



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, June 11, 2025
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on May 28, 2025.*



1. DEVELOPMENT PERMIT 23-028741
(REDMS No. 7781399)

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 7511 St. Albans Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of five townhouse units at 7511 St. Albans Road on a site zoned "High Density Townhouse (RTH1)".



2. DEVELOPMENT PERMIT 23-035352
(REDMS No. 7946078)

APPLICANT: Public Services and Procurement Canada

PROPERTY LOCATION: 3540 and 3800 Bayview Street

Director's Recommendations

That a Development Permit be issued to permit an adjustment of the lot lines of the two

ITEM

lots located at 3540 and 3800 Bayview Street, zoned “Light Industrial (IL)” and “Steveston Commercial and Pub (ZMU10)” respectively and designated as an Environmentally Sensitive Area (ESA).



3. **DEVELOPMENT VARIANCE PERMIT 24-012933**
(REDMS No. 8042115)

APPLICANT: Dagneault Planning Consultants Ltd.

PROPERTY LOCATION: 12791 and 12951 Blundell Road

Director’s Recommendations

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to:

1. *increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 2,108.3 m²;*
2. *reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.1 m; and*
3. *reduce the minimum lot area from 2.0 ha to 1.609 ha for Proposed Lot B.*



4. **New Business**

5. **Date of Next Meeting: June 25, 2025**

ADJOURNMENT



**Development Permit Panel
Wednesday, May 28, 2025**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Milton Chan, Director, Engineering, Chair
Marie Fenwick, Director, Arts, Culture and Heritage
John Hopkins, Director, Policy Planning

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on April 30, 2025 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 24-043129
(REDMS No. 8026491)

APPLICANT: Sharif Senbel

PROPERTY LOCATION: 8640 Alexandra Road

INTENT OF PERMIT:

Permit exterior renovations to the existing building at 8640 Alexandra Road on a site zoned "Auto-Oriented Commercial (CA)".

Applicant's Comments

Sharif Senbel, Studio Senbel Architecture + Design Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the project, highlighting the following:

Development Permit Panel

Wednesday, May 28, 2025

- the applicant is proposing exterior renovations to the existing hotel building to provide a more modern appearance consistent with the upgrades of other hotel buildings in the same hotel chain;
- proposed building exterior renovations include cladding upgrades on the existing entry portal and feature tower using porcelain panel cladding materials prescribed by the hotel chain;
- landscape improvements including additional plantings of a mix of native and non-native species are also proposed along the planted areas adjacent to Alexandra Road and within the porte cochère landscaping island; and
- a glass canopy to provide weather protection to pedestrians is proposed to be installed at the south pedestrian entrance of the hotel building along Alderbridge Way.

Staff Comments

Joshua Reis, Director, Development noted that (i) there is no Servicing Agreement associated with the project given the limited scope of the proposed improvements associated with the subject development permit application, (ii) staff appreciates the proposed installation of a sloped glass awning at the secondary entrance of the hotel building along Alderbridge Way as it provides additional weather protection for pedestrians and supports the City's objectives for walkability in the City Centre, (iii) proposed pedestrian safety improvements in the subject site include the installation of vehicle wheel stops on all parking stalls adjacent to the pedestrian pathways, (iv) the existing utility Statutory Right-of-Way (SRW) along the Alderbridge Way frontage is proposed to be modified and replaced to allow for Public Right-of-Passage (PROP) to facilitate the future construction of pedestrian and cycling infrastructure, and (v) the applicant is required to obtain an arborist contract to supervise all improvements within any of the tree protection zones on-site prior to Building Permit issuance.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) existing exterior lighting on-site, including on the façade of the feature tower and under the porte cochère, will be replaced with energy efficient lighting fixtures, and (ii) enhancements to existing landscaped areas on the site are proposed along the planted areas adjacent to the driveway entrance along Alexandra Road and within the porte cochère planting island.

Correspondence

None.

Gallery Comments

None.

Development Permit Panel
Wednesday, May 28, 2025

Panel Discussion

The Panel expressed support for the project, noting the applicant's willingness to work with staff on the proposed exterior renovations and landscape improvements.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit exterior renovations to the existing building at 8640 Alexandra Road on a site zoned "Auto-Oriented Commercial (CA)".

CARRIED

2. New Business

None.

3. Date of Next Meeting: June 11, 2025

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (3:42 p.m.).

CARRIED

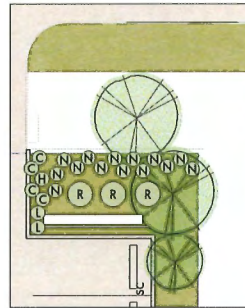
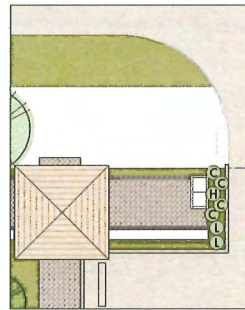
Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 28, 2025.

Milton Chan
Chair

Rustico Agawin
Committee Clerk

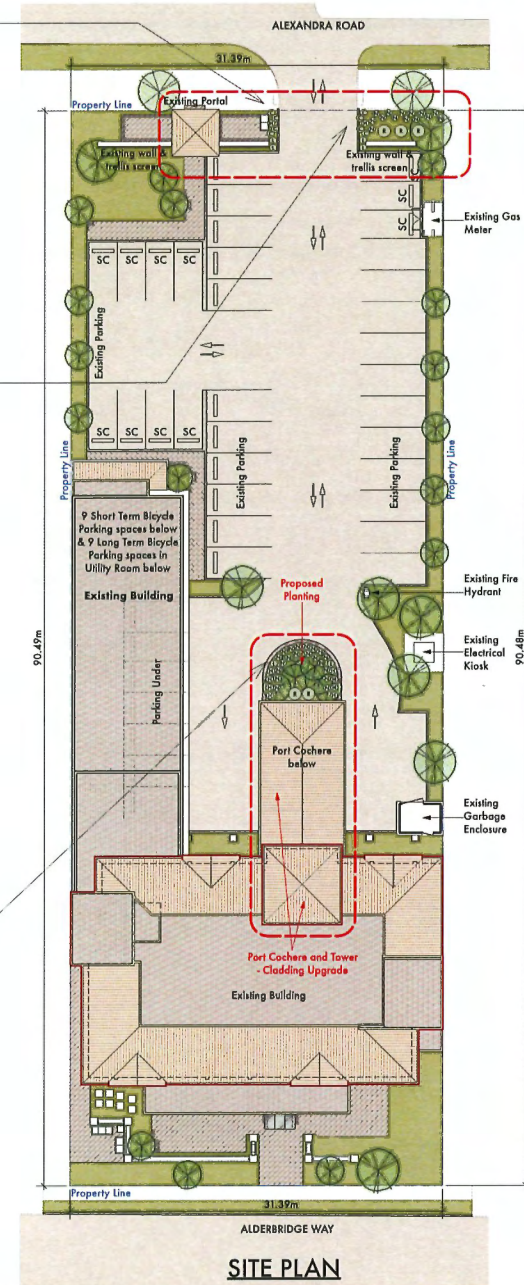
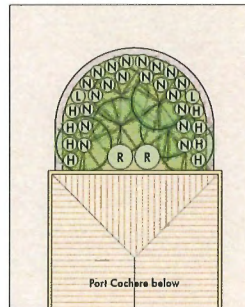


SITE AERIAL



Proposed Planting:

- Ⓡ Rhododendron Albiflorum
- Ⓢ Arctostaphylos Uva-Ursi
- Ⓛ Lavendula Augustifolia Munstead
- Ⓢ Helictotrichon Sempervirens
- Ⓢ Calamagrostis X Acutiflora Karl Foerster



SITE PLAN





EXISTING CONDITION

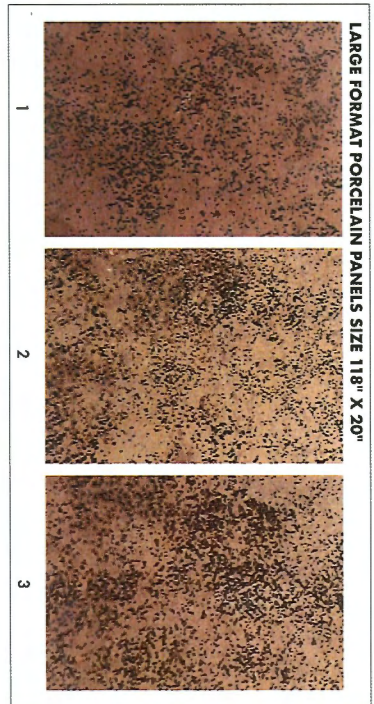


PROPOSED FINISHES



PROPOSED NORTH ELEVATION

FINISHES LEGEND



LARGE FORMAT PORCELAIN PANELS SIZE 118" X 20"

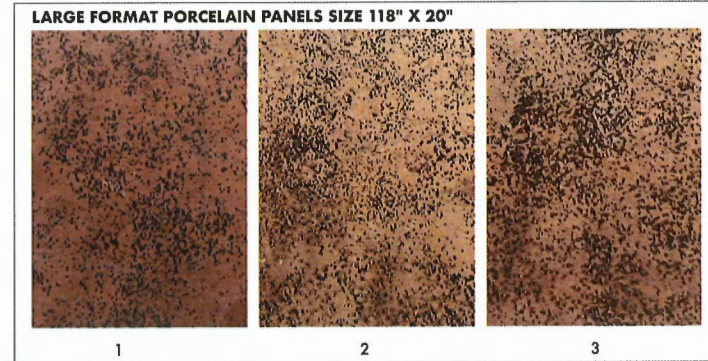
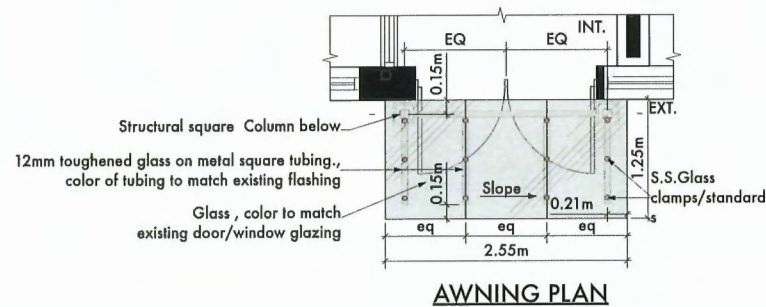
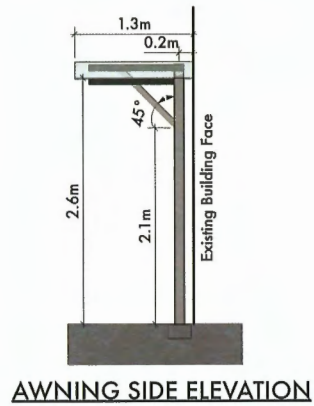


LA QUINTA INN - EXTERIOR FINISHES UPGRADE

DEVELOPMENT PERMIT PANEL PRESENTATION

May 2025





FINISHES LEGEND





City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: May 21, 2025

From: Joshua Reis
Director, Development

File: DP 23-028741

Re: Application by Matthew Cheng Architect Inc. for a Development Permit at
7511 St. Albans Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of five townhouse units at 7511 St. Albans Road on a site zoned "High Density Townhouse (RTH1)".

Joshua Reis
Director, Development
(604-247-4625)

JR:el
Att. 3

Staff Report

Origin

Matthew Cheng Architect Inc., on the behalf of 1118992 BC Ltd. (Directors: Ramneek Singh Padda and Satwant Singh Atwal), has applied to the City of Richmond for permission to develop five townhouse units at 7511 St. Albans (Attachment 1) with vehicle access through an easement registered on Title of the adjacent property to the north at 7433 St. Albans Road.

The site is being rezoned from “Small-Scale Multi-Unit Housing (RSM/L)” zone to the “High Density Townhouse (RTH1)” zone for this project under Bylaw 10446 (RZ 18-818548), which is currently at third reading.

A Servicing Agreement is required as a condition of Rezoning and includes, but is not limited to, the following improvements:

- frontage beautification along St. Albans Road;
- relocation of an existing fire hydrant out of the proposed sidewalk; and
- new service connections.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: A seven-unit, two-storey townhouse development on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.

To the South: A four-unit, three-storey townhouse development on a lot zoned “Town Housing (ZT45) – Gilbert Road, Acheson – Bennett Sub-Area, St. Albans Sub-Area, South McLennan (City Centre)”.

To the East: Across St. Albans Road, a 23-unit, three-storey townhouse development on a lot zoned “High Density Townhouses (RTH4)”.

To the West: A four-storey apartment building on a lot zoned “Medium Density Low Rise Apartments (RAM1)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 17, 2023. At the Public Hearing, concerns regarding the shared use and maintenance of the driveway at the townhouse complex to the north were expressed by a resident at 7433 St. Albans Road. The developer has subsequently met with the residents at 7433 St. Albans Road to discuss the use of the easement and address concerns with the shared use of the driveway, including day-to-day issues such as maintenance and wayfinding signage. The two parties have agreed to work cooperatively and are working towards a cost-sharing agreement after consulting with their legal counsel.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit (DP) application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “High Density Townhouse (RTH1)” zone.

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable DP Guidelines, and the overall design and site plan have adequately addressed staff comments.

Analysis***Conditions of Adjacency***

- The proposed form, massing and orientation of the buildings are compatible with the existing adjacent developments on the block.
- Location and orientation of windows are carefully considered to minimize the opportunity of looking into close-by windows of existing adjacent developments and units proposed on site.
- The site grade at the western and southern portions of the site will be raised. The maximum height of the proposed retaining wall is approximately 0.50 m.
- The existing site grade along the south property line at the terminus point of the proposed drive aisle will be maintained to accommodate tree retention on the neighbouring property to the south.
- Existing wooden fencing along the south property line is proposed to be kept, with the exception of the area immediately south of the on-site common outdoor amenity space, where a new wooden retaining wall and fence are proposed.
- Existing wooden fence on the neighbouring site to the north will be kept where it is not in conflict with the driveway connection, and new coniferous trees and hedging are also proposed on-site along the north property line.
- A new wooden fence will be installed along the west property line to provide privacy between the subject and adjacent residential developments.
- Perimeter drainage will be required as part of the Building Permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.

Transportation and Site Access

- Vehicle access is proposed through an existing access easement (BR295796) registered over the drive aisle of the neighbouring townhouse development to the north at 7433 St. Albans Road; no direct vehicle access to St. Albans Road is permitted from the subject site.

- This access arrangement was secured through the rezoning and development applications for 7433 St. Albans Road, which received final adoption by Council on November 13, 2001 (RZ 00-180731).
- A legal opinion prepared by the applicant's lawyer confirms that the City can rely on this access easement. This legal opinion has also been reviewed by the City's Law Department.
- A statutory right-of-way over the internal drive-aisle and hammerhead turnaround area on the subject site has been secured at Rezoning to enable residents and visitors (including small delivery vehicles) of 7433 St. Albans Road to use the turnaround area.

Urban Design and Site Planning

- The development includes five three-storey units in two building clusters.
- The layout of the townhouse units is oriented around the north-south internal manoeuvring aisle, providing access to the unit garages.
- Units along St. Albans Road will have direct pedestrian access from the street, and units along the rear (west) property line will have access from the internal drive aisle.
- Two units will have a side-by-side double car garage, and three units will have a single car garage. One visitor parking space will be provided on site. The numbers of residential and visitor parking spaces proposed comply with the minimum bylaw requirements.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and comply with the zoning bylaw requirements.
- The provision of private outdoor spaces complies with the DP Guidelines of the OCP. All units will have a private outdoor space consisting of a front or a rear yard. Units along St. Albans Road will also have a balcony on the second floor facing the internal drive aisle, and units along the west property line will also have a roof deck.
- Outdoor amenity space is proposed at the southwest corner of the site. The size and location of the outdoor amenity space are appropriate for providing an open landscape and amenity space convenient to all units.
- No indoor amenity space is proposed on site. A \$10,330.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- A pedestrian walkway is proposed along the south property line between St. Albans Road and the internal drive aisle. A mailbox kiosk and a garbage, recycling and organic waste storage room will be provided on site along this internal walkway.

Architectural Form and Character

- A traditional sloped roof style is proposed for this project. Architectural details used in this project, such as gable roofs and bay windows, are consistent with the treatments that can be found in adjacent developments.
- A pedestrian scale is generally achieved along St. Albans Road and the internal drive aisle through the inclusion of variation in building projections, recesses, varying material/colour combinations, landscape features and the use of individual unit entrances.

- Individuality of units is expressed through main unit entries with entry canopies and private landscaped patios/yards with gates at front units along St. Albans Road.
- The impact of blank garage doors has been mitigated with panel-patterned garage doors, unit entrances and planting islands along the drive aisle.
- The proposed building materials (asphalt roof shingles, lap siding and cementitious boards, etc.) are generally consistent with the OCP.
- Warm-toned siding colours with contrasting accent/trim colours are proposed to provide a visual diversity from the adjacent recent townhouse developments.

Tree Retention and Replacement

- Tree preservation was reviewed at the rezoning stage, a total of seven bylaw-sized trees (tag# 681, 682, 683, 684, 685, 686 and 687) and one hedgerow comprising 13 trees (tag# 1-13) were identified for removal due to their poor condition.
- Five trees (tag# 700, 701, 702, 703 and 704) located on the neighbouring property to the south at 7531 St. Albans Road are identified to be retained and protected.
- Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site.
- A proof of contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones has been secured at Rezoning.
- Based on the 2:1 tree replacement ratio stated in the OCP, 40 replacement trees are required. The applicant is proposing to plant 12 replacement trees on-site, including eight conifers and four deciduous trees. Proposed tree planting has been maximized to the extent possible and takes into consideration the five trees to be retained on the neighbouring property to the south.
- A voluntary contribution of \$21,000.00 (\$750/tree) to the City's Tree Compensation Fund in lieu of planting the remaining 28 replacement trees has been secured at Rezoning.

Landscape Design and Open Space Design

- The street edge along St. Albans Road will be defined with landscaping including lawn, flower beds, native shrubs and evergreen trees. A low 1.0 m tall steel picket fence with gates and masonry pillars, as well as a masonry development sign, will be installed along the road frontage to accommodate visually interesting plant species.
- Each street-fronting unit will have a private front yard with an outdoor patio to add animation along the streetscape. The front yards will be divided from each other by cedar hedges and buffered from the road by planting dense shrubs immediately behind the steel picket fence.
- The private back yards of the two units in the west building will be located over a service right-of-way, thus, no trees are being proposed in those areas. These two backyards will be divided from each other and from the outdoor amenity space/children's play area by cedar hedges. A 1.8 m tall fence will be installed along the west property line to provide privacy for these units.

- Broadleaf evergreen shrubs that provide seasonal interest and colour will be planted against the building. The proposed design will allow for both active and passive recreation.
- An on-site irrigation system is proposed to ensure the continued maintenance of live landscaping.
- A climbing web with spinner poles and a wooden stepper, as well as a chalkboard, are proposed within the outdoor amenity area. These play structures/elements are chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance and motor skills. A bench is also proposed in the children's play area for caregivers.
- All internal walkways, garage aprons and surface parking spaces will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$93,579.46 in association with this DP.

Crime Prevention Through Environmental Design

- The site plan and individual unit layout create an opportunity for passive surveillance. Additional windows are provided to side elevations adjacent to the outdoor amenity area and entry walkway to enhance visual surveillance opportunities.
- Front entries will be well-lit with ceiling lights in the entry porches. Exterior lights will be provided along the internal drive aisle, by the utility room/mailbox kiosk, and in outdoor amenity areas, etc., to enhance visual supervision from windows and balconies located along the internal driveway.

Sustainability

- Consistent with Provincial Energy Step Code and Zero Carbon Step Code requirements, this project is expected to be designed to achieve Step 3 with Emission Level 4.
- High efficient air source heat pump system will be provided. Condenser units for the street fronting units will typically be located on the balconies facing the internal drive aisle, and the condenser units for the rear units will be located on the roof decks. An Acoustic Report has been submitted to confirm that the noise levels from the condensing units are in compliance with the City's Noise Regulation Bylaw 8856.
- The following features will also be included in the development:
 - HRV systems to reduce heating/cooling energy for conditioning ventilation air.
 - Energy Star appliances to reduce energy consumption.
 - Electric hot water tank to reduce greenhouse gas emissions.
 - Dual flush toilets to enhance water conservation.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair.

- The potential conversion of these units will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit #4) in the future, if desired.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



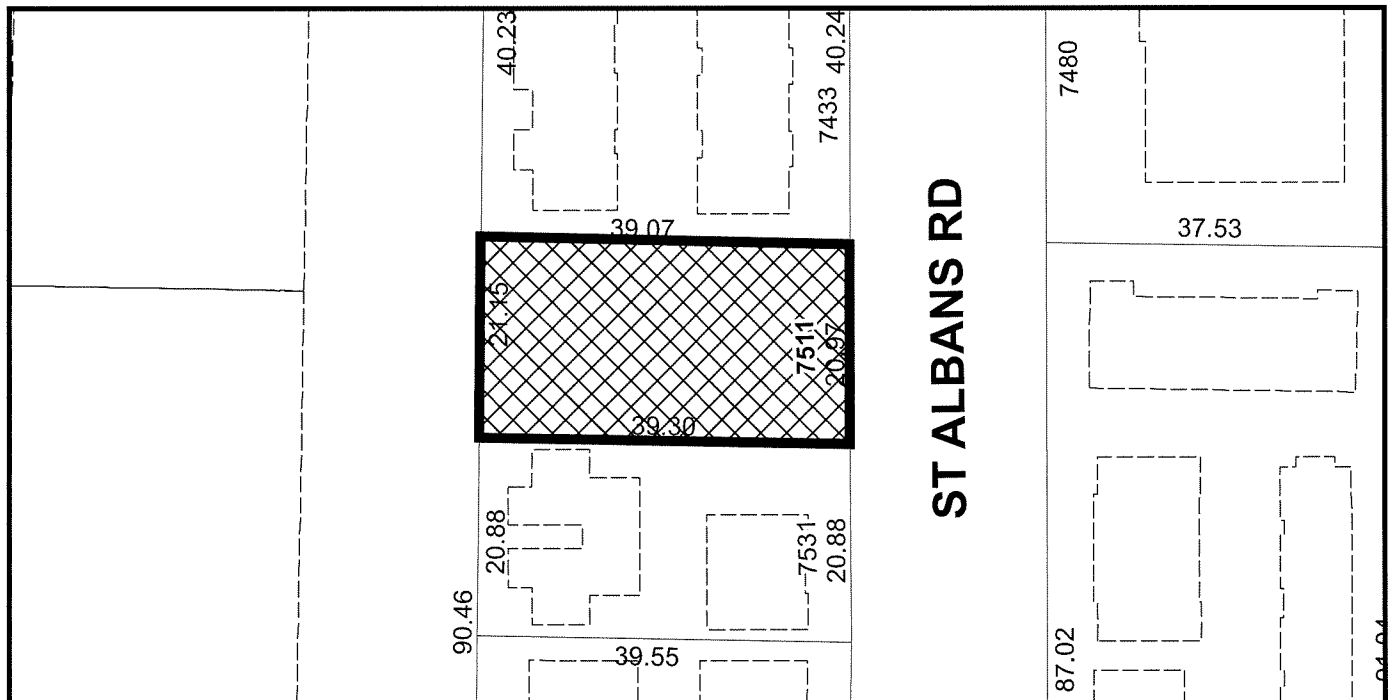
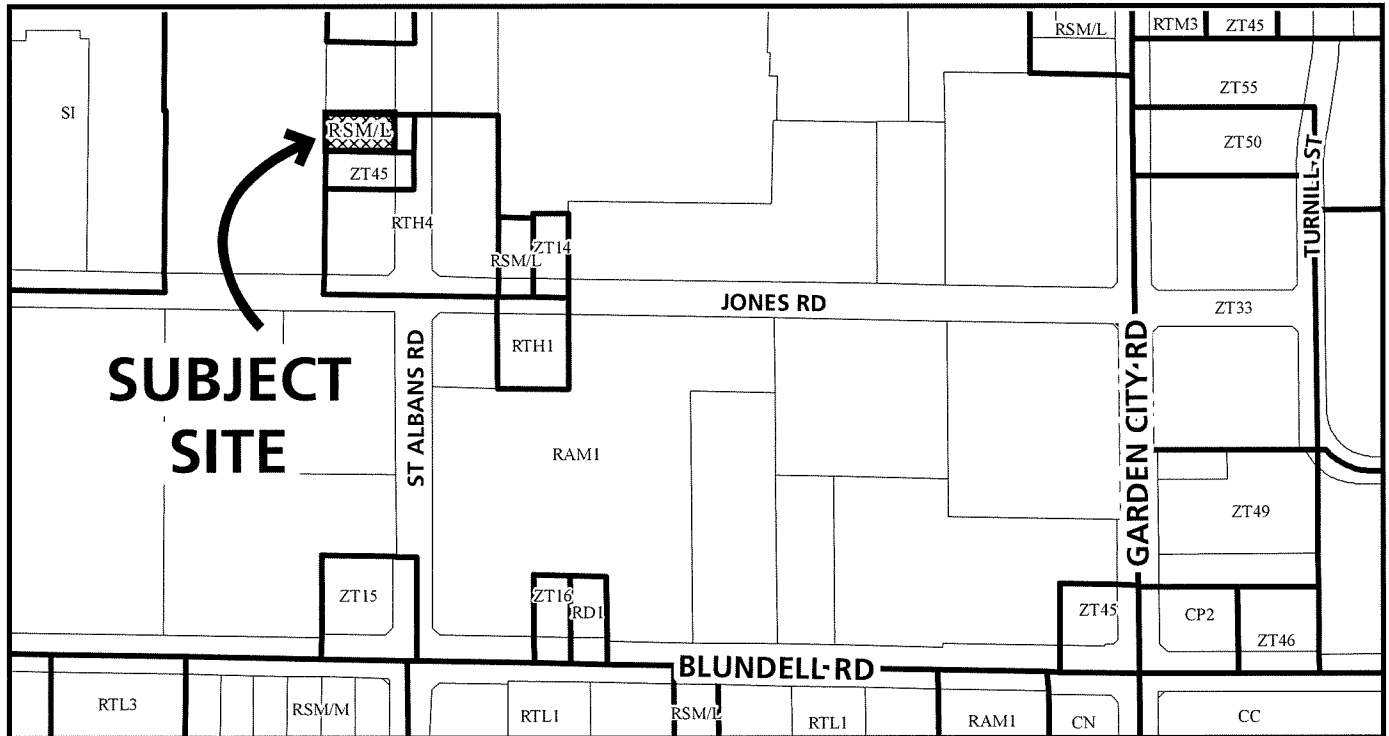
Edwin Lee
Planner 2
(604-276-4121)

EL:js

- Att. 1: Location Map
 2: Development Application Data Sheet
 3: Development Permit Considerations



City of
Richmond



DP 23-028741

Original Date: 09/22/23

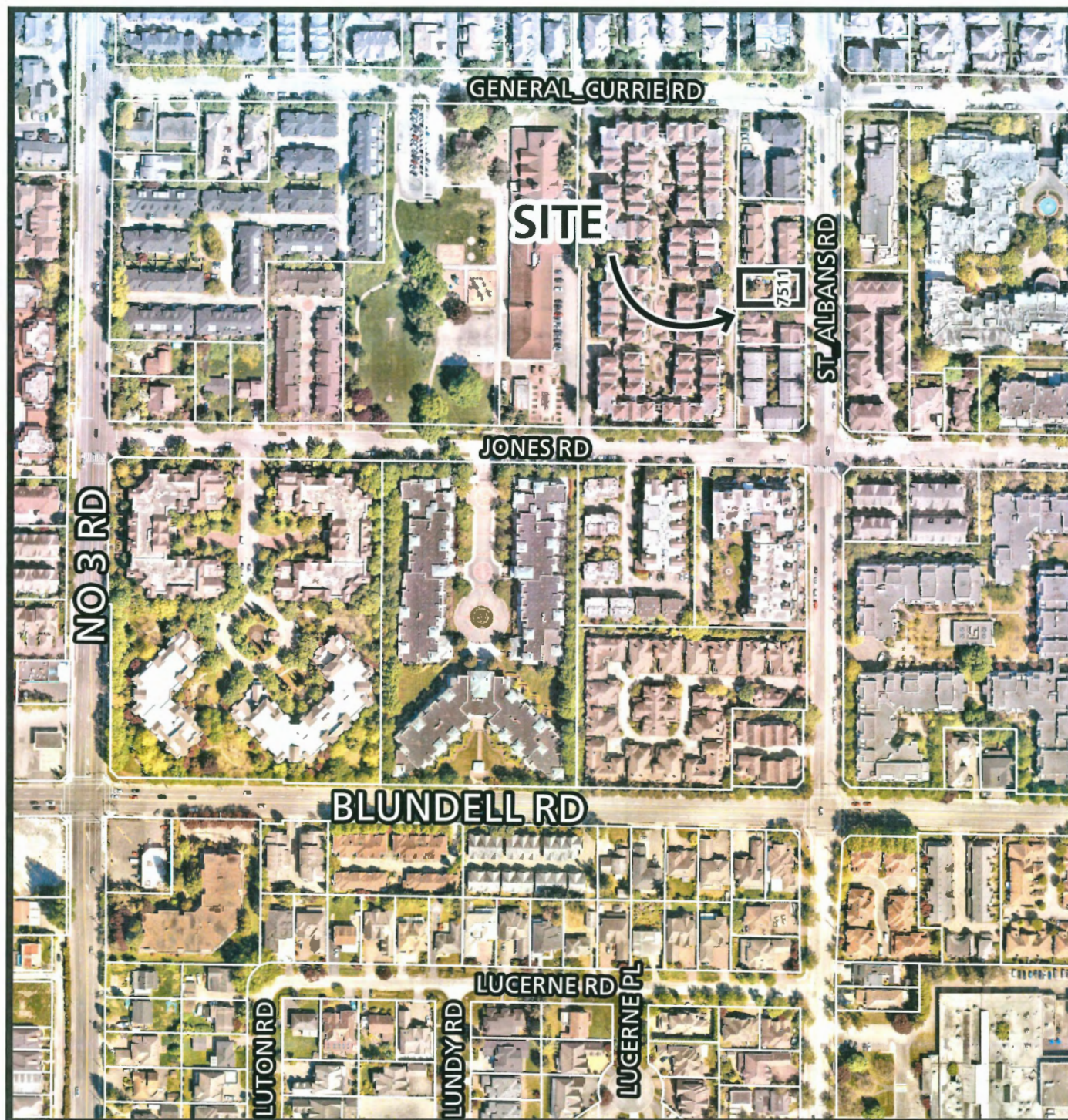
Revision Date: 05/07/25

Note: Dimensions are in METRES



City of
Richmond

ATTACHMENT 1



DP 23-028741

Original Date: 05/07/25
Revision Date:

Note: Dimensions are in METRES



DP 23-028741

Attachment 2

Address: 7511 St. Albans Road

Applicant: Matthew Cheng Architect Inc.

Owner: 1118992 BC Ltd.

Planning Area(s): City Centre – St. Albans Sub Area Plan 2.10A

Floor Area Gross: 817.7 m²

Floor Area Net: 619.1 m²

	Existing	Proposed
Site Area:	825 m ² (8880 ft ²)	No Change
Land Uses:	Single-Family Residential	Multi-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Area Plan Designation:	Multi-Family Low Rise (3 Storey apts., Townhouses, Two-Family or Single-Family Dwellings)	No Change
Zoning:	Small-Scale Multi-Unit Housing (RSM/L)	High Density Townhouses (RTH1)
Number of Units:	1	5

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.75	0.75	none permitted
Buildable Floor Area:*	825 m ² x 0.75 = 618.75 m ²	616.11 m ² (6,631.8 ft ²)	none permitted
Lot Coverage – Building:	Max. 45%	38%	none
Lot Coverage – Non-Porous Surface	Max. 70%	63%	none
Lot Coverage – Landscaping live plant material	Min. 20%	21%	none
Setback – Front Yard (m):	Min. 4.5 m	4.5 m	none
Setback – Interior Side Yard – North (m):	Min. 2.0 m	2.0 m	none
Setback – Interior Side Yard – South (m):	Min. 2.0 m	2.0 m	none
Setback – Rear Yard (m):	Min. 2.0 m	3.0 m	none
Height (m):	Max. 12 m	11.28 m	none
Lot Size:	Min. 600 m ²	825 m ²	none
Min. Lot Dimensions (m):	Width: 20 m Depth: 30 m	Width: 20.97 m Depth: 39.07 m	none

Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	1.4 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	7 (R) and 1 (V)	7 (R) and 1 (V)	none
Standard Parking Spaces:	8	8	none
Tandem Parking Spaces:	Max. 50% of required residential spaces (7 x Max. 50% = 3)	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	2 (Class 1) and 0.25 (Class 2) per unit	none
Off-street Bicycle Parking Spaces – Total:	7 (Class 1) and 1 (Class 2)	10 (Class 1) and 1 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 5 units = 30 m ²	30 m ²	none



City of
Richmond

ATTACHMENT 3

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 7511 St Albans Road

File No.: DP 23-028741

Prior to approval of the Development Permit, the developer is required to complete the following:

1. **(Zoning Amendment)** Final adoption of the Zoning Amendment Bylaw 10446.
2. **(Tree Protection)** Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
3. **(Landscaping Security)** Receipt of a Letter of Credit for landscaping in the amount of \$93,579.46 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
4. **(Fees - Notices)** Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- If the development will be constructed in phases and stratified, a Phased Strata Subdivision Application is required. Each phase of a phased strata plan should be treated as a separate parcel, each phase to comply with the Richmond Zoning Bylaw 8500 in terms of minimum lot area, building setback and parking requirements. Please arrange to have the City's Approving Officer review the proposed phased boundaries in the early DP stages. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.

Initial: _____

- If the development intends to create one or more air space parcels, an Air Space Parcel Subdivision Application is required. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 23-028741

To the Holder: Matthew Cheng Architect Inc.
Property Address: 7511 St. Albans Road
Address: 670 Evans Avenue Unit 202,
Vancouver, British Columbia, V6A 2K9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #23 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$93,579.46 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 23-028741

To the Holder: Matthew Cheng Architect Inc.
Property Address: 7511 St. Albans Road
Address: 670 Evans Avenue Unit 202,
Vancouver, British Columbia, V6A 2K9

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
This Permit is not a Building Permit.

