



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, May 29, 2024
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on May 15, 2024.*

1. DEVELOPMENT PERMIT 18-829207
(REDMS No. 7570968)

APPLICANT: Arcadis Architects (Canada) Inc.

PROPERTY LOCATION: 9520 Beckwith Road

Director's Recommendations

That a Development Permit be issued at 9520 Beckwith Road to permit the construction of a 7 storey light industrial and office building on a site zoned "Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)".

2. New Business

3. Date of Next Meeting: June 12, 2024

ADJOURNMENT



**Development Permit Panel
Wednesday, May 15, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair
Cecilia Achiam, General Manager, Community Safety
Marie Fenwick, Director, Arts, Culture and Heritage

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on April 24, 2024 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 21-945917
(REDMS No. 7658413)**

APPLICANT: Arno Matis Architecture

PROPERTY LOCATION: 6851 and 6871 Elmbridge Way

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INTENT OF PERMIT:

1. Permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units; and
 - (b) not require a large size on-site loading space in the proposed development.

Applicant’s Comments

Arno Matis, Arno Matis Architecture, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the project consists of three 15-storey towers for hotel, residential and commercial uses;
- a total of 376 residential units are proposed, including 341 market residential units and 35 low-end-of-market (LEMR) housing units, 22 of which are two- to three-bedroom units;
- 38 Basic Universal Housing (BUH) units will be provided and 11 hotel units are proposed for hearing-impaired hotel guests;
- a total of 682 parking stalls are provided on-site, including 52 parking stalls reserved for special events use at the neighbouring Richmond Olympic Oval facility;
- four at grade public plazas are located in all four corners of the site and additional public plazas are located at mid-block;
- the existing lane between the subject development and Ora mixed-use development to the east will be widened;
- a new west road will be constructed along the west property line of the subject site;
- the architectural design of the proposed three towers was inspired by the City’s natural landscape;
- the siting of the three towers considered the existing location of neighbouring towers as well as the Richmond Olympic Oval to maximize views and minimize shadowing;
- the primary vehicle access to the parkade for residents and hotel guests is located mid-block of the new west road;

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- a secondary vehicle access for hotel and on-site employees only is proposed off the existing lane to the east which will be widened;
- extensive wayfinding signage will be installed to minimize traffic along the lane;
- a comprehensive package of Transportation Demand Management (TDM) measures is proposed to reduce vehicle ownership in the proposed development;
- the project will comply with Step 2 of the BC Energy Step Code and will be connected to a City District Energy Utility (DEU) facility;
- extensive sustainability measures are proposed to enhance energy efficiency in the proposed development;
- accessibility routes are provided for accessible pedestrian circulation at grade and in the common outdoor amenity area on level 6;
- exclusive as well as shared indoor and outdoor amenity spaces for residents and hotel guests are provided; and
- proposed building and exterior cladding materials include, among others, glass and concrete.

Jeffrey Staates, PFS Studio, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) the overall landscape design is consistent with the river-inspired theme of the architectural design of the buildings, (ii) ground level hard and soft landscaping include the use of banding for surface paving treatment and planting around the bands, (iii) the proposed outdoor amenity area on level 6 of the project podium includes, among others, layered planting, small and medium-sized trees, seating, multi-purpose lawn, outdoor pool, and small decks overlooking the street below, (iv) a terrace is provided at the south end on level 8 of the hotel (east) building, (v) on level 9, terraces and green roof are proposed for the hotel building and the principal children's play area for the residential use is proposed to be located in the courtyard area between the two residential towers, and (vi) a series of patios with stair access and small planting strips are proposed on the rooftop of residential towers.

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Staff Comments

Suzanne Smith, Program Manager, Development, noted that (i) there is a Servicing Agreement associated with the project which includes, among others, frontage works, a new west road along the western edge of the site that will connect Elmbridge Way and River Drive, and widening of the existing lane to the east and related works, (ii) 52 parking stalls will be allocated to Richmond Olympic Oval for use during special events and can be used by the public at other times, (iii) an interim asphalt walkway will be installed on the south side of River Road to connect the subject site to Oval Way and provide an additional pedestrian route to access the Richmond Olympic Oval facility, (iv) the project includes a comprehensive package of Transportation Demand Management (TDM) measures secured through the rezoning process, (v) the project has been designed to comply with Step 2 of the BC Energy Step Code and will be connected to the City Centre District Energy Utility (DEU) for space and domestic hot water heating and cooling through an on-site low carbon energy system, and (vi) six on-site trees were identified for removal at the time of rezoning and 83 trees are proposed to be planted on-site which exceed the City's Official Community Plan requirements.

In addition, Ms. Smith stated that there are two proposed variances associated with the project, noting that (i) the proposed variance on the minimum road setback along River Road applies only to one small corner portion of the development's podium on levels 3 to 6 which will not impact the pedestrian streetscape at-grade and will enable the units at this corner portion to achieve adequate private outdoor amenity space, and (ii) the proposed variance to not require a large size on-site loading space in the development is supported by staff as it was determined at rezoning that a medium size loading space is sufficient for the proposed uses in the development.

In closing, Ms. Smith noted that a public art contribution in the amount of approximately \$330,000 will be provided by the applicant and a Public Art Plan is required for the project which will be brought forward for Council approval prior to the issuance of a Building Permit.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) a digital model was used in a previous presentation of the project to illustrate the project's site layout and building massing which could be made available to the Panel, (ii) there will be a comprehensive signage strategy around the perimeter of the site that will be developed and implemented to assist in wayfinding, (iii) the adjacent Ora mixed-use development to the east of the subject site has two vehicle access points from the existing lane to their below grade and above grade parking system, and (iv) the subject development's secondary vehicle access from the lane is located directly across from Ora's below grade parkade entrance for safety and visibility reasons.

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With regard to the query on parking and traffic management to mitigate and manage traffic in the area during construction, the Chair advised that a Construction Parking and Traffic Management Plan is required should the application move forward to Building Permit stage.

In reply to further queries from the Panel, the applicant noted that (i) the owner has engaged the services of a public art consultant and they are currently in the process of selecting an artist for the project's public art; however, no specific choice of public art and their location in the subject site have been determined, and (ii) the applicant has incorporated noise mitigation measures in the building design to comply with the City's noise mitigation standards.

In reply to further queries from the Panel, the applicant confirmed that (i) portions of the green roof on the ninth floor of the hotel building where there are no public access there is an intensive green roof component, (ii) the applicant will look into the impact of the use of banding and contrast in colours for at grade paving treatment on visually impaired persons and will address the connection of the public walkways to the pedestrian entrances of buildings, (iii) the street-fronting commercial units can be accessed from at grade parking level 1 (P1) through the pedestrian circulation zone along the ramp and out to the new west road walkway, and (iv) the parking stalls allocated to the Richmond Olympic Oval for use during special events are located in parking levels P1 and P2 which can be accessed from the new west road.

The Chair advised the applicant to review the proposed ground level paving treatment in order to assist the on-site circulation of visually impaired persons and provide an efficient and accessible connection from the sidewalks/pathways to the building entries prior to the project moving forward to Council for consideration.

Correspondence

Luo Yilei (Elaine Luo), 3600 Broadway St. ([Schedule 2](#))

Staff noted that Ms. Luo's email indicated she has no concerns and comments regarding the proposal.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the project, noting that (i) it nicely complements the Richmond Olympic Oval, (ii) it is carefully designed and well thought out, and (iii) it is a good addition to the area.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”;* and
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units;* and
 - (b) *not require a large size on-site loading space in the proposed development.*

CARRIED

2. DEVELOPMENT PERMIT 22-008932

(REDMS No. 7540972)

APPLICANT: Kenneth Kim (Kenneth Kim Architecture Inc.)

PROPERTY LOCATION: 6500 Cooney Road

INTENT OF PERMIT:

Permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned “Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)”.

Applicant’s Comments

Cavan KaiYue Liao, Kenneth Kim Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), provided background information on the proposed development, highlighting the following:

- the project includes a three-storey building with six townhouse units over a single level parking structure at grade;
- the building height is consistent with neighbouring three-storey townhouse buildings;
- a north-south lane is proposed along the east property line of the subject site that will provide access to the parkade from Cook Road;
- a total of 10 parking stalls will be provided on-site;
- the common outdoor amenity space and shared facilities are located along Cooney Road and an accessible pathway will be provided to enhance on-site accessibility;

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- the proposed townhouse units will be located fronting Cook Road;
- the project provides one convertible unit;
- non-combustible exterior cladding materials are proposed;
- a variety of private outdoor spaces are provided for each townhouse unit; and
- the single slope roof of the building is a distinctive design feature of the project.

Fred Liu, Fred Liu and Associates Inc., with the aid of the same visual presentation, briefed the Panel on the proposed landscaping for the project, noting that (i) two significant elm trees along Cook Road will be retained and protected, (ii) adjustments to landscape design have been made to ensure the protection of the two retained trees, (iii) four conifer trees are proposed to be planted on-site as replacements trees, (iv) coniferous shrubs will be planted in between individual patios to provide privacy, (v) layered planting is proposed to provide separation between the sidewalk and the patios along Cook Road, (vi) a small playhouse and natural logs will be installed in the children's play area, (vii) a bench is provided in the west side yard that could be used by parents to supervise children in the children's play area, (viii) two street trees are proposed to be planted, and (ix) climbing vines will be planted to soften the appearance of the fence along the north property line of the subject site.

Staff Comments

Ms. Smith noted that (i) there is a Servicing Agreement associated with the project which includes, among others, utility upgrades and frontage improvements along Cooney Road and Cook Road frontages, intersection improvements, and construction of a new north-south lane along the east property line which will be widened through future development to the east and provide future connection from Cook Road to Spires Gate, (ii) all of the proposed units will incorporate aging-in-place features, (iii) the development will provide one convertible unit, (iv) the development will comply with Step 3 of the BC Energy Step Code, (v) the proposed ten parking stalls will be provided with Level 2 electric vehicle (EV) charging, (vi) six trees are proposed to be planted on-site for the three on-site trees identified for removal at rezoning and a voluntary cash-in-lieu contribution to the City's Tree Compensation Fund will be provided by the applicant for the additional four trees that the applicant had originally committed to provide at rezoning stage but could not be accommodated on-site due to installation of required utilities on-site, and (vii) significant efforts were made to retain and protect two City trees along Cook Road including adjusting the design of the Cook Road sidewalk to ensure the retention and protection of the two City trees.

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Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) the proposed design of the development's parkade does not include an entrance gate as recommended by the City's Transportation Department, (ii) the applicant will consider installing a gate for the parkade entrance should it be required for security reasons; however, the significant width and height of the parkade entrance would need to be considered, (iii) Crime Prevention Through Environmental Design (CPTED) measures have been incorporated in the design of the parkade including using bright paint and installing appropriate lighting, (iv) there will be no privacy concerns for the adjacent development to the east as the proposed north-south lane along the east property line of the subject site will provide more than adequate separation between the proposed development and the adjacent development to the east which also have an existing lane adjacent to the proposed lane of the subject site, and (v) to address potential privacy concerns of the adjacent development to the north, the building height of the proposed development has been lowered to match the height of the adjacent development to the north and a five-foot fence will be installed along the north property line of the subject development.

In addition, the Chair advised that a comprehensive Construction Parking and Traffic Management Plan will be required as a condition for Building Permit issuance should the application move forward to this stage.

The Panel then directed staff to work with the applicant to investigate opportunities to install an entrance gate for the parkade to address CPTED concerns prior to the application moving forward to Council for consideration.

Correspondence

None.

Gallery Comments

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)".

CARRIED

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3. **DEVELOPMENT PERMIT 23-034544** (REDMS No. 7643815)

APPLICANT: Maskeen (Hamilton) Properties Corp.

PROPERTY LOCATION: 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road

INTENT OF PERMIT:

Permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

Applicant's Comments

Sameh Guindi, Ionic Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 4), provided background information on the proposed development, highlighting the following:

- the project consists of one four-storey apartment building, one five-storey mixed-use building and a two-storey amenity building;
- the existing public strollway along the western edge of the site will be widened;
- the developer will design and construct a Community Policing Office with turnkey finish which will be transferred to the City;
- surface parking for visitors as well as for the two reserved parking stalls for the Community Policing Office will be provided on the podium level central courtyard;
- a green roof will be installed on top of the two-storey amenity building and an elevator will be provided to provide accessibility; and
- proposed landscaping along Smith Crescent include tiered planters to provide screening to the parkade wall.

Ben Aldaba, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) landscaping along the Smith Crescent and Garripie Avenue frontages includes tiered planters and planting at grade to help screen the parkade wall, (ii) vertical landscape screening is proposed along Gilley Road to screen the tapered retaining wall, (iii) the large central courtyard on the podium level includes multiple uses for residents including among others, open play turf and lawn areas, children's play area, seating areas, and gathering spaces, (iv) the proposed landscaping in the central courtyard has been designed to integrate with the amenity building, (v) bollard lighting is provided throughout the courtyard to enhance security and assist in wayfinding, (vi) street lighting will be installed along the three road frontages, and (vii) permeable pavers are proposed for visitor parking stalls in the central courtyard.

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Staff Comments

Joshua Reis, Program Manager, Development, noted that (i) the project is required to provide a City-owned Community Policing Office with a turnkey level of finish, (ii) the project will provide 19 low-end-of-market (LEMR) residential units, 17 of which consist of two- to three-bedroom units, (iii) the publicly accessible areas on the site include the extension of the public plaza and the north-south public strollway along the west property line, (iv) there is a comprehensive Servicing Agreement associated with the project as a condition of rezoning adoption including, among others, the extension of Garrapie Avenue, widening of Smith Crescent, the public plaza and the public strollway along the west property line, frontage improvements, and service utility connections, (v) there is a cash-in-lieu contribution towards the Hamilton Area Sanitary Pump Station, (vi) the project provides a comprehensive package of TDM measures, and (vii) staff have coordinated with the applicant who has committed to work with owners of adjacent properties, developers and the neighbouring school and provide information regarding construction traffic management plans and schedules for the proposed development.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) the podium level central courtyard which includes, among others, the common outdoor amenity space is publicly accessible and is not fenced, (ii) the amenity building is not publicly accessible, and (iii) the amenity building provides indoor amenity spaces for all residents including, among others, activity rooms, accessible washroom, bicycle room and access to the green roof area.

In reply to a further query from the Panel, the applicant reviewed the building elevations of the proposed development, noting that (i) majority of commercial units have a large frontage and are clad with clear glazing and aluminum panels above for installation of signage, (ii) the proposed exterior cladding materials for the residential buildings include, among others, glazing, fibre cement panel, metal panel, and stone cladding materials, (iii) identical exterior cladding materials and colours are proposed for the two residential buildings, and (iv) there is variation in exterior cladding treatment for the amenity building from the two residential buildings to provide more visual interest.

In reply to a query from the Panel, staff confirmed that the public strollway and Garrapie Avenue extension will be designed through the Servicing Agreement that is required as a condition of rezoning adoption.

Gallery Comments

None.

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Correspondence

None.

Panel Discussion

Staff were directed by the Panel to work with the applicant to review the design of the podium level central courtyard taking into consideration measures to ensure that the resident's amenity areas are appropriately secured from general public access.

It was moved and seconded

That a Development Permit be issued which would permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

CARRIED

4. New Business

None.

5. Date of Next Meeting: May 29, 2024

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:14 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 15, 2024.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk

6851 - 6871 ELMBRIDGE WAY

DP BOARD PANEL PRESENTATION

PROJECT TIMELINE:

DATED AUG 16TH 2017 (UNDER PREVIOUS OWNERSHIP)

LANDA ACQUIRES PROJECT: JAN 2020.

REZONING AMENDMENT SUBMISSION: JUNE 3, 2021

SITE AREA: 148,887 SF (AFTER DEDICATIONS)

HEIGHT: 15 STOREYS (47M)

GROSS FLOOR AREA: 781,041 SF

FAR: 3.05 (INCLUDE AMENITY)



PUBLIC BENEFITS



\$6 MILLION CONTRIBUTION TOWARD COMMUNITY AMENITIES
(LARGEST IN RICHMOND HISTORY)



35 AFFORDABLE HOUSING UNITS
38 BASIC UNIVERSAL HOUSING UNITS (ACCESSIBLE)
(32 AFFORDABLE AND 6 MARKET)
11 HEARING-IMPARED HOTEL UNITS



52 PARKING STALLS FOR THE OLYMPIC OVAL;



4 PUBLIC PLAZAS AT GRADE;



A NEW NORTH-WEST CONNECTOR ROAD;



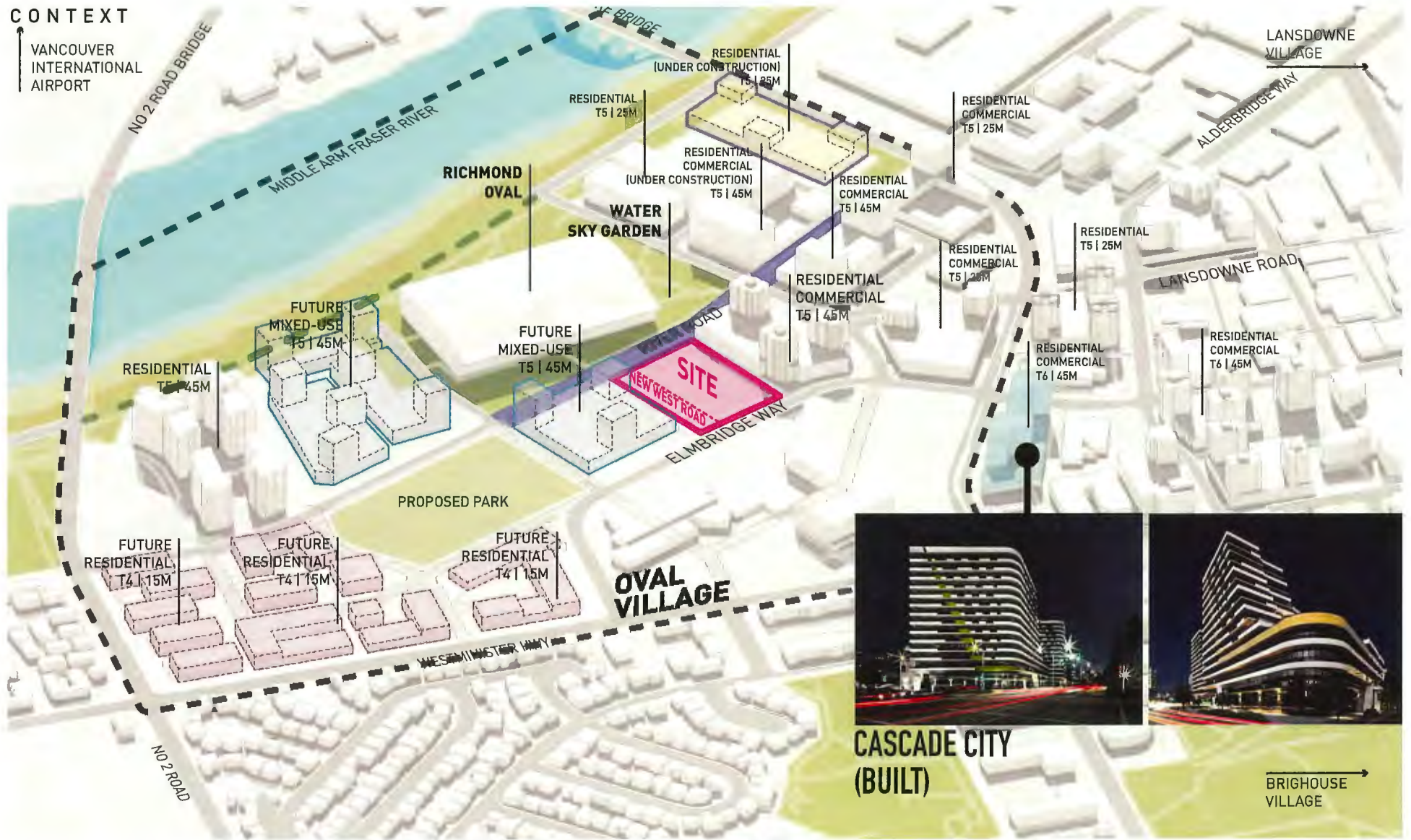
214 NEW HOTEL ROOMS TO PROVIDE:
105 HOTEL JOBS + 62 RETAIL JOBS TO BE CREATED*;



SUSTAINABLY-BUILT LOW-EMISSIONS BUILDING
CONNECTED TO OVAL VILLAGE DISTRICT ENERGY UTILITY;

CONTEXT

VANCOUVER INTERNATIONAL AIRPORT



LANSDOWNE VILLAGE

ALDERBRIDGE WAY

RICHMOND OVAL

WATER SKY GARDEN

FUTURE MIXED-USE T5 | 45M

FUTURE MIXED-USE T5 | 45M

NEW WEST ROAD SITE

RESIDENTIAL COMMERCIAL T5 | 45M

RESIDENTIAL COMMERCIAL T5 | 25M

RESIDENTIAL T5 | 25M

LANSDOWNE ROAD

RESIDENTIAL COMMERCIAL T6 | 45M

RESIDENTIAL COMMERCIAL T6 | 45M

RESIDENTIAL T5 | 45M

PROPOSED PARK

OVAL VILLAGE

FUTURE RESIDENTIAL T4 | 15M

FUTURE RESIDENTIAL T4 | 15M

FUTURE RESIDENTIAL T4 | 15M

WESTMINSTER WAY

NO 2 ROAD



CASCADE CITY (BUILT)

BRIGHOUSE VILLAGE

MODELED AS PER CITY CENTRE AREA OVAL VILLAGE SPECIAL LAND USE MAP

CONCEPT



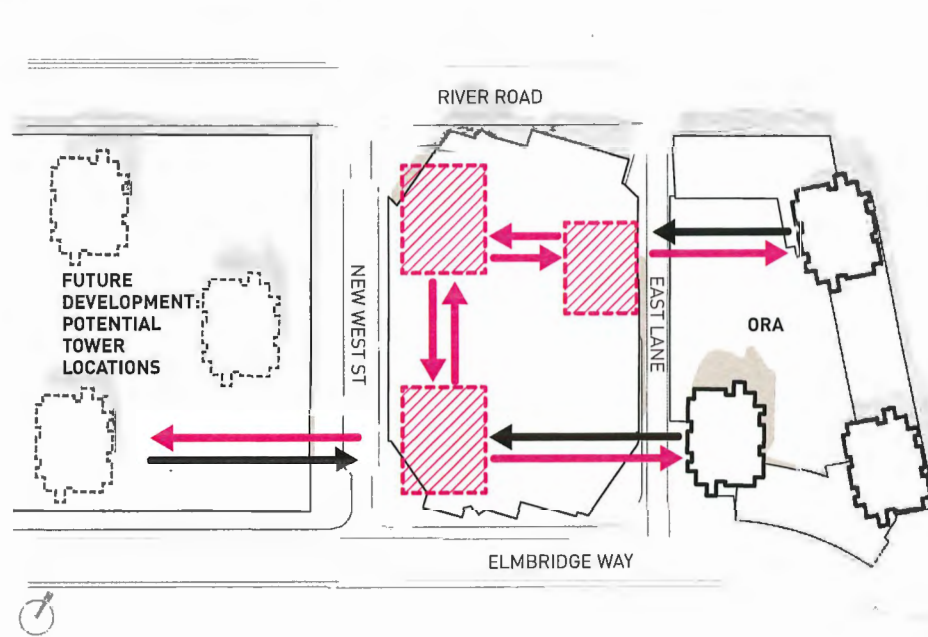
RIPPLED SAND PATTERNS FOUND IN TIDAL FLATS OF THE RIVER DELTA



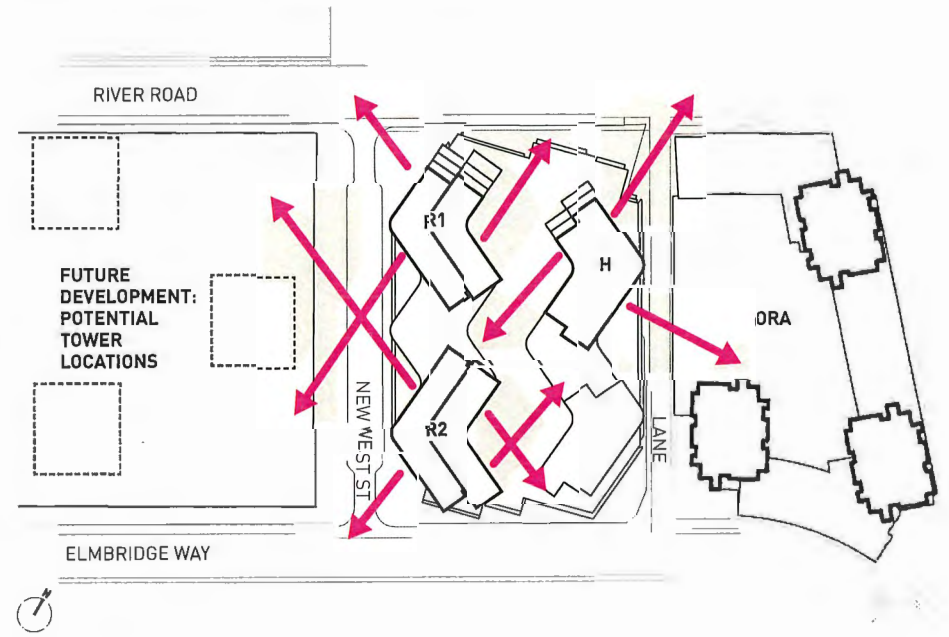
UNDULATING TOPOGRAPHICAL FORM

TOWER LOCATION AND ORIENTATION

*SQUARED TOWER FORM: RESULTS IN INCREASED OVERLOOK.
LACK OF PRIVACY FOR RESIDENTS*

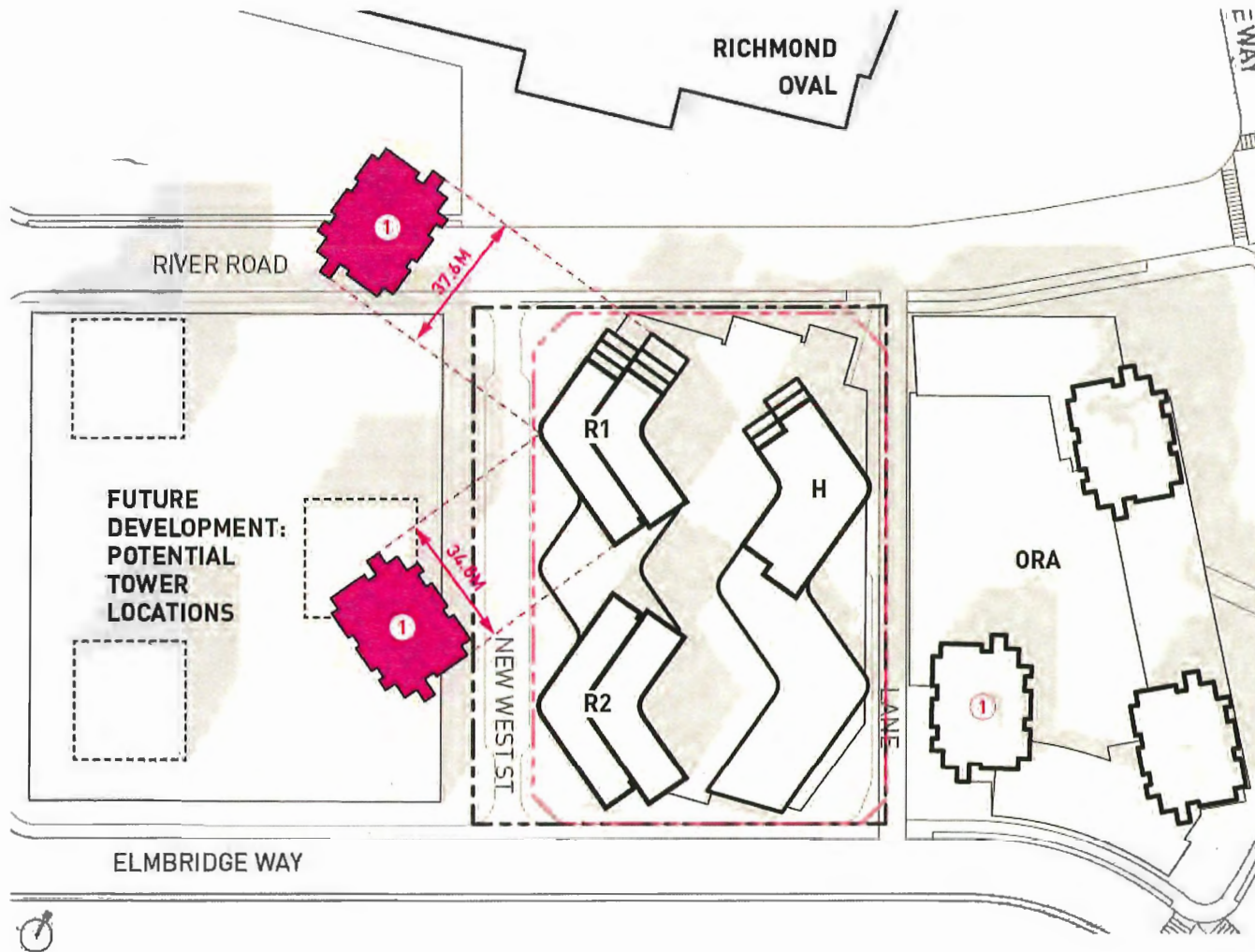


*BENT-SLAB TOWER FORM REDUCES OVERLOOK,
INCREASED PRIVACY FOR RESIDENTS*



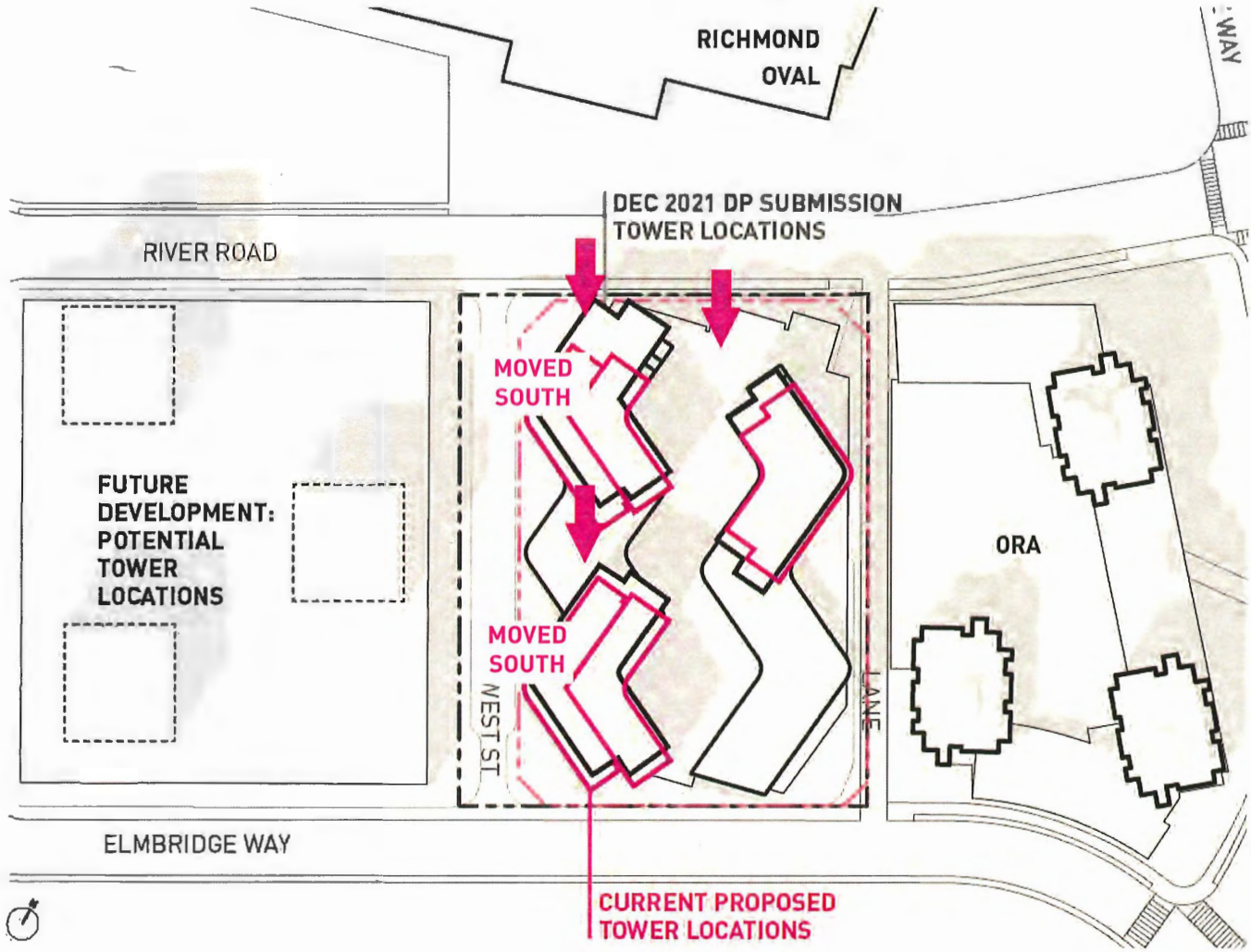
TOWER LOCATION AND ORIENTATION

BENT-SLAB BLOCK MASSING DIMENSIONALLY SIMILAR TO STANDARD RICHMOND FLOORPLATE:



TOWER LOCATION

PROPOSED TOWER LOCATIONS ARE STEPPED AND SHIFTED SOUTH TO REDUCE SHADOWING



PROGRAM

PROGRAM	UNITS
AFFORDABLE UNITS	35 (32 BUH)
AFFORDABLE FAMILY UNITS	22 (62%)

MARKET RESIDENTIAL	341 (6 BUH)
MARKET FAMILY HOUSING	161 (42%)

TOTAL BUH UNITS	38 (MARKET AND AFFORDABLE)
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HOTEL ROOMS TOTAL	214
ACCESSIBLE HOTEL ROOMS	6
HEARING IMPAIRED ROOMS	11

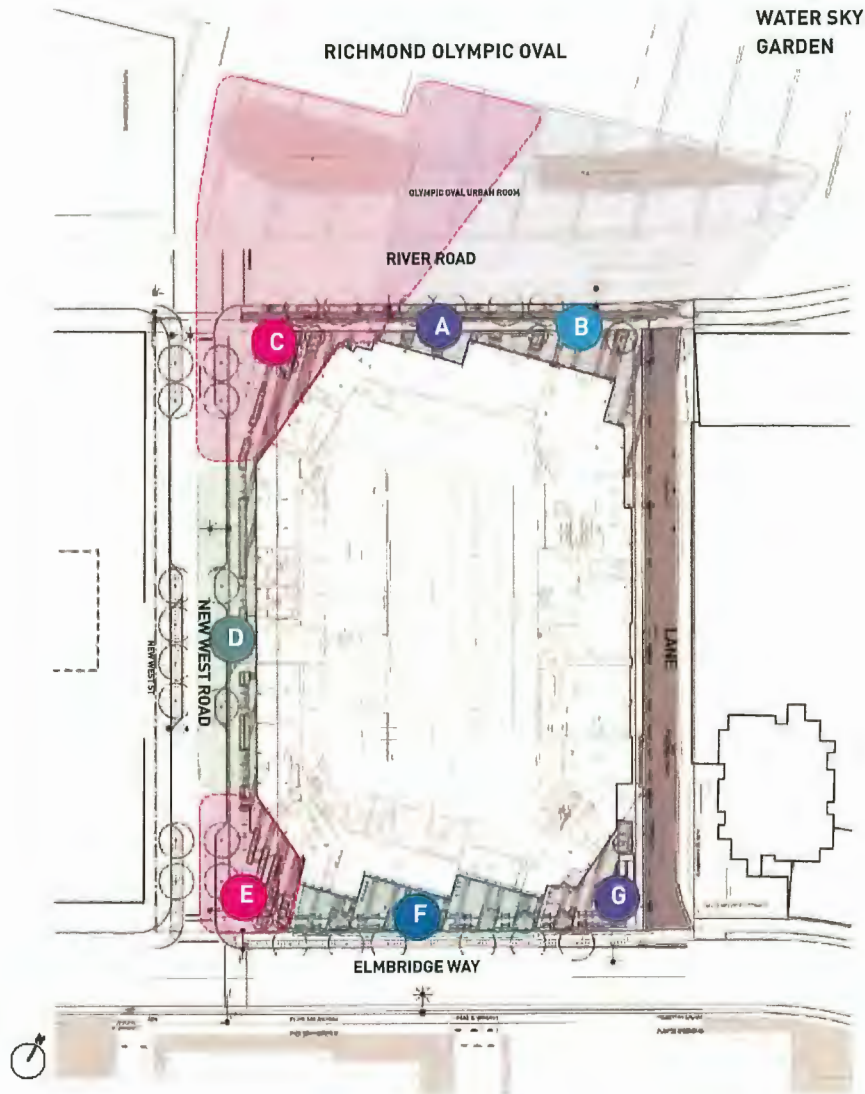
PARKING	STALLS
RESIDENTIAL (INCLUDES AH)	350
OVAL	52
MIXED (CRU/OFFICE/HOTEL/RESI VISITOR)	273
CAR SHARE/CARPOOL	7
TOTAL CAR STALLS	682
TOTAL BIKE PARKING	782 (INCL. SHORT-TERM BIKE PARKING)
LOADING	6 SM, 5 MID (INCL. 1 FOR HOTEL SHUTTLE BUS), 1 LARGE

