City of Richmond

Agenda

Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, June 24, 2020
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on June 10, 2020.

1. GENERAL COMPLIANCE – REQUEST BY CHRISTOPHER BOZYK ARCHITECTS LTD. FOR A GENERAL COMPLIANCE RULING AT 4331 VANGUARD ROAD (FORMERLY 4331 AND 4431 VANGUARD ROAD)

(File Ref. No.: DP 17-782793) (REDMS No. 6463441)

APPLICANT:	Christopher Bozyk Architects Ltd.
PROPERTY LOCATION:	4331 Vanguard Road (formerly 4331 and 4431 Vanguard Road)

Director's Recommendations

That the attached plans to change the location of the proposed green wall feature and add new sustainability features be considered to be in General Compliance with the approved Development Permit (DP 17-782793).

2. DEVELOPMENT PERMIT 18-797127

(REDMS No. 6472575)

APPLICANT:	Wensley Architecture Ltd.
PROPERTY LOCATION:	8131 Westminster Highway

ITEM

Director's Recommendations

That a Development Permit be issued which would permit the construction of a high-rise mixed-use development containing approximately 436 m^2 (4,695 ft^2) of commercial space, 641 m^2 (6,904 ft^2) of office space, and 134 dwellings (including 13 affordable housing units) at 8131 Westminster Highway on a site zoned "Downtown Commercial (CDT1)".

3. DEVELOPMENT PERMIT 19-858597

(REDMS No. 6245695)

APPLICANT: 0855855 B.C. Ltd.

PROPERTY LOCATION: 9820 Alberta Road

Director's Recommendations

That a Development Permit be issued which would:

1. ***permit the construction of six townhouse units at 9820 Alberta Road on a site zoned "Town Housing (ZT60)- North McLennan (City Centre)"; and***
2. ***vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum east side yard setback from 3.0 m to 2.25 m.***

4. New Business

5. Date of Next Meeting: July 15, 2020

ADJOURNMENT

City of Richmond

Minutes

Development Permit Panel
Wednesday, June 10, 2020

Time:	3:30 p.m.
Place:	Council Chambers Richmond City Hall
Present:	Joe Erceg, Chair Cecilia Achiam, General Manager, Community Safety Milton Chan, Director, Engineering

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded
That the minutes of the meeting of the Development Permit Panel held on May 27, 2020 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 19-876647
(REDMS No. 6473769)

APPLICANT:	Easterbrook Milling Co. Ltd.
PROPERTY LOCATION:	17720 River Road

INTENT OF PERMIT:

1. Permit the construction of a single detached house at 17720 River Road on a site zoned "Agriculture (AG1)" and designated as an Environmentally Sensitive Area (ESA); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum farm house footprint from 60% to 72% of the maximum floor area to accommodate a secondary suite on the ground floor for farm workers and immediate family.

Gallery Comments

None.

Correspondence

John Roston, 12262 Ewen Avenue (Schedule 1)

Wayne Craig, Director, Development, noted that Mr. Roston provided background information on previous Council decisions regarding house size on Agricultural Land Reserve (ALR) areas and expressed his general support for the proposed variances in the applicant's original submission.

Richmond FarmWatch (Schedule 2)

Mr. Craig noted the organization's acknowledgement of the applicant as a long-term bona fide farmer in Richmond and their expression of support for the proposed variances in the applicant's original submission. He added that the organization expressed concern regarding the legal agreement that would restrict occupancy of the secondary suite to foreign farm workers. In response to this concern, he confirmed that the legal agreement that would be secured as a condition for approval of the subject application does not deal whatsoever with the immigration status of farm workers.

In reply to a query from the Panel, Mr. Craig confirmed that staff is recommending that the legal agreement allow occupancy of the secondary suite to either farm labourers working on a farm operation associated with the subject site or the immediate family of the property owner.

Panel Discussion

The Panel expressed support for the proposed changes to the applicant's original submission, noting that (i) there have been extensive discussions and debates in the community regarding farm house size where different views were expressed, and (ii) the application will move forward for Council consideration.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. ***permit the construction of a single detached house at 17720 River Road on a site zoned "Agriculture (AG1)" and designated as an Environmentally Sensitive Area (ESA); and***
2. ***vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum farm house footprint from 60% to 72% of the maximum floor area to accommodate a secondary suite on the ground floor for farm workers and immediate family.***

CARRIED

2. Date of Next Meeting: June 24, 2020

3. Adjournment

It was moved and seconded
That the meeting be adjourned at 3:36 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, June 10, 2020.

Joe Erceg
Chair

Rustico Agawin
Committee Clerk

Schedule 1 to the Minutes of the Development Permit Panel meeting held on Wednesday, June 10, 2020.

To Development Permit Panel
Date: JUNE 10, 2020
Item # 1
Re: DP 19-876647

From: CityClerk
Sent: Tuesday, 9 June 2020 09:01
To: Agawin,Rustico Romualdo
Subject: FW: Easterbrook Variance Application - Development Permit Panel

From: Powell, Jo Anne <JPowell@richmond.ca>
Sent: June 9, 2020 8:37 AM
To: CityClerk <CityClerk@richmond.ca>
Subject: FW: Easterbrook Variance Application - Development Permit Panel

FYI

From: Erceg,Joe <JErceg@richmond.ca>
Sent: June 5, 2020 12:28 PM
To: Craig,Wayne <WCraig@richmond.ca>; O'Halloran,Matthew <MOHalloran@richmond.ca>
Cc: Capuccinello Iraci,Tony <ACapuccinelloiraci@richmond.ca>; Powell, Jo Anne <JPowell@richmond.ca>
Subject: Fwd: Easterbrook Variance Application - Development Permit Panel

FYI.

Sent from my iPhone

Begin forwarded message:

> **From:** "John Roston, Mr" <john.roston@mcgill.ca>
> **Date:** June 5, 2020 at 11:50:22 AM PDT
> **To:** "Brodie, Malcolm" <MBrodie@richmond.ca>, "McNulty,Bill" <BMcNulty@richmond.ca>, "McPhail,Linda" <LMcPhail@richmond.ca>, "Loo,Alexa" <ALoo@richmond.ca>, "Steves,Harold" <hsteves@richmond.ca>, "Au,Chak" <CAu@richmond.ca>, "Day,Carol" <CDay@richmond.ca>, "Greene,Kelly" <kgreene@richmond.ca>, "Wolfe,Michael" <MWolfe@richmond.ca>
> **Cc:** "Erceg,Joe" <JErceg@richmond.ca>, "Konkin,Barry" <BKonkin@richmond.ca>, Steve Easterbrook <petrioche@gmail.com>
> **Subject: Easterbrook Variance Application - Development Permit Panel**
>
> Dear Mayor and Councillors,
> As you will recall, one of the commitments made to genuine farmers during the great ALR house size debate was that every effort would be made to accommodate any reasonable variances they might request for residence construction and that those requests would be expedited. Stephen Easterbrook is one of those farmers who spoke against limiting ALR house size. He has now applied for two variances and it appears that the Development Permit Panel is not taking into consideration the fact that he is a genuine farmer and the Panel is rather applying a very strict interpretation of the bylaws.
>
> The height restrictions were intended to ensure that additional living space was not added. In this

case, he appears to be requesting a variance for a chimney and a style of roof. The other variance is to accommodate a secondary suite, primarily for farm workers, on the ground floor which increases the ground floor ratio from 60% to 72% although the overall house size is within the 400m2 limit. Neither of these requests appears to be designed to increase the value of the property when it is sold, but rather to meet his needs while he continues farming for the foreseeable future.

While I didn't attend the Development Permit Panel meeting and can only rely on the minutes, it appears that the Panel's focus was on how to alter the house to eliminate the need for variances rather than to allow Mr. Easterbrook to build the house he wants and will best fit his needs. For instance, the Panel would like to limit use of the secondary suite to farm workers although the foreign farm workers in question are only permitted to be in the country for a maximum of eight months in the year.

If Council does not wish the Development Permit Panel to have the leeway of treating requests from genuine farmers differently than requests from developers then the Panel should suggest that the farmer take his case to Council and ask it to override the Panel's decision and grant the variances. It doesn't make sense to waste both the Panel's and Mr. Easterbrook's time on the current process.

John Roston
12262 Ewen Avenue
Richmond, BC V7E 6S8
Phone: 604-274-2726

RICHMOND
FARMWATCH

Schedule 2 to the Minutes of the Development Permit Panel meeting held on Wednesday, June 10, 2020.

To Development Permit Panel
Date: JUNE 10, 2020
Item # 1
Re: DP 19-876647

June 5, 2020

Your Worship, Mayor Brodie and Councillors,

Farmers throughout Richmond have learned that a local, long-term bona fide farmer of 17720 River Road has been asked by the Development Permit Panel to sign a restrictive covenant.

An email from Stephen Easterbrook states that this restrictive covenant is required as a condition of building a new home with a secondary suite to house foreign farmworkers.

We have significant concerns about this request and see it as unreasonable and as over-reach on the part of the Development Permit Panel.

The farmer is requesting two minor variances which will help facilitate the functioning and viability of his farm. It's clear that he has taken extensive efforts at significant costs to comply with all City requirements including keeping his proposed home, which includes farm worker housing in the home, within the 400m2 house size limit.

The glaring concern is the covenant being required to assure that the suite within the home only be occupied by foreign farm workers. In the case they may be seasonal workers, under the Federal Seasonal Agricultural Worker program, foreign farm workers are prohibited from staying in Canada more than eight months. https://www.canada.ca/en/immigration-refugees-citizenship/services/work-canada/permit/agricultural-workers-work-temporarily.html

A farmer, during these months may need to use the suite for other purposes that suit the farm. In the case of longer term non-seasonal farm workers, why only foreign workers? What if extended family wishes to work on the farm, or local farm workers or farm workers from another province? Also there are any number of reasons such as aging, disabilities or extended family circumstances that a farmer, or any homeowner, may need to use a suite in their home. Secondary permanent dwellings have been conditional to farm use, but never secondary suites in the primary residence.

We are asking that you review this very concerning matter and ensure that the Development Permit Panel understands that Council promised farmers, after extensive consultation including several public hearings, that farmers would be able to build to suit their needs.

Council implemented farm house size limits to stop speculators and investors. This was never intended to cause hardship to farmers in their living and farming activities. It is your responsibility to ensure the Development Permit Panel give farmers the flexibility they might need.

Yours sincerely,
Richmond FarmWatch
Richmondfarmwatch@gmail.com
604-723-3686

City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	June 2, 2020
From:	Wayne Craig Director, Development	**File:**	DP 17-782793
Re:	**Application by Christopher Bozyk Architects Ltd. for a General Compliance to Development Permit (DP 17-782793) at 4331 Vanguard Road (formerly 4331 and 4431 Vanguard Road)**		

Staff Recommendation

That the attached plans to change the location of the proposed green wall feature and add new sustainability features be considered to be in General Compliance with the approved Development Permit (DP 17-782793).

Wayne Craig
Director, Development
(604-247-4625)

JR:blg
Att. 3

Staff Report

Origin

Christopher Bozyk Architects Ltd. has requested a General Compliance ruling regarding changes to the approved Development Permit (DP 17-782793) for a three-storey, 8,576 m^2 commercial industrial development at 4331 Vanguard Road (formerly 4331 and 4431 Vanguard Road) on a site zoned "Industrial Retail (IR1)" (Attachment 1). The project entails a vehicle storage and repair facility, showroom, and car wash. The Development Permit was endorsed by the Development Permit Panel on August 29, 2018, and was issued with the associated Zoning Text Amendment Bylaw (ZT 16-740866) adopted by Council on February 25, 2019.

The requested General Compliance ruling is related to the proposed relocation of a green wall feature on the south elevation of the building. The attached plans show the proposed relocation and the addition of new sustainability features.

Background

Development surrounding the subject site is as follows:

- To the North and East: Medium sized industrial lots (0.12 ha to 0.25 ha) (0.3 ac. to 0.6 ac.) all zoned "Industrial Retail (IR1)" and used for various general industrial purposes (auto repair, equipment rental shops, roofing and woodworking facilities, home interior products, etc.).
- To the South: An east-west leg of Vanguard Road and Highway 99.
- To the West: Shell Road, the Shell Road rail corridor and Highway 99.

Staff Comments

The proposed changes to the plans attached to this report are in general compliance with the original approved Development Permit (Attachment 2). In addition, the modified proposal (Attachment 3) complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the "Industrial Retail (IR1)" zone, except for the building height variance included in the original Development Permit.

Analysis

Proposed Changes to the Green Wall Feature

- The approved Development Permit includes a 90.6 m^2 (975 ft^2) feature green wall on the south elevation of the building, which frames the building entrance. The planting material covers a portion of this wall, with the remainder clad in black metal panels.
- The proposed revisions would relocate the green wall to the west elevation and reduce the area to 54.8 m^2 (580 ft^2). The proposed black metal panels would be extended across the entrance wall in place of the plantings. These changes to the entry are proposed to bring the development in line with the corporate branding standard of the occupant.

- No change to the planting material in the green wall is proposed. The applicant has confirmed that reduced area of the green wall continues to provide an environmental benefit to the site.
- The City is holding a $148,500 Landscape Security for the installation of the original proposed green wall based on a cost estimate provided by the applicant. A new security is not required.

Environmental Sustainability

- The approved Development Permit for this site incorporated a number of sustainability initiatives in addition to the aforementioned green wall. A 586 m^2 (6,309 ft^2) green roof composed of sedum tiles will be installed over the showroom roof to help reduce heat island effect. On-site storm water management will be used to collect and store surface storm water for use in on-site irrigation. New landscaping is provided on all three frontages and within the parking area, and includes 35 new trees. Finally, rooftop solar panels are included to help offset the electrical demand.
- To compensate for the reduction in area of the green wall, two new sustainability initiatives are proposed: an apiary and EV charging stations.
- An apiary consisting of two beehives is proposed in the landscaped area on the west side of the site. The applicant has indicated that additional hives may be added, and that the apiary will be maintained by the owner with honey harvesting performed annually.
- The approved landscape plan has an emphasis on flowering plant species appropriate for pollinators. The landscape design is intended to recreate a wildflower meadow, and the proposed apiary would be located in the largest landscaped area.
- The proposed apiary and pollinator-friendly landscaping advance the City's objectives of supporting urban agriculture and strengthening the local food system. The proposal also aligns with the recently launched "Richmond Nectar Trail," which encourages residents and businesses to plant pollen-rich plants enabling bees and other pollinators to traverse the city.
- The City is holding a $268,172.26 Landscape Security for the on-site landscaping based on the landscape plan and cost estimate provided by the applicant. The proposed apiary has been added to the landscape plan, and a new security is not required.
- Two publicly accessible electric vehicle charging stations are proposed, which would provide Level 2 charging to a total of four vehicles. These charging stations are shown on the site plan next to the entry plaza.

Conclusions

Christopher Bozyk Architects Ltd. has requested a General Compliance ruling for proposed changes to a green wall feature and the addition of new sustainability features.

Staff have no objection to the proposed changes. Staff recommend support of this General Compliance request for the proposed changes to the approved Development Permit.

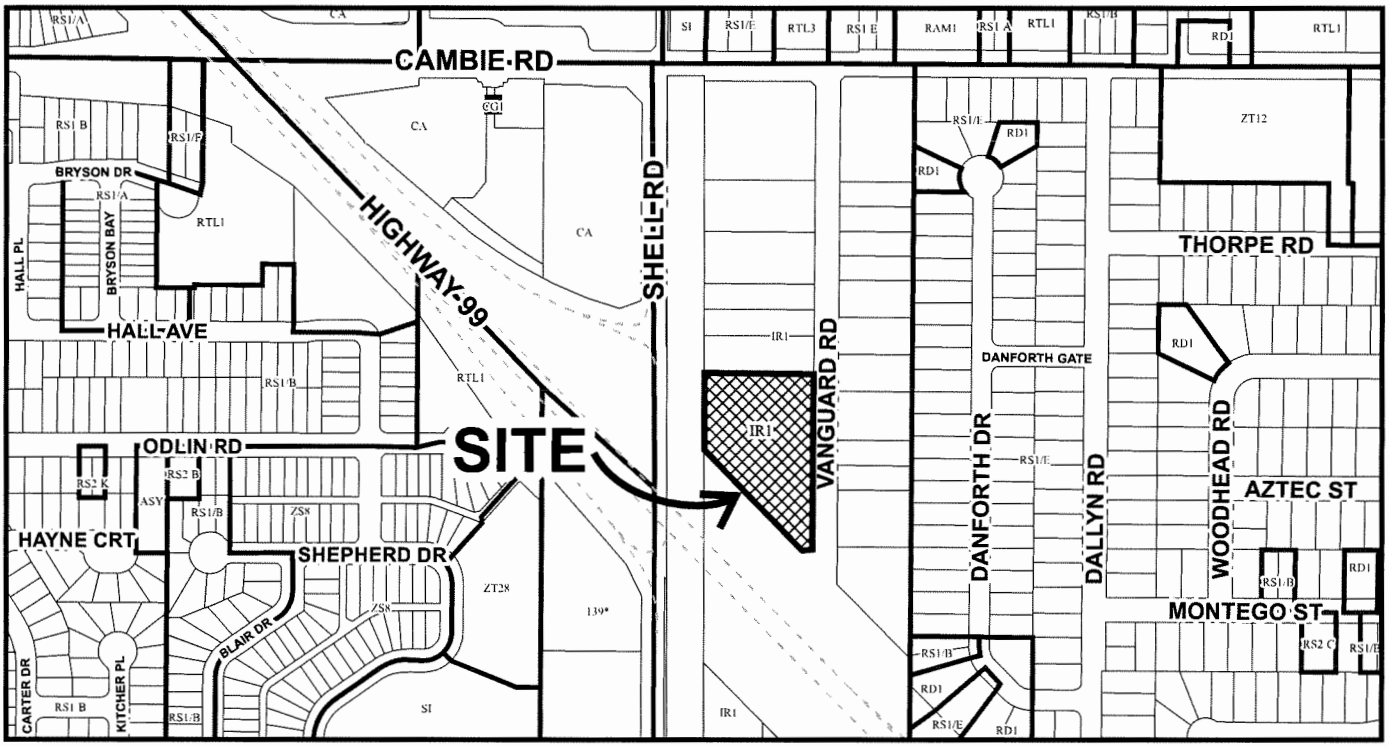
Jordan Rockerbie
Planner 1
(604-276-4092)

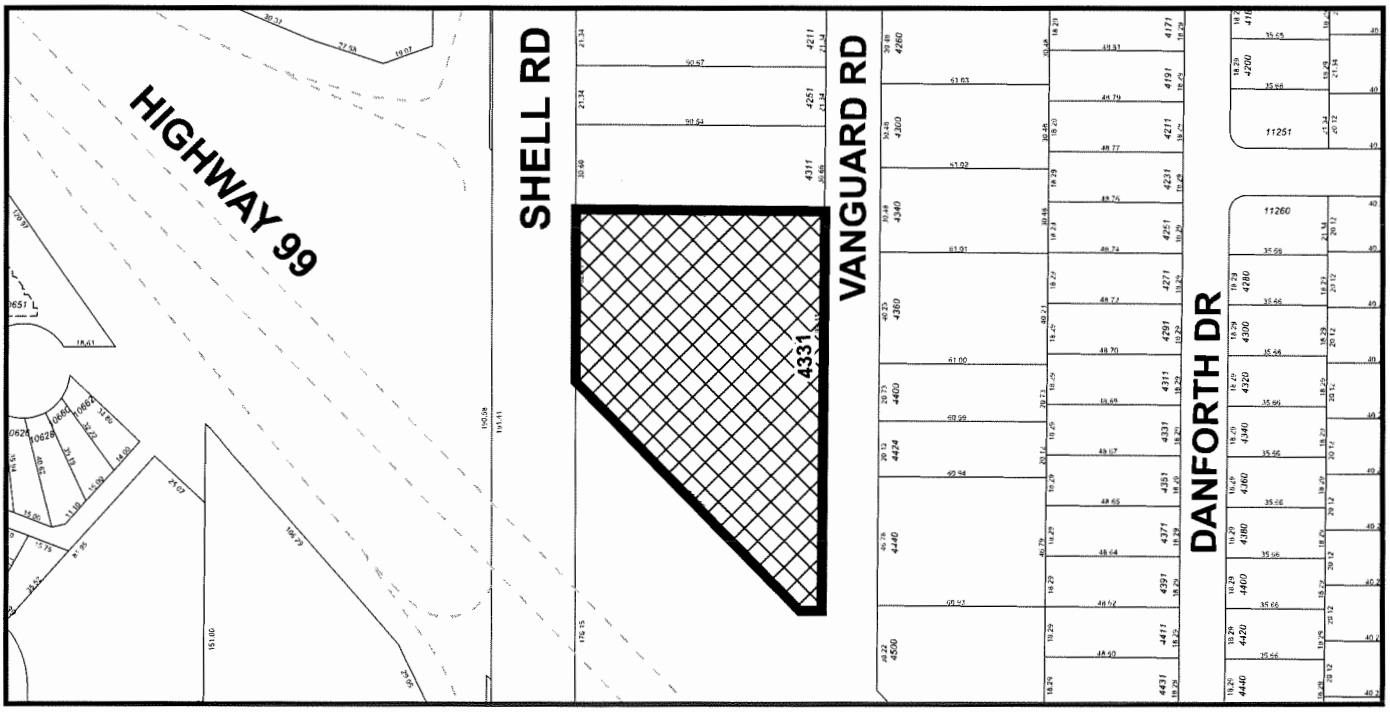
JR:blg

Attachments:
Attachment 1: Location Map
Attachment 2: Relevant Approved Development Permit Plans
Attachment 3: Proposed New Development Permit Plan

City of Richmond

ATTACHMENT 1



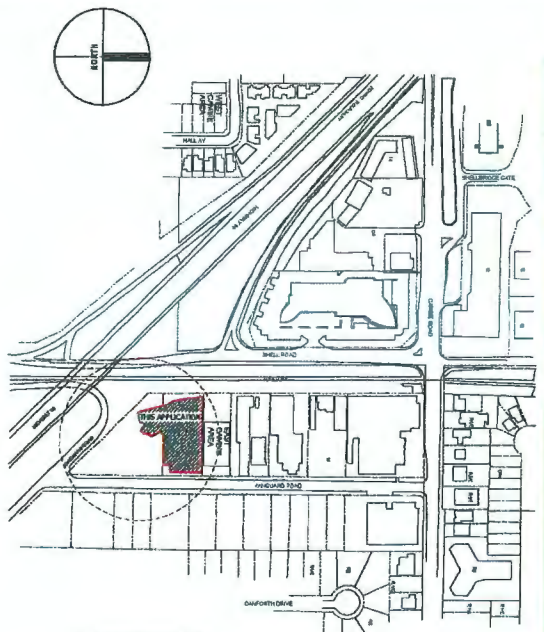


DP 17-782793

Original Date: 01/28/20

Revision Date:

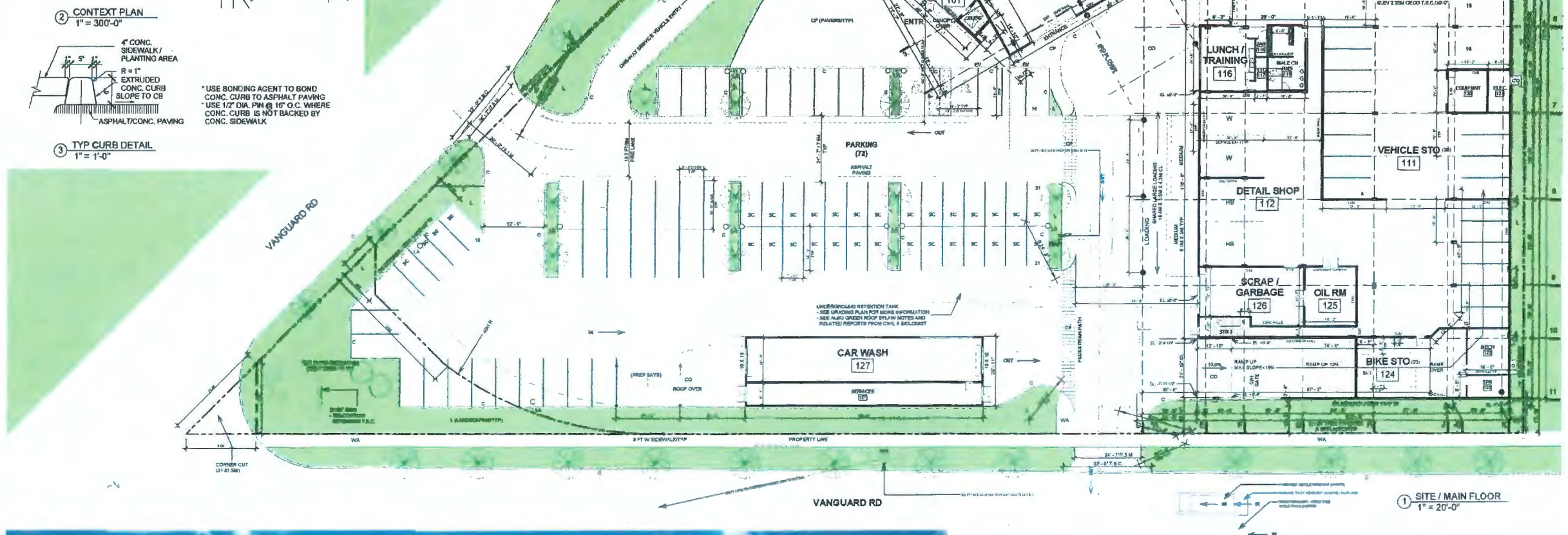
Note: Dimensions are in METRES



② CONTEXT PLAN
1" = 300'-0"

③ TYP CURB DETAIL
1" = 1'-0"

* USE BONDING AGENT TO BOND CONC. CURB TO ASPHALT PAVING
* USE 1/2" DIA. PIN @ 16" O.C. WHERE CONC. CURB IS NOT BACKED BY CONC. SIDEWALK



① SITE / MAIN FLOOR
1" = 20'-0"

④ VIEW FROM SOUTH WEST

GENERAL LEGEND:

	EXIST GRADE ELEV	F	8 FT H CHAINLINK FENCE W/ GATES
	NEW GRADE ELEV T.B.C	G	GAS METER T.B.C.
	SIAMESE/FD CONNECTION	H	EXIST MUNICIP FIRE HYDRANT HPN = NEW FIRE HYDRANT HPNP = NEW PRIVATE HYDRANT
A	ANNUNCIATOR PANEL		
BI-1	BIKE PARKING - LOCKABLE (CLASS 1)	HB	HOLDING BAY
BI-2	BIKE PARKING - RACKS (CLASS 2)	L	LANDSCAPING AREA - SEE LANDSCAPE DWGS
C	NEW CONC. CURB CE = EXIST CURB	LA	LAMP STANDARD
CO	CONC PAVING - SEE ALSO NOTES, LSCAPE DWGS	PP	EXIST POWER POLE
		PMT	PAD MOUNTED TRANSFORMER
CP	CONC UNIT PAVERS - SEE LANDSCAPE DWGS	TD	TRENCH DRAIN
DC	DROP CURB TO CODE	T.B.C.	TO BE CONFIRMED
EV	ELEC. VEHICLE CHARGING	WA	CONC WALK
		W	WASH BAY

OBTAINED APPROVALS:
- ENVIRONM. REMEDIATION / MOE RELEASE:
  REZ & DP RELEASE OBTAINED (LTR OF MAR 14 2017)
- MOE PRELIMINARY DETERMINATION OF NON-CONTAMINATION (LTR OF APR 12 2018)

PENDING APPROVALS/DOCUMENTATION:
- REZONING TEXT AMENDMENT (APPL #ZT 16-740866):
  IN PROGRESS - CONSOLIDATION AWAITED
- CONSOLIDATION/SUBDIVISION/COVENANT OF LOTS 21 & 22/ROAD DEDICATION, SRW REGISTRATION:
  IN PROGRESS

DP VARIANCE APPLICATION:
MAX BLDG HEIGHT OF 12 M TO BE INCREASED TO 12.65 M FOR SHOWROOM ROOF, 12.94 M FOR SHOWROOM WALLS AND 14.17 M FOR ENTRANCE WALL & SHOWROOM ROOF EQUIPMENT & SCREENS - SEE ALSO ELEVATIONS

FENCE DETAILING & IMAGE: SEE A.2.1

LEGAL DESCRIPTION:
LOT 21, PL 22601 AND LOT 22, PLAN 23693, BOTH OF SECTION 36, BL 5 NORTH, RANGE 6 WEST, NEW WESTMINSTER DISTRICT

CIVIC ADDRESS:
4431 & 4331 VANGUARD ROAD, RICHMOND, BC

SURVEY INFORMATION:
CAMERON LAND SURVEYING LTD.
B.C. LAND SURVEYORS
UNIT 206 - 16055 FRASER HIGHWAY, SURREY, B.C. V4N 0G2 PHONE: 604-597-3777
FAX: 604-597-3783 FILE: 5812-TP

CHRISTOPHER BOZYK ARCHITECTS LTD
414 - 611 ALEXANDER STREET VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3848

WALES McLELLAND CONSTRUCTION

GENERAL NOTES:
- PROPOSED DEVELOPMENT TO COMPLY WITH CITY OF RICHMOND OFFICIAL COMMUNITY PLAN, APPLICABLE ZONING AND BUILDING BYLAWS AND BC BUILDING CODE 2012
- BYLAW 9385 COMPLIANCE - PER ATTACHMENT 2 (100 POINTS) METHOD: STORM WATER MANAGEMENT: SEE CIVIL DRAWINGS/REPORT WATER FROM RETENTION TANK UTILIZED FOR IRRIGATION & CAR WASH LANDSCAPING MEASURES: SEE LANDSCAPE DRAWINGS
- LANDSCAPE DESIGN & GREEN ROOF: SEE LANDSCAPE DRAWINGS
- EXTERNAL GRADES TO SLOPE AWAY FROM BLDG 2% RECOMMENDED
- CONC PADS/PAVING 4" THICK, TYP. EXIT DOOR PAD 48" X 48" MOVEMENTS JOINTS @ MAX. 7' 0" O.C. / PATTERNS T.B.C. BY ARCHITECT. FINISH: BROOM TEXTURED W/ SMOOTH ROUNDED EDGING
- GAS METER: CONC. SLAB, FENCE ENCLOSURE & PROTECTION BOLLARDS - AS APPLICABLE - TO TERASEN GAS SPECIFICATIONS
- TRANSFORMER: CONC SLAB & PROTECTION BOLLARDS TO BC HYDRO SPECIFICATIONS. SEE ALSO ELECTRICAL DRAWINGS
- FIRE LANE: PAVING DESIGN TO ENSURE FIRE TRUCK LOADING PER CCR REQUIREMENTS/60,000 GVW RATING, NOTIFICATION SIGNAGE TO BE POSTED TO FD'S REQUIREMENTS & APPROVAL
- FD ADDRESSING: TO BE VISIBLE FROM STREET APPROACH & OF CONTRASTING COLOUR, FD CONNECTION & PRIVATE HYDRANT: IN COMPLIANCE W/ NFPA & BCBC
  - INDICATION ON DWGS PER PRIOR CONSULTATION W/ FD
- SITE SECURITY LIGHTING/LAMP STANDARDS: LIGHTING TO BE DOWN-WARD FOCUSED, TO MITIGATE LIGHT POLLUTION
- ALL PARKING LINES TO BE PAINTED AS SHOWN, SPACES FOR THE DISABLED TO BE CLEARLY MARKED BY A PAINTED WHEELCHAIR SYMBOL & COMPLIANT SIGN
- NEW CONC. DRIVEWAY CROSSINGS AND CURB RAMPS TO SECTION 3 BCBC 2012 AND CITY STANDARDS

STATISTICS:

ZONING:	IR1 (INDUSTRIAL RETAIL)
USE (PERMITTED):	VEHICLE STORAGE (252 UNITS)
ACCESSORY USES:	PRE-OWNED VEHICLE REPAIR PRE-OWNED VEHICLE SALES
SITE AREA (RD DEDICATION DEDUCTED)	100,145 SF / 4,54 A
COVERAGE (MAX 60%):	47,295 SF / 47.2%
FSR (2ND OPEN DECK EXCL)(MAX 1.00):	92,310 SF / 0.92
GROSS FLOOR AREAS:	
MAIN FL - WORKSHOP AND VEHICLE STO:	37,390 SF
- CAR WASH:	2,320 SF
2ND FL - VEHICLE STO & ROOFED RAMP:	39,925 SF
3RD FL - SHOWROOM (8.02% / GFA - MAX 10%):	10,015 SF
- LOBBY & ROOFED RAMP:	2,660 SF
- VEHICLE STO & PARKING (OPEN DECK):	29,835 SF
GROSS TOTAL:	122,145 SF (11,347 SM)
HEIGHT (MAX 12M - 6SE VARIANCE APPLICATION):	46 FT / 14.02 M
SETBACKS:	
REAR SETBACK NORTH (0 M):	5 FT / 1.5 M
STREET SETBACK EAST (3.0 M):	12.5 FT / 3.8 M
SIDE SETBACK WEST (0 M):	10.25 FT / 3.1 M
FRONT SETBACK SOUTH (3.0 M):	19.33 FT / 5.9 M
PARKING:	
REQUIRED:	108
WORK SH, DETAIL SH, SERVICE, ENTR, CAR WASH (REQ'D 31,745@1/1,076=30 + 16 BAYS/DO=48 + 2 WASH BAYS X1=2: 80)	
SHOWROOM (REQ'D 10,015@3/1,075=28)	
MAIN, 2ND, 3RD FL VEHICLE STORAGE NA	
PROVIDED:	108
SMALL CARS INCL. (MAX 50%):	54/50%
HC SPACES INCL. (2% REQ'D & PROVIDED)	2/2%
BIKE PARKING:	
REQUIRED:	8 CLASS 1 / 8 CLASS 2
(W/O VEHICLE STORAGE: MAIN FLOOR=19,955SF + 2ND FL=4,465SF + 3RD FLOOR=11,372SF: TOTAL= 31,792SF)	
CLASS 1 / LOCKABLE:	91,800 @ 0.27 / 1,076 = 23
CLASS 2 / RACKS:	91,800 @ 0.27 / 1,076 = 23
PROVIDED:	23 CLASS 1 / 23 CLASS 2
LOADING:	
REQUIRED:	1 LARGE + 2 MEDIUM 1 = (11,348 - 1,860)/5,000 = 2M (11,348 - 1,860)/5,000 = 1L
PROVIDED:	1 LARGE + 2 MEDIUM (LARGE SHARED W/ MEDIUMS AS PERMITTED)

REV	DATE	DESCRIPTION
	JUN 27-JUL 20 18	ADP-RESPONSE RE-ISSUE; JUL 20: A 1.1 REVISED
	MAY 07 18	ISSUED FOR ADP
	APR 18 18	DP REISSUE A.1.1, A.4.0
	APR 05 18	DP REISSUE A.1.1, A.4.0, A.5.0
	MAR 12 18	DP REISSUE A.1.1, A.2.1-A.2.3, A.3.0-A.5.0, A.6.1
	AUG 16 17	ISSUED FOR DEVELOPMENT PERMIT

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

4431 & 4331 VANGUARD RD
PROPOSED VEHICLE STORAGE FACILITY

DEV. PERMIT APPLICATION #DP 17-782793

SITE / MAIN FL PLAN STATS

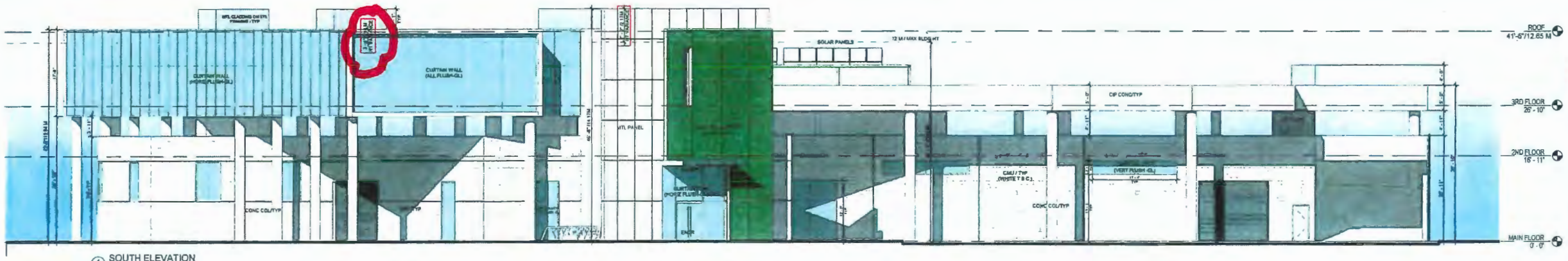
SCALE As indicated START DATE: JUN 27, 2016 DRAWN: PO

PROJECT NUMBER 215003

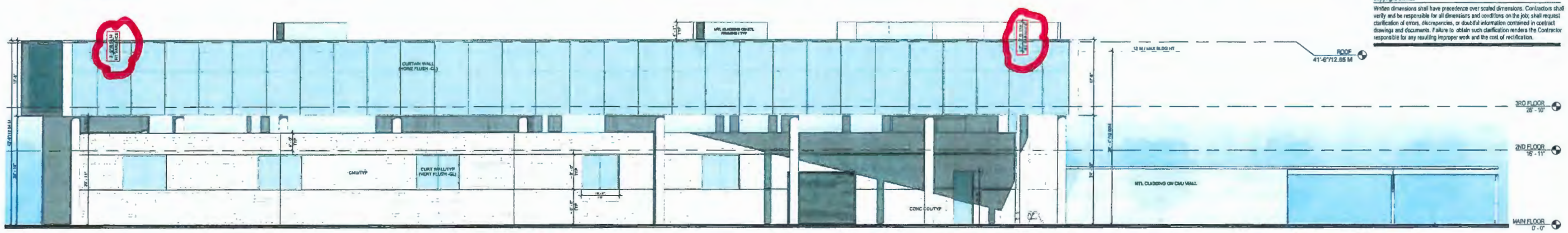
A.1.1

AUG 29 2018
DP 17-782793

Plan #1



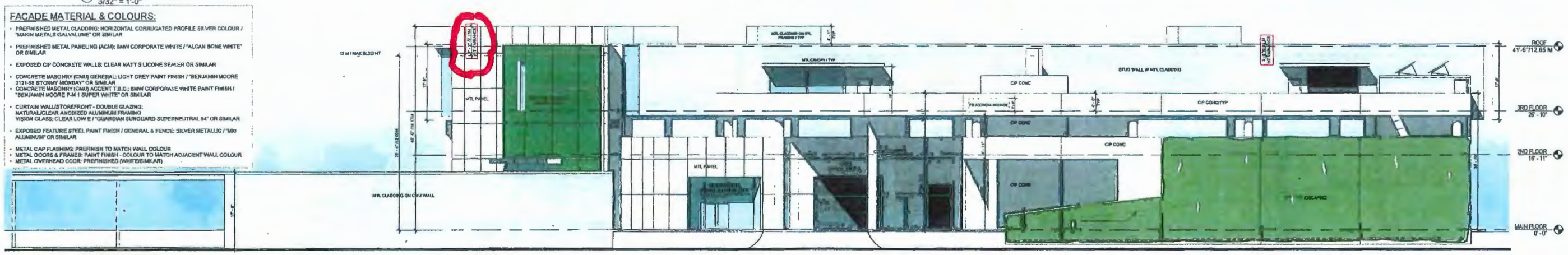
① SOUTH ELEVATION
3/32" = 1'-0"



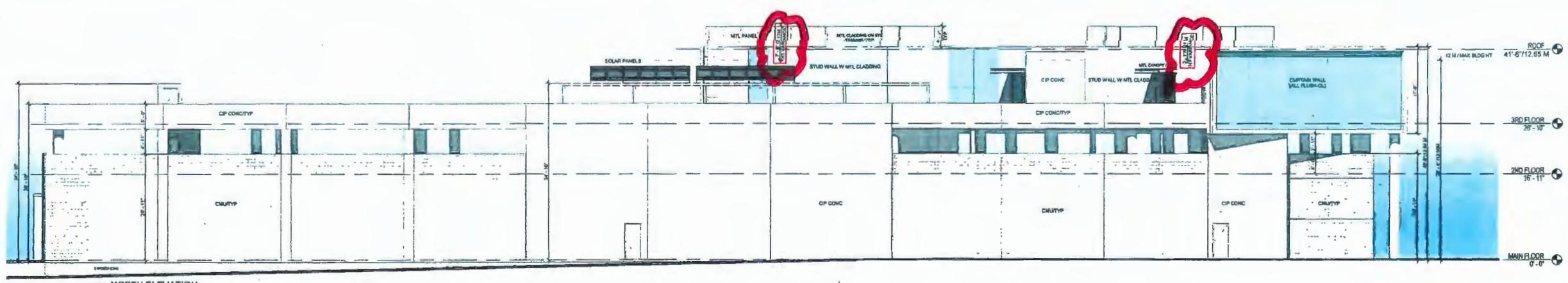
② WEST ELEVATION
3/32" = 1'-0"

FACADE MATERIAL & COLOURS:

- PREFINISHED METAL CLADDING: HORIZONTAL CORRUGATED PROFILE SILVER COLOUR / "MAGNI METALS GALVALUME" OR SIMILAR
- PREFINISHED METAL PANELING (ACM): 3MM CORPORATE WHITE / "ALCAN BONE WHITE" OR SIMILAR
- EXPOSED CIP CONCRETE WALLS: CLEAR MATT SILICONE SEALER OR SIMILAR
- CONCRETE MASONRY (CMU) GENERAL: LIGHT GREY PAINT FINISH / "BENJAMIN MOORE 2131-58 STORMY MONDAY" OR SIMILAR
- CONCRETE MASONRY (CMU) ACCENT T.B.C.: 8MM CORPORATE WHITE PAINT FINISH / "BENJAMIN MOORE P.M 1 SUPER WHITE" OR SIMILAR
- CURTAIN WALL/STOREFRONT - DOUBLE GLAZING: NATURAL/CLEAR ANODIZED ALUMINUM FRAMING VISION GLASS: CLEAR LOW E / "GUARDIAN SUNGUARD SUNNEUTRAL 54" OR SIMILAR
- EXPOSED FEATURE STEEL PAINT FINISH / GENERAL & FENCE: SILVER METALLIC / "MIO ALUMINUM" OR SIMILAR
- METAL CAP FLASHING: PREFINISH TO MATCH WALL COLOUR
- METAL DOORS & FRAMES: PAINT FINISH - COLOUR TO MATCH ADJACENT WALL COLOUR
- METAL OVERHEAD COOR: PREFINISHED (WHITE/SIMILAR)



③ EAST ELEVATION
3/32" = 1'-0"



④ NORTH ELEVATION
3/32" = 1'-0"

CHRISTOPHER BOZYK ARCHITECTS LTD
414 - 611 ALEXANDER STREET VANCOUVER BC V5A 1E1
PHONE (604) 251-3440 FAX (604) 251-3848

WALES McLELLAND CONSTRUCTION

REV	DATE	DESCRIPTION
	JUN 27 '18	ADP-RESPONSE RE-ISSUE
	MAY 07 '18	ISSUED FOR ADP
	APR 18 '18	DP REISSUE A.1.1, A.4.0
	APR 05 '18	DP REISSUE A.1.1, A.4.0, A.5.0
	MAR 12 '18	DP REISSUE A.1.1, A.2.1-A.2.3, A.3.0 - A.5.0, A.6.1
	AUG 18 '17	ISSUED FOR DEVELOPMENT PERMIT

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Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job; shall request clarification of errors, discrepancies, or doubtful information contained in contract drawings and documents. Failure to obtain such clarification renders the Contractor responsible for any resulting improper work and the cost of rectification.

4431 & 4331 VANGUARD RD
PROPOSED VEHICLE STORAGE FACILITY

DEV. PERMIT APPLICATION #DP 17-782793

ELEVATIONS

SCALE As indicated START DATE: JUN 27, 2016 DRAWN: PD
PROJECT NUMBER 215003

A.4.0

AUG 29 2018

DP 17-782793

Variances are cloud outlined

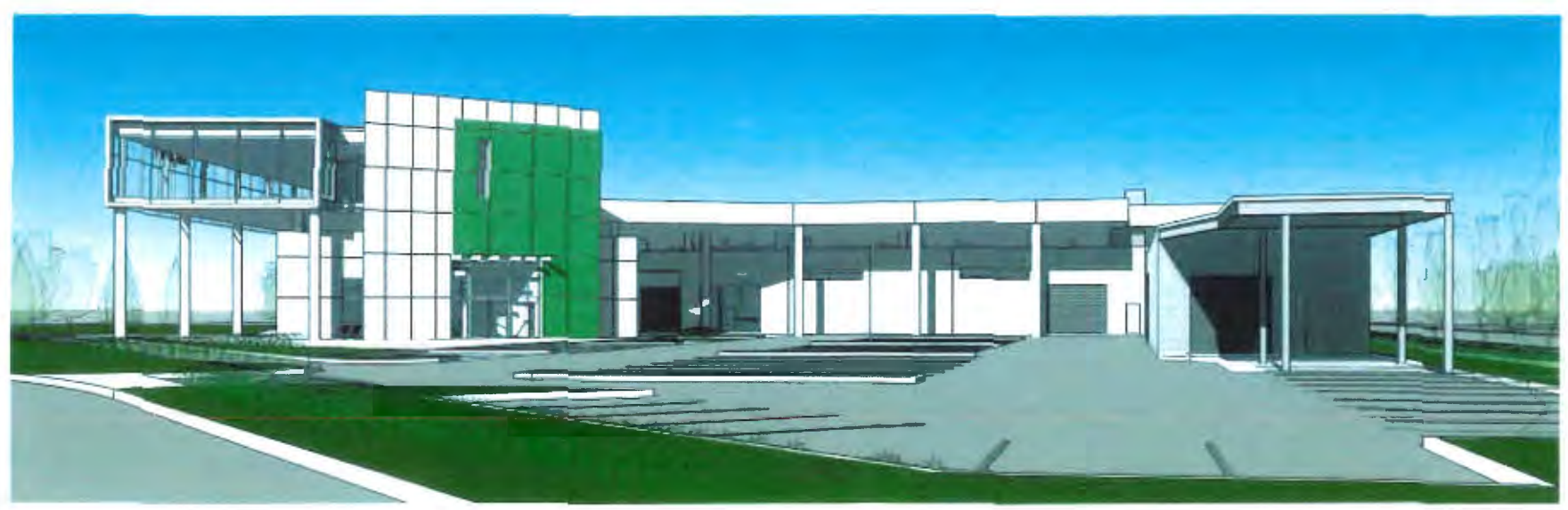
Plan #6

CHRISTOPHER
BOZYK ARCHITECTS LTD
414 - 611 ALEXANDER STREET VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3848

WALES McLELLAND CONSTRUCTION

③ VIEW FROM SHELL (WEST)

② VIEW FROM VANGUARD EAST



① VIEW FROM VANGUARD SOUTH

REV	DATE	DESCRIPTION
	JUN 27-JUL 20'18	ADP-RESPONSE RE-ISSUE, JUL 20: A.1.1 REVISED
	MAY 07'18	ISSUED FOR ADP
	APR 18'18	DP REISSUE A.1.1, A.4.0
	APR 05'18	DP REISSUE A.1.1, A.4.0, A.5.0
	MAR 12'18	DP REISSUE A.1.1, A.2.1-A.2.3, A.3.0-A.5.0, A.6.1
	AUG 18'17	ISSUED FOR DEVELOPMENT PERMIT

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4431 & 4331 VANGUARD RD
PROPOSED VEHICLE STORAGE FACILITY

DEV. PERMIT APPLICATION #DP 17-782793

PERSPECTIVES

SCALE START DATE: JUN 27, 2016 DRAWN: ELL

PROJECT NUMBER 215003

A.5.0

AUG 29 2018
DP 17-782793

Plan #7

TREE SCHEDULE

PMG PROJECT NUMBER: 16-144

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
	4	CORNUS KOUSA	KOUSA DOGWOOD	2.5M HT; BUSH FORM; B&B
	11	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	6CM CAL; 2M STD; B&B
	14	PICEA OMORIKA 'BRUNS'	SERBIAN SPRUCE	3M HT; B&B
	15	STREET TREE 2	FINAL SPECIES LOCATION AND QUANITY TO CONFIRMED WITH CITY	
	6	THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	2.5M HT; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

TREES

CORNUS KOUSA

GINKGO BILOBA 'PRINCETON SENTRY'

THUJA PLICATA 'EXCELSA'

SHRUBS: FRAMING / LOW HEDGING

EUONYMUS ALATUS 'COMPACTA'

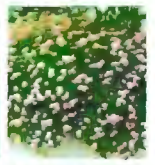
LONICERA PILEATA

MAHONIA X MEDIA 'CHARITY'

PLANTING FOR NATIVE POLLINATORS

ROSA RUGOSA 'RUBRA'

SYMPHORICARPOS ALBUS 'MAGIC BERRY'

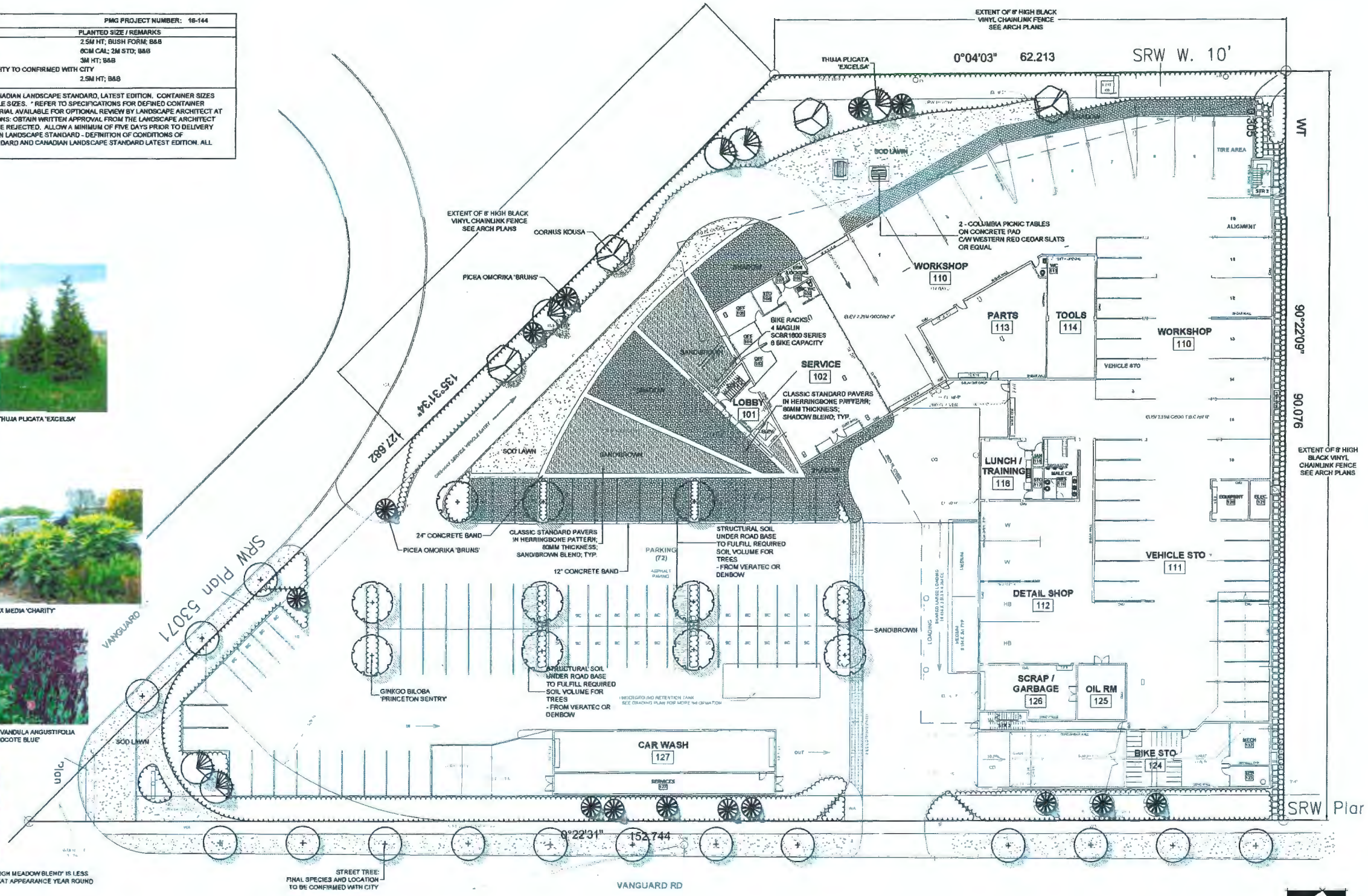

SPIRAEA JAPONICA 'LITTLE PRINCESS'

LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE'

WILDFLOWER MEADOW

MOWN EDGES GIVE MEADOWS A NEAT, TIDY APPEARANCE WHILE STILL BURSTING WITH COLOUR AND FLORAL ABUNDANCE.

WEST COAST SEEDS "KNEE-HIGH MEADOW BLEND" IS LESS THAN 24" HIGH, KEEPING A NEAT APPEARANCE YEAR ROUND



16144-9.ZIP

DP 17-782793

AUG 29 2018

pmg LANDSCAPE ARCHITECTS
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p: 604 294-0011 : f: 604 294-0022

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CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
10	16.JUL.19	REVISE PER COMMENTS	MC
9	18.JUN.27	REVISE PER COMMENTS/ADD GREEN ROOF	DO
8	18.MAY.05	DP SUBMISSION	
7	18.MAY.05	BP SUBMISSION	
6	18.APR.05	UPDATE PER NEW SITE PLAN	CLG
5	18.APR.04	STREET TREE NOTE	DO
4	18.FEB.05	NEW SITE PLAN / CITY COMMENTS	DO
3	17.JUL.13	NEW SITE PLAN	DO
2	17.JAN.17	NEW SITE PLAN	DO
1	16.AUG.04	NEW SITE PLAN	MM

PROJECT:

AUTO WEST BMW

VANGUARD ROAD
RICHMOND, BC

SEAL:

DRAWING TITLE:

LANDSCAPE PLAN

DATE:	16.JUL.19
SCALE:	1"=20'-0"
DRAWN:	MR
DESIGN:	MR
CHKD:	MCY

DRAWING NUMBER:

L1 OF 3

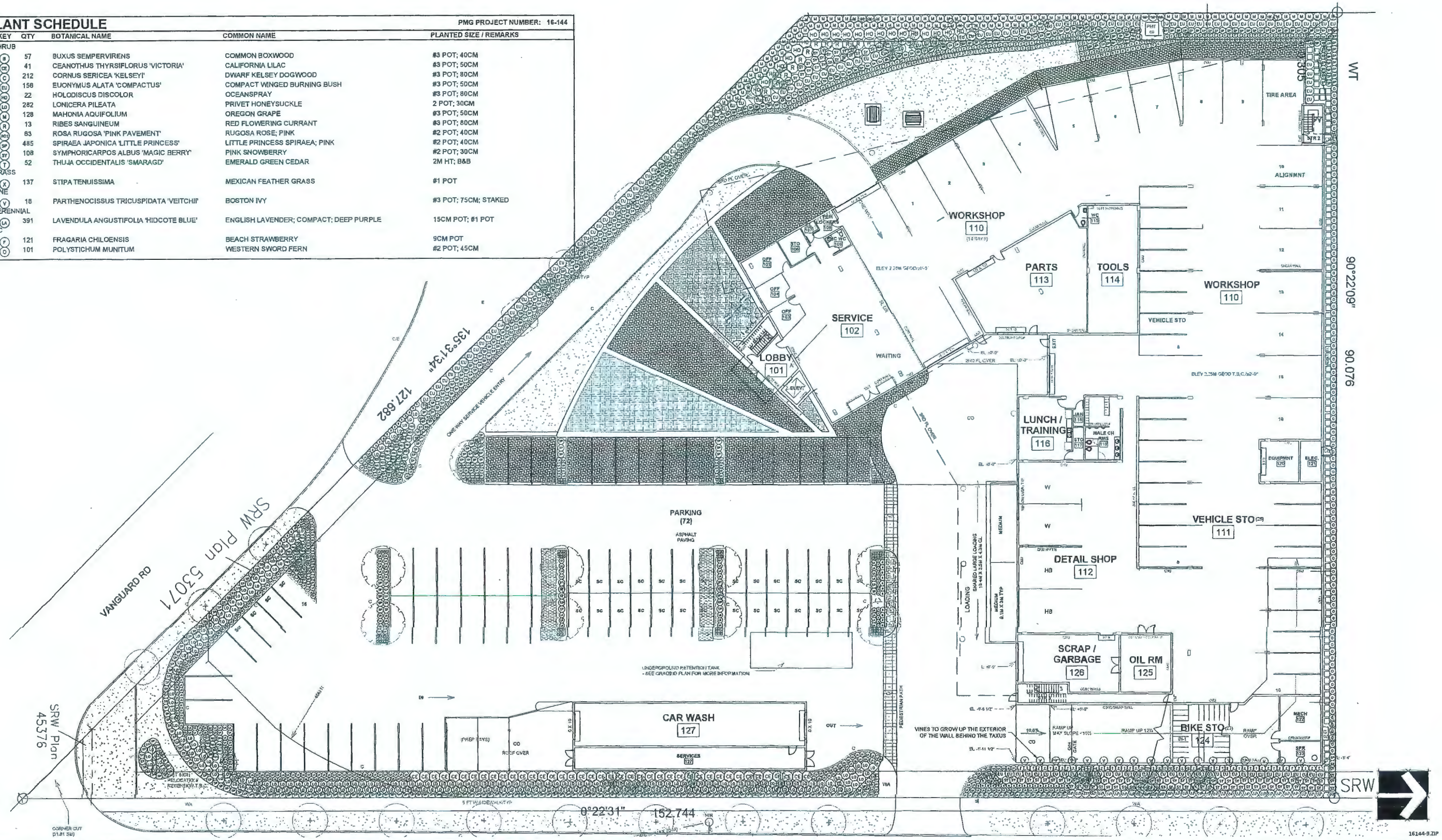
PMG PROJECT NUMBER: 16-144

Plan #8

PLANT SCHEDULE

PMG PROJECT NUMBER: 16-144

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
B	57	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
CR	41	CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT; 50CM
C	212	CORNUS SERICEA 'KELSEYI'	DWARF KELSEY DOGWOOD	#3 POT; 80CM
EU	156	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT; 50CM
HD	22	HOLODISCUS DISCOLOR	OCEANSPRAY	#3 POT; 80CM
LO	282	LONICERA PILEATA	PRIVET HONEYSUCKLE	2 POT; 30CM
M	128	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT; 50CM
R	13	RIBES SANGUINEUM	RED FLOWERING CURRANT	#3 POT; 80CM
RU	83	ROSA RUGOSA 'PINK PAVEMENT'	RUGOSA ROSE; PINK	#2 POT; 40CM
W	485	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#2 POT; 40CM
SI	108	SYMPHORICARPOS ALBUS 'MAGIC BERRY'	PINK SNOWBERRY	#2 POT; 30CM
T	52	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT; B&B
GRASS				
X	137	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
VINE				
V	18	PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTON IVY	#3 POT; 75CM; STAKED
PERENNIAL				
LC	391	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	15CM POT; #1 POT
GC				
F	121	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	9CM POT
O	101	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#2 POT; 45CM



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CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
10	18.JUL.19	REVISE PER COMMENTS	MC
9	18.JUN.27	REVISE PER COMMENTS/ADD GREEN ROOF	DO
8	18.MAY.06	DP SUBMISSION	
7	18.MAY.06	BP SUBMISSION	
6	18.APR.05	UPDATE PER NEW SITE PLAN	CLH
5	18.APR.04	STREET TREE NOTE	DO
4	18.FEB.05	NEW SITE PLAN / CITY COMMENTS	DO
3	17.JUL.13	NEW SITE PLAN	DO
2	17.JAN.17	NEW SITE PLAN	DO
1	16.AUG.04	NEW SITE PLAN	MM

PROJECT:

AUTO WEST BMW

VANGUARD ROAD
RICHMOND, BC

SEAL:

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 16.JUL.19
SCALE: 1"=16'-0"
DRAWN: MR
DESIGN: MR
CHKD: MCY

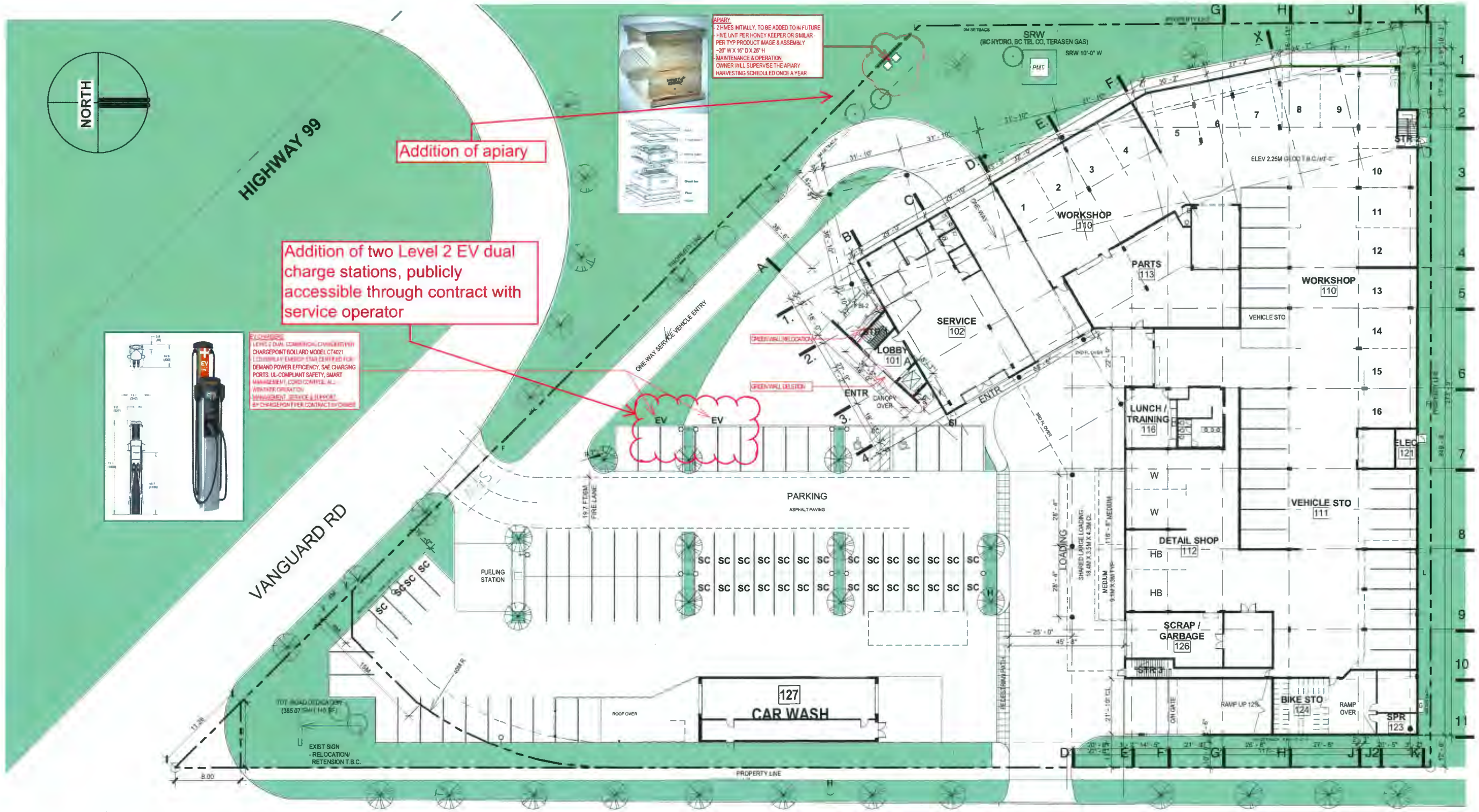
DRAWING NUMBER:

L2 OF 3

PMG PROJECT NUMBER: 16-144

Plan #9

AUG 29 2018
DP 17-793293



1 SITE PLAN
1" = 40'-0"

DP GENERAL COMPLIANCE APPLICATION

4331 VANGUARD RD

CHRISTOPHER
BOZYK ARCHITECTS LTD
414 - 611 ALEXANDER STREET VANCOUVER BC V6A 1E1
PHONE (604) 251-3440 FAX (604) 251-3848

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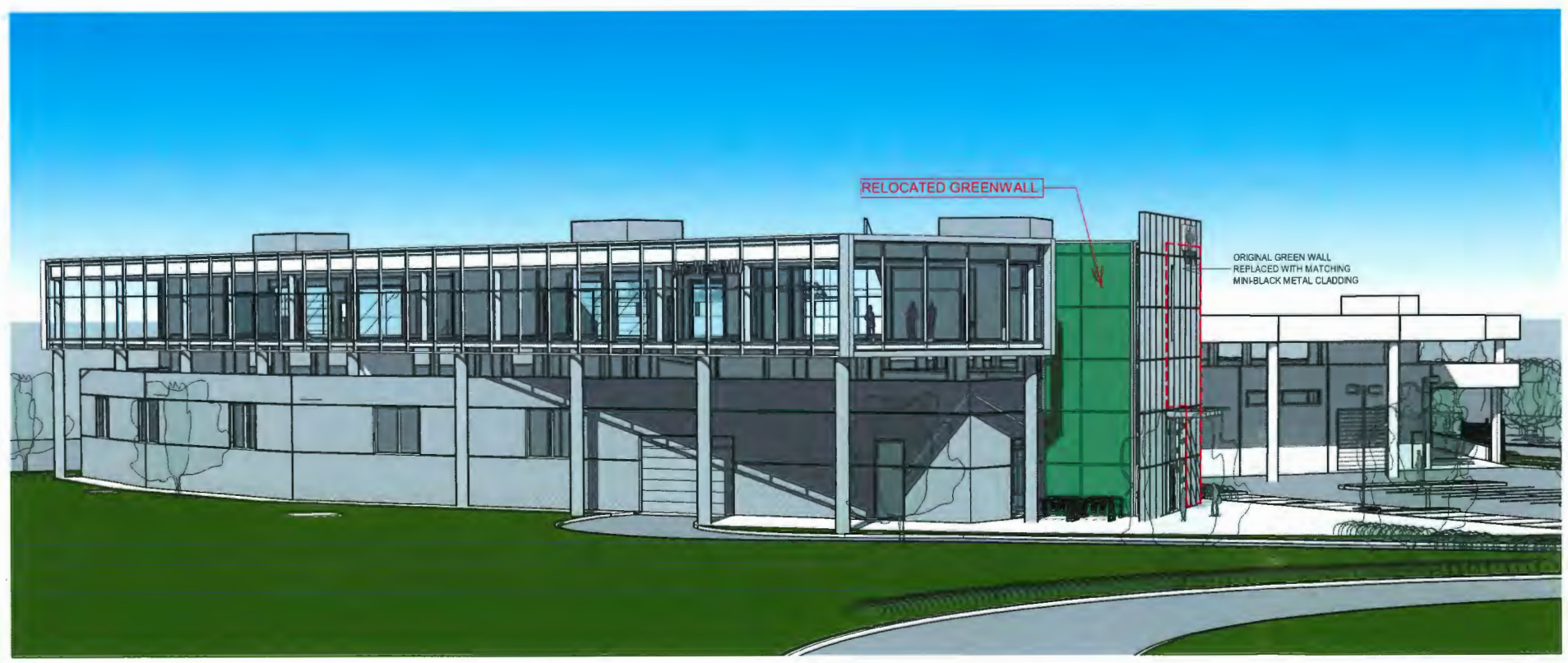
PROPOSED GREEN WALL RELOCATION & APIARY ADDITION

SCALE:
DATE: MAY 26, 2020 PROJECT NUMBER: 215003

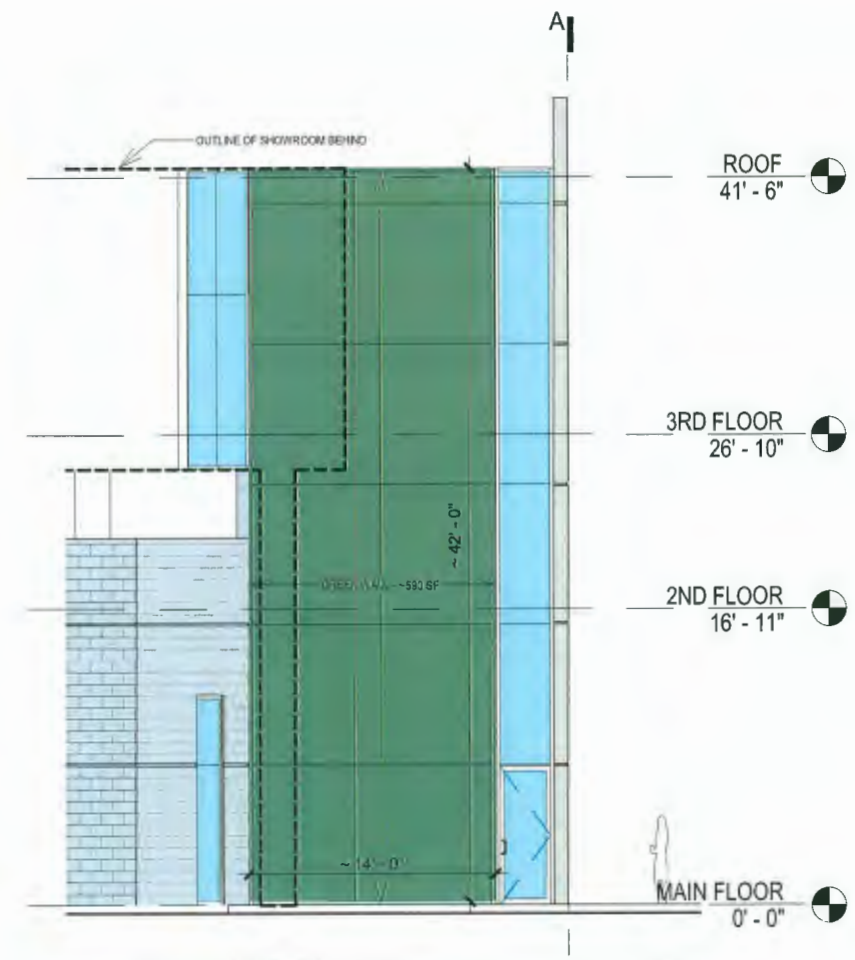
SK1



2 APPROX S-W VIEW FROM HIGHWAY 99

GREEN WALL SPECIFICATION:

SPECIFICATION PER APPROVED DP & PROVIDED PRODUCT DATA: PATENT GREEN WALL SYSTEM "SEMPERGREENWALL" OR SIM APPROVED



1 NEW GREEN WALL / S-W ELEVATION
3/32" = 1'-0"

DP GENERAL COMPLIANCE APPLICATION

4331 VANGUARD RD

CHRISTOPHER
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PROPOSED GREEN WALL RELOCATION

SCALE:
DATE: MAY 25, 2020 PROJECT NUMBER: 215003

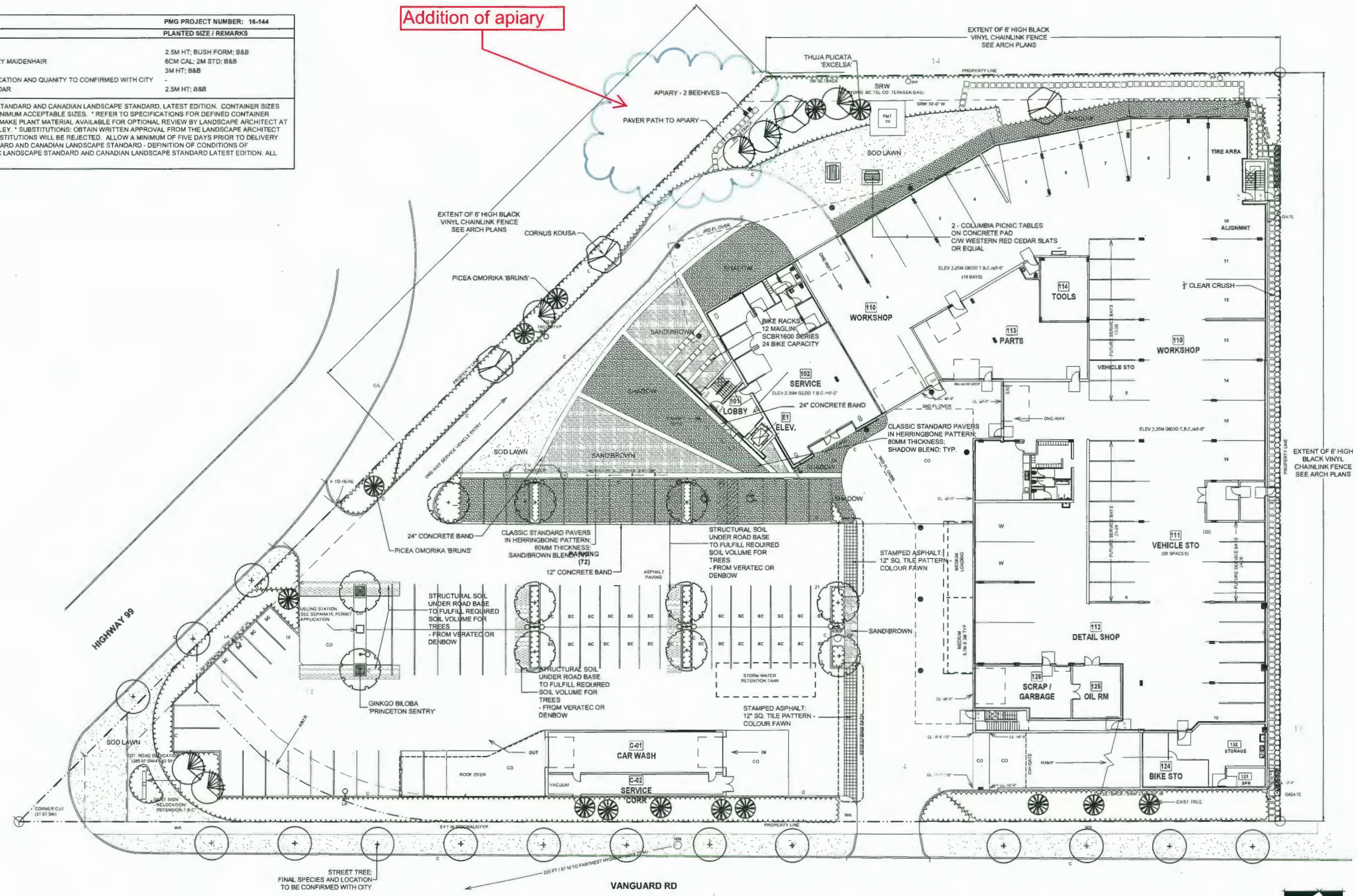
SK2

TREE SCHEDULE

PMG PROJECT NUMBER: 16-144

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
	4	CORNUS KOUSA	KOUSA DOGWOOD	2.5M HT; BUSH FORM; B&B
	11	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	6CM CAL; 2M STD; B&B
	14	PICEA OMORIKA 'BRUNS'	SERBIAN SPRUCE	3M HT; B&B
	15	STREET TREE 2	FINAL SPECIES LOCATION AND QUANITY TO CONFIRMED WITH CITY	-
	6	THUJA PLICATA 'EXCELSA'	WESTERN RED CEDAR	2.5M HT; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY, AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY



16144-17.ZIP

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CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
13	19.APR.11	REVISE EXIT PATH	DO
12	19.MAR.28	IFC	MM
11	19.MAR.20	REVISED ROOF DECK PLANTING	MM
-	19.JAN.17	ISSUED FOR TENDER	MCY
10	18.JUL.19	REVISE PER COMMENTS	MC
9	18.JUN.27	REVISE PER COMMENTS/ADD GREEN ROOF	DO
8	18.MAY.06	DP SUBMISSION	
7	18.MAY.06	BP SUBMISSION	
6	18.APR.05	UPDATE PER NEW SITE PLAN	CLG
5	18.APR.04	STREET TREE NOTE	DO
4	18.FEB.05	NEW SITE PLAN / CITY COMMENTS	DO
3	17.JUL.13	NEW SITE PLAN	DO
2	17.JAN.17	NEW SITE PLAN	DO
1	16.AUG.04	NEW SITE PLAN	MM

NO.	DATE	REVISION DESCRIPTION	DR.
16	20.MAY.25	APIARY ADDED	MM
15	19.OCT.15	SHRUB RELOCATION; PLANT LIST	
14	19.AUG.14	SITE PLAN COORDINATION	MM

PROJECT:

AUTO WEST BMW

VANGUARD ROAD
RICHMOND, BC

SEAL:

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 16.JUL.19
SCALE: 1"=20'-0"
DRAWN: MR
DESIGN: MR
CHK'D: MCY

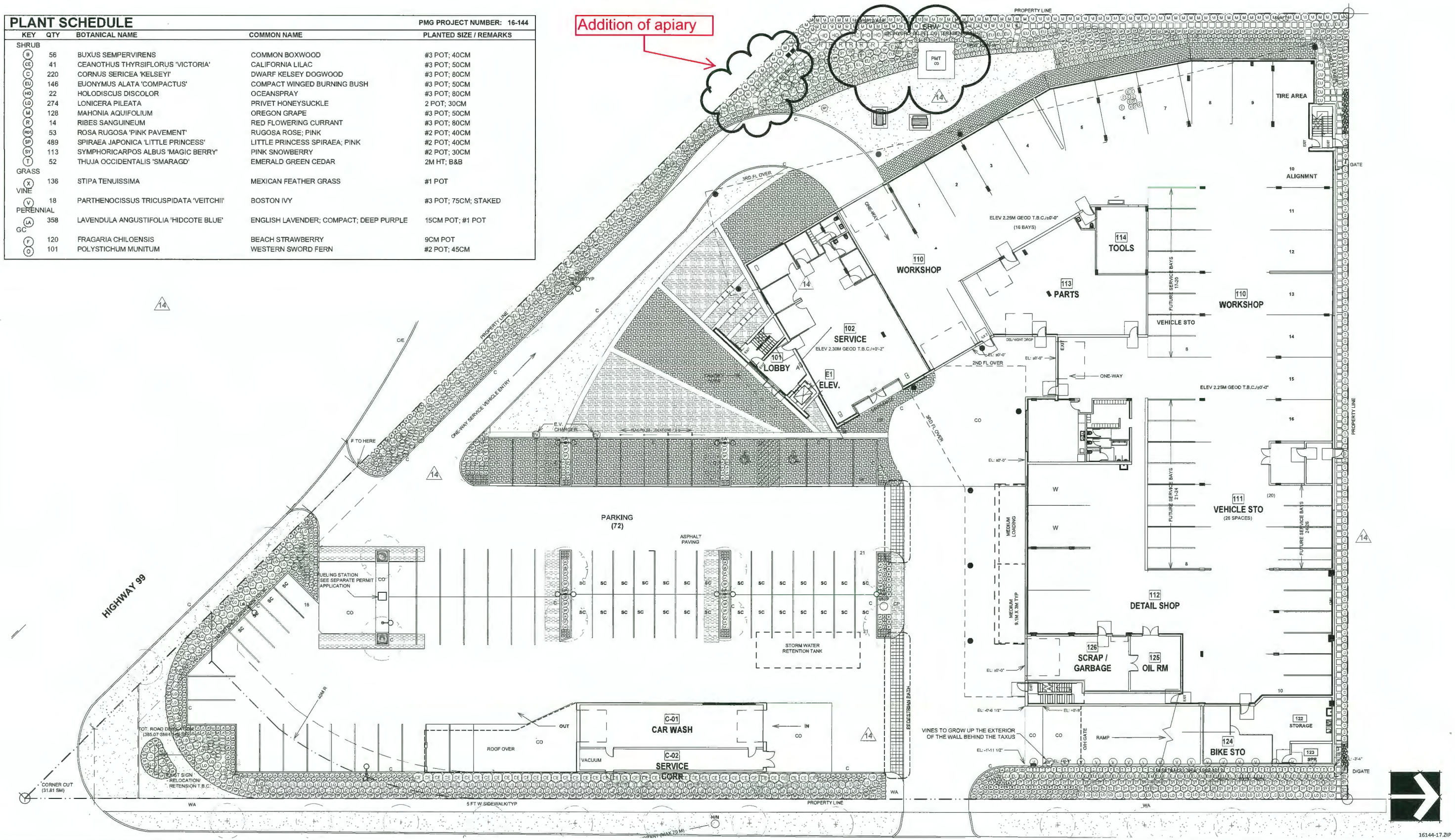
DRAWING NUMBER: **L1** OF 5

PMG PROJECT NUMBER: 16-144

PLANT SCHEDULE

PMG PROJECT NUMBER: 16-144

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
B	56	BUXUS SEMPERVIRENS	COMMON BOXWOOD	#3 POT; 40CM
CE	41	CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT; 50CM
C	220	CORNUS SERICEA 'KELSEYI'	DWARF KELSEY DOGWOOD	#3 POT; 80CM
EU	146	EUONYMUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH	#3 POT; 50CM
HO	22	HOLODISCUS DISCOLOR	OCEANSPRAY	#3 POT; 80CM
LO	274	LONICERA PILEATA	PRIVET HONEYSUCKLE	2 POT; 30CM
M	128	MAHONIA AQUIFOLIUM	OREGON GRAPE	#3 POT; 50CM
R	14	RIBES SANGUINEUM	RED FLOWERING CURRANT	#3 POT; 80CM
ROI	53	ROSA RUGOSA 'PINK PAVEMENT'	RUGOSA ROSE; PINK	#2 POT; 40CM
SP	489	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA; PINK	#2 POT; 40CM
SY	113	SYMPHORICARPOS ALBUS 'MAGIC BERRY'	PINK SNOWBERRY	#2 POT; 30CM
T	52	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	2M HT; B&B
GRASS				
X	136	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
VINE				
V	18	PARTHENOCISSUS TRICUSPIDATA 'VEITCHII'	BOSTON IVY	#3 POT; 75CM; STAKED
PERENNIAL				
LA	358	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER; COMPACT; DEEP PURPLE	15CM POT; #1 POT
GC				
F	120	FRAGARIA CHILOENSIS	BEACH STRAWBERRY	9CM POT
O	101	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#2 POT; 45CM



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CLIENT:

NO.	DATE	REVISION DESCRIPTION	DR.
13	19.APR.11	REVISE EXIT PATH	DO
12	19.MAR.26	IFC	MM
11	19.MAR.20	REVISED ROOF DECK PLANTING	MM
-	19.JAN.17	ISSUED FOR TENDER	MCY
10	18.JUL.19	REVISE PER COMMENTS	MC
9	18.JUN.27	REVISE PER COMMENTS/ADD GREEN ROOF	DO
8	18.MAY.06	DP SUBMISSION	
7	18.MAY.06	BP SUBMISSION	
6	18.APR.05	UPDATE PER NEW SITE PLAN	CLG
5	18.APR.04	STREET TREE NOTE	DO
4	18.FEB.05	NEW SITE PLAN / CITY COMMENTS	DO
3	17.JUL.13	NEW SITE PLAN	DO
2	17.JAN.17	NEW SITE PLAN	DO
1	16.AUG.04	NEW SITE PLAN	MM

NO.	DATE	REVISION DESCRIPTION	DR.
16	20.MAY.25	APIARY ADDED	MM
15	19.OCT.15	SNRUB RELOCATION; PLANT LIST	
14	19.AUG.14	SITE PLAN COORDINATION	MM

PROJECT:

AUTO WEST BMW

VANGUARD ROAD
RICHMOND, BC

SEAL:

DRAWING TITLE:

LANDSCAPE PLAN

DATE:	16.JUL.19
SCALE:	1"=16'-0"
DRAWN:	MR
DESIGN:	MR
CHK'D:	MCY

DRAWING NUMBER: **L2** OF 5

PMG PROJECT NUMBER: 16-144

City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	June 2, 2020
From:	Wayne Craig Director, Development	**File:**	DP 18-797127
Re:	**Application by Wensley Architecture Ltd. for a Development Permit at 8131 Westminster Highway**		

Staff Recommendation

That a Development Permit be issued which would permit the construction of a high-rise mixed-use development containing approximately 436 m^2 (4,695 ft^2) of commercial space, 641 m^2 (6,904 ft^2) of office space, and 134 dwellings (including 13 affordable housing units) at 8131 Westminster Highway on a site zoned "Downtown Commercial (CDT1)".

Wayne Craig
Director, Development
(604-247-4625)

WC:sb
Att. 4

Staff Report

Origin

Wensley Architecture Ltd. has applied to the City of Richmond for permission to develop a mixed-use high-rise residential, office and commercial development at 8131 Westminster Highway on a site zoned "Downtown Commercial (CDT1)". No rezoning application is associated with the subject Development Permit application. Key components of the proposal include:

- A single 14-storey tower with 11 floors of residential apartments over a three-storey podium containing a floor of office space above ground level commercial retail units, four levels of parking, resident indoor amenity and service spaces.
- A maximum floor area ratio (FAR) of 3.29 including affordable housing, additional floor area ratio (FAR) of 0.07 for resident indoor amenity space, and a maximum height of 47m geodetic.
- A total floor area of approximately 11,435 m^2 (123,085 ft^2) comprised of approximately:
  - 436 m^2 (4,696 ft^2) of commercial space.
  - 641 m^2 (6,904 ft^2) of office space.
  - 10,052 m^2 (108,202 ft^2) of residential space.
  - 235 m^2 (2,531 ft^2) of indoor amenity space for residents.
  - 305 m^2 (3,283 ft^2) of circulation space in non-residential podium.
- Approximately 134 dwelling units, including:
  - 121 market residential units.
  - 13 affordable housing low-end-of-market rental (LEMR) units.
- Lane dedication and construction of a new City lane across the west (side) and north (rear) frontages of the site.

The site is comprised of one lot which is currently vacant and previously contained a two-storey commercial building.

Road and Engineering improvements required with respect to the subject development will be secured through the City's Standard Servicing Agreement process as a consideration of the Development Permit. Works include City lane and road works, frontage improvements, and utility upgrades.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: Across the proposed rear lane, an existing large commercial centre with a large grocery store that has the same designation under the City Centre Area Plan (CCAP) as the subject site, for high density high-rise commercial and mixed-use development (Urban Core T6 (45 m) and Village Centre Bonus).

To the east: A small low-rise commercial development, also with the same designation under the CCAP as the subject site.

To the south: Across Westminster Highway, small low-rise commercial developments, also with the same designation under the CCAP as the subject site.

To the west: Across the proposed side lane, a high-rise mixed-use development facing No. 3 Road and a small low-rise commercial development facing Westminster Highway, also with the same designation under the CCAP as the subject site.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the "Downtown Commercial (CDT1)" zone.

Advisory Design Panel Comments

On January 23, 2019, the Advisory Design Panel (ADP) supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the ADP's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes is attached for reference (Attachment 2), together with the applicant's design response in '***bold italics***'.

Analysis

Conditions of Adjacency

- The proposed development includes enhancement of the Westminster Highway streetscape with active commercial uses, office entry lobby and ramped covered walkway to the inset residential entry lobby.
- The interface with the proposed west (side) City lane is enhanced with the residential entry lobby and pedestrian walkways. This interface includes the main access to the parking structure, loading spaces and on-site parallel parking.
- The interface with the proposed north (rear) City lane includes a secondary access to the parking structure.
- A three-storey podium party wall is proposed along the east property line, which will be visible until future adjacent development occurs. In the interim, the party wall has been treated with a variety of colour and texture in a grid pattern for visual interest and to break down the wall visually.

- A tiered 14-storey building massing is provided along all sides of the site.
- The tower shape and placement on the subject site facilitates future development in the area achieving the minimum 24m tower spacing guideline in the CCAP through providing 12m to 19m setback from the future lane centreline and 12m setback from the east property line.

Urban Design and Site Planning

- The proposed tiered massing includes a single 14-storey tower consisting of a three-storey podium containing commercial, office, resident indoor amenity, service and parking uses, four-storey mid-level podium and seven-storey tower portion both containing residential and resident amenity uses.
- The site is designated Urban Core T6 (45 m) in the CCAP and zoned "Downtown Commercial (CDT1)", which permits 47m geodetic building height. The site is also designated Sub-Area B.4 Mixed Use – High-Rise Commercial & Mixed Use in the CCAP. The proposed form of development takes advantage of the site's proximity to the Canada Line and provision of a new City lane to create a high-density urban environment that is consistent with CCAP objectives.
- The proposed building heights comply with NAV Canada building height restrictions.
- The proposed building includes commercial, office and residential uses. Registration of a legal agreement on title is a consideration of the Development Permit, addressing noise impacts generated by the internal uses from penetrating into residential areas that exceed noise levels allowed in the City's Noise Bylaw and that noise generated from rooftop equipment will comply with the City's Noise Bylaw.
- The site is located in an area impacted by traffic and Canada Line noise. Registration of a legal agreement on title is a consideration of the Development Permit, addressing noise impacts on residential uses, including those related to the Canada Line.
- The site is located in an area impacted by aircraft noise (Area 3) and registration of an aircraft noise sensitive use legal agreement on title is a consideration of the Development Permit. As part of the Building Permit (BP) process, the applicant is required to design and construct the building in a manner that mitigates potential aircraft noise to the proposed dwelling units. Submitted acoustic and mechanical engineering information indicate the proposal dwelling units will achieve the required:
  a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

  b) The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
- In accordance with the City's flood plain designation and protection Bylaw 8204, registration of a flood covenant is a consideration of the Development Permit. The proposal complies with the bylaw.
- Service uses, parking, loading and waste management are screened from public view.

Transportation

- The CCAP requires the expansion of rear lane and road networks. Road dedication is required along the south property line of 3 m width for future Westminster Highway road widening. Lane dedication is required along the west and north property lines of 6 m width to establish the new lane with interim width, which will be widened to ultimate 9 m lane width through future adjacent development. Lane and road dedication are considerations of the Development Permit.
- In accordance with the existing "Downtown Commercial (CDT1)" zoning, the density is calculated on the gross site area prior to road dedications being provided.
- All transportation improvements required with respect to the subject development will be designed and constructed at the owner's sole cost through the City's Standard Servicing Agreement processes as a consideration of the Development Permit. Key transportation improvements to be provided by the owner include:
  - Along the Westminster Highway frontage, new 3 m wide concrete sidewalk at the new property line, street trees in tree grates and pavers behind existing curb and gutter, maintain existing westbound traffic lanes, and lengthen the existing raised median to the east by approximately 15 m.
  - Along the new City Lane frontage: along the entire west and north property lines, new laneway complete with roll-over curbs on both sides and between the roll-over curbs, asphalt driving surface.

Parking and Access

- Vehicle access is proposed to the site from the required City lane at the west and north sides of the development, which is accessed from Westminster Highway.
- The total number of parking spaces proposed to be provided on-site is 164, including 121 for the use of the residents, 12 for the use of the affordable housing unit residents and 31 for the shared use of residential visitors, commercial and office uses.
- Short term class 2 bicycle storage is accommodated with bicycle racks near the office and residential lobby entries. Longer term class 1 bicycle storage is accommodated in shared secure bicycle storage rooms located on all five levels of the parking structure.
- Two medium (SU-9) on-site loading spaces are provided adjacent to the waste management room and near the residential lobby entry.
- Registration of a legal agreement is required, ensuring the provision and shared use of the visitor/commercial/office parking spaces, loading spaces, and class 1 bicycle storage rooms.
- Registration of a legal agreement is required, ensuring the provision of energized electric vehicle (EV) charging outlets for 10% of the shared visitor/commercial parking spaces (208V - 240V), and 10% of Class 1 secure bicycle storage spaces in all bicycle storage rooms (120V).

Architectural Form and Character

- The proposed development contributes towards contemporary architectural expression including a high level of architectural design, articulation and material quality. The design includes articulation along the building facades, terraced building massing and a substantial podium with commercial base to anchor the building. The penthouse units are two-level, providing roofline articulation opportunities as well as mechanical equipment screening opportunities.

- The proposed cladding materials (cement panel, metal panels, stainless steel perforated screens, aluminum fins, window wall, and glass guard rails) are consistent with the Official Community Plan (OCP) guidelines and contribute towards a distinct identity and urban environment.
- The palette of colours includes wood to dark grey tones, and white and orange tone accents. When used in combination with variations in massing and materials, helps break up the massing, reinforce the identity of the project and project a crisp, contemporary image.
- Rooftop equipment will be located at the top floor level and screened similar to adjacent two-level penthouse residential units.

Landscape Design and Open Space Design

- The CCAP encourages the provision of additional open space to enhance the urban environment. The subject development's public open space contributions are provided along Westminster Highway and the lane.
- 831 m^2 (8,945 ft^2) of residential outdoor amenity space is provided, based on the OCP standard of 6 m^2 (65 ft^2) per dwelling unit, comprising three consolidated, irrigated, landscaped multi-use outdoor spaces and accessed from interior corridors and the fourth floor indoor amenity room. The space on the east side of the development at the fourth floor level is designed as an active space with three items of play equipment for 5 to 13-year olds and older, a fitness deck for all ages and a patio area at the indoor amenity space. The space on the north side of the development at the eighth floor level features three items of play equipment for toddlers to 12-year olds, chalkboard area and family seating areas. On the same floor level, the space on the south side is designed for communal social activities and sun bathing with harvest table, BBQ, clustered outdoor seating and long chairs.
- Private outdoor patios or balconies are provided for all dwelling units.
- At the time of application, there were 11 trees located on the subject site. The arborist report identified these trees as being in poor to moderate condition. Subsequently, the applicant elected to demolish the existing building. In order to demolish the building, the trees needed to be removed and a tree removal permit was issued. Based on the 2:1 tree removal compensation ratio, the planting of 22 new trees on-site would be required. There are a total of 32 new trees included in the Development Permit plans.
- At grade, the overall landscape design approach is to provide an urban streetscape interface softened with planting to Westminster Highway. The plant palette at grade is colourful with Bowhall Red Maple and Columnar European Aspen trees, ornamental grasses and perennials.
- At the fourth floor level, the outdoor amenity design approach is to facilitate exercise with active play elements for older children, raised deck and patio area adjacent to indoor amenity space. Planting at the fourth level provides semi-private patios with screening in edge planters facing north, east and south with a plant palette of Vine Maple and Tall Stewartia trees, shrubs, ferns, ornamental grasses, perennials, and groundcover.
- At the eighth floor level, the outdoor amenity design approach is to provide a passive and social sundeck area facing south and a creative and active family play area for toddlers to preteens facing north. Planting at the eighth level surrounds, complements and softens the outdoor amenity areas with a plant palette of Japanese Maple, Serviceberry and Serbian Spruce trees, shrubs, ornamental grasses, perennials and groundcover.
- All landscaped areas will be serviced by an irrigation system.

- Prior to forwarding the subject application to Council, the applicant is required to provide to the City, a Letter of Credit for landscaping in the amount of $387,783.18, as estimated by the project Landscape Architect, to ensure that on-site landscape features are provided in accordance with the Development Permit.

Shared Indoor Amenity Space

- The OCP requires that multi-family development comprising 40 units or more provide at least 100 m^2 (1,076 ft^2) of indoor amenity space. The subject development exceeds the OCP minimum by more than double, providing 235 m^2 (2,531 ft^2) of indoor amenity space.
- An open multi-purpose room with washroom facility is located on the fourth floor level adjacent to covered patio area in the outdoor amenity space, facilitating meetings and free form exercise such as Tai Chi or Yoga.
- A larger multi-purpose room is located on the third floor level with a washroom facility and a number of furnishings to facilitate a variety of social activities, including clustered lounge seating areas, kitchenette and table area, billiard and foosball table areas.

Crime Prevention Through Environmental Design

- CPTED measures enhance safety and personal security in and around the proposed building.
- Casual surveillance is provided through minimizing blind corners, prominent residential lobby and commercial entrances, locating visitor and shared visitor/commercial parking close to the entries in the parkade, clear sightlines to exits within the parkade (mirrors where needed), glazed vestibules, and lighting in all pedestrian areas.
- The streetscape and common area design is defined and visually permeable to establish a sense of territoriality that contributes toward overall safety.
- Target hardening security features are provided at all pedestrian and parking entrances.

Accessible Housing

- The 13 affordable housing units in the proposed development are all basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m^2 (20 ft^2) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- Wheelchair access is accommodated in all common areas and corridors to unit entries.

Sustainability Measures

- District Energy Utility (DEU) compatible building and mechanical system designed to facilitate a future connection to a City utility. Registration of a legal agreement on title is required, securing the owner's commitment to connect to a DEU that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The owner will also be required to provide mechanical

drawings and energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.

- The proposal has met all criteria to proceed under the LEED "Silver" equivalency grandfathering provisions as adopted by Council.

Dwelling Unit Mix

- The OCP and City Centre Area Plan (CCAP) encourage the development of a variety of unit types and sizes supportive of the diverse needs of Richmond's population including, but not limited to, households with children.
- The OCP encourages multiple family residential development to provide at least 40% of units with two or more bedrooms that are suitable for families with children. The proposed development complies, with 73% of units overall having two and three bedrooms.
- Staff support the applicant's proposal, which includes the following mix of affordable housing and market strata unit sizes:

Unit Type	Tenure Type		Total	
	Affordable Housing Units	Market Strata Units	% of Units	# of Units
Studio	1	22	17%	23
1-Bedroom	0	12	9%	12
2-Bedroom	8	77	63%	85
3-Bedroom	4	10	10%	14
Total	**13**	**121**	**100%**	**134**

Affordable Housing

- In compliance with the City's Affordable Housing Strategy, the owner proposes to design and construct 13 low-end-of-market rental units, comprising at least 1,019 m^2 (10,970 ft^2) of habitable space, based on 10% of the development's total residential floor area. Occupants of these units will enjoy full use of all residential amenity spaces, parking, bicycle storage, and related features, at no additional charge to the affordable housing occupants.
- The Affordable Housing Strategy encourages at least 60% of affordable housing units to be provided with two or more bedrooms. The proposed development complies, with 92.3% of affordable housing units having two and three bedrooms.
- Prior to Development Permit issuance, a Housing Agreement and Housing Covenant will be registered on title requiring that the owner satisfies all City requirements in perpetuity.

Unit Type	Affordable Housing Strategy Requirements			Project Targets	
	Minimum Unit Area	Maximum Monthly Unit Rent (1)	Total Maximum Household Income(1)	Unit Mix	# of Units (2)
Studio	37 m^2 (400 ft^2)	$811	$34,650 or less	7.7%	1
1-Bedroom	50 m^2 (535 ft^2)	$975	$38,250 or less	0%	0
2-Bedroom	69m^2 (741 ft^2)	$1,218	$46,800 or less	61.5%	8
3-Bedroom	91 m^2 (980 ft^2)	$1,480	$58,050 or less	30.8%	4
Total	**1,019 m^2 (10,970 ft^2)**	**N/A**	**N/A**	**100%**	**13**

(1) Denotes the council-approved rates as of July 24, 2017. Rates may be adjusted periodically as provided for under adopted City policy.

(2) 100% of affordable housing units meet Richmond Basic Universal Housing (BUH) standards.

City Centre Development

- The applicant will be providing a voluntary contribution in the amount of $37,115.79 towards future City community planning studies, as set out in the City Centre Area Plan (i.e. 2020 rate of $0.30 x 123,719.31 maximum buildable square feet).
- Registration of a legal agreement on title is required, ensuring that future owners are aware that the development is subject to potential impacts due to other development that may be approved within the City Centre (e.g., impacts on views).

Public Art

- The applicant will be providing a voluntary contribution in the amount of $91,988.51 towards the City's Public Art Program (i.e. 2020 rate of $0.89 x 97,674.67 residential square feet, excluding affordable housing and $0.47 x 11,599.54 commercial/office square feet).

Servicing Agreement

- The developer is generally required to design and construct the new City lane, Westminster Highway frontage beautification, raised median and sanitary sewer improvements and related City road and City lane land dedication. The developer's design and construction of the required works and granting of statutory rights-of-way, as determined to the satisfaction of the City, shall be implemented through the City's Standard Servicing Agreement process (secured with legal agreement registered on title and provision of a Letter of Credit) prior to Development Permit issuance, as set out in the attached Development Permit considerations (Attachment 4).

Conclusions

The proposed development is consistent with Richmond's objectives for the subject site and Lansdowne Village as set out in the Official Community Plan (OCP), City Centre Area Plan (CCAP), and Zoning Bylaw. The project will enhance the Lansdowne Village urban community through its on-site pedestrian circulation works, street-fronting commercial space, articulated form, pedestrian-oriented streetscape, affordable housing and basic universal housing feature units. The proposed development will also enhance the community through the developer's concurrent construction of off-site pedestrian and road network improvements. The applicant has agreed to complete Development Permit considerations (Attachment 4). On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council is recommended.

Sara Badyal

Sara Badyal
Planner 2
(604-276-4282)

SB:blg

Attachments:
Attachment 1: Development Application Data Sheet
Attachment 2: Advisory Design Panel Meeting Minutes Annotated Excerpt (January 23, 2019)
Attachment 3: Development Permit Considerations

Attachment 1
To report dated June 2, 2020

City of Richmond

Development Application Data Sheet

Development Applications Department

DP 18-797127

Address: 8131 Westminster Highway
Applicant: Wensley Architecture Ltd. Owner: 1054824 BC Ltd., Inc. No BC1054824
Planning Area(s): Lansdowne Village (City Centre)

	Existing	Proposed
Site Area	3,483 m^2	Site 2,631 m^2 Dedication 853 m^2
Land Uses	Vacant	Mixed Use
OCP Designation	Downtown Mixed Use	Complies
Area Plan Designation	Urban Core T6 (45 m), Sub-area B.4	Complies
Zoning	Downtown Commercial (CDT1)	Complies
Number of Units	Vacant	134 dwelling units, including 13 AH units 641 m^2 office space 436 m^2 commercial space

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 3.3, including AH (11,494 m^2)	3.29, including AH (11,435 m^2)	None permitted
Lot Coverage	Max. 90%	86%	None
Setback – Westminster Hwy	Min. 3 m	3 m	None
Setback – West Side Yard	Min. 0 m	3 m	None
Setback – East Side Yard	Min. 0 m	0 m	None
Setback – Rear Yard	Min. 0 m	0 m	None
Height	Max. 47 m geodetic	47 m geodetic	None
Lot Size	None	34.3 m min. lot width 80.5 m min. lot depth 2,631 m^2 lot area	None
Parking Spaces: Residential Affordable Housing Shared VisitorOffice/Commercial Total	City Centre Zone 1 121 12 31 164	 121 12 31 164	None
Accessible Parking Spaces	Min. 2%	2.4% (4 spaces)	None
Small Car Parking Spaces	Max. 50%	45% (73 spaces)	None
Tandem Parking Spaces	Permitted	None	None
Loading	2 medium truck (SU-9) spaces	2 medium truck (SU-9) spaces	None
Bicycle Storage	168 class 1 secure bike spaces 27 class 2 bike rack spaces	169 class 1 secure bike spaces 27 class 2 bike rack spaces	None
EV (Energized) Car Charging	100% resident parking spaces 10% shared parking spaces	100% resident parking spaces 10% shared parking spaces	None
Amenity Space – Indoor:	Min. 100 m^2	235 m^2	None
Amenity Space – Outdoor:	Min. 804 m^2	831 m^2	None

Annotated Excerpt from the Minutes from

Advisory Design Panel Meeting

January 23, 2019

DP 18-797127 – ONE-TOWER CITY CENTRE RESIDENTIAL MIXED USE DEVELOPMENT

ARCHITECT:	Wensley Architecture Ltd.
LANDSCAPE ARCHITECT:	P+A Landscape Architecture
PROPERTY LOCATION:	8131 Westminster Highway

Applicant's Presentation

Barry Weih, Wensley Architecture Ltd., and Michael Patterson, P+A Landscape Architecture, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- ensure that the indoor amenity room washroom is accessible – ***Incorporated.***
- applicant is advised for signage in the building or parking area to use instead the word "accessible" as it is more appropriate, e.g., "accessible parking" – ***Incorporated.***
- appreciate the presentation; understand that the site is difficult – ***Noted.***
- the model is more successful in representing the proposed colours than the renderings; more contrast in colours shown in the model is the right direction for the project – ***Noted.***
- the applicant has design leeway north and south of the top tower portion; could have potentially brought it forward or have a little bit of differentiation between the left and right sides, or balcony extensions – ***West and east sides have different vocabularies with regards to deck treatments and framed residential units.***
- proposed building massing with three different kinds of levels stepping back makes it difficult to see the lower podium; review the proportions – ***Designed to comply with CCAP setback guidelines.***
- there is blank façade on the tower portion facing Westminster Highway; consider incorporating some glazing on the tan-coloured wood-like panels considering that Westminster Highway is the project's frontage – ***This described blank wall is a structural stair. Although adding glazing was not an option on the lower levels, two sides of these stairs were cut on the top floors to create a visually lighter top floor in this location.***
- the two CRU storefronts are framed along Westminster Highway, then opening up with tall glazed façade adjacent to the main residential covered entrance along the lane appears odd – ***Glazing reduced in this location to create a more private residential entry.***
- proposed horizontal banding treatment detracts from the verticality of the building – ***The DP guidelines for tall buildings requires that towers be more horizontal. These horizontal bands terminate in many locations to allow a more vertical expression to find its way to the ground.***
- consider adding spandrel glazing to the office component, from the floor up to the desk height to allow desks along the window and concealing under desk areas – ***Reviewed. Floor***

to ceiling glass is more desirable to tenants than having spandrel panels block the openness of the fenestration.

- slender columns at the front building entrance appear out of place in the bulky and large building; if the applicant intends to incorporate columns, consider installing more substantial columns to better complement the architecture and scale of the building – ***It is our intent to have a slender column underneath the lightness of the glass office + amenity projection. Columns are doubled up to be more robust.***
- appreciate the applicant's presentation of the project, especially the project's site context and how it fits into the neighbourhood – ***Noted.***
- consider installing weather protection for the barbeque area on the outdoor amenity space to make it more functional all year round – ***Design improved. Barbeque area relocated to the South deck. This mini kitchen will have coverage via the extended slab above.***
- appreciate the project design and the provision of lanes – ***Noted.***
- appreciate the use of amenity planting on the roof terraces; should be closely coordinated with the structural and mechanical engineer to ensure it works – ***Structural and Mechanical consultants have reviewed and approved all planter locations.***
- the children's play area currently appears bleak; consider installing a more stimulating equipment with livelier colours for the play area considering that it is located on the north side of the building – ***Design improved with livelier and more vibrant colours.***
- consider tree locations planted on the north amenity deck to only block some sunlight – ***Design improved to allow for more daylight.***
- like the project; appreciate the perforated metal screening on the parkade; also appreciate that the affordable housing units are distributed throughout the market housing units – ***Noted.***
- the shadow study shows that the children's play area does not receive adequate sun exposure in the current location on the level 8 north amenity deck; consider installing poured in place surfacing or artificial turf in lieu of rubber tiles for the small sized children's play area; also consider providing an open play space with surface articulation with more imaginative play value than structured play elements; the small size of the play area is difficult to program – ***Design improved. With increasing concerns for solar exposure, we feel that the children's play area receives an adequate amount of sun exposure during the day. An additional play area was incorporated at the fourth floor on the west side of the development. The children's play areas have a variety of play structures.***
- would prefer a green roof than a gravel ballast on the tower rooftop to mitigate heat island effect – ***Not possible as the building height is at the maximum allowable.***
- consider installing an outdoor kitchen on level 8 south amenity deck – ***Design improved, barbeque and outdoor kitchen added.***
- rationale for the canopy that angles off to the northeast is not clear – ***The canopy in this location follows the faceted façade and has continuous coverage of 6'-0" in door locations. The angled off area on the east end allows for a more robust tree to grow unhindered by the canopy.***
- appreciate the presentation; understand that the subject site is challenging due to its proposed mixed uses; the applicant will have to deal with circulation and lobby location issues which are apparent on the floor plans – ***Office and residential lobbies are separated due to uses.***
- rationale for indoor parking lay-out is not clear; has created a condition where residents do not have internal direct access to the waste and recycling room – ***Due to the only parking***

ramp location, residents do not have internal access to the waste and recycling but are covered when accessing this room.

- applicant needs to address the challenges of bicycle parking and circulation – ***Bicycle rooms are located on every floor of the parkade and offer many locations for secure bicycle storage.***
- consider having a consolidated lobby; separate lobby locations for different uses makes sense from an urban design point of view; however, the proposed circulation strategy needs to be reviewed – ***The residential lobby is prominent from the lane. The offices have a lobby facing Westminster Highway and an internal lobby in the parkade.***
- consider removing the column in front of the building that is farthest to the south in the sidewalk – ***The columns are an architectural feature that frame the parkade entrance and terminate at the level 4 cornice. This noted column is central in the sidewalk and allows for movement on all sides.***
- there is strong verticality of the expression and form of the building as it steps back on both sides and both ends; consider utilizing some of the horizontal and vertical fin expressions on the building to lace the two together – ***The architectural concept is to maintain a balance between horizontal expressions and vertical elements.***
- the mid-block parking entrance could be strengthened by having a podium horizontal fin expression on the top of the podium to break up the expression on the podium level at that point; will better integrate the facets of the building on the three layers together – ***Orange is used to designate entry into the retail, offices, and parkade. Having them horizontal would only allow the user to see them when looking up. We want all users of the parkade to see the entrance when entering the lane. In this instance, vertical orange fins will work best.***
- the chamfer on the podium at the lane appears awkward and out of context with respect to the form of the building – ***The chamfer is a result of required lane dedication.***
- appreciate the presentation and comprehensive package provided by the applicant to the Panel – ***Noted.***
- appreciate the proposed sustainability features of the project; e.g., targeting LEED silver equivalency and use of perforated metals to reduce energy use in the parkade – ***Noted.***
- consider installing a continuous band of louvers for retail spaces to accommodate potential ventilation strategy for retail spaces – ***Incorporated.***
- there is extensive use of glass in the office component; applicant is encouraged to use more spandrel panels, which could be at the top and bottom – ***Addressed above.***
- review proposed mechanical enclosure size as it appears too small – ***Reviewed.***
- the applicant is encouraged to use heat recovery system in the project due to its mixed uses;
- did not see vestibules on the floor plans; the applicant is reminded of the requirement to install a vestibule for retail space over 3,000 square feet in area – ***Noted.***
- overall, appreciate the project; however, the applicant is encouraged to involve a mechanical engineer at this stage of the project – ***Noted.***
- appreciate that the applicant is contributing to the City's Public Art Fund; the applicant is encouraged to incorporate public art into the project as it helps enhance the pedestrian experience along the ground plane – ***Noted.***
- overall, appreciate the project – ***Noted.***
- on the east elevation, consider (i) introducing different panel colours, (ii) adding more texture to the glass balconies, and (iii) adding smaller articulation to provide variation and help

reduce the single massing or colour – ***The east elevation has a varied façade and is very elegant via the use of white and charcoal windows and railings contrasting each other in different locations. The abundant use of cementitious panels also adds to this very textured façade.***

- support the use of wood colour in the soffit on the ground level and on the top of the building as it adds warmth to the building character; consider using in other soffit areas, c.g. at the rear side of the building – ***Design improved, also incorporated in soffits along the pedestrian sidewalk that access the main floor bike rooms.***
- consider breaking down the horizontal massing of the wall on ground level along the west and rear sides of the building by adding different colours, patterning or texture to enhance pedestrian experience in the area – ***We feel that the angled metal panels, with varying dimensions achieves this request.***

Panel Decision

It was moved and seconded
That DP 18-797127 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED

City of Richmond

Development Permit Considerations

Development Applications Department

8131 Westminster Highway DP 18-797127

Prior to forwarding this Development Permit application to Council for approval, the owner must complete the following requirements:

1. (***Voluntary Contributions***) City acceptance of the Owner's offer to provide the following voluntary contributions and should the contributions not be provided within one year of the application being presented to Development Permit Panel, the contribution rates will be increased annually to reflect current contribution rates.
   a) $37,115.79 towards future City community planning studies, as set out in the City Centre Area Plan (i.e. $0.30 x 123,719.31 maximum buildable square feet).
   b) $91,988.51 towards the City's Public Art Program (i.e. $0.89 x 97,674.67 residential square feet, excluding affordable housing and $0.47 x 11,599.54 commercial/office square feet).
2. (***Landscape Security***) Submission of a Letter of Credit for landscaping in the amount of $387,783.18 as specified on the landscape cost estimate provided and sealed by the project Landscape Architect (including materials, installation and 10% contingency).
3. (***Road Dedication***)
   a) 3 m road dedication along the entire south property line for future Westminster Highway widening.
   b) 6 m lane dedication along the entire west property line.
   c) 6 m lane dedication along the entire north property line.
   d) 7 m by 7 m lane dedication corner cut at the intersection of the new north-south and east-west lanes.
4. (***Flood Construction Level***) Registration of a flood indemnity restrictive covenant on Title (Area A).
5. (***Aircraft Noise Sensitive Development***) Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise (Area 3) to the proposed dwelling units. Dwelling units must be designed and constructed to achieve:'
   c) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

   d) the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
6. (***Commercial Noise***) Registration of a commercial noise restrictive covenant on title addressing noise impacts generated by the internal uses from penetrating into residential areas that exceed noise levels allowed in the City's Noise Bylaw and that noise generated from rooftop equipment will comply with the City's Noise Bylaw.
7. (***Canada Line Noise***) Registration of a mixed-use noise sensitive use covenant on title addressing noise impacts on residential uses, including those related to the Canada Line.
8. (***City Centre Impacts***) Registration of a legal agreement on title stipulating that the development is subject to potential impacts due to other development that may be approved within the City Centre including without limitation, loss of views in any direction, increased shading, increased overlook and reduced privacy, increased ambient noise and increased levels of night-time ambient light, and requiring that the owner provide written notification of this through the disclosure statement to all initial purchasers, and erect signage in the initial sales centre advising purchasers of the potential for these impacts.
9. (***Parking, Loading and Bicycle Storage***) Registration of a legal agreement on title, ensuring:
   a) The provision of shared visitor/commercial/office parking spaces in accordance with the DP and such spaces will be identified and will not be sold, leased, assigned, designated or allocated in any other manner to individual unit

owners/renters/occupants or any other person. The shared parking spaces are to be available for use by customers of commercial/office units within the subject development during business hours and available for use at all times by both visitors of residents of residential units; and owners, tenants and employees of commercial/office units.

b) The provision of shared loading area in accordance with the DP and such area will be identified and will not be sold, leased, assigned, designated or allocated in any other manner to individual unit owners/renters/occupants or any other person.

c) The provision of shared bicycle storage areas designated as common property for the sole purpose of bicycle storage by residents of residential units; and owners, tenants and employees of commercial/office units. The conversion of bicycle storage area into habitable space is prohibited (e.g., other storage uses).

10. (***Electric Vehicle (EV) Charging Infrastructure for Vehicles & "Class 1" Bicycle Storage***) Registration of a legal agreement on title, securing the owner's commitment to voluntarily provide, install, and maintain EV charging infrastructure within the buildings on the subject site. More specifically, the minimum required rates for EV charging infrastructure shall the greater of the following table or as per the Official Community Plan or Zoning Bylaw rates in effect at the time of Development Permit approval.

User/Use	Energized Outlet – Minimum Permitted Rates	
	Vehicle Parking (1)	**"Class 1" (Secured) Bike Storage (2)**
Market Residential (i.e. resident parking & bike storage)	(1 per parking space as per Zoning Bylaw)	1 per each 10 bikes or portion thereof in a bike storage room or locker (which Energized Outlet shall be located to facilitate shared use with bikes in the room/locker)
Affordable Housing (i.e. resident parking & bike storage)		
Non-Residential (i.e. shared/tenant/employee parking & bike storage)	1 in 10 parking spaces	1 per each 10 bikes or portion thereof in a bike storage room or locker (which Energized Outlet shall be located to facilitate shared use by bikes when secured in the room/locker)

(1) "Vehicle Parking" "Energized Outlet" shall mean all the wiring, electrical equipment, and related infrastructure necessary to provide Level 2 charging (as per SAE International's J1772 standard) or higher to an electric vehicle.

NOTE: Richmond's Electric Vehicle Charging Infrastructure Bylaw provides that, where an electric vehicle energy management system is implemented, the Director of Engineering may specify a minimum performance standard to ensure a sufficient rate of electric vehicle charging. For the purposes of the Bylaw, electric vehicle energy management system means a system to control electric vehicle supply equipment electrical loads comprised of monitor(s), communications equipment, controller(s), timer(s), and other applicable devices.

(2) "Class 1 (Secured) Bike Storage" "Energized Outlet" shall mean an operational 120V duplex outlet for the charging of an electric bicycle and all the wiring, electrical equipment, and related infrastructure necessary to provide the required electricity for the operation of such an outlet.

11. (***Housing Agreement***) Registration of the City's standard Housing Agreement and Housing Covenant to secure **13** affordable housing units, the combined habitable floor area of which shall comprise at least **10%** of the subject development's total residential building area. Occupants of the affordable housing units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces. No more than 50% of affordable housing parking spaces shall be small car size. Affordable Housing tenants shall not be charged any additional fees (e.g., parking fees, move in/move out fees). The terms of the Housing Agreements shall indicate that they apply in perpetuity and provide for the following:

Unit Type	Affordable Housing Strategy Requirements			Project Targets	
	Minimum Unit Area	**Maximum Monthly Unit Rent (1)**	**Total Maximum Household Income(1)**	**Unit Mix**	**# of Units (2)**
Studio	37 m^2 (400 ft^2)	$811	$34,650 or less	7.7%	1
1-Bedroom	50 m^2 (535 ft^2)	$975	$38,250 or less	0%	0
2-Bedroom	69m^2 (741 ft^2)	$1,218	$46,800 or less	61.5%	8
3-Bedroom	91 m^2 (980 ft^2)	$1,480	$58,050 or less	30.8%	4
Total	**1,019 m^2 (10,970 ft^2)**	**N/A**	**N/A**	**100%**	**13**

(1) Denotes the council-approved rates as of July 24, 2017. Rates may be adjusted periodically as provided for under adopted City policy.

(2) 100% of affordable housing units meet Richmond Basic Universal Housing (BUH) standards.

12. (***District Energy Utility***) Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:

a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;

b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until:

   i. the building is connected to the DEU, which may include the owner's supplied and installed central energy plant to provide heating and cooling to the building, at no cost to the City, or the City's DEU service provider, Lulu Island Energy Company, on the subject site satisfactory to the City;

   ii. if the City so elects, the owner transfers ownership of the central energy plant on the site, if any, at no cost to the City, or City's DEU service provider, Lulu Island Energy Company, to the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City;

   iii. the owner enters into a Service Provider Agreement with the City and/or the City's DEU service provider, Lulu Island Energy Company, on terms and conditions satisfactory to the City; and

   iv. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building and the operation of the central energy plant, if any, by the City and/or the City's DEU service provider, Lulu Island Energy Company.

c) If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:

   i. the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;

   ii. the owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation ;

   iii. the owner grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and

   iv. the owner provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.

13. (***Servicing Agreement***) Enter into a Servicing Agreement* for the design and construction of Engineering and Transportation works in accordance with Transportation Association of Canada (TAC) Specifications, City Engineering Design Specifications and applicable Bylaws to the satisfaction of the City. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, the following:

13.I. Road works:

a) Westminster Highway Frontage Improvements: Works to include, from north to south, a 3.0 m wide concrete sidewalk at the new property line, hardscape boulevard (Min. 1.5 m width) with soil cells, street trees in 1.2 m x 1.8 m tree grates and 0.3 m x 0.6 m grey tone pavers running parallel behind existing curb and gutter, maintain existing westbound traffic lanes, and lengthen the existing raised median to the east by approximately 15.0 m.

b) New City Lane: Works to include, along the entire west and north property lines, new laneway complete with roll-over curbs on both sides and between the roll-over curbs, asphalt driving surface.

13.II. Water Works:

a) Using the OCP Model, there is 733.0L/s of water available at a 20 psi residual at Westminster Highway frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.

b) At the Owner's cost, the Owner is required to:

   i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.

c) At the Owner's cost, the City is to:

   i. Abandon and cap at main the existing water service connection.

ii. Install a new water service connection at the Westminster Highway frontage, complete with meter, meter box, and right-of-way. Install a water service connection off of the existing water main at Westminster Highway, complete with water meter, which shall be part of the on-site Mechanical Works design.

13.III. Storm Sewer Works:

a) At the Owner's cost, the Owner is required to:

i. Install approximately 122 m of lane drainage along the north and the west property lines. The lane drainage shall connect to the existing 300 mm storm sewer via a new manhole. The City, at the developer's cost, shall extend the tie-in from the new manhole towards south to ultimately connect to the 800 mm box culvert on Westminster Highway.

b) At the Owner's cost, the City is to:

i. Cut and cap at main all existing storm sewer connections to the development site.

ii. Install a new storm service connection complete with inspection chamber at the east end of the south property line and tie-in to the existing 300 mm storm sewer at Westminster Highway into a new sump manhole. Extend the tie-in from the new manhole towards south to ultimately connect to the 800 mm box culvert on Westminster Highway.

13.IV. Sanitary Sewer Works:

a) At the Owner's costs, the Owner is required to:

i. Through the servicing agreement process, remove the post-sinkhole sanitary lines along the entire west property line (including the 43 m replacement pipe) that may be damaged by the project's upcoming preload, soil densification (if required), foundation works and building construction and replace it with a new sanitary line (approximately 88 m) from existing sanitary manhole SMH3121 located at the southwest corner to SMH3122 located at the northwest corner of the site. Replacement works would be subject to the result of a video inspection of the post-sinkhole sanitary lines.

b) At the Owner's cost, the City is to:

i. Cut and cap, at main, the existing sanitary sewer connection to the development site.

ii. Install a new sanitary service connection at the existing manhole SMH3123 located just north of the north east corner of the property.

13.V. Frontage Improvements:

a) At the Owner's costs, the Owner is required to:

i. Provide frontage improvements as per Transportation's requirements.

ii. Construct a new walkway along the north and west property lines of the development site as per Planning and Transportation requirements.

iii. Review street lighting levels along Westminster Hwy frontage and provide lighting as per City standards using LED fixtures along the lane at the north and the west property lines of the development site.

iv. Coordinate with BC Hydro, Telus and other private communication service providers:

1. Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.

2. To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:

BC Hydro PMT	4.0 m x 5.0 m	Shaw cable kiosk	1.0 m x 1.0 m	Traffic signal UPS	1.0 m x 1.0 m
BC Hydro LPT	3.5 m x 3.5 m	Telus FDH cabinet	1.1 m x 1.0 m		
Street light kiosk	1.5 m x 1.5 m	Traffic signal kiosk	2.0 m x 1.5 m		

13.VI. General Items:

a) At the Owner's cost, the Owner is required to:

i. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

ii. Provide, prior to first SA design submission, if preload is required, a geotechnical assessment of preload and soil preparation impacts on the existing 200mm PVC sanitary pipe along the west property line and the existing 250 PVC sanitary pipe along the north property line, and provide mitigation recommendations. The mitigation recommendations (if required) shall be incorporated into the first SA design submission or if necessary prior to pre-load.

iii. Not encroach into the existing SRW with proposed trees, non-removable fencing, or other structures.

Prior to Building Permit* Issuance, the owner must complete the following requirements:

1. (***Legal Agreements***) Confirmation of compliance with existing and Development Permit legal agreements.
2. (***Development Permit***) Incorporation of special features in Building Permit (BP) plans as determined via the Development Permit process.
3. (***Aircraft Noise Sensitive Development***) Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:

   a. Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

   b. Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.

4. (***Construction Parking and Traffic Management Plan***) Submission of a Construction Parking and Traffic Management Plan* to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570. (http:www.richmond.ca/services/ttp/special.htm).
5. (***Latecomer Works***) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
6. (***Construction Hoarding***) Obtain a Building Permit* (BP) for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the BP. For further information on the Building Permit, please contact the Building Approvals Department at 604-276-4285.

Note:

* This requires a separate application.

• Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office (LTO) shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the LTO shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed | Date

City of Richmond

Development Permit

No. DP 18-797127

To the Holder:	WENSLEY ARCHITECTURE LTD.
Property Address:	8131 WESTMINSTER HIGHWAY
Address:	C/O CARL HUMPHREY 1444 ALBERNI STREET, UNIT 301 VANCOUVER, BC V6G 2Z4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #32 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of $387,783.18. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-797127

To the Holder:	WENSLEY ARCHITECTURE LTD.
Property Address:	8131 WESTMINSTER HIGHWAY
Address:	C/O CARL HUMPHREY 1444 ALBERNI STREET, UNIT 301 VANCOUVER, BC V6G 2Z4

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

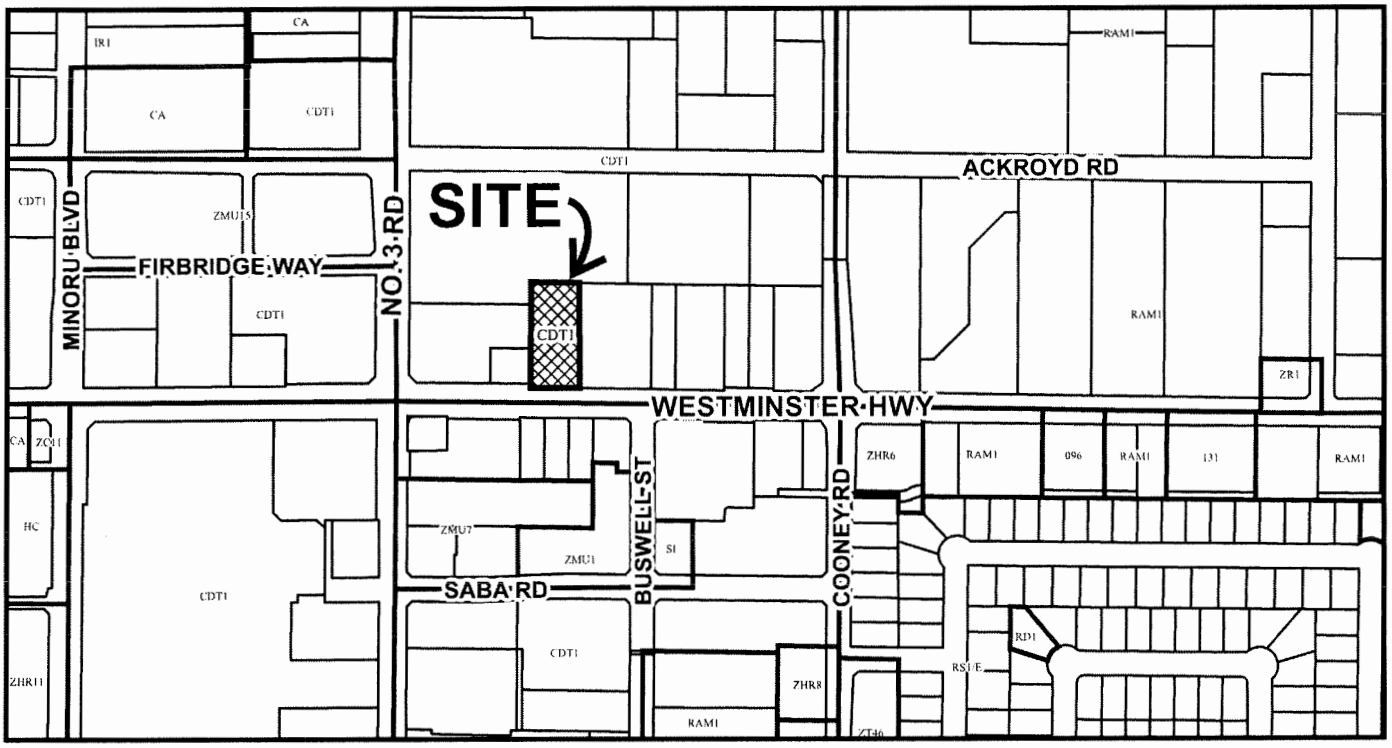
   This Permit is not a Building Permit.

