



Development Permit Panel

Council Chambers

Wednesday, June 27, 2012
3:30 p.m.

1. Minutes

Motion to adopt the minutes of the meeting of the Development Permit Panel held on Wednesday, May 30, 2012.



2. **GENERAL COMPLIANCE - REQUEST BY GBL ARCHITECTS LTD. FOR A GENERAL COMPLIANCE RULING AT 9388 ODLIN ROAD (FORMERLY 9340, 9360 AND 9400 ODLIN ROAD)**
(File Ref. No.: DP 09-453125) (REDMS No. 3542964)

TO VIEW ePLANS CLICK HERE

APPLICANT: GBL Architects Ltd.

PROPERTY LOCATION: 9388 Odlin Road (formerly 9340, 9360 and 9400 Odlin Road)

Manager's Recommendations

That the attached plans involving changes to the building elevations be considered in General Compliance with Development Permit (DP 09-453125).



3. **Development Permit DP 11-595288**
(File Ref. No.: DP 11-595288) (REDMS No. 3536441)

TO VIEW ePLANS CLICK HERE

APPLICANT: Marquee Hotels, Richmond Inc.

PROPERTY LOCATION: 10688 No. 6 Road

INTENT OF PERMIT:

Permit the construction of a 42-room addition onto the existing 106-room Holiday Inn Express hotel at 10688 No. 6 Road on a site zoned Entertainment.

Manager's Recommendations

That a Development Permit be issued which would permit the construction of a 42-room addition onto the existing 106-room Holiday Inn Express hotel at 10688 No. 6 Road on a site zoned Entertainment.



4. **New Business**
5. **Date Of Next Meeting: Wednesday, July 11, 2012**
6. **Adjournment**



Development Permit Panel

Wednesday, May 30, 2012

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Dave Semple, General Manager, Parks and Recreation
John Irving, Director, Engineering

The meeting was called to order at 3:30 p.m.

1. Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on Wednesday, April 25, 2012, be adopted.

CARRIED

2. Development Permit 11-592266

(File Ref. No.: DP 11-592266) (REDMS No. 3488241)

APPLICANT: Kraftsmen Holdings Ltd.

PROPERTY LOCATION: 4151, 4171 and 4191 No. 4 Road

INTENT OF PERMIT:

1. Permit the construction of 25 three-storey townhouse units at 4151, 4171 and 4191 No. 4 Road on a site zoned Town Housing (ZT67); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.38 ha. (0.94 ac.); and
 - b) Reduce the minimum north side yard setback from 3.0 m to 1.6 m to allow a garbage and recycling enclosure attached to the proposed Building 7 to encroach into the side yard setback.

Applicant's Comments

Taizo Yamamoto, Yamamoto Architecture Inc., provided the following information regarding the 25 proposed townhouse units on No. 4 Road near Odlin Road:

- to the north of the subject site is the location of a new multiple-family development and to the south is another potential redevelopment site fronting No. 4 Road and Odlin Road;
- the proposed architectural form is taken from the architectural elements of the adjacent development, to the north, to create a strong streetscape along No. 4 Road;
- three of the proposed buildings will front No. 4 Road, and will feature steps up to the yard and steps up to the front entries, thus creating some animation and some vertical articulation of the units;
- the buildings located at the rear of the site are oriented east/west, with lots of light provided for the unit interiors;
- the applicant has communicated with Tomsett Elementary School, that is located to the west of the subject site, to allow a footpath connection from the subject site, through a locked gate, and to the school property, to allow residents to access the school and use the school field and play equipment;
- the outdoor amenity space is centrally located on the subject site, and because the proposed development was in mind when the site directly to the north was designed for development, cross-access is provided for a shared driveway between the two sites;
- the outdoor amenity space features play equipment including a “mushroom” type table with stools, and a climbing structure;
- permeable pavers will cover a large portion of the site to create textural interest and to distinctly indicate the site’s entry;
- the garbage and recycling enclosure is located at the entrance of the subject site;
- one detached convertible unit is included in the design, with all units having aging-in-place features;
- energy efficient appliances, and low-flow fixtures, are provided in all units;
- central air conditioning is incorporated, due to aircraft noise, and residents will have cooling and heating without having to open windows;
- individual units will have a strong front-to-back gable form accentuated by hip roofs, so that each unit has a “pop up” feature, that will help create smaller scale; and
- the proposed colour palette includes greys, with “punch out” colour applied to entry doors.

Panel Discussion

As a result of discussion that ensued among the Panel, staff, Mr. Yamamoto and Marlene Messer, Landscape Architect, PMG Landscape Architects Inc., the following advice was provided:

- one of the retained trees is located on the adjacent property, 4211 No. 4 Road, to the south, and the other protected tree is located on the adjacent property, 9671 Odlin Road, to the west of the subject site;
- the applicant will ask the school district for permission to install stone pavers to connect to the existing walkway to the school;
- the single shared access is sufficient, and was part of the overall plan, when the site to the north of the subject site was under discussion;
- the development to the north has 26 townhouse units, and the proposed development under discussion has 25 townhouse units, and staff encouraged the two applicants to work together with regard to the single access;
- access to the subject site is completely on the site to the north; the existing access includes a “bulge” in order to accommodate the recycling enclosure for the neighbouring site;
- the survey conducted by the arborist indicated the sidewalk elevation, and the proposed change in grade precluded the likely survival of the on-site trees;
- the architectural characteristics are similar to those of the townhouse units on the site north of the subject site, but reverse gables, stripped of decorative brackets, is one way to distinguish the two sites; and
- the school playground is approximately 60 metres, or half a block, to the northwest of the subject site.

Staff Comments

Brian J. Jackson, Director of Development, advised that staff supports the application and the requested variances.

With regard to the 52 bylaw-sized trees on-site, Mr. Jackson noted that according to the project arborist only three were in good condition, and with the change in grade, they were unlikely to survive. As part of their tree-planting plan, the applicant proposes to plant 46 replacement trees on-site, and this number includes four large new trees in recognition of the larger trees that were among those removed. Mr. Jackson added that staff and the applicant have worked together to address the perception that trees are only being removed, not replaced.

In response to a query from the Chair, Mr. Jackson advised that with regard to concerns raised at the September, 2011, Public Hearing regarding disruption in the neighbourhood from construction trucks not adhering to appropriate construction hours, a Construction Parking and Traffic Management Plan was submitted by the applicant, and approved by the Transportation Department.

Gallery Comments

Shing Tak Mak, Unit 25-4099 No. 4 Road, accompanied by Alvin Cheung, Unit 11-4099 No. 4 Road, and Mr. Kwong, Unit 21-4099 No. 4 Road, addressed the Panel and expressed the following concerns:

- (i) the inadequate nature of the driveway that is to be shared by the proposed townhouse units at 4151, 4171 and 4191 No. 4 Road and the townhouse units at 4099 No. 4 Road;
- (ii) if the request to vary the minimum lot size at the subject site was granted, from 0.5 hectares to 0.38 hectares, it would increase the density on the subject site, a density over and above that at 4099 No. 4 Road; and
- (iii) if the request to reduce the minimum north side yard setback to allow a garbage and recycling enclosure attached to the proposed Building 7 was granted, it would bring the proposed garbage collection space too close to residents living at 4099 No. 4 Road, who would be adversely impacted by garbage smells.

Mr. Cheung explained that townhouse residents at 4099 No. 4 Road do not accumulate garbage at one location on their site, but have arranged for individual garbage collection, thereby avoiding the issue of garbage smells at 4099 No. 4 Road.

Mr. Jackson addressed the delegates' concerns and explained that Council can, through the rezoning process, address density, but the Development Permit Panel does not have the ability to change density.

He noted that: (i) the difference in density between the two sites is very small; (ii) the difference in density was due to the different lot sizes, and the proposed site may appear more dense due to the provision of the driveway on the site to the north; and (iii) both the subject site and the site immediately to the north of the subject site are zoned the same, with similar variances.

The Chair explained that, in terms of density, the difference in density was so small as to be unnoticeable. He added that the developer of the site where the delegates live sought, and received, almost the same lot size variance the applicant is seeking. He added that 0.5 hectares is the minimum lot size, that the applicant is requesting a variance to permit 0.38 hectares for the subject site, that 0.42 hectares was the variance granted at 4099 No. 4 Road, and that the floor area ratio is the same.

In response to a request from Mr. Kwong, the Chair advised that the Panel is not mandated to address the issue of density.

Mr. Jackson then commented on the garbage and recycling enclosure, and noted that it has a roof and doors. Its design is the same as the recycling enclosure that forms part of the development directly north of the subject site. He added that residents of the proposed development would bring their garbage to the enclosure.

The Chair thanked the delegates and remarked that the Panel would take their comments into consideration, would deliberate, and would make a decision regarding the application.

Correspondence

Residents of 4099 No. 4 Road, in Townhouse Units: 1, 2, 3, 6, 7, 8, 9, 10, 11, 12, 13, 14, 17, 20, 21, 22, 23, 25 and 26 (Schedule 1)

Panel Discussion

Mr. Jackson stated that the applicant's request to reduce the minimum north side yard setback, from 3 metres to 1.6 metres, would allow the garbage and recycling enclosure to encroach into the side yard setback, and that the width between the two buildings is approximately 10 metres.

In response to queries regarding garbage collection, Mr. Yamamoto advised that: (i) the applicant is willing to consider a door-to-door pick up, instead of residents taking their garbage to one location for pick up; (ii) the proposed location of the garbage and recycling enclosure was chosen because trucks would not be driving near the play area, or deep into the proposed development, on their way to pick up garbage and recycling material; and (iii) there is an opportunity for the shape of the proposed enclosure to be massaged so that it projects less into the north side yard setback.

The Chair remarked that the proposed development is laid out well, and that the concerns of density, are beyond the scope of the Panel. He noted that the proposed garage and recycling enclosure arrangement is a common one throughout the City, and that this common arrangement is not problematic at other locations.

The Panel expressed support for the proposed development.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *Permit the construction of 25 three-storey townhouse units at 4151, 4171 and 4191 No. 4 Road on a site zoned Town Housing (ZT67); and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - a) *Reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.38 ha. (0.94 ac.); and*
 - b) *Reduce the minimum north side yard setback from 3.0 m to 1.6 m to allow a garbage and recycling enclosure attached to the proposed Building 7 to encroach into the side yard setback.*

CARRIED

3. Development Permit DP 12-602996 / HA 12-602998

(File Ref. No.: DP 12-602996 / HA 12-602998) (REDMS No. 3512815)

APPLICANT: City of Richmond

PROPERTY LOCATION: 3811 Moncton Street

INTENT OF PERMIT:

1. Permit the rehabilitation of the exterior of the Japanese Fishermen's Benevolent Society Building, a designated Heritage Building, in order to re-use the building as a wing of the Steveston Museum at 3811 Moncton Street on a site zoned Steveston Commercial (CS2); and
2. Issue a Heritage Alteration Permit for 3811 Moncton Street in accordance with Development Permit (DP 12-602996).

Applicant's Comments

James Burton, Architect, Birmingham and Wood Architects, provided the following information with regard to the rehabilitation of the exterior of the Japanese Fishermen's Benevolent Society Building, which is designated as a Heritage Building, in order to re-use the building as a wing of the Steveston Museum, located at 3811 Moncton Street at 1st Avenue in the Village of Steveston:

- the Japanese Fishermen's Benevolent Society Building will undergo minimal changes;
- the planned interventions will rehabilitate the building's exterior according to best practices for heritage conservation;
- where material has to be replaced, it will be done so carefully;
- one of the three main rehabilitation works for the building's exterior is restoration of the original form of the front porch, using archival photos to inform details of the wood porch;
- the second of the three main rehabilitation works for the building's exterior is the additional of a partially enclosed glazed connection between the Japanese Fishermen's Benevolent Society Building and the Steveston Museum, the two buildings that share one site; and
- the third of the main rehabilitation works for the building's exterior is: (i) a new door into the building in an existing door opening that will be used for an exterior door onto a patio; and (ii) a second new door that is within the glass enclosure that forms a new doorway for the connection of the two buildings.

Discussion ensued and the following additional information was provided by Mr. Burton:

- restoration of the roof involves cedar shingles, and this material matches that of the roof of the Steveston Museum; cedar shingles were applied to the original roofs of the two Heritage Buildings;

- the intention of the glazed connection is to not confuse the public as to what is new and what is old; and
- there are two buildings on the site and circumstances have placed them close to each other so they must function together, and the glass connection both recognizes the distinction and yet connects the museum function.

In response to a query Mr. Burton advised that the proposed restoration was presented to the Richmond Heritage Commission and to the Steveston Historical Society and the plan met with support from both entities.

Staff Comments

Mr. Jackson advised that staff supports the application and noted that the Architect has planned the restoration so that: (i) it respects the heritage aspect of the building; and (ii) a minimalist approach has been applied to this project.

Panel Discussion

In response to queries, Mr. Burton stated that:

- the new glazed connection is constructed using a painted steel frame with tempered glass; this creates a skin so that the rain is kept out, and yet the glass does not touch either of the existing Heritage Buildings;
- in trying to affect the existing Heritage Buildings as little as possible, the roofline cuts across a window frame, a necessary design to avoid snow loading on a lower roof of the Steveston Museum; and
- a roof that is higher than the windows on the Japanese Fishermen's Benevolent Society Building would adversely affect the rear roof of the Steveston Museum.

Gallery Comments

Peter Mitchell, 6271 Nanika Crescent, spoke in his capacity as Vice-President of the Army, Navy and Air Force (ANAF) housing project on No. 1 Road in the Village of Steveston, and stated that the Japanese Fishermen's Benevolent Society Building was originally sited on the ANAF property before it was moved to the Steveston Museum site. He advised that the ANAF is happy to see that the restoration work was commencing on the relocated Heritage Building.

Speaking as a resident of the City, Mr. Mitchell posed questions to the Architect regarding trees and green space, access to the site, and internal doors. In response, Mr. Burton provided the following advice:

- regarding trees and green space, there is no change to the landscaping, except the addition of a gravel pathway into the green space between the building and the property to the north, creating a more inviting access to the park from 1st Avenue; and no trees are being removed from the site; and

- interior works will be specified at a later date, but the intention is to leave inside doorways intact.

Correspondence

None.

Panel Discussion

The Panel supported the application, while one Panel member expressed reservations regarding the glass and steel structure. There was general agreement that it was good to see effort put into the enhancement of the City's Heritage Buildings.

Panel Decision

It was moved and seconded

1. *That a Development Permit be issued which would permit the rehabilitation of the exterior of the Japanese Fishermen's Benevolent Society Building, a designated Heritage Building, in order to re-use the building as a wing of the Steveston Museum at 3811 Moncton Street on a site zoned Steveston Commercial (CS2); and*
2. *That a Heritage Alteration Permit be issued for 3811 Moncton Street in accordance with Development Permit (DP 12-602996).*

CARRIED

4. Development Variance Permit 12-603451

(File Ref. No.: DV 12-603451) (REDMS No. 3513761)

APPLICANT: British Columbia Marine Employers Association

PROPERTY LOCATION: 11000 Twigg Place (formerly part of 11060 and 11200 Twigg Place)

INTENT OF PERMIT:

To vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum height for accessory structures from 20.0 meters to 50.0 meters, at 11000 Twigg Place (formerly part of 11060 and 11200 Twigg Place) on a site zoned "Industrial (I)".

Applicant's Comments

Brian Dagneault, Daniel Dagneault Planning Consultants, Richmond, advised that, regarding the development of a container handling training facility proposed at 11000 Twigg Place Phase 4 of the Mitchell West Industrial Park. He noted that properties to the east, north and south are developed, and the property to the west of the subject site is a vacant lot.

Mr. Dragneault stated that the request to vary the maximum height for accessory structures, if granted, would allow two steel cranes to be located at the western side of the subject site.

John Beckett, Vice-President of Training, Safety and Recruitment, for B.C. Maritime Employers Association (BCMEA) provided the following background information: (i) BCMEA trains workers to safely move goods and containers off and on freighters and ships; (ii) BCMEA is consolidating its training on one site, the Mitchell Island site, to achieve efficiencies; (iii) BCMEA's key role is to ensure a well trained workforce and the Twigg Place location will help them make that happen; (iv) training requires a safe and controlled environment; (v) BCMEA will purchase a Pedestal Crane for installation on the Twigg Place site, with a working height is 43 metres; (vi) the Mitchell Island site is an appropriate location for a training facility due to its central geographic location and its flat and undeveloped nature; and (vii) the requested height variance is for the 43 metre Pedestal Crane and a second crane that has a reach of 50 metres.

Panel Discussion

Discussion ensued between the Panel and the delegates, and especially on the proposed landscaping scheme. In response to a query regarding landscaping treatment on the south side of the subject site, the side that faces a proposed residential development across the Fraser River, the delegates advised that some practical aspects, such as riparian rights and log and barge storage, would create impediments to the idea. Mr. Beckett noted that no training activity would take place on the river. He added that there would be a hard surface on the ground, right up to the river's edge.

Discussion continued and in particular on whether, as part of the original English Bay subdivision, there was any right-of-way for a Mitchell Island dike. Staff advised that no dike right of way exists on Mitchell Island.

Staff Comments

Mr. Jackson advised that staff supports the requested development variance and that the proposed use of the subject site, training of shoreline operators for the major ports in B.C., would have a minimal impact on the existing landscape elements. He noted that staff did not feel it was appropriate to contribute to the dike, that the applicant's use is an interim one, and that the applicant was not asked to contribute to the dike.

Discussion ensued between the Panel and Mr. Jackson, and in response to a concern that the subject site might, in the future, be diked, Mr. Jackson advised that the way the two proposed cranes are configured would not prevent the City from locating a dike there, and that despite the proposed training activities on the subject site, there would still be access to the site from the foreshore.

At the request of the Panel, Mr. Jackson stated that before the application went before Council, staff and the applicant would discuss the idea of a landscaping scheme along the south side of the subject site.

Gallery Comments

None.

Correspondence

None.

Panel Discussion

The Panel agreed that the proposed use of the site was a good one for Mitchell Island. The Chair reiterated that staff and the applicant would look at what, if anything, by way of landscaping, could be done along the south side of the subject site.

Panel Decision

It was moved and seconded

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum height for accessory structures from 20.0 meters to 50.0 meters, at 11000 Twigg Place (formerly part of 11060 and 11200 Twigg Place) on a site zoned "Industrial (I)".

CARRIED

5. Development Permit 12-603496

(File Ref. No.: DP 12-603496) (REDMS No. 3522935)

APPLICANT: Fusion Project Management Ltd.

PROPERTY LOCATION: 8900 No. 1 Road

INTENT OF PERMIT:

To permit store front improvements to the existing commercial building at 8900 No. 1 Road on a site zoned "Neighbourhood Commercial (CN)".

Applicant's Comments

Larry McPherson, Fusion Project Management Ltd., Vancouver, provided the following information regarding the proposed modification of the facade of the existing commercial building at 8900 No. 1 Road, near Francis Road, to enable the applicant to undertake a leasehold improvement at the subject site, in order to operate a financial service outlet:

- the existing commercial building contains two store spaces;
- some existing windows will be replaced;
- the canopy will be removed;
- a projected parapet will be added and the parapet colour scheme is grey, with orange and blue corporate colours of the tenant included; and

- the existing landscaping will be expanded with the addition of flowers and shrubs.

