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## **Development Permit Panel**

**Council Chambers, City Hall  
6911 No. 3 Road**

**Wednesday, June 13, 2018  
3:30 p.m.**

### **MINUTES**

*Motion to adopt the minutes of the Development Permit Panel meeting held on May 30, 2018.*

- 1. DEVELOPMENT PERMIT 16-728670**  
(REDMS No. 5828465)

APPLICANT: Anwer Kamal

PROPERTY LOCATION: 6571 No. 4 Road (formerly 6571/6573 No. 4 Road)

#### **Director's Recommendations**

*That a Development Permit be issued which would permit the construction of six townhouse units at 6571 No. 4 Road on a site zoned “Town Housing (ZT60) – North McLennan (City Centre)”.*

- 2. DEVELOPMENT PERMIT 17-782861**  
(REDMS No. 5746584)

APPLICANT: Konic Development

PROPERTY LOCATION: 5660, 5680 and 5700 Williams Road

ITEM

**Director's Recommendations**

*That a Development Permit be issued which would permit the construction of six back-to-back duplexes at 5660, 5680 and 5700 Williams Road on a site zoned “Two-Unit Dwelling (ZD5) – Steveston/Williams”.*



**3. New Business**

**4. Date of Next Meeting:** June 27, 2018

**ADJOURNMENT**



# City of Richmond

Minutes

## Development Permit Panel Wednesday, May 30, 2018

Time: 3:30 p.m.

Place: Council Chambers  
Richmond City Hall

Present: John Irving, Chair  
Victor Wei, Director, Transportation  
Peter Russell, Senior Manager, Sustainability and District Energy

The meeting was called to order at 3:30 p.m.

### Minutes

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on May 16, 2018 be adopted.*

**CARRIED**

**1. Development Permit 17-772227**  
(REDMS No. 5727636)

APPLICANT: Interface Architecture Inc.

PROPERTY LOCATION: 11671 and 11691 Cambie Road

**INTENT OF PERMIT:**

1. Permit the construction of a 20 townhouse unit complex with driveway access from Cambie Road at 11671 and 11691 Cambie Road on a site zoned “Low Density Townhouses (RTL4)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - (a) reduce the minimum lot width on a major arterial road from 50.0 m to 43.3 m; and
  - (b) reduce the front yard setback to Cambie Road and rear yard setback to Mellis Drive from 6.0 m to 4.5 m.

## Development Permit Panel

### Wednesday, May 30, 2018

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#### **Applicant's Comments**

Ken Chow, Interface Architecture, provided background information on the proposed development and highlighted the following:

- the proposed townhouse site has a double frontage on Cambie Road and Mellis Drive;
- there is an existing 3-meter wide sanitary right-of-way (ROW) along the west property line and an existing 6-meter wide east-west sanitary (ROW) which bisects the site;
- a 3.5-meter wide public walkway is proposed in the east side of the subject development connecting Cambie Road and Mellis Drive;
- vehicle access was originally proposed at Mellis Drive but was relocated to Cambie Road due to neighbours' concern regarding potential increase in traffic and on-street parking along Mellis Drive;
- permeable pavers are proposed throughout the internal drive aisle and no direct vehicular access to Mellis Drive through the internal drive aisle is permitted;
- the two-storey end units fronting onto Mellis Drive provide an appropriate interface with the existing single-family homes to the west and across Mellis Drive;
- the north-south orientation of the townhouse buildings allow sunlight penetration into the proposed development;
- a cross access easement is proposed allowing access to/from the adjacent future development sites through the subject site;
- a Level 2 electric vehicle charging is proposed in each townhouse unit's garage;
- acoustic sound insulation measures are proposed to mitigate aircraft noise; and
- two convertible units are proposed for the project.

Meredith Mitchell, M2 Landscape Architecture, briefed the Panel on the main landscaping features of the project, noting that (i) a public art feature is being considered to be installed at the Cambie Road entrance to the public walkway due to its significant volume of pedestrian traffic, (ii) appropriate landscaping is proposed to address the grade changes from Cambie Road to Mellis Drive, (iii) neighbouring off-site trees will be retained and protected, (iv) a landscaped area including a feature tree is proposed at the north end of the drive aisle, (v) trees in movable planters and movable play structures are proposed in the outdoor amenity area which is located along the east-west sanitary ROW, (vi) permeable pavers are proposed at unit entries, and (vii) a slightly raised area is proposed on the north-south internal drive aisle adjacent to the outdoor amenity area for traffic calming.

## **Development Permit Panel**

### **Wednesday, May 30, 2018**

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In addition to his presentation, Mr. Chow noted that overlook and privacy concerns for the neighbouring homes have been properly addressed through (i) reducing the height of units adjacent to single-family homes from three to two storeys, (ii) incorporating solid fencing along the east and west property lines, and introducing visual screening through landscaping.

In response to queries from the Panel, the design team noted that (i) the provision of green space at the south end of the site was not a factor in the proposal for a reduction of rear yard setback to Mellis Drive, (ii) the proposed equipment for heating and cooling system will be located as far as possible from adjacent developments, and (iii) installing sod is proposed on lawn areas as it is more practical than seeding.

#### **Staff Comments**

Wayne Craig, Director, Development, advised that (i) the proposed variance to reduce the minimum lot width on a major arterial road is a technical variance, (ii) the proposed variance to reduce the front yard setback to Cambie Road and rear yard setback to Mellis Drive is a function of road dedication along Cambie Road as well as the provision of a public walkway along the eastern edge of the site, (iii) the two proposed variances were identified at rezoning stage and no comments were received at the Public Hearing, (iv) there will be a Servicing Agreement for frontage works along both road frontages and the provision of site services and the public walkway, and (v) the project has been designed in accordance with the City's Aircraft Noise policy and EnerGuide 82 requirement.

#### **Gallery Comments**

None.

#### **Correspondence**

Bryan and Isabel Alexander, 11880 Mellis Drive (Schedule 1)

In response to queries from the Panel regarding the concern of Mr. and Ms. Alexander on the proposed reduction of rear yard setback to Mellis Drive and the project's interface with the immediately adjacent single-family home to the west, the design team noted that (i) the reduced 4.5 meter rear yard setback to Mellis Drive is staggered and not uniform, (ii) the end units fronting Mellis Drive are designed to have a single-family scale, (iii) trees are not allowed to be planted within the 3-meter wide ROW along the west property line; however, a six-foot high wooden fence and hedging is proposed along the west property line, and (iv) the applicant will consider increasing the height of the hedging along the west property line to improve the project's interface with the adjacent single-family home to the west.

## Development Permit Panel

### Wednesday, May 30, 2018

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#### **Panel Discussion**

The Panel expressed support for the project, noting that (i) the applicant has provided public amenities especially the proposed public walkway which will enhance the accessibility of public transit for the neighbourhood, and (ii) the applicant should consult with the owner of the adjacent single-family home to the west for possible landscaping enhancement, e.g. increasing the height of hedging, to improve the project's interface with the adjacent single-family home.

#### **Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would:*

1. *permit the construction of a 20 townhouse unit complex with driveway access from Cambie Road at 11671 and 11691 Cambie Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *reduce the minimum lot width on a major arterial road from 50.0 m to 43.3 m; and*
  - (b) *reduce the front yard setback to Cambie Road and rear yard setback to Mellis Drive from 6.0 m to 4.5 m.*

**CARRIED**

#### **2. Development Variance 18-805801**

(REDMS No. 5731367)

APPLICANT: Darlene Dueckman, Mark Dueckman, John Goossen, Clayton Zwicker and Rita Gooding

PROPERTY LOCATION: 12431 McNeely Drive

#### **INTENT OF PERMIT:**

To issue a Development Variance Permit which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum front yard setback from 6.0 m to 1.8 m in order to permit the property to be subdivided to create five single-family lots, while retaining the existing dwelling on a property zoned "Single Detached (RS2/B)".

#### **Applicant's Comments**

Darlene Dueckman, 12431 McNeely Drive, spoke on the rationale for the proposed variance to reduce the minimum front yard setback in relation to the subdivision of the subject property into five single-family lots and read from her submission (attached to and forming part of these minutes as Schedule 2).

## **Development Permit Panel**

### **Wednesday, May 30, 2018**

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In response to a query from the Panel, Ms. Dueckman acknowledged that (i) the proposed variance will allow her family to retain the existing family home, and (ii) her family will be keeping a few of the subdivided lots for future development.

#### **Gallery Comments**

None.

#### **Correspondence**

None.

#### **Panel Discussion**

The Panel expressed support for the proposed variance, the subdivision of the subject property, and the preservation of the applicant's family home.

#### **Panel Decision**

It was moved and seconded

*That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum front yard setback from 6.0 m to 1.8 m in order to permit the property to be subdivided to create five single-family lots, while retaining the existing dwelling on a property zoned "Single Detached (RS2/B)".*

**CARRIED**

#### **3. Date of Next Meeting: June 13, 2018**

#### **4. Adjournment**

It was moved and seconded

*That the meeting be adjourned at 4:00 p.m.*

**CARRIED**

5.

**Development Permit Panel**  
**Wednesday, May 30, 2018**

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Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 30, 2018.

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John Irving  
Chair

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Rustico Agawin  
Committee Clerk

Schedule 1 to the Minutes of the Development Permit Panel meeting held on Wednesday, May 30, 2018.

PHOTOCOPIED

MAY 30 2018

& DISTRIBUTED

To Development Permit Panel
Date: May 30, 2018
Item # 1
Re:
DP 17-772227

**From:** CityClerk  
**Sent:** Wednesday, 30 May 2018 12:16  
**To:** 'Isabel Alexander'  
**Subject:** RE: Development Permit Panel Meeting May 30th 2018 - PERMIT 17-772227

Hello,

This is to acknowledge and thank you for your email. Please be advised that copies of your email will be provided to the Development Permit Panel this afternoon; also your email has been forwarded to Wayne Craig, Director, Development

Thank you again for taking the time to share your views.

Regards,  
Hanieh

Hanieh Berg | Acting Manager, Legislative Services  
City Clerk's Office | City of Richmond  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**From:** Isabel Alexander [<mailto:isabelha47@gmail.com>]  
**Sent:** Wednesday, 30 May 2018 11:29  
**To:** CityClerk  
**Subject:** Development Permit Panel Meeting May 30th 2018 - PERMIT 17-772227

DEVELOPMENT PERMIT 17-772227

APPLICANT: Interface Architecture Inc.

PROPERTY LOCATION: 11671 and 11691 Cambie Road

Regarding item:

2 (b) reduce the front yard setback to Cambie Road and rear yard setback to Mellis Drive from 6.0 m to 4.5 m.

To whom it may concern

From: Bryan and Isabel Alexander  
11880 Mellis Drive, Richmond  
[isabelha47@gmail.com](mailto:isabelha47@gmail.com)  
(604) 836-3602

We are against the reduction of rear-yard setback on Mellis Drive. We believe this will degrade the integrity of our mature neighbourhood and be detrimental to the visual symmetry with adjacent homes – especially the single-family homes on the south side of Mellis Drive



May 30<sup>th</sup> 2018

Applicant: Darlene Dueckman

Location: 12431 McNeely Drive

Schedule 2 to the Minutes of the Development Permit Panel meeting held on Wednesday, May 30, 2018.

Thankyou Richmond Development Permit Panel for letting me speak today

A VARIANCE is required for our Long time Family Home to be permitted to continue being our Family home on MCNEELY DRIVE and to SUBDIVIDE the property into 5 LOTS

My Family have owned and have lived and still live in the home since My Dad built the house in the mid-1960s. Our lot was a full acre at that time and the house was built with the required setbacks.

In 1992 we had agreed to dedicate the east 10.2 meters on McNeely Dr., the south 4 meters on Cameron Dr. (a total of 4200 sq. ft.) To fit into the community plan. Which we do fit in that plan.

In 1992 our lot changed from a full Acre to 0.8 of an acre. The lot sales history shows a \$1.00 sale purchase price for 0.2 of the Acre (4200.sq ft.) to the City of Richmond.

With the New updated surveyors report, Cameron Drive is too close to our home.

Which is why we need the Variance Approved by you to keep the home until we rebuild and to Allow the Subdividing into the 5 lots.

Thankyou



Darlene Dueckman

Clayton Zwicker



# City of Richmond

## Report to Development Permit Panel

**To:** Development Permit Panel

**Date:** May 22, 2018

**From:** Wayne Craig  
Director, Development

**File:** DP 16-728670

**Re:** **Application by Anwer Kamal for a Development Permit at 6571 No. 4 Road  
(formerly 6571/6573 No. 4 Road)**

### Staff Recommendation

That a Development Permit be issued which would permit the construction of six townhouse units at 6571 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".

  
Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 4

**Staff Report****Origin**

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571 No. 4 Road (formerly 6571/6573 No. 4 Road). The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing (ZT-60) – North McLennan (City Centre)” for this project under Bylaw 9491 (RZ 11-578758), which received Third Reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

**Background**

This project was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. A copy of the original report to Development Permit Panel with the associated Development Permit drawings, dated August 22, 2017, is attached to this report (Attachment A).

The Development Permit endorsed by Development Permit Panel on September 13, 2017 includes the protection and retention of a 42 cm calliper Western Red Cedar tree located at the southwest corner of the site. However, during the site preparation stage, prior to final adoption of the rezoning bylaw and issuance of the Development Permit, Tree Group staff noticed that the tree protection fencing had been pushed up against the tree and that the protected Western Red Cedar tree is damaged due to preload lock-blocks located approximately 0.3 m from the tree. Both the City’s Tree Preservation Coordinator and the project arborist agreed that the Western Red Cedar tree is dying as a result of preloading within the required tree protection zone; and that this tree should be removed. A report submitted by the project arborist can be found in Attachment B.

The Tree Group has issued two Municipal Ticket Information Notices to the property owner totalling \$1,750 and two Municipal Ticket Information Notices to the pre-load contractor totalling \$1,750. The total fine is \$3,500. In addition, as compensation to the damages made to the protected tree, the applicant is proposing to:

- plant a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site;
- upsize the proposed Austrian Black Pine trees from 3.5 m to 4.5 m high;
- increase the pot sizes of shrubs and perennials; and
- upsize the height of the proposed Emerald Green Cedar along the side and rear property lines from 5 ft. to 6 ft.

A new Tree Management Plan and Landscape Plan are attached to the revised Development Permit Drawings.

**Findings of Fact**

In addition to the replacement of the Western Red Cedar tree and upsizing of proposed planting materials, the following changes to the Development Permit application are proposed:

- Change of site grade at the southwest corner of the site (i.e., where the tree well required to protect the 42 cm calliper Western Red Cedar tree was located) to match the proposed site grade of the adjacent yard areas, and integrate this space into the adjacent private yard space and the adjacent common area.
- Removal of one surface parking stall adjacent to the northwest corner of the internal drive aisle to allow the relocation of the hydro kiosk, as per BC Hydro's request. The proposed numbers of residential and visitor parking spaces are still in compliance with the bylaw. Please refer to the attached Development Application Data Sheet (Attachment C) for a comparison of the proposed development data with the relevant bylaw requirements.
- Planting of one additional tree at the original hydro kiosk location along the south property line.
- Minor amendments to the window openings to meet Building Code requirements.

All proposed changes to the Development Permit application are highlighted with red clouds on the attached Development Permit drawings.

**Staff Comment**

The applicant is proposing to replace the dying 42 cm calliper Western Red Cedar tree located at the southwest corner of the site with a new 40 cm calliper Western Red Cedar tree at the northeast corner of the site. This proposal has been reviewed and accepted by the City's Tree Preservation Coordinator. As fines have been issued to the owner and the pre-load contractor already, no additional compensation is requested.

In order to ensure the landscaping works are undertaken, the applicant is required to provide a landscape security of \$123,828.00 with the Development Permit. Since large specimen trees, in general, have a lower survival rate, a Tree Survival Security will be required as part of the Landscape Letter of Credit, as a condition to Development Permit issuance to ensure that the new trees to be planted on site will be protected. The City will release 80% of the security after construction and landscaping on the proposed townhouse complex are completed and inspections are approved. The remaining 20% of the security would be released two years later, subject to inspection.

It is also noted that, due to the elimination of a surface parking space and the tree well with associated stairs, the lot coverage of landscaping with live plant materials will be increased from 25.5% to 26.4%.

### **Conclusions**

The applicant had presented a development that meets applicable policies and Development Permit Guidelines, and this development proposal was given favourable consideration by the Development Permit Panel at its meeting held on September 13, 2017. To rectify a tree preservation issue, the applicant has proposed minor changes to the development, and has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment D. Staff have no objection to the proposed revisions. On this basis, staff recommend support of this Development Permit application.



Edwin Lee  
Planner 1  
(604-276-4121)

EL:blg

Attachment A: Report to Development Permit Panel (August 22, 2017)

Attachment B: Arborist Letter

Attachment C: Development Application Data Sheet

Attachment D: Development Permit Considerations



**City of  
Richmond**

**Report to Development Permit Panel**

**To:** Development Permit Panel

**Date:** August 22, 2017

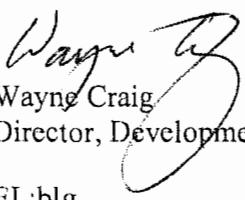
**From:** Wayne Craig  
Director, Development

**File:** DP 16-728670

**Re:** Application by Anwer Kamal for a Development Permit at 6571/6573 No. 4 Road

**Staff Recommendation**

That a Development Permit be issued which would permit the construction of six townhouse units at 6571/6573 No. 4 Road on a site zoned "Town Housing (ZT60) – North McLennan (City Centre)".

  
Wayne Craig

Director, Development

EL:blg  
Att. 2

**Staff Report****Origin**

Anwer Kamal has applied to the City of Richmond for permission to develop six townhouse units at 6571/6573 No. 4 Road. The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing (ZT-60) – North McLennan (City Centre)” for this project under Bylaw 9491 (RZ 11-578758), which received third reading following the Public Hearing on December 15, 2015. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

**Development Information**

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

**Background**

Development surrounding the subject site is as follows:

- To the north, a 12-unit townhouse complex at 6551 No. 4 Road with access from No. 4 Road. A Cross-Access Easement is registered on Title of 6551 No. 4 Road to provide vehicle access to the subject site.
- To the south, right-in only driveway to A. R. MacNeill Secondary School and parking lots for the school. The school site is zoned “School & Institutional Use (SI)”.
- To the east, across No. 4 Road, large single-family lots zoned “Agriculture (AG1)” located within the Agriculture Land Reserve (ALR).
- To the west, a landscaped area and internal drive aisle within the A. R. MacNeill Secondary School property.

**Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site was held on December 15, 2015. No concerns regarding the rezoning application was expressed at the Public Hearing.

**Staff Comments**

The Official Community Plan (OCP) designates the subject property as “Neighbourhood Residential” (i.e., areas where the principal uses are single-family, two-family and multiple-family housing). The City Centre Area, McLennan North Sub-Area Plan (Schedule 2.10C), designates the property as “Residential Area 3” for two-family dwelling and two-storey & three-storey townhouses with 0.65 base floor area ratio (FAR). The proposed two-storey and three-storey townhouse development will comply with both the OCP and the McLennan North Sub-Area Plan land use designations.

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Town Housing (ZT-60) – North McLennan (City Centre)” zone.

### **Advisory Design Panel Comments**

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

### **Analysis**

#### *Conditions of Adjacency*

- Both the form and massing of the proposed development are consistent with the existing surrounding townhouse developments which are comprised of two-storey and three-storey townhouses.
- Two-storey end units would be in keeping with the character of adjacent townhouse development to the north.
- An ALR buffer is proposed along the No. 4 Road frontage (see details in the *Landscape Design and Open Space Design* section below).
- A 1.8 m tall wood fence and four new trees are proposed along the north property lines to provide some privacy screening between the proposed development and the existing townhouse development to the north.
- No tree planting is permitted along the west property line on existing statutory right-of-way (SRW) for sanitary sewer.
- A 1.8 m tall wood fence is proposed to be installed on top of an approximately 1.2 m tall retaining wall along the west property line between the parking lot of A. R. MacNeill Secondary School and the subject site. This interface with the A.R. MacNeill Secondary School is consistent with the interface provided between the adjacent development to the north (at 6551 No. 4 Road) and the school.
- A 0.9 m tall metal picket fence is proposed to be installed on top of an approximately 1.0 m tall retaining wall along the south property line between the entry driveway and walkway of A. R. MacNeill Secondary School and the subject site. A 2.4 m tall trellis with 1.5 m tall solid fence is also proposed at the end of the drive aisle to screen the headlight glare from the townhouse development onto the school driveway.
- Landscaping is also proposed on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse site from the school. A landscape plan prepared by a registered landscape architect will be required prior to Development Permit issuance to the satisfaction of the Richmond School District.

- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

#### ***Urban Design and Site Planning***

- The proposal consists of six units provided in two townhouse clusters. Three units will have direct access from the street and three units will have access from the internal drive aisle.
- The proposal provides for a pedestrian-oriented streetscape fronting No. 4 Road with a landscaped edge treatment, low metal fencing, and metal gates to the street fronting units. A separate pedestrian entrance from No. 4 Road to the development site is proposed along the south property line.
- Vehicle access will be through the existing access easement registered on the neighbouring townhouse development to the north at 6551 No. 4 Road. No direct vehicle access to No. 4 Road is permitted for the subject site.
- The number of residential parking spaces proposed for this townhouse development exceeds the minimum parking requirement within the City Centre area, and all units will have two vehicle parking spaces.
- Tandem parking is permitted under the ZT60 zone, and two out of six townhouse units will have tandem garages (four tandem stalls in total). A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area will be secured as a condition of rezoning approval.
- Two visitor parking spaces are proposed, which meet the minimum bylaw requirement.
- Both residential and visitor bicycle parking are provided in compliance with the zoning bylaw minimum requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines ( $30\text{ m}^2$  per unit) of the OCP. All units have private outdoor spaces consisting of front or rear yard and balconies on the second floors.
- Outdoor amenity space is proposed at the southeast corner of the site for maximum casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space is appropriate in providing open landscape and amenity space convenient to all units.
- Additional outdoor amenity space (10% of the site area) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as a walkway and landscaped areas throughout the site.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the west (rear) building to minimize the visual impact of these enclosures.

#### ***Architectural Form and Character***

- The proposed building design is compatible to the adjacent townhouse development to the north. The architectural language proposed for the development is similar to conventional single-family homes with slope roofs.

- A pedestrian scale is generally achieved along the public streets and internal drive aisle through the inclusion of variation in building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- The overall appearance of the proposal conforms to the design guidelines of the North McLennan area and should fit in well with the character of the surrounding area.
- The proposed building materials (asphalt roof shingles, hardi-siding/panel with trim) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the character of the surrounding neighbourhood.

#### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage: one 42 cm calliper Western Red Cedar tree located at the southwest corner of the site will be protected and retained on-site. To ensure that this tree will be protected, no landscape security for the proposed development will be returned until the post-construction assessment report confirming the protected tree survived the construction, prepared by the Arborist, is reviewed and approved by staff.
- Based on the 2:1 tree replacement ratio goal stated in the OCP, two replacement trees are required for the removal of one tree. The applicant is proposing to plant eight new trees on-site, including three conifers and five deciduous trees.
- An agricultural landscape buffer is required within the subject site, along the eastern edge of the No. 4 Road frontage. The buffer is intended to mitigate land use conflicts between the residential uses on the subject site and any agricultural land uses east of No. 4 Road. The landscape proposal was referred to the Agricultural Advisory Committee (AAC) on September 24, 2015 for their review and comments. Overall, the AAC was supportive of the proposal, but requests that the proposed Heavenly Bamboo be replaced as it is considered an invasive species. The landscape architect has replaced this plant species with Rhododendron on the final landscape plan.
- Along No. 4 Road, several types of low hedges, small trees and some small ornamental grasses are proposed to create layered landscape with rich texture and colour contrast and year round visual interest.
- Adjacent to the school driveway, low metal picket fencing is proposed along the south property line and a trellis is proposed at the terminus of the internal driveway to provide strong spatial definition
- Each unit will have a private yard with landscaping, a small lawn area and/or a small patio. Various hedges, shrubs and ground covers, as well as perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A children's play area designed for children aged two to five years old is proposed for the outdoor amenity area. The play equipment includes a playhouse and two spring toys which were chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. Two benches are provided within the outdoor amenity space for caregivers.

- Surface parking stalls and pedestrian walkways will be treated with permeable pavers for better water infiltration and variety in paving surfaces. Pavers proposed for the internal drive aisle and visitor parking stalls match the colour scheme used on the adjacent townhouse site for consistency. Salmon colored pavers are proposed on the surface residential parking stalls to differentiate the residential parking stalls from the visitor parking stalls.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$100,049.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$6,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

#### ***Crime Prevention Through Environmental Design***

- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

#### ***Sustainability***

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.

#### ***Accessible Housing***

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit A1A of the street fronting building (east building)) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusion**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that meet applicable policies and Development Permit Guidelines, and fits into the existing context. The applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2. On this basis, staff recommend support of this Development Permit application.

Edwin Lee  
Planner 1  
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet  
Attachment 2: Development Permit Considerations



**City of  
Richmond**

**Development Application Data Sheet**  
Development Applications Department

**DP 16-728670**

**Attachment 1**

Address: 6571 and 6573 No. 4 Road

Applicant: Anwer Kamal Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m<sup>2</sup> Floor Area Net: 690.4 m<sup>2</sup>

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	1,115 m <sup>2</sup>	1,091m <sup>2</sup> (net after road dedication)
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Area Plan Designation:</b>	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
<b>Zoning:</b>	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)
<b>Number of Units:</b>	2	6

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m <sup>2</sup>	1,091 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	12 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none

Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 6 units = 36 m <sup>2</sup>	36.7 m <sup>2</sup>	none



**City of  
Richmond**

ATTACHMENT 2

## **Development Permit Considerations**

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6571/6573 No. 4 Road

**File No.:** DP 16-728670

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Submission of a landscape plan prepared by a registered landscape architect identifying landscaping to be planted on the A. R. MacNeill Secondary School, along the west and south property line of the subject site, to screen the view of the proposed retaining walls on the townhouse development from the school.
3. Receipt of a Letter-of-Credit for landscaping and tree survival in the amount of \$100,049.00. No landscaping and tree survival security will be released until:
  - a) a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted;
  - b) an Arborist Post Construction Impact Assessment Report, confirming survival of the protected tree, has been submitted; and
  - c) physical inspection has been undertaken by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements:
  - a) Water Works:
    - i. Using the OCP Model, there is 651 L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
    - ii. The Developer is required to:
      - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
      - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
    - iii. At the Developer's cost, the City will:
      - Cut and cap at main the existing water service connection at No. 4 Road frontage.
      - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
  - b) Storm Sewer Works:
    - i. At the Developer's cost, the City will:
      - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
      - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.
  - c) Sanitary Sewer Works:
    - i. The Developer is required to:
      - Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.

Initial: \_\_\_\_\_

- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.
- d) Frontage Improvements:
- i. The Developer is required to:
    - Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
    - Provide street lighting along No. 4 Road frontage.
    - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
      - 1) BC Hydro PMT – 4mW X 5m (deep)
      - 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
      - 3) Street light kiosk – 1.5mW X 1.5m (deep)
      - 4) Traffic signal kiosk – 1mW X 1m (deep)
      - 5) Traffic signal UPS – 2mW X 1.5m (deep)
      - 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
      - 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
- e) General Items:
- i. The Developer is required to:
    - Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
    - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
  2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
  3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
  4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
  5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
  6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.  
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.  
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date



# City of Richmond

## Development Permit

No. DP 16-728670

To the Holder: ANWER KAMAL

Property Address: 6571 AND 6573 NO. 4 ROAD

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 – 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$100,049.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 16-728670**

To the Holder: ANWER KAMAL

Property Address: 6571 AND 6573 NO. 4 ROAD

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 – 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ,  
DAY OF ,

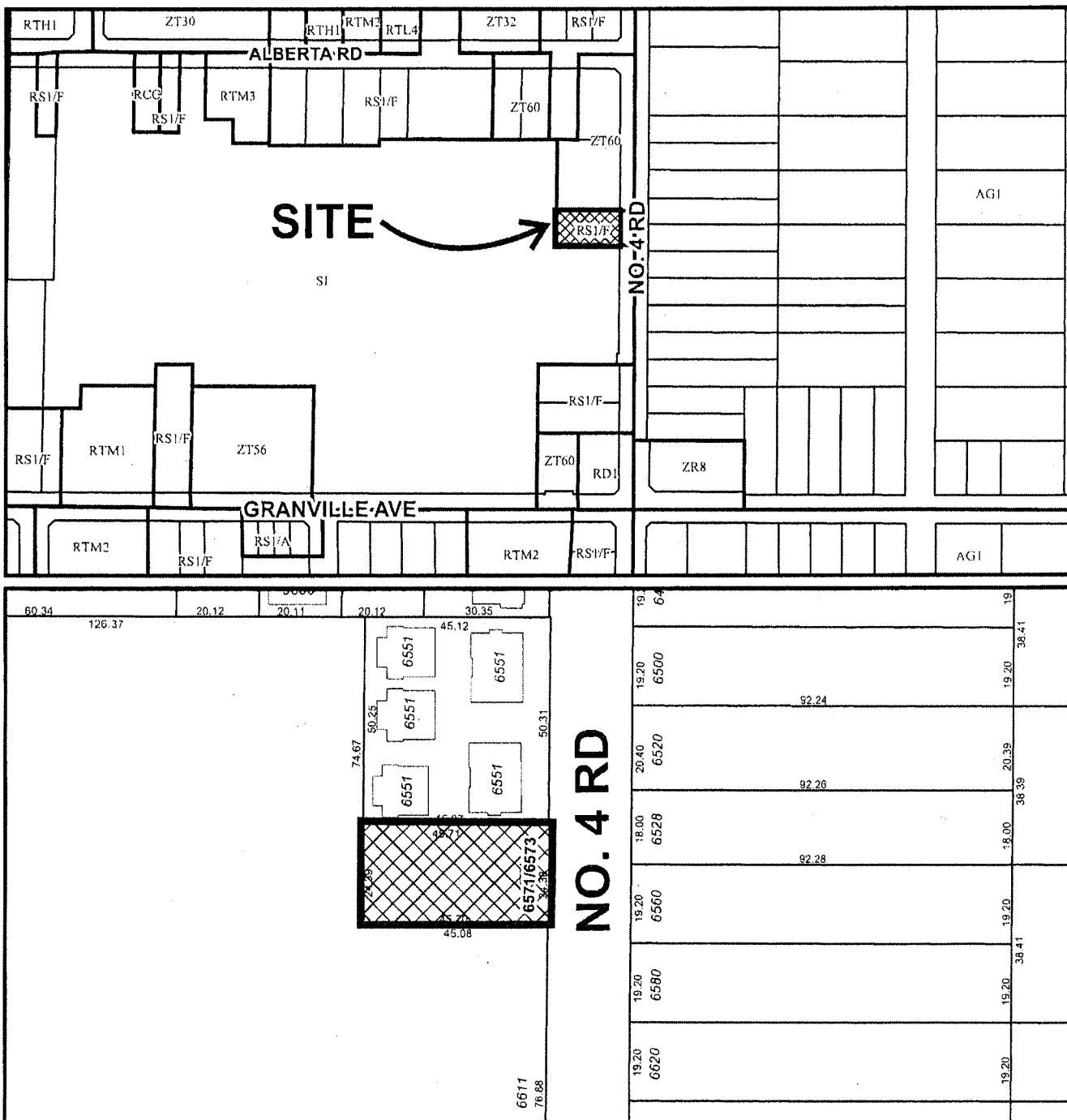
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF ,

MAYOR



# City of Richmond



**DP 16-728670  
SCHEDULE "A"**

Original Date: 04/15/16  
Revision Date: 08/17/17  
  
Note: Dimensions are in METRES

# PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6573 NO. 4 ROAD, RICHMOND, BC

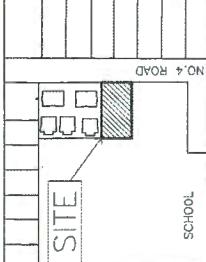
## DEVELOPMENT DATA

(A) CMC ADDRESS:  
 (B) LEGAL DESCRIPTION:  
 LOT 65 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST  
 NEW WESTMINSTER DISTRICT PLAN 46723  
 1,114 SQ M (11,991 SF) (BEFORE ROAD DEDICATION)  
 1,091 SQ M (11,743 SF) (AFTER ROAD DEDICATION)  
 CURRENT: RS1/F, PROPOSED: ZT60

## CURRENT ZONING (UNDER RS1/F ZONING)

### PROPOSED REZONING (ZT60)

	CURRENT ZONING (UNDER RS1/F ZONING)	PROPOSED REZONING (ZT60)	PROPOSED
(E) FLOOR AREA RATIO	0.55 TO 454.5 SQ M	0.65	0.633
	D.3 TO REST OF SITE AREA	TOTAL GROSS FLOOR AREA	0.7432 SF NET GROSS FLOOR AREA
		(7,433 SF)	
(F) NUMBER OF UNIT:	1 PER LOT	6 UNITS	
(G) BUILDING COVERAGE:	MAX - 45%	40.0% (4702 SQ. FT.)	
(H) BUILDING HEIGHT:	MAX HEIGHT - 9M	BUILDING HEIGHT - 10.8M (35.7')	
(I) SETBACK:	FRONTYARD - 6M NORTH AND SOUTH SIDEYARD - 3M REAR YARD - 3M	FRONTYARD FACING NO. 4 RO - 6M (TO NEW PROPERTY LINE) NORTH SIDEYARD - 3.11M (10'2") SOUTH SIDEYARD - 3.54M (11'7") REAR YARD - 3.16M (10'4")	
(J) PARKING:	2 PER DWELLING UNIT	RESIDENTIAL PARKING: 6 REGULAR PARKING 0.2 VISITOR PARKING / UNIT X6 = 2 TOTAL = 11 REQUIRED ZT60 ZONING ALLOW TANDEM PARKING	2 TANDEM PARKING (4 REGULAR) 2 SMALL PARKING (SURPLUS) VISITOR PARKING: BICYCLE VISITOR BIKE RACK 2 TOWNHOUSE 8 (INSIDE GARAGE)
		VISITOR BICYCLE 0.2 PER DWELLING UNIT X6= 2 RESIDENTIAL BIKE STORAGE 1.25 PER DWELLING UNIT X6=8	
			OUTDOOR AMENITY SPACE PROVIDED: CHILDREN PLAYGROUND: 36.7 SQ M 395 SQ. FT. TOTAL LINE PLANT / LAWN AREA: 2998 SQ. FT. / 11743 SQ. FT. = 25.5%
		65M PER UNIT X6= 36 SQ M (382SF)	TOTAL NON POROUS AREA: 8697 SQ. FT. / 11743 SQ. FT = 56.7%



## DRAWING LIST

- A1—DEVELOPMENT SUMMARY
- A1A—UPGRADE NOTE
- A2—SITE PLAN (1/1)
- A2A—SITE PLAN ENVELOPE
- A3—PARKING PLAN
- A4—UNIT PLANS
- A5—UNIT PLANS
- A6—ELEVATIONS & SECTIONS
- A8—ELEVATIONS COLOR
- A9—OPEN SPACE AREA
- A10—OPEN SPACE AREA
- A11—FAR DIAGRAM

## LOCATION MAP

PROJECT NUMBER: 17-03  
 ISSUED BY: CL  
 CHECKED BY: CL  
 RELEASE DATE: 12-03-2017  
 DRAWING: 16-728670

PROPOSED TOWNHOUSE  
 6571-6573 NO. 4 RD  
 RICHMOND BC

## DEVELOPMENT SUMMARY

PROJECT NUMBER: 17-03  
 ISSUED BY: CL  
 CHECKED BY: CL  
 RELEASE DATE: 12-03-2017  
 DRAWING: 16-728670

A1

DEVELOPMENT PERMIT

DP 16-728670

AUG 22 2017

PLAN #1  
 DP 16-728670

AUG 22 2017

PLAN #1  
 DP 16-728670

AUG 22 2017

PROPOSED TOWNHOUSE  
 6571-6573 NO. 4 RD  
 RICHMOND BC

## DEVELOPMENT SUMMARY

PROJECT NUMBER: 17-03  
 ISSUED BY: CL  
 CHECKED BY: CL  
 RELEASE DATE: 12-03-2017  
 DRAWING: 16-728670

SITE PLAN WITH ADJACENT LOTS

NTS

**SUMMARY OF ENERGUIDE 82 REPORT: REFER DETAIL TO ENERGUIDE RATING  
REPORT PREPARED BY E3 ECO GROUP INC DATED JULY 10, 2017**

**Proposed Policy Compliance Construction Specifications Review:** Row Houses (middle & end units)

All construction specifications are compliant with BCBC Code Sections 936 and 932 and all upgrades beyond the Base Case are listed below in **BOLD**:

<b>Slab on Grade</b>	R12 full under slab insulation and R12 slab edge insulation
<b>Above Grade Wall Construction</b>	2x6 @ 16" o.c. R22 insulation
<b>Door Specification</b>	Fliegers or metal-linings/polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacers; & open gas fill; picture windows; maximum U.S. .70
<b>Ventilation Specification</b>	Heat Recovery Ventilator (HRV) SITE@C45/SRE@25Cf; distribution 5.5 ACH@50Pa; an estimate based on typical local construction. Refer to Notes 3, below
<b>Air Tightness</b>	All source heat pump (7.1 SEER and 10.5 SEER minimum) with electric resistance heater in fan coil as back up
<b>Space Heating System</b>	Energy Star® rated; 190kW/h/year credit
<b>Energy Credits:</b>	50% of lighting is Energy Star® rated; 190kW/h/year credit
<b>Low energy lighting</b>	Energy Star® refrigerator, dishwasher and clothes washer; 95kW/h/year credit
<b>Energy Star appliances</b>	All units must comply with the BC Solar Hot Water Ready Regulation (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)
<b>Solar Hot Water Ready</b>	

**SUMMARY OF THERMAL REPORT: REFER DETAIL TO THERMAL COMFORT REPORT  
PREPARED BY ENERSOLV DATED SEPTEMBER 9, 2016**

**CONCLUSION**

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE 55 standards and International Standards Organization (ISO) 7730.

**PLAN # 1A**

**DP 16-728670 AUG 22-2017**

The locations of required window upgrades have been indicated on the architectural elevation plan as shown in Figure 4.

All of the windows should be specified to meet the A3 performance rating for Air Tightness found in the CSA Standard CAN/CSA-A640. On a separate section, any other window ratings required by OVC rating as acceptable. Where a single laminated pane is specified and if there is no wind load rating, the manufacturer's plans should be installed on the inside side of the building since a sound performance envelope is a sound temperature demand. Note that the OVC rating is often with pane dimensions. As such, any part of a pane specified to window pane A3 or higher or separating air space thicknesses adopted for this project. Any increases in window pane thickness or separating air space thicknesses adopted in item above is to acceptable. Effective weatherstripping should be installed on the exterior door.

**4. Certification of Test/Plan**

There is also a requirement in Richmond's Residential Covenant that the building can not be occupied until Registered Professionals approved by Richmond Planning and Development Manage certifies that the building has been constructed in accordance with the designs reviewed and the recommendations of the approved acoustic report as stated in our proposal dated February 17, 2016.

**SUMMARY OF ACOUSTIC UPGRADE: REFER DETAILS TO ACOUSTICAL REPORT  
PREPARED BY BKL CONSULTANTS DATED JULY 22, 2016**

**1. Roof Assembly**

The proposed roof construction is assumed to be:

asphalt shingles

1/2" plywood sheathing

pre-engineered wood truss

R20 batt insulation

1 layer 5/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

**2. Exterior Wall**

The proposed exterior wall construction assumed to be:

Location: Level 1

Hard panel siding

1/2" sheathed sheathing

2 x 6 wood studs @ 16" o.c.

R20 batt insulation

1/2" Type X gypsum wall board

Location: Levels 2 and 3

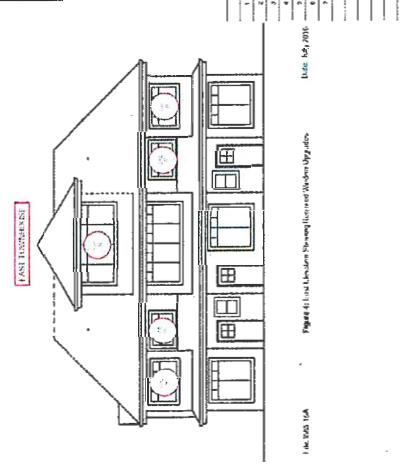
Vinyl siding

2 x 6 wood studs @ 16" o.c.

R20 batt insulation

1/2" Type X gypsum wall board

will provide adequate noise isolation to all interior spaces except for all east facing bedrooms in the first two houses with direct exposure to No. 2 Road. These bedrooms require an additional layer of 1/2" type X gypsum wall board on all north, south, and east walls.



**SUMMARY OF THERMAL REPORT: REFER DETAIL TO THERMAL COMFORT REPORT  
PREPARED BY ENERSOLV DATED SEPTEMBER 9, 2016**

**CONCLUSION**

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE 55 standards and International Standards Organization (ISO) 7730.