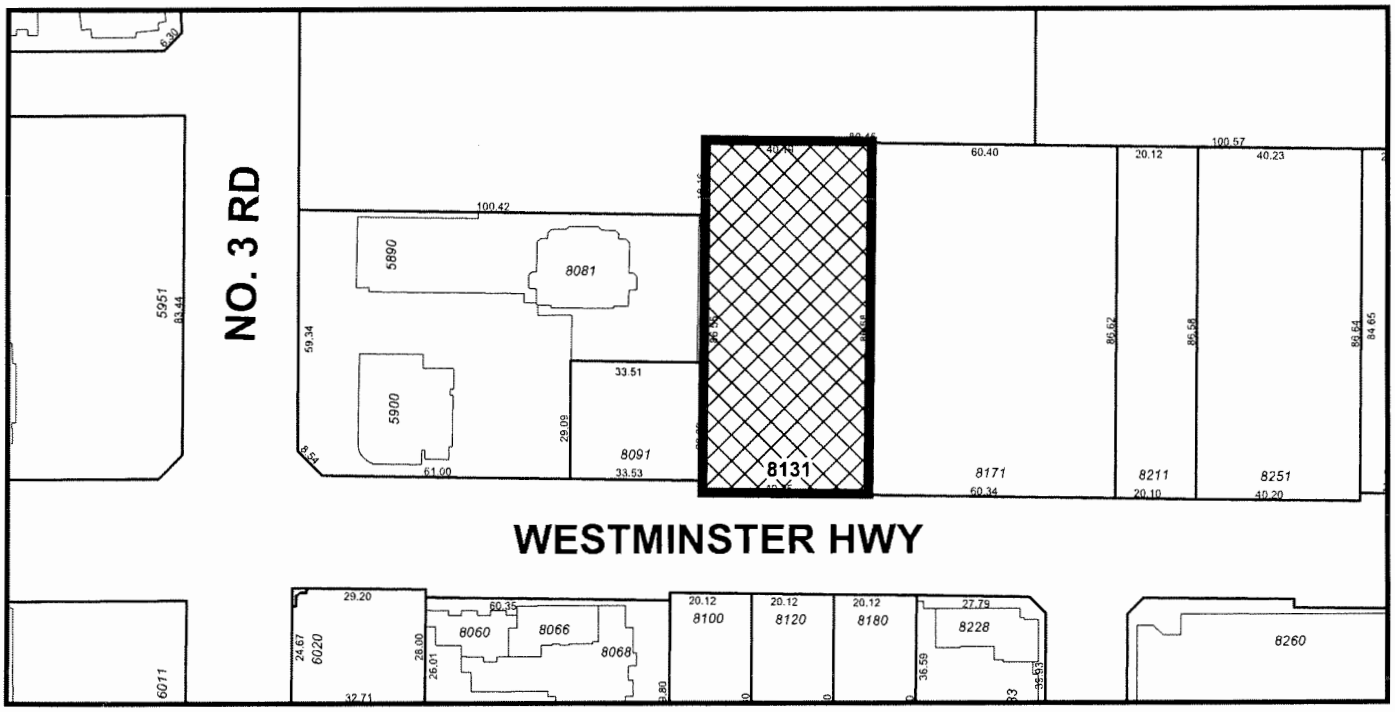
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

City of Richmond





DP 18-797127
SCHEDULE "A"

Original Date: 01/18/18

Revision Date:

Note: Dimensions are in METRES

LEGAL DESCRIPTION	LOT 67 SECTION 4 BLOCK 4 NORTH RANGE 6 WEST NWD PLAN 44025
CIVIC ADDRESS	8131 WESTMINSTER HIGHWAY
ZONING	CDT1 (DOWNTOWN COMMERCIAL)
SITE AREA	3483m² - 37491.93 ft² x 3.30 FAR = 11,493.9m² **123,723.35 ft²**
	DENSITY BONUS FOR INDOOR AMENITY SPACE UP TO 0.1 FAR = SITE AREA: 3483m² X 0.1 = 348.3m² - 0.06 ACHIEVED - 3.36 FAR **(11,702.88m² -125,972.87 ft²)**

CCAP - MAX TOWER FLOOR PLATE: 650 m² (6,997 ft²) + MINIMUM DISTANCE B/T TOWERS: 24 m (79 FT)

		REQUIRED	PROPOSED
MAX. ALLOWABLE F.S.R - (9.3.4.2)		3.00	3.30 Bonus -AH
MAX. ALLOWABLE SITE COVERAGE - (9.3.5)		90%	86.00%
MAX. BUILDING HEIGHT - (9.3.7)	**47 m -154.2'**		
	CROWN OF WESTMINSTER HIGHWAY: **1.36 m (4.47') - 45.64 m**		
SET BACKS (**PODIUM**) - (9.3.6)	SIDE-INTERIOR	NONE	NONE
	REAR YARD (LANE)	0.00 m	0.0 m
	FRONT YARD	3.0 m	3.0 m
	EXTERIOR SIDE YARD	3.0 m	3.0 m
SETBACKS (**TOWER**)	FRONT YARD	9.0 m	9.0 m
	INTERIOR SIDE YARD	12.0 m	12.0 m
	REAR YARD (LANE)	0.0 m	0.0 m

UNIT	DESCRIPTION	NET AREA (m²)	NET AREA (ft²)	# OF UNITS	LEVELS	COMBINED (ft²)
1 BR + STUDIO						
A1	STUDIO	41.06	442.00	3	5,6,7	1,326.00
A2	STUDIO	42.18	454.00	4	4,5,6,7	1,816.00
A3	STUDIO	40.78	439.00	8	4,5,6,7	3,512.00
A4-AH-BUH	STUDIO	38.56	415.00	1	5	415.00
A4	STUDIO	38.56	415.00	7	4,5,6,7	2,905.00
D	1BR + FLEX	40.03	517.00	4	4,5,6,7	2,068.00
E	1BR + FLEX	50.08	539.00	4	4,5,6,7	2,156.00
G	1BR + FLEX	50.35	542.00	4	4,5,6,7	2,168.00
1BEDROOM + STUDIO SUBTOTAL				**35**		**16366.00**
2 BR						
B1	2 BEDROOM	55.65	599.00	10	8,9,10,11,12	5,990.00
B2	2 BEDROOM	52.30	563.00	5	8,9,10,11,12	2,815.00
B3	2 BEDROOM	64.10	690.00	5	8,9,10,11,12	3,450.00
B4	2 BEDROOM	71.35	768.00	5	8,9,10,11,12	3,840.00
B5	2 BEDROOM	63.64	685.00	5	8,9,10,11,12	3,425.00
B6	2 BEDROOM	59.46	640.00	5	8,9,10,11,12	3,200.00
C	2 BEDROOM	63.17	680.00	4	4,5,6,7	2,720.00
F	2 BEDROOM	72.84	784.00	4	4,5,6,7	3,136.00
H (AH-BUH)	2BR + FLEX	72.46	780.00	4	4,5,6,7	3,120.00
J1	2BR + FLEX	78.78	848.00	4	4,5,6,7,	3,392.00
J1-A	2BR + FLEX	78.97	850.00	4	4,5,6,7,	3,400.00
J1-B	2BR + FLEX	78.97	850.00	4	4,5,6,7,	3,400.00
J1(AH-BUH)	2BR + FLEX	79.89	860.00	4	4,5,6,7,	3,440.00
J2	2 BEDROOM	77.11	830.00	4	4,5,6,7,	3,320.00
J2-A	2 BEDROOM	77.11	830.00	4	4,5,6,7,	3,320.00
L	2 BEDROOM	84.91	914.00	2	13,14	1,828.00
M	2 BEDRROM	70.33	757.00	5	8,9,10,11,12	3,785.00
N1	2 BEDROOM	81.10	873.10	5	8,9,10,11,12	4,365.50
N2	2 BEDROOM	99.59	1,072.00	1	13,14	1,072.00
O2	2 BEDROOM	80.73	869.00	1	13,14	869.00
2 BEDROOM SUBTOTAL				**85**		**63,887.50**
3 BR						
O1	3BR + 3BATH	103.40	1,113.00	1	13,14	1,113.00
O1-A	3BR + 3BATH	104.33	1,123.00	1	13,14	1,123.00
O1-B	3BR + 3BATH	104.05	1,120.00	1	13,14	1,120.00
O1-C	3BR + 3BATH	104.33	1,123.00	1	13,14	1,123.00
O1-D	3BR + 3BATH	106.84	1,150.00	1	13,14	1,150.00
O3	3BR + 3BATH	98.48	1,060.00	1	13,14	1,060.00
Q	3BR + 2BATH	90.30	972.00	4	4,5,6,7	3,888.00
R (AH-BUH)	3BR + 2BATH	92.16	992.00	4	4,5,6,7	3,968.00
3 BEDROOM SUBTOTAL				**14**		**14,545.00**
TOTAL UNITS (SALEABLE AREA)				**134**		**94,799**
TOTAL RESIDENTIAL AREA FOR AFFORDABILITY CALCULATION (EXCLUSIONS L4 - 14)						**107,245**

Notes:

- 13 low-end-of-market-rental affordable housing units required to comply with Housing Agreement legal agreements and are all Basic Universal Housing Features units required to comply with Zoning Bylaw standards.
- Indoor Amenity space for the shared use of all residents on the 3rd and 4th floor levels for the shared use of all residents.
- Development required to be designed with the ability to connect to a City DEU system, when available. District Energy Utility requirements as per legal agreement.
- Development required to achieve LEED Silver equivalent.
- Development required to meet indoor acoustic and thermal criteria as per legal agreement.
- Hose bibs to be provided in both outdoor amenity areas.
- Irrigation to be provided in all landscaped areas.
- Servicing Agreement required. Off-site and SRW works to be provided via separate required Servicing Agreement for City road works, frontage improvement works, infrastructure works and SRW vehicle access works as per legal agreement.
- This Development Permit does not include signage. All signage required to comply with Sign Regulation bylaw 9700, including submitting separate sign permit applications as needed.

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NORTH ARROW.

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 1
Jun 2, 2020

NO	ISSUE	YY/MM/DD
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	19/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/12/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/12/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/06/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
STATISTICS SHEET

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: N.T.S. REVIEW BY: BW
DWG NO: A0001 MARCH,2020

STATISTICS:

TOTAL CIRCULATION AREA	**5,732**
TOTAL RESIDENTIAL	**107,245**
TOTAL GROSS COMMERCIAL (LEASABLE: 4,898.27ft²)	**4,914**
TOTAL GROSS OFFICE (LEASABLE: 5,175.48 ft²)	**5,189**
TOTAL PROJECT AREA - RESIDENTIAL + COMMERCIAL + OFFICE (4.5.1 - EXCLUSIONS)	**123,080**

PARKING STATISTICS-7.0	**PROPOSED**
STRUCTURED PARKING STALLS (INTERIOR)	161
PARKING STALLS (EXTERIOR)	3
TOTAL STALLS PROPOSED	**164**

RESIDENTIAL PARKING (134 UNITS)			**REQUIRED**		**PROPOSED**
RESIDENTIAL	121 UNITS	1 STALL/UNIT = 121	**121**		**121**
AFFORDABLE RESIDENTIAL	13 UNITS	0.9/UNIT = 11.7	**12**		**12**
VISITOR PARKING	134 UNITS	0.2/UNIT = 26.8	27	SHARED WITH GENERAL RETAIL/OFFICE	(31 SHARED)
GENERAL RETAIL PARKING	3.75/100 m² L1	3.75/433.2 m² = 16.2	16		
OFFICE PARKING	2.55/100 m² L2	2.55/459.7 m² = 11.7	12		
SHARED PARKING (VISITOR & GENERAL RETAIL/OFFICE)			**28**	**(PREVIOUSLY REQUESTED 30)**	**31**
TOTAL STALLS REQUIRED 7.9.3.1			**161**		**164**

TOTAL PARKING STALLS								
TOTAL STALLS SIZES 7.5.11		**PERCENTAGE %**	**SHARED (P1, P2)**	**RESIDENTIAL P2**	**P3**	**P4**	**TOTALS**	**PERCENTAGE %**
STANDARD SPACES	5.5m x 2.5m (18.0' x 8.2')		**15**	**9**	**18**	**12**	**54**	**32.93%**
OVERSIZED STANDARD SPACES	5.5m x 2.74m (18.0' x 9.0')		**5**	**4**	**6**	**15**	**30**	**18.29%**
SMALL SPACES	4.6m x 2.3m (15.1' x 7.54') **- MAXIMUM 50%**	**45%**	**6**	**10**	**12**	**14**	**42**	**25.61%**
OVERSIZED SMALL SPACES	4.6m x 2.74m (15.1' x 9.0')		**0**	**11**	**11**	**9**	**31**	**18.90%**
ACCESSIBLE SPACES	5.5m x 3.7m (18.0' x 12.14') - 2% OF OVERALL		**2**	**2**	**0**	**0**	**4**	**2.44%**
PARALLEL SPACES	5.5m x 2.5m (18.0' x 8.2')		**3**	**0**	**0**	**0**	**3**	**1.83%**
MEDIUM LOADING SPACES	9.1m x 3.0m (29.85' x 9.8')		**2**				**2 LOADING**	
			31 + 2 LOADING	**36**	**47**	**50**	**164 + 2 LOADING**	**100.00%**

BICYCLES STORAGE-7.14.10	**@ 134 UNITS**	**REQUIRED**	**PROPOSED**
RESIDENTIAL (CLASS 1)	1.25 STALL/UNIT	**168**	**169**
RESIDENTIAL(CLASS 2)	0.2 STALLS/UNIT	**27**	**27**
COMMERCIAL/OFFICE (CLASS 1)	0.27/100 m²	**2**	**2**
COMMERCIAL/OFFICE (CLASS 2)	0.4/100 m²	**4**	**4**
TOTAL BIKE STALLS - CLASS 1		**170**	**171**
TOTAL BIKE STALLS - CLASS 2		**31**	**31**
TOTAL BIKE STALLS - CLASS 1 TYPES: REGULAR		**110**	**64%**
TOTAL BIKE STALLS - CLASS 1 TYPES: VERTICAL		**50**	**29.24%**
TOTAL BIKE STALLS - CLASS 1 TYPES: LARGE		**11**	**6.43%**
		171	**100.00%**

AMENITY	**@ 134 UNITS**	**REQUIRED (m²)**		**PROPOSED (m²)**
OUTDOOR AMENITY	6.0 m²/UNIT (134)	804 m²	LEVEL 04	359.77
			LEVEL 08 (NORTH)	264.75
			LEVEL 08 (SOUTH)	206.21
			TOTAL:	**830.73**
INDOOR AMENITY	MIN. 100 m²	100 m²	AMENITY 01:LEVEL 03	194
			AMENITY 02:LEVEL 04	41.1
			TOTAL:	**235.1**

MECHANICAL EXCLUSIONS 4.5.1 MAXIMUM 100.0 m²	**AREA (m²)**
WATER ENTRY ROOM	31.75
TELECOM ROOM	22.04
EM DISTRIBUTION	22.57
DISTRICT ENERGY ROOM	20.3
	96.66

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 2
Jun 2, 2020

NO.	ISSUE	MO/DY
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/12/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/06/18
01	DP SUBMISSION - 18 797 127 DP	01/03/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

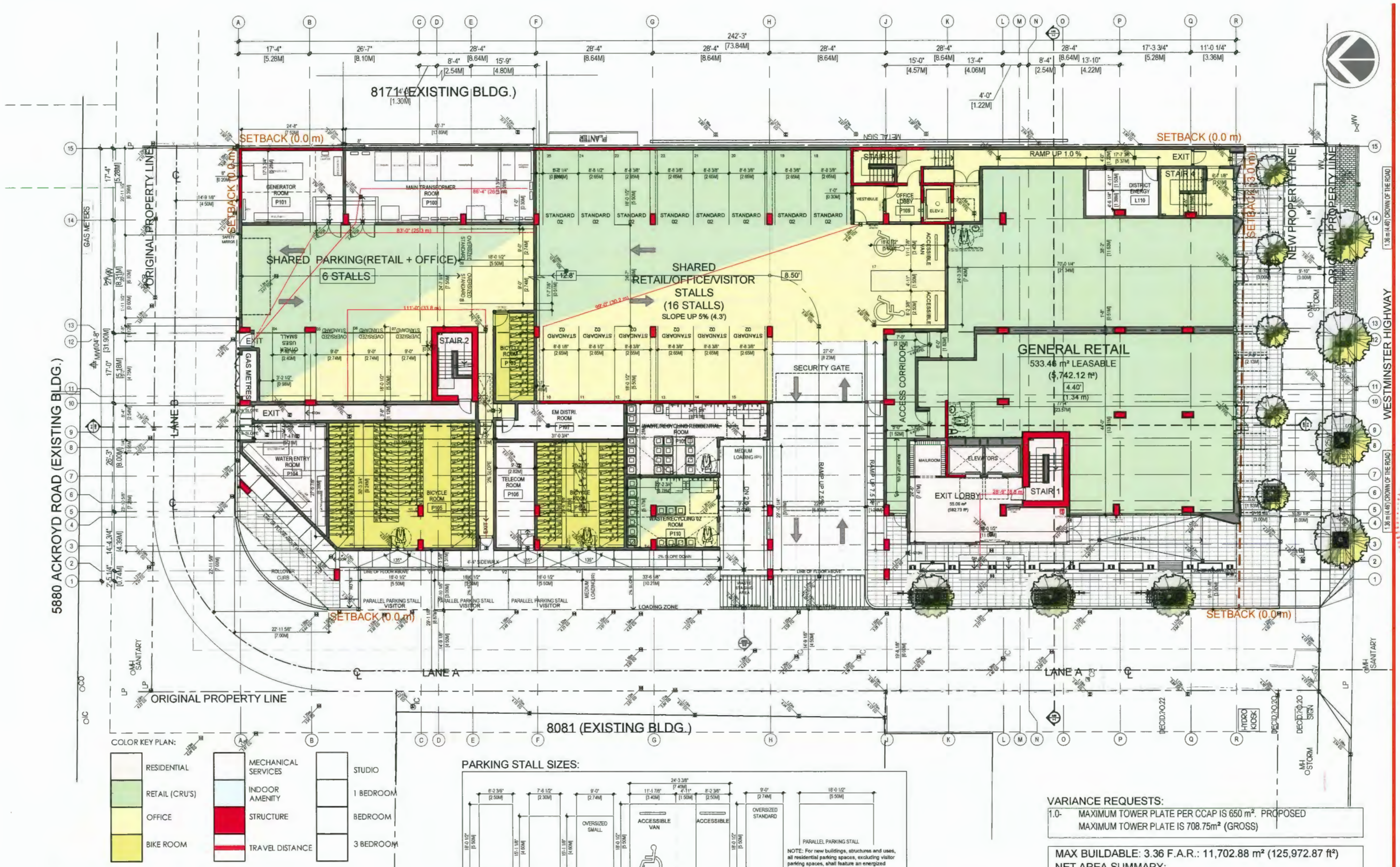
PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
STATISTICS SHEET

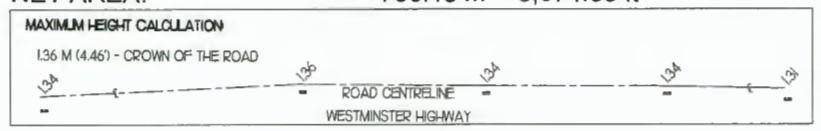
PROJECT NO: 17025 DRAWN BY: CSH
SCALE: N.T.S. REVIEW BY: BW
DWG NO: A0002 MARCH,2020



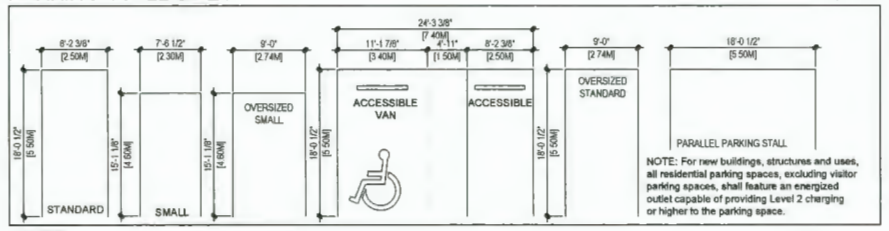
SITE PLAN: MAIN FLOOR L0/P1 -L1/P2

GROSS AREA: 782.62 m² - 8,424.05 ft²
NET AREA: 750.13 m² - 8,074.33 ft²

MAXIMUM HEIGHT CALCULATION



PARKING STALL SIZES:



NOTE:
SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

PARKING STALLS: REQUIRED

		REQUIRED	PROPOSED
RESIDENTIAL UNITS (121)	121 UNITS x 1.0 121	121 0 STALLS	121 0 STALLS
AFFORDABLE UNITS (13)	13 x 0.9 = 11.7 (12)	12 0 STALLS	12 0 STALLS
SHARED			
VISITOR STALLS	0.2 x 134		
RETAIL/OFFICE LEVELS 1 + 2	3.75 /100 m² (489.5 m²)		
RETAIL/OFFICE ABOVE LEVEL 2	2.55/100 m² (484.4 m²)	31 STALLS	31 STALLS
		164 STALLS	164 STALLS

PROPOSED:

P4-TOTAL STALLS - 50 STALLS
P3-TOTAL STALLS - 47 STALLS
P2-TOTAL STALLS - 36 STALLS
P1/P2-SHARED - 31 STALLS
164 STALLS

BIKE LOCKERS (CLASS 01) P1:		CLASS 1:
REGULAR	79	P1-BIKE-84
VERTICAL	0	P2-BIKE-11
LARGE	5	P3-BIKE-11
	84	P4-BIKE-65
		171 STALLS
		CLASS 2:
		32 BIKE RACKS

VARIANCE REQUESTS:
1.0- MAXIMUM TOWER PLATE PER CCAP IS 650 m². PROPOSED MAXIMUM TOWER PLATE IS 708.75m² (GROSS)

MAX BUILDABLE: 3.36 F.A.R.: 11,702.88 m² (125,972.87 ft²)

NET AREA SUMMARY:

LEVEL-0/P1	41.92 m²	451.22 ft²
LEVEL-1/P2	708.21 m²	7,623.11ft²
LEVEL-2/P3	39.02 m²	420.01ft²
LEVEL-2/P4	666.35 m²	7,172.53ft²
LEVEL 3/P5	253.71m²	2,730.91ft²
LEVELS 4-7 (X4 FLOORS)	5,505.92 m²	59,265.23ft²
LEVELS 8-12 (X5 FLOORS)	3,369.55 m²	36,269.53ft²
LEVEL 13	664.02 m²	7,147.45 ft²
LEVEL 14	421.37 m²	4,535.59 ft²
	11,670.07 m²	125,615.59 ft²

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 3
Jun 2, 2020

NO.	ISSUE	M/D/Y
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	11/07/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/11/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/09/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	06/04/18

SEAL

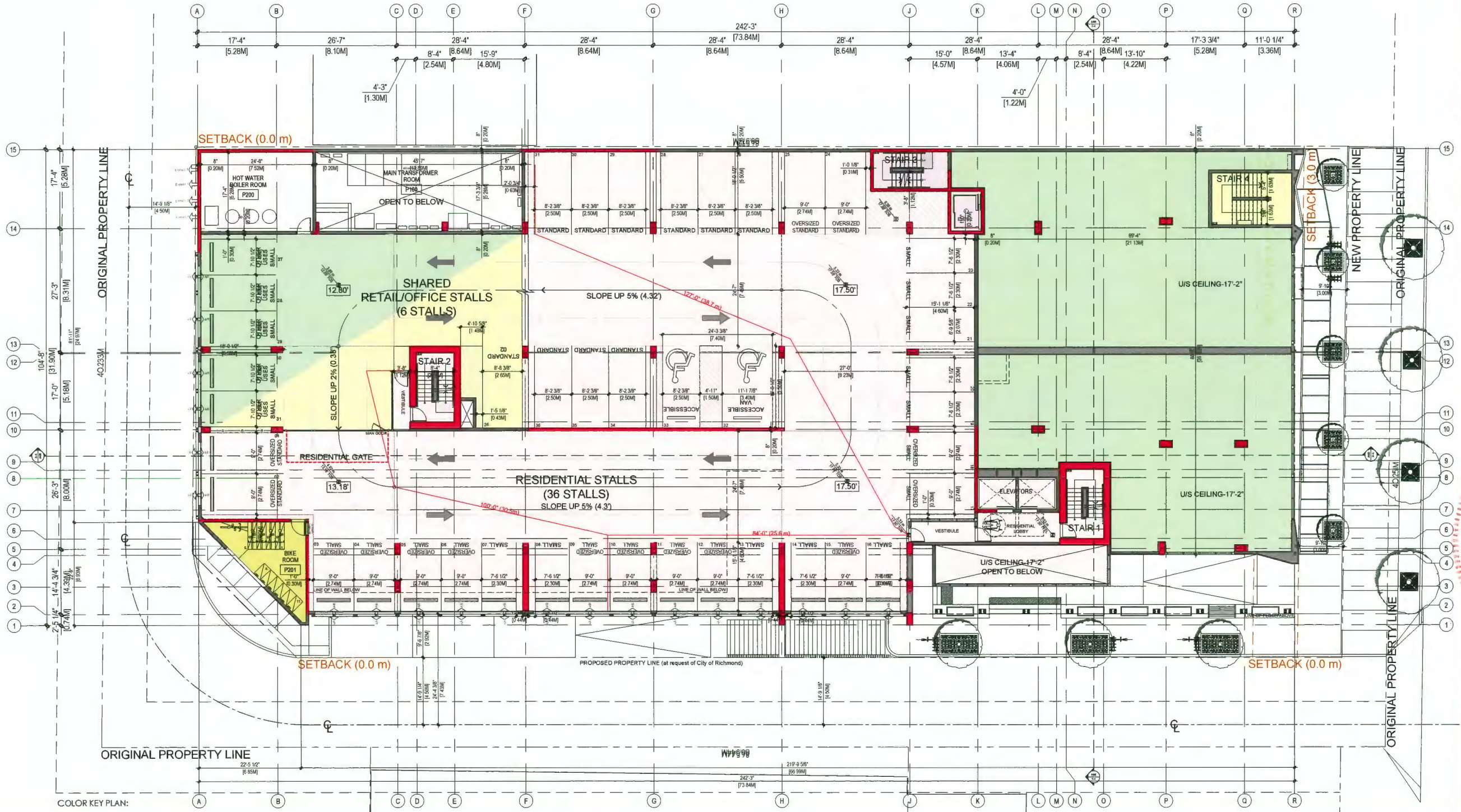
CONSULTANT:
WA ARCHITECTS
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3528 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
SITE PLAN
L00/P1 , L01/P2

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0200
MARCH,2020



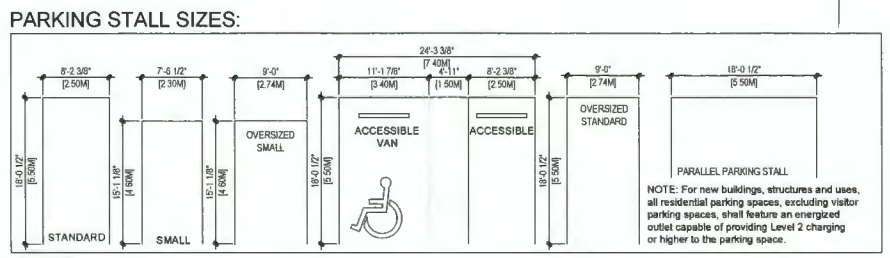
COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

LEVEL 2/P3

GROSS	94.86 m² - 1,021.07 ft²
NET AREA	39.02 m² - 420.01 ft²

PARKING STALL SIZES:



NOTE:

AFFORDABLE UNIT DESIGNATED PARKING (SEE A0213)

PARKING STALLS: REQUIRED

		REQUIRED	PROPOSED
RESIDENTIAL UNITS (121)	121 UNITS x 1.0 121	121.0 STALLS	121.0 STALLS
AFFORDABLE UNITS (13)	13 x 0.9 = 11.7 (12)	12.0 STALLS	12.0 STALLS
SHARED			
VISITOR STALLS	0.2 x 134		
RETAIL/OFFICE LEVEL 1 + 2	3.75 /100 m² (409.5 m²)		
RETAIL/OFFICE ABOVE LEVEL 2	2.55/100 m² (484.4 m²)	31 STALLS	31 STALLS
		164 STALLS	164 STALLS

PROPOSED:

P4-TOTAL STALLS - 50 STALLS
P3-TOTAL STALLS - 47 STALLS
P2-TOTAL STALLS - 36 STALLS
P1/P2-SHARED - 31 STALLS
164 STALLS

BIKE LOCKERS (CLASS 01) P2:		CLASS 1:
REGULAR	4	P1-BIKE-84
VERTICAL	6	P2-BIKE-11
LARGE	1	P3-BIKE-11
	11	P4-BIKE-65
		171 STALLS
		CLASS 2:
		32 BIKE RACKS

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 4
Jun 2, 2020

NO.	ISSUE	
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/09/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	04/09/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

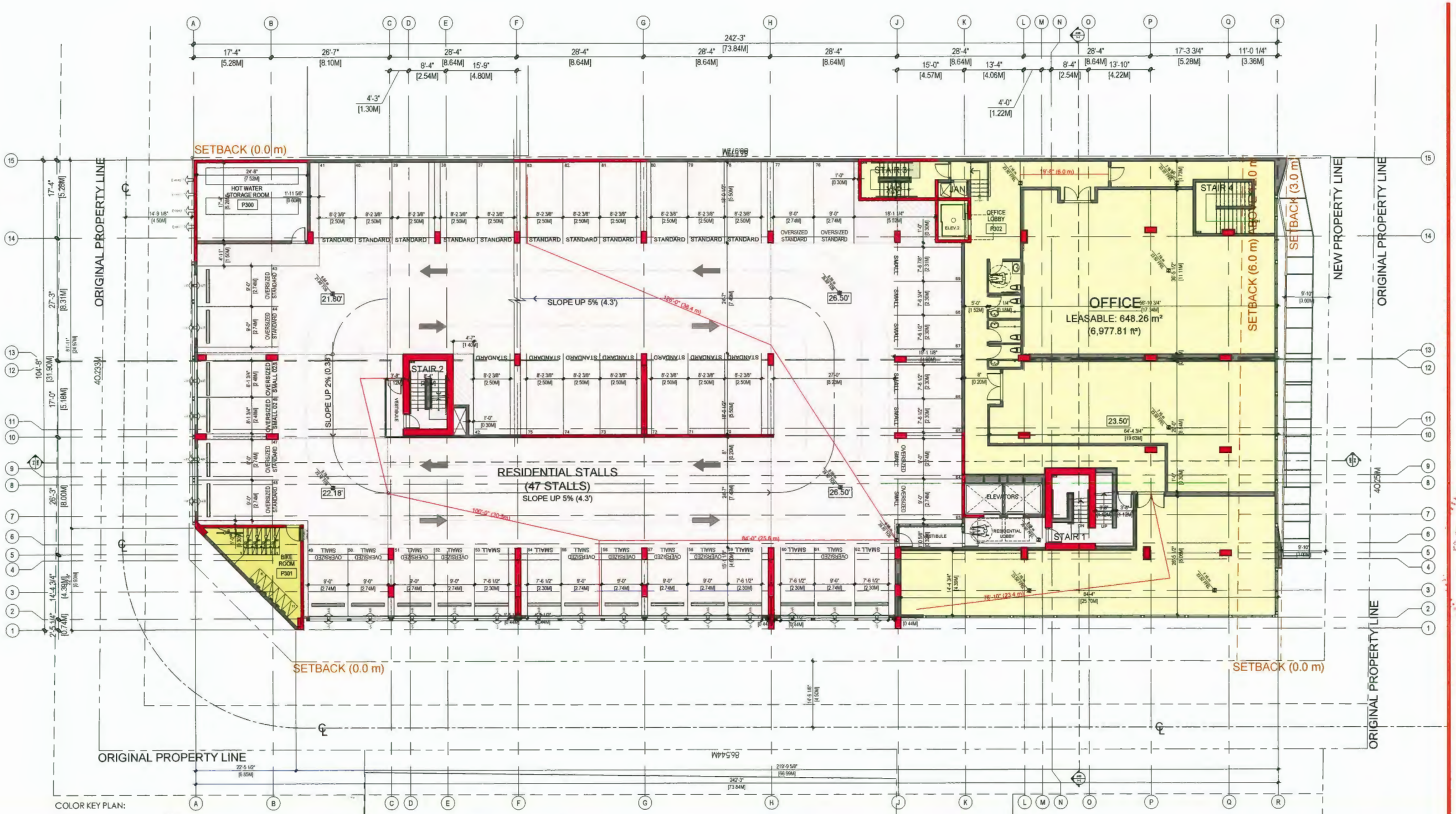
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:

LEVEL 02–P3

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: 3/32"=1'-0" REVIEW BY: BW
DWG NO: A0201 MARCH,2020



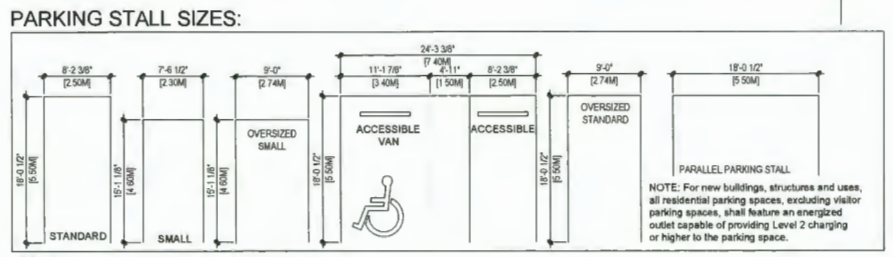
COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

OFFICE LEVEL 2 & P4

GROSS AREA	744.73 m² - 8,016.21ft²
NET AREA	666.35 m² - 7,172.53 ft²

PARKING STALL SIZES:



NOTE:

AFFORDABLE UNIT DESIGNATED PARKING (SEE A0213)

PARKING STALLS: REQUIRED

		REQUIRED	PROPOSED
RESIDENTIAL UNITS (121)	121 UNITS x 1.0 121	121.0 STALLS	121.0 STALLS
AFFORDABLE UNITS (13)	13 x 0.9 = 11.7 (12)	12.0 STALLS	12.0 STALLS
SHARED			
VISITOR STALLS	0.2 x 134		
RETAIL/OFFICE LEVELS 1 + 2	3.75 /100 m² (489.5 m²)		
RETAIL/OFFICE ABOVE LEVEL 2	2.55/100 m² (484.4 m²)	31 STALLS	31 STALLS
		164 STALLS	164 STALLS

PROPOSED:

P4-TOTAL STALLS - 50 STALLS
P3-TOTAL STALLS - 47 STALLS
P2-TOTAL STALLS - 36 STALLS
P1/P2-SHARED - 31 STALLS
164 STALLS

BIKE LOCKERS (CLASS 01) P3:		CLASS 1:
		P1-BIKE-84
		P2-BIKE-11
REGULAR	4	P3-BIKE-11
VERTICAL	6	P4-BIKE-65
LARGE	1	171 STALLS
	11	CLASS 2:
		32 BIKE RACKS

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 5
Jun 2, 2020

NO.	ISSUE	DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION- 18797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	11/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	09/11/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/09/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/20/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jackilin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

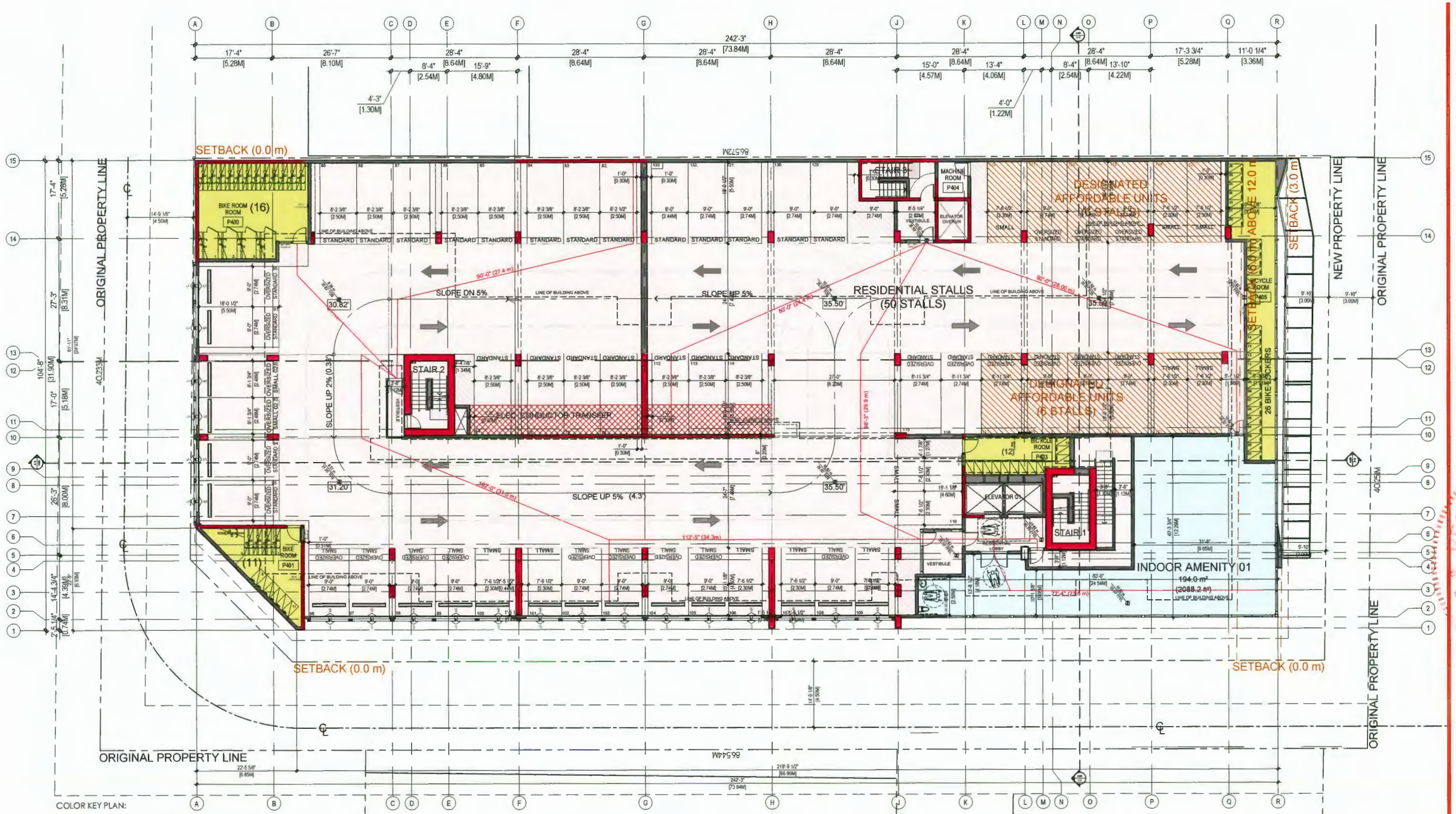
PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
OFFICE
LEVEL 2–P4

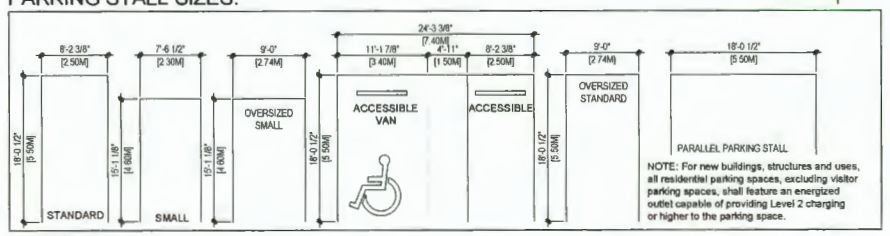
PROJECT NO: 17025 DRAWN BY: CSH
SCALE: 3/32"=1'-0" REVIEW BY: BW
DWG NO: A0202 MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

PARKING STALL SIZES:



NOTE:

AFFORDABLE UNIT DESIGNATED PARKING (SEE A0213)

PARKING STALLS: REQUIRED

		REQUIRED	PROPOSED
RESIDENTIAL UNITS (121)	121 UNITS x 1.0 :121	121.0 STALLS	121.0 STALLS
AFFORDABLE UNITS (13)	13 x 0.9 = 11.7 (12)	12.0 STALLS	12.0 STALLS
SHARED			
VISITOR STALLS	0.2 x 134		
RETAIL/OFFICE LEVELS 1 + 2	3.75 /100 m² (489.5 m²)		
RETAIL/OFFICE ABOVE LEVEL 2	2.55/100 m² (484.4 m²)	31 STALLS	31 STALLS
		164 STALLS	164 STALLS

PROPOSED:

P4-TOTAL STALLS - 50 STALLS
P3-TOTAL STALLS - 47 STALLS
P2-TOTAL STALLS - 36 STALLS
P1/P2-SHARED - 31 STALLS
164 STALLS

BIKE LOCKERS (CLASS 01) P4:		CLASS 1:
REGULAR	16	P1-BIKE-84
VERTICAL	44	P2-BIKE-11
LARGE	5	P3-BIKE-11
	65	P4-BIKE-65
		171 STALLS
		CLASS 2:
		32 BIKE RACKS

FLOOR LEVEL 3 / P5

GROSS AREA	307.04 m² - 3,304.95 ft²
NET AREA	253.71 m² - 2,730.91 ft²

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 6
Jun 2, 2020

NO.	ISSUE	
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	10/26/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

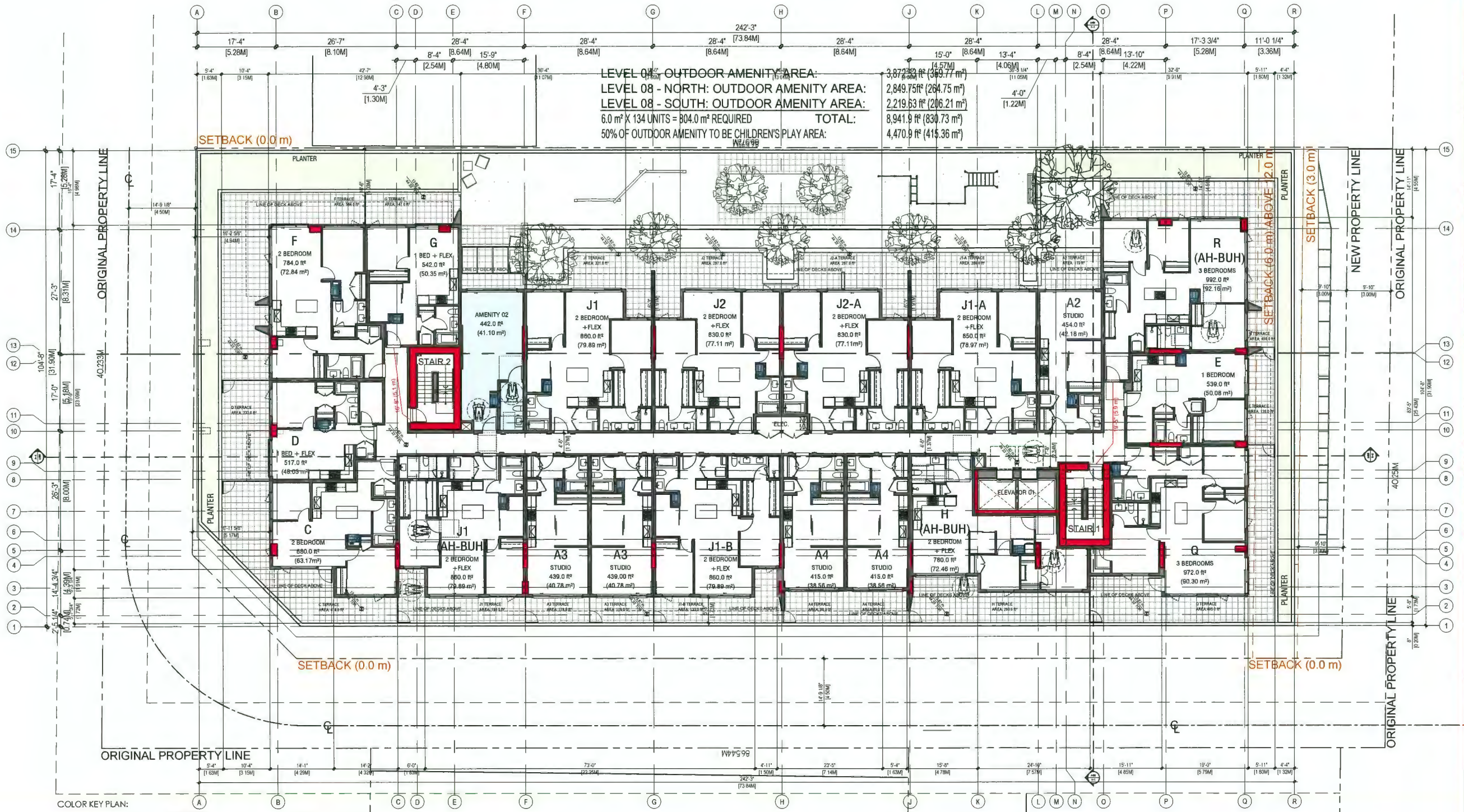
PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
LEVEL 3–P5

PROJECT NO:	17025	DRAWN BY:	CSH
SCALE:	3/32"=1'-0"	REVIEW BY:	BW
DWG NO:	A0203		MARCH,2020



COLOR KEY PLAN:

- RESIDENTIAL
- RETAIL (CRU'S)
- OFFICE
- BIKE ROOM
- MECHANICAL SERVICES
- INDOOR AMENITY
- STRUCTURE
- TRAVEL DISTANCE
- STUDIO
- 1 BEDROOM
- BEDROOM
- 3 BEDROOM

NOTE:
AFFORDABLE UNIT LOCATIONS (SEE A0213)

NOTE:
SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

LEVEL 4

19 UNITS + INDOOR AMENITY

GROSS AREA	1,418.59 m² - 15,269.58 ft²
NET AREA	1,376.25 m² - 14,813.83 ft²

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 7
Jun 2, 2020

NO.	ISSUE	
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/11/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/16/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	05/09/18

SEAL:

CONSULTANT:
WA ARCHITECTS

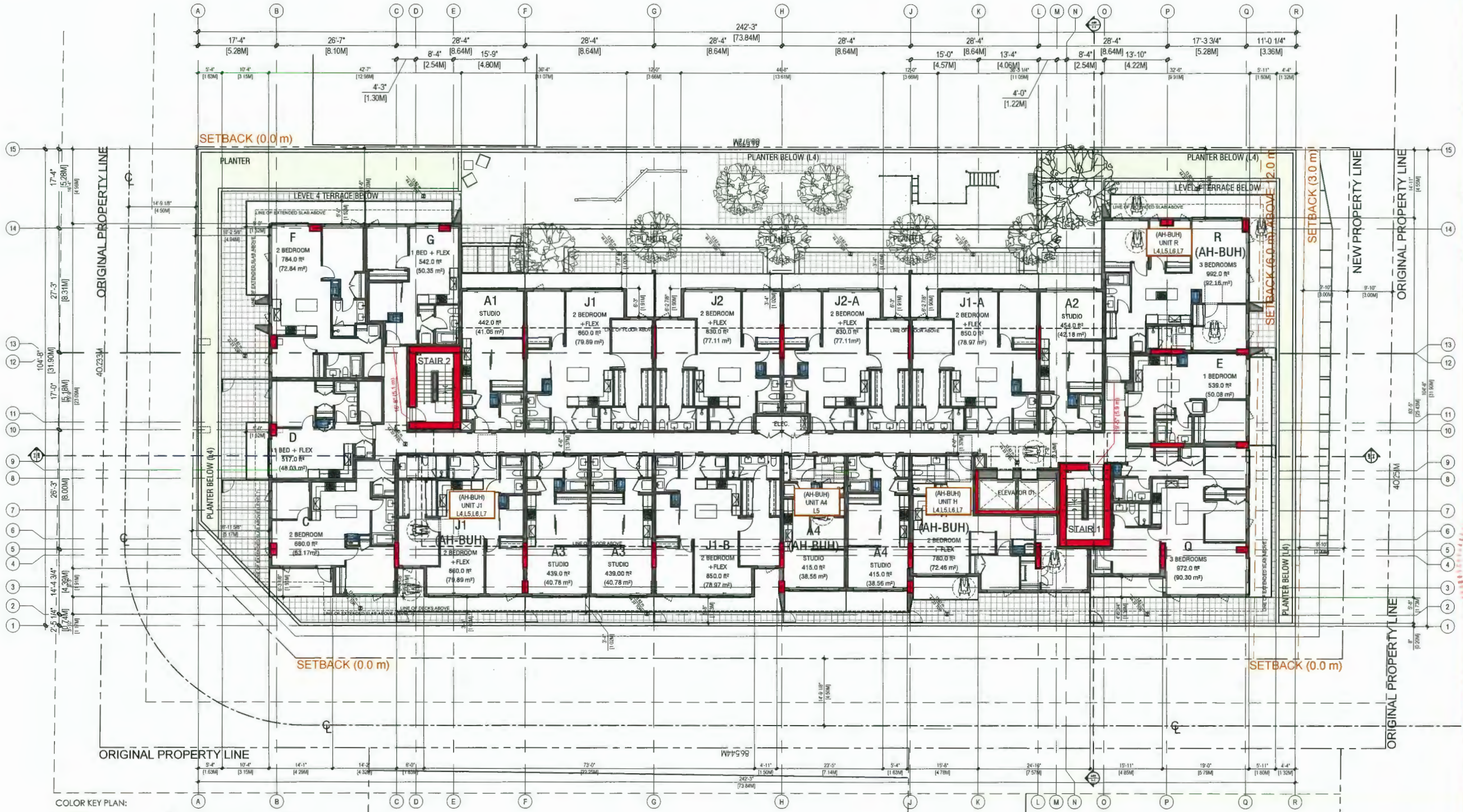
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.605.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
LEVEL 4

PROJECT NO: 17025	DRAWN BY: CSH
SCALE: 3/32"=1'-0"	REVIEW BY: BW
DWG NO: A0204	MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

NOTE:
AFFORDABLE UNIT LOCATIONS (SEE A0213)

NOTE:
SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

LEVEL 5 thru 7	20 UNITS X3 60 UNITS
GROSS AREA	4,263.57 m² - 45,788.92 ft²
NET AREA	4,146.30m² - 44,451.40 ft²

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 8
Jun 2, 2020

NO.	ISSUE	DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	11/28/18

SEAL:

CONSULTANT:
WA ARCHITECTS

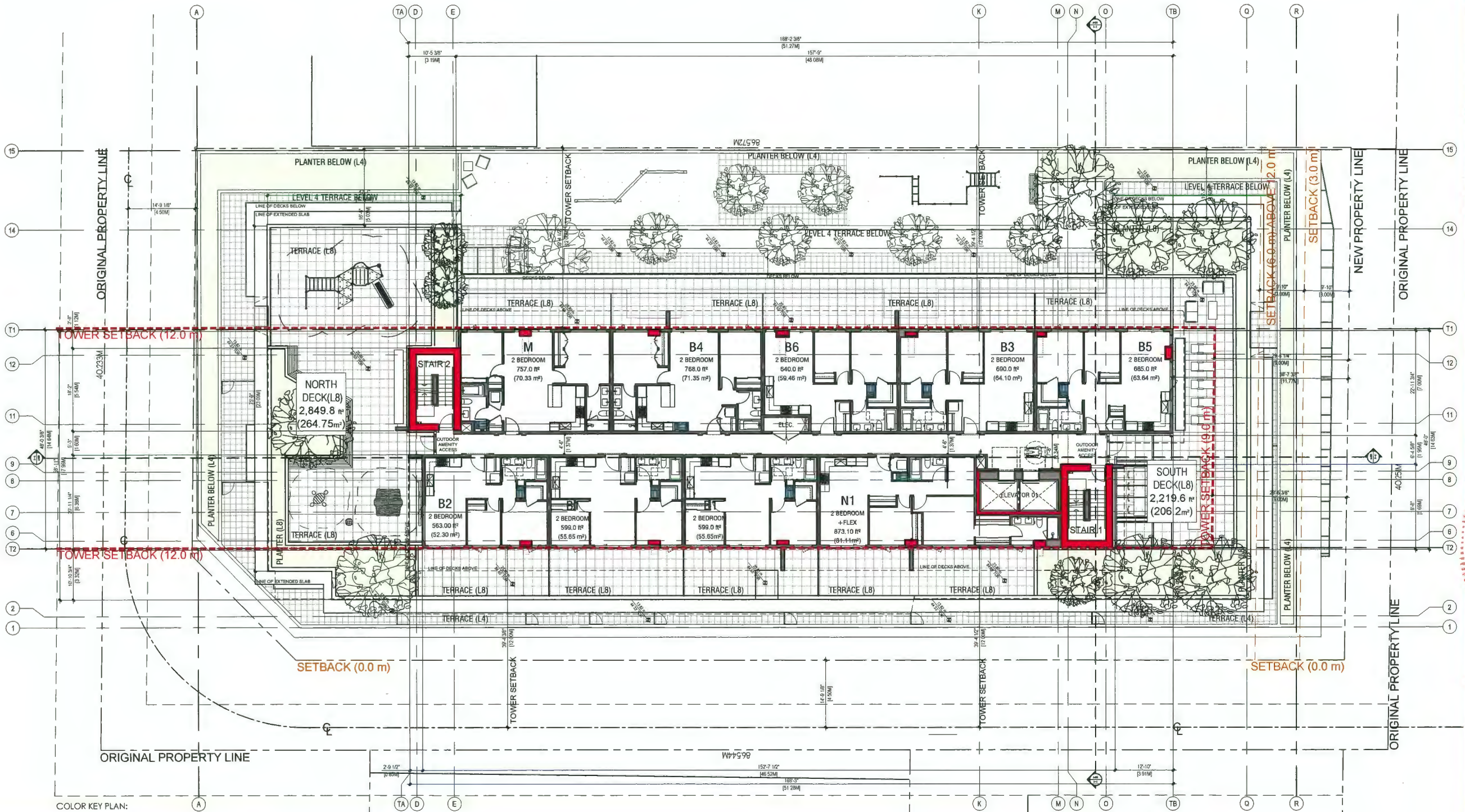
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
LEVELS 5–7

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0205
MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

NOTE:
SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

LEVEL 8 - 1 FLOOR

	9 UNITS
GROSS AREA	714.96 m² -7,695.77 ft²
NET AREA	674.03 m² -7,255.20 ft²

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 9
Jun 2, 2020

NO	ISSUE	MM/DD/YY
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/09/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	05/09/18

SEAL:

CONSULTANT:
WA ARCHITECTS

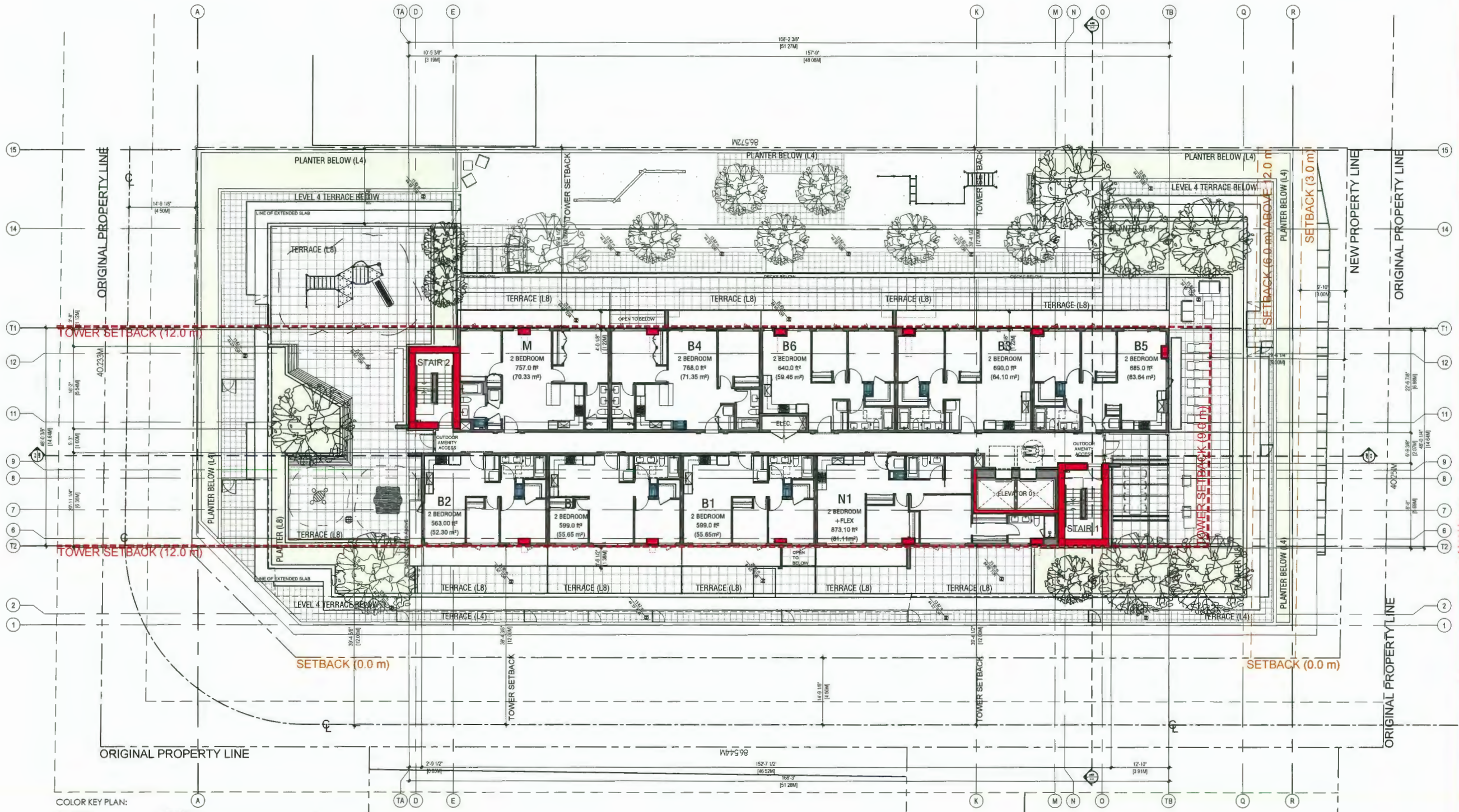
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
LEVEL 8

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: 3/32"=1'-0" REVIEW BY: BW
DWG NO: A0206 MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

LEVEL 9-12 - 4 FLOORS

36 UNITS

GROSS AREA 2,859.76 m² - 30,782.20 ft²

NET AREA 2,695.52 m² - 29,014.34 ft²

NOTE:

SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

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NORTH ARROW.