Staff Comments

Mr. Jackson advised that staff supports the application and the various cosmetic improvements. The proposed landscape scheme will be updated but will not impede sightlines for area drivers and pedestrians.

In response to a query, Mr. Jackson advised that over \$50,000 would be spent on renovations to the exterior of the commercial building.

Gallery Comments

None.

Correspondence

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit store front improvements to the existing commercial building at 8900 No. 1 Road on a site zoned "Neighbourhood Commercial (CN)".

CARRIED

6. New Business

It was moved and seconded

That the Development Permit Panel meeting tentatively scheduled for Wednesday, June 13, 2012 be cancelled, and that the next meeting of the Development Permit Panel be tentatively scheduled to take place in the Council Chambers, Richmond City Hall, at 3:30 p.m. on Wednesday, June 27, 2012.

CARRIED

7. Date Of Next Meeting: Wednesday, June 27, 2012

8. Adjournment

It was moved and seconded

That the meeting be adjourned at 4:45 p.m.

CARRIED

Development Permit Panel
Wednesday, May 30, 2012

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 30, 2012.

Joe Erceg
Chair

Sheila Johnston
Committee Clerk



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.
Property Location: 4151, 4171, and 4191 No. 4 Road

**Schedule 1 to the Minutes of
the Development Permit
Panel meeting of Wednesday,
May 30, 2012.**

Intent of Permit:

To permit the construction of 25 three-storey townhouse units on a site zoned Town Housing (ZT67);
and

To vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.38 ha. (0.94 ac.); and
- b) Reduce the minimum north side yard setback from 3.0 m to 1.6 m to allow a garbage and recycling enclosure attached to the proposed Building 7 to encroach into the side yard setback.

The Richmond Development Permit Panel will meet to consider oral and written submissions on the proposed development noted above, on:

Date: May 30, 2012
Time: 3:30 p.m.
Place: Council Chambers, Richmond City Hall

If you are unable to attend the Development Permit Panel meeting, you may mail or otherwise deliver to the **Director, City Clerk's Office**, at the above address, a written submission, which will be entered into the meeting record if it is received prior to or at the meeting on the above date.

I (We) do not agree the above provisions of Richmond Zoning Bylaw 8500 to reduce minimum requirements of lot size and north side setback.

Howard

Owner of unit 1 4099 No. 4 Road Richmond B.C. V6X 2M2

(Howard CHENG)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

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I (We) do not agree the above provisions of Richmond Zoning Bylaw 8500 to reduce minimum requirements of lot size and north side setback.

Owner of unit 2 4099 No. 4 Road Richmond B.C. V6X 2M2

(SUZANNE LALANI)



City of
Richmond

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For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

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Owner of unit #3 4099 No. 4 Road Richmond B.C. V6X 2M2

(CALVIN CHENG)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 804-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

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Owner of unit 6 4099 No. 4 Road Richmond B.C. V6X 2M2

(WING LAM)



City of Richmond

Notice of Application For a Development Permit DP 11-592266

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Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

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I (We) do not agree the above provisions of Richmond Zoning Bylaw 8500 to reduce minimum requirements of lot size and north side setback.



Owner of unit 7 4099 No. 4 Road Richmond B.C. V6X 2M2

AT
RESIDENT



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

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To vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.38 ha. (0.94 ac.); and
- b) Reduce the minimum north side yard setback from 3.0 m to 1.6 m to allow a garbage and recycling enclosure attached to the proposed Building 7 to encroach into the side yard setback.

The Richmond Development Permit Panel will meet to consider oral and written submissions on the proposed development noted above, on:

Date: May 30, 2012
Time: 3:30 p.m.
Place: Council Chambers, Richmond City Hall

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I (We) do not agree the above provisions of Richmond Zoning Bylaw 8500 to reduce minimum requirements of lot size and north side setback.

Owner of unit 8 4099 No. 4 Road Richmond B.C. V6X 2M2

(LAI YING NG)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

To permit the construction of 25 three-storey townhouse units on a site zoned Town Housing (ZT67); and

To vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the minimum lot size from 0.5 ha. (1.24 ac.) to 0.38 ha. (0.94 ac.); and
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Owner of unit 9 4099 No. 4 Road Richmond B.C. V6X 2M2

(SUSANNA M6)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

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Owner of unit 10 4099 No. 4 Road Richmond B.C. V6X 2M2

(SZUCH, LEE)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

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Owner of unit 11 4099 No. 4 Road Richmond B.C. V6X 2M2

(ALVIN CHUNG)



City of
Richmond

**Notice of Application
For a Development Permit
DP 11-592266**

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

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Owner of unit 12 4099 No. 4 Road Richmond B.C. V6X 2M2

(Thomas Tsang)



City of
Richmond

**Notice of Application
For a Development Permit
DP 11-592266**

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

To permit the construction of 25 three-storey townhouse units on a site zoned Town Housing (ZT67); and

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Owner of unit 13 4099 No. 4 Road Richmond B.C. V6X 2M2

(Peterson sin Hwy)



City of
Richmond

**Notice of Application
For a Development Permit
DP 11-592266**

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

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Owner of unit 14 4099 No. 4 Road Richmond B.C. V6X 2M2

(Aaron Yau-Lam Ko)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-1007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

To permit the construction of 25 three-storey townhouse units on a site zoned Town Housing (ZT67); and

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Owner of unit 17 4099 No. 4 Road Richmond B.C. V6X 2M2

(Lincoln CH Chang)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

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Owner of unit 20 4099 No. 4 Road Richmond B.C. V6X 2M2

(Li Kun Xue)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

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Owner of unit 21 4099 No. 4 Road Richmond B.C. V6X 2M2

(CHI KWAN & TAI KIT LAM)



City of
Richmond

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DP 11-592266**

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Phone 604-276-4007 Fax 604-278-5139

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Property Location: 4151, 4171, and 4191 No. 4 Road

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Owner of unit 22 4099 No. 4 Road Richmond B.C. V6X 2M2

(ELLEN LAP KUEN)



City of
Richmond

Notice of Application
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DP 11-592266

6911 No. 3 Road, Richmond, BC V6Y 2C1
Phone 604-276-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

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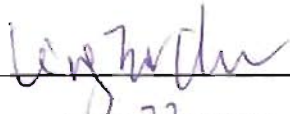
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Owner of unit 22 4099 No. 4 Road Richmond B.C. V6X 2M2

(Chung Yeh)



City of
Richmond

Notice of Application
For a Development Permit
DP 11-592266

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Applicant: Kraftsmen Holdings Ltd.

Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

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Owner of unit 25 4099 No. 4 Road Richmond B.C. V6X 2M2

(SHING TAK MAK)



City of
Richmond

**Notice of Application
For a Development Permit
DP 11-592266**

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Phone 604-278-4007 Fax 604-278-5139

Applicant: Kraftsmen Holdings Ltd.
Property Location: 4151, 4171, and 4191 No. 4 Road

Intent of Permit:

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and

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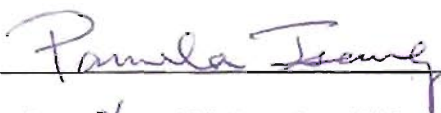
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Owner of unit 26 4099 No. 4 Road Richmond B.C. V6X 2M2

(C PAMELA TSANG)



City of
Richmond

Report to Development Permit Panel
Planning and Development Department

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Director of Development
Date: May 28, 2012
File: DP 09-453125
Re: Application by GBL Architects Ltd. for a General Compliance at 9388 Odlin Road (former 9340, 9360 and 9400 Odlin Road)

Staff Recommendation

That the attached plans involving changes to the building elevations be considered in General Compliance with Development Permit (DP 09-453125).

A handwritten signature in blue ink that reads "Brian Jackson".

Brian J. Jackson, MCIP
Director of Development

FM:blg
Att.

Staff Report

Origin

GBL Architects Ltd. has requested a General Compliance regarding the proposed development at 9388 Odlin Road (former 9340, 9360 and 9400 Odlin Road) on a site zoned Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie), which was given favourable consideration by the Development Permit Panel at its meeting held on April 13, 2011 and approved by Council on April 26, 2011. Since approval of the original Development Permit (DP 09-453125), some changes to roof line and building elevations are being considered for the purpose of simplifying facades and moving towards a more sophisticated and contemporary architectural expression of the four-storey residential buildings. Overall site plan layout, typical floor plans and parking provisions have not changed from the approved Development Permit drawings. The applicant is requesting a General Compliance on the proposed changes to building elevations and materials, only.

A copy of the approved elevation plans (**Attachment 1**) and the proposed new elevations plans (dated May 28, 2012) that include the changes to the elevations being sought (**Attachment 2**), are attached to this report.

Findings of Fact

The main changes to the approved Development Permit include:

- Changing the original roof from a shallow slope hip roof form to a flat roof.
- Breaking the continuous line of the fascia and soffit with slightly higher portions of the building, capped with a flat roof and visor extensions.
- Changing the extent and distribution of brick use on building facades (limited to the lower two floors and at a constant height) in the approved Development Permit.
- Introducing strong cornices and reinforcing horizontal lines on building facades.
- Achieving cleaner lines and expressing windows vertically.
- Introducing smooth finish Hardie panels and Easy Trim reglet system as a soft contrast background to the richer texture of the brick, which is proposed to be more dominant in the building elevations.

Analysis

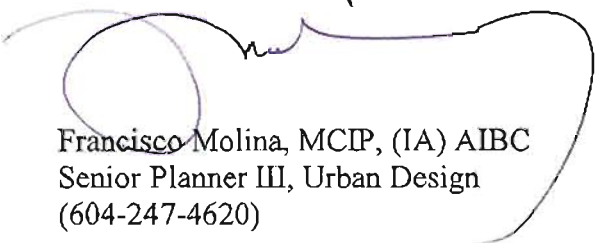
In general, the proposed changes to the building elevations respond well to the general architectural objectives identified through the original Development Permit design review process.

- Changes to the roof lines and strategic use of brick, in contrast with the proposed Hardie panel and Easy Trim reglet system, simplify and achieve a good articulation of façades that add to a playful expression of the building(s).
- The proposed reglet system that contains, and more accurately defines the proposed Hardie panel edges, allows for crisper lines that help reinforce the desirable vertical expression of the windows.
- Changes to the original hip roof form and lines are not noticeable at street level, as both the original low slope hip roof and the revised flat roof being proposed present a flat soffit to views from the street.

- The changes in height of the flat roof design being proposed reinforce the building mass articulation and accentuate its horizontal lines. The addition of stronger cornices that cap the height of the brick accents also contributes to achieving this objective.
- More extensive use of brick accentuate the mass of the corners of the building(s) at both ends of Alexandra Way pedestrian corridor, anchoring and visually identifying the entrances to this public pedestrian corridor at Odlin Road and Tomicki Avenue. This same treatment is also being introduced at the end corner of the buildings that frame the entry area to the interior courtyard from Alexandra Way.
- More extensive use of brick and vertical articulation of flat roof is also used to identify the building(s) front entry and provide interest to the street fronting building facades.

Conclusions

Overall, the proposed changes meet the original massing and architectural form as outlined in the Design Guidelines of the Neighbourhood Plan and retain the general architectural character of the approved Development Permit. The changes being introduced complement, relate well, and respect the character of the immediate built context while adding interest and a playful expression to the building facades. Staff recommends support of this General Compliance request for the purpose of formalizing the proposed changes to the approved Development Permit.



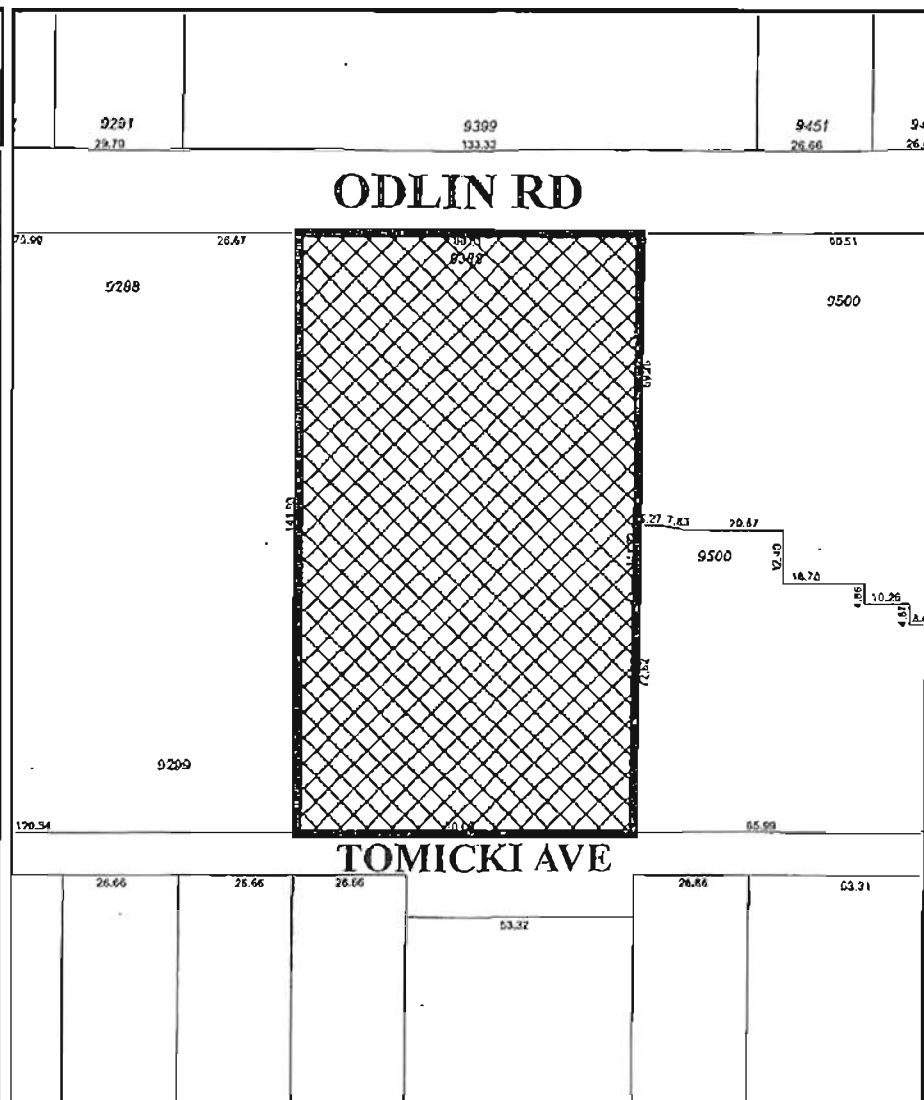
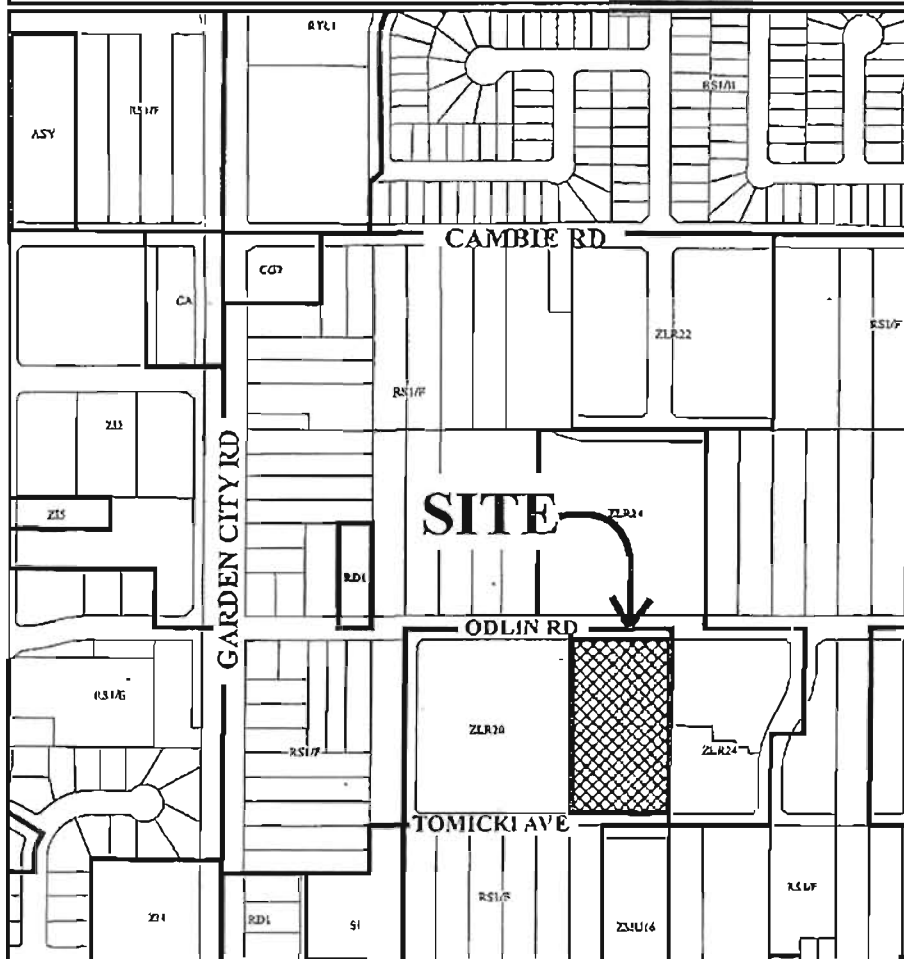
Francisco Molina, MCP, (IA) AIBC
Senior Planner III, Urban Design
(604-247-4620)

FM:blg

Attachment 1: Approved Development Permit Elevations.
Attachment 2: Changes to Approved Development Permit Elevations.



