



Development Permit Panel Electronic Meeting

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, June 28, 2023
3:30 p.m.

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on June 14, 2023.*



1. **DEVELOPMENT PERMIT 21-934415**
(REDMS No. 6963136)

APPLICANT: Zhao XD Architect Ltd.

PROPERTY LOCATION: 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of 25 townhouse units at 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road on a site zoned "Town Housing (ZT94) – Francis Road (Broadmoor)".

2. **DEVELOPMENT PERMIT 21-936427**
(REDMS No. 7267244)

APPLICANT: Kadium No. 4 Development Ltd.

PROPERTY LOCATION: 10340, 10360, 10380, 10400 and 10420 No. 4 Road

ITEM

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of 19 townhouse units at 10340, 10360, 10380, 10400 and 10420 No. 4 Road on a site zoned "Medium Density Townhouses (RTM2)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum front yard setback from 6.0 m to 4.5 m.*
 - (b) *reduce the minimum lot depth from 35.0 m to 34.0 m.*



3. DEVELOPMENT PERMIT 22-015851
(REDMS No. 7138839)

APPLICANT: Polygon Talisman Park Ltd.

PROPERTY LOCATION: Portions of 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/3600 Sexsmith Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of 276 rental housing units in two six-storey multi-family apartment buildings on portions of the properties located at 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/3600 Sexsmith Road on a site zoned "Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to increase maximum permitted building height for the affordable housing building located on the eastern portion of the site from 25.0 m to 27.6 m to accommodate elevator access to a rooftop garden.*



4. New Business

5. Date of Next Meeting: July 12, 2023

ADJOURNMENT



**Development Permit Panel
Wednesday, June 14, 2023**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Cecilia Achiam, General Manager, Community Safety, Acting Chair
John Hopkins, Acting General Manager, Planning and Development
James Cooper, Director, Building Approvals

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on Wednesday, May 10, 2023, be adopted.

CARRIED

1. DEVELOPMENT PERMIT 21-935984
(REDMS No. 7106166)

APPLICANT: Gordon Chan

PROPERTY LOCATION: 12551 No. 1 Road

INTENT OF PERMIT:

1. Permit the replacement of all the existing single-glazed windows with new double-glazed windows, the replacement of two doors on the front (north) elevation and the removal of the overhead garage door on the rear (south) elevation at 12551 No. 1 Road; and
2. Vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum front yard setback to the garbage and recycling enclosure from 3.0 m to 0 m.

Development Permit Panel

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Applicant's Comments

Gordon Chan, McCuaig and Associates Engineering, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposal, including its site context and site layout, proposed changes to the existing Fisheries and Oceans Canada office building, proposed accessory structure, and proposed materials and colours, highlighting the following:

- the existing single-glazed windows will be replaced with new aluminum windows with double-glazed security glazing;
- the two existing single-pane glass doors will be replaced with double-pane glass doors;
- the overhead door at the south elevation will be removed and infilled with vinyl siding that matches the existing siding;
- a new garbage and recycling enclosure will be installed at the northwest corner of the property; and
- the materials and colours for the proposed changes are consistent with the character of the existing building.

Staff Comments

Wayne Craig, Director, Development, noted that (i) the proposed replacement of doors and windows would improve the overall appearance and energy efficiency of the building, (ii) the proposal was reviewed and endorsed by the Richmond Heritage Commission, and (iii) staff support the proposed front yard setback variance as the new garbage and recycling enclosure would enhance the appearance of the streetscape.

Panel Discussion

In reply to a query from the Panel, Mr. Craig confirmed that (i) the encroachment of the existing parking area of the subject property onto City land will be dealt with separately, and (ii) there is no issue with the height of the proposed garbage and recycling enclosure.

Correspondence

Sigrid Stobie, 139-4280 Moncton Street (Schedule 2)

Mr. Craig noted that Ms. Stobie sought more information regarding the proposal but did not express any concerns. Also, he stated that staff contacted Ms. Stobie and was provided background information on the proposal.

Gallery Comments

None.

Development Permit Panel

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Panel Discussion

The Panel expressed support for the project, noting that the proposed changes to the existing office building and the proposed garbage and recycling enclosure would enhance the overall appearance of the building and the streetscape.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

- 1. permit the replacement of all the existing single-glazed windows with new double-glazed windows, the replacement of two doors on the front (north) elevation and the removal of the overhead garage door on the rear (south) elevation at 12551 No. 1 Road; and*
- 2. vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum front yard setback to the garbage and recycling enclosure from 3.0 m to 0 m.*

CARRIED

2. DEVELOPMENT PERMIT 21-936149

(REDMS No. 7049603)

APPLICANT: Gradual Architecture Inc.

PROPERTY LOCATION: 6520 Williams Road

INTENT OF PERMIT:

1. Permit the construction of eight townhouse units at 6520 Williams Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum required lot width from 40.0 m to 36.6 m.

Applicant's Comments

Ian Guan, Gradual Architecture, Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), provided background information on the proposed development including its site context, site layout, architectural design, building elevations, floor plan, and proposed exterior cladding materials, highlighting the following:

- the proposed development consists of eight three-storey townhouse units in two buildings;
- the proposed shared driveway on the subject site will provide vehicular access to and from the subject site and the adjacent future development to the east through a statutory right-of-way secured at rezoning;

Development Permit Panel

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- each unit will be provided with two parking spaces in the unit's garage, with a side-by-side arrangement for the end units and tandem arrangement for the middle units;
- a rooftop deck is proposed for each of the four end units; and
- large windows are proposed to allow maximum sun exposure to the units, enhance cross ventilation and maximize views to the neighbouring school park.

Denitsa Dimitrova, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscaping features of the project, noting that (i) landscaping for the project has been designed to incorporate existing trees identified for retention, (ii) the Magnolia tree in the proposed outdoor amenity area will be retained and protected, (iii) all construction works within the tree protection zone will be done under arborist supervision, (iv) the proposed installation of low aluminum transparent fence along the frontage would improve the streetscape, (v) fencing will be installed to provide privacy between units in the proposed development and between the proposed development and adjacent developments, (vi) two pieces of play equipment are proposed for the children's play area for younger children in different age groups providing multiple play opportunities, and (vii) permeable paving treatment is proposed at the site entry and on visitor parking stalls.

Staff Comments

Mr. Craig noted that (i) there is Servicing Agreement associated with the project for frontage works along Williams Road and site servicing connections, (ii) the proposed technical variance associated with the project and related to the site assembly was noted at rezoning and no concerns were expressed, (iii) the project has been designed to achieve the BC Energy Step Code 3, which includes the installation of heat pumps for heating and cooling, and (iv) the heat pump units will comply with the City's Noise Bylaw requirements.

Panel Discussion

In reply to queries from the Panel, the applicant acknowledged that (i) the services of energy consultants will be engaged at the Building Permit stage to confirm the project's compliance with the BC Energy Step Code 3, (ii) appropriate type of heat pumps will be installed to meet with the City's Noise Bylaw requirements, (iii) access to the rooftop decks has been designed to avoid protruding structures on the rooftop, (iv) rooftop decks will only be provided for the end units and are integrated within the roof, (v) all townhouse units are three-bedrooms units with sizes ranging from approximately 1,200 and 1,500 square feet, (vi) the existing grade within the tree protection zone will be maintained to protect the retained trees, and (vii) proposed exterior lighting on building walls will not spill over onto the adjacent school park.

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In reply to queries from the Panel, Mr. Craig noted that (i) the proposed shared driveway will also provide vehicular access to and from the future development to the east, (ii) the proposed truck turn-around area on the subject site has been designed so that it can be converted to additional outdoor amenity space when it is no longer required should the adjacent property to the east be redeveloped in the future, and (iii) the proposed development will not include secondary suites; however, the applicant is providing a cash-in-lieu contribution to the Affordable Housing Reserve Fund in keeping with the City's Affordable Housing Strategy.

Correspondence

None.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the project, noting that (i) it provides different sizes of units, and (ii) the proposed design of the project accommodates the future redevelopment of the adjacent property to the east.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of eight townhouse units at 6520 Williams Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum required lot width from 40.0 m to 36.6 m.*

CARRIED

3. New Business

None.

4. Date of Next Meeting: June 28, 2023

Development Permit Panel
Wednesday, June 14, 2023

ADJOURNMENT

It was moved and seconded
That the meeting adjourn (4:05 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, June 14, 2023.

Cecilia Achiam
Acting Chair

Rustico Agawin
Committee Clerk

**STEVESTON GOCB
12551 NO.1 ROAD**

DP21-935984

**Replacement of windows, overhead door, infill and garbage
enclosure.**

EXISTING CONDITIONS

- Building Area: 407 sq.m site.
- Wood-framed building constructed 1976.
- Existing ramps, steps and stairs are aluminum.
- Guards and handrails are aluminum.
- Exterior cladding is vinyl.

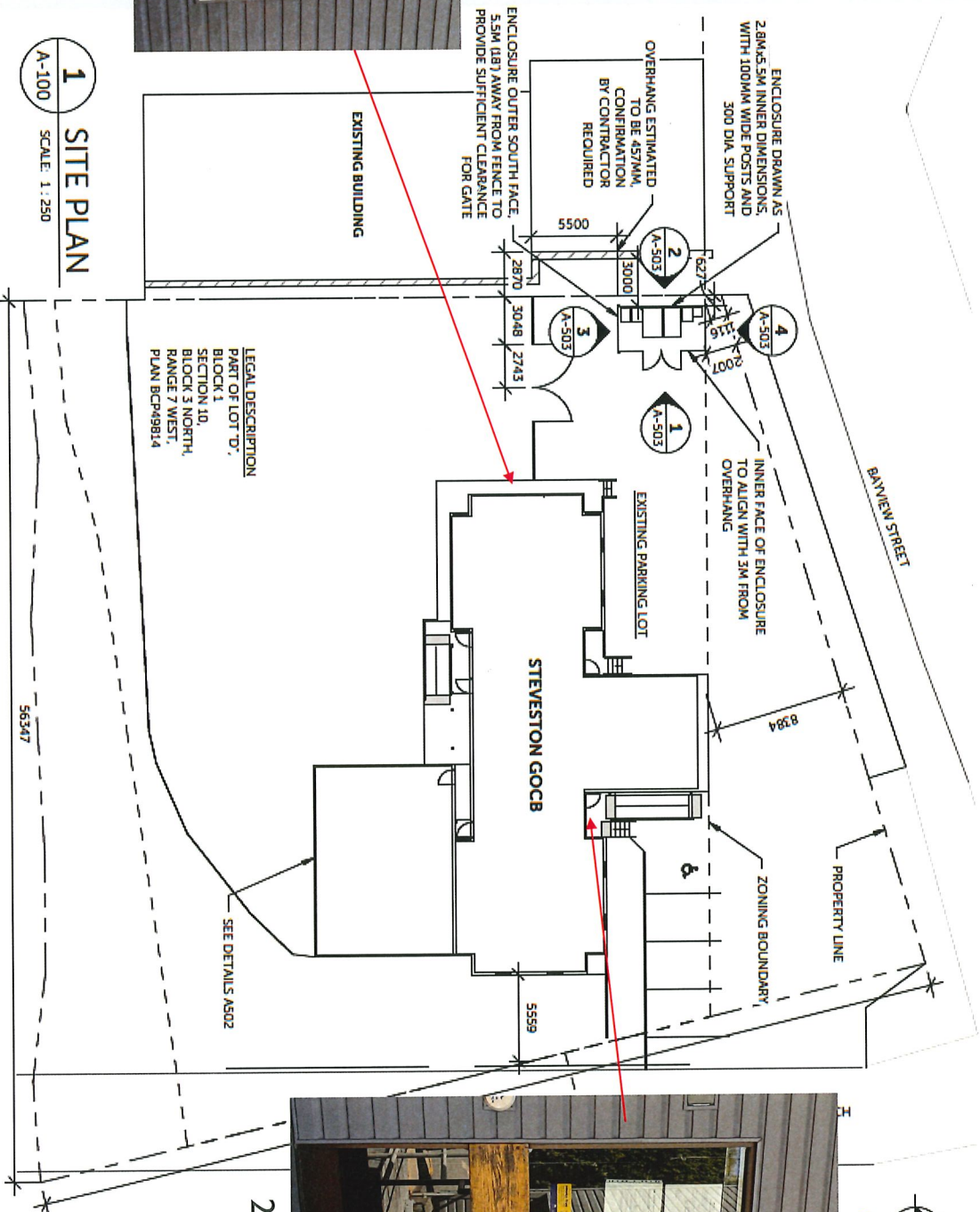


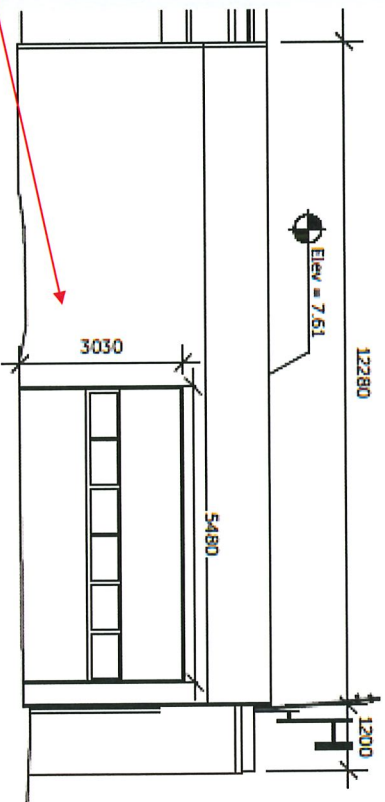


2 Entry Doors



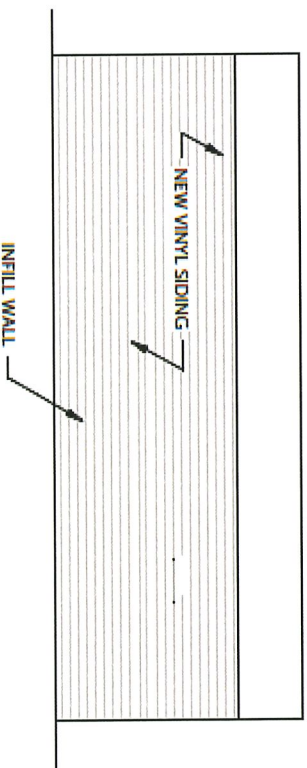
18 Windows





EXISTING SOUTH ELEVATION

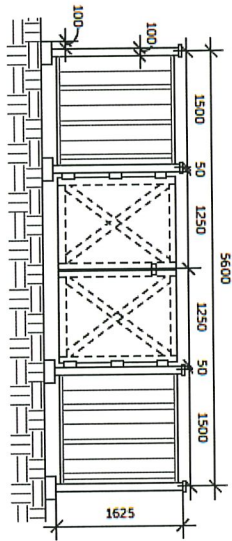
* NEW VINYL SIDING TO MATCH EXISTING



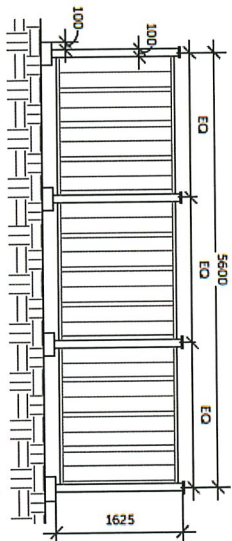
PROPOSED SOUTH ELEVATION



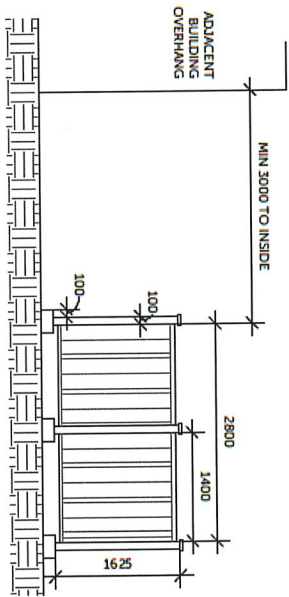
NOTE: NEW ENCLOSURE COLOUR TO BE HARRIS GREY FROM VANCOUVER HERITAGE FOUNDATION HISTORICAL TRUE COLOURS PALETTE.



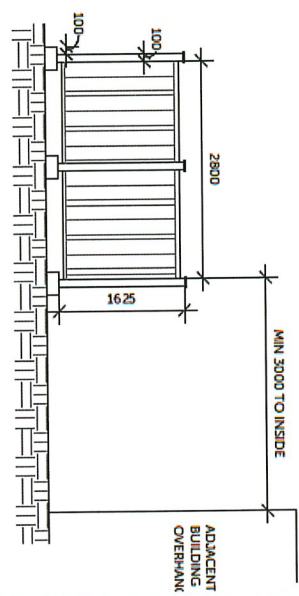
1 EAST ELEVATION
A-503 SCALE: 1:50



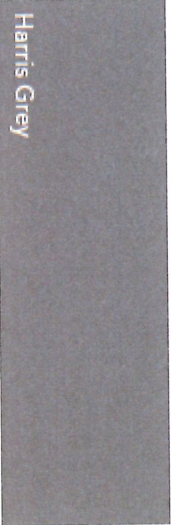
2 WEST ELEVATION
A-503 SCALE: 1:50



3 SOUTH ELEVATION
A-503 SCALE: 1:50



4 NORTH ELEVATION
A-503 SCALE: 1:50



Harris Grey

PROPOSED

- Supply and install new aluminum windows with security glazing
- Remove existing overhead door at south elevation and infill area. Wall to match existing vinyl siding at building.
- New garbage enclosure at northwest corner of property. New enclosure to be metal with colour to be Harris Grey from Vancouver Heritage Foundation Historical True Colours Paint palette.

From: Sigrid Stobie <sigi.stobie@gmail.com>
Sent: June 7, 2023 11:04 AM
To: CityClerk
Subject: Development permit for 12551 No 1 Road

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

Helo City Council:

I am completely buffelled by your notice of development of the above address. Is there going to be a new building erected in the area marked on your Notice? I see no garage anywhere in the near vicinity. Are you talking about the existing building re double glazed windows? I am afraid I cannot vote on the information provided.

Yours truly
Sigrid Stobie
#139 - 4280 Moncton St.



FURNITURE:



NOTE: ALL FURNITURE TO BE MOUNTED AS PER MANUFACTURER SPECIFICATIONS

PAVING MATERIAL KEY



NOTE: PLAY EQUIPMENT TO BE INSTALLED OVER EXISTING GRADE

FENCE KEY



KEY	QTY	BOTANICAL NAME	PLANT SCHEDULE

[illegible]

PLANT SCHEDULE

[illegible]

-PROV

SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

DRAWING TITLE:
LANDSCAPE
PLAN

DATE: November 22, 2017
SCALE: 3/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHECK: PCM
PMG PROJECT NUMBER: 17-236



FURNITURE:



MAGLIN BIKE RACK - MBR500-S-3
BLACK COLOR-MATTE FINISH;
POWDER COATED

MAGLIN BENCH - MLB510-M Metal
BLACK COLOR-MATTE FINISH;
POWDER COATED

Play equipment by Jambett



LA-16006_(Eco-mobile_sur_ressorts) L-10064_(Glissoire_classeque_3)

NOTE : PLAY EQUIPMENT TO BE INSTALLED OVER EXISTING GRADE.

NO	DATE	REVISION DESCRIPTION	DR
1	2020.07.01	NEW SITE PLAN(SUBMIT COMMENTS)	RD
2			RD
3			RD
4	21.04.07	REVISION 41 NEW SITE COMMENTS	RD
5			RD
6	22.07.08	NEW SITE PLAN(SUBMIT COMMENTS)	RD
7			RD
8	22.06.13	NEW SITE PLAN	RD
9			RD
10	21.04.07	REVISION 41 NEW SITE COMMENTS	RD
11			RD
12	21.04.07	REVISION 41 NEW SITE COMMENTS	RD
13			RD
14	23.04.08	NEW SITE PLAN(SUBMIT COMMENTS)	RD
15			RD
16	23.04.08	NEW SITE PLAN	RD
17			RD
18	23.04.08	NEW SITE PLAN(SUBMIT COMMENTS)	RD
19			RD
20	23.04.08	NEW SITE PLAN(SUBMIT COMMENTS)	RD
21			RD
22	23.04.08	NEW SITE PLAN(SUBMIT COMMENTS)	RD
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98	23.04.08	NEW SITE PLAN(SUBMIT COMMENTS)	RD
99			RD
100	23.04.08	NEW SITE PLAN(SUBMIT COMMENTS)	RD

CLIENT:

PROJECT:
8 UNIT TOWNHOUSE
DEVELOPMENT
6520 WILLIAMS ROAD
RICHMOND

DRAWING TITLE:
**FUTURE ADDITIONAL
AMENITY SPACE**

DATE: November 22, 2017
SCALE: 1/8"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
OF 4

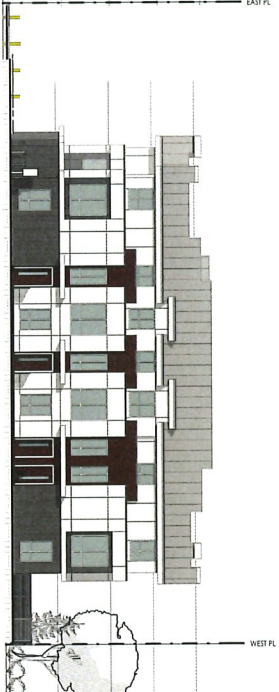
DEVELOPMENT PERMIT PANEL MEETING



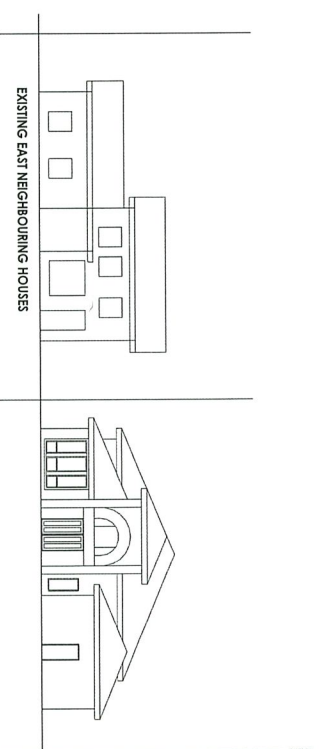
EXISTING STREETSCAPE PHOTOS
SCALE 1/8"



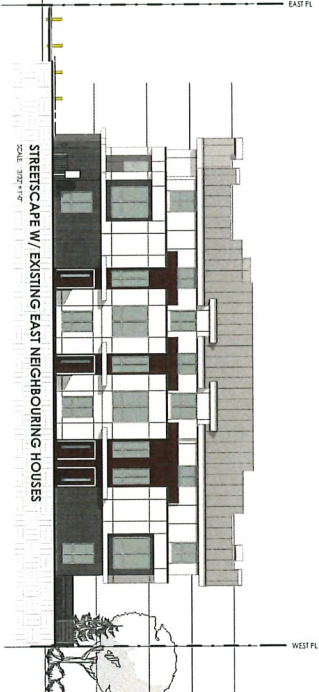
POTENTIAL EAST NEIGHBOURING DEVELOPMENT



STREETSCAPE W/ POTENTIAL EAST NEIGHBOURING NEW DEVELOPMENT
SCALE 3/32" = 1'-0"

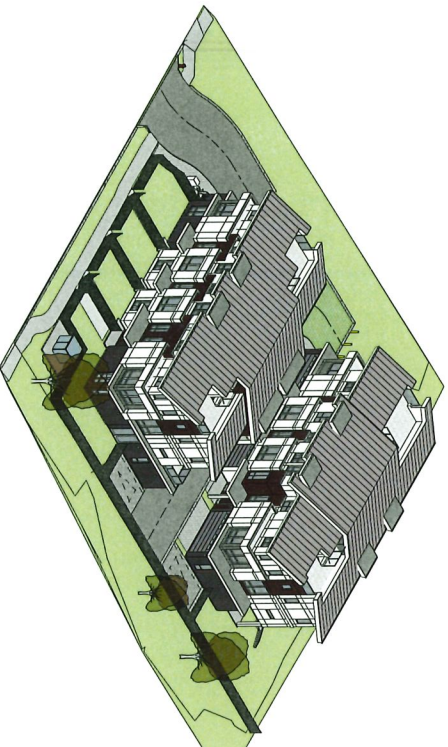


EXISTING EAST NEIGHBOURING HOUSES

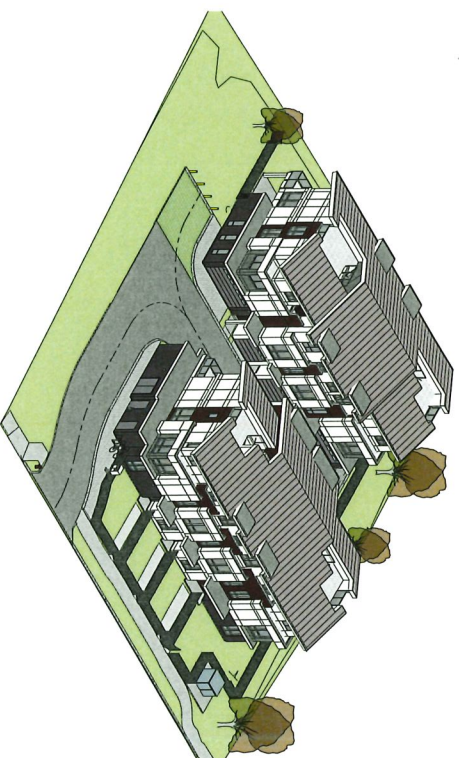


STREETSCAPE W/ EXISTING EAST NEIGHBOURING HOUSES
SCALE 3/32" = 1'-0"

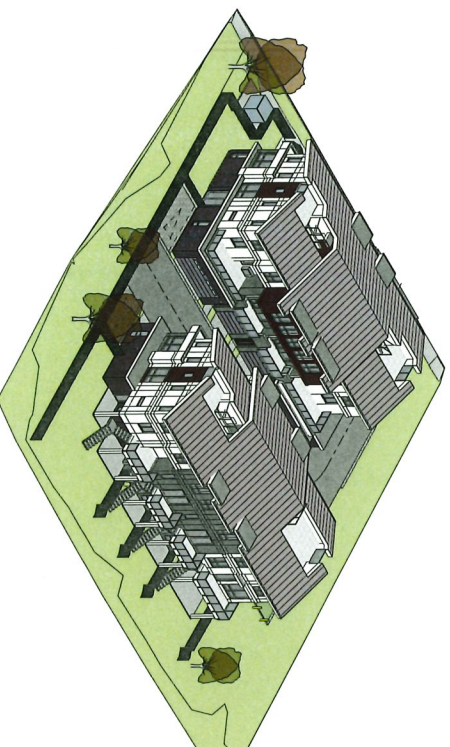
DEVELOPMENT PERMIT PANEL MEETING



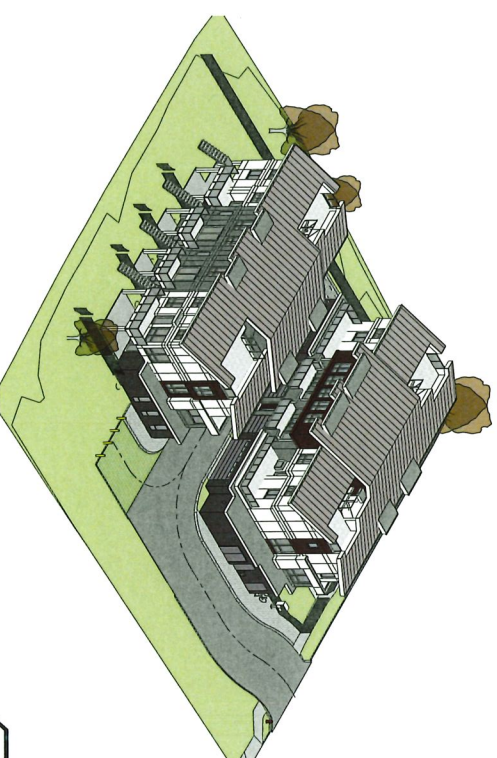
ORTHO VIEW - NORTHWEST



ORTHO VIEW - NORTHEAST



ORTHO VIEW - SOUTHWEST

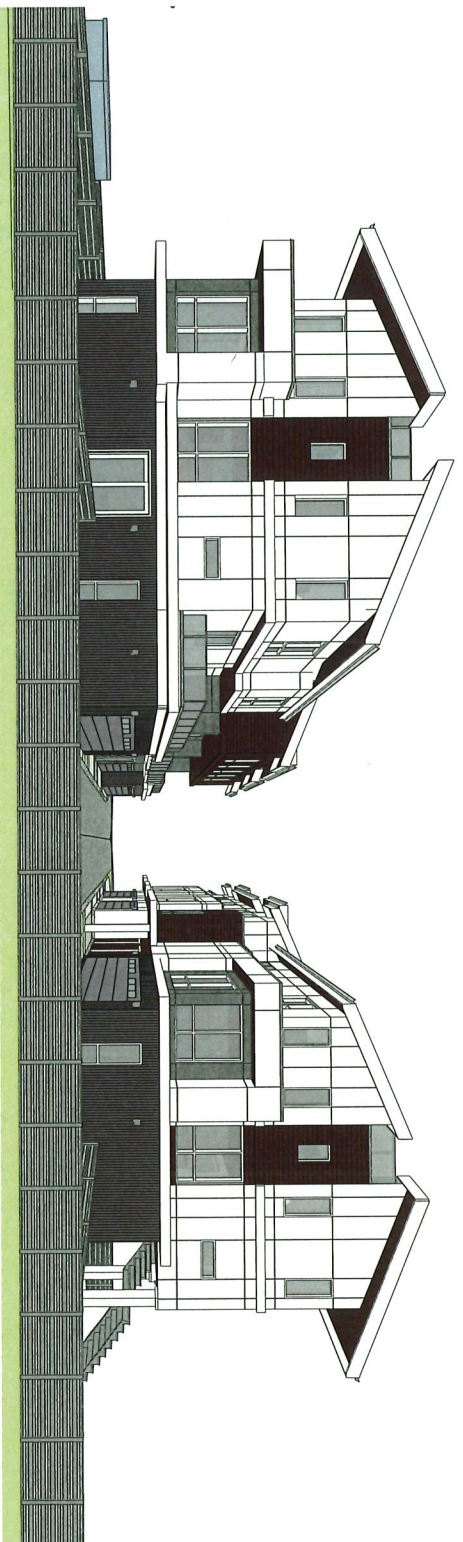


ORTHO VIEW - SOUTHEAST

DEVELOPMENT PERMIT PANEL MEETING

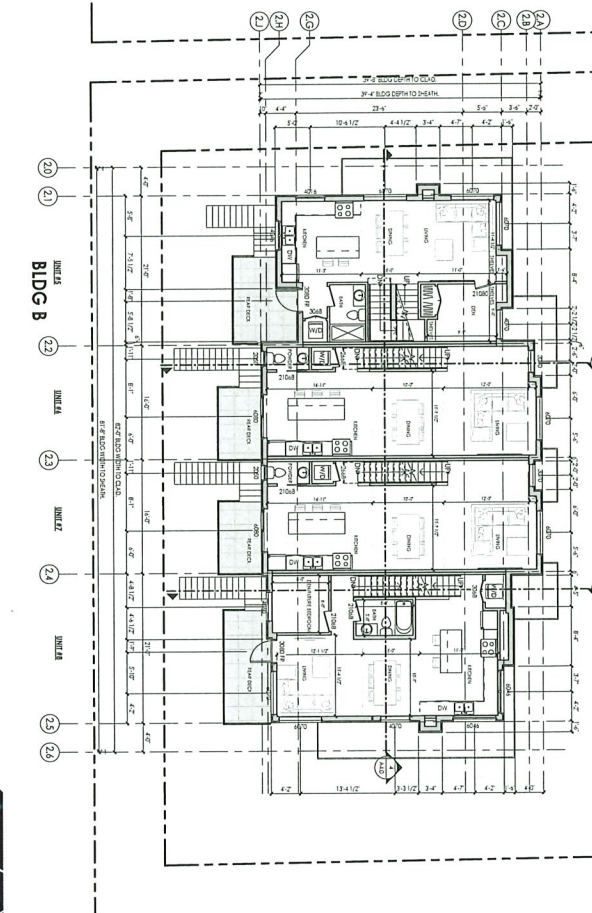
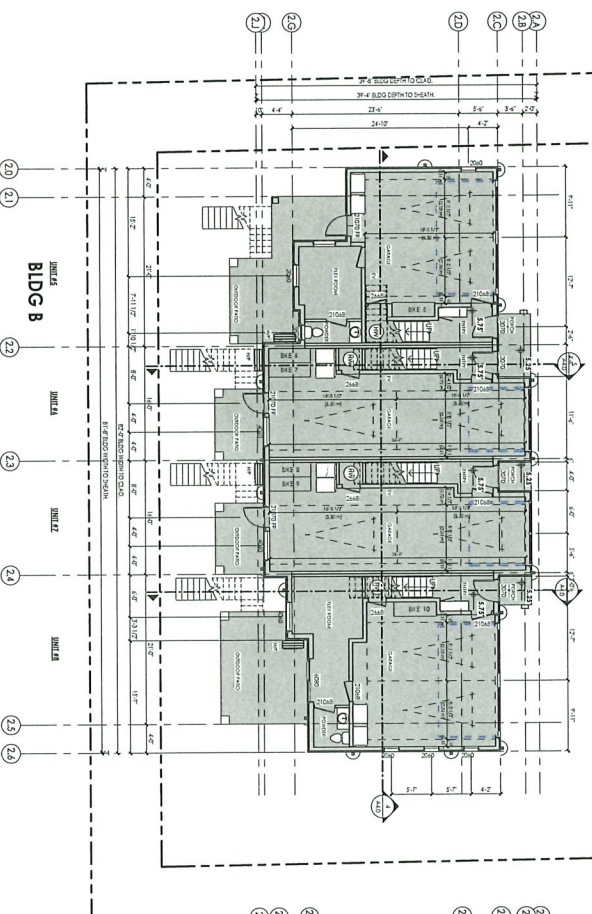
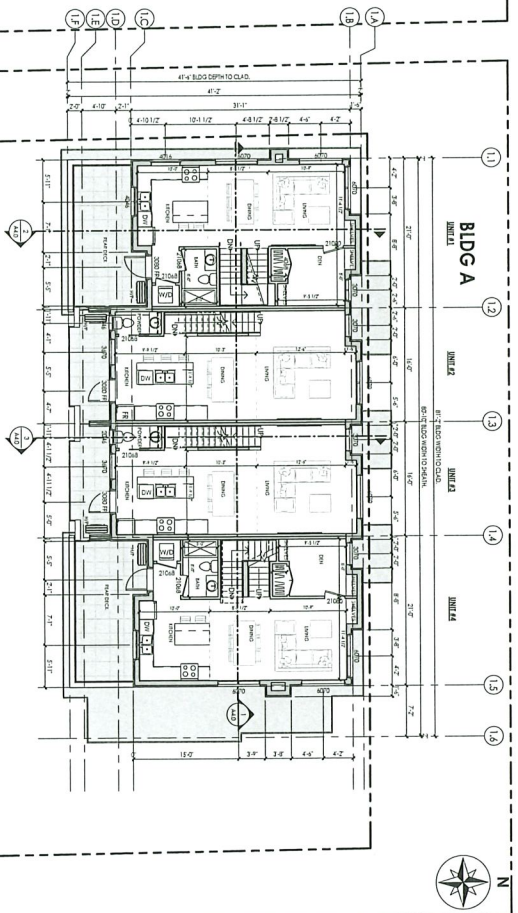
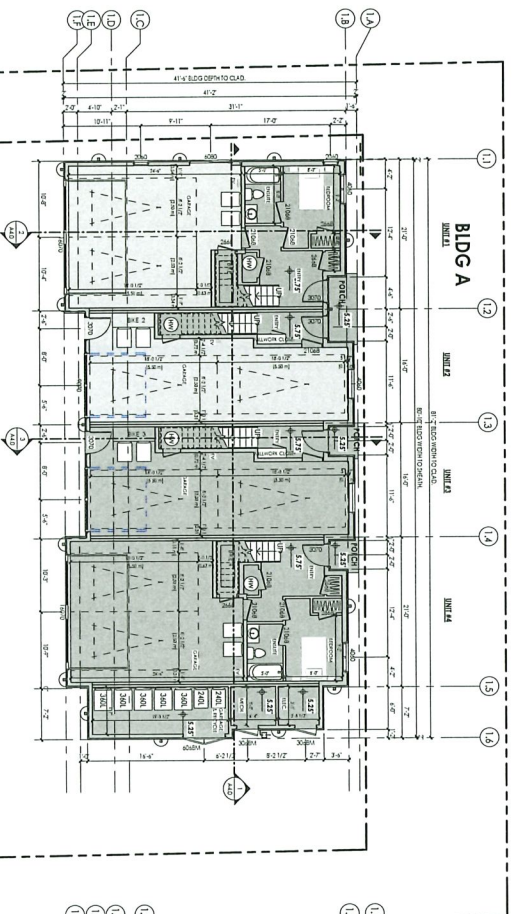


PERSPECTIVE VIEW - EAST (BOTH BLDGS)

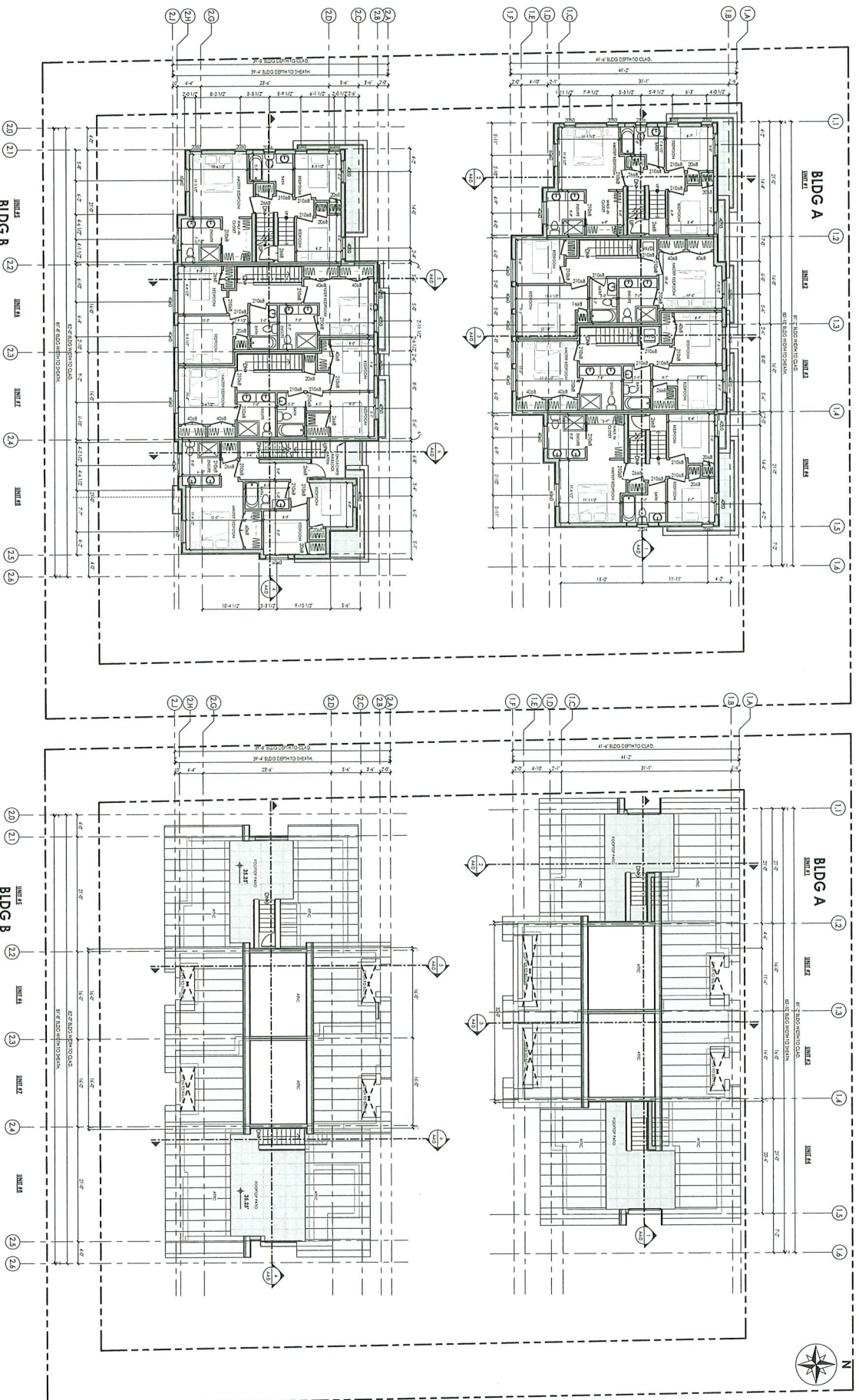


PERSPECTIVE VIEW - WEST (BOTH BLDGS)

DEVELOPMENT PERMIT PANEL MEETING

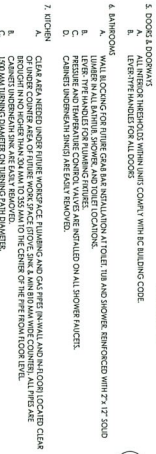
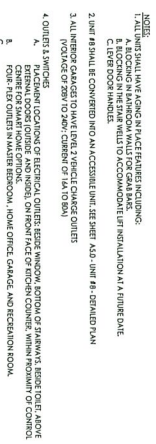


DEVELOPMENT PERMIT PANEL MEETING

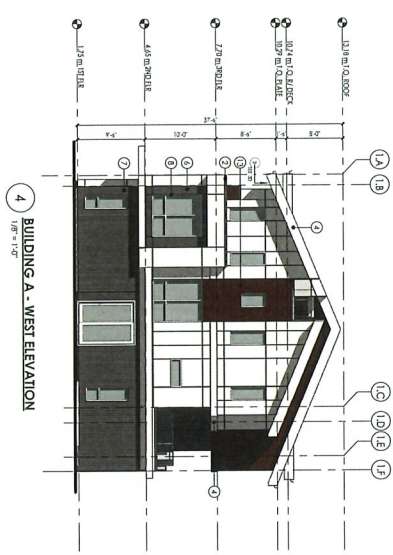
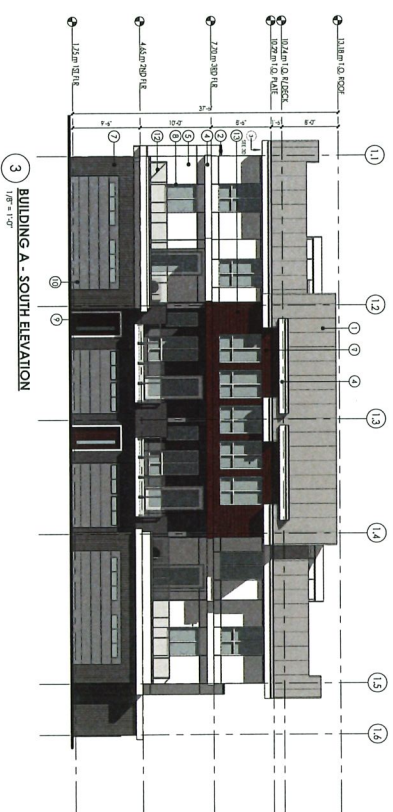
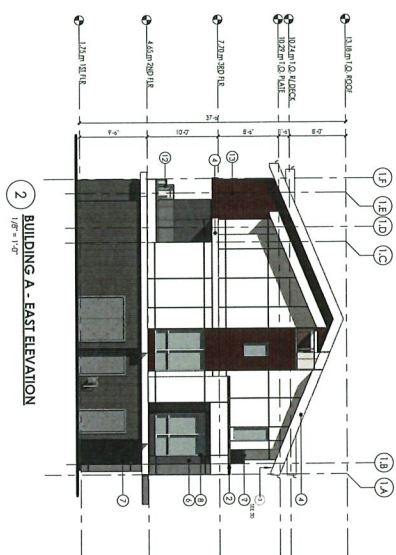
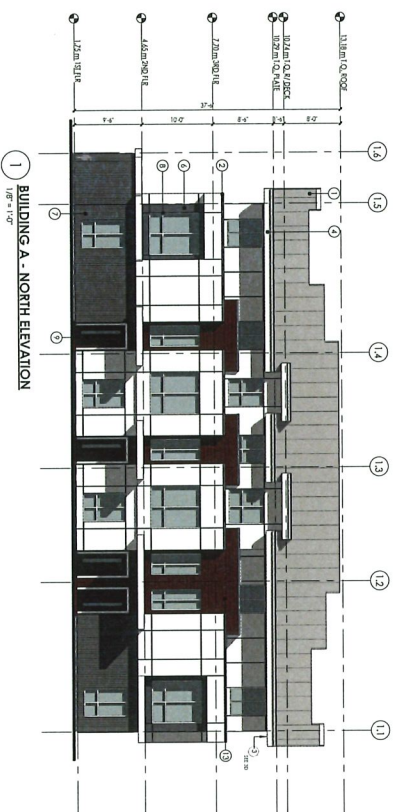


1 3RD FLOOR PLAN
1/8" = 1'-0"

2 4TH FLOOR PLAN
1/8" = 1'-0"

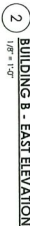


DEVELOPMENT PERMIT PANEL MEETING



MATERIAL LIST

1. SHINGLES SHALMIRA ROOF
2. ALUMINUM FLASHING
3. CEILING JOISTS - 2X10 & GROOVE
4. FLOORING - 3/4\"/>
- 5. WAREHOUSE PANEL (4\"/>
- 6. WAREHOUSE PANEL (4\"/>
- 7. CEILING JOISTS - 2X10 & GROOVE
- 8. WAREHOUSE PANEL (4\"/>
- 9. SLOPE WOOD ROOF
- 10. METAL CEILING JOISTS & WOOD ROOF
- 11. WOOD CEILING JOISTS & WOOD ROOF
- 12. GLASS CEILING JOISTS & WOOD ROOF
- 13. LONGBOARD - WOODGRAN FINISH
- 14. LONGBOARD - WOODGRAN FINISH



DEVELOPMENT PERMIT PANEL MEETING



1. STANDING SEAM METAL ROOF - GRAY



2. TORCH ON ROOF CHARCOAL



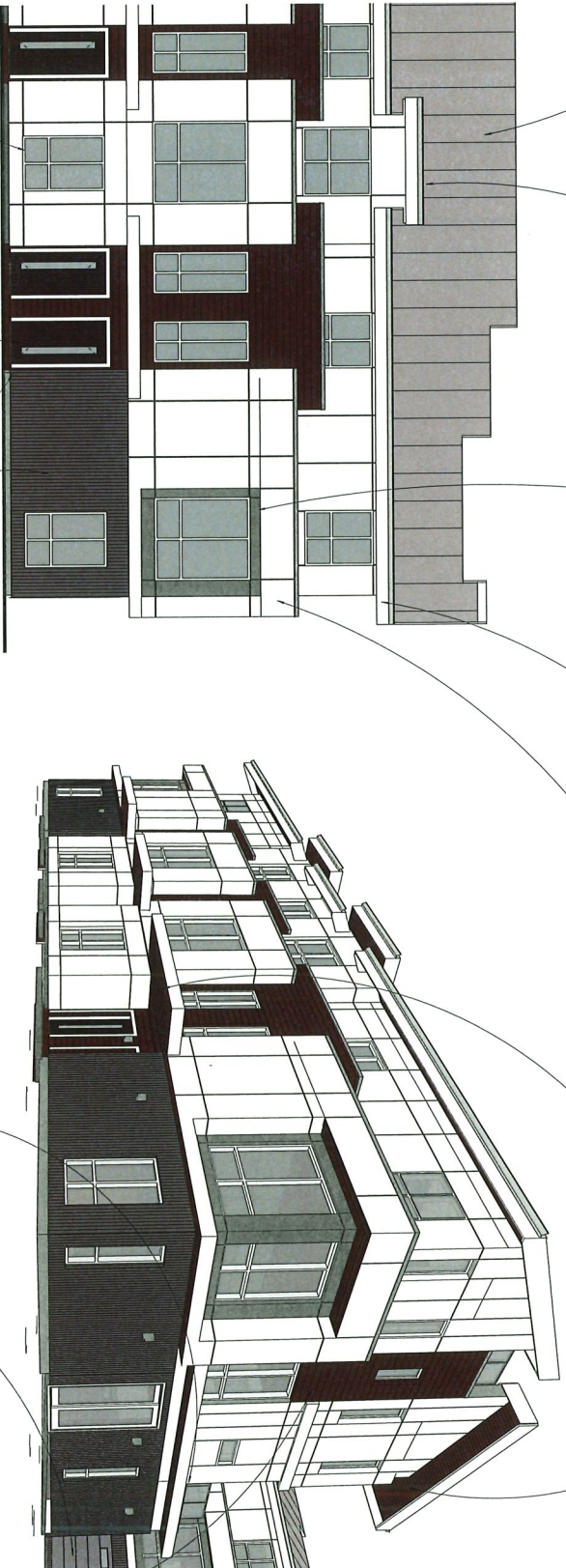
6. HARDIE PANEL AND REVEALS - DARK PAINTED BM OC-22 CALM PANEL SIZE: 4'x5'



4. FASCIA & TRIM PAINTED BM OC-22 CALM



3. CEDAR SOFFIT - TONGUE & GROOVE - DARK NATURAL WALNUT



5. HARDIE PANEL & REVEALS - LIGHT PAINTED BM OC-22 CALM PANEL SIZE: 4'x8'



10. VINYL WINDOW - WHITE



11. SOLID WOOD DOOR - DARK NATURAL WALNUT



13. WOOD-CLAD POST & BEAMS - PAINTED BM OC-22 CALM



8. CERACOAT - REVEALS CHARCOAL

7634

UNIT NUMBER SIGN AT EACH UNIT ENTRY DOOR - BLACK BACKGROUND - SILVER LETTERING



7. METAL RAILINGS (FOR GLASS GUARDS) - PAINTED CHARCOAL

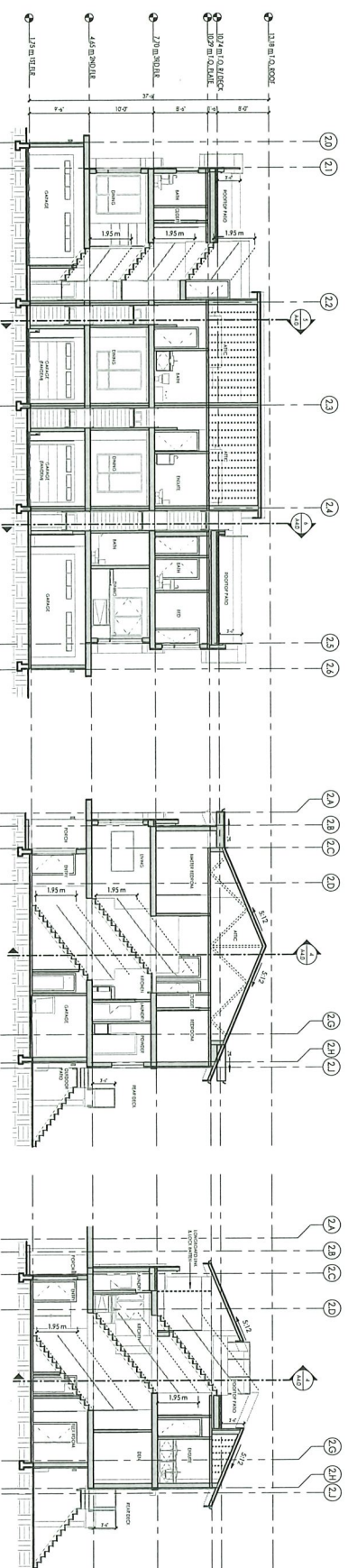
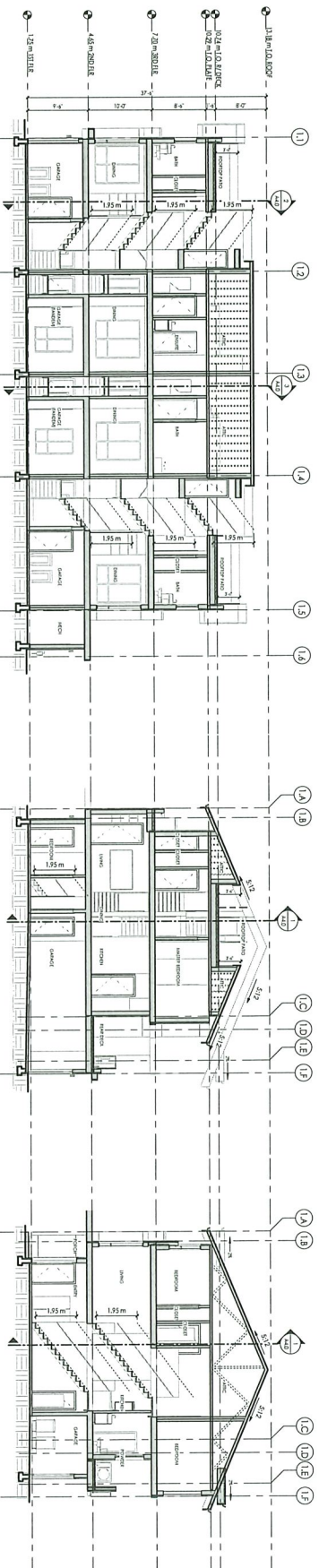


12. METAL GARAGE DOOR & MAN-DOOR - BM - HEARTHSTONE CC-1607



13. LONGBOARD - WOOD FINISH - DARK NATURAL WALNUT

DEVELOPMENT PERMIT PANEL MEETING





City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: June 5, 2023

From: Wayne Craig
Director, Development

File: DP 21-934415

Re: Application by Zhao XD Architect Ltd. for a Development Permit at 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 25 townhouse units at 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road on a site zoned "Town Housing (ZT94) – Francis Road (Broadmoor)".

A handwritten signature in black ink, appearing to read "Wayne Craig".

Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 4

Staff Report

Origin

Zhao XD Architect Ltd. has applied to the City of Richmond on behalf of 1125640 BC Ltd. (Directors: Yan Zhao, Fuhua Yuan and Man Yuan) for permission to develop 25 townhouse units at 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road.

The site is being rezoned from “Single Detached (RS1/E)” to “Town Housing (ZT94) – Francis Road (Broadmoor),” for this project under Bylaw 10254 (RZ 20-907463), which received third reading following the Public Hearing on July 19, 2021. The site currently contains eight single-family homes, which will be demolished.

Highlights of the proposed development include:

- 25 townhouse units including:
 - 13 three-storey units in three townhouse clusters along Francis Road; and
 - 12 two-storey duplex style units in six townhouse clusters along the rear property line.
- Three of the two-storey units are designed in accordance with the convertible unit guidelines.
- Nine existing bylaw-sized trees will be retained on-site, including three trees in the proposed outdoor amenity area and six trees within the rear yards.

A Servicing Agreement is required as a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- Removal of the existing sidewalk and replacement with 2.0 m concrete sidewalk at the property line, 1.5 m landscaped boulevard, and 0.15 m concrete curb and gutter.
- Replace approximately 150 m long existing watermain along the Francis Road frontage.
- Replace approximately 150 m long AC sanitary main along the entire south property line, complete with new manholes per City spacing requirements.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- | | |
|---------------|---|
| To the north: | Across Francis Road, single detached dwellings on properties zoned “Single Detached (RS1/C)” and townhouse dwellings on a property zoned “Low Density Townhouses (RTL1)”. |
| To the south: | Single detached and duplex dwellings on properties fronting Glenbrook Drive zoned “Single Detached (RS1/E)”. |

To the east and west: Single detached dwellings on properties zoned “Single Detached (RS1/E),” which are designated “Arterial Road Townhouse” in the Arterial Road Land Use Policy.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on July 19, 2021. At the Public Hearing, the following concerns about rezoning the property were expressed; the applicant’s responses to the concerns are provided in *italics*.

1. Increased traffic

A Traffic and Parking Assessment Report has been submitted with the application. The study concludes that the proposed 25-unit townhouse development will have very minor impact on the traffic operations of the future road network; therefore, no traffic or parking issues would be expected. This report has been reviewed and accepted by Transportation department.

2. Construction impacts

Construction will follow City and other governmental regulations and guidelines, as well as industry standards; therefore, negative impact of construction will be prevented or minimized. In addition, prior to building permit issuance, the applicant will be required to submit a Construction Traffic and Parking Management Plan to the satisfaction of the City to mitigate impacts of heavy truck traffic during construction.

3. Neighbouring fences

All existing fences on the neighbouring properties will be maintained; a new fence will be installed on site abutting to the existing fences.

Staff have also received correspondence from a cyclist enquiring opportunity for cycling infrastructure improvements along Francis Road as part of the subject development permit application (Attachment 2). The suggestions are listed below with staff’s responses provided in *italics*:

1. Remove street parking and provide a bike lane in front of the development.

The implementation of cycling facilities in the City is guided by the Cycling Network Plan, the update of which was endorsed by Council on July 26, 2022. The Plan was developed based on extensive stakeholder and public engagements. In the Plan development, considerations were given to factors such as safety, connectivity, utility and convenience, feasibility, network gaps, and social equity. Francis Road, from No. 4 Road to west dyke, is identified as a future major cycling route in the Official Community Plan. Based on the work completed in the recent Cycling Network Plan update which identifies priorities for the next 15 years, this section of Francis Road falls outside of that 15-year priority list.

All townhouse developments are required to provide on-site off-street car parking facilities for residents and visitors. The Zoning Bylaw rates are 2.0 spaces and 0.2 spaces per dwelling unit for resident and visitor parking respectively.

2. Development to provide secure bike parking options for residents.

The proposed development features bicycle parking spaces in garages for residents and short-term bicycle parking for visitors by the mailbox kiosk located opposite to the entry driveway.

3. Minimize the number of driveways connecting to the road, and thus minimize the number of traffic conflict zones for cyclists.

A fundamental component of the City's Arterial Road Policy is to limit the number of driveway access points to arterial roads upon redevelopment. The subject development was able to consolidate the number of driveways from eight to one; a Statutory Right-of-ways (SRW) to provide shared cross access to future neighbouring developments is also secured as part of Rezoning.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Town Housing (ZT94) – Francis Road (Broadmoor)” zone.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, December 15, 2021, is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments.
- Three-storey units are proposed along Francis Road with building height stepped down to two-storeys and one-storey along the east and west property lines respectively to provide appropriate transition to the adjacent single-family homes.
- Two-storey units in duplex form as well as the outdoor amenity area are proposed along the rear (south) property line to minimize privacy and overlook concerns.
- The existing site grade along the rear (south) property line will be maintained to provide an appropriate transition to the adjacent single-family properties to the south and to accommodate tree retention on-site and on the neighbouring properties.
- The existing site grade along the east and west property lines will also be maintained, except that a retaining wall no taller than 0.3 m may be required at the east and west ends of the internal drive aisle.

- A 1.8 m tall wood fence will be installed along the east, west and south property lines to protect the privacy of the neighbouring single-family homes. This new wood fence would not replace the existing fences on the adjacent properties.
- Twelve existing trees on site and on the neighbouring properties, along the rear property line of the site, will be retained; and a variety of new trees will be planted along the rear property line to enhance the interfaces between the proposed townhouse development and the existing adjacent residential developments.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The site layout includes 25 townhouse units in nine buildings arranged on either side of a central east-west drive aisle.
- Units along Francis Road are designed to have a strong street presence with individual front entrances and yards; units along the rear (south) property line will have access from the internal drive aisle.
- All units will have two vehicle parking spaces in a side-by-side double car garage.
- A total of five visitor parking spaces, including one accessible visitor parking space, will be provided throughout the site. The number of visitor parking spaces proposed meets the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the zoning bylaw requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines of the OCP. All units will have private outdoor spaces consisting of a front or a rear yard; units fronting Francis Road will also have a second-storey Juliet balcony off of the living room, facing the drive aisle; and a third-storey Juliet balcony off of the master bedroom, facing the road. Rear units do not have balconies but feature larger outdoor spaces at grade.
- Outdoor amenity space is proposed opposite the site entry for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space facilitate tree preservation on site and are appropriate in providing an open landscape and amenity space convenient to all units. A mailbox kiosk with weather protection elements will be provided in the outdoor amenity space.
- No private indoor amenity space is proposed on site. A \$54,839.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- Two garbage, recycling and organic waste storage enclosures are proposed near the middle of the site flanking the entry driveway. The enclosures have been incorporated into the design of Buildings #1 and #2 to minimize visual impact.
- Vehicles servicing the site are able to complete a three-point turn in the drive aisle to enter and exit the site in a forward motion.

- Signage indicating that the driveway on the subject site may connect to the future adjacent townhouse developments is proposed to be installed at each end of the drive aisle so that future residents/owners/strata of the subject development are aware that they may be required to provide access to the east and west.

Architectural Form and Character

- A modern and contemporary architectural design is proposed for the subject site.
- Individuality of units is expressed through distinct architectural treatments for unit entrance, canopies, balconies, fin-walls, roof line features, as well as private landscaped patios/yards with fences and gates at front units.
- A pedestrian scale is generally achieved along Francis Road and the internal drive aisle through the inclusion of variation in building projections, recesses, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- The impact of blank garage doors along the internal drive aisle has been mitigated with panel patterned doors, unit entrances, and planting islands.
- The proposed building materials (asphalt roof shingles, Hardie panel & siding, wood fascia board and trim, cultured stone cladding, etc.) are generally consistent with the Official Community Plan (OCP) Guidelines.
- A palette of earth tone colours with bold coloured accents is proposed. Some metal and glass elements are selected to enhance the “modern and contemporary architectural” aesthetic.

Tree Retention and Replacement

- Tree preservation was reviewed at the rezoning stage.
 - A total of 32 bylaw-sized trees were identified on-site.
 - Five trees were noted on the neighbouring properties.
- Eleven trees (tag# 307, 308, 309, 312, 313, 314, 315, 316, 317, 318, and 319) were proposed to be retained and protected on site.
 - Trees # 307-309 are located within the proposed outdoor amenity space.
 - Trees 312-319 are located within the existing sanitary right-of-way along the rear property line. Through the review of the preliminary Servicing Agreement design, it was determined that the required sanitary main upgrades are in conflict with tree retention along the rear property line. Staff worked with the developers and accepted an alternative construction method (i.e., pipe bursting) in order to protect as many existing trees along the rear property line as possible. Trees #316 and #317 will need to be removed to accommodate the construction of the sanitary upgrades. The project arborist confirmed that the removal of these two trees would not impact the survival of the other existing trees along the rear property line.
 - Four additional replacement trees will be required for the proposed removal of the two Western Red Cedar trees (Trees # 316 & #317) based on the 2:1 tree replacement requirement.

- A survival security for the protected trees, in the amount of \$55,000.00, has been secured at Rezoning.
- A proof of contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones has been secured at Rezoning.
- 21 trees (tag# 301, 302, 303, 304, 305, 306, 310, 311, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, and 332) located on the development site are either dead, dying (sparse canopy foliage), have been previously topped or exhibit structural defects such as cavities at the main branch union and co-dominant stems with inclusions. As a result, these trees are not good candidates for retention and should be replaced.
 - Based on the 2:1 tree replacement ratio stated in the Official Community Plan (OCP), 46 replacement trees are required. The applicant is proposing to plant 30 replacement trees on-site, including four conifers and 26 deciduous trees.
 - The landscape architect confirmed that the current landscape plan maximizes on-site tree planting; the combination of existing and proposed trees lends itself to an improved urban realm; trees are proposed in locations to reduce the possibility of future damage.
 - The applicant has agreed to provide a voluntary contribution of \$12,000.00 to the City's Tree Compensation Fund in lieu of planting the remaining 16 replacement trees. A voluntary contribution in the amount of \$7,500.00 has been secured at Rezoning stage; the applicant has agreed to provide the remaining \$4,500.00 voluntary cash contribution prior to DP issuance.
- Five trees (tag# A, B, C, D, E) located on neighbouring properties are to be protected as per City of Richmond Tree Protection Information Bulletin Tree-03.

Landscape Design and Open Space Design

- The street edge along Francis Road will be defined with landscaping including various trees, shrubs and ground covers. Specimen conifer trees are being specified on the west and east ends of the frontage along Francis Road to provide a visual reference for the beginning and end of the project. A low 0.9 m tall transparent aluminum fence with gates will be installed along the road frontage to accommodate visually interesting plant species.
- Each unit along Francis Road will have a private front yard with an outdoor patio, shade tree, and shrub/groundcover planting to generate animation along the streetscape. The front yards will be separated with a low privacy screen with landscaping to provide privacy for individual units.
- Landscape pockets with small trees and shrubs will be provided along the main east-west internal drive aisle.
- The location of outdoor amenity space provides easy access and visual transparency and surveillance for the townhouse residents. A children's play area, mailbox kiosk and visitor bicycle parking are included in the outdoor amenity space.
- A multi-functional play structure and a play house are proposed within the outdoor amenity area. These play structures/elements are chosen to fit into the provided space and to allow multiple children to play at the same time.

The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. A bench is also proposed in the children's play area for caregivers.

- Permeable pavers with decorative pattern will be used on all surface parking spaces and the internal driveway except concrete paving is proposed at the internal road intersection and dead ends to break up the expansive paved surface on-site.
- An on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$227,750.60 in association with the Development Permit.

Crime Prevention Through Environmental Design

- The site plan and individual unit layout create opportunity for passive surveillance.
- The private open yard spaces are defined by fence and shrubs. Fencing adjacent to the streets are low and transparent, providing visual connection over the street from the private yards.
- Low-level landscape lighting is proposed in the outdoor amenity area; wall-mounted lights are provided along the building faces to enhance visual supervision from windows and balconies located along the internal drive aisle. Shielded, downward-facing lighting will be used at the south elevations of the duplex buildings, adjacent to the neighbouring single-family homes.

Sustainability

- The project will be designed to meet Step Code 2 requirements of the BC Energy Step Code with a low-carbon energy system.
- Energy Star appliances, low flush toilet, low flow shower head and energy efficient lighting (LED) will be provided.
- High efficient air source heat pump system will also be provided; condenser units for the street fronting units will typically be located on the balconies facing the internal drive aisle, and the condenser units for the rear units will be located between the duplex buildings.
- Level 2 EV charging is provided in each garage as per Richmond Zoning Bylaw 8500.

Accessible Housing

- The proposed development includes three convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a chair lift (where the staircase has been dimensioned to accommodate this) in the future, if desired.

- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2
(604-276-4121)

EL:js

- Att. 1: Development Application Data Sheet
 2: Correspondence Received
 3: Excerpt from Advisory Design Panel Meeting Minutes (October 7, 2020)
 4: Development Permit Considerations



DP 21-934415

Attachment 1

Address: 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road

Applicant: Zhao XD Architect Ltd.

Owner: 1125640 BC Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 4,356 m² (46,896.9 ft²)

Floor Area Net: 3,016 m² (32,464.4 ft²)

	Existing	Proposed
Site Area:	5,027 m ²	No change
Land Uses:	Single detached homes	Townhouses
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E)	Town Housing (ZT94) – Francis Road (Broadmoor)
Number of Units:	8 single detached homes	25 townhouses

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.6	0.6	none permitted
Lot Coverage – Building:	Max. 40%	40%	None
Lot Coverage – Non-porous Surfaces:	Max. 65%	64.4%	None
Lot Coverage – Landscaping:	Min. 25%	25.0%	None
Setback – Front Yard:	Min. 4.5 m	4.5 m	None
Setback – Side Yard (East):	Min. 3 m	3.0 m	None
Setback – Side Yard (West):	Min. 3 m	3.0 m	None
Setback – Rear Yard:	Min. 6 m	6 m	None
Height (m):	Max. 12 m	12 m (3 storeys) along Francis Road and 9 m (2 storeys) along south property line	None
Lot Size:	None	5,027 m ²	None
Lot Width:	Min. 40.0 m	150.0 m	None
Lot Depth:	Min. 33.0 m	33.5 m	None
Off-street Parking Spaces – Residential (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	None

Total off-street Spaces:	50 (R) and 5 (V)	50 (R) and 5 (V)	None
Off-street Parking Spaces – Accessible:	Min. 2% when 11 or more spaces are required (50 x 2% = 1 spaces)	1	None
Small Car Parking Spaces:	Max. 50% when 31 or more spaces are provided on-site (55 x Max. 50% = 27)	15 spaces (i.e. 28%)	None
Tandem Parking Spaces	Max. 50% of proposed residential spaces in enclosed garages (50 x Max. 50% = 25)	None	None
Bicycle Parking Spaces:	1.25 (Class 1) and 0.2 (Class 2) per unit	2.0 (Class 1) and 0.2 (Class 2) per unit	None
Bicycle Parking Spaces – Total:	32 (Class 1) and 5 (Class 2)	50 (Class 1) and 5 (Class 2)	None
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6 m ² per unit (25 x 6 m ² = 150 m ²)	150 m ²	None

ATTACHMENT 2

From: Jesse Li <jesse.li2002@gmail.com>

Sent: August 16, 2022 11:30 PM

To: DevApps <DevApps@richmond.ca>

Subject: Regarding development and rezoning applications on Francis Rd

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

Hi there,

As a cyclist in Richmond, I would like to note that Francis Rd is an informal cycling route used by cyclists, and that there is an opportunity to work with developers to enable cycling infrastructure improvements along this route.

In particular, for the townhouse redevelopments/rezonings planned at 9371 Francis Rd and 9200 Francis Rd, I would like to see the following considerations made by the developers:

- To rely on off-street parking rather than on-street parking, so that residents do not need on-street parking and so the space occupied by a parking lane may later be reallocated towards a bike lane
- To provide secure bike parking options for residents, such as a shared bike cage
- To minimize the number of driveways connecting to the road, and thus minimize the number of traffic conflict zones for cyclists

Best regards,
Jesse Li

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, December 16, 2021 – 4:00 p.m.
Remote (Webex) Meeting

1. DP 21-934415 – 25-UNIT ARTERIAL ROAD TOWNHOUSES

ARCHITECT: Zhao XD Architect Ltd.

LANDSCAPE ARCHITECT: van der Zalm + Associates

PROPERTY LOCATION: 9200-9340 Francis Road

Applicant's Presentation

Architect Xuedong Zhao, Zhao XD Architect Ltd. and Landscape Architect Travis Martin, van der Zalm and Associates, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the materials package and presentation of the project by the applicant which are easy to follow and informative; also appreciate the project's landscape plan;
- support the choice of planting materials for the project;
- appreciate the retention of existing mature trees on the site; the applicant should ensure that the location of structures in the shared outdoor amenity area will not impact the root protection zone;

Configuration and design of the outdoor amenity area has been revised. The designs have been made based on arborist's report and instructions to make sure that tree roots are well protected with required TPZs.

- the applicant should provide more details on the diagrams to show how the various landscape elements and structures fit together in the shared outdoor amenity area;

Configuration and design of the outdoor amenity area has been revised. The shared outdoor amenity area is centrally located and regular in shape for easy use and design. The landscape plans including a number of plans show the placements of various landscape elements and structures which fit together for the area, as well as detailed drawings/diagrams for the landscaping features as proposed.

- appreciate the landscaping for the spaces between the buildings; however, the applicant should carefully select the plant materials for these spaces to ensure their survivability; look at precedents in similar projects in the city;

The selected plants such as Polystichum munitum, Kalmia latifolia, Skimmia japonica can fit well in partial shaded area suitable for the spaces between buildings.

- consider removing the hydropressed stepping slabs along the south side of the shared outdoor amenity area as they are not useful and replacing them with a hedge in order to provide privacy for residents of adjacent properties;

The stepping slabs (stones) are removed; shrubs are proposed instead.

- the applicant needs to clarify whether there is provision for an elevator or chairlift for the convertible units;

Chairlift is proposed for convertible units.

- the two garbage and recycling rooms on both sides of the driveway may not be necessary; the applicant is encouraged to consult with City staff whether one garbage and recycling room on one side would be sufficient;

The size of each garbage/recycling closet is not sufficient for all townhouse units. The two separate garbage/recycling closets make them more convenient to use as townhouse tenants do not need to cross busy driveway entrance to reach garbage/recycling closet on their side.

- review the location of the PMT at the west end of Building 1 as it appears not viable from cost and technical perspectives; consider relocating the PMT to a more central location in the site;

The PMT is relocated.

- also consider relocating the parking stall adjacent to the shared outdoor amenity area to the space that will be vacated by the PMT to add more usable space for the shared outdoor amenity area;

Parking stall adjacent to the outdoor amenity area is relocated.

- consider installing a significant tree on the west and east ends of the frontage along Francis Road to provide a visual reference for the beginning and end of the project;

The building development as a whole has already been providing significant “visual reference for the beginning and end of the project”, so that any additional “visual reference” is not necessary in considerations for the development impact to the neighbourhood. Planting setbacks are required from the existing catch basin and light poles. Larger specimen conifer trees are being specified to provide year-round interest along the frontage.

- consider increasing the size of windows, particularly on the third floor of the three-storey buildings to provide better living conditions inside the building and a create a softer look on the exterior of the buildings;

Window sizes facing interior driveway are limited per Building Code for “limiting distance” requirements which must be complied with for fire safety, so that the window sizes cannot be increased. The sizes of the window are proper in respect to bedroom sizes on the third floors.

- the applicant could have better explained the project through more detailed renderings;

The color perspective/renderings are provided with all necessary detailing.

- the front façades of three-storey units facing Francis Road need improvement particularly on the ground floor where the garage window is located to enhance the pedestrian experience along the street; also, the applicant needs to clarify the type of garage window that is proposed, e.g. whether it is a false or usable window;

Garage windows facing the Francis Road as currently proposed were enlarged/improved per City comments already. They are real useable windows. There are landscaping features at front including plants that will hide big portion of the windows so that the design is considered adequately to enhance the pedestrian experience along the Francis Road.

- consider relocating the heat pumps from the front yards of the three-storey units to the rear, e.g. at the balconies facing the internal drive aisle;

Heat pump condensers are relocated away from front yard.

- the architectural plans show a lot of projections and articulations on the buildings; the applicant needs to ensure that their heights and alignments to the driveway will not impact the circulation of the garbage and fire trucks;

As shown on overall 2nd Floor Plan, there is no building projection into required width for internal drive aisle. The clear height available for the driveway aisle is more than 5M required for emergency vehicles or garbage and fire trucks.

- the applicant should further coordinate with their mechanical consultant at the Building Permit stage to ensure a cohesive heating/cooling system which includes the use of air source heat pumps and electric baseboards;

More design in detail and coordination will be made during Building Permit drawing stage.

- the applicant should ensure that landscape elements such as the wood trellis over the mailbox will not impact the root protection zone of retained trees in the shared outdoor amenity area;

Mailbox has been relocated away from TPZ.

- appreciate the provision of wall blocking for the washrooms of all townhouse units; also appreciate the provision of ramp access to the children's play area for strollers, walkers and wheelchairs;
- proposed space for stairlift for the convertible units meets functional requirements; however, consider integrating stacked closets to better accommodate future installation of an elevator;

Stair lift is proposed for the two-storey convertible units. Elevator/lift is not selected so that stacked closets are not proposed for this project.

- consider installing pre-wiring for automatic doors at entrances of townhouse units;

There are already enough space around Unit entrance doors in compliance with accessibility requirements, pre-wiring should be installed only if the space is limited at entrance door area.

- consider installing electrical outlets and switches that are positioned between 18 to 42 inches from ground level to make them more accessible;

Outlets and switches will follow the notes shown on the Convertible Units plans, as well as the Building Code requirements.

- appreciate the accessibility of the garbage and recycling rooms;
- consider assigning mail boxes for convertible units which are between 20 to 40 inches above ground level to make them accessible;

Most of the mailboxes will be in this height range so that mailbox assignment for accessibility use should be well provided.

- consider minor changes to the architectural elements along Francis Road to create a bit of playfulness and animation along the front façade and break down the repetitiveness of buildings and units, e.g. through introducing more variations to the height of the feature element on the front façade of the buildings along Francis Road

The intent is achieved with color improvements. The color for Building 2 is "flipped" from what was proposed and new colors are reversed to contrast with rest of Buildings facing Francis Road.

- consider increasing the separation between Buildings 2 and 3 to highlight the visual separation of the two buildings;

More than 2M is provided between Buildings 2 and 3. Additional architectural treatment such as "vertical fin wall" is used to visually separate two buildings. Revision of building color also enhance a "visual separation".

- support the choice of colour palette for the buildings; does not support the suggestion to introduce additional colours as more colours would create too much of a hodge podge of colours;

Limited number of color is used.

- investigate opportunities for introducing taller plantings along the frontage to provide more buffer between the sidewalk and the buildings and add more variety in landscaping;

Tall trees are already proposed in the front yard for the buildings facing Francis Road, which create a certain buffer between the sidewalk and the buildings, while adequate visual transparency is still maintained. Larger specimen conifer trees are being specified to provide year-round interest.

- not concerned with the proposed modern architecture of the project as the neighbourhood is changing;
- appreciate the design of the shared outdoor amenity area and the retention of mature trees; also appreciate the three-storey units stepping down to two-storeys to provide an appropriate interface with neighbouring single-family homes;
- appreciate the retention of trees on portions along the south side of the subject site which will mitigate solar gain for the two-storey buildings; however, there is potential for significant solar gain on the second floor windows facing south; consider installing fixed horizontal shading for these windows to reduce their solar exposure;

Roof eaves are projected above the second floor windows to limit the solar gain.

- the project's proposed mechanical system is not clear and confusing; a condensing unit and a heat pump are noticeably different and the combined costs of an air-conditioning system and electric baseboard for heating do not make sense; consider consolidating the mechanical system for heating and cooling into an air source heat pump together with the heat recovery ventilators which would allow the project to reduce costs and achieve BC Building Step Code 3;

The condenser unit is an outdoor part of heat-pump, while electrical base board is often used to supplement and compensate any required additional HVAC load per Building Code requirements. Details to be determined at Building Permit stage.

- recommend that the applicant consult with and get the approval of the Fire Department regarding the proposed location of the fire hydrant;

New fire hydrant is proposed at an appropriate location for fire-fighting use. The design including access route has been reviewed by Fire Department.

- the proposed Juliet balconies will get some thermal bridging and will impact the energy performance of the building; consider detailing the Juliet balconies so they can be insulated;

Thermal bridge for the railings of Juliet balconies is minimized through surfaced mounting on projected eave fascia board distant from wall insulation location.

- consider installing natural barriers around the children's play area to enhance the safety of children as it is located in close proximity to the internal drive aisle;

The outdoor amenity area and children's play area have been further improved. Adding a natural barrier between the drive aisle and play area is not possible with the current fall zones. However, the play equipment for younger children is placed away from the drive aisle. Additionally, seating is provided with good vision to children and vehicles and can be used by parents to improve the safety of those using the space.

- review the design of the shed roof at the west end of Building 1 where the PMT is located as it is not consistent with the design of the project;

The sloped roofs were introduced to ease the transitions between the “modern” style development and existing neighboring home character (dominantly with sloped roof).

- the wide frontage of the site presents an opportunity to enhance the street presence of townhouse units along Francis Road; consider introducing subtle changes in the vertical elements of the buildings and a different colour for each front door of the townhouse units to help break down the repetitiveness of the front façade and enhance the individuality of each unit;

The intent is achieved with color improvements on claddings. The color for Building 2 is “flipped” from what was proposed, and new colors are reversed for more contrast with rest of Buildings facing Francis Road.

- the massing and overall scale of the project is well done considering the constraints of the tight and narrow site;
- support Panel comments to add more diversity between buildings and units, e.g. through changes in materials and colours;

See similar response above with color improvements.

- consider increasing the opening of the site entrance; the two garbage and recycling stations could be consolidated;

See similar response above.

- the applicant needs to show the relationship and overall match between the character of the buildings and the landscape along Francis Road; more detailed plans showing one block of frontage fence and entry signage should be added in the materials package in future stages of consideration of the project;

Landscape drawings LD-02 and LD-03 show details for these items. Detail 1 on Sheet LD-02 shows the design of front gate and fence in modern style that is consistent to the character of the buildings.

- the rear elevation of the two-storey duplex buildings facing existing single-family homes is interesting as it looks almost identical to the front façade of three-storey units facing Francis Road; however, consider introducing some changes in the rear elevation of the two-storey units to reduce the abrupt transition to single family homes to the south, e.g. through reducing the size of windows on the second floor in order to address potential overlook and solar gain concerns;

The sloped roof introduced to the rear duplex buildings has addressed the concern on “abrupt transition” to single family homes on the south and it’s a great improvement. The existing trees along the south property line will help ease this transition. Additionally, trees are being proposed in yards that do not have existing trees, which will grow to screen views to and from the neighbours. Hedges are planted where they can be along the property line, which will eventually grow to create a soft transition.

- consider integrating rainwater leaders from Buildings 4-9 with the open spaces between units which could function as rainwater infiltration or conveyance areas and tie in with the larger storm water management system on the subject site; the approach could help the overall landscape function more naturally;

Gravels and other soft landscaping surface materials are used for these spaces between the Buildings 4-9 for better rainwater infiltration. The drain tiles collecting rainwater around buildings as well as the rainwater from roofs via rainwater leaders can be integrated and managed with the storm water drainage system, where infiltration is achieved through perforated weep tiles.

- consider replacing the proposed Japanese Cedar trees along the south side of the internal drive aisle with an appropriate species of deciduous trees (e.g., birch tree) that would grow well in a shady and wet area, allow more sunlight penetration into the space between units during winter, and compliant with the stormwater feature of the internal space;

Japanese Cedar has been revised to Quercus palustris 'Green Pillar' / Green Pillar Oak, which would be good tolerate to wet soil / rain garden and in tight space.

- appreciate the proposed planting with lots of contrast and variation; however, planting layouts in the materials package are difficult to read;

Enlarged planting plans provided.

- the landscape architect needs to review with City staff the proposed landscaping within the Right-of-Ways (ROWs) on the subject site to ensure it will not conflict with the City's intended use of the ROWs;

Landscaping design within the city's ROW has been revised.

- the two proposed play equipment will have limited play value to only a few children; consider redesigning the children's play area to maximize its play value and allow more users, e.g. through incorporating a lawn; and

Two new play structures have been incorporated in this design. The equipment targets different age groups, has multifunctional features, and allows multiple children to play at the same time.

- appreciate the provision of a raised wood deck in the shared outdoor amenity area which is not common in similar developments; however, the applicant should ensure that the root protection zone will not be impacted.

Deck has been removed from the design based on revised arborist report and updated tree protection schemes.

The following written comments submitted by Panel member Kelly Riopelle were read into the record by Virendra Kallianpur, Staff Liaison: support the massing of three storeys along Francis Road and two storeys behind;

- support contemporary expression to provide a mix of architectural expressions in the neighbourhood;
- appreciate the cultured stones and red doors at pedestrian scale and breaks between Buildings 1, 2 and 3;
- consider flipping colour palette of Building 2 with the same materials to better contrast against Buildings 1 and 3 and aligned with City of Richmond guidelines;

ADP's suggestion is taken for color improvements to Building 2, where the colors are "flipped" in comparison to other buildings on its east and west.

- applicant needs to confirm no unpainted clear aluminum trims will be used and all trims will be colour matched to adjacent materials to ensure optimal architectural expression of the buildings; and

All trims/flushing will match the cladding for color. No clear aluminum trim will be used.

- convertible unit M to future accessible needs appear reasonable although it is almost identical to unit H.

Panel Decision

It was moved and seconded

That DP 21-934415 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



City of
Richmond

ATTACHMENT 4

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road

File No.: DP 21-934415

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Receipt of a Letter of Credit for landscaping in the amount of \$227,750.60 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
2. City acceptance of the developer's offer to voluntarily contribute \$4,500 to the City's Tree Compensation Fund for the planting of replacement trees within the City.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed _____

Date _____



City of Richmond

Development Permit

No. DP 21-934415

To the Holder: Zhao XD Architect Ltd.

Property Address: 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road

Address: 11181 Voyageur Way, Suite 255,
Richmond, BC V6X 3N9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #31 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$227,750.60 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 21-934415

To the Holder: Zhao XD Architect Ltd.

Property Address: 9200, 9220, 9240, 9260, 9280, 9300, 9320, 9340 Francis Road

Address: 11181 Voyageur Way, Suite 255,
Richmond, BC V6X 3N9

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

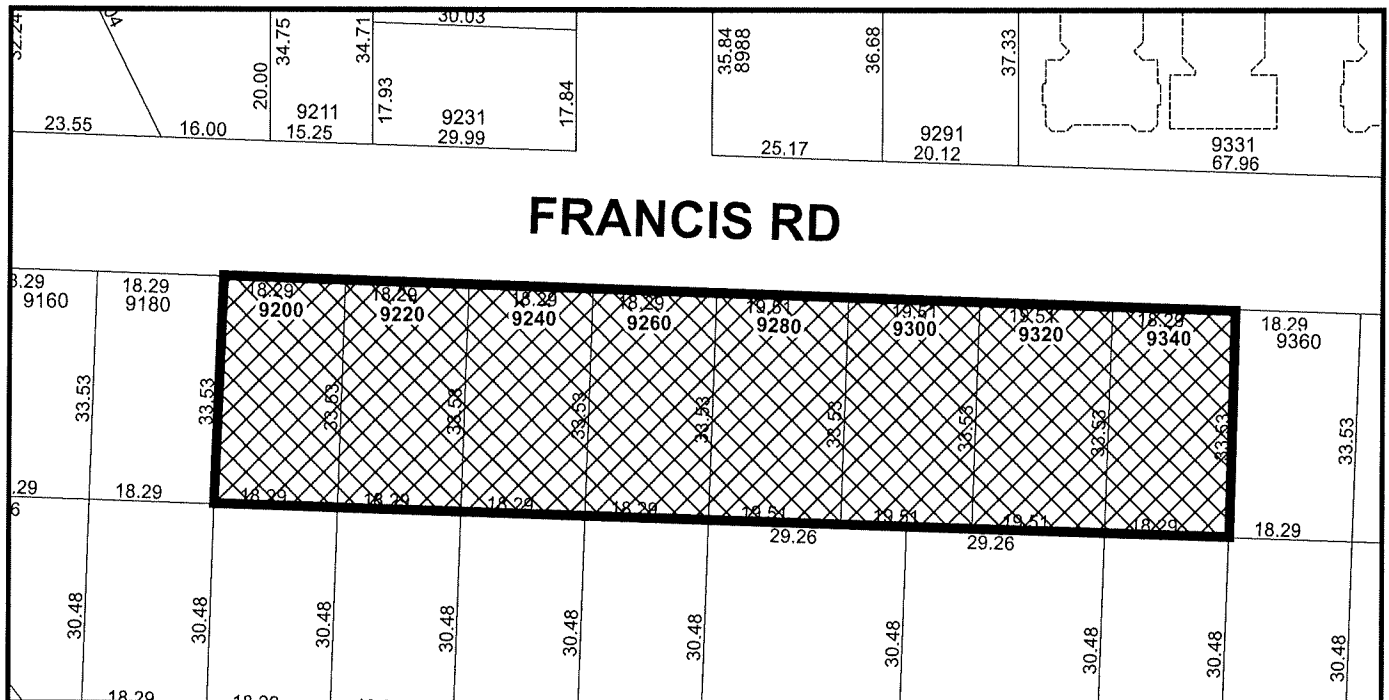
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 21-934415
SCHEDULE "A"

Original Date: 06/24/21

Revision Date:

Note: Dimensions are in METRES



ZHAO XD ARCHITECT LTD.
www.zhaoarch.com Tel: 604 275-8882

ISSUED ON MAR. 22, 2023 FOR CITY COMMENTS & DPP



25-UNIT TOWNHOUSE DEVELOPMENT
 9200 - 9340 FRANCIS ROAD, RICHMOND, BC

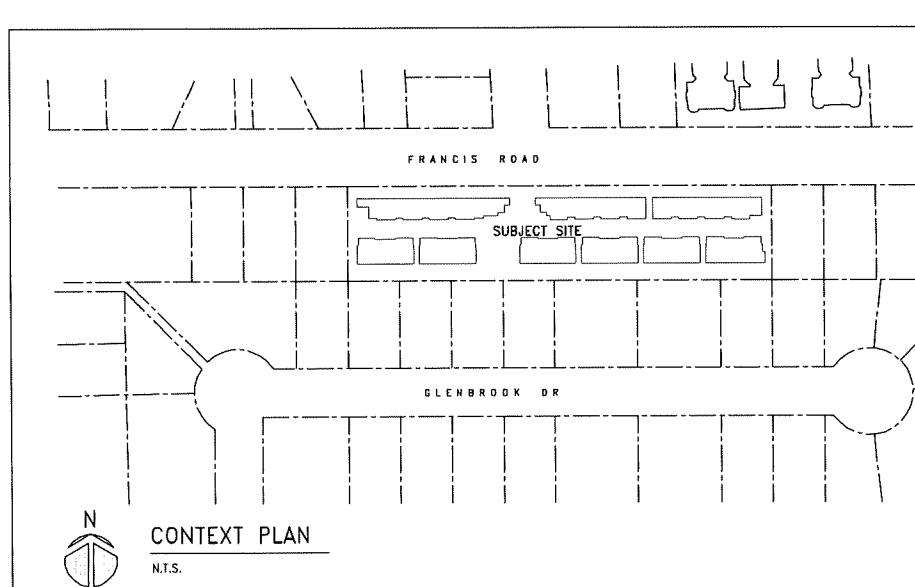
DP 21-934415

June 5, 2023

PLAN #1 (NOTES: SEE TO SCALE AND GATES)



25-UNIT TOWNHOUSE DEVELOPMENT
9200 - 9340 FRANCIS ROAD, RICHMOND, BC



BAY WINDOW NOTES:

BAY WINDOW SEAT MIN. 2' ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE.

F.A.R. CALCULATION: LOT AREA: 54128.5 SQ.FT.

F.A.R. (0.6):	FAR =	32465.3	SQ.FT.
UNIT 'A'	1305.8	SQ.FT. X 5	6529.0 SQ.FT.
UNIT 'A' (MIRROR)	1305.8	SQ.FT. X 4	5223.2 SQ.FT.
UNIT 'A1'	1305.8	SQ.FT.	1305.8 SQ.FT.
UNIT 'H'	1291.2	SQ.FT. X 5	6456.0 SQ.FT.
UNIT 'H' (MIRROR)	1291.2	SQ.FT. X 4	5164.8 SQ.FT.
UNIT 'M'	1307.1	SQ.FT. X 2	2614.2 SQ.FT.
UNIT 'M' (MIRROR)	1307.1	SQ.FT.	1307.1 SQ.FT.
UNIT 'U'	1230.6	SQ.FT.	1230.6 SQ.FT.
UNIT 'V'	1317.4	SQ.FT.	1317.4 SQ.FT.
UNIT 'W'	1317.2	SQ.FT.	1317.2 SQ.FT.
TOTAL PROPOSED = (0.6 FAR) 32465.0 SQ.FT.			

* CONVERTIBLE UNITS

SUSTAINABILITY STRATEGY

A. Building Design for Energy Saving

Sustainability strategy has been taken for the proposed development including the energy saving with the study and proposal by Certified Energy Advisor (CEA). All 6 buildings in the proposed development have been reviewed by CEA and the design is proposed to achieve BC Energy Step Code requirements based on development Climate Zone, heated floor space, and the presence of cooling system, etc.