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 10
Jun 2, 2020

NO	ISSUE	DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

BRITISH COLUMBIA

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:

8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

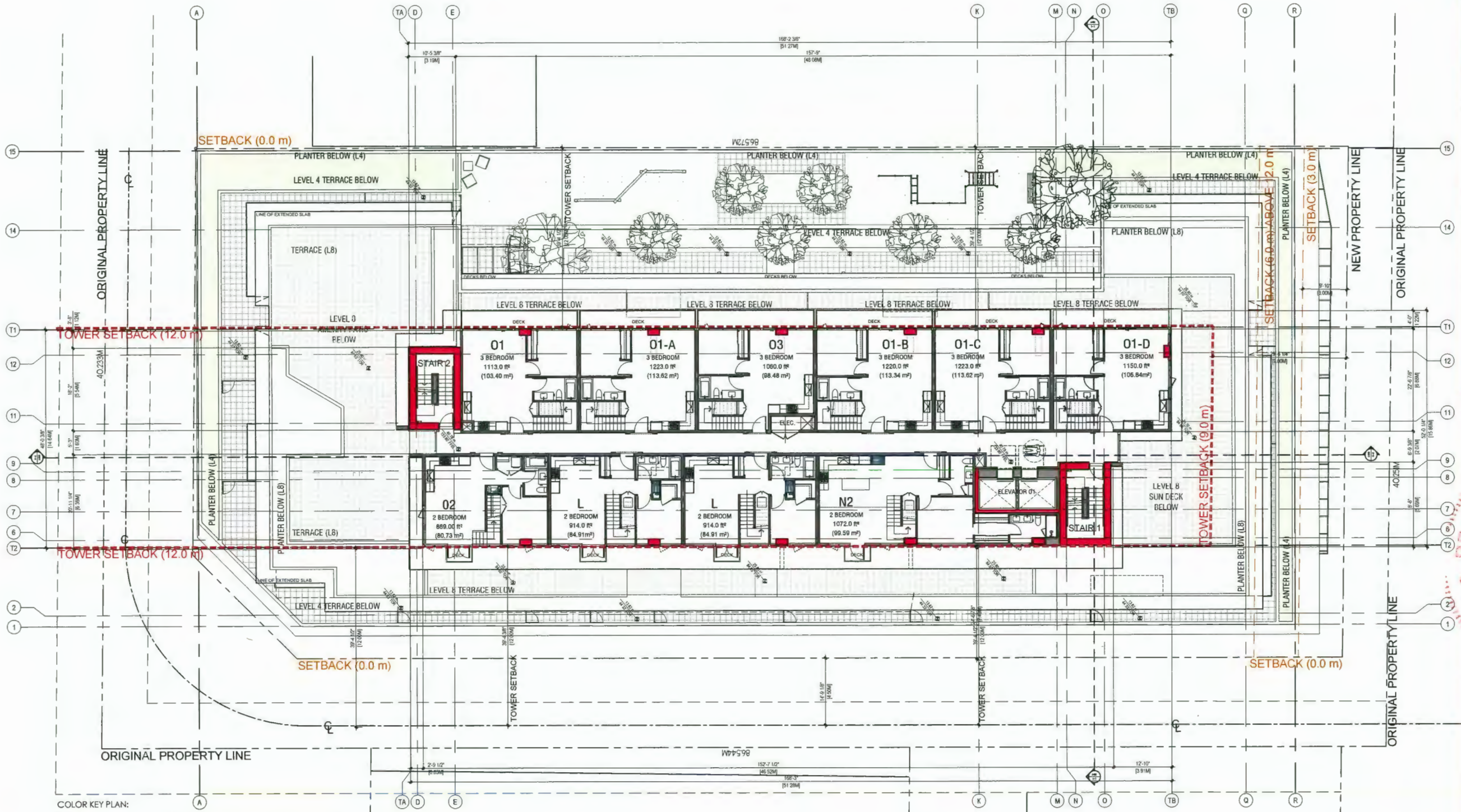
DRAWING TITLE:

LEVELS 9–12

PROJECT NO: 17025 DRAWN BY: CSH

SCALE: 3/32"=1'-0" REVIEW BY: BW

DWG NO: A0207 MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

NOTE:
SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

LEVEL 13	10 UNITS (2 STOREY)
GROSS AREA:	705.64 m² - 7,595.45 ft²
NET AREA:	664.02 m² - 7,147.45 ft²

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 11
Jun 2, 2020

NO.	ISSUE	MO/DY
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	11/09/18

SEAL:

CONSULTANT:
WA ARCHITECTS

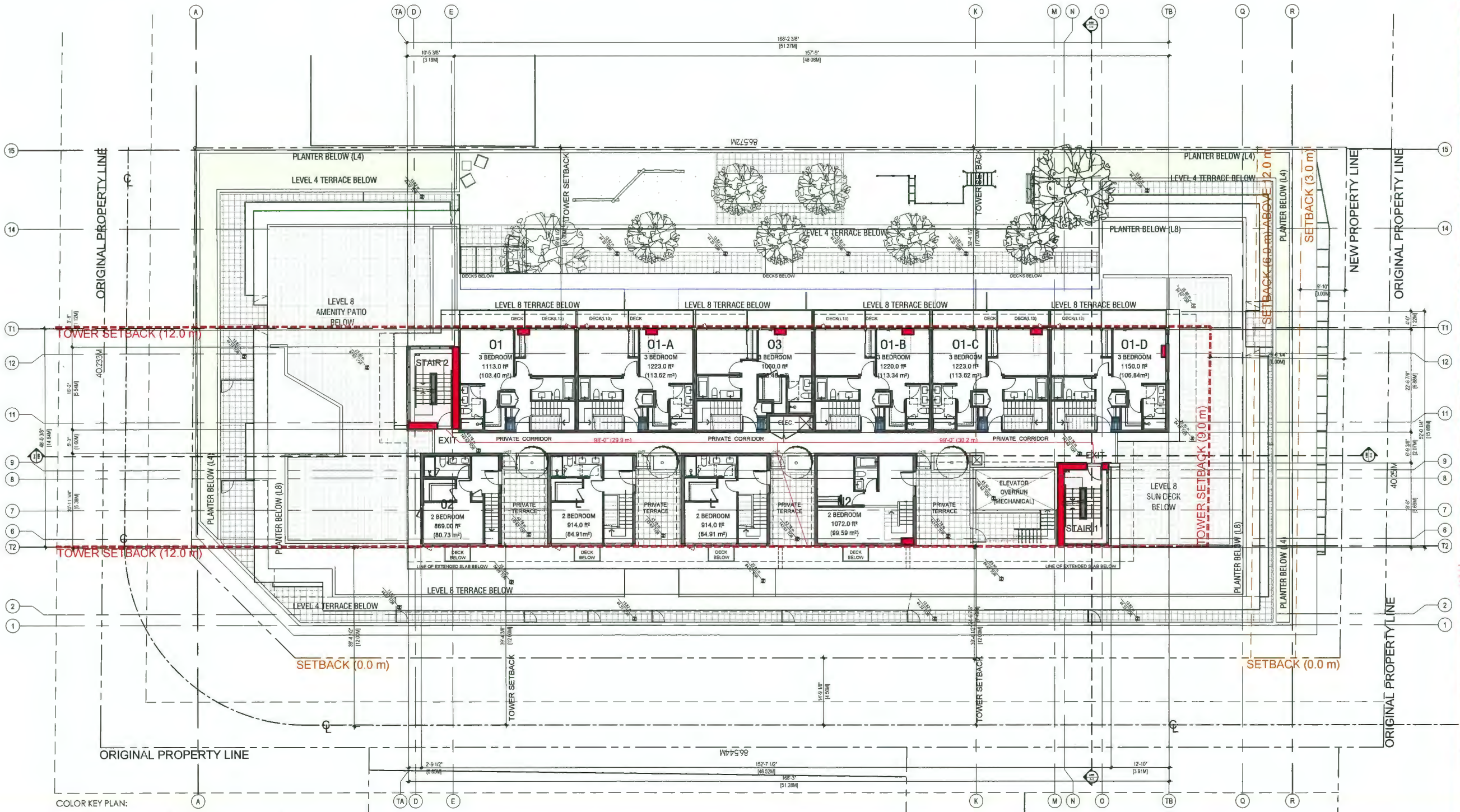
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 5J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
LEVEL 13

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0208
MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

NOTE:
SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

LEVEL 14	10 UNITS (2 STOREY)
GROSS AREA	528.98 m² - 5,693.89 ft²
NET AREA:	421.37 m² - 4,535.59 ft²

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 12
Jun 2, 2020

NO.	ISSUE	MM/DD/YR
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	04/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	07/07/18

SEAL:

CONSULTANT:
WA ARCHITECTS

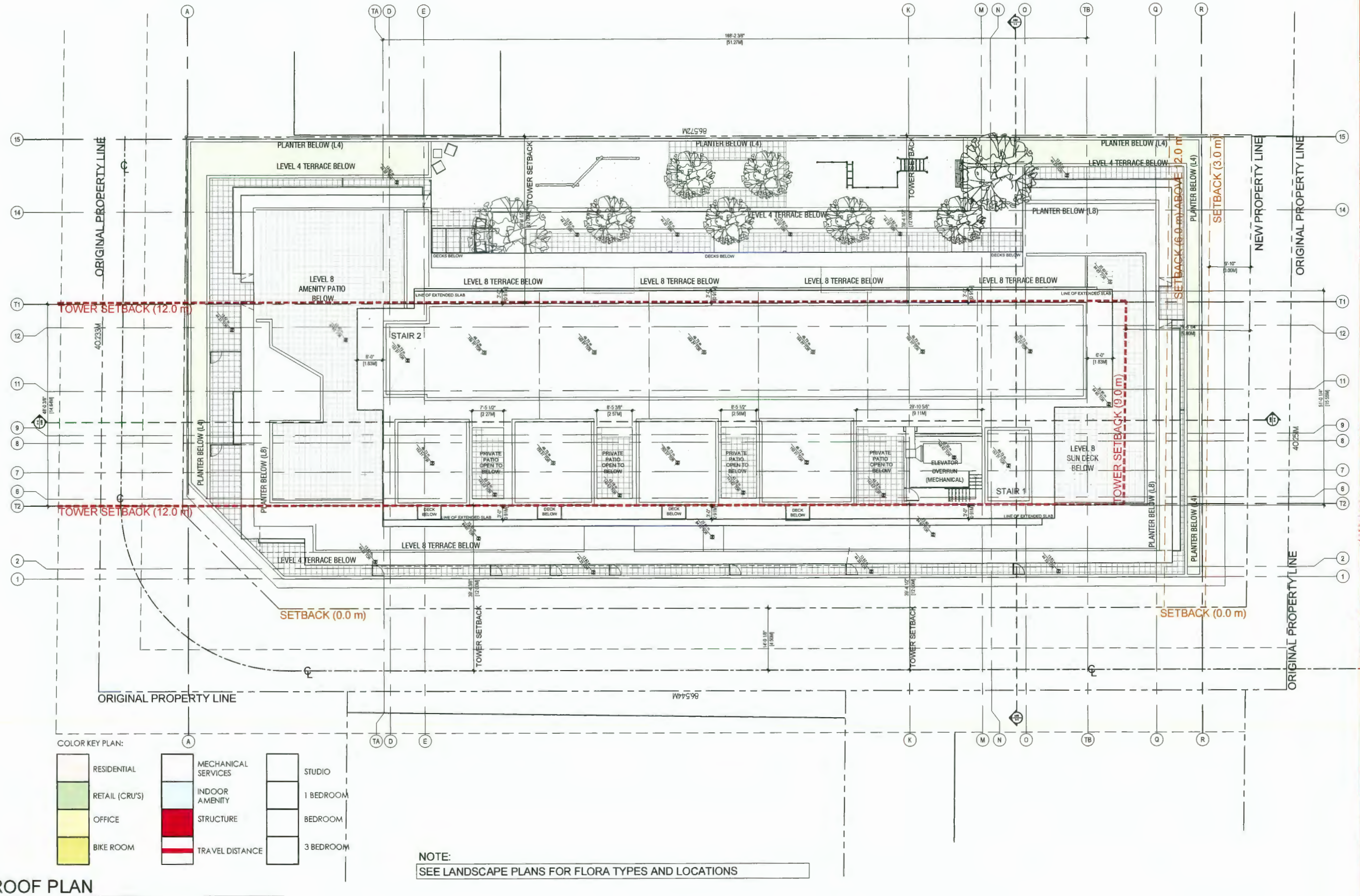
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
LEVEL 14

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0209
MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	1 BEDROOM
OFFICE	STRUCTURE	BEDROOM
BIKE ROOM	TRAVEL DISTANCE	3 BEDROOM

NOTE:
SEE LANDSCAPE PLANS FOR FLORA TYPES AND LOCATIONS

ROOF PLAN

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 13
Jun 2, 2020

NO.	ISSUE	M/D/Y
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/06/18
01	DP SUBMISSION - 18 797 127 DP	01/08/18

SEAL:

REGISTERED ARCHITECT
BARRY RICHARD WATTS
BRITISH COLUMBIA

CONSULTANT:

WA ARCHITECTS

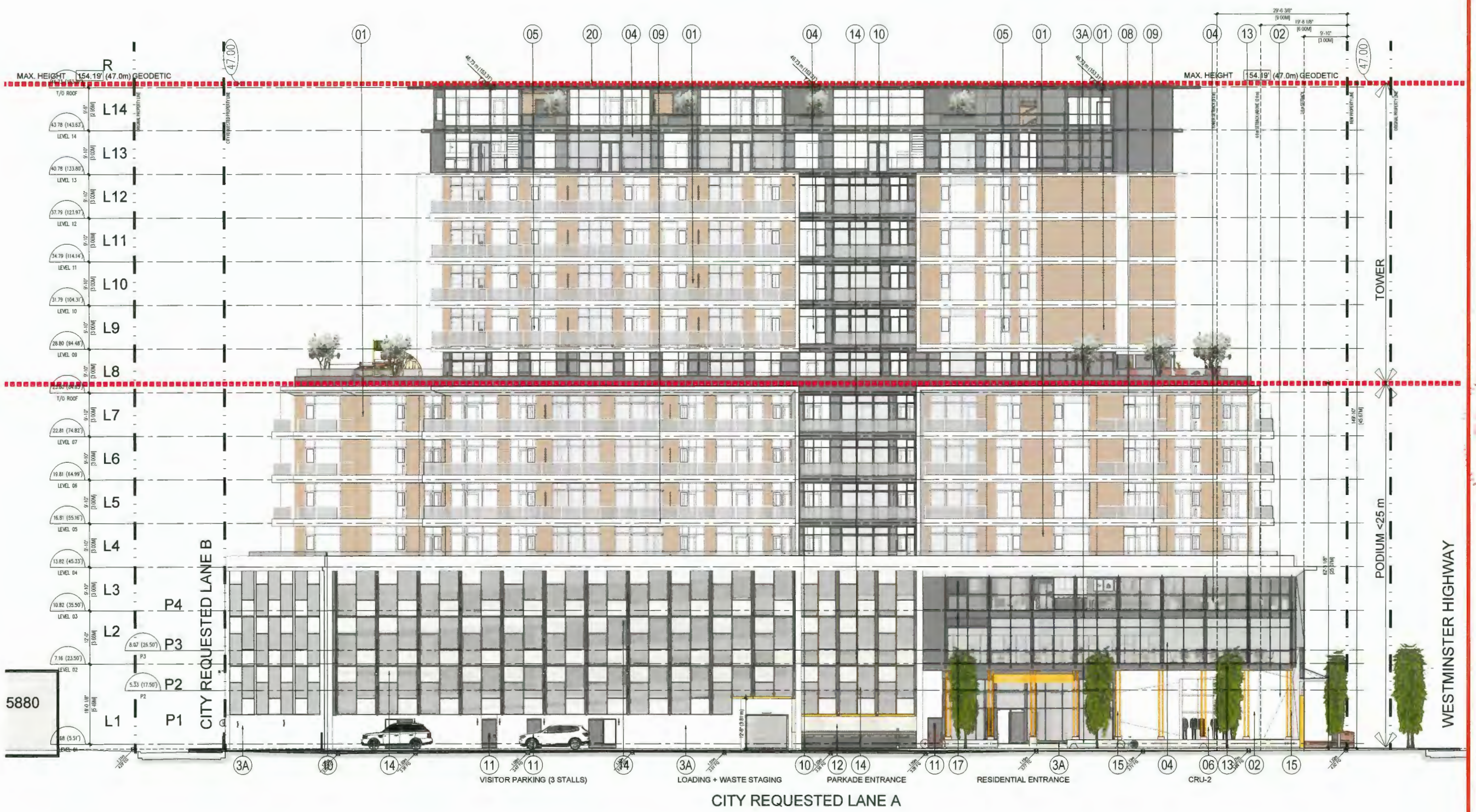
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
ROOF PLAN

PROJECT NO: 17025 | DRAWN BY: CSH
SCALE: 3/32"=1'-0" | REVIEW BY: BW
DWG NO: A0210 | MARCH,2020



MATERIAL LEGEND

MATERIALS	FINISH	COLORS
WALLS AND EXPOSED STRUCTURE		
1 CEMENTITIOUS FIBRE PANELS	PREFINISHED	CEDAR
2 METAL PANELS	PREFINISHED	WHITE (CRU 01 , 02 + OFFICE FACETED ENTRY)
3A EXPOSED ARCHITECTURAL CONCRETE - SACKED	CLEAR SEALER	SINGLE COAT FABRIKEM "FABRISHIELD 750"
3B EXPOSED ARCHITECTURAL CONCRETE - PAINTED	STUCCO/ SMOOTH	GRADIENT COLORS (ANTI-GRAFFITI COATING)

MATERIALS	FINISH	COLORS
DOORS , WINDOWS, + RAILINGS		
4 ALUMINUM WINDOW WALL W/BYPASS SPANDREL	PREFINISHED	WHITE, BLACK CHARCOAL
5 ALUMINUM WINDOW WALL WITH CASEMENT OPENER	PREFINISHED	WHITE, BLACK CHARCOAL
6 ALUMINUM STOREFRONT WINDOW	PREFINISHED	WHITE (CLEAR GLASS)
7 STOREFRONT GLASS ENTRY DOORS	PREFINISHED	WHITE (CLEAR GLASS)

MATERIALS	FINISH	COLORS
DOORS , WINDOWS, + RAILINGS		
8 ALUMINUM RESIDENTIAL DECK SLIDER-GLAZED	PREFINISHED	WHITE, BLACK CHARCOAL
9 ALUMINUM RAILING WITH TEMPERED CLEAR GLAZING + SURFACE MOUNTED	PREFINISHED	WHITE, BLACK CHARCOAL
10 ALUMINUM RAILING SIDE MOUNTED TEMPERED CLEAR GLAZING OR PLANTER	PREFINISHED	WHITE, BLACK CHARCOAL
11 METAL EXIT DOORS	PREFINISHED	MATCH BACKGROUND
12 OVERHEAD GARAGE DOOR	PREFINISHED	TBD

MATERIALS	FINISH	COLORS
SCREENS + FINS		
13 ALUMINUM MULLION FINS	PREFINISHED	MATCH BACKGROUND
14 STAINLESS STEEL PERFORATED SCREENS	PREFINISHED	WHITE, BLACK CHARCOAL
MISCELLANEOUS		
15 STRUCTURAL STEEL DOUBLE COLUMNS	PREFINISHED	ORANGE
16 MECHANICAL LOUVER OR VENT - AEROLITE (LARGE)	PREFINISHED	MATCH BACKGROUND

MATERIALS	FINISH	COLORS
MISCELLANEOUS		
17 MECHANICAL LOUVER OR VENT - AEROLITE (SMALL CLERESTORY)	PREFINISHED	MATCH BACKGROUND
18 ALUMINUM RAILING SLAT SCREENING	PREFINISHED	MATCH BACKGROUND
19 CONTINUOUS AWNING W/ CLEAR GLAZING	PREFINISHED	WHITE (CLEAR GLASS)
20 ROOF COVERING	N/A	GRAVEL BALLAST

WEST ELEVATION

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 14
Jun 2, 2020

NO.	ISSUE	MO/DY
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	09/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/02/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/05/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/26/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE: WEST ELEVATION (NO SHADOWS)

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: 3/32"=1'-0" REVIEW BY: BW
DWG NO: A0301 MARCH,2020

MATERIAL LEGEND

MATERIALS	FINISH	COLORS
WALLS AND EXPOSED STRUCTURE		
(1) CEMENTITIOUS FIBRE PANELS	PREFINISHED	CEDAR
(2) METAL PANELS	PREFINISHED	WHITE (CRU 01 , 02 + OFFICE FACETED ENTRY)
(3A) EXPOSED ARCHITECTURAL CONCRETE - SACKED	CLEAR SEALER	SINGLE COAT FABRIKEM "FABRISHIELD 780"
(3B) EXPOSED ARCHITECTURAL CONCRETE - PAINTED	STUCCO SMOOTH	GRADIENT COLORS (ANTI-GRAFFITI COATING)

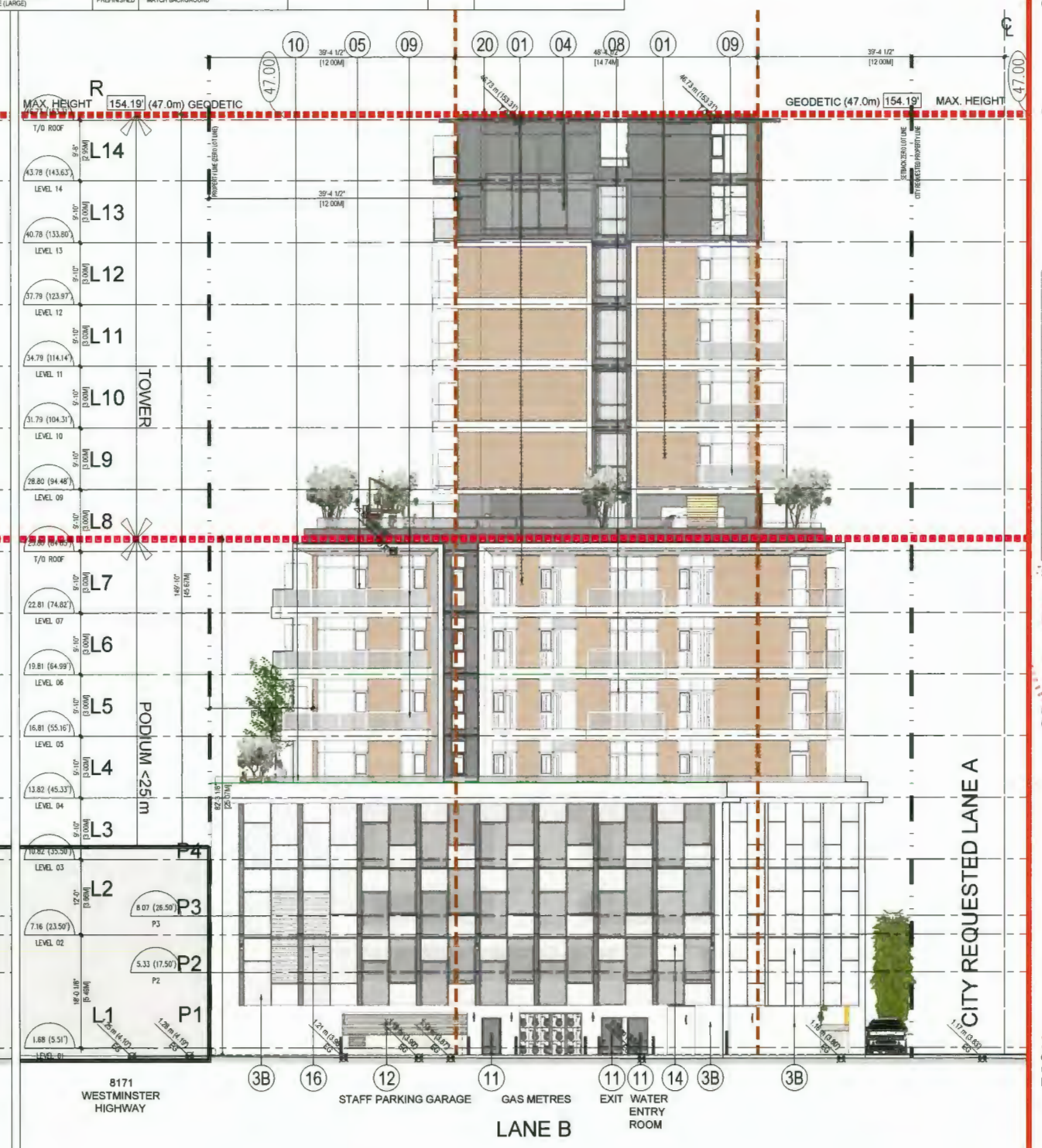
MATERIALS	FINISH	COLORS
DOORS , WINDOWS, + RAILINGS		
(4) ALUMINUM WINDOW WALL W/BYPASS (FANDRE)	PREFINISHED	WHITE, BLACK CHARCOAL
(5) ALUMINUM WINDOW WALL WITH CASEMENT OPENER	PREFINISHED	WHITE, BLACK CHARCOAL
(6) ALUMINUM STOREFRONT WINDOW	PREFINISHED	WHITE (CLEAR GLASS)
(7) STOREFRONT GLASS ENTRY DOORS	PREFINISHED	WHITE (CLEAR GLASS)

MATERIALS	FINISH	COLORS
DOORS , WINDOWS, + RAILINGS		
(8) ALUMINUM RESIDENTIAL DECK SLIDER-GLAZED	PREFINISHED	WHITE, BLACK CHARCOAL
(9) ALUMINUM RAILING WITH TEMPERED CLEAR GLAZING + SURFACE MOUNTED	PREFINISHED	WHITE, BLACK CHARCOAL
(10) ALUMINUM RAILING SIDE MOUNTED TEMPERED CLEAR GLAZING ON PLANTER	PREFINISHED	WHITE, BLACK CHARCOAL
(11) METAL EXIT DOORS	PREFINISHED	MATCH BACKGROUND
(12) OVERHEAD GARAGE DOOR	PREFINISHED	TBD

MATERIALS	FINISH	COLORS
SCREENS + FINS		
(13) ALUMINUM MULLION FINS	PREFINISHED	MATCH BACKGROUND
(14) STAINLESS STEEL PERFORATED SCREENS	PREFINISHED	WHITE, BLACK CHARCOAL
MISCELLANEOUS		
(15) STRUCTURAL STEEL DOUBLE COLUMNS	PREFINISHED	ORANGE
(16) MECHANICAL LOUVER OR VENT - AEROLITE (LARGE)	PREFINISHED	MATCH BACKGROUND

MATERIALS	FINISH	COLORS
MISCELLANEOUS		
(17) MECHANICAL LOUVER OR VENT - AEROLITE (SMALL CLERESTORY)	PREFINISHED	MATCH BACKGROUND
(18) ALUMINUM RAILING SLAT SCREENING	PREFINISHED	MATCH BACKGROUND
(19) CONTINUOUS AWNING W/ CLEAR GLAZING	PREFINISHED	WHITE (CLEAR GLASS)
(20) ROOF COVERING	N/A	GRAVEL BALLAST

SOUTH ELEVATION



NORTH ELEVATION

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 15
Jun 2, 2020

NO.	ISSUE	M/D/Y
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/20/18
01	DP SUBMISSION - 18 797 127 DP	01/05/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

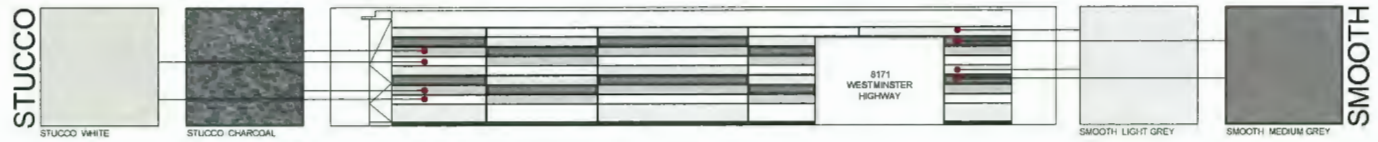
PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE: NORTH/SOUTH ELEVATIONS (NO SHADOWS)

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: 3/32"=1'-0" REVIEW BY: BW
DWG NO: A0303 MARCH,2020



EAST WALL: GRADIENT PATTERN LAYOUT-WITH PAINTED STUCCO + PAINTED SMOOTH PANELS

MATERIAL LEGEND

MATERIALS	FINISH	COLORS
WALLS AND EXPOSED STRUCTURE		
(1) CEMENTITIOUS FIBRE PANELS	PREFINISHED	CEDAR
(2) METAL PANELS	PREFINISHED	WHITE (CRU 01 , 02 + OFFICE FACETED ENTRY)
(3A) EXPOSED ARCHITECTURAL CONCRETE - SHOXED	CLEAR SEALER	SINGLE COAT FABRIKEM "FABRISHIELD 760"
(3B) EXPOSED ARCHITECTURAL CONCRETE - PAINTED	STUCCO/ SMOOTH	GRADIENT COLORS (ANTI-GRAFFITI COATING)

MATERIALS	FINISH	COLORS
DOORS , WINDOWS, + RAILINGS		
(4) ALUMINUM WINDOW WALL W/BYPASS SPANDREL	PREFINISHED	WHITE, BLACK CHARCOAL
(5) ALUMINUM WINDOW WALL WITH CASEMENT OPENER	PREFINISHED	WHITE, BLACK CHARCOAL
(6) ALUMINUM STOREFRONT WINDOW	PREFINISHED	WHITE (CLEAR GLASS)
(7) STOREFRONT GLASS ENTRY DOORS	PREFINISHED	WHITE (CLEAR GLASS)

MATERIALS	FINISH	COLORS
DOORS , WINDOWS, + RAILINGS		
(8) ALUMINUM RESIDENTIAL DECK SLIDER-GLAZED	PREFINISHED	WHITE, BLACK CHARCOAL
(9) ALUMINUM RAILING WITH TEMPERED CLEAR GLAZING + SURFACE MOUNTED	PREFINISHED	WHITE, BLACK CHARCOAL
(10) ALUMINUM RAILING SIDE MOUNTED TEMPERED CLEAR GLAZING ON PLANTER	PREFINISHED	WHITE, BLACK CHARCOAL
(11) METAL EXIT DOORS	PREFINISHED	MATCH BACKGROUND
(12) OVERHEAD GARAGE DOOR	PREFINISHED	TBD

MATERIALS	FINISH	COLORS
SCREENS + FINS		
(13) ALUMINUM MULLION FINS	PREFINISHED	MATCH BACKGROUND
(14) STAINLESS STEEL PERFORATED SCREENS	PREFINISHED	WHITE, BLACK CHARCOAL
MISCELLANEOUS		
(15) STRUCTURAL STEEL DOUBLE COLUMNS	PREFINISHED	ORANGE
(16) MECHANICAL LOUVER OR VENT - AEROLITE (LARGE)	~~PREFINISHED~~	~~MATCH BACKGROUND~~

MATERIALS	FINISH	COLORS
MISCELLANEOUS		
(17) MECHANICAL LOUVER OR VENT - AEROLITE (SMALL CLERESTORY)	PREFINISHED	MATCH BACKGROUND
(18) ALUMINUM RAILING SLAT SCREENING	PREFINISHED	MATCH BACKGROUND
(19) CONTINUOUS AWNING W/ CLEAR GLAZING	PREFINISHED	WHITE (CLEAR GLASS)
(20) ROOF COVERING	N/A	GRAVEL BALLAST

EAST ELEVATION

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NORTH ARROW.

OWNER/CLIENT.

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 16
Jun 2, 2020

NO.	ISSUE	DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/29/18
02	DP RE-SUBMISSION - 18 797 127 DP	08/28/18
01	DP SUBMISSION - 18 797 127 DP	01/08/18

SEAL

CONSULTANT

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE: EAST ELEVATION (NO SHADOWS)

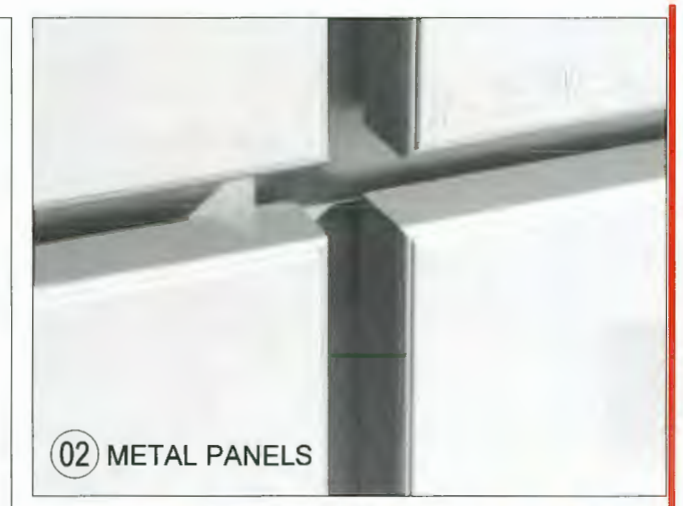
PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0305
MARCH,2020

(04) (05) WINDOW WALL

(3A) (3B) ARCH. CONCRETE

(09) RAILING W/FASCIA

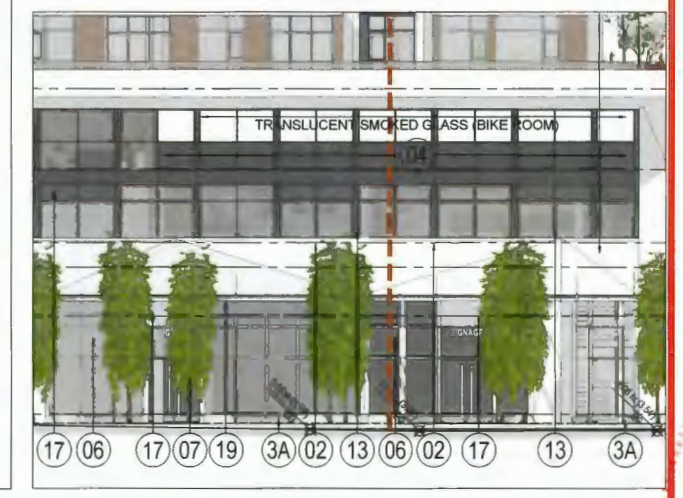
(04) (05) WINDOW WALL



(02) METAL PANELS

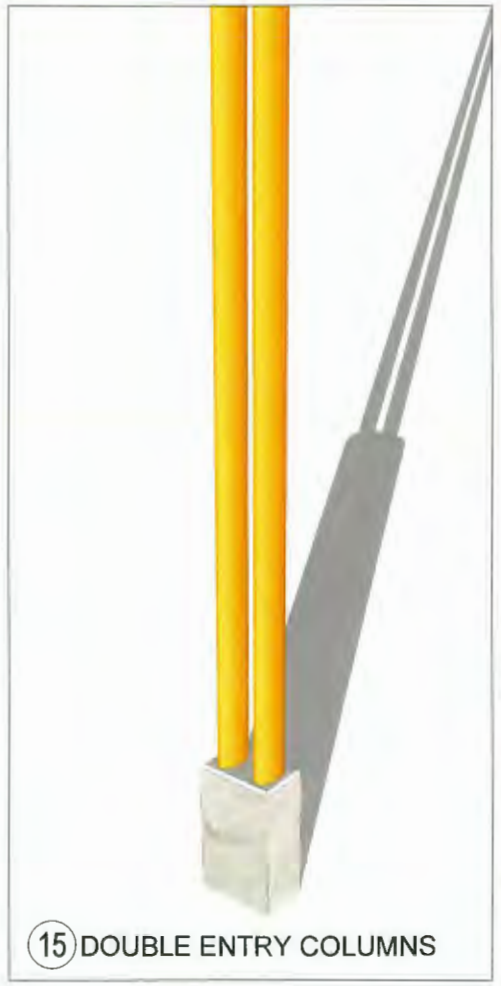
(01) CEMENTITIOUS FIBRE PANELS

(13) MULLION FINS



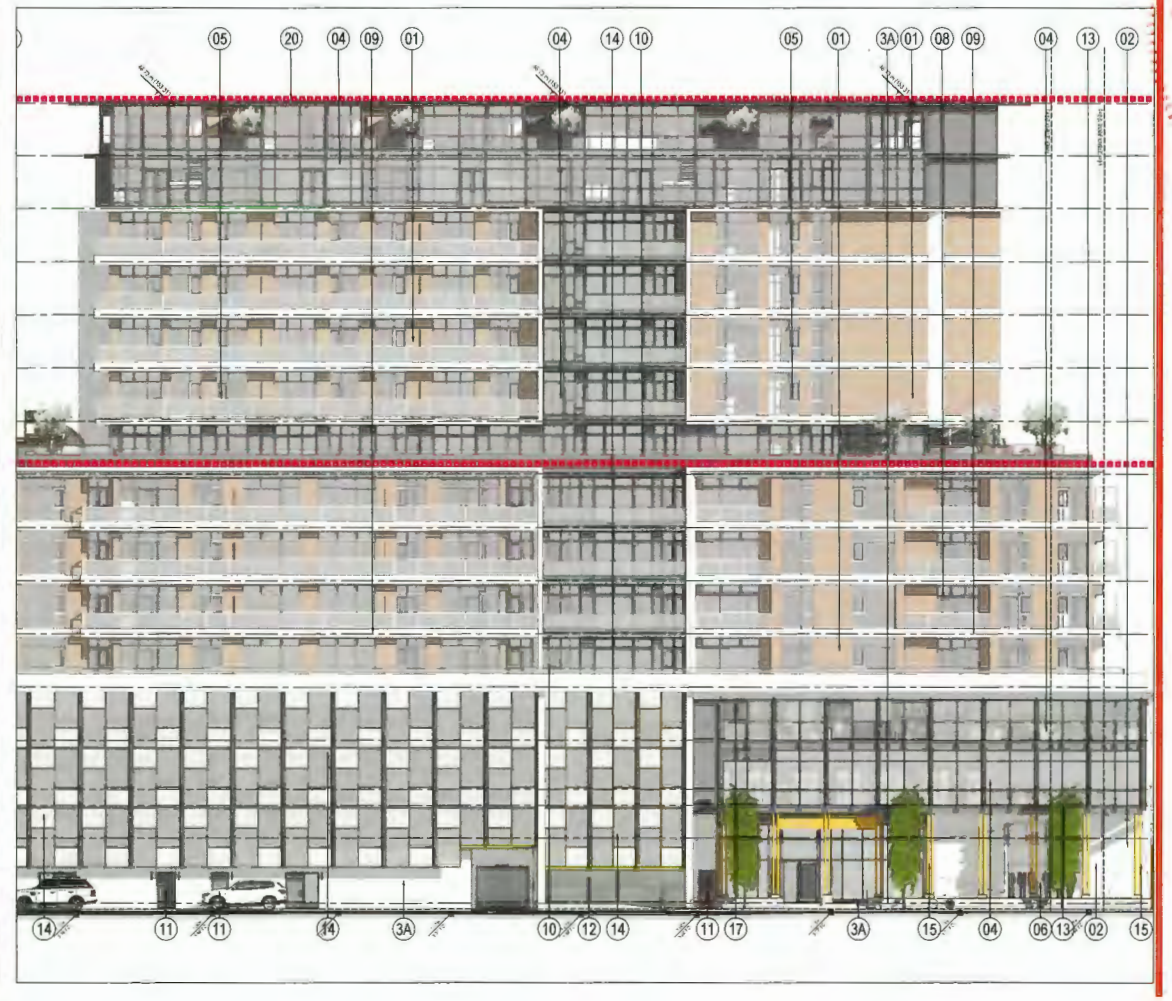
MATERIAL LEGEND

MATERIALS	FINISH	COLORS
WALLS AND EXPOSED STRUCTURE		
(1) CEMENTITIOUS FIBRE PANELS	PREFINISHED	CEDAR
(2) METAL PANELS	PREFINISHED	WHITE (CRU 01 , 02 + OFFICE FACETED ENTRY)
(3A) EXPOSED ARCHITECTURAL CONCRETE - SACKED	CLEAR SEALER	SINGLE COAT FABRIKEM "FABRISHIELD 769"
(3B) EXPOSED ARCHITECTURAL CONCRETE - PAINTED	STUCCO/ SMOOTH	GRADIENT COLORS (ANTI-GRAFFITI COATING)
DOORS , WINDOWS, + RAILINGS		
(4) ALUMINUM WINDOW WALL W/BYPASS SPANDREL	PREFINISHED	WHITE, BLACK CHARCOAL
(5) ALUMINUM WINDOW WALL WITH CASEMENT OPENER	PREFINISHED	WHITE, BLACK CHARCOAL
(6) ALUMINUM STOREFRONT WINDOW	PREFINISHED	WHITE (CLEAR GLASS)
(7) STOREFRONT GLASS ENTRY DOORS	PREFINISHED	WHITE (CLEAR GLASS)
(8) ALUMINUM RESIDENTIAL DECK SLIDER-GLAZED	PREFINISHED	WHITE, BLACK CHARCOAL
(9) ALUMINUM RAILING WITH TEMPERED CLEAR GLAZING , SURFACE MOUNTED	PREFINISHED	WHITE, BLACK CHARCOAL
(10) ALUMINUM RAILING SIDE MOUNTED TEMPERED CLEAR GLAZING ON PLANTER	PREFINISHED	WHITE, BLACK CHARCOAL
(11) METAL EXIT DOORS	PREFINISHED	MATCH BACKGROUND
(12) OVERHEAD GARAGE DOOR	PREFINISHED	TBD
SCREENS + FINS		
(13) ALUMINUM MULUON FINS	PREFINISHED	MATCH BACKGROUND
(14) STAINLESS STEEL PERFORATED SCREENS	PREFINISHED	WHITE, BLACK CHARCOAL
MISCELLANEOUS		
(15) STRUCTURAL STEEL DOUBLE COLUMNS	PREFINISHED	ORANGE
(16) MECHANICAL LOUVER OR VENT - AEROLITE (LARGE)	PREFINISHED	MATCH BACKGROUND
(17) MECHANICAL LOUVER OR VENT - AEROLITE (SMALL CLERESTORY)	PREFINISHED	MATCH BACKGROUND
(18) ALUMINUM RAILING SLAT SCREENING	PREFINISHED	MATCH BACKGROUND
(19) CONTINUOUS AWNING W/GLAZING	PREFINISHED	WHITE (CLEAR GLASS)
(20) ROOF COVERING	N/A	GRAVEL BALLAST



(15) DOUBLE ENTRY COLUMNS

(14) PERFORATED SCREENS



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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 17
Jun 2, 2020

NO.	ISSUE	M/D/Y
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/08/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

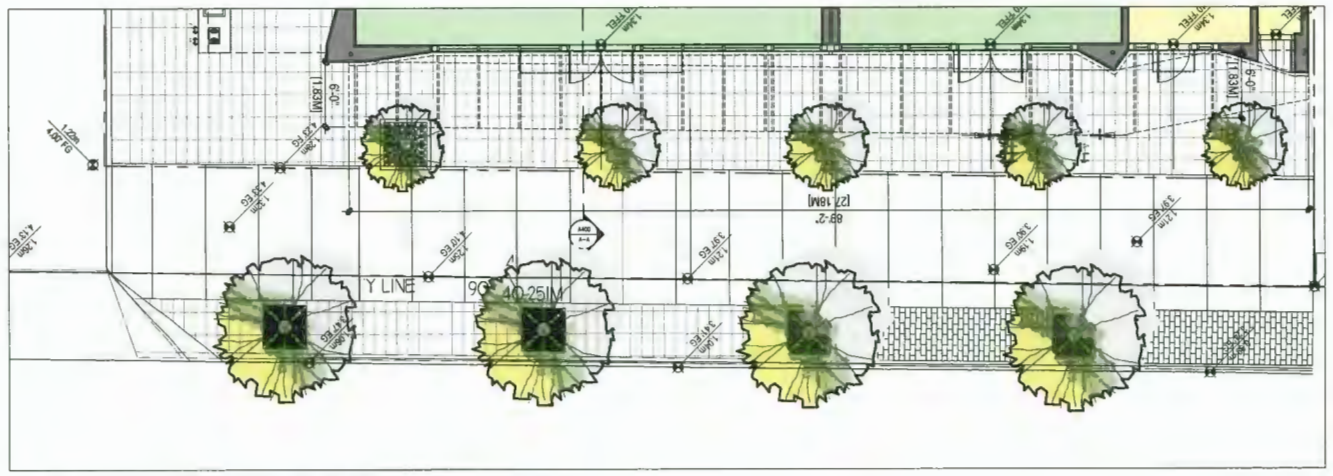
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

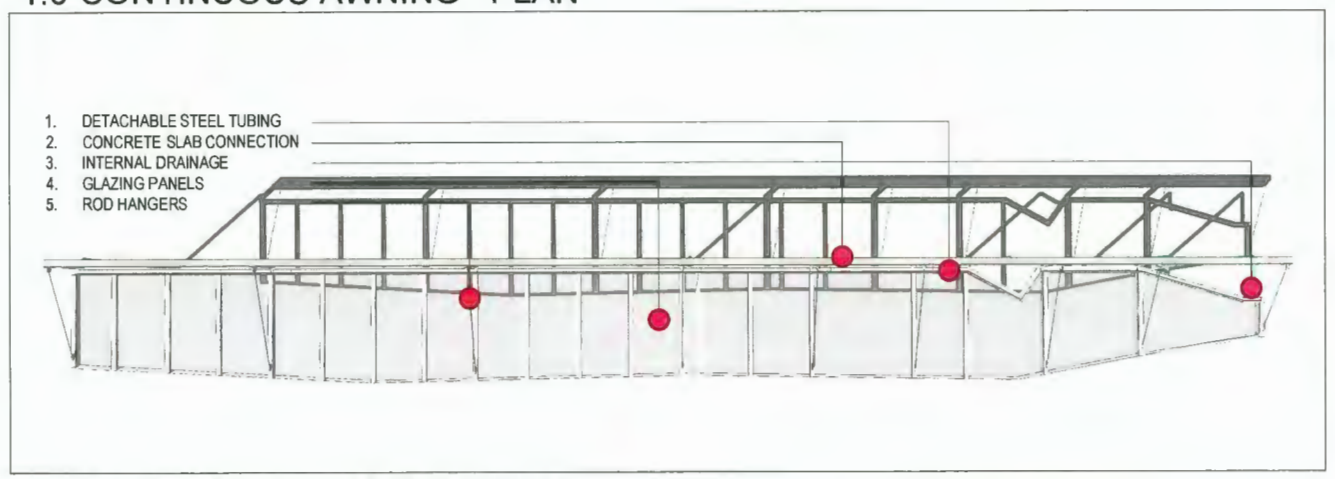
DRAWING TITLE:

MATERIAL BOARD

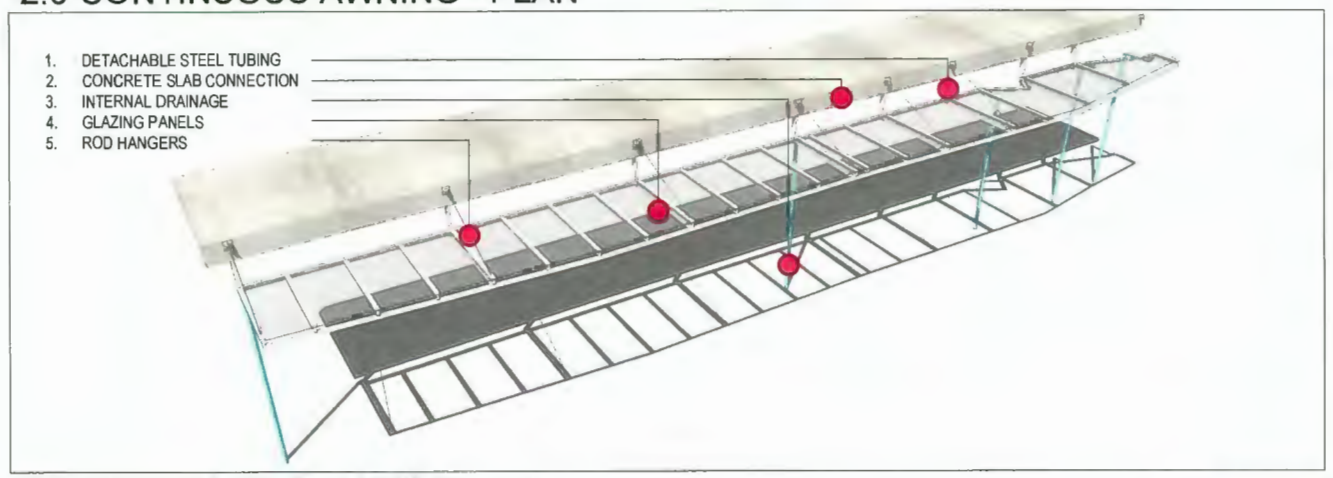
PROJECT NO: 17025 DRAWN BY: CSH
SCALE: N.T.S. REVIEW BY: BW
DWG NO: A0306 MARCH,2020



1.0-CONTINUOUS AWNING - PLAN

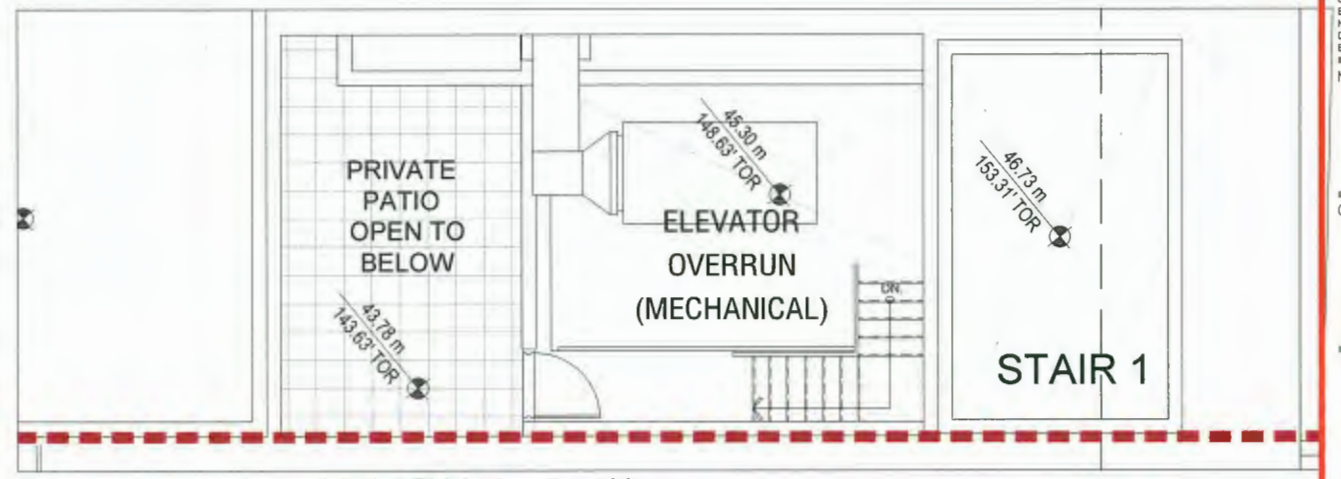


2.0-CONTINUOUS AWNING - PLAN

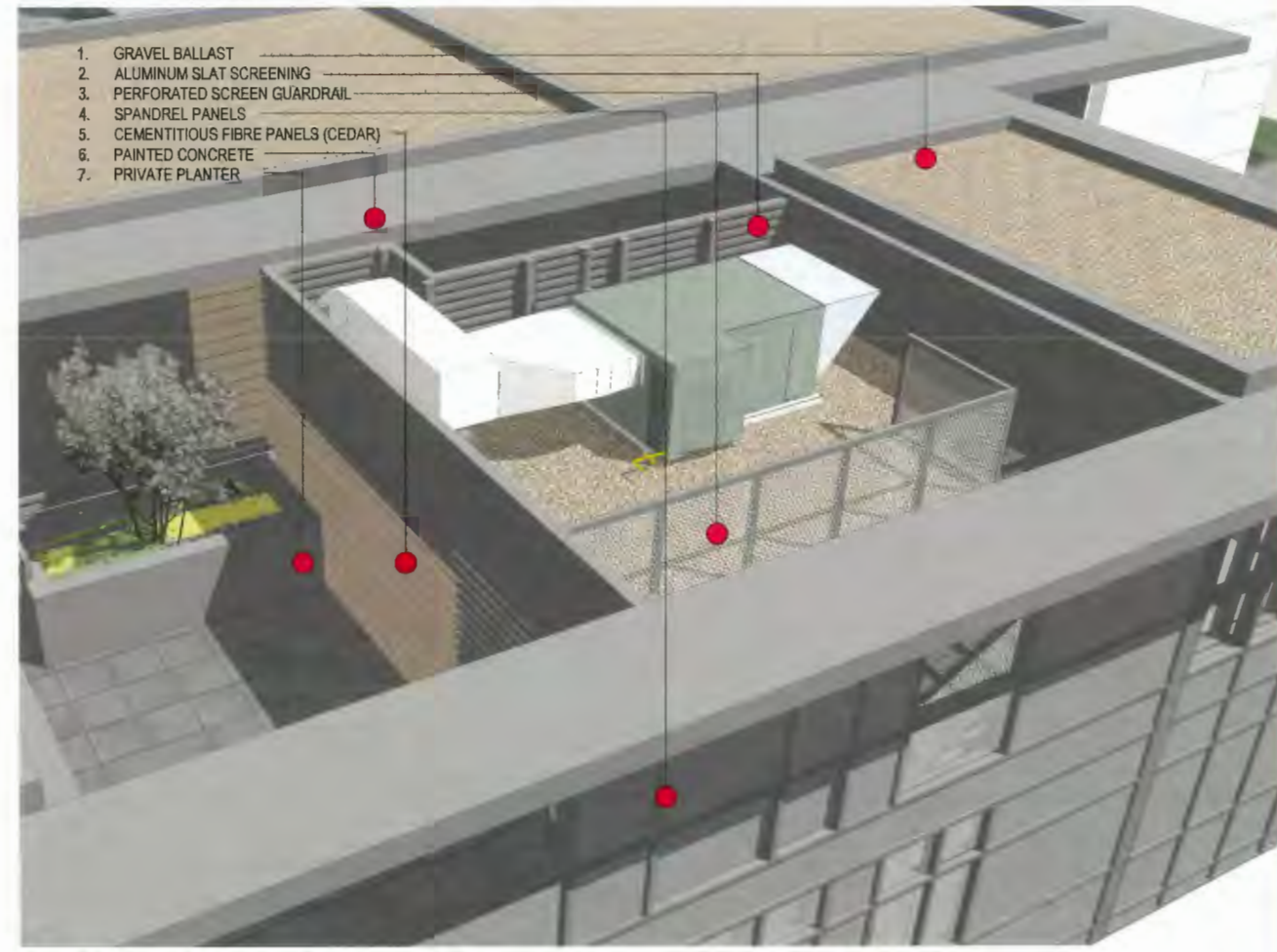


3.0-CONTINUOUS AWNING - 3D

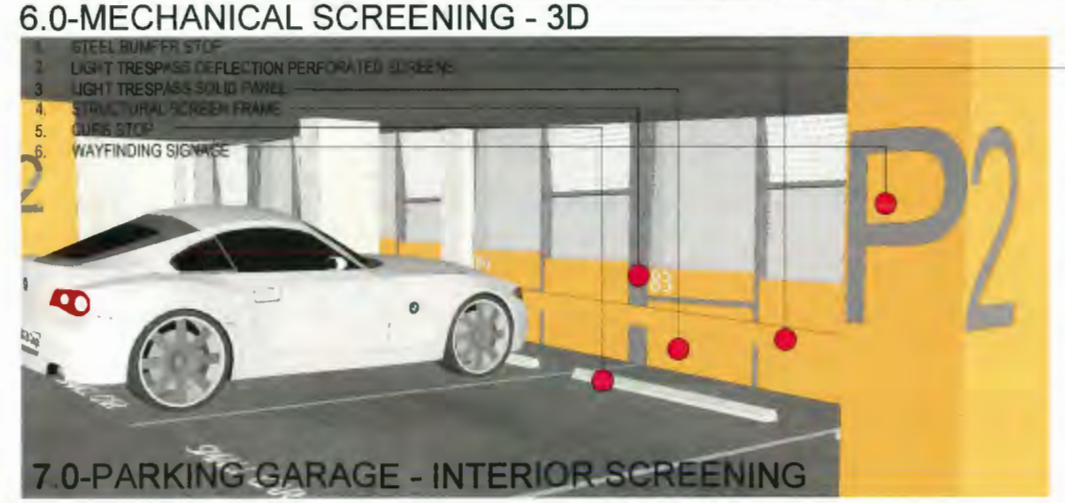
4.0-ADDRESS SIGNAGE



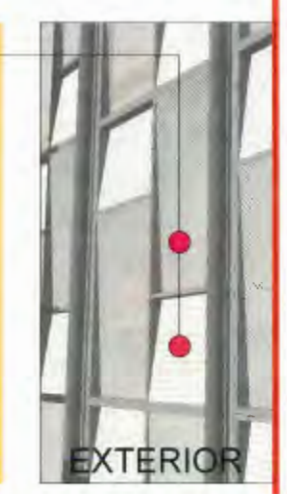
5.0-MECHANICAL SCREENING - PLAN



6.0-MECHANICAL SCREENING - 3D



7.0-PARKING GARAGE - INTERIOR SCREENING



EXTERIOR

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 18
Jun 2, 2020

NO.	ISSUE	M/D/Y
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/15/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

REGISTERED BARRY WAYNE HOWARD ARCHITECT BRITISH COLUMBIA

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

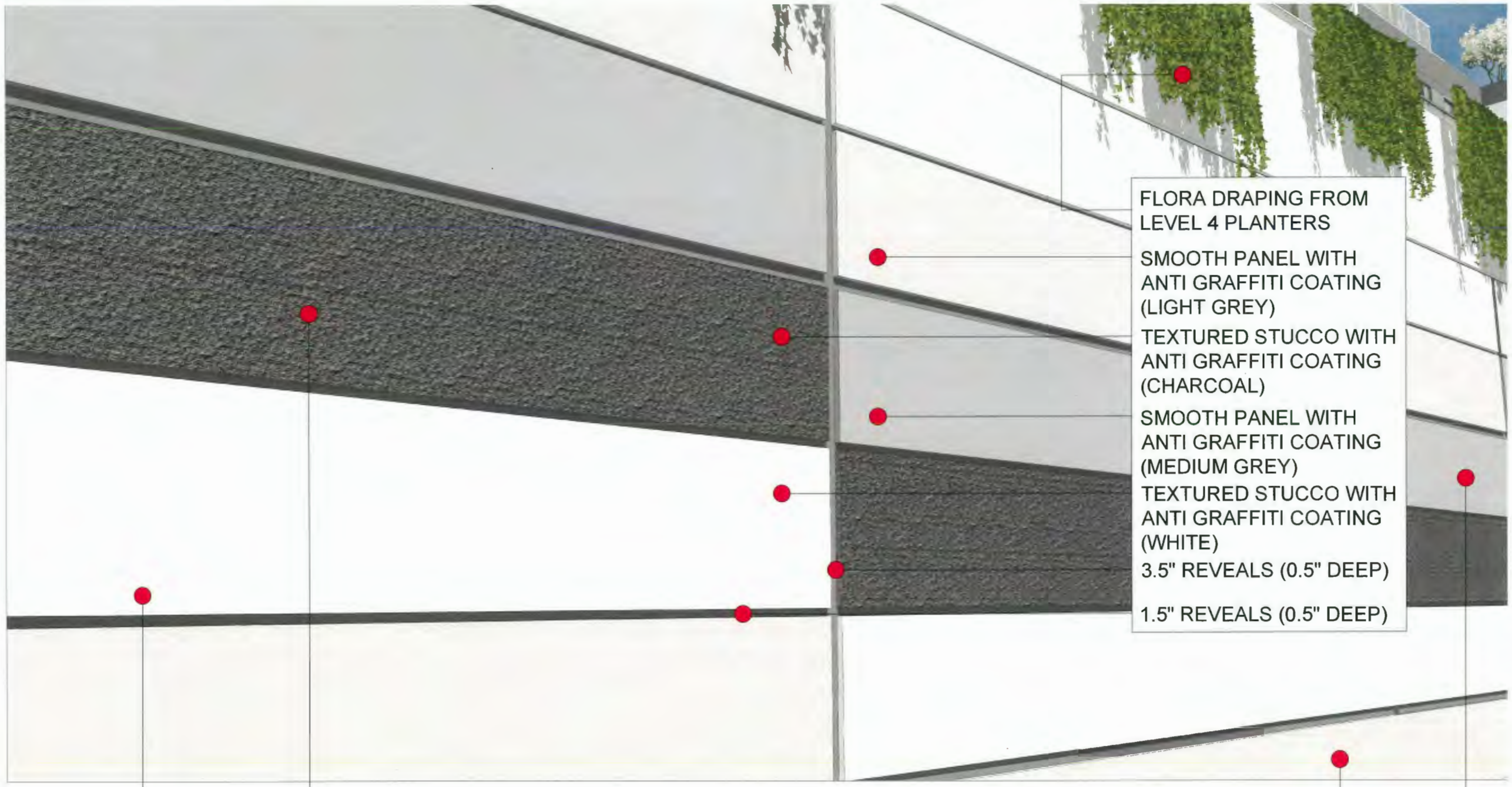
PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

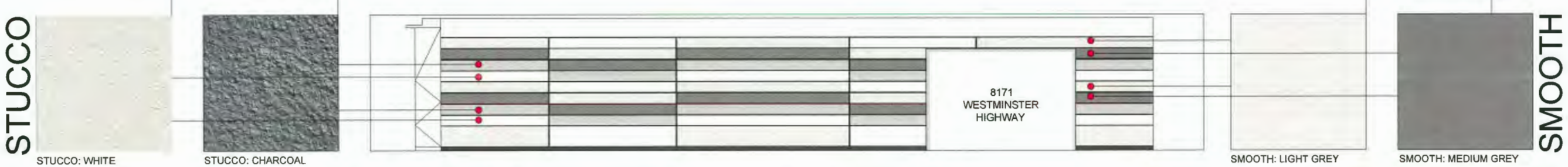
DRAWING TITLE:

DETAILS

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0307
MARCH,2020

EAST ELEVATION: 3D ENLARGED





EAST WALL: GRADIENT PATTERN LAYOUT-WITH PAINTED STUCCO + PAINTED SMOOTH PANELS

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 19
Jun 2, 2020

NO.	ISSUE	DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	04/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/11/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/08/18

SEAL:

BRITISH COLUMBIA

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
EAST ELEVATION DETAIL

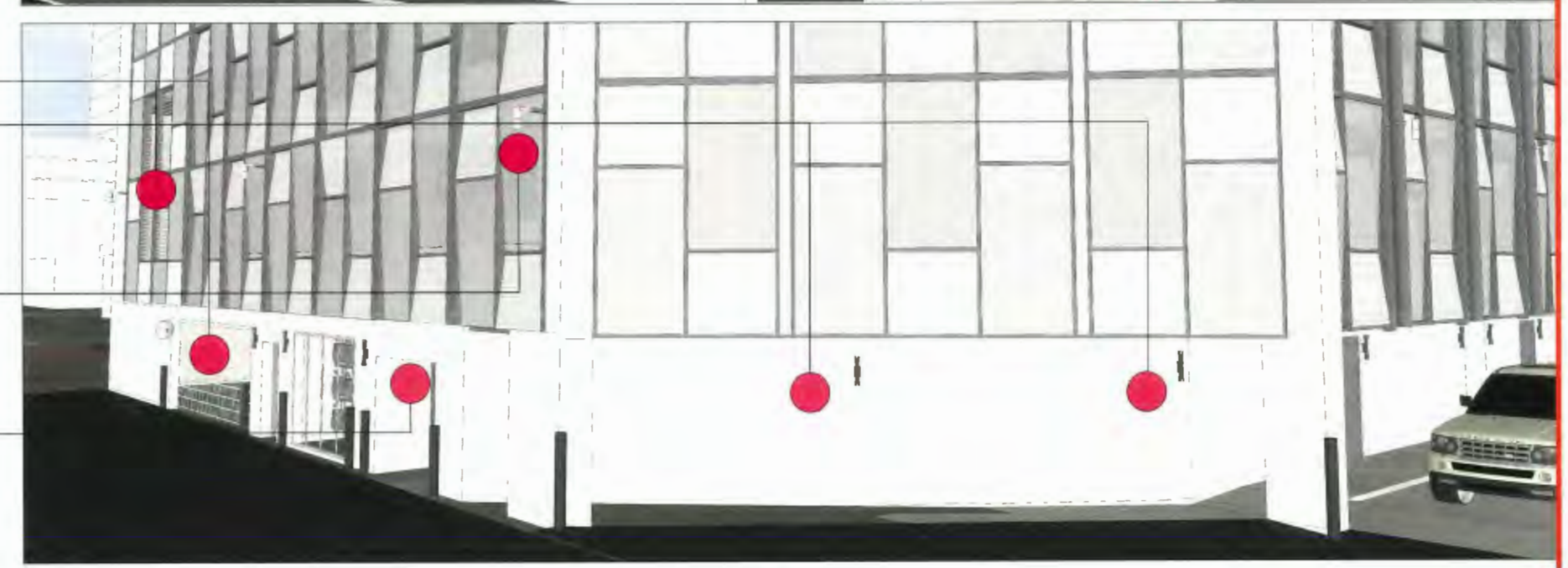
PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0310
MARCH,2020

1.0-ARCHITECTURAL LIGHTING:
AMBIENT OUTDOOR LIGHTING

1. LED AMBIENT INDOOR LIGHTING
   - LOBBY CHANDELIER
   - CEILING MOUNTED FIXTURES
   - RECESSED FIXTURES
   - RETAIL DISPLAYS
2. LED RECESSED SIDEWALK AND STAIR LIGHTING
3. LED RECESSED SOFFIT LIGHTING

1. LED AMBIENT CEILING WASH LIGHTING (WASTE /RECYCLING ROOMS)
2. LED WALL WASH LIGHTS: UP/DOWN FOR BIKE ROOMS AND EXIT DOOR LIGHTING (CPTED)
3. LED HANGING FIXTURE (3 FOOT CANDLES) - LANE LIGHTING AT 18'-0" (CPTED)
4. LED RECESSED RAMP LIGHTING

1. AMBIENT INDOOR LIGHTING
2. LED WALL WASH LIGHTS: UP/DOWN FOR COVERED SIDEWALK AND EXIT DOOR LIGHTING (CPTED)
3. LED HANGING FIXTURE (3 FOOT CANDLES)- LANE B LIGHTING AT 18'-0" (CPTED)
4. LED RECESSED CEILING LIGHT FOR WALLED EXITS (CPTED)



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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 20
Jun 2, 2020

NO.	ISSUE	DATE
08	DP RE-SUBMISSION - 18-797127 DP	03/12/20
07	DP RE-SUBMISSION - 18-797127 DP	01/13/20
06	COORDINATION - 18-797127 DP	10/02/19
05	DP RE-SUBMISSION - 18-797127 DP	04/11/19
04	DP RE-SUBMISSION - 18-797127 DP	01/31/19
03	DP RE-SUBMISSION - 18-797127 DP	11/01/18
02	DP RE-SUBMISSION - 18-797127 DP	08/29/18
01	DP SUBMISSION - 18-797127 DP	06/29/18

SEAL:

CONSULTANT:
WA ARCHITECTS

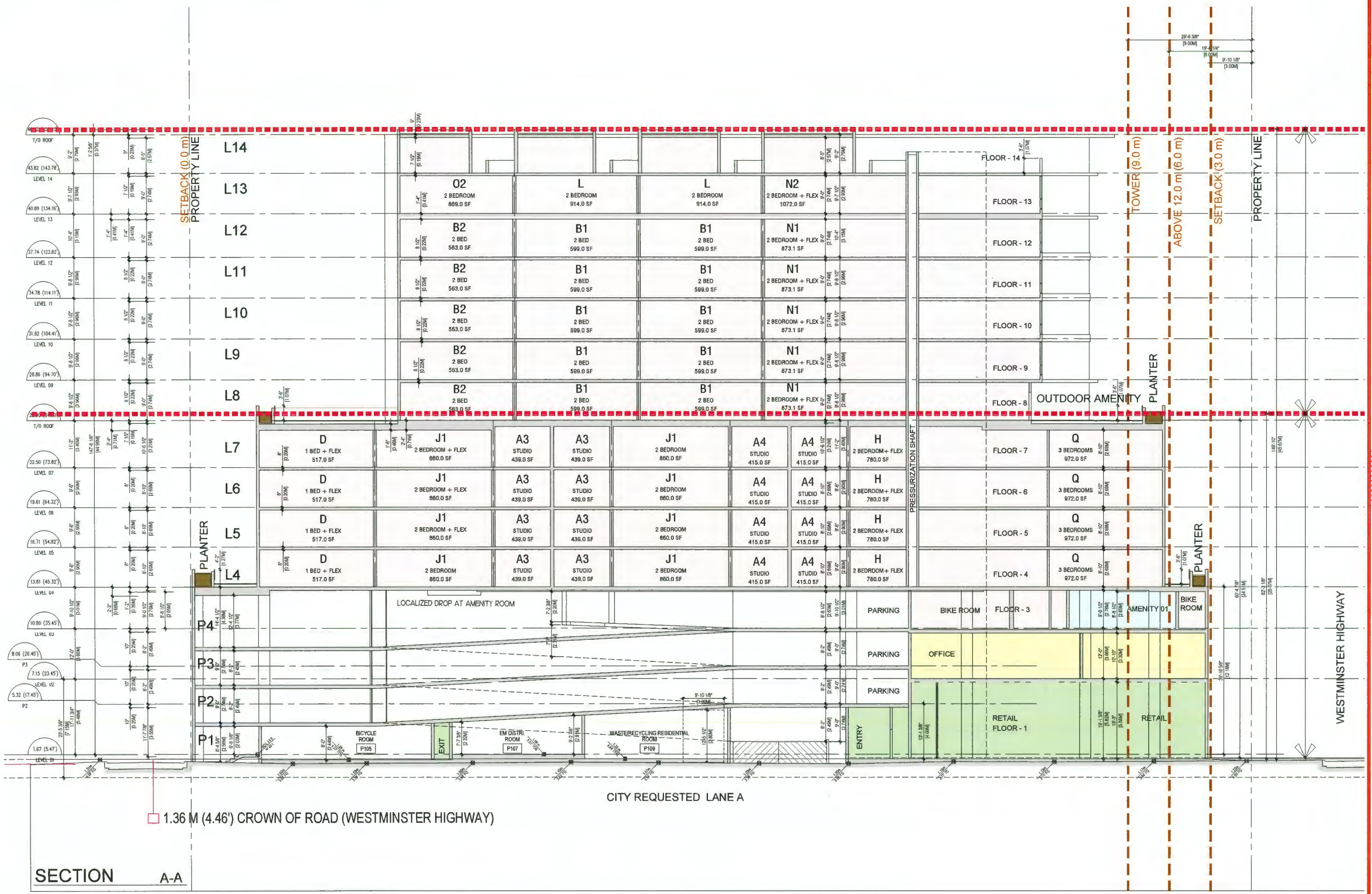
VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

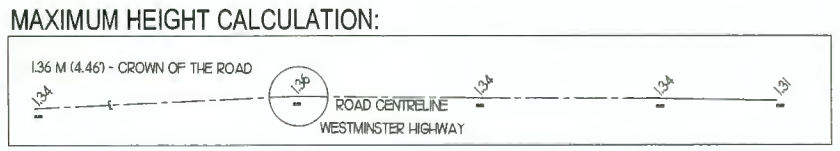
DRAWING TITLE:
ARCHITECTURAL LIGHTING (CPTED)

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: NTS REVIEW BY: BW
DWG NO: A0309 MARCH,2020



SECTION A-A

MAXIMUM HEIGHT CALCULATION:



COLOR KEY PLAN:

- RESIDENTIAL
- RETAIL (CRU'S)
- OFFICE
- VISITOR
- MECHANICAL SERVICES
- INDOOR AMENITY
- STRUCTURE
- TRAVEL DISTANCE
- DIC 451-STUDIO
- DIC 452-1 BEDROOM
- DIC 453-2 BEDROOM
- DIC 454-3 BEDROOM

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NORTH ARROW.