AREAS:	SF:
COMMERCIAL	15,538 SF
HOTEL	139,573 SF
AFFORDABLE HOUSING	29,784 SF
RESIDENTIAL	291,625 SF
RES AMENITY	8,105 SF



PUBLIC PLAZA

PROJECT FEATURES PLAZAS RANGING IN SIZE FROM 2350-4200 SQFT



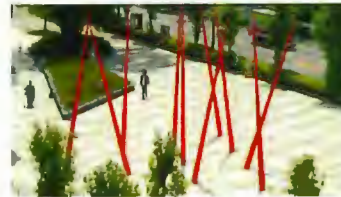
A HOTEL-CAFE/RESTAURANT + URBAN ROOM



B NORTH 'LIGHT' PLAZA



C WINTER SPORTS LEGACY PLAZA



D SMALL BUSINESS RETAIL PROMENADE



E BOTANICAL PLAZA



F SUN-ORIENTED SOUTHERN WALKWAY & BOUTIQUE RETAIL EDGE



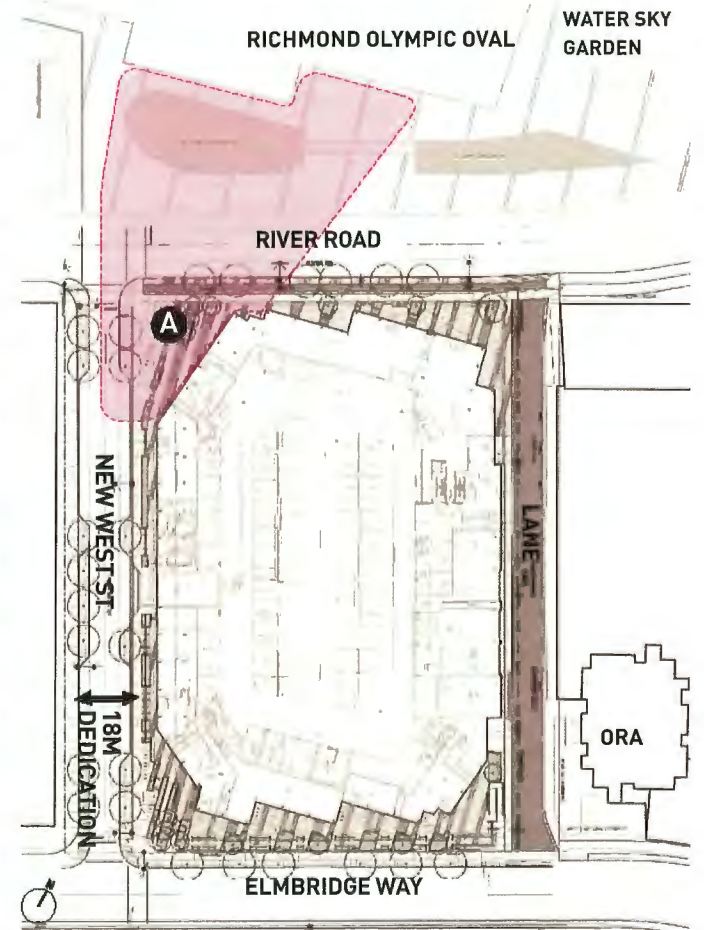
G SUN-ORIENTED PLAZA



PUBLIC PLAZAS



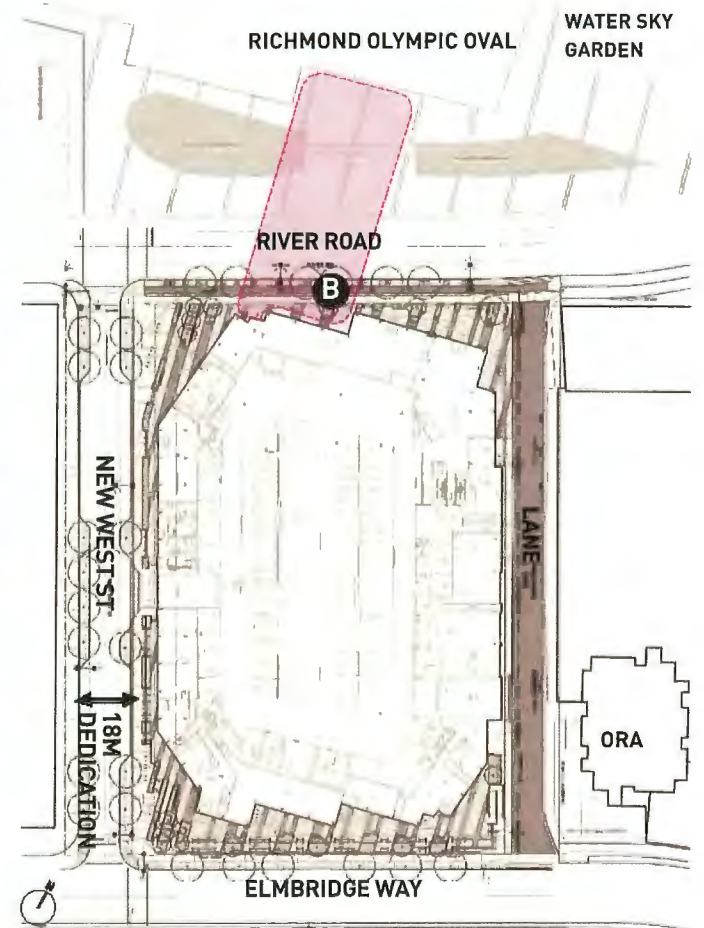
A WINTER SPORTS LEGACY PLAZA



PUBLIC PLAZAS



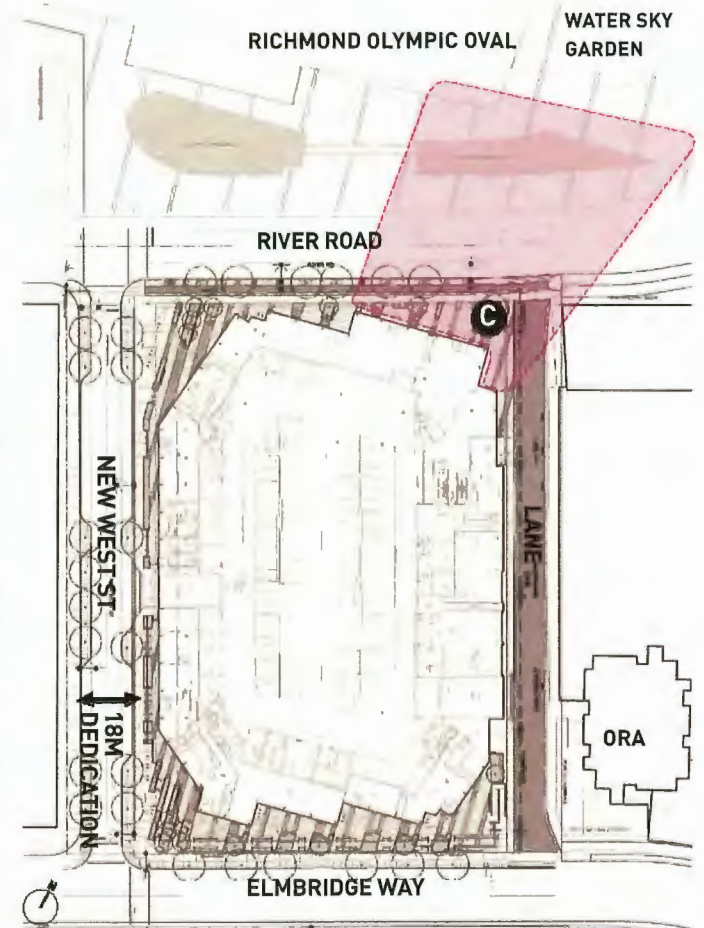
B HOTEL-CAFE/RESTAURANT + URBAN ROOM



PUBLIC PLAZAS



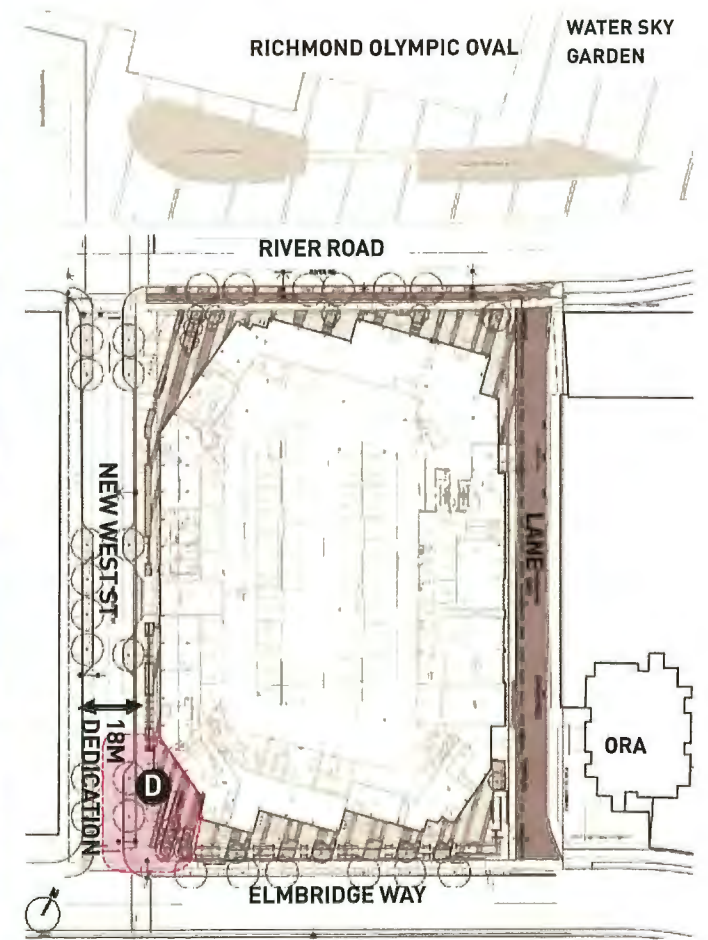
C NORTH 'LIGHT' PLAZA



PUBLIC PLAZAS



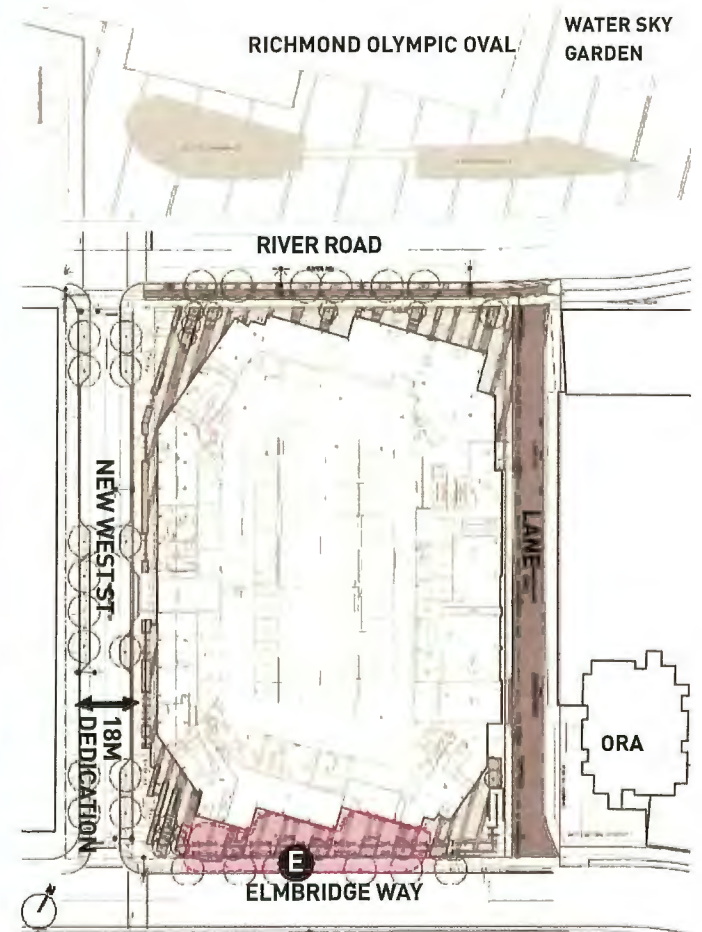
D BOTANICAL PLAZA



PUBLIC PLAZAS



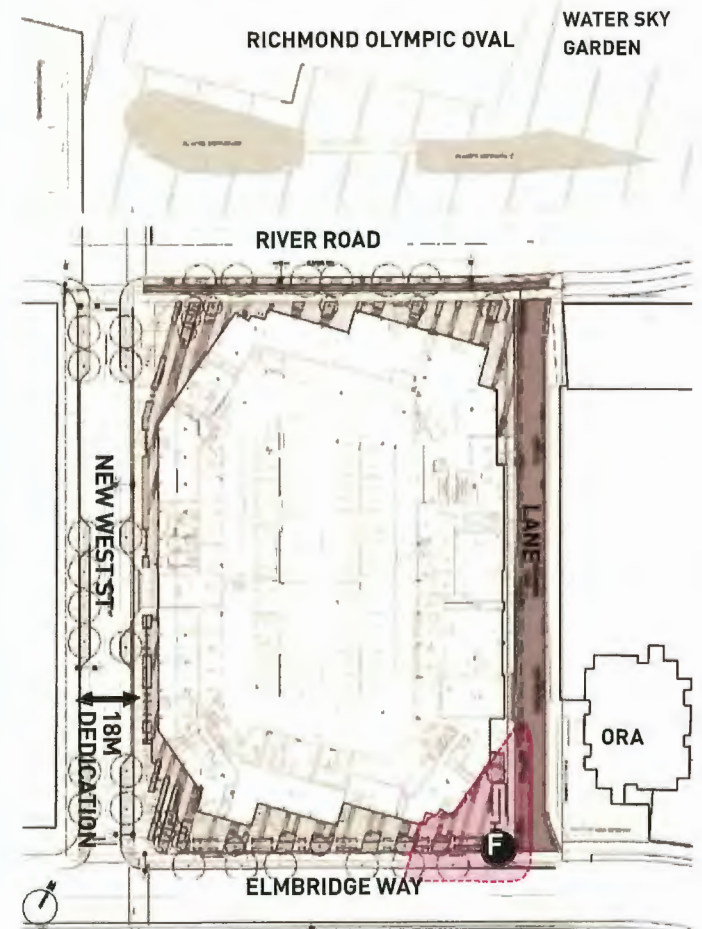
E SUN-ORIENTED SOUTHERN WALKWAY & BOUTIQUE RETAIL EDGE



PUBLIC PLAZAS



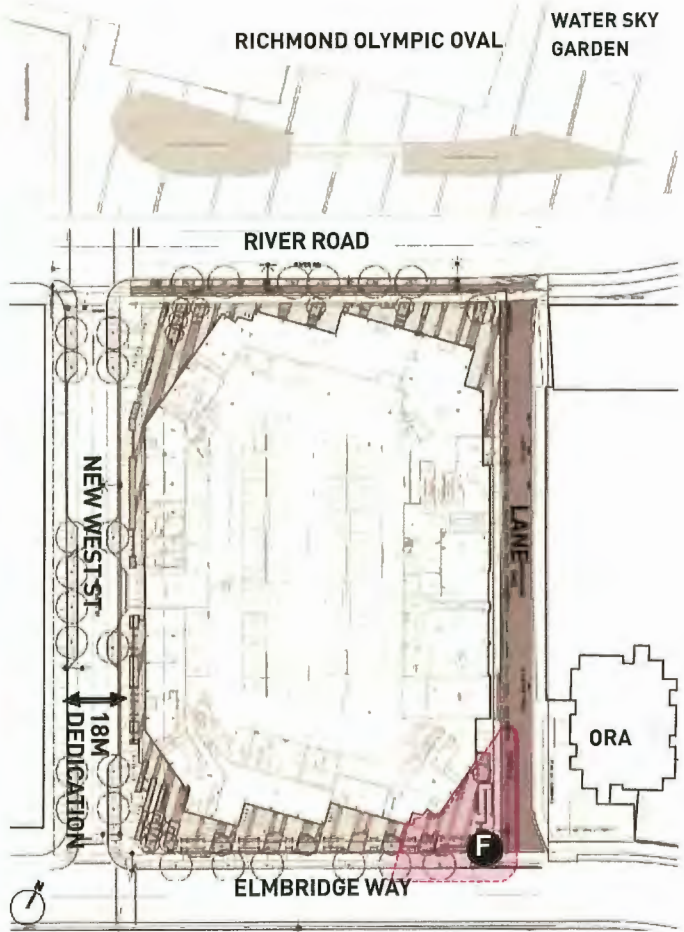
F ENTRY PLAZA



PUBLIC PLAZAS



F ENTRY PLAZA



VEHICLE ACCESS

PRIMARY VEHICLE ACCESS
NEW WEST RD. (ALL VEHICLES)

ELMBRIDGE WAY

RESIDENTIAL
TOWER 1

NEW WEST ROAD

RESIDENTIAL
TOWER 2

HOTEL

SECONDARY VEHICLE ACCESS
LANE (HOTEL/ON-SITE EMPLOYEE ONLY)

RIVER ROAD

LANE

ORA

OLYMPIC OVAL



OUTREACH TIMELINE

THE TEAM HAS WORKED EXTENSIVELY WITH THE NEIGHBOURHOOD TO IMPROVE VEHICLE ACCESS

DEC 6, 2022	MEETING #1 WITH ORA STRATA COUNCIL
DEC 8, 2022	CANVASS OF BUSINESSES ADJACENT TO THE SITE
FEB 22, 2023	MEETING #2 WITH ORA STRATA COUNCIL
FEB 24, 2023	MEETING WITH T&T MANAGEMENT TEAM
MARCH 20, 2023	CANVASS OF ORA COMMERCIAL TENANTS
MARCH 29, 2023	FOLLOW UP LETTER SENT TO ORA STRATA COUNCIL VIA THE PROPERTY MANAGER SUMMARIZING PROPOSED REDESIGN OF THE LANE

PRIMARY VEHICLE ACCESS



PRIMARY VEHICLE ACCESS

NEW WEST RD.

- MAIN ACCESS FOR ALL VEHICLES
- GATED WITH INTERCOM
- GATE TO REMAIN OPEN DURING REGULAR BUSINESS HOURS FOR COMMERCIAL USE
- INTERCOM SYSTEM TO BE AVAILABLE FOR NON-RESIDENTIAL USERS WHEN GATE IS CLOSED

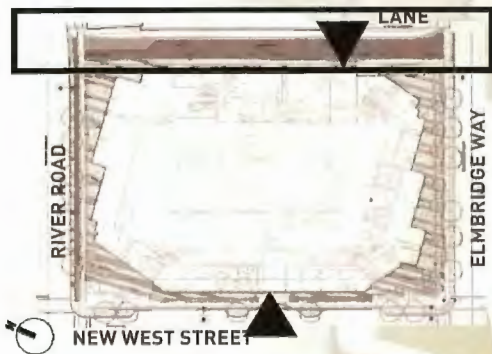


SECONDARY VEHICLE ACCESS

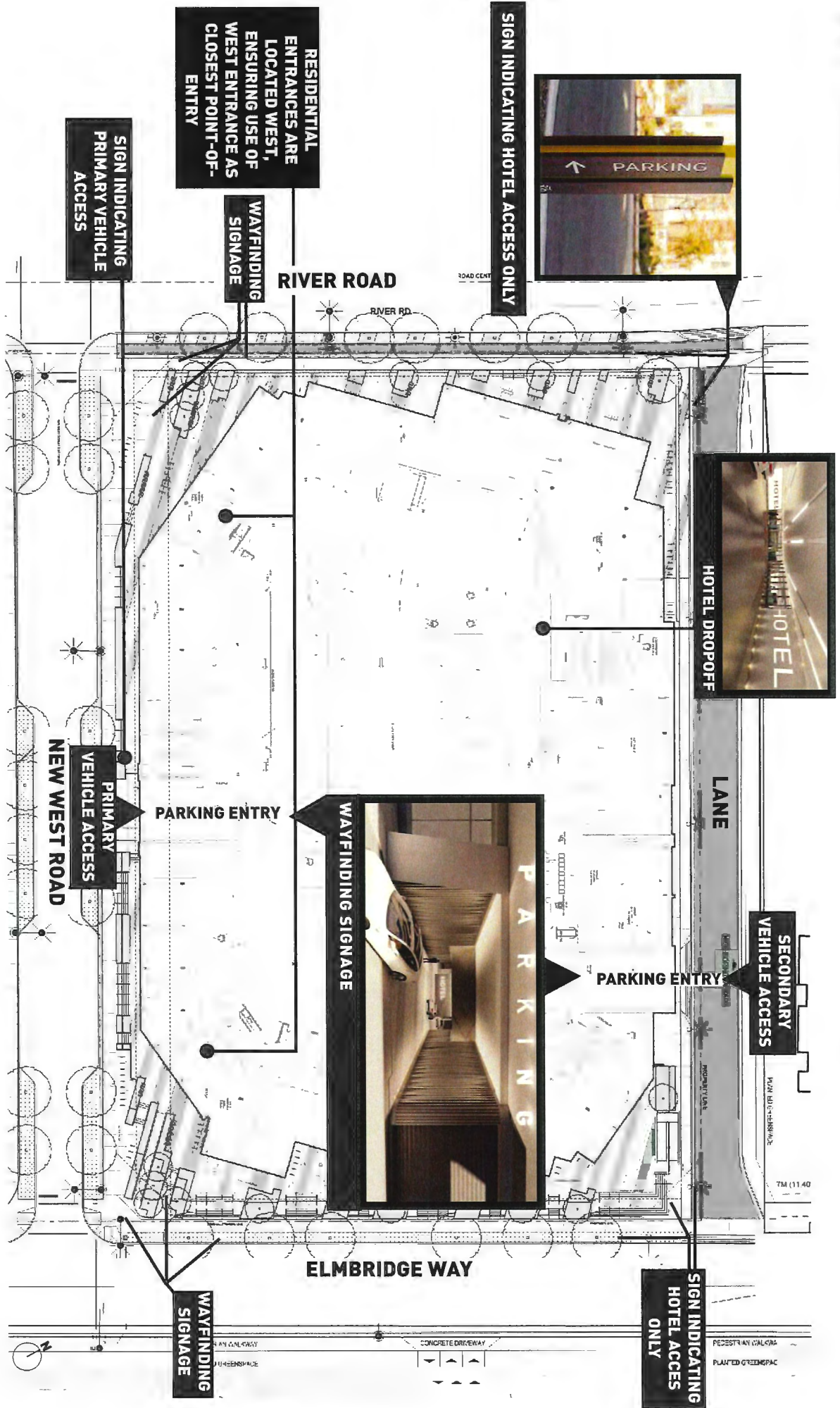
SECONDARY VEHICLE ACCESS LANE

SIGNIFICANT IMPROVEMENTS MADE TO REDUCE LANE TRAFFIC

- HOTEL/ON-SITE EMPLOYEE USE ONLY
- REGULATED THROUGH USE OF FOB
- SECURITY GATE TO BE ADDED
- LANE WILL BE WIDENED
- SIDEWALK PROVIDED ALONG LANE **DANGER**
- WAYFINDING SIGNAGE TO BE ADDED
- HOTEL DROP-OFF TO BE MOVED FROM LANE TO INSIDE PARKADE



WAYFINDING



TDM MEASURES

TDM MEASURES TO REDUCE VEHICLE OWNERSHIP:



CAR SHARE VEHICLES AND STALLS



CAR POOLING STALLS



**25% ADDITIONAL LONG-TERM BIKE PARKING,
AND 5% SHORT-TERM BIKE PARKING**



2-ZONE TRANSIT PASS SUBSIDY



END-OF-TRIP FACILITIES



ELECTRICAL OUTLET FOR LONG TERM CLASS A BIKE PARKING



BICYCLE MAINTENANCE AND REPAIR STATION

SUSTAINABILITY



Connection to Oval Village District Energy Utility (OVDEU)



Sustainability-Built Low Emissions building

(meeting Step 2 of BC Energy Step Code referenced in BC Building Code 2018)



782 Bike Stalls



Addition of 26 off-site trees and 93 on-site trees



Intensively landscaped podium roof to reduce runoff and store water



Passive daylight control through balcony frame expression

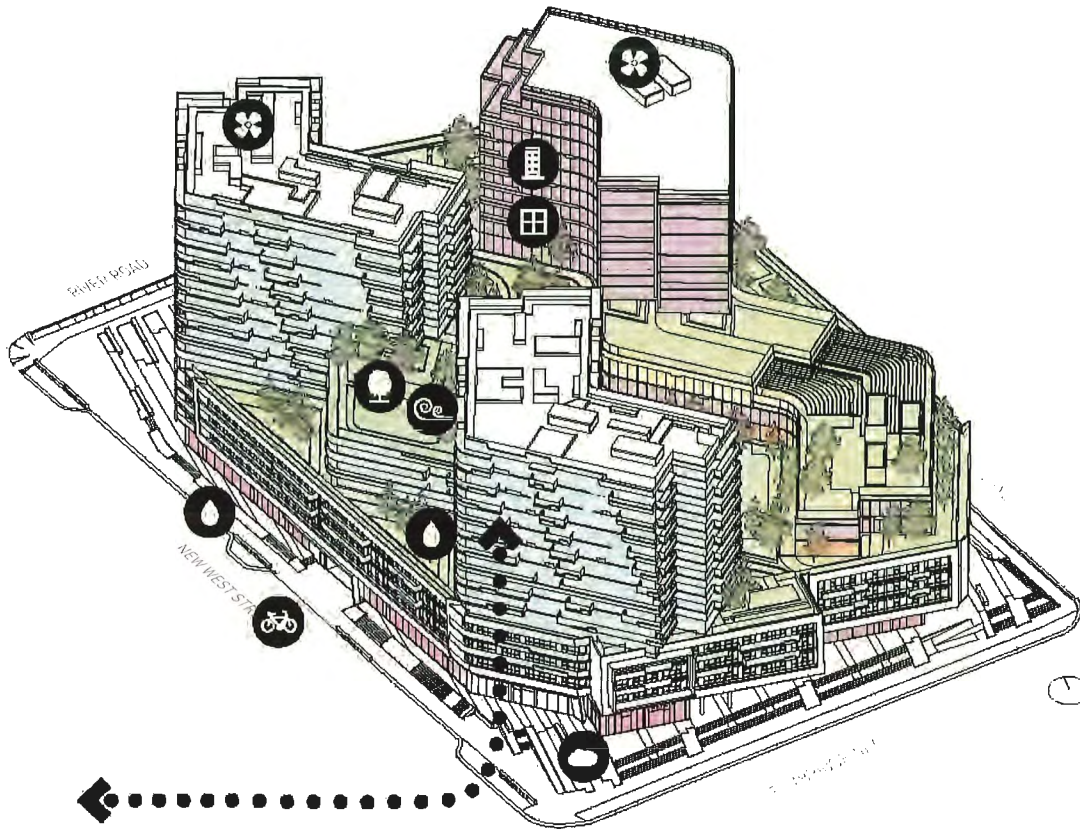



Use of green concrete resulting in reduced embodied emissions




SUSTAINABILITY

PROJECT COMPLIES WITH STEP 2 OF BC ENERGY STEP CODE REFERENCED IN BC BUILDING CODE 2018 VIA THE LOW CARBON BUILDING ENERGY SYSTEMS COMPLIANCE PATHWAY.

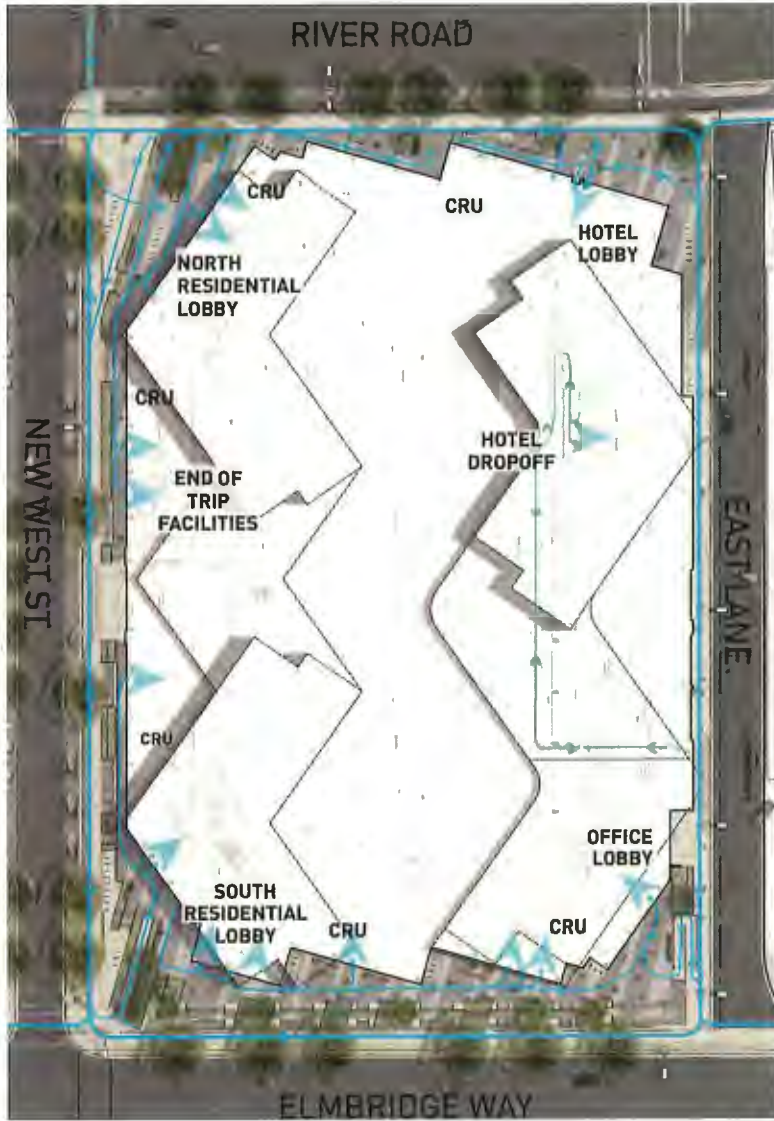


 CONNECTION TO OVAL VILLAGE DISTRICT ENERGY UTILITY (OVDEU);

-  HIGH PERFORMANCE BUILDING ENVELOPE
-  OPTIMIZED GLAZING PLACEMENT
-  HYDRONIC FAN COIL UNITS WITH EC MOTORS
-  RAINWATER MANAGEMENT VIA ROOF LANDSCAPED PODIUM ROOF/AT GRADE
-  REDUCED HEAT ISLAND EFFECT
-  PASSIVE SHADING
-  GREENING OF SITE
-  ADDITIONAL BIKE PARKING
REQUIRED: 769
PROVIDED: 782

ACCESSIBILITY

ACCESSIBILITY ROUTES - AT GRADE



ACCESSIBILITY ROUTES - AMENITY SPACES AT L6



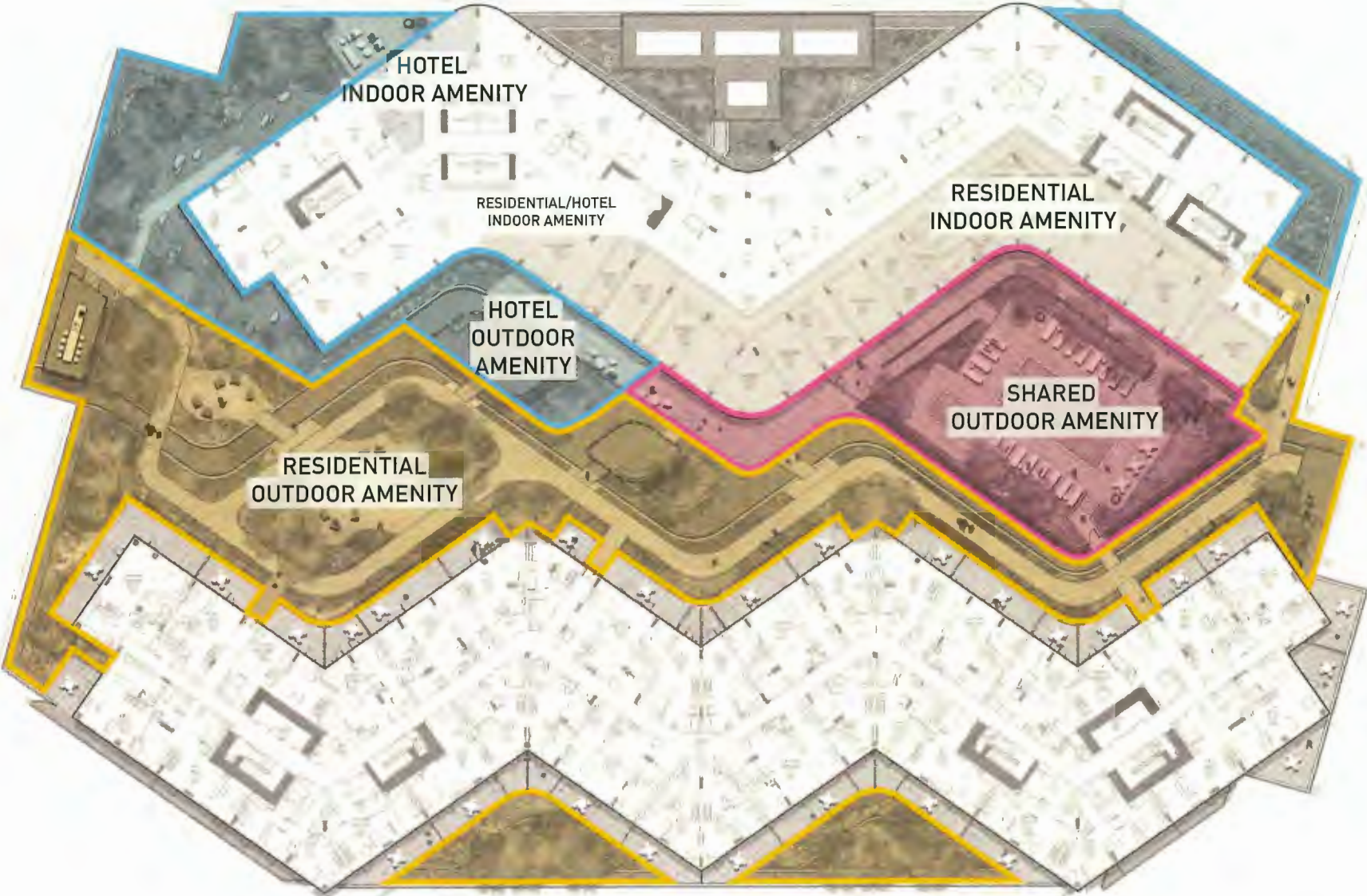
A M E N I T Y

RESIDENTIAL AMENITY SPACE REQUIREMENT

	NUMBER OF UNITS	AREA REQUIRED	AREA PROPOSED
RESIDENTIAL INDOOR AMENITY SPACE	376 <i>(341 MARKET + 35 AFFORDABLE)</i>	752 SQM <i>(25QM PER UNIT)</i>	753 SQM
RESIDENTIAL OUTDOOR AMENITY SPACE	376 <i>(341 MARKET + 35 AFFORDABLE)</i>	2256 SQM <i>(6SQM PER UNIT)</i>	3139 SQM <i>(2039 SQM L6 RESIDENTIAL + 649 SQM L6 SHARED + 451 SQM L9 RESIDENTIAL)</i>

