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**Development Permit Panel  
Electronic Meeting**

**Council Chambers, City Hall  
6911 No. 3 Road**

**Wednesday, June 12, 2024  
3:30 p.m.**

**MINUTES**

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on May 29, 2024.*



**1. DEVELOPMENT PERMIT 23-023854**  
(REDMS No. 7681802)

APPLICANT: HNPA Architecture & Planning Inc.

PROPERTY LOCATION: 6071 Azure Road

**Director's Recommendations**

*That a Development Permit be issued which would:*

- 1. permit the construction of a low-rise to mid-rise residential development comprising 330 residential units, including 50 low-end-of-rental (LEMR) units, 110 moderate-income rental units and 170 market rental units at 6071 Azure Road on a site zoned "Low to Mid Rise Apartment (ZLR45) – Thompson"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and*
  - (b) reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.*



**Development Permit Panel – Wednesday, June 12, 2024**

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ITEM

**2. New Business**

**3. Date of Next Meeting: June 26, 2024**

**ADJOURNMENT**



**Development Permit Panel  
Wednesday, May 29, 2024**

Time: 3:30 p.m.  
Place: Remote (Zoom) Meeting  
Present: Wayne Craig, General Manager, Planning and Development, Chair  
Cecilia Achiam, General Manager, Community Safety  
James Cooper, Director, Building Approvals

The meeting was called to order at 3:30 p.m.

**MINUTES**

It was moved and seconded  
*That the minutes of the meeting of the Development Permit Panel held on May 15, 2024 be adopted.*

**CARRIED**

**1. DEVELOPMENT PERMIT 18-829207  
(REDMS No. 7570968)**

APPLICANT: Arcadis Architects (Canada) Inc.

PROPERTY LOCATION: 9520 Beckwith Road

INTENT OF PERMIT:

Permit the construction of a 7-storey light industrial and office building on a site zoned “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)”.

**Applicant’s Comments**

Gwyn Vose, Arcadis Architects (Canada) Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

## Development Permit Panel

### Wednesday, May 29, 2024

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- the proposed seven-storey light industrial and office building is the final phase of the overall development which includes a newly constructed office and industrial building and two hotel buildings under construction;
- the proposal was previously considered and endorsed by the Panel and is returning to the Panel due to proposed changes to the project including, among others, revisions to the project's Environmentally Sensitive Area (ESA) compensation scheme; and
- there are no changes to the proposed building design which is modern and simple and includes two levels of light industrial spaces, two levels of parking and three levels of office spaces.

Jeremy Nilson, Keystone Environmental, with the aid of the same visual presentation, briefed the Panel on the revised ESA compensation scheme for the project, highlighting the following:

- the subject ESA straddles the shared property line of the subject property and the adjacent hotel property to the south;
- the stand of trees on the ESA that were previously identified for retention had degraded and died and as a result, a General Compliance ruling for changes to the landscaping and ESA compensation plan for the two neighbouring hotel properties was considered and approved by Council to address the ESA, ecological and habitat impacts; and
- the subject development permit application for 9520 Beckwith Road also addresses the impacts of the decline in health of trees in the ESA and the development's revised ESA compensation scheme includes regrading and revegetating the ESA, incorporating native trees in the landscaping throughout the site, upsizing the trees, and developing a long-term ESA maintenance and monitoring program.

Travis Martin, van der Zalm + Associates, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) 37 ESA replacement trees, including 14 trees on the subject site, have been upsized and are proposed to be planted across the four sites, and (ii) the proposed ESA compensation planting for the proposed development at 9520 Beckwith Road includes native tree and shrub planting in ESA compensation areas on ground level as well as on the upper levels of the proposed seven-storey light industrial and office building.

## **Development Permit Panel**

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#### **Staff Comments**

Joshua Reis, Program Manager, Development, noted that (i) the subject Development Permit application updates the proposed ESA compensation strategy for the subject site with no change in the size of the ESA compensation area, (ii) the proposed revisions to the ESA compensation plan for the subject site include the planting of 14 replacement trees in the ESA, all of which have been upsized, (iii) the proposed ESA compensation plan will result in an equivalent function and biodiversity value to the previous ESA compensation scheme presented to and endorsed by the Panel in 2019, (iv) there is no change to the building design and form from what was presented to the Panel in 2019, (v) the project will be connected to a City District Energy Utility (DEU) facility, (vi) the project is required to comply with Step 3 of the BC Energy Step Code and the National Energy Code of Canada for Buildings (NECB), (vii) there is a Servicing Agreement associated with the project which includes, among other items, frontage works and tie-ins to existing works east of the subject site, storm and water systems upgrades along Beckwith Road, and installation of appropriate utility connections, and (viii) there is a five-year monitoring period for the proposed ESA compensation planting.

#### **Panel Discussion**

In reply to queries from the Panel, staff advised that (i) a range between three- to -five years monitoring period is a typical requirement for ESA compensation planting, (ii) two separate landscape securities are required to be submitted by the applicant for the subject development - a landscape security of approximately \$110,000 for all proposed ESA compensation planting and a landscape security of approximately \$260,000 for all remaining proposed on-site landscaping works identified in the plans, (iii) there are two separate landscape securities required to be submitted due to the longer monitoring period required for ESA compensation planting, (iv) the ESA monitoring period covers all areas for the proposed ESA compensation planting, both at grade and on the upper levels of the light industrial and office building, (v) street trees to be planted will be determined through the Servicing Agreement associated with the project, and (vi) as part of the subject application's development considerations, all landscape works associated with the subject development including landscape works in the ESA must be installed and completed prior to occupancy of the proposed light industrial and office building.

As a result of the discussion, staff was advised to explore the upsizing of the required street trees to be planted, if they can be accommodated.

## **Development Permit Panel**

### **Wednesday, May 29, 2024**

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In reply to queries from the Panel, the applicant noted that (i) wildlife trees are trees that are located in the ESA that had declined in health and died and were identified to be suitable for conversion into wildlife trees that will provide habitat values to local plants and small animals, (ii) the wildlife trees that have been identified to be retained in the ESA will be topped to a safe height and allowed to decay, (iii) the proposed ESA compensation planting will be protected during construction through the installation of tree protection fencing and instituting other protective measures including inspection and monitoring to ensure that construction activities will not encroach into the ESA compensation planting area, (iv) at grade and on building ESA compensation planting are complementary to each another as the variety of ESA planting on ground level and on the upper levels of the building would attract and provide habitat to different species of animals, including small animals, birds and butterflies, (v) all planted areas in the subject site including ESA planting areas are irrigated, (vi) the proposed shared WB-17 loading area on the south side of the adjacent property to the west will be shared by the four neighbouring properties in the overall development, and (vii) the applicant advised that there will be an agreement among all buildings in the overall development to avoid competing uses of the shared WB-17 loading area at the same time.

In reply to a query from the Panel regarding the current location of the retained wildlife trees, staff clarified that (i) there are a total of five wildlife trees located on the ESA that straddles the shared property line of the subject property (9520 Beckwith Road) and the adjacent property to the south that have been identified to be retained, and (ii) out of the five retained wildlife trees, only one wildlife tree is located on the subject site while the other remaining wildlife trees are located on the adjacent property to the south.

#### **Correspondence**

None.

#### **Gallery Comments**

Hongjin Wang, Unit 830, 2777 Jow Street (Bridgeport Business Centre), stated that he is an owner of a unit in the building adjacent to the proposed development and queried about (i) whether the proposed light industrial and office building could be modified to exceed its proposed seven-storey height, and (ii) whether occupants of their building could be assured that planting on the building rooftop of the proposed seven-storey building would be modest to avoid overgrowth.

In reply to the query about the possibility that the proposed seven-storey light industrial and office building could be modified to increase its height, the Chair clarified that the proposal is for the construction of a seven-storey building and any change to the proposal would require a separate application.

**Development Permit Panel**  
**Wednesday, May 29, 2024**

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With regard to the query regarding the intensity and height of proposed planting on the light industrial and office building rooftop, the applicant confirmed that (i) shrubs proposed to be planted on the building rooftop are smaller compared to those that will be planted on ground level, and (ii) vine maple trees will be planted on the rooftop, which are significantly smaller than other trees proposed to be planted elsewhere in the subject site.

**Panel Discussion**

The Panel expressed support for the project, noting (i) the applicant has adequately addressed concerns regarding tree preservation and protection in the ESA, and (ii) the five-year monitoring period for ESA planting be utilized to ensure the proposed ESA compensation planting will be established, including those that will be planted on the upper levels of the building.

**Panel Decision**

It was moved and seconded

*That a Development Permit be issued at 9520 Beckwith Road to permit the construction of a 7 storey light industrial and office building on a site zoned “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)”.*

**CARRIED**

**2. New Business**

None.

**3. Date of Next Meeting: June 12, 2024**

**ADJOURNMENT**

It was moved and seconded

*That the meeting adjourn (4:05 p.m.).*

**CARRIED**

**Development Permit Panel**  
**Wednesday, May 29, 2024**

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Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 29, 2024.

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Wayne Craig  
Chair

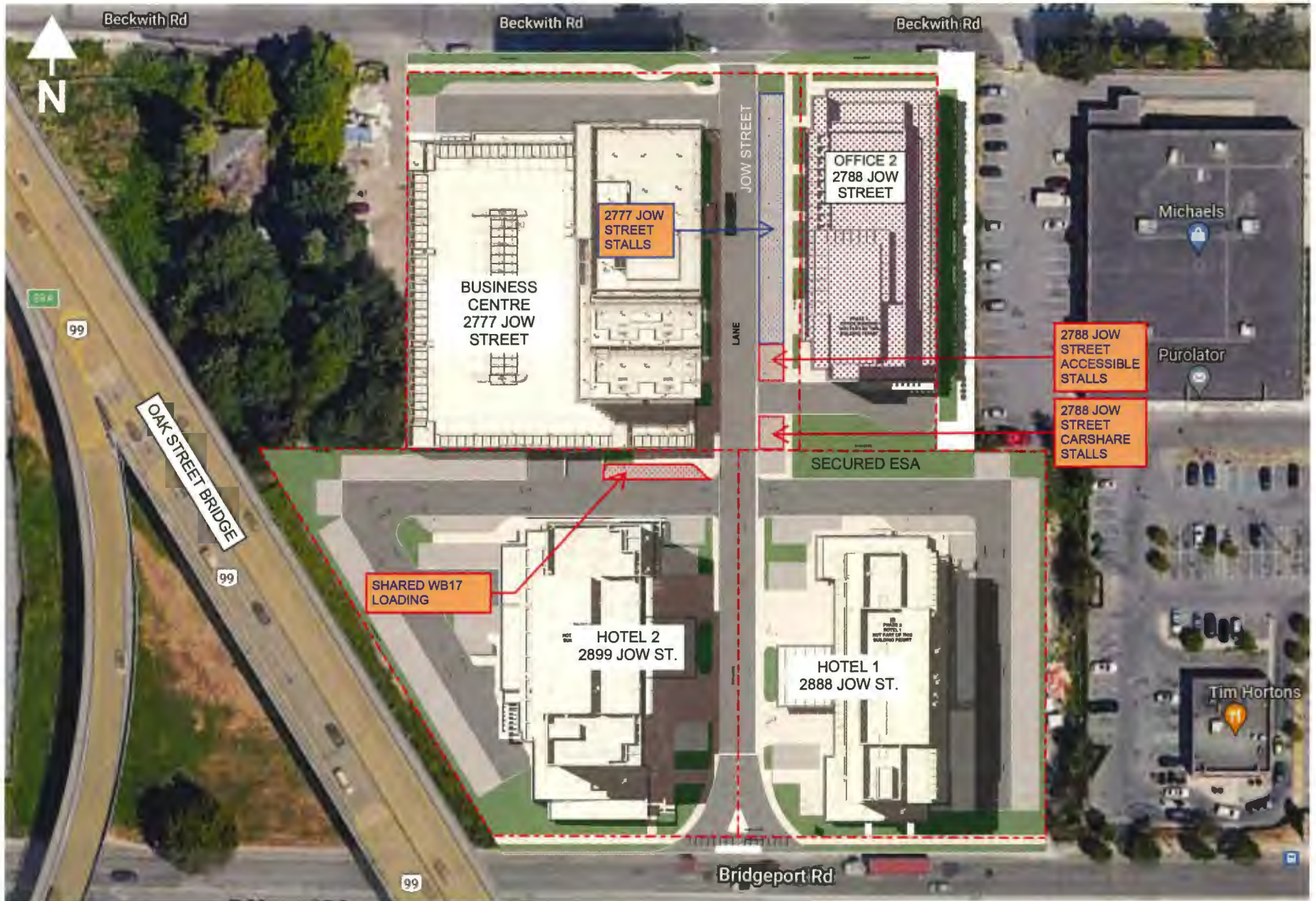
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Rustico Agawin  
Committee Clerk





OVERALL AERIAL CONTEXT VIEW



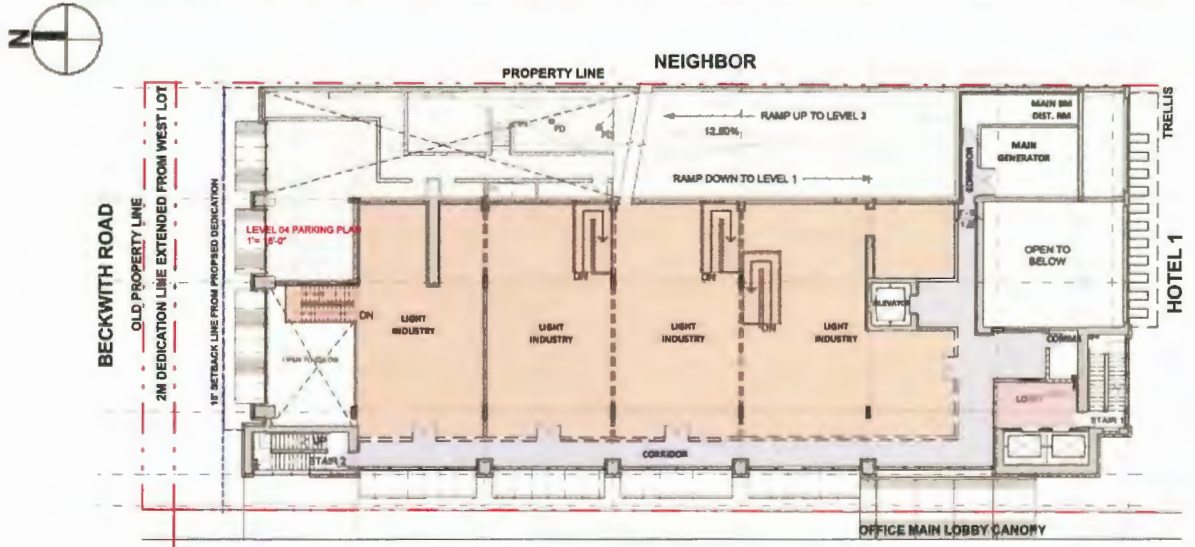
**OVERALL CONTEXT PLAN**

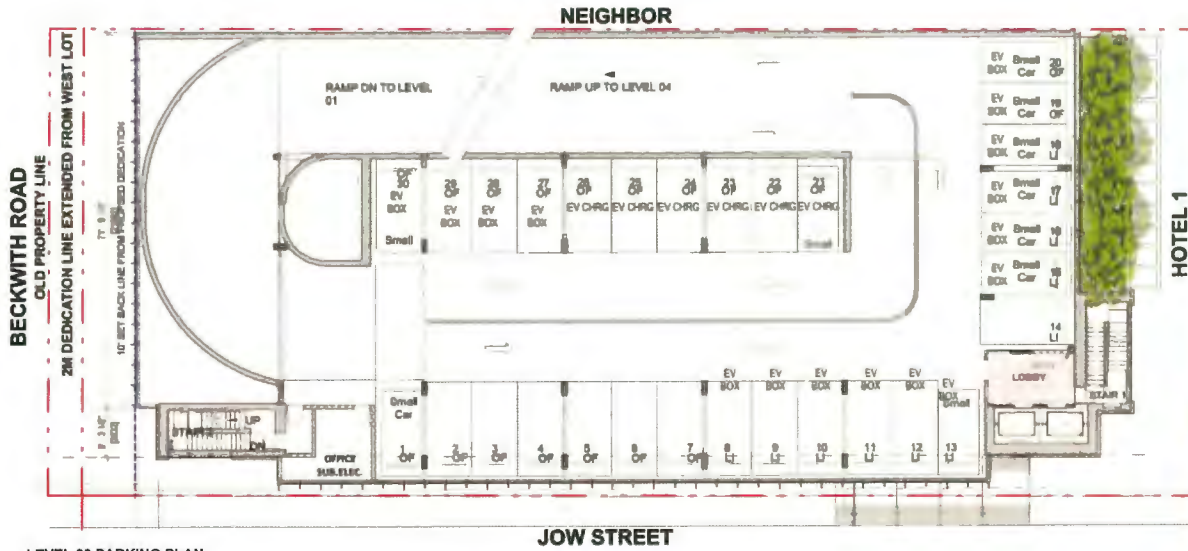


PROJECT STATISTICS			
2788 JOW STREET			
ZONING SUB-AREA		LIGHT INDUSTRIAL AND OFFICE (Z19)	
SITE AREA (BEFORE DEDICATION)	(S.F.)	22,579	
SITE AREA (AFTER DEDICATION)	(S.F.)	21,994	
FAR ALLOWED	(S.F.)	FSR 1.85 PER AREA-B (T4) TARGET: FSR 1.85 (T4)	
FAR PROVIDED	(S.F.)	40,436	
DIFFERENCE	(S.F.)	253	
	FSR (S.F.)	MEP/SERV. (S.F.)	GROSS (S.F.)
LOW RISE OFFICE	40,436	26,407	66,843

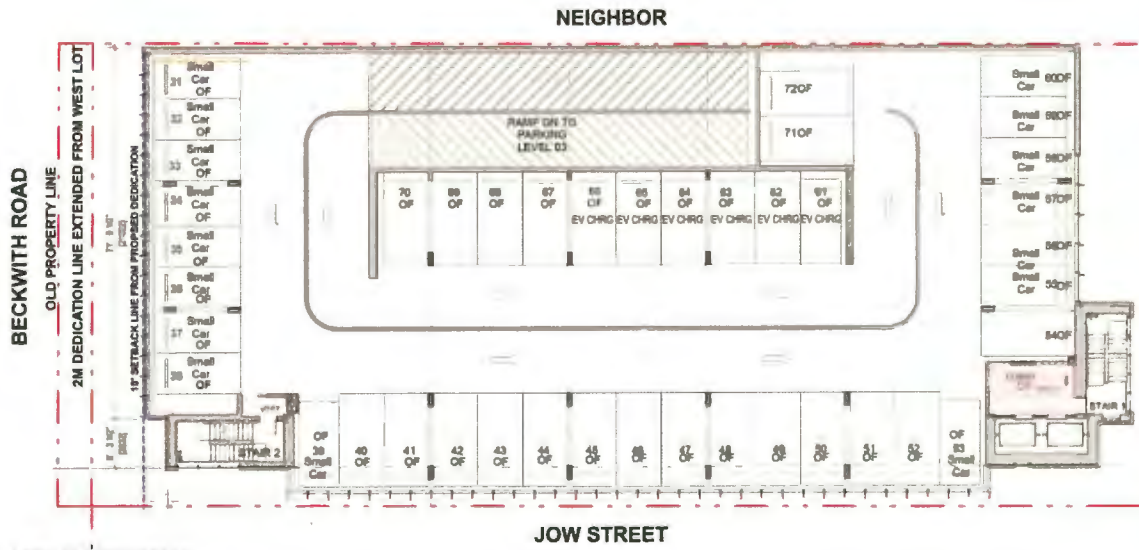
PARKING RATIO		PARKING BREAKDOWN				
	REQUIRED BASED ON BYLAW	PROPOSED PARKING	BY PHASE			
			TOTAL	HC STALLS 2% OF EACH LAND USE	SMALL STALLS 50% OF EACH LAND USE	REGULAR STALLS
LOW RISE OFFICE	13	79	79	1	4	0
LIGHT INDUSTRY	13,824 SQ FT (1110%)			1	886	476
OFFICE	53			1	31	41
	20,280 SQ FT (101%)			2	33	48
<b>TOTAL</b>						

NOTE: PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7 (SEE A036)





LEVEL 03 PARKING PLAN  
1"= 16'-0"



LEVEL 04 PARKING PLAN  
1"= 16'-0"

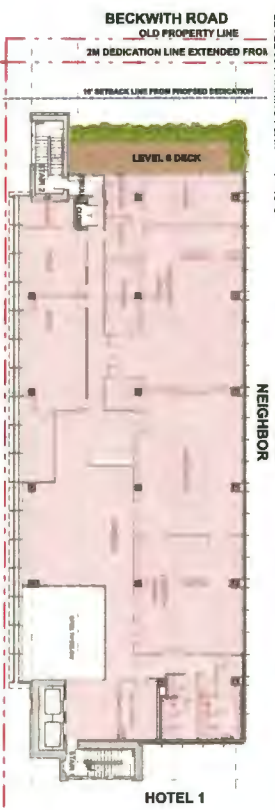




AERIAL FROM SOUTH-WEST



HOTEL 1



HOTEL 1



HOTEL 1



AERIAL FROM NORTH-EAST



North Elevation



West Elevation



South Elevation



East Elevation

**MATERIAL LIST**

- 1A. LOW-E GLAZED WINDOW SYSTEM
- 1B. FROSTED GLASS WINDOW SYSTEM
- 1C. SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE

- 2. STORE FRONT GLAZING - CLEAR
- 3. METAL PANEL CLADDING - WHITE

- 4. 3 TONE PAINTED CONCRETE:  
2119-40 DARK GRAY  
2119-50 MEDIUM GRAY  
2119-70 LIGHT GRAY  
(BENJ. MOORE OR SIM)

- 5. MECHANICAL LOUVER CHARCOAL
- 6. TEXTURED WALL CONCRETE FORM LINER
- 7. ILLUMINATED SIGNAGE

**ELEVATIONS**



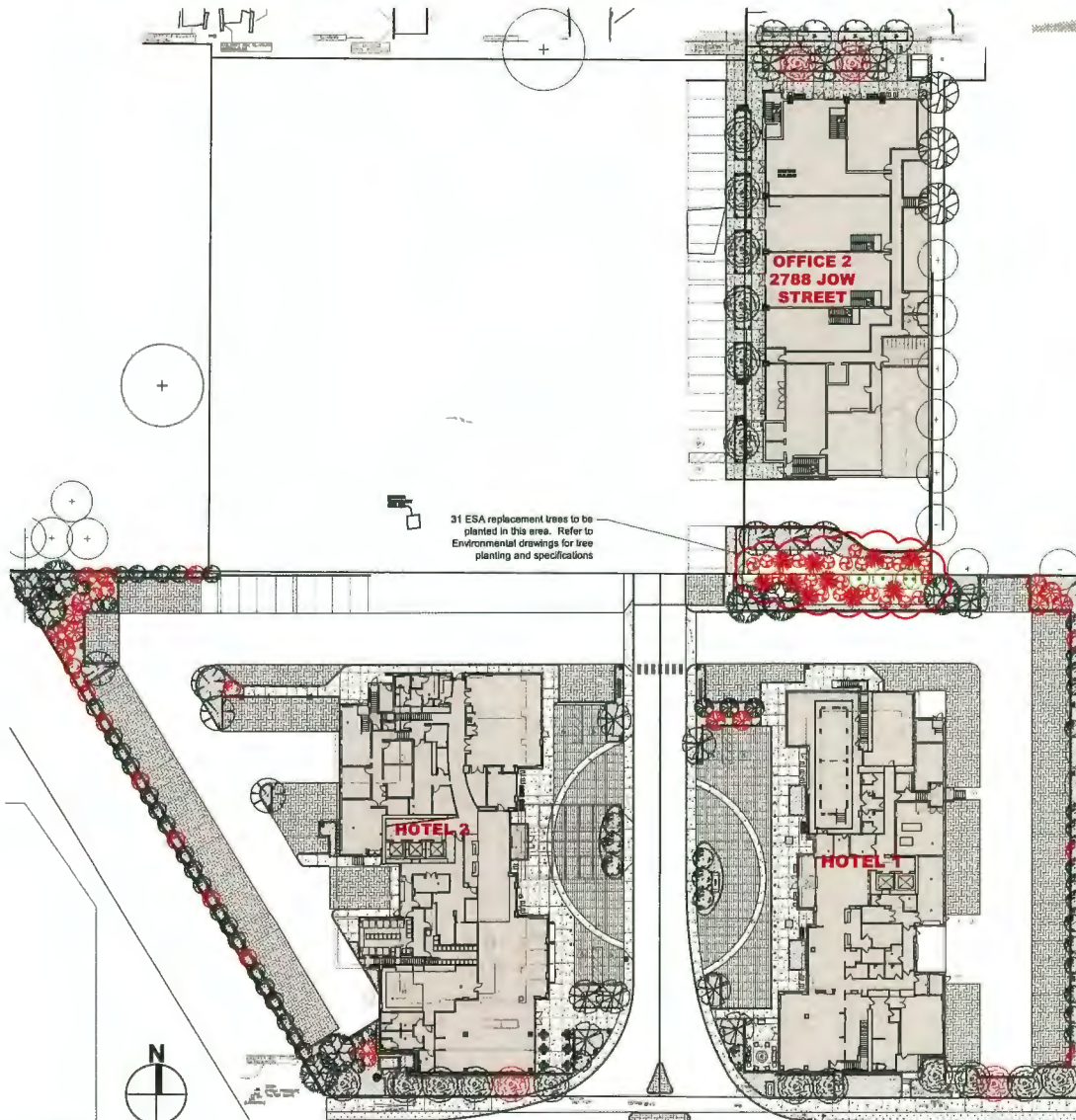
VIEWS



**VIEWS**



# SITE PLAN - 9520 Beckwith Road (2788 Jow St)- Office 2



**HOTEL 1**

**TREE LEGEND**

Trees planting provided on existing DP for hotel 1

**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Starburst	6	Amor. caryocarpus 'Gold Rainier'	Red Tropic Maple	BBB 6"m cal. 1.5m cal.	Per Plan
Linden/Weinbe/Blehn	3	Fraxinus excelsior 'Winter Silhouette'	Winter Silhouette Swallowtail	BBB 6"m cal.	Per Plan
Maple tree in flower	20	Prunella tinctoria 'Spring'	Swallowtail Aspen	BBB 6"m cal. 4.0m H.	Per Plan
Pinus nigra in flower	1	Pinus nigra	Black Pine	BBB 6"m cal.	Per Plan
Pinus sp.	2	Pinus sp.	Western Red Cedar	BBB 6"m H. Single leader	Per Plan
<b>TOTAL</b>	<b>32</b>				

**TREE LEGEND**

Trees added to hotel 1 for ESA tree removal compensation

**HOTEL 1 ADDITIONAL TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Starburst	4	Amor. caryocarpus 'Gold Rainier'	Red Tropic Maple	BBB 6"m cal. 1.5m cal.	Per Plan
Linden/Weinbe/Blehn	3	Fraxinus excelsior 'Winter Silhouette'	Winter Silhouette Swallowtail	BBB 6"m cal.	Per Plan
Maple tree in flower	1	Prunella tinctoria 'Spring'	Swallowtail Aspen	BBB 6"m cal. 4.0m H.	Per Plan
<b>TOTAL</b>	<b>8</b>				

**HOTEL 2**

**TREE LEGEND**

Trees planting provided on existing DP for hotel 2

**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Starburst	4	Amor. caryocarpus 'Gold Rainier'	Red Tropic Maple	BBB 6"m cal. 1.5m cal.	Per Plan
Linden/Weinbe/Blehn	4	Fraxinus excelsior 'Winter Silhouette'	Winter Silhouette Swallowtail	BBB 6"m cal.	Per Plan
Maple tree in flower	3	Prunella tinctoria 'Spring'	Swallowtail Aspen	BBB 6"m cal. 4.0m H.	Per Plan
Pinus nigra in flower	2	Pinus nigra	Black Pine	BBB 6"m cal. 1.5m cal.	Per Plan
Pinus sp.	1	Pinus sp.	Western Red Cedar	BBB 6"m H. Single leader	Per Plan
<b>TOTAL</b>	<b>14</b>				

**TREE LEGEND**

Trees added to hotel 2 for ESA tree removal compensation

**HOTEL 2 ADDITIONAL TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Starburst	3	Amor. caryocarpus 'Gold Rainier'	Red Tropic Maple	BBB 6"m cal. 1.5m cal.	Per Plan
Linden/Weinbe/Blehn	3	Fraxinus excelsior 'Winter Silhouette'	Winter Silhouette Swallowtail	BBB 6"m cal.	Per Plan
Maple tree in flower	3	Prunella tinctoria 'Spring'	Swallowtail Aspen	BBB 6"m cal. 4.0m H.	Per Plan
Pinus nigra in flower	1	Pinus nigra	Black Pine	BBB 6"m cal. 1.5m cal.	Per Plan
Pinus sp.	1	Pinus sp.	Western Red Cedar	BBB 6"m H. Single leader	Per Plan
<b>TOTAL</b>	<b>11</b>				

**9520 BECKWITH**

**TREE LEGEND**

Trees planting provided on existing DP for 9520 Beckwith Road

**TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
Starburst	3	Amor. caryocarpus	Red Tropic Maple	BBB 6"m cal. 1.5m cal.	Per Plan	
Linden/Weinbe/Blehn	3	Fraxinus excelsior 'Winter Silhouette'	Winter Silhouette Swallowtail	BBB 6"m cal.	Per Plan	
Maple tree in flower	6	Prunella tinctoria	Swallowtail Aspen	BBB 6"m cal. 4.0m H.	Per Plan	Consent to submit prior to approval per jurisdiction
Pinus nigra in flower	3	Pinus nigra	Black Pine	BBB 6"m cal. 1.5m cal.	Per Plan	
Pinus sp.	2	Pinus sp.	Western Red Cedar	BBB 6"m cal. 1.5m cal.	Per Plan	
<b>TOTAL</b>	<b>17</b>					

**TREE LEGEND**

Trees added to 9520 Beckwith Road for ESA tree removal compensation

**9520 ADDITIONAL TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
Starburst	2	Amor. caryocarpus 'Gold Rainier'	Red Tropic Maple	BBB 6"m cal. 1.5m cal.	Per Plan	
<b>TOTAL</b>	<b>2</b>					

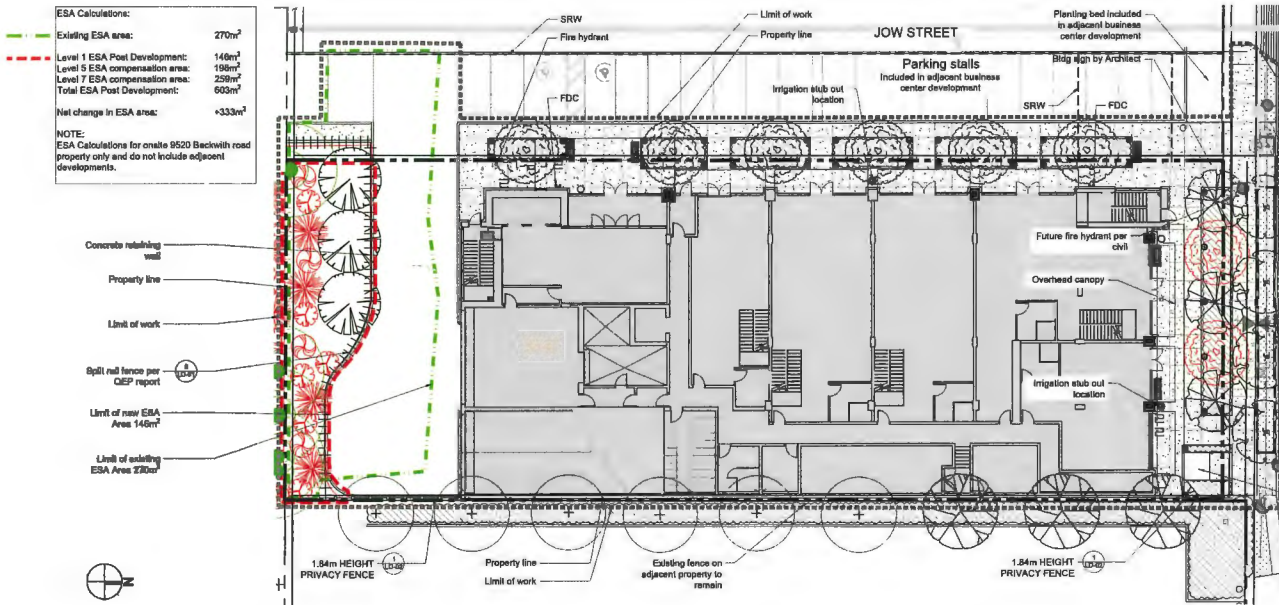
**TREE LEGEND**

Trees added to ESA for ESA tree removal compensation

**ESA TREE SCHEDULE**

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Starburst	30	Amor. caryocarpus	Red Tropic Maple	BBB 6"m cal.	Per Plan
Linden/Weinbe/Blehn	30	Fraxinus excelsior	Winter Silhouette Swallowtail	BBB 6"m cal.	Per Plan
Pinus nigra in flower	11	Pinus nigra	Black Pine	BBB 6"m cal. 1.5m cal.	Per Plan
<b>TOTAL</b>	<b>71</b>				

# GROUND LEVEL PLANTING

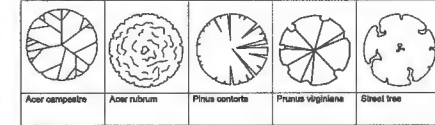


### TREE LEGEND



SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
(See Legend)	2	Acer rubrum	Red Maple	SAB; 10cm cal.; 1.8m std.	Per Plan	

### TREE LEGEND

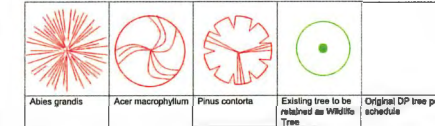


### TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
(See Legend)	3	Acer campestre	Winged Maple	SAB; 10cm cal.; 1.8m std.	Per Plan	
(See Legend)	5	Acer rubrum 'Red Rover'	Red Maple	SAB; 10cm cal.; 1.8m std.	Per Plan	
(See Legend)	3	Pinus contorta	Short Pine Sprockner	SAB; 4.0m cal.; Single leader	Per Plan	Contractor to submit photos for approval prior to installation
(See Legend)	3	Prunus virginiana	Choke Cherry	SAB; 10cm cal.; 1.8m std.	Per Plan	
(See Legend)	4	Street Tree		SAB; 7cm cal.; 1.8m std.	Per Plan	By city