- Reductions of air leakage will reduce heating and cooling costs, with heat recovery ventilators (HRV) or equivalent providing fresh air to each townhome unit.
- Thicker wall insulations are provided to reduce heat loss.
- Increased insulation below concrete slabs, in walls, roof, and exposed floors will improve the thermal performance of each building when compared to the standard house used to be built.
- Power outlet in private garage for charging electric cars is also featured in the design.
- Energy Star windows with low-E-glazing or equivalent.
- Climate-based automatic irrigation controls will minimize the use of water on site.
- Locally sourced materials reduce exhaust and fuel consumption.
- Pre-ducting within building for future solar energy panels.
- Buildings are located and windows are placed to maximize natural light and ventilation.
- High efficient air source heat pump system is proposed, and this will save the heating and cooling energy.
- All interior and exterior lights to be LED light bulbs.
- Bath room fans to have low noise level and Energy Star.
- Building and site lighting will provide safe light levels while avoiding offsite light spillage and night-sky lighting.
- Low energy appliances will be installed in all units (such as "Energy Star" rated appliances).

B. Building Materials for Long Lasting and Easy Maintenance

- Building elevations use Hardie siding products to provide a durable and aesthetic look with easy maintenance.
- Rain screen system prevents material rot to the wall sheathing.
- Air tight seal to all spaces with blow test verification as according to Certified Energy Advisor.
- Low VOC paint will be used for townhouse unit interiors for good indoor quality.

AGING IN PLACE FEATURES FOR ALL UNITS:

- SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS.
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- BLOCKING TO STAIR WALLS FOR FUTURE LIFT INSTALLATION

DEVELOPMENT DATA

ADDRESS: 9200, 9220, 9240, 9260, 9280, 9300, 9320 & 9340 FRANCIS ROAD
LEGAL DESCRIPTION: LOTS 257 AND 258 PLAN 35222 AND LOTS 89 TO 94 PLAN 34103 ALL OF SECTION 27 BLOCK 4 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT
P.I.D. NUMBERS: P.I.D. 004-344-979 P.I.D. 007-150-946 P.I.D. 003-486-109 P.I.D. 002-262-398 P.I.D. 007-009-411 P.I.D. 003-598-772 P.I.D. 006-127-690 P.I.D. 004-305-531
PLANNING AREA(S): D6 BROADMOOR / ARTERIAL ROAD POLICY

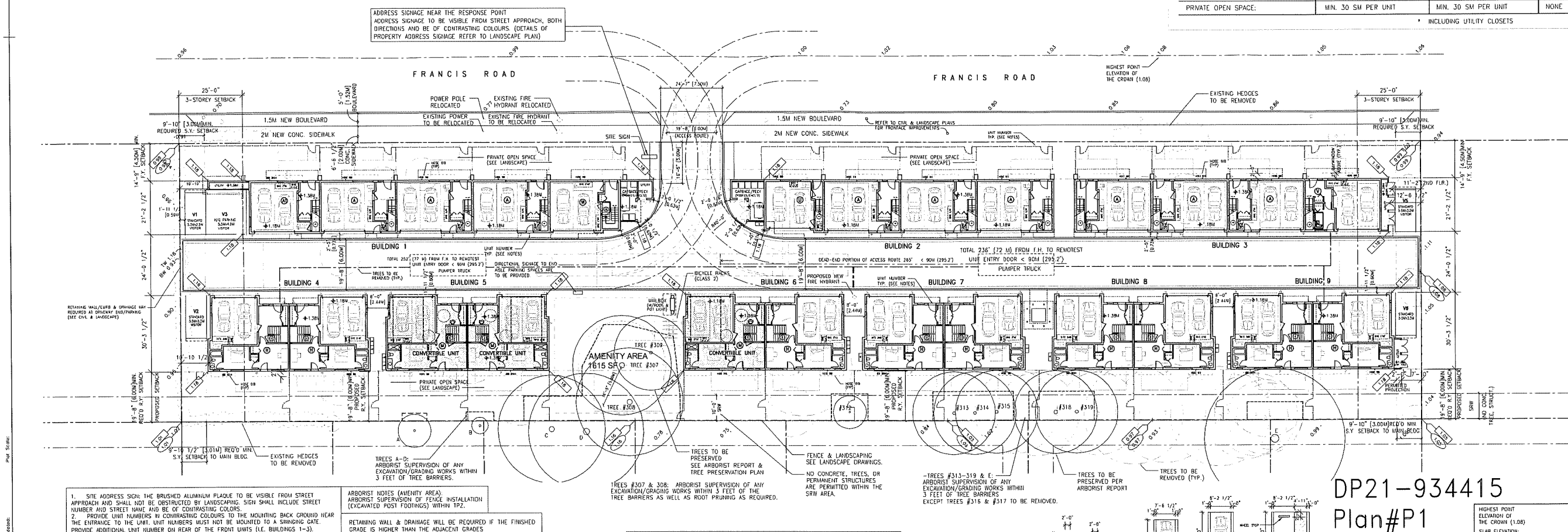
	EXISTING	PROPOSED
SITE SIZE (SM):	5027 SM (54108.9 S.F.)	5027 SM (54108.9 S.F.)
LAND USES:	SINGLE-FAMILY RESIDENTIAL	TOWNHOUSE
OCP DESIGNATION:	NEIGHBOURHOOD RESIDENTIAL	NEIGHBOURHOOD RESIDENTIAL
AREA PLAN DESIGNATION:	OCP ARTERIAL ROAD POLICY	OCP ARTERIAL ROAD POLICY
ZONING:	SINGLE DETACHED (RS-1E)	TOWN HOUSING (T194)
NUMBER OF UNITS:	8	25

	BYLAW REQUIREMENT	PROPOSED	VARIANCE
FLOOR AREA RATIO:	0.60 (32465.3 SF)	0.60 (32465.3 SF)	
LOT COVERAGE - BUILDING:	MAX. 40% (21643.6 SF)	40% (21516.4 SF)*	NONE
LOT COVERAGE - LIVE LANDSCAPING:	MIN. 25% (13527.2 SF)	25% (13527.2 SF)	NONE
LOT COVERAGE - NON-POROUS AREA:	MAX. 65% (35170.8 SF)	64.4% (35170.8 SF)	NONE

SETBACK - FRONT SETBACK (NORTH):	MIN. 4.5M	4.5M	NONE
SETBACK - EAST SIDE YARD:	MIN. 3.0M	3.0M	NONE
SETBACK - WEST SIDE YARD:	MIN. 3.0M	3.0M	NONE
SETBACK - REAR YARD (SOUTH):	MIN. 6.0M	6.0M	NONE
HEIGHT:	12M (3 STOREYS)	12M (3 STOREYS)	NONE
LOT SIZE (MIN. DIMENSIONS):	(MIN. 40M WIDE) (MIN. 33M DEEP)	150M WIDE 33.53M DEEP	NONE NONE

RESIDENTIAL PARKING SPACES:	50 SPACES (2/UNIT)	50 SPACES (2/UNIT)	NONE
VISITOR PARKING SPACES:	0.2 SPACES/ UNIT= 5	5 SPACES	NONE
OFF-STREET PARKING SPACES-TOTAL:	55 SPACES	55 SPACES	NONE
ACCESSIBLE VISITOR PARKING SPACE:	2% OF TOTAL REQ'D STALLS	1 SPACE	NONE
STANDARD SIZE PARKING SPACES:	50% SPACES = 25 SPACES	34 SPACES	NONE
TANDEM PARKING SPACES:	MAX. 50% OF TOTAL PARKING	0 SPACES	NONE
EV CHARGING EQUIPMENT:	LEVEL 2 EV CHARGING OUTLETS	PROVIDED PER REQUIREMENTS	NONE
BICYCLE PARKING SPACE-CLASS-1:	1.25 SPACES PER UNIT	2 SPACES PER UNIT	NONE
BICYCLE PARKING SPACE-CLASS-2:	0.2 SPACES PER UNIT	5 SPACES	NONE
AMENITY SPACE - INDOOR:	MIN. 50 SM OR CASH-IN-LIEU	CASH-IN-LIEU	NONE
AMENITY SPACE - OUTDOOR:	MIN. 6 SM PER UNIT	1615 SF (6 SM PER UNIT)	NONE
PRIVATE OPEN SPACE:	MIN. 30 SM PER UNIT	MIN. 30 SM PER UNIT	NONE

* INCLUDING UTILITY CLOSETS



DP21-934415
Plan#P1

Plan#P1

AVERAGE EXISTING GRADE CALCULATION:
(0.99+0.99+1.05+1.01)/4= 1.00

LEGEND:
FINISHED GRADE ELEVATION
EXISTING GRADE ELEVATION

DP 21-934415

June 5, 2023

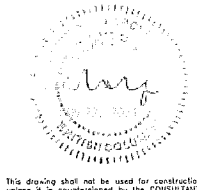
PLAN #3



ZHAO XD
ARCHITECT
LTD.

#255-11181 Voyager Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1736

Email: info@zhaoarch.com
Web: zhaoarch.com



This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

15 MAY/23	CITY COMMENTS/OPP
15 DEC/22	CITY COMMENTS/OPP
29 SEP/22	CITY COMMENTS/OPP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
10 JUN/20	REZONING APP
Date:	Issued For:

A	DETAIL NUMBER
B	LOCATION SHEET
C	DETAIL SHEET

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Project:

TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

SITE PLAN &
DATA

Date:

Scale:

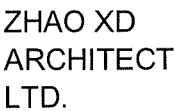
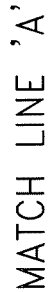
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Checked By:

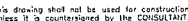
Project No.:

Drawing No.:

A1



Email: info@zhaoarch.com
Web: zhaoarch.com



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TOWNHOUSE DEVELOPMENT

SITE PLAN
(ENLARGED)

Drawing No.

A1.1

PLAN #4

June 5, 2023



ZHAO XD
ARCHITECT
LTD.

#255-11181 Voyaguer Way,
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Web: zhaoarch.com



This drawing shall not be used for construction
unless it is countersigned by the CONSULTANT.

15 MAY/23	CITY COMMENTS/DPP
15 DEC/22	CITY COMMENTS/DPP
29 SEP/22	CITY COMMENTS/DPP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
10 JUN/20	REZONING APP

Date: Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:

TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

SITE PLAN 2
(ENLARGED)

Date:

Scale:

Drawn By:

Checked By:

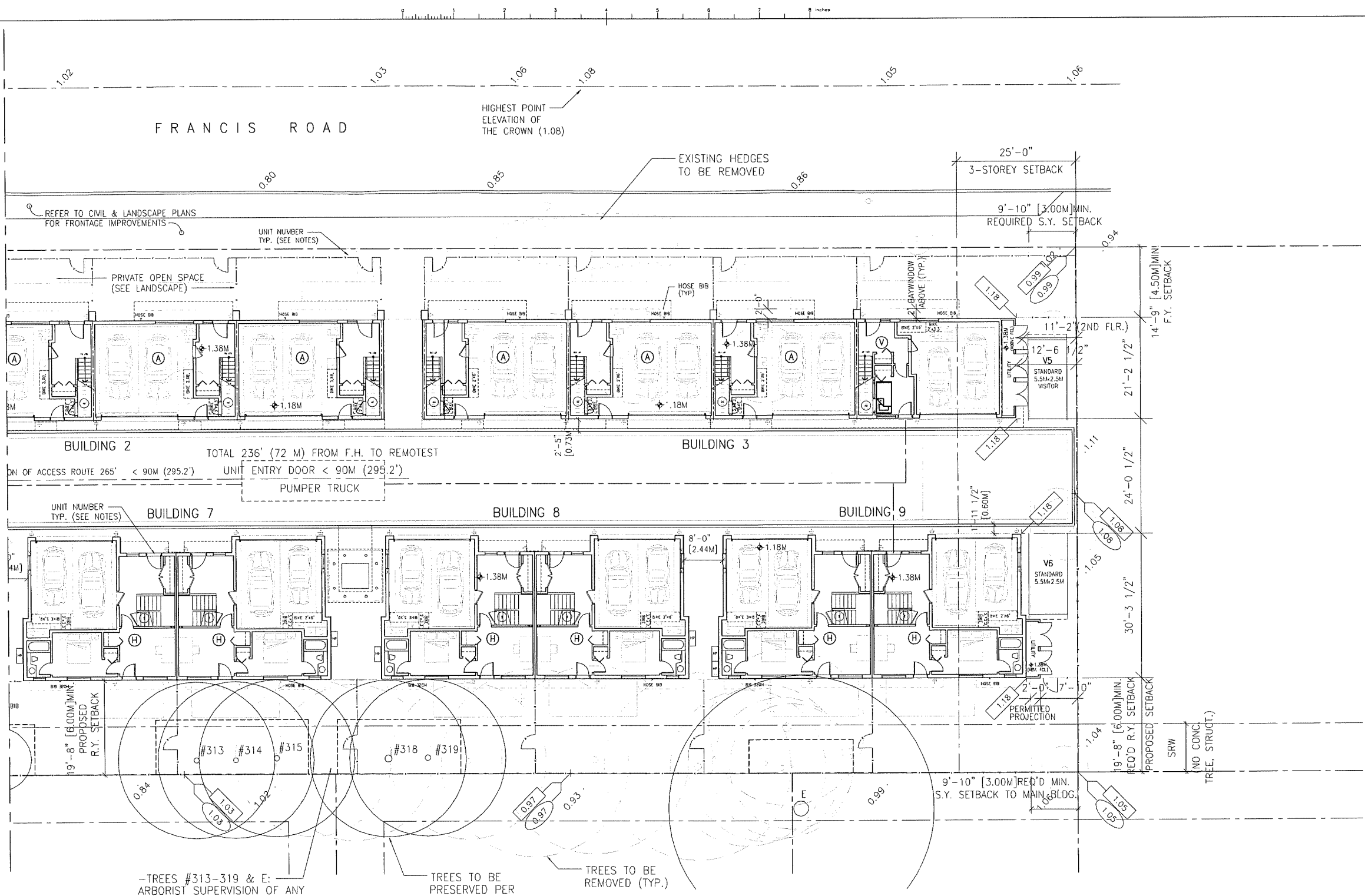
Project No.:

Drawing No.:

A1.2

PLAN #5

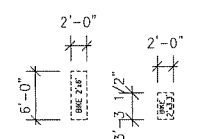
MATCH LINE 'A'



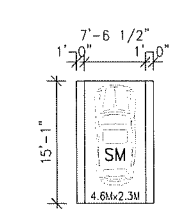
-TREES #313-319 & E:
ARBORIST SUPERVISION OF ANY
EXCAVATION/GRADING WORKS WITHIN
3 FEET OF TREE BARRIERS
EXCEPT TREES #316 & #317 TO BE REMOVED.

TREES TO BE
PRESERVED PER
ARBORIST REPORT

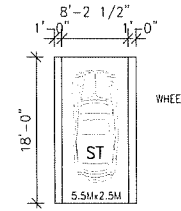
TREES TO BE
REMOVED (TYP.)



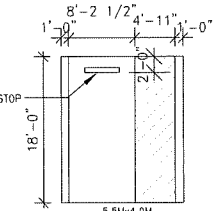
CLASS 1 & CLASS 2
BICYCLE PARKING STALLS.



SMALL CAR STALL



STANDARD CAR STALL



ACCESSIBLE STALL

PARKING DIMENSIONS

SCALE: 1/8"=1'-0"

AVERAGE EXISTING GRADE CALCULATION:
(0.98+0.99+1.05+1.01)/4= 1.00

HIGHEST POINT
ELEVATION OF
THE CROWN (1.08)
SLAB ELEVATION:
AVERAGE GROUND ELEVATION 1.38 M

LEGEND:
ELEV2 FINISHED GRADE ELEVATION
ELEV2 EXISTING GRADE ELEVATION

- ALL INDOOR PARKING SPACES WILL BE PROVIDED WITH LEVEL 2 EV CHARGING
OUTLETS (208V TO 240V AC AND CURRENT OF 16A TO 80A).
SEE SITE PLAN AND BUILDING LAYOUT FOR THE LOCATION OF ALL EV CHARGING EQUIPMENT.
- DIRECTIONAL SIGNAGE FOR VISITOR PARKING AT THE FAR ENDS OF THE SITE SHOULD BE PROVIDED.
- VISITOR PARKING TO BE MARKED WITH SIGN PER CITY ZONING BYLAW 7.5.14 TO 7.5.19.
- ACCESS ROUTE SHALL BE SURFACED WITH CONCRETE, ASPHALT OR OTHER
MATERIAL DESIGNED TO PERMIT UNDER ALL CLIMATIC CONDITIONS (80,000LBS).



SITE PLAN / FIRE FIGHTING PROVISION PLAN

SCALE: 3/32"=1'-0"

June 5, 2023

DP 21-934415



ZHAO XD
ARCHITECT
LTD.

#255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1736

Email: info@zhaoarch.com
Web: zhaoarch.com



This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

15 MAY/23	CITY COMMENTS/DPP
15 DEC/22	CITY COMMENTS/DPP
29 SEP/22	CITY COMMENTS/DPP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
10 JUN/20	REZONING APP
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:
TOWNHOUSE DEVELOPMENT

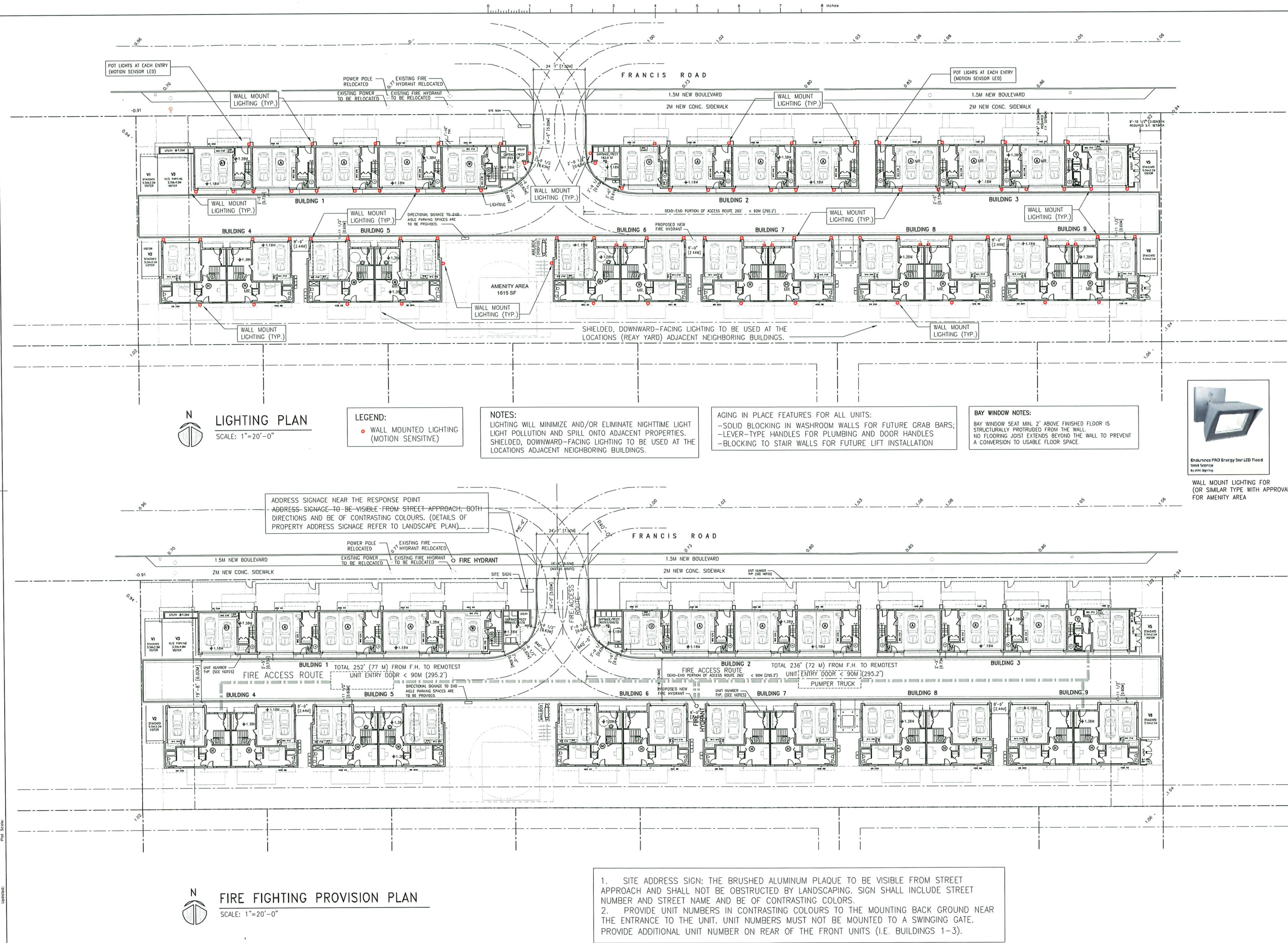
9200-9340 Francis Road
RICHMOND, BC

Drawing Title:
FIRE FIGHTING
PROVISION PLAN

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

A1.3

PLAN #6



DP 21-934415

June 5, 2023



ZHAO XD
ARCHITECT
LTD.

#255-11181 Voyageur Way,
Richmond, BC V6X 3N9
Tel. (604) 275-8882
Fax (604) 909-1736

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This drawing shall not be used for construction
unless it is countersigned by the CONSULTANT.

15 MAY/23	CITY COMMENTS/DP
15 DEC/22	CITY COMMENTS/DP
29 SEP/22	CITY COMMENTS/DP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
10 JUN/20	REZONING APP
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:

TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

PARKING PLAN,
LIGHTING PLAN &
ACCESSIBILITY PLAN

Date:

Scale:

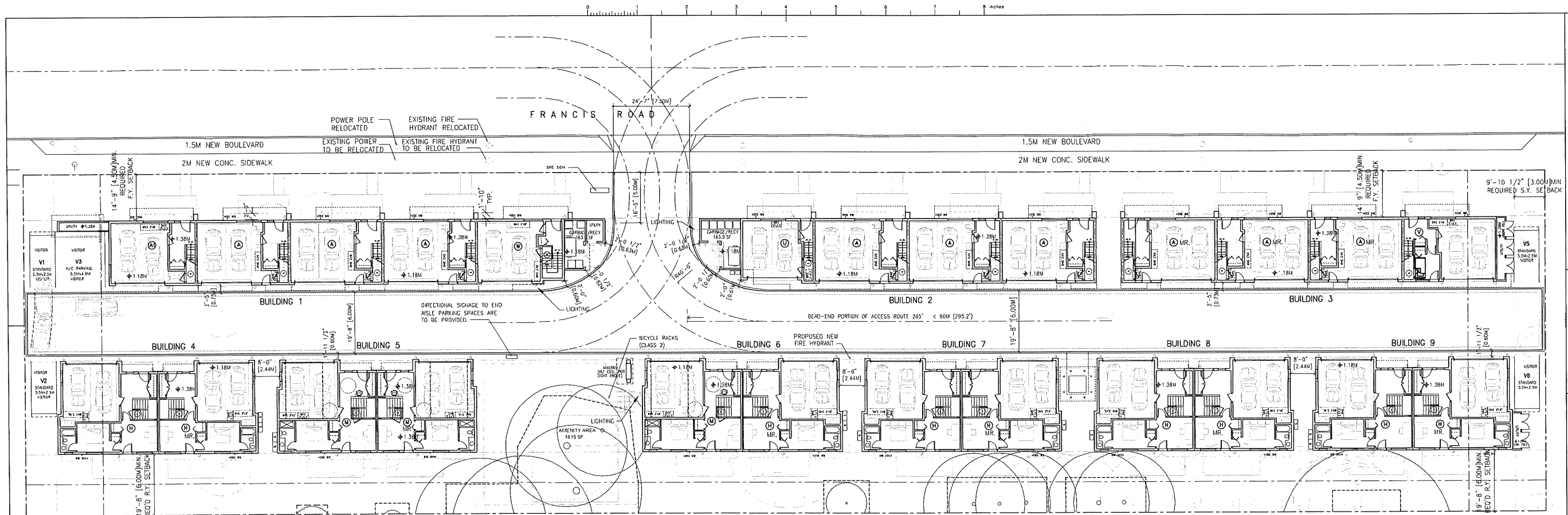
Drawn By:

Checked By:

Project No.:

Drawing No.:

A2



PARKING PLAN

SCALE: 1/16"=1'-0"

LEGEND:

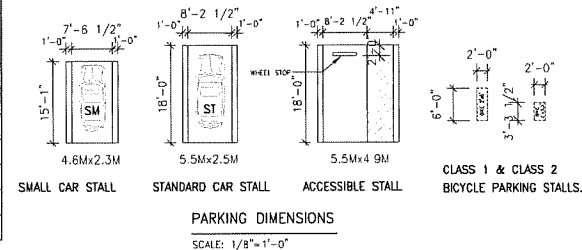
- HEAT-PUMP CONDENSER
- WALL MOUNTED LIGHTING (MOTION SENSITIVE)

NOTES:

- VISITOR PARKING SIGN SHALL INDICATE PARKING IS FOR VISITORS TO THE 8251 WILLIAMS ROAD ONLY.
- PROVIDE DEVELOPMENT ADDRESS IN CONTRASTING COLOURS TO THE MOUNTING BACK GROUND. SIGNAGE IS NOT TO BE OBTURED BY LANDSCAPING AND MUST BE VISIBLE FROM THE STREET APPROACH.
- PROVIDE UNIT NUMBERS IN CONTRASTING COLOURS TO THE MOUNTING BACK GROUND NEAR THE ENTRANCE TO THE UNIT. UNIT NUMBERS MUST NOT BE MOUNTED TO A SWINGING GATE. PROVIDE ADDITIONAL UNIT NUMBER ON REAR OF THE FRONT UNITS.

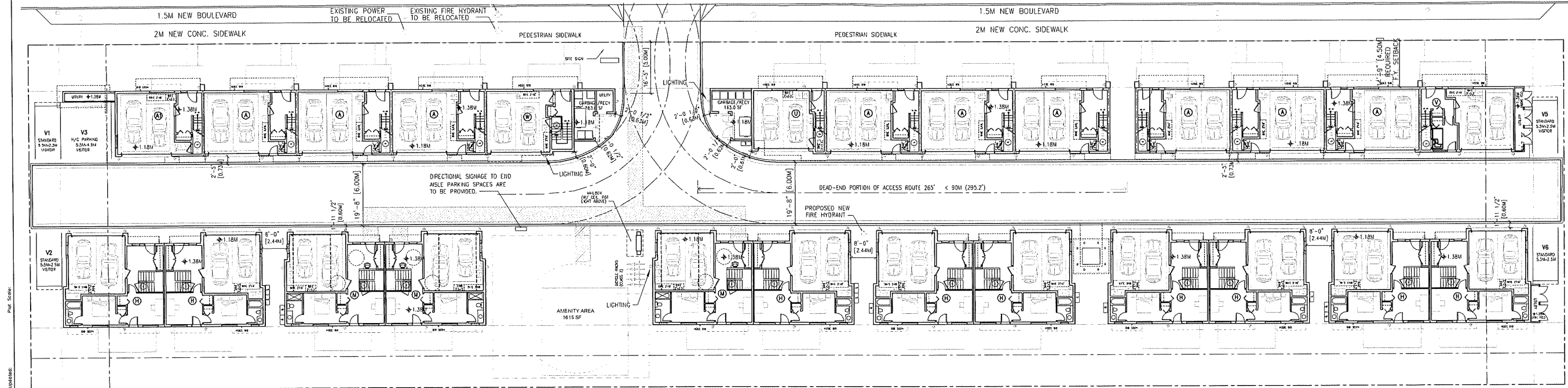
NOTES: LIGHTING WILL MINIMIZE AND/OR ELIMINATE NIGHTTIME LIGHT POLLUTION AND SPILL ONTO ADJACENT PROPERTIES. SHIELDED, DOWNWARD-FACING LIGHTING TO BE USED.

	BYLAW REQUIREMENT	PROPOSED
RESIDENTIAL PARKING SPACES:	50 SPACES (2/UNIT)	50 SPACES (2/UNIT)
VISITOR PARKING SPACES:	0.2 SPACES/ UNIT= 5	5 SPACES
OFF-STREET PARKING SPACES-TOTAL:	55 SPACES	55 SPACES
ACCESSIBLE VISITOR PARKING SPACE	2% OF TOTAL REQ'D STALLS	1 SPACE
STANDARD SIZE PARKING SPACES:	50% SPACES = 25 SPACES	34 SPACES
TANDEM PARKING SPACES:	MAX. 50% OF TOTAL PARKING	0 SPACES
EV CHARGING EQUIPMENT:	LEVEL 2 EV CHARGING OUTLETS	PROVIDED PER REQUIREMENTS
BICYCLE PARKING SPACE-CLASS-1:	1.25 SPACES PER UNIT	2 SPACES PER UNIT
BICYCLE PARKING SPACE-CLASS-2:	0.2 SPACES PER UNIT	5 SPACES



- ALL INDOOR PARKING SPACES WILL BE PROVIDED WITH LEVEL 2 EV CHARGING OUTLETS (208V TO 240V AC AND CURRENT OF 16A TO 80A).
- SEE SITE PLAN AND BUILDING LAYOUT FOR THE LOCATION OF ALL EV CHARGING EQUIPMENT.
- TO BE SUPPLIED WITH ENERGIZED OUTLETS IN ORDER TO SUPPORT EV CHARGING, WITH EACH PARKING SPACE CAPABLE OF RECEIVING "LEVEL 2" CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12 KWH WITHIN A MAX 8-HOUR PERIOD
- DIRECTIONAL SIGNAGE FOR VISITOR PARKING AT THE FAR ENDS OF THE SITE SHOULD BE PROVIDED.
- VISITOR PARKING TO BE MARKED WITH SIGN PER CITY ZONING BYLAW 7.5.14 TO 7.5.19.

FRANCIS ROAD



SITE PLAN SHOWING WHEELCHAIR CIRCULATION ROUTES

SCALE: 1/16"=1'-0"

- AGING IN PLACE FEATURES FOR ALL UNITS:
- SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS;
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
 - BLOCKING TO STAIR WALLS FOR FUTURE LIFT INSTALLATION

Plan#P2

DP21-934415

DP 21-934415

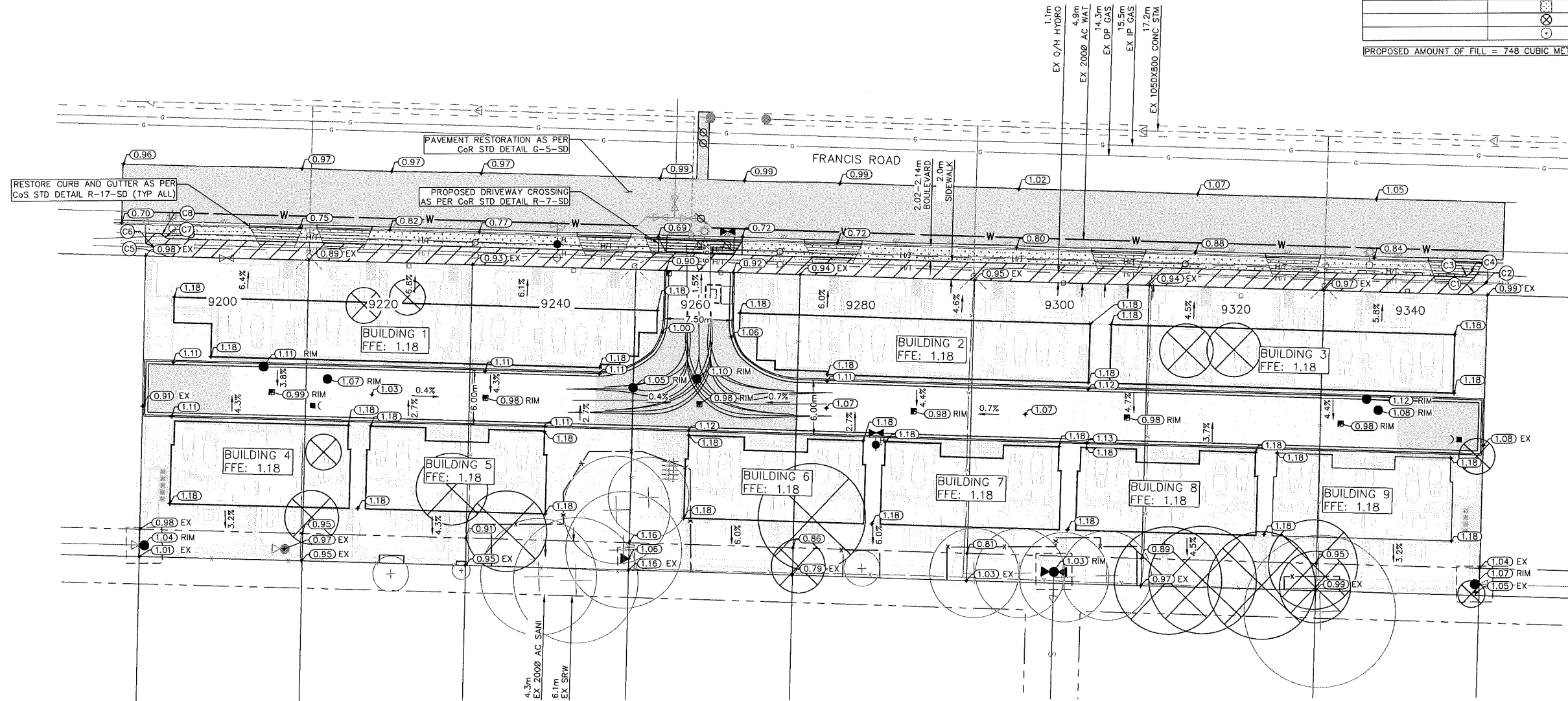
June 5, 2023

PLAN #7

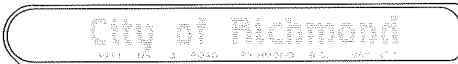
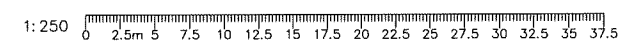


LEGEND		
EXISTING	PROPOSED	DESCRIPTION
	(100.00)	FINISHED GROUND ELEVATION
	(100.00) EX	EXISTING GROUND ELEVATION
	(100.00) RIM	RIM ELEVATION
—○—S—	—●—S—	SANITARY SEWER
—○—D—	—●—D—	STORM SEWER
—□—	—■—	CATCH BASIN - TOP INLET
—W—	—W—	WATER MAIN
—V—	—V—	WATER VALVE
—H—	—H—	HYDRANT
—W—>□	—W—>■	BLOW-OFF
—	—	CURB & GUTTER
—	—	SIDEWALK
—X—	—X—	TREE PROTECTION FENCE
—G—	—G—	GAS MAIN
—○—	—○—	UTILITY POLE
—	—	OVERHEAD HYDRO/TEL
	—	ASPHALT
	—	BOULEVARD
	⊗	EXISTING TREE TO BE REMOVED
	⊙	EXISTING TREE TO BE RETAINED

PROPOSED AMOUNT OF FILL = 748 CUBIC METERS



NOTES:
PRIOR TO ISSUANCE OF CERTIFICATE OF COMPLETION, THE OWNER'S ENGINEER SHALL SUBMIT A CERTIFICATE OF INSPECTION FOR THE WORKS IN A FORM AND CONTENT ACCEPTABLE TO THE CITY AND PREPARED AND SEALED BY THE OWNER'S ENGINEER CERTIFYING TO THE CITY THAT THE WORKS HAVE BEEN CONSTRUCTED AND COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.



DP 21-934415

REFERENCE DRAWINGS	
1	2023 04 14 JH TW
2	2023 03 03 JH TW
3	2023 02 01 JH TW
4	2022 12 09 JH TW
5	2022 05 26 JH TW

REVISIONS	
5	2023 04 14 JH TW
4	2023 03 03 JH TW
3	2023 02 01 JH TW
2	2022 12 09 JH TW
1	2022 05 26 JH TW

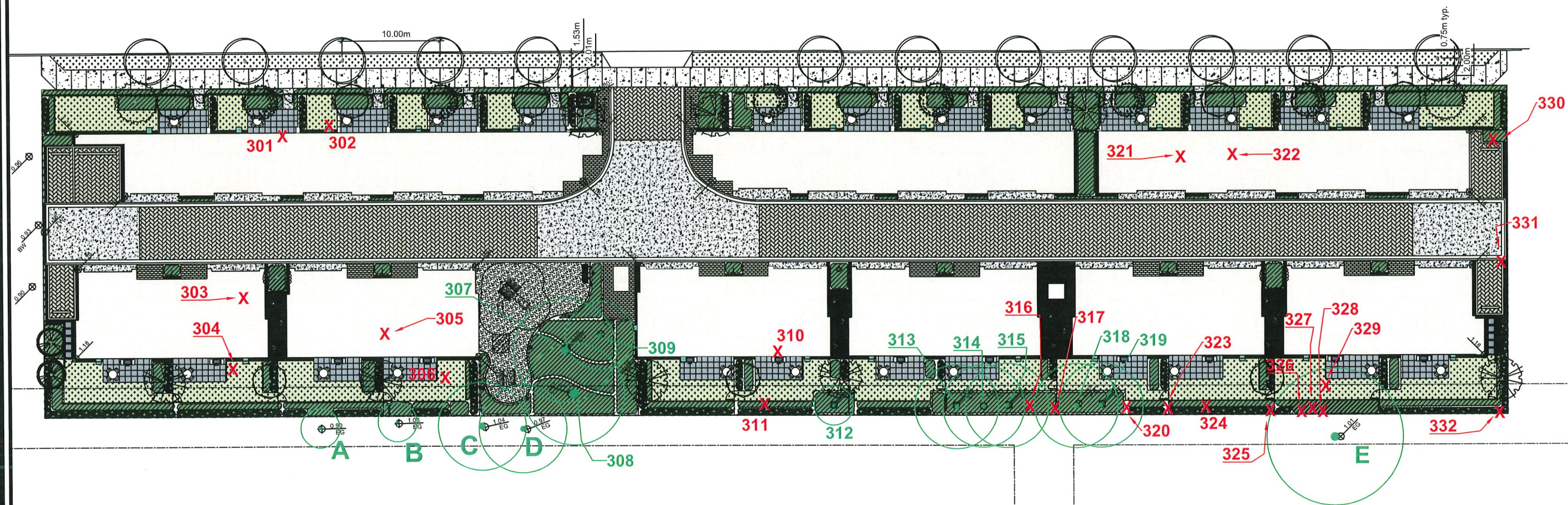
TITLE: 9200-9340 FRANCIS ROAD GRADING PLAN	
CITY FILE #SA21-932603	
DESIGN: TW	DWG. No: CV-01
DRAWN: JH	SCALE: 1:250
CHECKED: TW	DATE: 2023 04 14
ENGINE: JH	SEC: 7-4

June 5, 2023

PLAN #8

Tree ID	Species	DBH (cm)
301	Sawara Falsecypress	20
302	Sawara Falsecypress	22
303	Cherry spp.	28
304	Fig spp.	12 x2 + 6
305	Fig spp.	20 x2 + 15
306	Apple spp.	19 + 15
307	Western Redcedar	70
308	Scotch Pine	89
309	Falsecypress	40
310	Apple spp.	20 + 18 x2
311	Holly spp.	16 + 14
312	Holly spp.	11 x2
313	Western Redcedar	40
314	Western Redcedar	33
315	Western Redcedar	39
316	Western Redcedar	35
317	Western Redcedar	32
318	Western Redcedar	35 + 28
319	Western Redcedar	37
320	Western Redcedar	30 + 10
321	Falsecypress	26
322	Falsecypress	23
323	Douglas-fir	61

Tree ID	Species	DBH (cm)
324	Douglas-fir	50
325	Sawara Falsecypress	53
326	Cherry spp.	37
327	Fig spp.	18 + 10
328	Fig spp.	20 x2
329	Apple spp.	46 + 26
330	Western Redcedar	45
331	Scotch Pine	12 x3
332	Falsecypress	20+12+10x2
A	Apple spp.	30
B	Holly spp.	25
C	Holly spp.	45 + 40
D	Western Redcedar	35 + 30x2
E	Western Redcedar	45+35





**Pacific Sun
Tree
Services**

604-323-4270

Dave@pacificsuntree.com
www.pacificsuntree.com

Mailbox #460
Unit 130 - 1959 152nd Street
Surrey, B.C.
V4A 0C4

Tree Management Plan: Amendment #6

OVERVIEW

Date: May 18, 2023

Client: 1125640 B.C. LTD.

Project: Townhomes

Project Address: 9200 - 9340 Francis Rd
Richmond, B.C.

- Tree Recommended for Retention: ●
- Tree Recommended for Removal: X
- Undersized Tree: UT ●
- Crown Dripline for:
 - Retain Tree ○
 - Remove Tree ○
- Tree Protection Barrier: (delineates TPZ)
- Critical Root Zone:
- Crown Protection Zone:

Notes:

- To provide legibility, where trees are densely clustered, the crown dripline may not be shown for some trees.
- Trees recommended for retention are illustrated with DBH to scale (except for trees with numerous small stems).
- Calculations and measurements for Tree Barriers, CRZ & TPZ are from the outside trunk of the subject tree.



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Unit 130 - 1959 152nd Street
Surrey, B.C.
V4A 0C4

Tree Management Plan: Amendment #6 Protection Measures West Sheet

Date: May 18, 2023

Client: 1125640 B.C. LTD.

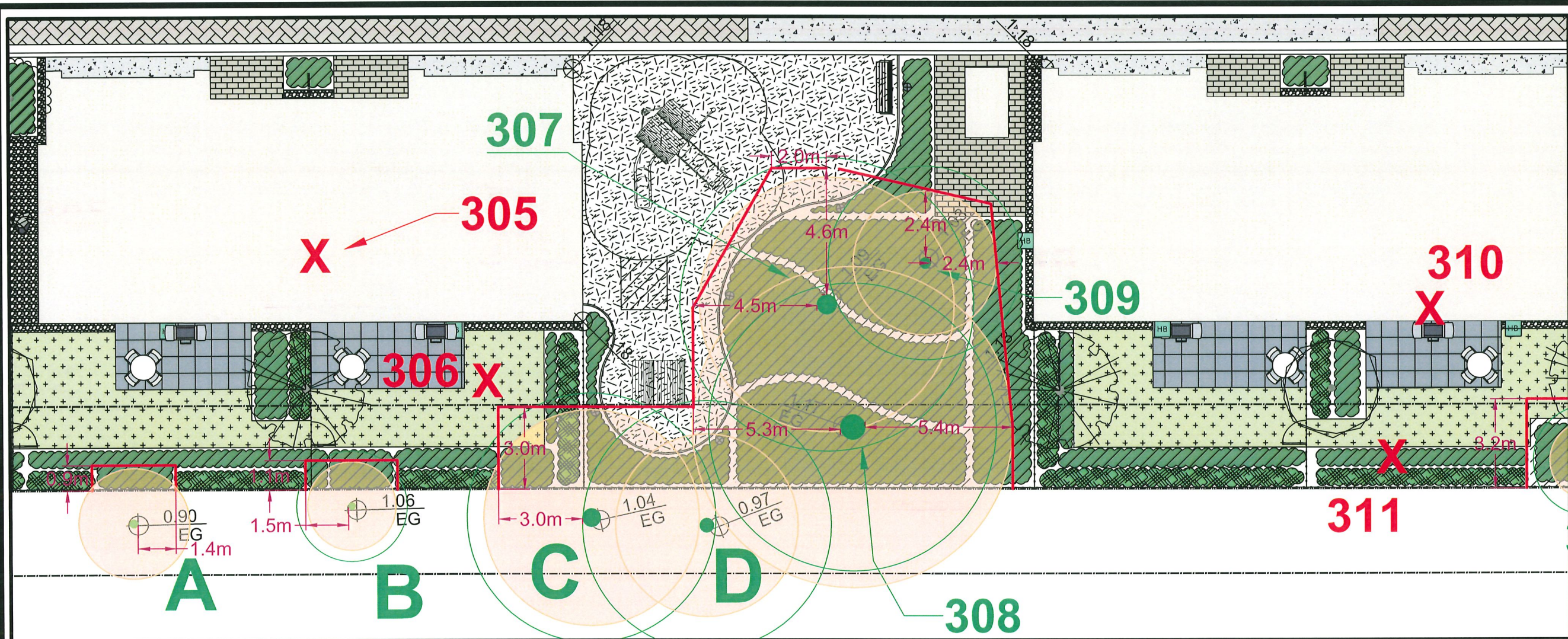
Project: Townhomes

Project Address: 9200 - 9340 Francis Rd
Richmond, B.C.

Tree Recommended for Retention:	
Tree Recommended for Removal:	
Undersized Tree:	UT
Crown Dripline for:	
Retain Tree	
Remove Tree	
Tree Protection Barrier: (delineates TPZ)	
Critical Root Zone:	
Crown Protection Zone:	

Notes:

- To provide legibility, where trees are densely clustered, the crown dripline may not be shown for some trees.
- Trees recommended for retention are illustrated with DBH to scale (except for trees with numerous small stems).
- Calculations and measurements for Tree Barriers, CRZ & TPZ are from the outside trunk of the subject tree.



General Tree Protection Measures:

Tree Barriers to remain in place throughout construction and until city approval for removal to begin landscaping works. All works within the Tree Protection Zones (TPZs) to be under project Arborist supervision.

Excavation/Grading:

No excavation or grading in the TPZs. Only ground disturbance within TPZs as per Amenity Area, Site Preparation. Arborist supervision of any excavation/grading within 3 feet of the Tree Barriers.

Crown Pruning:

Prior to commencement of excavation works, the crowns of the retained trees to be raised for clearance as necessary for construction and future site use while maintaining a healthy proportion of crown. Pruning to be conducted by or supervised by the project Arborist.

Amenity Area: (within TPZs)

1. Site preparation

Only organic layer (top 5cm) to be removed from existing grade within TPZs. Removal by hand tools or, where approved by the project Arborist, by mini excavator operating with tracks outside TPZ. Subsequently, weed control to be achieved, as required, through placement of landscape fabric over grade.

2. Subgrade Material for Play Area: Sand/Other Aggregate

A maximum of 10cm depth to be placed over grade. Minimal compaction.

3. Surface Material for Play Area: Fibar

To be installed over sand/other aggregate per item 2.

4. Retaining wall for Fibar playing area:

To consist only of posts or similar for support - no continuous footing.

5. Planting Area:

a) Target 10 to 12cm depth of new soil overlaid existing grade (post site prep). Maximum 15cm depth. Soil to be tapered to 0cm at tree trunks.

b) Plantings should be small so required digging to plant is predominantly within the new soil layer. Plants should be relatively small at maturity and not form continuous coverage or otherwise have creeping habit.

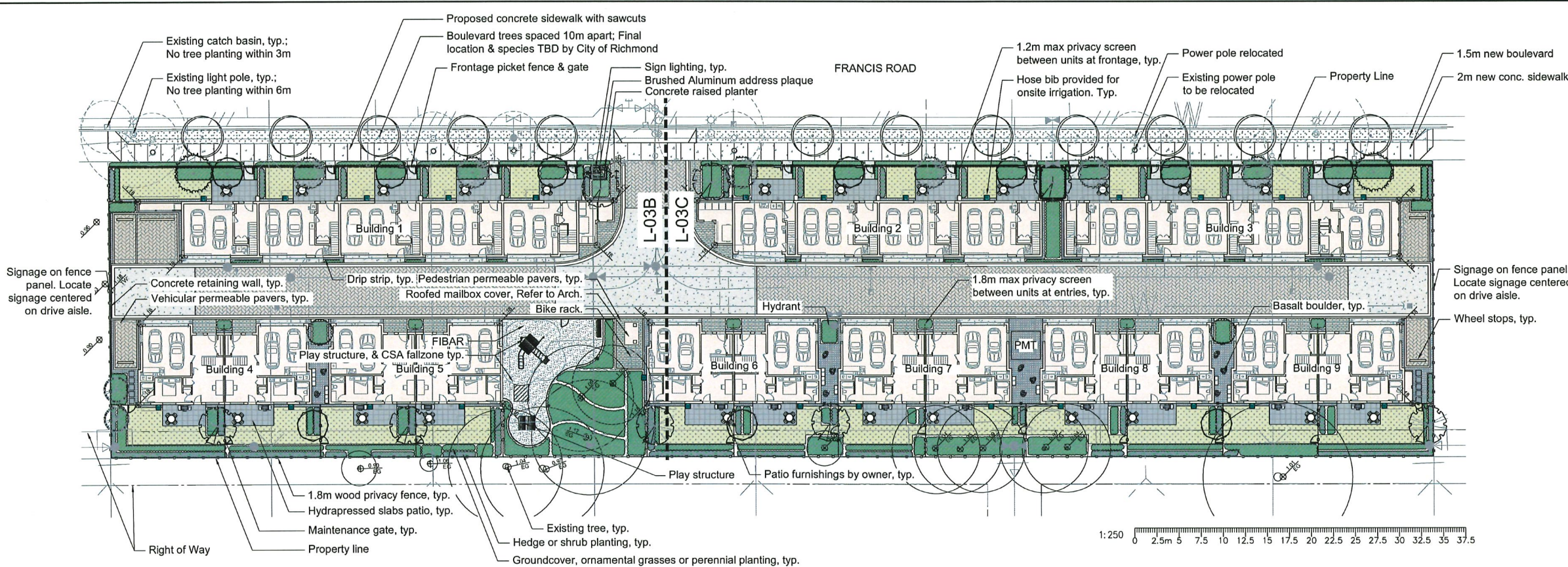
Hardscaping within TPZ: (mailbox / bike rack area)

- Site preparation - as per Amenity Area
- Subgrade material (e.g. roadbase/sand) to be no greater than 15cm depth. Minimal compaction necessary.
- Paving Stones surface.

DP 21-934415

June 5, 2023

PLAN #11



TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	8cm cal.	8
	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	8cm cal.	10
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	8cm cal.	6
	Picea omorika / Serbian Spruce	B&B	4m ht.	2
	Picea pungens 'Iseli Fastigiata' / Fastigiata Spruce	B&B	4m ht.	2
	Quercus palustris 'Green Pillar' / Green Pillar Oak	B&B	8cm cal.	2
	Existing Tree			
	Street Tree (8cm caliper min.)			

UTILITIES

KEY	DESCRIPTION
	HOSE BIB To be coordinated with mechanical and architecture.

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		CONCRETE SIDEWALK (OFFSITE)
	5,6 LD-01	CONCRETE PAVING (ONSITE)
	7 LD-01	PERMEABLE PAVERS (ped.) AquaPave pavers by Belgard 221.5 x 110 x 80mm Colour: Harvest (Offset R.B.)
	7 LD-01	PERMEABLE PAVERS (veh.) AquaPave pavers by Belgard 221.5 x 110 x 80mm Colour: Harvest (Herringbone)
	5 LD-01	HYDRAPRESSED SLABS (patio) Texada by Abbotsford Concrete 910mm x 910mm x 50mm Colour: Natural
	8 LD-01	HYDRAPRESSED SLABS (step) Texada by Abbotsford Concrete 910mm x 910mm x 50mm Colour: Natural
		2-6" RIVER ROCK
		FIBAR

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		ONSITE / OFFSITE SOD (PROPOSED) See Landscape Notes for Specifications
	3 LD-01	PLANTING
	3 LD-01	HEDGE

FENCING & SITE FURNISHINGS

KEY	REF.	DESCRIPTION
	1 LD-02	1.8m PRIVACY FENCE Cedar
	2 LD-02	FRONTAGE FENCE Aluminum frame with Cedar slat insert
	3 LD-02	PRIVACY SCREEN Cedar
	3 LD-03	BIKE RACK 2300 Series Iconic Bike Rack Colour: Silver 14 Manufacturer: Magin

PERMEABILITY CALCULATIONS

	AREA (m²)	PERCENTAGE
TOTAL LOT	5,027	100%
NON-PERMEABLE SURFACES	3442	68.5%
PERMEABLE SURFACES	1585	31.5%

PLANTING	769	15.3%
SOD	496	9.9%
FIBAR	103	2%
GRANULAR	119	2.3%
PERMEABLE PAVERS	98	1.8%
PERMEABLE SURFACES	1585	31.5%

11	PC	Issued for DP	2023-06-01
10	PC	Issued for DP	2023-05-19
9	PC	Issued for DP	2023-03-31
8	PC	Issued for DP	2023-01-17
7	PC	Issued for DP	2022-06-27
6	PC	Issued for DP	2022-03-18
5	PC	Issued for ADP Comments	2022-02-28
4	PC	Issued for DP	2021-11-25
3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn:
AL

Stamp:

Checked:
PC

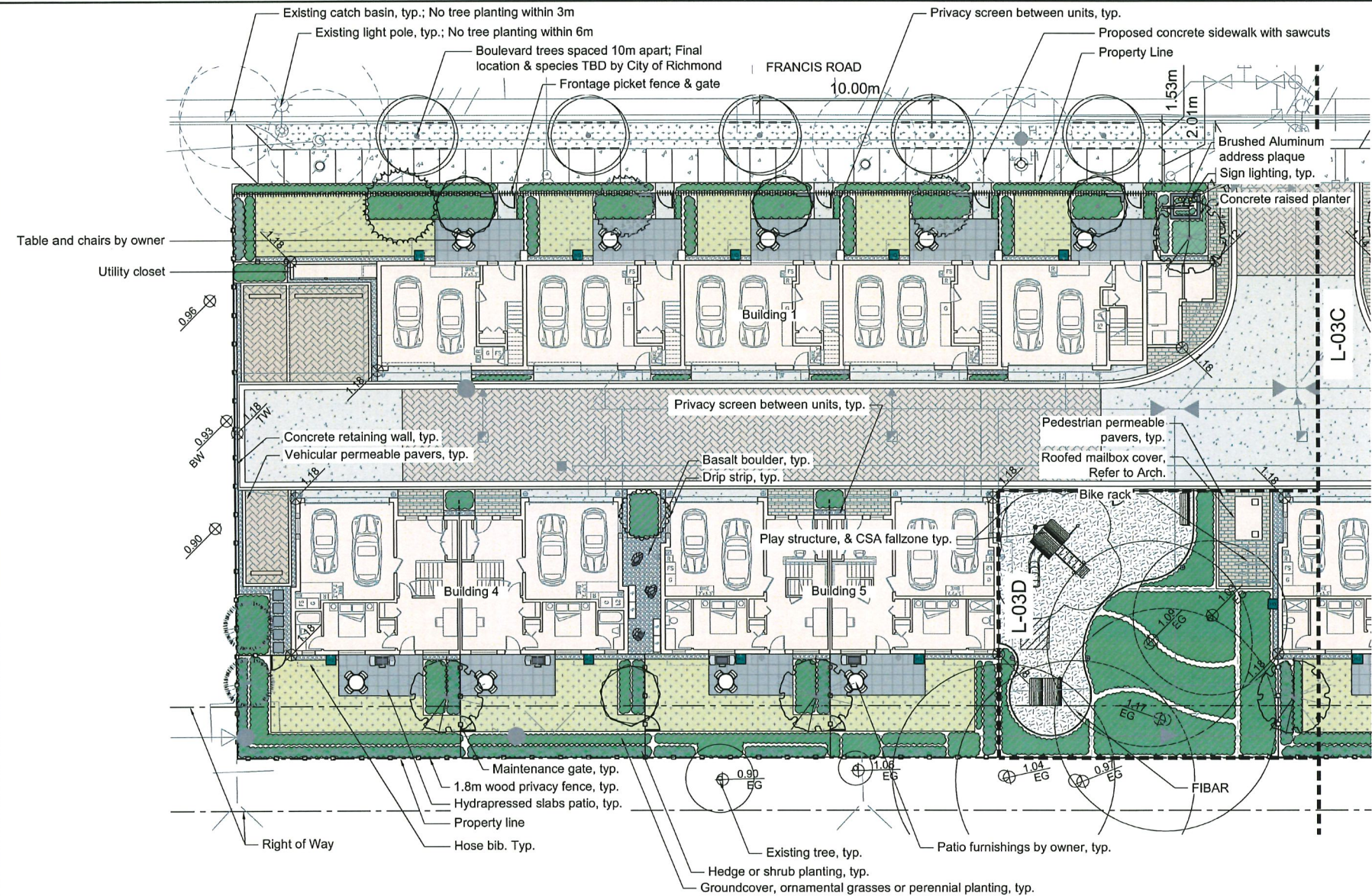
Approved:
DJ

Original Sheet Size:
24"x36"

Scale:
1:250

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PROJECT/DEVELOPMENT PERMIT/ACTIVITY/DP2021-06 92009344 FRANCIS ROAD/DC DWG SHEET/SLAB MATERIALS & LAYOUT PLAN WEST DWG



HARDSCAPE MATERIALS

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		CONCRETE SIDEWALK (OFFSITE)
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		2-6" RIVER ROCK
		FIBAR

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		Onsite / Offsite
	3 LD-01	SOD (PROPOSED) See Landscape Notes for Specifications
	3 LD-01	PLANTING
	3 LD-01	HEDGE

FENCING & SITE FURNISHINGS

KEY	REF.	DESCRIPTION
	1 LD-02	1.8m PRIVACY FENCE Cedar
	2 LD-02	FRONTAGE FENCE Aluminum frame with Cedar slat insert
	3 LD-02	PRIVACY SCREEN Cedar
	3 LD-03	BIKE RACK 2300 Series Iconic Bike Rack Colour: Silver 14 Manufacturer: Maglin

TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	8cm cal.	8
	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	8cm cal.	10
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	8cm cal.	6
	Picea omorika / Serbian Spruce	B&B	4m ht.	2
	Picea pungens 'Iseli Fastigiata' / Fastigiate Spruce	B&B	4m ht.	2
	Quercus palustris 'Green Pillar' / Green Pillar Oak	B&B	8cm cal.	2

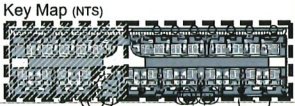
Existing Tree Street Tree (8cm caliper min.)

UTILITIES

KEY	DESCRIPTION
	HOSE BIB To be coordinated with mechanical and architecture.

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

VDZ+A
LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY
FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
100-9181 Church St | 102-355 Kingsway
Fort Langley, BC | Vancouver, BC
V1M 2R8 | VST 317
www.vdz.ca | 604-882-0024



No.	By:	Description	Date
11	PC	Issued for DP	2023-06-01
10	PC	Issued for DP	2023-05-19
9	PC	Issued for DP	2023-03-31
8	PC	Issued for DP	2023-01-17
7	PC	Issued for DP	2022-06-27
6	PC	Issued for DP	2022-03-18
5	PC	Issued for ADP Comments	2022-02-28
4	PC	Issued for DP	2021-11-25
3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date
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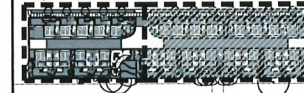
REVISIONS TABLE FOR SHEET

Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn: AL	Stamp:
Checked: PC	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDENDUMS MUST NOT BE PREPARED FOR CONSTRUCTION UNLESS ISSUED BY THE CONSULTANT.

Key Map (NTS)



No.	By:	Description	Date
11	PC	Issued for DP	2023-06-01
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9	PC	Issued for DP	2023-03-31
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4	PC	Issued for DP	2021-11-25
3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

No.	By:	Description	Date
1	PC	Issued for Review	2021-04-20

No.	By:	Description	Date
1	PC	Issued for Review	2021-04-20

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date
1	PC	Issued for Review	2021-04-20

Project:	9200-9340 Francis Road
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Location:	9200-9340 Francis Road Richmond, B.C.
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Drawn:	AL
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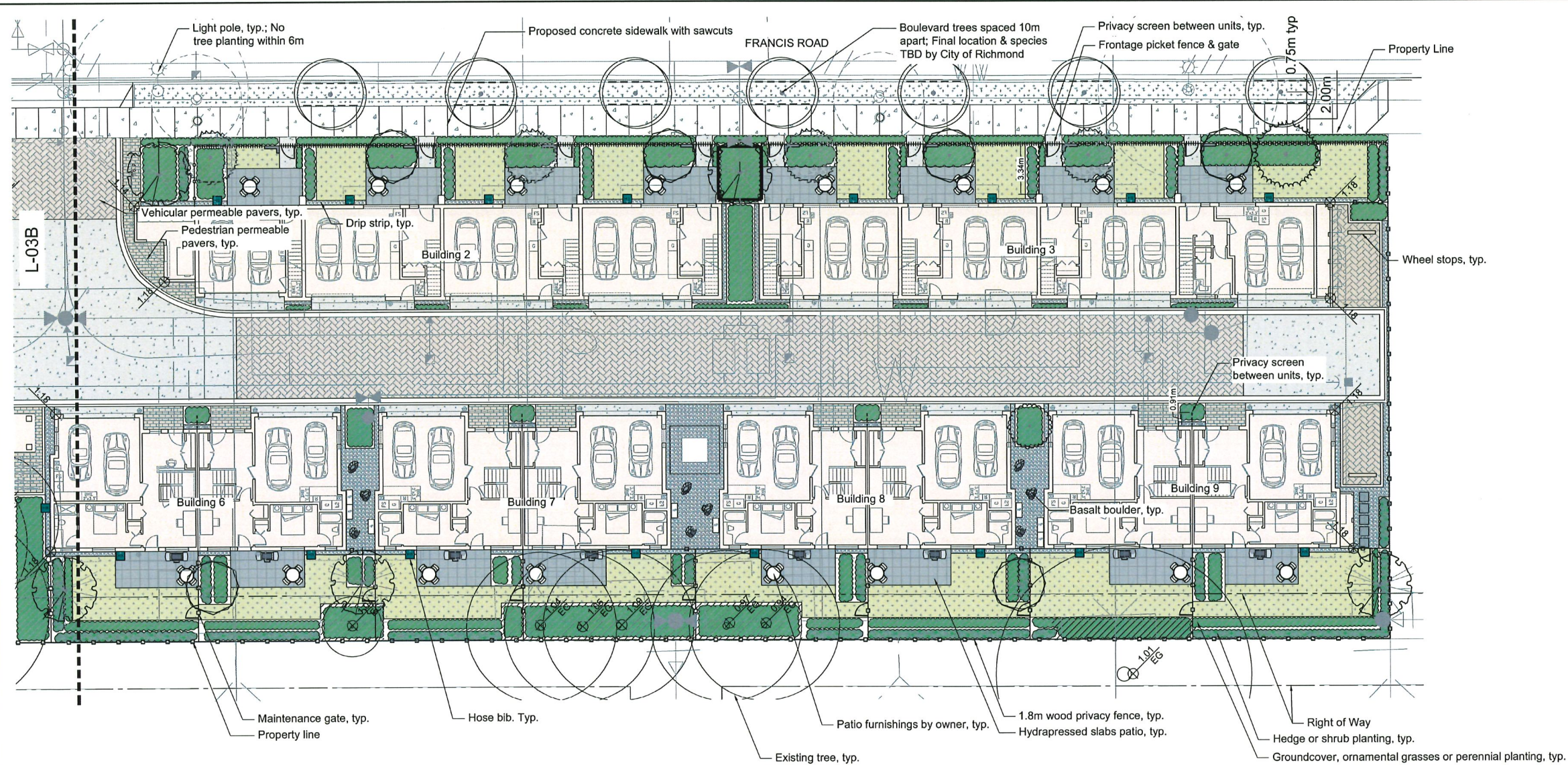
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Approved:	DJ
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Scale:	1:150
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Original Sheet Size:	24"x36"
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CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDITIONS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS SPECIFICALLY NOTED FOR REVISION/CONSTRUCTION.
--



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
		CONCRETE SIDEWALK (OFFSITE)
	5.6 LD-01	CONCRETE PAVING (ONSITE)
	7 LD-01	PERMEABLE PAVERS (ped.) AquaPave pavers by Belgard 221.5 x 110 x 80mm Colour: Harvest (Offset R.B.)
	7 LD-01	PERMEABLE PAVERS (veh.) AquaPave pavers by Belgard 221.5 x 110 x 80mm Colour: Harvest (Herringbone)
	5 LD-01	HYDRAPRESSED SLABS (patio) Texada by Abbotsford Concrete 610mm x 610mm x 50mm Colour: Natural
	8 LD-01	HYDRAPRESSED SLABS (step) Texada by Abbotsford Concrete 610mm x 610mm x 50mm Colour: Natural
		2-6" RIVER ROCK
		FIBAR

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	Onsite / Offsite	SOD (PROPOSED) See Landscape Notes for Specifications
	3 LD-01	PLANTING
	3 LD-01	HEDGE

FENCING & SITE FURNISHINGS

KEY	REF.	DESCRIPTION
	1 LD-02	1.8m PRIVACY FENCE Cedar
	2 LD-02	FRONTAGE FENCE Aluminum frame with Cedar slat insert
	3 LD-02	PRIVACY SCREEN Cedar
	3 LD-03	BIKE RACK 2300 Series Iconic Bike Rack Colour: Silver 14 Manufacturer: Maglin

TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	8cm cal.	8
	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	8cm cal.	10
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	8cm cal.	6
	Picea omorika / Serbian Spruce	B&B	4m ht.	2
	Picea pungens 'Iseli Fastigiata' / Fastigiata Spruce	B&B	4m ht.	2
	Quercus palustris 'Green Pillar' / Green Pillar Oak	B&B	8cm cal.	2

Existing Tree	Street Tree (8cm caliper min.)
---------------	--------------------------------

UTILITIES

KEY	DESCRIPTION
	HOSE BIB To be coordinated with mechanical and architecture.

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5

Drawing Title: MATERIALS & LAYOUT PLAN EAST



VDZ Project #: DP2021-06

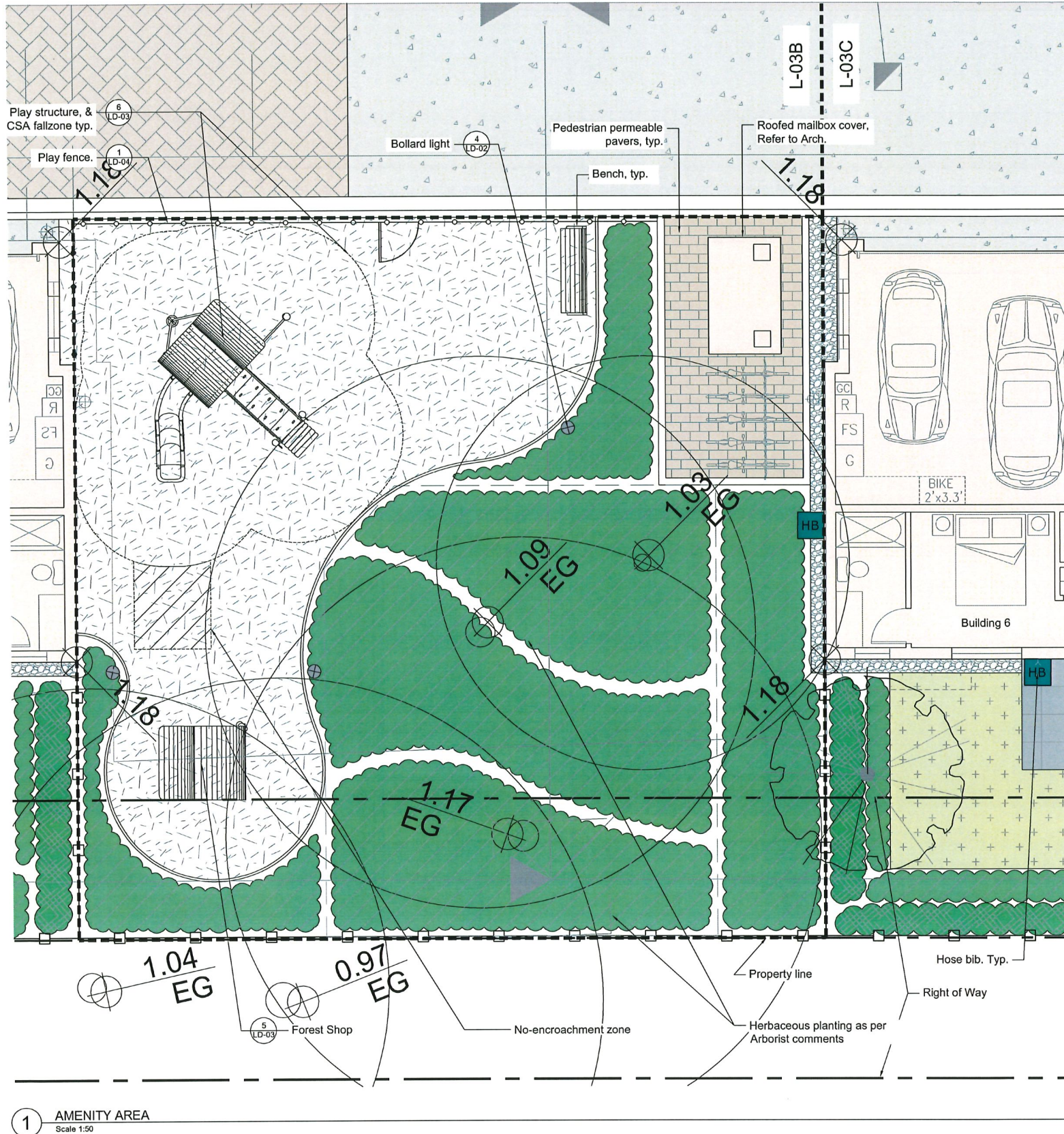
Drawing #: L-03C

DP 21-934415

June 5, 2023

PLAN #14

PROJECT DEVELOPMENT PERMIT ACTIVE DP2021-06 9200-9340 FRANCIS ROAD, DIVISIONS L-03B MATERIALS & LAYOUT PLAN WEST DWG



HARDSCAPE MATERIALS

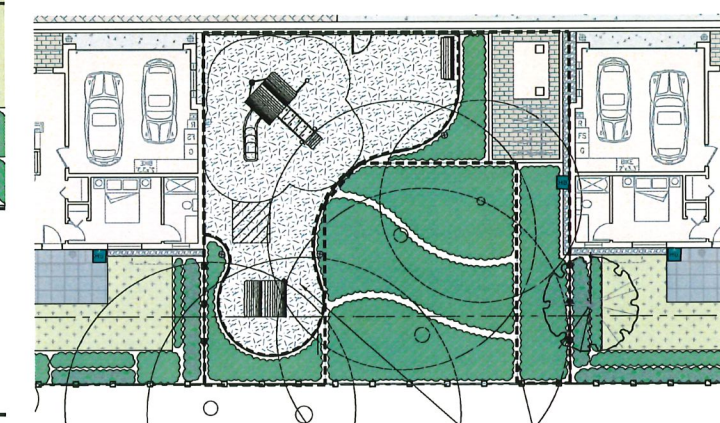
KEY	REF.	DESCRIPTION
		CONCRETE SIDEWALK (OFFSITE)
	5.6 LD-01	CONCRETE PAVING (ONSITE)
	7 LD-01	PERMEABLE PAVERS (ped.) AquaPave pavers by Belgard 221.5 x 110 x 80mm Colour: Harvest (Offset R.B.)
	7 LD-01	PERMEABLE PAVERS (veh.) AquaPave pavers by Belgard 221.5 x 110 x 80mm Colour: Harvest (Herringbone)
	5 LD-01	HYDRAPRESSED SLABS (patio) Texada by Abbotsford Concrete 610mm x 610mm x 50mm Colour: Natural
	8 LD-01	HYDRAPRESSED SLABS (step) Texada by Abbotsford Concrete 610mm x 610mm x 50mm Colour: Natural
		2-6" RIVER ROCK
		FIBAR

LIGHTING LEGEND

BOLLARD LIGHT (See Electrical drawings)
Model: BRM24
Manufacturer: Philips
Notes: To be coordinated with Electrical Engineer.

TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	8cm cal.	8
	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	8cm cal.	10
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	8cm cal.	6
	Picea omorika / Serbian Spruce	B&B	4m ht.	2
	Picea pungens 'Iseli Fastigiata' / Fastigiata Spruce	B&B	4m ht.	2
	Quercus palustris 'Green Pillar' / Green Pillar Oak	B&B	8cm cal.	2



2 AMENITY AREA AREAS
Scale 1:150

Total Amenity area = 173.6m²
FIBAR with playground apparatus' = 102.7m²
59.2% of the outdoor amenity area is designated for children's play.

SOFTSCAPE MATERIALS

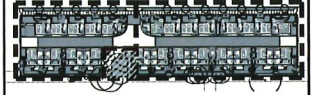
KEY	REF.	DESCRIPTION
	Onsite / Offsite	SOD (PROPOSED) See Landscape Notes for Specifications
	3 LD-01	PLANTING
	3 LD-01	HEDGE

FENCING & SITE FURNISHINGS

KEY	REF.	DESCRIPTION
	1 LD-02	1.8m PRIVACY FENCE Cedar
	2 LD-02	FRONTAGE FENCE Aluminum frame with Cedar slat insert
	3 LD-02	PRIVACY SCREEN Cedar
	3 LD-03	BIKE RACK 2300 Series Iconic Bike Rack Colour: Silver 14 Manufacturer: Maglin

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Key Map (NTS)



No.	By:	Description	Date
11	PC	Issued for DP	2023-06-01
10	PC	Issued for DP	2023-05-19
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2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET

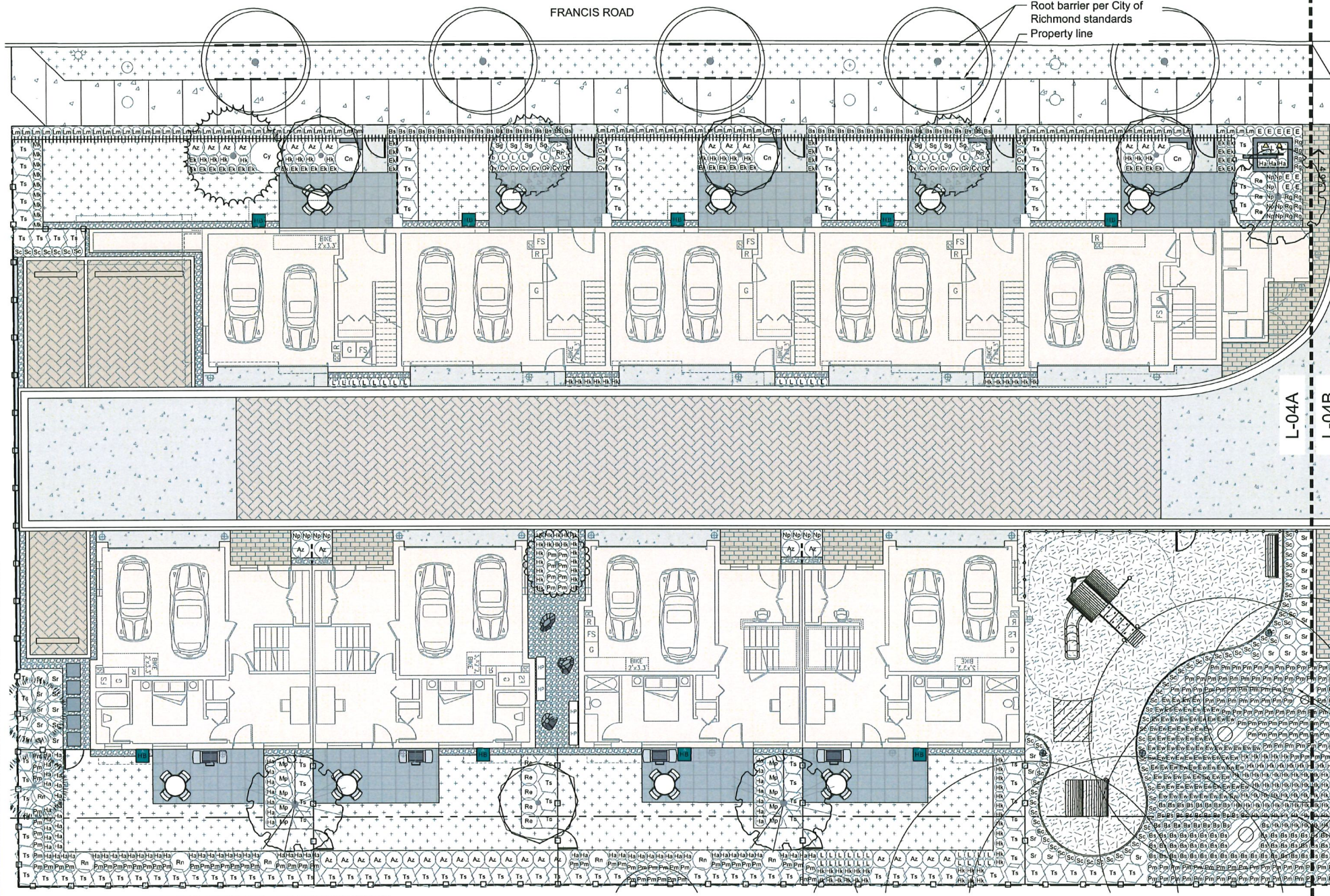
Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn: AL	Stamp:
Checked: PC	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: 1:50	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REZONING/OPPF/APP/ASP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS USED AS-SUBMITTED FOR THE CONSTRUCTION.

Drawing Title: MATERIALS & LAYOUT PLAN AMENITY DETAIL
VDZ Project #: DP2021-06
Drawing #: L-03D

PROJECT DEVELOPMENT PERMIT ACT/VEP2021-06 92009340 FRANCIS ROAD/5. DWG/SHEET L-04A PLANTING PLAN WEST.DWG



1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	8cm cal.	8
	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	8cm cal.	10
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	8cm cal.	6
	Picea omorika / Serbian Spruce	B&B	4m ht.	2
	Picea pungens 'Iseli Fastigiata' / Fastigiata Spruce	B&B	4m ht.	2
	Quercus palustris 'Green Pillar' / Green Pillar Oak	B&B	8cm cal.	2
	Existing Tree			
	Street Tree (8cm caliper min.)			

PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Az	Azalea japonica 'Hino Crimson' / Hino Crimson japanese Azalea	#3	0.75m	125
Cy	Cotinus coggygia 'Young Lady' / Dwarf Smoke Tree	#2	1.5m	2
Ke	Kalmia latifolia 'Elf' / Dwarf Mountain Laurel	#3	1m	3
Np	Nandina domestica 'Fire Power' / Firepower Nandina	#3	0.45m	43
Rn	Rhododendron x 'Nova Zembla' / Rhododendron	#3	0.9m	16
Re	Rhododendron x 'P.J.M.' / PJM Rhododendron	#3	0.75m	28
Sc	Sarcococca ruscifolia / Fragrant Sarcococca	#2	0.45m	78
Sr	Skimmia japonica 'Rubella' / Skimmia	#2	0.75m	36
Sg	Spiraea japonica 'Goldmound' / Spirea	#2	0.65m	30
FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Bs	Blechnum spicant / Deer Fern	#1	0.45m	324
Pm	Polystichum munitum / Western Sword Fern	#2	0.5m	326
GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
C	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge	#1	0.45m	48

Ha	Hakonechloa macro 'Aureola' / Golden Japanese Forest Grass	#1	0.45m	108
Mk	Miscanthus sinensis 'Little Kitten' / Little Kitten Maiden Grass	#1	0.45m	50
Mp	Miscanthus sinensis 'Purpureascens' / Flame Grass	#1	0.75m	20
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Cv	Calluna vulgaris 'Silver Knight' / Silver Knight Heather	#1	0.45m	113
E	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	#1	0.45m	51
Ek	Erica x darleyensis 'Kramer's Red' / Kramer's Red Heather	#1	0.45m	104
Ew	Euphorbia characias wulfenii / Evergreen Spurge	#1	0.45m	92
Hk	Hosta x 'Krossa Regal' / Krossa Ragal Daylily	#1	0.45m	329
Lm	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0.45m	157
L	Liriope spicata 'Big Blue' / Creeping Lily Turf	#1	0.45m	101
Rg	Rudbeckia fulgida sullivantii 'Goldsturm' / Black-Eyed Susan	#1	0.45m	26
DWARF CONIFERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Cg	Chamaecyparis obtusa 'Gracilis' / Slender Hinoki Cypress	1.2m ht.	1.2m	3
Cn	Chamaecyparis obtusa 'Nana Gracilis' / Dwarf Hinoki Cypress	#3	1.2m	7
Ts	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	1.8m ht	0.9m	254

Planting Notes:

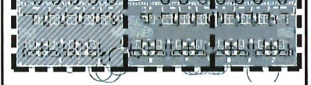
- Plants in this plant list are specified according to the Canadian Nursery Landscape Association Canadian standards for nursery stock and section 12, container grown plants of the BC landscape standard, current edition.
- All plant material shall meet or exceed standards required by BCLNA or BCSLA guidelines. Plant material to be approved by landscape architect prior to delivery to site.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed from site immediately at the landscape contractors expense.
- Topsoil depths for planting as follows:
a. shrubs: 450mm
b. sod: 200mm
c. tree pits: 1000mm with 300mm (below root ball)
- 2" minus compost mulch to be installed in all shrub planting areas.
- Plantings to be offset 250mm from curb and other edges in proximity to parking spaces and pedestrian walkways measured from edge of foliage.
- All planting within Tree Protection Zone to be supervised by a certified arborist

Hatched area:
Only Bark Mulch within 0.5m minimum distance of outer trunks. Maximum 10 to 12cm depth of new soil outside Bark Mulch areas. Permeable Landscape Fabric to be placed over existing grade for weed control (no mechanical removal) and soil placed overtop without compaction. Only small sized and dispersed herbaceous plantings.

Right of way

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Key Map (NTS)



No.	By:	Description	Date
11	PC	Issued for DP	2023-06-01
10	PC	Issued for DP	2023-05-19
9	PC	Issued for DP	2023-03-31
8	PC	Issued for DP	2023-01-17
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3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

No.	By:	Description	Date

Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn:
AL

Checked:
PC

Approved:
DJ

Scale:
1:100

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Drawing Title:

PLANTING PLAN WEST

VDZ Project #:

DP2021-06

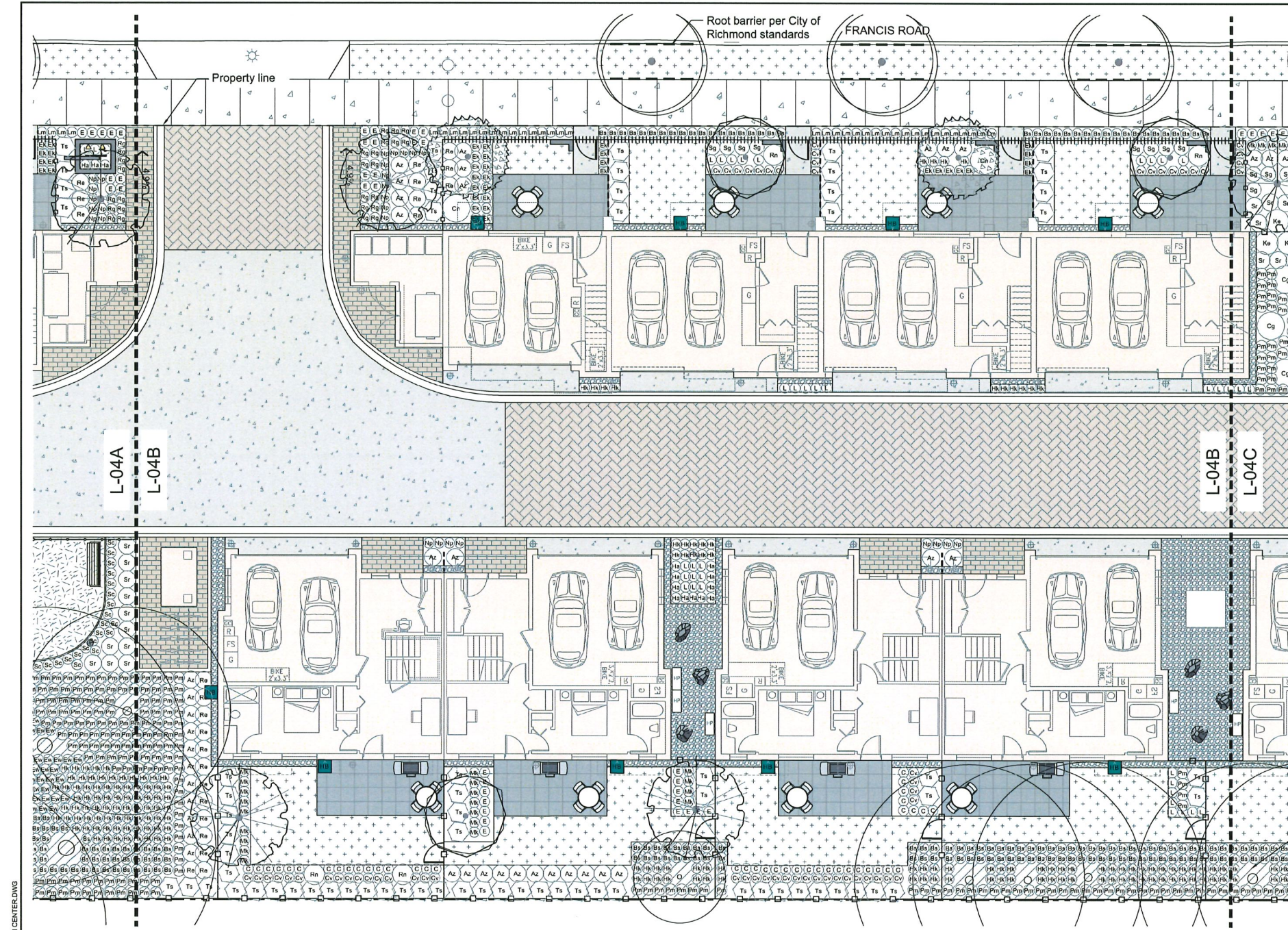
Drawing #:

L-04A

DP 21-934415

June 5, 2023

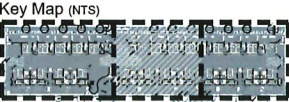
PLAN #16



Planting Notes:

- Plants in this plant list are specified according to the Canadian Nursery Landscape Association Canadian standards for nursery stock and section 12, container grown plants of the BC landscape standard, current edition.
- All plant material shall meet or exceed standards required by BCLNA or BCSLA guidelines. Plant material to be approved by landscape architect prior to delivery to site.
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- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed from site immediately at the landscape contractors expense.
- Topsoil depths for planting as follows:
 - shrubs: 450mm
 - sod: 200mm
 - tree pits: 1000mm with 300mm (below root ball)
- 2" minus compost mulch to be installed in all shrub planting areas.
- Plantings to be offset 250mm from curb and other edges in proximity to parking spaces and pedestrian walkways measured from edge of foliage.
- All planting within Tree Protection Zone to be supervised by a certified arborist

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Fort Langley, BC Vancouver, BC
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No.	By:	Description	Date
11	PC	Issued for DP	2023-06-01
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9	PC	Issued for DP	2023-03-31
8	PC	Issued for DP	2023-01-17
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5	PC	Issued for ADP Comments	2022-02-28
4	PC	Issued for DP	2021-11-25
3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn:
AL

Checked:
PC

Approved:
DJ

Stamp:

Original Sheet Size:
24"x36"

Scale:
1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO THE DRAWINGS MUST BE PRICED FOR CONSTRUCTION UNLESS Labeled ISSUED FOR INFORMATION ONLY.

Drawing Title:
PLANTING PLAN CENTER



VDZ Project#:
DP2021-06

Drawing #:
L-04B

PROJECT DEVELOPMENT PERMIT ACTIVE DP2021-06 92009340 FRANCIS ROAD, DIVISIONS L-04B PLANTING PLAN CENTER.DWG

TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	8cm cal.	8
	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	8cm cal.	10
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	8cm cal.	6
	Picea omorika / Serbian Spruce	B&B	4m ht.	2
	Picea pungens 'Iseli Fastigiate' / Fastigiate Spruce	B&B	4m ht.	2
	Quercus palustris 'Green Pillar' / Green Pillar Oak	B&B	8cm cal.	2

Existing Tree

Street Tree (8cm caliper min.)

PLANT SCHEDULE

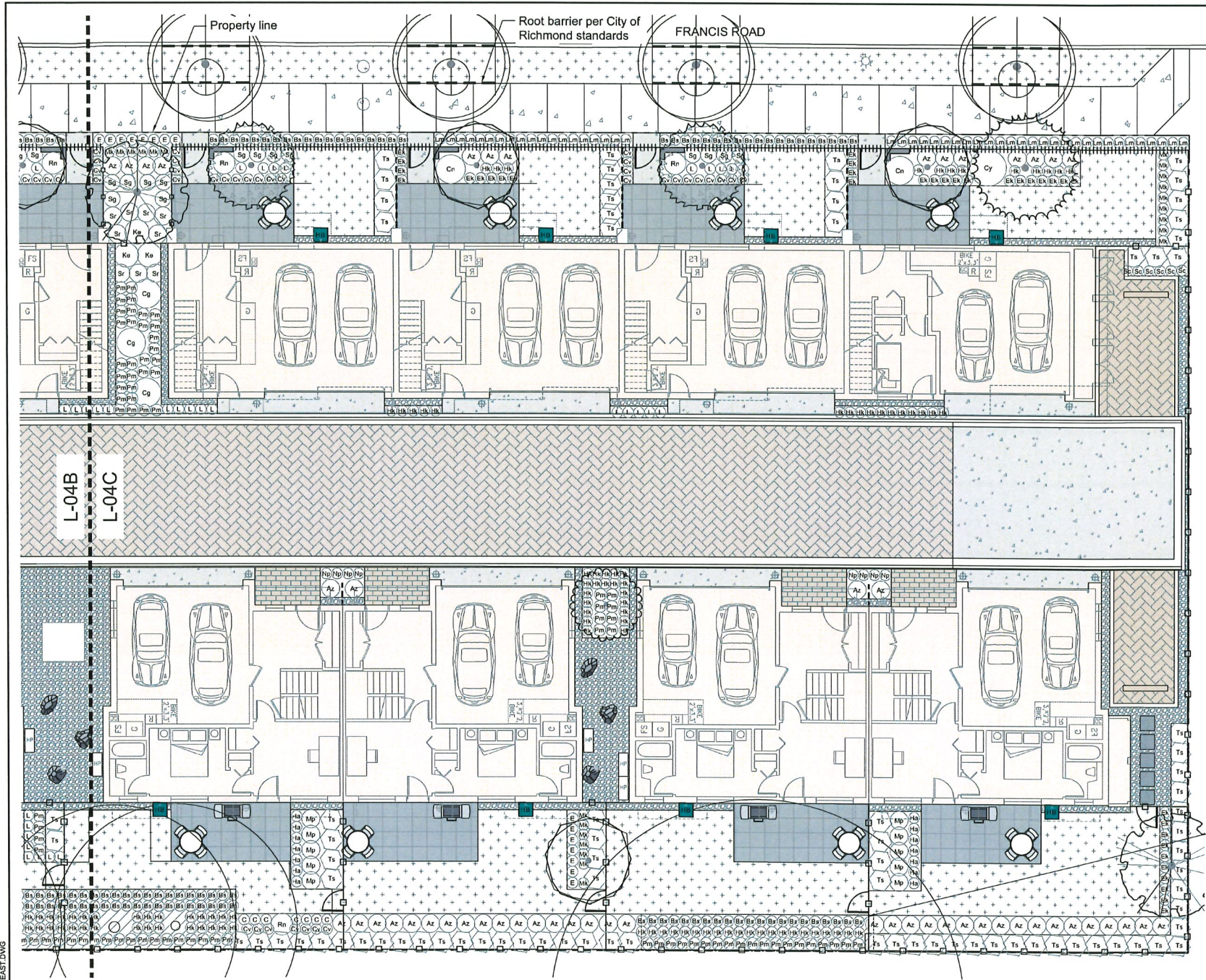
SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Az	Azalea japonica 'Hino Crimson' / Hino Crimson Japanese Azalea	#3	0.75m	125
Cy	Cotinus coggygia 'Young Lady' / Dwarf Smoke Tree	#2	1.5m	2
Ke	Kalmia latifolia 'Elf' / Dwarf Mountain Laurel	#3	1m	3
Np	Nandina domestica 'Fire Power' / Firepower Nandina	#3	0.45m	43
Rn	Rhododendron x 'Nova Zembla' / Rhododendron	#3	0.9m	16
Re	Rhododendron x 'P.J.M.' / PJM Rhododendron	#3	0.75m	28
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Sr	Skimmia japonica 'Rubella' / Skimmia	#2	0.75m	36
Sg	Spiraea japonica 'Goldmound' / Spirea	#2	0.65m	30
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Pm	Polystichum munitum / Western Sword Fern	#2	0.5m	326
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C	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge	#1	0.45m	48

Ha	Hakonechloa macro 'Aureola' / Golden Japanese Forest Grass	#1	0.45m	108
Mk	Miscanthus sinensis 'Little Kitten' / Little Kitten Maiden Grass	#1	0.45m	50
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E	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	#1	0.45m	51
Ek	Erica x darleyensis 'Kramer's Red' / Kramer's Red Heather	#1	0.45m	104
Ew	Euphorbia characias wulfenii / Evergreen Spurge	#1	0.45m	92
Hk	Hosta x 'Krossa Regal' / Krossa Ragal Daylily	#1	0.45m	329
Lm	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0.45m	157
L	Liriope spicata 'Big Blue' / Creeping Lily Turf	#1	0.45m	101
Rg	Rudbeckia fulgida sultivantii 'Goldsturm' / Black-Eyed Susan	#1	0.45m	26
DWARF CONIFERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Cg	Chamaecyparis obtusa 'Gracilis' / Slender Hinoki Cypress	1.2m ht.	1.2m	3
Cn	Chamaecyparis obtusa 'Nana Gracilis' / Dwarf Hinoki Cypress	#3	1.2m	7
Ts	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	1.8m ht	0.9m	254

DP 21-934415

June 5, 2023

PLAN #17

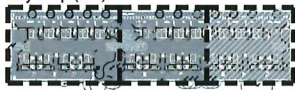


Planting Notes:

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- All planting within Tree Protection Zone to be supervised by a certified arborist

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Key Map (NTS)



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2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

REVISIONS TABLE FOR DRAWINGS

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No.	By:	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn: AL	Stamp:
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Checked: PC	
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Approved: DJ	Original Sheet Size: 24"x36"
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Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/ERRATA/AS-BUILT DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS SPECIALLY ISSUED FOR THE CONSTRUCTION.
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Drawing Title:
PLANTING PLAN EAST



VDZ Project #:
DP2021-06

Drawing #:
L-04C

TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	SIZE	QTY
	Acer griseum / Paperbark Maple	B&B	8cm cal.	8
	Cornus kousa 'Satomi' / Red Kousa Dogwood	B&B	8cm cal.	10
	Magnolia stellata 'Royal Star' / Royal Star Magnolia	B&B	8cm cal.	6
	Picea omorika / Serbian Spruce	B&B	4m ht.	2
	Picea pungens 'Iseli Fastigiata' / Fastigiate Spruce	B&B	4m ht.	2
	Quercus palustris 'Green Pillar' / Green Pillar Oak	B&B	8cm cal.	2

	Existing Tree
	Street Tree (8cm caliper min.)