PER CITY CENTRE AREA PLAN 3-32, 3.1.8 MULTIPLE-FAMILY B. AMENITY SPACE: • "NOTWITHSTANDING THE ABOVE PROVISIONS, IN THE CASE OF LARGE PROJECTS (TYPICALLY EXCEEDING 400 DWELLING UNITS), THE MINIMUM AMENITY SPACE MAY BE REDUCED, PROVIDED THAT THE DEVELOPMENT INCLUDES ONE OR MORE SPECIAL RECREATIONAL FACILITIES, TOGETHER WITH MULTI-PURPOSE SPACE, TO THE SATISFACTION OF THE CITY;"

AMENITY: LEVEL 6



AMENITY: LEVEL 9



MATERIALS & WEST ELEVATION



PODIUM COMMERCIAL



- A** ALUMINUM STOREFRONT GLAZING SYSTEM. COLOUR: CHARCOAL GREY FRAME
- C** GLAZED SHADOW BOX SPAN-DREL. COLOUR: LIGHT GREY



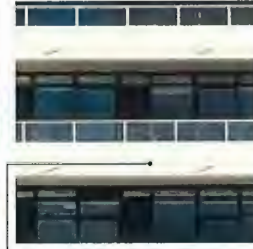
- 6** PAINTED CONCRETE (ARCHITECTURAL FINISH) COLOUR: WHITE



- 1** ALUMINUM PERFORATED SCREEN



- B** WINDOW WALL GLAZING SYSTEM. CHARCOAL GREY FRAME
- D** GLAZED SHADOW BOX SPAN-DREL. COLOUR: LIGHT & CHARCOAL GREY



- 6** PAINTED CONCRETE (ARCHITECTURAL FINISH) COLOUR: WHITE



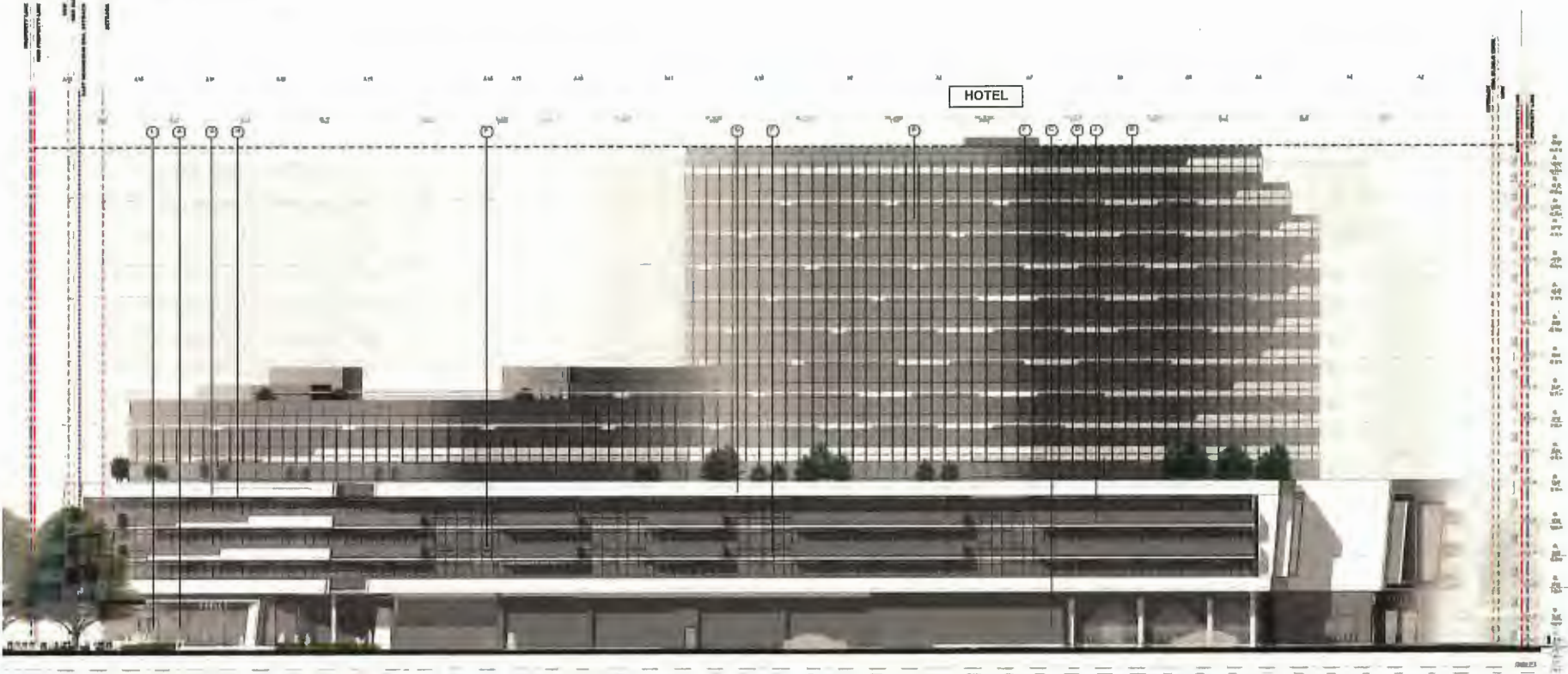
- 1** ALUMINUM GLASS GUARD. FRAME COLOUR: CHARCOAL GREY



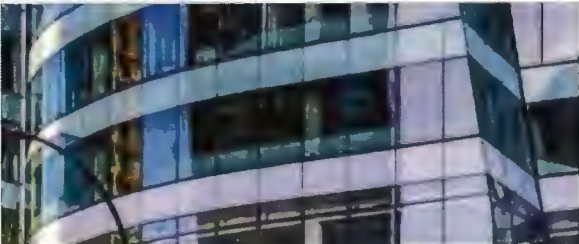
- 5** FULL HEIGHT FROSTED GLASS PRIVACY SCREEN

RESIDENTIAL TOWERS & PODIUM RESIDENTIAL

MATERIALS & EAST ELEVATION



HOTEL TOWER

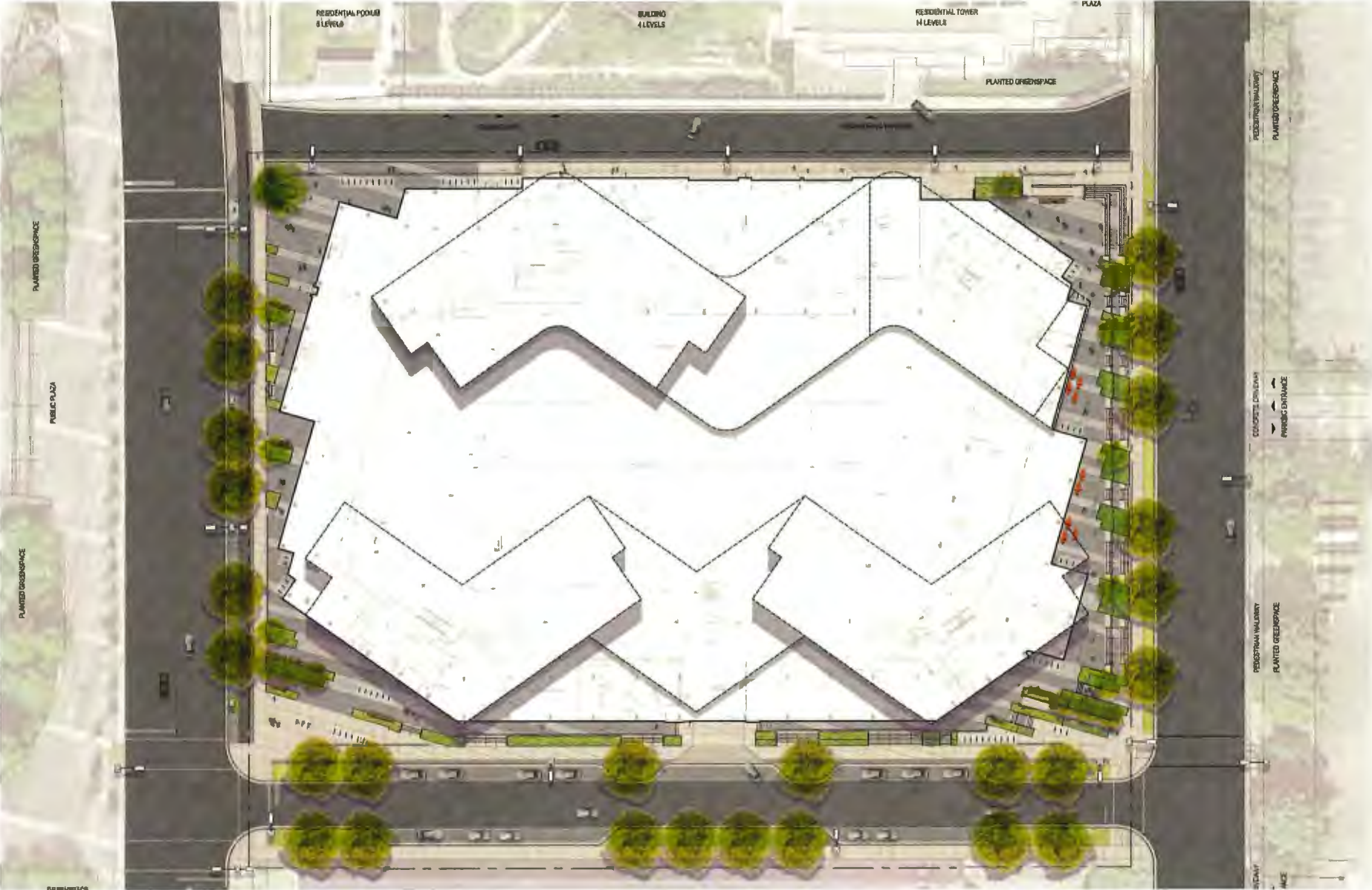


4-SSG CURTAIN WALL FRAME. COLOUR: CHARCOAL GREY

CASE STUDY - CASCADE CITY



LANDSCAPE: GROUND LEVEL



LANDSCAPE: GROUND LEVEL PRECEDENT IMAGES



FEATURE UNIT PAVING WITH BANDS



PLANTING WITH TREES AND EDGE SEATING



MOVABLE FURNITURE AT CRU PATIOS



TERRACED PLANTING



PUBLIC ART OPPORTUNITIES



LANDSCAPE: LEVEL 6 PLAN



LANDSCAPE: LEVEL 6 PRECEDENT IMAGES



STEPPING STONE PATH



LANDSCAPED ISLAND



'RIVER' AS DRY CREEK



MEADOW PLANTING



LAWN



OUTDOOR FITNESS

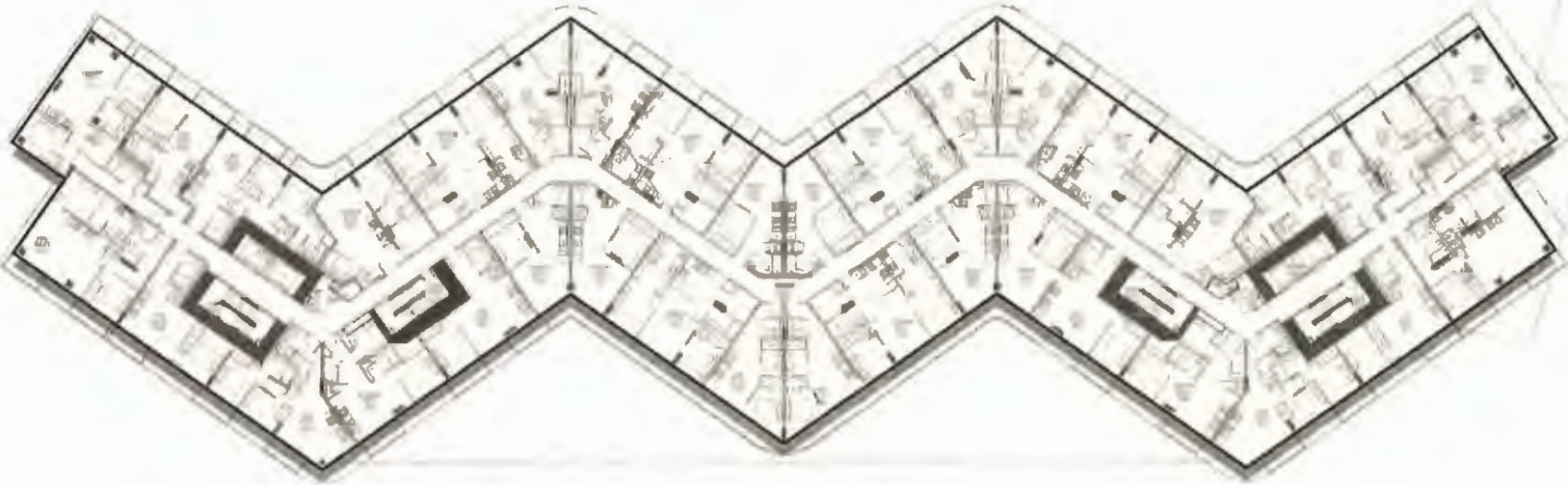


LANDSCAPE STRUCTURE



POOL DECK

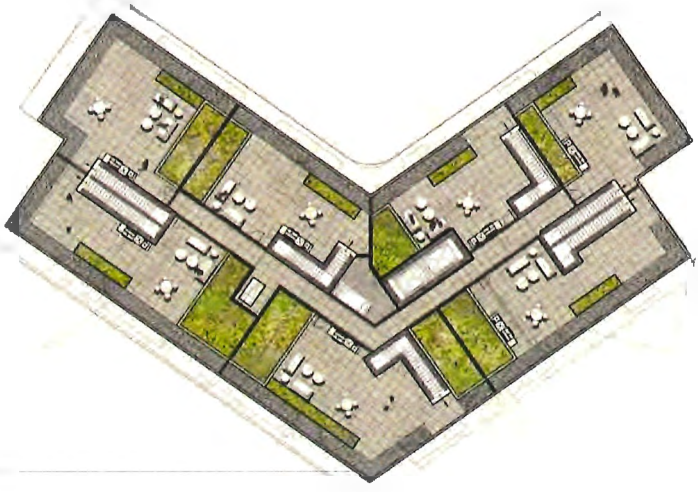
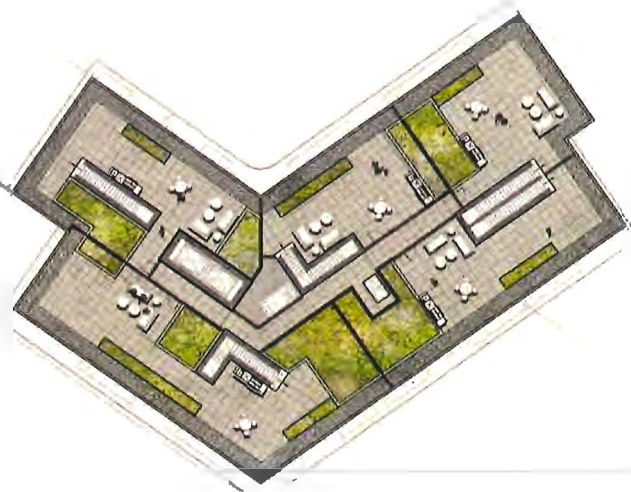
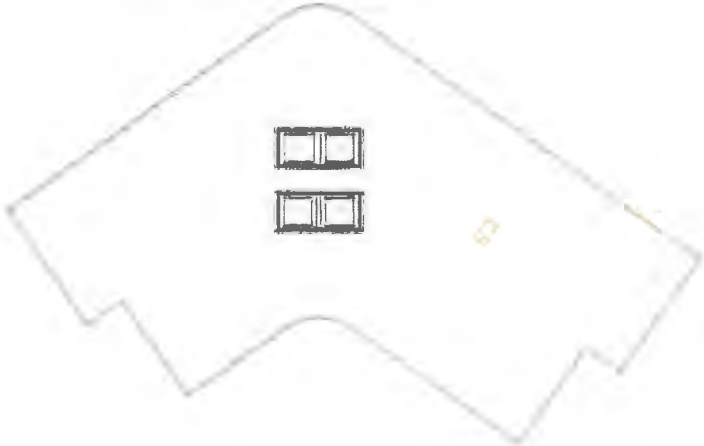
LANDSCAPE: LEVEL 8 PLAN



LANDSCAPE: LEVEL 9 PLAN



LANDSCAPE: ROOF TOP PLAN



LANDSCAPE: LEVEL 9 AND ROOF PRECEDENT IMAGES



HOTEL CRU TERRACE



TOPOGRAPHY PLAY



PLAY STRUCTURE



PENTHOUSE ROOF TERRACE



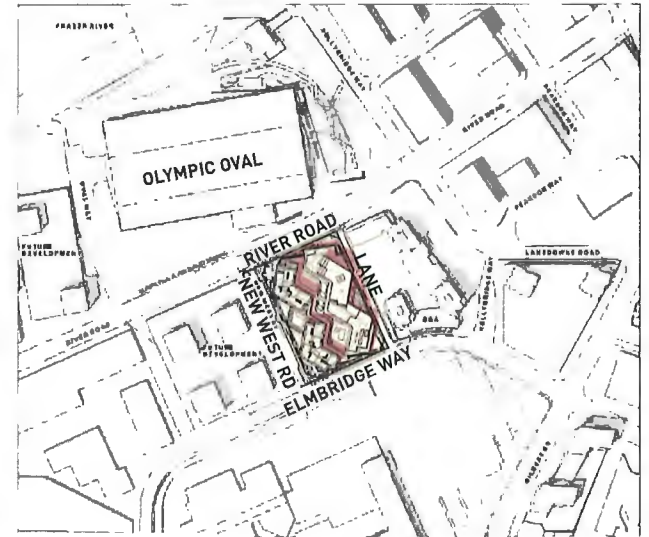
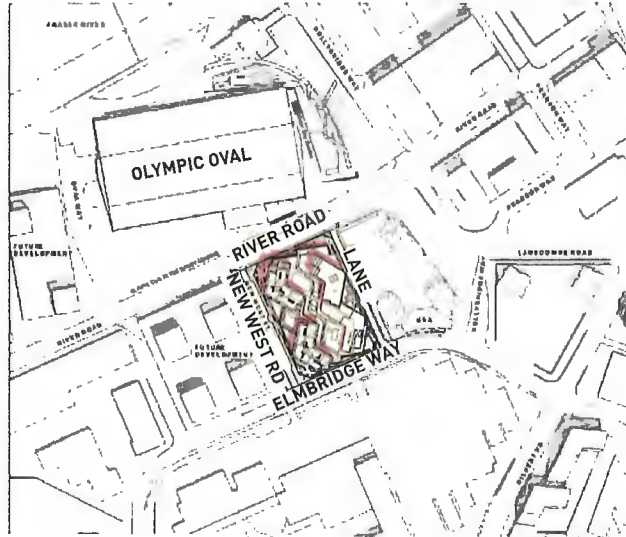
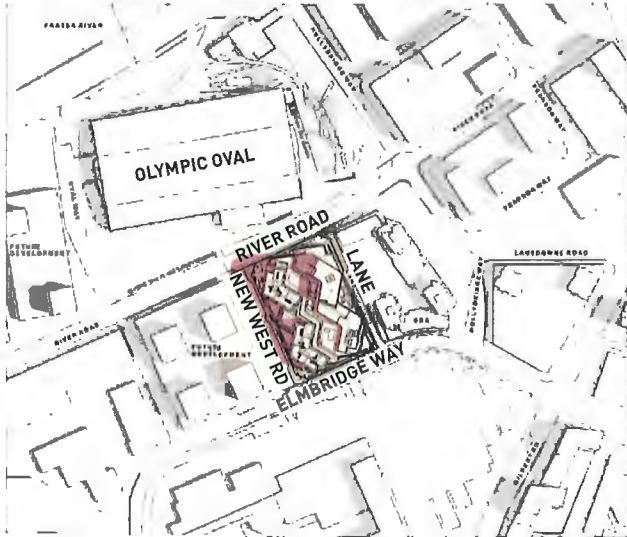
SHADOW STUDY

10 AM

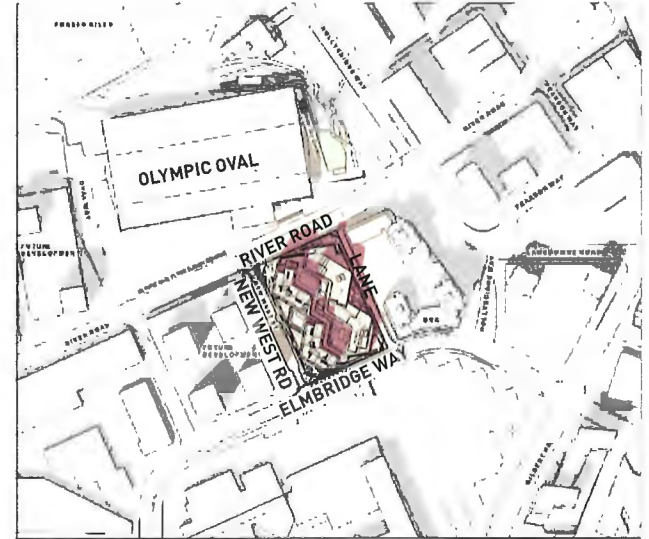
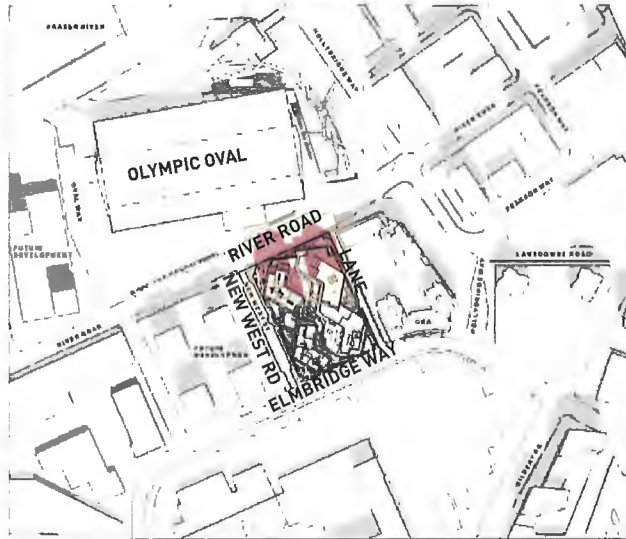
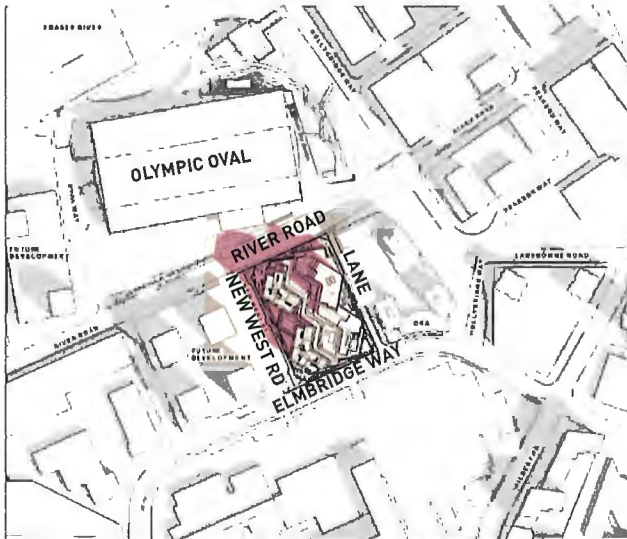
12 PM

2 PM

SUMMER



FALL



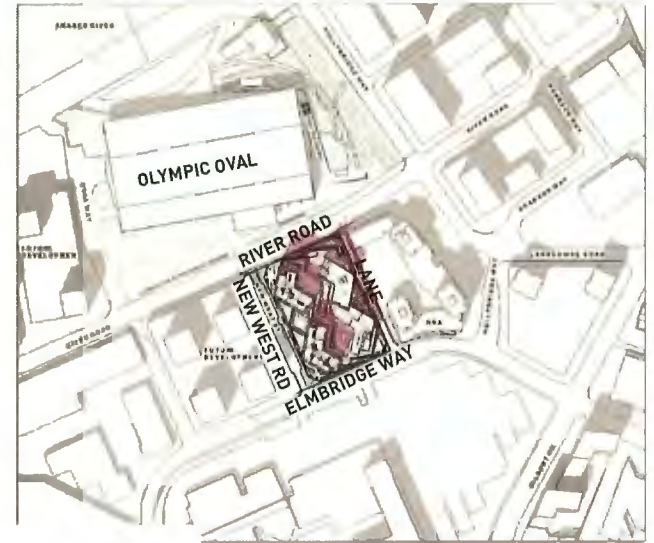
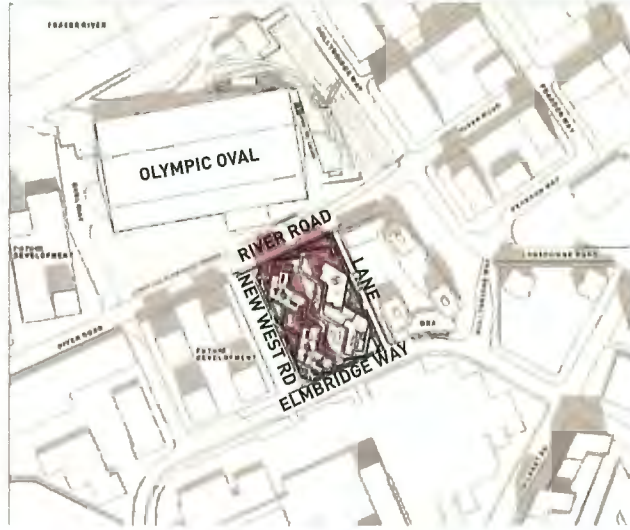
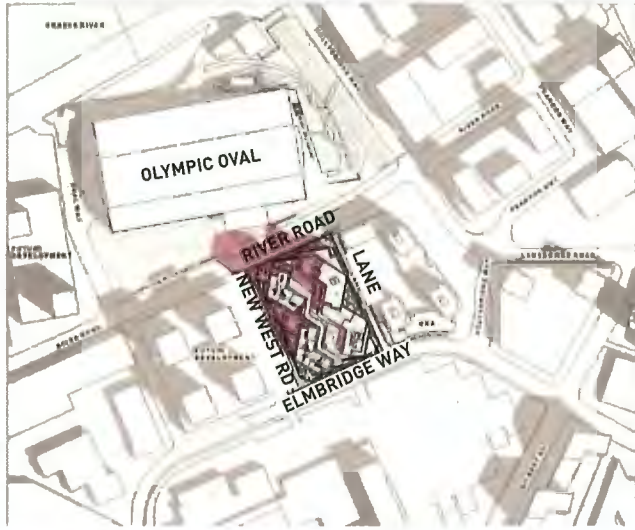
SHADOW STUDY

10 AM

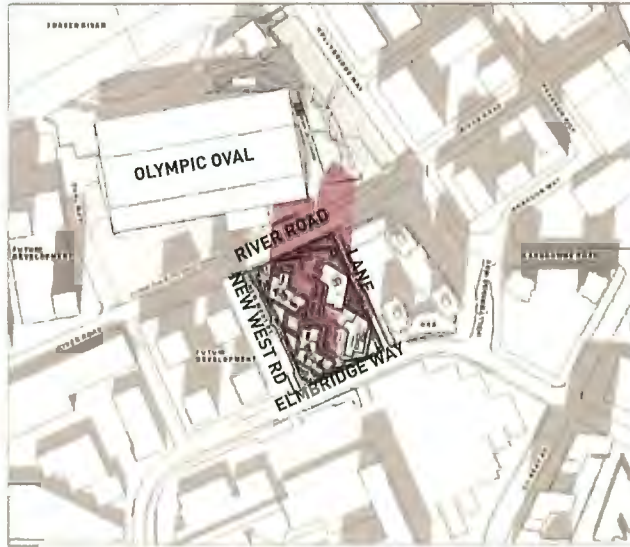
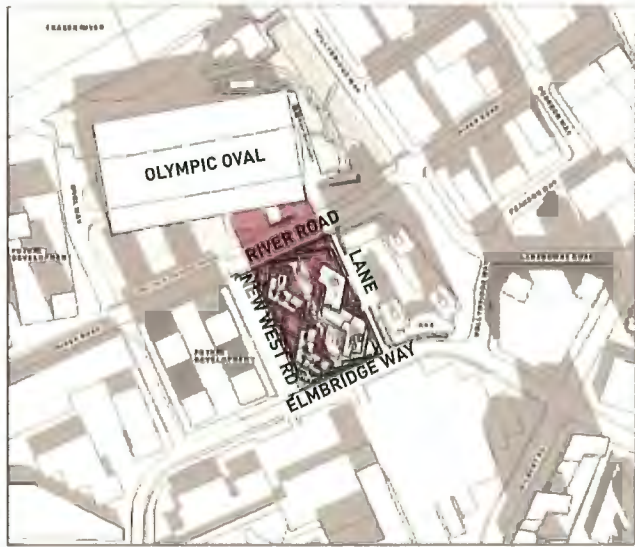
12 PM

2 PM

SPRING



WINTER



THANK YOU!

6851-6871 ELMBRIDGE WAY

HOTEL

LANDA



Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
May 15, 2024

From: Elaine Luo <luoelaine@outlook.com>
Sent: May 3, 2024 9:23 AM
To: CityClerk
Subject: Notice of Development Permit

Categories: Rustico

To Development Permit Panel
Date: MAY 15, 2024
Item # 1
Re: DP 21-945917

City of Richmond Security Warning: This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

Luo Yilei
3600 Broadway St
Richmond BC V7E 2X8

I am unable to attend Development Permit Panel meeting due to being unavailable May 15th 2024.
The purpose of the development permit to be issued on site 6851 and 6871 Elmbridge Way seems fine, no extra comments.



6500 COONEY RD - 6 UNIT TOWNHOUSE DEVELOPMENT

PROJECT SUMMARY

OWNER ADDRESS: 6500 COONEY ROAD, RICHMOND, BC
 LEGAL DESCRIPTION: LOT 20 SECTION 9, BLOCK 40 RANGE 6W HWY PLAN 16292
 LOT SIZE:
 ORIGINAL SITE: 8743.9 SM (374.5 SF)
 ROAD DEDICATIONS: 2.4M ALONG COONEY ROAD, 1.8M ALONG COOK ROAD, 5M X 5M AT SW CORNER
 LANE DEDICATIONS: 6M ALONG EAST PROPERTY LINE
 NET SITE AREA: 6323.9 SM (8811.4 SF) (GRANTED SUBDIVISION PLAN APR 2024)

	Current Proposal (2021)	Bylaw Requirement (ETRS)
FAR DENSITY	1.2	1.2 Max
LOT COVERAGE - BUILDING	52.4%	55 % Max
LOT COVERAGE - NON-POROUS	74.1%	75 % Max
LOT COVERAGE - PLANTING	20%	20 % Min
SETBACK - COONEY	3.19 m	3 m Min
SETBACK - COOK	4.6 m	3 m Min
SETBACK - CORNER CUT	3.03 m	3 m Min
SETBACK - LAKE	0.08 m	0 m Min
SETBACK - NORTH INTERIOR SIDE YARD	1.51 m	1.5 m Min
BUILDING HEIGHT	15.43 m & 4-stories	15.0 m & 4-stories Max
LOT WIDTH	20.34 m	20 m Min
LOT DEPTH	31.62 m	30 m Min
LOT AREA	632.9 m ²	600 m ² Min
PARKING		
PARKING REQUIRED	10 (8 Residents + 2 Visitors)	10 (1.25/Res + 0.25/Vis)
TANDEM PARKING	25% (2 out of 8)	50 % Max
BICYCLE PARKING	8 Class 1 + 2 Class 2	8 Class 1 (1.25/Res) + 2 Class 2 (0.25/Vis)
ACCESSIBLE PARKING	0	Not required
EY CHARGING	100% of resident parking spaces	10 Level 2, 12% Ey Charging outlets
OCF/CCAP		
AMENITY - BIROOR	Cash-in-lane	50 m ² Min
AMENITY - OUTDOOR		36 m ² Min
CCAP ADDITIONAL OUTDOOR AMENITY		63.1 m ² Min (10% of Net Site Area)
PRIVATE OUTDOOR SPACE	30.28 - 40.54 m ²	37 m ² Min



AERIAL VIEW OF THE SUBJECT PROPOSAL



VIEW FROM LANE AT COOK ROAD



VIEW OF CHILDREN PLAY AREA

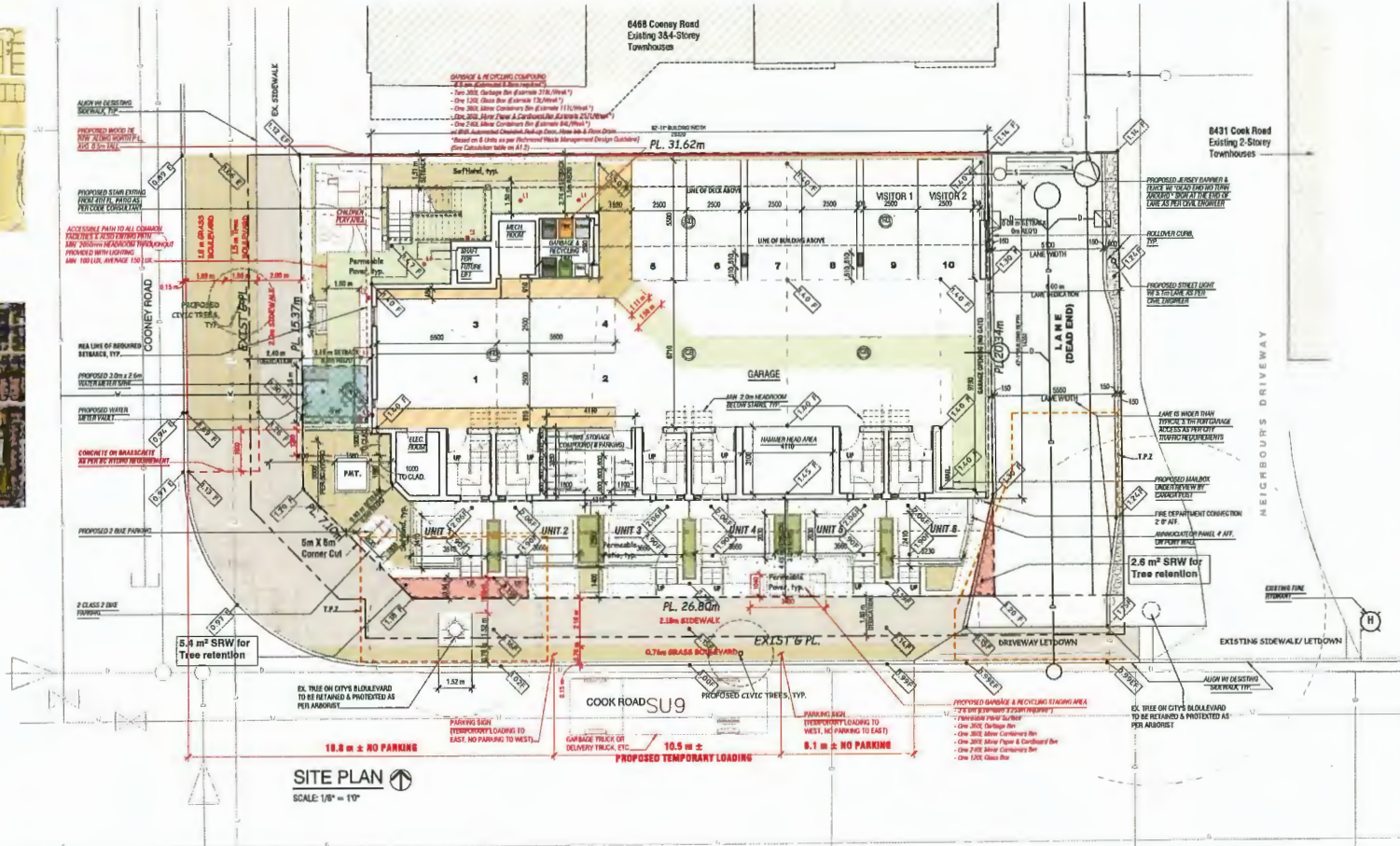


LOCATION PLAN



SITE AERIAL PHOTO

- LEGEND**
- Existing Storm Service
 - Proposed Storm Service
 - Existing Sanitary Service
 - Proposed Sanitary Service
 - Existing Water Service
 - Proposed Water Service
 - Existing Gas Line
 - Existing Street Light Duct
 - Proposed recessed light
 - Proposed wall sconce light