### 9520 BECKWITH - ESA AREA

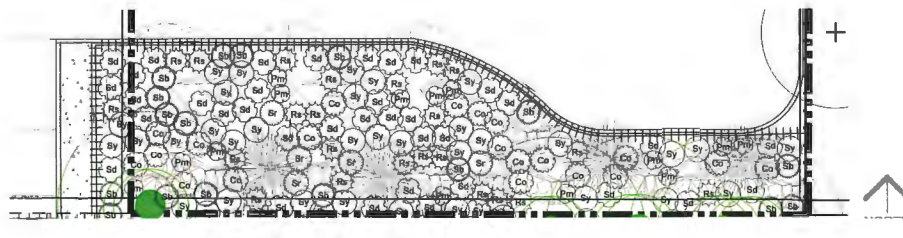
#### TREE LEGEND



### ESA TREE SCHEDULE - 9520 BECKWITH

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
(See Legend)	4	Abies grandis	Orange Spruce	SAB; 4.0m cal.	Per Plan
(See Legend)	4	Acer macrophyllum	Big Leaf Maple	SAB; 10cm cal.	Per Plan
(See Legend)	6	Pinus contorta	Short pine	SAB; 4.0m cal.	Per Plan

Ground Level Tree Planting Plan

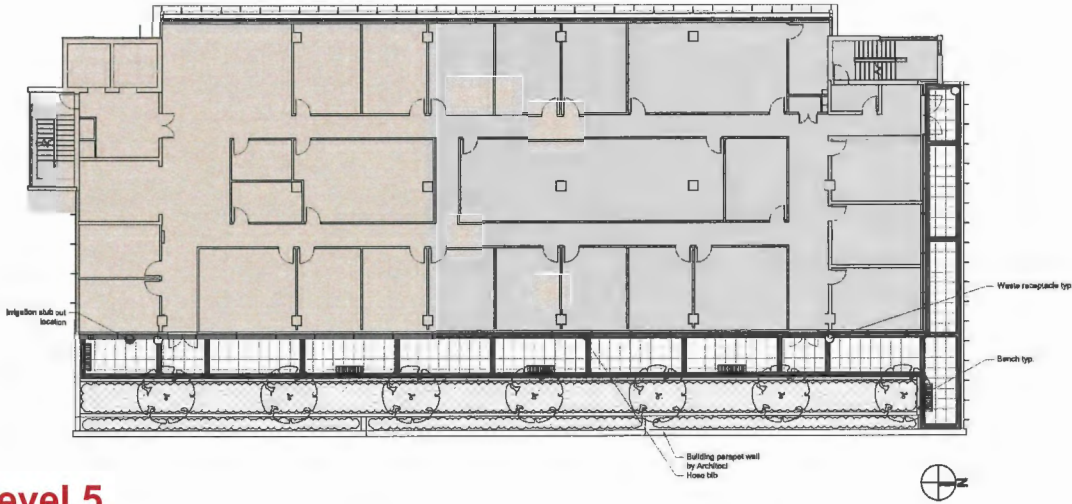


### PLANT SCHEDULE 9520 ESA

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Co	Cornus sericea / Red Twig Dogwood	#2 Pot	1m	20
Pm	Polygonum multiflorum / Western Sword Fern	#1 Pot	0.75m	14
Ra	Rubus spectabilis / Salmonberry	#2 Pot	1m	23
Sb	Salix trichocarpa / Blue Fox / Blue Fox Willow	#2 Pot	1m	17
Sr	Sambucus racemosa / Red Elderberry	#2 Pot	1m	5
Sd	Spirea douglasii / Western Spirea	#2 Pot	1m	36
Sy	Symphoricarpos albus / Common White Snowberry	#2 Pot	1m	37

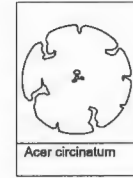
Ground Level ESA Shrub Planting Plan (South Edge)

# UPPER LEVEL ESA - TREES



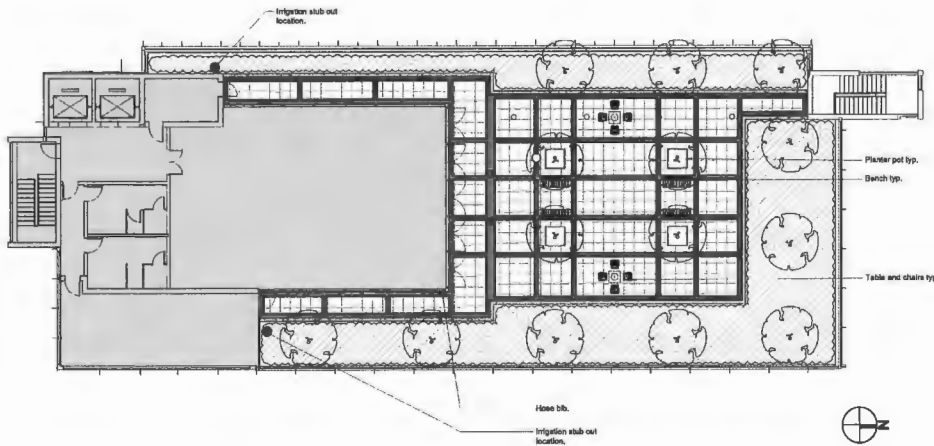
**Level 5**

## TREE LEGEND - LEVEL 5



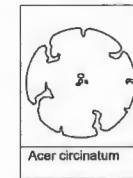
## TREE SCHEDULE - LEVEL 5

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	7	Acer circinatum	Vine Maple	B&B; 3.0m HL	Per Plan



**Level 7**

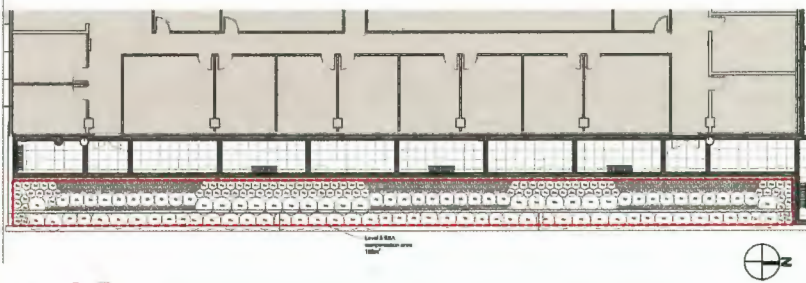
## TREE LEGEND - LEVEL 7



## TREE SCHEDULE - LEVEL 7

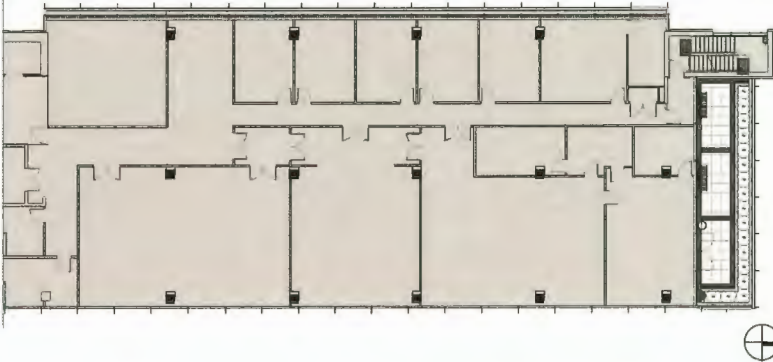
SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	14	Acer circinatum	Vine Maple	B&B; 3.0m HL	Per Plan

# UPPER LEVEL ESA - SHRUBS



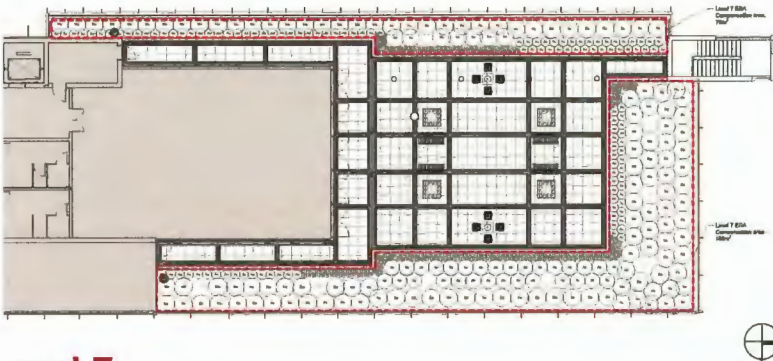
Level 5

PLANT SCHEDULE				
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	45	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	94	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	144	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
Ma	16	Mahonia aquifolium / Oregon Grape	#3	1,20m
Rs	33	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	198	Sedum spathulifolium 'Camea' / Broadleaf Stonecrop	#1	0,30m



Level 6

PLANT SCHEDULE				
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ab	17	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m



Level 7

PLANT SCHEDULE				
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	30	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	118	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	76	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
F	48	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0,30m
Ma	51	Mahonia aquifolium / Oregon Grape	#3	1,20m
Rs	56	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	181	Sedum spathulifolium 'Camea' / Broadleaf Stonecrop	#1	0,30m
Sa	25	Symphoricarpos albus / Common White Snowberry	#3	1,20m



**To:** Development Permit Panel  
**From:** Suzanne Smith  
Program Manager, Planning & Development  
**Date:** May 22, 2024  
**File:** DP 23-023854  
**Re:** **Application by HNP Architecture & Planning Inc. for a Development Permit at 6071 Azure Road**

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**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of a low-rise to mid-rise residential development comprising 330 residential units, including 50 low-end-of-rental (LEMR) units, 110 moderate-income rental units and 170 market rental units at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and
  - b) Reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.

A handwritten signature in black ink, appearing to read 'S. Smith'.

Suzanne Smith  
Program Manager, Planning and Development  
(604-276-4138)

SS:sb

Att. 2

## Staff Report

### Origin

HNSA Architecture & Planning Inc., on behalf of owner Sun Valley Rental Ltd. Inc. No. BC 0923745 (Directors: Yiwei Xuan, Hanping Xuan and Minrong Zhang), has applied to the City of Richmond for permission to develop a residential rental tenure low-rise to mid-rise development at 6071 Azure Road on a site zoned “Low to Mid Rise Apartment (ZLR45) – Thompson”.

The site is being rezoned from the “Low Density Townhouses (RTL1)” zone to the “Low to Mid Rise Apartment (ZLR45) – Thompson” zone for this project under Richmond Zoning Bylaw 8500, Amendment Bylaw 10406 (RZ 21-942276). The site is also subject to an associated amendment to the City’s Official Community Plan (OCP) City of Richmond 2041 OCP Land Use Map to change the designation of the subject site from “Neighbourhood Residential” to “Apartment Residential” under Official Community Plan Bylaw 9000, Amendment Bylaw 10407.

Highlights of the proposed development include:

- Redevelopment of an existing rental residential site with 330 residential rental units including 50 Low-End Market Rental (LEMR) units, 110 moderate-income rental units and 170 market rental units.
- Two four-storey apartment buildings located at the west and south edges of the subject site and one six-storey apartment building located in the northeast corner of the subject site. All three buildings are located over a single-level parking structure.
- A total floor area of approximately 24,371 m<sup>2</sup> (262,327 ft<sup>2</sup>) comprised of:
  - Approximately 4,486 m<sup>2</sup> (48,287 ft<sup>2</sup>) of LEMR housing units distributed over most floors of two buildings.
  - Approximately 5,946 m<sup>2</sup> (64,002 ft<sup>2</sup>) of moderate-income rental housing units provided over two buildings.
  - Approximately 13,942 m<sup>2</sup> (150,069 ft<sup>2</sup>) of market rental housing units and common circulation space provided over the three buildings.
- Additional approximately 510 m<sup>2</sup> (5,490 ft<sup>2</sup>) indoor amenity space provided over the three buildings.
- The developer intends to phase construction of the development. The first phase would consist of the southern building fronting Azure Road, the northwestern building fronting Westminster Highway and the parking structure. The second phase would consist of the northeastern building as shown in the DP plans. The first phase includes all of the LEMR units, 17 per cent of the moderate-income rental units and 49 per cent of the market rental units. The first phase includes residential amenity spaces in both buildings, which would be supplemented with amenity use of the rental management offices until the second phase is completed, which will be secured by legal agreement.

A Servicing Agreement is required as a condition of rezoning and includes, but is not limited to, Westminster Highway widening, Azure Road traffic calming, frontage improvements, sanitary sewer upgrades and utility connections.

## Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

## Background

Development surrounding the subject site is as follows:

- To the North: Across Westminster Highway, in the Oval Neighbourhood (City Centre) is the WorkSafe BC complex and a warehousing complex. The WorkSafe BC lot is zoned “Downtown Commercial (CDT1)” and is designated in the CCAP for high-rise residential, commercial, mixed-use and institutional development (Urban Core T6 (45m) and Institution). The warehousing lot is zoned “Industrial Business Park (IB1)” and is in an area designated in the CCAP for low-rise residential and limited commercial development (General Urban T4 (15m)).
- To the South: Across Azure Road, are single-detached homes on lots zoned “Single Detached (RS1/E)” and designated in the OCP for Neighbourhood Residential development. Further to the southeast are Brighthouse Neighbourhood School City Park and Samuel Brighthouse Elementary School.
- To the East: Across Azure Boulevard, is a three-storey rental apartment complex on a lot zoned “Medium Density Low Rise Apartments (RAM1)” and designated in the OCP for multi-family apartment development (Apartment Residential).
- To the West: Along the west edge of the site, are five adjacent single-detached homes fronting onto Azure Road and Camsell Crescent on lots zoned “Single Detached (RS1/E)” and designated in the OCP for Neighbourhood Residential development.

## Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on October 17, 2022. At the Public Hearing, the following architectural form and character concerns about rezoning the property were expressed by area residents:

- Loss of views and change in skyline.  
*The proposal includes four and six-storey buildings, which will introduce a varied roofline on the subject site and in the neighbourhood and provides for building height stepping down to interface with the adjacent single-detached home neighbourhood.*
- Tree removal.  
*Tree management was addressed in the rezoning staff report, including the removal of 45 existing bylaw-size trees on the subject site and the retention and protection of trees along the west property line. Three trees are being retained and the protection of all trees on the neighbouring properties to the west is required, including 33 trees located on the neighbouring adjacent properties to the west and 16 trees along the shared property line that are jointly owned with the neighbouring adjacent properties.*

- Privacy impacts.  
*Tree retention and protection of the neighbouring and jointly owned trees along the west property line, including a significant building setback, provides a significant buffer to the single-family lots to the west. The presence of setbacks, street frontages and roads to the north, east and south provide adequate buffer along the other site edges.*
- The provision of parking and concerns related to existing on-street parking, traffic congestion and safety.  
*The development proposal accommodates the anticipated needs for on-site resident and visitor vehicle parking and bicycle storage identified by the consultant transportation engineer in a parking study submitted in support of the development. The study includes the provision of Transportation Demand Management (TDM) measures to enhance use of transit, bicycle and car-share alternate modes of transportation.  
A construction traffic and parking management plan is required to be submitted to the City prior to construction. The Brighthouse Elementary School Principal will be consulted as part of the development and approval of the plan to ensure any specific concerns related to the school are considered.  
Traffic Bylaw 5870 restricts on-street parking to no more than three hours between 8:00 am and 6:00 pm (residents parking in front of their homes excluded). Should there be an issue, residents may contact Community Bylaws with concerns for enforcement of the bylaw. Staff was directed from the Planning Committee to explore a resident-only pilot parking project in the vicinity of the proposed development. Consultation was done with neighbourhood residents and a resident only pilot parking program has been initiated along Alta Court.*
- Construction noise impacts.  
*The developer is aware of and has committed to comply with the City's Good Neighbour Program. The developer is required to comply with the City's Noise Regulation Bylaw.*

### Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Low to Mid Rise Apartment (ZLR45) – Thompson" zone, except for the zoning variances noted below.

### Zoning Compliance/Variiances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut.  
*(Staff supports the requested variance as it allows for a development with 330 rental housing units to be constructed and the variance is limited to portions of the site adjacent to Westminster Highway. The variance results from a localized area of required road widening for a new bus stop and a full-width bike path and sidewalk behind the bus stop along Westminster Highway as well as a required corner cut at the corner of Westminster Highway and Azure Boulevard).*



- 2) Reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.  
*(Staff supports the requested variance in this neighbourhood with its unique parking concerns as the variance allows for the number of parking spaces to be maximized on a site that provides rental housing towards meeting community needs. A Transportation Engineer has confirmed that the manoeuvring aisle width is designed to accommodate small and regular sized vehicles manoeuvring into and out of the parking spaces. The owner is required to enter into a legal agreement prior to DP issuance advising tenants that the parkade design does not accommodate parking for vehicles larger than 5.5 m in length (e.g. larger pick up trucks). City transportation staff have reviewed the proposed variance and are in support).*

**Advisory Design Panel Comments**

The Advisory Design Panel was supportive of the application. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from February 22, 2024 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in *'bold italics'*.

**Analysis**

*Housing*

- The following table indicates the proposed unit mix of LEMR units to replace existing rental units, moderate-income rental units and market rental units, with the overall number of units remaining the same as noted at rezoning. Unit mix changes were made due to further design refinement and the requirement to comply with the minimum floor area within moderate-income rental units, the minimum number of market rental units, the maximum permitted floor area and the BC Building Code. The moderate-income rental unit mix includes one less one-bedroom unit and one additional three-bedroom unit. The market rental unit mix includes 15 additional studio units, 13 additional one-bedroom units, 39 fewer two-bedroom units and 11 fewer three-bedroom units. Despite these changes, the application complies with City policy with 46 per cent of the units being family-friendly with two to four bedrooms.

Unit Type	LEMR	Moderate-income Rental	Market Rental	Total
Studio	0% (0 units)	22% (24 units)	11% (19 units)	13% (43 units)
1-bedroom	8% (4 units)	56% (62 units)	41% (69 units)	41% (135 units)
2-bedroom	28% (14 units)	18% (20 units)	29% (49 units)	25% (83 units)
3-bedroom	58% (29 units)	4% (4 units)	19% (33 units)	20% (66 units)
4-bedroom	6% (3 units)	0% (0 units)	0% (0 units)	1% (3 units)
<b>Total</b>	<b>50 Units</b>	<b>110 Units</b>	<b>170 Units</b>	<b>330 Units</b>

- All of the units are rental and will be secured via Housing Agreements and bylaw secured through the rezoning which will come forward to Council for consideration prior to adoption.
- All of the proposed units are basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair.

These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City’s Zoning Bylaw, and are permitted a density exclusion of 1.86 m<sup>2</sup> (20 ft<sup>2</sup>) per unit.

- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

***Conditions of Adjacency***

- The massing of the development is broken down into three buildings arranged surrounding central open spaces, providing movement through the site and podium stair connections to Westminster Highway, Azure Boulevard and Azure Road along the west edge of the site.
- Tree retention and tree protection zone provide a landscape buffer that is fenced and gated along the west property line adjacent to neighbouring single-detached home properties.
- Long frontages are visually broken up with articulation provided with vertically stacked balconies and colour changes for visual interest and a more pedestrian-compatible scale and form.
- Podium-level units are proposed with raised semi-private balconies and grade change landscape buffer screening in terraced planters facing the Westminster Highway, Azure Boulevard and Azure Road fronting roads. The building lobbies are accessed from the fronting sidewalks.
- The site is subject to aircraft noise and the development is required to be designed and constructed to achieve OCP Aircraft Noise Sensitive Development policy indoor noise level and thermal comfort standards as secured through the rezoning. As part of the Building Permit application process, the applicant is required to provide acoustical and thermal reports and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City’s Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

***Urban Design and Site Planning***

- The proposed building height is six-storeys at the northeastern portion of the site and fronting onto Westminster Highway and Azure Boulevard, and steps down in height to four-storeys toward Azure Road and the single-detached homes to the south, and four-storeys in the

northwestern portion of the site and the single-detached homes to the west.

This provides for transition in building form and density across the site stepping down toward the single detached housing areas.

- The buildings are arranged surrounding podium-level central open space and on top of a shared enclosed one-level parking structure which accommodates shared outdoor amenity space, semi-private decks and pedestrian access to all buildings, central indoor amenity area and stair connections to Westminster Highway, Azure Boulevard and Azure Road.
- Vehicle access to the one-level parking structure and loading area will be provided from Azure Boulevard on the east side of the site. Garbage/recycling storage is located inside the parking structure and collection will be accommodated from the open loading area.
- A six-storey building anchors the intersection of Westminster Highway and Azure Boulevard.
- The southern building has an entry lobby facing the public sidewalk on Azure Road. The northwestern building has an entry lobby facing the public sidewalk on Westminster Highway. The northeastern building has an entry lobby facing the public sidewalk on Azure Boulevard.
- Indoor amenity space proposed in this development exceeds Official Community Plan (OCP) requirements. Approximately 510 m<sup>2</sup> (5,490 ft<sup>2</sup>) of indoor amenity space is provided for the shared use of all residents in the development primarily in a central location of the main floor of the northeastern building and additional indoor amenity space is provided on the main floor of the northwestern building and the southern building and in the lobbies of all three buildings.
- Outdoor amenity space proposed in this development exceeds Official Community Plan (OCP) requirements. Approximately 3,565 m<sup>2</sup> (38,373 ft<sup>2</sup>) of outdoor amenity space is provided for the shared use of all residents in the development and is located in the central courtyard and the fifth-level of the northeastern building. Further details are provided in the Landscape Design and Open Space Design section of this report.
- The proposed development meets the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood plain indemnity covenant on Title was secured through the rezoning.

### ***Architectural Form and Character***

- The project proposes a contemporary architectural style. Articulation is provided through vertical balcony stacks and framing elements separating different materials and colours. A projecting framing element addresses the Westminster Highway and Azure Boulevard intersection. The scale of the building design elements on the low-rise and mid-rise buildings is pedestrian-friendly and provides visual interest.
- The exterior cladding is a combination of fibre cement panel with metal trim, fibre cement horizontal plank cladding, architectural concrete, metal and glass guardrails materials.
- Entry lobbies are identified with columns and covered areas framing entries with clear-glazing and generous interiors.
- The colour palette of white, dark red, dark yellow and dark blue with accents of medium grey, wood-tone and wood-tone soffit provides visual interest.

### ***Transportation***

- One vehicle access will be provided off Azure Boulevard, providing access to the parking structure and adjacent loading area for residents and garbage/recycling collection.
- The proposed number of parking spaces is consistent with the Richmond Zoning Bylaw parking requirements, subject to the provision of the Transportation Demand Management measures (TDMs) secured through the rezoning, including:
  - Transit Pass Program with monthly bus pass (two-zone) offered to 100 per cent of the rental housing units (330 units) for a period of one year.
  - Additional Class 1 Bicycle Parking – provision of Class 1 bicycle spaces at the rate of two spaces for each rental housing unit (instead of 1.25 spaces per housing unit). Bike storage rooms will have outlets for bicycle charging.
  - E-bike and e-scooter storage area.
  - Bicycle Maintenance Facility - provision of a bicycle maintenance room for shared use by all residents, including a bike stand, repair tools and bike washing area.
  - Car-share parking – provision of two car-share parking spaces (equipped with quick charge 240V electric vehicle charging stations).
- The proposed number of bicycle storage spaces is consistent with Richmond Zoning Bylaw requirements.
  - There is a total of 660 Class 1 bicycle storage spaces provided in the parking structure.
  - There is a total of 67 Class 2 bicycle storage spaces provided outside the Westminster Highway, Azure Boulevard and Azure Road building entry lobbies and near the parking structure entry.

### ***Tree Management***

- Tree management was addressed at rezoning. There are 45 existing trees being removed from the development site. Existing trees are required to be protected including three trees on the subject site, 33 trees located on the neighbouring adjacent properties to the west and 16 trees along the shared property line that are jointly owned with the neighbouring adjacent properties.
- Based on City policy of a 2:1 ratio of tree replacement 90 replacement trees were required through rezoning. Through the Development Permit the applicant proposes to plant 154 new trees.
- To ensure the protection of the three trees on site, the applicant is to enter into a tree survival agreement and provision of a \$35,000.00 tree survival security, as was secured through the rezoning.
- To ensure the protection of the existing trees on the adjacent properties to the west, the provision of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones was secured through the rezoning.

### ***Landscape Design and Open Space Design***

- Along Westminster Highway, Azure Boulevard and Azure Road, raised semi-private patios are buffered with planting in tiered planters.
- Along the west edge of the subject site, a fenced and gated tree protection area is planted with grass under the existing trees being retained and protected.

- Class 2 bicycle racks are located at grade around the perimeter of the site in close proximity to two of the building entry lobbies and the parking structure entry.
- Outdoor amenity space is provided on the parkade structure podium and at the fifth-floor level of the northeastern building for the shared use of all residents in the development. A variety of tables and seating areas are provided, as well as a BBQ area. Exercise areas are provided. Shrub and tree planting is provided throughout the central courtyard and provides screening along the edges of the courtyard to surrounding semi-private patios.
- The outdoor amenity space at the fifth-floor level of the northeastern building is for urban agriculture use as secured at rezoning. Two additional urban agriculture planter areas are provided in the podium-level outdoor amenity area.
- Children's play is accommodated in the podium-level outdoor amenity space with five play structures, open lawn areas as well as exercise deck areas. The children's play structures accommodate climbing, sliding and spring movement and social and imaginative play activities.
- The plant palette selection includes native and non-native, deciduous and coniferous species with a variety of textures and colours, providing all-season interest. The landscape design includes planting of 154 trees of fourteen species, including coniferous species of cedar, pine and spruce, and deciduous species of flowering cherry, katsura, magnolia, maple and oak. In addition, fruit bearing tree species of crabapple and serviceberry are proposed.
- Lighting details are included in the landscape DP plans. Downward focussed wall and stair mounted lighting and bollard lighting will be provided throughout the podium-level and fifth-floor level outdoor amenity spaces.
- An on-site automatic irrigation system will be provided for all planted areas.
- To ensure the provision of landscaping, a legal agreement and associated landscape security in the amount of \$1,328,911.65 is required prior to Development Permit issuance.

### ***Crime Prevention Through Environmental Design***

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, and resident private/semi-private areas are designed to be well-defined by soft landscaping to clearly delineate boundaries of uses.
- The entry lobbies are designed with a high level of visibility from the fronting sidewalks.
- The parkade entry (overhead gate) is designed with clear sight lines.
- Views from interior spaces provide passive surveillance opportunities to outdoor amenity areas, patios and west side yard. Views from upper units provide passive surveillance opportunities of public sidewalks.

### ***Sustainability and Renewable Energy***

- The developer has committed to design the subject development to meet the City's application Step Code requirement of Step 3 with a privately owned low-carbon energy system.
- The development is being designed and constructed to connect to a District Energy Utility for domestic hot water heating when one is available, as secured at rezoning.

- The project includes planting on the parking podium, reducing urban heat island effect and improving air quality.

**Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

*Sara Badyal*

Sara Badyal  
Planner 3  
(604-276-4282)

SB:js

- Att. 1: Development Application Data Sheet  
2: Advisory Design Panel Minutes (Annotated Excerpt from February 22, 2024)

The following are to be met prior to forwarding this application to Council for approval:

1. (DP Panel Notification Fee) Payment of all fees in full for the cost associated with the Development Permit Panel Notices, consistent with the City’s Consolidated Fees Bylaw No 8636, as amended.
2. (Landscape Security) Entering into a legal agreement and submission of a landscaping security in the amount of \$1,328,911.65.
3. (Phasing Agreement) Entering into a legal agreement ensuring that any phasing of the development includes in the first phase the provision of all of the LEMR units and the use of the rental management offices for shared indoor amenity space use by the residents until the second phase is completed to ensure at least 100 m<sup>2</sup> of indoor amenity space is provided in each building.
4. (Parking Agreement) Entering into a legal agreement registered on Title requiring the owner to advise potential tenants and include in any rental agreements notification that the parkade design does not accommodate parking for vehicles larger than 5.5 m in length (e.g. larger pickup trucks).

Prior to future Building Permit issuance, the developer is required to complete the following:

- (Rezoning/Development Permit requirements) Compliance with legal agreements secured via the Rezoning and/or Development Permit processes.
- (Accessibility Measures) Incorporation of accessibility measures in Building Permit as determined via the Rezoning and/or Development Permit processes.
- (Aircraft Noise) Provision of and compliance with complete acoustical and thermal reports and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- (Construction Hoarding) The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- (Construction Traffic and Parking Management) Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- (Latecomer) If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 23-023854		Attachment 1	
Address	6071 Azure Road		
Applicant	HNPA Architecture & Planning Inc.		
Owner	Sun Valley Rental Ltd., Inc. No. BC0923745		
Planning Area(s)	Thompson		
	<b>Existing</b>	<b>Proposed</b>	
Site Area	12, 005 m <sup>2</sup>	11,606.6 m <sup>2</sup>	
Land Uses	Multiple Family Residential	Multiple Family Residential	
OCP Designation	Apartment Residential	Complies	
Zoning	Low to Mid Rise Apartment (ZLR45) – Thompson	Requested variances noted below	
Number of Units:	50 market rental units	50 LEMR units 110 moderate income rental units 170 market rental units	
	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Floor Area Ratio	Max. 2.1 (24,373.9 m <sup>2</sup> )	2.1 (24,371 m <sup>2</sup> )	None permitted
Lot Coverage	Max. 90%	50%	None
Setbacks <b>Westminster Highway</b> Azure Boulevard Azure Road Interior Side Yard	<b>Min. 4.5 m</b> Min. 4.5 m Min. 4.5 m Min. 4.5 m	<b>Min. 4.14 m to 4.5 m</b> 4.5 m 4.5 m 4.5 m to 7 m	<b>Reductions of 0.36 m at corner cut and 0.15 m at bus stop</b>
Building Height	Max. 25 m	24 m	None
Lot Size	10,000 m <sup>2</sup> Width: 80 m Depth: 100 m	11,606 m <sup>2</sup> Width: Approx. 93 m Depth: Approx. 117 m	None
Parking Space rates	272 with TDMs LEMR: 30 Moderate Income Rental: 66 Market Rental: 123 Visitor: 53 including 2 car-share	275 with TDMs LEMR: 30 Moderate Income Rental: 66 Market Rental: 126 Visitor: 53 including 2 car-share	None
Accessible Parking Spaces	Min. 2%	2%	None
Small Car Parking Spaces	Max. 50%	50%	None
Tandem Parking Spaces	Not Permitted	None	None
Loading Spaces	2 medium	2 medium	None
Bicycle Storage	Class 1: 660 (TDM) Class 2: 66	Class 1: 660 (TDM) Class 2: 67	None
EV (Energized) Car Charging	100% resident parking spaces 100% car share parking spaces	100% resident parking spaces 100% car share parking spaces	None
Amenity Space – Indoor	Min. 300 m <sup>2</sup>	510 m <sup>2</sup>	None
Amenity Space – Outdoor	Min. 1,980 m <sup>2</sup>	3,565 m <sup>2</sup>	None



**Annotated Excerpt from the Minutes from  
Advisory Design Panel Meeting**

**Wednesday, February 22, 2024 – 4:00 p.m.  
Remote (Webex) Meeting**

**Panel Discussion**

*Comments from Panel members were as follows:*

- The western edge of the site should be considered from a CPTED perspective; clarify the nature of proposed lighting on the ground level and ensure that it will not impact the livability of apartment units above – ***CPTED addressed with fencing and locked gate accesses provided at both ends of west yard for resident access only. Lighting details are shown on the landscape DP plans.***
- Consider further articulation to the corner treatment of the building at the intersection of Westminster Highway and Azure Boulevard as it is a prominent corner; the location of the double height space at the building entry near the corner helps; however, further articulation to the corner would provide visual interest to motorists and pedestrians passing by – ***Design improved with added windows and design refinement.***
- Appreciate that the proposed development will provide 100 percent rental housing units – ***Noted.***
- Appreciate the provision of safe common outdoor amenity spaces for families with children – ***Noted.***
- Investigate opportunities for utilizing at least portions of roof spaces for usable common outdoor spaces, e.g. incorporating urban agriculture as opposed to full green roof – ***Urban agriculture is provided at the fifth-floor level and shared outdoor amenity space is provided at podium-level. The upper building rooftops will be treated with standard roofing materials and will not be treated with green roof or water retention blue roof.***
- Appreciate the project’s accessibility strategy as presented by the applicant – ***Noted.***
- Consider locating the intercom for access to the parkade on the driver’s side to enhance the accessibility of the parkade to drivers with disabilities – ***Incorporated.***
- The project is well considered; appreciate the green separation between the residential units and garden spaces in the courtyard on the parkade roof; also appreciate the landscaping on the southwest corner to create a public space; consider a similar approach to the northeast corner of the subject site – ***Considered. A landscaped area with planting and seating is provided at the intersection of Azure Road and Azure Boulevard and seating is provided on Westminster Highway.***
- Consider introducing landscape elements to soften the long planters along Westminster Highway that are usable to the public – ***Addressed above.***
- Consider relocating the proposed urban agriculture areas, the southeast corner will be shaded and will not thrive; a similar condition exists for another urban agriculture on the parkade roof due to the Katsura trees planted on the east side; consider relocating or installing a different tree species to allow more sunlight exposure into this area – ***Urban agriculture***

*planters are provided at the fifth floor level of the northeastern building. This south facing raised area will benefit from sunlight exposure.*