**PROPOSED TOWNHOUSE**

**6571-6573 NO. 4 RD  
RICHMOND BC**

**UPGRADE NOTES**

**PROJECT: KINGSBURY 1-2-3-5-6  
B1/2/2017**

**ISSUE DATE: BY  
12/1/2017**

**EXPIRE DATE: BY  
12/1/2018**

**FILE NUMBER: 27-2017-0021-00-PMO**

**A1A**

**DP 16-728670 . DEVELOPMENT PERMIT**

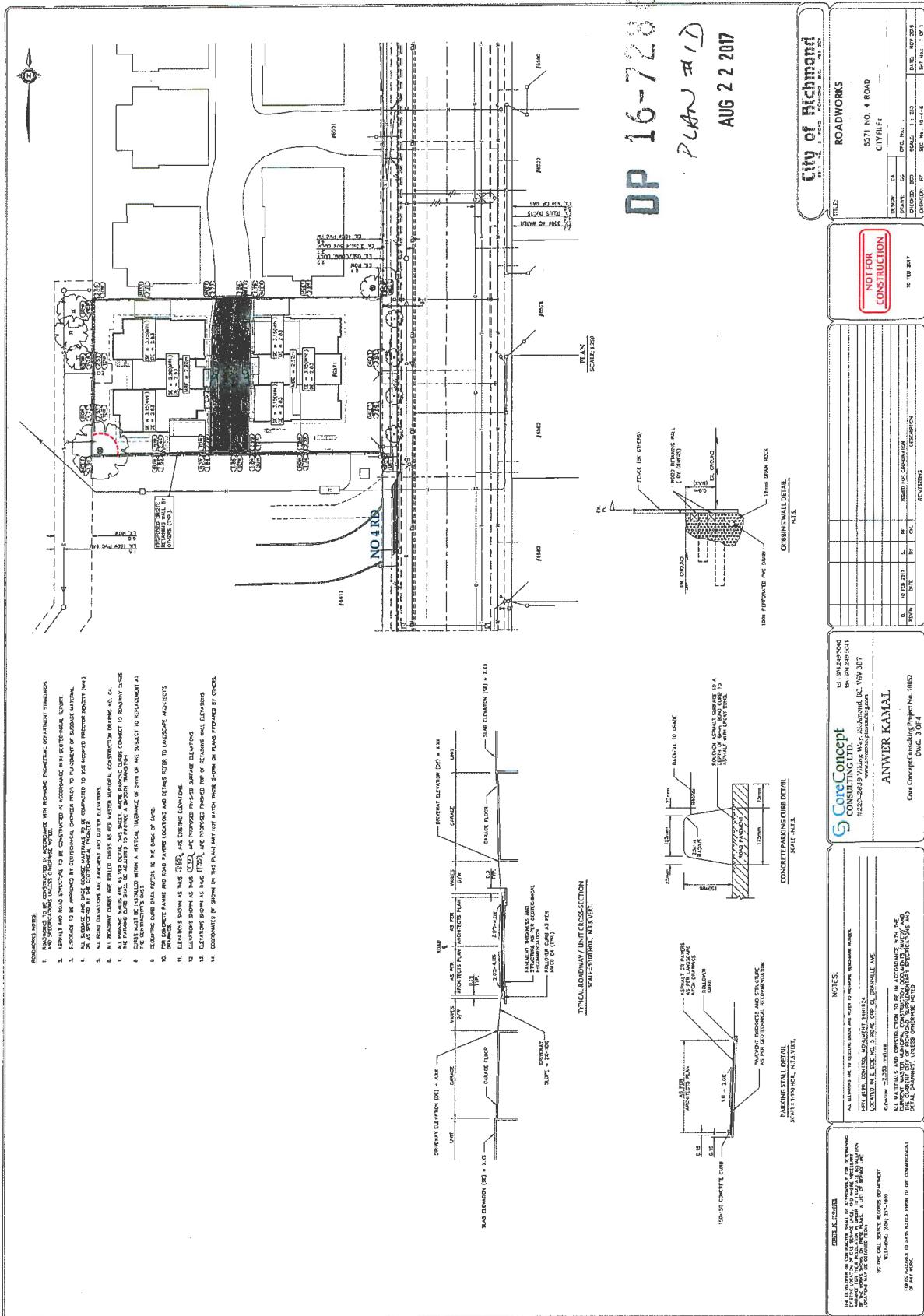
PLAN #1B

4113 22 2007

S C H O O L  
A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT.  
AN ADDITIONAL 2% OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).

FINISH GRADE:  
 NW LOT CORNER: 1.97 NE HOUSE CORNER:  
 SE LOT CORNER: 2.78 SE HOUSE CORNER:  
 SE. LOT CORNER: 2.76 SW HOUSE CORNER:  
 SW. LOT CORNER: 1.90 NW. HOUSE CORNER:  
 2.35

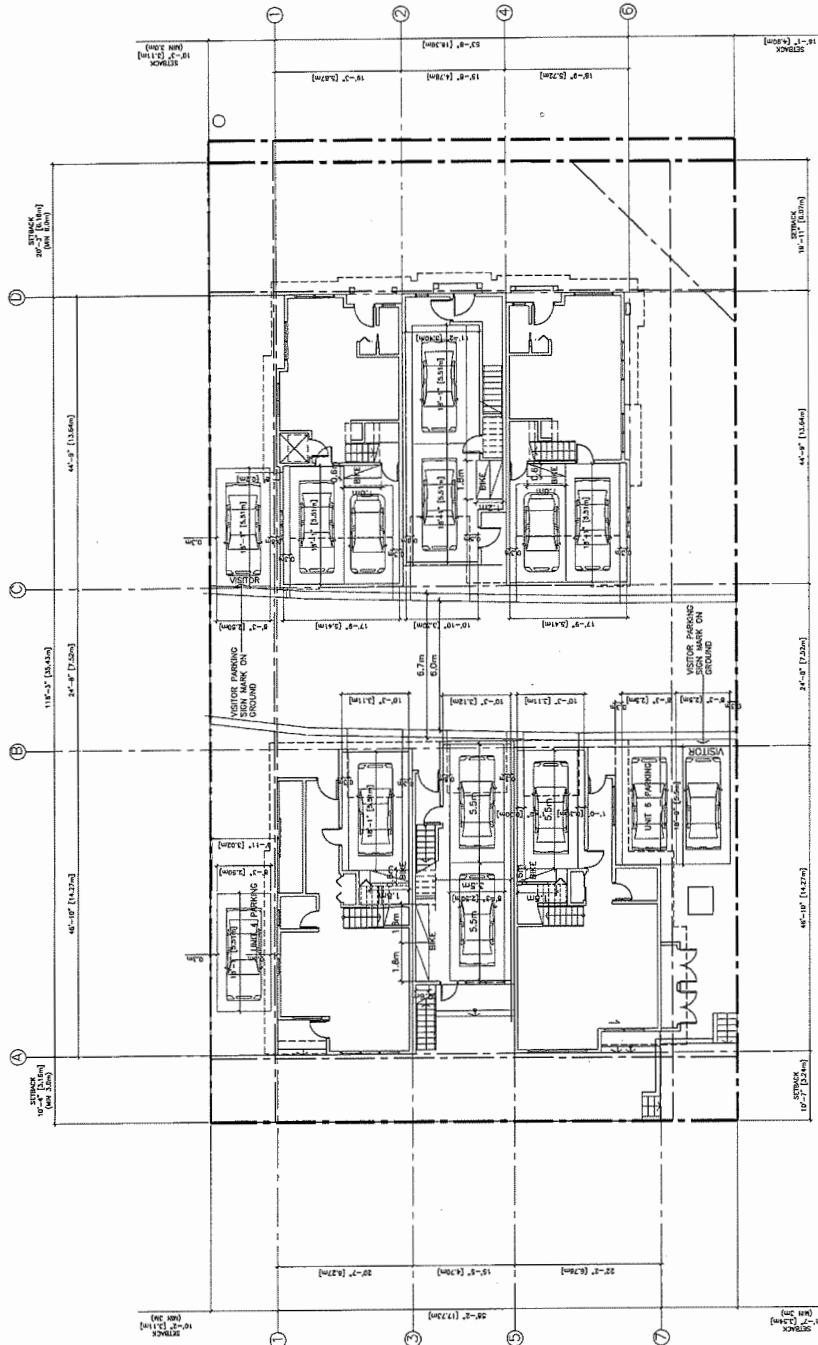
ERIC LAW  
ARCHITECT



PLA#2

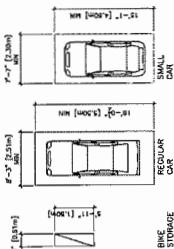
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AUG 22 2017



**PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC**

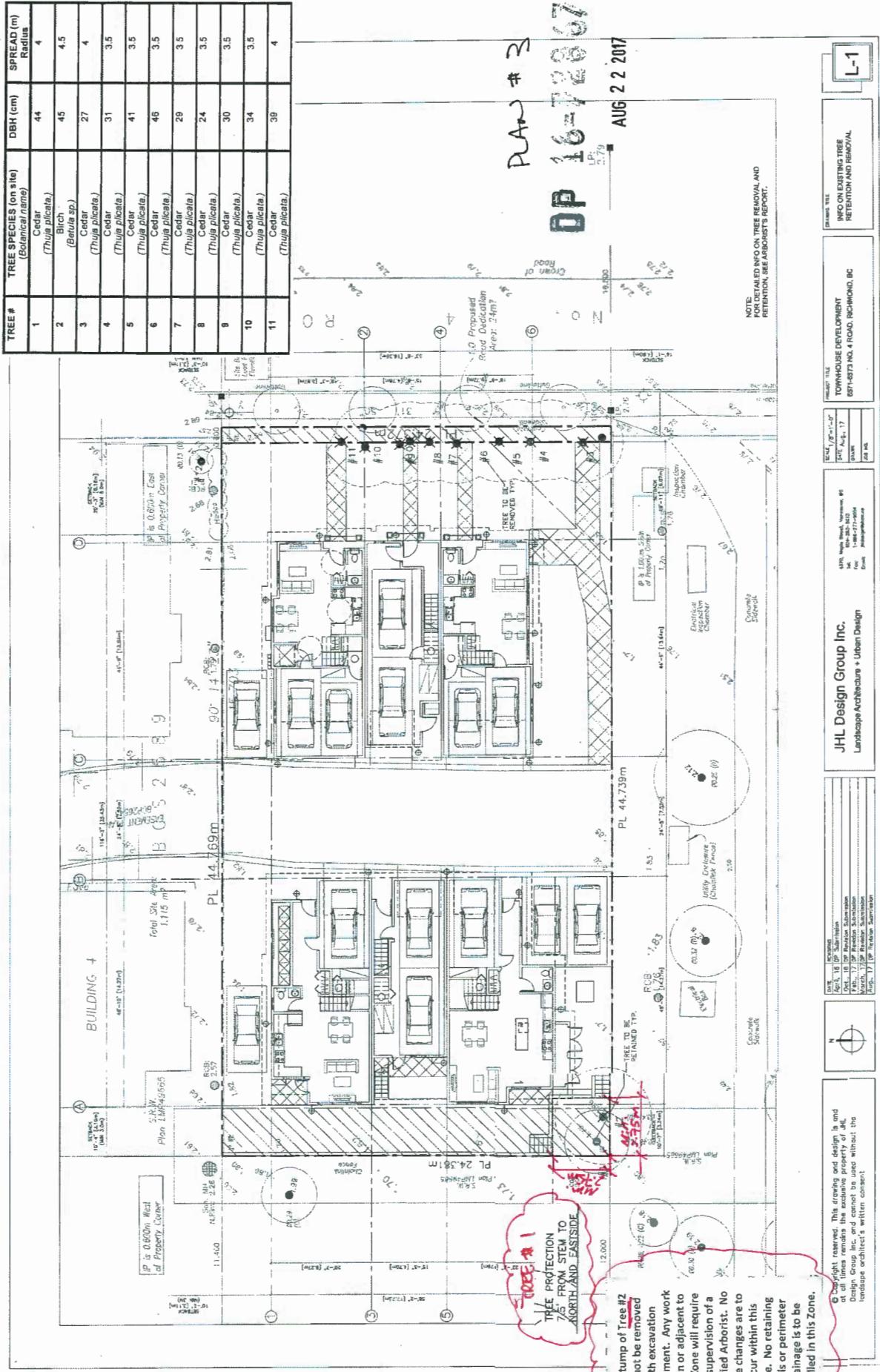
PARKING-PLAN



PROPOSED	RESIDENTIAL PARKING: 6 REGULAR PARKING 2 TANDEM PARKING (6 REGULAR) 2 SMALL PARKING (SURPLUS)	VISITOR PARKING: 2 REGULAR	BICYCLE VISITOR BIKE RACK 2	2 INSIDE GARAGE
(2765)				
1.4 PER DHEELING UNITS X6 = 8 0.2 VISITOR PARKING / UNIT 15 = 2 TOTAL = 11 RESIDENTIAL PARKING				
2.00 ZONE ALLOWS TANDEM PARKING				
VISITOR BIKE RACK				
0.2 PER DHEELING UNIT X6 = 2 RESIDENTIAL BIKE STORAGE				
1.25 PER DHEELING UNIT X6 = 8				

A3

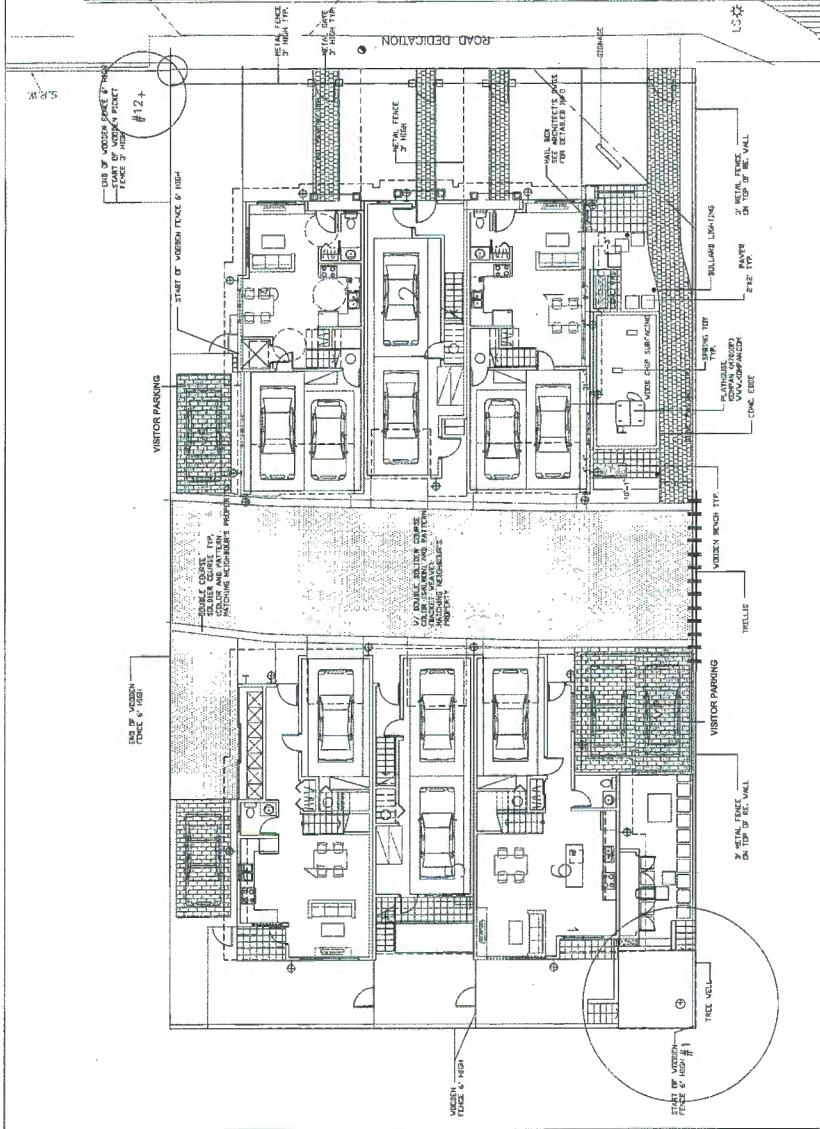
DEP 16-728670  
PLAN #2



DP 16-728670

AUG 22 2017

## LEGEND



P442 #3A

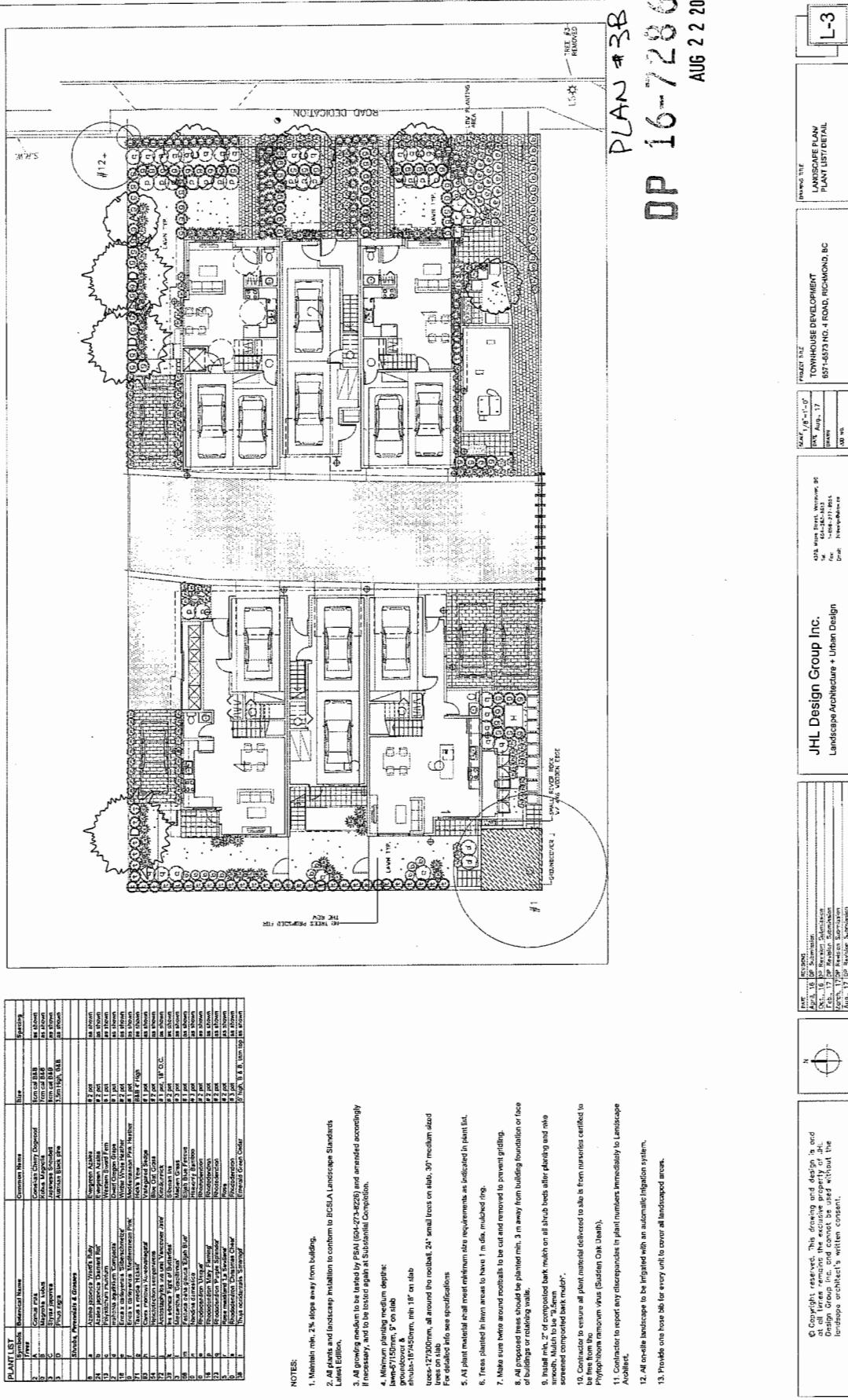
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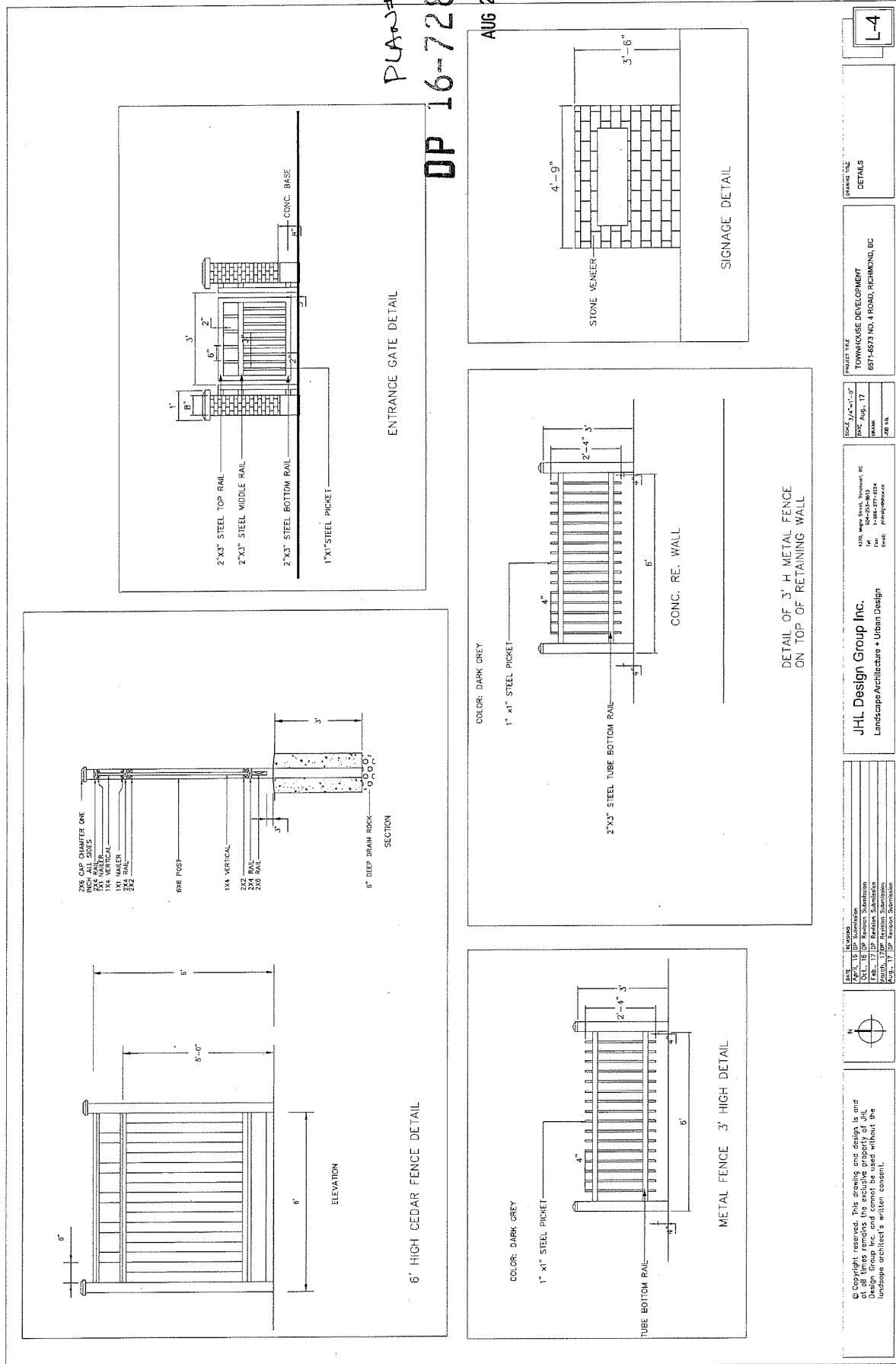
**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RIC

L-2

नाम	प्रभावोदय
अप्रैल, 15	उत्तर अमेरिका
अप्रैल, 16	पश्चिमी सबमिसेशन
अप्रैल, 17	पश्चिमी सबमिसेशन
मार्च,	पश्चिमी सबमिसेशन
मार्च,	पश्चिमी सबमिसेशन
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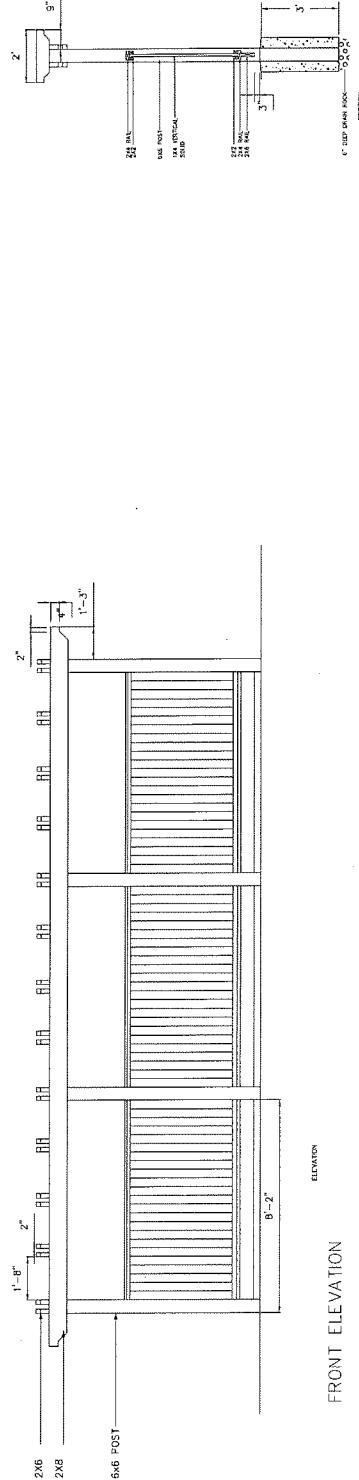




PLAN # 3D  
DP 16-728670

AUG 22 2017

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ROAD END TRELLIS DETAIL

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4370 Maple Street, Vancouver, BC  
Tel: 604-223-8013  
Fax: 1-866-277-9554  
Email: [photographs@q1.ca](mailto:photographs@q1.ca)

**DETAILS**

ALMOND, BC

PROJECT NAME  
TOWNHOUSE DE  
6571-6573 NO. 4

Aug. 17

DATE  
DAW  
DRAWN  
DK GTR

1

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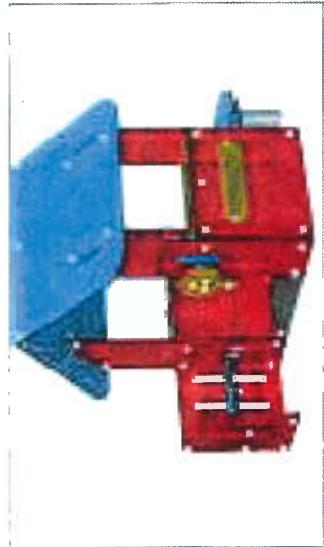
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PLAN #3E

DP 16-728670

AUG 22 2017

L-6



PROJECT FILE  
TOWNHOUSE DEVELOPMENT  
6571-8673 NO. 4 ROAD, RICHMOND, BC  
cm int  
cm ext

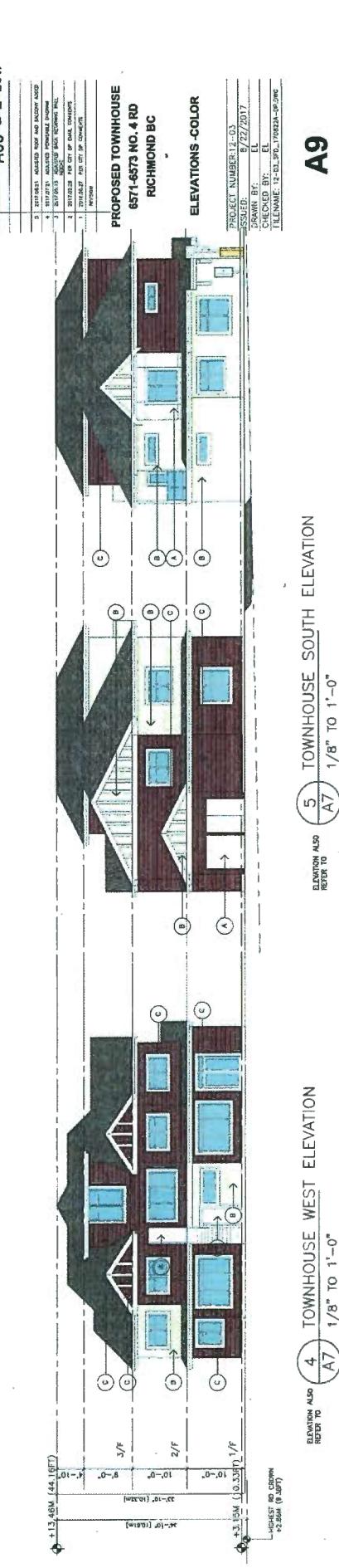
Submitted TAK  
IMAGES

SCALE: 1/2"-1'-0"  
DATE: Aug. 17  
PROJ: 6571-8673 NO. 4 ROAD, RICHMOND, BC  
DESIGNER: JHL Design Group Inc.  
LANDSCAPE ARCHITECTURE + URBAN DESIGN  
www.jhlgroup.ca

JHL Design Group Inc.  
Landscape Architecture + Urban Design  
www.jhlgroup.ca

Site Plan  
Architectural  
Structural  
Mechanical  
Electrical  
Plumbing  
Landscaping  
Furniture  
Equipment  
Signage  
Other

N  
S  
E  
W

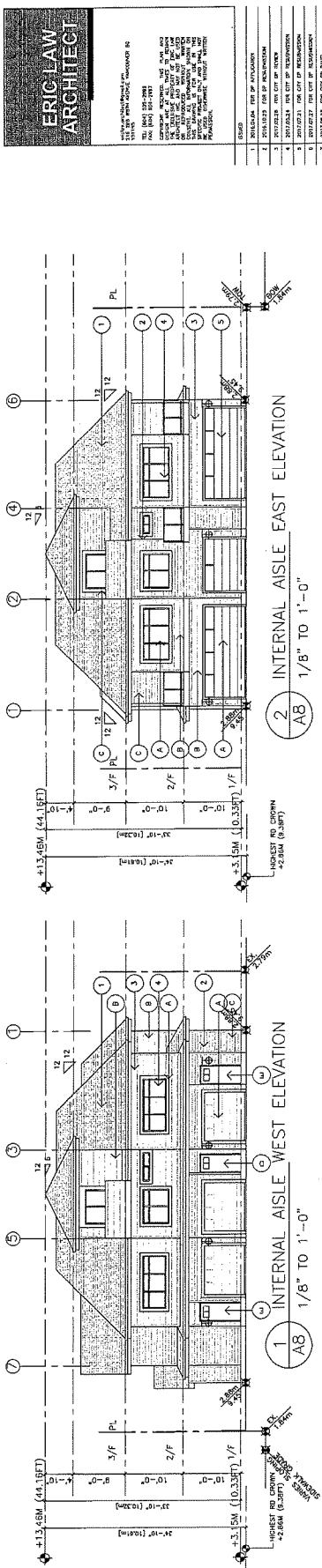


DP 16-728670

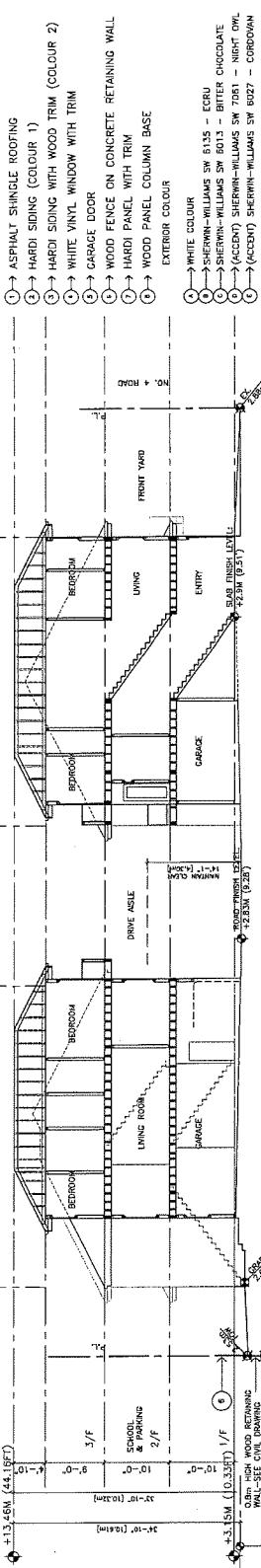
DEVELOPMENT PERMIT

**A9**





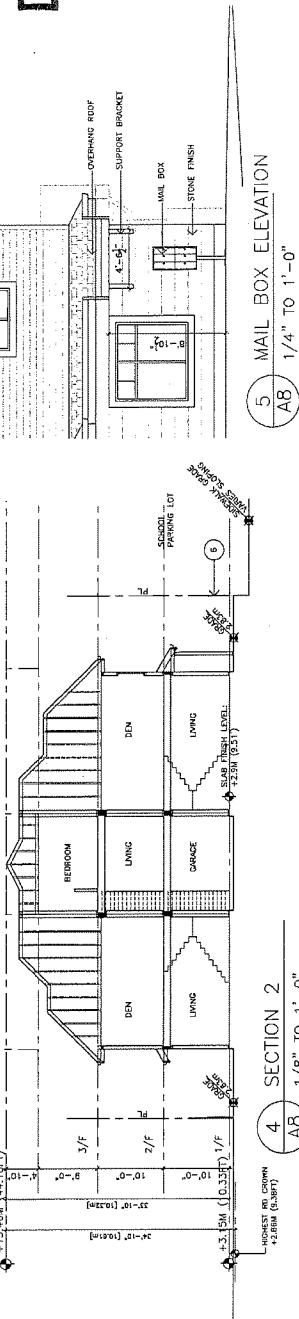
EXTERIOR FINISH LEGEND



**3 SECTION 1**  
AB 1/8" TO 1'-0"

**4 SECTION 2**  
AB 1/8" TO 1'-0"

**5 MAIL BOX ELEVATION**  
AB 1/4" TO 1'-0"



**PLAN #14B**  
AUG 22 2017

**PROPOSED TOWNHOUSE**  
6511-872 NO. 4 RD  
RICHMOND BC

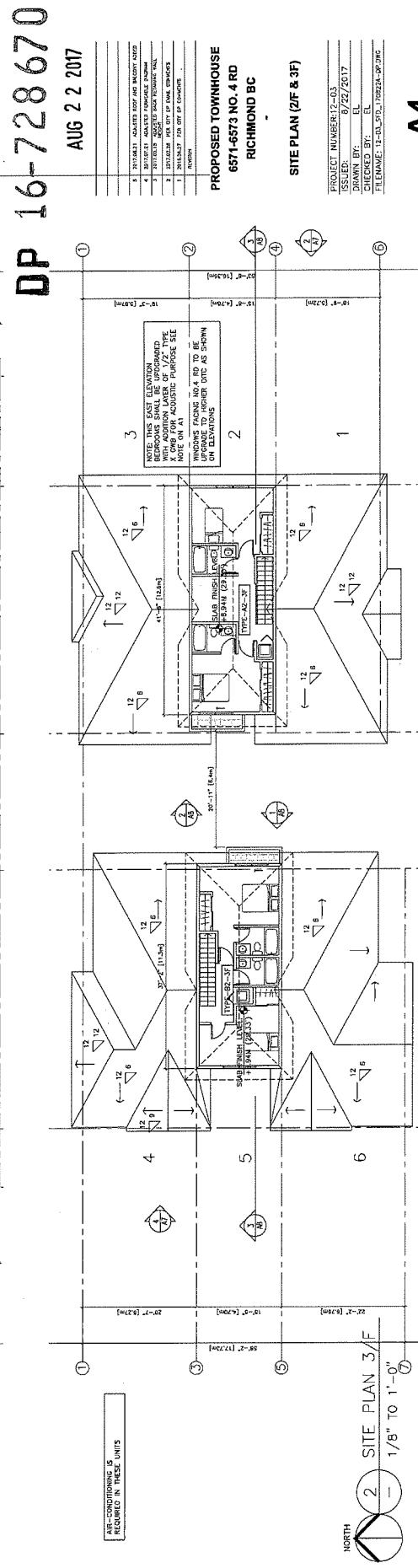
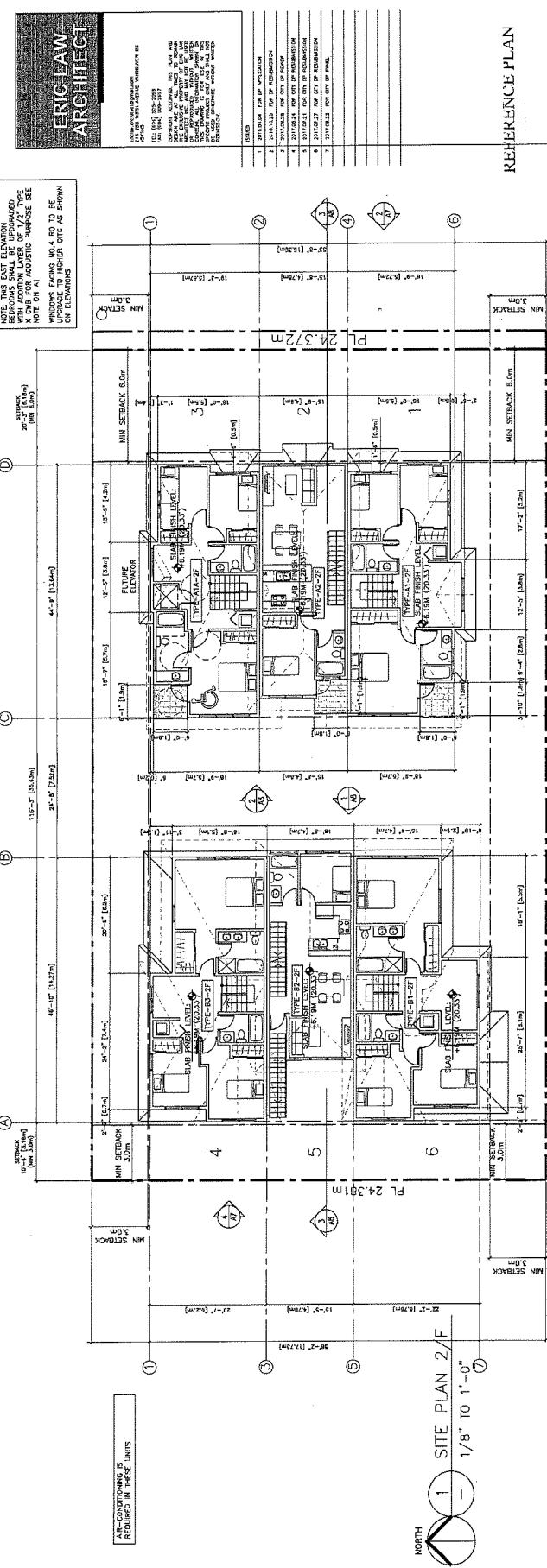
ELEVATIONS & SECTIONS

PROJECT NUMBER: 2-353  
ADDRESS: 6511-872 NO. 4 RD  
CITY: RICHMOND  
ZIP: V6V 2J7  
E-MAIL: eric.law@nsn.ca  
FAX: 709-291-1701  
TELEPHONE: 709-291-1700

**PLAN #15**  
DP 16-728670

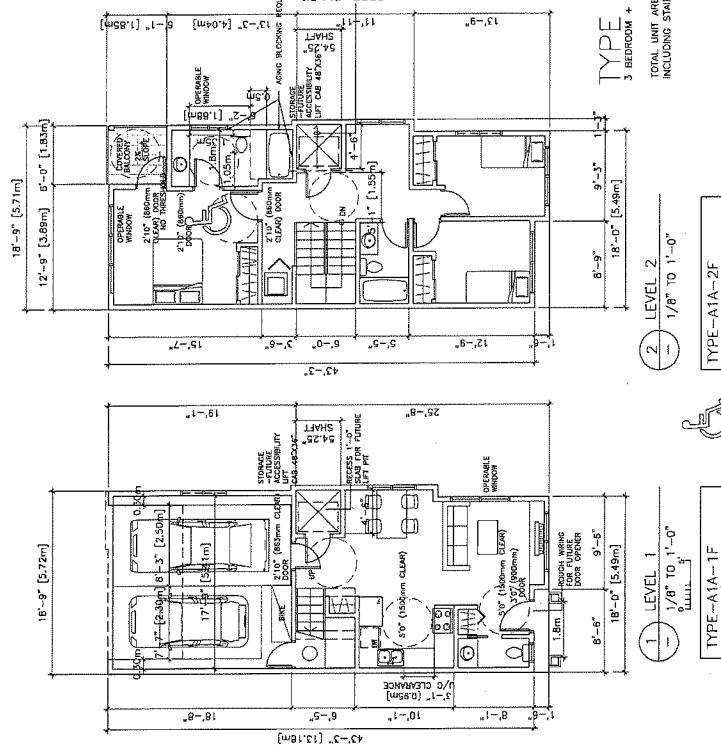
DEVELOPMENT PERMIT

**A8**



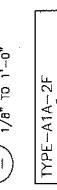
DP 16-728670  
DEVELOPMENT PERMIT

A4



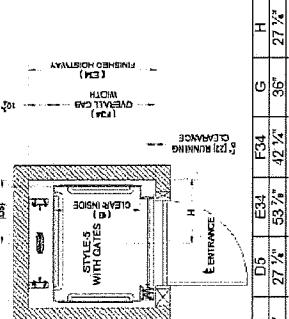
On / Off Same Side  
Front Configuration  
Style 5:

On / Off Same Side  
Front Configuration  
Style 5:

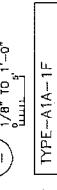


TYPE A1A

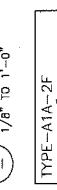
TOTAL UNIT AREA: ±1376.85 SQ. FT.  
INCLUDING STAIR AND G/F ENTRY



EDMONTON (A5)  
GRANU C9 (C9)  
CLERM (INSIDE)



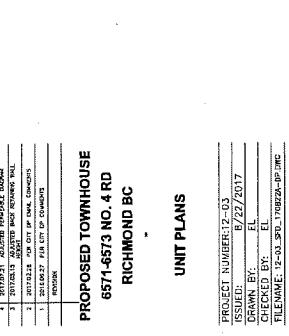
24



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AUG 22 2007



6

# Attachment B

MOUNTAIN MAPLE GARDEN & TREE SERVICE LTD.  
PHONE: 604 - 499- 6568  
MOUNTAIN.MAPLE@HOTMAIL.COM

January 24, 2018

**RE: Arborist Report - For property located at 6571 No 4 Rd., Richmond, BC**

Further to the Revised Arborist Report dated September 12, 2017, this serves to discuss the condition of Tree #1. This site was attended on December 11, 2017 and January 15, 2018. Ten photographs have been included as part of this report.

On December 11, 2017, the Tree Protection Zone fencing for Tree #1 was not installed to capacity; concrete lock blocks were installed less than 2ft from the base of the stem on the east side, and the area was filled with 5ft of pre-load (sand). The south side of the canopy was mostly brown; however, the north side still had a significant amount of green, and the east side was in between. Some of the chlorotic foliage was still pliable. The property owner asked if the tree could be saved; it was advised that it is unlikely that the tree will survive the compaction that has occurred to the Critical Root Zone, but we could try. It was advised that the lock blocks and preload must be removed from a 12ft radius of the stem, and native grade restored; it was indicated that this work must be supervised by a Certified Arborist. Upon removal of the fill and lock blocks, the entire Critical Root Zone would require deep root fertilization, in an effort to alleviate the compacted soil.

