



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, June 16, 2021
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on May 27, 2021.



1. **DEVELOPMENT PERMIT 16-747620**
(REDMS No. 6636292 v. 3A)

APPLICANT: Parc Riviera Project Inc.

PROPERTY LOCATION: 10333 River Drive

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of a low-rise residential development containing approximately 80 dwellings at 10333 River Drive on a site zoned "Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to permit upper floor building bay projections of maximum 0.6 m into the east side yard and 0.75 m into the west side yard limited to the northeast and northwest buildings only.*



ITEM

2. **DEVELOPMENT PERMIT 18-829228**

(REDMS No. 6463087 v. 4)

APPLICANT: QRD (Hamilton) LP

PROPERTY LOCATION: 23400, 23440, 23460 and 23500 Gates Avenue

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of 60 townhouse units at 23400, 23440, 23460 and 23500 Gates Avenue and the surplus portion of the Gates Avenue road allowance on a site zoned "Town Housing - Hamilton (ZT86)" ; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce:*
 - (a) *the minimum front yard setback to Gates Avenue from 4.0 m to 3.4 m; and*
 - (b) *the minimum west side yard setback from 7.5 m to 6.0 m.*



3. **New Business**

4. **Date of Next Meeting: June 30, 2021**

ADJOURNMENT



**Development Permit Panel
Thursday, May 27, 2021**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present (by Joe Erceg, General Manager, Planning and Development, Chair Cecilia
teleconference): Achiam, General Manager, Community Safety
John Irving, General Manager, Engineering and Public Works

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on May 12, 2021, be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 20-899883
(REDMS No. 6662572)**

APPLICANT: Orion Construction

PROPERTY LOCATION: 3640 No. 4 Road

INTENT OF PERMIT:

Permit the construction of two two-storey industrial buildings at 3640 No. 4 Road on a site zoned "Light Industrial (IL).

Applicant's Comments

Karla Castellanos, Architect, KCC Architecture & Design, reviewed the application and spoke on urban design and architectural form and character, noting the following:

Development Permit Panel

Thursday, May 27, 2021

- the proposed project provides separation from the adjacent residential area through features such as (i) installing fencing together with planting trees and shrubs for screening, (ii) providing site access through No. 4 Road, and (iii) installing servicing elements such as garbage, electrical and loading areas on the north side of the site to minimize potential noise away from the residential area;
- storage areas will be located on the first floor of the building and office space will be located on the second floor; and
- a shadow analysis was completed for the project.

Jessica Thiessen, Landscape Architect, KD Planning & Design, provided an overview of the landscape design, noting that the development will retain a significant number of trees and that additional shrubs, grasses and trees will be planted to provide height and shade.

In reply to queries, Ms. Thiessen noted that irrigation will be installed for the new plantings, however the mature trees on-site will not require irrigation as their roots are deep enough for natural rainwater. She added that the health of the mature trees will be monitored during the construction phase.

Panel Discussion

Discussion ensued with regard to the site lighting and the rooftop mechanical units. In reply to queries, Jack Priestley, Orion Construction, noted that the rooftop mechanical units are set back from the edge of the building and will be screened. He added that the on-site lighting will be screened with landscaping to reduce impact to residential areas.

Staff Comments

Wayne Craig, Director, Development, noted that (i) the proposed development will have a servicing agreement for frontage improvements, (ii) each industrial unit will have ability to charge electrical vehicles, and (iii) the proposed development provided a security for the tree retention and retained a certified arborist on-site.

Correspondence

None.

Gallery Comments

None.

Development Permit Panel
Thursday, May 27, 2021

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of two two-storey industrial buildings at 3640 No. 4 Road on a site zoned "Light Industrial (IL)."

CARRIED

2. New Business

3. Date of Next Meeting: June 16, 2021

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (3:55 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Thursday, May 27, 2021.

Joe Erceg
Chair

Evangel Biason
Legislative Services Coordinator



To: Development Permit Panel

Date: May 23, 2021

From: Wayne Craig
Director, Development

File: DP 16-747620

Re: Application by Parc Riviera Project Inc. for a Development Permit at
10333 River Drive

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a low-rise residential development containing approximately 80 dwellings at 10333 River Drive on a site zoned “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to permit upper floor building bay projections of maximum 0.6 m into the east side yard and 0.75 m into the west side yard limited to the northeast and northwest buildings only.

Wayne Craig
Director, Development
(604-247-4625)

SB:blg
Att. 4

Staff Report

Origin

Parc Riviera Project Inc.(David Chung, Director) has applied to the City of Richmond for permission to develop a low-rise residential development at 10333 River Drive on a site zoned “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)”.

Key components of the proposal include:

- 11 four-storey apartment buildings and a two-storey amenity building, all over a single-level parking structure and four three-storey townhouse buildings fronting River Drive. The apartment buildings comprise stacked two-storey units with the lower units accessed at grade and the upper units accessed from a fourth floor interconnected outdoor walkway.
- A maximum floor area ratio (FAR) of 1.38, together with an additional floor area ratio (FAR) of 0.01 for shared indoor amenity space,
- A total floor area of approximately 11,591 m² (124,759 ft²).
- Additional 120 m² (1,291 ft²) of indoor amenity space for residents.
- Statutory right-of-way (SRW) and construction of public walkway connection from River Drive to the City waterfront trail across the west and east edges of the site.
- An enhanced and expanded environmentally sensitive area (ESA) of approximately 697 m² along the north edge of the site.

The site is comprised of one lot which is currently vacant.

A Servicing Agreement is required as a condition of the Development Permit for the design and construction of frontage improvements and public walkways along the west and east edges of the site.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site was rezoned (RZ 07-380169, ZT 12-611282 and ZT 15-691748) to the site specific “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)” zone as part of a multi-phased development (Attachment 2). The subject application is for the final phase (Phase 4) of the overall development.

Community amenities secured through the rezoning are being implemented in phases. The public art Water #10 sculpture by Chinese artist Jun Ren and previously exhibited as part of the Vancouver International Biennale was purchased by the developer and is installed at the west end of Cambie Road in the middle arm dike greenway. The contribution of \$7,350,459 to the City’s Affordable Housing Reserve Fund was provided as part of Phase 1. The contribution of \$1,000,000 towards community use space was provided as part of Phase 2. A city-owned child

care facility was provided as part of Phase 3. As part of Phase 4, the developer is required to provide a \$500,000 contribution towards a City Amenity Reserve.

Improvements to dikes, trails, roads, public transit and servicing infrastructure secured through the rezoning are also being implemented through Servicing Agreements in phases. The western City park, frontage improvements and dike upgrades between No. 4 Road and McLennan Avenue were constructed through Servicing Agreements as part of Phase 1. The central City park, frontage improvements, dike and waterfront trail upgrades between McLennan Avenue and Shell Road, as well as traffic signal and bus shelter improvements along Bridgeport Road are being constructed through Servicing Agreements as part of Phases 3 and 4. As a condition of Phase 4 on the subject site, the developer is required to enter into a Servicing Agreement for the design and construction of frontage improvements, to widen the existing public walkway connection along the west edge of the site to ultimate 6 m width and provide a public walkway from the waterfront trail to River Drive along the east edge of the site.

Development surrounding the subject site is as follows:

To the North: City dike along the North Arm of the Fraser River, which is being improved as part of the overall Parc Riviera development.

To the East: A single-storey industrial development on a lot zoned “Industrial Storage (IS)”, which is currently being considered for multi-family residential redevelopment under rezoning and Development Permit applications (RZ 15-708599 and DP 15-708607).

To the South: Across River Drive, are single detached homes on lots zoned “Single Detached (RS1/D)”.

To the West: Across a public walkway connection from River Drive to the City’s waterfront trail, the third phase of the overall Parc Riviera development (DP 16-721500), also zoned “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)”.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the “Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)” zone except for the zoning variance noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Permit upper floor building bay projections of maximum 0.6 m into the east side yard and 0.75 m into the west side yard limited to the northeast and northwest buildings only.

Staff supports the proposed variance as it accommodates building articulation of an appropriate scale for the four storey buildings providing visual interest, is limited to the northwest and northeast buildings and is located above the ground floor. The projection on the northwest building accommodates additional floor area to accommodate accessible washrooms in the two stacked barrier free units. The projections do not create additional impact to shadows on adjacent sites or Environmentally Sensitive Area. The proposed projections are located outside of the publicly accessible SRW areas and they do not negatively impact use of the public walkways.

Advisory Design Panel Comments

On May 6, 2020, the Advisory Design Panel supported the subject Development Permit application moving forward to the Development Permit Panel, subject to the applicant giving consideration to the Advisory Design Panel's comments. An annotated excerpt of the Advisory Design Panel meeting minutes from May 6, 2020 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Advisory Design Panel comments and is identified in '***bold italics***'.

Analysis***Conditions of Adjacency***

- The proposed development includes enhancement of the River Drive streetscape with townhouse units to provide a height transition between the subject proposal and the single-family homes on the south side of River Drive as well as public walkway connections to the City's waterfront trail at the west and east edges of the subject site.
- Along the west property line, the existing 3 m wide SRW public walkway connection from River Drive to the City's waterfront trail is enhanced with widening to the ultimate 6 m width consisting of a centered 3.0 m wide concrete path with 1.5 m landscaping on both sides and overhead pedestrian lighting. The proposed development interface with the SRW public walkway and the third phase of the Parc Riviera development to the west of the subject site is enhanced with stepped landscape screening, pedestrian connections to semi-private yards and pedestrian connection to the development's proposed east-west central walkway.
- Along the east property line, a 3 m wide SRW interim public walkway connecting from River Drive to the City's waterfront trail will be provided. The walkway consists of 1.5 m wide landscaping with overhead pedestrian lighting and 1.5 m wide concrete paving along the property line. In the future the SRW public walkway is to be widened out to 6 m ultimate width through future redevelopment on the adjacent site to the east. The proposed development interface with the SRW interim public walkway and the light industrial development to the east of the subject site is enhanced with stepped landscape screening, pedestrian connections to semi-private yards and pedestrian connection to the development's proposed east-west central walkway.

- The northern portion of the site is designated Environmentally Sensitive Area (ESA). The applicant proposes to modify and enhance this area. Decks and public walkway connections provide the interface to the adjacent City dike and waterfront trail to the north. The development site includes an ESA designation along the north edge of the site, abutting the City's dike, and the proposal for an ESA modified enhancement area is further detailed later in this report.

Urban Design and Site Planning

- The proposal includes 11 four-storey apartment buildings surrounding a central two-storey amenity building which are all situated on top of a single-level parking structure. The apartment buildings have four to eight units each, with two-storey upper units stacked over two-storey lower units. The lower units are accessed from central courtyard areas at grade and the upper units are accessed from exterior walkways on the 4th floor level. The 4th floor walkways for all 11 buildings are connected and are accessed from six shared stairwells and four shared elevators.
- The center of the site is opened up to provide a central outdoor amenity area, including a children's play area, east-west pedestrian routes connecting to SRW public walkways along the west and east edges of the development, and a central north-south pedestrian route connecting to River Drive and views south to the River.
- The proposal also includes four three-storey townhouse buildings along River Drive. The townhouse buildings have two units each and are situated at grade, stepping up from River Drive.
- An attractive pedestrian-oriented streetscape is provided along River Drive with four two-unit townhouse buildings, and public walkway connections at the west and east edges of the site from River Drive to the dike waterfront trail. Walkways are proposed to include wayfinding signage and lighting, which will be angled downward to avoid glare into residential units and to minimize light pollution. The public walkways are proposed to include bollard lighting and internal walkways pedestrian scaled lighting.
- There are a number of public walkway accesses from River Drive to the City's waterfront trail provided in the overall Parc Riviera development between No. 4 Road and the subject site. These public walkway accesses provide site permeability and waterfront access for the larger Tait residential neighbourhood. In order to secure the public walkway, the Development Permit considerations include granting of 3 m wide public rights-of-passage (PROP) statutory right-of-ways (SRW's) along the west and east edges of the subject site and entering into a Servicing Agreement for the design and construction of a 3 m wide paved path, wayfinding signage, and along the east edge of the subject site, a River Drive pedestrian crossing.
- The subject site is adjacent to the City's dike and in order to address the potential dike raising in the future, the Development Permit considerations include registration of a 7.3 m wide dike SRW along the entire north property line of the site.
- One vehicle access is proposed from River Drive, in accordance with the master plan approved through the rezoning for the overall Parc Riviera development.
- Parking provided in the development complies with the zoning bylaw requirements. The parking structure includes secure bicycle parking, 16 visitor parking spaces and 146 parking spaces for the 72 apartment building units, including four accessible parking spaces. The

eight townhouse units have side-by-side double car garages including one regular parking space and one small car parking space.

- On-site truck manoeuvring is provided, which meets the Zoning Bylaw requirement. A staging area is provided adjacent to the garbage and recycling room for the use of garbage, recycling and moving trucks.
- All units will have semi-private outdoor spaces consisting of balconies. In addition, lower apartment building units and townhouses will have at grade yards, and upper apartment building units will have rooftop decks.
- Outdoor amenity space is proposed in the centre of the site immediately east of the two-storey amenity building; benefitting from afternoon sun exposure and adjacent unit casual surveillance.
- Mailboxes will be provided by Canada Post adjacent to the development's driveway, and short-term bicycle parking racks are provided at the outdoor amenity area.
- A communal garbage, recycling and organic waste storage room is provided in the parking structure next to the internal drive aisle, where it will be collected.
- The development will be constructed as a single-phase development.

Architectural Form and Character

- Buildings are designed to respect the site's industrial heritage with simple forms that express interior uses and unit distribution.
- A pedestrian scale is achieved through the inclusion of a hierarchy of internal walkways and building cluster courtyards as well as pedestrian routes along the public street and public walkways, as well as in the building design inset ground floor level, recesses, covered entries, unit decks, varying material/colour combinations, and landscape features.
- The proposed building materials (Hardie plank, Hardie board, Hardie soffit, metal and glass railings and canopies, and vinyl windows) are generally consistent with the OCP guidelines and compatible with the existing character of the neighbourhood.
- There are four proposed colour/material schemes. A base colour of white is accented with areas of light, medium and dark brown, light green, aqua, and light, medium and dark blue. The use of colour and variations in material texture accentuate building articulation and provide visual interest.
- At the ground floor level, the soffit under overhangs and recesses is coloured to match the wall below, which provides visual interest at the ground floor level.

Landscape Design and Open Space Design

- A Certified Arborist's Report was submitted, which identifies tree species, assesses tree structure and condition, and provides recommendations on tree removal relative to the proposed development. The report assesses one bylaw-sized tree on the subject site, one Black Cottonwood tree (multi-stemmed with combined 96 cm DBH) in very poor condition, exhibiting extensively decayed wounds and in conflict with parking structure geotechnical requirements. Tree Preservation staff have reviewed the Arborist's Report and concur with the proposed removal of the tree.
- The applicant is proposing to plant 98 trees on-site, including 21 conifers and 77 deciduous trees.
- A pedestrian-oriented streetscape is proposed along River Drive with a landscaped edge treatment, low retaining walls, and stairs to individual raised yards and townhouse entries.

- All ground level units will have semi-private outdoor space at grade and upper floor balconies. All upper level units have semi-private roof decks. The ground level units along the west and east edges of the site have frontage onto the ramped public walkways and the units along the south edge of the site front onto River Drive. These units will have a semi-private raised yard with paver area, low landscaping, and four steps down to the River Drive sidewalk, or steps or level walkway to the public walkways. The ground level units along the north edge of the site back onto the ESA and City dike. These units will have a semi-private fenced deck surrounded by protected ESA planting. Internal ground level units will have semi-private yards with paver area, low landscaping, tree planting and connection to the central north-south walkway.
- The main outdoor amenity area is provided adjacent to the two-storey indoor amenity building, including deck areas, covered and open areas, seating and tables, children's play equipment, concrete climbing cubes in three colours (red, yellow and terracotta), rubber safety surface in two colours (beige and aqua) and seating for supervision. The children's play equipment includes a play boat structure and an arch with climbing, seating and hammock activities. The adjacent two-storey indoor amenity building includes a kitchen, washroom, open eating and seating area, elevator and upper floor meeting room.
- A variety of materials, patterns and colours are proposed to provide wayfinding and visual interest to the driveway, the central north-south walkway, the central east-west walkway, the two public walkways, building courtyards, individual unit entries, internal drive aisle, and garage accesses. The materials include concrete, and pavers in six sizes/patterns/colours.
- A lighting plan is included in the DP plans, which indicates lighting provided throughout the site that is directed downward and into the site.
- Irrigation systems and hose bibs will be provided for all landscaping areas.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$394,555.48 in association with the Development Permit.

Crime Prevention Through Environmental Design (CPTED)

- CPTED measures enhance safety and personal security in and around the proposed development.
- Casual surveillance is provided through overlooking windows in individual units, minimizing blind corners, prominent unit entries and pedestrian accesses to the parking structure, locating visitor parking close to the entries in the parkade, clear sightlines to exists within the parking structure (mirrors where needed), glazed vestibules, and lighting in all pedestrian areas. All entrances are visible and overlooked by pedestrians or by neighbour's windows.
- The streetscape and common area design is defined and visually permeable to establish a sense of territoriality that contributes toward overall safety.
- Target hardening security features are provided at all pedestrian and parking entrances.

Sustainability

- The development is being designed to meet the sustainability requirements set out in the applicable sections of Richmond's BC Energy Step Code, which is step 3.
- Sustainability features include: passive cooling building design strategies (such as cross ventilation and stack effect), building envelope details for rain screening and minimizing heat loss, high efficiency HRV (Heat Recovery Ventilation) systems located inside the units, air

source heat pump units for upper units located on the roof decks screened from views from below by parapet walls and for ground units located in the structured parking, energy star windows with low E-glazing, energy star appliances, low VOC paint, as well as the use of drought tolerant and native plant materials.

Environmentally Sensitive Area (ESA)

- There is an ESA designation over an approximate 560.5 m² area along the north edge of the site, adjacent to the City dike.
- An enhanced and enlarged ESA area with a slightly different configuration is provided. An overall area of approximately 697 m² will be enhanced as shown in the Development Permit.
- The proposed landscape plan for the enhanced ESA area was prepared by the Landscape Architect in consultation with a Registered Professional Biologist. It is suitable for its shoreline location, providing a transition between upland and shoreline habitats and promoting a riverfront wildlife corridor. Disturbed areas of the shoreline ESA on-site will be returned to naturalized terrestrial and foreshore conditions and previous conditions in the ESA modified enhancement area will be maintained.
- The proposed plant list for the ESA area is comprised entirely of native species and contains a mix of trees, shrubs and herbaceous species including several flowering and fruiting species suitable for supporting pollinators and hummingbirds. Species include Vine Maple, Pacific Dogwood, Pacific Crabapple and Douglas Fir trees; Redtwig Dogwood, Baldhip Rose and Salmonberry shrubs; Dune Grass; and Salal, Longleaf Mahonia and Western Sword Fern groundcovers.
- Invasive species, including Himalayan Blackberry and Reed Canary Grass, will be removed and managed to prevent re-growth. The removal of invasive species will be done under the supervision of the project's Qualified Environmental Professional.
- A Cedar split-rail fence will be installed on the subject site to delineate the ESA modified enhancement area. Together with the proposed ESA planting, this will provide a protective buffer between the proposed development and the high value estuarine habitat of the Fraser River.
- Granting of a SRW and entering into an ESA legal agreement are Development Permit considerations to ensure that the ESA modified enhancement area and landscape plan are specified, protected, maintained, and ensure no future construction or alteration of the ESA.
- In order to ensure that the proposed ESA enhancement landscaping works are completed, monitored and maintained for five years, the applicant is required to provide a Letter of Credit security of \$44,975.15 as a consideration of the Development Permit. When invasive species are removed and ESA planting is installed in the ESA modified enhancement area to the satisfaction of the QEP consultant, Landscape Architect in accordance with the DP and legal agreements, 50% of the ESA security will be released. The remaining 50% of the ESA security will be released in stages, with 10% releases each year for the five years after substantial completion after receiving confirmation from the QEP consultant that the ESA modified enhancement area monitoring and maintenance con.

Accessible Housing

- All four of the two-storey end units in the northwest building are proposed as barrier free housing units that are designed to be fully accessible at the time of construction for a resident in a wheelchair. These units are required to comply with BC Building Code requirements for

accessible housing. In order to accommodate a resident in a wheelchair, these units include a vertical lift, custom kitchen and bathroom counter height, custom kitchen and bathroom cabinets, grab bar installation, and accessible curbless shower stall.

- All eight of the two-storey ground level interior units in the four southern apartment buildings are proposed as convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a stair lift to provide access to the two levels of the two-storey units.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Noise Mitigation

- The subject site is subject to overhead aircraft noise. Registration of a legal agreement on title was secured through the rezoning approval to ensure that the development is designed and constructed in a manner that mitigates potential aircraft noise to achieve CMHC interior noise standards and ensures the thermal comfort of residents. An acoustic report was received and is on file. Detailed information is required to be included in the Building Permit application.
- The required indoor noise and thermal comfort levels are proposed to be achieved through the building envelope design, with no upgrades identified in the acoustic report and air conditioning to ensure the comfort of residents during the summer months.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Sara Badyal
Planner 2
(604-276-4282)

SB:blg

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Development Application History Context Map

Attachment 3: Advisory Design Panel Meeting Minutes Annotated Excerpt (May 6, 2020)

Attachment 4: Development Permit Considerations



Development Application Data Sheet

Development Applications Department

DP 16-747620

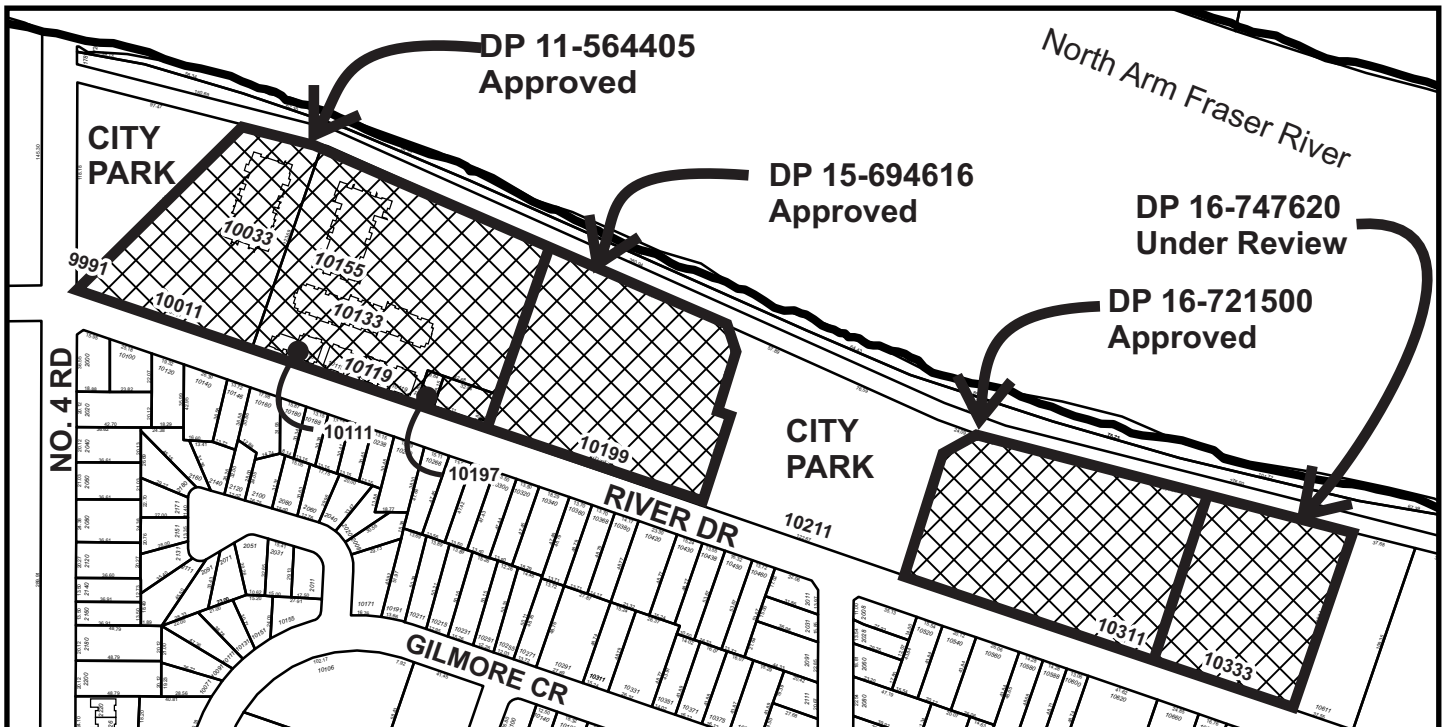
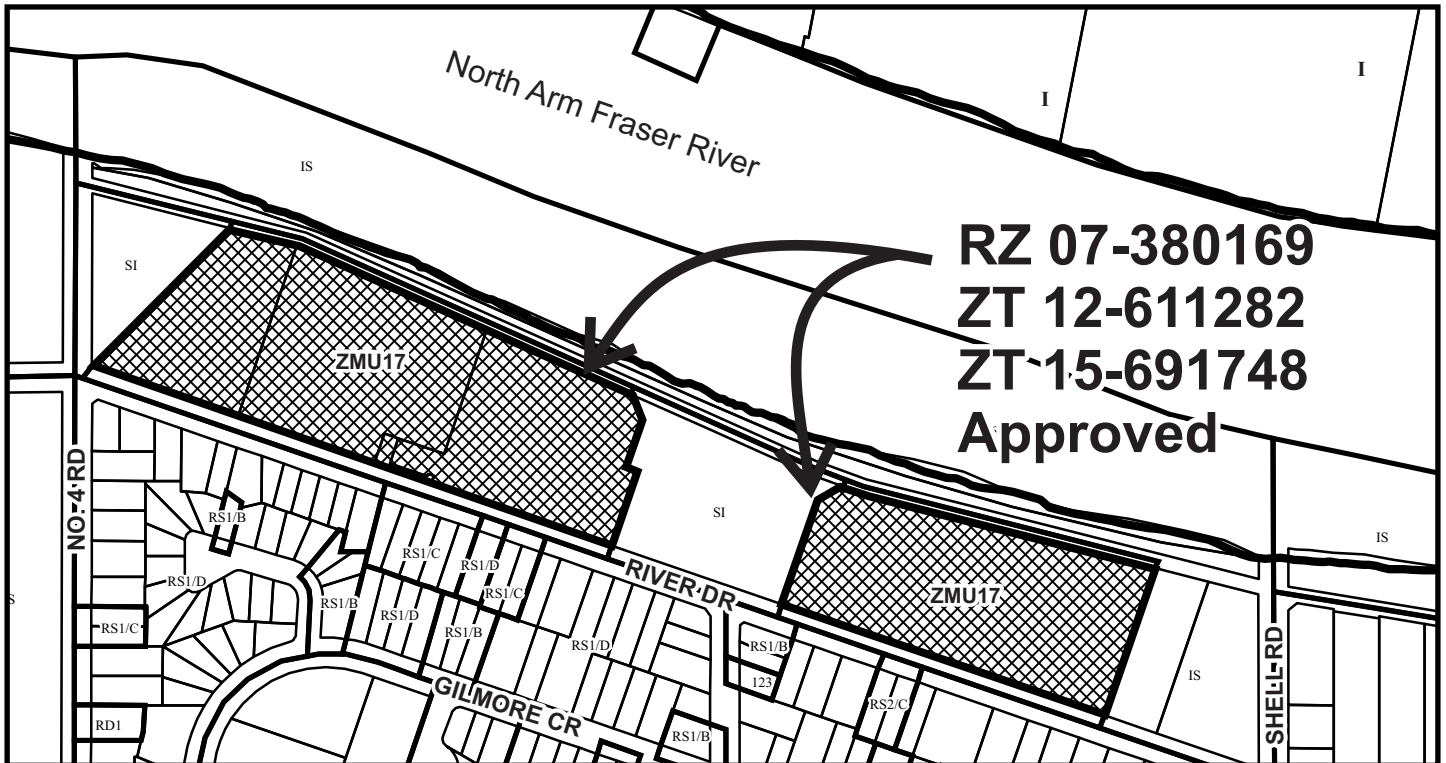
Address: 10333 River Drive

Applicant: Parc Riviera Project Inc.

Owner: Parc Riviera Project Inc.

Planning Area(s): Tait Sub-Area (Bridgeport)

	Existing	Proposed	
Site Area	8,410 m ²	Remains the same	
Land Uses	Vacant	Multi-Family	
OCP Designation	Residential Mixed-Use and Environmentally Sensitive Area (ESA)	Complies with ESA Modified Enhancement Area	
Area Plan Designation	Residential Mixed-Use (Max. 6 storey; 1.45)	Complies	
Zoning	Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)	Complies	
Number of Units	Vacant	80 dwelling units	
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 1.38 FAR	1.38 FAR (11,591 m ²)	None permitted
Lot Coverage	Max. 40%	39.4%	None
Setbacks – River Drive	Min. 3 m	3.1 m	None
Setback – West Side Yard	Min. 6 m	6 m with 0.75 m projection	0.75 m bay projection
Setback – East Side Yard	Min. 6 m	6 m with 0.6 m projection	0.6 m bay projection
Setback – Dike	Min. 7.5 m	7.6 m	None
Height	0-20 m of River Dr: Max. 10 m 20-36 m of River Dr: Max. 15 m Over 36 m of River Dr: 26 m	0-20 m of River Dr: 9.6 m 20-36 m of River Dr: 15 m Over 36 m of River Dr: 15.6 m	None
Lot Dimensions	None	Width: 81.6 m Depth: 99.4 m to 106.2 m	None
Parking Spaces	Resident: 142 Visitor: 16 Total: 158	Resident: 162 Visitor: 16 Total: 178	None
Parking – Accessible Spaces	Min. 2%	2% (4 spaces)	None
Parking – Small Car Spaces	Max. 50%	20% (36 spaces)	None
Parking – Tandem Spaces	Permitted (resident only)	None	None
Loading	SU-9 truck manoeuvring	SU-9 truck manoeuvring	None
Bicycle Storage	Class 1 secure: 100 Class 2 rack: 16	Class 1 secure: 132 Class 2 rack: 18	None
Amenity Space – Indoor	Min. 100 m ²	120 m ²	None
Amenity Space – Outdoor	Min. 480 m ²	521 m ²	None



Parc Riviera Context Map
Development Application History
DP 16-747620

Original Date: 04/23/20

Revision Date: 03/15/21

Note: Dimensions are in METRES

Annotated Excerpt from the Minutes from Advisory Design Panel Meeting

May 6, 2020

ITEM: 2. DP 16-747620 – FOUR-STOREY RESIDENTIAL
DEVELOPMENT
ARCHITECT: Fougere Architecture Inc.
LANDSCAPE ARCHITECT: PMG Landscape Architects Ltd.
PROPERTY LOCATION: 10333 River Drive

Applicant's Presentation

Architect Wayne Fougere, Fougere Architecture Inc., and Landscape Architect Mary Chan Yip, PMG Landscape Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the provision of convertible units in the project, including the provision for future vertical lift for the four northern units facing the river; would like elevator access for the upper floor convertible units to provide roof deck access – ***Elevator access to the roof deck is provided in the accessible units facing north.***
- note that chair lifts for convertible units do not provide full accessibility and independence in movement for people in a wheelchair and may not work for those using walkers – ***Design improved. Floor plans of the four accessible units were revised to include vertical lift installation. The eight convertible units include chair stair lifts due to floor plan constraints.***
- consider installing pocket doors in all washrooms and closets in the convertible units – ***Design improved. Wherever possible, swing doors have been revised to pocket doors in washrooms and powder rooms of the convertible units.***
- consider providing two or more additional accessible parking stalls near the convertible units – ***Incorporated two more accessible stalls near the north west elevator.***
- consider installing an electric door opener to enhance accessibility from the underground parkade to the inside of the buildings – ***Design improved with prewiring for future electric door opener installation.***
- consider making the powder room in the convertible units also accessible – ***Design improved. Full accessibility of powder rooms in convertible units not incorporated due to floor plan constraints, but layouts adjusted to increase clear space to 75cm x 120 cm in front of the toilet.***
- the proposed buildings have an industrial and utilitarian architectural expression; the roof line expression is controlled and appears “brutal”; support the idea of roof patios; however, consider articulating the roof lines – ***Following the original Rezoning design rationale from Cotter Architects of a “working waterfront”, the design deliberately uses simple building forms with straight lines and flat roofs to create an industrial character.***
- consider articulating the flat roofs of the three-storey townhouse buildings along River Drive; consider adding patterning to provide visual interest to adjacent taller building

overlook – ***Incorporated decorative roof pattern, created by varying colours of rocks and stones or roof membrane colours, similar to amenity building.***

- the 20-foot wide courtyard space between Buildings 3A and 3B and between Buildings 4A and 4B will be under shade most of the time and have hidden corners; the stair towers also have hidden corners; the stairs providing access to underground parking are too open; review all these for potential CPTED concerns – ***We have revised the open stairs accessing the underground by adding a door at the bottom of the stair and included glazing and parabolic mirrors to make the stair visible from the garage. We are not concerned about shady courtyards, as many other outdoor amenity areas in the development receive plenty of sunshine. The stair enclosures on the south side between buildings 3A-3B and 4A-4B were revised to include more glazing which will increase the light coming into the courtyard and avoids some of the hidden corners. On the other hand, some solid walls are needed for protecting exits from windows.***
- consider opening up the north terminus of the central spine to provide an unobstructed view corridor to the river – ***The tower in the north end of the site can't be removed. The walkway spanning between buildings 3F and 4e is required as fire egress and the tower is a necessary structural element to make the span work. The tower has carefully been design with a very slender profile, when viewed from the central spine to maximise the view. The platform at the top adds another viewing angle to the river.***
- appreciate the provision of open spaces in the project – ***Noted.***
- like the visual and physical porosity of the project and its interface with neighbouring developments – ***Noted.***
- proposed landscaping between the buildings and the dike is nicely done – ***Noted.***
- there is good relationship between the indoor and outdoor amenity areas in the middle of the site; addresses potential CPTED concerns – ***Noted.***
- the provision of amenities and courtyard spaces in the project creates a community feel and provides several opportunities for interactions among building residents – ***Noted.***
- like the townhouse concept of the project; appreciate the unique design layout of the two-level stacked townhouses in the four-storey buildings with living areas separated to reduce noise transmission, and natural ventilation – ***Noted.***
- the overall massing of the project is good; however, the three-storey duplex buildings along River Drive appear disconnected from the rest of the development due to the significant difference in height and distance from the four-storey stacked townhouse buildings; consider introducing architectural treatments to reconnect the three-storey duplexes and four-storey townhouse buildings together and read as one project – ***Our building heights follow the zoning bylaw requirements.***
- the project has a unique architecture; not concerned that it is different from the context of its neighbourhood; all the phases are individual – ***Noted.***
- concerned about the proximity of the four-storey stacked townhouse buildings to each other across the internal courtyards, which could impact the privacy of individual townhouse units – ***Considered. We made a conscious decision to have a hierarchy of spaces between the buildings with bigger distances between some portions and less between others. Rooms facing the courtyards are secondary bedrooms and kitchens while the main living area and the main bedroom towards the central spine and the east and west walkways which provide more light and privacy.***

- appreciate the elevations in the courtyards; the project's design team has done a good job in breaking down the massing of the four-storey stacked townhouse buildings; however, their exterior elevations read like they are apartment buildings; consider articulating their exterior elevations to differentiate the top and bottom townhouse units in the four-storey stacked townhouse buildings – ***Considered. The design language follows the examples set by the existing new developments along River Drive while the accent colours provide a subtle hint to the internal division of units.***
- appreciate the provision of north-south public pathways along the east and west edges of the subject site; consider integrating way finding to assist pedestrians – ***Noted.***
- appreciate the comprehensive package of documents provided by the applicant to the Panel, including the energy modeling results – ***Noted.***
- the energy modeling indicates that the project will achieve Step Code 3 of the BC Building Code – ***Noted.***
- the energy modeling reports indicate a substantial difference in energy performance between the three-storey and four-storey building typologies which may be based on an assumption that triple glazed glass will be used; note that changes in design and materials will impact the energy modeling results – ***Noted.***
- the applicant should consider the technical requirements for installing vertical drainage inside the buildings – ***Noted.***
- appreciate the proposed use of heat recovery units in the project; however, consider using energy recovery units due to increase in humidity inside the buildings and they provide a higher quality air environment – ***We will consider this as part of the mechanical systems detailed design process.***
- consider using higher efficiency air filters for heat pumps and energy recovery units – ***We will consider this as part of the mechanical systems detailed design process.***
- appreciate the approach to break down the building massing, creating visual and physical permeability and enhancing pedestrian circulation in the project; the open spaces throughout the project make it more pedestrian friendly – ***Noted.***
- appreciate the stacked townhouse building typology which allows pedestrian circulation at different levels – ***Noted.***
- consider installing roof gardens and shared outdoor amenity spaces on the rooftops of the four-storey buildings where there is more sun exposure to help address Panel's concerns regarding the ground level courtyard spaces between buildings which are under shade most of the time – ***Considered. The rooftop decks are retained as private outdoor space for the top floor homes. The project includes a variety of shared outdoor amenity spaces, including the courtyards. The central open space receives a good amount of sunshine throughout the day.***
- appreciate the applicant's use of landscaping to unify the entire development – ***Noted.***
- relationship between the indoor and outdoor amenity spaces is good; however, consider additional planting for the outdoor amenity space to make it more intimate and to tie into open space design – ***Design improved with additional planting to provide more separation and intimacy to the amenity space.***
- appreciate the choice of proposed soft and hard landscaping materials including the permeable paving materials – ***Noted.***
- overall, the project is well-rounded – ***Noted.***

- the proposed four-storey stacked townhouse building typology is interesting; nice to see something different – *Noted.*
- appreciate the clearly defined hierarchy of open spaces on the site – *Noted.*
- the internal drive aisle entry and at the back of three-storey duplex buildings is wide and reads just like a driveway; consider delineating pedestrian pathways along the internal drive aisle and creating a stronger relationship with the central pedestrian spine – ***Design Improved. Due to limited space between buildings and the required turning radius for vehicles entering the site there is no space to separate pedestrian and vehicle lanes. To strengthen and emphasise the pedestrian connections, the paving patterns on the internal road and the entry have been revised.***
- increased Environmentally Sensitive Area (ESA) more than compensates for encroachments; consider bringing the character of on-site landscaping into the portion of ESA adjacent to patios and amenity areas to improve their relationship – ***The plant selections have been modified to bring more native plant species into the development to transition the ESA plantings further into the site.***
- the viewing platform is an interesting element; works well at the upper level; however, consider further detailing and programming to create activity at the ground level underneath, to provide better views from the north terminus of the central spine – ***The lower area has been developed to generate a stepped raised terrace to allow the residents who do not have a waterfront unit to sit and enjoy a morning coffee or a quiet zone while looking at the river.***
- Consider installing water and gas bibs on the roof decks to maximize their use – ***Water and gas bibs will be installed.***
- consider providing landscaped rooftop area on the three-storey townhouse buildings along River Drive to provide a better transition to the adjacent four-storey stacked townhouse buildings – ***Considered. Landscaped roofs were considered but not included as they would not be (very) visible from the street. The transition in building height provides the transition to the neighbourhood to the south.***
- appreciate the comprehensive package provided to the Panel which explains well the complex and dense project – *Noted.*
- the stacked townhouse building typology is well done; however, support the Panel comment for the applicant to consider introducing architectural treatments and further articulation to the building facades to differentiate the stacked townhouse units in the four-storey building mass – ***Considered. Colour variations give subtle reference to the stacked nature of the homes.***
- appreciate the concept of visual and physical porosity in the project; the north-south public greenways along both edges of the site guarantee the porosity of the project; however, the concept of porosity could be further strengthened by narrowing the width of the central walkway to increase the width of tight internal courtyard spaces, for example between buildings 4-a and 4-b and buildings 3-a and 3-b – ***Considered. The design provides a hierarchy of spaces between the buildings.***
- consider eliminating the proposed free-standing indoor amenity building as the indoor amenity spaces could be tucked into the perimeter of one of the buildings surrounding the central outdoor amenity area; the move would result in a larger landscaped space in the outdoor amenity area – ***Considered. The indoor amenity space is retained separate from residential units to provide privacy for neighbouring units from people gathering and***

making noise, for users of the amenity space feel more comfortable as a result of some separation to the neighbours, to improve the site permeability and lighting of the courtyard.

- the provision of a retractable awning outside the indoor amenity building is successful; however, it could be accommodated in one of the buildings surrounding the outdoor amenity area – ***Considered. No other opportunities were discovered.***
- not concerned about the transition from three-storey duplex buildings along River Drive to four-storey stacked townhouse buildings in the interior of the site; however, consider introducing a different material and colour palette for the three-storey duplex buildings – ***Considered. A similar colour palette is used on all buildings for individual buildings to read as parts of a whole. To create some subtle variety, the siding colour on the ground floor of the 3 storey townhouses was revised.***
- the use of hardie materials throughout the development is excessive; consider introducing one or two different materials which are not hardie, particularly on the ground level – ***Considered. The use of Hardie materials throughout a whole project is typical and practical in the riverfront location. A variety of Hardie products are incorporated. The horizontal siding, has a thickness and finish that looks like wood siding, with four different stain colours. The Hardie boards are white and 9 different accent colours (8 blue tones plus yellow). These Hardie materials are complimented by other materials, such as glazing for railings and stair enclosures, and metal mesh guard rails in front of balconies.***
- the enclosed stair towers facing the internal courtyards between buildings appear heavy; consider making them more visually porous to provide a clearer building mass with a space/break between the buildings – ***Design improved. The exterior wall of the stair enclosure has been revised to increase glazing. The internal stair enclosure wall that is facing the courtyard has been revise to glazing on the ground floor, which will improve lighting and views in the courtyards. The upper portion of this wall will remain solid, to avoid direct sightlines from the stair into the adjacent bedrooms and protects the exits from fire in units.***
- Support the Panel comment to consider eliminating the proposed free-standing indoor amenity building and combining indoor amenity spaces into one of the buildings surrounding the outdoor amenity area, preferably into Building 4-C. – ***Addressed above.***

Panel Decision

It was moved and seconded

That DP 16-747620 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



City of
Richmond

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 10333 River Drive

File No.: DP 16-747620

Prior to forwarding this Development Permit to Council for approval, the Owner must complete the following requirements:

1. **[Landscape Security]** Entering into a legal agreement and submission of a Letter of Credit for landscaping in the amount of \$394,555.48.
2. **[Parc Riviera Amenity Contribution]** Submission of \$500,000 to the City's amenity reserve, which will also satisfy compliance with existing legal agreement requiring submission of prior to BP issuance.
3. **[Dike SRW]** Granting of 7.3 m wide dike statutory right-of-way (SRW) along the entire north property line of the site.
4. **[East and West Public Walkway SRWs]** Granting of 3 m wide public-rights-of-passage statutory right-of-way (PROP SRW) along the entire west and east property lines of the site for the purposes of providing wayfinding signage and public pedestrian access to/from the Dike walkway and River Drive sidewalk (east SRW area to be widened to 6 m wide through future development of 10611 River Drive). The works are to be built and maintained by the owner. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the owner's maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with good engineering practice with the objective to optimize public safety and after completion of the works, the Owner is required to provide a certificate of inspection for the works, prepared and sealed by the Owner's Engineer in a form and content acceptable to the City, certifying that the works have been constructed and completed in accordance with the accepted design.
5. **[Obsolete Servicing Agreement 'no development' charge]** Discharge 'no development' or DP application legal agreement (BB4018177) requiring entering into a Servicing Agreement for Waterfront Trail and Riverfront Dike works, which Servicing Agreement has been entered into (SA 15-707864) and the discharge was previously approved (ZT 15-691748).
6. **[Obsolete community amenity 'no development' charge]** Discharge 'no development' legal agreement (BB4018179) requiring voluntary contribution of \$1,000,000 or provision of 464.5 m² of community use space, which funds were received via DP 15-694616.
7. **[Obsolete child care facility 'no development' charge]** 'No development' or Building Permit application legal agreement (BB4018181) requiring entering into a legal agreement securing provision of a child care facility, which was secured as a part of the second phase approved Development Permit application (DP 15-694616) and the discharge was previously approved (ZT 15-691748).
8. **[Obsolete Utility SRW]** Discharge existing 3 m wide utilities SRW Plan EPP49413 across the River Drive frontage of the site (CA4664641 & CA4664642).
9. **[Obsolete Servicing Agreement 'no development' charge]** 'No development' legal agreement (CA4664647) restricting Development Permit issuance prior to entering into a Servicing Agreement for road and engineering works, which Servicing Agreement has been entered into (SA 15-707866).
10. **[ESA]** Environmentally Sensitive Area considerations, including:
 - a) Entering into a legal agreement and submission of a Letter of Credit for ESA landscaping and monitoring in the amount of \$44,975.15 (including materials, labour, and 10% contingency). The security will be released in stages, with 50% release after substantial completion and 10% releases each year for the five years after substantial completion.

- b) Registration of an ESA protective covenant on title to identify the modified ESA enhancement area, ESA landscape plan, protect vegetation and to ensure no future construction or alteration of the ESA, with terms to be based on recommendations of the QEP report.
- c) Registration of an ESA statutory right-of-way on title to allow City access to the protected area in case conditions of the covenant are not maintained (i.e. in case the City needs to enter the lands to restore disturbed vegetation and charge the costs to the owner).

11. **[Servicing Agreement]** Enter into a Servicing Agreement* for the design and construction of works for frontage improvements, to accommodate pedestrian connection from the dike walkway to River Drive along the east edge of the site, and to widen the existing pedestrian connection from the dike walkway to River Drive along the west edge of the site. A Letter of Credit security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to the following.

- a) Transportation Works: A functional plan will be required as part of the Servicing Agreement to finalize the design elements of the following works.
 - i) Provide a pedestrian crossing on River Drive to connect through the proposed east pedestrian walkway public-rights-of-passage statutory right-of-way (PROP SRW) to the waterfront trail, without any conflicts with existing driveways on the south side of River Drive. Coloured textured pavement at a marked crosswalk to match other crosswalks along River Drive. As well, special pavement marking and signage will be required at the interface of the sidewalk and internal walkway to advise and appear as a public facility. Speed deterrent measures such as bollards may be required at the River Drive side of the walkway. Additional road works may include curb extension modifications on the north side of River Drive, lighting and a raised crossing with decorative treatment.
 - ii) Provide an east pedestrian internal walkway located in the required 3 m wide public-rights-of-passage statutory right-of-way (PROP SRW) along the east edge of the site and connecting to the waterfront trail and the River Drive sidewalk. Provide an accessible pedestrian path in the along the entire east edge of the site with an interim cross-section from west to east of 1.5 m wide landscaping with lighting strip and minimum 1.5 m wide concrete paving, and safety fencing/barriers/retaining walls as needed. Compaction test results for the walkway sub-base to be submitted to the City for review prior to placement of concrete. Provide 6 m wide ultimate cross-section design (which is to be constructed as part of future redevelopment to the east), from west to east consisting of 1.5 m landscaping, 3 m wide concrete paving, and 1.5 m landscaping.
 - ii) Complete the west pedestrian internal walkway to the ultimate 6 m width. Provide a pedestrian internal walkway located in the required 3 m wide public-rights-of-passage statutory right-of-way (PROP SRW) along the west edge of the site and connecting to the waterfront trail and the River Drive sidewalk. Provide an accessible pedestrian path in the 6 m wide public-rights-of-passage statutory right-of-way (PROP SRW) along the entire west edge of the site consisting of an existing 3 m wide SRW on adjacent 10311 River Drive and the required 3 m wide SRW on the subject site. Provide, from west to east, 1.5 m landscaping, 3 m wide concrete paving, 1.5 m landscaping, and safety fencing/barriers/retaining walls and lighting as needed. Compaction test results for the walkway sub-base to be submitted to the City for review prior to placement of concrete.
- b) Engineering Works to the satisfaction of the Director of Engineering:
 - i) Private utility works:
 - Pole relocations may be required at the south-west corner of River Drive and Shell Road junction due to the required road improvements and traffic calming works. The developer is responsible for coordination with private utility companies. Any required pole relocation shall be at the developer's cost.
 - Pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - Locate all above ground utility cabinets and kiosks required to service the development within the developments site (see list below for examples). A functional plan showing conceptual

locations for such infrastructure shall be submitted and shall be included in the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of way requirements and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:

BC Hydro LPT	Confirm size with BC Hydro, approximately 3.5 m x 3.5 m
BC Hydro PMT	Confirm size with BC Hydro, approximately 4.0 m x 5.0 m
BC Hydro Vista	Confirm size with BC Hydro
Street light kiosk	Approximately 2 m x 1.5 m
Traffic signal controller cabinet	Approximately 3.2 m x 1.8 m
Traffic signal UPS cabinet	Approximately 1.8 m x 2.2 m
Show possible locations in functional plan of the following:	
Shaw cable kiosk	Confirm size with Shaw, approximately 1.0 m x 1.0 m
Telus FDH cabinet	Confirm size with Telus, approximately 1.1 m x 1.0 m

ii) General:

- Any retaining walls exceeding 1 m in height requires a Building Permit. For walls retaining preload material, this permit must be obtained prior to construction of the retaining wall or installation of the preload material. Please see the new bulletin at the following link: http://www.richmond.ca/__shared/assets/permits5239047.pdf.
- It is the developer's responsibility to address the impact of the required road raising to the existing single family properties along the south side of River Drive from McLennan Avenue to Shell Road. The developer shall coordinate with the owner(s) of the affected properties the extent of works required in private properties. The developer shall get written consent or permission to work in private property from the owner(s) of the affected lots.
- Coordination works shall be at the developer's cost and may include but not be limited to the following:
 - Arborist assessment of the existing trees (e.g., City and privately owned) along the south side of River Drive from McLennan Road to Shell Road that may be impacted by the required road raising.
 - Community meetings and written notices to the individual owners of the affected lots.
 - Design/drawings showing the required works inside each property affected by the road raising. The required works inside private property may include but not limited to the following: (i) removal and reinstatement of existing driveways that may require construction of a retaining wall on each side of the reinstated driveways on private property; and (ii) landscaping repairs and / or replacement as may be required.
 - Individual sign-off sheet that shall indicate the extent of the required works in private properties. The owner(s) of the affected lots shall sign the sign off sheet to permit the required works to be completed in their properties.
 - Community notices and individual sign off sheets shall be reviewed and approved by staff prior to sending to the affected properties.
- Provide, prior to first SA design submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site, proposed utility installations and provide mitigation recommendations. The mitigation recommendations (if required) shall be incorporated into the first SA design submission.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing,

monitoring, site preparation, de watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Prior to future Building Permit* issuance, the owner must complete the following requirements:

1. **[Rezoning/Development Permit]** Incorporation of features in Building Permit plans as determined via the Rezoning and/or Development Permit processes, including accessibility, sustainability, amenity and landscape design measures. All landscaped areas are to be provided with an irrigation system.
2. **[Aircraft Noise Sensitive Development]** Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
 - a. Acoustic report prepared by a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b. Mechanical report prepared by a registered professional confirming design achieves the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
3. **[Construction Traffic And Parking Management Plan]** Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
4. **[Latecomer Works]** If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
5. **[Construction Hoarding]** The applicant is required to obtain a Building Permit* for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*

Prior to Occupancy of any building on the lands, the developer is required to complete the following:

1. **[Dike, Road and Park works]** Complete construction of Servicing Agreement works for the central park, dike and waterfront trail works as secured with 'no development' covenant (BB4018175).

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

Signed

Date



No. DP 16-747620

To the Holder: PARC RIVIERA PROJECT INC.
Property Address: 10333 RIVER DRIVE
Address: C/O NELSON CHUNG
PARC RIVIERA PROJECT INC.
2680 SHELL ROAD, UNIT 228,
RICHMOND, BC V6X 4C9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Permit upper floor building bay projections of maximum 0.6 m into the east side yard and 0.75 m into the west side yard limited to the northeast and northwest buildings only.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #42 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$394,555.48 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 16-747620

To the Holder: PARC RIVIERA PROJECT INC.

Property Address: 10333 RIVER DRIVE

Address: C/O NELSON CHUNG
PARC RIVIERA PROJECT INC.
2680 SHELL ROAD, UNIT 228,
RICHMOND, BC V6X 4C9

-
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

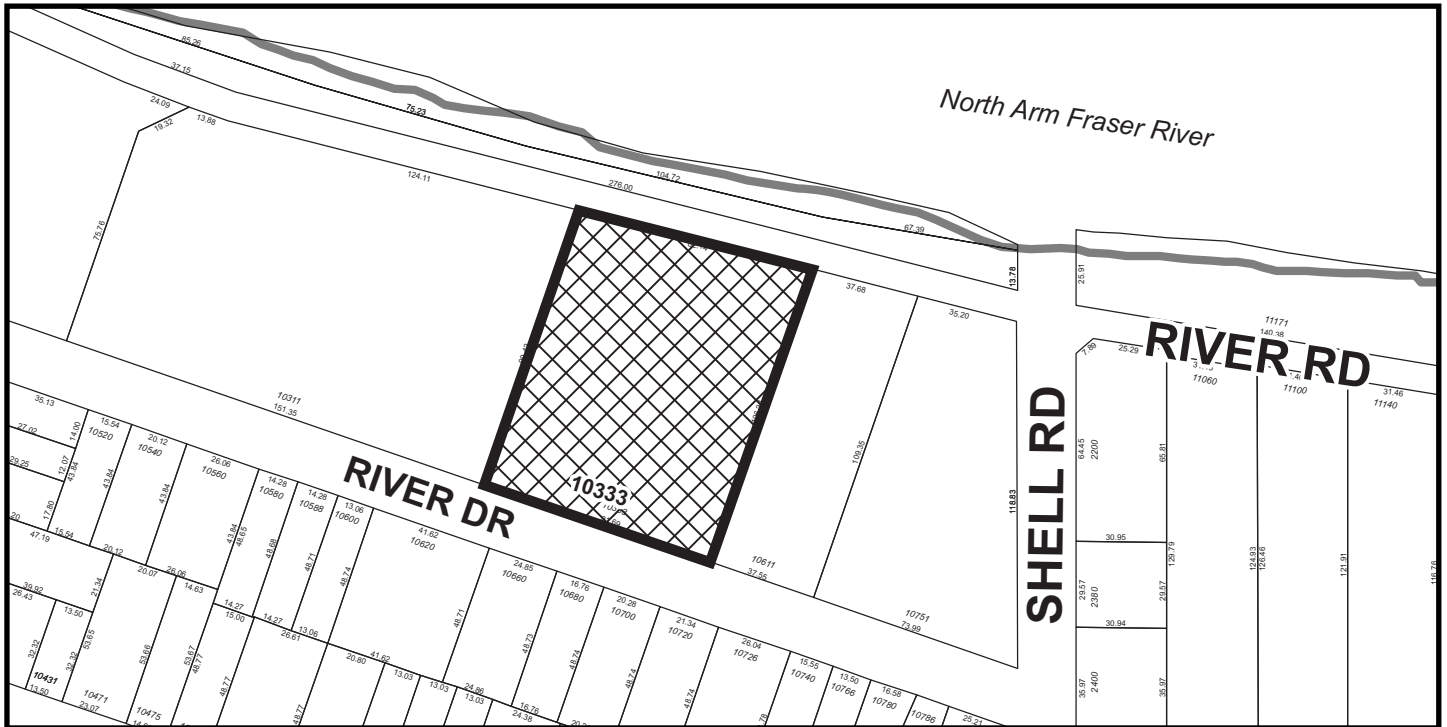
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 16-747620
SCHEDULE "A"

Original Date: 11/09/16

Revision Date:

Note: Dimensions are in METRES

EXISTING ZONE - ZMU17
PROPOSED ZONE - ZMU17

Site Area	8408.9 sm	2.077881 acre	Permitted FAR	1.38				
FAR Calculation								
	Parking	1st Floor	2nd Floor	3rd Floor	4th Floor	Rooftop	TOTAL	
Buildings (incl. Amenity)	108.93	2981.42	3153.69	2606.68	2493.67	302.66	11,647.05	sm
Stairs & Elevators		125.04					125.04	sm
Electrical Closets	1.67	3.34					5.01	sm
Gross Floor Area	110.60	3109.80	3153.69	2606.68	2493.67	302.66	11,777.10	sm
Utility Room Exclusion	-1.67	-35.57	-29.49				-	66.73 sm
Amenity Room Exclusion		-71.22	-48.69				-	119.91 sm
TOTAL NET FLOOR AREA	108.93	3003.01	3075.51	2606.68	2493.67	302.66	11,590.46	sm
							FAR	1.378

Unit Sizes											
			Parking	1st Floor	2nd Floor	3rd Floor	4th Floor	Rooftop	TOTAL GROSS	TOTAL	
4	A	3 Bed	13.62	57.95	58.41	0	0	0	129.98	519.92	sm
4	B	3 Bed	13.62	56.09	58.41	0	0	0	128.12	512.48	sm
10	C1	3 Bed	0	61.78	67.4	0	0	0	129.18	1291.8	sm
4	C2	3 Bed	0	61.78	67.73	0	0	0	129.51	518.04	sm
4	C3	3 Bed	0	61.78	67.73	0	0	0	129.51	518.04	sm
8	C4	3 Bed	0	61.78	67.73	0	0	0	129.51	1036.08	sm
2	C5	3 Bed	0	61.78	65.13	0	0	0	126.91	253.82	sm
10	D1	3 Bed	0	0	0	67.4	64.85	7.93	140.18	1401.8	sm
12	D2	3 Bed	0	0	0	67.73	61.78	7.93	137.44	1649.28	sm
4	D3	3 Bed	0	0	0	67.73	64.85	7.93	140.51	562.04	sm
2	D4	3 Bed	0	0	0	65.13	64.85	7.93	137.91	275.82	sm
2	E1	3 Bed + Den	0	87.6	89.57	0	0	0	177.17	354.34	sm
2	E2	3 Bed + Den	0	82.68	82.68	0	0	0	165.36	330.72	sm
2	F1	3 Bed + Den	0	0	0	89.57	87.6	15.33	192.5	385	sm
2	F2	3 Bed + Den	0	0	0	82.68	82.68	7.93	173.29	346.58	sm
2	G1	4 Bed + Den	0	89.93	95.04	0	0	0	184.97	369.94	sm
2	G2	3 Bed + Den	0	89.93	92.02	0	0	0	181.95	363.9	sm
2	H1	4 Bed + Den	0	0	0	95.04	89.93	7.93	192.9	385.8	sm
2	H2	3 Bed + Den	0	0	0	92.02	97.17	7.93	197.12	394.24	sm
80										11,469.64	sm

Notes:

- Variance included to allow upper floor bay projection on northwest building of 0.75 m into West side yard and on the northeast building of 0.6 m into East side yard
- 4 Accessible units required to comply with Basic Universal Housing Zoning Bylaw requirements and BCBC Accessible housing standards.
- 8 Convertible units required to comply with noted features
- Indoor amenity building provided for the shared use of all residents
- Development required to comply with Step Code
- Development required to meet indoor acoustic and thermal criteria as per legal agreement
- Hose bibs and irrigation systems to be provided in all landscaped areas, but not in the ESA.
- ESA to be planted, fenced, maintained and protected as per legal agreement.
- Servicing Agreement required. Off-site and SRW works to be provided via separate Servicing Agreement for frontage and public pedestrian walkways.
- This Development Permit does not include signage. All signage required to comply with Sign Regulation bylaw 9700, including submitting separate sign permit applications as needed.

BUILDING COVERAGE			39.40%
UNIT		COVERAGE	
COUNT	UNIT TYPE	FOOTPRINT	TOTAL AREA
4	A	54.73	218.92
4	B	54.73	218.92
10	C1	61.78	617.80
4	C2	61.78	247.12
4	C3	61.78	247.12
8	C4	61.78	494.24
2	C5	61.78	123.56
2	E1	87.60	175.20
2	E2	82.68	165.36
2	G1	89.93	179.86
2	G2	89.93	179.86
1	Utility Parking	1.67	1.67
1	Utility 1st Fl	35.57	35.57
1	Stairs & Elev.	125.04	125.04
1	Amenity	71.22	71.22
1	Overhead Walkw.	211.69	211.69
			3313.15

BUILDING HEIGHT		
	MAXIMUM	PROPOSED
0-20 m fr. Front Property Line	10 m	9.6 m
20-36 m fr. Front Property Line	15 m	15.0 m
> 36 m fr. Front Property Line	26 m	15.6 m

SET BACK		
	MIN. REQUIRED	PROPOSED
FRONT YARD	3.0 m	3.11 m
REAR YARD	7.5 m	7.63 m
SIDE YARD- East	6.0m	6.02m
SIDE YARD- West	6.0m	6.00 m

GARBAGE	
GARBAGE/RECYCLING	CENTRALIZED PICK-UP

PARKING DATA		see page 4 for details
	REQUIRED	PROPOSED
Residential Parking	142	162
Visitor Parking	16	16
HC Parking	4	5
BICYCLE- Class 1	100	130
BICYCLE- Class 2	16	18
LOADING	-	-

Townhouse
Ground Floor Unit
Upper Floor Unit

SITE DATA

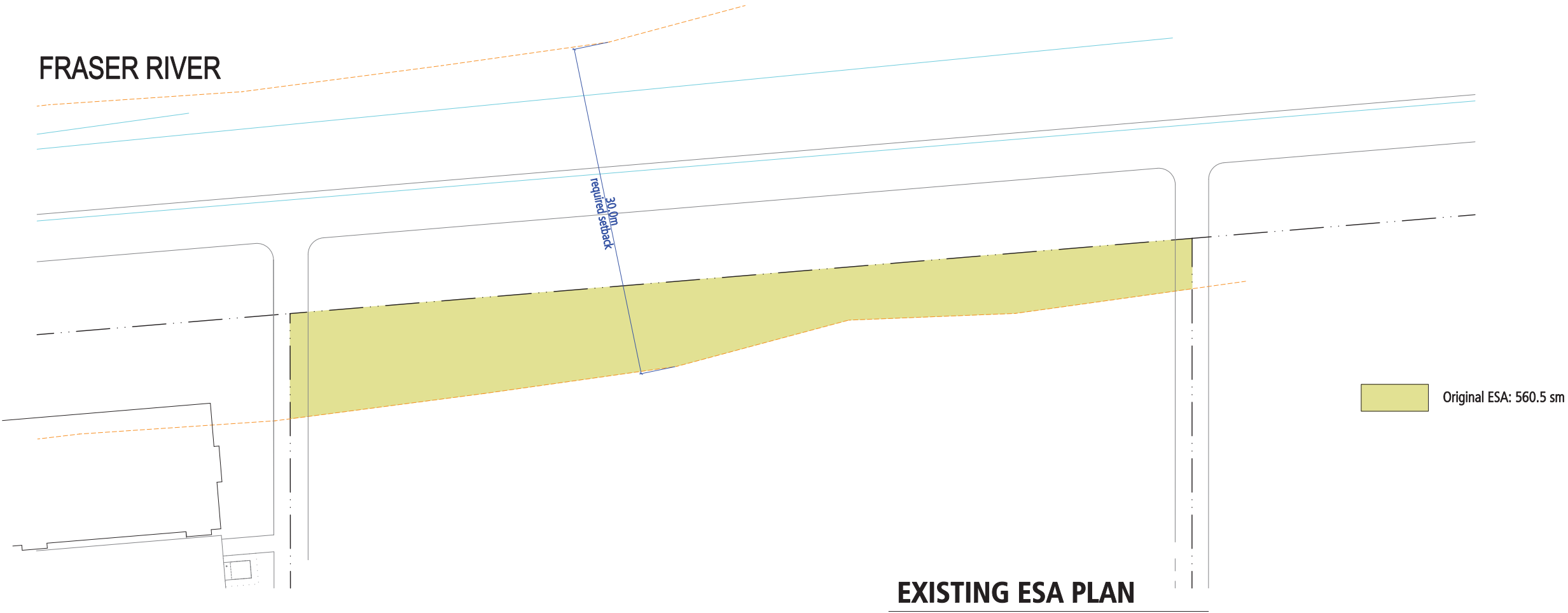
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May 23, 2021

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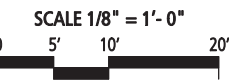


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FRASER RIVER

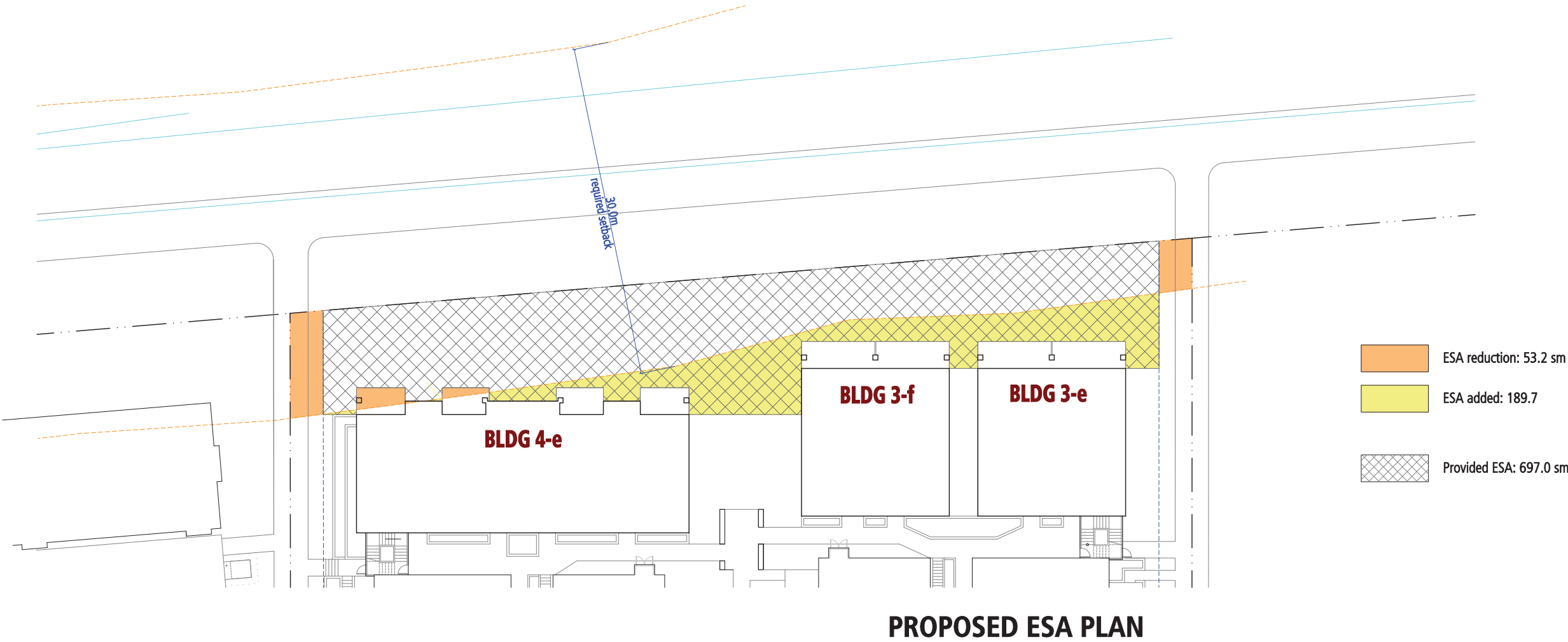


ESA AREA

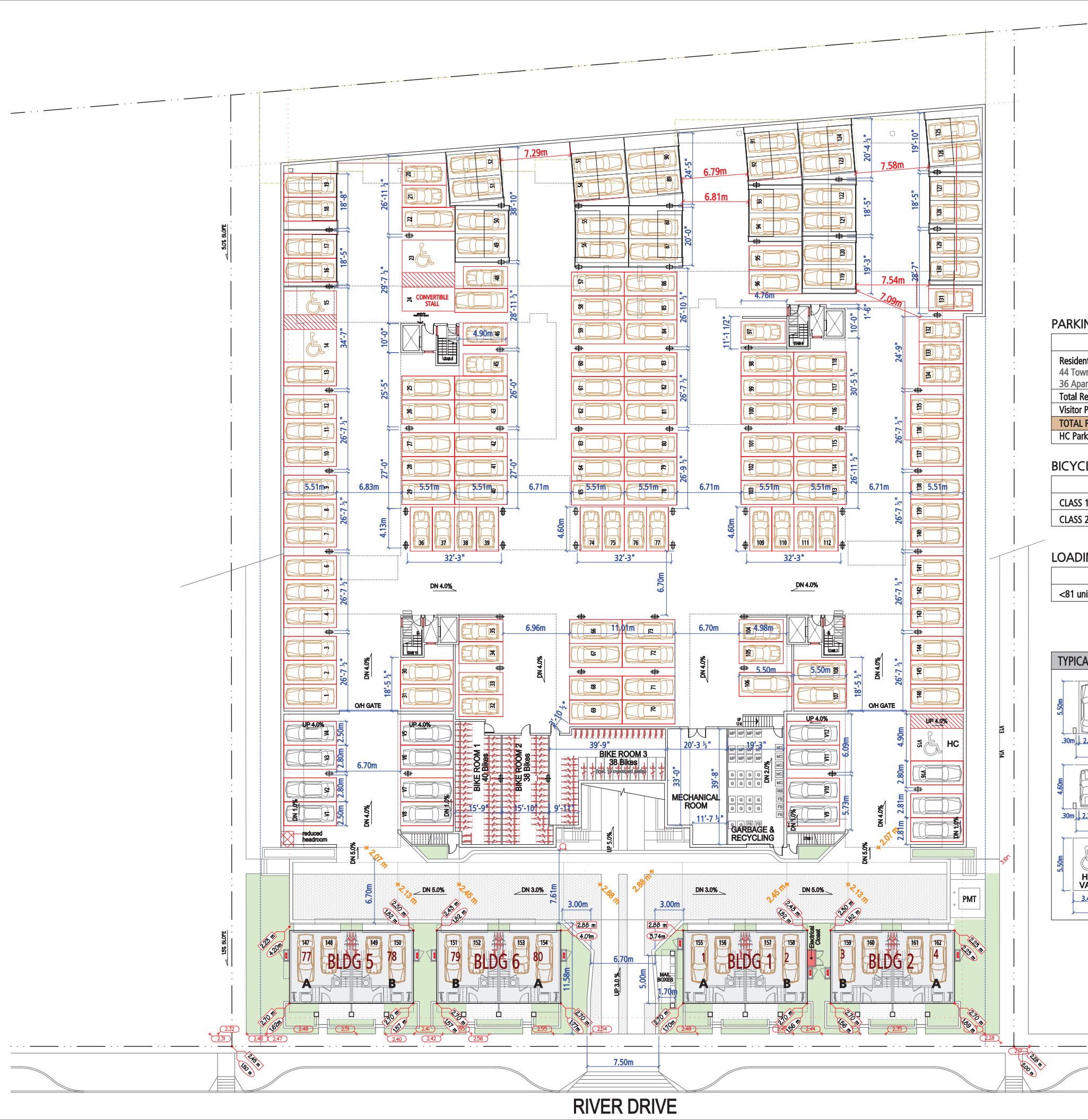


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----- Outline of Provided ESA

- Visitor Parking
- Residential Parking

Parkade Area 5,297 sm

PARKING DATA

	REQUIRED	PROVIDED	breakdown
Residential Parking			
44 Townhouses	2 spaces/ unit 88		123 Regular Size Stalls
36 Apartments	1.5 spaces/ unit 54		36 Small Size Stalls
Total Residential	142	162	3 Accessible Stalls
Visitor Parking	0.2 spaces/ unit 16	16	15 Regular Size Stalls
TOTAL PARKING	158	178	1 Accessible Stalls
HC Parking	2% of required spaces 4	4	

BICYCLE DATA

	REQUIRED	PROVIDED	breakdown
CLASS 1	1.25 spaces/ unit 100	132	94 Regular Stalls
CLASS 2	0.2 spaces/ unit 16	18	28 Vertical Stalls
			10 Cargo bike Stalls

LOADING

	REQUIRED	PROVIDED
<81 units	none	none

CURRENT PARKING PLAN

SCALE 1/16" = 1'-0"

0m 3m 10m 15m

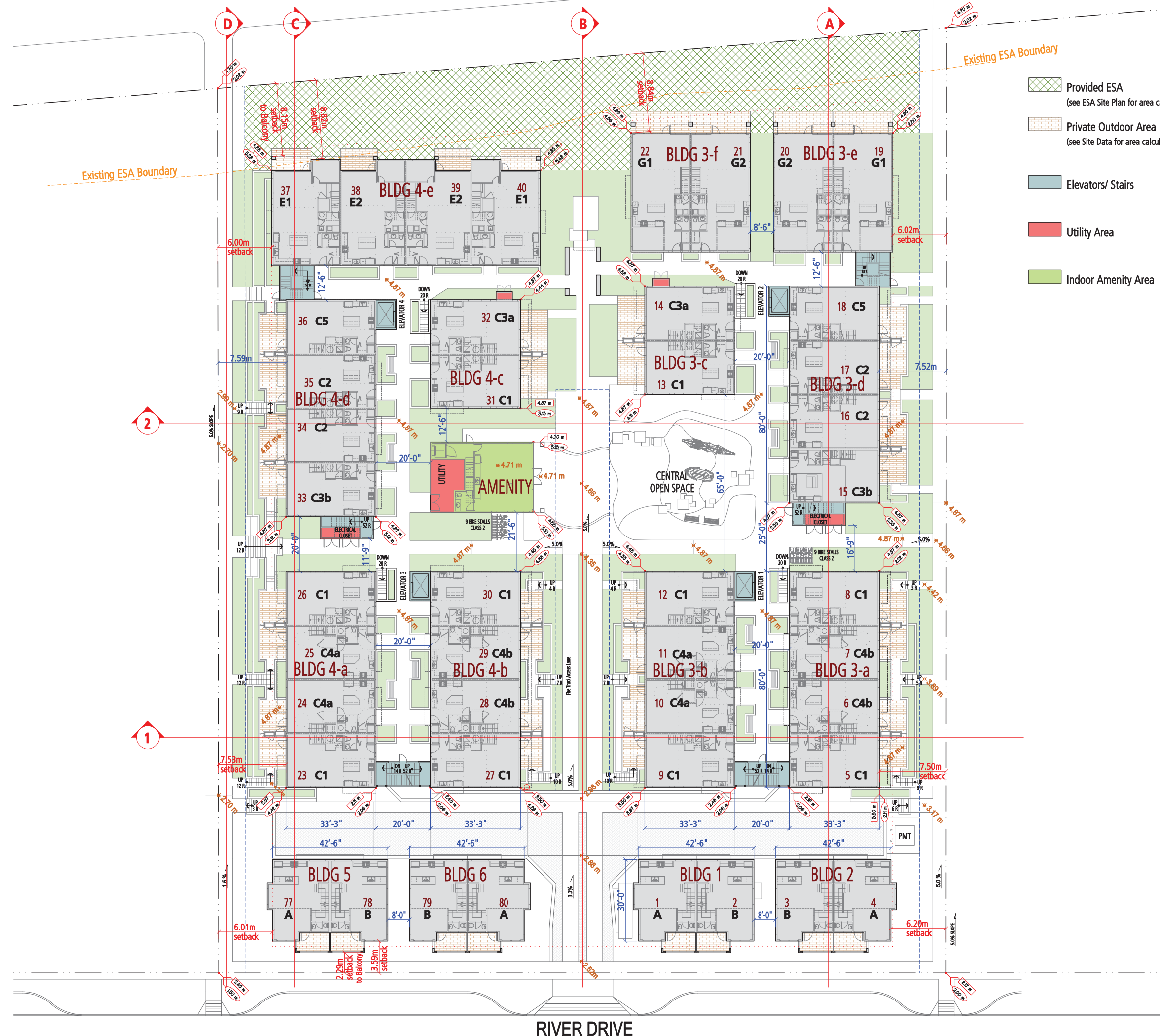
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TYPICAL CAR STALL SIZES	TYPICAL BIKE STALL SIZES
 REGULAR SIZE 2.5 m x 5.5 m	 HORIZONTAL 1.8 m x 0.6 m
 SMALL SIZE 2.3 m x 4.6 m	 VERTICAL 1.0 m x 0.6 m
 HC STALLS	 OVERSIZED 2.4 m x 0.9 m

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- Provided ESA
(see ESA Site Plan for area calculation)
- Private Outdoor Area
(see Site Data for area calculation)
- Elevators/ Stairs
- Utility Area
- Indoor Amenity Area



BLOCK PLAN 1st FLOOR

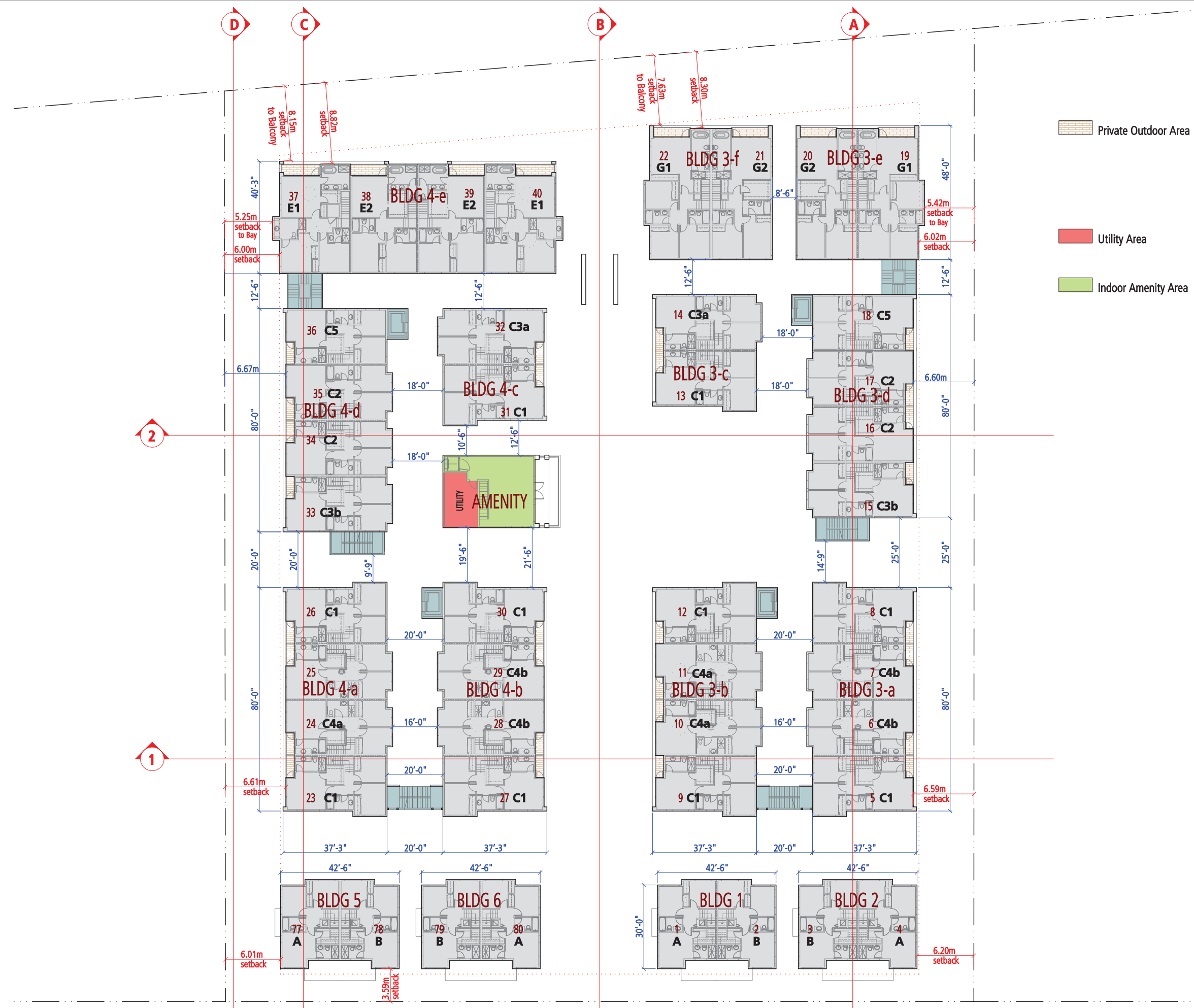
SCALE 1/16" = 1'-0"
0m 3m 10m 15m

Plan #5
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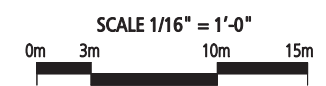
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- Private Outdoor Area
- Utility Area
- Indoor Amenity Area