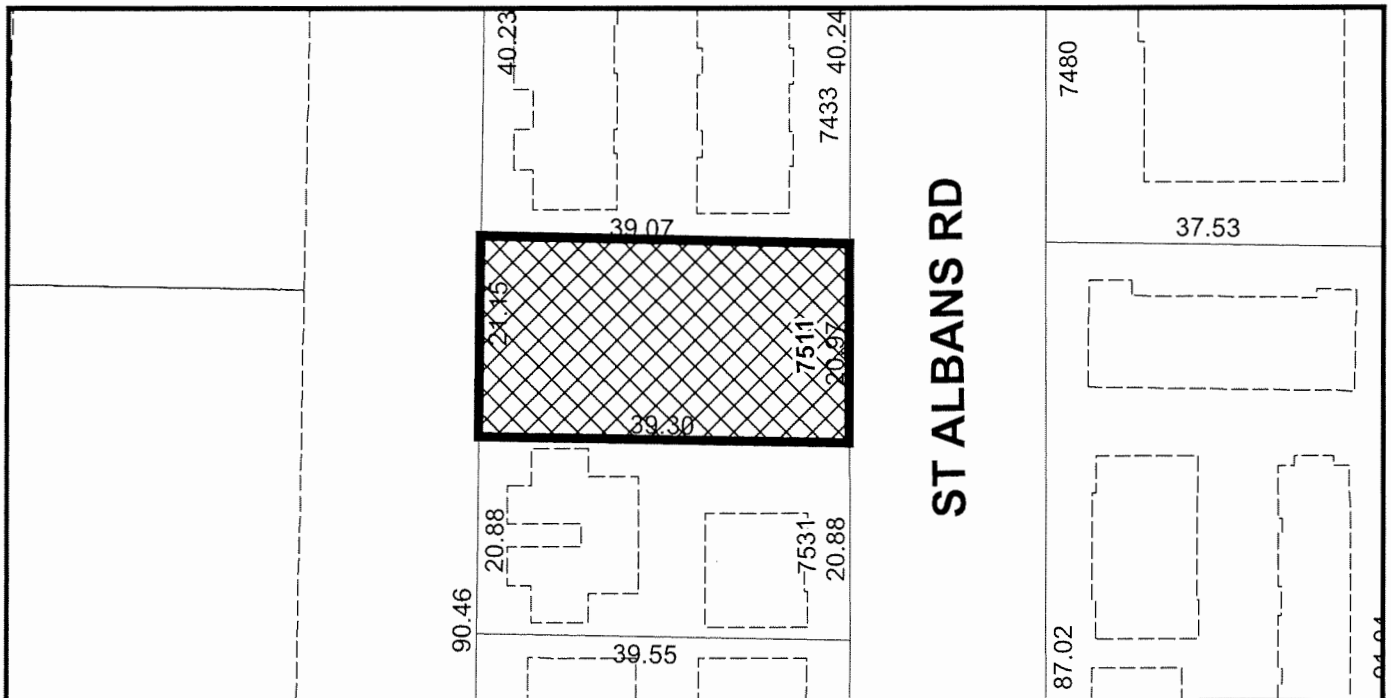
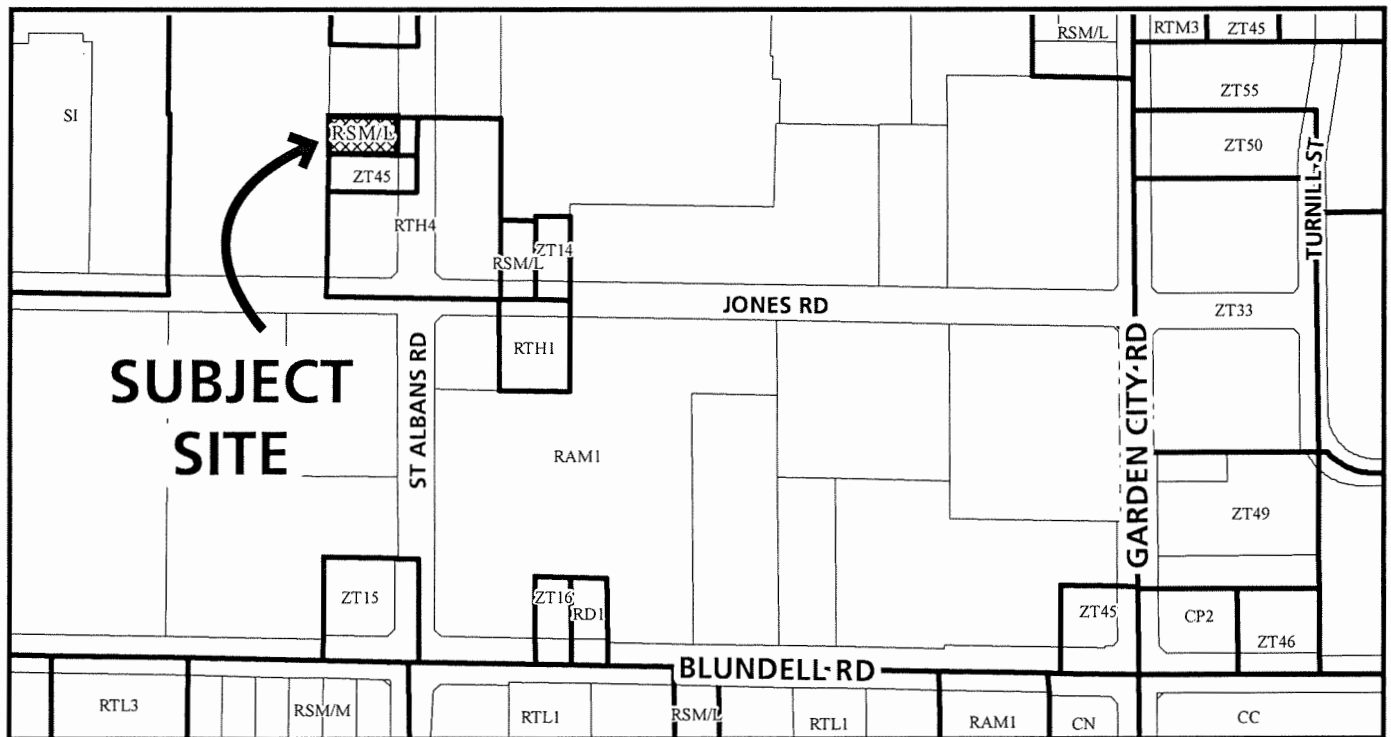
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 23-028741
SCHEDULE "A"

Original Date: 09/22/23

Revision Date: 05/07/25

Note: Dimensions are in METRES

PROJECT DATA		EXISTING		PROPOSED	
		METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
ADDRESS		7511 ST. ALBANS ROAD, RICHMOND, BC.			
LEGAL DESCRIPTION		LOT 4 SEC 16 BLOCK 4 NORTH RANGE 6W NEW WESTMINSTER			
		DISTRICT PLAN 11330			
PID		003-556-794			
SITE AREA		825.0	8,880	825.0	8,880
LAND USE		SINGLE FAMILY DWELLING		TOWNHOUSE	
OCP DESIGNATION		RESIDENTIAL		NO CHANGE	
ZONING		RS1/E		RTH1	
NO. OF DWELLINGS		1		5	
		REQUIRED / ALLOWED		PROPOSED	
		METRIC (M/SM)	IMPERIAL (F/SF)	METRIC (M/SM)	IMPERIAL (F/SF)
FLOOR AREA RATIO (FAR)		0.75		0.75	
FLOOR AREA TOTAL		618.73	6,660	618.55	6,658
LOT COVERAGE		45% (3996 sf)		37.15% (3299 sf)	
BUILDING (45% MAX.)		371.25	3,996	306.49	3,299
NON POROUS SURFACE		577.50	6,216	335.84	5,680
		(70% MAX.)		63.96% (5680 sf)	
LIVE PLANT (20% MIN.)		165.00	1,776	167.78	1,808
SETBACK-FRONT YARD		4.5M	14'-9"	4.5M	14'-9"
SETBACK-SIDE YARD (NORTH)		2M	6'-6"	2M	6'-6"
SETBACK-SIDE YARD (SOUTH)		2M	6'-6"	2M	6'-6"
SETBACK-REAR YARD		1.2M	4'-0"	3M	9'-10"
HEIGHT		12M	3 STOREY	11.08M-11.34M	3 STOREY
LOT SIZE		825.0	8,880	825.0	8,880
OFF-STREET PARKING TOTAL		8		8	
PARKING SPACES		1.4 x 5 = 7.0		7	
OFF-STREET PARKING VISITOR		1		1	
CLASS 1 BICYCLE SPACE		1.25X5=6.5		10	
CLASS 2 BICYCLE SPACE		.2X5=1		2	
AMENITY SPACE - OUTDOOR		MIN. 6 SM/UNIT=30SM	323	30.47 SM	327.98
AMENITY SPACE - INDOOR					
ADDITIONAL LANDSCAPE OUTDOOR: (10% OF NET SITE AREA)		82.6	888	88.6	954
		10%		11%	
GENERAL NOTES:		. AGING IN PLACE FEATURES ARE PROPOSED IN ALL UNITS OF THE PROJECT. . ONE CONVERTIBLE UNIT IS PROPOSED . ALL UNITS IN THIS PROJECT MUST MEET THE REQUIREMENTS OF THE SOLAR . HOT WATER READY REGULATION . PROJECT WILL ACHIEVE ENERGUILD 82 RATING			



CONSULTANT LIST & CONTACT :

NOTES:
UNITS TO FEATURE AGING-IN-PLACE FEATURES
SUCH AS, BUT NOT LIMITED TO:
- LEVER STYLE DOOR HANDLES
- BLOCKING INSTALLED IN WALLS FOR GRAB BARS
- STAIR HANDRAILS
UNIT GARAGE TO INCLUDE TWO(2) EV OUTLETS EACH

ARCHITECT : MATTHEW CHENG ARCHITECT, TEL: 604 - 731 - 3012 Email: matthew@mcai.ca
 LANDSCAPE ARCHITECT : FROGGERS CREEK TREE CONSULTATIONS LTD. TEL: 604 - 721 - 6002 Email: glenn@froggerscreek.ca
 LANDSCAPE ARCHITECT : DVS Duncan , TEL: 778 - 791 - 4323 Email: dvsduncan@gmail.com
 ELECTRICAL : LIEW ENGINEERING Ltd , TEL: 604 - 277 - 3157 Email: rliewengltd@telus.net
 ENERGY : Enersaver solutions Inc. , TEL: 604 - 841 - 1717 Email: info@enersaversolutions.ca
 CIVIL : MPT ENGINEERING CO. LTD. TEL: 604 - 270 - 9331 Email: adam.ostereicher@mpt.bc.ca
 TRAFIC : CTS , TEL: 604 - 936 - 6190 Email: bdozzi@cts-bc.com
 SURVEYOR : J.C. TAM AND ASSOCIATES , TEL: 604 - 214 - 8928 Email: office@jctam.com
 GEOTECHNICAL : BRAUN GEOTECHNICIAN LTD. TEL: 604 - 513 - 4190 Email: gurbir@braungeo.com



STREETSCAPE: ST. ALBANS ROAD



MATTHEW CHENG
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
T: 604.731.3012
M: 604.649.0669
E: MATTHEW@MCAI.CA

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF MATTHEW CHENG ARCHITECT INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.

DP 23-028741
May 21, 2025
PLAN #1

[illegible]

May. 16 2025

5 UNIT TOWNHOUSE DEVELOPMENT

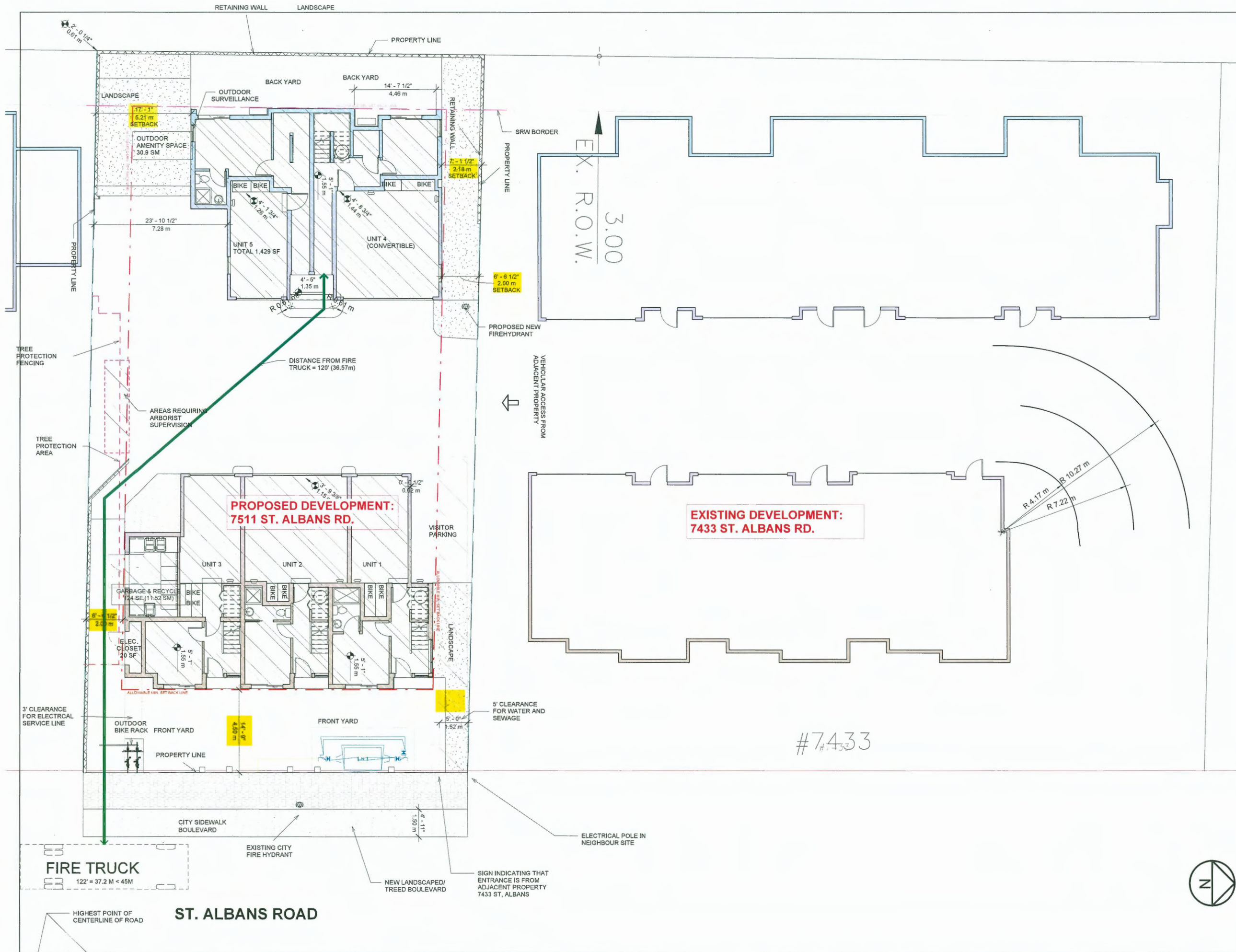
7511 ST. ALBANS ROAD
RICHMOND, BC

PROJECT INFORMATION

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	BK, FN
Checked by	MC

PLAN#5

Scale NO SCALE



**MATTHEW CHENG
ARCHITECT INC**

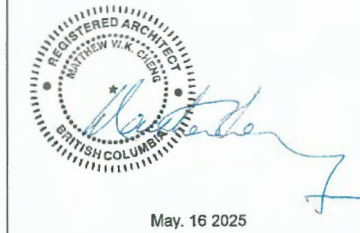
UNIT 202 - 670 EVANS AVENUE
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DP 23-028741
May 21, 2025
PLAN #2

2 04/09/2018 ISSUED FOR REZONING

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



**5 UNIT TOWNHOUSE
DEVELOPMENT**

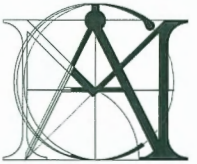
7511 ST. ALBANS ROAD
RICHMOND, BC

**CONTEXT PLAN &
FIRE ACCESS PLAN**

Project number 17 R TH 01 7511 St Albans Rd.
Date 2023-09-06
Drawn by BK, FN
Checked by MC

PLAN#1a

Scale 1/16" = 1'-0"



MATTHEW CHENG
ARCHITECT INC

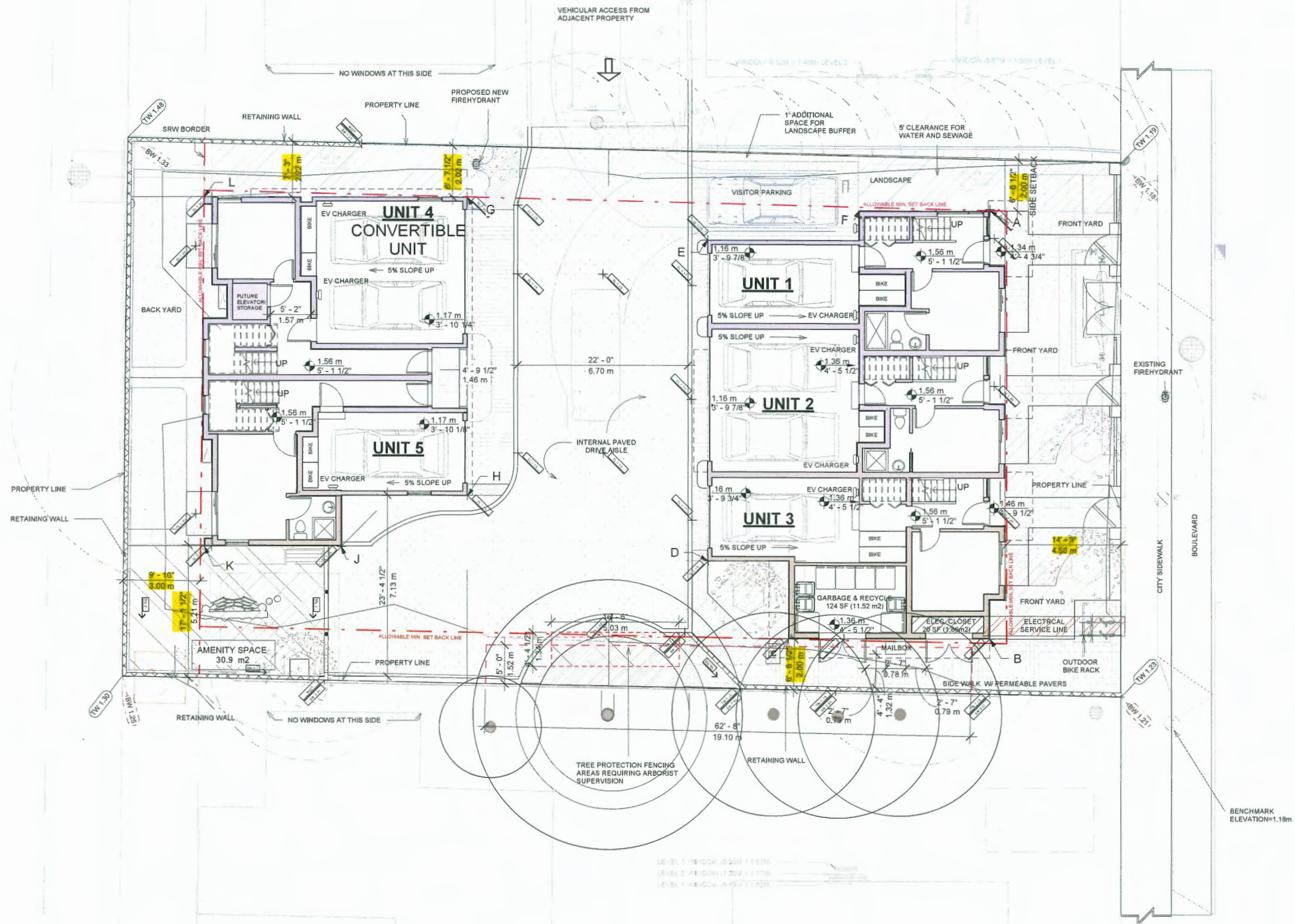
UNIT 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
T: 604.731.3012
M: 604.649.0669
E: MATTHEW@MCAI.CA

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DP 23-028741
May 21, 2025
PLAN #3

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION

ST. ALBANS ROAD



LEGEND:

- OVERHEAD LINE FOR SECOND LEVEL
- WATER AND SEWAGE
- TREE PROTECTION AREA
- REMOVE TREE
- RETAIN TREE
- FINISHED GRADE
- EXISTING GRADE

AVERAGE PROPOSED FINISHED SITE GRADE OF THE BUILDINGS

	E.G.	F.G.
A	1.20	1.35
B	1.23	1.15
C	1.24	1.15
D	1.21	1.15
E	1.24	1.15
F	1.22	1.35
G	1.28	1.15
H	1.21	1.15
J	1.25	1.35
K	1.26	1.35
L	1.32	1.35
TOTAL	13.66	13.65
Ave.	1.24 m	1.24 m

AVERAGE PROPOSED FINISHED SITE GRADE OF THE SITE:
 $1.19+1.48+1.48+1.23 = 5.38$
 $5.38 / 4 = 1.345 \text{ m}$

PROPOSED AVERAGE FINISHED SITE GRADE OF THE SITE:
 $(1.24+1.345) / 2 = 1.2925 \text{ m}$

5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD
RICHMOND, BC

SITE PLAN

Project number 17 R TH 01 7511 St Albans Rd.
Date 2023-09-06
Drawn by BK, FN
Checked by MC

PLAN#1

Scale 1/16" = 1'-0"



MATTHEW CHENG
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
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DP 23-028741
May 21, 2025
PLAN #4

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May. 16 2025

**5 UNIT TOWNHOUSE
DEVELOPMENT**

7511 ST. ALBANS ROAD
RICHMOND, BC

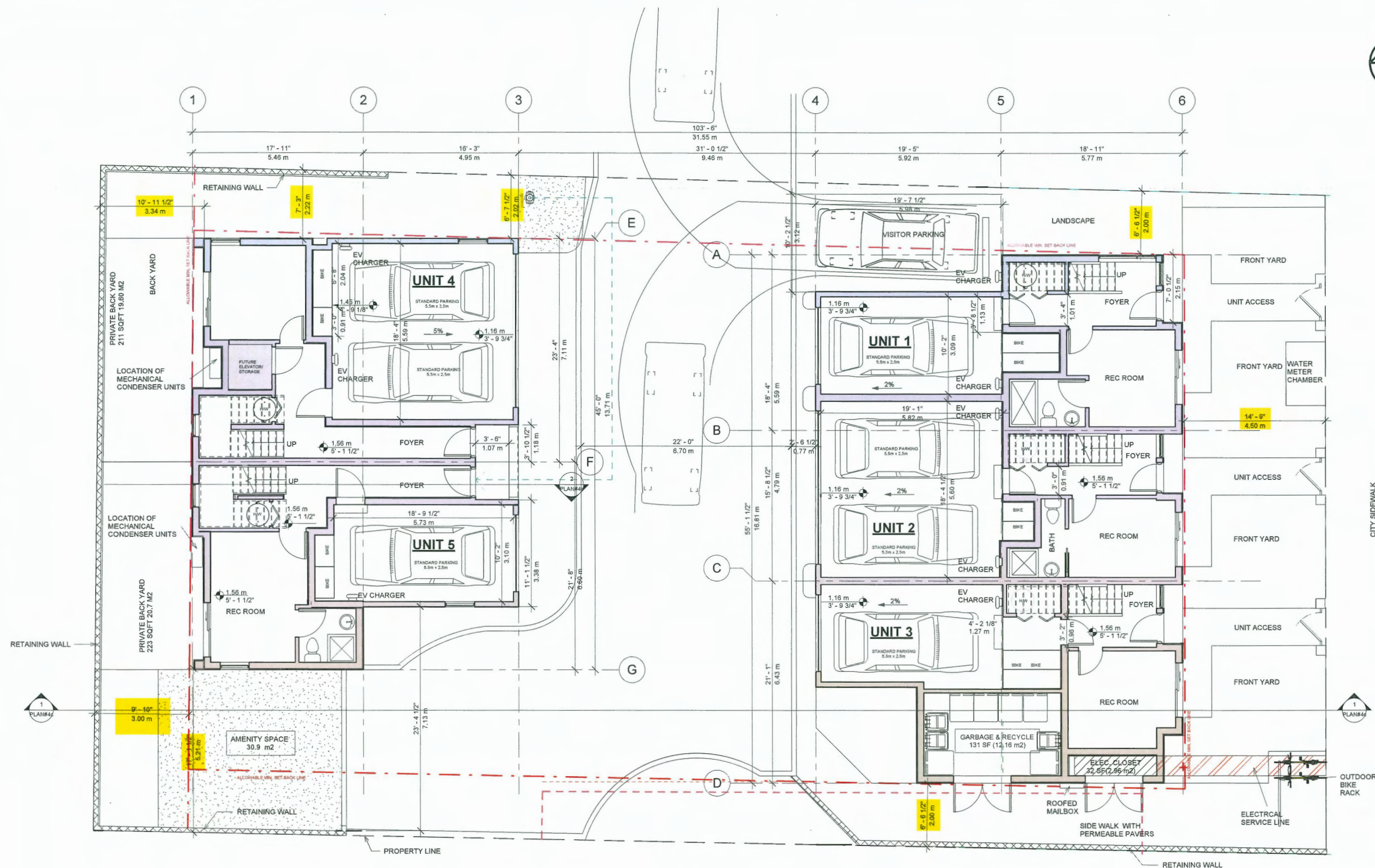
PARKING PLAN

Project number 17 R TH 01 7511 St Albans Rd.
Date 2023-09-06
Drawn by FN
Checked by MC

PLAN#2

Scale 3/32" = 1'-0"

5/16/2025 11:57:33 AM



LEGEND

--- Tree protection area

Vertical Bike

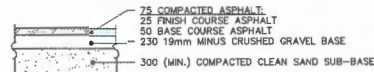
Horizontal Bike

ROADWORKS NOTES:

1. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE CURRENT CITY BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS, THE CURRENT B.C. BUILDING CODE AND THE CURRENT EDITION OF THE MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCO).
2. ALL PAVEMENT STRUCTURE(S) AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS.
3. ALL FLOOR SLAB ELEVATIONS (F.S.E.) AND FRONT OF GARAGE ELEVATIONS (G.E.) MUST BE CONFIRMED WITH THE BUILDING ARCHITECT AND SITE SUPERINTENDENT, PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FROM THESE DRAWINGS MUST BE REPORTED TO MPT ENGINEERING, PRIOR TO CONSTRUCTION.
4. ALL PAVEMENT PATTERNS, LOCATIONS AND DETAILS TO BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECT'S DRAWINGS.
5. ALL CURBS MUST BE INSTALLED WITHIN A VERTICAL TOLERANCE OF 5mm OR ARE SUBJECT TO REPLACEMENT AT THE CONTRACTOR'S COST.
6. ALL CHANGES RELATE TO CENTRELINE OF ROAD, UNLESS OTHERWISE NOTED. SEE TYP. X-SECTION FOR DETAILS.
7. ALL ASPHALT GRADES TO BE 1.25% MINIMUM, TOWARDS CATCH BASINS.
8. ALL CONCRETE CURB OUTER GRADES TO BE 0.40% MINIMUM, TOWARDS CATCH BASINS.
9. ALL SIDEWALK GRADES TO BE 1.50% MINIMUM, AWAY FROM BUILDINGS.
10. ALL SIDEWALK PEDESTRIAN/WHEELCHAIR RAMP SLOPES TO BE 5.00% MAXIMUM.
11. ALL PAVEMENT EDGES, ALONG EXTRUDED CURBING TYPE TO BE CONSTRUCTED OVER TOP OF PAVEMENT, TO EXTEND 150mm BEYOND BACK OF CURB.
12. ALL ROAD ELEVATIONS ARE PAVEMENT AND/OR CURB GUTTER ELEVATIONS.
13. ALL ELEVATIONS SHOWN AS THUS (1.44) ARE EXISTING ELEVATIONS.
14. ALL ELEVATIONS SHOWN AS THUS (1.44) ARE PROPOSED ELEVATIONS.

F.S.E. REFERS TO 'FLOOR SLAB ELEV.' AND
G.E. REFERS TO 'FRONT OF GARAGE ELEV.'

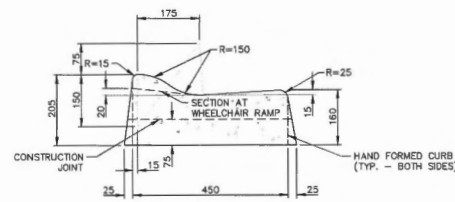
ALL CONSTRUCTION TO BE IN
ACCORDANCE WITH THE GEOTECHNICAL
ENGINEER'S RECOMMENDATIONS.



ASPHALT PAVEMENT STRUCTURE DETAIL
SCALE: N.T.S.

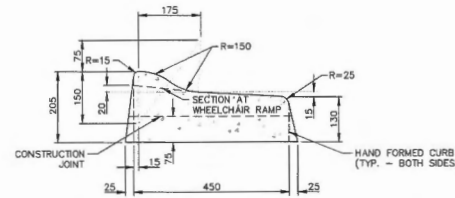
ASPHALT PAVEMENT CAN BE PLACED IN A SINGLE 75mm LIFT AT CONTRACTOR'S DISCRETION. IF SO, IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPACTION REQUIREMENTS ARE ACHIEVED AND TO RECTIFY ANY ASPHALT PAVEMENT SURFACE DEFICIENCIES AT THE END OF THE WARRANTY PERIOD.

ASPHALT PAVEMENT STRUCTURE DESIGN IS
PRELIMINARY. STRUCTURE TO BE CONFIRMED
WITH THE GEOTECHNICAL ENGINEER, PRIOR TO
CONSTRUCTION.



CURBING EXPANSION JOINTS AND CONTROL JOINTS AS
PER CURRENT MMCO STANDARDS AND SPECIFICATIONS.

CONC. ROLLOVER CURB DETAIL
(GUTTER CURB TYPE)
SCALE: 1:10



CURBING EXPANSION JOINTS AND CONTROL JOINTS AS
PER CURRENT MMCO STANDARDS AND SPECIFICATIONS.

CONC. ROLLOVER CURB DETAIL
(REVERSE GUTTER CURB TYPE)
SCALE: 1:10

MPT ENGINEERING MUST FIELD REVIEW ALL CONSTRUCTION.
CONTRACTOR TO SUPPLY NOTICE OF CONSTRUCTION TO MPT
ENGINEERING, A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION.

RET. WALL AND LAWN BASINS
WITHIN EXIST. SAN. R.O.W. TO
BE REVIEWED AND APPROVED
BY COR ENGINEERING.

ADJACENT PROPERTY
ACCESS SHOWN FOR
INFORMATION ONLY.

REMOVE EXIST. CURB ON
ADJACENT PROPERTY AS
SHOWN TO FACILITATE
CONNECTION TO
DEVELOPMENT PROPERTY.

PROP. OFFSITE FRONTAGE IMPROVEMENTS
SHOWN FOR INFORMATION ONLY. REFER
TO MPT DWG. R16114-A FOR DETAILS.

ROLLOVER CURB (TYP.)
SEE CONC. ROLLOVER CURB DETAIL
(GUTTER TYPE)

ASPHALT PAVEMENT AREA (TYP.)
SEE ASPHALT PAVEMENT
STRUCTURE DETAIL.

PROP. 1.50m x
1.50m R.O.W.

PROP. 2.44m x
5.62m R.O.W.

F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.10

F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.16

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F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.16

F.S.E. = 1.56
G.E. = 1.16

NOTES:

1. ALL ELEVATIONS ARE DERIVED FROM CITY OF RICHMOND HYD. MONUMENT #194 (10042415) AND #234 (1704897).
ELEV. = 1.337m AND 1.125m.
2. CONTRACTOR TO CONFIRM BENCHMARK WITH MPT ENGINEERING, PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO CONFIRM LOCATIONS OF ALL EXISTING UTILITIES AND REPORT ALL DISCREPANCIES TO MPT ENGINEERING, PRIOR TO CONSTRUCTION.
4. ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCO) AND THE CURRENT CITY OF RICHMOND BUILDING DEPARTMENT STANDARDS AND SPECIFICATIONS.

MPT ENGINEERING CO. LTD.

3333 RICHMOND RD., RICHMOND, BC V7A 5H7 TEL: 604-270-9331 FAX: 604-270-4137

RAMNEEK PADDA

REV#	DATE	BY	CH.	DESCRIPTION
3.	23 APR/25	CW	AO/JWC	ISSUE 'D' - RE-ISSUED FOR DEVELOPMENT PERMIT
2.	29 OCT/24	CW	AO	ISSUE 'C' - RE-ISSUED FOR DEVELOPMENT PERMIT
1.	19 SEP/24	CW	AO	ISSUE 'B' - RE-ISSUED FOR DEVELOPMENT PERMIT
0.	2 JUL/24	CW	AO	ISSUE 'A' - ISSUED FOR DEVELOPMENT PERMIT

BASED PERMIT TO PRACTICE ENGINEER

TITLE:

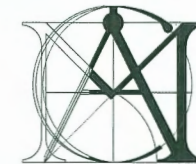
LOT GRADING

7511 ST. ALBANS ROAD

DESIGN:	CW	DRAWING No.:	R16114-B
DRAWN:	CW	SHEET No.:	1 OF 1
CHECKED:	AO	SCALE:	1:200

ALL DIMENSIONS AND ELEVATIONS
ARE IN METRIC UNITS.

DP 23-028741
May 21, 2025
PLAN #5



MATTHEW CHENG
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
T: 604.731.3012
M: 604.649.0669
E: MATTHEW@MCAI.CA

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DP 23-028741
May 21, 2025
PLAN #6

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May, 16 2025

5 UNIT TOWNHOUSE
DEVELOPMENT

7511 ST. ALBANS ROAD
RICHMOND, BC

LEVEL 1

Project number 17 R TH 01 7511 St Albans Rd.

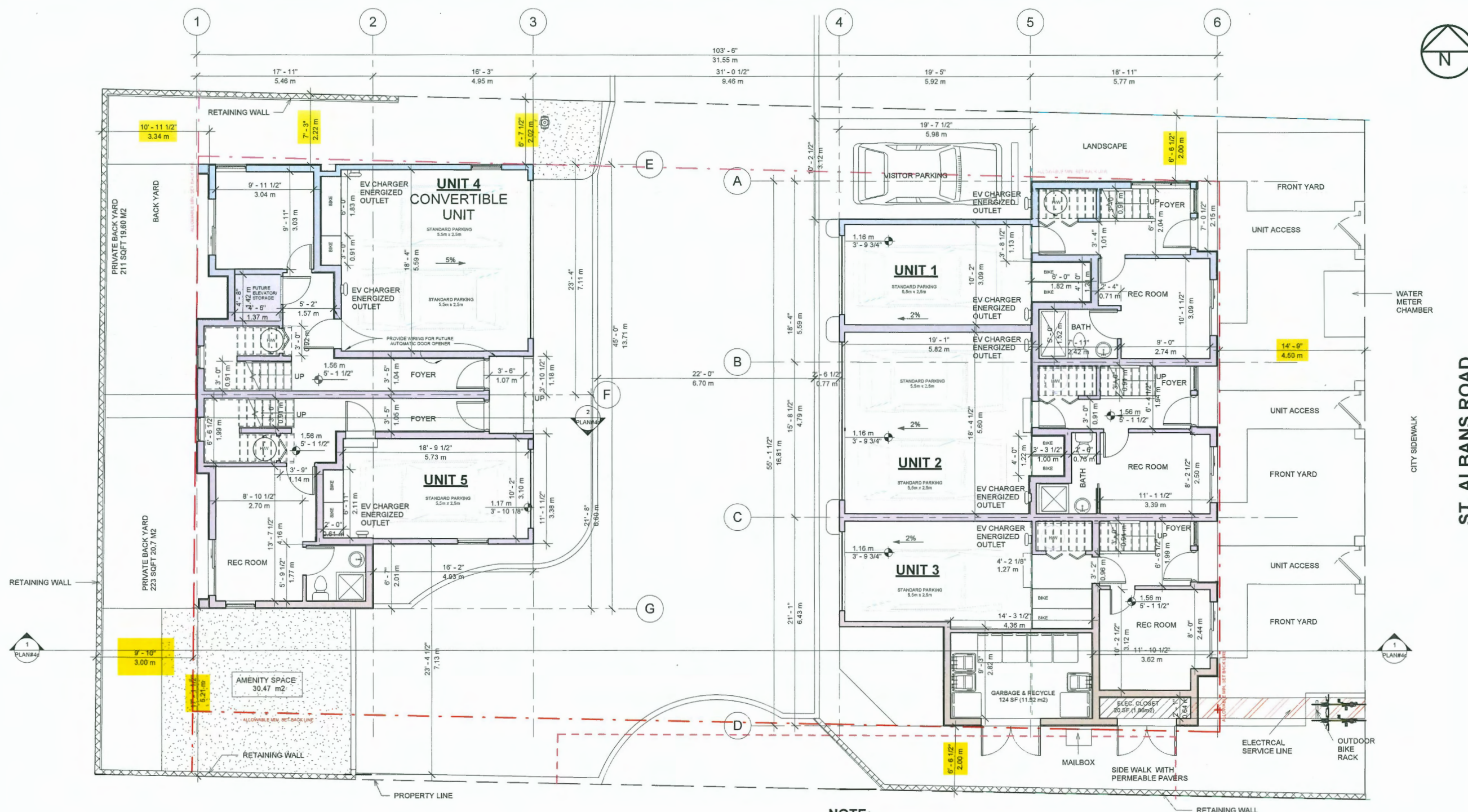
Date 2023-09-06

Drawn by BK, FN

Checked by MC

PLAN#1b

Scale 3/32" = 1'-0"



NOTE:

LOW ENERGY CONSUMPTION/LOW-FLOW FIXTURES AND APPLIANCES; DUAL FLUSH TOILETS,
LIGHT-COLORED ROOF PAVERS FOR THE ROOF DECKS TO REDUCE HEAT ABSORPTION AND
COOLING LOADS, SOLAR-POWERED HARDSCAPE LED LIGHTING WILL BE RECOMMENDED.

BIKE PARKING CALCULATION:

REQUIRED :

Class 1 : 1.25 per Town House = 1.25 x 5 = 6.25 = 7 Bikes Parking
Class 2 : 0.2 per Town House = 0.2 X 5 = 1.0 Bike Parking

PROVIDED:

Class 1:

Horizontal = 5 Vertical = 7x0.33 = 2.31 = 2

Extra Vertical Bike Parking = 3

Total = 10 Bike Parking (5 H. + 5 V.)