On January 3, 2018, we were advised that the lock blocks and preload had been removed; this was not supervised by this firm. The site was visited again on January 15, 2018. Tree Protection Zone fencing has been reinstalled at 9ft from the base of the stem on the east side, 11ft from the base of the stem on the northeast side, and 15ft from the base of the stem on the north side. About six inches of new soil had been installed within the TPZ. Further examination revealed that a 3" diameter root was severed 5ft from the base of the stem on the east side; it is assumed that this was caused during the removal of the preload, and that other structural roots have likely sustained damage.

It is very unlikely that this tree would have survived the compaction to its root system resulting from the lock blocks and preload. Compaction removes pore/air space from the soil, which smothers the roots, and impedes or prevents water flow. This species of tree has a rather low tolerance to root disturbance; the weight of the pre-load and lock blocks may have also caused damage/compaction to root tissue. This tree should be removed, and a new 4-5m tall Western Red Cedar (*Thuja plicata*) should be planted on the property upon completion of site development.

**Limitations:** Monitoring any portion of the development or construction process provides no undertakings regarding the future condition or behaviour of the tree(s). Recommendations and actions are to serve for the retention and protection of the tree(s), and are made according to commonly accepted arboricultural practises, and do not guarantee the survival and/or safety of the specimen(s). Tree conditions do change overtime, and the evaluation period is valid for the day on which it was performed only. No responsibility is assumed for any legal matters as a result of the retention of the tree(s). The consultant shall not be required to give testimony or attend court by any reason unless subsequent contractual arrangements are made, including payment of additional fees for such services. Loss or alteration of any part of this document invalidates the entire document. Possession of this document does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without verbal or written consent of the consultant. No part of this document shall be conveyed by anyone to the public by any means without prior written consent of the consultant.

Yours truly,

Kerin Matthews – sent electronically  
**ISA Certified Arborist #PN-5648**  
**ISA Certified Tree Risk Assessor #0123**  
Inter-Municipal Business License #20014651



Dec 11/17 - Tree #1 southeast side



Dec 11/17 - Tree #1 northwest side



Dec 11/17 – Tree #1 east side



Dec 11/17 - Tree #1, northeast side



Jan 15/18 - Tree #1 southeast side



Jan 15/18 – Tree #1 north side



Jan 15/18 - Tree #1 east side



Jan 15/18 – New soil within TPZ



Jan 15/18 - Tree #1 severed root



Jan 15/18 - Tree #1 about 6" of new soil placed in TPZ



**City of  
Richmond**

**Development Application Data Sheet**  
Development Applications Department

**DP 16-728670**

**Attachment C**

Address: 6571 No. 4 Road (formerly 6571/6573 No. 4 Road)

Applicant: Anwer Kamal Owner: Anwer Kamal

Planning Area(s): North McLennan Sub-Area (City Centre)

Floor Area Gross: 956.5 m<sup>2</sup> Floor Area Net: 690.4 m<sup>2</sup>

	<b>Existing</b>	<b>Proposed</b>
<b>Site Area:</b>	1,115 m <sup>2</sup>	1,091 m <sup>2</sup> (net after road dedication)
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Zoning:</b>	CCAP: General Urban T4 North McLennan Sub-Area Plan: "Residential Area 3" - two-family dwelling and 2 & 3-storey townhouses with 0.65 base FAR	No Change
<b>Number of Units:</b>	Single Detached (RS1/F)	Town Housing (ZT60) – North McLennan (City Centre)

	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio:	Max. 0.65	0.64	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Setback – Front Yard (m):	Min. 6.0 m	6.2 m	none
Setback – North Side Yard (m):	Min. 3.0 m	3.1 m	none
Setback – South Side Yard (m):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	3.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	10.61 m (3 storeys)	none
Lot Area:	Min. 1,010 m <sup>2</sup>	1,091 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.83 (R) and 0.33 (V) per unit	none
Off-street Parking Spaces – Total:	9 (R) and 2 (V)	11 (R) and 2 (V)	none
Tandem Parking Spaces:	Permitted	4 spaces	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	2 (surplus spaces)	none

Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 6 units = 36 m <sup>2</sup>	36.7 m <sup>2</sup>	none



**City of  
Richmond**

**Attachment D**

## **Development Permit Considerations**

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 6571/6573 No. 4 Road

**File No.:** DP 16-728670

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Final adoption of the Zoning Amendment Bylaw 9491.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$123,828.00. The City will release:
  - a) 80% of the security when:
    - i. construction and landscaping on the proposed townhouse complex are completed;
    - ii. a Letter of Assurance from the Landscape Architect, confirming that all on site and off site landscaping are installed in accordance with the landscape plans, has been submitted; and
    - iii. physical inspection has been undertaken by staff.
  - b) the remaining 20% of the security when:
    - i. the construction and landscaping on the proposed townhouse complex have been completed for at least 2 years;
    - ii. an Arborist Post Construction Impact Assessment Report, confirming survival of the replacement tree, has been submitted; and
    - iii. physical inspection has been undertaken by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements:
  - a) Water Works:
    - i. Using the OCP Model, there is 651 L/s of water available at a 20 psi residual at the hydrant at 6620 No 4 Road. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
    - ii. The Developer is required to:
      - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
      - Install a fire hydrant at No 4 Road frontage to service the proposed townhouse development. Coordination with the City's Fire department to confirm the location of the proposed hydrant is also required.
    - iii. At the Developer's cost, the City will:
      - Cut and cap at main the existing water service connection at No. 4 Road frontage.
      - Install new water connection to service the proposed site. Details of the new water service shall be finalized via the servicing agreement design review.
  - b) Storm Sewer Works:
    - i. At the Developer's cost, the City will:
      - Cut and cap at main the existing storm sewer service connections at No. 4 Road frontage. Remove existing IC.
      - Install new storm sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

Initial: \_\_\_\_\_

c) Sanitary Sewer Works:

i. The Developer is required to:

- Provide a 3 meter wide utility SRW along the entire west property line of the proposed site.
- Install a new sanitary sewer connection to service the proposed site. Details of the new storm service shall be finalized via the servicing agreement design review.

d) Frontage Improvements:

i. The Developer is required to:

- Removing existing sidewalk and create a 1.5m grass & treed boulevard behind the existing curb (trees to be Littleleaf Linden), with a 1.5 m sidewalk behind that which will abut the new property line. All works are at the client's sole cost; i.e. no credits apply. The works are an extension of SA06-326784 from the north at 6551 No 4 Road. Improvements shall be built to the ultimate condition wherever possible.
- Provide street lighting along No. 4 Road frontage.
- Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
  - 1) BC Hydro PMT – 4mW X 5m (deep)
  - 2) BC Hydro LPT – 3.5mW X 3.5m (deep)
  - 3) Street light kiosk – 1.5mW X 1.5m (deep)
  - 4) Traffic signal kiosk – 1mW X 1m (deep)
  - 5) Traffic signal UPS – 2mW X 1.5m (deep)
  - 6) Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
  - 7) Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan

e) General Items:

i. The Developer is required to:

- Provide if pre-load is required, prior to pre-load installation, a geotechnical assessment of preload and soil preparation impacts on the existing sanitary sewer along the proposed site's west property line, proposed utility installations, and provide mitigation recommendations. The mitigation recommendations shall be incorporated into the first SA design submission or if necessary to be implemented prior to pre-load.
  - Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
  3. Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
  4. Submission of DCC's (City & GVS&DD), School site acquisition charges, Address Assignment Fee, and servicing charges, etc.
  5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

Initial: \_\_\_\_\_

6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
7. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[signed copy on file]

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Signed

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Date



# City of Richmond

## Development Permit

No. DP 16-728670

To the Holder: ANWER KAMAL

Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)

Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$123,828.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 16-728670**

To the Holder: ANWER KAMAL  
Property Address: 6571 NO. 4 ROAD (FORMERLY 6571/6573 NO. 4 ROAD)  
Address: C/O ERIC LAW  
ERIC LAW ARCHITECT INC.  
#216 - 288 WEST 8<sup>TH</sup> AVENUE  
VANCOUVER, BC V5Y 1N5

---

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF ,

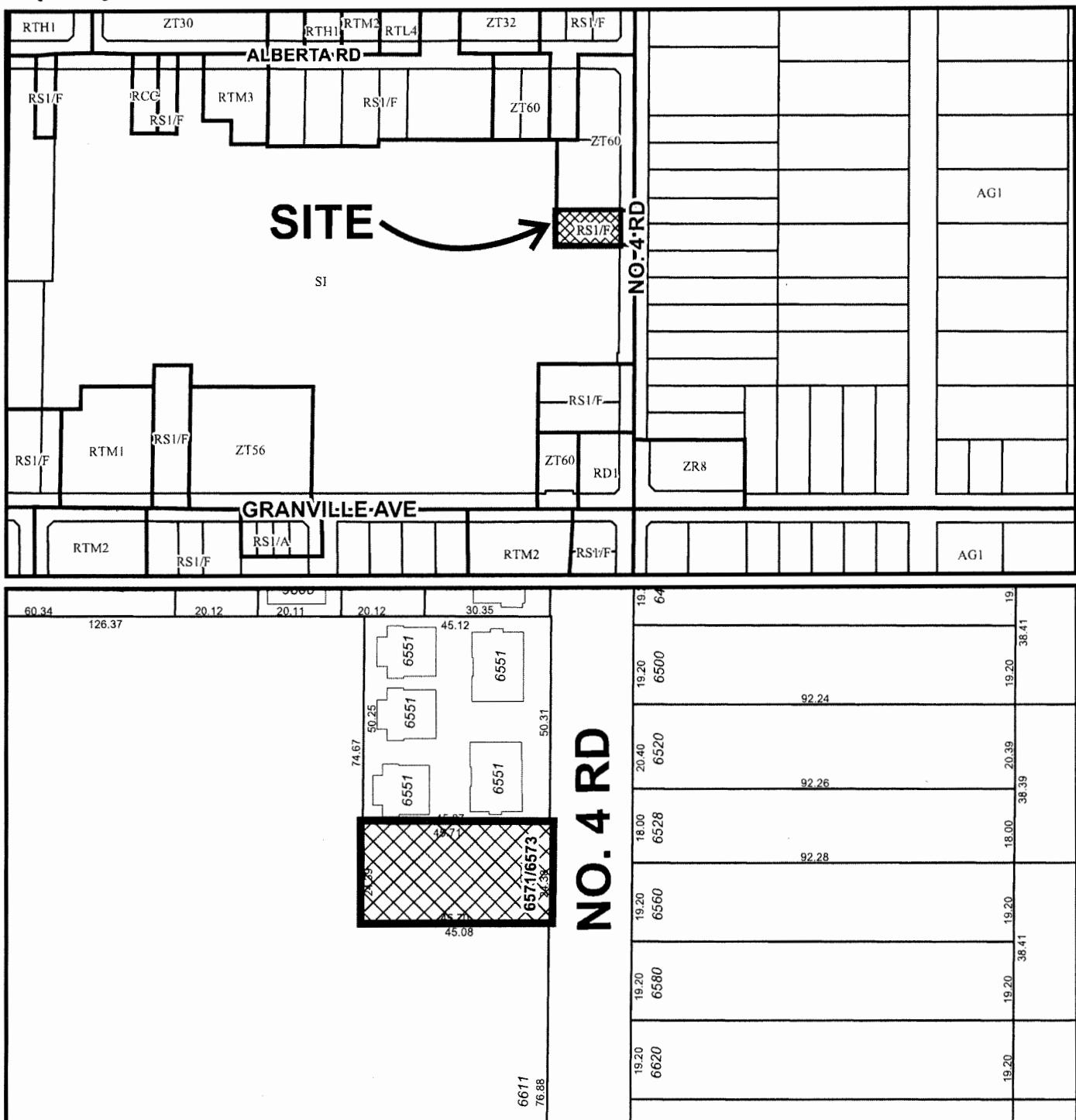
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF ,

MAYOR



# City of Richmond



**DP 16-728670**  
**SCHEDULE "A"**

Original Date: 04/15/16  
Revision Date: 08/17/17  
Note: Dimensions are in METRES

# PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6573 NO. 4 ROAD, RICHMOND, BC

## DEVELOPMENT DATA

- (A) CIVIC ADDRESS: 6571-6573 NO. 4 ROAD, RICHMOND, BC
- (B) LEGAL DESCRIPTION: LOT 65 SECTION 10 BLOCK 4 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 46723
- (C) LOT AREA: 1,114 SM (11,991 SF) (BEFORE ROAD DEDICATION)
- (D) ZONING USE: 1,091 SM (11,743 SF) (AFTER ROAD DEDICATION)
- CURRENT: RS1/F, PROPOSED: ZT60

CURRENT ZONING  
(UNDER RS1/F ZONING)

PROPOSED REZONING  
(ZT60)

(E) FLOOR AREA RATIO 0.65  
0.3 TO REST OF SITE AREA TOTAL GROSS FLOOR AREA

0.65 X1,091 SM = 709.15 SM  
(7,633 SF)

(F) NUMBER OF UNIT: 1 PER LOT  
MAX - 45% MAX - 40%  
MAX HEIGHT - 9M MAX MAIN BUILDING HEIGHT - 12M  
FRONTYARD - 6M FRONTYARD FACING NO. 4 RD - 6M  
SIDEYARD - 2M NORTH AND SOUTH SIDEYARD - 3M  
REARYARD - 6M REAR YARD - 3M

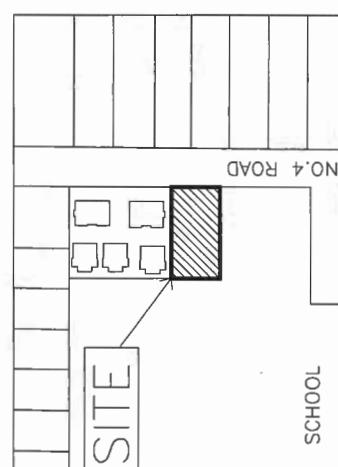
1.4 PER DWELLING UNITS X6 = 9  
0.2 VISITOR PARKING / UNIT X6 = 2  
TOTAL = 11 REQUIRED

ZT60 ZONING ALLOW TANDEM PARKING  
VISITOR BICYCLE  
0.2 PER DWELLING UNIT X6= 2  
RESIDENTIAL BICYCLE STORAGE  
1.25 PER DWELLING UNIT X6=8

(I) PARKING:  
2 PER DWELLING UNIT

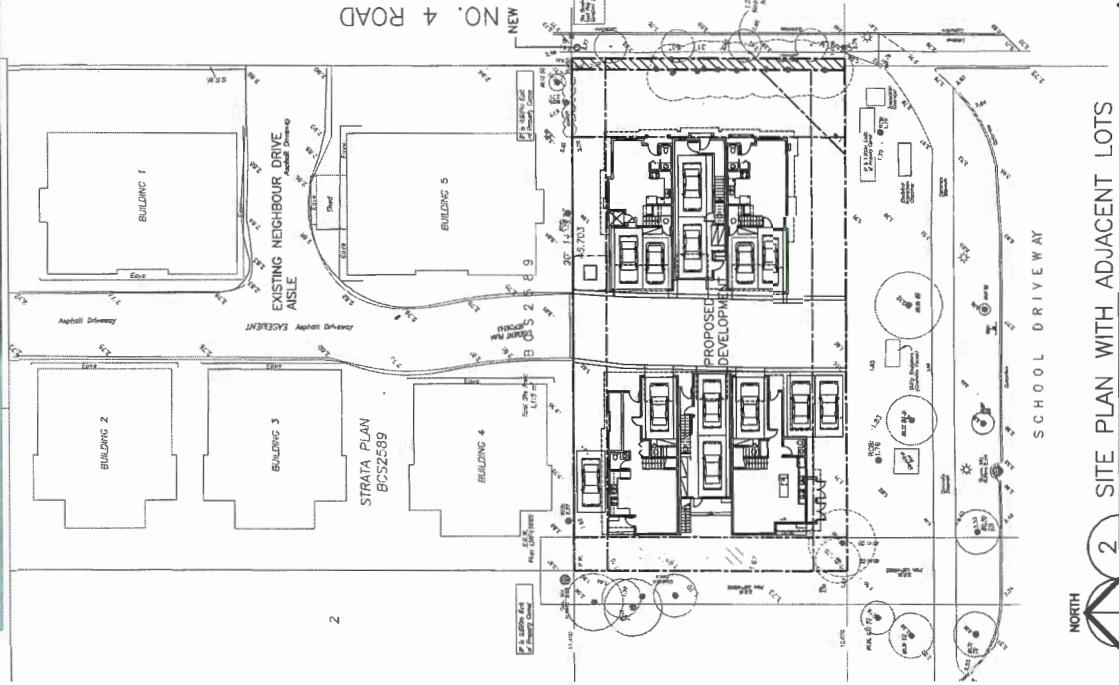
OUTDOOR AMENITY SPACE  
6SM PER UNIT X6= 36 SM (388SF)  
CHILDREN PLAYGROUND: 36.7 SM 395 SQ. FT.  
TOTAL LIVE PLANT / LAWN AREA: 3110 SQ. FT. / 11743 SQ. FT = 26.4%

TOTAL NON POROUS AREA: 6899 SQ. FT. / 11743 SQ. FT = 58.7%  
OUTDOOR AMENITY SPACE  
6SM PER UNIT X6= 36 SM (388SF)



## DRAWING LIST

- A1- DEVELOPMENT SUMMARY
- A1A- UPGRADE NOTE
- A2- SITE PLAN (1/F)
- A2A- SITE PLAN ENVELOPE
- A3- PARKING PLAN
- A4- SITE PLAN (2/F & 3/F)
- A5- UNIT PLANS
- A6- UNIT PLANS
- A7- ELEVATIONS
- A8- ELEVATIONS & SECTIONS
- A9- ELEVATIONS COLOR
- A10- OPEN SPACE AREA
- A11- FAR DIAGRAM



**PROPOSED TOWNHOUSE**  
**6571-6573 NO. 4 RD**  
**RICHMOND BC**

**DEVELOPMENT SUMMARY**

PROJECT NUMBER: 12-03  
ISSUED: 4/17/2018  
DRAWN BY: EL  
CHECKED BY: EL  
FILENAME: 12-03-SD-180417-DPP-AMEND

**DP 16-728670 PLAN #1**  
**MAY 22 2018**  
**DP 16-728670**  
**MAY 22 2018**

**A1**

DEVELOPMENT PERMIT

SUMMARY OF ENERGUIDE 82 REPORT: REFER DETAIL TO ENERGUIDE RATING  
REPORT PREPARED BY E3 ECO GROUP INC DATED JULY 10, 2017

**Proposed Policy Compliance Construction Specifications Review: Row Houses (middle & end units)**

All construction specifications are compliant with BCBC Code Sections 9.36 and 9.32 and all upgrades beyond the Base Case are listed below in BOLD:

R12 full under slab insulation and R12 slab edge insulation	
<b>Above Grade Wall Construction</b>	2x6 @ 16" o.c. R22 insulation
<b>Door Specification</b>	Fiberglass or metal-4kin polyurethane core doors. Glazing in doors: Double glazed, soft coat low E, insulated spacer, argon gas fill, picture windows; maximum USI 1.70
<b>Ventilation Specification</b>	Heat Recovery Ventilator (55% SRE@0C/45%SRE@-25C); distribution and ventilation rates as per BCBC Section 9.32
<b>Air Tightness</b>	<b>5.5 ACH@50Pa;</b> an estimate based on typical local construction. Refer to Note 3 below
<b>Space Heating System</b>	Air source heat pump [7.1 HSPF and 14.5 SEER minimum] with electric resistance heater in fan coil as back up
<b>Energy Credits:</b>	50% of lighting is EnergyStar rated; 190kWh/year credit
<b>Low energy lighting</b>	EnergyStar fridge, dishwasher and clothes washer: 95kWh/year credit
<b>Energy Star appliances</b>	<b>All units must comply with the BC Solar Hot Water Ready Regulation</b> (refer to Guide to the Province of BC Solar Hot Water Ready Regulation 2013 for details)
<b>Solar Hot Water Ready</b>	

SUMMARY OF ACOUSTIC UPGRADE. REFER DETAILS TO ACOUSTICAL REPORT  
PREPARED BY BKL CONSULTANTS DATED JULY 22, 2016

**1. Roof Assembly**

The proposed roof construction assumed to be:

- asphalt shingles
- $\frac{1}{2}$ " plywood sheathing
- pre-engineered wood truss
- R40 batt insulation
- 1 layer 5/8" gypsum wall board

will provide adequate noise isolation to all interior spaces.

**2. Exterior Wall**

The proposed exterior wall construction assumed to be:

Location: Level 1

- Hardi-panel siding
- $\frac{1}{2}$ " plywood sheathing
- 2x 6 wood studs @ 16" o/c
- R20 batt insulation
- $\frac{1}{2}$ " Type X gypsum wall board

Location: Levels 2 and 3

- Vinyl siding
- $\frac{1}{2}$ " plywood sheathing
- 2x 6 wood studs @ 16" o/c
- R20 batt insulation
- $\frac{1}{2}$ " Type X gypsum wall board

will provide adequate noise isolation to all interior spaces except for all east-facing bedrooms in the East townhouse with direct exposure to No. 4 Road. These bedrooms require an additional layer of  $\frac{1}{2}$ " type X gypsum wall board on all north, south, and east walls.

SUMMARY OF THERMAL REPORT: REFER DETAIL TO THERMAL COMFORT REPORT  
PREPARED BY ENERSOLV DATED SEPTEMBER 9, 2016

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and International Standards Organization (ISO) 7730.

**CONCLUSION**

From the results obtained in this energy model the PMV is 0.06 which is between the -0.5 and +0.5 PMV acceptable bandwidth for thermal comfort conditions under ISO-7730 and ASHRAE standard 55. Therefore, air conditioning is required for this building design to adequately satisfy the cooling requirements and maintain human comfort levels in accordance with ASHRAE-55 standards and International Standards Organization (ISO) 7730.

**UPGRADE NOTES**

PROPOSED TOWNHOUSE	
<b>6571-6573 NO. 4 RD</b>	
<b>RICHMOND BC</b>	
<b>PROJECT NUMBER: 12-03</b>	4/17/2018
<b>ISSUED:</b>	
<b>DRAWN BY:</b>	EL
<b>CHECKED BY:</b>	EL
<b>FILENAME: 12-03-SPD-180417-DEP-AMEND</b>	

**MAY 22 2018**

**DP 16-728670 A1A**

**DP 16-728670**

DEVELOPMENT PERMIT

**PLAN #1A**

EAST Elevation

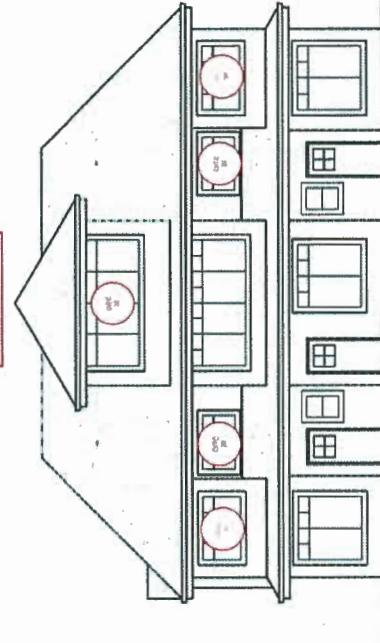


Figure 4: East Elevation Showing Required Window Upgrades

File: 3d65-16A

www.ericlawarchitect.com  
100-200 8th Avenue, Suite 200  
V6C 1M5  
TEL: (604) 935-2099  
FAX: (604) 935-2037  
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ISSUED	FOR DP APPLICATION
1	2016.04.14 FOR DP RESUBMISSION
2	2016.10.20 FOR DP RESUBMISSION
3	2017.02.26 FOR CITY DP RESUBMISSION
4	2017.05.24 FOR CITY DP RESUBMISSION
5	2017.07.21 FOR CITY DP RESUBMISSION
6	2017.07.27 FOR CITY DP RESUBMISSION
7	2017.08.22 FOR CITY DP RESUBMISSION
8	2018.04.16 FOR CITY DP AMENDMENT

The locations of required window upgrades have been indicated on the architectural elevation/plan as shown in Figure 4.

All of the windows should be specified to meet the A3 performance rating for Air Tightness found in the CSA standard CAN/CSA-A440-08, or latest revision. Any other windows meeting the required OITC ratings are acceptable. Where a single laminated pane is specified and if there are no overriding considerations, the laminated pane should be installed on the interior side of the building since its acoustic performance will be somewhat temperature dependent. Note that the OITC rating varies with panel dimensions. As such, any test data or predicted OITC performance must reasonably reflect the panel dimensions adopted for this project. Any increase in window pane thickness or separating airspace thickness beyond that shown above is also acceptable. Effective weatherstripping should be installed on the exterior doors.

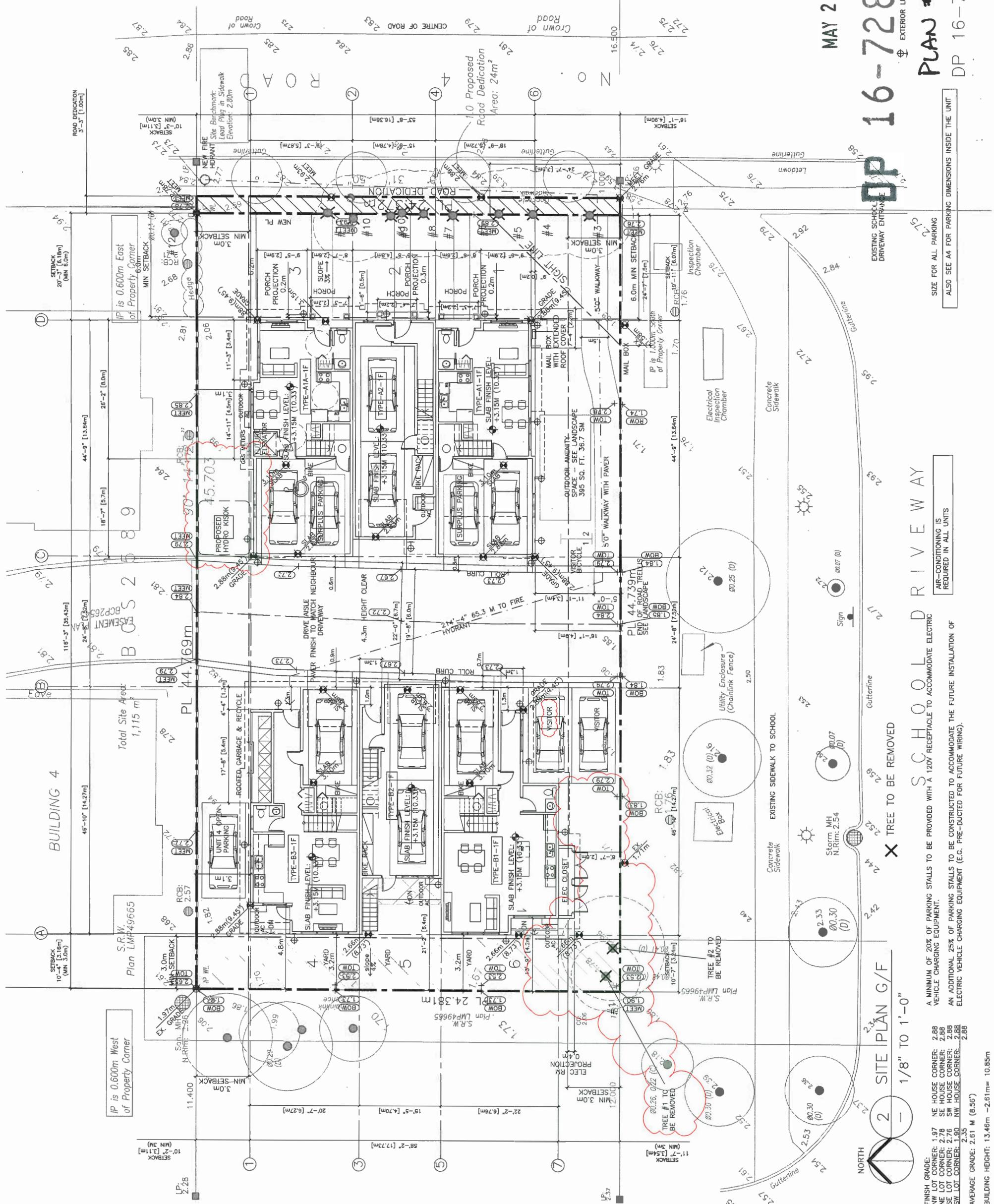
**4. Certification of Installation**

There is also a requirement in Richmond's Restrictive Covenant that the building can not be occupied until a Registered Professional engineer by Richmond's Planning and Development Manager certifies that the building has been constructed in accordance with the design reviewed and the recommendations of the approved acoustic report. As stated in our proposal dated February 17, 2016.

**ERIC LAW  
ARCHITECT**

eric.law.architect@gmail.com  
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ISSUED  
1 2016.04.04 FOR DP APPLICATION  
2 2016.04.29 FOR DP RESUBMISSION  
3 2017.02.28 FOR CITY OF REVIEW  
4 2017.03.24 FOR CITY OF RESUBMISSION  
5 2017.07.21 FOR CITY OF RESUBMISSION  
6 2017.07.27 FOR CITY OF RESUBMISSION  
7 2018.04.22 FOR CITY OF RESUBMISSION  
8 2018.04.16 FOR CITY OF AMENDMENT



**A2**

**PLAN #1B**

**DP 16-72867**  
EXTERIOR LIGHT

**DP 16-72867**  
SIZE FOR ALL PARKING

**DP 16-72867**  
ALSO SEE A4 FOR PARKING DIMENSIONS INSIDE THE UNIT

**DP 16-72867**





**ROADWORKS NOTES:**  
ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.  
ASPHALT AND ROAD STRUCTURE TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL REPORT.  
SUBGRADE TO BE APPROVED BY GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF SUBBASE MATERIAL.  
ALL SURFACE AND BASE COURSE MATERIALS TO BE COMPACTED TO 95% MODIFIED DRY UNIT DENSITY (1000).

- This architectural site plan for NO 4 RD illustrates the layout of buildings, retaining walls, and utility infrastructure. The plan includes:

  - Buildings:** A central building footprint is labeled with "NO 4 RD" and "6611". To its left are two smaller structures with labels "SE = 3.15(MIN)" and "DE = 2.83".
  - Retaining Walls:** A red dashed line indicates a proposed onsite retaining wall by others, spanning from approximately H-10 to H-11.
  - Utilities:** Various utility lines are shown, including:
    - EX 150# PVC SAN at H-10
    - EX 150# PVC SAN at H-11
    - EX 60# PVC SAN at G-11
    - EX 40# PVC SAN at G-11
    - EX 23x14 BOX CULV at D-11
    - EX OSU/COMM DCLV at D-11
    - EX ROW at D-11
    - EX 40# PVC SAN at G-11
    - EX 60# PVC SAN at G-11
  - Walls:** Multiple concrete walls are labeled with "MEET" and "NBE" values, such as "MEET 279", "NBE = 2.90m", and "MEET 235".
  - Labels:** Labels include "PROPOSED ON SITE RETAINING WALL BY OTHERS", "NO 4 RD", "6611", and "PLAN".

PROPOSED ON SITE  
RETAINING WALL BY  
OTHERS (TYP.)

LOCAL ROADWAY / UNIT CROSS-SECTION  
SCALE = 1:100 HOR. N.T.S. VERT.

The diagram illustrates a cross-section of a cribbing wall detail. At the top, a horizontal line labeled "WOOD RETAINING WALL (BY OTHERS)" spans the width of the structure. Below this, a vertical line labeled "FENCE (BY OTHERS)" extends downwards. The main structure consists of a central vertical wall made of large, irregular stones or blocks. In front of this wall, there is a layer of gravel or aggregate. A horizontal line labeled "PR. GROUND" runs across the base of the wall. To the right of the wall, a horizontal line labeled "EX. GROUND" is shown at a higher level. A dimension line indicates a height of "0.9M MAX". On the far left, a small section of a fence is shown. On the far right, a label "19mm DRAIN ROCK" points to a layer of smaller stones above the gravel. At the bottom, a label "100ø PERFORATED PVC DRAIN" points to the perforated pipe. A legend at the bottom right identifies symbols: a circle with a dot for "N.T.C.", a circle with a cross for "N.T.C.", and a circle with a diagonal line for "N.T.C.". A scale bar representing 10 meters is also present.

MAY 22 2018

DP 16-728670

# ROADWORKS

**ROADWORKS**

6571 NO. 4 ROAD  
CITY FILE:

NO.	ROAD	RICHMOND
DWG. NO.	1 : 250	
SCALE:		

**NOT FOR  
CONSTRUCTION**

tel. 604.249.5040  
fax. 604.249.5041  
100-1200 West Georgia Street  
Vancouver, BC V6V 3B7  
www.vancom.com

ANSWER KAM  
Concept Consulting Project  
DVC. 30CA

Core  
CONSULTING  
#220-2611  
Care

CONFORMANCE WITH THE  
STANDARDS (NACD) AND  
SPECIFICATIONS AND  
THE EIA STANDARDS

NOTES:  
① GEODEDIC Datum AND REFER TO RICHMOND  
TOWER MONUMENT 3441H124.  
② ROAD DE NO. 5 ROAD OPP. CL. GRANVILLE  
AND CONSTRUCTION TO BE IN ACCORD  
WITH MUNICIPAL CONSTRUCTION CODE,  
RICHMOND, B.C., UNLESS OTHERWISE NOTED.

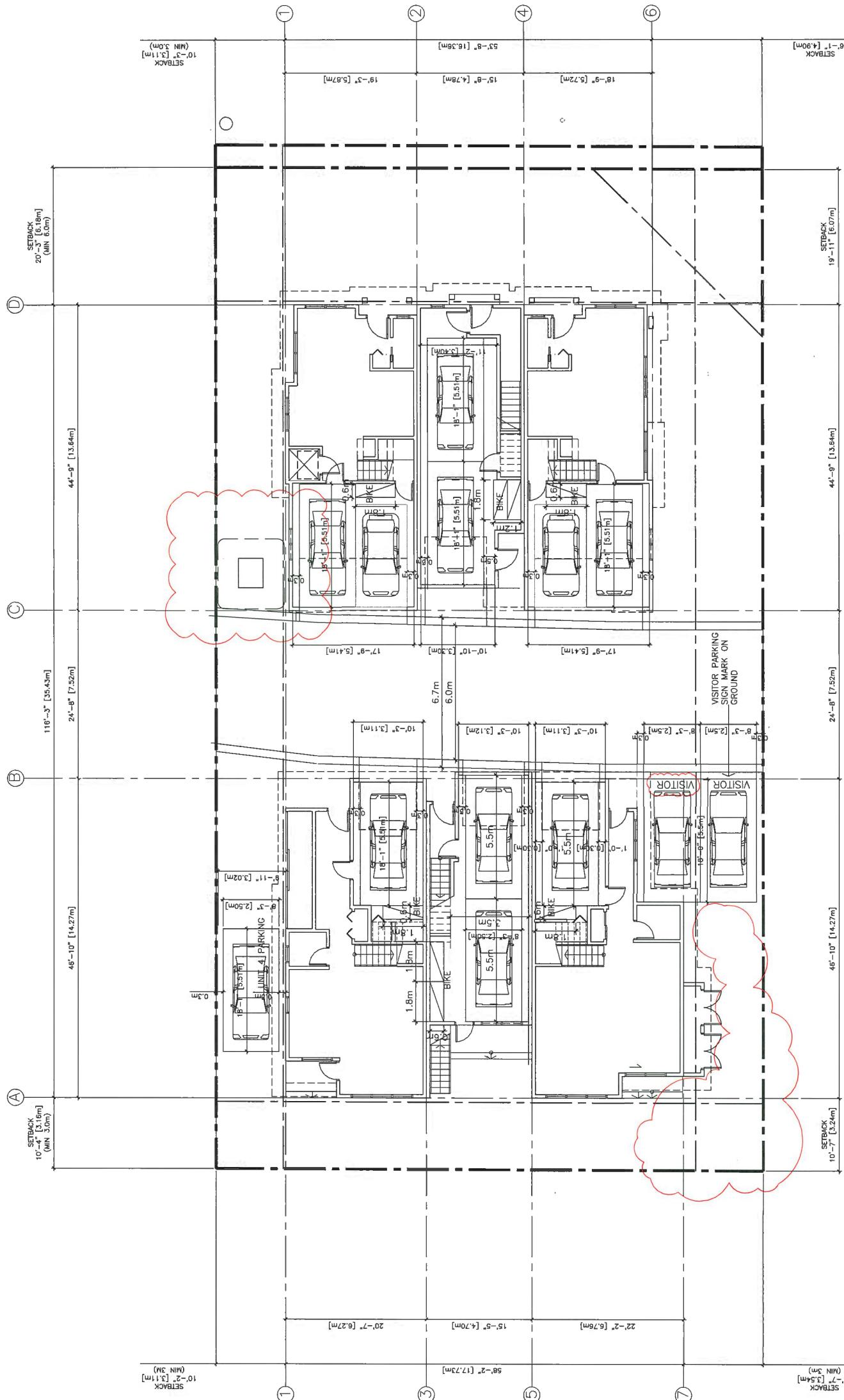
ALL ELEVATIONS ARE  
IN FEET AND INCHES.  
H.P.M. #190, CONT.  
LOCATED IN E. S. I.  
ELEVATION = 353.5  
ALL MATERIALS &  
CURRENT MATERI-  
AL ARE TO BE  
TAKEN FROM THE  
CURENT C.I.  
DETAILED DRAMINGS  
ARE TO BE USED  
FOR CONSTRUCTION  
PURPOSES.