PLANT SCHEDULE

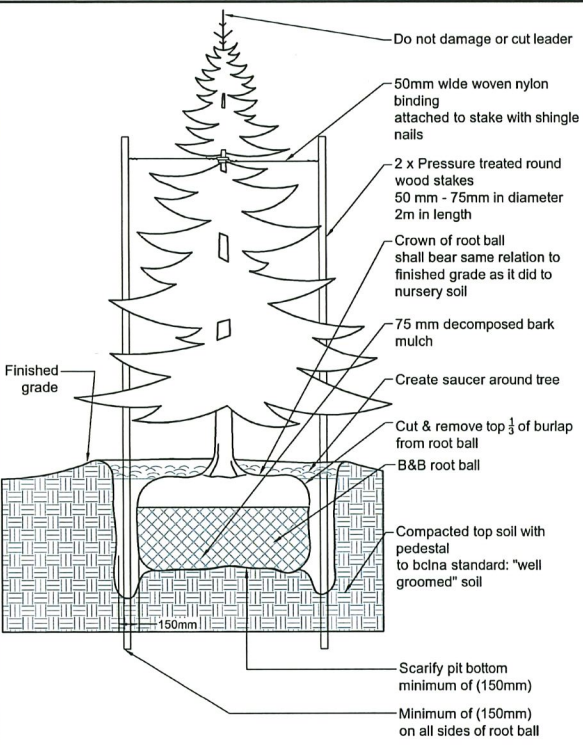
SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Az	Azalea japonica 'Hino Crimson' / Hino Crimson Japanese Azalea	#3	0.75m	125
Cy	Cotinus coggygia 'Young Lady' / Dwarf Smoke Tree	#2	1.5m	2
Ke	Kalmia latifolia 'Elf' / Dwarf Mountain Laurel	#3	1m	3
Np	Nandina domestica 'Fire Power' / Firepower Nandina	#3	0.45m	43
Rn	Rhododendron x 'Nova Zembla' / Rhododendron	#3	0.9m	16
Re	Rhododendron x 'P.J.M.' / PJM Rhododendron	#3	0.75m	28
Sc	Sarcococca ruscifolia / Fragrant Sarcococca	#2	0.45m	78
Sr	Skimmia japonica 'Rubella' / Skimmia	#2	0.75m	36
Sg	Spiraea japonica 'Goldmound' / Spirea	#2	0.65m	30
FERNS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Bs	Blechnum spicant / Deer Fern	#1	0.45m	324
Pm	Polystichum munitum / Western Sword Fern	#2	0.5m	326
GRASSES	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
C	Carex morrowii 'Ice Dance' / Ice Dance Japanese Sedge	#1	0.45m	48

Ha	Hakonechloa macro 'Aureola' / Golden Japanese Forest Grass	#1	0.45m	108
Mk	Miscanthus sinensis 'Little Kitten' / Little Kitten Maiden Grass	#1	0.45m	50
Mp	Miscanthus sinensis 'Purpurescens' / Flame Grass	#1	0.75m	20
PERENNIALS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Cv	Calluna vulgaris 'Silver Knight' / Silver Knight Heather	#1	0.45m	113
E	Echinacea purpurea 'Magnus' / Magnus Purple Coneflower	#1	0.45m	51
Ek	Erica x darleyensis 'Kramer's Red' / Kramer's Red Heather	#1	0.45m	104
Ew	Euphorbia characias wulfenii / Evergreen Spurge	#1	0.45m	92
Hk	Hosta x 'Krossa Regal' / Krossa Ragal Daylily	#1	0.45m	329
Lm	Lavandula angustifolia 'Munstead' / Munstead English Lavender	#1	0.45m	157
L	Liriope spicata 'Big Blue' / Creeping Lily Turf	#1	0.45m	101
Rg	Rudbeckia fulgida sultivantii 'Goldsturm' / Black-Eyed Susan	#1	0.45m	26
DWARF CONIFERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Cg	Chamaecyparis obtusa 'Gracilis' / Slender Hinoki Cypress	1.2m ht.	1.2m	3
Cn	Chamaecyparis obtusa 'Nana Gracilis' / Dwarf Hinoki Cypress	#3	1.2m	7
Ts	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	1.8m ht	0.9m	254

DP 21-934415

June 5, 2023

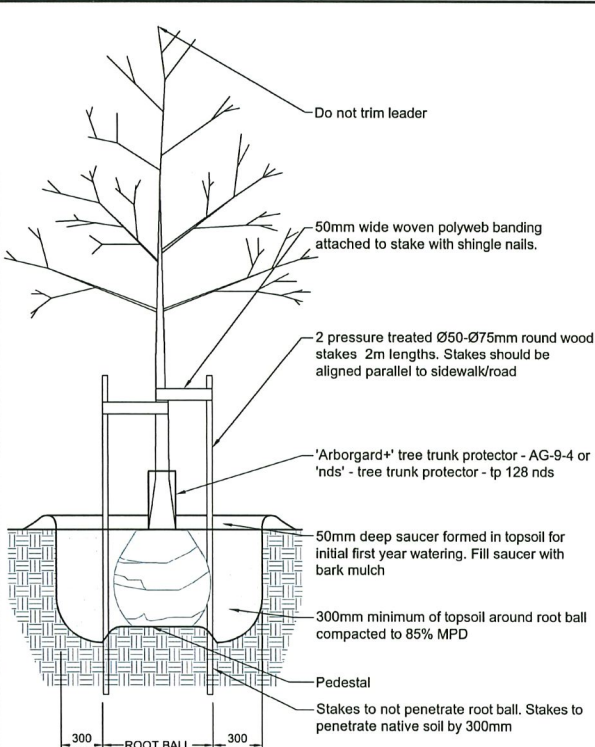
PLAN #18



- Notes:
1. Do not damage main roots or destroy root ball when installing tree stake.
 2. Water thoroughly after installation
 3. Remove tree rings and stakes two years after installations
 4. Provide drainage for planting pit in impermeable soil

1 CONIFEROUS TREE PLANTING

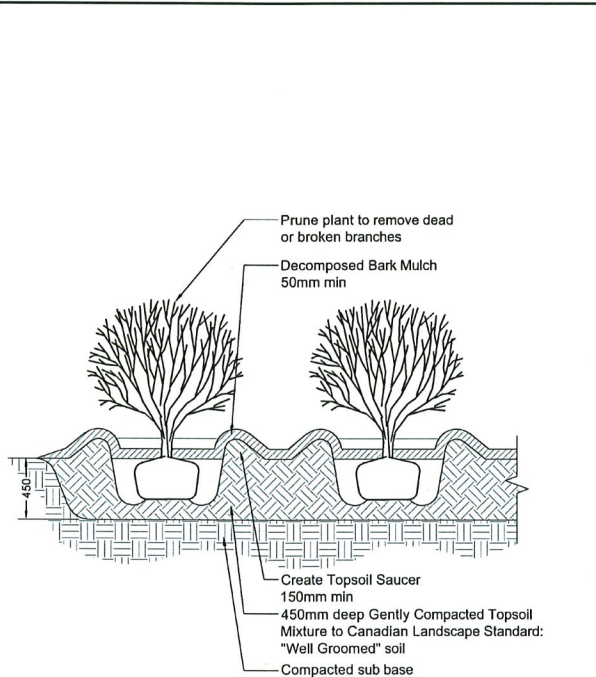
Scale 1:25



- Notes:
1. Sacking/burlap to be loosened and dropped to the bottom of the planting hole. all string, twine, etc.to be removed.
 2. All wire baskets shall have the top 1/3 of the wire removed prior to planting.
 3. All trees shall be single stem

2 DECIDUOUS TREE PLANTING

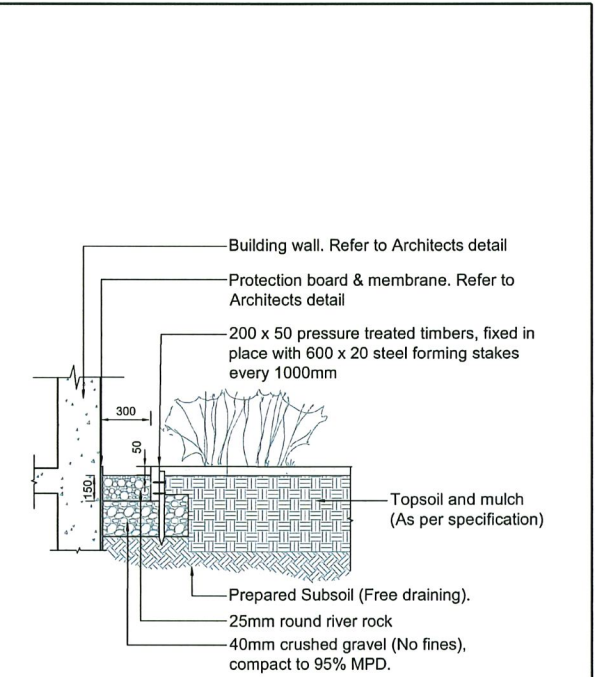
Scale 1:25



- NOTES:
1. Remove all string, twine, pots, tags from plant.
 2. All soil, mulch and plant material to meet latest Canadian Landscape Standard.
 3. Topsoil saucers diameter to be 1.5X diameter of plant container.
 4. O.C. spacing per planting plan.

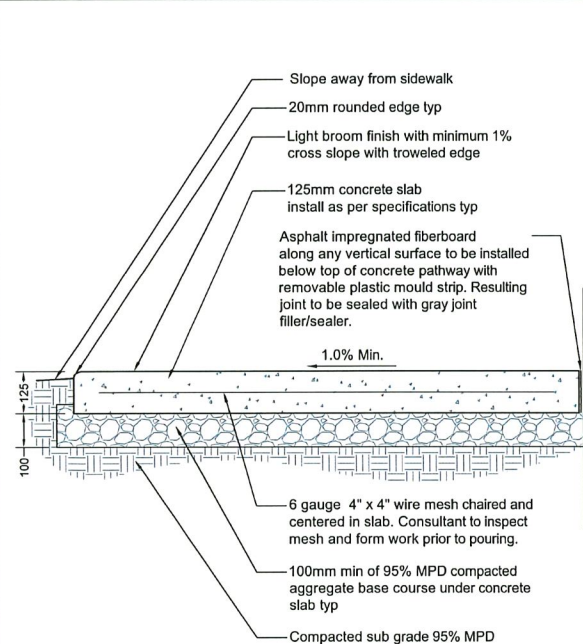
3 SHRUB PLANTING

Scale 1:25



4 DRIP STRIP

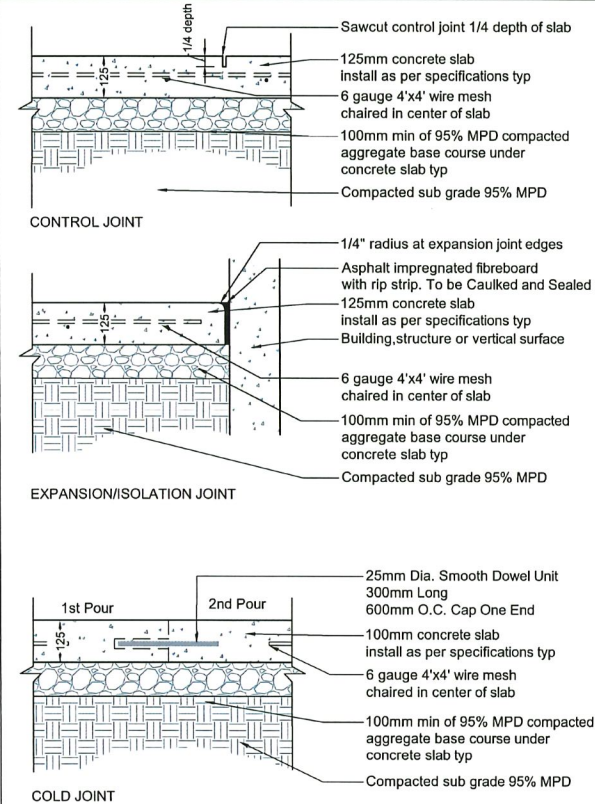
Scale 1:20



- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures.
 2. Horizontal scorelines at 1500mm o.c. both ways unless shown otherwise. Refer to plans.
 3. Center scoreline on 150mm smooth finish or to match existing concrete pathway.
 4. All components as specified or approved alternate.
 5. Concrete to slope to drain.
 6. Expansion joint every 6000mm o.c. both ways.
 7. Contractor to contact Landscape Architect for scoreline approval prior to cutting.

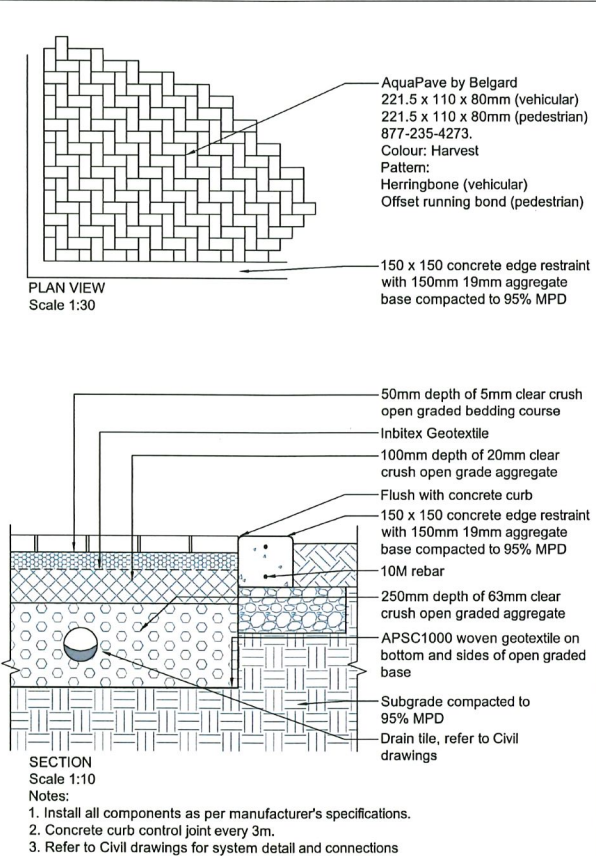
5 CONCRETE PAVING

Scale 1:10



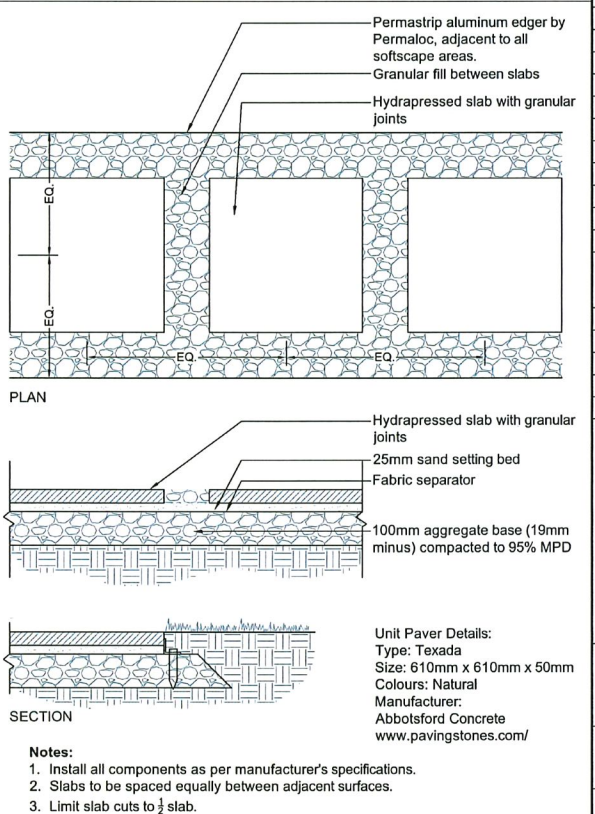
6 CONCRETE JOINTS

Scale 1:10



7 PERMEABLE PAVERS

Scale 1:10



8 SLABS IN GRANULAR

Scale 1:10

No.	By:	Description	Date
11	PC	Issued for DP	2023-06-01
10	PC	Issued for DP	2023-05-19
9	PC	Issued for DP	2023-03-31
8	PC	Issued for DP	2023-01-17
7	PC	Issued for DP	2022-06-27
6	PC	Issued for DP	2022-03-18
5	PC	Issued for ADP Comments	2022-02-28
4	PC	Issued for DP	2021-11-25
3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

Project: 9200-9340 Francis Road

Location: 9200-9340 Francis Road Richmond, B.C.

Drawn: AL Stamp:

Checked: PC

Approved: DJ Original Sheet Size: 24"x36"

Scale: As Shown

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Drawing Title: DETAILS

VDZ Project #: DP2021-06

Drawing #: LD-01

DP 21-934415

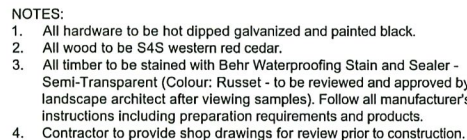
June 5, 2023

PLAN #19

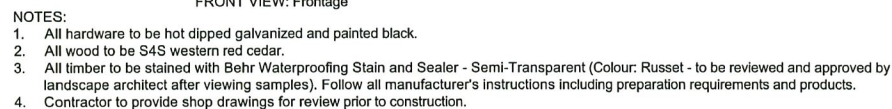


Image shows indicative slat spacing design.

- Notes:
1. All hardware to be hot dipped galvanized and painted black.
2. All wood to be S4S western red cedar.
3. All timber to be stained with Behr Waterproofing Stain and Sealer - Semi-Transparent (Colour: Russet - to be reviewed and approved by landscape architect after viewing samples). Follow all manufacturer's instructions including preparation requirements and products.
4. Spacing between wooden slats to be 19mm (1").
5. Contractor to provide shop drawings for review prior to construction.
6. Refer to plan for locations of signage.



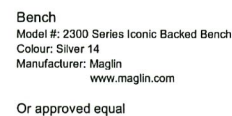
- NOTES:
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 4. Contractor to provide shop drawings for review prior to construction.



- NOTES:
1. All hardware to be hot dipped galvanized and painted black.
 2. All wood to be S4S western red cedar.
 3. All timber to be stained with Behr Waterproofing Stain and Sealer - Semi-Transparent (Colour: Russet - to be reviewed and approved by landscape architect after viewing samples). Follow all manufacturer's instructions including preparation requirements and products.
 4. Contractor to provide shop drawings for review prior to construction.



- BOLLARD LIGHT:**
Type: 6651 Gate LED
Bollard/Path
Colour: Black
Colour Temp: 27 (2700K)
Manufacturer: WAC Lighting
Supplier: WAC Lighting
1750 Archibald Avenue
Ontario, CA 91760
waclighting.com
Phone (800) 526.2588
Note: final light fixture to be
coordinated with Electrical.



- Bench**
Model #: 2300 Series Iconic Backed Bench
Colour: Silver 14
Manufacturer: Maglin
www.maglin.com
Or approved equal



11	PC	Issued for DP	2023-06-01
10	PC	Issued for DP	2023-05-16
9	PC	Issued for DP	2023-03-31
8	PC	Issued for DP	2023-01-17
7	PC	Issued for DP	2022-06-27
6	PC	Issued for DP	2022-03-18
5	PC	Issued for ADP Comments	2022-02-28
4	PC	Issued for DP	2021-11-25
3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20
No.	By:	Description	Date

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No.	By:	Description	Date

[illegible]

Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn: AL	Stamp:
Checked: PC	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: As Shown	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/ERRATA/AMP DRAWINGS MUST NOT BE PRICED FOR

Drawing Title:

DETAILS

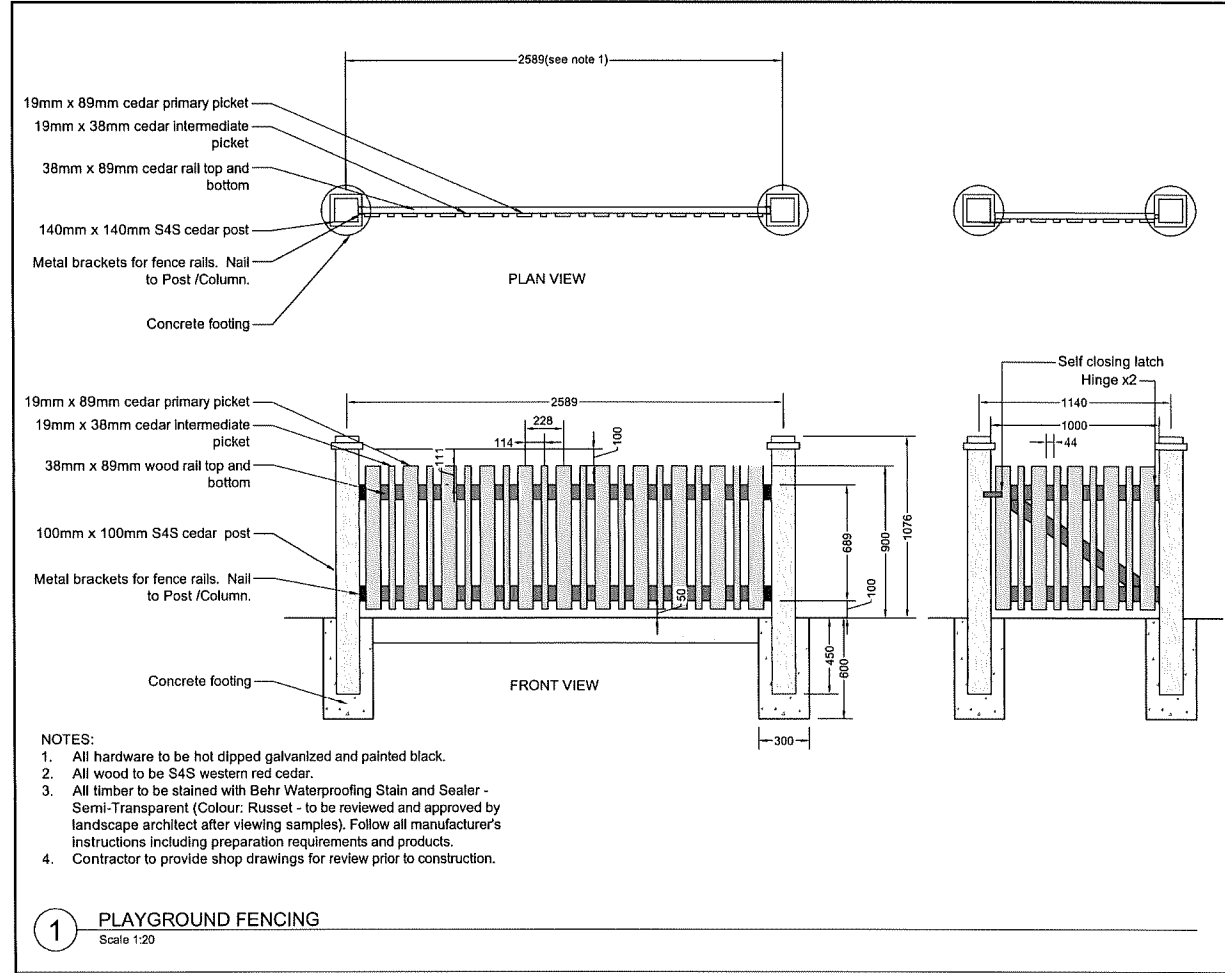
VDZ Project #:

DP2021-06

Drawing #:

LD-02

PROJECT SUB DEVELOPMENT PERMIT ACTIVE DP2021-06 9200-9340 FRANCIS ROAD, DWSHEET SLD-01 DETAILS.DWG



No.	By:	Description	Date
11	PC	Issued for DP	2023-06-01
10	PC	Issued for DP	2023-05-19
9	PC	Issued for DP	2023-03-31
8	PC	Issued for DP	2023-01-17
7	PC	Issued for DP	2022-09-27
6	PC	Issued for DP	2022-03-18
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3	PC	Issued for DP	2021-05-25
2	PC	Issued for DP	2021-05-04
1	PC	Issued for Review	2021-04-20

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REVISIONS TABLE FOR SHEET

Project:
9200-9340 Francis Road

Location:
9200-9340 Francis Road
Richmond, B.C.

Drawn: AL	Stamp:
Checked: PC	
Approved: DJ	Original Sheet Size: 24"x36"
Scale: As Shown	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES TO DRAWINGS MUST NOT BE PERFORMED FOR CONSTRUCTION UNLESS APPROVED BY THE CONSULTANT.

Drawing Title: DETAILS

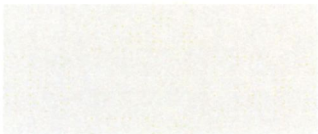
VDZ Project #: DP2021-06

Drawing #: LD-04

25-UNIT TOWNHOUSE DEVELOPMENT
9200-9340 FRANCIS ROAD
RICHMOND, BC

EXTERIAL FINISH - MATERIAL & COLOR

HARDIE BOARD / SIDING
COBBLE STONE



HARDIPANEL / SIDING
AGED PEWTER



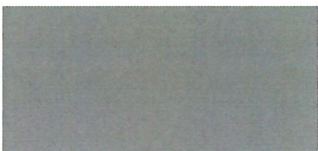
FACE BRICK (CULTURE STONE)
TALUS HEWN STONE BY BORAL



FISHER (CEMENT BOARD SIDING)
CEDARTONE 2.0



GARAGE DOOR
BM: AF-720 SPARROW



SOLID CORE WOOD DOOR
("RED-BROWN")



1

2

3

5

14

7

EXTERIOR FINISH & COLOR

1

JAMES HARDIE PANEL * / COBBLE STONE

2

JAMES HARDIE PANEL * / AGED PEWTER

3

FISHER (CEMENT BOARD SIDING) - CEDARTONE 2.0

4

GLASS/ALUMN. GUARD SYSTEM

5

HARDIE SIDING (7") - AGED PEWTER

6

DOUBLE-GLAZED WINDOWS IN VINYL FRAMES

7

CULTURED STONE BY BORAL - HEWN STONE

8

POT LIGHTS AT EACH ENTRY (MOTION SENSOR LED)

9

HOLLOW CORE DOOR - "RED-BROWN"

10

GARAGE DOOR - GREY

11

LIGHT FIXTURE (MOTION SENSOR LED)

12

2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AGED PEWTER

13

PICKET/GLASS ALUMN. GUARD SYSTEM

14

HARDIE SIDING (7") - COBBLE STONE

15

2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - COBBLE STONE

16

ASPHALT SHINGLES - BLACK - IKO

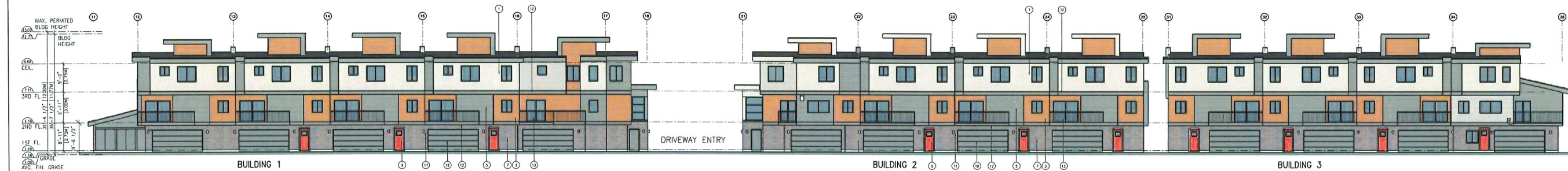
17

WOOD TRIM - COLOR TO FOLLOW WALL CLADDING/COLOR ELEVATION

* EASYTRIM ON FACADE FACING STREET OR ENTRY DRIVEWAY INCLUDING CONNECTED TURNING SIDES, AND BOARD & BATTEN ELSEWHERE



NORTH ELEVATIONS FRANCIS ROAD - STREET ELEVATION
SCALE: 1/16"=1'-0"



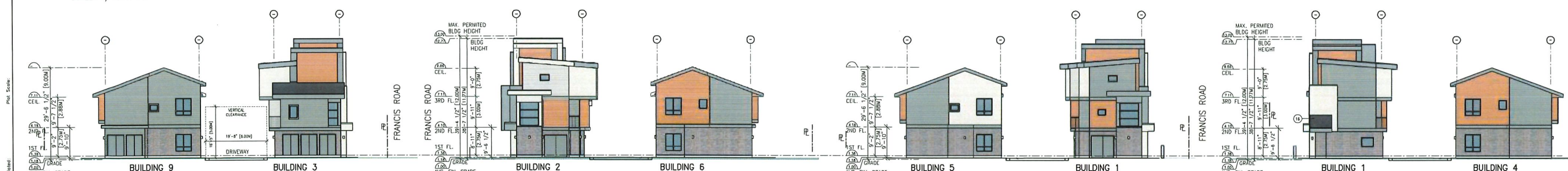
SOUTH ELEVATIONS INTERNAL DRIVEWAY
SCALE: 1/16"=1'-0"



NORTH ELEVATIONS INTERNAL DRIVEWAY
SCALE: 1/16"=1'-0"



SOUTH ELEVATIONS REAR YARD
SCALE: 1/16"=1'-0"



EAST ELEVATIONS
SCALE: 1/16"=1'-0"

WEST ELEVATIONS
SCALE: 1/16"=1'-0"

EAST ELEVATIONS
SCALE: 1/16"=1'-0"

WEST ELEVATIONS
SCALE: 1/16"=1'-0"



**ZHAO XD
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Fax (604) 909-1736

Email: info@zhaoarch.com
Web: zhaoarch.com



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15 MAY/23	CITY COMMENTS/DPP
15 DEC/22	CITY COMMENTS/DPP
29 SEP/22	CITY COMMENTS/DPP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
10 JUN/20	REZONING APP
Date:	Issued For:

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B	B. LOCATION SHEET
C	C. DETAIL SHEET

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Project:
TOWNHOUSE DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:
ELEVATIONS

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

DP 21-934415

June 5, 2023

DP21-934415

**Plan#P4
PLAN #24**

A4



ZHAO XD
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Project:

TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

ELEVATIONS
(ENLARGED)
- BUILDING 1

Date:

Scale:

Drawn By:

Checked By:

Project No.:

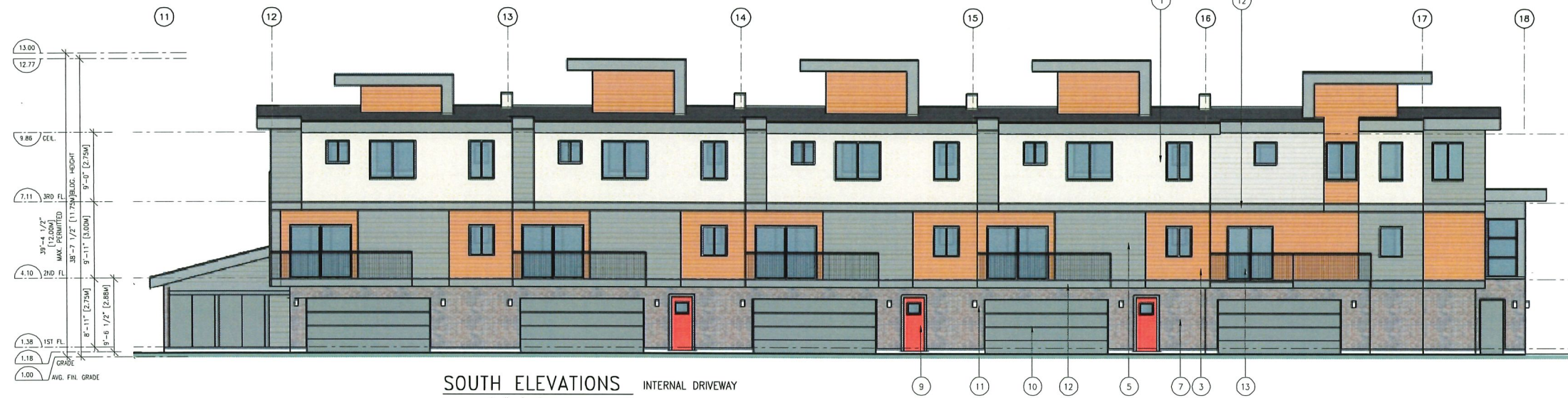
Drawing No.:

A4.1

PLAN #25



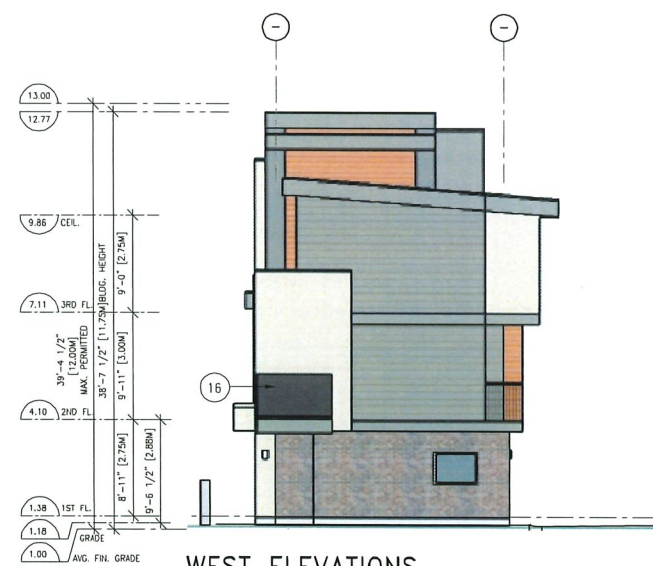
NORTH ELEVATIONS FRANCIS ROAD - STREET ELEVATION
SCALE: 1/16"=1'-0"



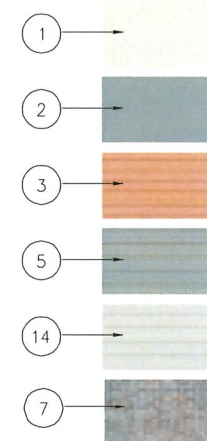
SOUTH ELEVATIONS INTERNAL DRIVEWAY
SCALE: 1/16"=1'-0"



EAST ELEVATIONS
SCALE: 1/16"=1'-0"



WEST ELEVATIONS
SCALE: 1/16"=1'-0"



EXTERIOR FINISH & COLOR

- 1 JAMES HARDIE PANEL * / COBBLE STONE
 - 2 JAMES HARDIE PANEL * / AGED PEWTER
 - 3 FISHER (CEMENT BOARD SIDING) - CEDARTONE 2.0
 - 4 GLASS/ALUMN. GUARD SYSTEM
 - 5 HARDIE SIDING (7") - AGED PEWTER
 - 6 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
 - 7 CULTURED STONE BY BORAL - HEWEN STONE
 - 8 POT LIGHTS AT EACH ENTRY (MOTION SENSOR LED)
 - 9 HOLLOW CORE DOOR - "RED-BROWN"
 - 10 GARAGE DOOR - GREY
 - 11 LIGHT FIXTURE (MOTION SENSOR LED)
 - 12 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AGED PEWTER
 - 13 PICKET/GLASS ALUMN. GUARD SYSTEM
 - 14 HARDIE SIDING (7") - COBBLE STONE
 - 15 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - COBBLE STONE
 - 16 ASPHALT SHINGLES - BLACK - IKO
 - 17 WOOD TRIM - COLOR TO FOLLOW WALL CLADDING/COLOR ELEVATION
- * EASYTRIM ON FACADE FACING STREET OR ENTRY DRIVEWAY INCLUDING CONNECTED TURNING SIDES, AND BOARD & BATTEN ELSEWHERE

DP21-934415
Plan#P5

June 5, 2023

DP 21-934415



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15 MAY/23	CITY COMMENTS/DPP
15 DEC/22	CITY COMMENTS/DPP
29 SEP/22	CITY COMMENTS/DPP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
40 JUN/20	REZONING APP
Date:	Issued For:

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C	C DETAIL SHEET

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Project:

TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

ELEVATIONS
(ENLARGED)
BUILDING 2

Date:

Scale:

Drawn By:

Checked By:

Project No.:

Drawing No.:

A4.2

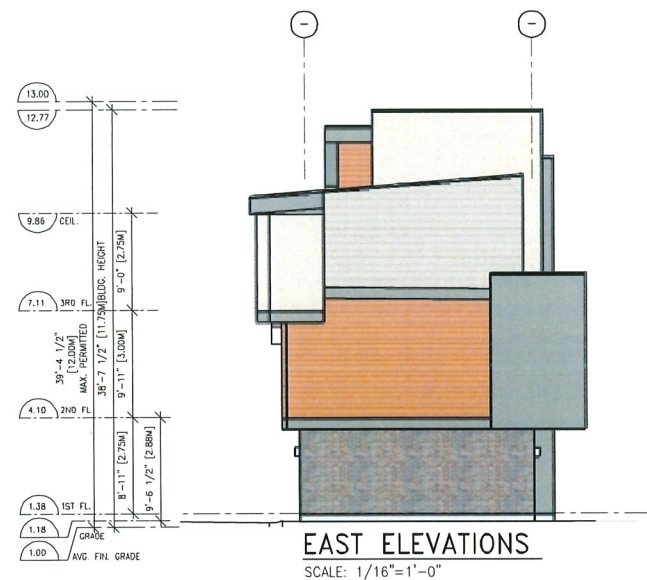
PLAN #26



NORTH ELEVATIONS FRANCIS ROAD - STREET ELEVATION
SCALE: 1/16"=1'-0"



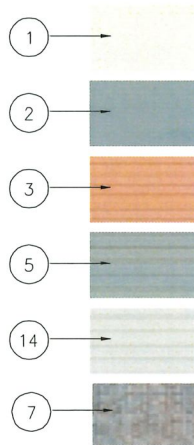
SOUTH ELEVATIONS INTERNAL DRIVEWAY
SCALE: 1/16"=1'-0"



EAST ELEVATIONS
SCALE: 1/16"=1'-0"



WEST ELEVATIONS
SCALE: 1/16"=1'-0"



EXTERIOR FINISH & COLOR

- 1 JAMES HARDIE PANEL* / COBBLE STONE
 - 2 JAMES HARDIE PANEL* / AGED PEWTER
 - 3 FISHER (CEMENT BOARD SIDING) - CEDARTONE 2.0
 - 4 GLASS/ALUM. GUARD SYSTEM
 - 5 HARDIE SIDING (7") - AGED PEWTER
 - 6 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
 - 7 CULTURED STONE BY BORAL - HEWN STONE
 - 8 POT LIGHTS AT EACH ENTRY (MOTION SENSOR LED)
 - 9 HOLLOW CORE DOOR - "RED-BROWN"
 - 10 GARAGE DOOR - GREY
 - 11 LIGHT FIXTURE (MOTION SENSOR LED)
 - 12 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AGED PEWTER
 - 13 PICKET/GLASS ALUM. GUARD SYSTEM
 - 14 HARDIE SIDING (7") - COBBLE STONE
 - 15 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - COBBLE STONE
 - 16 ASPHALT SHINGLES - BLACK - IKO
 - 17 WOOD TRIM - COLOR TO FOLLOW WALL CLADDING/COLOR ELEVATION
- * EASYTRIM ON FACADE FACING STREET OR ENTRY DRIVEWAY INCLUDING CONNECTED TURNING SIDES, AND BOARD & BATTEN ELSEWHERE

DP21-934415
Plan#P5

June 5, 2023

DP 21-934415



ZHAO XD
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15 MAY/23	CITY COMMENTS/DPP
15 DEC/22	CITY COMMENTS/DPP
29 SEP/22	CITY COMMENTS/DPP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
40 JUN/20	REZONING APP
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:

TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

ELEVATIONS
(ENLARGED)
- BUILDING 3 &
MAILBOX

Date:

Scale:

Drawn By:

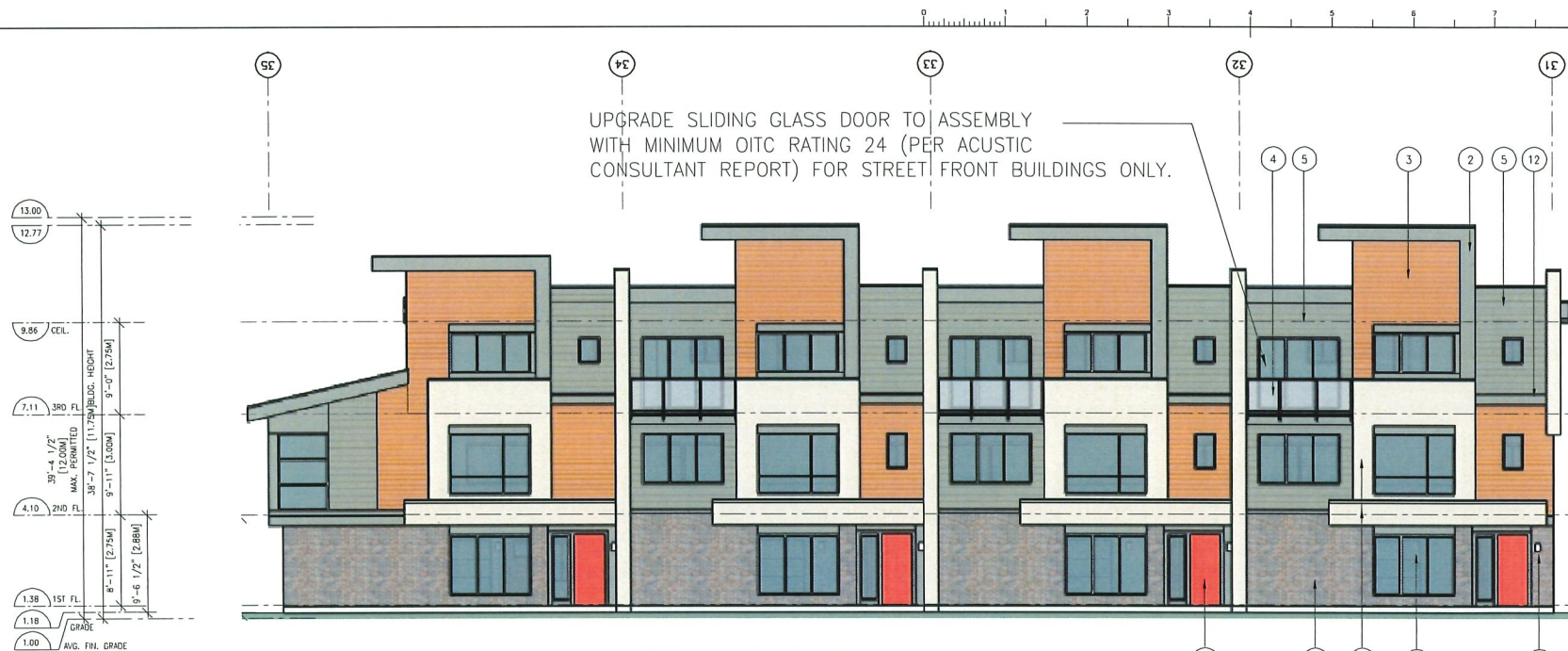
Checked By:

Project No.:

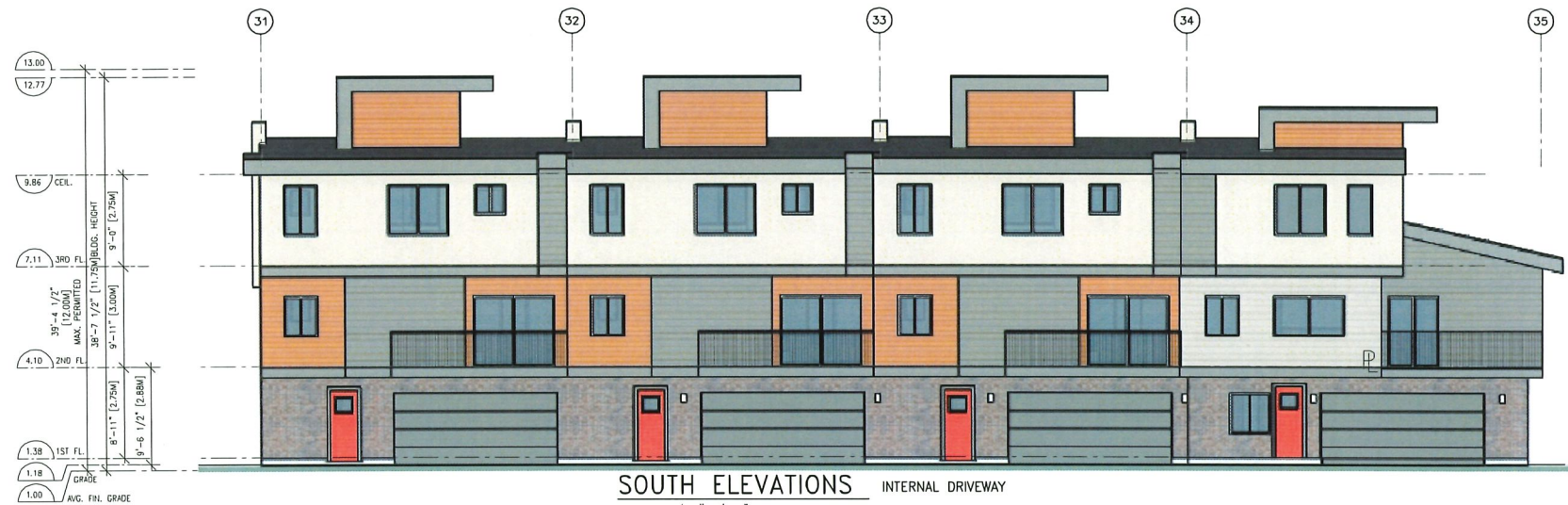
Drawing No.:

A4.3

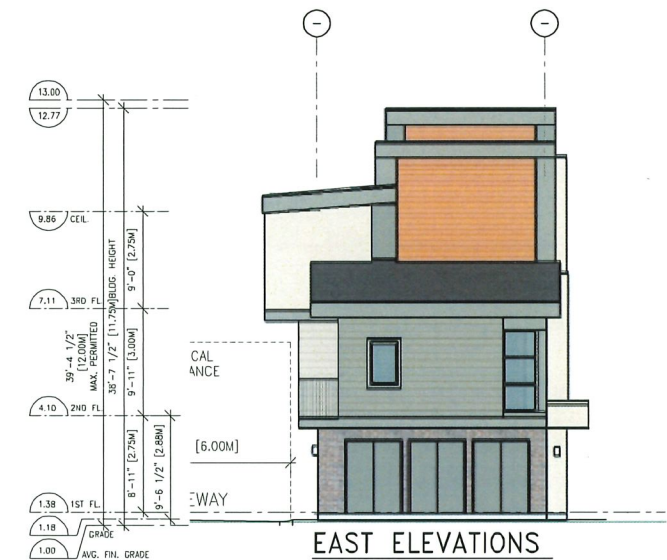
PLAN #27



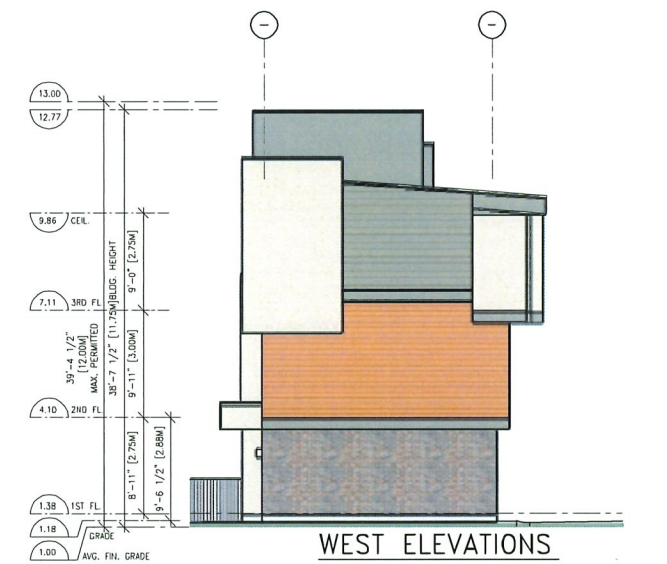
NORTH ELEVATIONS FRANCIS ROAD - STREET ELEVATION
SCALE: 1/16"=1'-0"



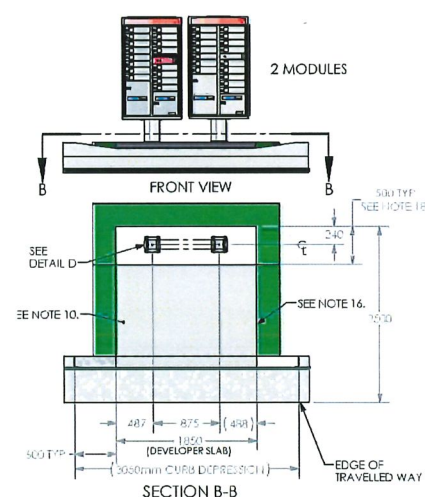
SOUTH ELEVATIONS INTERNAL DRIVEWAY
SCALE: 1/16"=1'-0"



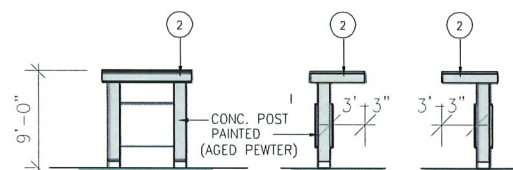
EAST ELEVATIONS
SCALE: 1/16"=1'-0"



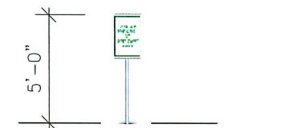
WEST ELEVATIONS
SCALE: 1/16"=1'-0"



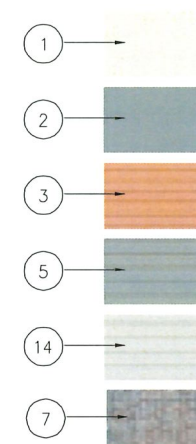
MAILBOX DETAILS (BY CANADA POST)
SCALE: NTS



MAILBOX KIOSK WITH POT LIGHTS ON SOFFIT
SCALE: 1/8"=1'-0"



DIRECTIONAL SIGNAGE
SCALE: 1/4"=1'-0"



EXTERIOR FINISH & COLOR

- 1 JAMES HARDIE PANEL * / COBBLE STONE
 - 2 JAMES HARDIE PANEL * / AGED PEWTER
 - 3 FISHER (CEMENT BOARD SIDING) - CEDARTONE 2.0
 - 4 GLASS/ALUMN. GUARD SYSTEM
 - 5 HARDIE SIDING (7") - AGED PEWTER
 - 6 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
 - 7 CULTURED STONE BY BORAL - HEWN STONE
 - 8 POT LIGHTS AT EACH ENTRY (MOTION SENSOR LED)
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 - 15 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - COBBLE STONE
 - 16 ASPHALT SHINGLES - BLACK - IKO
 - 17 WOOD TRIM - COLOR TO FOLLOW WALL CLADDING/COLOR ELEVATION
- * EASYTRIM ON FACADE FACING STREET OR ENTRY DRIVEWAY INCLUDING CONNECTED TURNING SIDES, AND BOARD & BATTEN ELSEWHERE

DP21-934415

Plan#P5

June 5, 2023

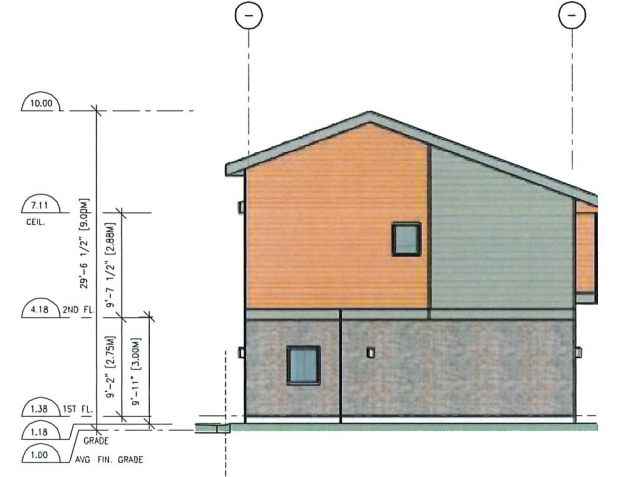
DP 21-934415



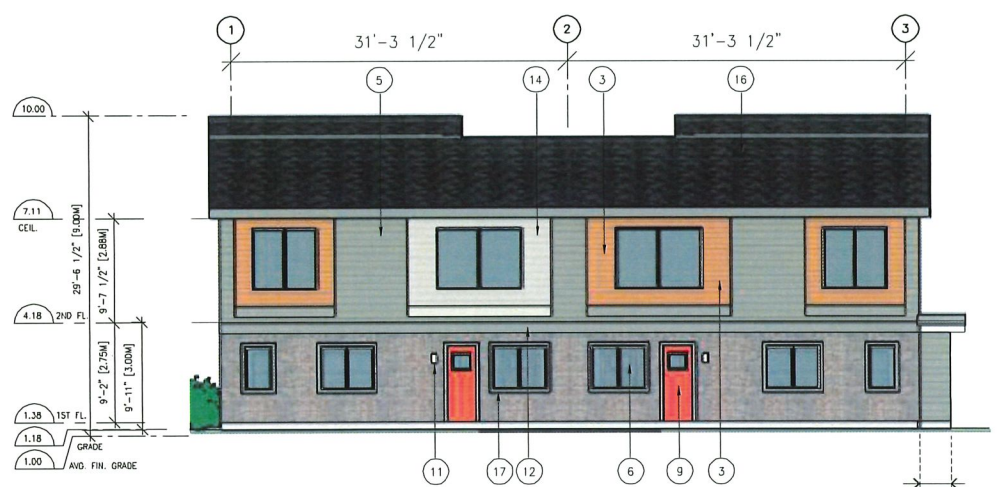
NORTH ELEVATIONS BUILDINGS 4, 5 & 7
SCALE: 1/16"=1'-0"



NORTH ELEVATIONS BUILDINGS 6, 8 & 9
SCALE: 1/16"=1'-0"



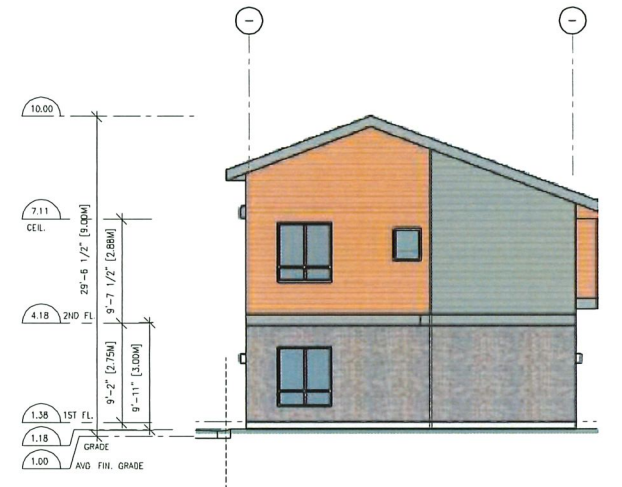
WEST ELEVATION BUILDINGS 5, 7, 8 & 9
SCALE: 1/16"=1'-0"



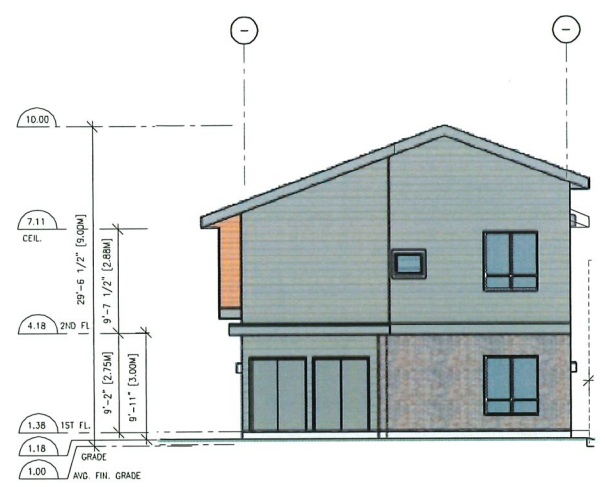
SOUTH ELEVATIONS BUILDINGS 4, 5 & 7
SCALE: 1/16"=1'-0"



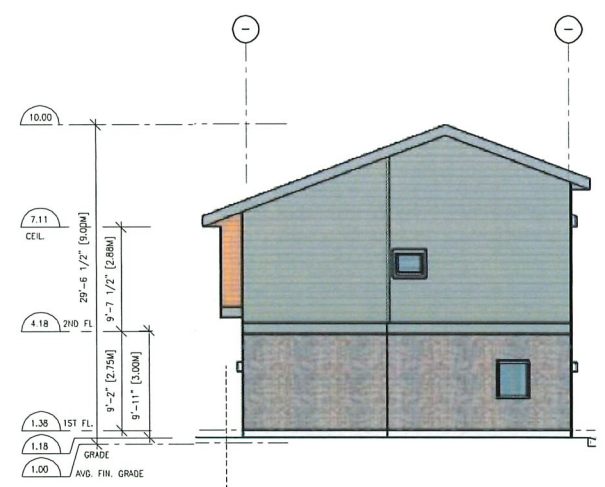
SOUTH ELEVATIONS BUILDINGS 6, 8 & 9
SCALE: 1/16"=1'-0"



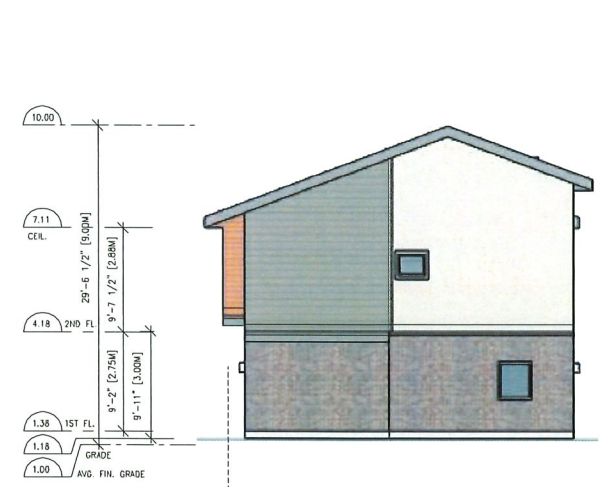
WEST ELEVATION BUILDINGS 4 & 6
SCALE: 1/16"=1'-0"



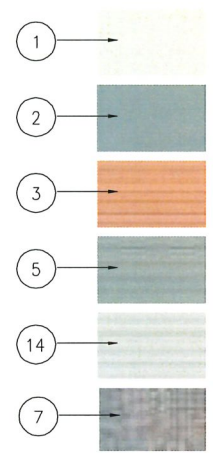
EAST ELEVATION BUILDING 9
SCALE: 1/16"=1'-0"



EAST ELEVATION BUILDINGS 6 & 8
SCALE: 1/16"=1'-0"



EAST ELEVATION BUILDINGS 4 & 7
SCALE: 1/16"=1'-0"



- EXTERIOR FINISH & COLOR**
- 1 JAMES HARDIE PANEL * / COBBLE STONE
 - 2 JAMES HARDIE PANEL * / AGED PEWTER
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 - 5 HARDIE SIDING (7") - AGED PEWTER
 - 6 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
 - 7 CULTURED STONE BY BORAL - HEWN STONE
 - 8 POT LIGHTS AT EACH ENTRY (MOTION SENSOR LED)
 - 9 HOLLOW CORE DOOR - "RED-BROWN" (OR MORE NEUTRAL COLOR)
 - 10 GARAGE DOOR - GREY
 - 11 LIGHT FIXTURE (MOTION SENSOR LED)
 - 12 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AGED PEWTER
 - 13 PICKET/GLASS ALUM. GUARD SYSTEM
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**ZHAO XD
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LTD.**

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Web: zhaoarch.com



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15 MAY/23	CITY COMMENTS/DPP
15 DEC/22	CITY COMMENTS/DPP
29 SEP/22	CITY COMMENTS/DPP
07 FEB/22	ADP COMMENTS
22 NOV/21	ADP
07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
10 JUN/20	REZONING APP
Date:	Issued For:

A	A DETAIL NUMBER
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Project:

**TOWNHOUSE
DEVELOPMENT**

**9200-9340 Francis Road
RICHMOND, BC**

Drawing Title:

**ELEVATIONS
(ENLARGED)
2-STORY
BUILDINGS**

Date:

Scale:

Drawn By:

Checked By:

Project No.:

Drawing No.:

A4.4

DP 21-934415

June 5, 2023

PLAN #28



ZHAO XD
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22 NOV/21	ADP
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40 JUN/20	REZONING APP
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Project:

TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

SECTIONS/
ELEVATIONS

Date:

Scale:

Drawn By:

Checked By:

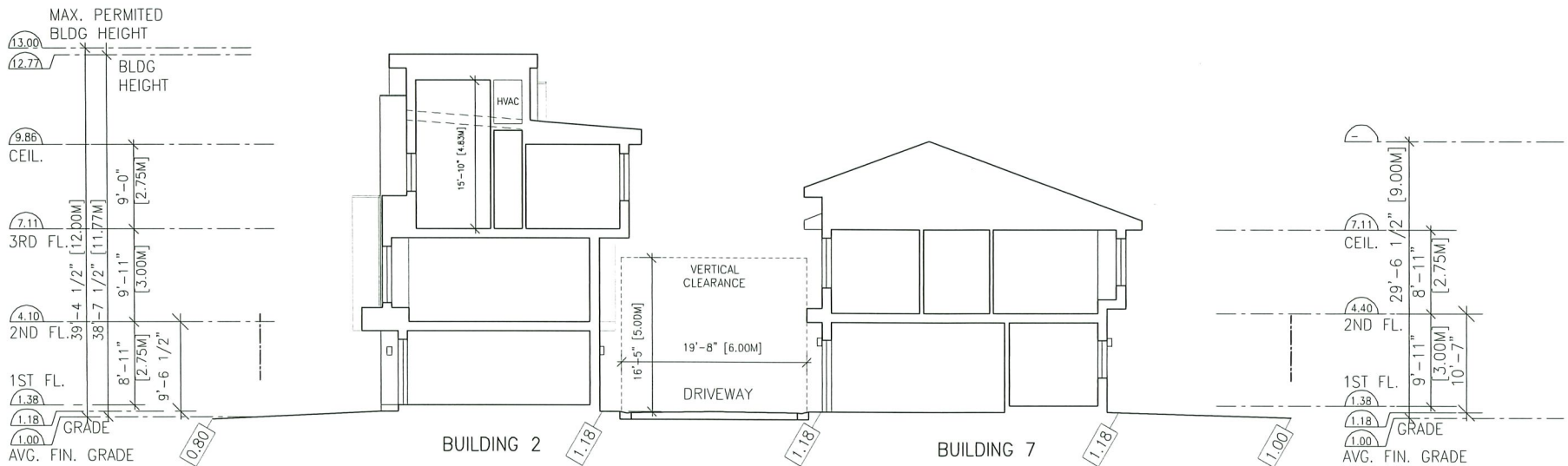
Project No.:

Drawing No.:

A5

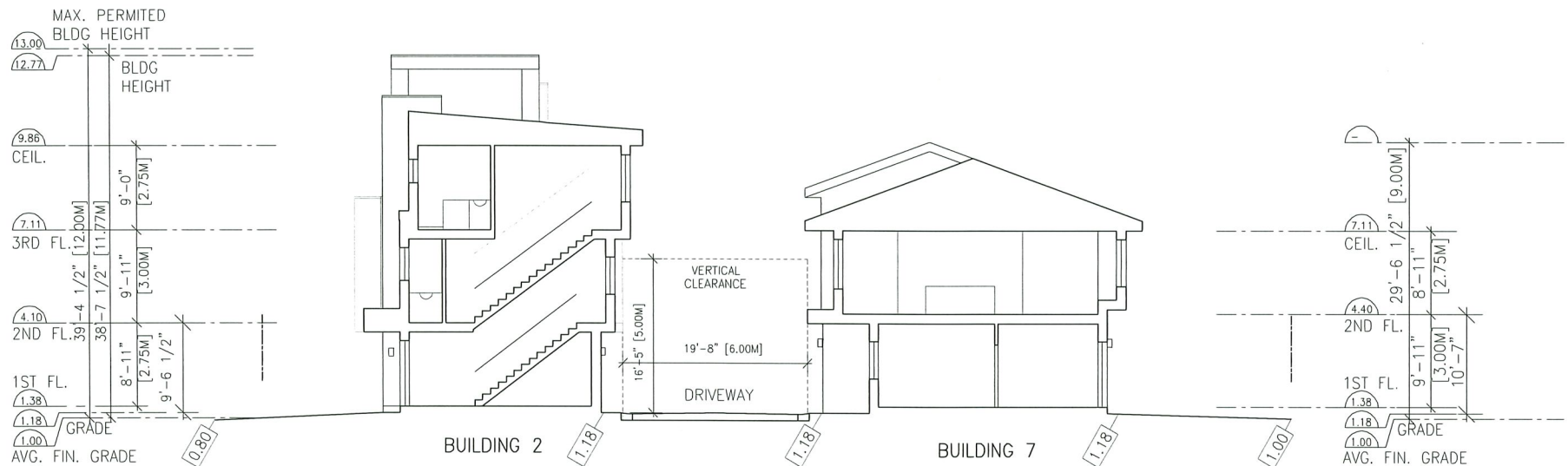
SECTION 'B'-B'

SCALE: 1/8"=1'-0"



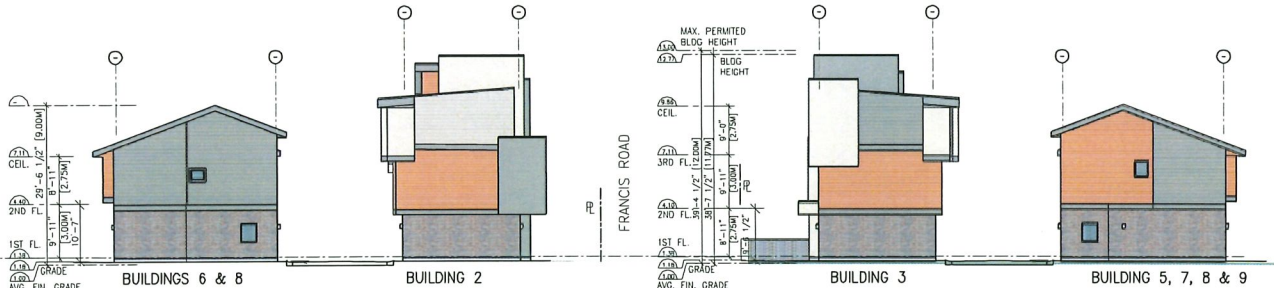
SECTION 'A'-A'

SCALE: 1/8"=1'-0"



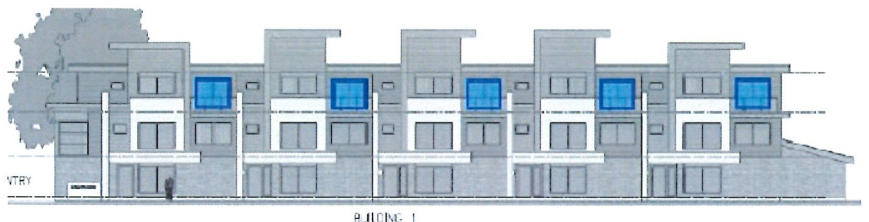
EAST ELEVATIONS

SCALE: 1/16"=1'-0"



WEST ELEVATIONS

SCALE: 1/16"=1'-0"



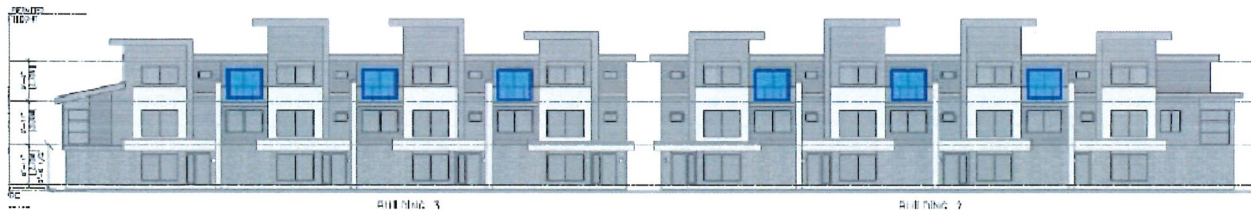
Upgrade sliding glass doors to assembly with minimum OITC rating of 24

NORTH ELEVATION OF BUILDINGS 1, 2 & 3 - GLAZING UPGRADES

SCALE: NTS

(REFER TO "ENVIRONMENTAL NOISE ASSESSMENT" BY ACOUSTIC CONSULTANT (BAP ACOUSTICS LTD.)

UPGRADE SLIDING GLASS DOOR TO ASSEMBLY WITH MIN. OITC RATING OF 24
(ALSO SEE FRONT ELEVATIONS ON SHEET A4)



DP 21-934415

June 5, 2023

PLAN #29



ZHAO XD
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MAR 20/23	DPP
NOV 22/20	ADP
MAR 31/20	FOR CITY COMMENTS
APR 1/19	DP APPLICATION
DEC19/18	FOR CITY COMMENTS

MAY31/18	REZONING APP
Date:	Issued For:

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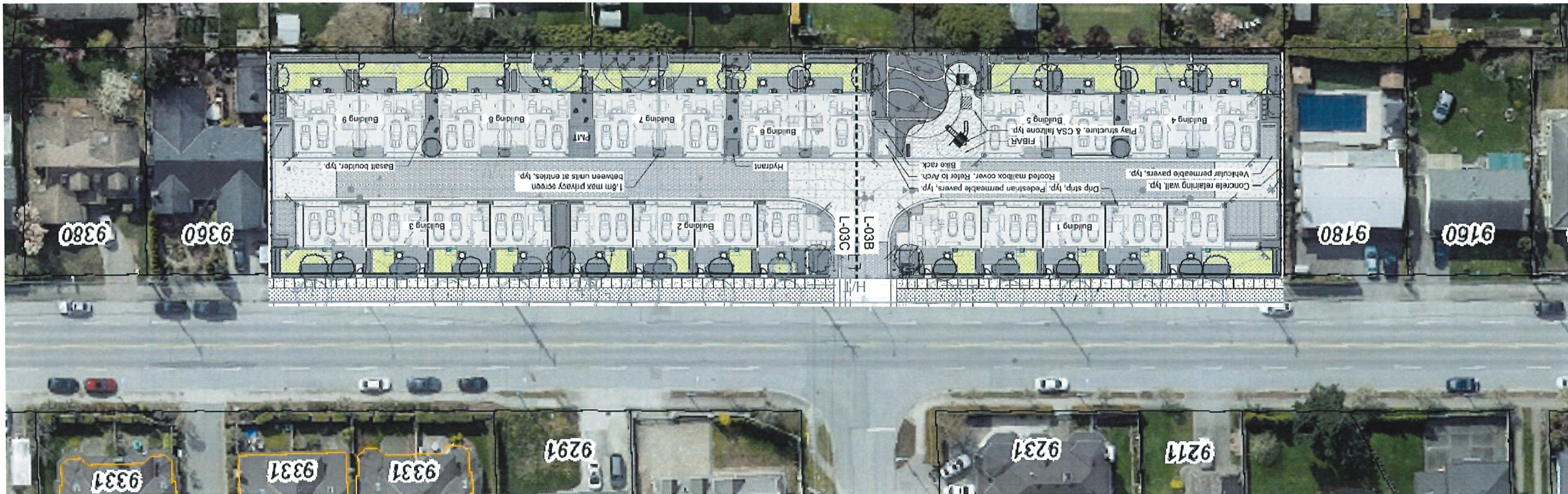
Project:
TOWNHOUSE DEVELOPMENT

8231-51 Williams Road
RICHMOND, BC

Drawing Title:
STREETSCAPE
ELEVATIONS &
CROSS SECTION

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

A9



9380

9360



9200-9340



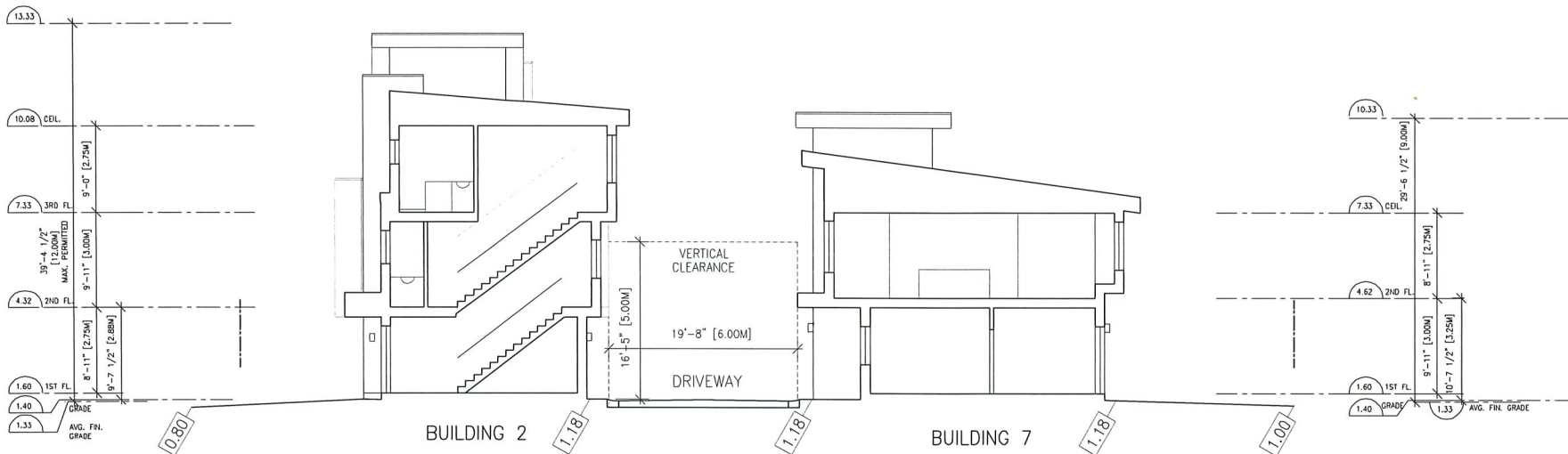
9180

9160



STREET SCAPE

SCALE: 1"=20'-0"



SECTION 'A'-'A'

SCALE: 1/8"=1'-0"

DP 21-934415

June 5, 2023

PLAN #30



ZHAO XD
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15 MAY/23	CITY COMMENTS/DPP
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07 JUN/21	CITY COMMENTS
04 MAY/21	DP APPLICATION
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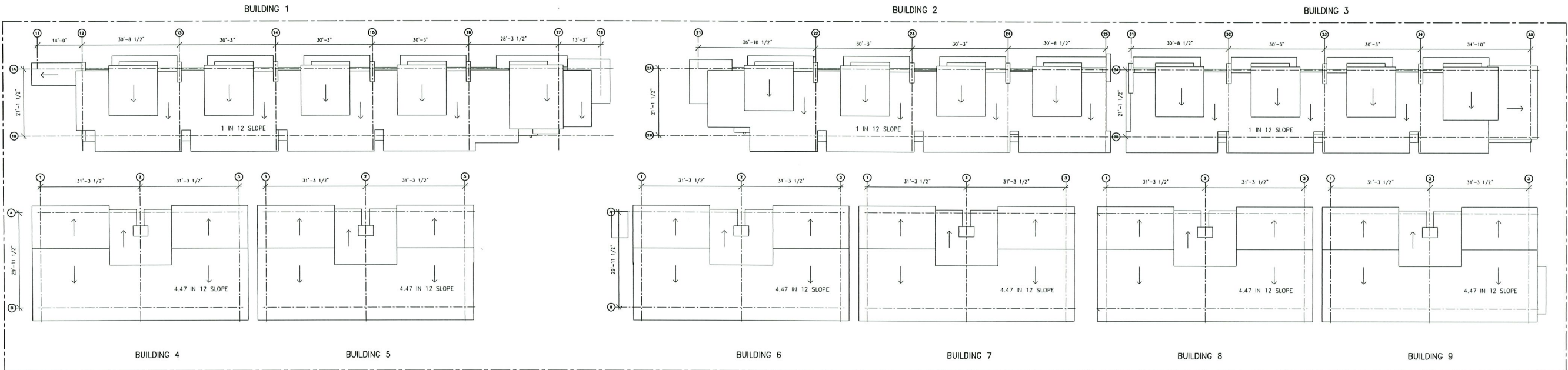
Project:
TOWNHOUSE
DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:
ROOF PLAN

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

A3.1



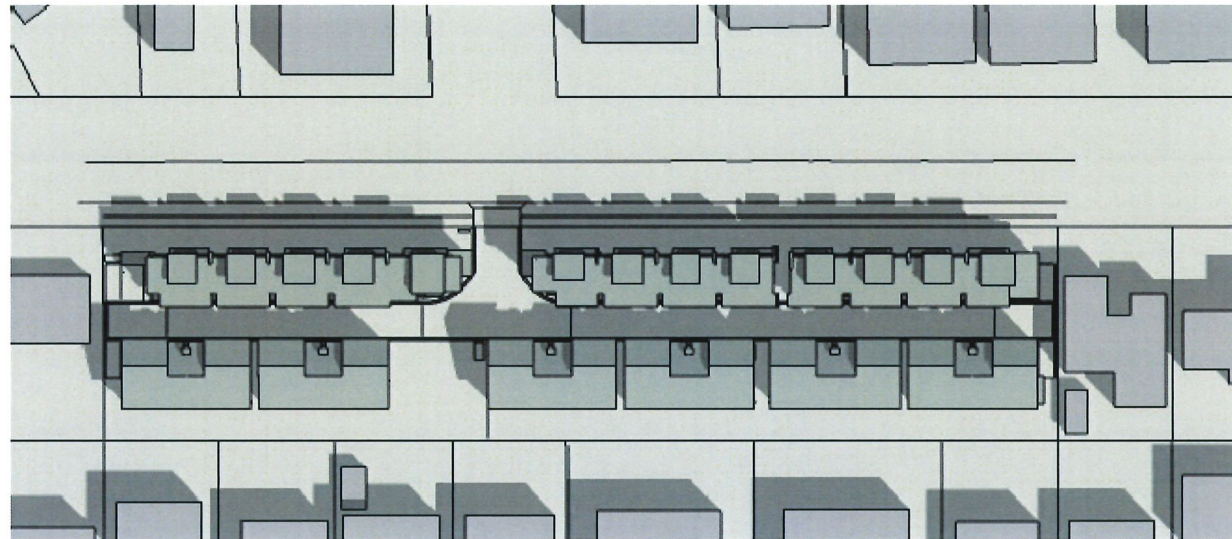
ROOF PLAN
SCALE: 1/16"=1'-0"

DP 21-934415

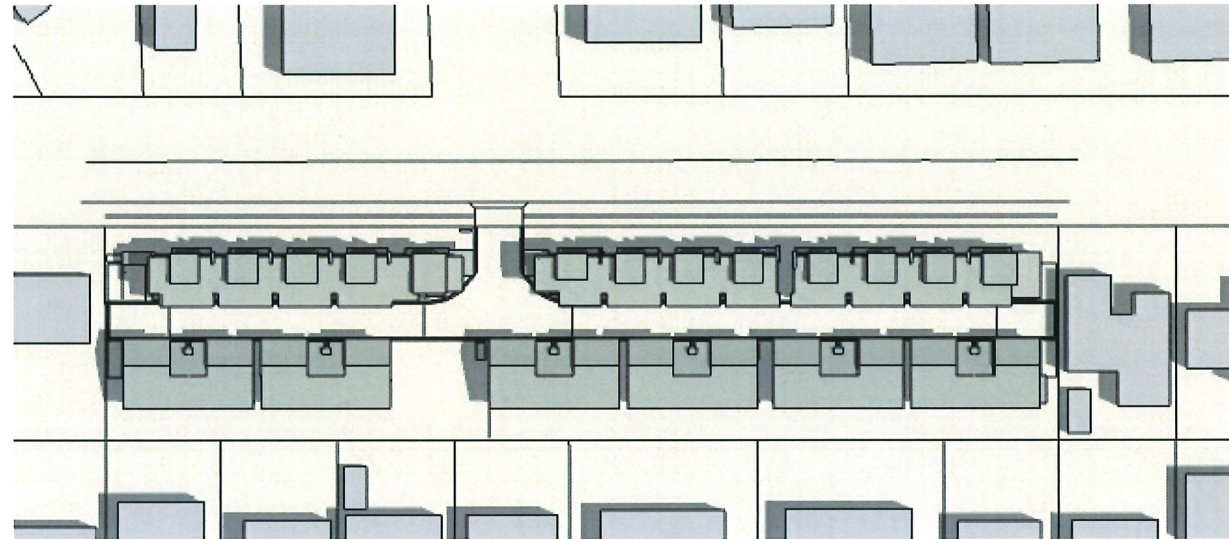
June 5, 2023

PLAN #31

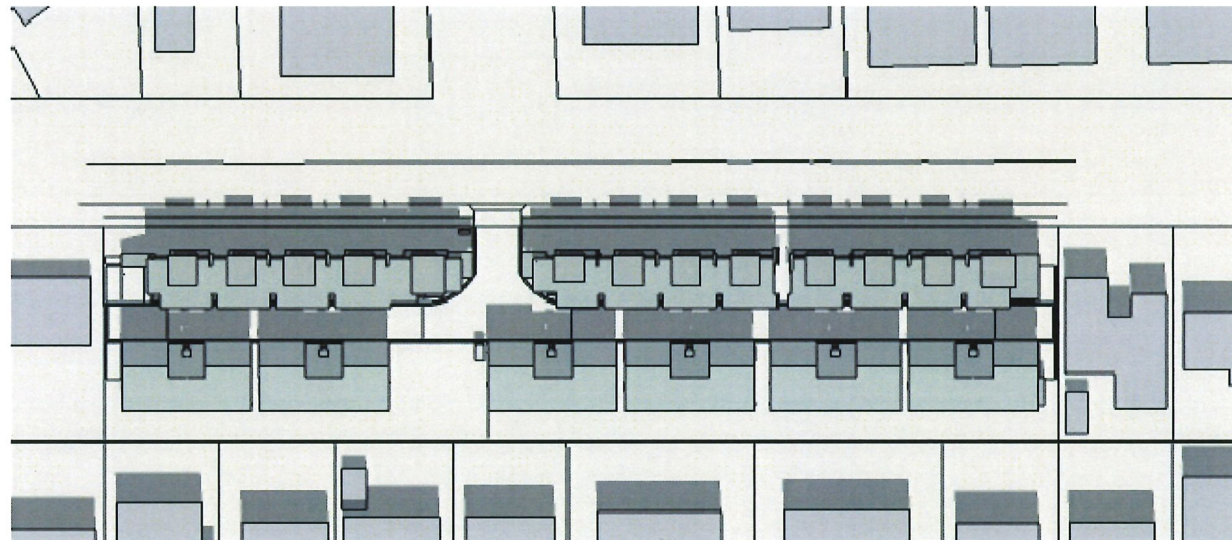
SUN SHADING DIAGRAMS



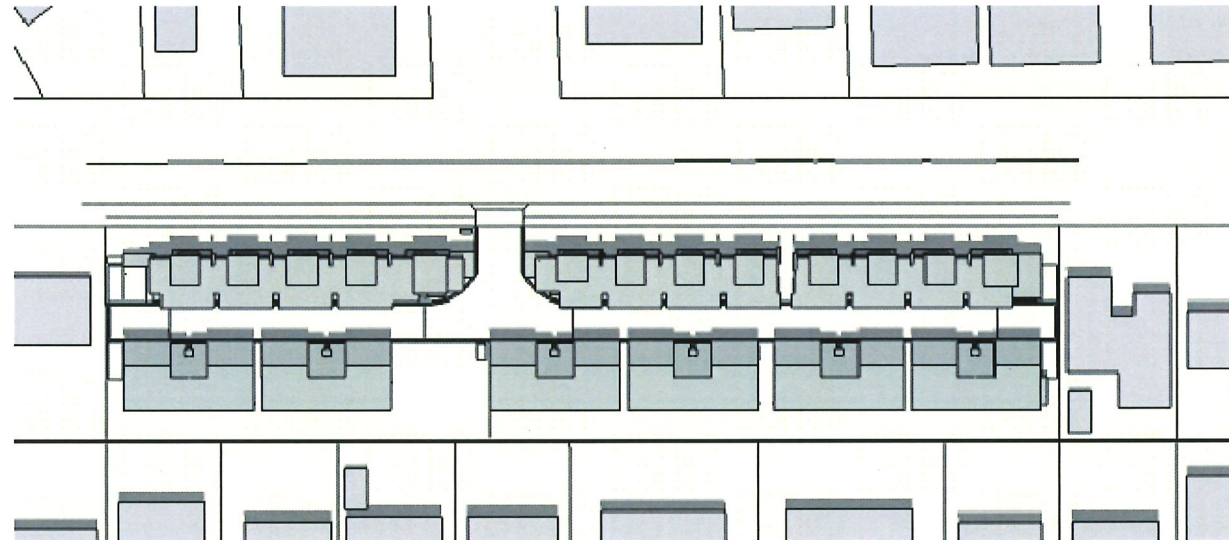
MARCH 21 10:00 am



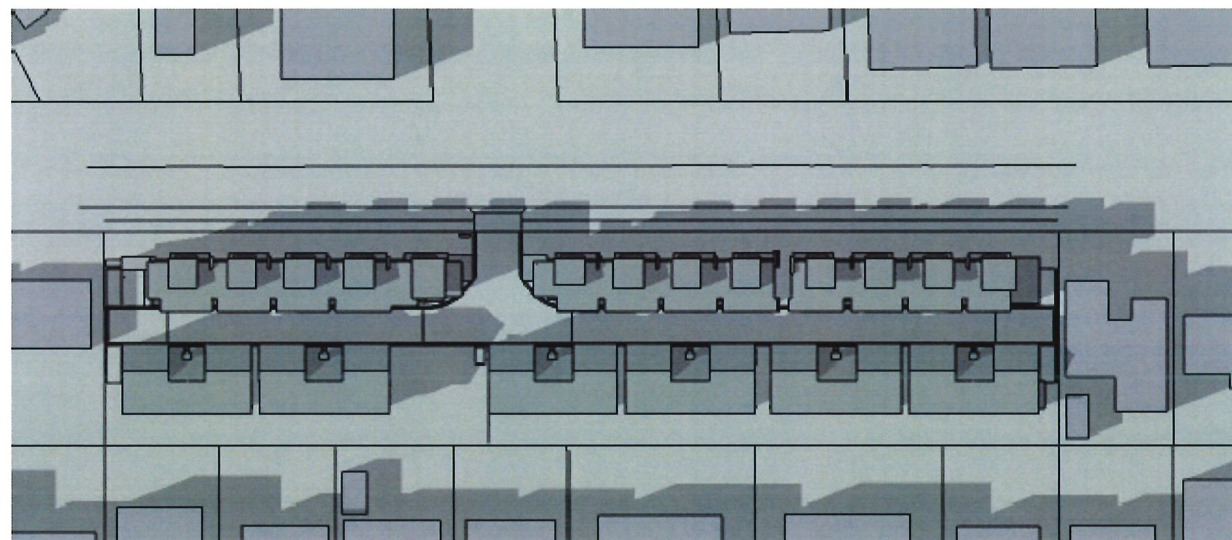
JUNE 21 10:00 am



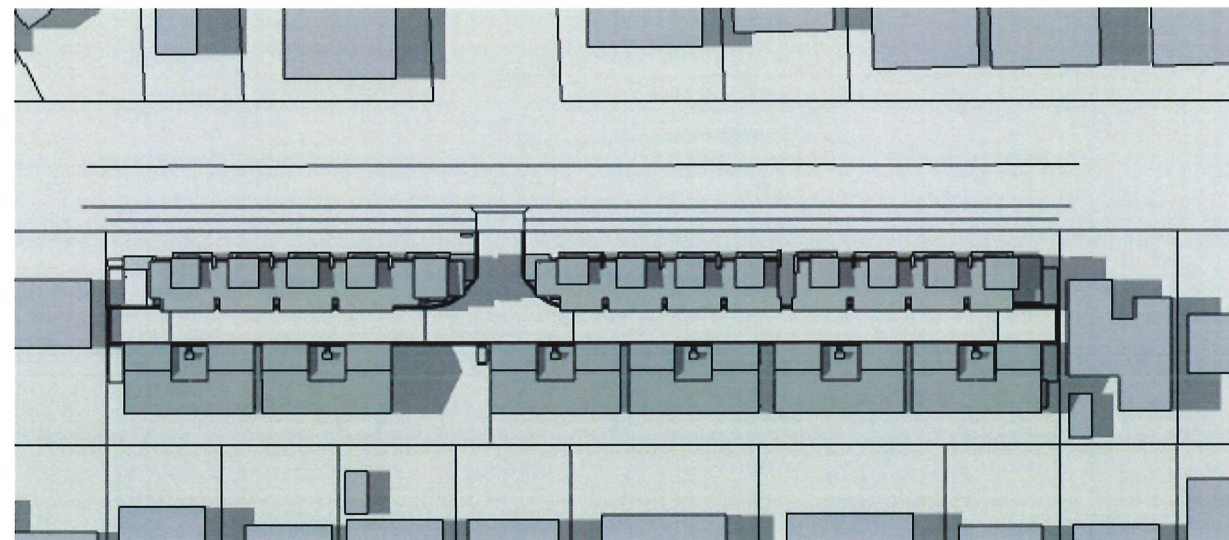
MARCH 21 12:00 pm



JUNE 21 12:00 pm



MARCH 21 4:00 pm



JUNE 21 4:00 pm



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MAR 20/23	DPP
NOV 22/20	ADP
MAR 31/20	FOR CITY COMMENTS
APR 1/19	DP APPLICATION
DEC19/18	FOR CITY COMMENTS

MAY31/18	REZONING APP
Date:	Issued For:

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Project:

TOWNHOUSE
DEVELOPMENT

8231-51 Williams Road
RICHMOND, BC

Drawing Title:

SUN SHADING
DIAGRAMS &
SECTIONS

Date:

Scale:

Drawn By:

Checked By:

Project No.:

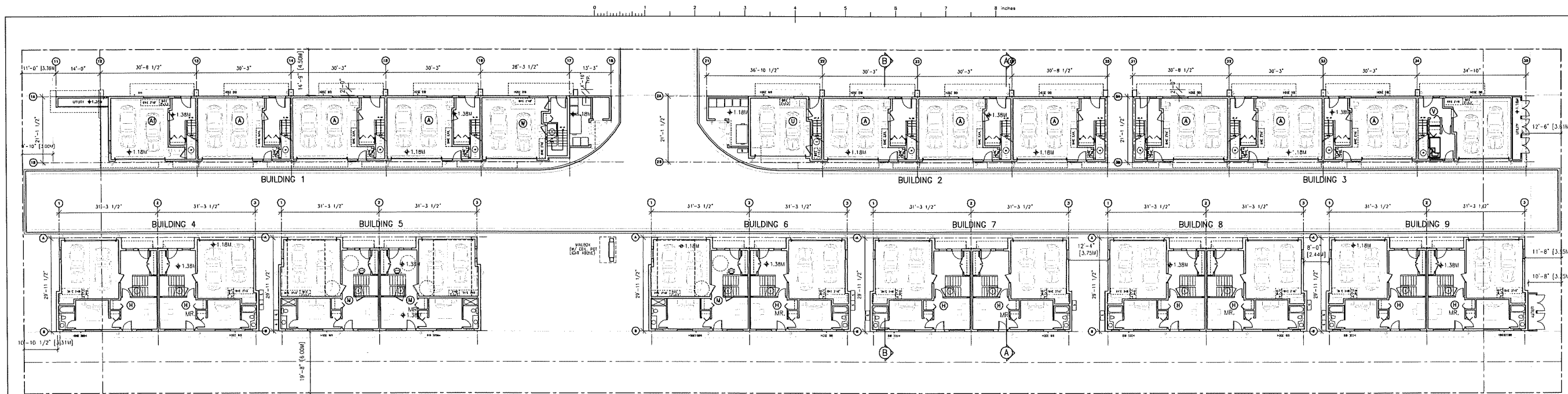
Drawing No.:

A10

DP 21-934415

June 5, 2023

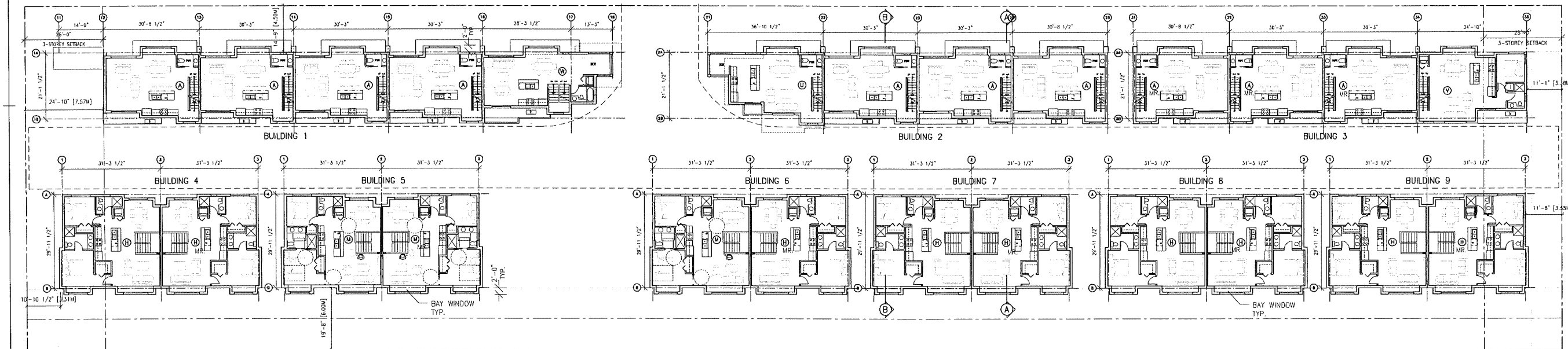
REFERENCE



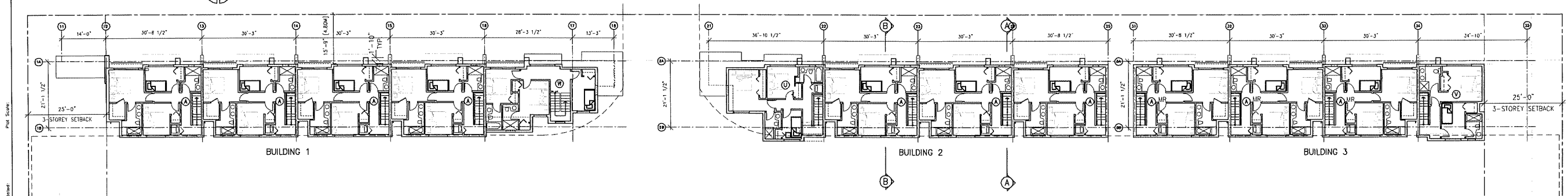
GROUND FLOOR PLAN
SCALE: 1/16"=1'-0"

BAY WINDOW NOTES:
BAY WINDOW SEAT MIN. 2" ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE.