Kim Architecture Inc
 779-779-8818 / 1-800-800-0775
 k.ivanov@kim.ca
 21-2223 West Broadway
 Vancouver, B.C. V6R 2E4

THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.
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Project Title
6-UNIT TOWNHOUSE
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

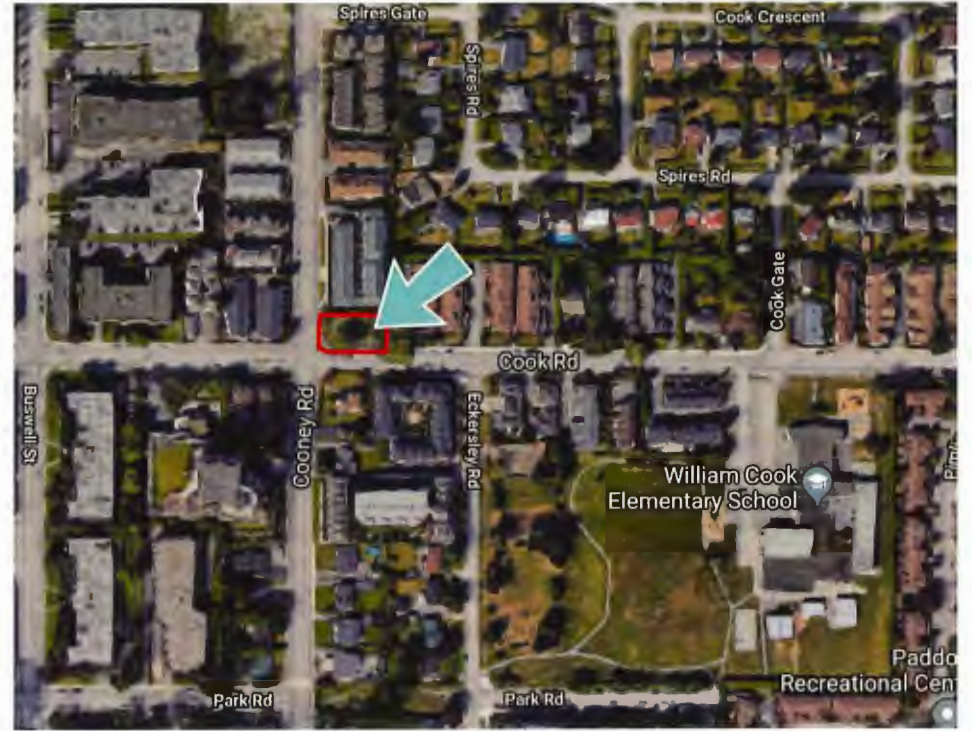
No.	Date	Provision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DPP Revision 2
10	Jun 12 2023	DPP Revision 1
9	Jun 9 2023	BP Revision 1
8	Aug 19 2022	Fire fighting updates
7	Jul 29 2022	About to update
6	Jul 9 2022	BP Submission
5	Jun 21 2022	DPP Updated Set
4	Feb 25 2022	DPP Submission Set
3	Jun 9 2021	Prepping application (Traffic Revision)
2	May 13 2021	Prepping application (Revision)
1	Jan 13 2020	Prepared for Parking Layout

Sheet Title
PROJECT DATA & SITE PLAN

Drawn: **CL**
 Checked: **KK**
 Scale:
 Print date: **May 2, 2024**
 Dwg. no. **A1.0**

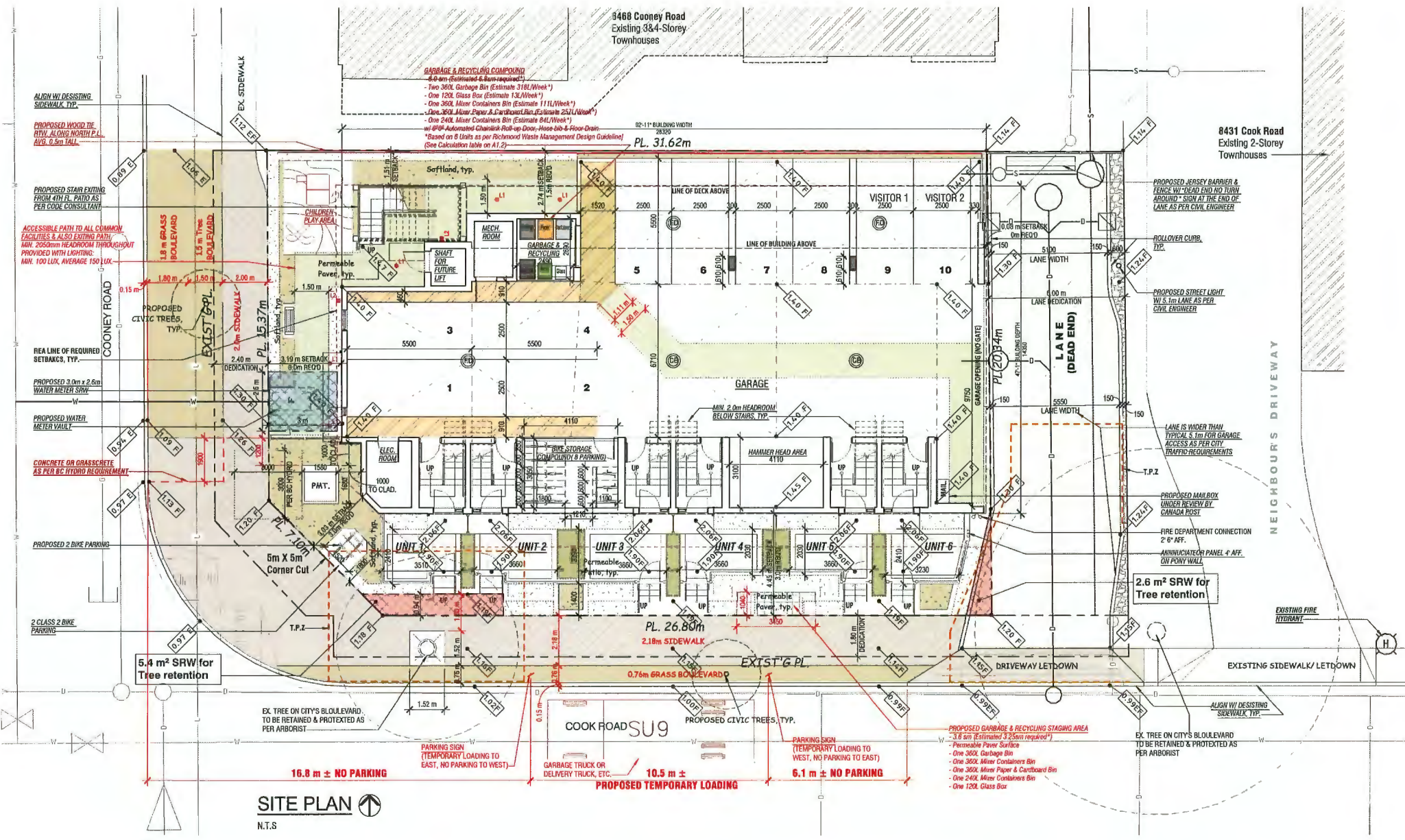


LOCATION PLAN 



SITE AERIAL PHOTO 

 Kenneth Kim Architecture Inc t: 778-379-8918 f: 604-900-0775 w: kkimvrb@gmail.ca 211-2223 West Broadway Vancouver, B.C. V6K 2E4	<small>THIS DRAWING MUST BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LINES PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.</small> <small>COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.</small>	Project Title 6-UNIT TOWNHOUSE	Consultants	<table border="1"> <thead> <tr> <th>No</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>May 8 2024</td> <td>Issued for DPP</td> </tr> </tbody> </table>	No	Date	Revision	1	May 8 2024	Issued for DPP	Sheet Title CONTEXT PLANS	<table border="1"> <tr> <td>File number:</td> <td>Scale:</td> </tr> <tr> <td>Drawn: CL</td> <td>Dwg. no.</td> </tr> <tr> <td>Checked: KK</td> <td></td> </tr> <tr> <td>Print date: May 8, 2024</td> <td></td> </tr> </table>	File number:	Scale:	Drawn: CL	Dwg. no.	Checked: KK		Print date: May 8, 2024	
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Drawn: CL	Dwg. no.																			
Checked: KK																				
Print date: May 8, 2024																				
				<h1>A0.1</h1>																



GARBAGE & RECYCLING COMPOUND
 3.6 m (Estimated & Items required)
 - Two 360L Garbage Bin (Estimate 318L/Week*)
 - One 120L Glass Bin (Estimate 13L/Week*)
 - One 360L Mixer Containers Bin (Estimate 111L/Week*)
 - One 360L Mixer Paper & Cardboard Bin (Estimate 251L/Week*)
 - One 240L Mixer Containers Bin (Estimate 64L/Week*)
 w/ #04 Automated Chainlink Roll-up Door, Hose-bib & Floor-Drain.
 *Based on 6 Units as per Richmond Waste Management Design Guideline
 (See Calculation table on A1.2)

PROPOSED GARBAGE & RECYCLING STAGING AREA
 3.6 m (Estimated & Items required)
 - Permeable Paver Surface
 - One 360L Garbage Bin
 - One 360L Mixer Containers Bin
 - One 360L Mixer Paper & Cardboard Bin
 - One 240L Mixer Containers Bin
 - One 120L Glass Bin

SITE PLAN
 N.T.S.

16.8 m ± NO PARKING

10.5 m ± PROPOSED TEMPORARY LOADING

6.1 m ± NO PARKING

5.4 m² SRW for Tree retention

2.6 m² SRW for Tree retention

COOK ROAD SU9

8431 Cook Road Existing 2-Storey Townhouses

3468 Cooney Road Existing 3&4-Storey Townhouses

NEIGHBOURS DRIVEWAY

ALIGN W/ DESISTING SIDEWALK TYP.

PROPOSED STAIR EXITING FROM 4TH FL. PATIO AS PER CODE CONSULTANT

ACCESSIBLE PATH TO ALL COMMON FACILITIES & ALSO EXITING PATH MIN. 2000mm HEADROOM THROUGHOUT PROVIDED WITH LIGHTING: MIN. 100 LUX, AVERAGE 150 LUX

REALINE OF REQUIRED SETBACKS, TYP.

PROPOSED 3.0m x 2.6m WATER METER SRW

PROPOSED WATER METER VAULT

CONCRETE OR GRASSCRETE AS PER BC HYDRO REQUIREMENT

PROPOSED 2 BIKE PARKING

2 CLASS 2 BIKE PARKING

EX. TREE ON CITY'S BLOULEVARD. TO BE RETAINED & PROTECTED AS PER ARBORIST

EX. TREE ON CITY'S BLOULEVARD TO BE RETAINED & PROTECTED AS PER ARBORIST

EXISTING FIRE HYDRANT

ALIGN W/ DESISTING SIDEWALK TYP.

PROPOSED JERSEY BARRIER & FENCE W/ TRIANGLE END ROD TURN AROUND SIGN AT THE END OF LANE AS PER CIVIL ENGINEER

PROPOSED STREET LIGHT W/ 5.1m LANE AS PER CIVIL ENGINEER

PROPOSED MAIL BOX UNDER REVIEW BY CANADA POST

FIRE DEPARTMENT CONNECTION 2" P AFF. ANNUNCIATOR PANEL 4" AFF. ON PONY WALL

EXISTING SIDEWALK/ LETDOWN

LANE IS WIDER THAN TYPICAL 5.1m FOR GARAGE ACCESS AS PER CITY TRAFFIC REQUIREMENTS

LANE (DEAD END)

PL. 31.62m

PL. 26.80m

EX. SIDEWALK

EXIST'G PL.

EXIST'G PL.

PROPOSED CIVIC TREES, TYP.

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EXIST'G PL.

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EXIST'G PL.

EXIST'G PL.

ALIGN W/ DESISTING SIDEWALK TYP.

PROPOSED STAIR EXITING FROM 4TH FL. PATIO AS PER CODE CONSULTANT

ACCESSIBLE PATH TO ALL COMMON FACILITIES & ALSO EXITING PATH MIN. 2000mm HEADROOM THROUGHOUT PROVIDED WITH LIGHTING: MIN. 100 LUX, AVERAGE 150 LUX

REALINE OF REQUIRED SETBACKS, TYP.

PROPOSED 3.0m x 2.6m WATER METER SRW

PROPOSED WATER METER VAULT

CONCRETE OR GRASSCRETE AS PER BC HYDRO REQUIREMENT

PROPOSED 2 BIKE PARKING

2 CLASS 2 BIKE PARKING

EX. TREE ON CITY'S BLOULEVARD. TO BE RETAINED & PROTECTED AS PER ARBORIST

EX. TREE ON CITY'S BLOULEVARD TO BE RETAINED & PROTECTED AS PER ARBORIST

EXISTING FIRE HYDRANT

ALIGN W/ DESISTING SIDEWALK TYP.

PROPOSED JERSEY BARRIER & FENCE W/ TRIANGLE END ROD TURN AROUND SIGN AT THE END OF LANE AS PER CIVIL ENGINEER

PROPOSED STREET LIGHT W/ 5.1m LANE AS PER CIVIL ENGINEER

PROPOSED MAIL BOX UNDER REVIEW BY CANADA POST

FIRE DEPARTMENT CONNECTION 2" P AFF. ANNUNCIATOR PANEL 4" AFF. ON PONY WALL

EXISTING SIDEWALK/ LETDOWN

LANE IS WIDER THAN TYPICAL 5.1m FOR GARAGE ACCESS AS PER CITY TRAFFIC REQUIREMENTS

LANE (DEAD END)

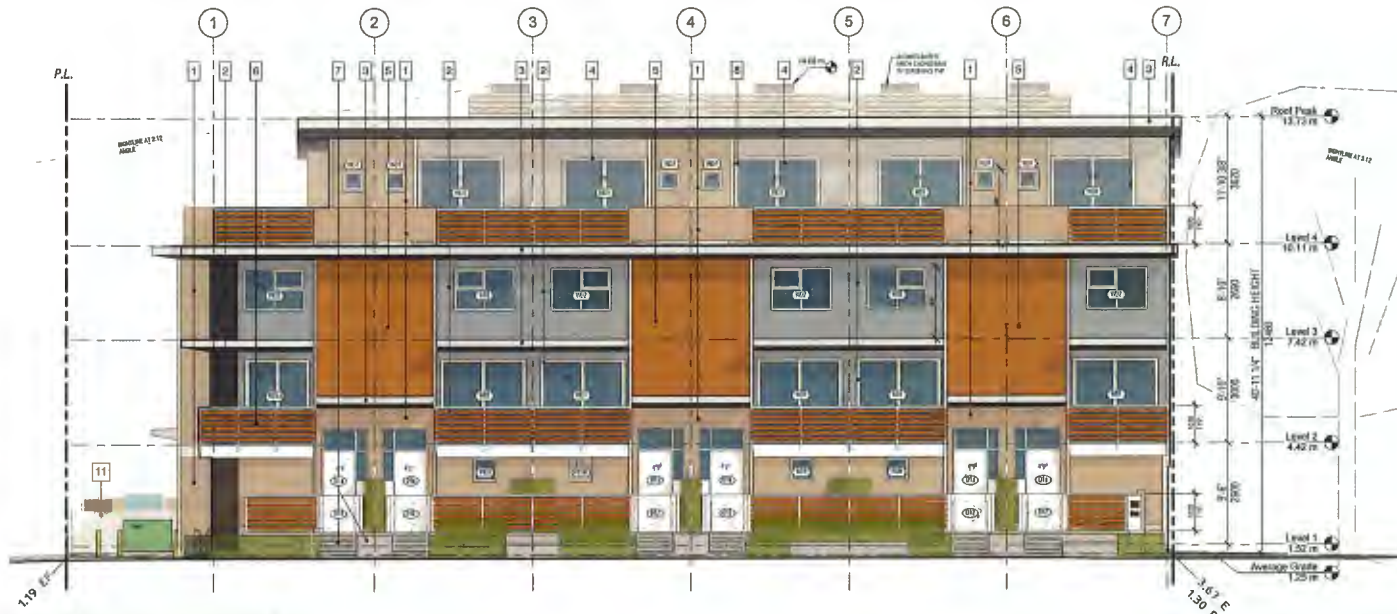
PL. 31.62m

PL. 26.80m

EX. SIDEWALK

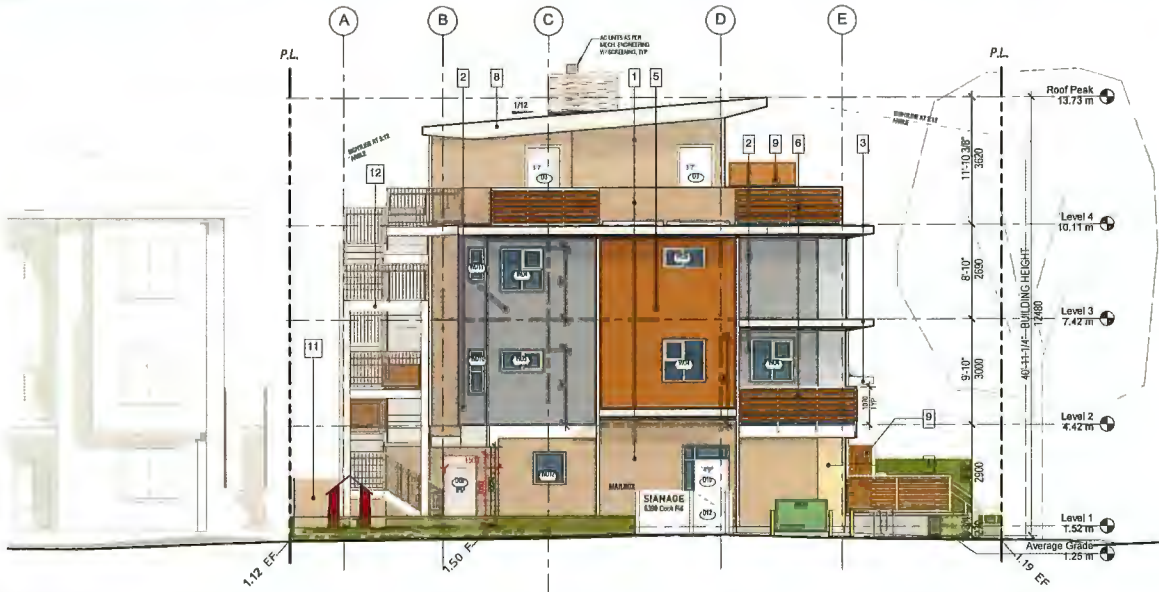
EXIST'G PL.

EXIST'G PL.



SOUTH ELEVATION (COOK RD)

SCALE: 3/16" = 1"



WEST ELEVATION (COONEY RD)

SCALE: 3/16" = 1"

MATERIALS LEGEND

- 1 Horizontal HardiePlank Siding
COLOUR: Light Brown
- 2 Slatdash Stucco Finish
COLOUR: Slate Gray
- 3 Metal Flashing
COLOUR: Silver/light gray
- 4 Slatdash Stucco Finish
COLOUR: Light Gray
- 5 Horizontal Siding
(Aluminum, Steel or Composite)
(e.g. Longboard® Tongue & Groove)
COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards
w/ Decorative Wood Slats (Painted) @
Outside of Glass
COLOUR: Medium Brown
- 7 Concrete- Painted
COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- 9 Open Trills Privacy Screen
Between Units
COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to
Neighbour
COLOUR: Medium Brown
- 12 Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



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Project Title
**6-UNIT
TOWNHOUSE**
6500 Cooney Rd (Existing)
8399 Cooney Rd (Proposed)
Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 9 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	April 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abolish update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Permitting application (Traffic Revision)
2	May 13 2021	Permitting application (Firewall)
1	Jan 13 2020	Proposed w/ Fire Parking Layout

Sheet Title
**SOUTH & WEST
ELEVATION**

Drawn: **CL**

Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no. **A3.1**



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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conroy Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

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12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
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6	Jun 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Traffic Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 19 2020	Proposed w/ New Parking Layout

Sheet Title
**NORTH & EAST
 ELEVATION**

Drawn: **CL**

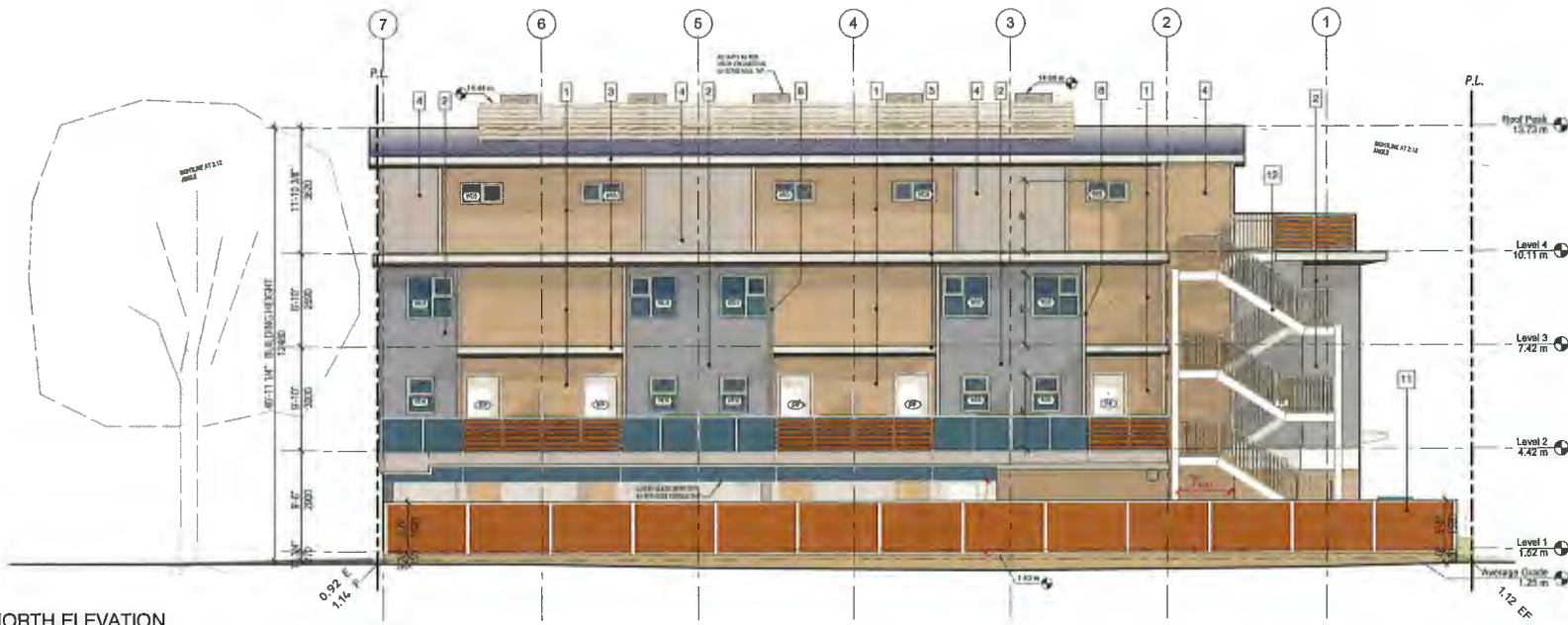
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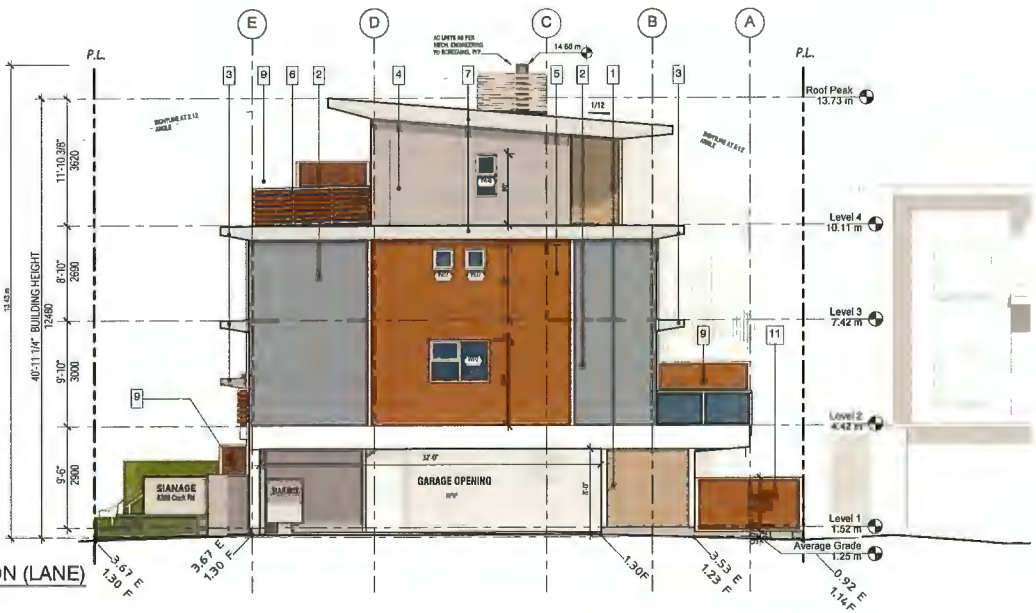
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Dwg. no.

A3.2



NORTH ELEVATION
 SCALE: 3/16" = 1"



EAST ELEVATION (LANE)
 SCALE: 3/16" = 1"

MATERIALS LEGEND

- 1 Horizontal HardiePlank Siding
COLOUR: Light Brown
- 2 Slatdash Stucco Finish
COLOUR: Slate Gray
- 3 Metal Flashing
COLOUR: Silver/light gray
- 4 Slatdash Stucco Finish
COLOUR: Light Gray
- 5 Horizontal Siding
(Aluminum, Steel or Composite)
(e.g. Longboard® Tongue & Groove)
COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards
w/ Decorative Wood Slats (Painted) @
Outside of Glass
COLOUR: Medium Brown
- 7 Concrete- Painted
COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- 9 Open Trellis Privacy Screen
Between Units
COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to
Neighbour
COLOUR: Medium Brown
- 12 Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



Aerial View of the Project



View from Cooney Rd



View from Cooney Rd & Cook Rd Intersection



View from Cook Rd



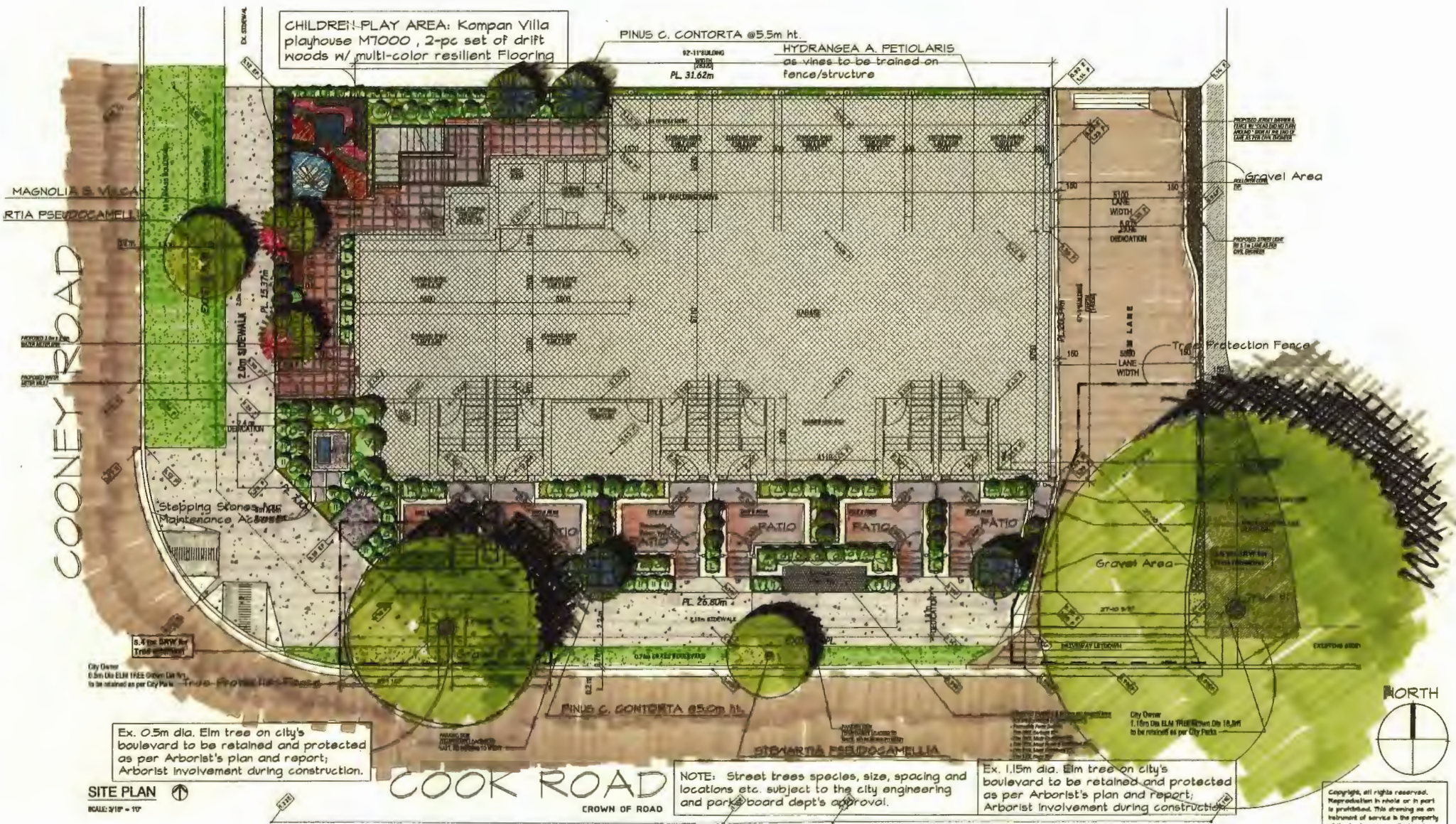
View from Lane at Cook Rd



View from North side of Project



View of Children Play Area



CHILDREN-PLAY AREA: Kompan Villa playhouse M7000, 2-pc set of drift woods w/ multi-color resilient flooring

PINUS C. CONTORTA @5.5m ht.

HYDRANGEA A. PETIOLARIS as vines to be trained on fence/structure

MAGNOLIA S. VILCA
RTIA PSEUDOCAMELLIA

COONEY ROAD

Stopping Stones
Maintenance Access

Gravel Area

Protection Fence

Gravel Area

PINUS C. CONTORTA @5.5m ht.

SIBIRIA PSEUDOCAMELLIA

NORTH



Ex. 0.5m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

NOTE: Street trees species, size, spacing and locations etc. subject to the city engineering and parks board dept's approval.


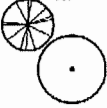



Ex. 1.15m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

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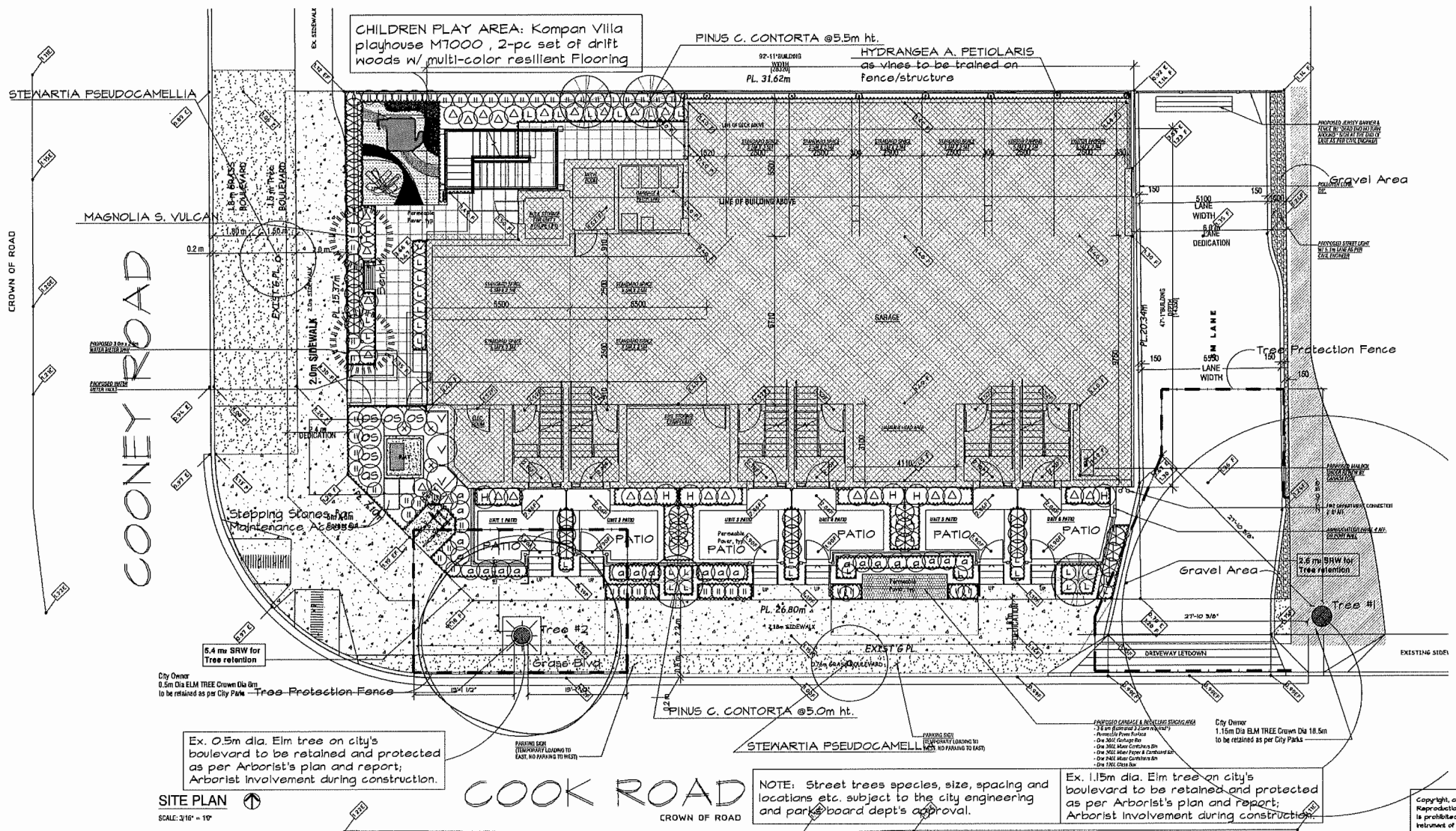
SITE PLAN
SCALE: 3/16" = 1'

COOK ROAD
CROWN OF ROAD

APPENDIX 1: PLANT LIST & LANDSCAPE PLAN (LINE DRAWING)

P L A N T L I S T				Project No. 220102.KIM Updated @2024-04-18
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
	2	MAGNOLIA S. VULCAN	Vulcan Sav. Magnolia	3 @B&B 6cm cal., 1.75m std.
	4	PINUS CONTORTA CONTORTA	Shore Pine	B&B 5.5m+ ht.
	2	STEWARTIA PSEUDOCAMELLIA	Japanese Stewartia	B&B 5.0m+ ht. B&B 9cm cal., 1.75m std.
a	20	ABELIA EDWARD GOUCHER	Dwarf Abelia	#2 pot 40cm ht.
H	6	HYDRANGEA SERRATA BLUE BIRD	Blue Bird Hydrangea	#5 pot 50cm ht.
L	44	LAVANDULA SPICA MUNSTEAD	English Lavender	#1 pot heavy
OS	6	OSMAREA BURKWOODII	Burkwood Osmaria	#3 pot 60cm ht.
	55	LEUCOTHOE AXEL	Cherry Laurel	#2 pot 30cm ht.
△	28	RHODODENDRON DWARF (Hyb. TBD)	Dwarf Rhododendron	#2 pot 35cm ht.
Allowed	6	ROSA MEIDI BONICA/RED SEVILLENA	Meldiland Rose	#2 pot 35cm ht.
	31	TAXUS MEDIA HICKSII	Hick's Yew	B&B 1.5m+ ht.
V	3	VIBURNUM BURKWOODII	Burkwood Viburnum	#3 pot 60cm ht., bushy
	8	HYDRANGEA A. PETIOLARIS	Climbing Hydrangea	#3 pot Stkd., Heavy

- NOTE:
1. All plant materials shall meet or exceed BCSLA/BCLNA Standard.
 2. All grass areas shall be sodded unless otherwise indicated.
 3. "Hyb. TBD" denotes hybrids to be determined at the nursery during plant material inspection.
 4. For all other requirements, see Landscape Specifications & Details on 8.5"x11" sheets.
(Spec. is to be included for tendering & construction use)



City Owner
 0.5m Dia ELM TREE Crown Dia 10m
 to be retained as per City Parks - Tree Protection Fence

Ex. 0.5m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

SITE PLAN
 SCALE: 3/16" = 1'

NOTE: Street trees species, size, spacing and locations etc. subject to the city engineering and parks board dept's approval.