City of Richmond



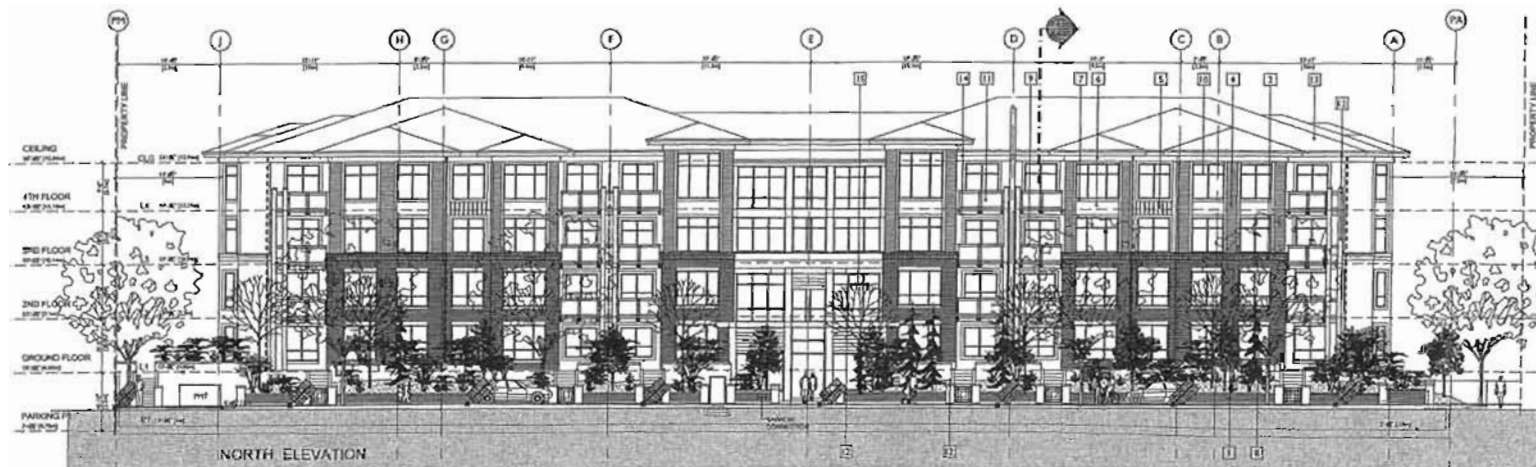
LOCATION MAP

DP 09-453125 GENERAL COMPLIANCE

Original Date: 01/28/09

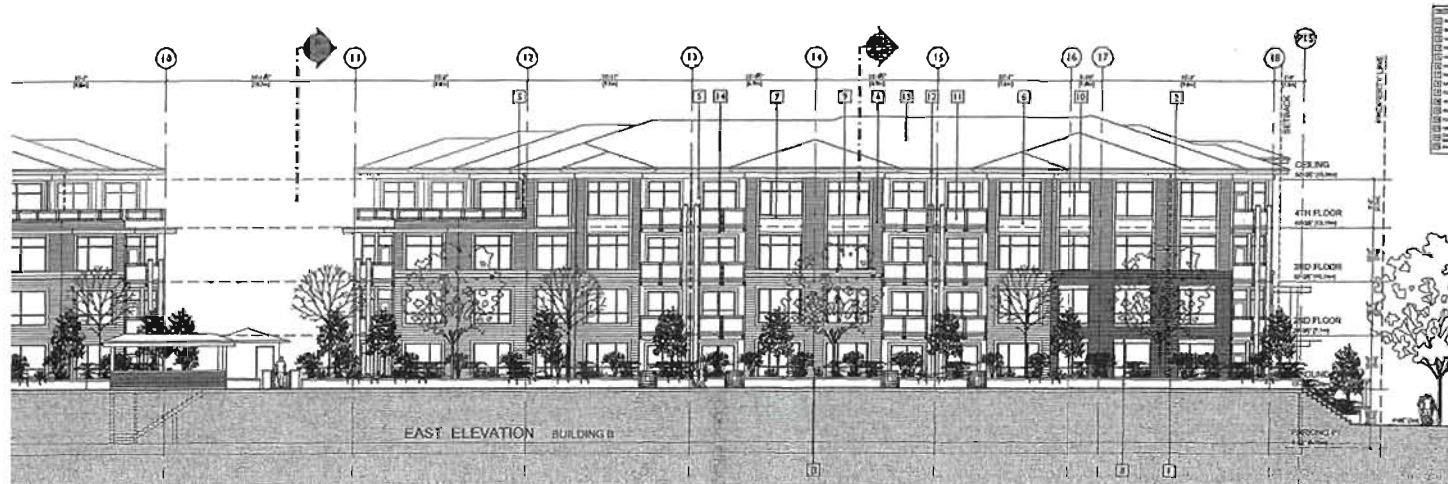
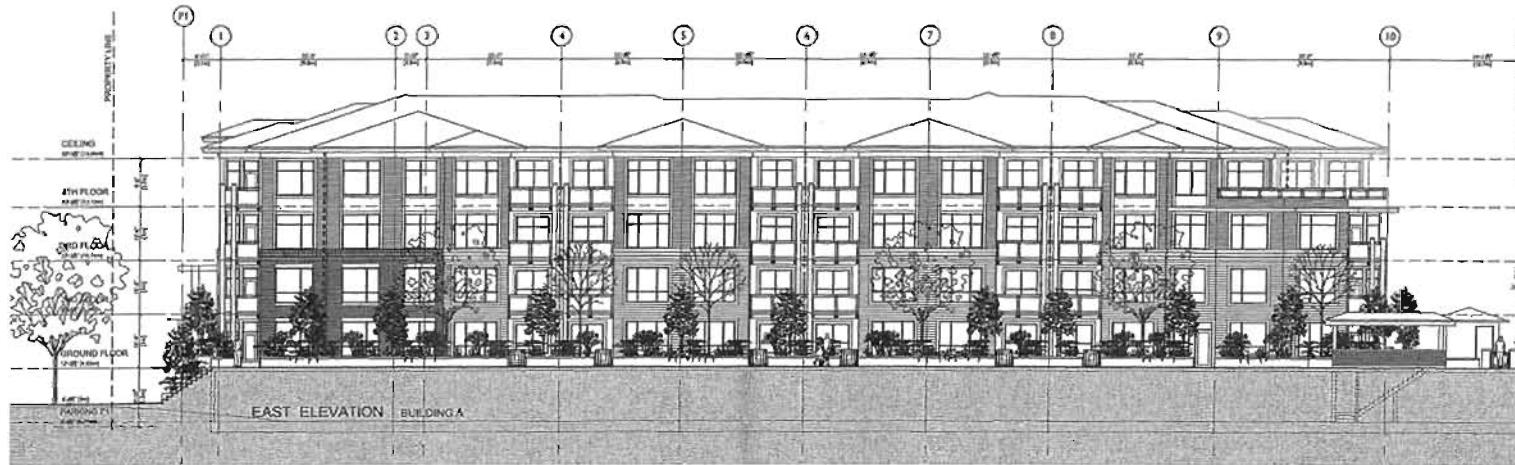
Revision Date: 03/21/11

Note: Dimensions are in METRES



DP 09453125 Rev. 1

A-5.01

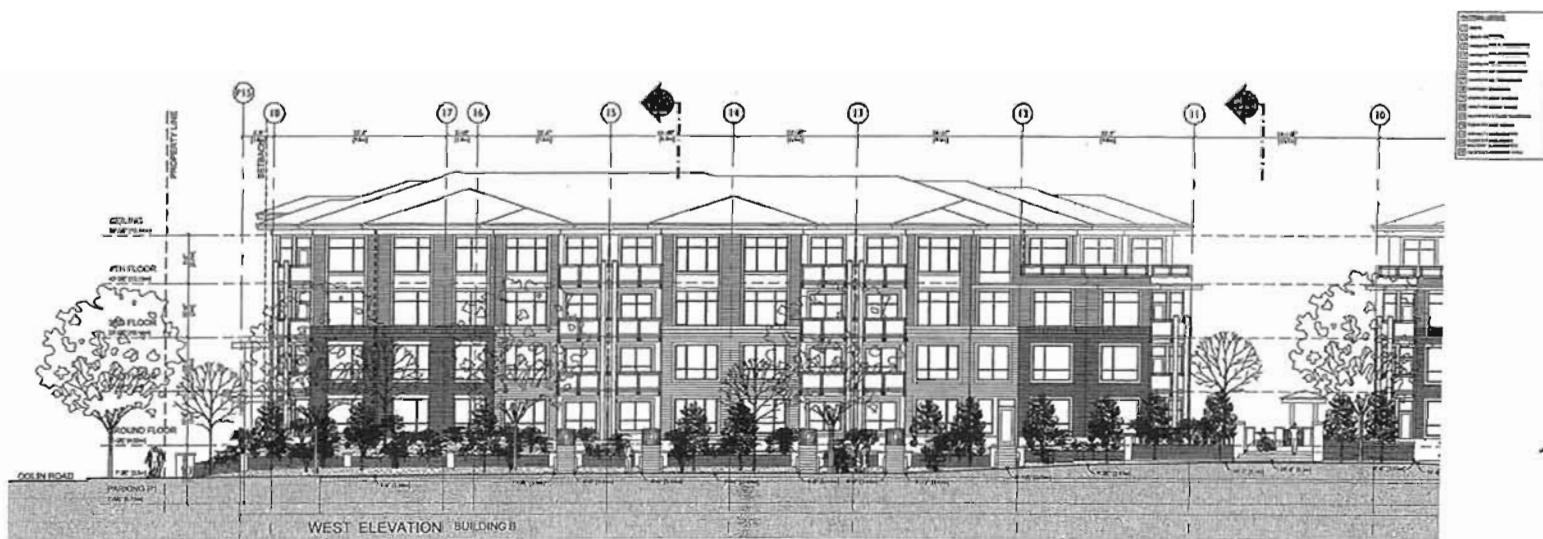
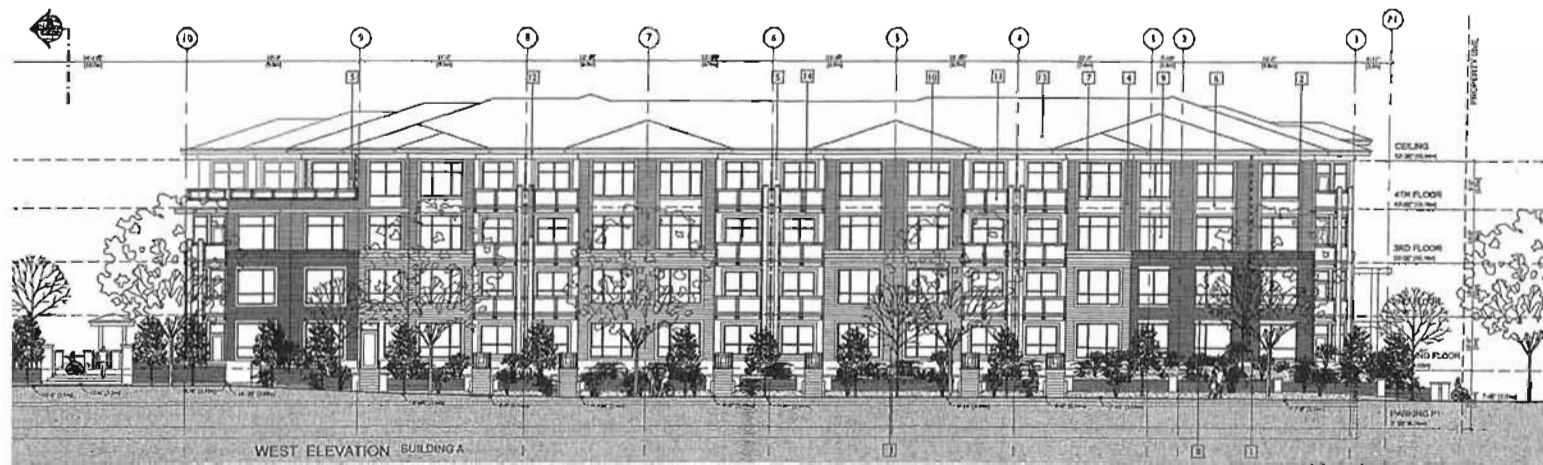


Legend
1. Wall
2. Window
3. Door
4. Staircase
5. Elevator
6. Mechanical Equipment
7. Landscaping
8. Fencing
9. Signage
10. Utility
11. Other

Legend
1. Wall
2. Window
3. Door
4. Staircase
5. Elevator
6. Mechanical Equipment
7. Landscaping
8. Fencing
9. Signage
10. Utility
11. Other

VILLA ESPERANZA
JAY LEST DEVELOPMENT
245
10000 W. 10TH AVENUE
DENVER, CO 80231
FOR ESPERANZA HOMES
EAST ELEVATIONS

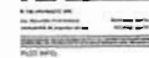
Legend
1. Wall
2. Window
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6. Mechanical Equipment
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11. Other



NO.	DESCRIPTION
1	1.00
2	2.00
3	3.00
4	4.00
5	5.00
6	6.00
7	7.00
8	8.00
9	9.00
10	10.00
11	11.00
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13	13.00
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VILLA ESPERANZA
 245
 PHASE II, PHASE III, PHASE IV
 PHASE II, PHASE III, PHASE IV
 FOR ESPERANZA HOMES
 WEST ELEVATIONS

DATE: 08/11/11
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: 1/8" = 1'-0"
 JOB NUMBER: 0831



2010	2011
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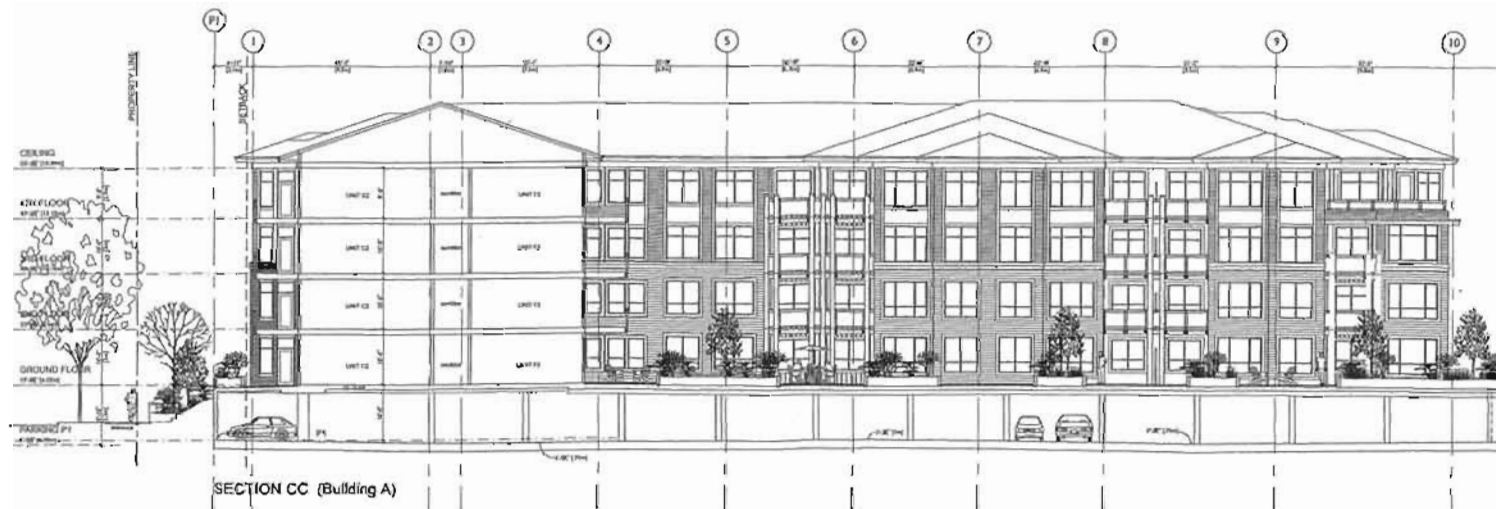
VILLA ESPERANZA
JIT UNIT DEVELOPMENT
145
#1345, #1390, #1402 OCEAN ROAD
ROCKFORD, ILL.
FOR ESPERANZA HOMES

SECTION AA • BB

0831

DP 09453125
Pg. 12

A-6.01



DP 09453125
PG # 13

REVISIONS	
NO.	DESCRIPTION
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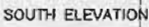
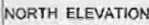
VILLA ESPERANZA
2nd FLOOR DEVELOPMENT
2-4
1000 N. G STREET, SUITE 100
GEORGETOWN, DE 20639
FOR ESPERANZA HOMES
SECTION CC

DATE	NO.
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A-6.02



General Compliance
DP 09-453125

RECEIVED
JUN 6 2012

NOTES

1. The following information is provided for your information only. It is not intended to be used as a basis for any decision. The information is provided for your information only. It is not intended to be used as a basis for any decision.
2. The following information is provided for your information only. It is not intended to be used as a basis for any decision. The information is provided for your information only. It is not intended to be used as a basis for any decision.
3. The following information is provided for your information only. It is not intended to be used as a basis for any decision. The information is provided for your information only. It is not intended to be used as a basis for any decision.

REVISIONS

REV.	DATE	DESCRIPTION
1	01/01/01	Initial Release
2	01/01/02	Revised to reflect changes in the law.
3	01/01/03	Revised to reflect changes in the law.
4	01/01/04	Revised to reflect changes in the law.
5	01/01/05	Revised to reflect changes in the law.
6	01/01/06	Revised to reflect changes in the law.
7	01/01/07	Revised to reflect changes in the law.
8	01/01/08	Revised to reflect changes in the law.
9	01/01/09	Revised to reflect changes in the law.
10	01/01/10	Revised to reflect changes in the law.

OMEGA
245 UNIT DEVELOPMENT

WILL TOWERS WERNE (BUNNICK) &
BIRD (DUFFY) (BUNNICK) &
PETERSON, S.C.
HIGH CONCRETE CONSTRUCTION, INC.

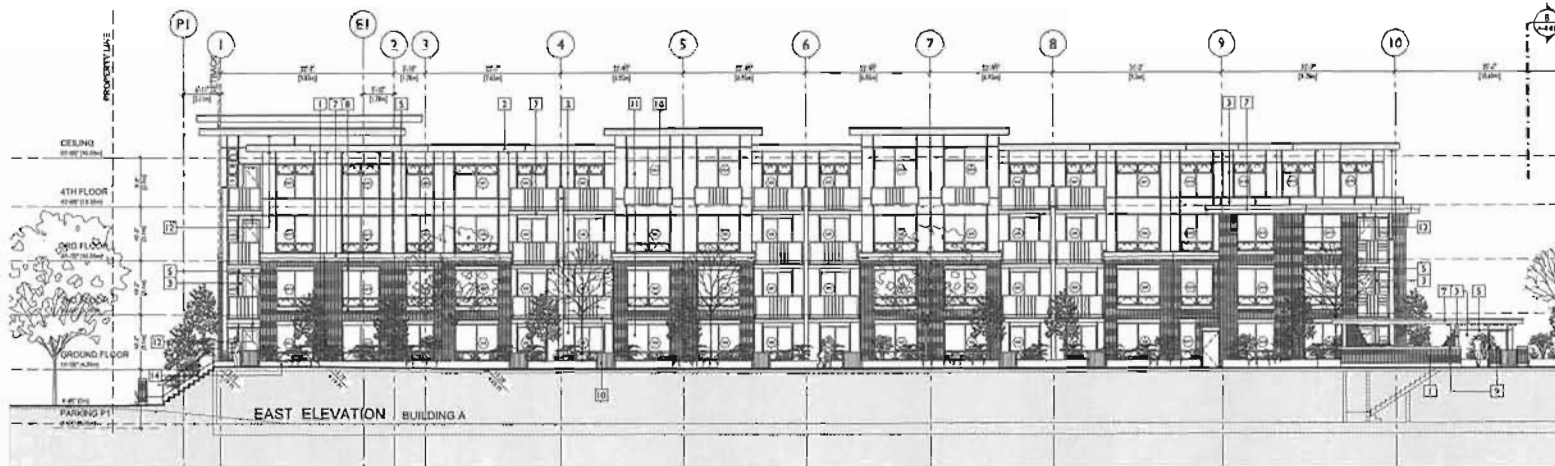
ELEVATIONS
(NORTH & SOUTH)