BLOCK PLAN
2nd FLOOR

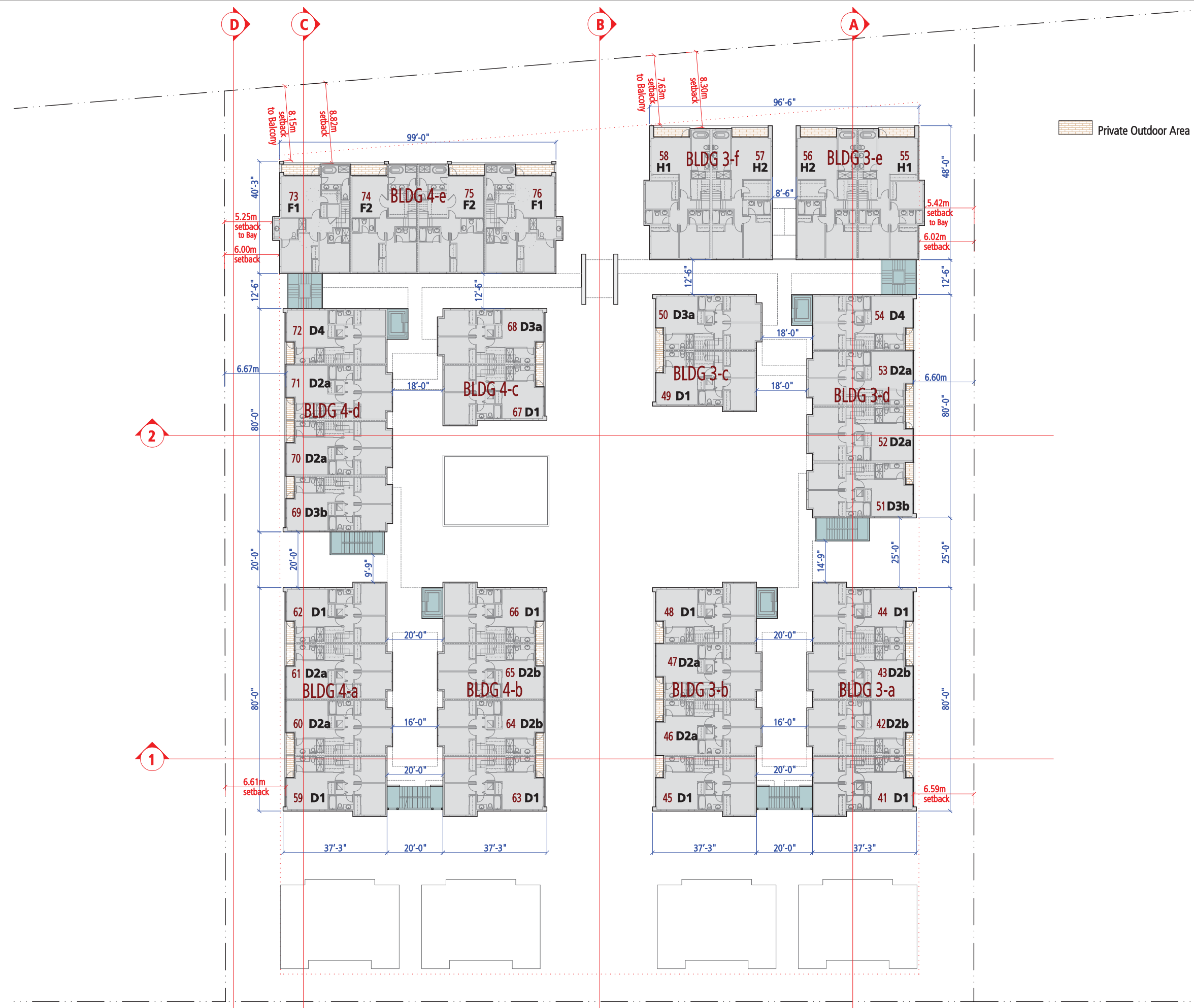


Plan #6
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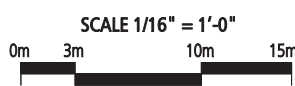
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**BLOCK PLAN
3rd FLOOR**

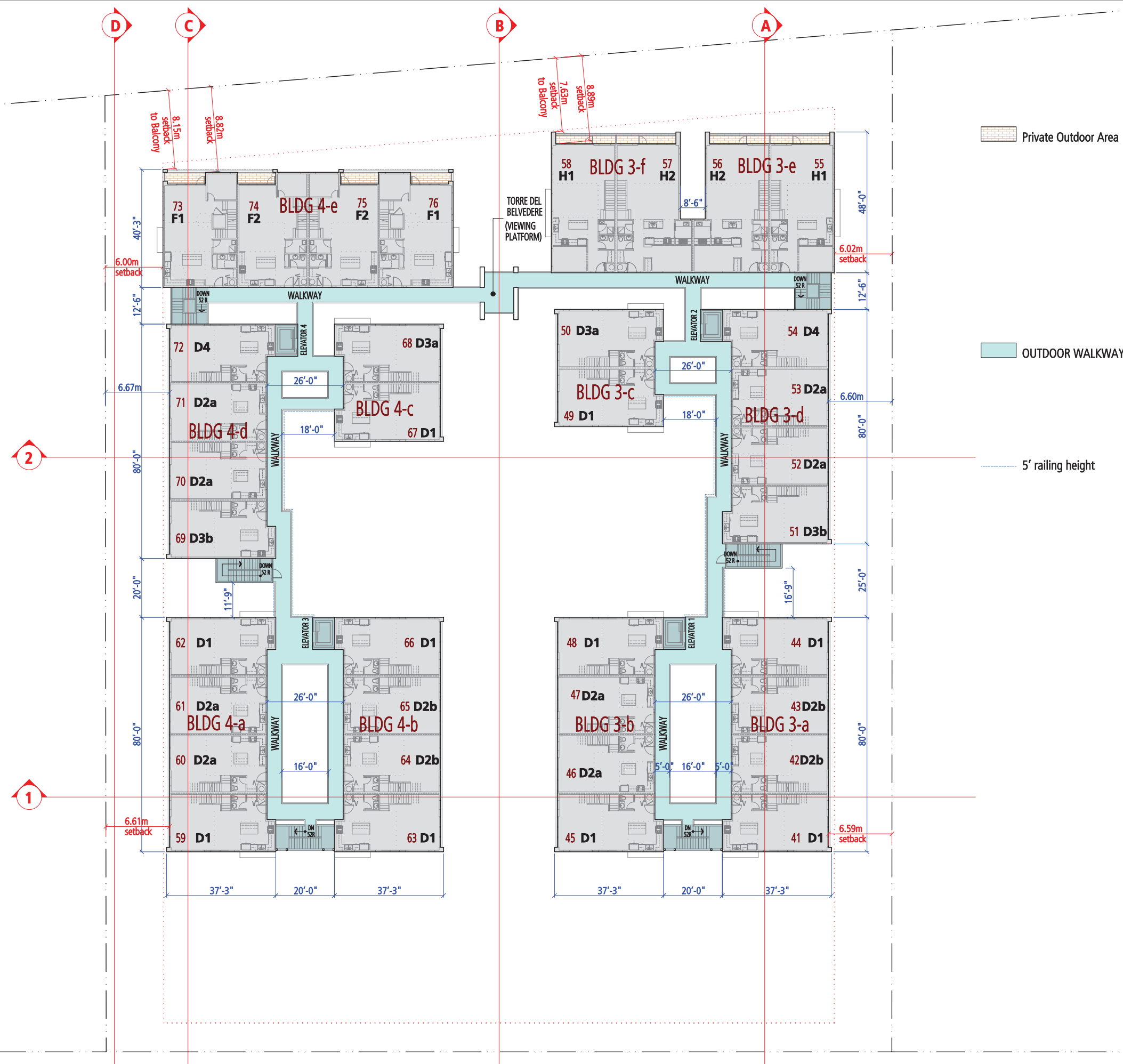


Plan #7
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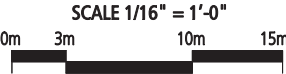
Private Outdoor Area

OUTDOOR WALKWAY

5' railing height



**BLOCK PLAN
4th FLOOR**

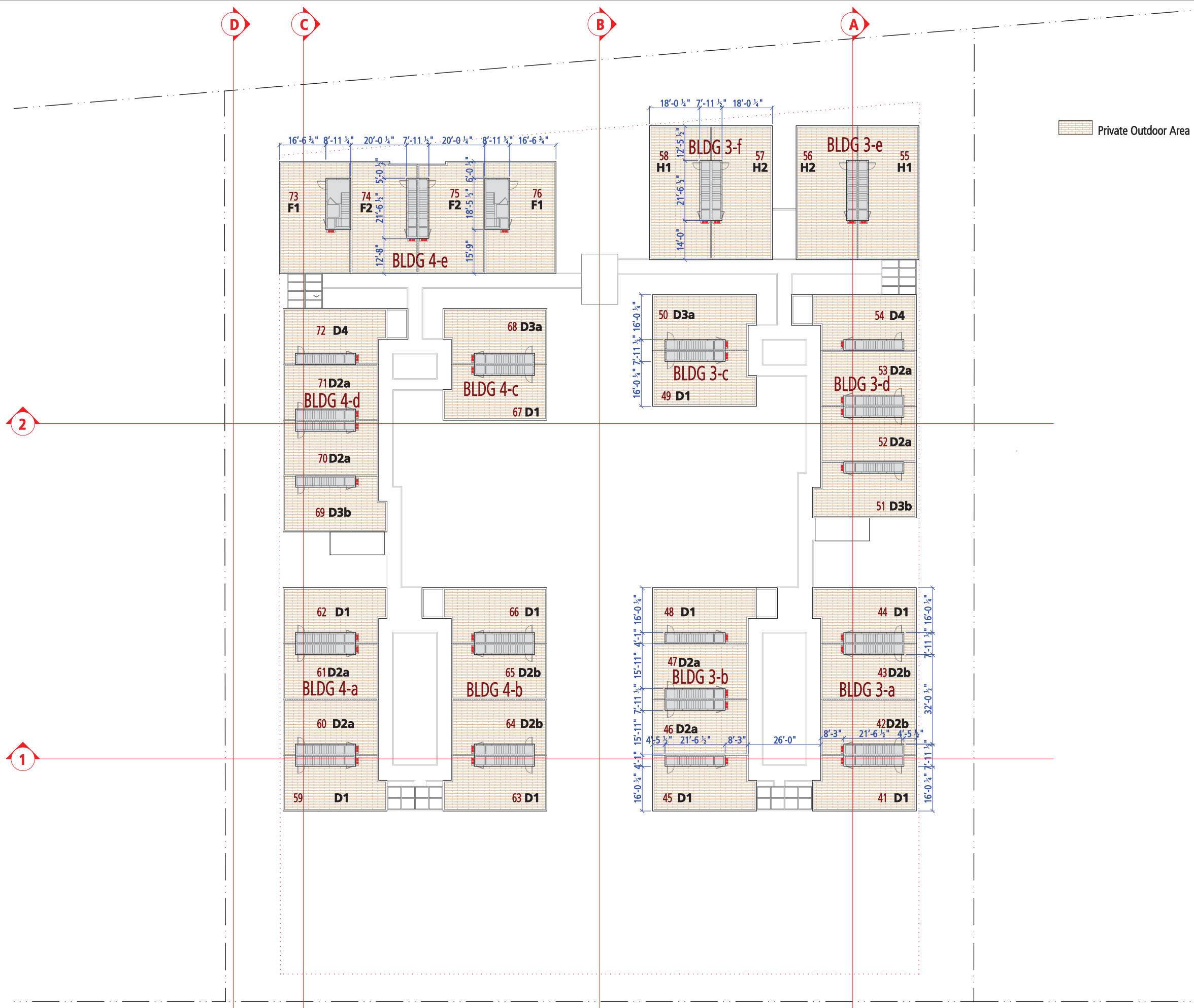


Plan #8
DP 16-747620
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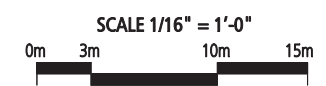
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Private Outdoor Area



BLOCK PLAN ROOF TOP

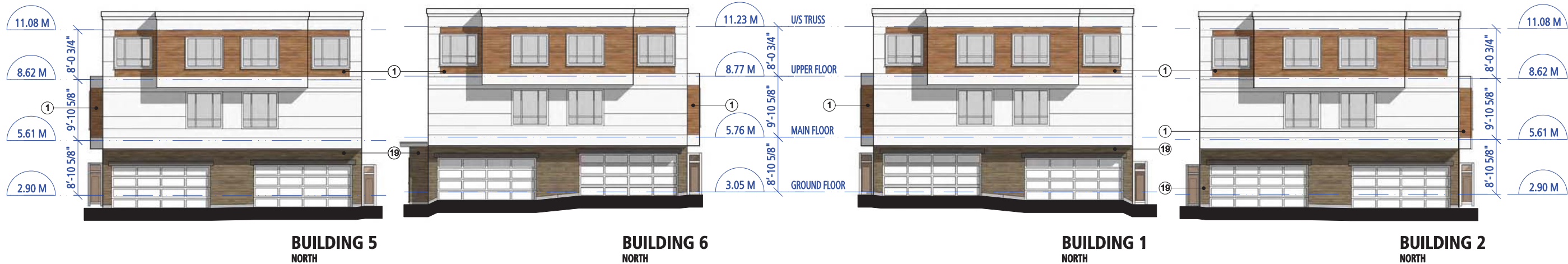
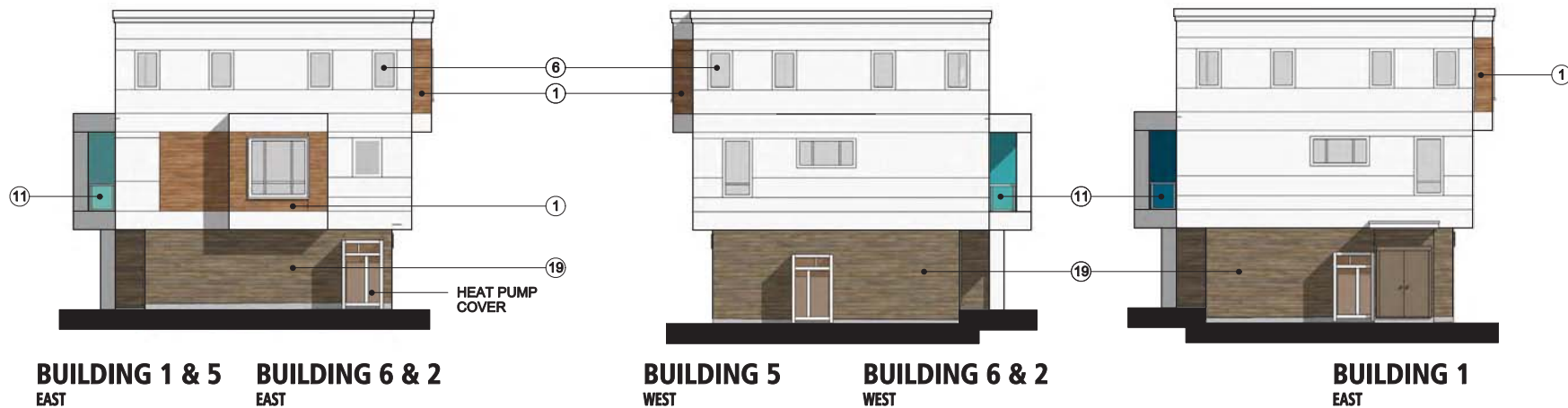
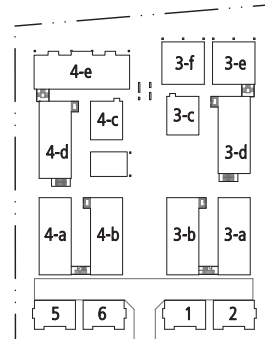
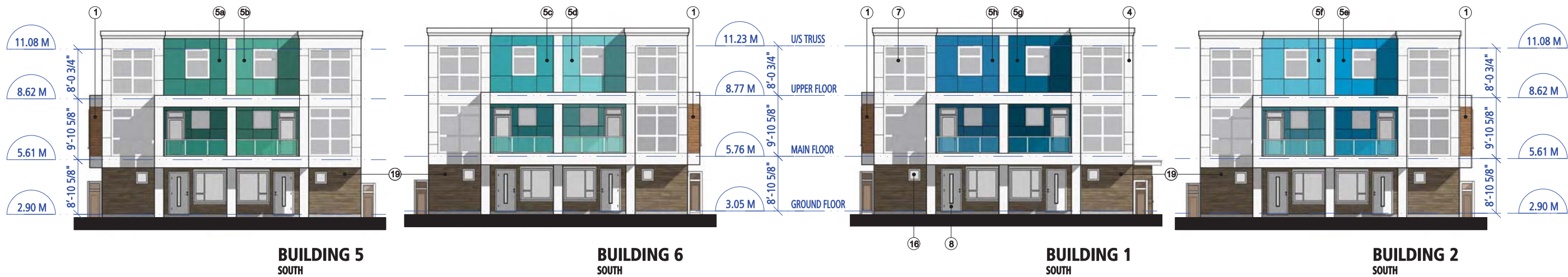


Plan #9
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ELEVATIONS

BUILDING 1, 2, 5 & 6

SCALE: 1/8" = 1'-0"

0 5' 15' 25'

Plan #10
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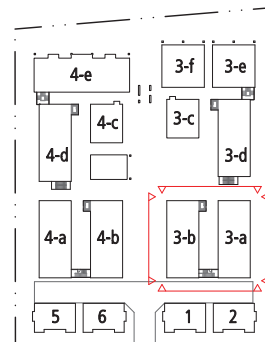
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19 Vancouver, BC V5T 4L6 fougerearchitecture.ca

EXTERIOR FINISHES SCHEDULE

1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except where noted

ACCENT COLOURS

5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6753 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6787 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield



SCALE: 1/8" = 1'-0"

Plan #11
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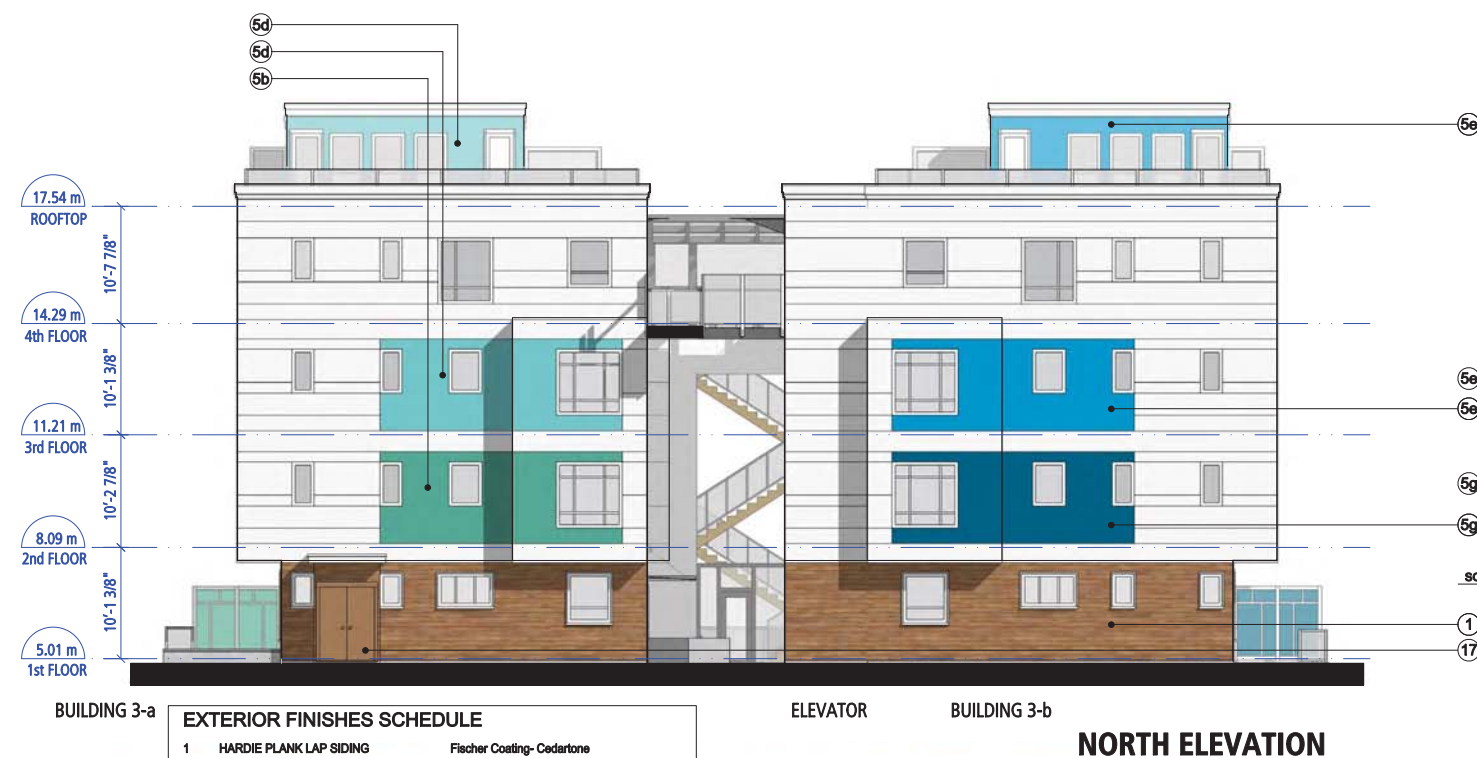


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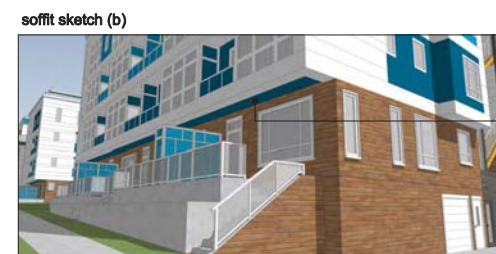
NORTH ELEVATION

WEST ELEVATION

EXTERIOR FINISHES SCHEDULE		
1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatherswood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 +j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arcite White, except were noted

ACCENT COLOURS

5a,	Sherwin Williams-SW6761 Thermal Springs
5b, 21 b	Sherwin Williams-SW6753 Jargon Jade
5c, 21 c	Sherwin Williams-SW6767 Aquarium
5d	Sherwin Williams-SW6766 Mariner
5e	Sherwin Williams-SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams-SW6787 Fountain
5g, 21 g	Sherwin Williams-SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams-SW6803 Danube
5j	Sherwin Williams-SW6676 Butterfield





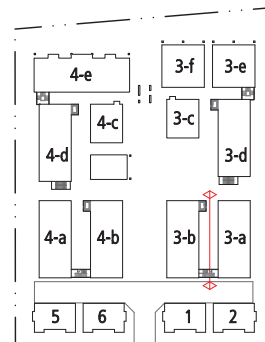
STAIR TOWER BUILDING 3-b ELEVATOR
EAST ELEVATION 2
interior courtyard

○ windows reflected from West Elevation 2



BUILDING 3-a STAIR TOWER
WEST ELEVATION 2
interior courtyard

○ windows reflected from East Elevation 2



ELEVATIONS

BUILDING 3 a-b

SCALE: 1/8" = 1'-0"
0 5' 15' 25'

Plan #12
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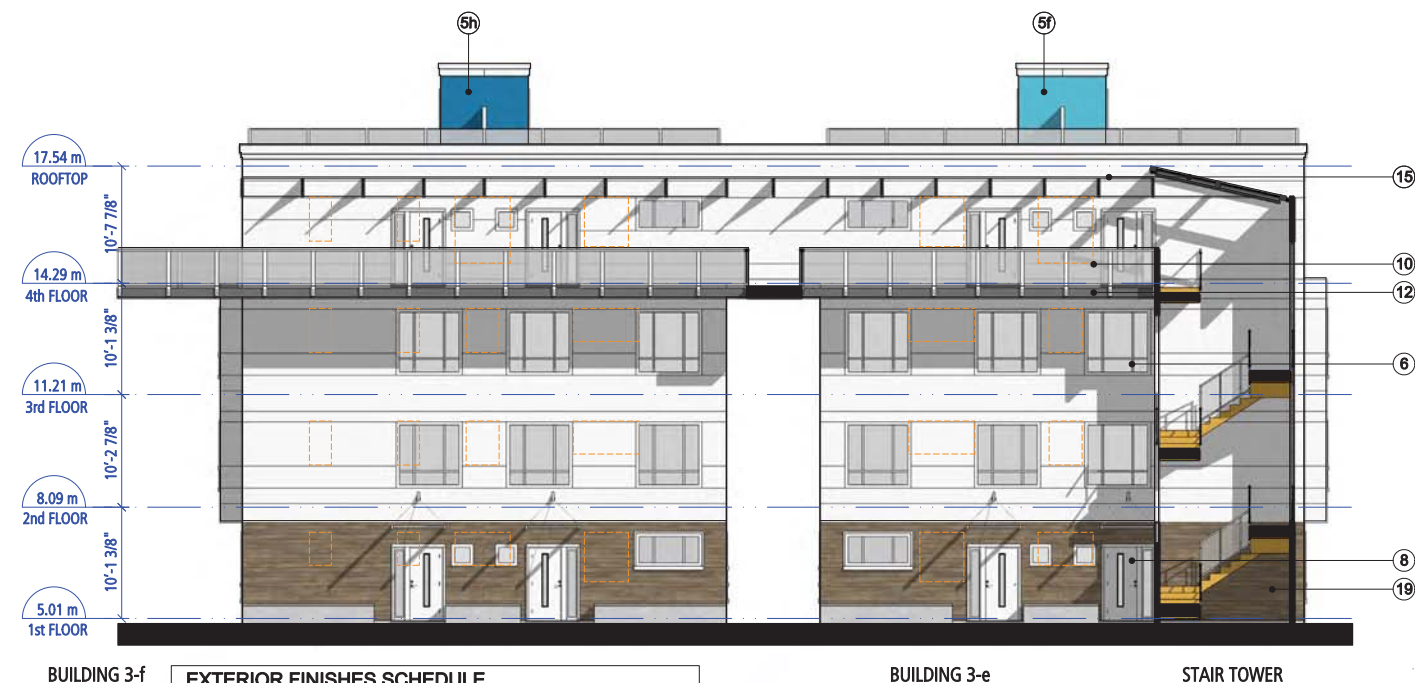
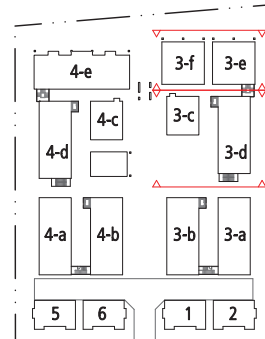
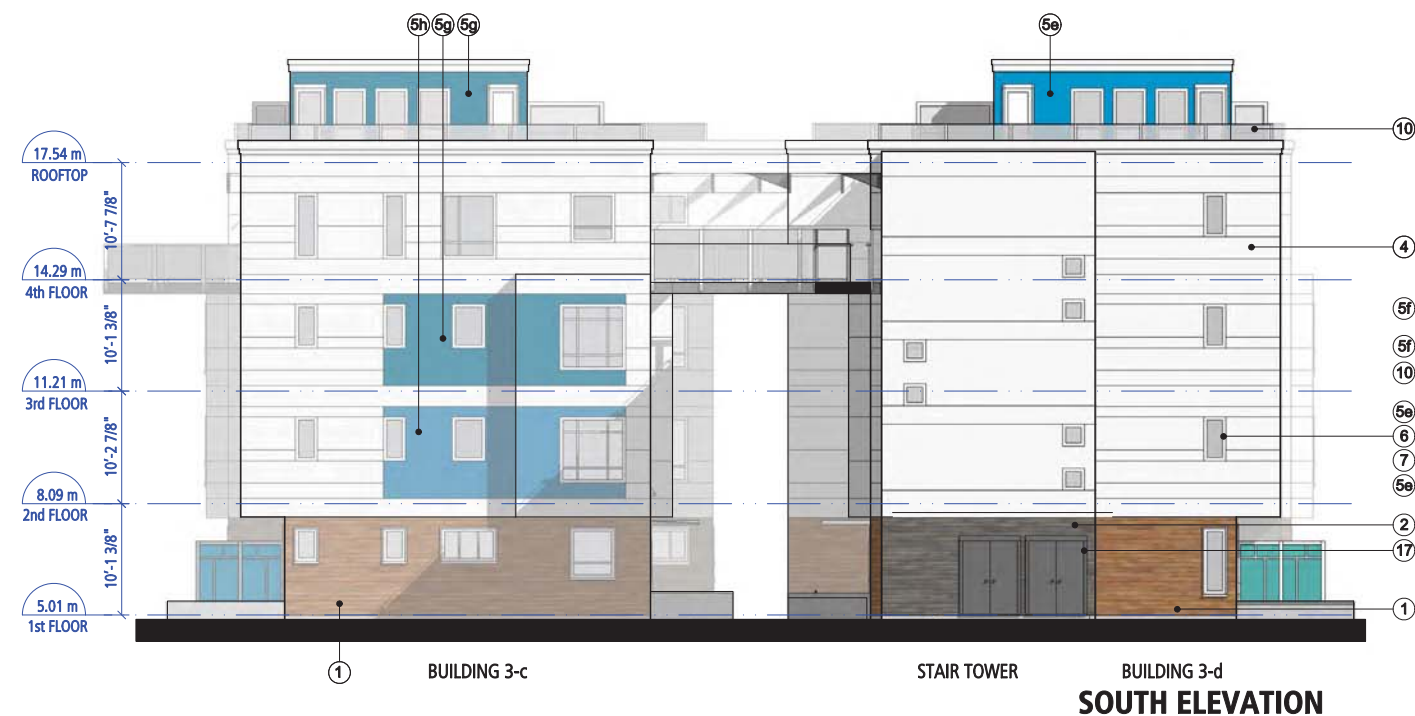
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EXTERIOR FINISHES SCHEDULE		
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2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
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13	STAIRS	Sherwin Williams- SW6676 Butterfield
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18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except where noted

ACCENT COLOURS	
5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6763 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6787 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield



ELEVATIONS BUILDING 3 c-f

SCALE: 1/8" = 1'-0"
0 5' 15' 25'

Plan #13
DP 16-747620
May 23, 2021

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EXTERIOR FINISHES SCHEDULE		
1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except where noted

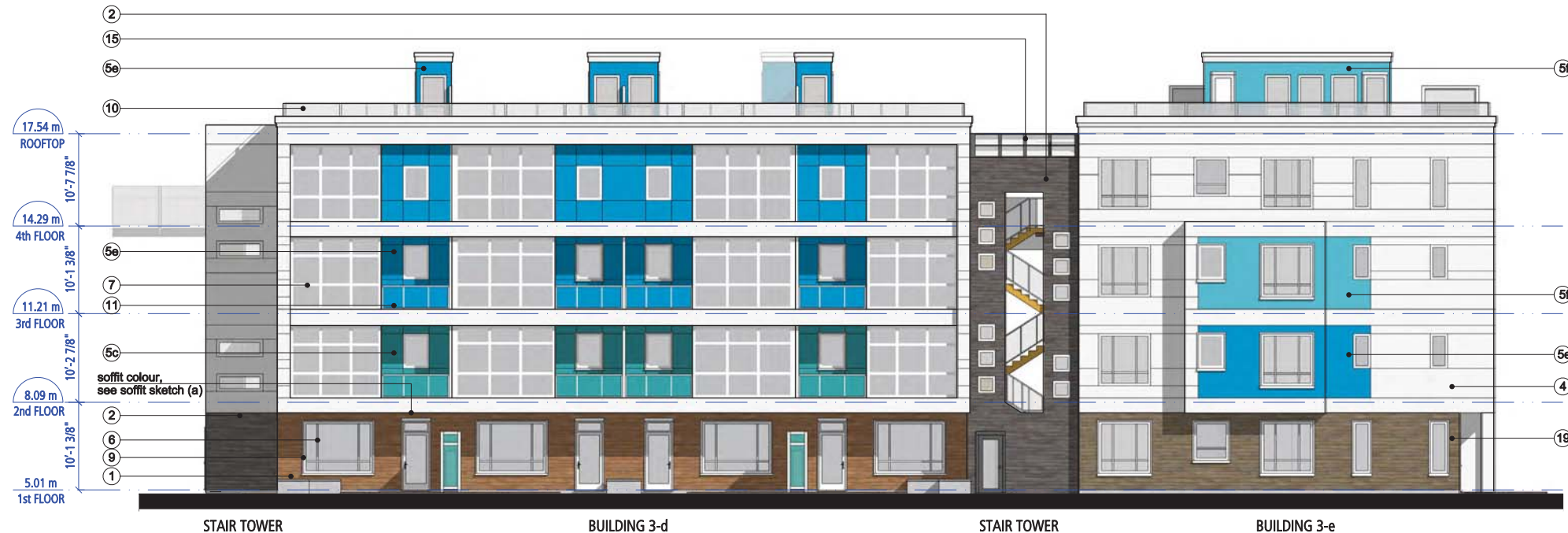
ACCENT COLOURS	
5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6753 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6787 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield

SOUTH ELEVATION 2 interior courtyard

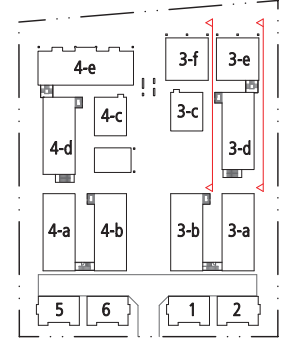
□ windows reflected from North Elevation 2

NORTH ELEVATION 2 interior courtyard

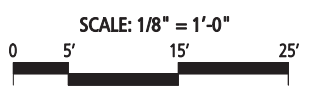
□ windows reflected from South Elevation 2



EAST ELEVATION



ELEVATIONS
BUILDING 3 c-f



Plan #14
DP 16-747620
May 23, 2021

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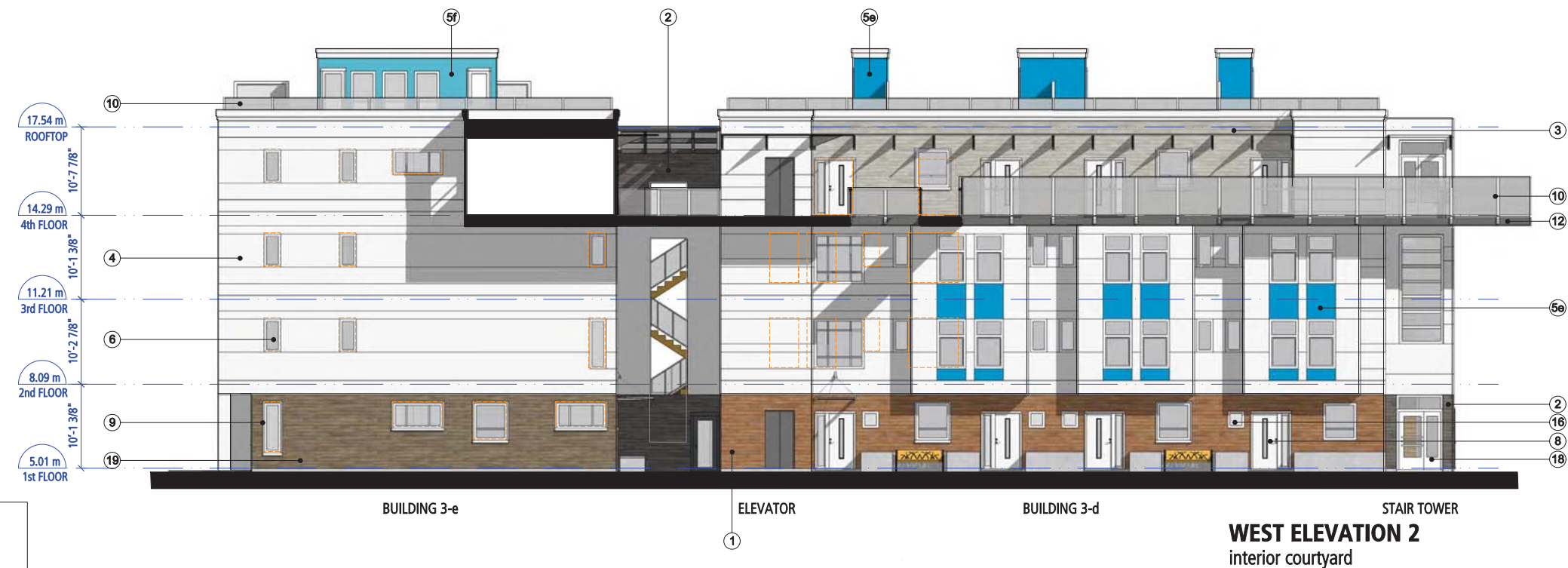
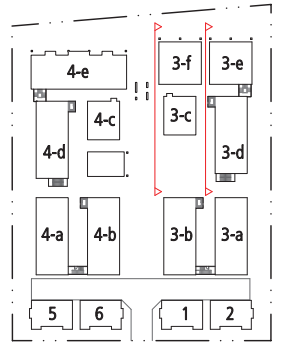
EAST ELEVATION 2
interior courtyard

□ windows reflected from West Elevation 2 (on page 14)



EXTERIOR FINISHES SCHEDULE		
1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedartone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except were noted

ACCENT COLOURS	
5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6763 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6767 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield



ELEVATIONS BUILDING 3 c-f

SCALE: 1/8" = 1'-0"

0 5' 15' 25'

Plan #15
DP 16-747620
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Vancouver, BC V5T 4L6 fougerearchitecture.ca

EXTERIOR FINISHES SCHEDULE		
1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except were noted

ACCENT COLOURS

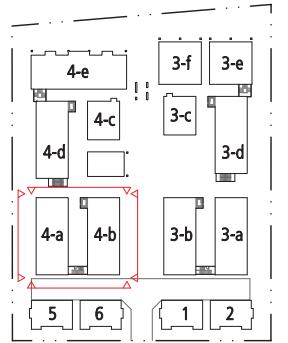
5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6753 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6787 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield

soffit sketch (a)



windows reflected from East Elevation 2 (on page 13)

21h



ELEVATIONS
BUILDING 4 a-b

SCALE: 1/8" = 1'-0"

0 5' 15' 25'

Plan #16
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REGISTERED ARCHITECT
WYNE & FOUGERE
May 4, 2021
ASH COLUMBIA

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Dava Developments Ltd.

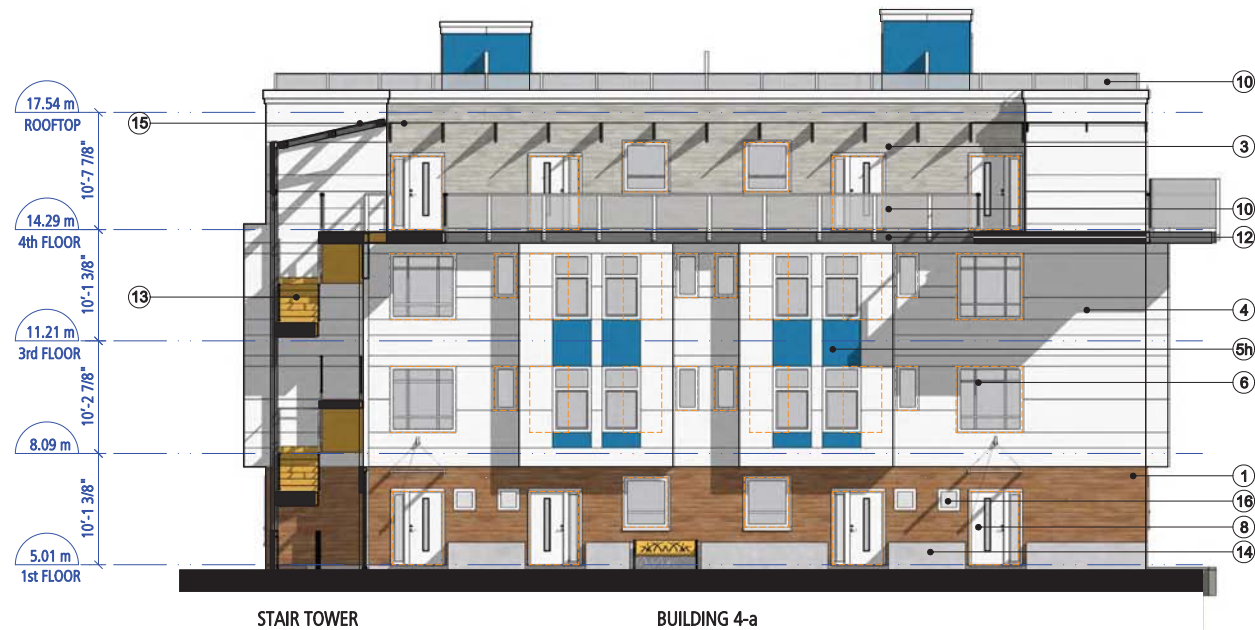
EXTERIOR FINISHES SCHEDULE

1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except were noted

ACCENT COLOURS

5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6753 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6787 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield





STAIR TOWER

BUILDING 4-a

EAST ELEVATION 2
interior courtyard

 windows reflected from West Elevation 2



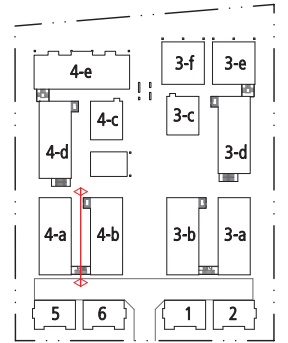
ELEVATOR

BUILDING 4-b

STAIR TOWER

WEST ELEVATION 2
interior courtyard

 windows reflected from East Elevation 2



ELEVATIONS

BUILDING 4 a-b

SCALE: 1/8" = 1'-0"
0 5' 15' 25'

Plan #17
DP 16-747620
May 23, 2021

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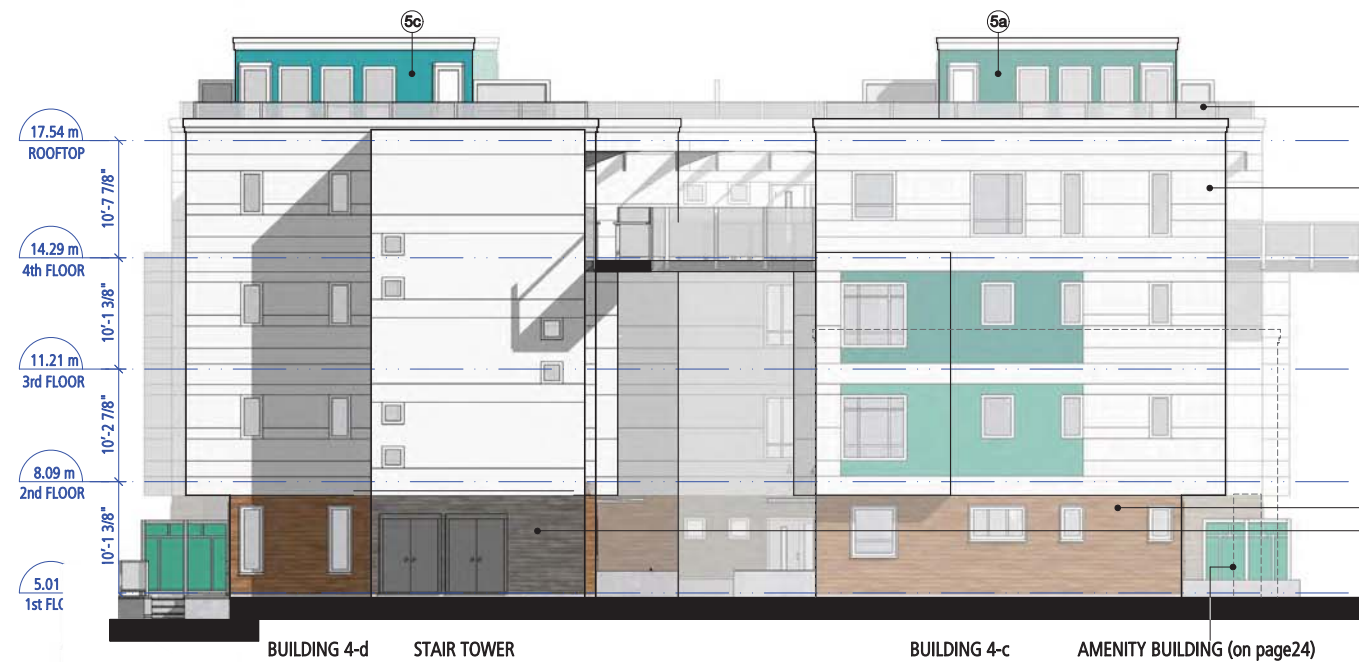
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Vancouver, BC V5T 4L6 fougerearchitecture.ca

EXTERIOR FINISHES SCHEDULE		
1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except where noted

ACCENT COLOURS

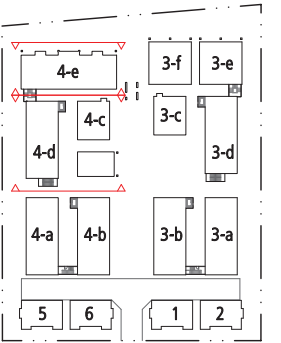
5a, Sherwin Williams- SW6761 Thermal Springs
5b, 21 b Sherwin Williams- SW6753 Jargon Jade
5c, 21 c Sherwin Williams- SW6767 Aquarium
5d Sherwin Williams- SW6766 Mariner
5e Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f Sherwin Williams- SW6787 Fountain
5g, 21 g Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h Sherwin Williams- SW6803 Danube
5j Sherwin Williams- SW6676 Butterfield



SOUTH ELEVATION



NORTH ELEVATION



SOUTH ELEVATION 2
interior courtyard



NORTH ELEVATION 2
interior courtyard

SCALE: 1/8" = 1'-0"

Plan #18
DP 16-747620
May 23, 2021

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Vancouver, BC V5T 4L6 fougerearchitecture.ca

EXTERIOR FINISHES SCHEDULE		
1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except were noted

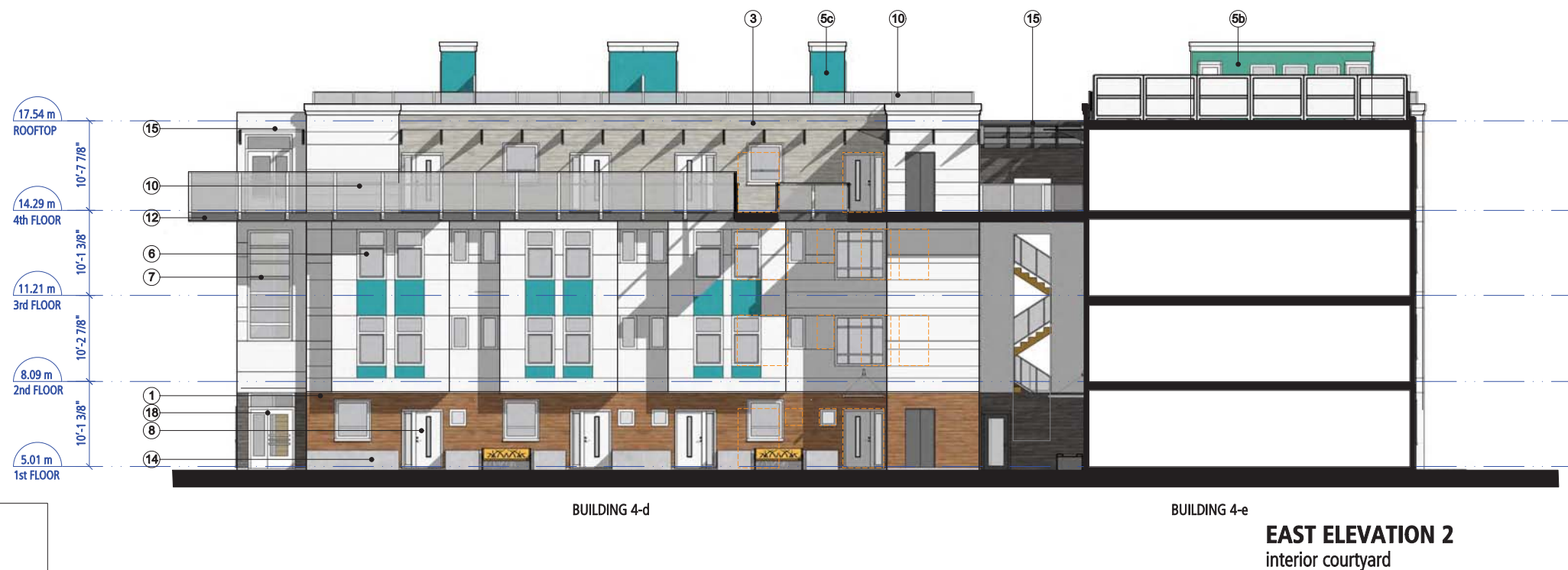
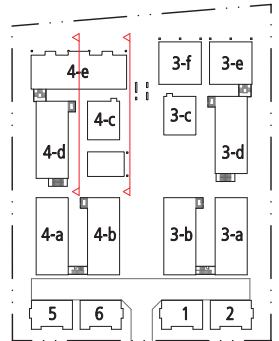
BUILDING 4-e

ACCENT COLOURS

5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6753 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6767 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield

□ windows reflected from North Elevation 2

□ windows reflected from South Elevation 2



ELEVATIONS
BUILDING 4 c-e

SCALE: 1/8" = 1'-0"

0 5' 15' 25'

Plan #19
DP 16-747620
May 23, 2021

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28 Vancouver, BC V5T 4L6 fougerearchitecture.ca

EXTERIOR FINISHES SCHEDULE

1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except were noted

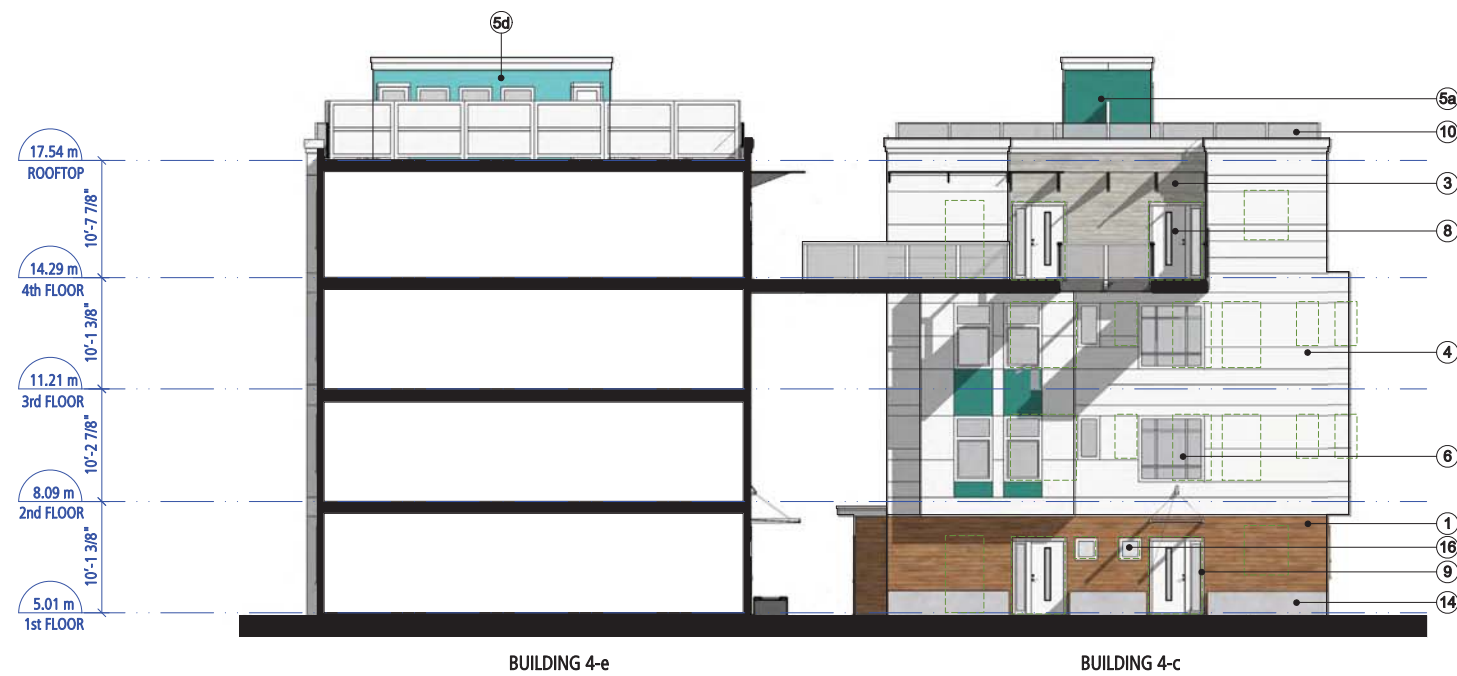
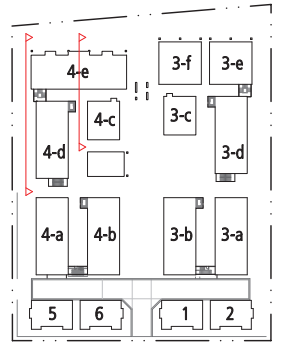
ACCENT COLOURS

5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6763 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6767 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield

soffit sketch (a)



□ windows reflected from West Elevation 2 (on page 19)



ELEVATIONS
BUILDING 4 c-e

SCALE: 1/8" = 1'-0"

0 5' 15' 25'

Plan #20
DP 16-747620
May 23, 2021



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EXTERIOR FINISHES SCHEDULE

1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedartone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
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6	VINYL WINDOWS	White Frame & Clear Glazing
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11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6676 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour SW7068
21	SOFFIT	Hardie Soffit-Arctic White, except were noted

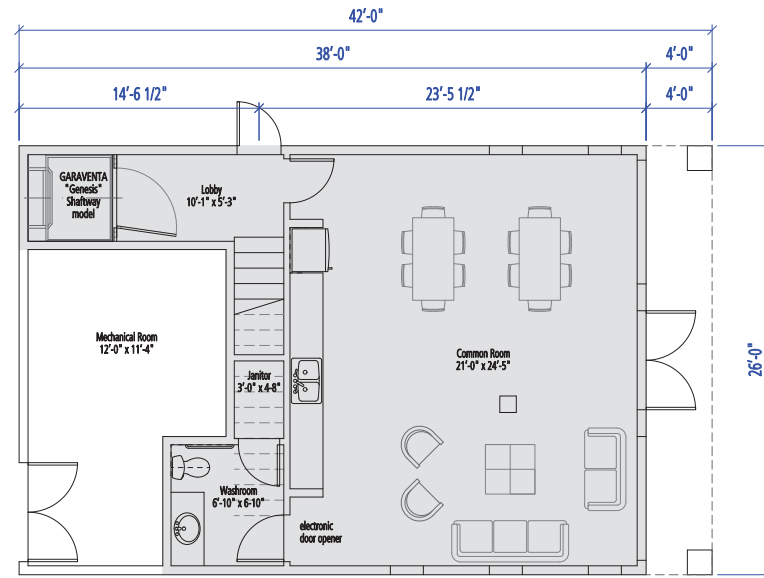
ACCENT COLOURS

5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6753 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6787 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6676 Butterfield

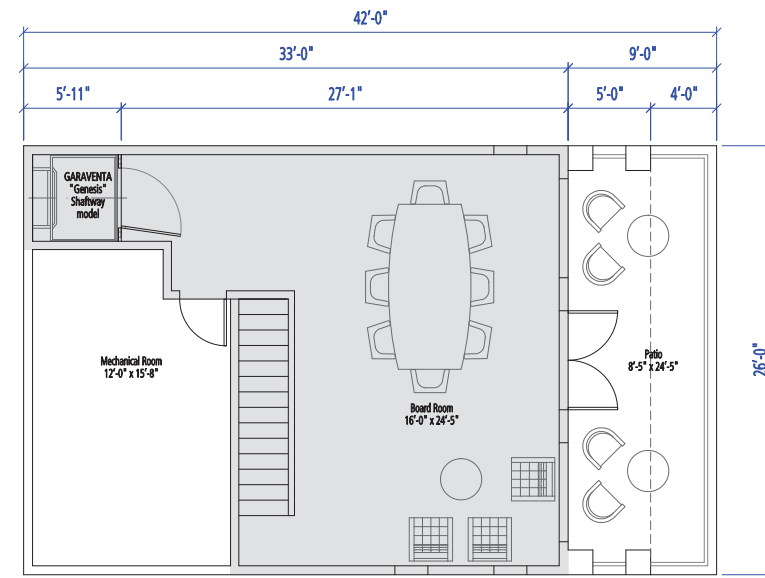


windows reflected from East Elevation 2 (on page 18)

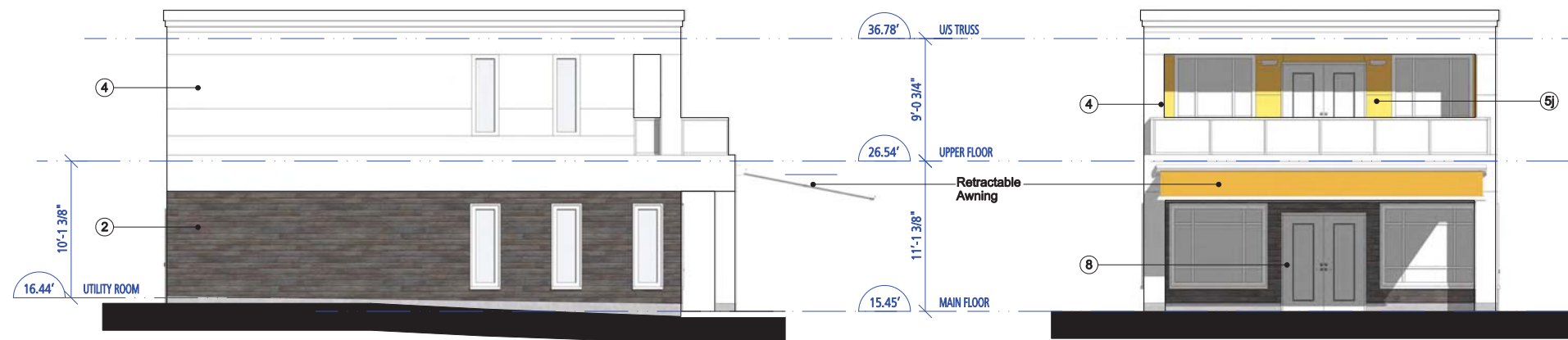
21b



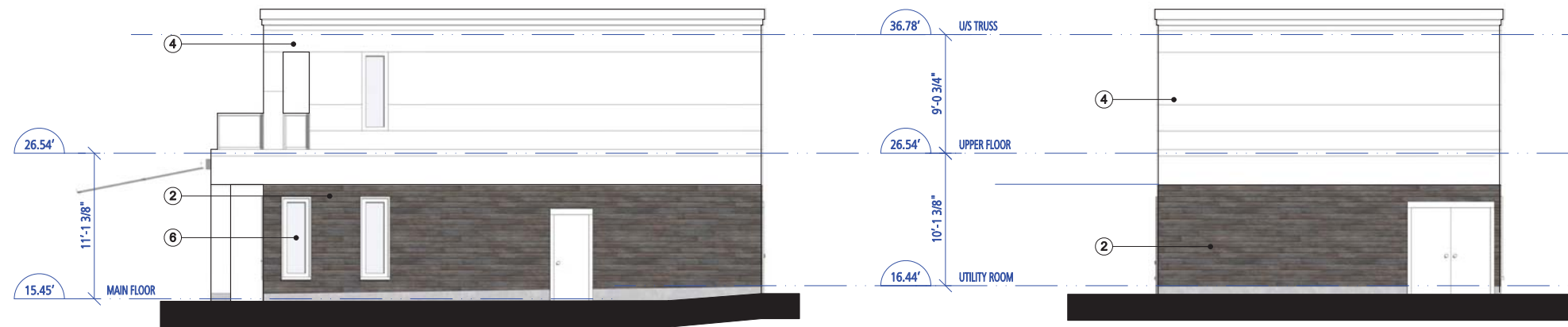
1st FLOOR



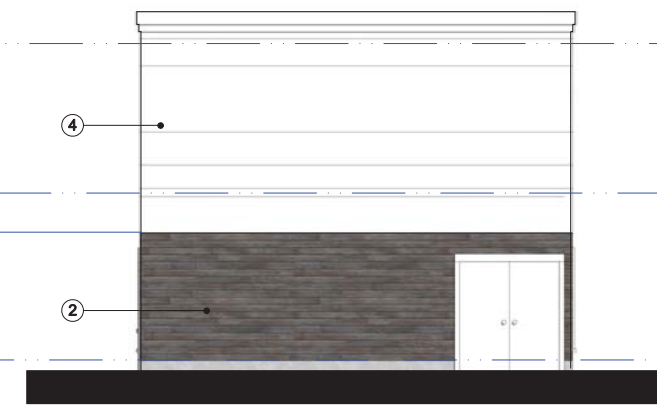
2nd FLOOR



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

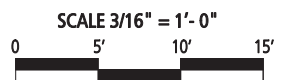
ACCENT COLOURS

5a,	Sherwin Williams- SW6761 Thermal Springs
5b, 21 b	Sherwin Williams- SW6753 Jargon Jade
5c, 21 c	Sherwin Williams- SW6767 Aquarium
5d	Sherwin Williams- SW6766 Mariner
5e	Sherwin Williams- SW6958 Dynamic Blue
5f, 21 f	Sherwin Williams- SW6787 Fountain
5g, 21 g	Sherwin Williams- SW6790 Adriatic Sea
5h, 21 h	Sherwin Williams- SW6803 Danube
5j	Sherwin Williams- SW6876 Butterfield

EXTERIOR FINISHES SCHEDULE

1	HARDIE PLANK LAP SIDING	Fischer Coating- Cedarstone
2	HARDIE PLANK LAP SIDING	Fischer Coating- Night Rider
3	HARDIE PLANK LAP SIDING	Fischer Coating- Weatheredwood
4	HARDIE REVEAL PANELS	Hardie ColourPlus- Arctic White
5 a-j	HARDIE REVEAL PANELS	Accent Colour
6	VINYL WINDOWS	White Frame & Clear Glazing
7	WINDOW WALL	White Frame & Clear Glazing
8	EXTERIOR DOOR	White
9	WINDOW & DOOR TRIM	White
10	GUARDRAIL	Glass & Metal
11	GUARDRAIL	Metal Mesh- to match Accent Colour
12	WALKWAYS	Sherwin Williams- SW7068 Grizzle Gray
13	STAIRS	Sherwin Williams- SW6876 Butterfield
14	PLANTERS	Exposed Concrete
15	GLASS ROOF	Clear Glass & Metal Bracket
16	AIR VENT	White
17	MECHANICAL ROOM DOOR	to match Fisher Coating
18	STAIRCASE DOOR	White
19	HARDIE PLANK LAP SIDING	Fischer Coating- West Coast Grey
20	WINDOW WALL	Clear Glass, Frame colour: SW7068
	SOFFIT	Hardie Soffit-Arctic White, except were noted

AMENITY BUILDING

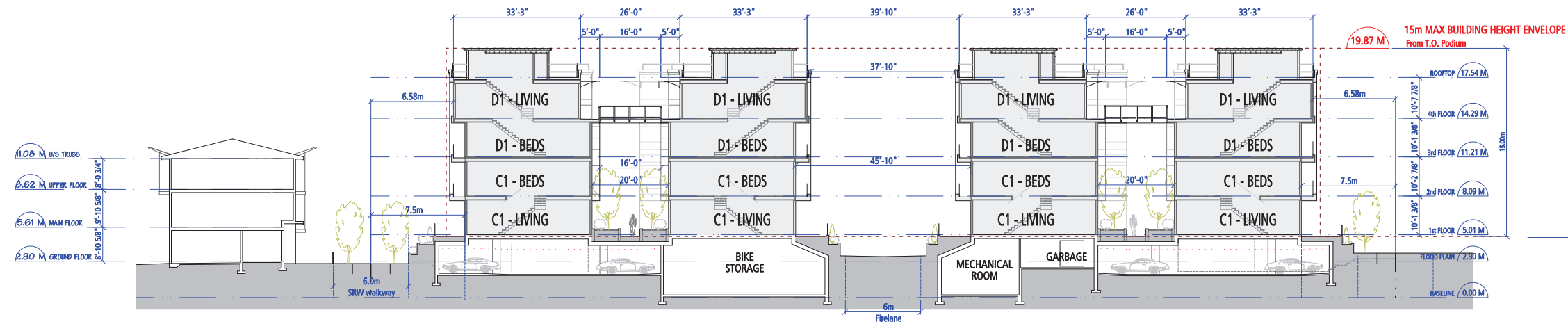


Plan #21
DP 16-747620
May 23, 2021

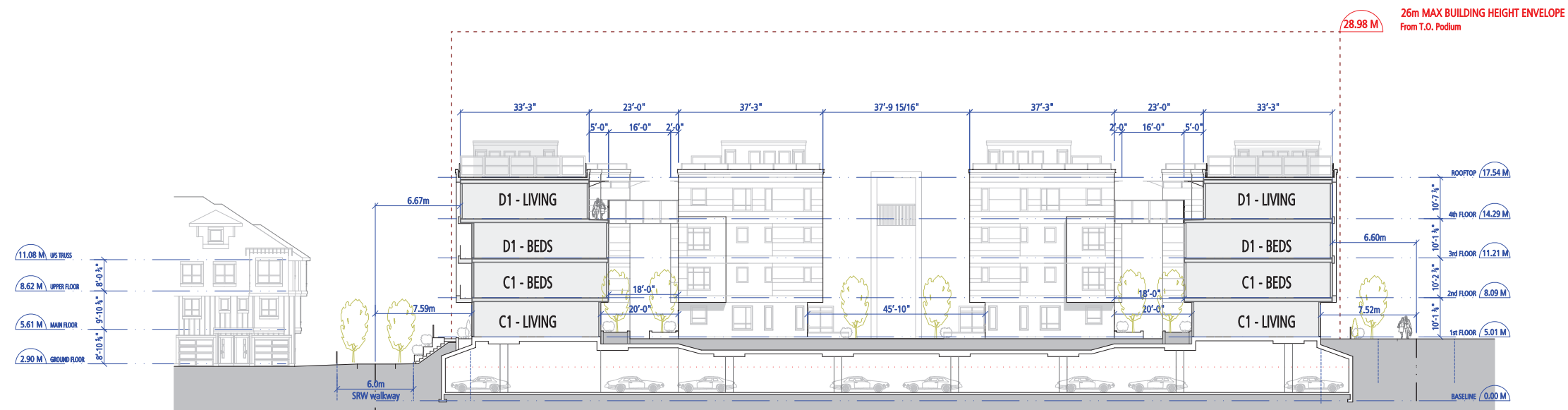
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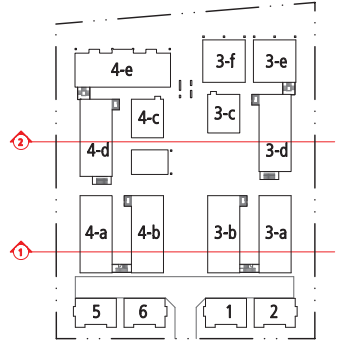
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 for
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Site Section 1



Site Section 2



SITE SECTIONS

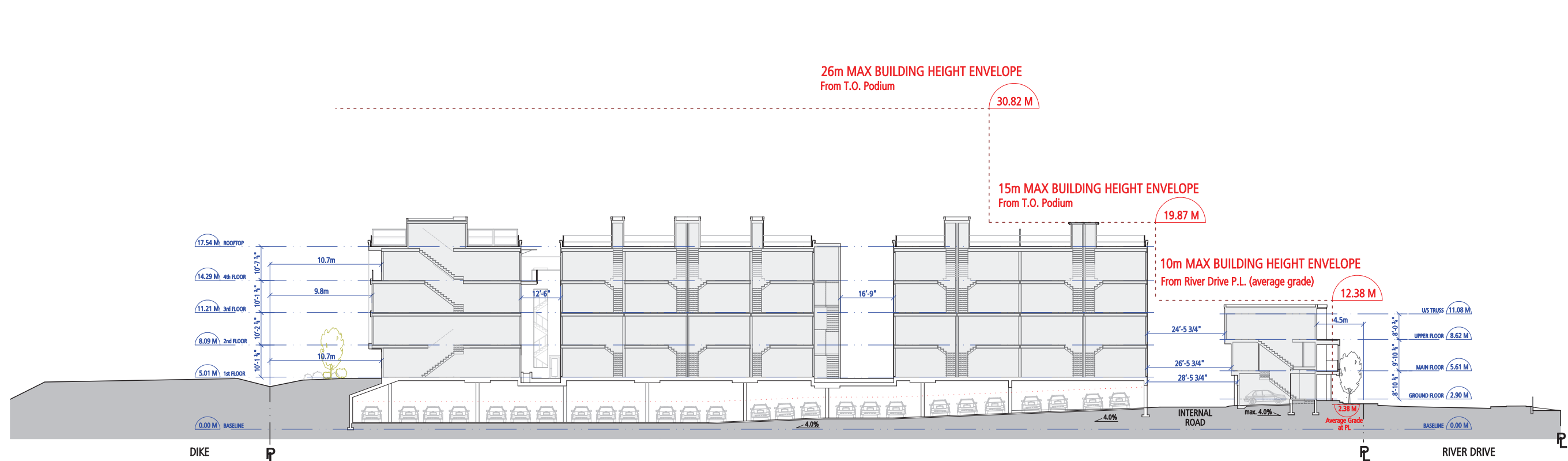
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0 10' 25' 50'

Plan #22
DP 16-747620
May 23, 2021

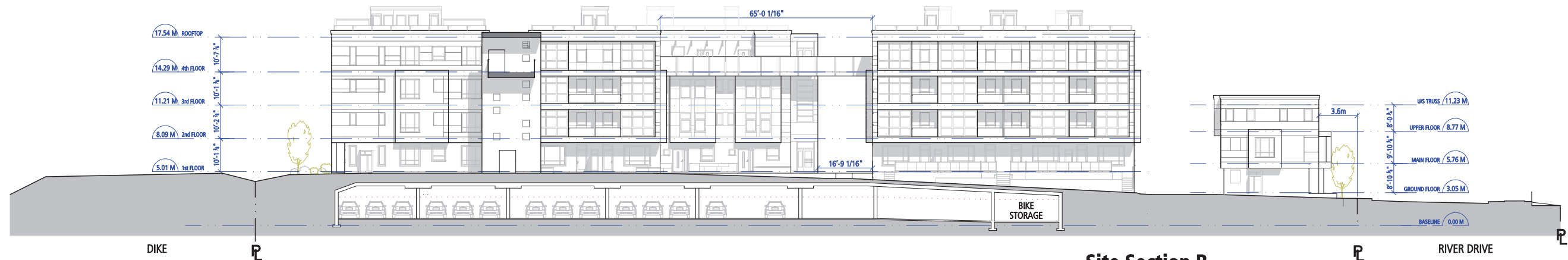
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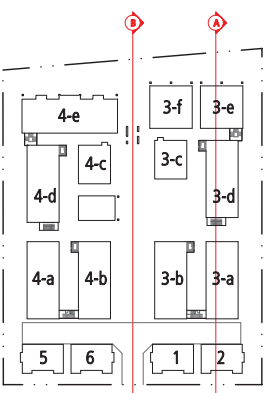
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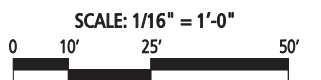
Site Section A



Site Section B



SITE SECTIONS

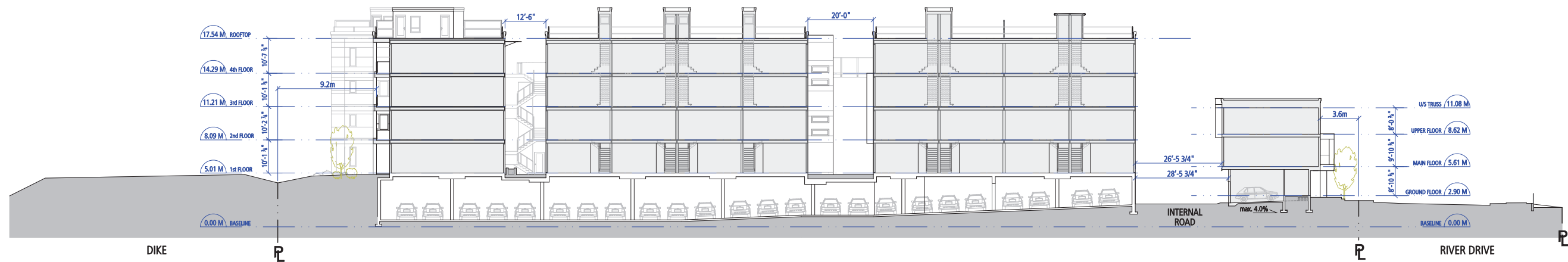


Plan #23
DP 16-747620
May 23, 2021

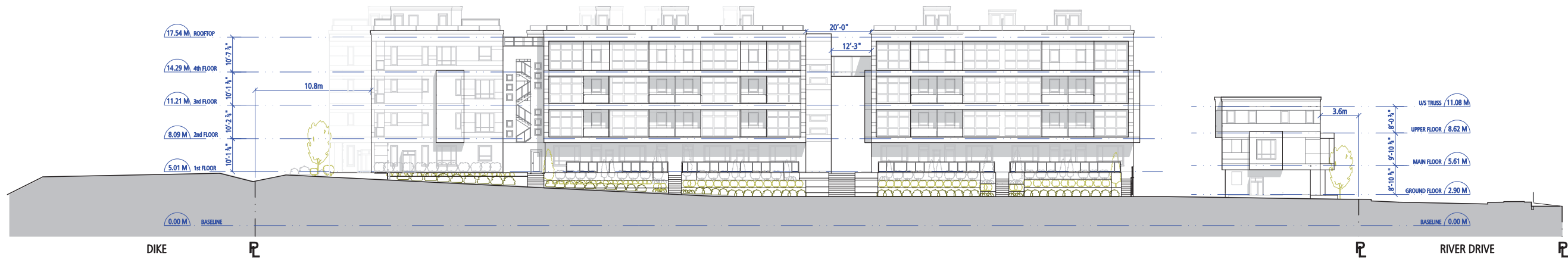
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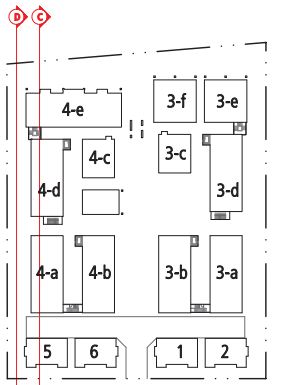
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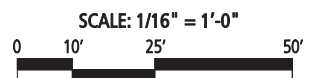
Site Section C



Site Section D



SITE SECTIONS

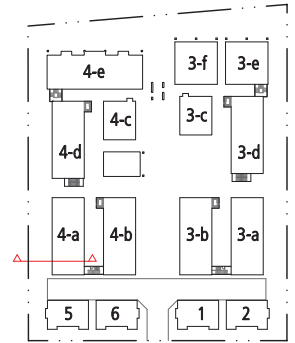
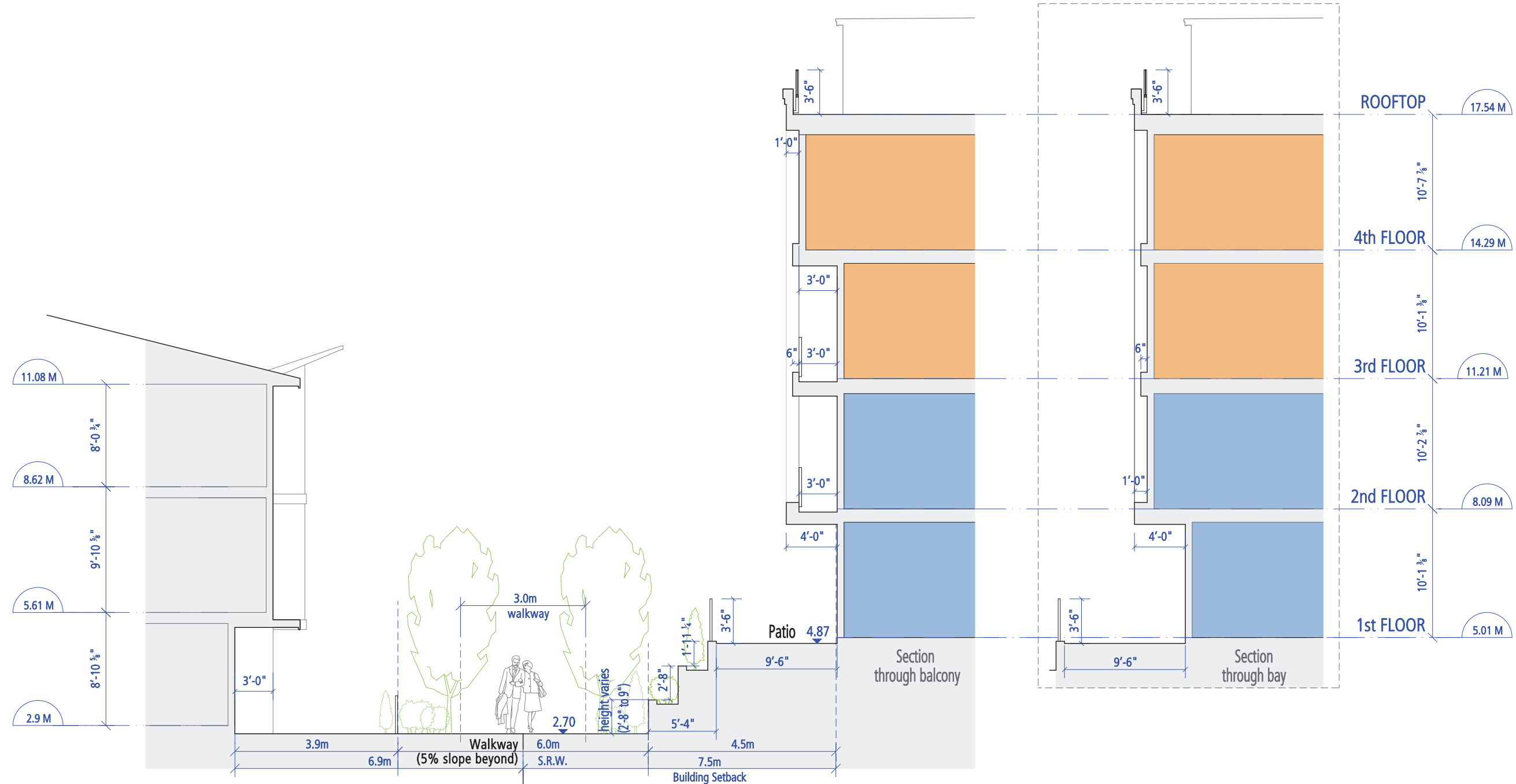