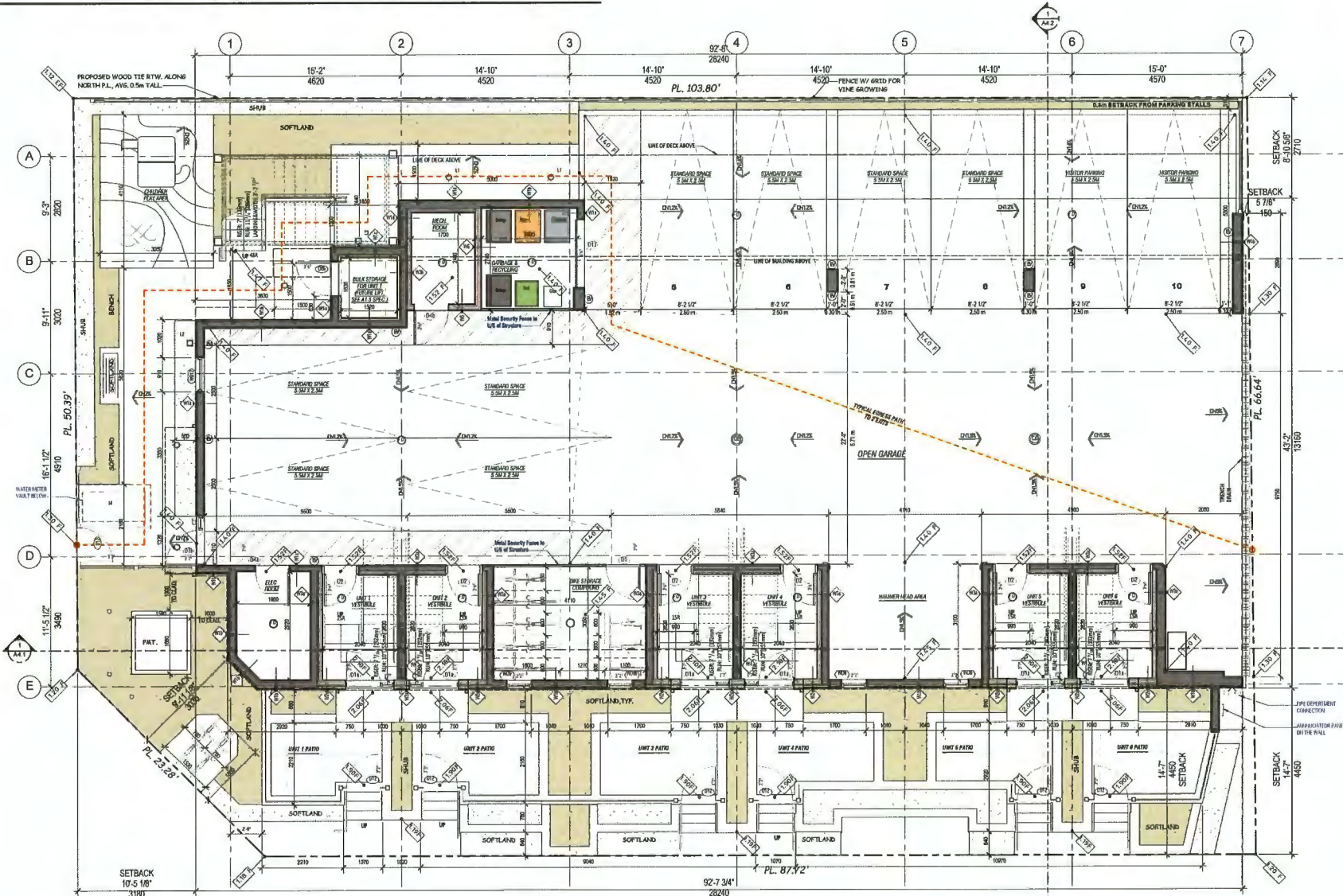
Ex. 1.15m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

City Owner
 1.15m Dia ELM TREE Crown Dia 18.5m
 to be retained as per City Parks

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APPENDIX 2: FLOOR PLANS & SECTIONS



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- ⊙ LEVEL 2 EV CHARGING OUTLET, 12KW, 1 FOR EACH PARKING SPACE
- ⊙ PROPOSED RECESSED LIGHT
- ⊙ PROPOSED WALL SCONCE LIGHT



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Project Title
6-UNIT TOWNHOUSE
 6500 Conney Rd (Existing)
 8399 Conney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 6 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DIP Revision 2
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9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abstract update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DIP Updated Set
4	Feb 29 2022	DIP Submission Set
3	Jun 9 2021	Resubmitting application (Traffic Reduction)
2	May 13 2021	Resubmitting application (Revised)
1	Jan 13 2020	Propositor's New Parking Layout

Sheet Title
FIRST FLOOR PLAN

Drawn: **CL**

Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no. **A2.1**



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**6-UNIT
 TOWNHOUSE**
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 Richmond, BC

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10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abolish setbacks
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Prezoning application (Traffic Revision)
2	May 13 2021	Prezoning application (Traffic)
1	Jan 13 2020	Proposed site have Parking Layout

Sheet Title
**SECOND FLOOR
 PLAN**

Drawn: **CL**

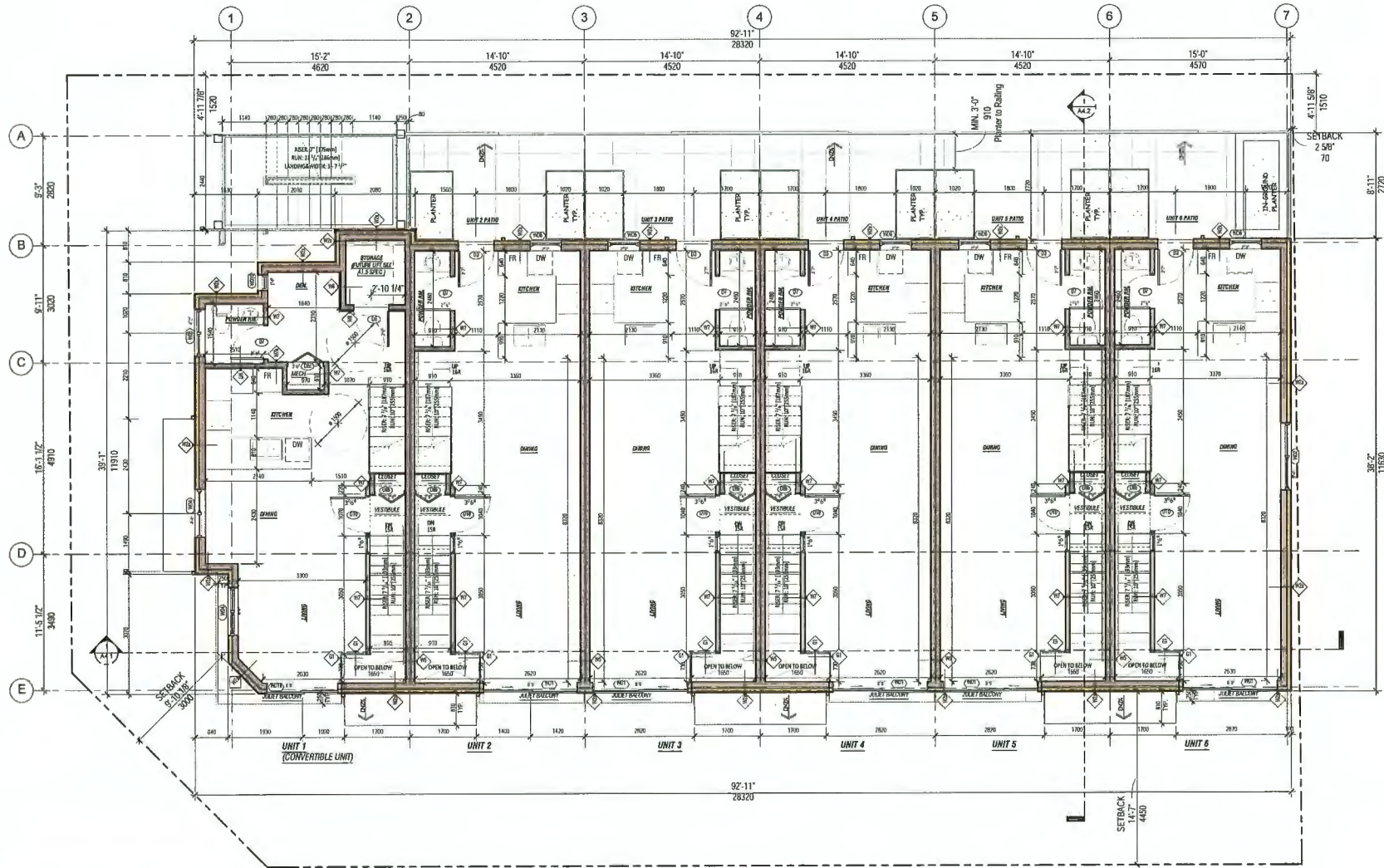
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Print date: **May 2, 2024**

Dwg. no.

A2.2



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
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12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire lighting Update
7	Jul 29 2022	Abstrct Update
6	Jul 8 2022	BP Submission
5	Jan 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Traffic Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Proposed new Parking Layout

Sheet Title
THIRD FLOOR PLAN

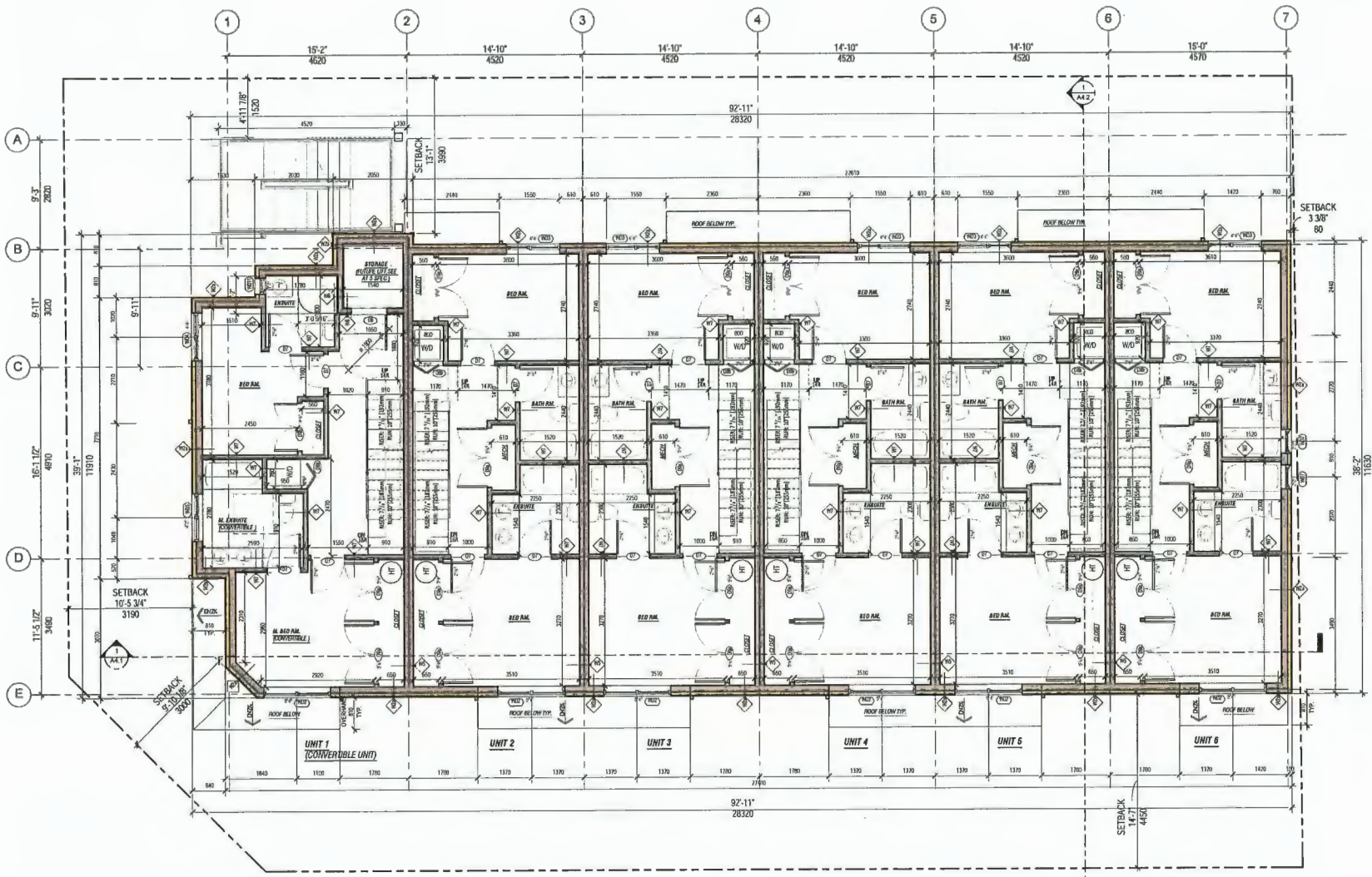
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A2.3



THIRD FLOOR PLAN
 SCALE: 1/4" = 1'-0"





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Project Title
**6-UNIT
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 Richmond, BC

Sign & Seal

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5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Resolving application (Traffic Revision)
2	May 13 2021	Resolving application (Revised)
1	Jun 13 2020	Proposed w/ New Parking Layout

Sheet Title
**FOURTH FLOOR
 PLAN**

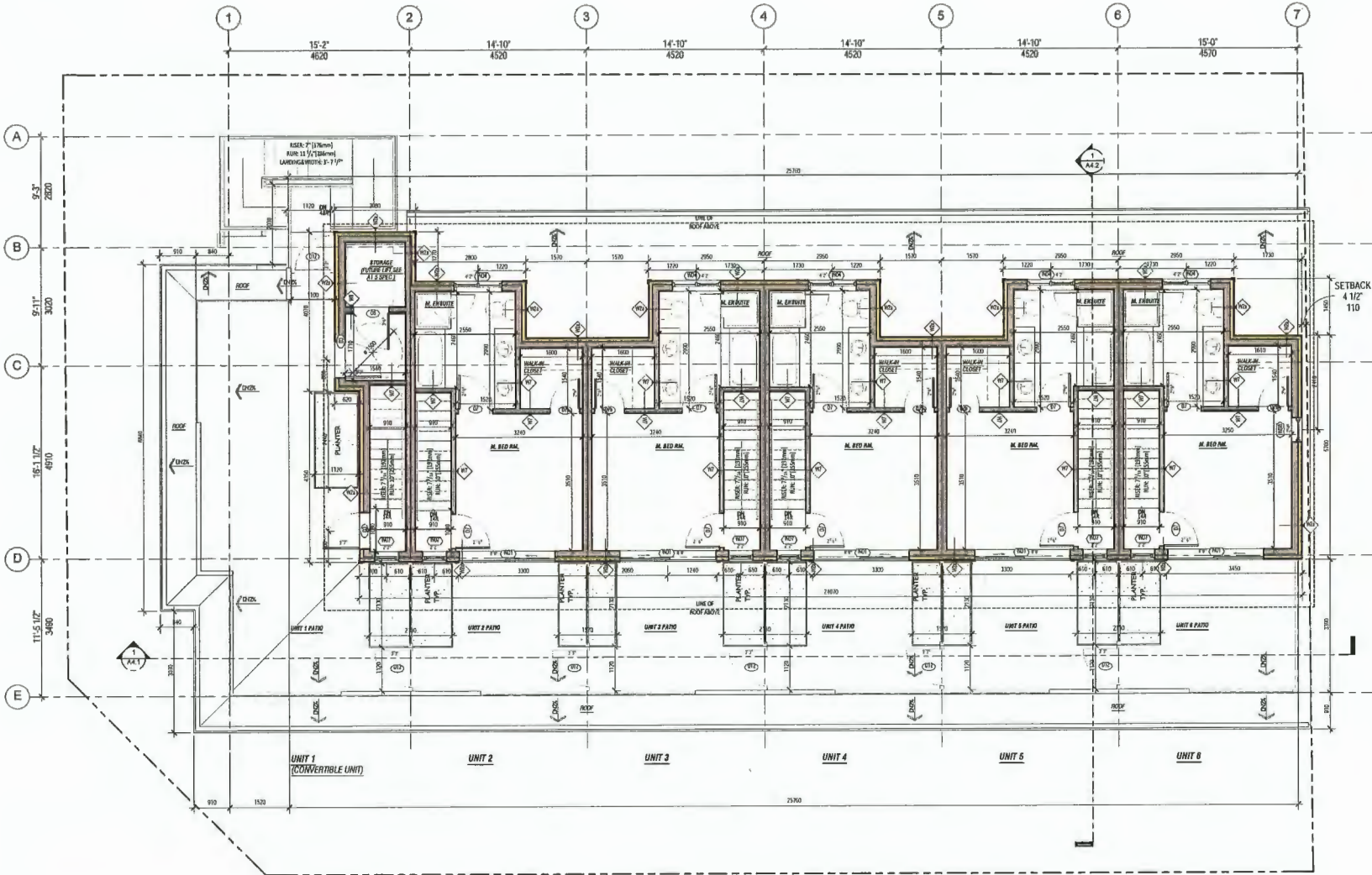
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FOURTH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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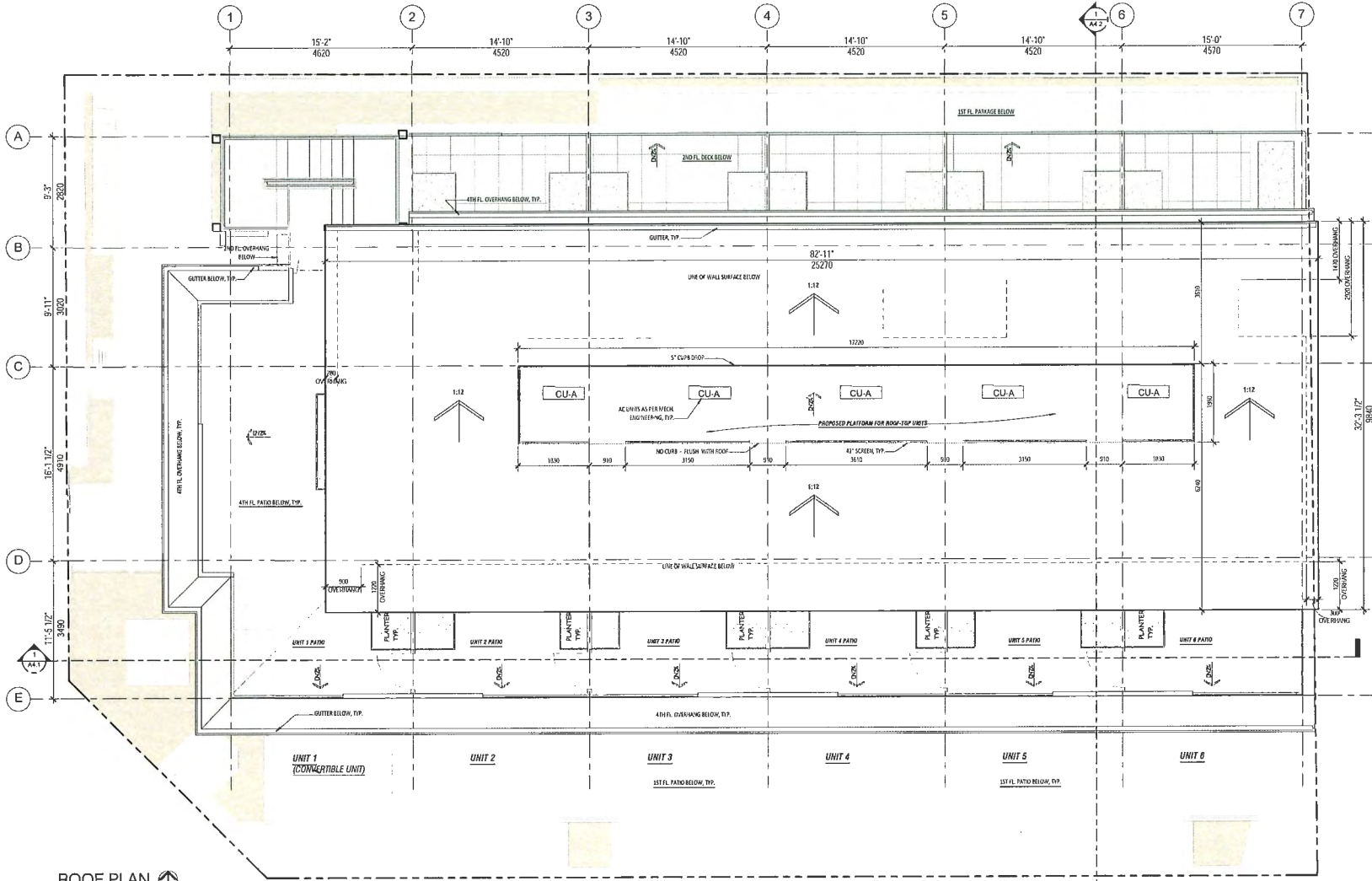
Project Title
6-UNIT TOWNHOUSE
 6500 Conney Rd (Existing)
 8399 Conney Rd (Proposed)
 Richmond, BC

Sign & Seal

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12	May 8 2024	Issued for DPP
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9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abomit update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Revising approval (Final Revision)
2	May 13 2021	Revising approval (Revised)
1	Jan 13 2020	Proposed w/ Fire Ratings Layout

Sheet Title
ROOF PLAN

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 Checked: **KK**
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 Print date: **May 2, 2024**
 Dwg. no. **A2.5**



ROOF PLAN
 SCALE 1/4" = 10"

NOTE: ALL ROOF COVERING MATERIALS SHALL BE CLASS A, B, OR C AS PER CAN/ULC-S107- *FIRE TEST OF ROOF COVERINGS*



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Project Title
**6-UNIT
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 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

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10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 19 2022	Fire fighting update
7	Jul 25 2022	Abort update
6	Jul 5 2022	BP Submission
5	Jun 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Planning application (Final Revision)
2	May 13 2021	Planning application (Revised)
1	Jan 13 2020	Preparation of Final Parking Layout

Sheet Title
**LONGITUDINAL
 SECTION 1**

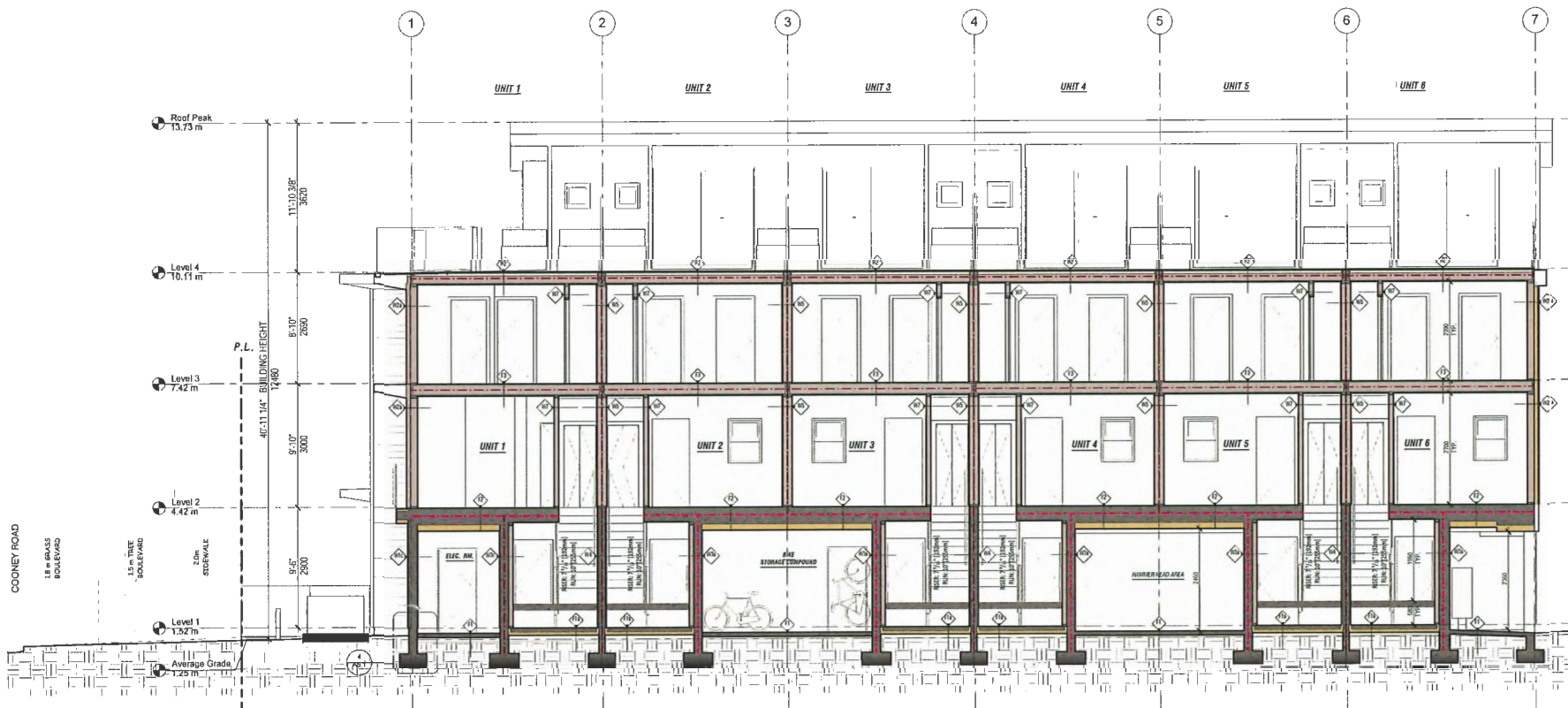
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A4.1



LONGITUDINAL SECTION 1

SCALE: 1/4" = 1'-0"

- 1 5/8" RIR Separation
- 1 RIR RIR Separation

COONEY ROAD
 18 m GRASS BOULEVARD
 1.5 m TREE BOULEVARD
 2.5 m SIDEWALK

P.L.
 14'60"

Roof Peak 13.73 m
 Level 4 10.11 m
 Level 3 7.42 m
 Level 2 4.42 m
 Level 1 1.52 m
 Average Grade 1.25 m

11'-10.3/8" 3620
 8'-10" 2650
 14'60"
 6'-10" 2050
 8'-6" 2600

UNIT 1 UNIT 2 UNIT 3 UNIT 4 UNIT 5 UNIT 6

UNIT 1 UNIT 2 UNIT 3 UNIT 4 UNIT 5 UNIT 6

STORAGE/POUND

HARRIER/HEAD AREA

1 5/8" RIR Separation
 1 RIR RIR Separation

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No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revis on 2
11	Apr 23 2024	BP Revis on 2
10	Jun 12 2023	BP Revis on 1
9	Jun 9 2023	BP Revis on 1
8	Aug 19 2022	Fire fighting update
7	Jul 29 2022	Abstract update
6	Jul 6 2022	BP Submission
5	Jun 21 2022	CP Updated Set
4	Feb 25 2022	CP Submission Set
3	Jun 9 2021	Prezoning application (Chief's Review)
2	May 13 2021	Rezonng apprcation (Review)
1	Jan 13 2020	Proposed New Parking Layout

Sheet Title
CROSS SECTION 1

Drawn: **CL**

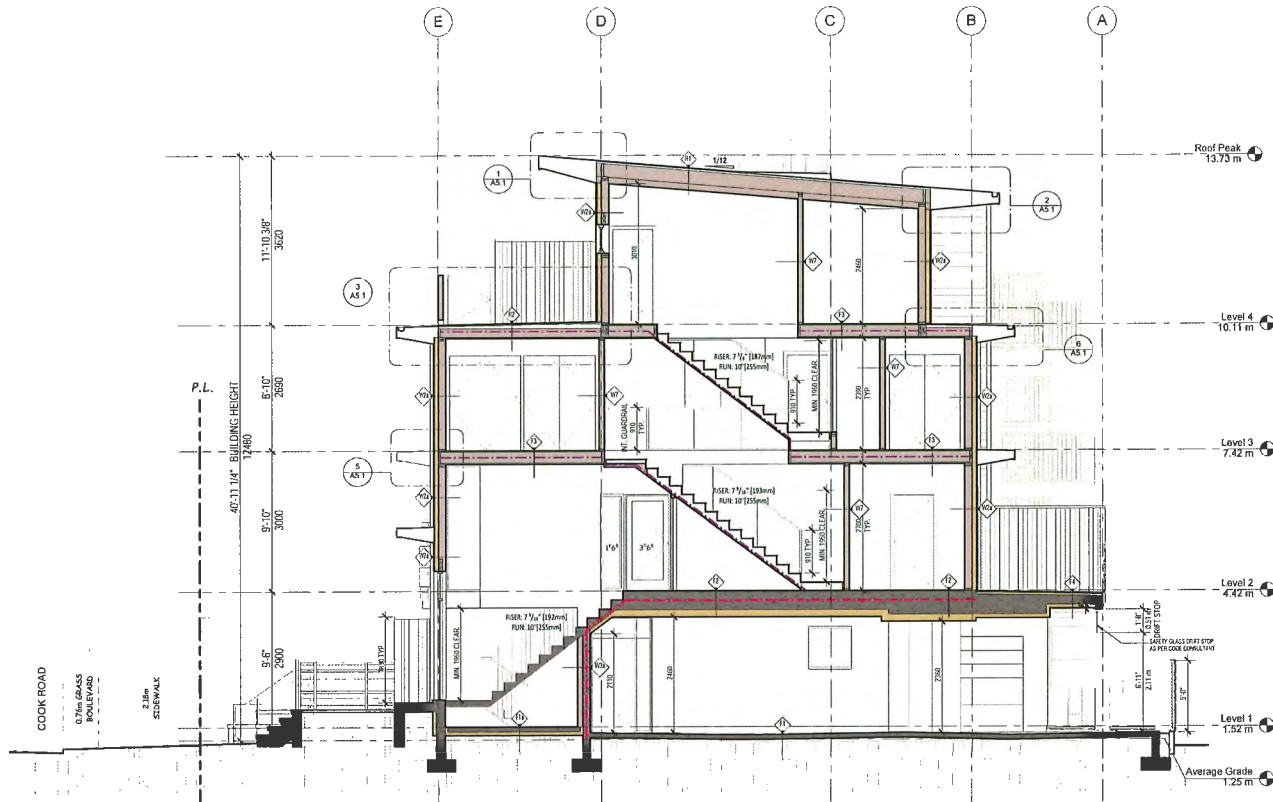
Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.

A4.2



CROSS SECTION 1

SCALE: 1/4" = 1'-0"

--- 1.5m RFR Spurion
 --- 1.0m RFR Spurion

APPENDIX 3: SHADOW ANALYSIS



SPRING/FALL EQUINOX 10AM



SPRING/FALL EQUINOX 2PM



SUMMER SOLSTICE 10AM



SUMMER SOLSTICE 2PM

SHADOW ANALYSIS 
SCALE= 1:300



778-778-8018 / 1-800-800-0775
 211-2222 West Broadway
 Vancouver, B.C. V6K 2E4

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 VERIFY ALL DIMENSIONS AND LEVELS
 PRIOR TO COMMENCEMENT OF WORK.
 ALL ERRORS AND OMISSIONS SHALL BE
 REPORTED IMMEDIATELY TO THE
 ARCHITECT.

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 KIM ARCHITECTURE INC. AND MAY NOT
 BE USED OR REPRODUCED WITHOUT
 PRIOR WRITTEN CONSENT.

Project Title
**6-UNIT
 TOWNHOUSE**
 6500 Conney Rd (Existing)
 6399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
12	May 8 2024	Issued for DPP
12	May 3 2024	BP Revision 2
11	Apr 23 2024	DP Revision 2
10	Jun 12 2023	DP Revision 1
9	Jun 5 2023	BP Revision 1
8	Aug 18 2022	Fire lighting update
7	Jul 29 2022	Abortit update
6	Jul 5 2022	BP Submission
5	Jan 21 2022	DP Updated Set
4	Feb 25 2022	DP Submission Set
3	Jun 9 2021	Precedent Application (Traffic Revision)
2	May 13 2021	Precedent Application (Revised)
1	Jan 13 2020	Proposed Site Parking Layout

Sheet Title
SHADOW ANALYSIS

Drawn: **CL**

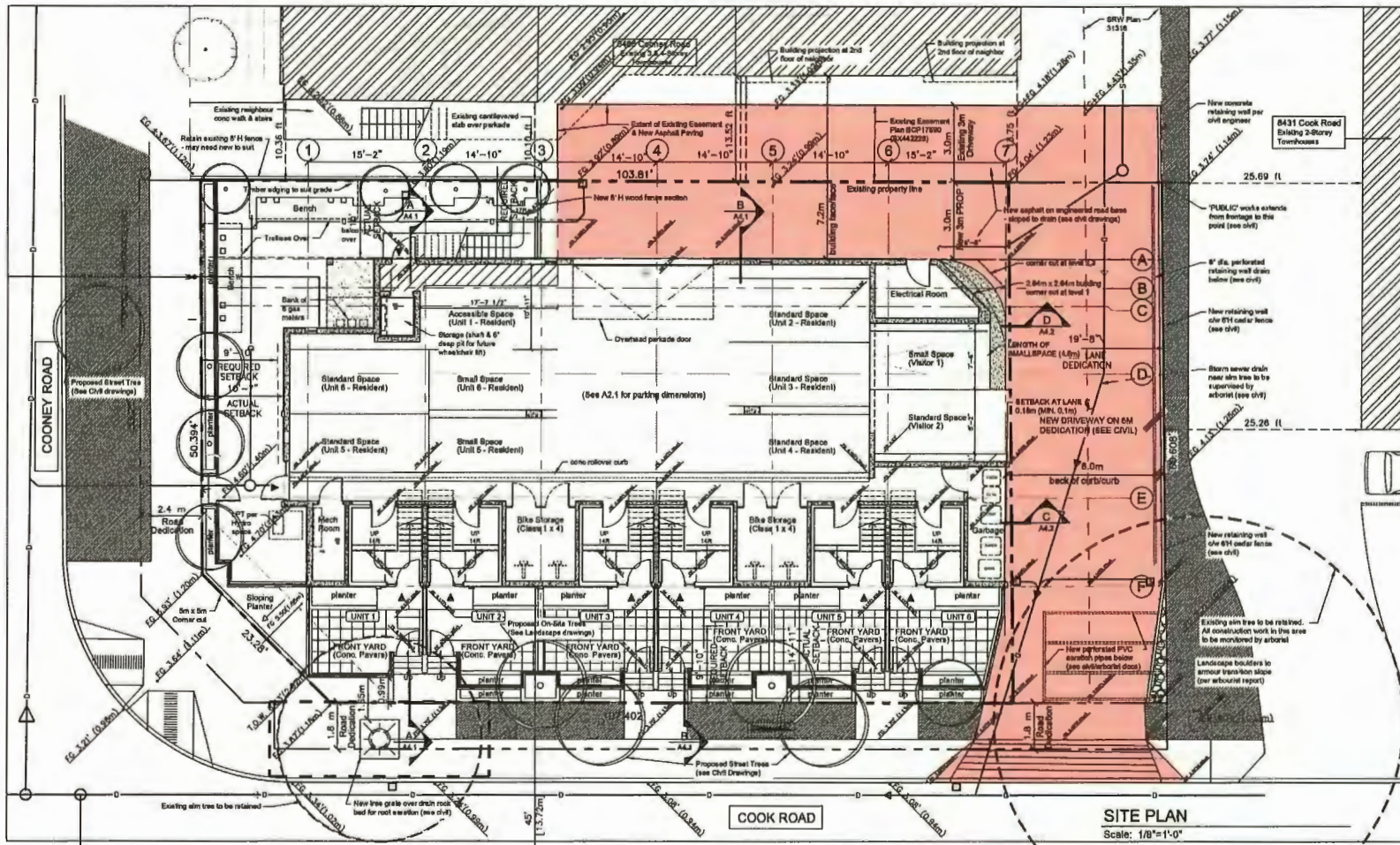
Checked: **KK**

Scale:

Print date: **May 2, 2024**

Dwg. no.
A1.4

APPENDIX 4: THE ORIGINAL OF CURRENT PROPOSAL



OLD SITE PLAN

N.T.S



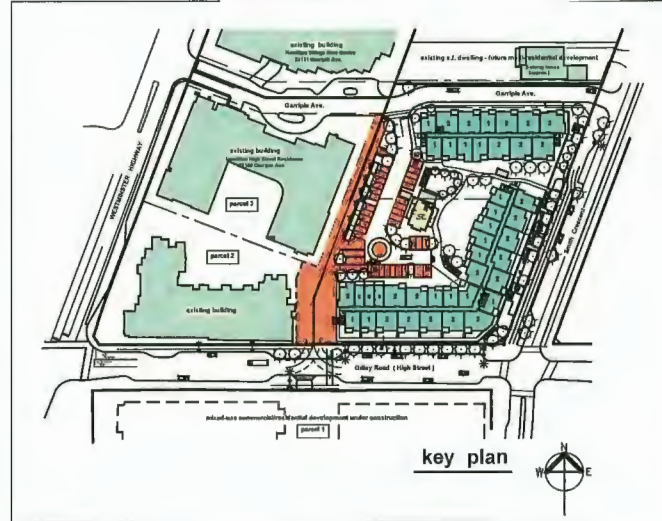
NOTE: This page is only a reference to help explain the background of this project.