DATE	7/1
DEPOSITED BY	7/1
CHECKED BY	
REMARKS	see 10/1/97
JOE HARRIS	0831

A-5.01



Overall Compliance
DP 09-453125



NOTES

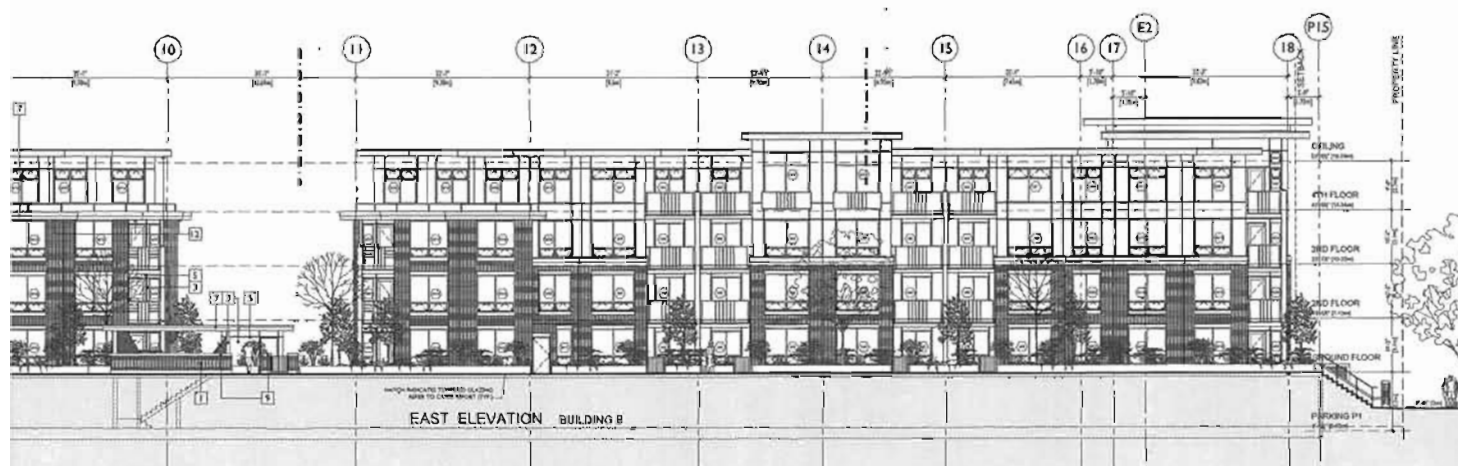
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REVISIONS

NO.	DATE	DESCRIPTION
1	09-10-10	ISSUED FOR PERMIT
2	09-10-10	ISSUED FOR PERMIT
3	09-10-10	ISSUED FOR PERMIT
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OMEGA
24 UNIT DEVELOPMENT
4000 TOWNHOMES (DESIGNED BY GARY B. LAMBERT ARCHITECT)
FOR CONSTRUCTION PERMIT USE
EAST ELEVATIONS

DATE: 09-10-10
DRAWN BY: GBL
CHECKED BY: GBL
SCALE: AS SHOWN
JOB NO: 0831



NOTES

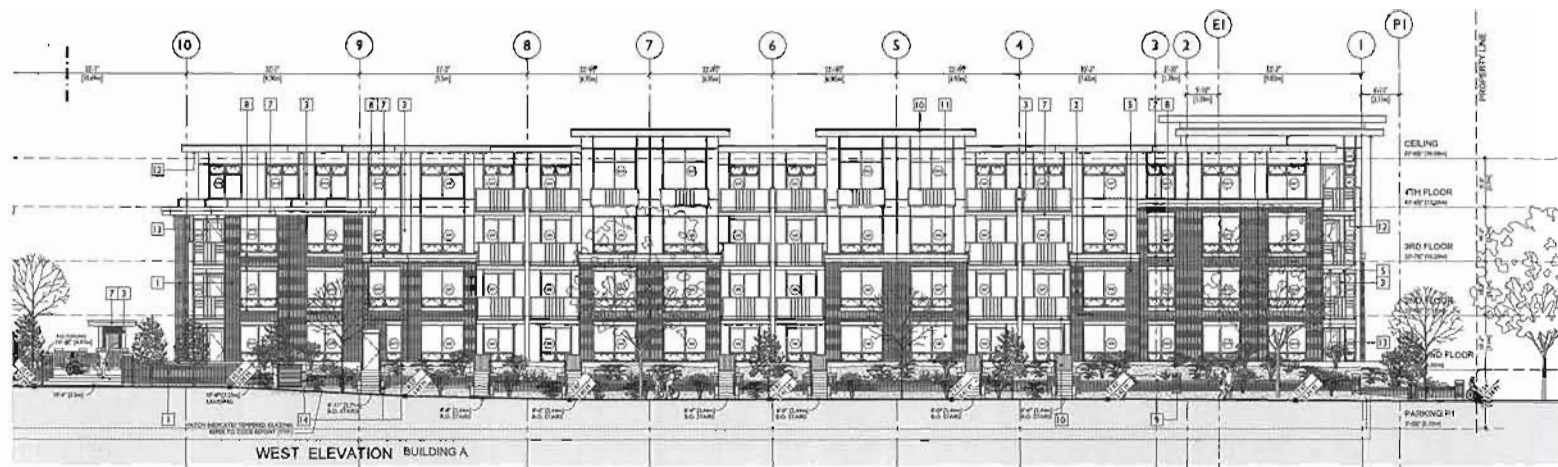
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OMEGA
24 UNIT DEVELOPMENT
4000 TOWNHOMES (DESIGNED BY GARY B. LAMBERT ARCHITECT)
FOR CONSTRUCTION PERMIT USE
EAST ELEVATIONS

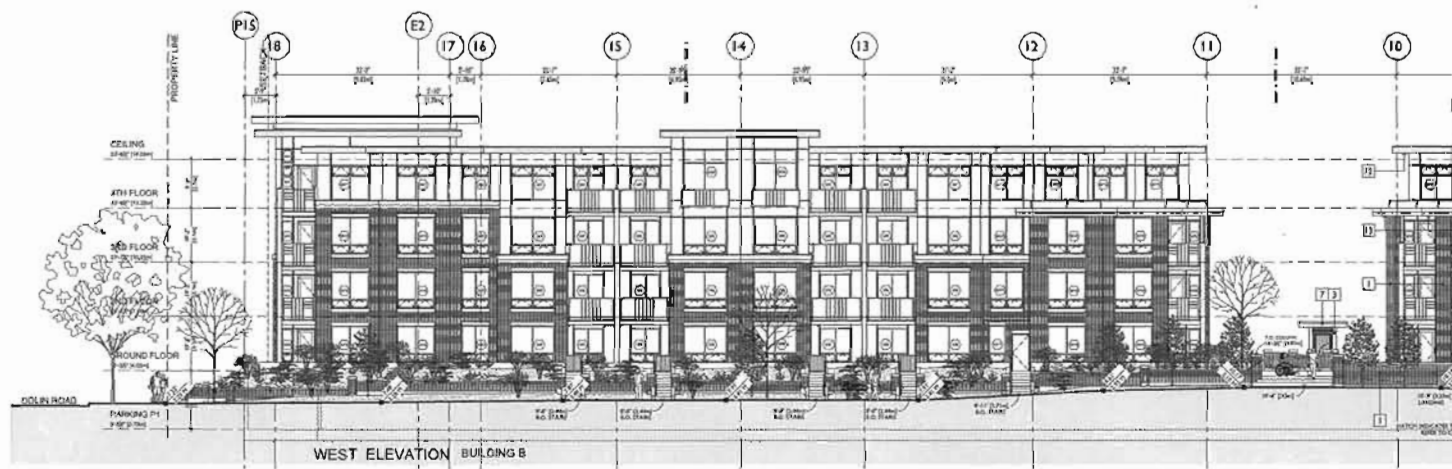
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DRAWN BY: GBL
CHECKED BY: GBL
SCALE: AS SHOWN
JOB NO: 0831



MATERIAL LEGEND

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General Compliance
DP 09-453125



REVISIONS

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OMEGA
245 UNIT DEVELOPMENT

WEST ELEVATIONS

DATE: 08/11

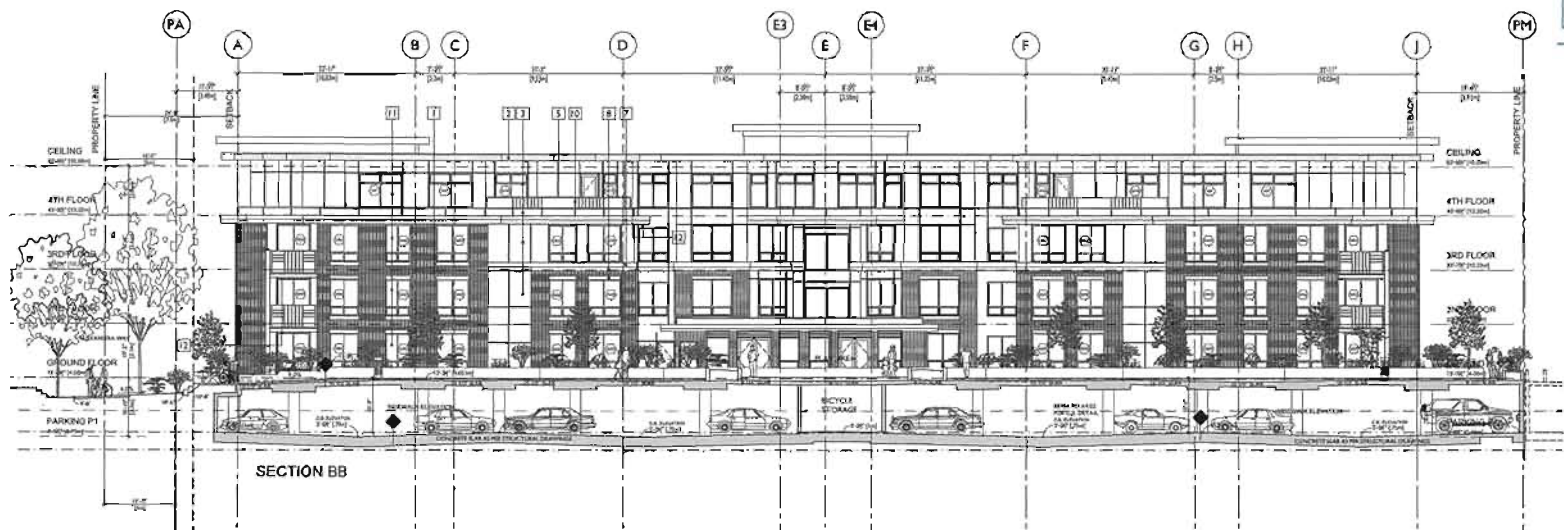
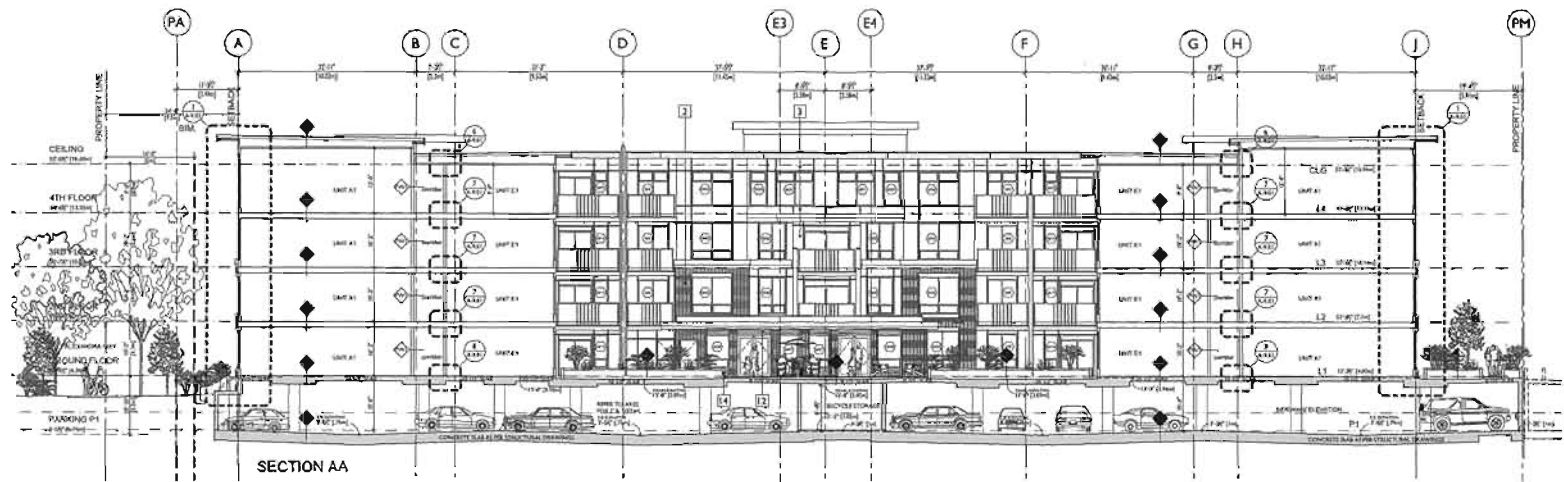


gBL
GENERAL BUILDING
ARCHITECTS
1000 15th Street, Suite 1000
San Francisco, CA 94103
Tel: 415.774.8800
Fax: 415.774.8801
www.gblarch.com

General Compliance
DP 09-453125

MATERIALS LEGEND:

1. BRICK (FIRE BRICK)
2. BRICK (COMMON BRICK)
3. BRICK (PAVING BRICK)
4. BRICK (CLAY TILE)
5. BRICK (CONCRETE TILE)
6. BRICK (GLAZED TILE)
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RECEIVED
MAY 28 2012

NOTES:

1. SEE GENERAL NOTES FOR ALL DETAILS.
2. SEE GENERAL NOTES FOR ALL DETAILS.
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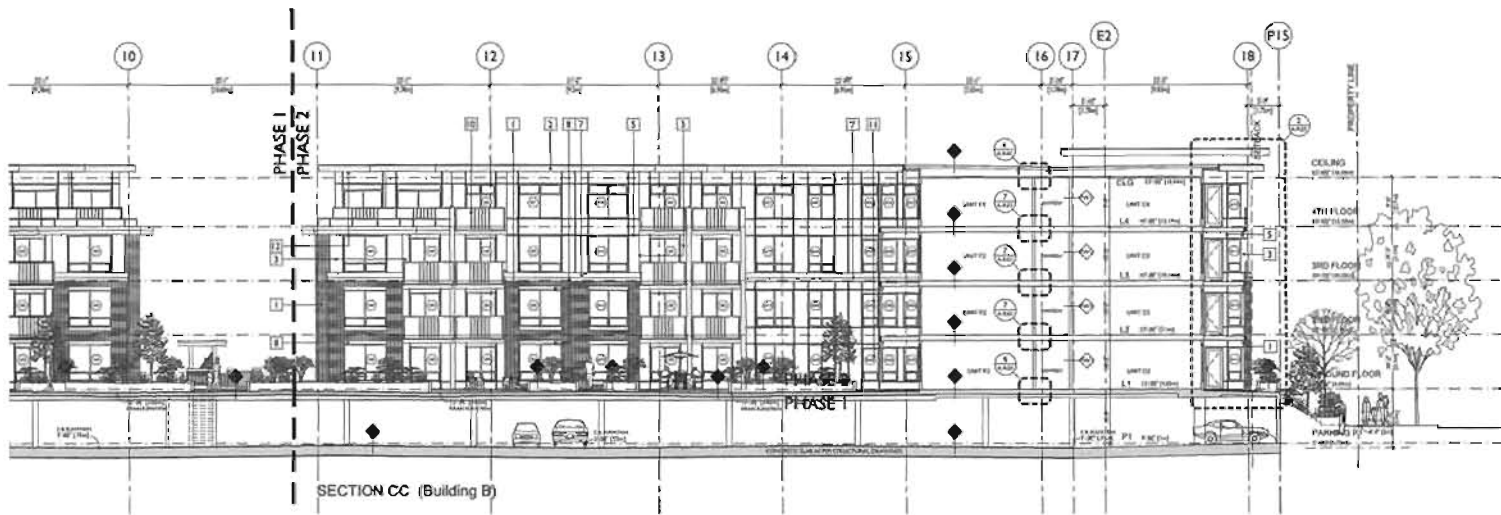
OMEGA
245 UNIT DEVELOPMENT
1000 15th Street, Suite 1000
San Francisco, CA 94103
Tel: 415.774.8800
Fax: 415.774.8801
www.gblarch.com

SECTION AA + BB

A-6.01

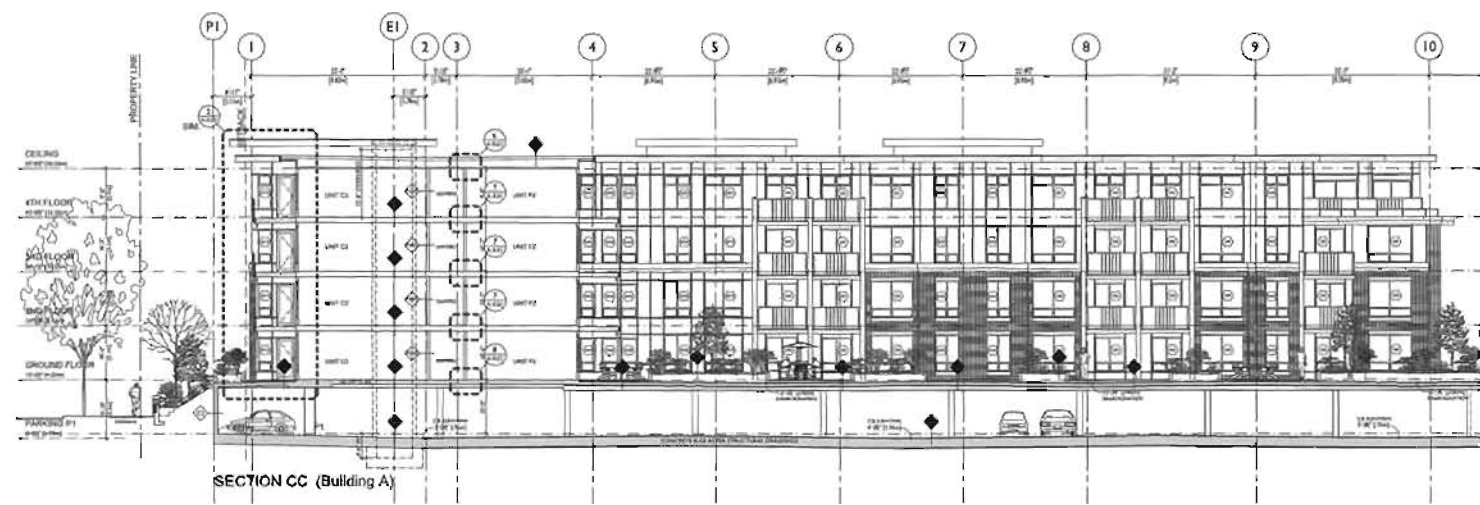


*General Compliance
DP 09-453125*



- PERMITTED MATERIALS**
- (1) BRICK (COMMON)
 - (2) METAL PANELS (STEEL)
 - (3) STAINLESS STEEL (304)
 - (4) ALUMINUM (ANODIZED)
 - (5) GLASS (LOW E)
 - (6) CONCRETE (PAINTED)
 - (7) TERRAZZO
 - (8) CERAMIC TILE
 - (9) CARPET (WALL TO WALL)
 - (10) HARDWOOD FLOOR
 - (11) VINYL COMPOSITE LAMINATE
 - (12) PRECAST CONCRETE CLAD
 - (13) ALUMINUM RAILS & BALUSTES
 - (14) STAINLESS STEEL RAILS & BALUSTES
 - (15) GLASS RAILS & BALUSTES
 - (16) WOOD RAILS & BALUSTES
 - (17) METAL RAILS & BALUSTES
 - (18) CONCRETE RAILS & BALUSTES

RECEIVED
MAY 28 2012



- NOTES**
1. SEE GENERAL NOTES FOR MATERIALS AND FINISHES.
 2. SEE GENERAL NOTES FOR UNIT TYPES AND SIZES.
 3. SEE GENERAL NOTES FOR COMMON AREAS AND STAIRS.
 4. SEE GENERAL NOTES FOR PARKING AND DRIVEWAYS.
 5. SEE GENERAL NOTES FOR LANDSCAPING AND PLANTING.
 6. SEE GENERAL NOTES FOR SIGNAGE AND MARKING.
 7. SEE GENERAL NOTES FOR UTILITIES AND MECHANICAL.
 8. SEE GENERAL NOTES FOR ELECTRICAL AND COMMUNICATIONS.
 9. SEE GENERAL NOTES FOR SAFETY AND SECURITY.
 10. SEE GENERAL NOTES FOR ACCESSIBILITY.