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DP 16-747620
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**BLOW-UP
SECTIONS
WEST INTERFACE**

SCALE 1/4" = 1'-0"
0' 2' 5' 12'

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DP 16-747620
May 23, 2021

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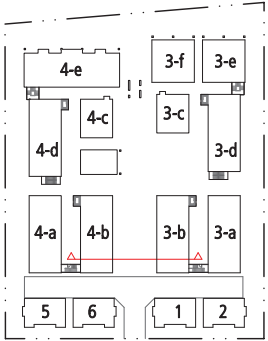
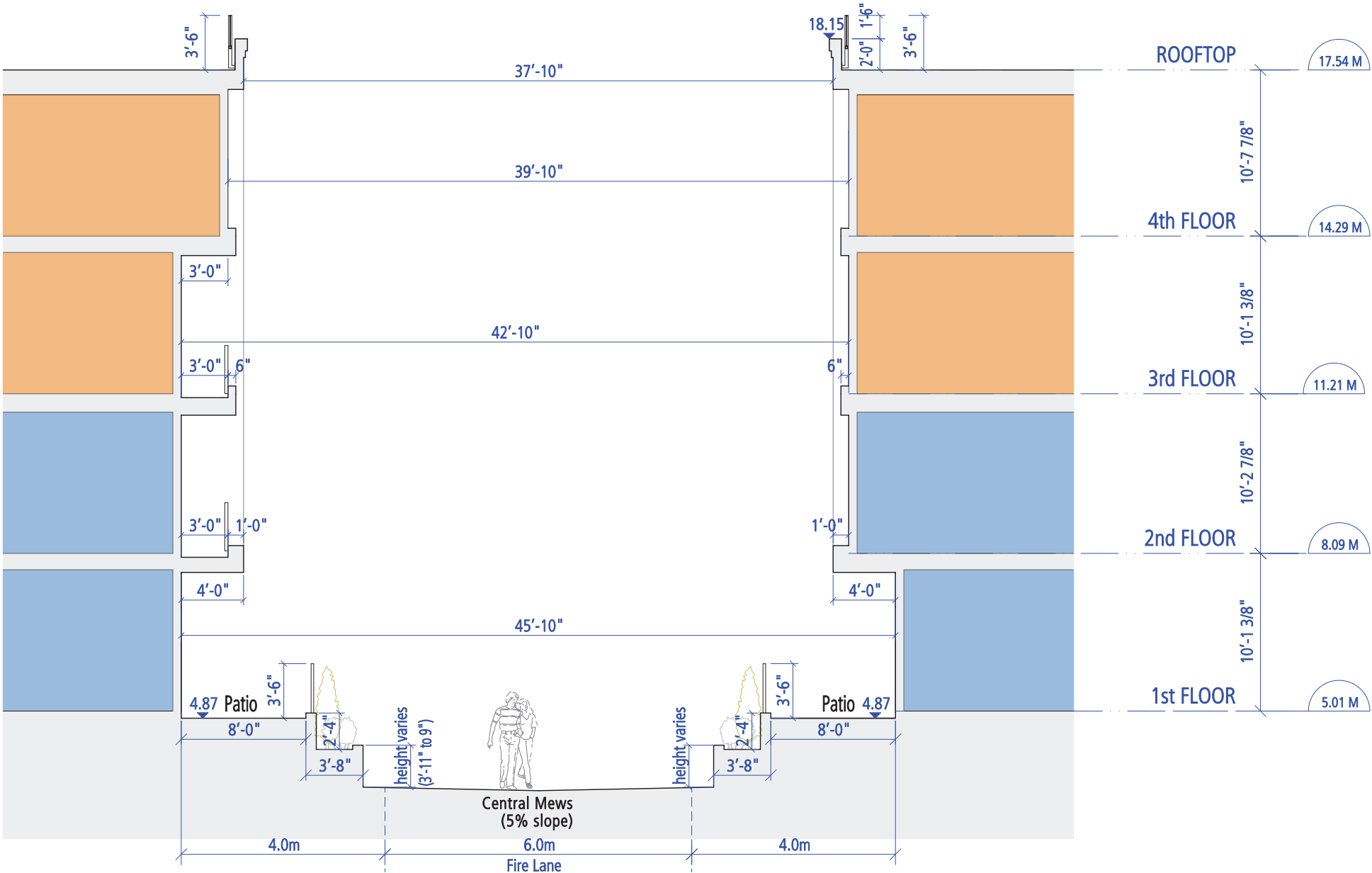


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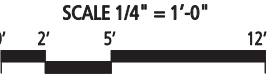
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**BLOW-UP
SECTIONS
MEWS**



Plan #26
DP 16-747620
May 23, 2021

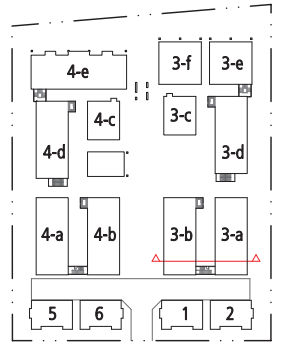
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SCALE: 1/8" = 1'-0"



BLOW-UP SECTIONS COURTYARD

SCALE 1/4" = 1'-0"

Plan #27
DP 16-747620
May 23, 2021

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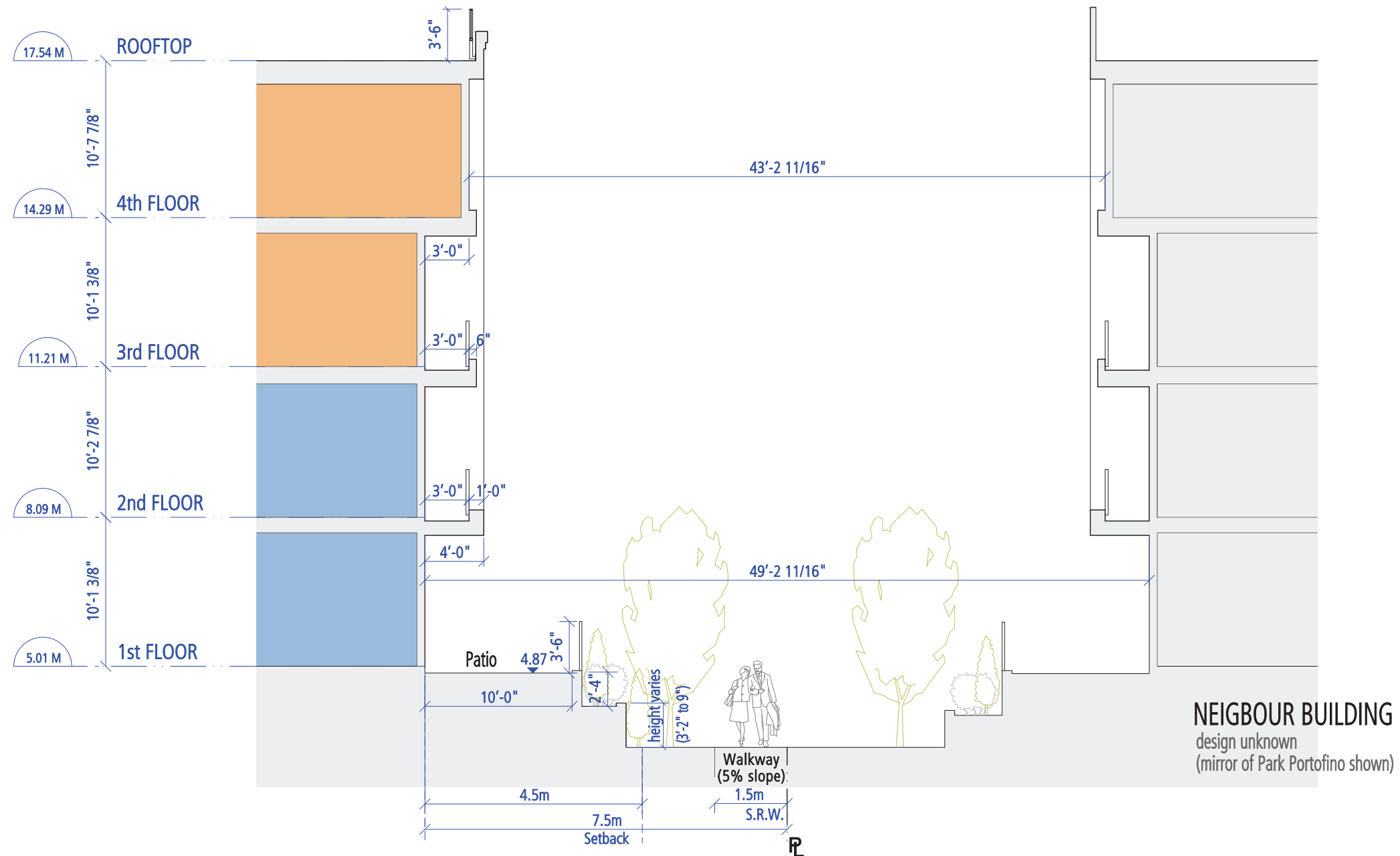
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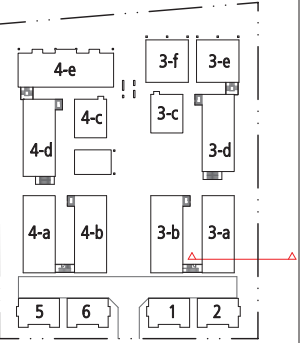
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SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



BLOW-UP SECTIONS EAST INTERFACE

SCALE 1/4" = 1'-0"
0' 2' 5' 12'

Plan #28
DP 16-747620
May 23, 2021

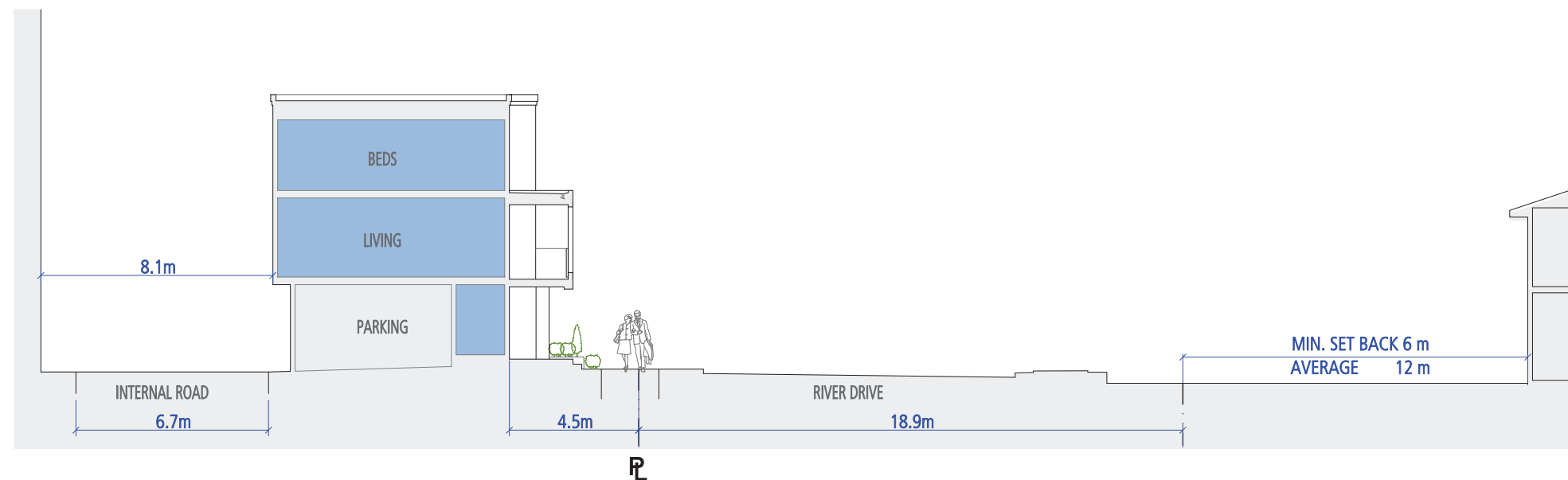
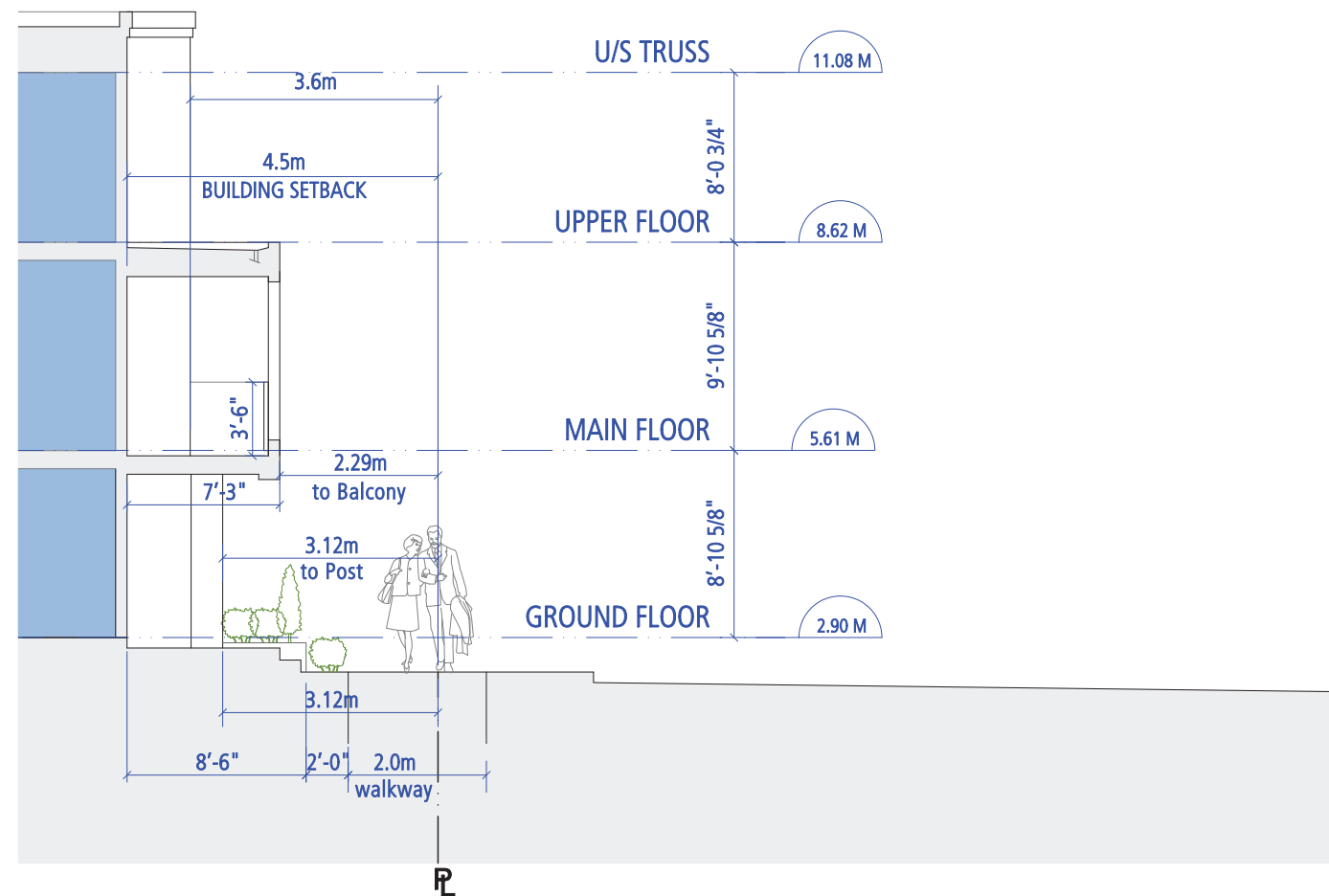
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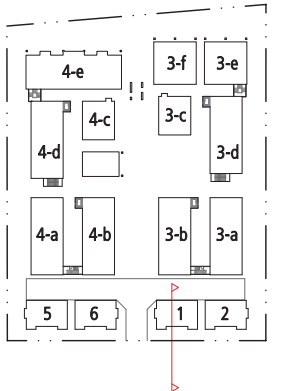
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SCALE: 1/8" = 1'-0"



BLOW-UP SECTIONS

RIVER DRIVE

SCALE 1/4" = 1'-0"

0' 2' 5' 12'

Plan #29
DP 16-747620
May 23, 2021

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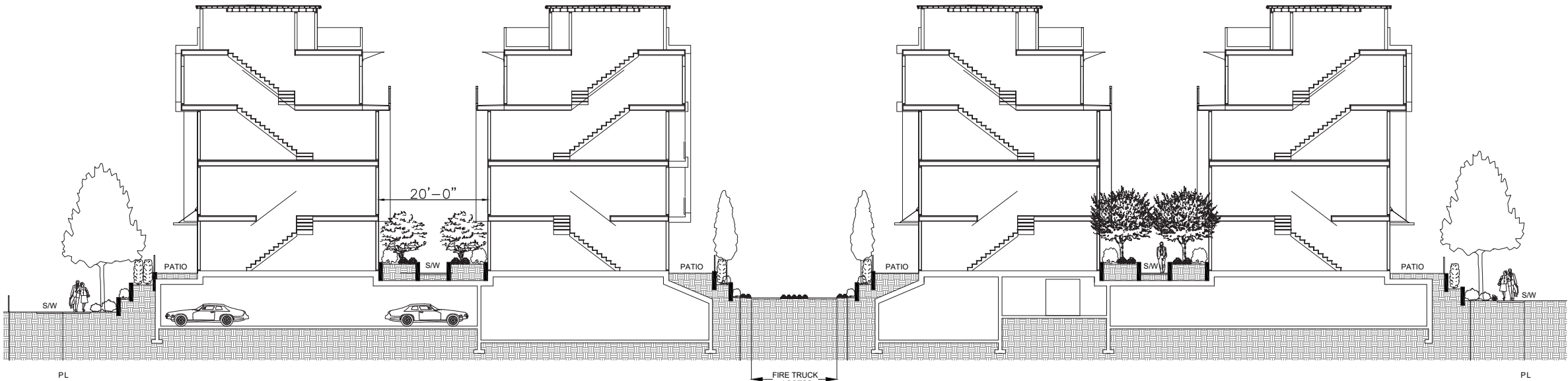


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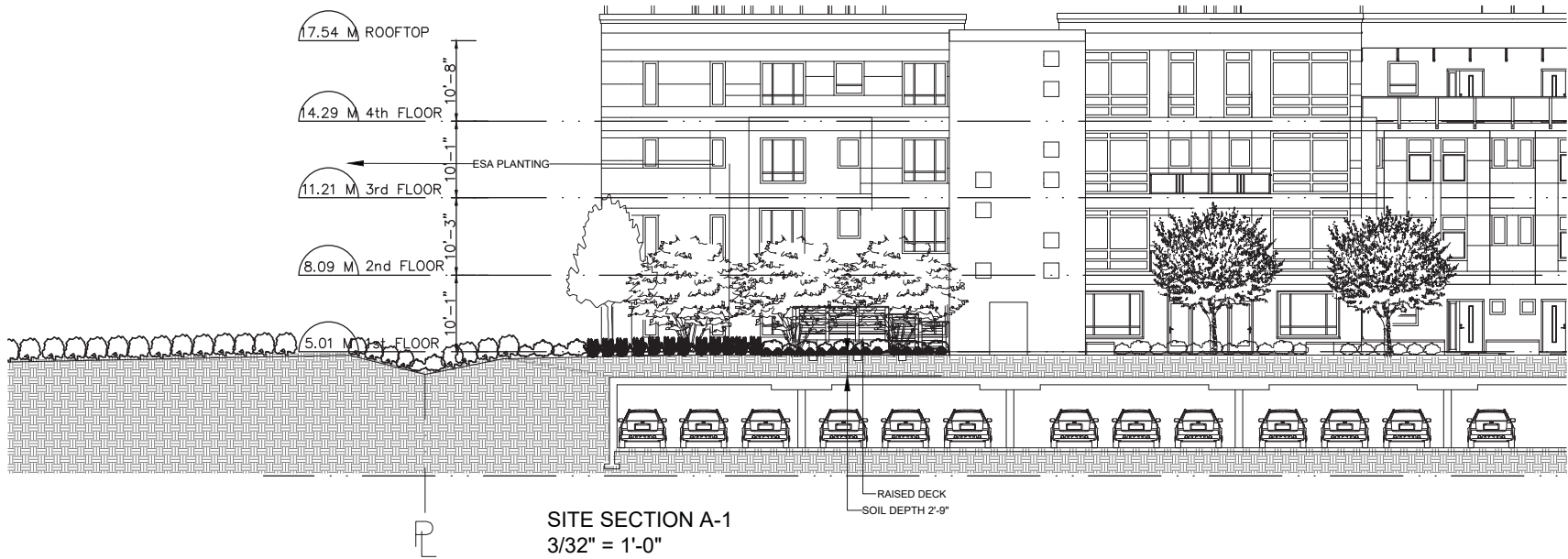
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SEAL:



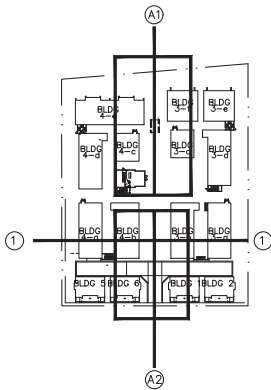
Site Section 1
3/32"=1'-0"



SITE SECTION A-1
3/32" = 1'-0"



SITE SECTION A-2
3/32" = 1'-0"



PROJECT:

PARC PORTOFINO

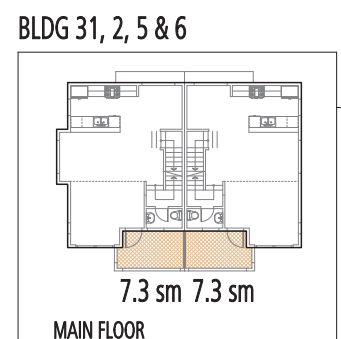
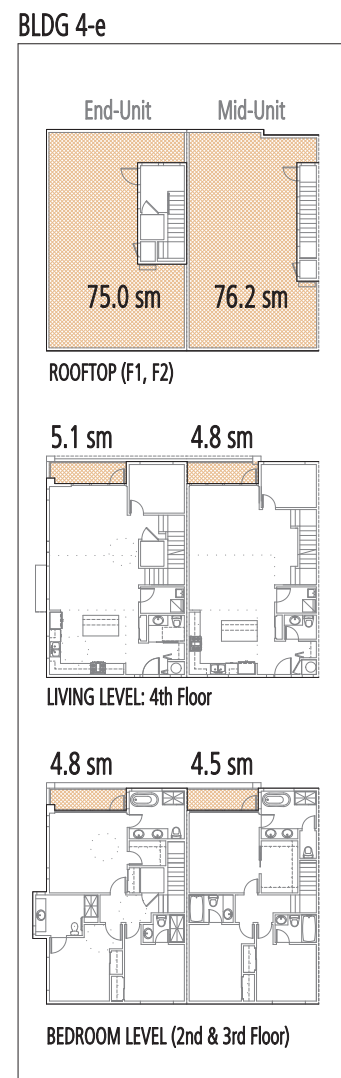
**10333 RIVER DRIVE
RICHMOND, B.C.**

DRAWING TITLE:

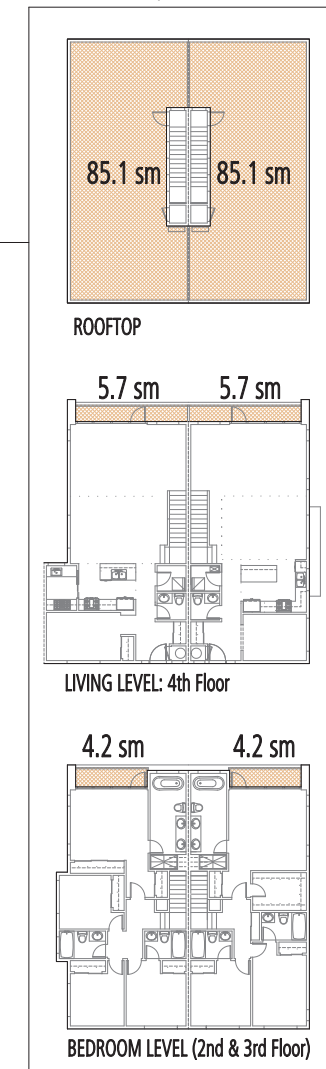
SECTIONS

DATE: 18.JUL.25
SCALE: AS NOTED
DRAWN: MC
DESIGN: MM
CHK'D: MCY

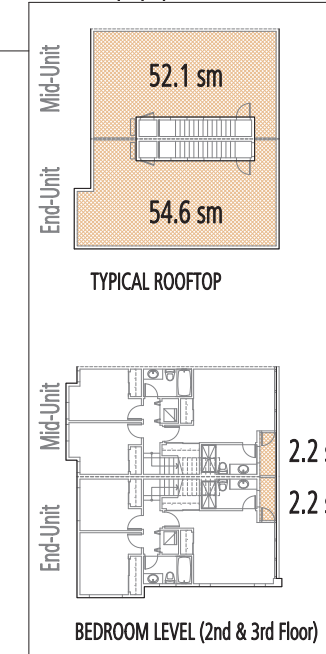
DRAWING NUMBER:
L10
OF 10



BUILDING 3-e, f



**BLDG 3-a, b, c, d
BLDG 4-a, b, c, d**



- public
- LANDSCAPED PEDESTRIAN ZONES
- AMENITY SPACE & PLAYGROUND
(for area calculation see Landscape drawing)
- COURTYARDS
- private
- PRIVATE OPEN SPACE
see site data for
list of private outdoor areas
- ESA

xx unit number
(xx) unit number above



OPEN SPACES



Plan #31
DP 16-747620
May 23, 2021

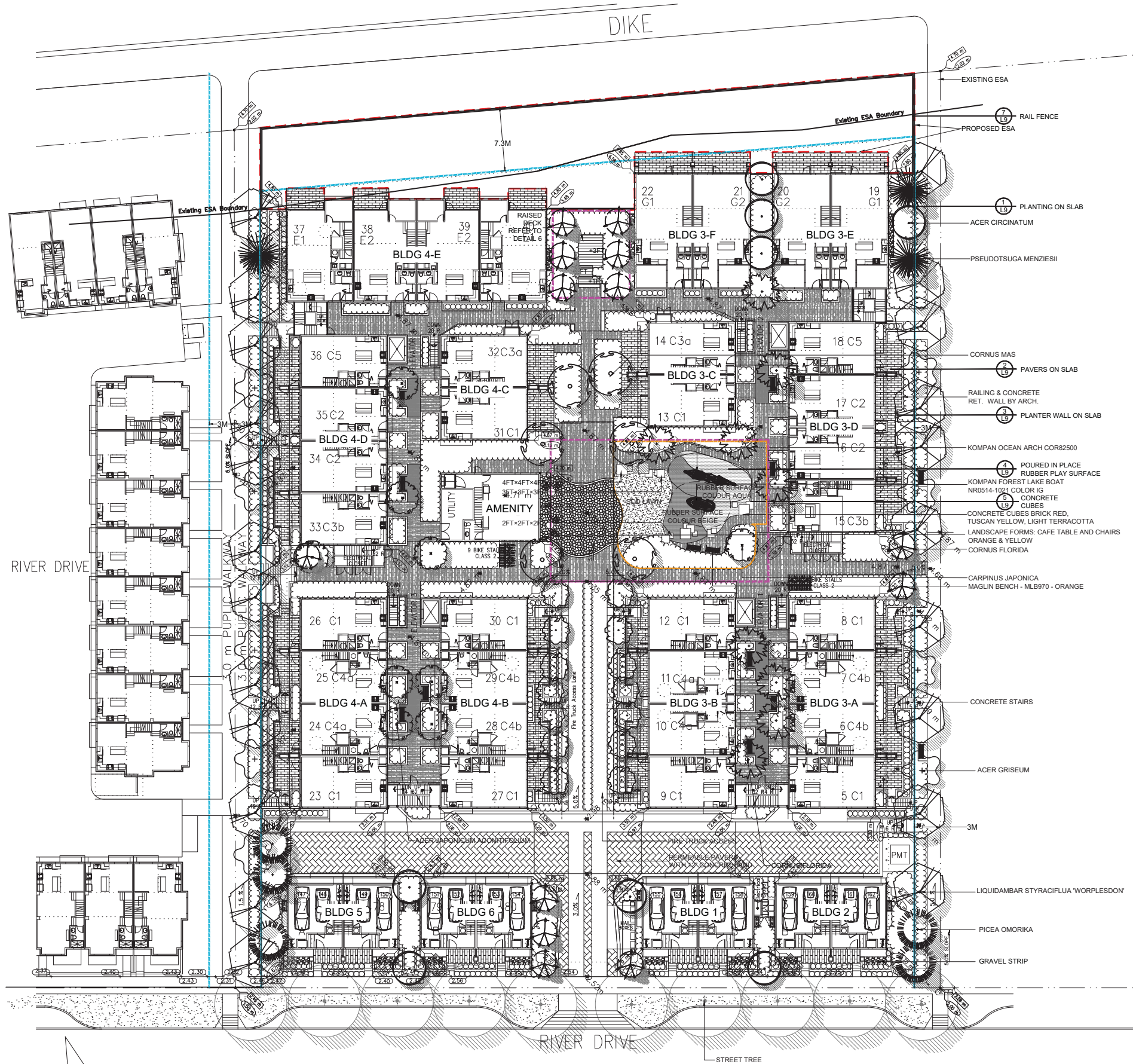
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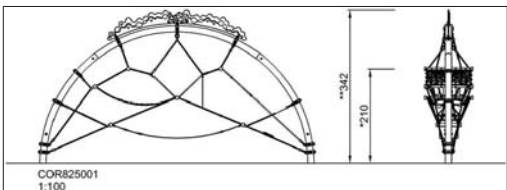
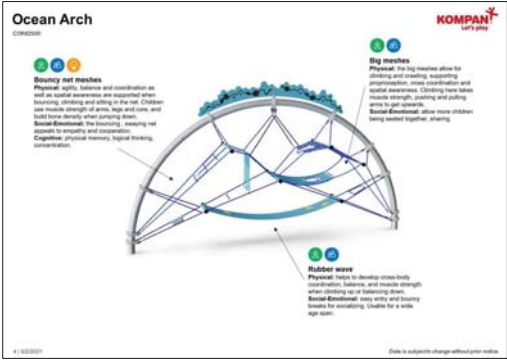
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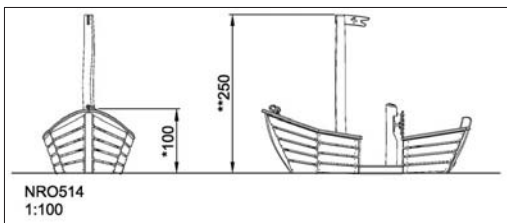
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- ESA BOUNDARY
- SRW BOUNDARY
- AMENITY AREA
- PLAY AREA



KOMPAN OCEAN ARCH COR82500



NRO514 1:100



KOMPAN FOREST LAKE BOAT NRO514-1021 COLOR IG



MAGLIN BENCH MLB970 - ORANGE



MAGLIN: FRT1700-RD-MI-FS36 TABLE WITH CHAIRS FRC1700-MSF-M1-A LASER CUT



SITTING/CLIMBING CUBES



BARKMAN TERRA NOVA SLAB PAVERS 38.38" x 10.16" x 2"; MOUNTAIN ASH



BARKMAN FLAGSTONE PAVERS 18" x 14.92/8.98" x 2.36"; SIERRA GREY



BARKMAN BRIDGEWOOD SLAB PAVERS 23.43" x 9.84" x 2"; WEATHERED GREY

SEAL:

14	21.MAY.21	PLANT LIST; PLAY UNIT	
13	21.APR.23	CITY COMMENTS	YR
12	21.APR.13	NEW SITE PLAN	JR
11	21.MAR.19	CITY COMMENTS	YR
10	20.SEP.18	NEW SITE PLAN	JR
9	20.SEP.14	REVISE DECK DETAIL	JR
8	20.AUG.10	DECK DETAIL	JR
7	19.AUG.27	NEW SITE PLAN / ADD TREES	JR
6	19.AUG.15	NEW SITE PLAN	JR
5	19.AUG.02	REVISE PER CITY COMMENTS	RJ
4	19.JUL.23	NEW SITE PLAN	RJ
3	19.MAY.31	NEW SITE PLAN	RJ
2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC

CLIENT: **Plan #32**
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

10333 RIVER DRIVE
RICHMOND, B.C.

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 18.JUN.27 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: MM
DESIGN: MM
CHK'D: MCY

L1

OF 10

SEAL:

14	21.MAY.21	PLANT LIST; PLAY UNIT	
13	21.APR.23	CITY COMMENTS	YR
12	21.APR.13	NEW SITE PLAN	JR
11	21.MAR.19	CITY COMMENTS	YR
10	20.SEP.18	NEW SITE PLAN	JR
9	20.SEP.14	REVISE DECK DETAIL	JR
8	20.AUG.10	DECK DETAIL	JR
7	19.AUG.27	NEW SITE PLAN / ADD TREES	JR
6	19.AUG.15	NEW SITE PLAN	JR
5	19.AUG.02	REVISE PER CITY COMMENTS	RJ
4	19.JUL.23	NEW SITE PLAN	RJ
3	19.MAY.31	NEW SITE PLAN	RJ
2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

Plan #33
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

**10333 RIVER DRIVE
RICHMOND, B.C.**

DRAWING TITLE:

**SHRUB PLAN
NORTH**

DATE: 18.JUN.27

DRAWING NUMBER:

SCALE: 3/32"=1'-0"

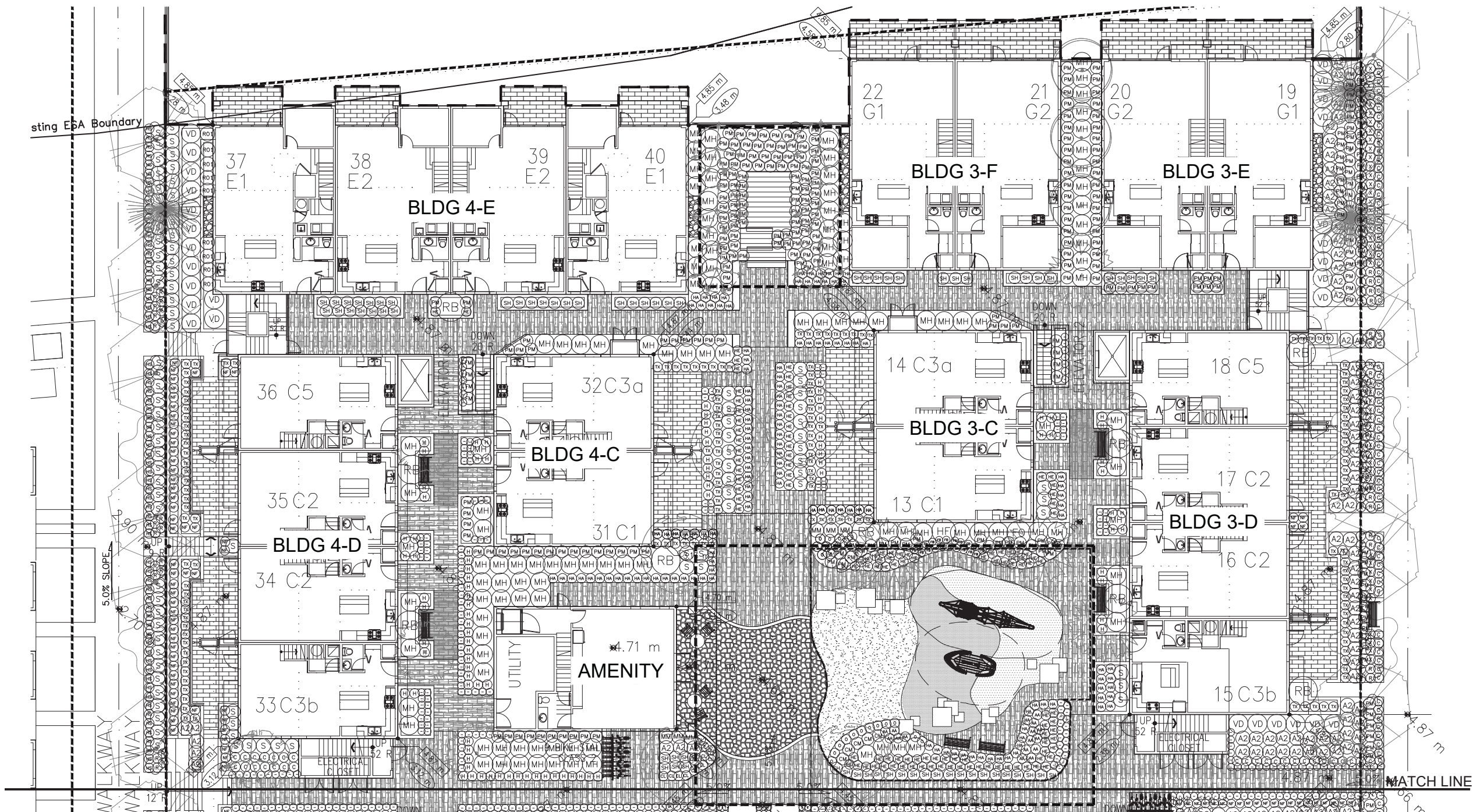
DRAWN: MM

DESIGN: MM

CHK'D: MCY

PMG PROJECT NUMBER:

18-128



PLANT SCHEDULE		ON SITE PLANTING		PMG PROJECT NUMBER: 18-128	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	MATURE HEIGHT
TREE					
8		ACER CIRCINATUM	VINE MAPLE	2.5M HT; B&B; 3 STEM CLUMP	5M
9		ACER GRiseum	PAPERBARK MAPLE	6CM CAL; 1.8M STD; B&B	8M
9		ACER JAPONICUM ACONITIFOLIUM	FERNLEAF FULL MAPLE	2.5M HT; B&B; 1.5M STD	3M
9		CORNUS FLORIDA	FLOWERING DOGWOOD	2.5M HT BUSH FORM; B&B	8M
6		CORNUS MAS	CORNELIAN CHERRY	5CM CAL; 1.8M HT	7M
22		LIQUIDAMBAR STYRACIFLUA 'WORPLESDON'	WORPLESDON SWEET GUM	6CM CAL; 2M STD; B&B	12M
13		PICEA ABIES 'PYRAMIDALIS'	PYRAMIDAL NORWAY SPRUCE	2.5M HT; B&B	12M
5		PICEA OMORICA	SERBIAN SPRUCE	2.5M HT; B&B, SINGLE LEADER, SPECIMEN	18M
14		PRUNUS SERRULATA 'AMANOGAWA'	AMANOGAWA FLOWERING CHERRY	6CM CAL; 1.8M STD; B&B	7M
3		PSEUDOTSUGA MENZIESII	DOUGLAS FIR	2.5M HT; B&B	24M
SHRUB					
A2	108	AZALEA JAPONICA 'HINO CRIMSON'	AZALEA; SINGLE DEEP CRIMSON	#2 POT; 25CM	70CM
FO	129	SYMPHORICARPOS X DOORENBOSII	CORAL BERRY	#2 POT; 25CM	1.5M
RB	1	FOTHERGILLA MAJOR 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	#3 POT; 60CM	1.5M
HF	20	RIBES SANGUINEUM 'KING EDWARD VI'	FLOWERING CURRANT	#3 POT; 80CM	1.8M
NF	1	HYDRANGEA PANICULATA 'FIRE & ICE'	FIRE & ICE HYDRANGEA	#3 POT; 80CM	1.5M
RO1	451	NANDINA DOMESTICA 'FIREPOWER'	FIREPOWER HEAVENLY BAMBOO	#2 POT; 40CM	50CM
SH	20	ROS3 MEIDLAND 'BONICA'	MEIDLAND ROSE; PINK	#3 POT; 60CM	1.2M
MH	71	SARCOCocca HOOKERANA VAR. HUMILIS	HIMALAYAN SWEET BOX	#2 POT; 25CM	60CM
TX	179	MAHONIA AQUIFOLIUM	OREGON GRAPE HOLLY	#2 POT; 40CM	1.8M
VD	367	TAXUS X MEDIA 'HICKSI'	HICK'S YEW	1.5M B&B	1.5M
	76	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#3 POT; 50CM	90CM
GRASS					
C	42	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT	30CM
CL	11	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	#1 POT	1M
HA	141	HAKONECHLOA MACRA 'AUROLEA'	GOLD VARIEGATED JAPANESE FOREST GRASS	#1 POT	40CM
HS	82	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT	60CM
MM	6	MISCANTHUS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP. SILVER GRASS	#1 POT	1.8M
O	26	PENNISETUM ORIENTALE	ORIENTAL FOUNTAIN GRASS	#1 POT	1.5M
M	186	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT	60CM

PLANT SCHEDULE		ON SITE PLANTING		PMG PROJECT NUMBER: 18-128	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	MATURE HEIGHT
PERENNIAL					
CM	15	CIMICIFUGA SIMPLEX 'HILLSIDE BLACK BEAUTY'	BLACK LEAVED BUGBANE	15CM POT	1.2M
FM	8	FUCHSIA MAGellanica 'RICCARTONII'	FUCHSIA	15CM POT	1.5M
HE	113	HELLEBORUS x HYBRIDUS	LENTEEN ROSE, COLOUR MIX	15CM POT	45CM
AA	15	HEMEROCALLIS x 'ALWAYS AFTERNOON'	MAUVE DAYLILY; REBLOOMS	#1 POT; 1-2 FAN	45CM
FB	20	HEUCHERELLA 'SWEET TEA'	FOAMY L BELLS; GOLD & BURGUNDY	15CM POT	60CM
H	116	HOSTA 'PATRIOT'	HOSTA; GREEN AND WHITE VARIEGATED	#1 POT; 1 EYE	50CM
I	160	IBERIS SEMPERVIRENS 'SNOWFLAKE'	SNOWFLAKE EVERGREEN CANDYTUFT	9CM POT	30CM
GC	74	KNIPHOFIA UVARIA	RED HOT POKER	15CM POT	1M
-	342	PACHYSANDRA TERMINALIS 'GREEN SHEEN'	JAPANESE SPURGE	#1 POT; 10CM	30CM
PM	324	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM	1.5M
T	478	WALDSTEINIA TERNATA	BARREN STRAWBERRY	#1 POT; 20CM; 18" O.C.	15CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY



SEAL:

14	21.MAY.21	PLANT LIST; PLAY UNIT	
13	21.APR.23	CITY COMMENTS	YR
12	21.APR.13	NEW SITE PLAN	JR
11	21.MAR.19	CITY COMMENTS	YR
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8	20.AUG.10	DECK DETAIL	JR
7	19.AUG.27	NEW SITE PLAN / ADD TREES	JR
6	19.AUG.15	NEW SITE PLAN	JR
5	19.AUG.02	REVISE PER CITY COMMENTS	RJ
4	19.JUL.23	NEW SITE PLAN	RJ
3	19.MAY.31	NEW SITE PLAN	RJ
2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

Plan #34
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

10333 RIVER DRIVE
RICHMOND, B.C.

DRAWING TITLE:

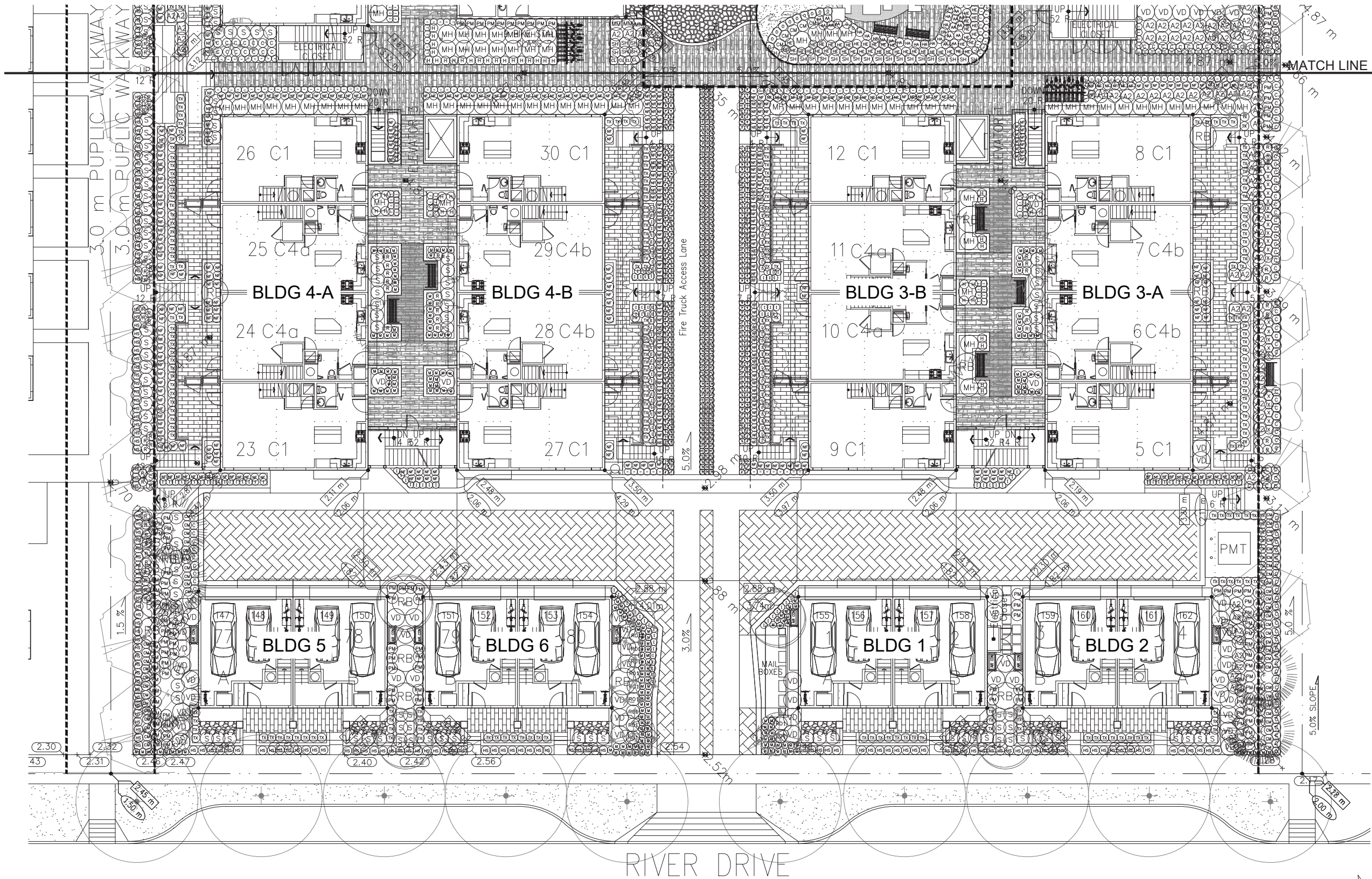
SHURB PLAN
SOUTH

DATE: 18.JUN.27
SCALE: 3/32"=1'-0"
DRAWN: MM
DESIGN: MM
CHK'D: MCY

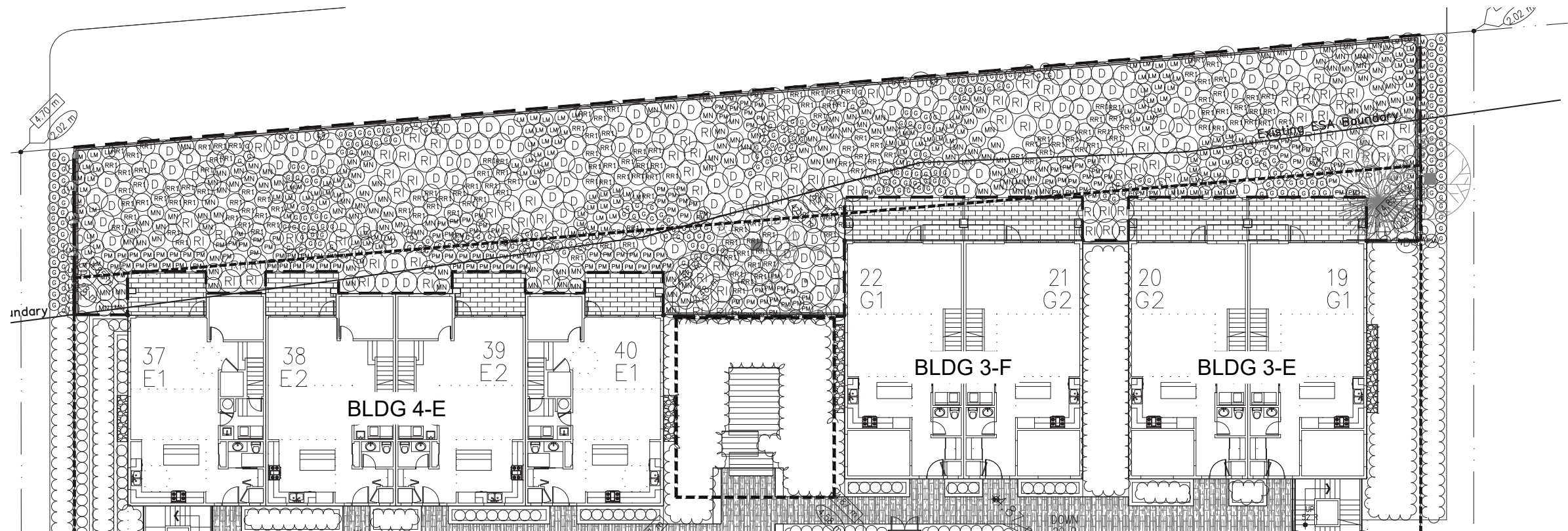
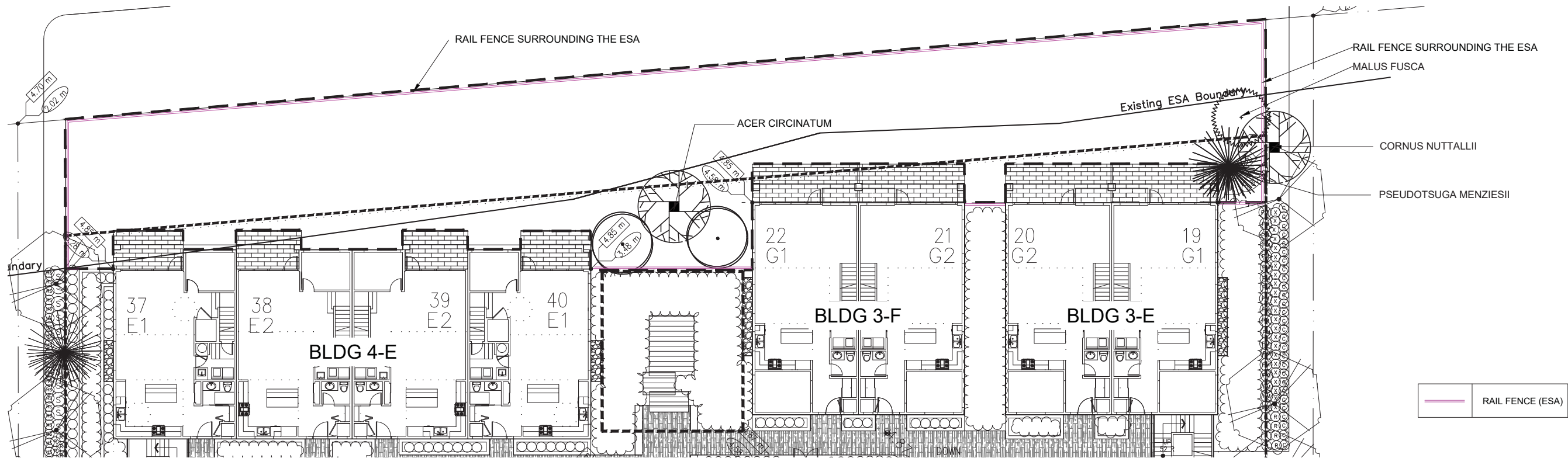
DRAWING NUMBER:
L3
OF 10

PMG PROJECT NUMBER:

18-128



18128-8.ZIP



PLANT SCHEDULE				PMG PROJECT NUMBER: 18-128	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
	2	ACER CIRCINATUM	VINE MAPLE	2.5M HT; B&B; 3 STEM CLUMP	
	2	CORNUS NUTTALLII	PACIFIC DOGWOOD	2.5M HT; B&B	
	1	MALUS FUSCA	PACIFIC CRABAPPLE	5CM; 1.5M STD; B&B	
	1	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	2.5M HT; B&B	
	128	CORNUS SERICEA	REDTIG DOGWOOD	#2 POT; 50CM	
	160	ROSA NUTKANA	BALDHIP ROSE	#2 POT; 40CM	
	102	RUBUS SPECIABILIS	SALMONBERRY	#2 POT; 40CM	
	176	LEYMUS MOLLIS	DUNE GRASS	#1 POT	
	302	GAULTHERIA SHALLON	SALAL	#1 POT; 20CM;	
	146	MAHONIA NERVOOSA	LONGLEAF MAHONIA	#1 POT; 25CM	
	147	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 25CM	
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER OMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY					

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ARCHITECTS

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Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

14	21.MAY.21	PLANT LIST; PLAY UNIT	
13	21.APR.23	CITY COMMENTS	YR
12	21.APR.13	NEW SITE PLAN	JR
11	21.MAR.19	CITY COMMENTS	YR
10	20.SEP.18	NEW SITE PLAN	JR
9	20.SEP.14	REVISE DECK DETAIL	JR
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4	19.JUL.23	NEW SITE PLAN	RJ
3	19.MAY.31	NEW SITE PLAN	RJ
2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

Plan #35
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

10333 RIVER DRIVE
RICHMOND, B.C.

DRAWING TITLE:

**ESA LANDSCAPE
PLAN**

DATE: 18.JUN.27

DRAWING NUMBER:

SCALE: 3/32"=1'-0"

DRAWN: MM

DESIGN: MM

CHK'D: MCY

L4

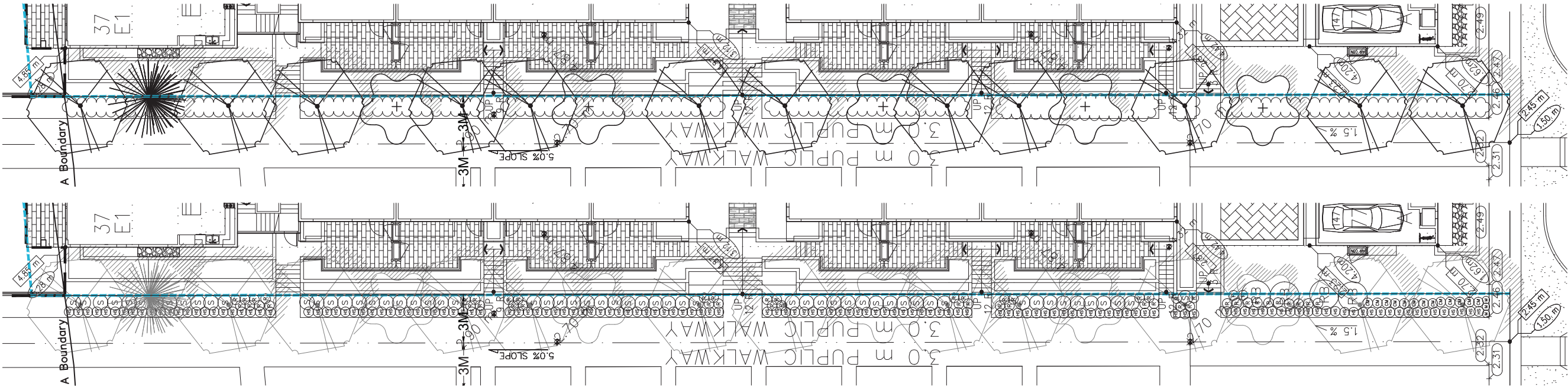
OF 10

PMG PROJECT NUMBER:

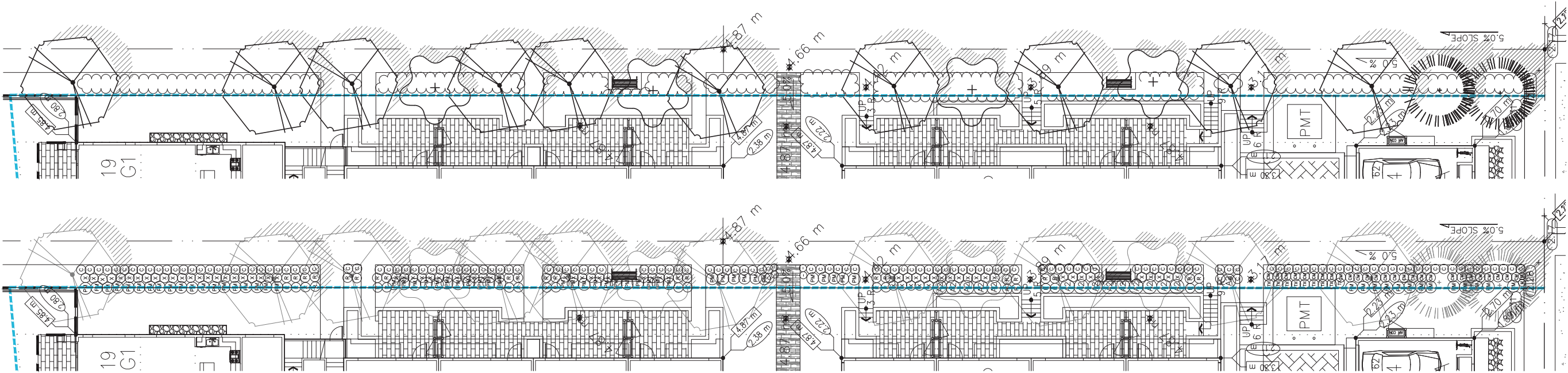
18-128



18128-8.ZIP



SRW LANDSCAPE PLAN- WEST



SRW LANDSCAPE PLAN- EAST



SRW BOUNDARY



NO.	DATE	REVISION DESCRIPTION	DR.
14	21.MAY.21	PLANT LIST; PLAY UNIT	
13	21.APR.23	CITY COMMENTS	YR
12	21.APR.13	NEW SITE PLAN	JR
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3	19.MAY.31	NEW SITE PLAN	RJ
2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC

CLIENT:

Plan #36
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

10333 RIVER DRIVE
RICHMOND, B.C.

DRAWING TITLE:

SRW LANDSCAPE
PLAN

DATE: 18.JUN.27

SCALE: 3/32"=1'-0"

DRAWN: MM

DESIGN: MM

CHK'D: MCY

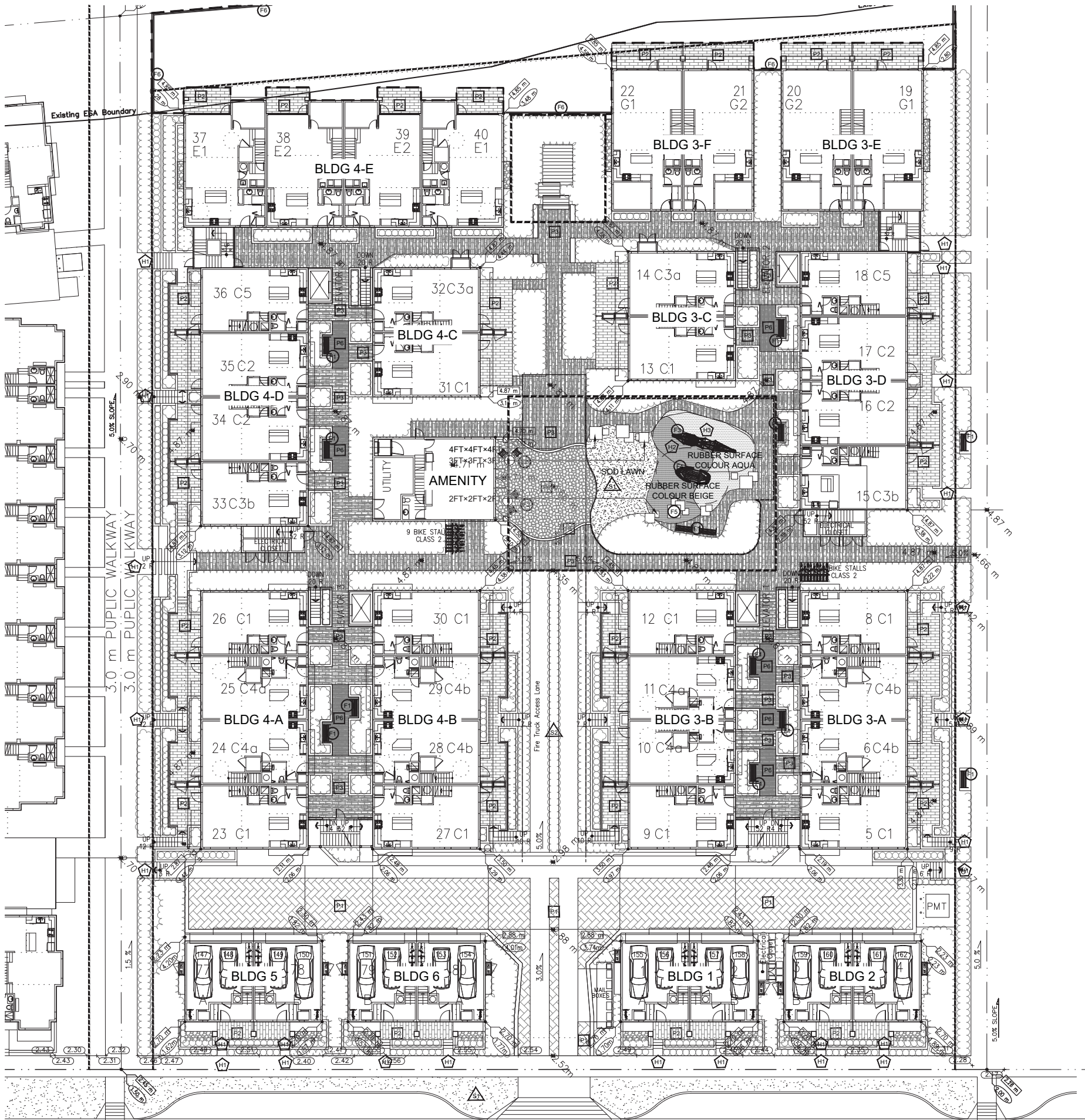
DRAWING NUMBER:

L6

OF 10

PMG PROJECT NUMBER:

18-128



MATERIALS PLAN

PAVING LEGEND

KEY	SYMBOL	DESCRIPTION
	P1	PERMEABLE PAVERS HERRINGBONE; SHADOW
	P2	BARKMAN TERRA NOVA SLAB PAVERS 38.38" x 10.16" x 2"; MOUNTAIN ASH
	P3	BARKMAN ARBORWOOD PAVERS 31.50" x 7.87" x 2.36"; TIMBER WOLF GREY
	P4	BARKMAN FLAGSTONE PAVERS 18" x 14.92/8.98" x 2.36"; SIERRA GREY
	P5	PERMEABLE PAVERS SOLDIER COURSE; SHADOW
	P6	BARKMAN BRIDGEWOOD SLAB PAVERS 23.43" x 9.84" x 2"; CEDAR BROWN

HARDSCAPE LEGEND

KEY	SYMBOL	DESCRIPTION
	H1	CONCRETE
	H2	RUBBER PLAY SURFACE BEIGE
	H3	RUBBER PLAY SURFACE AQUA

SOFTSCAPE LEGEND

KEY	SYMBOL	DESCRIPTION
	S1	SOD LAWN
	S2	WALDSTEINIA TERNATA

SITE FURNITURE LEGEND

KEY	SYMBOL	DESCRIPTION
	F1	MAGLIN BENCH MLB970 - ORANGE
	F2	MAGLIN: FRT1700-RD-MI-FS36 TABLE W/ CHAIRS FRC1700-MSF-M1-A LASER CUT
	F3	KOMPAN OCEAN ARCH COR82500
	F4	KOMPAN FOREST LAKE BOAT NR0514-1021 COLOR IG
	F5	CONCRETE CUBES BRICK RED, TUSCAN YELLOW, LIGHT TERRACOTTA
	F6	RAIL FENCE (ESA)

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Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

14	21.MAY.21	PLANT LIST; PLAY UNIT	
13	21.APR.23	CITY COMMENTS	YR
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3	19.MAY.31	NEW SITE PLAN	RJ
2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT:

Plan #37
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

10333 RIVER DRIVE
RICHMOND, B.C.

DRAWING TITLE:

MATERIALS PLAN

DATE: 18.JUN.27

DRAWING NUMBER:

SCALE: 1/16"=1'-0"

DRAWN: MM

DESIGN: MM

CHK'D: MCY

L7

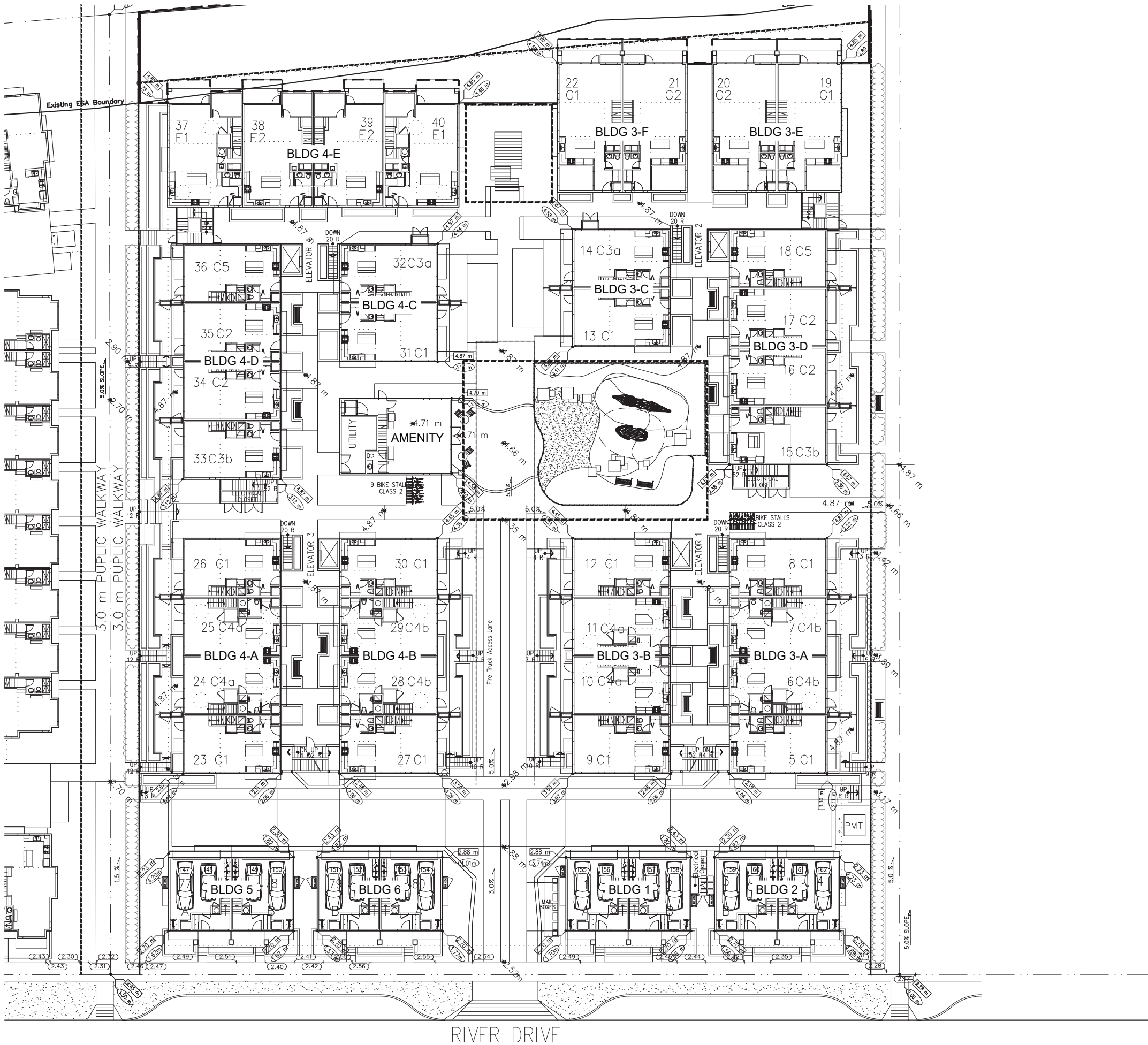
OF 10

PMG PROJECT NUMBER:

18-128



18128-8.ZIP



SEAL:

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12	21.APR.13	NEW SITE PLAN	JR
11	21.MAR.19	CITY COMMENTS	YR
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2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT: **Plan #38**
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

10333 RIVER DRIVE
RICHMOND, B.C.

DRAWING TITLE:

GRADING PLAN

DATE: 18.JUN.27 DRAWING NUMBER:
SCALE: 1/16"=1'-0"
DRAWN: MM
DESIGN: MM
CHK'D: MCY

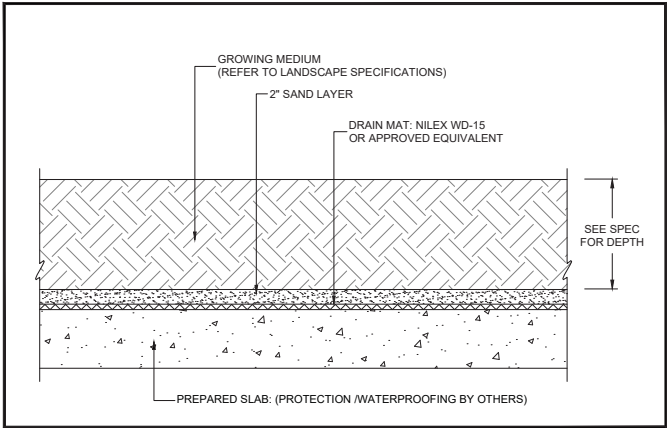
L8

OF 10

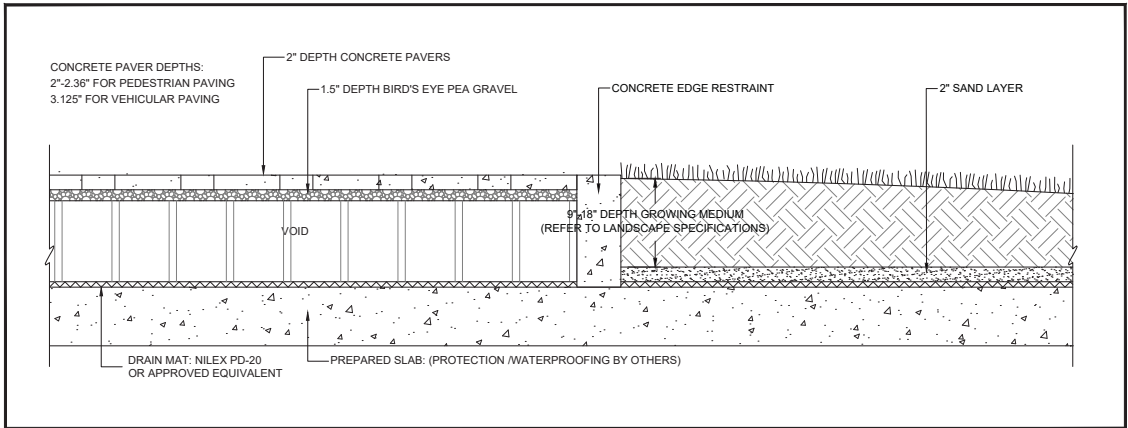
PMG PROJECT NUMBER:

18-128

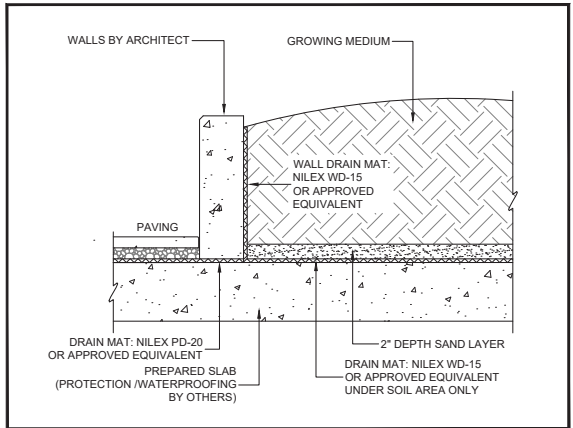




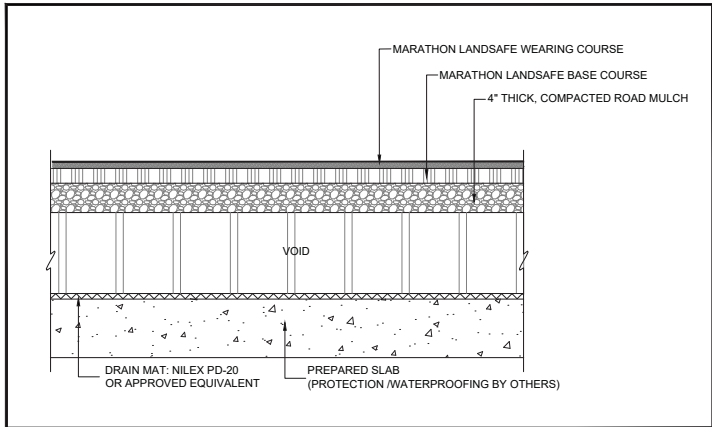
1 PLANTING ON SLAB
1"=1'-0"



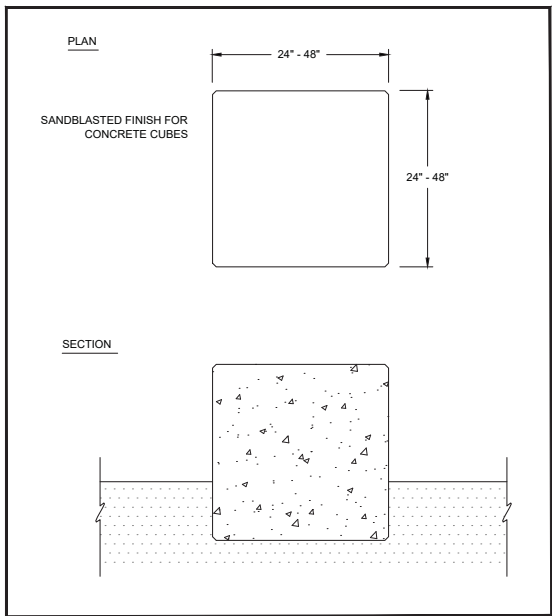
2 PAVERS ON SLAB
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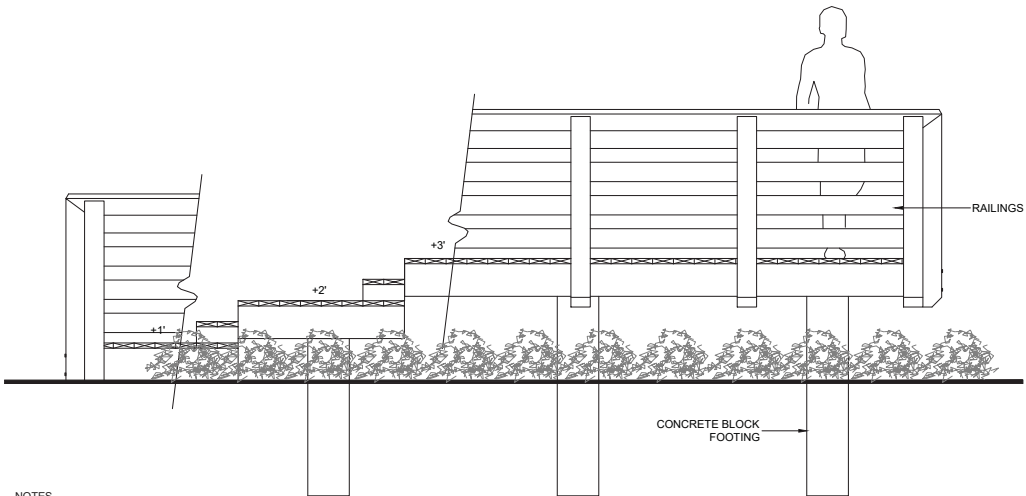
3 PLANTER WALL ON SLAB
1"=1'-0"



4 POURED IN PLACE RUBBER PLAY SURFACE
1"=1'-0"

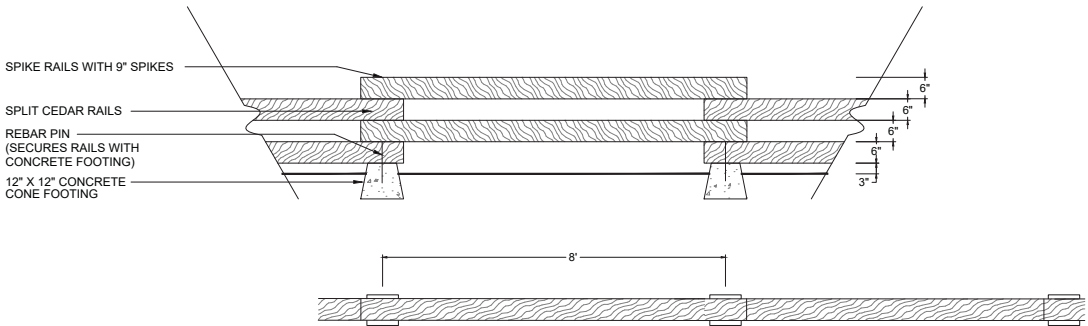


5 CONCRETE CUBES
1"=1'-0"



- NOTES**
- OVERALL DIMENSIONS TO BE CONFIRMED AND BE SITE FITTED.
 - ALL POSTS, FRAMING, DECKING AND RAILINGS TO BE PRESSURE TREATED CSA STANDARDS AND END CUTS TREATED WITH PRESERVATIVE.
 - REFER TO STRUCTURAL ENGINEER DRAWINGS FOR DETAILS.