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
-BLOCKING TO STAIR WALLS FOR FUTURE LIFT INSTALLATION



SECOND FLOOR PLAN
SCALE: 1/16"=1'-0"



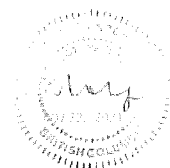
THIRD FLOOR PLAN
SCALE: 1/16"=1'-0"



**ZHAO XD
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Project:

**TOWNHOUSE
DEVELOPMENT**

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

FLOOR PLANS

Date:

Scale:

Drawn By:

Checked By:

Project No.:

Drawing No.:

DP21-934415

June 5, 2023

REFERENCE PLAN

A3

DP 21-934415



ZHAO XD
ARCHITECT
LTD.

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04 MAY/21	DP APPLICATION
10 JUN/20	REZONING APP
Date:	Issued For:

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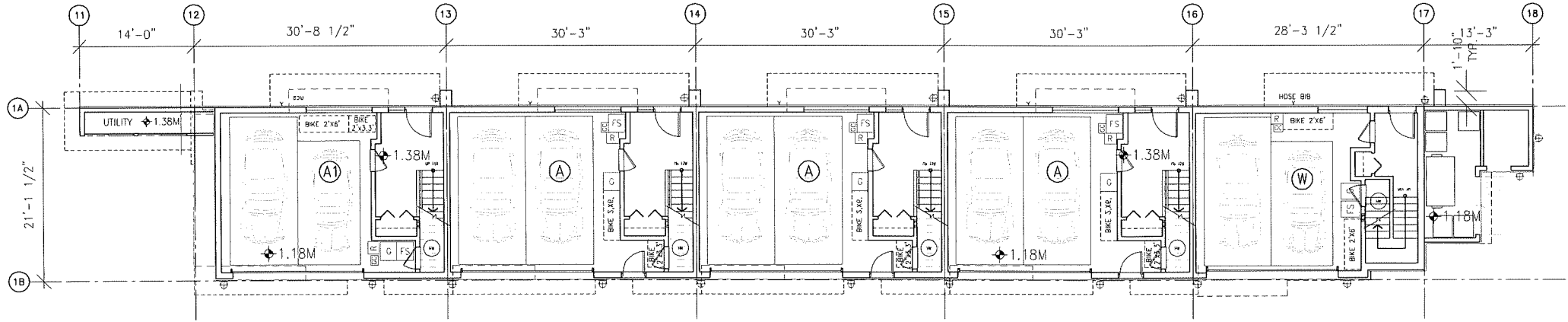
Project:
TOWNHOUSE DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

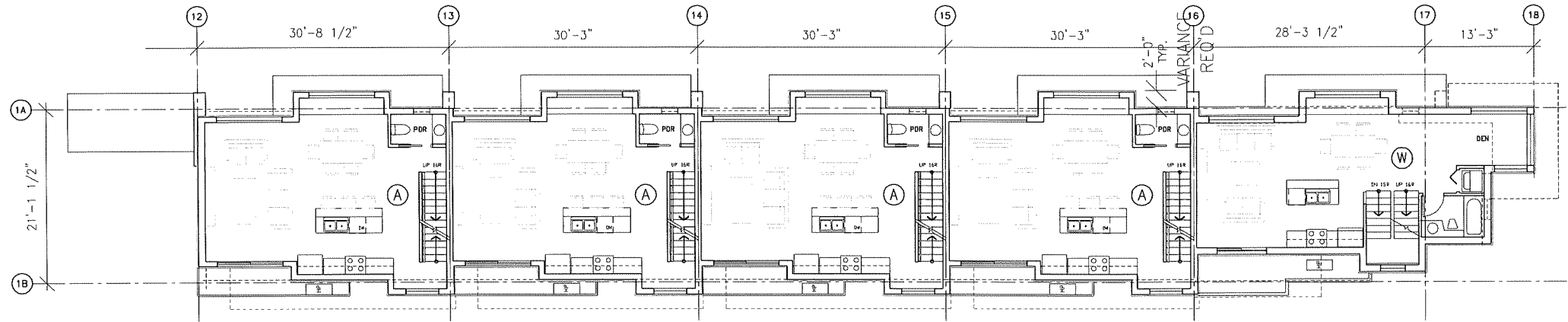
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FLOOR PLANS

Date:
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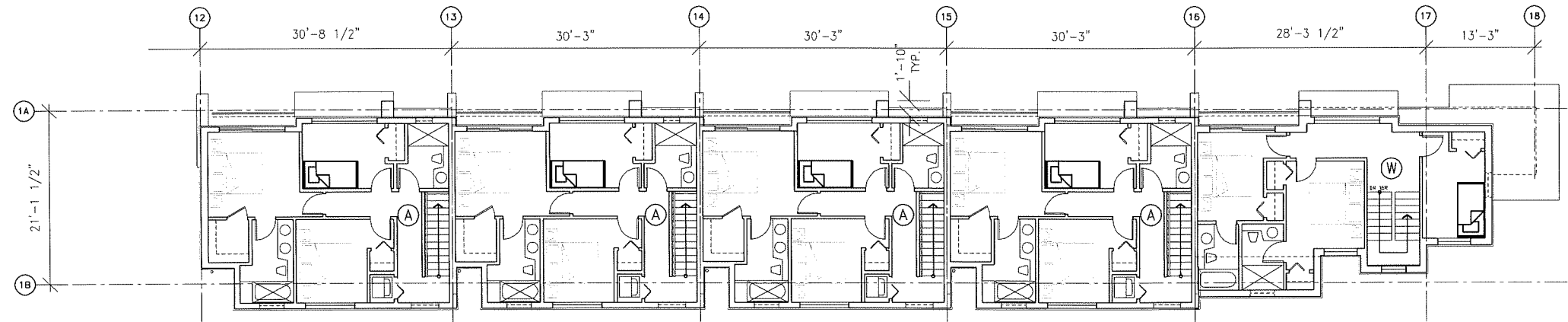
A3.3



**BUILDING 1:
GROUND FLOOR PLAN**
SCALE: 1/8"=1'-0"



**BUILDING 1:
2ND FLOOR PLAN**
SCALE: 1/8"=1'-0"



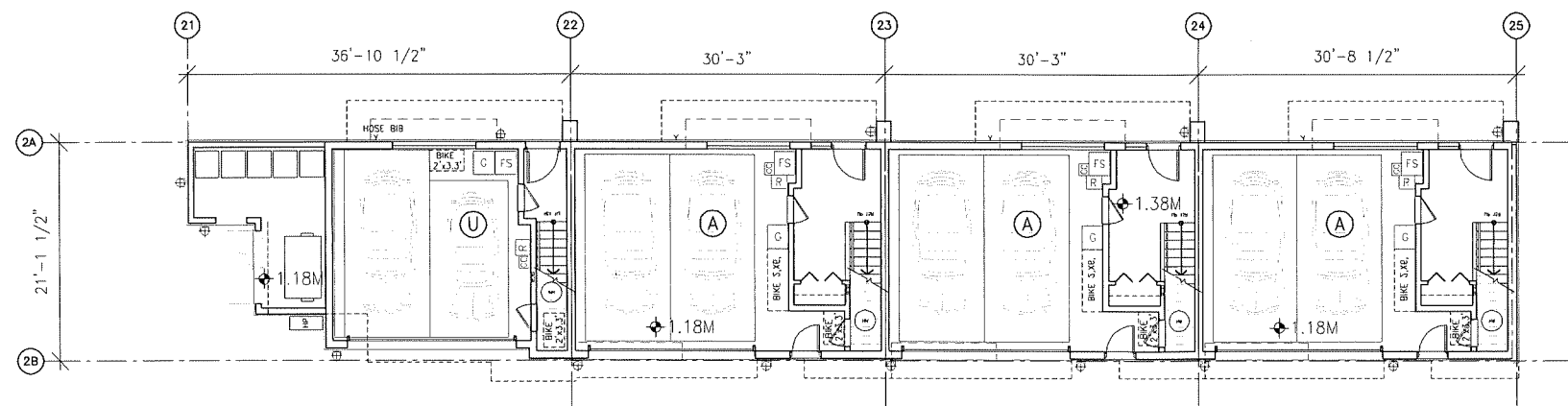
**BUILDING 1:
3RD FLOOR PLAN**
SCALE: 1/8"=1'-0"

DP 21-934415

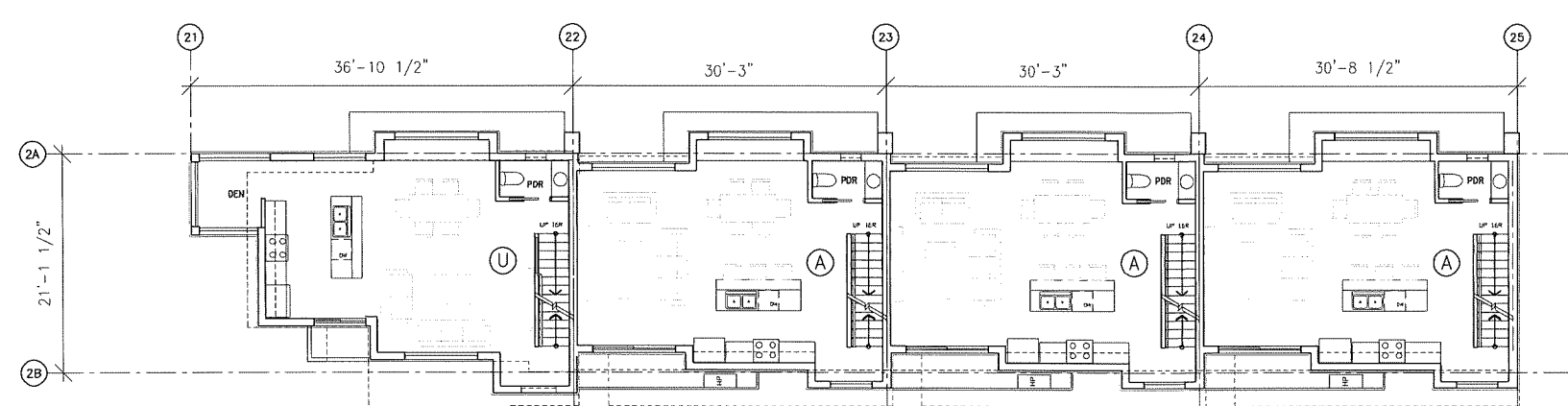
June 5, 2023

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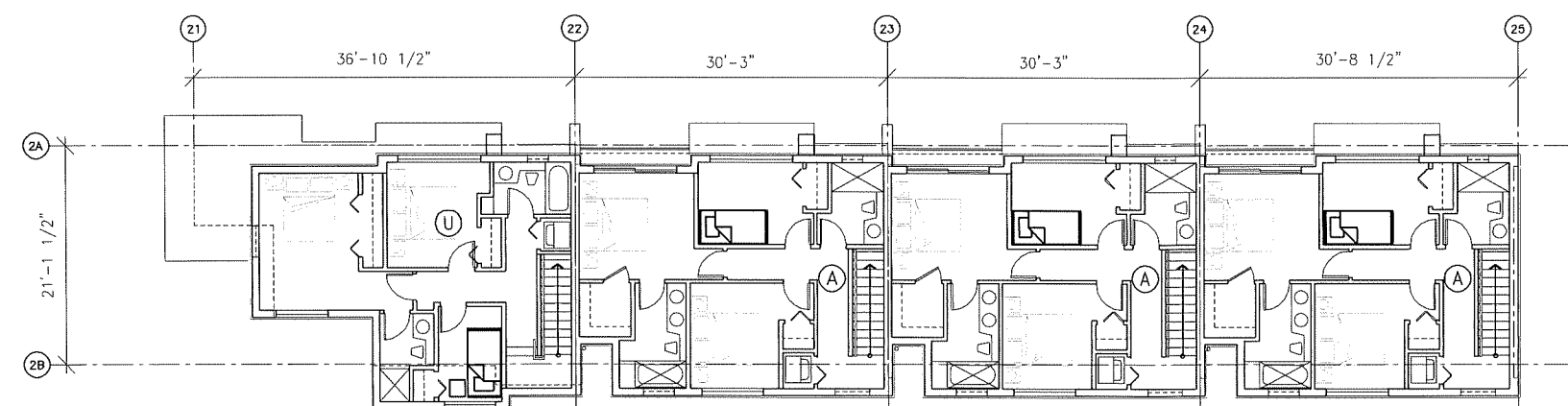
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**BUILDING 2:
GROUND FLOOR PLAN**
SCALE: 1/8"=1'-0"



**BUILDING 2:
2ND FLOOR PLAN**
SCALE: 1/8"=1'-0"



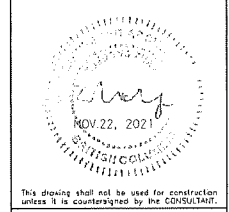
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3RD FLOOR PLAN**
SCALE: 1/8"=1'-0"



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**TOWNHOUSE
DEVELOPMENT**

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:
FLOOR PLANS

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A3.4

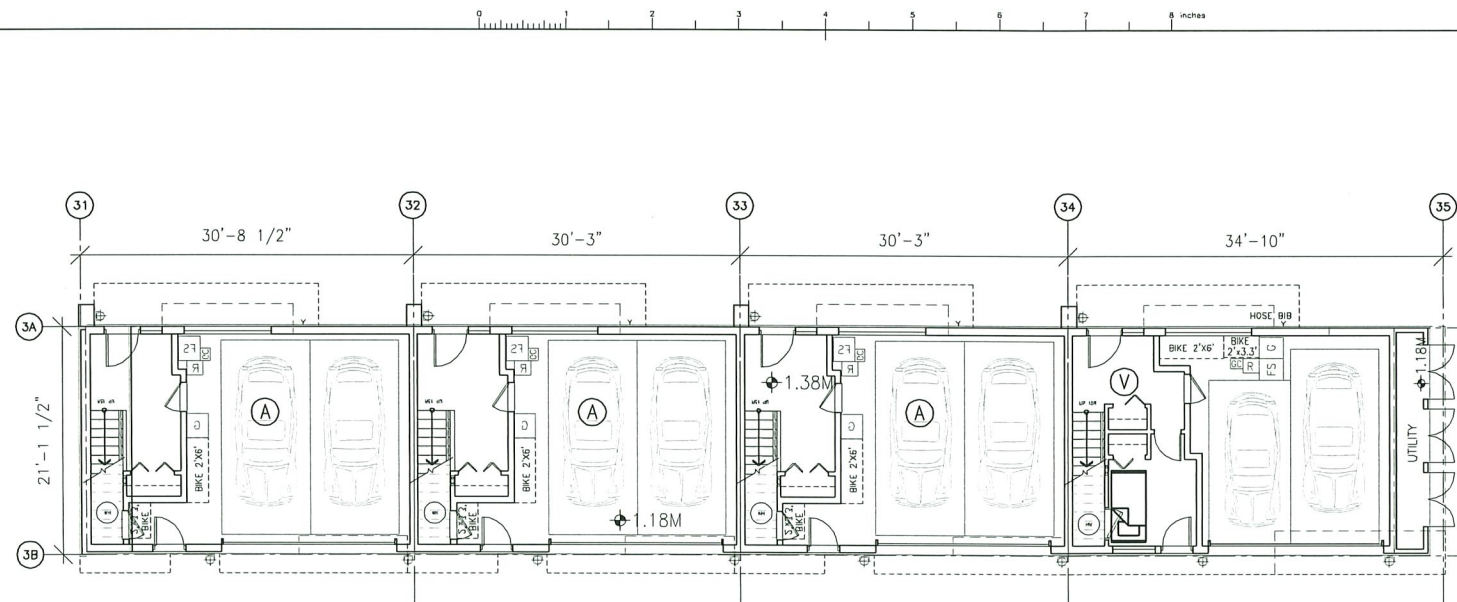
DP 21-934415

June 5, 2023

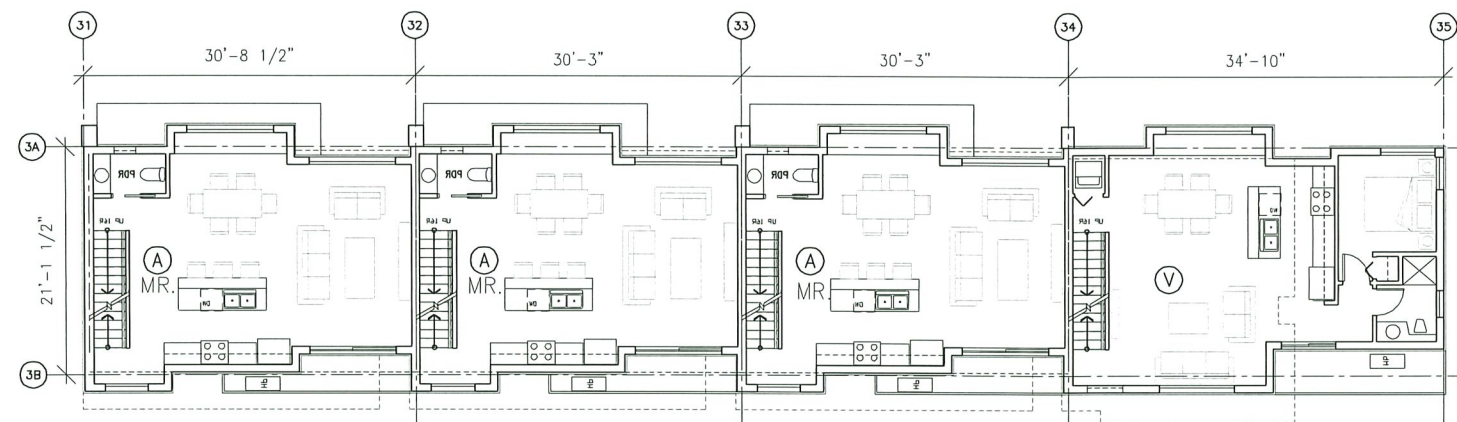
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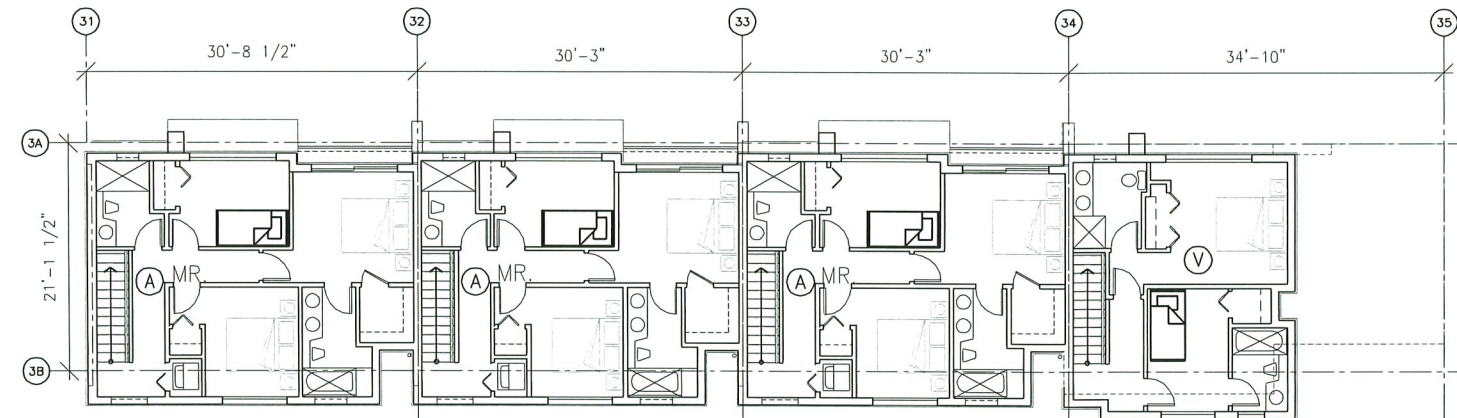
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**BUILDING 3:
GROUND FLOOR PLAN**
SCALE: 1/8"=1'-0"



**BUILDING 3:
2ND FLOOR PLAN**
SCALE: 1/8"=1'-0"



**BUILDING 3:
3RD FLOOR PLAN**
SCALE: 1/8"=1'-0"



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**9200-9340 Francis Road
RICHMOND, BC**

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FLOOR PLANS

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Project No.:

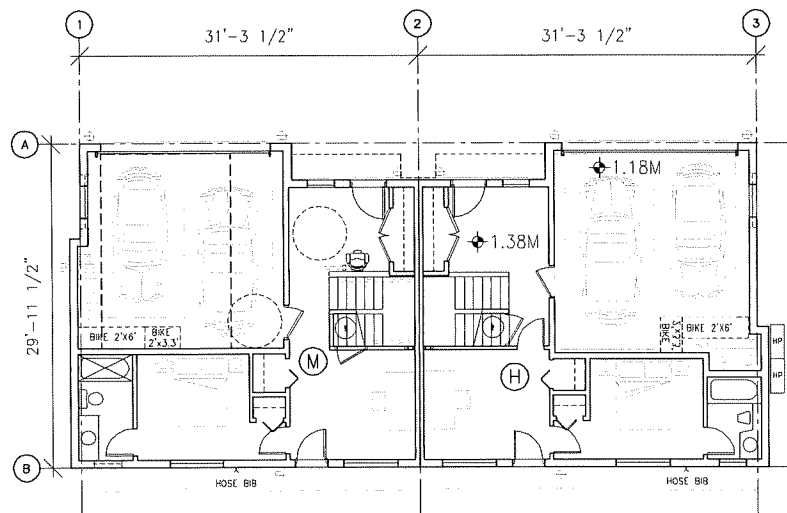
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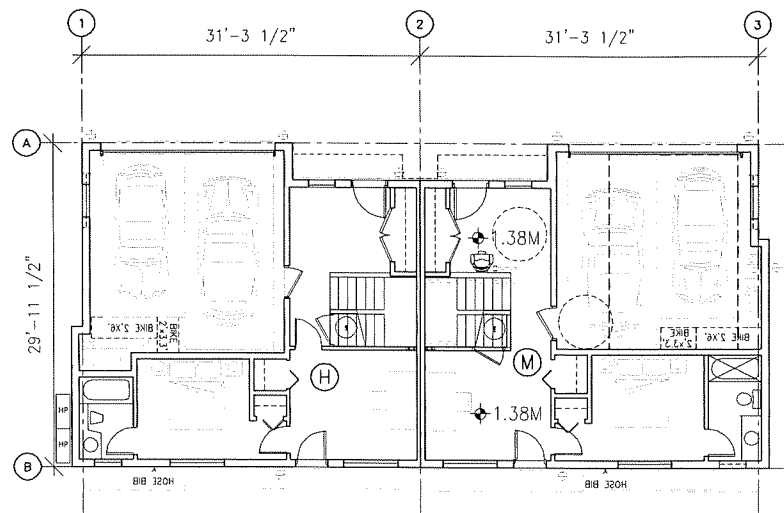
DP 21-934415

June 5, 2023

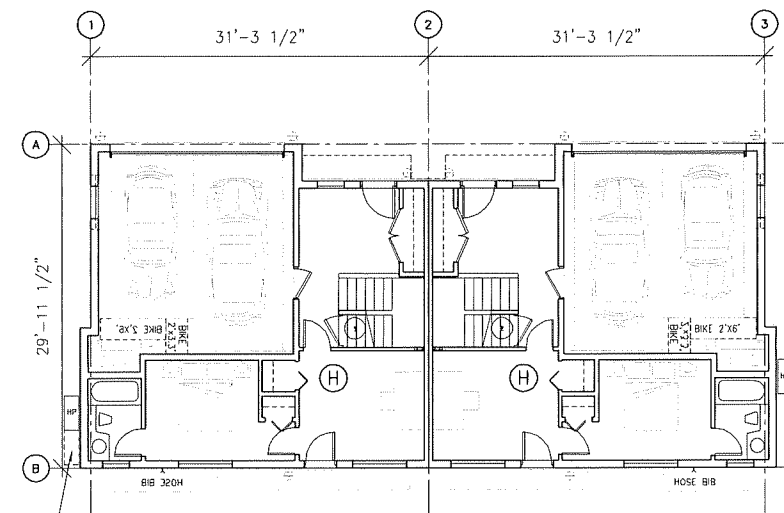
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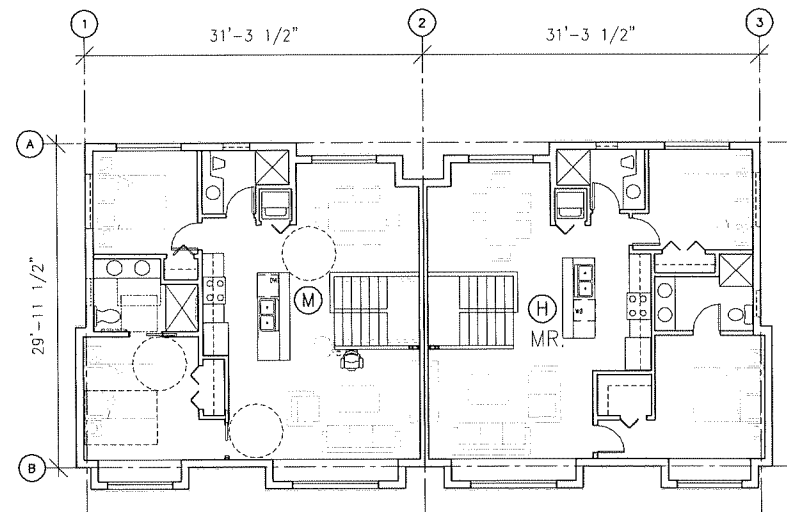
**BUILDING 4 & BUILDING 6:
GROUND FLOOR PLAN**
SCALE: 1/8"=1'-0"



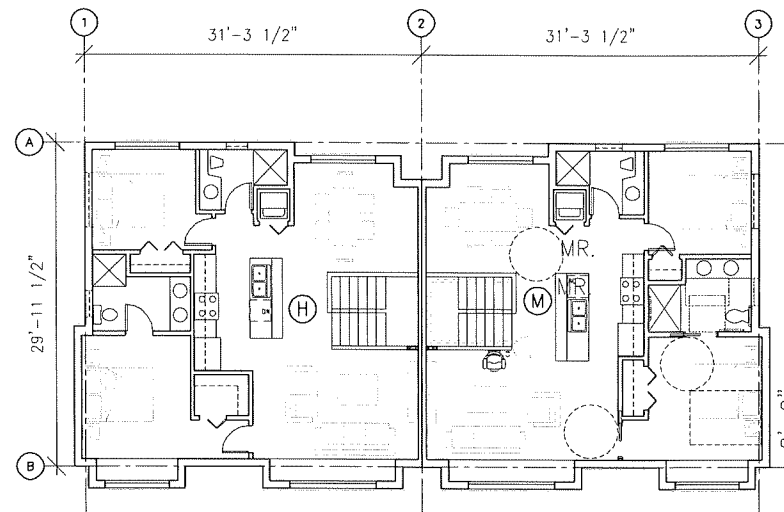
**BUILDING 5:
GROUND FLOOR PLAN**
SCALE: 1/8"=1'-0"



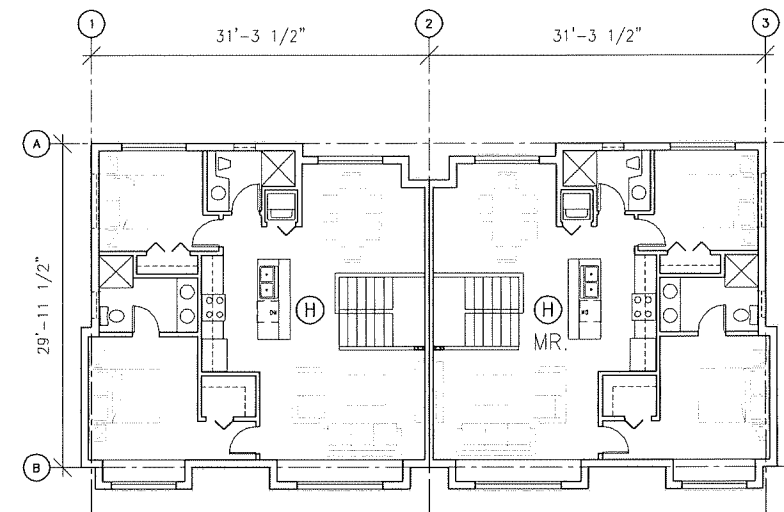
**BUILDING 7, BUILDING 8 & BUILDING 9:
GROUND FLOOR PLAN**
SCALE: 1/8"=1'-0"



**BUILDING 4 & BUILDING 6:
2ND FLOOR PLAN**
SCALE: 1/8"=1'-0"



**BUILDING 5:
2ND FLOOR PLAN**
SCALE: 1/8"=1'-0"



**BUILDING 7, BUILDING 8 & BUILDING 9:
2ND FLOOR PLAN**
SCALE: 1/8"=1'-0"



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**TOWNHOUSE
DEVELOPMENT**

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

FLOOR PLANS

Date:

Scale:

Drawn By:

Checked By:

Project No.:

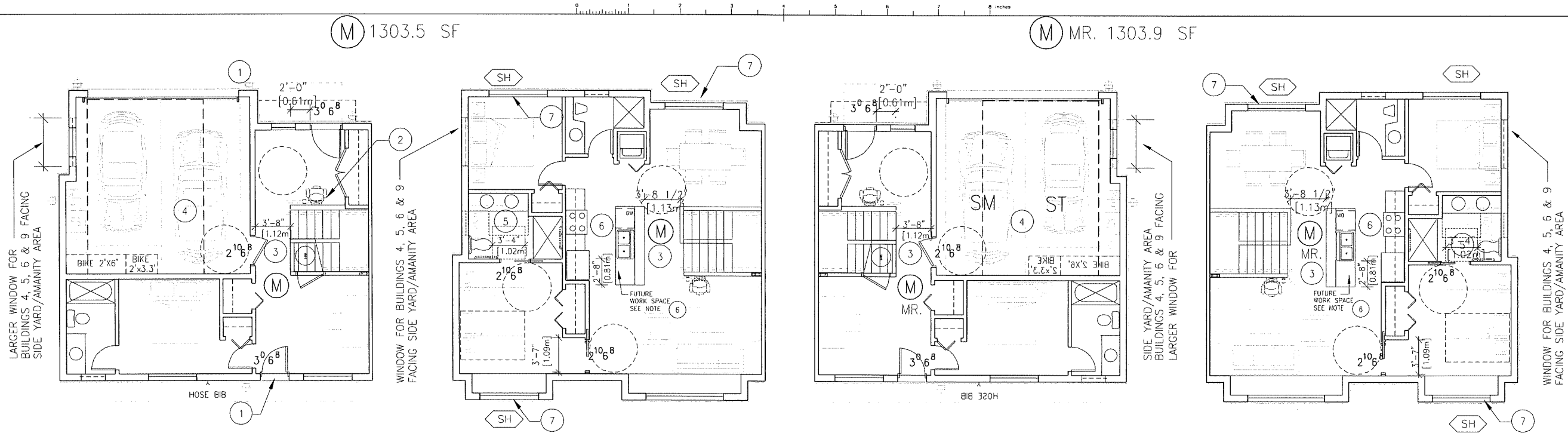
Drawing No.:

A3.6

DP 21-934415

June 5, 2023

REFERENCE



SH WINDOW THAT CAN BE OPENED WITH A SINGLE HAND

SUSTAINABILITY FEATURES (TO BE PROVIDED IN ALL UNITS):
-DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.);
-ENERGY STAR APPLIANCES AND LOW FLOW FIXTURES;
-LOW EMITTING SEALANTS, PAINTS, ADHESIVES, CARPETS & COMPOSITE WOOD

SH WINDOW THAT CAN BE OPENED WITH A SINGLE HAND

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS;
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
-BLOCKING TO STAIR WALLS FOR FUTURE LIFT INSTALLATION

NOTES FOR FAR PLANS & CALCULATIONS:
EXTERIOR WALL THICKNESS MORE THAN 6"3" IS EXEMPTED FROM FSR CALCULATION (PER BYLAW 4.2.1).
FSR OVERLAYS ARE DRAWN TO EXTERIOR WALL SHEATHING (6.5" WALL THICKNESS).

BAY WINDOW NOTES:
BAY WINDOW SEAT MIN. 2' ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE.

AGING IN PLACE FEATURES FOR ALL UNITS:
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

BAY WINDOW NOTES:
BAY WINDOW SEAT MIN. 2' ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE.

CHECKLIST - CONVERTIBLE UNIT FEATURES

DOORS & DOORWAYS ①
ENTRY DOOR MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS.
ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER)
INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
PATIO/BALCONY MIN. 860MM CLEAR OPENING.
(REMOVABLE THRESHOLD RAMP TO BE USED FOR ACCESSIBILITY)
ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY BC BUILDING CODE.
LEVER-TYPE HANDLES FOR ALL DOORS.

VERTICAL CIRCULATION ②
STAIR LIFT IN COMPLIANCE WITH MANUFACTURER SPECIFICATION, OR VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2X12 SOLID LUMBER AT 914MM TO CENTRE.

HALLWAYS ③
MIN. 900 MM WIDTH

GARAGE ④
MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH
ACCESS FROM GARAGE TO LIVING AREA WITH MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.)

BATHROOMS (MIN. 1) ⑤
TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2X12 SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.)
WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT

KITCHEN ⑥
CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304MM TO 355MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM
MIN. 800 MM CLEAR DOOR OPENING (2'-8" SLIDING OR 2'-10" SWINGING DOOR SPEC.)
WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT
LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

WINDOWS ⑦
MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

OUTLETS & SWITCHES ⑧
PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITH PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS
UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

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Project:
TOWNHOUSE DEVELOPMENT

9200-9340 Francis Road
RICHMOND, BC

Drawing Title:

UNIT PLANS

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

A8.1

DP 21-934415

June 5, 2023

REFERENCE



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel
From: Wayne Craig
Director, Development
Date: June 15, 2023
File: DP 21-936427
Re: Application by Kadium No. 4 Development Ltd. for a Development Permit at
10340, 10360, 10380, 10400 and 10420 No. 4 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 19 townhouse units at 10340, 10360, 10380, 10400 and 10420 No. 4 Road on a site zoned "Medium Density Townhouses (RTM2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum front yard setback from 6.0 m to 4.5 m.
 - b) Reduce the minimum lot depth from 35.0 m to 34.0 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:cl
Att. 3

Staff Report

Origin

Kadium No. 4 Development Ltd. has applied to the City of Richmond for permission to develop 19 townhouse units, including four secondary suites, at 10340, 10360, 10380, 10400 and 10420 No. 4 Road on a site zoned “Medium Density Townhouses (RTM2)”. A location map is provided in Attachment 1.

The site is being rezoned from the “Single Detached (RS1/E)” zone to the “Medium Density Townhouses (RTM2)” zone for this project under Richmond Zoning Bylaw 8500, Amendment Bylaw 10261 (RZ 18-831725). The Bylaw was given third reading at the Public Hearing held June 21, 2021, and the applicant is working to complete all of the rezoning requirements.

A Servicing Agreement is required as a condition of rezoning bylaw adoption and includes, but is not limited to, the following:

- Upgrading approximately 80 m of sanitary sewer on-site and along the shared property line with the properties at 10251, 10271, 10291 and 10311 Dennis Crescent.
- Road improvements involving road dedication and construction of a new treed/grass boulevard at the curb, off-street bike path, and concrete sidewalk along the subject site frontage, as well as construction of an interim asphalt walkway at the curb from 10300 No. 4 Road to the north end of the block at Wilkinson Road.

Development Information

Please refer to attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 2).

Background

The subject site is located on the east side of No. 4 Road between Steveston Highway and Wilkinson Road. The site is currently vacant, with five driveway crossings on No. 4 Road. Existing development immediately surrounding the subject site includes the following:

- To the north, south and west: Single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting No. 4 Road, which have future redevelopment potential for townhouses consistent with the Arterial Road Land Use Policy.
- To the east: Single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Dennis Crescent.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 21, 2021. Although no members of the public were in attendance at the Public Hearing, one letter from a nearby resident was received citing concerns about the proposed change in land use from single-family housing to townhousing and potential traffic and safety concerns.

Staff note that the proposed use is consistent with the OCP and Arterial Road Land Use Policy, and the proposed development would have only one access to No 4 Road, thereby reducing the number of vehicle access points along this stretch of roadway. Bylaw 10261 for the rezoning of the subject site was given third reading following the Public Hearing.

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit (DP) stage:

- Compliance with the DP Guidelines for the form and character of multiple-family projects in the Official Community Plan (OCP).
- Confirmation that interior noise levels and noise mitigation measures comply with the policies in the OCP, as determined by an acoustical and thermal report and recommendations provided by a registered professional.
- Refinement of the landscape design and the interface with adjacent single-family housing.
- Refinement of the shared outdoor amenity space design, including the choice of play equipment to facilitate safe and appropriate children's play.
- Review of the four units that include secondary suites.
- Review of the relevant accessibility features for the two proposed Convertible Units and aging-in-place features in all units.
- Review of a sustainability strategy for the development proposal.
- Ensuring that plantings within the Statutory Right-of-Way (SRW) for the sanitary sewer, if any, are to the satisfaction of City Engineering staff.
- Ensuring that the on-site relocation of Trees # 422 and 435 are proposed in viable locations.
- Accommodation of hedge H1-H7 if possible.

Through the review of this DP application, staff worked with the applicant to address the design issues to staff's satisfaction and to ensure that the proposed architectural form and character is consistent with the intent of the applicable design guidelines contained within the OCP. The applicant has made the following refinements to the proposal to address the design issues identified:

- Revisions to the Landscape Plan including common outdoor amenity space design and appropriate choice of play equipment to suit the space given fall zone requirements and limited opportunities to enlarge the area due to required changes in lot grade.
- Demonstrating that the design of the units containing the secondary suites is functional.
- Demonstrating that all relevant accessibility features are incorporated into the design of the Convertible Units and that aging-in-place features are incorporated into all units.
- Lot grading has been refined to ensure an appropriate transition to neighbouring lots and to ensure the existing grade is maintained within the tree protection zone and the SRW for the sanitary sewer along the east side of the site.

- Plantings within the SRW for the sanitary sewer along the east side of the site are limited to lawn and minimal shrubs.
- Locating the relocated Trees # 422 and 435 in a suitable area within the common outdoor amenity space and the front yard.

Public input during the DP Application Review Process

Staff has not received any comments from the public in response to the placement of the DP Application Notification Sign on the subject site.

Staff Comments

The proposed scheme attached to this report (Plans # 1 to 6.g, and Reference Plans) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “RTM2” zone, with the exception of the zoning variances noted below.

Zoning Compliance/Variances (staff comments in *bold italics*)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum front yard setback from 6.0 m to 4.5 m.

Staff supports the proposed variance for the following reasons:

- *A reduction in the front yard setback enables a deeper setback to be provided in the rear yard along the interface with existing single-family housing, as well as enables tree retention in the northeast corner of the site.*
- *Although the setback is reduced, the proposal maintains consistency with the minimum private outdoor space guidelines in the OCP through a combination of front and rear yards at ground level as well as secondary decks along the drive-aisle on the second level of the 3-storey units.*
- *An acoustic report and confirmation letter prepared by a professional acoustical and mechanical engineer have been submitted by the applicant, which demonstrate that the interior noise levels for traffic noise and thermal conditions comply with the standards in the OCP. Prior to final adoption of the rezoning bylaw, a traffic noise covenant is to be registered on Title for public awareness and to ensure construction complies with the standards in the OCP.*

This variance was identified as part of the Rezoning Application and no concerns were raised by members of the public at that time.

- 2) Reduce the minimum lot depth from 35.0 m to 34.0 m.

Staff supports this technical variance as it is the result of road dedication to accommodate the required frontage improvements.

Advisory Design Panel Comments

The Advisory Design Panel review of the proposal was held on August 17, 2022 and received support to move forward to the DP Panel subject to the applicant giving consideration to the comments identified by the Panel members. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Panel comments and is identified in ***bold italics***.

Analysis

Conditions of Adjacency

- The proposed townhouses at the subject site have been designed with consideration of the existing surrounding context of low-density two-storey single-family housing and is consistent with the design guidelines for townhouses on arterial roads in the OCP.
- Two-storey units are proposed along the rear yard interface with single-family housing to the east, and the three-storey units along No. 4 Road step down to two-storeys next to existing single-family housing to the north and south.

Site Planning, Access, and Parking

- The proposal is to develop 19 two-storey townhouse units on a site of 3,616 m² in area after road dedication along the No. 4 Road frontage.
- The proposed site layout consists of seven buildings located on either side of a drive-aisle that runs north-south, as follows:
 - Three 3-storey buildings are positioned along No. 4 Road, each containing three to six units in order to create a variation in the building mass along the streetscape (Buildings A, B, G). The end units at the north and south of these buildings step down to 2-storeys along the interface with existing adjacent single-family housing.
 - Two 2-storey duplex buildings and two single-unit buildings are proposed along the east side of the site (Buildings C-F).
- Four secondary suites are proposed on-site (i.e., one in Building B, one in Building A, and two in Building G) and two Convertible Units are proposed (i.e., one in Building B and one in Building G).
- Vehicle access to the site is proposed from No. 4 Road in roughly the centre of the site. Vehicle access was reviewed as part of the Rezoning Application review process and supported by the City's Transportation Department.
- As part of the Rezoning Application, the applicant is required to register a legal agreement on Title to secure shared vehicle access to potential future neighbouring developments to the north and south. The Landscape Plan illustrates that signage is proposed at either end of the drive-aisle indicating that it may be extended in the future to provide access. The Landscape Plan also identifies potential locations for address signage and wayfinding signage on-site for future neighbouring developments.

- Pedestrian access to the site is proposed either via pathways off No. 4 Road to the street-fronting units or via the drive-aisle to the rear units. The shared use of the drive-aisle by both vehicles and pedestrians is highlighted by decorative surface treatment (i.e., permeable pavers in a herringbone pattern).
- On-site parking is provided consistent with Richmond Zoning Bylaw 8500. Resident vehicle parking spaces are proposed in individual garages, all of which are provided in a side-by-side arrangement. Bike parking spaces are also proposed within the garages. Visitor parking spaces are proposed north of Buildings B and C and south of Buildings G and F, and a bike rack for visitors is provided in between Buildings C and D.
- A screened enclosure and storage room for waste and recycling bins are proposed on either side of the drive-aisle near the entrance. The enclosure and storage room are adequately sized to service the proposed townhouses on the subject site and potential future development to the north. Prior to DP issuance the applicant must register a legal agreement on Title for shared access to the waste/recycling enclosure and storage room at the subject site by the potential future development to the north.

Architectural Form and Character

- The proposed architectural style is West Coast Contemporary, which reflects classic timber designs with a modern touch and which the applicant feels is more appealing to younger families.
- To provide visual interest and break down the building mass, portions of the third floor are stepped back from the floors below in the street-fronting buildings, and roof lines are varied slightly.
- The residential character of the development is enhanced by promoting small-scale features such as street-fronting pedestrian entrances with stoops, meaningful eave projections and articulation at different levels of the building façade, and variation in the exterior building cladding.
- The proposed colour and material palette consists of light and dark Hardie panels with matching reveal trims, cedar-toned wood-like horizontal siding, two colours of grey doors, grey wide wood fascia boards, and dark grey window frames and aluminum railings.

Open Space & Landscape Design

- Common outdoor amenity space is centrally located on the east side of the site, opposite the main access point, and is sized in accordance with the design guidelines in the OCP (114 m²). The space contains a mail kiosk, bench seating, children's play equipment, a variety of shrubs and a Japanese Maple tree, which has been relocated from elsewhere on-site.
- Private outdoor space for each of the units is proposed as follows, consistent with the size guidelines in the OCP (min. 30 m² per unit):
 - West-facing front yards with patios at grade for the units in Buildings A, B, and G, with secondary decks along the drive-aisle off the second floor main living space for some units (i.e., the end units at the north and south of these buildings do not have decks to limit overlook onto existing adjacent single-family housing).

- Two-tiered rear yards with patios for Buildings C to F.
- On-site tree retention and removal was assessed as part of the Rezoning Application, at which time it was determined that two trees on the subject site were to be relocated and protected (Trees # 422 and 435), and that four trees were to be protected on the neighbouring property to the east at 10311 Dennis Crescent (Trees # OS1-OS4). The Landscape Plan shows the trees identified for removal, retention and relocation.
- A non-bylaw hedge was also identified at rezoning stage as having the potential to be retained (H1-H7). Through the DP Application review process, it was determined that the hedge could not be retained as it conflicts with the drive-aisle design and the potential for the drive-aisle to be extended further south to provide shared access to neighbouring development in the future. The hedge could not be relocated as it is co-dependent due to its mature size, and its likelihood of survival is low.
- Following the Public Hearing at which the rezoning bylaw was granted third reading, the applicant obtained a T3 permit to remove the trees identified for removal through the Rezoning Application and provided an interim landscaping security in order to enable demolition of the former dwellings on-site. At that time, the non-bylaw hedgerow was also removed and the applicant engaged the services of a tree relocation company to relocate Trees # 422 and 435 to the company's tree nursery for storage until such time that the trees are to be returned to the site to be planted at landscape stage.
- The Landscape Plan shows that a mix of 33 deciduous and coniferous replacement trees of various sizes are proposed to be planted and maintained on-site, which exceeds the 2:1 tree replacement ratio in the OCP.
- A variety of decorative paving treatments is proposed on-site to highlight shared pedestrian and vehicle areas, provide visual interest, and assist with site permeability. Specifically, permeable pavers are proposed at strategic locations within the internal drive-aisle and visitor parking spaces, as well as for each unit's patios.
- To define the street edge and clearly distinguish between public and private open space along No. 4 Road, low fencing with pedestrian gates is proposed (1.06 m high). Solid wood privacy fencing is proposed around the perimeter of the site (1.2 to 1.8 m high).
- The Landscape Plan requires that all soft landscaped areas be irrigated through installation of an automated system consistent with industry standards.
- A concept for exterior lighting is provided and includes low lighting at the entry gates to the street-fronting units, downward-facing building-mounted lighting over the garage doors along the drive-aisle, bollard lighting within the common outdoor amenity space and at the visitor bike rack, and a single up-light directed to the site address signage at the site's entrance. Proposed locations and symbols for light fixtures are shown on the Site Plan, Landscape Plan, and Elevation Plans (Plans # 2.a, L1, L2, 6.a to 6.g).
- To ensure that the Landscape Plan is adhered to, the applicant is required to submit a Landscaping Security in the amount of 100 per cent of a cost estimate prepared by the Registered Landscape Architect (including installation and a 10 per cent contingency) prior to DP issuance.

Indoor Amenity Space

- Consistent with the OCP, and as considered as part of the Rezoning Application, the applicant proposes to submit a contribution in the amount of \$33,611.00 to the City prior to rezoning bylaw adoption in-lieu of the provision of common indoor amenity space on-site.

Accessible Housing

- The proposed development includes four Convertible Units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair or with mobility issues. The potential conversion of these units will require the installation of a stair lift. The list of convertible unit features and floor plans are included in the Reference Plans to the DP.
- All 19 units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell handrails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability

- The Applicant has submitted written confirmation from their certified Energy Advisor that the proposed design will meet BC Energy Step Code 3 (or Step 2 with a low carbon energy system). The key technical elements that enable this performance target to be achieved include additional insulation in building assemblies (walls, roof, floor, slab), 1.38 U value for windows, air source heat pumps for both heating and cooling (with electric baseboards within the lock-off units for heating), and a heat recovery ventilation system. The air source heat pumps are proposed to be located in the front and side yards (with screening), and are to be recessed from the building facade in the rear yards. The applicant has provided a report from an acoustical engineer which confirms that the heat pumps are predicted to comply with the City's Noise Regulation Bylaw.
- This is consistent with the provisions for in-stream applications that were submitted to the City prior to July 1, 2022, subject to the DP application being considered and endorsed by the DP Panel and a complete Building Permit application being submitted prior to July 1, 2023. Should the applicant be unable to meet these deadlines, the proposed building design must be revised to meet the current BC Energy Step Code performance targets (e.g., Step 3 with a low carbon energy system).
- Additional environmentally sustainable features of the proposal identified by the applicant include:
 - Energized outlets to support electric vehicle (EV) charging for all resident parking spaces, as required by City Zoning Bylaw 8500.
 - Low E glass windows.
 - Energy Star appliances.
 - Dual flush toilets to reduce water consumption.

- LED lighting and motion sensor lighting in powder room and master ensuite.
- Low Volatile Organic Compound (VOD) paints, adhesives and floorings.
- Drought-tolerant plants.
- Permeable paving to reduce surface water run off.

Public Art

- Based on a maximum buildable floor area of approximately 2,350 m² (25,299 ft²), the recommended public art contribution based on the Public Art Program's Administrative Guidelines of \$0.99/ft² (2023 rate) is approximately \$22,769.00.
- As this project will generate a recommended public art contribution of less than \$40,000.00 and there are limited opportunities for locating public art on the site, as per Policy it is recommended that a contribution in-lieu of providing public art on-site be directed to the Public Art Reserve Fund for City-wide projects on City lands.
- The contribution is required to be submitted prior to DP issuance.

Crime Prevention Through Environmental Design (CPTED)

- The applicant has identified that the proposal responds to the following principles of CPTED, as encouraged in the design guidelines contained within the OCP:
 - Natural Access Control is demonstrated through a single main vehicle access point to the site, clearly defined and lit pedestrian entries to individual units, and defined edges separating public and private space (e.g., low transparent fencing with gates along the street front).
 - Natural Surveillance opportunities are demonstrated with street-fronting windows, front doors, and activity generators opposite the main entry to the site (e.g., common outdoor amenity space), which provide "eyes on the street".
 - Territoriality is shown by personalizing the site through signage, decorative paving materials at key areas, soft landscaping, appropriate lighting, low fencing, and screening of equipment.
 - As the site will be governed by a strata council, maintenance of the site will be undertaken by the future occupants to provide for the continued use of space for its intended purpose and to ensure that landscaping, lighting and equipment is maintained and kept operable.

Site Servicing and Off-site Improvements

- Servicing and off-site improvements to support the proposed development were identified during the Rezoning Application review process. The scope of work includes, but is not limited to, the following:
 - Upgrading approximately 80 m of sanitary sewer on-site and along the shared property line with the properties at 10251, 10271, 10291 and 10311 Dennis Crescent.
 - Road improvements involving road dedication and construction of a new treed/grass boulevard at the curb, off-street bike path, and concrete sidewalk along the subject site

frontage, and construction of an interim asphalt walkway at the curb from 10300 No. 4 Road to the north end of the block at Wilkinson Road.

- The applicant's Arborist has reviewed the proposed design of the sanitary sewer upgrade and identified measures to ensure construction in a manner that retains the four mature off-site trees on the neighbouring property to the east. Arborist supervision is required for all on-site works within the tree protection zone.
- A Servicing Agreement (SA) for the design and construction of these improvements is required to be entered into prior to final adoption of the rezoning bylaw.

Conclusion

This proposal is for a 19-unit townhouse development on a land assembly involving 10340, 10360, 10380, 10400, and 10420 No. 4 Road.

The applicant has addressed the design issues identified through the Rezoning Application review process, as well as additional staff comments regarding site planning, urban design, architectural form and character, and landscape design identified as part of the DP application review process. The proposal as designed provides an appropriate response to the surrounding townhouse and single-family housing context and conforms to the applicable policies and design guidelines contained within the OCP.

The proposed development complies with the requirements of the "RMT2" zone, with the exception of the zoning variances discussed.

On this basis, staff recommend that the DP be endorsed and issuance by Council be recommended.



Cynthia Lussier
Planner 2
(604-276-4108)

CL:he

- Att.
1. Location Map
 2. Development Application Data Sheet
 3. Excerpt from the June 21, 2021 Advisory Design Panel meeting minutes and the Applicant's design response

The following are to be completed prior to forwarding this application to Council for approval:

1. Final adoption of Richmond Zoning Bylaw 8500, Amendment Bylaw 10261.
2. Receipt of a Letter-of-Credit or other form of security acceptable to the City for landscaping in the amount of \$152,362.16 (100% of the cost estimate provided by the Registered Landscape Architect, including all materials, installation, and a 10% contingency). To accompany the landscaping security, a legal agreement that sets the terms for use and release of the security must be entered into between the applicant and the City.

3. Submission of Tree Survival Securities to the City for protection, relocation and transplanting of Tree # 422 (\$10,000) and Tree # 435 (\$5,000). To accompany the securities, a legal agreement that sets the terms for use and release of the securities must be entered into between the applicant and the City.
4. City acceptance of the applicant's offer to make a voluntary cash contribution towards the City's Public Art Reserve Fund, the terms of which shall include the following:

- a) The value of the applicant's voluntary public art contribution shall be based on the Council-approved rates for residential and non-residential uses and the maximum buildable floor area permitted under the subject site's proposed zoning, excluding floor area associated with affordable housing and market rental, as indicated in the table below.

Building Type	Rate	Maximum Permitted Floor Area (after exemptions)	Minimum Voluntary Cash Contribution
Townhouses	\$0.99/ft ² (2023 rate)	2,350.40 m ² (25,299 ft ²)	\$22,769.00

- b) In the event that the contribution is not provided within one year of the application receiving third reading of Council (i.e. Public Hearing), the contribution rate (as indicated in the table in item a) above) shall be increased annually thereafter based on the Statistics Canada Consumer Price Index (All Items) – Vancouver yearly quarter-to-quarter change, where the change is positive.
5. Registration of a legal agreement on Title to enable shared use of and access to the waste and recycling enclosure and storage room on the subject site by the potential future development to the north.

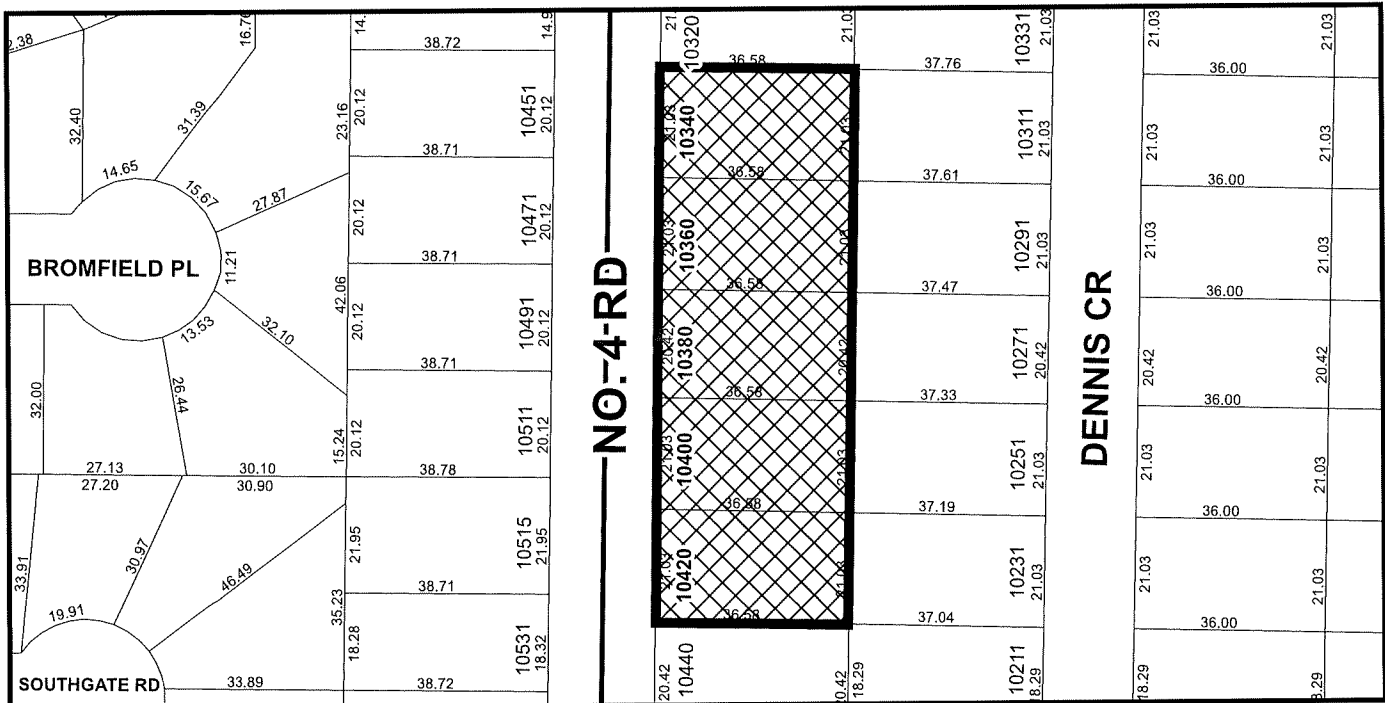
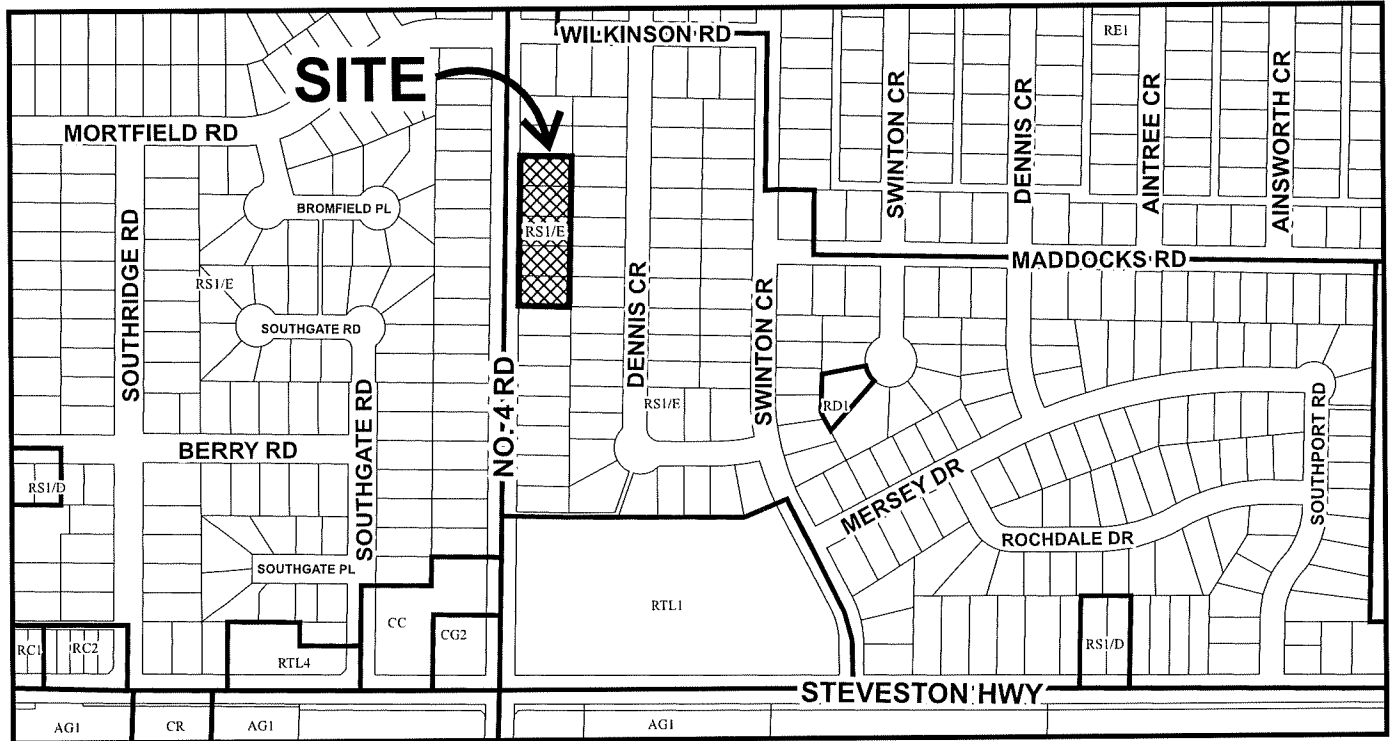
Prior to future Building Permit issuance, the applicant is required to complete the following:

- Incorporation of accessibility measures in Building Permit plans and construction, as determined via the Rezoning and Development Permit applications (e.g., Aging-in-place features in all units and four Convertible Units).
- Incorporation of energy efficiency measures in Building Permit plans and construction to meet or exceed the applicable Energy Step Code performance target.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



City of Richmond

ATTACHMENT 1



DP 21-936427

Original Date: 08/11/21

Revision Date: 06/12/23

Note: Dimensions are in METRES



Development Application Data Sheet

Development Applications Department

DP 21-936427

Address: 10340, 10360, 10380, 10400 and 10420 No. 4 Road

Applicant: Kadium No. 4 Development Ltd. Owner: Kadium No. 4 Development Ltd.

Planning Area(s): Shellmont

	Existing	Proposed
Site Area:	3,825.20 m ² (41,174 ft ²)	3,616.00 m ² (38,922 ft ²) after road dedication
Land Uses:	Vacant Land (previously single-family housing)	Townhouses
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E)	Medium Density Townhouses (RTM2)
Number of Units:	Vacant Land (previously single-family housing)	19

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.65	0.65	None permitted
Buildable Floor Area (Net):	2,350.40 m ² (25,299 ft ²)	2,345.17 m ² (25,243 ft ²)	None permitted
Lot Coverage - Buildings:	Max. 40%	38.7%	None
Lot Coverage – Non-porous Surfaces:	Max. 65%	59.5%	None
Lot Coverage – Live Plant Material:	Min. 25%	25.8%	None
Setback – Front Yard:	Min. 6.0 m	4.5 m	To reduce from 6.0 m to 4.5 m
Setback – Side Yard:	Min. 3.0 m	North – 3.1 m South – 3.0 m	None
Setback – Rear Yard:	Min. 3.0 m	6.0 m	None
Building Height:	Max. 12.0 m (3 storeys)	3-storey buildings – 10.3 m 2-storey buildings – 7.82 m	None
Minimum Lot Depth:	35.0 m	34.5 m	To reduce from 35.0 m to 34.0 m
Minimum Lot Width:	50.0 m	104.5 m	None
On-site Vehicle Parking Spaces (Min.):	38 (R) and 4 (V)	38 (R) and 4 (V)	None
Standard Size:	Min. 50% - 19	24	None
Small Size:	Max. 50% - 19	14	None

Tandem Vehicle Parking Spaces:	Max. 50% - 19	None	None
Accessible Vehicle Parking Spaces:	Min. 2% - 1	1	None
Total Vehicle Parking Spaces:	42	42	None
Amenity Space – Indoor:	Min. 70 m ²	Cash-in-lieu	N/A
Amenity Space – Outdoor:	Min. 6 m ² /unit (i.e., 114 m ²)	114.09 m ²	N/A

**Excerpt from the Minutes of
the Advisory Design Panel Meeting**

**Wednesday, August 17, 2022 – 4:00 p.m.
Remote (Webex) Meeting**

**DP 21-936427 – 19-UNIT TOWNHOUSE PROPOSAL WITH VEHICLE
ACCESS OFF NO. 4 ROAD**

ARCHITECT: Matthew Cheng Architect

LANDSCAPE PMG Landscape Architects

ARCHITECT:

PROPERTY LOCATION: 10340-10420 No. 4 Road

Applicant's Presentation

Architect Matthew Cheng, Matthew Cheng Architect, and Landscape Architect Caelan Griffiths, PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- no concerns with the proposed contemporary architectural style for the townhouse buildings; however, the large fascias along No. 4 Road appear to push the top floors of the three-storey townhouse units forward rather than recessing them to comply with the City's townhouse design guidelines; investigate opportunities to adequately recess the top floors in order to further mitigate the height impact of units along the street frontage; ***Third floor 1' back from setback line and lower floors.***
- appreciate the idea of lock-off units; however, there is no provision for a washer and dryer or closet in one lock-off unit; consider providing more uniform features for the lock-off units; ***W/D unit added to lock off units.***
- note that only a shower is shown in the plan for convertible units; look at the requirements for a convertible unit in the BC Building Code as a shower and tub may be required; ***No statement in Richmond Convertible Unit guidelines requiring tub.***
- consider making the entire drive aisle more pedestrian friendly (e.g. like a woonerf) and highlight its shared use rather than designating separate spaces for vehicle and pedestrian circulation; consider introducing plantings within the space in order for the drive aisle to read like a woonerf; ***Permeable pavers in different colors have been proposed for internal driveway and visitor parking spots.***
- would be good to see how lighting could be further integrated into the design of the public realm spaces; ***Lighting has been proposed at the street entrance to each front yard and bollard lights have been proposed within the common outdoor amenity space and at the visitor bike parking area***

- consider rotating the condenser units along No. 4 Road to minimize the number of condenser units facing the street; *N/A*
- consider a more direct pathway to the door of convertible units on the north and south ends; *Addressed*
- the overall approach to landscaping is appropriate; review the choice of paving materials for the drive aisle to make the entire drive aisle more pedestrian friendly; *Addressed*
- review the proposed location of the bike rack near the entrance to the common outdoor amenity area as it might conflict with the internal drive aisle; consider relocating the bike rack closer to the bike lane; ***Bike rack has been relocated between Buildings D and C.***
- note some errors in the landscape drawings, e.g. labelling of the location of the bike rack and bench; *Addressed*
- appreciate the proposed West Coast architectural style of the buildings; however, the proposed landscaping for the project might not be attractive to the intended age-group market (i.e., young families); *Addressed*
- review the lawns for townhouse units along No. 4 Road; successful installation and maintenance of these lawns is doubtful due to their small size; consider expanding the paver area to the lawns to create a larger patio for easier maintenance; *Addressed*
- review the design of the common outdoor amenity area; consider installing natural play elements in lieu of a play structure to enhance its play value and visual appeal; ***The choice of play equipment is intended to suit the space given fall zone requirements and limited opportunities to enlarge the area due to required changes in lot grade.***
- appreciate the two-tiered rear yards for most of the east units and the effort to reduce retaining walls across the site; however, maintenance for two levels of lawn (particularly the upper level) would be challenging; consider installing two rows of planting instead of just one around the edge or expand the pavers to make the landscaping more successful; ***Two-tiered rear yards remain, as creating steps and landings for rear units will consume more yard space than the proposed two-tier yards. The two-tier yards also bring more of the yard closer to and at the same level as the interior living space.***
- no concerns with the proposed planting palette; however, consider substituting with more native planting to better match the building's West Coast architectural style; appreciate the grasses, but consider planting more ferns in shady areas; *Addressed*
- consider an alternative and creative approach to the design of the children's play area that is different from the usual provision of play structures considering the budget and space constraints; ***The choice of play equipment is intended to suit the space given fall zone requirements and limited opportunities to enlarge the area due to required changes in lot grade.***

- suggest that the design team not indicate the exact specifications of pavers to avoid potential problems in the final inspection of the project; *Addressed*
- support the form and character of the buildings; however, consider further design development to make the buildings look more polished and finished; *Previously proposed contracting reveal & corner trims replaced with matching color.*
- consider adding more colours to provide variations in colour for some buildings, particularly to buildings along No. 4 Road; suggest adding two to three colours and look at changing the front door colours to further differentiate the buildings; *Alternate entry door color proposed.*
- consider reducing the repetitiveness of the building blocks through variation in landscaping, e.g. installing different tree species and varying planting for each building block, particularly for those facing the street; *Noted*
- appreciate the comprehensive accessibility strategy in the project's design rationale; *Noted*
- the floor plan which combines a lock-off unit within a convertible unit would be advantageous to the future owner of the convertible unit as it would provide extra income from the rental of the lock-off unit, especially if the owner is a disabled person in the lower income bracket; *Noted*
- appreciate the provision of a platform style lift for the convertible units that could accommodate wheelchairs, as opposed to the usual provision of a chair lift; *Noted*
- concerned about the lack of accessibility to the third floor of convertible units; a disabled person in a wheelchair would not be able to access the third floor where the other bedrooms, bath tub and living closet are located, especially if the wheelchair user is a child needing access to the third floor; *Provisions made to make 3rd floor accessible (minimum clearances for platforms provided).*
- consider expanding the platform lift access up to the third floor of convertible units; *See above response regarding platform clearances provided to install chairlift to 3rd floor.*
- appreciate the design team's presentation of the project to the Panel, including the presentation on the fire hydrants; *Noted*
- projected R-values and heat gain coefficients for windows are consistent with the project's target to achieve Step Code 3 of the BC Energy Step Code; *Step Code confirmation letter provided.*
- review the proposed location of the air source heat pumps; appreciate the screening and landscaping around the heat pumps; however, the airflow could be restricted and the heat pumps would be difficult to access for service and maintenance; *Addressed*
- support the West Coast architectural style for the buildings; however, consider adding more post and beam exposure to make the building elevations more interesting and attractive at the entrance to each townhouse unit; *Design Rationale Letter provided.*

- consider relocating the bike rack from near the entrance to the common outdoor amenity area to another location to avoid conflict with the entrance to the common outdoor amenity area (e.g., between Building C and Building D); **Addressed**
- consider installing a landscape strip to provide screening for the first floor living room window of Unit 10 of Building D which is adjacent to the common outdoor amenity area; ***Size of playground and min safety zone surface doesn't allow to provide proper landscape screening for Unit 10 window which is adjacent to the common outdoor amenity area.***
- support Panel comments to provide lower maintenance landscaping and more usable space for townhouse units along No. 4 Road; **Addressed**
- support Panel comments to be more creative in the design of the common outdoor amenity area that would be usable and interesting to young families and children of all age groups without necessarily incurring additional costs; **Addressed**
- support the proposed colour palette for the buildings; introducing additional colours may not be necessary except for the doors of townhouse units; review the exact location of every colour being used uniformly across the site and use them differently; **N/A**
- cedar tone hardie siding does not have the warmth of wood; however, understand the cost constraint; curious about the different spacings; ***Replaced Hardie Lapsiding with Nichiha Wood Series "vintagewood cedar" in one spacing.***
- nice and clean outside corners of the buildings are important; note that outside corner profiles are not of the same quality; colour match is important; ***Previously proposed contracting reveal & corner trims replaced with matching color.***
- support the West Coast contemporary architectural style in contrast to the more traditional character of the surrounding single-family homes; **Noted**
- support the Panel comment to provide a better location/access to the bike parking and make the entire internal drive aisle more pedestrian friendly; necessary to have a more holistic approach from a landscape perspective; and **Addressed**
- ensure that the lock-off units on Level 1 of the convertible units are easily accessed; also consider including provision for future accessibility to the third floor of the convertible units. **Addressed**

Panel Decision

It was moved and seconded

That DP 21-936427 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

Opposed: Alan Tse, Kristin Defer and Pam Andrews



No. DP 21-936427

To the Holder: Kadium No. 4 Development Ltd.
Property Address: 10340, 10360, 10380, 10400 and 10420 No. 4 Road
Address: Unit 830 - 8477 Bridgeport Rd
RICHMOND BC V6X 0S8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum front yard setback from 6.0 m to 4.5 m.
 - b) Reduce the minimum lot depth from 35.0 m to 34.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #6.g attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$152,362.16 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 21-936427

To the Holder: Kadium No. 4 Development Ltd.
Property Address: 10340, 10360, 10380, 10400 and 10420 No. 4 Road
Address: Unit 830 - 8477 Bridgeport Rd
RICHMOND BC V6X 0S8

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

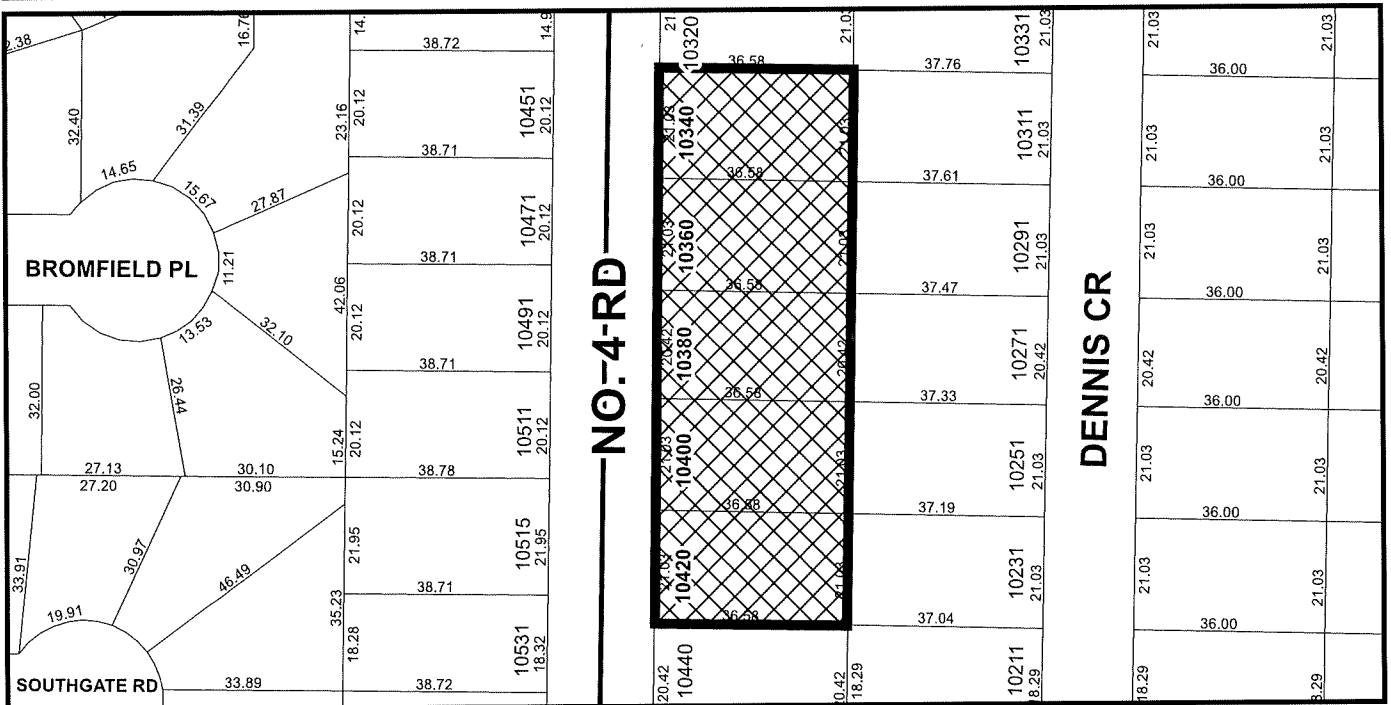
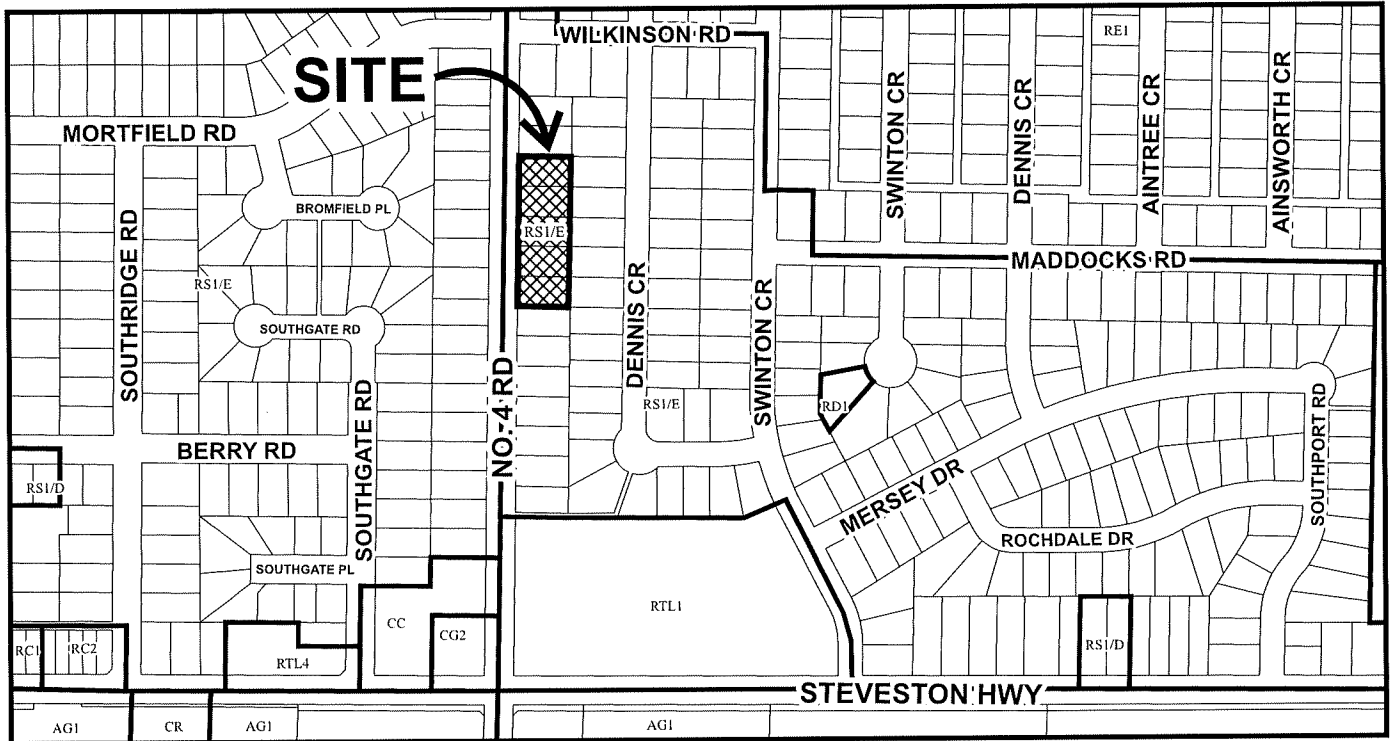
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



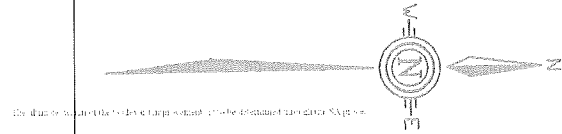
DP 21-936427
SCHEDULE "A"

Original Date: 08/11/21

Revision Date: 06/12/23

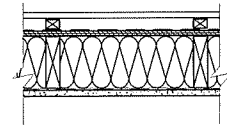
Note: Dimensions are in METRES

HIGHEST CROWN ON ROAD
(FLOOD CONTROL POINT)

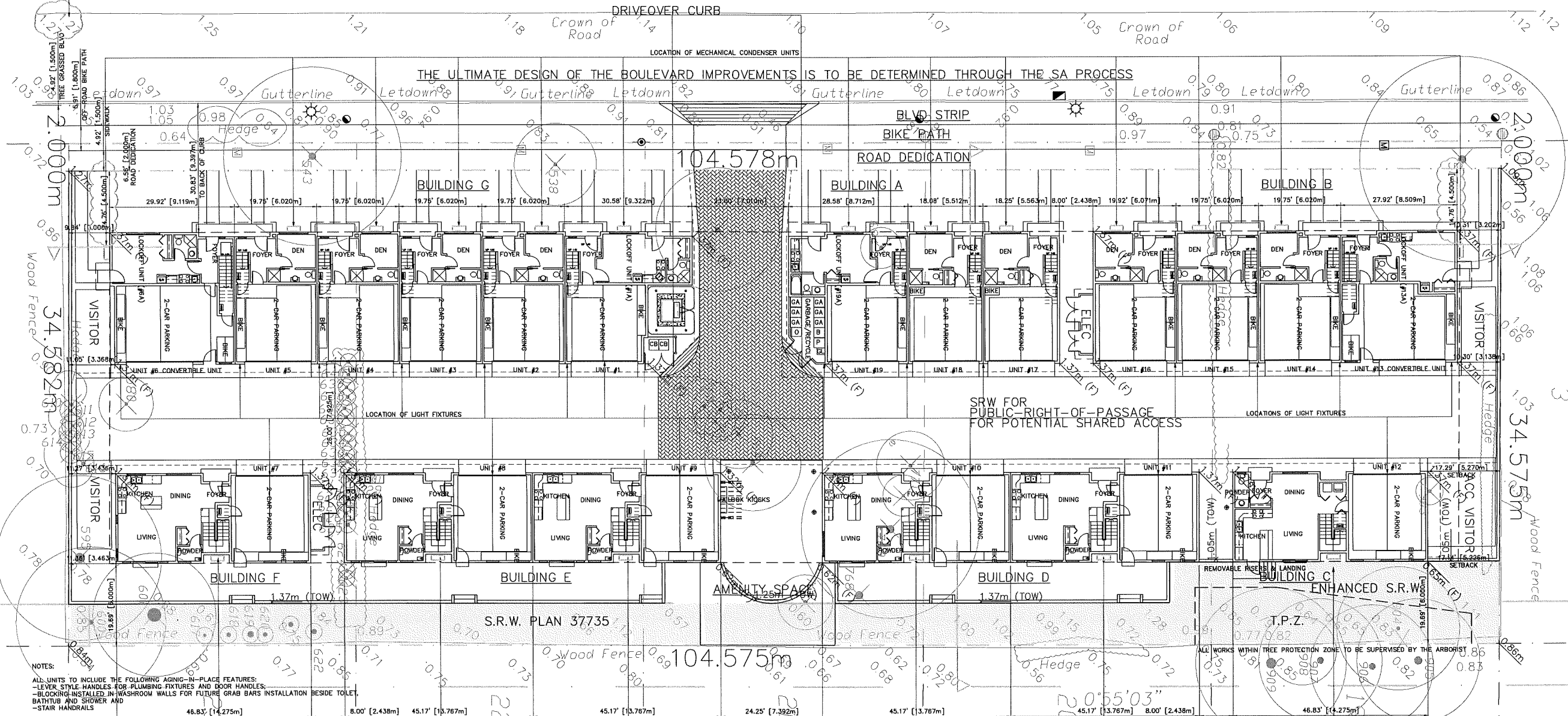


N O. 4 R O A D

- EXTERIOR SHEAR WALL (HARDIE CLADDING)**
- HARDIE CLADDING (SEE ELEVATIONS FOR PROFILE)
 - 1/2" x 2" CCA TREATED PLYWOOD STRAPPING @16" O.C.
 - TYVEK OR EQUIVALENT SHEATHING MEMBRANE
 - 1/2" PLYWOOD SHEATHING
 - 2x6 @16" O.C.
 - R24 HIGH DENSITY BATT INSULATION
 - 6mil POLY VAPOUR BARRIER
 - 5/8" TYPE 'X' GYPSUM WALL BOARD



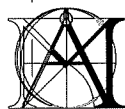
NOTE:
ALL EXTERIOR WALLS ARE
SHEAR WALLS
F.R.R.: 1 HR
BCBC 2018
Division B, Part 3, Appendix D
Table D-2.3.4.A&E
EFFECTIVE R-VALUE:
REQ: R15.8
PROV: R16.37



NOTES:

ALL UNITS TO INCLUDE THE FOLLOWING AGING-IN-PLACE FEATURES:
- LEVER STYLE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES;
- BLOCKING INSTALLED IN WASHROOM WALLS FOR FUTURE GRAB BARS INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER AND
- STAIR HANDRAILS

EACH RESIDENT PARKING SPACE (EXCLUDING VISITOR PARKING) TO BE SUPPLIED WITH ENERGIZED 240-280V OUTLETS IN ORDER TO SUPPORT EV CHARGING WITH EACH PARKING SPACE CAPABLE OF RECEIVING LEVEL 2 CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12KW/H WITHIN AN 8-HOUR PERIOD.



**MATTHEW CHENG
ARCHITECT INC.**

Unit 303 - 670 EVANUS AVENUE
VANCOUVER, BC V6A 2E2
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Cell: (604) 694-6649 Email: matthew@matarch.ca

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No Date Revision

LOCATION OF MECHANICAL CONDENSER UNITS

No Date Revision

Consultants

Project Title
PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.

RZ 18-831725

Sheet Title
PROJECT DATA
GROUND FLOOR PLAN
SITE PLAN

Drawn:
HC
Checked:
MC
Scale:
3/32" = 1'-0"
Project Number:
DP 21-936427
JUNE 15 2023

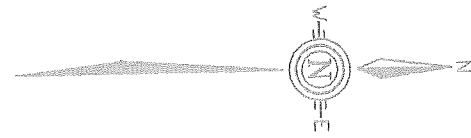
Revision Date:
MAY. 08, 2023

Print Date:
MAR. 25, 2022

Dwg. No.