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TRACTOR SHALL BE RESPONSIBLE FOR DELAY IN SERVICE, LOSS, AND/OR NECESSARY EXPENSES INCURRED DUE TO THE DEFECTIVE OR DEFICIENT EQUIPMENT OR PARTS PROVIDED BY THE TRACTOR. IN THESE PLANS, A LIST OF SERVICE IS PROVIDED WHICH CAN BE OBTAINED FROM:  
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PHONE: (604) 237-1900  
TO DAYS NOTICE PRIOR TO THE COMMENCEMENT



ERIC LAW  
ARCHITECT

erikandarchitect@gmail.com  
2161 268 BATHWELL AVENUE VANCOUVER BC  
V5T 1N5



**PROPOSED TOWNHOUSE  
6571-6573 NO. 4 RD  
RICHMOND BC**

**6571-6573 NO. 4 RD**  
**RICHMOND BC**

BARKING-BI AN

三一堂

**DB 16-728670**

PLAN #2

DP 16-728670

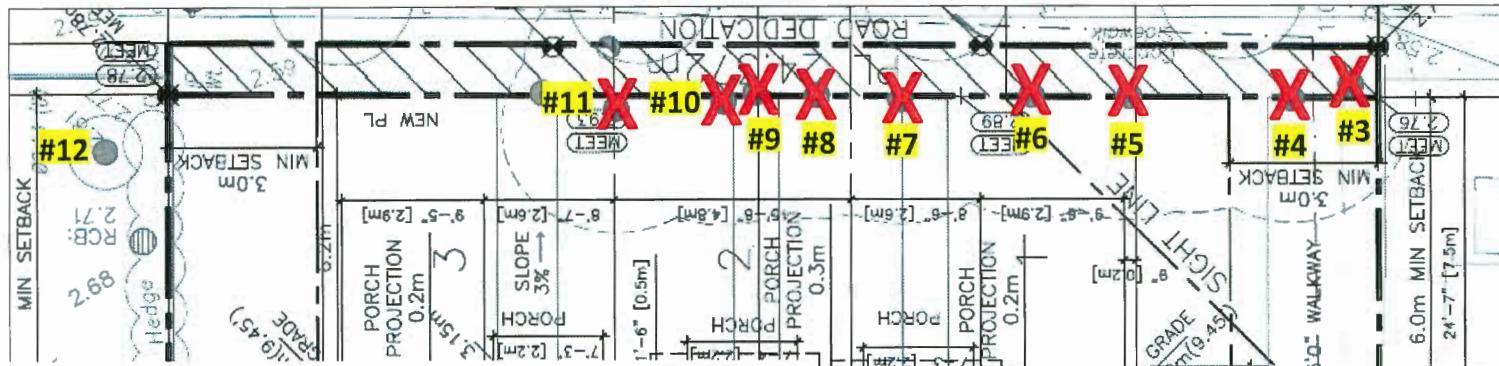
3  
4

**DEVELOPMENT PERMIT**

DP 16-728670

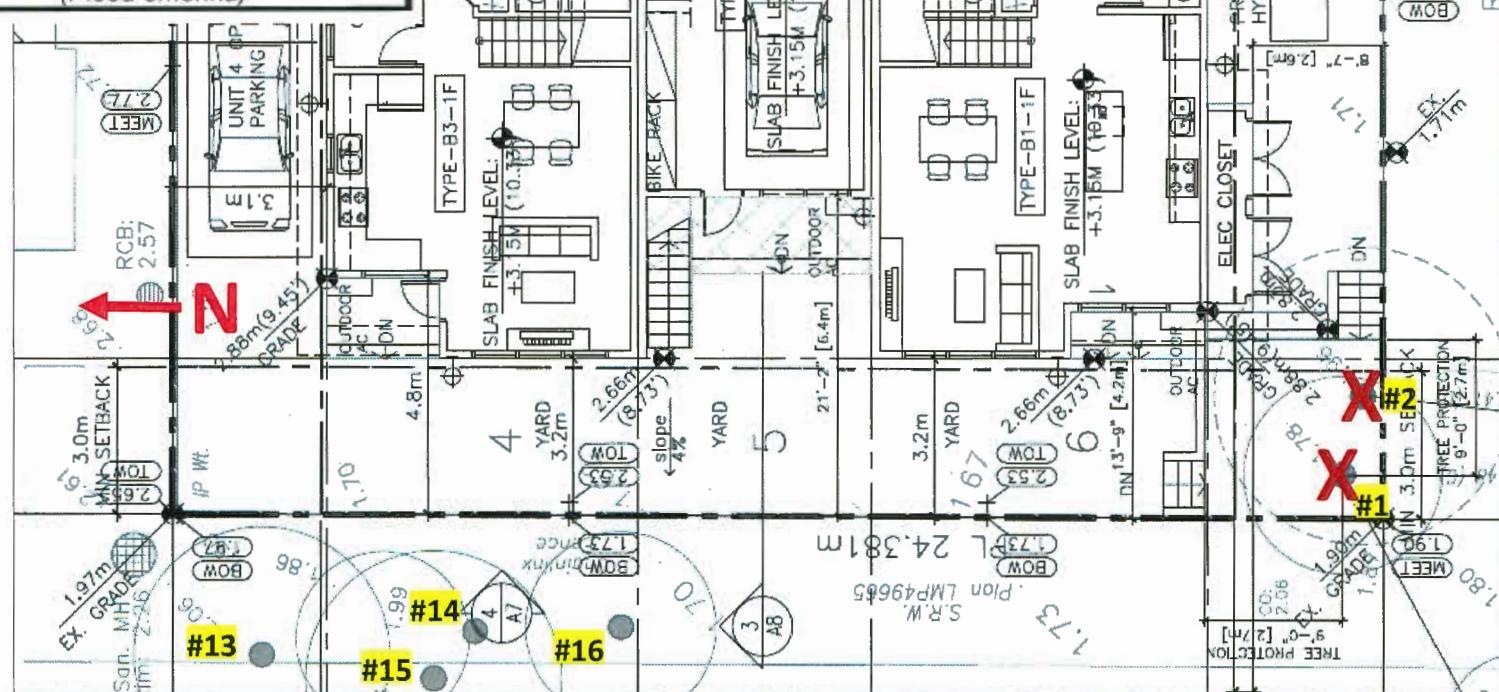
PLAN # 3

## Tree Removal &amp; Retention Plan, Scale 1/16 = 1'



TREE #	TREE SPECIES (on site) (Botanical name)	DBH (cm)	SPREAD (m) Radius
1	Cedar ( <i>Thuja plicata.</i> )	44	4
2	Birch ( <i>Betula sp.</i> )	45	4.5
3	Cedar ( <i>Thuja plicata.</i> )	27	4
4	Cedar ( <i>Thuja plicata.</i> )	31	3.5
5	Cedar ( <i>Thuja plicata.</i> )	41	3.5
6	Cedar ( <i>Thuja plicata.</i> )	46	3.5
7	Cedar ( <i>Thuja plicata.</i> )	29	3.5
8	Cedar ( <i>Thuja plicata.</i> )	24	3.5
9	Cedar ( <i>Thuja plicata.</i> )	30	3.5
10	Cedar ( <i>Thuja plicata.</i> )	34	3.5
11	Cedar ( <i>Thuja plicata.</i> )	39	4

SUITABLE REPLACEMENT TREES (Botanical name)
Ginkgo Princeton Sentry ( <i>Ginkgo biloba 'Princeton Sentry'</i> )
Dik's Weeping Cypress <i>Chamaecyparis lawsoniana 'Dik's Weeping'</i>
Purple Fountain European Beech ( <i>Fagus sylvatica 'Purple Fountain'</i> )
Stewartia ( <i>Stewartia pseudocamellia</i> )
Columnar White Pine ( <i>Pinus strobus 'Fastigiata'</i> )
Serbian Spruce ( <i>Picea omorika</i> )



PLAN #3A MAY 22 2018  
DP 16-723670

L-2

DRAWING TITLE  
HARD LANDSCAPE PLAN  
INFO ON FENCE LAYOUT

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-5573 NO. 4 ROAD, RICHMOND, BC

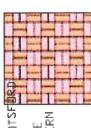
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DATE: March, 18  
DRAWN: [Signature]  
JOB NO: [Signature]

JHL Design Group Inc.  
Landscape Architecture + Urban Design

REVISIONS  
Oct. 16 D2 Revision Submission  
Feb. 17 D2 Revision Submission  
March, 17 D2 Revision Submission  
Aug. 17 D2 Revision Submission  
March, 18 D2 Revision Submission

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## LEGEND



CONG. UNIT PAVER BY ABBOTSFORD  
CONC. PRODUCT SLIDER COURSE  
W/ DOUBLE SOLIDER COURSE  
COLOR: SALMON AND PATTERN  
MATERIAL: END & MATCHING NEIGHBOUR'S  
PROPERTY



ROUNDED EDGE BY ABBOTSFORD  
CONC. PRODUCTS  
FLIP, VISTER PARKING  
COLOR: DESERT SAND AND PATTERN  
STRETCHER BOND  
PERMEABLE PAVER



AQUA PAVER BY ABBOTSFORD  
CONC. PRODUCTS  
FLIP, VISTER PARKING  
COLOR: CHARCOAL  
STRETCHER BOND  
PERMEABLE PAVER



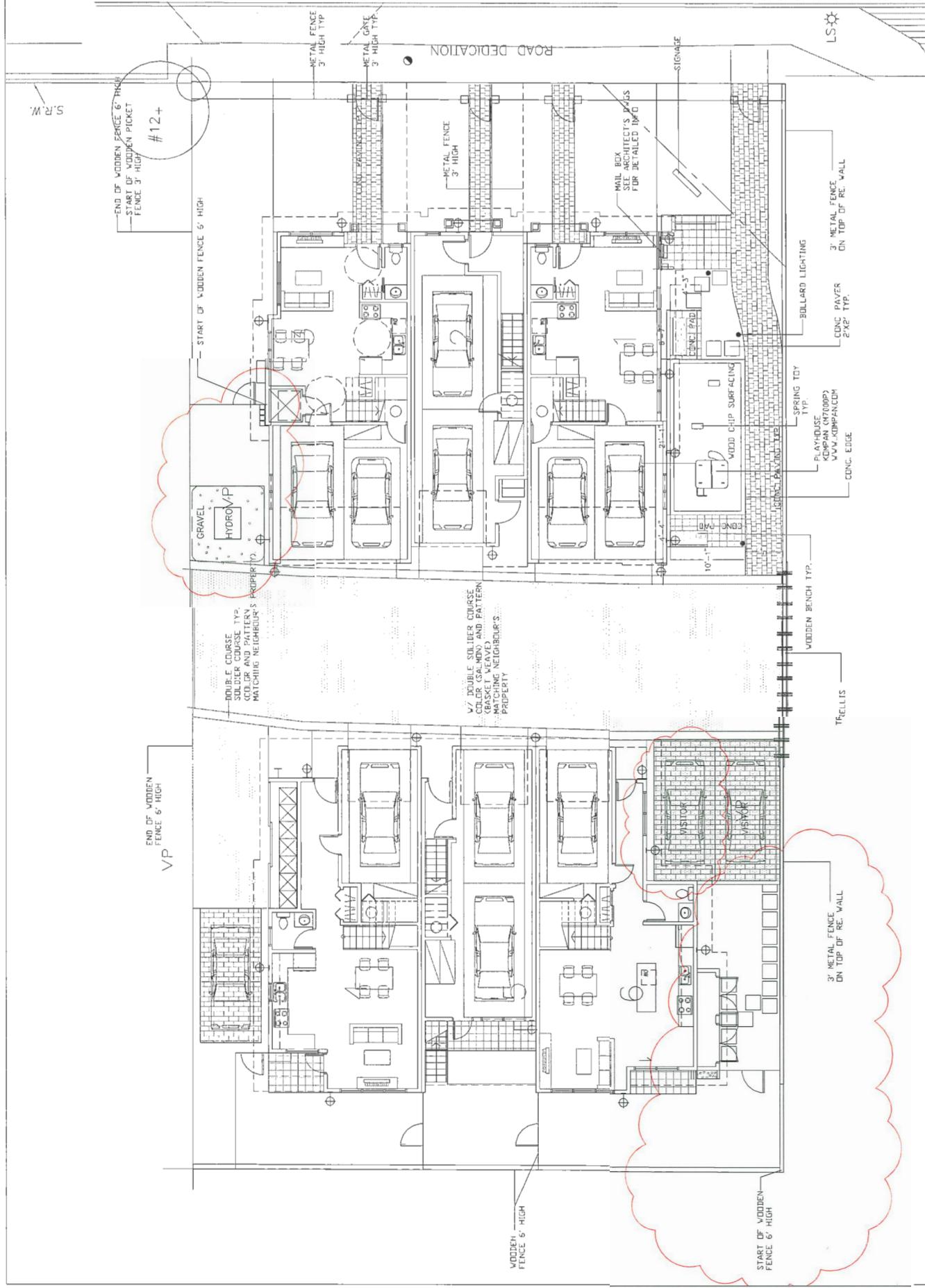
AQUA PAVER BY ABBOTSFORD  
CONC. PRODUCTS  
FLIP, VISTER PARKING  
COLOR: METAL EDGE  
PERMEABLE PAVER

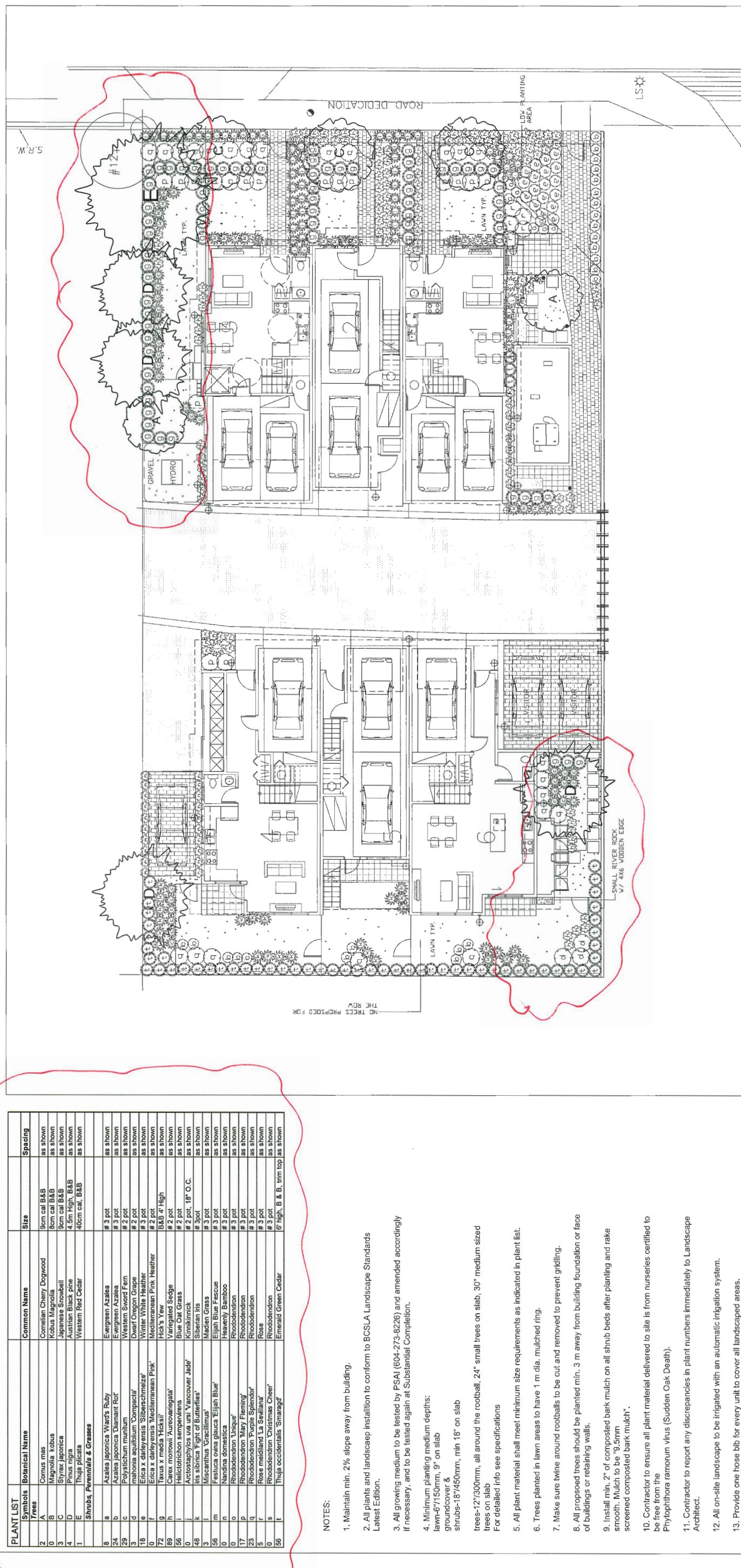


AQUA PAVER BY ABBOTSFORD  
CONC. PRODUCTS  
FLIP, VISTER PARKING  
COLOR: METAL EDGE  
PERMEABLE PAVER



2X2' PAVER  
WALL MOUNTED  
LIGHTING FIXTURE





PLAN #3B

MAY 22 2018

L-3

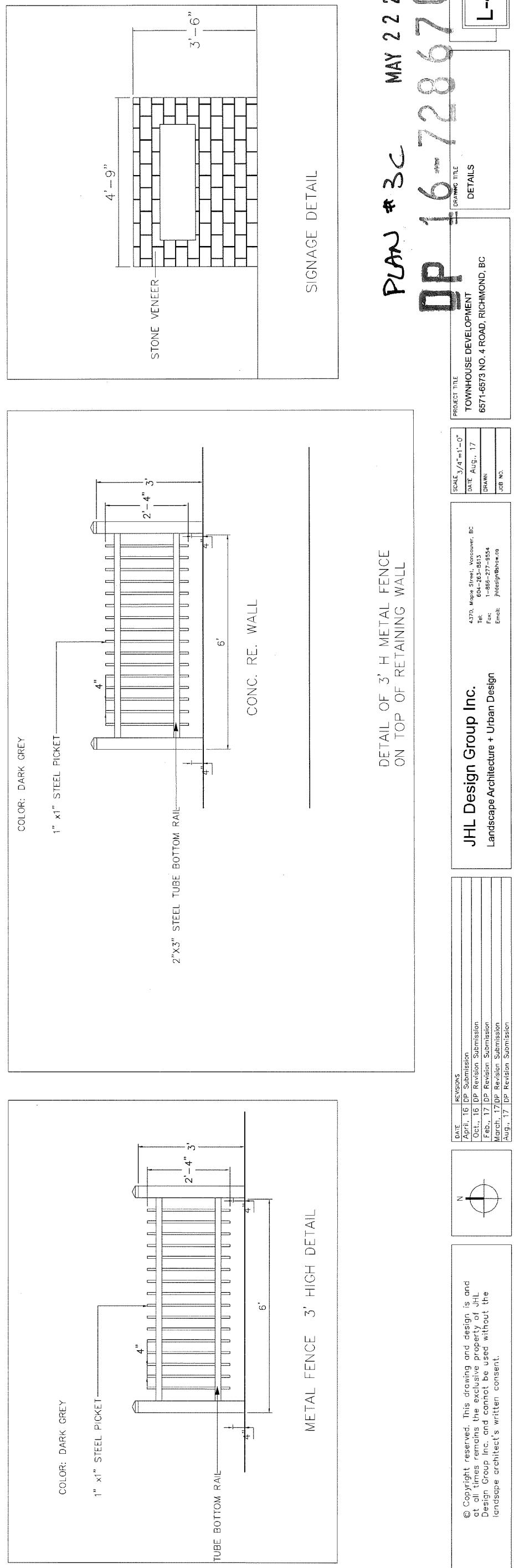
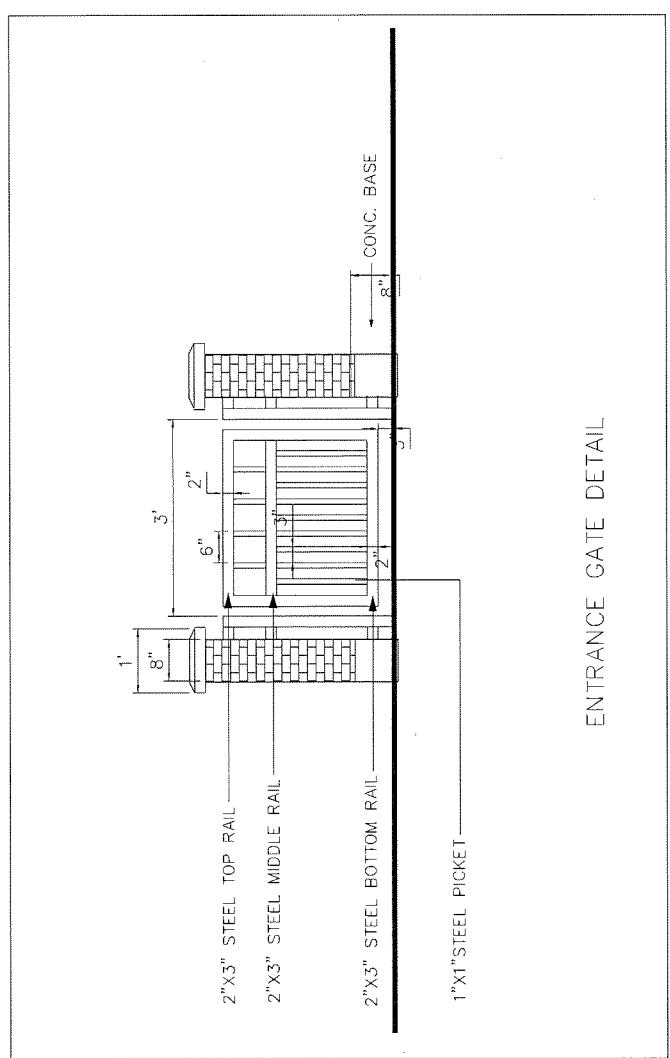
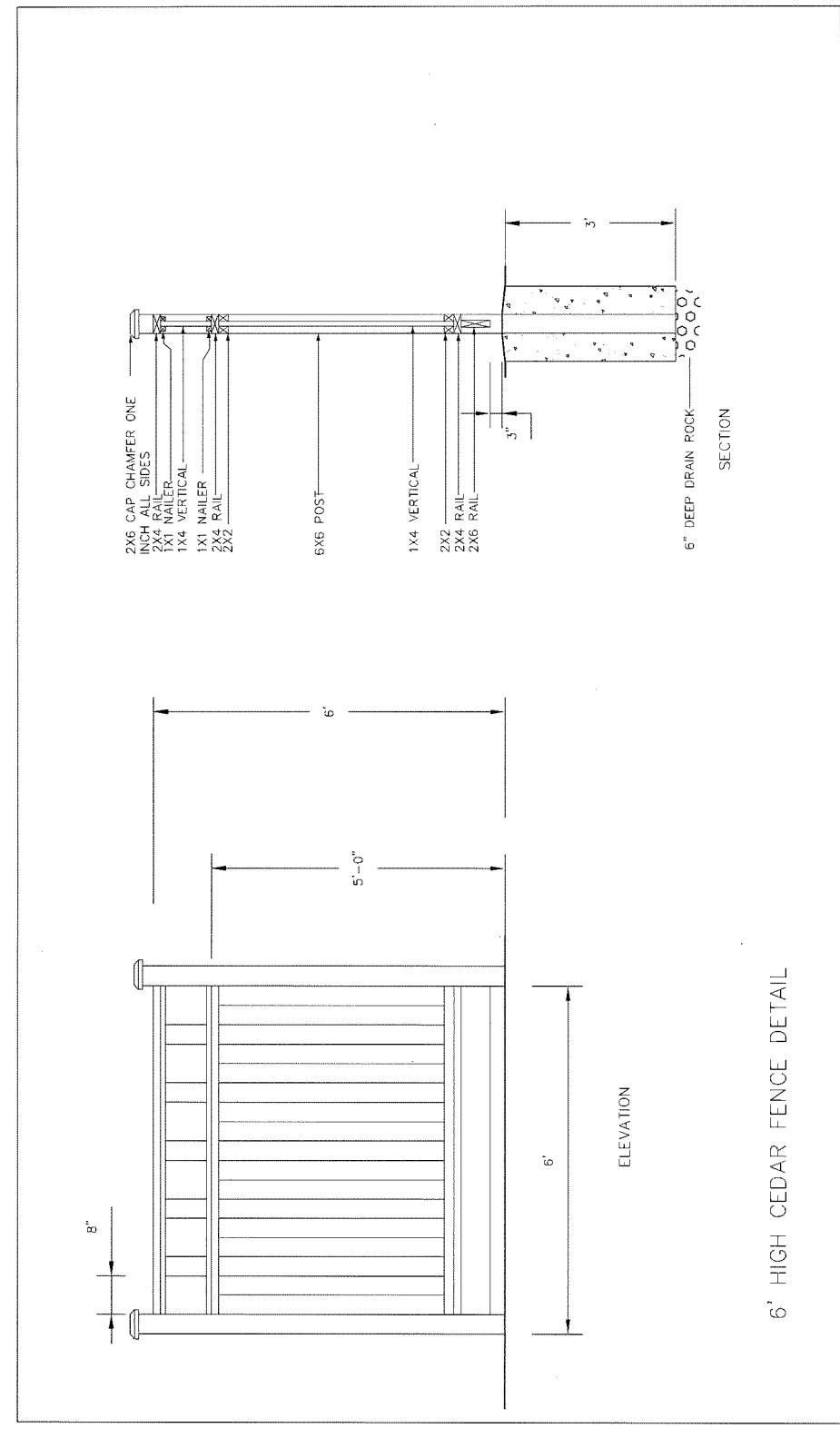
DRAWING TITLE  
LANDSCAPE PLAN/  
PLANT LIST/DETAIL

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

JHL Design Group Inc.  
Landscape Architecture + Urban Design

DATE / REVISION  
Oct. 16 Dp Revision Submission  
Feb. 17 Dp Revision Submission  
March 17 Dp Revision Submission  
Apr. 17 Dp Revision Submission  
March, 18 Dp Revision Submission

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PLAN #3E MAY 22 2018  
DP 16-728670

L-6

DRAWING TITLE  
IMAGES

PROJECT TITLE  
TOWNHOUSE DEVELOPMENT  
6571-6573 NO. 4 ROAD, RICHMOND, BC

SCALE 1/2"=1'-0"  
DATE AUG. 17  
DRAWN  
JOB NO.

JHL Design Group Inc.  
4370, Maple Street, Vancouver, BC  
Tel: 604-263-8613  
Fax: 1-888-277-0554  
Email: jhdsgn@shaw.ca

REVISIONS  
DATE  
April, 16 DP Submission  
Oct., 16 DP Revision Submission  
Feb., 17 DP Revision Submission  
March, 17 DP Revision Submission  
Aug., 17 DP Revision Submission

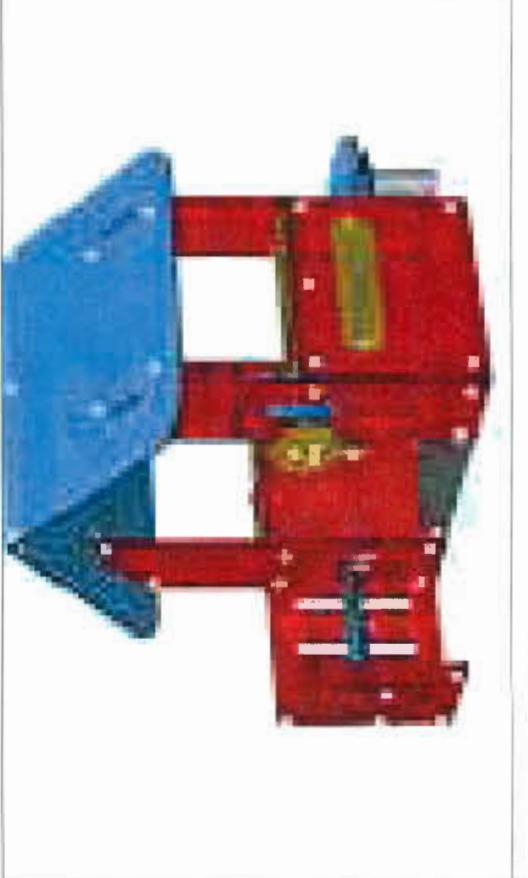


IMAGE OF PLAY HOUSE BY KOMPAN  
(RED HOUSE, M7000)



IMAGE OF BENCH  
(BY CORA CANADA)  
MODEL: MBL720W



IMAGE OF SPRING TOY BY KOMPAN



IMAGE OF BIKE RACK  
(BY CORA CANADA)

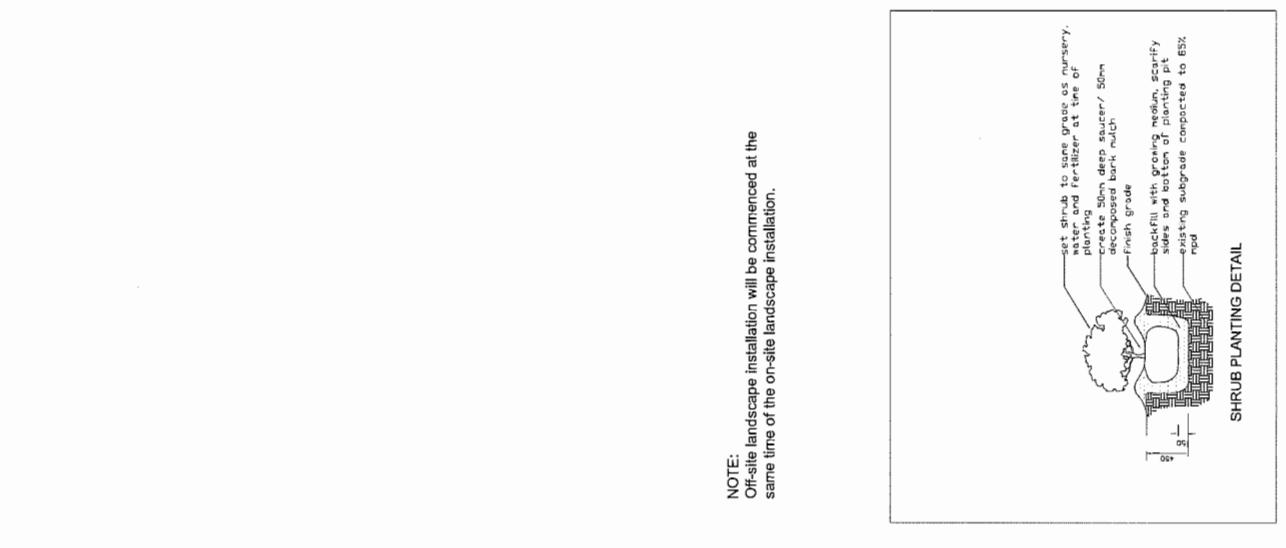
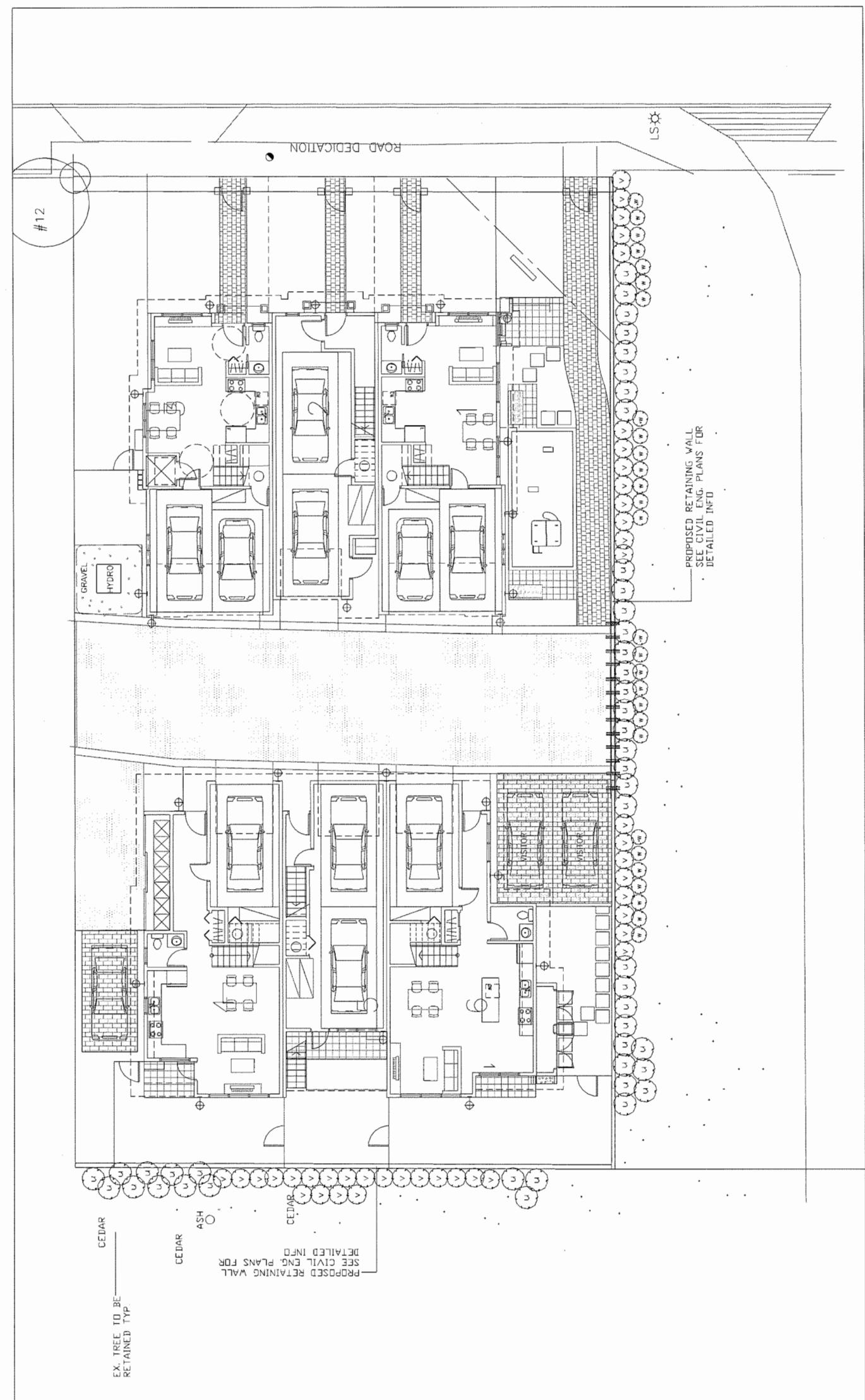


IMAGE OF SPRING TOY BY KOMPAN



IMAGE OF BOLLARD LIGHTING  
(BY FARWEATHER, DOWNTIGHT LED 36W)

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PLANT LIST		OFF-SITE Symbols/Botanical Name	Common Name	Size	Spacing
	<b>Trees</b>				
	<b>Shrubs, Perennials &amp; Grasses</b>				
45	u	Manonia aquifolium	Oregon Grape	# 2 pot	as shown
41	v	Rosa rugosa 'Alba'	York Rose	# 2 pot	as shown
28	w	Erica x Darleyensis 'Arthur Johnson'	Pink Winter Heather	# 1 pot	as shown

**SHRUB PLANTING DETAIL**



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**JHL Design Group Inc.**  
Landscape Architecture + Urban Design

4370, Maple Street, Vancouver, BC  
Tel: 604-211-4613  
Fax: 1-866-273-9554  
Email: [hdesign@shaw.ca](mailto:hdesign@shaw.ca)

SCALE: 1/3" = 1'-0"  
DATE: May, 18  
DRAWN:  
JOB NO:

DRAWING TITLE:  
OFF SITE LANDSCAPE PLAN  
PLANT LIST/DETAIL

L-7

**DP 16-728670**

**PLAN # 3F**

**MAY 22 2018**

**ERIC LAW  
ARCHITECT**



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V8Y 1H5  
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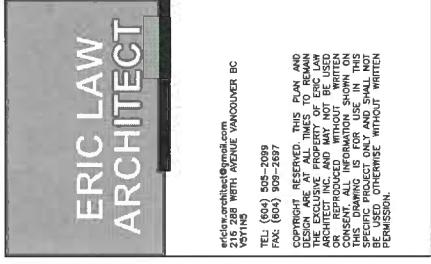
**PLAN #4 MAY 22 2018**  
**DP 16-728670 A9**

DP 16-728670

DEVELOPMENT PERMIT







**ERIC LAW  
ARCHITECT**

eric.law.architect@gmail.com  
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V6H 5P9  
TEL: (604) 505-2099  
FAX: (604) 509-2697

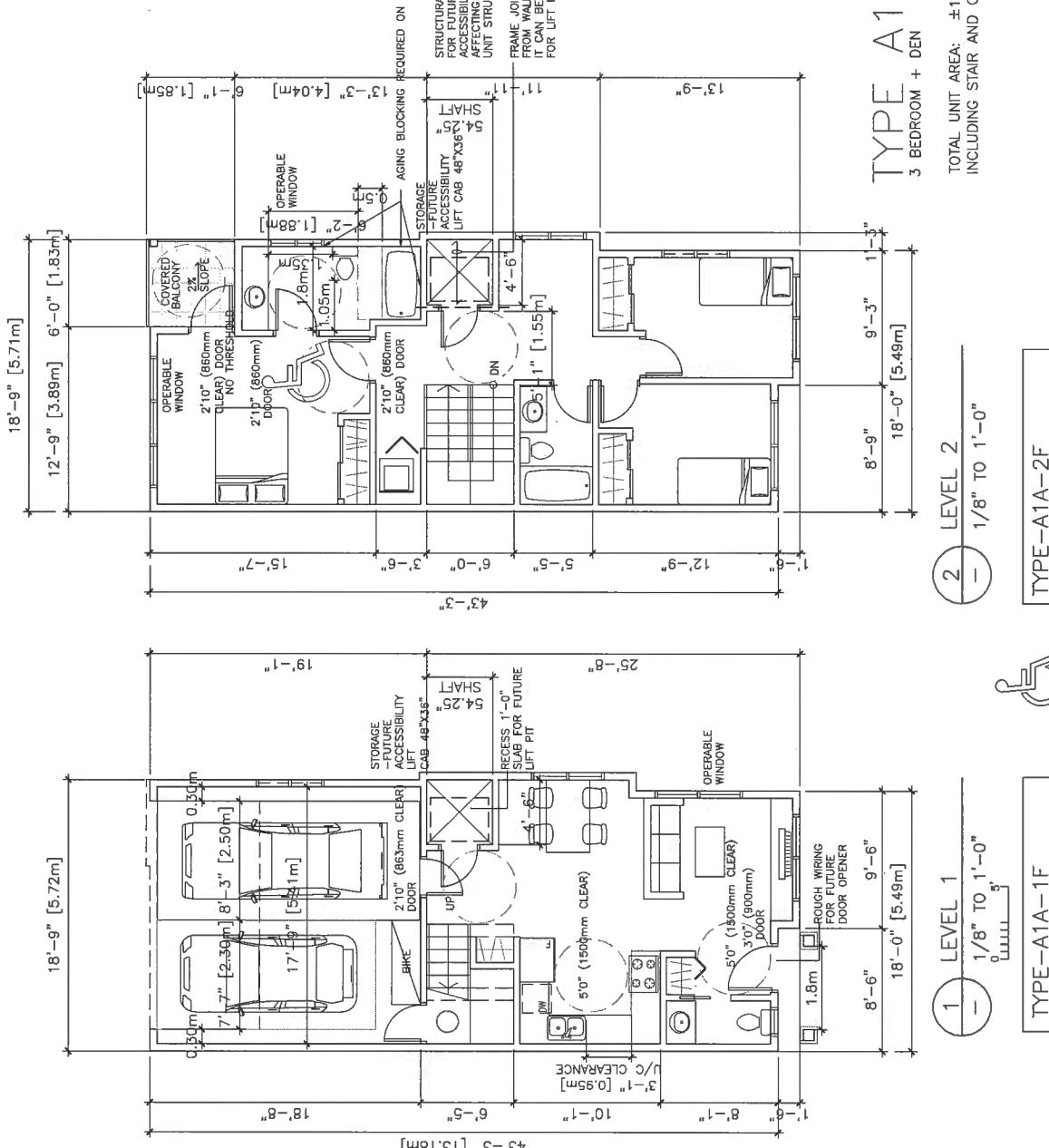
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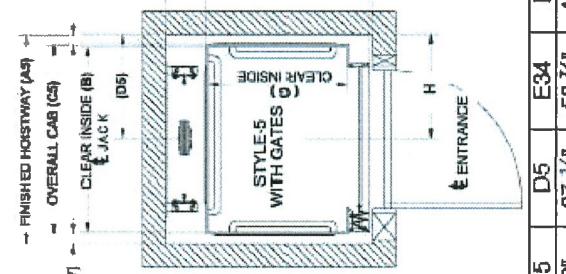
ISSUED

1 2016.03.04 FOR DP APPLICATION  
2 2016.10.25 FOR DP RESUBMISSION  
3 2017.02.28 FOR CITY DP REVIEW  
4 2017.05.24 FOR CITY DP RESUBMISSION  
5 2017.07.21 FOR CITY DP RESUBMISSION  
6 2017.07.27 FOR CITY DP RESUBMISSION  
7 2017.08.22 FOR CITY DP RESUBMISSION  
8 2018.04.16 FOR CITY DP AMENDMENT

CONVERTIBLE UNIT GUIDELINES	
DOORS & DORWAYS	<ul style="list-style-type: none"> <li>- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS,</li> <li>- ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).</li> <li>- INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT, DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DORWAYS) IF NECESSARY TO SECURE ACCESS.</li> <li>- PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. — ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.</li> <li>- LEVER-TYPE HANDLES FOR ALL DOORS.</li> </ul>
VERTICAL CIRCULATION	<ul style="list-style-type: none"> <li>- STAR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.</li> <li>- VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS, FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.</li> <li>- AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.</li> </ul>
HALLWAYS	<ul style="list-style-type: none"> <li>- MIN. 900 MM WIDTH.</li> </ul>
GARAGE	<ul style="list-style-type: none"> <li>- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.</li> <li>- ACCESS FROM GARAGE TO LIVING AREA MIN. 860 MM CLEAR OPENING.</li> </ul>
BATHROOM (MIN. 1)	<ul style="list-style-type: none"> <li>- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.</li> <li>- 2" X 12" SOLID LUMBER AT TOILET, TUB AND SHOWER, REINFORCED WITH LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.</li> <li>- PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.</li> <li>- CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).</li> </ul>
KITCHEN	<ul style="list-style-type: none"> <li>- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE.</li> <li>- PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR), LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK &amp; MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 300 MM TO 350 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.</li> <li>- CABINETS UNDERNEATH SINK ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).</li> </ul>
WINDOWS	<ul style="list-style-type: none"> <li>- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)</li> </ul>
OUTLETS & SWITCHES	<ul style="list-style-type: none"> <li>- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.</li> <li>- UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.</li> </ul>
ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE DWELLING UNITS	
<ol style="list-style-type: none"> <li>(1) PROVIDE PRE-DUCTING TO ACCOMMODATE FUTURE SOLAR HOT WATER HEATING</li> <li>(2) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS:</li> <li>(3) STAIRWELL HANDRAILS</li> <li>(4) LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES</li> <li>(5) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS AND SHOWERS</li> </ol>	
TOWNHOUSE SHALL MEET AND INCORPORATE THE ACoustic RECOMMENDATIONS BY BKL CONSULTANTS REPORT DATED JULY 22, 2016	
TOTAL UNIT AREA: ±1376.85 SQ. FT. INCLUDING STAIR AND G/F ENTRY	
SEPTEMBER 9, 2016	
TOWNHOUSE SHALL MEET AND INCORPORATE THE THERMAL COMFORT RECOMMENDATIONS BY ENERGUIDE 82 REQUIREMENTS	
RECOMMENDATIONS BY E3 ECO GROUP INC REPORT DATED JULY 10, 2017	



**On / Off Same Side Front Configuration Style 5:**



Cab Size	A5	B	C5	D5	E34	F34	G	H
36" x 48"	54 1/4"	48"	49"	27 1/8"	53 7/8"	42 1/4"	36"	27 1/8"

PROPOSED TOWNHOUSE	
6571-6573 NO. 4 RD	RICHMOND BC
REVISION	
PROJECT NUMBER: 12-03	4/17/2018
DRAWN BY: EL	
CHECKED BY: EL	
FILENAME: 12-03-SD-180417-DPP-AMEND	

**UNIT PLANS**

PROPOSED TOWNHOUSE	
6571-6573 NO. 4 RD	RICHMOND BC
REVISION	
PROJECT NUMBER: 12-03	4/17/2018
DRAWN BY: EL	
CHECKED BY: EL	
FILENAME: 12-03-SD-180417-DPP-AMEND	

MAY 22 2018

**DP 16-728670**

REFERENCE PLAN

DEVELOPMENT PERMIT

**A6**



# City of Richmond

## Report to Development Permit Panel

**To:** Development Permit Panel

**Date:** May 22, 2018

**From:** Wayne Craig  
Director, Development

**File:** DP 17-782861

**Re:** Application by Konic Development for a Development Permit at 5660, 5680 and 5700 Williams Road

### Staff Recommendation

That a Development Permit be issued which would permit the construction of six back-to-back duplexes at 5660, 5680 and 5700 Williams Road on a site zoned "Two-Unit Dwelling (ZD5) – Steveston/Williams".



Wayne Craig  
Director, Development  
(604-247-4625)

WC:el  
Att. 2

## Staff Report

### Origin

Konic Development has applied to the City of Richmond for permission to develop six back-to-back duplexes at 5660, 5680 and 5700 Williams Road. The site is being rezoned from "Single Detached (RS1/E)" zone to a new site specific "Two-Unit Dwelling (ZD5) – Steveston/Williams" zone under Bylaw 9553 (RZ 15-693220), which received Third Reading following the Public Hearing on June 20, 2016. The site is currently vacant. A Servicing Agreement for frontage upgrades and service connections is required prior to Subdivision approval.

### Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

Development surrounding the subject site is as follows:

- To the north, across Williams Road, single-family homes on lots zoned "Single Detached (RS1/E)" and "Single Detached (RS1/C)", and an eight-unit townhouse development on a lot zoned "Low Density Townhouses (RTL1)".
- To the east, fronting Williams Road, a utility station owned by Telus on lots zoned "School & Institutional Use (SI)".
- To the south, fronting Lawson Drive, single-family homes on smaller lots zoned "Single Detached (RS1/B)".
- To the west, fronting Williams Road, single-family homes on lots zoned "Single Detached (RS1/E)".

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 20, 2016. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

#### Typology and Density of the Proposed Development

Residents were concerned that the proposed typology, as well as the number of units and driveways, will have a negative impact on the character of the neighbourhood and on traffic on Williams Road.

