS SECTION COLLECTION**
Sheet No: **S3.3**