Class 2 :

2 Horizontal Bikes Parking

TOWNHOUSE	GROSS FLOOR AREA (SF)								Total Floor Area SF	Total Floor Area SM
	LEVEL 1	GROUND FLOOR EXCEPT 10 M	LEVEL 2	LEVEL 3	GARAGE	C PORCH				
	SF	SF	SM	SF	SF	SF	SM	SF		
TOWNHOUSE BLDG 1	1124								6658.60	618.60
UNIT 1	293	185.36	17.22	542	593	248	23.04		1320.36	122.67
UNIT 2	262	154.36	14.34	491	596	395	36.70	13	1254.36	116.53
UNIT 3	223	125.16	11.63	530	569	272	25.27	12	1236.16	114.84
UNIT 4	346	238.36	22.14	593	626	402	37.35	37	1494.36	138.83
UNIT 5	364	256.36	23.82	551	546	230	21.37		1353.36	125.73
TOTAL GFA									6658.60	618.60
FSR									0.75	
SITE AREA									825.00	8876.45
Total FLOOR AREA BEFORE EXCLUSION									618.60	6658.60

0.0m denotes grade & building elevations

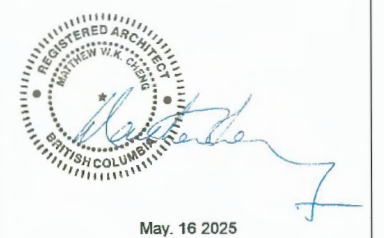
-- Tree protection area



ALL UNITS TO INCLUDE THE FOLLOWING AGINIG-IN-PLACE FEATURES:
 -LEVER STYLE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES;
 -BLOCKING INSTALLED IN WASHROOM WALLS FOR FUTURE GRAB BARS
 INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER AND
 -STAIR HANDRAILS



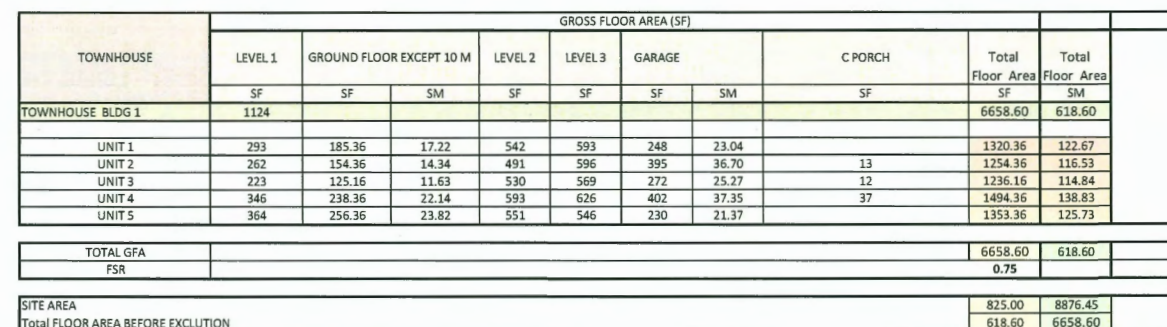
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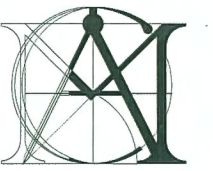
7511 ST. ALBANS ROAD
RICHMOND, BC

PLAN#1d

Scale $3/32" = 1'-0"$



LOW ENERGY CONSUMPTION/LOW-FLOW FIXTURES AND APPLIANCES; DUAL FLUSH TOILETS, LIGHT-COLORED ROOF PAVERS FOR THE ROOF DECKS TO REDUCE HEAT ABSORPTION AND COOLING LOADS. SOLAR-POWERED HARDSCAPE LED LIGHTING WILL BE RECOMENDED.



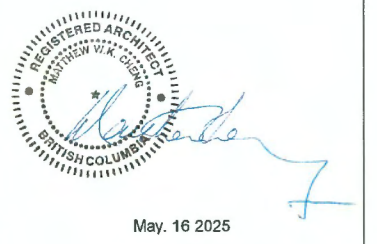
**MATTHEW CHENG
ARCHITECT INC**

UNIT 202 - 670 EVANS AVENUE
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E: MATTHEW@MCAI.CA

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DP 23-028741
May 21, 2025
PLAN #9

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



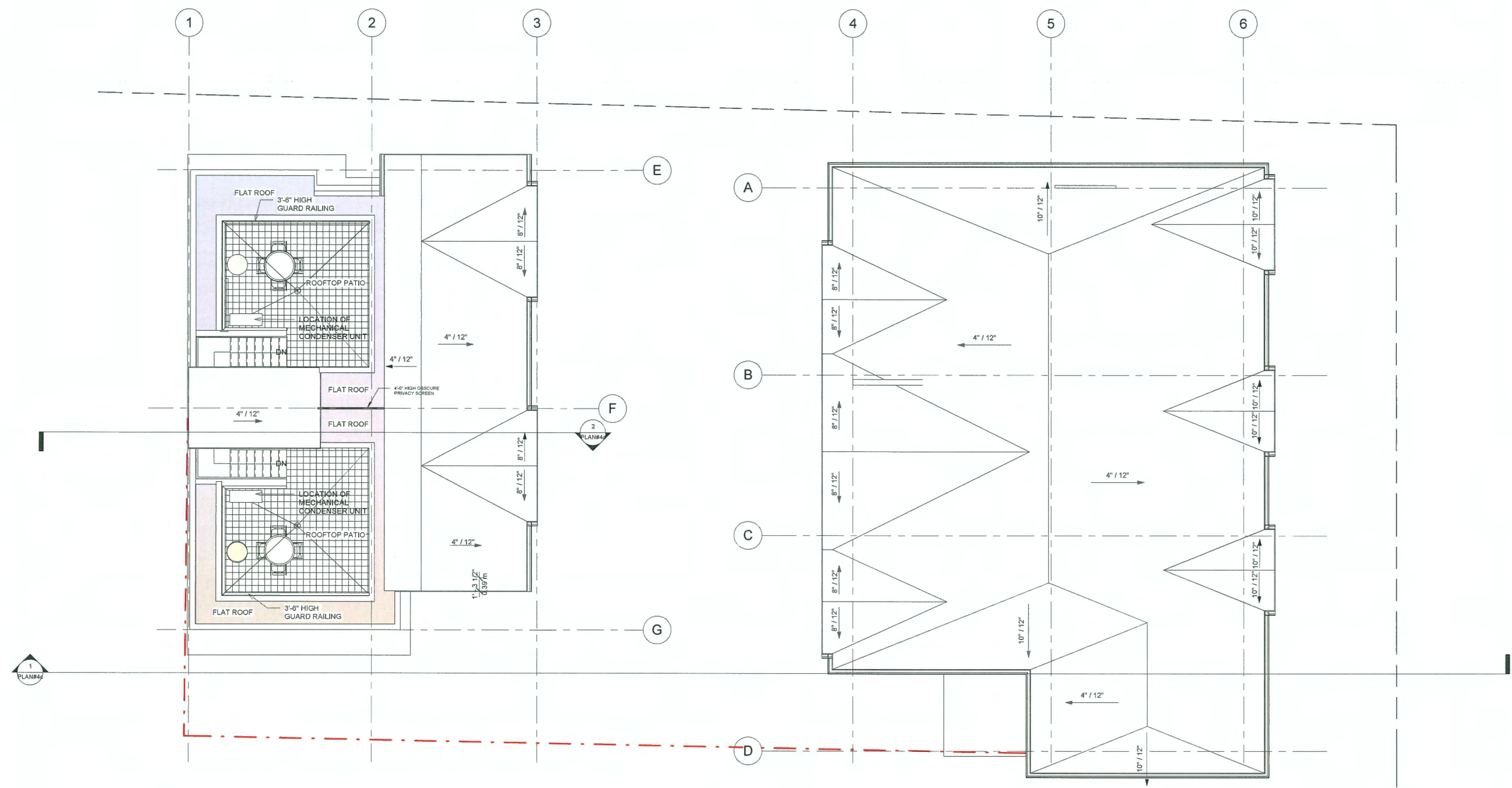
**5 UNIT TOWNHOUSE
DEVELOPMENT**

7511 ST. ALBANS ROAD
RICHMOND, BC

ROOF PLAN

Project number 17 R TH 01 7511 St Albans Rd.
Date 2023-09-06
Drawn by FN
Checked by MC

PLAN#1e
Scale 3/32" = 1'-0"





**MATTHEW CHENG
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No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION



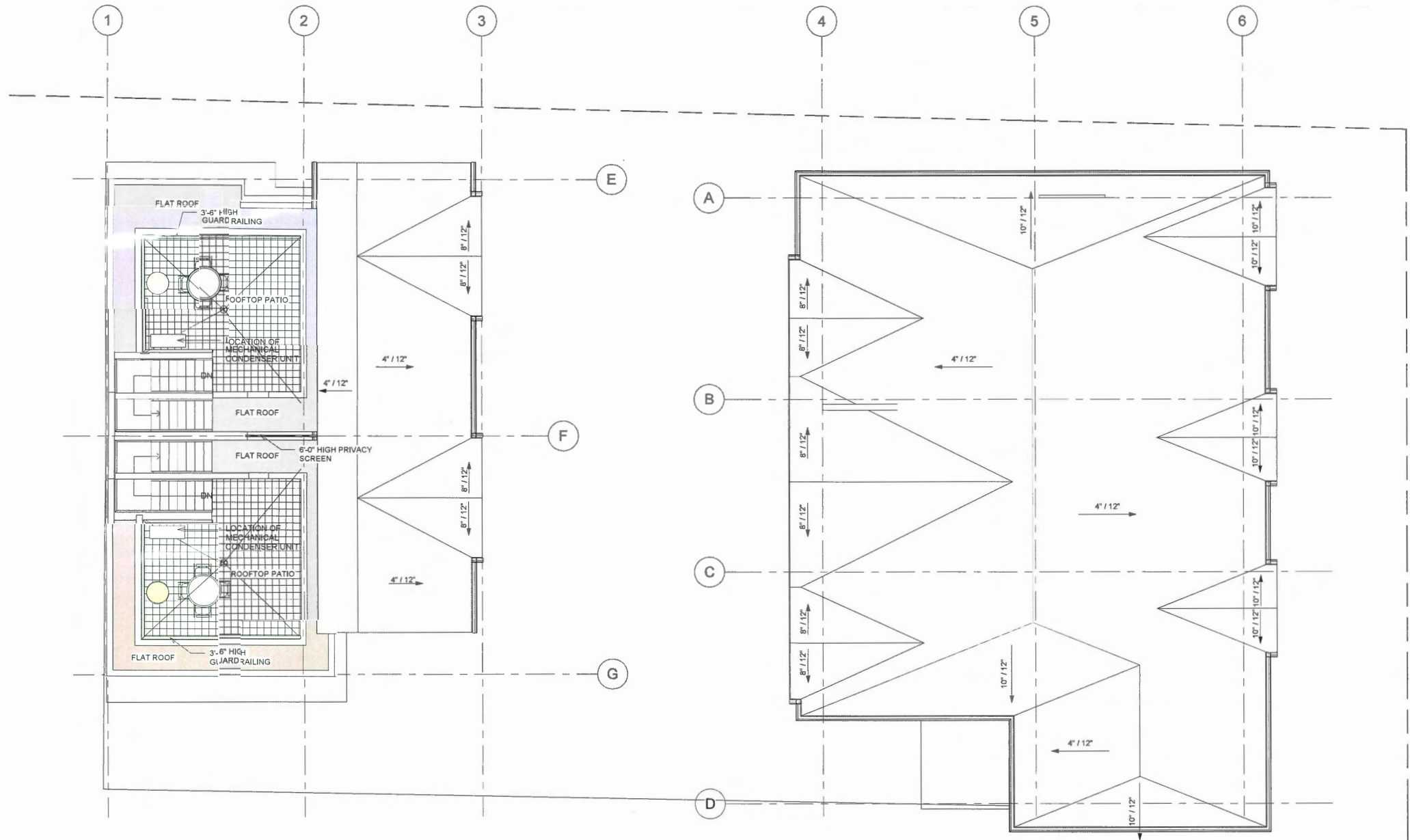
May 16 2025

**5 UNIT TOWNHOUSE
DEVELOPMENT**

7511 ST. ALBANS ROAD
RICHMOND, BC

ROOF ACCESS PLAN

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	Author
Checked by	Checker
PLAN#1f	
Scale	3/16" = 1'-0"



DP 23-028741
May 21, 2025
PLAN #10

5/19/2025 11:57:30 AM



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ARCHITECT INC

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DP 23-028741
May 21, 2025
PLAN #11

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May 16 2025

**5 UNIT TOWNHOUSE
DEVELOPMENT**

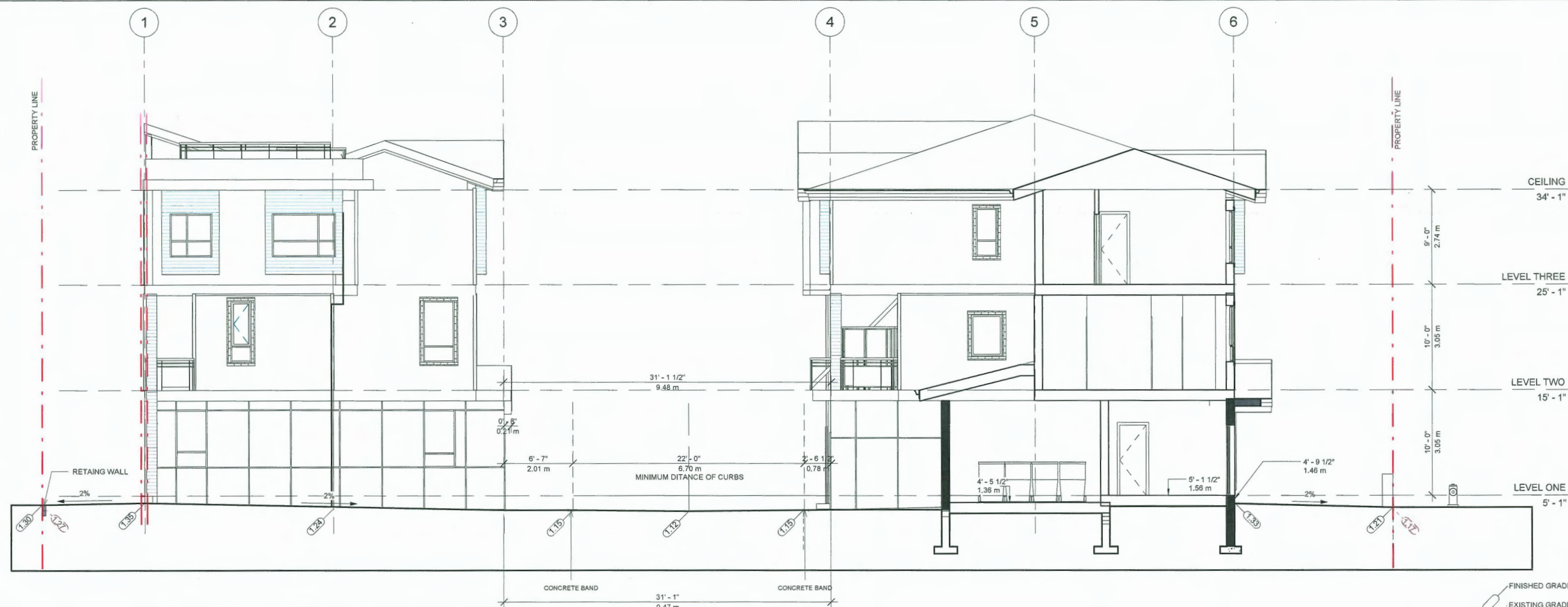
7511 ST. ALBANS ROAD
RICHMOND, BC

SECTIONS

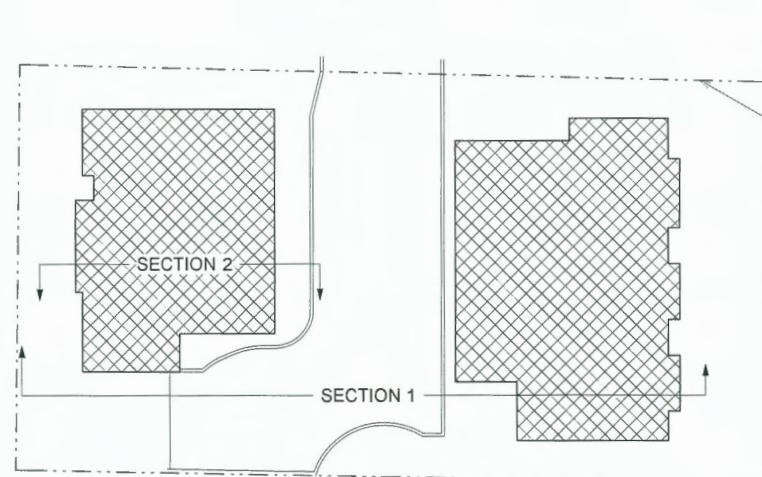
Project number 17 R TH 01 7511 St Albans Rd.
Date 2023-09-06
Drawn by BK, FN
Checked by MC

PLAN#4c

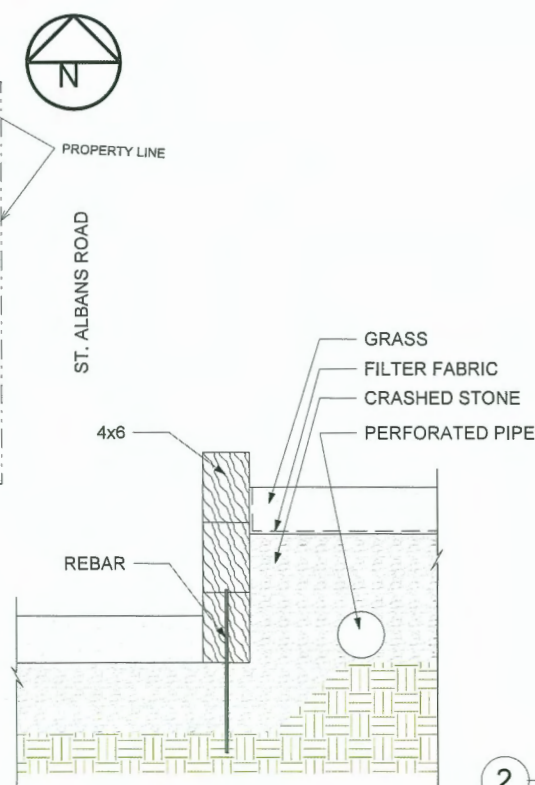
Scale As indicated



1 DRIVEWAY SECTION
3/32" = 1'-0"

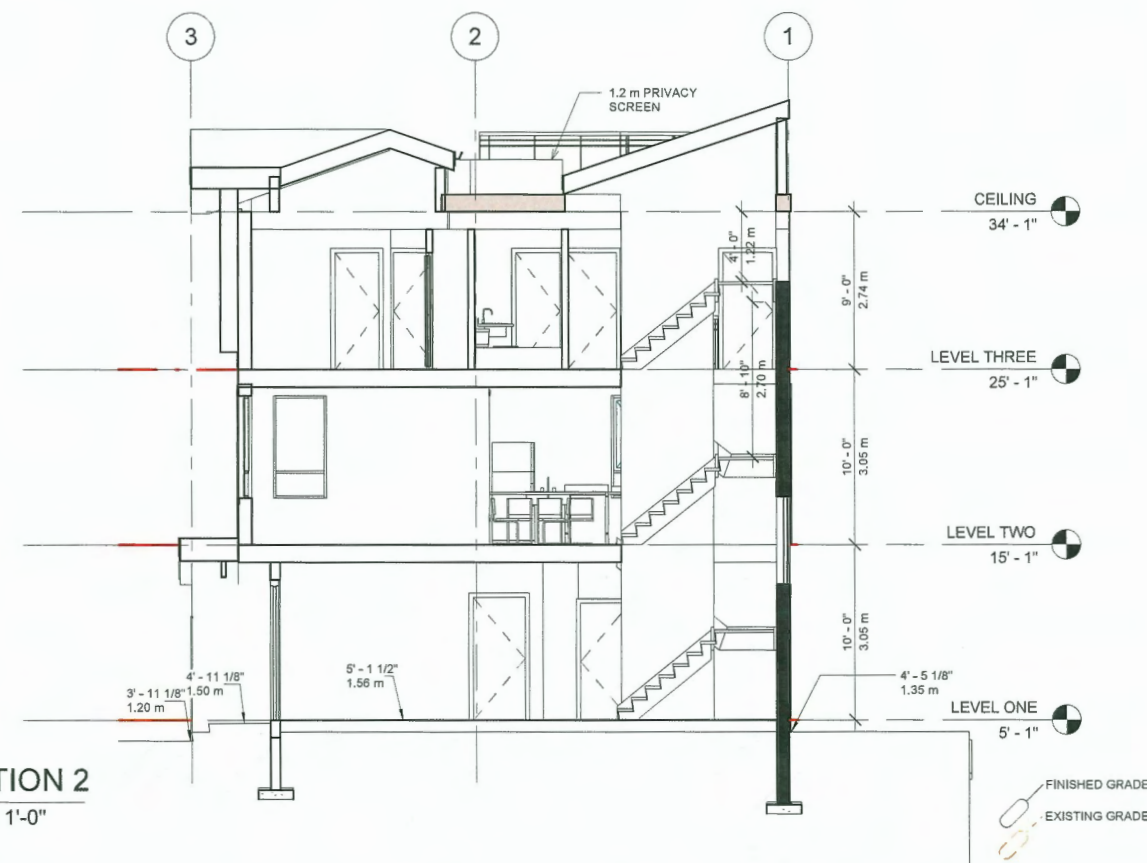


KEY PLAN



3 RETAINING WALL DETAIL
3/4" = 1'-0"

2 SECTION 2
3/32" = 1'-0"



MATTHEW CHENG
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UNIT 202 - 670 EVANS AVENUE
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DP 23-028741
May 21, 2025
PLAN #12

[illegible]

May. 16 2025

5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD
RICHMOND, BC

COLOR ELEVATIONS

Project number	17 R TH 01 7511 St Albans Road
Date	2023-09-04
Drawn by	Author
Checked by	Checker
10	
Scale	As indicated



1 1-UNIT 1 2 3-EAST
3/16" = 1'-0"



2 2-UNIT 1 2 3-WEST
3/16" = 1'-0"



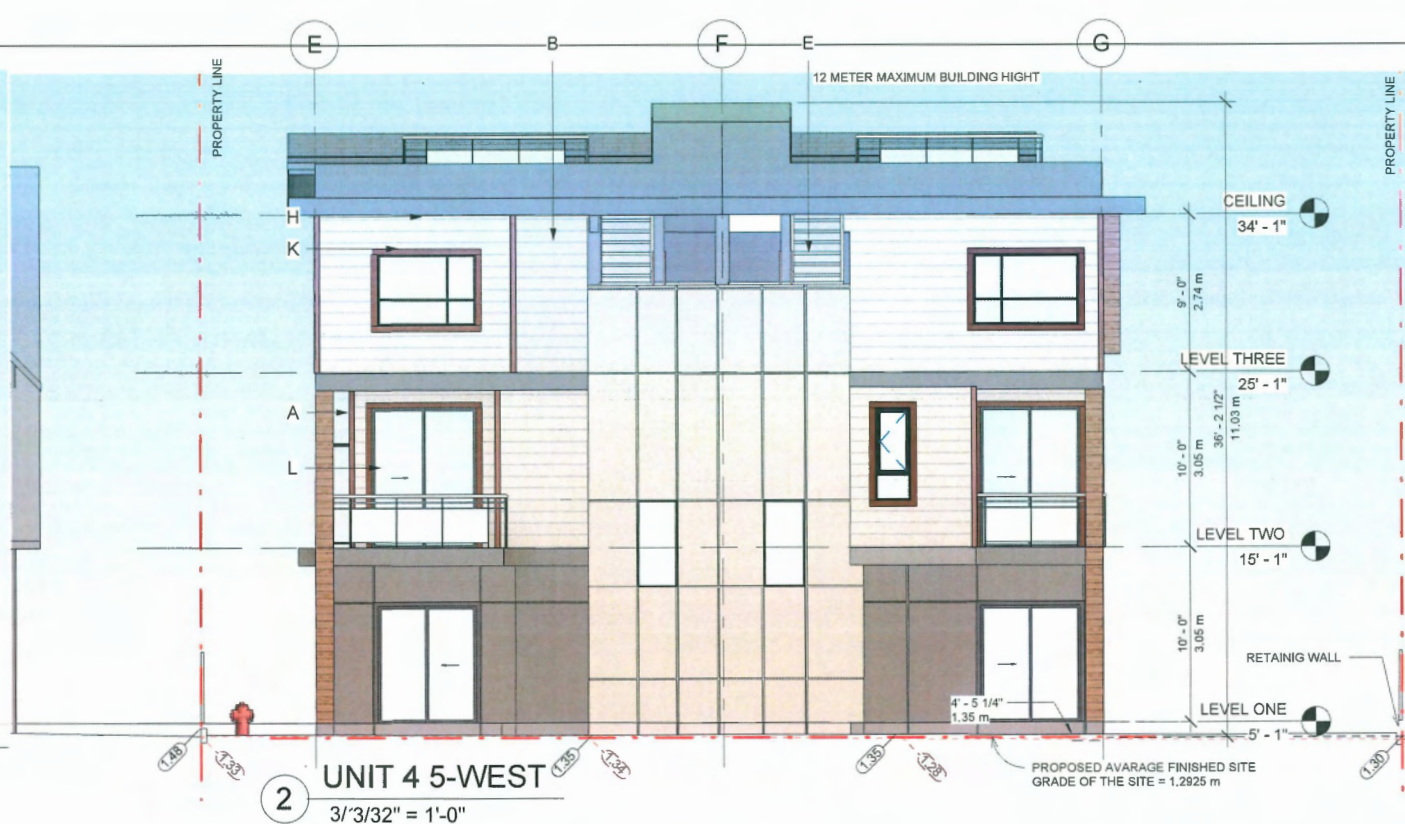
3 3-UNIT 4 5 EAST
3/16" = 1'-0"



4 4-UNIT 4 5-WEST
3/16" = 1'-0"





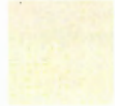





EXTERIOR MATERIAL LEGEND





UNIT 1 2 3-EAST
3/32" = 1'-0"

EXTERIOR MATERIAL LEGEND

	A - DARK CHERRY - METAL SIDING		B - PREPAINTED HARDIE PLANK-COBBLE STONE		C - PREPAINTED HARDIE BOARD-RICH ESPRESSO		D - SHINGLE - SHADOW GRAY		E - PREPAINTED HARDIE BOARD-COBBLE STONE
	F - PAINTED FIBERGLASS DOOR		G - PAINTED STEEL GARAGE DOOR WITH TOP-LIGHT COBBLE STONE		H - DOUBLE GLAZED VINYL WINDOW WITH BLACK FRAME		K - PREPAINTED HARDIE TRIM COUNTRYLANE RED		L - ALUMINUM RAILING / PRIVACY SCREEN WITH GLASS PANEL

MATTHEW CHENG
ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE
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DP 23-028741
May 21, 2025
PLAN #13

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION

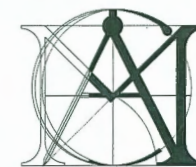
REGISTERED ARCHITECT
MATTHEW CHENG
BRITISH COLUMBIA
May. 16 2025

5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD
RICHMOND, BC

EXTERIOR ELEVATIONS

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	BK
Checked by	MC
PLAN#4	
Scale	As indicated



MATTHEW CHENG ARCHITECT INC

UNIT 202 - 670 EVANS AVENUE
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DP 23-028741
May 21, 2025
PLAN #14

No.	Date	Revision
1	JUL 2024	ISSUED FOR D.P. SUBMISSION
2	NOV 2024	REISSUED FOR D.P. SUBMISSION
3	FEB 2025	REISSUED FOR D.P. SUBMISSION
4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



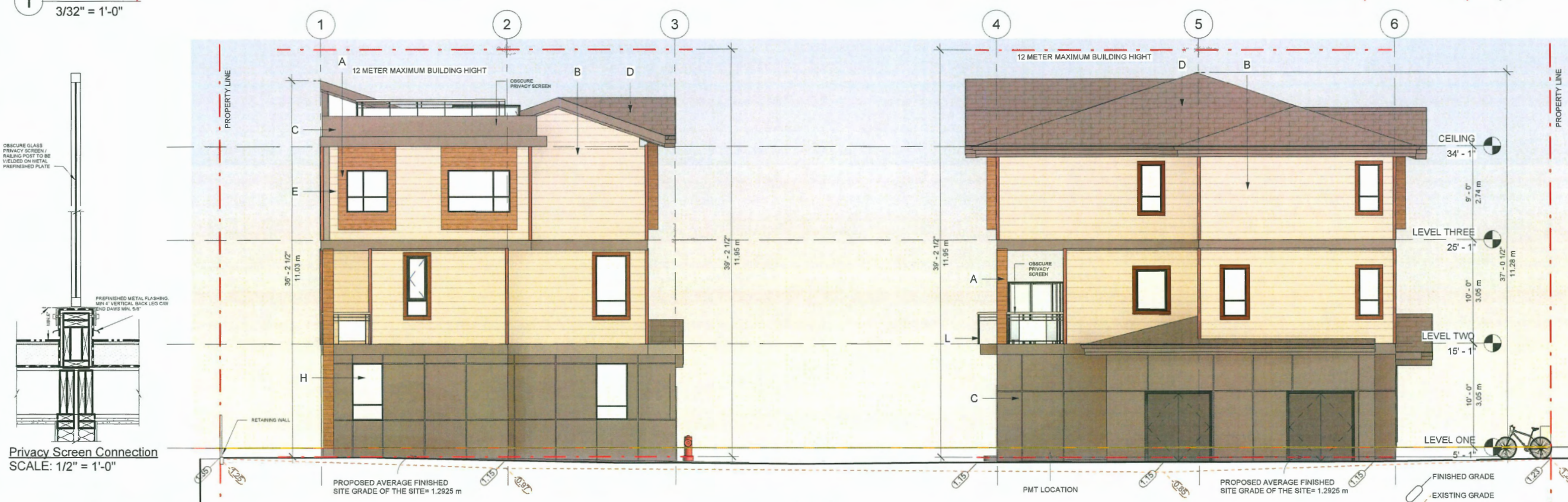
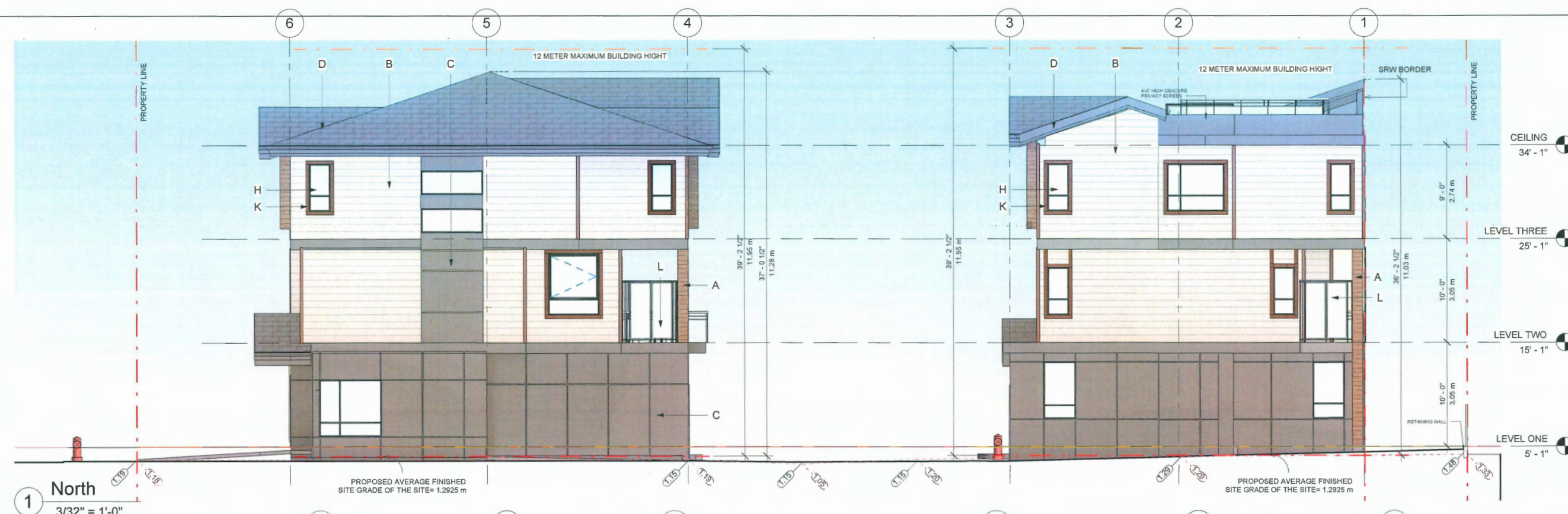
May. 16 2025

5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD
RICHMOND, BC

EXTERIOR ELEVATIONS

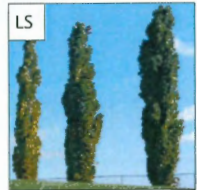
Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	BK
Checked by	MC
PLAN#4a	
Scale	As indicated



EXTERIOR MATERIAL LEGEND

	A - DARK CHERRY - METAL SIDING		B - PREPAINTED HARDIE PLANK-COBBLE STONE		C - PREPAINTED HARDIE BOARD-RICH ESPRESSO		D - SHINGLE - SHADOW GRAY		E - PREPAINTED HARDIE BOARD-COBBLE STONE
	F - PAINTED FIBERGLASS DOOR		G - PAINTED STEEL GARAGE DOOR WITH TOP-LIGHT-COBBLE STONE		H - DOUBLE GLAZED VINYL WINDOW WITH BLACK FRAME		K - PREPAINTED HARDIE TRIM COUNTRYLANE RED		L - ALUMINUM RAILING / PRIVACY SCREEN WITH GLASS PANEL

TREES



Liquidambar s. 'Slender Silhouette'

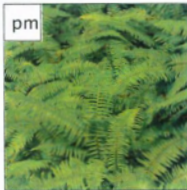


Pinus sylvestris 'Fastigiata'

CONIFEROUS SHRUBS



Thuja occidentalis 'Smaragd'



Polystichum munitum

BROADLEAF EVERGREEN SHRUBS



Abelia grand. 'Edward Goucher'



Azalea japonica 'Hino Crimson'



Lonicera pileata



Photinia x fraseri



Vaccinium ovatum

PLANT LIST

TREES

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
PS	8	Pinus sylvestris 'Fastigiata'	Scotch Sentinel Pine	4.0 m ht	100cm standard 8&8 min. 50cm root ball dia.	7.5m height 2.4m spread	as shown
LS	4	Liquidambar s. 'Slender Silhouette'	Slender Silhouette Sweetgum	8 cm cal	150cm standard 8&8 min. 50cm root ball dia.	16m height 3.0m spread	as shown

CONIFEROUS SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ts	42	Thuja occidentalis 'Smaragd'	Smaragd Hedging Cedar	1.2m B&B	minimum 20cm height	125cm height 250cm width	50cm

BROADLEAF EVERGREEN SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ag	8	Abelia grand. 'Edward Goucher'	Edward Goucher Abelia	#5 pot	minimum 60cm height	120cm height 120cm width	60cm
ah	36	Azalea japonica 'Hino Crimson'	Crimson Japanese Azalea	#2 pot	minimum 20cm height	100cm height 120cm width	50cm
lp	9	Lonicera pileata	Boxleaf Honeysuckle	#3 pot	minimum 50cm height	180cm height 190cm width	60cm
ph	7	Photinia x fraseri	Fraser Photinia	#5 pot	minimum 75cm height - heavy	360cm height 210cm width	90cm
vo	38	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot	minimum 50cm height	180cm height 190cm width	60cm

FERNS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
pm	92	Polystichum munitum	Swordfern	#1 pot	minimum 30cm height	100cm height 100cm width	50cm

GROUND COVERS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ar	240	Arctostaphylos uva-ursi	Kinnikinnick	10cm pot		10cm height 60cm width	30cm
la		Lawn	Shade Tolerant Blend				

GENERAL NOTES

1. COMPLIANCE, GOVERNMENT - ALL WORK SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF RICHMOND AND SHALL COMPLY WITH ALL STANDARDS AND REGULATIONS OF THE SAME. CONTRACTORS SHALL ENSURE COMPLIANCE OF ALL WORK PRIOR TO INSTALLATION.

2. COMPLIANCE, STANDARDS - ALL MATERIAL, SHIPPING PROCEDURES, AND INSTALLATION OF LANDSCAPE ELEMENTS SHALL CONFORM TO LATEST EDITION OF CANADIAN LANDSCAPE STANDARD AVAILABLE AT COMMENCEMENT OF WORK.