6 RAISED DECK
1/2"=1'-0"



7 RAIL FENCE (ESA)
1/2"=1'-0"

SEAL:

14	21.MAY.21	PLANT LIST; PLAY UNIT	
13	21.APR.23	CITY COMMENTS	YR
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3	19.MAY.31	NEW SITE PLAN	RJ
2	18.AUG.13	NEW SITE PLAN & SECTIONS	MM
1	18.JUL.27	NEW SITE PLAN	MC
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT: **Plan #39**
DP 16-747620
May 23, 2021

PROJECT:

PARC PORTOFINO

10333 RIVER DRIVE
RICHMOND, B.C.

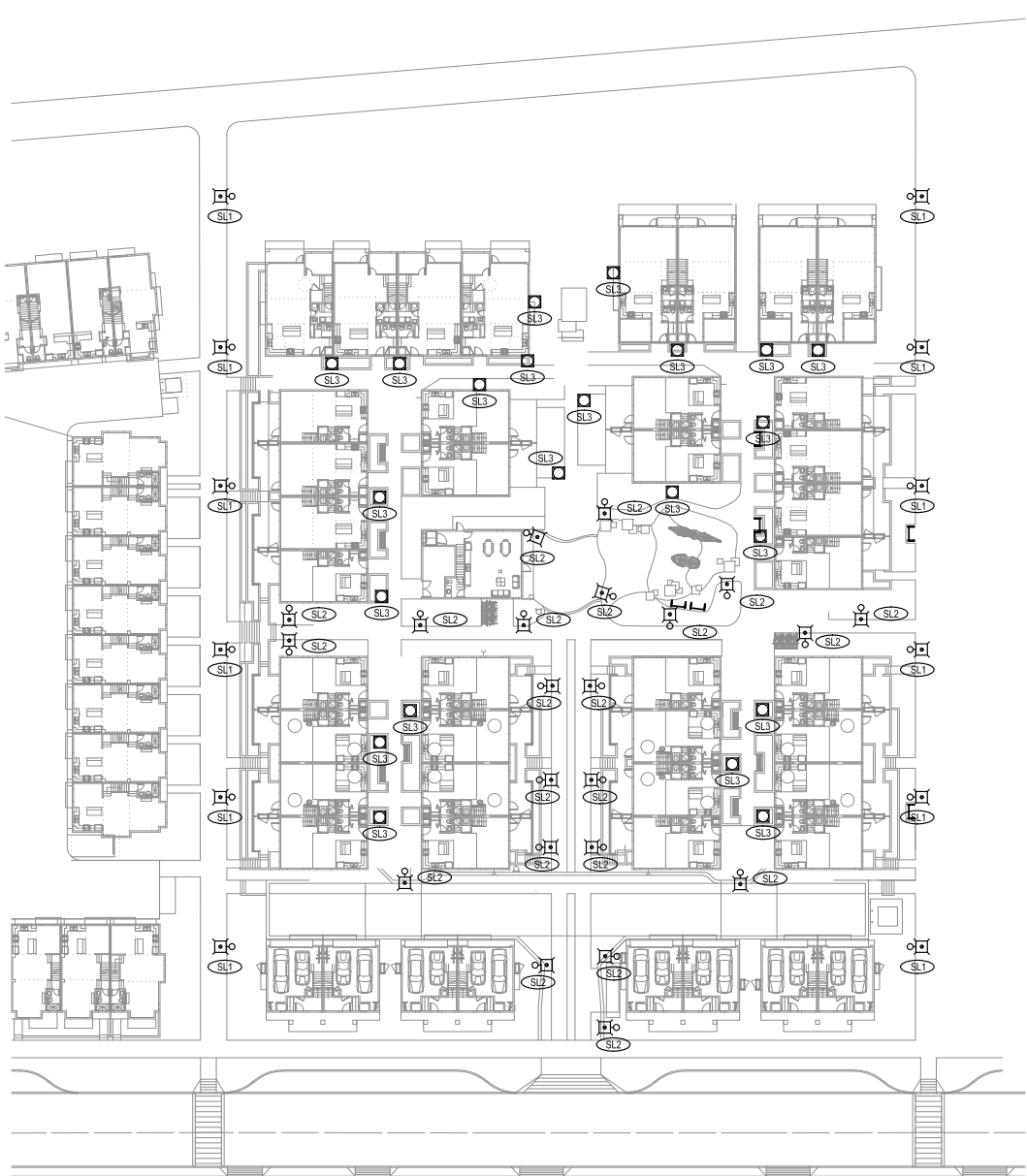
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DETAILS

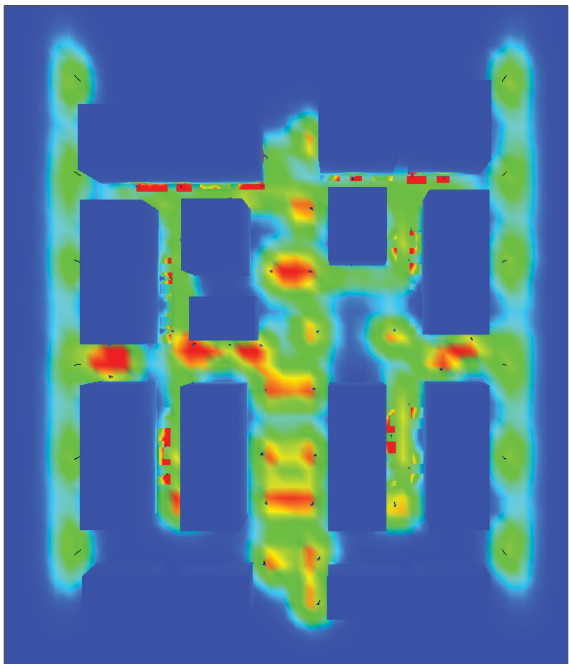
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SCALE: AS NOTED
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DESIGN: MM
CHK'D: MCY

L9

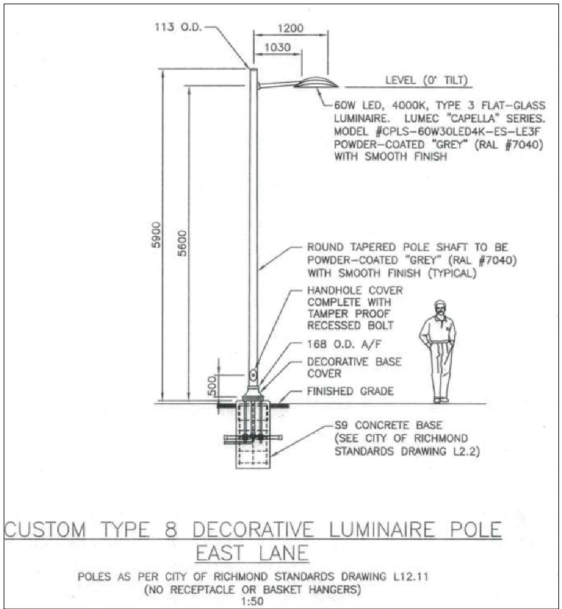
OF 10



1 SITE LIGHTING PLAN
E1.00 SCALE: 1/32" = 1'-0"



2 SITE LIGHTING PSEUDOCOLOR PHOTOMETRIC RENDER
E1.00 SCALE: N/A



3 CITY OF RICHMOND LUMINAIRE POLE STANDARD
E1.00 SCALE: N/A

SYMBOL LEGEND	
	PLANTER FIXTURE
	POLE MOUNTED FIXTURE
	LUMINAIRE TYPE TAG

GENERAL NOTES	
1	REFER TO E1.00 DETAIL 3 FOR CITY OF RICHMOND DECORATIVE LUMINAIRE POLE STANDARDS.



REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	ISSUED FOR DEVELOPMENT PERMIT	2021.05.28	AWK

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architecture inc.
BRITISH COLUMBIA • ALBERTA • WASHINGTON
202 - 2425 Quebec Street 604.873.2907
Vancouver, BC V5T 4L6 fougerearchitecture.ca

REFERENCE DRAWINGS	
FOR BEST PLOTTING RESULTS, BE SURE TO USE WILLIAMS ENGINEERING CANADA AUTOCAD PLOT CONFIGURATION FILES AVAILABLE FROM: www.williamsengineering.com	

LEGEND	
	SECTION # SOURCE / REFERENCE DWG.
	DETAIL # SOURCE / REFERENCE DWG.

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Plan #40
DP 16-747620
May 23, 2021



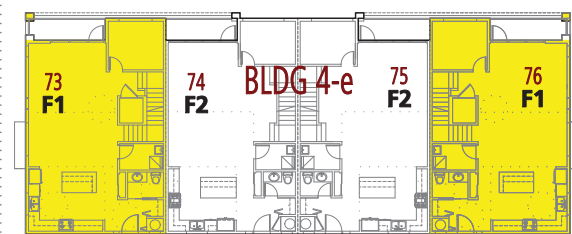
WILLIAMS ENGINEERING
CANADA
ABBOTSFORD OFFICE
200-1020 McCulloch Road
Abbotsford, BC V2S 8A3
Buc: (604) 855-7900
Toll Free: 1-800-363-2393
Fax: (604) 855-7991
www.williamsengineering.com

CLIENT:
DAVA DEVELOPMENTS

JOB TITLE:
PARC RIVIERA 10
TOWNHOMES
10333 RIVER DRIVE
RICHMOND, BC

DWG. TITLE:
**SITE LIGHTING
PLAN**

DWG. BY:	AWK	DES. BY:	MJP	PROJ. MGR:	TS
PER. REVIEW:	MA	DATE:	21 MAY 2021	SCALE:	1" = 20'-0"
CLIENT PROJ. #		NE PROJ. #			38080.00
REV	E1.00	BY	AWK	REV	1



3rd & 4th FLOOR



- BARRIER FREE UNIT**
incorporates all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw and comply with the BC Building Code requirements for accessible housing.
- CONVERTIBLE UNIT**
designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of an elevator to provide access to the two levels of the two-storey units.
- ELEVATORS**
- WHEELCHAIR CIRCULATION**



ACCESSIBILITY STRATEGY SITE PLAN

SCALE 1/16" = 1'-0"
0m 3m 10m 15m

Plan #41
DP 16-747620
May 23, 2021

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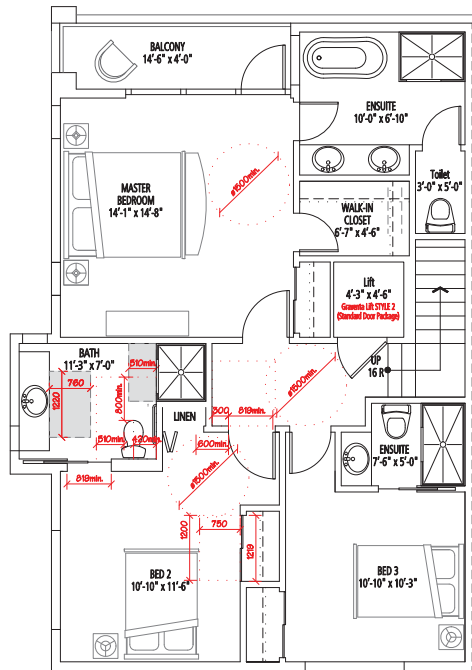
PARC PORTOFINO
10333 River Drive
for
Dava Developments Ltd.

APRIL 20, 2021

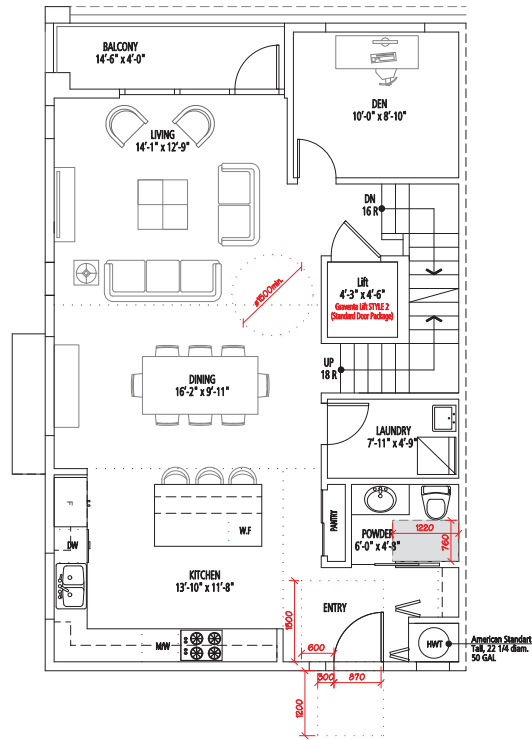
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PARKADE
(to visitor parking)
to Garbage and Recycling

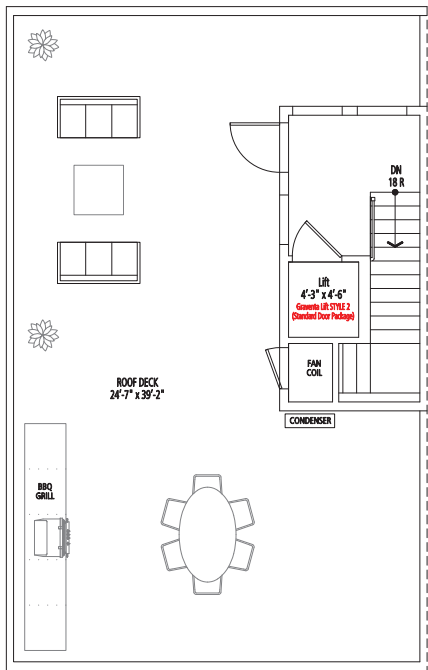
RIVER DRIVE



UNIT F1 BARRIER FREE HOUSING UNIT
THIRD FLOOR



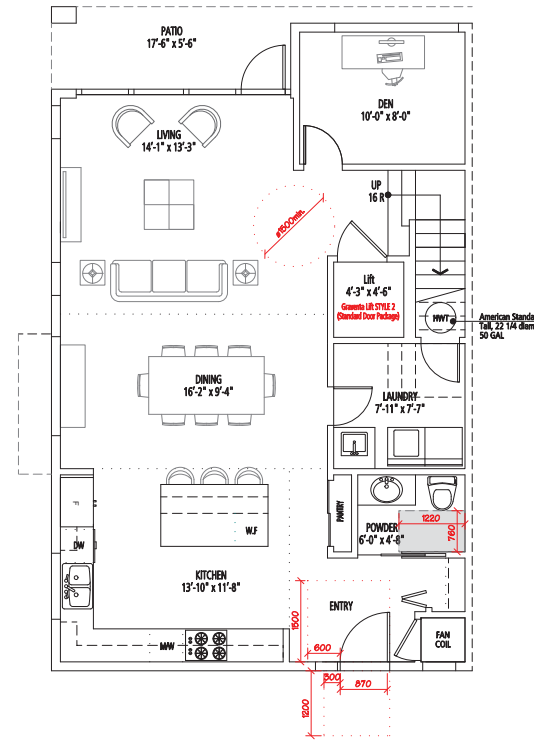
FOURTH FLOOR



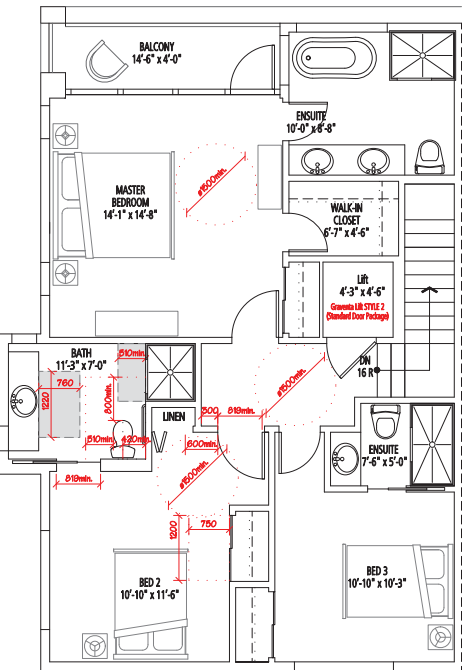
ROOF FLOOR

Summary of the Convertible Unit Features Checklist

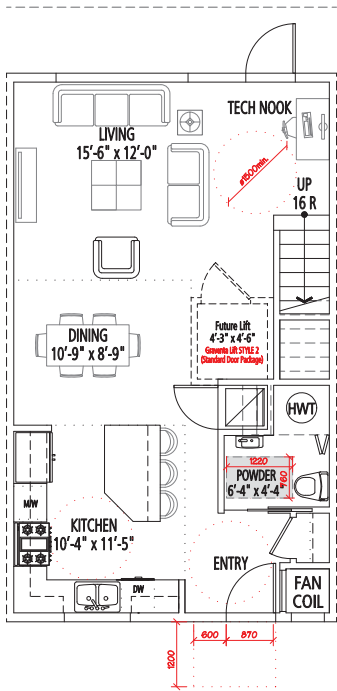
- Entry doors min. 863mm clear opening (3'-0" swinging door spec.)
- Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
- Interior doors to entry & main living areas, min. 800 mm clear opening. (2'8"sliding or 2'10"swinging door spec.) with flush thresholds max.13mm height.
- Stair lift as per manufacturer spec (Bruno,SRE-2010-Electra-Ride)
- Hallways minimum 900 mm width
- Door from garage to living area 819 mm clear opening (2'-10" swinging door)
- 1 accessible parking space with min. 4 m garage width.
- Min. clear opening 860 mm clear opening to Patios and Balconies.
- Toilet clear floor space min. 1020 mm at side and in front
- Interior Doors to main living areas, 1 bedroom and 1 bedroom min 800 mm clear opening with flush thresholds max. 13 mm height.
- Wall blocking for future installation of grab-bars (toilet, tub and shower)
- Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter)
- 1500 mm turning diameter or turning path diagram
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



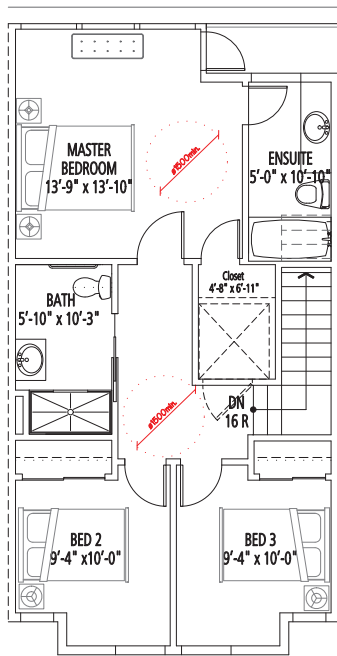
UNIT E1 BARRIER FREE HOUSING UNIT
FIRST FLOOR



SECOND FLOOR



UNIT C4 CONVERTIBLE UNIT
FIRST FLOOR



SECOND FLOOR

ACCESSIBILITY STRATEGY FLOOR PLANS

SCALE 3/16" = 1'- 0"

0 5' 10' 15'

Plan #42
DP 16-747620
May 23, 2021

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VIEW CORRIDORS

6 storey buildings

4 storey buildings

3 storey buildings

2/ 2.5 storey buildings



CONTEXT PLAN

SCALE 1" = 100'-0"
0 25m 50m 100m

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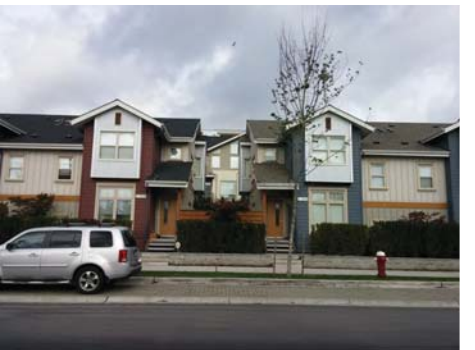
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VIEW 1



VIEW 2



VIEW 3



VIEW 4



VIEW 5



**PERSPECTIVE
VIEWS**

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AERIAL

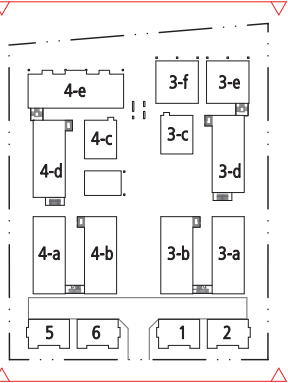
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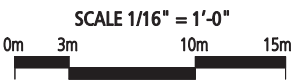
STREETSCAPE



DIKESCAPE



STREETSCAPES

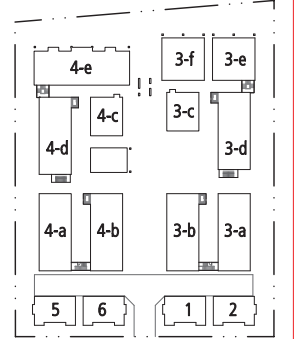


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STREETSCAPES

SCALE 1/16" = 1'-0"

0m 3m 10m 15m

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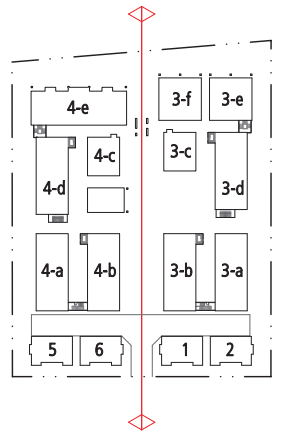
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SCALE 1/16" = 1'-0"

0m 3m 10m 15m

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VIEW 1



VIEW 3



VIEW 2



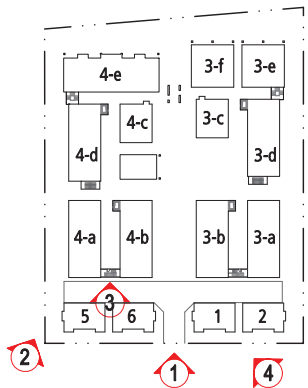
VIEW 4

PERSPECTIVE
VIEWS

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VIEW 5



VIEW 6



VIEW 7



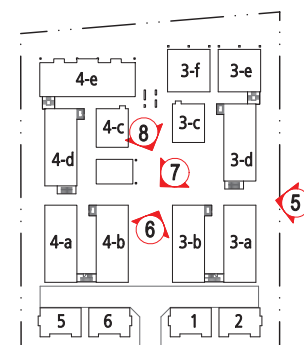
VIEW 8

PERSPECTIVE VIEWS

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VIEW 9



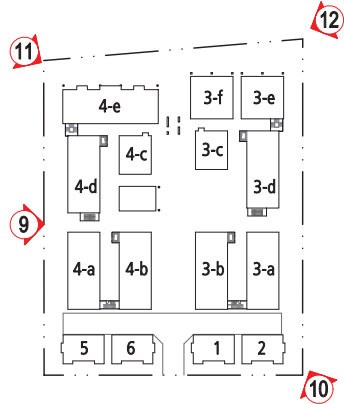
VIEW 10



VIEW 11



VIEW 12



PERSPECTIVE
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- 1 PLAYGROUND
- 2 COVERED SEATING AREA
- 3 INDOOR AMENITY (2 STOREYS)
- 4 VIEWING PLATFORM

OPEN SPACES AMENITY AREA

SCALE: 1/8" = 1'-0"
0 5' 15' 25'



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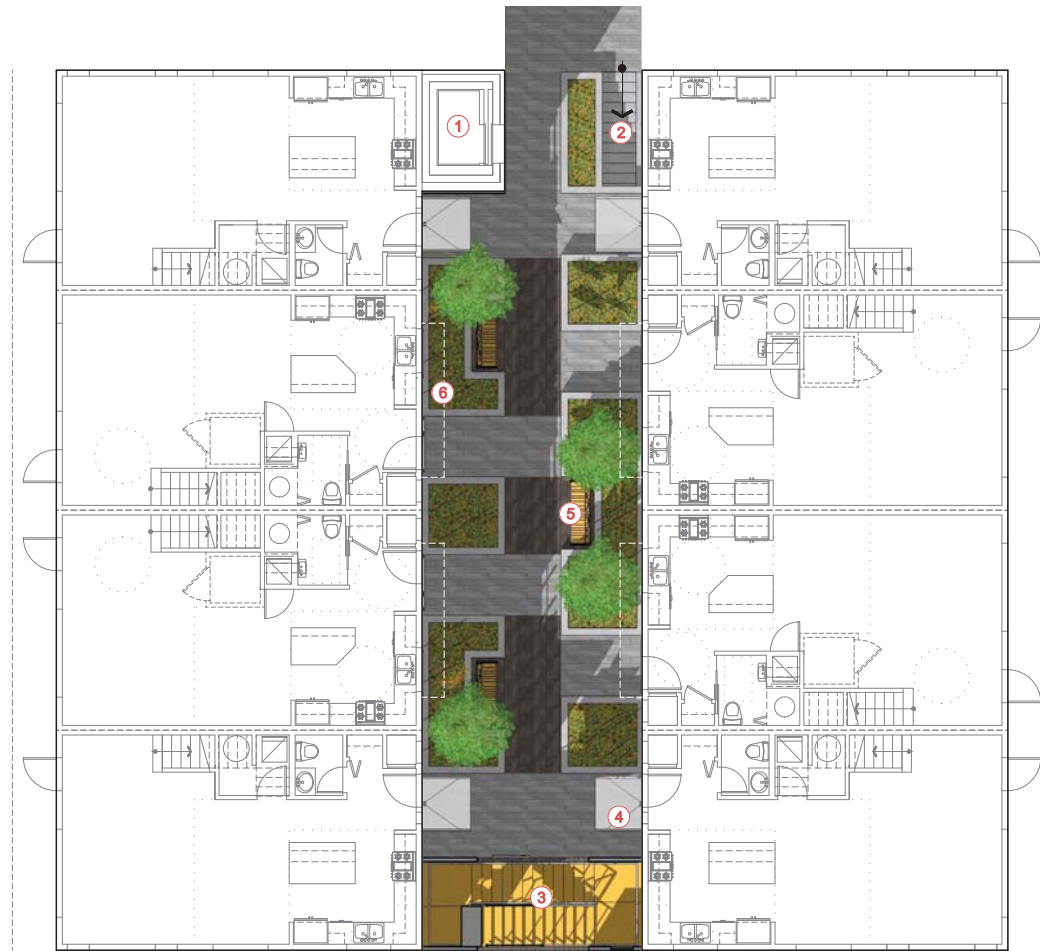
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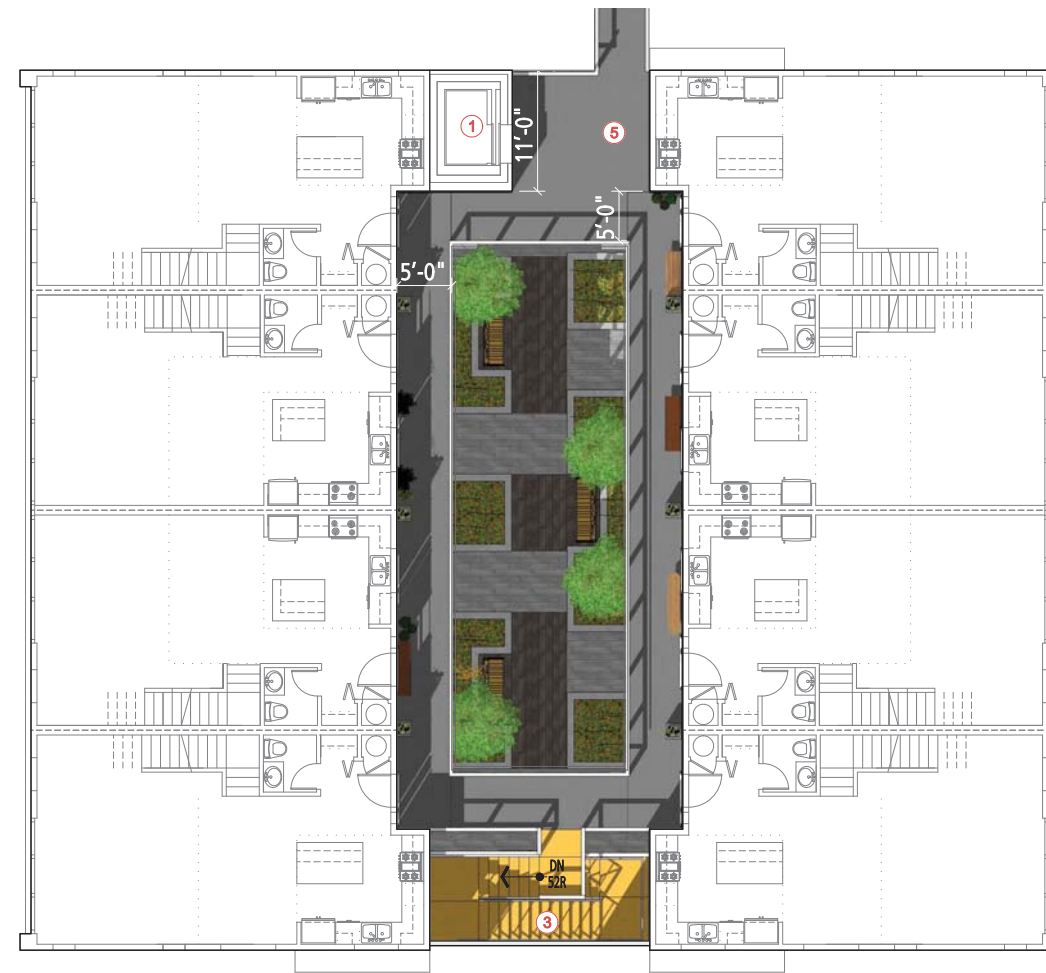
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- 1 ELEVATOR
- 2 STAIR TO UNDERGROUND
- 3 STAIRCASE
- 4 GLASS ROOF OVER ENTRY
- 5 GATHERING SPACE
- 6 BAYS (FLOOR ABOVE) OVER ENTRY



OPEN SPACES COURTYARDS

SCALE: 1/8" = 1'-0"
0 5' 15' 25'

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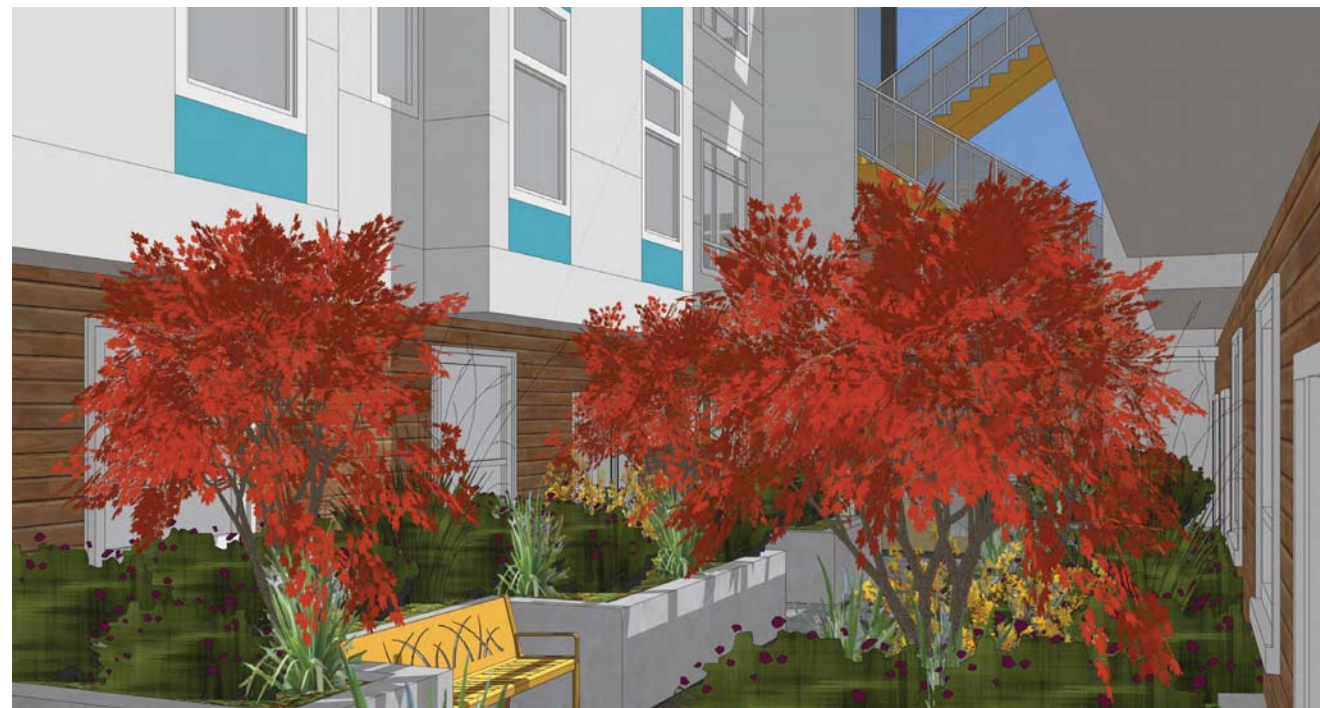
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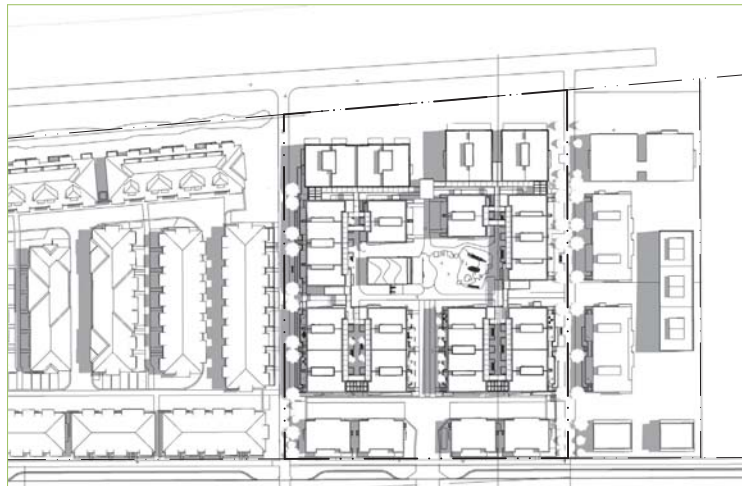
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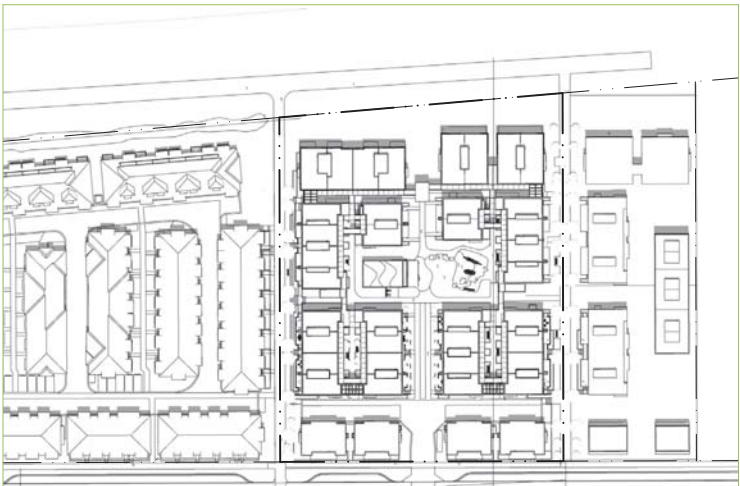
COURTYARD- Ground Floor



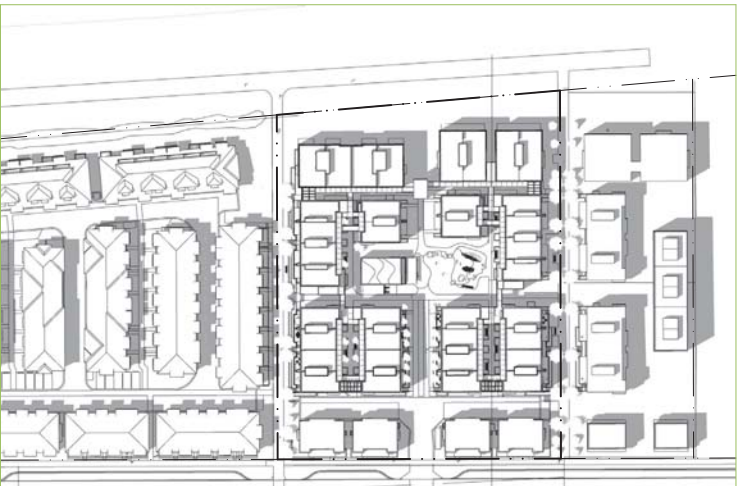
COURTYARD- 4th Floor



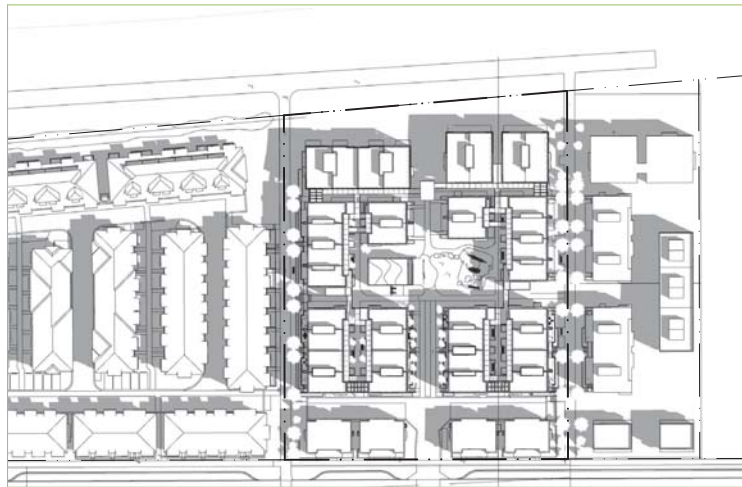
JUNE 21, 10:00 AM



JUNE 21, 12:00 PM



JUNE 21, 2:00 PM



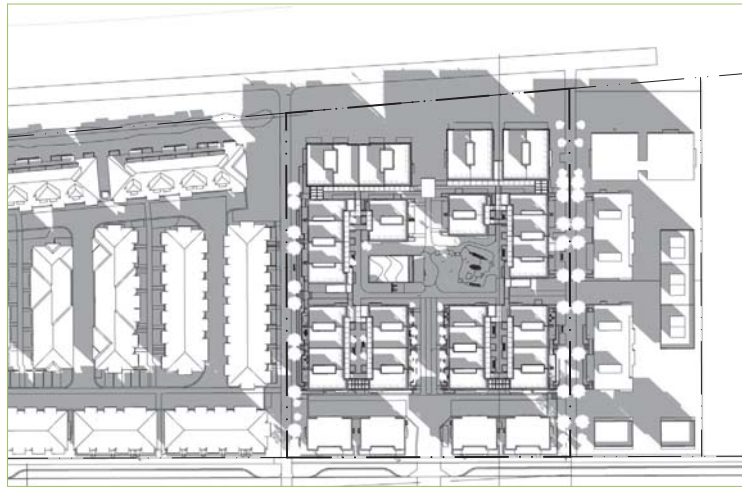
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MARCH/SEPTEMBER 21, 12:00 PM



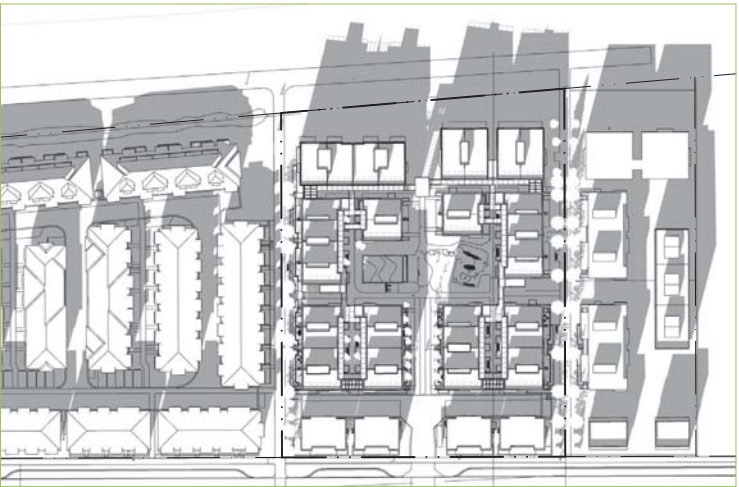
MARCH/SEPTEMBER 21, 2:00 PM



DECEMBER 21, 10:00 AM



DECEMBER 21, 12:00 PM



DECEMBER 21, 2:00 PM

SHADOW STUDY



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City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: May 21, 2021

From: Wayne Craig
Director of Development

File: DP 18-829228

Re: Application by QRD (Hamilton) LP for a Development Permit at 23400, 23440, 23460 and 23500 Gates Avenue

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 60 townhouse units at 23400, 23440, 23460 and 23500 Gates Avenue and the surplus portion of the Gates Avenue road allowance on a site zoned "Town Housing - Hamilton (ZT86)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce:
 - a) the minimum front yard setback to Gates Avenue from 4.0 m to 3.4 m; and
 - b) the minimum west side yard setback from 7.5 m to 6.0 m.

Wayne Craig
Director of Development

WC:el
Att. 3

Staff Report

Origin

QRD (Hamilton) LP (Incorporation number: BC1116515; Director: Matthew Weber, Rajpal Dhaliwal, Harpreet Saran and Richard Lawson) has applied to the City of Richmond for permission to develop 60 townhouse units and a 920.6 m² (0.23 acre) city park at 23400, 23440, 23460 and 23500 and a portion of Gates Avenue. The applicant has proposed to purchase the surplus road allowance on Gates Avenue and consolidate it into the development site. The proposed development includes a variety of unit types within the six buildings as follows:

- Four buildings include a total of 48 stacked townhouse units with garages occupying the ground floor. The 48 stacked units include 16 two-bedroom units located on the second floor of the buildings interspersed with 32 three-bedroom units with living space on the second and third floors of the buildings.
- Two buildings with a total of 12 three-storey standard townhouse units with their garages occupying most of the ground floor and living space on the second and third floors that face onto the north-south Strollway.

The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing - Hamilton (ZT86)” zone and “School & Institutional Use (SI)” zone for this project under Bylaw 9932 (RZ 17-766714), which received Third Reading following the Public Hearing on July 15, 2019. The site currently contains three single family dwellings and a non-conforming duplex, which will be demolished.

A Servicing Agreement is required as a condition of rezoning adoption and includes, but is not limited to, the following improvements:

Frontage Improvements

- At the western portion of the site’s frontage, construction of a cul-de-sac, with a 2.0 m (6.6 ft.) wide concrete sidewalk, new curb/gutter and a minimum 7.5 m (24.6 ft.) wide driving surface.
- Along Gates Avenue, from the west property line to western limit of the proposed cul-de-sac, construction of a 2.0 m (6.6 ft.) wide concrete sidewalk, 1.5 m (4.9 ft.) wide treed and grassed boulevard with street lighting, and pavement widening to provide a min. 6.0 m (19.6 ft.) wide driving surface and tie to the existing northern edge of the roadway.
- Along Gates Avenue, east of the cul-de-sac, construction of a new 2.0 m (6.6 ft.) wide concrete sidewalk and sufficient road widening to maintain two-way traffic to the eastern end of Gates Avenue.
- Along the entire east property line of the site extending northward to the Highway 91A pedestrian overpass, repave and widen the existing asphalt walkway within the Highway 91A road allowance to min. 3.0 m wide with pedestrian lighting. (The Ministry of Transportation and Infrastructure has confirmed that it would accept an application from the City to do the work itself under the Servicing Agreement with the developer.)

Servicing Works

- Removal and replacement of approximately 85 m (279 ft.) of the existing 150mm watermain at Gates Avenue with a 300mm diameter main (complete with fire hydrants as per City standards) from the intersection of Gates Avenue and Smith Crescent to the proposed cul-de-sac on Gates Avenue.
- Installation of approximately 80 m (262 ft.) of 600mm storm sewer along Gates Avenue from the proposed cul-de-sac to Smith Crescent.
- Installation of approximately 178 m (584 ft.) of sanitary sewer main from the proposed cul-de-sac on Gates Avenue to the intersection of Willett Avenue and Smith Crescent. Should development proceed prior to the completion of the City Capital Project for the VLA Park sanitary pump station, or should this Capital Project not proceed, the developer will be required to construct the sanitary pump station.
- Placement of the existing private utility overhead lines (e.g. BC Hydro, Telus and Shaw) underground from Smith Crescent to the eastern side of the development site.

Parks Works

- Construction of the East-West and North-South Strollways as per the SA drawings.
- Rehabilitation of the ESA compensation and enhancement area (i.e., proposed city park) by clearing all plants and shrubs which are dominated by Himalayan blackberry. As indicated in the Stage 2 QEP report, these pre-construction works will be supervised by the QEP.
- Improve the habitat value of the ESA compensation and enhancement area by landscaping the area as per the Stage 1 and Stage 2 QEP reports as well as the final ESA landscape plans. The proposed landscaping is designed to provide:
 - summer and winter foraging opportunities for a diverse array of bird species;
 - perching and nesting opportunities by planting of coniferous trees; and
 - thick ground cover placed strategically with large woody debris to make travel corridors for small mammals as well as to retain soil moisture for amphibians and gastropods.
- An ESA landscaping security (based on landscape estimates and monitoring costs, plus a 10% contingency) will be secured as part of the Servicing Agreement application to ensure that the proposed ESA enhancement works are completed, monitored and maintained for three years. If the works are satisfactorily completed, monitored and maintained, the security will be released in stages, with 70% release after substantial completion and 10% releases each year for the three years after substantial completion.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: Across Gates Avenue, single family properties zoned “Single Detached (RS1/F)” and designated “Neighbourhood Residential (Stacked Townhouse 1.0 FAR)” within the Hamilton Area Plan.
- To the South: Single family properties zoned “Single Detached (RS1/F)” and designated “Neighbourhood Residential (Stacked Townhouse 1.0 FAR)” within the Hamilton Area Plan.
- To the East: Ministry of Transportation road allowance that includes a large grassed area with blackberries and several small trees, a pathway, a highway sound barrier and Highway 91A.
- To the West: Single family properties zoned “Single Detached (RS1/F)” and designated “Neighbourhood Residential (Stacked Townhouse 1.0 FAR)” within the Hamilton Area Plan.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on July 15, 2019. No concern regarding the rezoning application was expressed at the Public Hearing.

Staff Comments

The proposed scheme of the townhouse development attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Town Housing - Hamilton (ZT86)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

- 1) reduce the minimum front yard setback to Gates Avenue from 4.0 m to 3.4 m; and

This variance is to accommodate the proposed building projections on the second and third floors of Building #6, which fronts Gates Avenue. While this variance was not noted at time of rezoning, staff consider this to be a minor variance and support it based on the following:

- ***This portion of Gates Avenue will be converted to a Strollway when the site on the north side of Gates Avenue redeveloped. The proposed projects would help creating a more intimate streetscape along the future Strollway.***
- ***The projections do not compromise tree planting opportunity along the site frontage.***
- ***The projections also help providing appropriate building articulation along Gates Avenue and establishing the architectural character of the development proposal.***

- 2) reduce the minimum west side yard setback from 7.5 m to 6.0 m.

This variance is to accommodate

- *covered porches on the ground floor and balconies on the 2nd floor, where the supporting columns are set back 6.01 m to 6.54 m from the west property line;*
- *second floor building projections at 7.0 m from the west property line; and*
- *third floor building projections at 6.39 m from the west property line.*

While this variance was not noted at time of rezoning, staff support it based on the following:

- *While the proposed balconies and porches front the west side lot line of the development site, these amenities project into the private outdoor space in front of each of the units fronting the North-South Strollway along the west property line. These balconies and porches will enhance passive surveillance opportunity along the Strollway.*
- *The balconies on the second floor will be located approximately 6.0 m to 6.5 m from the property line. Trees and shrubs are also proposed along the Strollway to provide privacy screening.*
- *The second and third floor projections do not compromise tree planting opportunity along the North-South Strollway. The projections also help provide appropriate building articulation along the Strollway and establishing the architectural character of the development proposal.*
- *The reduced setback at 6.0 m is generous and larger than a typical side yard setback required under the City's standard single-detached and townhouse residential zones.*

Environmentally Sensitive Area

The ESA approach was identified through the Rezoning process. The OCP designates 966.2 m² (10,400 ft²) of the south-east corner of the subject site as an ESA Development Permit Area. As part of the Development Permit Area guidelines, the City requires that a developer engage a Qualified Environmental Professional (QEP) to undertake an assessment to ground truth the generalized ESA mapping and classifications in the OCP. In the QEP assessment for the project, the QEP and surveyor have confirmed that there is actually 886.6 m² (9,543 ft²) of on-site ESA located within the larger mapped ESA area in the southeast corner of the site (see DP Plan #21). The QEP has assessed the value of the vegetation within the ESA and along with information from the arborist and summarized below.

Key finding of the QEP include:

- Himalayan blackberry dominates all other vegetation, with native plants essentially being absent in the designated ESA.
- There is little to no natural large woody debris which would provide, if present, important habitat, for small mammals and amphibians.
- Of the 11 trees identified by the project arborist located within the existing mapped ESA, nine trees in poor condition are recommended to be removed. One tree in good condition and one tree in poor condition near the eastern edge of the site are proposed to be preserved as recommended by the project arborist.

On the basis of this work and through discussions with City staff, the QEP proposes a re-shaped ESA enhancement and compensation area of 905.7 m² (9,749 ft²) along the eastern side of the site (see DP Plan #21). This ESA area will be included within the proposed 920.6 m² (0.23 acre) City park (see DP Plan #22).

Key elements of the proposed ESA enhancement landscape plans and QEP reports include:

- The proposed ESA compensation and enhancement area will provide improved habitat value compared to the existing mapped ESA and contribute to the City's Ecological Network.
- Rehabilitation of the area by clearing all plants and shrubs which are dominated by Himalayan blackberry.
- There will be preservation of 17 existing trees within the new ESA compensation area that includes 14 Spruce trees, two Mountain Ash trees and an English Oak tree. Of these trees, 15 trees in good condition are located outside of the existing mapped ESA and within the proposed new ESA compensation area located to the north in the proposed park. The remaining two trees to be preserved include the above-noted trees within the existing mapped ESA.
- Planting of a further native 17 deciduous trees, 16 coniferous trees, 688 native shrubs and ground covers/grasses.
- Placement of large woody debris (from removal of the trees within the development site) to create additional habitat.

There will also be the requirement for a three-year monitoring and maintenance plan after the habitat enhancement and compensation work is completed as recommended by the QEP.

The proposed ESA compensation and enhancement plan has been accepted on the above basis and given that:

- The area is larger in than the existing surveyed 887 m² (9,543 ft²) ESA area.
- It creates a multi-structured, species-rich link that will provide year-round foraging opportunities for a wide variety of bird species, small mammals and amphibians.
- Allows for enhanced long-term stewardship of the area with City ownership as a park.
- There is an opportunity for the extension of this enhanced ESA corridor onto adjacent ESA area on the property to the south at such time that it may be developed for stacked townhouses.

A final ESA landscape plan and a Stage 2 QEP Report have been prepared to the satisfaction of the Director, Parks Services and the Director of Development and are to be included within the Servicing Agreement.

Proposed Park

As discussed above, the applicant has agreed to transfer a 920.6 m² (0.23 acre) lot for a City park, and which includes the proposed 905.7 m² (9,749 ft²) ESA enhancement/compensation areas and the East-West Strollway running along the southern edge of the site. While this provision of park land is not a requirement under the Area Plan or OCP, the applicant and City

staff agreed that the ESA could be well managed by the City and would augment the semi-natural adjacent area within the Highway 91A road allowance which collectively form part of the City's Ecological Network. There will be no Development Cost Charge (DCC) credits available to the developer for the transfer of the park lot or its improvement.

Contribution for Off-Site Habitat Enhancement

The applicant has also agreed to make a contribution of \$61,000 to the City to undertake a Capital Project for habitat enhancement on City lands forming part of the Ecological Network within the Hamilton Area. Potential sites include the Queen Canal Corridor and Hamilton Highway Park on the east side of Highway 91A. This contribution has been secured at the Rezoning stage.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday November 20, 2019 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The subject site and surrounding properties to the north, south and west are all designated for "Neighbourhood Residential (Stacked Townhouse 1.0 FAR)" within the Hamilton Area Plan.
- Along Gates Avenue, to the east of the new cul-de-sac, the current paved road surface will be maintained in the interim to provide access to the existing three residential lots on the north side of Gates Avenue. At such time these lots are redeveloped for stacked townhouses, this eastern section of Gates Avenue will be converted to a Strollway that connects to the existing north-south pathway within the Highway 91A road allowance to the east.
- There will also be a north-south Strollway within a 3.0 m (9.8 ft.) wide SRW to be registered on Title of the development site that will provide public pedestrian access along the western side of the site and that ultimately will provide a connection between Gates Avenue and Gilley Road when the properties to the south are developed.
- There also will be an east-west Strollway along the southern edge of the site within a 3.5 m (11.5 ft.) wide SRW to be registered on Title that will ultimately provide a connection between the existing north-south pathway within the Highway 91A road allowance and Smith Crescent.
- These SRWs provide for public pedestrian access as part of the Strollway network within the Hamilton Area Plan, will be widened when stacked townhouse developments are constructed to the west and south, and will be maintained by the subject developments.
- The proposal satisfies the Hamilton Area Plan's vision while being sympathetic to the adjacent single-family homes. The proposed townhouse clusters have a minimum of 3.0 m and 2.5 m setback to the Strollway SRWs along the west and south sides of the site, respectively. When these SRW widths are taken into account, the buildings will have a total of 6.0 m setback to the west and south property lines.

- The east side yard setback to the proposed City park will be 2.0 m (6.5 ft.). The proposed park/ESA area to the east of the site provides a buffer between the proposed townhouse development and Highway 91.
- A retaining wall (up to approximately 0.85 m high) will be installed on the subject site, along the west and south property lines, in order to allow the Strollways to be constructed at approx. 1.0 m geodetic, which would match the sidewalk grade along Gates Avenue.
- A line of temporary privacy fence (ranges from 1.35 m to 1.8 m tall) will be installed on top of the retaining wall along the west and south property lines. The overall fence height (fence + retaining wall) will comply with the fence height limitations of 2.0 m, as per the zoning bylaw. This privacy fence will be removed when adjacent sites are redeveloped and the Strollways are widened.
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The vehicle and the main pedestrian access for the proposed development is to be provided by the project driveway leading from a new cul-de-sac on Gates Avenue.
- The site layout includes 60 townhouse units in six clusters. The units are laid out along the main north-south drive aisle and two short east-west drive aisles.
- The townhouse clusters are oriented in a grid pattern and multiple pedestrian pathways create a fine-grained network of pedestrian connections. The proposed building length follows the recommendation of creating short blocks. The two clusters with standard townhouse units along the west property line of the site have six units in each cluster. The remaining four clusters on the east side of the property have 12 units in each cluster; but the overall length of each cluster is similar to a building cluster with eight standard townhouse units. This design meet the objectives of the Development Permit Guidelines.
- The Strollways along the south and west sides of the site are provided as set out the proposed amendment to the Hamilton Area Plan with these Strollways providing additional public pedestrian access to future developments to the west and south and the surrounding public streets. The Strollway along the west side of the development site is included within a 3.0 m (9.8 ft.) wide SRW. The Strollway along the south side of the site is included within a 3.5 m (11.5 ft.) wide SRW to allow for additional landscaping being accommodated within the Strollway corridor and for tree preservation on the adjacent lot to the south.
- There will be a central mews of 10.29 m (33.7 ft.) in width that includes the 6.03 m (19.7 ft.) wide common outdoor amenity area with outdoor seating and play equipment located between the two central stacked townhouse clusters.
- The overall size of the proposed outdoor amenity spaces exceeds the minimum identified under the Development Permit Guidelines. The locations and sizes of the outdoor amenity spaces are appropriate in providing open landscape and amenity spaces convenient to all units.
- A mailbox kiosk will be provided at the pedestrian entrance off the Strollway along the west property line, and will be incorporated into the design of Building 1.

- No enclosure housing garbage, recycling and organics storage bins is being proposed as the applicant is opting for door-to-door collection. Garages have been configured to accommodate various collection containers outside of the required parking area within the garage. The internal drive aisles have been designed to provide sufficient turning radius for various collection vehicles.
- Public art was assessed at the Rezoning stage a voluntary contribution to the City's Public Art Reserve fund in the amount of \$67,500.00 has been secured at Rezoning in response to the City's Public Art Program.
- There will be a total of 108 residential and eleven visitor parking spaces within the proposed development. The proposed number of parking spaces is consistent with the Zoning Bylaw 8500 requirements subject to the provision of Transportation Demand Measures (TDM) to the satisfaction of the City. The applicant will be required to provide TDM measures to widen the existing asphalt walkway within the Highway 91A road allowance to a min. 3.0 m (9.8 ft.) width along the eastern side of the site north to the Highway 91A pedestrian overpass and install pedestrian lighting along this pathway.
- The proposal will feature 12 side-by-side double car garages (24 spaces), 16 single car garages, four surface parking spaces and 32 tandem double car garages (64 spaces) for residential parking. The number of parking spaces in a tandem arrangement (i.e., 60% of total residential parking spaces proposed) is consistent with the tandem parking provision included in the "Town Housing - Hamilton (ZT86)" zone (i.e. maximum 67%). A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space has been secured at rezoning.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with the Zoning Bylaw requirements.
- All units have a private outdoor space that meets the Development Permit Guidelines, except for eight of the C units. These units face onto the central open space and will have a small front yard on the ground level plus a balcony on the second floor. While these units will have smaller private outdoor spaces, staff support the proposal of a smaller private outdoor space for these eight units on the bases that:
 - these are smaller two-bedroom units;
 - the configuration of the ground floor patio would still accommodate a small table and chair, as well as planting areas;
 - the proposed balcony on the second floor will be located adjacent to the living area and provide space for outdoor seating;
 - activities that need more space, such as child play, can take place in the shared open space located directly in front of these units; and
 - the overall size of the proposed outdoor amenity spaces exceeds the minimum requirements.

Architectural Form and Character

- The townhouse units are designed with front yards and front doors facing onto Gates Avenue, the two Strollways and the central mews. A pedestrian scale is generally achieved along Gates Avenue, the two Strollways and the central mews through the inclusion of the use of individual unit entrances, front porches, variation in building projections, recesses, varying material/colour combinations and landscape features.
- The two buildings with standard townhouse units along the west property line of the site have a typical building height of three storeys. The remaining four stacked-unit buildings on the east side of the site have three storeys and a roof deck with stairway rooms/penthouses.
- All buildings are modern-style with similar materials and colours. Hardie lap siding and EIFS stucco are the dominant materials on the elevations while brick veneer is used as an accent material on the ground floor of Buildings #3 to #6. The proposed building materials (stucco, horizontal siding, brick, wood trims, etc.) are generally consistent with the Development Permit Guidelines in the Hamilton Area Plan.
- The color palette consists mostly of a variety of grey tones with bays in a light colour to enhance the building form and character. Entre doors are to be painted in multiple accent colours in order to add interest and individuality.
- The first habitable level of the buildings is at the 3.5m Flood Construction Level (just below the second system floor of the buildings). Thus, the ground level of the townhouses is comprised of garages and entry foyers only.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, and planting islands along the drive aisles.
- There is a sound barrier and large grassed area located within the Highway 91A road allowance adjacent to the proposed development. Nevertheless, to address the road traffic noise from the highway, the project acoustical engineer confirmed that the proposed development is designed to meet the CMHC guidelines for interior noise levels and the ASHRAE 55-2004 standard for “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces.

Tree Preservation

- Tree preservation was reviewed at the rezoning stage:
 - 17 trees located within the proposed park / ESA area will be retained due to their good condition and being located within a large contiguous park / ESA area that supports tree preservation; a Tree Survival Security of \$90,000.00 has been secured at Rezoning;
 - Six trees located on the property to the south which are to be maintained and protected;
 - Four trees located on the properties to the west (4620 and 4640 Smith Crescent) are identified for removal. Consent letters from the property owners on the proposed tree removals are on file. Replacement trees are to be planted on the subject development site.
 - All 24 bylaw-sized trees on the townhouse development site and two bylaw-sized trees in the proposed park / ESA area were identified for removal due to poor health as well as the nature of the peat soils in the area and required filling of the site.

- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 60 replacement trees are required for the removal of 30 trees. The applicant is proposing to plant 58 replacement trees on the townhouse site, including 12 coniferous and 46 deciduous trees, as well as 33 native trees in the proposed park / ESA area, including 16 coniferous and 17 deciduous trees.

Landscape Design and Open Space Design

- This site offers great pedestrian permeability by providing walkways along all edges of the development and east-west through the centre.
- The Strollways along the west and south property lines will provide block permeability as future sites are developed.
- A 75 m long open space runs east-west through the development is proposed. This space links to the Strollway along the west property line. At this node, there is a tot play area featuring a sand box, talk tubes, play panels, a chalk board, and stepping stumps.
- A gathering area is also proposed at this node with the covered mail kiosk and benches in separated alcoves.
- The main open space is located between the two central stacked townhouse clusters, featuring stepping rocks, a climbing/sliding structure, a large lawn area and a wooden deck with patio furniture.
- The internal common driveways include permeable pavers at key locations and gentle meanders with clusters of adjacent landscaping to soften the appearance of the driveways throughout the development.
- Private yards fronting Gates Avenue and the two Strollways will feature a small covered patio and a landscaped area with trees, shrubs and lawn that create a comfortable and personal space. Various shrubs and ground covers have been selected to ensure the landscape treatment remains interesting throughout the year.
- The roof decks are designed as a flex space to be customized by individual residents.
- A permanent irrigation system is proposed on the townhouse development site to ensure continued maintenance of live landscaping. A temporary irrigation system is proposed in the park lot during the three year planting monitoring period.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$418,961.42 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$215,797.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the Official Community Plan (OCP).

Crime Prevention Through Environmental Design

- The development has been designed with street-oriented townhouses that provide surveillance of Gates Avenue and the Strollways.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.
- Plantings near residential entries are low to maximize views.

- Low fencing are designed to encourage interaction between neighbours and foster a sense of community.
- Building mounted lighting will be installed along the drive aisles, along the north-south utility path along the east property line, and at unit entries to provide adequate outdoor security illumination; all building mounted lighting will be downward focused.
- Overhead pedestrian lights and bollard accent lights at unit entries will be installed along the Strollways; the lighting are designed to enhance security and visibility along the Strollways as well as to avoid “light-spill” onto adjoining properties.

Sustainability

- At the rezoning stage, the applicant committed to achieving an EnerGuide rating of 82 for the proposed town houses and to pre-ducting all units for solar hot water heating. The proposal meets the grandfathering provisions for Energy Step Code approved by Council.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- Air source heat pumps will be mounted to the roofs of Buildings #1 to #2, and to the rooftops & balconies of Buildings # 3 to #6. Heat pumps on both the balconies and the roof deck will be screened from street view by the parapet wall.
- In accordance with the Hamilton Area Plan, the applicant has also committed, at the rezoning stage, to achieving Leadership in Energy and Environmental Design (LEED) Silver equivalency. A Certified LEED consultant has confirmed that the proposed townhouse units will be designed to achieve silver rating. The Multifamily Sustainability Scorecard (Attachment 3) provided by the LEED consultant is on file and will be utilized through the Building Permit review process to ensure the proposed sustainable strategies are incorporated in the Permit drawings.
- Climate-based automatic irrigation controls will be installed to minimize the use of water on site.
- Pre-ducting within buildings is proposed for future solar energy options.
- The following sustainability features are being proposed in response to Section 13.4.4 Rainwater Management Landscape Elements of the Hamilton Area Plan:
 - reduced driveway width on east-west drive aisles to increase planting opportunities;
 - permeable paving to improve infiltration for ground water recharge and natural watering of trees;
 - native species only in the proposed park / ESA area to be transferred to the city for conservation/environmental purposes.

Accessible Housing

- The proposed development includes ten convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair.
 - the potential conversion of two of the units (i.e., the A4 units) will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this) in the future, if desired; and

- the potential conversion of eight of the units (i.e., the A2 units) will require installation of a chair lift (where the staircase has been dimensioned to accommodate this) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2

EL:cas

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from Advisory Design Panel Meeting Minutes (November 20, 2019)

Attachment 3: Multifamily Sustainability Scorecard

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$418,961.42 (landscape estimates plus a 10% contingency cost).

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 18-829228

Attachment 1

Address: 23400, 23440, 23460 and 23500 Gates Avenue

Applicant: QRD (Hamilton) LP

Owner: 1116515 BC Ltd.

Planning Area(s): Hamilton

Floor Area Gross: 10,314 m²

Floor Area Net: 6,939.5 m²

	Existing	Proposed
Site Area:	8,248.2 m ²	7,327.6 m ²
Land Uses:	Single Family Dwellings and a Non-Conforming Duplex	Townhouses
OCP Designation:	NRES – Neighbourhood Residential	No Change
Area Plan Designation:	Neighbourhood Residential (Stacked Townhouse 1.0 FAR)	No Change
Zoning:	"Single Detached (RS1/F)"	"Town Housing (ZT86) – Hamilton" and "School & Institutional Use (SI)"
Number of Units:	5 units	60 units
Other Designations:	ESA	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.0	0.96	none permitted
Lot Coverage:	Max. 45%	44.3%	none
Setback – Front Yard:	Min. 4.0 m	3.4 m	Variance Requested
Setback – East Side Yard:	Min. 2.0 m	2.0 m	none
Setback – West Side Yard:	Min. 7.5 m	6.0 m	Variance Requested
Setback – Rear Yard:	Min. 6.0 m	6.0 m	none
Height (m):	Max. 12 m	11.8 m	none
Lot Dimensions (m):	Min. Width: 75.0 m Min. Depth: 85.0 m	Width: 78.6 m Depth: 91.5 m	none
Off-street Parking Spaces – Regular:	120 or 108 with TDM	108 with TDM	none
Off-street Parking Spaces – Visitor:	12 or 11 with TDM	11 with TDM	none
Off-street Parking Spaces – Total:	132 or 119 with TDM	119 with TDM	none

Tandem Parking Spaces:	Max. 67% of proposed parking spaces (119 x Max. 67% = 79)	64	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on-site (119 x Max. 50% = 59)	16	none
Handicap Parking Spaces:	Min. 2% when 11 or more spaces are required (119 x 2% = 3 spaces)	3	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.46 (Class 1) and 0.2 (Class 2) per unit	none
Off-street Parking Spaces – Total:	75 (Class 1) and 12 (Class 2)	88 (Class 1) and 12 (Class 2)	none
Amenity Space – Indoor:	Min. 100 m ² or Cash-In-Lieu	Cash-In-Lieu Contribution	none
Amenity Space – Outdoor:	Min. 360 m ²	374.7 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, November 20, 2019 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Panel Discussion

Comments from Panel members were as follows:

- consider installing sliding doors in lieu of inward-swinging doors for the washrooms of all convertible units and units with aging-in-place features;

Pocket Doors have been added to bathrooms and powder rooms in all Convertible Units.

- reconsider the use of a stair lift in convertible units as it would require the installation of one wheelchair or walker on each floor; not convenient for people with disabilities; consider installing a vertical lift in convertible units;

Future Lift provisions have been implemented for Units A2 & A4.

Please note: the Panel Member did not ask for a lift in every unit, but suggested to add lifts in some units.

- consider a white or light colour for the wayfinding post to enhance its visibility;
- appreciate the applicant contributing the City's Public Art Fund; however, the applicant is encouraged to incorporate public art into the project as it would benefit the project and the public realm;

The post has been changed to silver for better visibility.
At this time, a public art installation is not planned as we feel a contribution to the Art Fund will be more useful.

- appreciate the proposed signage at the entrances to the Strollways; however, the gateway character of the entries could be further enhanced; consider introducing additional landscape features to announce the entries to the Strollways and enhance their public character; also consider installing additional low-level lighting along the Strollways to address potential CPTED concerns;

A paver node has been introduced at both ends of the concrete strollway, and enlarged at the entrance to the amenity space, to enhance the entries. The main west and south strollways have overhead pedestrian scale lighting that addresses all lighting concerns. The east walkway is lite with low level bollard lighting to identify the walkway without disturbing the adjacent ESA area.

- appreciate the different surface paving treatments on the site; however, consider delineating areas along the internal drive aisle for pedestrian circulation and crossings, e.g. through introducing different paving treatment in terms of colour and texture or painted lines;

This has been considered but is not going to be implemented in this project. There is a strong series of walkways throughout the project. We believe the nature of this development and in-road paver bands will provide the necessary cues to ensure motorists respect the quiet and slow nature of the internal road.

- consider introducing additional colours or cladding on townhouse building facades facing the street and the Strollways to visually break down the building mass to pedestrian scale and provide visual interest to pedestrians;

The buildings themselves already have a pedestrian scale: all 3 storeys allow contact and overview between the inside and the walkway, the balconies, bays and posts provide a varied façade and the yards on the ground floor contribute to a lively edge of the walkway.

We believe our building and landscape design provide an interesting, comfortable, and safe environment for pedestrians, which is, in our understanding, the ultimate goal of creating buildings and environments with a “pedestrian scale”.

We also believe we do fulfil the request to use bays and materials to break down the building massing.

- *Ground floors are clad in a darker coloured horizontal siding to emphasise the base of the townhouses.*
- *The main colour and material of the upper floors is a lighter coloured stucco with a rough finish.*
- *The upper floors are broken up by multiple bays, some of them in a contrasting white colour.*
- *We don't believe adding a 4th type of material or colour would significantly change the perceived scale of the building.*
- *In addition to the materials and bays, other elements such as columns and deliberately placed downspouts provide further vertical articulation and visual breaks, creating interesting and rhythmic, yet unobtrusive building elevations, which provide the perfect backdrop to the life that happens in the yards and along the strollways.*

- appreciate the contemporary design of the proposed townhouse development;

Noted

- the applicant is advised to review the proposed number of visitor parking stalls to ensure adequacy during high demand hours;

The number of visitor stalls are in accordance with the zoning bylaw.

- B1, B2 and D1 units that are not south-facing could benefit from more daylight penetration on the ground floor; consider increasing the size of windows on the main floor; also consider installing operable skylight directly above the family room to provide ventilation and daylighting on the upper floor;
We have incorporated large 4'x4' skylights over the family rooms of the interior units in Buildings 3-6 (the exterior units already receive daylight from the windows). In addition we introduced 2x4 operable skylights to the third floors of Buildings 1-2. We consider the window sizes of the ground and main floor adequate.
- extensive use of hardie siding materials in the buildings is noted; consider increasing the use of brick to provide a sense of scale, texture and refinement to the development, especially for buildings along the main north-south driveway while maintaining the building's contemporary character;
Brick was added on buildings 3-6 on the ground floor elevations facing the internal driveway, satisfying the request from the panel member for brick facing the driveway. The design of buildings 1 & 2 is not ideally suited for the addition of another type of material. The elevations facing the internal road already have 3 different types of materials in 3 different colours. We don't believe adding a 4th type of material would improve the appearance.
- agree with the applicant that a cooling system is required for the proposed development due to highway noise;
Noted
- the applicant has the option to locate the outdoor units for the heat pumps on the rooftop;
We have added Heat Pumps to the roofs of Bldgs 1-2 and to the rooftops & balconies' of Bldgs 3-6. Heat pumps on both the balconies and the roof deck will be screened from street view by the parapet wall. The heat pumps on the C-Unit balconies are located so that an open balcony door will screen the unit from view. We reviewed the option of providing a permanent screen, however, due to air flow requirements of these units, screens can only be placed with a certain distance to the unit. Therefore such a screen would have reduced the usable space of the balcony. We don't see a need for a screen around the rooftop units, as these roof decks are large enough to place seating areas out of sight of the heat pump.
- the applicant needs to review the drainage system for the townhouse buildings considering the technical constraints and the buildings' insulation requirements; consider how snow melting will be addressed in the design; consider ventilated roof requirements;
The roofs have been designed with positive draining to the exterior and we have eliminated central roof low area that originally required mid roof drains.
- concerned about the lack of daylighting on the tight spaces between buildings along the main north-south driveway; consider design development, e.g. minimizing the width of the projecting bay to allow more daylighting into the buildings;
The distance between the buildings on either side of the north-south roadway is almost 13m. In those few instances where a bay is opposite another bay the distances is almost 11m. We consider this an adequate distance between buildings. Upon review of the shadow analysis we determined that a reducing the width of the bays would not increase the amount of daylight in the homes.

- support the Panel comment to consider increasing the use of brick in the façades of townhouse units, especially those facing the main north-south driveway;
We have increase the brick cladding at ground level. See reply above.
- consider introducing a different colour for certain portions of the dark trim on top of the buildings' exterior walls to break and minimize the amount of striping on the trim and provide further articulation to the exterior walls;
We have adjusted the sizes and colours of trim to reduce the appearance of stripping and to better accentuate the visual massing and the articulation of the exterior features.
- the glazing is organized and formal except for the end units, which appear random; consider organizing those windows through articulating the planes, joining the windows by different colour or tonal treatments;
- *Windows have been reorganized on the end Units to give more of a conformed appearance. The fact that the stair is located along the exterior wall made it challenging to fully align all windows. We explored the idea of using different coloured panels, however we decided it did not fit with the rest of the development.*
- consider installing a bench in the second play area; and
Two benches have been place facing each other in the centre of the common green area. This is so parents can observe their children at play, or friends can meet and converse.
- proposed landscape treatment around the wooden deck on the outdoor amenity area appears stark with just one shade tree and a row of shrubs along one edge; consider introducing additional landscape treatment and another bench to make the deck more inviting to residents.
An additional row of planting has been added to buffer the deck from the open lawn. The patio furniture will be comfortable and loose for moving and reorganizing as required.