OMEGA
245 UNIT DEVELOPMENT

2000 TOWNSEND PARKWAY (SOUTHWEST)
ATLANTA, GA 30328

SECTION CC

DATE: 05/11/12
DRAWN BY: [Name]
CHECKED BY: [Name]
APP. [Name]

0811



City of Richmond

Report to Development Permit Panel Planning and Development Department

To: Development Permit Panel
From: Brian J. Jackson, MCIP
Acting General Manager, Planning and
Development
Date: June 5, 2012
File: DP 11-595288
Re: Application by Marquee Hotels, Richmond Inc. for a Development Permit at
10688 No. 6 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 42-room addition onto the existing 106-room Holiday Inn Express hotel at 10688 No. 6 Road on a site zoned Entertainment.

Brian J. Jackson, MCIP
Acting General Manager, Planning and Development

BJJ: mm
Att.

Staff Report

Origin

Marquee Hotels, Richmond Inc. has applied to the City of Richmond for permission to construct a 42-room addition onto an existing hotel on a site zoned Entertainment & Athletics (CEA) Zone at 10688 No. 6 Road. The project involves an addition to the contemporary four-storey, 106-room Holiday Inn Express. This building was constructed under a Development Permit issued in 2006 which included full development of the site with the hotel building and excess parking lot area.

Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The development site is located at the southeast corner of No. 6 Road and Triangle Road at the northwest edge of the Riverport commercial entertainment area with the Richmond Ice Centre and Silver City Theatre complex immediately to the east and south respectively. On the other side of this urban/rural boundary, the hotel faces agricultural and rural residential areas to the north and west.

Specifically, development surrounding the subject site is as follows:

- To the north, across Triangle Road from the subject site, there are parcels, with agricultural buildings, zoned "Agricultural District (AG1)" in the Agricultural Land Reserve (ALR);
- To the east, there is the adjacent Richmond Ice Centre on a parcel zoned "Athletics and Entertainment District (AE)";
- To the south, lies a large surface parking lot and Silver City Theatre Complex that are also zoned "Athletics and Entertainment (AE)";
- To the west, across No. 6 Road from the subject site, there are several parcels zoned "Agricultural District (AG1)" in the ALR with agricultural and rural residential buildings and vacant parcels zoned "Athletics and Entertainment District (AE)."

Staff Comments

The proposed hotel addition attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposal complies with the intent of the applicable sections of the Official Community Plan and is in compliance with the Entertainment & Athletics (CEA) Zone.

The proposed addition will be connected to a private sewage treatment plant on the adjacent property in the same manner that the current hotel building is served. As a condition of issuance

of the Development Permit, the applicant is required to provide letters from the sewage plant owner and a qualified wastewater professional confirming access and capacity sufficient to serve the proposed hotel addition. No storm sewer work is required and water fire flow analysis will be undertaken at building permit. City Transportation has confirmed that road frontage improvements on No. 6 and Triangle Roads are both on the Road DCC program and are not required to be undertaken by the applicant, but will be undertaken by the City.

Advisory Design Panel Comments

The Advisory Design Panel reviewed the application on May 9, 2012. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The development site is bounded by the Richmond Ice Centre's west concrete wall of approximately 10 m (33 ft.) in height and front surface parking lot to the east. A large surface parking lot for the Silver City Theatre Complex is located immediately to the south.
- The hotel building is afforded views to the north and west over farms and rural residential properties in the ALR with distant views of the North Shore Mountains.
- An identifiable pedestrian connection to the arenas from the front entrance of the hotel to the adjacent Ice Centre has been provided.
- The scale of the existing building and proposed addition relate well to the adjacent Ice Centre located on the opposite side of the subject parcel.

Urban Design and Site Planning

- The current building is perpendicular to the main No. 6 Road frontage while the proposed addition faces the intersection of No. 6 Road and Triangle Road at a 45 degree angle.
- The project includes 92 parking spaces, slightly more than the 87 spaces required under Zoning Bylaw 8500.
- The current access is maintained through the existing easement on the adjacent property to the south with no new access being provided.
- The current and proposed parking lot lighting will be oriented directly into the parking lot to avoid producing glare into adjacent properties.

- The existing screened permanent garbage and recycling enclosure along the east property line adjacent to the ice centre will serve the hotel along with an additional new and appropriately screened enclosure adjacent to the hotel building.
- An additional large WB 17 loading / bus loading zone is required and has been provided in front of the existing hotel building.
- Pedestrian routes within and to/from parking facilities have been clearly delineated with a change in paving texture and/or materials, and are logical in terms of directness, and wayfinding.

Architectural Form and Character

- The proposed addition matches the detailed form and character of the existing four-storey Holiday Inn Express building and expresses itself as an integral part of the existing hotel building.
- Both the current building and proposed addition are predominately clad in stucco in two (2) earth tones with the darker tone at the base of the building combined with a lighter tone used on the upper floors of the building that contribute to reducing the perceived building mass.
- Hardi panels are applied as accent cladding on sections of the fourth floor. Heavy wood and metal brackets and trellises are placed just below the parapet line of the current and proposed building sections as well as at the lobby entrance to provide articulation and architectural detailing to the building. This architectural treatment reflects the architectural expression of the existing building.
- Fenestration, brackets and parapet heights have all been skilfully handled to provide articulation to the building elevations, similar to that provided in the original building.
- The applicant has included larger windows on the north and south elevations of the building and more windows on the west-facing ground elevation of the bicycle room.

Landscape Design and Open Space Design

- Landscaping comprised of a combination of well-spaced trees, shrubs, and ornamental plants has been planted and will be maintained around the perimeter of the parking lot to screen the cars from public streets.
- A total of 162 trees of 6 cm (2.5 in.) caliper were planted on the site with the original Development Permit issued in 2006. However, 33 existing trees (under 20cm (8 in)) planted at the time of the original development permit are being removed, but 33 trees are being either replanted or replaced on-site, leaving no net loss of landscape trees.

- When mature, the landscaping should create a predominantly green character to the site during the spring and summer and screen the presence of large numbers of vehicles, both in the parking lot and on the surrounding properties.
- A small basketball / hockey court, located slightly below the finished site grade, is added between the existing and proposed buildings and is enclosed within a formal metal vertical picket fence evoking wrought iron.
- A long trellis, combined with the landscaping, screens the parking area from the adjacent Triangle Road.
- As part of the parking lot re-configuration, permeable pavers have been included in some parking areas that would aid in providing rain water infiltration to planted areas.
- There is an enlarged central landscape island which includes a relatively large landscaped area with tree planting that helps to visually break-up the parking area in front of the building entrance into smaller clusters.

Crime Prevention Through Environmental Design

- The proposed addition is situated in such a way to provide additional surveillance of the private parking lot and public streetscape.
- Current and proposed lighting fixtures are located in such a way to provide safe pedestrian circulation from the parking areas to the hotel. All lighting fixtures will be hooded and downcast to prevent ambient light pollution and located to minimise conflict with neighbouring single-family dwellings.
- Public and semi-public spaces have been well defined and secured from private spaces. Symbolic barriers have been incorporated through changes in vegetation, grade and architectural features. (e.g. low walls, fences and trellises).

Accessibility

- Barrier-free measures have been incorporated into the building design which meet the requirements of the BC Building Code. The four (4) accessible suites, at a rate of 1 to per 40 suites overall, are provided in accordance with the BC Access Handbook.

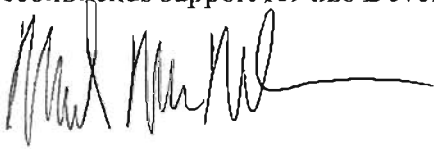
Sustainability

- Permeable pavers have been applied in low-traffic areas to allow for storm water infiltration, and less storm runoff.

- Trees planted in the parking lot islands will provide shade in the summer to reduce the overall heat island effect.
- The majority of the planting is drought tolerant and many are native species.
- There is use of low-emitting interior finishing materials such as adhesives, sealants, paints and carpets.
- The addition is being constructed as a wood framed structure which will make use of regional materials, eco-certified wood, and materials with recycled content.
- Low flow fixtures will be specified to conserve water.

Conclusions

Issues identified during the Development Permit Application design review process have been considered and addressed, including staff and Advisory Design Panel comments regarding adjacencies and landscape design. The proposed addition to the existing hotel enhances the existing built context, matches the architectural design and character of the existing building and creates a strong anchor at the intersection of No. 6 and Triangle Road. Therefore, staff recommends support for this Development Permit Application.



Mark McMullen
Senior Coordinator-Major Projects

MM:rg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$145,928.00 based on an estimate provided by the landscape architect.
- Receipt of a stamped and sealed letter from a qualified wastewater management professional indicating that the private sewer system has capacity to handle the additional flows needs to be included along with a letter from the owner of the private sewer system to the applicant confirming access to the system.
- Prior to future Building Permit issuance, the developer is required to complete the following:
 - The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
 - Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



**City of
Richmond**

Development Application Data Sheet

Development Applications Division
6911 No. 3 Road, Richmond, BC V6Y 2C1

DP 2011-595288

Attachment 1

Address: 10688 No. 6 Road

Applicant: Marquee Hotels, Richmond Inc.

Owner: Emtias Esmail

Planning Area(s): 09 Fraser Lands

Floor Area: Gross: 7619.7 m²

Net:

	Existing	Proposed
Site Area	7625 m ²	7625 m ²
Land Uses	Hotel	Hotel
OCP Designation	na	na
Zoning:	CEA ; Entertainment & Athletics	CEA; Entertainment & Athletics
Number of Units	106	42

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	1	1	None permitted
Lot Coverage	Max. 60%	26.68%	
Setback – Front Yard	Min. 3 m	3 m	
Setback – Side Yard	Min. 3 m	3 m	
Setback – Side Yard	No min.	n/a	
Setback – Rear Yard	No min.	n/a	
Height (m)	Max. none	13.62 m	
Lot Size	7625 m ²	7625 m ²	
Off-street Parking Spaces – Resident/Commercial	86	0	
Off-street Parking Spaces – Accessible	4	0	
Off-street Parking Spaces – Total	90	0	
Tandem Parking Spaces	Not permitted	n/a	
Indoor Amenity Space	Min 70 m ²	n/a	
Outdoor Amenity Space			



Attachment 2**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, May 9, 2012 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

3. DP 11-595288 – ADDITION OF 42 UNITS TO EXISTING 102 ROOM HOTEL

APPLICANT: Marquee Hotels Richmond Inc.

PROPERTY LOCATION: 10688 No. 6 Road

Applicant's Presentation

Architect Simon Ho, Cotter Architects, and Landscape Architect Gerry Eckford, ETA Landscape Architecture, presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- washrooms are accessed through a closet corridor per unit lay-out; would be useful to consider using sliding door to minimize wasted floor space; would also greatly enhance accessibility; *The applicant has confirmed that one room include within the addition will be accessible which provides a total of four accessible suites for the project (1 per 40 rooms).*
- consider relocating pedestrian connection to the front facade of Richmond Ice Centre to make connection to new secondary lobby, fully accessible connection, to respond to new desire lines likely from secondary lobby; *The applicant has confirmed that there is an existing pedestrian connection to the Ice Centre.*
- consider making basketball court into a multi-sport function; *The court is a very small informal court (not a full-size basketball court), but could used for a variety of sports.*
- overall, materiality works well; repeats what is existing;
- entry from the parking lot side works well;
- applicant has done a good job on a tricky site; hope that Transportation will allow to locate the trees on a pedestrian realm; will enhance the experience of hotel guests; *The applicant has confirmed that there is insufficient space to include more landscaping/trees on the City ROW after confirming location of proposed road and sidewalk to be 1.5m from property line.*

- architecturally, like the design; however, structurally, suggest no additional windows as the building is a 4-storey wood frame and lateral resistance is limited with limited exterior walls already; *The applicant has already included additional large windows on south elevation and since added additional windows on west elevation on the first floor bike room.*
- building is well done; disappointment at the appearance of the building from the corner of No. 6 Road and Triangle Road; needs landscaping as there is nothing there but a 4-storey building with a City ROW around the corner; strongly hope that Transportation will allow landscaping in the interim prior to the completion of the sidewalk and the road; and *The applicant has confirmed that there is insufficient space to include more landscaping/trees on the City ROW as noted above, after confirming location of proposed road and sidewalk to be 1.5m from property line.*
- building signage not an issue. *Locations for signage have been included in plans.*

Panel Decision

It was moved and seconded

That DP 11-595288 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



City of Richmond

Development Permit

No. DP 11-595288

To the Holder: MARQUEE HOTELS, RICHMOND INC.

Property Address: 10688 NO. 6 ROAD

Address: C/O COTTER ARCHITECTS INC.
235-11300 NO. 5 ROAD
RICHMOND, BC V7A 5J7

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Architectural and Landscape Architecture Plans attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required with connection to an adjacent independent sewage treatment system.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$145,928.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 11-595288

To the Holder: MARQUEE HOTELS, RICHMOND INC.

Property Address: 10688 NO. 6 ROAD

Address: C/O COTTER ARCHITECTS INC.
235-11300 NO. 5 ROAD
RICHMOND, BC V7A 5J7

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

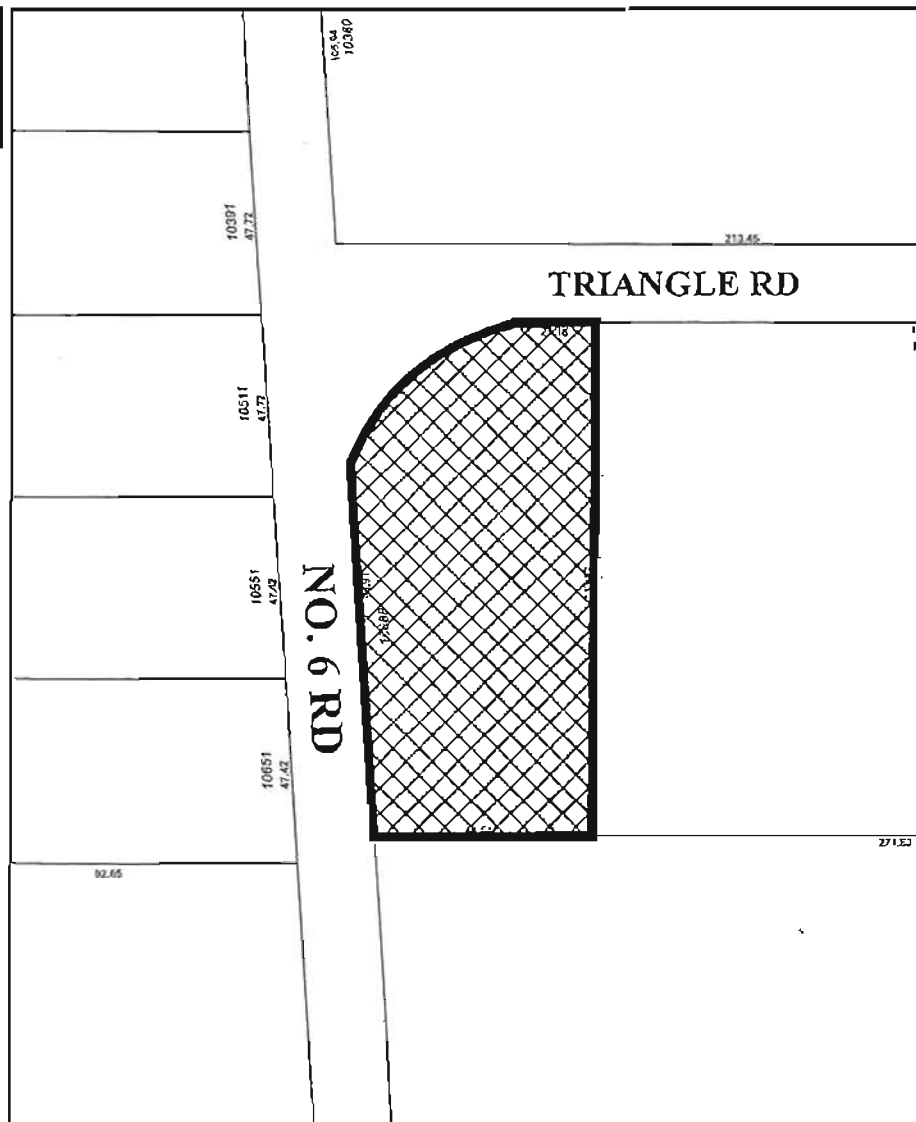
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



DP 11-595288
SCHEDULE "A"

Original Date: 12/13/11

Revision Date:

Note: Dimensions are in METRES

PROJECT DATA

LEGAL DESCRIPTION:
REM 1, Plan LMP 29485, Section 33, Block 4 north, Range 5 West

CIVIC ADDRESS:
10688 No.6 Road Richmond BC V6W 1E7

SITE AREA:
7,625.1 sq.m (82,878.56 sq.ft.)