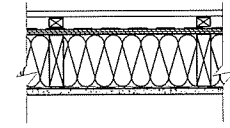
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PLAN # 2.a

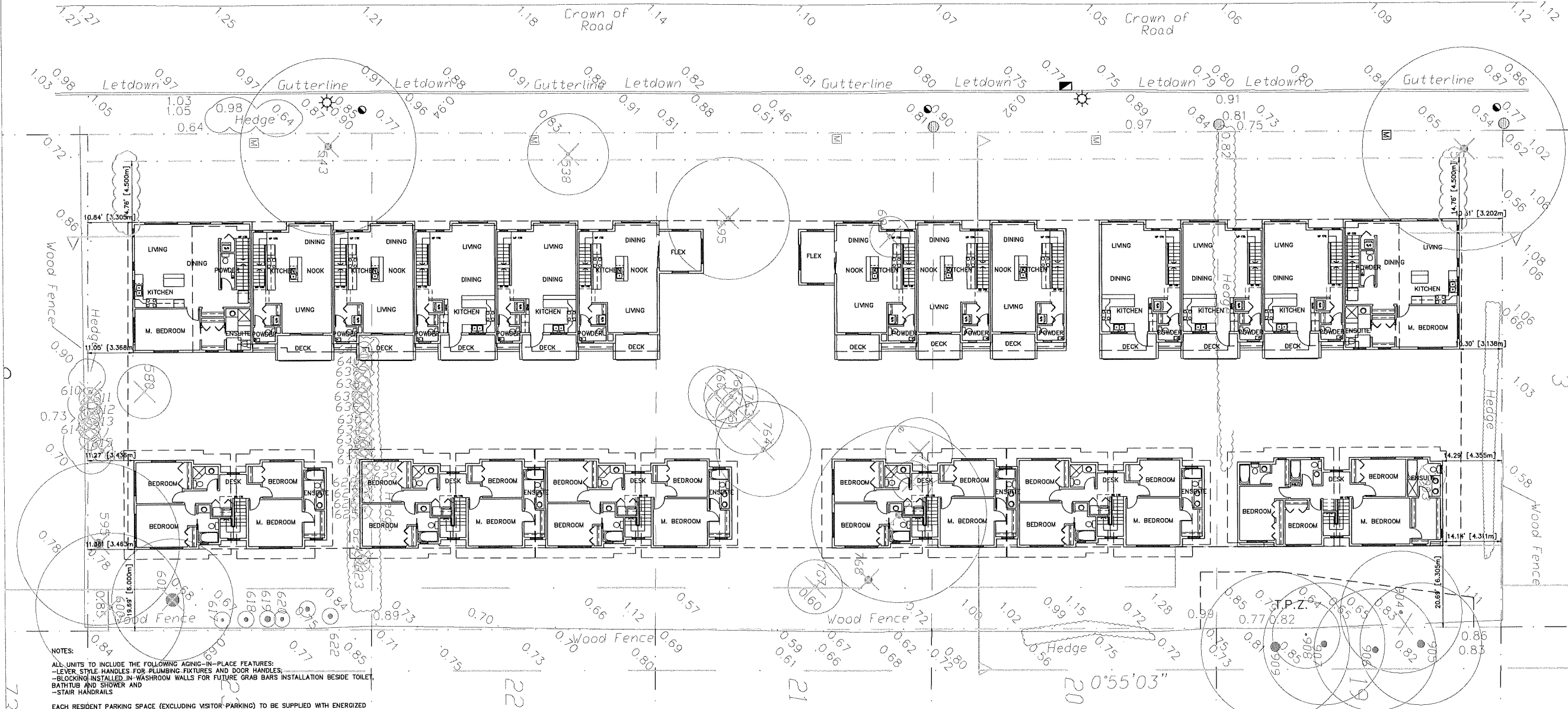


N O. 4 R O A D

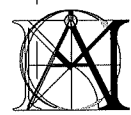
- EXTERIOR SHEAR WALL (HARDIE CLADDING)**
- HARDIE CLADDING (SEE ELEVATIONS FOR PROFILE)
 - 1/2" x 2" CCA TREATED PLYWOOD STRAPPING @16" O.C.
 - TYVEK OR EQUIVALENT SHEATHING MEMBRANE
 - 1/2" PLYWOOD SHEATHING
 - 2x6 @ 16" O.C.
 - R24 HIGH DENSITY BATT INSULATION
 - 6mil POLY VAPOUR BARRIER
 - 5/8" TYPE 'X' GYPSUM WALL BOARD



NOTE:
ALL EXTERIOR WALLS ARE SHEAR WALLS
F.R.R.: 1 HR
BCBC 2018
Division B, Part 3, Appendix D
Table D-2.3.4.A&E
EFFECTIVE R-VALUE:
REQ: R15.8
PROV: R16.37



NOTES:
ALL UNITS TO INCLUDE THE FOLLOWING AGING-IN-PLACE FEATURES:
- LEVER STYLE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
- BLOCKING INSTALLED IN WASHROOM WALLS FOR FUTURE GRAB BARS INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER AND
- STAIR HANDRAILS
EACH RESIDENT PARKING SPACE (EXCLUDING VISITOR PARKING) TO BE SUPPLIED WITH ENERGIZED 240-280V OUTLETS IN ORDER TO SUPPORT EV CHARGING WITH EACH PARKING SPACE CAPABLE OF RECEIVING LEVEL 2 CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12KW/H WITHIN AN 8-HOUR PERIOD.



MATTHEW CHENG ARCHITECT INC.
Unit 302 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2T2
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Cell: (604) 649-4649 Email: matthew@mcua.ca

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No Date Revision

No Date Revision

Consultants

Project Title
PROPOSED TOWNHOUSE DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.
RZ 18-831725

Sheet Title
SECOND FLOOR PLAN
SITE PLAN

Drawn: HC	Revision Date: MAY, 08, 2023
Checked: MC	Print Date: MAR, 25, 2022
Scale: 3/32" = 1'-0"	Dwg. No. D02
Project Number: DP 21-936427	PLAN # 2.b
JUNE 15 2023	



-

*NOTE:
ALL EXTERIOR WALLS ARE
SHEAR WALLS
F.R.R.: 1 HR
BCBC 2018
Division B, Part 3, Appendix D
Table D-2.3.4.A&E
EFFECTIVE R-VALUE:
REQ: R15.8
PRO'V: R16.37



EACH RESIDENT PARKING SPACE (EXCLUDING VISITOR PARKING) TO BE SUPPLIED WITH ENERGIZED 240-280V OUTLETS IN ORDER TO SUPPORT EV CHARGING WITH EACH PARKING SPACE CAPABLE OF RECEIVING "LEVEL 2" CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12KWH WITHIN AN 8-HOUR PERIOD



1181 202-670 EVANS AVENUE
VANCOUVER, BC V6A 2E9
Tel: (604) 731-3012 / Fax: (604) 731-3908
Cel: (604) 649-0669 / Email: mj@hewitt.com

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No.	Date	Revisions
1	10/10/2018	Initial Draft
2	10/15/2018	Revised based on comments
3	10/20/2018	Final Review

No.	Date	Revision
-----	------	----------

Consultants

Project Title
PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.
RZ 18-831725

Sheet Title	
THIRD FLOOR PLAN	
SITE PLAN	

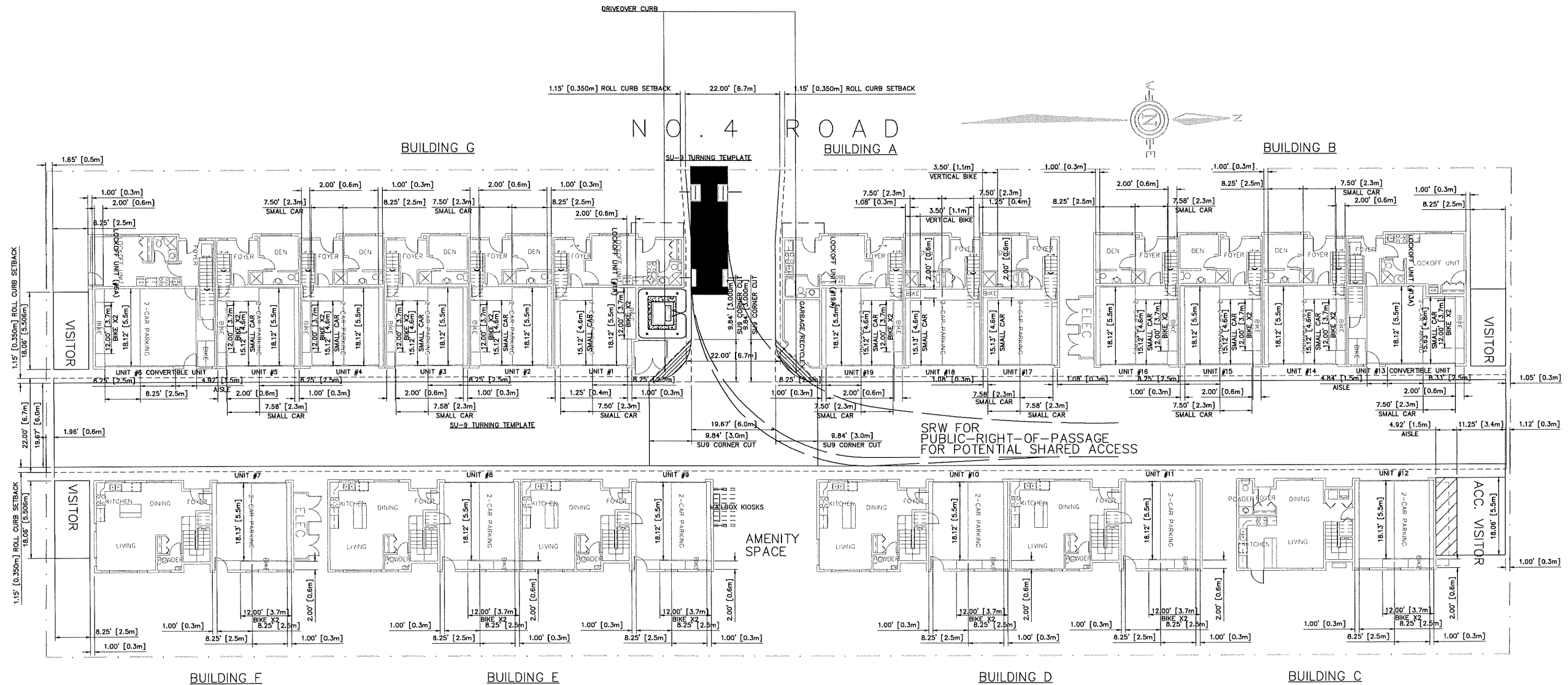
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Project Number: DP 21-936427

Revision Date:	MAY. 08, 2023
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Print Date:
MAR. 25, 2022

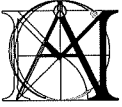
Dwg. No.	
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PLAN # 2.c

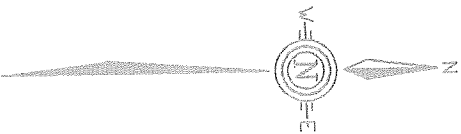


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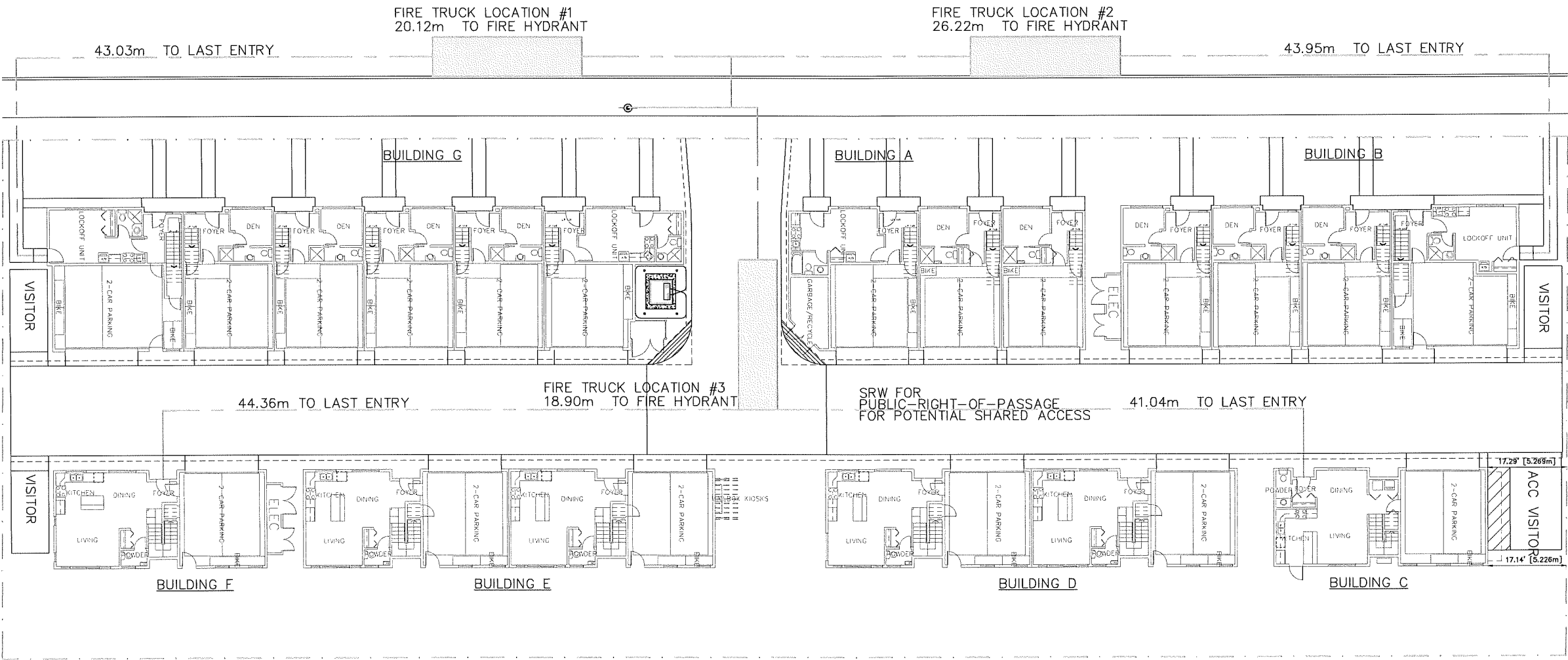
EACH RESIDENT PARKING SPACE (EXCLUDING VISITOR PARKING SPACES) IS TO BE SUPPLIED WITH A ENERGIZED 240-208V OUTLET IN ORDER TO SUPPORT ELECTRIC VEHICLE (EV) CHARGING, WITH EACH PARKING SPACE CAPABLE OF RECEIVING "LEVEL 2" CHARGING AT A PERFORMANCE LEVEL OF AT LEAST 12 kWh WITHIN AN 8-HOUR PERIOD

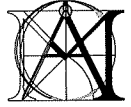
 <div>MATTHEW CHENG ARCHITECT INC. <small>Unit 202-470 EYANIS AVENUE VANCOUVER, BC V6A 2C3 Tel: (604) 731-3112 Fax: (604) 731-3998 Cell: (604) 649-2669 Email: matthewc@mcinc.ca</small></div>	THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF MATTHEW CHENG ARCHITECT INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.	No Date Revision	No Date Revision	Consultants	Project Title PROPOSED TOWNHOUSE DEVELOPMENT 10340-10420 NO. 4 ROAD RICHMOND, B.C. RZ 18-831725	Sheet Title PARKING PLAN	Drawn: HC	Revision Date: MAY, 08, 2023
							Checked: MC	Print Date: MAR. 25, 2022
							Scale: 3/32" = 1'-0"	Dwg. No. D06
							Project Number: DP 21-936427 JUNE 15 2023	PLAN # 3

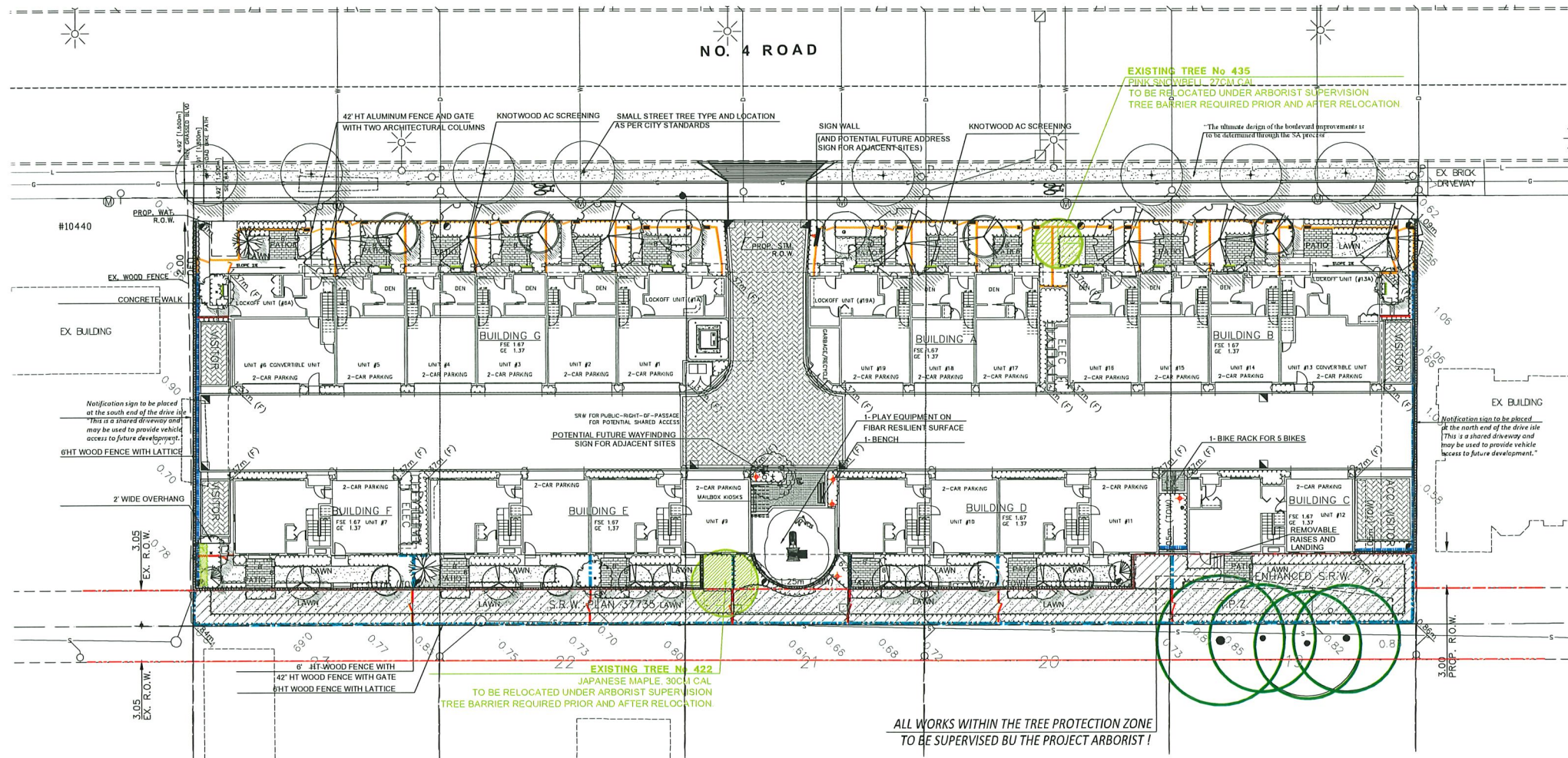
*NOTES: -ALL UNIT NUMBERS TO BE VISIBLE AND CONTRASTING COLORS
-SITE ADDRESS TO BE VISIBLE FROM STREET APPROACH
AND CONTRASTING COLORS
-BUILDINGS A, B & G TO HAVE UNIT NUMBERS ON BOTH
EAST AND WEST FACES



N O . 4 R O A D



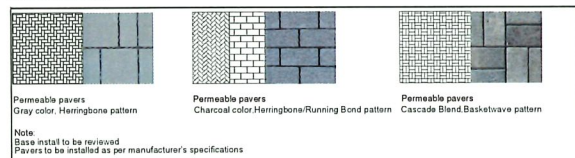
 <div>MATTHEW CHENG ARCHITECT INC. <small>1106 262 - 670 EVANS AVENUE VANCOUVER, BC V6A 2E9 Tel: (604) 731-3012 Fax: (604) 731-3008 Cell: (604) 649-8659 Email: matthew@mc.ca</small></div>	THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF MATTHEW CHENG ARCHITECT INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.	No Date Revision	No Date Revision	Consultants	Project Title PROPOSED TOWNHOUSE DEVELOPMENT 10340-10420 NO. 4 ROAD RICHMOND, B.C. RZ 18-831725	Sheet Title FIRE ACCESS PLAN	Drawn: HC	Revision Date: MAY. 08, 2023
							Checked: MC	Print Date: MAR. 25, 2022
							Scale: 3/32" = 1'-0"	Dwg. No. D08
							Project Number: DP 21-936427 JUNE 15 2023	PLAN # 4



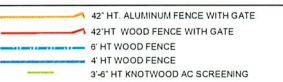
FURNITURE LEGEND



PVAER LEGEND



FENCE LEGEND



LIGHTING LEGEND



PLANT SCHEDULE

PMG PROJECT NUMBER: 19-093			
KEY	QTY	BOTANICAL NAME	COMMON NAME
TREE			
8	STREET TREE		TYPE AND LOCATION BY CITY
			7CM CAL; 2M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE

PMG PROJECT NUMBER: 19-093			
KEY	QTY	BOTANICAL NAME	COMMON NAME
TREE			
4	ACER PALMATUM		JAPANESE MAPLE
1	ACER PALMATUM ATROPURPUREUM		RED JAPANESE MAPLE
7	ACER RUBRUM 'BOWHALL'		COLUMNAR BOWHALL MAPLE
4	FAGUS SYLVATICA 'DAWKYCK'		FASTIGIATA OR DAWKYCK BEECH
2	FAGUS SYLVATICA 'DAWKYCK PURPLE'		DAWKYCK PURPLE BEECH
7	MAGNOLIA KOBUS STELLATA 'PINK STAR'		PINK STAR MAGNOLIA (LIGHT PINK)
2	PICEA OMORIKI 'BRUNS'		BRUNS SERBIAN SPRUCE
2	PINUS NIGRA 'ARNOLD SENTINEL'		ARNOLD SENTINEL AUSTRIAN BLACK PINE
4	PRUNUS SERRULATA 'AMANOAWA'		AMANOAWA FLOWERING CHERRY

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE:
- All soft landscape areas to be irrigated with an efficient automatic irrigation system with rain sensor. Installation to LIA.B.C. Standards, latest edition. Provide design-build system plan for review.

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pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 5G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
14	23.06.25	ISSUED FOR DP	DO
13	23.06.18	ISSUED FOR DP	DO
12	23.06.12	ISSUED FOR DP	DO
11	23.06.09	REVISION AS PER CITY COMMENTS	DO
10	23.06.06	NEW SITE PLAN/CITY COMMENTS	DO
9	22.05.23	REVISION AS PER ADP CITY COMMENTS	DO
8	22.04.21	AWAYED PLAN AREA	DO
7	22.04.22	NEW SITE PLAN/CITY COMMENTS	DO
6	21.04.14	NEW SITE PLAN/CITY COMMENTS	DO
5	20.01.03	REVISION AS PER ARCHITECT COMMENTS	DO
4	20.01.23	NEW CIVIL PLAN	DO
3	20.01.22	NEW SITE PLAN/CITY COMMENTS	DO
2	19.05.28	NEW SITE PLAN	DO
1	19.02.21	NEW SITE PLAN	DO

CLIENT: KADIUM NO 4 DEVELOPMENT LTD.
WITH: MATTHEW CHENG ARCHITECT INC.

PROJECT:

**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 - 10420 NO. 4 ROAD
RICHMOND
RZ 18-831725

DRAWING TITLE:

**LANDSCAPE
PLAN**

DP 21-936427
JUNE 15 2023
PLAN# 5.a

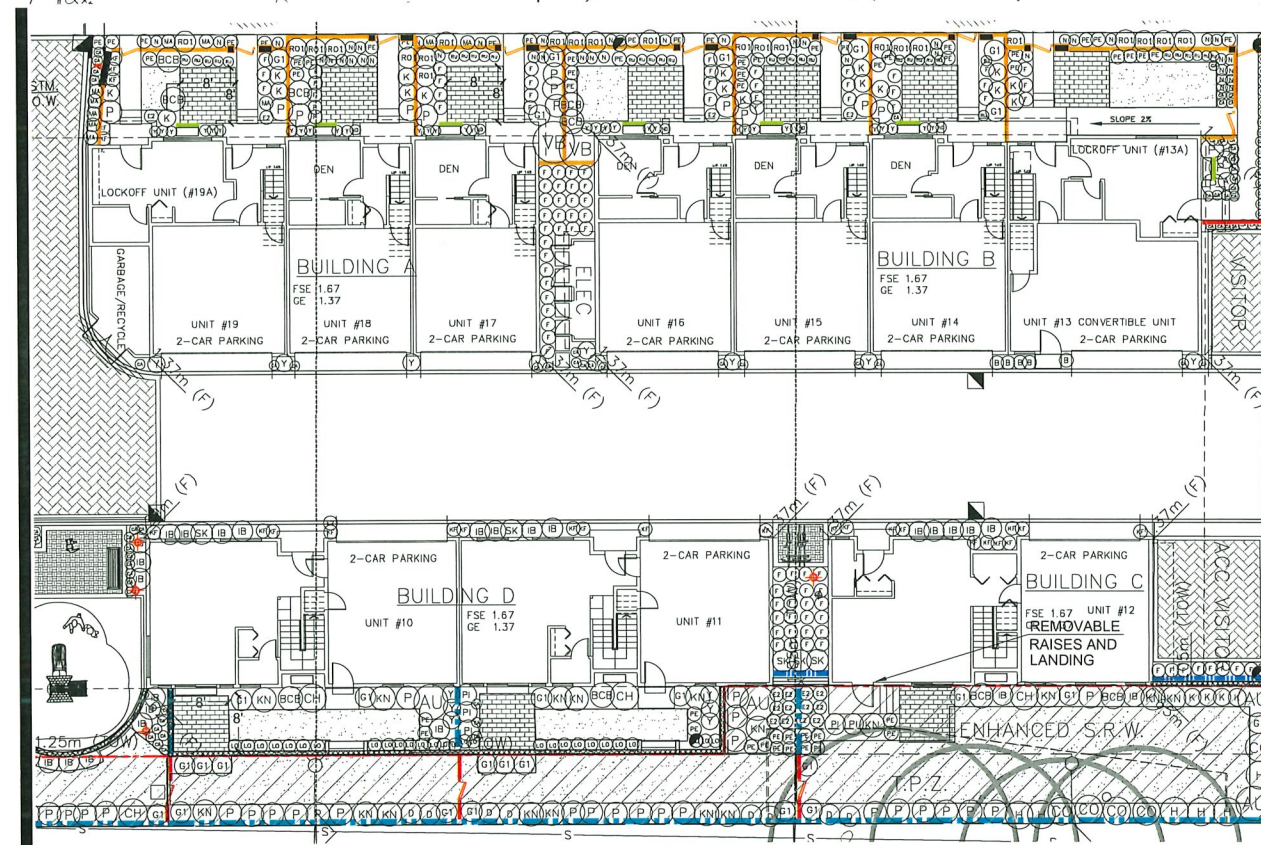
DATE: July 22, 2019
SCALE: 1/16"=1'-0"
DRAWN: DO
DESIGN: DO
CHKD: PCM

DRAWING NUMBER:
L1
OF 7

19093-11BP ZIP

PMG PROJECT NUMBER:

19-093



NOTE:
*NATIVE PLANT.

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Burnaby, British Columbia, V5C 6G5
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
14	23.JUNE15	ISSUED FOR DP	DO
12	23.JUNE12	ISSUED FOR DP	DO
11	23.JUNE09	REVISION AS PER CITY COMMENTS	DO
10	23.MAR.06	NEW SITE PLAN/CITY COMMENTS	DO
9	22.SEP.23	REVISION AS PER ADP CITY COMMENTS	DO
8	22.APR.21	REVISED PLAY AREA	DO
7	22.MAR.22	NEW SITE PLAN/CITY COMMENTS	DO
6	21.MAR.14	NEW SITE PLAN/CITY COMMENTS	DO
5	20.JUL.03	REVISION AS PER ARCHITECT COMMENTS	DO
4	20.JUN.23	NEW CIVIL PLAN	DO
3	20.JUN.22	NEW SITE PLAN/CITY COMMENTS	DO
2	19.HOV.28	NEW SITE PLAN	DO
1	19.SEP.27	NEW SITE PLAN	DO

CLIENT: KADIUM NO.4 DEVELOPMENT LTD.
WITH: MATTHEW CHENG ARCHITECT INC

PROJECT:

**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 – 10420 NO. 4 ROAD
RICHMOND
RZ 18-831725

DRAWING TITLE:
**SHRUB
PLAN**

DP 21-936427
JUNE 15 2023
PLAN# 5.b

DATE: July 22, 2019 DRAWING NUMBER:
SCALE: 3/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM

L2

OF 7

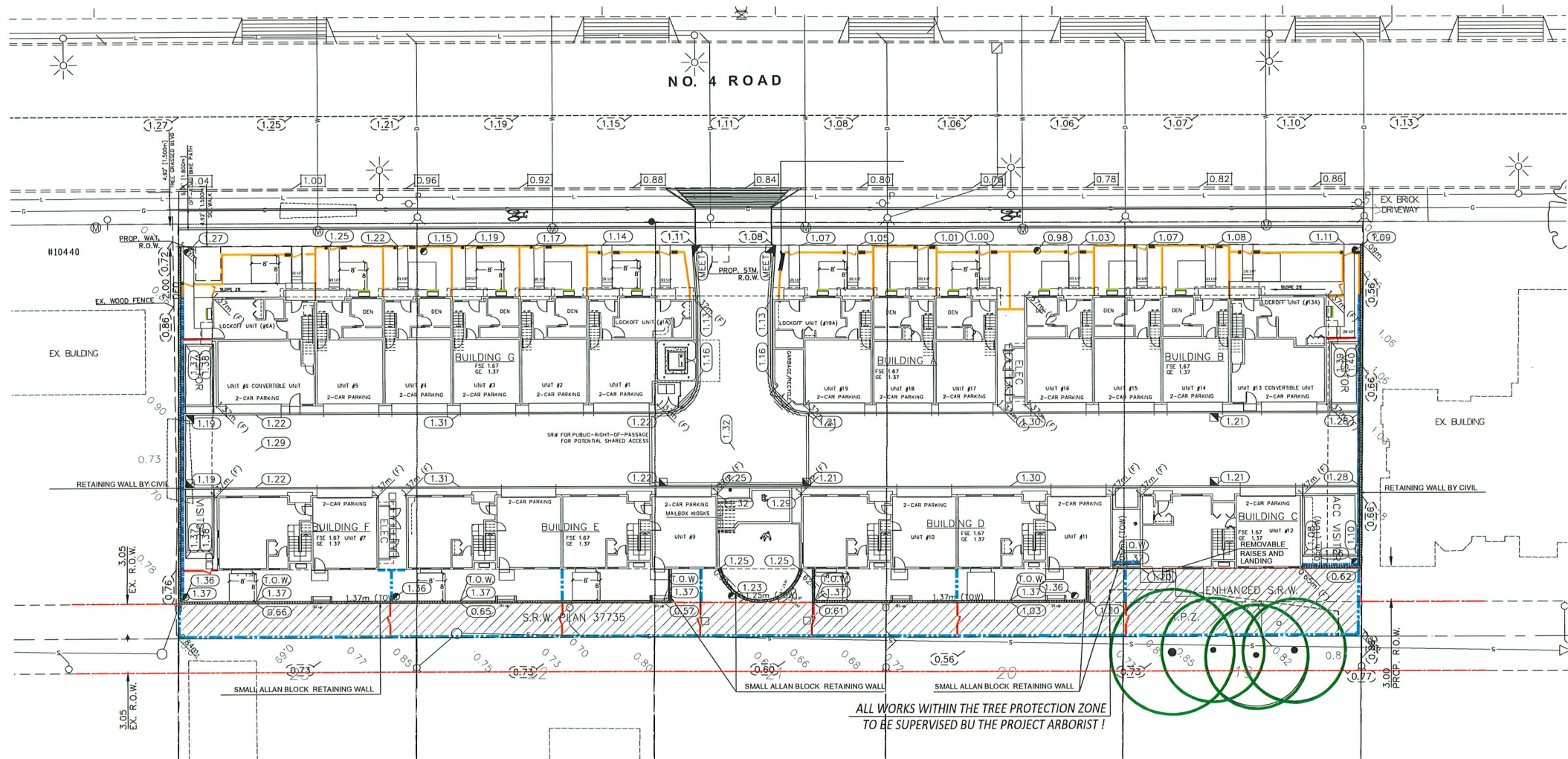
L2

OF 7

19093-118P.ZIP

PMG PROJECT NUMBER:

19-093



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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

13	23 JUL 15	ISSUED FOR DP	DO
17	23 JUL 12	ISSUED FOR DP	DO
11	23 JUL 09	REVISION AS PER CITY COMMENTS	DO
10	23 MAR 06	NEW SITE PLAN & CITY COMMENTS	DO
9	22 SEP 23	REVISION AS PER ADP CITY COMMENTS	DO
8	22 APR 22	REVISED PLAY AREA	DO
7	22 MAR 22	NEW SITE PLAN & CITY COMMENTS	DO
6	21 JAN 14	NEW SITE PLAN & CITY COMMENTS	DO
5	20 JUL 03	REVISION AS PER ARCHITECT COMMENTS	DO
4	20 JUL 23	NEW CIVIL PLAN	DO
3	20 JUL 22	NEW SITE PLAN / CITY COMMENTS	DO
2	19 NOV 28	NEW SITE PLAN	DO
1	19 SEP 27	NEW SITE PLAN	DO

NO. DATE REVISION DESCRIPTION DR.

CLIENT: KADIUM NO. 4 DEVELOPMENT LTD.
WITH: MATTHEW CHENG ARCHITECT INC.

PROJECT:

**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 - 10420 NO. 4 ROAD
RICHMOND
RZ 18-831725

DRAWING TITLE:

**GRADING
PLAN**

DP 21-936427
JUNE 15 2023
PLAN# 5.c

DATE: July 22, 2019

DRAWING NUMBER:

SCALE: 1/16"=1'-0"

DRAWN: DD

DESIGN: DD

CHKD: PCM

L3

OF 7

19093-11BP ZIP

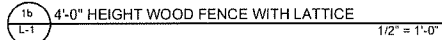
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19-093

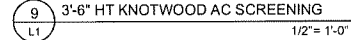
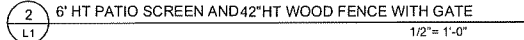
1. ALL POSTS PRESURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



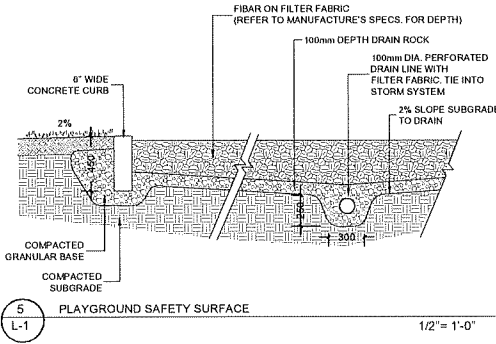
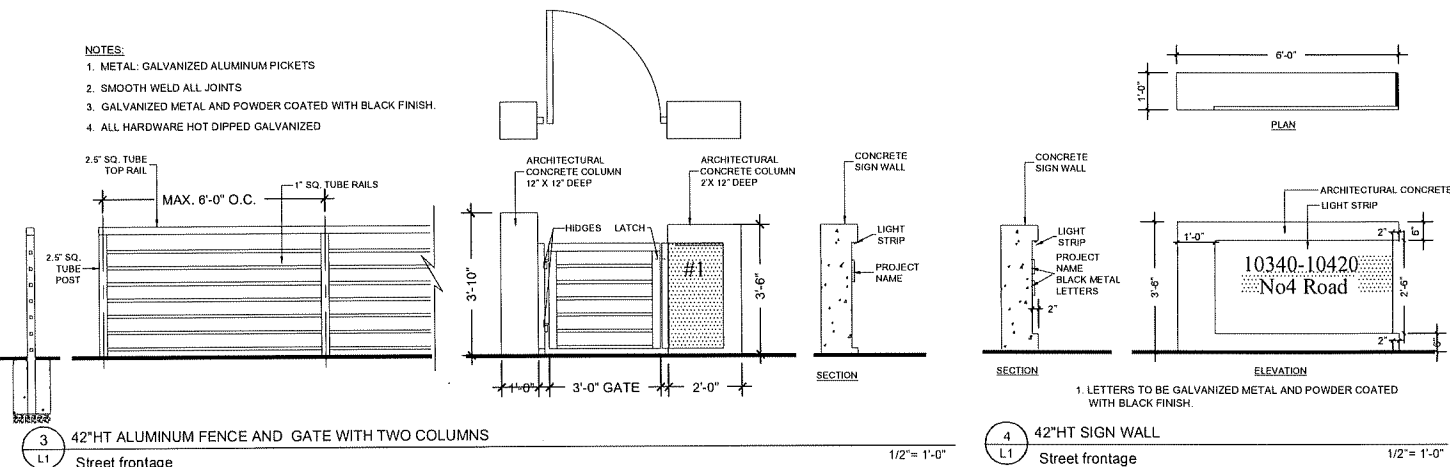
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



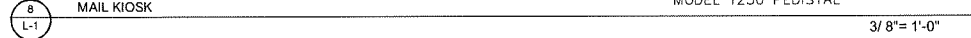
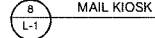
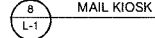
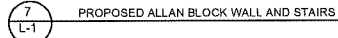
1. ALL WOOD P.T. HEM/FIR
2. ALL FASTENERS HOTDIPPEED GALVANIZED
3. STAIN ALL EXPOSED SURFACES WITH TWO COATS PREMIUM WEATHERPROOFING STAIN, COLOUR TO MATCH ARCH.; PROVIDE SAMPLE TO OWNER FOR PREAPPROVAL PRIOR TO APPLICATION
4. STEP FENCE IN EQUAL SEGMENTS TO FOLLOW GRADE AT PROPERTY LINE.



1. METAL: GALVANIZED ALUMINUM PICKETS
2. SMOOTH WELD ALL JOINTS
3. GALVANIZED METAL AND POWDER COATED WITH BLACK FINISH
4. ALL HARDWARE HOT DIPPED GALVANIZED



6 PERMEABLE PAVERS
L-1 1/2" = 1'-0"



p m g
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 8G9
p: 604 294-0011 ; f: 604 294-0022

NO.	DATE	REVISION DESCRIPTION	DR.
17	23.JUN.12	ROUND TOP FOR	00
18	23.JUN.09	REVISION ASHLEY CITY COMMENTS	00
9	23.JUN.08	NEW SITE PLANS CITY COMMENTS	00
1	25.JUL.03	REVISION ASH FOR AFD CITY COMMENTS	00
8	22.APR.21	REVISD PUMP AREA	00
7	22.MAR.22	NEW SITE PLANS CITY COMMENTS	00
6	21.JUL.14	NEW SITE PLANS CITY COMMENTS	00
5	20.JUL.03	REVISION AS FOR ARCHITECT COMMENTS	00
4	20.JUL.03	NEW CIVIL PLAN	00
3	20.JUL.03	NEW CIVIL PLAN CITY COMMENTS	00
2	19.MAY.08	NEW SITE PLAN	00
1	18.SEP.07	NEW SITE PLAN	00

PROJECT:

DP 21-936427
JUNE 15 2023
PLAN# 5.d

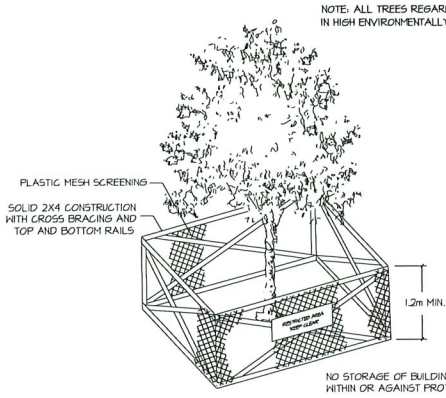
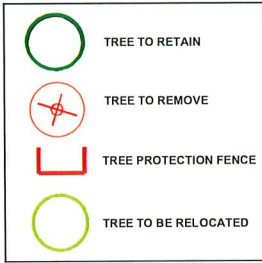
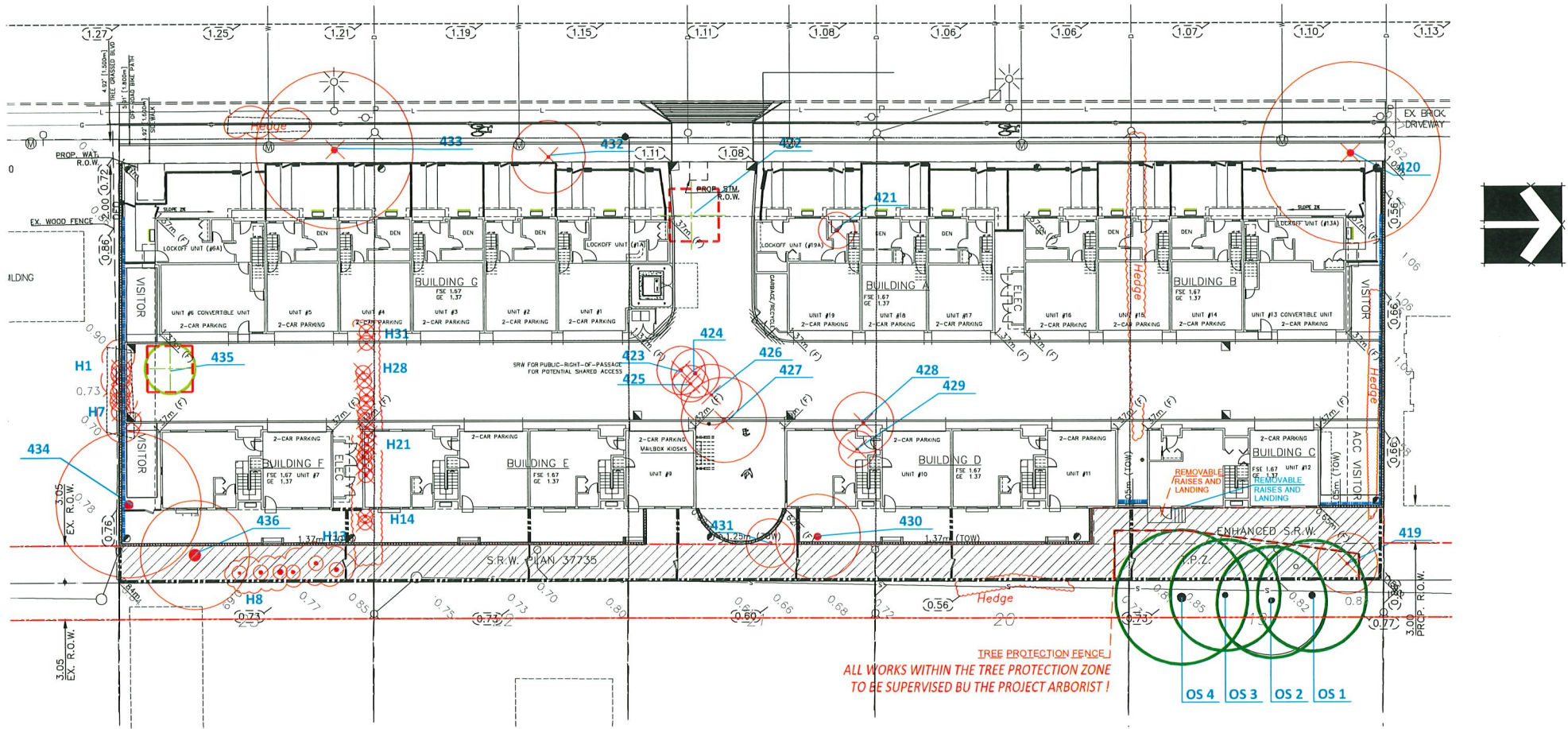
LANDSCAPE DETAILS

L4

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pmg
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SEAL:



1A TREE PROTECTION BARRIER
L-3

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE	
TRUNK DIAMETER IN CM. @ 1.37m	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADII FOR TREES LARGER THAN 100CM dbh. *DIAMETER AT BREAST HEIGHT OR 1.4M FROM GRADE.

Tree Inventory			
Tag	Species	DBH (cm)	TPZ (m)
419	Fig	40	2.40
420	Deodar cedar	73	4.38
421	Fig	39	2.34
422	Japanese maple	30	1.80
423	Smaragd cedar	36	2.16
424	Smaragd cedar	40	2.40
425	Smaragd cedar	28	1.68
426	Oyama magnolia	24	1.44
427	Japanese maple	36	2.16
428	Himalayan birch	48	2.88
429	Elderberry	24	1.44
430	Apple	43	2.58

431	Apple	21	1.26
432	Cherry	39	2.34
433	Norway maple	57	3.42
434	Flowering cherry	82	4.92
435	Pink snowbell	27	1.62
436	Hazelnut	30	1.80
H1-	Western red cedar	30	1.80
H7-	Western red cedar	30	1.80
H8-	Western red cedar	30	1.80
H13-	Western red cedar	30	1.80
H14-	Western red cedar	30	1.80
H31-	Western red cedar	30	1.80
os1	Hemlock	60	3.60
os2	Hemlock	60	3.60
os3	Hemlock	60	3.60
os4	Western red cedar	85	5.10

NO.	DATE	REVISION DESCRIPTION	DR.
13	23 JUN 15	REVISED FOR DP	DD
12	23 JUN 12	ISSUED FOR DP	DD
11	23 JUN 09	REVISION AS PER CITY COMMENTS	DD
10	23 MAR 06	NEW SITE PLANS/CITY COMMENTS	DD
9	22 SEP 23	REVISION AS PER ADP CITY COMMENTS	DD
8	22 SEP 21	REMOVED PLAY AREA	DD
7	22 MAR 22	NEW SITE PLANS/CITY COMMENTS	DD
6	22 MAR 14	NEW SITE PLANS/CITY COMMENTS	DD
5	20 JUL 03	REVISION AS PER ARCHITECT COMMENTS	DD
4	20 JUN 23	NEW CIVIL PLAN	DD
3	20 JUN 22	NEW SITE PLAN/CITY COMMENTS	DD
2	19 NOV 28	NEW SITE PLAN	DD
1	19 SEP 27	NEW SITE PLAN	DD

CLIENT: KADIUM NO. 4 DEVELOPMENT LTD.
WITH: MATTHEW CHENG ARCHITECT INC.

PROJECT:

**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 - 10420 NO. 4 ROAD
RICHMOND
RZ 18-831725
DP 21-936427
JUNE 15 2023
PLAN# 5.e

DRAWING TITLE:

**TREE MANAGEMENT
PLAN**

DATE: July 22, 2019
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER:
L5
OF 7



CONTEXT PLAN



STREETSCAPE ALONG NO. 4 ROAD



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No Date Revision

No Date Revision

Consultants

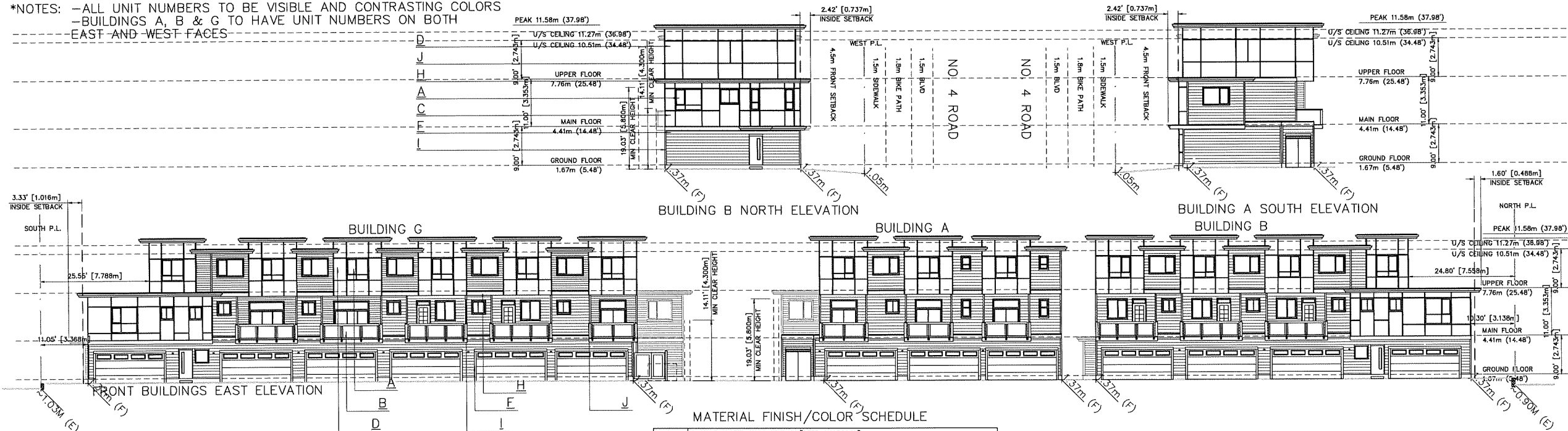
Project Title
PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.
RZ 18-831725

Sheet Title
CONTEXT PLAN

Drawn:
HC
Checked:
MC
Scale:
1/16" = 1'-0"
Project Number:
DP 21-936427
JUNE 15 2023

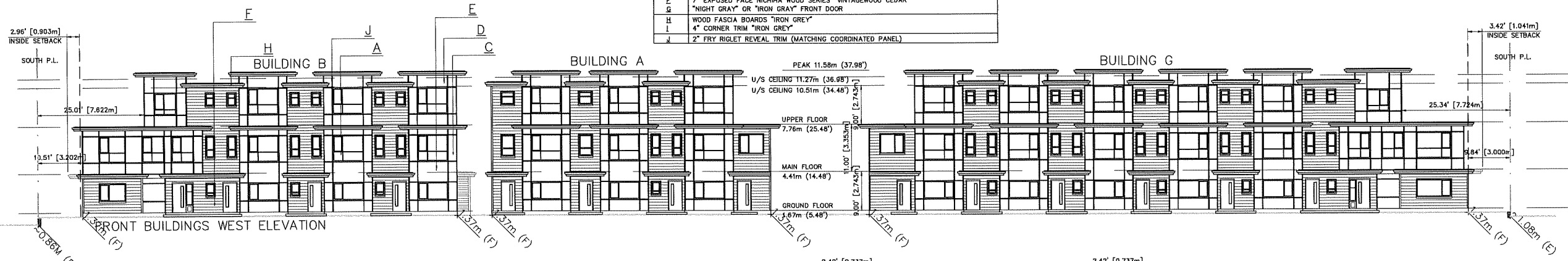
Revision Date:
MAY. 08, 2023
Print Date:
MAR. 25, 2022
Dwg. No.
D07
PLAN # 6.a

*NOTES: -ALL UNIT NUMBERS TO BE VISIBLE AND CONTRASTING COLORS
-BUILDINGS A, B & G TO HAVE UNIT NUMBERS ON BOTH
EAST AND WEST FACES



MATERIAL FINISH/COLOR SCHEDULE

A	DOUBLE GLAZED VINYL WINDOW "DEEP CHARCOAL"
B	ALUMINUM RAILING W/ GLASS INSERTS "DEEP CHARCOAL"
C	JAMES HARDIE REVEAL PANEL "ARCTIC WHITE"
D	JAMES HARDIE REVEAL PANEL (UPPER FLOORS) "NIGHT GREY"
E	JAMES HARDIE REVEAL PANEL (HIGHLIGHT) "IRON GREY"
F	7" EXPOSED FACE NICHHA WOOD SERIES "VINTAGEWOOD CEDAR"
G	"NIGHT GRAY" OR "IRON GRAY" FRONT DOOR
H	WOOD FASCIA BOARDS "IRON GREY"
I	4" CORNER TRIM "IRON GREY"
J	2" FRY RIGLET REVEAL TRIM (MATCHING COORDINATED PANEL)



AVERAGE GRADES FOR BUILDING HEIGHT CALCULATION

	BUILDING A	BUILDING B	BUILDING C	BUILDING D	BUILDING E	BUILDING F	BUILDING G
NE CORNER	1.37m	1.37m	0.80m	0.80m	0.62m	1.05m	1.37m
NW CORNER	1.37m	1.37m	1.37m	1.37m	1.37m	1.37m	1.37m
SE CORNER	1.37m	1.37m	0.80m	0.62m	1.05m	1.05m	1.37m
SW CORNER	1.37m	1.37m	1.37m	1.37m	1.37m	1.37m	1.37m
OTE							
NE CORNER			0.86m				
NW CORNER			1.09m				
SE CORNER			0.84m				
SW CORNER			1.27m				
AVERAGE BUILDING GRADE			1.20m				
HEIGHT	10.388m	10.388m	7.82m	7.82m	7.82m	7.82m	10.388m



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No Date Revision

No Date Revision

Consultants

Project Title
PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.

RZ 18-831725

Sheet Title

ELEVATIONS

Drawn:

HC

Checked:

MC

Scale:

3/32" = 1'-0"

Project Number:

DP 21-936427

Revision Date:

MAY, 08, 2023

Print Date:

MAR, 25, 2022

Dwg. No.

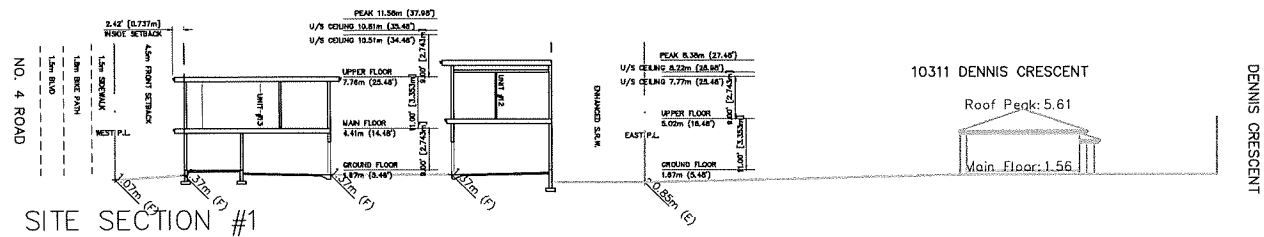
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JUNE 15 2023

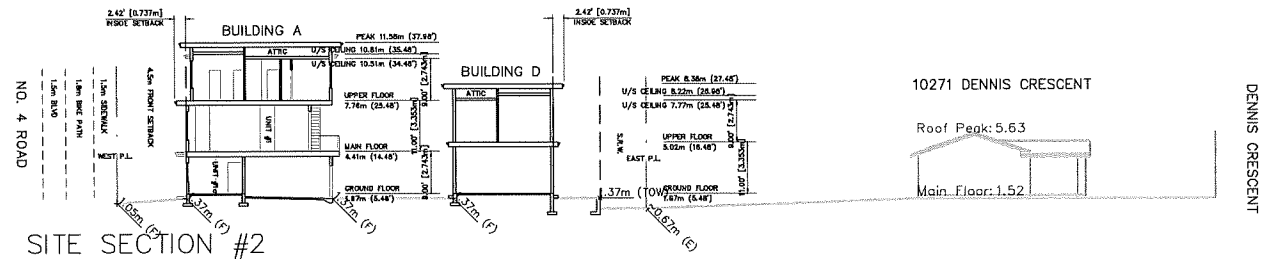
PLAN #6.b

*NOTES: -ALL UNIT NUMBERS TO BE VISIBLE AND CONTRASTING COLORS
-BUILDINGS A, B & G TO HAVE UNIT NUMBERS ON BOTH EAST AND WEST FACES

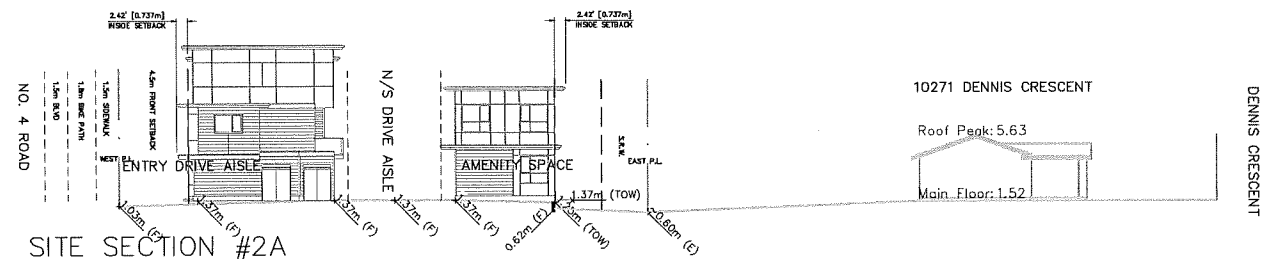




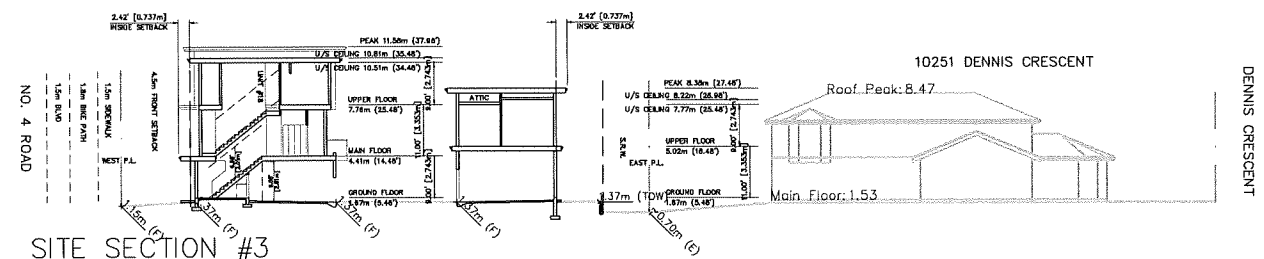
SITE SECTION #1



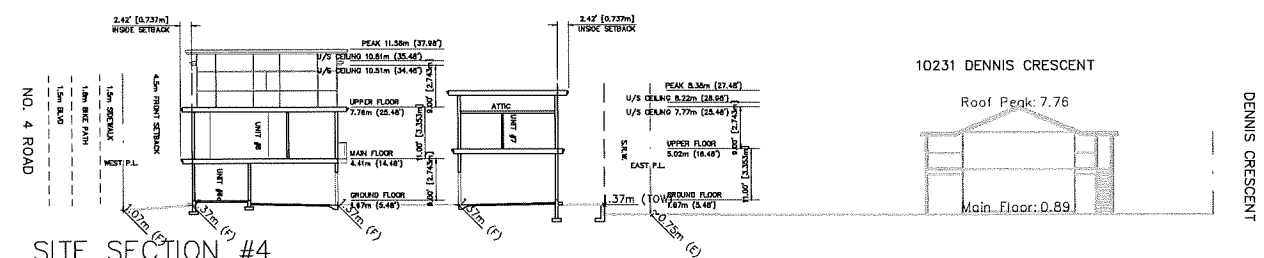
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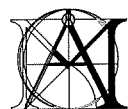
SITE SECTION #2A



SITE SECTION #3



SITE SECTION #4



**MATTHEW CHENG
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No Date Revision

No Date Revision

Consultants

Project Title
**PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.**

RZ 18-831725

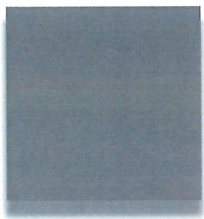
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SITE SECTIONS

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Checked: MC	Print Date: MAR. 25, 2022
Scale: 1/16" = 1'-0"	Dwg. No. D07a
Project Number: DP 21-936427	JUNE 15 2023

PLAN # 6.e



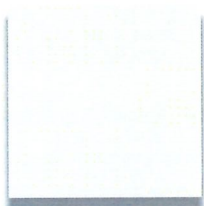
NICHIHA
WOOD SERIES SIDING
VINTAGEWOOD CEDAR



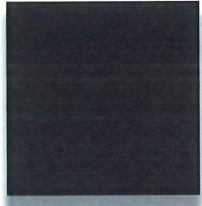
JAMES HARDIE
REVEAL PANEL
NIGHT GRAY
EASYTRIM MATCHING



JAMES HARDIE
REVEAL PANEL
IRON GRAY
EASYTRIM MATCHING



JAMES HARDIE
REVEAL PANEL
ARCTIC WHITE
EASYTRIM MATCHING



FASCIA BOARD
IRON GRAY



MATTHEW CHENG
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No Date Revision

No Date Revision

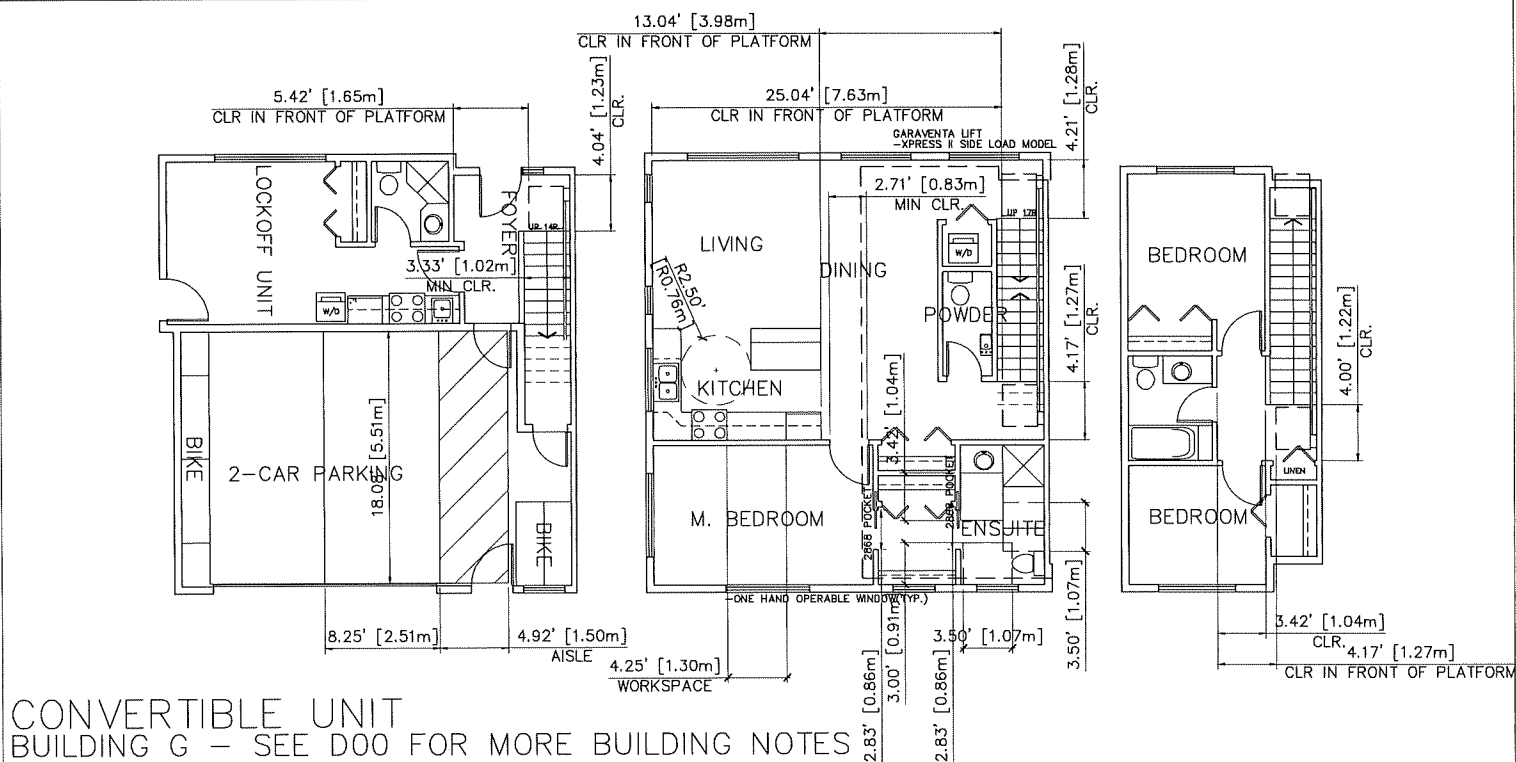
Consultants

Project Title
PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.
RZ 18-831725

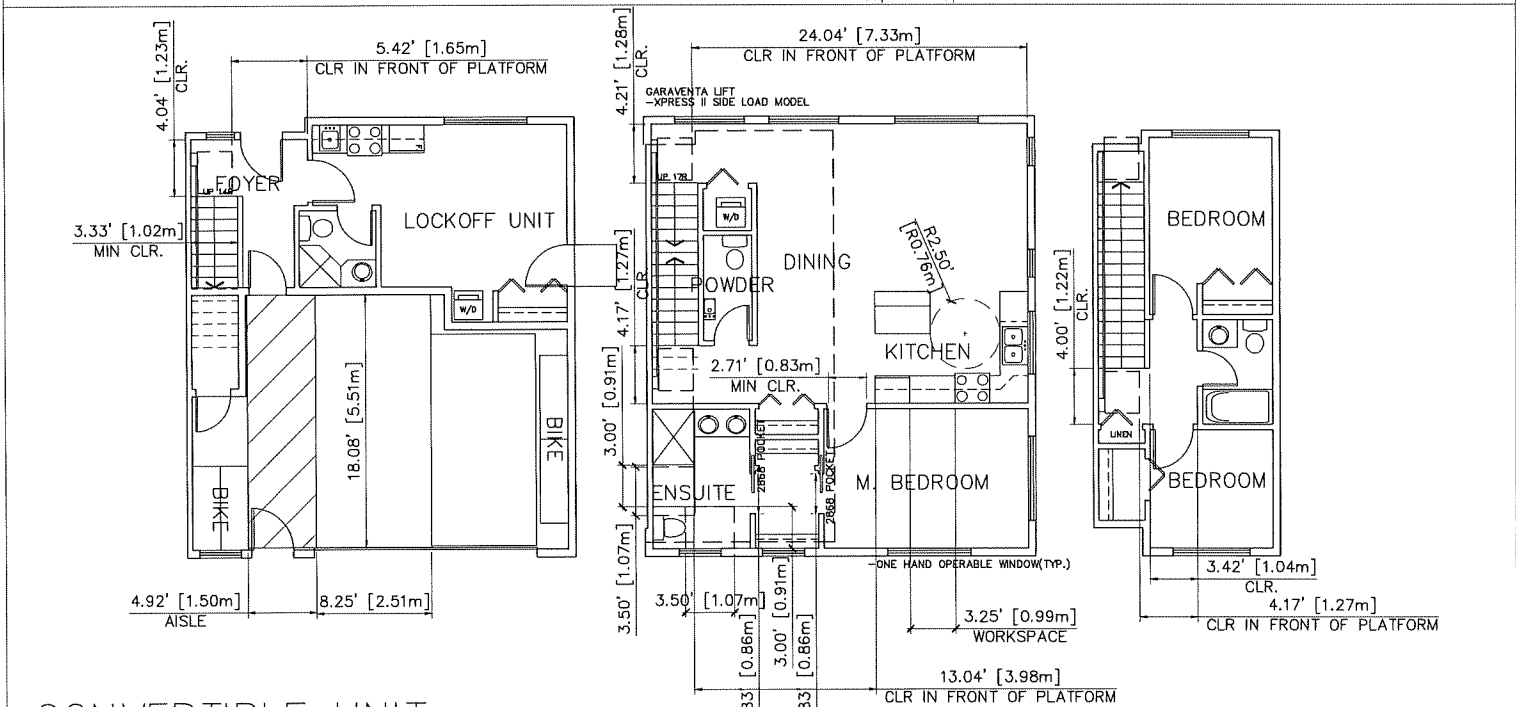
Sheet Title
MATERIAL BOARD

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HC
Checked:
MC
Scale:
3/16" = 1'-0"
Project Number:
DP 21-936427
JUNE 15 2023

Revision Date:
MAY, 08, 2023
Print Date:
MAR. 25, 2022
Dwg. No.
R01
PLAN # 6.f



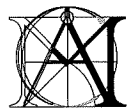
CONVERTIBLE UNIT
BUILDING G – SEE D00 FOR MORE BUILDING NOTES



CONVERTIBLE UNIT
BUILDING B – SEE D00 FOR MORE BUILDING NOTES

CONVERTIBLE UNIT GUIDELINES:

- DOORS & DOORWAYS**
- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
 - ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
 - INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
 - PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
 - LEVER-TYPE HANDLES FOR ALL DOORS.
- VERTICAL CIRCULATION**
- STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
 - AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
- HALLWAYS**
- MIN. 900 MM WIDTH.
- GARAGE**
- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
 - ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
- BATHROOM (MIN. 1)**
- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
 - WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
 - PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
 - CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
- KITCHEN**
- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
 - CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
 - 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
- WINDOWS**
- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
- OUTLETS & SWITCHES**
- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS; BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. -UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



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No Date Revision

No Date Revision

Consultants

Project Title
PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.

RZ 18-831725

Sheet Title

CONVERTIBLE UNIT
FLOOR PLANS

Drawn:

HC

Checked:

MC

Scale:

3/16" = 1'-0"

Project Number:

DP 21-936427

JUNE 15 2023

Revision Date:

MAY, 08, 2023

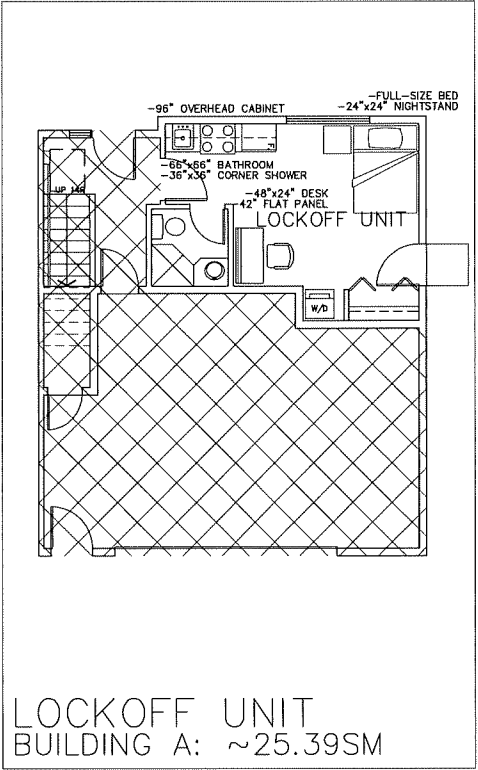
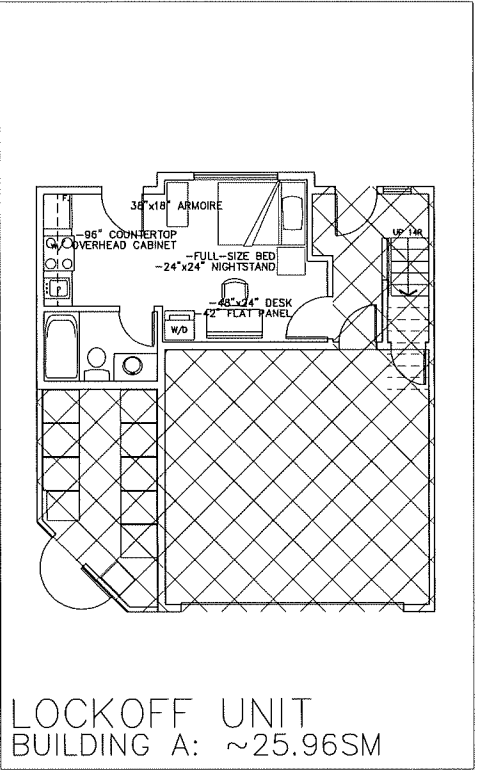
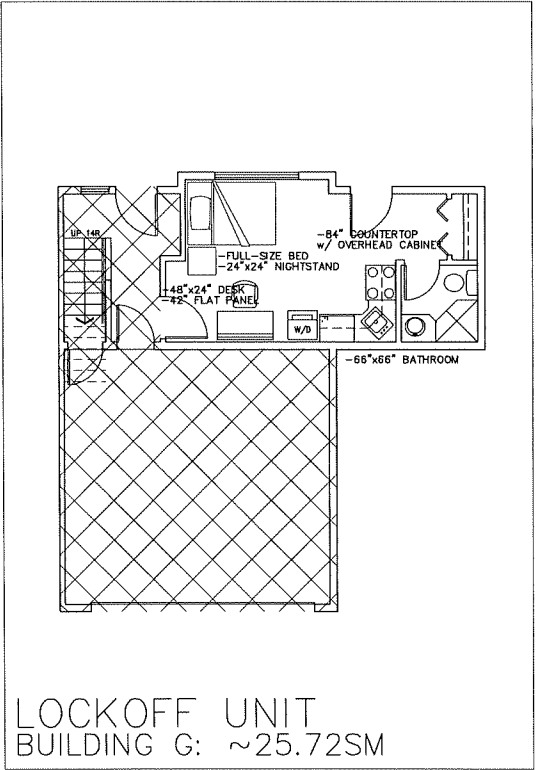
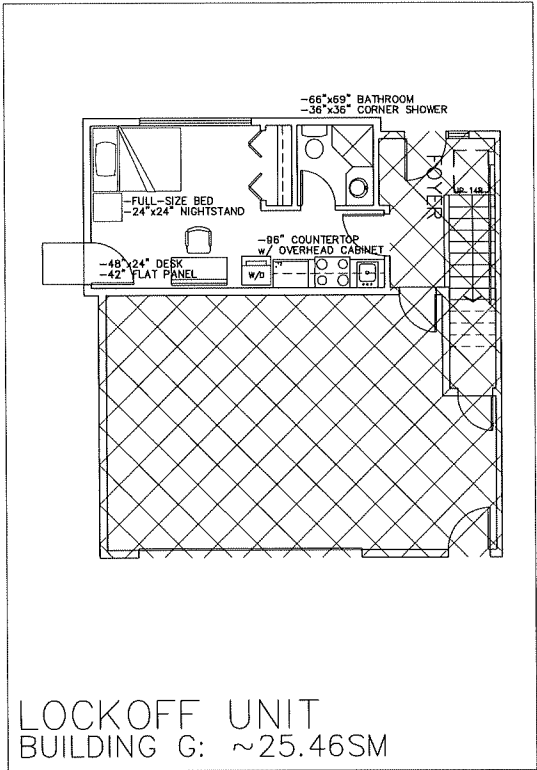
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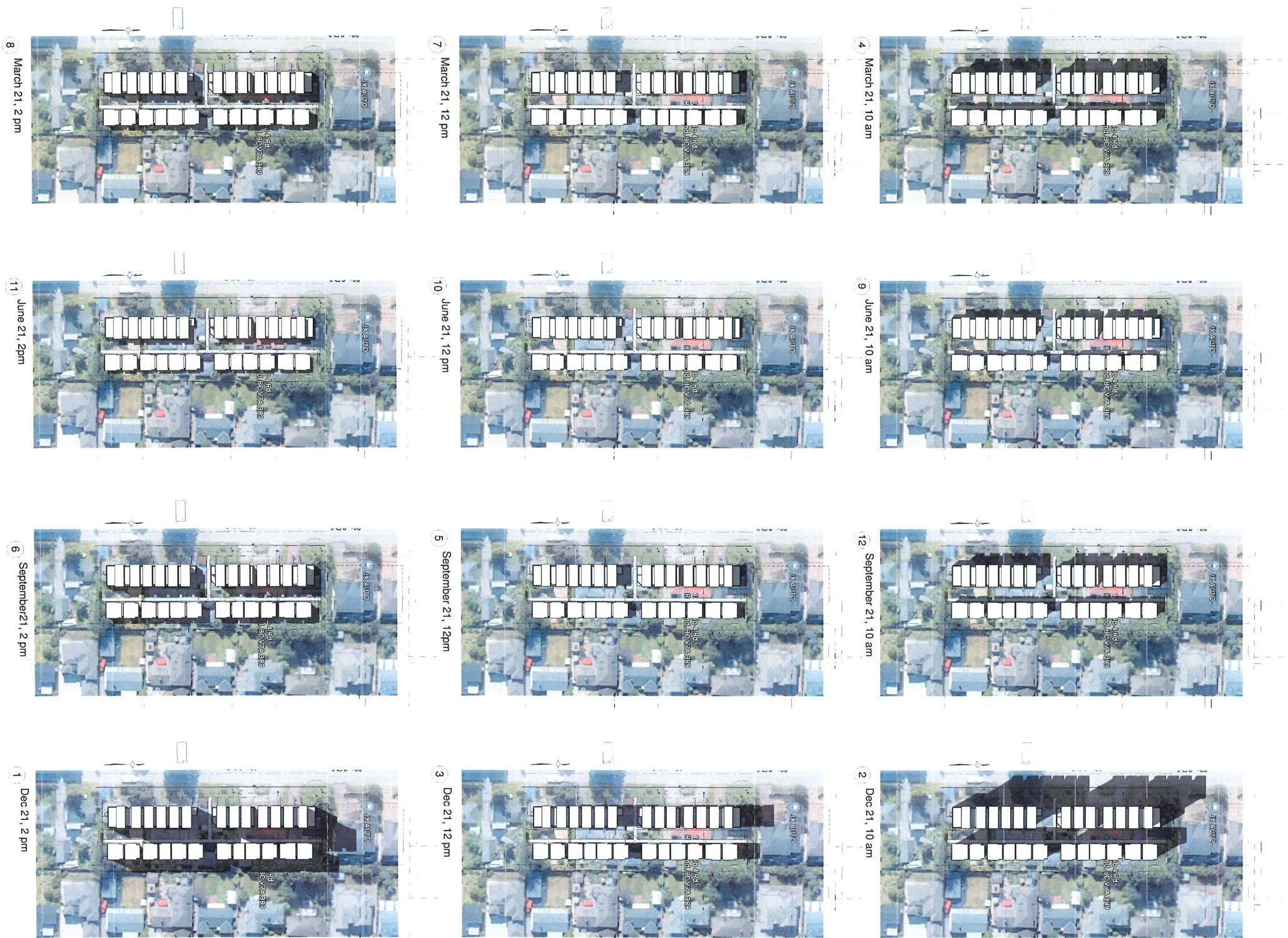
MAR. 25, 2022

Dwg. No.

D09

REFERENCE PLANS





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No Date Revision

No Date Revision

Consultants

Project Title
**PROPOSED TOWNHOUSE
DEVELOPMENT
10340-10420 NO. 4 ROAD
RICHMOND, B.C.**
RZ 18-831725

Sheet Title
SHADOW ANALYSIS

Drawn:
HC
Checked:
MC
Scale:
3/32" = 1'-0"
Project Number:
DP 21-936427
JUNE 15 2023

Revision Date:
MAY. 08, 2023
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MAR. 25, 2022
Dwg. No.
D12
REFERENCE PLANS



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: June 7, 2023

From: Wayne Craig
Director, Development

File: DP 22-015851

Re: **Application by Polygon Talisman Park Ltd. for a Development Permit at Portions of 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/ 3600 Sexsmith Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 276 rental housing units in two six-storey multi-family apartment buildings on portions of the properties located at 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/3600 Sexsmith Road on a site zoned "Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase maximum permitted building height for the affordable housing building located on the eastern portion of the site from 25.0 m to 27.6 m to accommodate elevator access to a rooftop garden.

Wayne Craig
Director, Development
(604-247-4625)

WC:sb
Att. 3

Staff Report

Origin

Polygon Talisman Park Ltd. has applied to the City of Richmond for permission to develop 276 rental housing units in two six-storey apartment buildings over a common parking structure on a development site comprising portions of the properties located at 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/3600 Sexsmith Road and zoned “Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)”. The development proposal provides 156 Low-End Market Rental (LEMR) units in a stand-alone building on the eastern portion of the site and 120 market rental units in a stand-alone building on the western portion of the site. The site is currently vacant.

The site is being rezoned from the “Single Detached (RS1/F)” zone to the “Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)” zone for this project under Bylaw 10198 (RZ 18-836123) which received third reading at the Public Hearing on January 17, 2022.

Highlights of the proposed development include:

- The subject application is the first phase of a four-phase development.
- The subject development provides a range of unit types from studio to three-bedroom.
 - Unit areas are proposed to range from 40 m² to 94 m² (431 ft² to 1,012 ft²).
 - All the units will be connected to a City-owned Low Carbon Energy System (as secured through the associated rezoning application).
- Approximately 568 m² (6,114 ft²) of indoor amenity space is provided. Each building has its own indoor amenity space for the use of the residents in the building.
- Approximately 1,793 m² (19,300 ft²) of common outdoor amenity space is provided for the shared use of residents.
- Approximately 651 m² (7,006 ft²) of pathway area is provided along the north and west edges of the site. These areas are also available for public use and were secured through the associated rezoning application with public-rights-of-passage Statutory-Rights-of-Way as part of the overall development’s Capstan Station Bonus Public Open Space requirements.
- A rooftop urban agriculture gardening area is provided at the roof level of the affordable housing building (as secured through the associated rezoning application).

A Servicing Agreement is required to accommodate the development and was secured through the associated rezoning application, providing for the design and construction of new roads, road widening, and frontage improvements off-site, and onsite public pathways along the north and west property lines of the subject site.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is located on the west side of Garden City Road between Cambie Road to the south and Capstan Way to the north. The site is in the Capstan Village area of the City Centre Planning Area. After completion of the subdivision associated with the rezoning application, the net site area for the subject development is 9,630.8 m² (103,665 ft²) in area.

Development surrounding the subject site is as follows:

To the North: Is the second phase of the subject four-phase development, which will include high-density high-rise development and commercial uses fronting Capstan Way.

To the South: Is a new neighbourhood City Park being provided through the subject development at the developer's sole cost. The developer has entered into a Servicing Agreement for design and construction of the new City Park and the developer is required to construct the Park prior to occupancy of phase 3 of the overall development.

To the East: Across Garden City Road in the Oaks West Cambie neighbourhood, is a single-storey commercial development and two-storey townhouse development.

To the West: Is a church site, designated in the CCAP for institutional and low to medium density low to mid-rise residential development with limited commercial uses (General Urban T4 (25 m) and Institution).

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Accommodating replacement tree planting, which has been reviewed and the landscape DP plans incorporate the planting of 138 trees. Further details are provided in the Tree Management and Landscape Design and Open Space Design sub-sections of this report.
- The addition of a rooftop demonstration urban agriculture garden on the affordable housing building, which was subsequently incorporated into the rezoning considerations, and is included in the DP plans. Further details on the demonstration urban agriculture garden are provided in the Landscape Design and Open Space Design sub-section of this report.

The Public Hearing for the associated rezoning was held on January 17, 2022. The following architectural form and character concerns regarding rezoning and the phase 1 subject site were expressed; responses to the concerns are provided in *italics*.

- Provision of balconies for private outdoor space – *Private outdoor space balconies or patios are provided for 100 per cent of LEMR and market rental units.*
- Provision of appropriate parking and charging infrastructure – *Electric Vehicle charging accommodation is provided for 100 per cent of resident parking spaces as required by the City's Zoning Bylaw and 100 per cent of visitor parking spaces, which was secured through the associated rezoning application.*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan, City Centre Area Plan (CCAP) and is generally in compliance with the “Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)” zone except for the zoning variance noted below.

Zoning Compliance/Variances (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase maximum permitted building height for the affordable housing building located on the eastern portion of the site from 25.0 m to 27.6 m to accommodate elevator access to a rooftop garden.

(Staff supports the proposed variance as the additional height is requested in order to accommodate universal access to the required rooftop urban agriculture garden. The additional height is limited to the area of the elevator’s mechanical penthouse. The location is stepped back from the edge of the building, thereby reducing the visual and shadow impacts associated with the limited additional height)

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the proposal subject to the applicant taking into consideration the Panel’s comments. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from May 17, 2023 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘***bold italics***’.

Analysis

Conditions of Adjacency

- The proposal provides a transition between the single-detached and townhouse development in the Oaks neighbourhood to the east across Garden City and the higher-density development envisioned in the CCAP along No. 3 Road. It also provides a transition from the new City Park provided by the overall development along the south edge of the subject site and the higher density future phases of the overall development.
- Along the west and north property lines, public walkways are provided within SRW and secured through the associated rezoning application. These public walkways provide connections from the new road cul-de-sac to the new City Park and Garden City Road.
- Along Garden City Road, a low brick clad planter wall supports trees and planting screening the parking structure and softening the grade transition from sidewalk to podium level living areas, which are further set back from the road behind podium level patios. The planter wall and the parking structure wall are both articulated with inset areas at regular intervals. The parking structure wall is clad with areas of brick and areas of architectural concrete and is topped with a mix of vertical and angled metal guardrails setback from the edge.

Together, these measures break up the length of the walls, create different sized planting areas, and provide visual interest.

- Along the new road cul-de-sac, lobby entries to both buildings are located at grade in a plaza area, and loading spaces and vehicle access to the parking structure are provided.
- Along the west property line, for the protection of the identified existing trees on the subject site and existing trees on the neighbouring site, the site grade will match with the existing site grade of the neighbouring site and the low planter wall and parking structure are set back. The low planter wall is broken up visually with inset areas and an inset area is also provided in the parkade wall. The buildings are further set back from the west property line behind podium level patios, which also provides a setback from future potential development of the adjacent property to the west.
- Along the south property line, the interface with the new City Park includes a jog in the property line, inset areas in the low planter wall at regular intervals and an accessible ramp, which together provide breaks and visual interest.
- The detailed Building Permit design for the development will comply with the City's requirements related to aircraft noise sensitive development, as required by the legal agreement secured through the associated rezoning application.

Urban Design and Site Planning

- Two six-storey wood-frame buildings are proposed atop a common single-level parking structure. The main entry lobbies for both buildings front onto the new road cul-de-sac that provides vehicle access from Capstan Way.
- The two buildings wrap around a central interior courtyard on top of the parking podium that opens up to the north and south, allowing for increased direct sunlight penetration and a sense of openness between the buildings. The courtyard may be accessed from the buildings as well as by ramps and stairways connecting to the new road cul-de-sac and City Park, and a stairway connecting to Garden City Road.
- A single-vehicle access to the parkade will be provided from the new road cul-de-sac at the northwest corner of the subject site. Vehicle access is not provided to/from Garden City Road.
- Loading spaces are provided in front of both building lobbies and the garbage/recycling collection area is located adjacent to the vehicle access.

Architectural Form and Character

- The project proposes a contemporary architectural style featuring vertical building bays, stacked balconies and vertical bands of colour, creating a vertical visual rhythm, and strong framing elements help mark the building entries, break down the apparent building height and provide visual interest across the building elevation lengths.
- A hierarchy of framing elements is proposed. In recognition of the subject site's location within the CCAP Richmond Arts District, lower four-storey framing elements feature coloured panelling and stacked balcony guardrails treated with grassland graphic design.

Larger six-storey framing elements with lower four-storey dark brick treatment mark the location and importance of the entry lobbies of both buildings.

- Aligned with the framing and bay elements and offset from the accent colour blocking, some portions of the roof are tilted up to provide articulation and visual interest to the horizontal roof lines and enhancing ceiling height and natural daylighting to some top-floor apartments.
- The exterior cladding is a combination of fibre cement horizontal cladding and panels with metal reveals. Other exterior cladding materials such as brick, architectural concrete, fibre cement trim and soffits, metal and glass guardrails are used to provide accent and visual interest. Taller glazed walls identify and highlight the entry lobbies and interior amenity areas.
- The colour palette of lighter white, darker grey and accents of blue, green, yellow and warm brown provide accent and visual interest.

Tree Management

- As required through the associated rezoning application, 12 on-site trees are being retained along the west property line, and the proposed building footprint is setback a sufficient distance to provide for tree protection.
- Subsequent to third reading of the associated zoning bylaw amendment, a number of the trees identified at the rezoning stage for removal, were removed via approved Tree Permits to accommodate site preparation and pre-loading.
- As required through the associated rezoning application, the Official Community Plan 2:1 replacement ratio requires that a minimum of 206 replacement trees be provided across the overall four-phase development for the removal of 103 bylaw-sized trees on-site across the overall development. The applicant has agreed to plant 138 trees on the subject site. The remaining 68 replacement trees will be addressed during the remaining three phases of development.

Landscape Design and Open Space Design

- Along the new road cul-de-sac, the entry plaza area includes Class 2 bicycle racks, and stair and ramp connections to the podium roof outdoor amenity courtyard between the two buildings.
- Along the Garden City Road, new road cul-de-sac, City Park and west edges of the parkade structure, the continuous low planters are support shrubs and trees and other plants to screen the parking structure and soften the transition to podium level.
- Along the south property line interface with the City Park, an onsite ramp provides residents with a private connection between the podium roof outdoor amenity area and the City Park.
- Along the west property line, for the protection of the identified existing trees on the subject site and existing trees on the neighbouring site, the proposed site grade will match with the existing site grade of the neighbouring site, and sod and granular path materials will be provided. The existing chain link fencing between the subject site and neighbouring property to the west will be retained, delineating the edge of the public pathway area.

- Outdoor amenity space proposed in this development exceeds the minimum OCP requirements. Outdoor amenity spaces proposed on the podium include a 600 m² (6,458 ft²) children's play area, planted and bermed landscape areas, walkway circuits, seating opportunities and outdoor dining patio areas adjacent to indoor amenity areas. The children's play area features a climbing wall, a separate large climbing play structure with enclosure underneath, a large play structure with slide, and ten small play structures, climbing and seating boulders, pavers and a large open lawn area. Pedestrian pathways along the north and west edges of the site provide recreational opportunity, connections to Garden City Road, the new road cul-de-sac, and the City Park, and were secured through the associated rezoning application for public access.
- The plant palette selection includes native and native adapted plants with a variety of bloom periods and textures, delivering all season interest while responding to the site location and reducing the need for watering. The landscape design includes 138 trees of 17 species, including coniferous species of Spruce and Pine, and deciduous species of maple, alder, serviceberry, hornbeam, dogwood, ash, magnolia, cherry, stewartia and snowbell.
- An urban agriculture garden is provided on the roof of the affordable housing building for the exclusive use of the building residents. The gardening area is accessible by elevator and includes raised vegetable gardening planters, work table, lighting, hose bib and rainwater collection amenities.
- A lighting plan is included in the DP plans, which indicates lighting provided throughout the site that is directed downwards and into the site. Pedestrian pathways are lit with either bollard lights or wall lights. Wall lights are also proposed at ramps, stairs and loading bays.
- Onsite irrigation will be provided for all planted areas. A high efficiency, fully automated drip irrigation system with rain sensor will be provided to ensure healthy plant growth while keeping water use to a minimum.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,348,628.00 in association with the Development Permit.

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, pedestrian pathways and resident private/semi-private areas are designed to be well-defined by soft landscaping and hard fencing/gates to clearly delineate boundaries of uses.
- Entry lobbies are designed to be visually open from the sidewalk.
- The parkade entry (overhead gate) is designed with clear sight lines.
- Views from interior spaces provide passive surveillance opportunities to outdoor amenity areas and patios. Views from upper units and outdoor space on top of the parking podium provide passive surveillance opportunities of grade-level public pathway and City Park.

Sustainability and Renewable Energy

- The subject site is required to be connected to an onsite low-carbon energy system and the ownership of the system is required to be transferred to the City. Registration of legal agreements securing the provision of and connection to the district energy utility was secured through the associated rezoning application.
- The developer has committed to design the subject development to meet the City's Step Code requirements (e.g. Step 3), which is supported by preliminary energy modeling prepared for the subject development. Details on how all units are to be built and maintained to this commitment will be reviewed at Building Permit stage.
- At the February 22, 2023 Planning Committee meeting during the consideration of the Housing Agreement bylaws for the project, staff were asked to discuss whether the project would use natural gas appliances. The applicant has since indicated to staff that no natural gas appliances will be provided in the dwelling units subject to this application.