Environmental Project Checklist Prepared by:
C. Lorenzen & Associates Ltd.
 LEED Built Green & Energy Consultants



*Preliminary Project Checklist
 2560 Hamilton - Richmond*

Yes ? No

March 19, 2021

54	12	18	Project Totals (pre-certification estimates)	110 Possible Points
Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80 points and above				

Yes ? No

14	4	3	Sustainable Sites	26 Points
-----------	----------	----------	--------------------------	------------------

✓			Prereq 1	Construction Activity Pollution Prevention	Required
1			Credit 1	Site Selection	1
2	1	2	Credit 2	Development Density and Community Connectivity	3, 5
		1	Credit 3	Brownfield Redevelopment	1
	1		Credit 4.1	Alternative Transportation: Public Transportation Access	3, 6
1			Credit 4.2	Alternative Transportation: Bicycle Storage & Changing Rooms	1
3			Credit 4.3	Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles	3
2			Credit 4.4	Alternative Transportation: Parking Capacity	2
	1		Credit 5.1	Site Development: Protect and Restore habitat	1
1			Credit 5.2	Site Development: Maximize Open Space	1
1			Credit 6.1	Stormwater Design: Quantity Control	1
1			Credit 6.2	Stormwater Design: Quality Control	1
1			Credit 7.1	Heat Island Effect: Non-Roof	1
1			Credit 7.2	Heat Island Effect: Roof	1
	1		Credit 8	Light Pollution Reduction	1

Yes ? No

6	1	4	Water Efficiency	10 Points
----------	----------	----------	-------------------------	------------------

✓			Prereq 1	Water Use Reduction	Required
3		2	Credit 1	Water Efficient Landscaping	2, 4
		2	Credit 2	Innovative Wastewater Technologies	2
3	1		Credit 3	Water Use Reduction	2 - 4

Yes ? No

11	3	2	Energy & Atmosphere	35 Points
-----------	----------	----------	--------------------------------	------------------

✓			Prereq 1	Fundamental Commissioning of Building Energy Systems	Required
✓			Prereq 2	Minimum Energy Performance	Required
✓			Prereq 3	Fundamental Refrigerant Management	Required
7			Credit 1	Optimize Energy Performance	1 - 19
		1	Credit 2	On-Site Renewable Energy	1 - 7
		1	Credit 3	Enhanced Commissioning	2
2			Credit 4	Enhanced Refrigerant Management	2
	3			Measurement and Verification	3
2			Credit 6	Green Power	2

ATTACHMENT 3

Yes ? No

6 2 3 Materials & Resources 14 Points

✓				Prereq 1	Storage and Collection of Recyclables	Required
			1	Credit 1.1	Building Reuse: Maintain Existing Walls, Floors, and Roof	1 - 3
			1	Credit 1.2	Building Reuse: Maintain Interior Non-Structural Elements	1
2				Credit 2	Construction Waste Management	1 - 2
			1	Credit 3	Materials Reuse	1 - 2
2				Credit 4	Recycled Content	1 - 2
2				Credit 5	Regional Materials	1 - 2
	1			Credit 6	Rapidly Renewable Materials	1
	1			Credit 7	Certified Wood	1

Yes ? No

9 0 6 Indoor Environmental Quality 15 Points

✓				Prereq 1	Minimum Indoor Air Quality Performance	Required
✓				Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
			1	Credit 1	Outdoor Air Delivery Monitoring	1
			1	Credit 2	Increased Ventilation	1
1				Credit 3.1	Construction IAQ Management Plan: During Construction	1
1				Credit 3.2	Construction IAQ Management Plan: Before Occupancy	1
1				Credit 4.1	Low-Emitting Materials: Adhesives and Sealants	1
1				Credit 4.2	Low-Emitting Materials: Paints and Coatings	1
1				Credit 4.3	Low-Emitting Materials: Flooring Systems	1
1				Credit 4.4	Low-Emitting Materials: Composite Wood and Agrifibre Products	1
			1	Credit 5	Indoor Chemical and Pollutant Source Control	1
1				Credit 6.1	Controllability of System: Lighting	1
1				Credit 6.2	Controllability of System: Thermal Comfort	1
1				Credit 7.1	Thermal Comfort: Design	1
			1	Credit 7.2	Thermal Comfort: Verification	1
			1	Credit 8.1	Daylight and Views: Daylight	1
			1	Credit 8.2	Daylight and Views: Views	1

Yes ? No

5 1 0 Innovation in Design 6 Points

1				Credit 1.1	Innovation in Design - Providing an Online Owner's Manual	1
	1			Credit 1.2	Innovation in Design - SSc 4.1 Public Transportation Access	1
1				Credit 1.3	Innovation in Design - SSc 7.1 Heat Island Effect Non-Roof	1
1				Credit 1.4	Innovation in Design - MRc5.2 Regional Materials	1
1				Credit 1.5	Innovation in Design - EAc 6 Green Power	1
1				Credit 2	LEED® Accredited Professional	1

Yes ? No

3 1 0 Regional Priority 4 Points

1				Credit 1	Durable Building	1
	1			Credit 2.1	Regional Priority Credit	1
1				Credit 2.2	Regional Priority Credit - Water Use Reduction (greater than 35%)	1
1				Credit 2.3	Regional Priority Credit - Construction Waste Management (greater than 75%)	1



No. DP 18-829228

To the Holder: QRD (Hamilton) LP

Property Address: 23400, 23440, 23460 and 23500 Gates Avenue

Address: 102 – 5489 Byrne Road
Burnaby, BC V5J 3J1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce:
 - a) the minimum front yard setback to Gates Avenue from 4.0 m to 3.4 m; and
 - b) the minimum west side yard setback from 7.5 m to 6.0 m..
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #46 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$418,961.42 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 18-829228

To the Holder: QRD (Hamilton) LP

Property Address: 23400, 23440, 23460 and 23500 Gates Avenue

Address: 102 – 5489 Byrne Road
Burnaby, BC V5J 3J1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

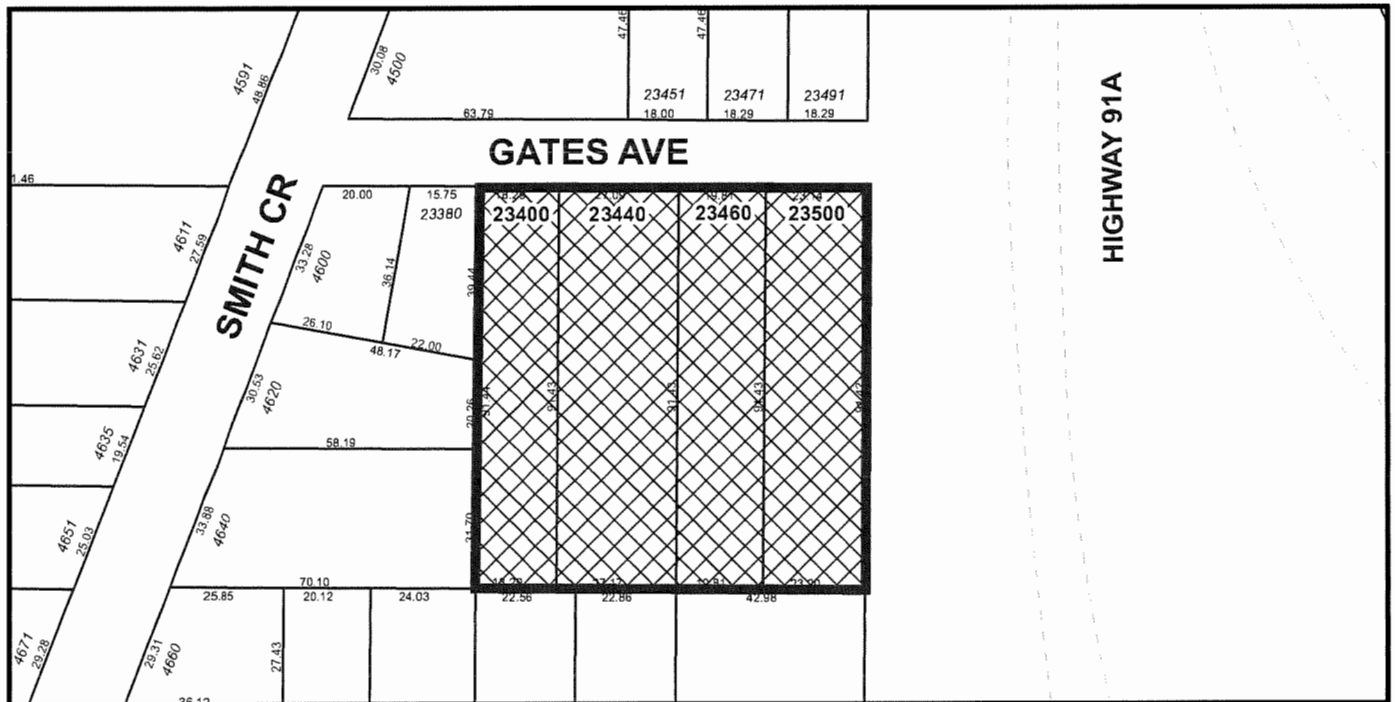
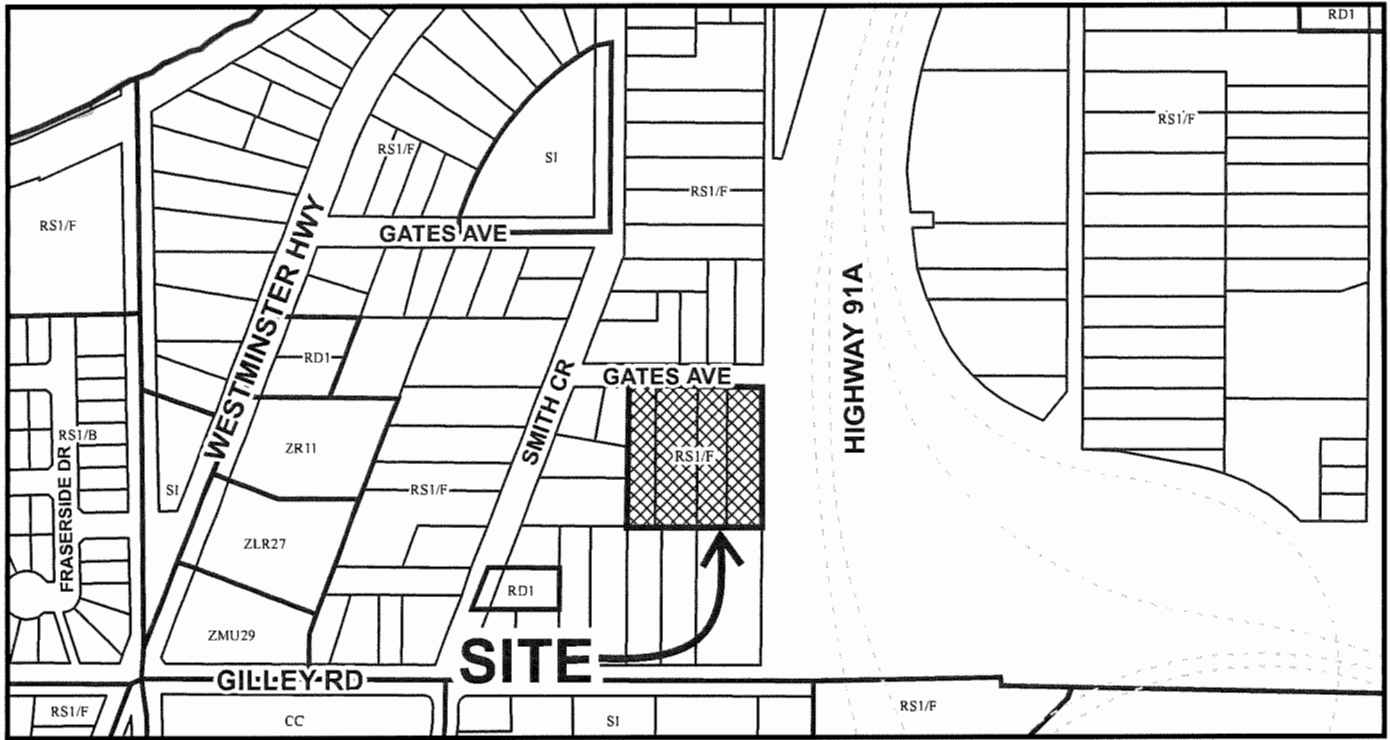
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-829228

Original Date: 08/23/18

Revision Date:

Note: Dimensions are in METRES



TABLE OF CONTENTS

PLAN 00	AREA PLAN
PLAN 1	SITE PLAN
PLAN 1B	OPEN SPACE CALCULATION
PLAN 1C	SITE COVERAGE
PLAN 1D	SITE COVERAGE
PLAN 1E	FIRE FIGHTING PLAN
PLAN 2	PARKING PLAN
PLAN 3	LANDSCAPE PLAN (see seperate set)
PLAN 4-6	ELEVATIONS
PLAN 7-12	FLOOR PLANS
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PLAN 22	STREETSCAPE & YARDSCAPE
PLAN 23-24	SITE SECTIONS
PLAN 25	SHADOW ANALYSIS
PLAN 26-30	PERSPECTIVES
PLAN 31	MATERIAL SHEET

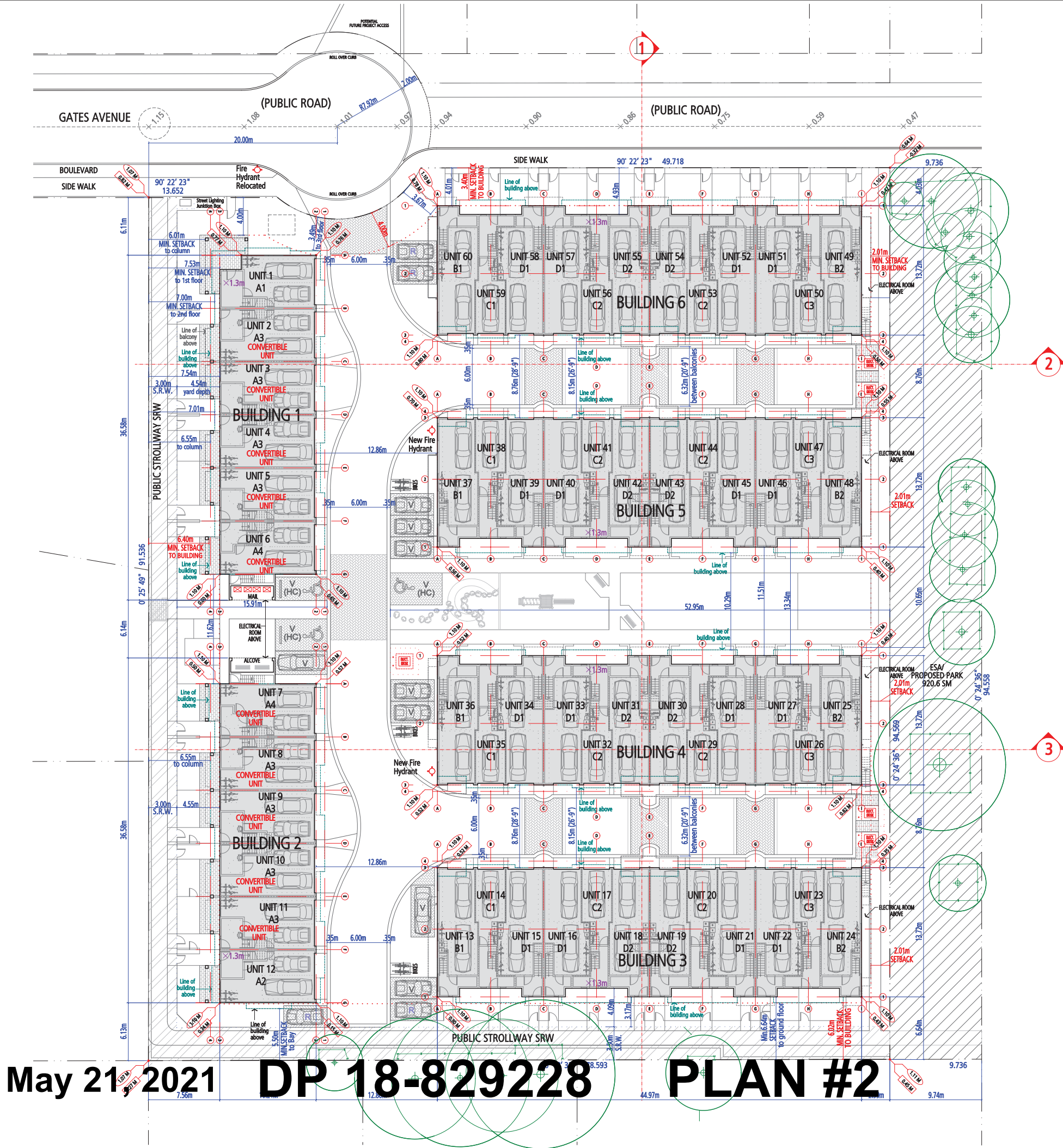
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23400, 23440, 23460, & 23500 GATES AVENUE
RICHMOND

MAY 21, 2021 **DP 18-829228** **PLAN #.1.D**

FOR
QUARRY ROCK DEVELOPMENTS



SITE DATA

GROSS SITE AREA	8248.2 SM
ESA DEDICATION	920.6 SM
NET SITE AREA	7,327.6 SM
UNIT COUNT	60 UNITS
DENSITY (UPH)	81.8
GROSS FLOOR AREA	10,329 SM
NET FLOOR AREA	7,059 SM
DENSITY (FAR)	0.963
DENSITY (FAR) INCLUDING ESA	0.856
STACK TOWNHOMES	(48/60) 80%
OPEN SPACE REQUIRED	360 SM
OPEN SPACE PROVIDED	374 SM
PLAYGROUND SPACE REQUIRED	180 SM
PLAYGROUND SPACE PROVIDED	202 SM
GARBAGE/RECYCLING	DOOR-TO-DOOR PICKUP

VARIANCES	Proposed
Front Yard Setback	3.4 m
Side Yard Setback (west)	6.4 m

PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:
- Blocking in bathroom walls for installation of grab-bars (beside toilet, tub and shower)
- Provision of lever door handles for plumbing fixtures and door handles
- Stairwell Handrails
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Door from garage to living area minimum 2'-10" (swinging door spec.)
10 Convertible Units are proposed for this project.

Flood Plain Level	3.5 m
Ground Floor Slab Elevation	1.3 m
Highest Point in Crown of Road	1.15 m
Average Site Grade	1.08 m

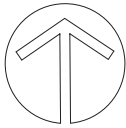
Average Site Grade Calculation

Site	1.07 m
	1.07 m
	1.11 m
	0.64 m
Bldg 1	1.1 m
	1.1 m
	1.1 m
	1.1 m
Bldg 2	1.1 m
	1.1 m
	1.1 m
	1.1 m
Bldg 3	1.1 m
	1.1 m
	1.1 m
	1.1 m
Bldg 4	1.1 m
	1.1 m
	1.1 m
	1.1 m
Bldg 5	1.1 m
	1.1 m
	1.1 m
	1.1 m
Bldg 6	1.1 m
	1.1 m
	1.1 m
	1.1 m
Average	1.08 m

LEGEND
EL. Existing Grade Elevation
EL. Finished Grade Elevation
×1.3m Ground Floor Slab Elevation

CODE ANALYSIS - PART 9 BLDG. 1,2 Project: #1825 Gates Ave.	
BCBC REF. Division A 1.3.3.3 (1)(a)	CODE INFORMATION
Applicable code	British Columbia Building Code 2018
Major occupancy	Group C
Building area (Permitted - 800m ²)	(Proposed) 437.4 m ²
Building height	3 Storeys
Streets faced	1 Street
Floor FRR*	1 hr
Roof FRR*	1 hr
Load bearing wall FRR	1 hr
Sprinkler system required	N/A
Construction type (Permitted - combustible/noncombustible)	(Proposed) combustible
Fire alarm required	N/A
Standpipes required	N/A
Separation of residential suites	1 Hour
* Fire Resistance Rating	

CODE ANALYSIS - PART 3 BLDG. 3,4,5 & 6 Project: #1825 Gates Ave.	
BCBC REF. 3.2.2.52	CODE INFORMATION
Applicable code	British Columbia Building Code 2018
Major occupancy	Group C
Building area (Permitted - 800m ²)	(Proposed) 683.6 m ²
Building height	3 Storeys
Streets faced	1 Street
Floor FRR*	1 hr
Roof FRR*	1 hr
Load bearing wall FRR	1 hr
Sprinkler system required	N/A
Construction type (Permitted - combustible/noncombustible)	(Proposed) combustible
Fire alarm required	N/A
Standpipes required	N/A
Separation of residential suites	1 Hour
* Fire Resistance Rating	



23400, 23440,
23460, & 23500
**GATES
AVENUE**
for



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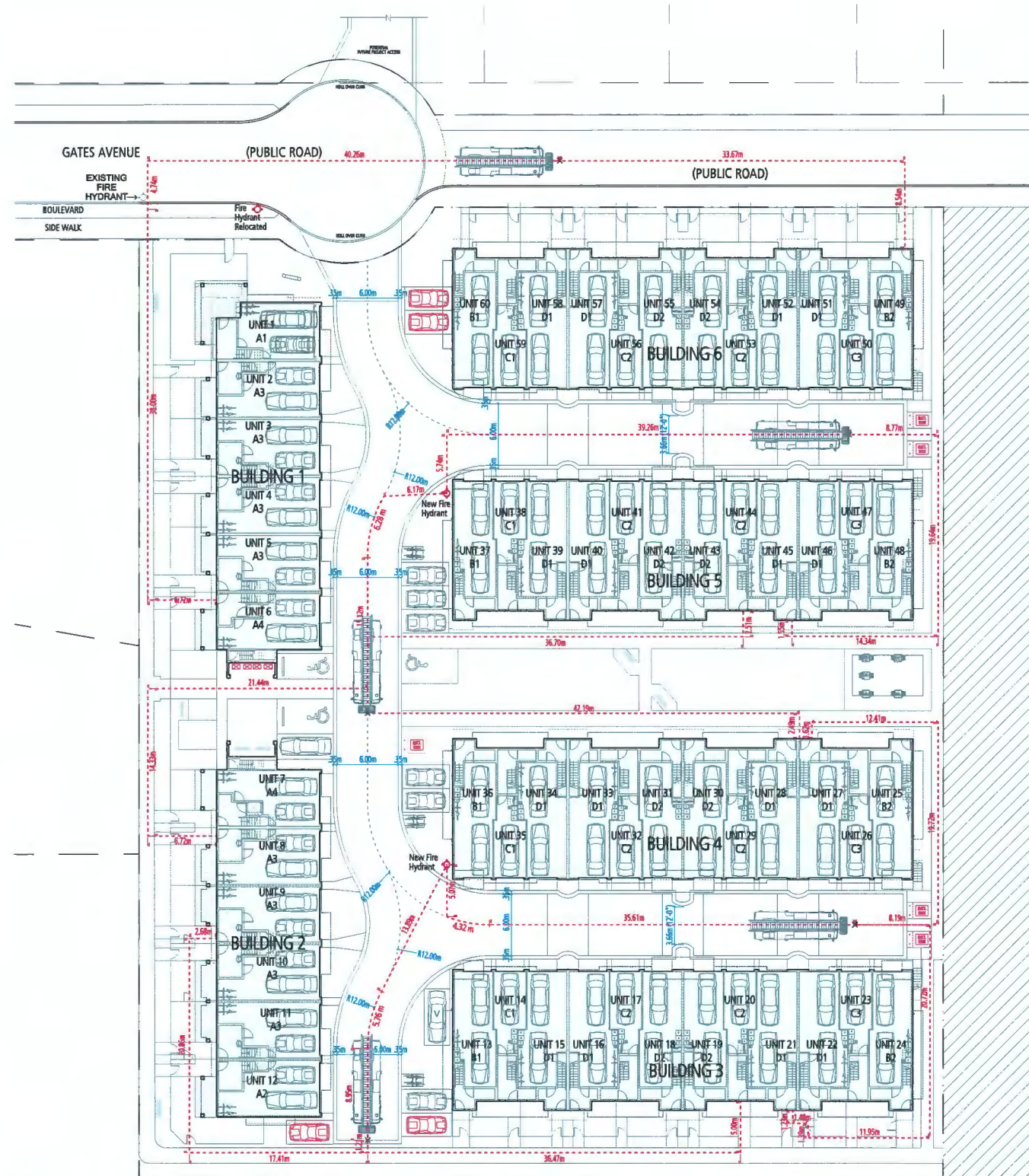
SITE PLAN
SCALE: 1 : 200



DP18-829228
MAY 10, 2021



PLAN 1



23400, 23440,
23460, & 23500
GATES AVENUE

for

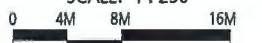


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FIRE FIGHTING PLAN

SCALE: 1:250



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architecture inc.

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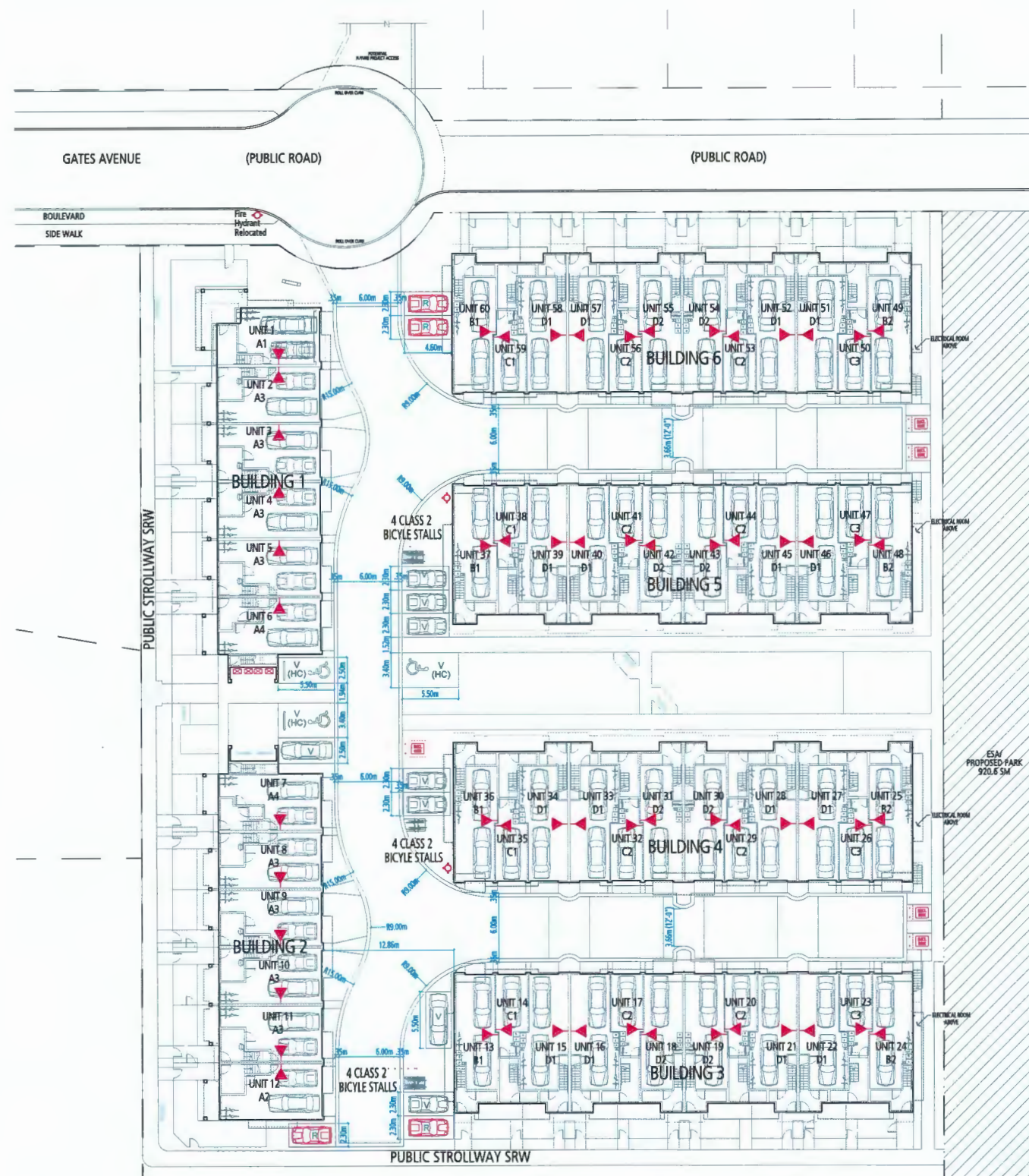
202 - 2425 Quebec Street 604.873.2907

fougerearchitecture.ca

PLAN 1E

MAY 21, 2021

DP 18-829228 PLAN # 3



PARKING DATA

RESIDENTIAL PARKING	
Required (1.8 cars/unit)	108
Provided	108
small cars	16 cars (15%)
tandem arrangement	64 cars (60%)

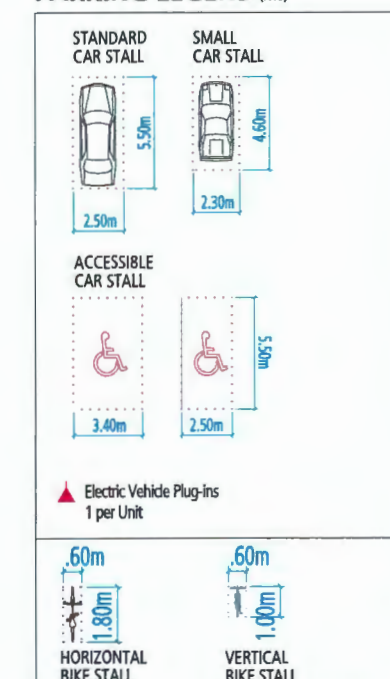
VISITOR PARKING	
Required (0.18 cars/unit)	11
Provided	11
small cars	6 cars (55%)

ACCESSIBLE SPACES	
Required (2% of requ. spaces)	3
Provided	3

BICYCLE PARKING- CLASS 1	
Required (1.25 stalls/unit)	75
Provided	88

BICYCLE PARKING- CLASS 2	
Required (0.2 stalls/unit)	12
Provided	12

PARKING LEGEND (NTS)



23400, 23440,
23460, & 23500
GATES AVENUE

for



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PARKING PLAN

SCALE: 1 : 250
0 4M 8M 16M

DP18-829228
MAY 10, 2021



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Vancouver, BC V5T 4L6 fougerearchitecture.ca

PLAN 2

MAY 21, 2021

DP 18-829228 PLAN # 4

Gates Avenue Townhouses

RE-ISSUED FOR DEVELOPMENT PERMIT

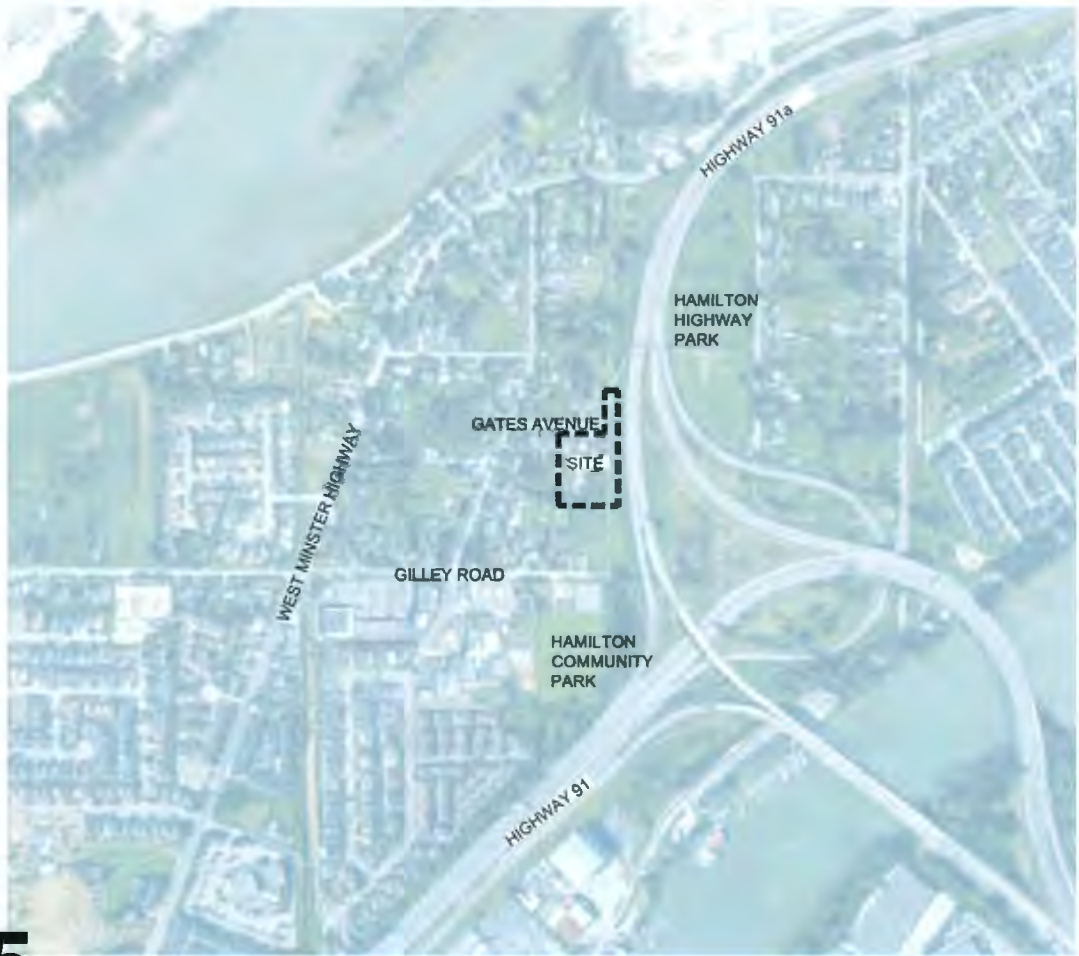


Contact Information	Other Key Contacts:	
van der Zalm + associates Inc.	QRD (Hamilton) LP.	Fougere Architecture Inc.
Fort Langley Studio 102 - 9181 Church Street Fort Langley, British Columbia, V1M 2R8	102 - 5469 Byrne Rd, Burnaby, BC V5J 3J1 604 362 8358	202-2425 Quebec Street Vancouver, B.C. V5T 4L6 604 873 2907
Mount Pleasant Studio 102-355 Kingsway Vancouver, British Columbia, V5T 3J7		
Primary project contact: Travis Martin Travis@vzdz.ca d. 604 546 0924	Legal Address and Description:	
Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vzdz.ca o. 604 882 0024	Lot 124 Plan 44742 Lot 58 Plan 8421 Except part Subdivided by Plan 44742 Lot 114 Plan 41397 Lot 115 Plan 41397 All of Section 36 Block 5 North Range 4 West New Westminster District #23400 Gates Avenue, Richmond B.C. P.I.D 003-980-501 #23440 Gates Avenue, Richmond B.C. P.I.D 011-323-370 #23460 Gates Avenue, Richmond B.C. P.I.D 006-141-935 #23500 Gates Avenue, Richmond B.C. P.I.D 003-453-138	

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02	OVERALL SITE PLAN
L-03	AMENITY AREA
L-04	SITE PLAN NORTH
L-05	SITE PLAN SOUTH
L-06	ESA & GREENSPACE COVERAGE
L-07	PLANTING PLAN NORTH
L-08	PLANTING PLAN SOUTH
L-09	IRRIGATION PLAN
L-10	LIGHTING PLAN
L-11	GRADING PLAN

L-12	ESA PLAN
L-13	PARK DEDICATION PLAN
LS-01	SECTIONS
LS-02	SECTIONS
LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS
LAND-01	SERVICING PLAN - OFF-SITE
LAND-02	ESA ENHANCEMENT AREA - OFF-SITE
LAND-03	MOTI CORRIDOR - OFF-SITE
LAND-04	STROLLWAYS - OFF-SITE



No	By	Description	Date
12	DV	Re-issue for DP	May 11 2021
11	DV	Re-issue for DP	Mar 24 2021
10	DV	Re-issue for DP	Sept 28 2020
9	DV	ADP Response	Jan 30 2020
8	DV	Issue for BP	Dec 16 2019
7	DV	Issue for ADP	Nov 1 2019
6	DV	Re-issue for DP	Oct 17 2019
5	TM	Issued for Development Permit	Sept 5 2019
4	TM	Issued for Development Permit	July 25 2019
3	TM	Issued for Rezoning	Feb 20 2019

No	By	Description	Date
2	DV	ESA/Park Area Identification	May 17 2021
1	TM	MOTI Update	May 27 2019

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

Drawn: DV	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE OBTAINED AT THE CONSULTANT'S OFFICE. ALL REVISIONS/CHANGES MUST BE PLACED FOR CONSTRUCTION UNLESS OTHERWISE NOTED FOR TENDERS/CONSTRUCTION.

MAY 21, 2021 DP 18-829228 PLAN # 5

LOCATION MAP
NTS

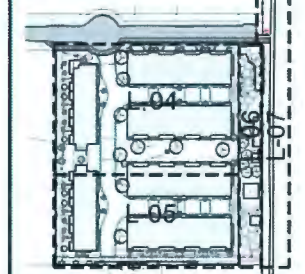
Drawing Title:
COVER PAGE

VDZ Project #:
DP2017-41

Drawing #:
L-01



Key Map (NTS)



12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sept 28, 2020
9	DV	ADP Response	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Rezoning	Feb 20, 2019
No	By	Description	Date

REVISIONS TABLE FOR DRAWINGS

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3	TM	TP2 Update	May 21, 2021
2	TM	MOTI Update	May 27, 2019
1	TM	ESA Update	Jan 07, 2019
No	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

Drawn: Stamp:
DV

Checked: TM

Approved: MVDZ Original Sheet Size: 24"x36"

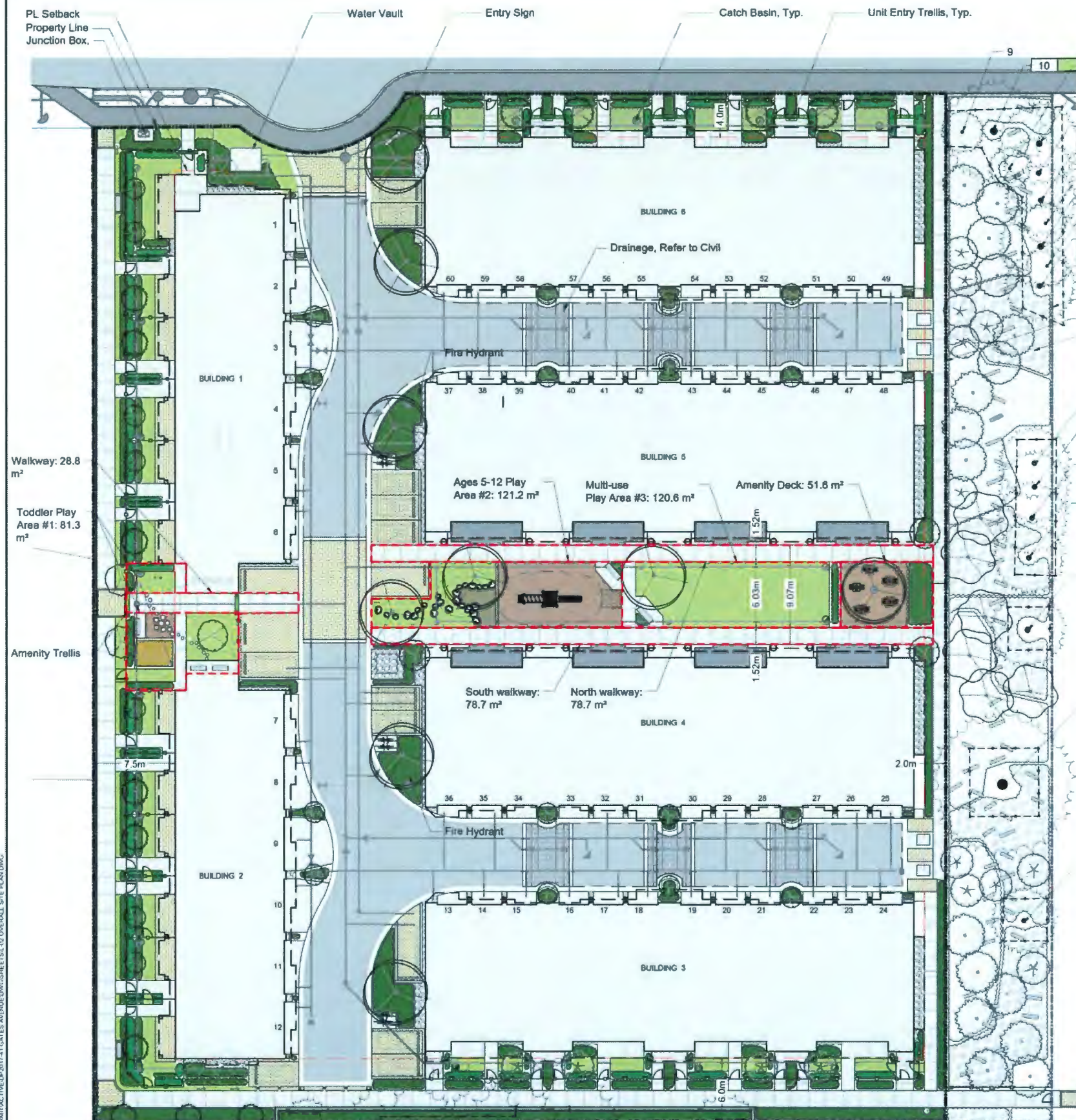
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Drawing Title:
OVERALL SITE PLAN

VDZ Project #:
DP2017-41

Drawing #:
L-02



ON-SITE TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Acer rubrum 'Armstrong' / Armstrong Red Maple	8cm	2
	Acer rubrum 'Autumn Glory' / Autumn Glory Maple	8cm	9
	Fagus sylvatica 'Dawson Gold' / European Beech	6cm	23
	Malus fusca / Oregon Crab Apple	6cm	4
	Picea omorika 'Bruno' / Bruno Spruce	4m Height	9
	Sorbus scopulina / Western Mountain Ash	6cm	8
	Tsuga heterophylla / Western Hemlock	4m Height	3
Total Trees:			58

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-01	CONCRETE SIDEWALK - PEDESTRIAN
	2 LD-01	CONCRETE PAVERS PEDESTRIAN
	3 LD-01	CONCRETE PAVERS VEHICULAR
	4 LD-01	WOOD DECK
	5 LD-01	DRIP STRIP
	6 LD-01	PERMEABLE PAVERS VEHICULAR, MATCH CONC. VEHICULAR PAVERS. REFER TO CIVIL FOR INSTALLATION

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-01	PROPOSED TREE
	2 LD-01	EXISTING TREE
	3 LD-01	SOD See Critical Landscape Notes for Specifications
	4 LD-01	GROUND COVER SHADE MIX
	5 LD-01	SAND PLAY AREA
	6 LD-01	CRUSHER FINES
	7 LD-01	ENGINEERED WOOD FIBER PLAY SURFACE
	8 LD-01	SHRUB PLANTING
	9 LD-01	HEDGE PLANTING

SITE FURNISHINGS/LIGHTING

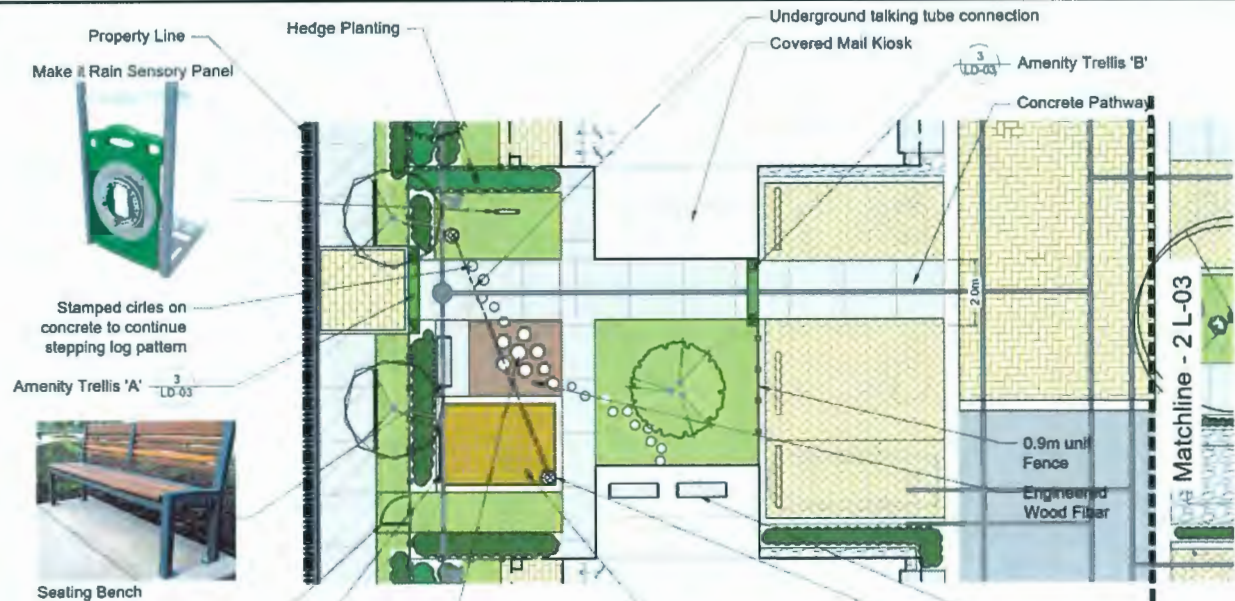
KEY	REF.	DESCRIPTION
	1 LD-02	BENCH
	2 LD-02	STEPPING BOULDERS
	3 LD-02	TABLES AND CHAIRS
	4 LD-02	RESIDENTIAL ENTRY TRELLIS & AMENITY AREA TRELLIS
	5 LD-02	CONCRETE PLANTER
	6 LD-02	SITTING CIRCLE/ WOOD STEPPERS
	7 LD-02	BOLLARD
	8 LD-02	TALK TUBES
	9 LD-02	PLAY PANEL/ CHALK BOARD
	10 LD-02	WAYFINDING SIGN
	11 LD-02	BIKE RACK

FENCING and WALLS

KEY	REF.	DESCRIPTION
	1 LD-03	UNIT RAIL FENCE
	2 LD-03	PRIVACY FENCE
	3 LD-03	UNIT GATE
	4 LD-03	BLOCK RETAINING WALL

MAY 21, 2021

DP 18-829228 PLAN # 6

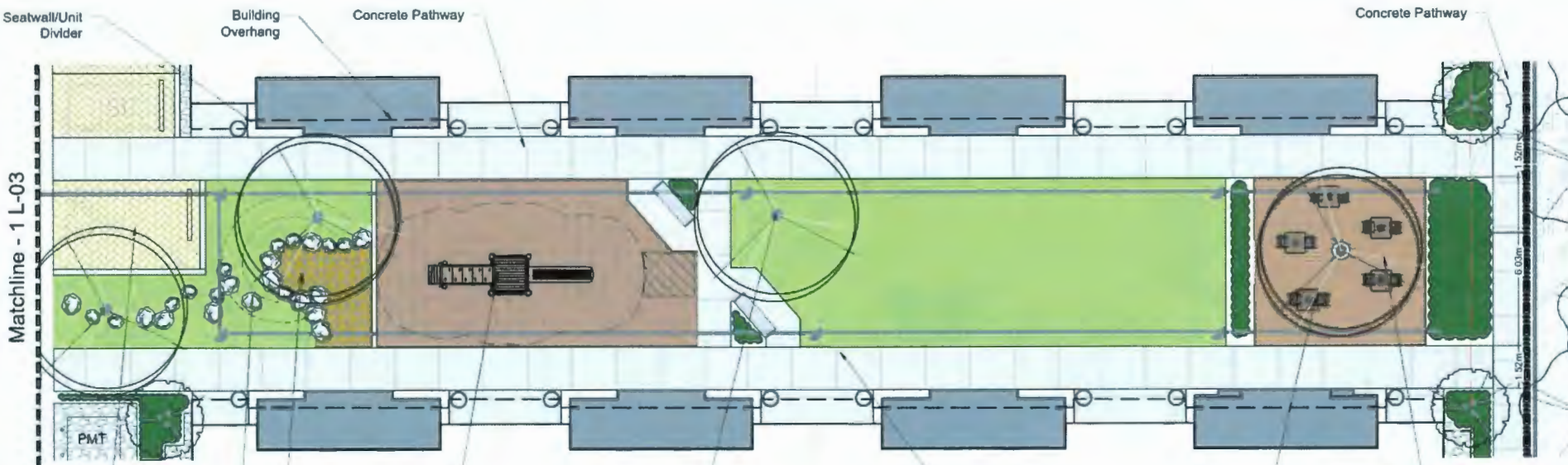


1 Play area
Scale 1:100



FENCING and WALLS

KEY	REF.	DESCRIPTION
	5 LD-04	UNIT RAIL FENCE
	5 LD-03	PRIVACY FENCE
		UNIT GATE



Parking Pavers



Stepping Boulders/Socializing Circle



Climbing/Slide Structure



Shade tree



Tricycle Loop

Chairs and Table 3
LD-02



Wood Deck with Shade Trees

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE SIDEWALK - PEDESTRIAN
	8 LD-01	CONCRETE PAVERS PEDESTRIAN
	7 LD-01	CONCRETE PAVERS VEHICULAR
	1 LD-03	WOOD DECK
	5 LD-01	DRILL STRIP
		PERMEABLE PAVERS VEHICULAR MATCH CONC. VEHICULAR PAVERS. REFER TO CIVIL FOR INSTALLATION

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-01	PROPOSED TREE
		EXISTING TREE
		SOD See Critical Landscape Notes for Specifications
		GROUND COVER SHADE MIX
	4 LD-03	SAND PLAY AREA
		CRUSHER FINES
	7 LD-02	ENGINEERED WOOD FIBER PLAY SURFACE
	2.3 LD-01	SHRUB PLANTING
	2.3 LD-01	HEDGE PLANTING

SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	1 LD-02	BENCH
	4 LD-04	STEPPING BOULDERS
	3 LD-02	TABLES AND CHAIRS
	2.3 LD-03	RESIDENTIAL ENTRY TRELLIS & AMENITY AREA TRELLIS
	6 LD-03	CONCRETE PLANTER
	8 LD-02	SITTING CIRCLE/ WOOD STEPPERS
	1 LD-02	BOLLARD
	6 LD-02	TALK TUBES
	4.5 LD-02	PLAY PANEL/ CHALK BOARD
	2 LD-04	WAYFINDING SIGN
	3 LD-04	BIKE RACK

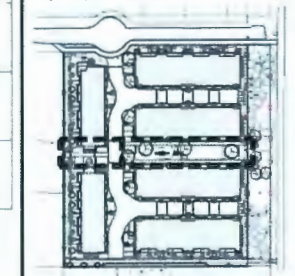
ON-SITE TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Acer rubrum 'Armstrong' / Armstrong Red Maple	8cm	2
	Acer rubrum 'Autumn Glory' / Autumn Glory Maple	8cm	9
	Fagus sylvatica 'Dawson Gold' / European Beech	8cm	23
	Malus fusca / Oregon Crab Apple	8cm	4
	Picea omorika 'Bruns' / Brun's Spruce	4m Height	9
	Sorbus scopulina / Western Mountain Ash	8cm	8
	Tsuga heterophylla / Western Hemlock	4m Height	3

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Key Map (NTS)



No	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sept 28, 2020
9	DV	ADP Response	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb 20, 2019
2	By	Description	Drawn

REVISIONS TABLE FOR DRAWINGS

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REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses
Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.
DP #:
DP18-829228

Drawn: DV	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
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Drawing Title:
AMENITY AREA

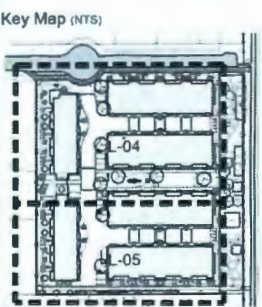
VDZ Project #:
DP2017-41

Drawing #:
L-03

MAY 21, 2021

DP-18-829228 PLAN # 7

1 100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15



No.	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sept 28, 2020
9	DV	ADP Responses	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Rezoning	Feb 20, 2019
2	By	Description	Date

No.	By	Description	Date
1	TM	Privacy Fence Update	May 26, 2021

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

Drawn: DV
Stamp:

Checked: TM

Approved: MVDZ

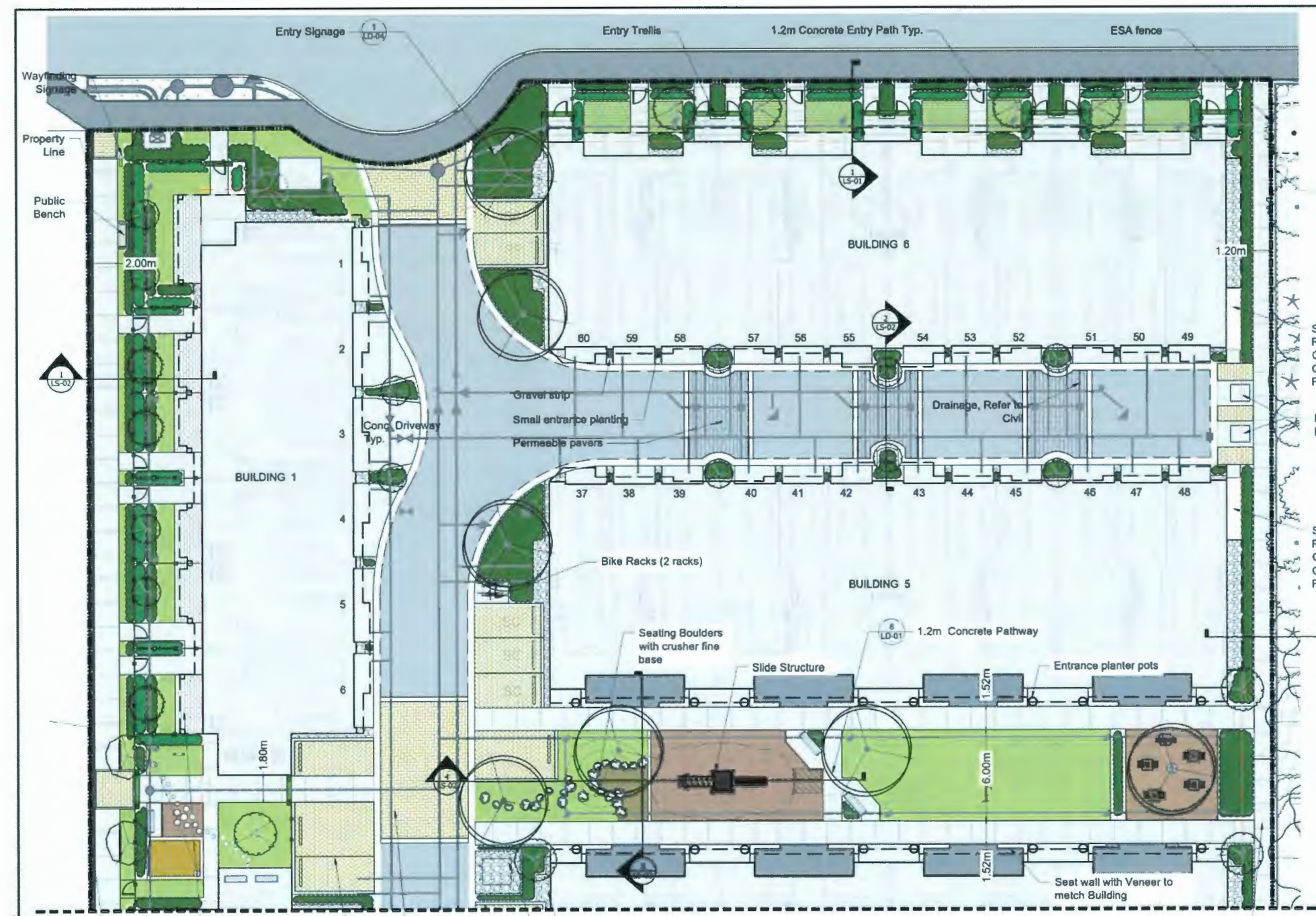
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KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE SIDEWALK - PEDESTRIAN
	8 LD-01	CONCRETE PAVERS PEDESTRIAN
	7 LD-01	CONCRETE PAVERS VEHICULAR
	1 LD-03	WOOD DECK
	5 LD-01	DRIP STRIP
		PERMEABLE PAVERS VEHICULAR. MATCH CONC. VEHICULAR PAVERS. REFER TO CIVIL FOR INSTALLATION.

KEY	REF.	DESCRIPTION
	1 LD-01	PROPOSED TREE
		EXISTING TREE
		SOD See Critical Landscape Notes for Specifications
		GROUND COVER SHADE MIX
	4 LD-03	SAND PLAY AREA
	7 LD-02	CRUSHER FINES
	2,3 LD-01	ENGINEERED WOOD FIBER PLAY SURFACE
	2,3 LD-01	SHRUB PLANTING
	2,3 LD-01	HEDGE PLANTING

KEY	REF.	DESCRIPTION
	1 LD-02	BENCH
	4 LD-04	STEPPING BOULDERS
	3 LD-02	TABLES AND CHAIRS
	2,3 LD-03	RESIDENTIAL ENTRY TRELLIS & AMENITY AREA TRELLIS
	6 LD-03	CONCRETE PLANTER
	8 LD-02	SITTING CIRCLE/ WOOD STEPPERS
	1 LD-02	BOLLARD
	6 LD-02	TALK TUBES
	4,5 LD-02	PLAY PANEL/ CHALK BOARD
	2 LD-04	WAYFINDING SIGN
	3 LD-04	BIKE RACK



ON-SITE TREE SCHEDULE

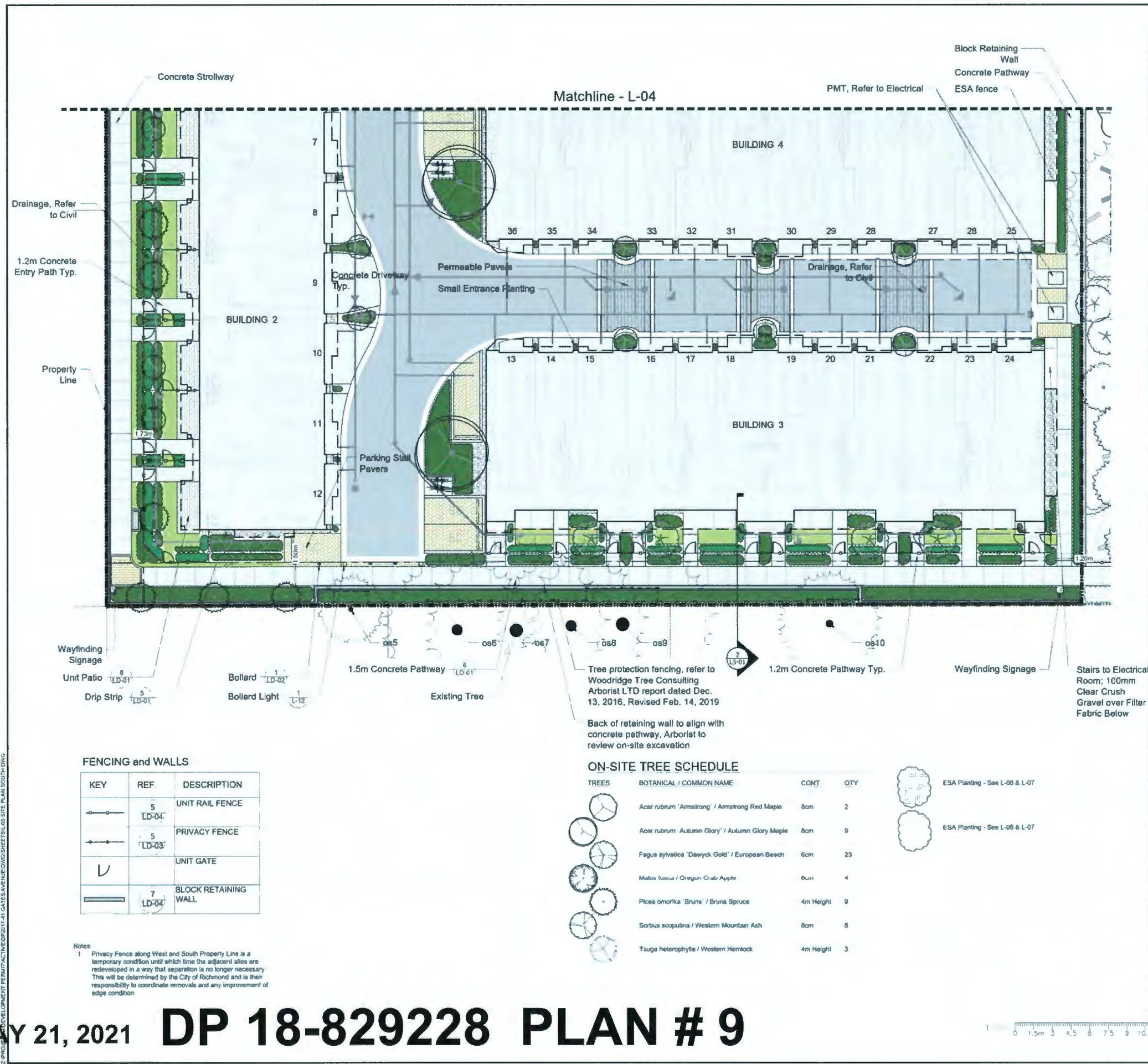
TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Acer rubrum 'Armstrong' / Armstrong Red Maple	8cm	2
	Acer rubrum 'Autumn Glory' / Autumn Glory Maple	8cm	9
	Fagus sylvatica 'Dawson Gold' / European Beech	6cm	23
	Malus fusca / Oregon Crab Apple	6cm	4
	Picea omorika 'Bruna' / Bruns Spruce	4m Height	9
	Sorbus scopulina / Western Mountain Ash	6cm	8
	Tsuga heterophylla / Western Hemlock	4m Height	3



FENCING and WALLS

KEY	REF.	DESCRIPTION
	5 LD-04	UNIT RAIL FENCE
	5 LD-03	PRIVACY FENCE

Z:\PROJECTS\2017-21\GATES AVENUE\DWG\SHEETS\05 SITE PLAN SOUTH.DWG



FENCING and WALLS		
KEY	REF.	DESCRIPTION
	5 LD-04	UNIT RAIL FENCE
	5 LD-03	PRIVACY FENCE
		UNIT GATE
	7 LD-04	BLOCK RETAINING WALL

Notes:
1 Privacy Fence along West and South Property Line is a temporary condition until which time the adjacent sites are redeveloped in a way that separation is no longer necessary. This will be determined by the City of Richmond and is their responsibility to coordinate removals and any improvement of edge condition.

ON-SITE TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Acer rubrum "Armstrong" / Armstrong Red Maple	8cm	2
	Acer rubrum "Autumn Glory" / Autumn Glory Maple	8cm	9
	Fagus sylvatica "Dawyd Gold" / European Beech	6cm	23
	Malus baccata / Oregon Crab Apple	6cm	4
	Picea omorika "Bruns" / Bruns Spruce	4m Height	9
	Sorbus scopulina / Western Mountain Ash	8cm	8
	Tsuga heterophylla / Western Hemlock	4m Height	3

ESA Planting - See L-06 & L-07

ESA Planting - See L-06 & L-07

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	6 LD-01	CONCRETE SIDEWALK - PEDESTRIAN
	8 LD-01	CONCRETE PAVERS PEDESTRIAN
	7 LD-01	CONCRETE PAVERS VEHICULAR
	1 LD-03	WOOD DECK
	5 LD-01	DRIP STRIP
		PERMEABLE PAVERS VEHICULAR. MATCH CONC. VEHICULAR PAVERS. REFER TO CIVIL FOR INSTALLATION

SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-01	PROPOSED TREE
		EXISTING TREE
		SOD See Critical Landscape Notes for Specifications
		GROUND COVER SHADE MIX
	4 LD-03	SAND PLAY AREA
	7 LD-02	CRUSHER FINES
		ENGINEERED WOOD FIBRE PLAY SURFACE
	2,3 LD-01	SHRUB PLANTING
	2,3 LD-01	HEDGE PLANTING

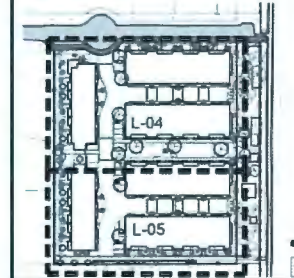
SITE FURNISHINGS/LIGHTING

KEY	REF.	DESCRIPTION
	1 LD-02	BENCH
	4 LD-04	STEPPING BOULDERS
	3 LD-02	TABLES AND CHAIRS
	2,3 LD-03	RESIDENTIAL ENTRY TRELLIS & AMENITY AREA TRELLIS
	8 LD-03	CONCRETE PLANTER
	8 LD-02	SITTING CIRCLE/ WOOD STEPPERS
	1 LD-02	BOLLARD
	6 LD-02	TALK TUBES
	4,5 LD-02	PLAY PANEL/ CHALK BOARD
	2 LD-04	WAYFINDING SIGN
	3 LD-04	BIKE RACK

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Key Map (NTS)



No	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar. 24, 2021
10	DV	Re-issue for DP	Sept. 28, 2020
9	DV	ADP Response	Jan. 30, 2020
8	DV	Issued for BP	Dec. 18, 2019
7	DV	Issued for ADP	Nov. 1, 2019
6	DV	Re-issue for DP	Oct. 17, 2019
5	TM	Issued for Development Permit	Sept. 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Refinement	Feb. 20, 2019

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No	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

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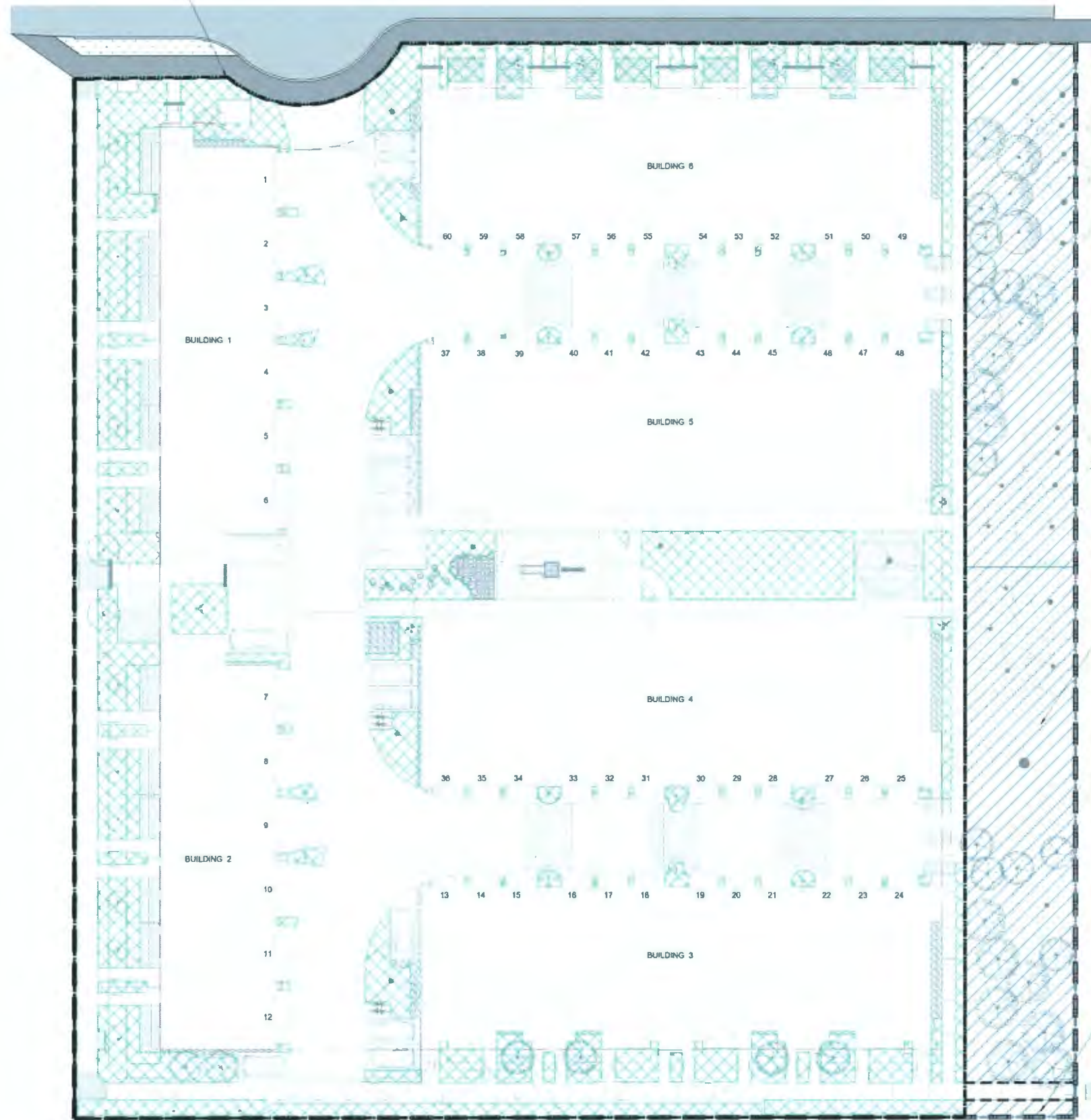
MAY 21, 2021 DP 18-829228 PLAN # 9

Drawing Title:
SITE PLAN SOUTH

DP2017-41

Drawing #:
L-05

PROPOSED
PROPERTY LINE



LEGEND

KEY		DESCRIPTION
---		GROSS SITE BOUNDARY
---		NET SITE BOUNDARY
	1107.12m²	VEGETATION COVERAGE ON-SITE
	905.7m²	ESA DEDICATION (Pre-development ESA Area = 887 m²)

GROSS SITE AREA = 8248.2m²

ESA DEDICATION = 905.7m²

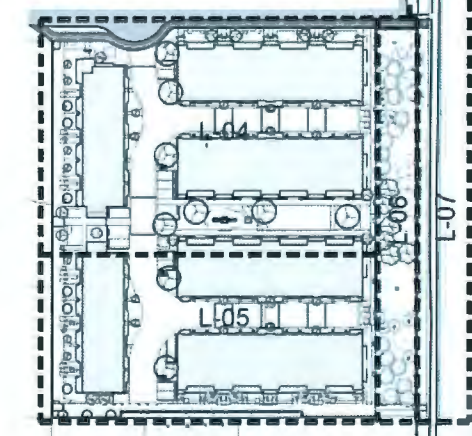
NET SITE AREA = 7342.5m²

NET SITE LIVE PLANT COVERAGE = 1107.12m² (15.08%)

GROSS SITE LIVE PLANT COVERAGE (includes ESA) = 2012.82m² (24.4%)

891.2 m²

14.59 m²



2 KEY MAP
NTS



No	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sept 28, 2020
9	DV	ADP Responses	Jan 30, 2020
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6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Rezoning	Feb 20, 2019

No	By	Description	Date
3	TM	MOTI Update	May 07, 2019
2	TM	Rezoning Update	Mar 20, 2019
1	TM	Rezoning Update	Feb 27, 2019

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

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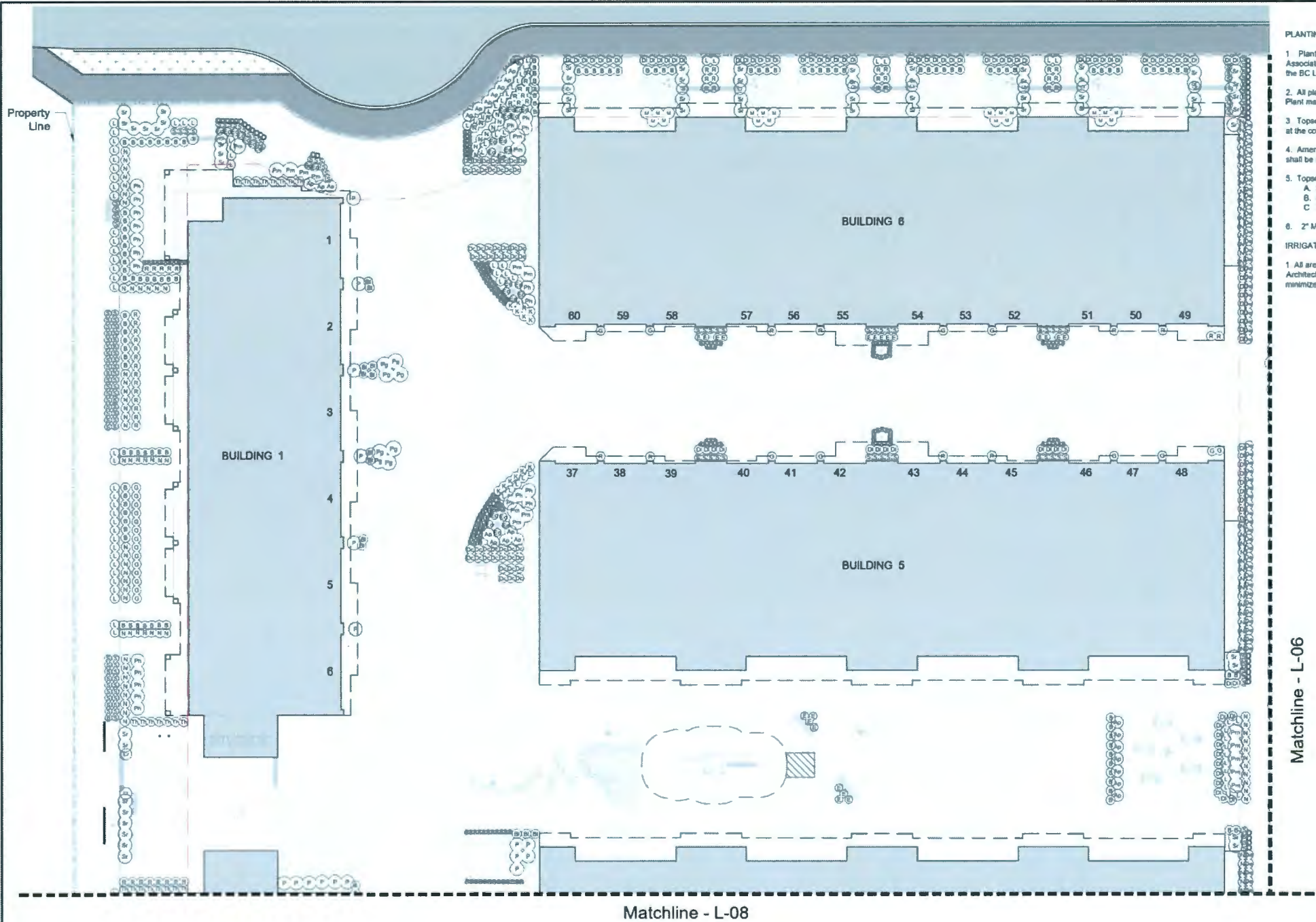
Drawing Title:
ESA & GREENSPACE COVERAGE



Project #:
DP2017-41

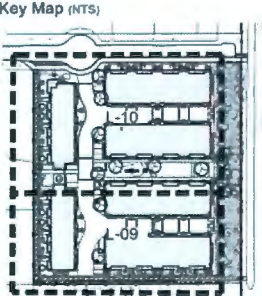
Drawing #:
L-06

MAY 21, 2021 1 SITE PLAN Scale: 1:200 DP 18-829228 PLAN # 10



- PLANTING NOTES
- Plants in this plant list are specified according to the Canadian Nursery Landscape Association Canadian Standards for nursery stock and section 12, container grown plants of the BC Landscape Standard, Current Edition
 - All plant material shall meet or exceed standards required by BCLNA or BCSLA guidelines. Plant material to be approved by Landscape Architect prior to delivery to site.
 - Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to Landscape Consultant for approval.
 - Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed off-site immediately at the landscape contractor's expense.
 - Topsoil depths for planting as follows:
A. SHRUBS: 450mm
B. SCO: 150mm
C. TREE PITTS: 1000mm with 300mm below root ball
 - 2" Minus composted mulch to be installed in all shrub planting areas.
- IRRIGATION NOTE
- All areas to be irrigated. Irrigation system to meet or exceed IASBC Standards. Landscape Architect to review irrigation plans. Climate-based automatic irrigation controls to be used to minimize the use of water on-site.

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12	DV	Re-issue for DP	May 11, 2021
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5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb 20, 2019
No.	By	Description	Date

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1	DV	Planting Plan Update	Nov 6, 2019
No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

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PLANT SCHEDULE ON-SITE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
A	Arctostaphylos uva-ursi / Kinnikinnick	#1	0.3m	272
Ap	Aster divaricatus 'Wood's Pink' / Wood's Pink Aster	#2	0.8m	35
Bl	Blechnum spicant / Deer Fern	#2	0.6m	15
B	Buxus microphylla japonica / Japanese Boxwood	#2	0.6m	242
C	Cardamine trifolia / Three-leaf Cardamine	#1	0.3m	17
Cl	Clematis armandii / Evergreen Clematis	#2	0.75m	14
K	Cornus sericea 'Kelsey' / Kelsey Dogwood	#2	0.6m	36
Co	Cornus stolonifera / Red Osier Dogwood	#2	1m	44
Di	Daphne x 'Lawrence Crocker' / Lawrence Crocker Daphne	#2	0.6m	132
Dc	Deschampsia oespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#2	0.6m	70
D	Dicentra spectabilis 'Queen of Hearts' / Bleeding Heart	#1	0.35m	53
De	Dryopteris erythrosora / Autumn Fern	#2	0.6m	64
E	Erica carnea 'Pink' / Pink Snow Heath	#2	0.6m	1
	Erythronium 'Pink Arrow' / Pink Arrow Lily	#2	0.6m	5

G	Gaultheria shallon / Salal	#2	0.6m	117
L	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	#2	0.6m	254
M	Morella californica / California Wax Myrtle	#3	0.75m	40
N	Nandina domestica 'Gulf Stream' TM / Heavenly Bamboo	#2	0.6m	208
Pg	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	#2	1m	8
Ph	Pennisetum alopecuroides 'Hamel' / Hameln Dwarf Fountain Grass	#2	0.9m	37
Pm	Pieris japonica 'Mountain Fire' / Mountain Fire Pieris	#3	1m	20
P	Polystichum munitum / Western Sword Fern	#2	0.9m	16
R	Rhododendron x 'Ramapo' / Ramapo Rhododendron	#2	0.6m	115
S	Sarcococca hookeriana humilis / Sweet Box	#2	0.45m	319
Sk	Skimmia japonica 'Rubella' / Skimmia	#2	0.9m	72
Th	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	#2	0.6m	23

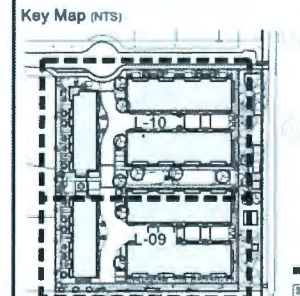
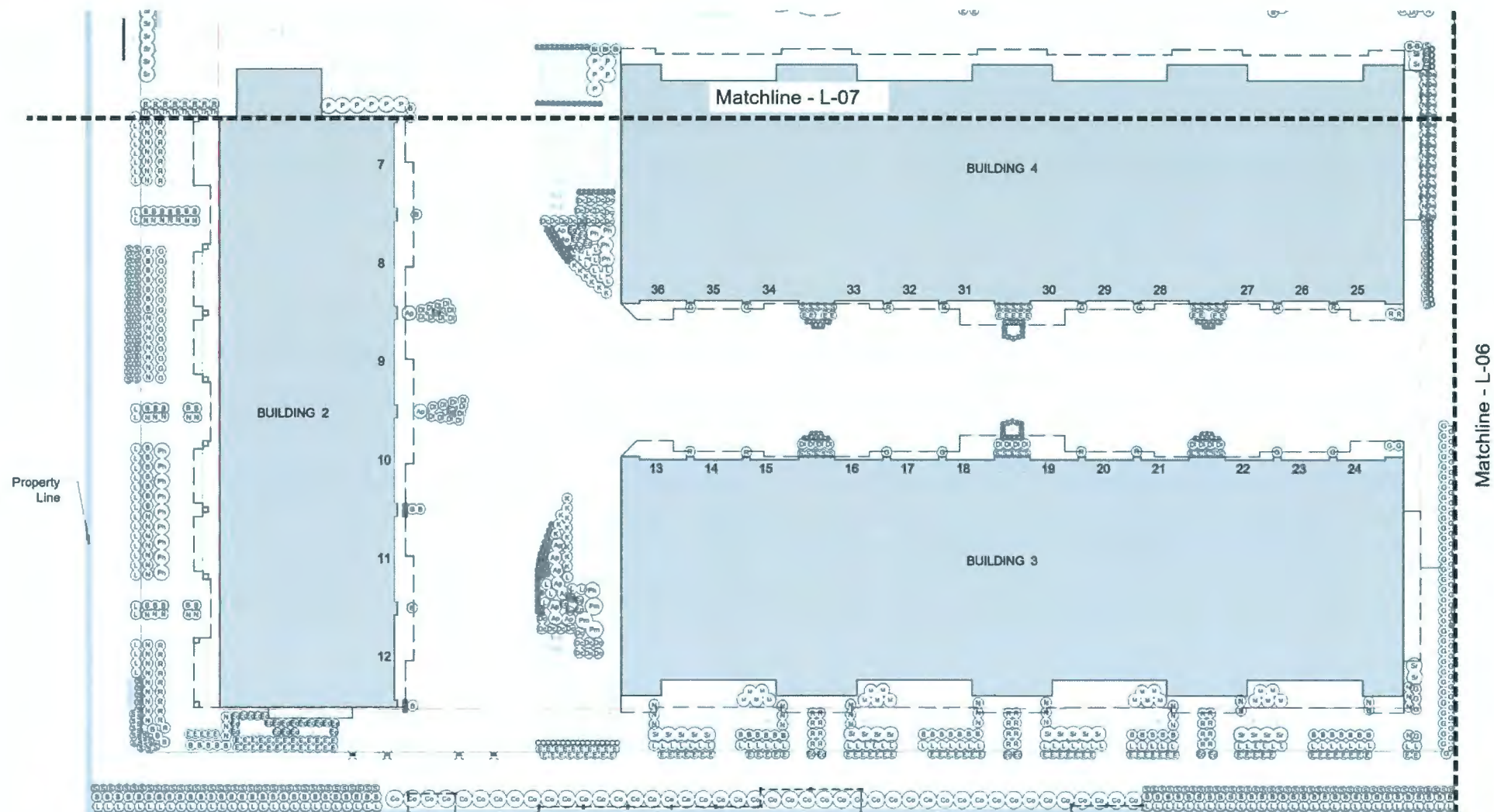
MAY 21, 2021 DP18-829228 PLAN # 11



Drawing Title: PLANTING PLAN NORTH

VDZ Project #: DP2017-41

Drawing #: L-07



12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sept 28, 2020
9	DV	ADP Response	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb 20, 2019
No	By	Description	Date

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1	DV	Planting Plan Update	Nov 8, 2019
No	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

Drawn:
DV

Stamp:

Checked:
TM

Approved:
MVDZ

Original Sheet Size:
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Scale:
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PLANT SCHEDULE ON-SITE

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
A	Arctostaphylos uva-ursi / Kinnikinnick	#1	0.3m	272
Ap	Aster divaricatus 'Wood's Pink' / Wood's Pink Aster	#2	0.8m	35
Bl	Blechnum spicant / Deer Fern	#2	0.6m	15
B	Buxus microphylla japonica / Japanese Boxwood	#2	0.6m	242
C	Cardamine trifolia / Three-leaf Cardamine	#1	0.3m	17
Cl	Clematis armandii / Evergreen Clematis	#2	0.75m	14
K	Cornus sericea 'Kelsey' / Kelseyl Dogwood	#2	0.6m	36
Co	Cornus stolonifera / Red Osier Dogwood	#2	1m	44
Di	Daphne x 'Lawrence Crocker' / Lawrence Crocker Daphne	#2	0.6m	132
Dc	Deschampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass	#2	0.6m	70
D	Dicentra spectabilis 'Queen of Hearts' / Bleeding Heart	#1	0.35m	53
De	Dryopteris erythrosora / Autumn Fern	#2	0.6m	64
E	Erica carnea 'Springwood Pink' / Pink Spring Heath	#2	0.5m	130
Eo	Erythronium oregonum / Fawn Lily	bulb	0.5m	54
G	Gaultheria shallon / Salal	#2	0.6m	117
L	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	#2	0.6m	254
M	Morella californica / California Wax Myrtle	#3	0.75m	40
N	Naraya... ..	#2	0.6m	10

PLANTING NOTES:

- Plants in this plant list are specified according to the Canadian Nursery Landscape Association Canadian Standards for nursery stock and section 12, container grown plants of the BC Landscape Standard, Current Edition.
- All plant material shall meet or exceed standards required by BCLNA or BCSLA guidelines. Plant material to be approved by Landscape Architect prior to delivery to site.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to Landscape Consultant for approval.
- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed off-site immediately at the landscape contractor's expense.
- Topsoil depths for planting as follows:
A. SHRUBS: 450mm
B. SOD: 150mm
C. TREE PITS: 1000mm with 300mm below root ball
- 2" Minus composted mulch to be installed in all shrub planting areas.

