



## Development Permit Panel

Council Chambers, City Hall  
6911 No. 3 Road

Wednesday, June 27, 2018  
3:30 p.m.

### MINUTES

*Motion to adopt the minutes of the Development Permit Panel meeting held on June 13, 2018.*



1. **DEVELOPMENT PERMIT 16-728670**  
(REDMS No. 5828465, 5877234)

APPLICANT: Anwer Kamal

PROPERTY LOCATION: 6571 No. 4 Road (formerly 6571/6573 No. 4 Road)

#### Director's Recommendations

*That a Development Permit be issued which would permit the construction of six townhouse units at 6571 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".*



2. **DEVELOPMENT VARIANCE 17-792200**  
(REDMS No. 5828162)

APPLICANT: Asif Siddiqui

PROPERTY LOCATION: 7100 No. 2 Road

ITEM

**Director's Recommendations**

*That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum rear yard from 6.0 m to 1.2 m for a one-storey garage to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road on a site zoned "Compact Single Detached (RC2)".*



**3. New Business**

**4. Date of Next Meeting: July 11, 2018**

**ADJOURNMENT**



**Development Permit Panel  
Wednesday, June 13, 2018**

Time: 3:30 p.m.  
Place: Council Chambers  
Richmond City Hall  
Present: John Irving, Chair  
Victor Wei, Director, Transportation  
Peter Russell, Senior Manager, Sustainability and District Energy

The meeting was called to order at 3:30 p.m.

**Minutes**

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on May 30, 2018 be adopted.*

**CARRIED**

**1. Development Permit 16-728670**  
(REDMS No. 5828465)

APPLICANT: Anwer Kamal

PROPERTY LOCATION: 6571 No. 4 Road (formerly 6571/6573 No. 4 Road)

INTENT OF PERMIT:

Permit the construction of six townhouse units at 6571 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".

**Applicant's Comments**

Eric Law, Eric Law Architect, Inc., noted that the subject development permit application was previously endorsed by the Development Permit Panel; however, the Western Red Cedar tree at the southwest corner of the site that was to be retained was accidentally damaged during the site preparation stage, which necessitated its removal and a change in the previously proposed site lay-out and landscaping plan for the project.

## **Development Permit Panel**

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Mr. Law further noted that a significant change in the site lay-out includes the removal of one surface parking stall adjacent to the northeast corner of the internal drive aisle to allow for the relocation of the BC Hydro kiosk.

In reply to a query from the Panel, Wayne Craig, Director, Development, confirmed that the project was endorsed by the Panel to proceed to Council on September 13, 2017; however, it did not advance to Council for Development Permit issuance due to the landscaping issues that had occurred.

Jenny Liu, JHL Design Group, Inc., briefed the Panel on the main landscaping features of the project, noting that the large Western Red Cedar tree that was damaged will be removed and replaced with an equally large tree of the same species and will be located at the northeast corner of the site. Ms. Liu further noted that the trees adjacent to the replacement tree as well as on-site shrubs and perennials will be upsized.

In reply to a query from the Panel, Ms. Liu acknowledged that City staff had advised the applicant that the size of the replacement tree should be similar to the damaged Western Red Cedar tree.

In reply to a query from the Panel, Mr. Craig advised that the City will be requiring the applicant to provide a landscape security and withholding 20 percent of the security for a two-year period which is double the typical maintenance period.

In reply to a query from the Panel regarding the potential impact of locating the replacement tree close to the north property line, Ms. Liu confirmed that the applicant had not consulted with the residents of the neighbouring townhouse development to the north of the subject site.

In reply to a query from the Panel, Mr. Craig advised that (i) consultations are not normally required based on on-site landscaping, and (ii) residents of the neighbouring townhouse development to the north would have received notification for the Panel's consideration of the subject development permit application.

In reply to queries from the Panel, Ms. Liu acknowledged that the (i) the large replacement tree would be located as far away as possible from the adjacent townhouse building; however, its canopy could encroach into the neighbouring property to the north, (ii) the proposed location of the replacement tree is the northeast corner of the site, (iii) finding a suitable location for the large replacement tree is challenging due to the constraints of the site, and (iv) as an option, the applicant could install a smaller replacement tree and upsize the three adjacent on-site trees.

In reply to a query from the Panel, Mr. Craig advised that (i) the landscaping plan submitted by the applicant is largely conceptual and there is some flexibility on the exact location of trees proposed to be installed on site, and (ii) the applicant could consider relocating the replacement tree to the south side of the site adjacent to the outdoor amenity space or the visitor parking stall.

In reply to a query, Ms. Liu acknowledged that relocating the replacement tree from the northeast corner to the south side could be considered by the applicant.



## Development Permit Panel

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In reply to a query from the Panel regarding the sustainability features of the project, Mr. Law confirmed that the project will comply with current City requirements for the provision of electric vehicle charging in residential parking spaces.

#### Gallery Comments

None.

#### Correspondence

None.

#### Panel Discussion

The Chair commented that with the proposed landscaping presented by the applicant, he could not support the project moving forward to Council, noting that the proposed location of the replacement tree at the northeast corner of the site is problematic as it would encroach into the neighbouring property to the north. He advised that the applicant consider the proposal to relocate the replacement tree along the south property line and determine its exact location.

In addition, it was suggested that the applicant consider either relocating the replacement trees farther away from the north property line to avoid blocking the southern sun exposure into the adjacent townhouse development to the north and disturbing the existing fence, or relocating the trees along the south property line adjacent to the existing green patch along the school driveway directly to the south of the subject site.

#### Panel Decision

It was moved and seconded

*That Development Permit application 16-728670 be referred back to staff and brought forward for consideration at the Panel's June 27, 2018 meeting, to be held at 3:30 p.m. in the Council Chambers, City Hall, in order for the applicant to work with staff in considering options for relocating the proposed replacement trees along the north property line including locating the replacement trees along the south property line and identifying exactly how the root ball and drip line sizes of replacement trees would fit into the proposed landscaping design.*

**CARRIED**

#### 2. Development Permit 17-782861 (REDMS No. 5746584)

APPLICANT: Konic Development

PROPERTY LOCATION: 5660, 5680 and 5700 Williams Road

3.

## **Development Permit Panel**

### **Wednesday, June 13, 2018**

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#### **INTENT OF PERMIT:**

Permit the construction of six back-to-back duplexes at 5660, 5680 and 5700 Williams Road on a site zoned “Two-Unit Dwelling (ZD5) – Steveston/Williams”.

#### **Applicant's Comments**

Jiang Zhu, Imperial Architecture, provided background information on the proposed development, noting that (i) six duplex lots are proposed for the project, with each duplex lot containing a street-fronting and a rear duplex unit for a total of 12 duplex units, (ii) the duplex units have been designed to resemble a single-family home to fit into a predominantly single-family neighbourhood, (iii) the proposed setbacks, height and massing of the duplex units will not result in significant shadowing to neighbouring properties, (iv) the design of the duplex buildings has been revised to achieve variation in appearance, and (v) the existing Monkey Puzzle tree will be retained and relocated on site.

Meredith Mitchell, M2 Landscape Architecture, reviewed the main landscaping features of the project with respect to (i) increased permeability of the site, (ii) fencing design details, (iii) the proposed retention and relocation of the Monkey Puzzle tree, (iv) identification of pedestrian crossings and pathways through variation in surface paving treatment, and (v) choice of proposed planting materials on site.

In addition, Mr. Zhu noted that (i) three convertible duplex units are proposed, and (ii) the project has been designed to achieve EnerGuide 82 rating by providing, among others, air source heat pump units and introducing other sustainability features.

In reply to queries from the Panel, the design team confirmed that (i) the western duplex buildings are setback from the fence along the west property line by four feet, (ii) the applicant would consider the suggestion to extend the pedestrian walkways in the middle portion of the internal drive aisles northward to connect with the curvy walkways, (iii) Scotch Moss, a shade tolerant and low groundcover, is proposed to be planted in spaces between the property lines of duplex lots, and (iv) there are currently no back doors provided in the garages to access the condenser units but the applicant would consider adding back doors in the garages.

#### **Gallery Comments**

Dan Rusen, 10079 Lawson Drive, expressed concern that the subject site, which is contiguous to his property, is unsightly as it is overrun with weeds, bushes and invasive plant species. He noted that the overgrowth of plants and trees in the subject site has damaged his backyard fence. He acknowledged that upon his request, the developer has cut down the plants and trees; however, they have survived and resumed growth. Considering the current condition of the subject site, he is requesting the developer, through the Panel, to completely clean up the site which is being inhabited by small wild animals.

In closing, Mr. Rusen highlighted the need for the developer to promptly act upon his request as the current condition of the subject site has devalued his property.

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In response to the concern, the Chair advised Mr. Rusen to coordinate with staff so that the matter could be brought up with and addressed by the developer.

In reply to a query from the Panel, Ms. Mitchell advised that the developer could engage the services of a Qualified Environmental Professional (QEP) to oversee and monitor the proper removal of invasive species in the subject site. Ms. Mitchell further advised that as an alternative, she could oversee the removal of the invasive species as she is also the arborist for the project.

In reply to the same query, Mr. Craig noted that staff would work with the applicant to address the matter.

#### Correspondence

None.

#### Staff Comments

Mr. Craig noted that there is a Servicing Agreement associated with the project for frontage improvements along Williams Road and site services connections.

#### Panel Discussion

The Panel expressed support for the project, noting that the applicant should work with staff to (i) consider providing back doors in garages to facilitate the maintenance of condenser units at the back of garages, (ii) consider extending northward the pedestrian walkways on the middle portion of the internal drive aisles to connect with the curvy walkways, and (iii) address the removal of invasive species in the subject property.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would permit the construction of six back-to-back duplexes at 5660, 5680 and 5700 Williams Road on a site zoned "Two-Unit Dwelling (ZD5) – Steveston/Williams".*

**CARRIED**

#### 3. Date of Next Meeting: June 27, 2018

#### 4. Adjournment

It was moved and seconded

*That the meeting be adjourned at 4:21 p.m.*

**CARRIED**

5.

**Development Permit Panel**  
**Wednesday, June 13, 2018**

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Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, June 13, 2018.

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John Irving  
Chair

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Rustico Agawin  
Committee Clerk



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**To:** Development Permit Panel  
**From:** Wayne Craig  
Director, Development  
**Date:** June 20, 2018  
**File:** DP 16-728670  
**Re:** **6571 No. 4 Road (formerly 6571/6573 No. 4 Road) - Referral from June 13, 2018**  
**Development Permit Panel**

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### Origin

This memo responds to the following referral made at the June 13, 2018 Development Permit Panel meeting:

*That Development Permit application 16-728670 be referred back to staff and brought forward for consideration at the Panel's June 27, 2018 meeting, to be held at 3:30 p.m. in the Council Chambers, City Hall, in order for the applicant to work with staff in considering options for relocating the proposed replacement trees along the north property line including locating the replacement trees along the south property line and identifying exactly how the root ball and drip line sizes of replacement trees would fit into the proposed landscaping design.*

### Analysis

The applicant is proposing the following revisions to address the referral from Panel:

- The applicant is proposing to swap the locations of the proposed onsite pedestrian walkway and the outdoor amenity space at the southeast corner of the site, bringing the outdoor amenity space slightly to the south to a location along the south property line. The proposed pedestrian walkway connecting No. 4 Road to the internal drive aisle of the site is being shifted slightly to the north (see Plan #3A).
- The proposed Western Red Cedar replacement tree is being relocated from the northeast corner of the site to the new outdoor amenity space in the southeast. This new location provides a much larger growing space for the replacement tree since it will be located between the proposed onsite pedestrian walkway to the north and an existing landscaping area by the school driveway to the south. The root ball size and canopy size of the proposed 40 cm cal Western Red Cedar tree will be approximately 1.8 m and 6.7 m respectively, which would fit well within the proposed outdoor amenity space.
- There is no change to the features proposed within the outdoor amenity area; however, the locations of the features are being rearranged to accommodate the replacement tree.
- All trees proposed along the north property line are being shifted slightly to the south in order to avoid blocking the southern sun exposure into the adjacent townhouse

development to the north and disturbing the existing fence. The applicant has notified the strata council of the neighbouring townhouse complex to the north of the revised landscape design.

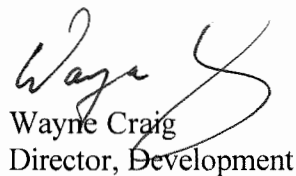
- The proposed landscaping with live plant materials is being further increased from a lot coverage of 26.4% to 27.3%.

All information on other aspects of the proposed Development Permit is contained in the staff reports dated August 22, 2017 (Attachment 1) and May 22, 2018. (Attachment 2).

### Conclusions

The site plan and landscape plan have been revised to allow the 40 cm Western Red Cedar replacement to relocate to the south side of the subject site, which would allow a much larger open space for the replacement tree.

Staff support the proposed changes to the site and landscape plan. The applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 3. On this basis, staff recommend that the attached Development Permit and drawings be forwarded to the June 27, 2018 Development Permit Panel meeting for consideration.



Wayne Craig  
Director, Development

WC: el

pc: Edwin Lee, Planner 1

Attachment 1: Staff report dated August 22, 2017 (forwarded to September 13, 2017 Development Permit Panel)

Attachment 2: Staff report dated May 22, 2018 (forwarded to June 13, 2018 Development Permit Panel)

Attachment 3: Development Permit Considerations



**City of  
Richmond**

## **Report to Development Permit Panel**

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**To:** Development Permit Panel

**Date:** August 22, 2017

**From:** Wayne Craig  
Director, Development

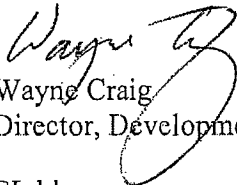
**File:** DP 16-728670

**Re:** Application by Anwer Kamal for a Development Permit at 6571/6573 No. 4 Road

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### **Staff Recommendation**

That a Development Permit be issued which would permit the construction of six townhouse units at 6571/6573 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".

  
Wayne Craig  
Director, Development

EL:blg  
Att. 2

## **Staff Report**

### **Origin**

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571/6573 No. 4 Road. The site is being rezoned from "Single Detached (RS1/F)" zone to "Town Housing (ZT-60) – North McLennan (City Centre)" for this project under Bylaw 9491 (RZ 11-578758), which received third reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

### **Development Information**

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

- To the north, a 12-unit townhouse complex at 6551 No. 4 Road with access from No. 4 Road. A Cross-Access Easement is registered on Title of 6551 No. 4 Road to provide vehicle access to the subject site.
- To the south, right-in only driveway to A. R. MacNeill Secondary School and parking lots for the school. The school site is zoned "School & Institutional Use (SI)".
- To the east, across No. 4 Road, large single-family lots zoned "Agriculture (AG1)" located within the Agriculture Land Reserve (ALR).
- To the west, a landscaped area and internal drive aisle within the A. R. MacNeill Secondary School property.

### **Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site was held on December 15, 2015. No concerns regarding the rezoning application was expressed at the Public Hearing.

### **Staff Comments**

The Official Community Plan (OCP) designates the subject property as "Neighbourhood Residential" (i.e., areas where the principal uses are single-family, two-family and multiple-family housing). The City Centre Area, McLennan North Sub-Area Plan (Schedule 2.10C), designates the property as "Residential Area 3" for two-family dwelling and two-storey & three-storey townhouses with 0.65 base floor area ratio (FAR). The proposed two-storey and three-storey townhouse development will comply with both the OCP and the McLennan North Sub-Area Plan land use designations.



The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the "Town Housing (ZT-60) – North McLennan (City Centre)" zone.

### **Advisory Design Panel Comments**

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

### **Analysis**

#### ***Conditions of Adjacency***

- Both the form and massing of the proposed development are consistent with the existing surrounding townhouse developments which are comprised of two-storey and three-storey townhouses.
- Two-storey end units would be in keeping with the character of adjacent townhouse development to the north.
- An ALR buffer is proposed along the No. 4 Road frontage (see details in the *Landscape Design and Open Space Design* section below).
- A 1.8 m tall wood fence and four new trees are proposed along the north property lines to provide some privacy screening between the proposed development and the existing townhouse development to the north.
- No tree planting is permitted along the west property line on existing statutory right-of-way (SRW) for sanitary sewer.
- A 1.8 m tall wood fence is proposed to be installed on top of an approximately 1.2 m tall retaining wall along the west property line between the parking lot of A. R. MacNeill Secondary School and the subject site. This interface with the A.R. MacNeill Secondary School is consistent with the interface provided between the adjacent development to the north (at 6551 No. 4 Road) and the school.
- A 0.9 m tall metal picket fence is proposed to be installed on top of an approximately 1.0 m tall retaining wall along the south property line between the entry driveway and walkway of A. R. MacNeill Secondary School and the subject site. A 2.4 m tall trellis with 1.5 m tall solid fence is also proposed at the end of the drive aisle to screen the headlight glare from the townhouse development onto the school driveway.
- Landscaping is also proposed on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse site from the school. A landscape plan prepared by a registered landscape architect will be required prior to Development Permit issuance to the satisfaction of the Richmond School District.

- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

#### ***Urban Design and Site Planning***

- The proposal consists of six units provided in two townhouse clusters. Three units will have direct access from the street and three units will have access from the internal drive aisle.
- The proposal provides for a pedestrian-oriented streetscape fronting No. 4 Road with a landscaped edge treatment, low metal fencing, and metal gates to the street fronting units. A separate pedestrian entrance from No. 4 Road to the development site is proposed along the south property line.
- Vehicle access will be through the existing access easement registered on the neighbouring townhouse development to the north at 6551 No. 4 Road. No direct vehicle access to No. 4 Road is permitted for the subject site.
- The number of residential parking spaces proposed for this townhouse development exceeds the minimum parking requirement within the City Centre area, and all units will have two vehicle parking spaces.
- Tandem parking is permitted under the ZT60 zone, and two out of six townhouse units will have tandem garages (four tandem stalls in total). A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area will be secured as a condition of rezoning approval.
- Two visitor parking spaces are proposed, which meet the minimum bylaw requirement.
- Both residential and visitor bicycle parking are provided in compliance with the zoning bylaw minimum requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines (30 m<sup>2</sup> per unit) of the OCP. All units have private outdoor spaces consisting of front or rear yard and balconies on the second floors.
- Outdoor amenity space is proposed at the southeast corner of the site for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all units.
- Additional outdoor amenity space (10% of the site area) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as a walkway and landscaped areas throughout the site.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the west (rear) building to minimize the visual impact of these enclosures.

#### ***Architectural Form and Character***

- The proposed building design is compatible to the adjacent townhouse development to the north. The architectural language proposed for the development is similar to conventional single-family homes with slope roofs.

- A pedestrian scale is generally achieved along the public streets and internal drive aisle through the inclusion of variation in building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- The overall appearance of the proposal conforms to the design guidelines of the North McLennan area and should fit in well with the character of the surrounding area.
- The proposed building materials (asphalt roof shingles, hardi-siding/panel with trim) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the character of the surrounding neighbourhood.

### *Landscape Design and Open Space Design*

- Tree preservation was reviewed at rezoning stage: one 42 cm calliper Western Red Cedar tree located at the southwest corner of the site will be protected and retained on-site. To ensure that this tree will be protected, no landscape security for the proposed development will be returned until the post-construction assessment report confirming the protected tree survived the construction, prepared by the Arborist, is reviewed and approved by staff.
- Based on the 2:1 tree replacement ratio goal stated in the OCP, two replacement trees are required for the removal of one tree. The applicant is proposing to plant eight new trees on-site, including three conifers and five deciduous trees.
- An agricultural landscape buffer is required within the subject site, along the eastern edge of the No. 4 Road frontage. The buffer is intended to mitigate land use conflicts between the residential uses on the subject site and any agricultural land uses east of No. 4 Road. The landscape proposal was referred to the Agricultural Advisory Committee (AAC) on September 24, 2015 for their review and comments. Overall, the AAC was supportive of the proposal, but requests that the proposed Heavenly Bamboo be replaced as it is considered an invasive species. The landscape architect has replaced this plant species with Rhododendron on the final landscape plan.
- Along No. 4 Road, several types of low hedges, small trees and some small ornamental grasses are proposed to create layered landscape with rich texture and colour contrast and year round visual interest.
- Adjacent to the school driveway, low metal picket fencing is proposed along the south property line and a trellis is proposed at the terminus of the internal driveway to provide strong spatial definition
- Each unit will have a private yard with landscaping, a small lawn area and/or a small patio. Various hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A children's play area designed for children aged two to five years old is proposed for the outdoor amenity area. The play equipment includes a playhouse and two spring toys which were chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. Two benches are provided within the outdoor amenity space for caregivers.

- Surface parking stalls and pedestrian walkways will be treated with permeable pavers for better water infiltration and variety in paving surfaces. Pavers proposed for the internal drive aisle and visitor parking stalls match the colour scheme used on the adjacent townhouse site for consistence. Salmon colored pavers are proposed on the surface residential parking stalls to differentiate the residential parking stalls from the visitor parking stalls.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$100,049.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$6,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

#### ***Crime Prevention Through Environmental Design***

- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

#### ***Sustainability***

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.

#### ***Accessible Housing***

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit A1A of the street fronting building (east building)) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusion**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that meet applicable policies and Development Permit Guidelines, and fits into the existing context. The applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2. On this basis, staff recommend support of this Development Permit application.

Edwin Lee  
Planner 1  
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet  
Attachment 2: Development Permit Considerations



# City of Richmond

## Development Application Data Sheet

Development Applications Department

**DP 16-728670**

**Attachment 1**

Address: 6571 and 6573 No. 4 Road

Applicant: Anwer Kamal

Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m<sup>2</sup>

Floor Area Net: 690.4 m<sup>2</sup>

	Existing	Proposed
Site Area:	1,115 m <sup>2</sup>	1,091m <sup>2</sup> (net after road dedication)
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
Zoning:	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)
Number of Units:	2	6

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m <sup>2</sup>	1,091 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	12 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none

Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 6 units = 36 m <sup>2</sup>	36.7 m <sup>2</sup>	none



City of  
Richmond

ATTACHMENT 2

## Development Permit Considerations

Development Applications Department

6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6571/6573 No. 4 Road

**File No.:** DP 16-728670

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Submission of a landscape plan prepared by a registered landscape architect identifying landscaping to be planted on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse development from the school.
3. Receipt of a Letter-of-Credit for landscaping and tree survival in the amount of \$100,049.00. No landscaping and tree survival security will be released until:
  - a) a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted;
  - b) an Arborist Post Construction Impact Assessment Report, confirming survival of the protected tree, has been submitted; and
  - c) physical inspection has been undertaken by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements:
  - a) Water Works:
    - i. Using the OCP Model, there is 651 L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
    - ii. The Developer is required to:
      - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
      - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
    - iii. At the Developer's cost, the City will:
      - Cut and cap at main the existing water service connection at No. 4 Road frontage.
      - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
  - b) Storm Sewer Works:
    - i. At the Developer's cost, the City will:
      - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
      - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.
  - c) Sanitary Sewer Works:
    - i. The Developer is required to:
      - Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.

Initial: \_\_\_\_\_



- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

d) Frontage Improvements:

i. The Developer is required to:

- Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
- Provide street lighting along No. 4 Road frontage.
- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
  - 1) BC Hydro PMT – 4mW X 5m (deep)
  - 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
  - 3) Street light kiosk – 1.5mW X 1.5m (deep)
  - 4) Traffic signal kiosk – 1mW X 1m (deep)
  - 5) Traffic signal UPS – 2mW X 1.5m (deep)
  - 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
  - 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan

e) General Items:

i. The Developer is required to:

- Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
  - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
  3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
  4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
  5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
  6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

Initial: \_\_\_\_\_

7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date



# City of Richmond

## Development Permit

No. DP 16-728670

To the Holder: ANWER KAMAL  
Property Address: 6571 AND 6573 NO. 4 ROAD  
Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$100,049.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 16-728670**

To the Holder: ANWER KAMAL  
Property Address: 6571 AND 6573 NO. 4 ROAD  
Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 – 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

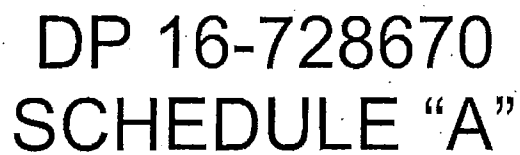
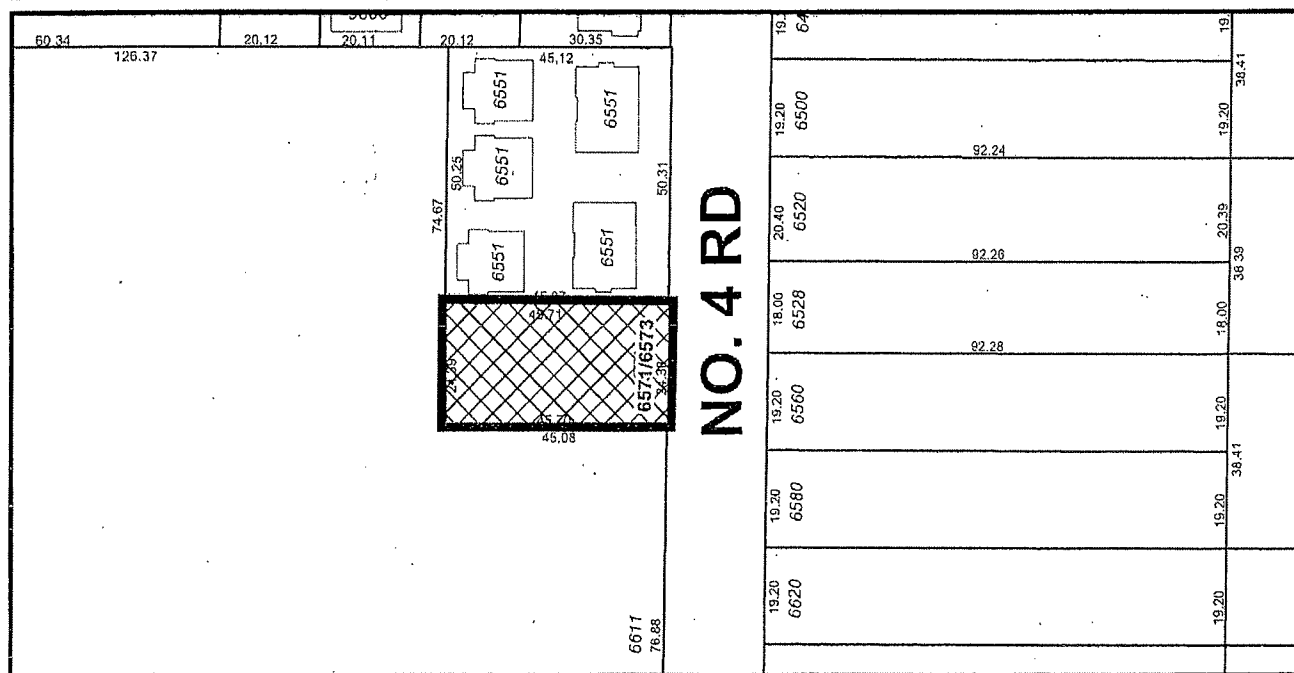
AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

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MAYOR



Note: Dimensions are in METRES

## A color illustration of a large, multi-story building with a prominent central tower and a red roof, surrounded by greenery and a road. The building has a complex facade with many windows and a central spire. It is set in a landscaped area with green lawns, trees, and a paved road in the foreground. The style is that of a vintage postcard or travel brochure.

ERIC LAW  
ARCHITECT

218 285 8870 ARIANE WENDTNER 62  
 931416  
 TEL (314) 220-2098  
 FAX (314) 529-2157  
 COUNCILOR, DISTRICT 108, FIVE SEVEN  
 CENTRAL AVE. ST. LOUIS, MO 63103  
 THE EXCLUSIVE PROPERTY OF THE  
 NATIONAL ASSOCIATION OF REALTORS  
 1515 NORTH MICHIGAN, SUITE 1600  
 CLEVELAND, OH 44114-1992  
 THIS COUNCILOR IS NOT A MEMBER OF  
 THE NATIONAL ASSOCIATION OF REALTORS  
 MEMBER COUNCILOR, DISTRICT 108, FIVE SEVEN  
 CENTRAL AVE. ST. LOUIS, MO 63103

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1	NOTES	10/1/10
2	NOTES	10/1/10
3	NOTES	10/1/10
4	NOTES	10/1/10

2017-01-27	FOR CITY OF ALBUQUERQUE
2017-01-27	FOR CITY OF ALBUQUERQUE

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PLA 2

AUG 2 1964

[illegible]

	DATE	DESCRIPTION	AMOUNT
1	2016-07-29	PAYROLL	100.00
2	2016-08-05	PAYROLL	100.00
3	2016-08-12	PAYROLL	100.00
4	2016-08-19	PAYROLL	100.00
5	2016-08-26	PAYROLL	100.00
6	2016-09-02	PAYROLL	100.00
7	2016-09-09	PAYROLL	100.00
8	2016-09-16	PAYROLL	100.00
9	2016-09-23	PAYROLL	100.00
10	2016-09-30	PAYROLL	100.00
11	2016-10-07	PAYROLL	100.00
12	2016-10-14	PAYROLL	100.00
13	2016-10-21	PAYROLL	100.00
14	2016-10-28	PAYROLL	100.00
15	2016-11-04	PAYROLL	100.00
16	2016-11-11	PAYROLL	100.00
17	2016-11-18	PAYROLL	100.00
18	2016-11-25	PAYROLL	100.00
19	2016-12-02	PAYROLL	100.00
20	2016-12-09	PAYROLL	100.00
21	2016-12-16	PAYROLL	100.00
22	2016-12-23	PAYROLL	100.00
23	2016-12-30	PAYROLL	100.00
24	2017-01-06	PAYROLL	100.00
25	2017-01-13	PAYROLL	100.00
26	2017-01-20	PAYROLL	100.00
27	2017-01-27	PAYROLL	100.00
28	2017-02-03	PAYROLL	100.00
29	2017-02-10	PAYROLL	100.00
30	2017-02-17	PAYROLL	100.00
31	2017-02-24	PAYROLL	100.00
32	2017-03-03	PAYROLL	100.00
33	2017-03-10	PAYROLL	100.00
34	2017-03-17	PAYROLL	100.00
35	2017-03-24	PAYROLL	100.00
36	2017-03-31	PAYROLL	100.00
37	2017-04-07	PAYROLL	100.00
38	2017-04-14	PAYROLL	100.00
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44	2017-05-26	PAYROLL	100.00
45	2017-06-02	PAYROLL	100.00
46	2017-06-09	PAYROLL	100.00
47	2017-06-16	PAYROLL	100.00
48	2017-06-23	PAYROLL	100.00
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51	2017-07-14	PAYROLL	100.00
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53	2017-07-28	PAYROLL	100.00
54	2017-08-04	PAYROLL	100.00
55	2017-08-11	PAYROLL	100.00
56	2017-08-18	PAYROLL	100.00
57	2017-08-25	PAYROLL	100.00
58	2017-09-01	PAYROLL	100.00
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62	2017-09-29	PAYROLL	100.00
63	2017-10-06	PAYROLL	100.00
64	2017-10-13	PAYROLL	100.00
65	2017-10-20	PAYROLL	100.00
66	2017-10-27	PAYROLL	100.00
67	2017-11-03	PAYROLL	100.00
68	2017-11-10	PAYROLL	100.00
69	2017-11-17	PAYROLL	100.00
70	2017-11-24	PAYROLL	100.00
71	2017-12-01	PAYROLL	100.00
72	2017-12-08	PAYROLL	100.00
73	2017-12-15	PAYROLL	100.00
74	2017-12-22	PAYROLL	100.00
75	2017-12-29	PAYROLL	100.00
76	2018-01-05	PAYROLL	100.00
77	2018-01-12	PAYROLL	100.00
78	2018-01-19	PAYROLL	100.00
79	2018-01-26	PAYROLL	100.00
80	2018-02-02	PAYROLL	100.00
81	2018-02-09	PAYROLL	100.00
82	2018-02-16	PAYROLL	100.00
83	2018-02-23	PAYROLL	100.00
84	2018-02-28	PAYROLL	100.00
85	2018-03-06	PAYROLL	100.00
86	2018-03-13	PAYROLL	100.00
87	2018-03-20	PAYROLL	100.00
88	2018-03-27	PAYROLL	100.00
89			

A1-- DEVELOPMENT SUMMARY  
A1A--UPGRADE NOTE  
A2-- SITE PLAN (1/F)  
A2A-- SITE PLAN ENVELOPE  
A3-- PARKING PLAN  
A4-- SITE PLAN (2/F & 3/F)  
A5-- UNIT PLANS  
A6-- UNIT PLANS  
A7-- ELEVATIONS  
A8-- ELEVATIONS & SECTIONS  
A9-- ELEVATIONS COLOR  
A10-- OPEN SPACE AREA  
A11--FAR DIAGRAM

## DEVELOPMENT SUMMARY

PROJECT NUMBER: 12-03  
ISSUED: 8/22/2012  
DRAWN BY: CL  
CHECKED BY: CL  
FILENAME: 12-03\_SFD\_1.PIC223

A1

• •

DEVELOPMENT PERMIT

SUMMARY OF ENERGUIDE B2 REPORT: REFER DETAIL TO ENERGUIDE RATING REPORT PREPARED BY E3 ECO GROUP INC DATED JULY 10, 2017

Proposed Policy Compliance Construction Specifications Review: Row Houses (middle & end units)

All construction specifications are compliant with BCBC Code Sections 9.36 and 9.32 and all upgrades beyond the Base Case are listed below in BOLD:

Slab on grade	R12 full under slab insulation and R12 slab edge insulation
Above Grade Wall Construction	2x6 @ 16" o.c. R22 insulation
Door Specification	Fiberglass or metal-skin polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacer, argon gas fill, picture windows; maximum U.S.I. 1.70
Ventilation Specification	Heat Recovery Ventilator (55% SRE@60°C/45% SRE@25°C); distribution and ventilation rates as per BCBC Section 9.32
Air Tightness	5.5 ACH@50Pa, an estimate based on typical local construction. Refer to Note 3, below
Space Heating System	Air source heat pump (7.3 HSPF and 14.5 SEER minimum) with electric resistance heater in fan coil as back up
Energy Credits:	
Low energy lighting	50% of lighting is EnergyStar rated, 190kWh/year credit
Energy Star appliances	EnergyStar fridge, dishwasher and clothes washer: 95kWh/year credit
Solar Hot Water Ready	All units must comply with the BC Solar Hot Water Ready Regulation (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)

SUMMARY OF THERMAL REPORT: REFER DETAIL TO THERMAL COMFORT REPORT PREPARED BY ENERSOLV DATED SEPTEMBER 9, 2016

CONCLUSION

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and International Standards Organization (ISO) 7730.

SUMMARY OF ACOUSTIC UPGRADE. REFER DETAILS TO ACOUSTICAL REPORT PREPARED BY BKL CONSULTANTS DATED JULY 22, 2016

1. Roof Assembly

The proposed roof construction assumed to be:  
asphalt shingles  
1/2" plywood sheathing  
2x6 wood studs @ 16" o.c.  
8x0 batt insulation  
1 layer 5/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

2. Exterior Wall

The proposed exterior wall construction assumed to be:

Location: Level 1

- Hardi-panel siding
- 1/2" plywood sheathing
- 2x6 wood studs @ 16" o.c.
- R20 batt insulation
- 1/2" Type X Gypsum wall board

Location: Levels 2 and 3

- Vinyl siding
- 1/2" plywood sheathing
- 2x6 wood studs @ 16" o.c.
- R20 batt insulation
- 1/2" Type X Gypsum wall board

will provide adequate noise isolation to all interior spaces except for all east facing bedrooms in the east townhouse with direct exposure to No. 4 Road. These bedrooms require an additional layer of 1/2" Type X Gypsum wall board on all north, south, and east walls.

3. Exterior Windows and Balcony/Patio Doors

Windows with a standard glazing detail, assumed to be two layers of 3 mm glass separated by a 13 mm airspace (OTC 2-6), and sliding glass doors with a standard glazing detail, assumed to be one layer of 3 mm glass and one layer of 3 mm glass separated by a 13 mm airspace (OTC 2-8), will provide adequate noise isolation to all interior spaces except for all east facing bedrooms in the east townhouse with direct exposure to No. 4 Road. These bedrooms require an additional layer of 1/2" Type X Gypsum wall board on all north, south, and east walls.

Minimum OTC Rating	Example Window Glazing	Location of Window
20	13mm x 13mm two layers of 3mm glass (one layer laminated) separated by one 13mm airspace	All second floor bedrooms in east townhouse with direct exposure to No. 4 Road
33	6.30 x 4.10-8 one pane of 6mm glass and one pane of 6mm glass separated by 10 mm air spaces	All third floor bedrooms in east townhouse with direct exposure to No. 4 Road

The locations of required window upgrades have been indicated on the architectural elevation plan as shown in Figure 4.

All of the windows should be specified to meet the A3 performance rating for Air Tightness found in the CSA standard CAN/CSA A440.08, or latest revision. Any other window meeting the required OTC ratings are acceptable. Where a single laminated pane is specified and if there are no overriding considerations, the laminated pane should be installed on the exterior side of the building facade. The OTC ratings are based on the standard test conditions. As such, any test data or predicted OTC performance must reasonably reflect the panel dimensions adopted for this project. Any increase in window pane thickness or separating airspace thickness beyond that shown above is also acceptable. Effective weathertightness should be installed on the exterior door.