Transportation

- The parkade structure accommodates a total of 227 parking spaces, including 106 parking spaces for LEMR units, 72 parking spaces for market rental units and 49 visitor parking spaces, which includes two car share spaces. A total of six accessible parking stalls will be provided.
- The proposed number of parking spaces is consistent with the parking requirements under the site-specific ZMU47 zone subject to the provision of Transportation Demand Management measures (TDMs) to the satisfaction of the City, which were secured through the associated rezoning application. The TDMs include:
 - Provision of two Class 1 bicycle storage spaces per dwelling unit, 10 per cent of which as larger family sized (e.g. for bicycle trailers or multiple bicycles).
 - Provision of a bicycle maintenance and repair facility in the development.
 - Provision of one year of bicycle share service memberships for 100 per cent of units.
 - Provision of 120V electric plug-ins for 10 per cent of Class 1 bicycle storage spaces for electric bicycles.
 - Provision of two years of two-zone transit passes for 100 per cent of LEMR units and one year of two-zone monthly transit passes for 100 per cent of the market rental units.
 - Provision of two car share vehicles and dedicated parking spaces.
 - Provision of one year of car share service membership for 100 per cent of units.
 - Provision of level 2 EV charging infrastructure for 100 per cent of visitor parking spaces, including the car share parking spaces.
- There is a total of 552 Class 1 bicycle storage spaces provided in secure rooms throughout the parking structure. No more than 40 Class 1 bicycle spaces are provided in a single room, in compliance with provisions of Zoning Bylaw 8500.
- There is a total of 56 Class 2 bicycle storage spaces provided throughout the site.

Affordable Housing

- As secured through the associated rezoning application, the development proposal provides approximately 10,448.57 m² (112,898 ft²) of floor area in 156 LEMR units in a stand-alone six-storey affordable housing building. The proposed unit types are shown in the table below:

Unit Type	Number of Units	Minimum Unit Area	Proposed Unit Area	Maximum Rent*	Total Maximum Household Income*
Studio	18	37 m ² (400 ft ²)	41 m ² (441 ft ²)	\$811/per month	\$34,650 or less
1-Bedroom	60	50 m ² (535 ft ²)	51-72 m ² (549-775 ft ²)	\$975/per month	\$38,250 or less
2-Bedroom	45	69 m ² (741 ft ²)	70-72 m ² (753-775 ft ²)	\$1,218/per month	\$46,800 or less
3-Bedroom	33	91 m ² (980 ft ²)	93-94 m ² (1,001-1,012 ft ²)	\$1,480/per month	\$58,050 or less

*May be adjusted periodically as provided for under adopted City policy.

- These units are subject to rent and income restrictions in accordance with a housing agreement registered on Title through the associated rezoning application.
- The affordable housing unit locations are indicated on the development plans. The unit sizes and locations have been reviewed and accepted by the City's Affordable Housing staff.

Market Rental Housing

- As secured through the associated rezoning application, the development proposal provides approximately 8,742 m² (94,106 ft²) of floor area in a stand-alone six-storey market rental housing building containing 120 market rental units. The proposed unit types are shown in the table below:

Unit Type	Number of Units	Proposed Unit Area
Studio	6	40 m ² (431 ft ²)
1-Bedroom	46	51-54 m ² (549-581 ft ²)
2-Bedroom	68	70-84 m ² (753-904 ft ²)

- These units are restricted to rental tenure only in accordance with a market rental housing agreement registered on Title through the associated rezoning application.
- The market rental housing unit locations are indicated on the development plans.

Accessible Housing

- The proposed development includes 100 per cent basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and

- solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- The two building lobbies are accessed from the new road cul-de-sac sidewalk.
- Pedestrian walkways/ramps are provided from the outdoor amenity space to the new road cul-de-sac sidewalk and the neighbourhood City Park.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Sara Badyal
Planner 3
(604-276-4282)

SB:js

- Att. 1: Development Application Data Sheet
 2: Advisory Design Panel Meeting Minutes (Annotated Excerpt from May 17, 2023)
 3: Development Permit Considerations



DP 22-015851		Attachment 1	
Address	Portions of 8731, 8771, 8831/8851 Cambie Road and 8791 Cambie Road/ 3600 Sexsmith Road		
Applicant	Polygon Talisman Park Ltd.		
Owner	Polygon Talistar Homes Ltd. (Inc. No. BC1167752)		
Planning Area(s)	Capstan Village (City Centre)		
	Existing	Proposed	
Site Area	9,630.8 m²	No change	
Land Uses	Vacant	Multi-family residential	
OCP Designation	Mixed-Use	Complies	
CCAP Designation	General Urban T4 (25 m) and additional density Capstan Station Bonus (CSB) Richmond Arts District	Complies	
Zoning	Residential / Limited Commercial (ZMU47) – Capstan Village (City Centre)	Variance noted below	
Number of Units	Vacant	156 LEMR units 120 market rental units 276 rental apartments total	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 2.11 (20,320 m²)	2.11 (20,311 m²)	None permitted
Lot Coverage	Max. 60%	39.2%	None
Setbacks: Public Road Garden City Road City Park Interior Side Yard	Min. 3 m Min. 3 m Min. 3 m None	Min. 3 m Min. 5.2 m Min. 4.8 m Min. 9.9 m	None
Parkade Setbacks: Public Road Garden City Road City Park Interior Side Yard	Min. 1.55 m	Min. 6 m Min. 1.74 m Min. 1.68 m Min. 4.65 m	None
Building Height	Max. 25 m	Max. 27.6 m	Variance Requested
Lot Size	Min. 9,600 m²	9,630.8 m²	None

	Bylaw Requirement	Proposed	Variance
Parking Spaces	City Centre Zone 1/ZMU47 with TDMs 106 LEMR 72 Market Rental 49 Visitors, including 2 car-share 227 Total	With TDMs 106 LEMR 72 Market Rental 49 Visitor, including 2 Car-share 227 Total	None
Accessible Parking Spaces	Min. 2%	2%	None
Small Car Parking Spaces	Max. 50%	50%	None
Tandem Parking Spaces	Not permitted	None	None
Loading Spaces	2 medium	2 medium	None
Bicycle Spaces	552 Class 1 (TDM), including 19 family sized (TDM) 56 Class 2	552 Class 1 (TDM), including 56 family sized (TDM) 56 Class 2	None
EV (Energized) Car Charging	100% resident parking spaces 100% visitor parking spaces	100% resident parking spaces 100% visitor parking spaces	None
Amenity Space – Indoor	Min. 552 m ²	568 m ²	None
Amenity Space – Outdoor	Min. 1,656 m ²	1,793 m ²	None
Capstan Station Bonus Public Open Space	Min. 1,380 m ²	Provided in City Park via RZ, and 650.9 m ² onsite	None

Annotated Excerpt from the Minutes from The Advisory Design Panel Meeting

**Wednesday, February 8, 2023 – 4:00 p.m.
Remote (Webex) Meeting**

Panel Discussion

Comments from Panel members were as follows:

- consider installing base level functionality for the proposed indoor amenity spaces, e.g. installing audio-visual pre-wiring, water source, basic storage cabinet with a sink to enhance multi-purpose function and use – *Incorporated audio pre-wiring, kitchens, and washrooms within the amenity areas of Building 1 and Building 2 where appropriate for the programming;*
- appreciate the strategy to elegantly hide the parkade wall through installing slanted lower walled planting beds; in addition, consider planning and enhancing the landscaping so that it tiers up to effectively screen approximately 90 percent of the wall – *Considered. There is not sufficient width for an additional planter wall. Instead, the soil behind the lower retaining wall slope up at 3:1 to conceal more of the parkade wall. The landscape planting will further obscure the parkade wall as it matures;*
- the picket fence above the wall along the east side enhances the separation between the sidewalk and private and semi-private outdoor spaces for residents; however, consider introducing some art form, e.g. durable fiberglass panels, to introduce colour and design elements in order to enhance the pedestrian experience considering that the project is located in the Richmond Arts District; would also provide privacy to adjacent residents' outdoor spaces – *Incorporated a second metal guardrail pattern at the recesses in the parkade wall to further break up the visual length of the Garden City elevation. Once the landscape has matured much of this guardrail will be obscured. The grade difference between the Garden City sidewalk and the outdoor space of these homes is such that privacy is not an issue;*
- appreciate the plan to install public art in a more central location in the overall project; however, consider installing public art in the subject site (i.e., in phase one of four phases) in view of the number of future residents in the project; consider incorporating public art on the DEU building in the central courtyard as it is highly visible from the two six-storey residential buildings; appreciate the rock climbing wall on one side of the DEU building, however, investigate further opportunities to make the DEU building more attractive on the other three sides through redesign and change of materials, e.g. integrate timber elements on the entrances to the two buildings into the DEU building; also consider redesigning the roof of the DEU building to make it look more attractive from above – *Improved DEU building design with a timber colonnade matching the entry of the main buildings, the addition of colour, and a green roof. The developer is proposing Public Art as part of the overall development, which is being reviewed through the separate public art plan review process;*
- appreciate the large amount of bicycle storage in the project; however, look at the access to the bicycle storage area from different areas in the subject site from a safety perspective; consider separating the pedestrian/bicycle access from vehicular access at the parkade entrance to enhance the safety of pedestrians and cyclists – *Considered. Due to site*

constraints, no additional width can be given to the vehicle ramp, and the on-site elevators are large enough to accommodate bicycles to exit the parkade via this alternative route;

- consider installing a ramp in lieu of or in addition to the stairs at the south end of the central courtyard to provide accessible pedestrian connection to the new park for residents in wheelchairs or scooters and for families with strollers – ***Incorporated a ramp connection to the City Park instead of previously proposed stairs;***
- consider installing a gate at ground level controlled by residents to enhance the security of common and private spaces of residents in the proposed development – ***Considered. This is not a gated community; therefore, no gates will be added to prevent access by residents of the neighbouring community;***
- appreciate that all pieces of the project fit nicely together – ***Noted;***
- appreciate the corner elements with framing and use of coloured feature panels which effectively break up the massing of the building; review the shade of yellow – ***Considered;***
- the proposed landscaping creates a green and pleasant environment – ***Noted;***
- consider installing outward swinging doors in lieu of inward swinging doors to the elevator lobbies on the parkade level – ***Will be considered by code consultant at BP stage;***
- support the Panel comment regarding the installation of a ramp to provide an accessible connection to the new park from the courtyard for residents in wheelchairs and families with children – ***See previous response;***
- appreciate the design of the landscaped central courtyard; would provide a pleasant route for residents to the future park; consider securing public access – ***Considered. Public pathway to neighbourhood park is provided in Rights-of-Way along north and west property lines;***
- investigate opportunities to improve the pedestrian experience along the north-south public walkway on the west side of the development to access the future park; walls along the north-south public walkway do not provide an inviting route for the public – ***Considered. This area has been explored at length. The primary driver is the existing trees along the western property line whose roots must be retained. The current design respects the existing topography and proposes surface treatments that will ensure the roots of the existing trees have the best opportunity for success;***
- support the Panel comment to provide a ramp at the south end of the courtyard to provide an accessible pedestrian connection to the future park from the courtyard – ***See previous response;***
- support the Panel comment to further develop the DEU building on the courtyard; the design team could investigate opportunities to (i) incorporate elements into the building to educate the people about the energy function of the building; and (ii) redesign the roof to make it more visually appealing when viewed from above, e.g. installing a green roof – ***See previous response;***
- investigate opportunities to mitigate the heights of the retaining walls along Garden City road; ensure that the retaining wall lifts do not exceed approximately four feet in order to soften its relationship with the public realm – ***Considered. The retaining wall does not exceed 42” in height and steps down to 36” where it steps east toward Garden City. This vertical stepping reinforces the horizontal step in the parkade wall and the building above;***
- review the interface of the project with the park and investigate opportunities to improve grade relationship – ***Considered. The City Neighbourhood Park grades are largely driven by the desire to retain the existing trees. The Park is being designed through separate Park***

planning and Servicing Agreement processes. Onsite raised planter planting will help conceal the parkade of the development and a ramp will provide a connection;

- proposed landscaping for the project is thoughtful and makes the space livable; appreciate the human scale residential patios on the central courtyard – ***Noted;***
- appreciate the stepping of the walls along the north-south public walkway on the west side of the development while still providing adequate soil volume for trees; appreciate the soil depths of planting beds throughout the site which provide adequate soil volume and assist in stormwater management – ***Noted;***
- different landscape functions are successfully demarcated in the project resulting in several nodes created within the overall landscape design; appreciate the provision of structured and natural play elements in the children’s play area – ***Noted;***
- support the Panel comments regarding the provision of accessible connection to the park from the courtyard; however, installing a ramp with appropriate slope would take away a significant amount of the building – ***See previous response;***
- appreciate the design team’s approach to integrate the climbing wall on one of the sides of the DEU building on the courtyard – ***Noted;***
- investigate opportunities for installing green roofs on the two six-storey buildings to mitigate stormwater management; not a lot of soil is required to create habitat intensive green roofs – ***Considered, but not incorporated for maintenance purposes. Instead, the roofs will have high-albedo ballast installed;***
- support Panel comments regarding enhancing the visual permeability and accessibility of the proposed development to the future park – ***See previous response.***
- consider including a wayfinding system for the proposed development and for the public pathway system throughout the overall development – ***This will be incorporated at BP stage for the buildings, and as part of the separate Servicing Agreement process for the public paths;***
- appreciate the applicant’s presentation and the package provided to the Panel – ***Noted;***
- appreciate the amount of proposed planting and variety of plant species for landscaping – ***Noted;***
- consider installing shade structures and tree canopies in the south-facing children’s play area – ***Considered. A variety of children’s play areas are proposed with varying levels of access to direct sunshine and access to shade;***
- most of the seating elements are located in soft landscaped areas in the proposed development; consider introducing seating opportunities along the accessible pathways – ***Incorporated, some seating elements have been relocated adjacent to pathways;***
- consider introducing measures to mitigate conflict between pedestrians, vehicular traffic and loading areas at the cul-de-sac interface to the project – ***Incorporated varied surface treatments, geometry, and bollards to mitigate conflict potential;***

At this point, Panel member Sherri Han experienced technical issues in the remote meeting and in lieu of oral comments, she submitted the following written comments which were read into the record by the Chair:

- overall, the design of the project is great; the designer incorporated many design measures to create visual interest for a simple economical development; however, the proposed development feels a bit like a “walled” community with buildings of the same height – ***Considered. The courtyard opens toward the cul-de-sac entry and City Park;***

- concerned that the inner courtyard might be in the shadow most of the day; the concern could be addressed by reducing the height of the south sides of the two buildings; however, it may not be feasible at this stage of the project – ***Considered. The buildings have been oriented north-south which exposes the courtyard to the maximum amount of direct sunlight available;***
- consider further treatment to the lower parking level walls to make it more welcoming, e.g. through change of materials, use of art, etc. – ***Considered. A variety of materials are proposed with brick clad lower retaining wall with concrete cap; varying material treatment (brick or concrete) on parkade wall that changes with the horizontal steps in the wall which respond to the building steps above; a second guardrail design has been introduced at the podium where the parkade steps away from Garden City; and the plant species change when the retaining wall steps horizontally which reinforces the change;***

In addition to the above comments from the Panel, the following written comments were submitted by Panel member Pam Andrews and were read into the record by Viren Kallianpur:

- queried the provision of level access to outdoor areas and balconies from the suites on the ground and upper levels – ***Considered. All homes will be designed to meet the City's BUH requirements. To ensure the proper function of the building envelope and prevent water ingress there will be a sill at the door separating the interior from exterior of all amenity and balcony spaces;***
- there is a note in the staff comment pages as well as a brief standard note on each of pages 1.01 to 1.06 stating that all units abide by the City's Basic Universal Housing (BUH) standards, but there are no detailed drawings or specifications provided for the units themselves; even with a magnifying glass, it is extremely hard to determine if turning circles, doorway widths, etc. have been properly addressed; the applicant needs to provide enlarged detailed drawings of the various unit plans – ***Noted; and***
- consider using the design sometimes used in Richmond Parks for the picnic tables in the proposed development, i.e. with overhanging tops on one end that can accommodate wheelchair users, high chairs and other seating options – ***Considered.***

Panel Decision

It was moved and seconded

That DP 22-015851 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



**City of
Richmond**

Development Permit Considerations
Development Applications Department

Address: Portions of 8731, 8771, 8831/8851 Cambie Road and
8791 Cambie Road/3600 Sexsmith Road

File No.: DP 22-015851

Prior to Development Permit issuance, the developer is required to complete the following:

1. (Landscape Security) Receipt of a Letter-of-Credit for landscaping in the amount of \$1,348,628.00 and entering into a landscape security agreement.

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. (Legal Agreements) Satisfy the terms of legal agreements registered on title prior to final adoption of the rezoning bylaw (RZ 18-836123) with respect to the development's Building Permit.
2. (Rezoning and Development Permit Features) Incorporation of urban design, accessibility and sustainability measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. (Construction Parking and Traffic Management Plan) Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. (Latecomer Agreements) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
5. (Construction Hoarding) Obtain a Building Permit* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. *For additional information, contact the Building Approvals Department at 604-276-4285.*

NOTE:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground

densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on-site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



City of Richmond

Development Permit

No. DP 22-015851

To the Holder: Polygon Talisman Park Ltd. (Robin Glover)

Property Address: Portions of 8731, 8771, 8831/8851 Cambie Road and
8791 Cambie Road/3600 Sexsmith Road

Address: 1333 Broadway Street, Unit 900,
Vancouver, BC V6H 4C2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase maximum permitted building height for the affordable housing building located on the eastern portion of the site from 25.0 m to 27.6 m to accommodate elevator access to a rooftop garden.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #62 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,348,628.00. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 22-015851

To the Holder: Polygon Talisman Park Ltd. (Robin Glover)

Property Address: Portions of 8731, 8771, 8831/8851 Cambie Road and
8791 Cambie Road/3600 Sexsmith Road

Address: 1333 Broadway Street, Unit 900,
Vancouver, BC V6H 4C2

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

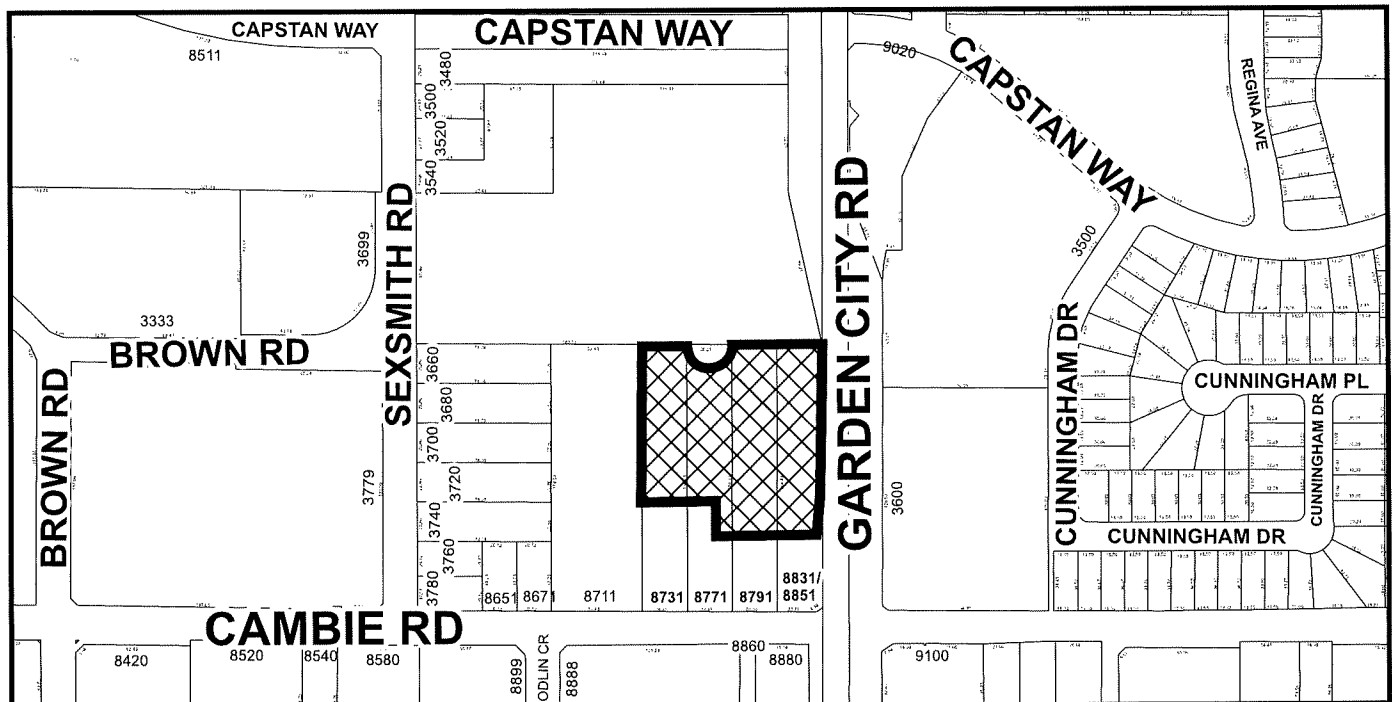
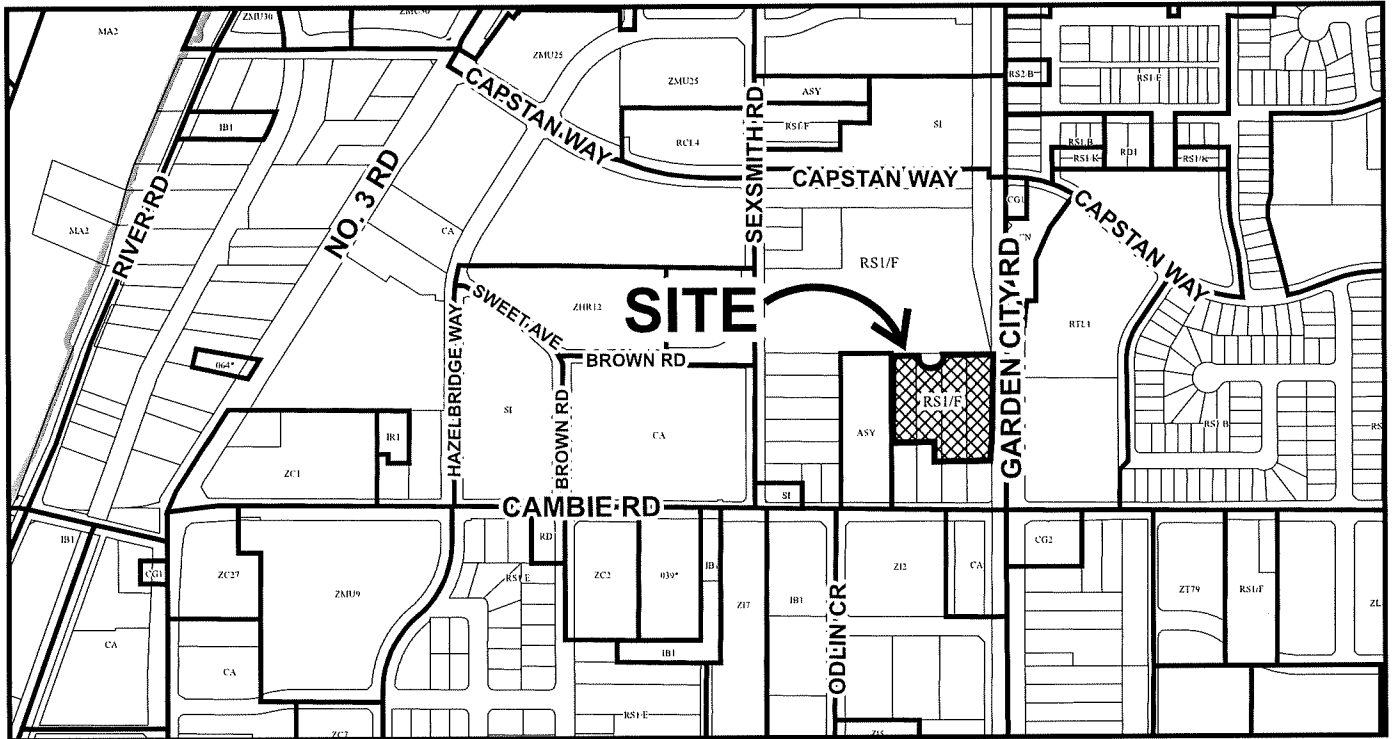
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

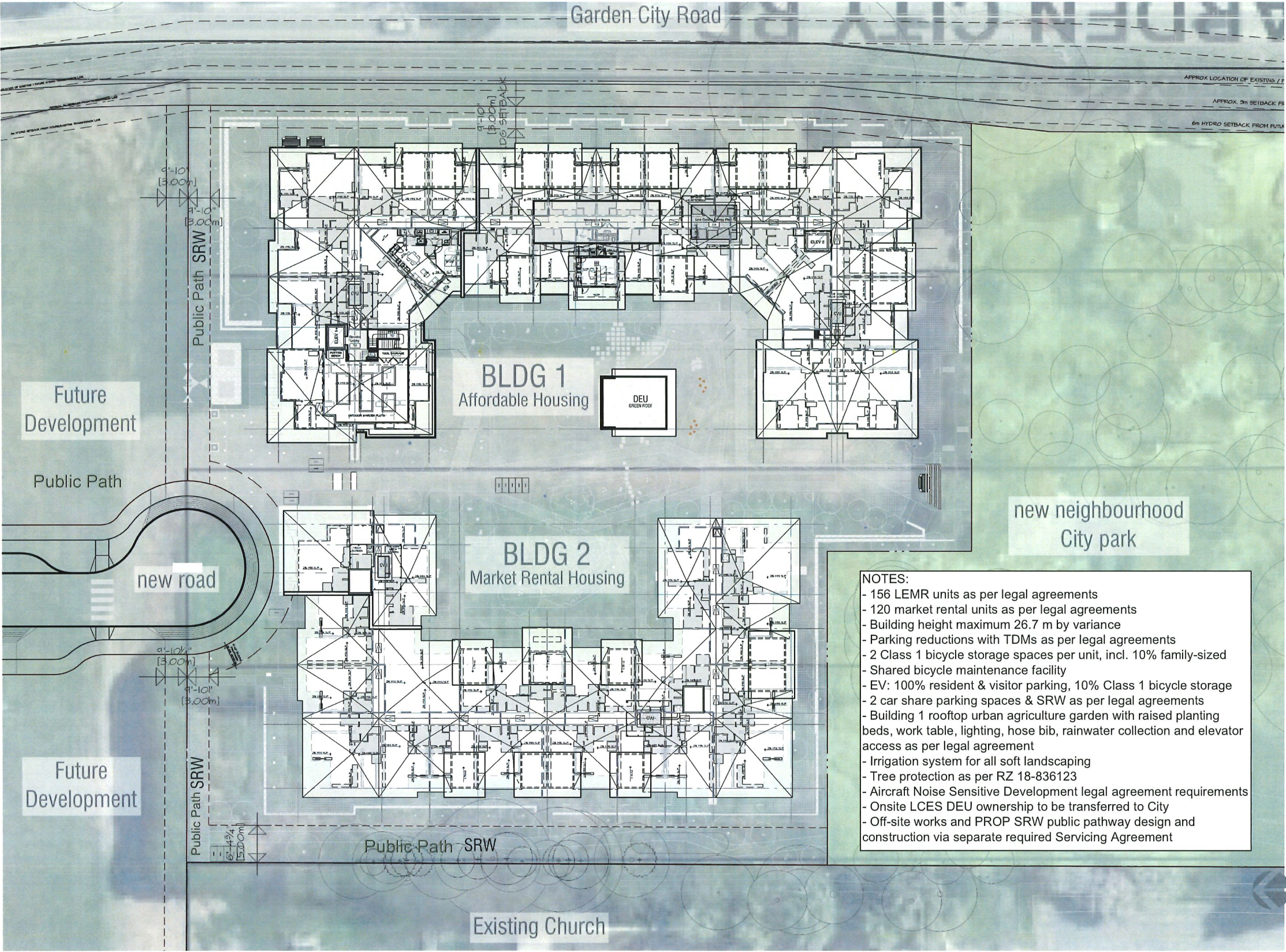


DP 22-015851
SCHEDULE "A"

Original Date: 08/10/22

Revision Date: 10/13/22

Note: Dimensions are in METRES



BLDG 1
Affordable Housing

BLDG 2
Market Rental Housing

DEU
GREEN POOL

- NOTES:
- 156 LEMR units as per legal agreements
 - 120 market rental units as per legal agreements
 - Building height maximum 26.7 m by variance
 - Parking reductions with TDMs as per legal agreements
 - 2 Class 1 bicycle storage spaces per unit, incl. 10% family-sized
 - Shared bicycle maintenance facility
 - EV: 100% resident & visitor parking, 10% Class 1 bicycle storage
 - 2 car share parking spaces & SRW as per legal agreements
 - Building 1 rooftop urban agriculture garden with raised planting beds, work table, lighting, hose bib, rainwater collection and elevator access as per legal agreement
 - Irrigation system for all soft landscaping
 - Tree protection as per RZ 18-836123
 - Aircraft Noise Sensitive Development legal agreement requirements
 - Onsite LCES DEU ownership to be transferred to City
 - Off-site works and PROP SRW public pathway design and construction via separate required Servicing Agreement



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- Revisions
- Dec 4, 2020
Issued for Rezoning
 - Dec 23, 2020
Update 2: Issued for Rezoning
 - June 17, 2022
Development Permit Submission
 - November 21, 2022
Resubmission for Development Permit
 - January 12, 2023
Resubmission #2 for Development Permit
 - March 8, 2023
Resubmission #3 for Development Permit
 - May 30, 2023
Response to comments from Resubmission #3 for Development Permit

DP Plan # 1
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Context Plan
& Aerial Overview

Scale: 1" = 40'-0"
May 30, 2023

A-0.12

Statistics: Summary

Overall & Parking

Talistar - Multi-family Residential Development - Project Summary

BUILDINGS: Bldg 1 Affordable Housing, Bldg 2 Market Rental

TOTALS, FAR SUMMARY & LOT INFORMATION

SITE AREA	Site Area: Original	n/a	Site Area (Subdivision Areas)	9,630 SQM	Site Area: Subdivision Areas	9,630 SQM (Used for FAR calc)
Bldg 1: Affordable Housing	156 Total Homes	2,120 BLDG Coverage SQM	12,517 SQM - GFA	11,538 SQM - FAR	10,513 SQM - Saleable	324 SQM - Indoor Amenity
Bldg 2: Market Rental	120 Total Homes	1,582 BLDG Coverage SQM	9,480 SQM - GFA	8,609 SQM - FAR	7,701 SQM - Saleable	273 SQM - Indoor Amenity
Common Service Buildings	n/a	61 BLDG Coverage SQM	61 SQM - GFA	- SQM - FAR	- SQM - Saleable	- SQM - Indoor Amenity
TOTAL PROJECT AREAS		Proposed	22,058 SQM - GFA	20,147 SQM - FAR (Net)	18,215 SQM - Saleable	597 SQM Total Indoor Amenity
FLOOR SPACE RATIOS		Proposed	2.29 GFA Ratio	2.09 FAR - Net Building Area		
INDOOR AMENITY	2 SQM per unit	Total Homes: 276 Homes		Total Area Required 552 SQM	Indoor Amenity Provided	597 SQM
OUTDOOR AMENITY AREA	6 SQM per unit	Total Homes: 276 Homes		Total Area Required 1,656 SQM	Outdoor Amenity Provided	1,793 SQM
CHILDRENS PLAY AREA	3 SQM per unit (max 600sqm)	Total Homes: 276 Homes		Total Area Required 600 SQM	Play Area Provided	600 SQM
CCAP AREA (10% of Net Site Area)				For calculation see landscape submission	CSB Area Provided	649.5 SQM
PARKADE AREA		7,510 SQM				78.0%
LOT COVERAGE / BLDG FOOTPRINTS		3,763 SQM				39.1% Max permitted: 60%
SETBACKS	Required: Front-yard:3m / Side-yard: 0m	Proposed: East PL at Garden City: 3m / North PL at East Road: 0m / South PL at Park: 0m / West PL at Neighbour: 0m				

PARKING REQUIRED

7.9.3 - Zone 1a Parking:			25% Reduction	Total Stalls	Small Max.	Acc. Stalls (2%)	
Bldg 1: Affordable Housing	156 units	Ratio:	0.68 stalls per unit	106	53	2.1	*Includes reduction
Bldg 2: Market Rental	120 units	Ratio:	0.60 stalls per unit	72	36	1.4	*Includes reduction
Joint Visitors Stalls	276 Units	Ratio:	0.18 stalls per unit	50	25	1.0	*Reduction per City of Richmond *Includes 2 car share spaces (TDM)
			Total Stalls Required	228		5	*100% of spaces to be EV (TDM)
LOADING STALLS:							
Required: 2 Medium Loading Stall per City of Richmond Request					Provided: 1 Medium Loading stall and 1 Garbage Loading area / Medium Loading stall		

PARKING PROPOSED

	Total Stalls	Regular	Small	Car Share	Accessible	
Parking P1 - Bldg 1 Affordable	106	50	53	50%	3	
Parking P1 - Bldg 2 Market Rental	72	35	35	49%	2	
Parking P1 - Visitors	49	21	25	51%	1	*Includes 2 car share spaces (TDM)
On-grade						
Total Stalls Provided	227	106	113	2	6	*100% of spaces req'd to be lvl 2 charging or higher (TDM)

BIKE PARKING REQUIRED

Apartment Housing - Class 1: 2.0spaces/unit - Class 2: 0.2 Spaces per unit	Class 1: Total	Family Lck*	Max Vert..	Class 2 - On-grade	
Bldg 1: Affordable Housing	312	32	103	31.2	*Family Lockers have two stalls in each
Bldg 2: Market Rental	240	24	80	24.0	*Family Lockers have two stalls in each
Total Class 1 Req'd:	552	*33% Max vertical stalls		Total Class 2 Req'd:	56

BIKE PARKING PROPOSED

	Class 1: Total	Family Lck.	Vert. Space	Dbl Locker	Horz. Space	Class 2 - On Grade
On-grade						56
Parking P1 - Bldg 1: Affordable	312	32	83	27%	165	
Parking P1 - Bldg 2: Market Rental	240	24	78	33%	114	
Total Class 1 Provided:	552					Total Class 2 Provided: 56

DP Plan # 2
May 30, 2023
DP 22-015851

updated May 30, 2023

Statistics: Building 1

Bldg 1: Affordable Rental Housing

DP Plan # 3
May 30, 2023
DP 22-015851

Talistar - Bldg 1: Affordable Rental
Multi-family Residential Development, City of Richmond, BC

Building 1: Affordable Housing

Home Type	Description	Targets	P1	1st Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	6th Floor	Total Homes	Home Areas	Total Area	Home Mix
A - BUH	1 Bed + 1 Bath	1 Bed+1 Bath: 49.7 sqm // 30% Mix	n/a	5	5	5	5	5	5	30	51 SQM	1,533 SQM	19.2%
A1 - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	54 SQM	272 SQM	3.2%
A2 - BUH	1 Bed + 1 Bath		n/a	1	0	0	0	0	0	1	60 SQM	60 SQM	0.6%
A alt - BUH	1 Bed + 1 Bath		n/a	1	0	0	0	0	0	1	51 SQM	51 SQM	0.6%
B - BUH	2 Bed + 1 Bath	2 Bed+1 Bath: 68.8 sqm // 30% Mix	n/a	2	4	4	4	4	4	22	70 SQM	1,545 SQM	14.1%
B alt - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	72 SQM	434 SQM	3.8%
B2 - BUH	2 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	71 SQM	356 SQM	3.2%
B1 - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	71 SQM	424 SQM	3.8%
B1 alt - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	73 SQM	440 SQM	3.8%
C - BUH	1 Bed + 1 Bath + Den	1 Bed+1 Bath+Den: No target	n/a	1	0	0	0	0	0	1	72 SQM	72 SQM	0.6%
C alt 1 - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	71 SQM	355 SQM	3.2%
C alt 2 - BUH	1 Bed + 1 Bath + Den		n/a	0	1	1	1	1	1	5	70 SQM	350 SQM	3.2%
C1 - BUH	1 Bed + 1 Bath + Den		n/a	1	1	1	1	1	1	6	65 SQM	392 SQM	3.8%
C1 alt 1 - BUH	1 Bed + 1 Bath + Den		n/a	1	1	1	1	1	1	6	67 SQM	400 SQM	3.8%
D - BUH	3 Bed + 2 Bath - Corner	3 Bed+ 2 Bath min.: 91.0 sqm // 30% Mix	n/a	1	2	2	2	2	2	11	94 SQM	1,030 SQM	7.1%
D1 - BUH	3 Bed + 2 Bath - Corner		n/a	2	4	4	4	4	4	22	93 SQM	2,056 SQM	14.1%
F - BUH	Studio	Studio+1 Bath: 37.2 sqm // 10% Mix	n/a	2	2	2	2	2	2	12	41 SQM	486 SQM	7.7%
F1 - BUH	Studio		n/a	1	1	1	1	1	1	6	43 SQM	256 SQM	3.8%
Homes / Floor				21	27	27	27	27	27	156 Hms			
Home Area / Floor				1,331 SQM	1,836 SQM	1,836 SQM	1,836 SQM	1,836 SQM	1,836 SQM			10,513 SQM	Home Area
Common Space				215 SQM	189 SQM	189 SQM	189 SQM	189 SQM	189 SQM			1,158 SQM	
Entry, Vestibule, Elev. Lobby, Lounge				97 SQM								97 SQM	
Amenity Space 1, 2 & 3				260 SQM								260 SQM	
Amenity Washrooms				17 SQM								17 SQM	
Amenity Storage				13 SQM								13 SQM	
Amenity Kitchen				13 SQM								13 SQM	
Rental Office				22 SQM								22 SQM	
Common Stairways				45 SQM	30 SQM	30 SQM	30 SQM	30 SQM	30 SQM			195 SQM	
Common Elevator Shafts				15 SQM	15 SQM	15 SQM	15 SQM	15 SQM	15 SQM			89 SQM	
Common Service Rooms				93 SQM	9 SQM	9 SQM	9 SQM	9 SQM	9 SQM			140 SQM	
Excludable Area (4.6.2) = 1.86m2 per BUH Home				39 SQM	50 SQM	50 SQM	50 SQM	50 SQM	50 SQM			n/a	
*Not Included in Gross Floor Area													
GROSS FLOOR AREA				2,120 SQM	2,079 SQM	2,079 SQM	2,079 SQM	2,079 SQM	2,079 SQM			12,517 SQM	
RESIDENTIAL NET EFFICIENCY				63%	88%	88%	88%	88%	88%			84.0%	
Total Gross Building Area												12,517 SQM	Gross Area
FAR & Amenity Calculation			FSR & AREA - PROPOSED EXCLUSIONS									979 SQM	Total Excl.
			Amenity Space 1, 2 & 3										
			260 SQM										
			Amenity Washrooms										
			17 SQM										
			Amenity Storage										
			13 SQM										
			Amenity Kitchen										
			13 SQM										
			Rental Office										
			22 SQM										
			Common Stairways (excluding ground floor)										
			151 SQM										
			Common Elevator Shafts (excluding ground floor)										
			74 SQM										
			Common Service Rooms										
			140 SQM										
			Excludable Area (4.6.2) = 1.86m2 per BUH Home										
			290 SQM										
			979 SQM Total Excluded										
			AMENITY REQUIREMENTS										
			Indoor Amenity Required (2sqm/Home)										
			312 SQM										
			Outdoor Amenity Required (6sqm/Home)										
			936 SQM										
			Provided: 324 SQM Total Indoor Amenity										
			12 SQM over/(under)										
			See project stats for outdoor amenity										
FAR - Net Building Area												11,538 SQM	FAR Area

BUH Home Number	156 Hms	156 Hms	-	Homes
Saleable - Home Area - Req'd	10,488 SQM Req'd	10,513 SQM	25	SQM
City of Richmond - Affordable Housing Requirements				
Unit Areas Minimums		Unit Mix Requirements		
Type	Area	Type	Required	Target
Studio	400 SF [37sm]	Studio	80%	10%
1 Bed	535 SF [50sm]	1 Bed		30%
2 Bed	741 SF [69sm]	2 Bed	15%	30%
3 Bed	980 SF [91sm]	3 Bed	5%	30%
*CDR - Rezoning Application Response: July 7, 2019				
Target		Actual		Over / (under)
Gross Floor Area	12,476 SQM	12,517 SQM	41	SQM
Amenity Area				
GFA exic Amenity	312 SQM	324 SQM		
	12,123 SQM	12,193 SQM		
Target		Actual		Over / (under)
FAR - Net Area	12,123 SQM	11,538 SQM	(585)	SQM

Statistics: Building 2

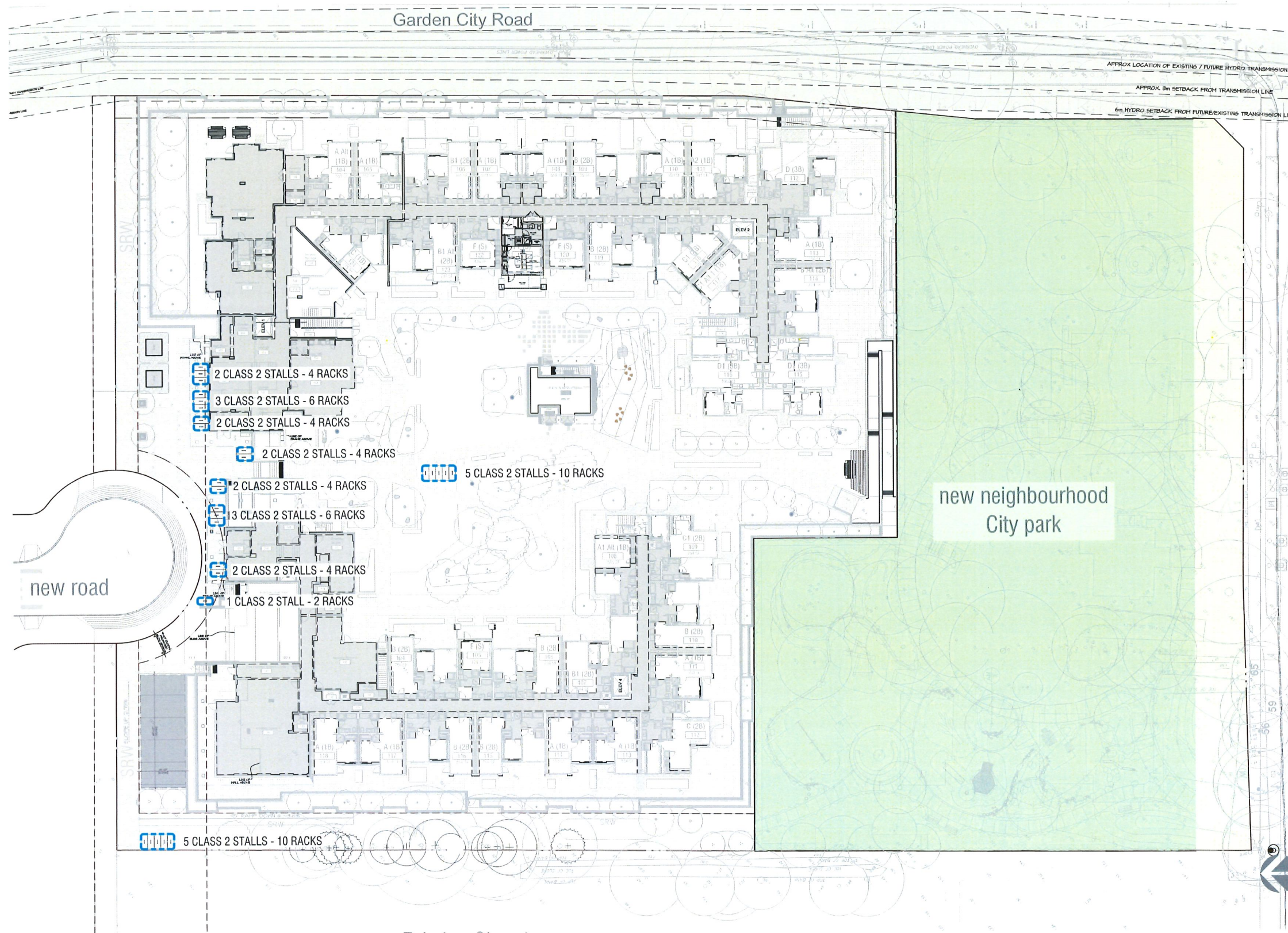
Bldg 2: Market Rental Housing

DP Plan # 4
May 30, 2023
DP 22-015851

Talistar - Bldg 2: Market Rental Housing
Multi-family Residential Development - City of Richmond, BC

Building 2: Market Rental Housing

Home Type	Description	Targets	P1	1st Floor	2nd Floor	3rd Floor	4th Floor	5th Floor	6th Floor	Total Homes	Home Areas	Total Area	Home Mix	
A - BUH	1 Bed + 1 Bath	1 Bed+1 Bath: 55.7 sqm // 10% Mix	n/a	5	5	5	5	5	5	30	51 SQM	1,533 SQM	25.0%	
A alt - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	52 SQM	262 SQM	4.2%	
A1 - BUH	1 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	57 SQM	284 SQM	4.2%	
A1 alt - BUH	1 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	54 SQM	326 SQM	5.0%	
B - BUH	2 Bed + 1 Bath	2 Bed+1 Bath: 69.7 sqm // 35% Mix	n/a	5	5	5	5	5	5	30	70 SQM	2,107 SQM	25.0%	
B alt - BUH	2 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	72 SQM	360 SQM	4.2%	
B1 alt - BUH	2 Bed + 1 Bath		n/a	0	1	1	1	1	1	5	76 SQM	382 SQM	4.2%	
B1 - BUH	2 Bed + 1 Bath		n/a	1	1	1	1	1	1	6	78 SQM	470 SQM	5.0%	
B2 - BUH	2 Bed + 1 Bath	2 Bed+2 Bath: 76.2 sqm // 35% Mix	n/a	0	1	1	1	1	1	5	75 SQM	375 SQM	4.2%	
C - BUH	2 Bed + 2 Bath - Corner		n/a	1	2	2	2	2	2	11	84 SQM	919 SQM	9.2%	
C1 - BUH	2 Bed + 2 Bath - Corner		n/a	1	1	1	1	1	1	6	74 SQM	445 SQM	5.0%	
F - BUH	Studio		n/a	1	1	1	1	1	1	6	40 SQM	237 SQM	5.0%	
Homes / Floor				15	21	21	21	21	21	120 Hms				
Home Area / Floor				937 SQM	1,353 SQM	1,353 SQM	1,353 SQM	1,353 SQM	1,353 SQM			7,701 SQM	Home Area	
Common Space				181 SQM	166 SQM	166 SQM	166 SQM	166 SQM	166 SQM			1,012 SQM		
Entry Vestibule, Lobby & Lounge				64 SQM								64 SQM		
Amenity Space 1, 2 & 3				245 SQM								245 SQM		
Amenity Storage				9 SQM								9 SQM		
Amenity Washrooms				6 SQM								6 SQM		
Rental Office				13 SQM								13 SQM		
Common Stairways				41 SQM	32 SQM	32 SQM	32 SQM	32 SQM	32 SQM			199 SQM		
Common Elevator Shafts				15 SQM	15 SQM	15 SQM	15 SQM	15 SQM	15 SQM			88 SQM		
Common Service Rooms				61 SQM	16 SQM	16 SQM	16 SQM	16 SQM	16 SQM			143 SQM		
Excludable Area (4.6.2) = 1.86m2 per BUH Home				28 SQM	39 SQM	39 SQM	39 SQM	39 SQM	39 SQM			n/a		
*Not Included in Gross Floor Area														
GROSS FLOOR AREA				1571 SQM	1582 SQM	1582 SQM	1582 SQM	1582 SQM	1582 SQM			9,480 SQM		
RESIDENTIAL NET EFFICIENCY				60%	86%	86%	86%	86%	86%			81.2%		
Total Gross Building Area												9,480 SQM	Gross Area	
FAR & Amenity Calculation			FSR & AREA - PROPOSED EXCLUSIONS											
			Amenity Space 1, 2 & 3						245 SQM					
			Amenity Storage						9 SQM					
			Amenity Washrooms						6 SQM					
			Rental Office						13 SQM					
			Common Stairways (excluding ground floor)						158 SQM					
			Common Elevator Shafts (excluding ground floor)						73 SQM					
			Common Service Rooms						143 SQM					
			Excludable Area (4.6.2) = 1.86m2 per BUH Home						223 SQM					
									870 SQM Total Excluded					
			AMENITY REQUIREMENTS											
			Indoor Amenity Required (2sqm/Home)				240 SQM	Provided:	273 SQM Total Indoor Amenity		33 SQM over/(under)			
			Outdoor Amenity Required (6sqm/Home)				720 SQM	See project stats for outdoor amenity						
FAR - Net Building Area												8,609 SQM	FAR Area	



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1450 - West Hill Avenue, Vancouver, BC V6L 1A4

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Dec 4, 2020
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Dec 23, 2020
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June 17, 2022
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Resubmission #2 for
Development Permit
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Resubmission #3 for
Development Permit
May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

DP Plan # 5
May 30, 2023
DP 22-015851

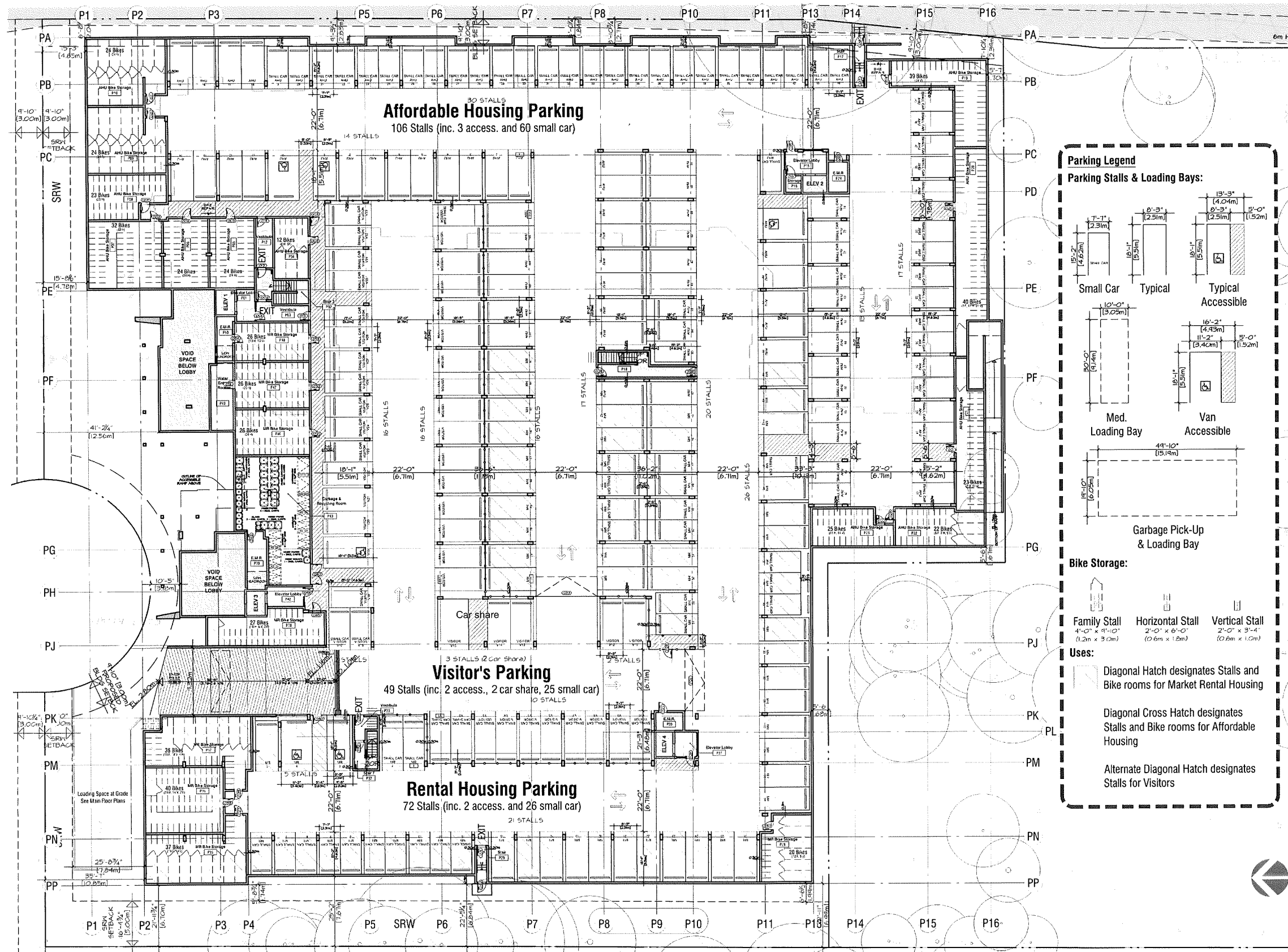


TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Bike Storage Plan

Scale: 1" = 40'-0"
May 30, 2023

A-0.16



Parking Legend

Parking Stalls & Loading Bays:

Small Car	Typical	Typical Accessible
10'-0" (3.05m)	8'-3" (2.51m)	13'-3" (4.04m)
5'-0" (1.52m)	5'-0" (1.52m)	5'-0" (1.52m)

Med. Loading Bay: 30'-0" (9.14m) x 10'-0" (3.05m)

Van Accessible: 16'-2" (4.93m) x 11'-2" (3.40m)

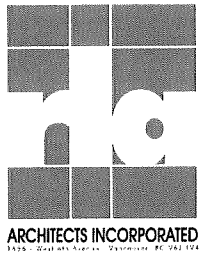
Garbage Pick-Up & Loading Bay: 44'-10" (13.67m) x 14'-0" (4.27m)

Bike Storage:

Family Stall	Horizontal Stall	Vertical Stall
4'-0" x 9'-0" (1.2m x 2.7m)	2'-0" x 6'-0" (0.6m x 1.8m)	2'-0" x 3'-4" (0.6m x 1.2m)

Uses:

- Diagonal Hatch designates Stalls and Bike rooms for Market Rental Housing
- Diagonal Cross Hatch designates Stalls and Bike rooms for Affordable Housing
- Alternate Diagonal Hatch designates Stalls for Visitors



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Dec 4, 2020
Issued for Reasoning

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Update 2: Issued for Reasoning

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March 8, 2023
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May 30, 2023
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DP Plan # 6
May 30, 2023
DP 22-015851

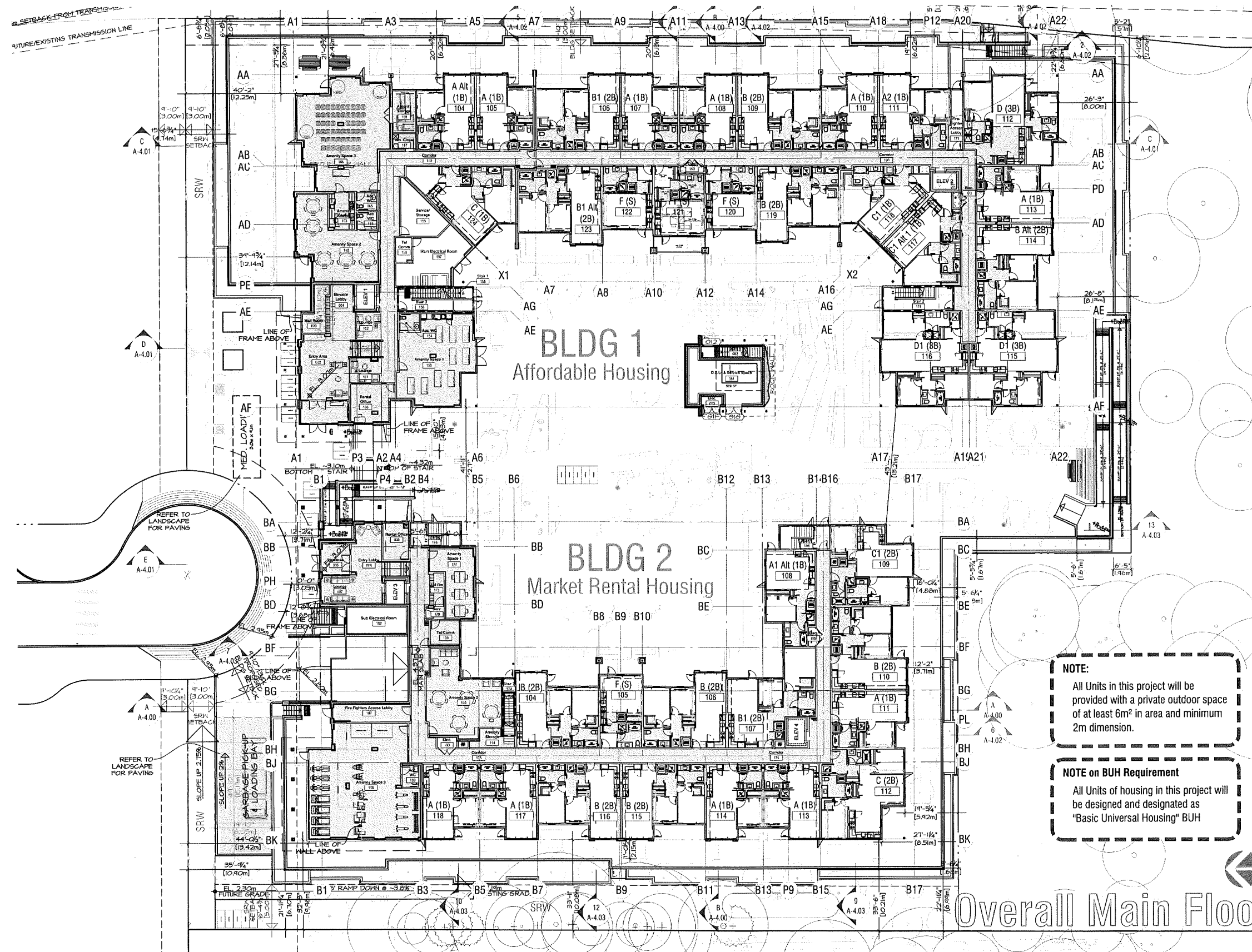


TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Parking Overall Plan

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.00



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Development Permit
March 8, 2023
Resubmission #3 for
Development Permit
May 30, 2023
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Resubmission #3 for
Development Permit

DP Plan # 7
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

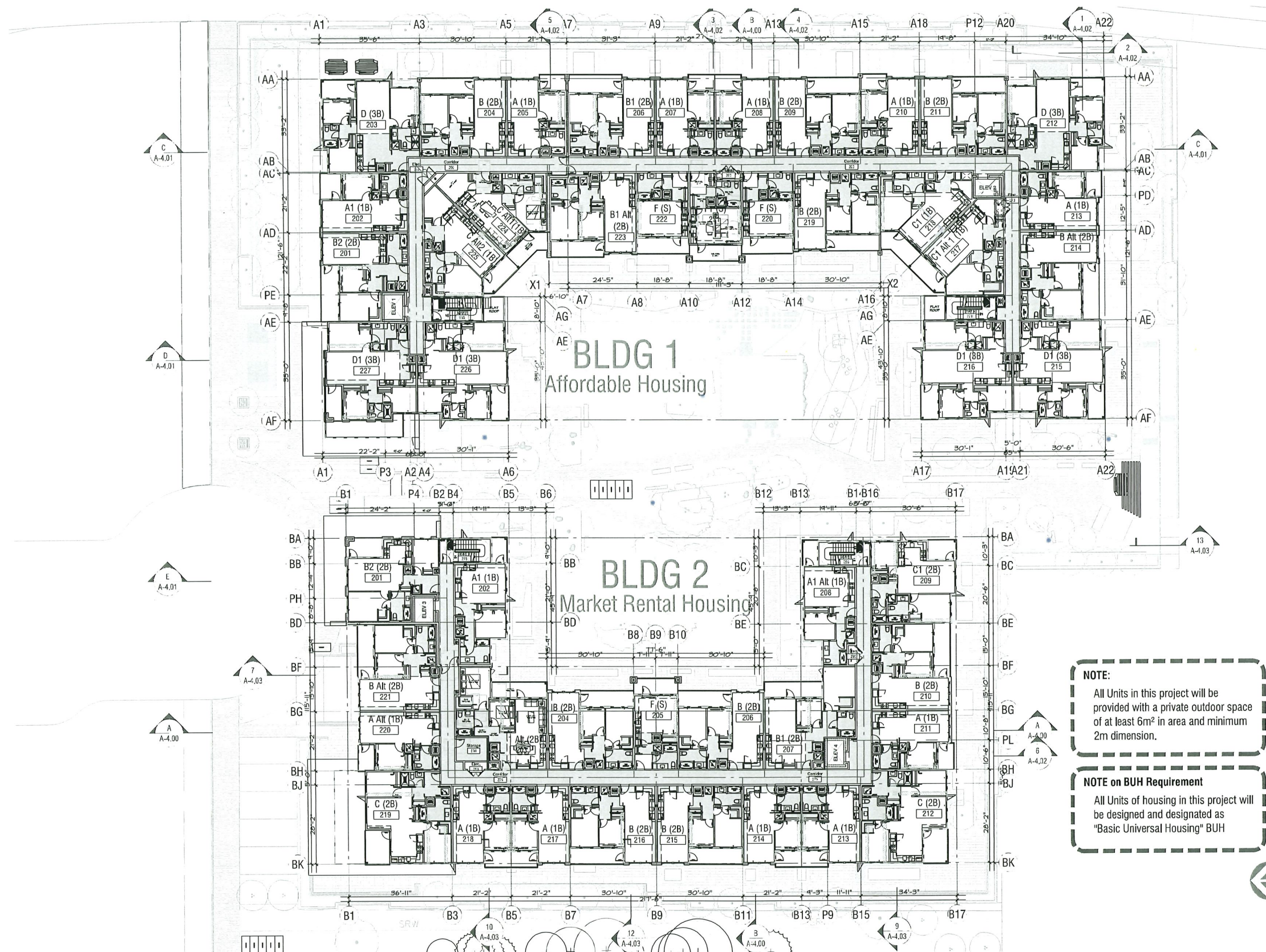
Level 1 - Main Floor
Overall Plan

Scale: 1/32" = 1'-0"
May 30, 2023

NOTE:
All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE on BUH Requirement
All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

Overall Main Floor **A-1.01**



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Dec 4, 2020
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Development Permit
May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

DP Plan # 8
May 30, 2023
DP 22-015851

NOTE:
All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE on BUH Requirement
All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

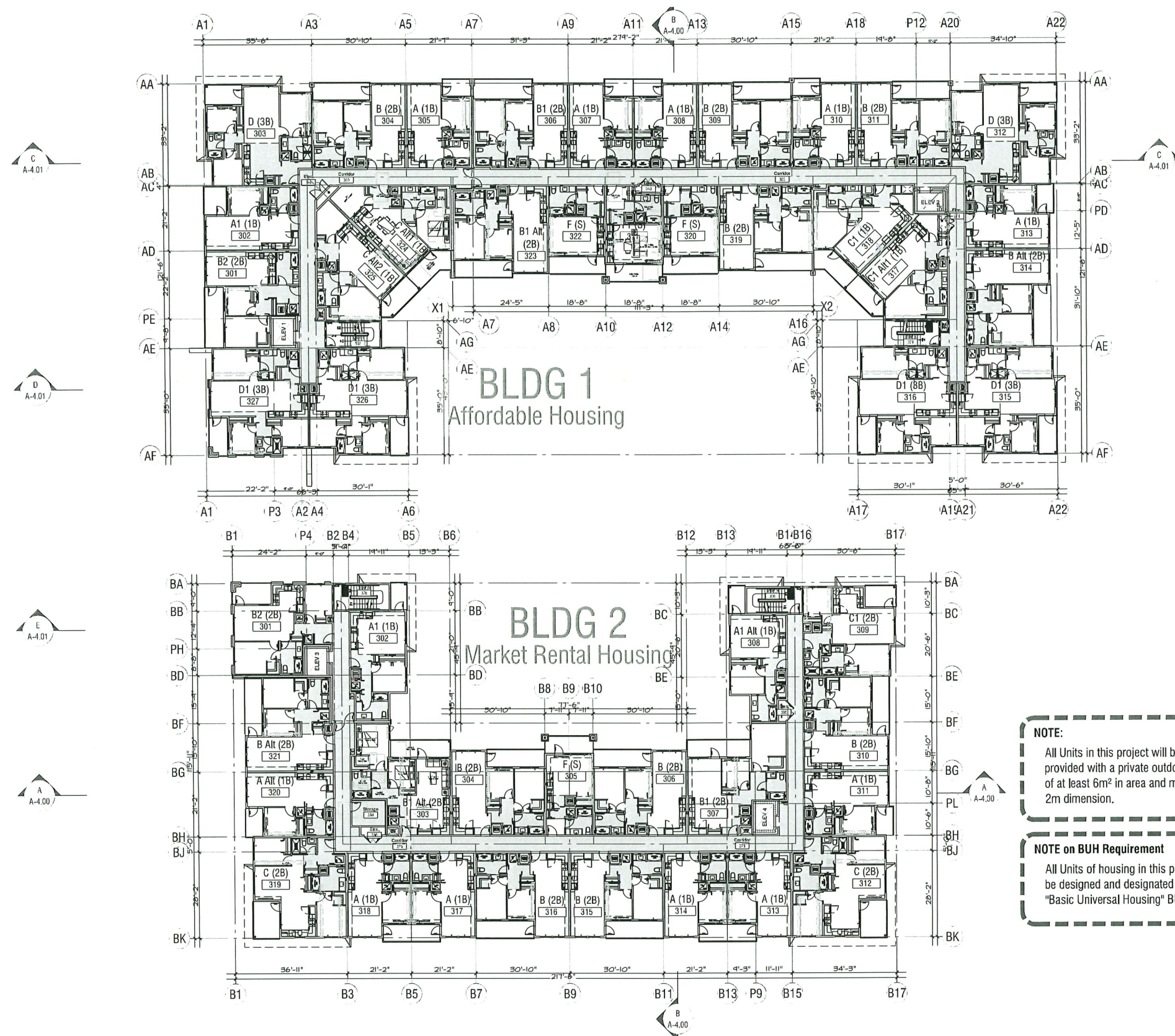


TALISMAN
A 103-1401 & 103-1402 BUILDING
Cambie & Garden City Rd.
Richmond, B.C.

Level 2
Overall Plan

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.02



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Revisions:
 Dec 4, 2020
 Issued for Rezoning
 Dec 23, 2020
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 June 17, 2022
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DP Plan # 9
 May 30, 2023
 DP 22-015851



TALISMAN
 AFFORDABLE HOUSING
 Cambie & Garden City Rd.
 Richmond, B.C.

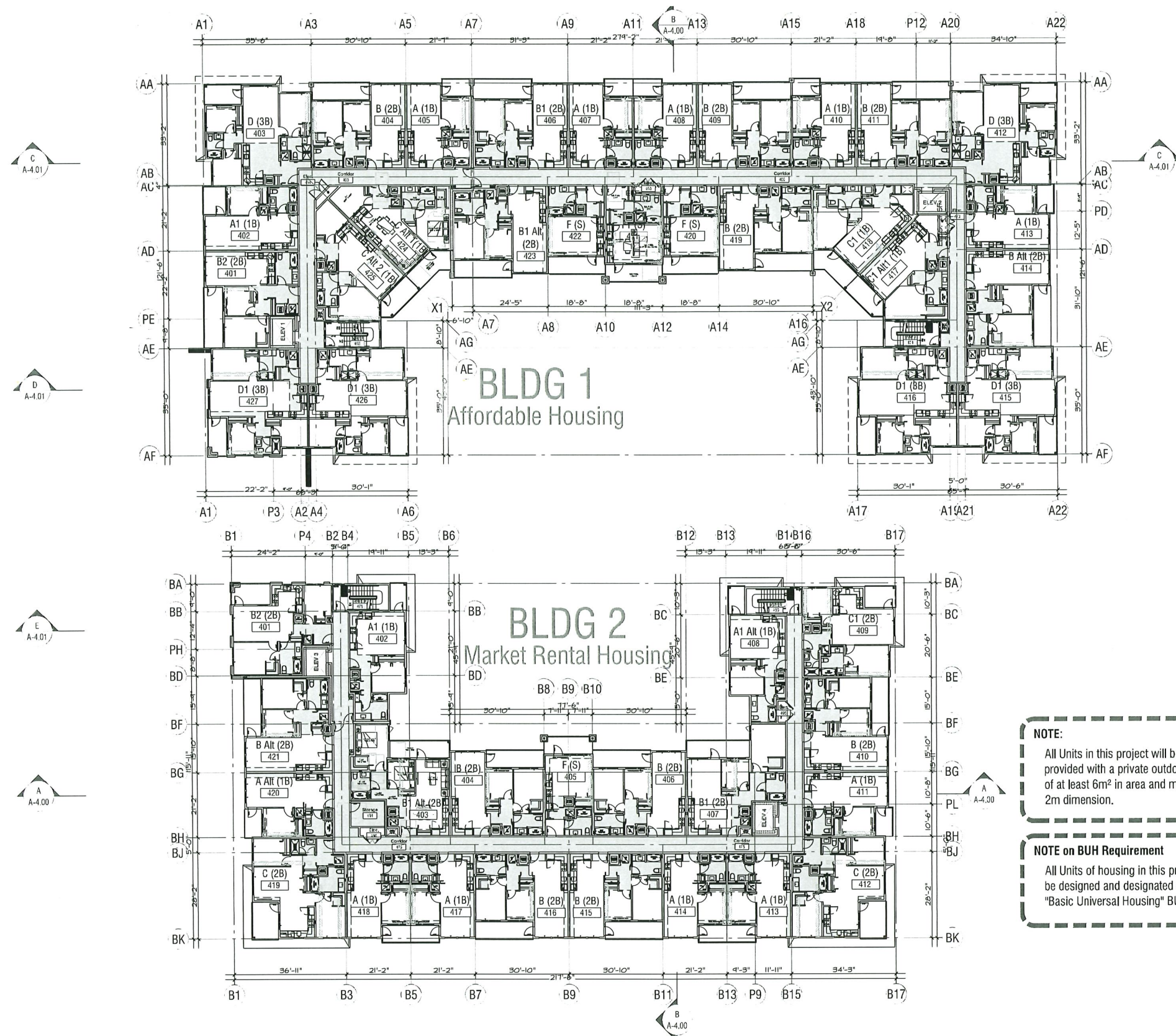
Level 3
 Overall Plan

Scale: 1/32" = 1'-0"
 May 30, 2023

NOTE:
 All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE on BUH Requirement
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

A-1.03



NOTE:
All Units in this project will be provided with a private outdoor space of at least 6m² in area and minimum 2m dimension.

NOTE on BUH Requirement
All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH



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Revisions:
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DP Plan # 10
May 30, 2023
DP 22-015851

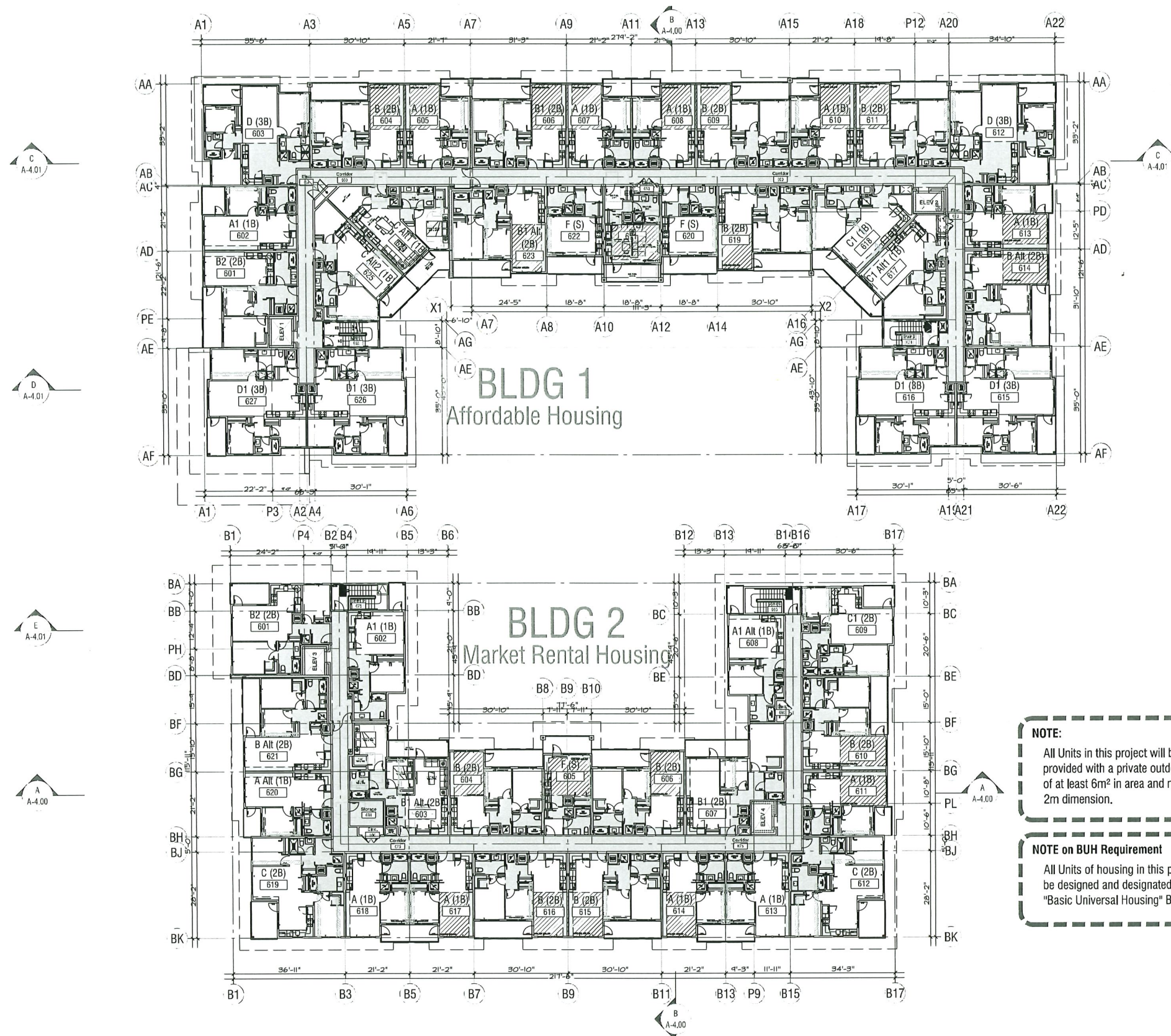


TALISMAN
A L O - D A I L Y & N I A B U I L D I N G
Cambie & Garden City Rd.
Richmond, B.C.

Level 4
Overall Plan

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.04



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Revisions:
Dec 4, 2020
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DP Plan # 12
May 30, 2023
DP 22-015851



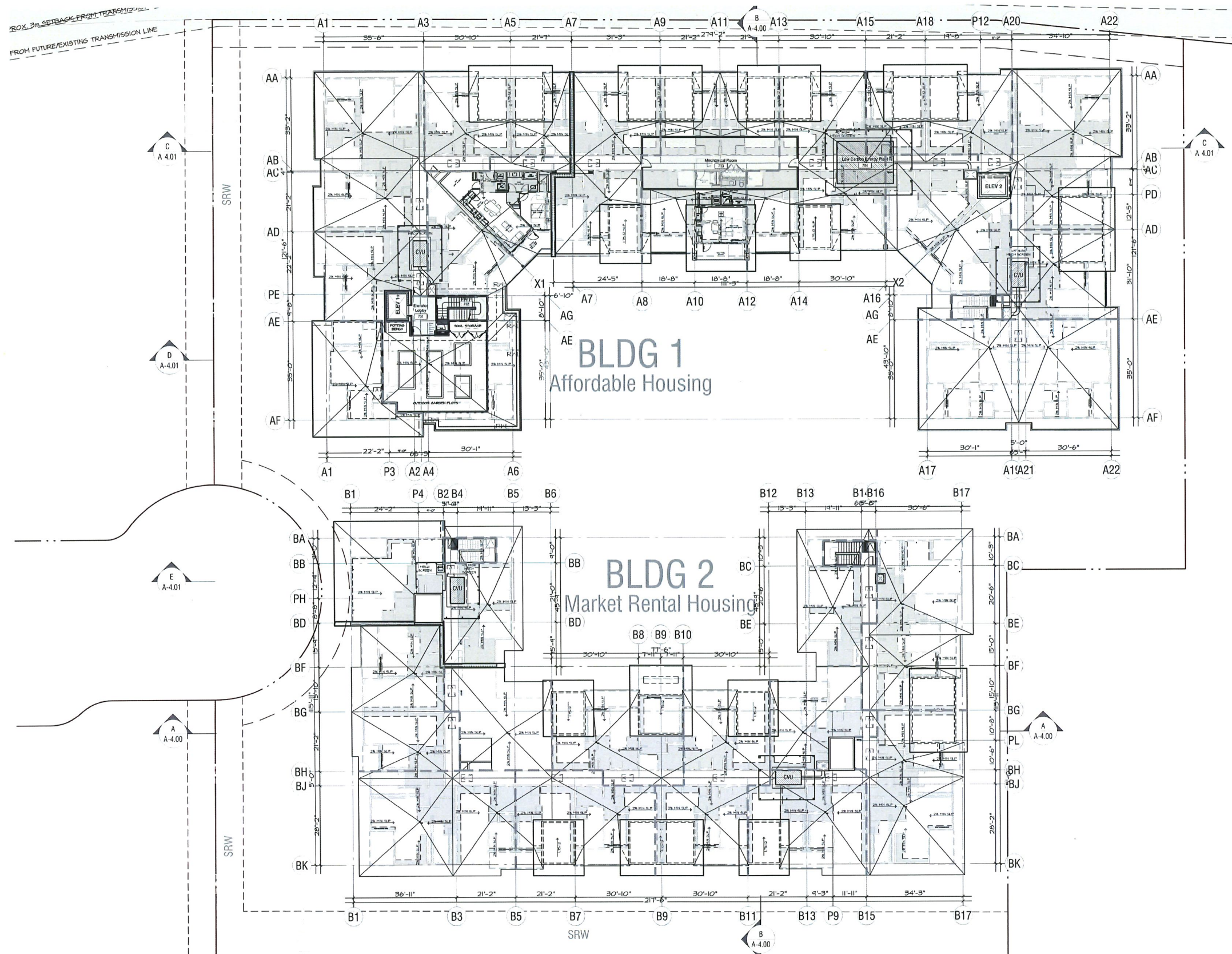
TALISMAN
A 1053400 & 3100A HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Level 6
Overall Plan

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.06

20' 3" SETBACK FROM TRANSMISSION
FROM FUTURE/EXISTING TRANSMISSION LINE



ARCHITECTS INCORPORATED
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Revisions
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Development Permit
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Resubmission #3 for
Development Permit

DP Plan # 13
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Roof & Access
Overall Plan

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.07

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

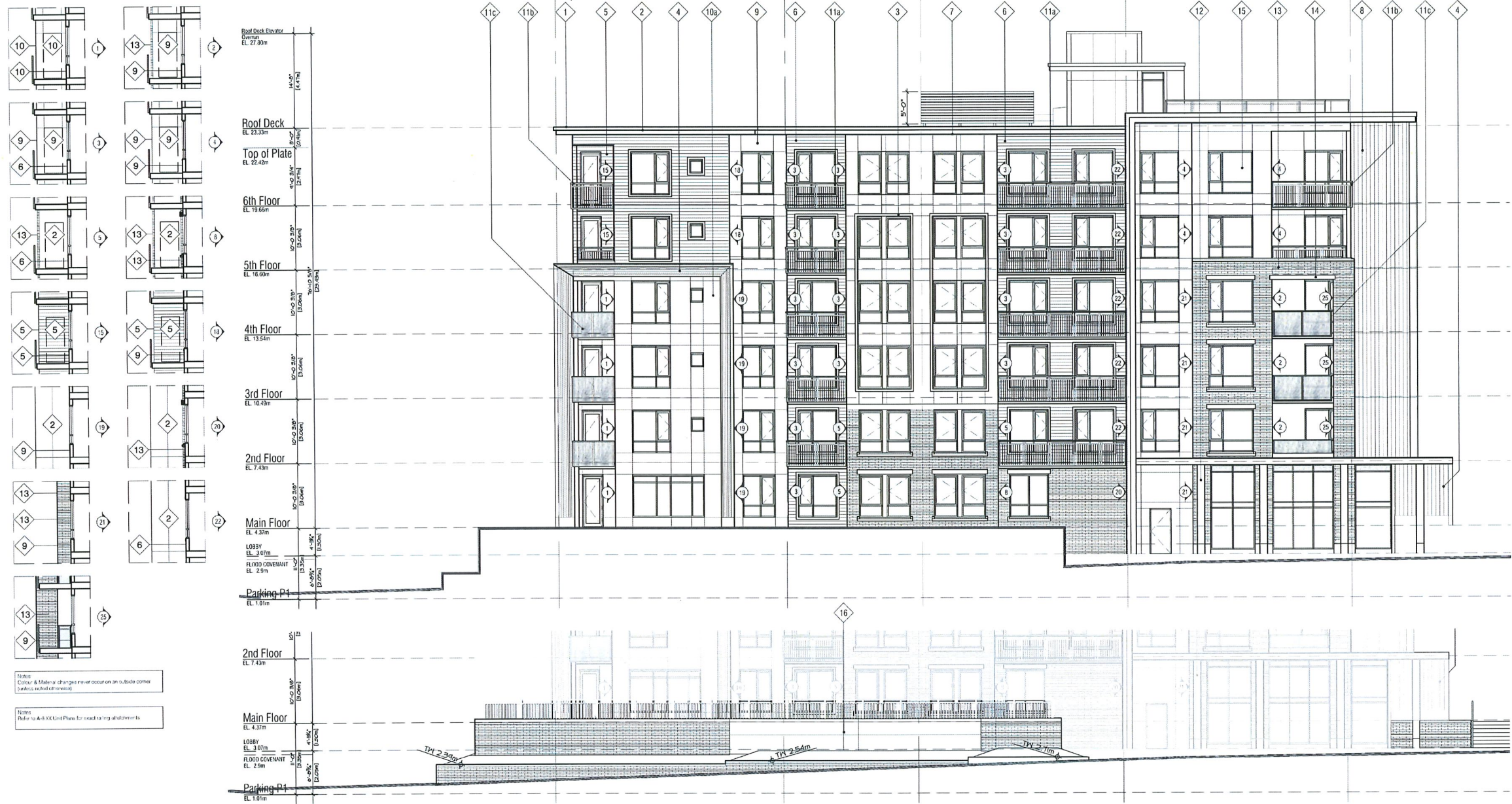
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

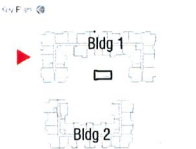
Exterior Finish Return Details



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Resubmission #3 for
Development Permit

DP Plan # 14
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 North
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.10

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Alhabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



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- Revisions
- Dec 4, 2020

Issued for Rezoning
- Dec 23, 2020

Update 2: Issued for Rezoning
- June 17, 2022

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- May 30, 2023

Response to comments from Resubmission #3 for Development Permit

DP Plan # 15
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 East (1/2)
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.11

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel
w/ colour matching metal reveal system & colour
matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

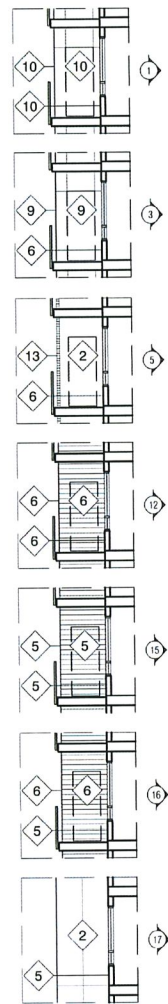
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

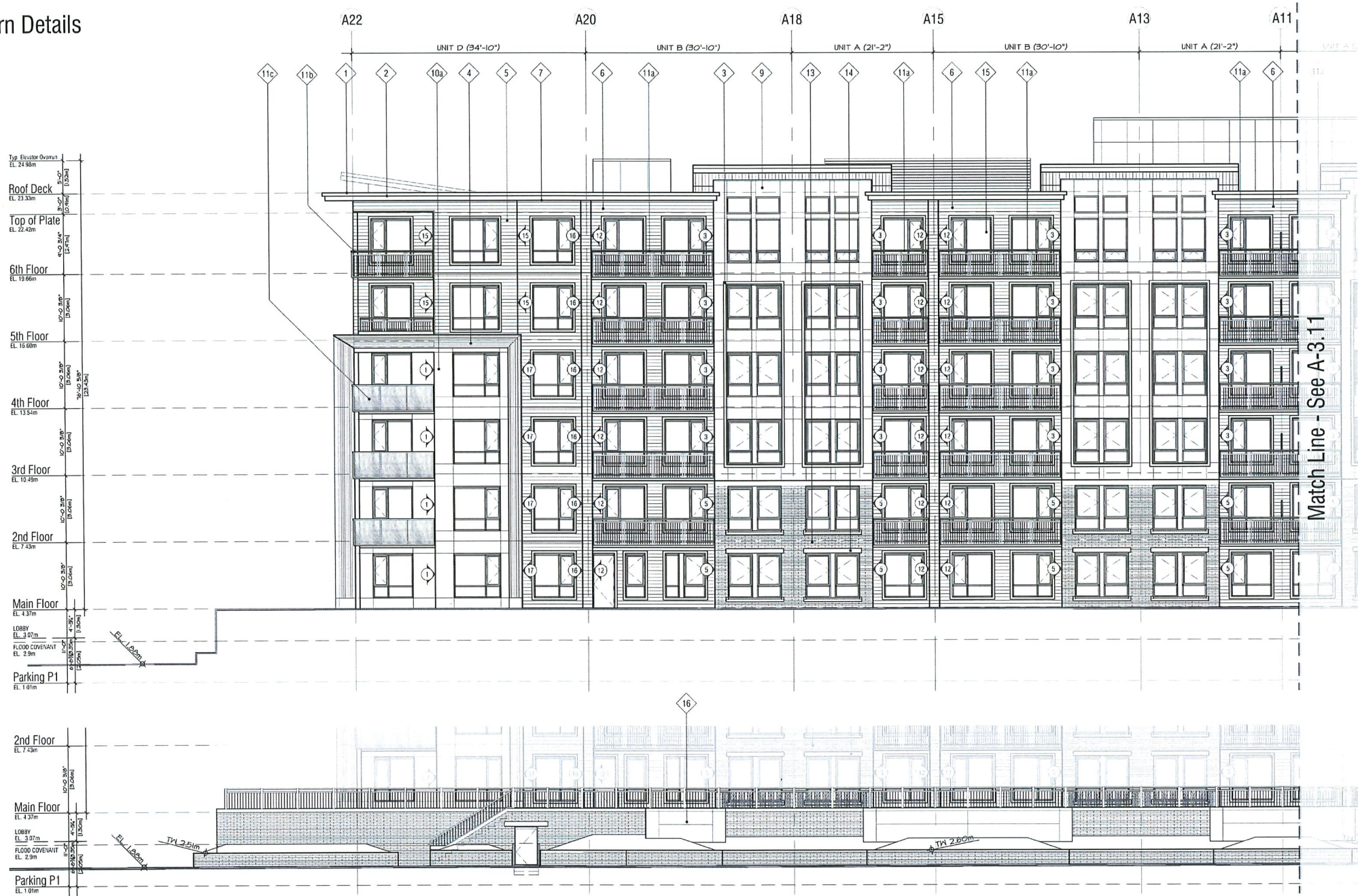
Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



Notes:
Colors & Materials shown are approximate and subject to change without notice.
Refer to A-3.11 Unit Plans for exact material specifications.