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 21
Jun 2, 2020

No.	Issue	Date
08	DP RE-SUBMISSION - 18 797 127 DP	06/02/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	04/09/18

SEAL

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

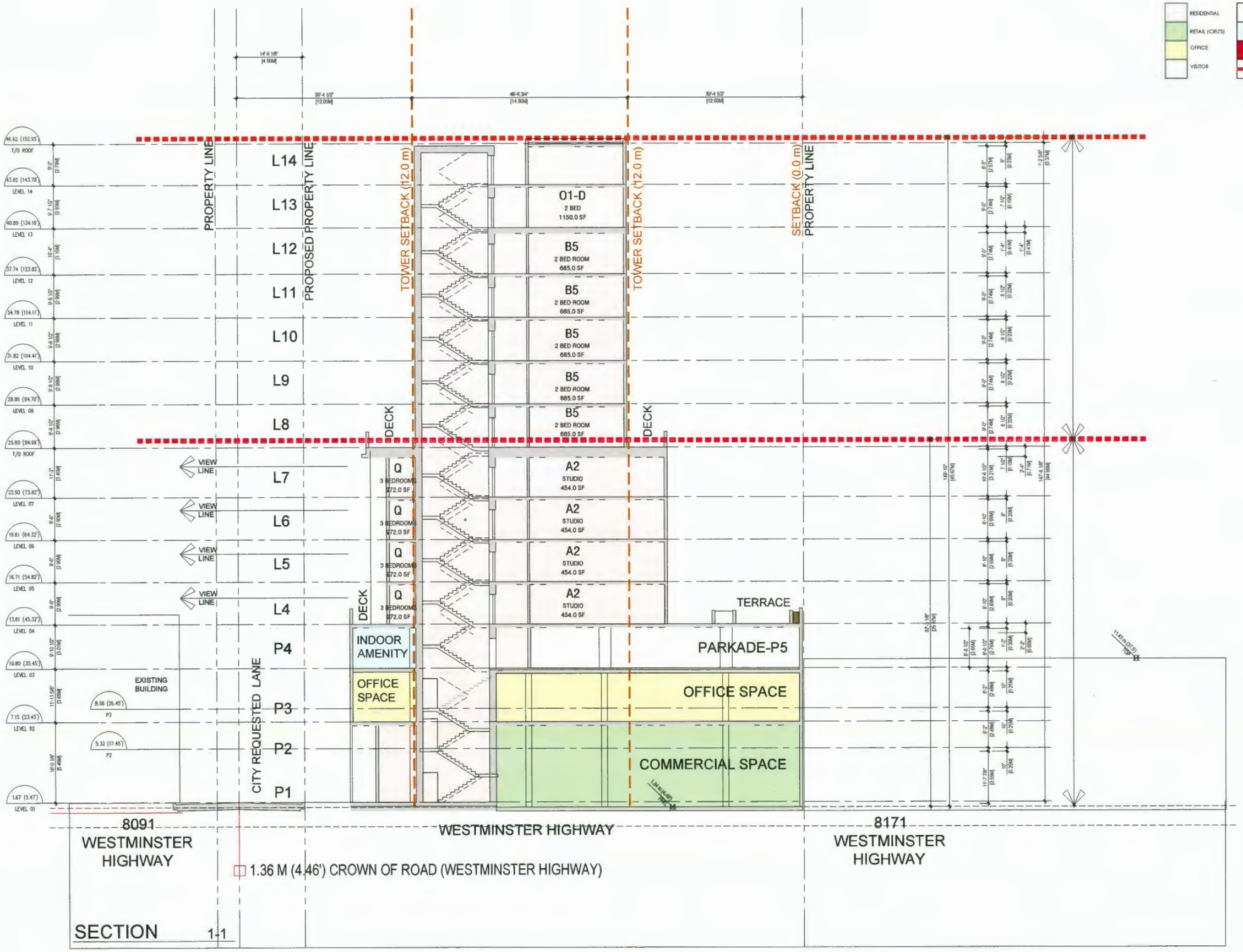
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:

SECTION A–A

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0400
MARCH,2020



COLOR KEY PLAN:

RESIDENTIAL	MECHANICAL SERVICES	DIC 451-STUDIO
RETAIL (CRU'S)	INDOOR AMENITY	DIC 452-1 BEDROOM
OFFICE	STRUCTURE	DIC 453-2 BEDROOM
VISITOR	TRAVEL DISTANCE	DIC 454-3 BEDROOM

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Plan # 22
Jun 2, 2020

NO.	ISSUE	BY/DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	06/27/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/07/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/05/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:

SECTION 1-1

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
MARCH,2020
DWG NO: A0401

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Landscape Architecture
Site Planning

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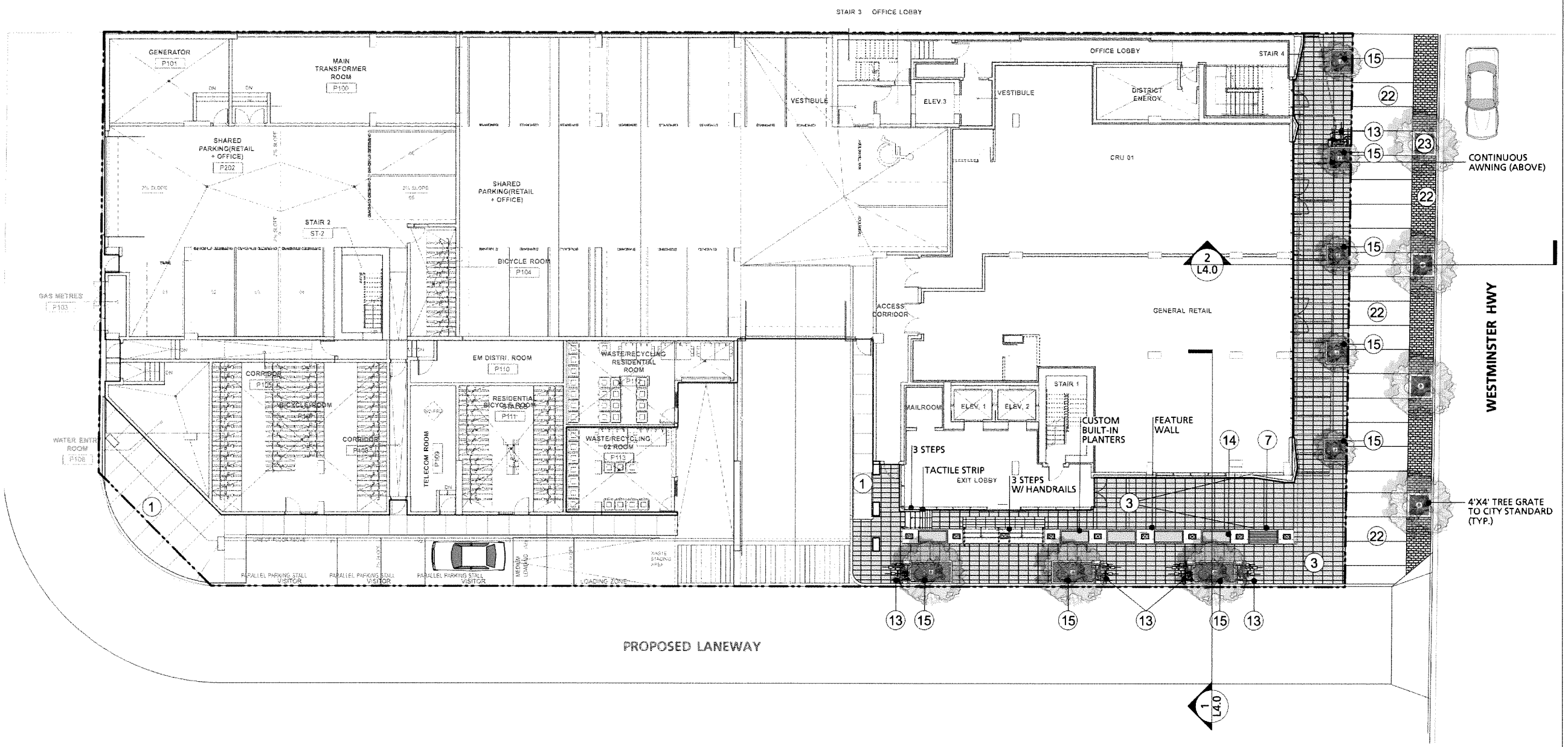
DP 18-797127
Plan # 23
Jun 2, 2020



Revision No		Date
10	Re-Issued for DP	02/19/2020
9	Issue for BP	12/09/2019
8	Issued for 90% Review	11/15/2019
7	Issued for Model Coordination	10/30/2019
6	Issued for Client Review	09/26/2019
5	Re-Issued for DP	04/17/2019
4	Re-Issued for DP	01/07/2019
3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:
BOLD PROPERTIES
GOSEN PROPERTIES

Project Title:
Kindle
8131 WESTMINSTER HWY.
CITY OF RICHMOND , BC

Drawing Title:
Ground Level Key Plan

Project North:
Drawn By: TH
Checked By: JM/MP
Scale: 1:125
Job No: 17-059
Sheet No: L-1.0

LEGEND

1. CONCRETE PAVING
2. HYDRAPRESSED SLAB PAVING
3. FEATURE UNIT PAVING
4. RUBBER SAFETY SURFACING
5. ARTIFICIAL TURF
6. MODULAR BLOCK RETAINING WALL
7. L1 BENCH
8. L4 SEATING DECK
9. L8 CUSTOM BENCH
10. HARVEST TABLE W/ BENCH
11. OUTDOOR FURNITURE
12. LOUNGE CHAIR
13. BIKE RACK
14. PREFAB METAL PLANTER
15. TREE GRATE
16. BBQ COUNTER
17. L4 TRELLIS (REFER TO ARCH)
18. L8 TRELLIS (REFER TO ARCH)
19. PLAY STRUCTURE TBD
20. FITNESS STRUCTURE TBD
21. PRIVACY SCREEN (REFER TO ARCH)
22. STREETSCAPE PAVING TO MEET CITY STANDARDS
23. STREET TREE PLANTING TO MEET CITY STANDARDS

LIGHTING KEY (REFER TO ELECTRICAL)

- UP LIGHT, FROSTED LENS WITH TIMER
- STEP LIGHT, SHIELDED MAX ILLUMINATION 5'-0
- DOWN LIGHT, IN SOFFITS
- ARCHITECTURAL LIGHT, ON COLUMNS
- RECEPTACLE LOCATION (GFCI IN EXTERIOR GRADE BOX)

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Site Planning

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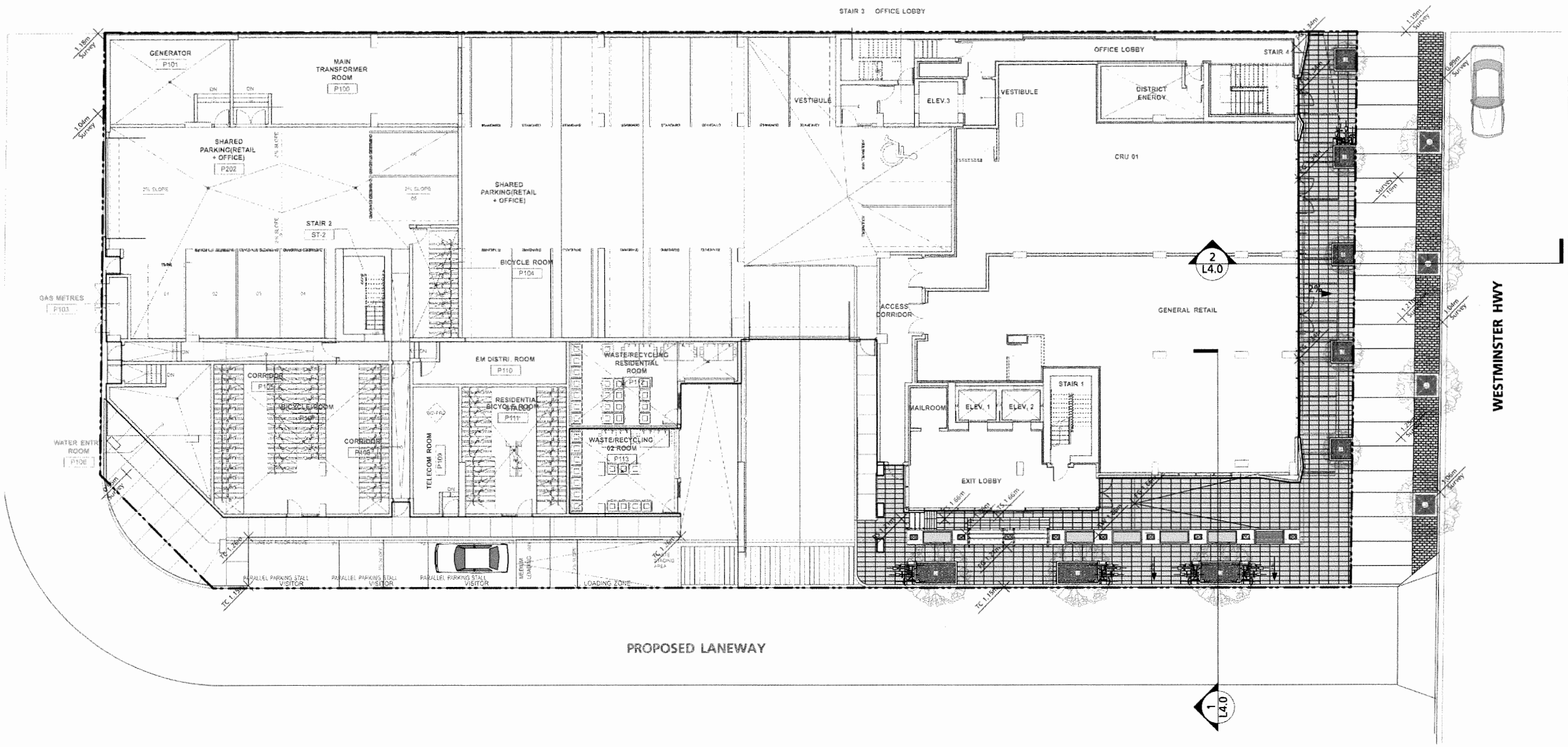
DP 18-797127
Plan # 24
Jun 2, 2020



Revision No.		Date
10	Re-Issued for DP	02/19/2020
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8	Issued for 90% Review	11/15/2019
7	Issued for Model Coordination	10/30/2019
6	Issued for Client Review	09/26/2019
5	Re-Issued for DP	04/17/2019
4	Re-Issued for DP	01/07/2019
3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:

BOLD PROPERTIES

GOSEN PROPERTIES

Project Title:

Kindle

8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

Drawing Title:

Level One Grading Plan

Grading Legend:

	Proposed Grade
	Existing Survey Grade
FFE	Finish Floor Elevation
TW	Top of Wall
TC	Top of Curb
TS	Top of Step

Project North:

Drawn By: TH

Checked By: JM/MP

Scale: 1:125

Job No: 17-059

Sheet No:

L-1.1

PLANTING NOTES:

1) Contractor is responsible to obtain and be familiar with the relevant project specifications

2) All planting and landscape installation to meet or exceed the BCSLA/BCLNA - CSLA landscape standards

3) As a minimal acceptable standard:
   a) Sizes on the plant list shall be considered minimum sizes
   b) Root balls to be free of pernicious weeds

4) Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.

5) All plant material shall be approved at the nursery by the project landscape architect.

6) The contractor shall supply all plant materials shown on all drawings.

7) No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.

8) Container grown stock, shall have the container removed and the rootball be cleanly scored in two vertical locations.

9) Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.

10) Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site prior to planting

11) The contractor shall locate and verify the existence of all utilities prior to starting work.

12) All planting beds to have min 75 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).

13) All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.

14) The landscape contractor shall refer to the contract specifications for additional requirements.

15) All sod to be unnetted and grown on sand.

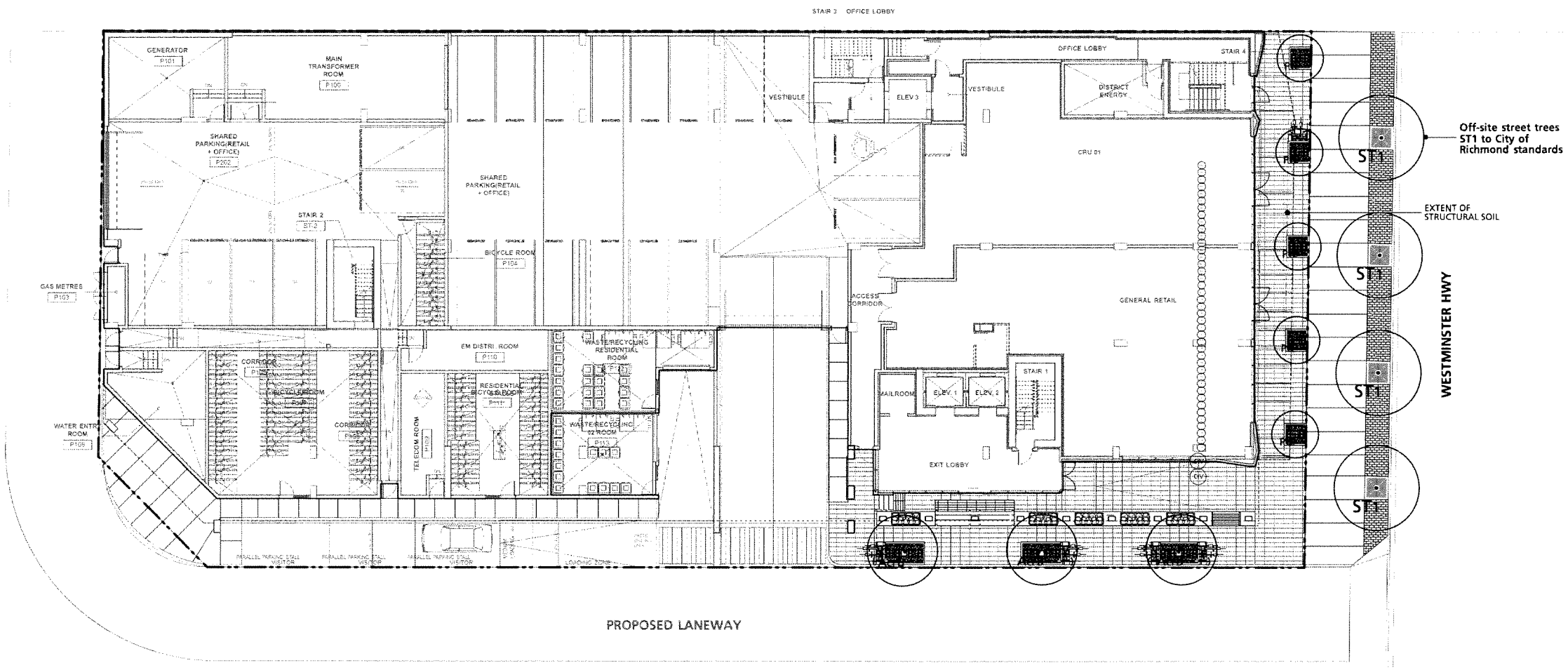
16) Plant Search area to include BC, WA, OR & CA.

NOTE:

1) Trees to be min. 6cm caliper wire basket to conform to City of Richmond street tree standards and species list.

Level 1 - Plant List

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Mature Height	Remarks
Trees						
AcrB	3	Acer rubrum 'Bowhall'	Bowhall Red Maple	6cm cal., WB	12m Ht.	
ST1	4	Off-Site Street Tree		6cm cal.	T.B.D.	Species subject to City approval
PtE	5	Populus tremula 'Erecta'	Columnar European Aspen	6cm cal., WB	10m Ht.	
Shrubs						
Groundcovers, Vines, Ferns, Perennials and Grasses						
HmA	25	Hakonechloa macra 'Aureola'	Japanese Forest Grass	#1 pot		
HC	20	Heuchera 'Cherries Jubilee'	Coral Bells	#1 pot		



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Site Planning

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DP 18-797127
Plan # 25
Jun 2, 2020

Revision No.		Date
10	Re-Issued for DP	02/19/2020
9	Issue for BP	12/09/2019
8	Issued for 90% Review	11/15/2019
7	Issued for Model Coordination	10/30/2019
6	Issued for Client Review	09/26/2019
5	Re-Issued for DP	04/17/2019
4	Re-Issued for DP	01/07/2019
3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:

BOLD PROPERTIES

GOSEN PROPERTIES

Project Title:

Kindle

8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

Drawing Title:

Level One Planting Plan

Project North:

Drawn By: TH

Checked By: JM/MP

Scale: 1:150

Job No. 17-059

Sheet No.

L-1.2

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Landscape Architecture
Site Planning

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Vancouver, BC V5T 1V9

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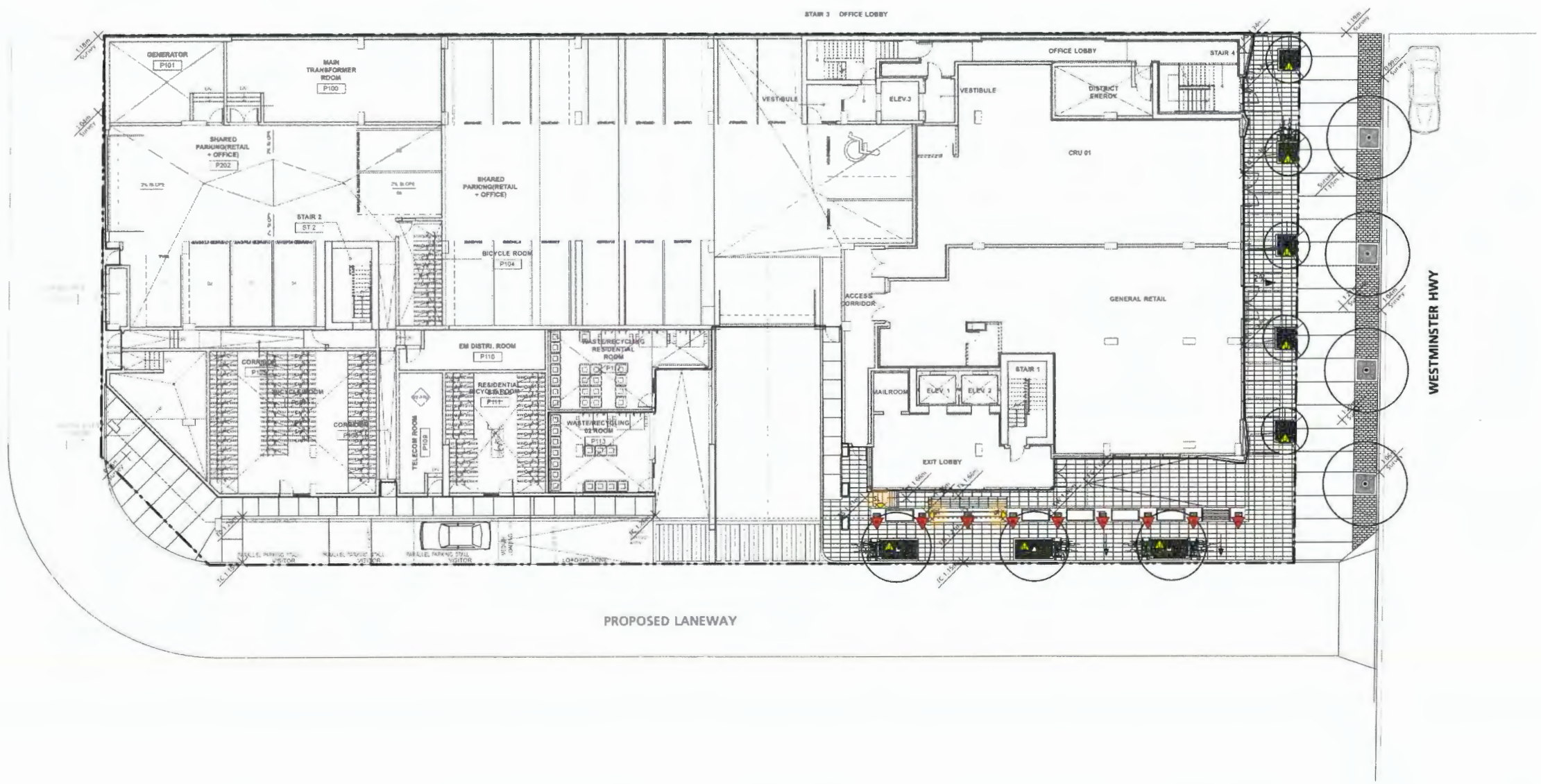
DP 18-797127
Plan # 26
Jun 2, 2020



LIGHTING KEY (REFER TO ELECTRICAL)

- UP LIGHT, FROSTED LENS WITH TIMER
- STEP LIGHT, SHIELDED MAX ILLUMINATION 5'-0
- DOWN LIGHT, IN SOFFITS
- ARCHITECTURAL LIGHT, ON COLUMNS
- RECEPTACLE LOCATION (GFCI IN EXTERIOR GRADE BOX)

Revision No.		Date
9	Re-Issued for DP	02/19/2020
8	Issue for BP	12/09/2019
7	Issued for Model Coordination	10/30/2019
6	Issued for Client Review	09/26/2019
5	Re-Issued for DP	04/17/2019
4	Re-Issued for DP	01/07/2019
3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:
BOLD PROPERTIES
GOSEN PROPERTIES

Project Title:
Kindle

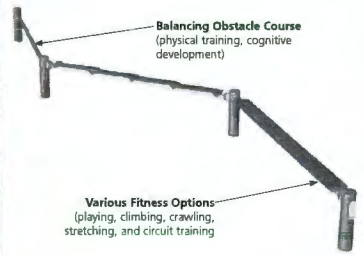
Drawing Title:
Ground Level Landscape Lighting Plan

Project North:

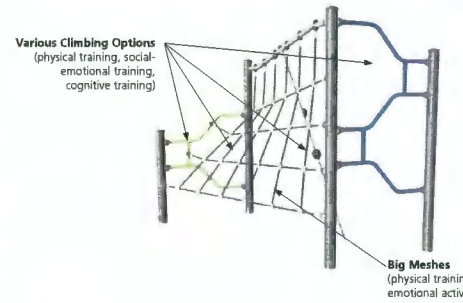
Drawn By: TH
Checked By: JM/MP
Scale: 1:150
Job No: 17-059
Sheet No: L-1.3

LEVEL 4 AMENITY: PLAY + FITNESS DECK (ALL AGES)

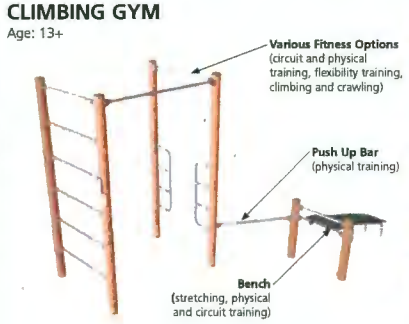
BALANCE BEAM
Age: 13+

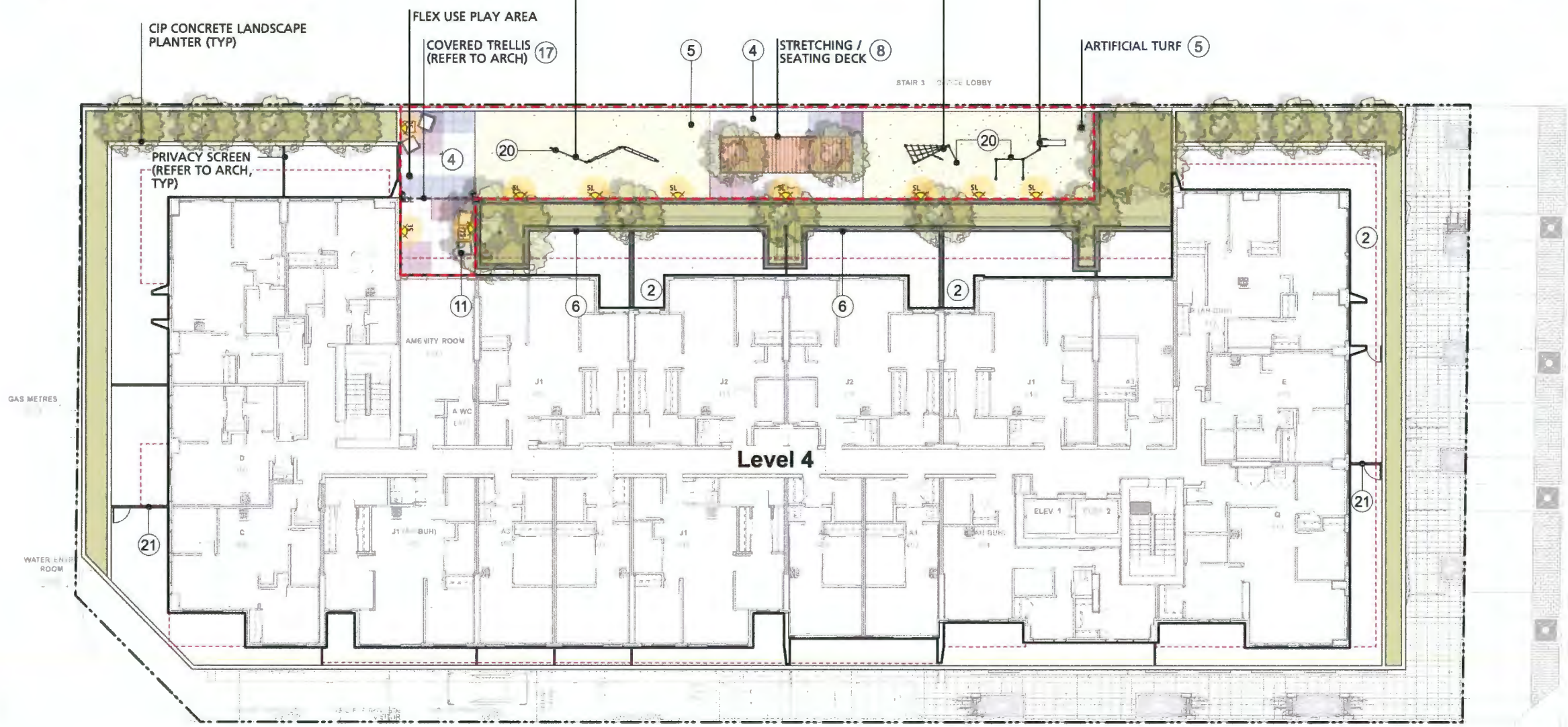


TWISTED NET
Age: 5-12



CLIMBING GYM
Age: 13+





COMMON OUTDOOR AMENITY

Level 4 - Play Area: 215m²
Level 8 - Play Area: 190m²

Total Play Area (All Levels): 405m²
Total Outdoor Amenity Area (All Levels): 805m²

LEGEND

1. CONCRETE PAVING
2. HYDRAPRESSED SLAB PAVING
3. FEATURE UNIT PAVING
4. RUBBER SAFETY SURFACING
5. ARTIFICIAL TURF
6. MODULAR BLOCK RETAINING WALL
7. L1 BENCH
8. L4 SEATING DECK
9. L8 CUSTOM BENCH
10. HARVEST TABLE W/ BENCH
11. OUTDOOR FURNITURE
12. LOUNGE CHAIR
13. BIKE RACK
14. PREFAB METAL PLANTER
15. TREE GRATE
16. BBQ COUNTER
17. L4 TRELLIS (REFER TO ARCH)
18. L8 TRELLIS (REFER TO ARCH)
19. PLAY STRUCTURE TBD
20. FITNESS STRUCTURE TBD
21. PRIVACY SCREEN (REFER TO ARCH)
22. STREETSCAPE PAVING TO MEET CITY STANDARDS
23. STREET TREE PLANTING TO MEET CITY STANDARDS

LIGHTING KEY (REFER TO ELECTRICAL)

- UP LIGHT, FROSTED LENS WITH TIMER
- STEP LIGHT, SHIELDED MAX ILLUMINATION 5'-0
- DOWN LIGHT, IN SOFFITS
- ARCHITECTURAL LIGHT, ON COLUMNS
- RECEPTACLE LOCATION (GFCI IN EXTERIOR GRADE BOX)

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Site Planning

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DP 18-797127
Plan # 27
Jun 2, 2020

Revision No		Date
10	Re-Issued for DP	02/19/2020
9	Issue for BP	12/09/2019
8	Issued for 90% Review	11/15/2019
7	Issued for Model Coordination	10/30/2019
6	Issued for Client Review	09/26/2019
5	Re-Issued for DP	04/17/2019
4	Re-Issued for DP	01/07/2019
3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:
BOLD PROPERTIES
GOSEN PROPERTIES

Project Title:
Kindle
8131 WESTMINSTER HWY.
CITY OF RICHMOND , BC

Drawing Title:
Level 4 Landscape Plan

Project North:
Drawn By: TH
Checked By: JM/MP
Scale: 1:125
Job No.: 17-059
Sheet No.: L-2.0

PLANTING NOTES:

1) Contractor is responsible to obtain and be familiar with the relevant project specifications

2) All planting and landscape installation to meet or exceed the BCSLA/BCLNA - CSLA landscape standards

3) As a minimal acceptable standard:
   a) Sizes on the plant list shall be considered minimum sizes
   b) Root balls to be free of pernicious weeds

4) Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.

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12) All planting beds to have min 75 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).

13) All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.

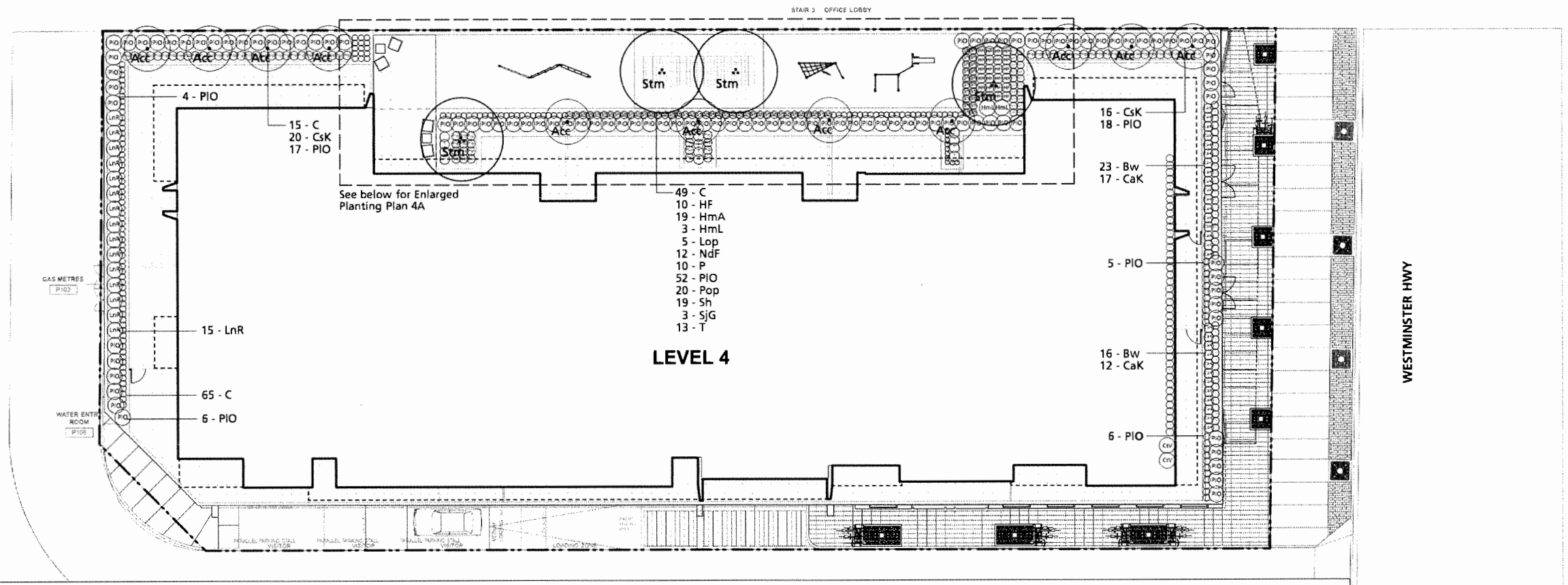
14) The landscape contractor shall refer to the contract specifications for additional requirements.

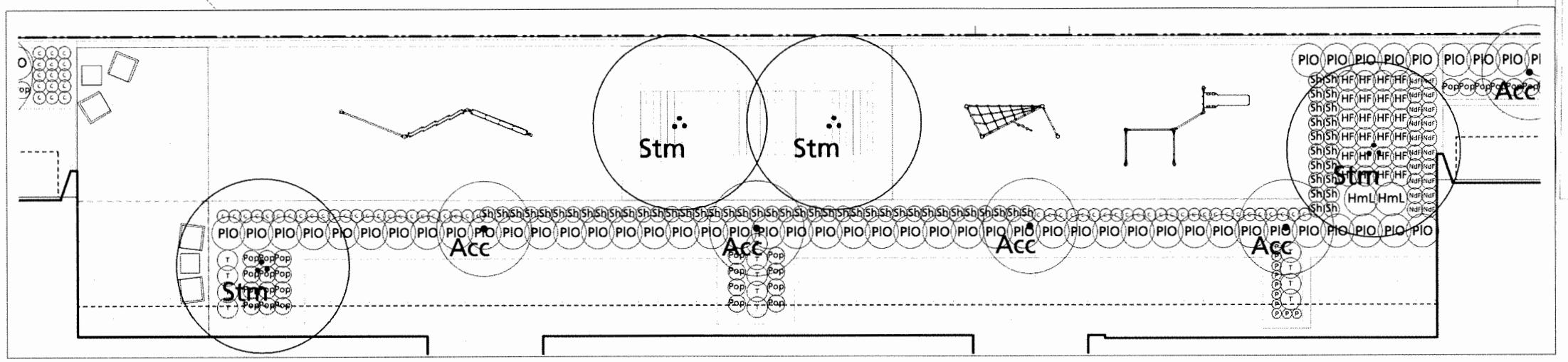
15) All sod to be unnetted and grown on sand.

16) Plant Search area to include BC, WA, OR & CA.

Level 4 - Plant List

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Mature Height	Spacing	Remarks
Trees							
Acc	11	Acer circinatum	Vine Maple	2.5m ht.	4m	3m	Max. 3 stems
Stm	4	Stewartia monodelpha	Tall Stewartia	6cm cal., WB	7.5m	8m	
Shrubs							
Bw	39	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	4' Ht.	450 mm	
HmL	2	Hydrangea macrophylla 'Lanarth White'	Lanarth White Lacecap Hydrangea	#5 pot	Height	Spread	
LnR	15	Lonicera nitida 'Red Tips'	Red Tips Boxleaf Honeysuckle	#3 pot	4' Ht.	1m	
NdF	20	Nandina domestica 'Fire Power'	Fire Power Heavenly Bamboo	#3 pot	Height	Spread	
PIO	103	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	#3 pot	3' Ht.	1m	
Sh	59	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	2' Ht.	450 mm	
T	13	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	5' ht	6' Ht.	500 mm	Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses							
CaK	29	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot	5' Ht.	600 mm	
C	129	Carex oshimensis 'Evergold'	Sedge	#1 pot		350 mm	
HF	24	Hosta 'Frances Williams'	Frances Williams Hosta	#1 pot	Height	Spread	
L	22	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot		400 mm	
P	10	Pachysandra terminalis	Japanese Spurge	#1 pot		300 mm	Groundcover
Pop	73	Polystichum polyblepharum	Japanese Tassel Fern	#1 pot	Height	Spread	





Enlarged Planting Plan 4A
Scale = 1:75m

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Landscape Architecture
Site Planning

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DP 18-797127
Plan # 28
Jun 2, 2020

Revision No.		Date
10	Re-Issued for DP	02/19/2020
9	Issue for BP	12/09/2019
8	Issued for 90% Review	11/15/2019
7	Issued for Model Coordination	10/30/2019
6	Issued for Client Review	09/26/2019
5	Re-Issued for DP	04/17/2019
4	Re-Issued for DP	01/07/2019
3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:
BOLD PROPERTIES
GOSEN PROPERTIES

Project Title:
Kindle
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

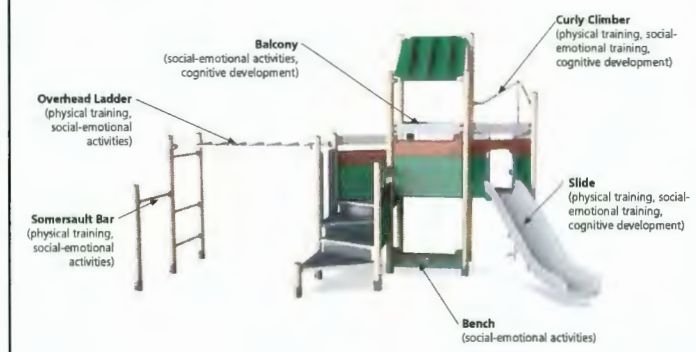
Drawing Title:
Level 4 Planting Plan

Project North:
Drawn By: TH
Checked By: JM/MP
Scale: 1:150
Job No: 17-059

Sheet No.:
L-2.1

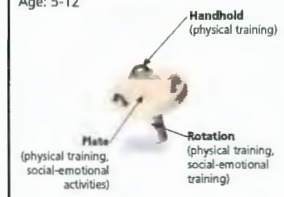
LEVEL 8 AMENITY: NORTH PLAY AREA (6m - 12 YEARS)

PLAY TOWER
Age: 5-12

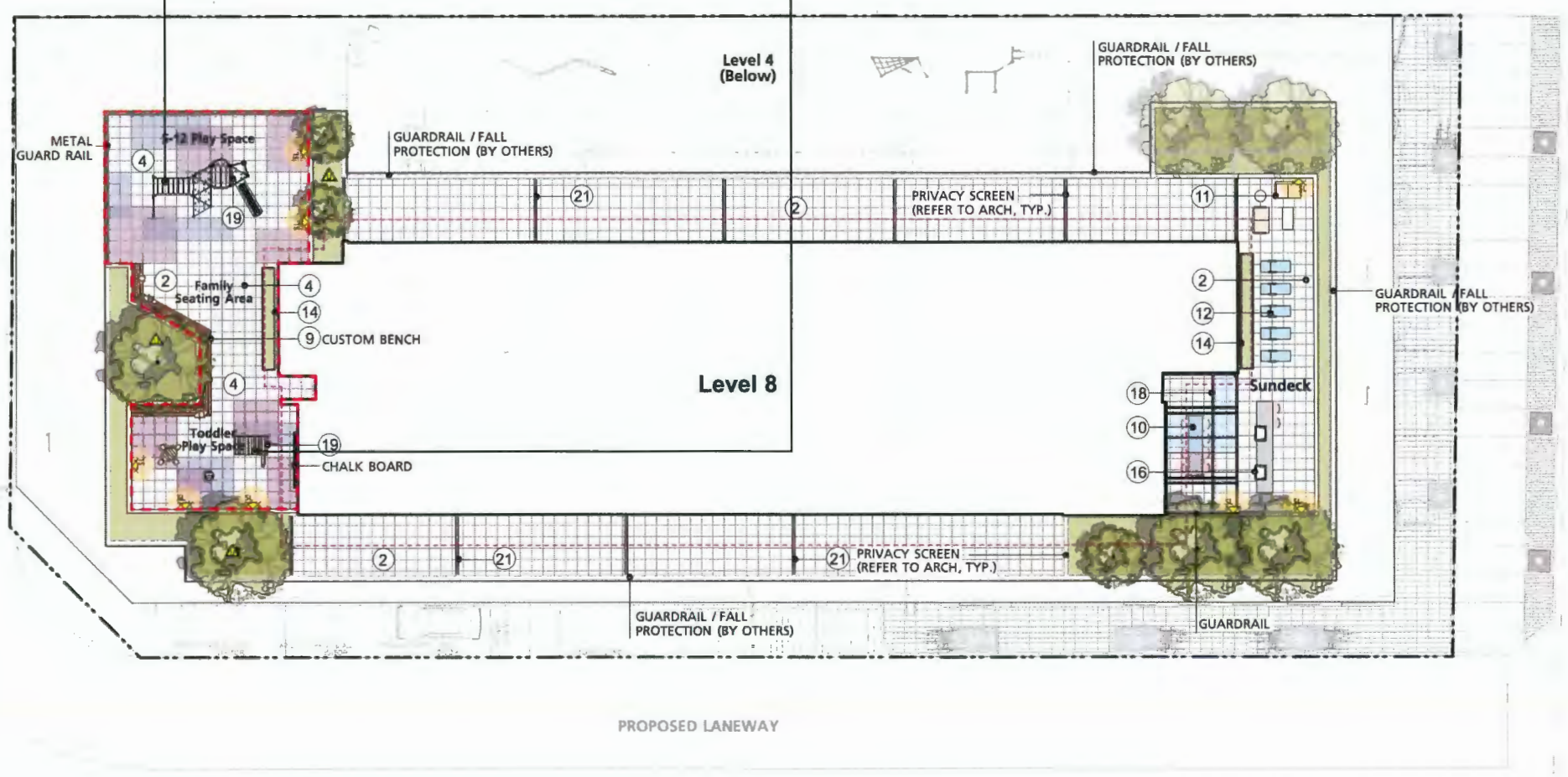


KIDS TABLE
Age: 6m-5

SPINNER PLATE
Age: 5-12



PLAYHUT WITH SIDE AND DESKS
Age: 6m+



COMMON OUTDOOR AMENITY

Level 4 - Play Area: 215m²
Level 8 - Play Area: 190m²

Total Play Area (All Levels): 405m²
Total Outdoor Amenity Area (All Levels): 805m²

LEGEND

1. CONCRETE PAVING
2. HYDRAPRESSED SLAB PAVING
3. FEATURE UNIT PAVING
4. RUBBER SAFETY SURFACING
5. ARTIFICIAL TURF
6. MODULAR BLOCK RETAINING WALL
7. L1 BENCH
8. L4 SEATING DECK
9. L8 CUSTOM BENCH
10. HARVEST TABLE W/ BENCH
11. OUTDOOR FURNITURE
12. LOUNGE CHAIR
13. BIKE RACK
14. PREFAB METAL PLANTER
15. TREE GRATE
16. BBQ COUNTER
17. L4 TRELLIS (REFER TO ARCH)
18. L8 TRELLIS (REFER TO ARCH)
19. PLAY STRUCTURE TBD
20. FITNESS STRUCTURE TBD
21. PRIVACY SCREEN (REFER TO ARCH)
22. STREETSCAPE PAVING TO MEET CITY STANDARDS
23. STREET TREE PLANTING TO MEET CITY STANDARDS

LIGHTING KEY (REFER TO ELECTRICAL)

- UP LIGHT, FROSTED LENS WITH TIMER
- STEP LIGHT, SHIELDED MAX ILLUMINATION 5'-0
- DOWN LIGHT, IN SOFFITS
- ARCHITECTURAL LIGHT, ON COLUMNS
- RECEPTACLE LOCATION (GFCI IN EXTERIOR GRADE BOX)

P+A
Landscape Architecture
Site Planning

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DP 18-797127
Plan # 29
Jun 2, 2020

Revision No		Date
10	Re-Issued for DP	02/19/2020
9	Issue for BP	12/09/2019
8	Issued for 90% Review	11/15/2019
7	Issued for Model Coordination	10/30/2019
6	Issued for Client Review	09/26/2019
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3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:
BOLD PROPERTIES
GOSEN PROPERTIES

Project Title:
Kindle
8131 WESTMINSTER HWY.
CITY OF RICHMOND , BC

Drawing Title:
Level 8 Landscape Plan

Project North:
Drawn By: TH
Checked By: JM/MP
Scale: 1:150
Job No.: 17-059
Sheet No.: L-3.0

PLANTING NOTES:

1) Contractor is responsible to obtain and be familiar with the relevant project specifications

2) All planting and landscape installation to meet or exceed the BCSLA/BCLNA - CSLA landscape standards

3) As a minimal acceptable standard:
   a) Sizes on the plant list shall be considered minimum sizes
   b) Root balls to be free of pernicious weeds

4) Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death) removal and replacement of plant material found to contain the virus to be at the contractor's expense.

5) All plant material shall be approved at the nursery by the project landscape architect.

6) The contractor shall supply all plant materials shown on all drawings.

7) No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.

8) Container grown stock, shall have the container removed and the rootball be cleanly scored in two vertical locations.

9) Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.

10) Contractor to provide landscape architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied to site prior to planting

11) The contractor shall locate and verify the existence of all utilities prior to starting work.

12) All planting beds to have min 75 mm depth of 25mm minus screened composted bark mulch (not on groundcover areas).

13) All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.

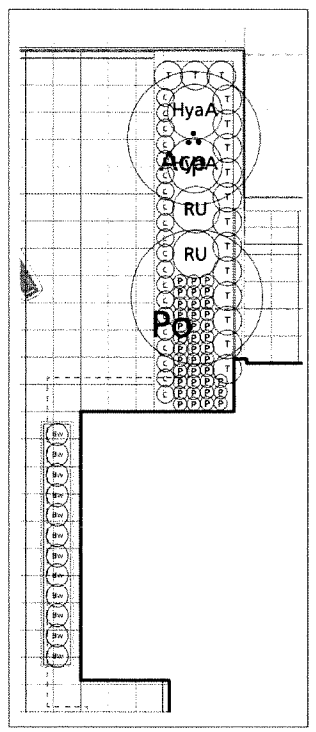
14) The landscape contractor shall refer to the contract specifications for additional requirements.

15) All sod to be unnetted and grown on sand.

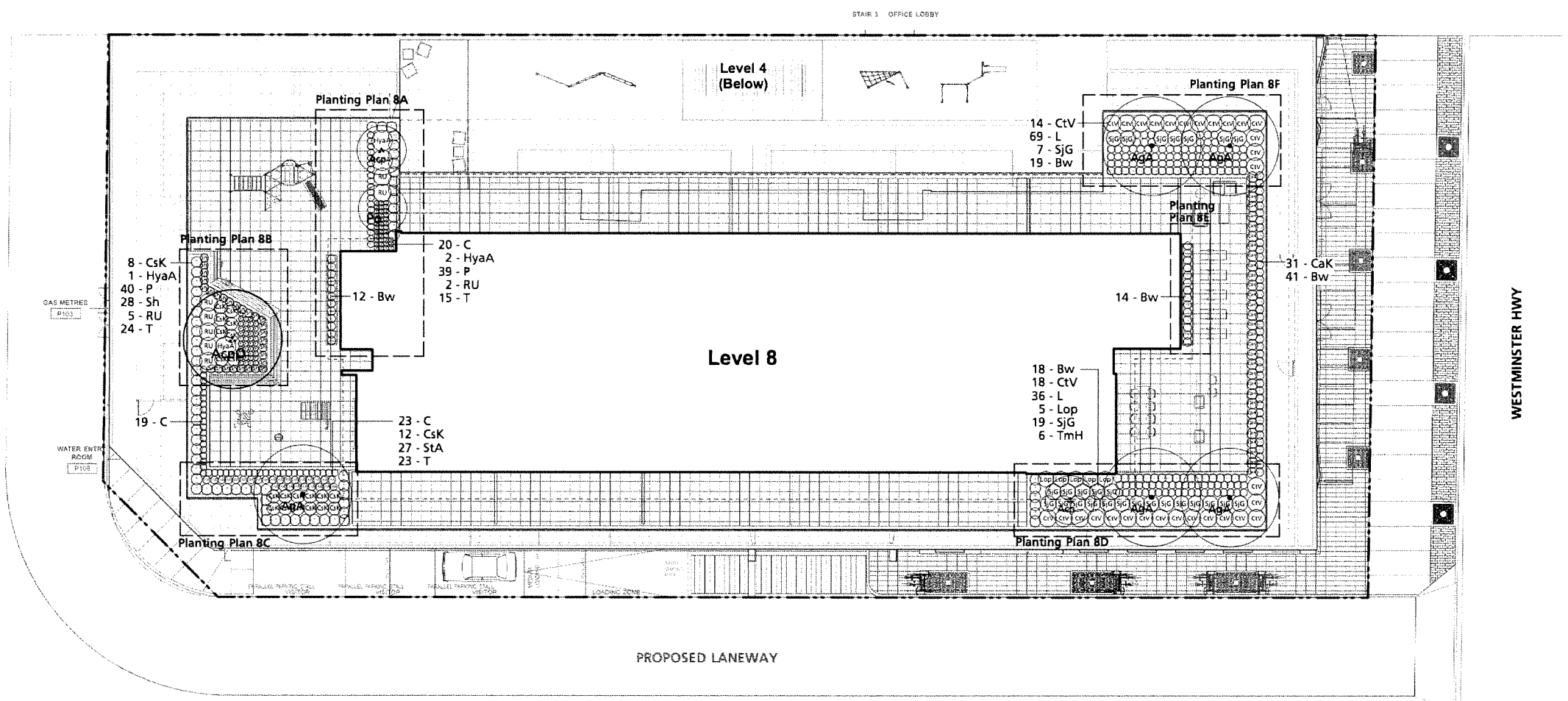
16) Plant Search area to include BC, WA, OR & CA.

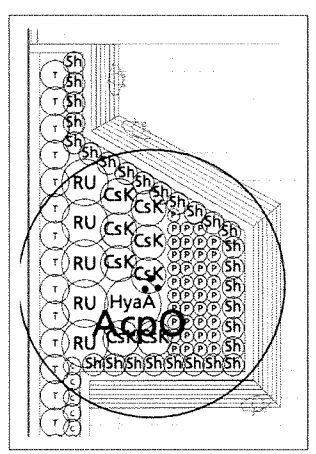
Level 8 - Plant List

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Mature Height	Spacing	Remarks
Trees							
Acp	2	Acer palmatum	Dwarf Japanese Maple	6cm cal., 3m ht., WB	8' Ht. Max	3m	Multi-stem to be selected by LA
AcpO	1	Acer palmatum 'Osakazuki'	Osakazuki Japanese Maple	4m ht., B&B	Height	Spread	
AgA	5	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3m ht., WB	6m	5m	
Po	1	Picea omorika	Serbian Spruce	4m ht., B&B	8m	3m	
Shrubs							
Bw	63	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	4' Ht.	450 mm	
CtV	28	Ceanothus thyrsiflorus 'Victoria'	Victoria Lilac	#3 pot	8' Ht.	1m	
CsK	20	Cornus sericea 'Kelseyi'	Kelsey Dogwood	#2 pot	2.5' Ht.	750 mm	
HyaA	3	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	#5 pot	4' Ht.	1.2m	
Lop	5	Lonicera pileata	Privet Honeysuckle	#3 pot	2' Ht.	900 mm	
RU	7	Rhododendron 'Unique'	Unique Rhododendron	#3 pot	Height	Spread	
Sh	28	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	2' Ht.	450 mm	
SjG	26	Spiraea japonica 'Goldmound'	Goldmound Spirea	#3 pot	Height	Spread	
T	68	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	5' ht	6' Ht.	500 mm	Hedge
Groundcovers, Vines, Ferns, Perennials and Grasses							
CaK	31	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot	5' Ht.	600 mm	
C	62	Carex oshimensis 'Evergold'	Sedge	#1 pot		350 mm	
L	109	Lavandula angustifolia 'Munstead'	English Lavender	#1 pot		400 mm	
P	79	Pachysandra terminalis	Japanese Spurge	#1 pot		300 mm	Groundcover
StA	27	Sedum telephium 'Autumn Joy'	Autumn Joy Sedum	#1 pot	Height	Spread	

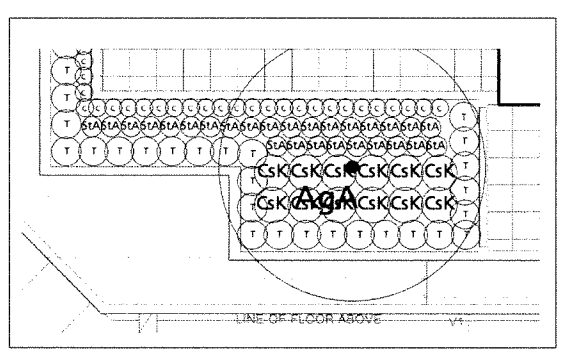


Enlarged Planting Plan 8A
Scale = 1:75m

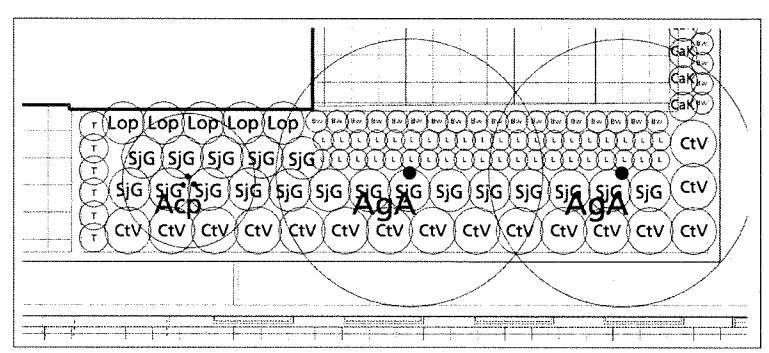




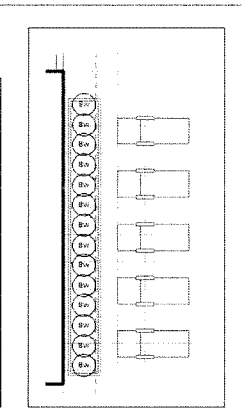
Enlarged Planting Plan 8B
Scale = 1:75m



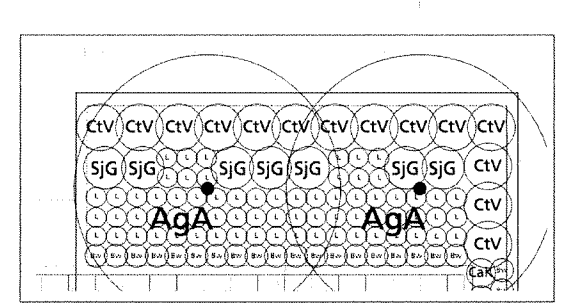
Enlarged Planting Plan 8C
Scale = 1:75m



Enlarged Planting Plan 8D
Scale = 1:75m



Enlarged Planting Plan 8E
Scale = 1:75m



Enlarged Planting Plan 8F
Scale = 1:75m

DP 18-797127
Plan # 30
Jun 2, 2020

P+A
Landscape Architecture
Site Planning

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Revision No.		Date
10	Re-Issued for DP	02/19/2020
9	Issue for BP	12/09/2019
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2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018

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Client:

BOLD PROPERTIES

GOSEN PROPERTIES

Project Title:

Kindle

8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

Drawing Title:

Level 8
Planting Plan

Project North:

Drawn By: TH

Checked By: JM/MP

Scale: 1:150

Job No: 17-059

Sheet No.:

L-3.1

P+A
Landscape Architecture
Site Planning

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Vancouver, BC V5T 1V9

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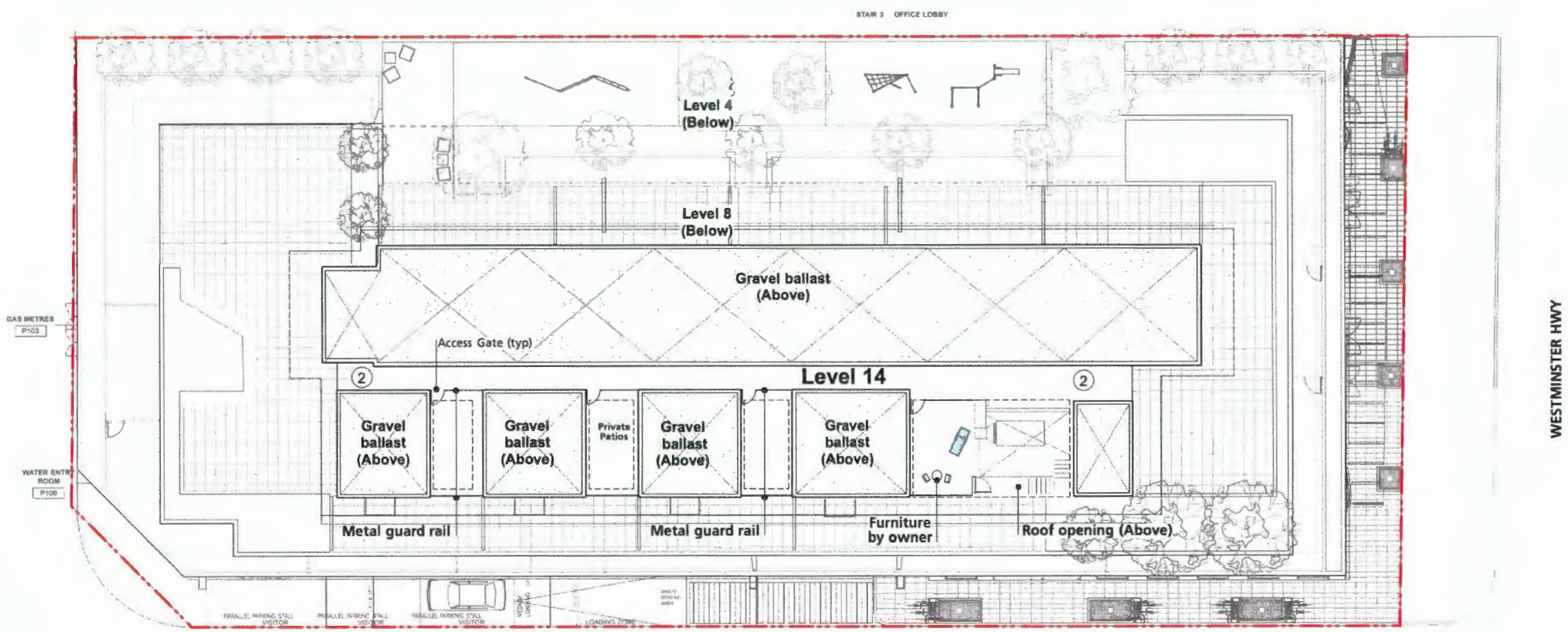
www.perryandassociates.ca

DP 18-797127
Plan # 31
Jun 2, 2020



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Client:
BOLD PROPERTIES
GOSEN PROPERTIES

Project Title:
Kindle

Drawing Title:
Level 14 Landscape Plan

Project North:

Drawn By: TH
Checked By: JM/MP
Scale: 1:150
Job No.: 17-059
Sheet No.: L-3.2

LEGEND

1. CONCRETE PAVING
2. HYDRAPRESSED SLAB PAVING
3. FEATURE UNIT PAVING
4. RUBBER SAFETY SURFACING
5. ARTIFICIAL TURF
6. MODULAR BLOCK RETAINING WALL
7. L1 BENCH
8. L4 SEATING DECK
9. L8 CUSTOM BENCH
10. HARVEST TABLE W/ BENCH
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12. LOUNGE CHAIR
13. BIKE RACK
14. PREFAB METAL PLANTER
15. TREE GRATE
16. BBQ COUNTER
17. L4 TRELLIS (REFER TO ARCH)
18. L8 TRELLIS (REFER TO ARCH)
19. PLAY STRUCTURE TBD
20. FITNESS STRUCTURE TBD
21. PRIVACY SCREEN (REFER TO ARCH)
22. STREETSCAPE PAVING TO MEET CITY STANDARDS
23. STREET TREE PLANTING TO MEET CITY STANDARDS

PLANTING NOTES:

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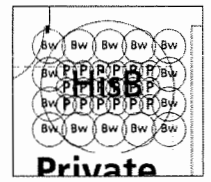
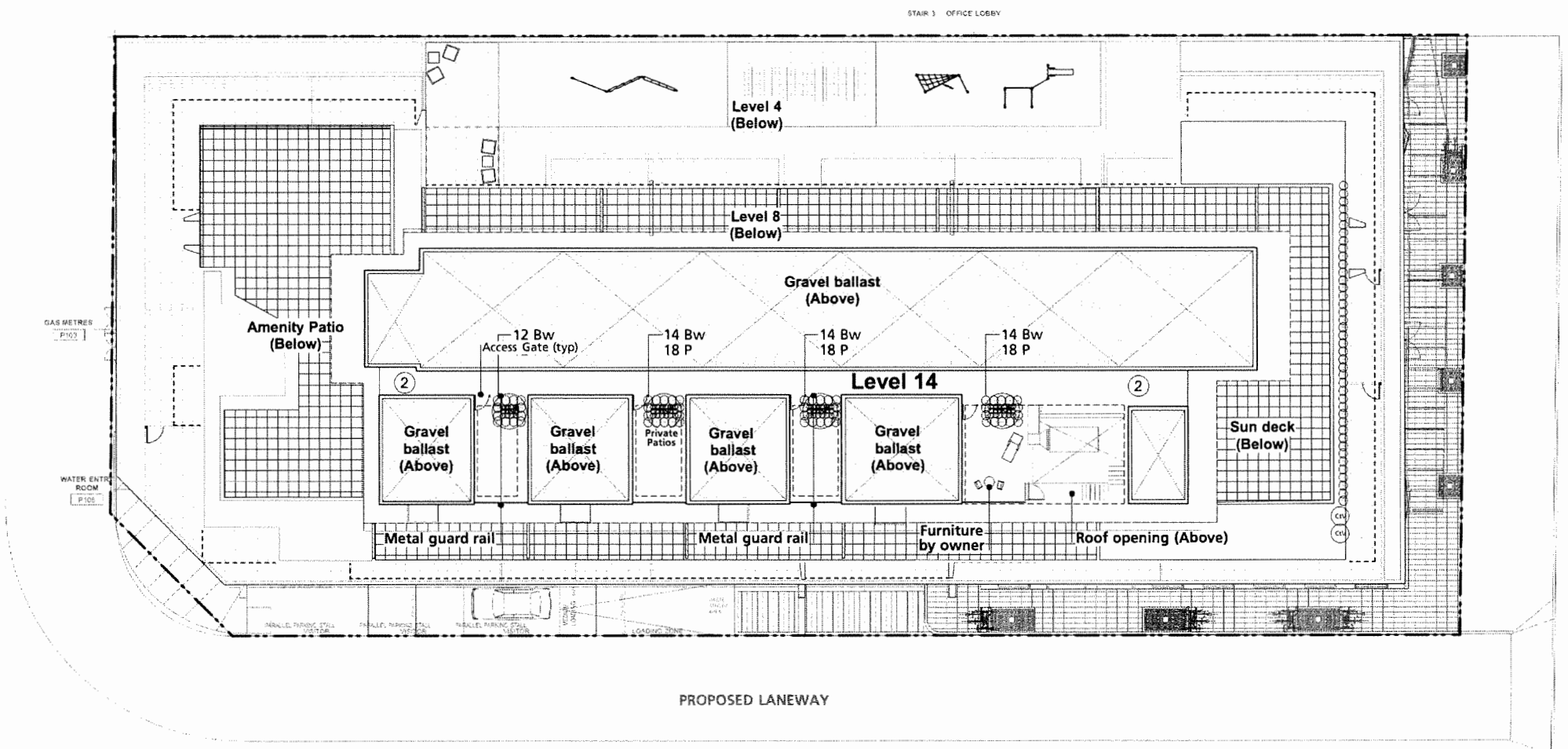
16) Plant Search area to include BC, WA, OR & CA.