- The proposed play equipment for the children's play area may not provide adequate play opportunities for different age groups of children considering the size of the project; consider adding another separate location for the children's play area, which would also manage the noise and occupancy of each play area – ***Design improved. Children's play area redesigned to include greater concentration of play elements for multiple age groups as well as an adjacent area of flexible use lawn space with seating opportunities for passive observation included adjacent.***
- The rendering on the courtyard on the parkade roof on page 18 of the package would look more inviting if it included the landscape – ***Noted.***
- The loading bay adjacent to the parking ramp is exposed; consider installing a green buffer to screen the loading bay – ***Design improved with landscape screening along south edge of loading area and fencing along east and south edges.***
- Consider installing planters on the hardscape along the perimeter of the outdoor amenity space on the rooftop deck at the 5th floor level of the middle building to soften the perimeter – ***Considered. This area is required for urban agriculture.***
- Consider installing a hedge or taller planting on the sidewalk level to mitigate the hardscape feel of the retaining wall planters – ***Incorporated.***
- The project is well thought out – ***Noted.***
- The Pinus ponderosa trees proposed to be planted in the courtyard on the parkade roof between Building A and Building B will grow into large trees; consider species and ensure adequate soil volume for the planters – ***Design improved with deciduous species with lighter canopies to maximize daylight gain to podium level internal patios.***
- Ensure that the proposed urban agriculture on the 5th floor rooftop deck should be accessible to people using walkers and in wheelchairs and should be provided full irrigation – ***Accessible planters at 0.45 m height are provided with irrigation.***
- The proposed urban agriculture on the main level will be in shade; consider moving some of the urban agriculture up to the open lawn area or the raised amenity area and utilize the side areas as gathering places – ***Addressed above.***
- The proposed play feature appears blocky and sparse with a large safety zone around it; consider an alternate play feature that has more of a flow through – ***Addressed above.***
- Appreciate the provision of green and permeable spaces in the proposed development; however, the applicant is encouraged to further enhance the project's stormwater management through installing blue/green roofs on Buildings A, B and C – ***Addressed above.***
- Appreciate the applicant's presentation and package provided to the Panel – ***Noted.***
- Support the Panel comment to provide more architectural interest to the building corner at the key intersection of Westminster Highway and Azure Boulevard – ***Addressed above.***
- The length of the massing along Azure Road is long; consider further articulation to the entry area to help provide greater differentiation along the long façade – ***Design improved, elevation broken down with massing articulation, materials and colour.***
- There is a significant grade change along Azure Road and Westminster Highway; investigate further opportunities for planting to screen and soften the exposed concrete retaining walls; review the proposed planting materials to increase the height and density of planting; further treatment to the concrete retaining walls would generate pedestrian interest – ***Design improved. Multiple levels of planters provided at streetscape to soften the building base,***

*planted with larger shrub planting at wall faces and soil sloped at maximum 1:2.5 to provide additional screening.*

- The western edge of the site is challenging from a CPTED perspective; also look at the relationship of this edge with the adjacent blank parkade wall; investigate opportunities to soften the blank wall appearance – *Addressed above.*
- The lobby entries and the area adjacent to the stair access to the courtyard are congested with bicycle parking; consider distributing bicycle parking around the subject site – *Incorporated.*
- Clarify the intent of the exercise patio space in the central courtyard as there are differences in the renderings and landscape drawings; also consider installing additional planting in the space to soften the transition to the adjacent pathway – *Exercise patio is located at upper slab area with direct connection to east and west courtyard spaces. Stepped access and landscaped planters provide increased separation from circulation pathway to south.*
- The connection of the amenity space to the public realm is tenuous due to its location on the corner; consider swapping it with the unit to the south to create more direct access; investigate opportunities to configure the relationship of the amenity space to the courtyard through the patio zone in a more inviting way that does not look like one of the other private patios – *Considered. Indoor amenity space is centrally located in the development.*
- In general, the architectural expression is reasonable; clarify if the hardie panel is meant to be provided with metal trims or shadow gap – *Metal trims will be provided.*
- Support the proposed colour palette – *Noted.*
- Consider introducing architectural treatment around the parkade walls to provide pedestrian interest – *Considered. Pedestrian interest provided with planting in multiple levels of planters.*
- Look at the CPTED issue under the staircase at Azure Boulevard; consider integrating with the podium mass to help resolve the covered space under the staircase – *Incorporated.*
- The garbage area is exposed; consider screening the area with architectural and landscape elements to mitigate its visibility – *Addressed above.*
- Appreciate that all residential units are Basic Universal Housing (BUH) units – *Noted.*
- Note that BCBC accessibility requirements have been changed; review the accessibility features in the project, e.g. size of turning radius – *Noted.*
- Pedestrian pathways from the elevator to the central courtyard are sometimes circuitous for people in wheelchairs; investigate opportunities for providing more direct routes to encourage residents to use the central courtyard for recreational and social gathering space – *Sloped access provided to all areas of amenity courtyard including raised lawn space to eastern courtyard.*

### **Panel Decision**

It was moved and seconded

*That DP 23-023854 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**



No. DP 23-023854

To the Holder: HNSA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

Property Address: 6071 Azure Road

Address: Jun Nan  
c/o HNSA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce the minimum setback from Westminster Highway from 4.5 m to 4.35 m behind the bus stop and 4.14 m at the Westminster Highway and Azure Boulevard corner cut; and
  - b) Reduce the minimum manoeuvring aisle width from 6.7 m to 6.1 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #40 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,328,911.65. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 23-023854**

To the Holder: HNPA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

Property Address: 6071 Azure Road

Address: Jun Nan  
c/o HNPA Architecture & Planning Inc.  
2983 41st Avenue  
Vancouver, BC V6N 3C8

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

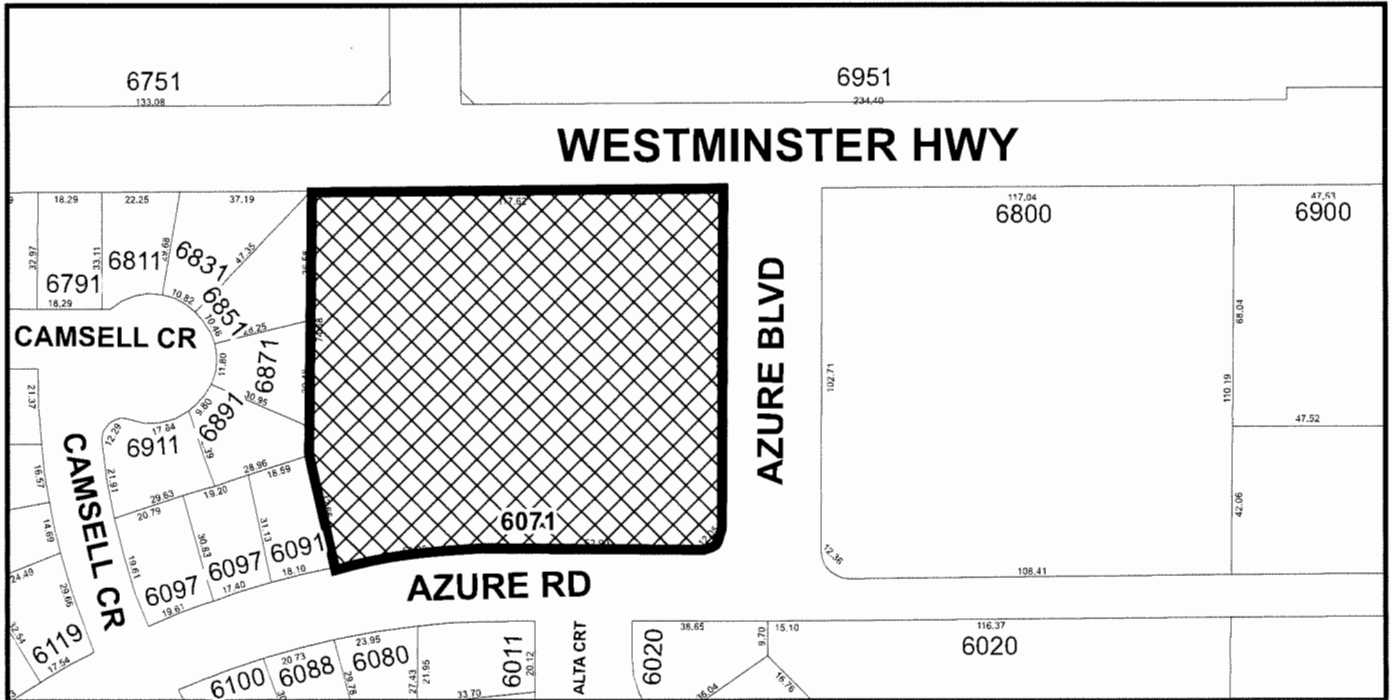
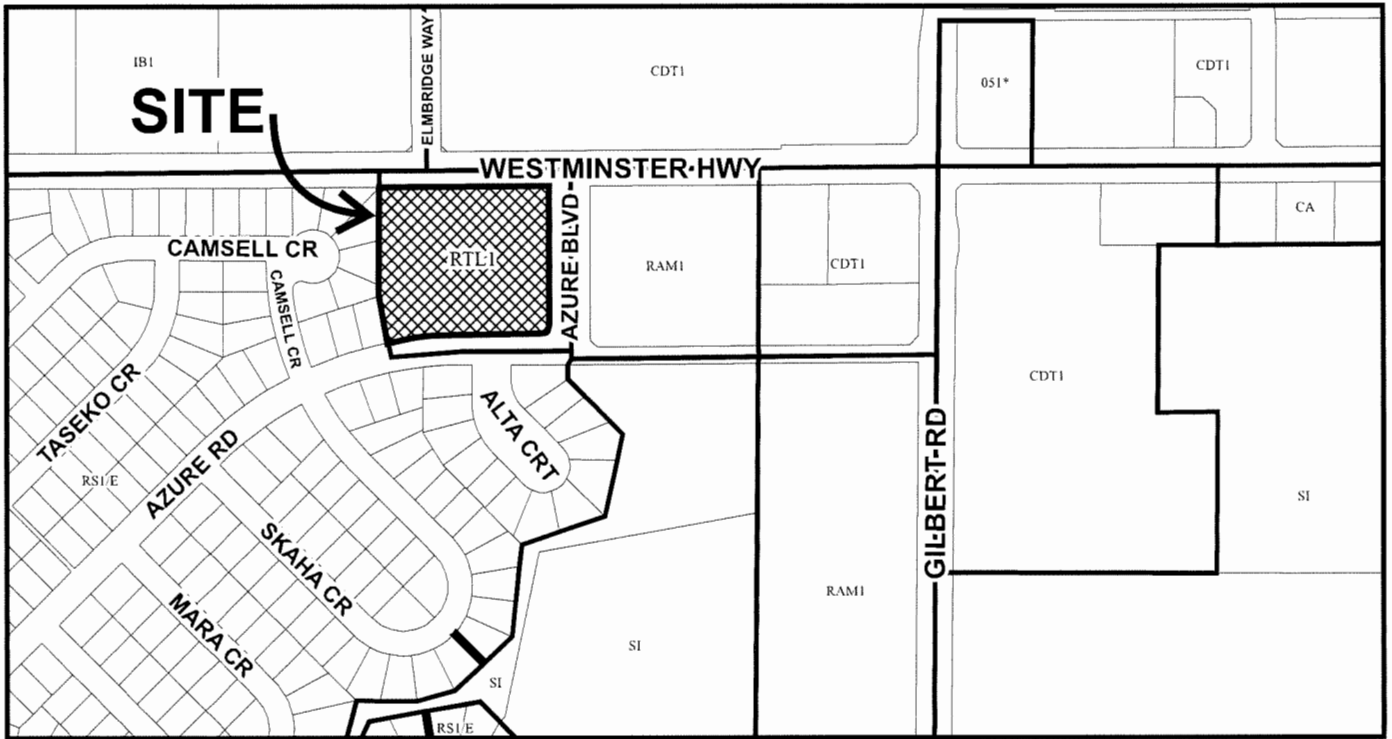
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

DELIVERED THIS DAY OF , .

\_\_\_\_\_  
MAYOR



# City of Richmond



	<h2>DP 23-023854 SCHEDULE "A"</h2>	<p>Original Date: 08/24/23          Revision Date:          Note: Dimensions are in METRES</p>
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# 6071 AZURE ROAD

## DEVELOPMENT PERMIT APPLICATION

### PROJECT SITE INFORMATION

**CIVIC ADDRESS**

6071 AZURE ROAD, RICHMOND, BC, V7C 2P3

**LEGAL DESCRIPTION**

LOT 592 SEC 7 BLK 4N RG 6W PL NWP25611 LOT 592, BLOCK 4N, PLAN NWP25611, SECTION 7, RANGE 6W, NEW WESTMINSTER LAND DISTRICT

**SITE AREA**

BEFORE DEDICATION: 12,005 SQ.M ( 129,221 SQ.FT.)  
AFTER DEDICATION: 11,606 SQ.M (124,933 SQ.FT)

**Notes:**

- 100% rental development, 50 LEMR units, 110 Moderate Income Rental units, 170 Market Rental units
- All units to comply with Zoning Bylaw BUH features
- All units to feature aging-in-place features (lever type plumbing and door handles, solid wall blocking for future grab bar installation at all toilets, showers and bath tubs.
- Variance to Westminster Highway setbacks - Min. 4.35 m setback behind bus stop and Min. 4.14 m at corner cut
- Variance - Min. 6.1 m manoeuvring aisle width in parkade
- Automatic irrigation system for all planted areas
- 2 car-share parking spaces
- No large vehicle parking in parkade (e.g. large pick up trucks)
- Off-site works via separate Servicing Agreement

Proposed FAR : 2.1 FAR

**PROJECT UNITS**

Building A	56 Units
Building B	177 Units
Building C	97 Units

**INDOOR AMENITY**

2.00 Sq.m per unit	300 sq.m. Req'd	510 sq.m. - Proposed
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**OUTDOOR AMENITY**

5.95 Sq.m per unit	1,980 sq.m. Req'd	3,565 sq.m. - Proposed
West Side-yard outdoor open space:		360 sq.m

**PARKING**

Total Required	272 Car stalls
Total Provided	275 Car stalls

**LOADING**

Total Required	1 Loading stall
Total Provided	2 Loading stalls

**BIKE STALLS**

Total Required	660 class 1 bikes	66 class 2 bikes
Total Provided	660 class 1 bikes	67 class 2 bikes

**SETBACKS**

	Required	Proposed
Front Yard - North PL : at Westminter highway	14.76 FT (4.50 m) to new PL	15 FT (4.57 m)
Side Yard - East PL : at Azure Blvd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)
Side Yard - West PL : at Neighbour	14.76 FT (4.50 m) to PL	23 FT (7.01 m)
Rear Yard - South PL : at Azure Rd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)

**SETBACKS VARIANCES**

	Required	Proposed
1- Front Yard - North PL : at Westminter highway (BEHIND BUS STOP)	14.76 FT (4.50 m) to new PL	14.27 FT (4.35 m)
2- Front Yard - North PL : at Westminter highway (AT NORTH-EAST CORNER)	14.76 FT (4.50 m) to new PL	13.58 FT (4.14 m)

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#### RICHMOND APARTMENT

Sheet Number	Sheet Title
A1.0	COVER SHEET
A1.1	STATISTICS- OVERALL&PARKING
A1.2	STATISTICS BUILDING A
A1.3	STATISTICS BUILDING B
A1.4	STATISTICS BUILDING C
A1.5	EXISTING PLAN
PH-00	PHASING- STATISTIC
PH-01	PHASING PLAN-SITE PLAN
A2.0	SITE PLAN
A2.1	PARKADE FLOOR PLAN
A2.2	MAIN PLAZA FLOOR PLAN
A2.3	2ND FLOOR PLAN
A2.4	3RD FLOOR PLAN
A2.5	4TH FLOOR PLAN
A2.6	5TH FLOOR PLAN
A2.7	6TH FLOOR PLAN
A2.8	ROOF FLOOR PLAN
A2.9	ACCESSIBILITY PATHWAYS
A3.0A	MATERIAL BOARD
A3.0	NORTH-SOUTH ELEVATIONS
A3.1	EAST-WEST ELEVATIONS
A3.2	SITE SECTION 1
A3.3	SITE SECTION 2
A5.0	PARKADE AREA OVERLAY
A5.1	FIRST FLOOR AREA OVERLAY
A5.2	SECOND FLOOR AREA OVERLAY
A5.3	THIRD FLOOR AREA OVERLAY
A5.4	FOURTH FLOOR AREA OVERLAY
A5.5	FIFTH FLOOR AREA OVERLAY
A5.6	SIXTH FLOOR AREA OVERLAY

#### BUILDING A

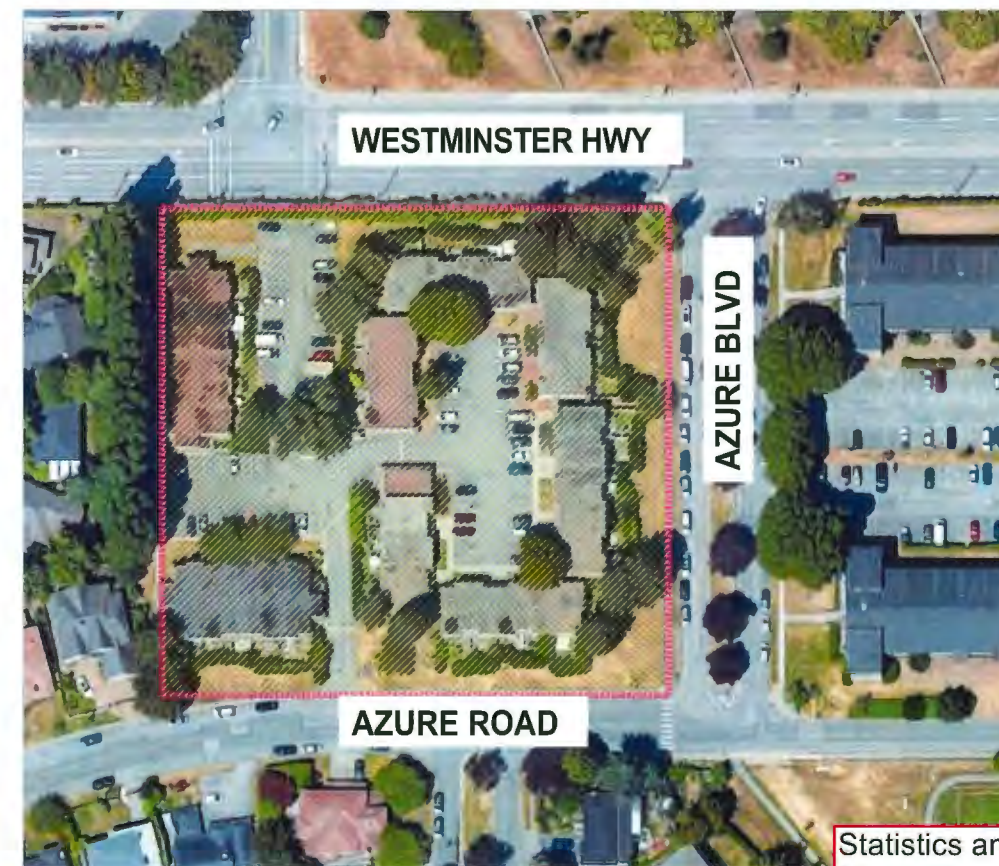
Sheet Number	Sheet Title
A-A1	1ST&2ND FLOOR PLAN BLDG A
A-A2	3RD&4TH FLOOR PLAN BLDG A
A-A3	ROOF FLOOR PLAN BLDG A
A-A4	ELEVATIONS BLDG A
A-A5	SECTIONS BLDG A

#### BUILDING B

Sheet Number	Sheet Title
A-B1	1ST FLOOR PLAN BLDG B
A-B2	2ND FLOOR PLAN BLDG B
A-B3	3RD FLOOR PLAN BLDG B
A-B4	4TH FLOOR PLAN BLDG B
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A-B8	NORTH-SOUTH ELEVATION BLDG B
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A-B10	SECTIONS 1,2 BLDG B
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#### BUILDING C

Sheet Number	Sheet Title
A-C1	1ST & 2ND FLOOR PLAN BLDG C
A-C2	3RD & 4TH FLOOR PLAN BLDG C
A-C3	ROOF FLOOR PLAN
A-C4	BLDG C ELEVATIONS
A-C5	SECTIONS BUILDING C



Statistics and Notes Sheet

CONSULTANTS
RICHMOND APARTMENT
6071 AZURE ROAD RICHMOND, BC.

DP 23-023854  
May 22, 2024  
DP Plan # 1

PROJECT NO.	2311
CDR FILE	2023-05-22-02-023854-01-ALL CORR
DATE	23
CDR BY	JH
CHECKED	
DATE	
DESCRIPTION	
SHEET TITLE	COVER SHEET
SHEET	A1.0
OF	

# STATISTICS: Summary - Overall & Parking

## Richmond Project- Multi family Residential Development



FAR	
AREA CALCULATIONS	
GROSS SITE AREA	12,005 m2 (129,221 SQ.FT.)
DEDICATION	
NET SITE AREA	11,606 m2(124,933 SQ.FT)
FAR	2.1
SITE COVERAGE	48.97%
AVERAGE FINISHED GRADE	1.22M

RENTAL UNIT TYPES CALCULATION							
Total Unit	LEMR		HILS		Market Rental		TOTAL
	Count	Percentage	Count	Percentage	Count	Percentage	
STUDIO	0	0%	24	22%	19	11%	43
1 BEDROOM	4	8%	62	56%	69	41%	135
2 BEDROOM	14	28%	20	18%	49	29%	83
3 BEDROOM	29	58%	4	4%	33	19%	66
4 BEDROOM	3	6%	0	0%	0	0%	3
<b>BUH Unit</b>	<b>50</b>	<b>100%</b>	<b>110</b>	<b>100%</b>	<b>170</b>	<b>100%</b>	

BUILDING AREA CALCULATION																								
LEVEL	BUILDING A (SQ.M.)								BUILDING B (SQ.M.)								BUILDING C (SQ.M.)							
	LEMR Units Floor Area	HILS Units Floor Area	Market Rental Floor Area	Common Area	Amenity Floor Area	Area Included From FSR	Area Excluded From FSR	Subtotal	LEMR Units Floor Area	HILS Units Floor Area	Market Rental Floor Area	Common Area	Amenity Floor Area	Area Included From FSR	Area Excluded From FSR	Subtotal	LEMR Units Floor Area	HILS Units Floor Area	Market Rental Floor Area	Common Area	Amenity Floor Area	Area Included From FSR	Area Excluded From FSR	Subtotal
PARKING					7								7											
LEVEL 1	1,091	0	0	250	1,341		75		0	156	1,312	478	1,946	348		104	1,924	0	0	293	2,217		68	72
LEVEL 2	823	366	74	119	1,382		46			1,196	831	236	2,263		94	169	0	758	154	1,080				49
LEVEL 3	479	582	201	119	1,382		46			814	1,213	236	2,263		94	0	0	1,594	154	1,748				49
LEVEL 4		530	733	119	1,382		46			814	1,213	236	2,263		94		0	1,594	154	1,748				49
LEVEL 5										767	738	178	1,683		72									
LEVEL 6										721	773	179	1,673		76									
<b>Total</b>	<b>2,394</b>	<b>1,479</b>	<b>1,008</b>	<b>608</b>	<b>5,489</b>	<b>77</b>	<b>213</b>	<b>0</b>	<b>4,467</b>	<b>6,081</b>	<b>1,543</b>	<b>12,091</b>	<b>355</b>	<b>536</b>	<b>2,093</b>	<b>0</b>	<b>3,946</b>	<b>755</b>	<b>6,794</b>	<b>78</b>	<b>219</b>	<b>219</b>		

FAR CALCULATION		
Rental Type	Total Floor Area (SQ.M.)	FAR
LEMR Units	4,487	0.39
HILS Units	5,946	0.51
Market Rental	11,034	0.95
Common Area	2,906	0.25
<b>Total</b>	<b>24,373</b>	<b>2.1</b>

AMENITY SPACE CALCULATIONS			
		AREA REQUIRED (Sq.m)	AREA PROVIDED (Sq.m.)
INDOOR	21.5 sq.ft per Unit (2.0 sq.m per Unit)	300	510
OUTDOOR	5.95 sm/64 sq.ft per Unit	1,980	Total: 3,565 sq.m
			(1st floor: 3015sq.m + 5th Floor: 550 sq.m)

RESIDENTIAL UNIT CALCULATION			
LEVEL	BUILDING A	BUILDING B	BUILDING C
PARKING			
LEVEL 1	11	17	22
LEVEL 2	15	34	17
LEVEL 3	15	34	29
LEVEL 4	15	34	29
LEVEL 5	-	29	-
LEVEL 6	-	29	-
<b>SUBTOTAL</b>	<b>56</b>	<b>177</b>	<b>97</b>
<b>NET TOTAL</b>	<b>330</b>		

PARKING PROVISION					
	BYLAWS	TOTAL UNIT	PARKING REQUIRED	PARKING PROVIDED	NOTE
MARKET RENTAL	0.72 PER UNIT	170	123	222	
HILS UNITS	0.6 PER UNIT	110	66		
LEMR UNITS	0.6 PER UNIT	50	30		
VISITOR	0.16 PER UNIT	330	53	53	
<b>TOTAL</b>			<b>272</b>	<b>275</b>	
				6 HC PARKING	( 2% ACCESSIBLE STALLS)
				137 SMALL CAR	(49.81% SMALL CAR STALLS)

BICYCLE PARKING PROVISION				
	BYLAWS	TOTAL UNIT	PARKING REQUIRED	TOTAL PROVIDED
CLASS 1	2 PER UNIT	330	660	660 (219 VERTICAL= 33.2%)
CLASS2	0.2 PER UNIT	330	66	

MULTI-FAMILY WASTE ROOM INFORMATION TABLE				
SIZE	1659 sq.f (154 sq.m)			
LOCATION	PARKADE LEVEL-AT GRADE			
ACCESS INFORMATION	OPEN TO RESIDENTS 24/7			
NUMBER OF UNITS	330			
WASTE SERVICES PROVIDED	STORAGE ARE REQUIRED FOR ONE	NUMBER OF BINS	TOTAL SPACE REQUIRED	
RESIDENTIAL MIXED CONTAINERS	1.26m2	14	17.64m2	189.88ft2
RESIDENTIAL REFUNDABLE BEVERAGE CONTAINERS	0.97m2	7	6.79m2	73.09ft2
RESIDENTIAL MIXED PAPER	1.26m2	10	12.60m2	135.63ft2
RESIDENTIAL GLASS	0.97m2	2	1.94m2	20.88ft2
RESIDENTIAL FOOD SCRAPS, AND YARD TRIMMINGS	0.97m2	13	12.61m2	135.73ft2
RESIDENTIAL CORRUGATED CARDBOARD	7.67m2	1	7.67m2	82.56ft2
RESIDENTIAL GARBAGE	7.67m2	7	53.69m2	577.91ft2
<b>TOTAL</b>			<b>112.94m2</b>	<b>1215.67ft2</b>
SPACE ALLOCATION FOR STORAGE FACILITY NEEDED:				
			<b>122.15m2</b>	<b>1314.81ft2</b>

UNIT COUNT							
BUILDING A - LEMR+HILS+MARKET RENTAL							
	Studio	1BR	2BR	3BR	4BR	Total	
Level 1	0	1	3	4	3	11	
Level 2	0	1	7	7	0	15	
Level 3	0	1	7	7	0	15	
Level 4	0	1	7	7	0	15	
Total	0	4	24	25	3	56	
Percentage	0%	7%	43%	45%	5%	100%	

UNIT COUNT							
BUILDING B - LEMR + HILS+MARKET RENTAL							
	Studio	1BR	2BR	3BR	4BR	Total	
Level 1	0	3	0	14	0	17	
Level 2	4	15	12	3	0	34	
Level 3	4	15	12	3	0	34	
Level 4	4	15	12	3	0	34	
Level 5	8	16	3	2	0	29	
Level 6	8	16	3	2	0	29	
Total	28	80	42	27	0	177	
Percentage	16%	45%	24%	15%	0%	100%	

UNIT COUNT							
BUILDING C - LEMR +MARKET RENTAL							
	Studio	1BR	2BR	3BR	4BR	Total	
Level 1	0	0	9	13	0	22	
Level 2	5	9	2	1	0	17	
Level 3	5	21	2	1	0	29	
Level 4	5	21	2	1	0	29	
Total	15	51	15	16	0	97	
Percentage	15%	53%	15%	16%	0%	100%	

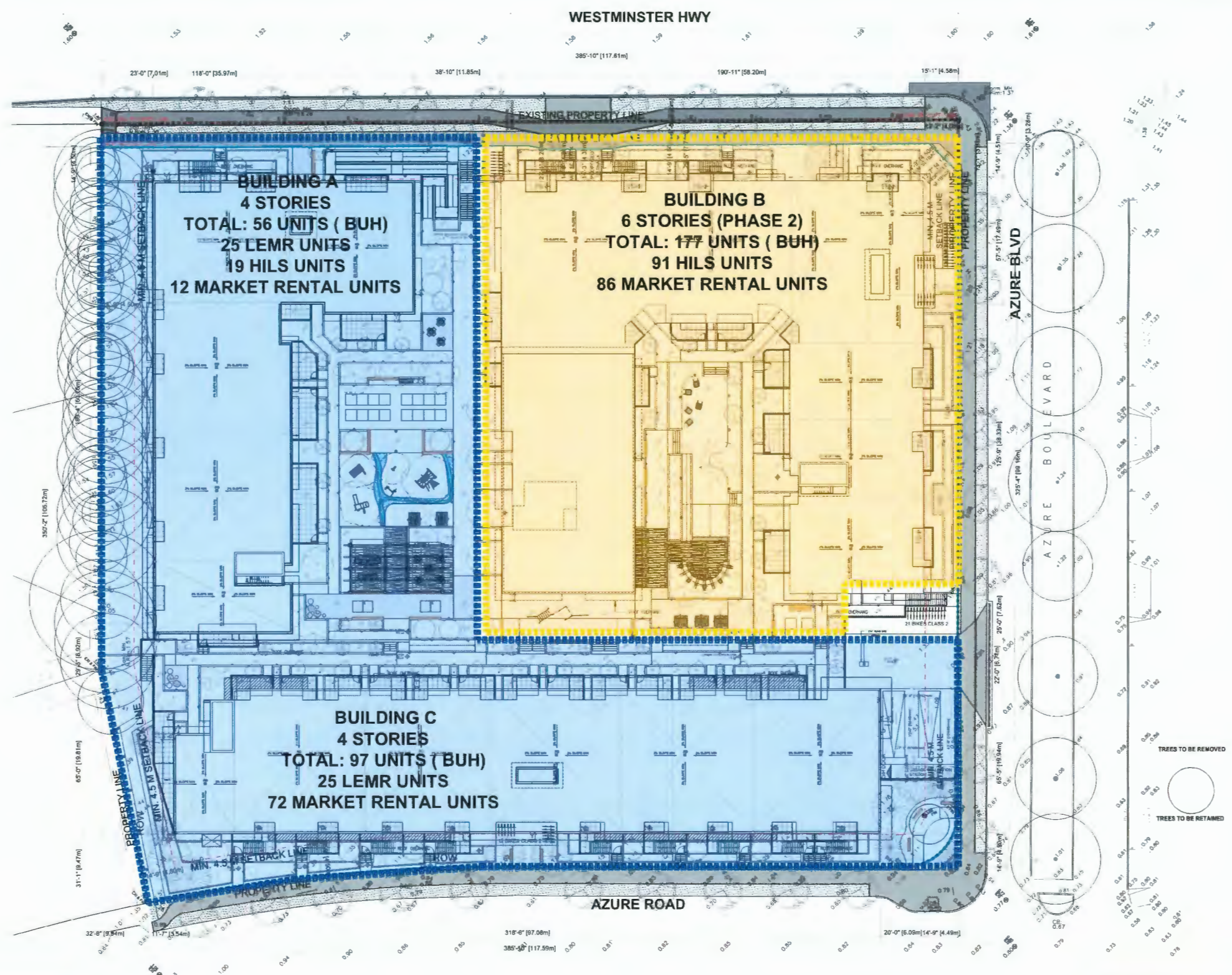
LOADING PROVISION	
REQUIRED	1
PROVIDED	2

DP 23-023854  
May 22, 2024  
DP Plan # 2

PROJECT NO:	2311
DATE FILED:	MAY 22 2024
DRAWN BY:	BR
CHECKED BY:	JH
COPYRIGHT:	
SHEET TITLE:	STATISTICS-OVERALL&PARKING
SHEET NO:	A1.1
TOTAL SHEETS:	1



DP 23-023854  
 May 22, 2024  
 DP Plan # 3



**PHASE 1 - SITE PLAN**

**TOTAL: 153 UNITS ( BUH) - BLDG A&C**  
 50 LEMR UNITS  
 19 HILS UNITS  
 84 MARKET RENTAL UNITS  
 INCLUDED FULL PARKADE  
 BLDG A&C + PARKING ENTRY AREA  
 FULLY FINISHED AND OPERATION

BLDG B SERVICE ROOM TO BE FINISHED  
 THE REST ARE UP TO STRUCTURE  
 COMPLETION

**1 PHASING PLAN-SITE PLAN**  
 PH-01 SCALE: 3/32"=1'-0"

**TOTAL: PHASE 1+ PHASE 2**  
 330 UNITS ( BUH)  
 50 LEMR UNITS  
 110 HILS UNITS  
 170 MARKET RENTAL UNITS  
 PARKING :  
 REQUIRED 272  
 PROVIDED 275



**PHASE 2**

**TOTAL: 177 UNITS ( BUH) - BLDG B**  
 0 LEMR UNITS  
 91 HILS UNITS  
 86 MARKET RENTAL UNITS

NO.	DATE	DESCRIPTION
1	2024.05.22	ISSUED FOR SHAW CONSULTING
2	2024.05.22	ISSUED FOR SHAW CONSULTING
3	2024.05.22	ISSUED FOR SHAW CONSULTING
4	2024.05.22	ISSUED FOR SHAW CONSULTING
5	2024.05.22	ISSUED FOR SHAW CONSULTING
6	2024.05.22	ISSUED FOR SHAW CONSULTING
7	2024.05.22	ISSUED FOR SHAW CONSULTING
8	2024.05.22	ISSUED FOR SHAW CONSULTING
9	2024.05.22	ISSUED FOR SHAW CONSULTING
10	2024.05.22	ISSUED FOR SHAW CONSULTING
11	2024.05.22	ISSUED FOR SHAW CONSULTING
12	2024.05.22	ISSUED FOR SHAW CONSULTING
13	2024.05.22	ISSUED FOR SHAW CONSULTING
14	2024.05.22	ISSUED FOR SHAW CONSULTING
15	2024.05.22	ISSUED FOR SHAW CONSULTING
16	2024.05.22	ISSUED FOR SHAW CONSULTING
17	2024.05.22	ISSUED FOR SHAW CONSULTING
18	2024.05.22	ISSUED FOR SHAW CONSULTING
19	2024.05.22	ISSUED FOR SHAW CONSULTING
20	2024.05.22	ISSUED FOR SHAW CONSULTING
21	2024.05.22	ISSUED FOR SHAW CONSULTING
22	2024.05.22	ISSUED FOR SHAW CONSULTING
23	2024.05.22	ISSUED FOR SHAW CONSULTING
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25	2024.05.22	ISSUED FOR SHAW CONSULTING
26	2024.05.22	ISSUED FOR SHAW CONSULTING
27	2024.05.22	ISSUED FOR SHAW CONSULTING
28	2024.05.22	ISSUED FOR SHAW CONSULTING
29	2024.05.22	ISSUED FOR SHAW CONSULTING
30	2024.05.22	ISSUED FOR SHAW CONSULTING
31	2024.05.22	ISSUED FOR SHAW CONSULTING
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45	2024.05.22	ISSUED FOR SHAW CONSULTING
46	2024.05.22	ISSUED FOR SHAW CONSULTING
47	2024.05.22	ISSUED FOR SHAW CONSULTING
48	2024.05.22	ISSUED FOR SHAW CONSULTING
49	2024.05.22	ISSUED FOR SHAW CONSULTING
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51	2024.05.22	ISSUED FOR SHAW CONSULTING
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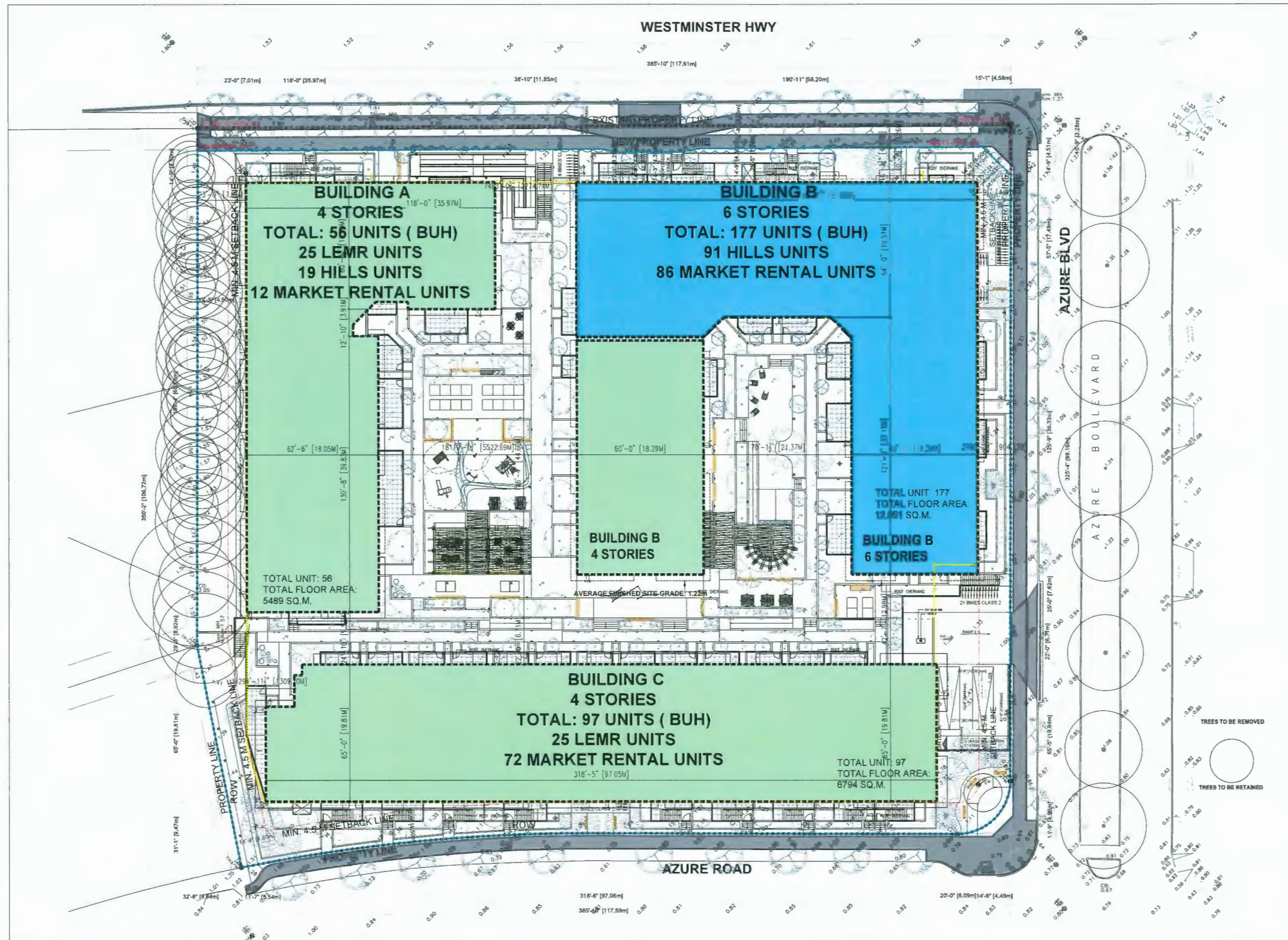


**HNP A**  
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 604-559-8566

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.