4. Certification of Installation

There is also a requirement in Richmond's Reactive Covenant that the building can not be occupied until a Registered Professional approved by Richmond's Planning and Development Manager certifies that the building has been constructed in accordance with the design reviewed and the recommendations of the approved acoustic report. As stated in our proposal dated February 17, 2016,

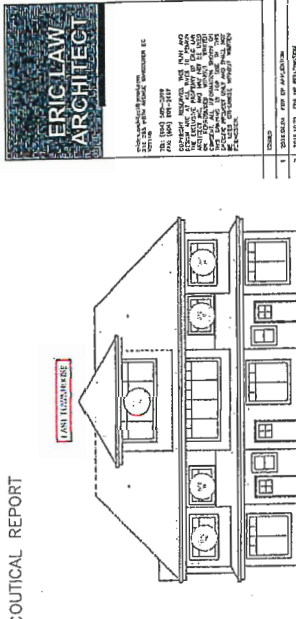


Figure 4. Local Windows to be upgraded (Refer to Figure 4)

Plan Date: 1/16

Issue: July 2016

NO.	DESCRIPTION	DATE
1	REVISION: 1/16	1/16
2	REVISION: 1/16	1/16
3	REVISION: 1/16	1/16
4	REVISION: 1/16	1/16
5	REVISION: 1/16	1/16
6	REVISION: 1/16	1/16
7	REVISION: 1/16	1/16
8	REVISION: 1/16	1/16
9	REVISION: 1/16	1/16
10	REVISION: 1/16	1/16

PLAN #1A  
DP 16-728670  
AUG-2-2-2017

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

UPGRADE NOTES

PROJECT NUMBER: 12-03
ISSUED: 8/22/2017
CHECKED BY: EL
DRAWN BY: EL
FILE NUMBER: 12-03-00-110000-02-000

A1A

DP 16-728670 • DEVELOPMENT PERMIT





ERIC LAW ARCHITECT  
 1000 WEST 10TH AVENUE, SUITE 200  
 VANCOUVER, BC V6H 1T6  
 TEL: (604) 681-1111  
 FAX: (604) 681-1112  
 WWW.ERICLAWARCHITECT.COM

- | NO. | REVISION             |
|-----|----------------------|
| 1   | ISSUED FOR PERMITS   |
| 2   | REVISED PER COMMENTS |
| 3   | REVISED PER COMMENTS |
| 4   | REVISED PER COMMENTS |
| 5   | REVISED PER COMMENTS |
| 6   | REVISED PER COMMENTS |
| 7   | REVISED PER COMMENTS |

PLAN # 1B  
 DP 16-728670  
 AUG 22 2017

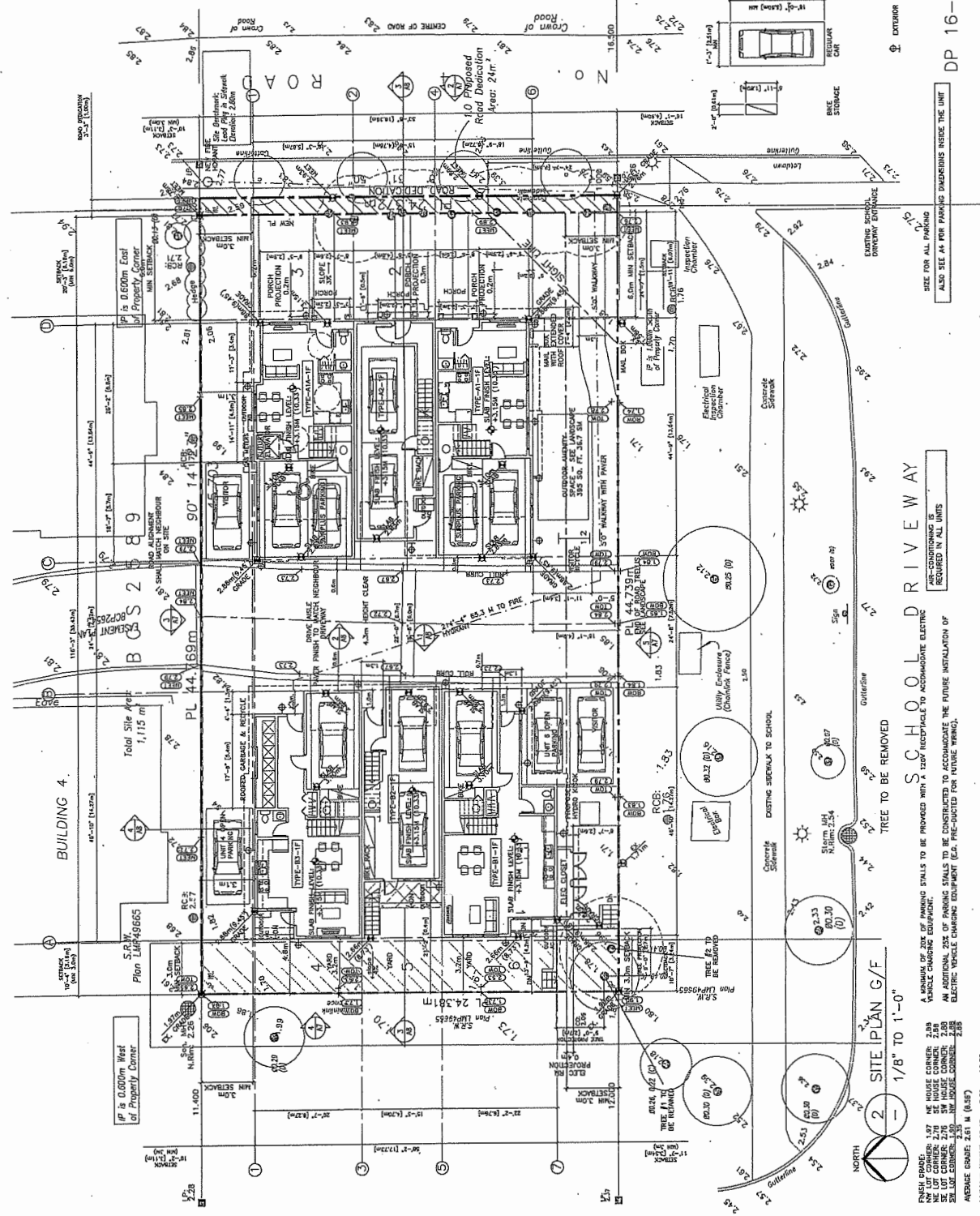
- | NO. | REVISION             |
|-----|----------------------|
| 1   | ISSUED FOR PERMITS   |
| 2   | REVISED PER COMMENTS |
| 3   | REVISED PER COMMENTS |
| 4   | REVISED PER COMMENTS |
| 5   | REVISED PER COMMENTS |
| 6   | REVISED PER COMMENTS |
| 7   | REVISED PER COMMENTS |

PROPOSED TOWNHOUSE  
 6571-6573 NO. 4 RD  
 RICHMOND BC  
 SITE PLAN (1/F)

PROJECT NUMBER: 12-03  
 ISSUED: 8/22/2017  
 DRAWN BY: EL  
 CHECKED BY: EL  
 FILENAME: 12-03\_APT\_TOWNH-2D.DWG

A2

DEVELOPMENT PERMIT



SCHOOL DRIVEWAY

Tree to be removed

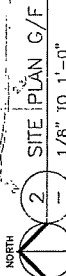
2 SITE PLAN G/F  
 1/8" TO 1'-0"

FINISH GRADE: 1.57' NE HOUSE CORNER, 2.00' NE LOT CORNER, 2.70' SE HOUSE CORNER, 2.80' SE LOT CORNER, 2.75' SW HOUSE CORNER, 2.80' SW LOT CORNER, 2.35' NE HOUSE CORNER, 2.85' NE LOT CORNER  
 MEASURE HEIGHT: 13.46m -2.61m = 10.85m

ALSO SEE AS FOR PARKING DIMENSIONS INSIDE THE UNIT

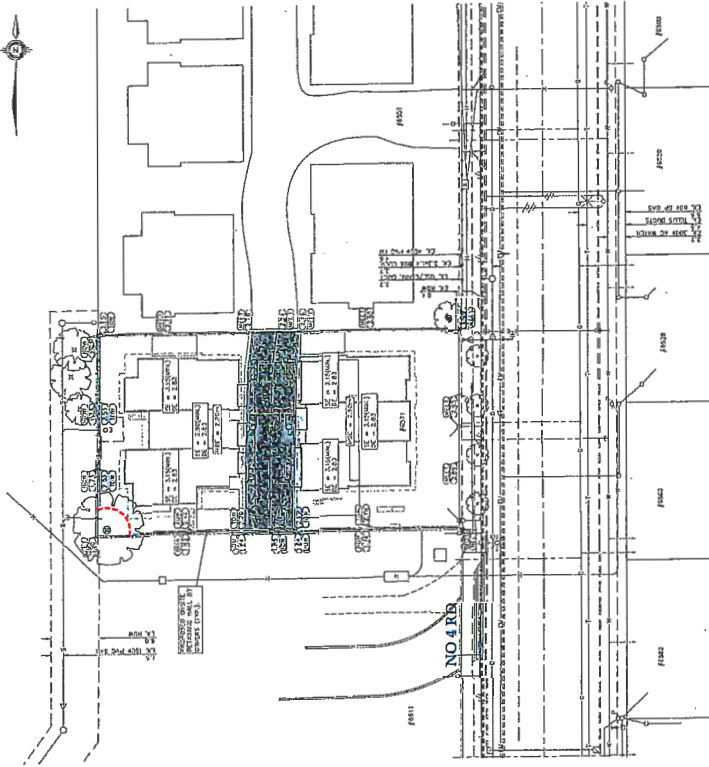
DP 16-728670



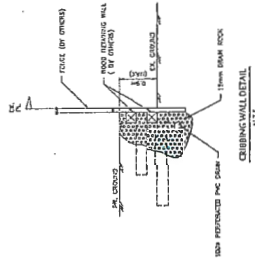


SCHOOL DRIVEWAY

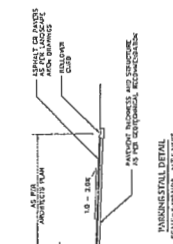
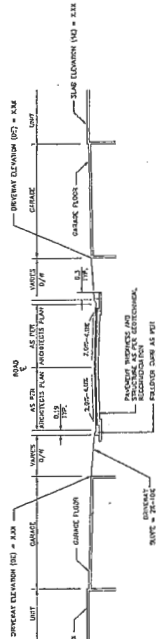
- REVISIONS:**
1. REVISIONS TO BE SUBMITTED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES AND SPECIFICATIONS FOR CONSTRUCTION.
  2. REVISIONS TO BE SUBMITTED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICES AND SPECIFICATIONS FOR CONSTRUCTION.
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PLAN  
SCALE: 1/8" = 1'-0"



TYPICAL REINFORCED CONCRETE SECTION  
SCALE: 1/4" = 1'-0"



**NOTES:**

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
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**DP 16-72837**  
**PLAN #1D**  
**AUG 22 2017**

**City of Richmond**

**ROADWORKS**  
6571 RD. 4 ROAD  
CITYFILE:  
SCALE: 1/8" = 1'-0"

**NOT FOR CONSTRUCTION**  
19 JUL 2017

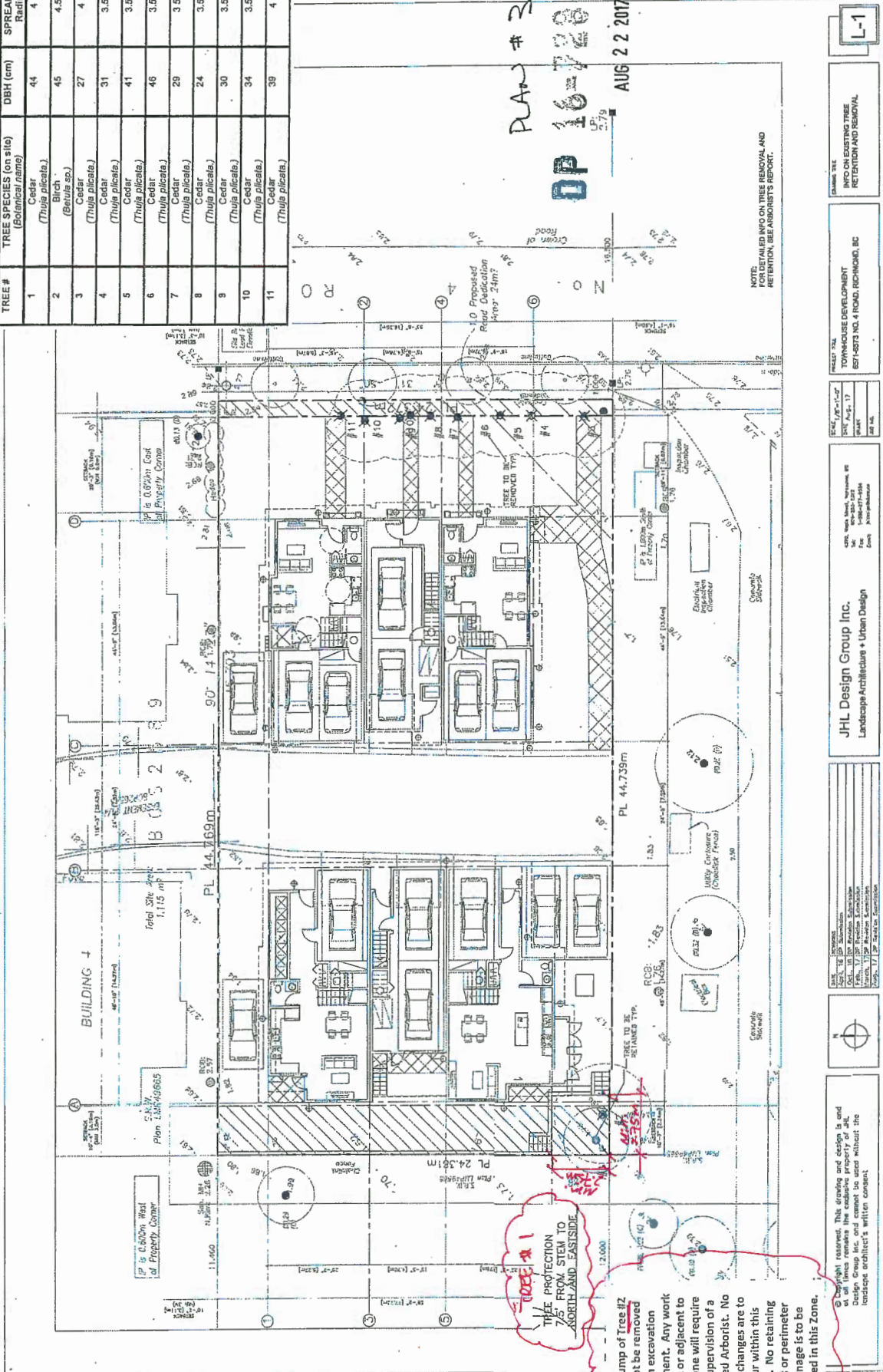
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Civil Engineer  
#220-2839  
www.anywerkamal.com

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TREE #	TREE SPECIES (on site)	DBH (cm)	SPREAD (m)
1	Cedar (Thuja plicata)	44	4
2	Birch (Betula sp.)	45	4.5
3	Cedar (Thuja plicata)	27	4
4	Cedar (Thuja plicata)	31	3.5
5	Cedar (Thuja plicata)	41	3.5
6	Cedar (Thuja plicata)	46	3.5
7	Cedar (Thuja plicata)	29	3.5
8	Cedar (Thuja plicata)	24	3.5
9	Cedar (Thuja plicata)	30	3.5
10	Cedar (Thuja plicata)	34	3.5
11	Cedar (Thuja plicata)	39	4



RAW # 3  
 DP 16-728670  
 AUG 22 2017

NOTE:  
 FOR DETAILED INFO ON TREE REMOVAL AND  
 RETENTION, SEE ARBORIST'S REPORT.

**JHL Design Group Inc.**  
 Landscape Architecture • Urban Design

4400 Maple Street, Suite 100, Richmond, BC  
 V6X 2E6  
 Tel: 604-271-1111  
 Fax: 604-271-1112  
 Email: info@jhl.ca

**TOWNHOUSE DEVELOPMENT**  
 857-8573 NO. 4 ROAD, RICHMOND, BC

DATE: Aug. 17, 2017  
 DRAWN BY: JHL  
 CHECKED BY: JHL

**Tree Protection Zone**

The stump of Tree #2 cannot be removed with excavation equipment. Any work within or adjacent to this Zone will require the supervision of a Certified Arborist. No grade changes are to occur within this Zone. No retaining walls or perimeter drainage is to be installed in this Zone.

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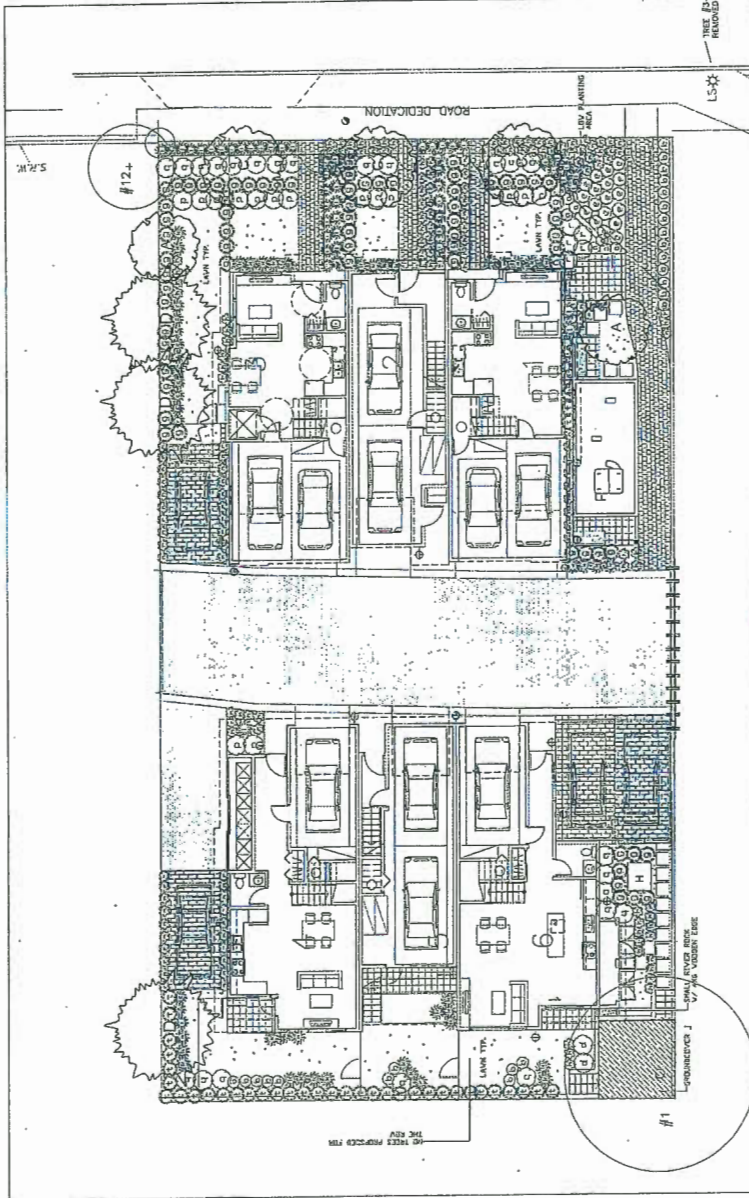




PLANT LIST	Plant Name	Quantity	Notes
1	Asiatic Garden	100	10' x 10' x 10'
2	Asiatic Garden	100	10' x 10' x 10'
3	Asiatic Garden	100	10' x 10' x 10'
4	Asiatic Garden	100	10' x 10' x 10'
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97	Asiatic Garden	100	10' x 10' x 10'
98	Asiatic Garden	100	10' x 10' x 10'
99	Asiatic Garden	100	10' x 10' x 10'
100	Asiatic Garden	100	10' x 10' x 10'

NOTES:

1. Minimum 2% slope away from building.
2. All plants and landscape installation to conform to DCCLA Landscape Standards.
3. All growing medium to be tested by PCA (204-273-8235) and amended accordingly if necessary, and to be tested again at Substantial Completion.
4. Minimum planting medium depth: 18" on slab; 24" on subgrade; 36" on subgrade with 10% slope; 48" on subgrade with 15% slope.
5. All plant material shall meet minimum size requirements as indicated in plant list.
6. Trees planted in lawn areas to have 1 m dia. mulched ring.
7. Make sure before removal materials to be cut and removed to prevent girdling.
8. All proposed trees should be planted min. 3 m away from building foundation or base of building or retaining wall.
9. Install min. 2" of compacted bank mulch on all shrub beds after planting and site screened compacted bank mulch.
10. Contractor to ensure all plant material delivered to site is from nurseries certified to be free from box.
11. Contractor to report any discrepancies to plant numbers immediately to Landscape Architect.
12. All on-site landscape to be irrigated with an automatic irrigation system.
13. Provide one host bit for every unit to cover all landscaped areas.



PLAN # 3B

DP 16-728670

AUG 2 2 2017

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DATE: 08/02/2017  
BY: JHL  
CHECKED: JHL  
APPROVED: JHL

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Landscape Architecture • Urban Design

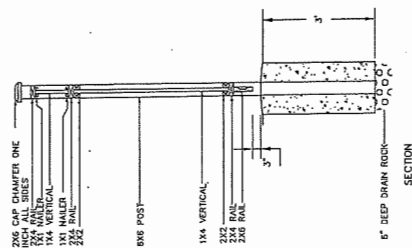
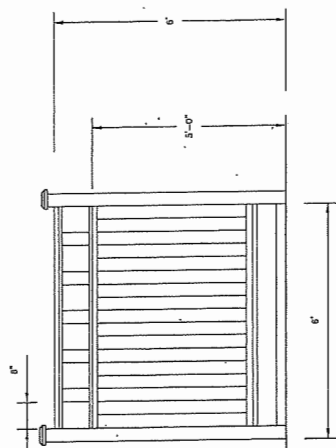
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BY: JHL  
CHECKED: JHL  
APPROVED: JHL

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APPROVED: JHL

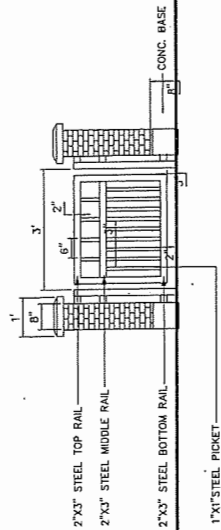
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APPROVED: JHL

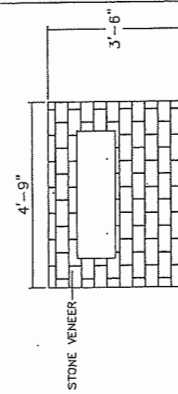
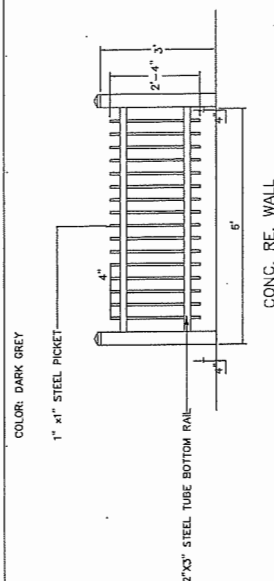
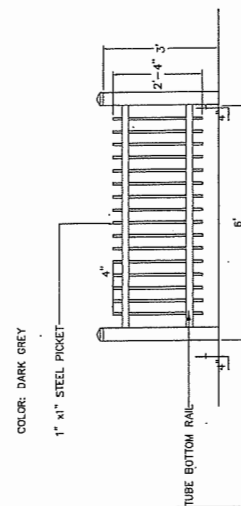
DATE: 08/02/2017  
BY: JHL  
CHECKED: JHL  
APPROVED: JHL



### 6' HIGH CEDAR FENCE DETAIL



ENTRANCE GATE DETAIL



PLA23V

DP 16-728670

AUG 22 2017

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BATE	REVISION
April, 16	DP Submission
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

**JHL Design Group Inc.**  
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Fax: 1-604-277-0354  
Email: [plasma@vancouver.ca](mailto:plasma@vancouver.ca)

SCALE	3/4"=1'-0"
DATE	Aug., 17
EXAMIN	
400 NO.	

**PROJECT TITLE**  
**TOWNHOUSE DEVELOPMENT**  
**6571-8573 NO. 4 ROAD, RICHMOND, BC**

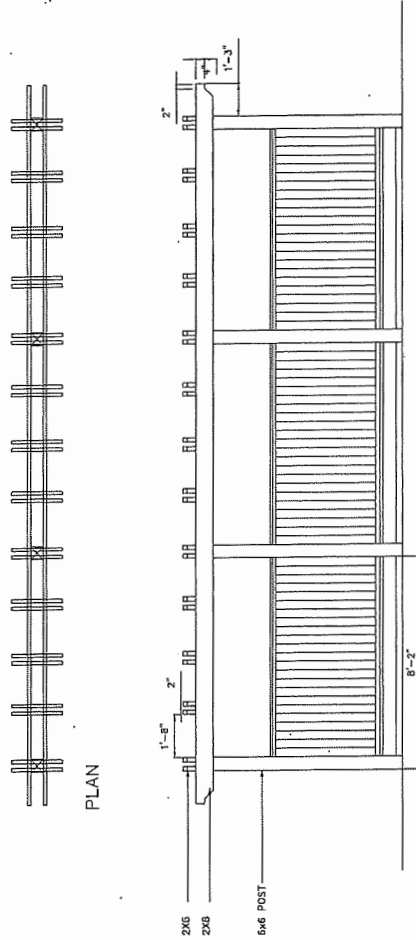
**GRADING TITLE**

**DETAILS**

L-4

PLAN # 3D  
DP 16-728670

AUG 22 2017



FRONT ELEVATION

ROAD END TRELLIS DETAIL

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DATE: 10/17/16  
REVISED: 10/17/16  
REVISED: 10/17/16  
REVISED: 10/17/16

JHL Design Group Inc.  
Landscape Architecture + Urban Design

4700 Maple Street, Northwest, DC  
Tel: 202-234-1344  
Fax: 202-234-1344  
Email: info@jhl.com

SCALE: 1/4" = 1'-0"  
DATE: AUG. 17  
DRAWN: JHL  
APP. JHL

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
8571-8573 NO. 4 ROAD, RICHMOND, BC

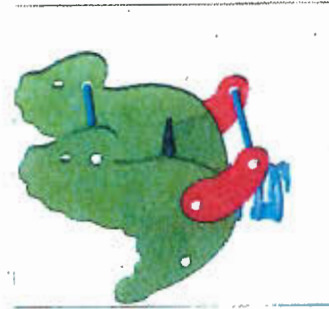
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DETAILS

L-5

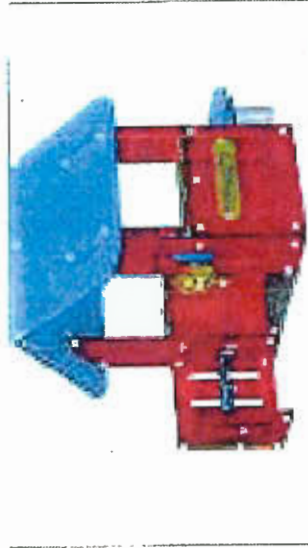




IMAGED SPRING TOY BY KOMPAN



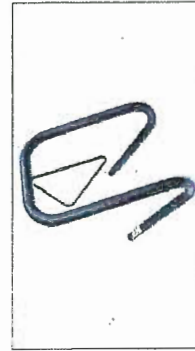
IMAGED SPRING TOY BY KOMPAN



IMAGED PLAY HOUSE BY KOMPAN  
(RED HOUSE, MT300)



IMAGED STREET LIGHTING  
BY FANTASIESCH (MODERN LIGHTING)



IMAGED BIKERACK  
BY KOMPAN



IMAGED BENCH  
MODERN LIGHTING

PLAN #3E

DP 16-728670

AUG 22 2017

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DATE	REVISIONS
08/16/17	FOR APPROVAL
08/16/17	FOR APPROVAL
08/16/17	FOR APPROVAL
08/16/17	FOR APPROVAL
08/16/17	FOR APPROVAL

JHL Design Group Inc.  
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1000 Maple Street, Suite 100, SE  
Ft. Lauderdale, FL 33304  
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Fax: 754-477-1235  
Email: jhl@jhl.com

DATE	08/16/17
BY	Aug. 17
CHK	
APP	

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
8071-8073 NO. 4 ROAD, FORT MONROE, FL

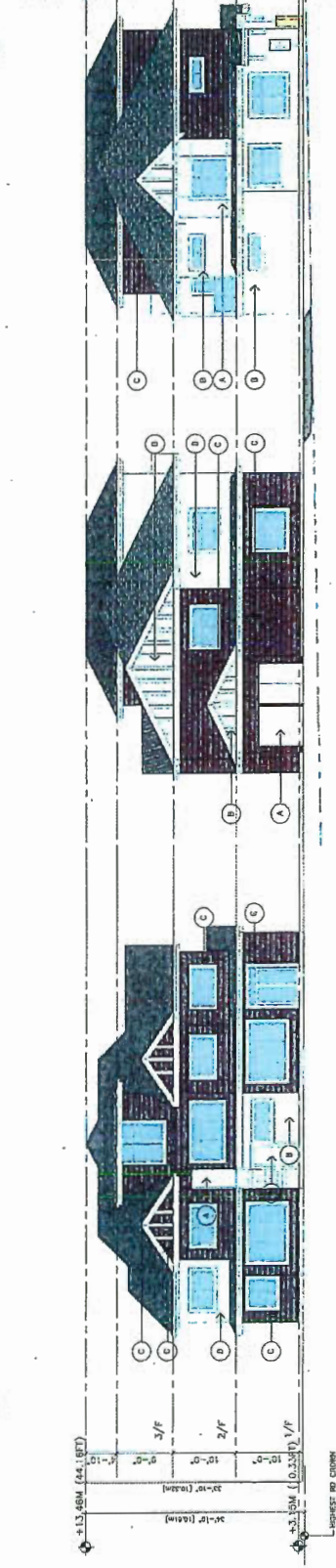
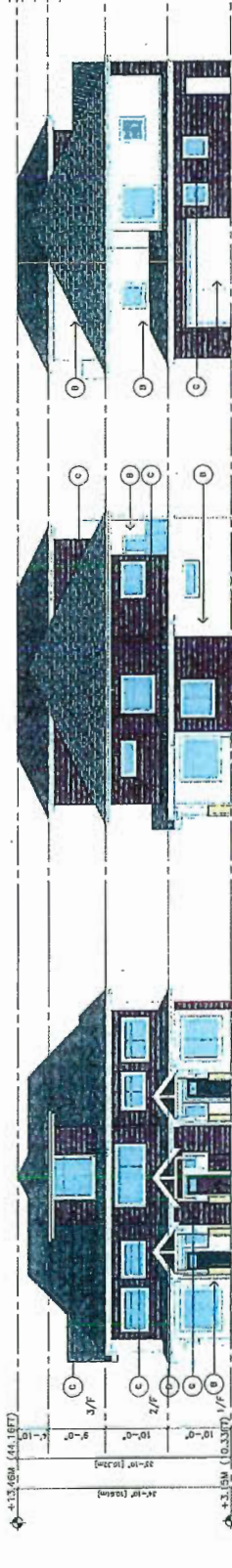
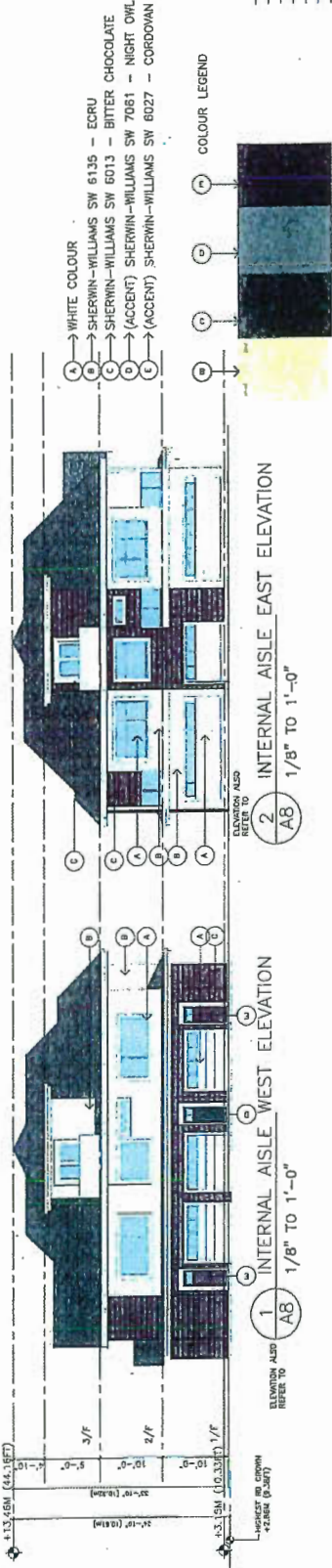
ISSUED FOR  
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L-6

**ERIC LAW ARCHITECT**

1111 14th Street, Suite 100  
Vancouver, BC V6A 1A1  
Tel: (604) 681-1111  
Fax: (604) 681-1112  
www.ericlawarchitect.com

PROJECT: 6871-6573 NO. 4 RD  
RICHMOND BC  
DATE: 12-02-2016  
DRAWN BY: J.L.



PLAN #4

DP 16-728670

AUG 22 2017

PROPOSED TOWNHOUSE  
6871-6573 NO. 4 RD  
RICHMOND BC

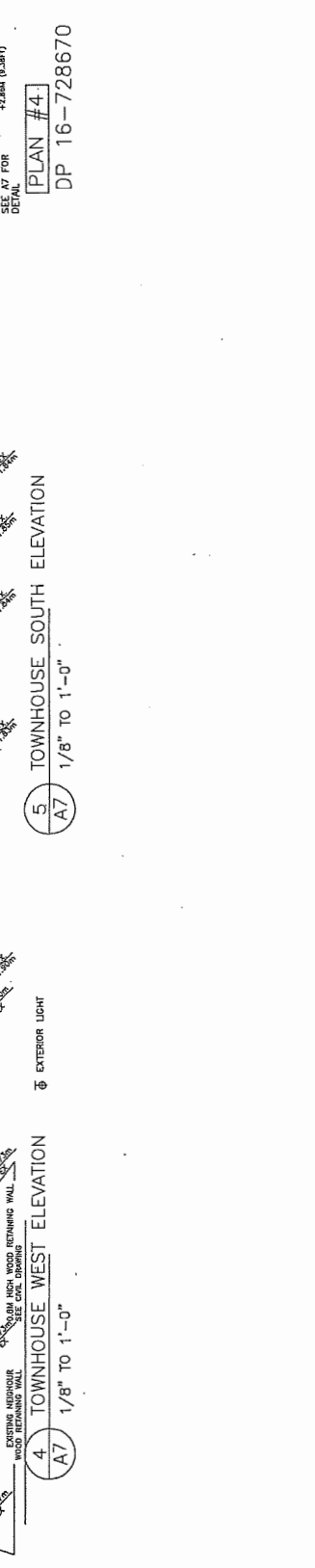
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PROJECT NUMBER: 12-03  
ISSUED: 9/22/2017  
DRAWN BY: J.L.  
CHECKED BY: J.L.  
DATE: 12-02-2016

A9

DP 16-728670

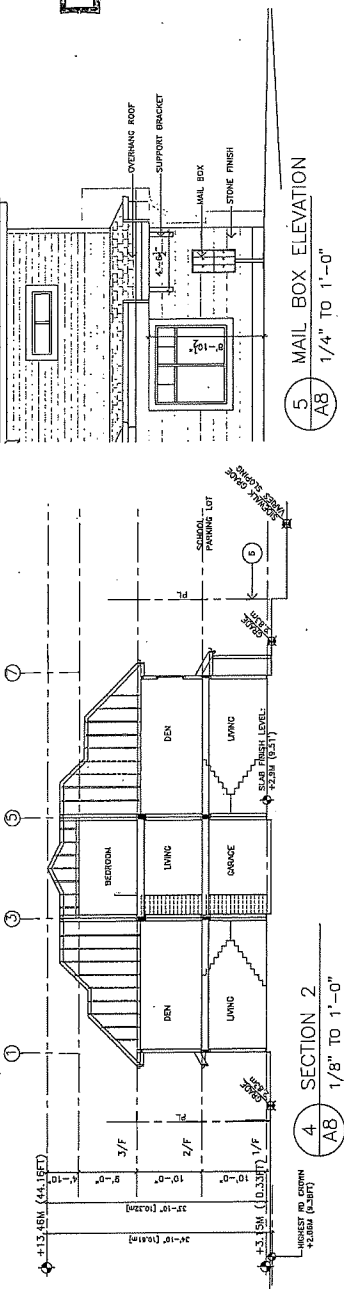
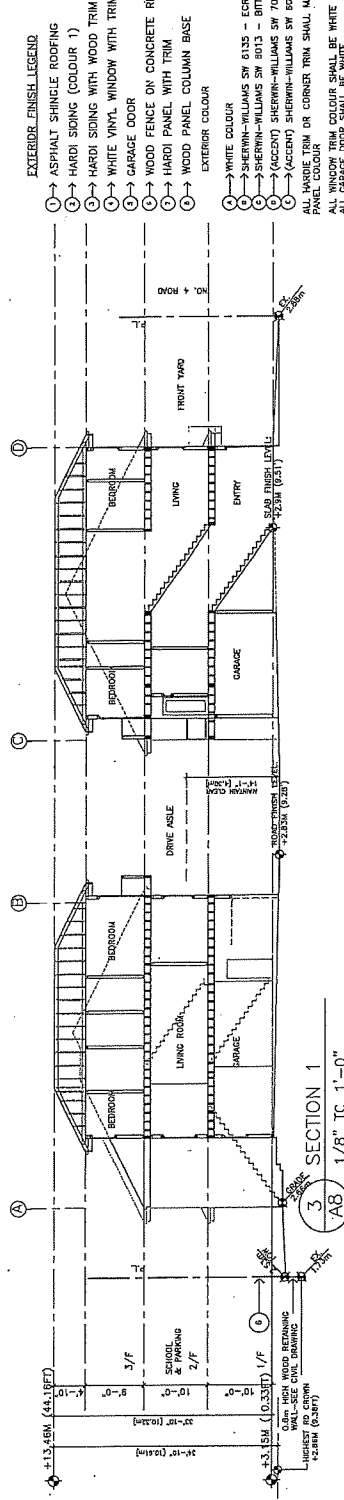
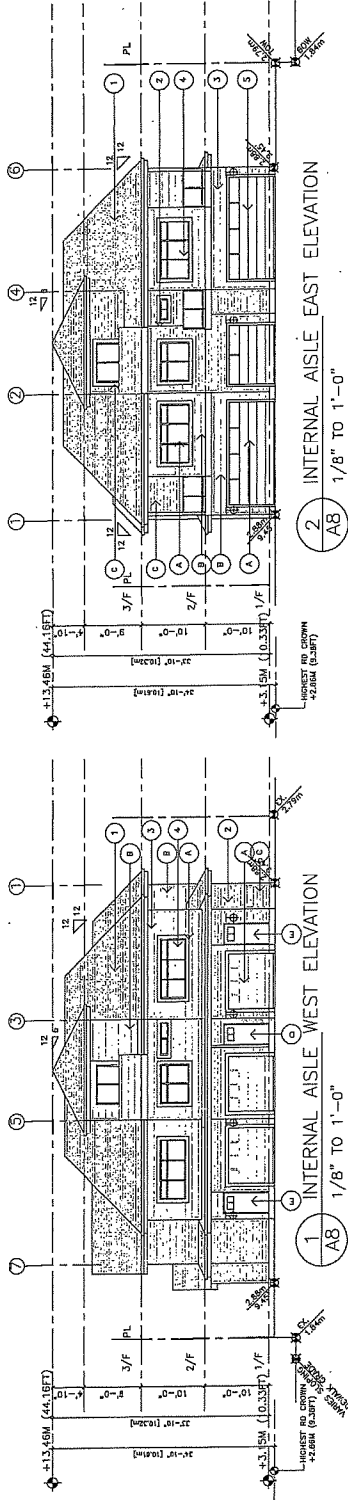
DEVELOPMENT PERMIT





ERIC LAW ARCHITECT  
 1111 16th Street, Suite 100  
 Vancouver, BC V6Z 1Y6  
 TEL: (604) 255-2883  
 FAX: (604) 255-2884  
 eric@ericlaw.ca  
 www.ericlaw.ca

NO.	DESCRIPTION
1	PROPOSED HOUSE
2	PROPOSED GARAGE
3	PROPOSED DRIVE
4	PROPOSED MAIL BOX
5	PROPOSED MAIL BOX
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100	PROPOSED MAIL BOX



- EXTERIOR FINISH LEGEND**
- 1 - ASPHALT SHINGLE ROOFING
  - 2 - HARDI SIDING (COLOUR 1)
  - 3 - HARDI SIDING WITH WOOD TRIM (COLOUR 2)
  - 4 - WHITE VINYL WINDOW WITH TRIM
  - 5 - GARAGE DOOR
  - 6 - WOOD FENCE ON CONCRETE RETAINING WALL
  - 7 - HARDI PANEL WITH TRIM
  - 8 - WOOD PANEL COLUMN BASE
  - 9 - EXTERIOR COLOUR
  - 10 - WHITE COLOUR
  - 11 - SHERWIN-WILLIAMS SW 6135 - ECRU
  - 12 - SHERWIN-WILLIAMS SW 8013 - BITTER CHOCOLATE
  - 13 - (ACCENT) SHERWIN-WILLIAMS SW 7051 - NIGHT OWL
  - 14 - (ACCENT) SHERWIN-WILLIAMS SW 8027 - CORDOVAN
- ALL WINDOW TRIM OR CORNER TRIM SHALL MATCH THE ADJACENT H  
 ALL WINDOW TRIM COLOUR SHALL BE WHITE  
 ALL GARAGE DOOR SHALL BE WHITE  
 ALL SECONDARY DOOR SHALL BE WHITE

PLAN #4B  
 DP 16-728670  
 AUG 2 2 2017  
 PROPOSED TOWNHOUSE  
 6571-8573 NO. 4 RD  
 RICHMOND BC  
 ELEVATIONS & SECTIONS

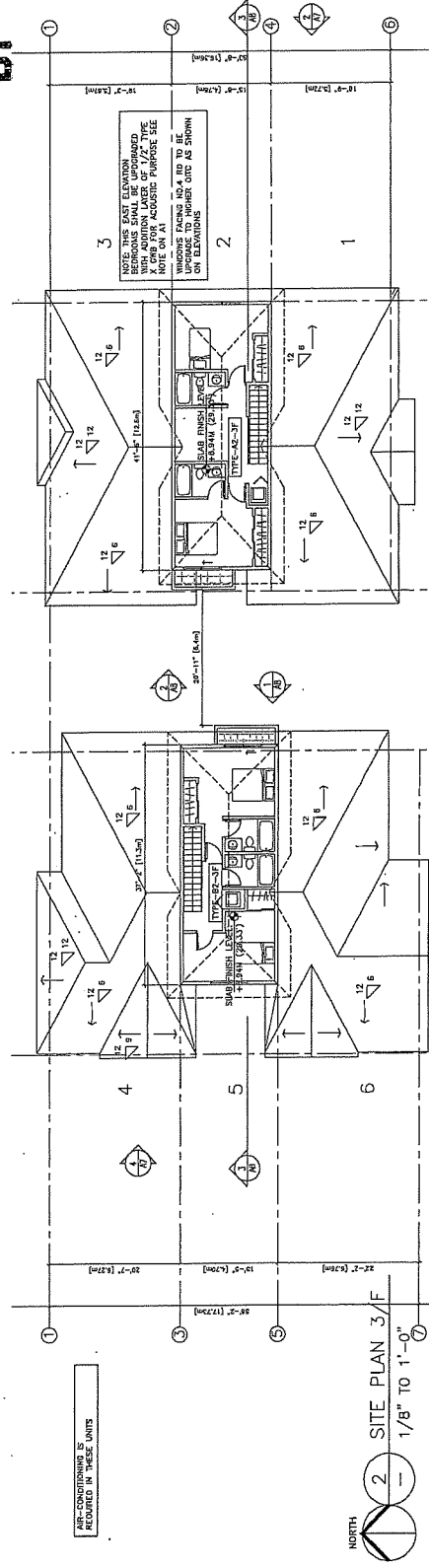
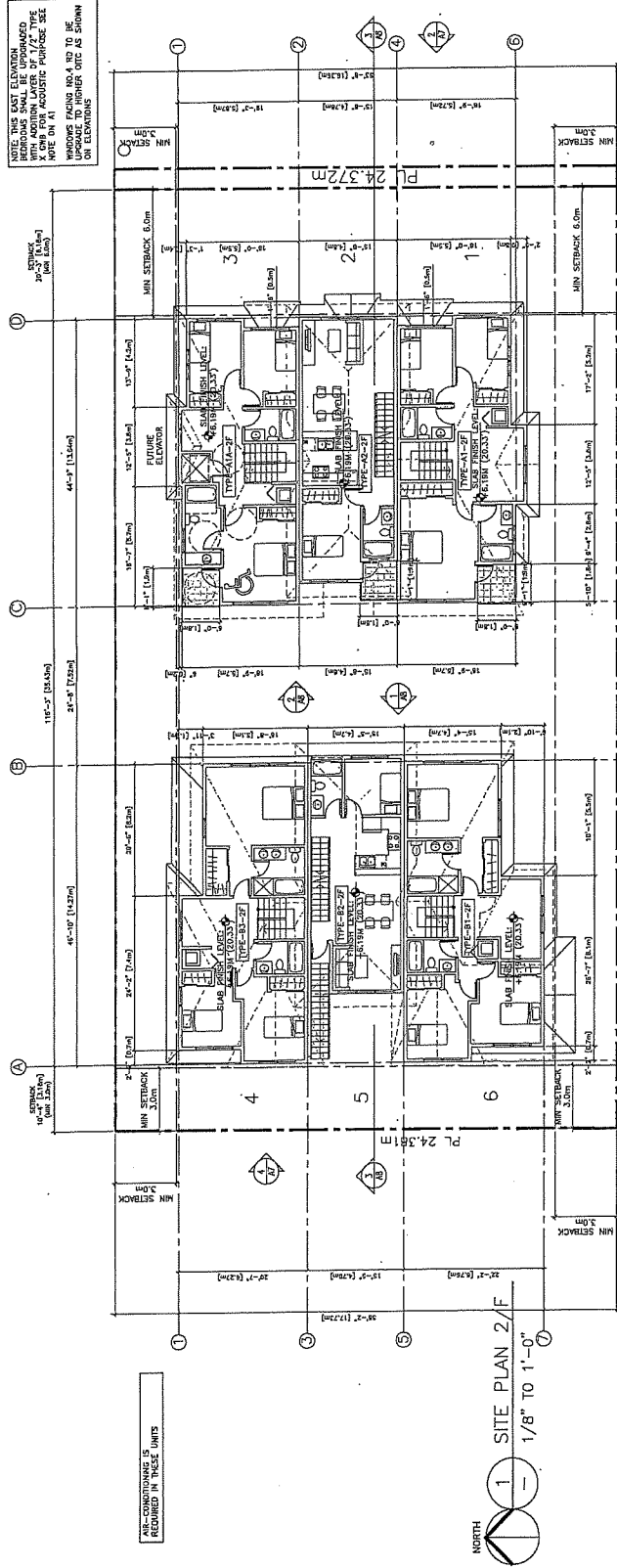
A8

PLAN #4B

DP 16-728670

DEVELOPMENT PERMIT





## REFERENCE PLAN

DP 16-728670

AUG 22 2017

**PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC**

**SITE PLAN (2/F & 3F)**

PROJECT NUMBER: 12-03  
ISSUED: 8/22/2017  
DRAWN BY: EL  
CHECKED BY: EL  
FILENAME: 12-03\_SF0\_170822A-DP.D

## A4

DP 16-728670

DEVELOPMENT PERMIT

DP 16-728670

DEVELOPMENT PERMIT



**City of  
Richmond**

## **Report to Development Permit Panel**

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**To:** Development Permit Panel

**Date:** May 22, 2018

**From:** Wayne Craig  
Director, Development

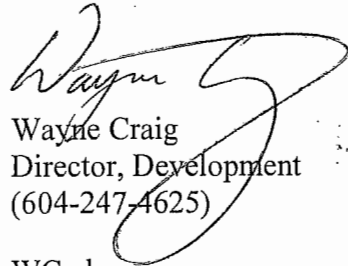
**File:** DP 16-728670

**Re:** Application by Anwer Kamal for a Development Permit at 6571 No. 4 Road  
(formerly 6571/6573 No. 4 Road)

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### **Staff Recommendation**

That a Development Permit be issued which would permit the construction of six townhouse units at 6571 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".



Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 4

## Staff Report

### Origin

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571 No. 4 Road (formerly 6571/6573 No. 4 Road). The site is being rezoned from "Single Detached (RS1/F)" zone to "Town Housing (ZT-60) – North McLennan (City Centre)" for this project under Bylaw 9491 (RZ 11-578758), which received Third Reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

### Background

This project was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. A copy of the original report to Development Permit Panel with the associated Development Permit drawings, dated August 22, 2017, is attached to this report (Attachment A).

The Development Permit endorsed by Development Permit Panel on September 13, 2017 includes the protection and retention of a 42 cm calliper Western Red Cedar tree located at the southwest corner of the site. However, during the site preparation stage, prior to final adoption of the rezoning bylaw and issuance of the Development Permit, Tree Group staff noticed that the tree protection fencing had been pushed up against the tree and that the protected Western Red Cedar tree is damaged due to preload lock-blocks located approximately 0.3 m from the tree. Both the City's Tree Preservation Coordinator and the project arborist agreed that the Western Red Cedar tree is dying as a result of preloading within the required tree protection zone; and that this tree should be removed. A report submitted by the project arborist can be found in Attachment B.

The Tree Group has issued two Municipal Ticket Information Notices to the property owner totalling \$1,750 and two Municipal Ticket Information Notices to the pre-load contractor totalling \$1,750. The total fine is \$3,500. In addition, as compensation to the damages made to the protected tree, the applicant is proposing to:

- plant a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site;
- upsize the proposed Austrian Black Pine trees from 3.5 m to 4.5 m high;
- increase the pot sizes of shrubs and perennials; and
- upsize the height of the proposed Emerald Green Cedar along the side and rear property lines from 5 ft. to 6 ft.

A new Tree Management Plan and Landscape Plan are attached to the revised Development Permit Drawings.



**Findings of Fact**

In addition to the replacement of the Western Red Cedar tree and upsizing of proposed planting materials, the following changes to the Development Permit application are proposed:

- Change of site grade at the southwest corner of the site (i.e., where the tree well required to protect the 42 cm calliper Western Red Cedar tree was located) to match the proposed site grade of the adjacent yard areas, and integrate this space into the adjacent private yard space and the adjacent common area.
- Removal of one surface parking stall adjacent to the northwest corner of the internal drive aisle to allow the relocation of the hydro kiosk, as per BC Hydro's request. The proposed numbers of residential and visitor parking spaces are still in compliance with the bylaw. Please refer to the attached Development Application Data Sheet (Attachment C) for a comparison of the proposed development data with the relevant bylaw requirements.
- Planting of one additional tree at the original hydro kiosk location along the south property line.
- Minor amendments to the window openings to meet Building Code requirements.

All proposed changes to the Development Permit application are highlighted with red clouds on the attached Development Permit drawings.

**Staff Comment**

The applicant is proposing to replace the dying 42 cm calliper Western Red Cedar tree located at the southwest corner of the site with a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site. This proposal has been reviewed and accepted by the City's Tree Preservation Coordinator. As fines have been issued to the owner and the pre-load contractor already, no additional compensation is requested.

In order to ensure the landscaping works are undertaken, the applicant is required to provide a landscape security of \$123,828.00 with the Development Permit. Since large specimen trees, in general, have a lower survival rate, a Tree Survival Security will be required as part of the Landscape Letter of Credit, as a condition to Development Permit issuance to ensure that the new trees to be planted on site will be protected. The City will release 80% of the security after construction and landscaping on the proposed townhouse complex are completed and inspections are approved. The remaining 20% of the security would be released two years later, subject to inspection.

It is also noted that, due to the elimination of a surface parking space and the tree well with associated stairs, the lot coverage of landscaping with live plant materials will be increased from 25.5% to 26.4%.

**Conclusions**

The applicant had presented a development that meets applicable policies and Development Permit Guidelines, and this development proposal was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. To rectify a tree preservation issue, the applicant has proposed minor changes to the development, and has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment D. Staff have no objection to the proposed revisions. On this basis, staff recommend support of this Development Permit application.



Edwin Lee  
Planner 1  
(604-276-4121)

EL:blg

Attachment A: Report to Development Permit Panel (August 22, 2017)

Attachment B: Arborist Letter

Attachment C: Development Application Data Sheet

Attachment D: Development Permit Considerations

MOUNTAIN MAPLE GARDEN & TREE SERVICE LTD.  
PHONE: 604 - 499- 6568  
MOUNTAIN.MAPLE@HOTMAIL.COM

January 24, 2018

**RE: Arborist Report - For property located at 6571 No 4 Rd., Richmond, BC**

Further to the Revised Arborist Report dated September 12, 2017, this serves to discuss the condition of Tree #1. This site was attended on December 11, 2017 and January 15, 2018. Ten photographs have been included as part of this report.

On December 11, 2017, the Tree Protection Zone fencing for Tree #1 was not installed to capacity; concrete lock blocks were installed less than 2ft from the base of the stem on the east side, and the area was filled with 5ft of pre-load (sand). The south side of the canopy was mostly brown; however, the north side still had a significant amount of green, and the east side was in between. Some of the chlorotic foliage was still pliable. The property owner asked if the tree could be saved; it was advised that it is unlikely that the tree will survive the compaction that has occurred to the Critical Root Zone, but we could try. It was advised that the lock blocks and preload must be removed from a 12ft radius of the stem, and native grade restored; it was indicated that this work must be supervised by a Certified Arborist. Upon removal of the fill and lock blocks, the entire Critical Root Zone would require deep root fertilization, in an effort to alleviate the compacted soil.

On January 3, 2018, we were advised that the lock blocks and preload had been removed; this was not supervised by this firm. The site was visited again on January 15, 2018. Tree Protection Zone fencing has been reinstalled at 9ft from the base of the stem on the east side, 11ft from the base of the stem on the northeast side, and 15ft from the base of the stem on the north side. About six inches of new soil had been installed within the TPZ. Further examination revealed that a 3" diameter root was severed 5ft from the base of the stem on the east side; it is assumed that this was caused during the removal of the preload, and that other structural roots have likely sustained damage.

It is very unlikely that this tree would have survived the compaction to its root system resulting from the lock blocks and preload. Compaction removes pore/air space from the soil, which smothers the roots, and impedes or prevents water flow. This species of tree has a rather low tolerance to root disturbance; the weight of the pre-load and lock blocks may have also caused damage/compaction to root tissue. This tree should be removed, and a new 4-5m tall Western Red Cedar (*Thuja plicata*) should be planted on the property upon completion of site development.

Limitations: Monitoring any portion of the development or construction process provides no undertakings regarding the future condition or behaviour of the tree(s). Recommendations and actions are to serve for the retention and protection of the tree(s), and are made according to commonly accepted arboricultural practises, and do not guarantee the survival and/or safety of the specimen(s). Tree conditions do change overtime, and the evaluation period is valid for the day on which it was performed only. No responsibility is assumed for any legal matters as a result of the retention of the tree(s). The consultant shall not be required to give testimony or attend court by any reason unless subsequent contractual arrangements are made, including payment of additional fees for such services. Loss or alteration of any part of this document invalidates the entire document. Possession of this document does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without verbal or written consent of the consultant. No part of this document shall be conveyed by anyone to the public by any means without prior written consent of the consultant.

Yours truly,



Kerin Matthews -- sent electronically  
ISA Certified Arborist #PN-5648  
ISA Certified Tree Risk Assessor #0123  
Inter-Municipal Business License #20014651





Dec 11/17 - Tree #1 southeast side



Dec 11/17 - Tree #1 northwest side



Dec 11/17 - Tree #1 east side



Dec 11/17 - Tree #1, northeast side



Jan 15/18 - Tree #1 southeast side



Jan 15/18 - Tree #1 north side



Jan 15/18 - Tree #1 east side



Jan 15/18 - New soil within TPZ



Jan 15/18 - Tree #1 severed root



Jan 15/18 - Tree #1 about 6" of new soil placed in TPZ





**DP 16-728670**

**Attachment C**

Address: 6571 No. 4 Road (formerly 6571/6573 No. 4 Road)

Applicant: Anwer Kamal

Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m<sup>2</sup>

Floor Area Net: 690.4 m<sup>2</sup>

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	1,115 m <sup>2</sup>	1,091 m <sup>2</sup> (net after road dedication)
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Zoning:</b>	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
<b>Number of Units:</b>	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m <sup>2</sup>	1,091 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.83 (R) and 0.33 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	11 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none

Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 6 units = 36 m <sup>2</sup>	36.7 m <sup>2</sup>	none



**Development Permit Considerations**

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6571/6573 No. 4 Road

**File No.:** DP 16-728670

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$123,828.00. The City will release:
  - a) 80% of the security when:
    - i. construction and landscaping on the proposed townhouse complex are completed;
    - ii. a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted; and
    - iii. physical inspection has been undertaken by staff.
  - b) the remaining 20% of the security when:
    - i. the construction and landscaping on the proposed townhouse complex have been completed for at least 2 years;
    - ii. an Arborist Post Construction Impact Assessment Report, confirming survival of the replacement tree, has been submitted; and
    - iii. physical inspection has been undertaken by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements:
  - a) Water Works:
    - i. Using the OCP Model, there is 651 L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
    - ii. The Developer is required to:
      - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
      - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
    - iii. At the Developer's cost, the City will:
      - Cut and cap at main the existing water service connection at No. 4 Road frontage.
      - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
  - b) Storm Sewer Works:
    - i. At the Developer's cost, the City will:
      - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
      - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

Initial: \_\_\_\_\_



c) Sanitary Sewer Works:

i. The Developer is required to:

- Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.
- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

d) Frontage Improvements:

i. The Developer is required to:

- Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
- Provide street lighting along No. 4 Road frontage.
- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
  - 1) BC Hydró PMT – 4mW X 5m (deep)
  - 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
  - 3) Street light kiosk – 1.5mW X 1.5m (deep)
  - 4) Traffic signal kiosk – 1mW X 1m (deep)
  - 5) Traffic signal UPS – 2mW X 1.5m (deep)
  - 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan.
  - 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan

e) General Items:

i. The Developer is required to:

- Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
  - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
  3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
  4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
  5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

Initial: \_\_\_\_\_

6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

\* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

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Signed

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Date



# City of Richmond

## Development Permit

No. DP 16-728670

To the Holder: ANWER KAMAL

Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$123,828.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

# Development Permit

No. DP 16-728670

To the Holder: ANWER KAMAL

Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

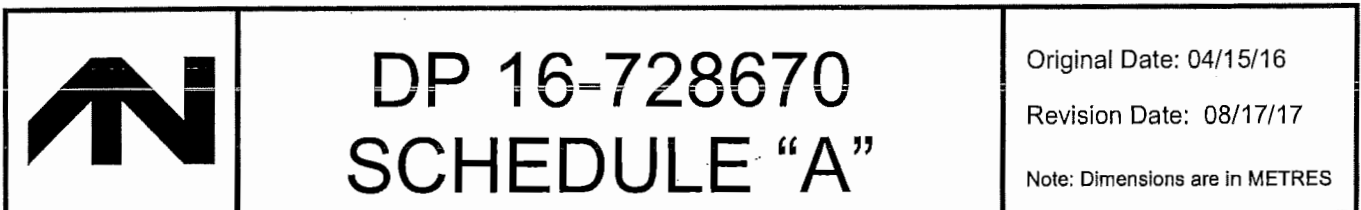
AUTHORIZING RESOLUTION NO.  
DAY OF

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

---

MAYOR







## DEVELOPMENT PERMIT

216.288.8878 WITH A/E/ME/C UNCOLLORED BG  
 VARIOUS  
 TEL: (604) 363-2088  
 FAX: (604) 928-1897  
 COPYRIGHT RESERVED. THIS PLAN AND  
 DESIGN ARE AT ALL TIMES TO REMAIN  
 THE EXCLUSIVE PROPERTY OF EAC LARSEN  
 CONSULTING INC. AND MAY NOT BE USED  
 FOR ANY OTHER PROJECT WITHOUT THE  
 CONSENT. ALL INFORMATION SHOWN ON  
 THIS DRAWING IS FOR USE IN THIS  
 SPECIFIC PROJECT ONLY AND SHALL NOT  
 BE USED OTHERWISE WITHOUT WRITTEN  
 PERMISSION.

DATE	DESCRIPTION	AMOUNT
1	2016.04.04 FOR GP APPLICATION	100.00
2	2016.10.25 FOR GP REINVESTMENT	100.00
3	2017.01.18 FOR CITY OF RENO	100.00
4	2017.03.24 FOR CITY OF REINVESTMENT	100.00
5	2017.06.21 FOR CITY OF REINVESTMENT	100.00
6	2017.08.37 FOR CITY OF REINVESTMENT	100.00
7	2017.10.12 FOR CITY OF REINVESTMENT	100.00
8	2018.04.18 FOR CITY OF REINVESTMENT	100.00

[illegible]

7	2018.04.08	REMOVED REEF #1 AND TRAIL WALL
8	2018.04.15	RELOCATED HYDRO LPT
9	2017.08.31	ANALYSTED ROOF AND BALCONY ASSESS
4	2017.07.21	ANALYSTED FERTILIZABLE ONCHINA
3	2017.05.15	ANALYSTED BACK REMAINING WALL
2	2017.03.20	FOR CITY OF DALLAS, COUNTING
1	2016.04.27	FOR CITY OF DALLAS

**PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC**

**SITE PLAN (1/F)**

PROJECT NUMBER: 12-03  
SSU ED: 4/17/2018  
DRAWN BY: EL  
CHECKED BY: EL  
FILE NAME: 12-03\_SFD\_180417-DPP-AMEND

## A2

DEVELOPMENT PERMIT

MAY 22 2018

7627

TIGHT

PLAN = 1B

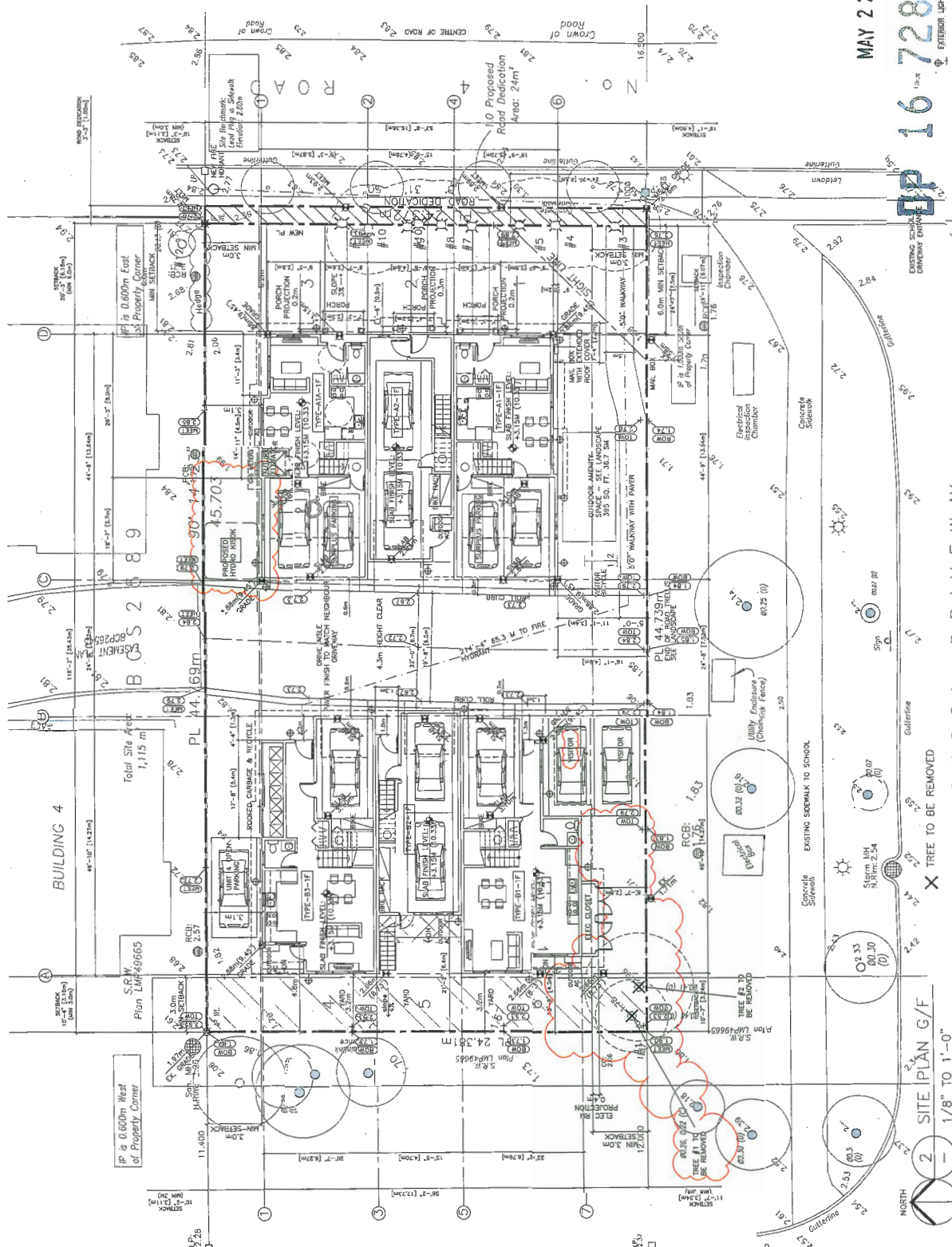
DP 16-728670

SIZE FOR ALL PARKING	ALSO SEE A4 FOR PARKING DIMENSIONS INSIDE THE UNIT
----------------------	--

SCHOOL DRIVEWAY

MINIMUM OF 20% OF PARKING SPACES TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).

AVERAGE GRADE: 2.61 M (8.56")





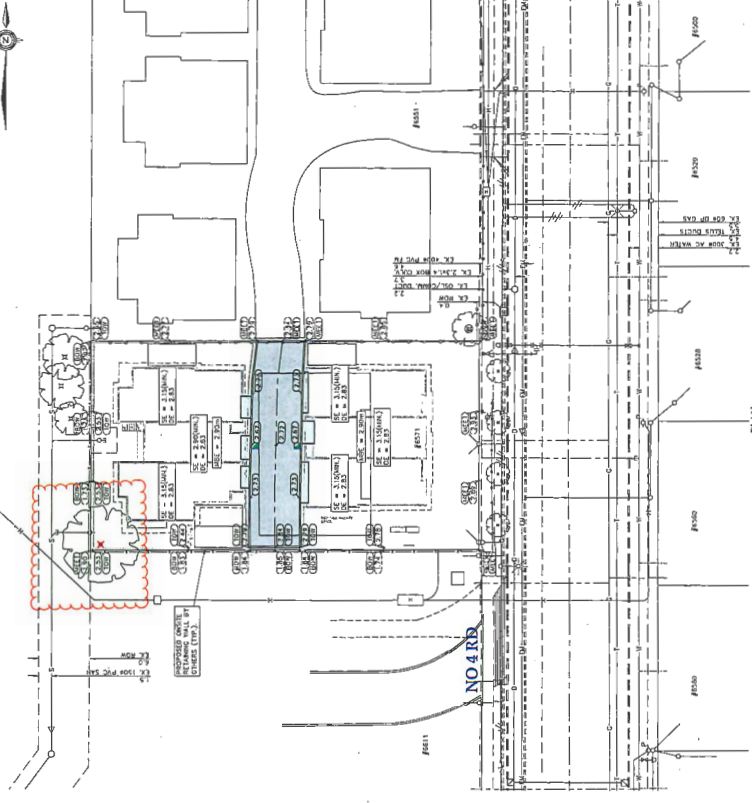
DEVELOPMENT PERMIT



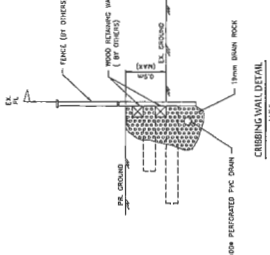
SITE PLAN G/F  
1/8" TO 1'-0"



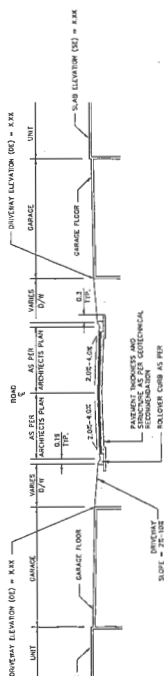
- REVISIONS:**
1. ROADWAY AND SIDEWALKS TO BE CONSTRUCTED IN ACCORDANCE WITH HANDBOOK ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  2. ASPHALT AND ROAD STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
  3. SUBGRADE TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF SUBGRADE MATERIAL.
  4. ALL ROAD ELEVATIONS ARE PROPOSED AND SHOWN AS PROPOSED UNLESS OTHERWISE NOTED.
  5. ALL ROAD ELEVATIONS ARE PROPOSED AND SHOWN AS PROPOSED UNLESS OTHERWISE NOTED.
  6. ALL ROAD ELEVATIONS ARE PROPOSED AND SHOWN AS PROPOSED UNLESS OTHERWISE NOTED.
  7. ALL ROAD ELEVATIONS ARE PROPOSED AND SHOWN AS PROPOSED UNLESS OTHERWISE NOTED.
  8. ALL ROAD ELEVATIONS ARE PROPOSED AND SHOWN AS PROPOSED UNLESS OTHERWISE NOTED.
  9. ALL ROAD ELEVATIONS ARE PROPOSED AND SHOWN AS PROPOSED UNLESS OTHERWISE NOTED.
  10. ALL ROAD ELEVATIONS ARE PROPOSED AND SHOWN AS PROPOSED UNLESS OTHERWISE NOTED.
  11. ELEVATIONS SHOWN AS THIS CANNOT BE PROPOSED UNLESS OTHERWISE NOTED.
  12. ELEVATIONS SHOWN AS THIS CANNOT BE PROPOSED UNLESS OTHERWISE NOTED.
  13. ELEVATIONS SHOWN AS THIS CANNOT BE PROPOSED UNLESS OTHERWISE NOTED.
  14. COORDINATES (IF SHOWN ON THIS PLAN) MAY NOT MATCH THOSE SHOWN ON PLANS PREPARED BY OTHERS.



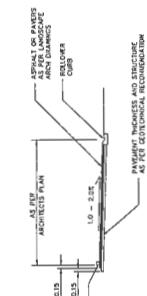
PLAN  
SCALE 1/8"



CROSS SECTION  
SCALE 1/8"



TYPICAL ROADWAY UNIT CROSS SECTION  
SCALE 1/8"



CONCRETE PARKING CURB DETAIL  
SCALE 1/8"

MAY 22 2018

PLAN #1D

DP 16728670

City of Richmond

ROADWORKS

6571 NO. 4 ROAD

CITYFILE:

DESIGN	CA	DATE	NOV 2018
DRAWN	CC	SCALE	1:1 250
CHECKED	BCD	DATE	NOV 2018
CONCURRED	W	DATE	NOV 2018

NOT FOR CONSTRUCTION

10 APR 2018

**Core Concept**  
CONSULTING ENGINEERS  
14141 W. 14TH AVE. SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1100  
WWW.CORECONCEPTENGINEERS.COM

**ANWER KAMAL**  
Core Concept Consulting Project No. 10522  
DATE: 05/14/18

**NOTES:**

1. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
2. HPM FIBER CONCRETE, MINIMUM STRENGTH 10,000 PSI.
3. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
4. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
5. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
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12. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
13. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
14. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
15. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
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17. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
18. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
19. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.
20. ALL ELEVATIONS ARE IN METRIC FEET AND SHALL BE ROUNDED UPWARD TO THE NEAREST WHOLE NUMBER.

**REVISIONS:**

NO.	DESCRIPTION	DATE
1	REVISION 1	05/14/18
2	REVISION 2	05/14/18
3	REVISION 3	05/14/18
4	REVISION 4	05/14/18
5	REVISION 5	05/14/18
6	REVISION 6	05/14/18
7	REVISION 7	05/14/18
8	REVISION 8	05/14/18
9	REVISION 9	05/14/18
10	REVISION 10	05/14/18
11	REVISION 11	05/14/18
12	REVISION 12	05/14/18
13	REVISION 13	05/14/18
14	REVISION 14	05/14/18
15	REVISION 15	05/14/18
16	REVISION 16	05/14/18
17	REVISION 17	05/14/18
18	REVISION 18	05/14/18
19	REVISION 19	05/14/18
20	REVISION 20	05/14/18

7	2016-04-08	REPAIRS WALK IN AND HIC WALL
8	2016-05-15	RECAUGHT HYDRO LIFT
9	2017-08-21	ADJUSTED ROOF AND BALCONY AISLE
4	2017-07-21	ADJUSTED FLOORABLE DAMM
3	2017-05-15	ADJUSTED BACK REACTIVE WALL HICER
2	2017-02-28	FOR CITY OF DALL COMMENTS
1	2016-04-27	FOR CITY OF COMMERCE
		REVISION

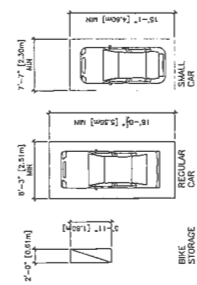
## PARKING-PLAN

PROJECT NUMBER: 12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_5 <sup>TH</sup> _180417-OPP-AIEND

PLAN #2

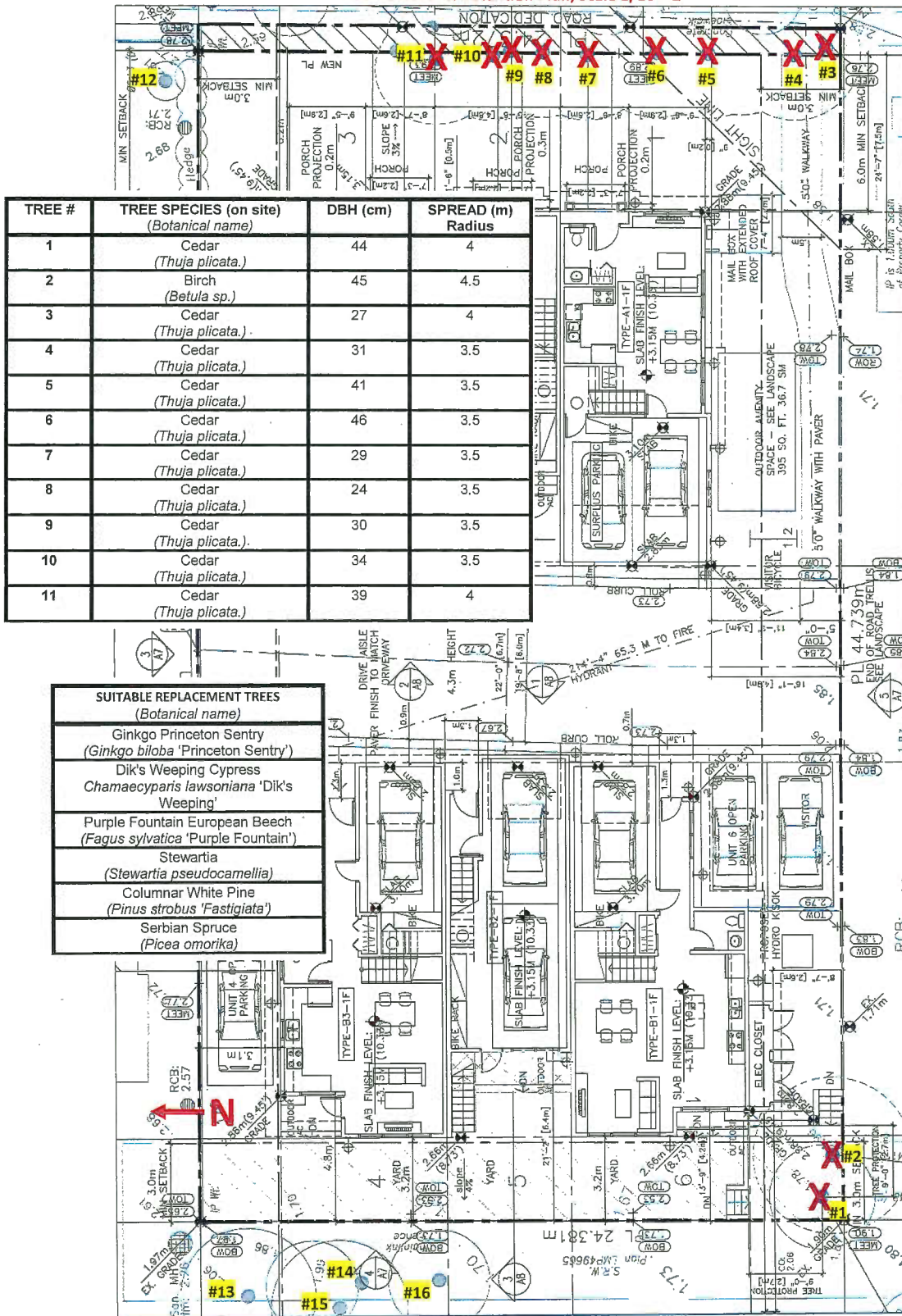
PLAN #2

DEVELOPMENT PERMIT

[illegible]

DP 16-728670

Tree Removal & Retention Plan, Scale 1/16 = 1'







CONC. UNIT PAVEMENT BY ABSTRACTED  
CONC. PRODUCT  
V/ DOUBLE SOLID COARSE  
COLOR (SALMON) AND PATTERN  
(BASKET WEAVER)  
MATCHING NEIGHBOUR'S  
PROPERTY



AQUAPAVE BY ABBOTSFORD  
CONC. PRODUCTS  
FOR RESIDENT PARKING  
COLOR CHARCOAL  
PATTERN STRETCHER BOND  
PERMEABLE PAVEE

AQUIPAVER BY ABBOTSTURD  
 CONG. PRODUCTS  
 FOR VISITOR PARKING  
 COLOR DESERT SAND AND PATTERN  
 STRETCHER BOND  
 PERMEABLE PAVEMENT



**AQUAPAVE<sup>®</sup> BY ABOUTSFORD**  
**9'X3' -**  
**COLOR: CHARCOAL**  
**W/ METAL EDGE**  
**PERMEABLE PAVE**

[illegible]

2'X2' PAVER

⊕  
WALL MOUNTED  
LIGHTING FIXTURE

PLA2 + 3A

OP 16728670 DRAWING TITLE

TOWN-HOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

DATE	March, 18
DRAWN	
JOB NO.	

Tel: 604-263-8813  
Fax: 1-888-277-9354  
Email: [pld@sigablog.com](mailto:pld@sigablog.com)

Landscape Architecture + Urban Design

Oct., 16	pp	Revision Submission
Feb., 17	pp	Revision Submission
March, 17	pp	Revision Submission
Aug., 17	pp	Revision Submission
March, 18	pp	Revision Submission



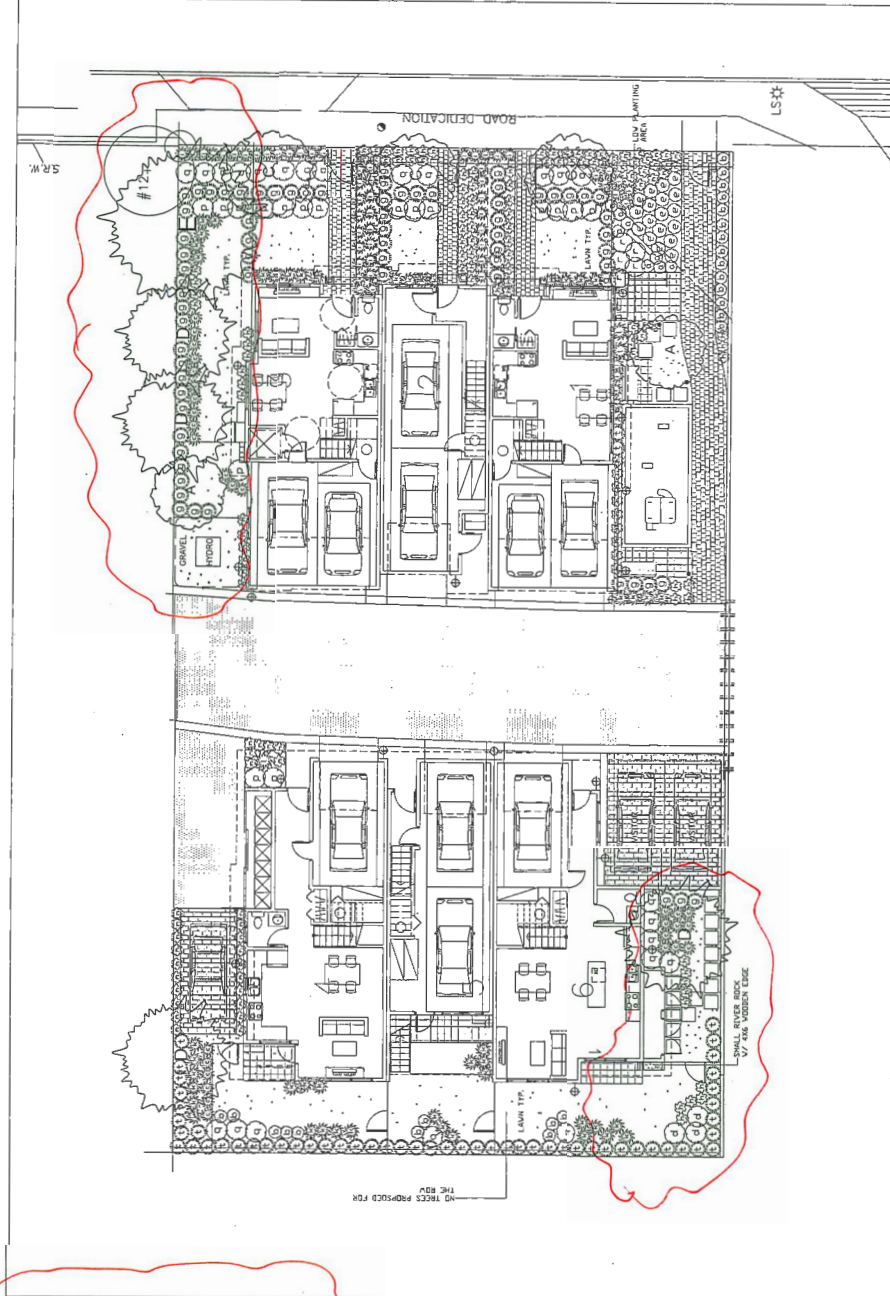
at all times remains the exclusive property of JHL Design Group Inc. and cannot be used without the landscape architect's written consent.

2-7

PLANT LIST	Symbol	Botanical Name	Common Name	Size	Spacing
1	A	<i>Artemisia tridentata</i>	Artemisia	10m x 10m	as shown
2	B	<i>Baccharis salicifolia</i>	Baccharis	10m x 10m	as shown
3	C	<i>Cercocarpus betuloides</i>	Cercocarpus	10m x 10m	as shown
4	D	<i>Dryas octopetala</i>	Dryas	10m x 10m	as shown
5	E	<i>Eriogonum fasciculatum</i>	Eriogonum	10m x 10m	as shown
6	F	<i>Festuca ovina</i>	Festuca	10m x 10m	as shown
7	G	<i>Gutierrezia serotina</i>	Gutierrezia	10m x 10m	as shown
8	H	<i>Hesperis matronalis</i>	Hesperis	10m x 10m	as shown
9	I	<i>Ipomoea pes-caprae</i>	Ipomoea	10m x 10m	as shown
10	J	<i>Juncus roemerianus</i>	Juncus	10m x 10m	as shown
11	K	<i>Koeberlinia ovata</i>	Koeberlinia	10m x 10m	as shown
12	L	<i>Larrea mexicanus</i>	Larrea	10m x 10m	as shown
13	M	<i>Muhlenbergia capensis</i>	Muhlenbergia	10m x 10m	as shown
14	N	<i>Nolina pauciflora</i>	Nolina	10m x 10m	as shown
15	O	<i>Oenothera biennis</i>	Oenothera	10m x 10m	as shown
16	P	<i>Penstemon brevis</i>	Penstemon	10m x 10m	as shown
17	Q	<i>Quercus agrifolia</i>	Quercus	10m x 10m	as shown
18	R	<i>Rhus copallina</i>	Rhus	10m x 10m	as shown
19	S	<i>Sarcobatus vermiculatus</i>	Sarcobatus	10m x 10m	as shown
20	T	<i>Tetradlea juncea</i>	Tetradlea	10m x 10m	as shown
21	U	<i>Urtica dioica</i>	Urtica	10m x 10m	as shown
22	V	<i>Veronica filiformis</i>	Veronica	10m x 10m	as shown
23	W	<i>Wormskindia</i>	Wormskindia	10m x 10m	as shown
24	X	<i>Xanthoxylum</i>	Xanthoxylum	10m x 10m	as shown
25	Y	<i>Yucca elata</i>	Yucca	10m x 10m	as shown
26	Z	<i>Zinnia mexicana</i>	Zinnia	10m x 10m	as shown

# NOTES:

1. Maintain min. 2% slope away from building.
2. All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
3. All growing medium to be tested by FSAI (604-273-4220) and amended accordingly if necessary, and to be tested again at Substantial Completion.
4. Minimum planting medium depth: 10m-57150mm, 9" on slab groundcover & shrubs-197450mm, min 18" on slab trees-127300mm, all around the rooftop, 24" small trees on slab, 30" medium sized trees on slab For detailed JRS see specifications
5. All plant material shall meet minimum size requirements as indicated in plant list.
6. Trees planted in lawn areas to have 1 m dia. mulched ring.
7. Make sure wire around rootballs to be cut and removed to prevent girdling.
8. All proposed trees should be planted min. 3 m away from building foundation or face of building or retaining walls.
9. Install min. 2" of composted bark mulch on all shrub beds after planting and take smooth. Mulch to be 100mm deep.
10. Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora cinnamomi virus (Sudden Oak Death).
11. Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
12. All on-site landscape to be irrigated with an automatic irrigation system.
13. Provide one hose bib for every unit to cover all landscaped areas.