IRRIGATION NOTE:

- All areas to be irrigated. Irrigation system to meet or exceed IASBC Standards. Landscape Architect to review irrigation plans. Climate-based automatic irrigation controls to be used to minimize the use of water on-site.

Pg	Pachysandra terminalis 'Green Carpet' / Japanese Spurge	#2	1m	8
Ph	Pennisetum alopecuroides 'Hameln' / Hameln Dwarf Fountain Grass	#2	0.9m	37
Pm	Pieris japonica 'Mountain Fire' / Mountain Fire Pieris	#3	1m	20
P	Polystichum munitum / Western Sword Fern	#2	0.9m	16
R	Rhododendron x 'Ramapo' / Ramapo Rhododendron	#2	0.6m	115
S	Sarcococca hookeriana humilis / Sweet Box	#2	0.45m	319
Sr	Skimmia japonica 'Rubella' / Skimmia	#2	0.9m	72
Sr	Skimmia japonica 'Spiragdo' / Emerald Green Arborvitae	#2	0.6m	23



MAY 21, 2021 DP 18-829228 PLAN # 12

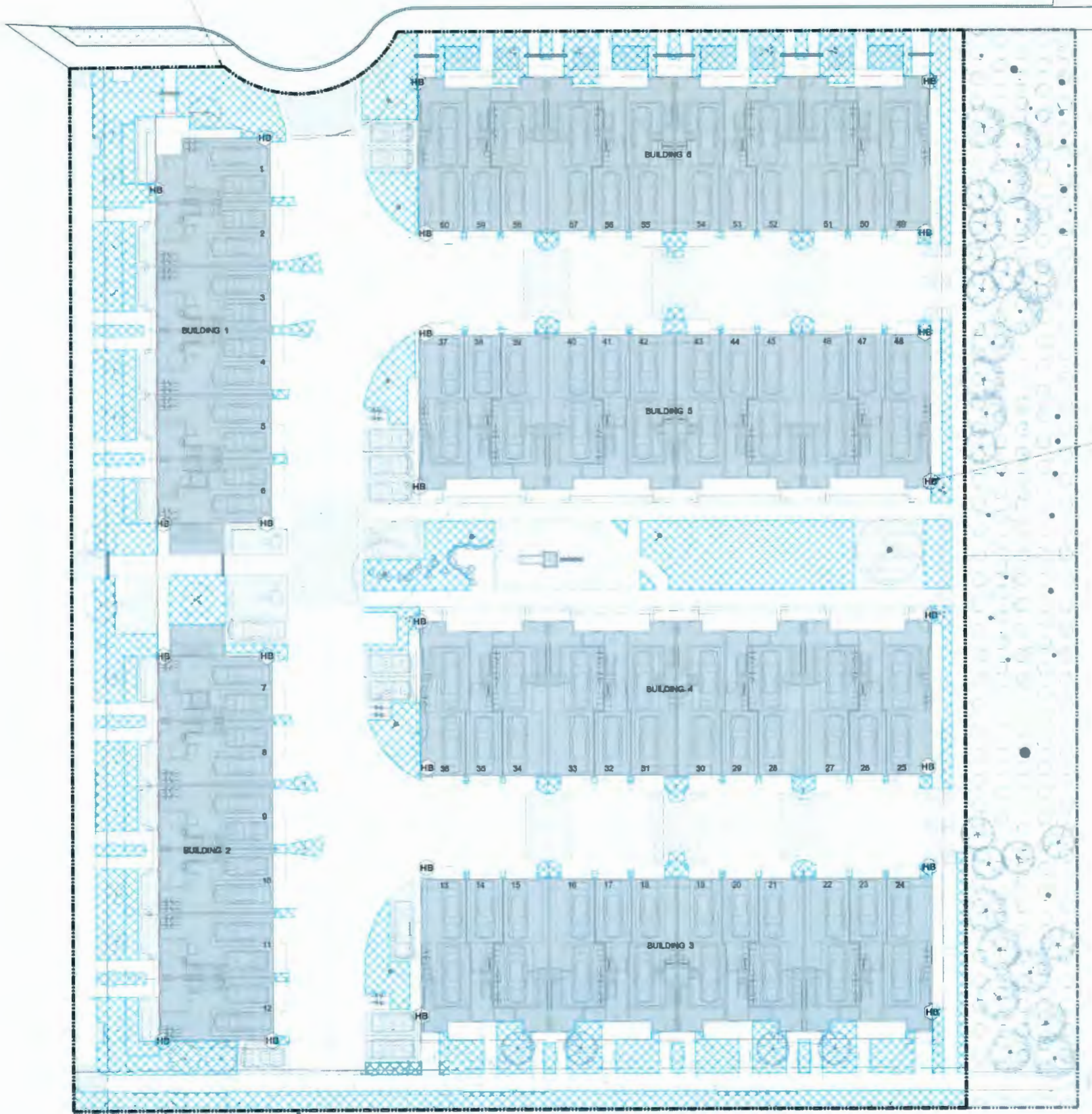
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Drawing Title:
PLANTING PLAN SOUTH

Project:
DP2017-41

Drawing #:
L-08

PROPOSED PROPERTY LINE



Hose Bib. Typ.

LEGEND

KEY	DESCRIPTION
[Pattern]	IRRIGATION TEMPORARY
[Pattern]	IRRIGATION PERMANENT
[Symbol]	HOSE BIB

- Notes:
1. Irrigation Contractor to provide shop drawings to Landscape Architect for approval prior to installation.
 2. Irrigation system to be designed and installed to IABC's standards.
 3. Climate-based automatic irrigation controls to be used to minimize the use of water on-site.

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info@vdz.com vdz.ca



No.	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sept 28, 2020
9	DV	ADP Responses	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Rezoning	Feb 20, 2019
No.	By	Description	Date

No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project: Gates Avenue Townhouses			
Location: 23400, 23440, 23460, 23500 Gates Avenue, Richmond, B.C.			
DP #: DP18-829228			
Drawn: DV	Stamp:		
Checked: TM			
Approved: MVDZ	Original Sheet Size: 24"x36"		
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE REFERENCED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO THE DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDERS/CONSTRUCTION.		

MAY 21, 2021 1 IRRIGATION PLAN Scale 1:200 DP 18-829228 PLAN # 13

VDZ Project #: DP2017-41 Drawing #: L-09 Drawing Title: IRRIGATION PLAN

PROPOSED PROPERTY LINE

Entry Sign Light

BUILDING 6

BUILDING 1

BUILDING 5

BUILDING 4

BUILDING 2

BUILDING 3

PMT, Refer to Electrical

Pathway Light

Overhead Light, Refer to Arch.

Light at Building, Refer to Arch.

Light at Building, Refer to Arch.



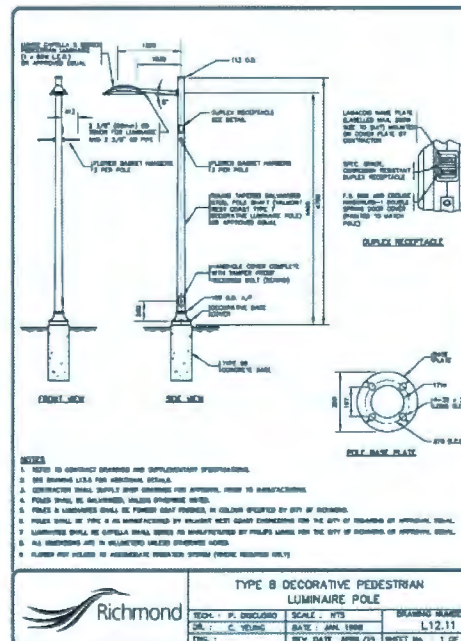
McGraw-Hill BSC Lensed Bollard
Or Approved Other

2 PATHWAY LIGHT
Scale NTS



ERCO - Lightscape
Or Approved Other

3 ENTRY SIGN LIGHT
Scale NTS



4 POLE LIGHT
Scale NTS

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F: 604 882 0042
info@vzai.com

LEGEND

KEY	DESCRIPTION
	PATHWAY LIGHT
	ENTRY SIGN LIGHT
	POLE LIGHT

No.	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar. 24, 2021
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3	TM	Issued for Rezoning	Feb. 20, 2019
2	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
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No.	By	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses
Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.
DP #:
DP18-829228

Drawn: DV Stamp:

Checked: TM

Approved: MVDZ Original Sheet Size: 24"x36"

Scale: AS SHOWN
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE OBTAINED AT THE CONSULTANT'S OFFICE. THE WORK SHALL BE COMPLETED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.



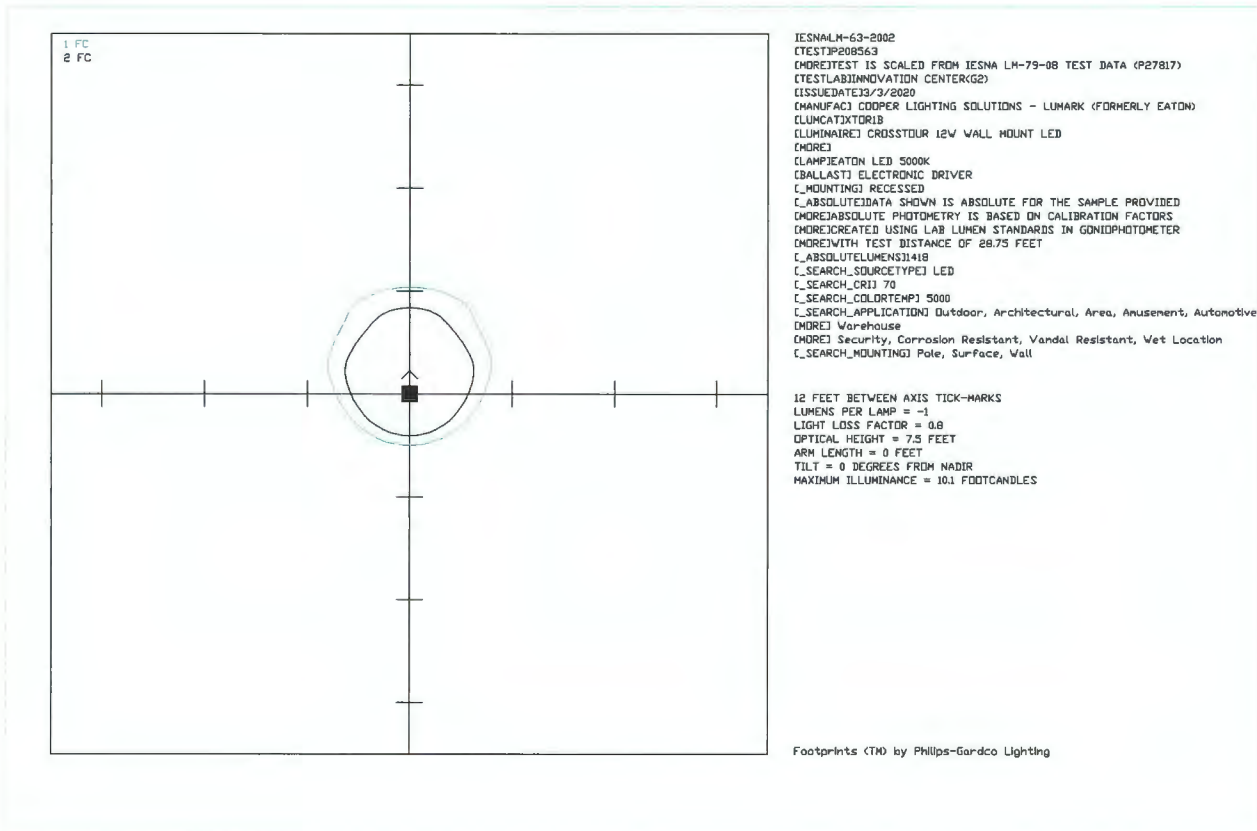
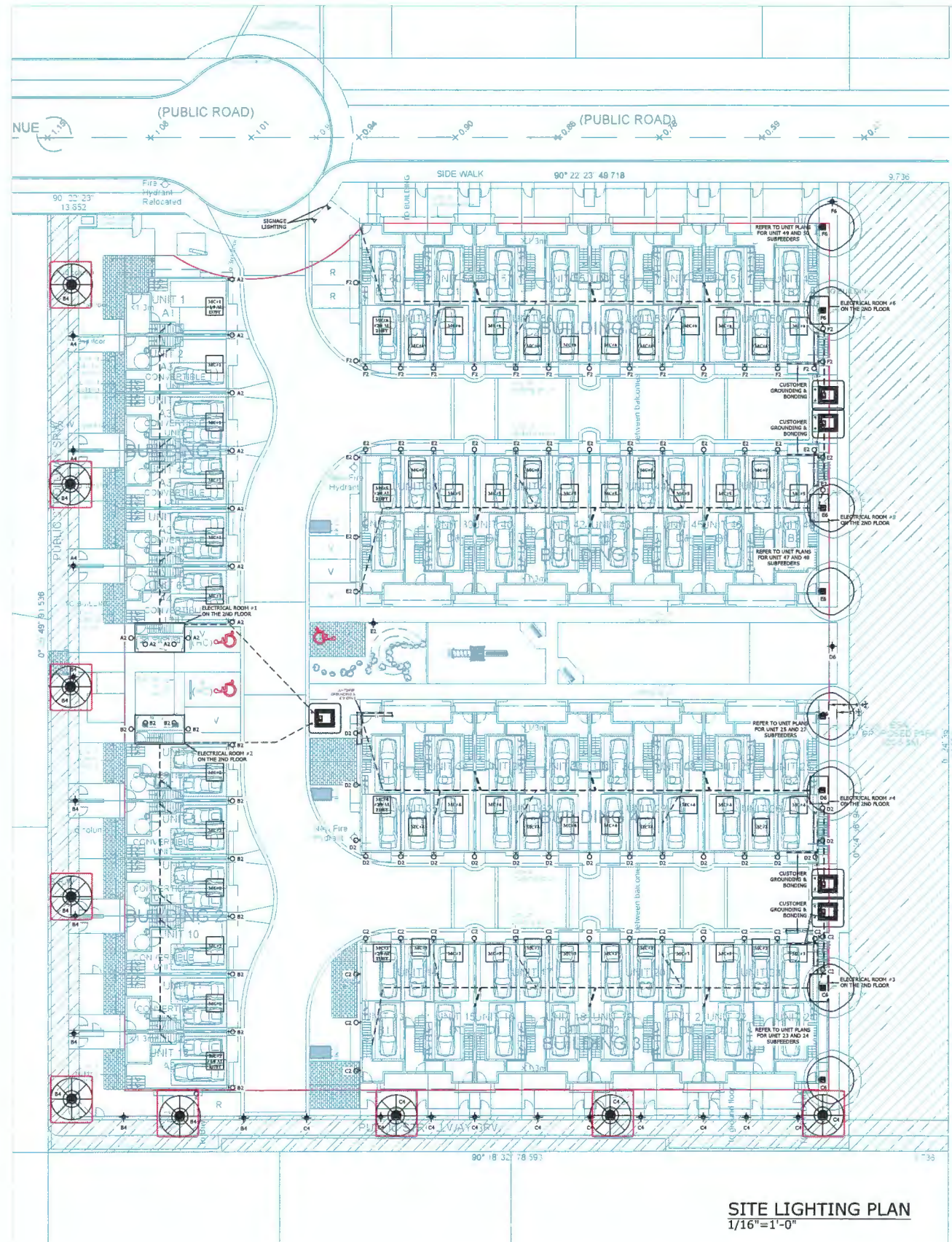
Drawing Title: LIGHTING PLAN

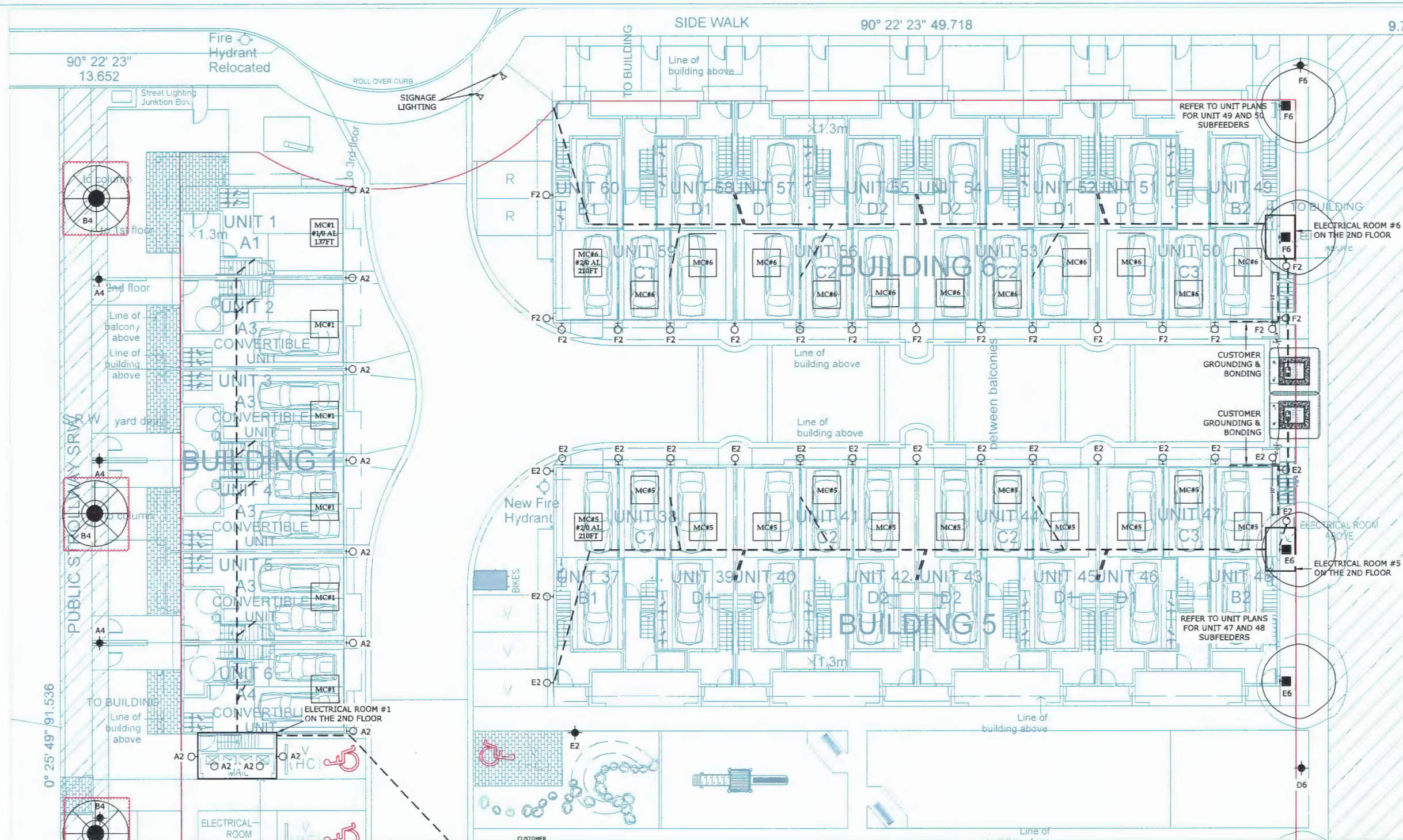
PROJECT

VOZ Project #: DP2017-41

Drawing #: L-10

MAY 21, 2021 DP 18-829228 PLAN # 14





SITE LIGHTING LEGEND	
	BOLLARD LED LIGHTS: 42" HIGH C/W CONCRETE BASE, 3000K COLOUR TEMPERATURE, SPECIFICATIONS TO BE CONFIRMED
	STEP LED LIGHTS: 3000K COLOUR TEMPERATURE, SPECIFICATIONS TO BE CONFIRMED
	SIGNAGE UPLIGHT AT GRADE LEVEL C/W CONCRETE MOUNTING BASE TO SUIT, SPECIFICATIONS TO BE CONFIRMED
	POLE LIGHT PROVIDED AND INSTALLED BY CIVIL, DIV 28 PROVIDE POWER AND FINAL CONNECTION FROM HOUSE PANELS WITH CIRCUITS AS SHOWN ON DRAWINGS. COORDINATE LOCATION AND DETAILS WITH CIVIL CONTRACTOR.
	LED WALL SCONCE FIXTURE, 3000K

NORTH SITE PLAN
1/8"=1'-0"

MAY 21, 2021 **DP 18-829228 PLAN # 16**

4 SITE PLAN UPDATED 28APR21

3 SITE PLAN UPDATED 22MAR21

2 SITE LIGHTING REVISED 01MAR21

1 SITE PLAN UPDATED 17JAN20

NO. DESCRIPTION DATE

REVISIONS

3

2 FOR BUILDING PERMIT 18DEC19

1 FOR COORDINATION 12DEC19

NO. DESCRIPTION DATE

ISSUE

GATES AVENUE

23400 - 23500
GATES AVENUE
RICHMOND, B.C.
for

QUARRY ROCK DEVELOPMENTS

FILE

NORTH SITE PLAN

LIEW ENGINEERING LTD.
Electrical Consulting Engineers
108-11121 Horseshoe Way
Richmond, BC, V7A 5G7
Tel/Fax: 604-277-3157

SEAL

FOUGERE
architecture inc.
108-11121 Horseshoe Way
Richmond, BC, V7A 5G7
Tel/Fax: 604-277-3157

DATE

10DEC19

SCALE

AS SHOWN

DRAWN BY

RVLACS

CHECKED

RVL

PROJECT NUMBER

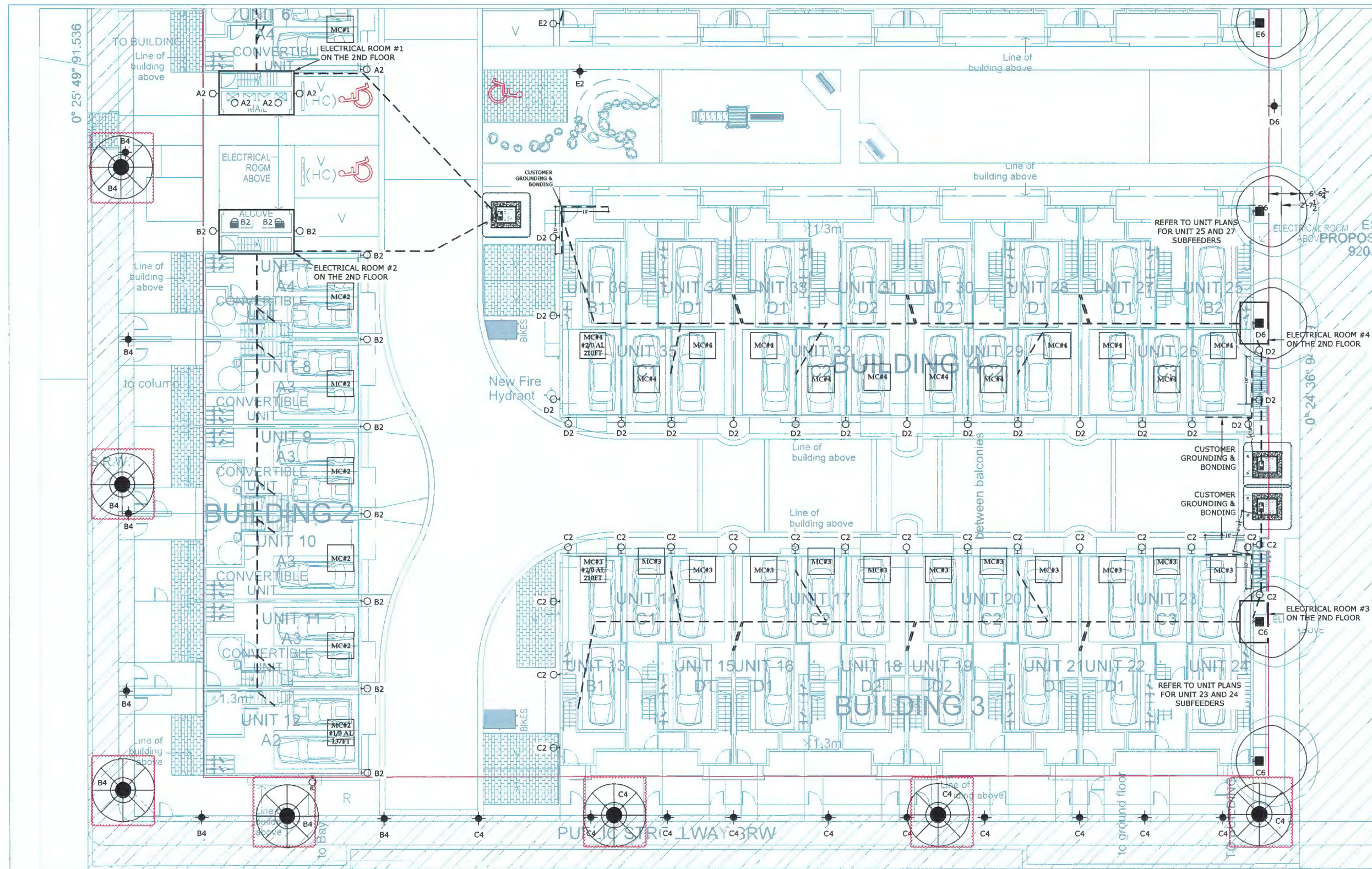
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SHEET NUMBER

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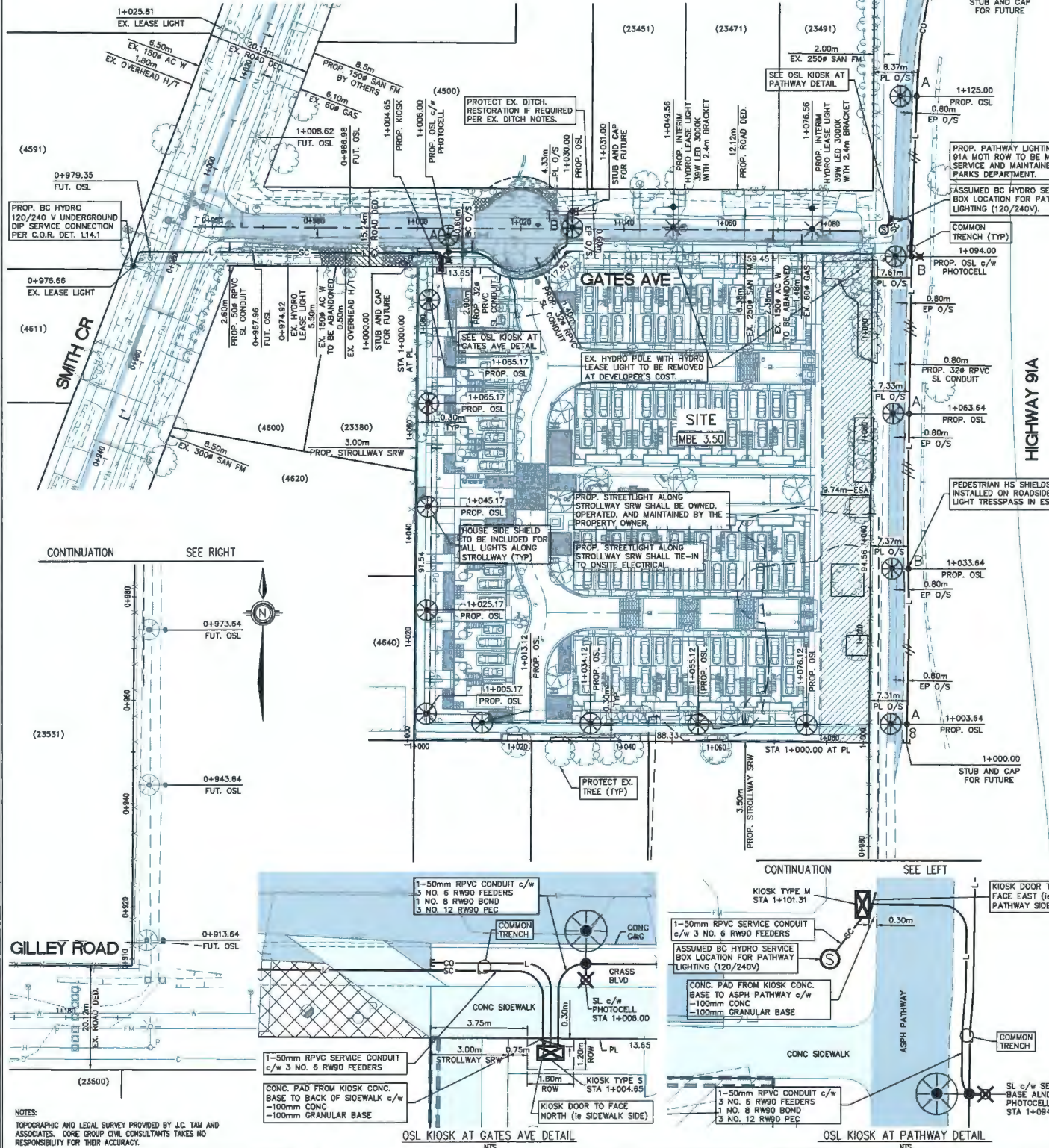
MAY 21, 2021

DP 18-020228 PLAN # 17

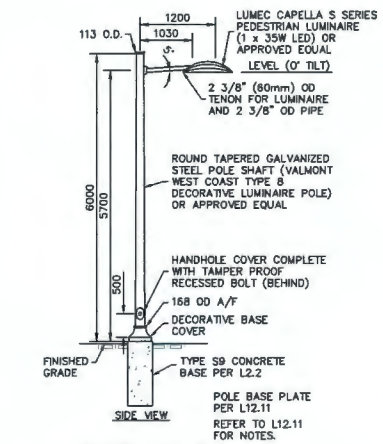


SOUTH SITE PLAN
1/8"=1'-0"

CHECK BEFORE YOU DIG
CONTRACTOR SHALL REFER TO DRAWINGS FOR ALL OTHER UTILITIES, SERVICE LOCATIONS, AND DETAILS. THE EXACT LOCATION OF THESE UTILITIES SHALL BE DETERMINED ON SITE. INFORMATION ON EXISTING UTILITIES MAY NOT BE COMPLETE OR ACCURATE. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING UTILITIES AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.



EX. DITCH NOTES:
1. AQUATIC INVASIVE SPECIES CALLED PARROTS FEATHER HAS BEEN MAPPED IN THE DITCHES ALONG SMITH CR AND GATES AVE. PARROTS FEATHER CAN BE BURIED UNDER THE INFILL MATERIAL. IF MATERIAL IS TO BE REMOVED TO FACILITATE INFILL AREAS, IT SHOULD BE DISPOSED OF AT AN APPROPRIATE FACILITY.
2. THE DITCHES IN THESE AREAS ARE CURRENTLY LINED WITH GEOTEXTILE LINER TO HELP MITIGATE REGROWTH OF INVASIVE SPECIES. ANY DISTURBANCE TO THE DITCH LINERS WILL BE RE-ESTABLISHED AS PER THE ORIGINAL CONDITION THAT THEY WERE FOUND IN.
3. CITY RECORDS SHOW TREATED SITE FOR JAPANESE KNOTWEED AROUND THIS AREA. JAPANESE KNOTWEED IS AN INVASIVE PLANT SPECIES THAT CAN GROW THROUGH INFRASTRUCTURE. PRIOR TO REMOVAL OF MATERIAL IN THIS AREA, CONFIRM THAT KNOTWEED REGROWTH IS NOT OBSERVED. COORDINATE THIS WITH CITY ENVIRONMENT DEPARTMENT 604-247-4166.



LEGEND

- EXIST. HYDRO LEASE LIGHT
- AT GATES AVE:
PROPOSED STREET LIGHT POLE (6.00m-35W-LED)
(CUSTOM TYPE 8 DECORATIVE LUMINAIRE POLE PER DETAIL)
AT PATHWAY:
PROPOSED PATHWAY SIDE MOUNTED LUMINAIRE POLE (4.57m-25W-LED)
(PATHWAY LUMINAIRE POLE PER C.O.R. DWG. L11.5.)
AT PATHWAY:
PROPOSED PATHWAY SIDE MOUNTED LUMINAIRE POLE (3.67m-25W-LED) c/w PHOTOCELL AND SERVICE BASE (PATHWAY LUMINAIRE POLE PER C.O.R. DWG. L11.5, L3.2, L5.6, L5.8 AND L13.1.)
PROPOSED PRIVATE STREET LIGHT POLE AT STROLLWAY SRW (4.70m-35W-LED)
(TYPE 8 DECORATIVE PEDESTRIAN LUMINAIRE POLE PER C.O.R. DWG. L12.11 - FLOWER BASKET HANGERS AND DUPLEX RECEPTACLES ARE NOT REQUIRED.)
- PROPOSED POLE WITH INTERIM HYDRO LEASE LIGHT
- FUTURE STREET LIGHT POLE (6.00m-35W-LED)
(CUSTOM TYPE 8 DECORATIVE LUMINAIRE POLE PER DETAIL)
- FUTURE PATHWAY SIDE MOUNTED LUMINAIRE POLE (4.57m-25W-LED)
(PATHWAY LUMINAIRE POLE PER C.O.R. DWG. L11.5.)
- 3 NO. 6 RW90 FEEDERS AND 1 NO. 8 RW90 BOND IN 32mm R.PVC CONDUIT
- 2 NO. 6 RW90 FEEDERS AND 1 NO. 8 RW90 BOND IN 32mm R.PVC CONDUIT
- LUMINAIRE ON RED PHASE CONDUCTOR
- LUMINAIRE ON BLACK PHASE CONDUCTOR
- STUB OUT AND CAP 32mm R.PVC (CONDUIT ONLY) FOR FUTURE EXTENSIONS
- 50mm R.PVC SERVICE CONDUIT c/w 3 NO. 6 RW90 FEEDERS
- AT GATES AVE:
PROPOSED TYPE 5 SERVICE KIOSK (DECORATIVE LIGHTING) PER C.O.R. DET. L4.1, L8.1, L6.2 AND L6.7
- AT PATHWAY:
PROPOSED TYPE M SERVICE KIOSK (METERED SERVICE) PER C.O.R. DET. L4.2, L8.3, L6.4 AND L6.5

- STREET LIGHTING GENERAL NOTES
- ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD) AND CITY OF RICHMOND SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS UNLESS OTHERWISE NOTED.
 - ALL LAMP STANDARDS ARE TO BE MOUNTED WITH DAVIT ARM AT 90 DEGREES TO CURB FACE WITH A 3 DEGREE TOLERANCE.
 - ALL LAMP STANDARDS MOUNTING HEIGHT ARE TO BE 4.48m AT WALKWAY, 5.70m AT GATES AVE AND 4.40m AT STROLLWAY SRW, UNLESS OTHERWISE NOTED.
 - GATES AVENUE LUMINAIRES ARE TO BE 37 WATT LED WITH I.E.S. TYPE 3F DISTRIBUTION. WALKWAY LUMINAIRES ARE TO BE 25W LED WITH I.E.S. TYPE R2M DISTRIBUTION AND STROLLWAY SRW LUMINAIRES ARE TO BE 37W LED WITH I.E.S. TYPE 2F DISTRIBUTION, UNLESS OTHERWISE NOTED.
 - ALL DRIVERS TO BE SUITABLE FOR 120 VOLT OPERATION.
 - SERVICE TO BE 120/240 VOLT SINGLE PHASE 3 WIRE.
 - ALL VOLTAGES TO BE CHECKED PRIOR TO CONSTRUCTION.
 - ALL WIRING TO BE 2 OR 3 NO. 6 RW90 FEEDERS & 1 NO. 8 RW90 BOND WIRE IN 32mm RIGID PVC CONDUIT.
 - FINISHED ELEVATIONS FOR LAMP STANDARD BASES TO BE PER RICHMOND STD. L13.3 FOR 4.57m POLES AND PER STD. L13.5 FOR TYPE 8 DECORATIVE POLES.
 - APPROVAL OF PROVINCIAL ELECTRICAL INSPECTOR TO BE OBTAINED PRIOR TO MAKING CONNECTION.
 - CONTRACTOR TO ENSURE EXISTING ORNAMENTAL STREET LIGHTING IS NOT DISRUPTED DURING NEW INSTALLATION (I.E. TIE TO EXISTING CONDUIT AT COMPLETION OF O.S.L. CONSTRUCTION).
 - ALL CONDUITS SHALL BE BURIED A MINIMUM 1000mm DEPTH AND EMBEDDED IN SAND 75mm ABOVE AND 75mm BELOW AND BURIED CONDUIT MARKER TAPE SHALL BE INSTALLED IN ALL TRENCHES. REFER TO RICHMOND STD. DWG. NO. L9.3.
 - GROUND RODS OR PLATE ARE REQUIRED AT EACH STREET LIGHT BASE AS PER CITY OF RICHMOND SPECIFICATIONS.
 - REFER TO RICHMOND STD. DWG. NO. L7.1 FOR HANDHOLE WIRING DETAIL.
 - WHERE EXISTING LAMP STANDARDS HAVE BEEN MODIFIED IN ANY FORM, THE CONTRACTOR WILL BE RESPONSIBLE TO REWIRE POLY AND LUMINAIRE TO TYPICAL HANDHOLE WIRING DETAIL SHOWN ON RICHMOND STD. DWG. NO. L7.1.
 - FORTISBC GAS SERVICES: THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXISTING LOCATIONS OF GAS SERVICE LINES, AND WHERE NECESSARY ARRANGE FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION OF THE WORKS SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM FORTISBC GAS SERVICE RECORDS DEPARTMENT TEL 604-293-8552. FORTISBC GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.
 - CUSTOM TYPE 8 POLES, LUMINAIRES AND KIOSK ARE TO BE POWDER COATED GLOSS GREY SMOOTH FINISH RAL 7040.

LUMINANCE AND ILLUMINANCE DESIGN CRITERIA

ITEM	DESCRIPTION	DESCRIPTION	DESCRIPTION	DESCRIPTION
LIGHTING PROGRAM	VISUAL ROADWAY LIGHTING	VISUAL ROADWAY LIGHTING	VISUAL ROADWAY LIGHTING	VISUAL ROADWAY LIGHTING
STREET NAME(S)	GATES AVENUE	WALKWAY	STROLLWAY (N-S)	STROLLWAY (E-W)
LAND USE	MULTI-FAMILY	PATHWAY	STROLLWAY	STROLLWAY
ROADWAY CLASSIFICATION	LOCAL	PATHWAY	STROLLWAY SRW	STROLLWAY SRW
PEDESTRIAN AREA CONFLICT	MEDIUM	MEDIUM	MEDIUM	MEDIUM
PAVEMENT CLASSIFICATION	ASPHALT R3	ASPHALT R3	CONCRETE R1	CONCRETE R1
ROADWAY WIDTH (m)	7.70m (ULTIMATE)	3.00m	2.00m	1.50m
LANE QUANTITY	2	1	1	1
LANE WIDTH (m)	3.85m	3.00m	2.00m	1.50m
MEDIAN WIDTH (m)	N/A	N/A	N/A	N/A
LUMINAIRE DESCRIPTION/PRODUCT NUMBER	LUMEC CAPELLA CPLS-35W32LED3K-G2-LE3F-RC07-PH9 (PH8 AT PHOTOCELL)	LUMEC ROADFOCUS RFS-25W16LED-2.7K-G2-R2M-UNV-DMG-HS-PH9 (PH8 AT PHOTOCELL)-RC07-GY3	LUMEC CAPELLA CPLS-35W32LED3K-G2-LE2F-HS-RC07-PH9	LUMEC CAPELLA CPLS-35W32LED3K-G2-LE2F-HS-RC07-PH9
LUMINAIRE PHOTOMETRIC FILE NO.	CPLS-35W32LED3K-G2-LE3F.ies	RFS-25W16LED2.7K-G2-R2M-HS.ies	CPLS-35W32LED3K-G2-LE2F-HS.ies	CPLS-35W32LED3K-G2-LE2F-HS.ies
LAMP WATTAGE & LIGHT SOURCE	37W LED	25W LED	37W LED	37W LED
LAMP COLOR TEMPERATURE (K)	3000K	2700K	3000K	3000K
INITIAL LAMP LUMENS	3594	2858	3676	3676
LIGHT LOSS FACTOR	LLF(0.78)=LLD(0.90)xLD0(0.89)xEF(0.95)xTF(1.00)xCF(1.03)	LLF(0.78)=LLD(0.90)xLD0(0.89)xEF(0.95)xTF(1.00)xCF(1.03)	LLF(0.78)=LLD(0.90)xLD0(0.89)xEF(0.95)xTF(1.00)xCF(1.03)	LLF(0.78)=LLD(0.90)xLD0(0.89)xEF(0.95)xTF(1.00)xCF(1.03)
LUMINAIRE DISTRIBUTION TYPE	3F	R2M	2F	2F
LUMINAIRE BUG RATING	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1
LUMINAIRE TILT OR SPIN (IF APPLICABLE)	N/A	N/A	N/A	N/A
LUMINAIRE MOUNTING HEIGHT (m)	5.70m	4.48m	4.40m	4.40m
POLE HEIGHT (m)	6.00m	4.57m	4.70m	4.70m
POLE SETBACK (m)	0.60m (FROM BACK OF CURB)	0.80m (FROM EDGE OF PATH)	0.30m (FROM EDGE OF PATH)	0.30m (FROM EDGE OF PATH)
POLE ARM LENGTH (m)	1.03m	0.60m	1.03m	1.03m
POLE ARRANGEMENT	STAGGERED	ONE SIDE	ONE SIDE	ONE SIDE
POLE SPACING (m MAX)	29m	24m	31m	31m
ILLUMINANCE DESIGN CRITERIA FOR ROADWAYS				
ITEM	RECOMMENDED VALUES	ACHIEVED VALUES		
ILLUMINATION LEVEL (E avg) IN LUX	7.0	7.7		
UNIFORMITY RATIO (E avg/E min)	6.0	2.4		
VEILING LUMINANCE RATIO (LV max/L avg)	0.4	0.3		
LUMINANCE DESIGN CRITERIA FOR ROADWAYS				
ITEM	RECOMMENDED VALUES	ACHIEVED VALUES		
AVERAGE LUMINATION L avg (cd/m2)	0.5	0.5		
UNIFORMITY RATIO (L avg/L min)	6.0	1.9		
UNIFORMITY RATIO (L max/L min)	10.0	3.8		
VEILING LUMINANCE (LV max/L avg)	0.4	0.3		
ILLUMINANCE DESIGN CRITERIA FOR WALKWAYS AND BIKEWAYS				
ITEM	RECOMMENDED VALUES	ACHIEVED VALUES	RECOMMENDED VALUES	ACHIEVED VALUES
AVERAGE ILLUMINATION LEVEL (E avg) IN LUX	5.0	9.5	5.0	13.2
AVERAGE UNIFORMITY RATIO (E ave/E min)	4.0	4.0	4.0	3.9
MIN VERTICAL ILLUMINANCE (EV min)	2.0	0.4	2.0	0.3

LEGAL DESCRIPTION
LOT 58 PLAN 8421 EXCEPT; PART SUBDIVIDED BY PLAN 44742; LOTS 114 AND 115 PLAN 41397; LOT 124 PLAN 44742 ALL OF SECTION 36 BLOCK 5 NORTH, RANGE 4 WEST, N.M.D.



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City of Richmond
6911 N.S. 3 ROAD RICHMOND B.C. V6Y 2C1

TITLE: ORNAMENTAL STREETLIGHTING
23400, 23440, 23460 AND 23500 GATES AVENUE
CITY FILE: SAT19-880363

DESIGN: C.N.	DWG. NO: 880363-19-09
DRAWN: T.U.	SCALE: 1:500
CHECKED: C.N.	DATE: 03/08/21
ENGINEER: C.N.	SEC. NO: 36-5-4
	SHT. NO: 1 OF 1

MAY 21, 2021

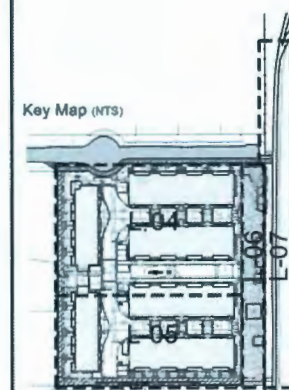
DP 18-829228 PLAN 18

BENCHMARK
ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER:
ELEVATIONS ARE BASED ON CITY OF RICHMOND BENCHMARK HPN1005, CONTROL MONUMENT 02H2453 ELEVATION = 1.783m
(BENCHMARK HPN193, CONTROL MONUMENT 78H510 ELEVATION = 1.632m)
ELEVATION: 1.783
CITY WORK ORDER NO: 18-829228
CONTRACTOR WORK ORDER NO: 18-829228

DEVELOPER
QRD (HAMILTON) LP
#102 - 5489 BYRNE ROAD
BURNABY, BC V5J 3J1
ENGINEER
Core Group
CONSULTANTS
326-8888 FRASER COURT
BURNABY, BC V5J 5H8
Tel: (604)299 0605 Fax: (604)299 0629



Key Map (NTS)



12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
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4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Rezoning	Feb. 20, 2019
2	TM	Privacy Fence Update	May 26, 2021
1	TM	TPZ Update	May 21, 2021
No.	By	Description	Date

REVISIONS TABLE FOR DRAWINGS

2	TM	Privacy Fence Update	May 26, 2021
1	TM	TPZ Update	May 21, 2021
No.	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
 Gates Avenue Townhouses
 Location:
 23400, 23440, 23460, 23500
 Gates Avenue, Richmond, B.C.
 DP #:
 DP18-829228

Drawn:	Stamp:
DV	
Checked:	
TM	
Approved:	Original Sheet Size:
MVDZ	24"x36"
Scale:	
AS SHOWN	

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE OBSERVED AT THE COMPLETION OF THE WORK. ALL REVISIONS AND/OR CHANGES MUST BE NOTED ON THE DRAWINGS. CONSTRUCTION UNLESS OTHERWISE NOTED FOR TENDERS/CONTRACTORS.

Drawing Title:
GRADING PLAN



VDZ Project #:
DP2017-41

Drawing #:
L-11

West PL Wall & Fence Calculation:

Average Off-site Grade:
 $(0.71+0.79+0.17+0.27/4) = 0.485m$

Averaged Finished Grade:
 $(1.07+0.485/2) = 0.778m$

Average Wall Height:
 $(1.07-0.778) = 0.292$

Maximum Fence Height:
 $(2.0 - 0.292) = 1.708m$

Installed Fence Height = 1.5m

Combined Average Wall Height & Fence Height:
 $(0.292+1.5) = 1.792m$

South-West PL Wall & Fence Calculation:

Average Off-site Grade:
 $(0.27+0.18/2) = 0.215m$

Averaged Finished Grade:
 $(1.11+0.215/2) = 0.663m$

Average Wall Height:
 $(1.11-0.663) = 0.447$

Maximum Fence Height:
 $(2.0 - 0.447) = 1.55m$

Installed Fence Height = 1.5m

Combined Average Wall Height & Fence Height:
 $(0.447+1.5) = 1.947$

South-East PL Wall & Fence Calculation:

Average Off-site Grade:
 $(0.59+0.45/2) = 0.52m$

Averaged Finished Grade:
 $(1.11+0.52/2) = 0.815m$

Average Wall Height:
 $(1.11-0.815) = 0.295$

Maximum Fence Height:
 $(2.0 - 0.295) = 1.705m$

Installed Fence Height = 1.5m

Combined Average Wall Height & Fence Height:
 $(0.295+1.5) = 1.795$

MAY 21, 2021 **DP 18-829228 PLAN # 19**



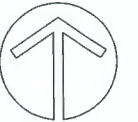
THIS DRAWING CONFORMS TO THE BRITISH COLUMBIA BUILDING CODE 2018.

THIS BUILDING DESIGN AND DRAWING ARE THE PROPERTY OF FOUGERE ARCHITECTURE INC. AND MAY NOT BE REPRODUCED OR REPEATED WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO THE COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS TO BE REPORTED IMMEDIATELY TO THE ARCHITECT. VARIATIONS AND MODIFICATIONS TO WORK SHOWN ON THESE DRAWINGS SHALL NOT BE CARRIED OUT WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.

THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS ISSUED "FOR CONSTRUCTION".

1	REVISED PER OP COMMENTS	21.05.03
2	REVISED PER OP	19.10.19
3	ISSUED	19.10.19
NO	DESCRIPTION	DATE
REVISION	ISSUE	YY/MM/DD



CoreGroup
CONSULTANTS
LAND DEVELOPMENT SERVICES
325-3300 FALCON CREST
BURNABY, BC V5C 2H8
Tel: (604) 299-0025 Fax: (604) 299-0829

GATES AVENUE

23400 - 23500
GATES AVENUE
RICHMOND, B.C.
for
Bains Properties

GRADING PLAN

FOUGERE
architecture inc.
BRITISH COLUMBIA • ALBERTA • WASHINGTON
302 - 1025 Quebec Street • VANCOUVER, BC V6A 3B7
Vancouver, BC V6T 4A6 • fougerearchitecture.ca

SCALE 1:200

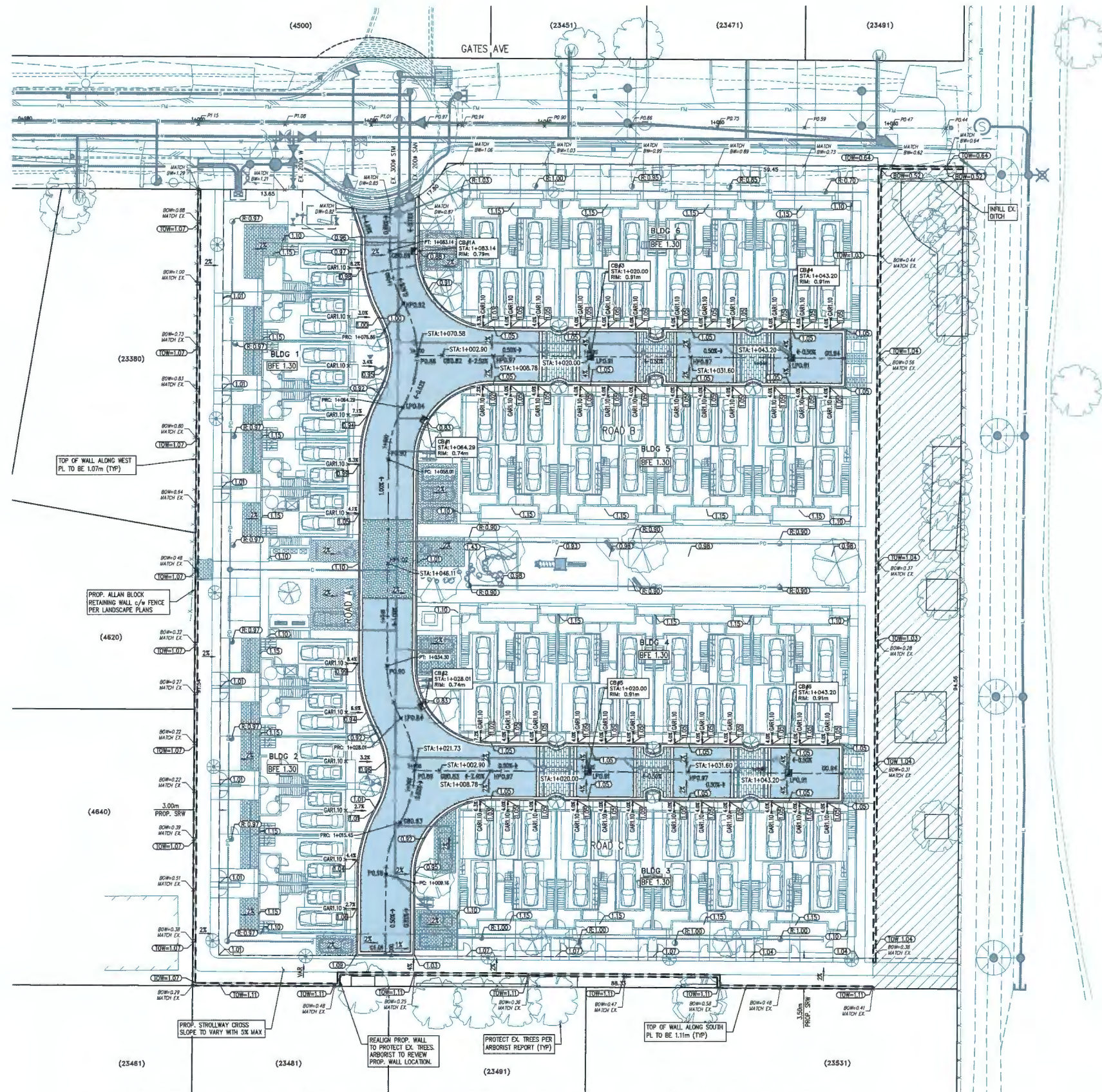
DRAWN BY TV

CHECKED CY

PROJECT NUMBER 1911

SHEET NUMBER

C4



PROP. AVE FINISHED GRADE = 1.0m
APPROX FILL VOLUME = 2,700 m³

GRADING NOTES

1. ALL ELEVATIONS AND DIMENSIONS ARE METRIC.
2. SITE PREPARATION, STRIPPING, EXCAVATION AND FILLING OPERATIONS TO BE REVIEWED BY A GEOTECHNICAL ENGINEER AND ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH GEOTECHNICAL RECOMMENDATIONS.
3. CUT AND FILL SLOPES TO BE REVIEWED AND APPROVED BY GEOTECHNICAL ENGINEER.
4. ALL SITE GRADES SHOWN ARE FINISHED GRADING ELEVATIONS AND ARE TO BE REVIEWED BY GEOTECHNICAL ENGINEER.
5. THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS AND BYLAWS OF ALL REGULATORY AUTHORITIES, FEDERAL AND PROVINCIAL GOVERNMENT DEPARTMENTS INCLUDING THE LAND DEVELOPMENT GUIDELINES FOR THE PROTECTION OF AQUATIC HABITAT AS PRODUCED BY THE DEPARTMENT OF FISHERIES AND OCEANS CANADA.
6. ALL ROOF DRAINS TO DRAIN TOWARD THE ROADS AND LANES, NO ROOFS ARE TO DRAIN ONTO THE BACK YARDS.

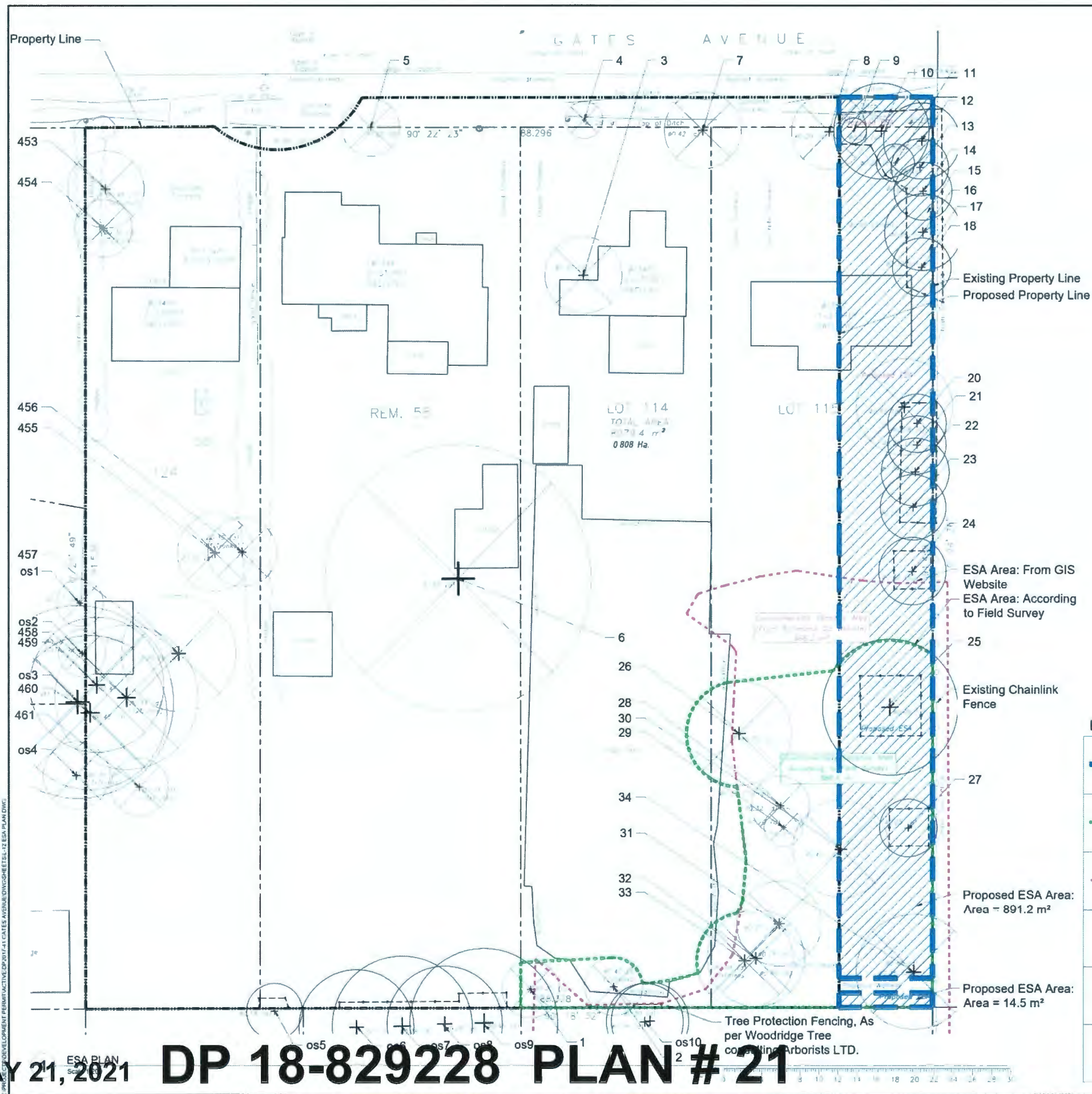
LEGEND	
PROP. BUILDING ELEVATION (BFE)	BFE 9.00
PROP. TOP OF CURB ELEV AT DRIVEWAY	5.70
PROP. TOP OF WALL ELEV	TOW=5.70
PROP. BOTTOM OF WALL ELEV	BOW=5.70
PROP. TOP OF CURB ELEV TO MATCH EXISTING GROUND ELEV	BOW=0.28 MATCH EX. (5.70)
PROP. PAVEMENT ELEVATION	x P 5.80
PROP. GUTTER ELEVATION	x G 5.80
PROP. ELEVATION AT GARAGE	x GAR 5.80
PROP. CATCH BASIN (CB)	

BENCHMARK:
ELEVATIONS SHOWN ARE BASED ON CITY OF RICHMOND HPM BENCHMARK NETWORK.
BENCHMARK: HPM #1005, CONTROL
MONUMENT 02H2453 ELEVATION = 1.783m
(BENCHMARK: HPM #193, CONTROL
MONUMENT 78H0518 ELEVATION = 1.653m)

GRAPHIC SCALE
0 4 8
SCALE: 1:200

MAY 21, 2021

DP 18-829228 PLAN # 20



12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sep 28, 2020
9	DV	ADP Response	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sep 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Rezoning	Feb 20, 2019
No.	By	Description	Date
REVISIONS TABLE FOR DRAWINGS			
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2	TM	TPZ Update	May 21, 2021
No.	By	Description	Date
REVISIONS TABLE FOR SHEET			
Project: Gates Avenue Townhouses			
Location: 23400, 23440, 23460, 23500 Gates Avenue, Richmond, B.C.			
DP #: DP18-829228			
Drawn:	Stamp:		
DV			
Checked:			
TM			
Approved:	Original Sheet Size: 24"x36"		
MVDZ			
Scale:	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDITIONS MUST BE PLACED FROM CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER/CONSTRUCTION.		
AS SHOWN			

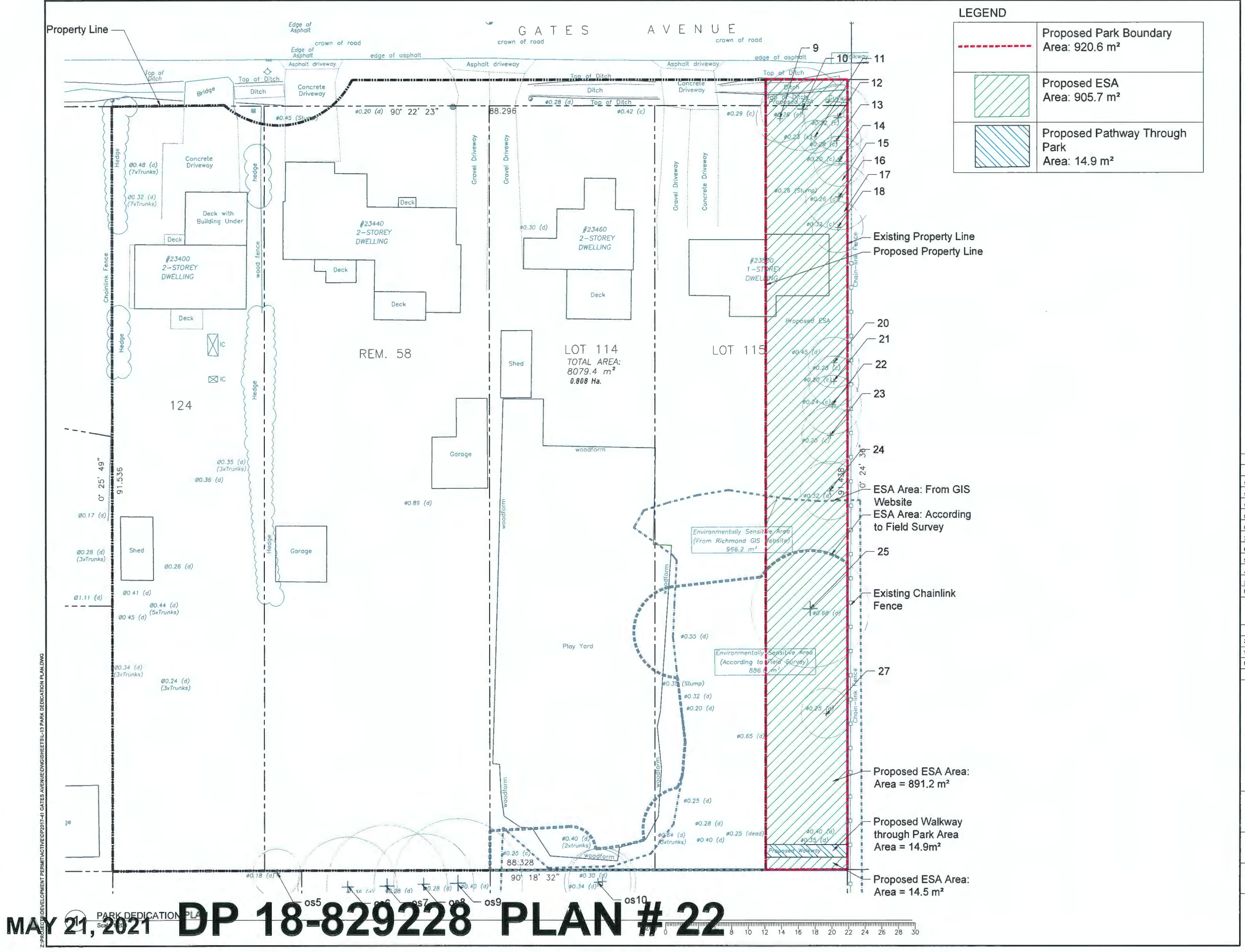
MAY 21, 2021 **ESA PLAN** **DP 18-829228** **PLAN # 21**

Drawing Title: **ESA PLAN**



VDZ Project #: **DP2017-41**

Drawing #: **L-12**



LEGEND	
	Proposed Park Boundary Area: 920.6 m²
	Proposed ESA Area: 905.7 m²
	Proposed Pathway Through Park Area: 14.9 m²

van der Zalm + associates inc.
Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture
Suite 1, 20177 57th Avenue
Langley, British Columbia
V1M 4B9
P: 604.882.0024
F: 604.882.0042
info@vazdm.com



No.	By:	Description	Date
12	DV	Re-Issue for DP	May 11, 2021
11	DV	Re-Issue for DP	Mar. 24, 2021
10	DV	Re-Issue for DP	Sept. 28, 2020
9	DV	ADP Response	Jan. 30, 2020
8	DV	Issue for BP	Dec. 18, 2019
7	DV	Issue for ADP	Nov. 1, 2019
6	DV	Re-Issue for DP	Oct. 17, 2019
5	TM	Issued for Development Permit	Sept. 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb. 20, 2019

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
2	DV	Park Dedication Calculation	May 16, 2021
1	DV	ESAPark Area Identification	May 17, 2021

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

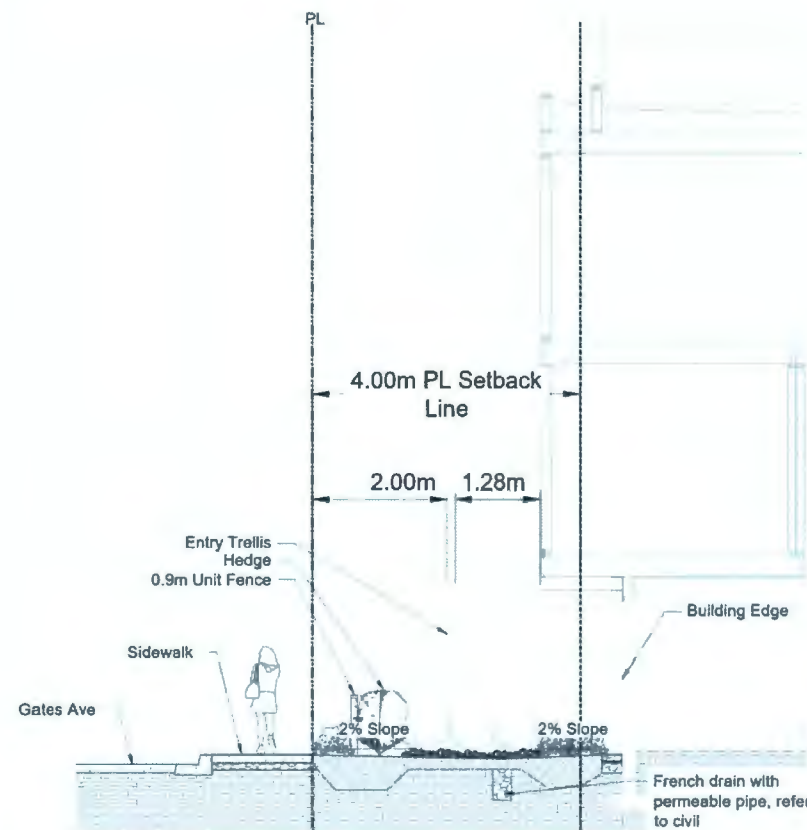
Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

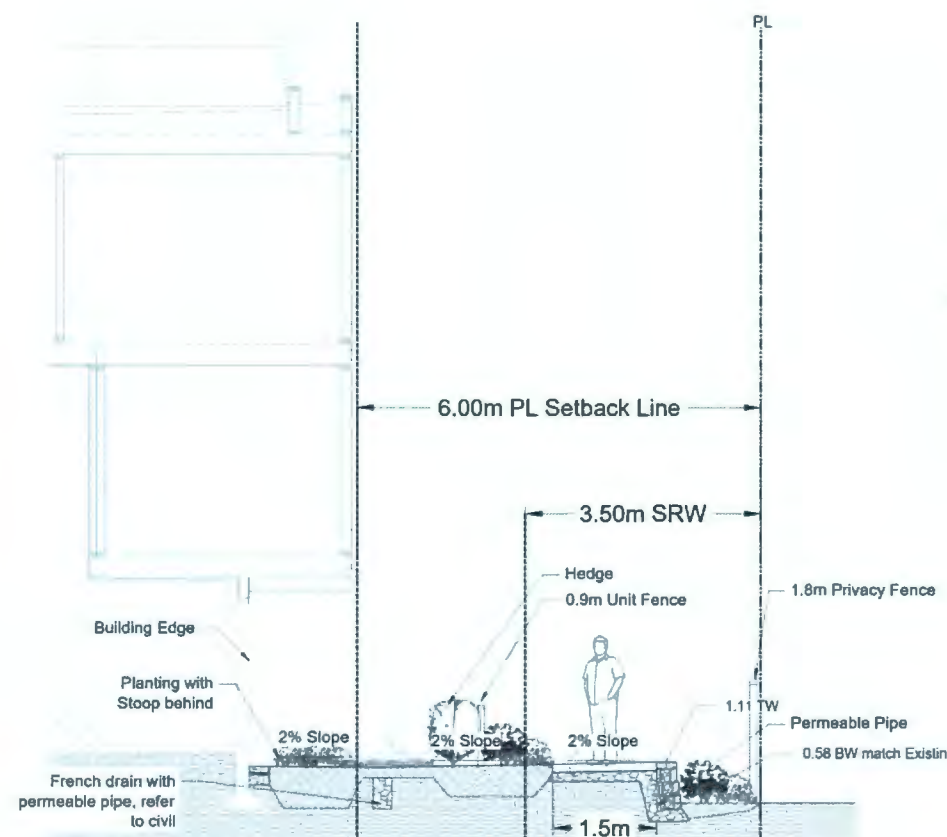
Drawn: DV	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/DP/PPA/PHA/RP DRAWINGS MUST NOT BE USED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

MAY 21, 2021 **DP 18-829228 PLAN # 22**

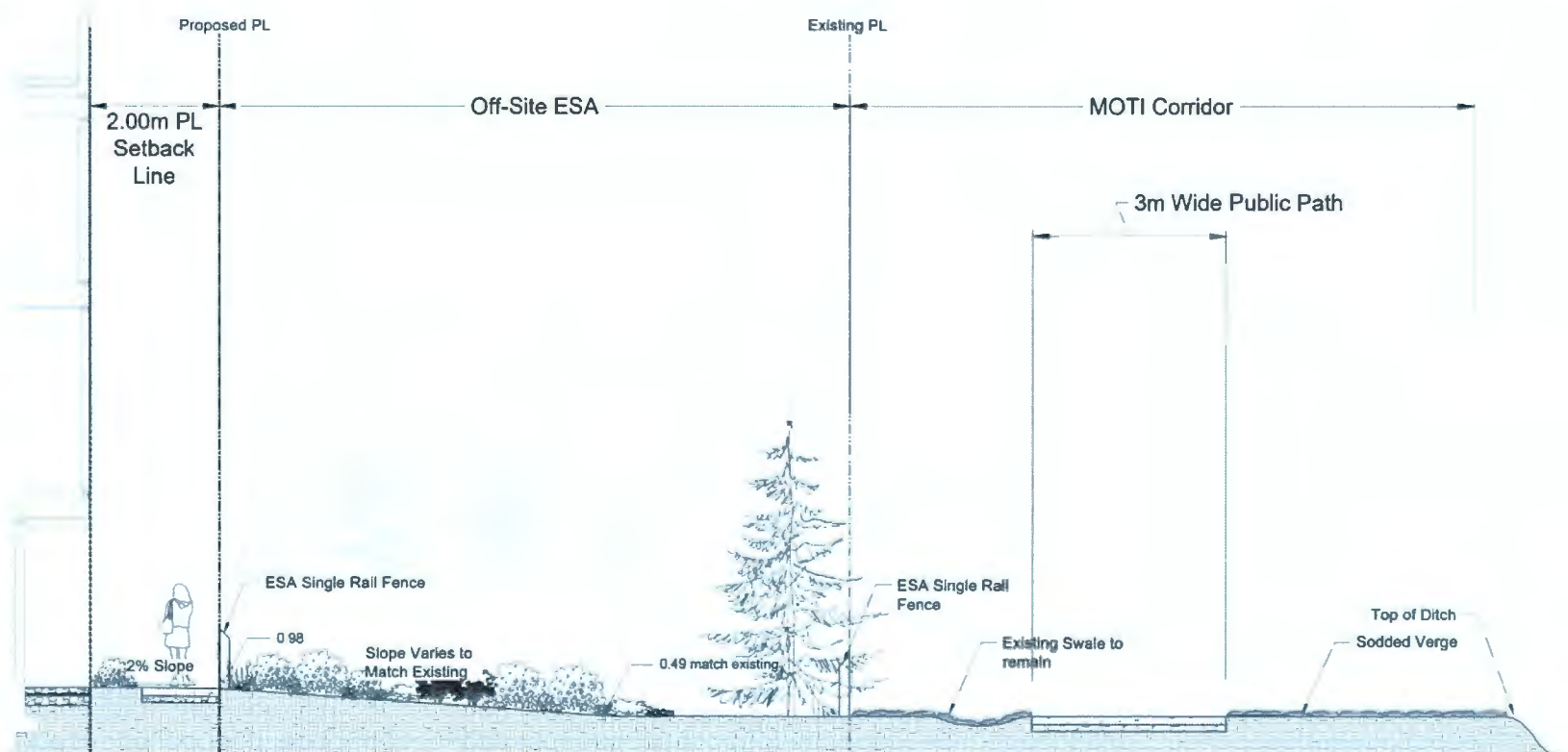
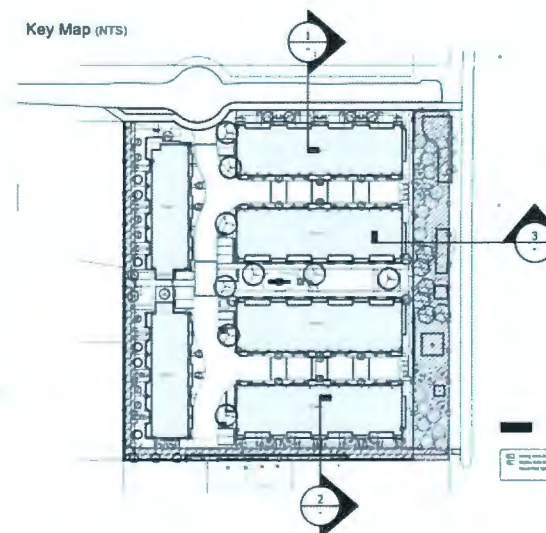
Drawing Title: **PARK DEDICATION PLAN**
Drawing #: **DP2017-41**
Drawing #: **L-13**



1 SECTION 1 - GATES AVENUE INTERFACE
 Scale 1:50



2 SECTION 2 - SOUTH YARD AND WALKWAY
 Scale 1:50



3 SECTION 3 - SOUTH YARD AND MOTI INTERFA
 Scale 1:50

12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sep 28, 2020
9	DV	ADP Responses	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sep 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb 20, 2019
No	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
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1	TM	MOTI Update	May 27, 2019
No	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
 Gates Avenue Townhouses
 Location:
 23400, 23440, 23460, 23500
 Gates Avenue, Richmond, B.C.
 DP #:
 DP18-829228

Drawn: DV	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL RECORDS/DP/PPA/PPA/RP DRAWINGS MUST NOT BE REPRODUCED OR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

MAY 21, 2021

DP 18-829228 PLAN # 23

Drawing Title:
 SECTIONS

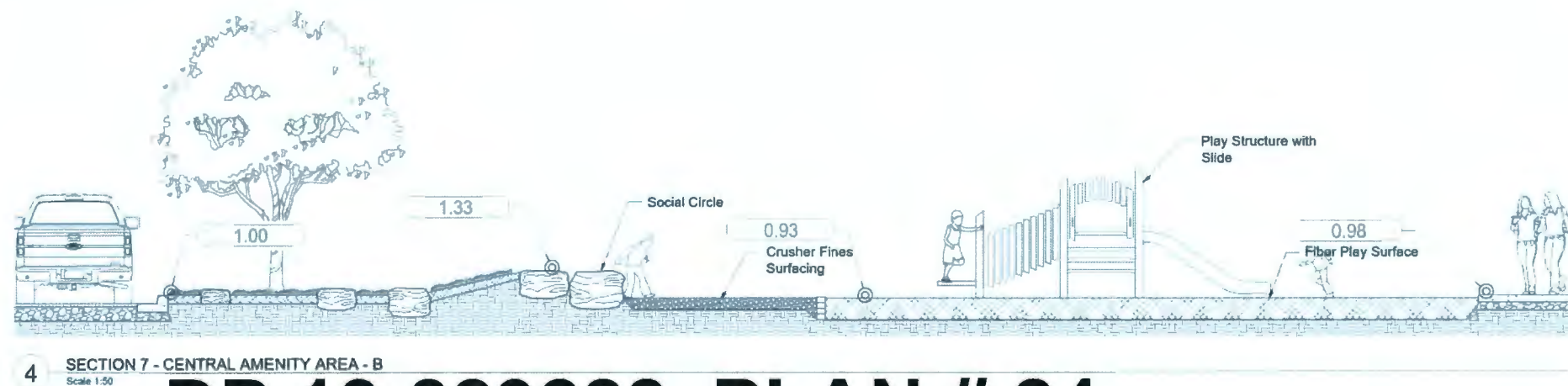
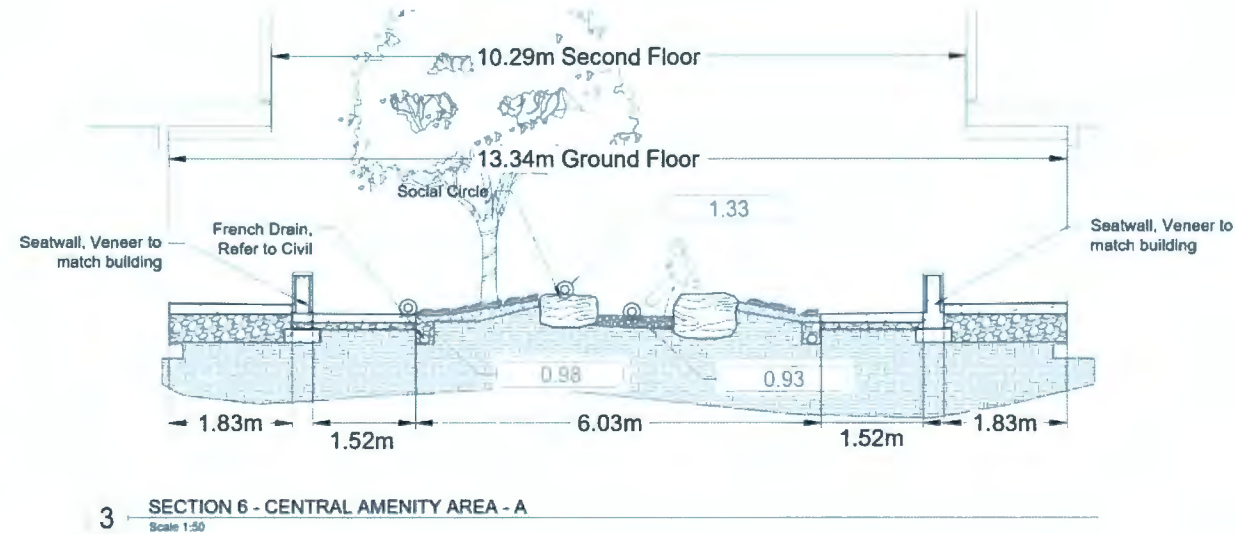
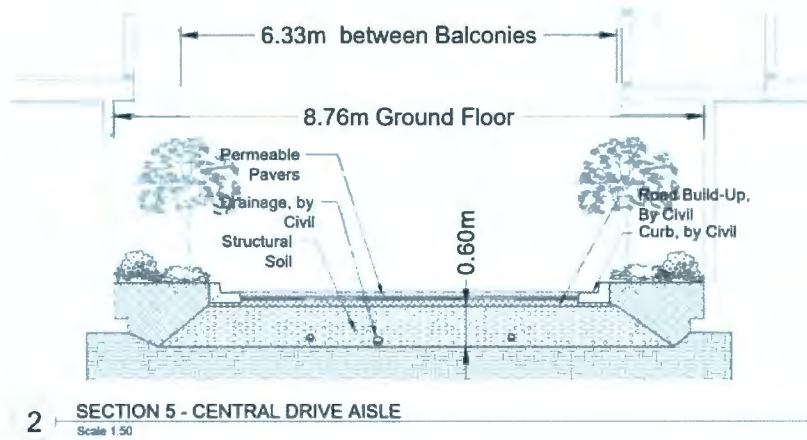
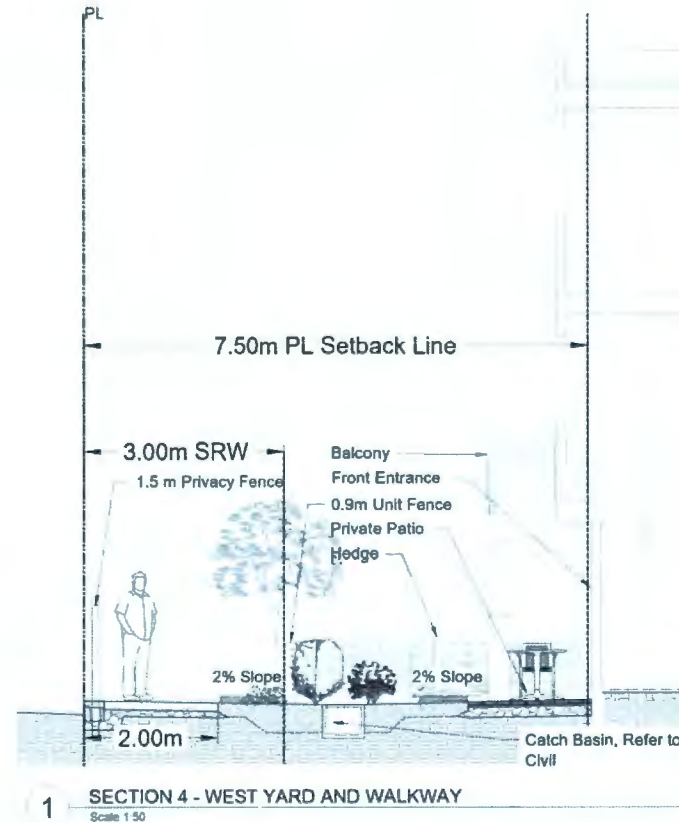
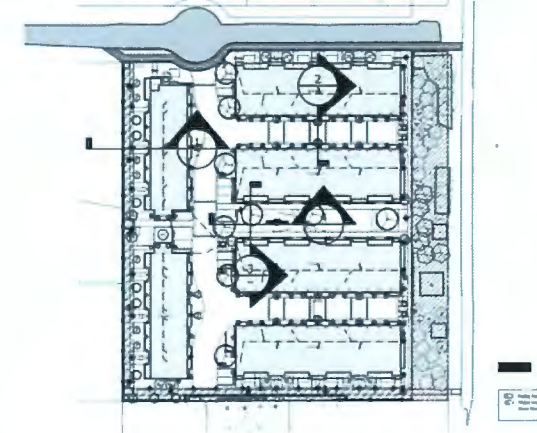