DP 23-023854  
 May 22, 2024  
 DP Plan # 4



SETBACKS	Required	Proposed
Front Yard - North PL : at Westminter highway	14.76 FT (4.50 m) to new PL	15 FT (4.57 m)
Side Yard - East PL : at Azure Blvd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)
Side Yard - West PL : at Neighbour	14.76 FT (4.50 m) to PL	23 FT (7.01 m)
Rear Yard - South PL : at Azure Rd	14.76 FT (4.50 m) to PL	15 FT (4.57 m)

SETBACKS VARIANCES	Required	Proposed
1- Front Yard - North PL : at Westminter highway (BEHIND BUS STOP)	14.76 FT (4.50 m) to new PL	14.27 FT (4.35 m)
2- Front Yard - North PL : at Westminter highway (AT NORTH-EAST CORNER)	14.76 FT (4.50 m) to new PL	13.58 FT (4.14 m)

**SITE PLAN**  
 SCALE: 1/16"=1'-0"

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CHECKED BY	MM	
COPYRIGHT		
SHEET TITLE	SITE PLAN	
SHEET NO	A2.0	





**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 7**

**LEGEND**

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

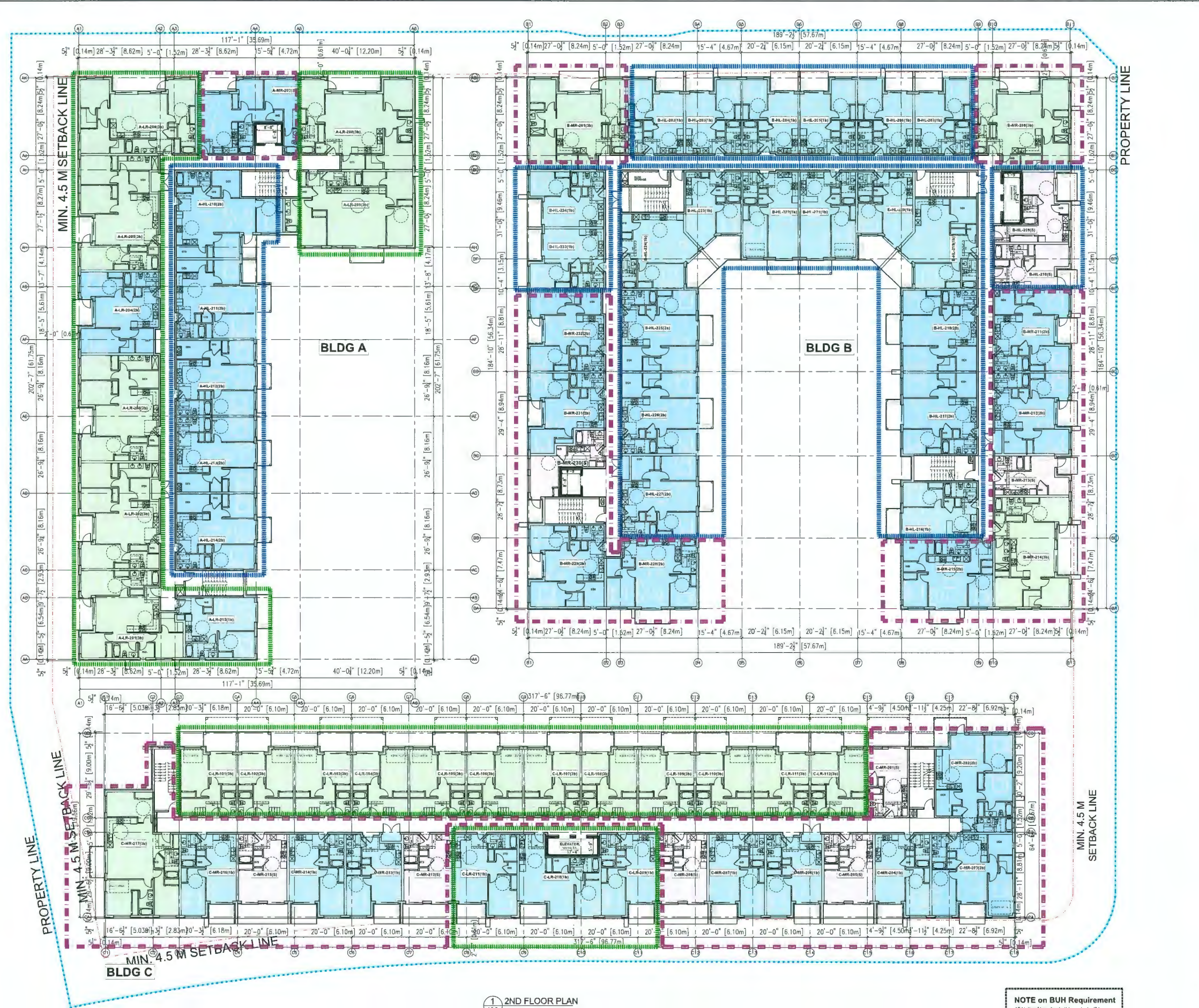
  

- LEMR UNITS AREA
- HILS UNITS AREA
- MARKET RENTAL UNITS AREA

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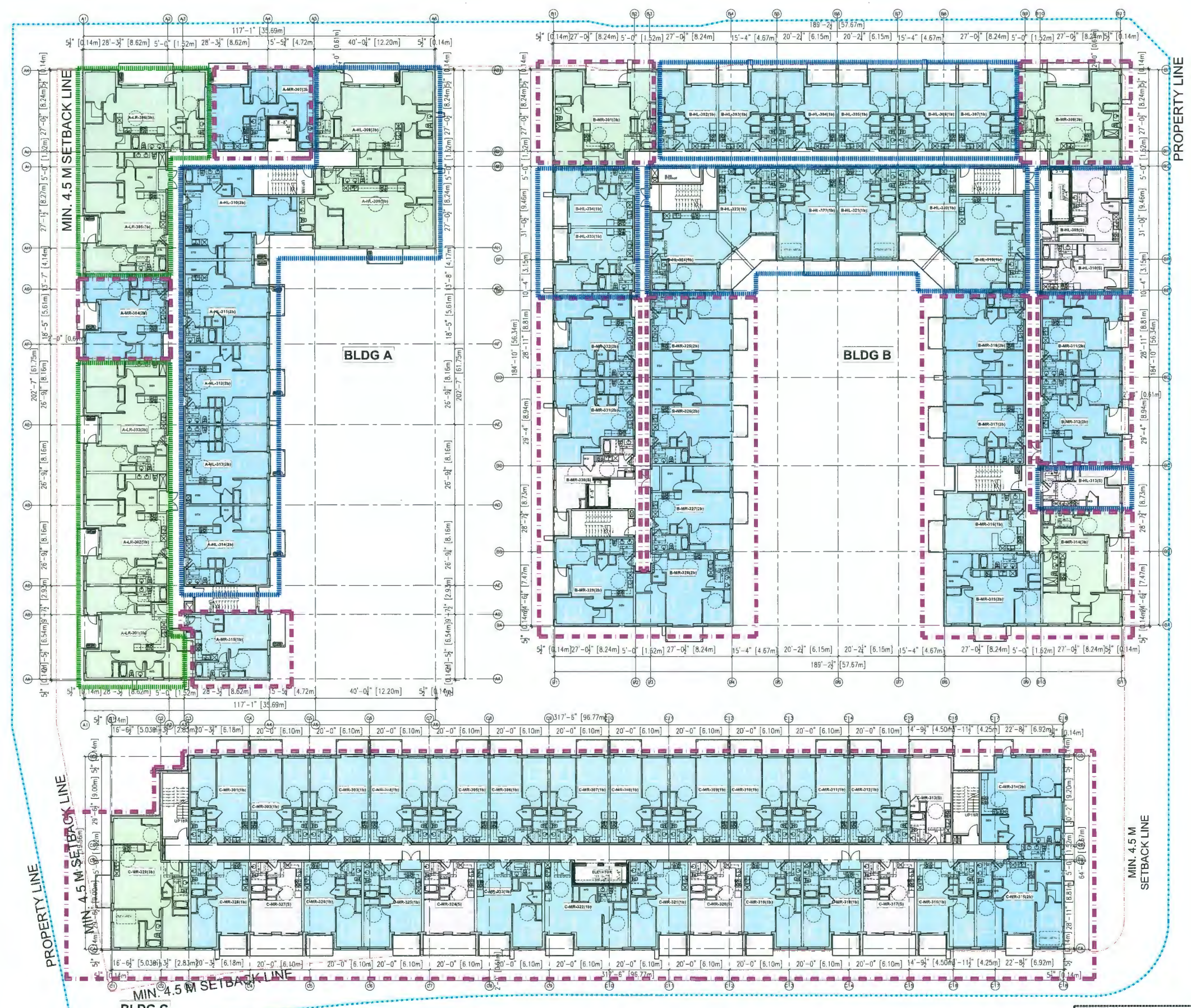
  

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DATE FILED:	1887-21-2014
DRAWN BY:	BM
CHECKED BY:	JM
COPYRIGHT:	
SHEET TITLE:	2ND FLOOR PLAN
SHEET NO.:	A2.3
TOTAL SHEETS:	OF



**1 2ND FLOOR PLAN**  
 SCALE: 3/32"=1'-0"

**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH



**DP 23-023854**  
 May 22, 2024  
 DP Plan # 8

**LEGEND**

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA
- HILS UNITS AREA
- MARKET RENTAL UNITS AREA

NO.	DATE	DESCRIPTION
18	MAY 21 2024	ISSUE FOR SHEET COMMENTS
17	MAY 14 2024	ISSUE FOR SHEET COMMENTS
16	APR 15 2024	RC CONSULT SP. REV. CORRECT
15	FEB 26 2024	RC CONSULT SP. APPLICATION
14	FEB 26 2024	RC CONSULT SP. APPLICATION
13	APR 14 2023	SUBMIT OF APPLICATION
12	MAY 26 2023	PLANNING RESUBMIT APPLICATION
11	MAY 18 2023	PLANNING RESUBMIT APPLICATION
10	MAY 18 2023	PLANNING RESUBMIT APPLICATION
9	MAY 29 2023	PLANNING RESUBMIT APPLICATION
8	MAY 29 2023	PLANNING RESUBMIT APPLICATION
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3	MAY 29 2023	PLANNING RESUBMIT APPLICATION
2	MAY 29 2023	PLANNING RESUBMIT APPLICATION
1	MAY 29 2023	PLANNING RESUBMIT APPLICATION

**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH.

1 3RD FLOOR PLAN  
 A2.4 SCALE: 3/32"=1'-0"

SHEET TITLE  
 3RD FLOOR PLAN



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 604-559-8586

CONTRACT

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.

DP 23-023854  
 May 22, 2024  
 DP Plan # 9

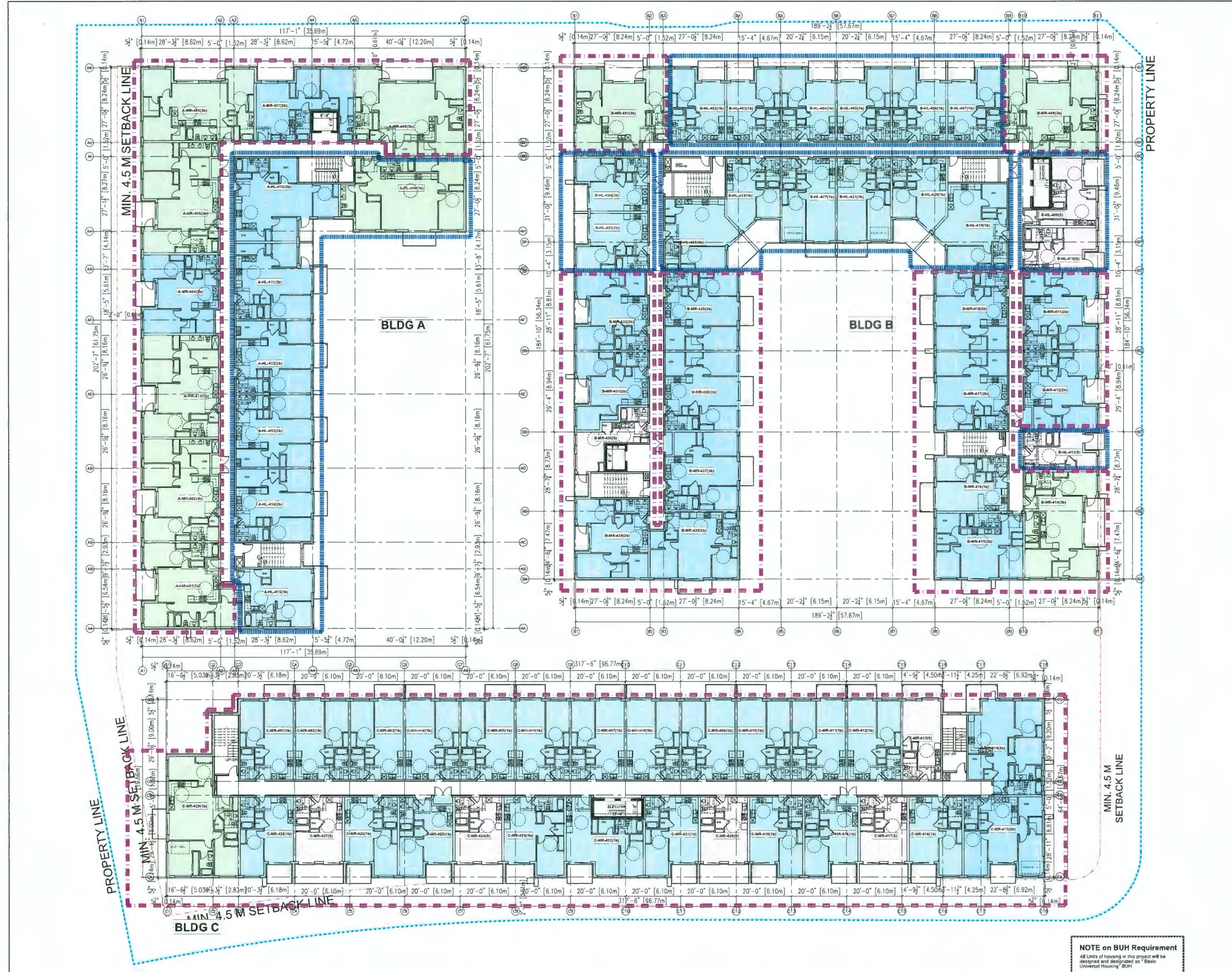
LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA
- HILLS UNITS AREA
- MARKET RENTAL UNITS AREA

NO.	DATE	DESCRIPTION
18	MAY 21 2024	ISSUED FOR SHOP DRAWINGS
17	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
16	APR 15 2024	ISSUED FOR SHOP DRAWINGS
15	MAY 13 2024	ISSUED FOR SHOP DRAWINGS
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CHECKED BY:	JM
COPYRIGHT:	
SHEET TITLE:	4TH FLOOR PLAN
	A2.5
SHEET	OF



**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH

1 4TH FLOOR PLAN  
 A2.5 SCALE: 3/32"=1'-0"



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RICHMOND APARTMENT  
 6071 AZURE ROAD  
 RICHMOND, BC.

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 10**

**LEGEND**

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

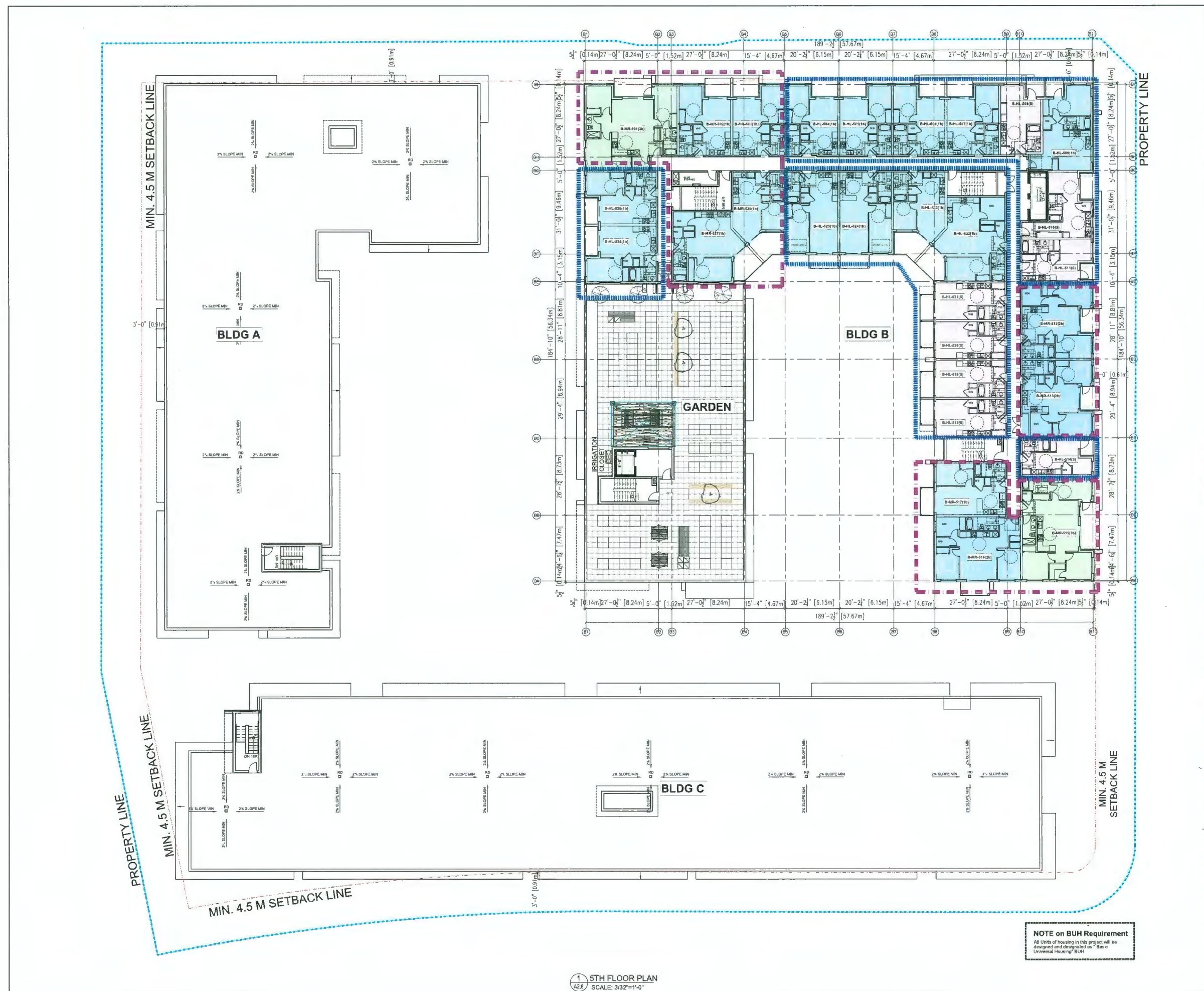
- LEMR UNITS AREA
- HILLS UNITS AREA
- MARKET RENTAL UNITS AREA

NO.	DATE	DESCRIPTION
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3	APR 15 2024	REVISION OF APPLICATION
4	MAY 13 2024	REVISION OF APPLICATION
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50	MAY 13 2024	REVISION OF APPLICATION

PROJECT NO: 2311  
 C/O: HNP TEL: 604-726-1338 FAX: 604-559-8566  
 DRAWN BY: BM  
 CHECKED BY: JM  
 COPYRIGHT: HNP

SHEET TITLE:  
**5TH FLOOR PLAN**

A2.6



**5TH FLOOR PLAN**  
 SCALE: 3/32"=1'-0"

**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH





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CONSULTANTS

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.

**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 11**

LEGEND

- STUDIO
- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- 4 BEDROOM

- LEMR UNITS AREA
- HILS UNITS AREA
- MARKET RENTAL UNITS AREA

NO.	DATE	DESCRIPTION
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16	SEP 15, 2023	ISSUE FOR STAFF COMMENTS
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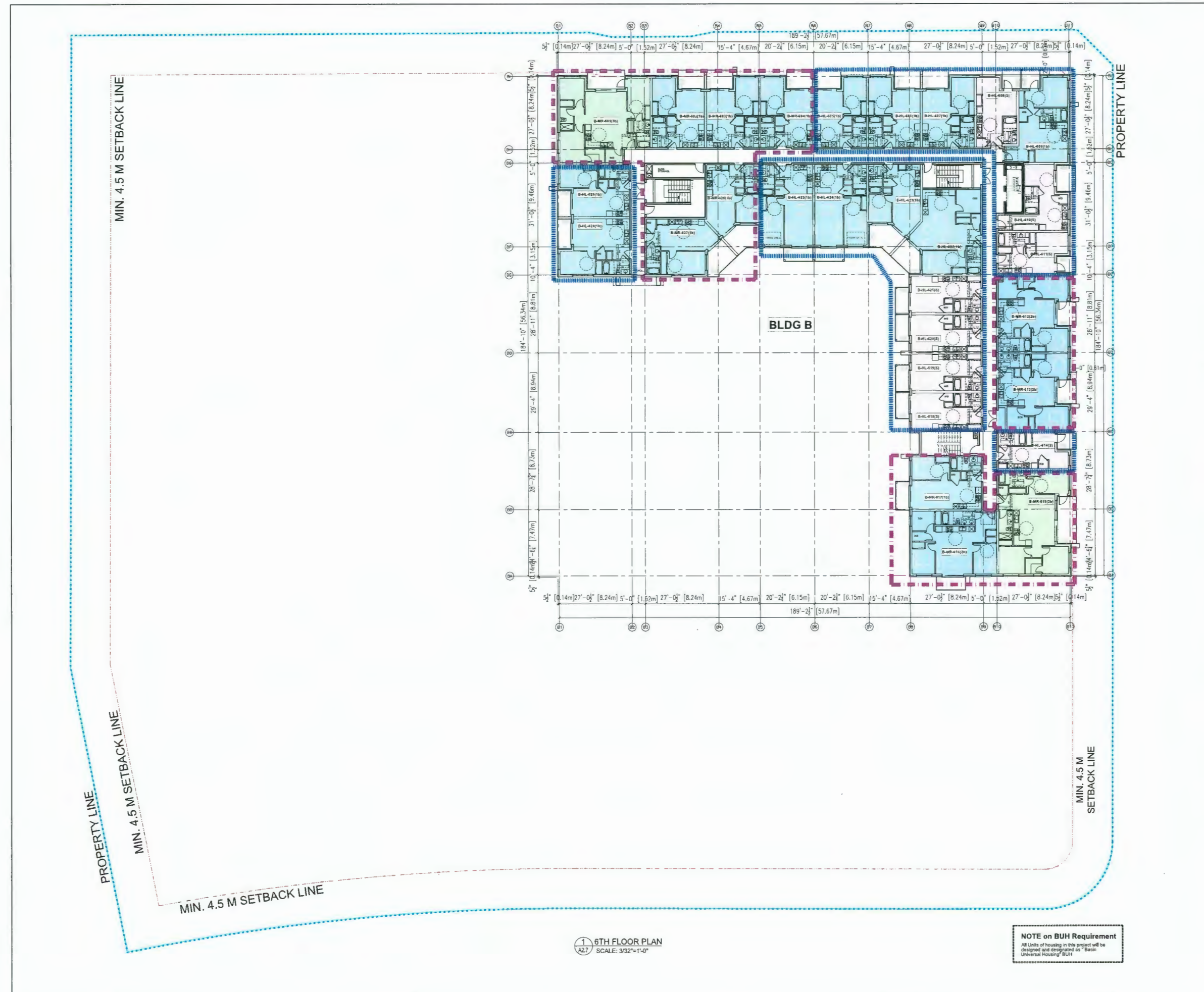
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SHEET TITLE

6TH FLOOR PLAN

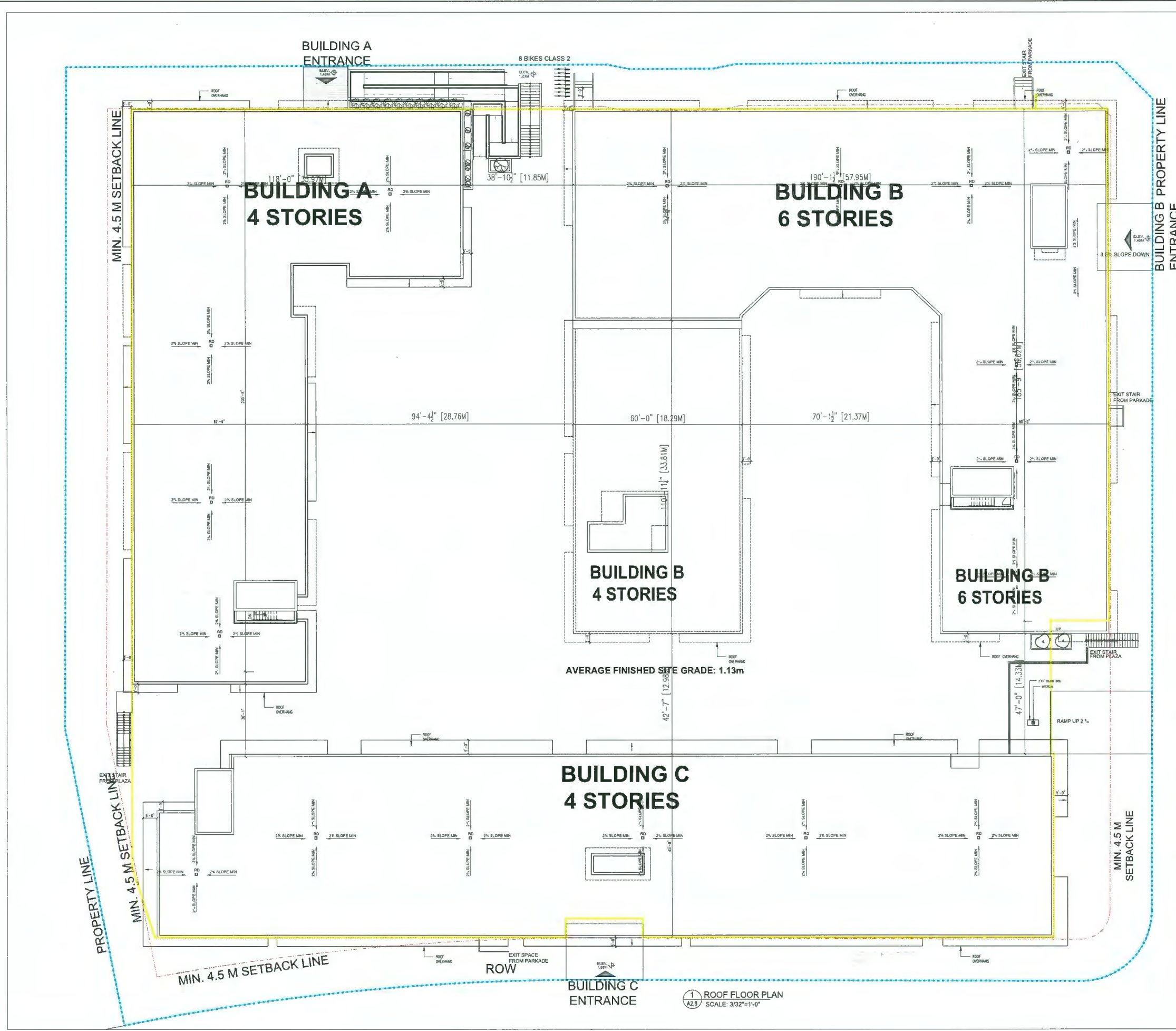
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SHEET OF



**1 6TH FLOOR PLAN**  
 A2.7 SCALE: 3/32"=1'-0"

**NOTE on BUH Requirement**  
 All Units of housing in this project will be designed and designated as "Basic Universal Housing" BUH



DP 23-023854  
 May 22, 2024  
 DP Plan # 12

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17	MAY 15 2024	ISSUE FOR STAFF DRAWING
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1



2



3



A4



B4



C4



5



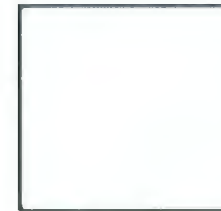
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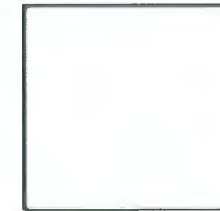
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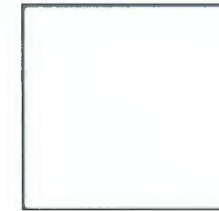
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A9



B9



C9



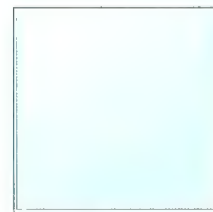
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B11



12



13



14

## MATERIAL LEGEND

### MATERIALITY

The building materials are made up of a neutral colour palette including metal paneling, different colours of cementitious panels, glass and wood. Both interior and exterior materials will comprise of durable materials sourced locally where possible. Low VOC finishes will be specified for the residential suites and all circulation areas.