3. COMPLIANCE, MMCD - ALL WORKS SHALL CONFORM TO THE LATEST MMCD DETAILS AND SPECIFICATIONS AVAILABLE AT COMMENCEMENT OF WORK WHERE NO SPECIFIC DETAIL, NOTE OR SPECIFICATION IS PROVIDED IN THE DRAWING SET OR ATTACHED MATERIALS.

4. EXISTING SERVICES - REFER TO ENGINEERING DRAWINGS FOR LOCATIONS OF ALL BURIED SERVICES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL UTILITIES LOCATIONS AND ANY AND ALL COSTS WHICH ARISE FROM DAMAGE TO SERVICES CAUSED BY ANY ACT OR FAILURE TO ACT OF THE CONTRACTOR.

5. COORDINATION - THESE DRAWINGS SHALL BE TAKEN TO BE PART OF THE LARGER SET OF DRAWINGS AND SPECIFICATIONS, WHETHER DIRECTLY ATTACHED OR NOT, ISSUED FOR THE CONSTRUCTION OF THE ASSOCIATED BOULEVARD WORKS. THESE DRAWINGS SHALL BE READ IN CONCERT WITH SUCH DOCUMENTATION AND, WHERE CONFLICTS ARISE, THE CONTRACTOR SHALL IMMEDIATELY REPORT SUCH CONFLICTS TO THE LANDSCAPE ARCHITECT. THE WORK IS TO BE DONE IN COORDINATION WITH THE CONTRACTOR OR CONTRACTORS ENGAGED IN CONSTRUCTION OF SUCH ADJACENT WORKS.

6. CONCRETE, FORMS - THE CONTRACTOR SHALL COMPARE DIMENSIONS PROVIDED WITH SITE CONDITIONS AND IMMEDIATELY REPORT ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT AND THE ENGINEER. ONCE COMPLETED THE CONTRACTOR SHALL CALL FOR INSPECTION OF THE FORMS PRIOR TO PLACING STEEL REINFORCEMENT. CONTACT LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.

7. CONCRETE, REINFORCEMENT - ALL CONCRETE REINFORCEMENT SHALL BE INSPECTED AND APPROVED BY THE STRUCTURAL ENGINEER PRIOR TO POURING OF CONCRETE. CONTACT STRUCTURAL ENGINEER A MINIMUM OF 48 HOURS PRIOR TO DESIRED INSPECTION TIME.

8. GRADING, GENERAL - THE CONTRACTOR SHALL ESTABLISH GRADES SUCH THAT THERE IS, IN ALL AREAS, POSITIVE DRAINAGE TO AN ADJACENT DRAIN. MINIMUM SLOPES SHALL BE AS FOLLOWS:

PEDESTRIAN PAVED AREAS	1%
VEHICULAR PAVED AREAS	1%
LAWN AREAS	2%
PLANTED BEDS	5%

9. GRADING, ALLOWANCES AND TOPSOIL PLACEMENT - OVERALL DEPTH OF PLANTING MEDIUM AFTER SETTLEMENT SHALL BE:

GRASS AREAS	150 MM
SHRUB BEDS	450 MM
GROUND COVER AREAS	300 MM
TREES	800 MM
MIN. 10 m3 / DECIDUOUS TREE MIN. 3 m3 / CONIFEROUS TREE	

N.B. ALL SOIL SHALL BE TESTED NOT MORE THAN 14 DAYS PRIOR TO INSTALLATION ON SITE. TESTING SHALL BE SPECIFIC TO THIS WORK. CONTRACTOR SHALL AMEND THE SOIL ACCORDING TO THE RECOMMENDATIONS OF THE SOILS TESTING LAB.

10. GRADING, BUILDING FINISHED FLOOR & CORNER ELEVATIONS - SEE ARCHITECTURAL DRAWINGS.

11. GRADING, GENERAL RETENTION WORKS - ALL RETENTION WORKS, EITHER SHOWN HERE OR REQUIRED DUE TO UNANTICIPATED CONDITIONS AT THE TIME OF CONSTRUCTION, SHALL BE SPLIT FACED ALLAN BLOCK WITH THE EXCEPTION OF RETAINING WORKS IN THE SIDE YARD DRAINAGE AREAS SPECIFICALLY NOTED AS PRESSURE TREATED WOOD. SHOULD UNANTICIPATED RETAINING WALLS BE REQUIRED, THE CONTRACTOR SHALL INFORM THE TOWNSHIP OF LANGLEY GREEN INFRASTRUCTURE SERVICES DEPARTMENT IN WRITING OF THE LOCATION, HEIGHT AND EXTENT OF SUCH WALL.

12. PLANT MATERIAL, QUANTITIES - CONTRACTOR SHALL CONFIRM ALL PLANT MATERIAL QUANTITIES. ANY DISCREPANCIES BETWEEN THE PLANT LIST AND THE DRAWING SHALL BE REPORTED TO THE CONSULTANT. IN CASE OF DISCREPANCY CONTRACTOR SHALL INSTALL PLANT MATERIAL AS PER DRAWING. IN CIRCUMSTANCES WHERE THERE IS A DISCREPANCY BETWEEN GROUND COVER QUANTITY AND SPACING THE SPACING REQUIREMENT WILL PREVAIL.

13. PLANT MATERIAL, SUBSTITUTIONS - NO SUBSTITUTIONS TO PLANT LIST SHALL BE MADE BY CONTRACTOR WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CONSULTANT.

14. PLANT MATERIAL, HEALTH - ALL PLANT MATERIALS MUST BE DISEASE FREE FROM CERTIFIED NURSERIES.

15. MULCH - PLANTING AREAS SHALL BE MULCHED WITH 50 MM OF HEM/FIR BARK MULCH. THE USE OF CEDAR MULCH OR ANY MIX CONTAINING CEDAR IS NOT PERMITTED.

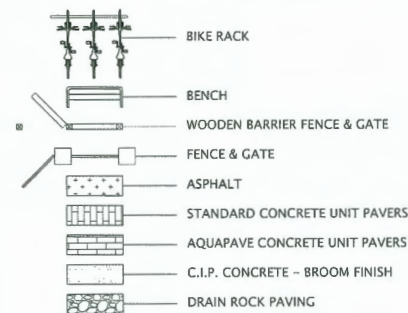
16. IRRIGATION - AN IRRIGATION SYSTEM SHALL BE INSTALLED AS A DESIGN/BUILD BY AN ACCREDITED IRRIGATION CONTRACTOR. THE SYSTEM SHALL PROVIDE FULL COVERAGE. THE GENERAL CONTRACTOR SHALL PROVIDE SLEEVES AND CORING AS NECESSARY. A PLAN OF THE PROPOSED SYSTEM SHALL BE PROVIDED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.

PROPOSED TOWNHOUSES 7511 ST. ALBANS ROAD RICHMOND BC

DRAWING INDEX

3.a	NOTES & SYMBOLS
3.b	KEY PLAN
3.c	PERVIOUS / IMPERVIOUS AREA PLAN
3.d	HARD LANDSCAPE PLAN
3.e	LIGHTING / HOSE BIBS
3.f	PLANTING PLAN
3.g	TREE MANAGEMENT PLAN
3.h	DETAILS
3.i	DETAILS
3.j	DETAILS

HARD LANDSCAPE KEY



DP 23-028741
May 21, 2025
PLAN #15

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.

This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

Consultants
Architectural: Matthew Cheng Architect Inc
Arborist: -
Civil: -
Structural: -
Mechanical: -
Electrical: -

Professional seal and signature of Donald V. S. Duncan, Registered Professional Landscape Architect, No. 559, dated 2025-05-16.

DVSD Donald V. S. Duncan
DEVELOPMENT CONSULTANT
LANDSCAPE ARCHITECT
603 - 220 Eleventh Street
New Westminster BC
Canada V3M 6N9
778-791-4323
dvsduncan@gmail.com

Richmond #
RZ 18-818548

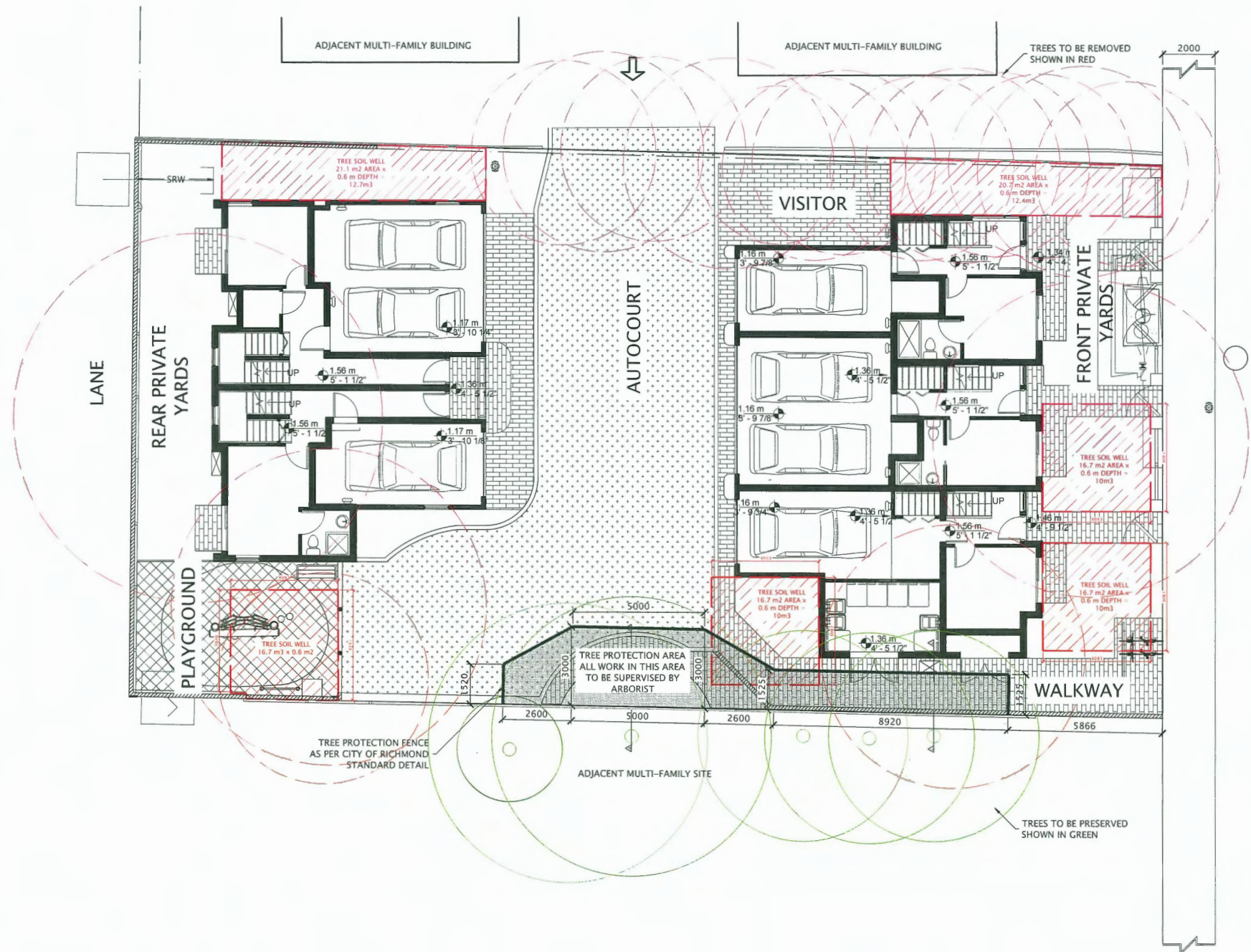
P	Project Leader	D.Duncan
	Drawn	D.Duncan
Revision		

PROPOSED
5 UNIT TOWNHOUSE
7511 St. Albans Road
Richmond BC
Drawing Title
NOTES & SYMBOLS

Check Scale (may be photo reduced)	0 1 inch 0 10mm
Project No.	21-0096
Drawing No.	3.a

PLOT DATE: May 16, 2025 TIME: 11:15 AM FULL PATH AND FILENAME: D:\PROJECTS\121-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\LI-01_3B.DWG PLOTSTYLE TABLE: -----

01
3.b
KEY PLAN
SCALE 1:100



ST. ALBANS ROAD

DP 23-028741
May 21, 2025
PLAN #16

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

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Consultants
Architectural: Matthew Cheng Architect Inc
Arborist: -
Civil: -
Structural: -
Mechanical: -
Electrical: -



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Richmond #
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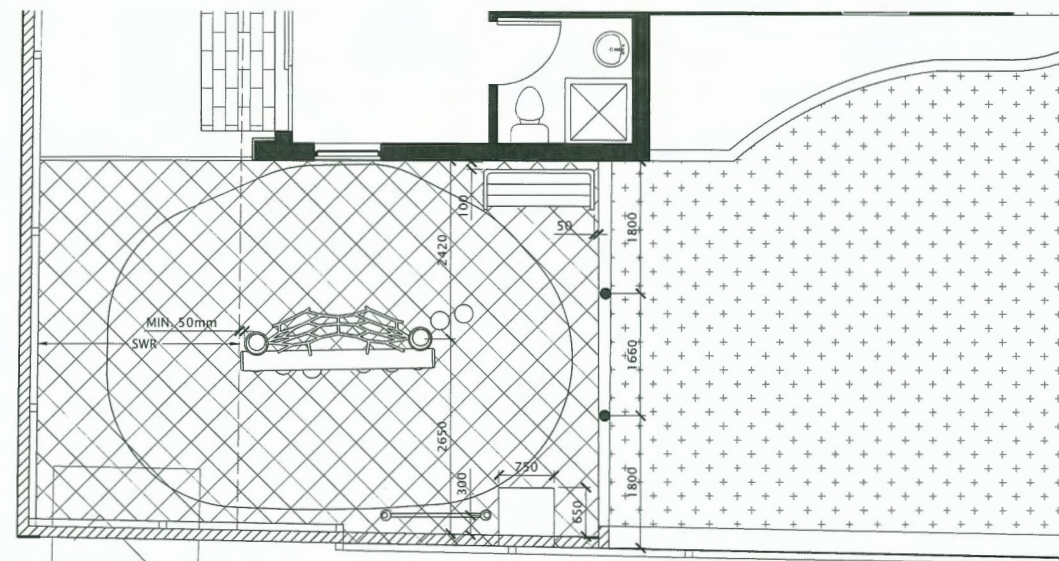
P	Project Leader
Revision	D.Duncan
	Drawn D.Duncan

PROPOSED
5 UNIT TOWNHOUSE
7511 St. Albans Road
Richmond BC

Drawing Title
KEY PLAN

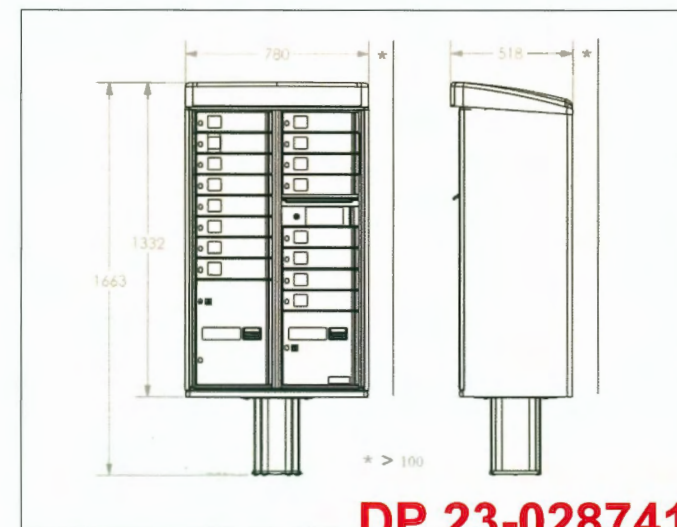
Check Scale (may be photo reduced)
0 1 inch 0 10mm

Project No. 21-0096
Drawing No. 3.b



02
3.d

PLAYGROUND PLAN
SCALE 1:50



04 MAIL BOX
3.d N.T.S.

Check Scale (may be photo reduced)

0 1 inch 0 10mm

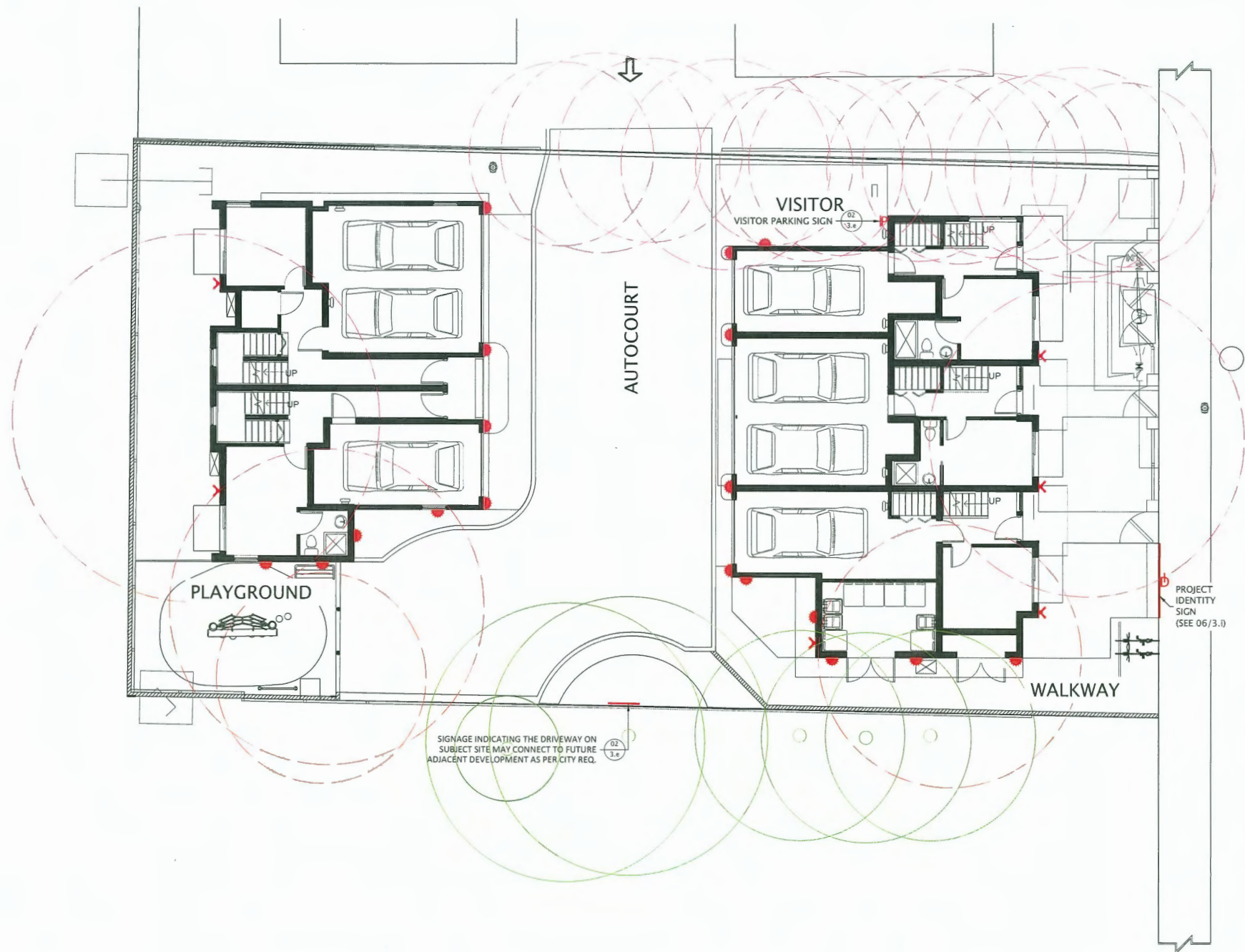
Project No. 21-0096

Drawing No. 3.d

DP 23-028741
May 21, 2025
PLAN #17

PLOT DATE: May 16, 2025 TIME: 11:18 AM FULL PATH AND FILENAME: D:\PROJECTS\ID21-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\13-01_3E.DWG PLOTSYLE TABLE:

01
3.e LIGHTING / HOSE BIB PLAN
SCALE 1:100



LIGHTING KEY

WALL MOUNTED LIGHT

NOTES:
1. FIXTURES AS PER LIEW ENGINEERING LTD.

HOSE BIB KEY

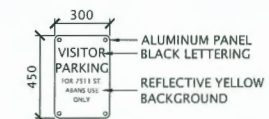
HOSE BIB

SIGN KEY

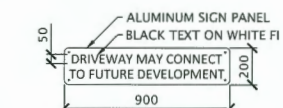
VISITOR PARKING SIGN

PROJECT IDENTITY SIGN (w/ ACCESS INFO)

FUTURE ACCESS SIGN



VISITOR PARKING SIGN



FUTURE ACCESS SIGN

02 3.e INTERNAL SITE SIGNAGE N.T.S.

NOTE: ALL EXTERIOR LIGHT FIXTURES SHALL BE FITTED WITH APPROPRIATE SHADES AND / OR SHIELDS AS MAY BE NECESSARY TO PREVENT GLARE THAT MIGHT IMPACT ADJACENT LAND USES, IMPAIR THE VISION OF PEDESTRIANS OR DRIVES, OR MAY CONTRAVENE THE CITY OF RICHMOND "DARK SKIES" POLICY.

PROJECT IDENTITY SIGN
(SEE 06/3.1)

DP 23-028741
May 21, 2025
PLAN #18

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

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Consultants

Architectural: Matthew Cheng Architect Inc
Arborist: -
Civil: -
Structural: -
Mechanical: -
Electrical: -



DVSD Donald V. S. Duncan
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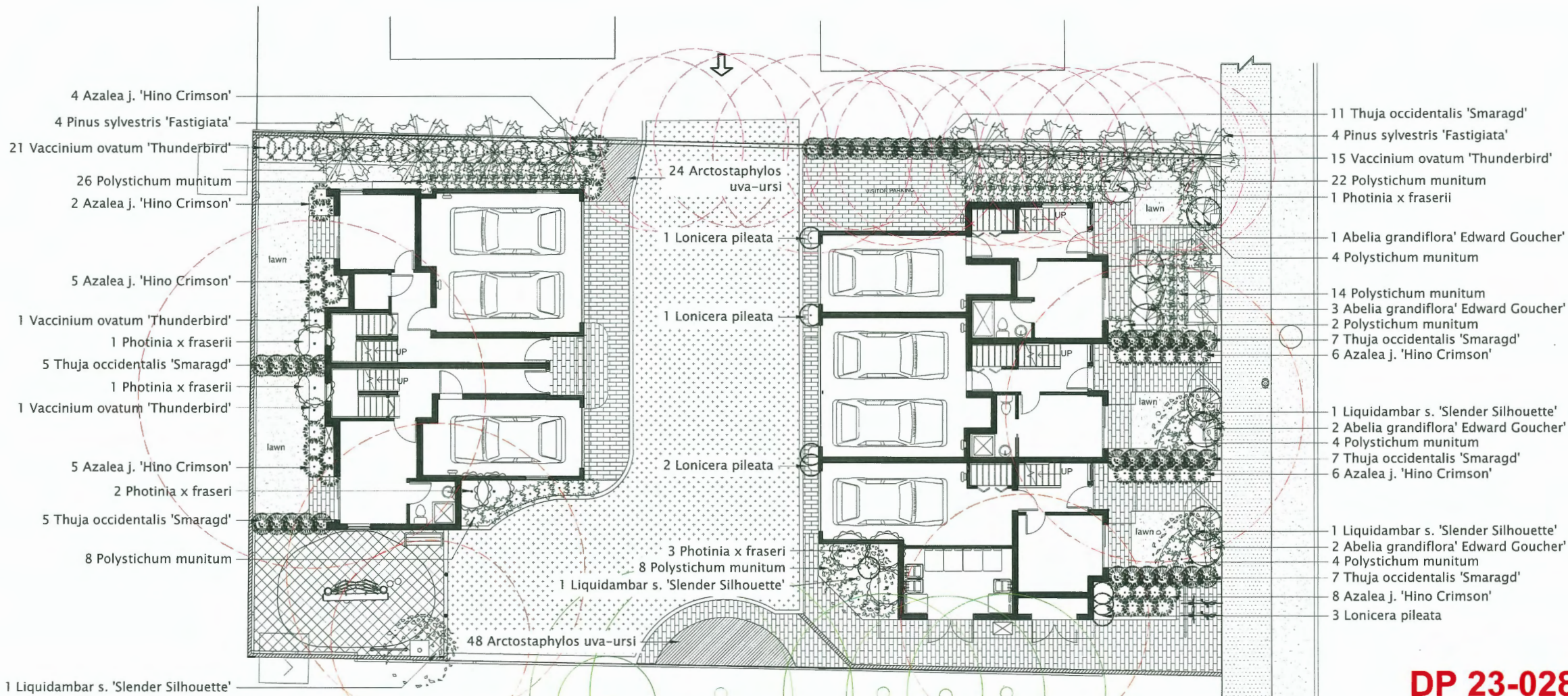
Richmond #
RZ 18-818548

P Revision	Project Leader
	D.Duncan
P	Drawn
	D.Duncan
PROPOSED 5 UNIT TOWNHOUSE 7511 St. Albans Road Richmond BC Drawing Title LIGHTS/HOSE BIBS/SIGNS	
Check Scale (may be photo reduced) 0 1 inch 0 10mm	
Project No. 21-0096	
Drawing No. 3.e	

PLOT DATE: May 16, 2025 TIME: 11:19 AM FULL PATH AND FILENAME: D:\PROJECTS\21-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\LA-01_3F.DWG PLOTSTYLE TABLE:

01
3.f

PLANTING PLAN
SCALE 1:100



PLANT LIST

TREES

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
PS	8	Pinus sylvestris 'Fastigiata'	Scotch Sentinel Pine	4.0 m ht	100cm standard 888 min. 50cm root ball dia.	7.5m height 2.4m spread	as shown
LS	4	Liquidambar s. 'Slender Silhouette'	Slender Silhouette Sweetgum	8 cm cal	150cm standard 888 min. 50cm root ball dia.	16m height 3.0m spread	as shown

CONIFEROUS SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ts	42	Thuja occidentalis 'Smaragd'	Smaragd Hedging Cedar	1.2m B&B	minimum 20cm height	125cm height 250cm width	50cm

BROADLEAF EVERGREEN SHRUBS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ag	8	Abelia grand. 'Edward Goucher'	Edward Goucher Abelia	#5 pot	minimum 60cm height	120cm height 120cm width	60cm
ah	36	Azalea japonica 'Hino Crimson'	Crimson Japanese Azalea	#2 pot	minimum 20cm height	100cm height 120cm width	50cm
lp	9	Lonicera pileata	Boxleaf Honeysuckle	#3 pot	minimum 50cm height	180cm height 190cm width	60cm
ph	7	Photinia x fraseri	Fraser Photinia	#5 pot	minimum 75cm height - heavy	360cm height 210cm width	90cm
vo	38	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot	minimum 50cm height	180cm height 190cm width	60cm

FERNS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
pm	92	Polystichum munitum	Swordfern	#1 pot	minimum 30cm height	100cm height 100cm width	50cm

GROUND COVERS

CODE	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS	MATURE SIZE	SPACING
ar	240	Arctostaphylos uva-ursi	Kinnikinnick	10cm pot		10cm height 60cm width	30cm
la		Lawn	Shade Tolerant Blend				

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2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

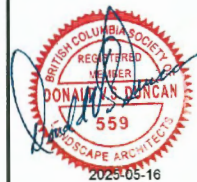
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Civil: -
Structural: -
Mechanical: -
Electrical: -



DV S.D. Donald V. S. Duncan
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dvsduncan@gmail.com

Richmond #
RZ 18-818548

P	Project Leader
Revision	D.Duncan
Drawn	D.Duncan

PROPOSED
5 UNIT TOWNHOUSE
7511 St. Albans Road
Richmond BC

Drawing Title
PLANTING PLAN

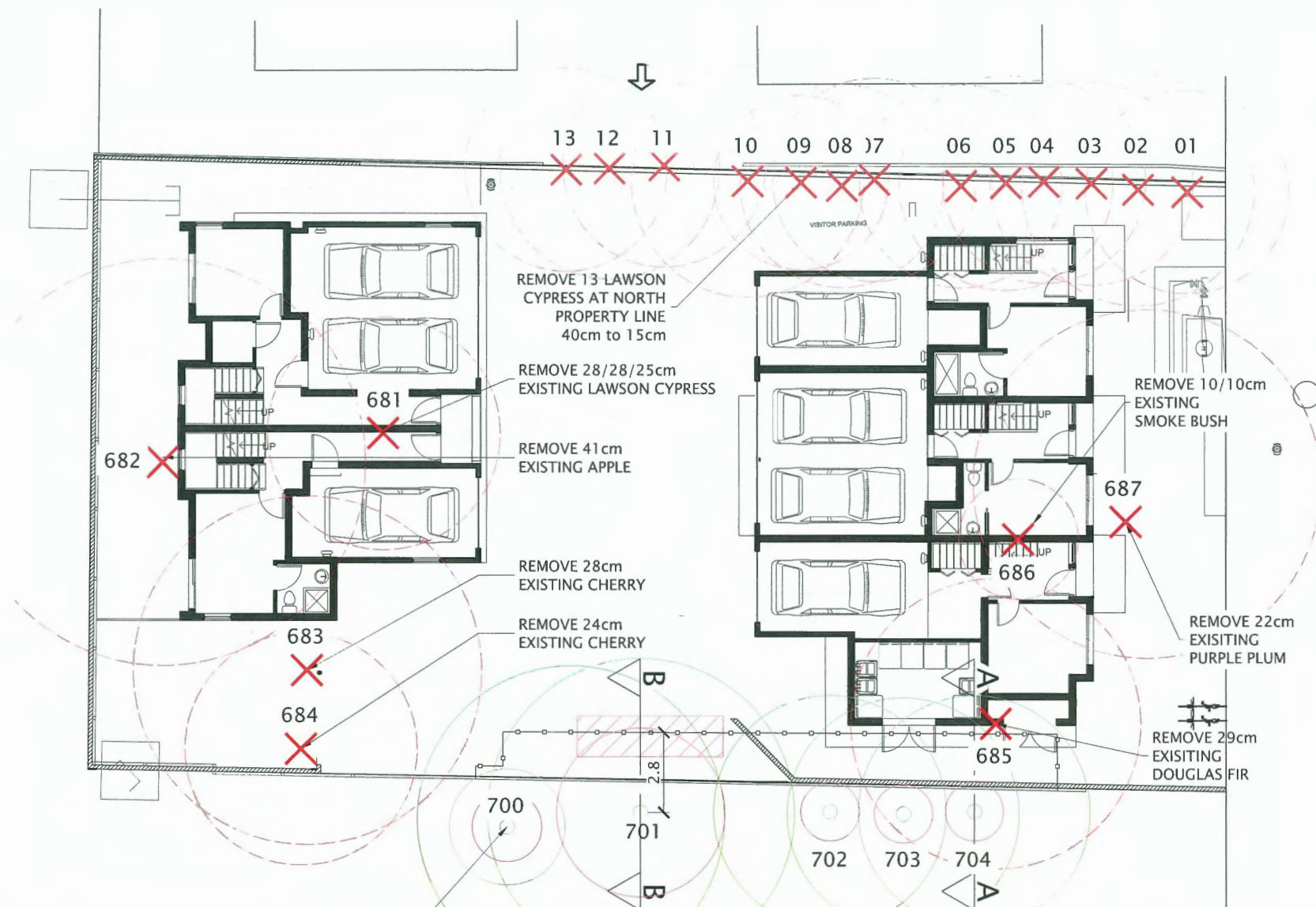
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Project No. 21-0096

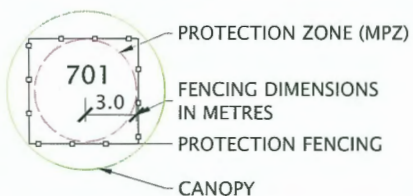
Drawing No. 3.f

DP 23-028741
May 21, 2025
PLAN #19

PLOT DATE: May 16, 2025 TIME: 11:21 AM FULL PATH AND FILENAME: D:\PROJECTS\ID21-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\4-11_3.GDWG PLOTSYLE TABLE:

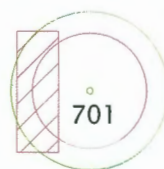


TREES PROPOSED FOR PRESERVATION



EXISTING TREES TO REMAIN

AREAS REQUIRING ARBORIST SUPERVISION



TREES PROPOSED FOR REMOVAL



NOTES:

1. REFER TO TREE PROTECTION REPORT BY FROGGER CREEK TREE CONSULTANTS LTD FOR INFORMATION CONCERNING SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
2. ALL MEASUREMENTS ARE METRIC.

TREE INVENTORY				
#	Type	Action	DBH	MPZ
1	Lawson Cypress	Remove	40cm	2.4m
2	Lawson Cypress	Remove	38cm	2.3m
3	Lawson Cypress	Remove	33cm	2.0m
4	Lawson Cypress	Remove	36cm	2.2m
5	Lawson Cypress	Remove	30cm	1.8m
6	Lawson Cypress	Remove	37cm	2.2m
7	Lawson Cypress	Remove	25/25/25cm	2.5m
8	Lawson Cypress	Remove	25/25/25cm	2.5m
9	Lawson Cypress	Remove	20/15/15cm	2.5m
10	Lawson Cypress	Remove	25/25/20cm	2.5m
11	Lawson Cypress	Remove	15/15/15cm	2.0m
12	Lawson Cypress	Remove	20/20/15cm	2.5m
13	Lawson Cypress	Remove	25/20/10cm	2.5m
681	Lawson Cypress	Remove	28/28/25cm	3.2m
682	Apple	Remove	41cm	2.5m
683	Cherry	Remove	28/18cm	2.4m
684	Cherry	Remove	24cm	1.4m
685	Douglas Fir	Remove	29cm	1.7m
686	Smoke Bush	Remove	10/10cm	1.2m
687	Purple Plum	Remove	22cm	1.3m
700	Japanese Maple	Retain	5/5/5cm	1.2m
701	Douglas Fir	Retain	48cm	2.9m
702	Cherry	Retain	15cm	1.0m
703	Cherry	Retain	14cm	1.0m
704	Cherry	Retain	14cm	1.0m

DBH- trunk diameter, MPZ- protection zone

TREE PROTECTION FENCING

Minimum Radial Distance from trunk

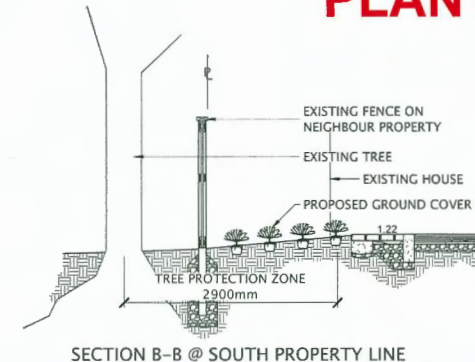
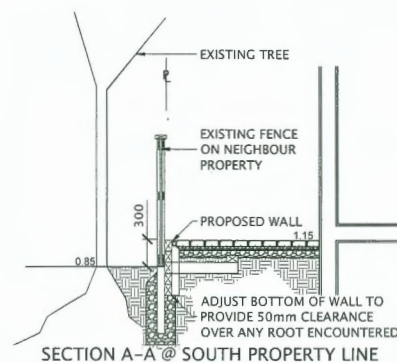
#	Type	DBH	Metres	Feet
700	Japanese Maple	5/5/5cm	2.0m	6.6ft
701	Douglas Fir	48cm	2.9m	9.4ft
702	Cherry	15cm	2.5m	8.2ft
703	Cherry	14cm	2.5m	8.2ft
704	Cherry	14cm	2.5m	8.2ft

01
3.g
TREE MANAGEMENT PLAN
SCALE 1:100 PLAN PREPARED BY: FROGGER CREEK TREE CONSULTANTS LTD.

TREE COUNTS

18	Trees Removed
12	Trees Proposed

NOTE: SEE ARBORIST REPORT FOR ADDITIONAL DETAIL REGARDING EXISTING TREES.