APPLICANT:
Cotter Architects

MUNICIPAL ZONING:
CEA, Entertainment & Amusement

DRAWING INDEX

ARCHITECTURAL

A-000	COVER SHEET
A-001	DEVELOPMENT DATA SHEET/ DESIGN RATIONALE
A-002	SKETCH-UP VIEWS
A-003	EXISTING SITE PHOTOS
101	SURVEY
A-102	CONTEXT PLAN
A-103	SITE PLAN
A-201	GROUND FLOOR PLAN
A-201a	GROUND FLOOR AREA OVERLAY
A-202	2ND FLOOR PLAN
A-202a	2ND FLOOR AREA OVERLAY
A-203	3RD FLOOR PLAN
A-203a	3RD FLOOR AREA OVERLAY
A-204	4TH FLOOR PLAN
A-204a	4TH FLOOR AREA OVERLAY
A-205	ROOF PLAN
A-301	BUILDING ELEVATIONS
A-302	BUILDING ELEVATIONS
A-303	COLOURED ELEVATIONS
A-304	COMPARISON ELEVATIONS
A-510	ENTRY CANOPY DETAILS

LANDSCAPE

3.a	EXISTING BUILDING LANDSCAPE LAYOUT
3.b	TREE MANAGEMENT
3.c	LANDSCAPE PLAN
3.d	PLANTING PLAN
3.e	SECTIONS AND NOTES
3.f	LANDSCAPE DETAILS

PROJECT DIRECTORY

OWNER:
Marques Hotels Richmond Inc.
2857 Maca Drive
Coquitlam, BC V3C 5L4

ARCHITECTURAL:
Cotter Architects
Suite 235-11300 No.5 Road
Richmond, BC V7A 5J7
www.cotterarchitects.com
T: (604)272-1477; F: (604)272-1471

LANDSCAPE:
Edkford Tyndal + Associates
1690 West 2nd Avenue
Vancouver, BC V6J 1H4
www.edk.ca
T: (604)683-1436; F: (604)683-1439

CIVIL:
Core Concept Consulting Ltd.
225-2639 Viking Way
Richmond, BC V6V 3B7
T: (604)249-5040; F: (604)249-5041

SURVEYORS:
Madsen Pack & Topline
320-11150 Horseshoe Way
Richmond, BC V7A 5J7
T: (604)270-4031; F: (604)270-4137

STRUCTURAL:
Ennova Structural Engineers
200-1820 Renfrew St.
Vancouver, BC
T: (604)255-7670; F: (604)255-7618

LOCATION MAP



HOLIDAY INN EXPRESS ADDITION

10688 No.6 Road Richmond, BC V6W 1E7



Plan 1 June 05 2012
DP 11-595288

DEVELOPMENT PERMIT PANEL SUBMISSION
MAY, 2012

cotter
ARCHITECTS
235-11300 NO. 5 ROAD, RICHMOND BC V7A 5J7
(604) 272-1477 FAX (604) 272-1471 www.cotterarchitects.com



DESIGN RATIONALE

THIS DEVELOPMENT PERMIT APPLICATION IS FOR AN ADDITION TO THE HOLIDAY INN EXPRESS ON NO. 6 ROAD AT THE JUNCTION OF TRIANGLE ROAD, ADJACENT TO THE RICHMOND ICE CENTER. THE SUCCESS OF THE NEIGHBORING RECREATIONAL AND ENTERTAINMENT DEVELOPMENTS HAS PROVIDED AN OPPORTUNITY FOR THE EXISTING HOTEL BUSINESS TO EXPAND PROVIDING A NECESSARY SERVICE FOR THE COMMUNITY.

THE EXISTING BUILDINGS CHARACTER IS BEING MIRRORRED IN THE NEW ADDITION THROUGH THE USE OF MATERIALS, SIMILAR DETAILING, PROPORTIONS AND SCALE. THE ARCHITECTURAL STYLE IS CONSISTENT BETWEEN THE OLD AND THE NEW WITH ANY NEW ELEMENTS COMPLEMENTING OR MAKING HOMAGE TO THE EXISTING. THE BUILDING PLACEMENT MAINTAINS THE MAJORITY OF THE GREEN SPACE BETWEEN THE ROADWAYS AND THE BUILDING, PROVIDING SCREENING AND RELIEF TO THE NEIGHBORING RESIDENCES FROM THE VIEW OF THE PARKING LOT. THIS ALSO ALLOWED FOR THE ROAD ENTRANCE TO BE MAINTAINED, KEEPING THE MAIN HOTEL LOBBY AS THE FIRST DESTINATION BUT PROVIDING EASY ACCESS TO THE NEW SECONDARY LOBBY. THE EXTERIOR TO THIS LOBBY AREA IS ENHANCED WITH THE USE OF A SWEEPING CANOPY AND A WATER FEATURE AS ITS FOCAL POINT. THESE ITEMS COMPLEMENT THE EXISTING FEATURES AT THE MAIN ENTRANCE AND WITHIN THE HOTEL'S MAIN LOBBY. THIS LOW LYING DETAIL WILL HAVE A PLANTING AREA AS ITS BACK DROP PROVIDING A TRANQUIL LANDSCAPE TO THE GUESTS AS THEY ENTER AND EXIT THE BUILDING.

THE PROPOSED PROJECT BUILDS ON THE SUCCESS OF THE EXISTING DEVELOPMENT STRENGTHENING IT WITHIN THE CONTEXT OF THE NEIGHBORING PROPERTIES AND COMMUNITY.

SITE AREA:		82,078.58 s.f. / 7,625.4 s.m.
BUILDING FOOTPRINT:		21,905.59 s.f. (16,005 s.f. + 5,899.56 s.f. + 231 s.f.) / 2,025.09 s.m.
SITE COVERAGE:		26.68 % (max allowed: 50%)
MAXIMUM FAR ALLOWED:		FAR 1.0 (82,078.58 s.f. / 7,625 s.m.)
EXISTING GFA:		FAR 0.7 (57,425.57 s.f. / 5,335 s.m.)
ADDITIONAL GFA ALLOWED:		FAR 0.3 (24,653.01 s.f. / 2,290 s.m.)
PROPOSED ADD. GFA:		FAR 0.299 (24,592.28 s.f. + 24,361.29 s.f. + 231 s.f. / 2,284.7 s.m.)

	Overseas	King	Total
AP	6	5	
SP	6	5	
2P	6	5	
GF	4	5	
Total	22	25	47

PARKING STALLS REQUIRED:		EXISTING HOTEL	ADDITION
HOTEL (1 PER 2 SLEEPING RMS)		73 (156 ROOMS)	21 (42 ROOMS)
MEETING		13 (1,205 S.F.)	0
TOTAL PARKING REQUIRED:		67 STALLS	
PARKING STALLS PROVIDED:			
REGULAR STALLS		42	
SMALL CAR STALLS		12	
HANDICAP		6	
TOTAL PROVIDED:		60 STALLS + 3 LOADING BAYS	

2,200 S.F. BAY			
EXISTING INGVLS	CLASS 1*	19	(5,335 S.M./100) X 0.27 = 13
ADDITION	CLASS 2	6	(2,205 S.M./100) X 0.27 = 6
TOTAL		25	20
*12,771,000 S.M. LEASABLE F.A.			
PROVIDED:			
ADDITION	CLASS 1	43	CLASS 2
			20

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1.0098	1.0098
1.0099	1.0099
1.0100	1.0100

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ARCHITECTS
835 - 13300 6 ROAD, RICHMOND, BC V6X 3T7
TEL: 604.271.1000 FAX: 604.271.1001 WWW.COTTERARCHITECTS.COM

Holiday Inn Express Addition
12088 No. 6 Road
Richmond, B.C. V6X 3T7

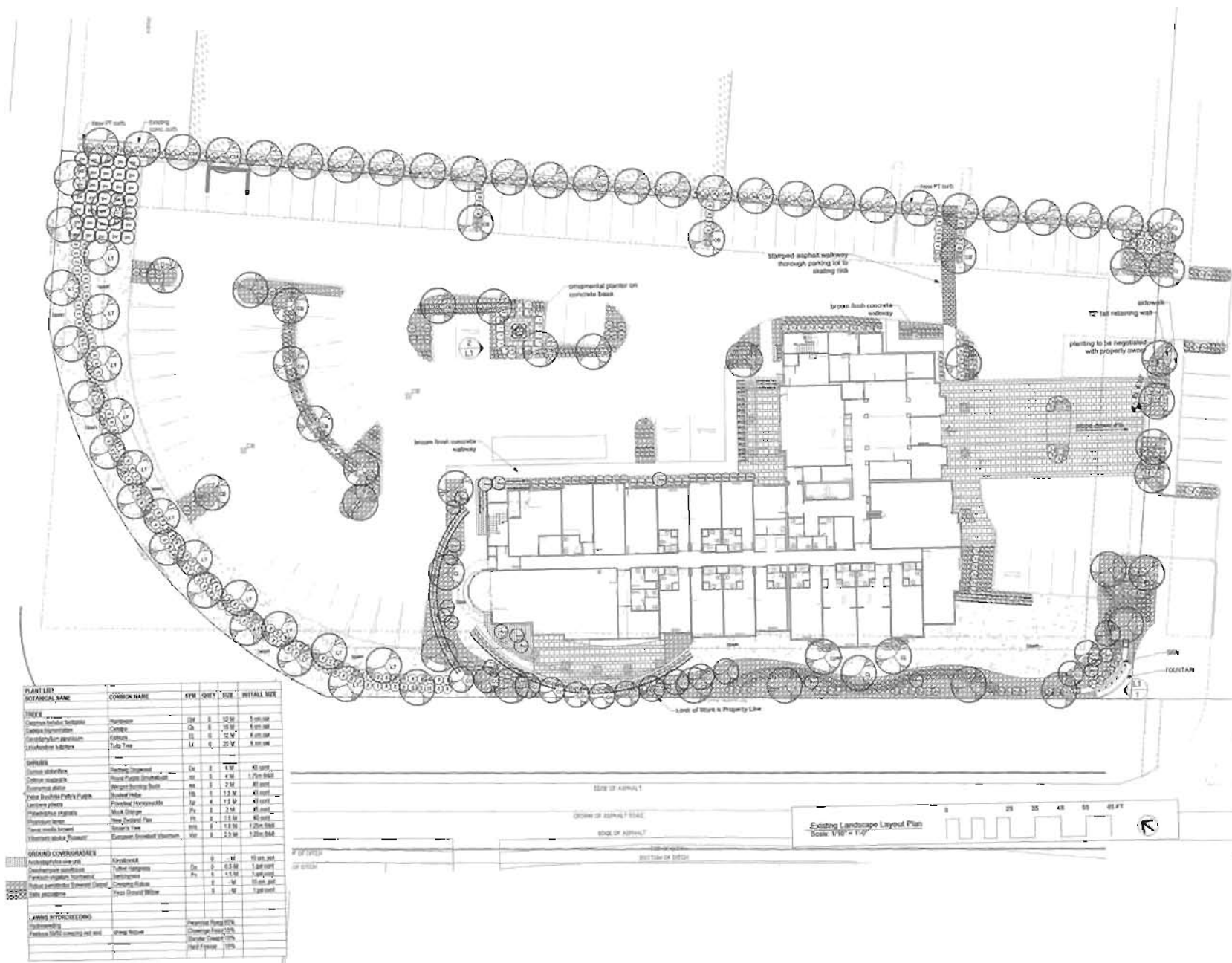
Marquee Hotels Richmond Inc.

DESIGNED BY: [Signature]
CHECKED BY: [Signature]
DATE: [Date]
PROJECT NO.: [Number]
SHEET NO.: [Number]
PROJECT NAME: [Name]
DESIGN RATIONALE/DEVELOPMENT DATA

A-001

Plan 2
June 05 2012
DP 1-595288





Scale: 1" = 10'

Scale: 1" = 10'

eta
landscape architecture

1000 West 2nd Avenue
Vancouver, BC V6C 1A8
Tel: 604.681.1111
Fax: 604.681.1112
www.eta.ca

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Project:
Holiday Inn Express
Addition
10000 Hwy 8 Road
Ruston, BC V8W 1E7

Drawing Title:
Existing Building
Landscape Layout

Scale:
1" = 10'

North Arrow:
North

Legend:
1" = 10'

Revision:
1" = 10'

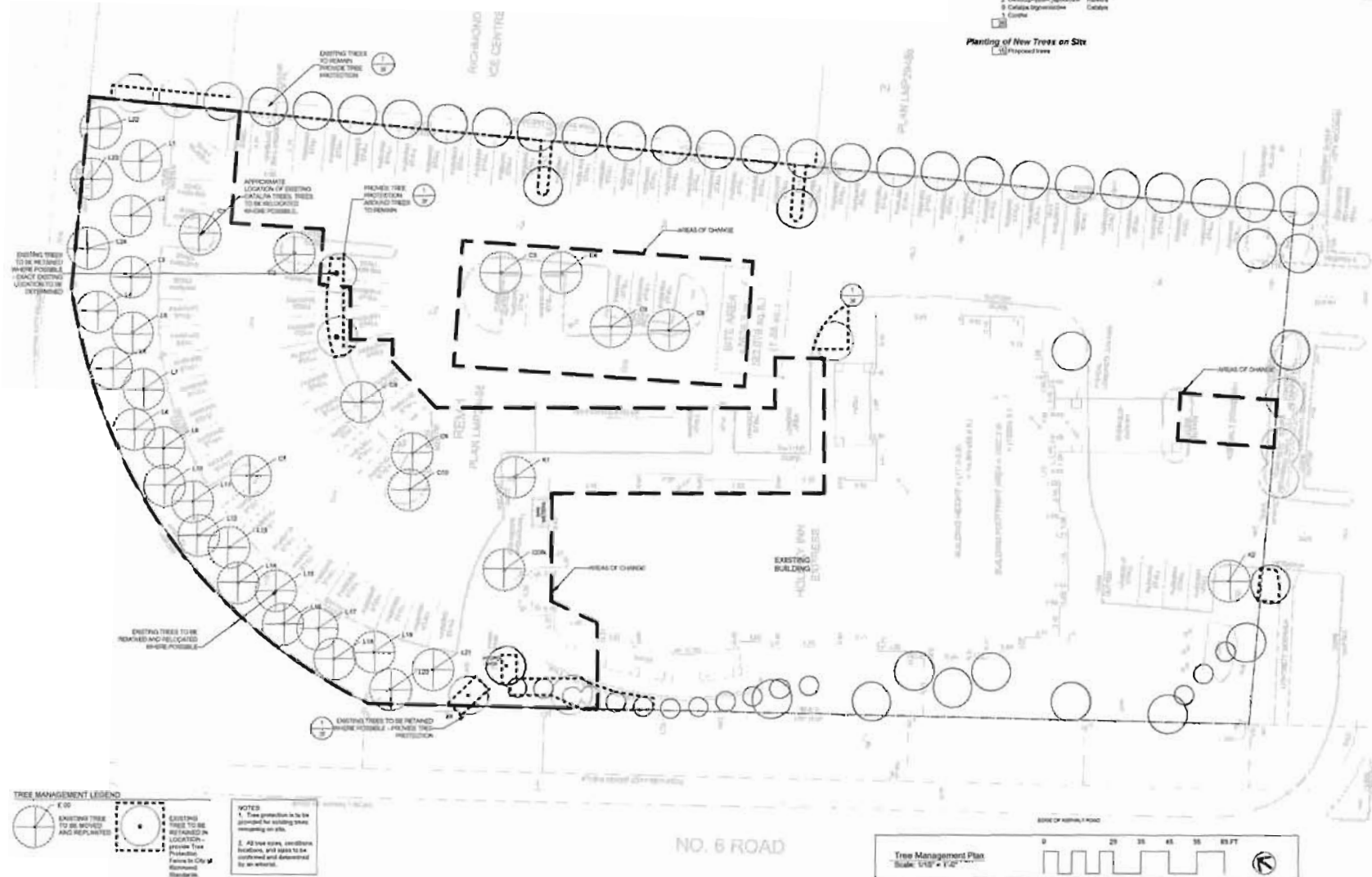
Date:
11/11/11

Drawn By:
11/11/11

Checked By:
11/11/11

Approved By:
11/11/11

Plan 4
June 05 2012
DP 11-595288



Tree Removal / Relocation

ID	Qty	Botanical Name	Common Name	Remarks
L1-L24	24	Liquidambar styraciflua	Flowering Dogwood	Tree to be removed or relocated on site.
L25-L26	2	Quercus imbricaria	White Oak	Tree to be removed or relocated on site.
L27-L28	2	Quercus imbricaria	White Oak	Tree to be removed or relocated on site.

Replanting of Existing Trees ON Site

ID	Qty	Botanical Name	Common Name	Remarks
L1-L24	24	Liquidambar styraciflua	Flowering Dogwood	Tree to be replanted on site.
L25-L26	2	Quercus imbricaria	White Oak	Tree to be replanted on site.
L27-L28	2	Quercus imbricaria	White Oak	Tree to be replanted on site.

Planting of New Trees on Site

ID	Qty	Botanical Name	Common Name	Remarks
L29-L30	2	Quercus imbricaria	White Oak	Tree to be planted on site.

ID	Date	Revised By
1	5/15/12	Revised by J.P.

ID	Date	Revised By
1	5/15/12	Revised by J.P.
2	5/15/12	Revised by J.P.

eta
architectural & engineering

10000 N. 8th Road
Rockwood, NC 27852
704.885.1111
www.eta-nc.com

**Holiday Inn Express
Addition**

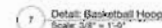
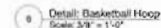
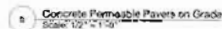
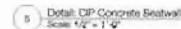
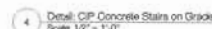
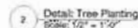
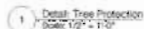
10000 N. 8th Road
Rockwood, NC 27852
DP2011 535298

Tree
Management

Client	10000 N. 8th Road
Project	10000 N. 8th Road Addition
Project Number	DP2011 535298
Project Name	10000 N. 8th Road Addition
Project Location	10000 N. 8th Road
Project Date	5/15/12
Project Status	3. b

Plan 5
June 05 2012
DP 11-595288

Plan 8 June 05 2012
DP 11-595288

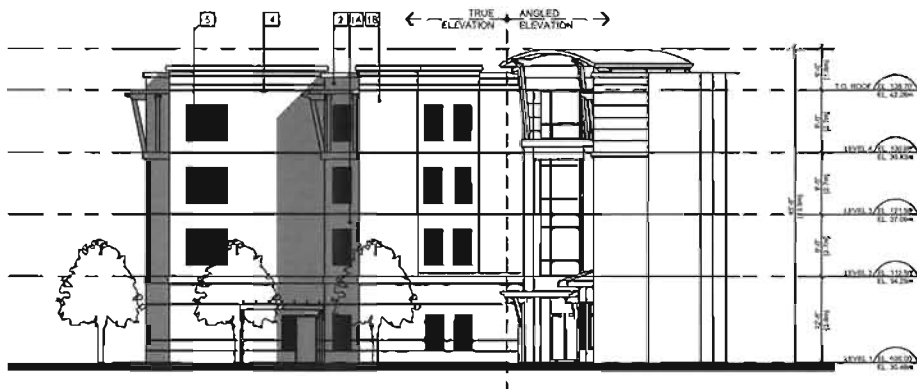


Plan 9 June 05 2012
DP 11-595288

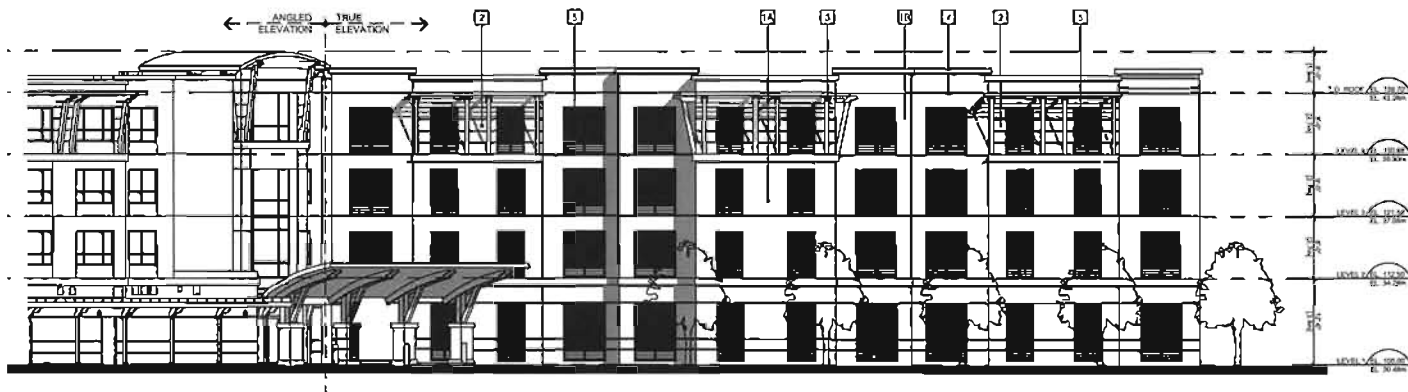


A-301

Plan 10 June 05 2012
DP 11-595288



1 SOUTH ELEVATION
A-302



2 EAST ELEVATION
A-302

NOTES:

EXTERIOR FINISH SCHEDULE

1A	STUCCO TYPE 1
1B	STUCCO TYPE 2
2	PAVING PAVES
3	STEEL TIEBACK BRACKETS AND TIEBACKS
4	STUCCO CONTROL JOINTS
5	ALUMINUM WINDOW

1A	STUCCO TYPE 1
1B	STUCCO TYPE 2
2	PAVING PAVES
3	STEEL TIEBACK BRACKETS AND TIEBACKS
4	STUCCO CONTROL JOINTS
5	ALUMINUM WINDOW

cotter
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TEL: 604 271 3477 FAX: 604 271 3478 WWW.COTTERARCHITECTS.COM

Project:
Holiday Inn Express Addition
10000 Hwy 6 Road
Richmond, B.C. V6X 1P7

Marquee Hotels Richmond Inc.