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0		ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1		FASCIA & TRIM	METAL FLASHING	DARK GREY
2		PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3		WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4		CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4		CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4		CLADDING BUILDING C	HARDIE PANEL	DARK- BLUE
5		DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6		METAL GUARD RAIL	METAL MATERIALITY	BLACK
7		SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8		FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9		CLADDING BUILDING A	HARDIE PANEL	WHITE
B9		CLADDING BUILDING B	HARDIE PANEL	WHITE
C9		CLADDING BUILDING C	HARDIE PANEL	WHITE
10		WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11		CLADDING BUILDING B	HARDIE PANEL	DARK- BROWN
12		CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13		GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14		FASCIA COLUMN	HARDIE PANEL	DARK GREY

EXTERIOR FINISH

DP 23-023854  
 May 22, 2024  
 DP Plan # 13

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17	MAY 15 2024	DESIGN FOR SHUT DOWN
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1	MAY 15 2024	DESIGN FOR SHUT DOWN
MARK: J. SMITH		
PROJECT NO:	2311	
DATE: MAY 21 2024		
DRAWN BY:	JM	
CHECKED BY:	JM	
COPYRIGHT:		
SHEET TITLE		
MATERIAL BOARD		
SHEET NO.		
A3.0A		
OF		



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 604-559-8566

CONTENTS

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.

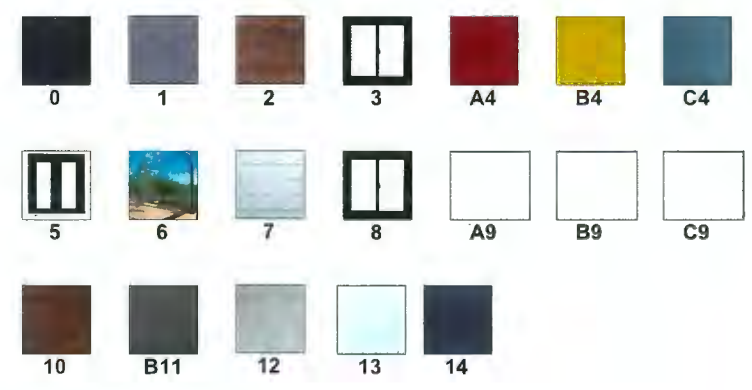
DP 23-023854  
 May 22, 2024  
 DP Plan # 14



1 NORTH ELEVATION BLDG C  
 A3.0 SCALE: 3/32"=1'-0"



2 SOUTH ELEVATION BLDG A  
 A3.0 SCALE: 3/32"=1'-0"



MATERIAL LEGEND

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0	[Swatch]	ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1	[Swatch]	FASCIA & TRIM	METAL FLASHING	DARK GREY
2	[Swatch]	PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3	[Swatch]	WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4	[Swatch]	CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4	[Swatch]	CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5	[Swatch]	DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6	[Swatch]	METAL GUARD RAIL	METAL	BLACK
7	[Swatch]	SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8	[Swatch]	FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9	[Swatch]	CLADDING BUILDING A	HARDIE PANEL	WHITE
B9	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	WHITE
C9	[Swatch]	CLADDING BUILDING C	HARDIE PANEL	WHITE
10	[Swatch]	WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11	[Swatch]	CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12	[Swatch]	CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13	[Swatch]	GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14	[Swatch]	FASCIA COLUMN	HARDIE PANEL	DARK GREY

EXTERIOR FINISH

NO.	DATE	DESCRIPTION
18	MAY 21 2024	ISSUED FOR PERMITS
17	MAY 15 2024	ISSUED FOR PERMITS
16	MAY 13 2024	ISSUED FOR PERMITS
15	MAY 08 2024	ISSUED FOR PERMITS
14	APR 21 2024	ISSUED FOR PERMITS
13	MAY 14 2024	ISSUED FOR PERMITS
12	MAY 20 2024	ISSUED FOR PERMITS
11	MAY 11 2024	ISSUED FOR PERMITS
10	MAY 08 2024	ISSUED FOR PERMITS
9	MAY 08 2024	ISSUED FOR PERMITS
8	MAY 08 2024	ISSUED FOR PERMITS
7	MAY 31 2023	ISSUED FOR PERMITS
6	MAY 23 2023	ISSUED FOR PERMITS
5	MAY 14 2023	ISSUED FOR PERMITS
4	MAY 23 2023	ISSUED FOR PERMITS
3	MAY 15 2023	ISSUED FOR PERMITS
2	MAY 23 2023	ISSUED FOR PERMITS
1	MAY 23 2023	ISSUED FOR PERMITS

SHEET TITLE  
 NORTH-SOUTH ELEVATIONS

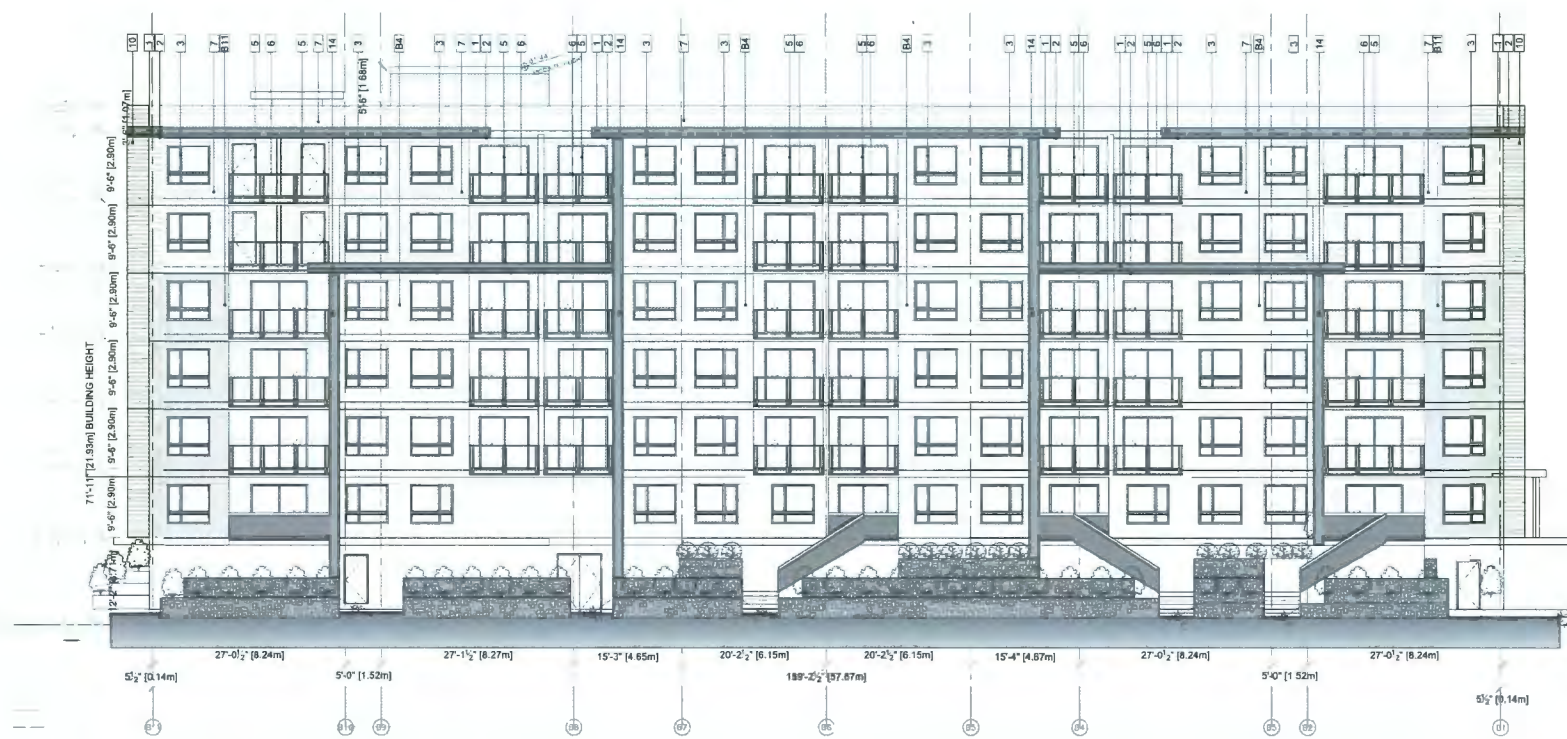
A3.0  
 OF







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 TEL: 604-726-1338  
 604-559-8566



1 NORTH ELEVATION BLDG B  
 A-B8 SCALE: 1/8"=1'-0"



2 SOUTH ELEVATION BLDG B  
 A-B8 SCALE: 1/8"=1'-0"

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0		ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1		FASCIA & TRIM	METAL FLASHING	DARK GREY
2		PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3		WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4		CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4		CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4		CLADDING BUILDING C	HARDIE PANEL	DARK-BLUE
5		DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6		METAL GUARD RAIL	METAL	BLACK
7		SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
8		FIT WINDOW	DOUBLE-GLAZED VINYL FIT WINDOW	BLACK
A9		CLADDING BUILDING A	HARDIE PANEL	WHITE
B9		CLADDING BUILDING B	HARDIE PANEL	WHITE
C9		CLADDING BUILDING C	HARDIE PANEL	WHITE
10		WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11		CLADDING BUILDING B	HARDIE PANEL	DARK-BROWN
12		CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13		GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14		FASCIA COLUMN	HARDIE PANEL	DARK GREY

EXTERIOR FINISH

DP 23-023854  
 May 22, 2024  
 DP Plan # 17

18	MAY 21 2024	ISSUE FOR START CONSTRUCTION
17	MAY 15 2024	ISSUE FOR START CONSTRUCTION
16	JAN 14 2024	ISSUE FOR START CONSTRUCTION
15	OCT 25 2023	ISSUE FOR START CONSTRUCTION
14	AUG 19 2023	ISSUE FOR START CONSTRUCTION
13	MAY 24 2023	ISSUE FOR START CONSTRUCTION
12	MAY 24 2023	ISSUE FOR START CONSTRUCTION
11	MAY 24 2023	ISSUE FOR START CONSTRUCTION
10	MAY 24 2023	ISSUE FOR START CONSTRUCTION
9	MAY 24 2023	ISSUE FOR START CONSTRUCTION
8	MAY 24 2023	ISSUE FOR START CONSTRUCTION
7	MAY 24 2023	ISSUE FOR START CONSTRUCTION
6	MAY 24 2023	ISSUE FOR START CONSTRUCTION
5	MAY 24 2023	ISSUE FOR START CONSTRUCTION
4	MAY 24 2023	ISSUE FOR START CONSTRUCTION
3	MAY 24 2023	ISSUE FOR START CONSTRUCTION
2	MAY 24 2023	ISSUE FOR START CONSTRUCTION
1	MAY 24 2023	ISSUE FOR START CONSTRUCTION

PROJECT NO: 2311  
 SHEET TITLE: NORTH-SOUTH ELEVATION BLDG B  
 SHEET NO: A-B8  
 DATE: MAY 22 2024  
 DRAWN BY: JM  
 CHECKED BY: JM  
 CORRECTED BY:

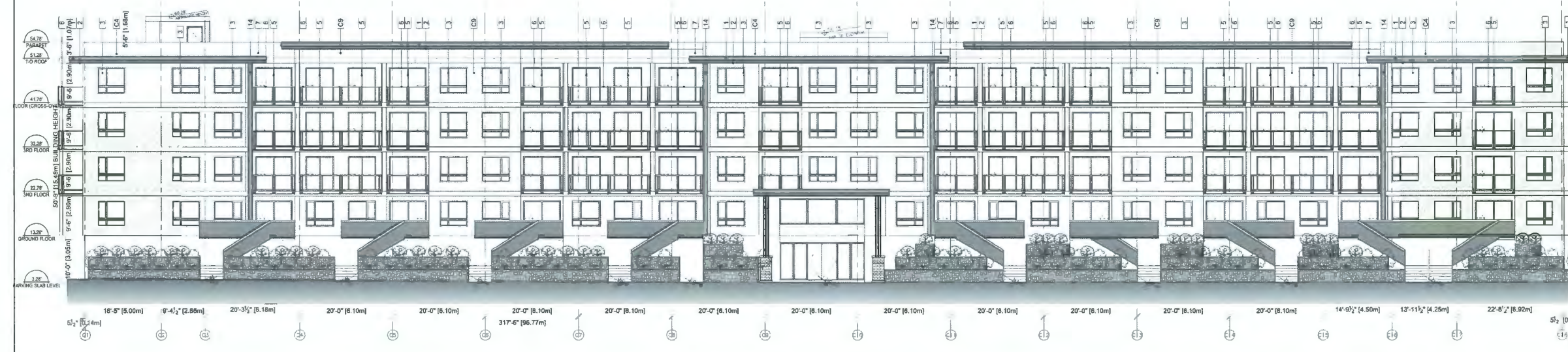




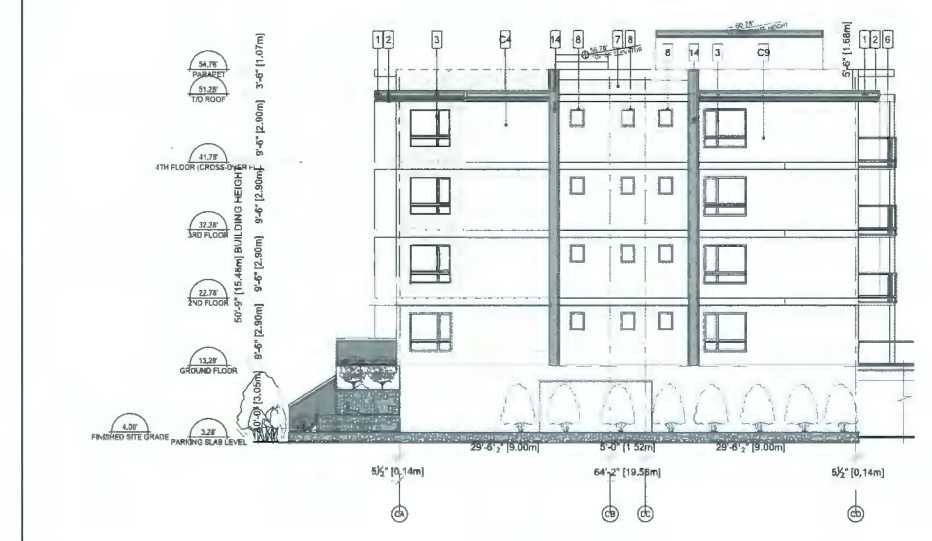
**DP 23-023854**  
 May 22, 2024  
 DP Plan # 19



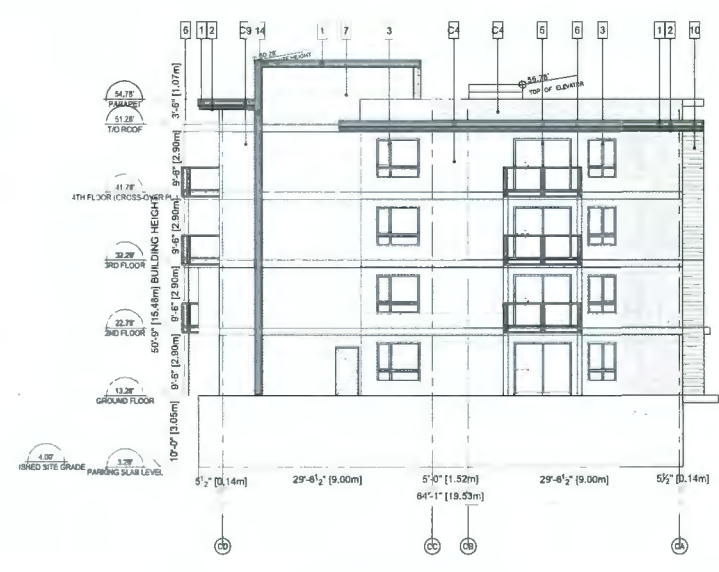
**1 NORTH ELEVATION BLDG C**  
 SCALE: 1/8"=1'-0"



**2 SOUTH ELEVATION BLDG C**  
 SCALE: 1/8"=1'-0"



**3 EAST ELEVATION BLDG C**  
 SCALE: 1/8"=1'-0"



**4 WEST ELEVATION BLDG C**  
 SCALE: 1/8"=1'-0"

KEY VALUE	SAMPLE	LOCATION	ELEVATION MATERIAL LEGEND	COLOUR
0	[Image]	ROOFING	2 PLY SBS ROOFING	LIGHT GREY
1	[Image]	FASCIA & TRIM	METAL FLASHING	DARK GREY
2	[Image]	PERFORATED SOFFIT	METAL PERFORATED SOFFIT	WOOD GRAINS
3	[Image]	WINDOW	DOUBLE-GLAZED VINYL WINDOW	BLACK
A4	[Image]	CLADDING BUILDING A	HARDIE PANEL	DARK-RED
B4	[Image]	CLADDING BUILDING B	HARDIE PANEL	DARK-YELLOW
C4	[Image]	CLADDING BUILDING C	HARDIE PANEL	DARK- BLUE
5	[Image]	DOOR	DOUBLE-GLAZED VINYL DOOR	BLACK
6	[Image]	METAL GUARD RAIL	METAL	BLACK
7	[Image]	SIDING & TRIM	EXPOSURE FIBRE CEMENT	NEUTRAL
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A9	[Image]	CLADDING BUILDING A	HARDIE PANEL	WHITE
B9	[Image]	CLADDING BUILDING B	HARDIE PANEL	WHITE
C9	[Image]	CLADDING BUILDING C	HARDIE PANEL	WHITE
10	[Image]	WALL SCREEN	HARDIE SIDING	WOOD GRAINS
B11	[Image]	CLADDING BUILDING B	HARDIE PANEL	DARK- BROWN
12	[Image]	CONCRETE FOUNDATION WALL	PAINTED ARCHITECTURAL CONCRETE	NATURAL CONCRET COLOUR
13	[Image]	GLASS GUARD PANEL	LAMINATED SAFETY GLASS PANEL	CLEAR
14	[Image]	FASCIA COLUMN	HARDIE PANEL	DARK GREY

**EXTERIOR FINISH**

NO.	DATE	DESCRIPTION
18	2024-05-22	ISSUED FOR START CONSTRUCTION
17	2024-05-22	ISSUED FOR START CONSTRUCTION
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3	2024-05-22	ISSUED FOR START CONSTRUCTION
2	2024-05-22	ISSUED FOR START CONSTRUCTION
1	2024-05-22	ISSUED FOR START CONSTRUCTION

PROJECT NO: 2311  
 C&P FILE: 23-023854  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
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 SHEET NO: **A-C4**

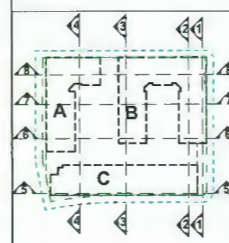


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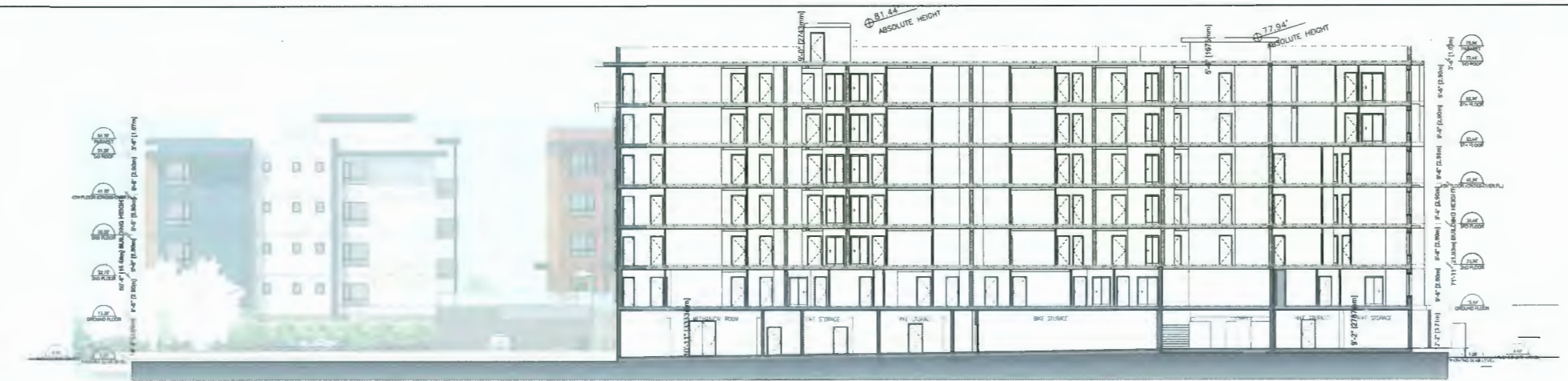
CONSULTANTS

RICHMOND APARTMENT

6071 AZURE ROAD  
 RICHMOND, BC.



DP 23-023854  
 May 22, 2024  
 DP Plan # 20

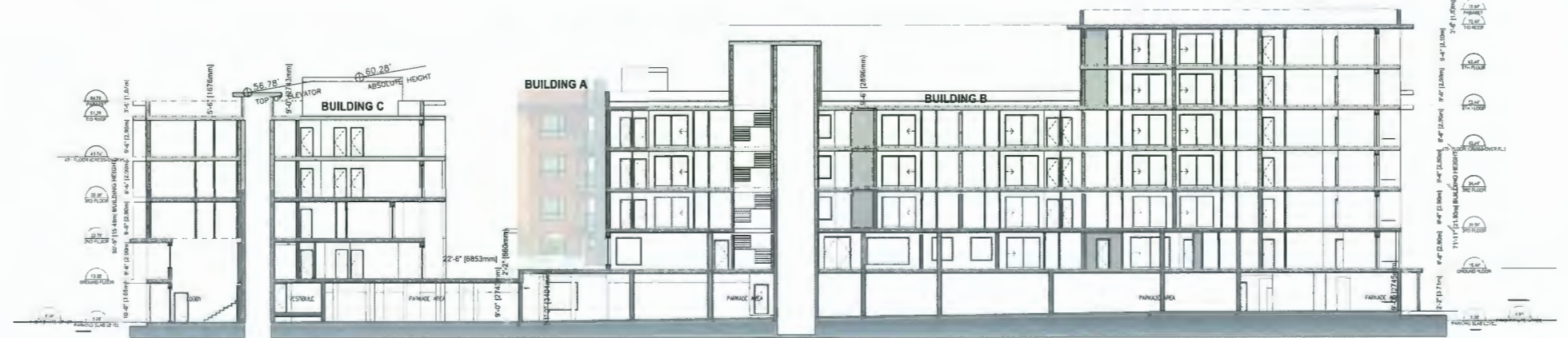


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2 SECTION 2-2  
 A32 SCALE: 3/32"=1'-0"

2 SECTION 2-2  
 A32 SCALE: 3/32"=1'-0"



3 SECTION 3-3  
 A32 SCALE: 3/32"=1'-0"



4 SECTION 4-4  
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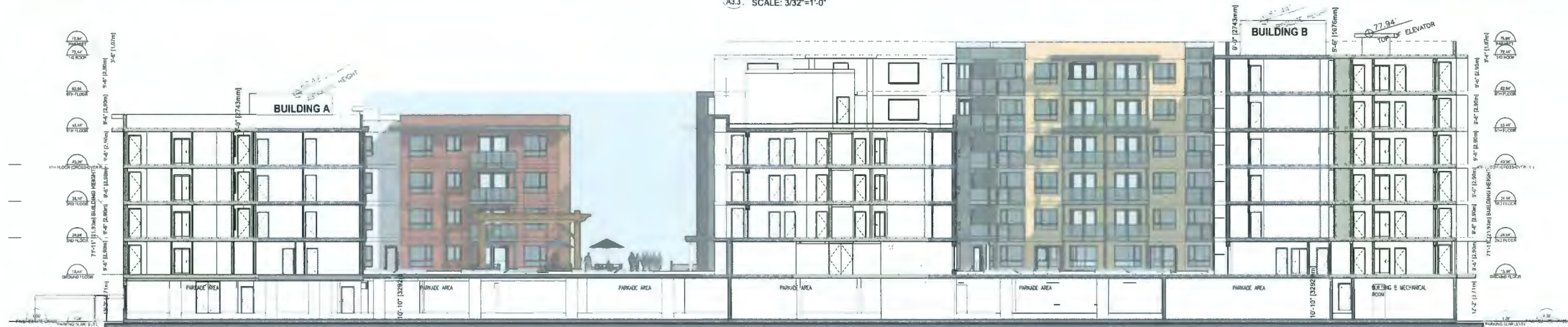
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15	REV 02.05.2024	REVISED FOR STAFF COMMENTS
14	REV 26.04.2024	REVISED FOR STAFF COMMENTS
13	REV 19.04.2024	REVISED FOR STAFF COMMENTS
12	REV 12.04.2024	REVISED FOR STAFF COMMENTS
11	REV 05.04.2024	REVISED FOR STAFF COMMENTS
10	REV 28.03.2024	REVISED FOR STAFF COMMENTS
9	REV 21.03.2024	REVISED FOR STAFF COMMENTS
8	REV 14.03.2024	REVISED FOR STAFF COMMENTS
7	REV 07.03.2024	REVISED FOR STAFF COMMENTS
6	REV 30.02.2024	REVISED FOR STAFF COMMENTS
5	REV 23.02.2024	REVISED FOR STAFF COMMENTS
4	REV 16.02.2024	REVISED FOR STAFF COMMENTS
3	REV 09.02.2024	REVISED FOR STAFF COMMENTS
2	REV 02.02.2024	REVISED FOR STAFF COMMENTS
1	REV 26.01.2024	REVISED FOR STAFF COMMENTS
DATE	REV	DESCRIPTION

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 CHECKED BY: JM  
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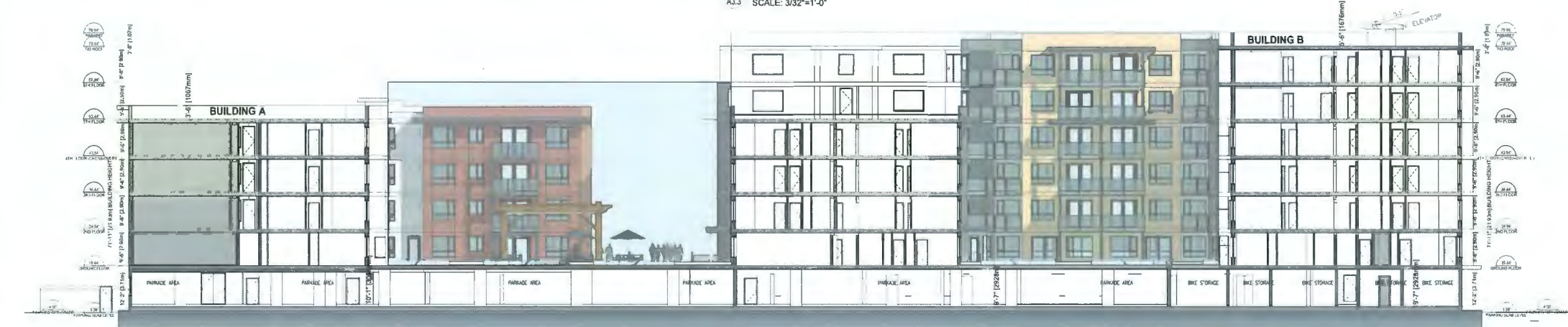
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 SITE SECTION 1  
 A32  
 SHEET 07



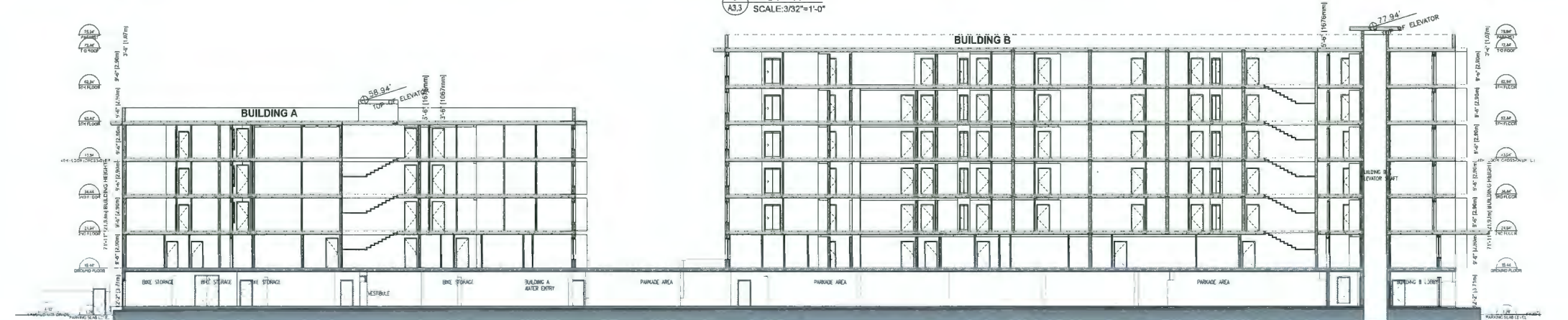
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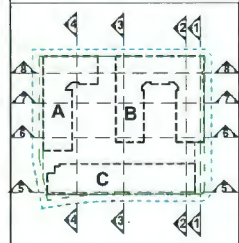
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3 SECTION 7-7  
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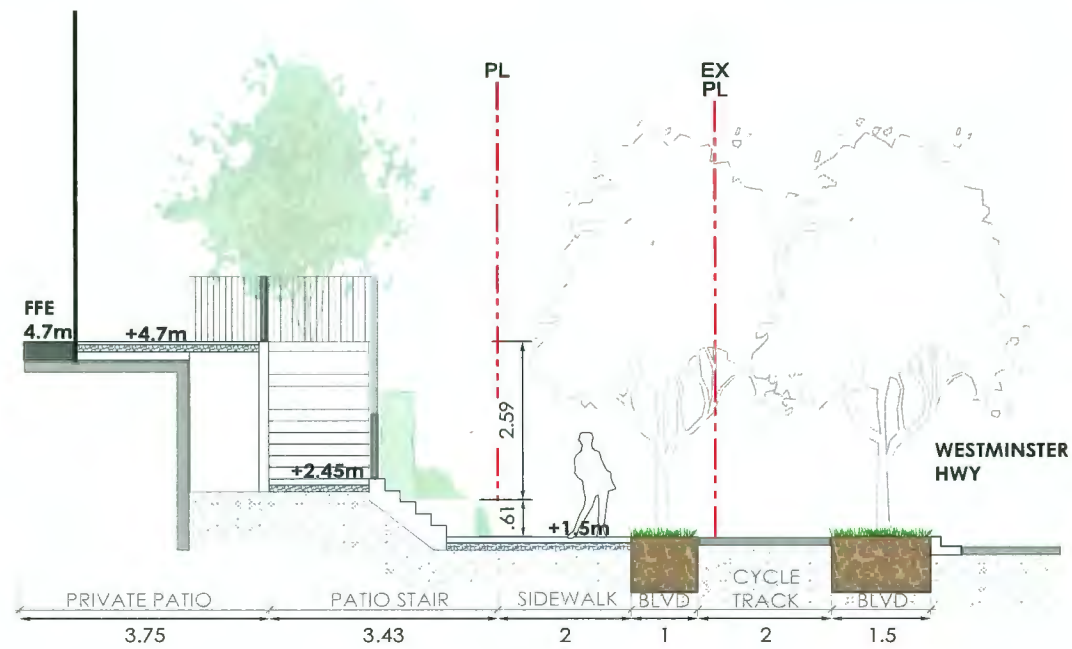


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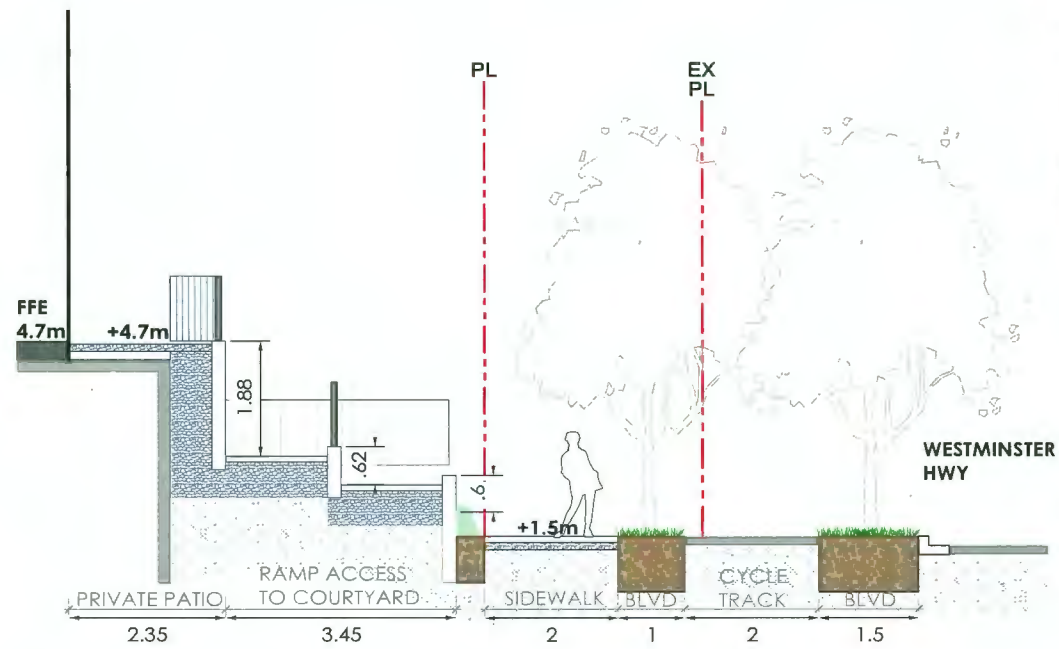