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Resubmission #3 for
Development Permit

DP Plan # 16
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 East (2/2)

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.12

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

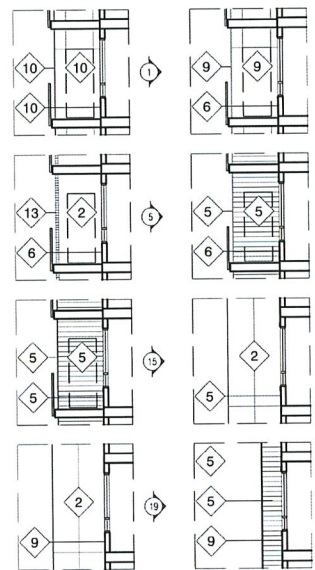
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white

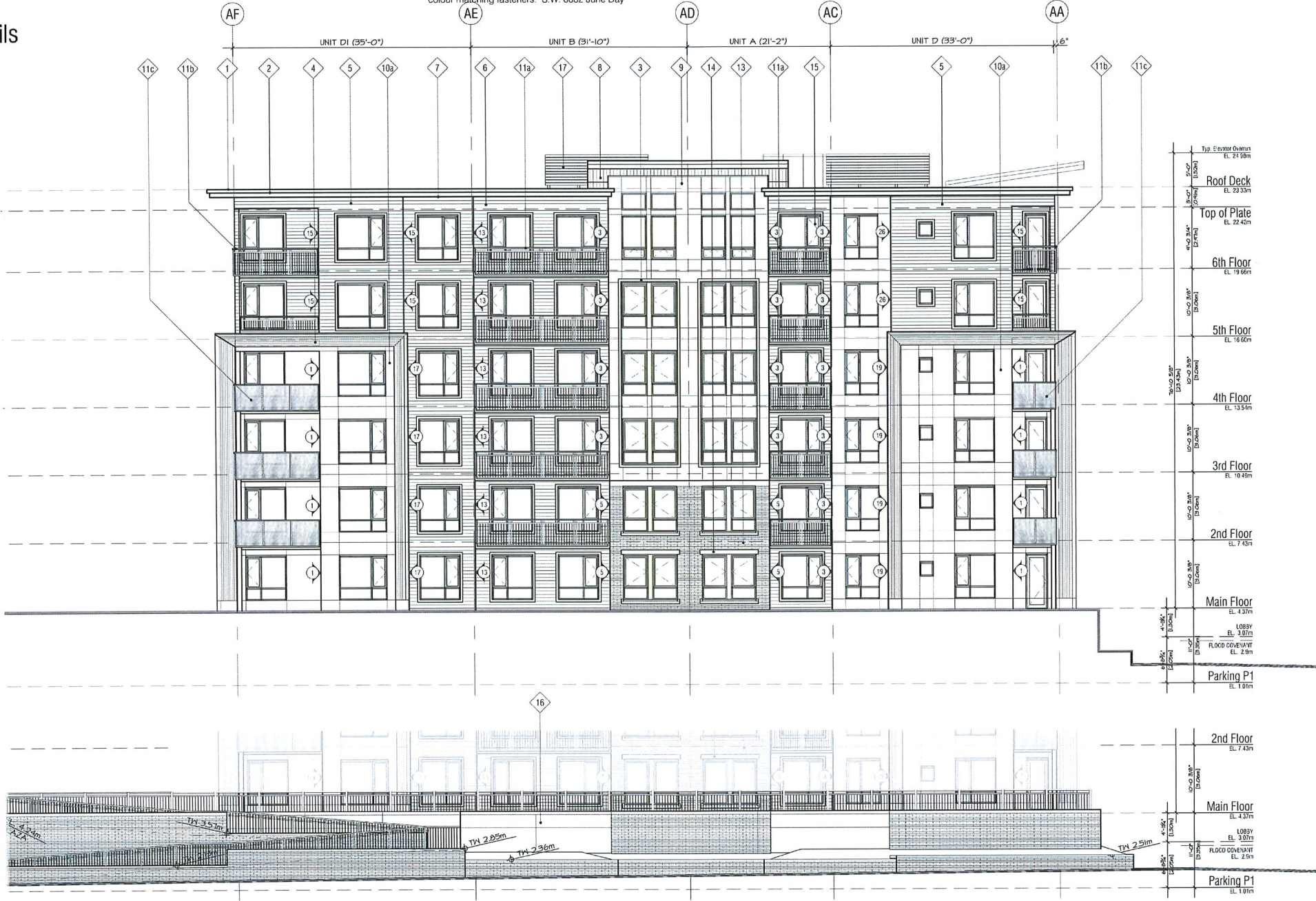
Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



Notes:
Color & Material changes over occur on an outside corner
unless noted otherwise

Notes:
Refer to A-3.13 Unit Plans for exact railing attachments



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Dec 4, 2020
Issued for Rezoning

Dec 23, 2020
Update 2: Issued for Rezoning

June 17, 2022
Development Permit
Submission

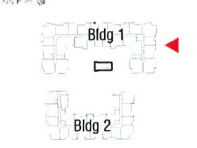
November 21, 2022
Resubmission for
Development Permit

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Resubmission #2 for
Development Permit

March 8, 2023
Resubmission #3 for
Development Permit

May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

DP Plan # 17
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 South

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.13

Material Legend

- 1

Roofing

2-Ply SBS Roofing

Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement

B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement

B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement

Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement

B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement

B.M. CC-616 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement

B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement

Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement

B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot

Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White

Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

Painted

B.M. Pigeon Gray Elastomeric Paint
- 17

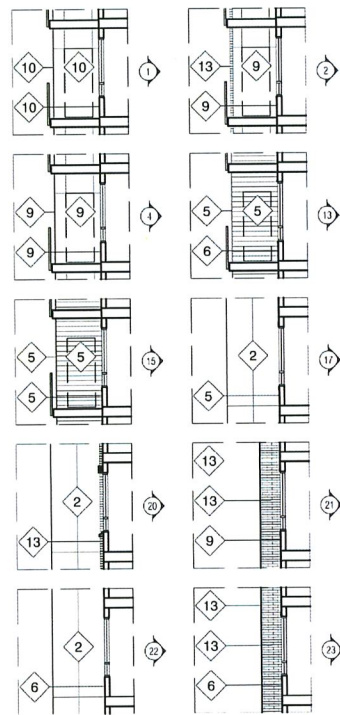
Mechanical Equipment Screen

Painted Aluminum

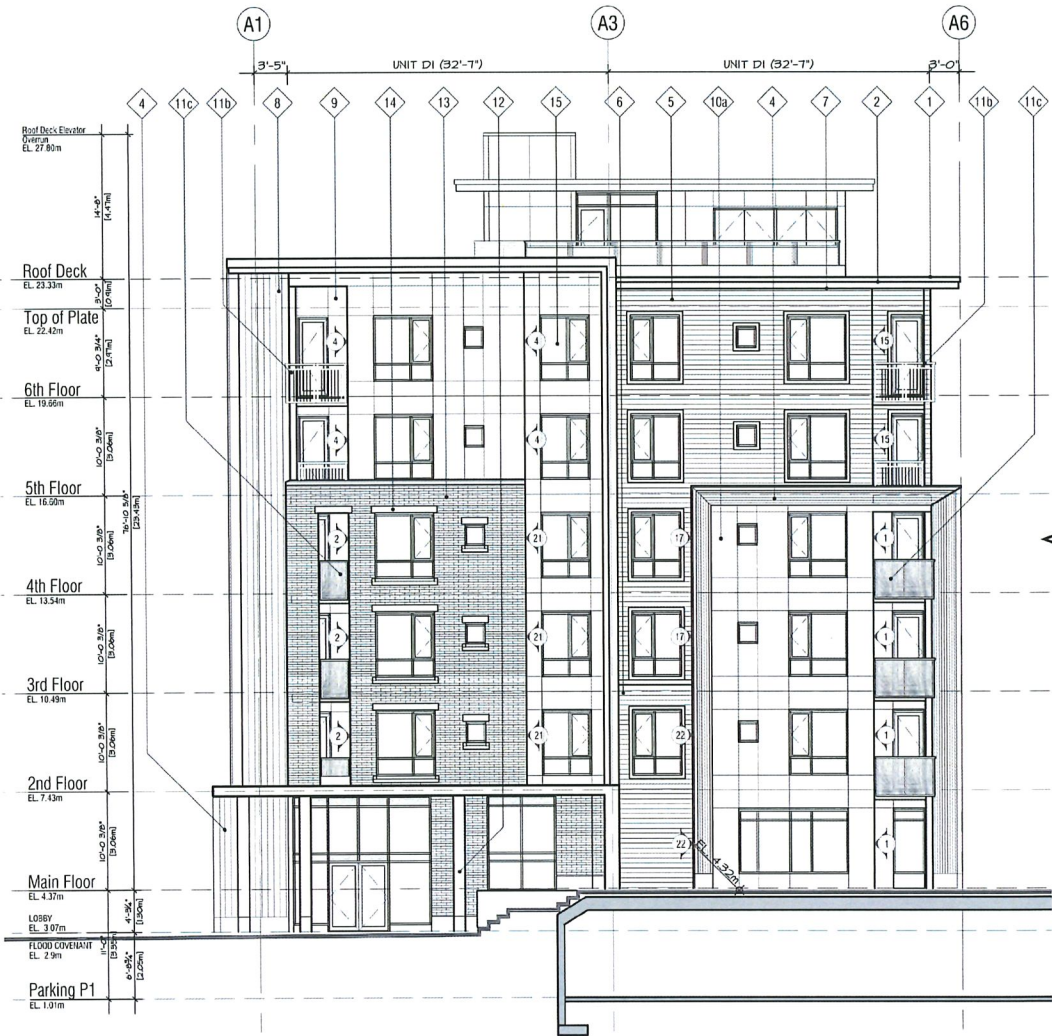
Colour white

Provide samples of all exterior colours & materials for review & approval

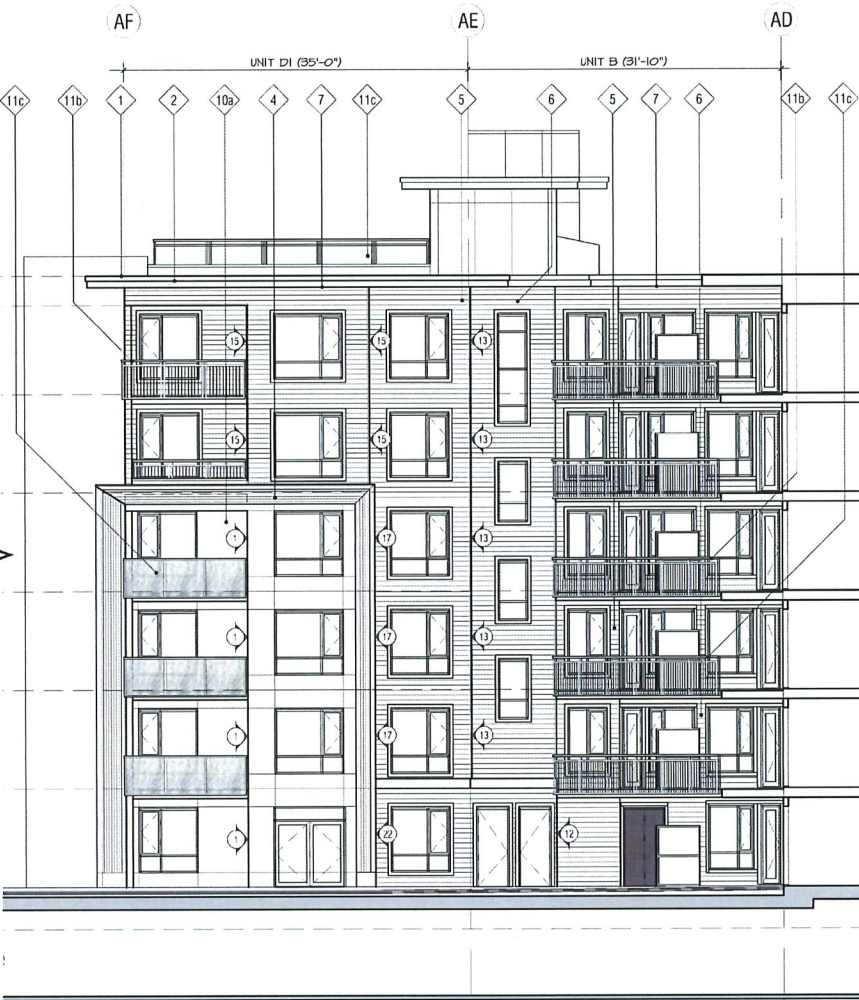
Exterior Finish Return Details



Notes:
Colors & Material changes noted occur on an outside corner (unless noted otherwise)
Notes:
Refer to A-3.14 Unit Plans for windowing attachments



1 Building 1 West Elevation (1/3)
A-3.14 SCALE: 1/16" = 1'-0"



2 Building 1 North Courtyard Elevation
A-3.14 SCALE: 1/16" = 1'-0"



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Revisions:
Dec 4, 2020
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Dec 23, 2020
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January 12, 2023
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March 8, 2023
Resubmission #3 for Development Permit
May 30, 2023
Response to comments from Resubmission #3 for Development Permit

DP Plan # 18
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 Courtyard (3/3)
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.14

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel
w/ colour matching metal reveal system & colour
matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

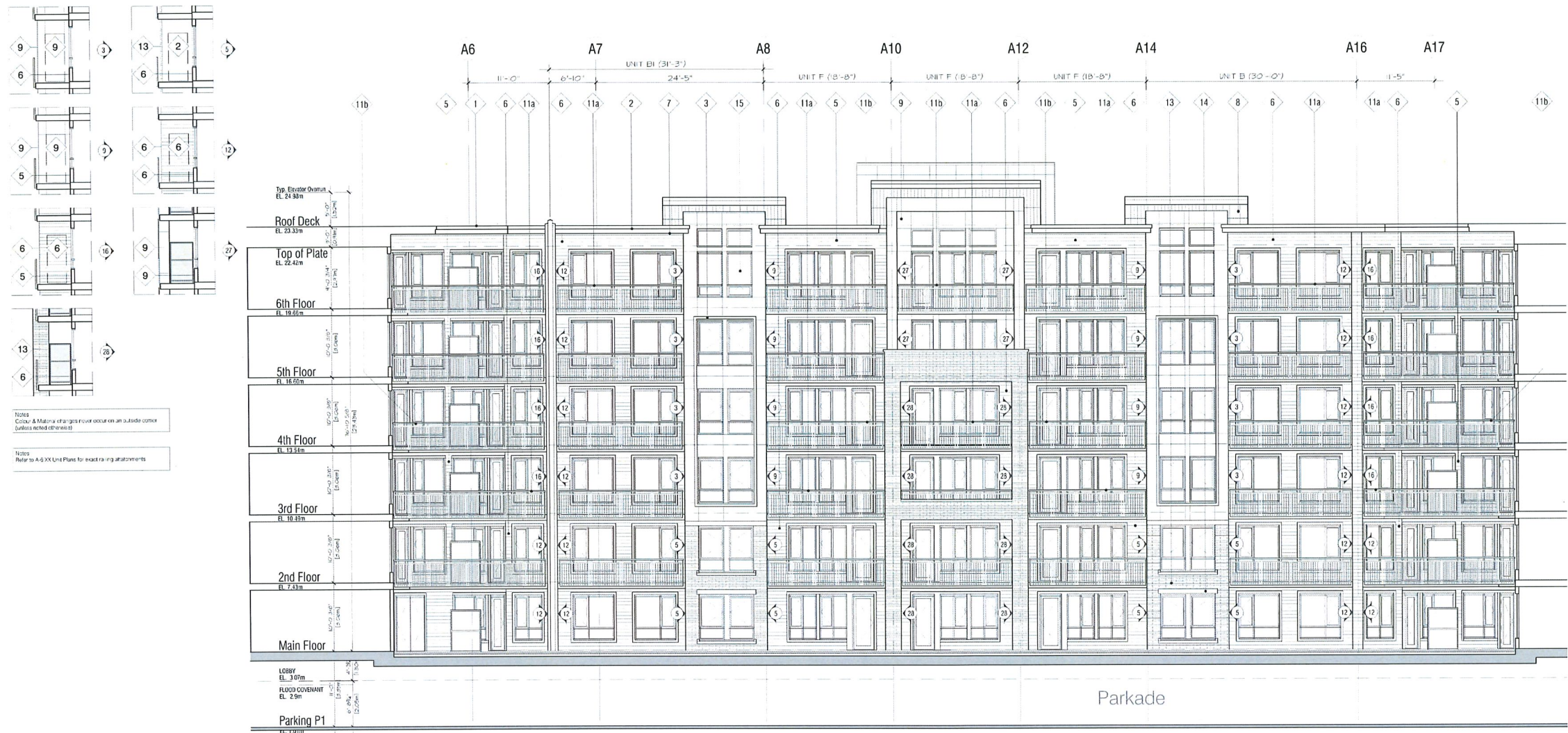
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



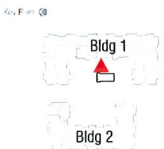
1 Building 1 West Elevation (2/3)
A-3.15 SCALE: 1/16" = 1'-0"



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Revision
Dec 4, 2020
Issued for Rezoning
Dec 23, 2020
Update 2: Issued for Rezoning
June 17, 2022
Development Permit
Submission
November 21, 2022
Resubmission for
Development Permit
January 12, 2023
Resubmission #2 for
Development Permit
March 8, 2023
Resubmission #3 for
Development Permit
May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

DP Plan # 19
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Camble & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 Courtyard (2/3)
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.15

Material Legend

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey

2 **Fascia & Trim: Dark**
1" Fibre Cement
B.M. 2120-30 Witching Hour

3 **Trim & Panel: Neutral**
Fibre Cement
B.M. 2119-40 Silver Streak
- 4 **Feature Cladding: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat

5 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White

6 **Siding & Trims: Neutral**
8" Exposure Fibre Cement
B.M. OC-816 Athabasca
- 7 **Soffit: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White

8 **Feature Cladding: Neutral**
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate

9 **Panel: Light**
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a **Feature Panel: Blue**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe

10b **Feature Panel: Green**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis

10c **Feature Panel: Yellow**
Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a **Dark Coloured Metal Guardrails**
Cascadia Metals Iron One

11b **Light Coloured Metal Guardrail**
Cascadia Metals Polar White

11c **Glass Guard Panel**
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12 **Heavy Timber Columns**
Colour Match Woodtone Summer Wheat

13 **Brick: Dark**
Manganese Ironspot
Norman Size - Half Running Bond

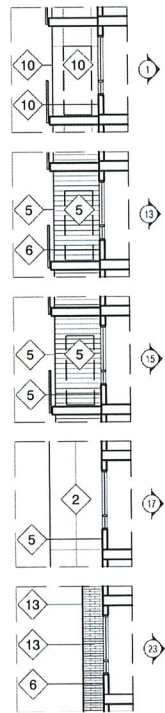
14 **Concrete Lintels: Neutral**
Natural Concrete Colour
- 15 **Windows**
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One

16 **Architectural Concrete**
Painted
B.M. Pigeon Gray Elastomeric Paint

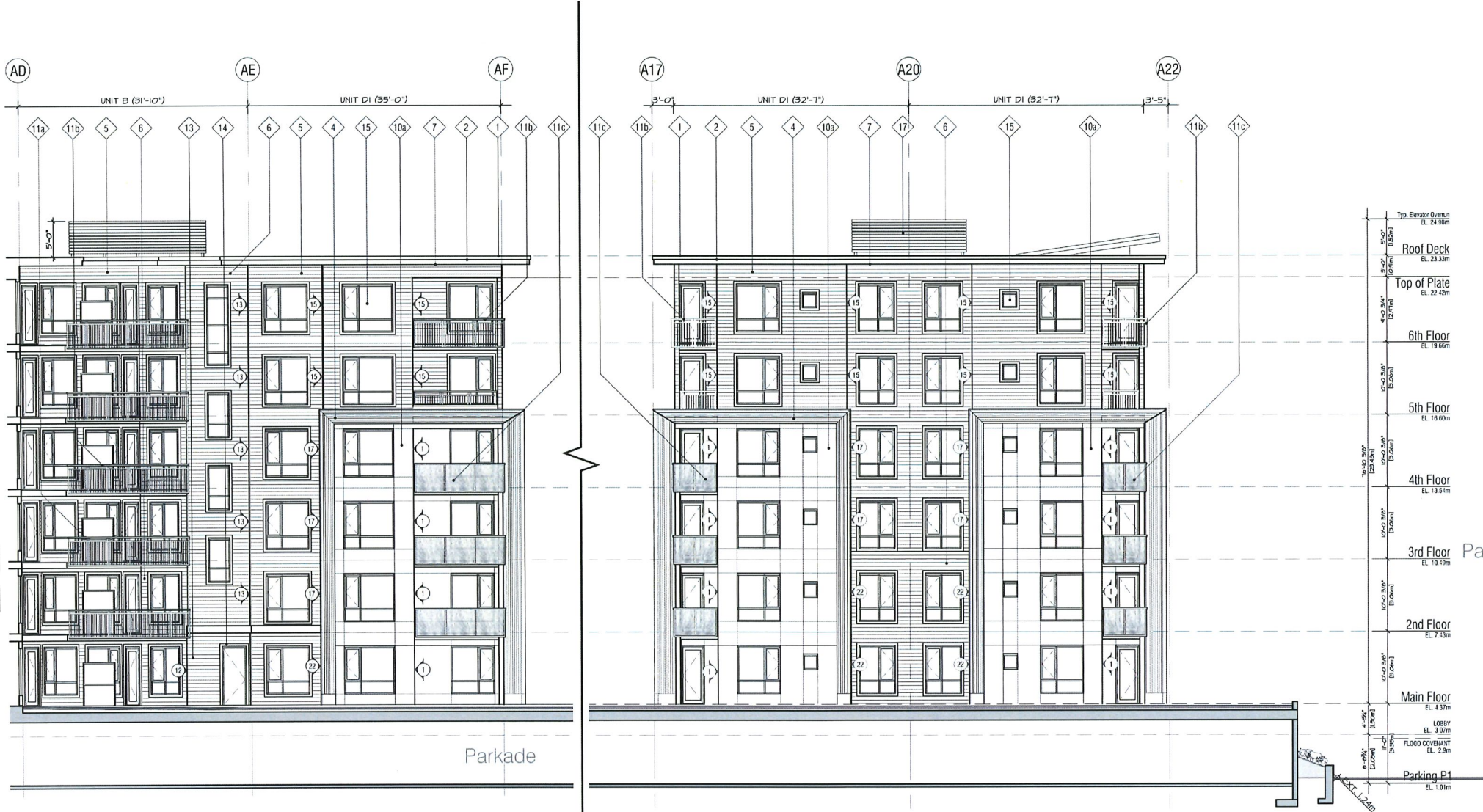
17 **Mechanical Equipment Screen**
Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



Notes:
1. Coord. & Making changes occur on an outside corner unless noted otherwise.
2. Refer to A-3.16 Unit Plans for coordinating elevations.



1 Building 1 South Courtyard Elevation
A-3.16 SCALE: 1/16" = 1'-0"

2 Building 1 West Elevation (3/3)
A-3.16 SCALE: 1/16" = 1'-0"



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- Dec 4, 2020
Issued for Rezoning
- Dec 23, 2020
Update 2: Issued for Rezoning
- June 17, 2022
Development Permit Submission
- November 21, 2022
Resubmission for Development Permit
- January 12, 2023
Resubmission #2 for Development Permit
- March 8, 2023
Resubmission #3 for Development Permit
- May 30, 2023
Response to comments from Resubmission #3 for Development Permit

DP Plan # 20
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 1 Courtyard (3/3)
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.16

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. OC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{5}{8}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{5}{8}$ " thick, attachment of panel
w/ colour matching metal reveal system & colour
matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{5}{8}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

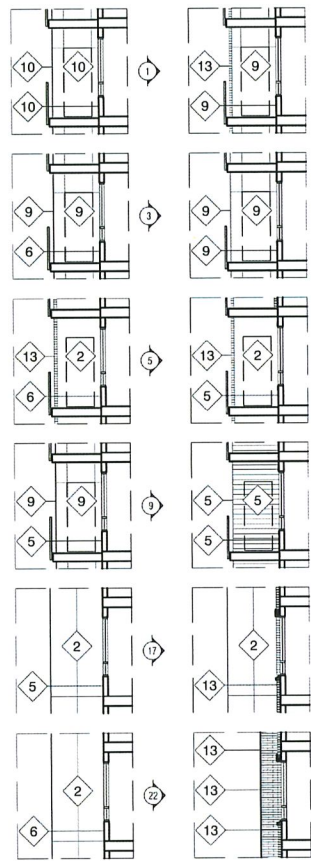
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



Notes:
Colour & Material changes occur on architectural corner
(unless noted otherwise)

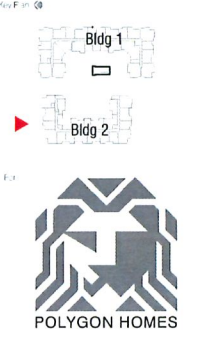
Notes:
Refer to A-3.20 Unit Plans for exact railing details



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- Dec 23, 2020
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- June 17, 2022
Development Permit
Submission
- November 21, 2022
Resubmission for
Development Permit
- January 12, 2023
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Development Permit
- May 30, 2023
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Resubmission #3 for
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DP Plan # 21
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 North
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.20

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, 1/8" thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

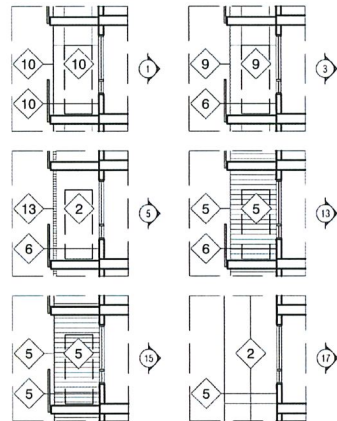
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white

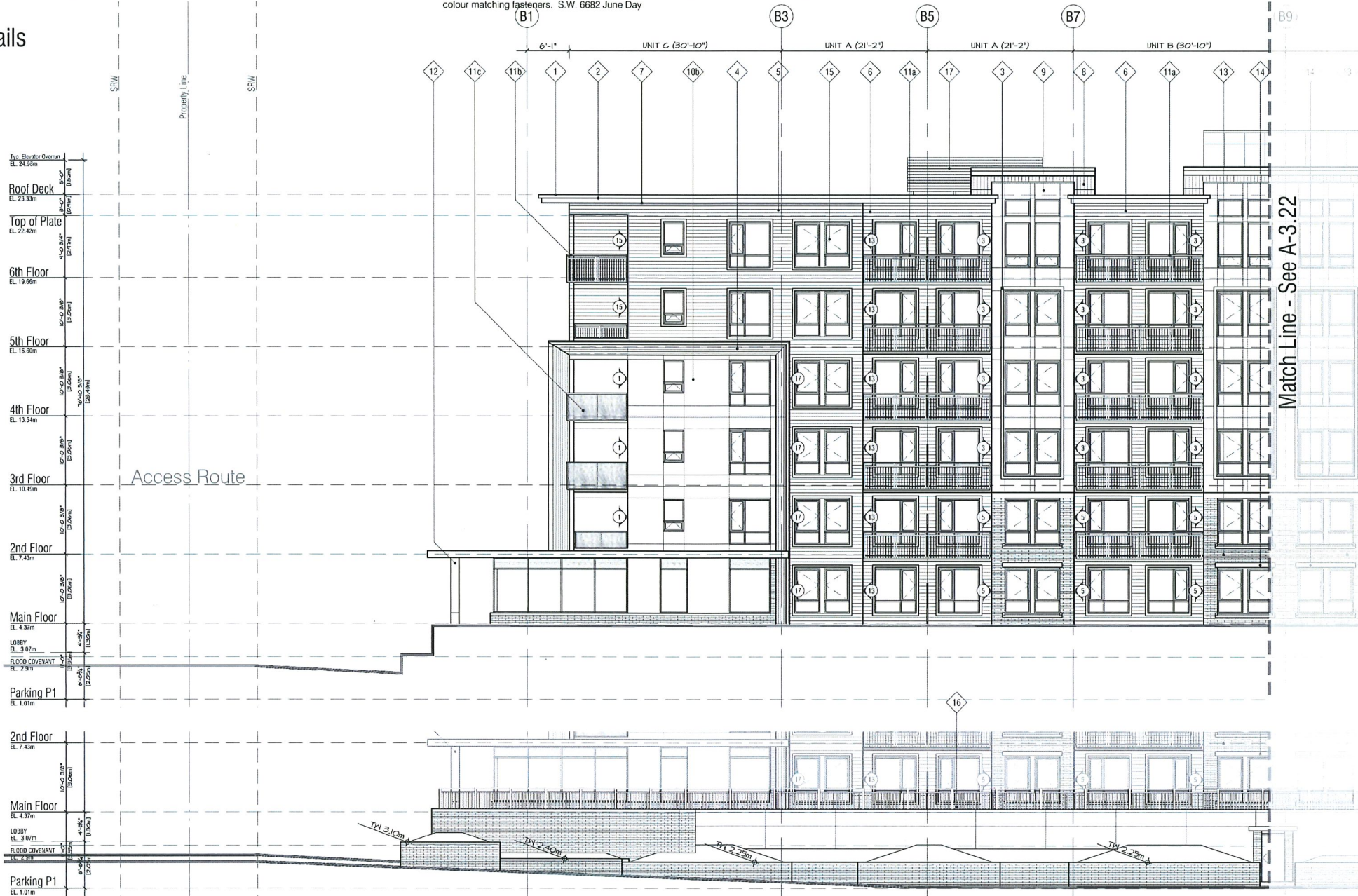
Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



Notes:
Colour & Material changes noted occur on an outside corner
(unless noted otherwise)

Notes:
Refer to A-3.22 Unit Plans for exact roving attachments



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Dec 4, 2020
Issued for Reasoning

Dec 23, 2020
Update 2: Issued for Reasoning

June 17, 2022
Development Permit
Submission

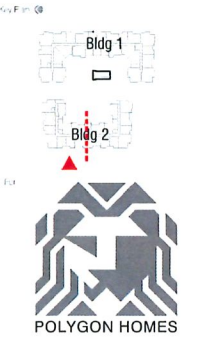
November 21, 2022
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Development Permit

January 12, 2023
Resubmission #2 for
Development Permit

March 8, 2023
Resubmission #3 for
Development Permit

May 30, 2023
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Resubmission #3 for
Development Permit

DP Plan # 22
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 West (1/2)

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.21

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1

Roofing
2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark
1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral
Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light
8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral
8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light
Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue
Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green
Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow
Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails
Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail
Cascadia Metals Polar White
- 11c

Glass Guard Panel
Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns
Colour Match Woodtone Summer Wheat
- 13

Brick: Dark
Manganese Ironspot
Norman Size - Half Running Bond
- 14

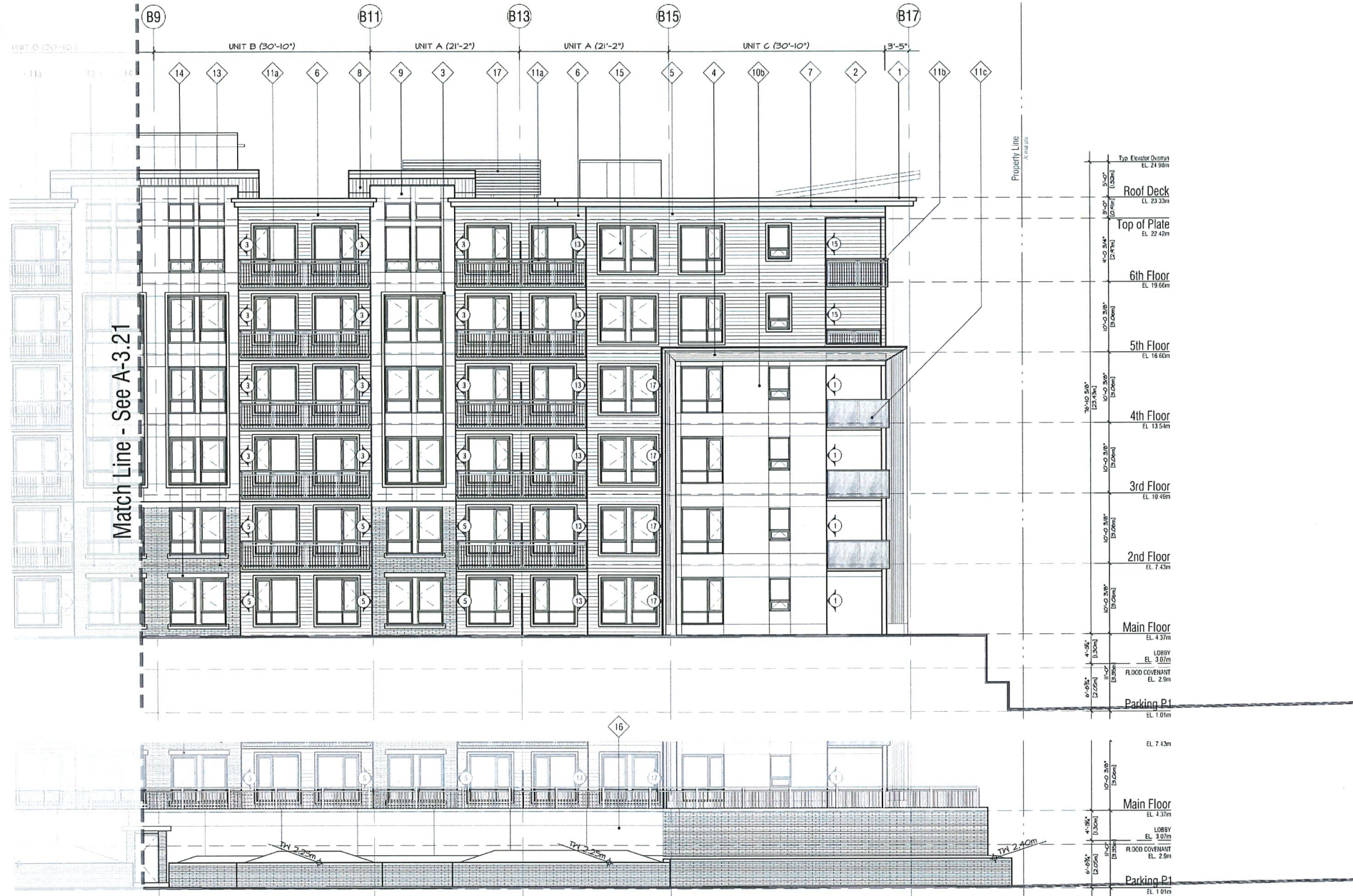
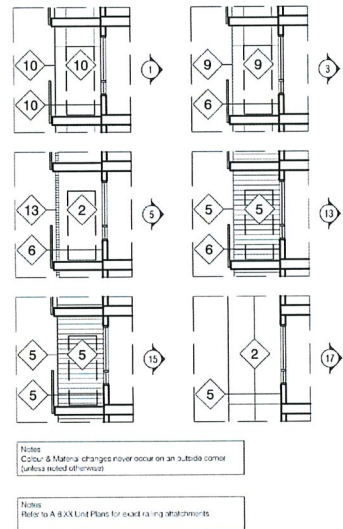
Concrete Lintels: Neutral
Natural Concrete Colour
- 15

Windows
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen
Painted Aluminum
Colour white

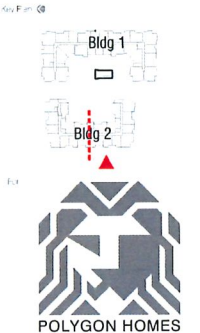
Exterior Finish Return Details



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- Revisions
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 - May 30, 2023
Response to comments from Resubmission #3 for Development Permit

DP Plan # 23
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 West (2/2)
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.22

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, 1/8" thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, 1/8" thick, attachment of panel
w/ colour matching metal reveal system & colour
matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, 1/8" thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

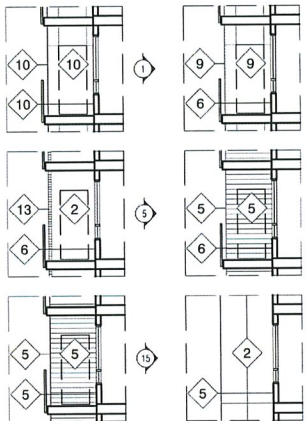
Architectural Concrete

Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

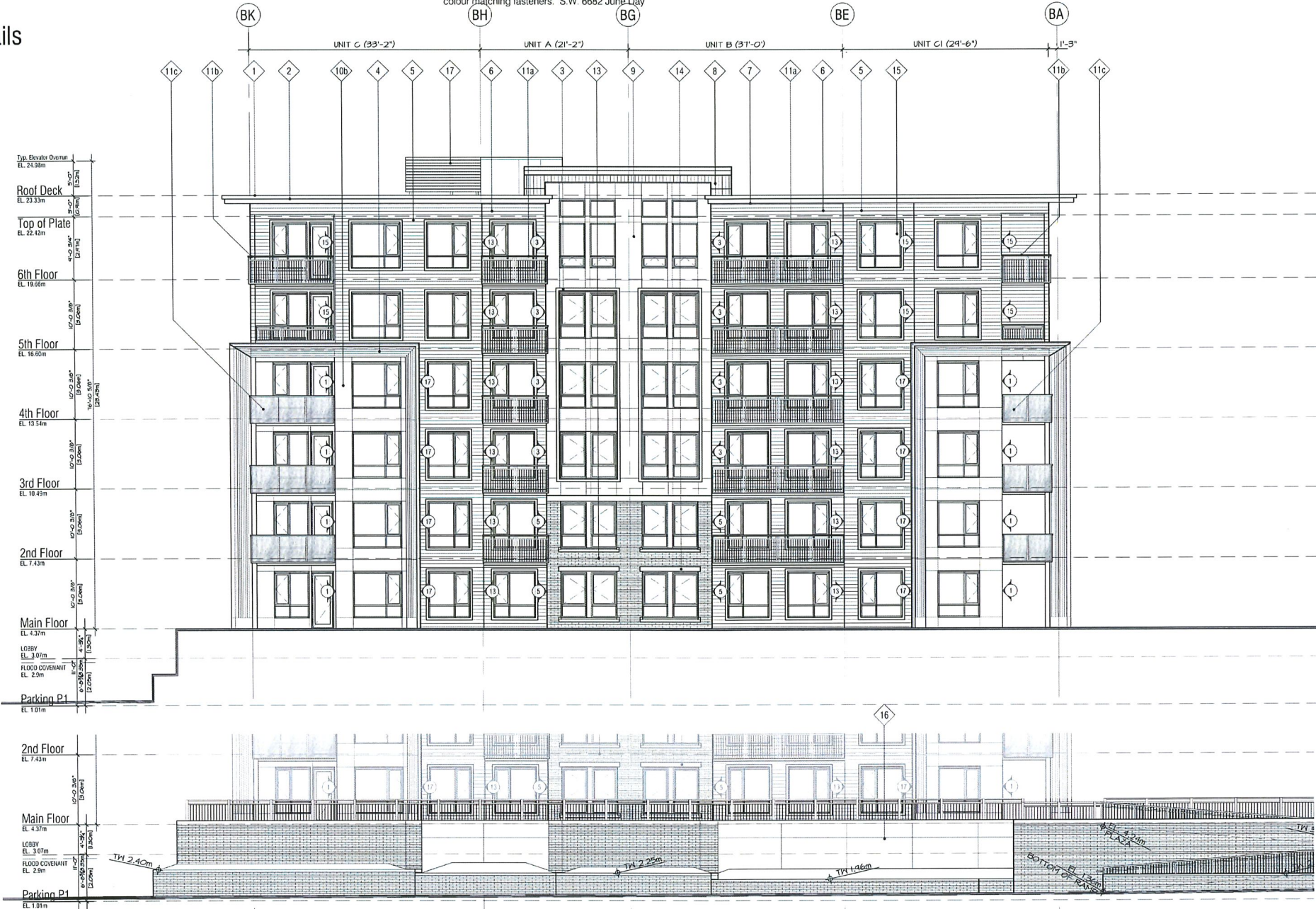
Mechanical Equipment Screen

Painted Aluminum
Colour white

Exterior Finish Return Details



- Notes
- Colour & Material changes occur on an outside corner
(unless noted otherwise)
- Notes
- Refer to A-3.23 and A-3.24 for exacting attachments



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- Revisions
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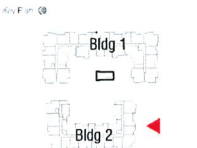
Resubmission for Development Permit
- January 12, 2023

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- March 8, 2023

Resubmission #3 for Development Permit
- May 30, 2023

Response to comments from Resubmission #3 for Development Permit

DP Plan # 24
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 South

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.23

Material Legend

- 1

Roofing

2-Ply SBS Roofing

Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement

B.M. 2120-30 Wilching Hour
- 3

Trim & Panel: Neutral

Fibre Cement

B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement

Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement

B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement

B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement

B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement

Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement

B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel w/ colour matching metal reveal system & colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot

Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White

Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

Painted

B.M. Pigeon Gray Elastomeric Paint
- 17

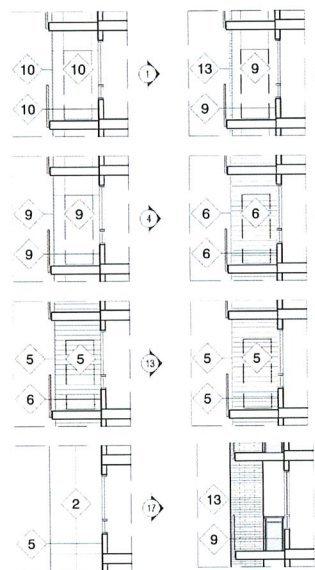
Mechanical Equipment Screen

Painted Aluminum

Colour white

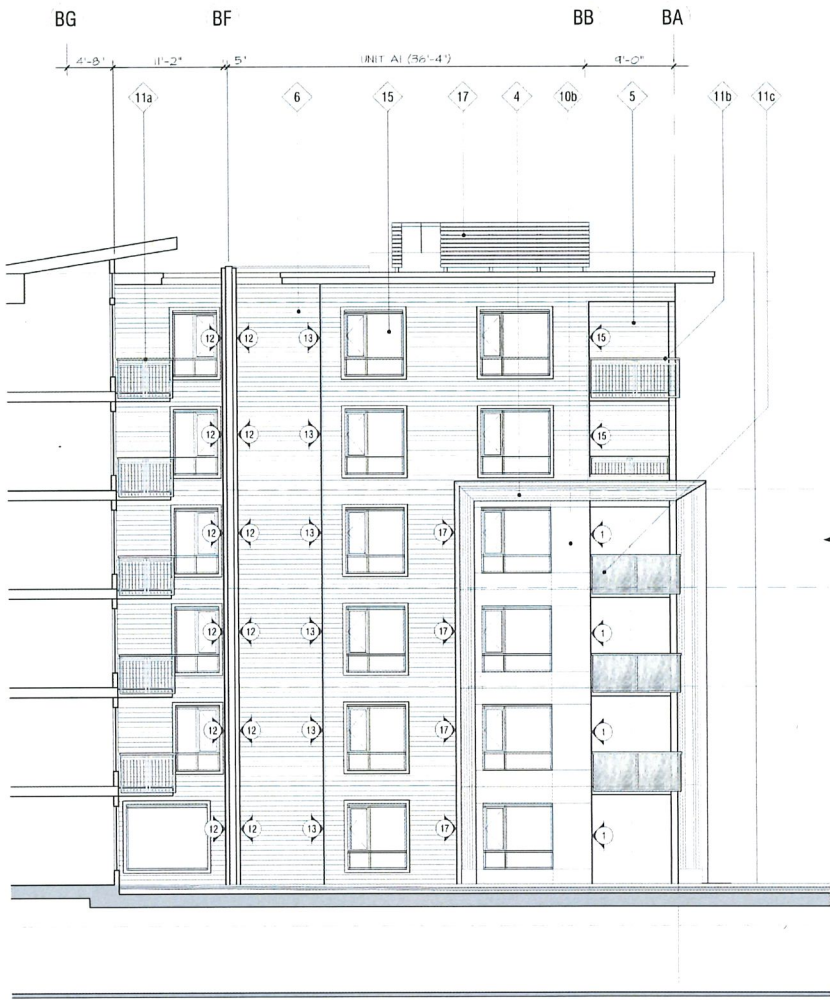
Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



Notes:
Colour & Material changes never occur on an outside corner (unless noted otherwise)

Notes:
Refer to A-3.24 Unit Plans for window arrangements



1 Building 2 North Courtyard Elevation
A-3.24 SCALE: 1/16" = 1'-0"



2 Building 2 East Elevation (1/3)
A-3.24 SCALE: 1/16" = 1'-0"



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May 30, 2023
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DP Plan # 25
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 Courtyard (1/3)
Scale: 1/16" = 1'-0"
May 30, 2023

A-3.24

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Wilching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of panel
w/ colour matching metal reveal system & colour
matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{1}{8}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

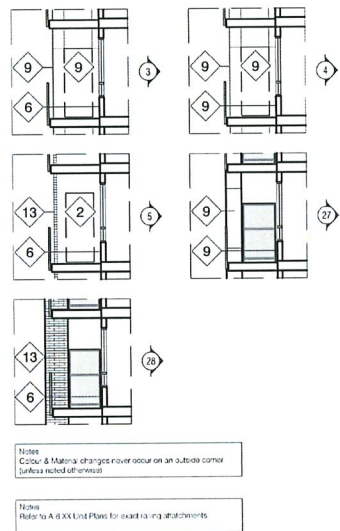
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



1 Building 2 East Elevation (2/3)
A-3.25 SCALE: 1/16" = 1'-0"



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Submission

November 21, 2022
Resubmission for
Development Permit

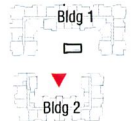
January 12, 2023
Resubmission #2 for
Development Permit

March 8, 2023
Resubmission #3 for
Development Permit

May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

DP Plan # 26
May 30, 2023
DP 22-015851

Arch Firm



TALISMAN
AFFORDABLE & RENTAL HOUSING

Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 Courtyard (2/3)

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.25

Material Legend

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Witching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, 1/8" thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, 1/8" thick, attachment of panel
w/ colour matching metal reveal system & colour
matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, 1/8" thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

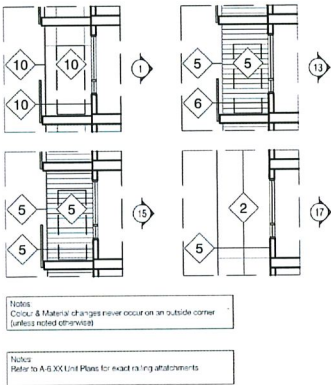
Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

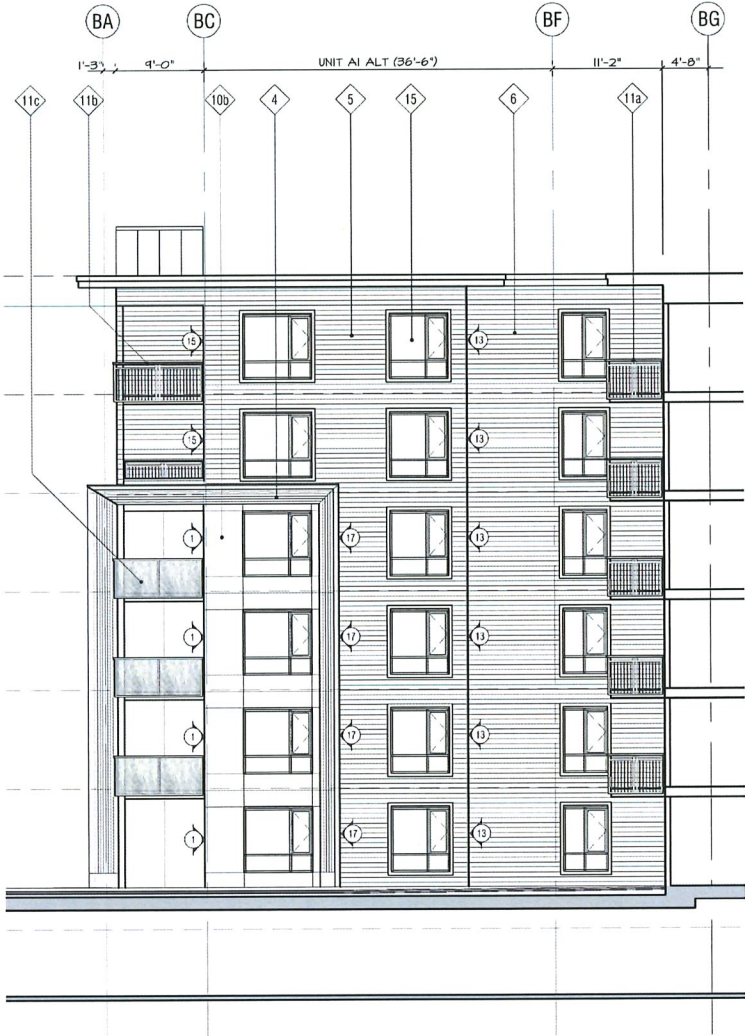
Painted Aluminum
Colour white

Provide samples of all exterior colours & materials for review & approval

Exterior Finish Return Details



2 Building 2 East Elevation (3/3)
A-3.26 SCALE: 1/16" = 1'-0"



1 Building 2 South Courtyard Elevation
A-3.26 SCALE: 1/16" = 1'-0"



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Dec 23, 2020
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March 8, 2023
Resubmission #3 for
Development Permit
May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

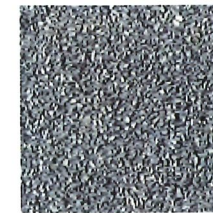
DP Plan # 27
May 30, 2023
DP 22-015851



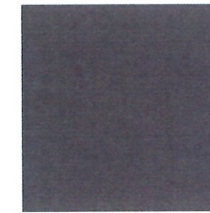
TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Elevations
Bldg 2 Courtyard 3/3
Scale: 1/16" = 1'-0"
May 30, 2023

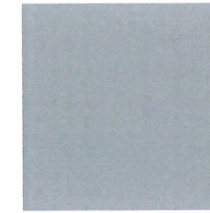
A-3.26



Roofing
2-Ply SBS Roofing
Coloured Light Grey



Fascia & Trim: Dark
1" Fibre Cement
B.M. 2120-30 Wilching Hour



Trim & Panel: Neutral
Fibre Cement
B.M. 2119-40 Silver Streak



Feature Cladding: Warm
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat



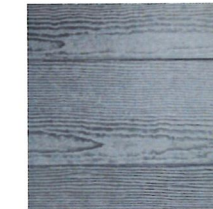
Siding & Trims: Light
8" Exposure Fibre Cement
B.M. OC-66 Snow White



Siding & Trims: Neutral
8" Exposure Fibre Cement
B.M. CC-680 Raindance



Soffit: Typical
Light Coloured Fiber Cement
B.M. OC-66 Snow White



Feature Cladding: Neutral
6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate



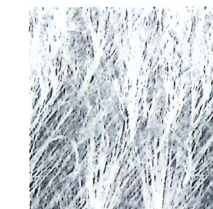
Panel: Light
Light Coloured Fiber Cement
B.M. OC-66 Snow White



Feature Panel:
Fiber Cement - Blue/Green/Yellow
See A-3.27 for Colour & Details



Metal & Glass Guardrails
Light Coloured: Cascadia Metals Polar White
Dark Coloured: Cascadia Metals Iron Ore



Glass Guard Panel
Laminated Safety Glass Panels
With Custom Etched or Fitted Design



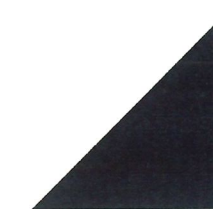
Brick: Dark
Manganese Ironspot
Norman Size - Half Running Bond



Heavy Timber Columns
Colour match Woodtone Summer Wheat



Concrete Lintels: Neutral
Natural Concrete Colour



Windows
Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron Ore



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May 30, 2023
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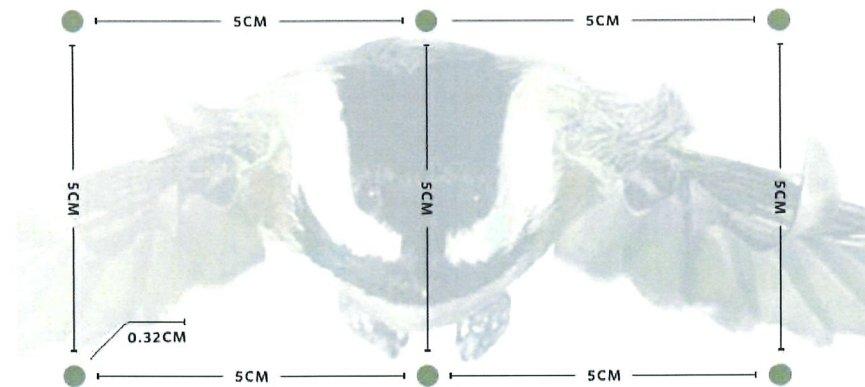


TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Bldg 1 & 2: Colour
& Material Board

Scale: 1/8" = 1'-0"
May 30, 2023

A-3.17



[FIG 1] Diagram of bird friendly glazing pattern with visual markers at maximum 5cm x 5cm spacing IMAGE SOURCE: FLAP CANADA

11c

Bird Friendly Glazing

Project will adhere to bird-friendly glazing by utilizing the following techniques as outlined in the UBC bird Friendly Design Guidelines for Buildings.

- The use of an adhesive film, acid-etch, or frit pattern. Pattern to be high contrast and dense: spacing at maximum 5cm x 5cm apart with markers no more than 0.32cm in size.
- Application of patterns to the exterior surface of glazing to minimize reflections
- Application of fritted grass pattern to all glazed guardrailings
- Application of dotted pattern (Fig 1) to all standard vision glass on the first four storeys.



Example of "grass" pattern on glazed balcony railings



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TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Bird Friendly Glazing
Bldg 1 & 2

Scale: NTS
May 30, 2023

A-3.18

Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1

Roofing

2-Ply SBS Roofing
Coloured Light Grey
- 2

Fascia & Trim: Dark

1" Fibre Cement
B.M. 2120-30 Wilching Hour
- 3

Trim & Panel: Neutral

Fibre Cement
B.M. 2119-40 Silver Streak
- 4

Feature Cladding: Warm

6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat
- 5

Siding & Trims: Light

8" Exposure Fibre Cement
B.M. OC-66 Snow White
- 6

Siding & Trims: Neutral

8" Exposure Fibre Cement
B.M. CC-816 Athabasca
- 7

Soffit: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 8

Feature Cladding: Neutral

6" Exposure Wood-like Fibre Cement
Woodtone Cascade Slate
- 9

Panel: Light

Light Coloured Fibre Cement
B.M. OC-66 Snow White
- 10a

Feature Panel: Blue

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. B.M. AF-580 Luxe
- 10b

Feature Panel: Green

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of panel
w/ colour matching metal reveal system & colour
matching fasteners. B.M. 699 Garden Oasis
- 10c

Feature Panel: Yellow

Fibre Cement Panel, $\frac{5}{16}$ " thick, attachment of
panel w/ colour matching metal reveal system &
colour matching fasteners. S.W. 6682 June Day
- 11a

Dark Coloured Metal Guardrails

Cascadia Metals Iron One
- 11b

Light Coloured Metal Guardrail

Cascadia Metals Polar White
- 11c

Glass Guard Panel

Laminated Safety Glass Panels
with Custom Etched or Fritted Design
- 12

Heavy Timber Columns

Colour Match Woodtone Summer Wheat
- 13

Brick: Dark

Manganese Ironspot
Norman Size - Half Running Bond
- 14

Concrete Lintels: Neutral

Natural Concrete Colour
- 15

Windows

Light Coloured: White
Dark Coloured: Match Cascadia Metals Iron One
- 16

Architectural Concrete

Painted
B.M. Pigeon Gray Elastomeric Paint
- 17

Mechanical Equipment Screen

Painted Aluminum
Colour white



A Building 1 - Lobby Elevation
A-3.19 SCALE: NTS



B Building 2 - Lobby Elevation
A-3.19 SCALE: NTS



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Development Permit
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Resubmission #3 for
Development Permit

DP Plan # 30
May 30, 2023
DP 22-015851

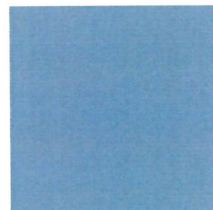


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Richmond, B.C.

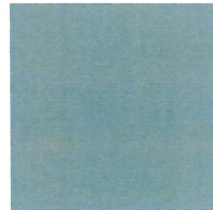
Elevations
Lobby Materials

Scale: NTS
May 30, 2023

A-3.19



Feature Panel: Blue
Fiber Cement
B.M. 831 Stratford blue



Feature Panel: Green
Fiber Cement
B.M. 669 Garden Oasis



Feature Panel: Yellow
Fiber Cement
S.W. 6682 June Day



Feature Colour Map



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Revisions:
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DP Plan # 31
May 30, 2023
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Richmond, B.C.

Feature Colours
Bldg 1 & 2

Scale: NTS
May 30, 2023

A-3.27

Material Legend - DEU

Provide samples of all exterior colours & materials for review & approval

- 1 **Roofing**
2-Ply SBS Roofing
Coloured Light Grey

2 **Fascia & Trim: Dark**
1" Fibre Cement, Double Fascia
B.M. 2120-30 Witching Hour

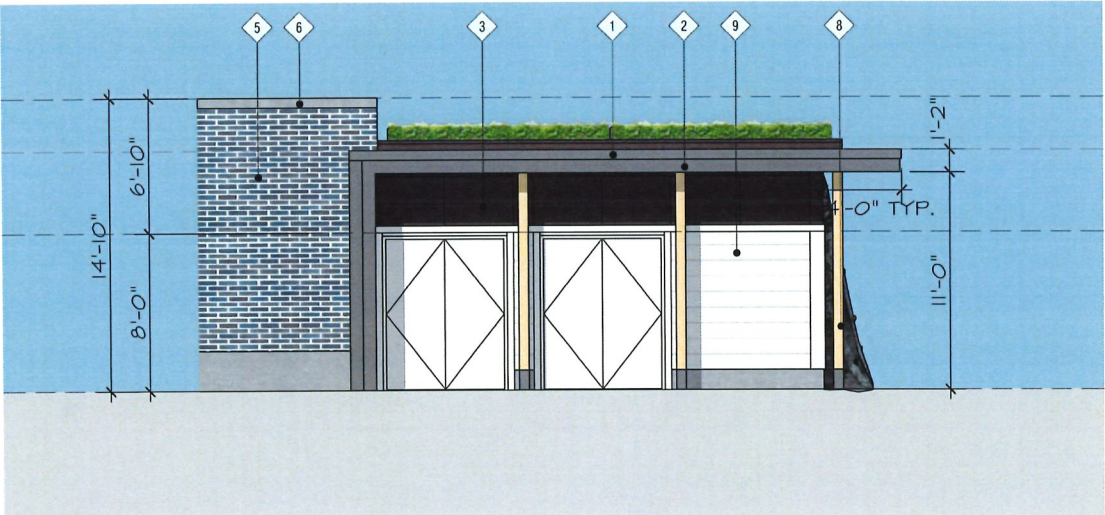
3 **Feature Panel: Yellow**
Fibre Cement
B.M. Wenge AF-180
- 4 **Soffit: Warm**
6" Exposure Wood-like Fibre Cement
Woodtone Summer Wheat

5 **Brick: Dark**
Manganese Ironspot
Norman Size - Running Bond

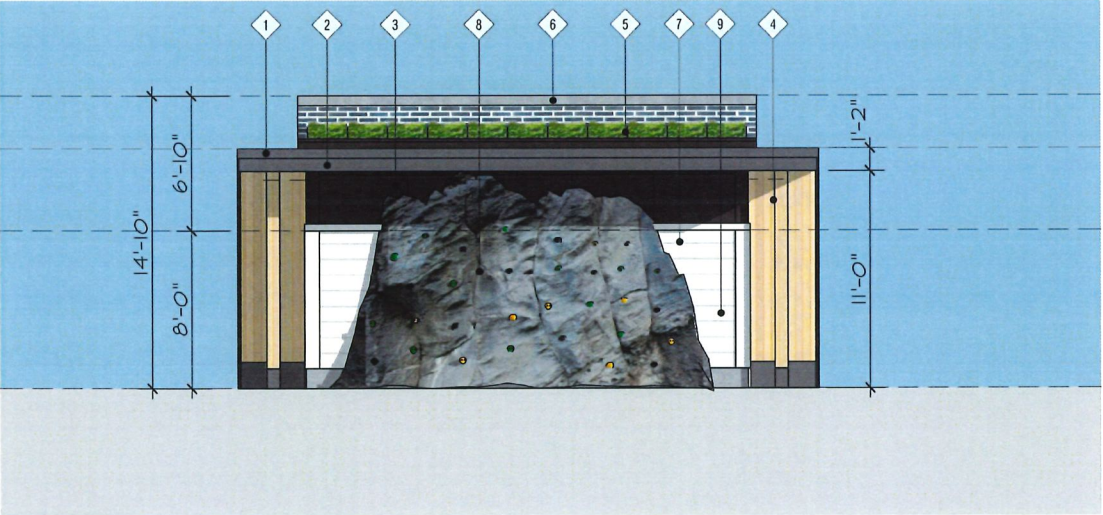
6 **Concrete: Neutral**
Natural Concrete Colour
- 7 **Windows**
Aluminum Window Wall, Single Glazed.
Dark Coloured: Match Cascadia Metals Iron One

8 **Feature Climbing Wall**
Concrete Free-Formed Faux Rock

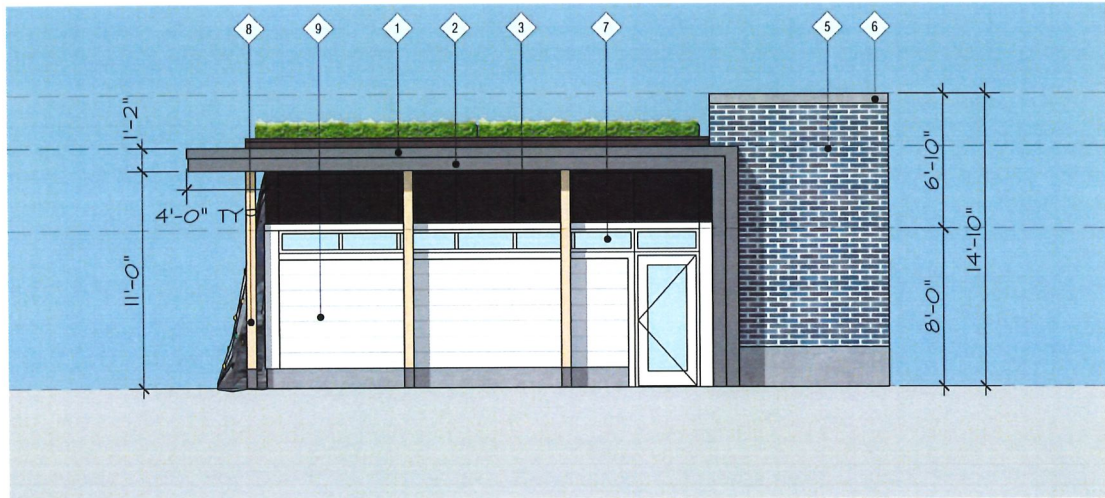
9 **Siding & Trims: Light**
8" Exposure Fibre Cement
B.M. OC-66 Snow White



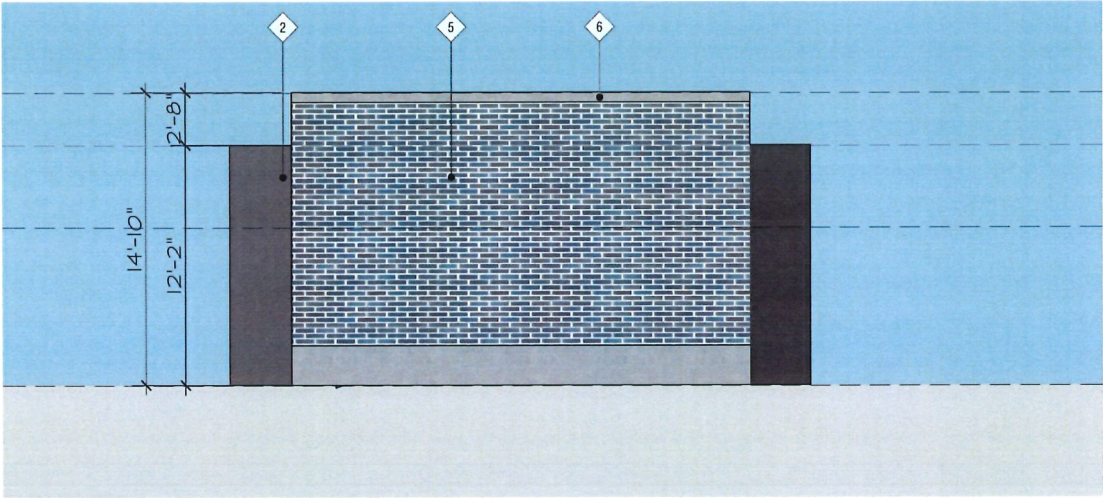
West Elevation



South Elevation



East Elevation



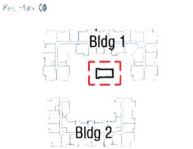
North Elevation



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- Revisions
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Elevations
DEU

Scale: 1/16" = 1'-0"
May 30, 2023

A-3.28

Decorative Art Railing

Alternating panels of metal guardrails will utilize an artful pattern to embellish the frontage along Garden City Road.

Key design features include:

- Array of welded metal patterned with gaps no more than 100mm (4")
- Colour matched square metal tubing to match surrounding railing components
- Pattern arranged in form of wheat or tall grass with the intent to compliment the surrounding foliage.



Enlarge View of Decorative Art Railing along Garden City Road



Alternating Series of Decorative Art Guard Rails as viewed from street level



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Development Permit

DP Plan # 33
May 30, 2023
DP 22-015851

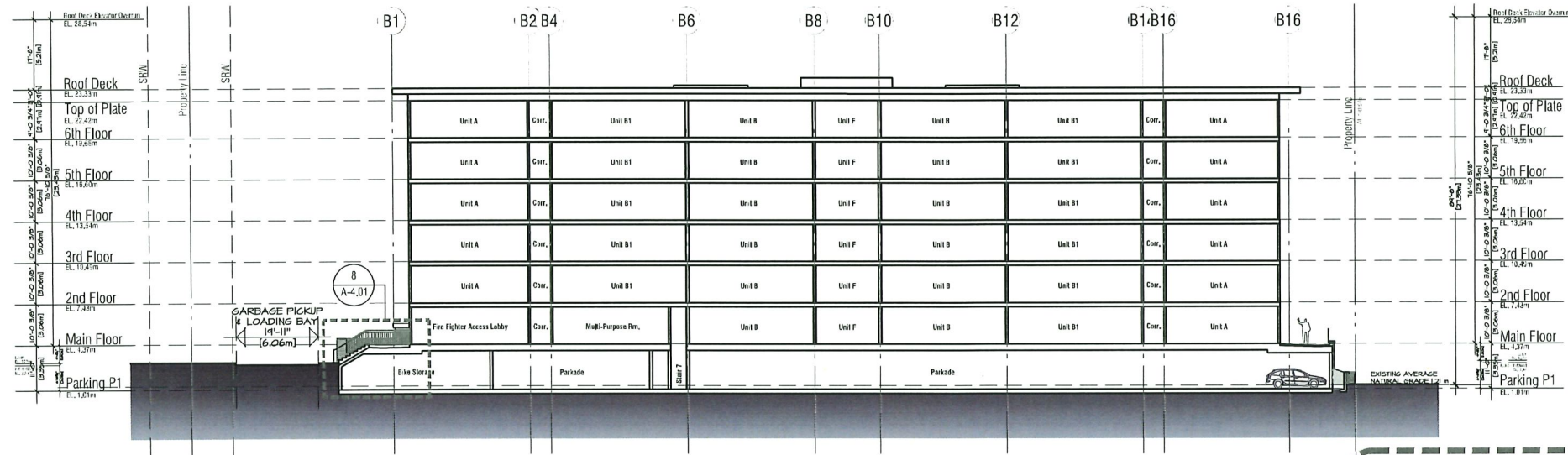


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Art Railing Detail

Scale: NTS
May 30, 2023

A-3.29



C Overall Section
A-1.13 SCALE: 1/32" = 1'-0"

NOTE:
Existing natural grade calculated by using
grades at six corners along property line and
divided by 6 to obtain average. (NW
1.10+SW 1.23+SE 1.24+1.19+South
1.24+south 1.25/6= 1.21)



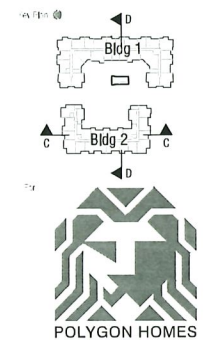
D Overall Section
A-1.13 SCALE: 1/32" = 1'-0"



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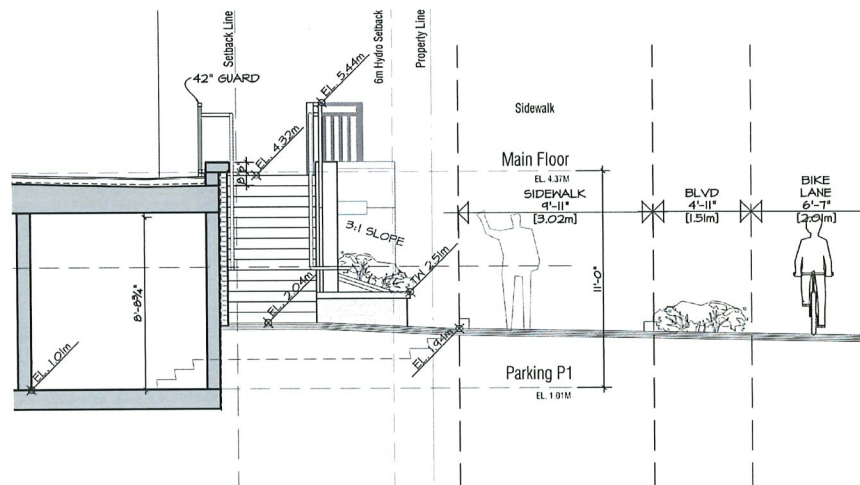
DP Plan # 34
May 30, 2023
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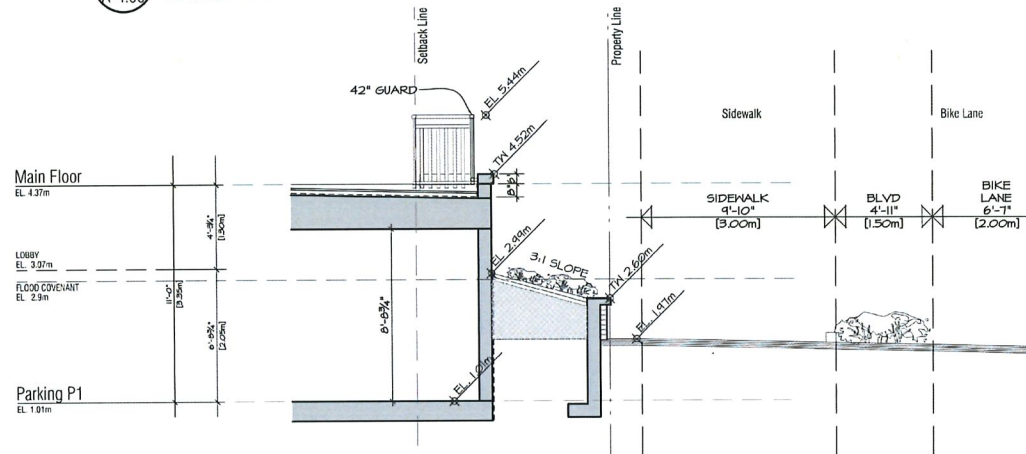
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Richmond, B.C.

Overall Sections
Scale: 1/32" = 1'-0"
June 1, 2023

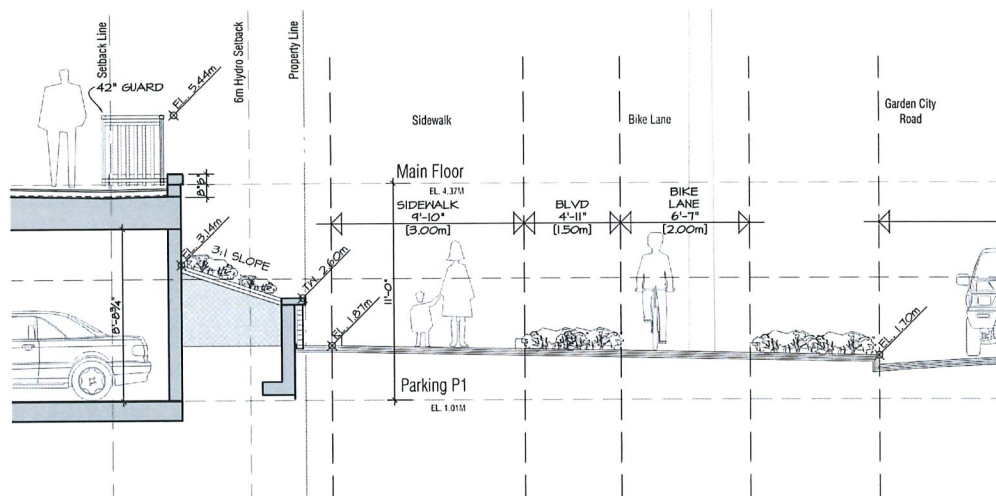
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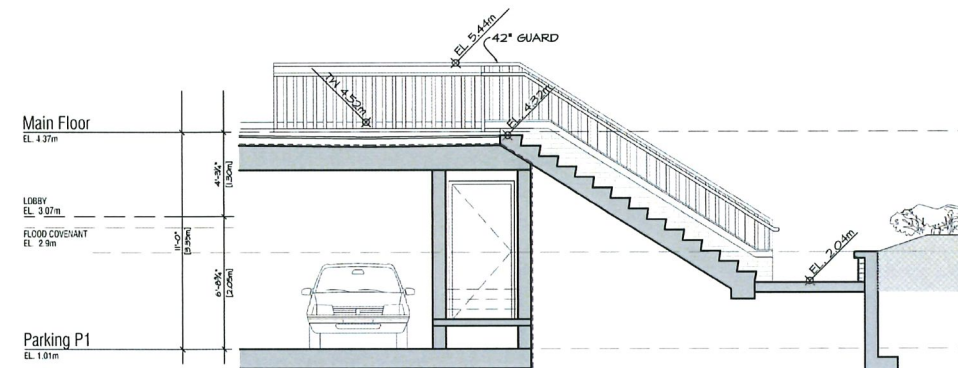
1 Southeast Podium Stairs Spot Section - 1
A-4.00 SCALE: 1/8" = 1'-0"



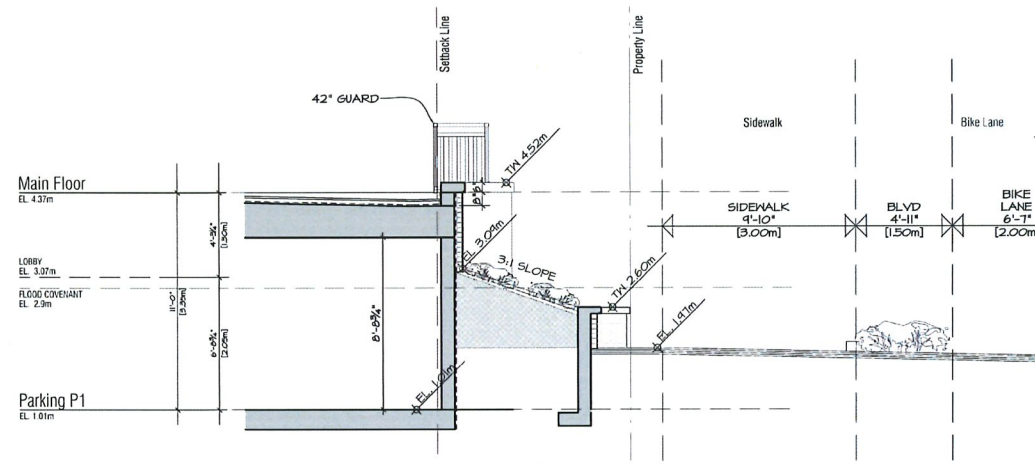
3 Spot Section Along Garden City - 1
A-4.00 SCALE: 1/8" = 1'-0"



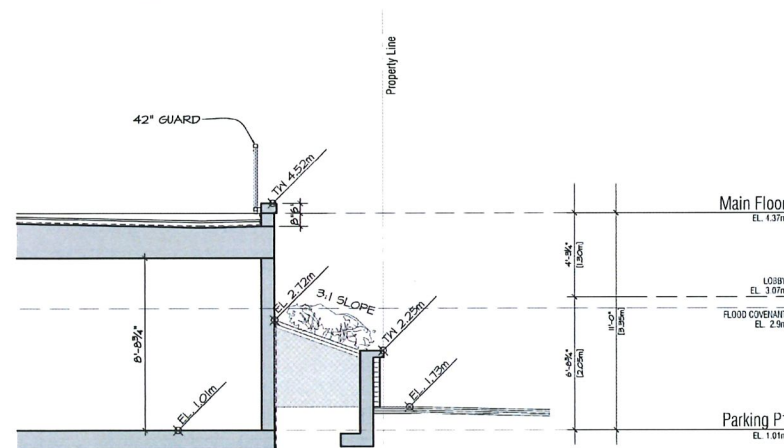
5 Spot Section Along Garden City - 3
A-4.00 SCALE: 1/8" = 1'-0"



2 Southeast Podium Stairs Spot Section - 2
A-4.00 SCALE: 1/8" = 1'-0"



4 Spot Section Along Garden City - 2
A-4.00 SCALE: 1/8" = 1'-0"



6 Spot Section Along South PL
A-4.00 SCALE: 1/8" = 1'-0"

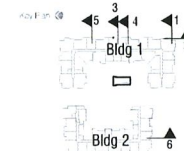


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Resubmission #3 for
Development Permit

DP Plan # 35
May 30, 2023
DP 22-015851

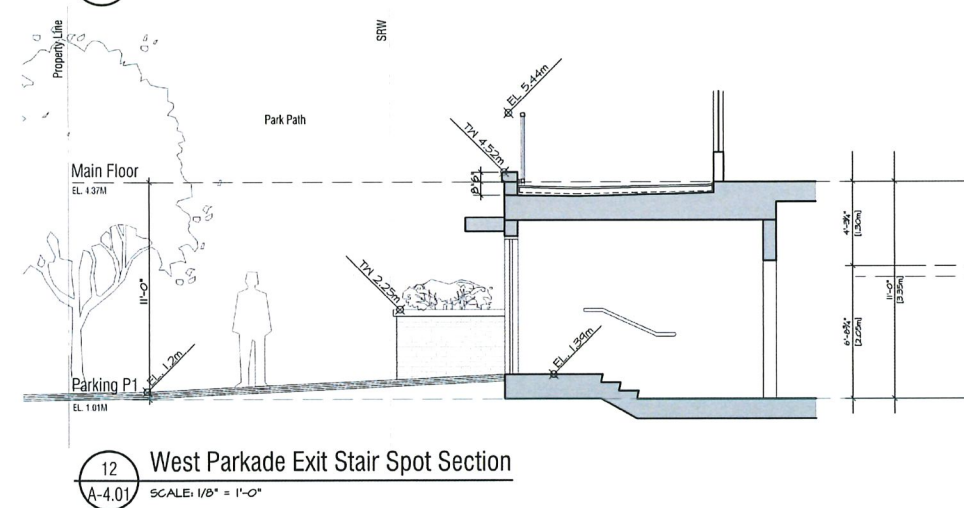
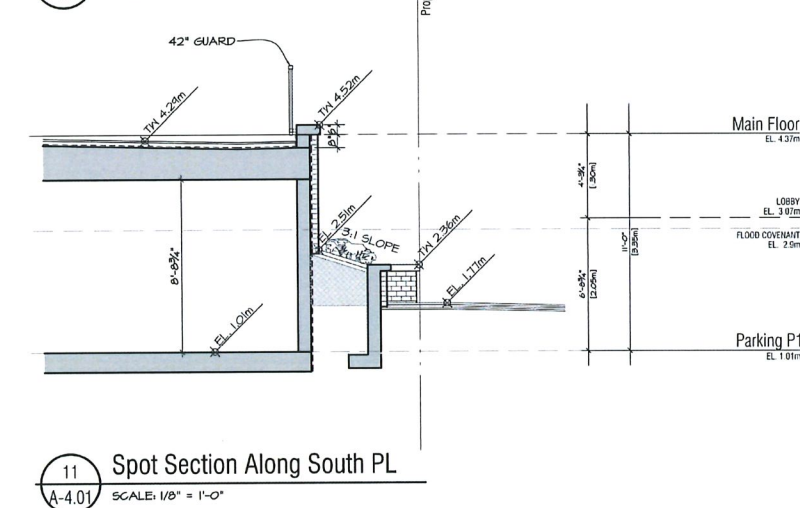
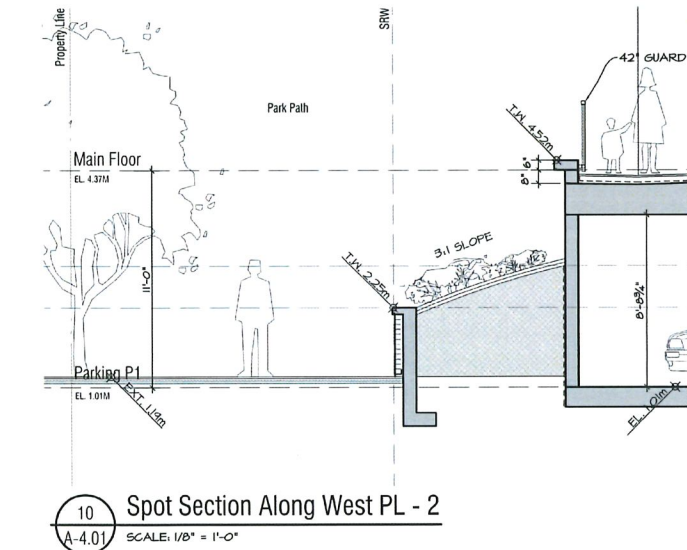
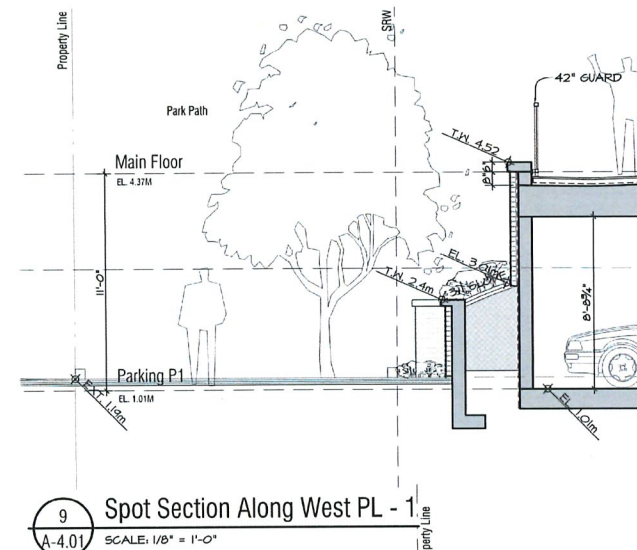
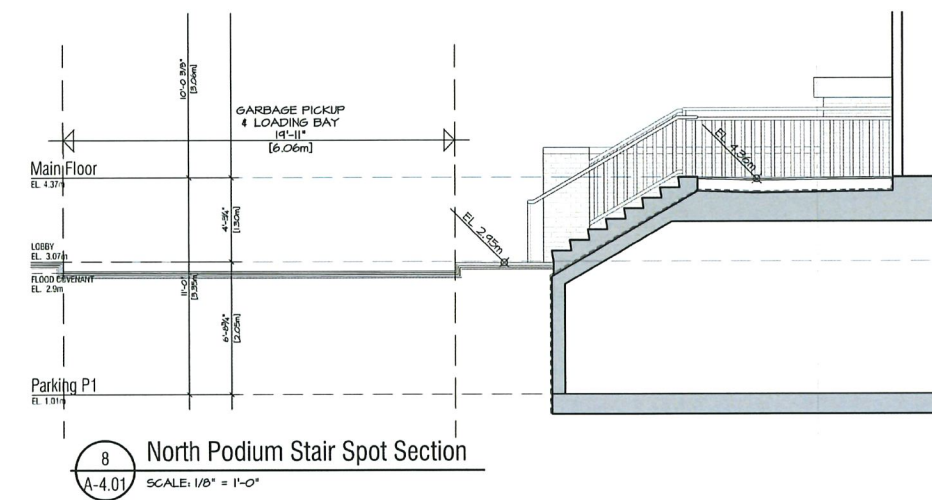
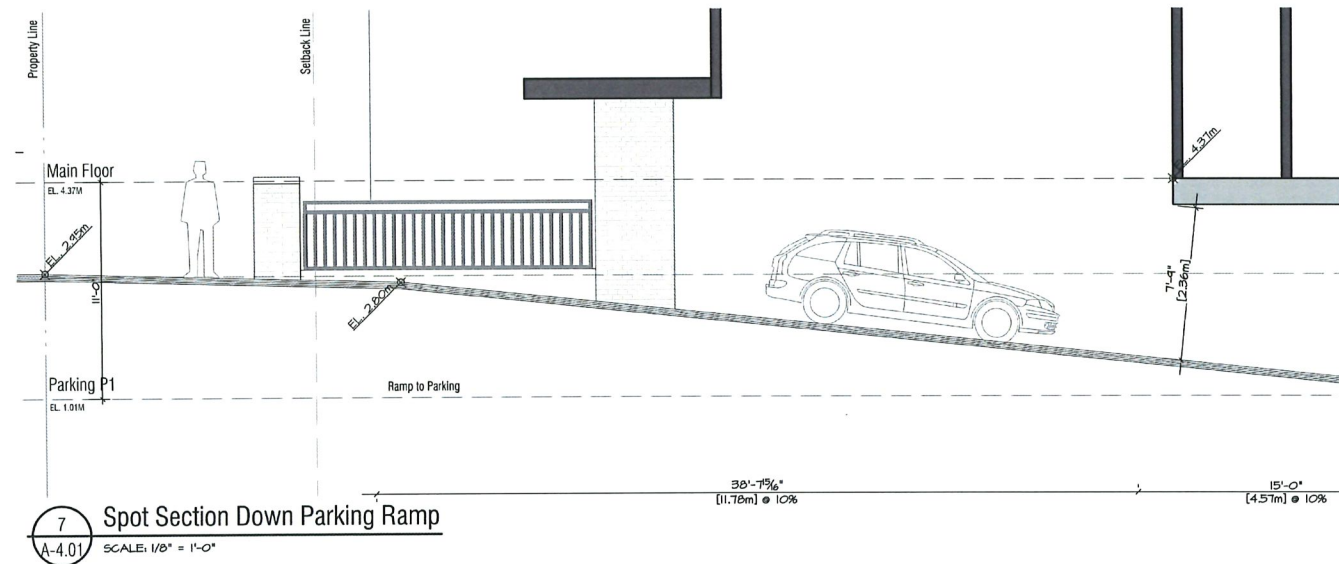


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Spot Sections 1

Scale: 1/8" = 1'-0"
May 30, 2023

A-4.00



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Dec 4, 2020
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Dec 23, 2020
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Development Permit Submission

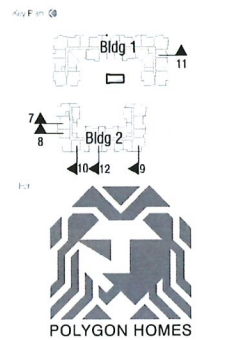
November 21, 2022
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Resubmission #3 for Development Permit

May 30, 2023
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DP Plan # 36
May 30, 2023
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Richmond, B.C.