Project:	4705 - 11800 RD 3 ROAD, RICHMOND, BC V6X 1P7
Client:	Holiday Inn Express
Architect:	Cotter Architects
Scale:	1/8" = 1'-0"
Date:	June 05, 2012
Sheet:	Elevations

A-302

Plan 11 June 05 2012
DP 11-595288



1 SOUTH ELEVATION
A-303



2 NORTH ELEVATION
A-303



3 WEST ELEVATION
A-303



4 EAST ELEVATION
A-303

NOTES

EXTERIOR FINISH SCHEDULE

- 1A STUCCO TYPE 1
- 1B STUCCO TYPE 2
- 2 BRICK PANELS
- 3 WHITE TIMBER BRACKETS AND FILLERS
- 4 STUCCO CONTROL JOINTS
- 5 ALUMINUM WINDOWS

1A	STUCCO TYPE 1
1B	STUCCO TYPE 2
2	BRICK PANELS
3	WHITE TIMBER BRACKETS AND FILLERS
4	STUCCO CONTROL JOINTS
5	ALUMINUM WINDOWS

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Holiday Inn Express Addition
Richmond, B.C. V6X 3G7

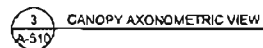
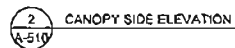
Client: Marquee Hotels Richmond Inc.

Project: Holiday Inn Express Addition
Location: Richmond, B.C.
Scale: 1/8" = 1'-0"
Date: June 2012
Drawn: [Name]
Checked: [Name]
Project Engineer: [Name]

A-303

Plan 12 June 05 2012
DP 11-595288

12/24/13	RECEIVED NEW YORK
12/26/13	SHAWNY KERRY POOL
12/28/13	CLUB GAMES / CHAMPIONS TO P
1/2/14/13	CLUB GAMES BY NEW CHAMPIONSHIP
1/2/14/13	CHAMPIONSHIP KERRY POOL
1/2/14/13	SHAWNY KERRY POOL
1/2/14/13	SHAWNY KERRY POOL
1/2/14/13	CLUB GAMES



K235-11800 NO. 8 ROAD, RICHMOND, BC V6X 5J7
By email: info@redthornarchitect.com
Or: 604-276-1212 Fax: 604-276-1411 www.redthornarchitect.com

Marquee Hotels Richmond Inc.

A-510

Plan 13 June 05 2012
DP 11-595288



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ARCHITECTS



Holiday Inn Express Addition
10688 No. 6 Road
DP 2011 595288

5 WINDOWS/FLASHING/
CAPPING
Color: Standard Brown

1A STUCCO (STO-Kenroc)
Texture: Fine
Color: Bed and Breakfast (BM CC-184)

1B STUCCO (STO-Kenroc)
Texture: Fine
Color: Sandpaper Beige (BM CC-368)

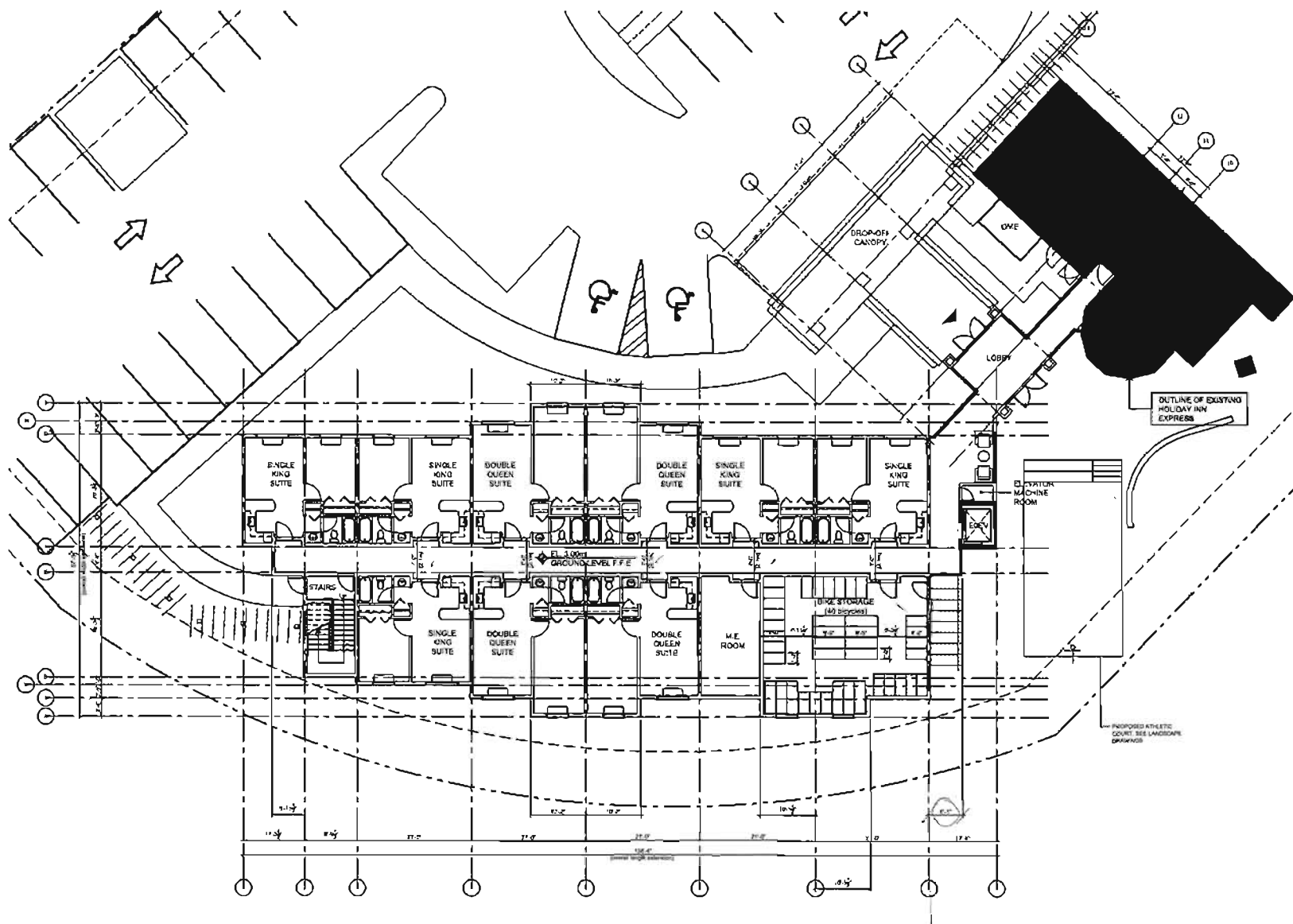
2 HARDI PANEL (James Hardie)
Texture: Smooth Color: Cobble Stone

3 TIMBER BRACKETS & TRELLIS
Color: Bryant Gold (BSA HC-7)

4 STUCCO CONTRAST UNITS
Color: Bryant Gold (BSA HC-7)

Plan 14 June 05 2012
DP 11-595288

NOTES:



1	EXISTING BUILDING
2	NEW BUILDING
3	EXISTING DRIVEWAY
4	NEW DRIVEWAY
5	EXISTING PARKING
6	NEW PARKING
7	EXISTING LANDSCAPE
8	NEW LANDSCAPE
9	EXISTING FENCE
10	NEW FENCE
11	EXISTING SIGNAGE
12	NEW SIGNAGE

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ARCHITECTS

4755 - LEXINGTON ROAD, RICHMOND, VA 23224
703-351-1111 FAX 703-351-1112 WWW.COTTERARCHITECTS.COM

Project:
Holiday Inn Express Addition
10000 Hwy 6 Road
Richmond, VA 23234

Client:
Marquee Hotels Richmond Inc.

DATE:	11/14/11
DESIGNED BY:	11/14/11
DATE:	11/14/11
DESIGNED BY:	11/14/11
DATE:	11/14/11
DESIGNED BY:	11/14/11

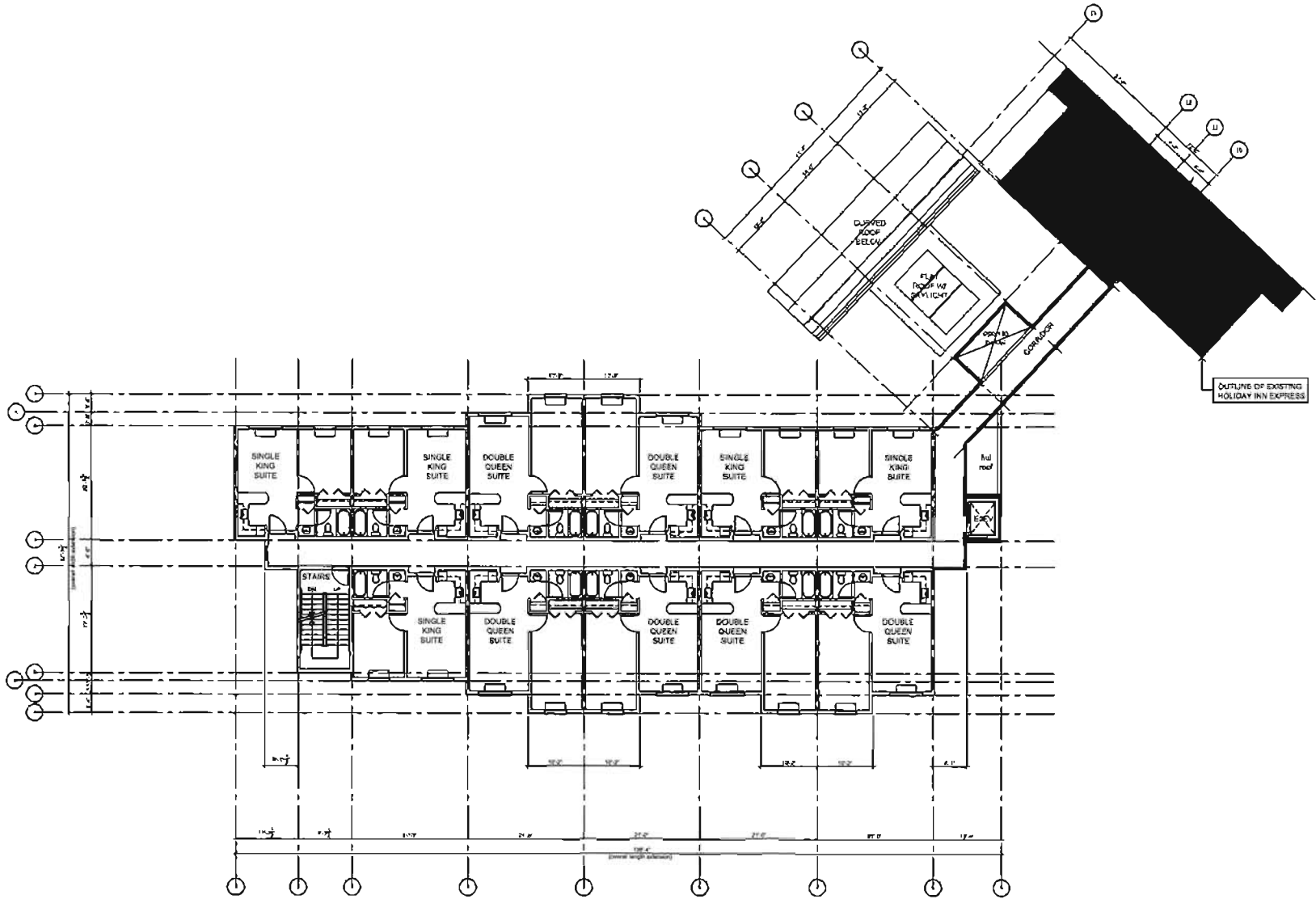
Ground Floor Plan



A-201

1 GROUND FLOOR LEVEL
A-201

Reference Plan June 05 2012
DP 11-595288



1/2/2/2	2/2/2/2	3/2/2/2	4/2/2/2	5/2/2/2	6/2/2/2	7/2/2/2	8/2/2/2	9/2/2/2	10/2/2/2	11/2/2/2	12/2/2/2	13/2/2/2	14/2/2/2	15/2/2/2	16/2/2/2	17/2/2/2	18/2/2/2	19/2/2/2	20/2/2/2	21/2/2/2	22/2/2/2	23/2/2/2	24/2/2/2	25/2/2/2	26/2/2/2	27/2/2/2	28/2/2/2	29/2/2/2	30/2/2/2	31/2/2/2	32/2/2/2	33/2/2/2	34/2/2/2	35/2/2/2	36/2/2/2	37/2/2/2	38/2/2/2	39/2/2/2	40/2/2/2	41/2/2/2	42/2/2/2	43/2/2/2	44/2/2/2	45/2/2/2	46/2/2/2	47/2/2/2	48/2/2/2	49/2/2/2	50/2/2/2	51/2/2/2	52/2/2/2	53/2/2/2	54/2/2/2	55/2/2/2	56/2/2/2	57/2/2/2	58/2/2/2	59/2/2/2	60/2/2/2	61/2/2/2	62/2/2/2	63/2/2/2	64/2/2/2	65/2/2/2	66/2/2/2	67/2/2/2	68/2/2/2	69/2/2/2	70/2/2/2	71/2/2/2	72/2/2/2	73/2/2/2	74/2/2/2	75/2/2/2	76/2/2/2	77/2/2/2	78/2/2/2	79/2/2/2	80/2/2/2	81/2/2/2	82/2/2/2	83/2/2/2	84/2/2/2	85/2/2/2	86/2/2/2	87/2/2/2	88/2/2/2	89/2/2/2	90/2/2/2	91/2/2/2	92/2/2/2	93/2/2/2	94/2/2/2	95/2/2/2	96/2/2/2	97/2/2/2	98/2/2/2	99/2/2/2	100/2/2/2
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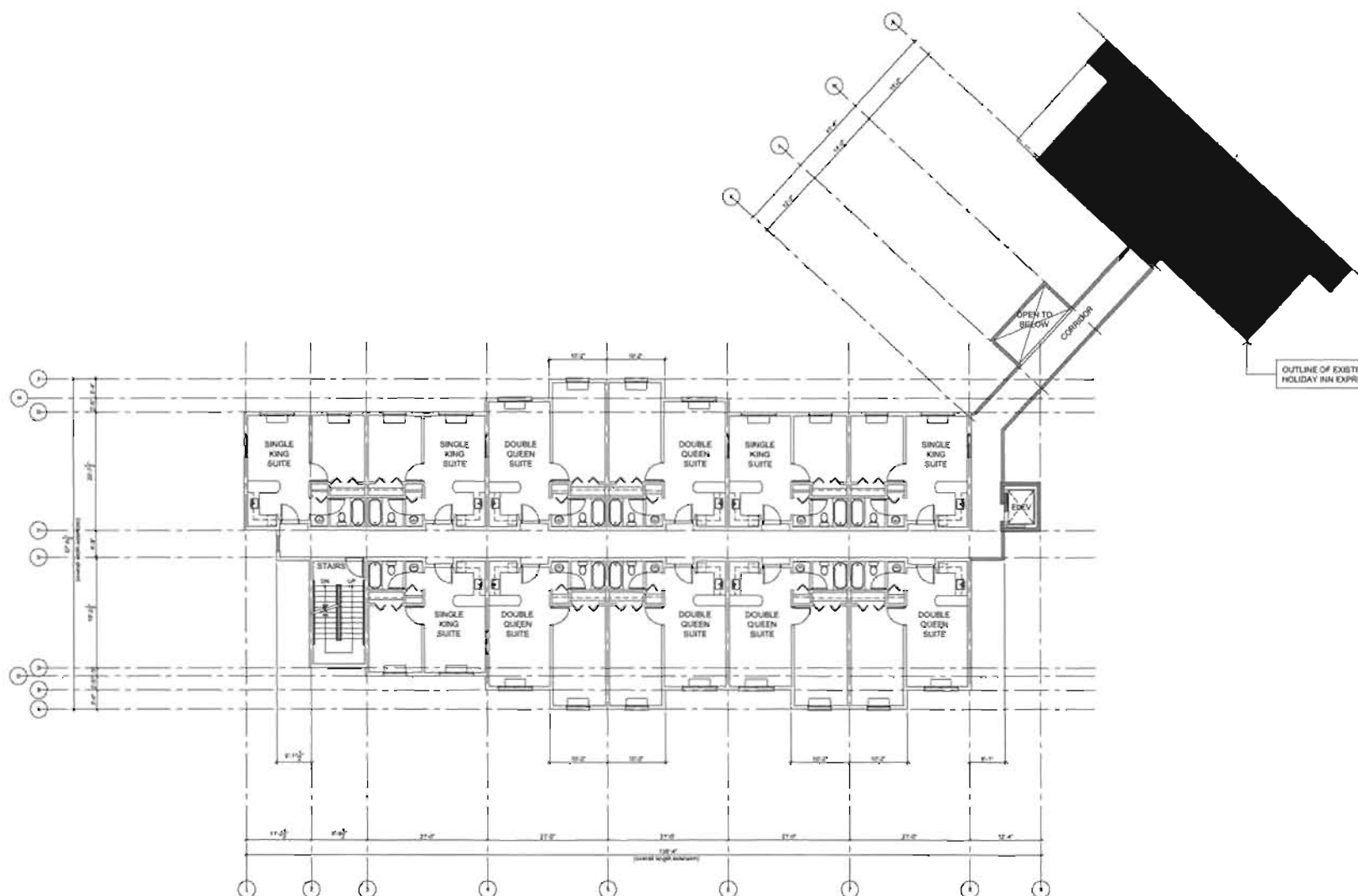
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8225 - 11300 NO. 3 ROAD, RICHMOND, BC V6X 4A9
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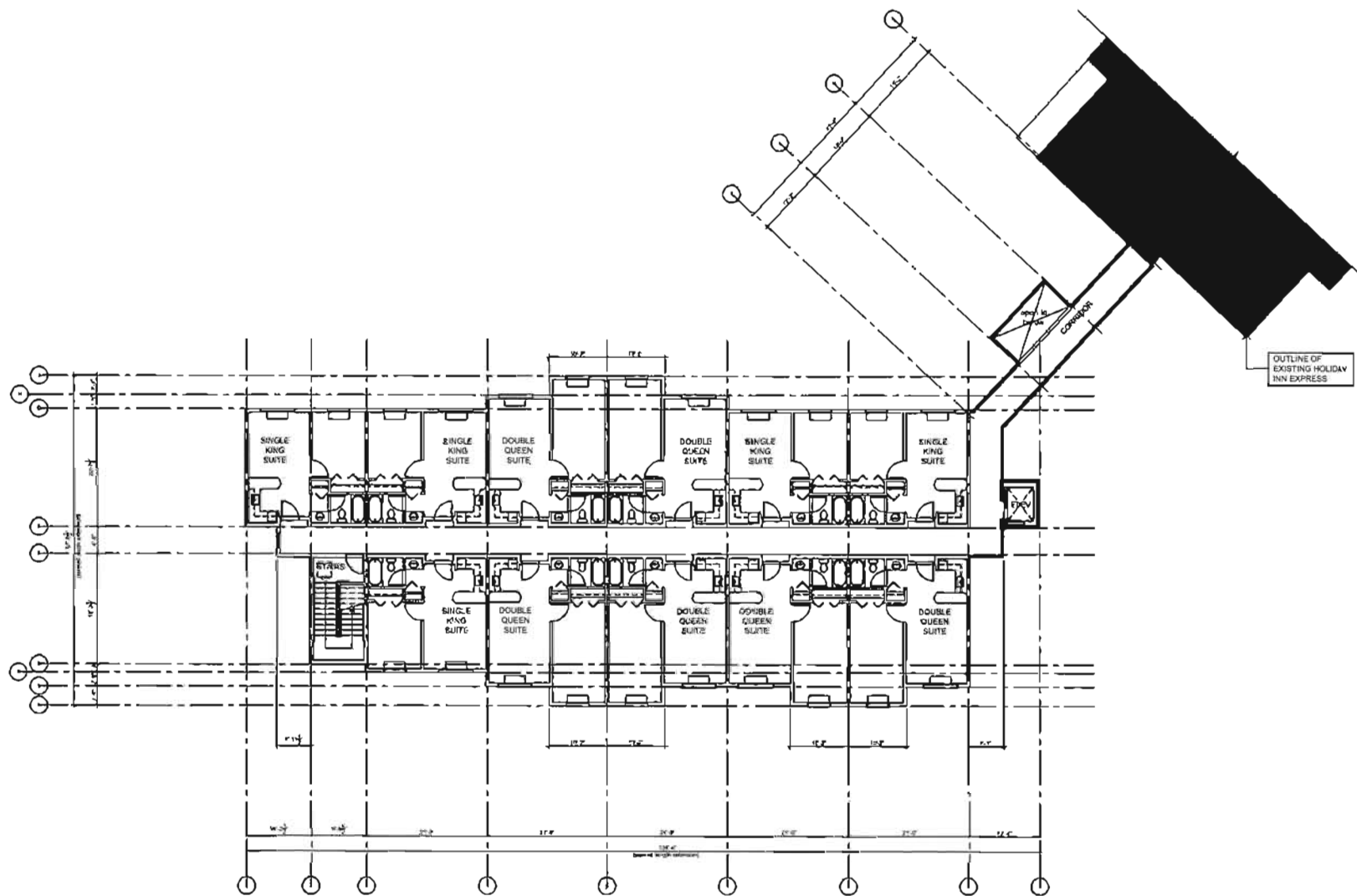
Holiday Inn Express Addition
11300 No. 3 Road
Richmond, B.C. V6X 4A9