DP 23-023854  
May 22, 2024  
DP Plan # 21

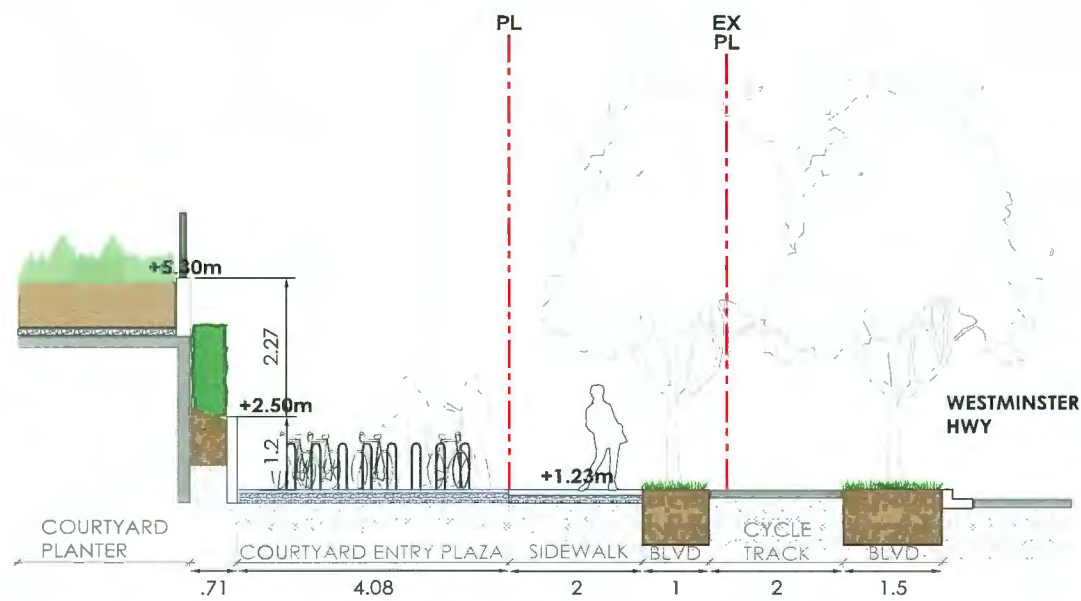
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6	05/15/2024	ISSUE FOR PERMITS
5	05/15/2024	ISSUE FOR PERMITS
4	05/15/2024	ISSUE FOR PERMITS
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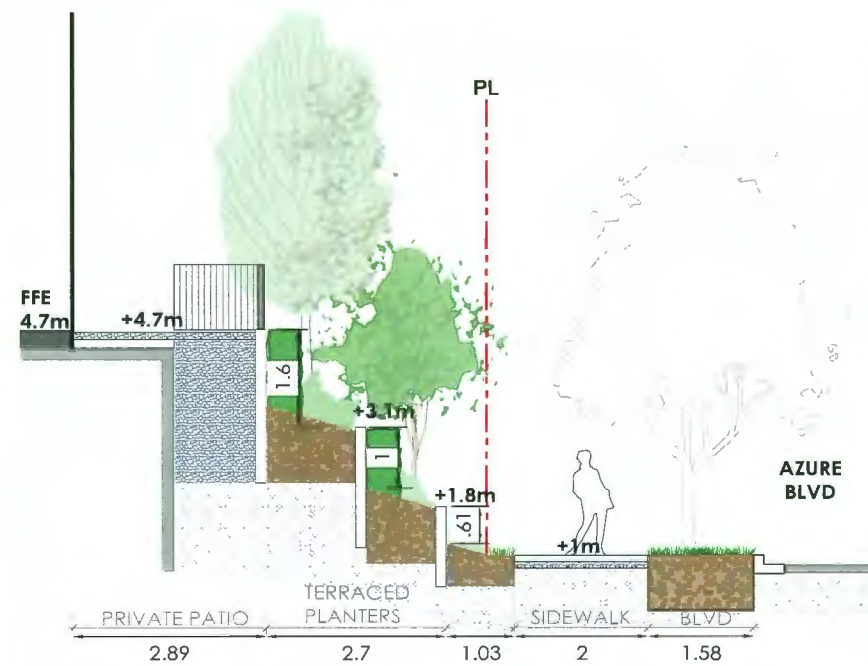
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SCALE 1:50



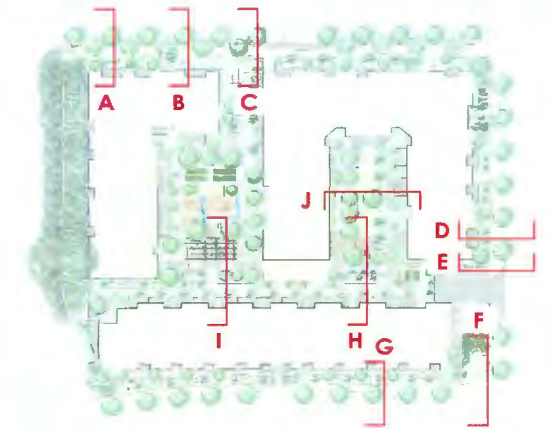
**SECTION B: BLDNG A PATIOS/ COURTYARD RAMP ACCESS/ WESTMINSTER HWY**  
SCALE 1:50



**SECTION C: COURTYARD STAIR ACCESS/ WESTMINSTER HWY**  
SCALE 1:50



**SECTION D: BLDNG B PATIOS/ AZURE BLVD**  
SCALE 1:50



3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:
Revisions:		

**DK** Durante Kreuk Ltd.  
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**DP 23-023854**  
May 22, 2024  
DP Plan # 22

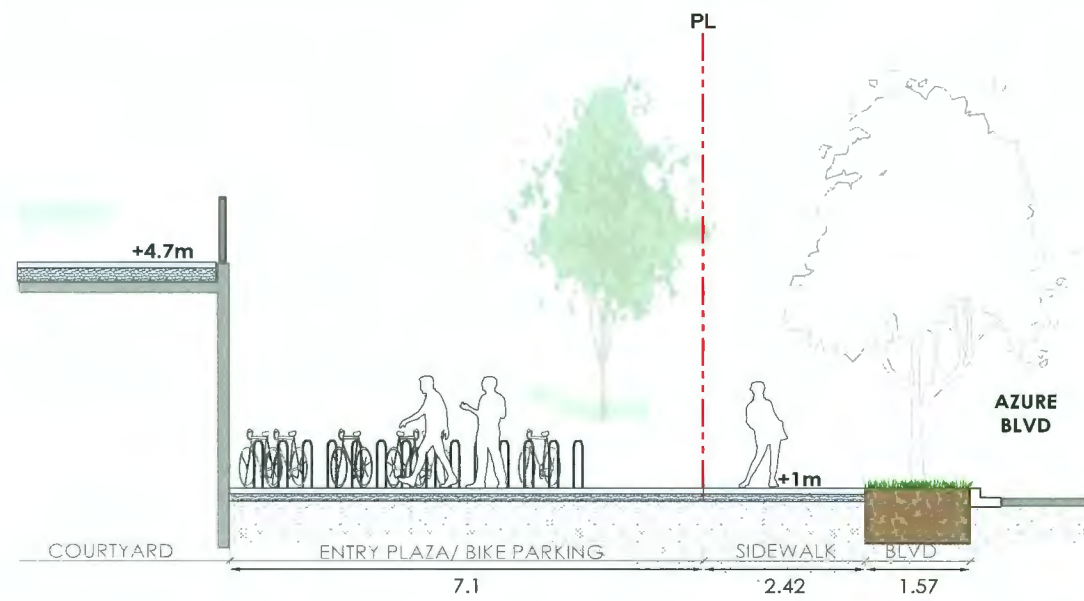
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS of 11x17 size  
Drawing Title:

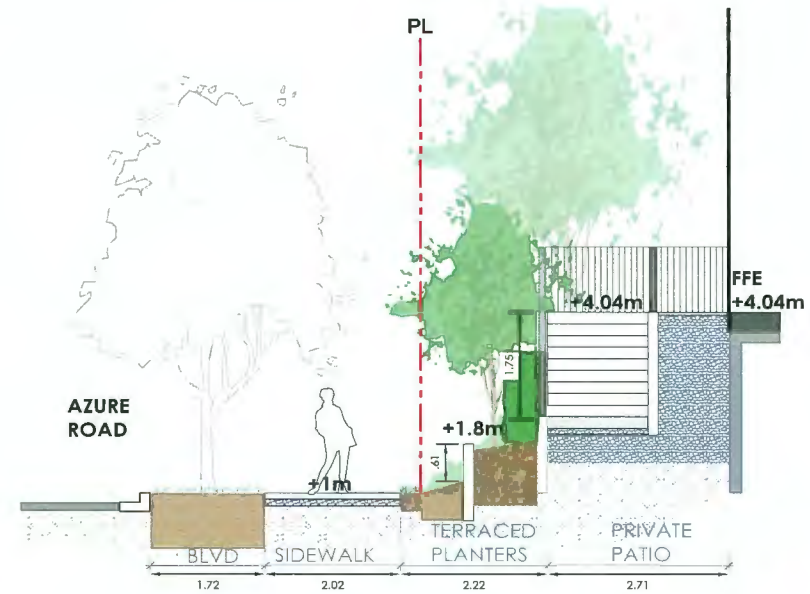
**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:

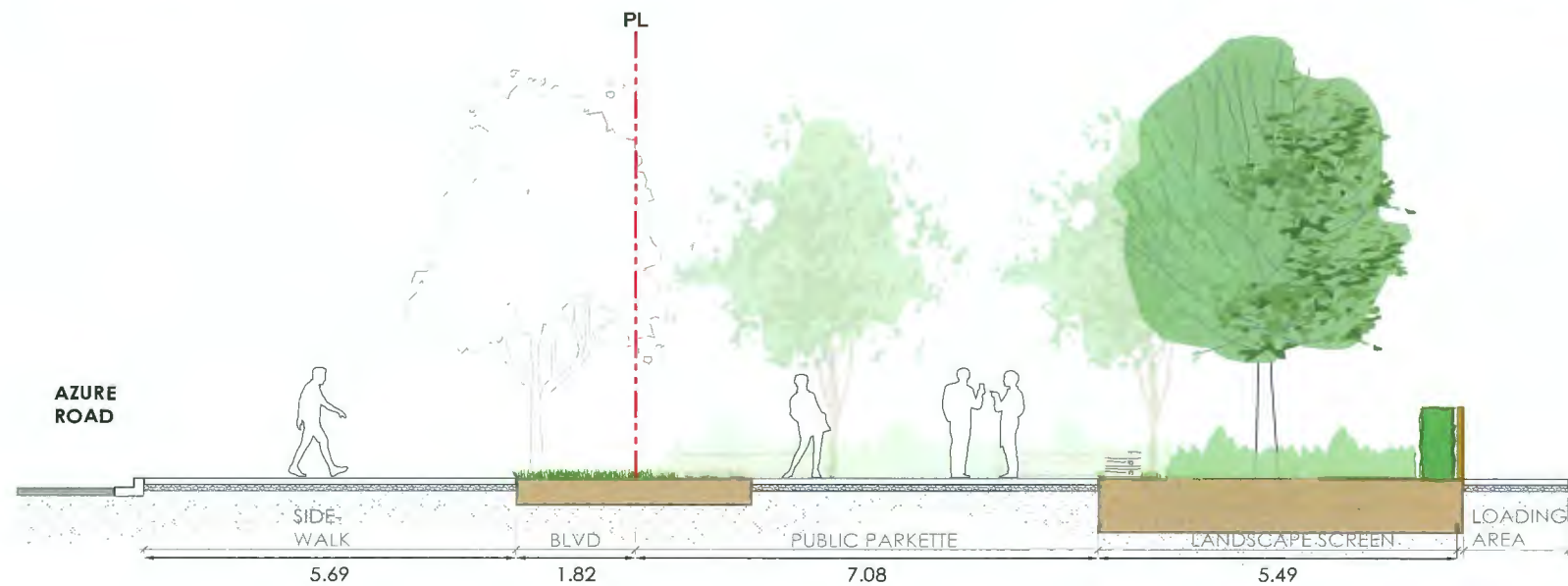
**L3.1**



**SECTION E: COURTYARD/ VISITOR BIKE PARKING/ AZURE BLVD**  
SCALE 1:50



**SECTION G: AZURE ROAD/ BLDNG C PATIOS**  
SCALE 1:50



**SECTION F: AZURE ROAD/ PUBLIC PARKETTE/ LOADING AREA**  
SCALE 1:50

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:

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**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 23**

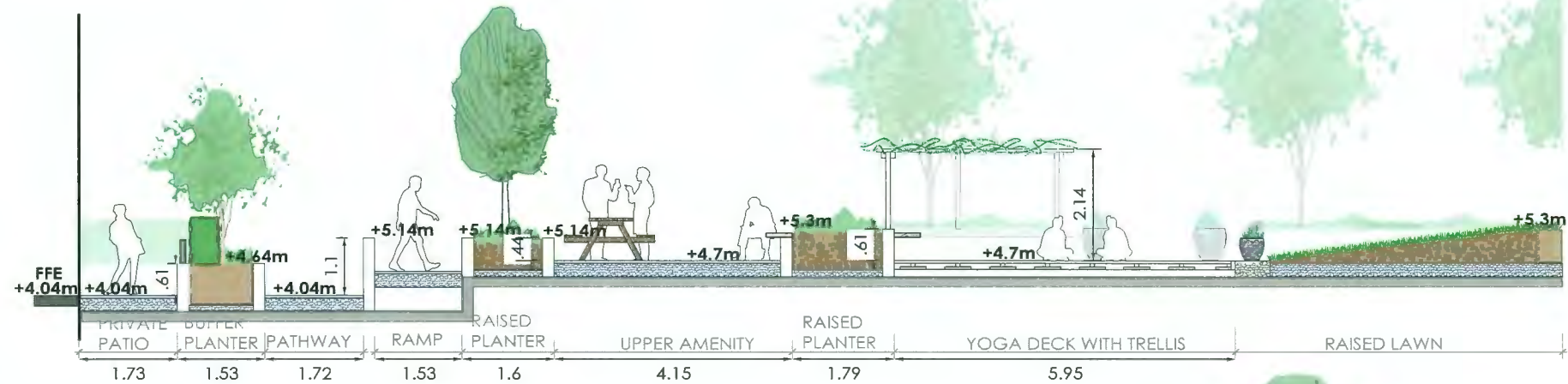
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
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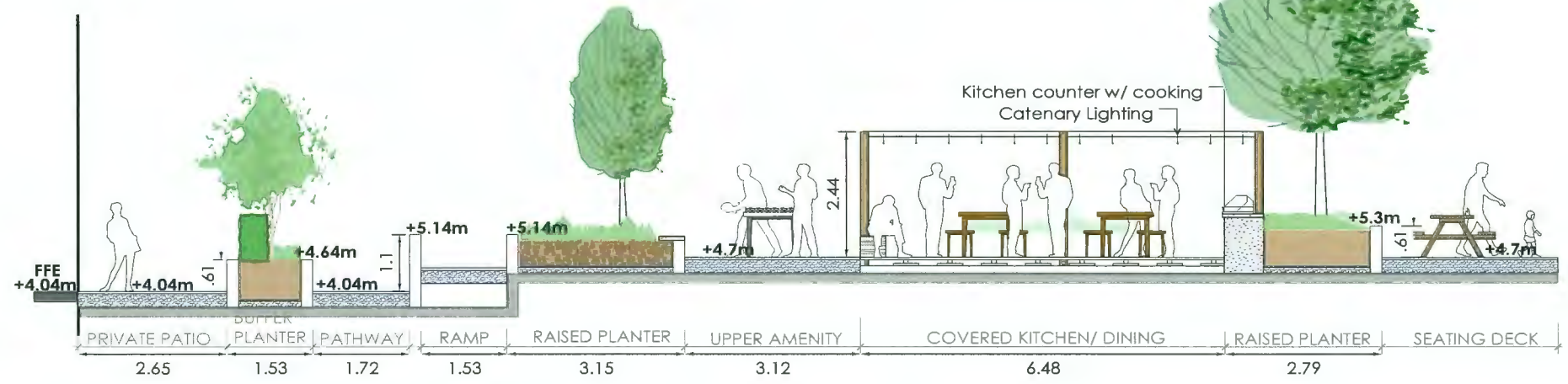
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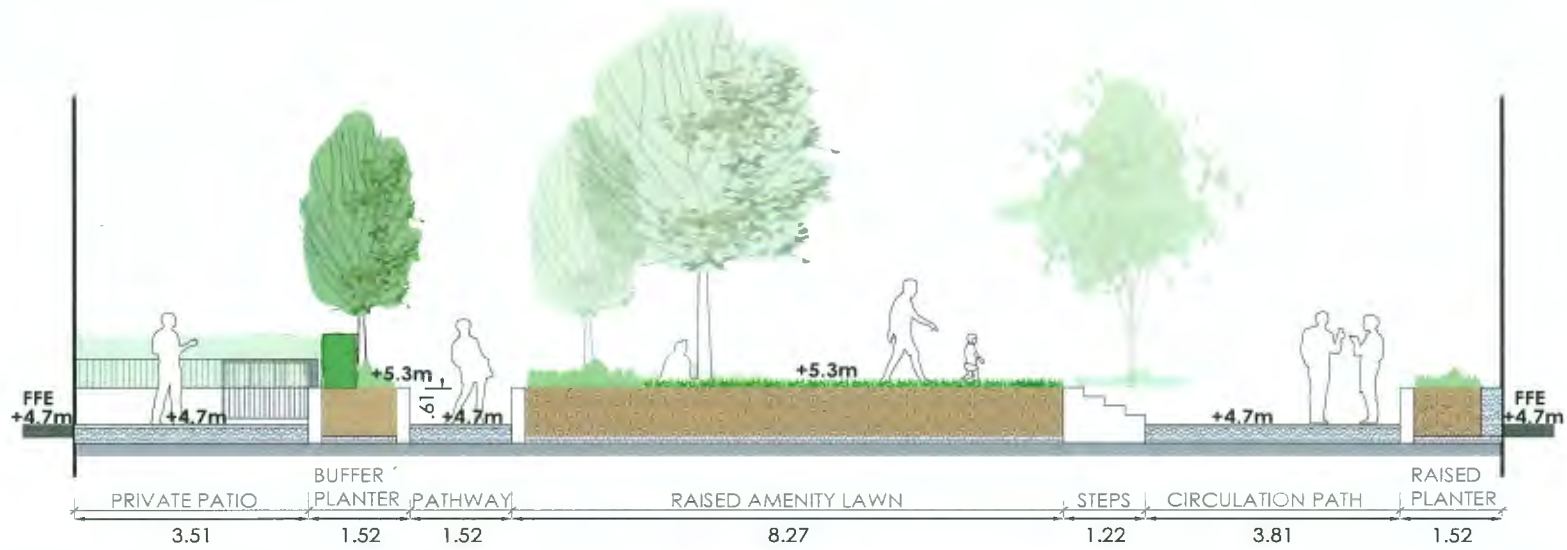
**L3.2**



**SECTION H: BLDNG C PATIOS @ EASTERN AMENITY GARDEN**  
SCALE 1:50



**SECTION I: BLDNG C PATIOS @ WESTERN AMENITY GARDEN**  
SCALE 1:50



**SECTION J: BLDNG B PATIOS @ EASTERN AMENITY GARDEN**  
SCALE 1:50

3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

Revisions:

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**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 24**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS of 11x17 size  
Drawing Title:

**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:

**L3.3**

**PLANT LIST**

**TREES**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
	38	Street trees, final location and species to be determined by the City of Richmond		
	16	Acer griseum	Paperbark Maple	6cm cal. B&B
	17	Magnolia 'Galaxy'	Galaxy Magnolia	5cm cal. B&B
	15	Prunus serrulata 'Kwanzan'	Kwanzan Flowering Cherry	6cm cal. B&B
	25	Acer palmatum 'Osakakazuki'	Osakakazuki Japanese Maple	6cm cal. B&B
	13	Amelanchier x grandiflora	Serviceberry	6cm cal. B&B
	4	Malus fusca (Level 05 planters)	Pacific Crabapple	6cm cal. B&B
	8	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	6cm cal. B&B
	8	Quercus coccinea	Scarlet Oak	7cm cal. B&B
	18	Acer platanoides 'Crimson Sentry'	Crimson Sentry Maple	6cm cal. B&B
	4	Caraciphytum japonicum	Katsura Tree	6cm cal. B&B
	10	Prunus sargentii 'Rancho'	Rancho Flowering Cherry	6cm cal. B&B
	6	Pinus ponderosa	Ponderosa Pine	3m ht B&B
	7	Thuja plicata 'fastigiata'	Fastigiata Red Cedar	3m ht B&B
	3	Picea glauca	White Spruce	3m ht B&B

**SHRUBS/FERNS**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
az	110	Azalea 'Hino White'	Hino White Azalea	#2 pot, 18" o.c.
AZ	19	Azalea 'Hino Pink'	Hino Pink Azalea	#2 pot, 18" o.c.
Bx	14	Buxus m. Wintergem	Winter Gem Boxwood	#2 pot, 15" o.c.
Ct	187	Chelys tamata	Mexican Mock Orange	#3 pot, 24" o.c.
CS	21	Cornus sericea 'Arctic Fire'	Arctic Fire Red-Osier Dogwood	#2 pot, 30" o.c.
De	9	Dryopteris erythrosora	Autumn Fern	#2 pot, 18" o.c.
G	107	Gaultheria shallon	Salal	#2 pot, 15" o.c.
HS	12	Hydrangea serrata 'Blue Bird'	Blue Bird Hydrangea	#3 pot, 30" o.c.
LP	225	Lonicera pileata	Privet Honeysuckle	#2 pot, 24" o.c.
MA	12	Mahonia aquifolium	Oregon Grape Holly	#3 pot, 24" o.c.
Mr	239	Mahonia repens	Creeping Oregon Grape Holly	#1 pot, 18" o.c.
PL	9	Prunus lauroceras 'Otto Lyukan'	Laurel Hedge	#3 pot, 30" o.c.
Pm	214	Polyalthum minimum	Sword Fern	#2 pot, 18" o.c.
R	47	Rhododendron 'Linnique'	Unique Rhododendron	#3 pot, 24" o.c.
Rh	108	Rhododendron 'PJM'	PJM Rhododendron	#3 pot, 24" o.c.
Rt	84	Rhododendron 'Anna Krushke'	Anna Krushke Rhododendron	# pot, 24" o.c.
Sh	81	Sarcococca hookeriana humilis	Dwarf Sweet Box	#2 pot, 18" o.c.
SR	87	Sarcococca nuscifolia	Sweet Box	#3 pot, 30" o.c.
Vd	175	Viburnum davidii	David's Viburnum	#2 pot, 24" o.c.

**PERENNIALS/GRASSES**

SYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE
co	288	Carex oshimensis 'Evergold'	Evergold Japanese Sedge	#1 pot, 12" o.c.
	66	Clematis armandii	Evergreen Clematis	#2 pot, 18" o.c., min 3 trailers
c	88	Cotoneaster dammeri	Bearberry Cotoneaster	#1 pot, 15" o.c.
e	149	Erica carnea	Winter Heath	#1 pot, 12" o.c.
f	60	Festuca glauca 'Elijah Blue'	Blue Fescue	#1 pot, 12" o.c.
H	8	Hemerocallis Stella D'oro	Stella D'oro Daylily	#1 pot, 15" o.c.
ha	173	Heuchera 'Amber Waves'	Amber Waves Coral Bells	#1 pot, 12" o.c.
hg	180	Heuchera 'Green Spice'	Green Spice Coral Bells	#1 pot, 12" o.c.
hl	260	Heuchera 'Lime Ricky'	Lime Coral Bells	#1 pot, 12" o.c.
hp	32	Heuchera 'Shanghai Purple'	Purple Coral Bells	#1 pot, 12" o.c.
La	182	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender	#1 pot, 14" o.c.
li	609	Liriope muscari 'Big Blue'	Lily Turf	#1 pot, 12" o.c.
L	153	Lithodora diffusa 'Grace Ward'	Grace Ward Lithodora	#1 pot, 14" o.c.
Ms	46	Miscanthus sinensis 'Malepartus'	Maiden Grass	#2 pot, 18" o.c.
o	384	Ophiopogon japonicus 'Nana'	Dwarf Mondo Grass	9cm pot, 12" o.c.
	61	Parthenocissus quinquefolia	Virginia Creeper	#2 pot, 18" o.c., min 3 trailers
pt	589	Pachysandra terminalis	Pachysandra	9cm pot, 12" o.c.
P	88	Phlox subulata 'Scarlet Flame'	Scarlet Flame Creeping Phlox	#1 pot, 14 o.c.
r	14	Rudbeckia fulgida 'Goldstrum'	Black Eye Susans	#2 pot, 15" o.c.
st	50	Sipa tenuissima	Mexican Feather Grass	#1 pot, 12" o.c.

**DRAWING LIST**

L1.0 COVER SHEET	L2.3 PLANTING PLAN
L1.1 LANDSCAPE SITE PLAN	L2.4 PLANTING PLAN
L1.2 LANDSCAPE SITE PLAN - LEVEL 5	L2.5 PLANTING PLAN - LEVEL 5
L1.3 MATERIALS & GRADING PLAN	L3.1 LANDSCAPE SECTIONS
L1.4 MATERIALS & GRADING PLAN	L3.2 LANDSCAPE SECTIONS
L1.5 MATERIALS & GRADING PLAN	L3.3 LANDSCAPE SECTIONS
L1.6 MATERIALS & GRADING PLAN	L4.1 LANDSCAPE DETAILS
L2.1 PLANTING PLAN	L4.2 LANDSCAPE DETAILS
L2.2 PLANTING PLAN	L4.3 LANDSCAPE DETAILS
	L4.4 LANDSCAPE DETAILS

**MATERIALS KEY**

KEY	MATERIAL
<b>SURFACING</b>	
	SODDED LAWN
	LAYERED SHRUB PLANTING
	GARDENING PLOTS
	24"x24" HYDRAPRESSED CONCRETE PAVERS NATURAL GREY
	CIP CONCRETE BROOM FINISHED PATHWAYS 100MM THICK, SAWCUT AS PER PLAN. REFER TO CIVIL FOR OFFSITE
	FEATURE CONCRETE PAVING NATURAL GREY 4" x 8" HOLLAND PAVES (VEHICULAR AT PARKADE ENTRY), RUNNING BOND
	GRAVEL/RIVER ROCK DRAINAGE STRIP
	PIP RUBBER PLAY SURFACING
	WOOD DECKING FEATURE PAVING
	POUR-IN-PLACE VIRGIN RUBBER PLAY SURFACING GALVANIZED METAL EDGE, COLOURS: PLINT
<b>SURFACING</b>	
	CIP CONCRETE WALLS/CURBS
	CIP CONCRETE STEPS
	BRICK/STONE FACE ARCHITECTURAL WALL
	METAL FENCING & GATE BLACK ALUMINUM PICKET
	LOADING ZONE FENCING
<b>FURNISHING</b>	
	VISITOR BIKE PARKING
	DINING SEATING
	CUSTOM BENCH SEATING
	PICNIC TABLE WITH UMBRELLA HOLDER
	MOVEABLE LOUNGE SEATER
	ALL-SEASON PING PONG TABLE
	KIDS PLAY PLAY PANEL
	KIDS PLAY SPRINGER HORSE
	KIDS PLAY PLAY TOWER
	KIDS PLAY HUT
	KIDS PLAY CLIMBER
	OUTDOOR GYM EQUIPMENT
	BBQ W/ COUNTERTOP SPACE NAPOLEAN BBQ, POLISHED CONCRETE COUNTER
	LEVEL 5 FURNISHING GLOSTER
	LEVEL 5 FURNISHING HARVEST TABLE
<b>FURNISHING</b>	
	RECESSED STEP LIGHTING REFER TO ELECTRICAL FOR FURTHER DETAIL
	LANDSCAPE BOLLARD LIGHTING REFER TO ELECTRICAL FOR FURTHER DETAIL
	HANGING STRING LIGHTS
<b>GRADING</b>	
TW	TOP OF WALL
BW	BOTTOM OF WALL
+3.21	SPOT ELEVATION (METERS)
FFE	FINISHED FLOOR ELEVATION

**LANDSCAPE NOTES**

- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
- Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
- All trees to be staked in accordance with BCNTA Standards.
- ALL STREET TREES Install 8" x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES: CURB AND SIDEWALK).
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.
- All Patios shall be equipped with hose bibs.
- All irrigation valve boxes equipped with quick-couplers.
- Coniferous replacement trees shall be 4m height and deciduous replacement trees shall be 8cm caliper per City of Richmond.

**DESIGN RATIONALE**

The landscape design creates attractive and safe public, semi-private and private spaces for residents and the neighborhood.

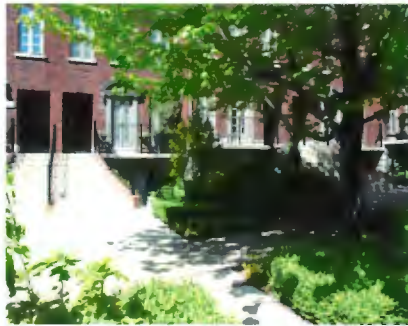
The residential courtyard aims to provide a sense of community and inclusivity by offering a variety of opportunities for different user groups to socialize and enjoy. Two distinct courtyard spaces encourage active and passive types of use. The west space adjacent to building A provides lots of social gathering opportunities on a large seating terrace overlooking a kid's play space and flexible use open lawn. Within the east courtyard encircled by building B, a raised garden is proposed. Surrounded by trees and lush planting, the create a relaxed and intimate garden. Connecting these spaces east and west runs a central spine with a fitness amenity zone and rows of tree planting. All units have been designed to have a private patio or an entry porch with private access to the courtyard spaces.

Along the street frontages, grade differentials to private patios at Westminster Hwy, Azure Blvd and Azure Road are addressed through terracing of landscape planters. These terraces are designed to provide effective privacy screening without compromising soil volumes for semi-mature tree plantings. Finished soil levels will be sloped to further assist in bedding the terraced walls into the landscape. Where feasible, stepped access is provided for residents to gain access to private patios from street level.

The project contributes to the neighbourhood by providing an attractive public parkette tucked back from the junction of Azure Road and Azure Blvd. Building entry plazas provide opportunities for public seating and gathering along all three sides.

On the level 5 amenity terrace, the range of programs include an outdoor kitchen and dining, outdoor lounges, sun lawn and urban agriculture planters. A trellis with catenary lighting will enclose and protect the kitchen/dining space with attractive timber decking. Trees will be planted in raised planters to provide additional shade.

**PRECEDENT IMAGERY**



3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
no.:	date:	item:

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www.dkl.bc.ca

DP 23-023854  
May 22, 2024  
DP Plan # 25

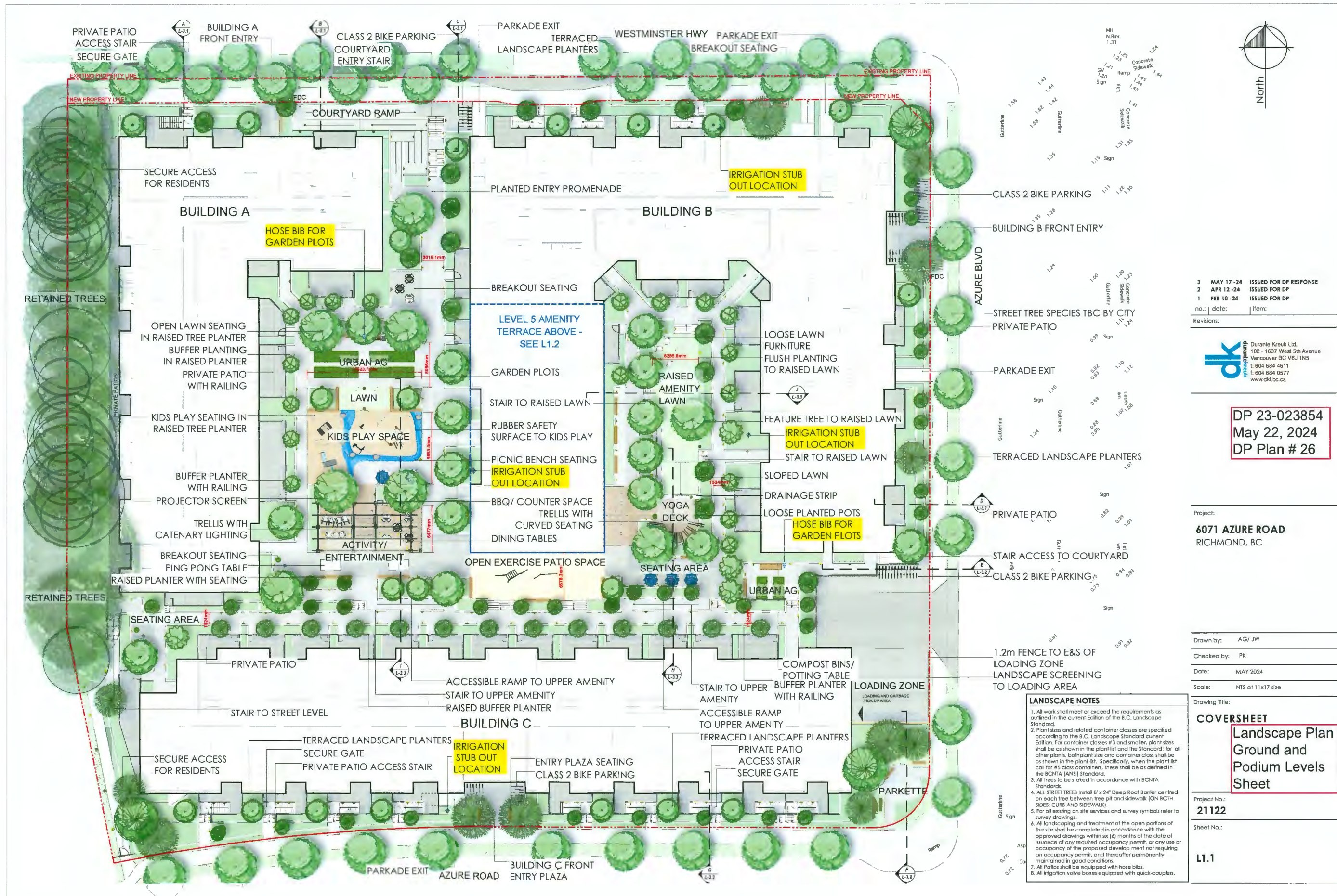
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by:	AGJ/JW
Checked by:	PK
Date:	MAY 2024
Scale:	NTS at 1:1x17 size

**COVERSHEET**  
Plant List,  
Materials and  
Notes Sheet

Sheet No.:  
**21122**

L1.0



3 MAY 17-24 ISSUED FOR DP RESPONSE  
 2 APR 12-24 ISSUED FOR DP  
 1 FEB 10-24 ISSUED FOR DP  
 no.: | date: | item:  
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DP 23-023854  
 May 22, 2024  
 DP Plan # 26

Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: AG/ JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS at 1/16" = 1'-0"

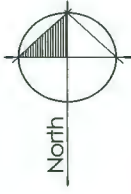
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**COVERSHEET**  
**Landscape Plan**  
**Ground and**  
**Podium Levels**  
**Sheet**

Project No.:  
**21122**

Sheet No.:  
**L1.1**

- LANDSCAPE NOTES**
- All work shall meet or exceed the requirements as outlined in the current Edition of the B.C. Landscape Standard.
  - Plant sizes and related container classes are specified according to the B.C. Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the BCNTA (ANSI) Standard.
  - All trees to be planted in accordance with BCNTA Standards.
  - ALL STREET TREES install 8' x 24" Deep Root Barrier centred on each tree between tree pit and sidewalk (ON BOTH SIDES, CURB AND SIDEWALK).
  - For all existing on site services and survey symbols refer to survey drawings.
  - All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development that requiring an occupancy permit, and thereafter permanently maintained in good conditions.
  - All Patios shall be equipped with hose bibs.
  - All irrigation valve boxes equipped with quick-couplers.