Level 14 - Plant List

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Mature Size	Spacing	Remarks
Trees							
Shrubs							
Bw	54	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	4' Ht.	450 mm	
HisB	4	Hibiscus syriacus 'Blue Satin'	Blue Satin Rose of Sharon	#10 pot	6-8' Ht.		On Standard
Groundcovers, Vines, Ferns, Perennials and Grasses							
P	66	Pachysandra terminalis	Japanese Spurge	#1 pot		300 mm	Groundcover





DP 18-797127
Plan # 32
Jun 2, 2020

P+A
Landscape Architecture
Site Planning

R. Kim Perry & Associates Inc.
112 East Broadway
Vancouver, BC V5T 1V9
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www.perryandassociates.ca

Revision No.		Date
8	Re-Issued for DP	02/19/2020
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Client:
BOLD PROPERTIES
GOSEN PROPERTIES

Project Title:
Kindle

Drawing Title:
Level 14 Planting Plan

Project North:

Drawn By: TH

Checked By: JM/MP

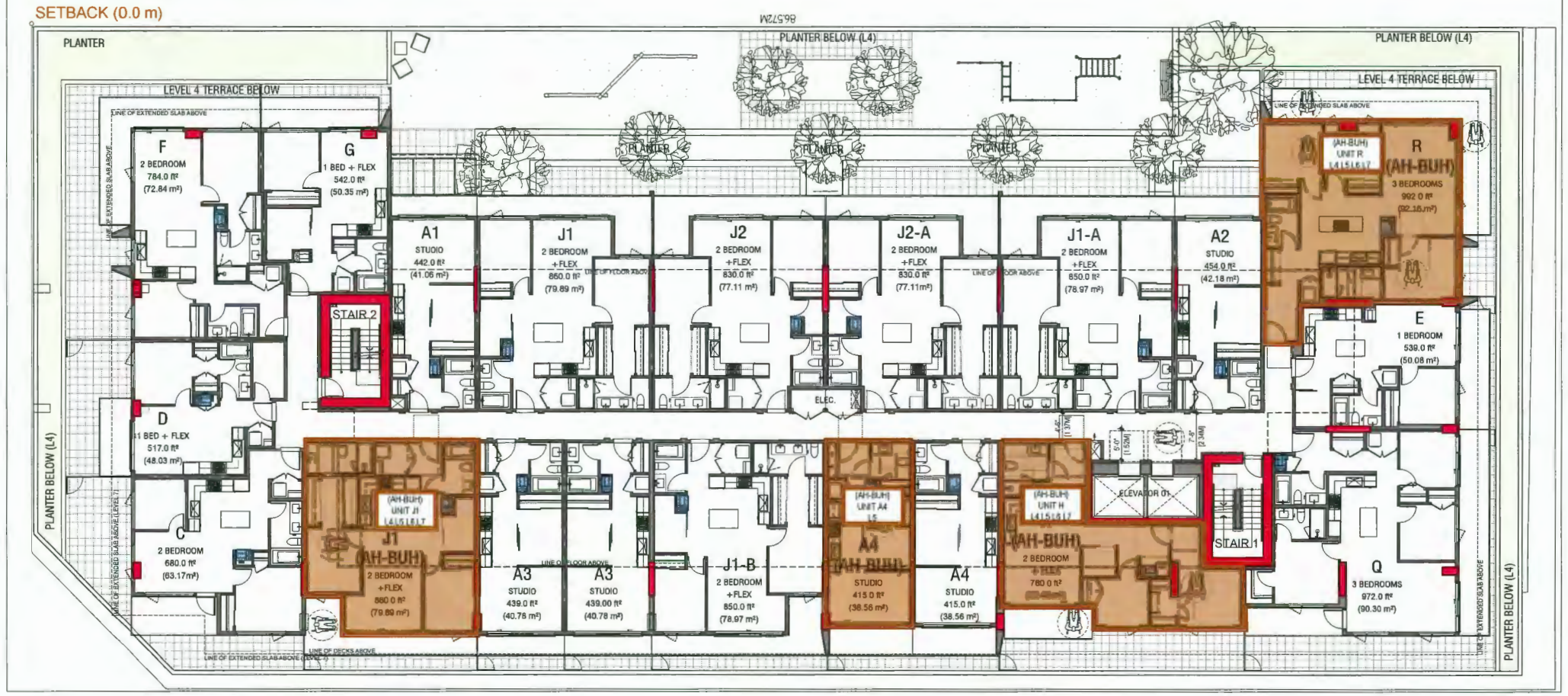
Scale: 1:150

Job No: 17-059

Sheet No: L-3.3

AFFORDABLE UNITS LOCATION PLAN:

SETBACK (0.0 m)



AFFORDABLE UNITS STATISTICS:

TOTAL RESIDENTIAL AREA FOR AFFORDABILITY CALCULATION
(EXCLUSIONS LEVEL 4 - LEVEL 14)
107, 750 ft² (10,009.98 m²) X 10% = REQUIRED 10,775.0 ft² (1,001.0 m²)

Affordable	Type	Size	Bed
401	H1-BUH	780	2 Bed
407	J1-BUH	860	2 Bed
418	R1-BUH	995	3 Bed
501	H1-BUH	780	2 Bed
503	A4-BUH	430	STUDIO
507	J1-BUH	860	2 Bed
518	R1-BUH	995	3 Bed
601	H1-BUH	780	2 Bed
607	J1-BUH	860	2 Bed
618	R1-BUH	995	3 Bed
701	H1-BUH	780	2 Bed
707	J1-BUH	860	2 Bed
718	R1-BUH	995	3 Bed

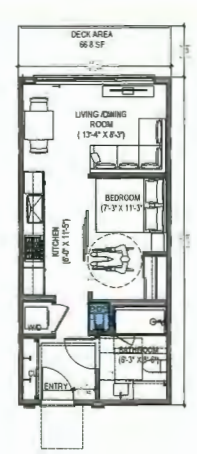
Type	#	Area	%
Studio	1	430	7.69%
2 Bed	8	6,560	61.54%
3 Bed	4	3,980	30.77%
	13	10,970	

KEY PLAN:

AFFORDABLE UNIT LOCATIONS

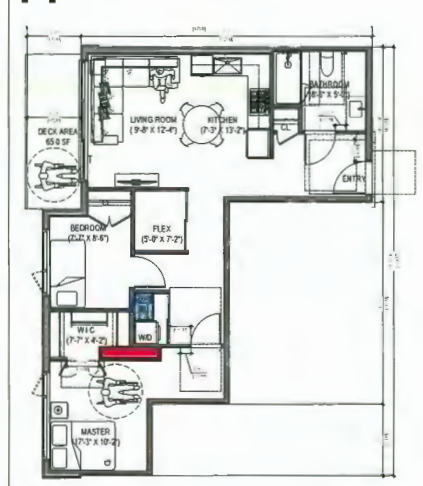
AFFORDABLE UNITS PLANS: 100% OF AFFORDABLE UNITS (A4 ,H, J1, R) ALL CONFORM TO BASIC UNIVERSAL HOUSING REQUIREMENTS AS PER THE BY-LAW (4.16)

A4



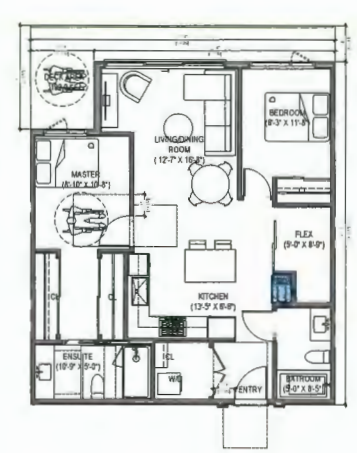
UNIT TYPE A4 415 S.F.
STUDIO AH UNIT: L5

H



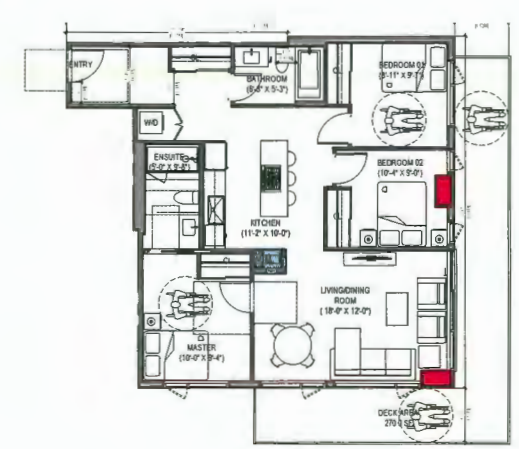
UNIT TYPE H 780 S.F.
2 BEDROOM AH : L4-L7 (4)

J1



UNIT TYPE J1 860 S.F.
2BD + FLEX AH : L4-L7 (4)

R



UNIT R 992 S.F.
3 BEDROOM AH : L4-L7 (4)

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NORTH ARROW.

OWNER/CLIENT.

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	M/D/Y
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	01/18/18
02	DP RE-SUBMISSION - 18 797 127 DP	08/28/18
01	DP SUBMISSION - 18 797 127 DP	01/08/18

CONSULTANT.

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J6
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

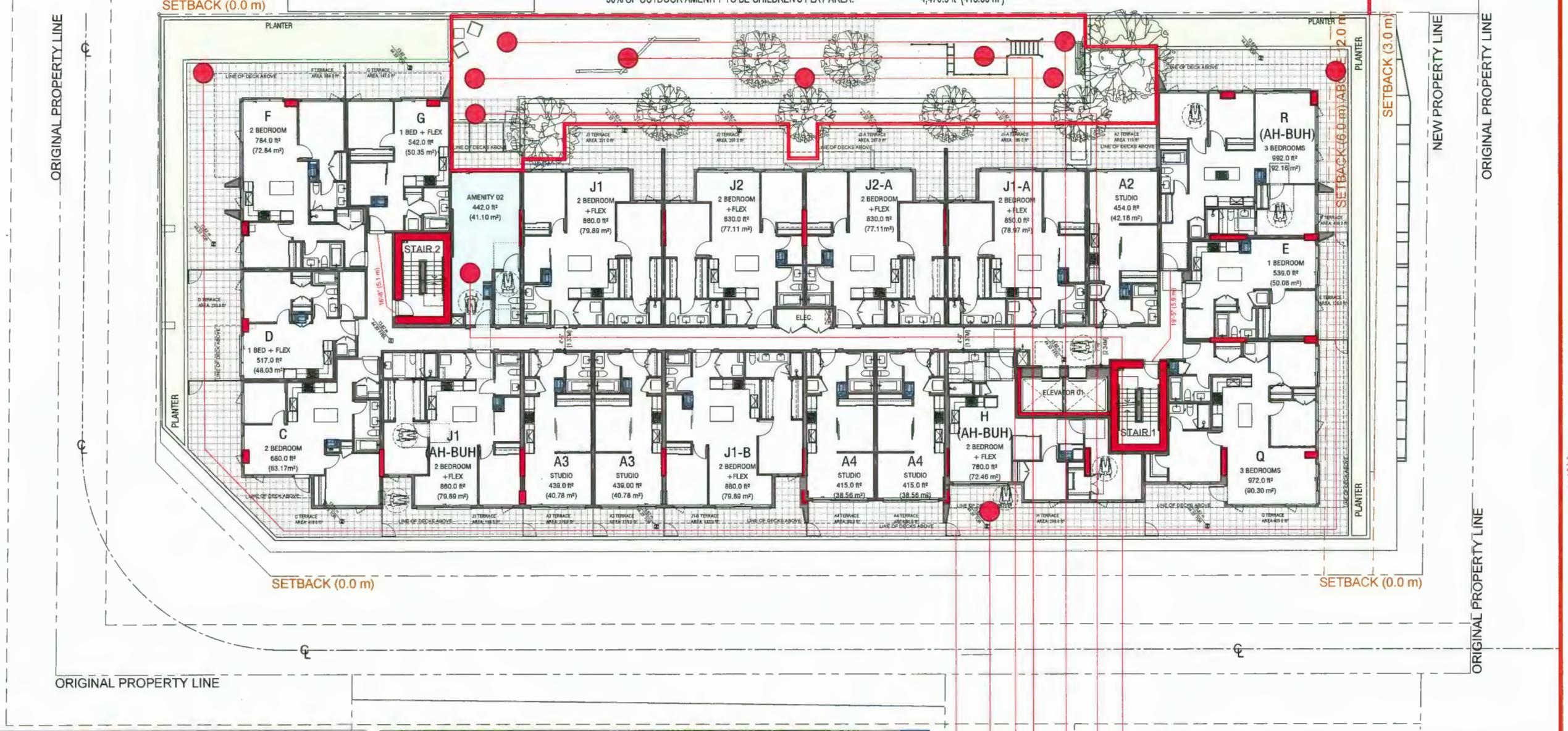
PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
AFFORDABLE
UNITS A4,H,J1,R

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: VARIES REVIEW BY: BW
DWG NO: A0216 MARCH,2020

LINE OF LEVEL 4 OUTDOOR AMENITY:3,872.53 ft² (359.77 m²)

LEVEL 04 - OUTDOOR AMENITY AREA:	3,872.53 ft² (359.77 m²)
LEVEL 08 - NORTH: OUTDOOR AMENITY AREA:	2,849.75ft² (264.75 m²)
LEVEL 08 - SOUTH: OUTDOOR AMENITY AREA:	2,219.63 ft² (206.21 m²)
6.0 m² X 134 UNITS = 804.0 m² REQUIRED TOTAL:	8,941.9 ft² (830.73 m²)
50% OF OUTDOOR AMENITY TO BE CHILDREN'S PLAY AREA:	4,470.9 ft² (415.36 m²)



1. NEW 442 ft² (41.10 m²) ASSOCIATED INDOOR AMENITY FITNESS/YOGA STUDIO/TAI CHI
2. OUTDOOR COVERED AWNING
3. LEVEL 4 AMENITY TERRACE 3,872.53 ft² (359.77 m²)
4. CHILDREN PLAY AREAS
5. OUTDOOR SEATING
6. 7000 ft² (648.0m²) OF PRIVATE RESIDENTIAL TERRACES
7. LANDSCAPERS MAINTENANCE ACCESS PATH WITH INDIVIDUAL GATES

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NORTH ARROW:

OWNER/CLIENT

BOLD PROPERTIES
GOSEN PROPERTIES

L04

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	MM/DD/YR
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	11/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/09/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	03/26/18
01	DP SUBMISSION - 18 797 127 DP	01/05/18

SEAL

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

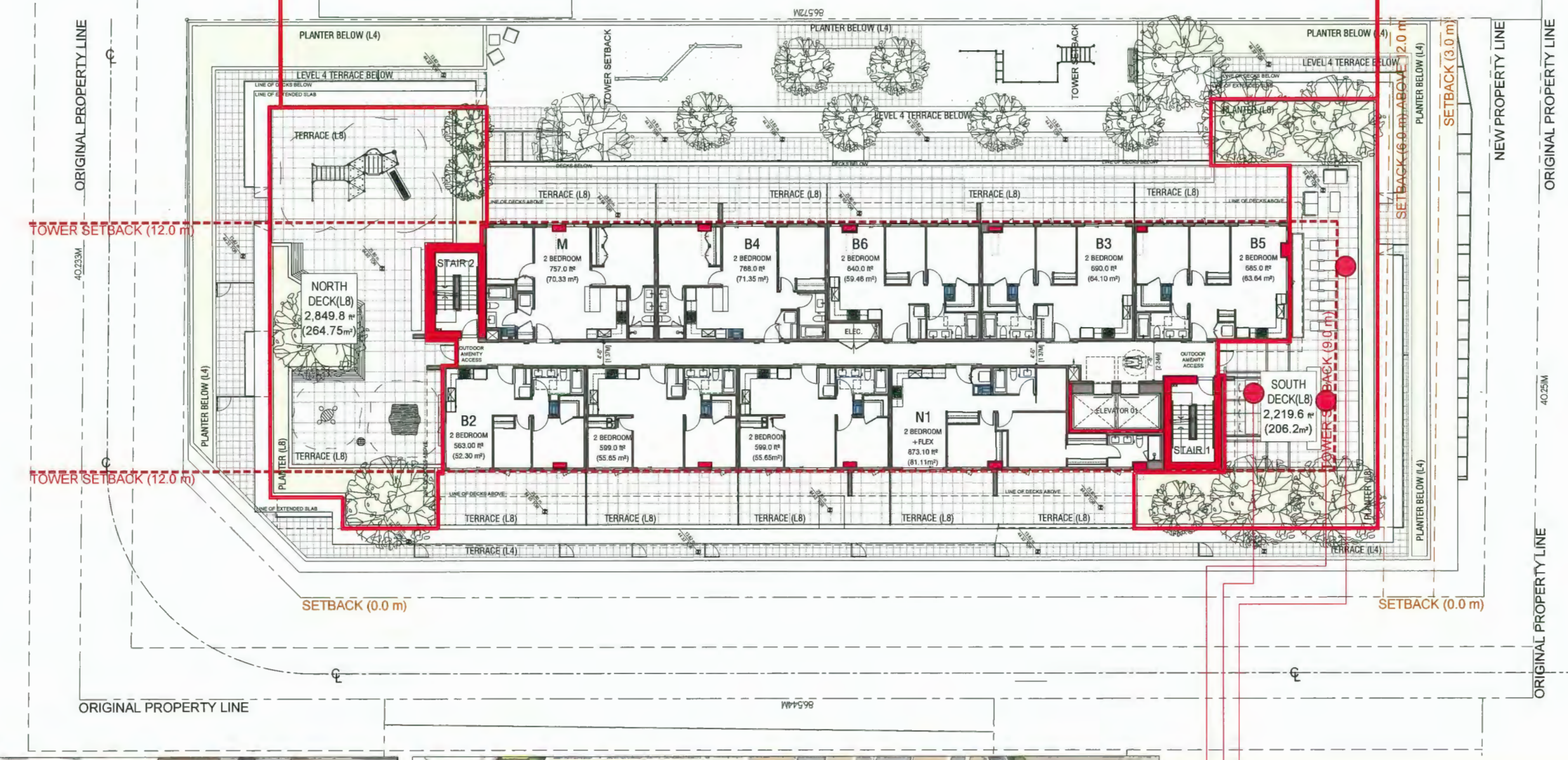
DRAWING TITLE:
LEVEL 4: OUTDOOR AMENITY

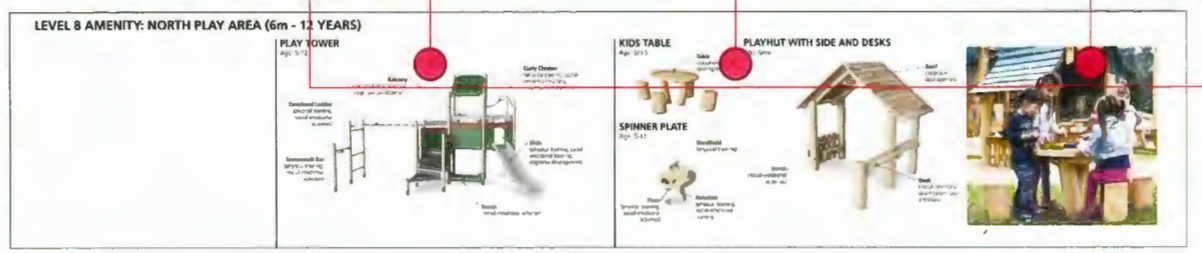
PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0801
MARCH 2020

LINE OF LEVEL 8 NORTH OUTDOOR AMENITY:
2,849.75 ft² (264.75 m²)

50% OF OUTDOOR AMENITY TO BE CHILDREN'S PLAY AREA. SHARED BETWEEN L4 + L8

LINE OF LEVEL 8 SOUTH OUTDOOR AMENITY:
2,219.63 ft² (206.21m²)





1. NORTH DECK: 2,849.75 ft² (264.75 m²)
2. PARENT SEATING AREA
3. CHILDREN'S PLAY AREA WITH PLAY COTTAGE AND PLAY TOWER
4. KIDS LOUNGE SEATING

1. SOUTH SUN DECK: 2,219.63 ft² (206.21m²)
2. SOFT SEATING
3. COVERED SEATING
4. BARBECUE /OUTDOOR KITCHEN

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NORTH ARROW:

OWNER/CLIENT:
BOLD PROPERTIES
GOSEN PROPERTIES

L08

DP 18-797127
Reference Plan
Jun 2, 2020

NO	ISSUE	MO/DY
08	DP RE-SUBMISSION # 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/02/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/15/18
02	DP RE-SUBMISSION - 18 797 127 DP	06/28/18
01	DP SUBMISSION - 18 797 127 DP	01/05/18

SEAL:

CONSULTANT:
WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3520 | office@wa-arch.ca | wa-arch.ca

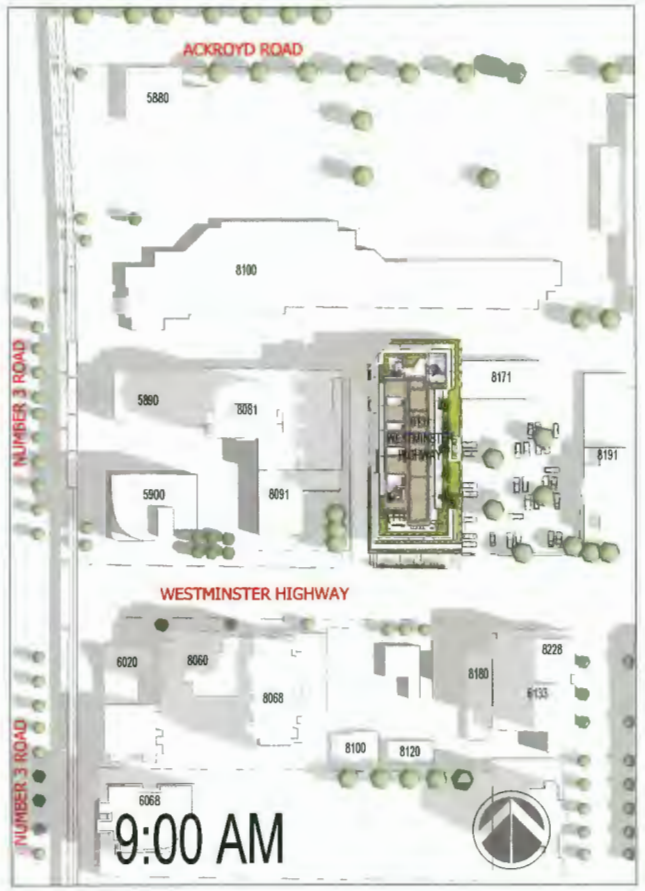
PROJECT NAME:
kindle

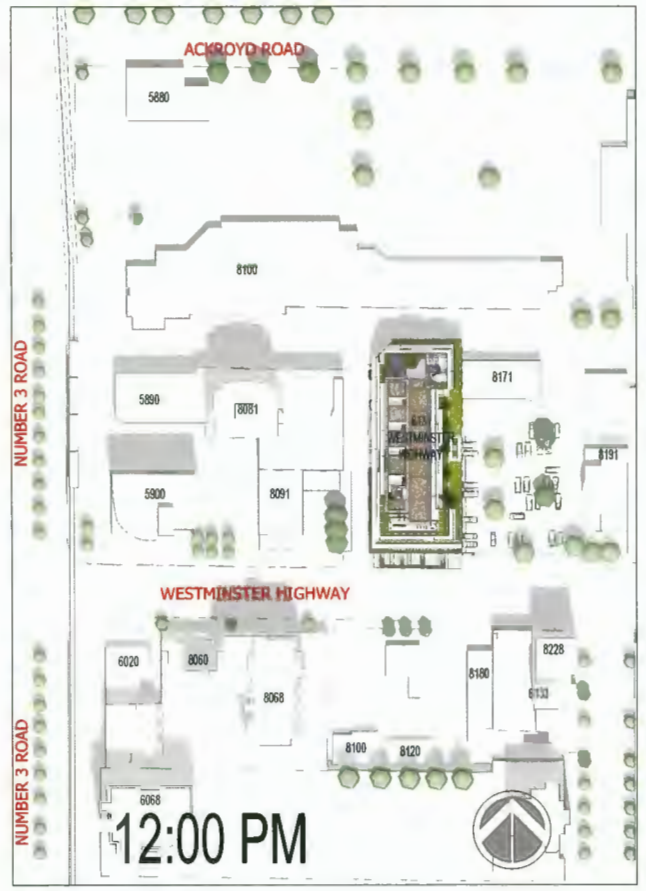
PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

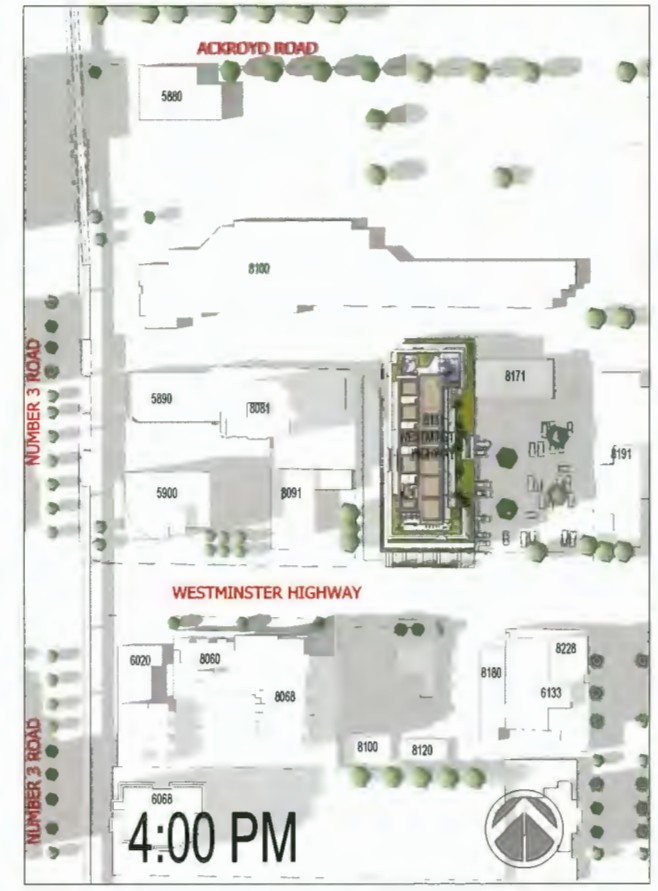
DRAWING TITLE:
LEVEL 8
OUTDOOR AMENITY

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
MARCH, 2020
DWG NO: A0802

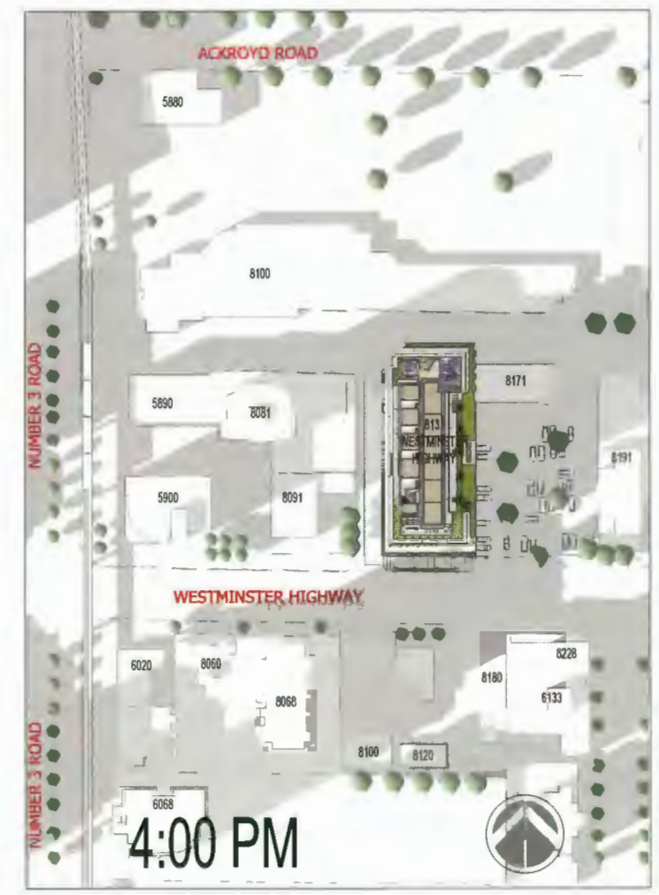
SUMMER SOLSTICE - JUNE 21







AUTUMN EQUINOX - SEPTEMBER 21



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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/15/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	06/08/18
NO.	ISSUE	MM/DD

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

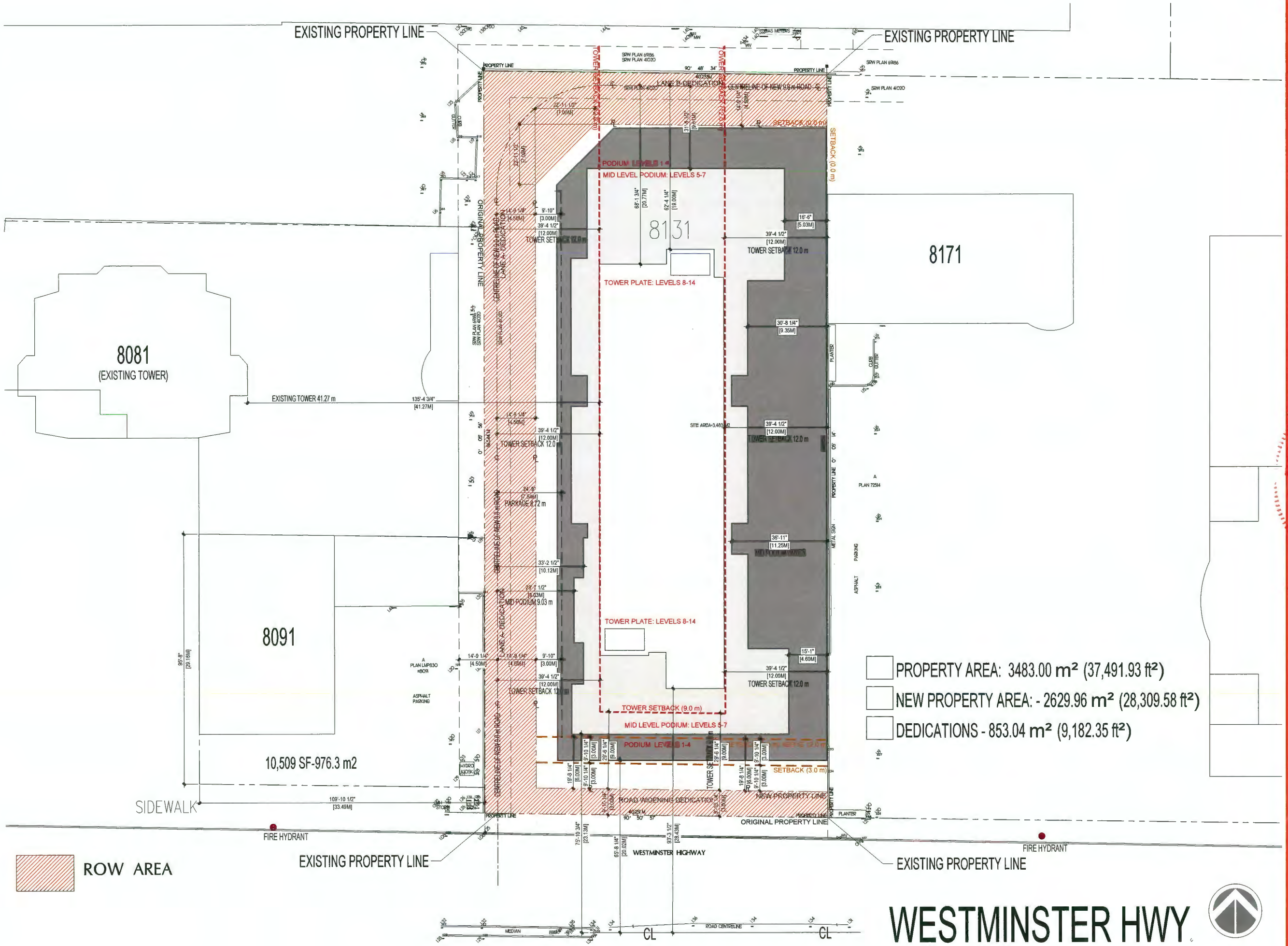
PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
SHADOW STUDY

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: REVIEW BY: BW
DWG NO: A0507 MARCH,2020



PROPERTY AREA: 3483.00 m² (37,491.93 ft²)

NEW PROPERTY AREA: - 2629.96 m² (28,309.58 ft²)

DEDICATIONS - 853.04 m² (9,182.35 ft²)

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO	ISSUE	
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	09/17/19
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03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/21/18
01	DP SUBMISSION - 18 797 127 DP	01/18/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

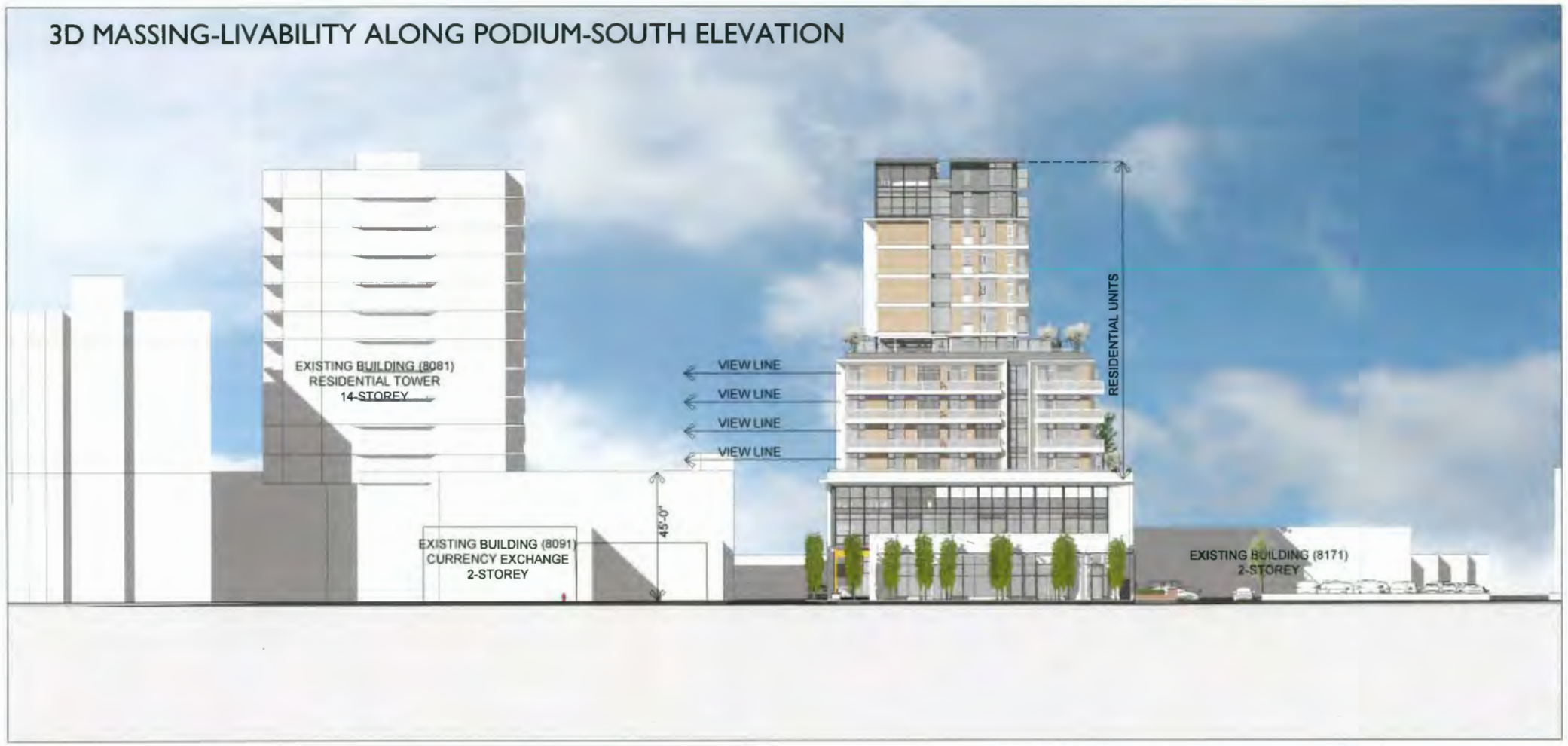
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
SETBACKS + DEDICATIONS

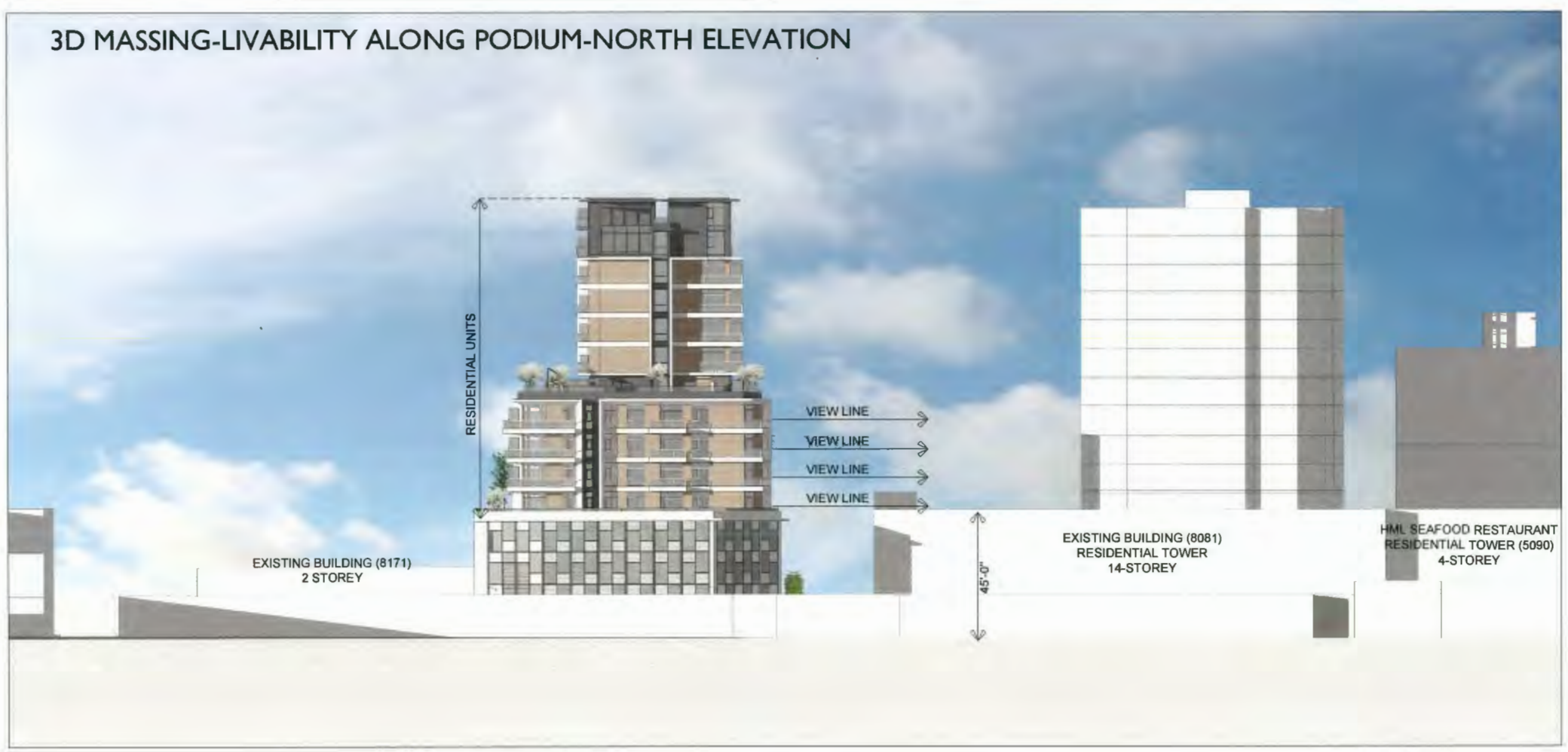
PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 1/16"=1'-0"
REVIEW BY: BW
DWG NO: A0100
MARCH 2020

3D MASSING-LIVABILITY ALONG PODIUM-SOUTH ELEVATION



VIEW: SOUTH EAST

3D MASSING-LIVABILITY ALONG PODIUM-NORTH ELEVATION



VIEW: NORTH EAST

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	MO/DY
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/09/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797127 DP	06/08/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

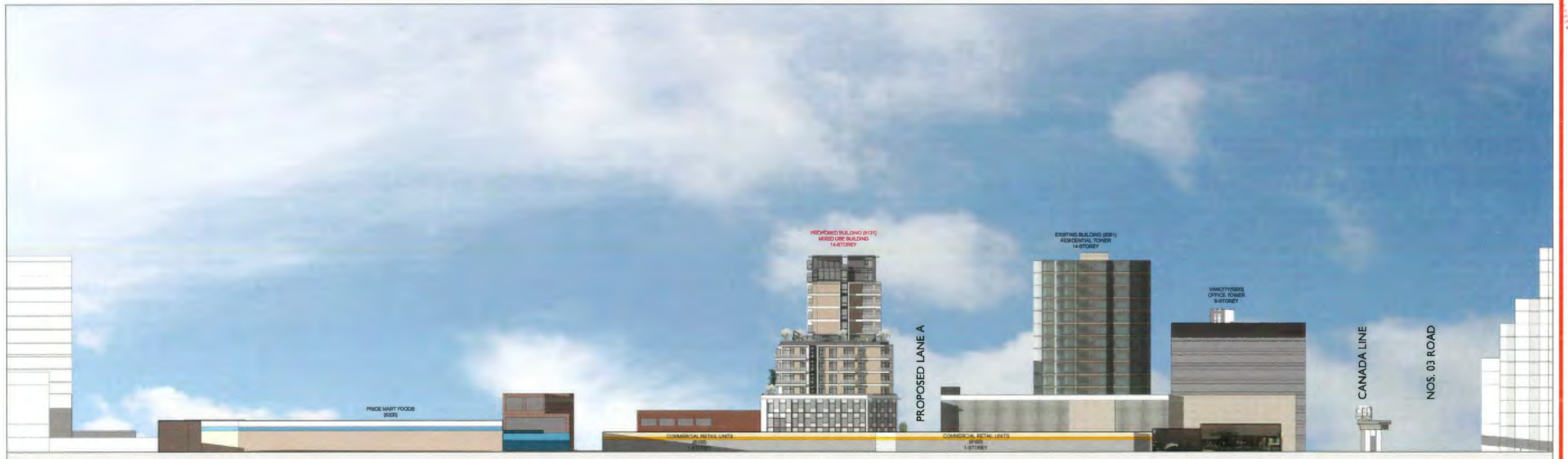
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
LIVABILITY DIAGRAM

PROJECT NO: 17025 DRAWN BY: CSH
SCALE: N.T.S. REVIEW BY: BW
DWG NO: A0505 MARCH,2020

SOUTH STREETSCAPE



NORTH STREETSCAPE

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	MO/YR
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/2019
05	DP RE-SUBMISSION - 18 797 127 DP	04/11/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/10/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/09/18
02	DP RE-SUBMISSION - 18 797 127 DP	06/29/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

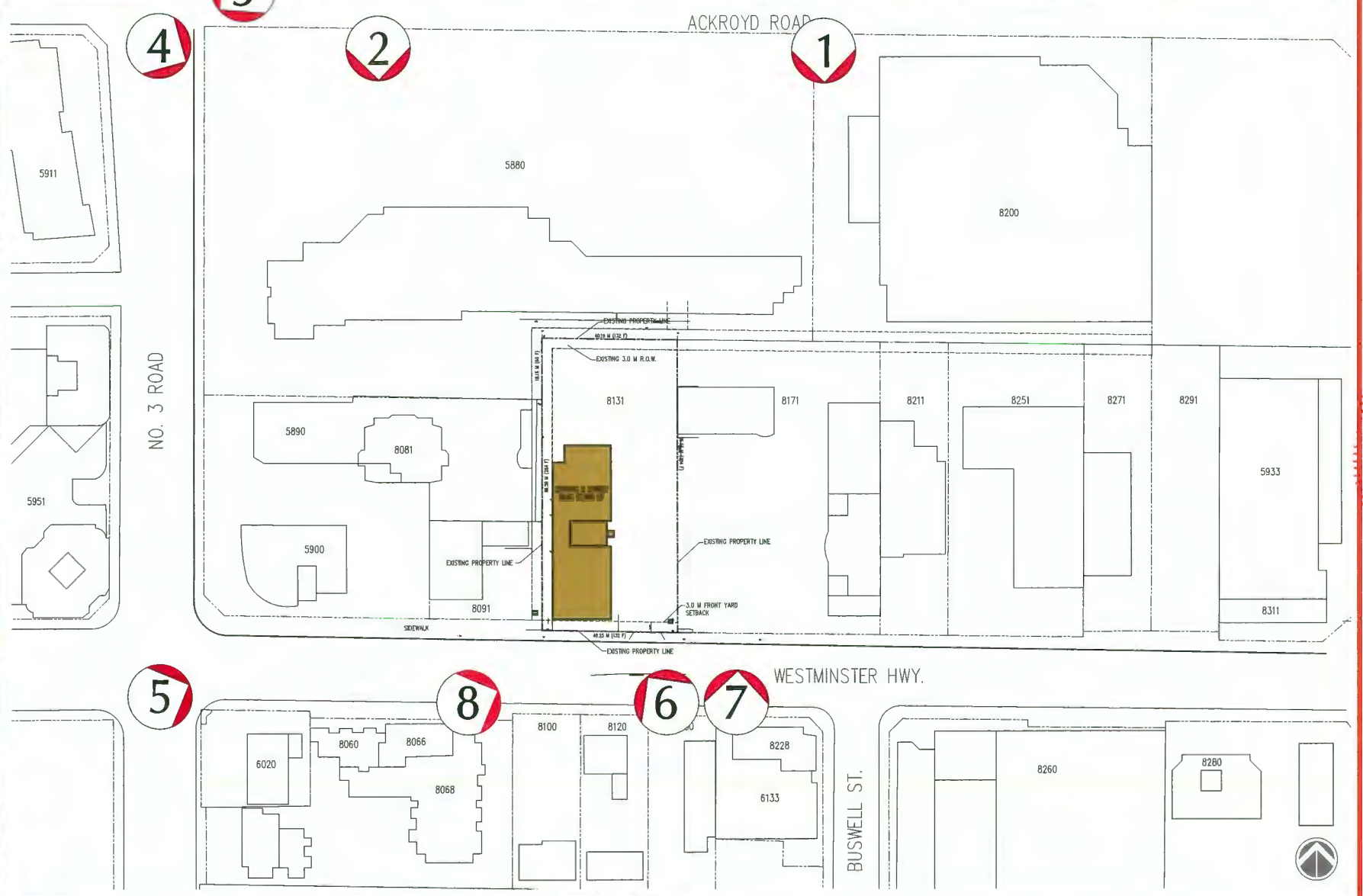
kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:

STREETSCAPE

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: N.T.S.
REVIEW BY: BW
DWG NO: A0506
MARCH,2020



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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	09/12/19
04	DP RE-SUBMISSION - 18 797 127 DP	03/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/28/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:
CONTEXT PLAN + IMAGES

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 1/64"=1'-0"
REVIEW BY: BW
DWG NO: A0101
MARCH,2020

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	YY/MO/DD
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	19/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/28/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/09/18

SEAL:

BRITISH COLUMBIA REGISTERED ARCHITECT

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:

3D CONTEXT

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: N.T.S.
REVIEW BY: BW
DWG NO: A0501
MARCH,2020

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	YY/MM/DD
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/08/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/19/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/08/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:

RENDERING 01

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: N.T.S.
REVIEW BY: BW
DWG NO: A0502
MARCH,2020

VIEW LOOKING SOUTH EAST TOWARD WESTMINSTER HIGHWAY

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	M/D/Y
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	10/02/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/17/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/15/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/28/18
01	DP SUBMISSION - 18 797 127 DP	01/05/18

SEAL:

REGISTERED ARCHITECT
MARK WAYNE HARDING
BRITISH COLUMBIA

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE:

RENDERING 03

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: N.T.S.
REVIEW BY: BW
DWG NO: A0504
MARCH,2020

NORTH EAST VIEW

NORTH WEST VIEW

SOUTH EAST VIEW

SOUTH WEST VIEW

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	DD/MM/YY
08	DP RE-SUBMISSION - 18-797127 DP	03/12/20
07	DP RE-SUBMISSION - 18-797127 DP	01/11/20
06	COORDINATION - 18-797127 DP	18/02/19
05	DP RE-SUBMISSION - 18-797127 DP	08/07/19
04	DP RE-SUBMISSION - 18-797127 DP	04/07/19
03	DP RE-SUBMISSION - 18-797127 DP	11/04/19
02	DP RE-SUBMISSION - 18-797127 DP	26/06/18
01	DP SUBMISSION - 18-797127 DP	01/06/18

SEAL:

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

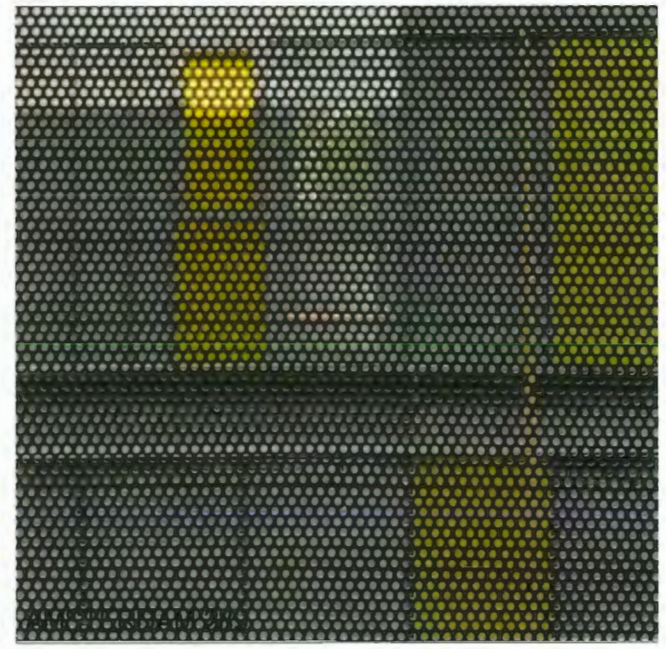
DRAWING TITLE:

3D VIEWS

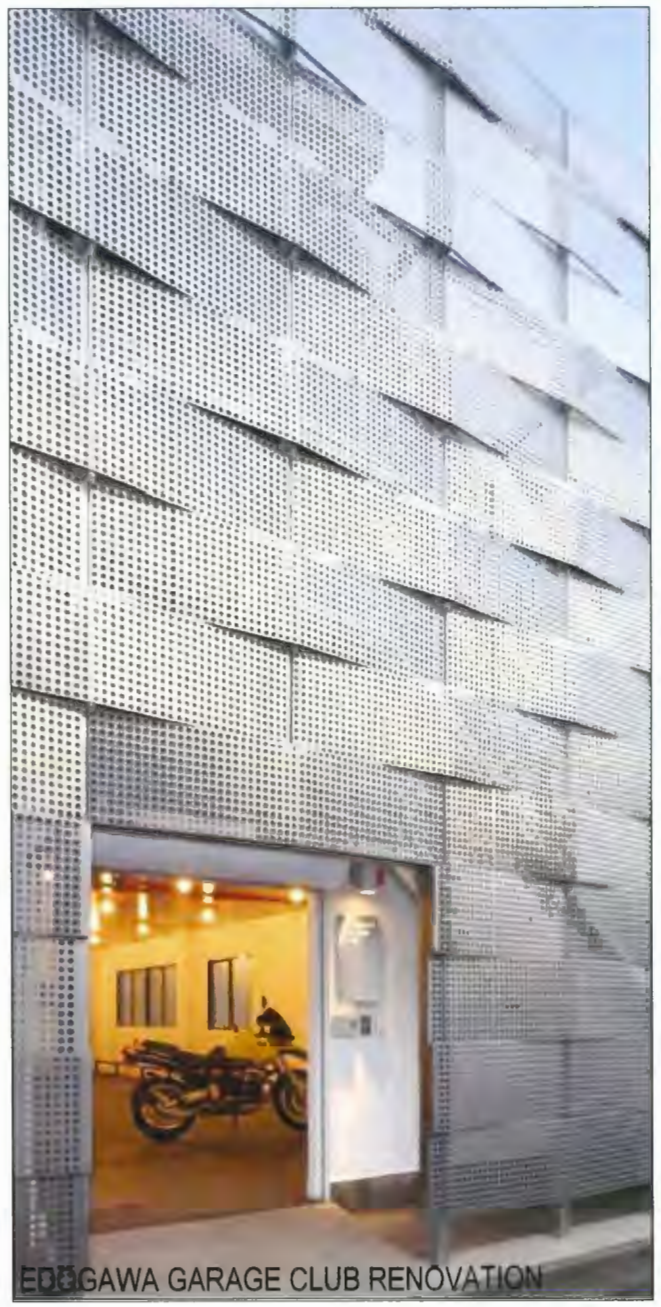
PROJECT NO: 17025
DRAWN BY: CSH
SCALE: N.T.S.
REVIEW BY: BW
DWG NO: A0500
MARCH,2020

TWO CONDE HOUSES

CHESAPEAKE CAR PARK 4

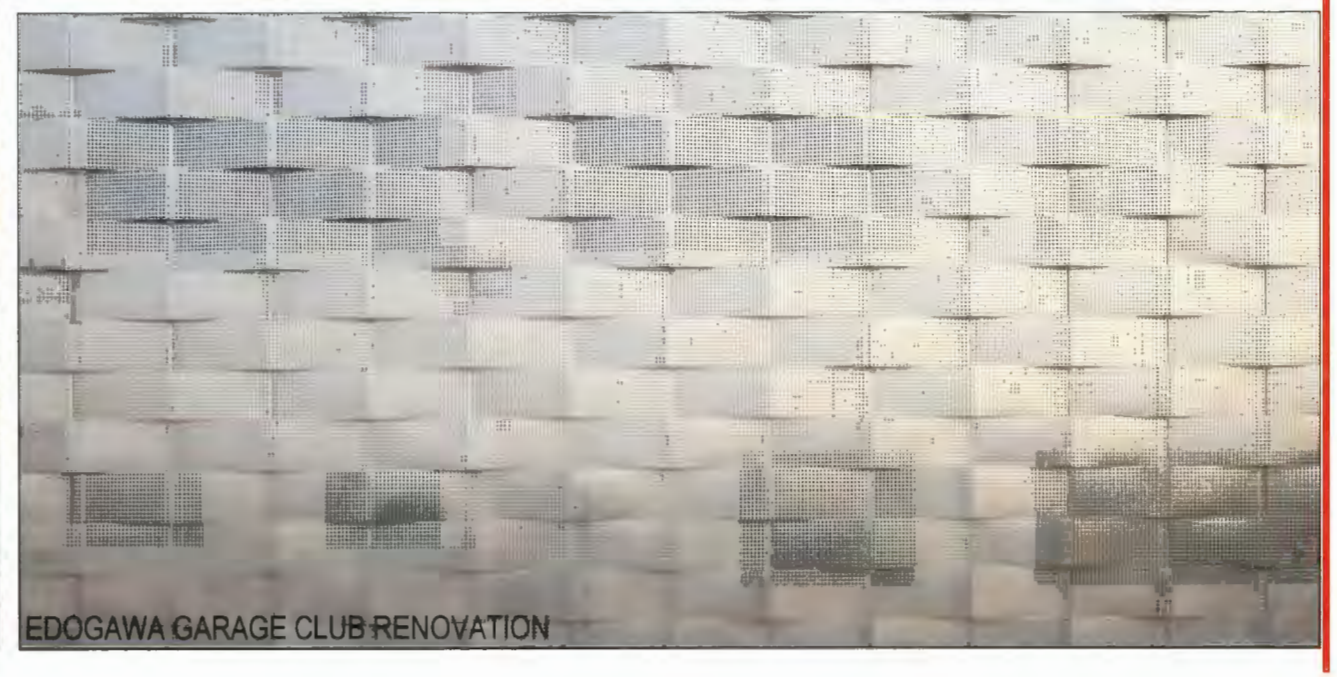

ARTECH STUDIOS

EDOGAWA GARAGE CLUB RENOVATION


EDOGAWA GARAGE CLUB RENOVATION

IMAGEWALL: PERFORATED SCREENS

SEIKO STAINLESS RAILING


EDOGAWA GARAGE CLUB RENOVATION

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NORTH ARROW:

OWNER/CLIENT:

BOLD PROPERTIES
GOSEN PROPERTIES

DP 18-797127
Reference Plan
Jun 2, 2020

NO.	ISSUE	DATE
08	DP RE-SUBMISSION - 18 797 127 DP	03/12/20
07	DP RE-SUBMISSION - 18 797 127 DP	01/13/20
06	COORDINATION - 18 797 127 DP	08/12/19
05	DP RE-SUBMISSION - 18 797 127 DP	04/11/19
04	DP RE-SUBMISSION - 18 797 127 DP	01/07/19
03	DP RE-SUBMISSION - 18 797 127 DP	11/15/18
02	DP RE-SUBMISSION - 18 797 127 DP	09/26/18
01	DP SUBMISSION - 18 797 127 DP	07/09/18

SEAL:

ARCHITECT BRITISH COLUMBIA

CONSULTANT:

WA ARCHITECTS

VAN 301 - 1444 Alberni Street Vancouver, V6G 2Z4
VIC 104 - 3212 Jacklin Road Victoria, V9B 0J5
604.685.3529 | office@wa-arch.ca | wa-arch.ca

PROJECT NAME:

kindle

PROJECT ADDRESS:
8131 WESTMINSTER HWY.
CITY OF RICHMOND, BC

DRAWING TITLE: PARKADE SCREENS PRECEDENCE

PROJECT NO: 17025
DRAWN BY: CSH
SCALE: 3/32"=1'-0"
REVIEW BY: BW
DWG NO: A0803
MARCH,2020

Seating + Amenity

Soft Seating

Amenity Harvest Table

Amenity Seating

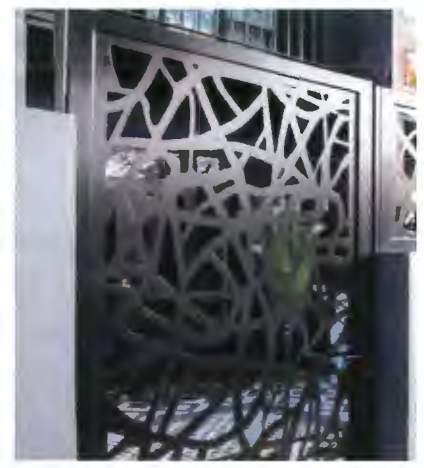
Amenity Area BBQ

Seating Deck with Tree

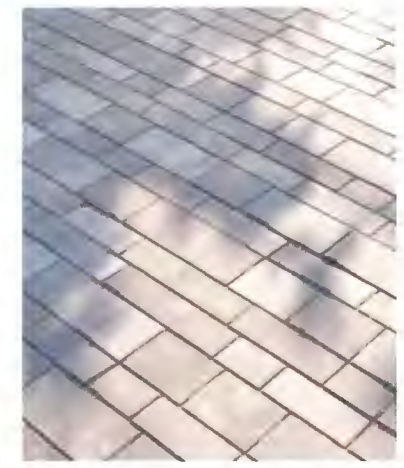
Hardscape

Decorative Tree Grate

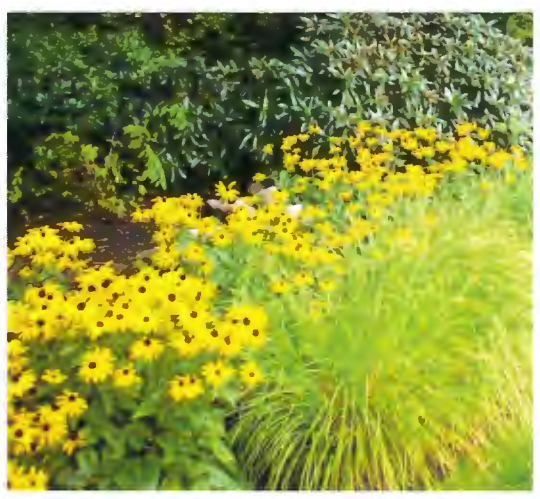
Raised Landscape Planting


Laser Cut Metal Gates + Screens

HydraPressed Slab Pavers at Patios


Feature Paving

Planting


Mass Planting

Seasonal Interest

Evergreen Hedges + Screening

Precast Planters

Ornamental Flowering Trees

P+A
Landscape Architecture
Site Planning

R. Kim Perry & Associates Inc.
112 East Broadway
Vancouver, BC V5T 1V9

T 604 738 4118
F 604 738 4116
www.perryandassociates.ca

DP 18-797127
Reference Plan
Jun 2, 2020

6	Re-Issued for DP	02/19/2020
5	Re-Issued for DP	04/17/2019
4	Re-Issued for DP	01/07/2019
3	Re-Issued for DP	11/19/2018
2	Re-Issued for DP	09/24/2018
1	Issued for DP	01/05/2018
Revision No		Date

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Client:

BOLD PROPERTIES

GOSEN PROPERTIES

Project Title:

Kindle

8131 WESTMINSTER HWY.
CITY OF RICHMOND , BC

Drawing Title:

Precedent Image Board

Project North:

Drawn By: TH

Checked By: JM/MP

Scale: N/A

Job No.: 17-059

Sheet No.:

L-4.0

City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	June 3, 2020
From:	Wayne Craig Director, Development	**File:**	DP 19-858597
Re:	**Application by 0855855 B.C. Ltd. for a Development Permit at 9820 Alberta Road**		

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of six townhouse units at 9820 Alberta Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)"; and
2. Vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum east side yard setback from 3.0 m to 2.25 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:na
Att. 2

Staff Report

Origin

0855855 B.C Ltd. has applied to the City of Richmond for permission to develop six three-storey townhouse units at 9820 Alberta Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)", with vehicle access from the adjacent property at 9840 Alberta Road. The site currently contains a single detached dwelling, which will be demolished. A location map is provided in Attachment 1.

The site is being rezoned from "Single Detached (RS1/F)" to "Town Housing (ZT60) – North McLennan (City Centre)" for this project under Bylaw 9960 (RZ 16-742260), which received third reading following the Public Hearing on February 19, 2019.

Removal of the existing driveway crossing and other frontage improvements including replacement of the street tree in front of the site, and service connections will be done through a City Work Order at the developer's cost prior to the issuance of a Building Permit.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North:	Across Alberta Road, single detached dwellings zoned "Single Detached (RS1/F)".
To the South:	A three-storey townhouse development zoned "Town Housing (ZT60) – North McLennan (City Centre)" and A.R. MacNeill Secondary School to the southwest.
To the East:	A three-storey townhouse development zoned "Town Housing (ZT60) – North McLennan (City Centre)".
To the West:	A three-storey townhouse development zoned "Town Housing (ZT60) – North McLennan (City Centre)."

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage: [staff comments added in ***'bold italics'***]

- Compliance with Development Permit Guidelines for multiple-family projects in the 2041 Official Community Plan Bylaw 9000 and the City Centre Area Plan.
    - ***The project provides quality form and character that follows the Development Permit Guidelines for townhouse development and compliments the established housing form in the immediate vicinity.***

- Refinement of the character and form of building elevations including materials to create an interesting streetscape along Alberta Road and the internal drive aisle.
    - ***Articulation and a variety of materials and colours provide for well balanced building form and character.***

- Review of the size and species of replacement trees, and landscape plan to ensure bylaw compliance and to achieve a mix of conifer and deciduous trees on-site and along the frontage.
    - ***A mix of conifer and deciduous replacement trees have been included as part of the landscape plan to ensure more local plant species are provided in the neighbourhood.***

- Refinement of the outdoor amenity area design.
    - ***The shared outdoor amenity on-site is proposed to be combined with the existing amenity space for the adjacent townhouse development. This proposal incorporates an amenity design that compliments the design of the existing play amenities on the adjacent development site. A legal agreement was secured through the Rezoning application to ensure cross-access to the shared amenity space is provided for both properties.***

- Review of aging-in-place features and the design of the convertible unit.
    - ***Future considerations for the convertible unit like the vertical lift are included in the design of Unit 3. Aging-in-place features have been implemented in each unit.***

- Review of a sustainability strategy for the development including measures to achieve BC Energy Step Code and acoustical requirements.
    - ***A statement on meeting BC Energy Step Code – Step 3 was provided, reviewed, and deemed acceptable by Sustainability Staff.***
    - ***An Acoustic report and Thermal report was provided as per the Rezoning Considerations to ensure demonstration of the interior noise levels and noise mitigation standards comply with the OCP and Noise Bylaw requirements.***

The Public Hearing for the rezoning of this site was held on February 19, 2019. No concerns regarding the rezoning application were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Town Housing (ZT60) – North McLennan (City Centre)" zone except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in ***bold italics***)

The applicant requests to vary the provision of Richmond Zoning Bylaw 8500 to reduce the minimum east side yard setback from 3.0 m to 2.25 m.

The variance was identified at the time of the rezoning application. Staff supports the proposed variance which accommodates at grade private outdoor space along the western portion of the northern building cluster on the site. The separation between the northern building and the adjacent units on the neighbouring site across the north-south drive aisle remains adequate and there are no concerns of shadowing between the two developments.

Advisory Design Panel Comments

The application was not forwarded to the Advisory Design Panel for comments due to the relatively small scale of the project.

Analysis

Conditions of Adjacency

- The proposed height, building form, siting and orientation of the buildings respect the massing, and is similar in character with existing surrounding residential townhouse developments.
- The reduced east side yard setback from 3.0 m to 2.25 m provides adequate separation of approximately 10.7 m between the three-storey townhouse units across the shared drive aisle.
- The applicant has provided a shadow study demonstrating how the units and landscaped areas will be impacted by the placement of the buildings. The shared amenity area and neighbouring property to the east is provided with adequate lighting throughout the year.

Urban Design and Site Planning

- The six three-storey townhouse units proposed in two triplex clusters will be accessed via a shared driveway located on 9840 Alberta Road, which was secured via a statutory right-of-way (SRW) at the time of the rezoning of that property. This development incorporates a minor widening of the access to Alberta Road and the internal drive isle will facilitate vehicle turn around for both properties. Registration of an SRW is a requirement of rezoning adoption to ensure cross-access is provided to the subject property
- The applicant has an agreement with the neighbouring Strata regarding maintenance and cost sharing of the shared driveway.
- The common outdoor amenity area is proposed to be located in the southeast corner of the site and will act as an extension to the existing outdoor amenity area for the neighbouring development. The common outdoor amenity space will be in excess of the Official Community Plan (OCP) guidelines with approximately 67 m^2 of onsite amenity space and a combined total of 143 m^2 with the adjacent townhouse development.
- Registration of a cross-access agreement, including future removal of the fence through the outdoor amenity area, is required prior to rezoning adoption for the purpose of shared use of the proposed outdoor amenity space on the subject property between the two properties.
- The provision of private outdoor spaces exceeds the Development Guidelines of 30 m^2 per unit. All of the private outdoor spaces can be accessed either directly from the at grade living space or via balconies.