Spot Sections 2

Scale: 1/8" = 1'-0"
May 30, 2023

A-4.01



Landscape with Boulders



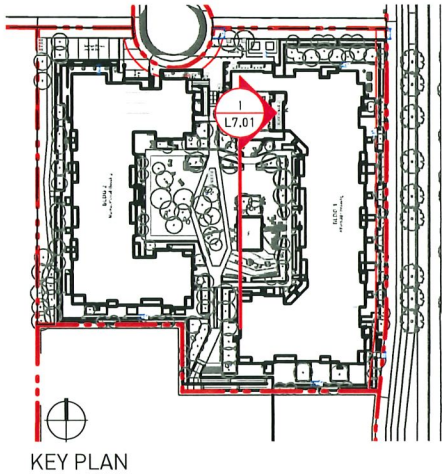
Bird Drinking Bowl



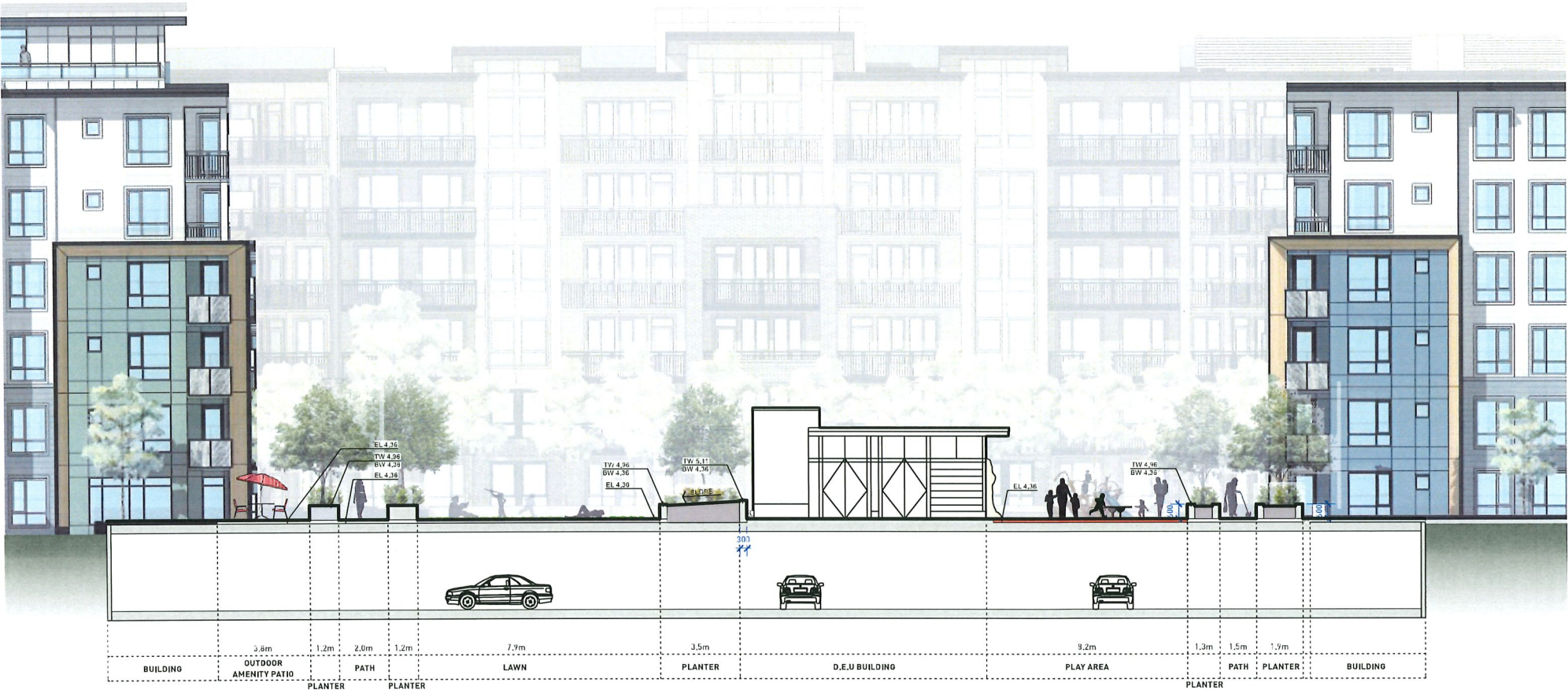
Landscape with Logs



Planter with Seating



KEY PLAN



1 West Courtyard Elevation
Scale: 1:200



PWL Partnership Landscape Architects Inc.
5th Floor, East Asiatic House
1201 West Pender Street
Vancouver BC Canada V6E 2V2
www.pwlpartnership.com
T 604.688.5111
F 604.688.6112

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 37
May 30, 2023
DP 22-015851

PROJECT	
TALISTAR	
ADDRESS	
CAMBIE ROAD AND SEXSMITH ROAD, RICHMOND, BC	
DRAWING TITLE	
LOT 1 SECTION 27 AND 28 BLOCK 5 NORTH RANGE 6 WEST NWD PLAN FPP120534	

SECTIONS

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NORTH	SCALE
	1:200

PROJECT NO.	19057
DATE	2022-05-09
FILE NAME	19057 SECTION 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	JO

DRAWING

L7.01



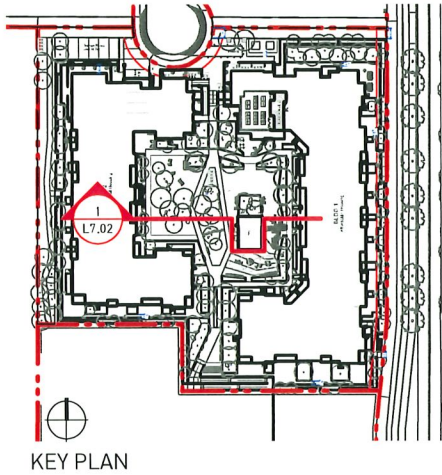
Courtyard Experience



Landscape Mound



Planter with Seating



KEY PLAN



1 North Courtyard Elevation
Scale: 1:200



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5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 38
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

SECTIONS

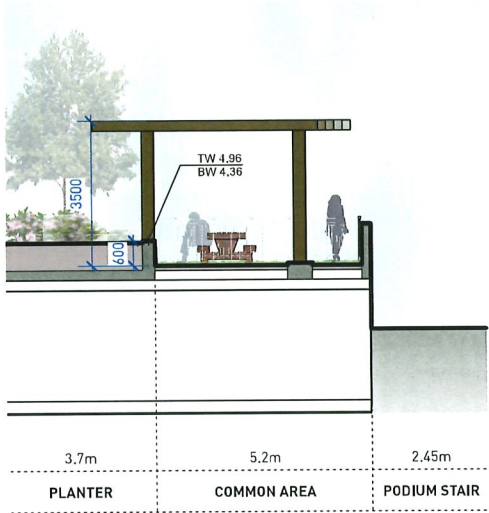
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NORTH	SCALE
	1:200

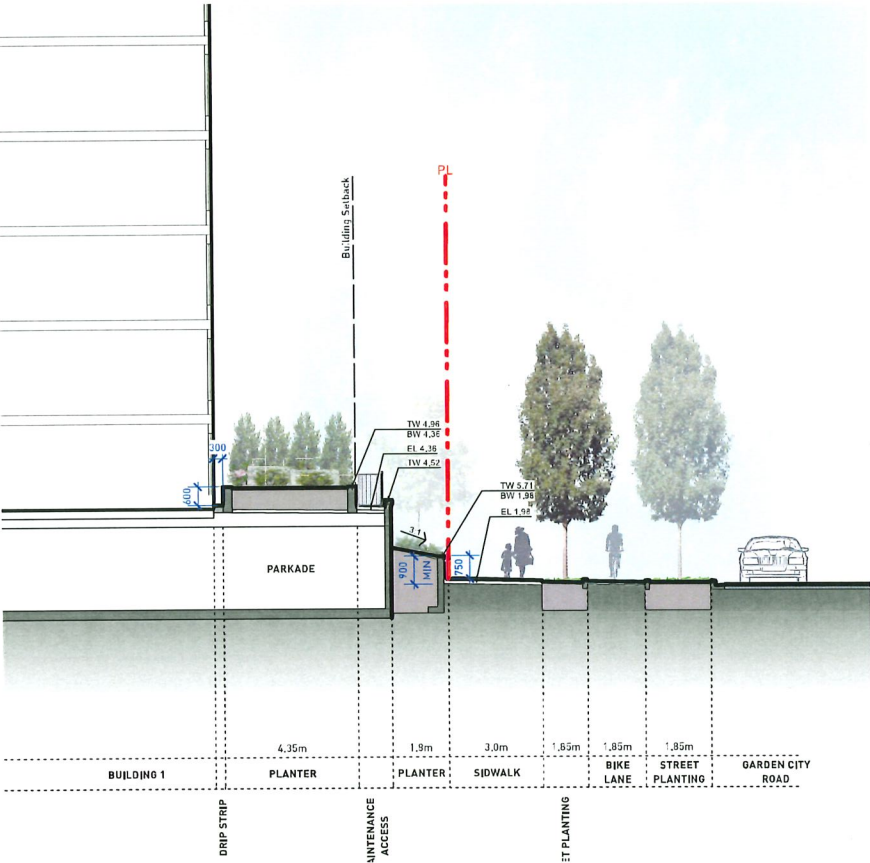
PROJECT NO.	19057
DATE	2022-05-09
FILE NAME	19057 SECTION 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	JO

DRAWING

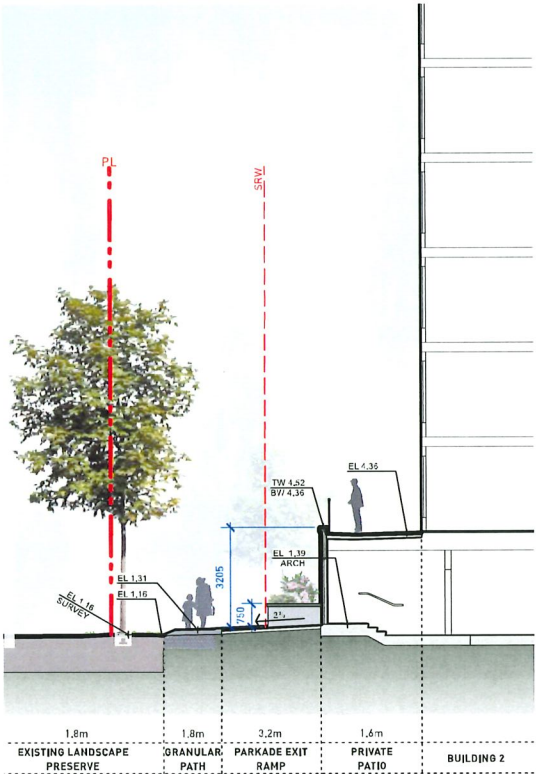
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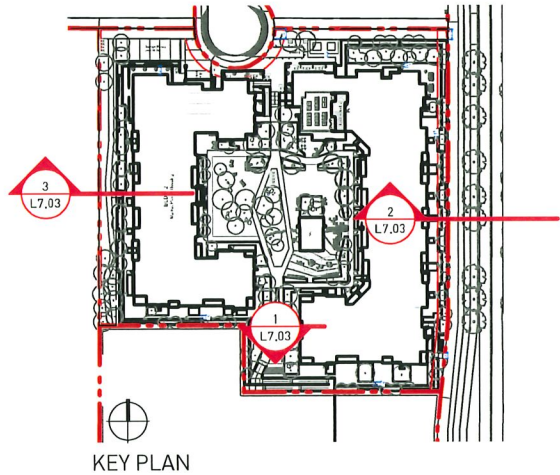
1 Trellis Elevation
Scale: 1:150



2 Wall Section Along Garden City Road
Scale: 1:200



3 Wall Section Along West Parkway
Scale: 1:200



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DP Plan # 39
May 30, 2023
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PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

SECTIONS






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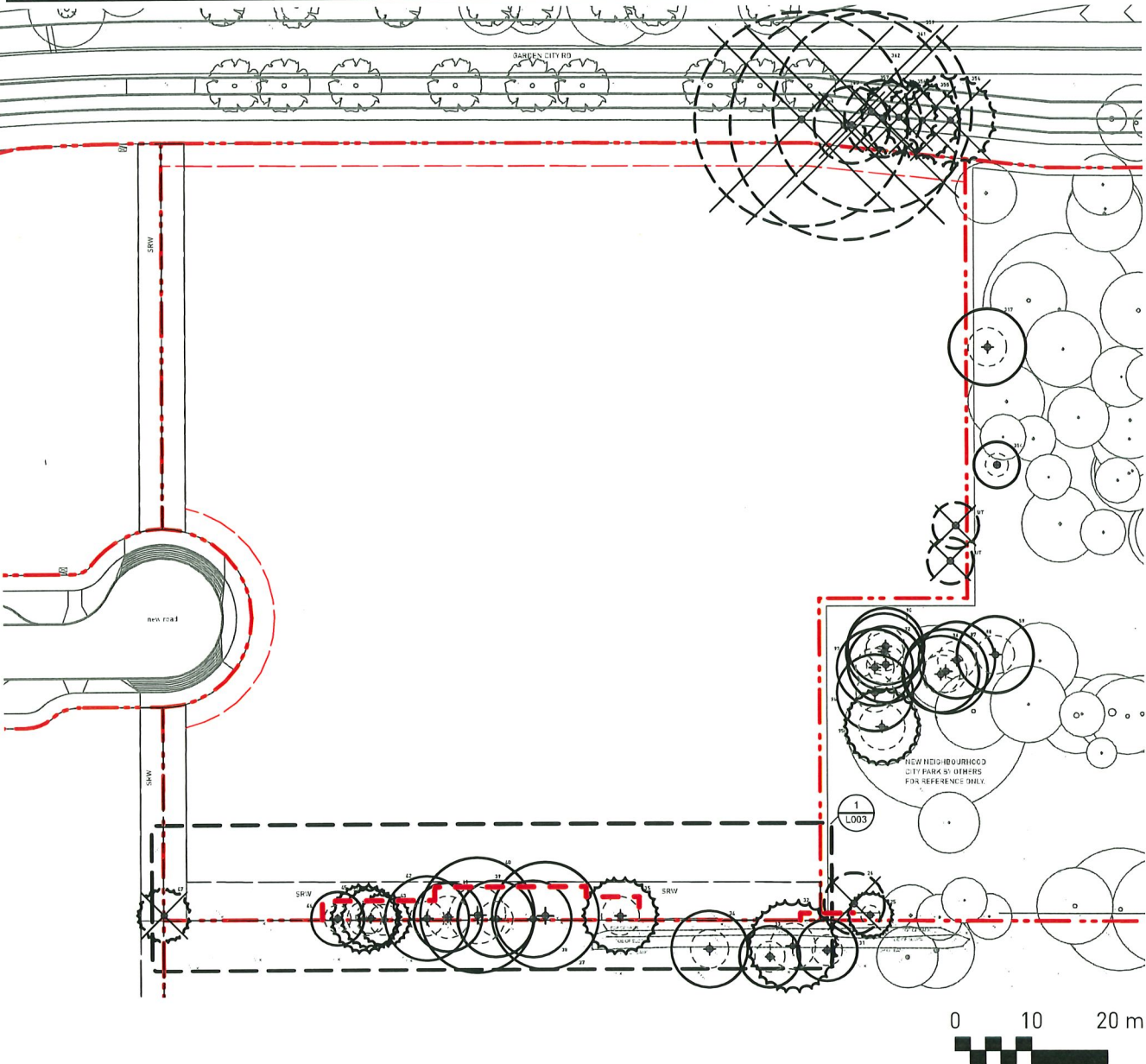
NORTH	SCALE
	AS SHOWN

PROJECT NO.	19057
DATE	2022-05-09
FILE NAME	19057 SECTION 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	JO

DRAWING

L7.03

TREE MANAGEMENT LEGEND					
KEY	DESCRIPTION	KEY	DESCRIPTION	KEY	DESCRIPTION
	DECIDUOUS TREE TO BE REMOVED		DECIDUOUS TREE TO BE RETAINED		TREE PROTECTION FENCE
	CONIFEROUS TREE TO BE REMOVED		CONIFEROUS TREE TO BE RETAINED		



NOTE: TREE MANAGEMENT PLAN IS COMPLIANCE WITH ARBORIST TMP ATTACHED TO THE RZ 18-836123. PLEASE READ THIS PLAN IN CONJUNCTION WITH THE ARBORIST REPORT.

TREE PROTECTION GENERAL NOTES

- A. EXCAVATION AROUND TREES**
- EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
 - DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
 - TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES**
- HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
 - USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
 - RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES**
- TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
 - DO NOT CUT MAIN LATERAL ROOTS.
 - CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
 - ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS**
- DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
 - B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
 - TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
 - WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.

NOTE: REFER TO CIVIL AND OFFSITE PACKAGE FOR ALL OFFSITE INFORMATION



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5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 40
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS


CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPP120534

DRAWING TITLE






TREE MANAGEMENT PLAN

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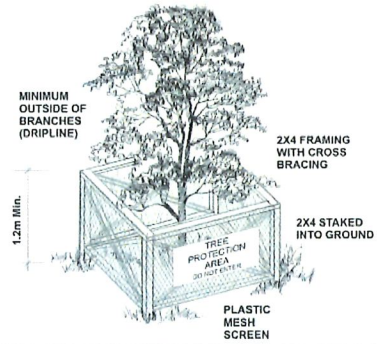
NORTH	SCALE
	1:700
PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L0.02

TREE MANAGEMENT LEGEND					
KEY	DESCRIPTION	KEY	DESCRIPTION	KEY	DESCRIPTION
	DECIDUOUS TREE TO BE REMOVED		DECIDUOUS TREE TO BE RETAINED		TREE PROTECTION FENCE
	CONIFEROUS TREE TO BE REMOVED		CONIFEROUS TREE TO BE RETAINED		


NOTE: TREE MANAGEMENT PLAN IS COMPLIANCE WITH ARBORIST TMP ATTACHED TO THE RZ 18-836123. PLEASE READ THIS PLAN IN CONJUNCTION WITH THE ARBORIST REPORT.



NOTE:
WOOD FRAME CONSTRUCTION STAKED INTO THE GROUND IS REQUIRED.
(METAL FRAMING DOES NOT MEET CITY STANDARDS)

TREE TRUNK DIAMETER			DISTANCE FROM TRUNK			TOTAL DIAMETER		
cm	inches	feet	m	feet	m	feet	m	feet
20	8	0.5	1.2	3.9	2.60	8.5		
25	10	0.8	1.5	4.9	3.25	10.7		
30	12	1.0	1.8	5.9	3.90	12.8		
35	14	1.2	2.1	6.9	4.55	14.9		
40	16	1.3	2.4	7.9	5.20	17.1		
45	18	1.5	2.7	8.9	5.85	19.2		
50	20	1.7	3.0	9.8	6.50	21.3		
55	22	1.8	3.3	10.8	7.15	23.5		
60	24	2.0	3.6	11.8	7.80	25.6		
75	25	2.3	4.5	14.8	9.75	32.0		
90	32	3.0	5.0	18.4	10.90	35.9		
100	35	3.3	6.0	19.7	13.00	42.7		

TREE PROTECTION TABLE
MINIMUM PROTECTION REQUIRED AROUND TREE



TREE PROTECTION AND TREE PROTECTION DISTANCE TABLE		
TECH. :	SCALE : NTS	DRAWING NUMBER :
DR. :	DATE : DEC. 2010	P-70-SD
ENG. :	REV. :	SHEET No. : 1 OF 1



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1	2022-06-18	ISSUED FOR DP
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4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 41
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
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TREE MANAGEMENT PLAN

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NORTH



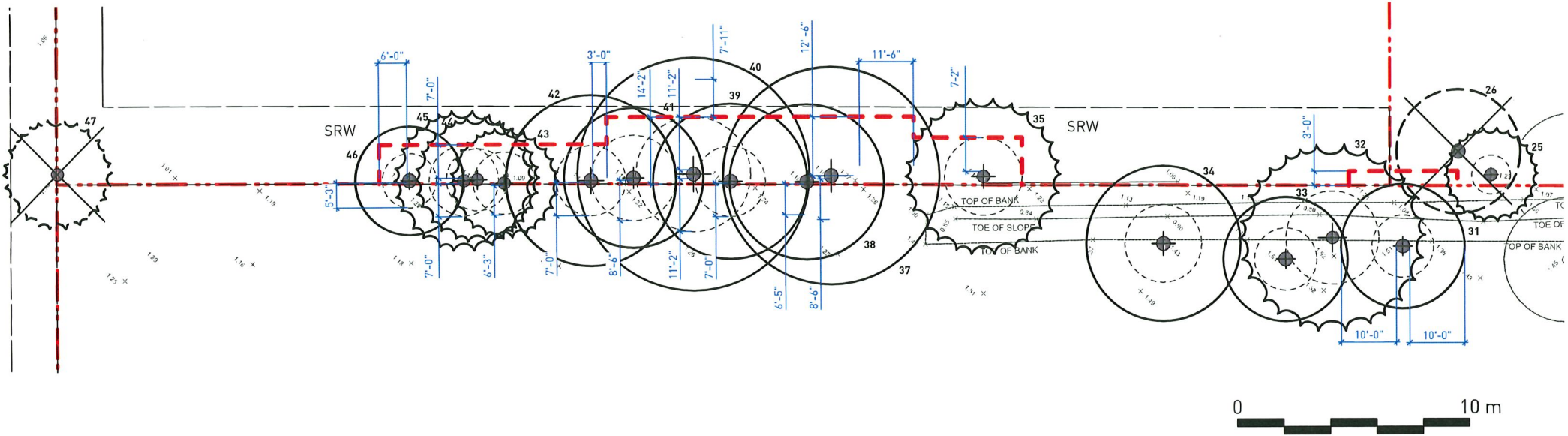
SCALE

1:200

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L0.03



Plant List
19057 TALISTAR

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks	Season of Colour	Mature Height
Trees								
ACR -N	11	Acer circinatum	Vine Maple	6 cm cal. (2.5" cal.)	As Shown	B&B, Nursery grown, minimum 3 stems	Fall	15' - 22'
ARA	18	Acer rubrum 'Armstrong'	Armstrong Red Maple	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.	Early spring and fall	40' - 50'
ARB	2	Acer rubrum 'Bowhall'	Bowhall Red Maple	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.	Early spring and fall	30' - 40'
ARR -N	3	Alnus rubra	Red Alder	6 cm cal. (2.5" cal.)	As Shown	B&B, Uniform branching, nursery grown	Early spring and fall	40' - 70'
AXG -N	22	Amelanchier x grandiflora	Serviceberry	6 cm cal. (2.5" cal.)	As Shown	B&B, Multi-stemmed, dense tree, nursery grown	Early spring and fall	15' - 22'
CBR	5	Carpinus betulus 'Frans Fontaine'	Frans Fontaine European Hornbeam	8 cm cal. (3" cal.)	As Shown	B&B, dense plant, good branching within 2' (0.6 m) of ground	Fall	30' - 40'
CKN -N	9	Cornus kousa x nuttallii 'Starlight'	Starlight Dogwood	6 cm cal. (2.5" cal.)	As Shown	B&B, Well branched, dense tree	Late spring and fall	25' - 30'
FLA -N	7	Fraxinus latifolia	Oregon Ash	6 cm cal. (2.5" cal.)	As Shown	B&B, Dense tree, nursery grown	Fall	60' - 80'
MGR	4	Magnolia grandiflora	Southern Magnolia	8 cm cal. (2.75" cal.)	As Shown	B&B, Well branched, dense tree	All year and late spring	60' - 80'
PGL -N	10	Picea glauca	White Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree	All year	50' - 80'
POR	15	Picea omorika	Serbian Spruce	4 m ht. (13'-0" ht.)	As Shown	B&B, Well branched, dense tree	All year	50' - 60'
PSC -N	12	Picea sitchensis	Sitka Spruce	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown	All year	50' - 100'
PCN-1 -N	3	Pinus contorta	Shore Pine	2.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown	All year	20' - 50'
PCN-N	7	Pinus contorta	Shore Pine	3.5 m ht. (11'-6" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown	All year	20' - 50'
PSR	1	Prunus serrulata 'Shirofugen'	White Goddess Japanese Flowering Cherry	8 cm cal. (2.5" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8 m) std.	Spring	25' - 30'
SPS	5	Stewartia pseudocamellia	Japanese Stewartia	8 cm cal. (2.5" cal.)	As Shown	B&B, Well branched, dense tree	Spring	20' - 40'
SJC	4	Styrax japonica	Japanese Snowbell	8 cm cal. (2.5" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.	Summer and fall	20' - 30'
Shrubs								
AEG	80	Abelia 'Edward Goucher'	Edward Goucher Abelia	#3 pot	75cm (30")	Well established	Summer to fall	
AJC	42	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#3 pot	60 cm (24")	Well established	All year, spring bloom	
AJH	25	Azalea japonica 'Hino White'	Hino White Japanese Azalea	#3 pot	60 cm (24")	Well established	Early spring	
BMW	1267	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38 cm (15")	Well established	All year	
CTR	143	Choisya ternata	Mexican Orange Blossom	#3 pot	60 cm (24")	Well established	All year, spring or summer bloom	
HGR	129	Hydrangea quercifolia	Oak Leaf Hydrangea	#3 pot	75 cm (30")	Well established	Summer	
LPL	184	Lonicera pileata	Privet Honeysuckle	#1 pot	45cm (18")	30 cm (12") spread	All year	
NDM	92	Nandina domestica	Heavenly Bamboo	#3 pot	75 cm (30")	Well established	All year	
RJM	240	Rhododendron 'Jean Marie'	Jean Marie Rhododendron	#3 pot	90cm (36")	Well established	Spring	
RMF	66	Rhododendron 'Mrs. Furnival'	Mrs. Furnival Rhododendron	#3 pot	75cm (30")	Well established	All year, spring bloom	
SJP	297	Skimmia japonica	Japanese Skimmia	#2 pot	60cm (24")	Well established	All year, spring flowers, winter berries	
SBA	421	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#2 pot	60cm (24")	Well established	Summer	
TOS	540	Thuja occidentalis 'Smaragd'	Emerald Cedar	1.5m	60cm (24")	Well established, dense hedging plant / B & B	All year	
VOT	146	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	#3 pot	60 cm (24")	Well established, nursery grown	All year, new growth color in spring	
VDV	250	Viburnum davidii	David Viburnum	#2 pot	60cm (24")	Well established	All year, spring	
Ground Cover								
AUU	297	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Mimimum 3 leads, nursery grown	All year, spring bloom, fall berries	
ECP	698	Erica carnea 'Springwood Pink'	Spring Pink Winter Heath	#1 pot	38 cm (15")	15cm (6") height	All year, winter bloom	
LMB	306	Liriope muscari 'Big Blue'	Big Blue Lily-turf	#1 pot	38 cm (15")	Well established	All year, summer bloom	
PTM	489	Pachysandra terminalis	Japanese Spurge	#1 pot	38 cm (15")	10cm (4") height	All year, spring bloom	
Perennials								
ROF	458	Rosemarinus officinalis	Rosemary	#2 pot	45 cm (18")	Well established	Summer	
Ornamental Grasses								
CID	57	Carex morrowii 'Ice Dance'	Variegated Sedge	#2 pot	38cm (15")	Well established	All year	

NOTE:
-N = NATIVE TREE



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5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 42
May 30, 2023
DP 22-015851

PROJECT	
TALISTAR	
ADDRESS	
CAMBIE ROAD AND SEXSMITH ROAD, RICHMOND, BC	
LOT 1 SECTION 27 AND 28 BLOCK 5 NORTH RANGE 6 WEST NWD PLAN EPP120534	
DRAWING TITLE	
PLANT LIST	






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





NORTH	SCALE
	N/A

PROJECT NO.	19057		
DATE	2019-05-10		
FILE NAME	19057 PLAN 11x17_ADP.vwx		
PLOTTED	2023-05-31		
DRAWN	JW	REVIEWED	GB, JO

DRAWING

L3.02

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
	Modular Retaining Wall
	CIP Concrete Stair with Metal Handrail and Tactile Warning Strip
	Boulder and Timber Log
	Bird Drinking Bowl
	CIP Concrete Wall

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	Concrete Unit Paver Type A
	Concrete Unit Paver Type B
	Concrete Unit Paver Type C
	Concrete Stepping Stone
	CIP Concrete Paving - Vehicular
	CIP Concrete Paving - Pedestrian
	Hydrapressed Pavers
	Drip Strip
	Resilient Rubber Surfacing
	Maintenance Path
	Granular Paving with Binder

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
	Table and Chair Type 1
	Table and Chair Type 2
	Chair
	Bench Type 1
	Bench Type 2
	Picnic Table
	Treillis
	Play Equipment Type 1
	Play Equipment Type 2
	Play Equipment Type 3
	Vertical Climbing Wall By Architecture
	Patio Gate / Maintenance Gate
	Urban Agriculture Planter
	Bike Rack
	Bollard with light
	Potting Table



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5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 43
May 30, 2023
DP 22-015851

PROJECT	
TALISTAR	
ADDRESS	
CAMBIE ROAD AND SEXSMITH ROAD, RICHMOND, BC	
LOT 1 SECTION 27 AND 28 BLOCK 5 NORTH RANGE 6 WEST NWD PLAN FPP120534	
DRAWING TITLE	

MATERIAL AND LEGEND

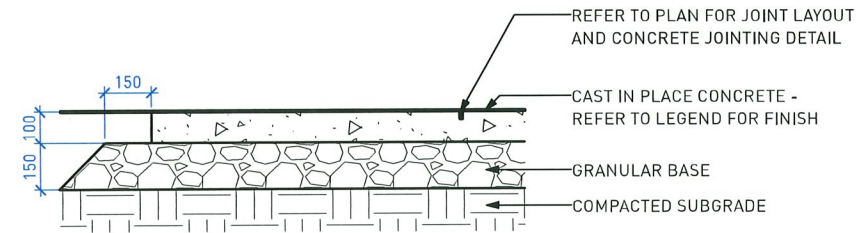
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NORTH	SCALE
	N/A

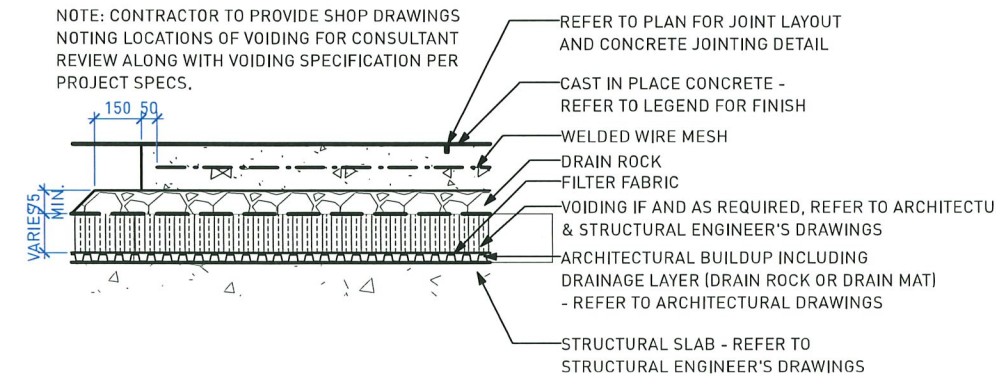
PROJECT NO.	19057		
DATE	2019-05-10		
FILE NAME	19057 PLAN 11x17_ADP .vwx		
PLOTTED	2023-05-30		
DRAWN	JW	REVIEWED	GB, JO

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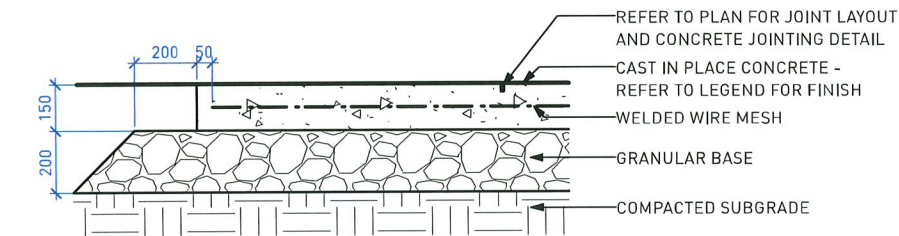
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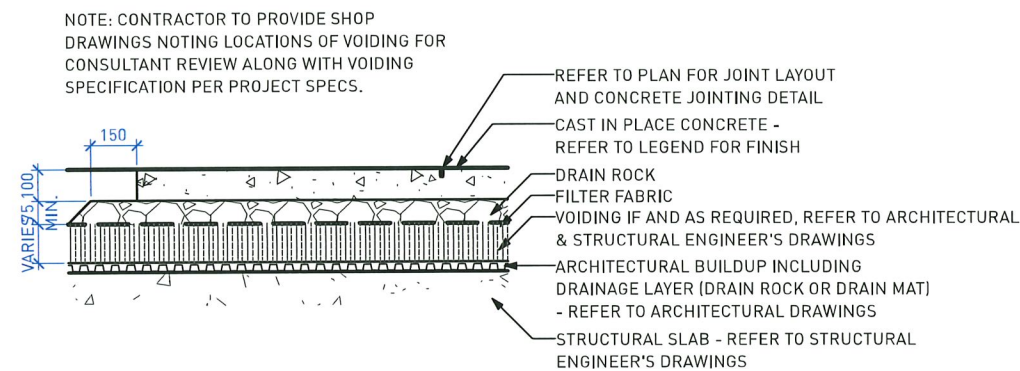
1 CAST IN PLACE CONCRETE ON GRADE: PEDESTRIAN AREAS
Scale: 1:20



2 CAST IN PLACE CONCRETE ON SLAB: VEHICULAR AREAS
Scale: 1:20



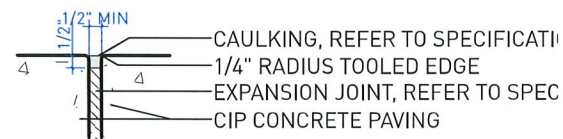
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Scale: 1:20



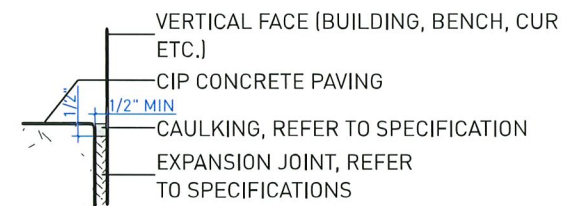
4 CIP CONCRETE ON SLAB: PEDESTRIAN AREAS
Scale: 1:20



SAW CUT CONTROL JOINT



EXPANSION JOINT PAVING TO PAVING



EXPANSION JOINT PAVING TO VERTICAL FACE

5 CONCRETE JOINTING
Scale: 1:5



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DP Plan # 44
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

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RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
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DETAILS

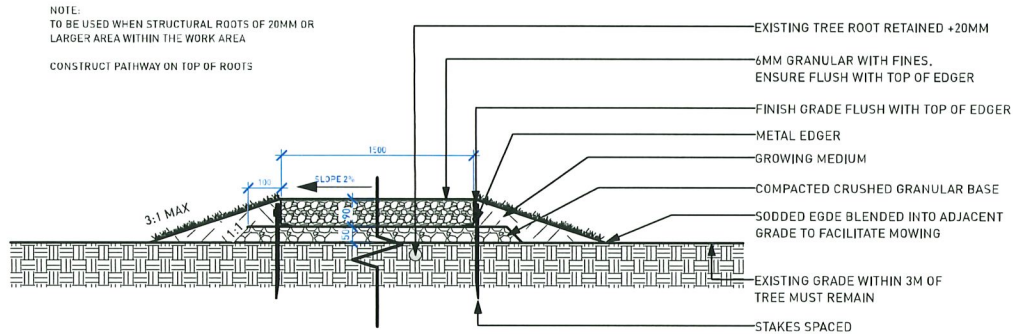
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NORTH	SCALE
	AS SHOWN

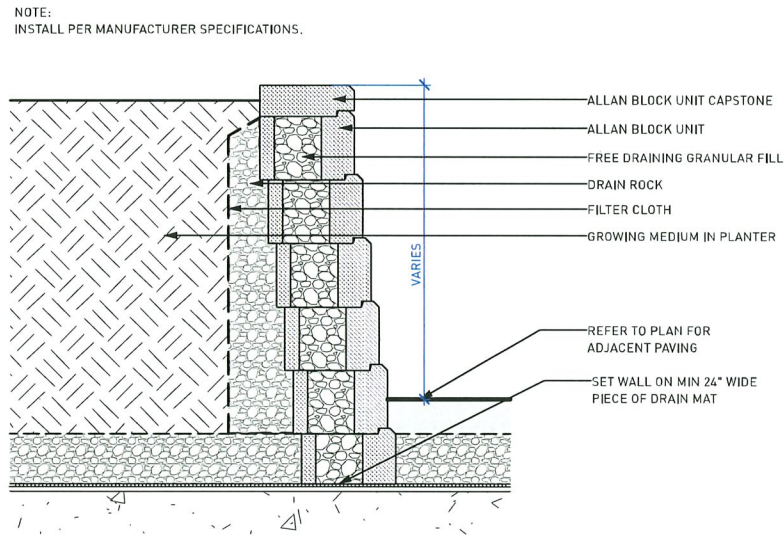
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DATE	2019-05-10
FILE NAME	19057 DETAIL 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

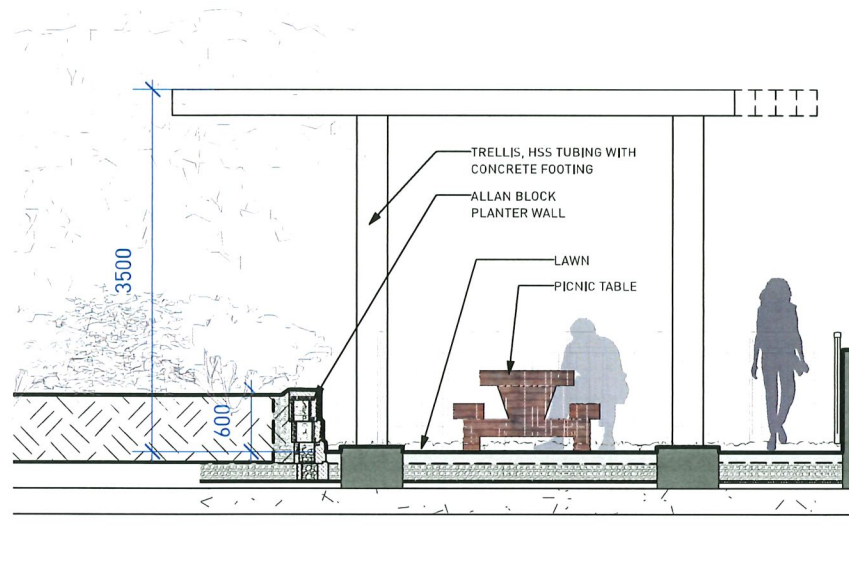
L8.01



1 CRUSHED AGGREGATE PAVING WITH SODDED EDGE BUILT OVER EXISTING TREE ROOTS
Scale: 1:20



2 ALLAN BLOCK RETAINING WALL ON SLAB
Scale: 1:20



3 COURTYARD TRELLIS
Scale: 1:60



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PROJECT

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DETAILS

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NORTH		SCALE	
		AS SHOWN	
PROJECT NO.	19057	DATE	2019-05-10
FILE NAME	19057 DETAIL 11x17_ADP.vwx	PLOTTED	2023-05-30
DRAWN	JW	REVIEWED	GB, JO

DRAWING

L8.03

LAYOUT AND MATERIALS GENERAL NOTES

1.

DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2.

LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3.

LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4.

VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5.

EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
6.

REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

GRADING GENERAL NOTES

1.

REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2.

CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
3.

GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4.

SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
5.

UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
6.

UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
7.

UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 [33%]. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
8.

UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
9.

TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
10.

TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.

GRADING LEGEND

EL 0.94m

+

Existing Elevation

EL 0.94m

+

Proposed Elevation

FFE 0.94m

+

Finished Floor Elevation

TW 0.94m

+

Proposed Top of Wall Elevation

BW 0.94m

+

Proposed Bottom of Wall Elevation

TS 0.94m

+

Proposed Top of Stair Elevation

BS 0.94m

+

Proposed Bottom of Stair Elevation

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.

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DP Plan # 46

May 30, 2023

DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
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EPP120534

MATERIAL AND LEGEND

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NORTH

SCALE

N/A

PROJECT NO.	19057		
DATE	2019-05-10		
FILE NAME	19057 PLAN 11x17_ADP.vwx		
PLOTTED	2023-05-30		
DRAWN	JW	REVIEWED	GB, JO

DRAWING

L1.01_B

DESIGN BUILD IRRIGATION SYSTEM
GENERAL NOTES

- DESIGN BUILD IRRIGATION DRAWINGS TO BE READ IN CONJUNCTION WITH PLANTING PLANS. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS AS PER SPECIFICATIONS. LAWN AREAS ZONED WITH OTHER PLANTED AREAS WILL BE REJECTED.
- AUTOMATIC IRRIGATION SYSTEM TO BE PROVIDED AS “DESIGN BUILD”. REFER TO SPECIFICATIONS FOR DESIGN AND SUBMISSION REQUIREMENTS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR TO PROVIDE IRRIGATION DESIGN DRAWINGS FOR CONSULTANT REVIEW AS PER SPECIFICATIONS. IRRIGATION INSTALLED PRIOR TO THE REVIEW OF DESIGN BUILD DRAWINGS BY THE CONSULTANT WILL BE REJECTED.
- LOCATION OF IRRIGATION SLEEVES NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC. PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE IRRIGATION SLEEVES UNDER PAVED AREAS AND THROUGH WALLS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL SLEEVE LOCATIONS ARE TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
- PRIOR TO THE START OF PROJECT CONSTRUCTION CONTRACTOR TO COORDINATE CONDUIT RUNS, SLEEVING AND MOUNTING LOCATION FOR RAIN SENSOR AS PER SPECIFICATIONS WITH GENERAL CONTRACTOR. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE. FINAL RAIN SENSOR LOCATION IS TO BE RECORDED ON THE AS-BUILT IRRIGATION DRAWINGS BY THE CONTRACTOR AS PER SPECIFICATIONS.
- IRRIGATION STUB-OUT LOCATIONS NOTED ON LANDSCAPE DRAWINGS ARE SCHEMATIC AND FOR REFERENCE ONLY. CONTRACTOR TO COORDINATE CONNECTION TO WATER SUPPLY WITH THE MECHANICAL CONTRACTOR. REFER TO MECHANICAL ENGINEER’S DRAWINGS.
- UNLESS OTHERWISE INDICATED THE IRRIGATION CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM AS PER SPECIFICATIONS. FOR CONTROLLER LOCATION IN MECHANICAL ROOM, SEE MECHANICAL ENGINEER’S DRAWINGS.
- CONTRACTOR TO COORDINATE CONTROLLER CONNECTION TO ELECTRICAL SUPPLY WITH ELECTRICAL CONTRACTOR. REFER TO ELECTRICAL ENGINEER’S DRAWINGS.
- IRRIGATION SYSTEM TO PROVIDE FULL HEAD TO HEAD COVERAGE.

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE BC LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS AND BC LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NUSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.



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F 604.688.5112

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 47
May 30, 2023
DP 22-015851

PROJECT
TALISTAR
ADDRESS
CAMBIE ROAD AND SEXSMITH ROAD, RICHMOND, BC
LOT 1 SECTION 27 AND 28 BLOCK 5 NORTH RANGE 6 WEST NWD PLAN FPP120534
DRAWING TITLE

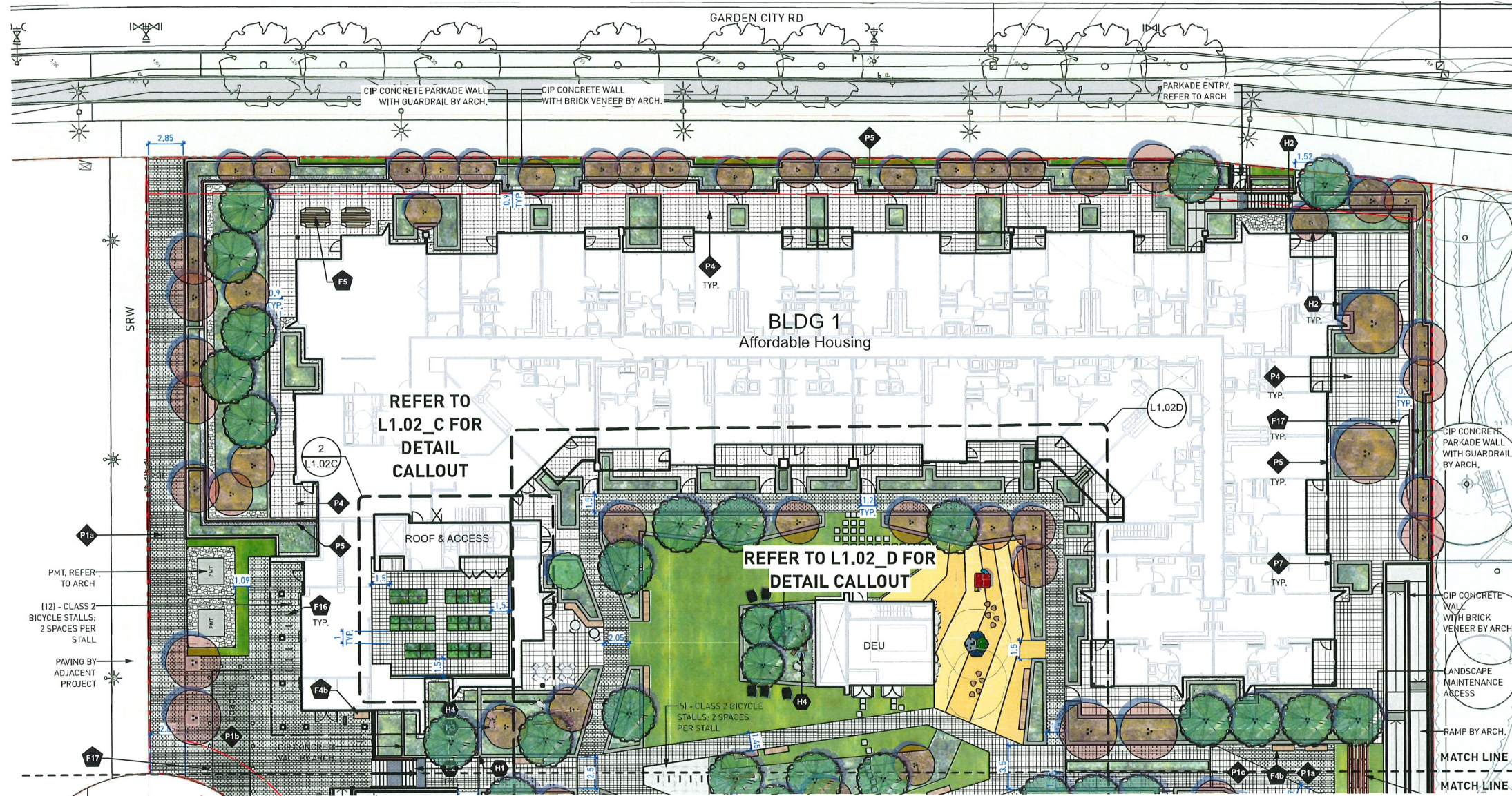
MATERIAL AND LEGEND

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NORTH		SCALE	
		N/A	
PROJECT NO.		19057	
DATE		2019-05-10	
FILE NAME		19057 PLAN 11x17_ADP.vwx	
PLOTTED		2023-05-30	
DRAWN	JW	REVIEWED	GB, JO

DRAWING

L1.01_C



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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 48
May 30, 2023
DP 22-015851

PROJECT	
TALISTAR	
ADDRESS	
CAMBIE ROAD AND SEXSMITH ROAD, RICHMOND, BC	
LOT 1 SECTION 27 AND 28 BLOCK 5 NORTH RANGE 6 WEST NWD PLAN EPP120534	
DRAWING TITLE	

LAYOUT AND MATERIALS PLAN	
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NORTH	SCALE
	1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L1.02_A





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4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 49
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

LAYOUT AND MATERIALS PLAN

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NORTH



SCALE

1:350

PROJECT NO.	19057		
DATE	2019-05-10		
FILE NAME	19057 PLAN 11x17_ADP .vwxd		
PLOTTED	2023-05-30		
DRAWN	JW	REVIEWED	GB, JO

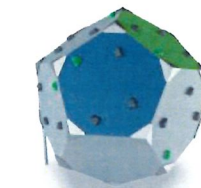
DRAWING

L1.02_B





F7 -KOMPAN - PLAYHOUSE



F9 - KOMPAN - BLOQX



F8 - KOMPAN - WATERLILIES



F12 -CLIMBING WALL

FOR LEGENDS AND NOTES
REFER TO DRAWING L1.01



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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 51
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

LAYOUT AND MATERIALS PLAN

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NORTH	SCALE
	1:200

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L1.02_D



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NO	DATE
----	------

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 52
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
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LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

LAYOUT AND MATERIALS PLAN

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NORTH



SCALE

1:200

PROJECT NO.	19057
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DATE 2019-05-10

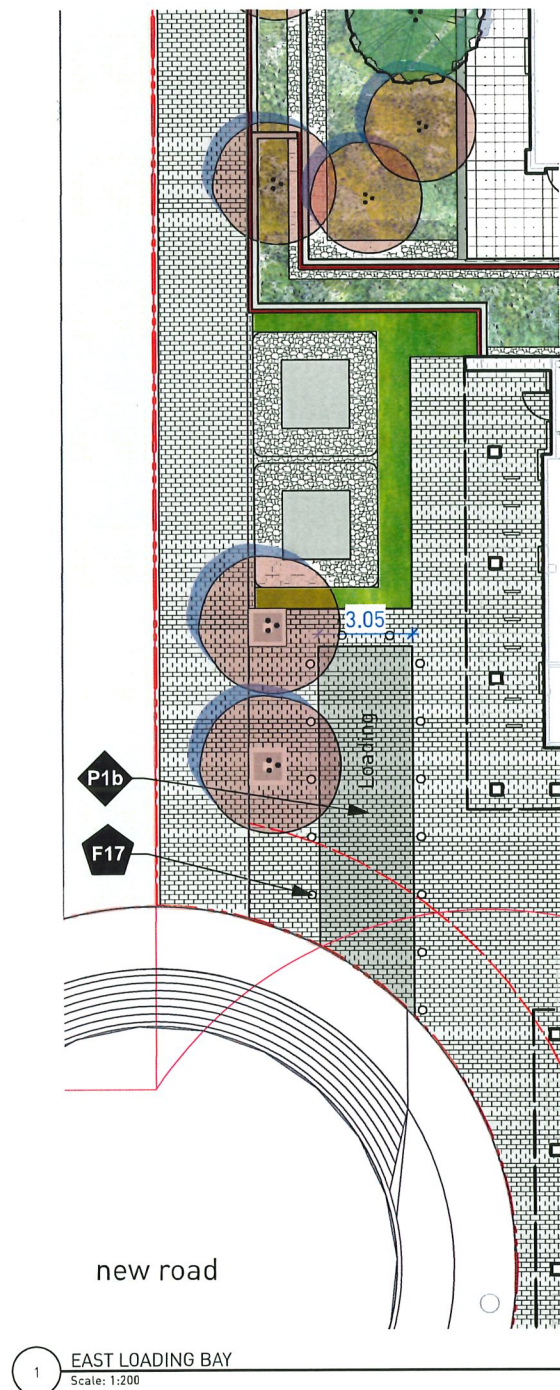
FILE NAME 19057 PLAN 11x17_ADP .vwX

PLOTTED 2023-05-31

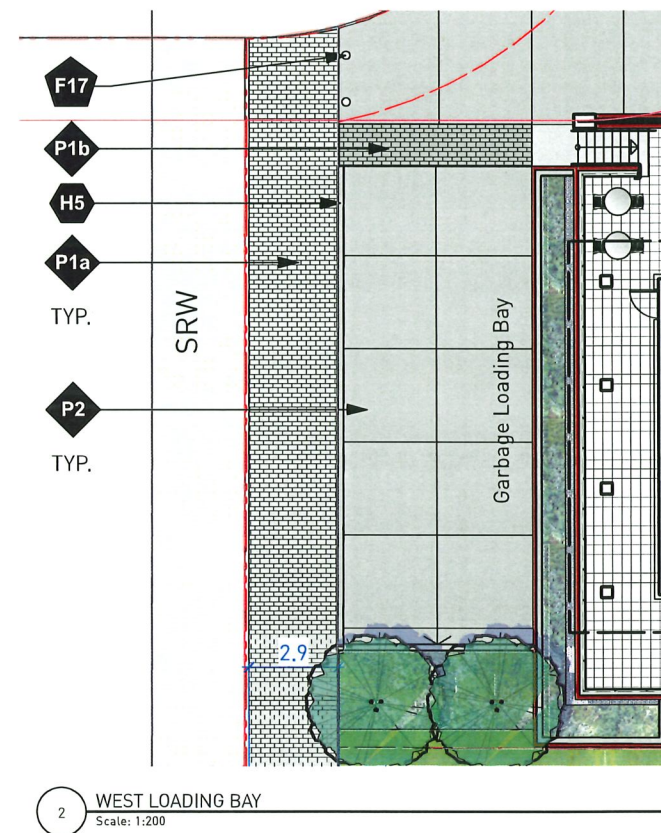
DRAWN	JW	REVIEWED	GB, JO
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DRAWING

L1.02_E

[illegible]

F17 - BOLLARD



2 WEST LOADING BAY
Scale: 1:200

FOR LEGENDS AND NOTES
REFER TO DRAWING L1.01A



DRAWING



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NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 53
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS
CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534
DRAWING TITLE

GRADING PLAN

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NORTH

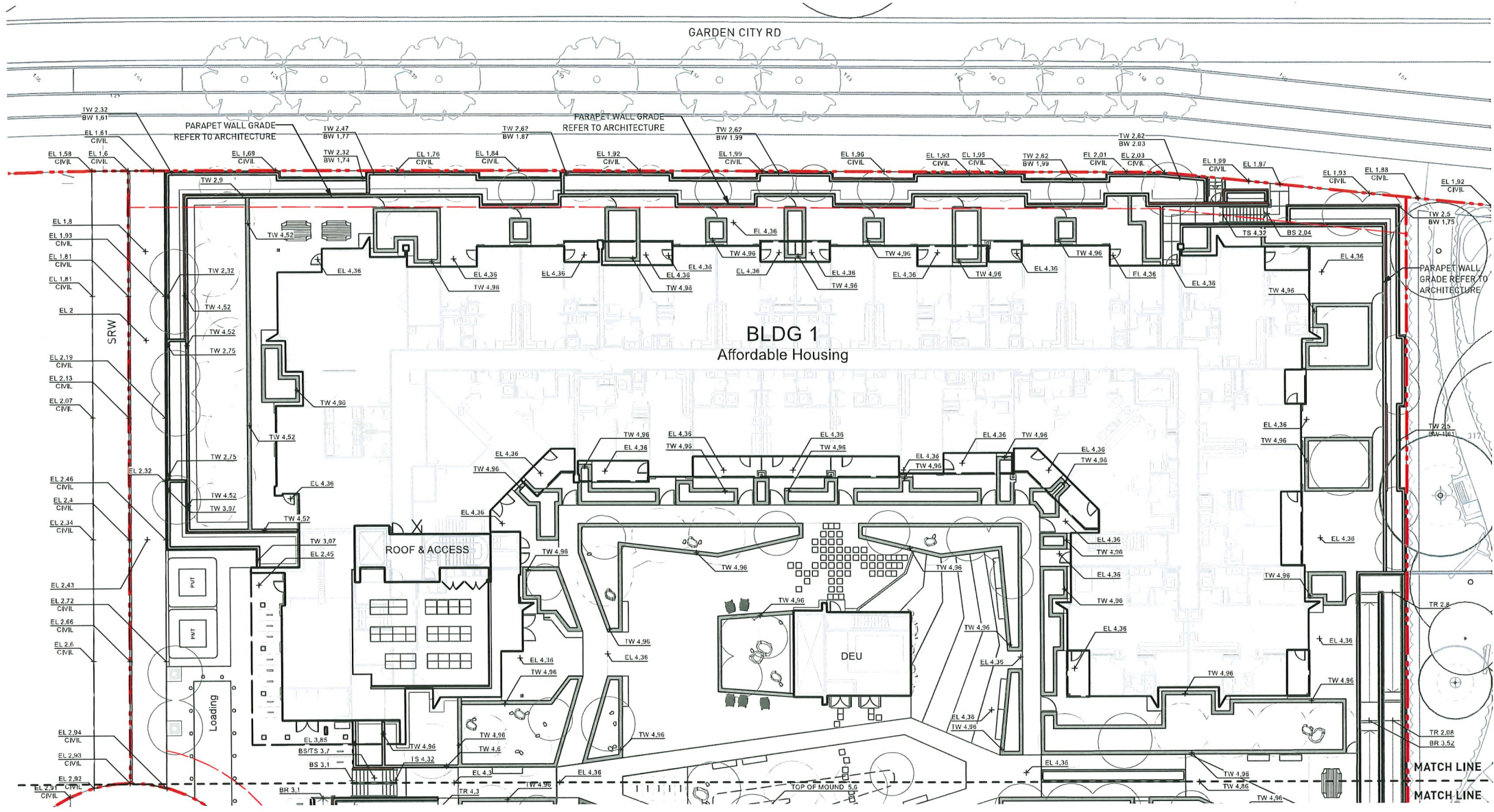
SCALE

1:350

A compass rose with a circle and a vertical line, and a scale bar consisting of a horizontal line with vertical tick marks.

PROJECT NO.	19057		
DATE	2019-05-10		
FILE NAME	19057 PLAN 11x17_ADP.vwx		
PLOTTED	2023-05-30		
DRAWN	JW	REVIEWED	GB, JO

DRAWING
L2.01_A





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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 54
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

GRADING PLAN

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NORTH SCALE

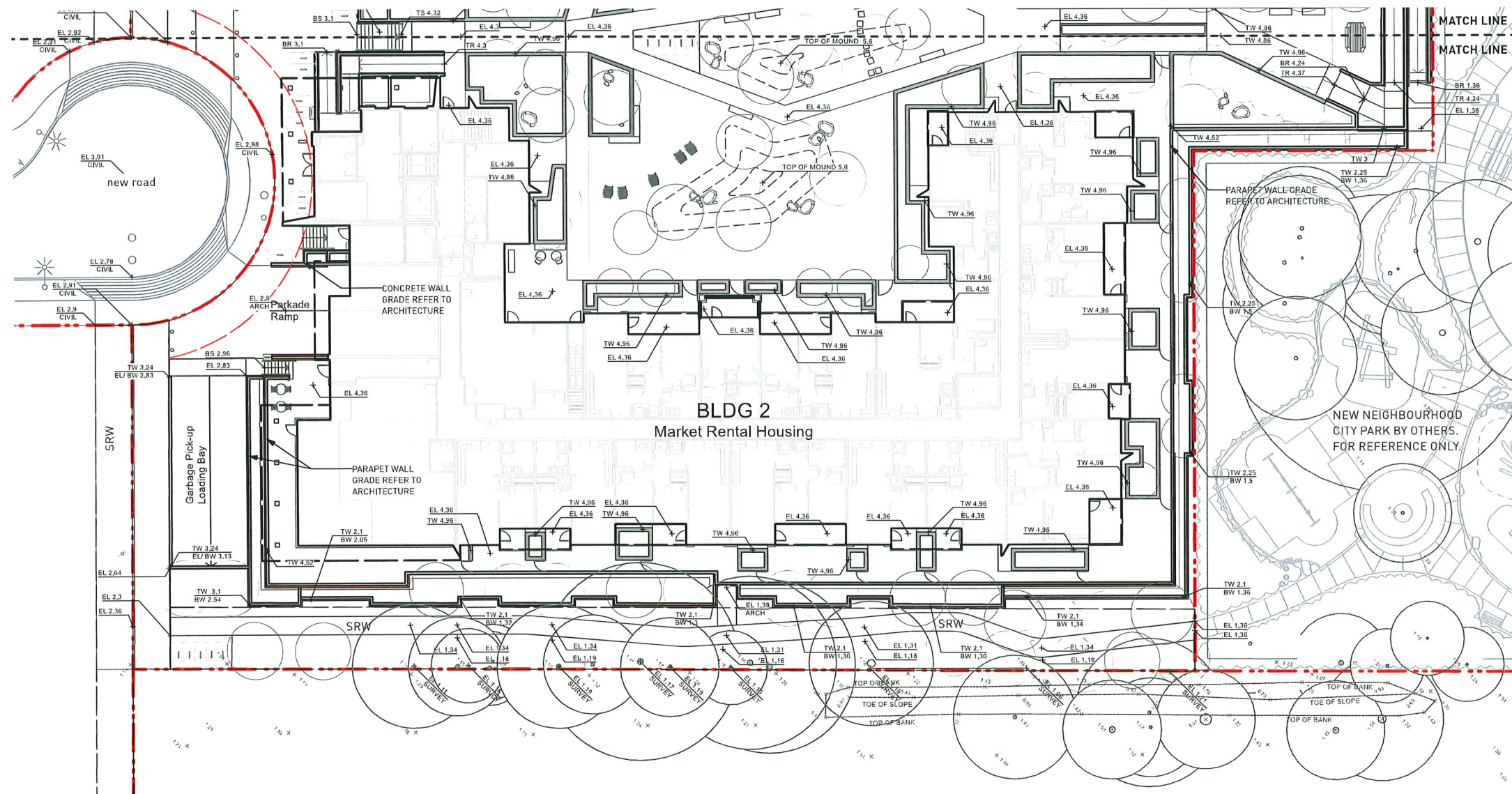


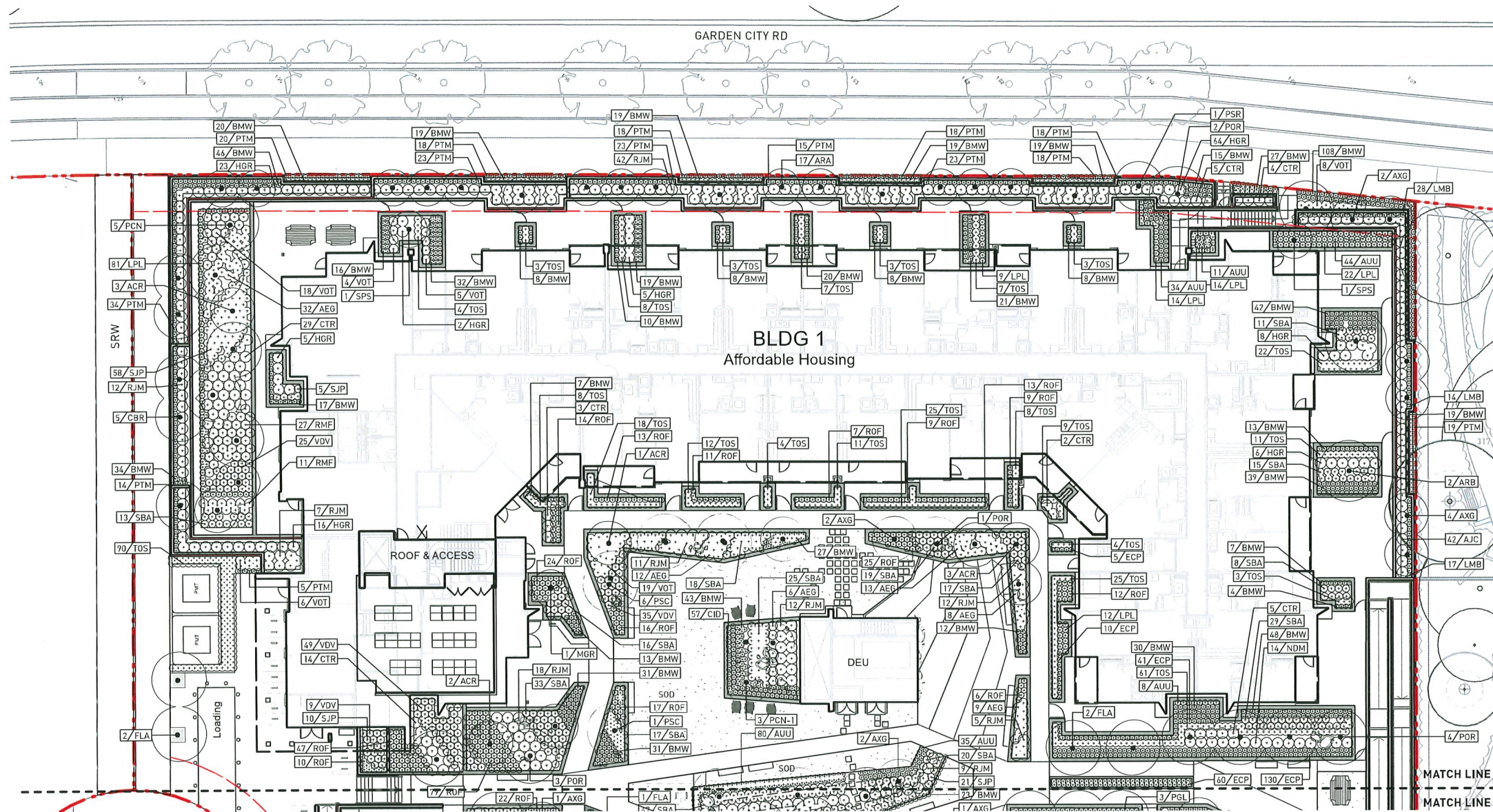
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PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-31
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L2.01_B





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NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 55
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534
DRAWING TITLE

PLANTING PLAN

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NORTH SCALE



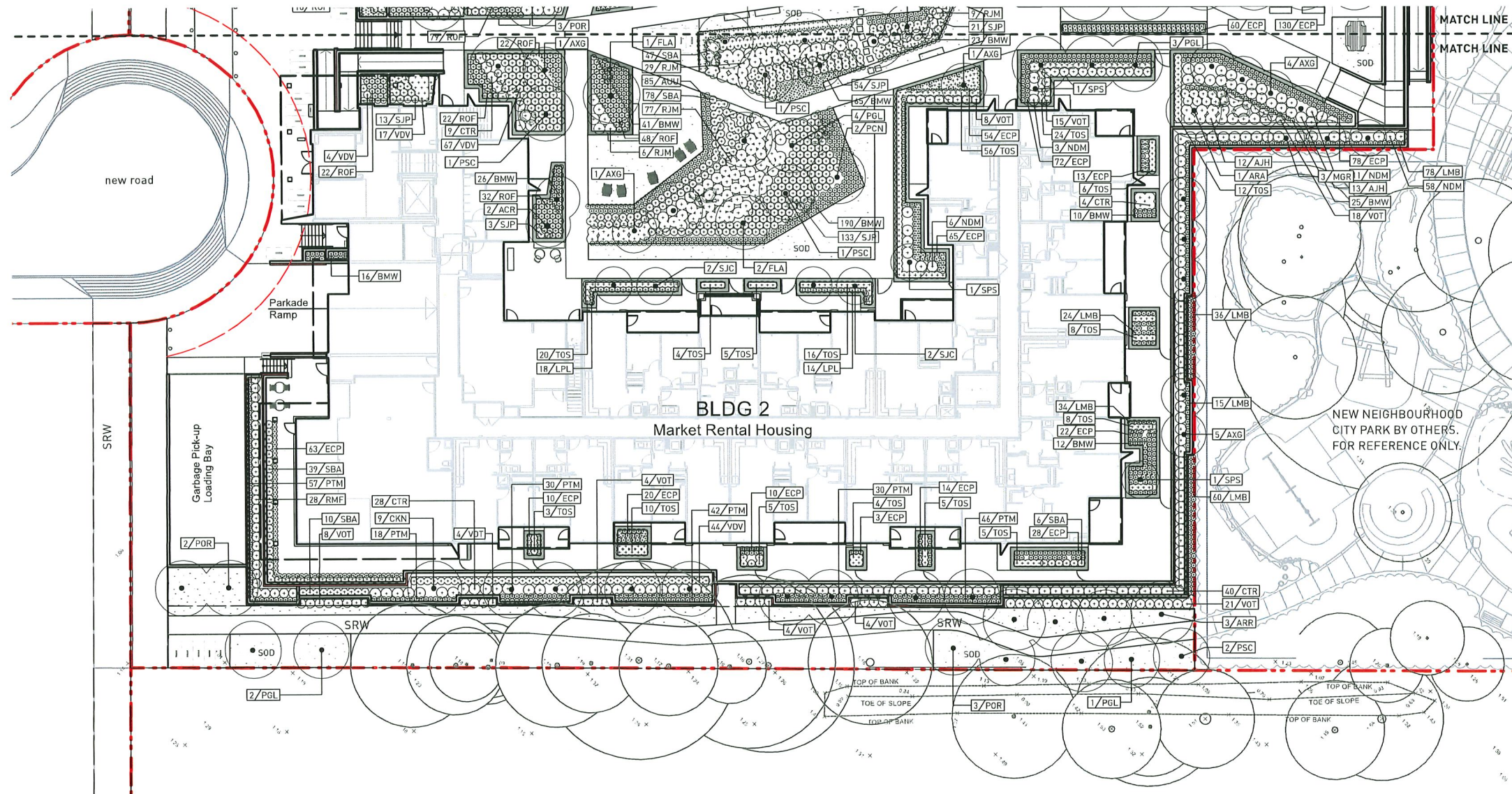
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PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L3.01_A





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REVISIONS AND ISSUES		
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 56
May 30, 2023
DP 22-015851

PROJECT
TALISTAR

ADDRESS
CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

PLANTING PLAN

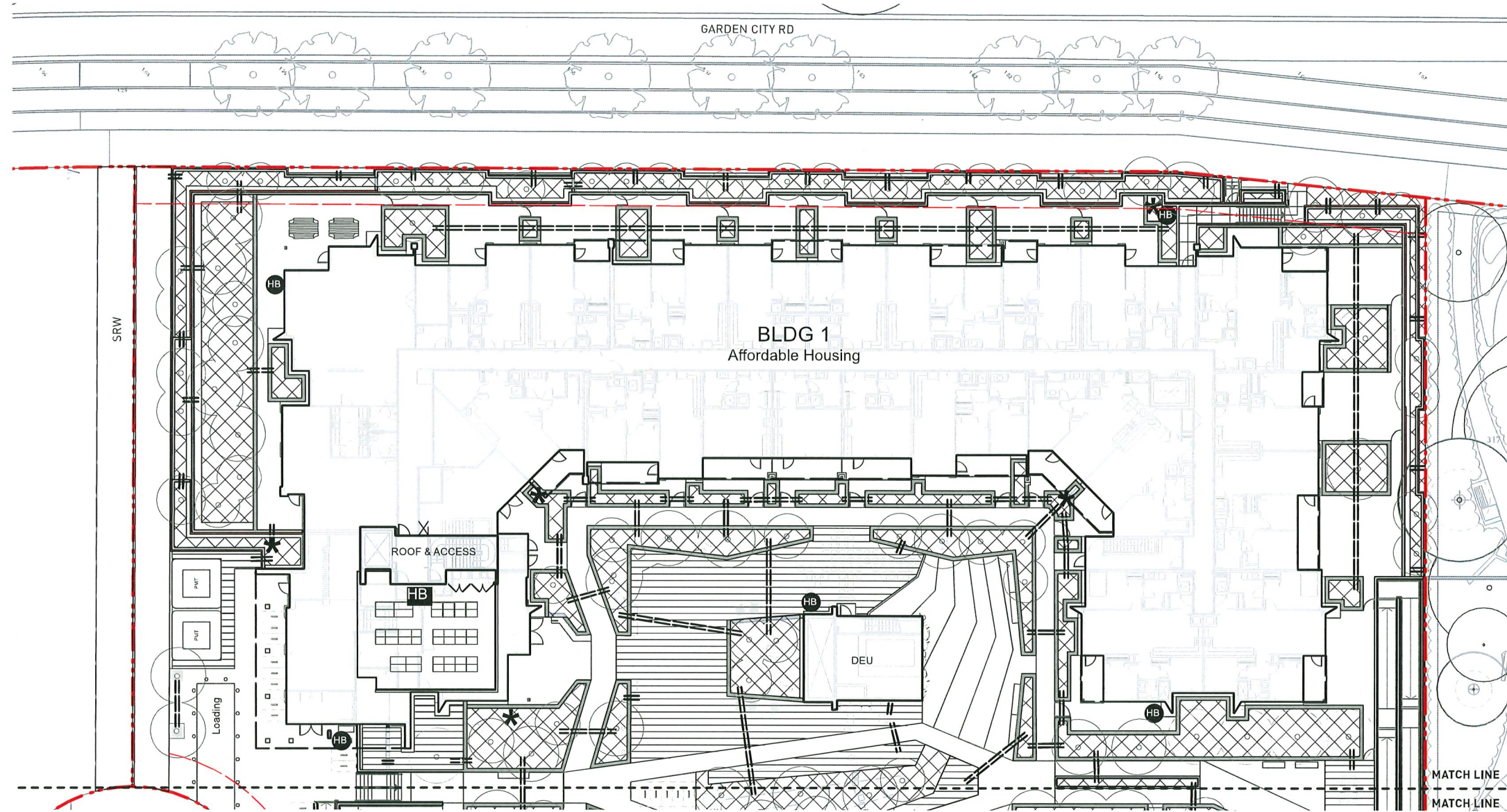
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NORTH	SCALE
	1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L3.01_B





IRRIGATION LEGEND

(ALL PLANTED AREAS WITHIN PROPERTY LINE TO RECEIVE IRRIGATION)



DRIP IRRIGATION AREA



SPRAY IRRIGATION AREA



IRRIGATION SLEEVE



IRRIGATION STUB OUT



HOSE BIB



PWL partnership

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REVISIONS AND ISSUES

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1	2022-06-18	ISSUED FOR DP
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 57
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

IRRIGATION PLAN

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NORTH



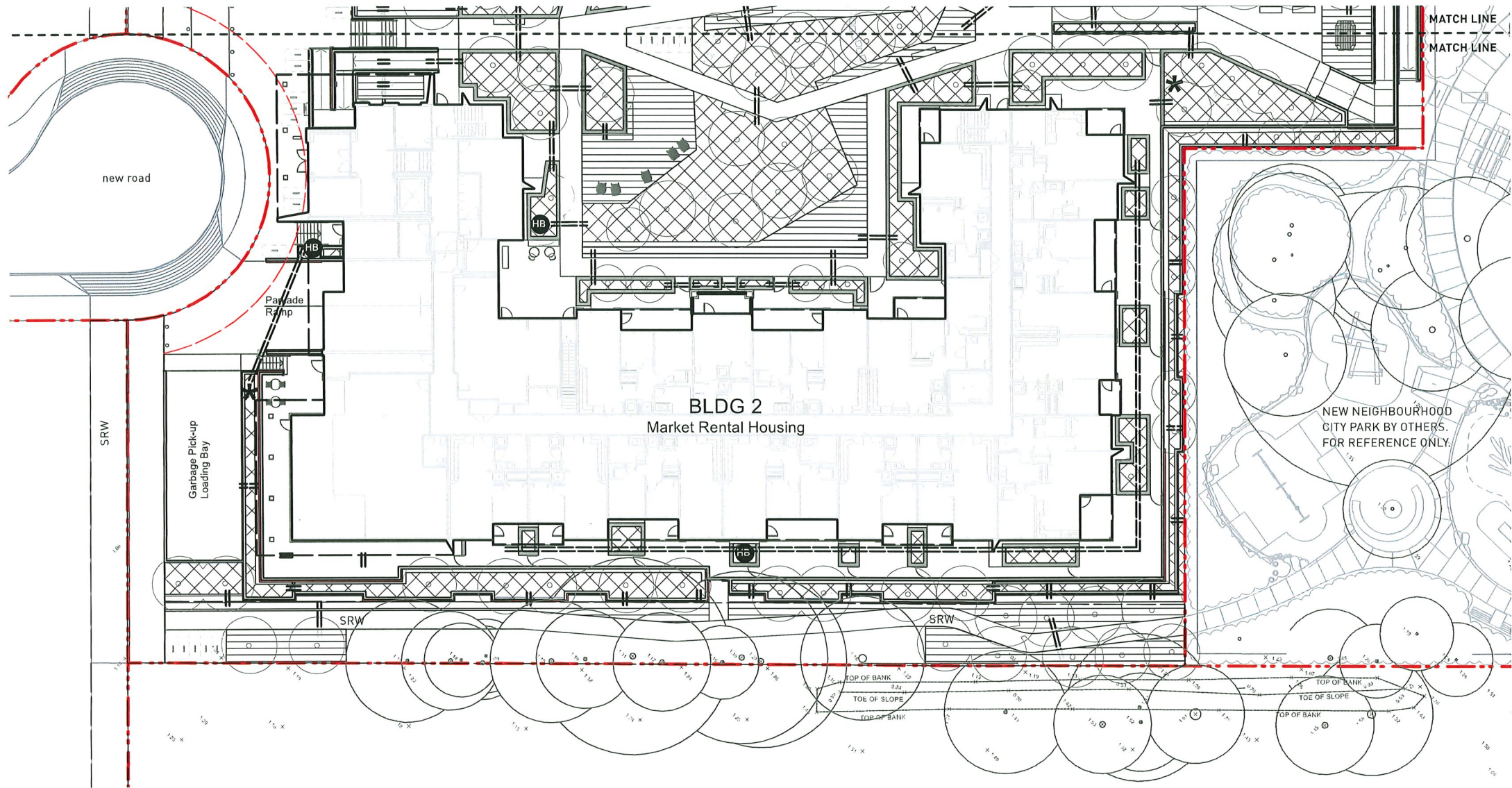
SCALE

1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING

L4.01_A



IRRIGATION LEGEND
(ALL PLANTED AREAS WITHIN PROPERTY LINE TO RECEIVE IRRIGATION)

	DRIP IRRIGATION AREA		IRRIGATION SLEEVE
	SPRAY IRRIGATION AREA		IRRIGATION STUB OUT
			HOSE BIB



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4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 58
May 30, 2023
DP 22-015851

PROJECT	
TALISTAR	
ADDRESS	
CAMBIE ROAD AND SEXSMITH ROAD, RICHMOND, BC	
LOT 1 SECTION 27 AND 28 BLOCK 5 NORTH RANGE 6 WEST NWD PLAN FPP120534	
DRAWING TITLE	

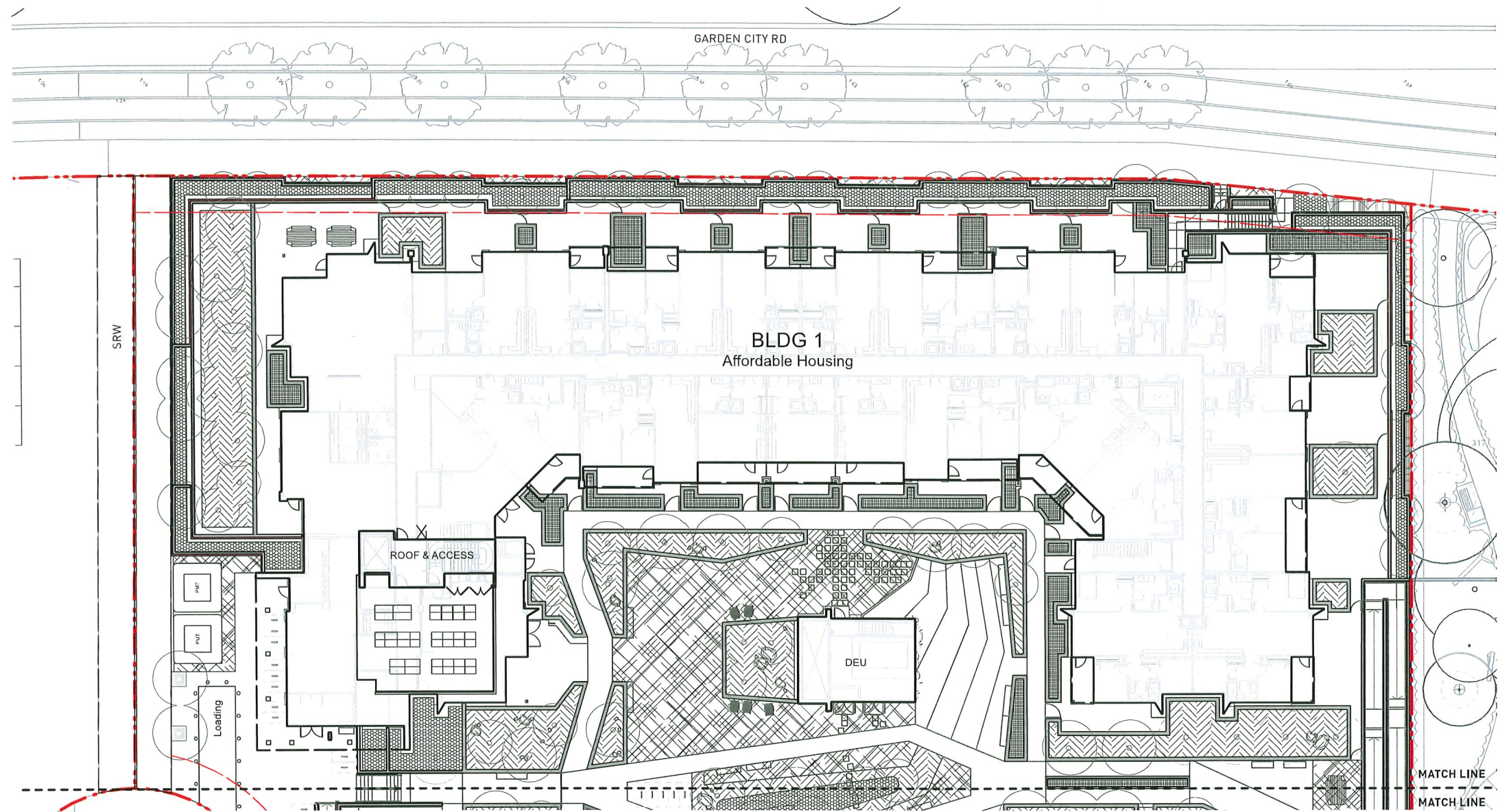
IRRIGATION PLAN

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NORTH	SCALE
	1:350

PROJECT NO.	19057
DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP .vwx
PLOTTED	2023-05-30
DRAWN	JW
REVIEWED	GB, JO

DRAWING
L4.01_B



SOIL DEPTH LEGEND	
	300MM DEPTH
	450MM DEPTH
	750MM PLUS MOUNTING TO 900MM DEPTH
	900MM DEPTH



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REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
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3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

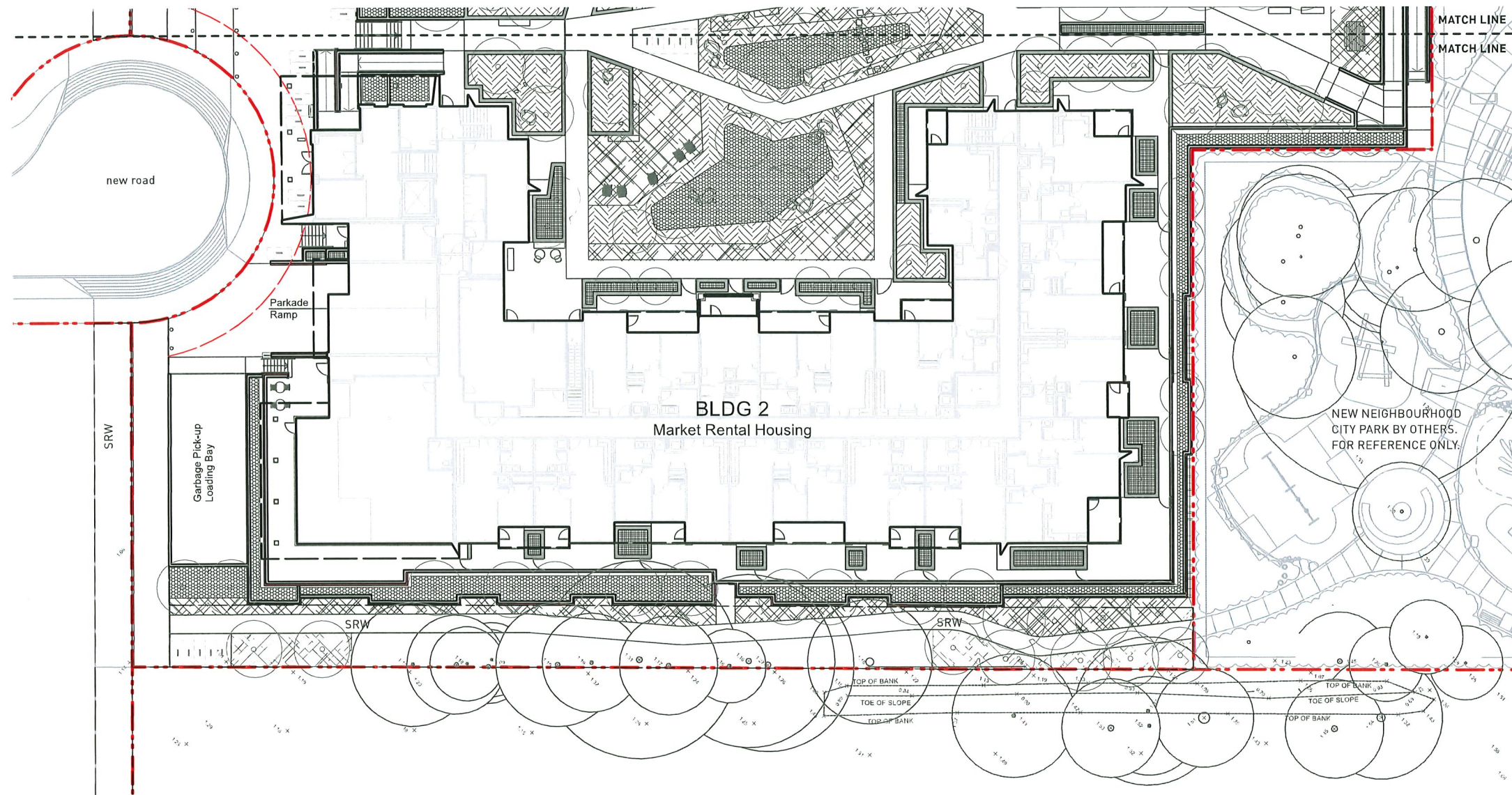
DP Plan # 59
May 30, 2023
DP 22-015851

PROJECT	
TALISTAR	
ADDRESS	
CAMBIE ROAD AND SEXSMITH ROAD, RICHMOND, BC	
DRAWING TITLE	
SOIL DEPTH PLAN	

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NORTH		SCALE	
		1:350	
PROJECT NO.	19057	DATE	2019-05-10
FILE NAME	19057 PLAN 11x17_ADP.vwx	PLOTTED	2023-05-30
DRAWN	JW	REVIEWED	GB, JO

DRAWING
L5.01_A



SOIL DEPTH LEGEND	
	300MM DEPTH
	450MM DEPTH
	750MM PLUS MOUNTING TO 900MM DEPTH
	900MM DEPTH



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4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 60
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
FPP120534

DRAWING TITLE

SOIL DEPTH PLAN

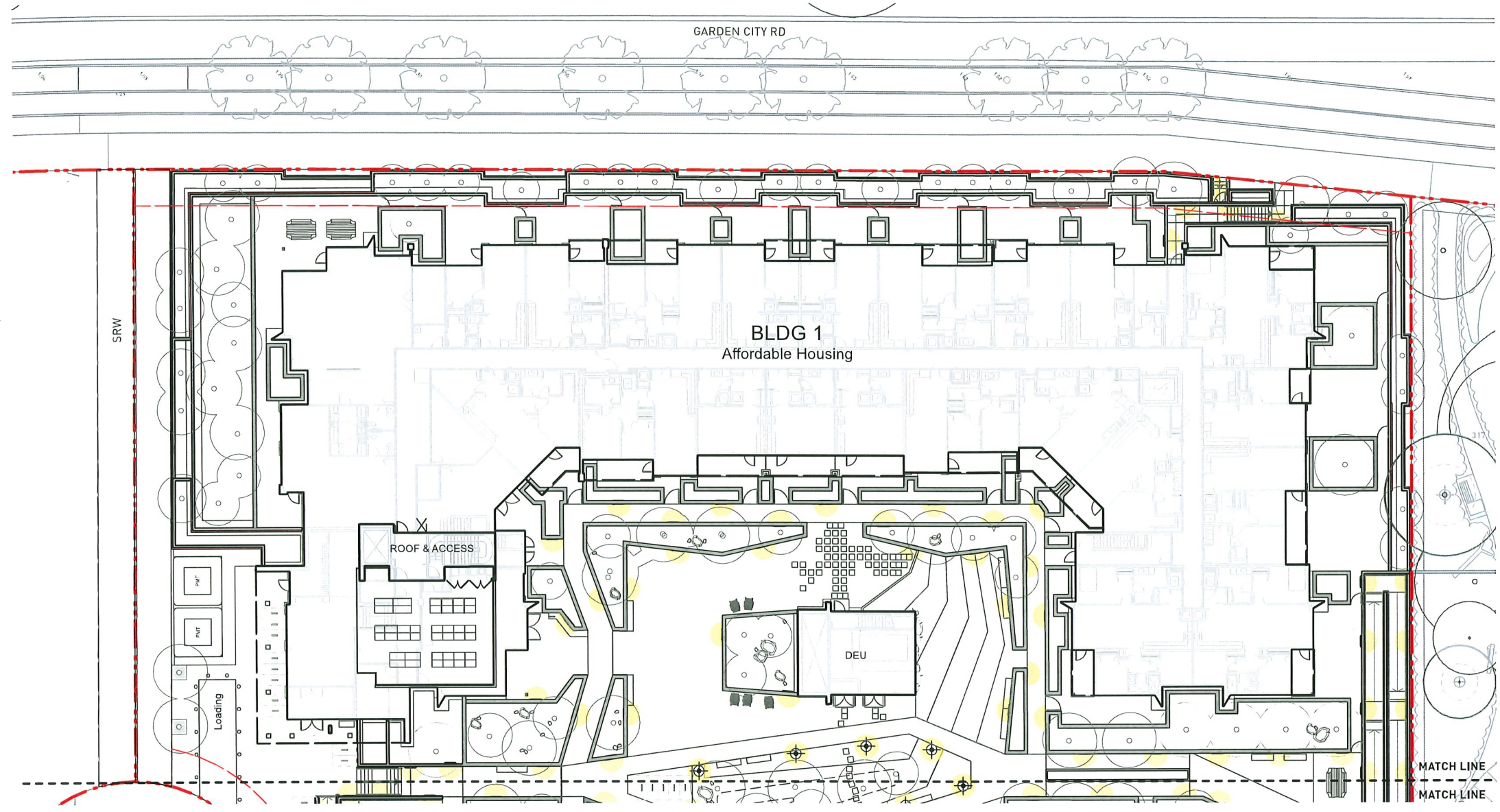
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NORTH	SCALE
	1:350

PROJECT NO.	19057		
DATE	2019-05-10		
FILE NAME	19057 PLAN 11x17_ADP.vwx		
PLOTTED	2023-05-30		
DRAWN	JW	REVIEWED	GB, JO

DRAWING

L5.01_B



LIGHTING LEGEND

DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE COORDINATION BETWEEN CONTRACTORS.

REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT, CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.



TYPE 1 - BOLLARD LIGHT



TYPE 2 - STEP LIGHT/WALL LIGHT

NOTE: LIGHTING FIXTURES ARE TO BE DIRECTED DOWNWARDS AND BE DARK SKY COMPLIANT. PLEASE READ THIS PLAN IN CONJUNCTION WITH ELECTRICAL ENGINEERING'S DRAWINGS.



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2022-06-18	ISSUED FOR DP
2	2023-01-17	ISSUED IN RESPONSE TO DP COMMENTS (TYP.)
3	2023-01-25	ISSUED FOR ADP
4	2023-03-08	ISSUED IN RESPONSE TO ADP COMMENTS
5	2023-05-30	ISSUED IN RESPONSE TO CITY'S COMMENTS

DP Plan # 61
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

CAMBIE ROAD AND SEXSMITH ROAD,
RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPR120534

DRAWING TITLE

LIGHTING PLAN

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NORTH



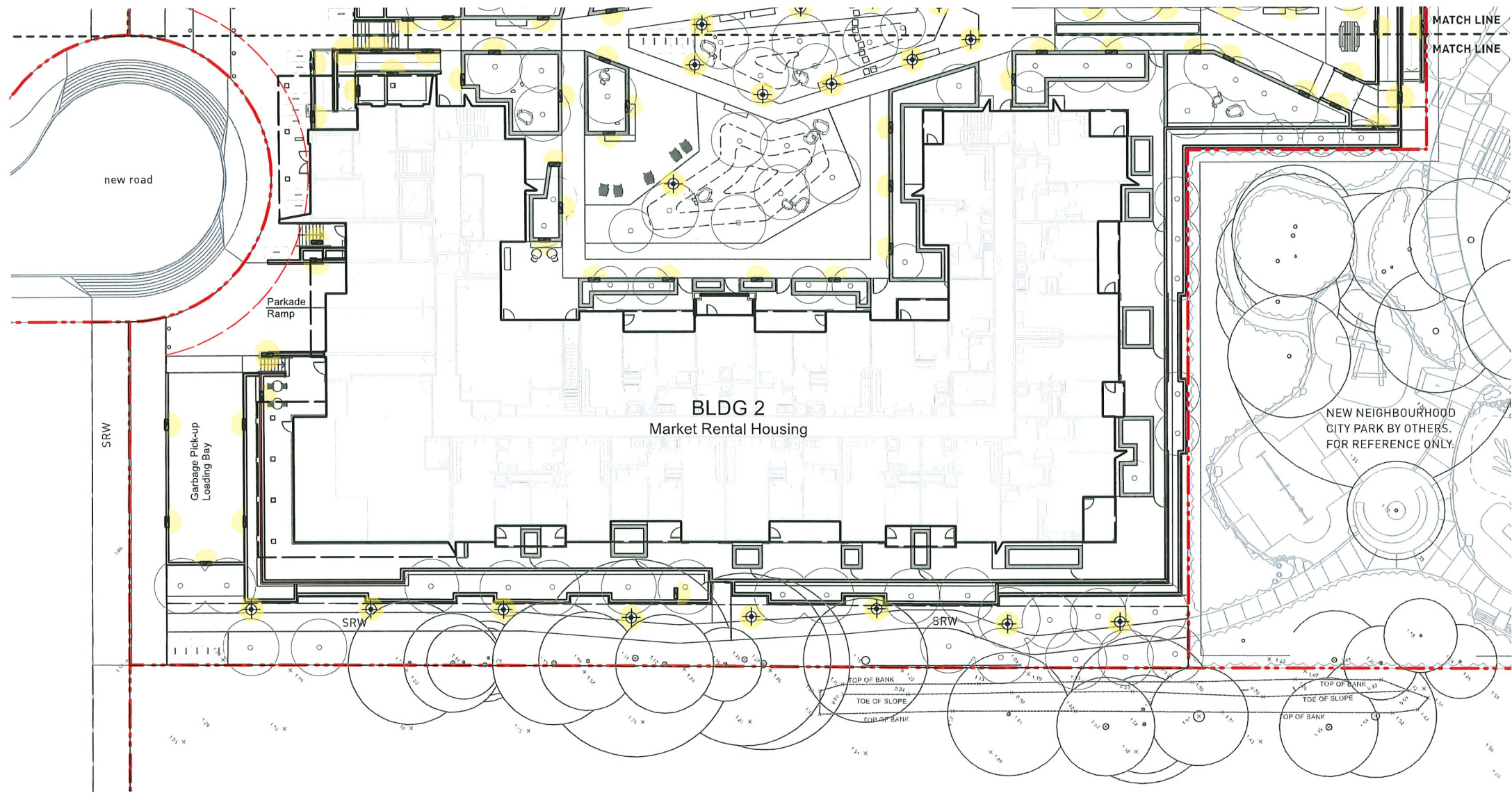
SCALE

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DRAWN	JW
REVIEWED	GB, JO

DRAWING

L6.01_A



LIGHTING LEGEND

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DP Plan # 62
May 30, 2023
DP 22-015851

PROJECT

TALISTAR

ADDRESS

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RICHMOND, BC

LOT 1 SECTION 27 AND 28 BLOCK 5
NORTH RANGE 6 WEST NWD PLAN
EPP120534

DRAWING TITLE

LIGHTING PLAN

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NORTH



SCALE

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DRAWN	JW
REVIEWED	GB, JO

DRAWING

L6.01_B



1 NORTH ELEVATION
SCALE: 1/32" = 1'-0"



2 WEST ELEVATION
SCALE: 1/32" = 1'-0"



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Revisions:
Dec 4, 2020
Issued for Rezoning
Dec 23, 2020
Update 2: Issued for Rezoning
June 17, 2022
Development Permit
Submission
November 21, 2022
Resubmission for
Development Permit
January 12, 2023
Resubmission #2 for
Development Permit
March 8, 2023
Resubmission #3 for
Development Permit
May 30, 2023
Response to comments from
Resubmission #3 for
Development Permit

Reference Plan
May 30, 2023
DP 22-015851



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Overall Elevations
North and West

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.10



3 SOUTH ELEVATION
SCALE: 1/32" = 1'-0"



4 EAST ELEVATION
SCALE: 1/32" = 1'-0"



ARCHITECTS INCORPORATED
1450 - West 8th Avenue, Vancouver, BC V6H 1V4

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TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Overall Elevations
South and East

Scale: 1/32" = 1'-0"
May 30, 2023

A-1.11



B
Overall Section & East Courtyard Elevation
A-1.12 SCALE: 1/32" = 1'-0"



A
Overall Section & West Courtyard Elevation
A-1.12 SCALE: 1/32" = 1'-0"

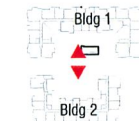


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May 30, 2023



TALISMAN
AFFORDABLE & RENTAL HOUSING
Cambie & Garden City Rd.
Richmond, B.C.

Overall Elevations
Courtyard
Scale: 1/32" = 1'-0"
May 30, 2023

A-1.12

Artistic Visualizations

Overall Development

Reference Plan
May 30, 2023
DP 22-015851



Building 1 & 2 Entry from East Road Roundabout.



Building 1 & 2 Courtyard facing Proposed Park looking North



Aerial View of Building 1 & 2 Entries towards South

Artistic Visualizations

Building 1

Reference Plan
May 30, 2023
DP 22-015851



Northeast Corner along Garden City Road



Southeast Corner along Garden City Road



Building 1 Courtyard looking Southeast

Artistic Visualizations

Building 2

Reference Plan
May 30, 2023
DP 22-015851



Building 2 Entry from East Road



Southwest Corner View from Park



Bldg 2 Courtyard looking Northwest