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1	FEB 10-24	ISSUED FOR DP
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**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 27**

Project:

**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: AG/JW

Checked by: PK

Date: MAY 2024

Scale: NTS at 11x17 size

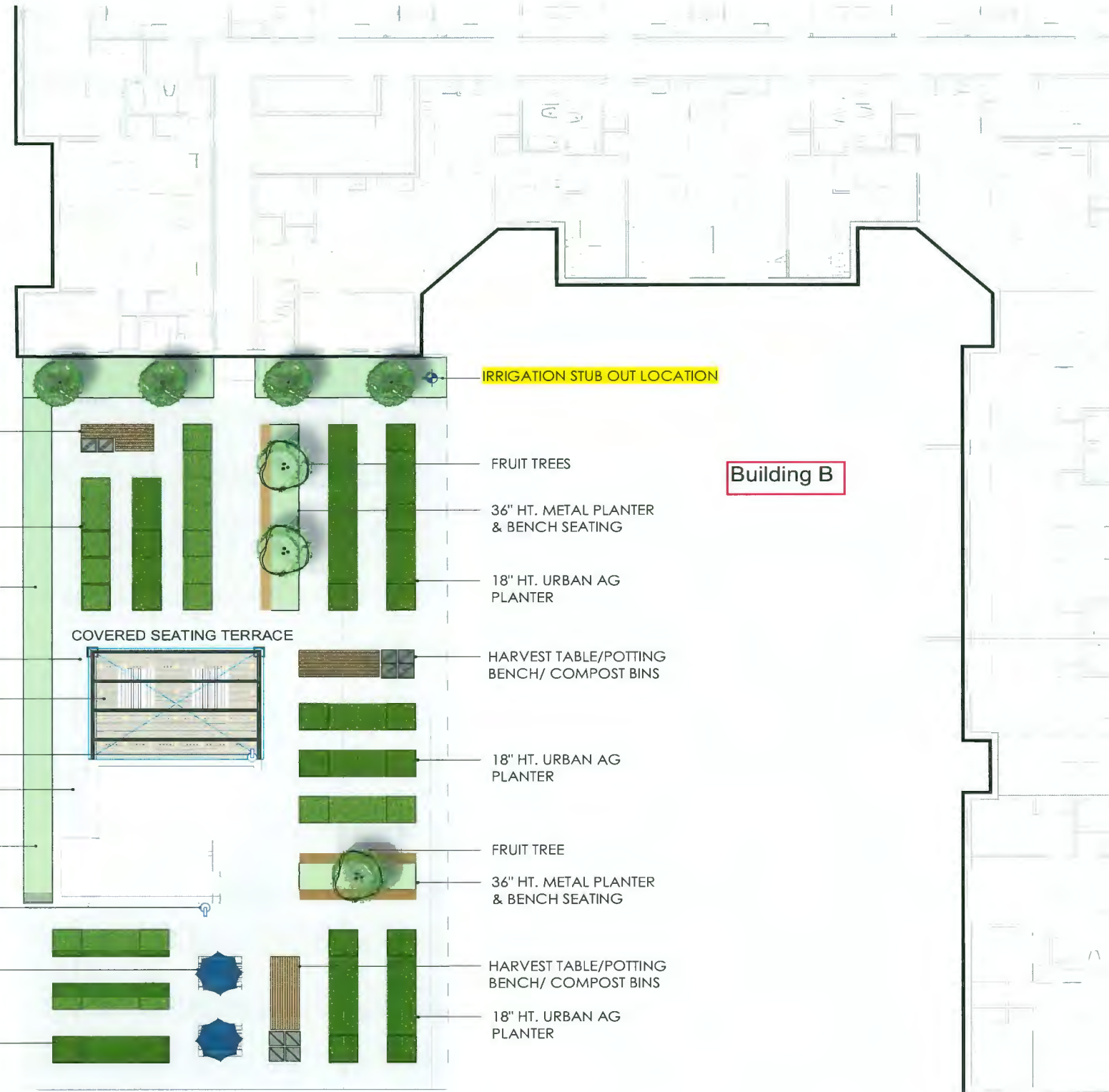
Drawing Title:

**LANDSCAPE PLAN**  
**LEVEL 5**

Project No.:  
**21122**

Sheet No.:

**L1.2**

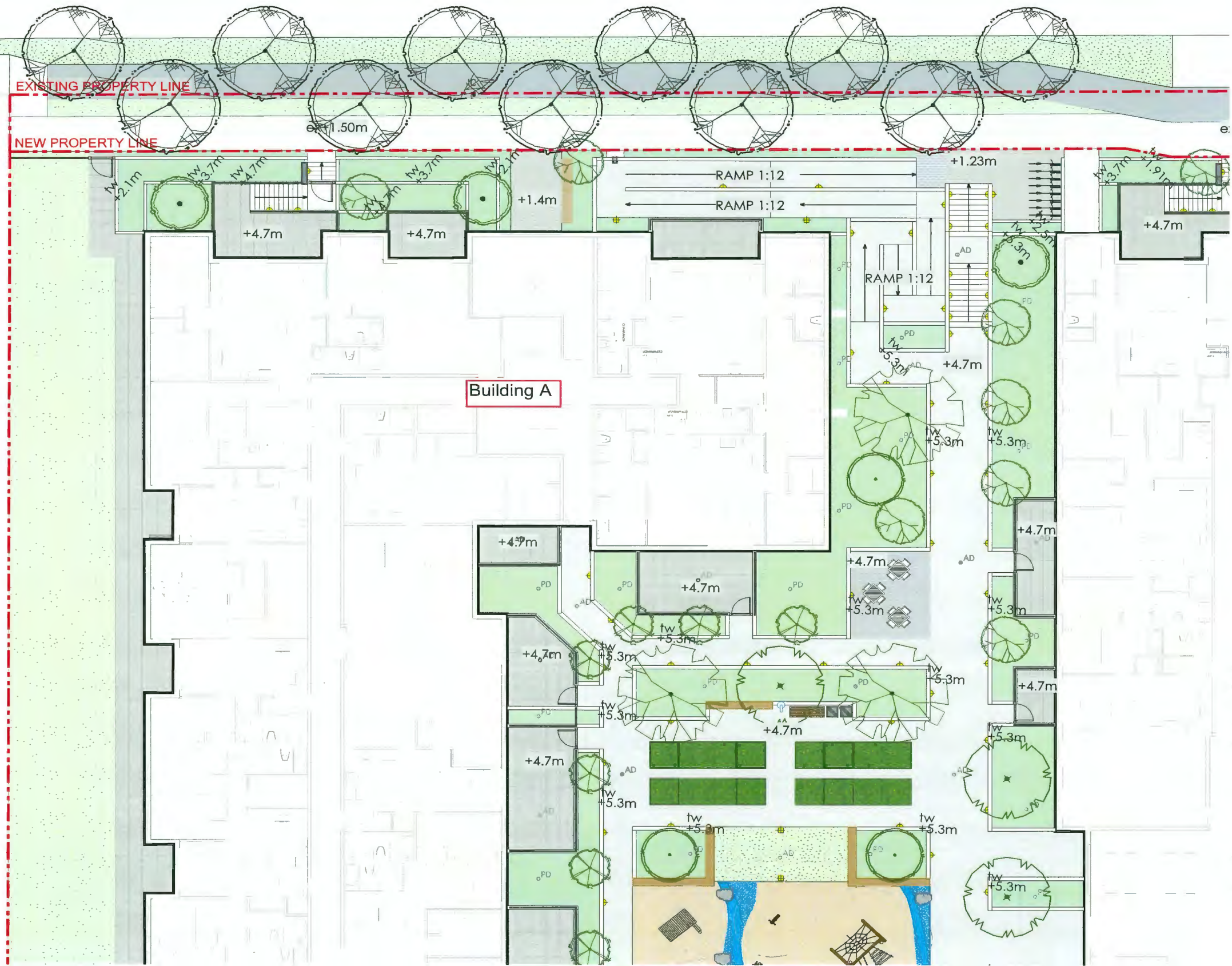
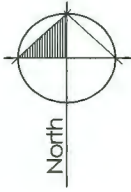


**Building B**

- HARVEST TABLE/POTTING BENCH/ COMPOST BINS
- 18" HT. URBAN AG PLANTER
- PERIMETER PLANTER
- TRELLIS/ CATENERY LIGHTING
- WOOD DECKING
- HOSE BIB FOR GARDEN PLOTS
- IRRIGATION CLOSET
- PERIMETER PLANTER
- HOSE BIB FOR GARDEN PLOTS
- BENCH SEATING
- 18" HT. URBAN AG PLANTER

- IRRIGATION STUB OUT LOCATION
- FRUIT TREES
- 36" HT. METAL PLANTER & BENCH SEATING
- 18" HT. URBAN AG PLANTER
- HARVEST TABLE/POTTING BENCH/ COMPOST BINS
- 18" HT. URBAN AG PLANTER
- FRUIT TREE
- 36" HT. METAL PLANTER & BENCH SEATING
- HARVEST TABLE/POTTING BENCH/ COMPOST BINS
- 18" HT. URBAN AG PLANTER





3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
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**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 28**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: NTS of 11x17 size  
Scale: 1:100

Drawing Title:  
**MATERIALS & GRADING PLAN**

Project No.:  
**21122**  
Sheet No.:

**L1.3**



3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
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**DP 23-023854**  
 May 22, 2024  
 DP Plan # 29

Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS at 11x17 size

Drawing Title:  
**MATERIALS & GRADING PLAN**

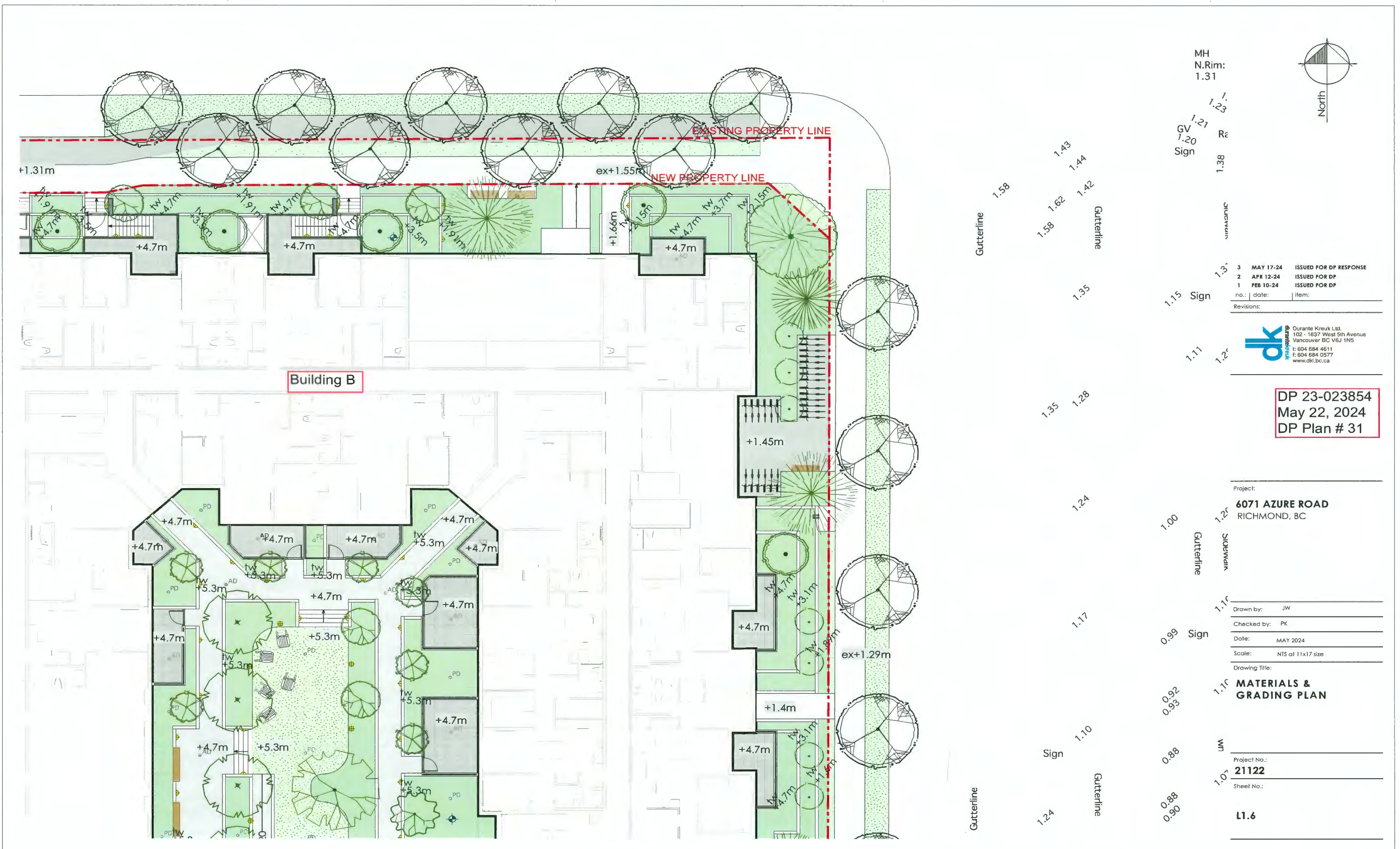
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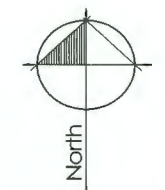
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**Building C**





MH  
N.Rim:  
1.31



GV  
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Sign  
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R<sub>c</sub>

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1.43  
1.44  
1.42

- 3 MAY 17-24 ISSUED FOR DP RESPONSE
- 2 APR 12-24 ISSUED FOR DP
- 1 FEB 10-24 ISSUED FOR DP

no.: | date: | item:

Revisions:



**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 31**

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW

Checked by: PK

Date: MAY 2024

Scale: NTS at 1:1x17 size

Drawing Title:

**MATERIALS & GRADING PLAN**

Project No.:  
**21122**

Sheet No.:

**L1.6**

Gutterline  
1.58

1.58  
1.62  
1.42  
Gutterline

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Sign

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1.2<sub>c</sub>

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Gutterline  
SIDEWALK

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Sign

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Sign

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0.90

Gutterline

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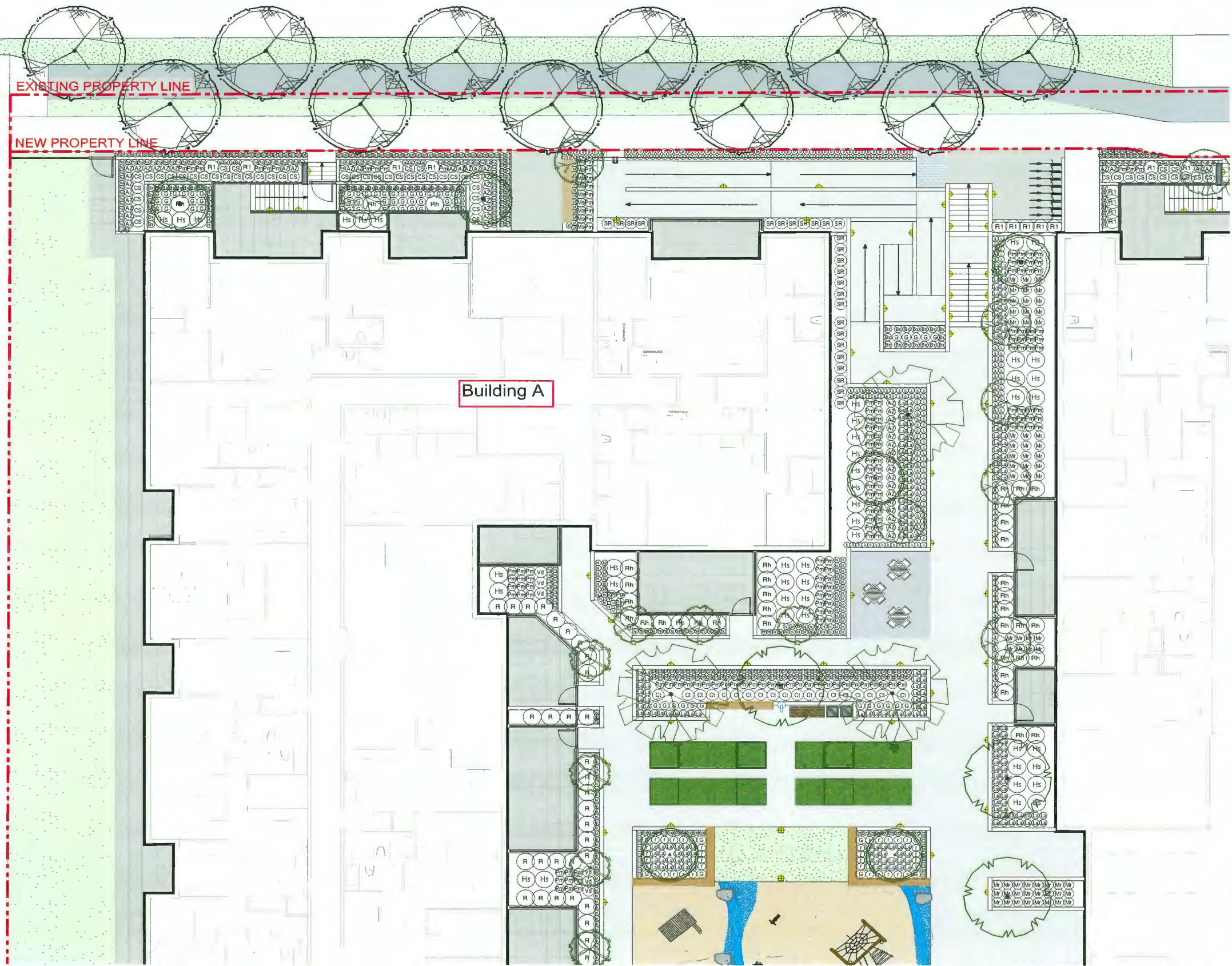
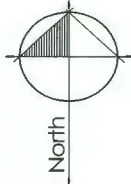
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3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
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Revisions:

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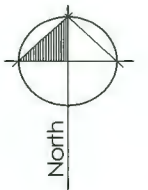
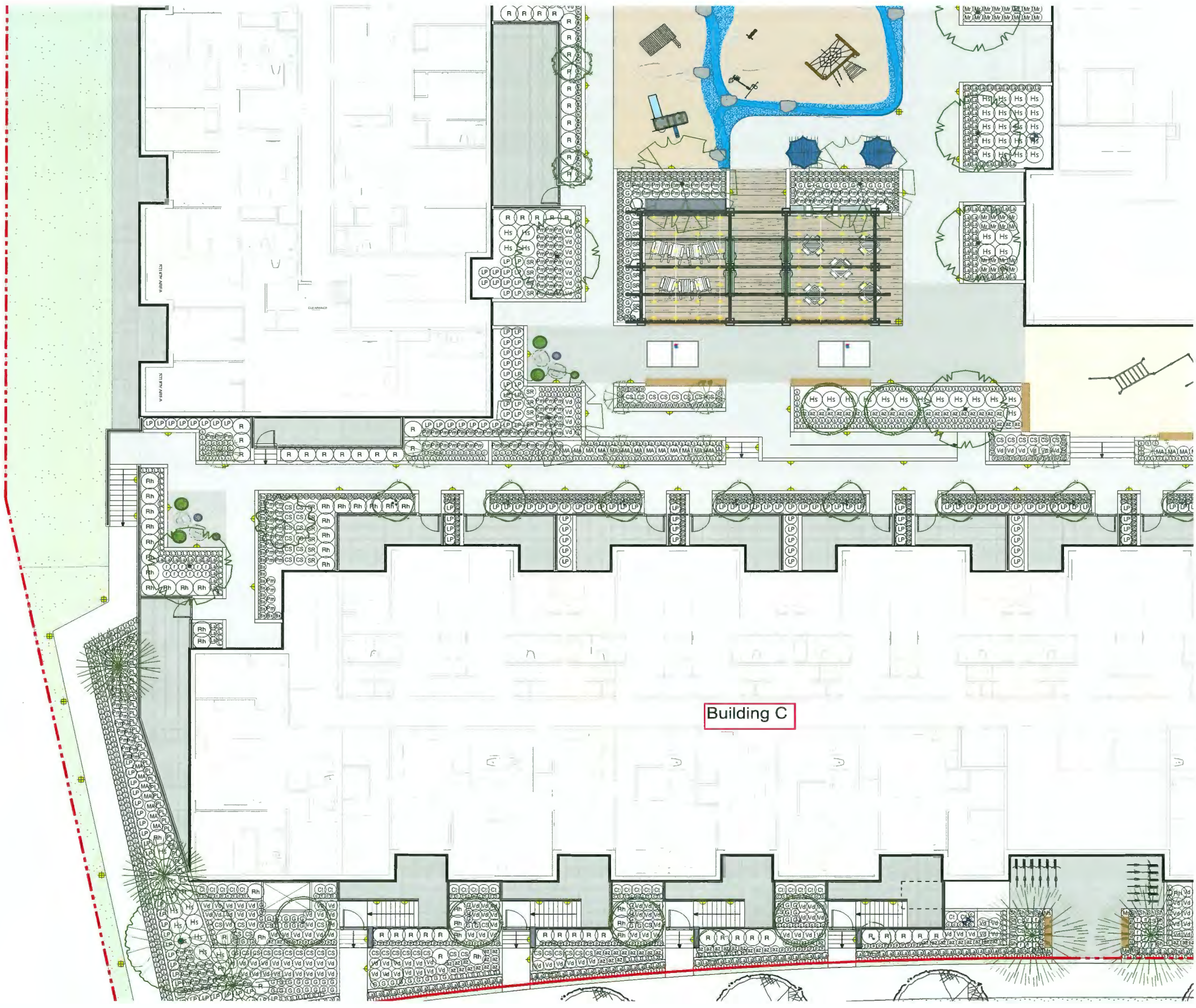
DP 23-023854  
May 22, 2024  
DP Plan # 32

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: INTS at 11x17 size  
Scale: 1:200  
Drawing Title:  
**PLANTING PLAN**

Project No.:  
**21122**  
Sheet No.:

**L2.1**



3	MAY 17-24	ISSUED FOR DP REPSONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP
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Revisions:

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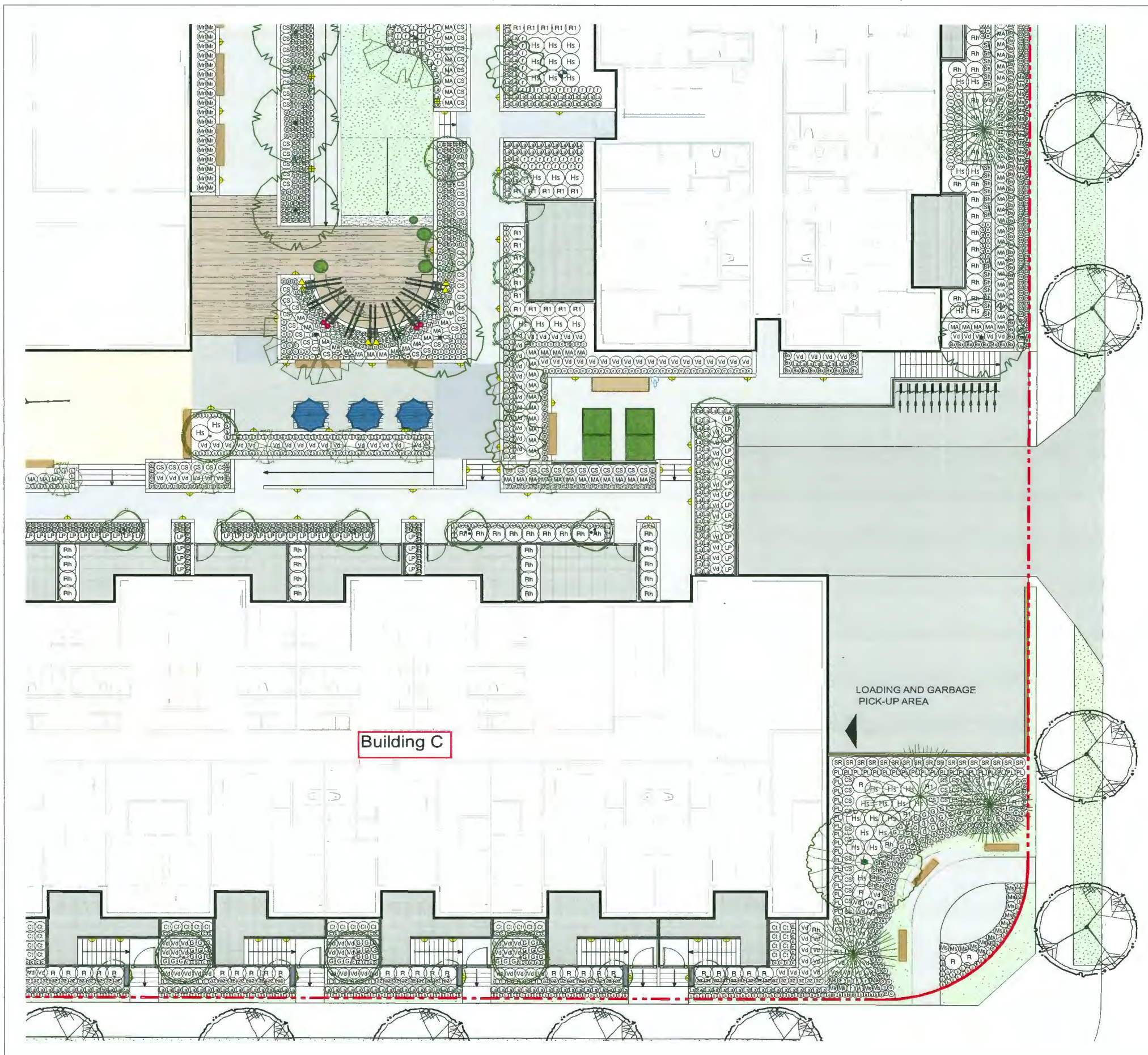
**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 33**

Project:  
**6071 AZURE ROAD**  
 RICHMOND, BC

**Building C**

Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS of 1:1x17 size  
 Drawing Title:  
**PLANTING PLAN**

Project No.:  
**21122**  
 Sheet No.:  
**L2.2**



**Building C**

LOADING AND GARBAGE  
PICK-UP AREA

Gutterline 1.24  
Gutterline 1.22  
Gutterline 0.96  
Gutterline 0.90  
Gutterline 0.91  
Gutterline 0.84  
Gutterline 1.06  
Gutterline 0.80  
Gutterline 1.01  
Gutterline 0.83

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North

3 MAY 17-24 ISSUED FOR DP RESPONSE  
2 APR 12-24 ISSUED FOR DP  
1 FEB 10-24 ISSUED FOR DP  
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Revisions:

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**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 34**

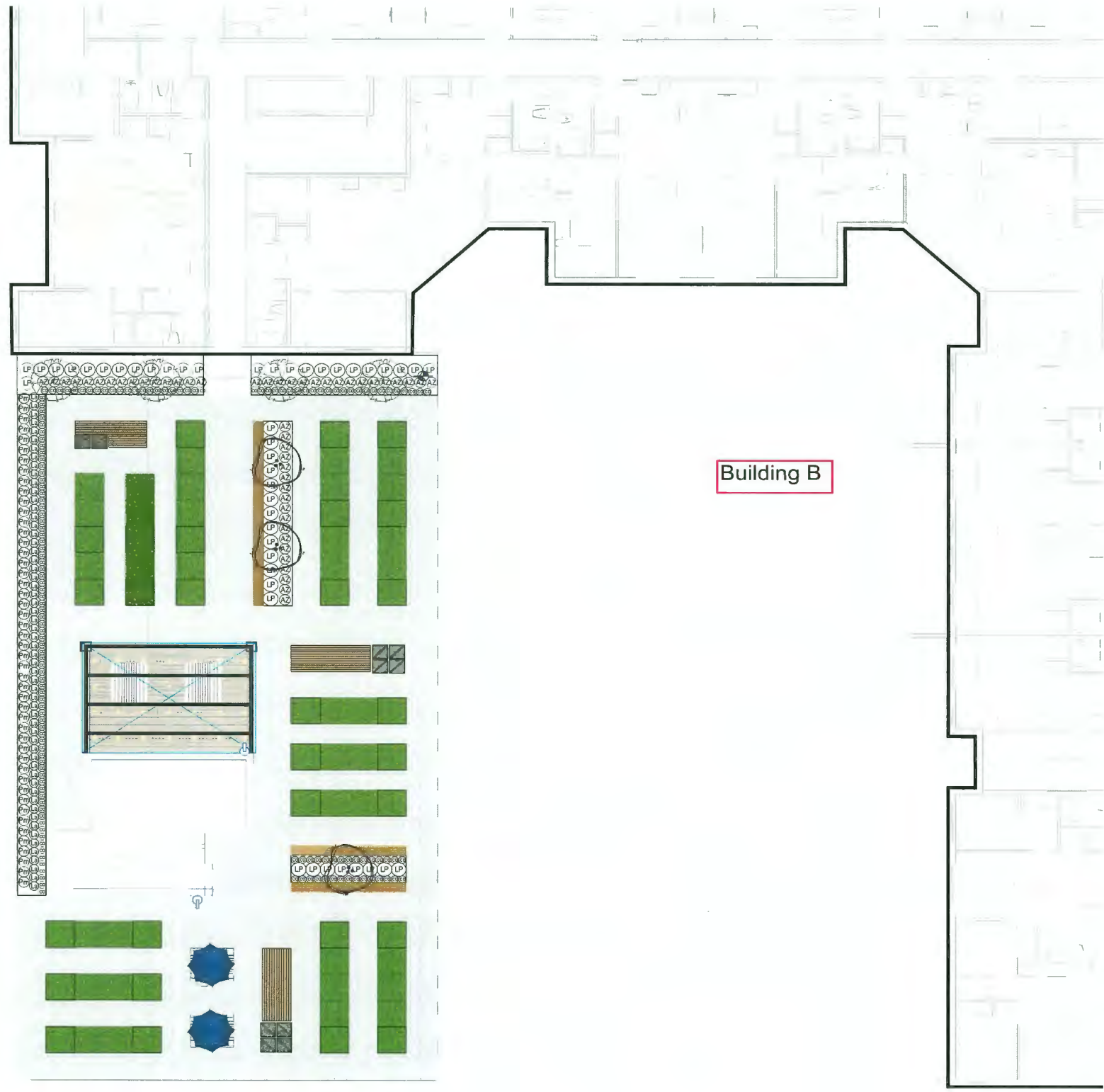
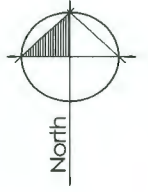
Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size  
Drawing Title:  
**PLANTING PLAN**

Project No.:  
**21122**  
Sheet No.:  
**L2.3**







no.	date	item
3	MAY 17-24	ISSUED FOR DP RESPONSE
2	APR 12-24	ISSUED FOR DP
1	FEB 10-24	ISSUED FOR DP

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DP 23-023854  
May 22, 2024  
DP Plan # 36

Project:

**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: AG/JW

Checked by: PK

Date: MAY 2024

Scale: NTS at 11x17 size

Drawing Title:

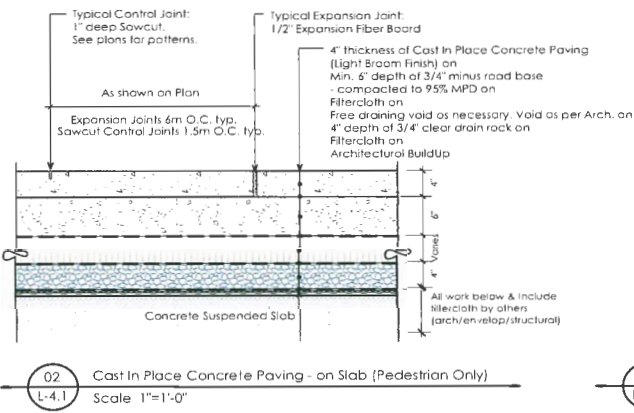
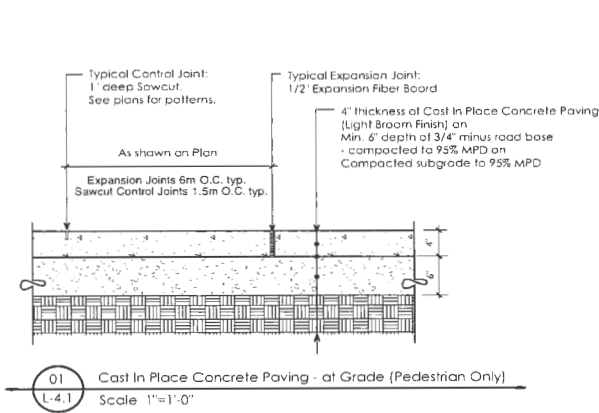
**PLANTING PLAN  
LEVEL 5**