<p>Kenneth Kim Architecture Inc t: 778-379-9918 f: 604-800-0775 e: kkimrth@khal.ca 211-2223 West Broadway Vancouver, B.C. V6K 2E4</p>	<p>THIS DRAWING MUST NOT BE SCALED. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT.</p> <p>COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND SHALL REMAIN AT ALL TIMES THE EXCLUSIVE PROPERTY OF KENNETH KIM ARCHITECTURE INC. AND MAY NOT BE USED OR REPRODUCED WITHOUT PRIOR WRITTEN CONSENT.</p>	<p>Project Title 6-UNIT TOWNHOUSE</p> <p>6500 Conney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC</p>	<p>Consultants</p>	<table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Revision</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>May 8 2024</td> <td>Issued for DPP</td> </tr> </tbody> </table>	No.	Date	Revision	1	May 8 2024	Issued for DPP	<p>Sheet Title PROJECT HISTORY/ OLD SITE PLAN</p>	<p>File number: _____ Scale: _____</p> <p>Drawn: CL Dwg. no. _____</p> <p>Checked: KK</p> <p>Print date: May 8, 2024</p>	<p>A7.2</p>
		No.	Date	Revision									
1	May 8 2024	Issued for DPP											

Schedule 4 to the Minutes of the Development Permit Panel meeting held on Wednesday, May 15, 2024

consultants :

OWNER :	MASKEEN (HAMILTON) PROPERTIES CORP. TEL: (604) 502-9096 fax: (604) 502-9035 email info@maskeen.ca
SURVEYOR :	UNDERWATER LAND SURVEYING LTD. TEL: (604) 574-7311 fax: (604) 574-3018 email matt@underwater.ca
CIVIL ENGINEER :	H.Y. ENGINEERING/SURVEYING TEL: (604) 583-1616 fax: (604) 583-1737 email hyengineering.com
TRAFFIC ENGINEER :	CTS TRAFFIC ENGINEERING TEL: (604) 936-6190 fax: (604) xxx-xxxx email gvlieg@cts-bc.com
ARBORIST :	ARBORTECH CONSULTING TEL: (604) 276-3484 fax: (604) 276-9554 email norm@arbortechbc.ca
LANDSCAPE ARCH. :	PMG LANDSCAPE ARCHITECTS TEL: (604) 294-0011 fax: (604) 294-0022 email Ben@pmglandscape.com
CODE CONSULTANT :	PONTEM GROUP TEL: (604) 363-7329 email echen@pontemgrp.com



drawing list :

A-0	cover sheet
A-1	project data
A-2	parkade plan
A-3	site plan/ground floor plan
A-4	plans - levels 2 through 5
A-5a-A5b	building A elevations
A-5c	building B elevations
A-6a	streetscapes
A-6b	streetscapes
A-7	site sections
A-8a-8b	detail site sections
A-9	site details
A-10a-10b	apartment unit plans
A-10c	affordable opt. unit plans
A-10d	opt. unit distribution
A-10e	bylaw floor area calculation
A-10f	detail floor plans - lobbies
A-11a	amenity building plans
A-11b	amenity building elevations
A-12	community police office
A-13	shadow costs
A-14a	model views
A-14b	model views
A-14c	model views
S-2	site grading plan
S-3	dedications & R.O.W.s
S-5	construction phasing plan



view from north-west



view from south-east

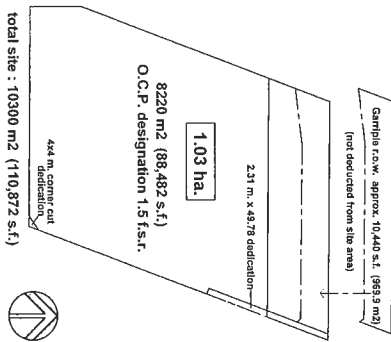
cover sheet

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

ADP submission
Feb. 26, 2024
revised to May 6, 2024

A0

05	4-02-24	re-based for E.P.	
04	2-26-24	re-based for DP/ADP	
03	4-12-23	re-based for DP	
02	4-12-23	re-based for DP	
01	10-09-21	re-based for rezoning	
			Drawn
			Date
			Description
Ionic Architecture Inc. Architects C.I.B.C. 200-1111 West 10th Street Vancouver, BC V6H 1T1 Tel: (604) 271-1111 Fax: (604) 271-1111 Email: info@ionic-arch.com			
Sheet	Drawing Title	cover sheet	
as noted	Date	February 2024	
Number	Project No.	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	
04	21-2138	A-0	



Project data :

Proposed zoning : ZMUS3 Neighbourhood Village Centre (Hamilton)

Site area : 110,872 s.f. (10300 m² = 1.03ha)

(after road dedications)

building areas :

Block A -	
ground floor -	24,696 s.f.
2nd floor -	22,374 s.f.
3rd floor -	22,374 s.f.
4th floor -	22,374 s.f.
5th floor -	22,374 s.f.
total -	114,152 s.f. (10,608.4 m ²)
Block B -	
ground floor -	12,892 s.f.
2nd floor -	12,892 s.f.
3rd floor -	12,892 s.f.
4th floor -	12,892 s.f.
total -	50,848 s.f. (4,723.8 m ²)

total buildings A & B - 165,000 s.f. (15,332.2 m²)

total office rooms

F.A.R. = 114,401 + 50,475 = 164,877 / 110,872 = 1.48Z

site coverage : 4223 m² 43%

Unit Types :

Unit	Blkg. A :	Blkg. B :	total :
studio	55	2	57
1-bedroom	23	76	99
2-bedroom	59	87	146
3-bedroom	18	8	26
total	155	103	258

parking provision :

required per building :	
standard apt. -	187 x 1.4 = 264 (TDM rate)
affordable apt. -	19 x 1 = 19
CPD -	1500
commercial -	743 m ²
total req'd -	2535 Spaces
provided -	24 surface spaces
	-285 spaces
	-255 spaces
	(TDMs to support 1.4 residential parking ratio - refer to CTR report)

bicycle parking required :

residential spaces required :	186 x 1.5 = 279 spaces
provided :	279 spaces
commercial spaces required :	5 spaces total
provided :	2 class 1, bike lockers in parkade
	(2 spaces within CPD not counted)

Indoor amenity :

required : 1,076 s.f. (100 m²)

provided : 2,550 s.f. (238 m²)

outdoor amenity :

required : 786 x 6 = 4,716 m² (12,013 s.f.)

provided : approx. 13,200 s.f. = 1226 m²

building height :

max. allowed per bylaw :	4-storey & 17.0 m. (55.77 ft.)
proposed height :	4-storey & 16.58 m. (54.51 ft.) fronting Gully
	5-storey & 20.0 m. (65.61 ft.) side
	5-storey & 19.98 m. (65.51 ft.) side B

project data

Rev	Date	Description
06	4-20-21	revised for final for O.P.
05	10-27-21	revised for final for O.P.
04	12-10-21	revised for final for O.P.
03	12-10-21	revised for final for O.P.
02	4-21-21	revised for final for O.P.
01	10-15-20	issued for review
		issued for review

Sheet	of	Drawings
A-1	1	

Date	Project Name
February 2022	proposed development

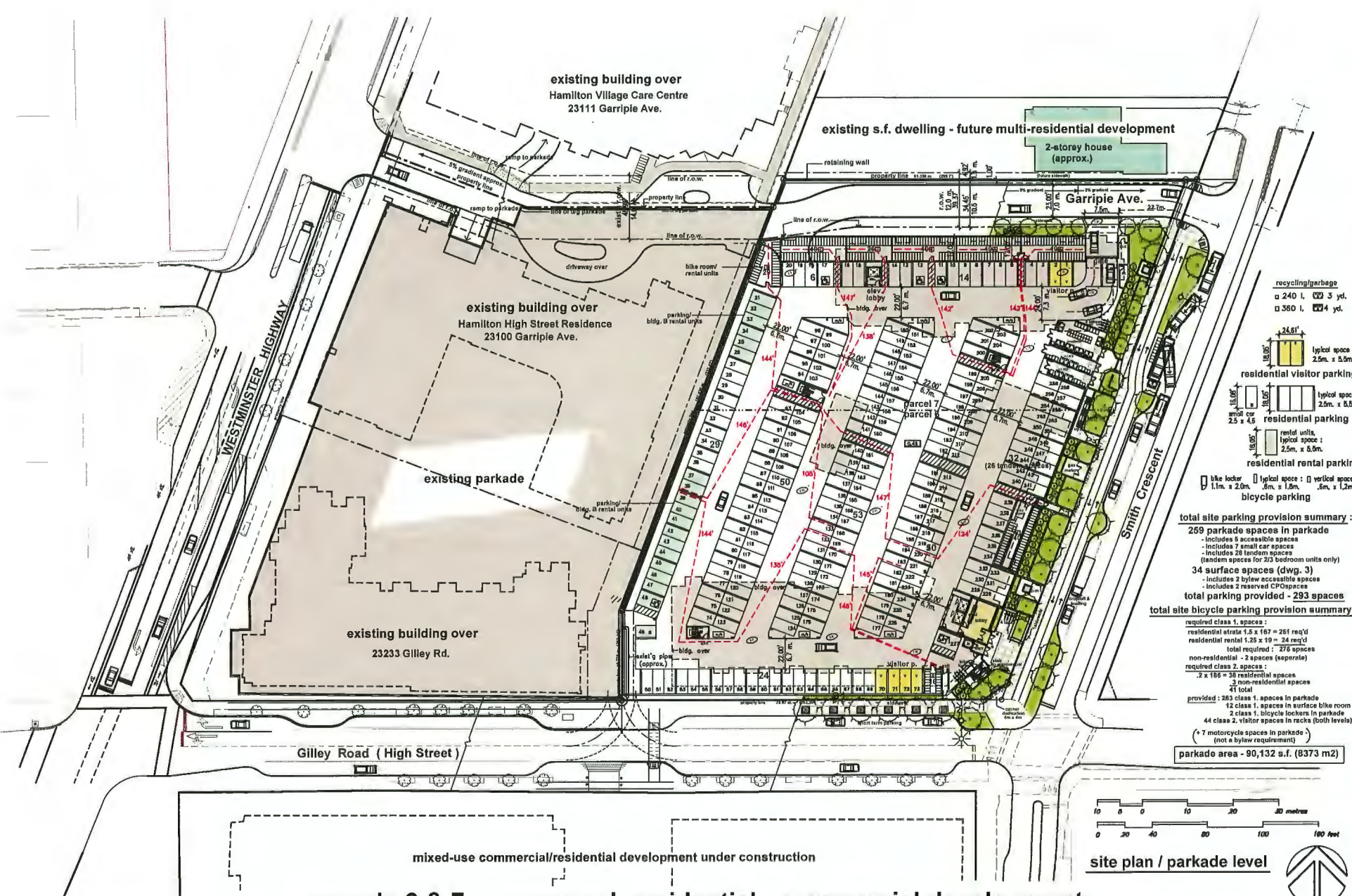
Scale	Project No.
1:1	21-2138

parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

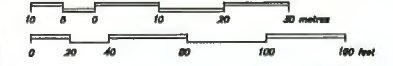
ADP submission
Feb. 26, 2024
revised to April 12, 2024



- recycling/garbage
 - 240 l. 3 yd.
 - 360 l. 4 yd.
- residential visitor parking
 - typical space: 2.5m x 5.5m
- residential parking
 - typical space: 2.5m x 8.5m
- residential rental parking
 - typical space: 2.5m x 8.5m
- bicycle parking
 - typical space: 1.1m x 2.0m
 - vertical space: .8m x 1.8m, .8m x 1.2m

total site parking provision summary:
 269 parkade spaces in parkade
 - includes 6 accessible spaces
 - includes 7 small car spaces
 - includes 28 tandem spaces (tandem spaces for 20 bedroom units only)
 34 surface spaces (dwg. 3)
 - includes 2 bylaw accessible spaces
 - includes 2 reserved CPD spaces
total parking provided - 293 spaces

total site bicycle parking provision summary:
 required class 1, spaces:
 residential strata 1.5 x 167 = 251 req'd
 residential rental 1.25 x 19 = 24 req'd
 total required: 275 spaces
 non-residential - 2 spaces (separate)
 required class 2, spaces:
 2 x 186 = 38 residential spaces
 3 non-residential spaces
 41 total
 provided: 263 class 1, spaces in parkade
 12 class 1, spaces in surface bike room
 2 class 1, bicycle lockers in parkade
 44 class 2, visitor spaces in parkade (both levels)
 (+ 7 motorcycle spaces in parkade - not a bylaw requirement)
parkade area - 90,132 s.f. (8373 m2)



site plan / parkade level



Rev.	Date	Description
01	2-22-24	issued for DP
02	11-27-23	issued for D.P. submission
03	7-17-23	issued for resubmission
04	4-12-23	issued for resubmission
05	10-05-23	original resubmission

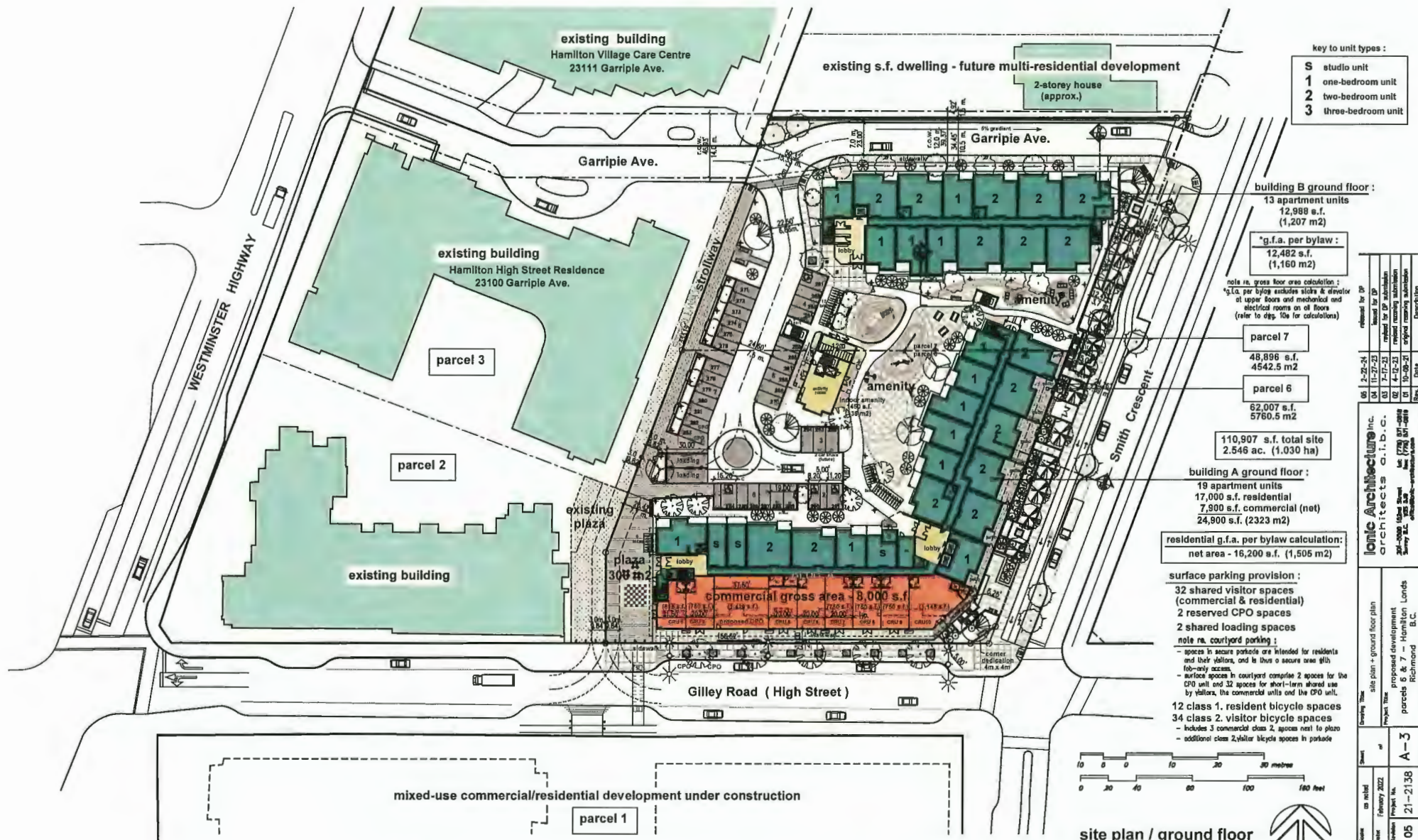
Ionic Architecture Inc. architects G.I.B.C. 201-880-1640 1000-1000 Richmond B.C.	site plan - parkade level proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
--	--

05 21-21-38 A-2	05 21-21-38 A-2
-----------------------	-----------------------

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission
 Feb. 26 2024
 revised to May 6 2024

issued for D.P.



key to unit types :

- S studio unit
- 1 one-bedroom unit
- 2 two-bedroom unit
- 3 three-bedroom unit

building B ground floor :
13 apartment units
12,988 s.f.
(1,207 m²)

*g.f.a. per bylaw :
12,482 s.f.
(1,160 m²)

note re. gross floor area calculation :
*g.f.a. per bylaw excludes stairs & elevator
at upper floors and mechanical and
electrical rooms on all floors
(refer to diag. 10a for calculations)

parcel 7
48,896 s.f.
4542.5 m²

parcel 6
62,007 s.f.
5760.5 m²

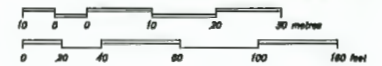
110,907 s.f. total site
2.546 ac. (1.030 ha)

building A ground floor :
19 apartment units
17,000 s.f. residential
7,900 s.f. commercial (net)
24,900 s.f. (2323 m²)

residential g.f.a. per bylaw calculation:
net area - 16,200 s.f. (1,506 m²)

surface parking provision :

- 32 shared visitor spaces (commercial & residential)
- 2 reserved CPO spaces
- 2 shared loading spaces
- note re. courtyard parking :
 - spaces in secure parkade are intended for residents and their visitors, and to thus a secure area with 100%-only access.
 - surface spaces in courtyard comprise 2 spaces for the CPO unit and 32 spaces for short-term shared use by visitors, the commercial units and the CPO unit.
- 12 class 1. resident bicycle spaces
- 34 class 2. visitor bicycle spaces
 - includes 3 commercial class 2, spaces next to plaza
 - additional class 2, visitor bicycle spaces in parkade



site plan / ground floor



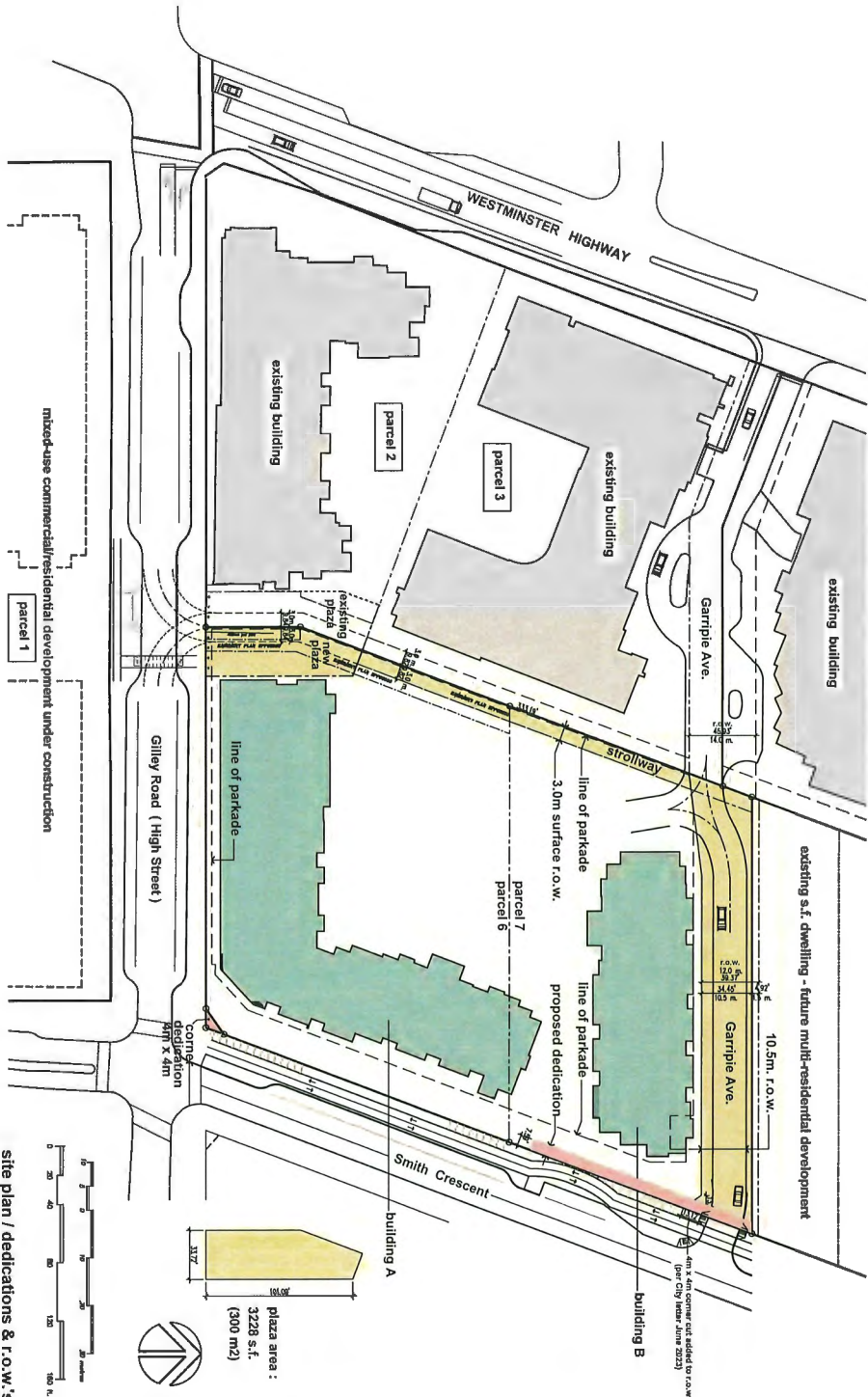
Rev.	Date	Description
06	2-20-24	released for DP
04	11-27-23	revised for DP submission
03	7-17-23	revised for DP submission
02	4-12-23	revised remaining submission
01	10-05-21	original master submission

Sheet	of	Drawn	Checked	Date	Project Name	Project No.	Parcel No.	Location
05	21	21-38	A-3	05	proposed development parcels 6 & 7 - Hamilton Lands			Richmond B.C.

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

issued for D.P.

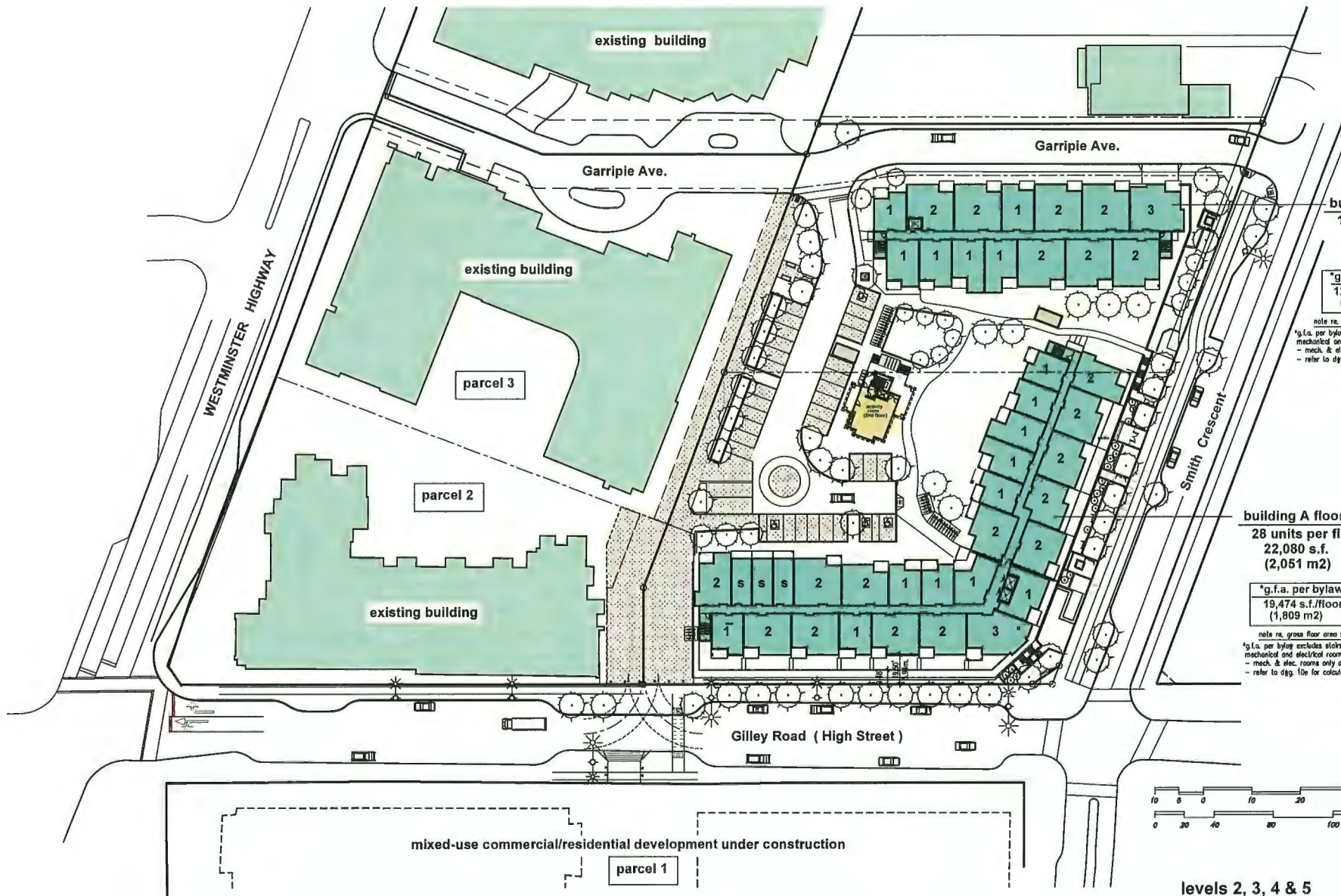
ADP submission
Feb. 26 2024
revised to May 6 2024



Issue	as noted	Sheet	of	Project title	site plan - dedications & r.o.w.'s	ionic Architecture Inc. architects a.l.b.c. 200-555-1111 1000-1000 1000-1000 1000-1000	01 2-28-21 submitted for OZ/AP 02 10-27-21 issued for OZ 03 7-31-21 issued for coordination Res. Date Description
Date	July 2023			Project title	proposed development		
Issue	21-2138	A3a		Project title	parcels 6 & 7 - Hamilton Lands Richmond B.C.		

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission for review
 May 8 2024
3a



- key to unit types :
- S** studio unit
 - 1** one-bedroom unit
 - 2** two-bedroom unit
 - 3** three-bedroom unit

building B floors 2,3,4 :
 14 units per floor
 13,072 s.f./floor
 (1,215 m²)

***g.f.a. per bylaw :**
 12,712 s.f./floor
 (1,181 m²)

note re. gross floor area :
 *g.l.a. per bylaw excludes stairs, elevators and mechanical and electrical rooms on all floors
 - mech. & elec. rooms only on ground floor
 - refer to dpg. 10e for calculations

building A floors 2,3,4,5 :
 28 units per floor
 22,080 s.f.
 (2,051 m²)

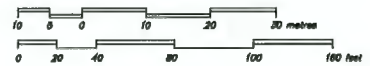
***g.f.a. per bylaw :**
 19,474 s.f./floor
 (1,809 m²)

note re. gross floor area :
 *g.l.a. per bylaw excludes stairs, elevators and mechanical and electrical rooms on all floors
 - mech. & elec. rooms only on ground floor
 - refer to dpg. 10e for calculations

Rev.	Date	Description
01	2-20-24	issued for DP
02	11-27-23	issued for U.P. submission
03	7-17-23	revised for zoning
04	4-12-23	original zoning submission
05	10-05-23	original zoning submission

Ionic Architecture inc.
 architects
 201-888-1888
 201-888-1888
 201-888-1888

proposed development
 parcels 6 & 7 - Hamilton Lands
 Richmond B.C.



levels 2, 3, 4 & 5

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

issued for D.P.

ADP submission
 Feb. 26 2024
 revised to May 6 2024



A2 east elevation - to Smith Crescent

EXTERIOR MATERIALS & FINISHES :		EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOUR	MATERIAL / FINISH	COLOUR
① STONE	IKL - WARTON ESTATE STONE	① WINDOWS & DOORS :	
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY	COMMERCIAL UNITS -	BLACK ALUMINUM FRAMES CLEAR GLASS
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY	RESIDENTIAL UNITS -	BLACK VINYL & CLEAR GLASS
④ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE	④ AMENITY BUILDING	WHITE ENAMEL FRAMES & CLEAR GLASS
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE	⑤ HARDIE FASCIA	TIMBER BARK
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE	⑥ CONCRETE	NATURAL CONCRETE
⑦ FAST PLANK SYSTEM	DARK WALNUT	⑦ ALUM. AND GLASS RAILING	BLACK ENAMEL ALUM. & CLEAR GLASS
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC	⑧ GLASS CANOPY	CLEAR GLASS
		⑨ COMMERCIAL SIGNAGE / SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1 1/2 IN+ 4IN)



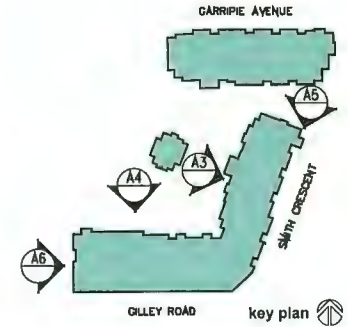
A1 south elevation - to Gilley Road 'High Street'

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26 2024
revised to May 6 2024

5a

Scale	A1 1/4" = 1'-0"	Sheet	A5a	Drawing Title	building A_south & east elevations	Ionic Architecture Inc. architects a.i.b.c. 201-800-1042 ext. 204 1055 W. 10th Ave. #100 Surrey B.C. V4L 1C6 604-592-2222	04 4-10-24 revised per ADP comments 03 2-20-24 released for D.P. 02 11-27-23 issued for D.P. 01 8-30-23 based for review
Date	AUGUST 2023	of	1	Project Title	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands Richmond B.C.		Date
Revision	04 21-2135	Project No.		Author		Per.	



EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOUR
① STONE	IXL - HARTON ESTATE STONE
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRÄIE - NIGHT GRAY
③ JAMES HARDIE PANELS	SMOOTH - PRÄIE - NIGHT GRAY
④ JAMES HARDIE PANELS	SMOOTH - PRÄIE - ARCTIC WHITE
⑤ JAMES HARDIE PANELS	SMOOTH - PRÄIE - COBBLE STONE
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRÄIE - ARCTIC WHITE
⑦ FAST PLANK SYSTEM	DARK WALNUT
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC
⑨ WINDOWS & DOORS - COMMERCIAL UNITS	BLACK ALUMINUM FRAMES CLEAR GLASS
RESIDENTIAL UNITS	BLACK VINYL & CLEAR GLASS
⑩ JAMES HARDIE FASCIA	PRIME COLOR - PEWTER METALLIC
⑪ CONCRETE	NATURAL CONCRETE
⑫ METAL AND GLASS RAILING	BLACK / NATURAL ANOD. ALUM.
⑬ METAL & GLASS CANOPY	PATTERNED GLASS
⑭ COMMERCIAL SIGNAGE	(VARIES, 3D ILLUMINATED)
⑮ SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1/2" x 4")

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

ADP submission
 Feb. 26 2024
 revised to May 6 2024

5b

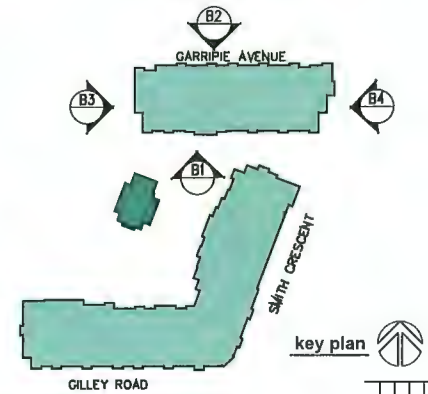
Rev.	Date	Description
01	4-20-24	revised per ADP comments
02	2-20-24	revised for D.P.
03	11-27-23	issued for DP
04	8-30-23	issued for review

Ionic Architecture Inc. architects o.i.b.c. 201-800-1234-5678 Suite 100 1234 Main St. Richmond, B.C.	Project No. A5a
--	---------------------------

Drawing Title building _north & west elevations	Sheet of
Date AUGUST 2023	Project No. D4 21-2138
Revision 04	Project No. 21-2138



B1 - south elevation to courtyard



key plan



B3 - west elevation

EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOR
① STONE	DL - WARTON ESTATE STONE
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY
④ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE
⑥ JAMES HARDIE SOFT	SMOOTH - PRIME - ARCTIC WHITE
⑦ FAST PLANK SYSTEM	DARK WALNUT
⑧ ALU METAL PANEL SOLUTION	PENNER METALLIC
⑨ WINDOWS & DOORS - COMMERCIAL UNITS	BLACK ALUMINUM FRAMES
	CLEAR GLASS
	BLACK VINYL & CLEAR GLASS
⑩ JAMES HARDIE FASCIA	PRIME COLOR - PENNER METALLIC
⑪ CONCRETE	NATURAL CONCRETE
⑫ METAL AND GLASS RAILING	BLACK / NATURAL ANOD. ALUM.
⑬ METAL & GLASS CANOPY	PATTERNED GLASS
⑭ COMMERCIAL SIGNAGE	(VARIES, 3D ILLUMINATED)
⑮ SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC
	DARK WALNUT (1/2" x 4")



B4 - east elevation



B2 - north elevation to Garrippe Avenue

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

building B elevations

Rev.	Date	Description
01	2-20-24	released for D.P.
02	11-27-23	based for D.P.
03	5-04-23	based for rev. 1

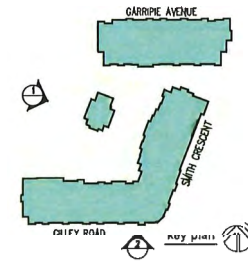
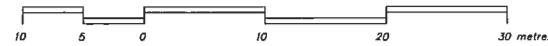
Ionic Architecture Inc.		building B elevations	
architects g.i.b.c.		PROJECT TITLE	
297-4000 Island Street		PROPOSED DEVELOPMENT	
Vancouver, BC V6L 3A9		parcels 6 & 7	
Tel: (778) 871-0810		Hamilton Lands	
Fax: (778) 871-0808		Richmond B.C.	
www.ionicarch.com		Sheet	
		of	
Issue		A5C	
As Noted		August 2023	
Date		03	
Revision		21-2135	

ADP submission
May 6, 2024

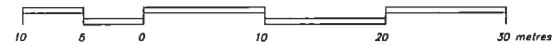
5c



streetscape to 'strollway'



streetscape to Gilley Road 'High Street'



Smith Crescent

streetscapes

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

ADP submission
Feb. 26 2024
revised to May 6 2024

6a

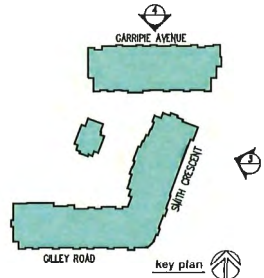
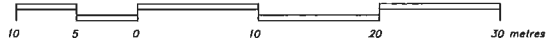
Scale	As Noted	Sheet	of	Drawing Title	05	2-26-24	revised for DP
Date	March 2022			streetscapes - Gilley Road & strollway	04	11-27-23	based for DP
Revision				proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	03	4-10-23	based for zoning
					02	5-18-22	revised for review
					01	2-26-22	based for review
							Description

Ionic Architecture Inc.
Architects O.I.B.C.
201-555-1234 Street
Vancouver B.C. V6A 1A1
www.ionic-arch.com

Project No. A-60
21-2136



streetscape to Garripie Avenue



streetscape to Smith Crescent



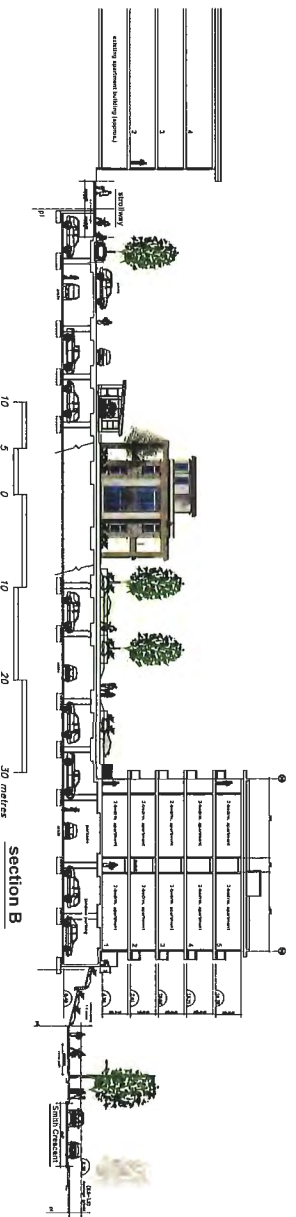
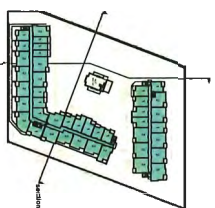
streetscapes

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands **Richmond B.C.**

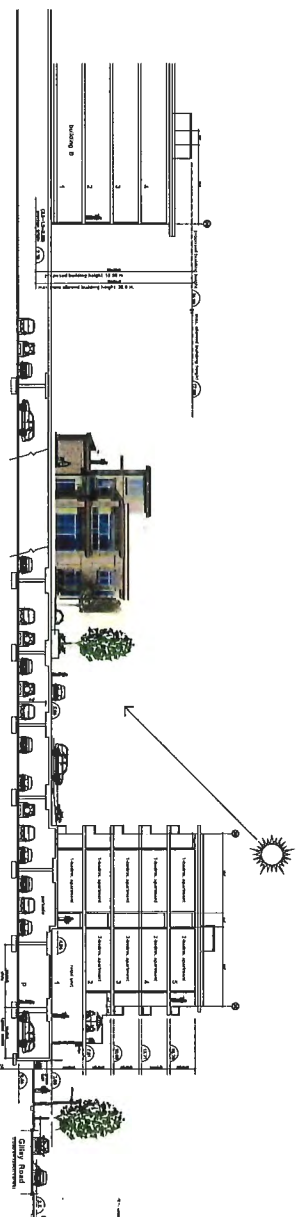
ADP submission
 Feb. 26 2024
 revised to May 6 2024

6b

Drawing Title: streetscapes - Smith Cres. & Garripie Ave.		Drawing No. / Project No.:	
Sheet: of		Project No.:	
Date: March 2022	Revision: 03	6b	
Scale:		03	
Drawing by: Streetscapes - Smith Cres. & Garripie Ave. Architects a.i.b.c. 200-600 Island Street Suite 308 Surrey B.C. V4L 1W6 Phone: (779) 871-9918 Fax: (779) 871-9918 Website: www.ionicarchitects.com			
Proposed development: parcels 6 & 7 - Hamilton Lands Richmond B.C.			
Issue	Date	Revision	Description
03	11-27-23		issued for DP
02	11-22-23		issued for review
01	04-19-23		issued for rezoning



section B



section A

site sections

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

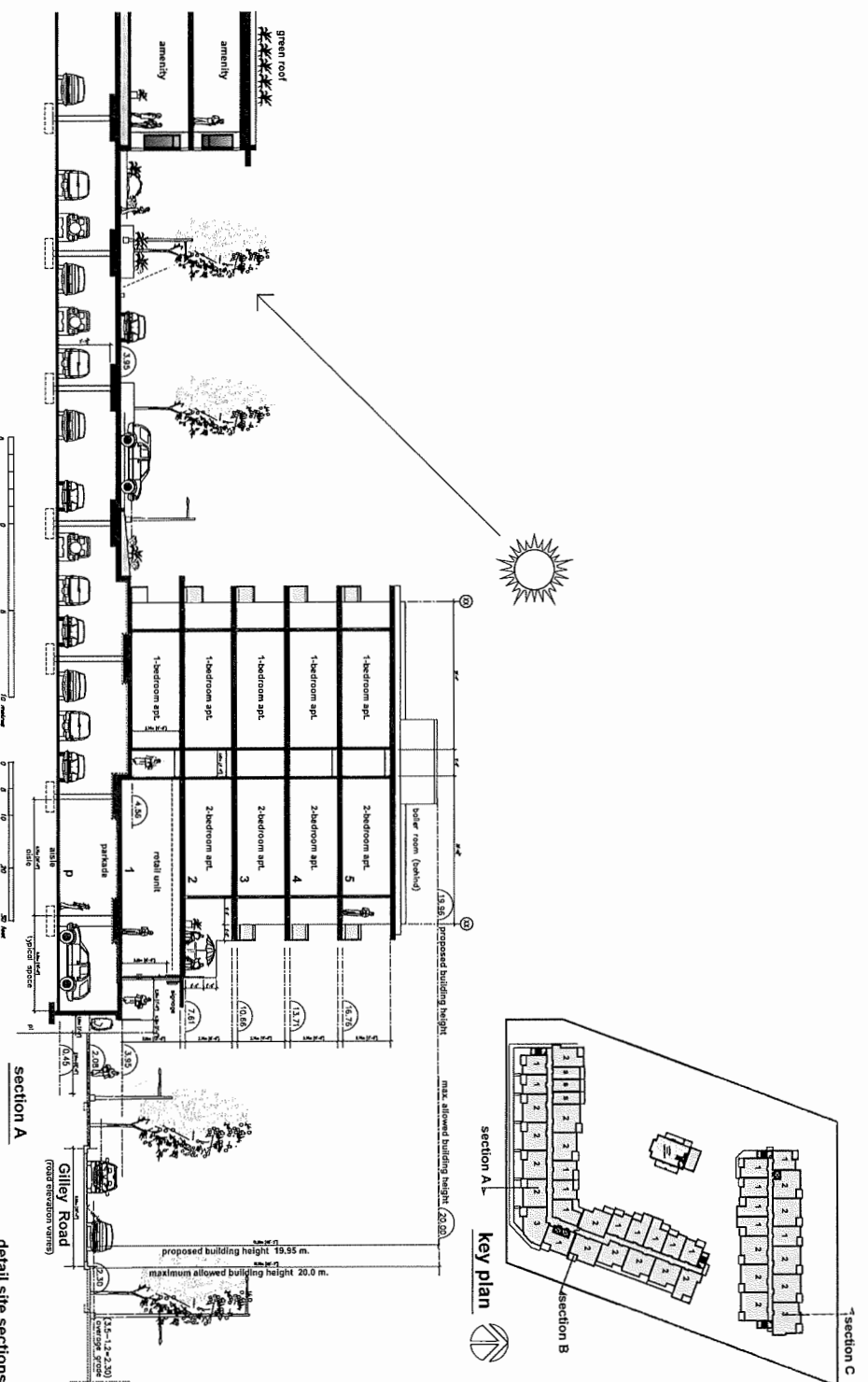
ADP submission
Feb. 26, 2024
revised to May 6, 2024

Sheet	as noted	Drawing Title	Project Name	Client	Date
04	21-2138	A7a	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	IONIC ARCHITECTURE INC.	August 2023

ionic Architecture inc.
architects a.i.b.c.

301-5002 Island Street, Suite 200, Richmond B.C. V6V 2G6
Tel: (778) 871-2618 Fax: (778) 871-2618
www.ionicarch.com email: info@ionicarch.com

Rev	Date	Description
04	7-26-21	Issued for ADP
03	11-27-23	Issued for GP
02	6-16-23	Issued for SR
01	4-12-23	Issued for rezoning



parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to May 9, 2024
8a

Rev	Date	Description
01	4-02-24	re-based for DP.
02	10-27-23	based for DP.
03	4-11-23	rebased for DP.
04	4-12-23	issued for rezoning.

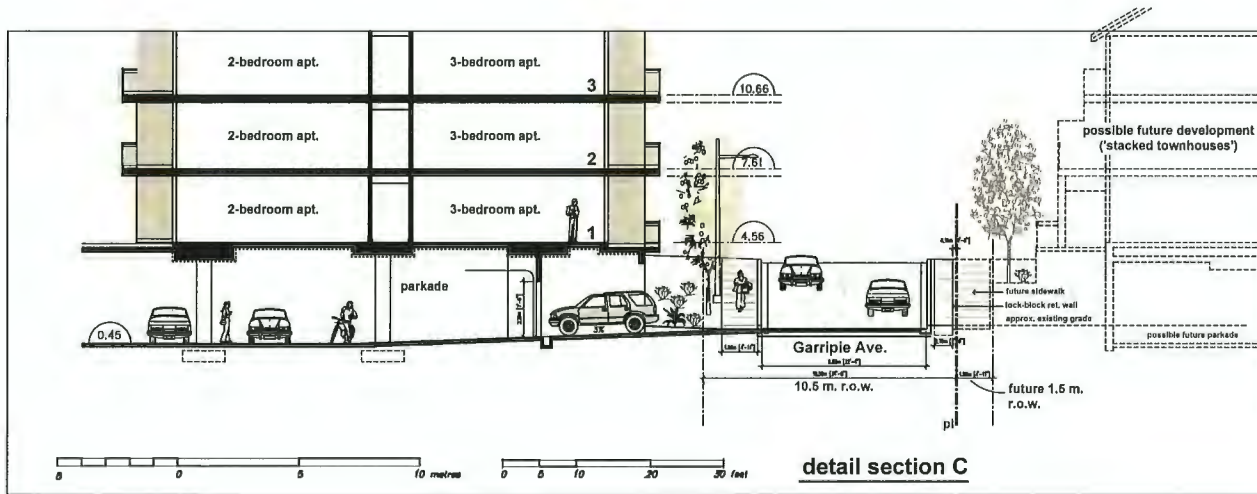
Rev	Date	Description
01	4-02-24	re-based for DP.
02	10-27-23	based for DP.
03	4-11-23	rebased for DP.
04	4-12-23	issued for rezoning.

Rev	Date	Description
01	4-02-24	re-based for DP.
02	10-27-23	based for DP.
03	4-11-23	rebased for DP.
04	4-12-23	issued for rezoning.

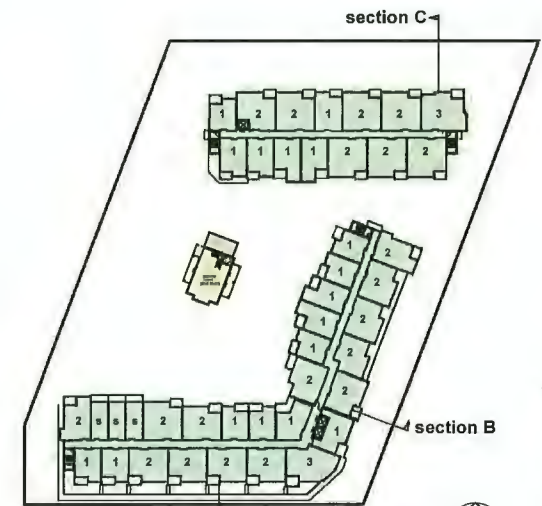
Ionic Architecture inc.
 architects a.i.b.c.
 201-5002 Howe Street
 Surrey, B.C. V3T 2V7
 Tel: (778) 877-8818
 Fax: (778) 877-8819
 www.ionic-architects.com

Drawn By: detail site sections
 Project No: proposed development
 Parcel No: parcels 6 & 7 - Hamilton Lands
 Location: Richmond B.C.

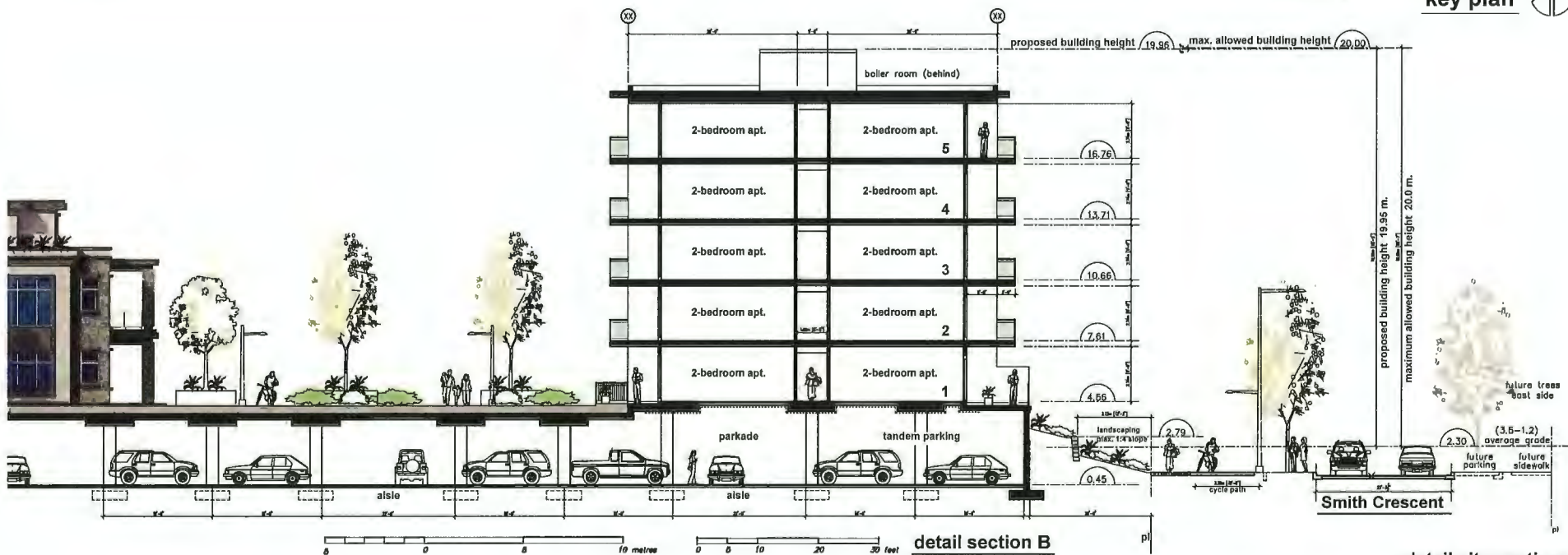
Scale: As Noted
 Date: March 2022
 Project No: 21-2138
 Parcel No: A-Ba



detail section C



key plan



detail section B

detail site sections

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26, 2024
revised to May 6, 2024

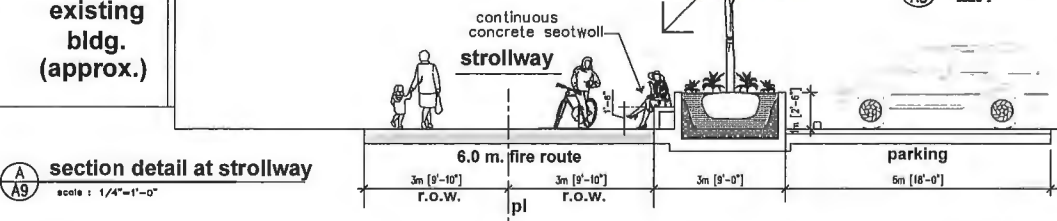
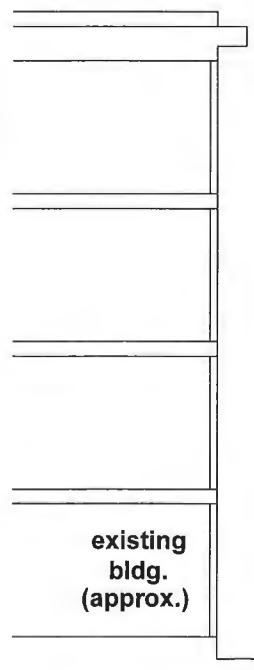
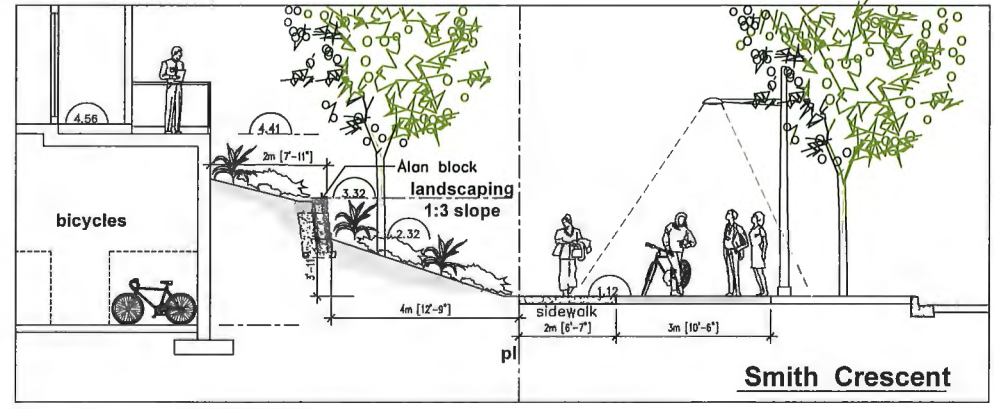
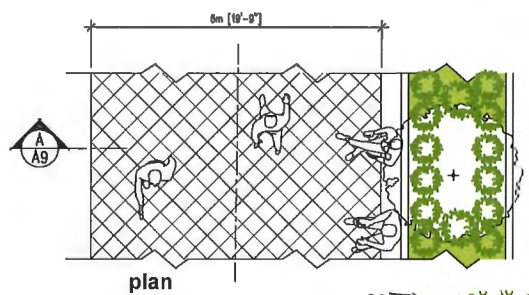
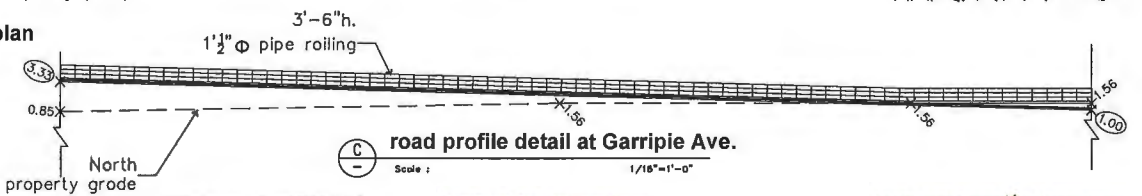
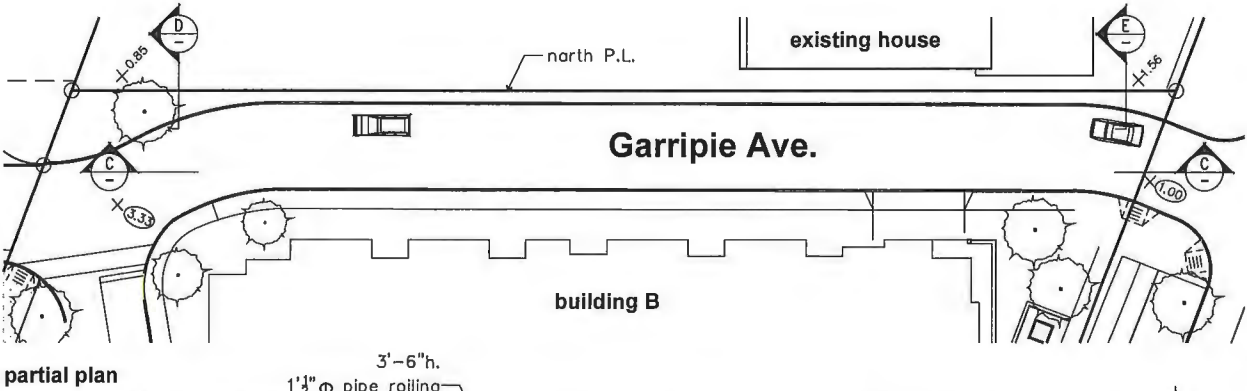
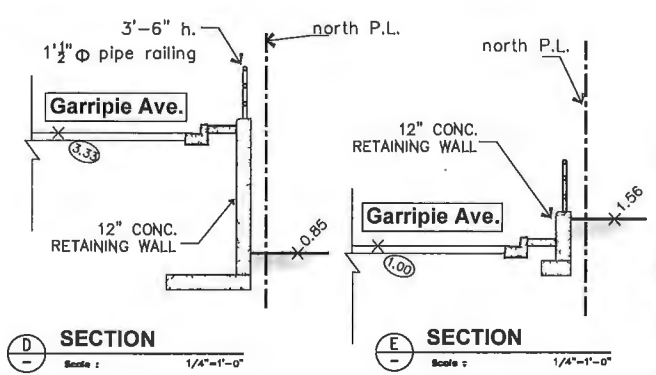
8b

Rev.	Date	Description
04	2-29-24	re-based for D.P.
03	05-27-23	based for D.P.
02	6-14-23	revised for D.P.
01	4-12-23	based for rezoning

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proposed development
parcels 6 & 7 - Hamilton Lands
Richmond B.C.

Sheet	As Noted	March 2022	Project No.	Revision
A-8b			21-2135	04



parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26, 2024
revised to May 6, 2024

Rev.	Date	Description
04	2-29-24	re-based for D.P.
03	11-27-23	based for U.P.
02	4-16-23	based for naming
01	3-29-22	based for review

Sheet	Site details
A-9	proposed development parcels 6 & 7 Richmond B.C.

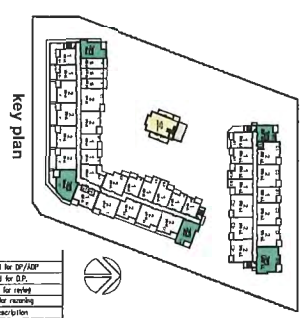
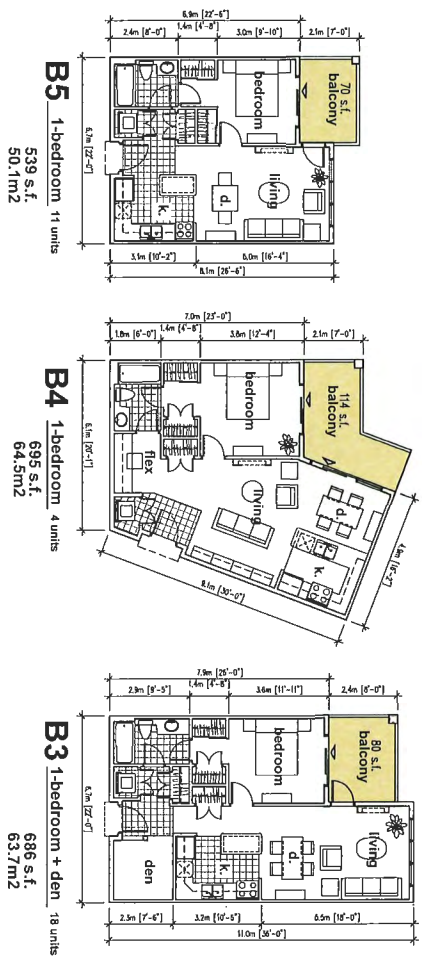
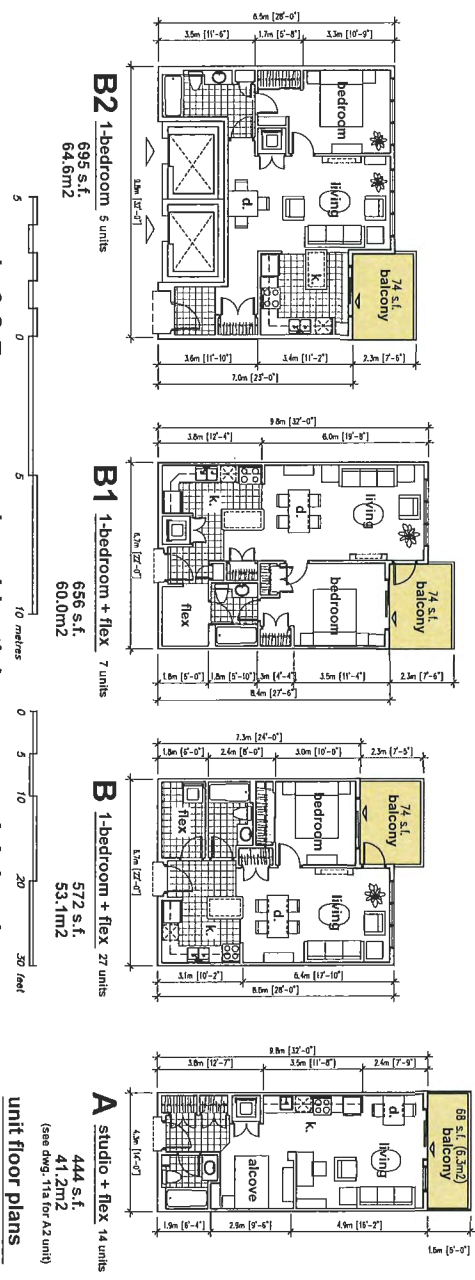
Drawn By	Checked By	Project No.	Project Title
As Noted	March 2024	21-2136	proposed development parcels 6 & 7 Richmond B.C.

Date	Revision	Project No.	Project Title
03	21-2136	21-2136	proposed development parcels 6 & 7 Richmond B.C.

Issued for D.P.

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
revised to May 9, 2024
10a



- key plan**
- A studio unit
 - B one-bedroom unit
 - C two-bedroom unit
 - D three-bedroom unit
- (refer to dwg. A.11s for locations)

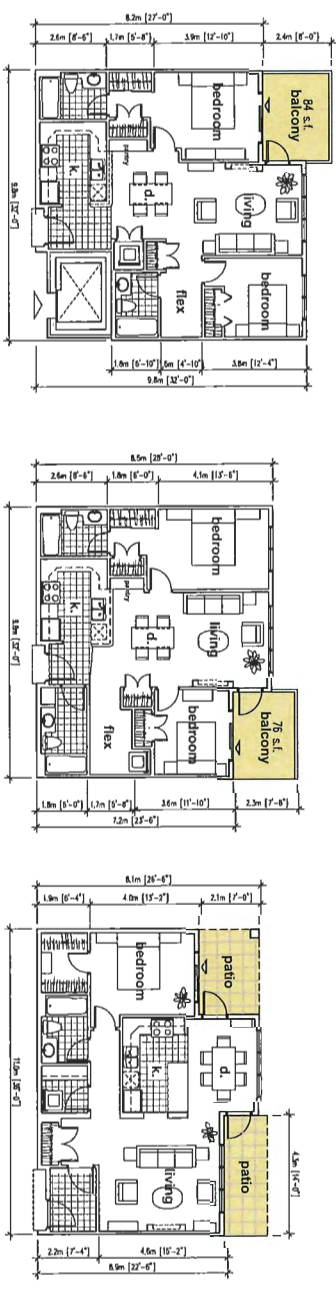
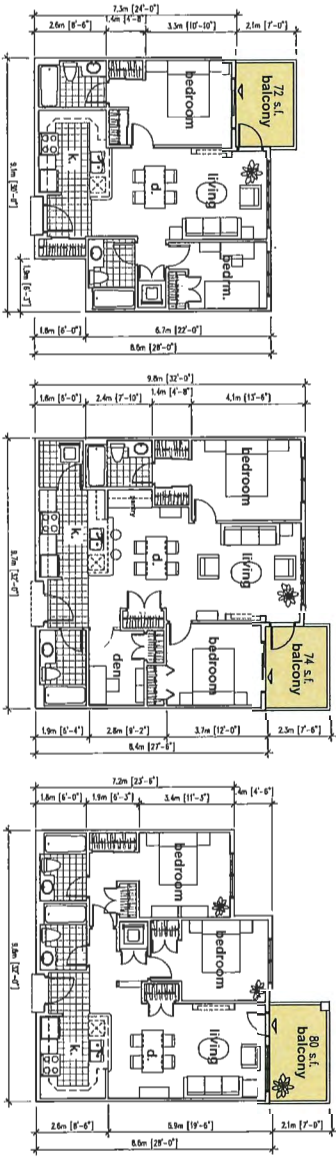
Unit	Area	Price
A	444 s.f. 41.2m ²	\$3.1m
B	572 s.f. 53.1m ²	\$3.1m
B1	656 s.f. 60.0m ²	\$3.1m
B2	695 s.f. 64.6m ²	\$3.1m
B3	686 s.f. 63.7m ²	\$3.1m
B4	695 s.f. 64.5m ²	\$3.1m
B5	539 s.f. 50.1m ²	\$3.1m

Rev	Date	Description
04	2-26-24	re-submitted for D.P./ADP
03	11-27-23	Issued for D.P.
02	12-29-23	checked for errors
01	12-12-23	Issued for review
00	12-12-23	Issued for review

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www.ionicarchitects.com

Rev	Date	Description
04	2-26-24	re-submitted for D.P./ADP
03	11-27-23	Issued for D.P.
02	12-29-23	checked for errors
01	12-12-23	Issued for review
00	12-12-23	Issued for review



Issued for D.P.

parcels 6 & 7 - proposed residential - commercial development

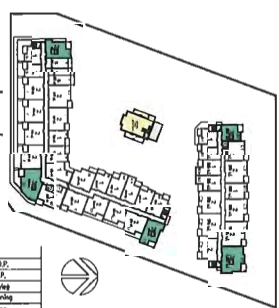
Hamilton Lands

Richmond B.C.

unit floor plans
+ 1 D2 unit - see dng. 10c
ADP submission
Feb. 26, 2024
revised to May 6, 2024

10b

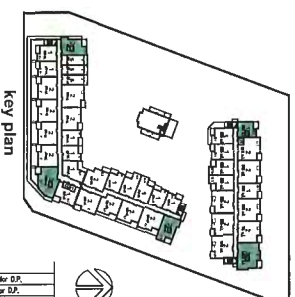
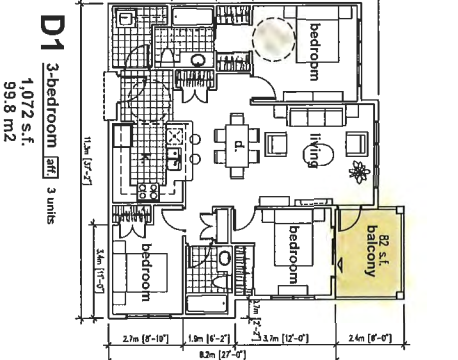
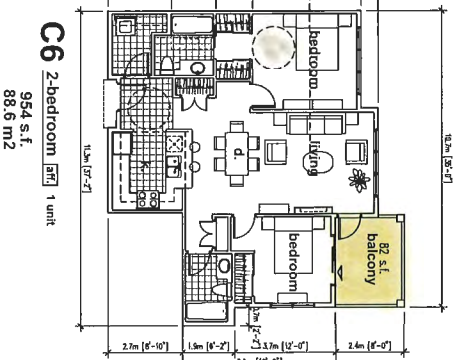
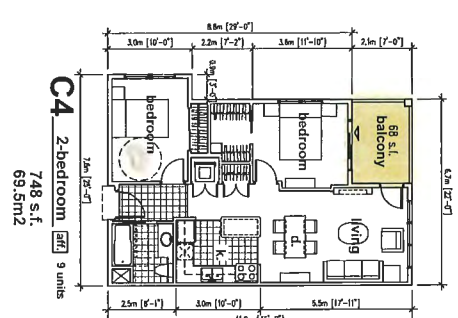
- Key plan**
- A studio unit
 - B one-bedroom unit
 - C two-bedroom unit
 - D three-bedroom unit
- (refer to dng. A.11s for locations)



Rev	Description	Date
01	issued for D.P.	2-26-24
02	based for D.P.	11-27-23
03	revised for review	8-25-23
04	based for rezoning	4-12-23
05		
06		

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Tel: 604.278.8777
www.ionicarchitects.com

Drawn	Checked	Project Name	Project No.
A10b		proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	21-2138



Key plan
 A studio unit
 B one-bedroom unit
 C two-bedroom unit
 D three-bedroom unit
 (refer to page 102 for all locations)

affordable housing data :

minimum unit areas per AH Strategy :

studio unit	400 s.f., 37 m2
1-bedroom unit	535 s.f., 50 m2
2-bedroom unit	741 s.f., 69 m2
3-bedroom unit	980 s.f., 91 m2

affordable units provided :

studio units	none
1-bedroom B5	2 x 552 = 1104 s.f.
2-bedroom C3	1 x 974 = 974 s.f.
2-bedroom C4	9 x 748 = 6732 s.f.
2-bedroom C6	1 x 954 = 954 s.f.
3-bedroom D1	3 x 1072 = 3216 s.f.
3-bedroom D2	3 x 1020 = 3060 s.f.
19 units total	= 16,040 s.f.