Subsequent to the Public Hearing, a set of location criteria, development requirements, and Development Permit guidelines for duplex developments along arterial roads were developed. These were based on in-depth reviews (including road capacity) and public consultation, as part of the Arterial Road Land Use Policy Updates and were approved by Council on December 19, 2016.

The subject proposal is generally in compliance with the location criteria, development requirements, and Development Permit guidelines for duplex developments. The character, massing and scale of the duplex buildings will be controlled to resemble that of a single-family home in the immediate neighbourhood. Access to each property will be from a shared driveway (i.e., one driveway for every two lots consisting of a total of four units) to minimize traffic impacts. There are currently three driveways serving the three existing single-family lots. The total number of driveways for the proposed duplex development will remain at three. No increase in number of driveways is proposed.

#### Affordability

Residents have concerns over the affordability of the proposed duplex development and that the proposed development provides no benefits to affordable housing.

One of the intentions to introduce duplexes on arterial roads is to provide a new housing option for the residents. Duplex developments on arterial roads would allow smaller homes to be built on large arterial road properties where there is no subdivision potential. While the maximum permitted density for the duplex development is 0.6 floor area ratio (FAR), the actual maximum unit size is limited to 167 m<sup>2</sup> or 1,800 ft<sup>2</sup>. This is larger than the typical townhouse unit on an arterial road (ranging from approximately 111 m<sup>2</sup> or 1,200 ft<sup>2</sup> to 139 m<sup>2</sup> or 1,500 ft<sup>2</sup>), and smaller than the typical compact single-family home on an arterial road (approximately 204 m<sup>2</sup> or 2,200 ft<sup>2</sup> and up). Staff envisions that a duplex unit would be more affordable than a single-family home on a compact lot.

In addition, a cash contribution in accordance to the City's Affordable Housing Fund has been secured at rezoning.

#### Drainage

Perimeter drainage will be installed as part of the Building Permit to ensure the proposed grade change does not adversely impact the surrounding sites.

#### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Two-Unit Dwelling (ZD5) – Steveston/Williams" zone.

#### **Advisory Design Panel Comments**

The Advisory Design Panel reviewed and provided comments on the proposal; however, the Panel did not support the project to move forward to the Development Permit Panel. The Advisory Design Panel feels that the duplex development might not be the best land use for the subject site and might not be a good standard for densification in Richmond. It is noted that land use and density is out of the scope of the Advisory Design Panel and the Development Permit Panel.

Despite the Advisory Design Panel's concerns about land use the Panel was generally in support of the design of the proposal, since the proposal has been designed to meet the applicable zoning requirements and Development Permit guidelines.

## **Analysis**

### ***Conditions of Adjacency***

- The proposed height, siting and orientation of the proposed duplexes respect the finer grain of the evolving character in the surrounding residential urban context. The massing of the proposed development compliments the existing surrounding single-family developments. Efforts have been made to offset windows on adjacent buildings.
- A line of 1.52 m (60 in.) tall wood fence on top of an approximately 0.7 m to 0.82 m (27 in. to 32 in.) high retaining wall, and a line of Portuguese Laurel hedge are proposed along the rear property line to provide a buffer between the proposed duplexes and the adjacent single-family homes to the south. Two trees will also be planted within each of the rear yards (12 trees in total) to provide additional natural screening in response to privacy concerns raised by the neighbouring residents.
- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

### ***Urban Design and Site Planning***

- Six duplex lots are proposed; each duplex lot will contain a duplex building with a front duplex unit facing the street and a back duplex unit fronting onto the internal drive aisle. The subdivision of the subject site into six lots requires a separate application. The subdivision must be approved prior to issuance of a Building Permit.
- The 12 duplex units are grouped into three clusters of four duplex units each. A shared driveway will be provided for each pair of duplex lots (with a cluster of four duplex units) to minimize traffic impacts. Internal drive aisles are designed as vehicle courtyards to accommodate a turnaround area for vehicles; vehicles will not be allowed to reverse out of the site onto Williams Road. A cross access easement will be secured at Subdivision.
- The number of resident parking spaces and visitor parking spaces proposed are in compliance with the minimum bylaw requirement. All units will have two vehicle parking spaces in a side-by-side double car garage. One on-site visitor parking space will be provided for each pair of duplex lots (with a cluster of four duplex units); a cross access easement will be secured at Subdivision.
- No common or shared Indoor/Outdoor Amenity Space is required for this development, but each unit will have access to a private outdoor space. The provision of private outdoor spaces complies with the Development Permit Guidelines (minimum of 30 m<sup>2</sup> per unit) of the OCP. All units will have a private outdoor space consisting of a front or rear yard and a balcony on the second floor.

- All individual garages are designed to accommodate garbage, recycling and organic waste storage containers indoor. It is noted that the garbage and recycling vehicles will not enter into the internal drive aisles duplex clusters; a garbage/recycling holding area will be provided by the entry driveway on each duplex lot to accommodate scheduled collection.

### ***Architectural Form and Character***

- The character, massing and scale of the street fronting units are designed to resemble that of a single-family home.
- A pedestrian scale is generally achieved along Williams Road through the inclusion of variation in architectural styles, building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances. Efforts were made to differentiate the building façades along Williams Road with various combinations of unit layouts, cladding materials, colours, trims, decorative details, and roof line treatments.
- Additional architectural treatments (such as bay windows and various roof line treatments) were given to the side elevations along the internal courtyards and to the exterior side elevation of Buildings #1 and #6.
- Four different unit layouts are proposed in each duplex cluster of four units, including a convertible unit.
- The proposed building materials (asphalt shingles, composite lap siding, hardie board, hardie shake, cultural stone cladding, and wood trims) are generally consistent with the Official Community Plan (OCP) Guidelines.
- Different colour schemes are proposed for each of the six main façades along Williams Road. For the side and rear elevations, bright colours (light grey and beige colors) are proposed to harmonize with those on existing neighbouring buildings; darker colours are proposed on fascia boards, trim boards, and window frames to achieve contrast.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage. Based on the 2:1 tree replacement ratio goal stated in the OCP, 24 replacement trees are required for the removal of 12 bylaw-sized trees. The applicant is proposing to plant 18 new trees on-site and provide a voluntary cash contribution in the amount of \$500/tree (i.e., \$3,000 in total) to the City's Tree Compensation Fund.
- The landscape architect advised that the spaces available for tree planting is limited due to the density of the development, the required off-site works, and the location and configuration of the existing statutory right-of-ways (SRWs) on-site, and it is inappropriate to introduce conifer trees on-site. 18 deciduous trees ranging from 6 cm to 11 cm caliper size are proposed.

- The applicant has committed to the relocation of an existing Monkey Puzzle tree (i.e., a conifer tree) on-site. The tree will be relocated to the northeast corner of the site. A proof of a contract with a company specializing in tree relocation to undertake the transplant of this tree and a Tree Survival Security to the City in the amount of \$2,000 have been secured at rezoning stage.
- Along Williams Road, the front yards will be landscaped with layers of plantings, including one tree per new lot and various shrubs and ground covers to provide an enclosed private yard space with a lawn area.
- Each of the rear duplex units will have a private yard with a patio and a lawn area; with landscaping along the perimeter of the space to provide privacy screening and greenery.
- The shared drive aisles and visitor parking stalls will be treated with permeable pavers for better water infiltration. A small landscaping pad is proposed between the garages on the same lot to create visual segregation between units.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$118,161.70 in association with the Development Permit.

#### ***Crime Prevention Through Environmental Design***

- Passive surveillance opportunities are presented through the siting of the building and the relationship between the indoor spaces and the outdoor areas to meet safety and crime prevention objectives.
- Extra windows have been added where possible to allow for passive surveillance of common areas.
- Site lighting and clear sight lines provide unobstructed views of surrounding area.
- Plantings near residential entries are low to maximize views and casual surveillance opportunities of common areas.

#### ***Sustainability***

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed duplexes and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed duplex units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- Each garage will be equipped with a 240V receptacle to accommodate future electric vehicle charging equipment.
- The developer also advises that the following sustainability features will be incorporated into the development:
  - Use of Low E double glazing windows.
  - Use of Energy Star appliances in all units.

***Accessible Housing***

- The proposed development includes three convertible units (one unit in each duplex cluster of four) that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space which has been dimensioned to allow for this in both units, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusions**

As the proposed development meets applicable policies and Development Permit Guidelines and the applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2, staff recommend support of this Development Permit application.



Edwin Lee  
Planner 1  
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet  
Attachment 2: Development Permit Considerations



# City of Richmond

## Development Application Data Sheet

Development Applications Department

DP 17-782861

Attachment 1

Address: 5660, 5680 and 5700 Williams Road

Applicant: Konic Development Owner: Diamond Williams Homes (Konic) Inc.

Planning Area(s): Steveston

Floor Area Gross: 427 - 430 m<sup>2</sup> (per lot) Floor Area Net: 318 m<sup>2</sup> (per lot)

	Existing	Proposed
<b>Site Area:</b>	3,185 m <sup>2</sup>	Six lots @ approx. 530 m <sup>2</sup> each
<b>Land Uses:</b>	Single-family dwellings	Two-unit dwellings
<b>OCP Designation:</b>	Neighbourhood Residential	No change
<b>Zoning:</b>	Single-Detached (RS1/E)	Two-Unit Dwelling (ZD5) – Steveston/Williams
<b>Number of Units:</b>	3	12

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max 0.6	0.6	none permitted
Floor Area (per unit):	Max. 167.22 m <sup>2</sup>	157.76 m <sup>2</sup> - 160.35 m <sup>2</sup>	none permitted
Lot Coverage (per lot):	Max. 45%	44.1% - 44.6%	none
Lot Coverage – Non-porous Surfaces (per lot):	Max. 70%	52% - 54%	none
Lot Coverage – Landscaping (per lot):	Min. 25%	25.5% - 26%	none
Setback – Front Yards:	Min. 6.0 m	7.82 m – 8.23 m	none
Setback – Side Yards (internal):	Min. 1.2 m	1.22 m - 1.74 m	none
Setback – East Property Line:	Min. 1.2 m	1.29 m	none
Setback – West Property Line:	Min. 1.2 m	1.28 m	none
Setback – Rear Yards:	Min. 6.0 m	6.01 m – 6.12 m	none
Height (m):	Max. 2 storeys, but not exceed the residential vertical lot width and the residential vertical lot depth envelope (i.e., 9.0 m)	8.65 m – 8.67 m	none
Lot Width (per lot) (m):	Min. 10.5 m with shared access	11.28 m	none

Lot Depth (per lot) (m):	Min. 45 m	47.13 m	none
Lot Size (per lot):	Min. 464.5 m <sup>2</sup>	530 m <sup>2</sup> - 531 m <sup>2</sup>	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) per unit; and 1 (V) per a cluster of three or more units	2 (R) and 0.25 (V) per unit	none
Off-street Parking Spaces – Accessible:	not required	0	none
Tandem Parking Spaces	not permitted	0	none
Off-street Parking Spaces – Total:	24 (R) and 3 (V)	24 (R) and 3 (V)	none



# City of Richmond

ATTACHMENT 2

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 5660, 5680 and 5700 Williams Road

**File No.:** DP 17-782861

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. Adoption of Rezoning Bylaw 9551 (RZ 15-693220);
2. City acceptance of the developer's offer to voluntarily contribute \$3,000 to the City's Tree Compensation Fund for the planting of replacement trees within the City.
3. Receipt of a Letter of Credit for landscaping in the amount of \$118,161.70.

**At Subdivision\* stage, the applicant must complete the following requirements:**

1. Pay Development Cost Charges (City & GVS&DD), School Site Acquisition Charge, and Address Assignment Fee. Servicing connections are to be determined at Servicing Agreement stage.
2. Enter into a Servicing Agreement\* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to, the following service works and off-site improvements:

*Water Works:*

- Using the OCP Model, there is 637.9 L/s of water available at a 20 psi residual at the Williams Road frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
- At the Developers cost, the City is to:
  - Cut and cap the existing water service connections at the watermain along Williams Road frontage.
  - Install 12 new water service connections complete with meter and meter box along Williams Road frontage.

*Storm Sewer Works:*

- At the Developers cost, the City is to:
  - Cut and cap the existing storm service connections and remove the existing storm sewer inspection chambers fronting Williams Road.
  - Install 3 new storm service connections complete with a new inspection chamber and dual service leads, and tie-in to existing 600mm storm sewer on the south side of Williams Road.

*Sanitary Sewer Works:*

- At the Developers cost, the City is to:
  - Cut and cap the existing service lead to 5660 Williams Road in the southwest corner of the lot.
  - Cut and cap the existing sanitary service connections and remove the existing sanitary sewer inspection chamber for 5680 and 5700 Williams Road.

Initial: \_\_\_\_\_

- Install three (3) new service connections complete with inspection chambers and dual service leads along the south end of the property line.
- All sanitary works to be completed prior to any onsite building construction.

*Frontage Improvements:*

- The Developer is required to:
  - Construct a new 2.0 m wide concrete sidewalk at the property line. The new sidewalk is to connect to the existing sidewalk east and west of the site.
  - Remove the existing sidewalk and backfill the area between the curb and the new sidewalk to provide a minimum 1.5 m wide treed and landscaped boulevard (width of the boulevard is exclusive of the 0.15 m wide top of curb).
  - Construct the driveways to City design standards with 0.9 m flares at the curb and 45° offsets to meet the grade of sidewalk/boulevard.
  - Provide special stamped/tinted concrete treatment for the sidewalk across each driveway and green bike lane paint for the bike lane at the crossing.
  - Consult Parks on the requirements for tree protection/placement including tree species and spacing as part of the frontage works.
  - Consult Engineering on lighting and other utility requirements as part of the frontage works.
  - Coordinate with BC Hydro, Telus and other private communication service providers:
    - To underground Hydro service lines.
    - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
    - To determine if above ground structures are required and coordinate their locations (e.g. LPT, Shaw cabinets, Telus Kiosks, etc.).

*General Items:*

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Installation of appropriate tree protection fencing around all trees transplanted as part of the development prior to any construction activities, including building demolition, occurring on-site.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of energy efficiency, CPTED, sustainability, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.

Initial: \_\_\_\_\_

5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

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Signed

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Date



# City of Richmond

## Development Permit

No. DP 17-782861

To the Holder: KONIC DEVELOPMENT

Property Address: 5660, 5680 AND 5700 WILLIAMS ROAD

Address: C/O KEITH LEUNG  
#1135 - 13700 MAYFIELD PLACE  
RICHMOND, BC V6V 2E4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$118,161.70 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 17-782861**

To the Holder: KONIC DEVELOPMENT  
Property Address: 5660, 5680 AND 5700 WILLIAMS ROAD  
Address: C/O KEITH LEUNG  
#1135 - 13700 MAYFIELD PLACE  
RICHMOND, BC V6V 2E4

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7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

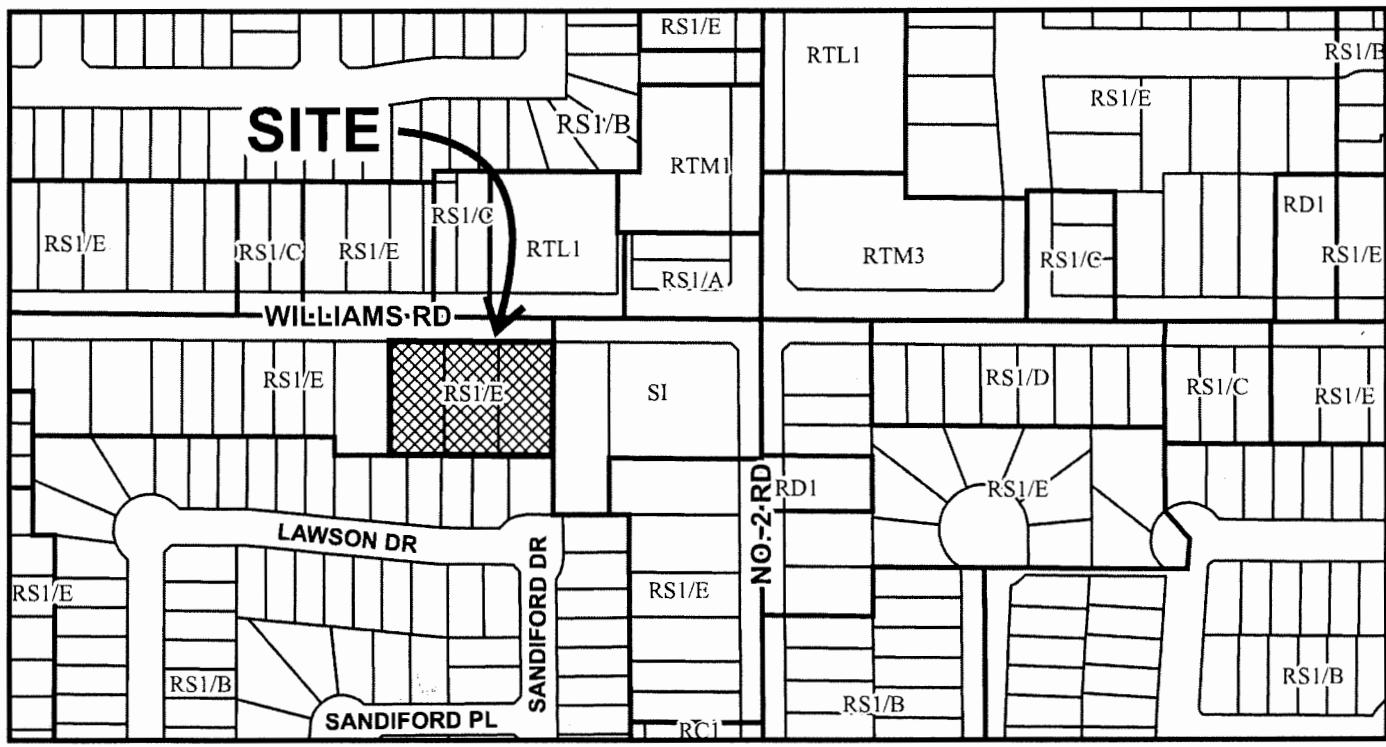
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR

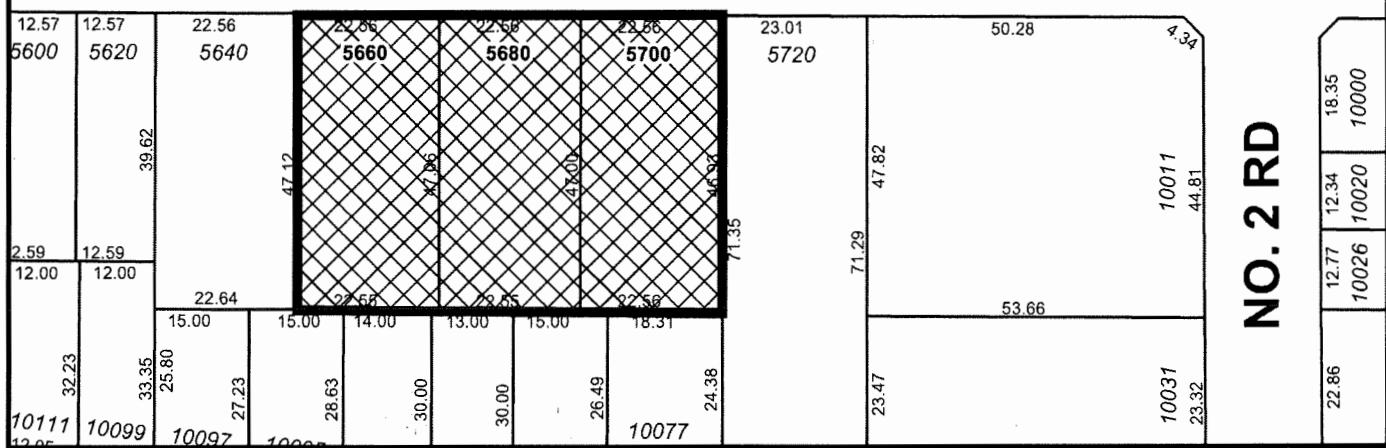


# City of Richmond



45	45	45	45	45	5	50	40.77	977	56
615 3.51	5631 18.02	5651 18.02	5671 13.76	5691 13.76	5711 13.75	5931 52.60	5993 37.76		67

## WILLIAMS RD



**DP 17-782861**  
**SCHEDULE "A"**

Original Date: 09/12/17

Revision Date:

Note: Dimensions are in METRES

## Project Statistics

Civic Address	5660, 5680, 5700 Williams Road, Richmond, BC
Legal Description	Lot 2, Plan 16855, Except Part Subdivided by Plan 55454 Lot 3, Plan 16855, Except Part Subdivided by Plan 55454 Lot 976 Plan 58348 All of SEC 36, Block 4, North Range 7 West N.W.D.
Total Site Area	34283.05 SF
Max. FSR Allowed (ZD 5 Zone)	0.6 Max. Allowed
Floor Area Allowed	20568.83 SF Max. Allowed
Total Net Floor Area Provided	20538.63 SF 0.6 < 0.6 Max. Allowed
Total FSR Provided	

## Parking Calculation

	5660 Williams Rd	5680 Williams Rd	5700 Williams Rd	Total
Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Building 1	Building 2	Building 3	Building 4	Building 5
Unit 11	Unit 12	Unit 21	Unit 31	Unit 41
A1	A2	B1	A1	A2
Convertible Unit		✓		✓
Location	Front Unit	Rear Unit	Front Unit	Rear Unit
Feature (BD / DEN)	5BD	5BD	5BD	5BD
Feature (Bath)	4 Bath	4 Bath	4 Bath	4 Bath
Level 1 Floor Area	752.28	757.7	752.55	752.28
Level 2 Floor Area	946.54	988.41	1002.85	946.98
Net Area (for FSR)	1698.82	1726.11	1721.75	1699.53
Exempted Stair Area (Level 1)	50.65	107.53	50.65	107.53
Exempted Stair Area (Level 2)	37.53	53.30	37.53	53.30
Total Exempted Stair Area	88.18	160.83	115.42	159.74
Exempted Garage Area	403.48	403.48	403.64	403.48
Exempted Covered Porch	65.27	50.68	65.27	50.68
Total Exempted Area	556.93	614.99	591.43	614.06
Gross Area	2255.75	2341.10	2313.18	2313.59
	2255.75	2341.10	2313.18	2313.59
	27670.86 SF			

## Parking Required

Residential Parking Required	24 Standard Stalls
Residential Parking Provided	24 Standard Stalls
Visitor Parking Required	3 Standard Stalls
Visitor Parking Provided	3 Standard Stalls
H/C Visitor Parking Required	0
H/C Visitor Parking Provided	0
Bike Storage (Class 1) Required	24 Horizontal
Bike Storage (Class 1) Provided	24 Horizontal

## Area Calculation

	5660 Williams Rd	5680 Williams Rd	5700 Williams Rd	Total
Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Building 1	Building 2	Building 3	Building 4	Building 5
Unit 11	Unit 12	Unit 21	Unit 31	Unit 41
A1	A2	B1	A1	A2
Convertible Unit		✓		✓
Location	Front Unit	Rear Unit	Front Unit	Rear Unit
Feature (BD / DEN)	5BD	5BD	5BD	5BD
Feature (Bath)	4 Bath	3.5 Bath	4 Bath	3.5 Bath
Level 1 Floor Area	752.28	757.7	752.55	752.28
Level 2 Floor Area	946.54	988.41	1002.85	946.98
Net Area (for FSR)	1698.82	1726.11	1721.75	1699.53
Exempted Stair Area (Level 1)	50.65	107.53	50.65	107.53
Exempted Stair Area (Level 2)	37.53	53.30	37.53	53.30
Total Exempted Stair Area	88.18	160.83	115.42	159.74
Exempted Garage Area	403.48	403.48	403.64	403.48
Exempted Covered Porch	65.27	50.68	65.27	50.68
Total Exempted Area	556.93	614.99	591.43	614.06
Gross Area	2255.75	2341.10	2313.18	2313.59
	2255.75	2341.10	2313.18	2313.59
	27670.86 SF			

## Area Provided

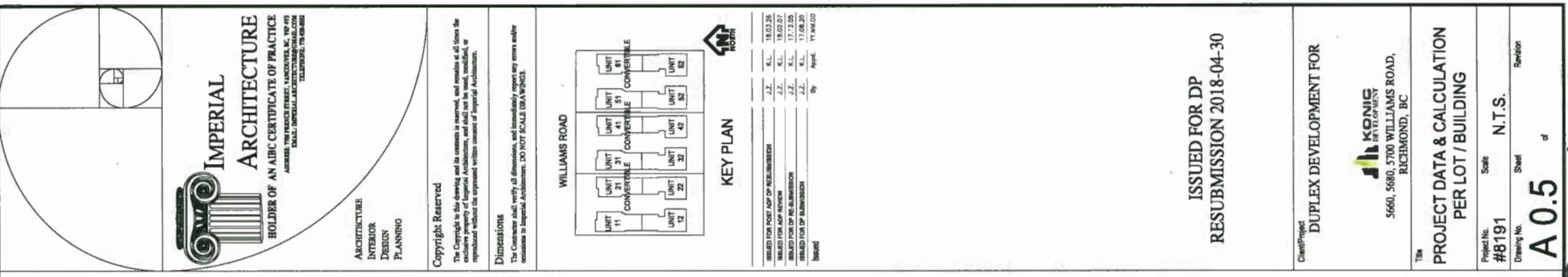
	5660 Williams Rd	5680 Williams Rd	5700 Williams Rd	Total
Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Building 1	Building 2	Building 3	Building 4	Building 5
Unit 11	Unit 12	Unit 21	Unit 31	Unit 41
A1	A2	B1	A1	A2
Convertible Unit		✓		✓
Location	Front Unit	Rear Unit	Front Unit	Rear Unit
Feature (BD / DEN)	5BD	5BD	5BD	5BD
Feature (Bath)	4 Bath	3.5 Bath	4 Bath	3.5 Bath
Level 1 Floor Area	752.28	757.7	752.55	752.28
Level 2 Floor Area	946.54	988.41	1002.85	946.98
Net Area (for FSR)	1698.82	1726.11	1721.75	1699.53
Exempted Stair Area (Level 1)	50.65	107.53	50.65	107.53
Exempted Stair Area (Level 2)	37.53	53.30	37.53	53.30
Total Exempted Stair Area	88.18	160.83	115.42	159.74
Exempted Garage Area	403.48	403.48	403.64	403.48
Exempted Covered Porch	65.27	50.68	65.27	50.68
Total Exempted Area	556.93	614.99	591.43	614.06
Gross Area	2255.75	2341.10	2313.18	2313.59
	2255.75	2341.10	2313.18	2313.59
	27670.86 SF			

## Area Required

	5660 Williams Rd	5680 Williams Rd	5700 Williams Rd	Total
Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Building 1	Building 2	Building 3	Building 4	Building 5
Unit 11	Unit 12	Unit 21	Unit 31	Unit 41
A1	A2	B1	A1	A2
Convertible Unit		✓		✓
Location	Front Unit	Rear Unit	Front Unit	Rear Unit
Feature (BD / DEN)	5BD	5BD	5BD	5BD
Feature (Bath)	4 Bath	3.5 Bath	4 Bath	3.5 Bath
Level 1 Floor Area	752.28	757.7	752.55	752.28
Level 2 Floor Area	946.54	988.41	1002.85	946.98
Net Area (for FSR)	1698.82	1726.11	1721.75	1699.53
Exempted Stair Area (Level 1)	50.65	107.53	50.65	107.53
Exempted Stair Area (Level 2)	37.53	53.30	37.53	53.30
Total Exempted Stair Area	88.18	160.83	115.42	159.74
Exempted Garage Area	403.48	403.48	403.64	403.48
Exempted Covered Porch	65.27	50.68	65.27	50.68
Total Exempted Area	556.93	614.99	591.43	614.06
Gross Area	2255.75	2341.10	2313.18	2313.59
	2255.75	2341.10	2313.18	2313.59
	27670.86 SF			

## Area Available

	5660 Williams Rd	5680 Williams Rd	5700 Williams Rd	Total
Lot 1	Lot 2	Lot 3	Lot 4	Lot 5
Building 1	Building 2	Building 3	Building 4	Building 5
Unit 11	Unit 12	Unit 21	Unit 31	Unit 41
A1	A2	B1	A1	A2
Convertible Unit		✓		✓
Location	Front Unit	Rear Unit	Front Unit	Rear Unit
Feature (BD / DEN)	5BD	5BD	5BD	5BD
Feature (Bath)	4 Bath	3.5 Bath	4 Bath	3.5 Bath
Level 1 Floor Area	752.28	757.7	752.55	752.28
Level 2 Floor Area	946.54	988.41	1002.85	946.98
Net Area (for FSR)	1698.82	1726.11	1721.75	1699.53
Exempted Stair Area (Level 1)	50.65	107.53	50.65	107.53
Exempted Stair Area (Level 2)	37.53	53.30	37.53	53.30
Total Exempted Stair Area	88.18	160.83	115.42	159.74
Exempted Garage Area	403.48	403.48	403.64	403.48
Exempted Covered Porch	65.27	50.68	65.27	50.68
Total Exempted Area	556.93	614.99	591.43	614.06
Gross Area	2255.75	2341.10	2313.18	2



**Lot 5 / Building 5 Project Data**

Location	West Portion of 5680 Williams Rd
Total Amount of Unit Allowed	2
Total Amount of Unit Provided	2
Duplex Building 1	
Site Back (Front yard) - Required	6.00 m
Site Back (Front yard) - Provided	7.82 m
> M/N Required	
Site Back (Whist Side yard) - Required	1.20 m
Site Back (Whist Side yard) - Provided	1.26 m
> M/N Required	
Site Back (East Side yard) - Required	1.20 m
Site Back (East Side yard) - Provided	1.68 m
> M/N Required	
Site Back (Rear yard) - Required	6.00 m
Site Back (Rear yard) - Provided	6.12 m
> M/N Required	
Site Area	5722.07 SF
Allowed Total Floor Area (Option 1)	@ 0.65 SR
Allowed Total Floor Area (Option 2)	@ 67.225 m per unit
Less of option 1 and option 2	3600.00 SF
3433.24 SF	
Unit 11 [Type A1] Net Floor Area	752.28 SF
Unit 11 [Type A1] Net Floor Area	946.54 SF
Unit 31 [Type A1] Net Floor Area	1698.82 SF
Unit 31 [Type A1] Garage Floor Area	403.48 SF
Unit 31 [Type A1] Exempted Stair & Entry on L1	50.65 SF
Unit 31 [Type A1] Exempted Stair (Top Level)	37.53 SF
Unit 31 [Type A1] Covered Porch	65.27 SF
Unit 31 [Type A1] Total Gross Area	2255.75 SF
Unit 32 [Type A2] Net Floor Area	757.75 SF
Unit 32 [Type A2] Net Floor Area	988.41 SF
Unit 32 [Type A2] Total net Floor Area	1768.11 SF
Unit 32 [Type A2] Garage Floor Area	403.48 SF
Unit 32 [Type A2] Exempted Stair & Entry on L1	50.65 SF
Unit 32 [Type A2] Exempted Stair (Top Level)	37.53 SF
Unit 32 [Type A2] Covered Porch	53.30 SF
Unit 32 [Type A2] Total Gross Area	2341.10 SF
Total Edge 1 Net Floor Area	3624.93 SF
Total Edge 1 Gross Area Provided	4596.85 SF
< MAX Allowed	
Total Edge 3 Gross Area Provided	4596.85 SF
Proposed Grade (NW Corner)	1.7 m
Proposed Grade (NE Corner)	1.65 m
Proposed Grade (SE Corner)	1.72 m
Proposed Grade (SW Corner)	1.69 m
Average Finished Grade	1.69 m
Highest Point of Road Crown	1.58 m
0.3m Above Highest PT of Road Crown	1.88 m
Proposed Level 1 Interior Elevation	1.88 m
Building 1 Postprint	2483.90 SF
Building 1 Total Porch Area	315.95 SF
Lot 3 Total Building / Porch Area	2545.25 SF
Lot 3 Total Building / Porch Coverage	44.65%
New Building Height Allowed	9 m
New Building Height Provided	8.67 m
Parking Required - Residential	4 Stalls
Parking Provided - Residential	4 Stalls
Parking Required - Visitor	1 Stall
Parking Provided - Visitor	1 Stall
Combined with Lot 2	



**Lot 2 / Building 2 Project Data**

Location	East Portion of 5680 Williams Rd
Total Amount of Unit Allowed	2
Total Amount of Unit Provided	2
Duplex Building 2	
Site Back (Front yard) - Required	6.00 m
Site Back (Front yard) - Provided	8.23 m
> M/N Required	
Site Back (Whist Side yard) - Required	1.20 m
Site Back (Whist Side yard) - Provided	1.73 m
> M/N Required	
Site Back (East Side yard) - Required	1.20 m
Site Back (East Side yard) - Provided	1.22 m
> M/N Required	
Site Back (Rear yard) - Required	6.00 m
Site Back (Rear yard) - Provided	6.04 m
> M/N Required	
Site Area	5718.78 SF
Allowed Total Floor Area (Option 1)	@ 0.65 SR
Allowed Total Floor Area (Option 2)	@ 67.225 m per unit
Less of option 1 and option 2	3600.00 SF
3431.27 SF	
Unit 21 [Type B1] Net Floor Area	718.90 SF
Unit 41 [Type B1] Net Floor Area	1721.75 SF
Unit 41 [Type B1] Total net Floor Area	403.64 SF
Unit 41 [Type B1] Garage Floor Area	62.70 SF
Unit 41 [Type B1] Exempted Stair (Top Level)	72.70 SF
Unit 41 [Type B1] Covered Porch	2313.18 SF
Unit 41 [Type B1] Total Gross Area	2913.59 SF
Unit 42 [Type B2] Net Floor Area	752.55 SF
Unit 42 [Type B2] Total net Floor Area	406.98 SF
Unit 42 [Type B2] Garage Floor Area	69.53 SF
Unit 42 [Type B2] Exempted Stair & Entry on L1	82.70 SF
Unit 42 [Type B2] Exempted Stair (Top Level)	107.53 SF
Unit 42 [Type B2] Covered Porch	50.68 SF
Unit 42 [Type B2] Total Gross Area	2913.59 SF
Total Edge 2 Net Floor Area Provided	3411.28 SF
< MAX Allowed	
Total Edge 2 Gross Area Provided	4526.77 SF
Proposed Grade (NW Corner)	1.65 m
Proposed Grade (NE Corner)	1.67 m
Proposed Grade (SE Corner)	1.74 m
Proposed Grade (SW Corner)	1.72 m
Average Finished Grade	1.68 m
Highest Point of Road Crown	1.58 m
0.3m Above Highest PT of Road Crown	1.88 m
Proposed Level 1 Interior Elevation	1.88 m
Building 2 Postprint	2396.17 SF
Building 2 Total Porch / Porch Area	323.05 SF
Lot 2 Total Building / Porch Area	2521.22 SF
Lot 2 Total Building / Porch Coverage	44.3%
New Building Height Allowed	9 m
New Building Height Provided	8.65 m
Parking Required - Residential	4 Stalls
Parking Provided - Residential	4 Stalls
Parking Required - Visitor	1 Stall
Parking Provided - Visitor	1 Stall
Combined with Lot 1	

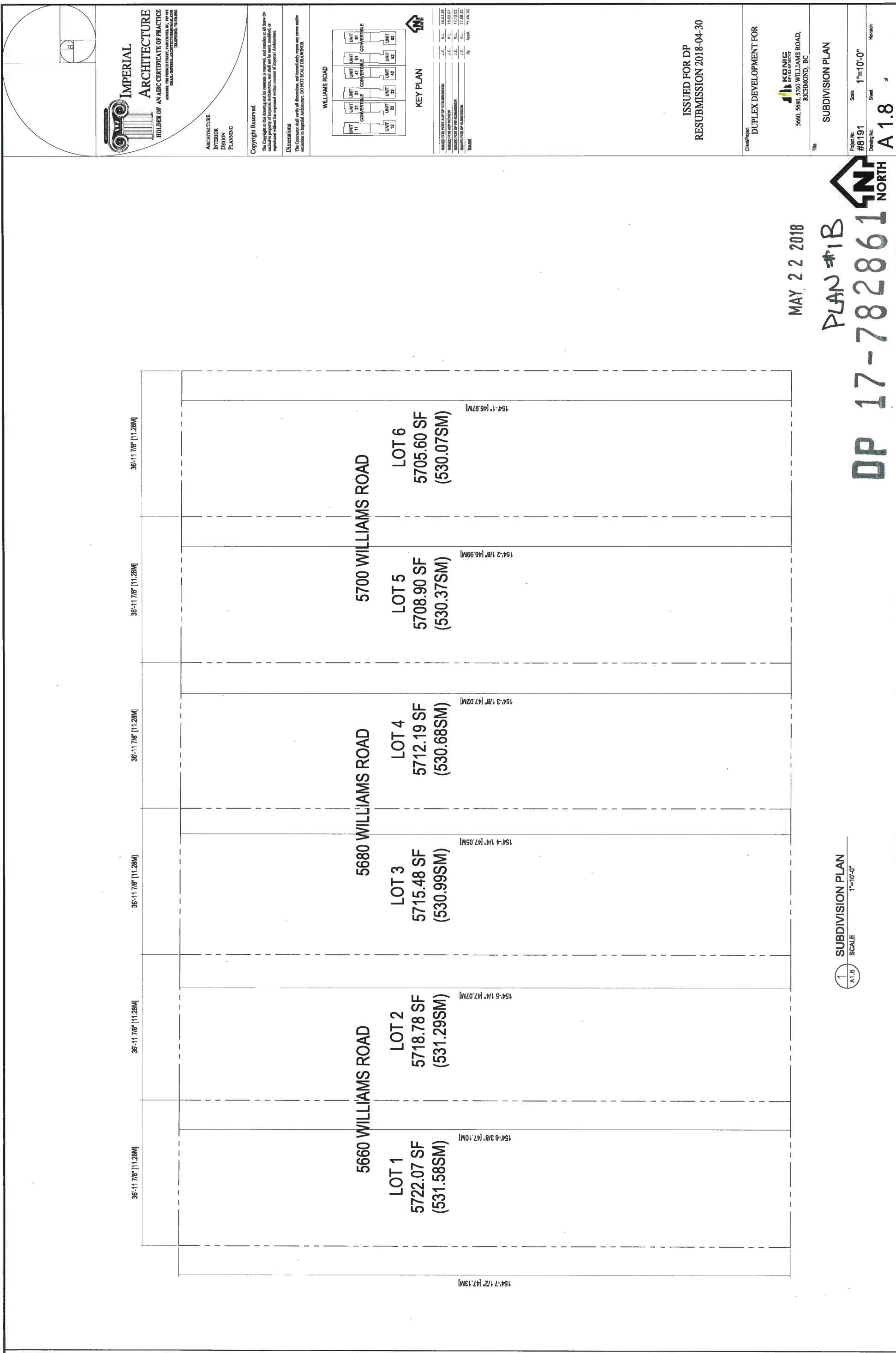
**Lot 3 / Building 3 Project Data**

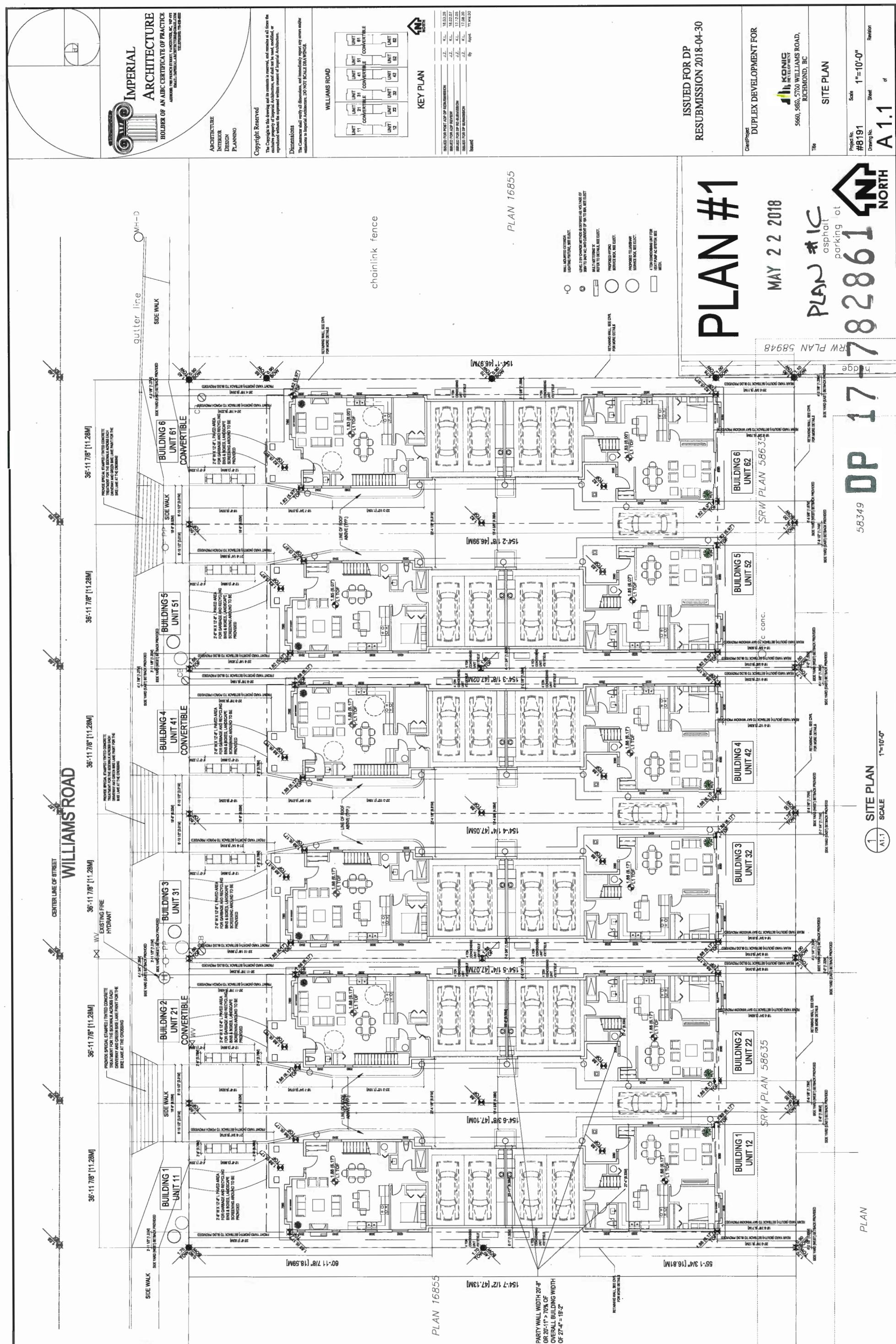
Location	West Portion of 5680 Williams Rd
Total Amount of Unit Allowed	2
Total Amount of Unit Provided	2
Duplex Building 3	
Site Back (Front yard) - Required	6.00 m
Site Back (Front yard) - Provided	7.88 m
> M/N Required	
Site Back (Whist Side yard) - Required	1.20 m
Site Back (Whist Side yard) - Provided	1.25 m
> M/N Required	
Site Back (East Side yard) - Required	1.20 m
Site Back (East Side yard) - Provided	1.71 m
> M/N Required	
Site Back (Rear yard) - Required	6.00 m
Site Back (Rear yard) - Provided	6.01 m
> M/N Required	
Site Area	5715.48 SF
Allowed Total Floor Area (Option 1)	@ 0.65 SR
Allowed Total Floor Area (Option 2)	@ 67.225 m per unit
Less of option 1 and option 2	3600.00 SF
3429.29 SF	
Unit 51 [Type A3] Net Floor Area	752.28 SF
Unit 51 [Type A3] Net Floor Area	946.54 SF
Unit 51 [Type A3] Garage Floor Area	2698.82 SF
Unit 51 [Type A3] Exempted Stair & Entry on L1	403.48 SF
Unit 51 [Type A3] Exempted Stair (Top Level)	50.65 SF
Unit 51 [Type A3] Covered Porch	65.27 SF
Unit 51 [Type A3] Total Gross Area	2255.75 SF
Unit 52 [Type A2] Net Floor Area	757.75 SF
Unit 52 [Type A2] Net Floor Area	988.41 SF
Unit 52 [Type A2] Total net Floor Area	1768.11 SF
Unit 52 [Type A2] Garage Floor Area	403.48 SF
Unit 52 [Type A2] Exempted Stair & Entry on L1	50.65 SF
Unit 52 [Type A2] Exempted Stair (Top Level)	37.53 SF
Unit 52 [Type A2] Covered Porch	53.30 SF
Unit 52 [Type A2] Total Gross Area	2341.10 SF
Total Edge 3 Net Floor Area	3424.93 SF
Total Edge 3 Gross Area Provided	4596.85 SF
< MAX Allowed	
Total Edge 5 Gross Area Provided	4596.85 SF
Proposed Grade (NW Corner)	1.55 m
Proposed Grade (NE Corner)	1.46 m
Proposed Grade (SE Corner)	1.76 m
Proposed Grade (SW Corner)	1.77 m
Average Finished Grade	1.65 m
Highest Point of Road Crown	1.55 m
0.3m Above Highest PT of Road Crown	1.86 m
Proposed Level 1 Interior Elevation	1.86 m
Building 3 Postprint	2482.95 SF
Building 3 Total Building / Porch Area	313.95 SF
Lot 3 Total Building / Porch Area	2866.85 SF
Lot 3 Total Building / Porch Coverage	44.65%
New Building Height Allowed	9 m
New Building Height Provided	8.67 m
Parking Required - Residential	4 Stalls
Parking Provided - Residential	4 Stalls
Parking Required - Visitor	1 Stall
Parking Provided - Visitor	1 Stall
Combined with Lot 6	