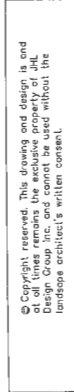


PLAN #38 MAY 22 2018

OP 16-728670

<b>JHL Design Group Inc.</b> Landscape Architecture + Urban Design		JHL Design Group Inc. 1484-277-0514 jhl@jhl.ca	JHL Design Group Inc. 1484-277-0514 jhl@jhl.ca
PROJECT TITLE TOWNHOUSE DEVELOPMENT 6571-4573 RD. 4 ROAD, RICHMOND, BC	SCALE 1/8" = 1'-0" DATE MAY 18 DRAWN JHL	SHEET NO. L-3	PROJECT NO. 16-728670







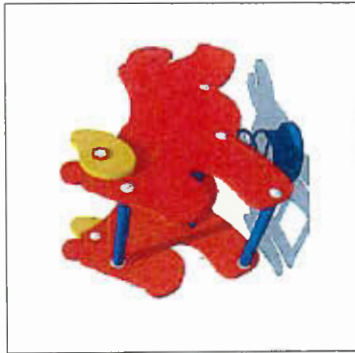


IMAGE OF SPRING TOY BY KOMPAN

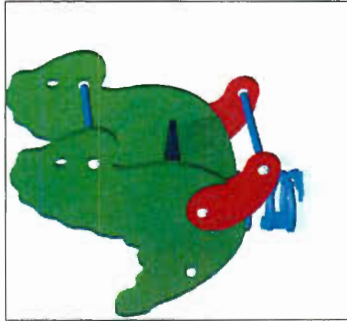


IMAGE OF SPRING TOY BY KOMPAN

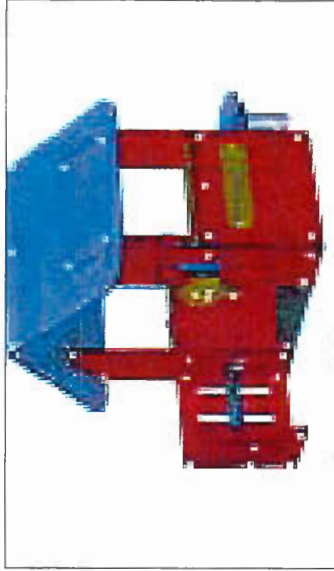


IMAGE OF PLAY HOUSE BY KOMPAN  
(RED HOUSE, MT003)



IMAGE OF SQUARE LIGHTING  
BY FARNBACHER, CONSULTANT LED 30" Hx30"



IMAGE OF BIKE RACK  
BY COMA CANADA

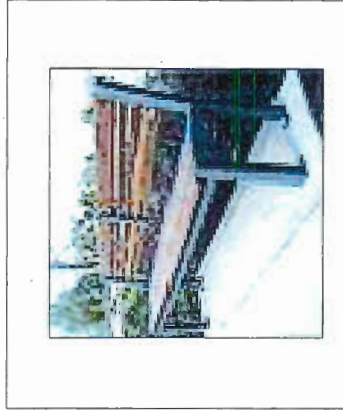


IMAGE OF BENCH  
(WOOD, 60" Hx30")

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DATE	REVISIONS
April 18, 2018	DP Submission
May 1, 2018	Final Design
June 17, 2018	DP Revision Submission
March 17, 2019	Revision Submission
Aug. 17, 2019	Revision Submission

**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

4275, Maple Street, Vancouver, BC  
V6M 4K1  
Tel: 604-271-4004  
Email: jhl@jhlgroup.com

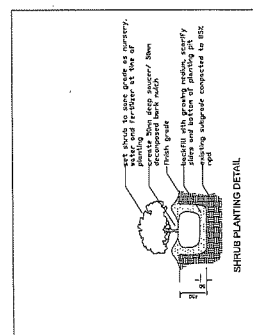
SCALE: 1/2" = 1'-0"
DATE: Aug. 17
DESIGNER
DATE

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
8571-8573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE  
IMAGES

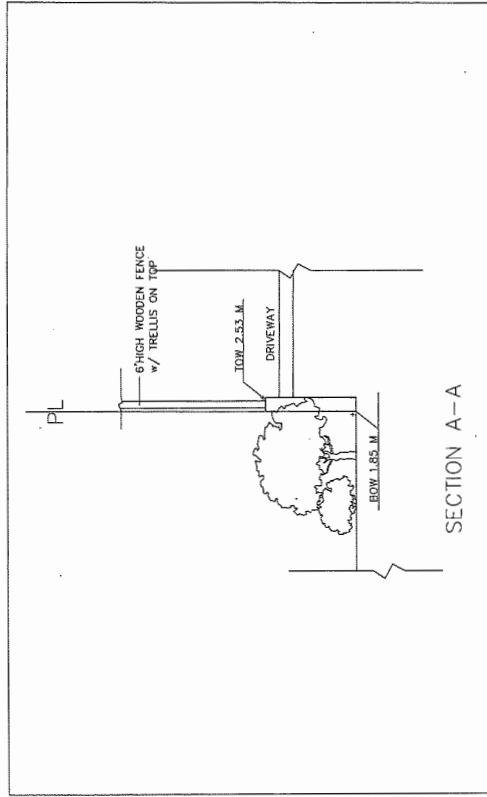
L-6

PLAN #3E MAY 22 2018  
DP 16-728670

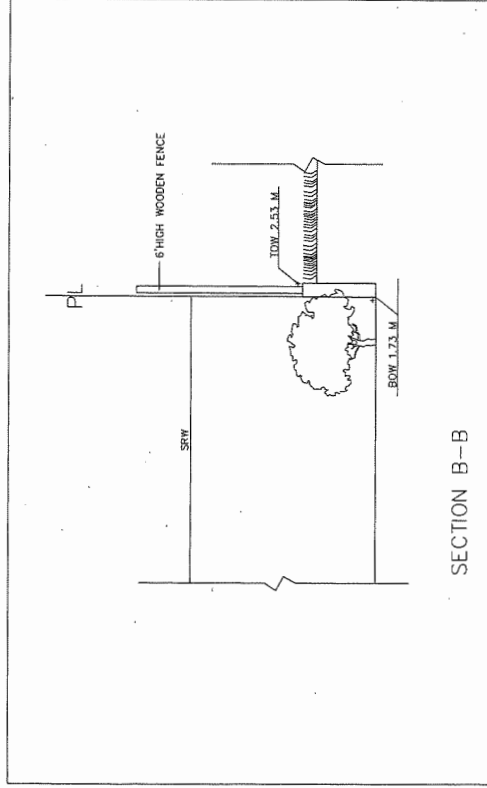


L-7

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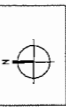
SECTION A-A



SECTION B-B

PLAN #36 MAY 22 2018  
UP 16-728630

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DATE	REVISION
April 11	Initial Design
April 18	1st Revision Submission
Feb. 17	2nd Revision Submission
March 17	3rd Revision Submission
May 17	4th Revision Submission

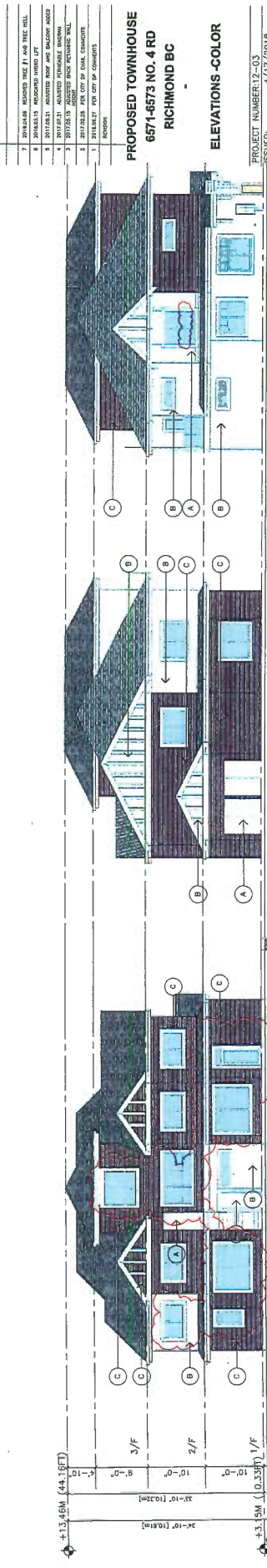
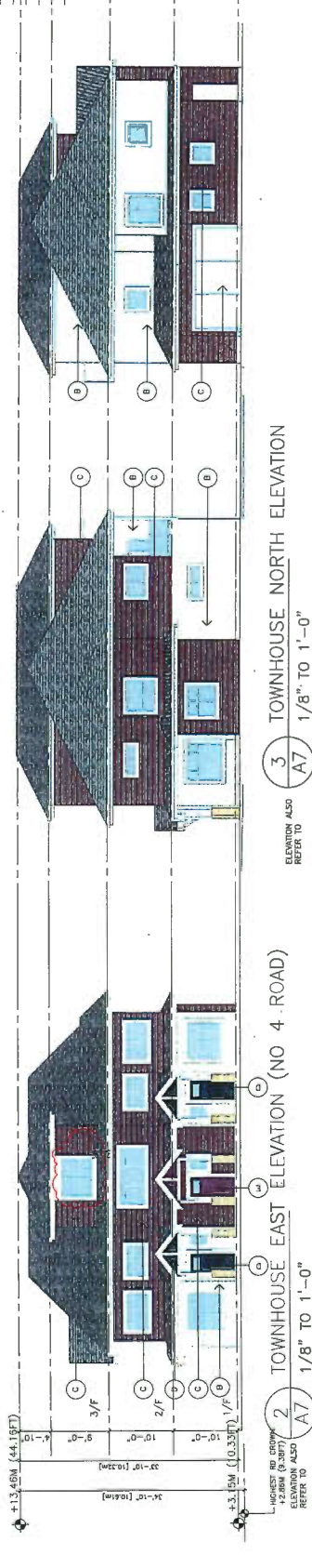
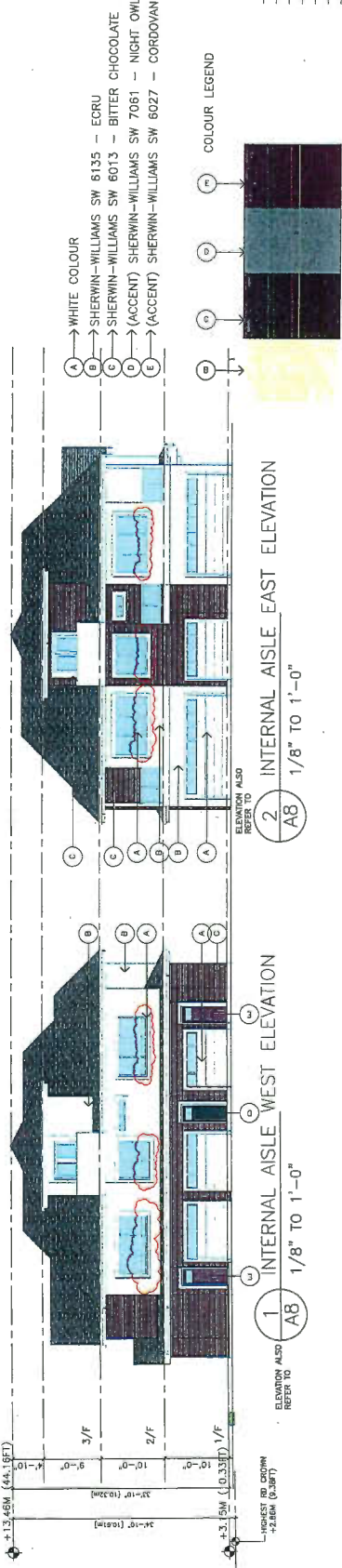
JHL Design Group Inc.	
Landscape Architecture + Urban Design	
4372, Maple Street, Vancouver, BC	
Phone: 1-800-277-1884	
Fax: 604-277-1884	
Email: info@jhl.ca	

Scale: 1/8" = 1'-0"
Date: May, 18
Drawn: [Signature]
Job No.

PROJECT TITLE	TOWNHOUSE DEVELOPMENT
ADDRESS	6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE	OFF SITE CROSS SECTIONS
---------------	-------------------------

ISSUED	
1	2016.04.04 FOR DP APPLICATION
2	2016.10.25 FOR DP REBURIAL/ISSON
3	2017.02.28 FOR OTT DP REVIEW
4	2017.05.24 FOR OTT DP RESUBMISSION
5	2017.09.21 FOR OTT DP RESUBMISSION
6	2017.09.27 FOR OTT DP RESUBMISSION
7	2017.09.22 FOR OTT DP REBURIAL/ISSON
8	2018.04.18 FOR OTT DP AGREEMENT



ISSUED: 4/11/2018  
DRAWN BY: EL  
CHECKED BY: EL  
NAME: 12-03\_SFD 180417-DPP-AMEND

PLAN #4

3

HIGHEST RD CROWN  
+2.86M (9.38FT)

A9

5 TOWNHOUSE SOUTH ELEVATION  
ELEVATION ALSO REFER TO  
A7 1/8" TO 1'-0"

ELEVATION ALSO  
REFER TO

4	TOWNHOUSE WEST	ELEVATION
A7	1/8" TO 1'-0"	

DEVELOPMENT PERMIT

DP 16-728670



# EXTERIOR FINISH LEGEND

- 1 → ASPHALT SHINGLE ROOFING
- 2 → HARD SIDING (COLOUR 1)
- 3 → HARD SIDING WITH WOOD TRIM (COLOUR 2)
- 4 → WHITE VINYL WINDOW WITH TRIM
- 5 → GARAGE DOOR
- 6 → WOOD FENCE ON CONCRETE RETAINING WALL
- 7 → HARDI PANEL WITH TRIM
- 8 → WOOD PANEL COLUMN BASE

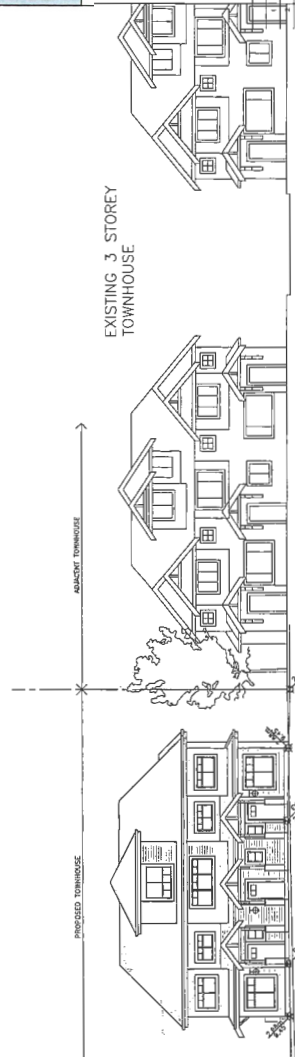
## EXTERIOR COLOUR

- 1 → WHITE COLOUR
- 2 → SHERWIN-WILLIAMS SW 6135 - EGG CHOCOLATE
- 3 → SHERWIN-WILLIAMS SW 7013 - BITTER CHOCOLATE
- 4 → (ACCENT) SHERWIN-WILLIAMS SW 7061 - NIGHT OWL
- 5 → (ACCENT) SHERWIN-WILLIAMS SW 6027 - CORDOYAN

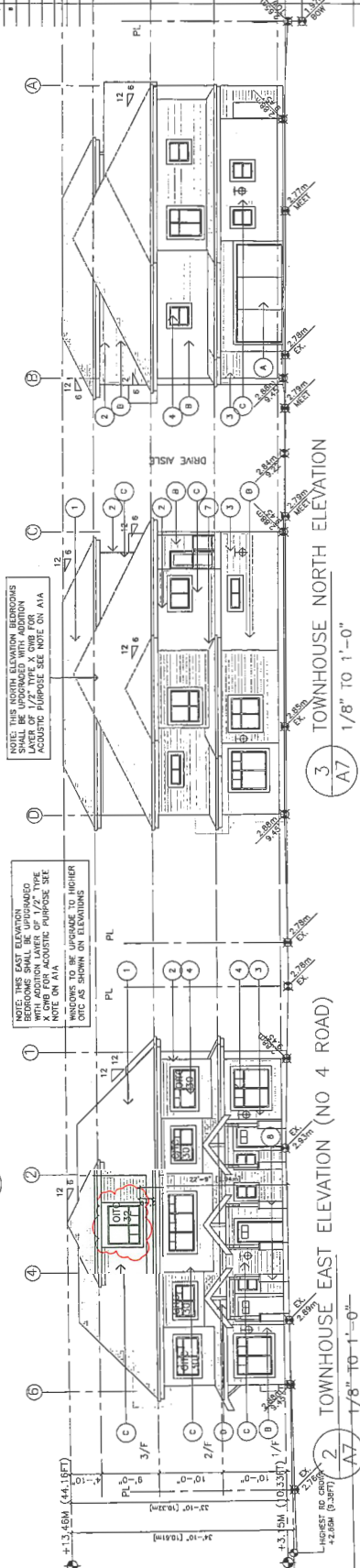
ALL HARDIE TRIM OR CORNER TRIM SHALL MATCH THE ADJACENT HARDI PANEL COLOUR  
 ALL WINDOW FRAME COLOUR SHALL BE WHITE  
 ALL GARAGE DOOR SHALL BE WHITE  
 ALL SECONDARY DOOR SHALL BE WHITE

**ERIC LAW ARCHITECT**  
 1100 WEST 10TH AVENUE, SUITE 100  
 VANCOUVER, BC V6H 1T6  
 TEL: (604) 999-1887  
 FAX: (604) 999-1887  
 WWW.ERICLAWARCHITECT.COM

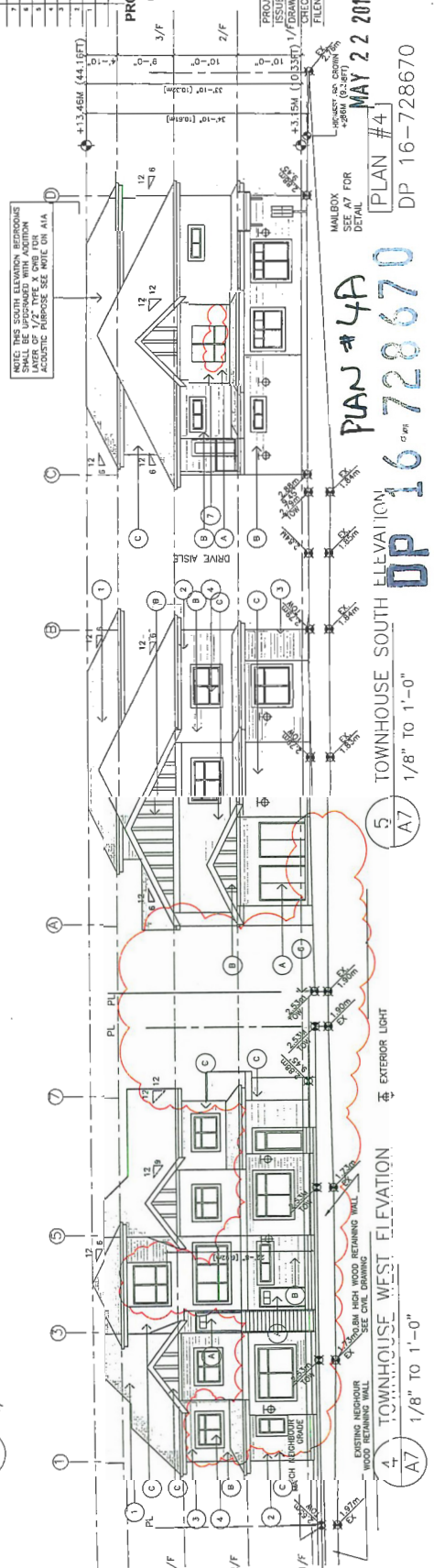
## EXISTING 3 STOREY TOWNHOUSE



## 1 TOWNHOUSE EAST ELEVATION WITH NEIGHBOUR HOUSE A7 3/32" TO 1'-0"



## 2 TOWNHOUSE EAST ELEVATION (NO 4 ROAD) A7 1/8" TO 1'-0"



## 4 TOWNHOUSE WEST ELEVATION A7 1/8" TO 1'-0"

## 5 TOWNHOUSE SOUTH ELEVATION A7 1/8" TO 1'-0"

## PLAN #4A DP 16-728670

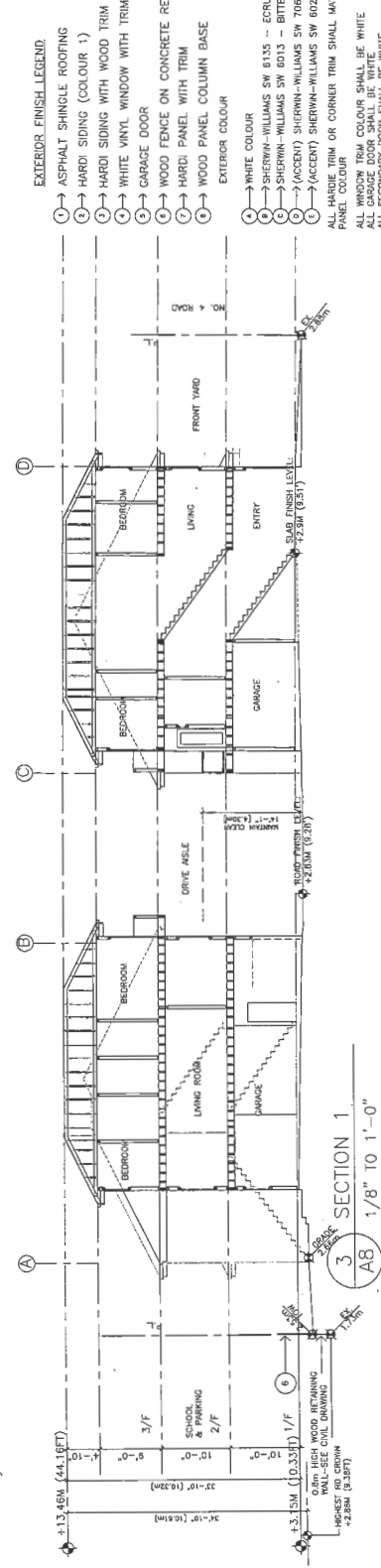
MAY 22 2018  
 A7  
 PLAN #4  
 DP 16-728670

DEVELOPMENT PERMIT

**PROPOSED TOWNHOUSE**  
 6571-6573 NO. 4 RD  
 RICHMOND BC  
**ELEVATIONS**  
 PROJECT NUMBER: 12-03  
 ISSUED: 4/17/2018  
 DRAWN BY: EL  
 CHECKED BY: EL  
 FILENAME: 12-03\_570\_182417-DPP-A7-02

NOTE: THIS SOUTH ELEVATION REFLECTS THE EXISTING TOWNHOUSE. THE PROPOSED TOWNHOUSE SHALL BE UPGRADABLE WITH ADDITIONAL FLOOR SPACE AND HEIGHT. ALL DIMENSIONS SHALL BE IN METERS. SEE NOTE ON A1A FOR ACoustic PURPOSES.

SERIES			
1	2016.04.24	FILE OF APPLICATION	
2	2016.10.15	FILE OF DISPOSITION	
3	2017.02.18	FILE OF FIVE REVIEW	
4	2017.08.24	FILE OF FIVE REVIEW	
5	2017.03.31	FILE OF FIVE REVIEW	
6	2017.03.31	FILE OF FIVE REVIEW	
7	2016.04.24	FILE OF APPLICATION	
8	2016.10.15	FILE OF DISPOSITION	

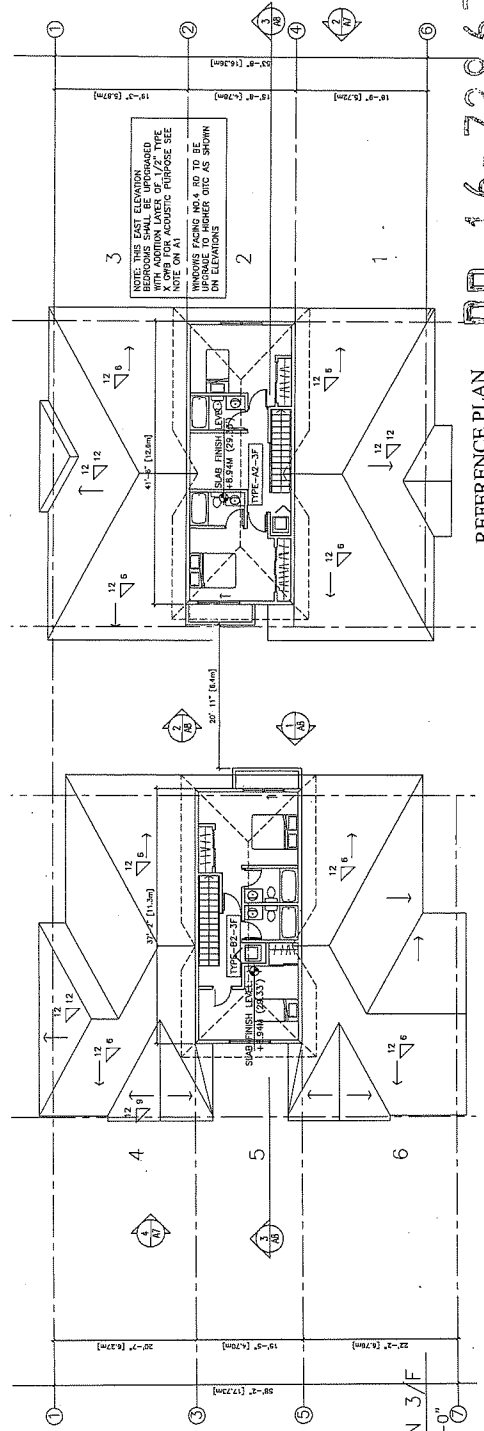


DEVELOPMENT PERMIT

INDEX	
1	2016.04.04 FOR CITY OF ALBUQUERQUE
2	2016.04.05 FOR CITY OF ALBUQUERQUE
3	2017.02.28 FOR CITY OF ALBUQUERQUE
4	2017.02.28 FOR CITY OF ALBUQUERQUE
5	2017.02.27 FOR CITY OF ALBUQUERQUE
6	2017.02.27 FOR CITY OF ALBUQUERQUE
7	2017.02.27 FOR CITY OF ALBUQUERQUE
8	2018.04.14 FOR CITY OF ALBUQUERQUE



1 SITE PLAN 2/F  
1/8" TO 1'-0"



**AIR-CONDITIONING IS  
DESIGNED IN THESE UNITS**

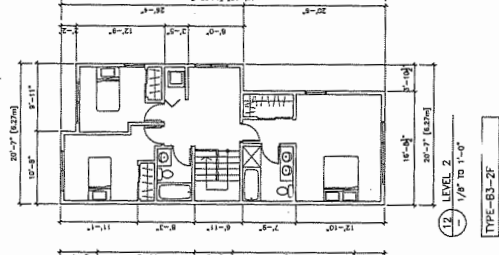
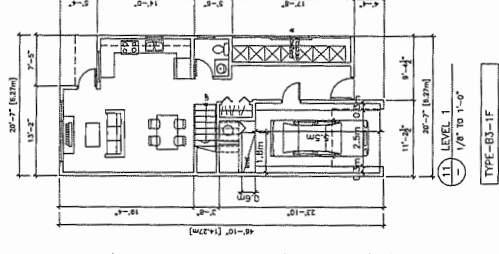
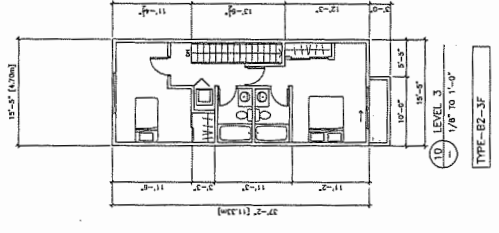
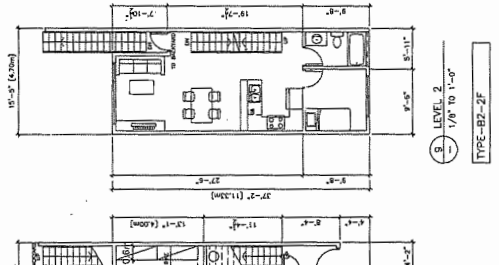
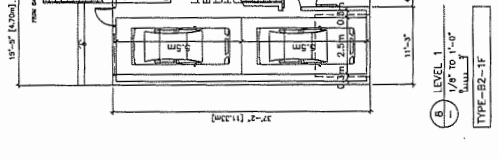
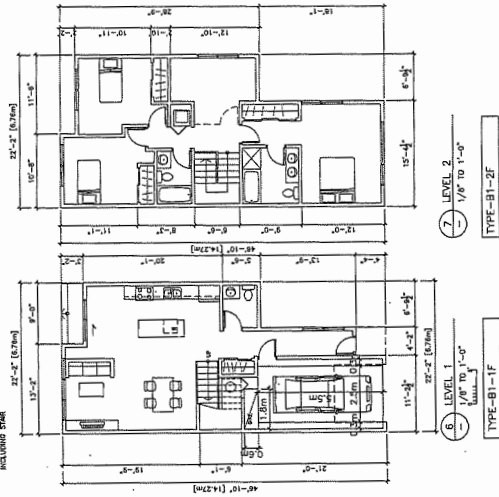
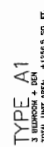
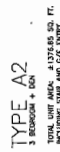
DP 16-728670

התאריך: 11.05.2017

MAY 27 2018



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2016.04.04	FOR CITY OF ALBUQUERQUE							
2016.05.20	FOR CITY OF ALBUQUERQUE							
2017.02.28	FOR CITY OF ALBUQUERQUE							
2017.03.24	FOR CITY OF ALBUQUERQUE							
2017.03.21	FOR CITY OF ALBUQUERQUE							
2017.02.27	FOR CITY OF ALBUQUERQUE							
2017.03.22	FOR CITY OF ALBUQUERQUE							
2018.04.14	FOR CITY OF ALBUQUERQUE							



**PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC**

## UNIT PLANS

PROJECT NUMBER: 12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180417-DPP-AWING

## REFERENCE PLAN

TYPE B3  
3 BEDROOM + DEN  
TOTAL UNIT AREA: +143

TYPE B2

**TYPE B1**  
3 BEDROOM + DEN  
TOTAL LIST AMT: \$115,000

## A5

MAY 22 2018

DEVELOPMENT PERMIT

[illegible]

**On / Off Same Side  
Front Configuration  
Style 5:**



## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6571/6573 No. 4 Road

**File No.:** DP 16-728670

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$123,828.00. The City will release:
  - a) 80% of the security when:
    - i. construction and landscaping on the proposed townhouse complex are completed;
    - ii. a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted; and
    - iii. physical inspection has been undertaken by staff.
  - b) the remaining 20% of the security when:
    - i. the construction and landscaping on the proposed townhouse complex have been completed for at least 2 years;
    - ii. an Arborist Post Construction Impact Assessment Report, confirming survival of the replacement tree, has been submitted; and
    - iii. physical inspection has been undertaken by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements:
  - a) Water Works:
    - i. Using the OCP Model, there is 651 L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
    - ii. The Developer is required to:
      - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
      - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
    - iii. At the Developer's cost, the City will:
      - Cut and cap at main the existing water service connection at No. 4 Road frontage.
      - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
  - b) Storm Sewer Works:
    - i. At the Developer's cost, the City will:
      - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
      - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

Initial: \_\_\_\_\_

c) Sanitary Sewer Works:

i. The Developer is required to:

- Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.
- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

d) Frontage Improvements:

i. The Developer is required to:

- Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
- Provide street lighting along No. 4 Road frontage.
- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

- 1) BC Hydro PMT – 4mW X 5m (deep)
- 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
- 3) Street light kiosk – 1.5mW X 1.5m (deep)
- 4) Traffic signal kiosk – 1mW X 1m (deep)
- 5) Traffic signal UPS – 2mW X 1.5m (deep)
- 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
- 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan

e) General Items:

i. The Developer is required to:

- Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
  - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
  3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
  4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
  5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

Initial: \_\_\_\_\_

6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

---

Signed

---

Date



# City of Richmond

## Development Permit

**No. DP 16-728670**

To the Holder: ANWER KAMAL

Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$123,828.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 16-728670**

To the Holder: ANWER KAMAL

Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

---

MAYOR



# PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6573 NO. 4 ROAD, RICHMOND, BC

## DEVELOPMENT DATA

- (A) CIVIC ADDRESS:  
6571-6573 NO. 4 ROAD, RICHMOND, BC
- (B) LEGAL DESCRIPTION:  
LOT 65 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST  
NEW WESTMINSTER DISTRICT PLAN 46723
- (C) LOT AREA:  
1,114 SM (11,991 SF) (BEFORE ROAD DEDICATION)  
1,091 SM (11,743 SF) (AFTER ROAD DEDICATION)
- (D) ZONING USE  
CURRENT: RS1/F, PROPOSED: ZT60

CURRENT ZONING  
(UNDER RS1/F ZONING)

PROPOSED REZONING  
(ZT60)

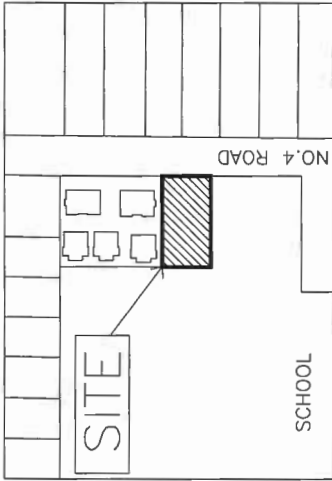
## (E) FLOOR AREA RATIO

- 0.55 TO 454.5 SM
- 0.3 TO REST OF SITE AREA TOTAL GROSS FLOOR AREA
- 0.65 X1,091 SM = 709.15 SM  
(7,633 SF)
- NA
- MAX - 40%
- MAX MAIN BUILDING HEIGHT - 12M
- FRONTYARD FACING NO. 4 RD - 6M
- NORTH AND SOUTH SIDEYARD - 3M
- REAR YARD - 3M

- (F) NUMBER OF UNIT:  
MAX - 45%
- (G) BUILDING COVERAGE:  
MAX HEIGHT - 9M
- (H) BUILDING HEIGHT:  
FRONTYARD - 6M
- (H) SETBACK:  
SIDEYARD - 2M
- REARYARD - 6M

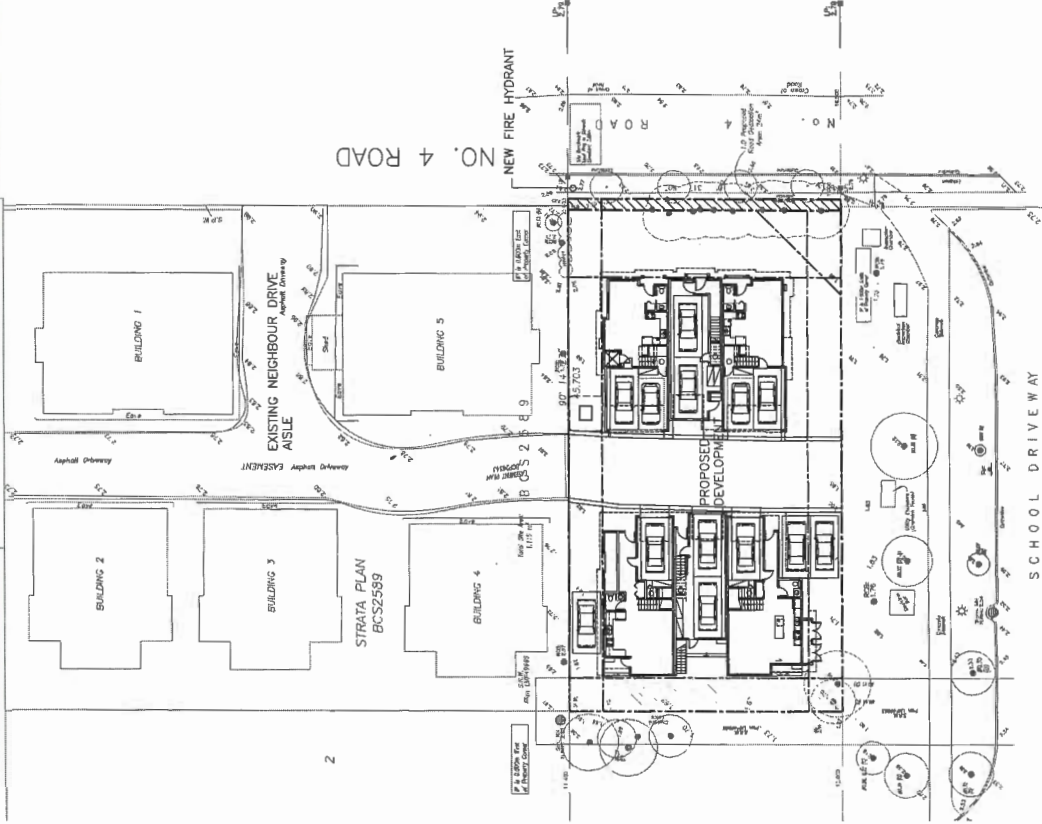
## (I) PARKING:

- 2 PER DWELLING UNIT
- 1.4 PER DWELLING UNITS X6 = 9
- 0.2 VISITOR PARKING / UNIT X6 = 2
- TOTAL = 11 REQUIRED
- ZT60 ZONING ALLOW TANDEM PARKING
- VISITOR BICYCLE
- 0.2 PER DWELLING UNIT X6= 2
- RESIDENTIAL BICYCLE STORAGE
- 1.25 PER DWELLING UNIT X6=8
- OUTDOOR AMENITY SPACE
- 6SM PER UNIT X6= 36 SM (388SF)



## DRAWING LIST

- A1- DEVELOPMENT SUMMARY
- A1A-UPGRADE NOTE
- A2- SITE PLAN (1/F)
- A2A- SITE PLAN ENVELOPE
- A3- PARKING PLAN
- A4- SITE PLAN (2/F & 3/F)
- A5- UNIT PLANS
- A6- UNIT PLANS
- A7- ELEVATIONS
- A8- ELEVATIONS & SECTIONS
- A9- ELEVATIONS COLOR
- A10- OPEN SPACE AREA
- A11-FAR DIAGRAM



DP 16-728670

2

SITE PLAN WITH ADJACENT LOTS

PLAN #1

A1

DP 16-728670

DP 16-728670

DEVELOPMENT PERMIT

JUN 20 2018

ERIC LAW  
ARCHITECT

eric.law@ericlawarchitect.com  
1010 WEST AVENUE, VANCOUVER BC  
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FAX: (604) 899-2897

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1	2016.04.04	FOR DP APPLICATION
2	2016.10.25	FOR DP RESUBMISSION
3	2017.02.28	FOR CITY DP REVIEW
4	2017.03.24	FOR CITY DP RESUBMISSION
5	2017.07.21	FOR CITY DP RESUBMISSION
6	2017.07.27	FOR CITY DP RESUBMISSION
7	2017.08.22	FOR CITY DP RESUBMISSION
8	2018.04.16	FOR CITY DP AMENDMENT
9	2018.04.16	FOR CITY DPP AMENDMENT

8	2018.06.18	RELOCATE TREE AND OPEN SPACE
7	2018.04.08	REMOVED TREE #1 AND TREE WELL
6	2016.03.15	RELOCATED HYDRO LIFT
5	2017.08.21	ADJUSTED ROOF AND BALCONY ADED
4	2017.07.21	ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15	ADJUSTED BACK RETAINING WALL HEIGHT
2	2017.02.28	PER CITY DP EMAIL COMMENTS
1	2016.08.27	PER CITY DP COMMENTS
		REVISION

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

## DEVELOPMENT SUMMARY

PROJECT NUMBER:	12-03
ISSUED:	6/18/2018
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_SFD_180618-DP.DWG



Proposed Policy Compliance Construction Specifications Review: Row Houses (middle & end units)

All construction specifications are compliant with BCBC Code Sections 9.36 and 9.32 and all upgrades beyond the Base Case are listed below in BOLD:

Slab on grade	R12 full under slab insulation and R12 slab edge insulation
Above Grade Wall Construction	2x6 @ 16" o.c. R22 insulation
Door Specification	Fiberglass or metal-skin polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacer, argon gas fill, picture windows; maximum US1 1.70
Ventilation Specification	Heat Recovery Ventilator (55% SRE@0C/45%SRE@-25C); distribution and ventilation rates as per BCBC Section 9.32
Air Tightness	5.5 ACH@50Pa: an estimate based on typical local construction. Refer to Note 3 below
Space Heating System	Air source heat pump (7.1 HSPF and 14.5 SEER minimum) with electric resistance heater in fan coil as back up
Energy Credits:	
Low energy lighting	50% of lighting is EnergyStar rated; 190kWh/year credit
Energy Star appliances	EnergyStar fridge, dishwasher and clothes washer: 95kWh/year credit
Solar Hot Water Ready	All units must comply with the BC Solar Hot Water Ready Regulation (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)

CONCLUSION

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and + 0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and International Standards Organization (ISO) 7730.