DP 23-028741
May 21, 2025
PLAN #20

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
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2025-05-01	D.P.	N
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2025-05-16	D.P.	P

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Arborist: -
Civil: -
Structural: -
Mechanical: -
Electrical: -



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Richmond #
RZ 18-818548

P	Project Leader	D.Duncan
	Drawn	D.Duncan
Revision		

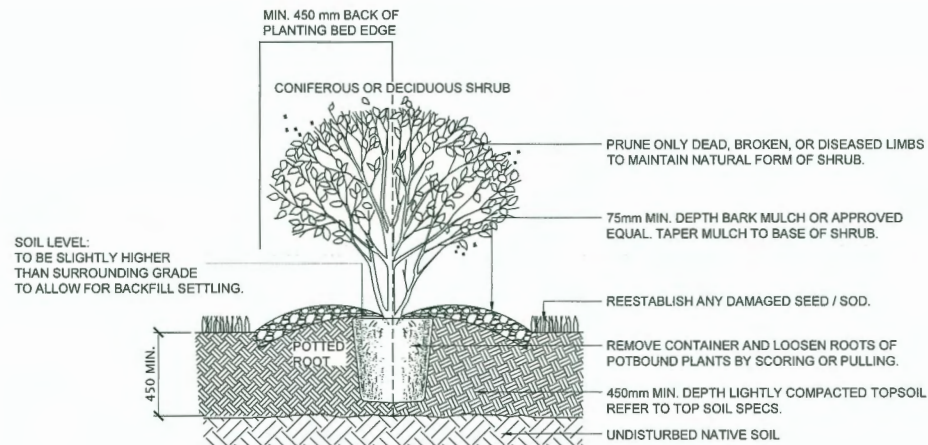
PROPOSED
5 UNIT TOWNHOUSE
7511 St. Albans Road
Richmond BC

Drawing Title
TREE MANAGEMENT PLAN

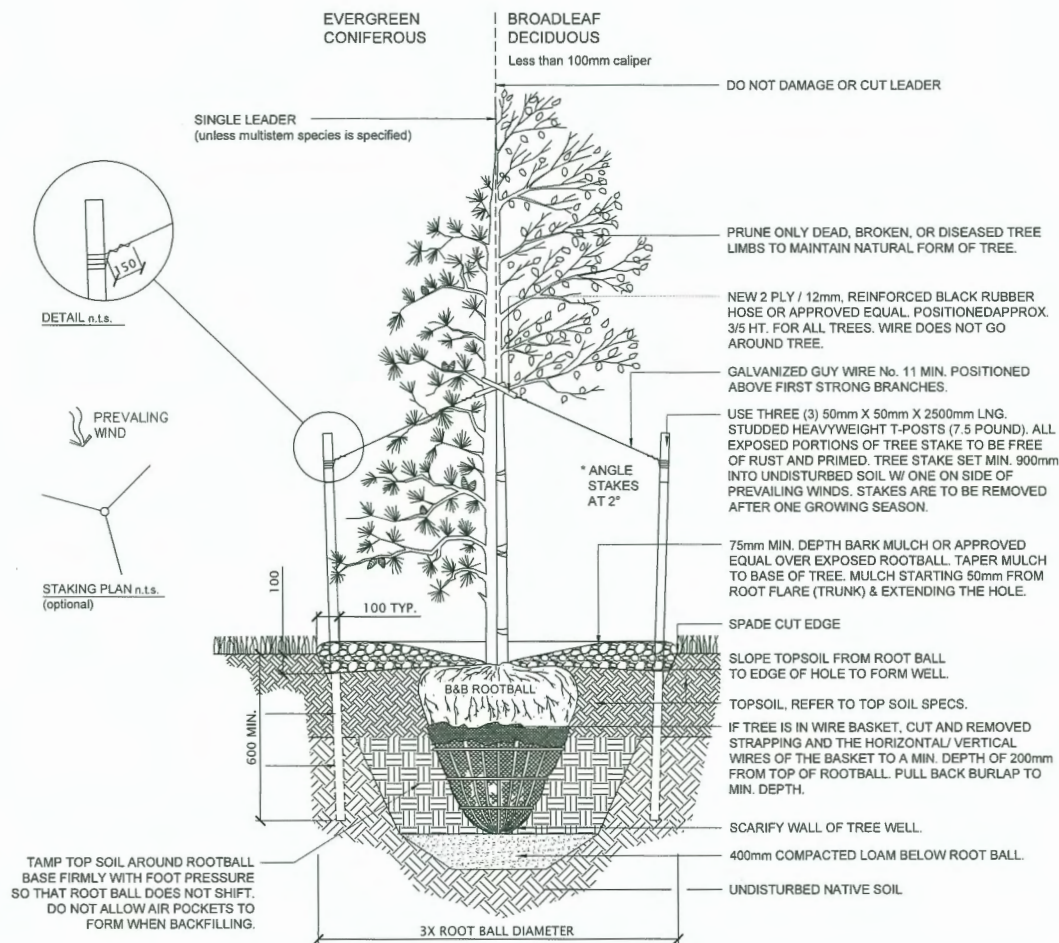
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Project No. 21-0096
Drawing No. 3.g

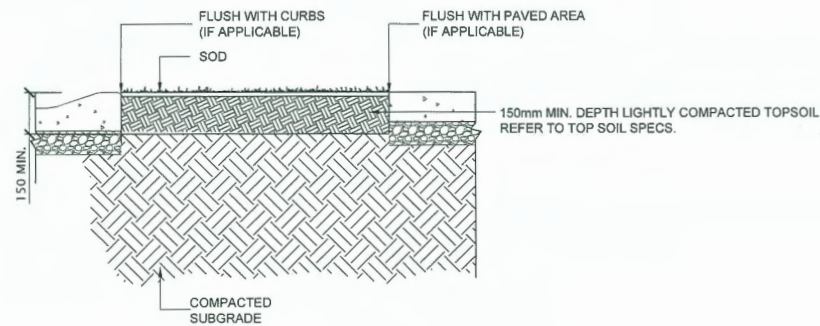
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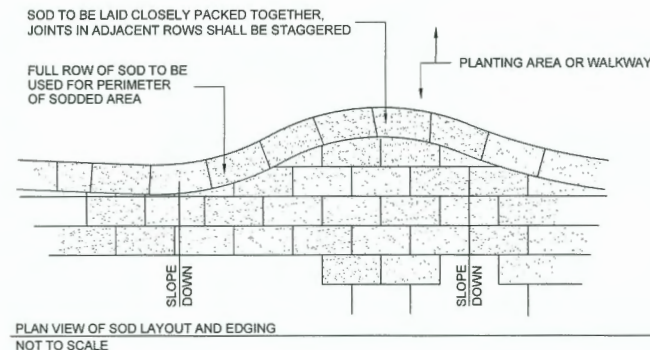
01
3.h
TYPICAL SHRUB INSTALLATION
SCALE 1:20



02
3.h
TYPICAL TREE INSTALLATION
SCALE 1:20



SECTION THROUGH SOD



03
3.h
TYPICAL LAWN INSTALLATION
SCALE 1:20

DP 23-028741
May 21, 2025
PLAN #21

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

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Architectural: Matthew Cheng Architect Inc
Arborist: -
Civil: -
Structural: -
Mechanical: -
Electrical: -



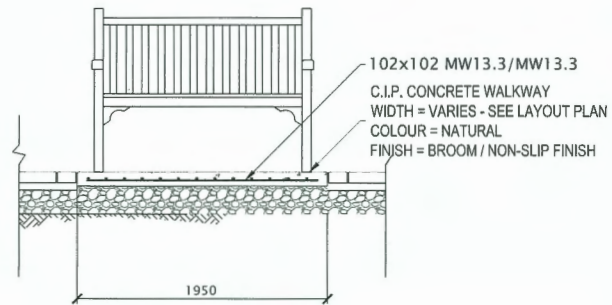
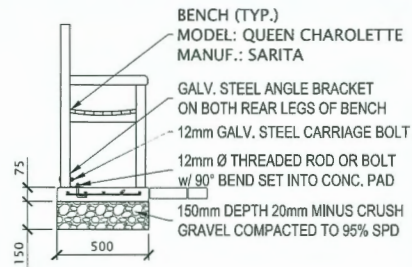
DVSD Donald V. S. Duncan
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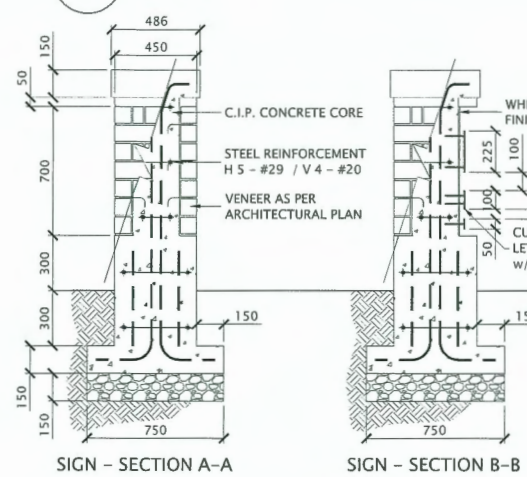
P	Project Leader
Revision	D.Duncan
Drawn	D.Duncan

PROPOSED
5 UNIT TOWNHOUSE
7511 St. Albans Road
Richmond BC
Drawing Title
DETAILS

Check Scale (may be photo reduced)	0 1 inch 0 10mm
Project No.	21-0096
Drawing No.	3.h

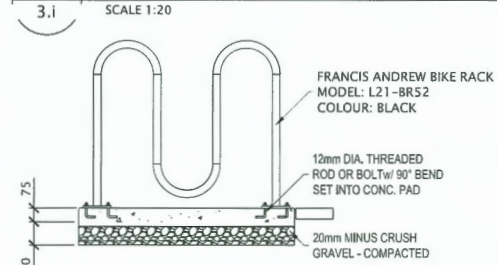


01 AMENITY AREA BENCH
SCALE 1:20
3.i

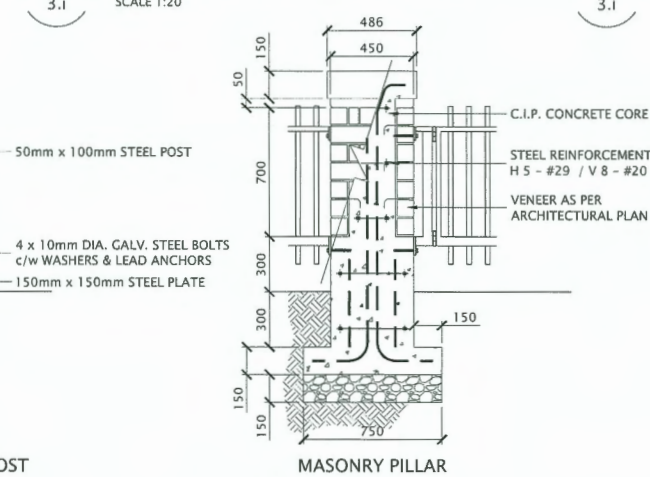


SIGN - SECTION A-A
SIGN - SECTION B-B
SUPPORT POST

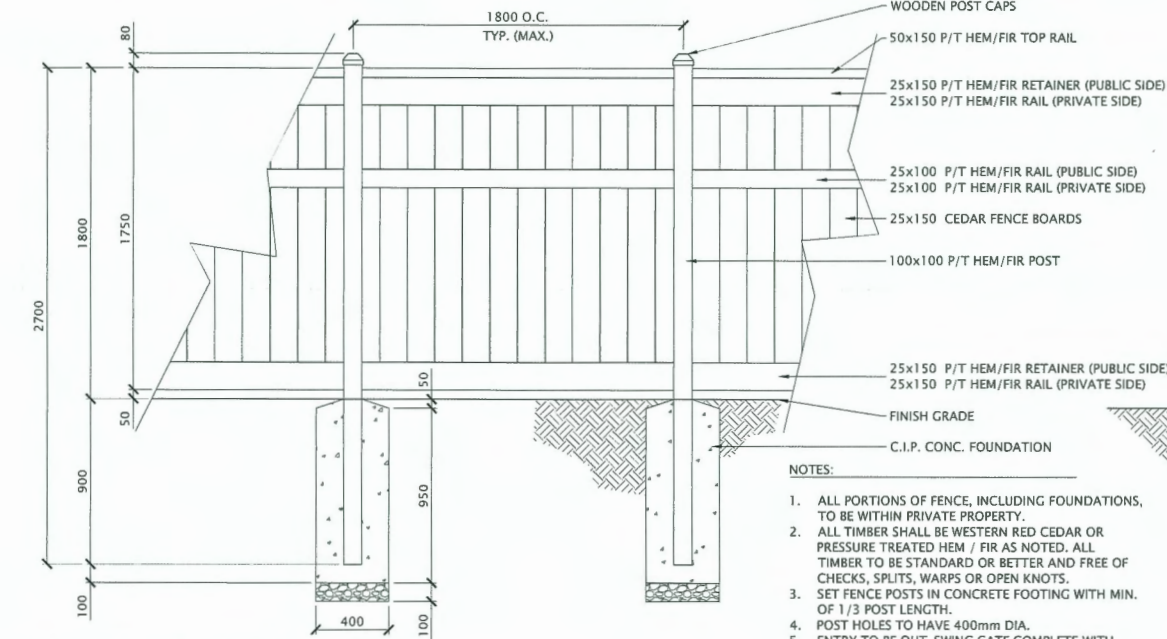
02 INTERIOR ELEVATION - GATE ENTRANCE
SCALE 1:20
3.i



03 BICYCLE PARKING
SCALE 1:20
3.i

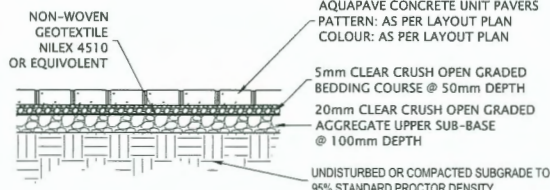


MASONRY PILLAR

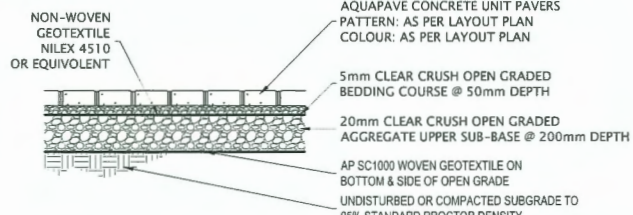


INTERIOR ELEVATION - GATE ENTRANCE

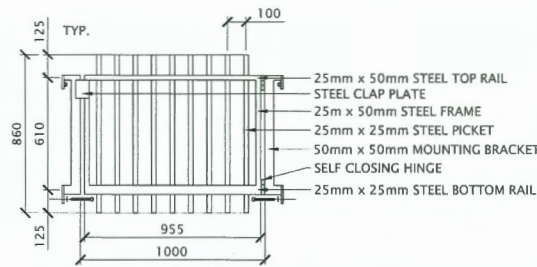
- NOTES:
1. ALL PORTIONS OF FENCE, INCLUDING FOUNDATIONS, TO BE WITHIN PRIVATE PROPERTY.
 2. ALL TIMBER SHALL BE WESTERN RED CEDAR OR PRESSURE TREATED HEM / FIR AS NOTED. ALL TIMBER TO BE STANDARD OR BETTER AND FREE OF CHECKS, SPLITS, WARPS OR OPEN KNOTS. SET FENCE POSTS IN CONCRETE FOOTING WITH MIN. OF 1/3 POST LENGTH.
 3. POST HOLES TO HAVE 400mm DIA.
 4. ENTRY TO BE OUT-SWING GATE COMPLETE WITH LATCH.
 5. ALL HARDWARE AND METAL FIXTURES TO BE HOT DIPPED GALVANIZED.
 6. FENCE TO BE UNSTAINED/UNPAINTED.



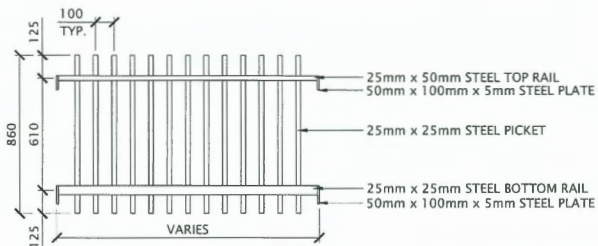
04 PEDESTRIAN UNIT PAVING
SCALE 1:20
3.i



05 PERMEABLE UNIT PAVING
SCALE 1:20
3.i

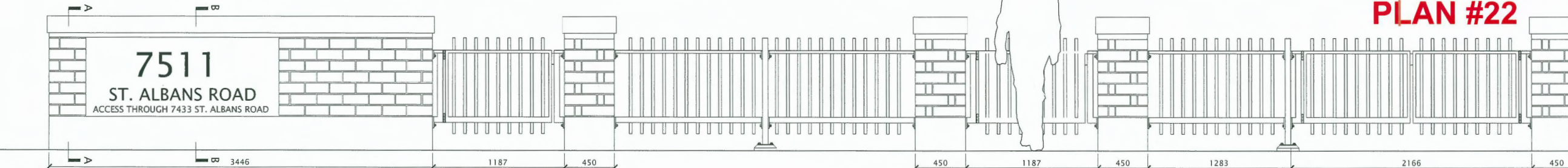


GATE



FENCE PANEL

DP 23-028741
May 21, 2025
PLAN #22



06 ST. ALBANS STREET FRONTAGE FENCE
SCALE 1:20
3.i

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
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Arboret: -
Civil: -
Structural: -
Mechanical: -
Electrical: -



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dvsduncan@gmail.com

Richmond #
RZ 18-818548

P Project Leader
D. Duncan
Revision
Drawn
D. Duncan

PROPOSED
5 UNIT TOWNHOUSE
7511 St. Albans Road
Richmond BC

Drawing Title
DETAILS

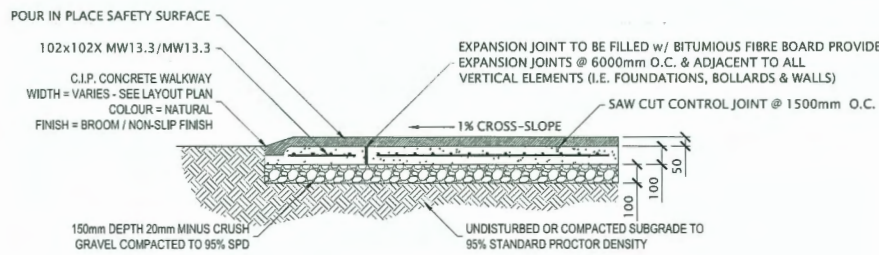
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Project No. 21-0096

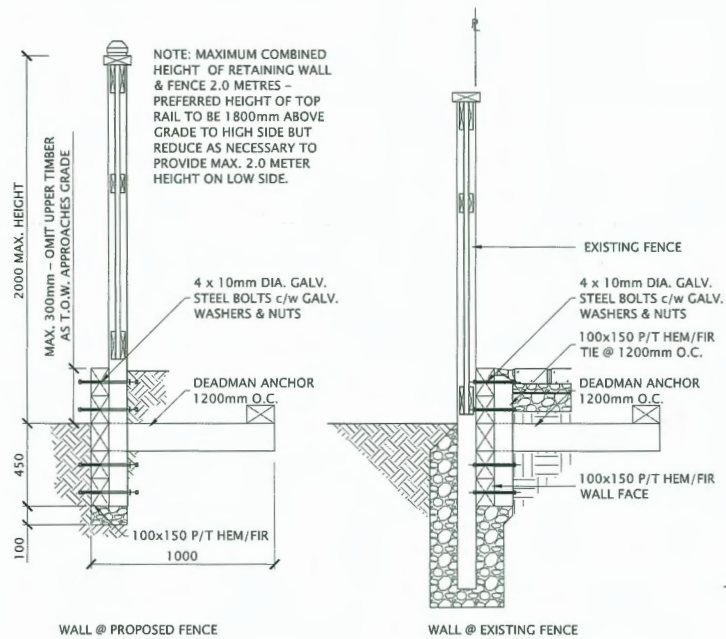
Drawing No. 3.i

PLOT DATE: May 16, 2025 TIME: 11:23 AM FULL PATH AND FILENAME: D:\PROJECTS\21-0096 7511 ST ALBANS ROAD\500-DELIV\LAND\01-TB\LS-03_3.JDWG PLOTSTYLE TABLE: -----

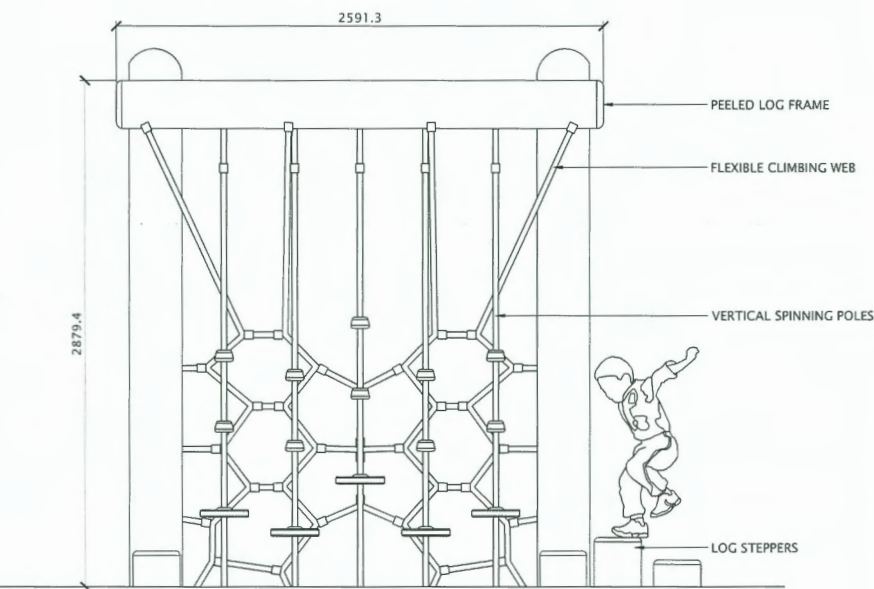
DP 23-028741
May 21, 2025
PLAN #23



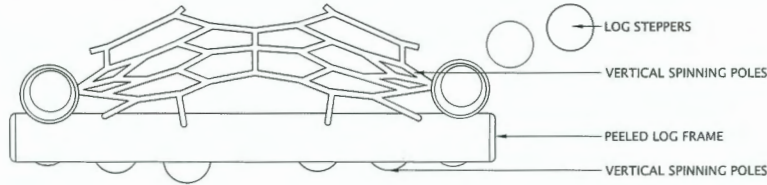
01
3.j
SAFETY PLAY SURFACE
SCALE 1:20



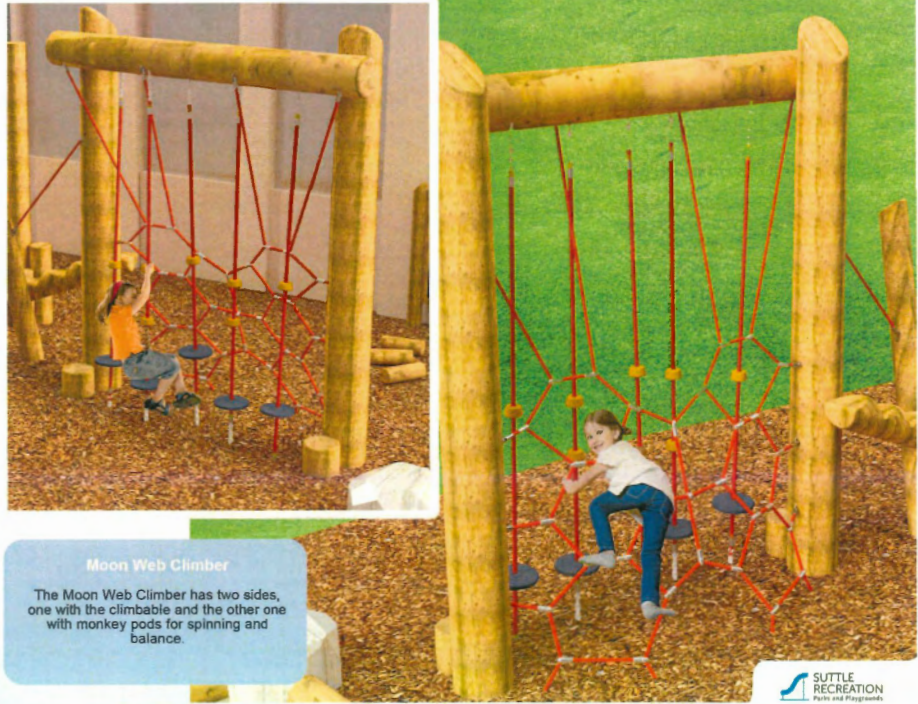
03
3.j
RETAINING WALL
SCALE 1:20



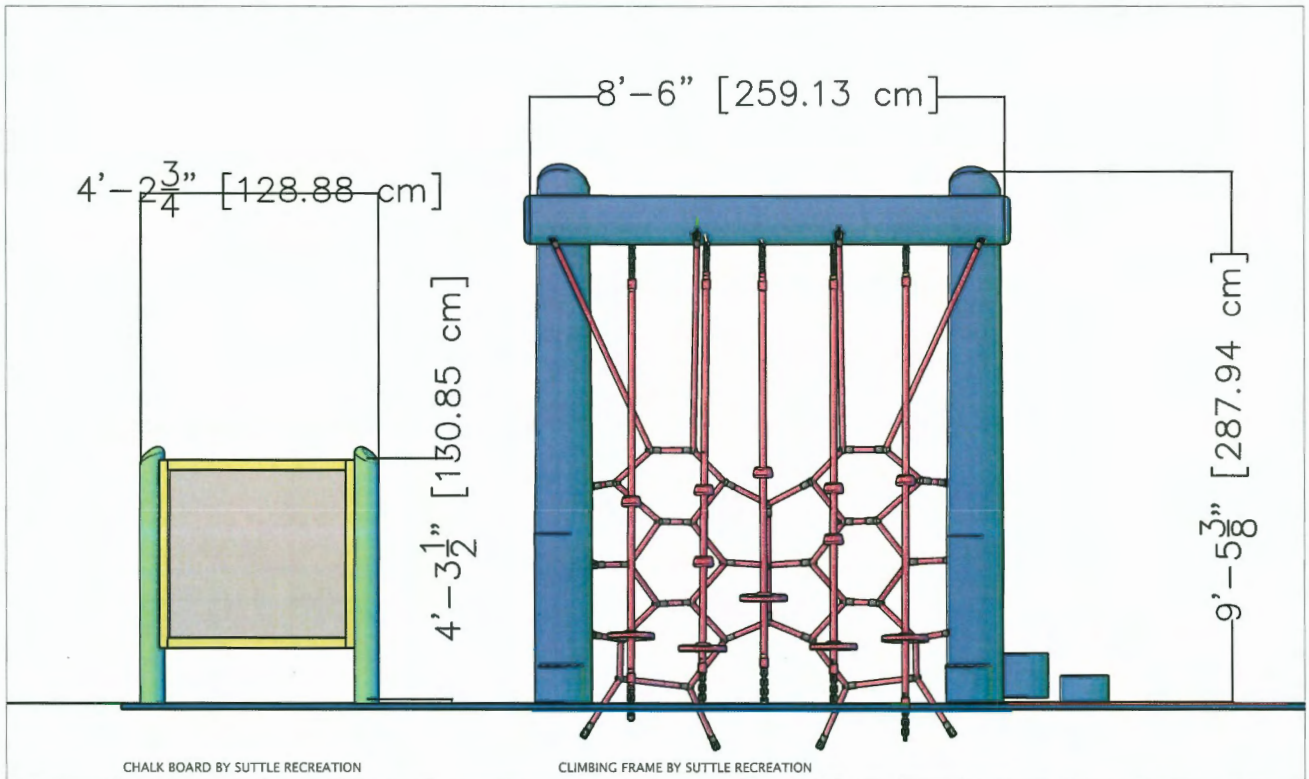
FRONT ELEVATION



PLAN VIEW



Moon Web Climber
The Moon Web Climber has two sides, one with the climbable and the other one with monkey pods for spinning and balance.

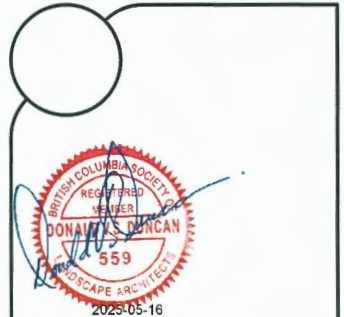


02
3.j
CLIMBING FRAME & CHALK BOARD by SUTTLE RECREATION
SCALE 1:20

DATE	ISSUED FOR	REV
2024-06-06	D.P.	E
2024-06-28	D.P.	F
2024-09-23	D.P.	G
2024-10-24	D.P.	H
2024-11-01	D.P.	J
2024-12-19	D.P.	K
2025-02-14	D.P.	L
2025-04-03	D.P.	M
2025-05-01	D.P.	N
2025-05-15	D.P.	O
2025-05-16	D.P.	P

All dimensions shall be confirmed on site and discrepancies reported immediately. Required setbacks shall govern in all cases.
This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by Donald V. S. Duncan to any party with whom Donald V. S. Duncan has not entered into a contract.
This drawing shall not be used for construction purposes until the seal appearing hereon is signed and dated by the Landscape Architect.

Consultants
Architectural: Matthew Cheng Architect Inc
Arborist: -
Civil: -
Structural: -
Mechanical: -
Electrical: -



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Richmond #
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P Revision	Project Leader D.Duncan
	Drawn D.Duncan

PROPOSED
5 UNIT TOWNHOUSE
7511 St. Albans Road
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Check Scale (may be photo reduced)
0 1 inch 0 10mm
Project No. 21-0096
Drawing No. 3.j



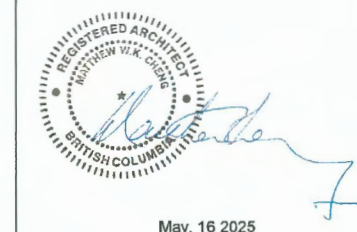
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DP 23-028741
May 21, 2025
REFERENCE
PLAN

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3	FEB.2025	REISSUED FOR D.P. SUBMISSION
4	APR.2025	REISSUED FOR D.P. SUBMISSION
5	MAY.01	REISSUED FOR D.P. SUBMISSION



**5 UNIT TOWNHOUSE
DEVELOPMENT**

7511 ST. ALBANS ROAD
RICHMOND, BC

**INTERNAL
STREETSCAPE**

Project number 17 R TH 01 7511 St Albans Rd.
Date 2023-09-06
Drawn by BK, FN
Checked by MC

PLAN#4b

Scale 3/64" = 1'-0"



EAST INTERNAL COURTYARD STREETSCAPE : UNIT 4-5



WEST INTERNAL COURTYARD STREETSCAPE : UNIT 1-3



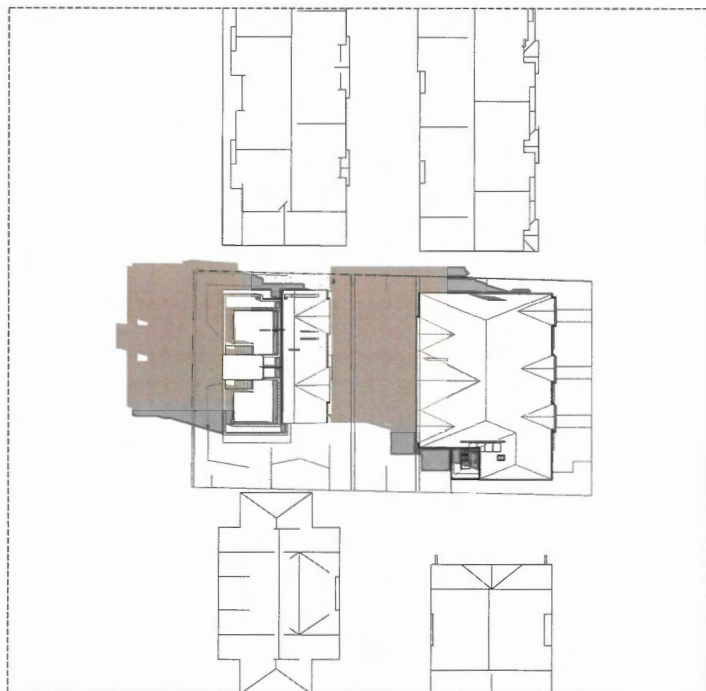
1 March 21-2022_10 AM



2 March 21-2022_12 PM



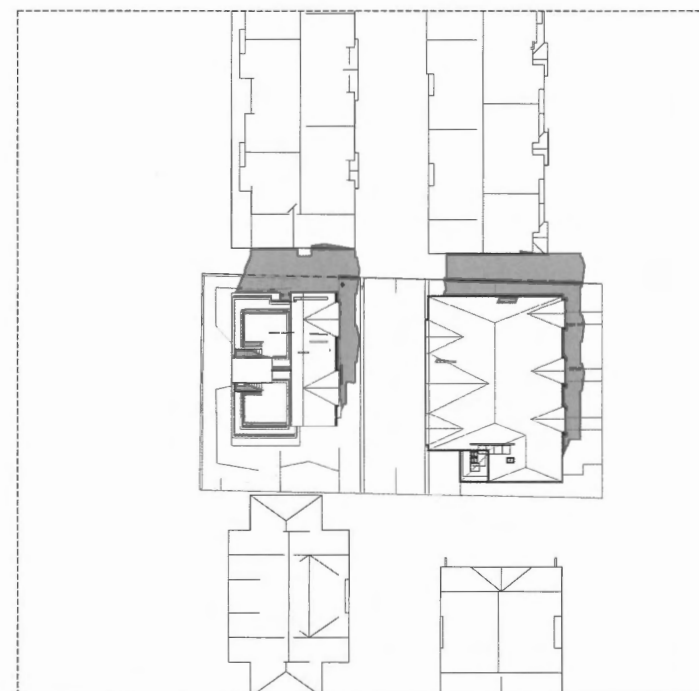
3 March 21-2022_2 PM



4 June 21-2022_10 AM



5 June 21-2022_12 PM



6 June 21-2022_2 PM

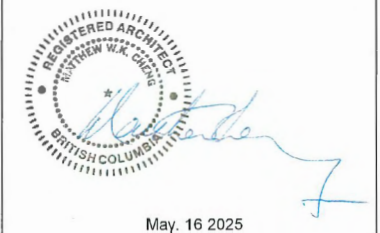
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DP 23-028741 May 21, 2025 REFERENCE PLAN

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4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



5 UNIT TOWNHOUSE DEVELOPMENT

7511 ST. ALBANS ROAD
RICHMOND, BC

SHADOW STUDY

Project number	17 R TH 01 7511 St Albans Rd.
Date	2023-09-06
Drawn by	BK, FN
Checked by	MC

PLAN#4e

Scale 1" = 30'-0"

CONVERTIBLE UNIT GUIDELINES:

DOORS & DOORWAYS

- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
- ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
- INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
- PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
- LEVER-TYPE HANDLES FOR ALL DOORS.

VERTICAL CIRCULATION

- STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
- OR
- VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
- FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
- AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.

HALLWAYS

- MIN. 900 MM WIDTH.

GARAGE

- MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
- ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.

BATHROOM (MIN. 1)

- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
- WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
- PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
- CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).

KITCHEN

- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
- CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
- 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

WINDOWS

- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

OUTLETS & SWITCHES

- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. -UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

NOTE:

- ONE WINDOW IN BATHROOM, KITCHEN AND LIVING ROOM TO BE OPENED WITH A SINGLE HAND.

Specifications

Rated Load: Standard 750 lbs (340 kg) with a safety factor of 5

Speed: Leadscrew - 3 meters (10 Ft) per minute at full load | Hydraulic - 5.2 meters (17 Ft) per minute at full load

Travel Range: Leadscrew - up to 6 feet | Hydraulic - up to 14 feet

Safety Features: Garaventa doors and gates equipped with Garaventa interlocks and internal closers | Sturdy 16 gauge galvanized steel platform side walls 1070mm (42 1/8") | Continuous pressure directional control switches and illuminated and audible emergency stop switch | Full length grab rail on platform side wall panel

Leadscrew Drive System: Motor: 2 HP (1750 RPM) | Motor Drive Type: ACME screw (1" diameter) | Mains Supply: North American Models: 120 VAC on a dedicated 20 amp circuit, International Models: 208-240 VAC on a dedicated 16 amp circuit

Hydraulic Drive System: Motor: 3 HP DC (2.2 KW) complete with auxiliary power system | Motor Drive Type: Chained Hydraulic (Dual 5/8" ANSI 50 chains) | Mains Supply: North American Models 120 VAC on a dedicated 15 amp circuit, International Models 208-240 VAC on a dedicated 16 amp circuit

Controls: Keyless Controls (No key required for call stations and platform controls) | Directional Controls - Continuous pressure switches | Control Voltage: 24 VDC

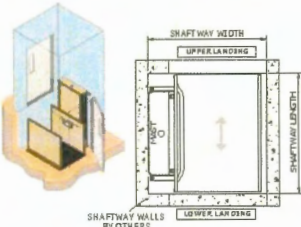
Power Requirements: 120 VAC single phase | Optional 208-240 VAC single phase

Popular Options: Power Door Operators (ANSI/ BHMA A156.19 compliant) | Custom platform sizes available | Illuminated and tactile constant pressure directional buttons | Arrival gong and digital floor display | Choice of RAL colors | Autodialer phone (ADA compliant) | Keyed operation | Custom applications (Consult Garaventa Lift) | Battery powered emergency lowering (Leadscrew drive only) | Full time battery operation ***suitable for low use applications ONLY (Hydraulic drive)

Warranty: 24 months standard warranty | Optional warranty extension of 12 months (36 months total) or 60 months (84 months total)

Dimensions

Genesis Shaftway Model - Fits inside a vertical runway built by others.