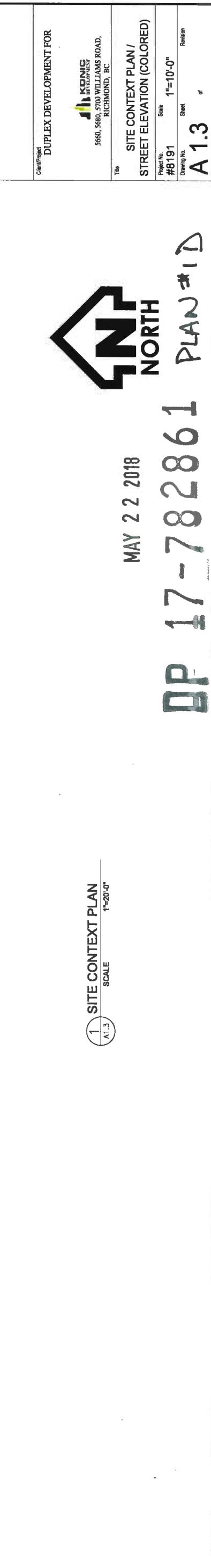
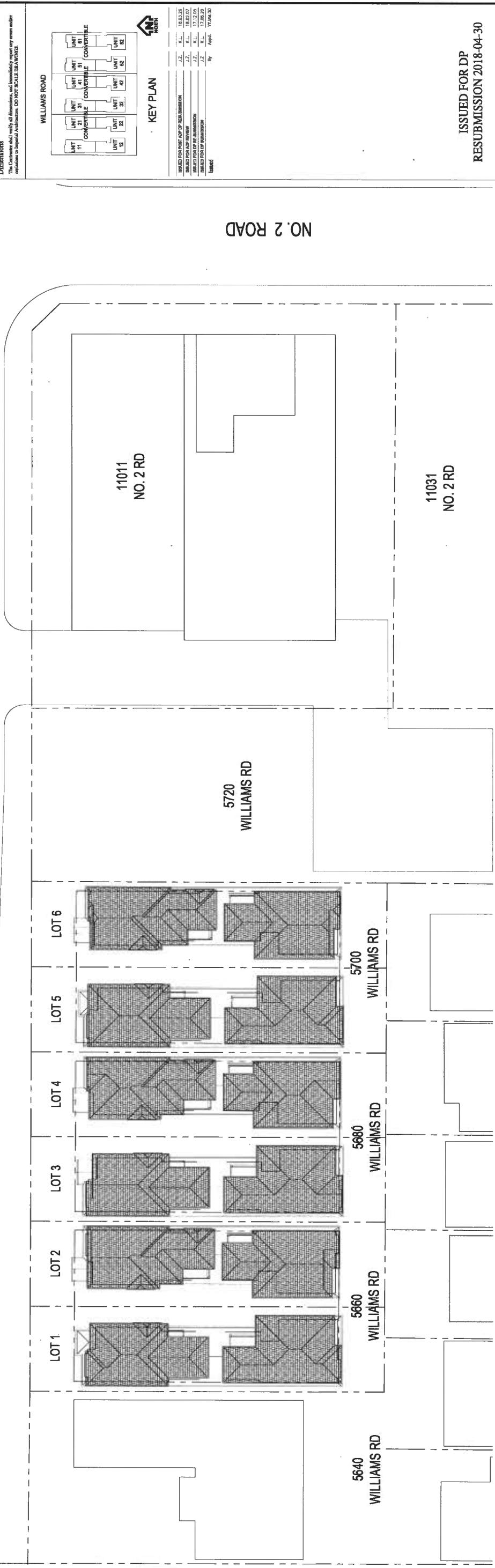
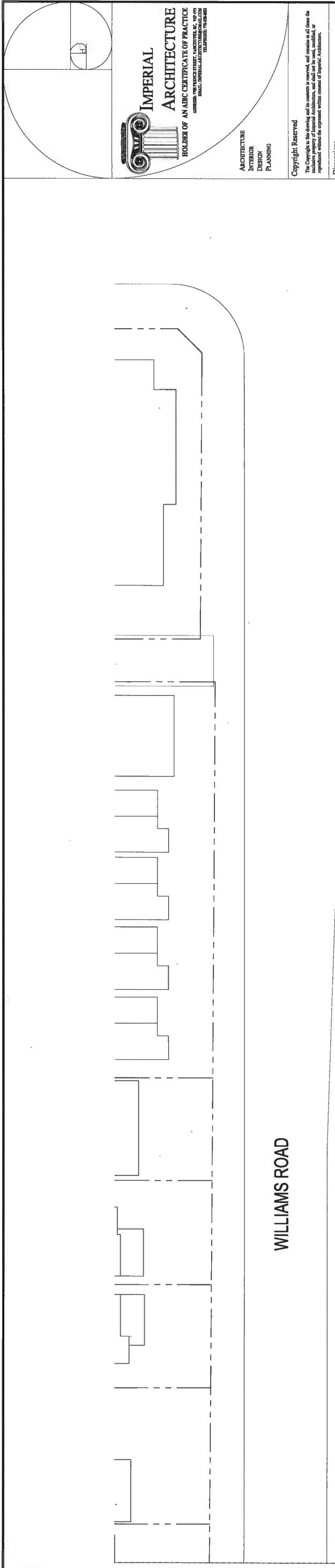
**Lot 4 / Building 4 Project Data**

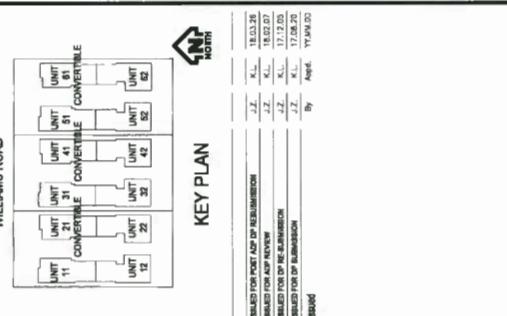
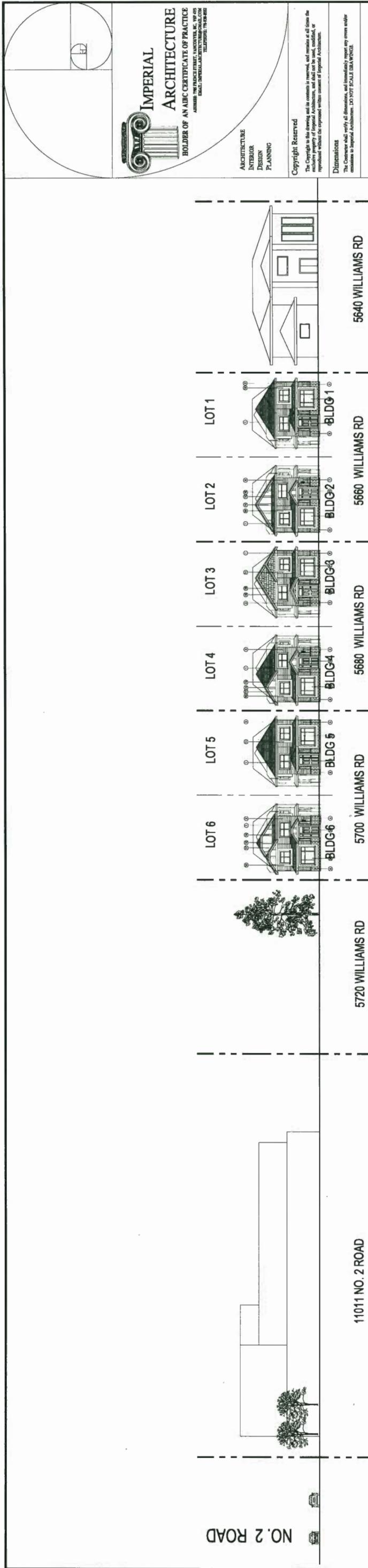
Location	East Portion of 5680 Williams Rd
Total Amount of Unit Allowed	2
Total Amount of Unit Provided	2
Duplex Building 4	
Site Back (Front yard) - Required	6.00 m
Site Back (Front yard) - Provided	8.18 m
> M/N Required	
Site Back (Whist Side yard) - Required	1.20 m
Site Back (Whist Side yard) - Provided	1.73 m
> M/N Required	
Site Back (East Side yard) - Required	1.20 m
Site Back (East Side yard) - Provided	1.26 m
> M/N Required	
Site Back (Rear yard) - Required	6.00 m
Site Back (Rear yard) - Provided	6.03 m
> M/N Required	
Site Area	5712.19 SF
Allowed Total Floor Area (Option 1)	@ 0.65 SR
Allowed Total Floor Area (Option 2)	@ 67.225 m per unit
Less of option 1 and option 2	3600.00 SF
3427.31 SF	
Unit 61 [Type B1] Net Floor Area	718.90 SF
Unit 61 [Type B1] Total net Floor Area	403.64 SF
Unit 61 [Type B1] Garage Floor Area	62.70 SF
Unit 61 [Type B1] Exempted Stair (Top Level)	72.70 SF
Unit 61 [Type B1] Covered Porch	2313.18 SF
Unit 61 [Type B1] Total Gross Area	2913.59 SF
Unit 62 [Type B2] Net Floor Area	752.55 SF
Unit 62 [Type B2] Total net Floor Area	406.98 SF
Unit 62 [Type B2] Garage Floor Area	69.53 SF
Unit 62 [Type B2] Exempted Stair & Entry on L1	82.70 SF
Unit 62 [Type B2] Exempted Stair (Top Level)	107.53 SF
Unit 62 [Type B2] Covered Porch	50.68 SF
Unit 62 [Type B2] Total Gross Area	2913.59 SF
Total Edge 6 Net Floor Area Provided	3421.28 SF
< MAX Allowed	
Total Edge 6 Gross Area Provided	4526.77 SF
Proposed Grade (NW Corner)	1.60 m
Proposed Grade (NE Corner)	1.53 m
Proposed Grade (SE Corner)	1.77 m
Proposed Grade (SW Corner)	1.78 m
Average Finished Grade	1.67 m
Highest Point of Road Crown	1.57 m
0.3m Above Highest PT of Road Crown	1.87 m
Proposed Level 1 Interior Elevation	1.88 m
Building 4 Postprint	2396.17 SF
Building 4 Total Building / Porch Area	323.05 SF
Lot 4 Total Building / Porch Area	2521.22 SF
Lot 4 Total Building / Porch Coverage	44.3%
New Building Height Allowed	9 m
New Building Height Provided	8.67 m
Parking Required - Residential	4 Stalls
Parking Provided - Residential	4 Stalls
Parking Required - Visitor	1 Stall
Parking Provided - Visitor	1 Stall
Combined with Lot 3	

**Lot 5 / Building 5**









ISSUED FOR DP  
BESUBMISSION 2018-04-30

	KONIC DEVELOPMENT	
5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC		
STREET ELEVATIONS		
Title	Scale 1"=10'-0"	Revision A
Project No. <b>#8191</b>		Drawing No. <b>A 14</b>

## **EXTERIOR FINISH SCHEDULE**

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL

- FOR MORE INFO:**

  1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
  2. COMPOSITE A/P SILING (LIGHT GREY)
  3. COMPOSITE A/P SILING (LIGHT BROWN)
  4. COMPOSITE A/P SILING (DARK BROWN)
  5. COMPOSITE A/P SILING (DARK RED)
  6. COMPOSITE A/P SILING (DARK GREEN)
  7. COMPOSITE A/P SILING (DARK RED)
  8. CULTURED STONE CLADDING (DARK GREY)
  9. CULTURED STONE CLADDING (DARK BROWN)
  10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
  11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
  12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
  13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)

- 15. FASCIA BOARD (WHITE)
- 16. FASCIA BOARD (DARK BROWN)
- 17. HARDE BOARD (DARK GREY)
- 18. HARDE BOARD (LIGHT BROWN)
- 19. HARDE SHAKE (LIGHT BROWN)
- 20. DOUBLE GLAZED VINYL, WINDOW W/ WHITE FRAME
- 21. DOUBLE GLAZED VINYL, WINDOW W/ BROWN FRAME

**2861 PLAN #1 E**

**BLDG 1 WEST ELEVATION**  
SCALE 1"=10'-0"  
**4**  
A1.4

**BLDG 1 WEST ELEVATION**  
SCALE 1"=10'-0"  
**4**  
A1.4

**3**) BLDG 6 EAST ELEVATION  
SCALE 1"=10'-0"  
A1.4

**3**) BLDG 6 EAST ELEVATION  
SCALE 1"=10'-0"  
A1.4

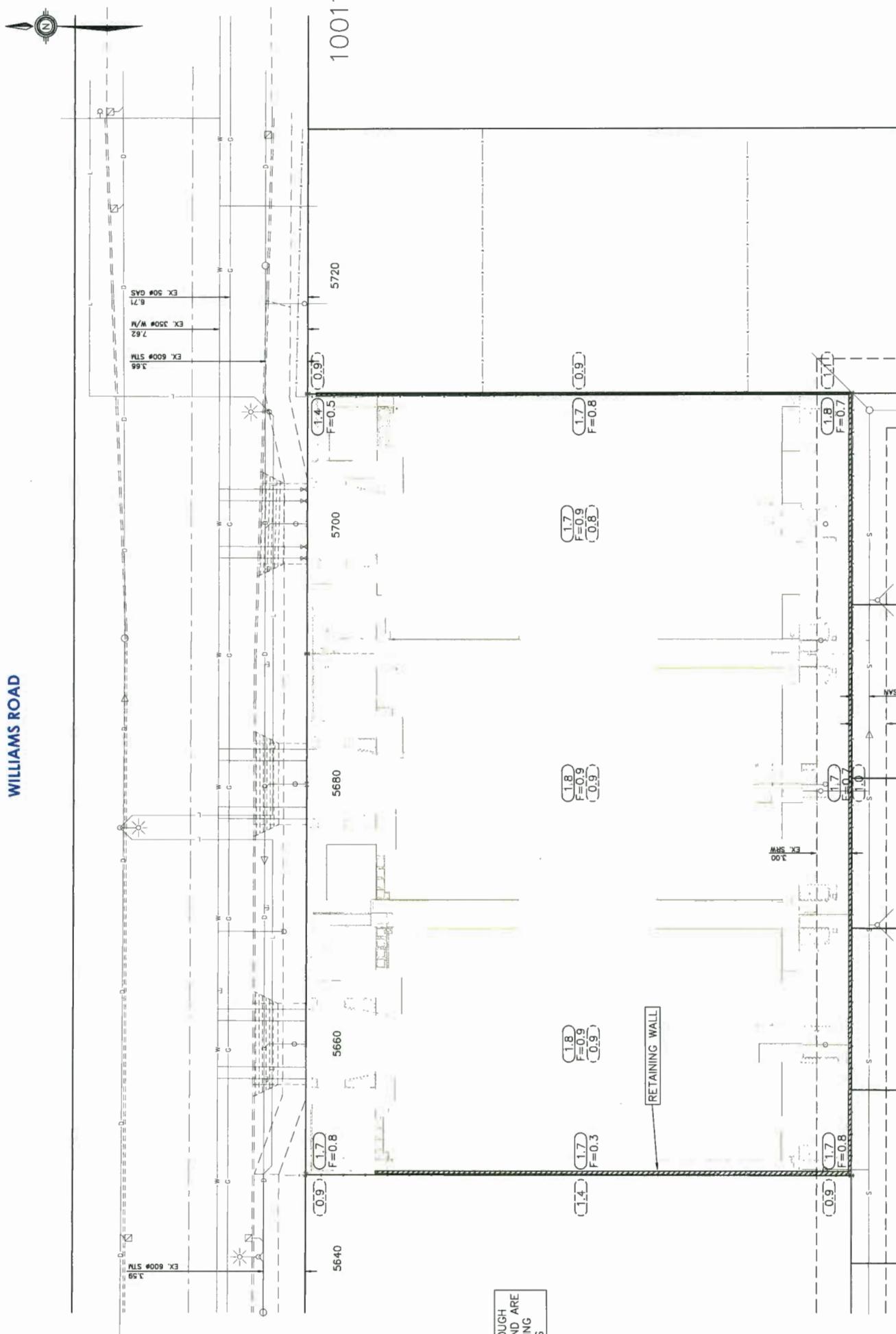
**BLDG 1 WEST ELE**

4 BLDG 1 WEST ELE A1.4 SCALE 1"

LEVATION

LEVATION

**WILLIAMS ROAD**



RETAINING WALL NOTES:  
RETAINING WALL TO BE BUILT WITH WOOD AS PER GEOTECHNICAL ENGINEER. RETAINING WALL HEIGHT VARIES TO MAX HEIGHT OF 0.8m HIGH

- LOT GRADING NOTES:
- ROADWORKS TO BE CONSTRUCTED IN ACCORDANCE WITH RICHMOND ENGINEERING DEPARTMENT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  - PARKING AND DRIVEWAY AREAS TO BE CONSTRUCTED IN ACCORDANCE WITH ARCHITECTURAL AND LANDSCAPE DRAWINGS.
  - ALL ROAD ELEVATIONS ARE PAVEMENT ELEVATIONS.
  - FILL MATERIALS AND COMPACTION TO BE CONSTRUCTED IN ACCORDANCE WITH GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
  - FOR RETAINING WALL LOCATIONS AND DETAILS REFER TO LANDSCAPE ARCHITECTS DRAWINGS.
  - FOR PAVER STONE LOCATIONS AND DETAILS REFER TO ARCHITECTS DRAWINGS.
  - ELEVATIONS SHOWN AS THUS  $\underline{1.72}$  ARE EXISTING ELEVATIONS.
  - ELEVATIONS SHOWN AS THUS  $\underline{1.72}$  ARE PROPOSED ELEVATIONS.
  - FILL QUANTITIES ARE SHOWN THUS:  $F=0.25$  (SIGNIFIES REQUIRED FILL = 0.25m)
  - THIS PLAN IS A COMPILATION OF OTHER DRAWINGS. IF OTHER DRAWINGS DEPART FROM WHAT IS SHOWN HERE, THE OTHER DRAWINGS TAKE PRECEDENCE.

**MAY 22 2018 DP 17-782861**

**PLAN #1F**

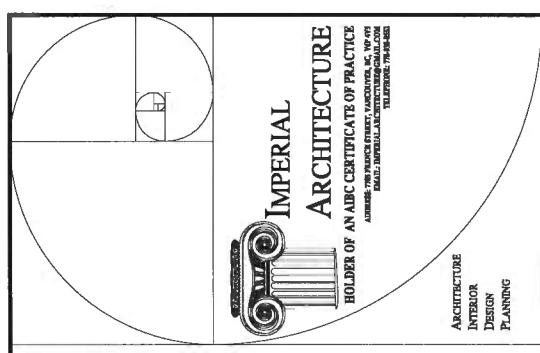
<b>CITY of Richmond</b>	
NO. 3 ROAD	RICHMOND, B.C., V6C 2C1
TITLE: LOT GRADING PLAN	
DESIGN: ML	DRAWN: ML
CHECKED: DS Lee	SCALE: 1:200
REVISIONS: SEC. No.: 36-4-7	DATE: AUG 2017
ENGINEER: DS Lee SFT. No. 1 of 1	

<b>DS Lee Engineering</b>	
100 - 21320 GORDON WAY, RICHMOND, BC, V6D 2T6	5660, 5680, 5700 WILLIAMS ROAD
TITLE: LOT GRADING PLAN	
DESIGN: ML	DRAWN: ML
CHECKED: DS Lee	SCALE: 1:200
REVISIONS: SEC. No.: 36-4-7	DATE: AUG 2017
ENGINEER: DS Lee SFT. No. 1 of 1	

<b>Konic Development</b>	
DS Lee Project No. 988-2	100 - 21320 GORDON WAY, RICHMOND, BC, V6D 2T6
TITLE: LOT GRADING PLAN	
DESIGN: ML	DRAWN: ML
CHECKED: DS Lee	SCALE: 1:200
REVISIONS: SEC. No.: 36-4-7	DATE: AUG 2017
ENGINEER: DS Lee SFT. No. 1 of 1	

<b>BC GAS SERVICES</b>	
NOTE: ALL ELEMENTS ARE TO GEODETIC DATA AND REFER TO RICHMOND BENCHMARK NUMBER CH 029/2452 SW CORNER, NO. 3 ROAD AND STEVESTON HIGHWAY ELEVATION 1.559 METRES	
THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, DRAWS UP A PLAN TO LOCATE NEW LINES TO PROVIDE ACCESS TO THE GAS SERVICE LINES. A LIST OF EXISTING GAS LOCATIONS MAY BE OBTAINED FROM: BC GAS SERVICE RECORDS DEPARTMENT TELEPHONE: 293-8552	
NOTE: BC GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.	



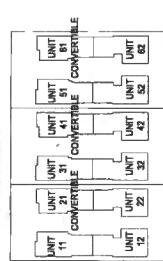


**ARCHITECTURE**  
HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
ADDRESS: 707 PARKWAY SUITE 1A, ALEXANDRIA, VA 22314  
EMAIL: IMPACT.ARCHITECTURE@GMAIL.COM  
TEL: 703-739-4855

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DESIGN

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REVIEWS

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RESUBMISSION 2018-04-30

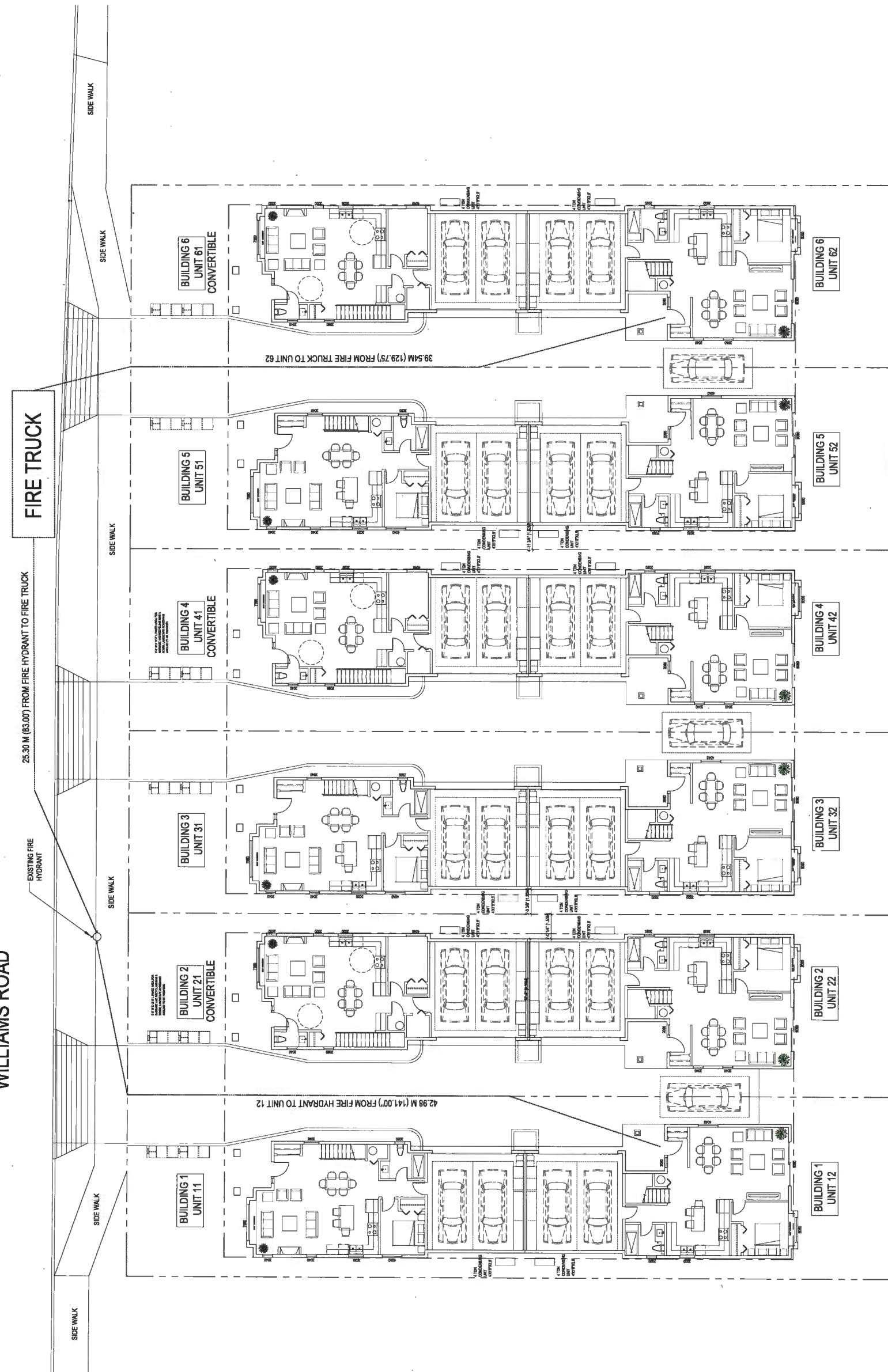
ClientProject

DUPLEX DEVELOPMENT FOR

**KONIC**  
DEVELOPMENT  
5660, 5680, 5700 WILLIAMS ROAD,  
RICHMOND BC

## FIRE TRUCK ACCESS PLAN

Project No.	Scale	Sheet	Revision
#8191	1"=10'-0"		
Drawing No.		A 1 7	







2

LANDSCAPE ARCHITECTURE

#220 - 26 Lorne Mews  
New Westminster, British Columbia  
V3M 3L7  
Tel: 604.553.0044  
Fax: 604.553.0045  
Email: office@m2la.com



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**PROJECT:** 12 UNIT DUPLEXES  
5680 and 5700 Williams Road,  
RICHMOND BC

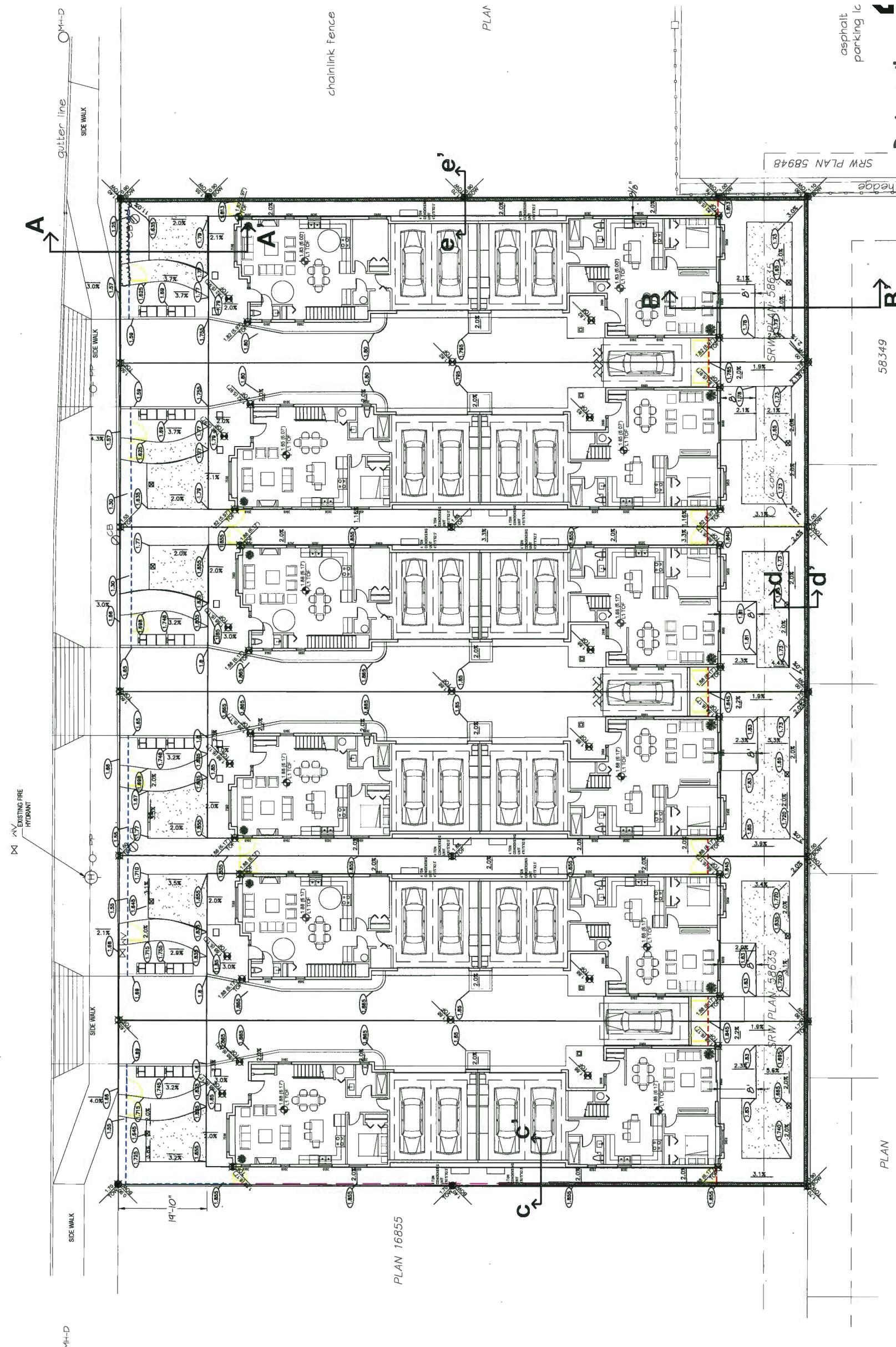
GRADING  
PLAN

卷之三

17

OF 8

**Job No 208**  
**M2LA Project Number:**  
**120108-10**





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LANDSCAPE ARCHITECTURE

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Email: office@m2l1.com



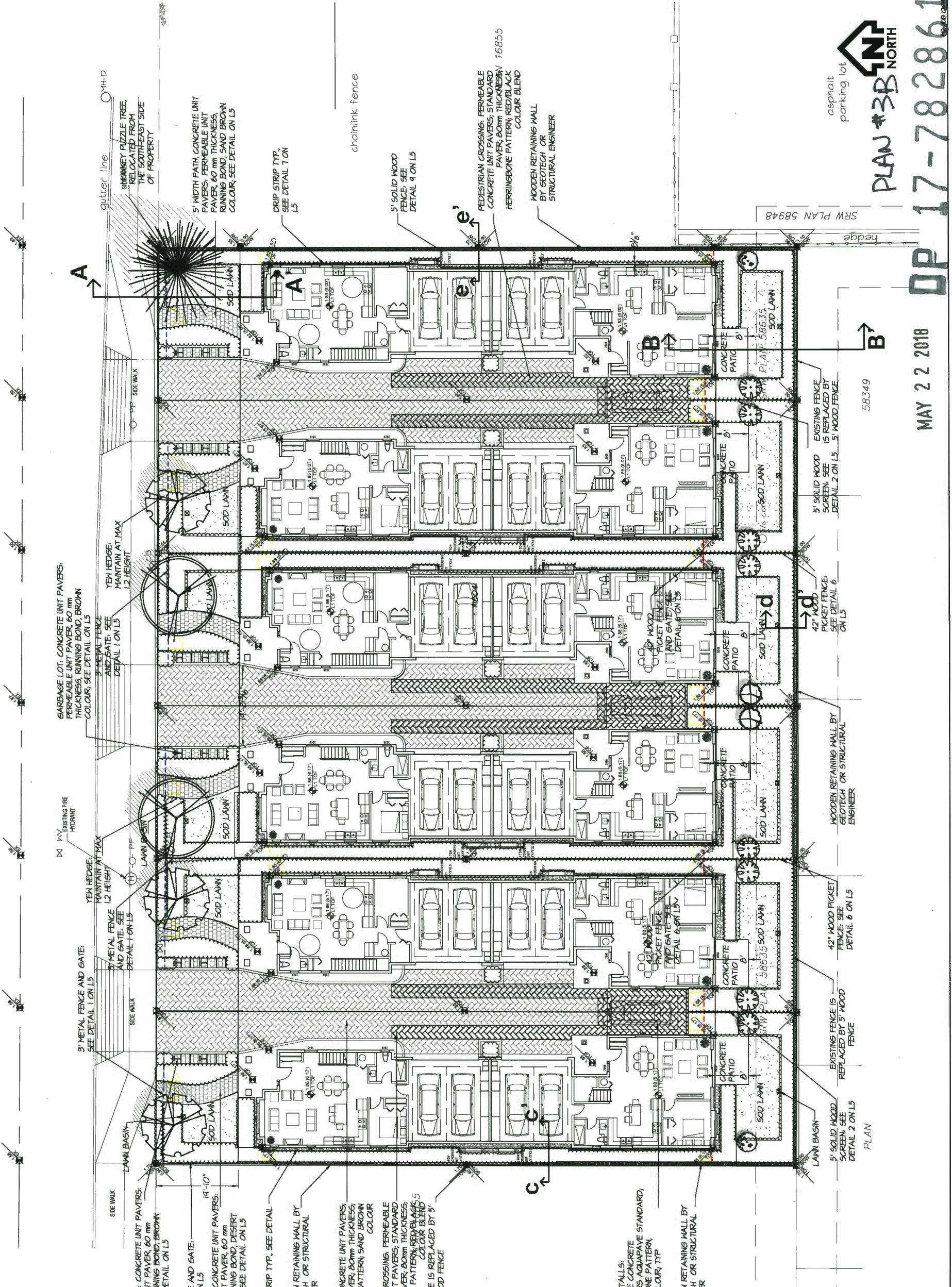
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3	11/04/22	SUBMISSION FOR DCP
4	11/04/22	REV. AS PER CDT. COMMENTS
5	11/04/22	REV. AS PER CDT. COMMENTS
6	11/04/22	REV. AS PER CDT. COMMENTS
7	11/04/22	REV. AS PER CDT. COMMENTS
8	11/04/22	REV. AS PER CDT. COMMENTS
9	11/04/22	REV. AS PER CDT. COMMENTS
10	11/04/22	REV. AS PER CDT. COMMENTS

SEAL:

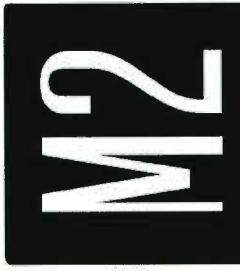
**PROJECT:** **12 UNIT DUPLEXES**  
**5680 and 5700 Williams Road,** **RICHMOND BC**

**SITE  
PLAN**

DATE:	2017-JL-7-21	DRAWING NUMBER:	
SCALE:	3/8" = 1'-0"	L1	OF 8
DRAWN BY:	DT		JOB NO 1208
DESIGN BY:	MW		
CHKD:	MW		
M2A PROJECT NUMBER:			



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**PROJECT:**  
12 UNIT DUPLEXES  
**5680 and 5700 Williams Road,**  
**RICHMOND BC**

TITLE: **LANDSCAPE PLAN**

PLAN

DATE:	2017-07-21	DRAWING NUMBER:	OF 8
SCALE:	3/8" = 1'-0"	JOB NO:	02-018
DRAWN BY:		M2A PROJECT NUMBER:	
DESIGN BY:			
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asphalt  
parking lot

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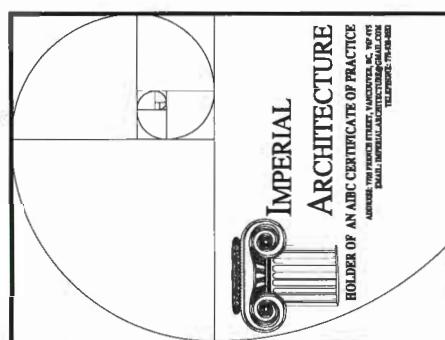
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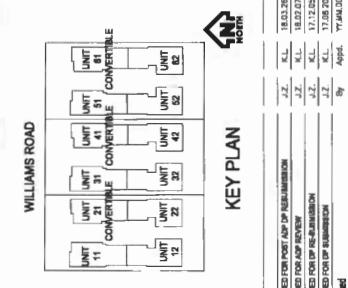


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PLANTING

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WILLIAMS ROAD		KEY PLAN			
		SITES FOR PLANNED CONSTRUCTION			
		SITES FOR APPROVED CONSTRUCTION			
UNIT 11	CONVENTIONAL	UNIT 21	CONVENTIONAL	UNIT 31	CONVENTIONAL
UNIT 12	CONVENTIONAL	UNIT 22	CONVENTIONAL	UNIT 32	CONVENTIONAL
UNIT 41	CONVENTIONAL	UNIT 51	CONVENTIONAL	UNIT 61	CONVENTIONAL
UNIT 42	CONVENTIONAL	UNIT 52	CONVENTIONAL	UNIT 62	CONVENTIONAL



ISSUED FOR DP  
BESUBMISSION 2018-04-30

## DUPLEX DEVELOPMENT FOR Project

**5660, 5680, 5700 WILLIAMS ROAD,  
RICHMOND, BC**

**ELEVATIONS &  
EXTERIOR FINISH MATERIALS**

MAY 22 2018

17-7  
PLAN #1

P  
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H MATERIAL

## EXTERIOR FINISH

**ST ELEVATION &  
 $1/8=1'-0''$**

**BLDG 6 EA**  
SCALE  


**BLDG 1**  
5660 WILLIAMS RD

**BLDG 2**  
5660 WILLIAMS RD

**BLDG 3**  
5680 WILLIAMS RD

**BLDG 4**  
5680 WILLIAMS RD

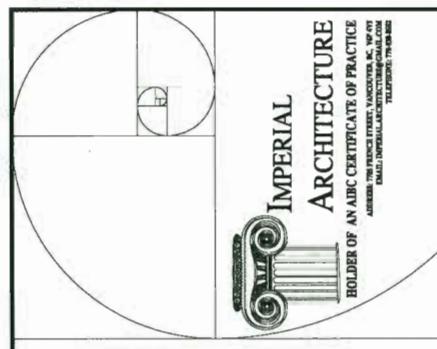
**BLDG 5**  
5700 WILLIAMS RD

**BLDG 6**  
5700 WILLIAMS RD

This architectural drawing shows a two-story house with a hatched roofline and vertical siding. The house features a central entrance with a small porch, flanked by two windows. A balcony is located on the second floor to the right. The drawing includes several numbered callouts pointing to specific parts of the house:

- (1) Pointing to the ground surface in front of the house.
- (2) Pointing to the foundation wall at the base of the house.
- (4) Pointing to the eaves of the roofline.
- (19) Pointing to the brickwork on the side of the house.
- (22) Pointing to the brickwork on the side of the house.
- (23) Pointing to the brickwork on the side of the house.
- (18) Pointing to the brickwork on the side of the house.
- (15), (17), (14), (10) Pointing to the brickwork on the side of the house.
- (20) Pointing to the brickwork on the side of the house.
- (8) Pointing to the brickwork on the side of the house.

The drawing is oriented vertically, with the house's front facing towards the top of the page. The text "5700 WILLIAMS RD / LOT 6" is written vertically along the left edge of the drawing.