VDZ Project #:
 DP2017-41

Drawing #:
 LS-01



Key Map (NTS)



No.	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar. 24, 2021
10	DV	Re-issue for DP	Sep. 28, 2020
9	DV	ADP Response	Jan. 30, 2020
8	DV	Issue for BP	Dec. 16, 2019
7	DV	Issue for ADP	Nov. 1, 2019
6	DV	Re-issue for DP	Oct. 17, 2019
5	TM	Issued for Development Permit	Sept. 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb. 20, 2019

REVISIONS TABLE FOR DRAWINGS

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No.	By	Description	Date
1	TM	Privacy Fence Update	May 26, 2021

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses
 Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.
 DP #:
DP18-829228

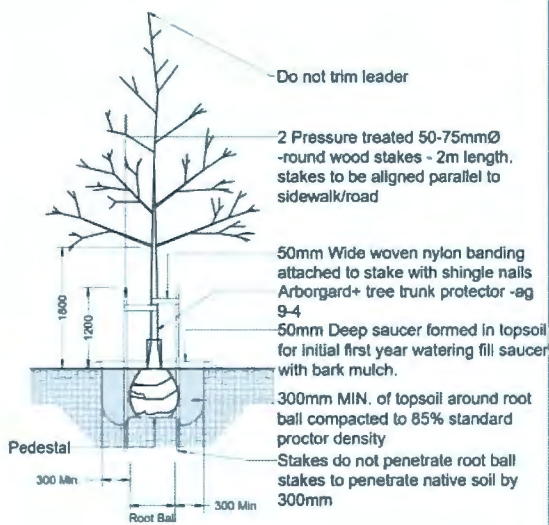
Drawn: DV	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDITIONS MUST NOT BE MADE FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

MAY 21, 2021 **DP 18-829228 PLAN # 24**

Drawing Title:
SECTIONS

VOZ Project #:
DP2017-41

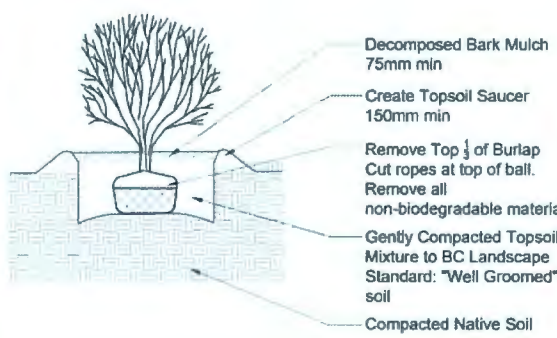
Drawing #:
LS-02



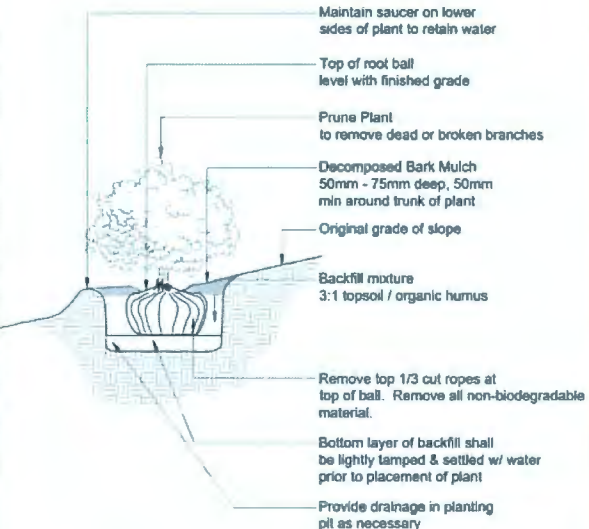
- Do not trim leader
- 2 Pressure treated 50-75mmØ round wood stakes - 2m length, stakes to be aligned parallel to sidewalk/road
- 50mm Wide woven nylon banding attached to stake with shingle nails Arbogard+ tree trunk protector - øg 9-4
- 50mm Deep saucer formed in topsoil for initial first year watering fill saucer with bark mulch.
- 300mm MIN. of topsoil around root ball compacted to 85% standard proctor density
- Stakes do not penetrate root ball stakes to penetrate native soil by 300mm

NOTES
1) Sacking/burlap to be loosened and dropped to the bottom of the planting hole. all string, twine, etc. to be removed.
2) All wire baskets shall have the top 1/3 of the wire removed prior to planting.
3) All trees shall be single stem

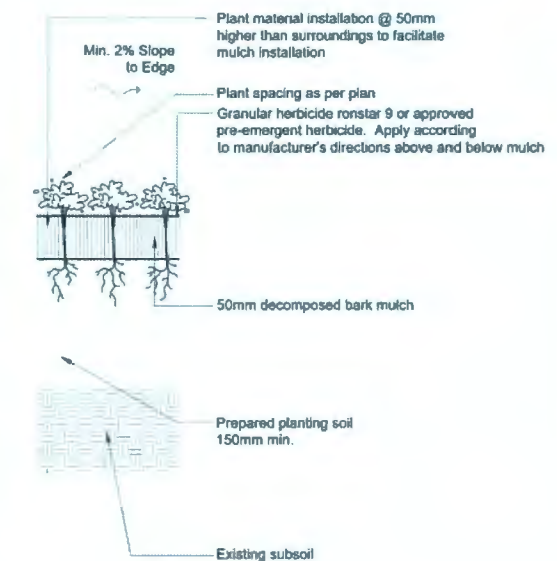
1 DECIDUOUS TREE PLANTING
Scale 1:50



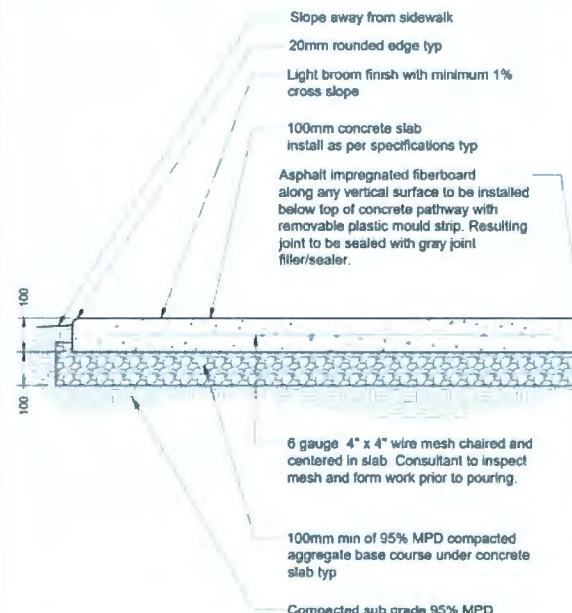
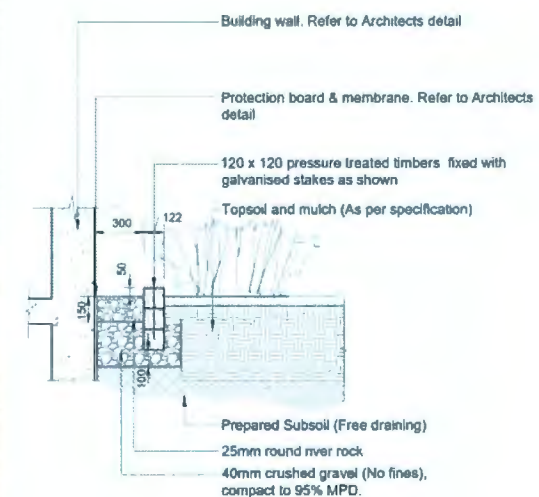
2 SHRUB PLANTING
Scale 1:25



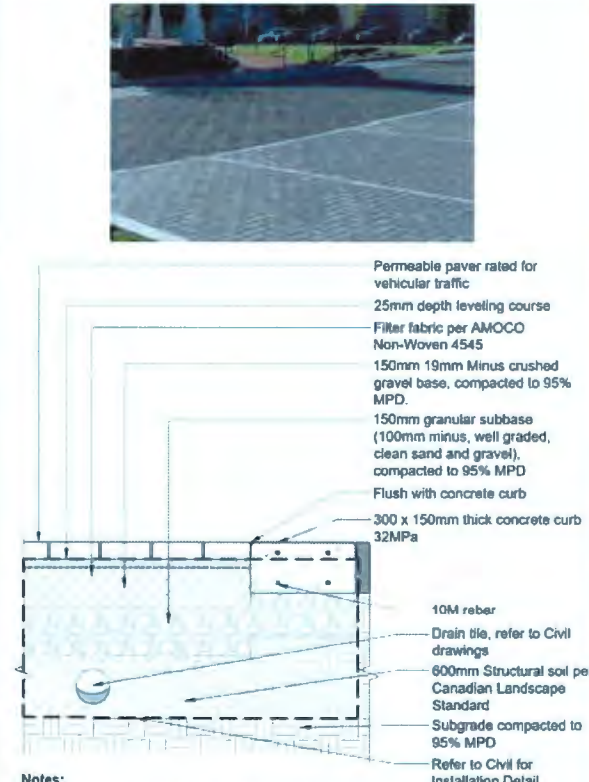
3 SHRUB PLANTING ON A SLOPE
Scale 1:25



4 GROUNDCOVER PLANTING
Scale 1:10



Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures
2. Horizontal scoreline 1500mm o.c. center scoreline on 150mm smooth finish or to match existing concrete pathway



Notes:
1. Install all components as per manufacturer's specifications.
2. Unilock - Uni-Priora. Colour: Granite
3. Herringbone pattern
Concrete curb control joint every 3m.

5 CONCRETE PAVERS (VEHICULAR)
Scale 1:10



SECTION

Notes:
1. Install all components as per manufacturer's specifications.
2. Running bond pattern with soldier course
3. Unilock - Artline Paver - Granite
Unilock - Hollandstone - Charcoal soldier course

6 CONCRETE PAVERS (PEDESTRIAN)
Scale 1:10

No	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
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7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2018
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Rezoning	Feb 20, 2019
2	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
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No	By	Description	Date
1	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

Drawn:
DV

Checked:
TM

Approved:
MVDZ

Scale:
AS SHOWN

Original Sheet Size:
24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND SHALL BE SUPPLIED AT THE CONSULTANT'S OFFICE. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER CONSTRUCTION.

MAY 21, 2021

DP 18-829228 PLAN # 25

Drawing Title: DETAILS
VDZ Project #: DP2017-41
Drawing #: LD-01



Supplier: Wishbone
Product: Modena Bollard - MB-37
Height: 37"
Colour: Black
Supplier: Wishbone Site Furnishings
Katie Palmer
sales@wishboneltd.com
1-866-626-0476

1 BOLLARD
NTS



Manufacturer: Maglin Site Furniture
Product: MLB720 SERIES BENCH
Finish: Ipe Wood
Mount: Surface
Supplier: Maglin Site Furniture
Jennifer Fancie
jennifer.fancie@maglin.com
1-800-716-5506 x 6050

2 PARKING STALL PAVERS
NTS



Manufacturer: Maglin Site Furniture
Product: FRC1700-A ARMED CHAIR and FRT1700-SQ SQUARE TABLE 36"
Metal Pattern 2
Colour: Gunmetal
Mount: Free Standing
Supplier: Maglin Site Furniture
Jennifer Fancie
jennifer.fancie@maglin.com
1-800-716-5506 x 6050

3 TABLES AND CHAIRS
NTS



Manufacturer: GameTime
Product: Make It Rain Sensory Panel #19455
Colour: Green
Mount: Direct Burial
Supplier: Park N Play Design
Info@parknplaydesign.com
1-866-552-8188

4 PLAY BOARD
NTS



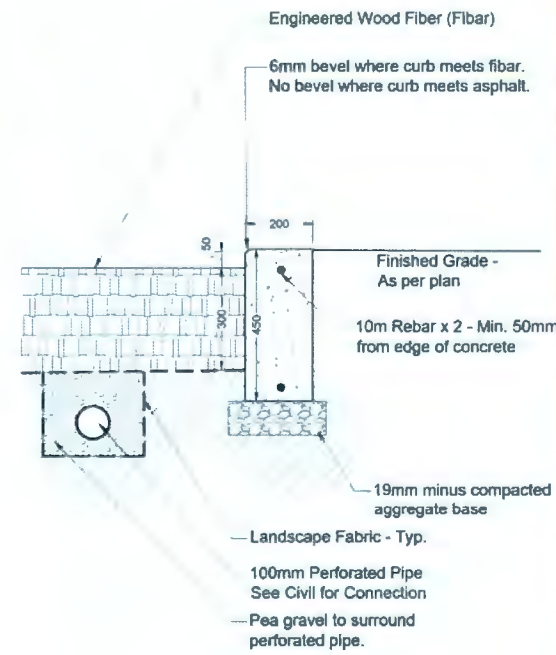
Manufacturer: Kompan
Product: Chalk Board Large
Mount: Direct Burial
Supplier: Rectec Industries
Kathleen Triles
kathleen@rectecindustries.com
1-800-667-8141

5 CHALK BOARD
NTS



Manufacturer: GameTime
Product: Talking Stump - 38113
Mount: Direct Burial
Supplier: Park N Play Design
Info@parknplaydesign.com
1-866-552-8188

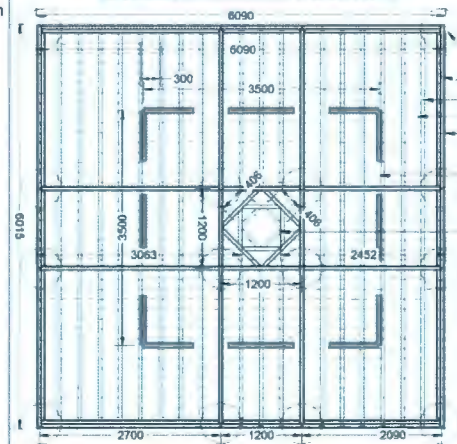
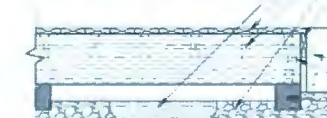
6 TALKING STUMP
NTS



7 TALKING STUMP
NTS



Product: 2" Square Edge Board
Manufacturer: Trax Decking
Colour: Foggy Wharf
Or approved Composite Walkway
by Shuttle Recreation



Concrete Footing
2x12 PT Joists (x2)
2x6 PT Wood
Trex 2" Decking
Plastic Trex Fascia
Extents of soil
below deck for tree
800mm depth
2x6 PT Wood, to
be removed as tree
grows and requires
more space

8 WOOD DECK WITH SHADE TREE
NTS

No	By	Description	Date
12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
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7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Raising	Feb 20, 2019
2	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
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No	By	Description	Date
----	----	-------------	------

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses
Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.
DP #:
DP18-829228

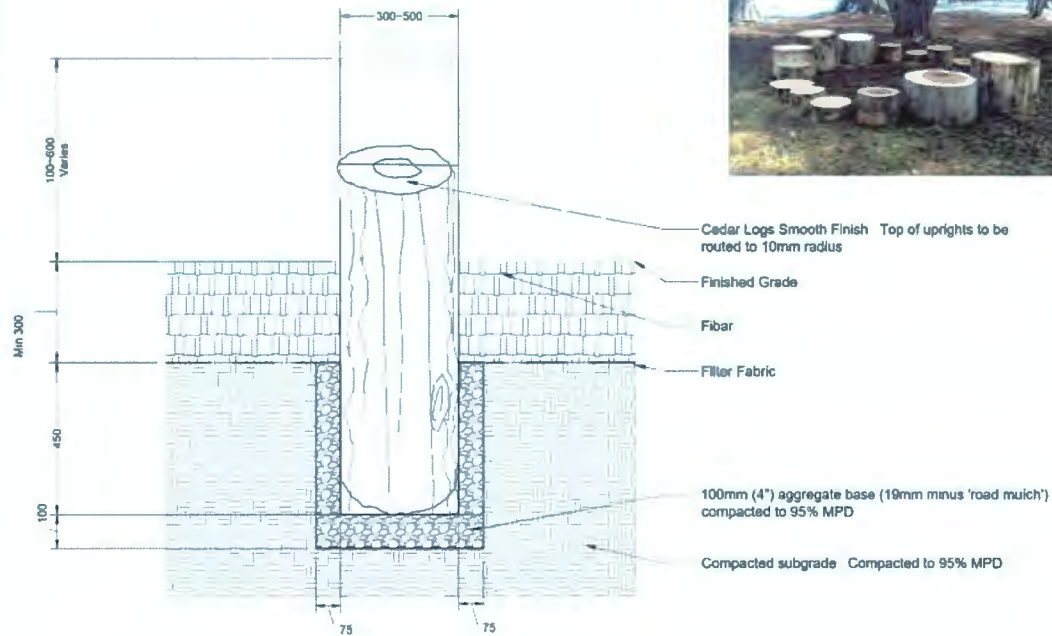
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DV

Checked: TM

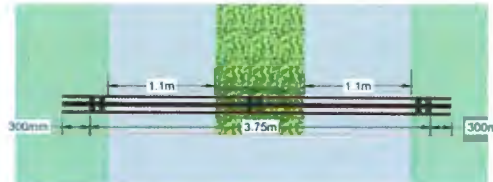
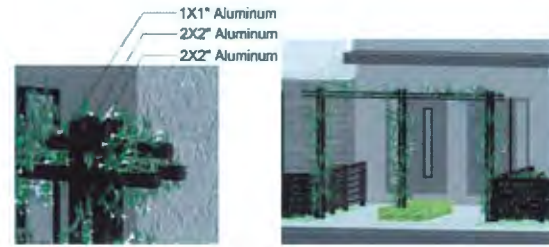
Approved: MVDZ Original Sheet Size: 24"x36"

Scale: AS SHOWN
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCIES TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE OBTAINED AT THE CONSULTANT'S OFFICE. THE WORK, ALL REVISIONS, AND/OR APPROVALS MUST NOT BE PROCEED FOR CONSTRUCTION UNLESS UNLESS SERVED FOR TENDER/CONSTRUCTION.

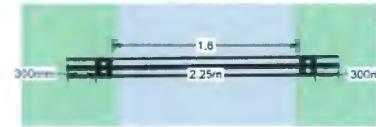
- Notes:
1. Logs to be stained with Sikken's Cetol SRD - Colour 077-Cedar or approved equal. End sealer to be used on all areas below grade. Apply as per manufacturers specifications.
 2. Size of log uprights as per plan.
 3. All branches and trunk splits to be cut flush, routed and sealed. Bark to remain intact.



1 SITTING CIRCLE
1:10



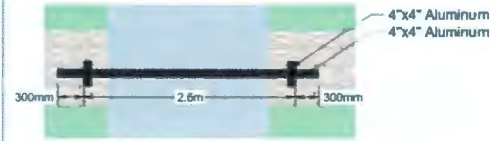
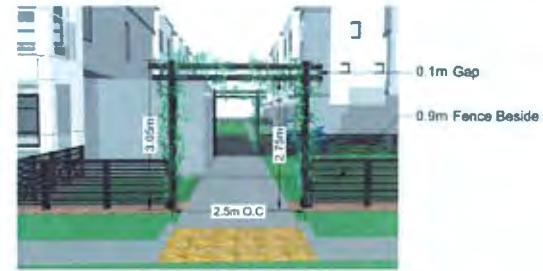
Double-wide Residential



Single-wide Residential

NOTE:
Colour: Powder Coated Black
Contractor to provide shop drawings for review and approval prior to fabrication

2 RESIDENTIAL ENTRY TRELLIS
NTS



Amenity Trellis 'A'



Building Beside



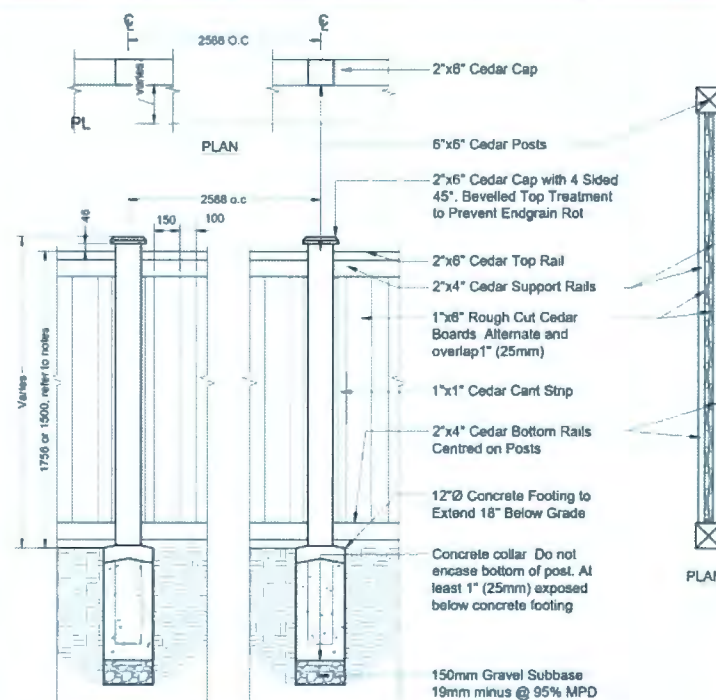
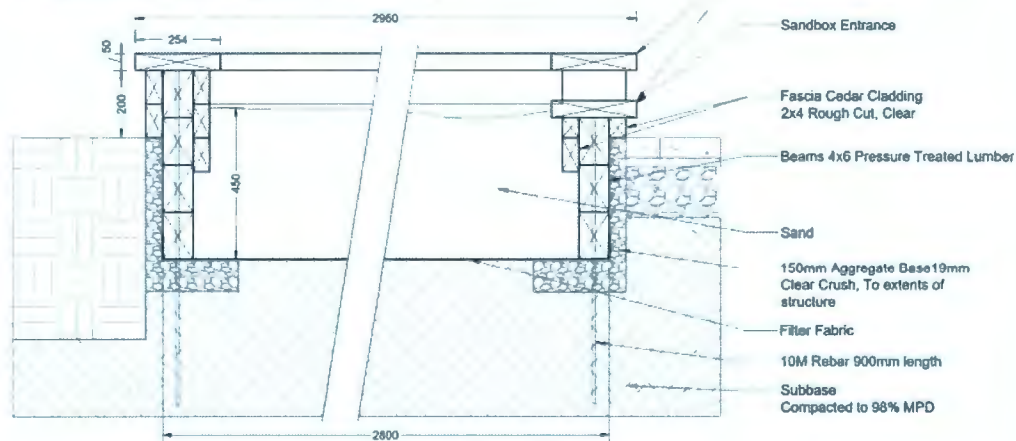
Amenity Trellis 'B'

NOTE:
Colour: Powder Coated Black
Contractor to provide shop drawings for review and approval prior to fabrication

3 AMENITY AREA TRELLIS
NTS



- Notes:
1. All exposed decking and fascia to be sanded smooth.
 2. Apply Sikken's Cetol SRD to all Cedar elements. Colour: Oak.
 3. All members to be fastened with hot dipped galvanized hardware.



- Note:
1. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.
 2. Apply Sikken's Cetol SRD to all Cedar elements. Colour: Natural
 3. 1.75m Height Fence when located at grade. 1.5m Height Fence when located on top of retaining wall



Manufacturer: CAMPANIA INTERNATIONAL
Product name: Park Slope Urn
Product code: P-787
Material: Cast Stone
Colour: Alpine Stone (AS)

6 CONCRETE PLANTER
NTS



12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sep 28, 2020
9	DV	ADP Response	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
6	DV	Re-issue for DP	Oct 17, 2019
5	TM	Issued for Development Permit	Sept 5, 2019
4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb 20, 2019
No	By	Description	Date

REVISIONS TABLE FOR DRAWINGS
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1	TM	Privacy Fence Update	May 26, 2021
No	By	Description	Date

REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses
Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

Drawn:
DV

Checked:
TM

Approved:
MVDZ

Scale:
AS SHOWN

Stamp:

Original Sheet Size:
24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE CONSULTANT AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL RECORDS/APPRAISAL/DRAWINGS MUST NOT BE REPRODUCED OR CONSTRUCTED UNLESS LABELLED ISSUED FOR THE CONSTRUCTION.

MAY 21, 2021 DP 18-829228 PLAN # 27

Drawing Title:
DETAILS

VDZ Project #:
DP2017-41

Drawing #:
LD-03



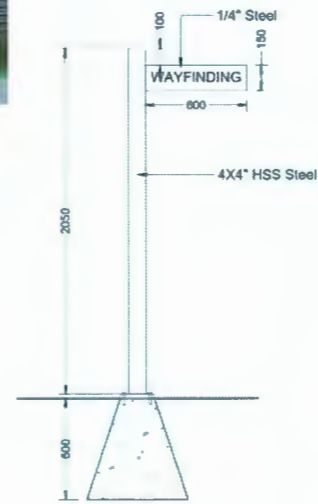
FRONT VIEW



TOP VIEW

NOTE:
Colour: Powder Coated Black
Contractor to provide shop drawings for review and approval prior to fabrication

1 ENTRY SIGNAGE
NTS



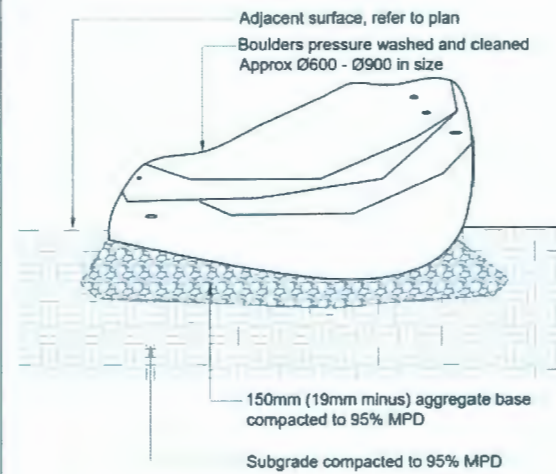
NOTE:
Colour: Silver
Font: TBD
Contractor to provide shop drawings for review and approval prior to fabrication

2 PATHWAY WAYFINDING
NTS

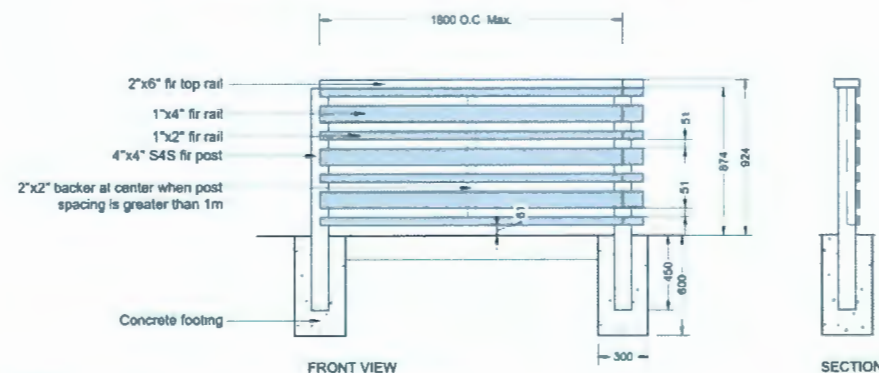
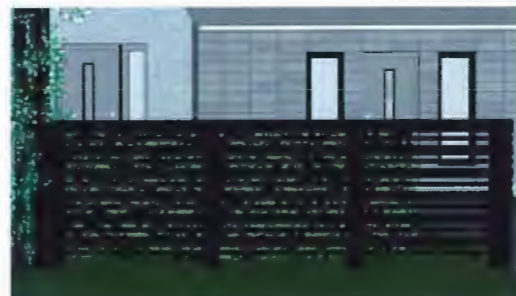


Manufacturer: Maglin Site Furniture
Product: MBR-2300-00001 Bike Rack
Colour: Gun Metal
Mount: Surface
Supplier: Maglin Site Furniture
Jennifer Fancy
jennifer.fancy@maglin.com
1-800-716-5506 x 6050

3 BIKE RACK
NTS



4 STEPPING BOULDERS
NTS



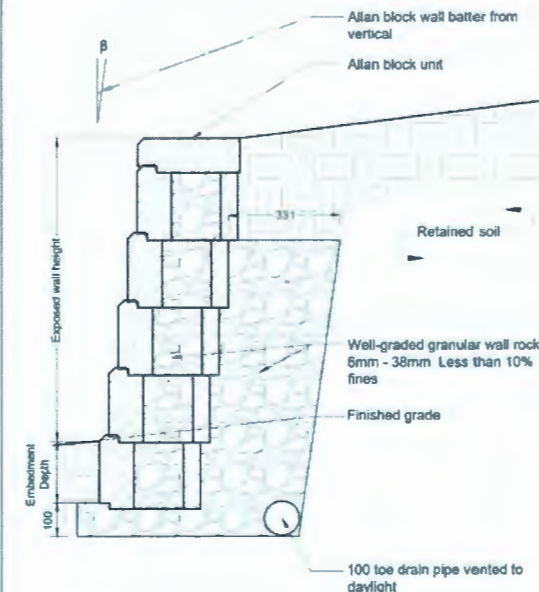
NOTES:
1. All hardware to be hot dipped galvanized and painted to match fence.
2. All wood to be S4S fir or better.
3. All wood to be sealed and painted charcoal (2 coats).



Manufacturer: Kompan
Product: NRO897507 - Robinia Structure with Steel Slide
Mount: Direct Burial
Supplier: Rectec Industries
Danielle Clarkson
danielle@rectecindustries.com
1-800-867-8141
alternate:
jeff.kuby@rectecindustries.com
604-940-0067

6 ROBINIA STRUCTURE

BLOCK WALL
Type: Allan Block - Or Approved Equal
Wall Colour: Charcoal
Cap Colour: Charcoal



7 BLOCK RETAINING WALL
Scale 1/10

van der Zalm + associates inc.
Parks & Recreation • Civil Engineering
Urban Design • Landscape Architecture
Suite 1 20177 87th Avenue
Langley, British Columbia
V1B 4B8
P 604 882 0024
F 604 882 0042
info@vazalm.com



No	By	Description	Date
12	DV	Re-issue for DP	May 11 2021
11	DV	Re-issue for DP	Mar 24 2021
10	DV	Re-issue for DP	Sept 28 2020
9	DV	ADP Responses	Jan 30 2020
8	DV	Issue for SP	Dec 18 2019
7	DV	Issue for ADP	Nov 1 2019
6	DV	Re-issue for DP	Oct 17 2019
5	TM	Issued for Development Permit	Sept 5 2019
4	TM	Issued for Development Permit	July 25 2019
3	TM	Issued for Rezoning	Feb 20 2019
2	By	Description	Date

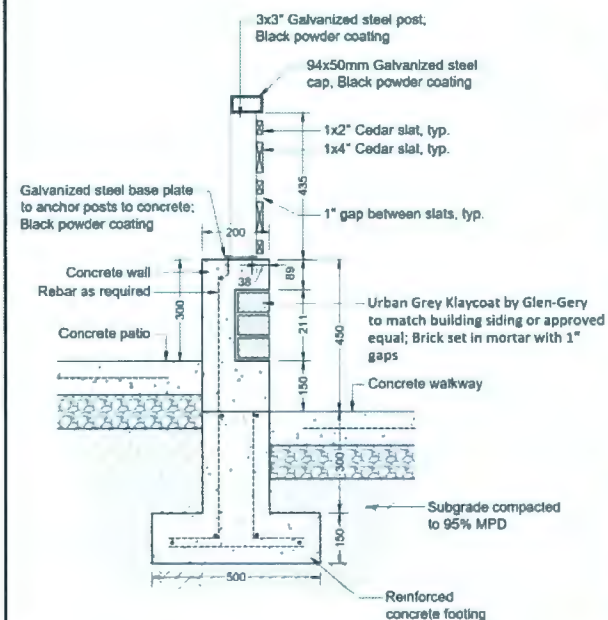
REVISIONS TABLE FOR DRAWINGS
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No	By	Description	Date
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REVISIONS TABLE FOR SHEET

Project:
Gates Avenue Townhouses
Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.
DP #:
DP18-829228

Drawn: DV	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE OBTAINED AT THE CONVICTION OF THE WORK. ALL DIMENSIONS/SPACING/PAINTS/DRAWINGS MUST NOT BE PROCEED CONSTRUCTION UNLESS LABELLED ISSUED FOR TENDER/CONSTRUCTION.



Notes:
1. Contractor to provide shop drawings of railings for review and approval prior
to manufacturing.

1 PATIO WALL AND RAILING Scale 1"=10'



FACING PATIO



PATIO SIDE VIEW (FROM RIGHT)

Concrete wall; See detail
Brick siding; See detail
Steel & wood railing; See detail



PATIO SIDE VIEW (FROM LEFT)

12	DV	Re-issue for DP	May 11, 2021
11	DV	Re-issue for DP	Mar 24, 2021
10	DV	Re-issue for DP	Sept 28, 2020
9	DV	ADP Response	Jan 30, 2020
8	DV	Issue for BP	Dec 18, 2019
7	DV	Issue for ADP	Nov 1, 2019
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4	TM	Issued for Development Permit	July 25, 2019
3	TM	Issued for Reasoning	Feb 20, 2019
No	By	Description	Date

REVISIONS TABLE FOR DRAWINGS

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No	By	Description	Date
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Gates Avenue Townhouses

Location:
23400, 23440, 23460, 23500
Gates Avenue, Richmond, B.C.

DP #:
DP18-829228

Drawn: DV	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DIMENSIONS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MAY BE REVISED AT THE CONSULTANT'S DISCRETION. ALL DIMENSIONS SHALL BE GIVEN IN FEET AND INCHES. DIMENSIONS SHOWN IN PARENTHESES ARE FOR REFERENCE ONLY.

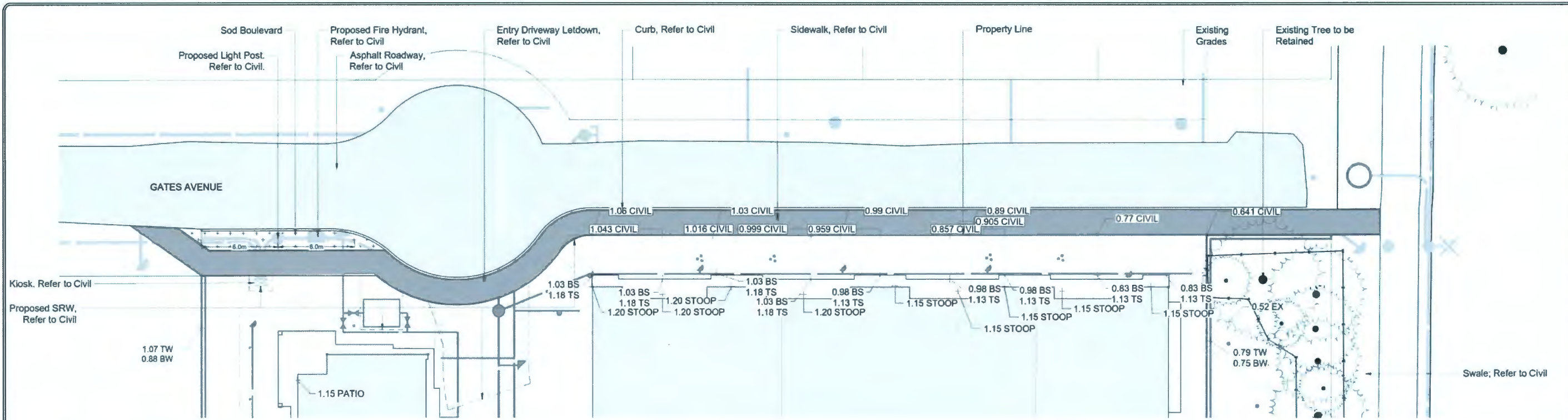
MAY 21, 2021

DP 18-829228 PLAN # 29

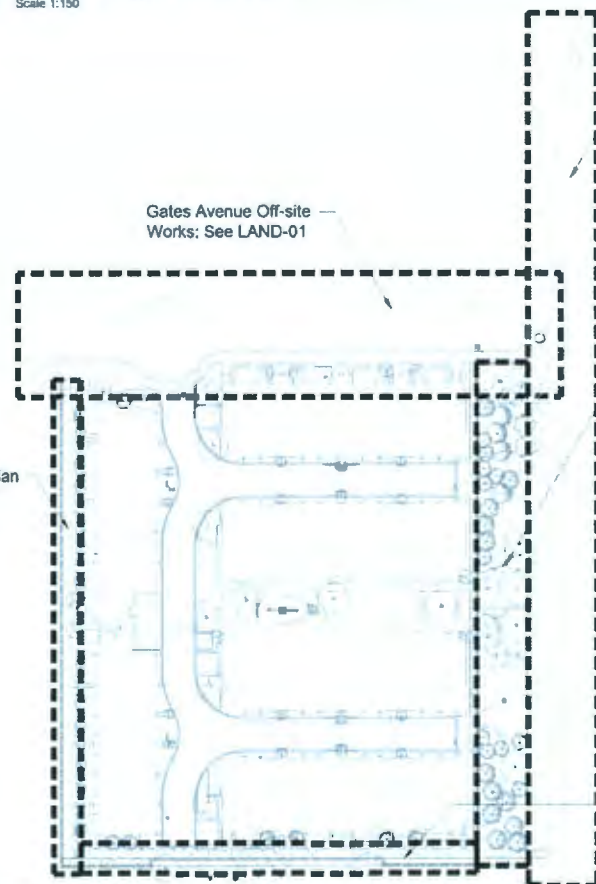
Drawing Title:
DETAILS

VDZ Project #:
DP2017-41

Drawing #:
LD-05



1 OFF-SITE SERVING PLAN
Scale 1:150



2 KEY PLAN
Scale 1:650

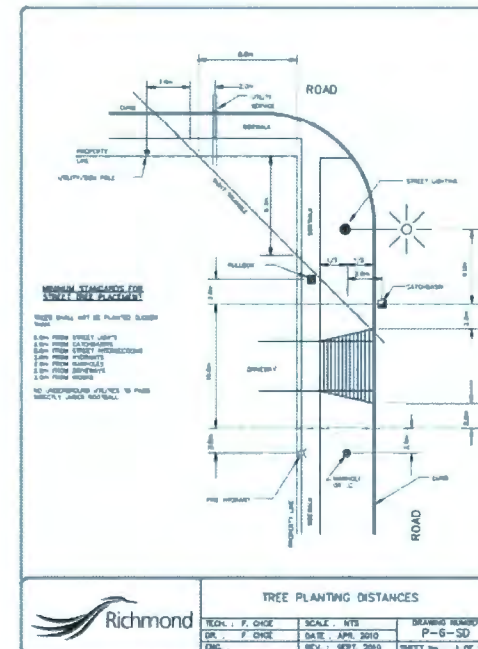
MOTI Corridor
Public Walkway;
See LAND-03

OFF-SITE PLANT SCHEDULE

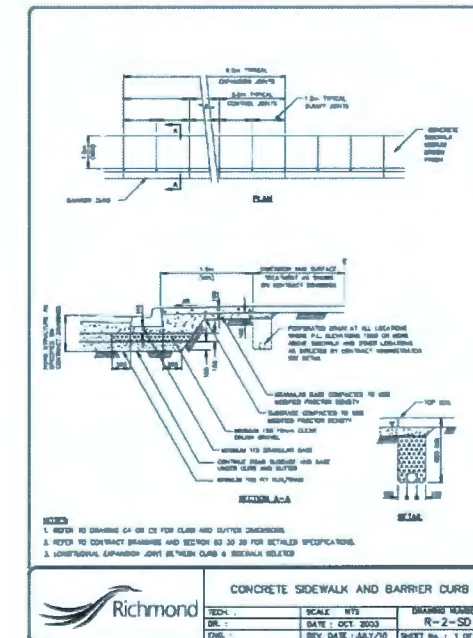
SYMBOL/BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING
GRASSES				
Grass	Grass	20	5m2	

Off-Site Planting & Irrigation Notes:

- Plants in this plant list are specified according to the Canadian nursery landscape association Canadian standards for nursery stock and section 12, container grown plants of the BC landscape standard, current edition.
- All plant material shall meet or exceed standards required by BCINA or BCILA guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the topsoil will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend topsoil per soil analysis recommendations prior to spreading on site. Rejected topsoil shall be removed off site immediately at the landscape contractor's expense.
- Minimum topsoil depths for planting as follows:
 - Shrubs, Perennials, Orn. Grasses & Ferns: 450mm
 - Sod: 200mm
 - Tree pits: 800mm with 300mm (below root ball)
- 1" minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.
- For topsoil and finish grading specifications refer to City of Richmond specification section 32.91.21 - Topsoil and Finish Grading.
- Irrigation to meet IABC standards.
- Provide sleeve under hardscape for irrigation.



3 TREE PLANTING DISTANCES
Scale NTS



4 CONCRETE SIDEWALK AND BARRIER CURB
Scale NTS

MAY 21, 2021

DP 18-829228

PLAN #30

QRD
5489 Byrne Rd,
Burnaby, BC
V5J 3J1

van der Zande + associates inc.
PROJECT NO: 18-829228
DRAWING NO: 18-829228-01
DWG: 1 OF 4

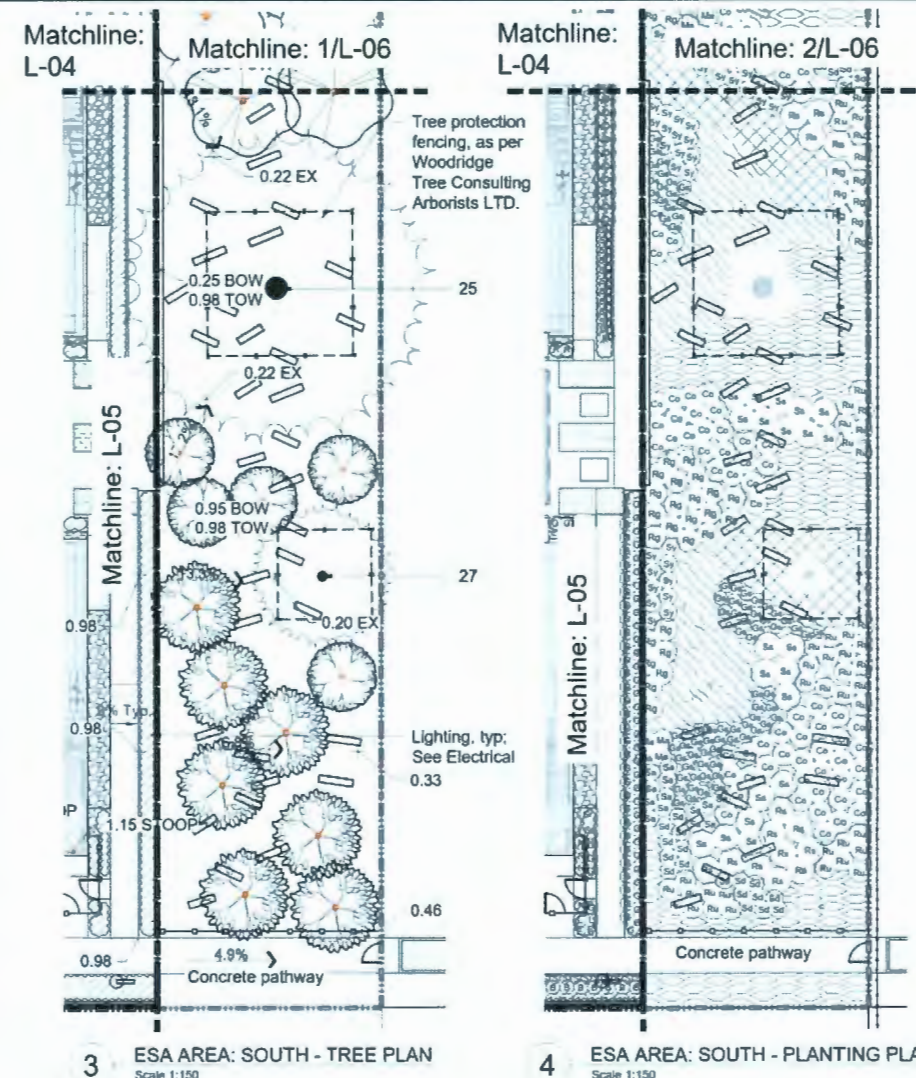
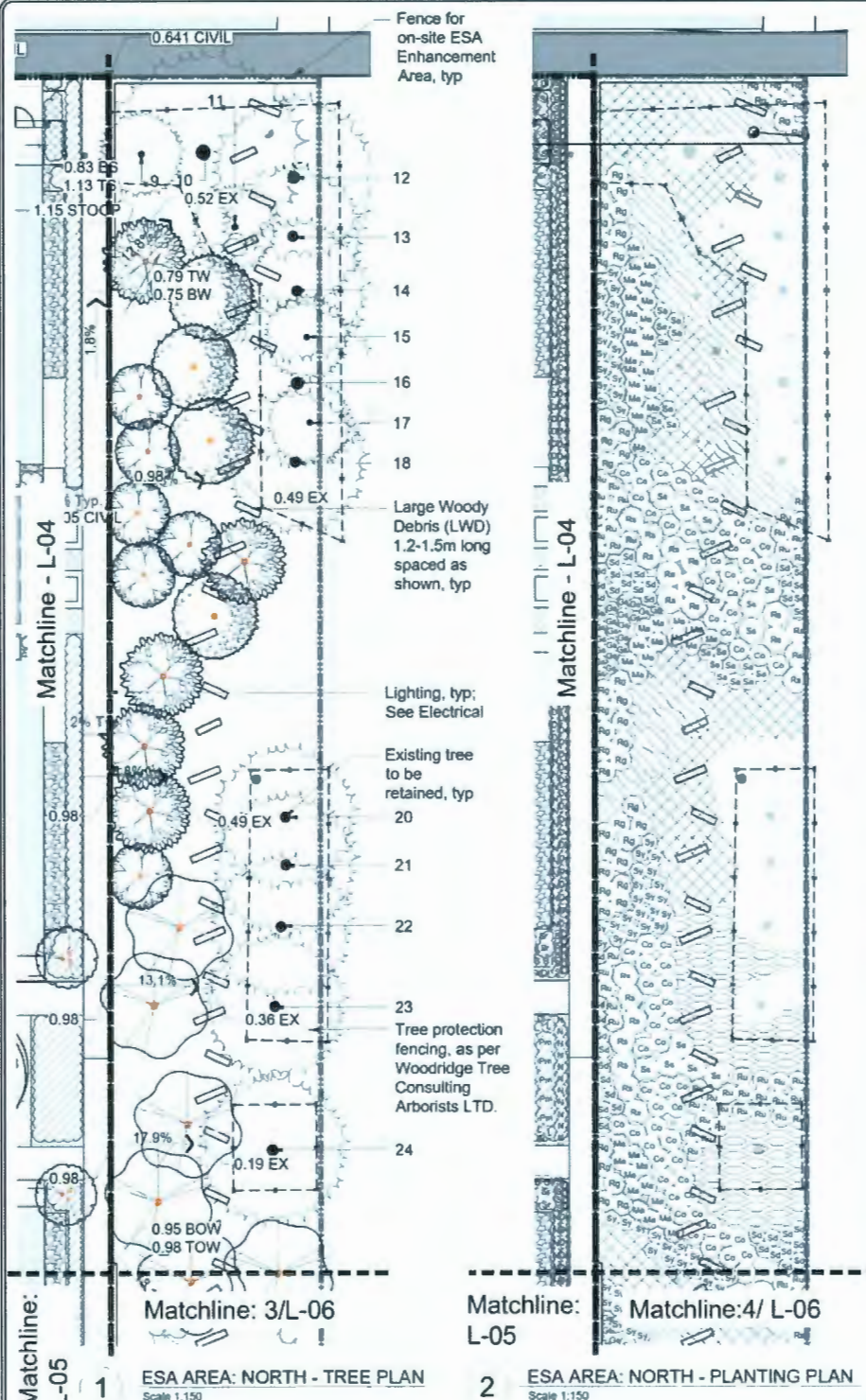
CITY OF RICHMOND

TITLE: LANDSCAPE
GATES AVENUE
FROM #23400 TO #23500

CITY FILE: SA19-880363

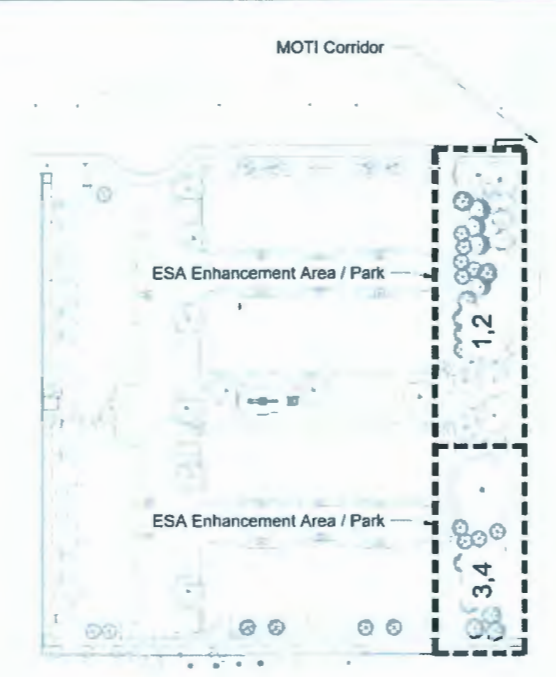
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DRAWN: JN
CHECKED: JN
ENGINEER: JN

DWG. NO: 880363-19-10
SCALE: 1:150
DATE: 05/11/21
SEC. NO: 30-5-4
SHEET NO: 1 OF 4



OFF-SITE ESA TREE SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	QTY
	Betula papyrifera / Paper Birch	6cm	6
	Malus fusca / Oregon Crab Apple	6cm	11
	Pseudotsuga menziesii / Douglas Fir	4m Height	4
	Thuja plicata / Western Red Cedar	4m Height	12
	ESA Tree Total		33

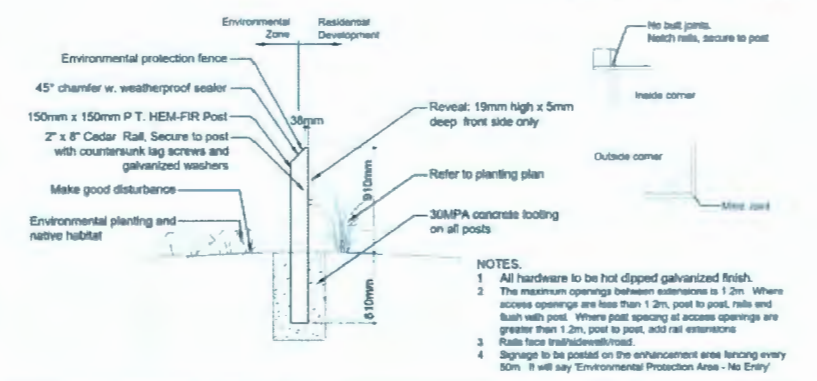
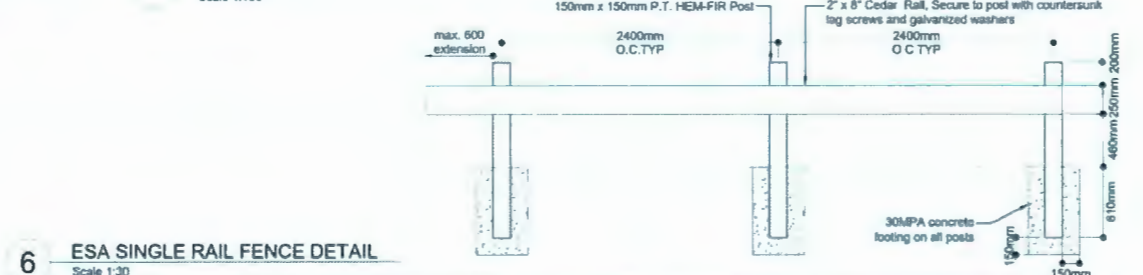


5 KEYMAP

PLANT SCHEDULE OFFSITE ESA

OFF-SITE PLANT SCHEDULE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Co	Cornus stolonifera / Red Osier Dogwood	#2	1m	133
Gs	Gaultheria shallon / Salal	#2	0.60m	100
Ma	Mahonia aquifolium / Oregon Grape	#2	0.90m	51
Rs	Ribes sanguineum / Red Flowering Currant	#2	1.20m	36
Rg	Rosa gymnocarpa Nutt. / Baldhip Rose	#2	1m	82
Ru	Rubus spectabilis / Salmonberry	#2	0.90m	88
Ss	Salix sitchensis / Sitka Willow	#2	1.20m	32
Sa	Sambucus racemosa / Red Elderberry	#2	0.75m	30
Sd	Spiraea douglasii / Western Spirea	#2	0.75m	57
Sy	Symphoricarpos albus / Common White Snowberry	#2	0.75m	79

GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Arctostaphylos uva-ursi / Kinnikinnick	#2	300mm	1 549
	Athyrium filix-femina cuculosorum / Lady Fern	#2	400mm	773
	Polystichum munitum / Western Sword Fern	#2	750mm	238



MAY 21, 2021

DP 18-829228 PLAN #31

van der Zee + associates inc.
 PROJECT NAME: 18-829228
 PROJECT NO: P2017-41
 DWG: 2 OF 4

REVISIONS

NO	DATE	BY	CHK	DESCRIPTION
1	05/11/21	TV	TV	ENVIRONMENTAL PROTECTION FENCE
2	05/11/21	TV	TV	ENVIRONMENTAL PROTECTION FENCE
3	05/11/21	TV	TV	ENVIRONMENTAL PROTECTION FENCE
4	05/11/21	TV	TV	ENVIRONMENTAL PROTECTION FENCE

City of Richmond

TITLE: **LANDSCAPE GATES AVENUE FROM #23400 TO #23500**

CITY FILE: SA19-880363

DWG. NO: **880363-19-10**

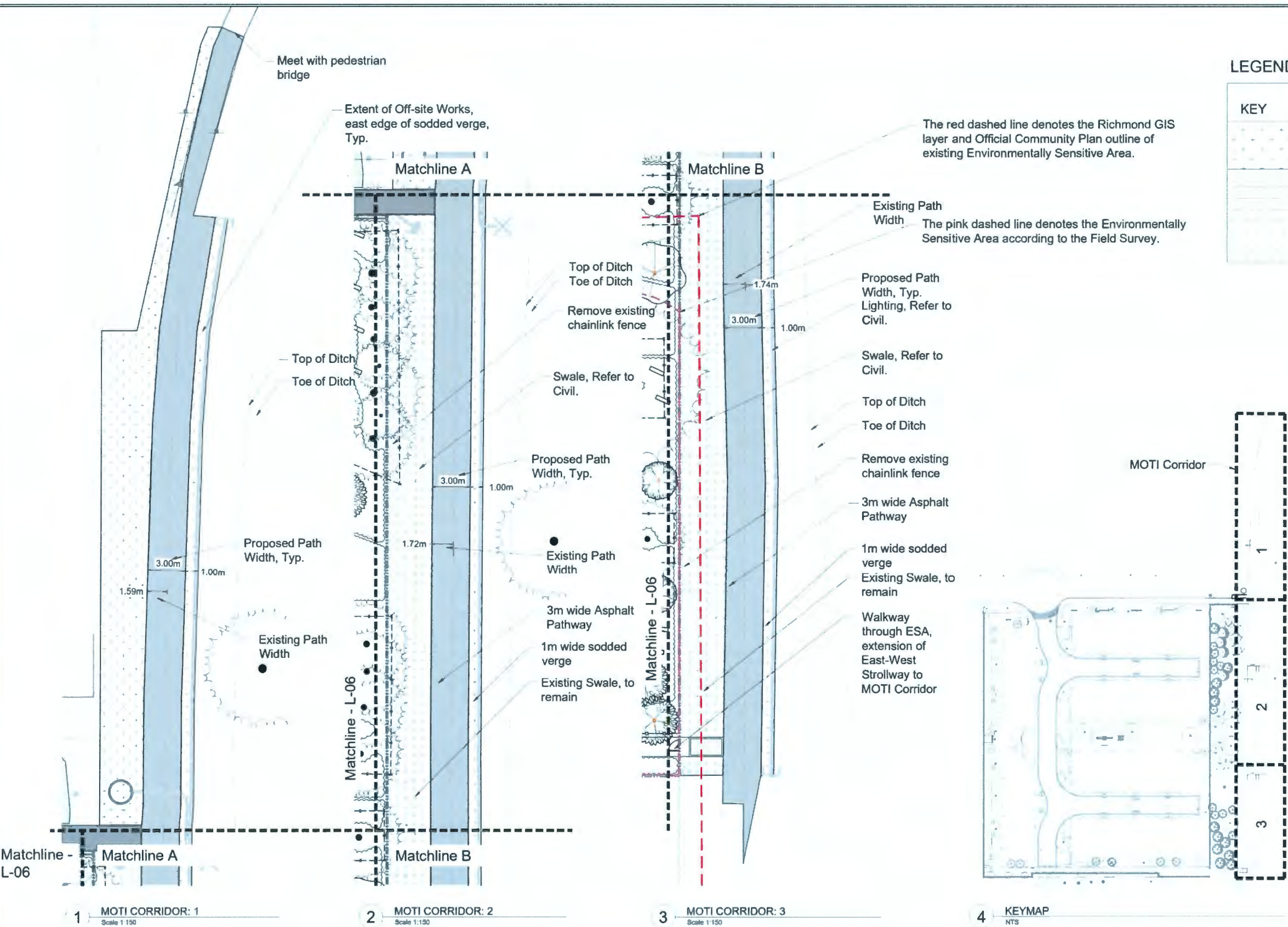
SCALE: 1:150

CHECKER: TV

DATE: 05/11/21

DESIGNED: TV

SHEET: 2 OF 4



LEGEND

KEY	DESCRIPTION
[Symbol]	SOD See Critical Landscape Notes for Specifications
[Symbol]	CONCRETE PAVERS PEDESTRIAN
[Symbol]	Existing Swale, To Remain

Existing swale along west side of 3m Asphalt Pathway to remain.

If swale is largely disturbed by construction, then grass and native wildflower seed mix to be used to rehabilitate. As specified by Landscape Architect.

MAY 21, 2021

DP 18-829228 PLAN # 32

BENCHMARK

ELEVATIONS ARE IN METERS TO GEODETIC DATUM REFERENCED TO RICHMOND BENCHMARK HPM #006. CONTROL MONUMENT CEN4483 ELEVATION = 1.763M. (BENCHMARK HPM#006, CONTROL MONUMENT 788818 ELEVATION = 1.853M)

CITY WORK ORDER #

ACCOUNT #

van der Zande + associates inc.

5489 Byrne Rd,
Burnaby, BC
V5J 3J1

PROJECT NO. 2017-41

DWG 3 OF 4

NO.	DATE	BY	CHK.	DESCRIPTION
1				PRELIMINARY DESIGN UPDATE
2				REVISED DESIGN PLAN, SEE COMMENTS
3				REVISED DESIGN PLAN, SEE COMMENTS
4				REVISED DESIGN PLAN, SEE COMMENTS

City of Richmond

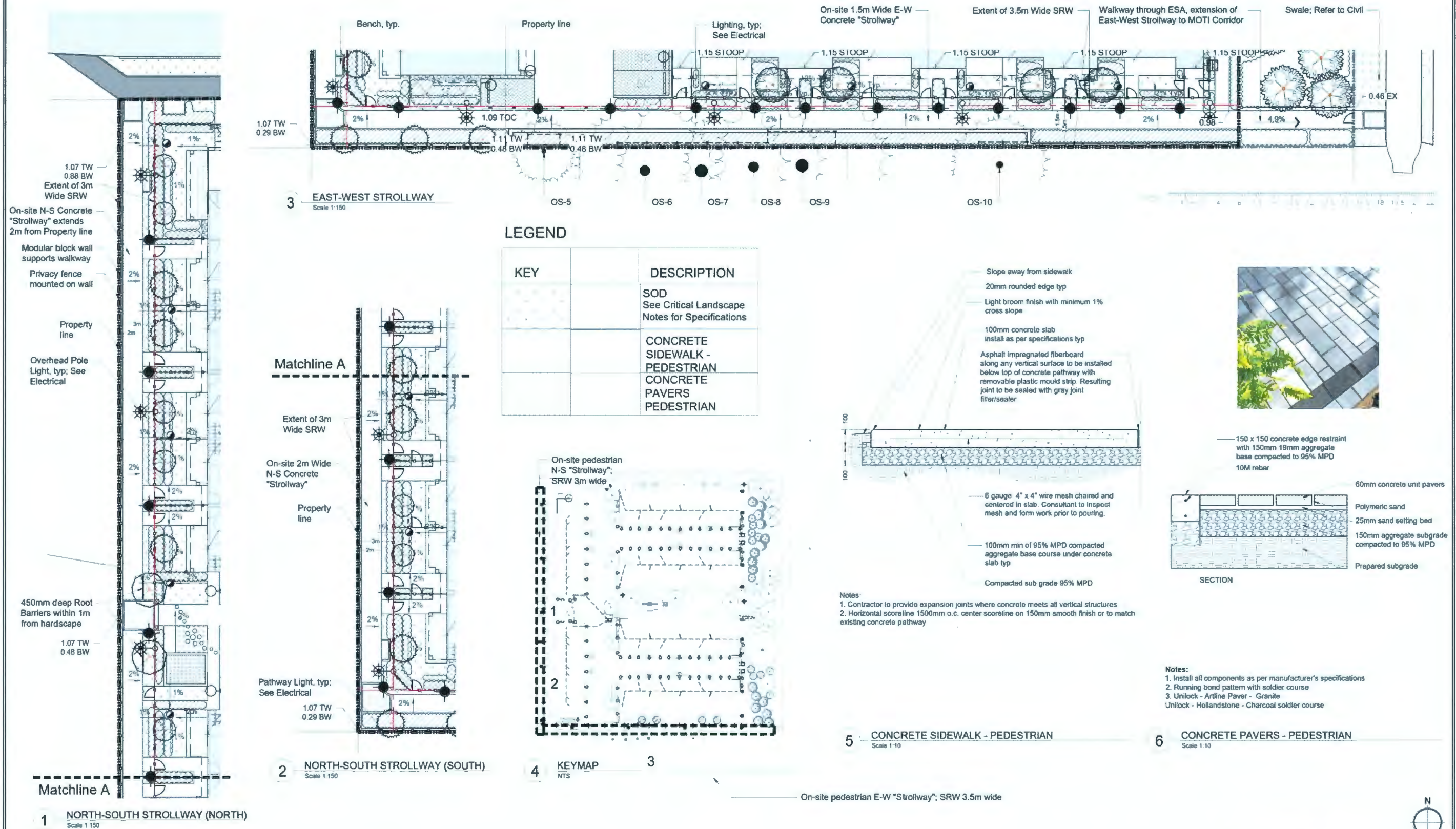
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GATES AVENUE
FROM #23400 TO #23500**

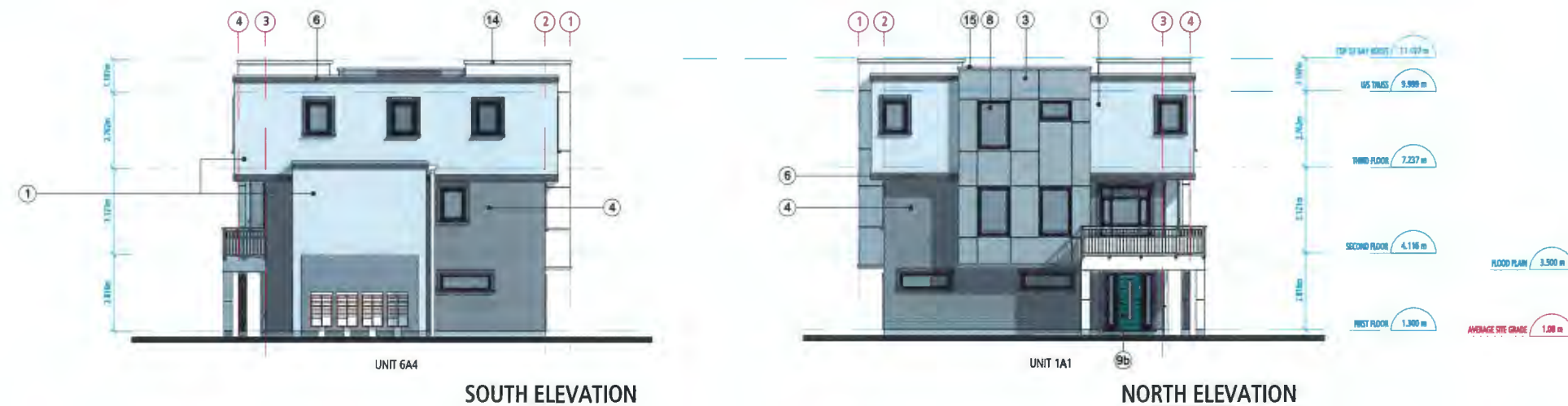
CITY FILE: SA19-880363

DESIGN: **880363-19-10**

SCALE: 1:150 DATE: 05/11/21

SEC. NO. 30/54 SHEET NO. 3 OF 4





EXTERIOR FINISHES SCHEDULE

1	EIFS STUCCO TEXTURED	Benjamin Moore_Stonington Gray HC-170
2	EIFS STUCCO SMOOTH	Benjamin Moore_Swiss Coffee OC-60
3	EIFS STUCCO SMOOTH	Benjamin Moore_Escarpment CC-518
4	HORIZONTAL SIDING	Hardie Lap Siding_Aged Pewter
5	BRICK	DL_Urban Gray Klaycoat
6	HORIZONTAL WOOD TRIMS	Benjamin Moore_Midsummer Night BM 2134-20
7	WINDOW & DOOR TRIM	Benjamin Moore_Midsummer Night BM 2134-20
8	VINYL WINDOWS	Black
9 a-h	EXTERIOR DOOR	varies (see accent colours)
10	METAL GUARDRAIL	Benjamin Moore_Swiss Coffee OC-60
11	GLASS GUARDRAIL	Clear Glass & Black Metal Frame
12	MECH. ROOM DOOR & STAIR	Benjamin Moore_Midsummer Night BM 2134-20
13	GARAGE DOOR	Painted to match BM_Swiss Coffee OC-60
14	METAL FLASHING	Benjamin Moore_Swiss Coffee OC-60
15	METAL FLASHING	Benjamin Moore_Escarpment CC-518

ACCENT (Door) COLOURS

9a	Bldg 1 + 5	Sherwin Williams- SW 6761 Thermal Springs
9b	Bldg 1 + 5	Sherwin Williams- SW 6753 Jargon Jade
9c	Bldg 2 + 4	Sherwin Williams- SW 6790 Adriatic Sea
9d	Bldg 4	Sherwin Williams- SW 6864 Dimples
9e	Bldg 5	Sherwin Williams- SW 6624 Rustic Orange
9f	Bldg 3	Sherwin Williams- SW 6634 Copper Harbor
9g	Bldg 6	Sherwin Williams- SW 7588 Show Stopper
9h	Bldg 6	Sherwin Williams- SW 6668 Real Red

DP 18-829228 PLAN # 34

23400, 23440,
23460, & 23500
**GATES
AVENUE**

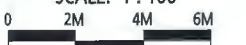
for



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**ELEVATIONS
BUILDING 1**

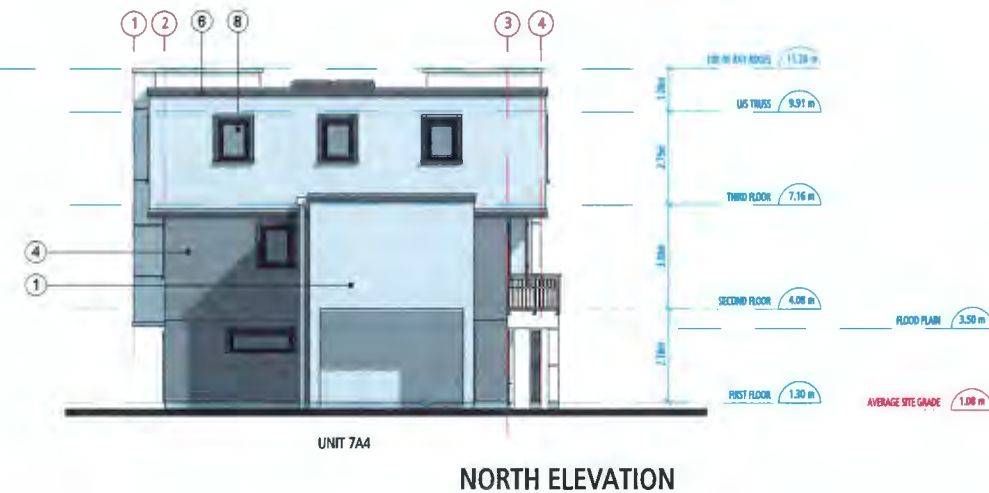
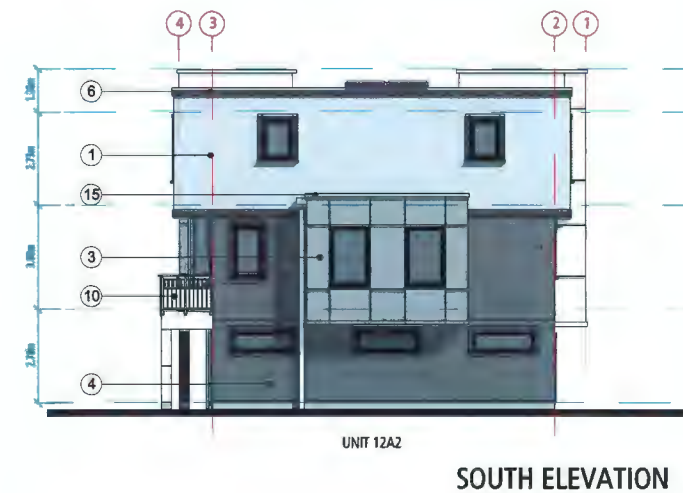
SCALE: 1 : 100



DP18-829228
MAY 10, 2021

FOUGERE
architecture inc.
BRITISH COLUMBIA - ALBERTA - WASHINGTON
202 - 2425 Quebec Street 604.873.2907
Vancouver BC V5T 4L6 fougerearchitecture.ca

PLAN 4



EXTERIOR FINISHES SCHEDULE

1	EIPS STUCCO TEXTURED	Benjamin Moore_Stonington Gray HC-170
2	EIPS STUCCO SMOOTH	Benjamin Moore_Swiss Coffee OC-60
3	EIPS STUCCO SMOOTH	Benjamin Moore_Escarpment CC-518
4	HORIZONTAL SIDING	Hardie Lap Siding_Aged Pewter
5	BRICK	DLX_Urban Gray Klaycoat
6	HORIZONTAL WOOD TRIMS	Benjamin Moore_Midsummer Night BM 2134-20
7	WINDOW & DOOR TRIM	Benjamin Moore_Midsummer Night BM 2134-20
8	VINYL WINDOWS	Black
9 a-h	EXTERIOR DOOR	varies (see accent colours)
10	METAL GUARDRAIL	Benjamin Moore_Swiss Coffee OC-60
11	GLASS GUARDRAIL	Clear Glass & Black Metal Frame
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9c	Bldg 2 + 4	Sherwin Williams-SW 6790 Adriatic Sea
9d	Bldg 2 + 4	Sherwin Williams-SW 6864 Copper Harbor
9e	Bldg 2 + 4	Sherwin Williams-SW 6864 Copper Harbor
9f	Bldg 3	Sherwin Williams-SW 6864 Copper Harbor
9g	Bldg 6	Sherwin Williams-SW 7568 Show Stopper
9h	Bldg 6	Sherwin Williams-SW 6868 Real Red

DP 18-829228 PLAN # 35

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23460, & 23500
**GATES
AVENUE**

for



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**ELEVATIONS
BUILDING 2**

SCALE: 1 : 100

0 2M 4M 6M

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PLAN 5

NORTH ELEVATION (BLDG. 3&5)
SOUTH ELEVATION (BLDG. 4&6)

SOUTH ELEVATION (BLDG. 3&5)
NORTH ELEVATION (BLDG. 4&6)

EXTERIOR FINISHES SCHEDULE

1	EIPS STUCCO TEXTURED	Benjamin Moore_Stonington Gray HC-170
2	EIPS STUCCO SMOOTH	Benjamin Moore_Swiss Coffee OC-60
3	EIPS STUCCO SMOOTH	Benjamin Moore_Escarpment CC-518
4	HORIZONTAL SIDING	Hardie Lap Siding_Aged Pewter
5	BRICK	DL Urban Gray Klaycoat
6	HORIZONTAL WOOD TRIMS	Benjamin Moore_Midsummer Night BM 2134-20
7	WINDOW & DOOR TRIM	Benjamin Moore_Midsummer Night BM 2134-20
8	VINYL WINDOWS	Black
9 a-h	EXTERIOR DOOR	various (see accent colours)
10	METAL GUARDRAIL	Benjamin Moore_Swiss Coffee OC-60
11	GLASS GUARDRAIL	Clear Glass & Black Metal Frame
12	MECH. ROOM DOOR & STAIR	Benjamin Moore_Midsummer Night BM 2134-20
13	GARAGE DOOR	Painted to match BM_Swiss Coffee OC-60
14	METAL FLASHING	Benjamin Moore_Swiss Coffee OC-60
15	METAL FLASHING	Benjamin Moore_Escarpment CC-518

ACCENT (Door) COLOURS

9a	Bldg 1 + 5	Sherwin Williams- SW 6751 Thermal Springs
9b	Bldg 1 + 5	Sherwin Williams- SW 6753 Jargon Jade
9c	Bldg 2 + 4	Sherwin Williams- SW 6790 Adriatic Sea
9d	Bldg 2 + 4	Sherwin Williams- SW 6800 Copper Harbor
9e	Bldg 3	Sherwin Williams- SW 6800 Copper Harbor
9f	Bldg 3	Sherwin Williams- SW 6834 Copper Harbor
9g	Bldg 6	Sherwin Williams- SW 7588 Show Stopper
9h	Bldg 6	Sherwin Williams- SW 6868 Real Red

DP 18-829228 PLAN # 36

WEST ELEVATION (BLDG. 3&5)
EAST ELEVATION (BLDG. 4&6)

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**GATES
AVENUE**



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**ELEVATIONS
BUILDING 3,4,5,6**

SCALE: 1 : 100

0 2M 4M 6M

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PLAN 6



GATES AVENUE STREETSCAPE (NORTH)



YARDSCAPE (WEST)



YARDSCAPE (SOUTH)