1. Roof Assembly

The proposed roof construction assumed to be:

- asphalt shingles
- ½" plywood sheathing
- pre-engineered wood truss
- R40 batt insulation
- 1 layer 5/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

2. Exterior Wall

The proposed exterior wall construction assumed to be:

Location: Level 1

- Hardi-panel siding
- ½" plywood sheathing
- 2 x 6 wood studs @ 16" o/c
- R20 batt insulation
- ½" Type X gypsum wall board

Location: Levels 2 and 3

- Vinyl siding
- ½" plywood sheathing
- 2 x 6 wood studs @ 16" o/c
- R20 batt insulation
- ½" Type X gypsum wall board

will provide adequate noise isolation to all interior spaces except for all east-facing bedrooms in the East townhouse with direct exposure to No.4 Road. These bedrooms require an additional layer of ½" type X gypsum wall board on all north, south, and east walls.

3. Exterior Windows and Balcony/Patio Doors

Windows with a standard glazing detail, assumed to be two layers of 3 mm glass separated by a 13 mm airspace (OITC 24), and sliding glass doors with a standard glazing detail, assumed to be one layer of 5 mm glass and one layer of 3 mm glass separated by a 13 mm airspace (OITC 26), will provide adequate noise isolation to all interior spaces with the exception of bedroom windows on the east facade of the building. The following table summarizes the required minimum Outdoor Indoor Transmission Class (OITC) ratings, including example window glazing, for all locations which require upgrading:

Minimum OITC Rating	Example Window Glazing	Location of Window
30	6lam-16-6 two layers of 6mm glass (one layer laminated) separated by one 16mm airspace	All second floor bedrooms in east townhouse with direct exposure to No. 4 Road
32	6-10-4-10 8 one pane of 6mm glass and one pane of 4mm glass and one pane of 8mm glass separated by 10 mm air spaces	All third floor bedrooms in east townhouse with direct exposure to No. 4 Road

The locations of required window upgrades have been indicated on the architectural elevation/plan as shown in Figure 4.

All of the windows should be specified to meet the A3 performance rating for Air Tightness found in the CSA standard CAN/CSA-A440-08, or latest revision. Any other windows meeting the required OITC ratings are acceptable. Where a single laminated pane is specified and if there are no overriding considerations, the laminated pane should be installed on the interior side of the building since its acoustic performance will be somewhat temperature dependant. Note that the OITC rating varies with panel dimensions. As such, any test data or predicted OITC performance must reasonably reflect the panel dimensions adopted for this project. Any increase in window pane thickness or separating airspace thickness beyond that shown above is also acceptable. Effective weatherstripping should be installed on the exterior doors.

4. Certification of Installation

There is also a requirement in Richmond's Restrictive Covenant that the building can not be occupied until a Registered Professional approved by Richmond's Planning and Development Manager certifies that the building has been constructed in accordance with the design reviewed and the recommendations of the approved acoustic report. As stated in our proposal dated February 17, 2016,

EAST TOWNHOUSE

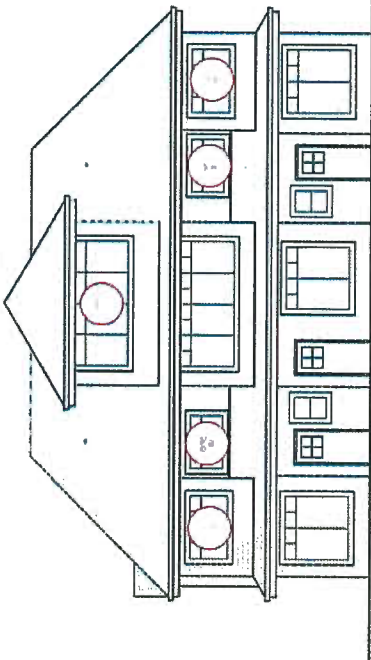


Fig. 3505-16A

Figure 4: East Elevation Showing Required Window Upgrades

Date: July 2016

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ISSUED	
1	2016.04.04 FOR DP APPLICATION
2	2016.12.26 FOR DP RESUBMISSION
3	2017.02.26 FOR CITY DP REVIEW
4	2017.06.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

7	2018.04.05	REMOVED TREE #1 AND TREE WELL
8	2018.03.15	RELOCATED HYDRO LPT
5	2017.08.21	ADJUSTED ROOF AND BALCONY ADDED
4	2017.07.21	ADJUSTED PERMISSIBLE DIAGRAM
3	2017.05.15	ADJUSTED BACK RETAINING WALL HEIGHT
2	2017.02.28	PER CITY DP EMAIL COMMENTS
1	2016.08.27	PER CITY DP COMMENTS
REVISION		

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

UPGRADE NOTES

PROJECT NUMBER:	12-03
ISSUED:	4/17/2018
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_SFD_180417-DPP-AMEND

DP 16-728670 A1A

MAY 22 2018

DP 16-728670  
PLAN #1A  
DEVELOPMENT PERMIT



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ISSUED	
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2	2016.10.29 FOR DP RESUBMISSION
3	2017.02.28 FOR CITY DP REVIEW
4	2017.05.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT
9	2018.06.18 FOR CITY DP AMENDMENT

REVISION	
1	2016.04.27 PER CITY DP COMMENTS
2	2017.02.28 PER CITY DP COMMENTS
3	2017.05.15 ADJUSTED BACK RETAINING WALL
4	2017.07.21 ADJUSTED ROOF AND BALCONY ADDED
5	2018.03.15 RELOCATED HYDRO LIFT
6	2018.04.06 REMOVED TREE #1 AND TREE WELL
7	2018.06.18 RELOCATE TREE AND OPEN SPACE

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

SITE PLAN (1/1F)

PROJECT NUMBER:12-03
ISSUED: 6/18/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180618-DP.DWG

JUN 20 2018

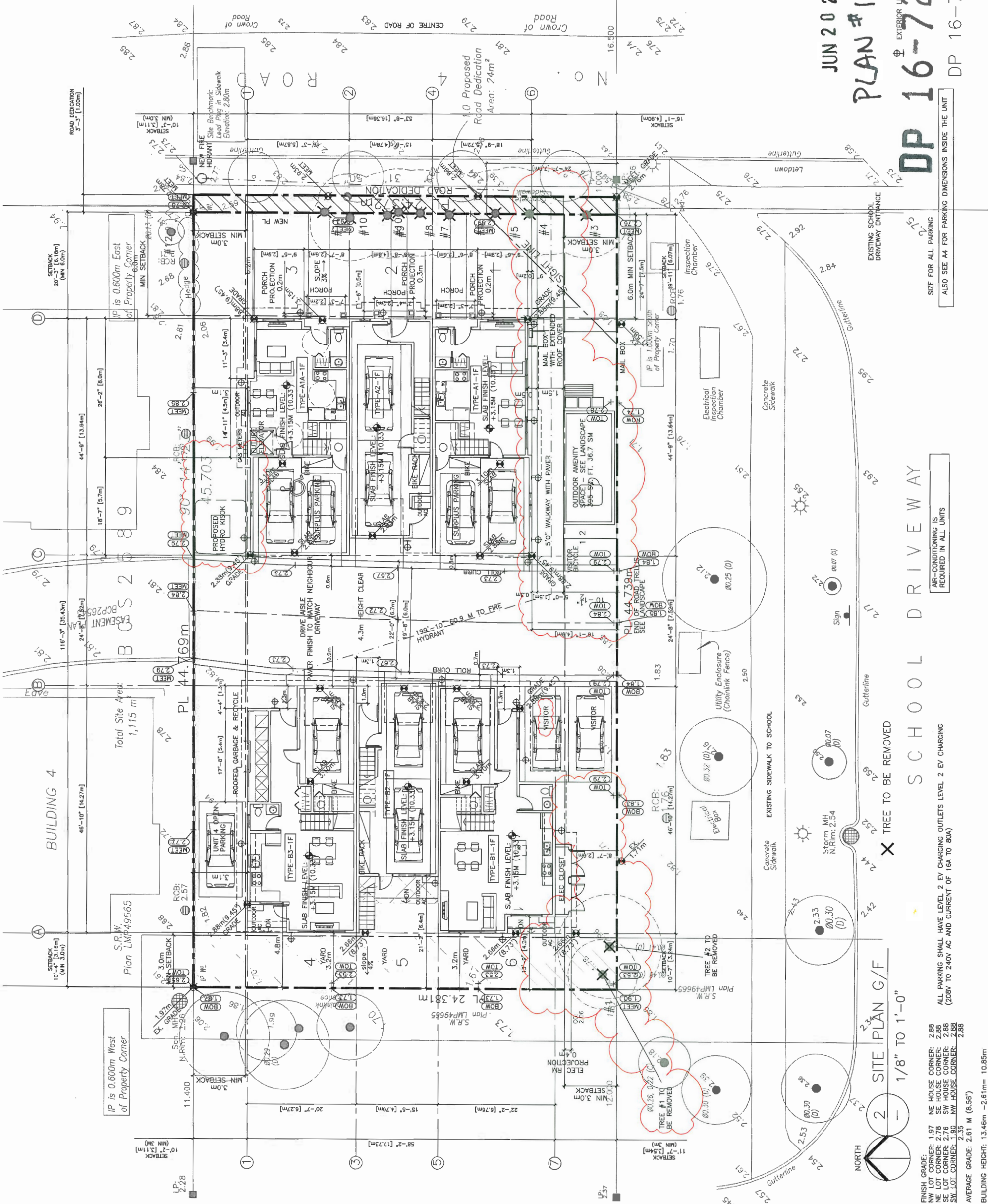
PLAN #1B

EXTERIOR LIGHT

DP 16-728670 A2

DP 16-728670

DEVELOPMENT PERMIT



FINISH GRADE: 2.88  
NE HOUSE CORNER: 2.88  
NW LOT CORNER: 2.78  
SE LOT CORNER: 2.88  
SW LOT CORNER: 2.88  
AVERAGE GRADE: 2.61 M (8.56')  
BUILDING HEIGHT: 13.46m -2.61m= 10.85m

ALL PARKING SHALL HAVE LEVEL 2 EV CHARGING OUTLETS LEVEL 2 EV CHARGING (208V TO 240V AC AND CURRENT OF 16A TO 80A)

AIR-CONDITIONING IS REQUIRED IN ALL UNITS

SIZE FOR ALL PARKING ALSO SEE A4 FOR PARKING DIMENSIONS INSIDE THE UNIT



ERIC LAW  
ARCHITECT

eric.law@ericlaw.ca  
218 288 WEST AVENUE VANCOUVER BC  
V6T 1Y7  
TEL: (604) 505-2099  
FAX: (604) 505-2097  
WWW.ERICLAW.COM  
THIS PLAN AND  
DRAWING IS THE PROPERTY OF ERIC LAW  
ARCHITECT. IT IS TO BE USED ONLY FOR THE  
PROJECT AND SITE SPECIFICALLY IDENTIFIED  
HEREIN. IT IS NOT TO BE REPRODUCED,  
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BY ANY MEANS, WITHOUT THE WRITTEN  
CONSENT OF ERIC LAW ARCHITECT. ANY  
VIOLATION OF THIS AGREEMENT SHALL BE  
CONSIDERED A BREACH OF CONTRACT AND  
SUBJECT TO LITIGATION IN THE COURTS OF  
BRITISH COLUMBIA.

ISSUED	DATE	FOR
1	2016.04.04	FOR DP APPLICATION
2	2016.10.25	FOR DP RESUBMISSION
3	2017.02.28	FOR CITY DP REVIEW
4	2017.02.24	FOR CITY DP RESUBMISSION
5	2017.07.21	FOR CITY DP RESUBMISSION
6	2017.07.27	FOR CITY DP RESUBMISSION
7	2017.08.22	FOR CITY DP RESUBMISSION
8	2018.04.19	FOR CITY DP AMENDMENT

REVISION	DATE	DESCRIPTION
1	2016.04.08	REMOVED TREE #1 AND TREE WELL
2	2018.03.15	RELOCATED HYDRO LIFT
3	2017.08.21	ADJUSTED ROOF AND BALCONY ADED
4	2017.07.21	ADJUSTED PERMEABLE DIAGRAM
5	2017.05.15	ADJUSTED BACK RETAINING WALL
6	2017.02.28	PER CITY DP EMAIL COMMENTS
7	2016.09.27	PER CITY DP COMMENTS

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

SITE PLAN ENVELOPE

PROJECT NUMBER: 12-03  
ISSUED: 4/17/2018  
DRAWN BY: EL  
CHECKED BY: EL  
FILENAME: 12-03\_SFD\_180417-DPP-AMEND

A2A

DEVELOPMENT PERMIT

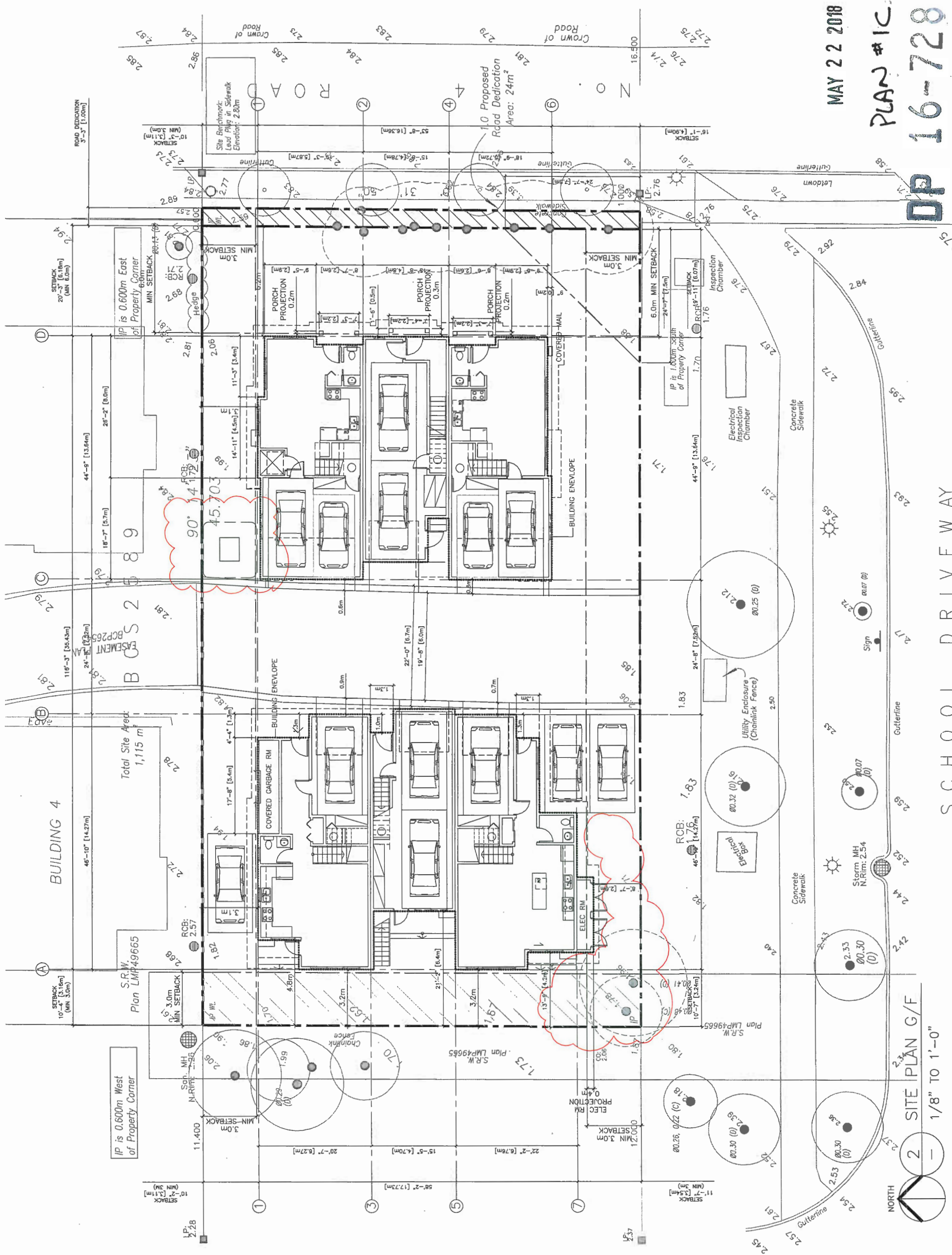
MAY 22 2018

PLAN #1C

16-728670

PLAN #1

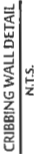
DP 16-728670



2 SITE PLAN G/F  
1/8" TO 1'-0"



1. ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
2. ASPHALT AND ROAD STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.
3. SUBGRADE TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF SUBBASE MATERIAL.
4. ALL SUBBASE AND BASE COURSE MATERIALS TO BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY (MNV) OR AS SPECIFIED BY THE GEOTECHNICAL ENGINEER.
5. ALL ROAD ELEVATIONS ARE PAYEMENT AND OTHER ELEVATIONS.
6. ALL ROADWAY CURBS ARE ROLLED CURBS AS PER MASTER MUNICIPAL CONSTRUCTION DRAWING NO. CA.
7. ALL PARKING CURBS ARE AS PER DETAIL. THOSE PARKING CURBS CONNECT TO ROADWAY CURBS.
8. THE PARKING CURB SHALL BE ADJUSTED TO PROVIDE A SMOOTH TRANSITION.
9. CURBS MUST BE INSTALLED WITH A VERTICAL TOLERANCE OF 5mm OR ARE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S COST.
10. GEOMETRIC CURB DATA REFERS TO THE BACK OF CURB.
11. FOR CONCRETE PAVING AND ROAD PAVERS LOCATIONS AND DETAILS REFER TO LANDSCAPE ARCHITECTS DRAWINGS.
12. ELEVATIONS SHOWN AS THUS  $\overline{0.35}$  ARE EXISTING ELEVATIONS.
13. ELEVATIONS SHOWN AS THUS  $\overline{0.27}$  ARE PROPOSED FINISHED SURFACE ELEVATIONS.
14. ELEVATIONS SHOWN AS THUS  $\overline{0.35}$  ARE PROPOSED FINISHED TOP OF RETAINING WALL ELEVATIONS.
15. COORDINATES (IF SHOWN ON THIS PLAN) MAY NOT MATCH THOSE SHOWN ON PLANS PREPARED BY OTHERS.



PLAN #1-D

19728670

**City of Richmond**  
6911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

TITLE: ROADWORKS

**NOT FOR CONSTRUCTION**

10 APR 2018

ENGINEER: RF	SCALE: 1 : 250	DATE: NOV 2015
CHECKED: BCD		
DRAWN: CG		
SHEET No: 10-4-6		SHT No.: 1 OF 1

**CoreConcept**  
CONSULTING LTD.

tel. 604.249.5040  
fax. 604.249.5041

#220-2639 Viking Way, Richmond, BC, V6V 3B7  
[www.coreconceptconsulting.com](http://www.coreconceptconsulting.com)

ANWER KAMAL

Core Concept Consulting Project No. 10052  
DWG. 3 OF 4

NOTES:

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER:  
HPN #190, CONTROL MONUMENT 94H1524

ELEVATION  $\approx 2,353$  metres

BC ONE CALL SERVICE RECORDS DEPARTMENT  
TELEPHONE: (604) 257-1900

NOTICE REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.



	ISSUED	
1	2016.04.04 FOR DP APPLICATION	
2	2018.10.25 FOR DP RESUBMISSION	
3	2017.02.26 FOR CITY DP REVIEW	
4	2017.05.24 FOR CITY DP RESUBMISSION	
5	2017.07.21 FOR CITY DP RESUBMISSION	
6	2017.07.27 FOR CITY DP RESUBMISSION	
7	2017.08.22 FOR CITY DP RESUBMISSION	
8	2018.04.16 FOR CITY DP AMENDMENT	
9	2018.05.16 FOR CITY DPP AMENDMENT	

6	2/18/06.10	RELOCATE TREE AND OPEN SPACE
7	2/18/04.06	REMOVE TREE #1 AND TREE WELL
8	2/18/03.15	RELOCATED HYDRO LIFT
5	2/17/06.21	ADJUSTED ROOF AND BALCONY ADDED
4	2/17/07.21	ADJUSTED PERMISSIBLE DIAGRAM
3	2/17/05.15	ADJUSTED BACK RETAINING WALL HEIGHT
2	2/17/02.26	PER CITY DP EMAIL COMMENTS
1	2/18/04.27	PER CITY DP COMMENTS
		REVISION

**6571-6573 NO. 4 RD**

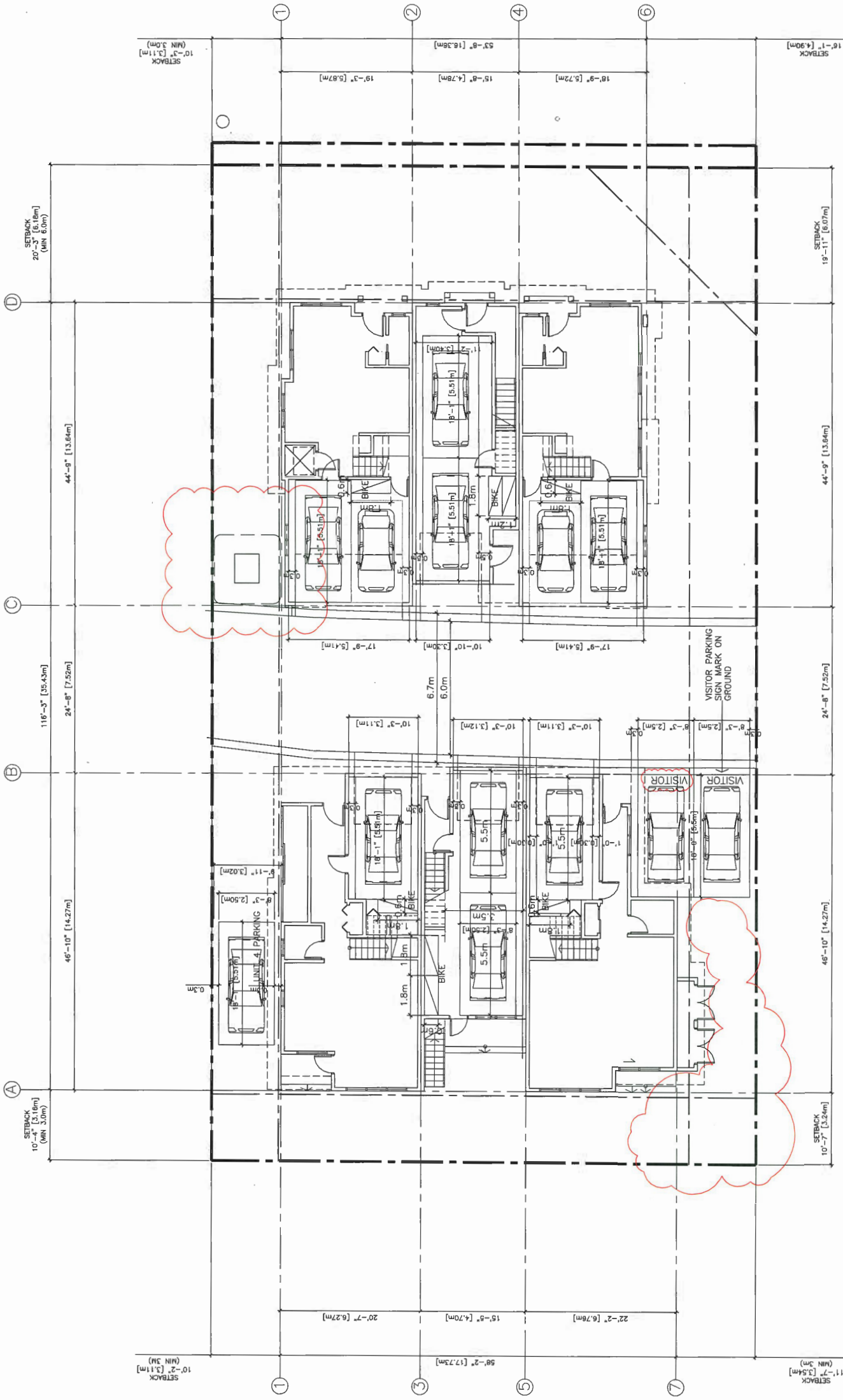
**RICHMOND BC**

## PARKING-PLAN

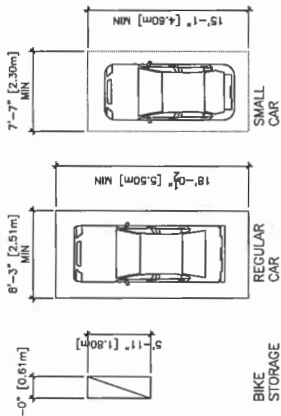
PROJECT NUMBER:12-03
ISSUED: 6/18/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180618-0P.DWG

**A3**

DEVELOPMENT PERMIT



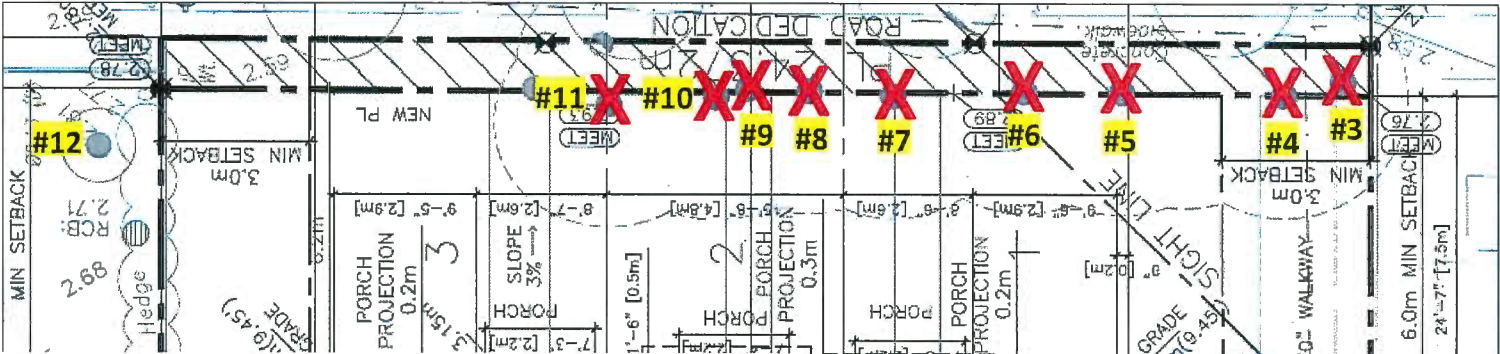
ALL PARKING SHALL HAVE LEVEL 2 EV CHARGING OUTLETS LEVEL 2 EV CHARGING (208V TO 240V AC AND CURRENT OF 16A TO 80A)



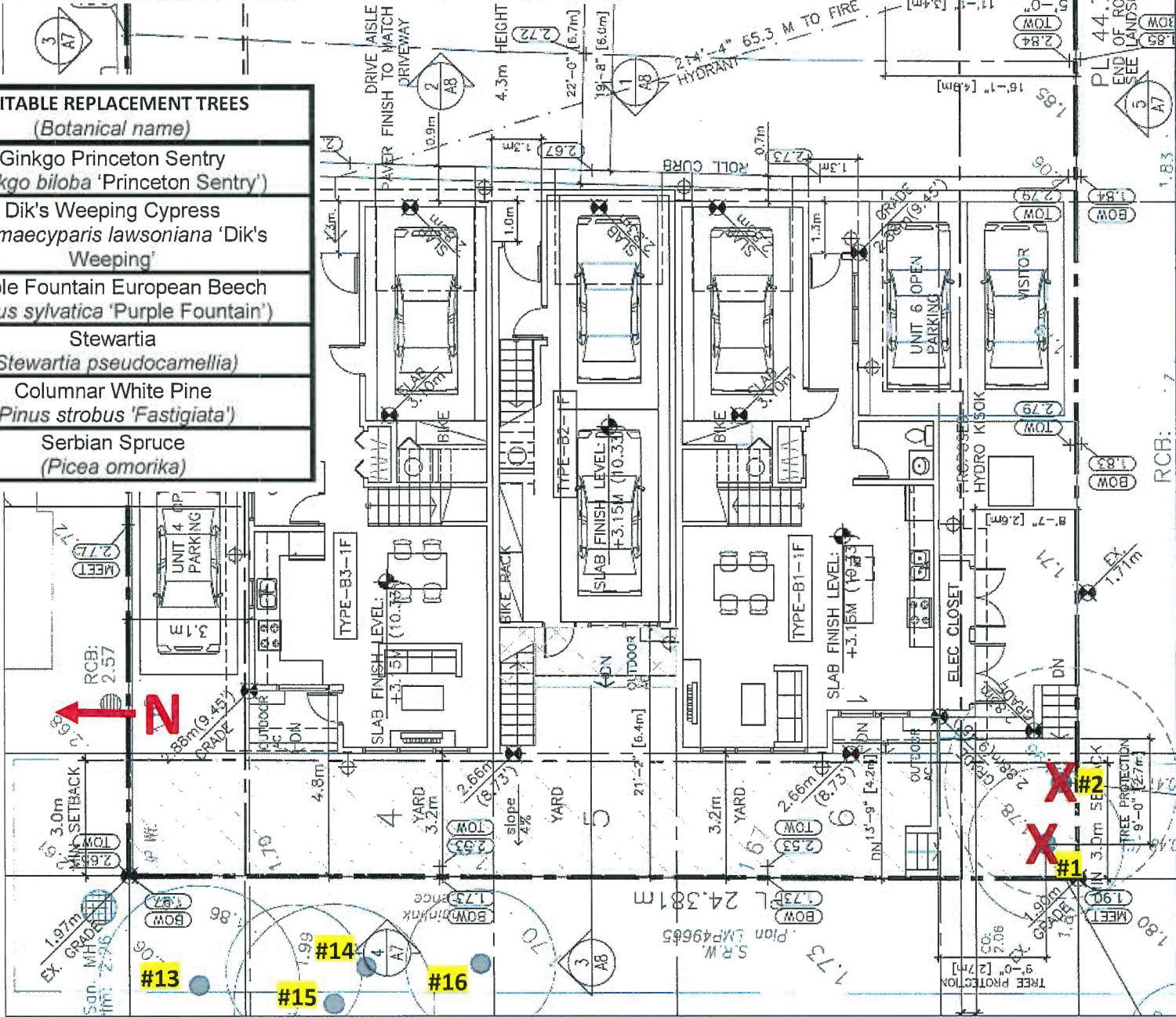
PROPOSED	
1.4 PER DWELLING UNITS X6 = 9	
0.2 TOTAL PARKING / UNIT X6 = 2	
TOTAL = 11 REQUIRED	
ZT60 ZONING ALLOW TANDEM PARKING	
	RESIDENTIAL PARKING: 5 REGULAR PARKING 2 TANDEM PARKING (4 REGULAR) 2 SMALL PARKING (SURPLUS)
	VISITOR PARKING: 2 REGULAR
	BICYCLE
VISITOR BICYCLE	2
0.2 PER DWELLING UNIT X6 = 2	
RESIDENTIAL BICYCLE STORAGE	8 (INSIDE GARAGE)
1.25 PER DWELLING UNIT X6=8	
	TOWNHOUSE



TREE #	TREE SPECIES (on site) (Botanical name)	DBH (cm)	SPREAD (m) Radius
1	Cedar ( <i>Thuja plicata</i> .)	44	4
2	Birch ( <i>Betula sp.</i> )	45	4.5
3	Cedar ( <i>Thuja plicata</i> .)	27	4
4	Cedar ( <i>Thuja plicata</i> .)	31	3.5
5	Cedar ( <i>Thuja plicata</i> .)	41	3.5
6	Cedar ( <i>Thuja plicata</i> .)	46	3.5
7	Cedar ( <i>Thuja plicata</i> .)	29	3.5
8	Cedar ( <i>Thuja plicata</i> .)	24	3.5
9	Cedar ( <i>Thuja plicata</i> .)	30	3.5
10	Cedar ( <i>Thuja plicata</i> .)	34	3.5
11	Cedar ( <i>Thuja plicata</i> .)	39	4



Tree Removal & Retention Plan, Scale 1/16 = 1'



SUITABLE REPLACEMENT TREES (Botanical name)
Ginkgo Princeton Sentry ( <i>Ginkgo biloba</i> 'Princeton Sentry')
Dik's Weeping Cypress <i>Chamaecyparis lawsoniana</i> 'Dik's Weeping'
Purple Fountain European Beech ( <i>Fagus sylvatica</i> 'Purple Fountain')
Stewartia ( <i>Stewartia pseudocamellia</i> )
Columnar White Pine ( <i>Pinus strobus</i> 'Fastigiata')
Serbian Spruce ( <i>Picea omorika</i> )



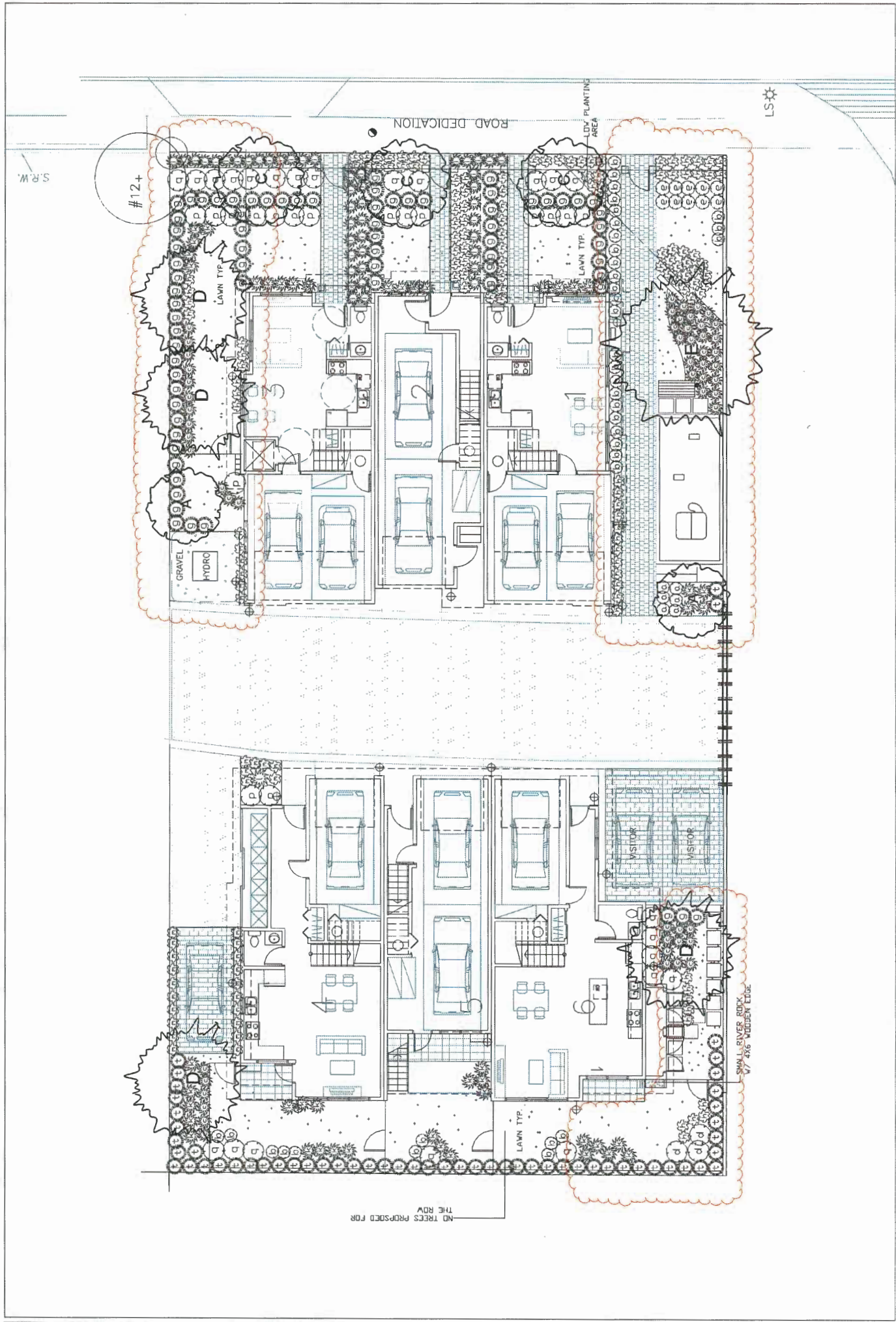




PLANT LIST			
Symbols	Botanical Name	Common Name	Size
Trees			
2	Cornus mas	Cornelian Cherry Dogwood	8cm cal B&B
A	Kobus Magnolia	Kobus Magnolia	8cm cal B&B
B	Syrax japonica	Japanese Snowbell	8cm cal B&B
C	Pinus nigra	Austrian Black Pine	4.5m High B&B
D	Thuja plicata	Western Red Cedar	40cm cal B&B
Shrubs, Perennials & Grasses			
a	Azalea japonica Ward's Ruby	Evergreen Azalea	# 3 pot
b	Azalea japonica Damaris Red	Evergreen Azalea	# 3 pot
c	Polystichum munium	Western Sword Fern	# 2 pot
d	Malva aquilum Compacta	Winter White Heather	# 3 pot
e	Erica x darleyensis 'Siberschnitzke'	Medicinal Pink Heather	# 2 pot
f	Erica x darleyensis 'Siberschnitzke'	Medicinal Pink Heather	# 2 pot
g	Taxus x media 'Hicksii'	Hick's Yew	B&B 4' High
h	Carex morrowi 'Aureoverglau'	Variegated Sedge	# 2 pot
i	Helictotrichon sempervirens	Blue Oak Grass	# 2 pot
j	Arctostaphylos uva-ursi 'Vancouver Jade'	Blue Oak Grass	# 2 pot
k	Stellaria Iris	Stellaria Iris	# 3 pot
l	Miscanthus 'Gracilinus'	Madam Grass	# 3 pot
m	Festuca ovina glauca 'Elijah Blue'	Elijah Blue Fescue	# 3 pot
n	Nandina domestica	Heavenly Bamboo	# 3 pot
o	Rhododendron 'Unique'	Rhododendron	# 3 pot
p	Rhododendron 'Mary Fleming'	Rhododendron	# 3 pot
q	Rhododendron 'Purple Splendor'	Rhododendron	# 3 pot
r	Rose mediant 'La Sevilana'	Rose	# 3 pot
s	Rhododendron 'Christmas Cheer'	Rhododendron	# 3 pot
t	Thuja occidentalis 'Smaragd'	Emerald Green Cedar	# 3 pot

NOTES:

- Maintain min. 2% slope away from building.
- All plants and landscape installation to conform to BCSLA Landscape Standards Latest Edition.
- All growing medium to be tested by PSAI (604-273-8226) and amended accordingly if necessary, and to be tested again at Substantial Completion.
- Minimum planting medium depths:  
lawn-6"/150mm, 9" on slab  
groundcover &  
shrubs-18"/450mm, min 18" on slab  
trees-12"/300mm, all around the rootball, 24" small trees on slab, 30" medium sized trees on slab  
For detailed info see specifications
- All plant material shall meet minimum size requirements as indicated in plant list.
- Trees planted in lawn areas to have 1 m dia. mulched ring.
- Make sure twine around rootballs to be cut and removed to prevent girdling.
- All proposed trees should be planted min. 3 m away from building foundation or face of buildings or retaining walls.
- Install min. 2" of composted bark mulch on all shrub beds after planting and rake smooth. Mulch to be "9.5mm screened composted bark mulch".
- Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the Phytophthora ramorum virus (Sudden Oak Death).
- Contractor to report any discrepancies in plant numbers immediately to Landscape Architect.
- All on-site landscape to be irrigated with an automatic irrigation system.
- Provide one hose bib for every unit to cover all landscaped areas.



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DATE	REVISIONS
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission
March, 18	DP Revision Submission

JHL Design Group Inc.  
Landscape Architecture + Urban Design

4370 Maple Street, Vancouver, BC  
Tel: 604-263-8813  
Fax: 1-800-277-8554  
Email: jhl@jhlgroup.com

SCALE: 1/8" = 1'-0"
DATE: June, 16
DRAWN:
JOB NO.