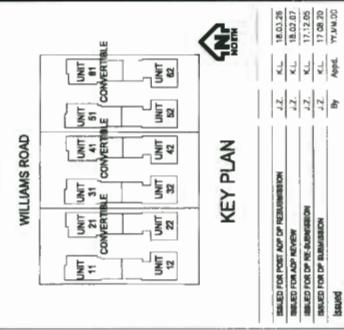
**IMPERIAL**  
**ARCHITECTURE**

HOLDER OF AN ABC CERTIFICATE OF PRACTICE  
ADDRESS: 770 PARK AVENUE, VANCOUVER, BC, V8P 0T5  
EMAIL: IMPERIALARCHITECTURE@GMAIL.COM  
TELEPHONE: 778-783-8888

ARCHITECTURE  
INTERIOR DESIGN PLANNING

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**Dimensions**



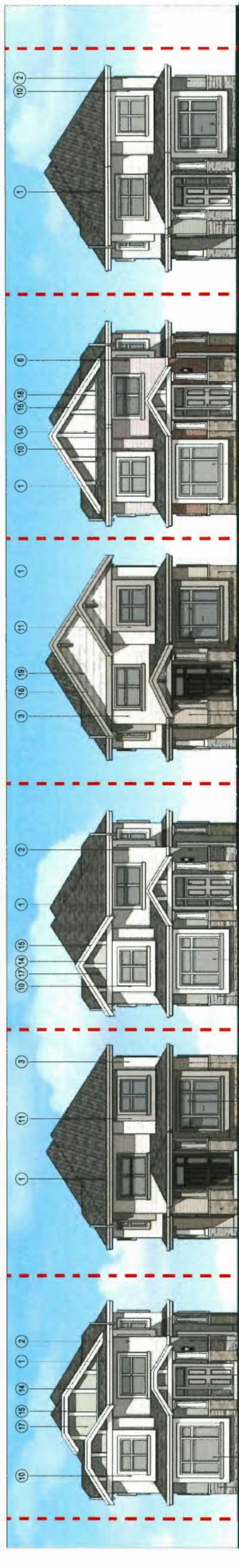
ISSUED FOR DP  
RESUBMISSION 2018-04-30

ClientProject DUPLEX DEVELOPMENT FOR

**COLORED ELEVATIONS &  
EXTERIOR FINISH MATERIALS**

Project No. #8191 Scale 1/8"=1'-0" Revision A

Drawing No. Sheet of A 3.0A



**FRONT ELEVATIONS & EXTERIOR FINISH MATERIAL**



**REAR ELEVATIONS & EXTERIOR FINISH MATERIAL**



**BLDG 6 EAST ELEVATION & EXTERIOR FINISH MATERIAL**

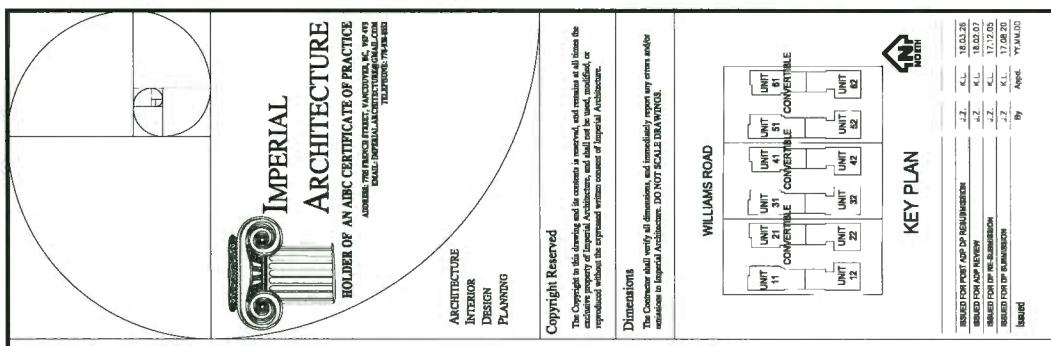
# EXTERIOR FINISH SCHEDULE

REFER TO COLORED ELEVATION AND SAMPLE MATERIAL

APPENDIX B: SUMMARY OF STANDARDS FOR  
INFO.

RESUBMISSION 2018-04-30	
Client/Project	DUPLEX DEVELOPMENT FOR
<p>1. HIGH PROFILE ASHLAP SHINGLES (DARK GREY)          2. PROFILE LAP SIDING (LIGHT GREY)          3. COMPOSITE LAP SIDING (LIGHT BROWN)          4. COMPOSITE LAP SIDING (DARK GREY)          5. COMPOSITE LAP SIDING (DARK BROWN)          6. COMPOSITE LAP SIDING (LIGHT BROWN)          7. COMPOSITE LAP SIDING (DARK RED)          8. CULTURAL STONE CLADDING (DARK GREY)          9. CULTURAL STONE CLADDING (DARK BROWN)          10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)          11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)          12. SOLID WOOD UNIT ENTRY DOOR (WHITE)          13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)</p>	

MAY 22 2016  
S-4A 08P 117-782861



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RESUBMISSION 2018-04-30

Checked  
DUPLEX DEVELOPMENT FOR

KONIC DEVELOPMENT  
5660, 5680, 5700 WILLIAMS ROAD,  
RICHMOND, BC

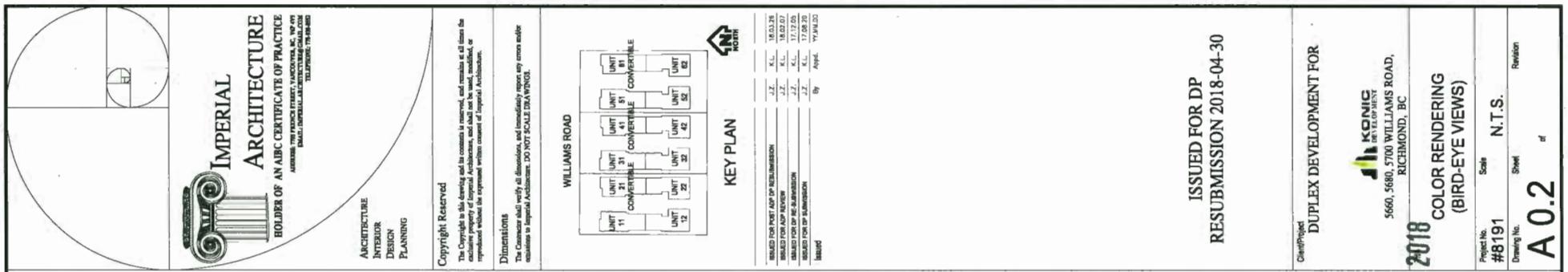
Tite COLOR RENDERING  
(EYE LEVEL STREET VIEWS)  
Project No. #8191  
Scale N.T.S.  
Drawing No. A01  
Revision d



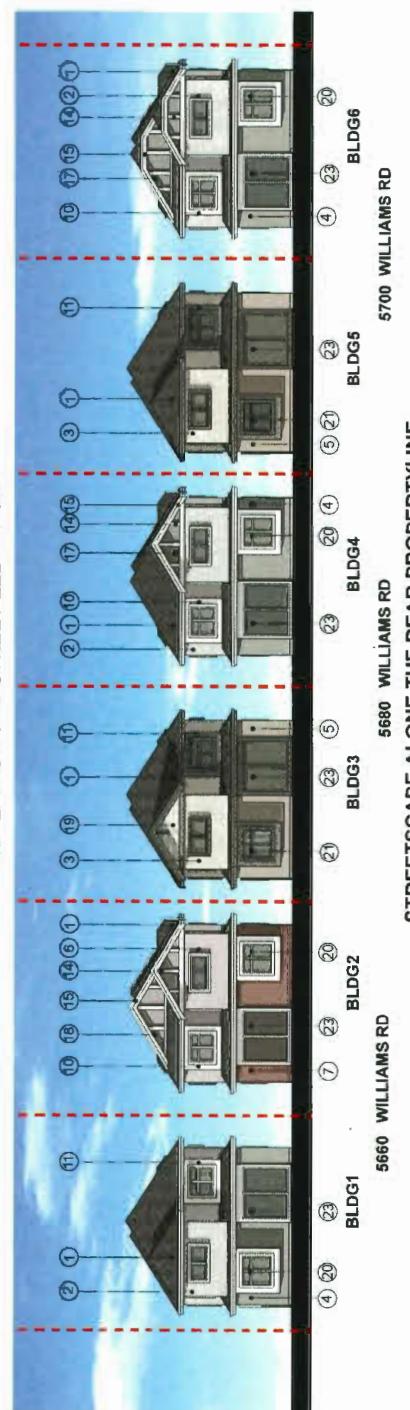
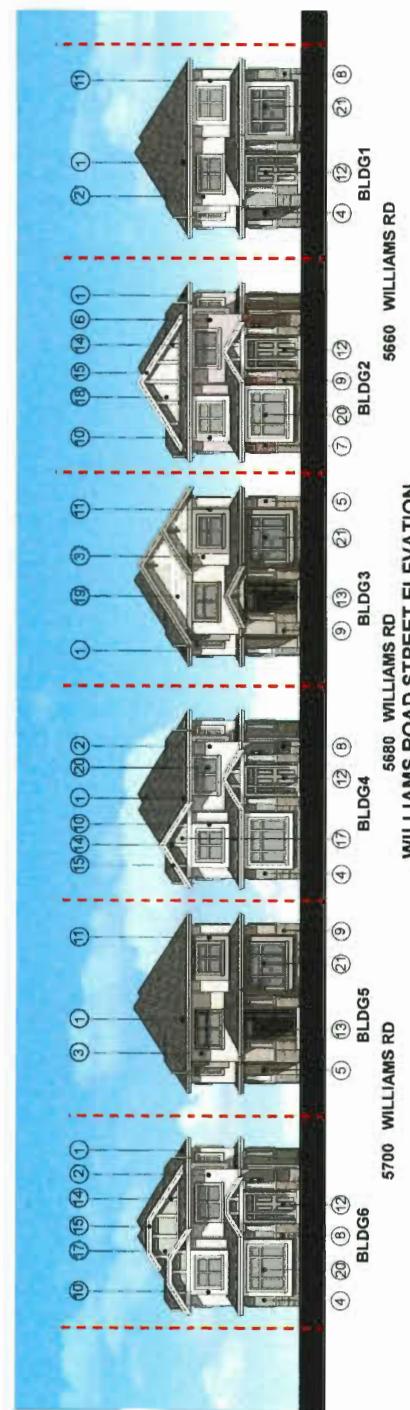
COLOR RENDERING (EYE-LEVEL STREET VIEW - EAST ELEVATION OF BUILDING 6)



PLAN #4B MAY 22 2018  
**DP 17-782861**

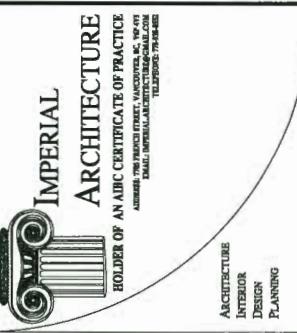


# 5660, 5680, 5700 WILLIAMS ROAD, RICHMOND, BC



## EXTERIOR FINISH SCHEDULE

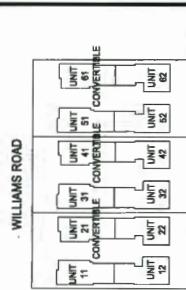
1. HIGH PROFILE ASPHALT SHINGLES (DARK GREY)
2. COMPOSITE LAP SIDING (LIGHT GREY)
3. COMPOSITE LAP SIDING (LIGHT BROWN)
4. COMPOSITE LAP SIDING (DARK GREY)
5. COMPOSITE LAP SIDING (DARK BROWN)
6. COMPOSITE LAP SIDING (LIGHT RED)
7. COMPOSITE LAP SIDING (DARK RED)
8. CULTURAL STONE CLADDING (DARK GREY)
9. CULTURAL STONE CLADDING (DARK BROWN)
10. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (WHITE)
11. PAINTED WOOD FRAME AROUND WINDOW AND DOOR OPENINGS (BROWN)
12. SOLID WOOD UNIT ENTRY DOOR (WHITE)
13. SOLID WOOD UNIT ENTRY DOOR (DARK BROWN)
14. WOOD TRIM (WHITE)
15. FASCIA BOARD (WHITE)
16. FASCIA BOARD (DARK BROWN)
17. HARDIE BOARD (DARK GREY)
18. HARDIE BOARD (LIGHT BROWN)
19. HARDIE SHAKE (LIGHT BROWN)
20. DOUBLE GLAZED VINYL WINDOW W/ WHITE FRAME
21. DOUBLE GLAZED VINYL WINDOW W/ BROWN FRAME
22. ALUMINUM RAILING (WHITE)
23. SLIDING DOOR WITH CLEAR TEMPERED GLAZING



HOLDER OF AN AUDIT CERTIFICATE OF PRACTICE  
ADDRESS: 101 BRANCH STREET, VANDOVER, BC, V4V 1S3  
TEL: 604-272-1111 FAX: 604-272-1112  
E-MAIL: IMPERIALARCHITECTURE@GMAIL.COM  
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INTERIOR  
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KEY PLAN

ISSUED FOR PLAT APPROVAL  
ISSUED FOR ALP REVIEW  
ISSUED FOR ALP APPROVAL  
ISSUED FOR ALP APPROVAL  
ISSUED

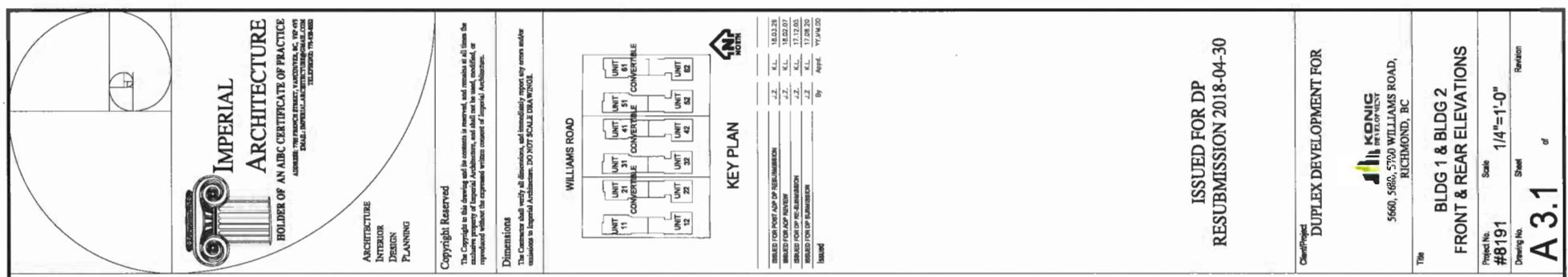
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RESUBMISSION 2018-04-30

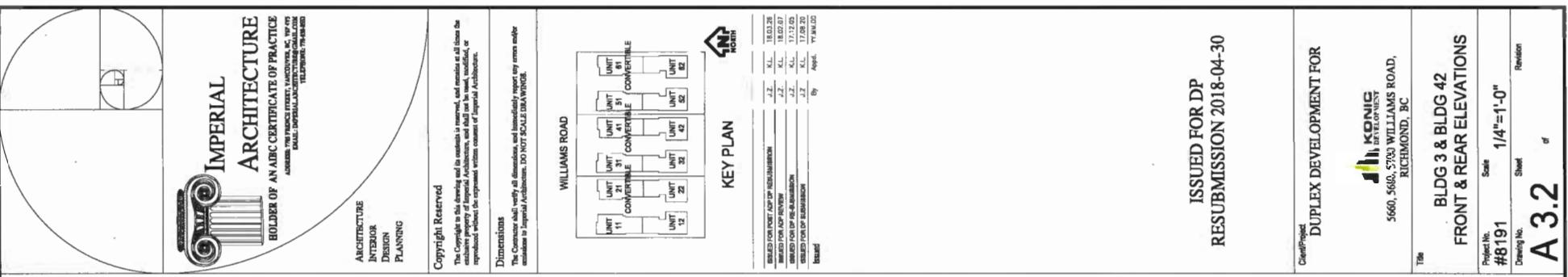
ClienProj#  
DUPLEX DEVELOPMENT FOR

KONIC  
BY ELEMENT  
5660, 5680, 5700 WILLIAMS ROAD,  
RICHMOND, BC

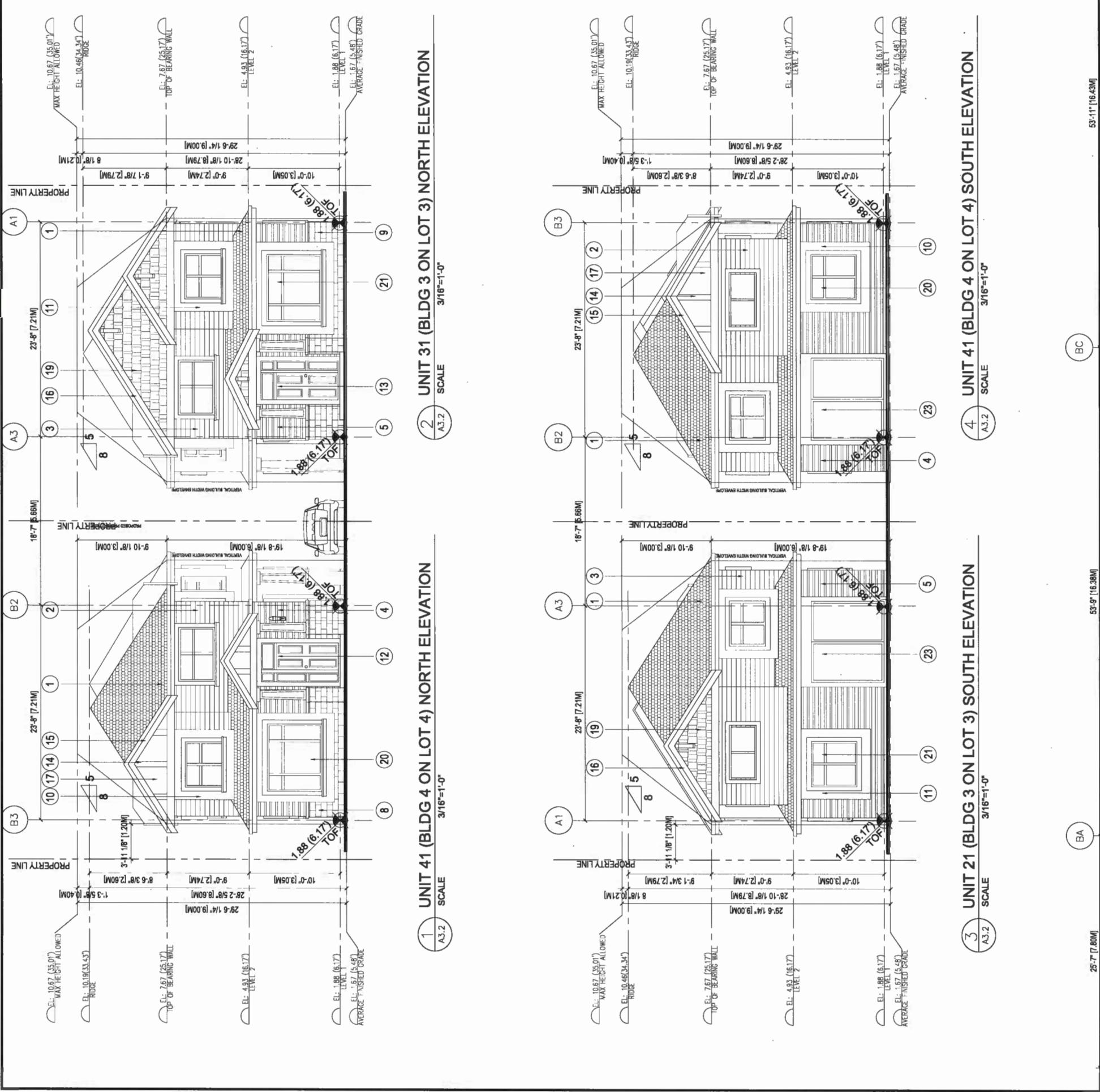
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Drawing No. A0.3  
Sheet 4  
Revision

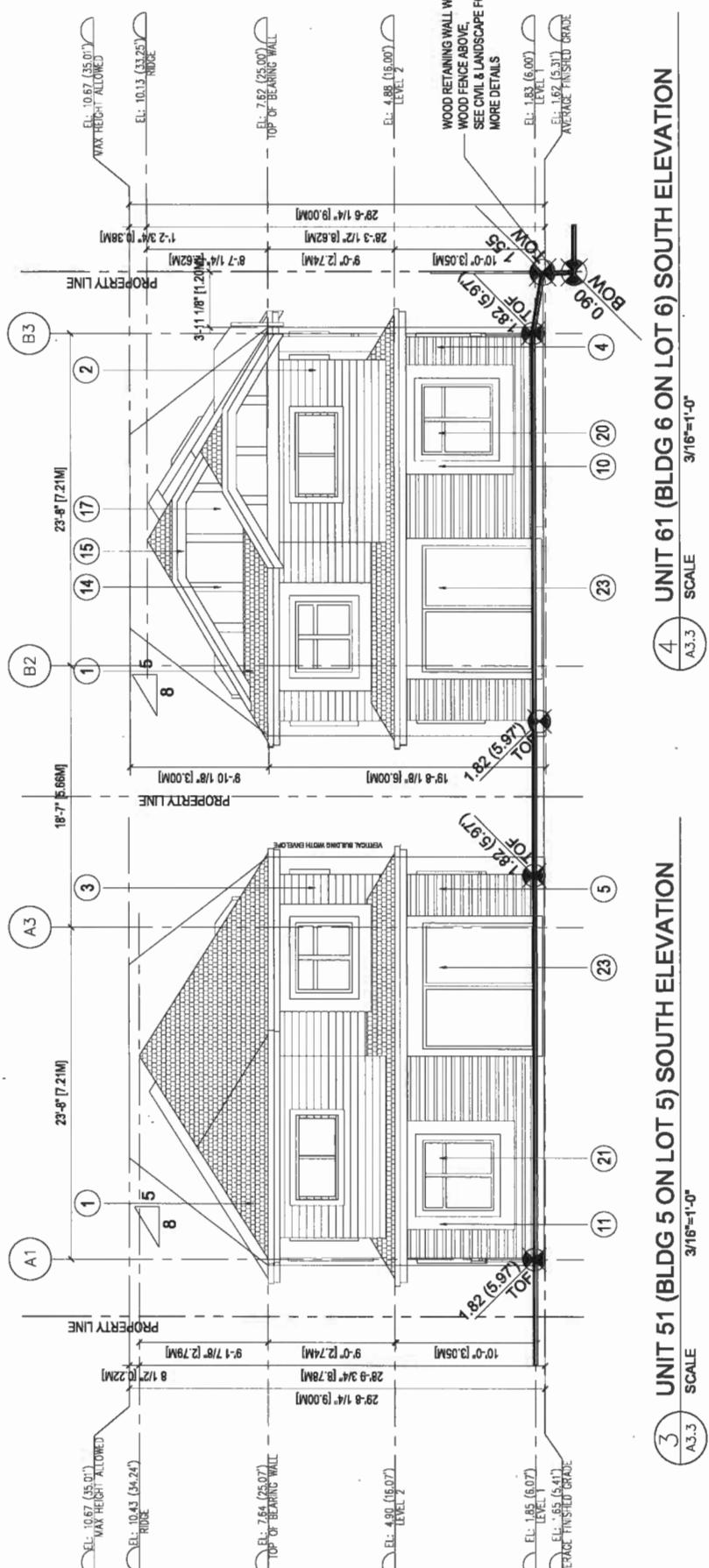
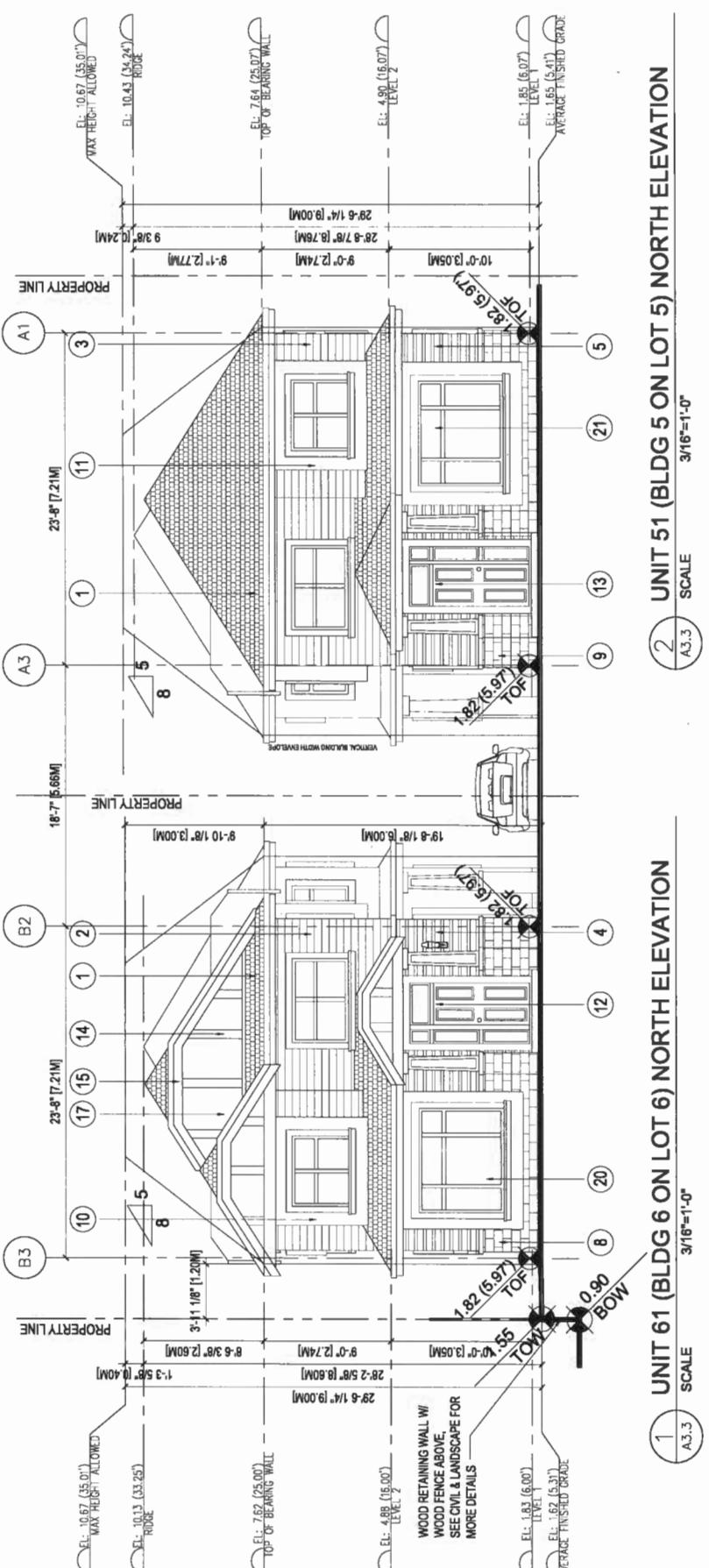
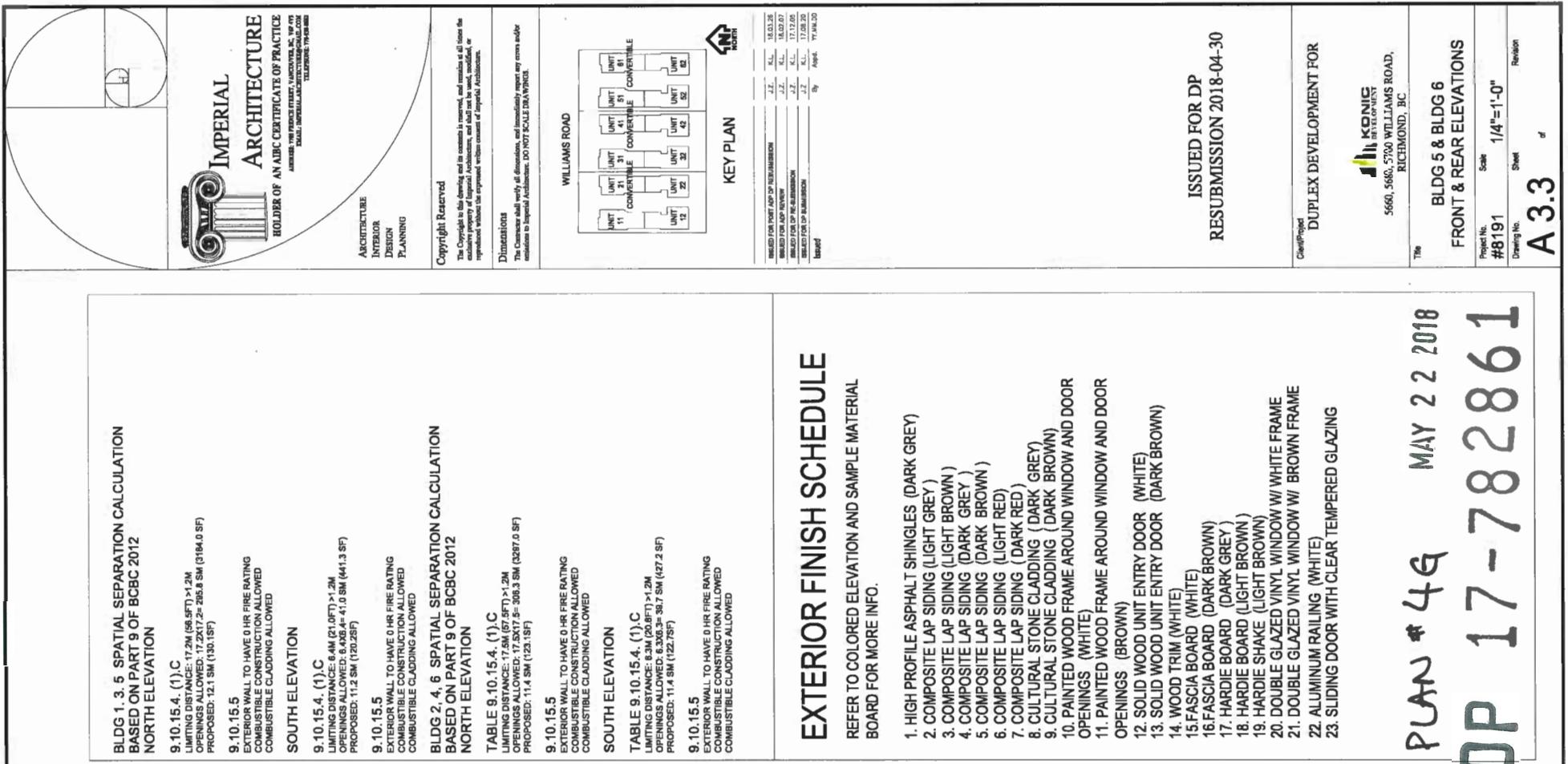
PLAN #4D MAY 22 2018  
DP 17-782861



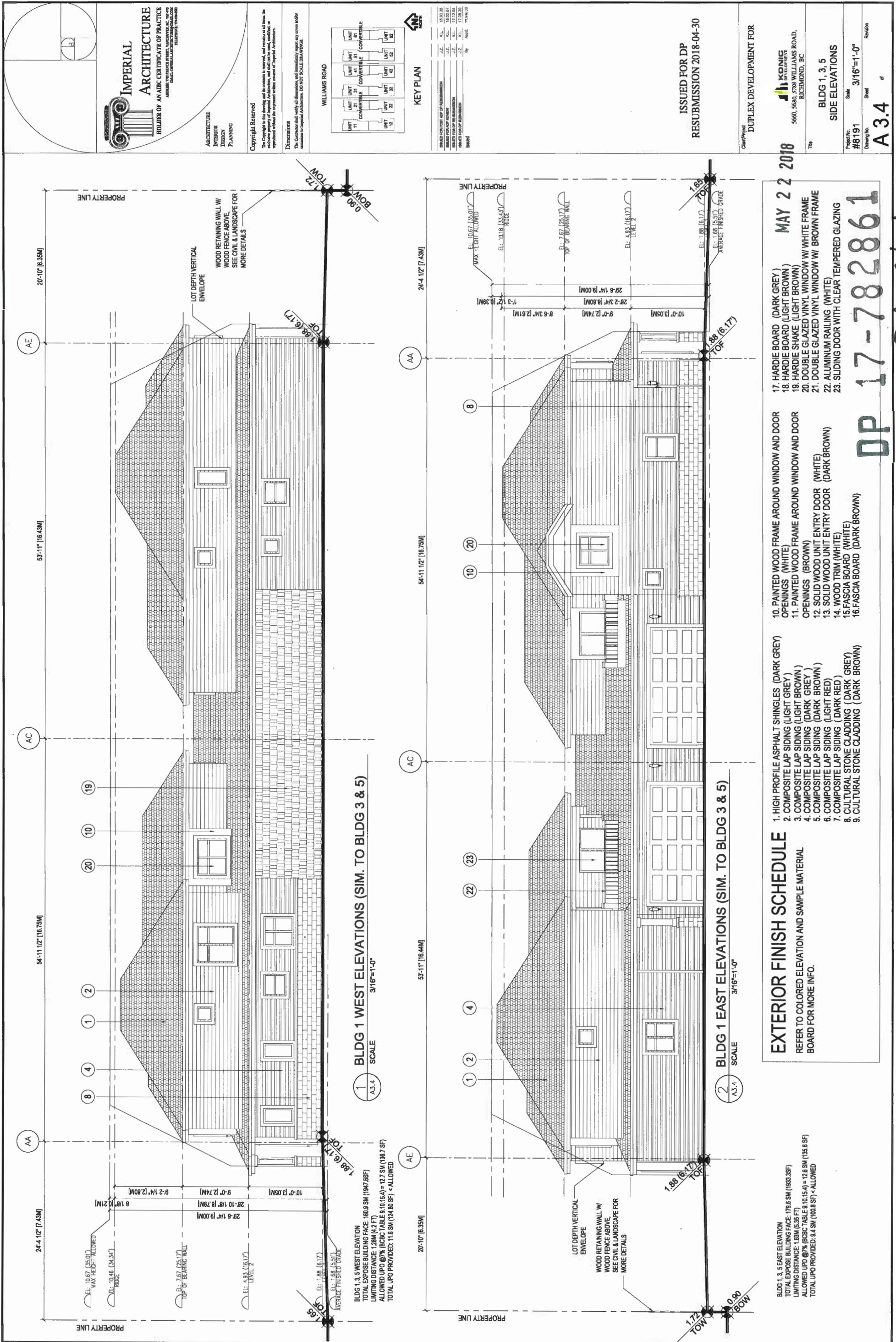


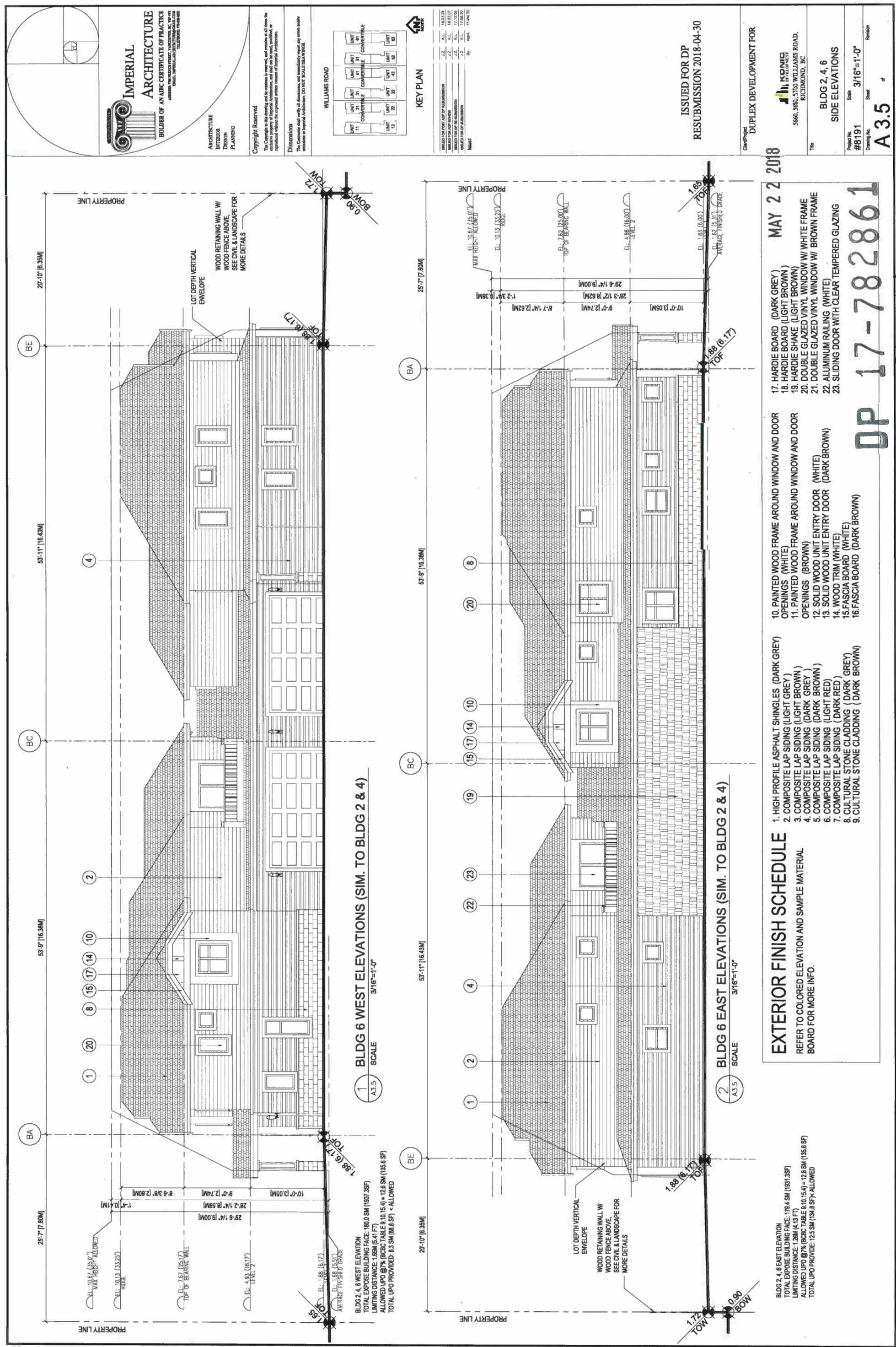
BLDG 1. 3. 5 SPATIAL SEPARATION CALCULATION BASED ON PART 9 OF BCBC 2012 NORTH ELEVATION	
<b>9.10.15.4. (1).C</b> LIMITING DISTANCE: 17'-2" (5.2m) x 1'-2" (0.35m) OPENINGS ALLOWED: 17'-2" (5.2m) - 205.6 SM (3184.0 SF) PROPOSED: 12.1 SM (136.15SF)	
<b>9.10.15.5</b> EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED	
<b>SOUTH ELEVATION</b>	
<b>9.10.15.4. (1).C</b> LIMITING DISTANCE: 14'-0" (4.27m) x 1'-2" (0.35m) OPENINGS ALLOWED: 6.04x4.0 = 41.0 SM (441.3 SF) PROPOSED: 12.3 SM (132.25SF)	
<b>9.10.15.5</b> EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED	
BLDG 2. 4. 6 SPATIAL SEPARATION CALCULATION BASED ON PART 9 OF BCBC 2012 NORTH ELEVATION	
<b>TABLE 9.10.15.4. (1).C</b> LIMITING DISTANCE: 17'-2" (5.2m) x 1'-2" (0.35m) OPENINGS ALLOWED: 17'-2" (5.2m) - 206.3 SM (3287.0 SF) PROPOSED: 11.4 SM (123.15SF)	
<b>9.10.15.5</b> EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED	
<b>SOUTH ELEVATION</b>	
<b>TABLE 9.10.15.4. (1).C</b> LIMITING DISTANCE: 14'-0" (4.27m) x 1'-2" (0.35m) OPENINGS ALLOWED: 6.04x4.0 = 48.1 SM (527.2 SF) PROPOSED: 11.4 SM (122.75SF)	
<b>9.10.15.5</b> EXTERIOR WALL TO HAVE 0 HR FIRE RATING COMBUSTIBLE CONSTRUCTION ALLOWED COMBUSTIBLE CLADDING ALLOWED	