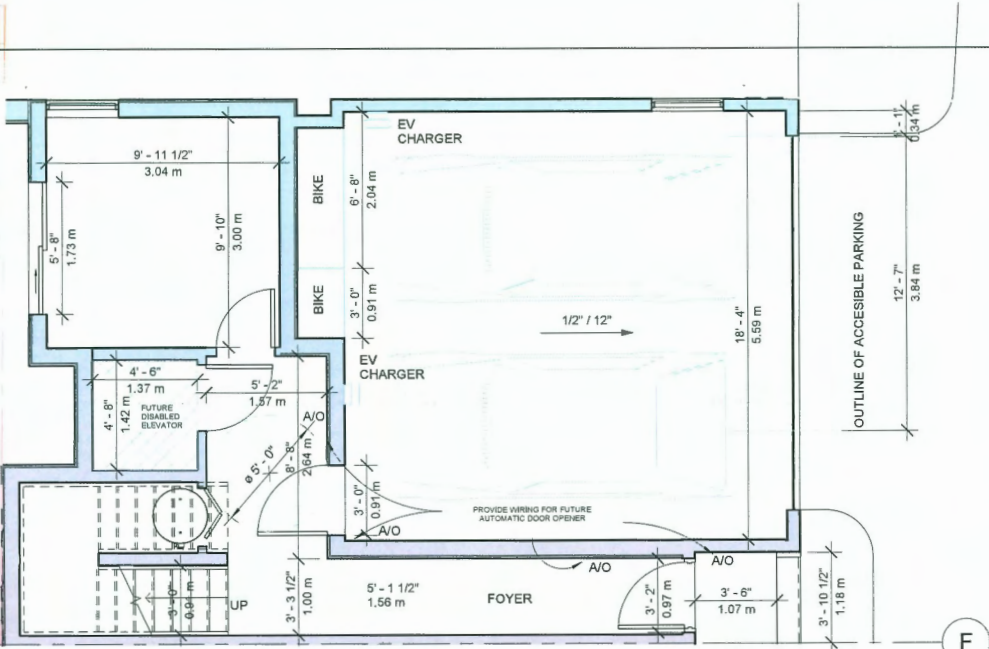


Shaftway Straight Through					
Platform Size	Shaftway Width	Shaftway Length	Platform Width	Platform Length	
Compact	1317mm 51 7/8"	1295mm 51"	914mm 36"	1257mm 49 1/2"	
Standard	1394mm 54 7/8"	1407mm 55 3/8"	992mm 39"	1370mm 53 7/8"	
Mid-Size	1394mm 54 7/8"	1558mm 61 3/8"	992mm 39"	1520mm 59 7/8"	
42 x 60	1469mm 57 7/8"	1562mm 61 1/2"	1067mm 42"	1524mm 60"	
Large	1546mm 60 7/8"	1558mm 61 3/8"	1146mm 45"	1520mm 59 7/8"	

NOTE:

Elevator pit depths range from 8" to 12" depending on car size, load capacity and car door/gate style.

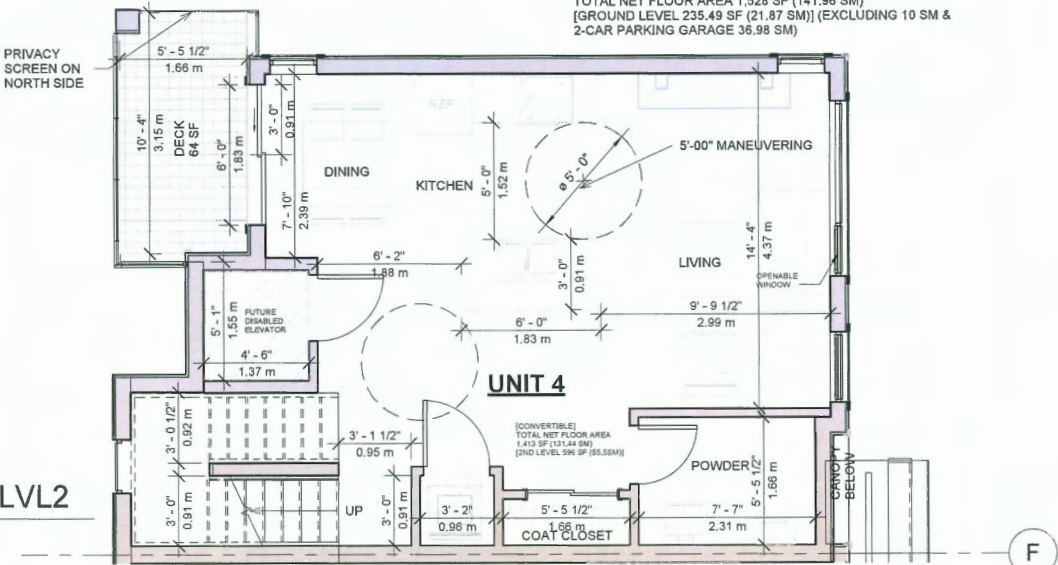
1 CONVERTABLE UNIT LVL1
1/8" = 1'-0"



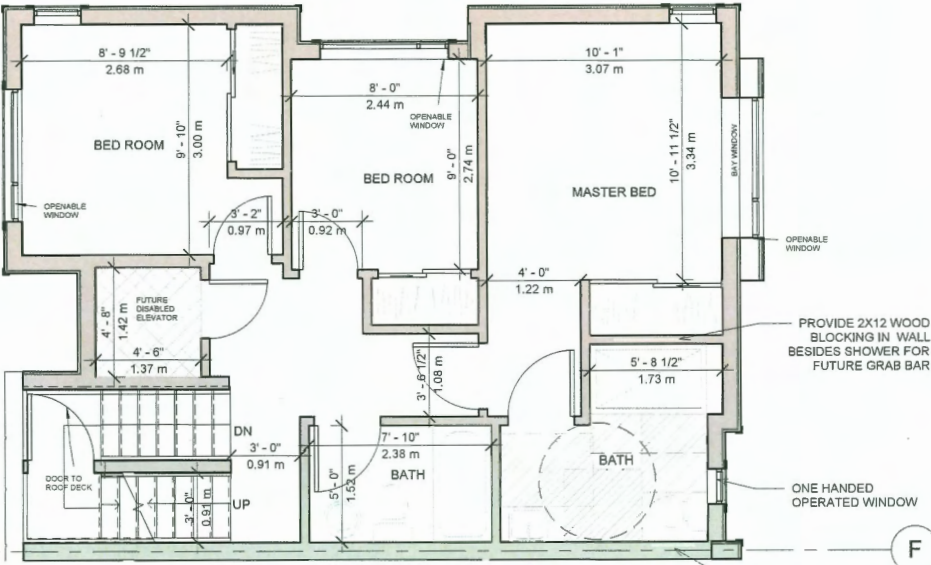
UNIT 4 - CONVERTIBLE

TOTAL NET FLOOR AREA 1,528 SF (141.96 SM)
[GROUND LEVEL 235.49 SF (21.87 SM)] (EXCLUDING 10 SM & 2-CAR PARKING GARAGE 36.98 SM)

2 CONVERTABLE UNIT LVL2
1/8" = 1'-0"

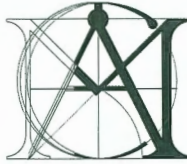


3 CONVERTABLE UNIT LVL3
1/8" = 1'-0"



UNIT 4

TOTAL NET FLOOR AREA : 1,413 SF (131.44 SM)
[3RD LEVEL 574 SF (53.35 SM) (EXCLUDING 7.39 SM STAIRCASE)]



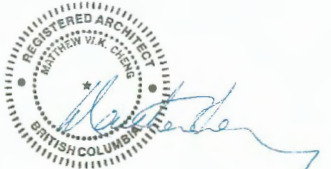
MATTHEW CHENG
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DP 23-028741
May 21, 2025
REFERENCE
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4	APR 2025	REISSUED FOR D.P. SUBMISSION
5	MAY 01	REISSUED FOR D.P. SUBMISSION



May. 16 2025

5 UNIT TOWNHOUSE
DEVELOPMENT

7511 ST. ALBANS ROAD
RICHMOND, BC

CONVERTABLE UNIT

Project number 17 R TH 01 7511 St Albans Rd.
Date 2023-09-06
Drawn by BK, FN
Checked by MC

PLAN#1g

Scale 1/8" = 1'-0"

5/16/2025 11:57:31 AM



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: May 14, 2025

From: Joshua Reis
Director, Development

File: DP 23-035352

Re: **Application by Public Services and Procurement Canada for a Development Permit at 3540 and 3800 Bayview Street**

Staff Recommendation

That a Development Permit be issued to permit an adjustment of the lot lines of the two lots located at 3540 and 3800 Bayview Street, zoned "Light Industrial (IL)" and "Steveston Commercial and Pub (ZMU10)" respectively and designated as an Environmentally Sensitive Area (ESA).

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

BB:cas
Att. 4

Staff Report

Origin

Public Services and Procurement Canada, on behalf of the Department of Fisheries and Oceans Canada (DFO), the owner of the subject properties, has applied to the City of Richmond for permission to adjust the lot lines of the two lots located at 3540 and 3800 Bayview Street. The property at 3540 Bayview Street is currently zoned “Light Industrial (IL)” and the property at 3800 Bayview Street is currently zoned “Steveston Commercial and Pub (ZMU10)” (Attachment 1). Lot A is proposed to contain the existing buildings on 3800 Bayview Street (Steveston Landing) and Lot B is proposed to comprise the remaining lands including all lands adjacent to the water. There would be no change to the number of lots as a result of the proposal. The proposed subdivision is included in the accompanying Permit Drawing #1.

As the site is designated as Environmentally Sensitive Area (ESA), a Development Permit (DP) is required in order to facilitate the proposed lot line adjustment for the two properties.

There are no new buildings or structures proposed as part of the proposed lot line adjustment.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- | | |
|---------------|--|
| To the North: | Across Bayview Street, four lots, three of them zoned “Steveston Commercial (CS2)” and one zoned “Commercial Mixed Use (ZMU22) – Steveston Commercial” and each containing a retail operation including restaurants and other types of businesses. |
| To the East: | The property at 3866 Bayview Street, containing a number of restaurants within one building, zoned “Steveston Commercial (CS2)”. |
| To the South: | Steveston Harbour and the South Arm of Fraser River. |
| To the West: | The property at 3300 Chatham Street, which is the Gulf of Georgia Cannery National Historic Site (museum), zoned “Light Industrial (IL)”. |

Staff Comments

Public Services and Procurement Canada is proposing to adjust the lot lines between the two existing properties at 3540 and 3800 Bayview Street through subdivision. This would consolidate the boardwalk area and the property at 3540 Bayview Street into one new lot (Lot B) and create another lot (Lot A) which would contain the existing Steveston Landing buildings and the adjacent parking stalls currently at 3800 Bayview Street. The DFO intends to maintain Crown ownership of proposed Lot B (and retain riparian rights, access to the wharf and walkway) and sell proposed Lot A. Lot A would be a separate fee simple parcel with frontage onto Bayview Street with no riverfront adjacency.

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject ESA DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan/Steveston Area Plan and is in compliance with the “Light Industrial (IL)” and “Steveston Commercial and Pub (ZMU10)” zone.

Analysis

Site Planning

- There are no new buildings or structures proposed as part of the proposed application.
- The proposed Lot A would include the existing four buildings and the 35 parking stalls that are located at the current 3800 Bayview Street. The proposed Lot B would correspond with the property at 3540 Bayview Street and the entire boardwalk area along the foreshore area of 3800 Bayview Street and a 6.1 m wide drive aisle to the east of the Steveston Landing buildings.
- The buildings at 3800 Bayview Street are owned by Steveston Waterfront Properties (SWP) who has a lease on the property. This lease is registered between the Government of Canada and SWP and will expire in 2036. The total floor area of the buildings is approximately 1,400 m² (15,069ft²).
- The existing buildings include a number of restaurants with associated patios overlooking the waterfront. The patios, seating and eaves of these specific restaurants would be encroaching onto the proposed Lot B. The applicant will be required to conduct a full assessment of the scope of the encroachments from Lot A onto Lot B, and to register a legal agreement or covenant against Title to address the encroachments prior to the approval of the proposed subdivision.
- Vehicular access to Lot A would remain unchanged. The existing driveway access letdowns onto Bayview Street would be maintained, for the larger parking area (21 parking stalls) west of the existing buildings and the smaller parking area (14 parking stalls) on the northeast corner of the site.
- Vehicular access to Lot B is similarly not proposed to be modified. The existing driveway letdowns on 3540 Bayview Street would provide ongoing access to the surface parking area for visitors to Steveston Village. The existing 35 parking stalls would remain available. However, eight of these parking stalls, located between the two driveway letdowns, would need to be slightly relocated further onto Lot B as they are currently encroaching onto the City-owned street by approximately 1 m. Relocation of these eight parking stalls further south onto Lot B is not anticipated to negatively impact traffic circulation within the parking area as the drive aisle between the south row of parking stalls adjacent to the boardwalk area and the north parking stalls (relocated) would be 12 m in width.
- Lot B would further include the 6.1 m wide drive aisle area to the east of Lot A, giving this lot its ‘horseshoe’ shape. This eastern drive aisle would allow for further access to the boardwalk and is not expected to be modified. However, a Statutory-Right-of-Way (SRW) or easement would need to be registered against Title prior to the approval of the proposed subdivision, in favour of Lot A to ensure continued use of the eastern drive aisle.
- The parking lot on 3540 Bayview Street (Lot B after subdivision) is currently connected with the parking area on the adjacent lot at 3300 Chatham Street and this arrangement is proposed to remain unchanged.

Both properties (3540 Bayview Street and 3300 Chatham Street) are Crown-owned properties and the ownership of 3540 Bayview Street would remain unchanged post-subdivision.

- Waste management (garbage enclosure) would continue to be provided unimpeded, servicing the needs of the existing buildings on Lot A within the same space allocated at the northwest corner of the lot, highlighted on Permit Drawing #2.

Boardwalk Access

- One of the objectives of the Steveston Area Plan is to promote public access to the riverfront. The proposed subdivision consolidates the riverfront adjacent to these two existing parcels under one parcel (Lot B). Lot B is intended to remain under federal ownership as a means of securing long-term public ownership of the riverfront.
- The existing pedestrian passageway between the buildings on proposed Lot A from Bayview Street to the boardwalk area would not be changed.
- Pedestrian access along the boardwalk area, and located on Lot B, is proposed to remain unaffected. In addition, the geometry of the proposed Lot B provides two frontages/routes connecting the riverfront to Bayview Street, on both the east and west portions of the proposed Lot B. The applicant has agreed to register a Pedestrian-Right-of-Passage Statutory-Right-of-Way (PROP SRW) providing public rights of passage over the boardwalk and eastern portion of Lot B, connecting the boardwalk to Bayview Street.

Heritage Conservation Area

- The subject site is located within the Steveston Village Heritage Conservation Area. Compliance of the proposed subdivision with the applicable heritage policies and guidelines has been considered as part of this ESA DP application process.
- The lot pattern in the Steveston Village Riverfront area (i.e., the south side of Bayview Street) has been significantly modified over the years. Unlike the Steveston Village Core Area, the Steveston Village Riverfront is characterized by large lots and the DP guidelines call for retention of the existing large lot configuration. Staff has no concerns regarding the proposed subdivision as the large lot configuration will be maintained, there are no physical changes proposed at this time, and single public ownership of the property adjacent to the river is proposed.
- Considering the minor nature of the application, the proposal has not been forwarded to the Richmond Heritage Commission for review.

Environmentally Sensitive Area

- The property is partially designated ESA, specifically “Intertidal” (INTD), covering a 30 m wide buffer of the foreshore area as well as a small portion of the boardwalk immediately south of the existing buildings, as well as another 30 m wide buffer within the site further inland, specifically “Shoreline” (SHOR). “Intertidal” ESA typically includes areas with mudflats, as well as a range of vegetated estuarine or salt marsh communities, tidal channels or shallow ponds, and could include developed shorelines with riprap, docks and pilings. “Shoreline” ESA typically includes marine riparian zones as well as crest and backslope of the perimeter dike and its associated trails and may include developed or natural areas landward of the dike, as is in place at the Steveston Village area.

- A Biophysical Inventory Report (the “Report”) was submitted by G3 Consulting Limited, who were retained by the applicant as the project’s Qualified Environmental Professional (QEP). The Report was submitted to provide an assessment of the site’s current ecological values and functions, including any details on the presence of species that may be classified as being at risk under federal and provincial regulations, and to confirm whether the proposed ESA DP and subsequent subdivision would pose any negative ecological impacts to the ESA.
- The Report confirms that the site contains no active and critical habitat features within the ESA designated lands on-site (within the 3540 and 3800 Bayview Street properties) as the area has been heavily disturbed and previously developed for commercial tourism purposes. No disturbance to any ecologically active and high function riparian/marine area is expected through the proposed lot line adjustment and associated subdivision as no new buildings or structures are proposed to be built, and no existing building or structure is proposed to be demolished or modified.

Landscaping

- The applicant has agreed to install new landscaping on Lot B in the form of ten new landscaping planters, to be put in place following the relocation of the eight parking stalls that currently encroach onto the City sidewalk.
- The planters would be planted with shrubs and plants suitable for landscaping planters and would be installed along the north side of proposed Lot B (currently 3540 Bayview Street), providing an on-site buffer of approximately 30 m² between the pedestrian public realm along Bayview Street and the surface parking area.
- The ten planters are of a similar design to those already in place at the south side of the parking lot on the boardwalk, and each is proposed to contain an evergreen shrub or native grass along with other perennial species as listed above. The applicant has provided a letter of commitment from Steveston Harbour Authority for the maintenance of the planters for a minimum period of five years (Attachment 3).
- The species of plants confirmed by the applicant as suitable to be planted on-site are as follows:
 - Japanese Skimmia - *Skimmia japonica* (Evergreen Shrub)
 - Oregon Grape – *Mahonia aquifolium* (Evergreen Shrub)
 - Black scallop bugleweed - *Ajuga reptans*
 - Western sword fern - *Polystichum munitum*
 - Winter heather - *Calluna vulgaris* ‘Michelle’
 - Dickson’s gold bellflowers – *Campanula garganica* ‘Dickson’s gold’
 - Frost coral bells – *Heuchera*

Site Servicing As a Result of Subdivision

There are existing storm and sanitary connections located within the proposed L-shaped parcel (eastern drive aisle) that is proposed to be consolidated with 3540 Bayview Street, which service 3800 Bayview Street and the adjacent site at 3866 Bayview Street. The owner will be required to conduct a full review of the existing on-site services/utilities and determine if any existing on-site services/utilities would cross the proposed lot lines as a result of the subdivision.

Such encroachment would need to be removed, re-configured, or an easement or right-of-way agreement would need to be secured as part of the subdivision to address the discovered encroachment. If any of the encroachments are to be removed, re-configured or replaced, the owner is to obtain the necessary permits and approval from the relevant approving authority and pay associated costs for the design and construction.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 4, which has been agreed to by the owner (signed concurrence on file).



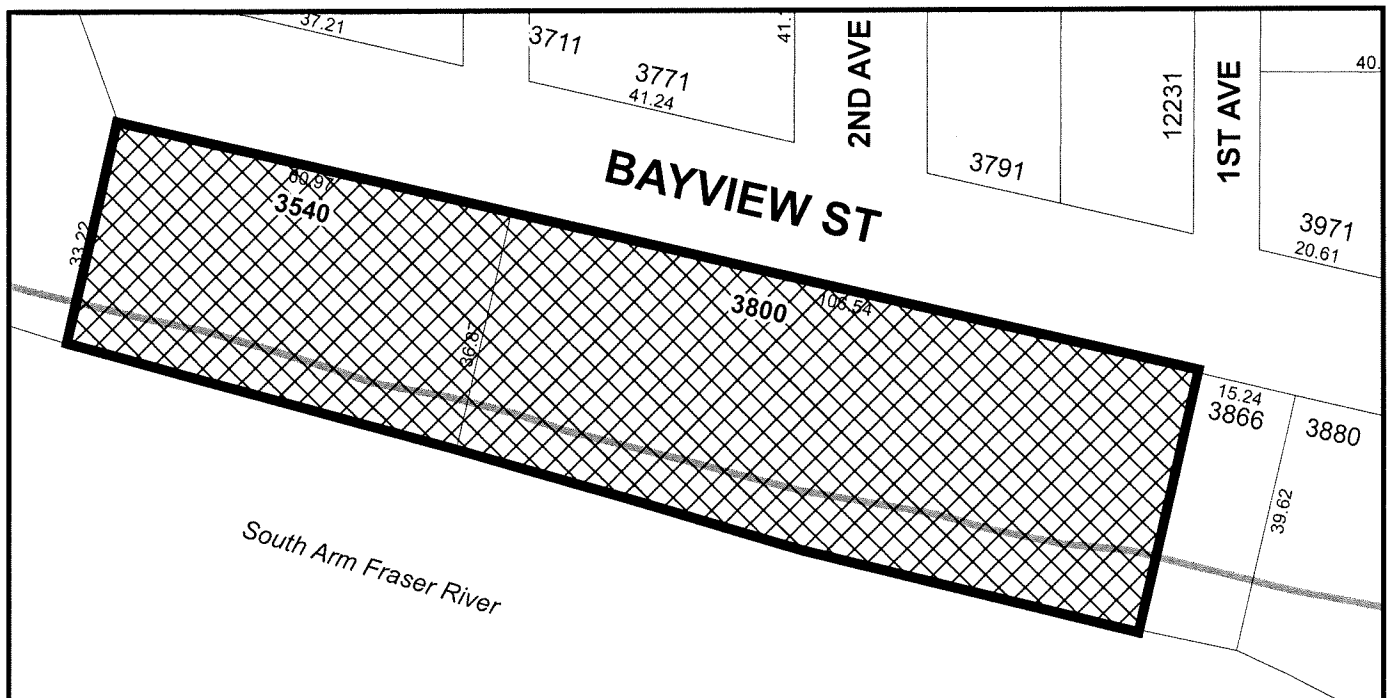
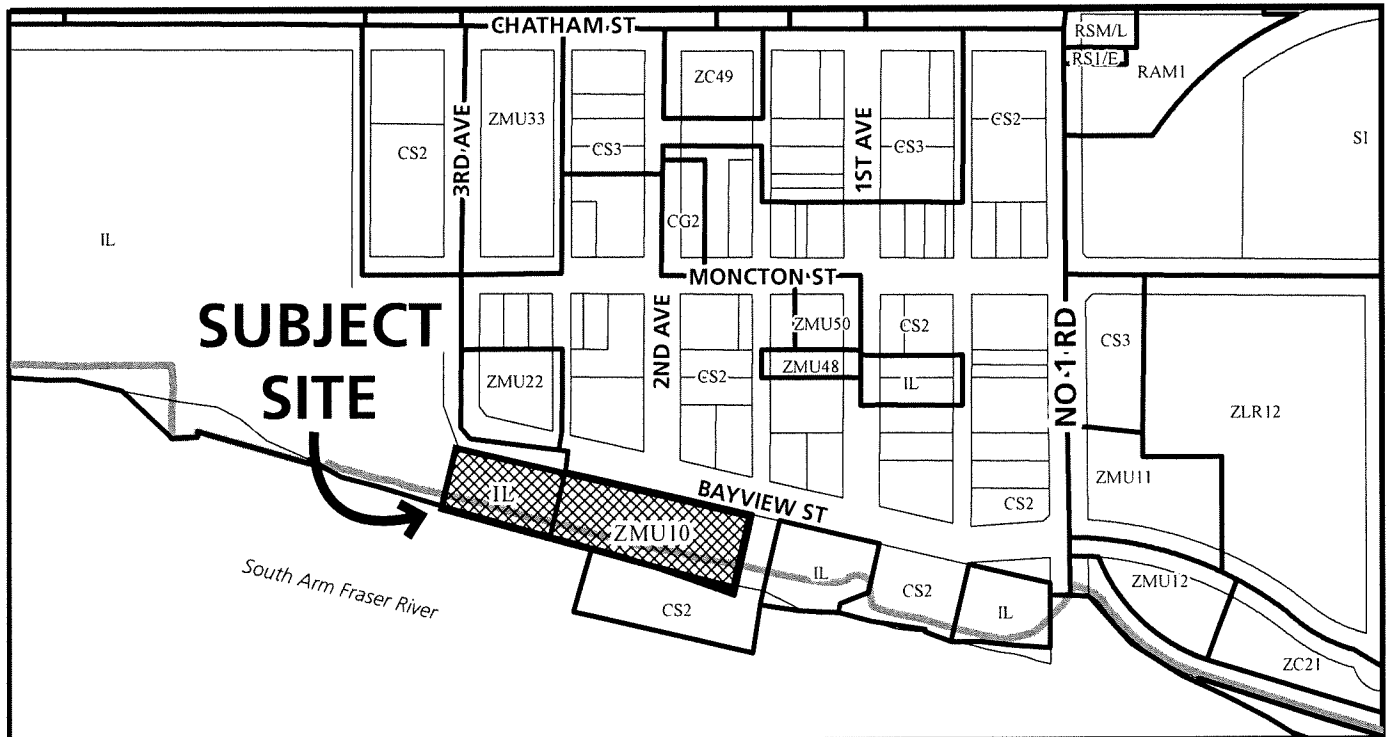
Babak Behnia
Planner 2
(604-204-8639)

BB:cas

- Att. 1: Location Map
 2: Development Application Data Sheet
 3: Letter of Commitment for Maintenance of Landscaping Planters
 4: Development Permit Considerations



City of
Richmond



DP 23-035352

Original Date: 01/12/24

Revision Date: 03/07/25

Note: Dimensions are in METRES



DP 23-035352

Attachment 2

Address: 3540 and 3800 Bayview Street

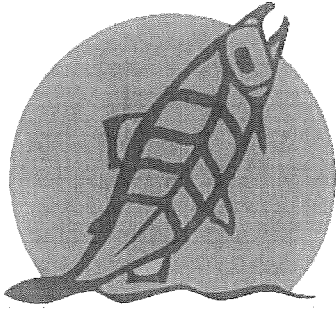
Applicant: Public Services and Procurement Canada (on behalf of Fisheries and Oceans Canada (DFO)) Owner: Fisheries and Oceans Canada (DFO)

Planning Area(s): Steveston

	Existing	Proposed
Site Area:	6,170 m ² (0.617 ha)	Lot A: 2,830 m ² (0.283 ha) Lot B: 3,340 m ² (0.334 ha)
Land Uses:	Retail, Office, Business	No change
OCP Designation:	Neighbourhood Service Centre (NSC)	No change
Steveston Area Plan:	Waterfront Commercial-Industrial	No Change
Zoning:	3540 Bayview Street: Light Industrial (IL) 3800 Bayview Street: Steveston Commercial and Pub (ZMU10)	Post Subdivision: Lot A: Steveston Commercial and Pub (ZMU10) Lot B: Light Industrial (IL) (on parcel that is currently 3540 Bayview Street) and Steveston Commercial and Pub (ZMU10) (on parcel that is currently part of 3800 Bayview Street)
Number of Units:	3540 Bayview: None (surface parking only)	No change
	3800 Bayview Street: Four (4) buildings containing 12 retail units	No change

	Bylaw Requirement	Proposed	Variance
Minimum Lot Size/Dimensions	3800 Bayview Street: No Minimum Lot width, lot depth, lot area	Lot A: No change	None
	3540 Bayview Street: No Minimum Lot width, lot depth, lot area	Lot B: No change	None
Floor Area Ratio:	Max. 1.0 FAR	Lot A: 0.49 FAR Lot B: 0 FAR	None
Setback – Front Yard:	3800 Bayview Street: 0.0 m (ZMU10 Zone) 3540 Bayview Street: 3.0 m (IL Zone)	Lots A and B: complies post subdivision	None
Setback – Interior Side Yard:	3800 Bayview Street: 0.0 m (ZMU10 Zone) 3540 Bayview Street: 0.0 m (IL Zone)	Lots A and B: complies post subdivision	None

	Bylaw Requirement	Proposed	Variance
Setback – Rear Yard:	3800 Bayview Street: 0.0 m (ZMU10 Zone) 3540 Bayview Street: 0.0 m (IL Zone)	Lots A and B: complies post subdivision	None



February 12, 2025

STEVESTON HARBOUR AUTHORITY

12740 Trites Road, Richmond, B.C. V7E 3R8 604-272-5539 Fax 604-271-6142

Katie Rattan, Senior Manager, Client and Indigenous Relations
Small Craft Harbours Program
Fisheries and Oceans Canada
Email: katie.rattan@dfo-mpo.gc.ca

Dear Ms. Rattan,

RE: MAINTENANCE FOR PLANTERS AT 3540 BAYVIEW STREET, LOT B

This letter will confirm that the Steveston Harbour Authority will be responsible for maintaining the planters on lot B for a minimum of 5 years. As a part of this agreement, the planters would be replanted a minimum of 2 times per year with seasonal native plants.

Please feel free to contact me at jaime@stevestonharbour.com or 604-272-5539 if you have any questions or concerns.

Yours truly,

A handwritten signature in dark ink, appearing to read 'Jaime Gusto'. The signature is fluid and cursive, with the first name 'Jaime' being more prominent and the last name 'Gusto' written in a more compact, stylized manner.

Jaime Gusto, General Manager
Steveston Harbour Authority

CC: Jim Jones, Director of Operations and Maintenance



**City of
Richmond**

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 3540/3800 Bayview Street

File No.: DP 23-035352

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Confirmation that the landscaping planters at the site within the areas prescribed on the site plan and appended to the Development Permit Panel Report as Permit Drawing #2 will be installed, and maintained for a minimum period of five (5) years (letter received from Steveston Harbour Authority dated February 12, 2025).
2. Registration of a restrictive covenant against title noting that any future disturbance of the Environmentally Sensitive Area (ESA) designated lands within the 30 meter area, as measured from the High Water Mark, would require the owner(s), currently and in the future, of both proposed Lot A and Lot B, to prepare an updated Environmental Impact Assessment Report with all accompanying and required documentations and security, as determined by staff at the City of Richmond, and submit the documents as components of a new land use application, which may include, but not limited to, a Rezoning and/or an Environmentally Sensitive Area Development Permit (ESA DP). The covenant would also stipulate that redevelopment of the lands, to be subdivided into proposed Lot A and Lot B via the subdivision application accompanied with **DP 23-035352**, in the future, would necessitate site preparation, regrading and dedication of portions of the lands toward the City's diking infrastructure, as to be determined by the City's Engineering Department, in its sole discretion, at that future time and as per diking and servicing requirements in place at that time in the future.
3. Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No. 8636, as amended.

Prior to Subdivision Approval, the developer must complete the following requirements:

1. The Subdivision does not meet the requirements of Section 75 (1) (c) of the Land Title Act for providing access to a body of water. Provide confirmation that Ministry of Transportation and Transit has provided relief to the owner regarding access to body of water to be given via highways 20 m wide to the body of water and to the strips at distances not greater than 200 m between centre line.
2. The owner is required to conduct a full review of the existing on-site services/utilities and determine if any existing on-site services/utilities as a result of the subdivision would cross the proposed lot lines. Such encroachment would need to be removed, re-configured, or an easement or right-of-way agreement would need to be secured to address the discovered encroachment. If any of the encroachments are to be removed, re-configured or replaced, owner to obtain necessary permits and approval from the relevant approving authority and pay associated costs for the design and construction.
3. The owner is required to identify encroachment of any patios, eaves, or other existing structure(s) on proposed Lot A onto proposed Lot B or vice versa, as a result of the subdivision. Registration of a Legal Agreement or similar covenant/Statutory Right of Way (SRW)/easement against title would need to be secured to address the identified encroachment(s).
4. Registration of a Legal Agreement against title of proposed Lot B between the owner (DFO/Small Craft Harbour Authority) of proposed Lot B and the City providing a Pedestrian Right-of-Passage Statutory Right of Way (PROP SRW) in favour of the City over the entirety of the existing boardwalk area (within proposed Lot B) along the foreshore and, in order to provide for and confirm continuous pedestrian access to and along the foreshore of the site from Bayview Street, over the existing eastern drive aisle (east of the existing buildings on proposed Lot A).

Initial: _____

5. Registration of a Statutory Right of Way, easement, or similar Legal Agreement against title of proposed Lot B between the owner (DFO/Small Craft Harbour Authority) of proposed Lot B in favour of the owner of proposed Lot A, including a covenant in favour of the City, to secure continued use and access by the owner of proposed Lot A to the drive aisle (east of the existing buildings on proposed Lot A) via Bayview Street as a loading bay and/or parking and/or storage area in perpetuity.

Note:

- * Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date

[Signed copy on file]



City of Richmond

Development Permit

No. DP 23-035352

To the Holder: Public Services and Procurement Canada on behalf of Fisheries
and Oceans Canada (DFO)

Property Address: 3540 and 3800 Bayview Street

Address: C/O 1090 WEST PENDER STREET
VANCOUVER, BC V6E 2P1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with the attached Permit Drawings #1 to #3 attached hereto.
4. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
6. This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. <Resolution No.> ISSUED BY THE COUNCIL THE
DAY OF <Date>

DELIVERED THIS <Day> DAY OF <Month>, <Year>

MAYOR

CORPORATE OFFICER

PROPOSED SUBDIVISION PLAN OF PARCEL "E" SECTION 10
BLOCK 3 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT
REFERENCE PLAN 63730 AND PARCEL "ONE" SECTION 10 BLOCK 3
NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT
REFERENCE PLAN 80414.

PURSUANT TO SECTION 67 OF THE LAND TITLE ACT
BCGS 92G.015



The intended plot size of this plan is 864mm in width and 560mm in height (D size) when plotted at a scale of 1:500.

Distances are in meters and decimals thereof.

This plan lies within Integrated Survey Area No. 18,
City of Richmond, NAD83(CSR) 4.0.0.BC.1.MVRD

Grid bearings are derived from survey observations between
geodetic control monuments 77H4803 and 77H4838 and are
referred to the central meridian of UTM Zone 10.

The UTM coordinates and estimated absolute accuracy achieved
are derived from the MASCOT published coordinates and
standard deviations for geodetic control monuments 77H4803 and
77H4838.

This plan shows horizontal ground-level distances unless
otherwise specified. To compute grid distances, multiply
ground-level distances by the average combined factor of
0.9996051. The average combined factor has been determined
from geodetic control monuments 77H4803 and 77H4838.

This plan shows one or more witness posts which are not set on
the true corner(s).