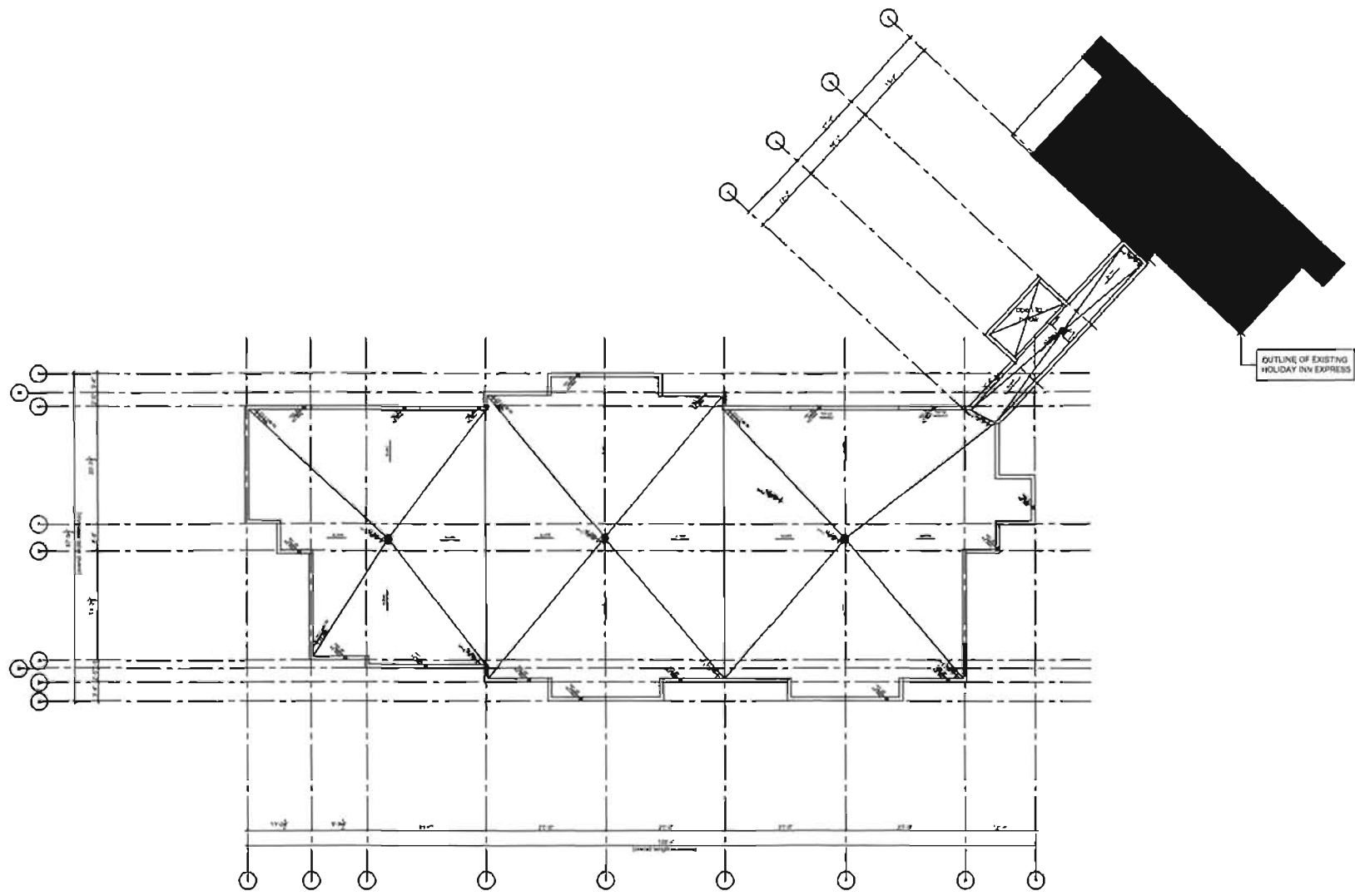
Marquee Hotels Richmond Inc.

Second Floor Plan
June 05 2012

Reference Plan June 05 2012
DP 11-595288







40PC

Project Name	Marquee Hotels Richmond
Project Address	11300 AGS Road, Richmond, BC V6V 5L7
Project Description	Hotel Addition
Project Phase	Design
Project Status	Approved
Project Date	June 05 2012
Project Drawn By	Architect
Project Checked By	Architect
Project Approved By	Architect
Project Scale	1:100
Project Sheet No.	1
Project Sheet Total	1

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Holiday Inn Express Addition
11300 AGS Road
Richmond, B.C. V6V 5L7

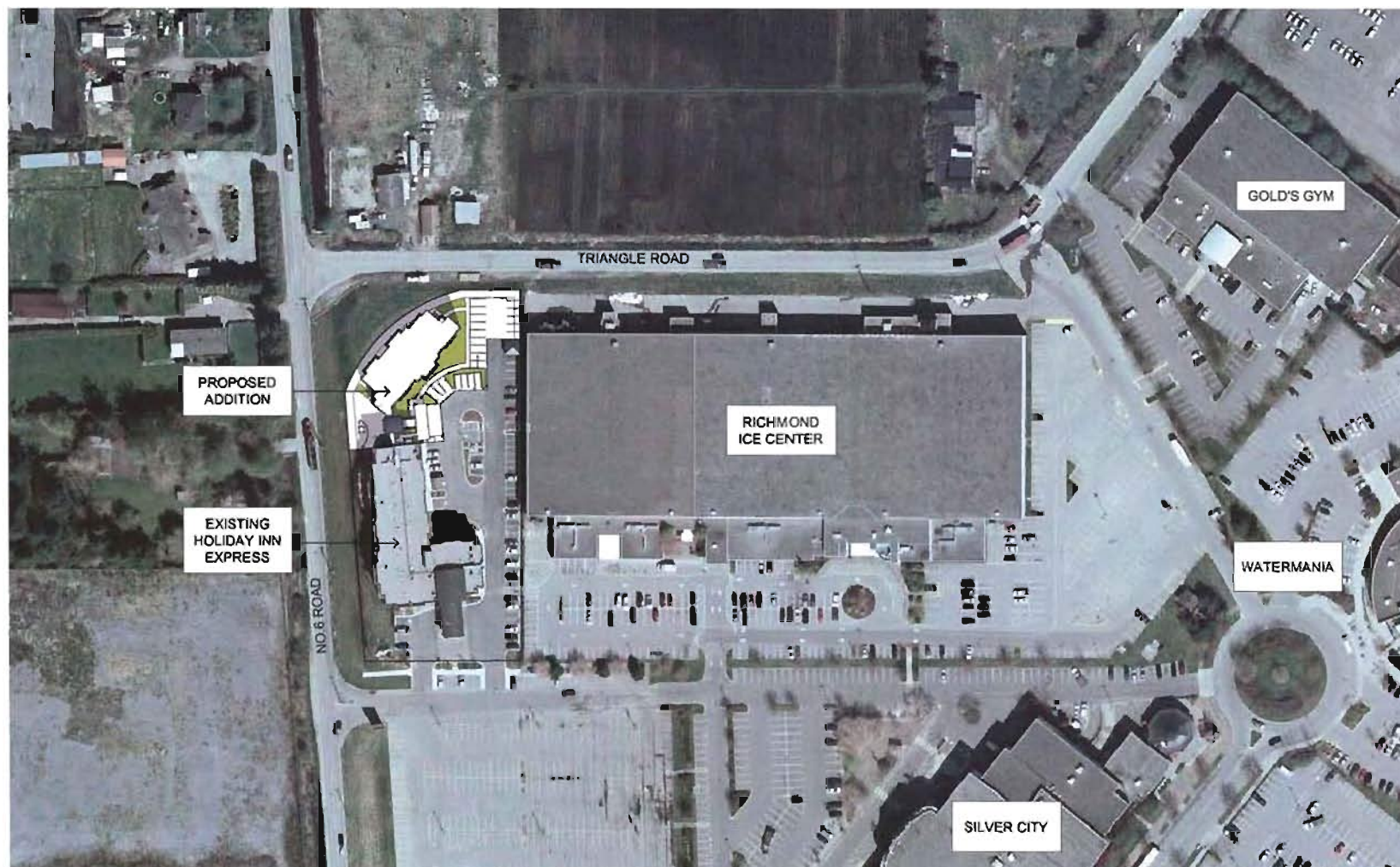
Marquee Hotels Richmond

Project Name	Marquee Hotels Richmond
Project Address	11300 AGS Road, Richmond, BC V6V 5L7
Project Description	Hotel Addition
Project Phase	Design
Project Status	Approved
Project Date	June 05 2012
Project Drawn By	Architect
Project Checked By	Architect
Project Approved By	Architect
Project Scale	1:100
Project Sheet No.	1
Project Sheet Total	1

Roof Plan



Reference Plan June 05 2012
DP 11-595288



DATE	DESCRIPTION
10/1/11	PRELIMINARY DESIGN
10/1/11	DESIGN DEVELOPMENT
10/1/11	SCHEMATIC DESIGN
10/1/11	CONCEPT DESIGN
10/1/11	PRELIMINARY DESIGN
10/1/11	DESIGN DEVELOPMENT
10/1/11	SCHEMATIC DESIGN
10/1/11	CONCEPT DESIGN
10/1/11	PRELIMINARY DESIGN
10/1/11	DESIGN DEVELOPMENT
10/1/11	SCHEMATIC DESIGN
10/1/11	CONCEPT DESIGN

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Holiday Inn Express Addition
11000 Yucca Road
Richmond, B.C. V6X 1E7

Client:
Marquee Hotels Richmond

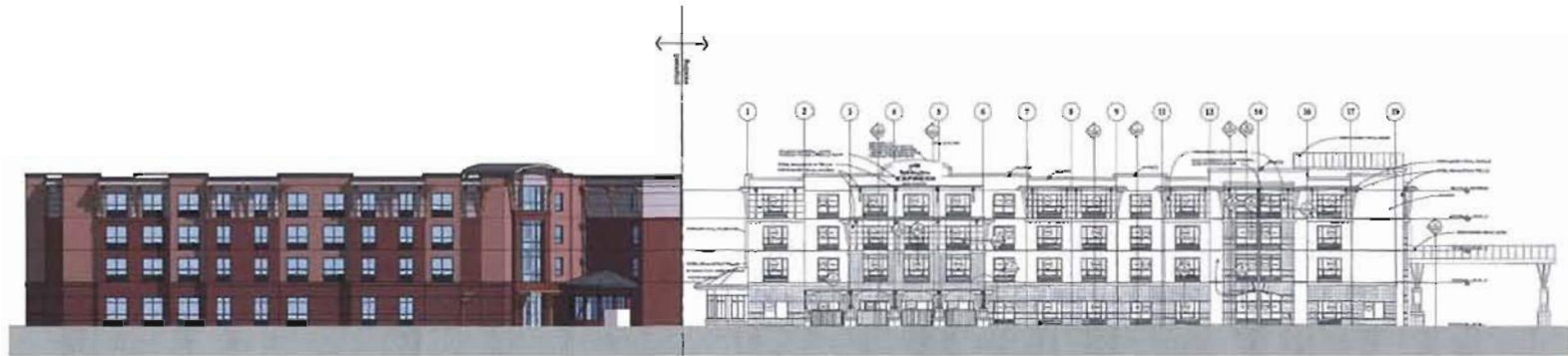
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10/1/11	PRELIMINARY DESIGN
10/1/11	DESIGN DEVELOPMENT
10/1/11	SCHEMATIC DESIGN
10/1/11	CONCEPT DESIGN
10/1/11	PRELIMINARY DESIGN
10/1/11	DESIGN DEVELOPMENT
10/1/11	SCHEMATIC DESIGN
10/1/11	CONCEPT DESIGN

Context Plan

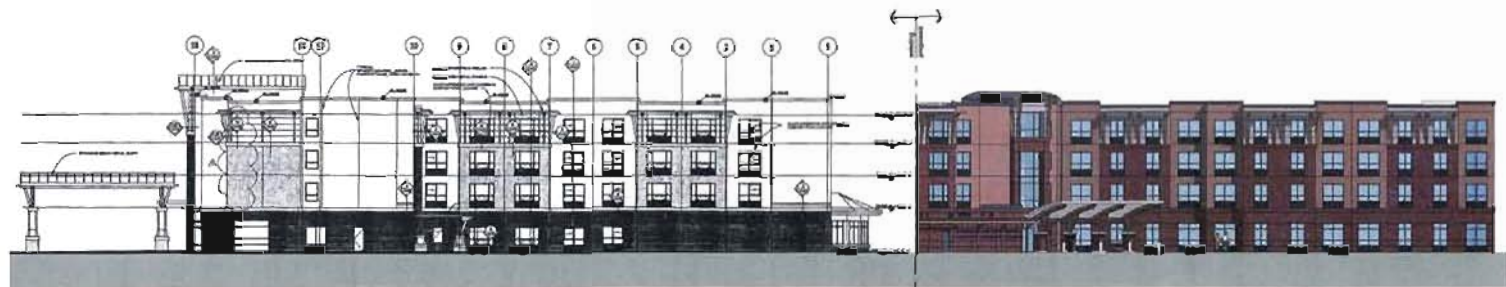


Reference Plan June 05 2012
DP 11-595288

NOTES:



① COMPARISON ELEVATION FACING WEST
1/16"=1'-0"



② COMPARISON ELEVATION FACING EAST
1/16"=1'-0"

1. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
2. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
3. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
4. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
5. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
6. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
7. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
8. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
9. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
10. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
11. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
12. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
13. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
14. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
15. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
16. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
17. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
18. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED
19. WINDOW TYPE: 1/2" x 3/4" DOUBLE GLAZED

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COTTER ARCHITECTS, INC.

PROJECT
Holiday Inn Express Addition
10000 Ave. E. Front
Anchorage, AK 99504

CLIENT
Marquee Hotels Pte

DATE: 05/05/12
DRAWN: JH
CHECKED: JH
SCALE: 1/16"=1'-0"
SHEET: 001
SHEET TITLE: Comparison Elev

Reference Plan June 05 2012
DP 11-595288



(A)



(B)



(C)



(D)



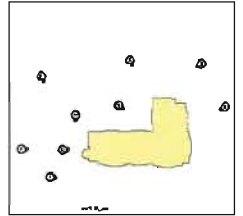
(E)



(F)



NOTES



DATE	10/05/2011
PROJECT	Holiday Inn Express Addition
CLIENT	Marquee Hotels Plc
DESIGNER	Cotter Architects
ARCHITECT	Cotter Architects
ENGINEER	Cotter Architects
LANDSCAPE	Cotter Architects
INTERIOR	Cotter Architects
MECHANICAL	Cotter Architects
ELECTRICAL	Cotter Architects
PLUMBING	Cotter Architects
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11300 No. 5 Road
Richmond, B.C. V6X 1J7

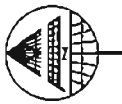
Marquee Hotels Plc

Reference Plan June 05 2012
DP 1-595288

A-003

Note:
Photos taken October 2011

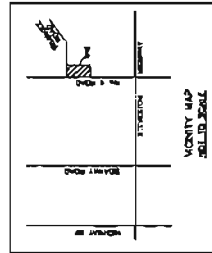
PAROLE BOARD (P.O.) 025-310-0000
CVC ADDRESS
#10668 NO. 5 ROAD
RICHMOND, B.C.

[illegible]

LEGEND

100% Cotton
100% Polyester
100% Nylon
100% Rayon
100% Silk
100% Wool
100% Leather
100% Rubber
100% Metal
100% Glass
100% Plastic
100% Paper

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