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**GATES
AVENUE**

for



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**STREETSCAPE
& YARDSCAPE**

SCALE: 1 : 200

0 3M 7M 14M

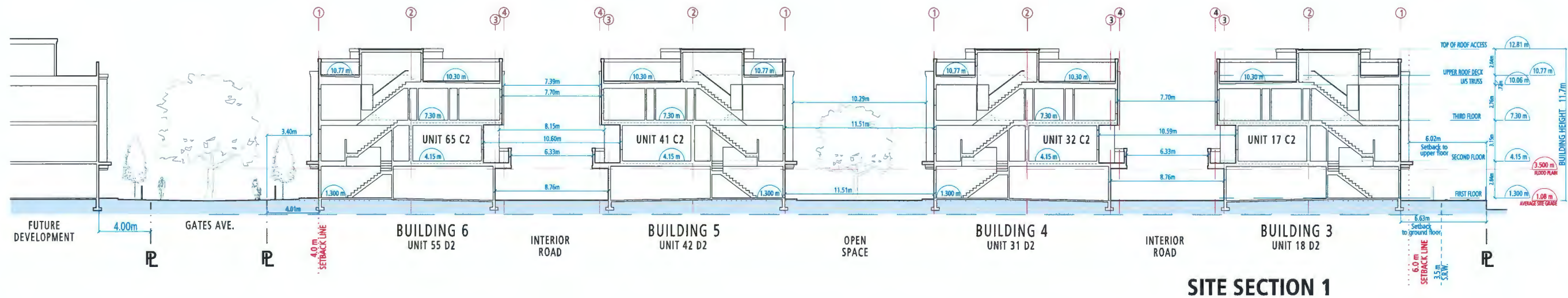
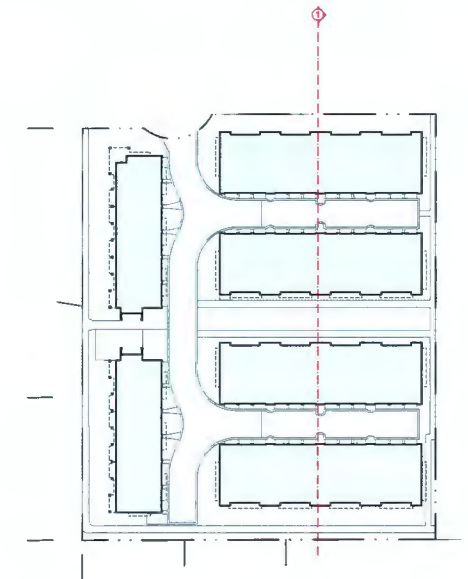
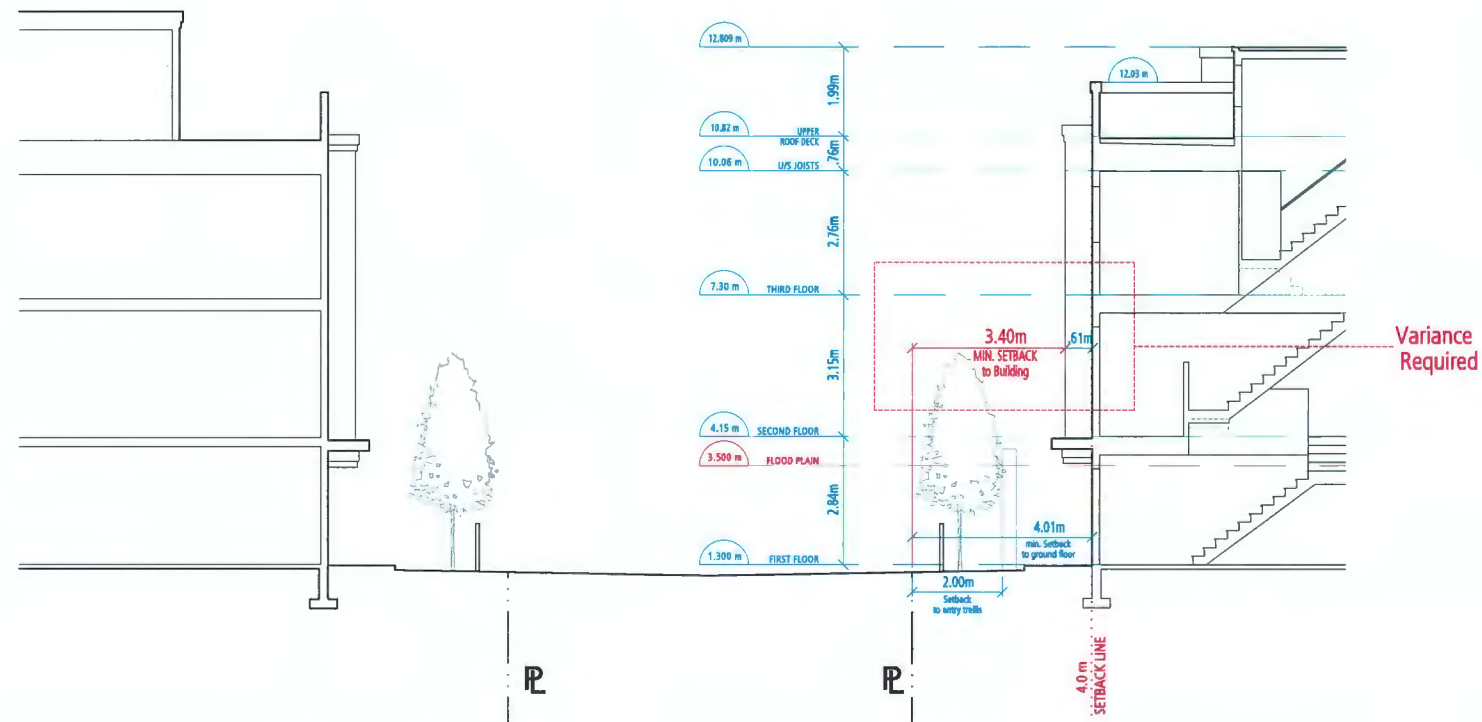
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PLAN 22



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**GATES
AVENUE**

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SITE SECTIONS

SCALE: 1 : 150



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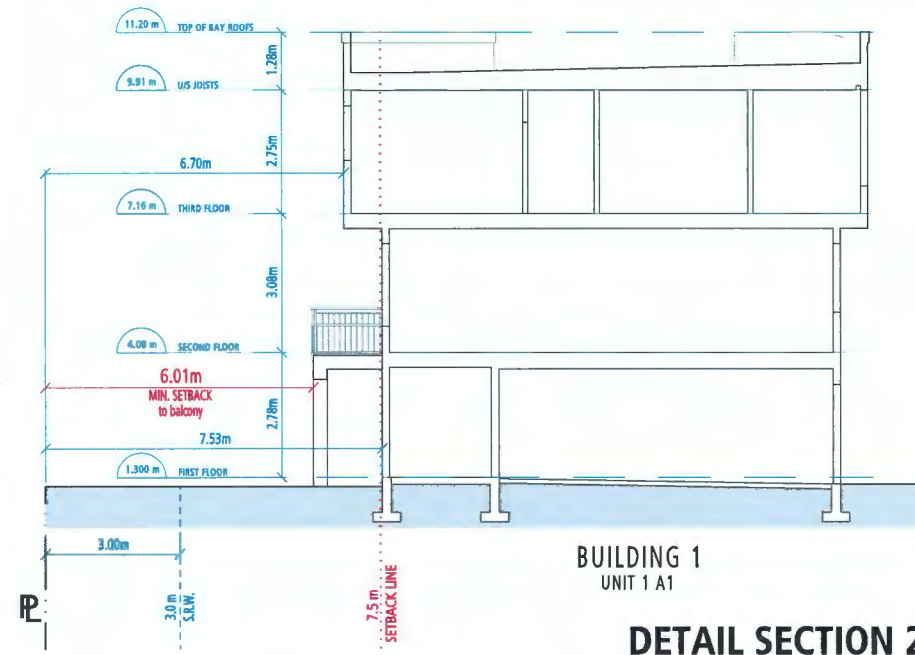


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PLAN 23

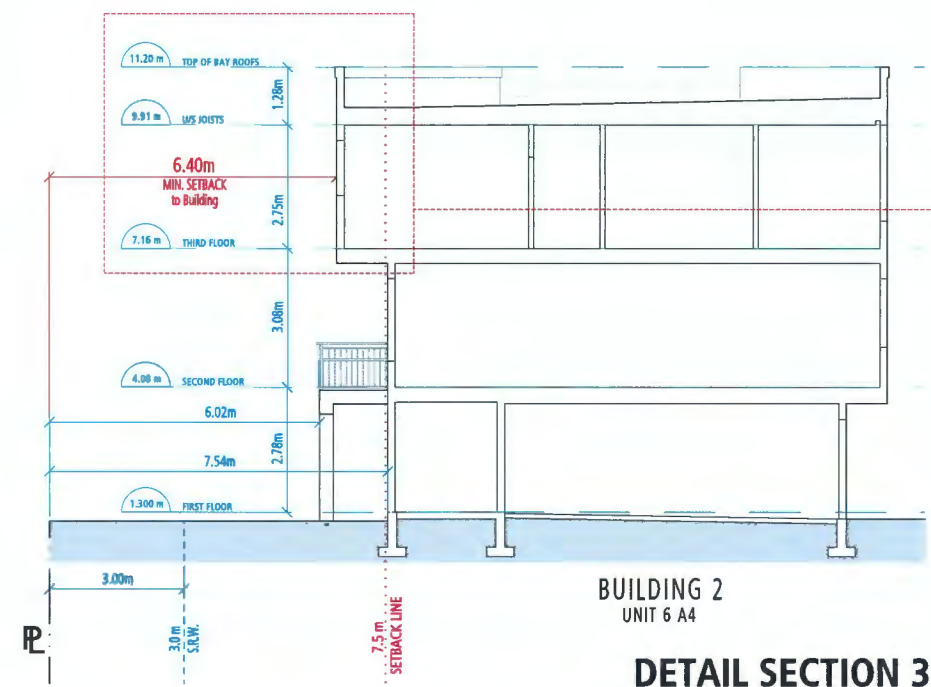
MAY 21, 2021

DP 18-829228 PLAN # 38



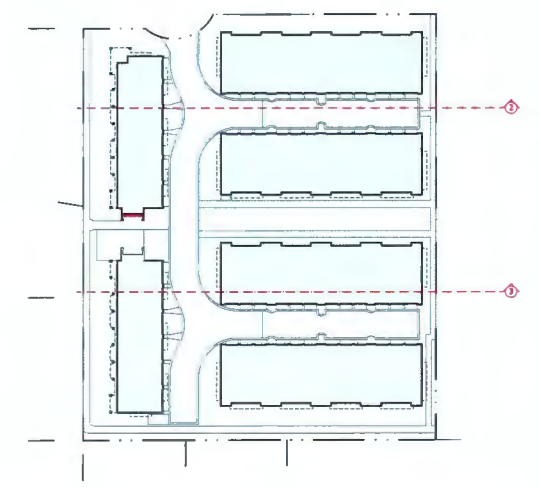
BUILDING 1
UNIT 1 A1

DETAIL SECTION 2
Side Yard Setback
SCALE: 1:75



BUILDING 2
UNIT 6 A4

DETAIL SECTION 3
Side Yard Setback
SCALE: 1:75



Variance
Required



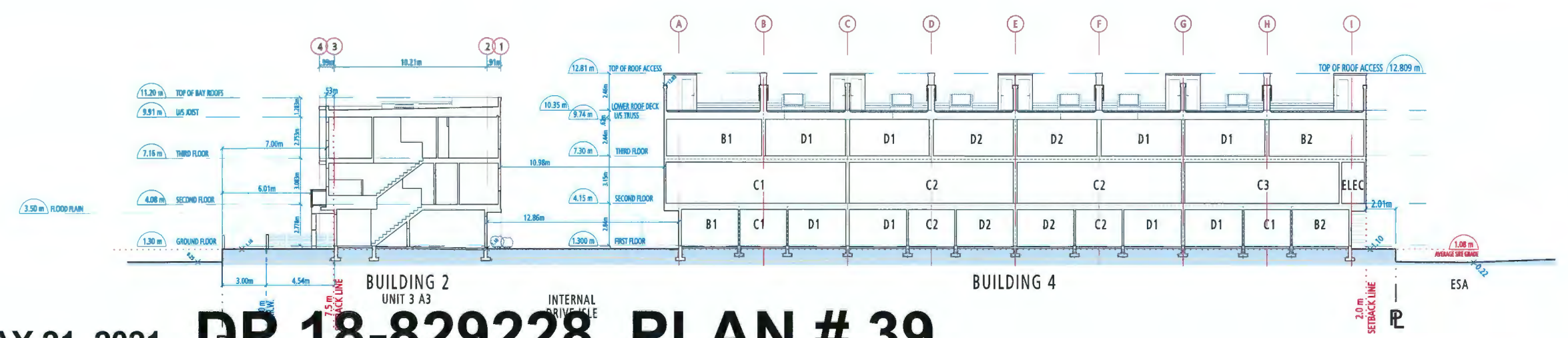
BUILDING 1
UNIT 3 A3

INTERNAL DRIVE ISLE

BUILDING 6

ESA

SITE SECTION 2



BUILDING 2
UNIT 3 A3

INTERNAL DRIVE ISLE

BUILDING 4

ESA

SITE SECTION 3

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**GATES
AVENUE**
for
Q-R-D
QUARRY ROCK
DEVELOPMENTS

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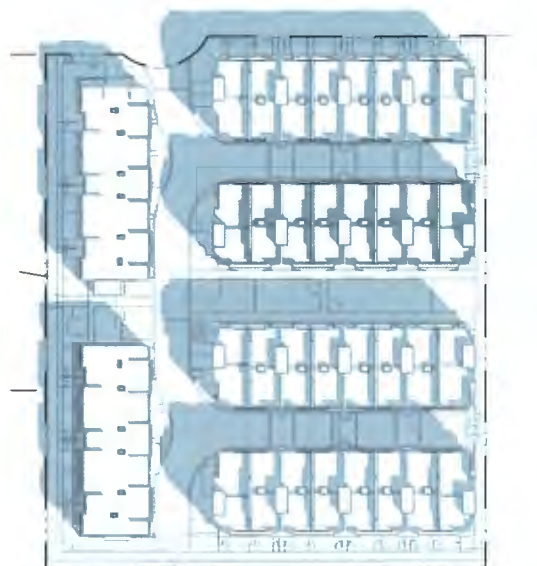
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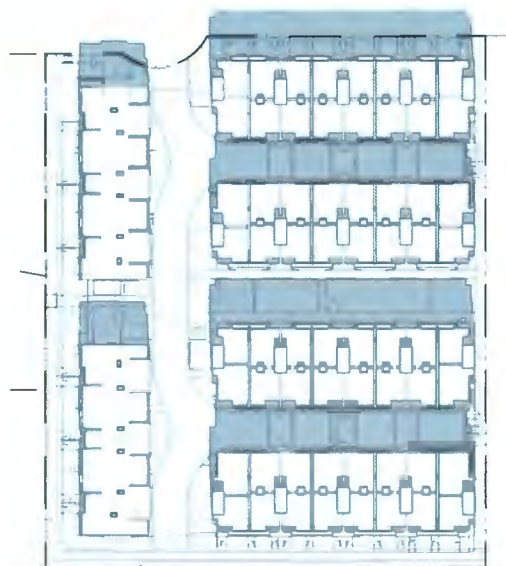
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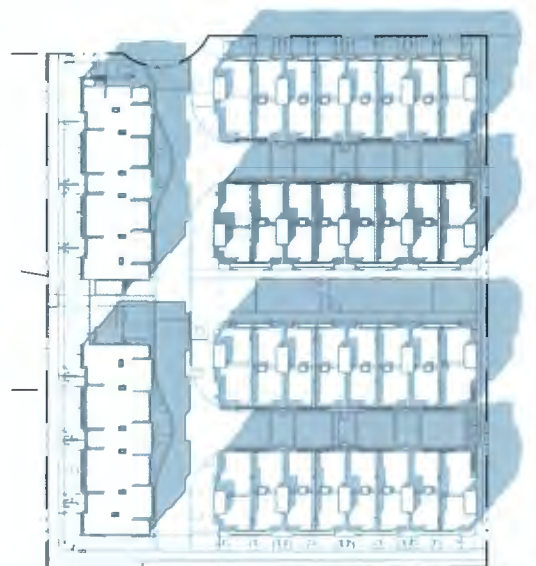
PLAN 24



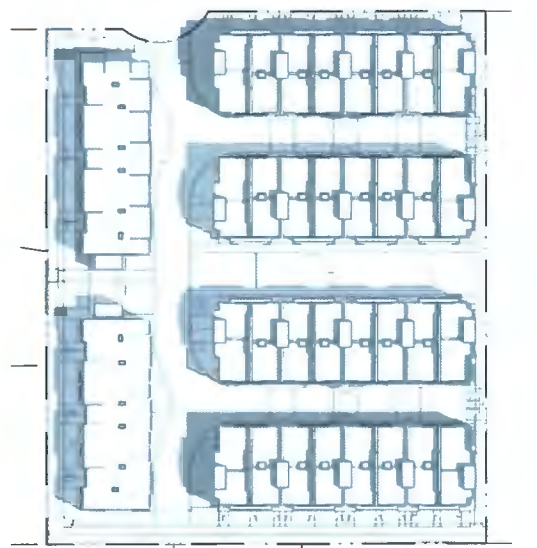
MARCH 21, 10 am



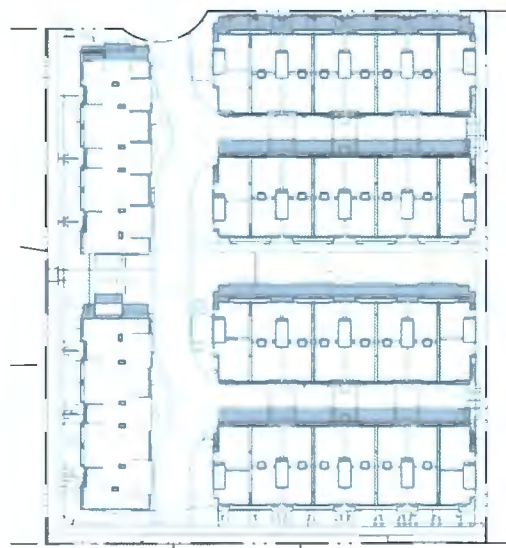
MARCH 21, 12 pm



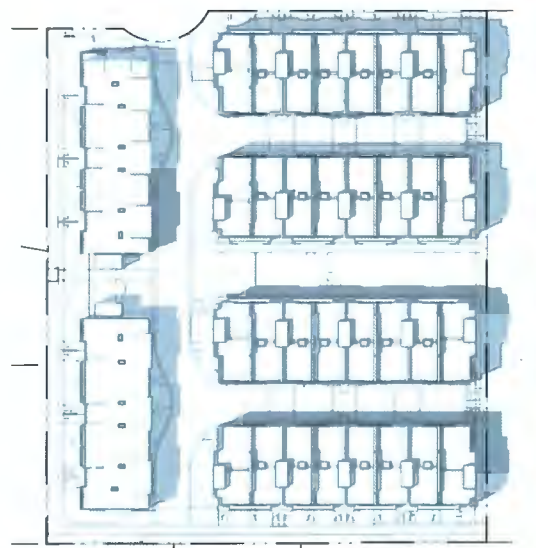
MARCH 21, 2 pm



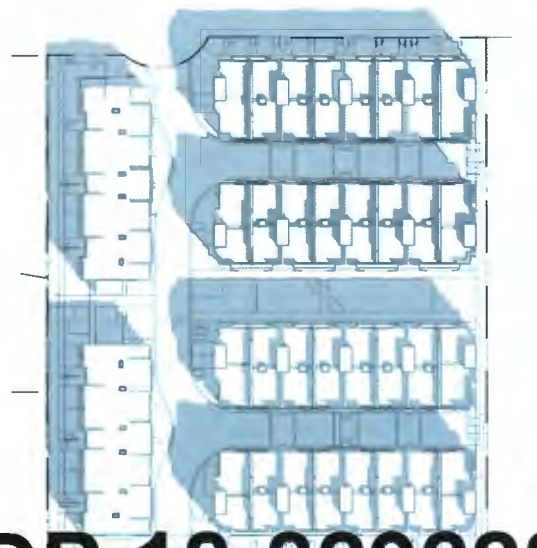
JUNE 21, 10 am



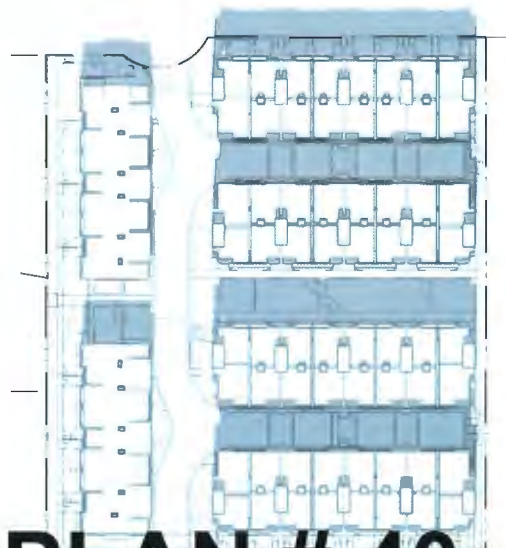
JUNE 21, 12 pm



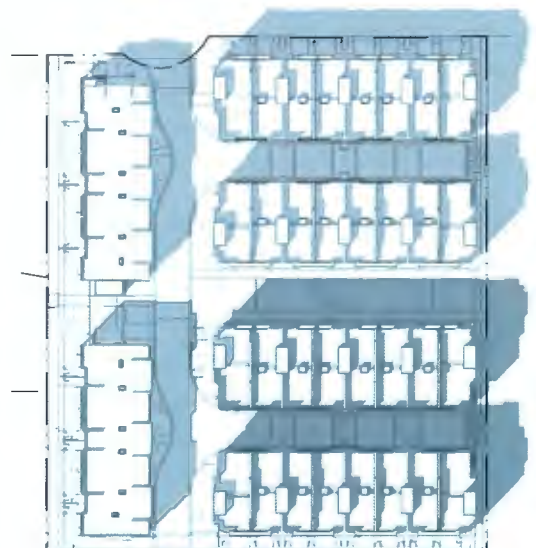
JUNE 21, 2 pm



SEPTEMBER 21, 10 am



SEPTEMBER 21, 12 pm



SEPTEMBER 21, 2 pm

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DP 18-829228 PLAN #40



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**GATES
AVENUE**

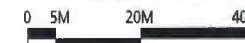
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**SHADOW
ANALYSIS**
SCALE: 1 : 600



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PLAN 25



AERIAL 1- View from north west



AERIAL 2- View from south east

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GATES AVENUE

for



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PERSPECIVES

SCALE: NTS
0 3M 7M 14M

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18-829228 PLAN #41

PLAN 26



VIEW 1- West Strollway



VIEW 2- West Strollway

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23460, & 23500

GATES AVENUE

for

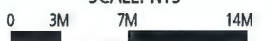


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PLAN 27

MAY 21, 2021 **DP 18-829228 PLAN # 42**



VIEW 3- North Strollway



VIEW 4- South Strollway

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23460, & 23500

GATES AVENUE

for



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SCALE: NTS
0 3M 7M 14M

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View 5- Open Space



View 5- Open Space

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GATES AVENUE

for



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PERSPECIVES

SCALE: NTS
0 3M 7M 14M

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VIEW 7- Open Space



VIEW 8- Patios

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GATES AVENUE

for



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PERSPECIVES

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0 3M 7M 14M

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PLAN 30

MAY 21, 2021 **DP 18-829228 PLAN # 45**

STUCCO: TEXTURED



BM_Stonington Grey

STUCCO: SMOOTH



BM_Swiss Coffee

TRIMS & COLUMNS



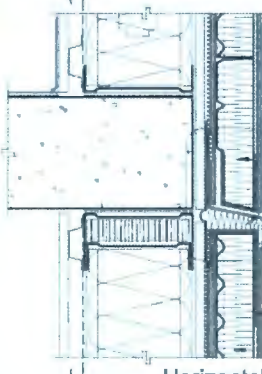
BM_Midsummer Night

STUCCO TEXTURE



MISTRAL

JOINT DETAIL



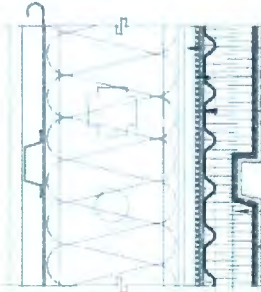
Horizontal Control Joint

STUCCO TEXTURE



GRANULAR

JOINT DETAIL



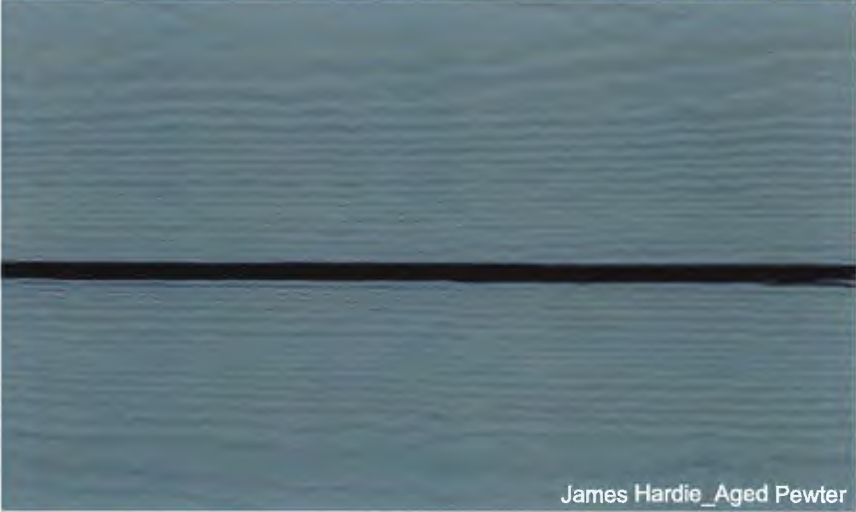
Aesthetic Grooves

BRICK



IXL_Urban Grey Klaycoat

SIDING



James Hardie_Aged Pewter

EXTERIOR FINISHES SCHEDULE

1	EIFS STUCCO TEXTURED	Benjamin Moore_Stonington Gray HC-170
2	EIFS STUCCO SMOOTH	Benjamin Moore_Swiss Coffee OC-60
3	EIFS STUCCO SMOOTH	Benjamin Moore_Escarpment CC-518
4	HORIZONTAL SIDING	Hardie Lap Siding_Aged Pewter
5	BRICK	IXL_Urban Grey Klaycoat
6	HORIZONTAL WOOD TRIMS	Benjamin Moore_Midsummer Night BM 2134-20
7	WINDOW & DOOR TRIM	Benjamin Moore_Midsummer Night BM 2134-20
8	VINYL WINDOWS	Black
9 a-h	EXTERIOR DOOR	varies (see accent colours)
10	METAL GUARDRAIL	Benjamin Moore_Swiss Coffee OC-60
11	GLASS GUARDRAIL	Clear Glass & Black Metal Frame
12	MECH. ROOM DOOR & STAIR	Benjamin Moore_Midsummer Night BM 2134-20
13	GARAGE DOOR	Painted to match BM_Swiss Coffee OC-60
14	METAL FLASHING	Benjamin Moore_Swiss Coffee OC-60
15	METAL FLASHING	Benjamin Moore_Escarpment CC-518

ACCENT (Door) COLOURS

9a	Sherwin Williams- SW 6761 Thermal Springs
9b	Sherwin Williams- SW 6753 Jargon Jade
9c	Sherwin Williams- SW 6790 Adriatic Sea
9d	Sherwin Williams- SW 6803 Danube
9e	Sherwin Williams- SW 6628 Robust Orange
9f	Sherwin Williams- SW 6634 Copper Harbor
9g	Sherwin Williams- SW 7588 Show Stopper
9h	Sherwin Williams- SW 6868 Real Red

DOOR COLOURS



9a



9b

BLDG 1 & 5



9c



9d

BLDG 2 & 4



9e

Robust Orange



9f

Copper Harbor

BLDG 3



9g

Show Stopper



9h

Real Red

BLDG 6

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**GATES
AVENUE**

for



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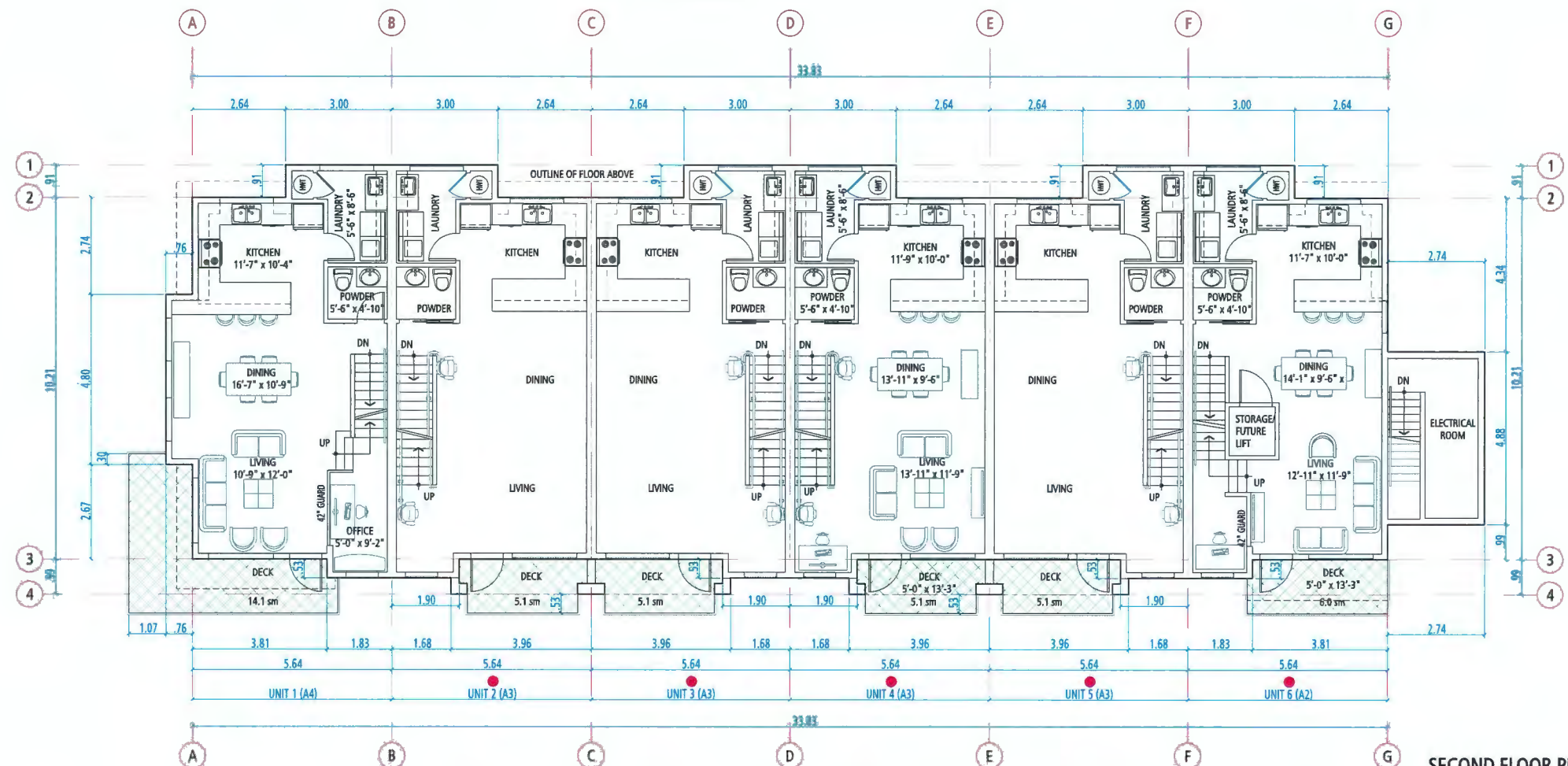


**MATERIAL
BOARD**

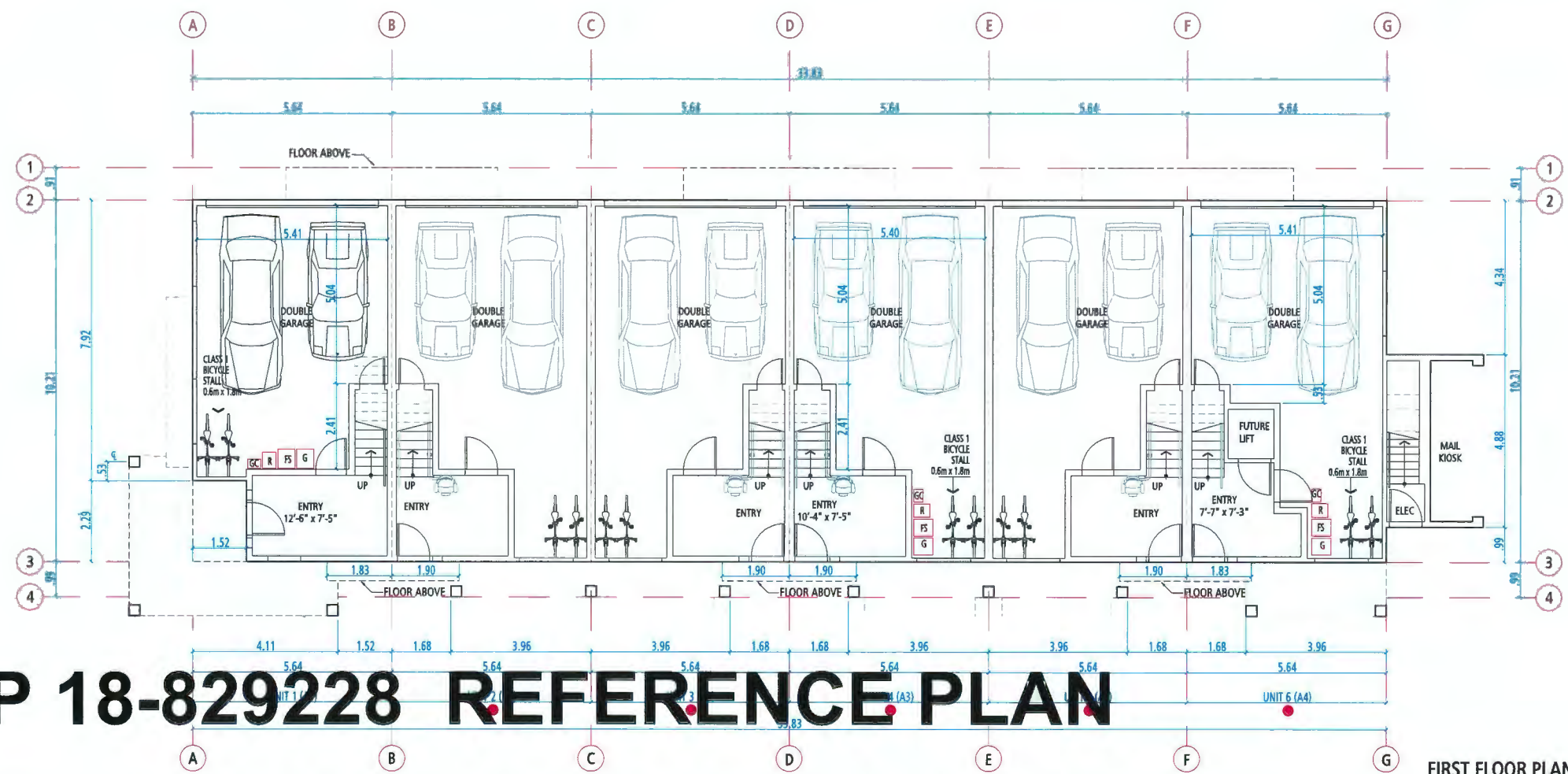
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PLAN 30



SECOND FLOOR PLAN



FIRST FLOOR PLAN

PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:

- Blocking in bathroom walls for installation of grab-bars (beside toilet, tub and shower)
- Provision of lever door handles for plumbing fixtures and door handles
- Stairwell Handrails
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Door from garage to living area minimum 2'-10" (swinging door spec.)

23400, 23440,
 23460, & 23500
GATES AVENUE



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FLOOR PLANS BUILDING 1
 SCALE: 1:75
 0 1.5M 3M 4.5M

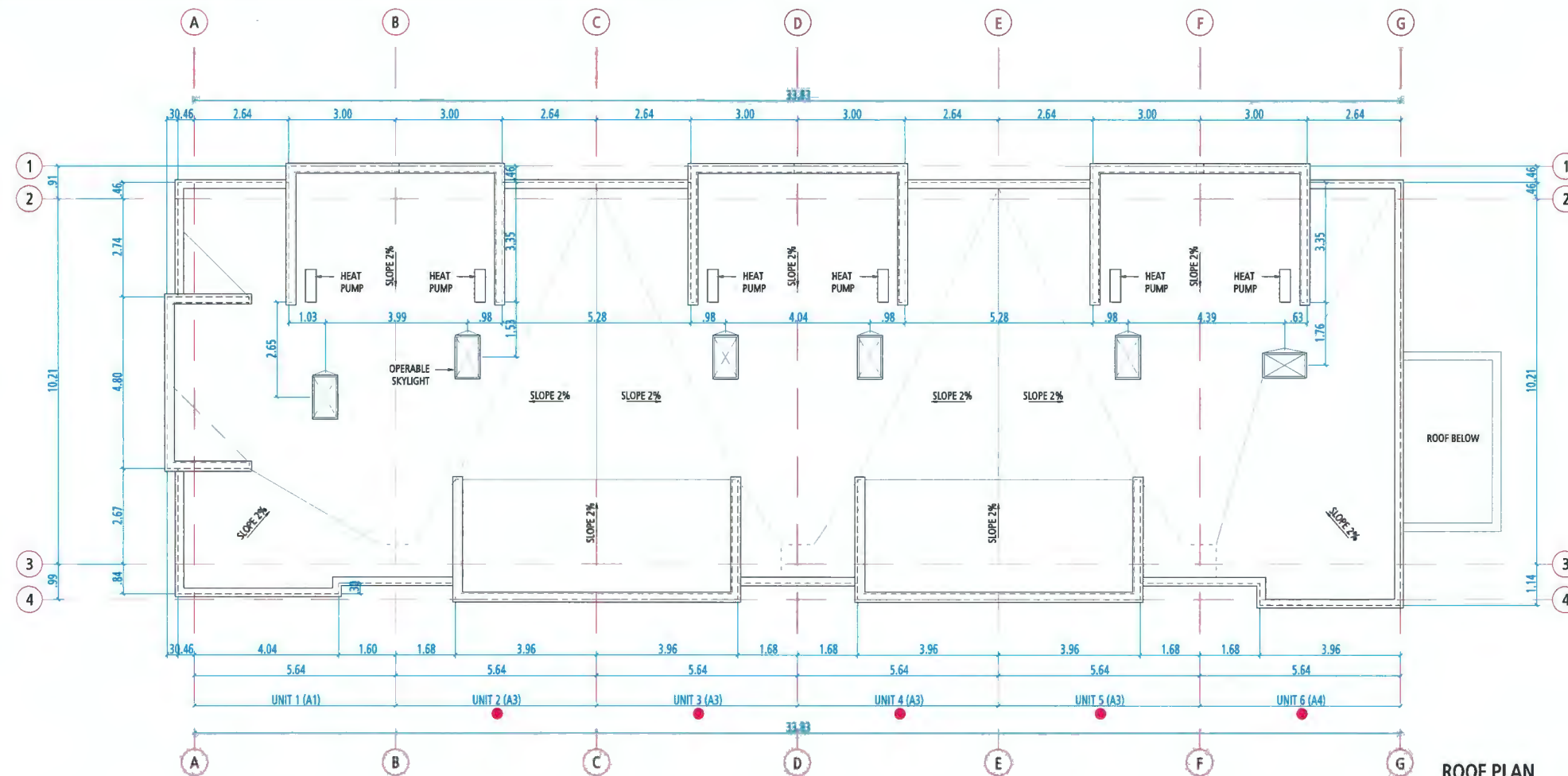
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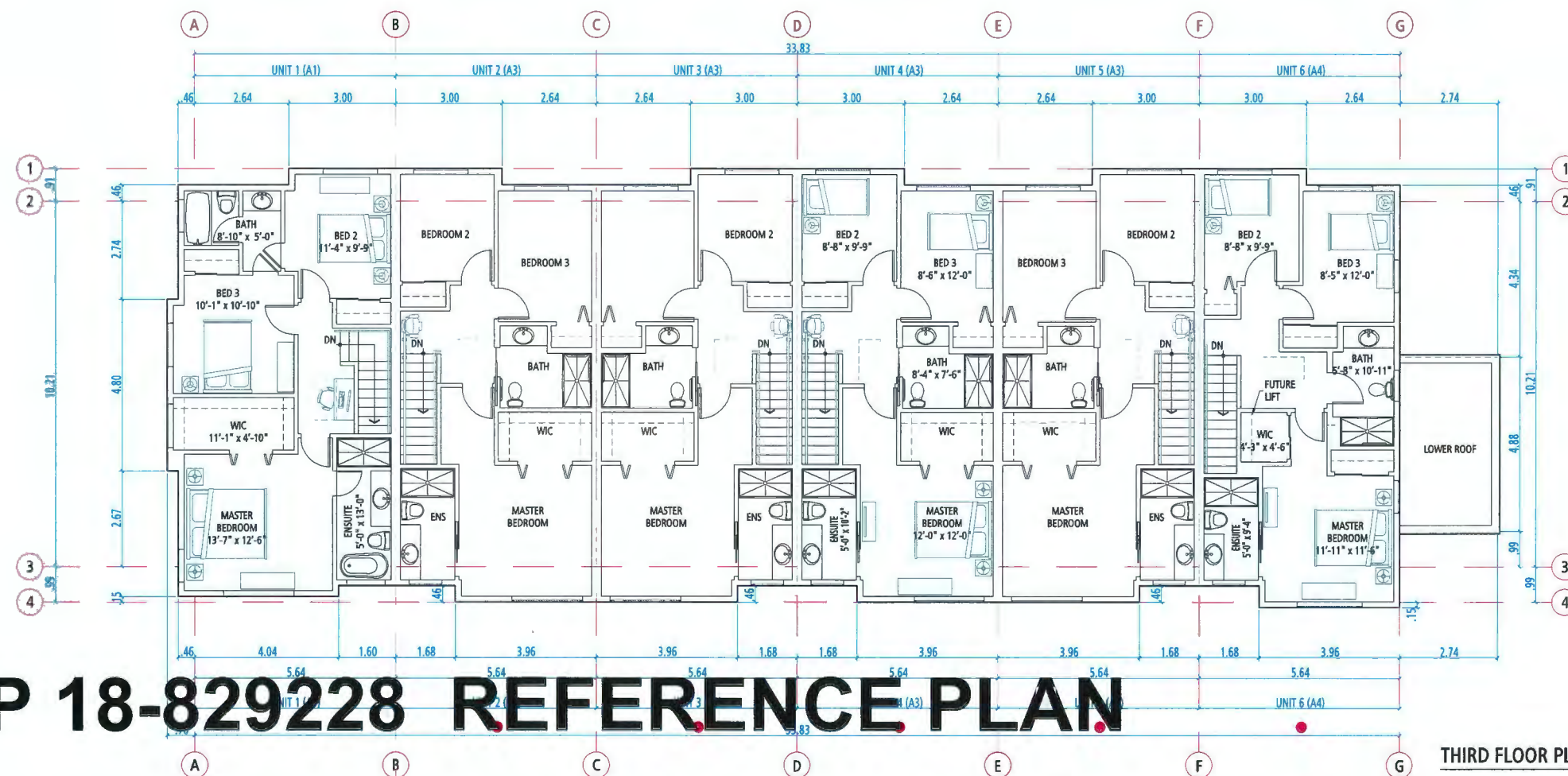
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DP 18-829228 REFERENCE PLAN

PLAN 7



ROOF PLAN



THIRD FLOOR PLAN

PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:

- Blocking in bathroom walls for installation of grab-bars (beside toilet, tub and shower)
- Provision of lever door handles for plumbing fixtures and door handles
- Stairwell Handrails
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Door from garage to living area minimum 2'-10" (swinging door spec.)

23400, 23440,
 23460, & 23500
**GATES
 AVENUE**



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**FLOOR PLANS
 BUILDING 1**
 SCALE: 1:75



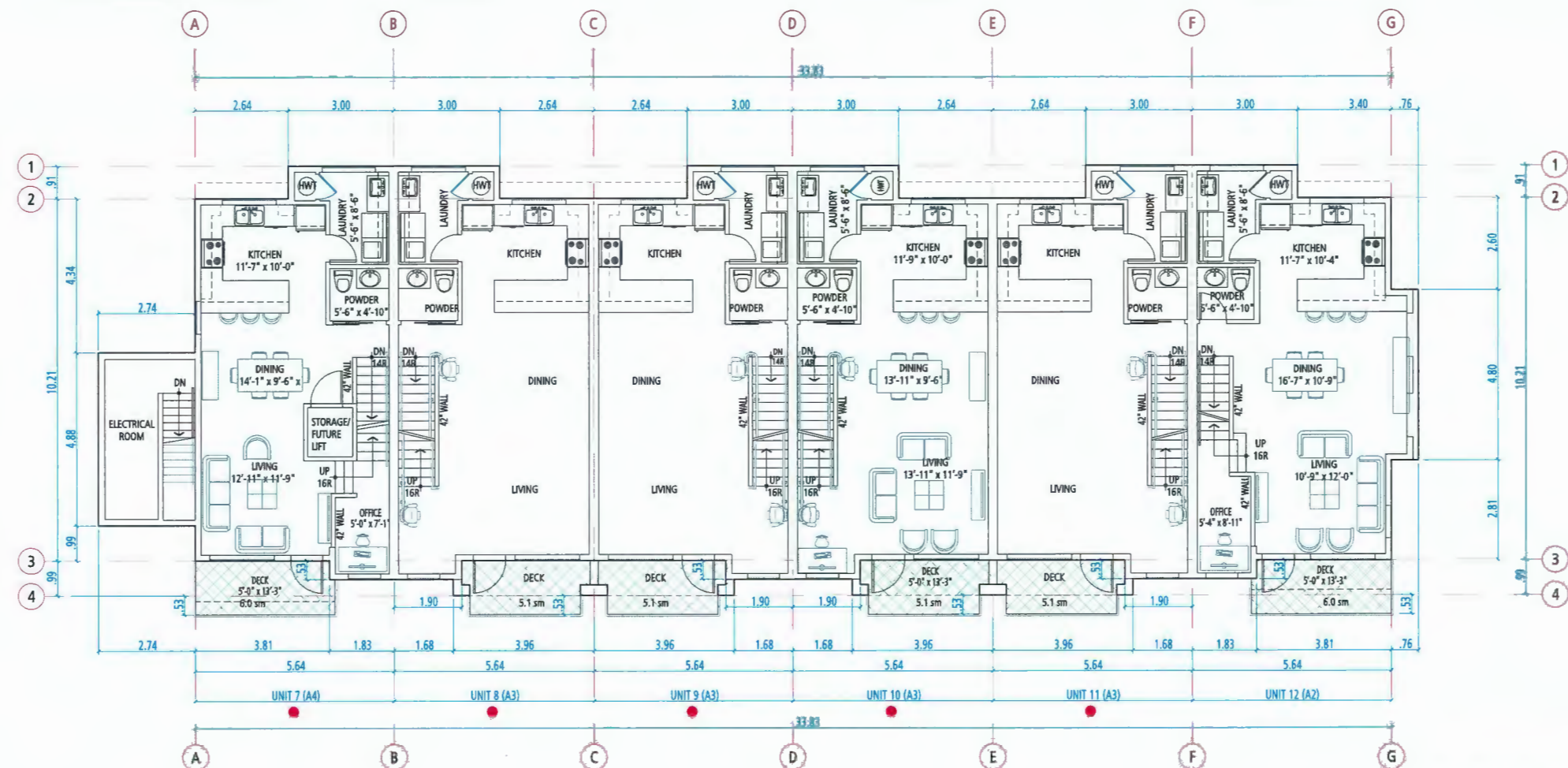
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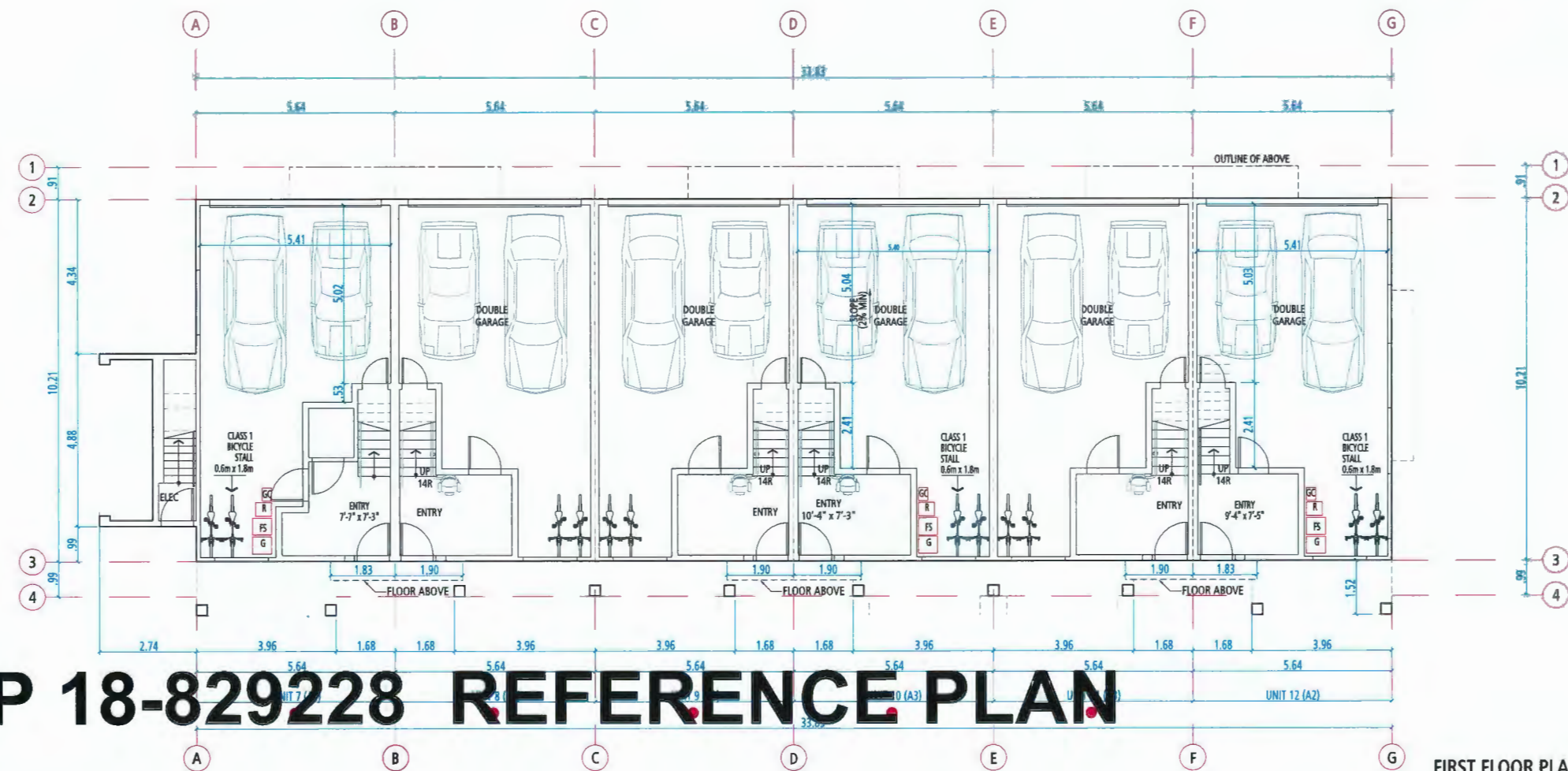
PLAN 8

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DP 18-829228 REFERENCE PLAN



SECOND FLOOR PLAN



FIRST FLOOR PLAN

- PROVISION OF ACCESSIBILITY FEATURES**
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:
- Blocking in bathroom walls for installation of grab-bars (beside toilet, tub and shower)
 - Provision of lever door handles for plumbing fixtures and door handles
 - Stairwell Handrails
 - Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
 - Door from garage to living area minimum 2'-10" (swinging door spec.)

23400, 23440,
23460, & 23500

**GATES
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**FLOOR PLANS
BUILDING 2**

SCALE: 1 : 75

0 1.5M 3M 4.5M

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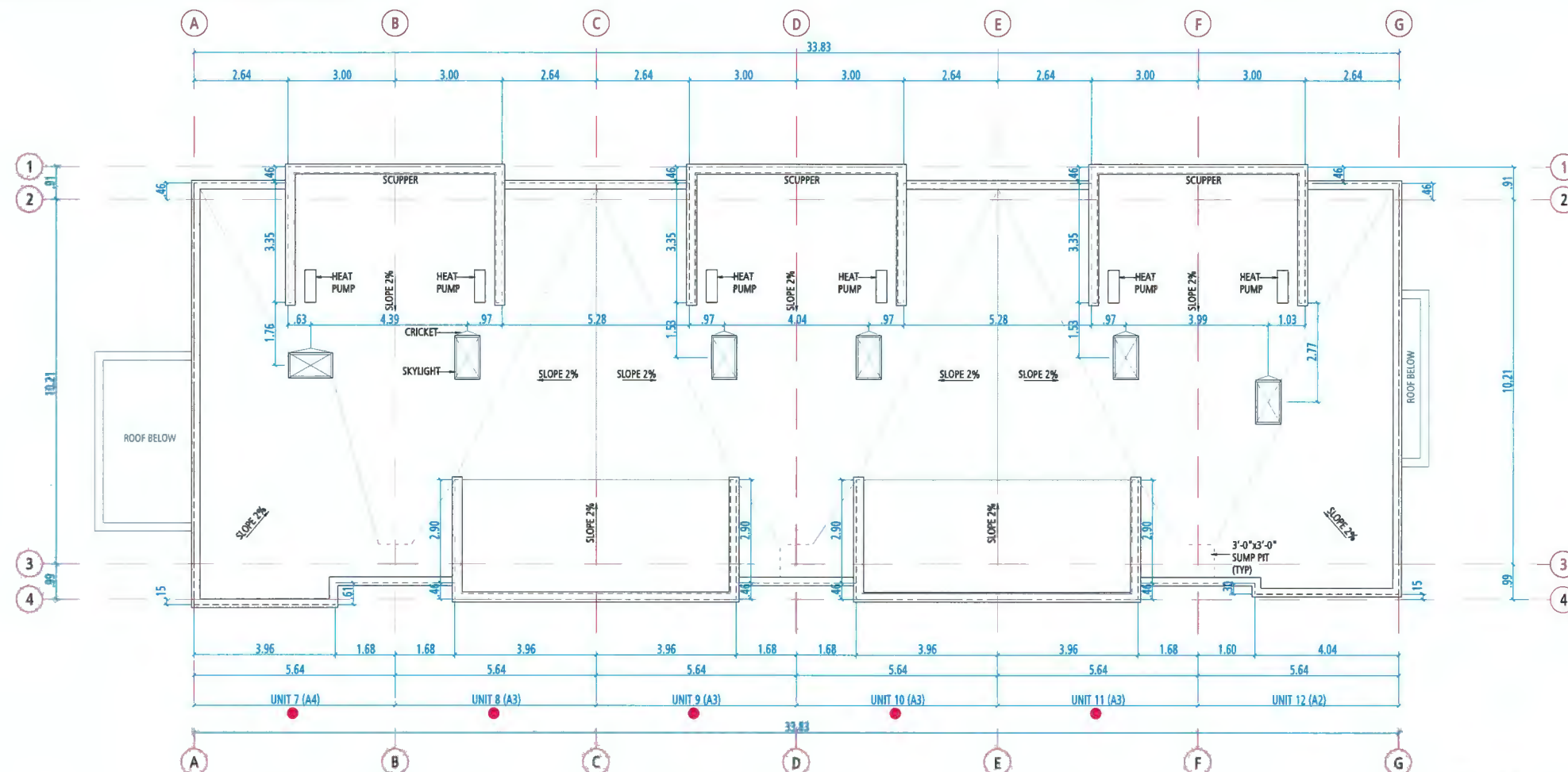


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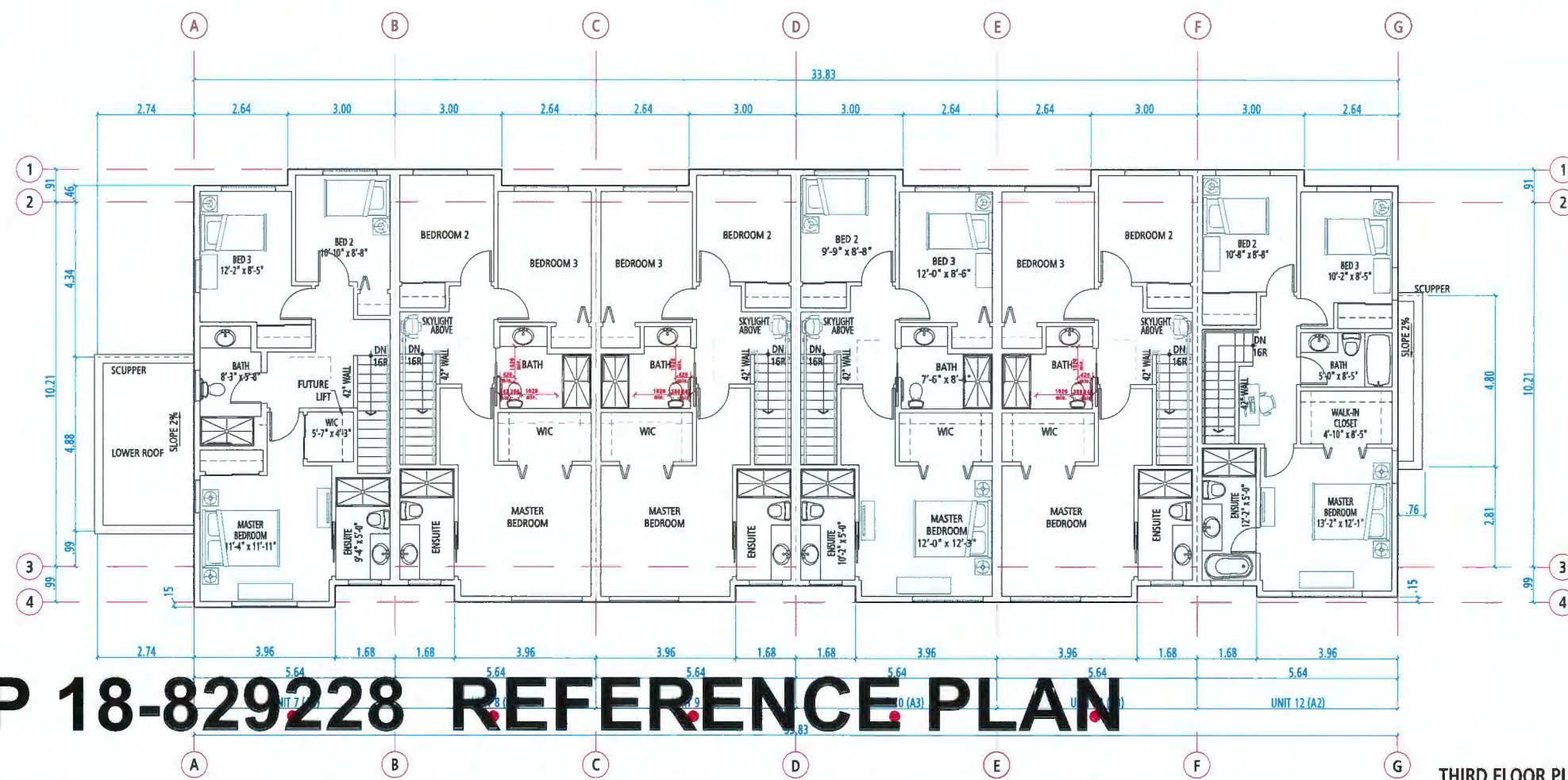
PLAN 9

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ROOF PLAN



THIRD FLOOR PLAN

PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
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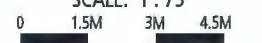
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FLOOR PLANS
BUILDING 2
 SCALE: 1:75



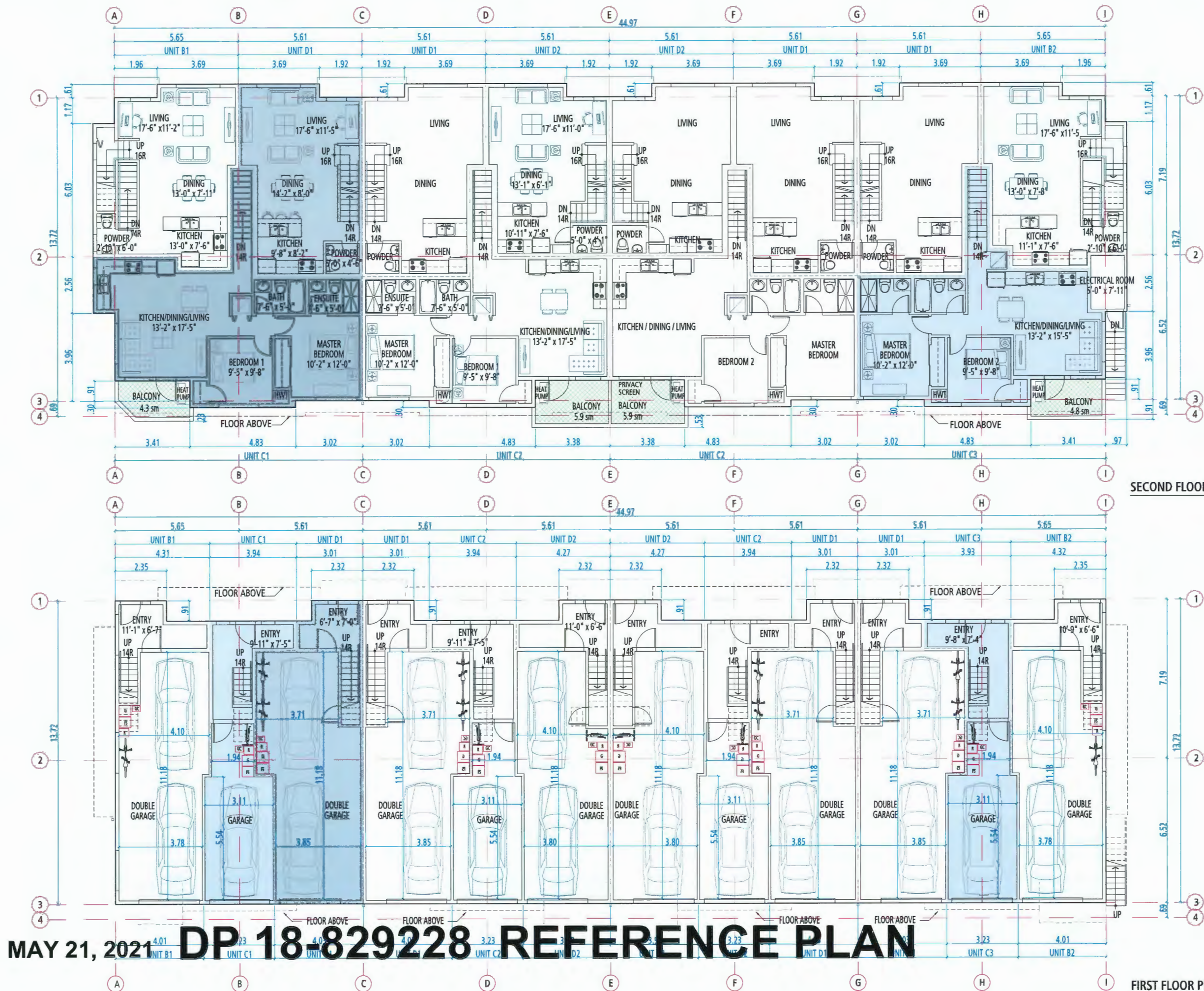
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PLAN 10

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PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:

- Blocking in bathroom walls for installation of grab-bars (beside toilet, tub and shower)
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SECOND FLOOR PLAN

FIRST FLOOR PLAN

23400, 23440,
23460, & 23500
**GATES
AVENUE**

for

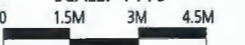


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**FLOOR PLANS
BUILDING 3-6**

SCALE: 1:75



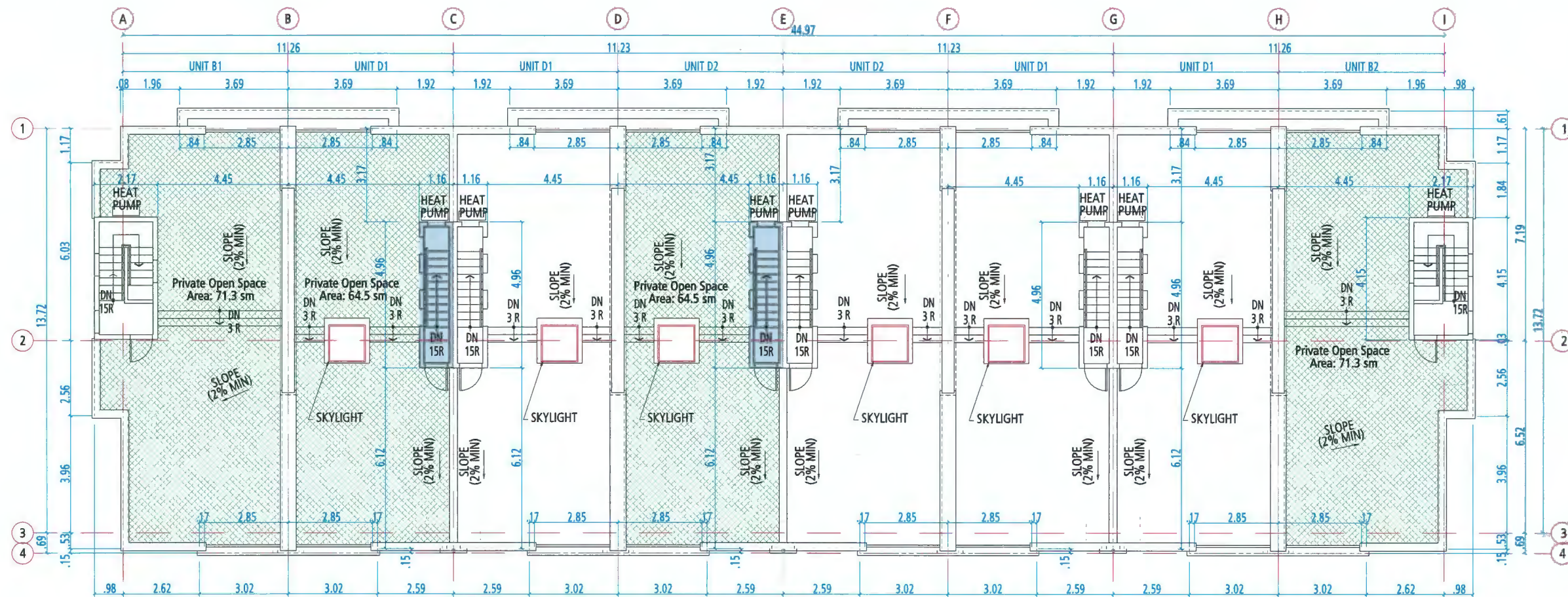
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PLAN 11

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PROVISION OF ACCESSIBILITY FEATURES "AGING-IN-PLACE" REQUIREMENTS ON ALL UNITS:

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- Provision of lever door handles for plumbing fixtures and door handles
- Stairwell Handrails
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Door from garage to living area minimum 2'-10" (swinging door spec.)

ACOUSTIC UPGRADES to mitigate noise exposure

- Bedroom 2 of Unit B2 in Buildings 3, 4, 5, & 6 requires 2 layers of 1/2" Gypsum Wall Board
- Window upgrade to a minimum OITC rating of 27 in the east and south facing windows of Bedroom 2 of units 24, 25, 48 and 49 of Buildings 4, 5 and 6

23400, 23440,
23460, & 23500

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for



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FLOOR PLANS BUILDING 3-6

SCALE: 1 : 75

0 1.5M 3M 4.5M

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PLAN 12

FIRST FLOOR PLAN

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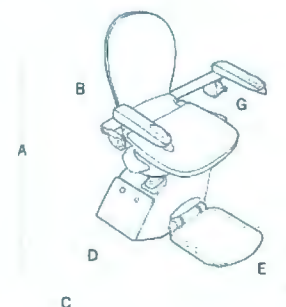


This floor plan illustrates a house layout with several accessibility features highlighted by red annotations:

- Deck:** A red dimension line indicates a width of 870. A red note states: "Window can be opened with a single hand."
- Living Area:** Features a sofa and armchairs.
- Dining Area:** Includes a dining table and chairs.
- Kitchen:** Contains a stove, oven, and sink. A red box highlights the sink area, with a red note: "cabinets underneath sink to be easily removed." Another red note near the sink states: "Window can be opened with a single hand."
- Powder Room:** Located near the kitchen.
- Laundry:** Includes a washing machine (labeled "HWT") and a dryer.
- Stairs:** An "UP" staircase is shown. A red dimension line indicates a width of 1016. A red note states: "walls reinforced with 2" x12" solid lumber at 914mm to centre."
- Bathroom:** Located near the stairs, featuring a toilet and a bathtub.

FIRST FLOOR

(3 Bedrooms End Units)



inch

A	Overall height	38.5
B	Height of Seat	17.25
C	Overall depth (from wall)	22.5
D	Overall depth (when folded)	12.25
E	Width of footrest	12.25
F	Overall width	23.25
G	Depth of seat	16

Specifications

Motor output speed	120mm/s 4.8inches per second - No greater than 0.15 meters per second
Method of drive	Rack and pinion
Power supply	24V DC (battery)
Maximum capacity	350lbs/158kg
Track	Extruded aluminium
Mains supply	50-60Hz, 100-240V AC

This stairlift is independently tested to comply with:

- BS EN 81-40:2008 - European safety standard - 'Specification for powered stairlifts'.
- CE mark - Acorn Stairlift meets the requirements of the applicable European Directive(s).
- ASME compliant for mechanical and electrical hazards - ASME A18.1 and A17.5.
- ISO 9386:2-2000 International standard for stairlifts.

* NOTE: Acorn, in keeping with its policy of continual development, reserves the right to change specification without notice. All measurements are approximate.

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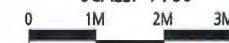


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CONVERTIBLE UNIT PLANS

SCALE: 1 : 50



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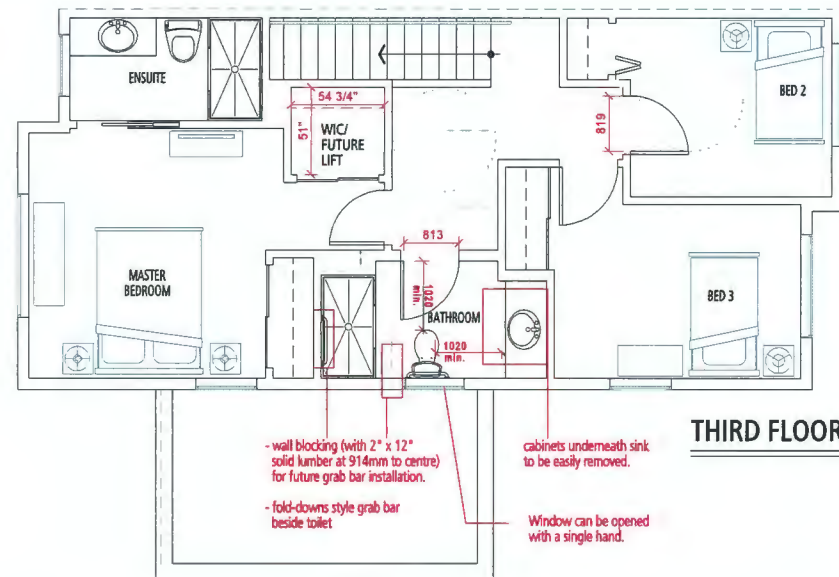
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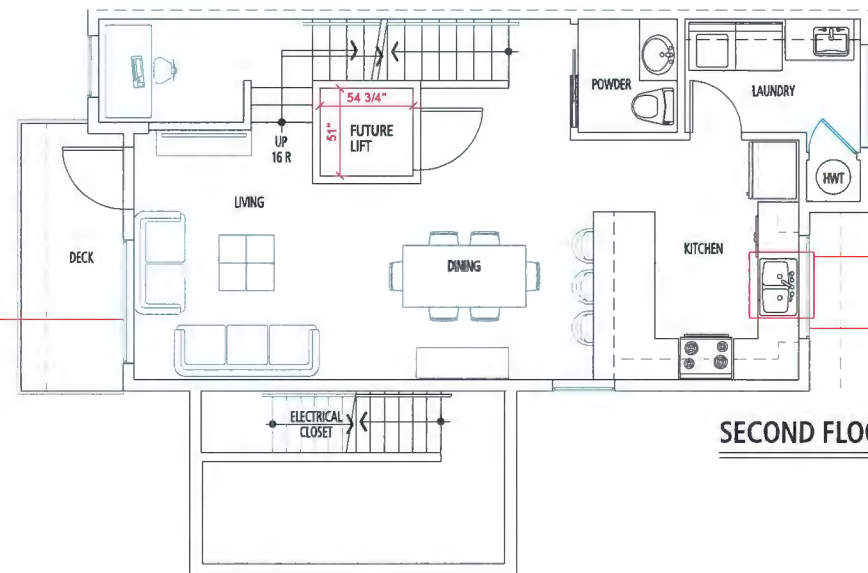
DP 18-829228 REFERENCE PLAN

Summary of the Convertible Unit Features

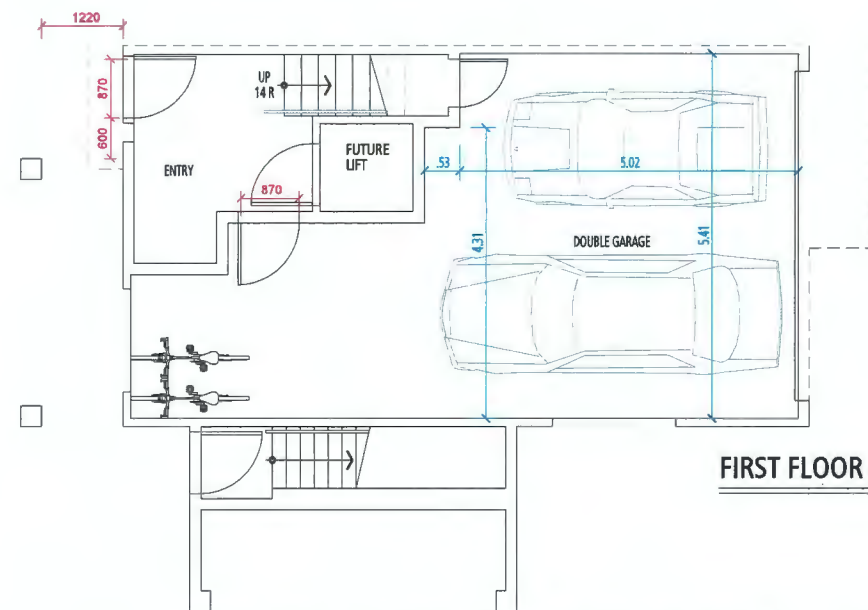
- Entry doors min. 863mm opening.
 - Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
 - Interior doors to entry & main living areas, min. 800 mm clear opening. (2'8"sliding or 2'10"swinging door spec.) with flush thresholds max.13mm height.
 - Patio/balcony min. 860mm clear opening
 - Lever-type handles for doors.
 - Elevator (if installed) per manufacturer spec.
 - Hallways minimum 900 mm width.
 - Door from garage to living area minimum 800 mm clear opening.
 - Min. 1 accessible parking space with min. 4 m garage width.
 - Toilet clear floor space min. 1020 mm at side and in front.
 - Wall blocking for future installation of grab-bars (toilet, tub and shower).
 - Lever-type handles for plumbing fixtures.
 - Pressure & temperature control valves on all shower faucets.
 - Clear area under future kitchen work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter).
 - 1500 mm turning diameter or turning path diagram in kitchen.
 - One window that can be opened with a single hand (bathroom, kitchen, living room).



THIRD FLOOR

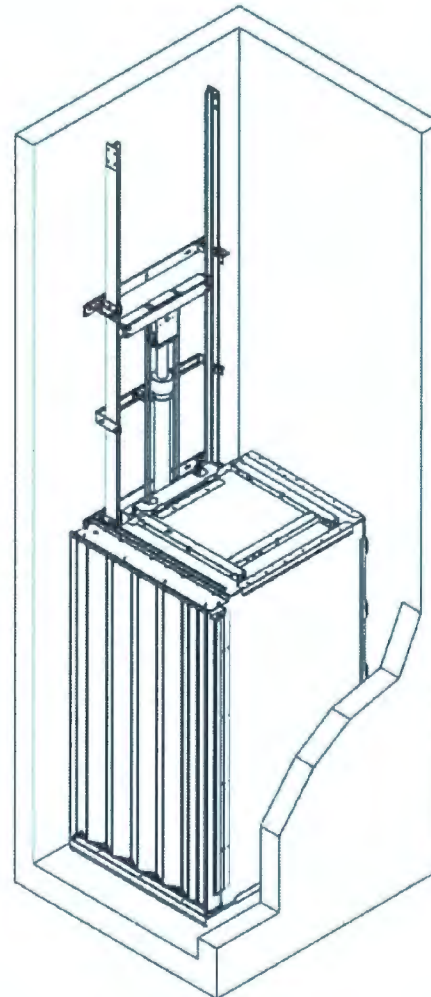


SECOND FLOOR

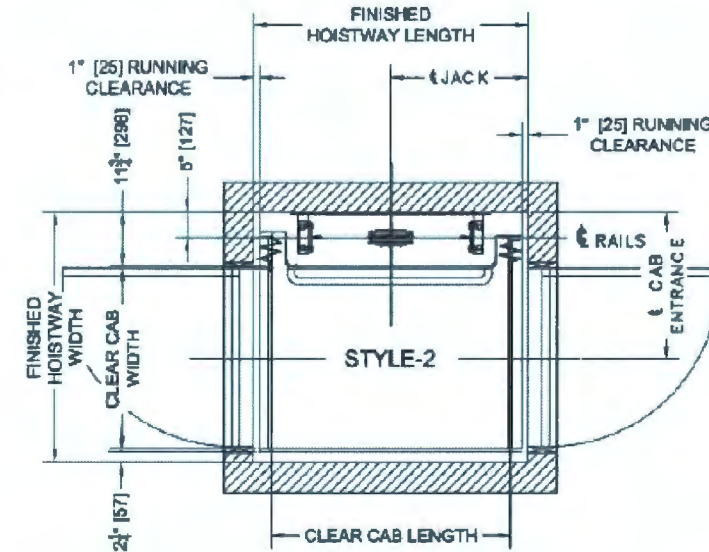


FIRST FLOOR

Garaventa Home Elevator Style 2 Standard Door Package



Hydraulic Drive System
(Accordion Gate Shown)



Style 2

Clear Cab Size	Hoistway Width	Hoistway Length	Jack Centerline	Entrance Centerline
36 x 48	51	54 3/4	27 3/8	30 1/4
36 x 54	51	60 3/4	30 3/8	30 1/4
36 x 60	51	66 3/4	33 3/8	30 1/4
40 x 54	55	60 3/4	30 3/8	34 1/4
42 x 60	57	73 1/2	36 3/4	36 1/4
48 x 60	63	73 1/2	36 3/4	42 1/4



Example of Fold-down Grab Bar



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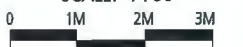


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**CONVERTIBLE
UNIT PLANS**

SCALE: 1 : 50



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(3 Bedrooms End Units)

REFERENCE PLAN

Summary of the Convertible Unit Guidelines for Townhouses

- Entry doors min. 863mm opening.
- Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
- Interior doors to entry & main living areas, min. 800 mm clear opening. (2'8" sliding or 2'10" swinging door spec.) with flush thresholds max. 13mm height.
- Patio/balcony min. 860mm clear opening.
- Lever-type handles for doors.
- Stair lift/elevator based on manufacturer's spec.
- Hallways minimum 900 mm width.
- Door from garage to living area minimum 800 mm clear opening.
- Min. 1 accessible parking space with min. 4 m garage width.
- Toilet clear floor space min. 1020 mm at side and in front.
- Wall blocking for future installation of grab-bars (toilet, tub and shower).
- Lever-type handles for plumbing fixtures.
- Pressure & temperature control valves on all shower faucets.
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