Legend:

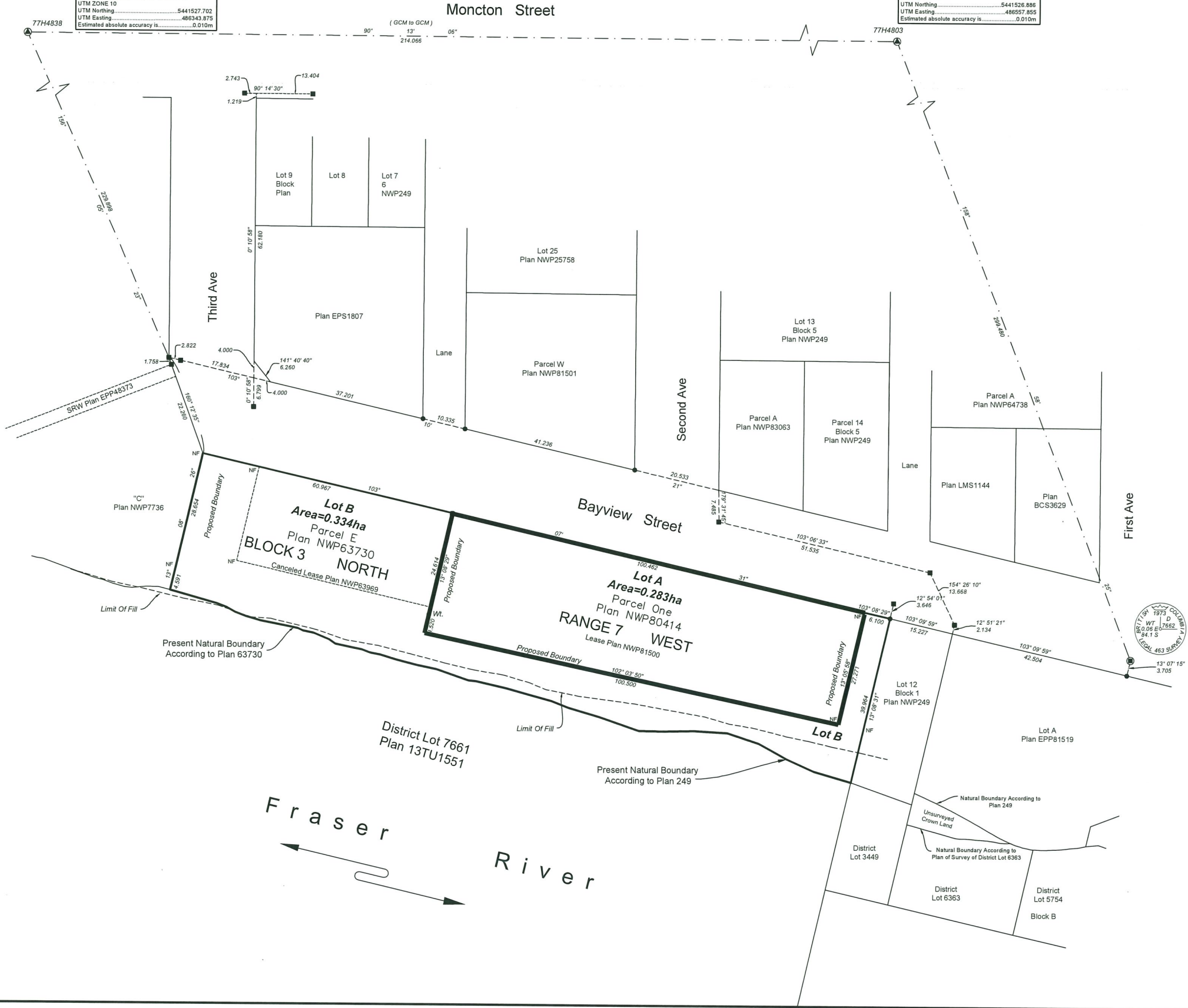
- DENOTES STANDARD IRON POST FOUND
- DENOTES STANDARD IRON POST SET
- DENOTES LEAD PLUG FOUND
- ⊙ DENOTES STANDARD ROCK POST FOUND
- ⊕ DENOTES CONTROL MONUMENT FOUND

Geodetic Control Monument (77H4838) Coordinates
Datum: NAD83 (CSR) 4.0.0.BC.1.MVRD
UTM ZONE 10
UTM Northing5441527.702
UTM Easting486343.875
Estimated absolute accuracy is0.010m

Geodetic Control Monument (77H4803) Coordinates
Datum: NAD83 (CSR) 4.0.0.BC.1.MVRD
UTM ZONE 10
UTM Northing5441526.886
UTM Easting486343.859
Estimated absolute accuracy is0.010m

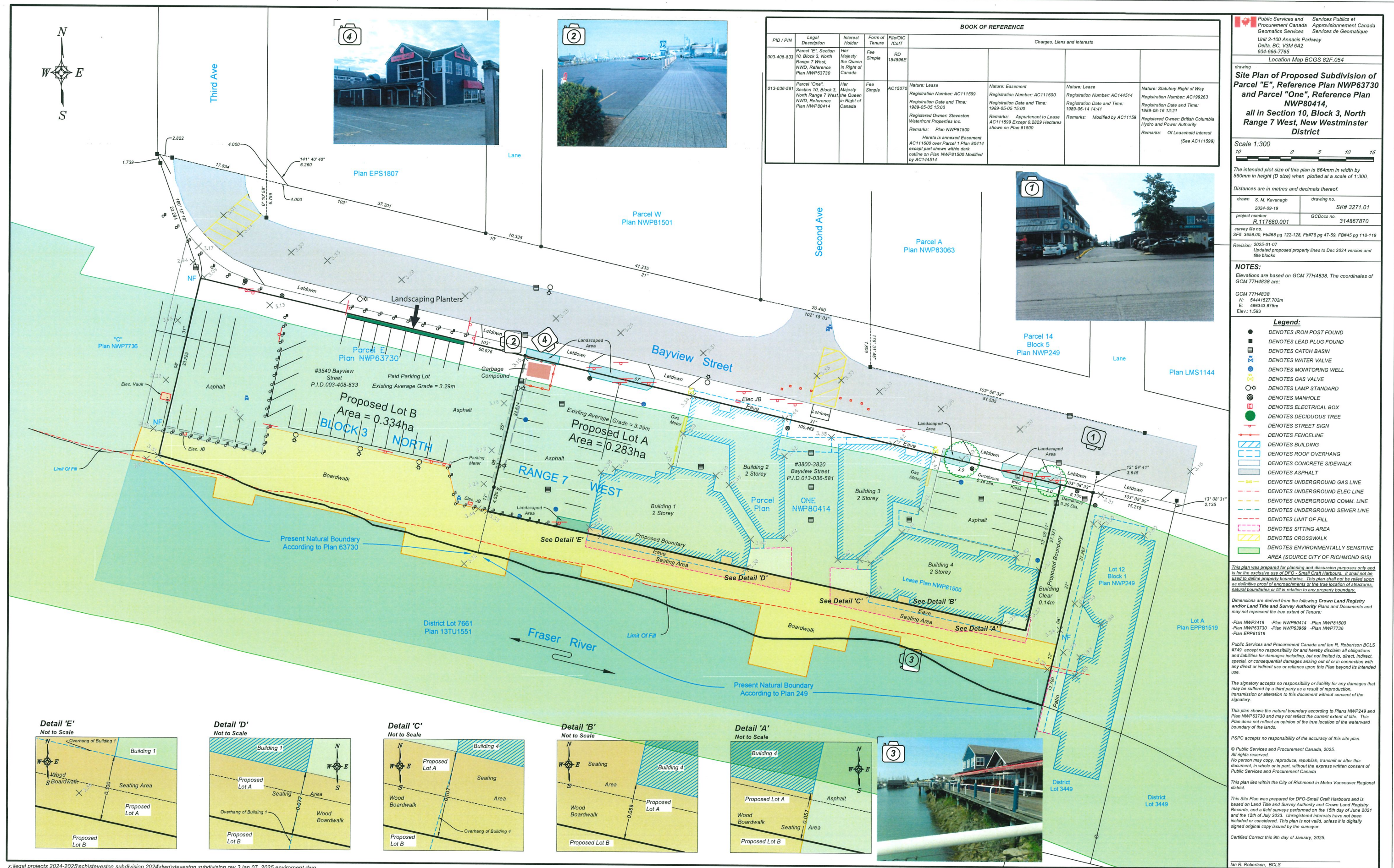
PLAN EPP-----

DP 23-035352 Permit Drawing #1

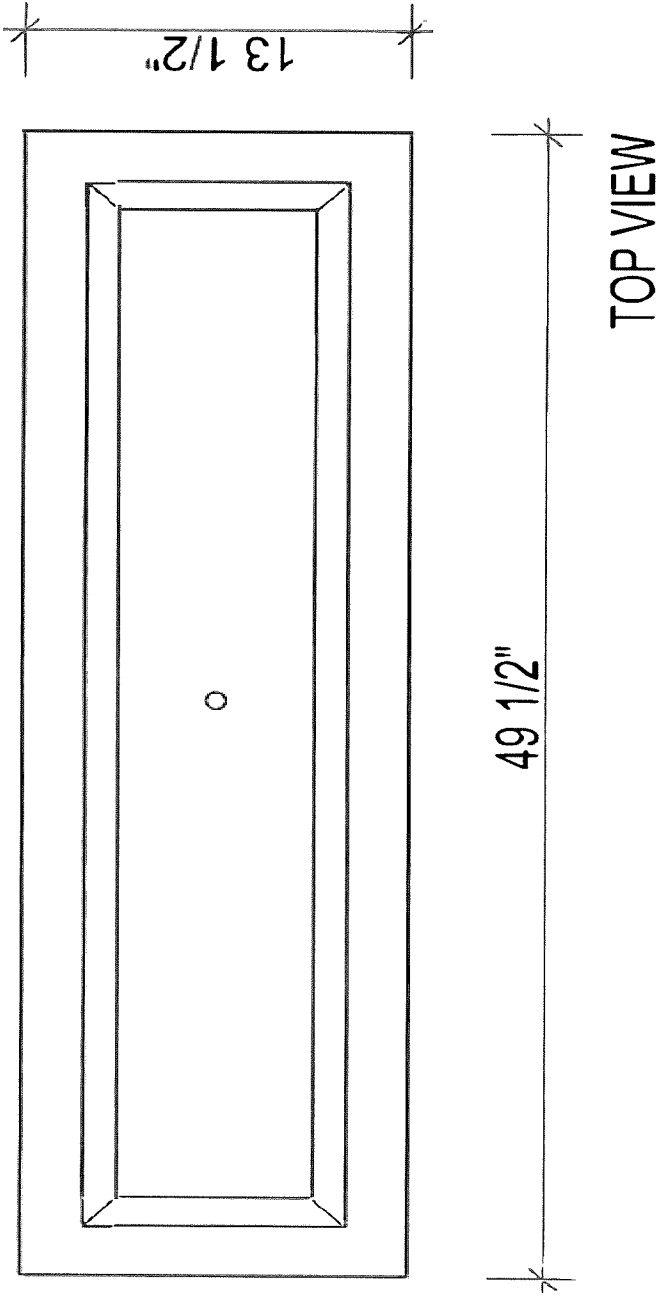
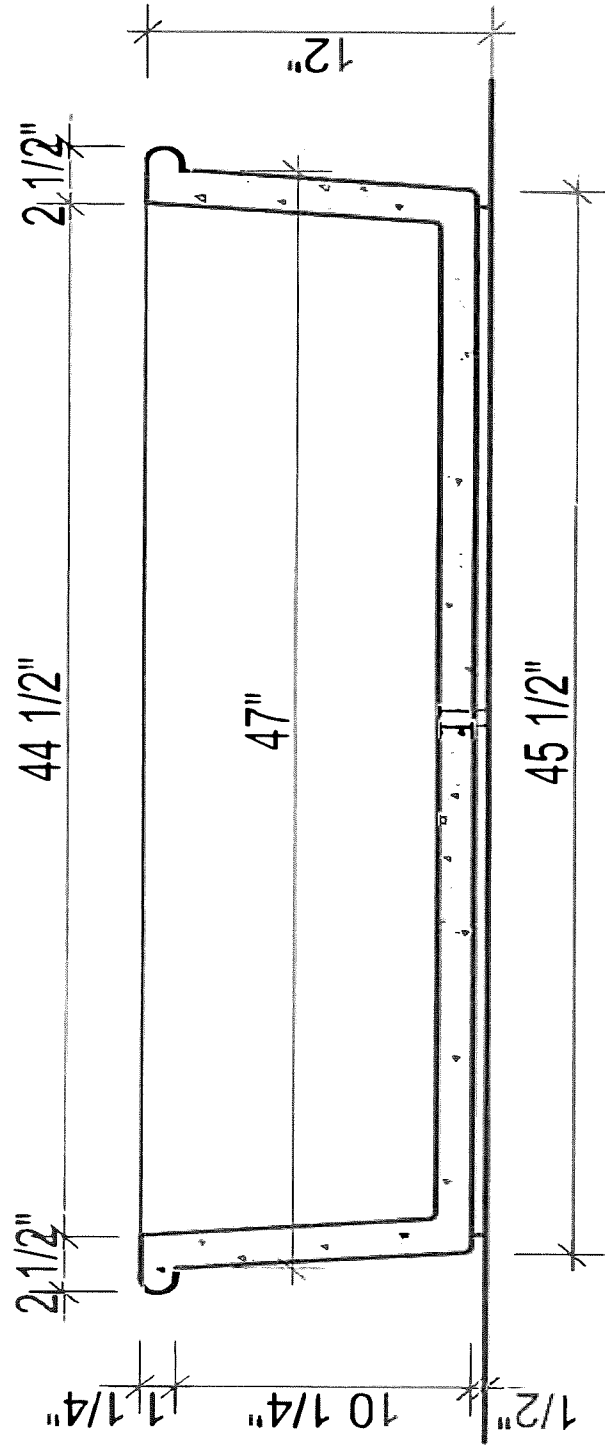


This Plan lies within the Jurisdiction of the
Approving Officer for the City of Richmond
This Plan lies within the Metro Vancouver
Regional District.

The field survey represented by this plan was
completed on the xxth day of Month, 2023.
Ian Robertson, BCLS # 749



DP 23-035352 Permit Drawing #3



RECTANGULAR PLANTER		Width x Length x Height	weight
RL49		49 1/2" x 13 1/2" x 12"	160 lb.



To: Development Permit Panel

Date: May 22, 2025

From: Joshua Reis
Director, Development

File: DV 24-012933

Re: **Application by Dagneault Planning Consultants Ltd. for a Development Variance Permit at 12791 and 12951 Blundell Road**

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 2,108.3 m²;
2. Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.1 m; and,
3. Reduce the minimum lot area from 2.0 ha to 1.609 ha for Proposed Lot B.

This would allow the existing agricultural buildings at 12791 and 12951 Blundell Road that support the existing agricultural operations on a site zoned "Agriculture (AG1)" to remain and facilitate the proposed lot line adjustment/subdivision of the subject properties

Joshua Reis
Director, Development
(604-247-4625)

JR:jsh
Att. 8

Staff Report

Origin

Dagneault Planning Consultants Ltd., on behalf of the property owners Sukhdev Sandhu, Navjit Sandhu and Canada Berries Winery Ltd., has applied to vary the provisions of the Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 2,108.3 m²;
- 2) Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.1 m; and
- 3) Reduce the minimum lot area from 2.0 ha to 1.609 ha for Proposed Lot B.

The variances have been proposed in order to facilitate a proposed lot line adjustment and the retention of the existing agricultural buildings on 12791 and 12951 Blundell Road (Attachment 1) used in support of the existing farm operation on site. The proposed lot line adjustment/subdivision (SD 24-012891) would reconfigure existing lot lines to create the following proposed lots:

- Lot A: 2.12 ha in size and fronting Blundell Road.
- Lot B: 1.61 ha in size and fronting Sidaway Road.

The intent of the variances and proposed subdivision is to:

- Retain the existing agricultural buildings on the subject property;
- Legitimize the amount of concrete flooring and hard surfaces associated with the existing agricultural buildings; and
- Secure long-term access to the winery and processing facility at 12791 Blundell Road by ensuring the main access point is located on the same parcel as the farm buildings and processing facilities.

The proposed Development Variance Permit and subdivision do not result in upgrades to existing servicing utilities or frontage improvements.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Property zoned “Agriculture (AG1)” and located in the Agricultural Land Reserve (ALR)

To the East: Across Sidaway Road, property zoned “Agriculture (AG1)” and located in the ALR.

To the South: Properties zoned “Agriculture (AG1)” and located in the ALR; and

To the West: Property zoned “Agriculture (AG1)” and located in the ALR.

Staff Comments

The farming operation on site (Cal-San Enterprises) leases and manages nine farm operations with a total of approximately 72 acres of blueberry production.

There are three existing agricultural buildings and a greenhouse on site (Attachment 3):

- Building 1 - a 519.9 m² agricultural building used for farm equipment storage;
- Building 2 - a 1,404.6 m² agricultural building containing the processing and dehydration facility, as well as the winery;
- Building 3 - a 705.8 m² greenhouse; and
- Building 4 - a 183.8m² unpermitted agricultural building used for temporary fruit storage.

The unpermitted agricultural building (Building 4) is located within the required interior side yard (west property line) setback and will require a Development Variance Permit to reduce the side yard setback from 4.5 m to 0.1 m to allow its retention. The City has received a code report from a code engineer, demonstrating that the existing agricultural building can be brought into compliance with the BC Building Code. Prior to issuance of the development variance permit, the applicant shall apply for a building permit for Building 4. In addition, prior to subdivision, the applicant shall be required to obtain a Building Permit (BP) for Building 4.

The existing agricultural buildings comprise a total concrete and hard surface floor area of 2,108.3 m². Building 1 and Building 2 were constructed prior to the City’s introduction of limits on the use of concrete for agricultural buildings in 2018. The applicant has agreed to register a covenant on Title prohibiting the use of the buildings on-site for medical or non-medical cannabis production prior to issuance of the Development Variance Permit. The proposed variance would legitimize these buildings and support their continued farm use, as well as permit Building 4 to remain.

The subdivision is essentially a lot line adjustment. Proposed Lot A would be accessed via driveways on Blundell Road and Sidaway Road. The Proposed Lot B would be accessed via Sidaway through an existing access at the northeast corner of the property. The majority of proposed Lot B and the southeast portion of Proposed Lot A will continue to be used for active farming.

In accordance with the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood covenant on Title specifying a minimum habitable floor elevation of 3.0 GSC is required prior to issuance of the development variance permit.

The subject subdivision application has been submitted under Section 3(2)(b) of the *Agricultural Land Reserve General Regulation*, which allows the Approving Officer to approve subdivision of agricultural land without the approval of the Agricultural Land Commission (ALC), subject to the following conditions:

- The agricultural land to be subdivided involves not more than 4 parcels, each of which is a minimum of 1 ha. **This application complies, as it includes 2 parcels, each greater than 1 ha in size.**
- Upon subdivision, there would be no increase in the number of parcels and no parcel would be less than 1 ha. **This application complies, as there is no increase in the number of parcels, and all parcels will be greater than 1 ha in size.**
- The subdivision would allow for boundary adjustments that, in the opinion of the Approving Officer, will enhance farming on the agricultural land or permit better use of structures used for farming. **This application complies, as it was brought to the Food Security and Agricultural Advisory Committee on March 27, 2025, to review the application from an agricultural perspective. The FSAAC supported the application, which is used to inform the Approving Officer's decision.**

The Official Community Plan (OCP) land use designation for the subject site is “Agriculture (AGR)”, which comprises those areas of the City where the principal use is agriculture and food production. It may also include other land uses as permitted under the *Agricultural Land Commission Act* (ALCA).

The City's OCP contains policies limiting subdivision of agricultural land into smaller parcels, except where possible benefits to agriculture can be demonstrated. The proposed subdivision would not result in an increase in the total number of parcels or increase the number of parcels with residential development potential. The proposal complies with the OCP land use designation and is generally consistent with OCP policy.

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Variance Permit application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Agriculture (AG1)” zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 2,108.3 m².
2. Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.1 m; and
3. Reduce the minimum lot area from 2.0 ha to 1.609 ha for Proposed Lot.

Staff supports the proposed variance for the following reasons:

- ***The subject Development Variance Permit application has been submitted in association with a proposed subdivision application (SD 24-012891). The proposed subdivision does not facilitate new construction and would only serve to provide long-term access to the winery and processing plant via the main access on Sidaway Road.***
- ***The proposed subdivision does not facilitate any additional opportunities for residential development.***

- *The proposed subdivision does not increase the number of parcels.*
- *The proposed variance to the side yard setback will allow the applicant to continue to use an existing building required for their farming operation.*
- *The applicant has provided a letter of support for the proposed side yard setback variance from the adjacent neighbouring property at 12691 Blundell Road) (Attachment 4).*
- *Any new construction would be subject to the minimum setback requirements of Zoning Bylaw 8500.*
- *The proposed variance to permit additional lot coverage for concrete flooring will enable existing buildings to be retained and to continue to be used for agricultural purposes in support of the site's existing farming operations.*
- *The property currently contains an active blueberry and grape farming operation and has farm status as per BC Assessment. The applicant has also provided an Agrologist Report produced by a Professional Agrologist (Attachment 5), which includes a rationale for the proposed subdivision.*
- *The application was brought to the Food Security and Agricultural Advisory Committee (FSAAC) for review of the application from an agricultural perspective on September 26, 2024 and was generally supported (although FSAAC did not receive quorum and no official motion was made. Notes from this meeting are located in Attachment 6). The Food Security and Agricultural Advisory Committee (FSAAC) subsequently reviewed and supported the subject Development Variance Permit application at its meeting held on March 27, 2025. An excerpt from the March 27, 2025, FSAC meeting minutes is provided in Attachment 7.*
- *The City's Engineering and Fire Departments have no concerns with the proposed Development Variance Permit.*
- *No existing trees are proposed to be removed.*

Concurrent Subdivision Application

As part of the subdivision application (SD 24-012891) associated with this Development Variance Permit application, the applicant will need to:

- Confirm if there are any existing on-site services or utilities that as a result of subdivision, will cross property lines. Permits will need to be obtained for the removal or reconfiguration to resolve any issues related to encroachment.
- Have a BP issued for the existing un-permitted agricultural building prior to subdivision approval.
- Confirm payment of the current year's property taxes and address assignment fee.

Conclusions

As the proposed development would meet all other applicable policies and guidelines beyond the requested variances, staff recommend that the Development Variance Permit be endorsed, and issuance by Council be recommended.

The list of Development Variance Permit Considerations is included in Attachment 8, which has been agreed to by the applicant (signed concurrence on file).



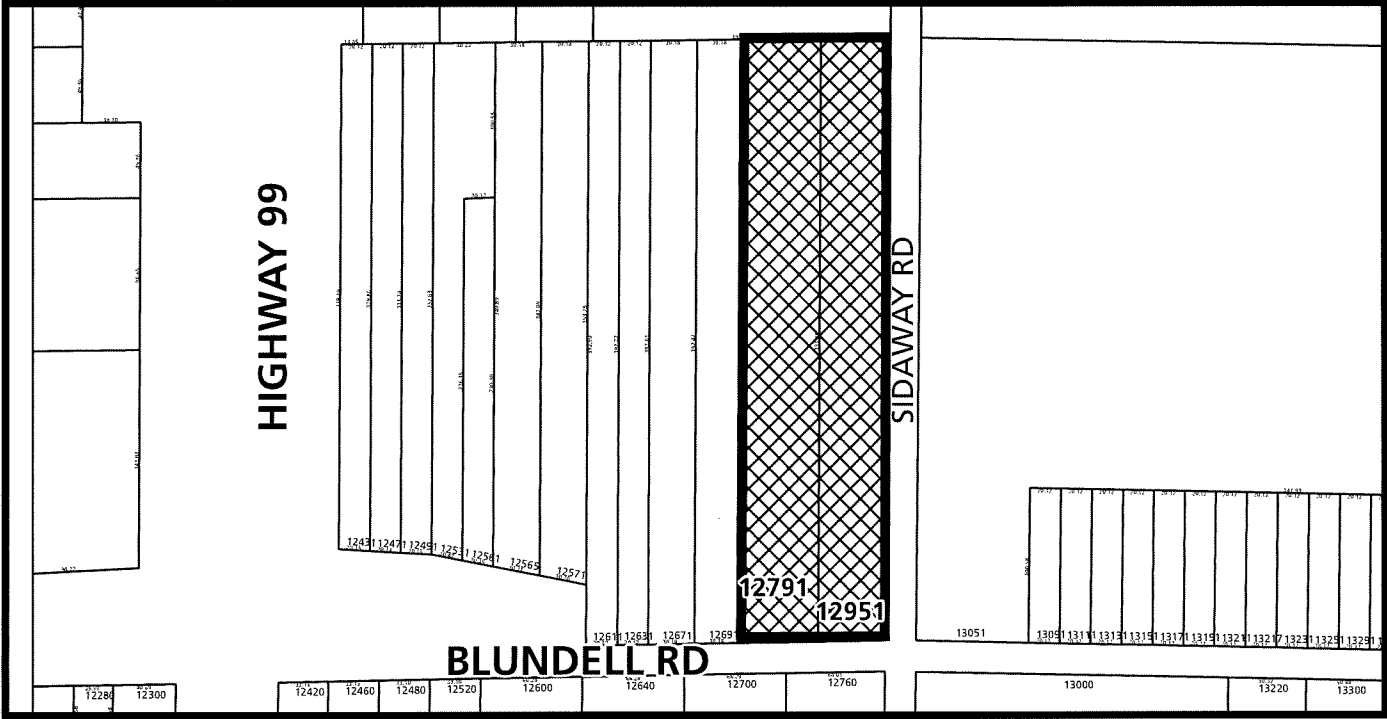
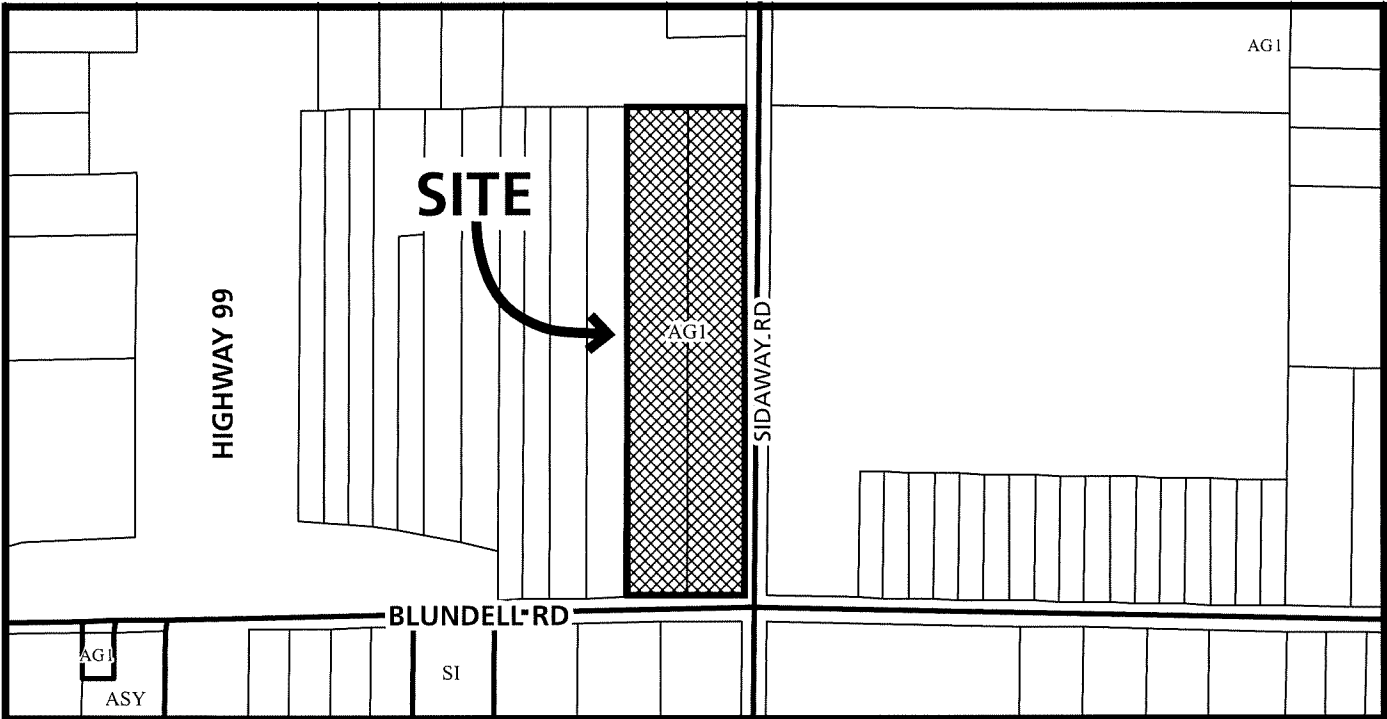
James Hnatowich
Planner 1
(604-247-4911)


JSH:cas

- Att.
- 1: Location Map
 - 2: Development Application Data Sheet
 - 3: Proposed Subdivision Plan for SD 24-012891
 - 4: Letter of Support from Property Owner at 12791
 - 5: Agrologist Report prepared by McTavish dated July 5, 2024
 - 6: Excerpt from the September 26, 2024 FSAAC Meeting Notes
 - 7: Excerpt from the March 27, 2024, FSAAC Meeting Minutes
 - 8: Development Variance Permit Considerations



City of Richmond





DV 24-012933

Original date: 06/13/24

Revision Date:

Note: Dimensions are in METRES



City of
Richmond



DV 24-012933

Original Date: 04/28/25
Revision Date:

Note: Dimensions are in METRES



DV24- 012933

Attachment 2

Address: 12791 and 12951 Blundell Road

Sukhdev Singh Sandhu, Navjit
Kaur Sandhu

Applicant: Dagneault Planning Consultants Ltd

Owner: Canada Berries Winery LTD., Inc

Planning Area(s): East Richmond

	Existing	Proposed
Site Area:	12791 Blundell Road: 1.97 ha 12951 Blundell Road: 1.76 ha	12791 Blundell Road: 2.119 ha Proposed Lot B: 1.609 ha
Land Uses:	Agriculture	No Change
OCP Designation:	Agriculture (AGR)	No Change
Zoning:	Agriculture (AG1)	No Change
Number of Lots	2	No Change

On Future Subdivided Lots	Bylaw Requirement	Proposed	Variance
Concrete in Agricultural Buildings:	750 m ²	2,108.3 m ²	Variance Requested
Lot Coverage:	Max. 35%	No Change	None
Setback – Side Yard:	Min. 4.5 m	0.1 m	Variance Requested
Setback – Rear Yard:	Min. 4.5 m	40.6 m	None
Lot Size:	Min 2.0 ha	Lot A: 2.119 ha Lot B: 1.609 ha	Variance Requested
Height	Max. 35.0 m	Complies	None

PLAN SHOWING PROPOSED SUBDIVISION
OF LOTS 13 AND 14, BOTH OF SECTION 18
BLOCK 4 NORTH, RANGE 5 WEST, NWD, PLAN 9359

SCALE 1 : 750
15 0 15 30m
All distances are in metres.



Building 4

12

0.1 clear
of Lot 12

PROPOSED LOT B
1.609 ha
(16,089.7m²)

existing
structure
705.9m²

1,404.6m²

existing
structure

PROPOSED LOT A
2.119 ha
(21,193.5m²)

existing
structure
519.9m²

COVENANT
PLAN EPP60765

SIDAWAY ROAD

Building 3

Building 2

Building 1

NOTES:

- Lot dimensions are derived from field survey.
- All dimensions are to exterior faces unless otherwise noted.
- Elevations are based on the HPN Datum of Richmond and are derived from GCM#619213(94H1624) situated at the intersection of No. 5 Road and Granville Avenue. Elevation = 2.34 metres.

CIVIC ADDRESS

12951 & 12791 BLUNDELL ROAD
RICHMOND, B.C.

ZONING: AG1

CERTIFIED CORRECT.
DATED THIS 4TH DAY OF JUNE, 2024

IVAN NGAN B.C.L.S.
This document is not valid unless originally
signed and sealed

L N L S METRO VANCOUVER
LAND SURVEYORS

1528 KINGSWAY, VANCOUVER, BC, V5N 2R9
T 604.327.1535 WEB WWW.LNLS.CA

FILE: 3653_12MS

BLUNDELL ROAD



City of
Richmond

Letter of Support

March 3, 2025

To Whom It may concern, City of Richmond

I, Habib Khan, owner and resident of 12691 Blundell Road, Richmond, BC, do not have any issues or concerns with the proximity of my neighbour's building to my property. My neighbour's building is located on 12791 Blundell Road, Richmond, BC., east of my property, owned by Dave Sandhu.

Habib Khan

* James this is the letter Required From the
Neighbour as you Requested.



12791 and 12951 Blundell Rd Richmond, BC – Agricultural Assessment

Prepared for: Dagneault Planning Consultants Ltd.

July 5, 2024

Revision Index			
Revision #	Approved by	Date (YYYY-MM-DD)	Issued Status
0	B. McTavish	2024-03-06	Draft for internal review
1	J. McTavish	2024-03-08	Draft for internal review
2	B. McTavish	2024-03-10	Draft for internal review
3	B. McTavish	2024-03-13	Issued for client review
4	B. McTavish	2024-03-14	Issued for client use
5	B. McTavish	2024-05-10	Re-Issued for client use
6	B. McTavish	2024-05-27	Re-Issued for client use
7	B. McTavish	2024-07-05	Re-Issued for client use

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1.0 Introduction

McTavish Resource & Management Consultants Ltd. (McTavish) was retained by Dagneault Planning Consultants Ltd. (Dagneault) to provide an agricultural assessment on two properties located at 12791 and 12951 Blundell Road, Richmond, BC (the "Site"; **Appendix I**). The purpose of the assessment was to document the current farming, agricultural processing and land capability of the Site as supporting information for a subdivision application to the City of Richmond. The report provides a professional opinion with respect to the impact of the proposed subdivision on the farm and processing operation. Cal-San Enterprises farms both parcels and has a winery, blueberry processing plant, and value added product sales on the properties. The processing facility and winery are located on 12791 Blundell Road (PID 003-682-277) and the access to the facilities is located on 12951 Blundell Road (PID 003-682-421).

The details regarding the Site parcels are provided in **Table 1**.

Table 1. Parcel Details

Parcel I	Address	PID	Zoning	Ownership	Area (ha)
1	12951 Blundell Rd, Richmond, BC	003-682- 421	AG1 – Agricultural use	Canada Berries Winery Ltd.	1.76
2	12791 Blundell Rd, Richmond, BC	003-682- 277	AG1 – Agricultural use	Sukhdev Singh Sandhu and Navjit Kaur Sandhu	1.97
			Total Site area		3.73

2.0 Current and Historical Operations on the Site and in Richmond

The information provided in this section is based on documents provided by Mr. Dave Sandhu, an inspection of the property to confirm the processing and winery facilities, and a review of available literature on farming in Richmond.

The City of Richmond Agricultural Land Use Inventory indicates that blueberries are the second-most dominant crop in Richmond, BC with approximately 573 hectares (ha) in production. This accounts for 34% of the total crop area in this city (City of Richmond, 2022). On average, blueberry fields are 1 ha and are within 2 ha parcels located mostly in the centre region of Richmond (BC Ministry of Agriculture, 2013; Province of British Columbia, 2016). The average blueberry farm in Richmond is relatively small compared to the average blueberry farm in Surrey (7 ha), Abbotsford (5 ha), and Chilliwack (7 ha) (**Table 2**).

Table 2 provides information on average blueberry crop area in Richmond, Surrey, Abbotsford, and Chilliwack based on the most recent Agricultural Land Use Inventories in BC. **Figure 1** shows the parcels in Richmond that are farmed for blueberries and how they are distributed spatially. Blueberry fields are highlighted in blue, light blue, and sky-blue.



Table 2. Blueberry production statistics in Richmond, Surrey, Abbotsford, and Chilliwack.