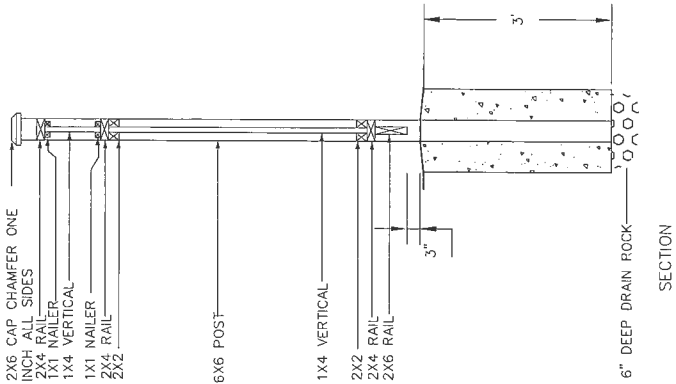
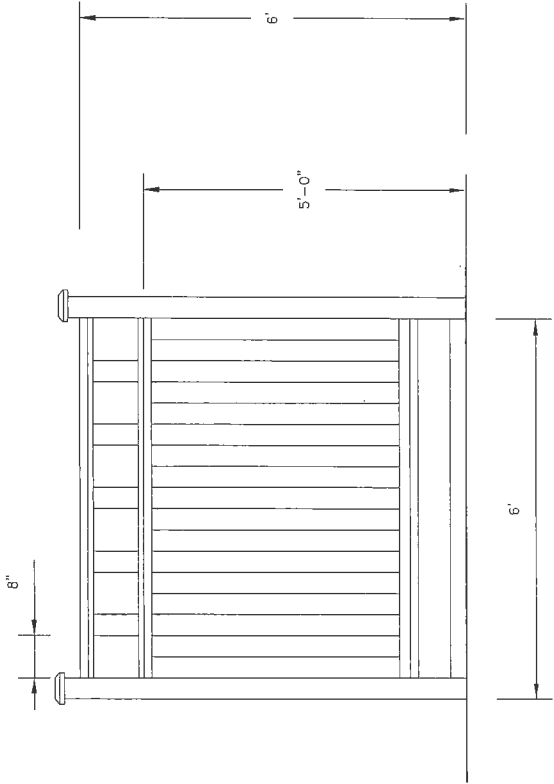
PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE  
LANDSCAPE PLAN  
PLANT LIST/ DETAIL

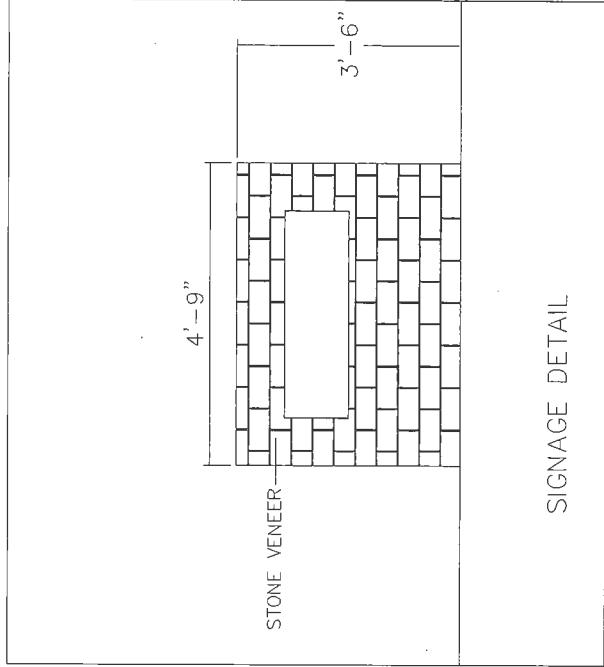
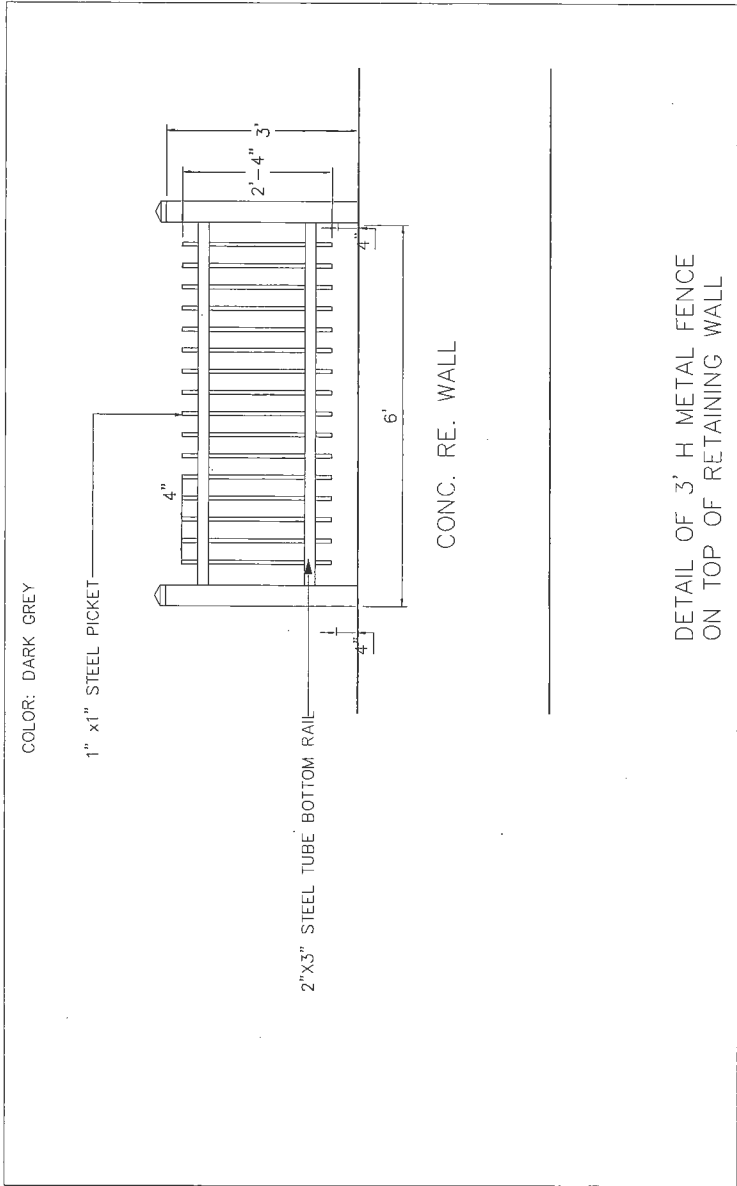
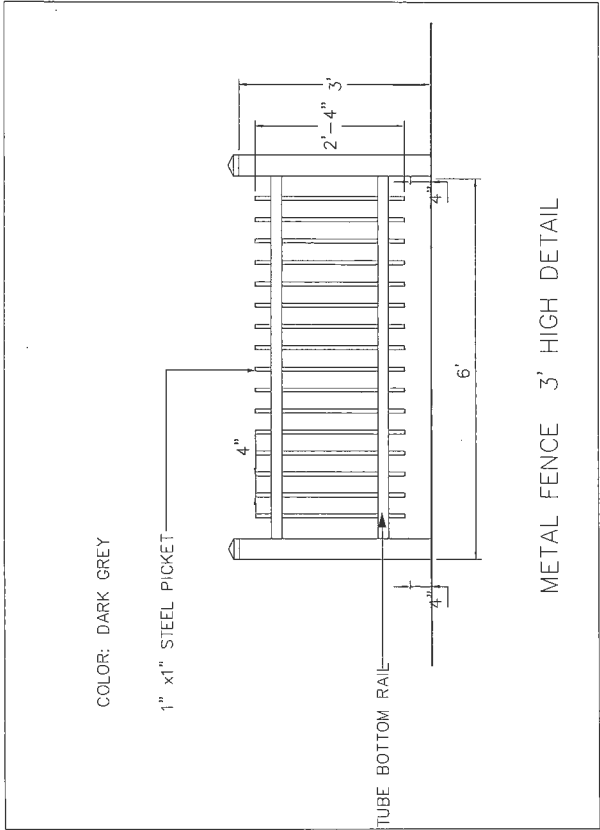
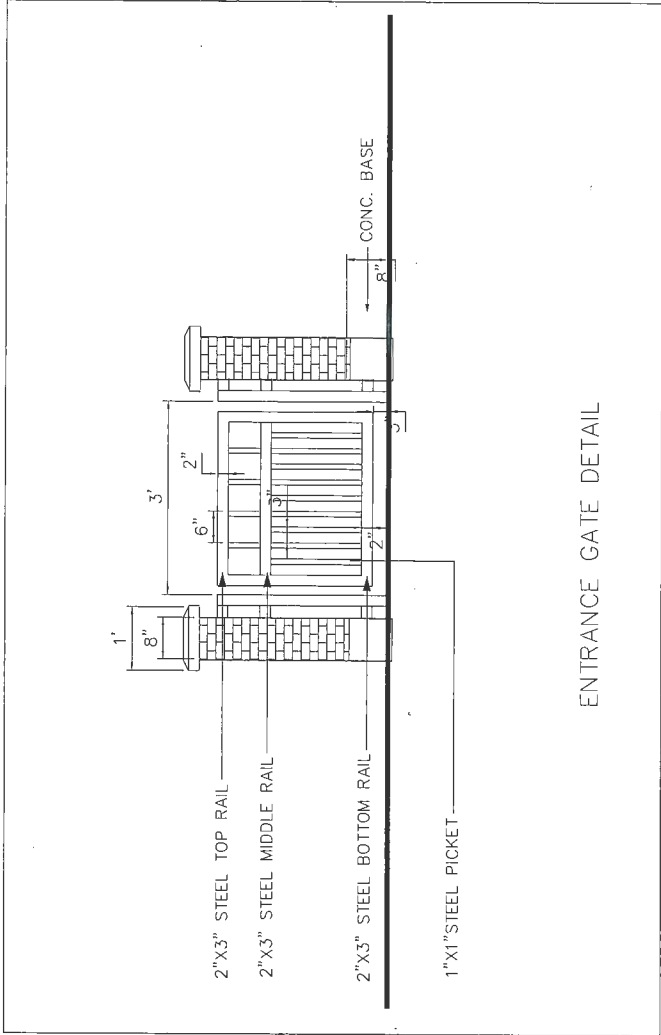
L-3

PLAN #3B JUN 20 2018

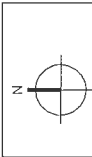
DP 16-728670



6' HIGH CEDAR FENCE DETAIL



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DATE	REVISIONS
April, 16	DP Submission
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

JHL Design Group Inc.  
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-283-5013  
Fax: 604-277-8554  
Email: jhl@jhlinc.ca

SCALE: 3/4"=1'-0"
DATE: Aug., 17
DRAWN:
JOB NO.

PROJECT TITLE
TOWNHOUSE DEVELOPMENT
6571-6573 NO. 4 ROAD, RICHMOND, BC

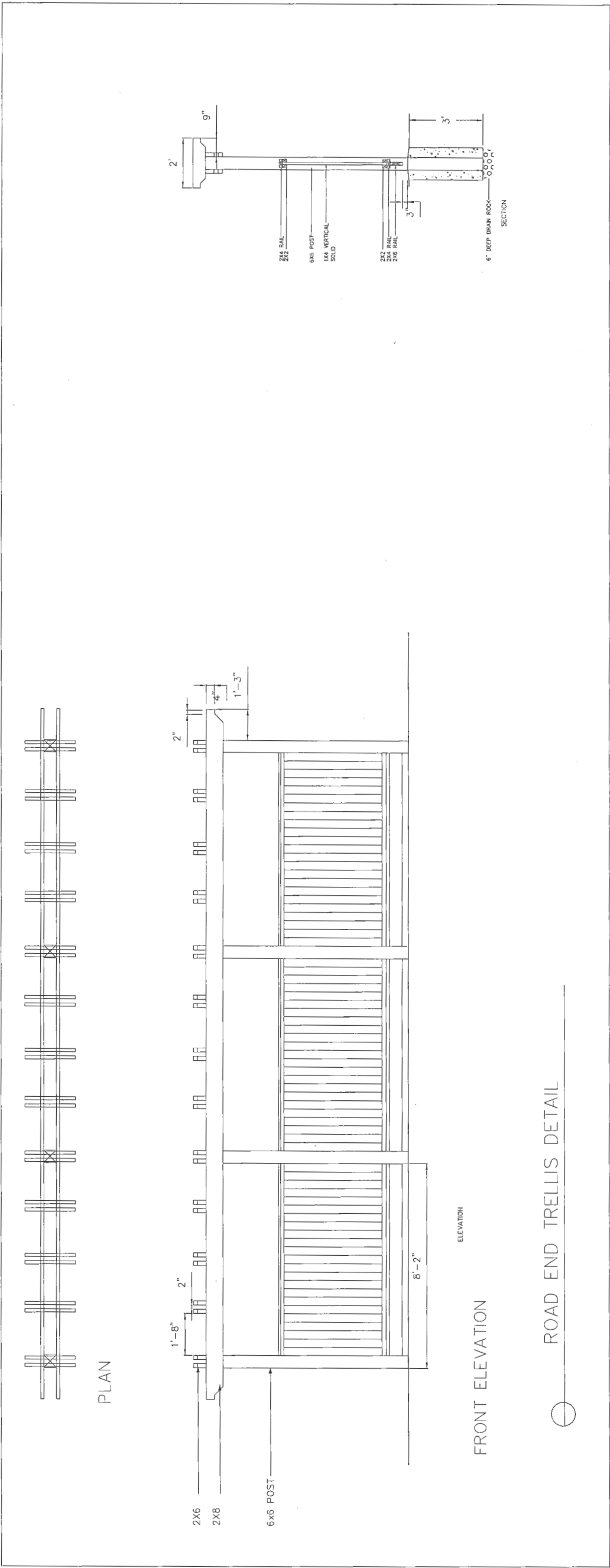
DRAWING TITLE
DETAILS

L-4

PLAN #3C MAY 22 2018

DP 16-728670





PLAN # 3 D MAY 22 2018  
DP 16-728670

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Tel: 604-263-8813  
Fax: 1-866-277-9954  
Email: jhldesign@jhlinc.ca

DATE: April, 16 | DP Submission  
Oct., 16 | DP Revision Submission  
Feb., 17 | DP Revision Submission  
March, 17 | DP Revision Submission  
Aug., 17 | DP Revision Submission

REVISIONS

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

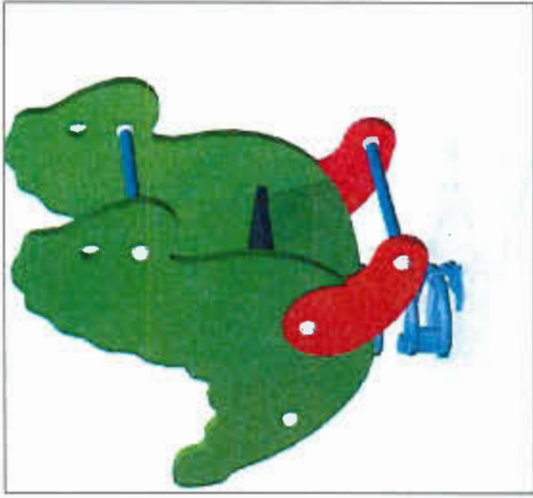
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DETAILS

SCALE: 1/2" = 1'-0"  
DATE: Aug., 17  
DRAWN:  
JOB NO.

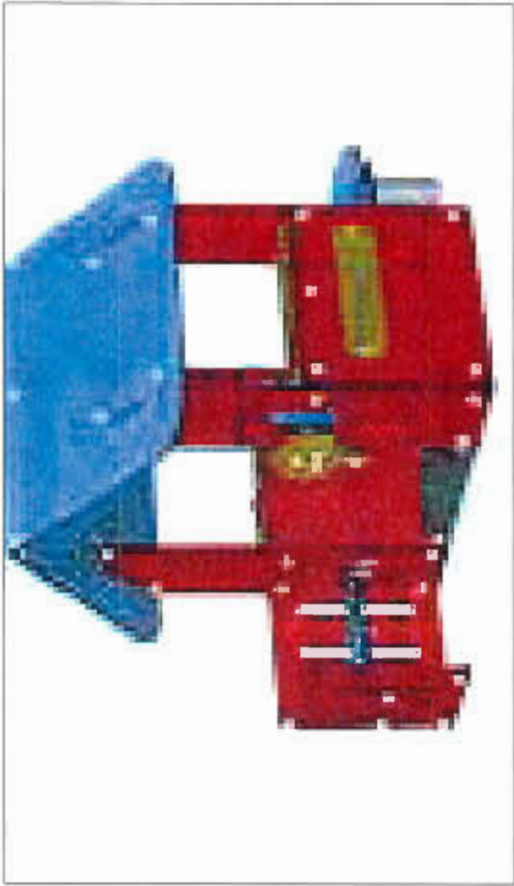
L-5



IMAGEOF SPRING TOY BY KOMPAN



IMAGEOF SPRING TOY BY KOMPAN



IMAGEOF PLAY HOUSE BY KOMPAN  
(RED HOUSE, M7000)



IMAGEOF BOLLARD LIGHTING  
(BY FAIRWEATHER, DOWNLIGHT LED 30" HIGH)



IMAGEOF BENCH  
(www.imagin.com)  
(MODEL: MLB 720W)



IMAGEOF BIKE RACK  
(BY CORA CANADA)

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DATE	REVISIONS
April, 16	DP Submission
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

JHL Design Group Inc.  
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-251-8813  
Fax: 1-866-277-8254  
Email: jhl@jhlgroup.ca

SCALE: 1/2"=1'-0"
DATE: Aug., 17
DRAWN:
JOB NO.:

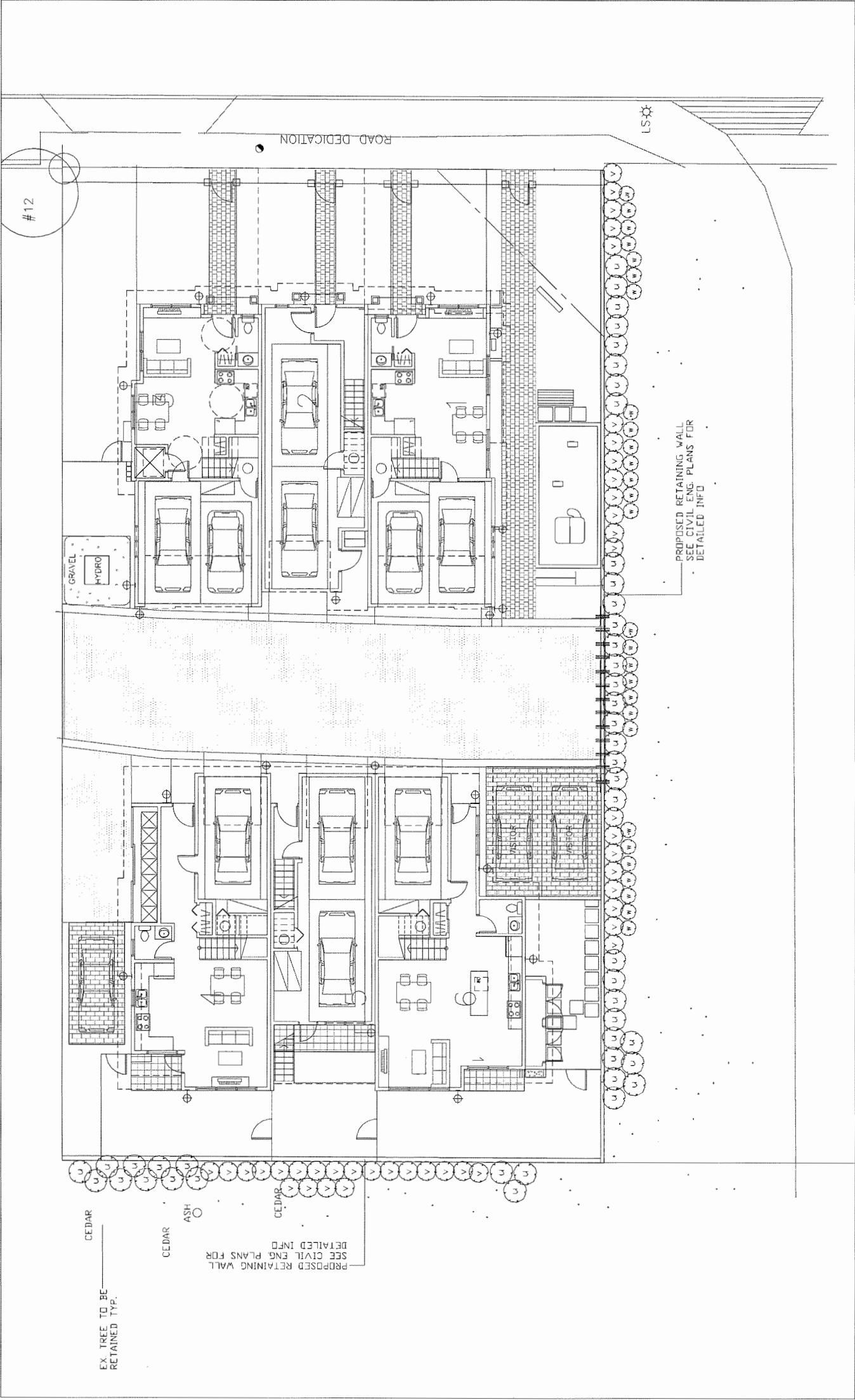
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TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE  
IMAGES

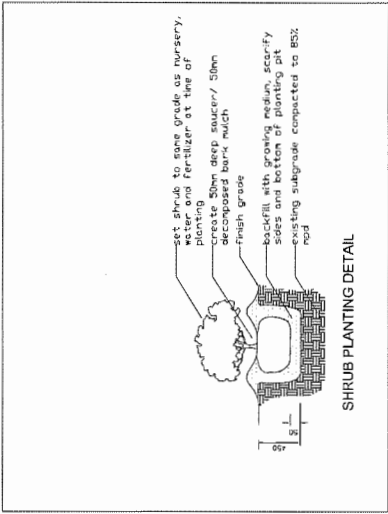
PLAN #3E MAY 22 2018

DP 16-728670

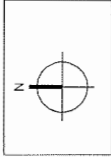
L-6



NOTE:  
Off-site landscape installation will be commenced at the same line of the on-site landscape installation.



PLANT LIST		OFF-SITE	
Symbols	Botanical Name	Common Name	Size
Trees			
Shrubs, Perennials & Grasses			
45	u	Mahonia aquifolium	# 2 pot
41	v	Rosa rugosa'Alba'	# 2 pot
28	w	Erica x Darleyensis 'Arthur Johnson'	# 1 pot
		Oregon Grape	as shown
		York Rose	as shown
		Pink Winter Heather	as shown



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DATE	REVISIONS

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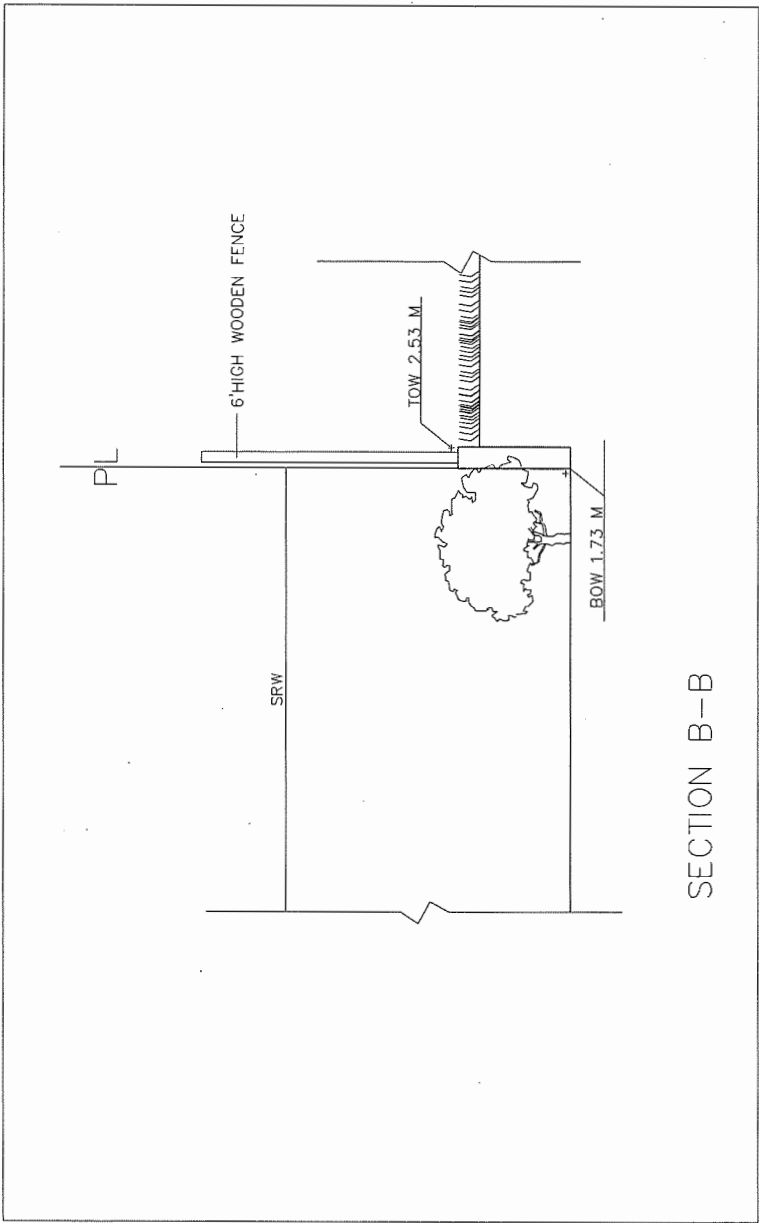
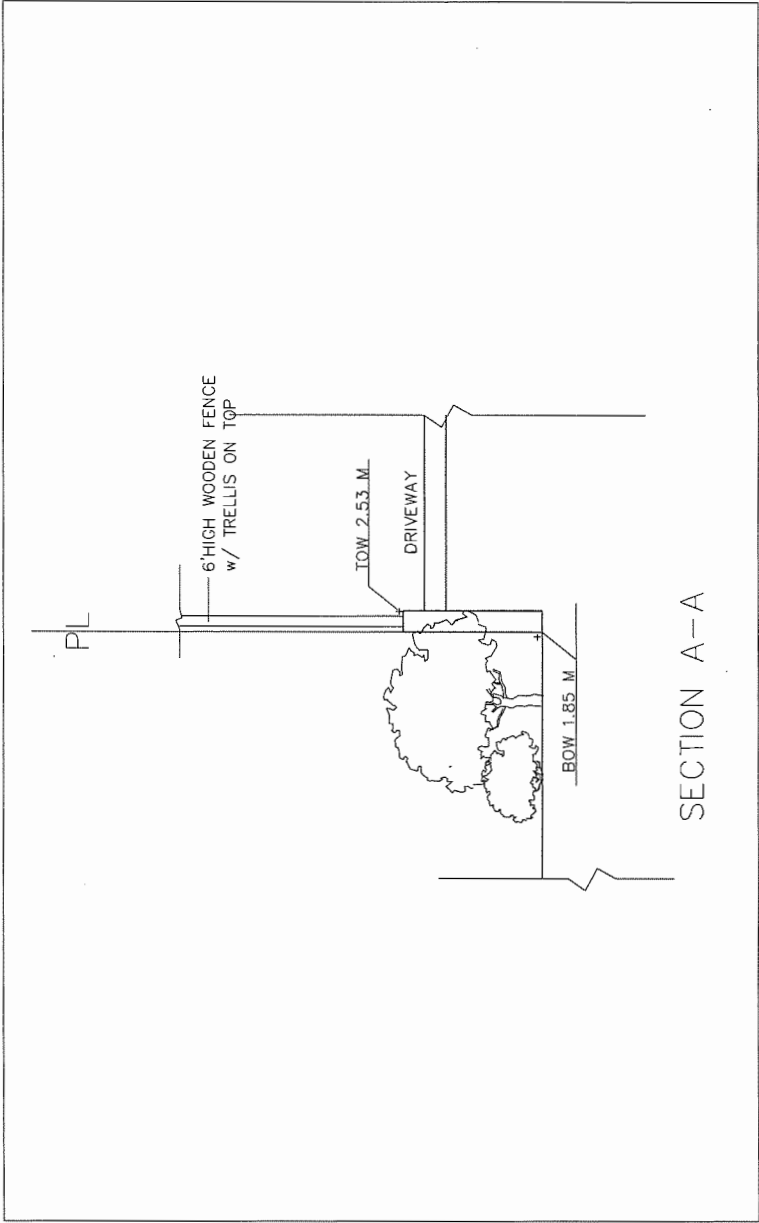
4370, Maple Street, Vancouver, BC  
Tel: 604-253-8613  
Fax: 1-866-277-3554  
Email: jhl@jhlgroupinc.ca

SCALE	1/8" = 1'-0"
DATE	JUN 6, 18
DRAWN	
JOB NO.	

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

DRAWING TITLE  
OFF SITE LANDSCAPE PLAN/  
PLANT LIST/ DETAIL

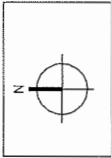




PLAN #3G MAY 22 2018

DP 16-728670

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DATE	REVISIONS
April, 16	DP Submission
Oct., 16	DP Revision Submission
Feb., 17	DP Revision Submission
March, 17	DP Revision Submission
Aug., 17	DP Revision Submission

JHL Design Group Inc.  
Landscape Architecture + Urban Design

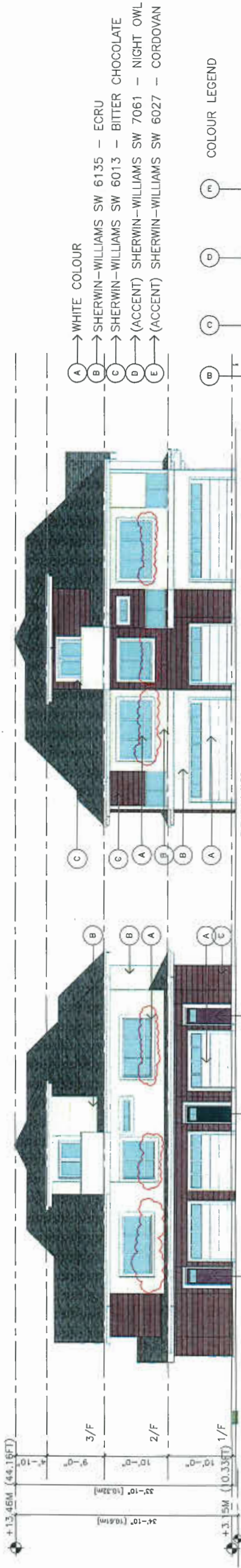
4370, Maple Street, Vancouver, BC  
Tel: 604-263-8613  
Fax: 1-866-277-8554  
Email: jhl@jhl.ca

SCALE	1/8" = 1'-0"
DATE	May, 18
DRAWN	
JOB NO.	

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

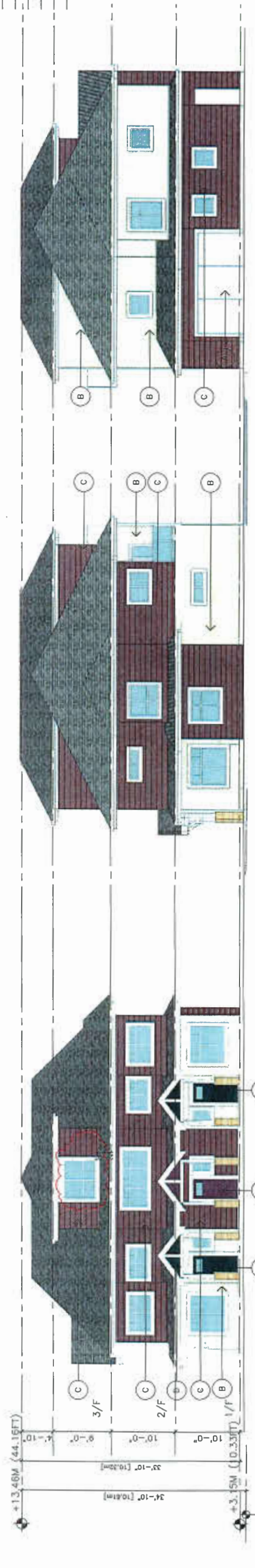
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OFF SITE CROSS SECTIONS

L-8



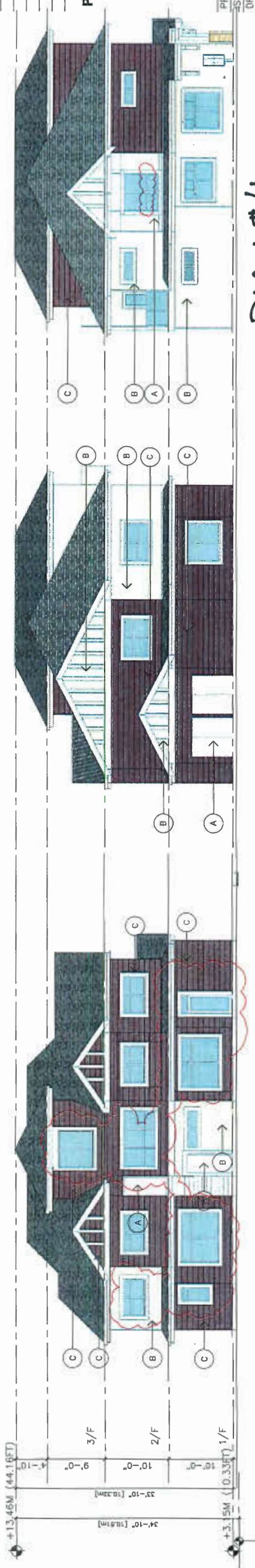
1 INTERNAL AISLE WEST ELEVATION  
1/8" TO 1'-0"

2 INTERNAL AISLE EAST ELEVATION  
1/8" TO 1'-0"



2 TOWNHOUSE EAST ELEVATION (NO 4 ROAD)  
1/8" TO 1'-0"

3 TOWNHOUSE NORTH ELEVATION  
1/8" TO 1'-0"



4 TOWNHOUSE WEST ELEVATION  
1/8" TO 1'-0"

5 TOWNHOUSE SOUTH ELEVATION  
1/8" TO 1'-0"

PLAN # 4

MAY 22 2018

DP 16-728670

A9

DP 16-728670

DEVELOPMENT PERMIT

ERIC LAW ARCHITECT

eric.law.architect@gmail.com  
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ISSUED	1	2016.04.04	FOR DP APPLICATION
	2	2016.10.26	FOR DP RESUBMISSION
	3	2017.02.28	FOR CITY DP REVIEW
	4	2017.05.24	FOR CITY DP RESUBMISSION
	5	2017.07.21	FOR CITY DP RESUBMISSION
	6	2017.07.27	FOR CITY DP RESUBMISSION
	7	2017.08.22	FOR CITY DP RESUBMISSION
	8	2018.04.16	FOR CITY DP AMENDMENT

7	2018.04.08	REMOVED TREE #1 AND TREE WELL
8	2018.03.15	RELOCATED HEDGE LFT
5	2017.08.21	ADJUSTED ROOF AND BALCONY ADDED
4	2017.07.21	ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15	ADJUSTED BACK RETAINING WALL HEDGE
2	2017.02.28	PER CITY DP EMAIL COMMENTS
1	2016.08.27	PER CITY DP COMMENTS
REVISION		

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

ELEVATIONS -COLOR

PROJECT NUMBER:12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
NAME: 12-03_SFD_180417-DPP-AMEND



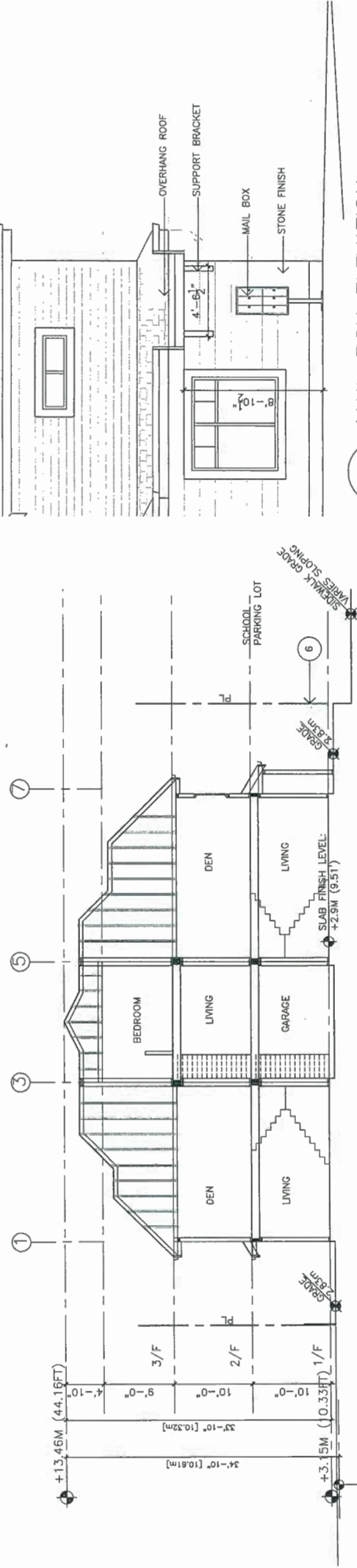
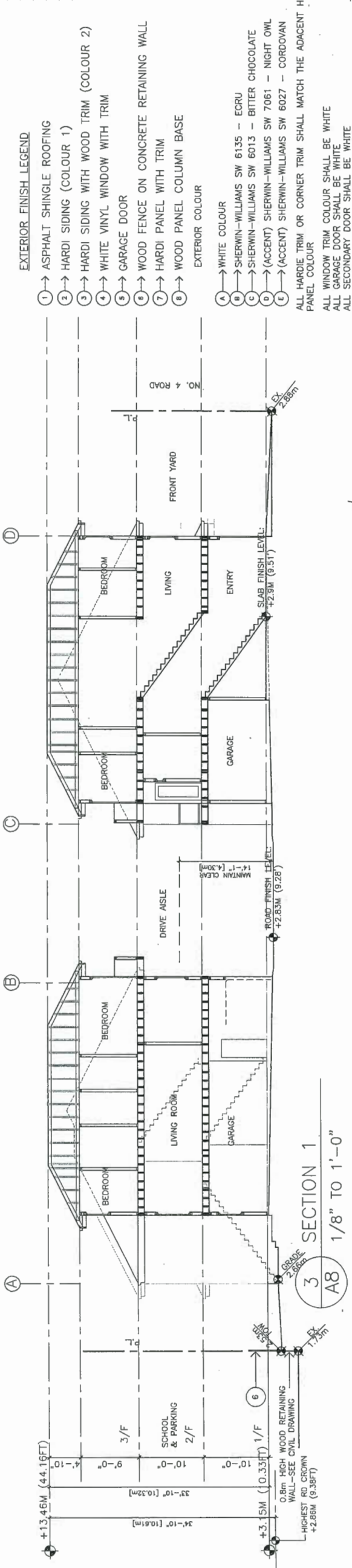
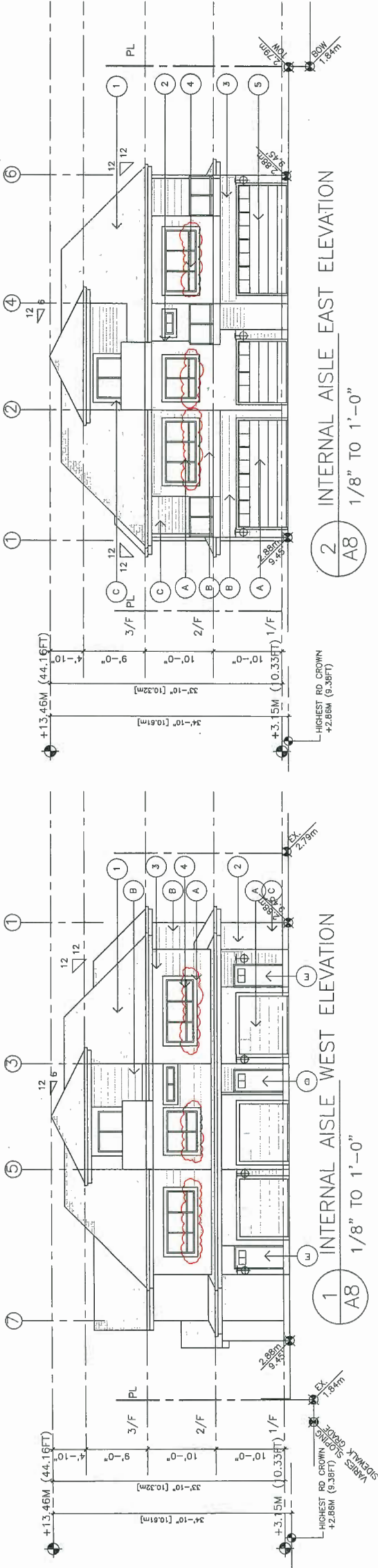




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ARCHITECT

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ISSUED	
1	2016.04.04 FOR DP APPLICATION
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3	2017.02.28 FOR CITY DP REVIEW
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6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT



PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

ELEVATIONS & SECTIONS

PROJECT NUMBER: 12-03  
ISSUED: 4/17/2018  
DRAWN BY: EL  
CHECKED BY: EL  
FILENAME: 12-03\_SFD\_180417-DPP-AMEND

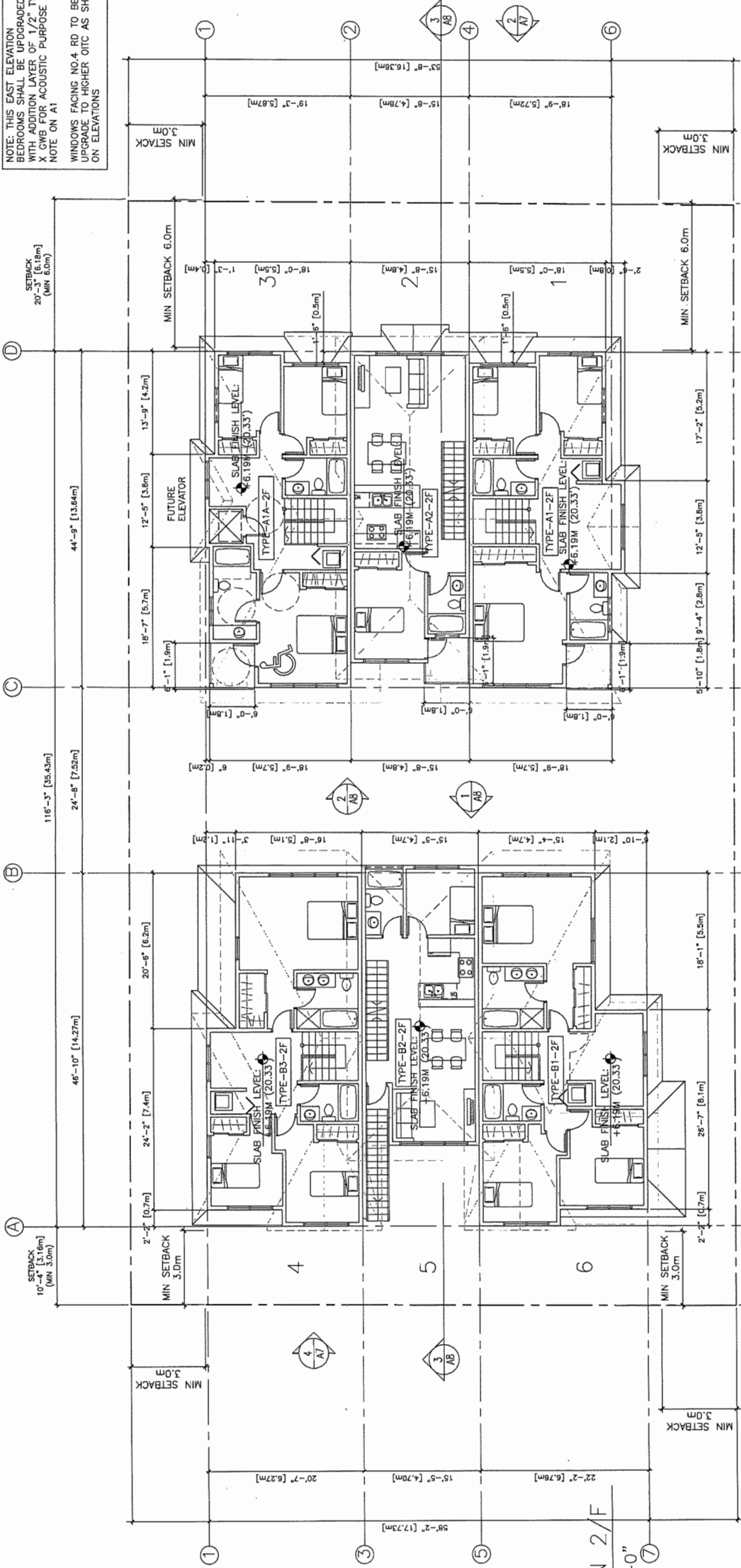
A8

DEVELOPMENT PERMIT

PLAN # 4B  
DP 16-728670  
MAY 22 2018  
PLAN #5  
DP 16-728670

NOTE: THIS EAST ELEVATION BEDROOMS SHALL BE UPGRADED WITH ADDITION LAYER OF 1/2" TYPE X GWB FOR ACOUSTIC PURPOSE SEE NOTE ON A1

WINDOWS FACING NO.4 RD TO BE UPGRADE TO HIGHER OTC AS SHOWN ON ELEVATIONS



AIR-CONDITIONING IS REQUIRED IN THESE UNITS

1 SITE PLAN 2/F  
1/8" TO 1'-0"

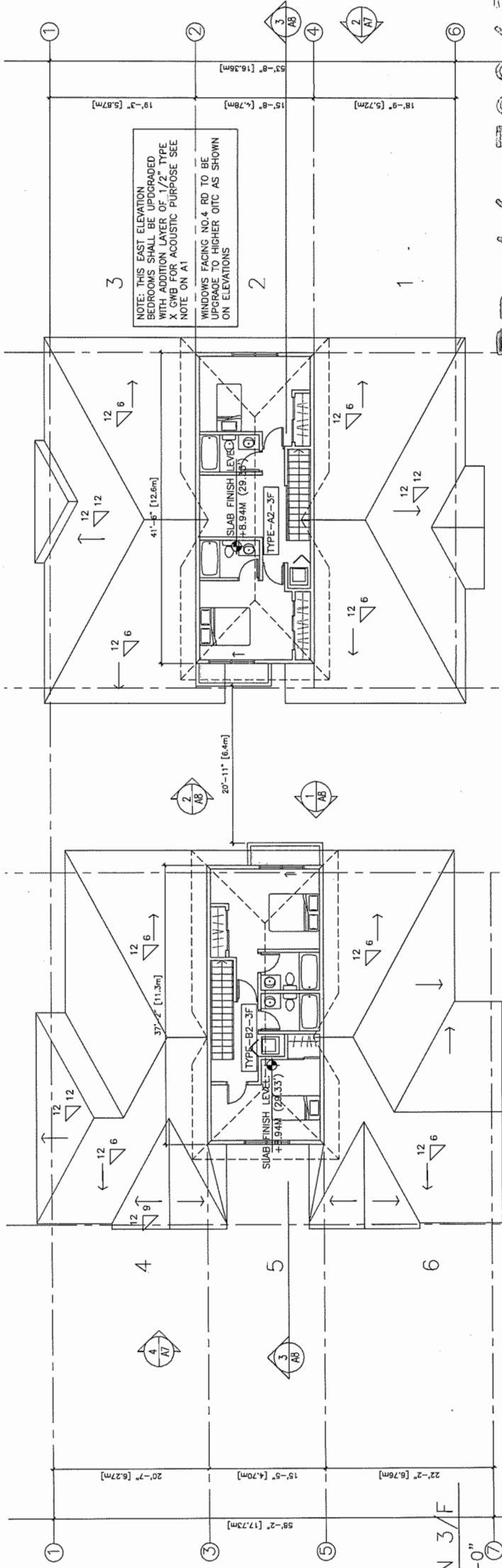
ERIC LAW  
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V6H 1T5  
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ISSUED	1	2016.04.01	FOR OP APPLICATION
	2	2016.10.25	FOR OP RESUBMISSION
	3	2017.02.28	FOR CITY OF REVIEW
	4	2017.03.24	FOR CITY OF RESUBMISSION
	5	2017.07.21	FOR CITY OF RESUBMISSION
	6	2017.07.27	FOR CITY OF RESUBMISSION
	7	2017.08.22	FOR CITY OF RESUBMISSION
	8	2018.04.16	FOR CITY OF AMENDMENT

AIR-CONDITIONING IS REQUIRED IN THESE UNITS



REFERENCE PLAN

2 SITE PLAN 3/F  
1/8" TO 1'-0"

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

SITE PLAN (2/F & 3/F)

PROJECT NUMBER:	12-03
ISSUED:	4/17/2018
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	12-03_SFD_180417-DPP-AMEND

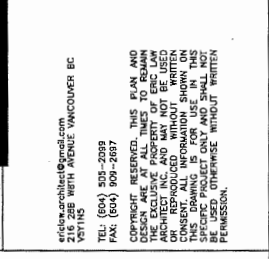
A4

DP 16-728670

DP 16-728670

MAY 22 2018

DEVELOPMENT PERMIT

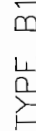


TOWNHOUSE SHALL MEET AND INCORPORATE THE ENERGIDE B2 REQUIREMENTS RECOMMENDATIONS BY E3 ECO GROUP INC REPORT DATED JULY 10, 2017

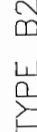
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2	2016.10.25	FWR DP RESUBMISSION
3	2017.02.28	FWR CITY DP REVIEW
4	2017.03.14	FWR CITY DP RESUBMISSION
5	2017.07.21	FWR CITY DP RESUBMISSION
6	2017.07.27	FWR CITY DP RESUBMISSION
7	2017.08.22	FWR CITY DP RESUBMISSION
8	2018.04.16	FWR CITY DP AMENDMENT



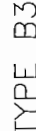
TOTAL UNIT AREA: ±1376.85 SQ. FT.  
INCLUDING STAIR AND G/F ENTRY



3 BEDROOM + DEN  
TOTAL UNIT AREA: ±1515.3 SQ. FT.



3 BEDROOM  
TOTAL UNIT AREA: ±1184.1 SQ. FT.



3 BEDROOM + DEN  
TOTAL UNIT AREA: ±1434.7 SQ. FT.  
INCLUDING STAIR

## UNIT PLANS

PROJECT NUMBER:12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180417-DPP-AMEN

TYPE B3

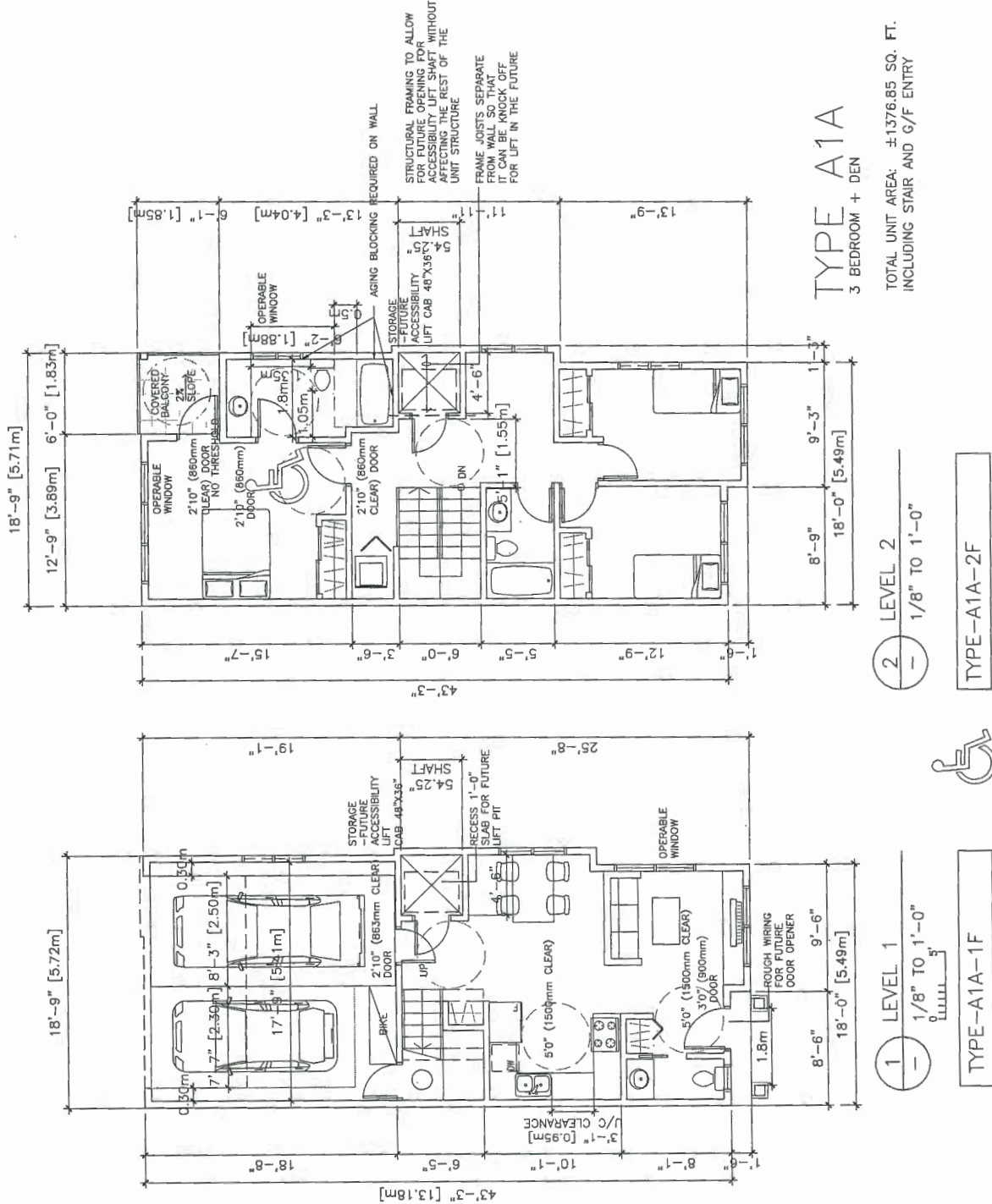
3 BEDROOM + DEN  
TOTAL UNIT AREA: ±1434.7 SQ. FT.  
INCLUDING STAIR

16-728670 DP 16-728670

MAY 22 2018

DEVELOPMENT PERMIT





Cab Size	A5	B	C5	D5	E34	F34	G	H
36" x 48"	54 1/4"	48"	49"	27 1/4"	53 1/4"	42 1/4"	36"	27 1/2"

DOORS & DOORWAYS	VERTICAL CIRCULATION
CONVERTIBLE UNIT GUIDELINES	DOORS & DOORWAYS
ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPERATOR.
INTERIOR DOORS TO MAIN AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH HANDLING SPACE.	INTERIOR DOORS TO MAIN AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH HANDLING SPACE.
DOORS AND WIDER HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.	DOORS AND WIDER HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSSED. - - ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.	PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSSED. - - ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
LEVER-TYPE HANDLES FOR ALL DOORS.	LEVER-TYPE HANDLES FOR ALL DOORS.
STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.	STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
VERTICAL LIFT, DERESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.	VERTICAL LIFT, DERESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
MIN. 900 MM WIDTH.	MIN. 900 MM WIDTH.
MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
ACCESS FROM GARAGE TO LIVING AREA MIN. 860 MM CLEAR OPENING.	ACCESS FROM GARAGE TO LIVING AREA MIN. 860 MM CLEAR OPENING.
BATHROOM (MIN. 1)	BATHROOM (MIN. 1)
TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).	CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
KITCHEN	KITCHEN
CLEAR AREA NEEDED UNDER FUTURE WORK SPACE.	CLEAR AREA NEEDED UNDER FUTURE WORK SPACE.
PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. -	PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. -
CABINETS UNDERNEATH SINK ARE EASILY REMOVED.	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.
OUTLETS & SWITCHES	OUTLETS & SWITCHES

ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE DOWLING UNITS

(1) PROVIDE PRE-DUCTING TO ACCOMMODATE FUTURE SOLAR HOT WATER HEATING

(2) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS:

(a) STAIRWELL HANDRAILS

(b) LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES

(c) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS AND SHOWERS

TOWNHOUSE SHALL MEET AND INCORPORATE THE ACOUSTIC RECOMMENDATIONS BY BKL CONSULTANTS REPORT DATED JULY 22, 2016

AIR CONDITIONING TO BE PROVIDED IN THE TOWNHOUSE AND SHALL MEET AND INCORPORATE THE THERMAL COMFORT RECOMMENDATIONS BY ENERSOLV DESIGN DATED SEPTEMBER 9, 2016

TOWNHOUSE SHALL MEET AND INCORPORATE THE ENERGUIDE 82 REQUIREMENTS RECOMMENDATIONS BY E3 ECO GROUP INC REPORT DATED JULY 10, 2017

ERIC LAW ARCHITECT

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ISSUED	DATE	FOR
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6	2017.07.27	FOR CITY DP RESUBMISSION
7	2017.08.22	FOR CITY DP RESUBMISSION
8	2018.04.19	FOR CITY DP AMENDMENT

7	2018.04.06	REMOVED TREE #1 AND TREE WELL
8	2018.03.15	RELOCATED HOIST UPT
9	2017.06.21	ADJUSTED ROOF AND BALCONY ADDED
4	2017.07.21	ADJUSTED PERMEABLE DIAGRAM
3	2017.05.15	ADJUSTED BACK RETAINING WALL HEIGHT
2	2017.02.28	PER CITY DP EMAIL COMMENTS
1	2016.06.27	PER CITY DP COMMENTS
REVISION		

PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC

UNIT PLANS

PROJECT NUMBER:12-03
ISSUED: 4/17/2018
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 12-03_SFD_180417-DPP-AMEND

A6

REFERENCE PLAN

DP 16-728670

DEVELOPMENT PERMIT





# City of Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** June 4, 2018

**From:** Wayne Craig  
Director, Development

**File:** DV 17-792200

**Re:** Application by Asif Siddiqui for a Development Variance Permit at  
7100 No. 2 Road

---

### Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum rear yard from 6.0 m to 1.2 m for a one-storey garage to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road on a site zoned "Compact Single Detached (RC2)".

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:cl  
Att. 3

## **Staff Report**

### **Origin**

Asif Siddiqui has applied to the City of Richmond for permission to vary the minimum rear yard in the “Compact Single Detached (RC2)” zone of Richmond Zoning Bylaw 8500 from 6.0 m to 1.2 m for a one-storey garage off the rear lane to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road (Attachment 1). The site is currently a vacant hooked lot, bisected by a City lane (Attachment 2).

The site was rezoned in 2016 from the “Single Detached (RS1/E)” zone to the “Compact Single Detached (RC2)” zone to permit a subdivision to create two lots (RZ 10-545413). Subdivision of the land was completed in May, 2017, resulting in the creation of 7086 No. 2 Road immediately to the north, and the subject property at 7100 No. 2 Road. Construction of a new single detached dwelling at 7086 No. 2 Road has recently been completed. This Development Variance Permit application is applicable only to the subject property at 7100 No. 2 Road.

### **Development Information**

A Development Application Data Sheet providing details about the development proposal is attached (Attachment 3).

### **Surrounding Development**

Development surrounding the subject site is as follows:

- To the north, there is a new two-storey dwelling recently built on a lot zoned “Compact Single Detached (RC2)” at 7086 No. 2 Road.
- To the east, immediately across the rear lane, there is an existing two-storey dwelling on a lot zoned “Single Detached (RS1/E)” at 7091 Livingstone Place.
- To the south, there are three existing 2 ½ storey dwellings on lots zoned “Compact Single Detached (RC1)” at 7108, 7120 No. 2 Road and 6011 Comstock Road.
- To the west, immediately across No. 2 Road, there is the Richmond Presbyterian Church on a lot zoned “Assembly (ASY)” at 7111 No. 2 Road.

### **Public Consultation**

A Development Variance Permit Application sign has been installed on the subject property. Staff have not received any comments from the public about the application in response to the placement of the sign on the property.

Public notification for the Development Permit Panel meeting will be provided as per the Local Government Act and the City’s Procedure Bylaw.

## Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on February 16, 2015. Although there were concerns expressed by some of the surrounding neighbourhood residents to the rezoning application at the subject site, only one letter of opposition was received at the Public Hearing, and no delegations were in attendance. The rezoning bylaw was granted Third Reading at the Public Hearing and subsequently approved in December, 2016.

During the rezoning process, preliminary concept plans were submitted by the applicant to illustrate how the subject lot would be developed. The preliminary plans illustrated a single detached dwelling with a two-car garage that was partially attached to the principal building.

The applicant has since submitted a Building Permit application to construct a single detached dwelling including a secondary suite with all of the required parking spaces within the garage, the design of which has triggered the requirement for this Development Variance Permit application.

## Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Variance Permit application. The proposed scheme is consistent with applicable policies and landscape guidelines for compact lots on arterial roads identified in the Official Community Plan (OCP), and is generally in compliance with the "Compact Single Detached (RC2)" zone except for the variance noted below.

### ***Zoning Compliance/Variations (staff comments in bold)***

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum rear yard from 6.0 m to 1.2 m for a one-storey garage to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road.

***(Staff supports the proposed variance for the following reasons:***

- The subject site is unique in that it is a hooked lot that is bisected by a City lane. This condition results in having to measure the rear yard setback from the lot line to the west of the rear lane, rather than from the ultimate rear lot line to the east of the lane. Effectively, although the rear yard setback from the lane to the proposed one-storey garage attached to the rear of the single detached dwelling is 1.2 m, the setback from the rear lot line east of the lane is approximately 18 m. This provides for substantial separation between the building on-site and the existing adjacent single-family properties to the east.***
- The site plan has been carefully designed to provide a sensitive condition of adjacency to the existing lot to the south. The garage is positioned on the north side of the lot, is limited to a single storey, and all portions of the two-storey single detached dwelling are set back 6.0 m from the rear lane.***

- *The proposed dwelling at the subject site will include a secondary suite, which contributes to housing affordability for both the property owner and tenant. The variance assists with accommodating the on-site parking required for the secondary suite within the garage.*

## **Analysis**

### ***Conditions of Adjacency***

- The proposed dwelling and attached garage off the rear lane have been designed with consideration of the existing adjacent single-family context.
- The proposed 2 ½ storey single detached dwelling complies with the required yard setbacks in the RC2 zone and has been designed with careful attention to minimize overlook to adjacent properties.
- The proposed attached garage consists of a single-storey and is positioned on the north side of the lot (along the adjacency with the dwelling the applicant has recently constructed to the north at 7086 No.2 Road), which enables a more sensitive interface to the established single-family lot to the south.
- The proposed garage is well separated from adjacent established single-family lots to the east, immediately across the rear lane (approximately 18 m).

### ***Site Planning, Architectural Form and Character (Plans # 1, 2, 4, 4.a, 5)***

- With the exception of the proposed attached garage, the siting of the proposed single-family dwelling is consistent with the “Compact Single Detached (RC2)” zone and with that of dwellings on other compact lots on arterial roads City-wide.
- The 1.2 m rear yard setback to the garage would otherwise comply with zoning if it were detached from the single-family dwelling. However, to maximize the use of the land while providing for all required parking spaces within the garage, it is proposed to be attached to the single-family dwelling.
- The proposed vehicle access to the site is via the rear lane that is being constructed through the Servicing Agreement process. The lane geometry and traffic safety were reviewed by the City’s Transportation Department at rezoning stage and present no concerns.
- Consistent with the Zoning Bylaw, on-site parking for three cars is proposed in the attached garage, with the required two spaces for the principal residents in a tandem arrangement and the required space for the secondary suite to the side.
- The street front elevation includes a one-storey front porch to define the main entry to the dwelling and bay window projections to add visual interest. Facia board is proposed on all elevations to define the first and second storeys.
- The half-storey has been carefully integrated into the pitched roof framing with side shed dormers, consistent with the Zoning Bylaw.
- The one-storey attached garage is proposed to have a flat roof so as to minimize the building mass above the ground level in the rear yard.

***Landscape and Open Space Design (Plans # 3.a and 3.b)***

- A Landscape Plan, prepared by a Registered Landscape Architect, has been submitted by the applicant, which addresses tree planting and landscape design.
- The proposal includes a landscaped front yard that is consistent with the guidelines for compact lots on arterial roads, as well as a small private outdoor space in the rear yard, consistent with the minimum required size and dimensions in the “Compact Single Detached (RC2)” zone.
- Soft landscaping, accounting for 42% of the lot area, is proposed in the form of lawn and planted areas containing trees and a variety of shrubs, groundcover, ornamental grasses, and flowering plants, in both the front and rear yards, including areas abutting both the west and east sides of the rear lane.
- The proposed location of a water source (e.g., a hose bib) is noted on the Site Plan to enable irrigation of the proposed landscaping on the east side of the rear lane. Prior to Building and Plumbing Permit issuance, the proposed hose bib must be incorporated into the Building Permit and Plumbing Permit plans.
- In order to ensure that the landscaping is installed consistent with the Landscape Plan, the applicant is required to submit a Landscaping Security in the amount of 100% of the cost estimate provided by the Landscape Architect (including all materials, installation, and a 10% contingency). The value of the cost estimate provided by the Landscape Architect is \$8,134.12. Prior to rezoning, the applicant submitted a Landscaping Security for the subject property in the amount of \$5,621.16 based on the cost estimate associated with original Landscape Plan approved at that time. With revisions to the Landscape Plan as part of this Development Variance Permit application, the cost estimate has increased such that the applicant is required to submit an additional security amount of \$2,512.96 prior to this application being forwarded to Council for issuance.

**Conclusion**

The applicant is seeking permission to vary the minimum rear yard in the “Compact Single Detached (RC2)” zone in Richmond Zoning Bylaw 8500 from 6.0 m to 1.2 m for a one-storey garage that is to be attached to a single detached dwelling, which are proposed to be constructed at 7100 No. 2 Road.

The variance is requested due to the lot’s unique configuration, which is bisected by a City lane, and which results in having to measure the rear yard setback from the lot line separating the west portion of the site from the lane, rather than from the ultimate rear lot line to the east of the lane.

As the proposed development meets the applicable policies and landscape guidelines for compact lots identified in the Official Community Plan (OCP), and is generally in compliance with the “Compact Single Detached (RC2)” zone with the exception of the variance requested, staff recommend that the Development Variance Permit be endorsed, and that issuance by Council be recommended.



Cynthia Lussier  
Planner 1  
(604-276-4108)

CL:blg

The following are to be met prior to forwarding this application to Council for approval:

1. Receipt of an outstanding landscaping security in the amount of \$2,512.96 (which includes all materials, installation, and a 10% contingency).

Prior to future Building Permit and Plumbing Permit issuance, the applicant is required to complete the following:

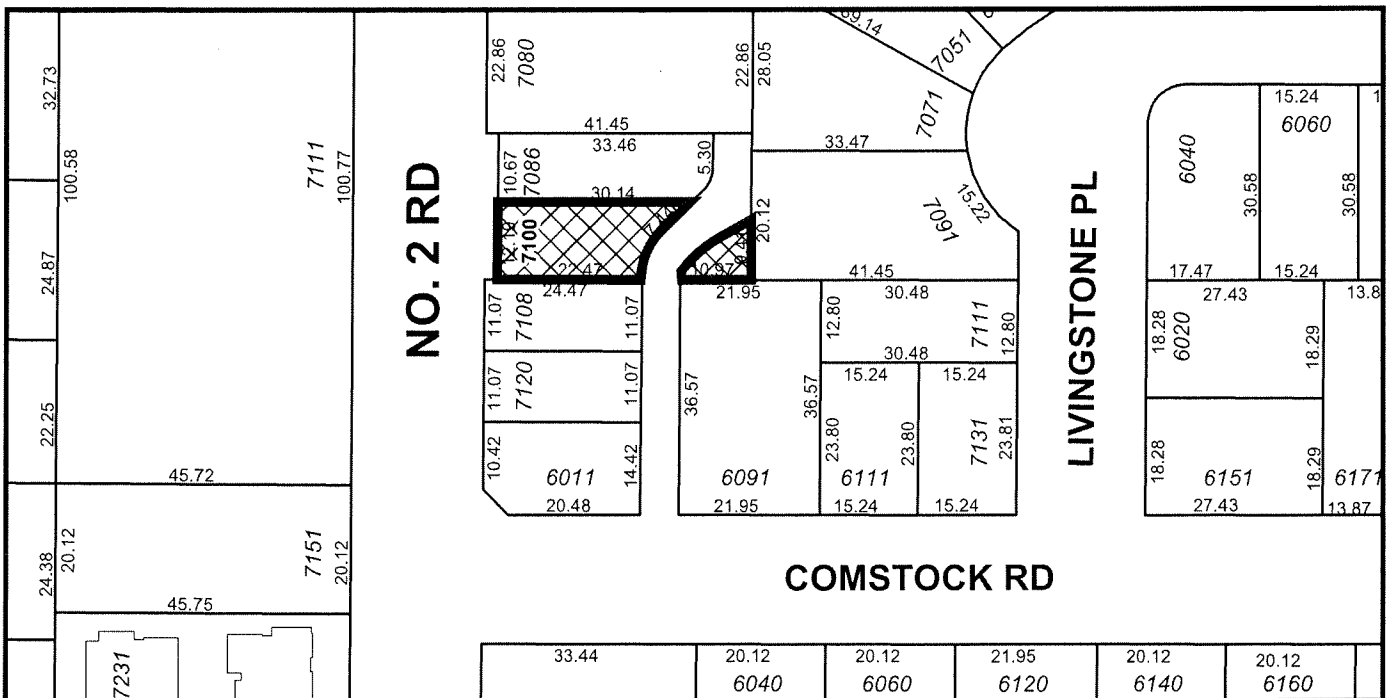
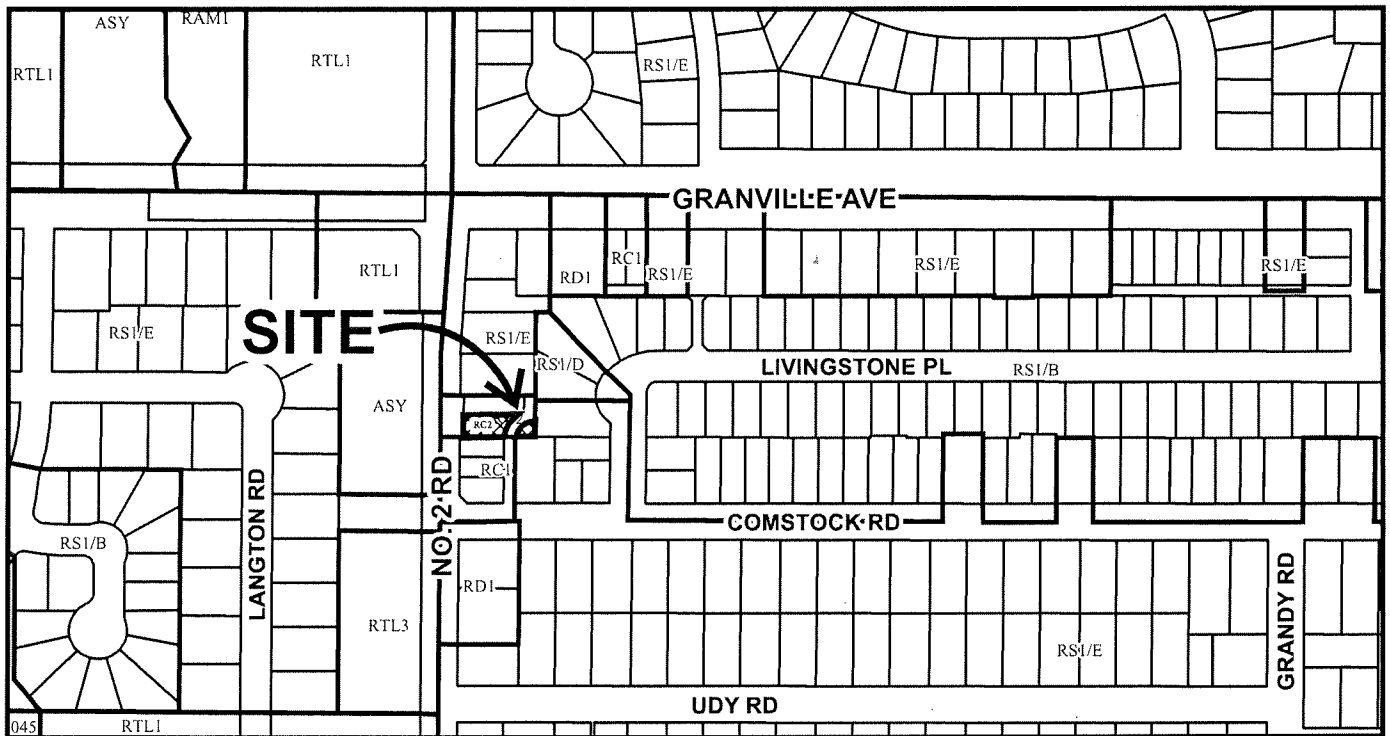
- Incorporate the proposed hose bib/water source noted on the Development Variance Permit plans into the Building Permit and Plumbing Permit plans.
- Obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submit a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).





# City of Richmond

ATTACHMENT 1



DV 17-792200

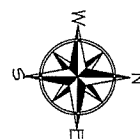
Original Date: 12/06/17

Revision Date:

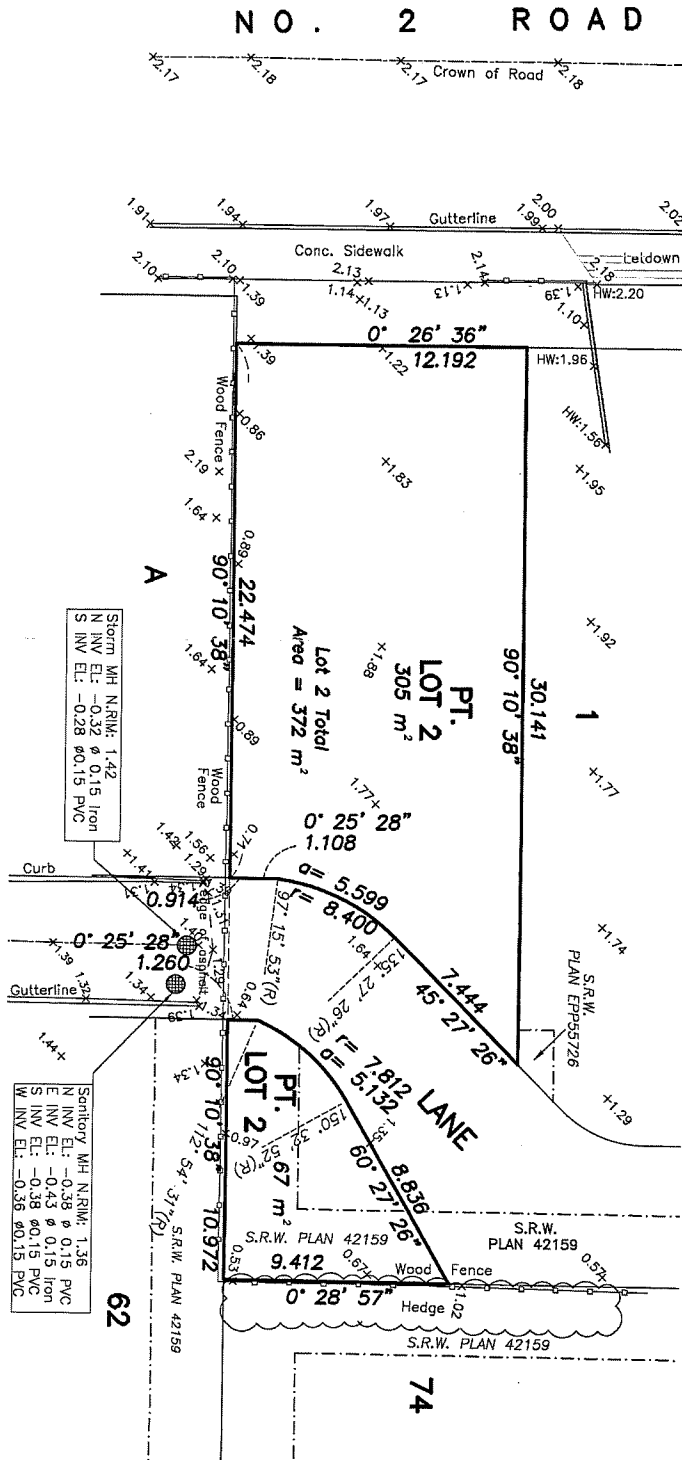
Note: Dimensions are in METRES

**NEW WESTMINSTER DISTRICT PLAN EPP58050**


ALL DISTANCES ARE IN METRES AND DECIMALS  
THEREOF UNLESS OTHERWISE INDICATED



**DWG No. 4033-Topo Lot 2**



**CERTIFIED CORRECT:**  
LOT DIMENSION ACCORDING TO  
FIELD SURVEY.

  
JOHNSON C. TAM, B.C.L.S.  
MAY 30th, 2017.



**DV 17-792200**

**Attachment 3**

Address: 7100 No. 2 Road

Applicant: Asif Siddiqui

Owner: Asif Mohammad Siddiqui

Planning Area(s): Blundell

	Existing	Proposed
<b>Site Area:</b>	372 m <sup>2</sup> (West portion – 305 m <sup>2</sup> ; East portion – 67 m <sup>2</sup> )	No change
<b>Land Uses:</b>	Vacant Lot	Single detached dwelling, with a secondary suite and an attached garage
<b>OCP Designation:</b>	Neighbourhood Residential	No change
<b>Zoning:</b>	Compact Single Detached (RC2)	No change

	Bylaw Requirement		Proposed		Variance
Floor Area Ratio:	0.60		0.60		None permitted
Floor Area:	223.20 m <sup>2</sup>		223.05 m <sup>2</sup>		None
Lot Coverage - Buildings:	Max. 50%		39.29%		None
Lot Coverage – Buildings, Structures, & Non-Porous Surfaces:	Max. 70%		58%		None
Lot Coverage – Live Plant Material:	Min. 20 %		42%		None
Setback – Front Yard:	Min. 6.0 m		6.36 m		None
Setback – Side Yard:	Min. 1.2 m		1.2 m		None
Setback – Rear Yard:	Single detached dwelling & attached garage	Min. 6.0 m	Single detached dwelling & attached garage	1.2 m	To reduce the rear yard setback from 6.0 m to 1.2 m for a one-storey garage attached to a single detached dwelling
	Detached garage	Min. 1.2 m			
Height (m):	2 ½ storeys and Max. 9.0 m		2 ½ storeys and 9.0 m		None
Lot Size:	270 m <sup>2</sup>		372 m <sup>2</sup> (West portion – 305 m <sup>2</sup> ; East portion – 67 m <sup>2</sup> )		None
On-site Parking Spaces:	Single detached dwelling	2 spaces	Single detached dwelling	2 spaces	None
	Secondary Suite	1 space	Secondary Suite	1 space	
Tandem Parking Spaces	Permitted for the required on-site parking spaces for the single detached dwelling		2 Spaces		None
Private Outdoor Space:	Min. 20 m <sup>2</sup> Min. Width 3.0 m Min. Depth 3.0 m		20.09 m <sup>2</sup> Width 4.1 m Depth 4.9 m		None



No. DV 17-792200

To the Holder: ASIF SIDDIQUI  
Property Address: 7100 NO. 2 ROAD  
Address: C/O 106 - 8060 JONES ROAD  
RICHMOND, BC V6Y 4K5

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
  - a) That the minimum rear yard be reduced from 6.0 m to 1.2 m for a one-storey garage to be attached to a single detached dwelling, which are proposed to be constructed on-site.
4. The land described herein, and any buildings, structures, and other development thereon, shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof (Plans # 1 to # 5).
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$2,512.96 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

This Permit is not a Building Permit.