- Two parking spaces are provided per unit in tandem arrangement, which complies with the Town Housing (ZT60) – North McLennan (City Centre) zone.
- A total of two visitor parking spaces are provided on site for the subject property.
- A total of 12 Class-1 (long-term) bicycle parking spaces are provided within the garages and two Class-2 (short-term) bicycle parking spaces are next to the garbage and recycling area.
- The garbage and recycling enclosure is located just off the main vehicle entry to the site for easy access. The bins are enclosed against the north building with a façade that matches well with the rest of the building.

Architectural Form and Character

- The overall appearance of the proposal conforms to the Design Guidelines of the North McLennan area and is consistent with the character of the surrounding area.
- The building forms are well articulated. Visual interest has been incorporated with gable roofs, bay windows, entry porches, hutches, and a mix of materials and colours.
- A pedestrian scale is provided at the ground floor level of the units along the internal drive aisle by the inclusion of windows, doors, balconies, and landscape features.
- Relationship to the Alberta Road frontage is enhanced by including an access to one of the units, and appropriate building massing, articulation and character for the 3 unit building,
- The proposed building materials (hardi-plank siding, wood trims, wood batten, double glazed vinyl framed window, and asphalt roof shingles) are generally consistent with the neighbourhood character and Design Guidelines.
- Articulation is added through the use of entry canopies and roof form. Colour choice is satisfactory with the use of warmer tones of the taupe and greys for the siding, along with some browns, to provide balance to the warmer tones.
- Accessibility features that allow for aging in place have been incorporated into all six units of this development (i.e., blocking in all bathrooms for grab-bars, level handle for all doors, and lever faucet in all bathrooms and powder rooms).
- One convertible unit has been incorporated into the design. Alternate floor plans, demonstrating simple conversion potential to accommodate a person in a wheelchair, are provided (see alternative floor plans for Unit #3 where a vertical lift may be installed).

Landscape Design and Open Space Design

- Tree retention and compensation was reviewed at the rezoning stage. Two bylaw-sized trees were identified on-site and one is proposed to be removed due to general poor health condition. A total of two replacement trees are required to compensate for the removal of the one on-site bylaw-sized tree. One bylaw-sized Lawson Cypress tree of 9.0 m in height and a 22 cm stem diameter will be retained in the northwest corner of the site.
- Tree protection fencing will be required prior to any construction activities occurring on-site. A contract with a certified arborist to oversee site preparation activities on-site and supervise any constructions and hard surface paving within the protection zone is required.
- The landscape design includes the planting of 10 new trees (including large calliper and ornamental species) and a variety of shrubs and ground covers, which meets the Official Community Plan (OCP) guidelines for tree replacement and landscaping.
- A lush landscape consisting of flowering trees, shrubs, and ground covers is proposed along the street frontages to provide seasonal changes.

- Drought tolerant and native planting materials are incorporated into the landscaping design.
- Permeable pavers are proposed to allow for higher storm water infiltration potential.
- Hard surfaced landscaping is also proposed through a mixture of asphalt and a permeable paving system to help soften the appearance of the internal drive-aisle and helps identify areas of interest such as the amenity area and visitor parking.
- The child's play area includes open space as well as a daisy desk and caterpillar for engaged learning. The neighbouring site's amenity space provides further open space, a sandbox, a bench, bicycle parking, trees and shrubs.
- An irrigation system is proposed for all landscaped areas for the purpose of maintaining healthy and long lasting live landscaping.
- Prior to issuance of the development permit the applicant is to provide security for landscaping in the amount of $40,554.92 to ensure proposed landscaping and the survival of protected trees upon completion.

Crime Prevention Through Environmental Design

- The proposed plan provides good edge features along the site to separate public and private space, giving the site a good sense of territoriality to residents and visitors.
- Building orientation and landscaping features provide good sight lines and view angles throughout the site.
- All amenities, including the outdoor amenity area, the mailbox, and garbage/recycling enclosures, are located in highly visible area and will receive passive surveillance from the street and buildings.

Sustainability

- The applicant advises that the project will include sustainability features such as the use of energy efficient appliances, use Low-E glass, and insulation beneath entire ground floor slabs (not including garage).
- Step 3 of the BC Energy Step Code will be achieved for the proposed development and the sustainability strategy provided to City Staff has been deemed acceptable to meet requirements.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Nathan Andrews
Planning Technician
(604-247-4911)

NA:ml/blg

Attachment 1: Location Map
Attachment 2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of $40,554.92.
  NOTE: staff to ensure that landscape estimates include a 10% contingency cost.

Prior to a Demolition Permit issuance, the developer is required to complete the following:

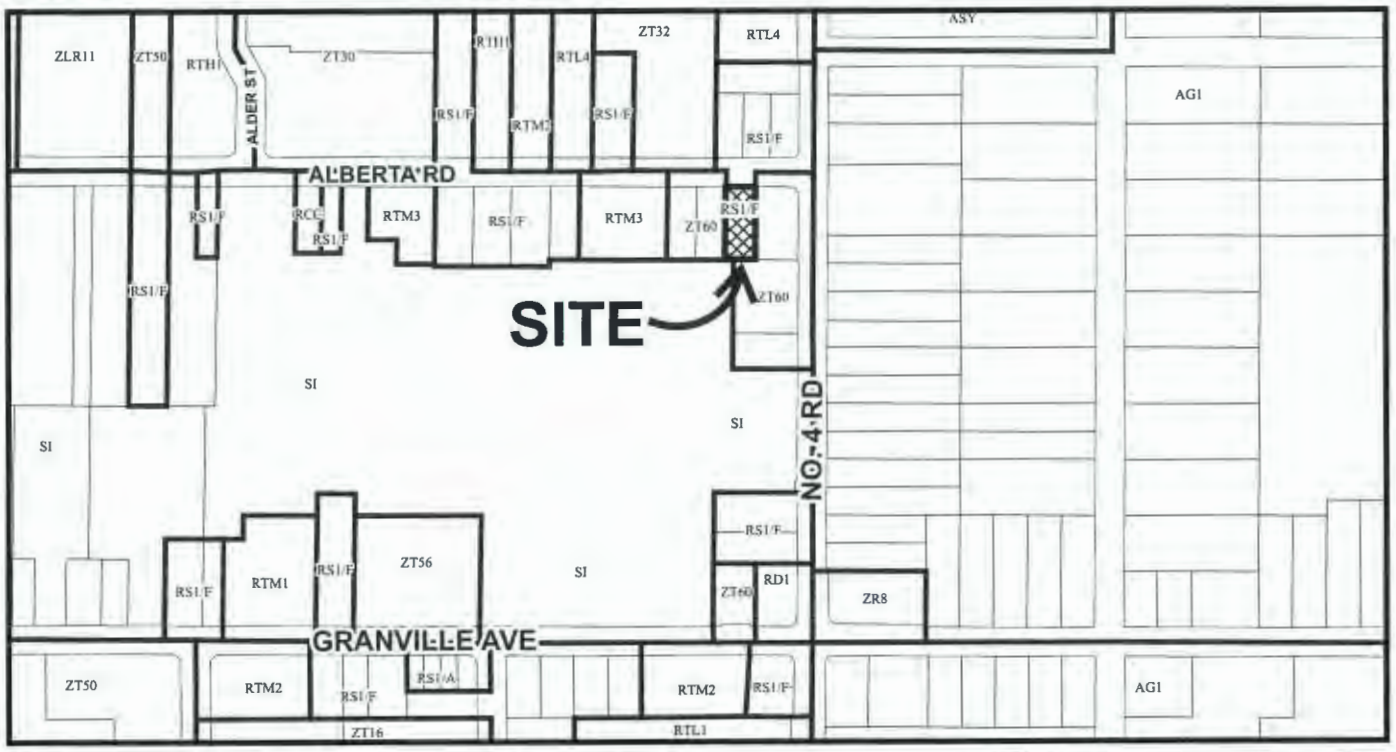
- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.

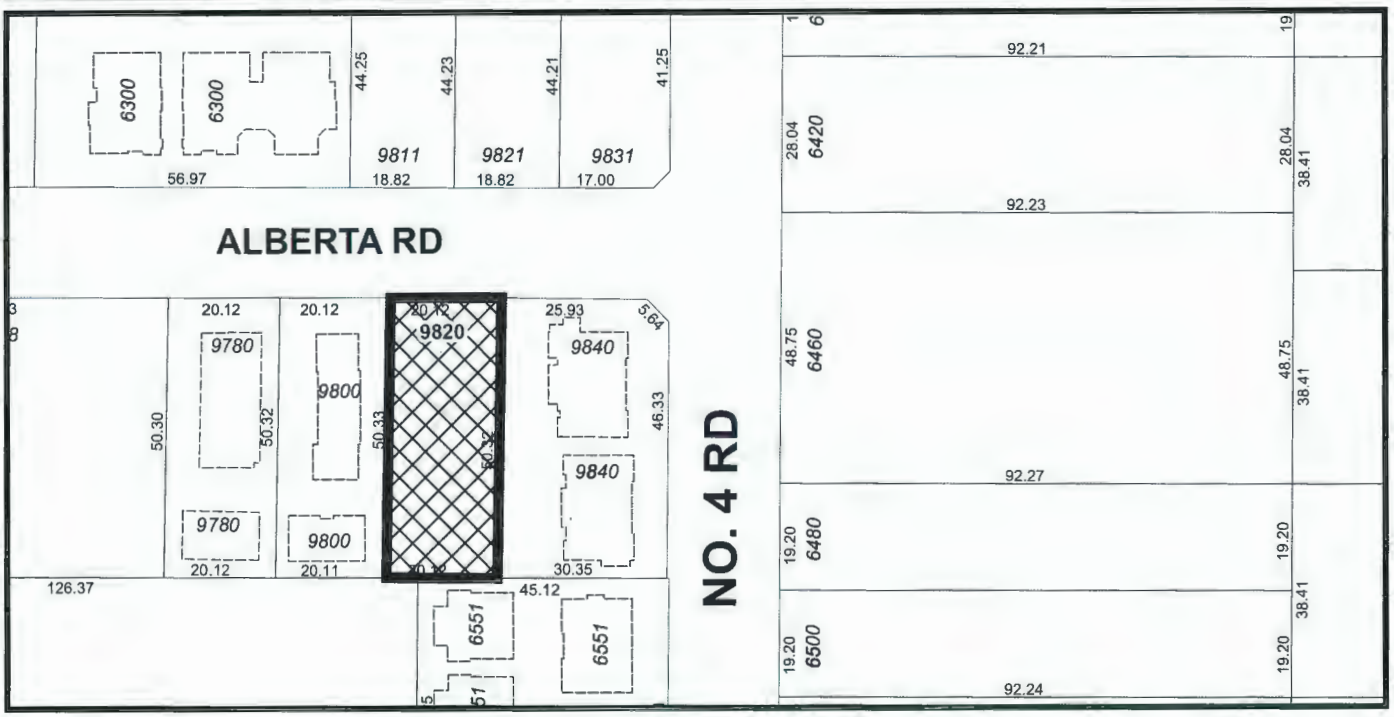
Prior to future Building Permit issuance, the developer is required to complete the following:

- Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- Incorporation of CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- A Servicing Agreement is not required. Removal of the existing driveway crossing and other frontage improvements including replacement of the street tree in front of the site, and service connections will be done through a work order at the developer's cost.

ATTACHMENT 1

City of Richmond





DP 19-858597

Original Date: 04/26/19

Revision Date:

Note: Dimensions are in METRES

City of Richmond

Development Application Data Sheet

Development Applications Department

DP 19-858597 **Attachment 2**

Address: 9820 Alberta Road

Applicant: 0855855 B.C. Ltd. Owner: 0855855 B.C. Ltd.

Planning Area(s): North McLennan (City Centre)

	Existing	Proposed
Site Area:	1,012 m^2	1,012 m^2
Land Uses:	Single Detached Dwelling	Townhouses
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/F)	Townhousing (ZT60)
Number of Units:	1	6

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65	none permitted
Lot Coverage:	Max. 40%	35%	none
Lot Size:	Min. 1,010 m^2	1,012 m^2	none
Setback – Front Yard:	Min. 6 m	6 m	none
Setback – Side Yard (East):	Min. 3 m	2.25 m	Variance required
Setback – Side Yard (West):	Min. 3 m	3.22 m	none
Setback – Rear Yard:	Min. 3 m	6.24 m	none
Height (m):	Max. 12 m and 3 storeys	11.85 m (3 storeys)	none
Off-street Parking Spaces – Regular/Commercial:	1.4 (R) and 0.2 (V) per unit	2 (R) per unit and 0.2 (V) per unit	none
Total off-street Spaces:	11	14	none
Tandem Parking Spaces	100% Permitted	100% 6 tandem (12 spaces)	none
Bicycle Parking	Class 1: 1.25 spaces/unit Class 2: 0.2 space/unit	Class 1: 2 spaces/unit Class 2: 0.2 space/unit	none
Amenity Space – Indoor:	Min. 50 m^2	Cash in lieu ($6,000)	none
Amenity Space – Outdoor:	Shared: Min. 36 m^2 Private: Min. 30 m^2/unit	Shared: Min. 67.5 m^2 Private: Min. 30 m^2/unit	none

City of Richmond

Development Permit

No. DP 19-858597

To the Holder:	0855855 BC LTD.
Property Address:	9820 ALBERTA ROAD
Address:	C/O 130 - 4471 NO. 6 ROAD RICHMOND, BC V6V 1P8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
   a) Reduce the minimum east side yard setback from 3.0 m to 2.25 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #15 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of $40,554.92 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 19-858597

To the Holder:	0855855 BC LTD.
Property Address:	9820 ALBERTA ROAD
Address:	C/O 130 - 4471 NO. 6 ROAD RICHMOND, BC V6V 1P8

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

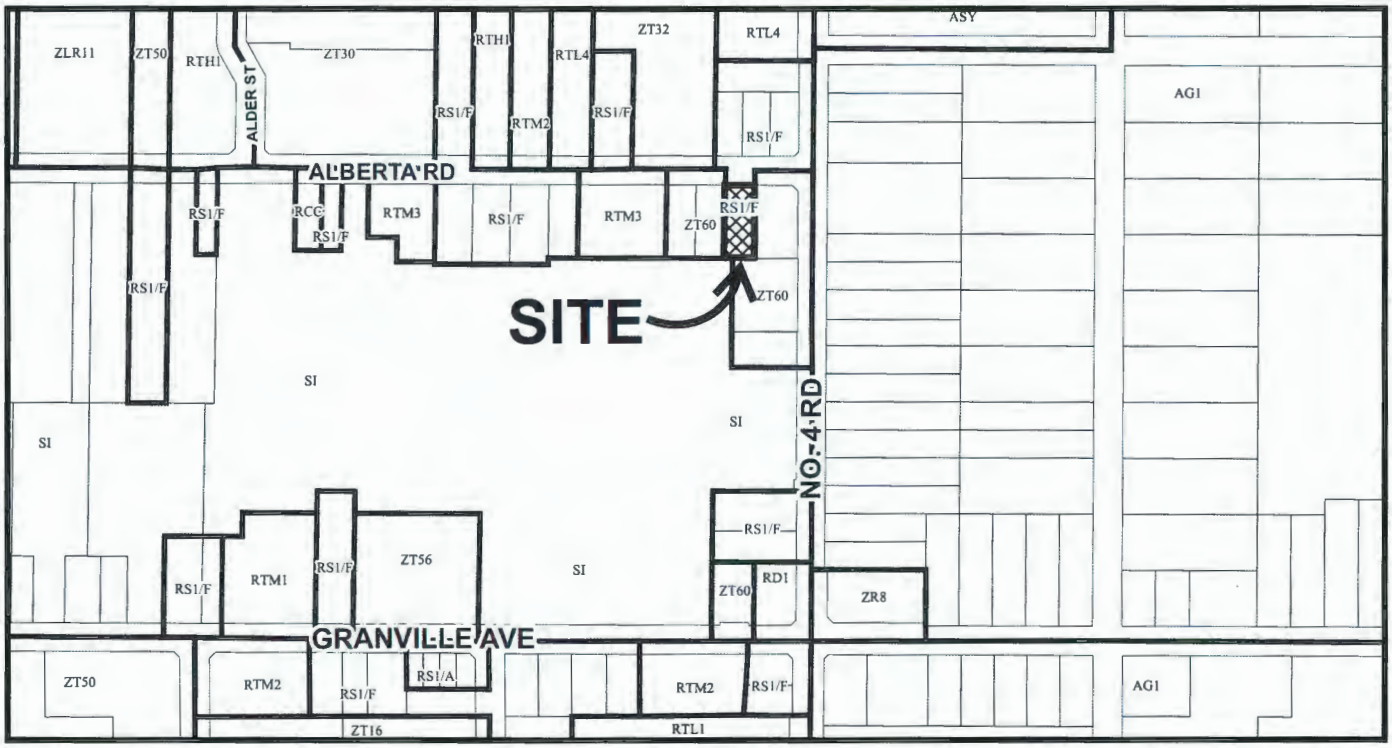
   This Permit is not a Building Permit.

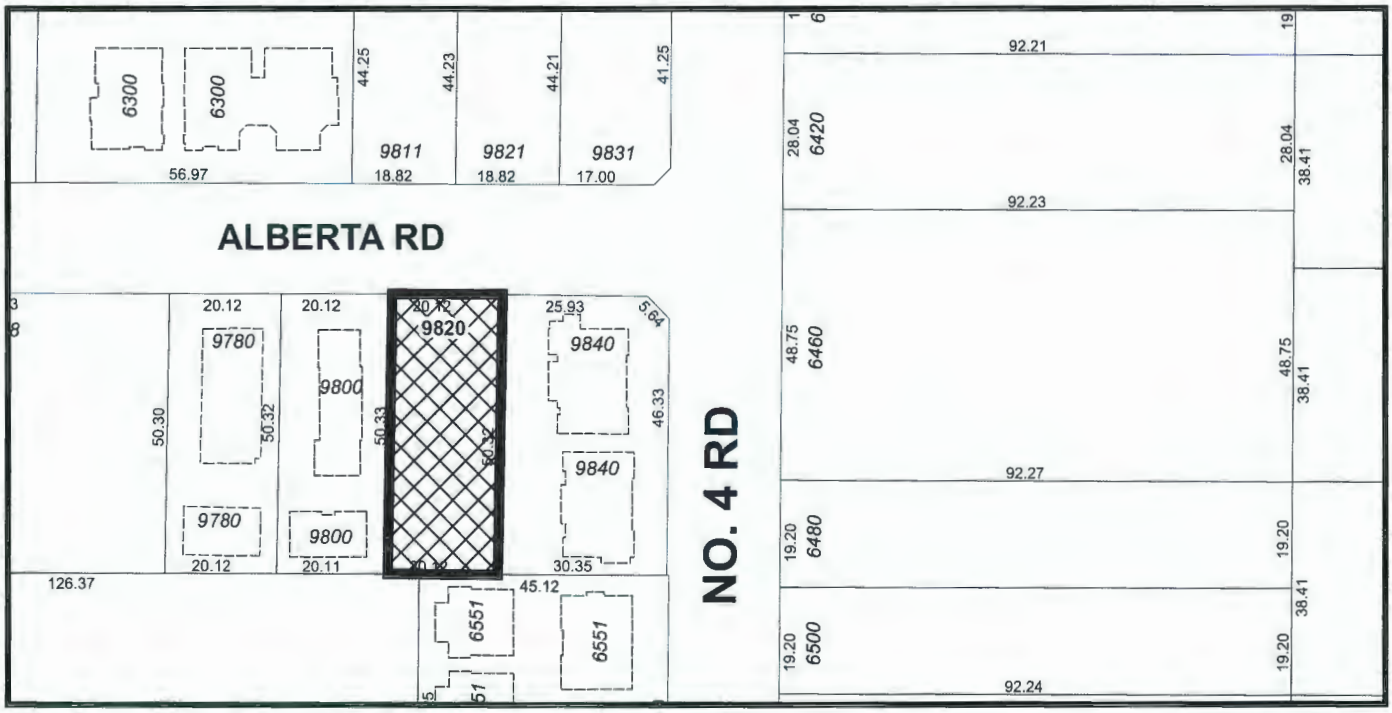
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

City of Richmond





DP 19-858597
SCHEDULE "A"

Original Date: 04/26/19

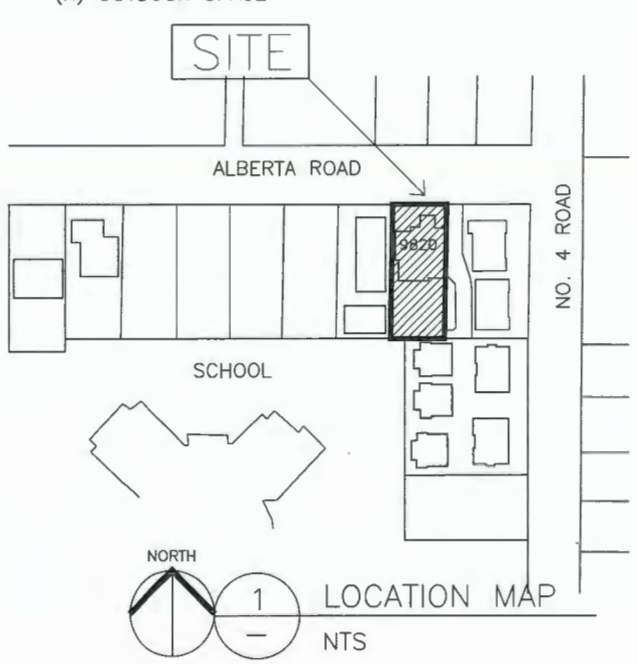
Revision Date:

Note: Dimensions are in METRES

PROPOSED TOWNHOUSE DEVELOPMENT AT 9820 ALBERTA ROAD, RICHMOND, BC

DEVELOPMENT DATA

(A) CIVIC ADDRESS:	9820 ALBERTA ROAD, RICHMOND, BC		
(B) LEGAL DESCRIPTION:	LOT 7, SECTION 10, BLOCK 4 NORTH, RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 1712		
(C) LOT AREA:	1,012 SM (10,893 SF)		
(D) ZONING USE	CURRENT: RS1/F, (PROPOSED: ZT60)		
	CURRENT ZONING (UNDER RS1/F ZONING)	PROPOSED REZONING (ZT60)	PROPOSED
(E) FLOOR AREA RATIO	0.55 TO 454.5 SM 0.3 TO REST OF SITE AREA	0.65 TOTAL FLOOR AREA 0.65 X1,012 SM = 657.8 SM (7,080 SF)	0.65 657.5 SM (7077 SF) FAR FLOOR AREA
(F) NUMBER OF UNIT:	1 PER LOT	6 UNITS	6 UNITS
(G) BUILDING COVERAGE:	MAX – 45%	MAX – 40% LIVE PLANT MIN – 25% NON–POROUS – 65%	35.5% (3864 SQ. FT.) 30.25% SEE LANDSCAPE DRAWINGS 65% SEE LANDSCAPE DRAWINGS
(H) BUILDING HEIGHT:	MAX HEIGHT – 9M	MAX MAIN BUILDING HEIGHT – 12M	BUILDING HEIGHT – 11.85M (38'11")
(I) SETBACK:	FRONTYARD – 6M SIDEYARD – 2M REARYARD – 6M	FRONTYARD FACING ALBERTA RD – 6M EAST AND WEST SIDEYARD – 3M REAR YARD – 3M	FRONT YARD FACING ALBERTA RD – 6.02M (19'9") EAST SIDE YARD – 2.25M (7'5") [VARIANCE REQUIRED] WEST SIDE YARD – 3.22M (10'7") REAR YARD – 6.24M (20'6")
(J) PARKING:	2 PER DWELLING UNIT	1.4 PER DWELLING UNITS X6 = 9 0.2 VISITOR PARKING / UNIT X6 = 2 TOTAL = 11 REQUIRED ZT60 ZONING ALLOW TANDEM PARKING	12 REGULAR IN TANDEM ARRANGEMENT VISITOR PARKING: 2 REGULAR
		VISITOR BICYCLE 0.2 PER DWELLING UNIT X6= 2 RESIDENTIAL BICYCLE STORAGE 1.25 PER DWELLING UNIT X6=8	BICYCLE VISITOR BIKE RACK 2 12 (INSIDE GARAGE)
(K) OUTDOOR SPACE		OUTDOOR AMENITY SPACE 6SM PER UNIT X6= 36 SM (388SF)	AMENITY SPACE PROVIDED: 67.3 SM (725 SQ. FT.)



DRAWING LIST

A1– DEVELOPMENT SUMMARY
A2– SITE PLAN (1/F)
A2A– PARKING PLAN
A3– SITE PLAN (2/F, 3/F & ROOF)
A4– UNIT PLANS
A5– UNIT PLANS
A6– ELEVATIONS
A7– ELEVATIONS
A8– AREA DIAGRAM
A9– FAR DIAGRAM
A10– EXTERIOR COLOURS
A11– EXTERIOR COLOURS
A12– SHADOW STUDIES

THIS PROJECT SHALL MEET STEP CODE AS REQUIRED BY THE CITY OF RICHMOND

ERIC LAW ARCHITECT

ericlaw.architect@gmail.com
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TEL: (604) 505-2099

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2	2020.03.23 FOR CITY REVIEW
3	2020.05.26 FOR CITY DP REVIEW
4	2020.06.01 FOR CITY DP REVIEW
2	2020.05.31 DIMENSIONS ADDED TO HEIGHT AND SEPARATION TO NEIGHBOUR BLDG
1	2020.05.11 REVISE HEIGHT AND ADD COLOUR

PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-

DEVELOPMENT SUMMARY

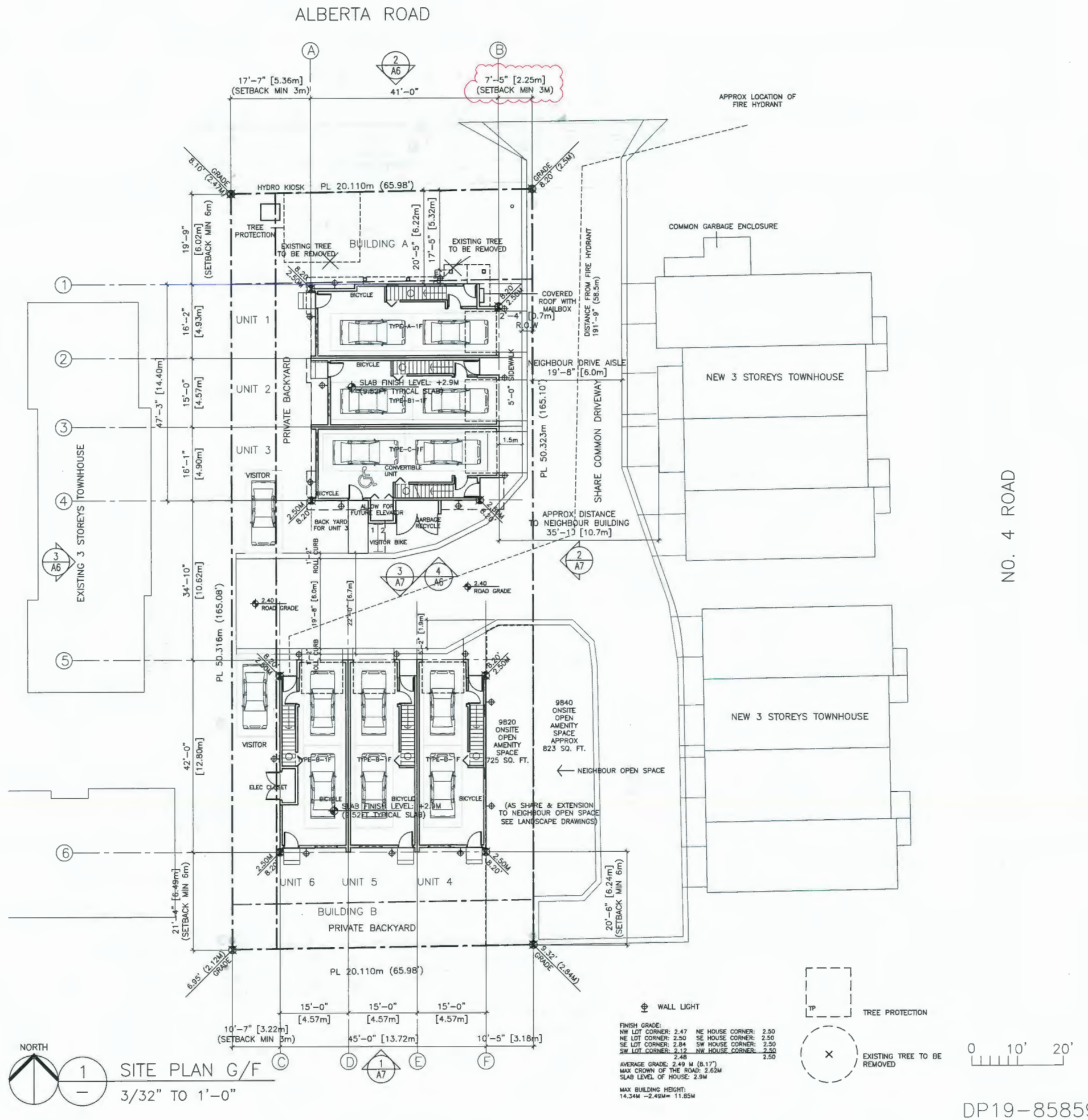
PROJECT NUMBER:	16–03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16–03_NAR_200601–DP.DWG

A1

PLAN # 1

DEVELOPMENT PERMIT

DP19–858597



FINISH GRADE:
NW LOT CORNER: 2.47 NE HOUSE CORNER: 2.50
NE LOT CORNER: 2.50 SE HOUSE CORNER: 2.50
SE LOT CORNER: 2.84 SW HOUSE CORNER: 2.50
SW LOT CORNER: 2.12 NW HOUSE CORNER: 2.50
2.48 2.50

AVERAGE GRADE: 2.49 M (8.17')
MAX CROWN OF THE ROAD: 2.62M
SLAB LEVEL OF HOUSE: 2.9M

MAX BUILDING HEIGHT:
14.34M -2.49M= 11.85M

DP19-858597

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PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-

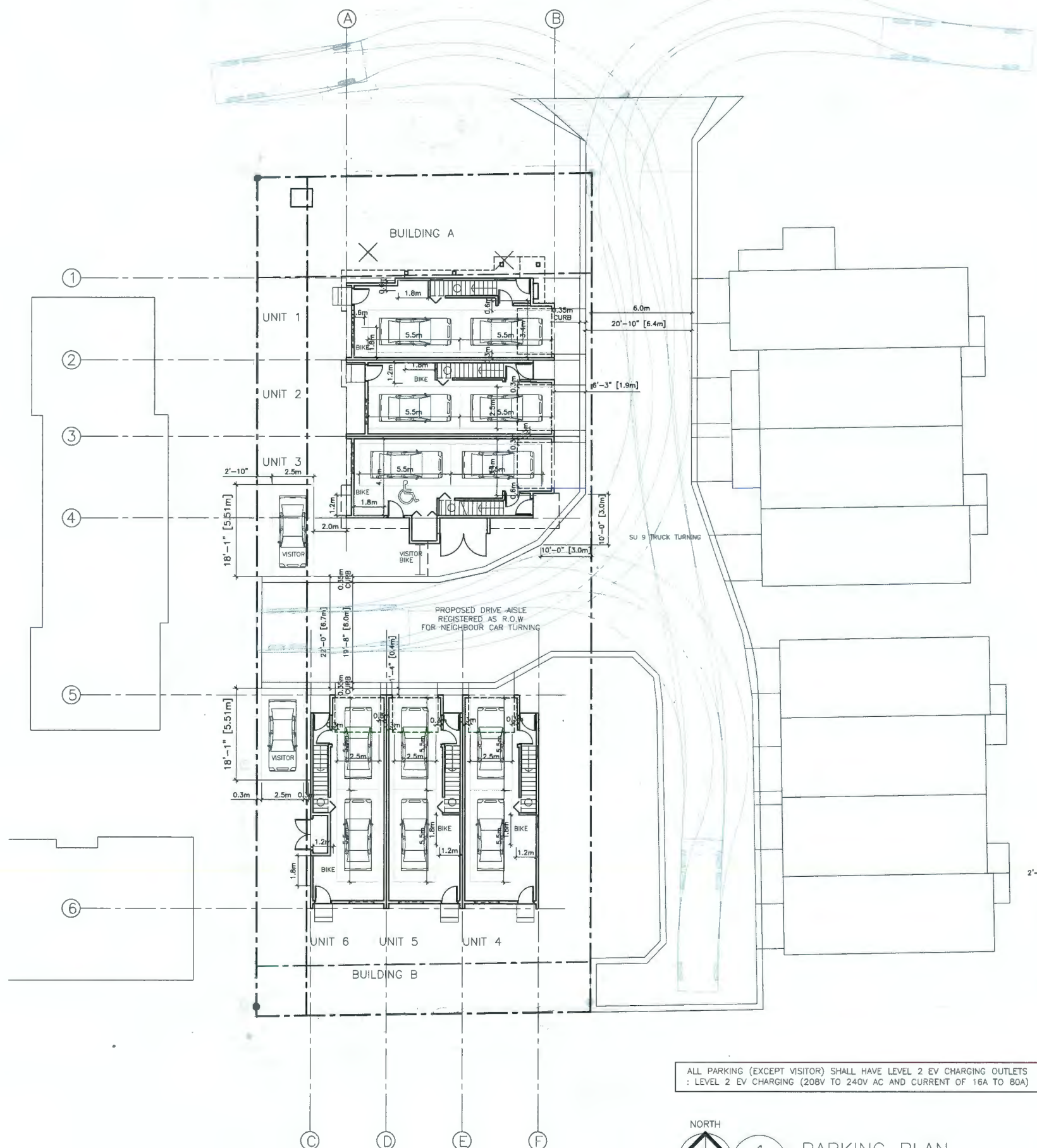
SITE PLAN G/F

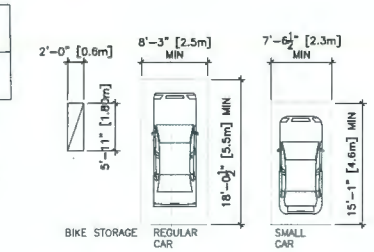
PROJECT NUMBER:	16-03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-03_NAR_200601-DP.DWG

A2

PLAN # 2

DEVELOPMENT PERMIT





ALL PARKING (EXCEPT VISITOR) SHALL HAVE LEVEL 2 EV CHARGING OUTLETS
: LEVEL 2 EV CHARGING (208V TO 240V AC AND CURRENT OF 16A TO 80A)

NORTH

1 — PARKING PLAN
3/32" TO 1'-0"

0 10' 20'

DP19-858597

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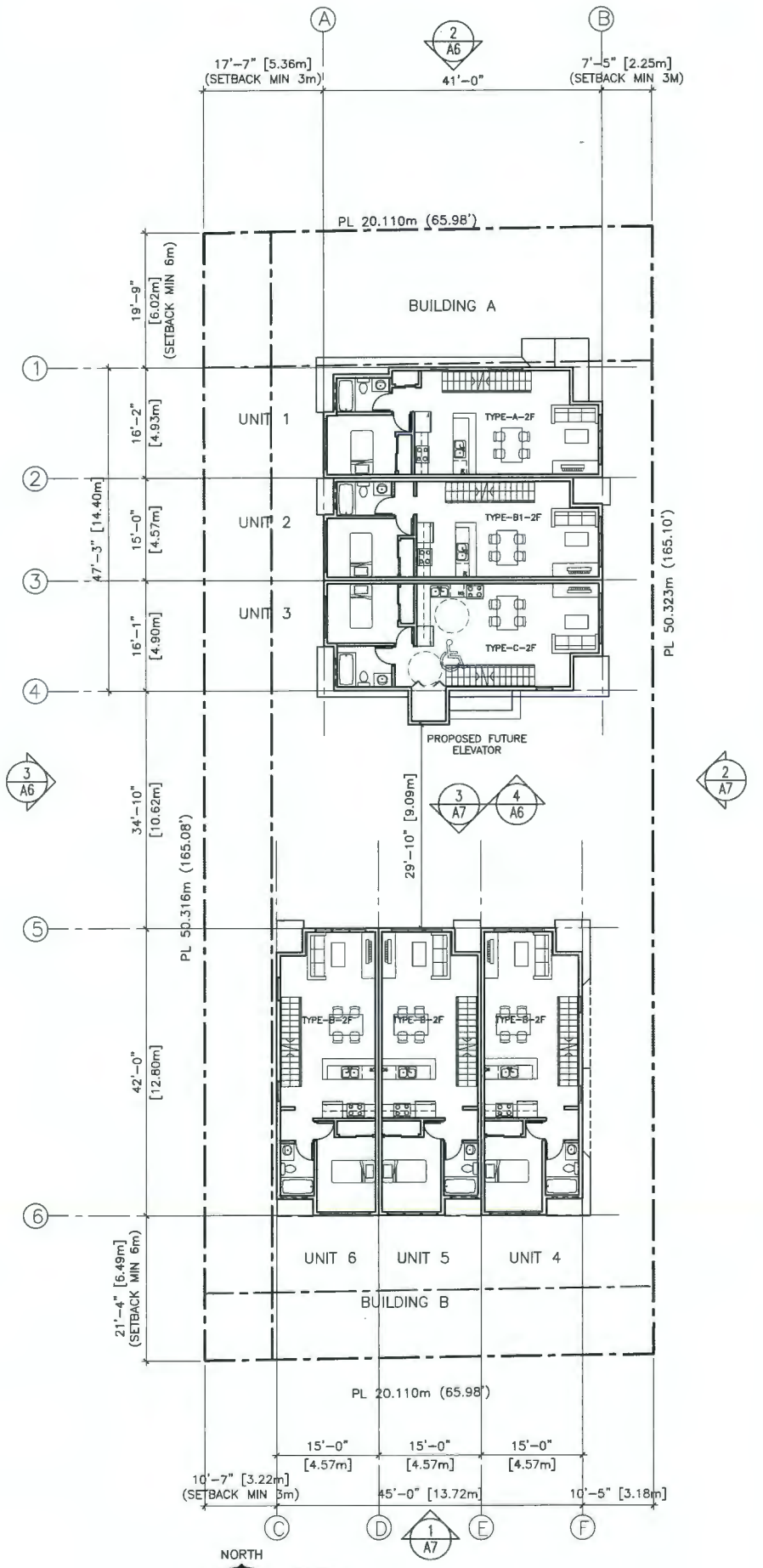
PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-
PARKING PLAN

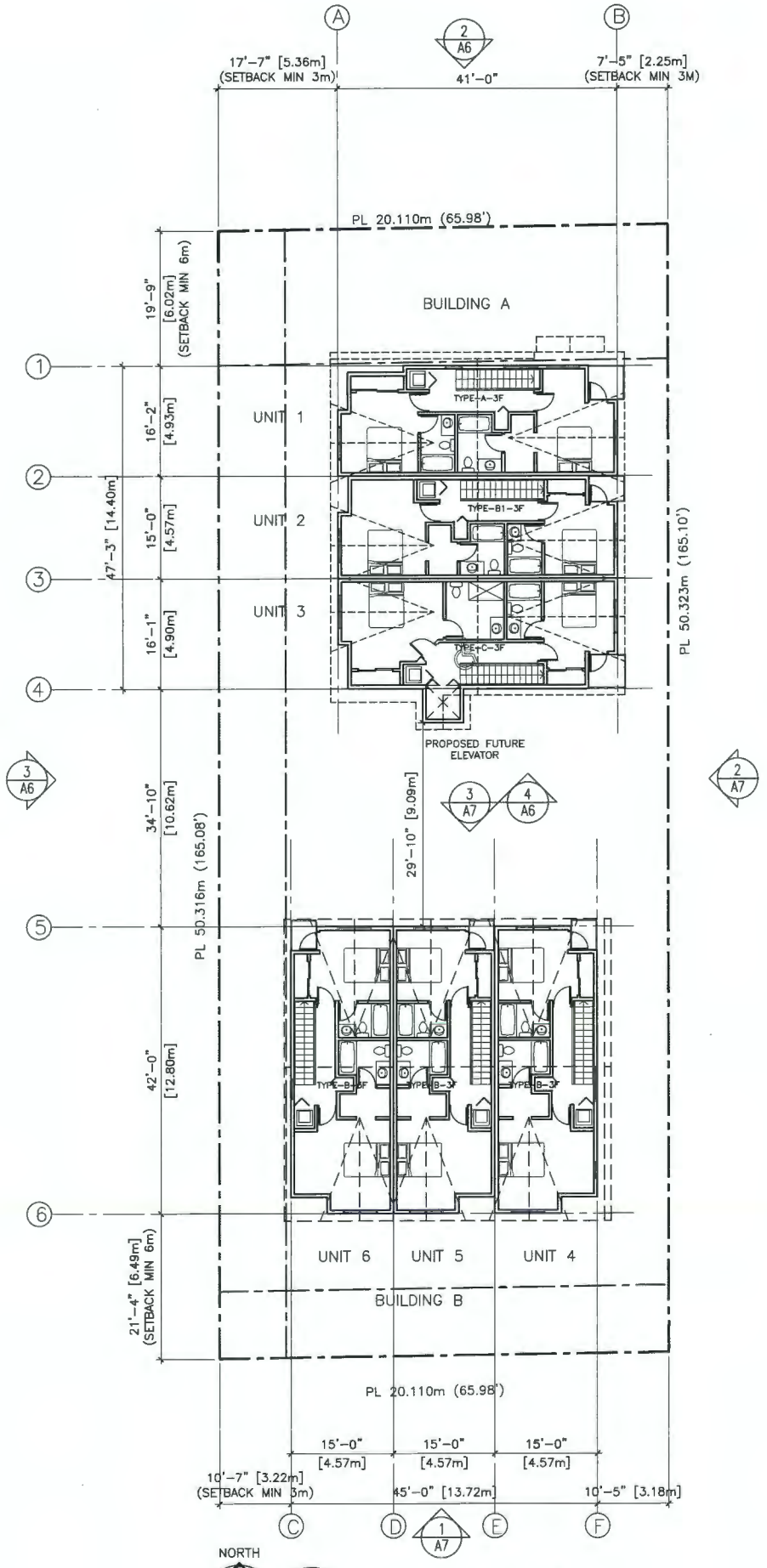
PROJECT NUMBER:	16-03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-03_NAR_200601-DP.DWG

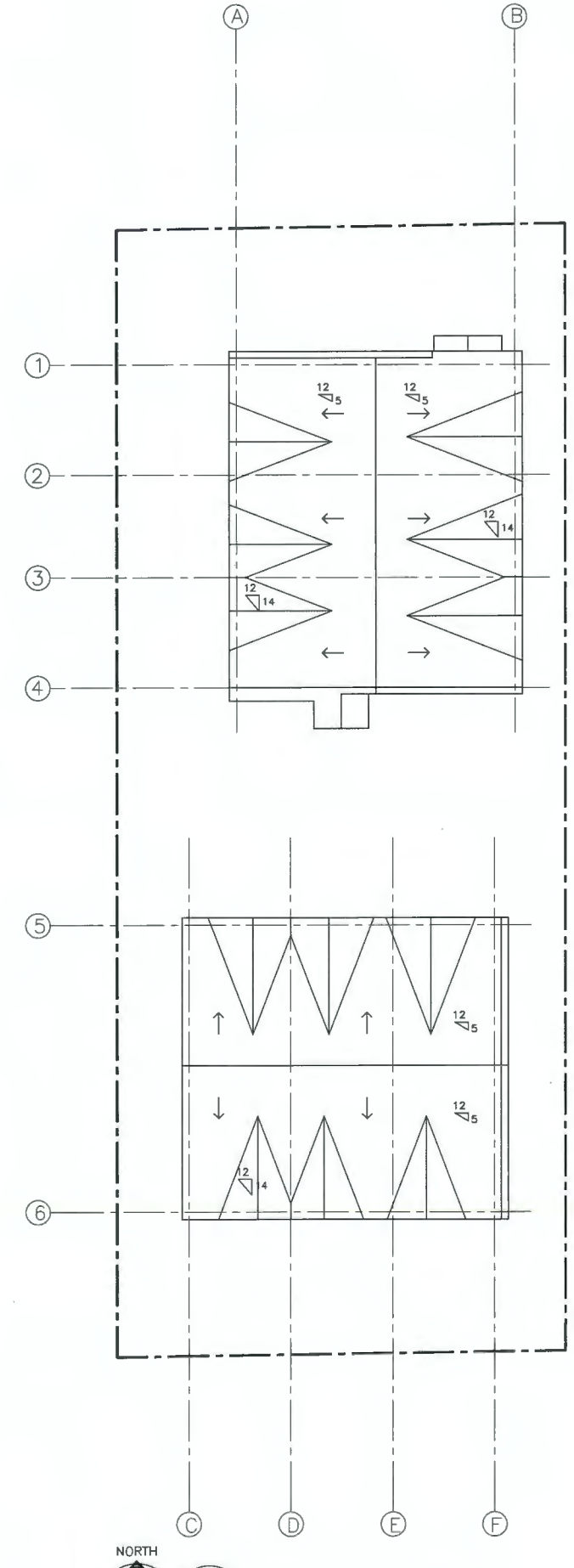
A2A

PLAN # 3

DEVELOPMENT PERMIT







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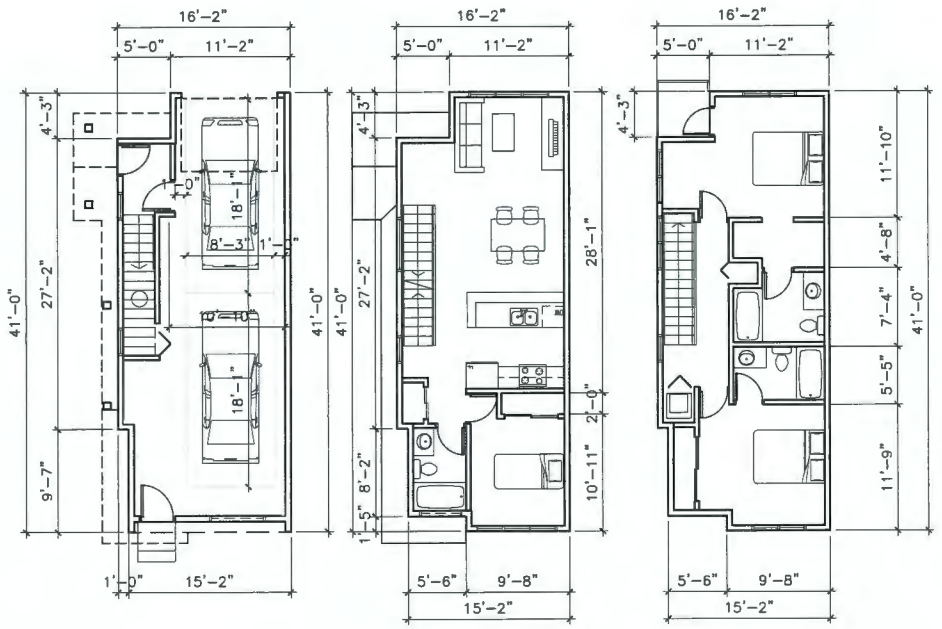
PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-
SITE PLAN (2/F & 3/F)

PROJECT NUMBER:	16-03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-03_NAR_200601-DP.DWG

A3
PLAN # 4
DEVELOPMENT PERMIT



1 LEVEL 1 — 1/8" TO 1'-0"

TYPE-A-1F

2 LEVEL 2 — 1/8" TO 1'-0"

TYPE-A-2F

3 LEVEL 3 — 1/8" TO 1'-0"

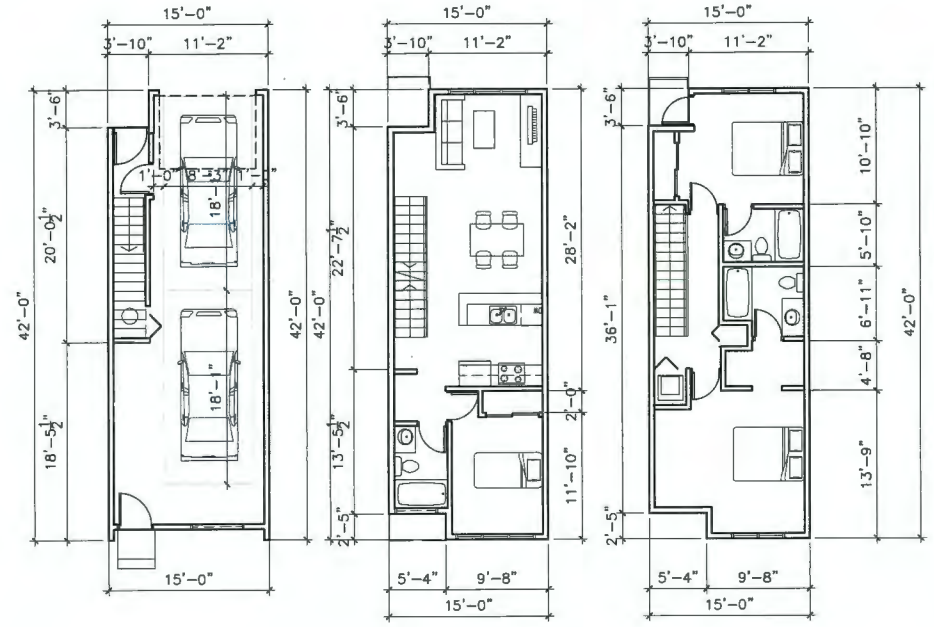
TYPE-A-3F

TYPE A UNIT PLAN

3 BEDROOM

TOTAL UNIT AREA: ±1317 SQ. FT.
INCLUDING STAIR AND G/F ENTRY

0 5' 10'



4 LEVEL 1 — 1/8" TO 1'-0"

TYPE-B-1F

5 LEVEL 2 — 1/8" TO 1'-0"

TYPE-B-2F

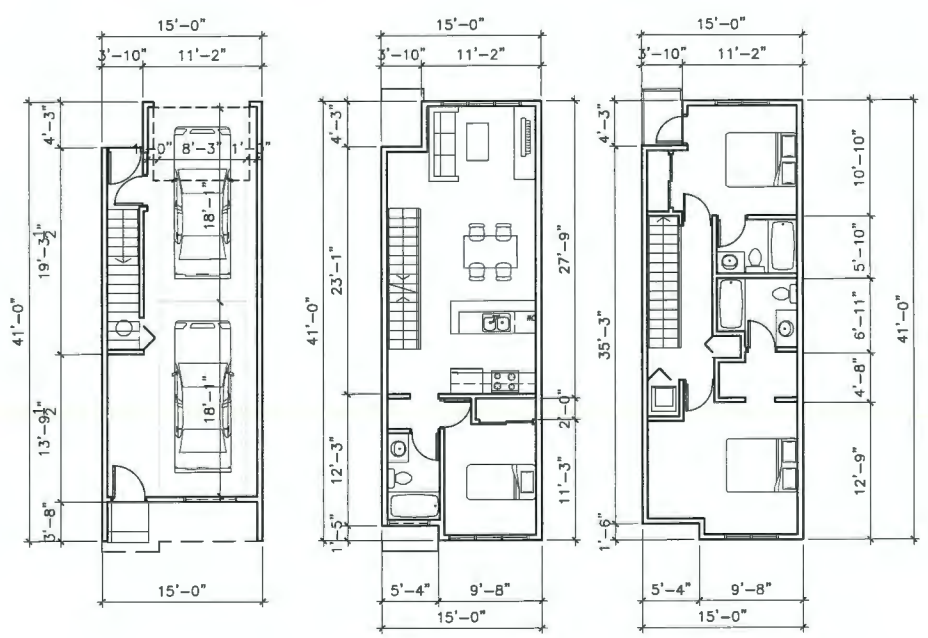
6 LEVEL 3 — 1/8" TO 1'-0"

TYPE-B-3F

TYPE B UNIT PLAN

3 BEDROOM

TOTAL UNIT AREA: ±1267 SQ. FT.
INCLUDING STAIR AND G/F ENTRY



7 LEVEL 1 — 1/8" TO 1'-0"

TYPE-B1-1F

8 LEVEL 2 — 1/8" TO 1'-0"

TYPE-B1-2F

9 LEVEL 3 — 1/8" TO 1'-0"

TYPE-B1-3F

TYPE B1 UNIT PLAN

TOTAL UNIT AREA: ±1242 SQ. FT.
INCLUDING STAIR AND G/F ENTRY

0 5' 10'

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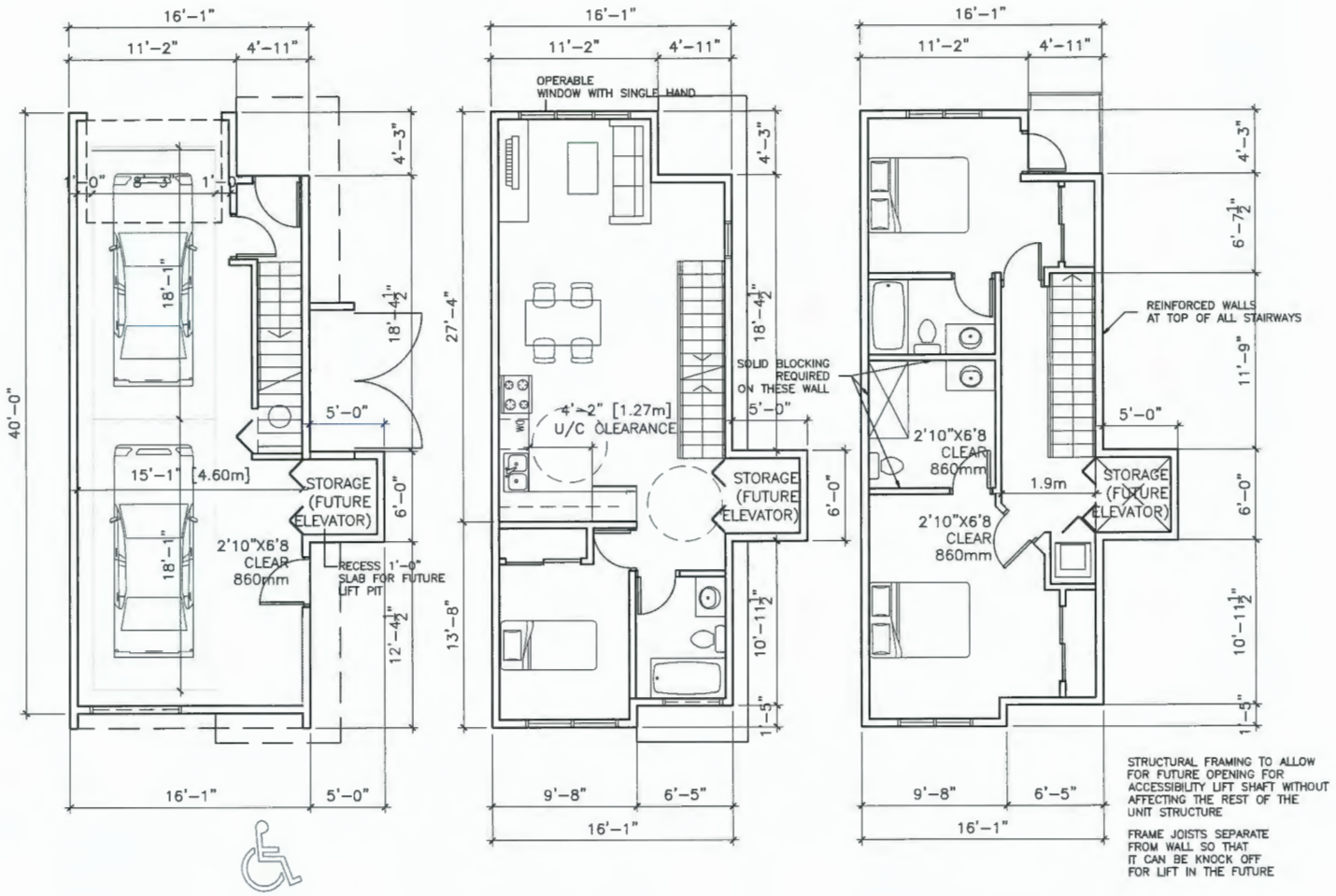
PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-
UNIT PLANS

PROJECT NUMBER:	16-03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-03_NAR_200601-DP.DWG

A4
PLAN # 5

DP19-858597

DEVELOPMENT PERMIT



1 LEVEL 1
1/8" TO 1'-0"

TYPE-C-1F

2 LEVEL 2
1/8" TO 1'-0"

TYPE-C-2F

3 LEVEL 3
1/8" TO 1'-0"

TYPE-C-3F

TYPE C UNIT PLAN

3 BEDROOM

TOTAL UNIT AREA: ±1383 SQ. FT.
INCLUDING STAIR AND G/F ENTRY

0 5' 10'

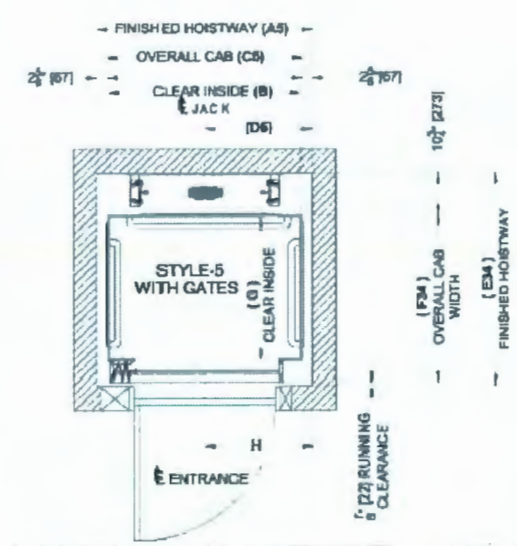
	CONVERTIBLE UNIT GUIDELINES
DOORS & DOORWAYS	– ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS. – ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER). – INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS. – PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. – – ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE. – LEVER–TYPE HANDLES FOR ALL DOORS.
VERTICAL CIRCULATION	– STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. OR VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE. – AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
HALLWAYS	– MIN. 900 MM WIDTH.
GARAGE	– MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH. – ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
BATHROOM (MIN. 1)	– TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT. – WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS. – LEVER–TYPE HANDLES FOR PLUMBING FIXTURES. – PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS. – CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
KITCHEN	– CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. – PLUMBING AND GAS PIPES (IN–WALL AND IN–FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. – – CABINETS UNDERNEATH SINK ARE EASILY REMOVED. – 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM. – LEVER–TYPE HANDLES FOR PLUMBING FIXTURES.
WINDOWS	– MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
OUTLETS & SWITCHES	– PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. – UPGRADE TO FOUR–PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE UNITS

(1) PROVIDE PRE–DUCTING TO ACCOMMODATE FUTURE SOLAR HOT WATER HEATING
(2) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS:
(a) STAIRWELL HANDRAILS
(b) LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES
(c) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS AND SHOWERS

TOWNHOUSE SHALL MEET CITY'S STEP CODE REQUIREMENTS

On / Off Same Side Front Configuration Style 5:



Cab Size	A5	B	C5	D5	E34	F34	G	H
36" x 48"	54 ¼"	48"	49"	27 ⅛"	53 ⅞"	42 ¼"	36"	27 ⅛"
36" x 54"	60 ¼"	54"	55"	30 ⅛"	53 ⅞"	42 ¼"	36"	30 ⅛"

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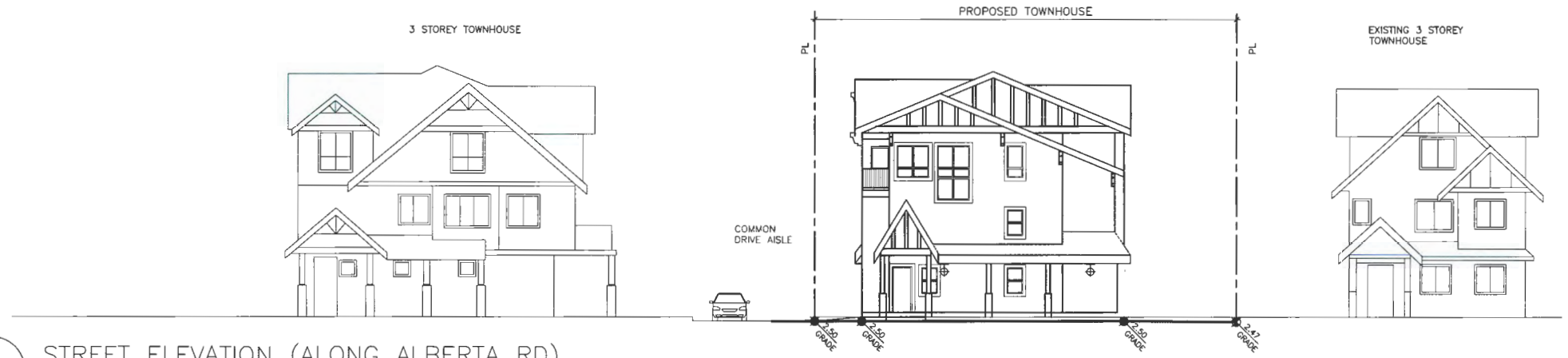
PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-
UNIT PLANS

PROJECT NUMBER: 16–03
ISSUED: 6/1/2020
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16–03_NAR_200601–DP.DWG

A5

PLAN # 6
DEVELOPMENT PERMIT

DP19–858597

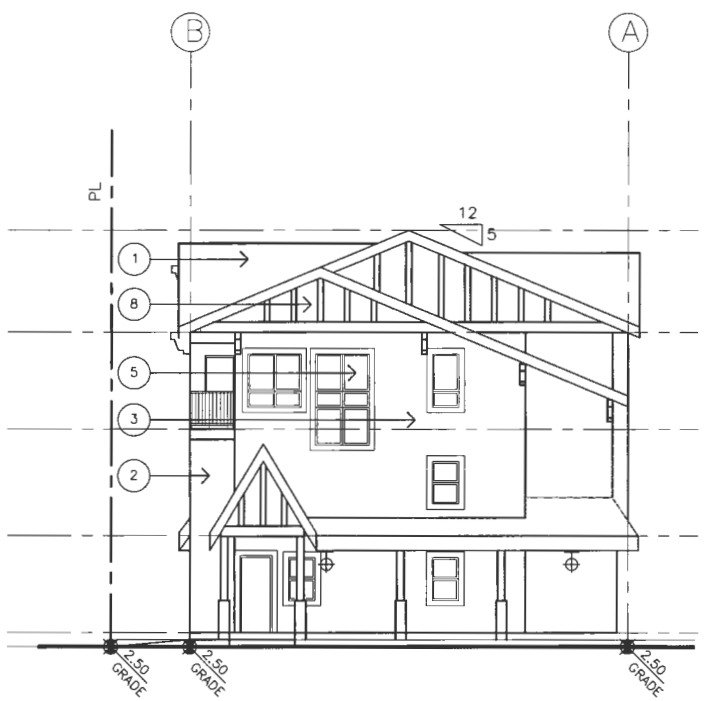


1 / A6 STREET ELEVATION (ALONG ALBERTA RD)
3/32" TO 1'-0"

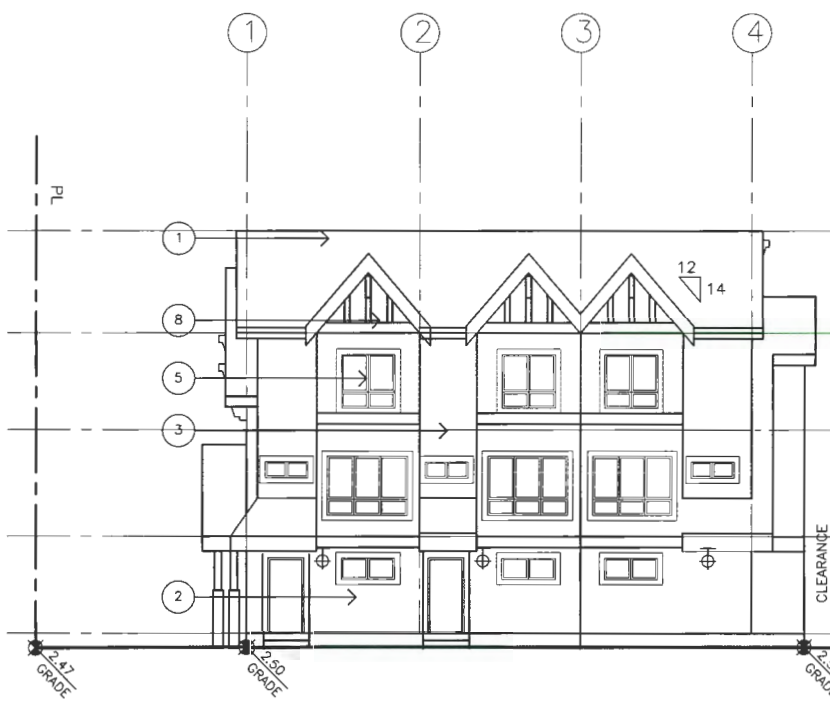
EXTERIOR FINISH LEGEND

1. BLACK ASPHALT SHINGLE ROOFING
2. HARDI SIDING (8") WITH WOOD 6" TRIMS
3. HARDI SIDING (6") WITH TRIM
4. HARDI PANEL WITH VERTICAL TRIM
5. VINYL WINDOW WITH 6" TRIM
6. ASPHALT SHINGLE ROOF WITH KNEE BRACKET
7. ALUMINUM PICKET HANDRAIL
8. WOOD TRIM
9. OVERHEAD GARAGE DOOR WITH LITE PANEL