Project No.:  
**21122**

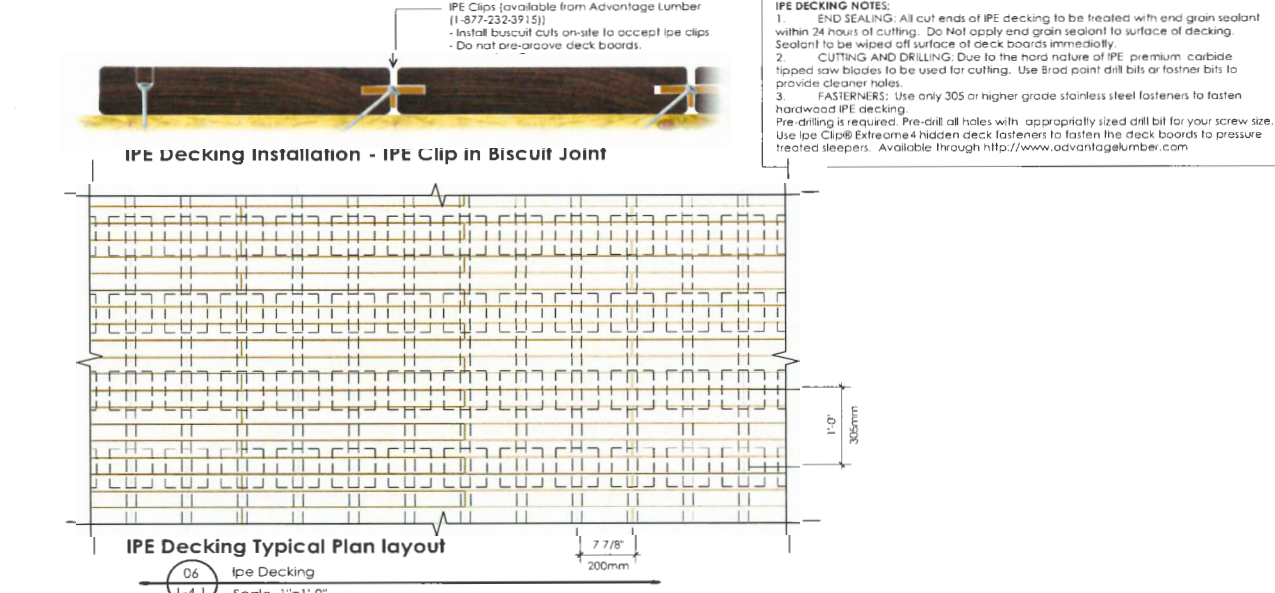
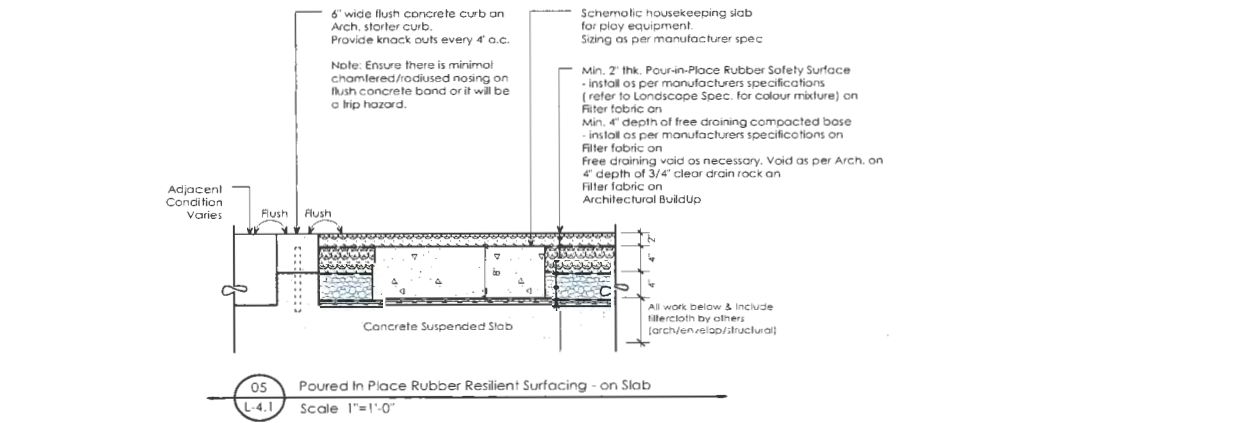
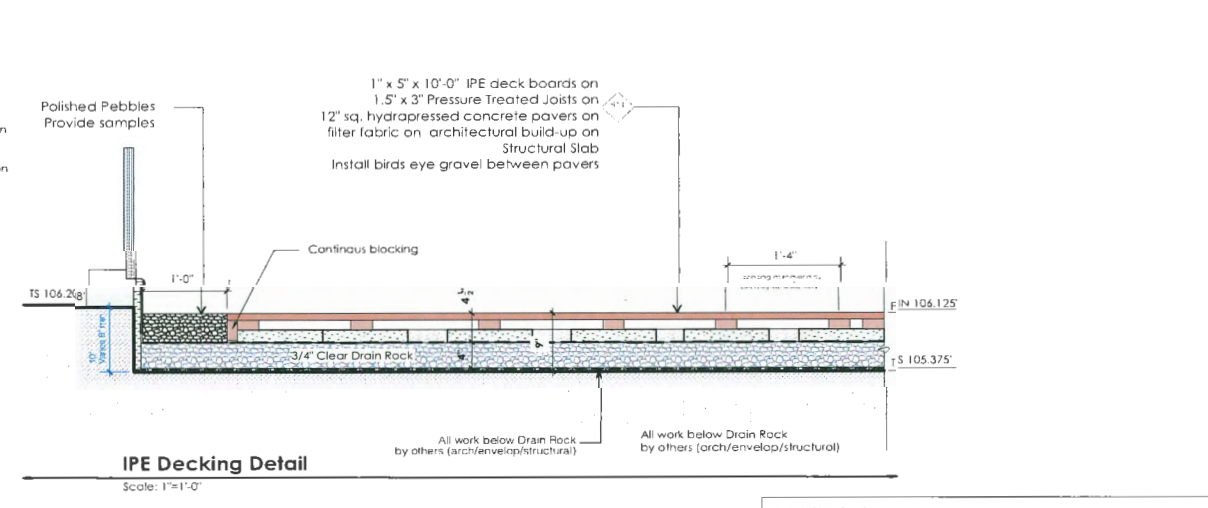
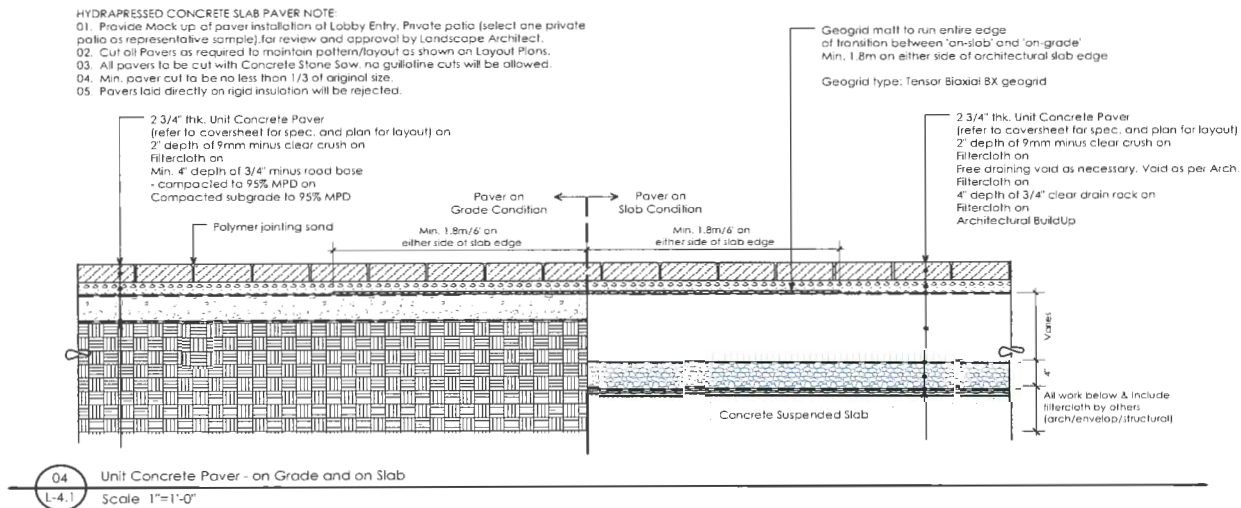
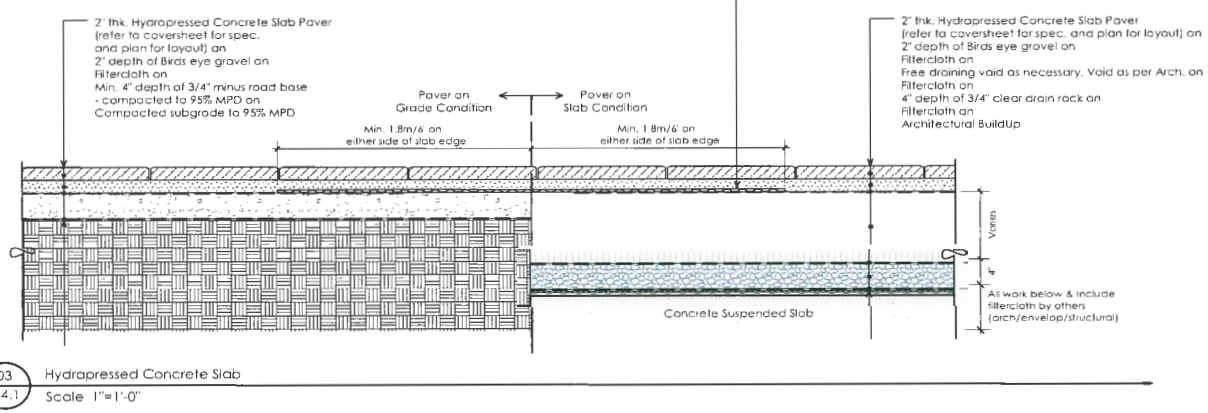
Sheet No.:

**L2.5**





**HYDRAPRESSED CONCRETE SLAB PAVER NOTE:**  
 01. Provide Mock up of paver installation at Lobby Entry, Private patio (select one private patio as representative sample) for review and approval by Landscape Architect.  
 02. Cut all Pavers as required to maintain pattern/layout as shown on Layout Plans.  
 03. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.  
 04. Min. paver cut to be no less than 1/3 of original size.  
 05. Pavers laid directly on rigid insulation will be rejected.



**IPE DECKING NOTES:**  
 1. END SEALING: All cut ends of IPE decking to be treated with end grain sealant within 24 hours of cutting. Do Not apply end grain sealant to surface of decking. Sealant to be wiped off surface of deck boards immediately.  
 2. CUTTING AND DRILLING: Due to the hard nature of IPE, premium carbide tipped saw blades to be used for cutting. Use Brad point drill bits or fastner bits to provide cleaner holes.  
 3. FASTENERS: Use only 305 or higher grade stainless steel fasteners to fasten hardwood IPE decking. Pre-drilling is required. Pre-drill all holes with appropriately sized drill bit for your screw size. Use Ipe Clip® Extreme 4 hidden deck fasteners to fasten the deck boards to pressure treated sleepers. Available through <http://www.advantagelumber.com>

3	MAY 17-24	ISSUED FOR DP RESPONSE
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no.	date:	item:



**DP 23-023854**  
**May 22, 2024**  
**DP Plan # 37**

Project:  
**6071 AZURE ROAD**  
**RICHMOND, BC**

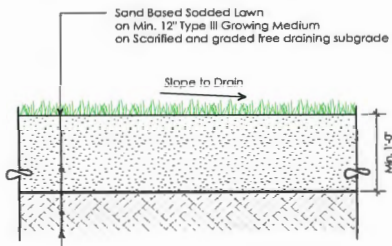
Drawn by: JW  
 Checked by: PK  
 Date: MAY 2024  
 Scale: NTS at 11x17 size

Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
 Sheet No.:

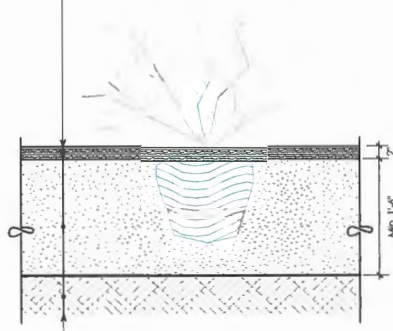
**L4.1**

Note:  
Sod other than that with a sand base and/or with mesh will be rejected, and the specified sod re-installed at contractor's expense.



01 Sand Based Sodded Lawn - On Grade  
L-4.2 Scale 1"=1'-0"

2" depth of well compacted Mulch  
(note: ensure plants are not buried by mulch)  
on Min. 18" Type III Growing Medium  
on Screeded and graded free draining subgrade



02 Shrub Planting - On Grade  
L-4.2 Scale 1"=1'-0"

Sand Based Sodded Lawn on Min. 12" Type III Growing Medium on Filter fabric on 4" depth of 3/4" drain rock on Filter fabric on Architectural Buildup

2" deep x 18" wide swale of base of sloping lawn Great Lawn of courtyard

Perforated Drain Line - refer to Mech. Draws.

6" wide flush concrete curb on Arch. starter curb. Provide knock outs every 4' o.c.

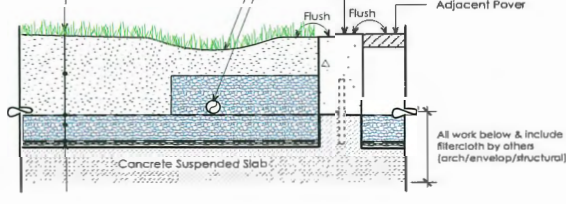
Note: Ensure there is minimal chamfered/radiused nosing on flush concrete bond or it will be a trip hazard.

Flush Flush

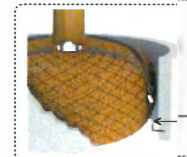
Adjacent Paver

Concrete Suspended Slab

All work below & include filtercloth by others (arch/envelop/structural)

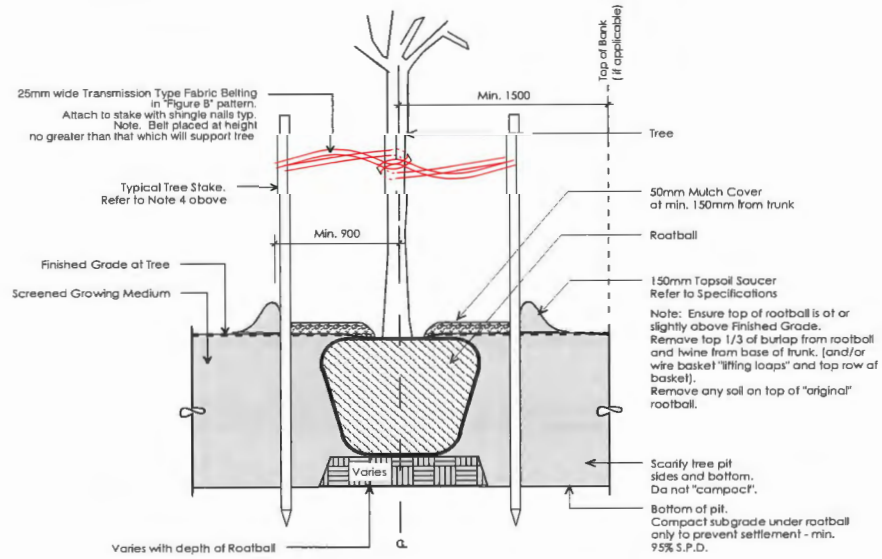


03 Sand Based Sodded Lawn - On Slab  
L-4.2 Scale 1"=1'-0"



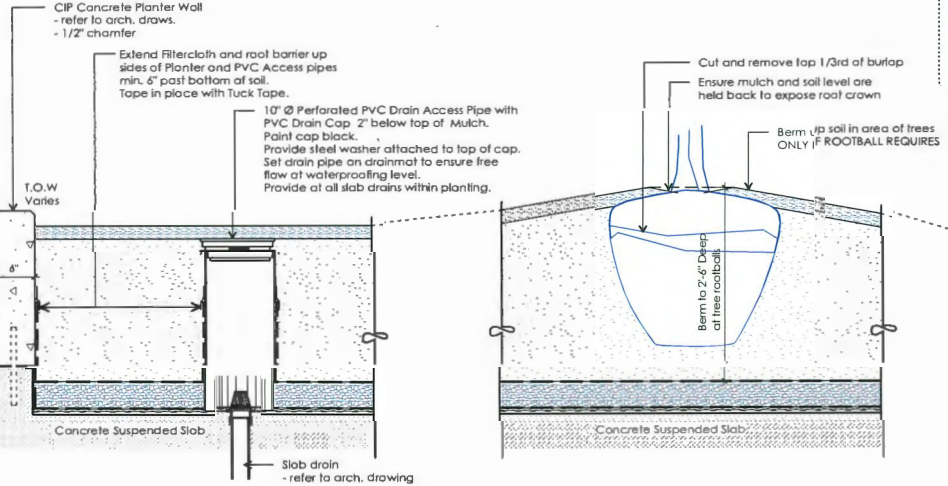
Attach rootball anchoring Res/straps to clips embedded in concrete parapet wall. Alternative system uses soil to loadlock driven anchors (Pialtipus System)

- General Notes:
1. Do not cut Tree Leader.
  2. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
  3. Ensure tree location does not conflict with Underground Services. "Call before digging".
  4. All steel trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
  5. Provide min. 5 cubic meters of growing medium per tree.
  6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



Depth of Growing Medium total (mm)	Area (M2)	Variation 1		Variation 2	
		Size of Surface Square	Size of Surface Circle	Size of Surface Square	Size of Surface Circle
450	11.11	3.3 M x 3.3 M	3.80 M Ø		
600	8.33	2.9 M x 2.9 M	3.25 M Ø		
750	6.67	2.6 M x 2.6 M	2.90 M Ø		

04 Typical Tree Planting - On Grade  
L-4.2 NTS



05 Shrub/Tree Planting - On Slab  
L-4.2 SCALE 1"=1'-0"

- 3 MAY 17-24 ISSUED FOR DP RESPONSE
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DP 23-023854  
May 22, 2024  
DP Plan # 38

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW

Checked by: PK

Date: MAY 2024

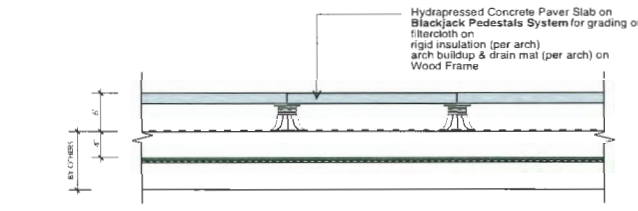
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Drawing Title:  
**LANDSCAPE SECTIONS**

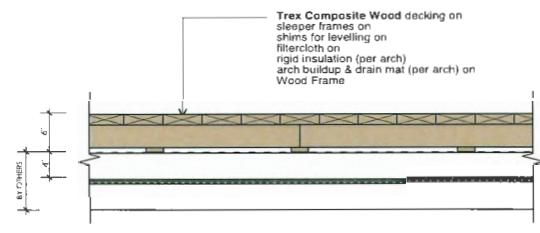
Project No.:  
**21122**

Sheet No.:

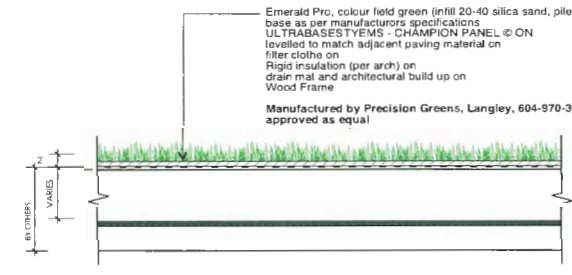
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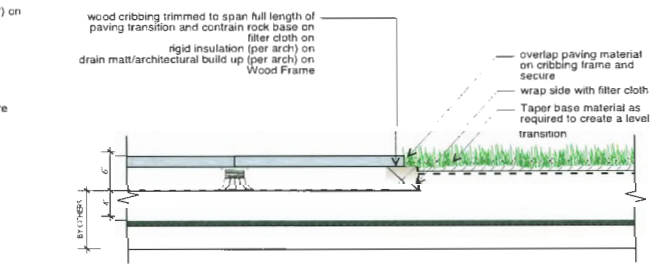
01 Unit Concrete Pavers - On Wood Frame  
L-4.3 Scale 1"=1'-0"



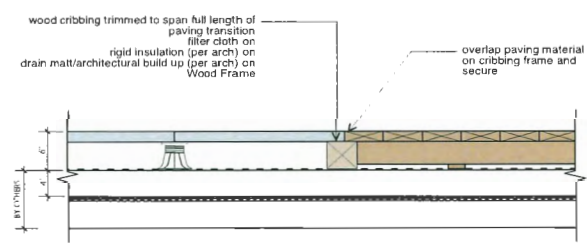
02 Composite Wood Decking - On Wood Frame  
L-4.3 Scale 1"=1'-0"



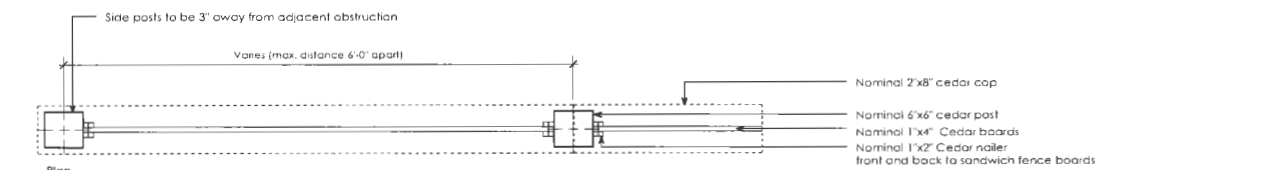
03 Artificial Turf - On Wood Frame  
L-4.3 Scale 1"=1'-0"



04 Unit Concrete Pavers to Artificial Turf Transition - On Wood Frame  
L-4.3 Scale 1"=1'-0"

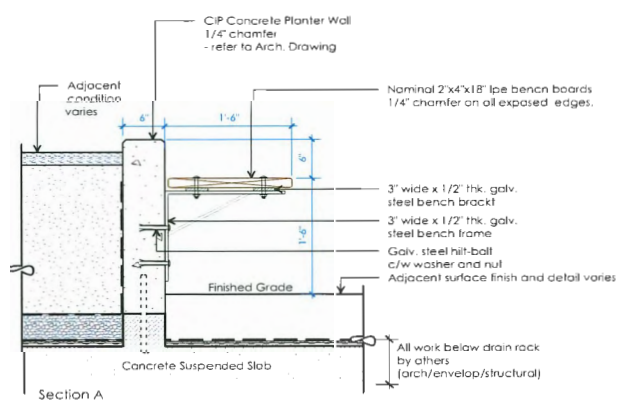


05 Unit Concrete Pavers to Decking Transition - On Wood Frame  
L-4.3 Scale 1"=1'-0"

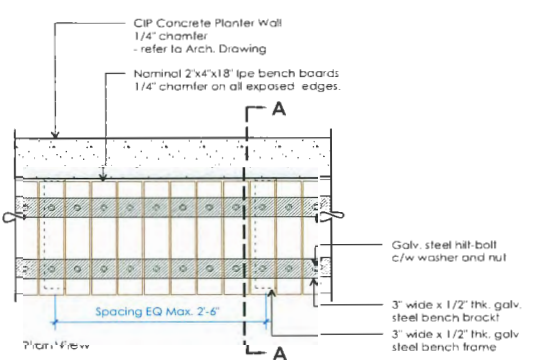


General Wood Notes:  
1. Confirm all dimensions on site.  
2. All fence material to be grade #1 Cedar.  
3. Painted to color, Iron Mountain. Color picked by LEDINGHAM McALLISTER.

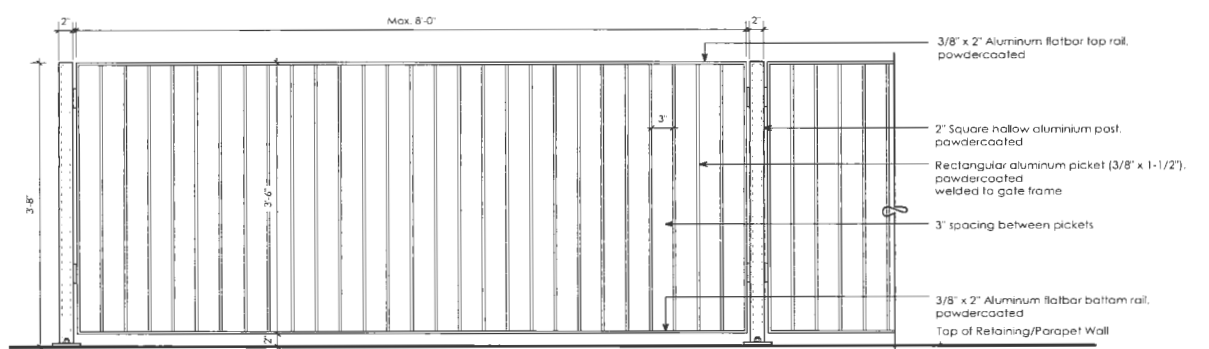
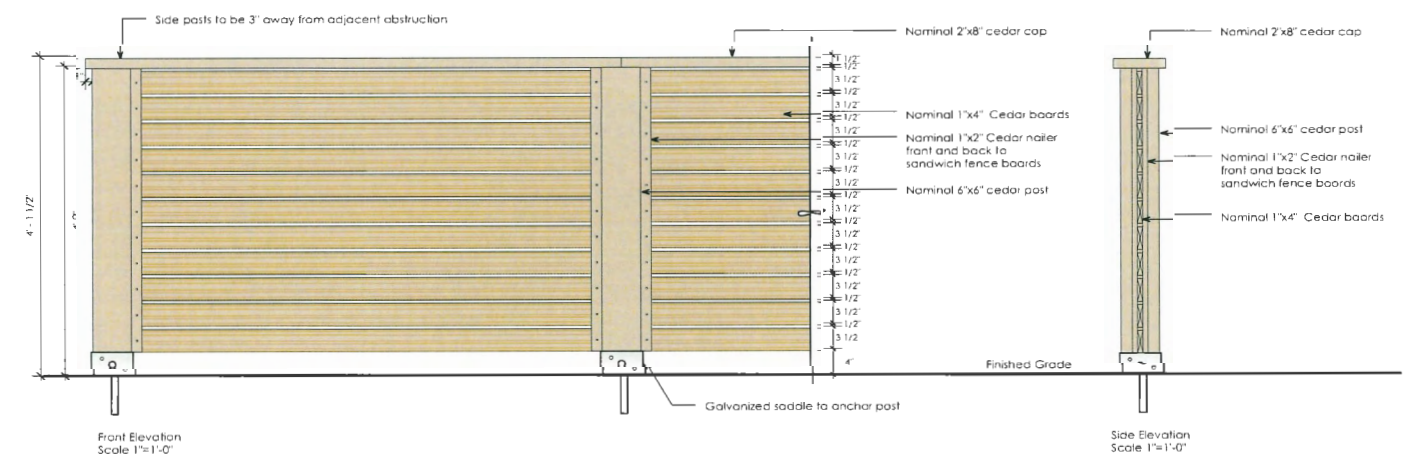
NOTE:  
1. All bench bracket metal to be hot-dipped galvanized steel.  
2. All ball holes to be pre-drilled before hot-dip galvanization.  
3. Galv. steel bracket to be all-weld construction.  
4. Provide shop drawings for benches to be reviewed by Landscape Architect prior to manufacturing.



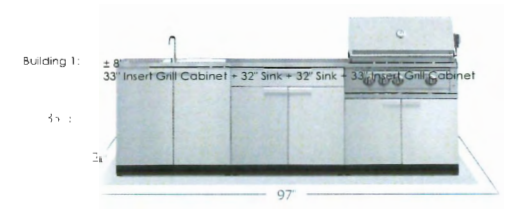
06 Custom Cantilever Bench  
L-4.3 Scale 1"=1'-0"



07 Timber Fencing To Loading Zone  
L-4.3 Scale 1"=1'-0"



08 Metal Picket Gaurd rail  
L-4.3 Scale 1"=1'-0"

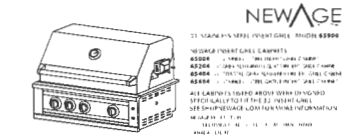


09 Outdoor Kitchen Set  
L-4.3 Scale 1"=1'-0"



**Warning: Excessive weight hazard!**  
Use two or more people to move, assemble, or install cabinets to avoid back injury. Do not leave children unattended near grill or cabinets. High risk of tipping if cabinets are installed improperly. Securely attach cabinets to the wall to avoid serious injury. For assistance, call 1-877-308-8930, fax 1-877-308-8930, or email at info@newageproducts.com.

**ATTENTION: Is your grill damaged?**  
Need help or spare parts? For fastest service, contact NewAge Products at 1-877-308-8930 or support@newageproducts.com. Do not return to the retailer.



**OUTDOOR KITCHEN 33" GRILL**  
Installation and Operation Manual

**Warning: Excessive weight hazard!**  
Use two or more people to move, assemble, or install the grill to avoid back injury. Do not leave children unattended near grill or cabinets. High risk of tipping if cabinets are installed improperly. Securely attach cabinets to the wall to avoid serious injury. For assistance, call 1-877-308-8930, fax 1-877-308-8930, or email at info@newageproducts.com.

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no.: date: item:



DP 23-023854  
May 22, 2024  
DP Plan # 39

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size

**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:

**L4.3**

**Horse**

M12



**Item no. M1201-02UP**

**General Product Information**

Dimensions LxWxH: 25x25x22 cm

Age group: 2-5

Play capacity (users): 1

Colour options: [Color swatches]

The Horse is a horizontally-riding spring rider which allows and supports children's play imaginatively. The riding motion is a great movement experience. Movement responses to one of the greatest play materials are: apart from the fun, the responsive movement also trains the

understanding of cause and effect in young children. That actions have an effect on the world. Working on the horse trains the child's sense of balance and space as well as hand and arm muscles which holding light and pushing their feet into the foot support. All of these skills come into play. The responsive movement also trains the

responsibility important life skills such as being able to sit up on a chair or manage toilet hygiene.

The horse is a horizontally-riding spring rider which allows and supports children's play imaginatively. The riding motion is a great movement experience. Movement responses to one of the greatest play materials are: apart from the fun, the responsive movement also trains the

Data is subject to change without prior notice

01 Kids Play - Springer Horse  
L-4.4 NTS

**Play Panel 3 - Learning, Classic**

PN00321



**Item no. PN00321-0390**

**General Product Information**

Dimensions LxWxH: 27x18x4x75 cm

Age group: 6-8

Play capacity (users): 10

Colour options: [Color swatches]

The Learning Play panel 3 is a versatile learning panel for children in parks to the richly varied activities. The panel contains the richly varied activities and allows and supports children's play imaginatively. The panel contains the richly varied activities and allows and supports children's play imaginatively. The panel contains the richly varied activities and allows and supports children's play imaginatively.

turn each other and the panel will support materials through. To young children, this means that they can explore and discover the world around them. The panel contains the richly varied activities and allows and supports children's play imaginatively. The panel contains the richly varied activities and allows and supports children's play imaginatively.

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03 Kids Play - Play Panel  
L-4.4 NTS

**Playhut with Side, Gable & Desks**

NR0415



**Item no. NR0415-1021**

**General Product Information**

Dimensions LxWxH: 160x120x150 cm

Age group: 5-8

Play capacity (users): 12

Colour options: [Color swatches]

View! This attractive playhut invites children to play together in both creative and imaginative ways. The open-ended design encourages shared and imaginative play within and around the playhut. Children will want to play longer due to the simple yet intentional design and the desks in its play features. The roof provides a shaded space

allowing the children to move in and out of the playhut while along their imagination. The small window will support play on all sides of the playhut and encourages free play with their imagination. The bench with a desk with their development. The bench with a desk with their development. The bench with a desk with their development.

allows for exchanges from in and outside. All of these activities support a healthy development through play.

allows for exchanges from in and outside. All of these activities support a healthy development through play.

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05 Kids Play - Play Hut  
L-4.3 NTS

**Play Tower with Slide**

PCM101431



**Item no. PCM10143-0001**

**General Product Information**

Dimensions LxWxH: 28x22x170 cm

Age group: 2-4

Play capacity (users): 12

Colour options: [Color swatches]

The Play Tower with Slide attracts growing toddlers to physical play again and again. The accessible structure and the slide make children run up and slide down in large numbers. Apart from being fun, children also learn their muscles and fundamental motor skills this way. When sliding, children learn the sense of balance, which is the foundation for

all other motor skills and physical actions. The play tower allows interaction from the outside to the inside and adds a feeling of height which makes the structure. On the other side a climb and basic motor exercises for understanding of time, space and measure to well as emotional experiences. The area makes make great ground level play destinations. They encourage

meetings and makes a cool for users. The slide with built-in seat of slides, riding gives a pleasant and sensory input. It also stimulates cross-modal perception which is important for reading.

meetings and makes a cool for users. The slide with built-in seat of slides, riding gives a pleasant and sensory input. It also stimulates cross-modal perception which is important for reading.

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02 Kids Play - Play Tower  
L-4.4 NTS

**Climbing Net**

NR0413



**Item no. NR0413-0001**

**General Product Information**

Dimensions LxWxH: 24x20x200 cm

Age group: 5-12

Play capacity (users): 7

Colour options: [Color swatches]

The Climbing Net is a versatile climber that children will want to try again and again. The central spider net and ropes with climbing devices offer fun and challenging ways to climb up and down again. The Spider Net has partly inflated horizontal bars, which create an extra challenge when climbing. This means participation: tactile awareness and coordi-

coordination. All of these motor skills are fundamental for judging distances, managing the surroundings confidently to avoid accidents. The Climbing Ropes offer a different kind of climbing, clinging on to ropes while going upwards. The netted climbing frame has an arm and core muscles intensely. The Spider Climbing Net can hold many climbing

together or using a break using rope: hand-arms, etc.

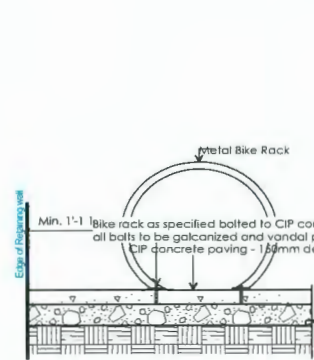
together or using a break using rope: hand-arms, etc.

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04 Kids Play - Microclimber  
L-4.4 NTS

**LOOP 2 SPACE BIKE RACK**

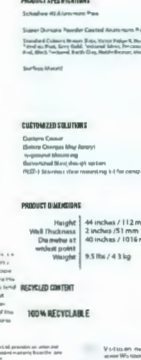
06



06 Metal Bike Rack  
Scale 1"=1'-0"

**Wishbone**

06



06 Metal Bike Rack  
Scale 1"=1'-0"



07 Landscape Lighting - Recessed Wall Lights  
L-4.4 NTS



08 Landscape Lighting - Hanging String Lights  
L-4.4 NTS



09 Landscape Lighting - Bollard Lights  
L-4.4 NTS

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**DP 23-023854**  
May 22, 2024  
DP Plan # 40

Project:  
**6071 AZURE ROAD**  
RICHMOND, BC

Drawn by: JW  
Checked by: PK  
Date: MAY 2024  
Scale: NTS at 11x17 size

Drawing Title:  
**LANDSCAPE SECTIONS**

Project No.:  
**21122**  
Sheet No.:

**L4.4**