**Development Variance Permit**  
**No. DV 17-792200**

To the Holder: ASIF SIDDIQUI

Property Address: 7100 NO. 2 ROAD

Address: C/O 106 - 8060 JONES ROAD  
RICHMOND, BC V6Y 4K5

---

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

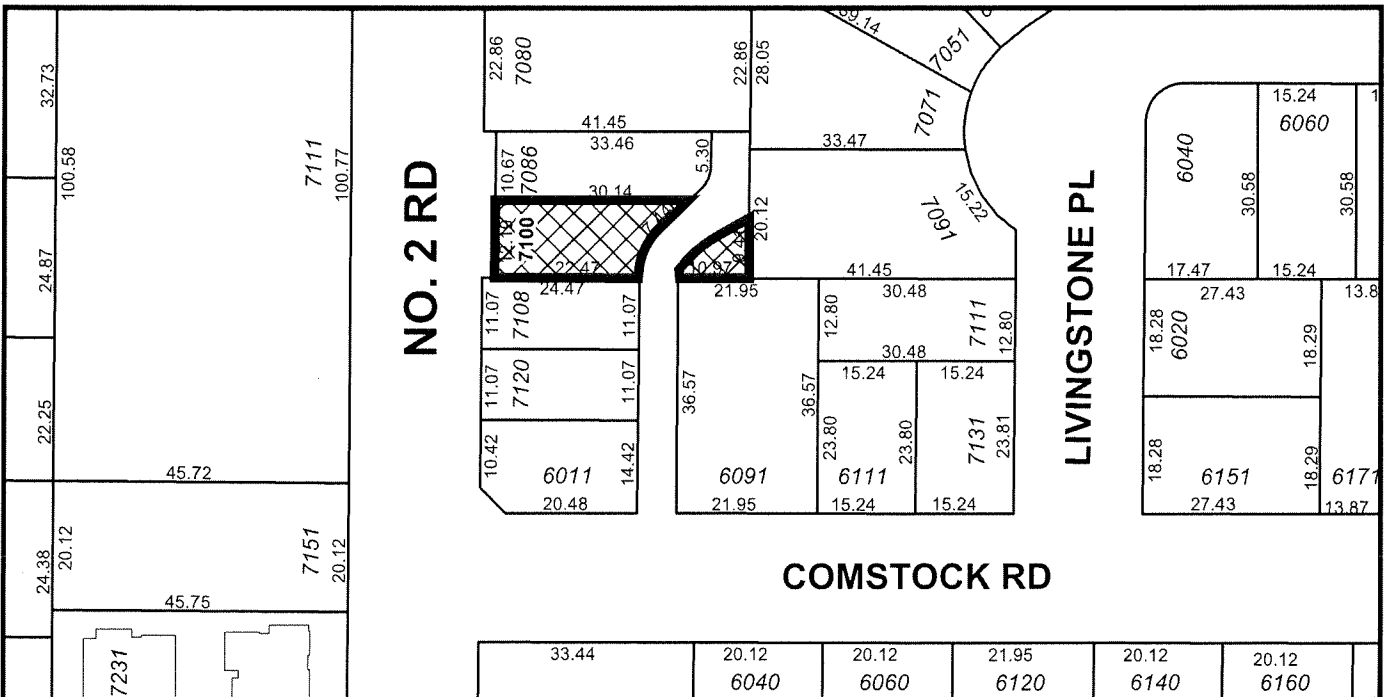
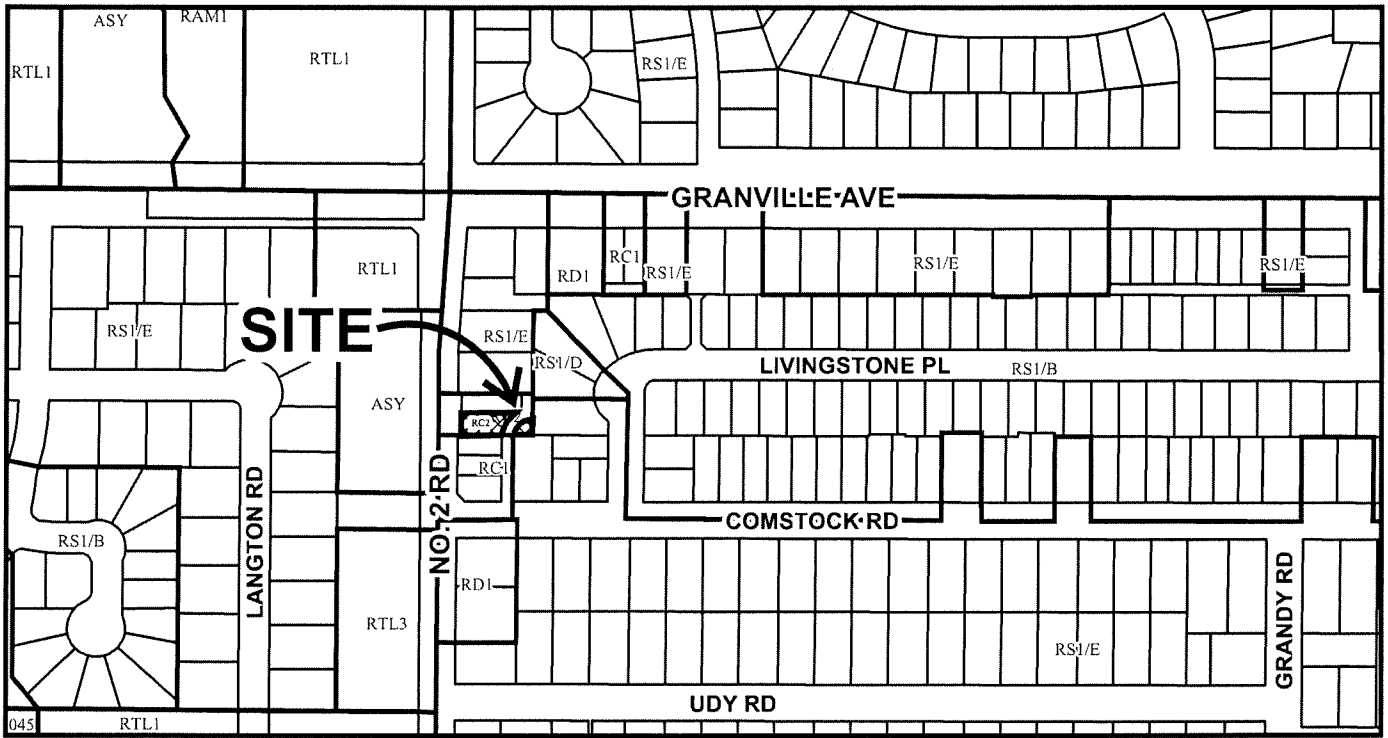
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



## DV 17-792200 SCHEDULE "A"

Original Date: 12/06/17

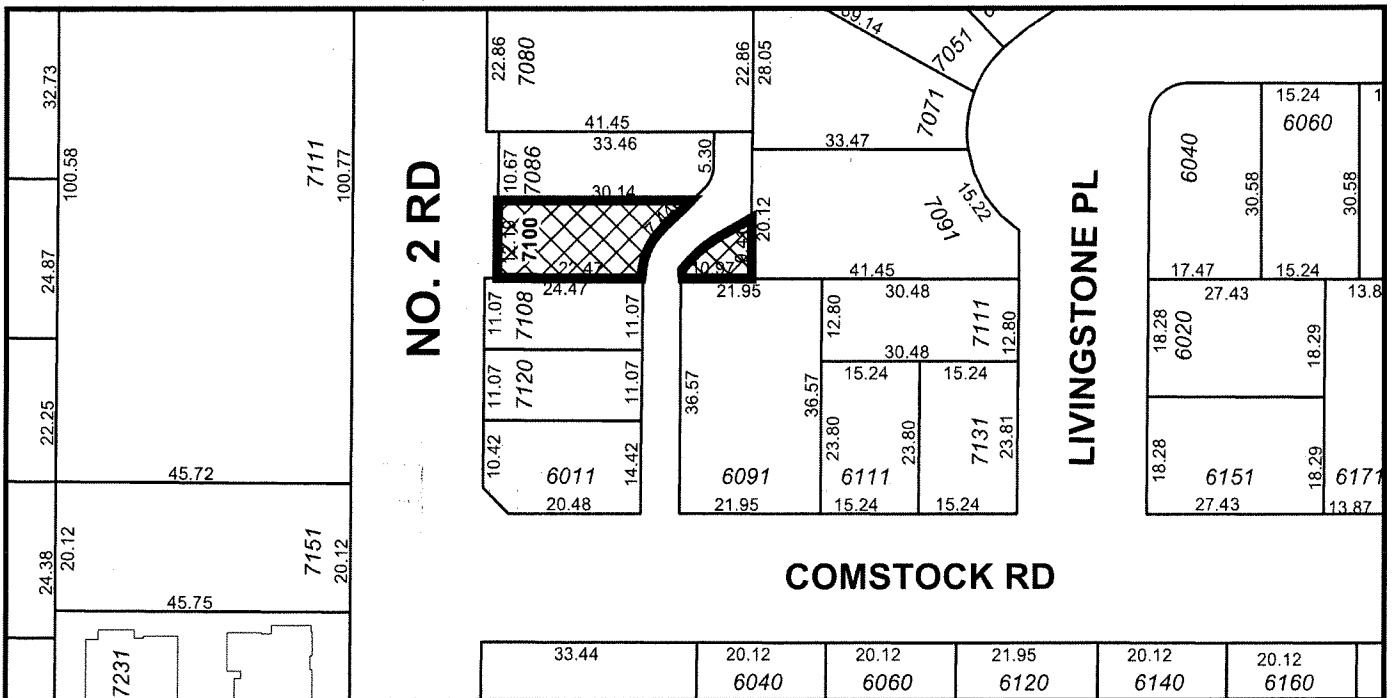
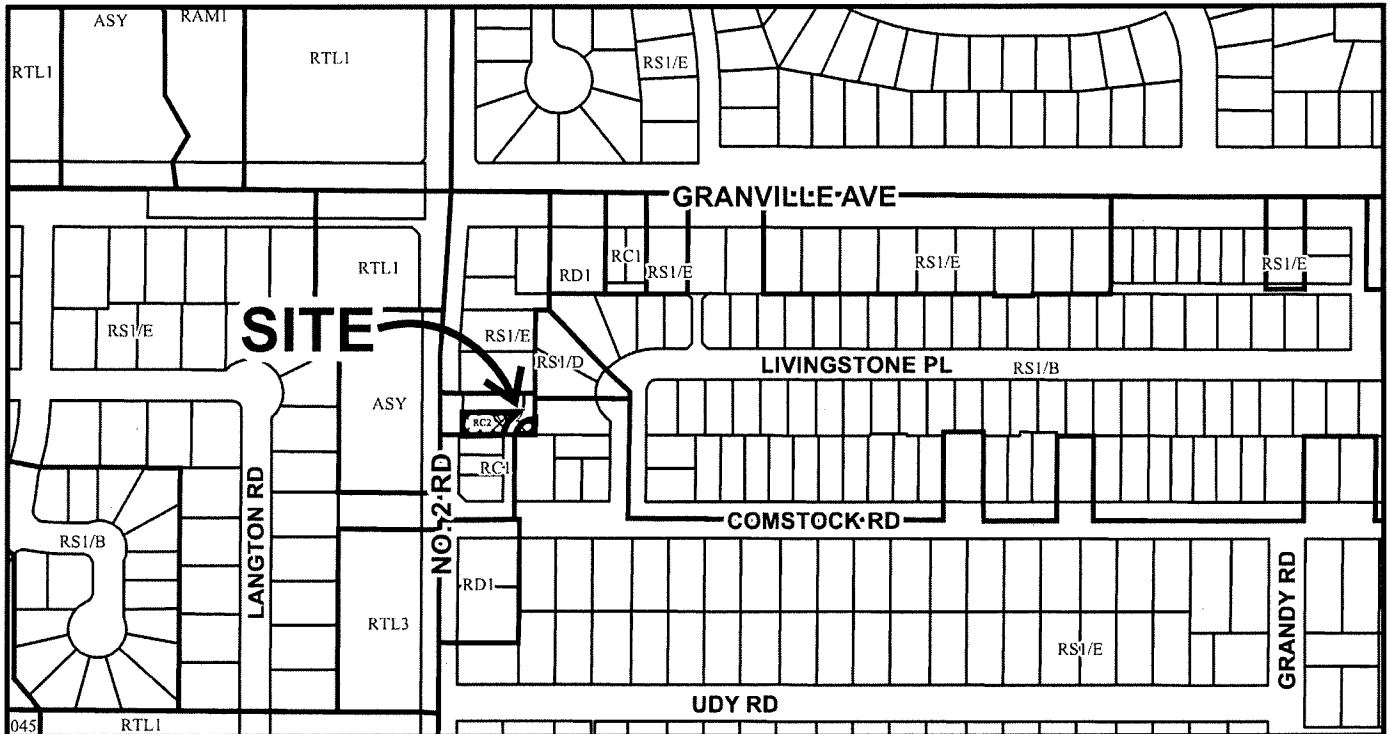
Revision Date:

Note: Dimensions are in METRES





# City of Richmond



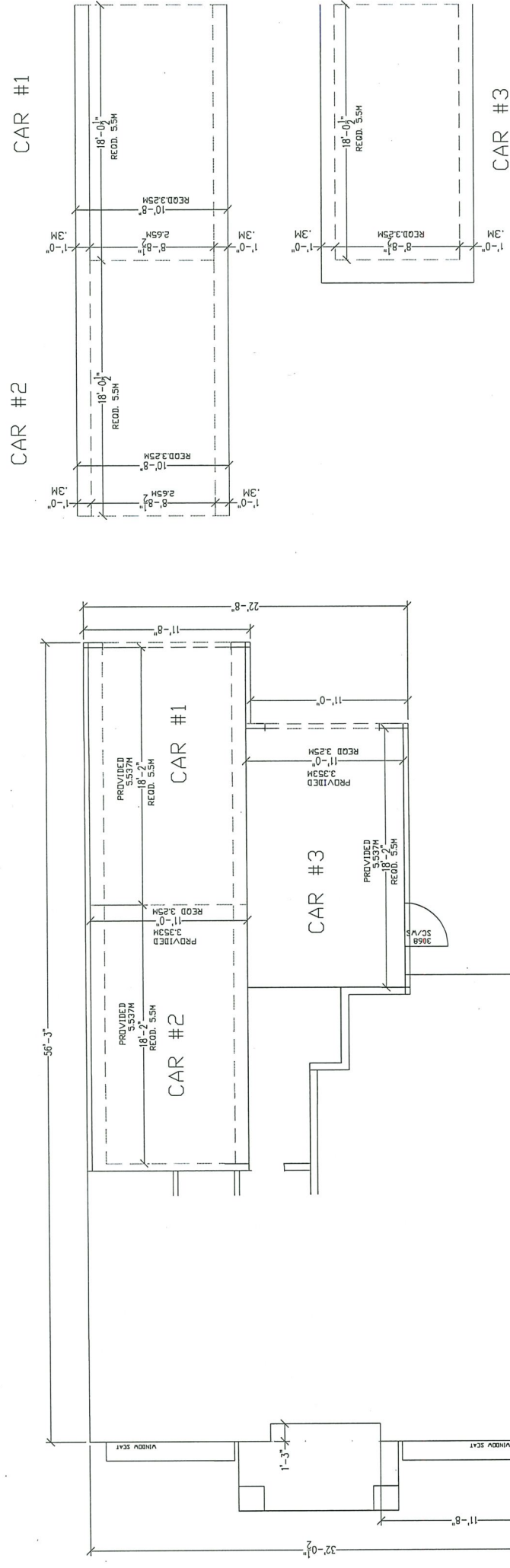
DV 17-792200

Original Date: 12/06/17

Revision Date:

Note: Dimensions are in METRES





PROPOSED GARAGE/  
PARKING PLAN CONFORMS TO  
CITY PARKING BYLAW

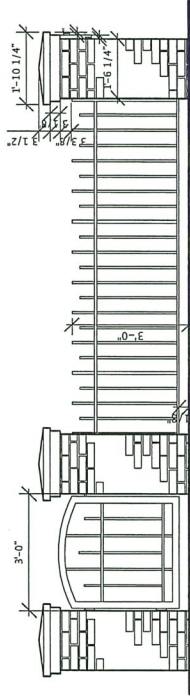
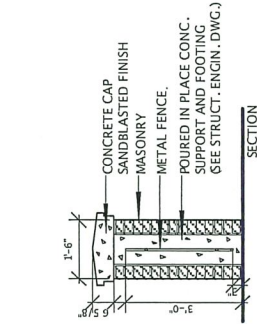
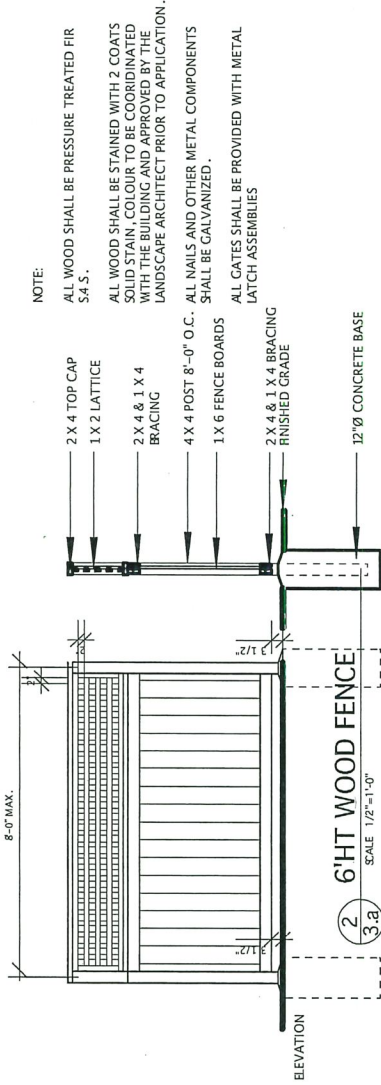
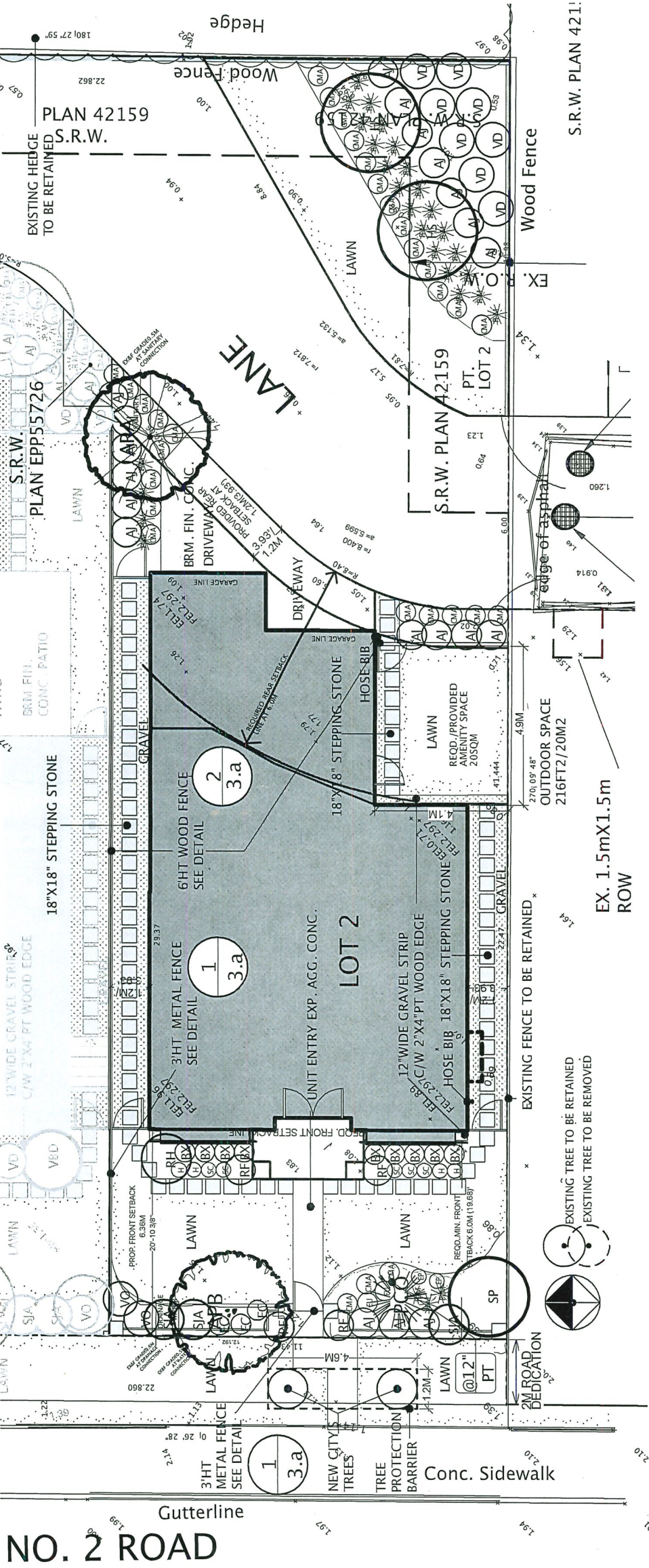
REQUIRED GARAGE SIZE"  
2.65M+.3+.3=3.25M WIDE & 5.5M DEEP  
PROPOSED 3.35M WIDE & 5.537M DEEP

<b>GV17-792200</b>  <b>GAURI VIRDI</b> T-604 261 7603 F-604 800 9214 E-MAIL: gauriv@viridicon.com	PROPOSED HOUSE ON #7100 N02 ROAD (LOT #2) RICHMOND BC	TITLE OF DRG. GARAGE LAYOUT/ W/SIZES CLEARANCES	*PLAN #2* SCALE 1/4"=1'-0" 6TH JUNE 2016 GAURI VIRDI ALL RIGHTS RESERVED THIS PLAN IS NOT TO BE COPIED IN PART OR FULL BY ANYBODY
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AV-17-79200

## PLAN # 2





1 3.a METAL FENCE/POST DETAIL  
SCALE 1/2"=1'-0"

NOTE:  
ALL WOOD SHALL BE PRESSURE TREATED FIR S4 S.  
ALL WOOD SHALL BE STAINED WITH 2 COATS SOLID STAIN, COLOUR TO BE COORDINATED WITH THE BUILDING AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO APPLICATION.  
ALL NAILS AND OTHER METAL COMPONENTS SHALL BE GALVANIZED.  
ALL GATES SHALL BE PROVIDED WITH METAL LATCH ASSEMBLIES

DESIGNED	MI	DATE	REVISIONS	DESCRIPTION	REV	INCORPORATED CITY'S COMMENT
DRAWN	TI	Nov 12, 2015	ISSUED FOR REZONING			
		Mar 22, 2016	INCORPORATED CITY'S COMMENT			
		Aug 9, 2016	INCORPORATED CITY'S COMMENT			
		Oct 19, 2016	INCORPORATED CITY'S COMMENT			
		Nov 22, 2017	ISSUED FOR REZONING			
		Mar 26, 2018	INCORPORATED CITY'S COMMENT			
		May 9, 2018	ISSUED FOR DP			
		Jun 5, 2018	INCORPORATED CITY'S COMMENT			

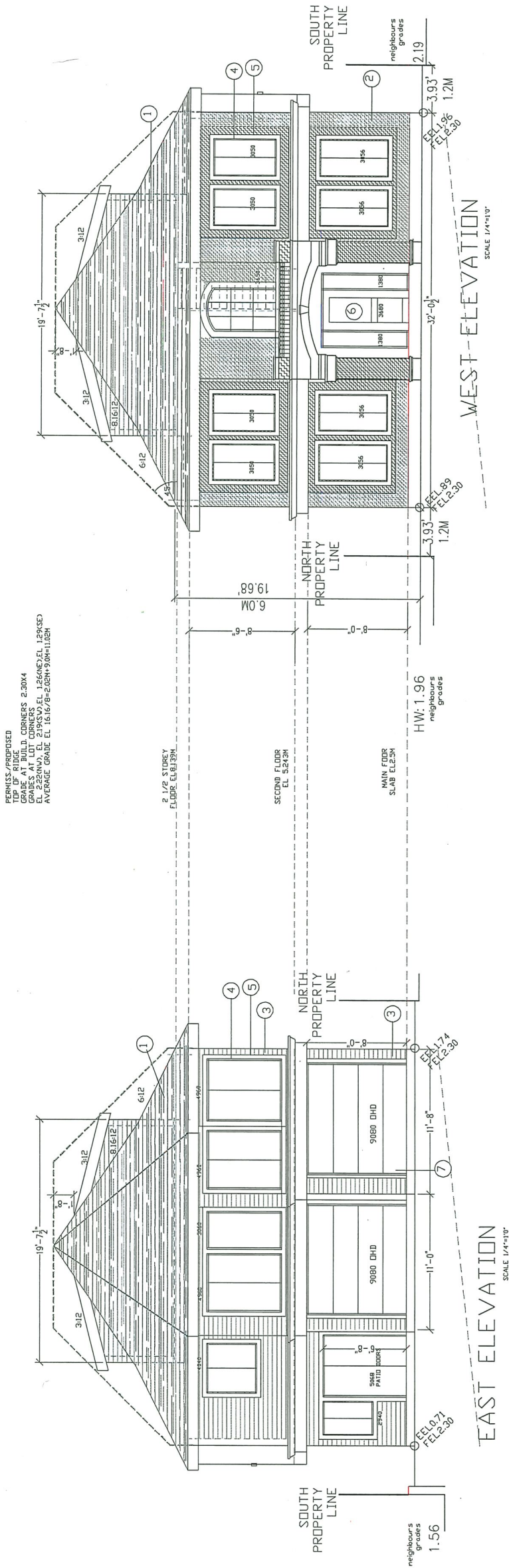
 <b>ITO</b> ASSOCIATES INCORPORATED 2100 - 15th Avenue S.E. Vancouver, B.C. V6M 1S6 Phone: 684-8222, Telex: 244444 ITO	PRODUCT	LOT 2	SCALE: 3/32"= 1'-0"
		7100 No.2 RD. RICHMOND B.C.	JOB NO: 15L05
		DV17-1792200	SHEET: <b>3.a</b>

PLAN #3	LANDSCAPE PLAN
ITO & ASSOCIATES	





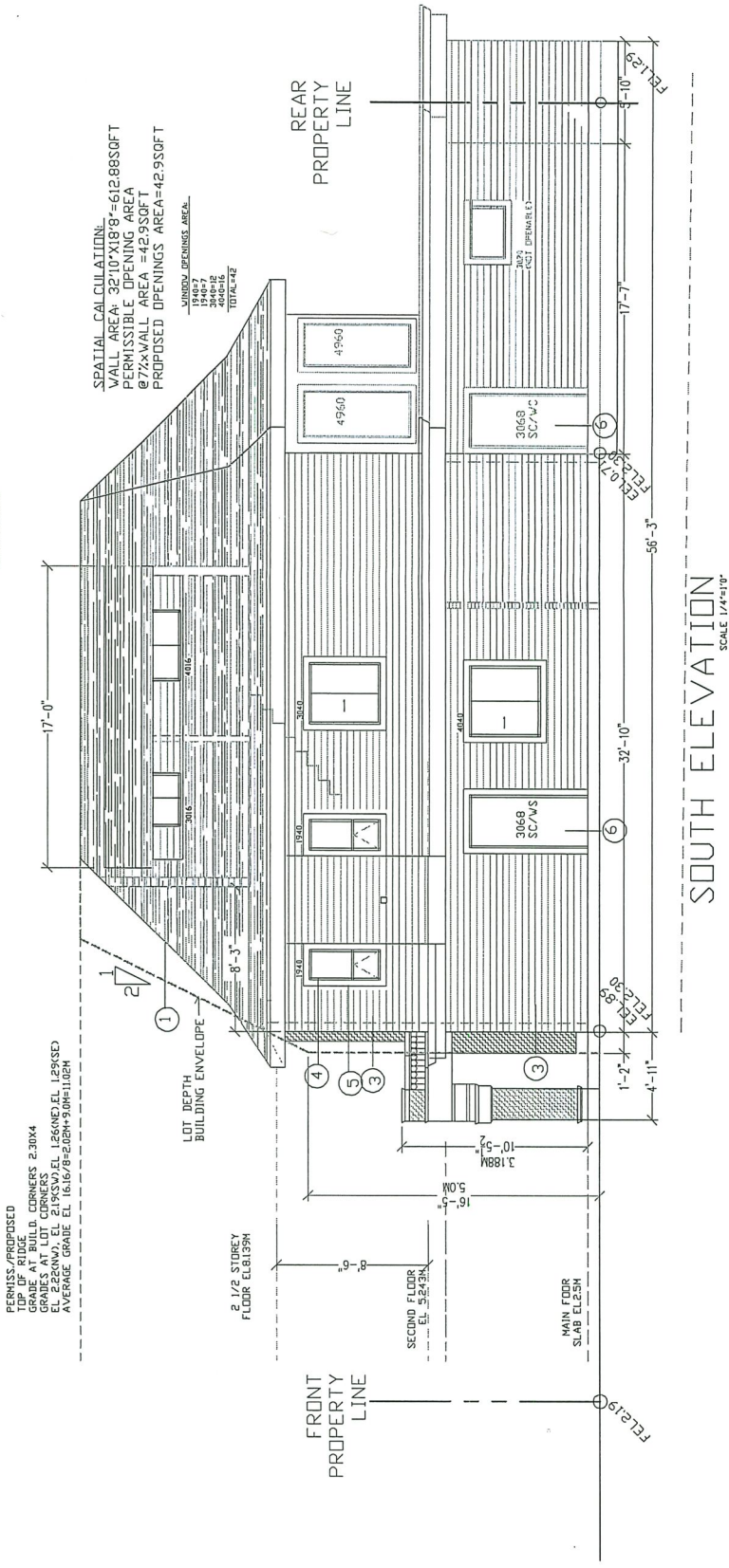
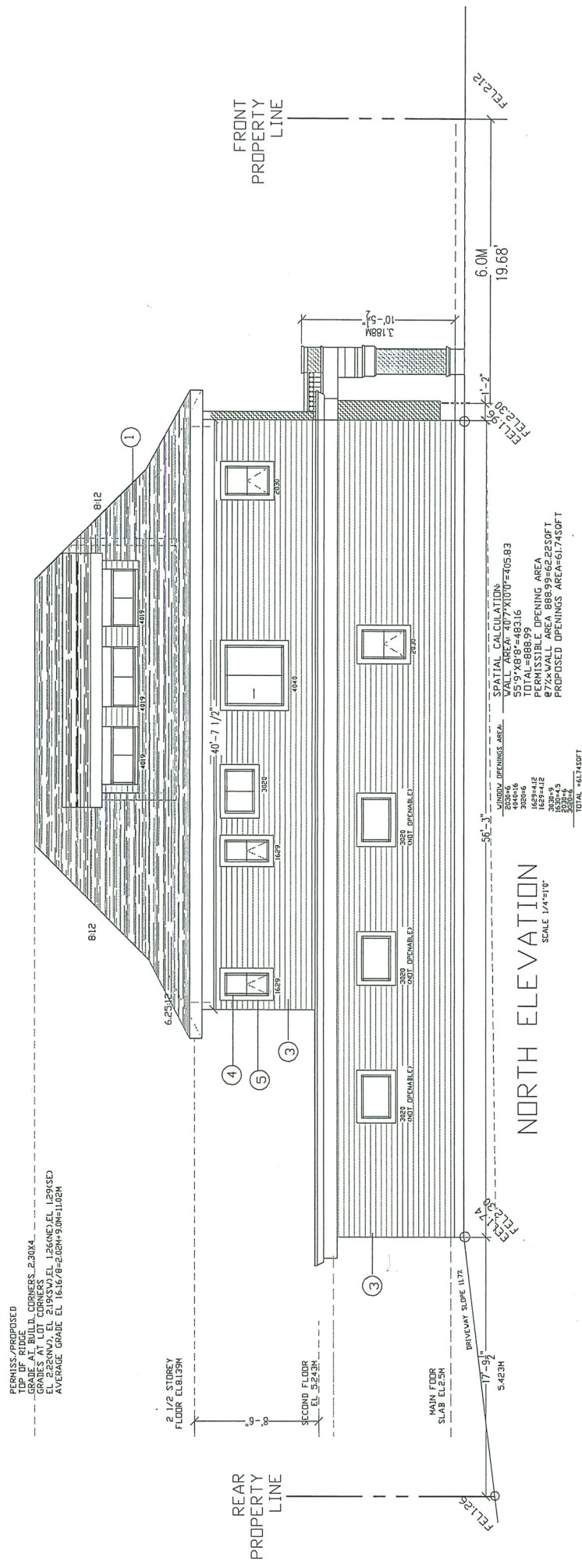




MATERIALS LEGEND:/COLOUR

- 1 ASPHALT SHINGLES -(BLACK)
- 2 CULTURED/LIMESTONE -(GREY)
- 3 SIDING HARDIE PLANK/-(GREY)  
BOARD 8" EXPOSURE
- 4 VYNIL WINDOWS  
FRONT -(BLACK),SIDES AND REAR -(WHITE)
- 5 1"x6" WOOD TRIMS PAINTED-(BLACK & GREY)
- 6 SOLID/FIBRE GLASS  
ALL EXTERIOR DOORS -(GREY)
- 7 GARAGE DOORS-(GREY)

DV17-792200	
GAURI VIRDI	
DESIGNER T-604 261 7603 F-604 800 9214 E-MAIL: gauri@virdi.com	
PROPOSED HOUSE ON #7100 RD2 ROAD (LOT #2) RICHMOND BC	
TITLE OF DRG. EAST&WEST ELEVATIONS	
*PLAN #4*	
SCALE: 1/4"=1'0"	
7TH JUNE 2008	
*COPY RIGHTED GAURI VIRDI ALL RIGHTS RESERVED NO PART OF THIS DRAWING IN PART OR FULL BY ANYBODY	



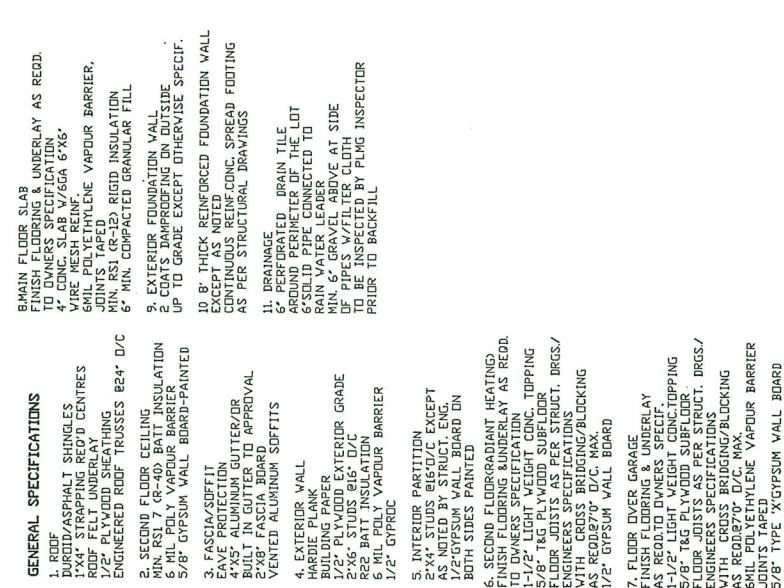
- ## MATERIALS LEGEND: / COLOUR

- 1 ASPHALT SHINGLES -(BLACK)
- 2 CULTURED/LIMESTONE -(GREY)
- 3 SIDING HARDIE PLANK /-(GREY)  
BOARD 8" EXPOSURE
- 4 VYNIL WINDOWS  
FRONT -(BLACK),SIDES AND REAR -(WHITE)
- 5 1"X6" WOOD TRIMS PAINTED-(BLACK & GREY)
- 6 SOLID/FIBRE GLASS  
ALL EXTERIOR DOORS -(GREY)
- 7 GARAGE DOORS-(GREY)

**DV17-792200**

GAURI VIRDI DESIGNER 1604 261 7603 F-604 800 9214 E-MAIL: gauri@gyrdicon	PROPOSED HOUSE ON #7100 N02 ROAD (LOT #2) RICHMOND BC	TITLE OF DRG. NORTH & SOUTH ELEVATIONS/ SPATIAL CALCULATIONS *PLAN #40* SCALE 1/4"=1'-0" 7TH JUNE 2018 ALL RIGHTS RESERVED THIS PLAN IS NOT TO BE COPIED IN PART OR FULL BY ANYBODY
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GAURI VIRDI DESIGNER T:604 261 7603 F:604 800 9214 E-MAIL: gauri@gyr-di.com	PROPOSED HOUSE ON #7100 N22 ROAD (LOT #2) RICHMOND BC	TITLE OF GRG. SECTION AAY/NOTES	"PLAN #5" SCALE 1/4"=10" 7TH JUNE 2018 "COPY RIGHT(C) GAURI VIRDI ALL RIGHTS RESERVED NO PART OF THIS DRAWING IN PART OR FULL BY ANYBODY"
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[illegible]

<b>DV17-792200</b>  <b>GAURI VIRDI</b> DESIGNER 76093 F604 800 9214 E-MAIL: <a href="mailto:gauri@virdi.com">gauri@virdi.com</a>	<b>PROPOSED HOUSE ON</b> <b>#7100 N02 ROAD</b> <b>(LOT #2)</b> <b>RICHMOND BC</b>	<b>TITLE OF DRG.</b> <b>PARKING PLAN/ GROUND FLOOR PLAN</b> <b>"REFERENCE PLAN"</b> <b>SCALE 1/4"=10'</b> <b>6TH JUNE 2018</b>	<b>*COPY RIGHTED GAURI VIRDI</b> <b>THIS PLAN IS NOT TO BE COPIED</b> <b>IN PART OR FULL BY ANYBODY</b>
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## REFERENCE PLAN



30.141

12.192

RECD. MIN. FRONT SETBACK 6.0M (19.68)

Handwritten notes:

- $R=8.400$
- $a=8.5599$

Room labels and dimensions:

- MASTER BEDROOM 12'-7" x 12'-0"
- ENSUITE 5'-0" x 8'-0"
- BEDROOM #2 9'-0" x 12'-0" 1/2"
- BATH 12'-0" x 5'-0"
- BEDROOM #1 9'-8" x 10'-2"
- FAMILY 13'-3" x 17'-2" 1/2"
- KITCHEN 10'-0" x 8'-10"
- DINING 9'-0" x 12'-2"
- LIVING 11'-8" x 11'-4" 1/2"
- PORCH 4'-11" x 1'-3"

Other labels:

- REAR SETBACK LINE AT 6.0M
- ROOF
- FREE CLEARANCE DIRECT VENT GAS FIREPLACE

22.474

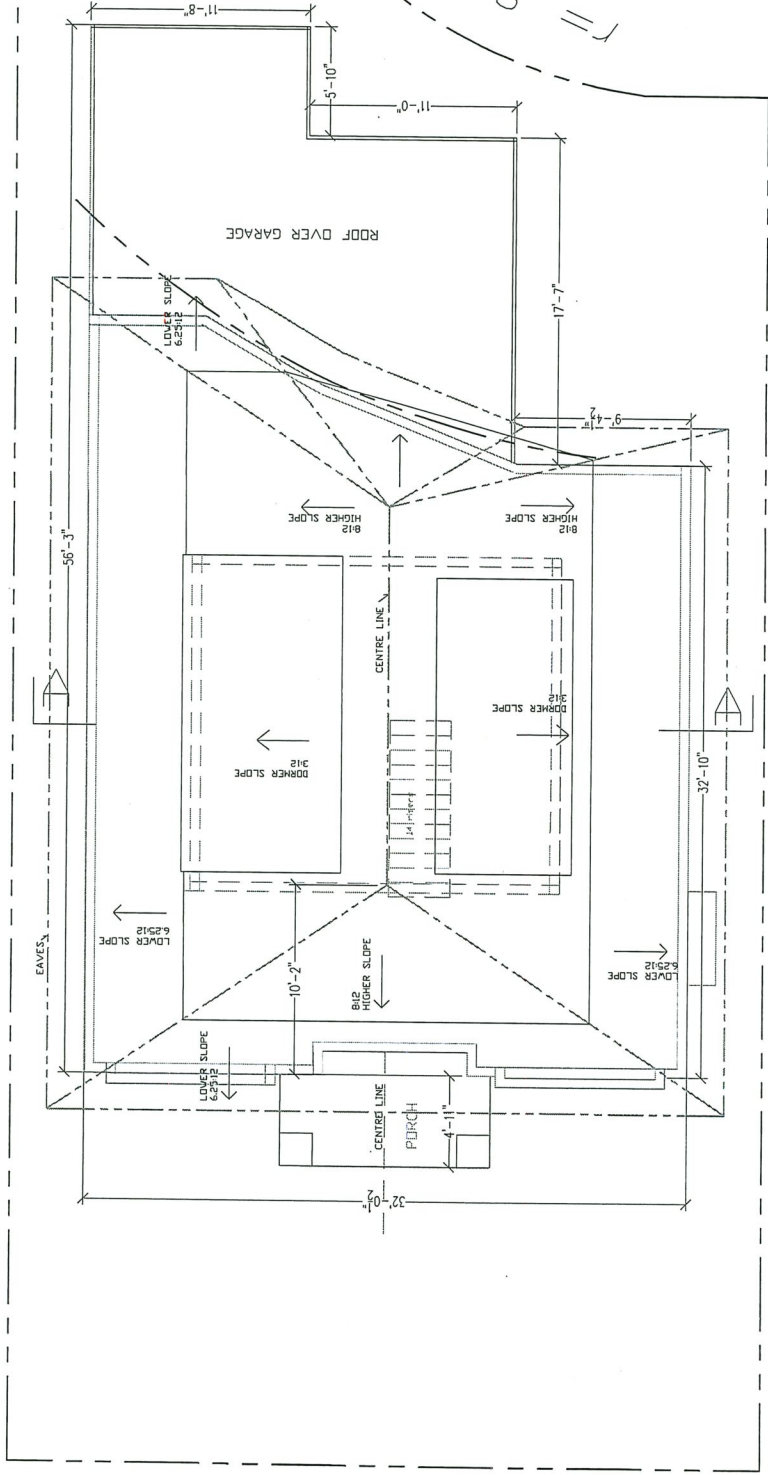
GAURI VIRDI DESIGNER 7604 261 7603 7604 800 9214 E-MAIL: gauri@virdi.com	PROPOSED HOUSE ON #7100 N02 ROAD (LOT #2) LOT#20 BC	TITLE OF DRG. SECOND FLOOR PLAN *REFERENCE PLAN 'A' SCALE 1/4" = 1'-0" JANUARY 2018	*COPY RIGHTS Gauri Virdi ALL RIGHTS RESERVED THIS PLAN IS NOT TO BE COPIED IN WHOLE OR IN PART, BY ANY MEANS
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## REFERENCE PLAN

PLAN FPP55726

30.141

12.192



22.474  
ROOF PLAN

DV17-792200	
GAURIVIRDI	
DESIGNER	
1604 800 7603	
F604 800 9214	
E-MAIL: gaurivirdi.com	
PROPOSED HOUSE ON	
#7100 N02 ROAD	
(LOT #2)	
RICHMOND BC	
TITLE OF DRG.	
ROOF PLAN	
REFERENCE PLAN	
SCALE: 1/4"=1'-0"	
6TH JUNE 2018	
NOT TO SCALE	
THIS PLAN IS NOT TO BE COPIED	
IN PART OR FULL BY ANYONE	

DV 17-792200

REFERENCE PLAN