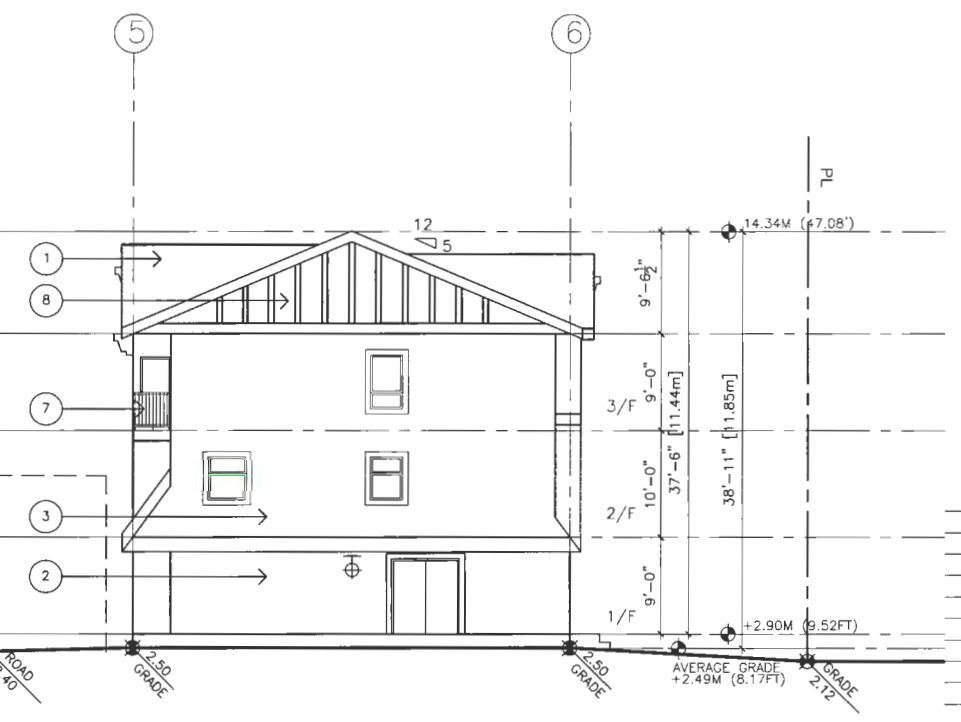
EXTERIOR LIGHT WITH LIGHT DIFFUSER



2 / A6 BLDG-A NORTH ELEV
1/8" TO 1'-0"



3 / A6 BLDG-A & B WEST ELEV
1/8" TO 1'-0"



FINISH GRADE:

NW LOT CORNER:	2.47	NE HOUSE CORNER:	2.50
NE LOT CORNER:	2.50	SE HOUSE CORNER:	2.50
SE LOT CORNER:	2.84	SW HOUSE CORNER:	2.50
SW LOT CORNER:	2.12	NW HOUSE CORNER:	2.50
	2.48		2.50

AVERAGE GRADE: 2.49 M (8.17')
MAX CROWN OF THE ROAD: 2.62M
SLAB LEVEL OF HOUSE: 2.9M

MAX BUILDING HEIGHT:
14.34M -2.49M= 11.85M

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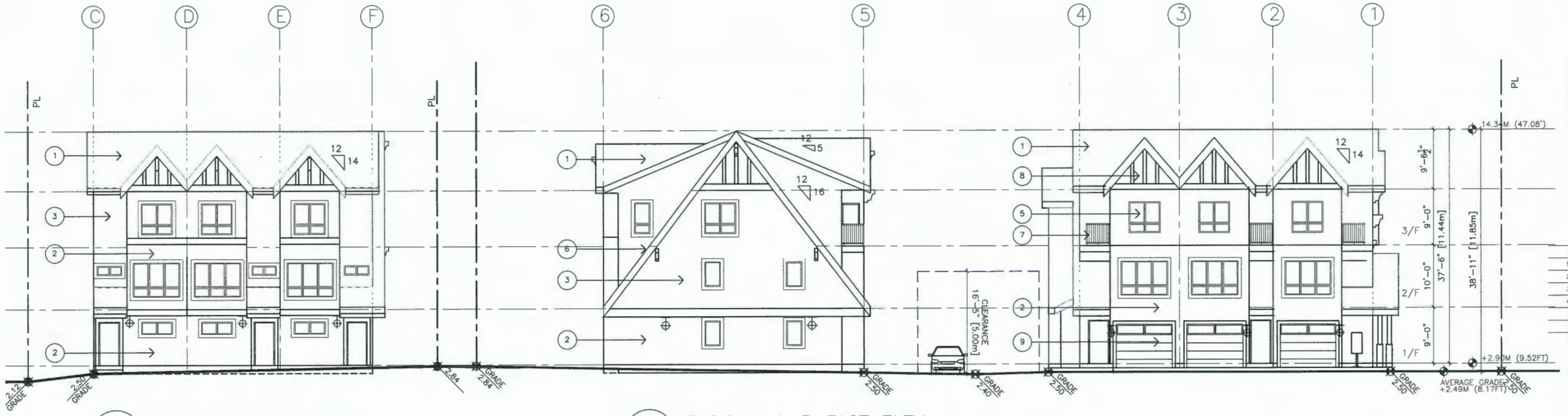
PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-
ELEVATIONS

PROJECT NUMBER:	16-03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-03_NAR_200601-DP.DWG

A6
PLAN # 7

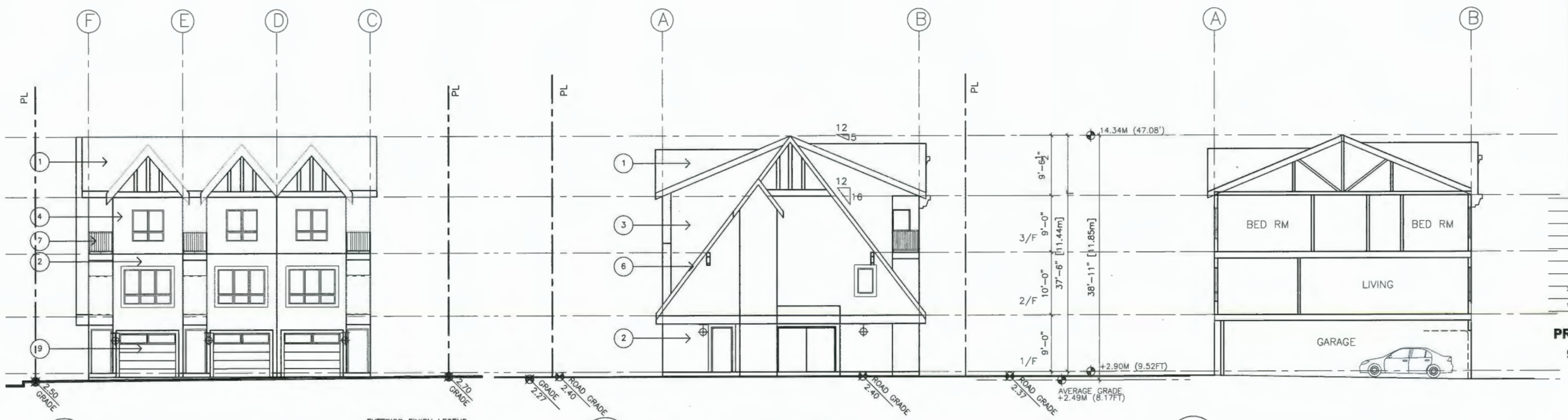
DP19-858597

DEVELOPMENT PERMIT



1 / A7 BLDG-B SOUTH ELEV
1/8" TO 1'-0"

2 / A7 BLDG-A & B EAST ELEV
1/8" TO 1'-0"



3 / A7 BLDG-B NORTH ELEV
1/8" TO 1'-0"

4 / A7 BLDG-A SOUTH. ELEV
1/8" TO 1'-0"

5 / A7 BLDG-SECTION
1/8" TO 1'-0"

EXTERIOR FINISH LEGEND

1. BLACK ASPHALT SHINGLE ROOFING
2. HARDI SIDING (8") WITH WOOD 6" TRIMS
3. HARDI SIDING (6") WITH TRIM
4. HARDI PANEL WITH VERTICAL TRIM
5. VINYL WINDOW WITH 6" TRIM
6. ASPHALT SHINGLE ROOF WITH KNEE BRACKET
7. ALUMINUM PICKET HANDRAIL
8. WOOD TRIM
9. OVERHEAD GARAGE DOOR WITH LITE PANEL

EXTERIOR LIGHT WITH LIGHT DIFFUSER

FINISH GRADE:

NW LOT CORNER:	2.47	NE HOUSE CORNER:	2.50
NE LOT CORNER:	2.50	SE HOUSE CORNER:	2.50
SE LOT CORNER:	2.84	SW HOUSE CORNER:	2.50
SW LOT CORNER:	2.12	NW HOUSE CORNER:	2.50
	2.48		2.50

AVERAGE GRADE: 2.49 M (8.17')
MAX CROWN OF THE ROAD: 2.62M
SLAB LEVEL OF HOUSE: 2.9M

MAX BUILDING HEIGHT:
14.34M -2.49M= 11.85M

DP19-858597

ERIC LAW ARCHITECT

ericlaw.architect@gmail.com
216 288 W8TH AVENUE VANCOUVER BC V5Y1N5

TEL: (604) 505-2099

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ISSUED

1. 2019.04.11 FOR DEVELOPMENT PERMIT APPLICATION
2. 2020.03.23 FOR CITY REVIEW
3. 2020.05.26 FOR CITY DP REVIEW
4. 2020.06.01 FOR CITY DP REVIEW

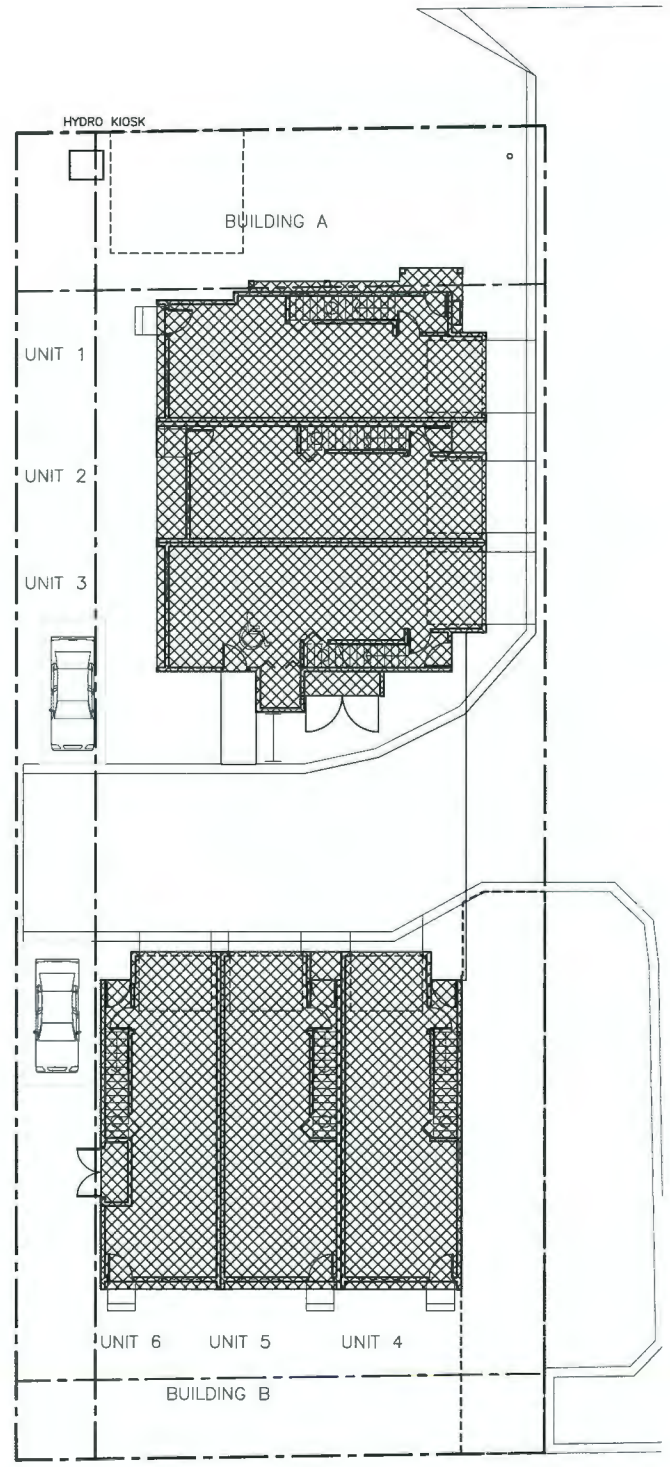
2. 2020.05.31 DIMENSIONS ADDED TO HEIGHT AND SEPARATION TO NEIGHBOUR BLDG
1. 2020.05.11 REVISE HEIGHT AND ADD COLOUR

PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-

ELEVATIONS

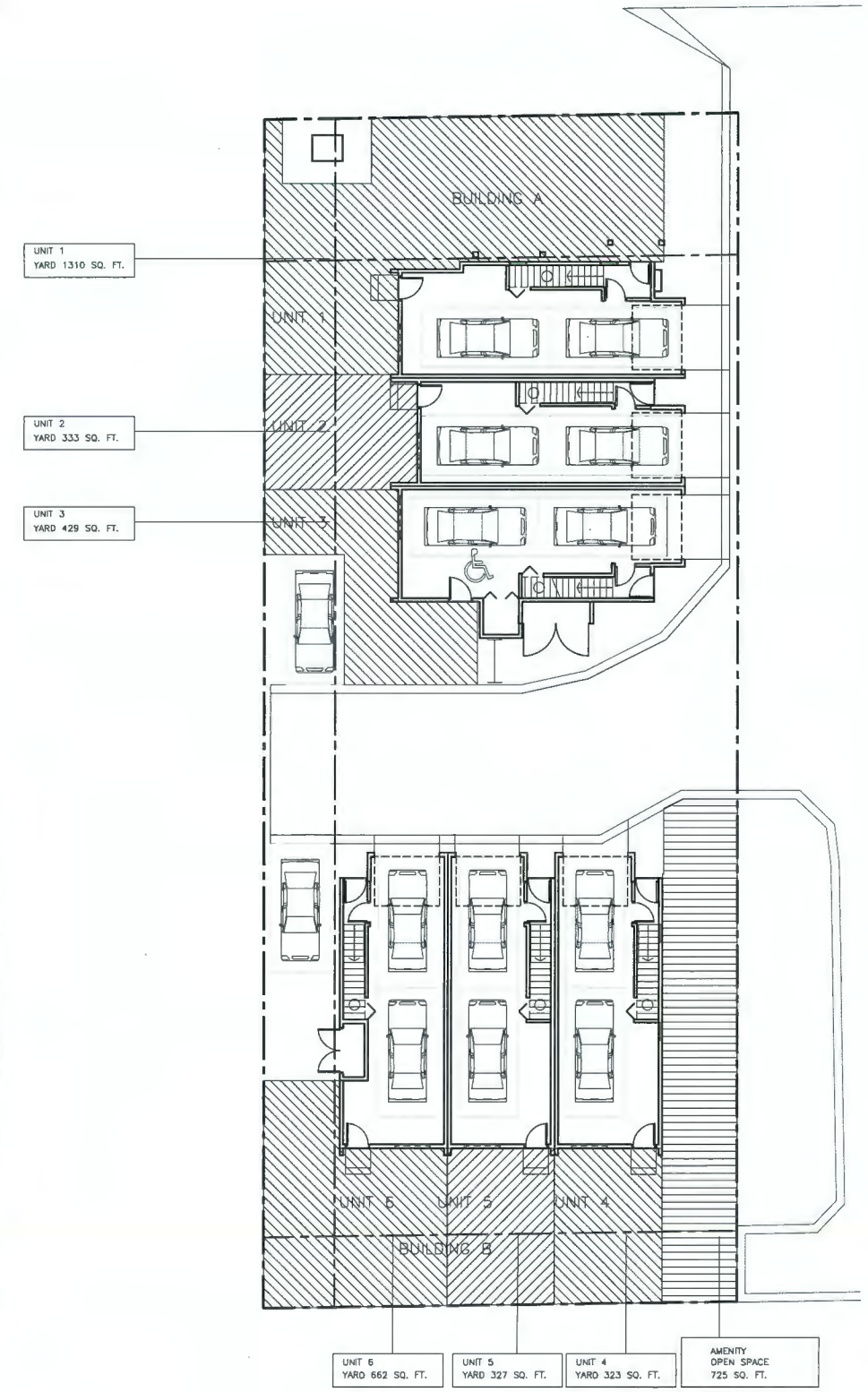
PROJECT NUMBER:	16-03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-03_NAR_200601-DP.DWG

A7
PLAN # 8
DEVELOPMENT PERMIT



1 — SITE COVERAGE
3/32" TO 1'-0"

SITE COVERAGE AREA 3864 SQ. FT.



2 — OPEN SPACE DIAGRAM
3/32" TO 1'-0"

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V5Y1N5

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1	2020.05.11 REVISE HEIGHT AND ADD COLOUR

PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-
AREA DIAGRAM

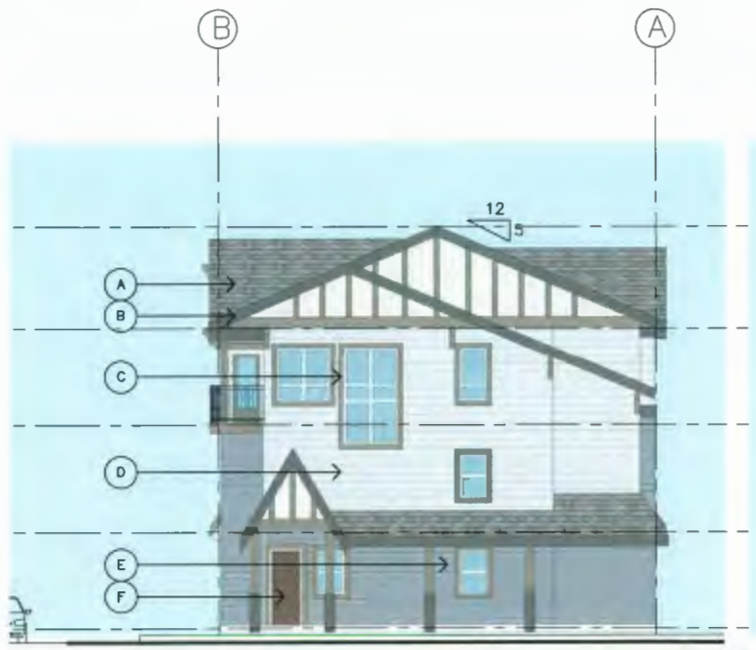
PROJECT NUMBER:	16-03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-03_NAR_200601-DP.DWG

A8

PLAN #9

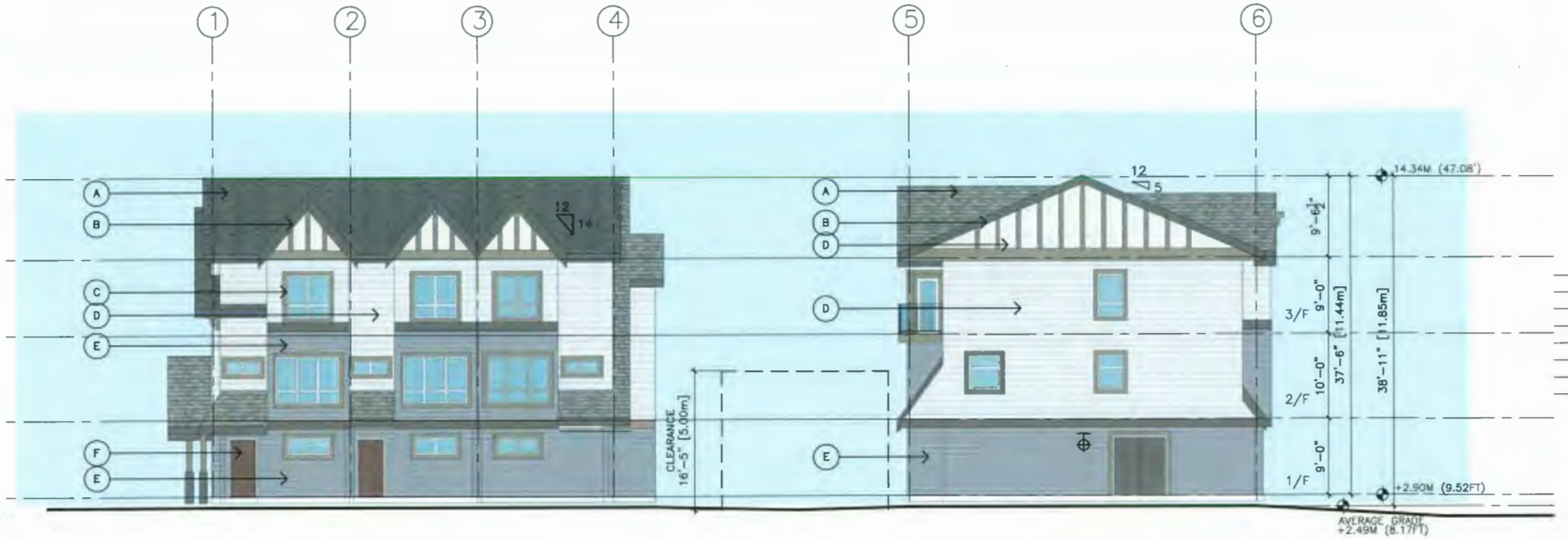
DEVELOPMENT PERMIT

DP19-858597



2
A6

ALSO REFER TO
BLDG–A NORTH ELEV
1/8" TO 1'–0"



3
A6

ALSO REFER TO
BLDG–A & B WEST ELEV
1/8" TO 1'–0"

COLOUR LEGEND

- (A) → ROOF ASPHALT ROOF SHINGLE CHARCOAL
- (B) → FASCIA BOARD, BRACKET MATCH BENJAMIN MOORE CC–542 WILLOW
- (C) → BOARD AND BATTEN TRIM AND DOOR AND WINDOW TRIM MATCH BENJAMIN MOORE HC–85 FAIRVIEW TAUPE
- (D) → HARDI SIDING AND PANEL MATCH BENJAMIN MOORE HC–172 REVERE PEWTER
- (E) → HARDI SIDING MATCH BENJAMIN MOORE HC–104 COPLEY GRAY
- (F) → ENTRY DOOR MATCH BENJAMIN MOORE 2113–10 CHOCOLATE SUNDAE
- (G) → GARAGE DOOR MATCH BENJAMIN MOORE 2113–10 CHOCOLATE SUNDAE

ERIC LAW ARCHITECT

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V5Y1N5

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1	2020.05.11 REVISE HEIGHT AND ADD COLOUR

PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-

EXTERIOR COLOURS

PROJECT NUMBER:	16–03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16–03_NAR_200601–DP.DWG

A10

PLAN # 10

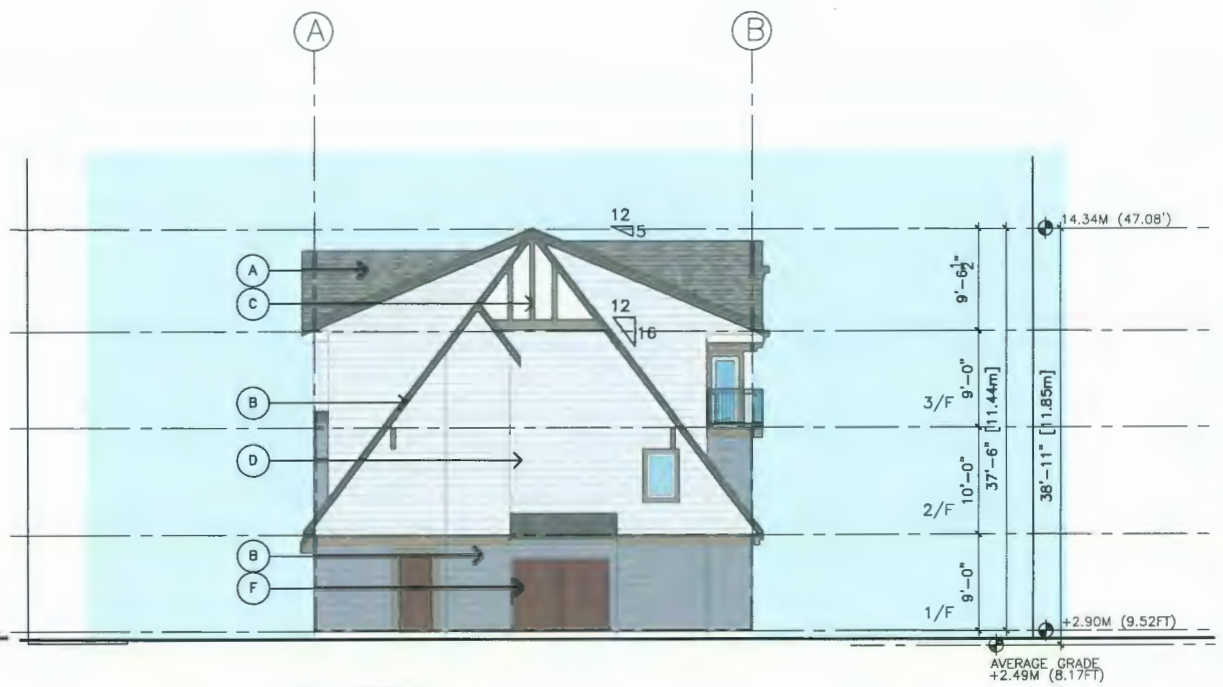
DEVELOPMENT PERMIT

DP19–858597

1 / A7 ALSO REFER TO BLDG–B SOUTH ELEV
1/8" TO 1'–0"

2 / A7 ALSO REFER TO BLDG–A & B EAST ELEV
1/8" TO 1'–0"

3 / A7 ALSO REFER TO BLDG–B NORTH ELEV
1/8" TO 1'–0"



4 / A7 ALSO REFER TO BLDG–A SOUTH. ELEV
1/8" TO 1'–0"

COLOUR LEGEND

- A → ROOF ASPHALT ROOF SHINGLE CHARCOAL
- B → FASCIA BOARD, BRACKET MATCH BENJAMIN MOORE CC–542 WILLOW
- C → BOARD AND BATTEN TRIM AND DOOR AND WINDOW TRIM MATCH BENJAMIN MOORE HC–85 FAIRVIEW TAUPE
- D → HARDI SIDING AND PANEL MATCH BENJAMIN MOORE HC–172 REVERE PEWTER
- E → HARDI SIDING MATCH BENJAMIN MOORE HC–104 COPLEY GRAY
- F → ENTRY DOOR MATCH BENJAMIN MOORE 2113–10 CHOCOLATE SUNDAE
- G → GARAGE DOOR MATCH BENJAMIN MOORE 2113–10 CHOCOLATE SUNDAE

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TEL: (604) 505–2099

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PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-

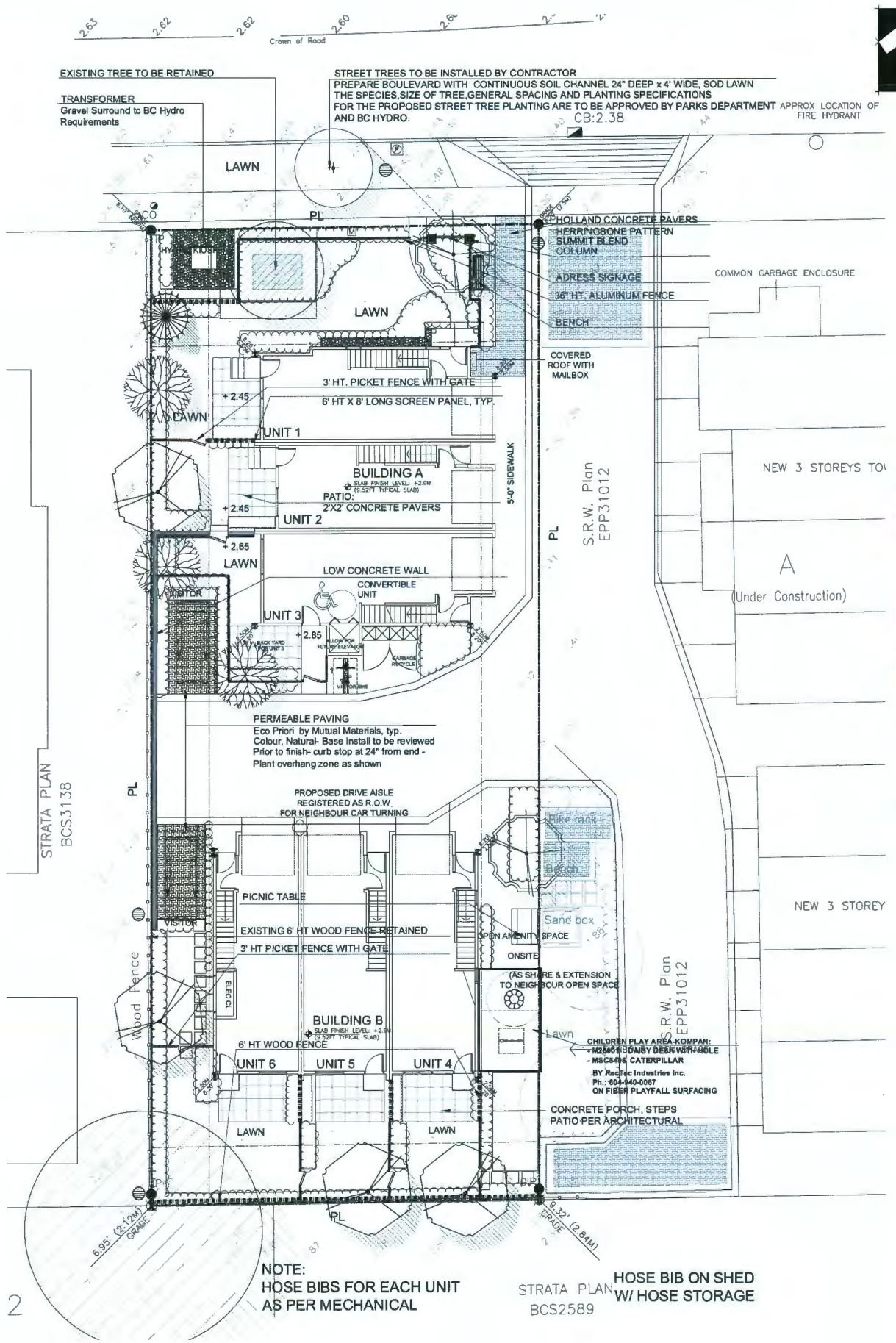
EXTERIOR COLOURS

PROJECT NUMBER:	16–03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16–03_NAR_200601–DP.DWG

A11
PLAN # 11

DEVELOPMENT PERMIT

DP19–858597



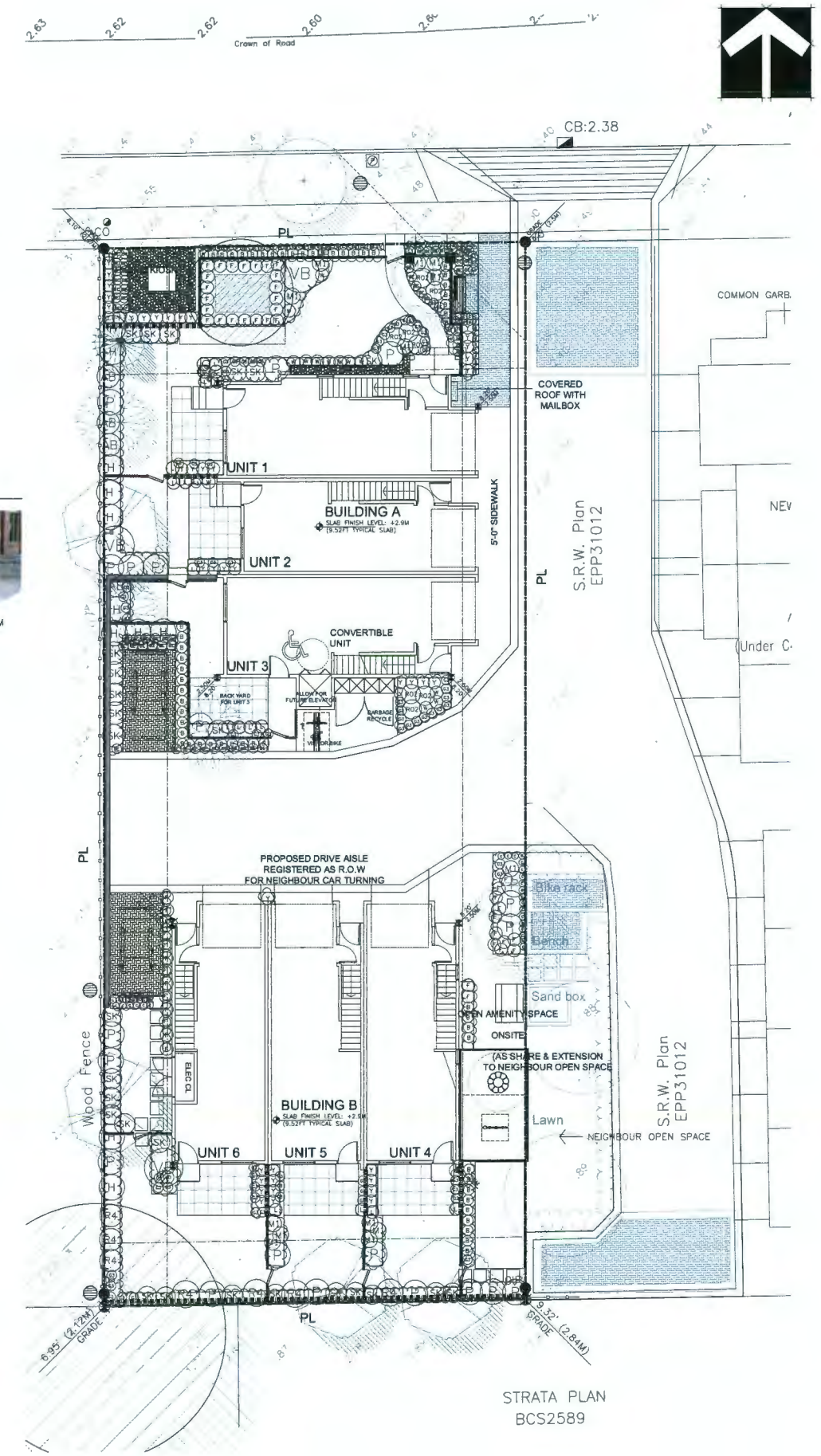
LANDSCAPE PLAN

FURNITURE :

BIKE RACK
by Wishbone, TENAJ Model No
TJBR-34, in Metallic Silver

BENCH
by Wishbone, URBAN FORM
Frame Silver, Slats Grey

PICNIC TABLE
by Wishbone, Rutherford Model No
RPT-6; Redwood Slats;Silver Aluminum Frame
on flush concrete pad as per manufacturers specifications.



SHRUB PLAN

DP19-858597 PLAN # 12 16204-5.ZIP

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pmg LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
4	18.APR.01	NEW SITE PLAN	DD
3	18.DEC.18	CITY REQUEST	DD
2	18.NOV.26	NEW SITE PLAN& ARBORIST REPORT	DD
1	17.APR.27	NEW SITE PLAN/ CITY COMMENTS	DD

CLIENT: RICHMOND REAL ESTATE

PROJECT:

6 UNIT TOWNHOUSE DEVELOPMENT

9820 ALBERTA ROAD
RICHMOND, BC

WITH: ERIC LAW ARCHITECT INC.

DRAWING TITLE:

LANDSCAPE PLAN

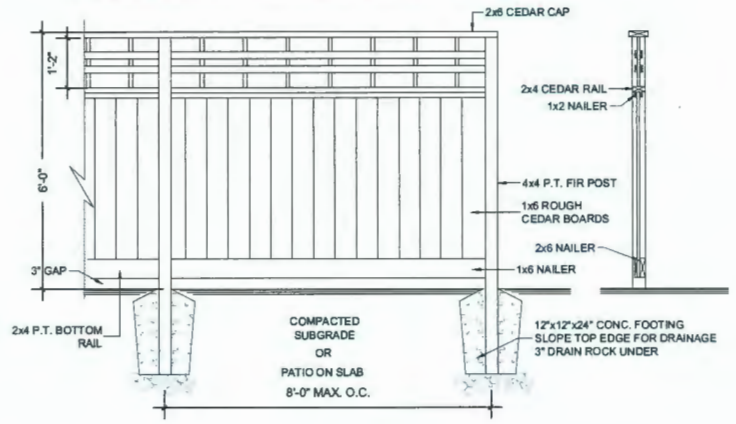
DATE: October 25, 2018
SCALE: 3/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHK'D: PCM

DRAWING NUMBER: **L1** OF 5

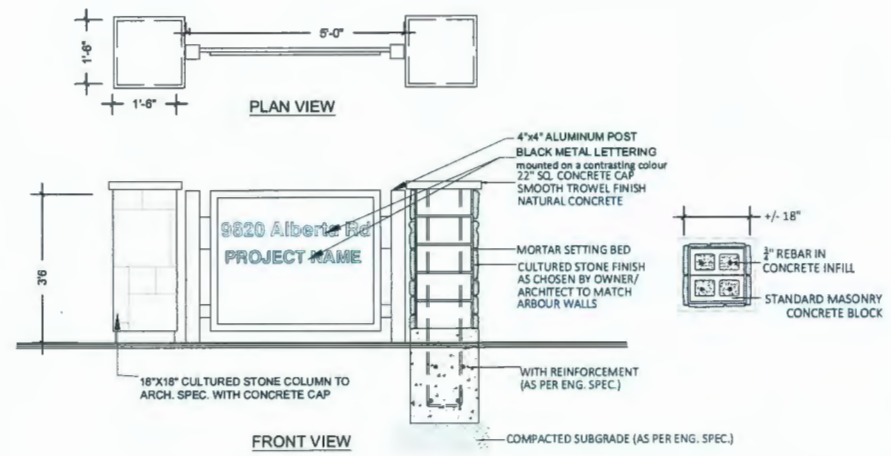
PMG PROJECT NUMBER: 16-204

NOTES:

1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVITIVE.
2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".
6. All dark brown to match the craftsman brown of the Heritage House and New House shingles.



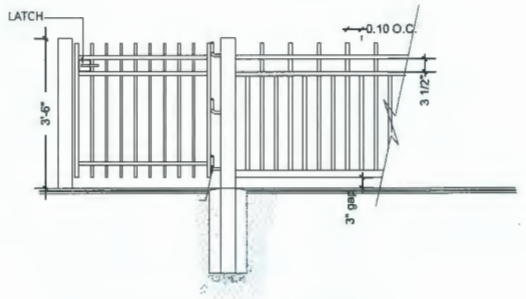
1/1-1 6'-0" HT WOOD FENCE WITH LATTICE 1/2" = 1'-0"



1/1-1 ENTRANCE SIGN 1/2" = 1'-0"

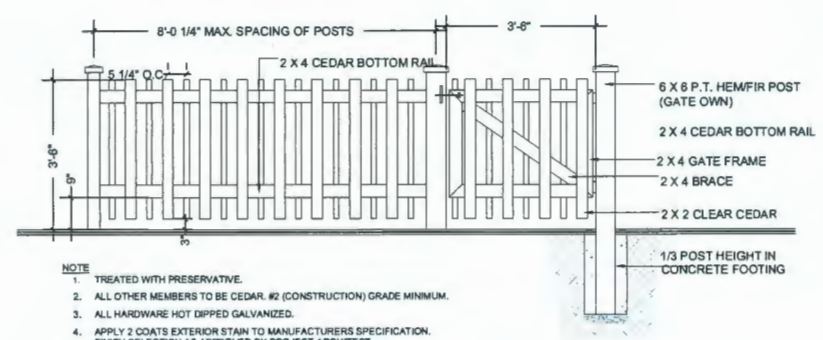
NOTES:

1. METAL MATERIAL: ALUMINUM TO BE POWDER COATED BLACK, TWO COATS.
2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
3. GATE HARDWARD TO BE CHOSEN BY OWNER. INSTALL PER MANUFACURER'S INSTRUCTIONS.
4. ALUMINUM FENCE TO BE POWDERCOATED SEM-GLOSS BLACK



1. REFER TO PLAN FOR GATE DIMENSIONS AND LAYOUT

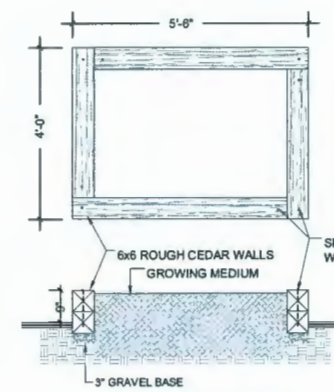
1/1-1 36" HT. ALUMINUM FENCE WITH COLUMN 1/2" = 1'-0"



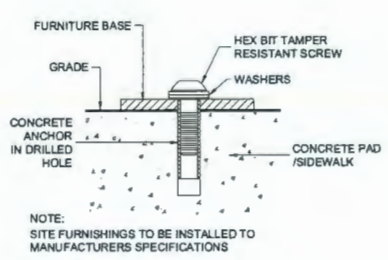
NOTE

1. TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE HOT DIPPED GALVANIZED.
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".

1/1-1 36" HT. PICKET FENCE WITH GATE 1/2" = 1'-0"



1/1-1 GARDEN PLOT 1/2" = 1'-0"



NOTE:
SITE FURNISHINGS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

1/1-1 SITE FURNITURE MOUNTING NIS

PLANT SCHEDULE

PMG PROJECT NUMBER: 16204

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
	4	ACER PALMATUM	JAPANESE MAPLE	6CM CAL; B&B
	3	MAGNOLIA KOBUS STELLATA 'PINK STAR'	PINK STAR MAGNOLIA (LIGHT PINK)	2M HT; B&B
	1	PICEA OMORIKA 'BRUNS'	BRUNS SERBIAN SPRUCE	3.5M HT; B&B
	2	STYRAX JAPONICUS 'ROSEA'	PINK FLOWERED JAPANESE SNOWBELL	6CM CAL; 1.2M STD; B&B
			EXISTING TREE	
SHRUB				
	4	ABELIA 'EDWARD GOUCHER'	PINK ABELIA	#2 POT; 30CM
	63	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT; 25CM
	11	HYDRANGEA M. 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA	#3 POT; 80CM
	21	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT; 50CM
	7	RHODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHODODENDRON	#3 POT; 50CM
	8	ROSA 'SCARLET MEIDILAND'	SCARLET MEIDILAND ROSE	#2 POT; 40CM
	27	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT; 30CM
	45	TAXUS X MEDIA 'HICKSII'	HICK'S YEW	1M +POT
	3	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	#3 POT; 50 CM
	15	WEIGELA FLORIDA 'NANA VARIEGATA'	DWARF VARIEGATED WEIGELA	#2 POT; 30CM
GRASS				
	93	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT
	13	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
	75	PENNISETUM ALOPECUROIDES 'HAMLIN'	DWARF FOUNTAIN GRASS	#1 POT
PERENNIAL				
	57	BERGENIA CORDIFOLIA	HEARTLEAF BERGENIA; ROSE PINK	15 CM POT
	18	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT
OR				
	48	POLYSTICHUM MUNITUM	WESTERN SWORD FERN*	#1 POT; 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

PLANT SCHEDULE- Street tree

PMG PROJECT NUMBER: 16-204

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE				
	1	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	6CM CAL; 1.8M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

DP 19-858597 PLAN # 13

16204-6.ZIP

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
5	20.JUN.01	REVISION AS PER CITY REQUEST	DD
4	18.APR.01	NEW SITE PLAN	DD
3	18.DEC.18	CITY REQUEST	DD
2	18.NOV.26	NEW SITE PLAN& ARBORIST REPORT	DD
1	17.APR.27	NEW SITE PLAN/ CITY COMMENTS	DD

CLIENT: RICHMOND REAL ESTATE

PROJECT:

6 UNIT TOWNHOUSE DEVELOPMENT

9820 ALBERTA ROAD RICHMOND, BC

WITH: ERIC LAW ARCHITECT INC.

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: October 25, 2018

DRAWING NUMBER:

SCALE:

DRAWN: DD

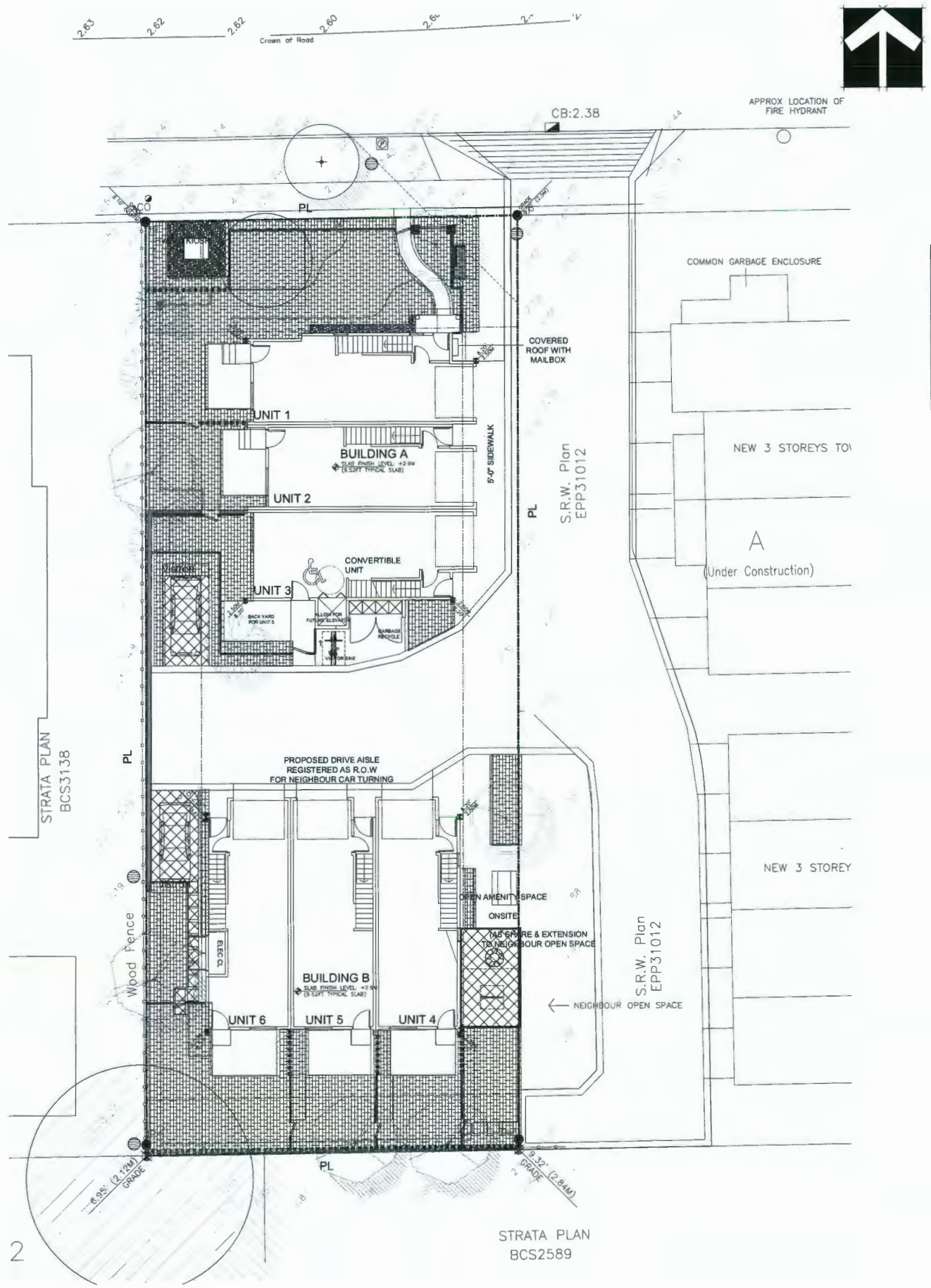
DESIGN: DD

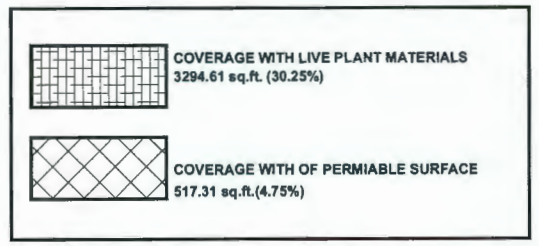
CHK'D: PCM

L2

OF 5

PMG PROJECT NUMBER: **16-204**





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p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
4	18.APR.01	NEW SITE PLAN	DD
3	18.DEC.18	CITY REQUEST	DD
2	18.NOV.26	NEW SITE PLAN& ARBORIST REPORT	DD
1	17.APR.27	NEW SITE PLAN/ CITY COMMENTS	DD

CLIENT: RICHMOND REAL ESTATE

PROJECT:

6 UNIT TOWNHOUSE DEVELOPMENT

9820 ALBERTA ROAD RICHMOND, BC

WITH: ERIC LAW ARCHITECT INC.

DRAWING TITLE:

LOT COVERAGE PLAN

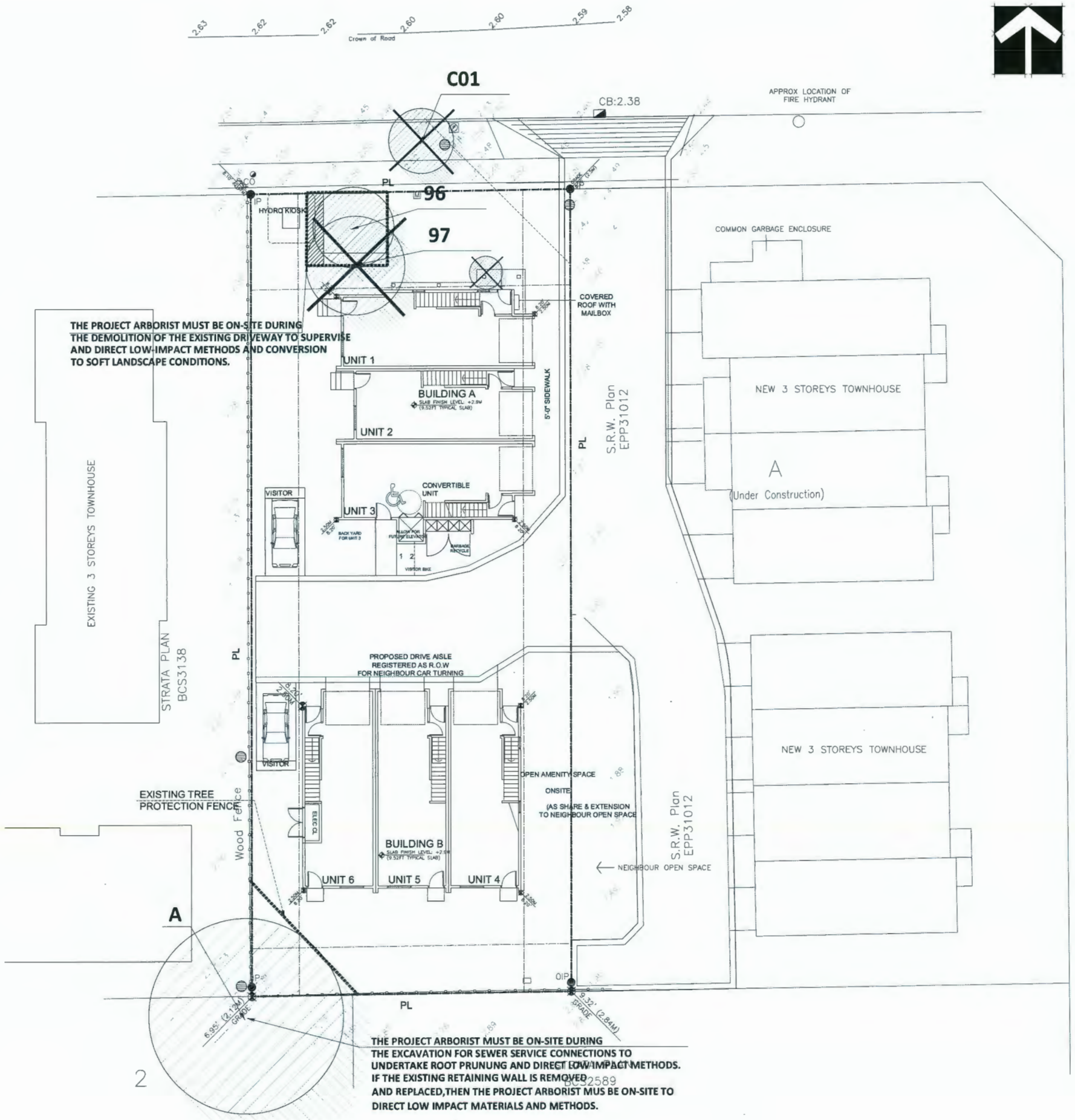
DATE: October 25, 2016
SCALE: 3/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHK'D: PCM

DRAWING NUMBER: **L3** OF 5

PMG PROJECT NUMBER: 16-204

DP19-858597 PLAN # 14

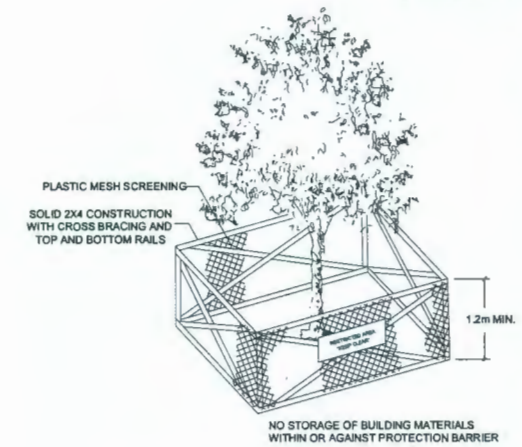
16204-5.ZIP



THE PROJECT ARBORIST MUST BE ON-SITE DURING THE DEMOLITION OF THE EXISTING DRIVEWAY TO SUPERVISE AND DIRECT LOW-IMPACT METHODS AND CONVERSION TO SOFT LANDSCAPE CONDITIONS.

THE PROJECT ARBORIST MUST BE ON-SITE DURING THE EXCAVATION FOR SEWER SERVICE CONNECTIONS TO UNDERTAKE ROOT PRUNUNG AND DIRECT LOW IMPACT METHODS. IF THE EXISTING RETAINING WALL IS REMOVED AND REPLACED,THEN THE PROJECT ARBORIST MUS BE ON-SITE TO DIRECT LOW IMPACT MATERIALS AND METHODS.

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSATIVE AREAS



1A L-3 TREE PROTECTION BARRIER

TREE PROTECTION DISTANCE TABLE

TRUNK DIAMETRE in cm. @ dbh.*	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	5.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM dbh.
*(DIAMETRE AT BREAST HEIGHT OR 1.4M FROM G

TREES PROTECTED BY SPECIES

ARBUTUS
GARRY OAK
PACIFIC DOGWOOD
PACIFIC YEW
WESTERN WHITE PINE
GRAND FIR
COAST REDWOOD
DAWN REDWOOD
GIANT SEQUOIA
GINKGO
MONKEY PUZZLE TREE

TREE TO REMOVE

TREE TO RETAIN

TREE PROTECTION FENCE

DP19-858597 PLAN # 15

16204-5.ZIP

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Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
4	18.APR.01	NEW SITE PLAN	DD
3	18.DEC.18	CITY REQUEST	DD
2	18.NOV.26	NEW SITE PLAN& ARBORIST REPORT	DD
1	17.APR.27	NEW SITE PLAN/ CITY COMMENTS	DD

CLIENT: RICHMOND REAL ESTATE

PROJECT:

6 UNIT TOWNHOUSE DEVELOPMENT

9820 ALBERTA ROAD
RICHMOND, BC

WITH: ERIC LAW ARCHITECT INC.

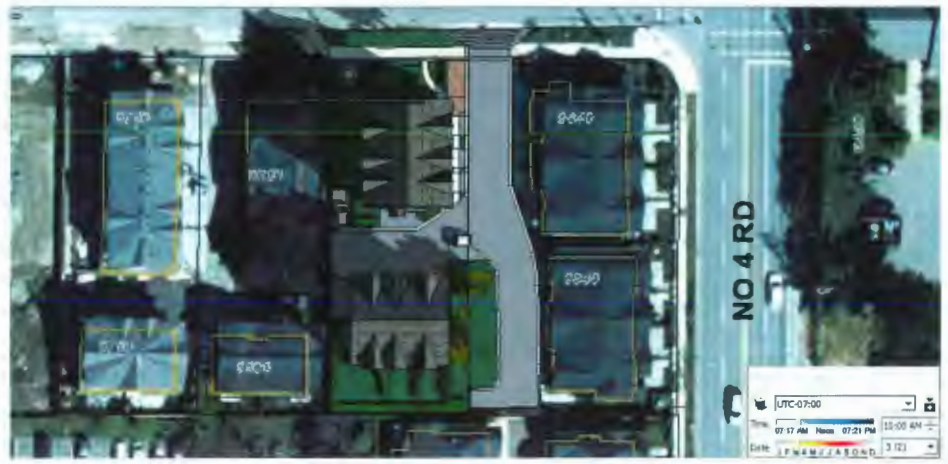
DRAWING TITLE:

TREE MANAGEMENT PLAN

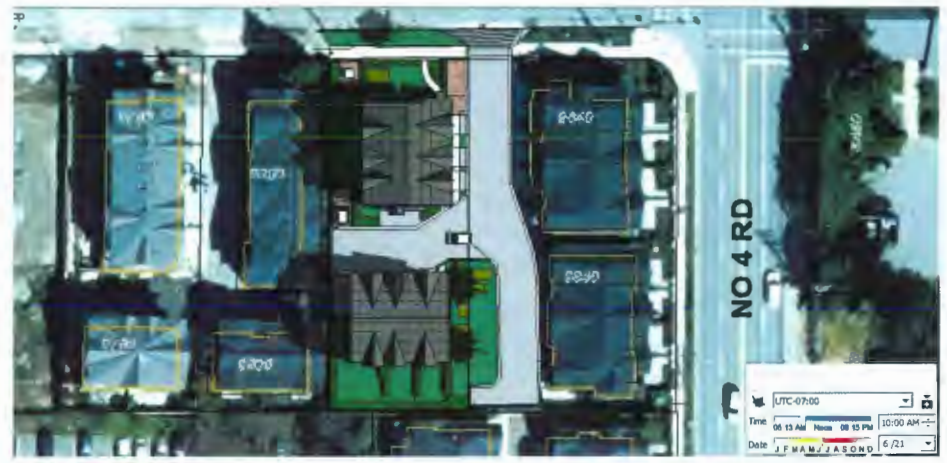
DATE: October 25, 2016
SCALE: 3/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHK'D: PCM

DRAWING NUMBER: **L4** OF 5

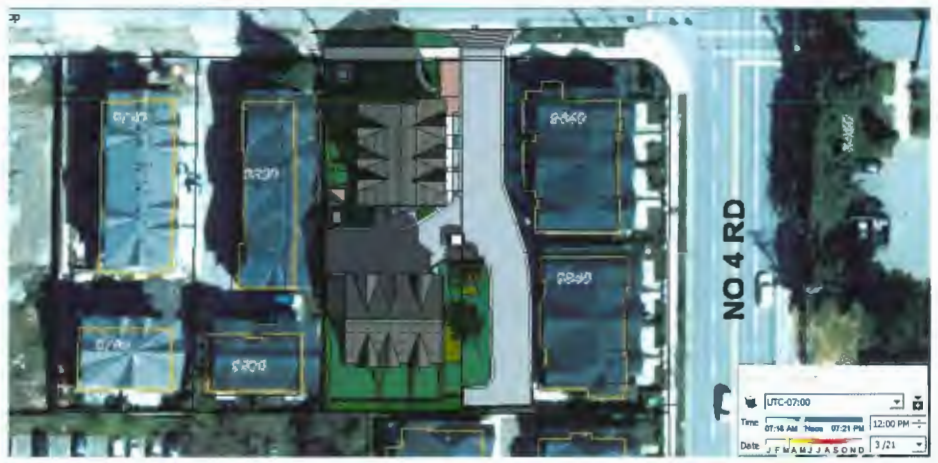
PMG PROJECT NUMBER: 16-204



SHADOW STUDY
MARCH 21–10:00AM



SHADOW STUDY
JUNE 21–10:00AM



SHADOW STUDY
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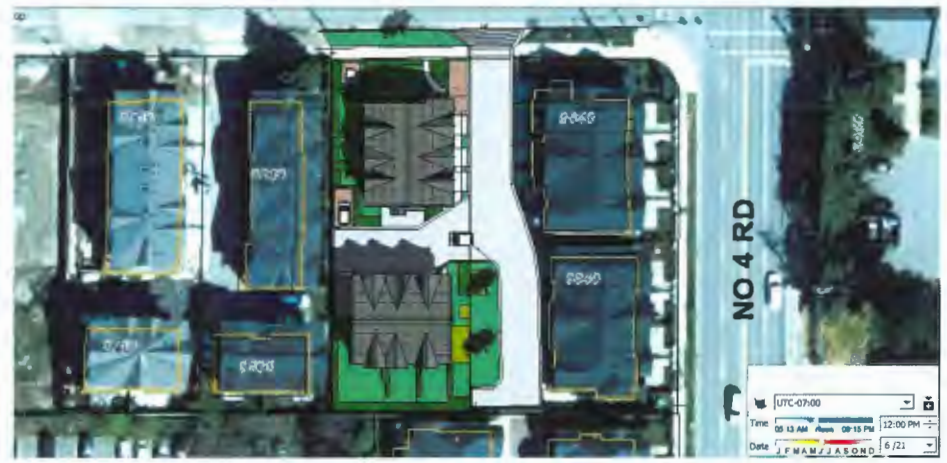

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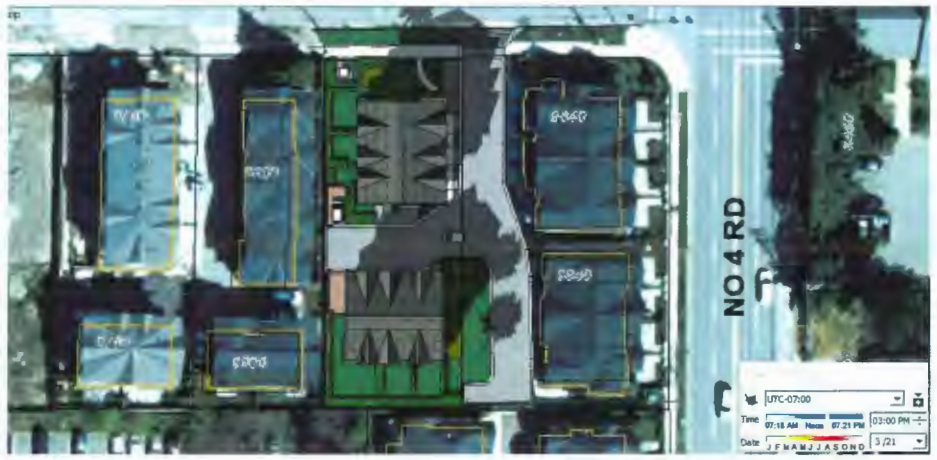
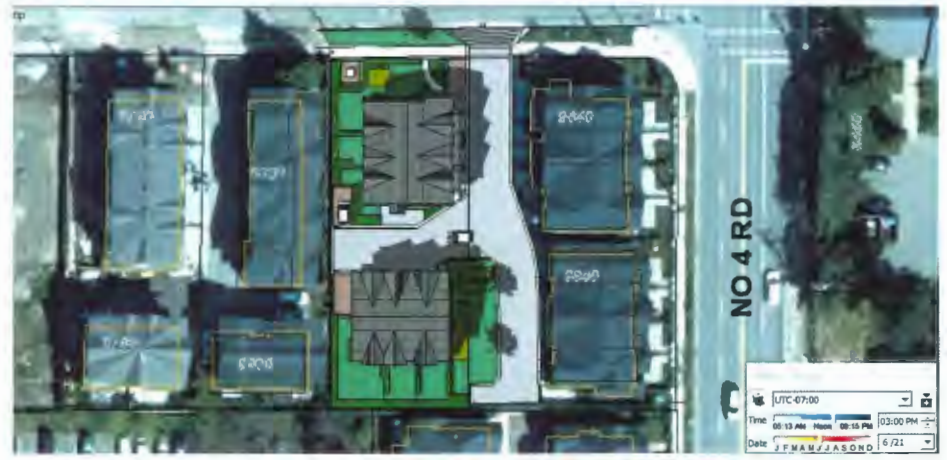


SHADOW STUDY
MARCH 21–3:00PM



SHADOW STUDY
JUNE 21–3:00PM

REFERENCE PLAN

DP19–858597

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	ISSUED
1	2019.04.11 FOR DEVELOPMENT PERMIT APPLICATION
2	2020.03.23 FOR CITY REVIEW
3	2020.05.26 FOR CITY DP REVIEW
4	2020.06.01 FOR CITY DP REVIEW
2	2020.05.31 DIMENSIONS ADDED TO HEIGHT AND SEPARATION TO NEIGHBOUR B_DG
1	2020.05.11 REVISE HEIGHT AND ADD COLOUR

PROPOSED TOWNHOUSE
9820 ALBERTA ROAD
RICHMOND BC
-
SHADOW STUDIES

PROJECT NUMBER:	16–03
ISSUED:	6/1/2020
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16–03_NAR_200601–DP.DWG

A12

DEVELOPMENT PERMIT