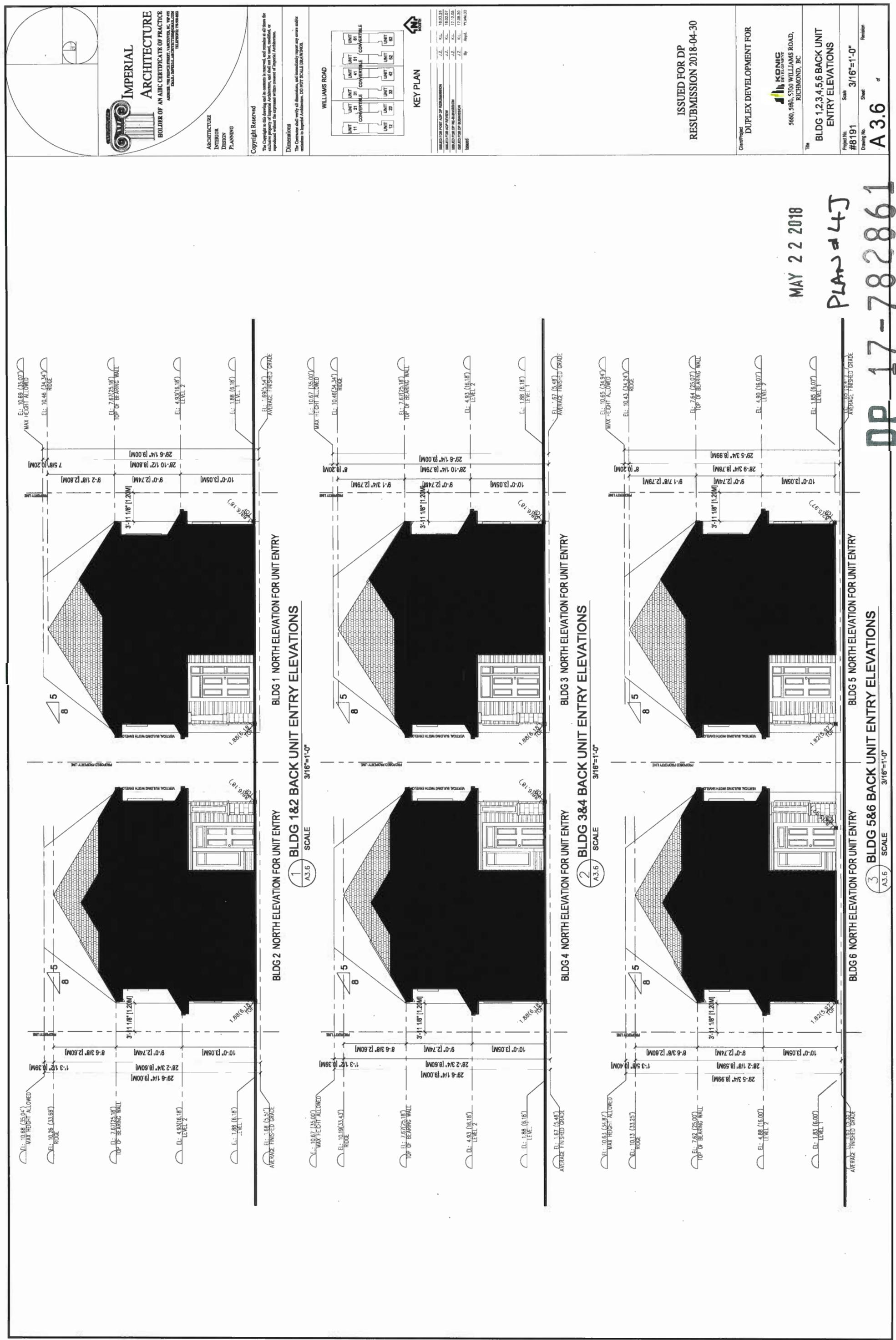


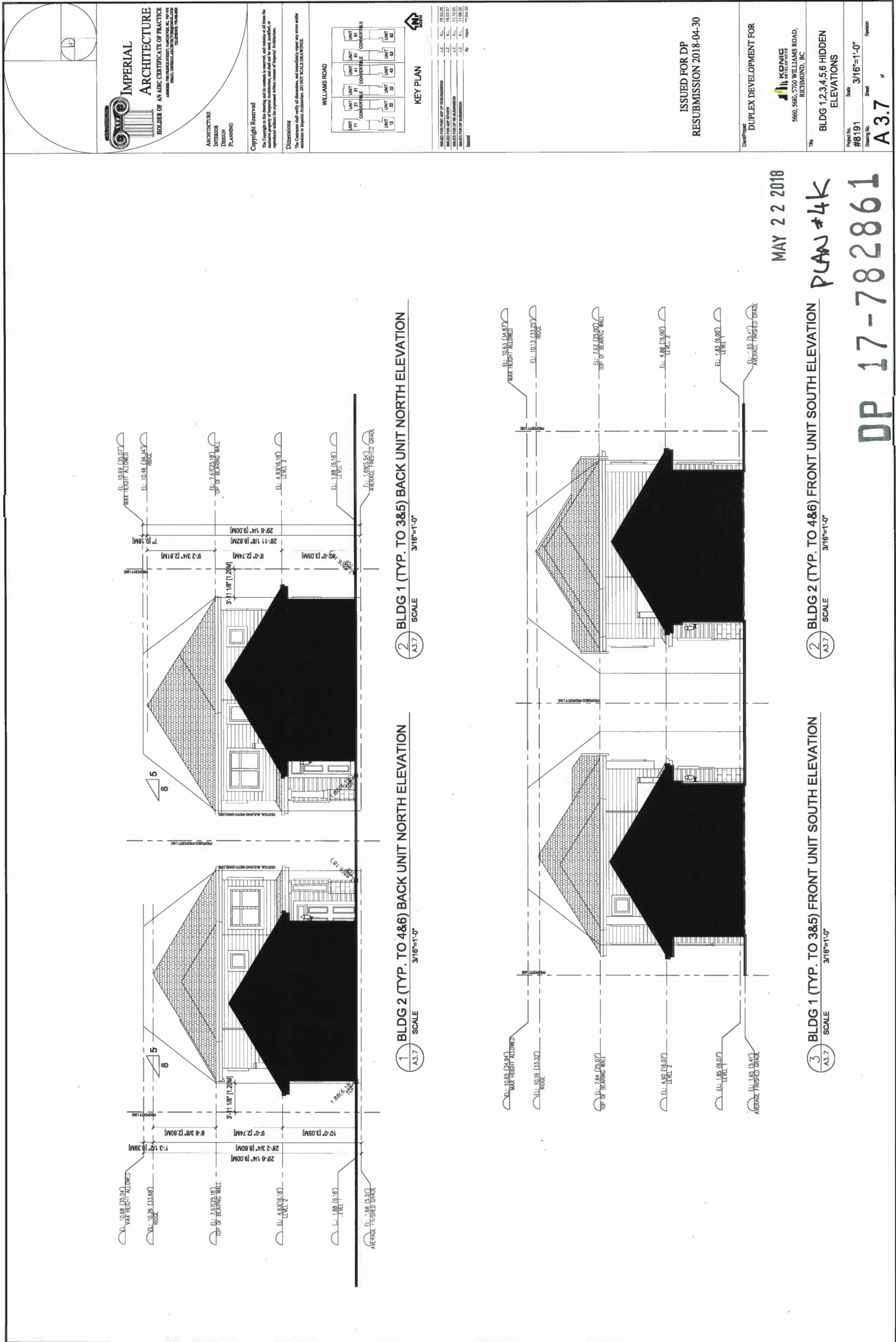


**PLAN #46** MAY 22 2018  
**DP 17-782861**

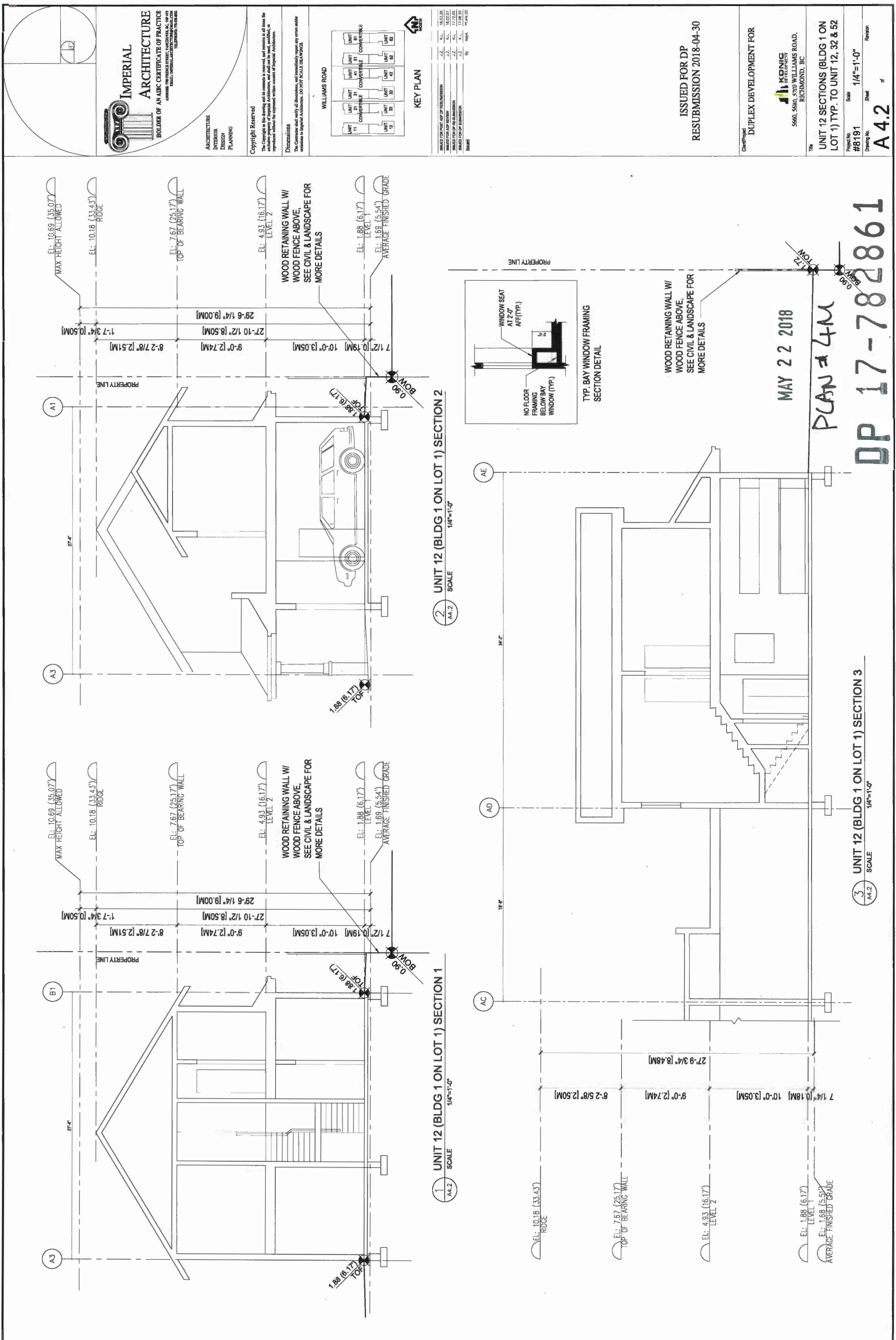


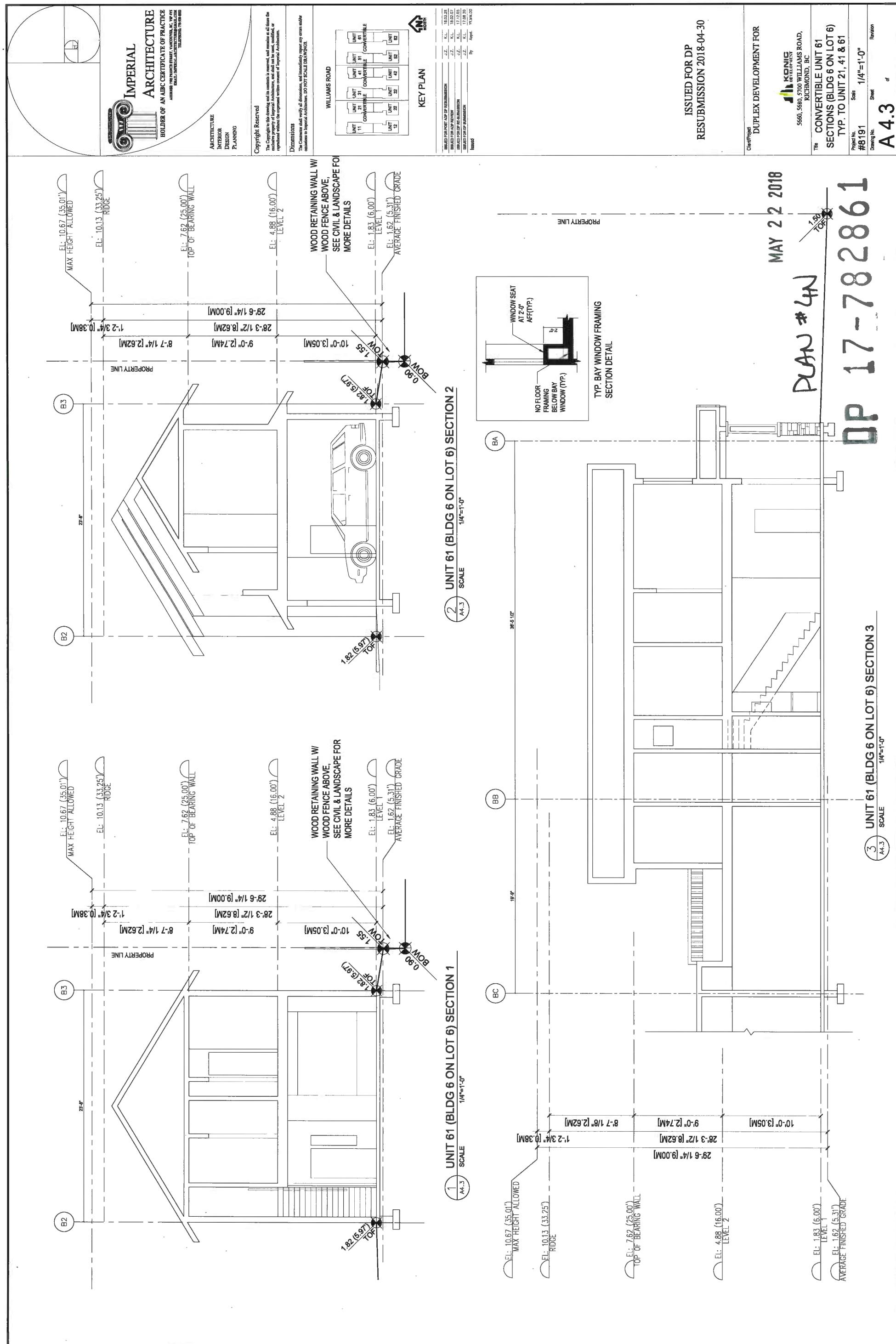


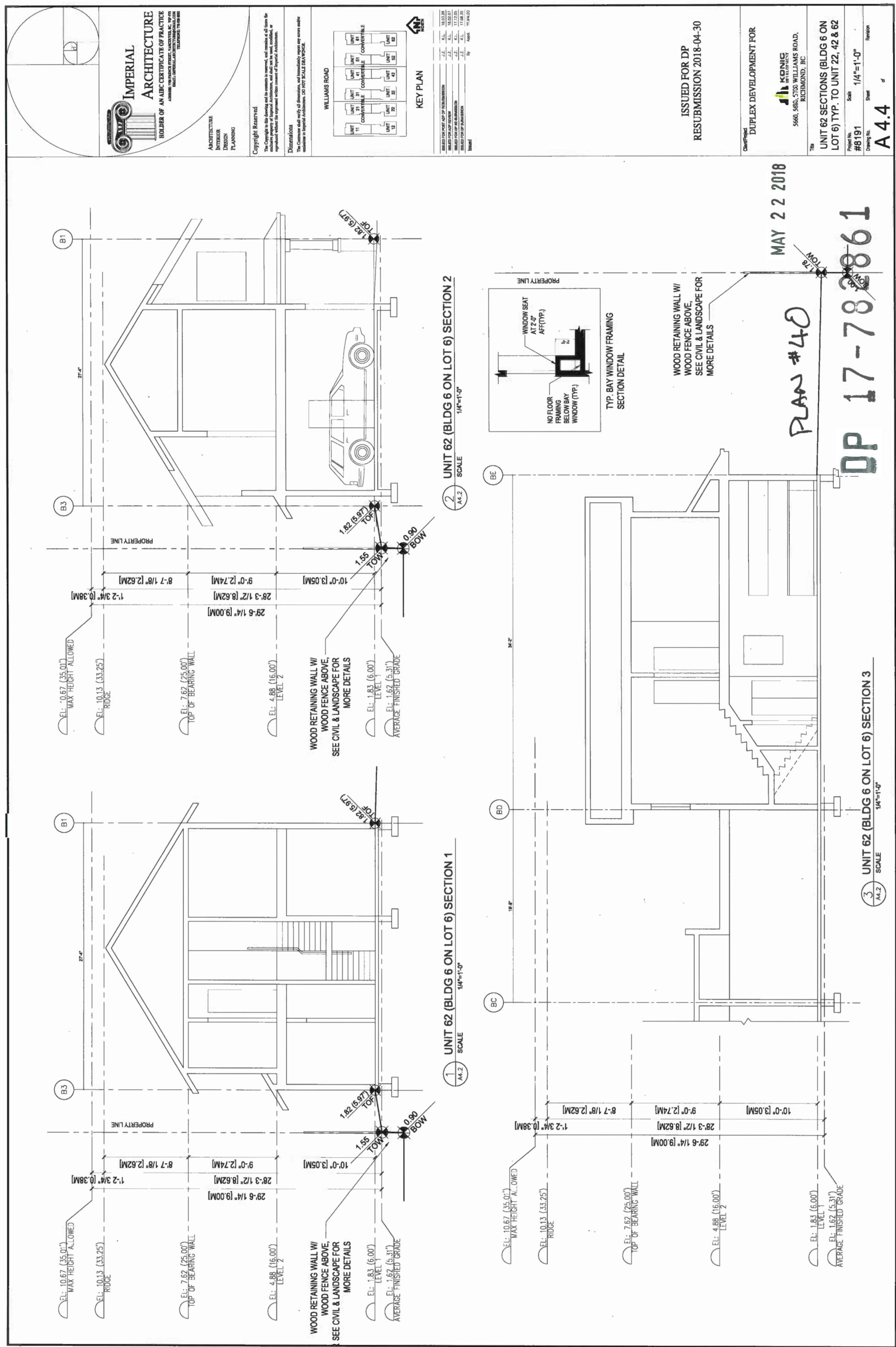












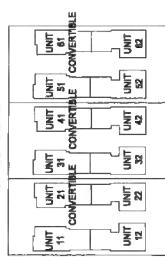


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KEY PLAN



APPROVED FOR POST APP OR RE-BALANCING	J.Z.	4.L.	18.03.26
APPROVED FOR APP REVIEW	J.Z.	4.L.	18.02.07
APPROVED FOR RE-BALANCING	J.Z.	4.L.	17.12.05
APPROVED FOR SUBMISSION	J.Z.	4.L.	17.08.20
APPROVED	By		YAHOO.DD

ISSUED FOR DP  
RESUBMISSION 2018-04-30

DUPLEX DEVELOPMENT FOR

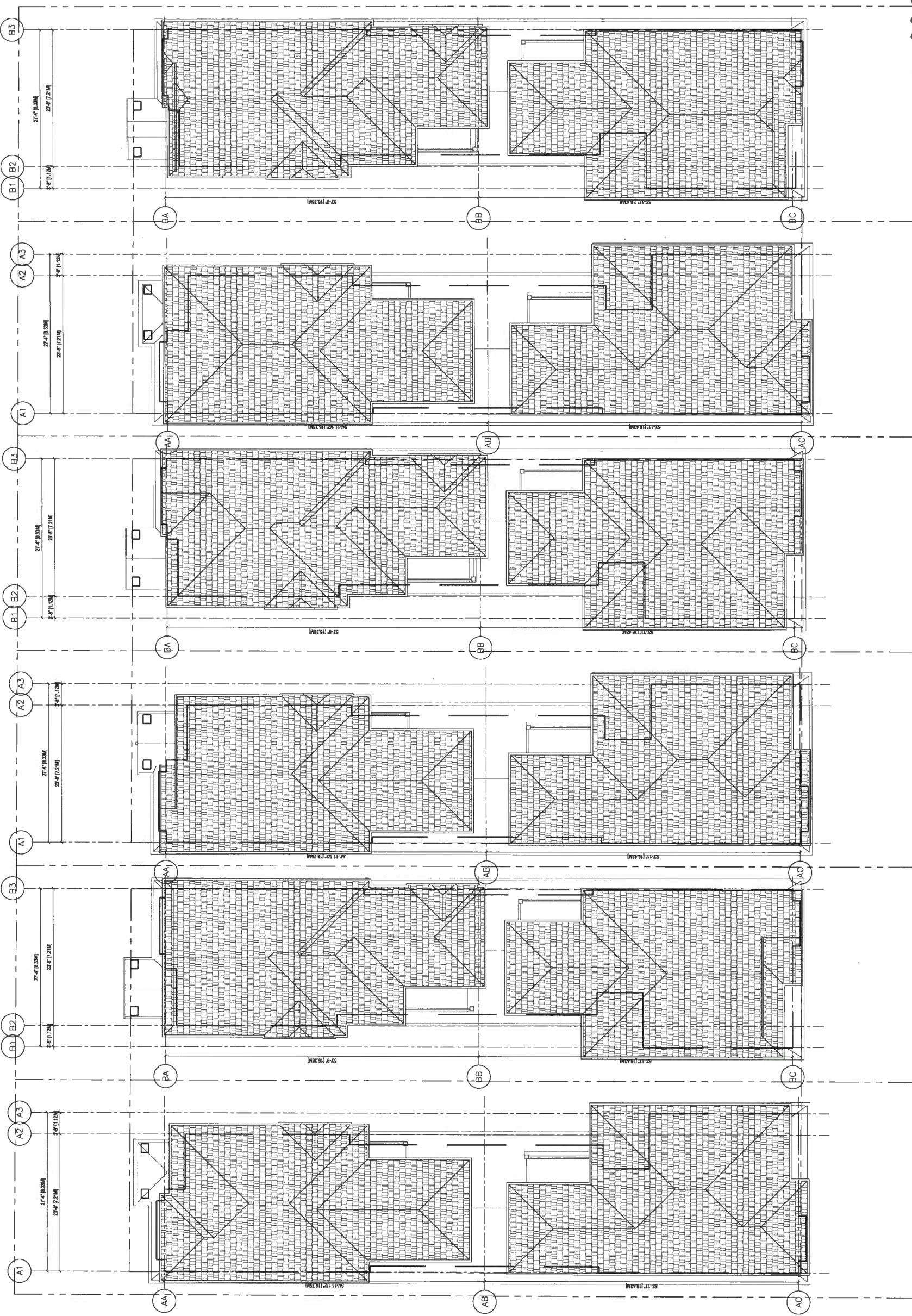
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DEVELOPMENT  
5660, 5680, 5700 WILLIAMS ROAD,  
RICHMOND, BC

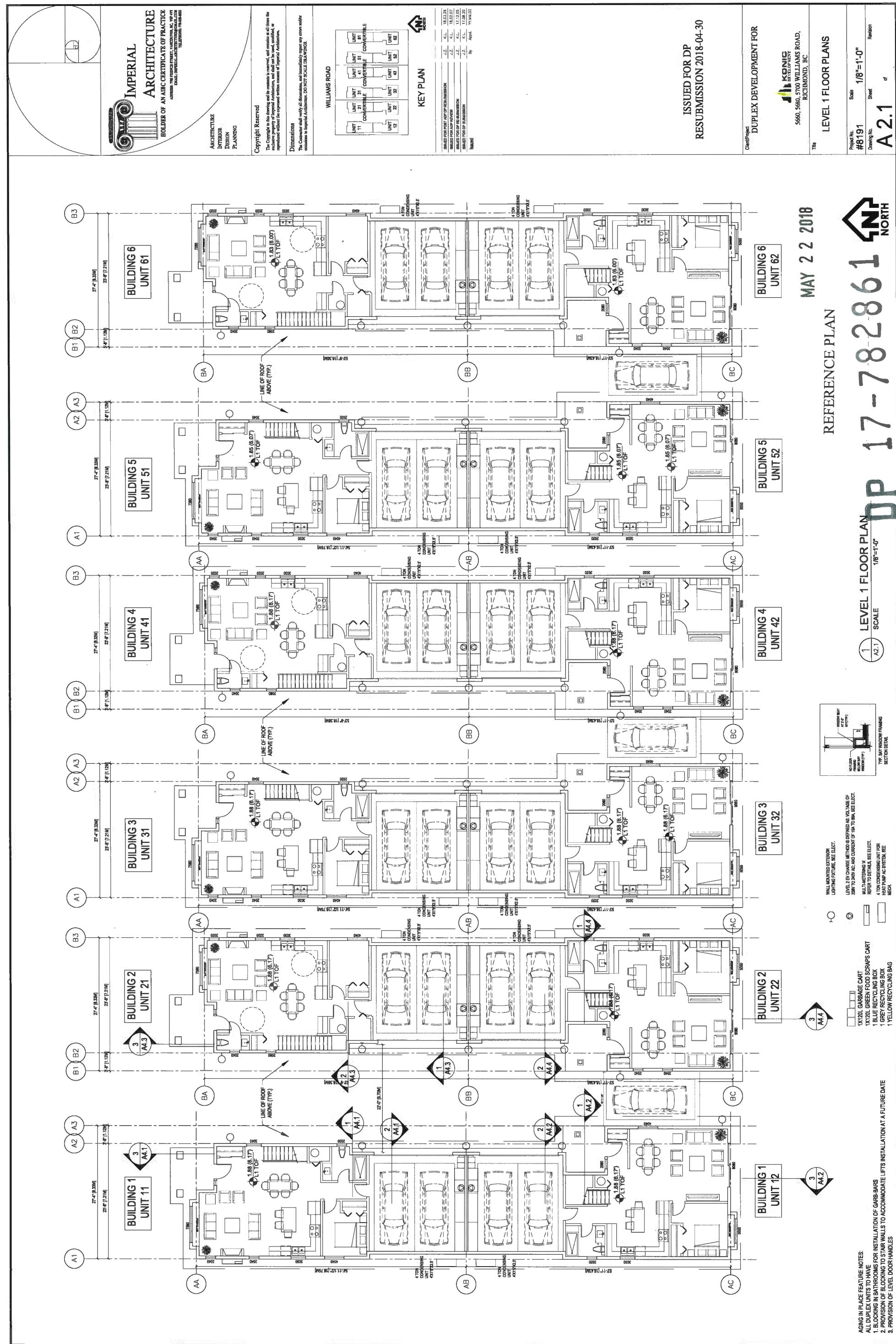
ROOF PLANS

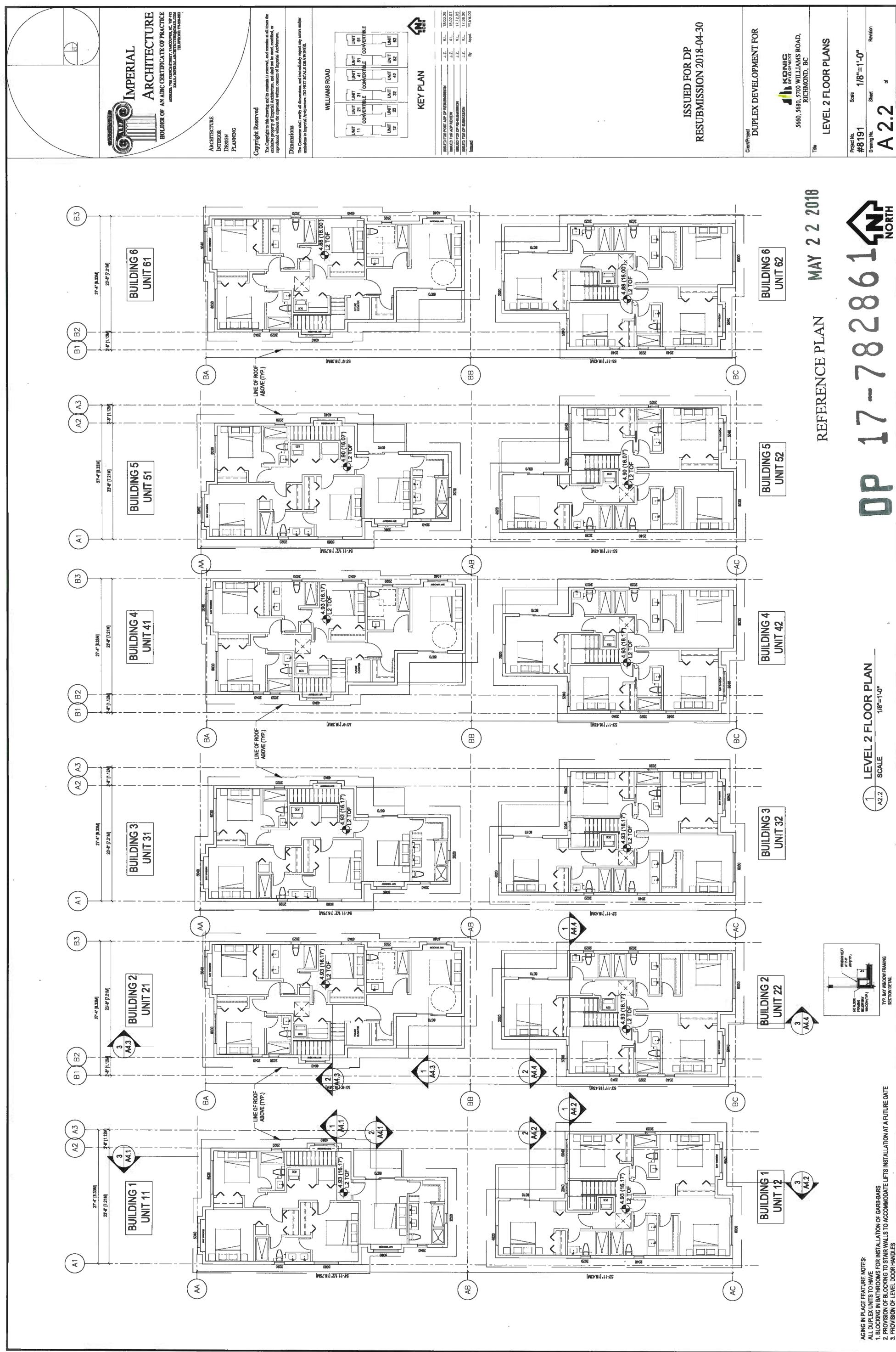
**ROOF PLANS**

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Drawing No.		

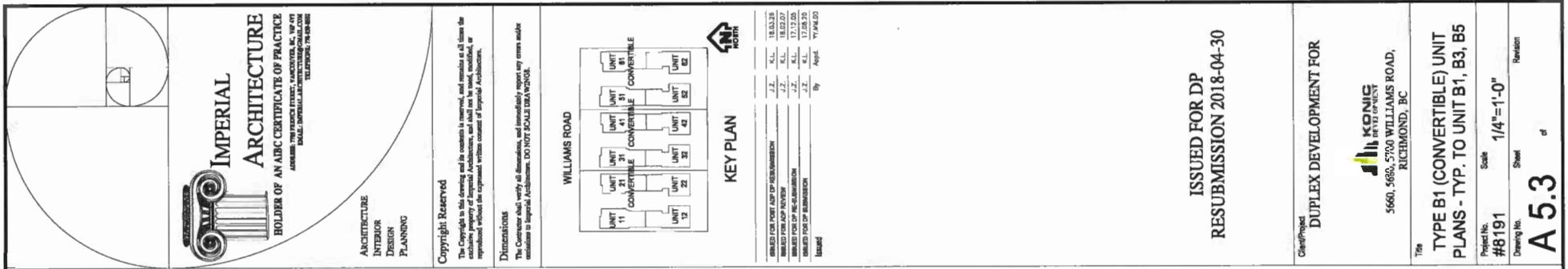
A 2.3







**AGING IN PLACE FEATURE NOTES:**  
ALL DUPLEX UNITS TO HAVE  
1.1. BLOCKING IN BATHROOMS FOR INSTALLATION OF GARB BARS  
1.2. PROVISION OF STAIR WALLS TO ACCOMMODATE LIFTS INSTALLATION AT A FUTURE DATE  
1.3. PROVISION OF LEVEL DOOR HANDLES



**CONVERTIBLE UNIT GUIDELINES**  
(NOTE: SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS)

A1 ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.

A	DOORS & DOORWAYS	A2	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1200 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON EACH SIDE (NOT REQUIRED IF HOLE IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENERS).
		A3	INTERIOR DOORS TO BATHROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT, DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND / OR DOORWAYS (IF NECESSARY TO SECURE ACCESS).
		A4	PATIO / BALCONY MIN. 800 MM CLEAR OPENING. SMALL REMOVABLE WOOD RAMP WILL BE USED TO ADAPT 2' HEIGHT DIFFERENCE BETWEEN FINISHED SURFACES WHEN THE UNIT IS CONVERTED TO ACCESSIBLE UNIT (IE. WHEN THE ELEVATOR IS INSTALLED)
		A5	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE
		A6	LEVER-TYPE HANDLES FOR ALL DOORS
B	VERTICAL CIRCULATION	B1	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 1 M GARAGE WIDTH.
D	GARAGE	B2	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
C	HALLWAYS	B3	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
E	BATHROOM (MIN.1)	C1	MIN. 900 MM WIDTH.
F	KITCHEN	C2	MIN. 1 ACCESSIBLE PARALLEL PARKING SPACE WITH MIN. 1 M GARAGE WIDTH.
		C3	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
		C4	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
		C5	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER WALL BATHTUB, SHOWER AND TOILET LOCATIONS.
		C6	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (ADJUST OR FIXTURE PLACEMENT).
		C7	CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
		C8	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (ADJUST OR FIXTURE PLACEMENT).
		C9	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
		C10	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
		C11	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
		C12	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN/LIVING ROOM)
G	WINDOWS	C13	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS. BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE SWITCHES, TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
H	OUTLETS & SWITCHES	C14	UPGRADE TO FOUR-PLY OUTLETS (L) MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.

**GENERAL NOTES:**

1. AGING-IN-PLACE FEATURES (AS LISTED IN THE OCP) ARE REQUIRED TO BE INCORPORATED INTO ALL UNITS.
2. UNIT 101 IS THE DESIGNATED CONVERTIBLE UNIT.

**REQUIREMENTS APPLIED TO ENTIRE A1 CONVERTIBLE UNIT DESIGN**  
**AS ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILD**  
**AS LEVER-TYPE HANDLES FOR ALL DOORS.**  
B3 AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 4" MM TO CENTRE.  
AT 814 MM TO CENTRE.

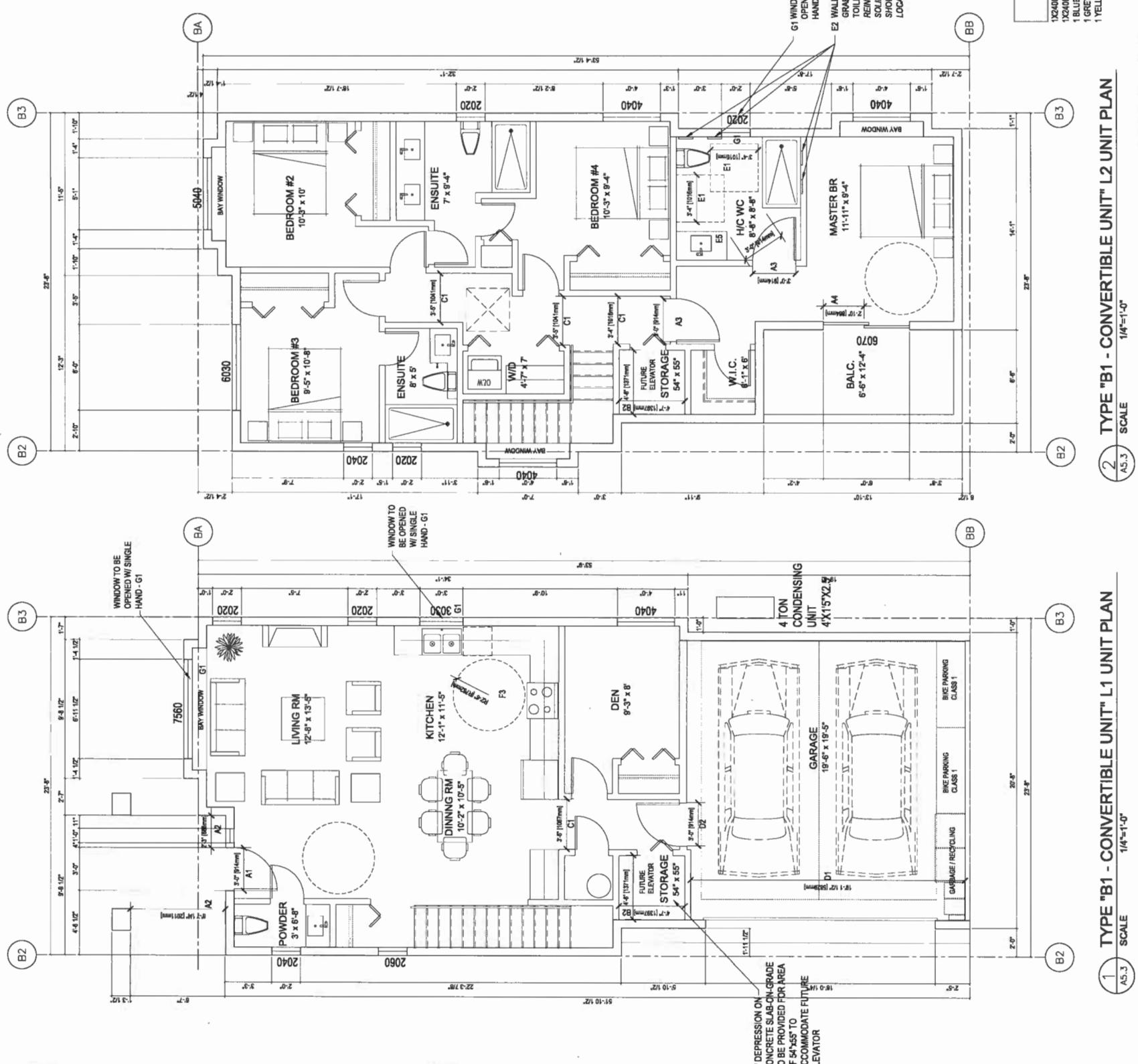
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**DUPLEX DEVELOPMENT FOR**

**TYPE B1 (CONVERTIBLE) UNIT**

**PLANS - TYP. TO UNIT B1, B3, B4**

Project No.	Scale	Revision
#8191	1/4"=1'-0"	
Drawing No.	Sheet	
A 5.3		et



**TYPE "B1 - CONVERTIBLE UNIT" L1 UNIT PLAN**

---

1/4"=1'-0"

**2** TYPE "B1 - CONVERTIBLE UNIT" L2 UNIT PLAN  
AS-3  
SCALE 1/4"=1'-0"

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**DP-17-782861**

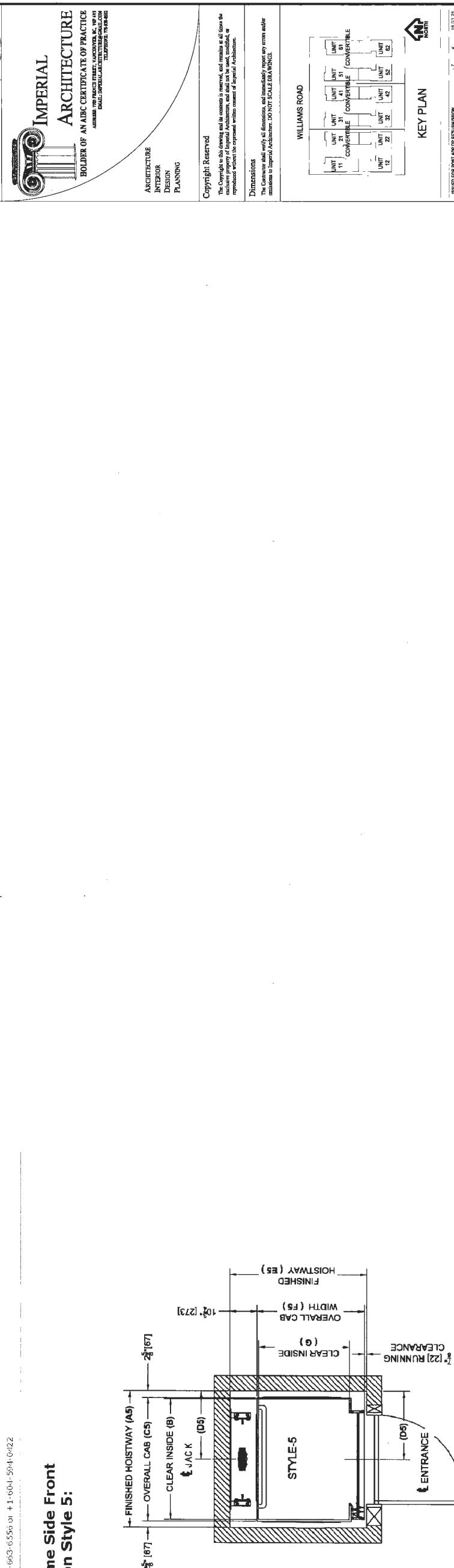
PLAN N

H2 UPGRADE TO FOUR-PLEX OUTLETS ILLMASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.

STAIRWAYS, BESIDE SWITCHES TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE) ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.

**REF E**  
I. PROVISION OF LEVEL DOOR HANDLES  
RAY WINDOW IS TYPICALLY 1'-6" AFF AND DOES NOT RESULT  
PROJECTION OF FLOOR CONSTRUCTION BELOW.

Design Hot Line: 1-860-653-5555 or +1-604-594-0422  
**On / Off Same Side Front Configuration Style 5:**



Cab Size	A5	B	C5	D5	E5	F5	G	H*
36" x 48"	54 1/4"	48"	49"	27 1/8"	53 7/8"	42 1/4"	36"	27 1/8"
* 36" x 54"	60"	54"	55"	30"	55"	42 1/4"	36"	30"
36" x 60"	66 1/4"	60"	61"	33 1/8"	53 7/8"	42 1/4"	36"	33 1/8"
40" x 54"	60 1/4"	54"	55"	30 1/8"	57 7/8"	46 1/4"	40"	30 1/8"
* 42" x 60"	66 1/4"	60"	61"	33 1/8"	59 7/8"	48 1/4"	42"	33 1/8"
* 48" x 60"	66 1/4"	60"	61"	33 1/8"	65 7/8"	54 1/4"	48"	33 1/8"

Dimensions are based on standard 1/2" cab wall thickness used for flat veneer and melamine finishes.  
 Dimensions for units with aluminum/glass or paneled walls will vary slightly.

\*Cab sizes are limited to 15 sq. ft. in some areas. Consult with your local Garaventa Lift representative.  
 \* H dimension is based on a 36" wide door.

Home Elevator Design & Planning Guide  
 3/08c-J-Dp

-13-

**HOME ELEVATOR SERIES BY  
 GARAVENTA BC (ELEVATOR / LIFT MANUFACTURER)**  
 2805 MURRAY STREET PORT MOODY, BC V3H 1X3 CANADA  
 MONDAYS – FRIDAYS: 8:00 AM – 4:30 PM  
 TEL: 604 461-6636 / 1-800-565-6636  
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 RESUBMISSION 2018-04-30

Client/Project  
 DUPLEX DEVELOPMENT FOR

KONG  
 INTELLIGENT  
 5660-580-590 WILLIAMS ROAD,  
 RICHMOND, BC

REF ID: A5.5  
 Project No. #191  
 Scale AS NOTED  
 Drawing No. 3/08c-J-Dp  
 Revision

REFERENCE PLAN  
**MAY 22 2018**

**DP 17-702361**