City	# of fields	Average crop area (ha)	Median crop area (ha)	Average parcel size (ha)
Richmond	401	1.0	<1.0	2.0
Surrey	213	7.0	4.0	8.0
Abbotsford	542	5.0	4.0	7.0
Chilliwack	61	7.0	4.0	NA

Note: Values retrieved from Agricultural Land Use Inventory Reports from 2010 and 2012.¹

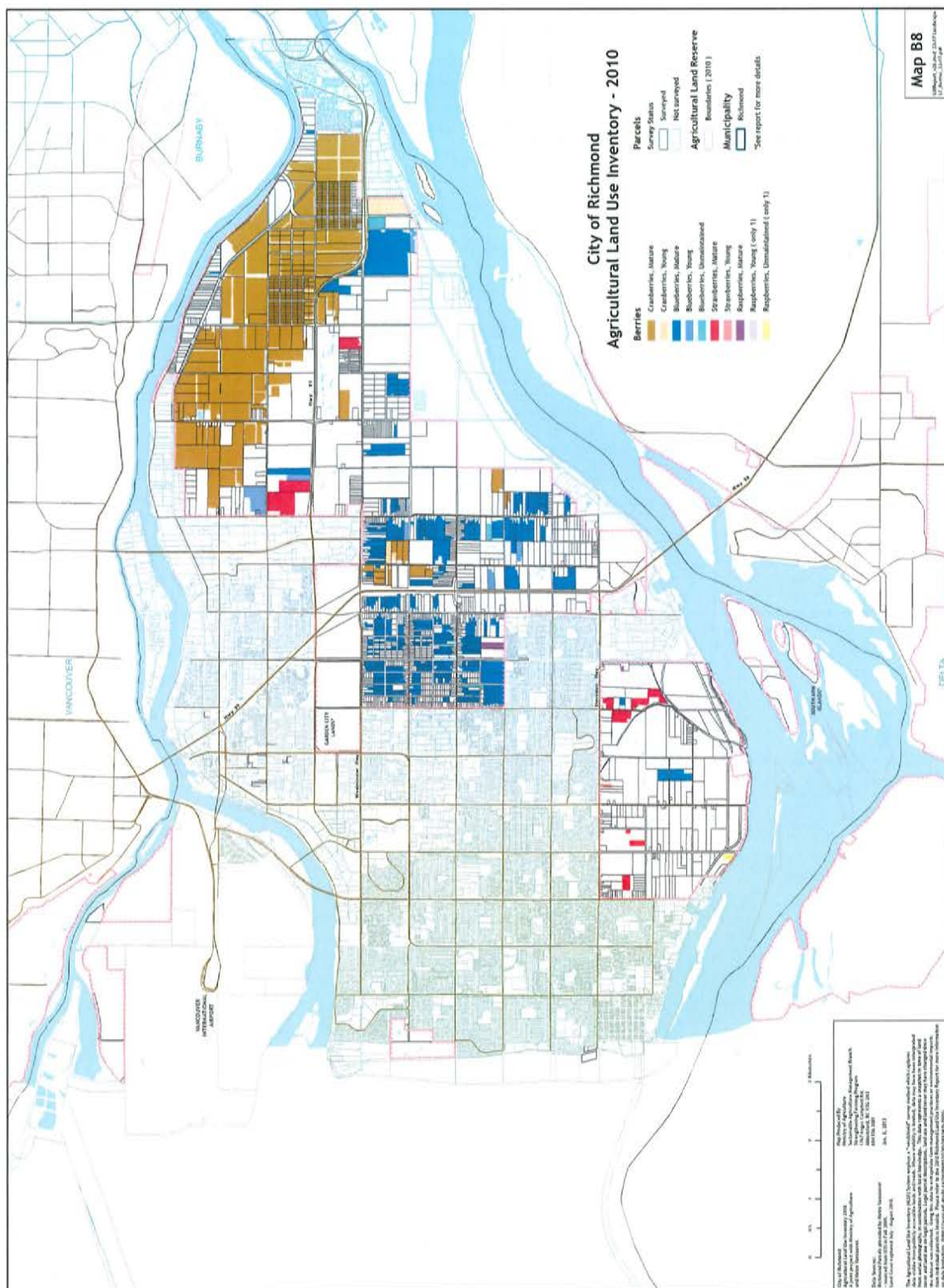
The Sandhu family (Cal-San Enterprises) has operated on the Site for the last 30 years. The present operation includes:

- Blueberry production (plants being replaced)
- Blueberry processing
- Grape production, wine production and a retail wine sales outlet (Sanduz Estate Wines)
- Agritourism with the retail wine and fruit sales as well as summer events

With the transition in the Fraser Valley to large acreages of blueberries, newer varieties and machine harvesting, Richmond remains the only area with the majority of farms being under 2 hectares and with no large local processors. At the present time, Cal-San is the only local processor of blueberries in Richmond who processes berries sourced from non-owned farm properties.

¹ BC Ministry of Agriculture. South Coast - Agricultural Land Use Inventory Projects. <https://www2.gov.bc.ca/gov/content/industry/agriculture-seafood/agricultural-land-and-environment/strengthening-farming/planning-for-agriculture/agricultural-land-use-inventories/south-coast>





2.1 Blueberry and Cranberry Processing

The following section provides information on Cal-San Enterprises blueberry and cranberry processing.²

2.1.1 Fruit Dehydration

Cal-San is recognized as an industry leader in new use application for blueberries and cranberries. Cal-San has invested in the research, development and testing of a new dehydration process for fruits and vegetables. Cal-San processes their fruit using their patented technology (MiVac™ and Micro-Fusion Technology™). With the use of this technology, the Cal-San dried-fruit products are sold to customers including food manufacturers in North America and Asia.

2.1.2 Blueberry Fresh and Frozen Sales

Cal-San sells fresh blueberries in the summer and frozen blueberries year round. These berries are sourced from leased fields and from local farms. Cal-San sells over 300,000 lbs of blueberries which are sold as fresh fruit farmgate sales. The operation sells over 200,000 lbs of frozen fruit from the farm year-round. Cal-San also does custom processing and packaging for small Richmond berry farms that provides these farms with value added products.

2.1.3 Berry Purchases and Local Employment

Cal-San purchases between 600,000 and 800,000 lbs of local produced blueberries per year. They also purchase 30,000 lbs of strawberries and about 20,000 lbs of cranberries. These are all purchased from local farmers with the majority of the farms located in Richmond. Cal-San leases and manages 9 farm operations with a total of ~72 acres of blueberry production. They purchase a variety of berries from 9 larger farms (4 to 20 acres in size) with a total of approximately 275 acres in production. They also purchase from 15 to 20 smaller farms with typically less than 2 acres of production.

For the last 20 years Cal-San has employed 15-30 local youth and senior workers during the summer.

Cal-San have been the only processor/buyer of blueberries from smaller local Richmond farmers for over 20 years.³ Most Richmond blueberry farms are too small and have older berry varieties that don't yield enough to make it profitable to ship to the large berry processors in Abbotsford or Pitt Meadows. The most recent published Agricultural Land Inventory indicates that the average blueberry fields in Richmond are 1 ha and are within 2-ha parcels (BC Ministry of Agriculture, 2013; Province of British Columbia, 2016). If the Cal-San processing facility was not operating, there would be no local buyer for many of the small parcel blueberry growers in Richmond.

2.1.4 Winery and Retail Wine Outlet

Sanduz is Richmond's first farm-based winery and includes a wine production facility, a tasting room and retail store. They produce and sell (20,000 to 30,300 bottles of fruit and grape based wines. The blueberry

² Per. Communications on March 5, 2024, with Mr. Dave Sandhu. Also, as per review of documents provided by Mr. Sandhu.

³ Based on a review of the BC Blueberry Council list of processors, Canwest Farms Ltd. is the only other farm that has processing facilities. It is McTavish's understanding that they process their own berries and operate a farmers market in the summer.



and cranberry fruit based wines are produced from locally grown berries. The farm has a small vineyard, however, most of the grape wines are based on Okanagan vineyard purchases.

3.0 Soil and Agricultural Capability

McTavish carried out a field investigation to determine the soil series and agricultural capability on the two properties (the Site). A summary of the results of the soil investigation and review of provincially mapped soils are provided in **Table 3**. The field investigation indicates that the northern end of the Site has mineral soils in humic phases and organic (peat) soils. These soils are not suitable for grape production but can support blueberry and annual vegetable production if properly managed. There was historical fill encountered in some areas that was likely imported to improve the range of crops that could be grown on the fields. Recent land management in these northern fields include the addition of three gravel roads to facilitate farm vehicle access. Historical fill was also observed in the southern field that was likely to improve the land capability for grape production.

The soil series identified on site are shown and compared to the published mapped soils in **Table 3**. Maps showing the soil and agricultural capability polygons are provided in **Appendix II**. Note that the findings from the soil survey were not fully consistent with the published soils or agricultural capability mapping; therefore, agricultural capability on the Site was revised.

If requested McTavish can provide a full report on Soil and Agricultural Capability on the Site.



4.0 Rational for Subdivision

The current layout of the Site has the vineyard and the east side of the northern fields within Parcel 1, and the winery, processing facility, and west side of the northern fields within Parcel 2 (**Table 4**). Both properties have land available for agricultural production as grapes can be grown on the south side of Parcel 2 (areas with native or imported mineral soil), and with proper management, blueberries and annual vegetables can be grown on the northern fields of either Parcel 1 or Parcel 2.

However, the current layout of the Site delimits the access to the processing facility and winery on Parcel 2 via Blundell Rd, which is a narrow and tortuous path not suitable for delivery trucks. The ideal access to the processing and winery facility is from Sidaway Road (as currently exists). The owners of Cal-San have concerns about the impact of not having a secure long-term access to their facilities as long-term access is not guaranteed under the current parcel division. Due to these concerns, Cal-San has proposed a subdivision of the Site east to west as shown in **Appendix I**. The proposed subdivision will maintain agricultural land on both properties and secure long term access to the processing and winery facility (**Table 5**). Photographs of all current and proposed access points are provided in **Appendix III**.

Table 4. Current layout of the Site

Parcel	Address	PID	Current Layout
1	12951 Blundell Rd, Richmond, BC	003-682-421	<ul style="list-style-type: none">• Main access/egress point: Sidaway Rd. Wide access with shortest and most direct path to processing facility and loading bay.• Other access/egress points: Sidaway Rd northern gravel access (not currently used), and Sidaway Rd southern gravel access (decommissioned – unauthorized to use).• Contains: Vineyard, east side of northern agricultural fields.
2	12791 Blundell Rd, Richmond, BC	003-682-277	<ul style="list-style-type: none">• Main access/egress point: Blundell Rd. Narrow access with tortuous, long path to reach processing facility and loading bay.• Contains: Residential dwelling, processing facility, winery, west side of northern agricultural fields.



Table 5. Proposed layout of the Site

Parcel	Proposed Layout	Ownership
Proposed Lot A	<ul style="list-style-type: none"> • Main access/egress point: Sidaway Rd. Wide access with shortest and most direct path to processing facility and loading bay. • Other access/egress points: Blundell Rd paved access (small vehicle access) and Sidaway Rd southern gravel access (decommissioned – unauthorized to use). • Contains: Residential dwelling, vineyard, processing facility, winery, and small field production area at the north end of the property. 	Sukhdev Singh Sandhu and Navjit Kaur Sandhu
Proposed Lot B	<ul style="list-style-type: none"> • Main access/egress point: Sidaway Rd northern gravel access. This access was approved to use by the City of Richmond. • Contains: Northern agricultural fields. 	Canada Berries Winery Ltd.

It is McTavish opinion that:

- There is no net loss to agriculture from subdividing east to west as compared to the current north south lot lines. Both lots still have agricultural productive capability.
- Under the current situation, the sale of 12951 Blundell Road (Parcel 1) would eliminate the access to the processing and winery facility. There is a small driveway off Blundell that provides access to the house but is not large enough to accommodate large trucks or farm vehicles. The proposed subdivision will secure long term access to the processing and winery facility.
- The winery and agritourism activities taking place on 12791 Blundell Road (Parcel 2) will have their access and parking protected by the proposed subdivision.



5.0 Closing

We trust this is the information that you require at this time. Should you have any questions regarding this report please contact the undersigned.

Sincerely,

McTAVISH RESOURCE & MANAGEMENT CONSULTANTS LTD.

Per

A handwritten signature in blue ink that reads "Bruce McTavish". The signature is written in a cursive, flowing style.

Bruce McTavish, MSc MBA PAg
Senior Agrologist



Appendix I. Current and Proposed Site Layout

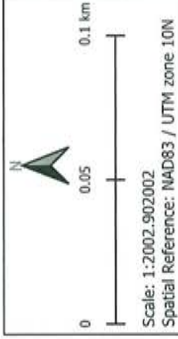




LEGEND

- Parcel boundaries
- 5m RAR Buffer
- Current access
- Gravel
- Paved

LOCATION OVERVIEW



Project ID: BD-07
Project Description: Sandhu
Created By: F.L.
Date: 2024-06-21

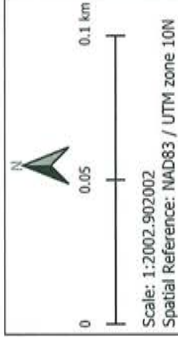
CURRENT SITE LAYOUT WITH ACCESS POINTS



LEGEND

- Parcel boundaries
- 5m RAR Buffer
- Proposed subdivision
- LOT A
- LOT B
- Proposed access
- Gravel
- Paved

LOCATION OVERVIEW



Project ID: BD-07
Project Description: Sandhu
Created By: F.L.
Date: 2024-06-21

**PROPOSED PARCEL
SUBDIVISION LAYOUT**

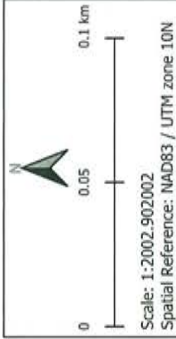
Appendix II. Soil and Agricultural Capability Maps



LEGEND

- Parcel boundaries
- 5m RAR Buffer
- Soil Pit
- ◆ Observation Point
- BC Soil Survey

LOCATION OVERVIEW



Project ID: BD-07
Project Description: Sandhu
Created By: F.L.
Date: 2024-06-21

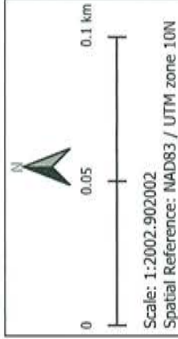
**PUBLISHED SOIL SERIES
POLYGONS ON THE SITE**



LEGEND

- Parcel boundaries
- 5m RAR Buffer
- Soil Pit
- ◆ Observation Point
- BC Agricultural Capability Mapping

LOCATION OVERVIEW



Project ID: BD-07
Project Description: Sandhu
Created By: F.L.
Date: 2024-06-21

**PUBLISHED AGRICULTURAL
CAPABILITY POLYGONS ON
THE SITE**



Appendix III. Site Access Points Photographs





Figure 1. Access to 12791 Blundell Rd (Parcel 2) facing east. Access is approximately 9 m wide and is paved. Access is currently used for small vehicles only.



Figure 2. Access to 12791 Blundell Rd (Parcel 2) facing north. Access path becomes narrower when passing in between house and vineyard. Access road goes from approximately 9 m wide to 4 m wide. For this reason, access is not suitable for large trucks or farm vehicles.


Agricultural Baseline Assessment – Site Photographs		Site Information	
Completed by: Franco Lopez Campomanes		PID 003-682-277 (Parcel 2)	
 McTAVISH RESOURCE & MANAGEMENT CONSULTANTS LTD.		Latitude:	Longitude:
		49.155627°N	123.081560°W



Figure 3. Decommissioned access to 12951 Blundell Rd (Parcel 1) via Sidaway Rd. Access is approximately 5 m wide but leads to the same narrow road between house and vineyard. Access is within 20 m to the intersection between Blundell and Sidaway Rd. Not in current use.



Figure 4. Current access to 12951 Blundell Rd (Parcel 1) via Sidaway Rd facing west. Access is approximately 11 m wide and leads directly to the processing facility and loading bay. Access is suitable for large trucks and trailers.



Figure 5. Current access to 12951 Blundell Rd (Parcel 1) via Sidaway Rd facing north. Access is approximately 11 m wide and is gated.

Agricultural Baseline Assessment – Site Photographs

Site Information

Completed by: Franco Lopez Campomanes

PID 003-682-421 (Parcel 1)

Latitude:

49.156633°N

Longitude:

123.080836°W

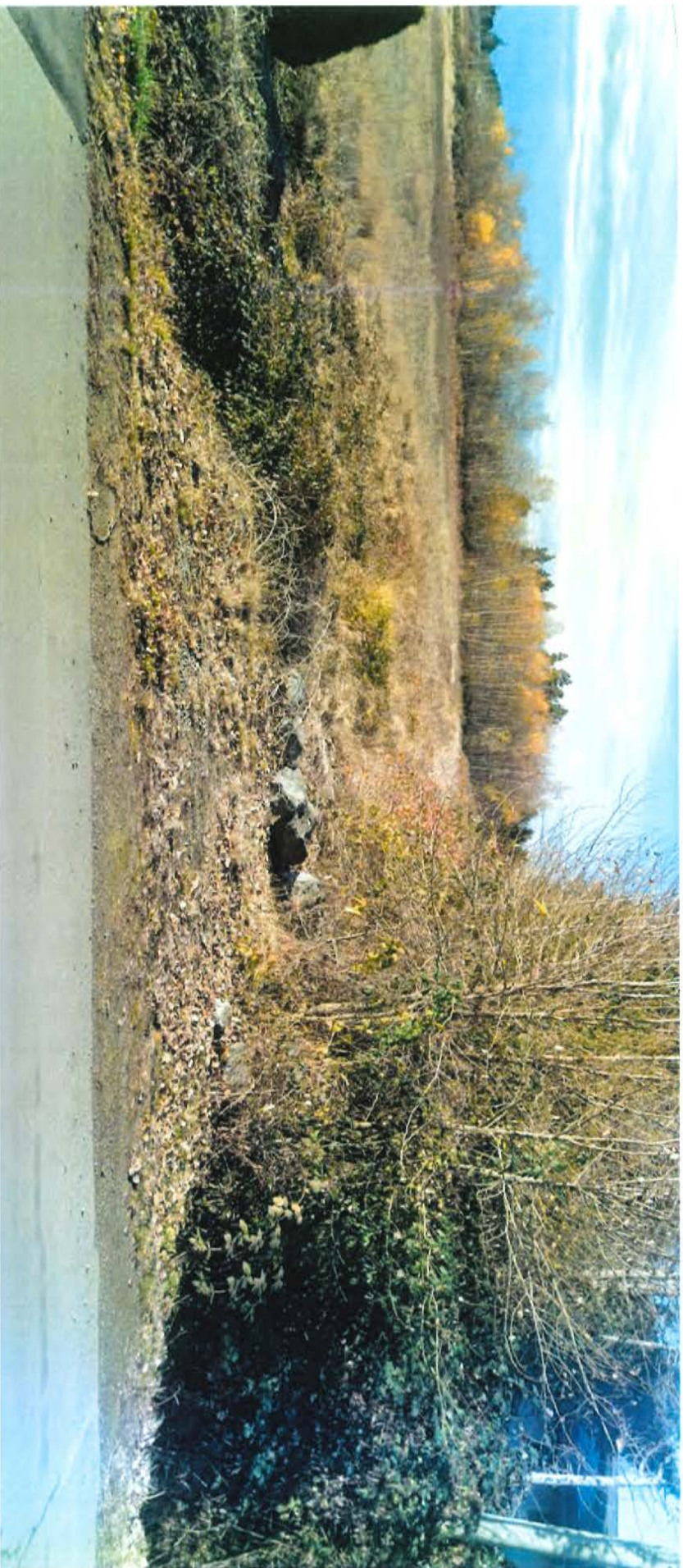


Figure 6. Approved access to 12951 Blundell Rd (Parcel 1) via Sidaway Rd. Access is located in the northern part of the property and is approximately 5 m wide. Access has been approved by the City of Richmond. Photo imagery was retrieved from Google Street View (November 2022 imagery).



Agricultural Baseline Assessment – Site Photographs		Site Information	
Completed by: Franco Lopez Campomanes		PID 003-682-421 (Parcel 1)	
 McTAVISH RESOURCE & MANAGEMENT CONSULTANTS LTD.		Latitude:	Longitude:
		49.162718°N	123.080605°W



Figure 7. Approved access to 12951 Blundell Rd (Parcel 1) via Sidaway Rd. Access is located in the northern part of the property and is approximately 5 m wide. Access has been approved by the City of Richmond. Photo imagery was retrieved from Google Street View (November 2015 imagery).

Agricultural Baseline Assessment – Site Photographs		Site Information	
Completed by: Franco Lopez Campomanes		PID 003-682-421 (Parcel 1)	
 McTAVISH RESOURCE & MANAGEMENT CONSULTANTS LTD.		Latitude:	Longitude:
		49.162718°N	123.080605°W



Food Security and Agricultural Advisory Committee (FSAAC)

Held Thursday, September 26, 2024 (7:00 pm)
Microsoft Teams

Note: These notes reflect discussion but are in note form as group did not achieve quorum.

Development Variance Permit- 12791/ 12951 Blundell

James Hnatowich, Planner 1, Policy Planning introduced a Development Variance Permit application, identifying a brief history of the site, and the requirements for why a variance is being triggered, and the need for FSAAC review.

Dave Sandhu, Bruce McTavish, and Brian Dagneault provided a history of the uses on site, and intention of the proposed subdivision, including the following comments:

- The applicant has a processing building on site, which is the only independent processor in Richmond.
- The Sanduz winery was the first farm based winery in Richmond.
- Crops grown on site include Blueberries and Grapes.
- The southern access off of Blundell is reportedly difficult to navigate for tractors and trucks, and is ill suited for large vehicles.
- The purpose of the subdivision is to realign the lot lines so that the main access to the site is tied to the processing plant.

Discussion ensued regarding if the intent of the subdivision was to proceed to sell the proposed northern Lot B. The applicant discussed how that is not the intent at this time. Further discussion ensued regarding why the same objectives (securing access to the processing plant via Sidaway Road) could not be achieved via lot consolidation. The applicant discussed for financial reasons they would prefer to keep the lots separate.

The Committee expressed general support for the application, identifying that having the main access point linked to the processing plant is reasonable from an agricultural perspective, and that if the lots are to be realigned, and not consolidated, that this is justifiable.



Food Security and Agricultural Advisory Committee (FSAAC)

Held Thursday, March 27, 2025 (7:00 pm)
Microsoft Teams

Development Variance Permit (12791/ 12951 Blundell Road DV24-012933)

James Hnatowich, Policy Planning, introduced the proposal and provided the following comments:

- This application is for three different variances to permit:
 - a subdivision with parcels less than 2 acres in size to facilitate co-location of the site's main vehicle access, processing plant and winery on one lot;
 - concrete in existing non-conforming agricultural buildings; and
 - a reduced side yard setback for an existing non-conforming building.
- As per the "Agriculture (AG1)" zone, agricultural buildings require a Development Variance Permit (DVP) if exceeding 750 m² of concrete flooring. The intent of this regulation is not to outright restrict agricultural buildings with concrete flooring exceeding this threshold, but instead to give FSAAC and Council the ability to review these developments with a critical lens to ensure that they are justifiable for the scale and scope of the existing farming operation.
- Subdivisions are permitted without approval from the ALC, subject to the following criteria: the land being subdivided involves not more than 4 parcels, each of which is a minimum of 1 ha; there is no increase in number of parcels; and, the subdivision will enhance farming on the agricultural land or permit better use of structures used for farming.
- The side yard setback in the "Agriculture (AG1)" zone is 4.5 m. The applicant is applying to vary this provision to 0.1 m. The applicant has reached out to the neighbouring property, who provided a letter of support for the development.

Brian Dagneault (consultant) and Dave Sandhu (owner) provided a summary of the farm operation being conducted on site, including the intent of the subdivision, the use of the building requiring variances for concrete flooring and a side yard setback, and related farming matters.

In response to questions from the Committee, the applicant team provided the following additional comments:

- The farm operation has confirmed they meet ALC requirements for their operation;
- The intent of the subdivision is not to facilitate further development, and no development is proposed as per the application;
- The building triggering the requirement for a variance is needed to temporarily store fruit before being processed, and is critical to the farm operation.
- The applicant wants to complete the subdivision as a lot line realignment, and not consolidation, for financial considerations.

FSSAC provided the following comments over the proposal:

- In principle, the existing non-conforming building is benefiting the farm operation. However, some concerns were expressed that the applicant did not follow City processes, and did not receive the proper permits.
- The proposed lot line re-adjustment is justifiable from an agricultural perspective, as it is practical to co-locate the main access and associated processing facility on one lot. However, this approach is inferior to consolidation of the two lots, which would ensure the new north parcel would be entirely farm land (not a future house site).

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee endorse the subdivision and variances as presented.

*Carried
With Cynthia Zhou and Leslie Williams abstained*



**City of
Richmond**

Development Variance Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 12791 and 12951 Blundell Road

File No.: DV 24-012933

Prior to approval of the Development Variance Permit, the applicant is required to complete the following:

1. Registration of a restrictive covenant on Title to prohibit the use of the buildings on site for medical or non-medical cannabis production.
2. Registration of a floodplain covenant on Title identifying a minimum habitable elevation of 3.0 m GSC.
3. Submission of a complete application for a Building Permit in an acceptable form for the existing non-permitted building to be submitted to the City.
4. Payment of all fees in full for the cost associated with the Development Permit Panel Notices.

Prior to Subdivision* approval, the applicant must complete the following requirements:

1. Confirmation, from a qualified professional, of the location of all existing on-site services or utilities and whether, as a result of the proposed subdivision, these services would encroach on either lot. Permits and or easements may be required in order to resolve any issues of encroachment, if applicable.
2. Issuance of a building permit* for the existing un-permitted agricultural building (Building 4).
3. Payment of the current years property taxes and address assignment fee.

Prior to Building Permit* Issuance, the applicant must complete the following requirements:

1. Submission of a Statutory Declaration confirming that all proposed construction shall comply with the permitted uses specified in Zoning Bylaw 8500, consistent with the City's Bulletin No. BUILDING-32 "Statutory Declaration Requirements for Building Permit Applications in AG1 Zones"
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading,

Initial: _____

ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- If the development will be constructed in phases and stratified, a [Phased Strata Subdivision Application](#) is required. Each phase of a phased strata plan should be treated as a separate parcel, each phase to comply with the Richmond Zoning Bylaw 8500 in terms of minimum lot area, building setback and parking requirements. Please arrange to have the City's Approving Officer review the proposed phased boundaries in the early DP stages. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- If the development intends to create one or more air space parcels, an [Air Space Parcel Subdivision Application](#) is required. To allow sufficient time for staff review and preparation of legal agreements, the application should be submitted at least 12 months prior to the expected occupancy of development.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed _____

Date _____



No. DV24-012933

To the Holder: Dagneault Planning Consultants Ltd

Property Address: 12791 Blundell Road
PID: 003-682-277
12951 Blundell Road
PID: 003-682-421

Address: 12791/ 12951 Blundell Road

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) Increase the maximum cumulative lot coverage for agricultural buildings with an impermeable surface floor sunk into, at or below the natural grade of the site from 750 m² to 2,108.3 m².
 - b) Reduce the minimum interior side yard setback for agricultural buildings and structures from 4.5 m to 0.1 m, as shown on Plan #1 attached hereto; and
 - c) Reduce the minimum lot area from 2.0 ha to 1.609 ha for Proposed Lot B, as shown on Plan #1 attached hereto.
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
5. If the Holder does not commence the development permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

Development Variance Permit

No. DV24- 012933

To the Holder: Dagneault Planning Consultants Ltd

Property Address: 12791 Blundell Road
PID: 003-682-277
12951 Blundell Road
PID: 003-682-421

Address: 12791/ 12951 Blundell Road

AUTHORIZING RESOLUTION NO.
DAY OF , .

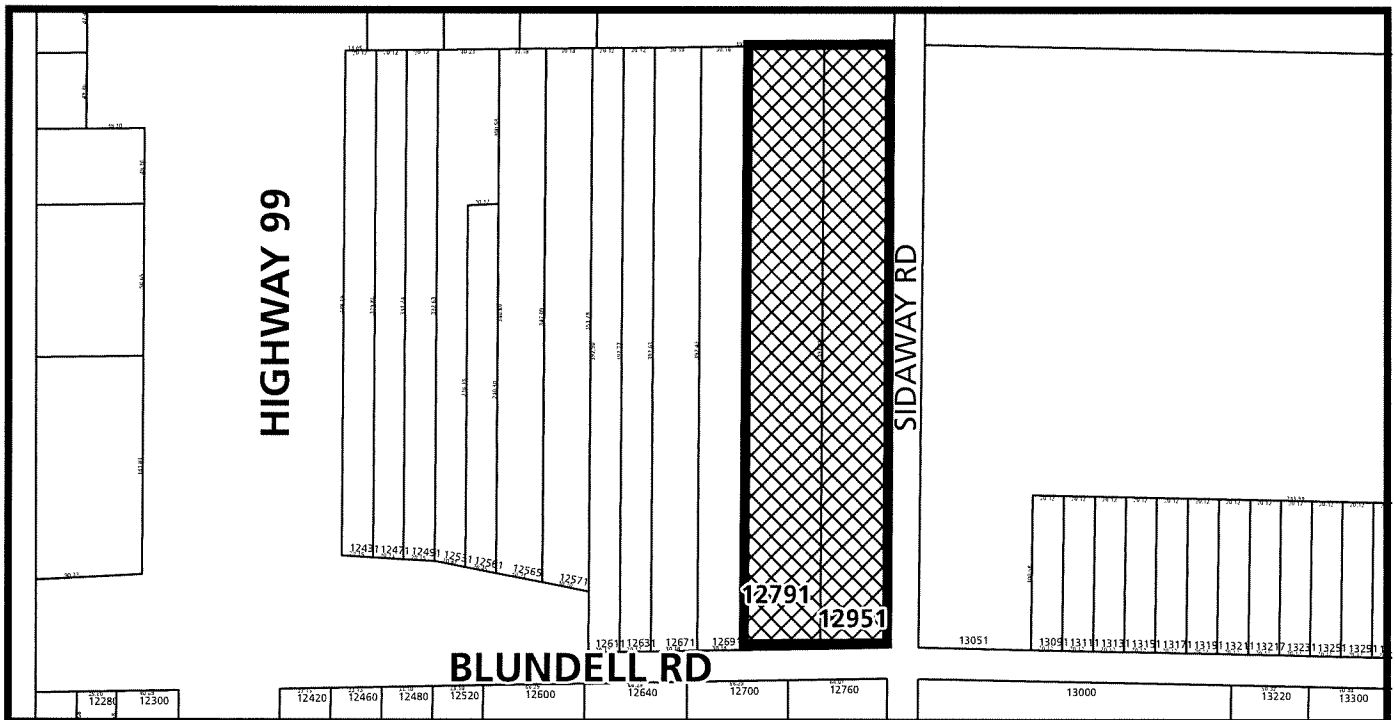
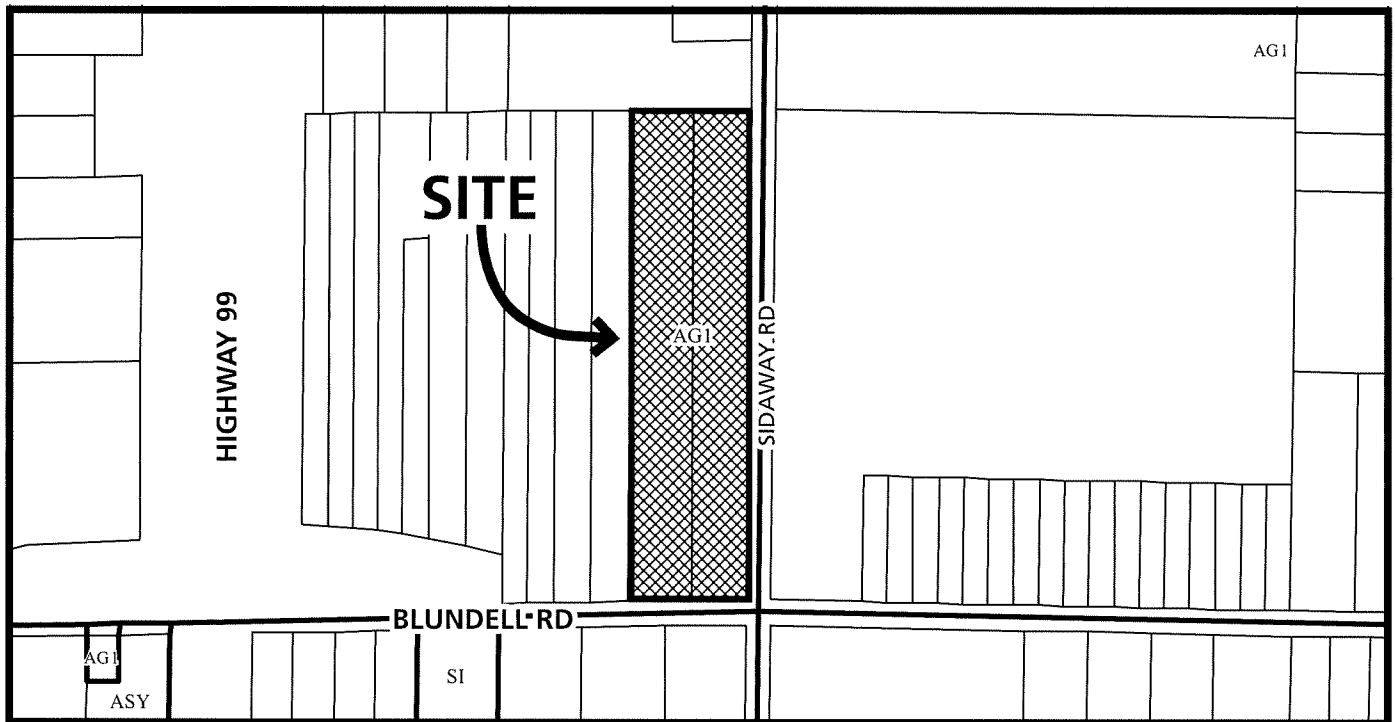
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of
Richmond



DV 24-012933
SCHEDULE "A"

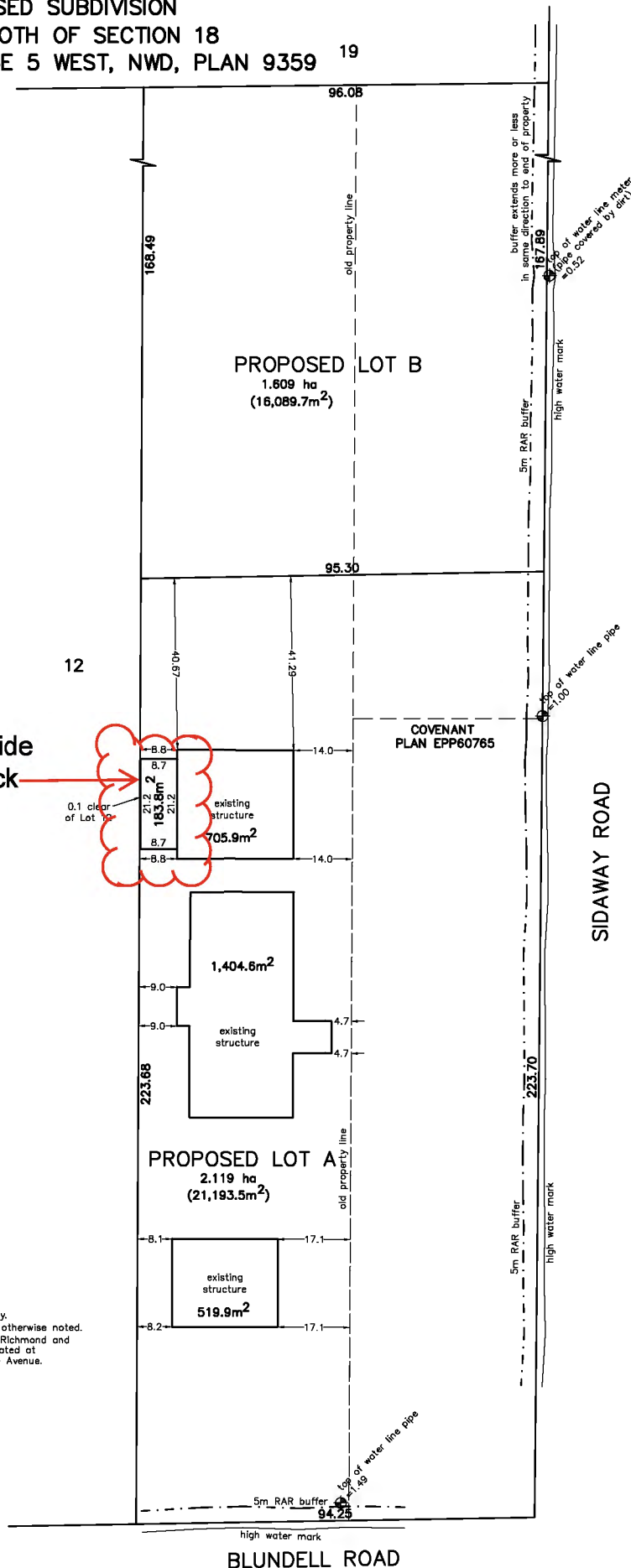
Original date: 06/13/24

Revision Date:

Note: Dimensions are in METRES

PLAN SHOWING PROPOSED SUBDIVISION
OF LOTS 13 AND 14, BOTH OF SECTION 18
BLOCK 4 NORTH, RANGE 5 WEST, NWD, PLAN 9359 19

SCALE 1 : 750
15 0 15 30m
All distances are in metres.



NOTES:

- Lot dimensions are derived from field survey.
- All dimensions are to exterior faces unless otherwise noted.
- Elevations are based on the HPN Datum of Richmond and are derived from GCM#619213(94H1624) situated at the intersection of No. 5 Road and Granville Avenue. Elevation = 2.34 metres.

CIVIC ADDRESS

12951 & 12791 BLUNDELL ROAD
RICHMOND, B.C.

ZONING: AG1

CERTIFIED CORRECT.
DATED THIS 4TH DAY OF JUNE, 2024

IVAN NGAN **B.C.L.S.**
This document is not valid unless originally signed and sealed

L N L S METRO VANCOUVER
LAND SURVEYORS
1528 KINGSWAY, VANCOUVER, BC, V5N 2R9
T 604.327.1535 WEB WWW.LNLS.CA

FILE: 3653_12MS