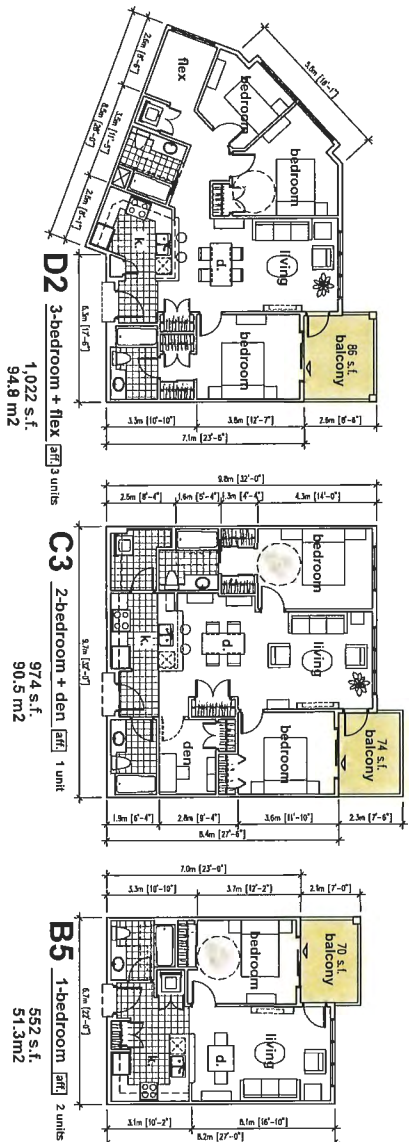
(min. required area : 15,695 s.f. - see 10e)

affordable unit percentages :

Z19	= 10.5% 1-bedroom units
F19	= 57.5% 2-bedroom units
G19	= 31.5% 3-bedroom units
100%	

all affordable units (19 units) to have Basic Universal Housing Renters per zoning S91aw section 4.1b

affordable units



issued for D.P.

parcels 6 & 7 - proposed residential - commercial development

10c

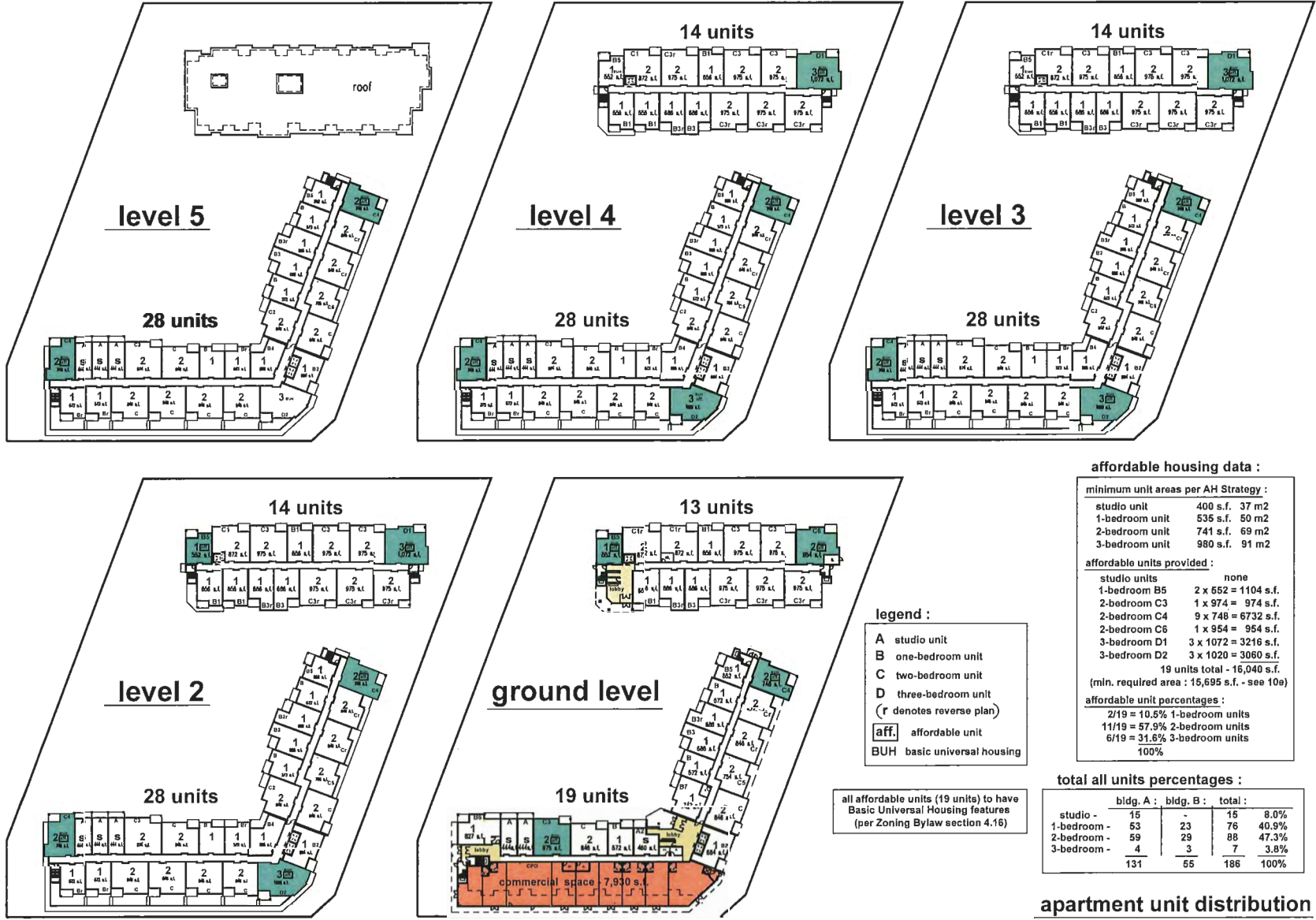
ADP submission
 Feb. 26, 2024
 revised to May 1, 2024

Hamilton Lands
 Richmond B.C.

ionic architects inc.
 architects o.i.d. o.
 201-800-1544
 1000-1000
 1000-1000
 1000-1000

Date	Revised for	Description
04	2-26-24	revised for D.P.
03	11-27-23	issued for D.P.
02	9-22-23	revised for reply
01	11-17-23	issued for meeting
00	01-17-23	initial design

Date	Revised for	Sheet	Drawing Title
03	21-2138	A10c	unit plans - affordable rental units
			proposed development
			parcels 6 & 7 - Hamilton Lands
			Richmond B.C.



parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands **Richmond B.C.**

affordable housing data :

minimum unit areas per AH Strategy :

studio unit	400 s.f.	37 m ²
1-bedroom unit	535 s.f.	50 m ²
2-bedroom unit	741 s.f.	69 m ²
3-bedroom unit	980 s.f.	91 m ²

affordable units provided :

studio units	none
1-bedroom B5	2 x 652 = 1104 s.f.
2-bedroom C3	1 x 974 = 974 s.f.
2-bedroom C4	9 x 748 = 6732 s.f.
2-bedroom C6	1 x 954 = 954 s.f.
3-bedroom D1	3 x 1072 = 3216 s.f.
3-bedroom D2	3 x 1020 = 3060 s.f.
19 units total - 16,040 s.f.	

(min. required area : 15,695 s.f. - see 10e)

affordable unit percentages :

2/19 = 10.5% 1-bedroom units
11/19 = 57.9% 2-bedroom units
6/19 = 31.6% 3-bedroom units
100%

total all units percentages :

	bldg. A :	bldg. B :	total :	
studio -	15	-	15	8.0%
1-bedroom -	53	23	76	40.9%
2-bedroom -	59	29	88	47.3%
3-bedroom -	4	3	7	3.8%
	131	55	186	100%

apartment unit distribution

ADP submission
 Feb. 26, 2024
 revised to May 6 2024

issued for D.P.



Rev.	Date	Description
04	2-22-24	revised for D.P.
03	11-27-23	based for D.P.
02	8-22-23	revised for review
01	4-15-23	based for review

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 304-4000 Steeles Street
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 email: info@ionic-architecture.com

Drawing Title: apartment unit distribution
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands
 Location: Richmond B.C.

Scale	Sheet	of
1/4" = 1'-0"	April 2023	A100
Revision	Project No.	04_21-2138

- A** studio unit
 - B** one-bedroom unit
 - C** two-bedroom unit
 - D** three-bedroom unit
- (refer to dwg. A-11a for locations)

saleable/rentable floor areas :

commercial area :

7,930 s.f. including CPO
(includes mech. & elec. spaces)

saleable residential area :

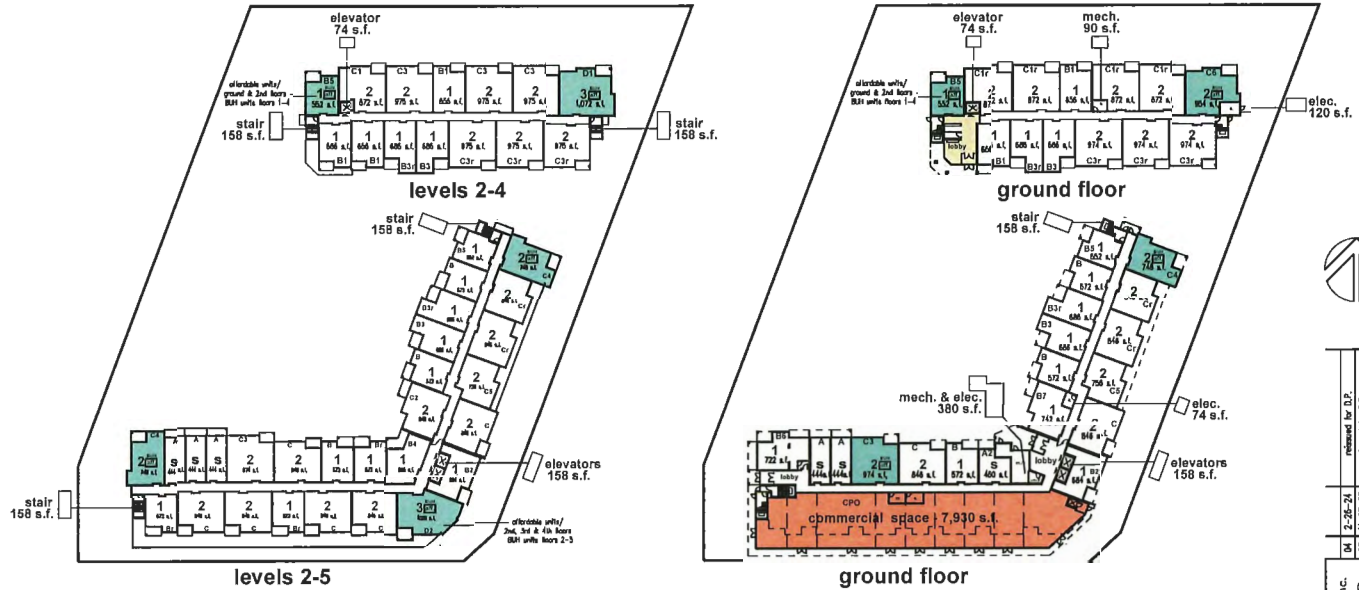
unit type	area	no. units	total area -
A	444 s.f.	14	6,216 s.f.
A1	460 s.f.	1	460 s.f.
B	672 s.f.	26	14,872 s.f.
B1	656 s.f.	7	4,592 s.f.
B2	695 s.f.	5	3,475 s.f.
B3	686 s.f.	18	12,348 s.f.
B4	695 s.f.	4	2,780 s.f.
B5	539 s.f.	11	5,929 s.f.
B6	827 s.f.	1	827 s.f.
B7	742 s.f.	1	742 s.f.
C	846 s.f.	36	30,456 s.f.
C1	872 s.f.	6	5,232 s.f.
C2	846 s.f.	4	3,384 s.f.
C3	975 s.f.	27	26,325 s.f.
C5	764 s.f.	5	3,770 s.f.
D2	1,020 s.f.	1	1,020 s.f.
totals -		167 units	122,571 s.f. (11387 m2)

rentable residential area :

uniy type	area	no. units	total area -
B6	552 s.f.	2	1,104 s.f.
C3	974 s.f.	1	974 s.f.
C4	748 s.f.	9	8,732 s.f.
C6	954 s.f.	1	954 s.f.
D1	1,072 s.f.	3	3,216 s.f.
D2	1,020 s.f.	3	3,060 s.f.
totals -		19 units	16,040 s.f. (1490.1 m2)

residential summary :

total units - 167 + 19 = **186 units**
total unit area - 122,571 + 16,158 = **138,729 s.f.**
(12,867.9 m2)



bylaw floor area calculation (net area for density calculation) :

building A :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	25,150 s.f. 2336.4 m2	---	---	454 s.f. ---	24,696 s.f. 2294.3 m2	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	22,848 s.f. 2122.5 m2	158 s.f. ---	316 s.f. ---	---	22,374 s.f. 2078.5 m2	
third	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fourth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fifth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
totals -	116,542 s.f. 10826.8 m2	632 s.f.	58.7 m2	1,264 s.f. 117.4 m2	454 s.f. 42.2 m2	114,192 s.f. 10608.4 m2

building B :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	13,012 s.f. 1208.8 m2	---	---	210 s.f. ---	12,802 s.f. 1189.3 m2	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	13,072 s.f. 1214.4 m2	74 s.f. ---	316 s.f. ---	---	12,682 s.f. 1178.2 m2	
third	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
fourth	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
totals -	52,228 s.f. 4852 m2	222 s.f.	20.5m2	948 s.f. 88.1 m2	210 s.f. 19.5 m2	50,848 s.f. 4723.8 m2

total bylaw floor area for site density calculation : 114,192 + 50,848 = 165,040 - (22 x 20') = 164,620 s.f. (*20 s.f./unit deduction for units with BUH features)

bylaw residential area for affordable housing provision requirement :

bylaw total area : 114,192 + 50,848 = 165,040 s.f. bylaw residential area : 165,040 - 7,930 = 157,110 s.f. x 10% = **15,711 s.f. required** area provided : 16,158 s.f.

issued for D.P.

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

floor area calculations

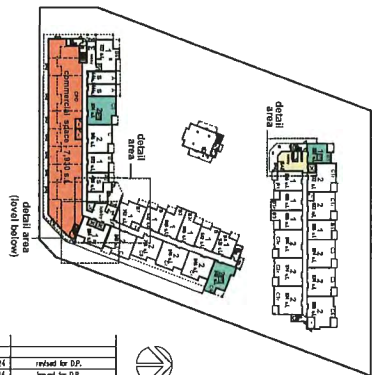
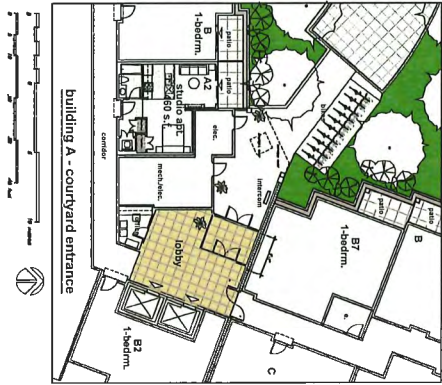
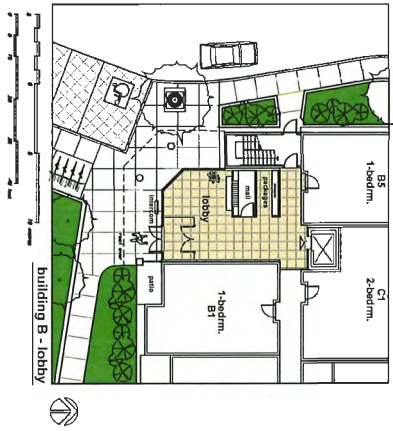
ADP submission
Feb. 26, 2024
revised to May 6 2024

10e

Ionic Architecture Inc.
Architects O.I.B.C.
200-1000 Wood Street, Suite 100
Surrey B.C. V3R 0P9
Tel: (779) 671-8818
www.ionic-architecture.com

Rev.	Date	By	Description
04	2-26-24		released for D.P.
03	11-27-23		issued for D.P.
02	8-22-23		revised for pricing
01	4-12-23		issued for permitting

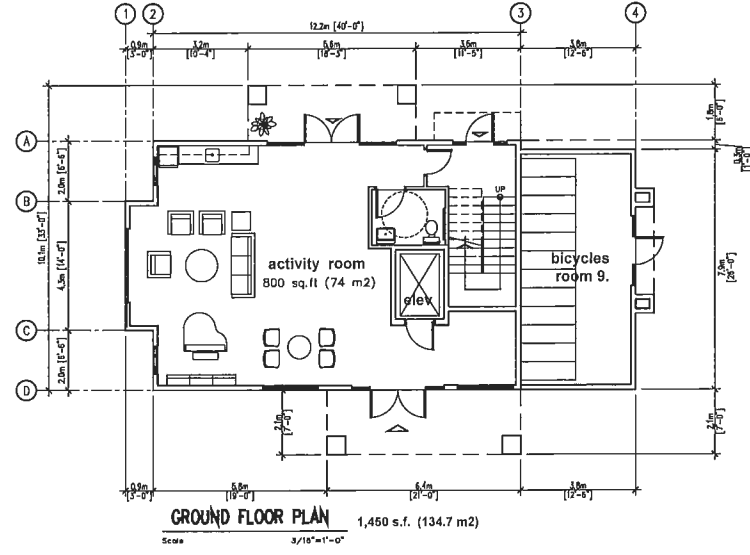
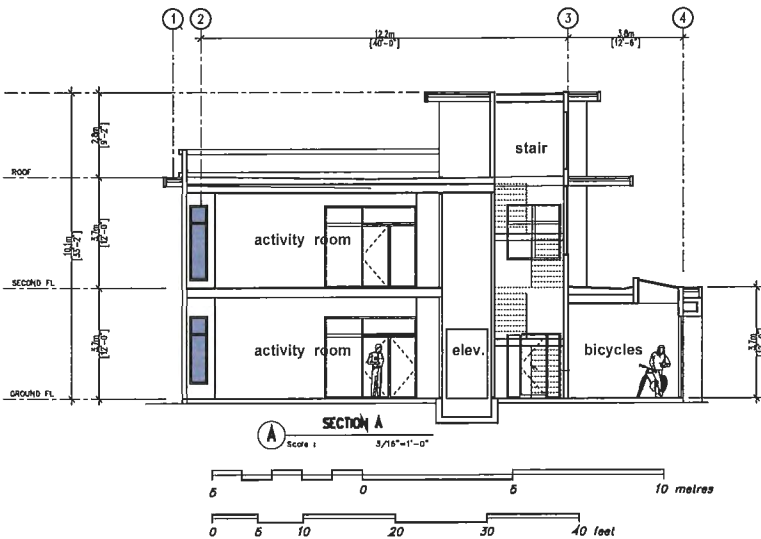
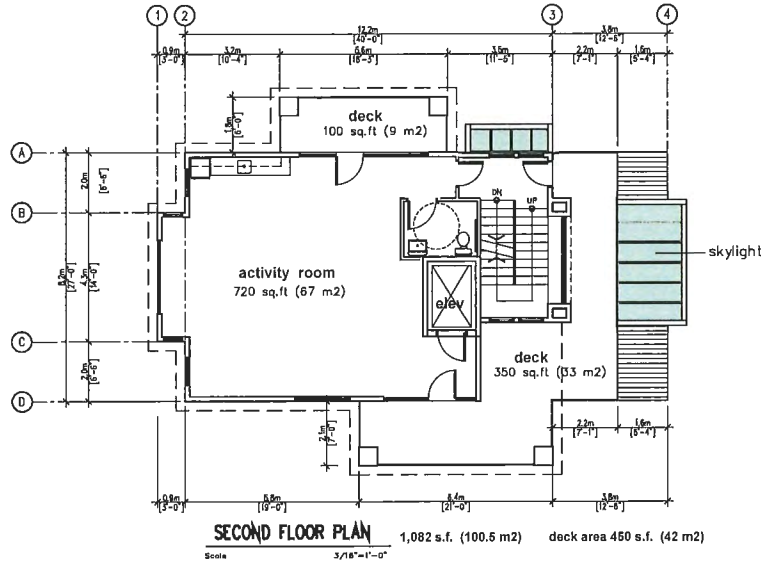
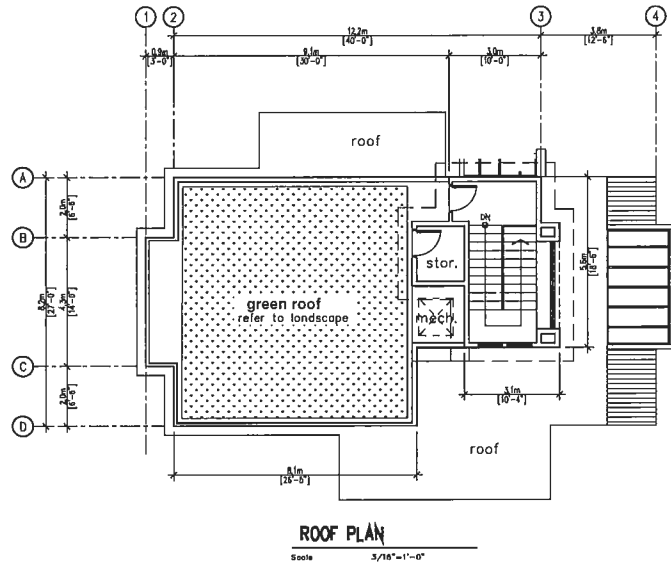
Drawing Title: floor area calculation for FAR
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Sheet: A10e of
Date: November 2023
Revision: 04 21-2138



Scale	as noted	Sheet	A10f	Drawn by	detail floor plans - apartment lobbies	ionic Architecture inc. architects o.l.b.c. 207-8002 Island Square Surrey B.C. V3R 6K1 Tel: 604-591-0116 Fax: 604-591-0118 www.ionic-architects.com	01	5-26-24	revised for D.P.
Date	Feb. 2024	Project No.	21-2138	Project Title	proposed development parcels 6 & 7 - Heritage Lands Richmond B.C.		02	7-19-24	issued for D.P.
Author		Revision				03	2-26-25	issued for review	
Drawn						04		issued for review	
Checked						05		issued for review	
Reviewed						06		issued for review	
Approved						07		issued for review	
Client						08		issued for review	
Contract						09		issued for review	
Notes						10		issued for review	
Comments						11		issued for review	
Revisions						12		issued for review	
Drawings						13		issued for review	
Specifications						14		issued for review	
Notes						15		issued for review	
Comments						16		issued for review	
Revisions						17		issued for review	
Drawings						18		issued for review	
Specifications						19		issued for review	
Notes						20		issued for review	
Comments						21		issued for review	
Revisions						22		issued for review	
Drawings						23		issued for review	
Specifications						24		issued for review	
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Comments						26		issued for review	
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Comments						96		issued for review	
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Drawings						98		issued for review	
Specifications						99		issued for review	
Notes						100		issued for review	

parcels 6 & 7 - proposed residential - commercial development
Richmond B.C.

ADP submission
Feb. 26, 2024
revised to 2025/2024



Date	Revised	Description
06-10-24	RE-SSQD_FDR_DP	
05-10-23	based for DP	
04-08-23	based for naming	
03-22-23	general revisions/updates	
02-28-22	revised for naming	
01-28-22	based for naming	

No.	Date	Description
06	4-12-24	RE-SSQD_FDR_DP
05	10-27-23	based for DP
04	4-08-23	based for naming
03	2-22-23	general revisions/updates
02	3-28-22	revised for naming
01	2-28-22	based for naming

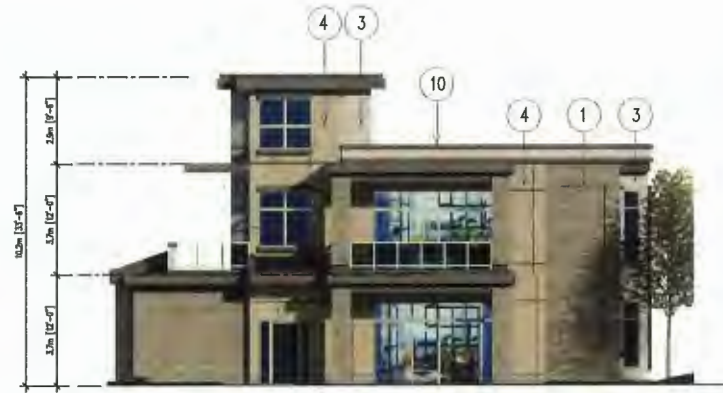
Scale:	as noted	Sheet:	A11a
Date:	February 2022	of	
Number:	Project No.	Drawing Title:	amenity building - plans & section
		Project Title:	proposed development
			parcels 6 & 7 - Hamilton Lands
			Richmond B.C.

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

ADP submission
Feb. 26 2024
revised to April 12 2024

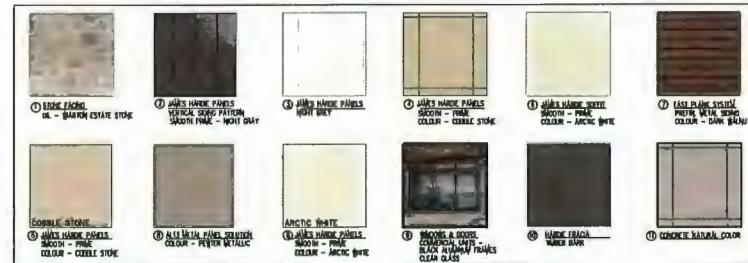


north elevation



west elevation to strollway

EXTERIOR MATERIALS & FINISHES :			
MATERIAL / FINISH	COLOUR	MATERIAL / FINISH	COLOUR
① STONE	IXL - MARTON ESTATE STONE	⑨ WINDOWS & DOORS :	
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY	COMMERCIAL UNITS -	BLACK ALUMINUM FRAMES CLEAR GLASS
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY	RESIDENTIAL UNITS -	BLACK VINYL & CLEAR GLASS
④ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE	⑩ AMENITY BUILDING	WHITE ENAMEL FRAMES & CLEAR GLASS
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE	⑪ HARDIE FASCIA	TIMBER BARK
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE	⑫ CONCRETE	NATURAL CONCRETE
⑦ FAST PLANK SYSTEM	DARK WALNUT	⑬ ALUM. AND GLASS RAILING	BLACK ENAMEL ALUM. & CLEAR GLASS
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC	⑭ GLASS CANOPY	CLEAR GLASS
		⑮ COMMERCIAL SIGNAGE / SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1 1/2 IN+ 4IN)



materials & colours - all buildings



south elevation



east elevation entrance

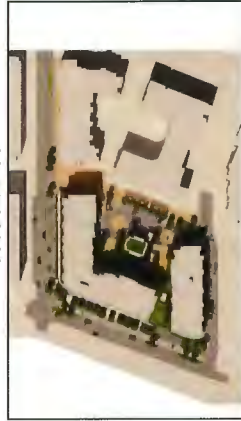


parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26 2024
revised to April 12 2024

11b

Issue	06	21-2139	A11b	Sheet	of	1
Date	February 2022			Drawing Title	amenity building - elevations	
Revision	06	21-2139	A11b	Project Title	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	
Rev.	01	2-25-22		Drawn by	architects o.i.b.c.	
Rev.	02	2-22-23		Checked by	architects o.i.b.c.	
Rev.	03	4-06-23		Designed by	architects o.i.b.c.	
Rev.	04	4-06-23		Issued for marketing	architects o.i.b.c.	
Rev.	05	10-27-23		Issued for U.P.	architects o.i.b.c.	
Rev.	06	4-12-24		Revised for U.P.	architects o.i.b.c.	



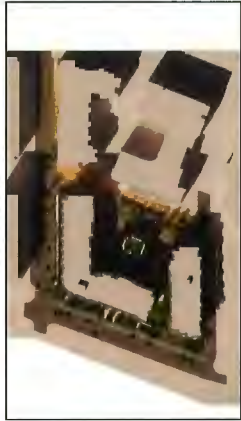
21 JUN 0900



21 JUN 1200



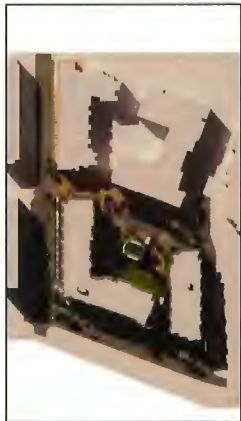
21 JUN 1500



21 MAR 0900



21 MAR 1200



21 MAR 1500



21 DEC 0900



21 DEC 1200



21 DEC 1500

shadow casts

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands
Richmond B.C.

ADP submission
Feb. 26, 2024

Issue	As noted	Sheet	of	Project Title	shadow casts	01	2-26-24	Issued for ADP
Date	March 2024			Client Name	proposed development	02	11-27-23	Issued for DR
Revision	Project No.	A13		Project Site	parcels 6 & 7 - Hamilton Lands Richmond B.C.	03	4-15-23	Issued for meeting
04	21-2138			Prepared by		04	4-06-23	Issued for review
Ionic Architecture Inc. architects a.i.b.c. 801-8021 Island Drive Unit 1700 Richmond B.C. V6V 2G6 Tel: (778) 841-0818 Fax: (778) 841-0818 info@ionic-architects.com www.ionic-architects.com						Rev.	Date	Description



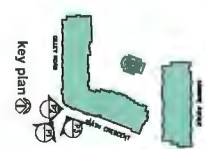
building A - Smith Crescent entrance



building A viewed from Gilley Road / High Street / Smith Avenue intersection

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands

Richmond B.C.



ADP Administration
 Feb. 25, 2024
 revised to May 6, 2024

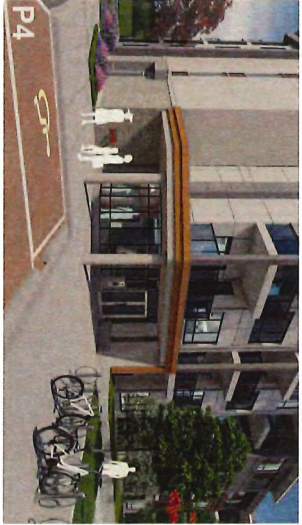
14a

Rev.	Date	Description
01	4-03-21	revised per ADP comments
02	2-20-21	revised for IP
03	01-23-23	based for IP
04	8-20-23	based for refile

Name: As Noted Date: AUGUST 2023 Author: PRINCE inc.	Sheet: 14a of: 14	Drawing Title: perspective views - building A Project Title: PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC	tonic Architecture inc. architects o.i.b.c. 204-8800 Wood Street, Suite 100 Burnaby BC, V5C 2K6 Tel: (778) 847-0818 www.tonicarchitects.com
--	----------------------	---	---



P3
CPO detail view



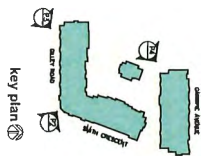
P4
building B - entrance



P2
building A - south-east corner view

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands

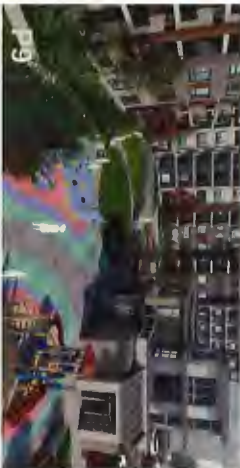
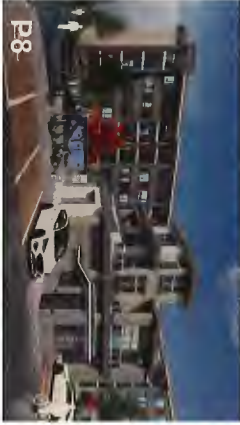
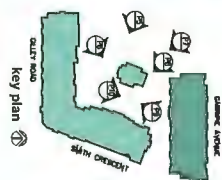
Richmond B.C.



ADP # 2023-001-0001
revised to May 5, 2024

14b

Drawn	As Noted	Sheet	of	Drawing Title	perspective views	01	4-02-24	revised per ADP comments
Date	AUGUST 2023			Project Name	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC	02	7-20-24	revised for GP
Author	PROJECT No.	14b		Client	201-8002 Island Trust Surrey B.C. 7880 15th Ave Richmond B.C. 1770 841-0118 allRightsReserved - 01-04-2024	03	11-23-23	issued for GP
				Architect	ionic Architecture inc. architects o.i.b.c.	04	8-30-23	issued for review
						Rev.	Date	Description



amenity building & bidg. A

amenity building & outdoor amenity

courtyard view from building B entry

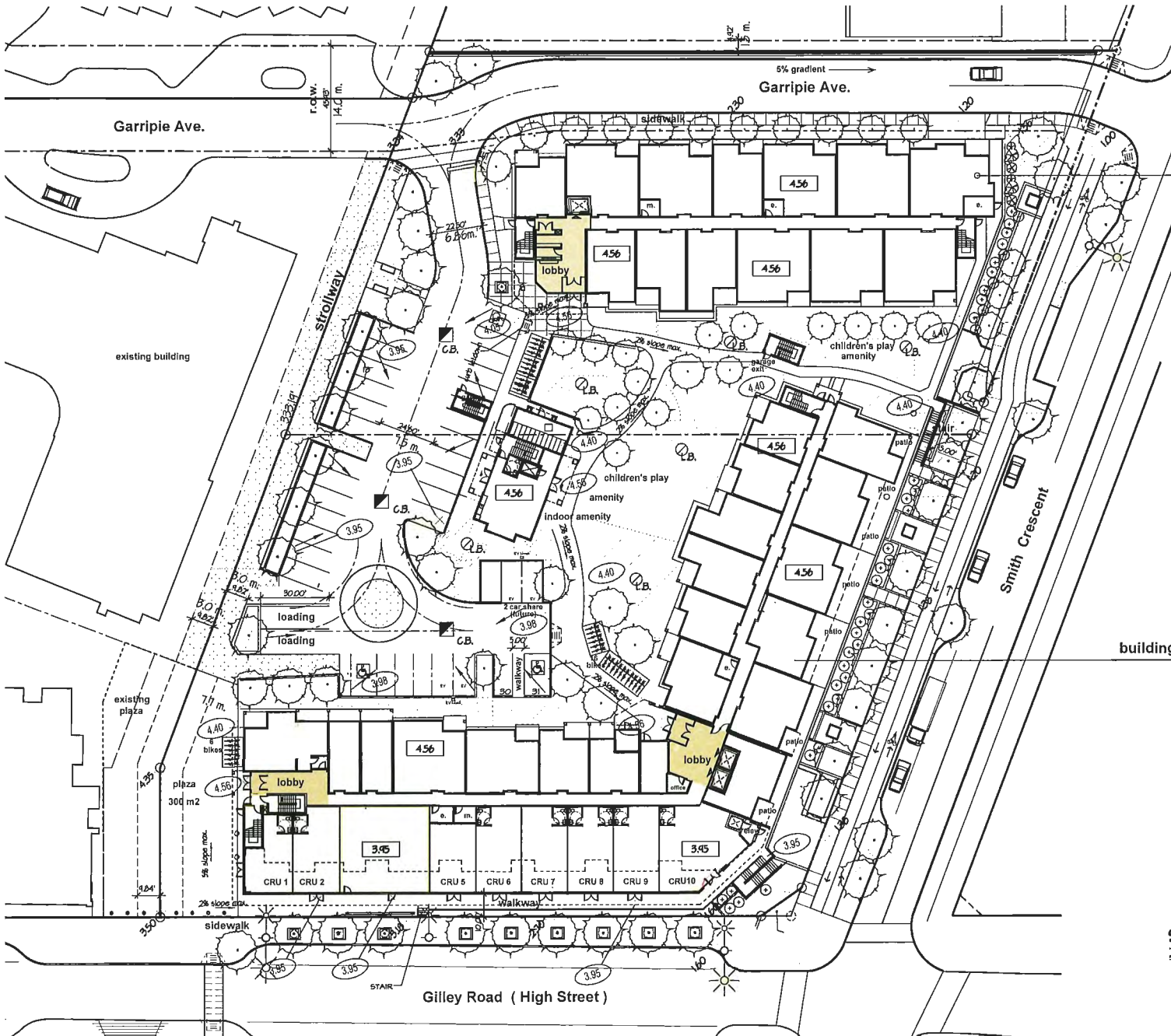
parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

ADP Registration
14C
revised to May 9, 2024

Date	As noted	Sheet of	Drawing Title	Project Name	Client	Revision	Description
04	21-2135	14c	perspective views	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC	Ionic Architecture Inc. architects a.i.b.c. 307-3022 Island Street Surrey B.C. V3R 2J6 Tel: (778) 837-2015 Fax: (778) 837-0216 aib@ionicai.com	01 4-02-24	revised per ADP comments
						02 7-25-24	revised for ADP
						03 11-21-23	issued for ADP
						04 3-25-24	issued for re-bid
Rev	Date	Description					



building B ground floor :

GRADING KEY :

(ELEVATIONS IN METRES)

- EXISTING GRADE
- EX. GRADE (Interpolated)
- PROPOSED GRADE
- FINISH FLOOR ELEVATION
- SURFACE DRAINAGE
- L.B. LAWN BASIN
- C.B. CATCH BASIN
- 3" SLAB DRAIN BELOW ROAD FINISHED
- P.D. PLANTER DRAIN

REFER TO CIVIL ENG. DRAWINGS FOR FINAL GRADING

building A ground floor :

SITE GRADING - ACCESSIBILITY STRATEGY

Scale 1"=20'

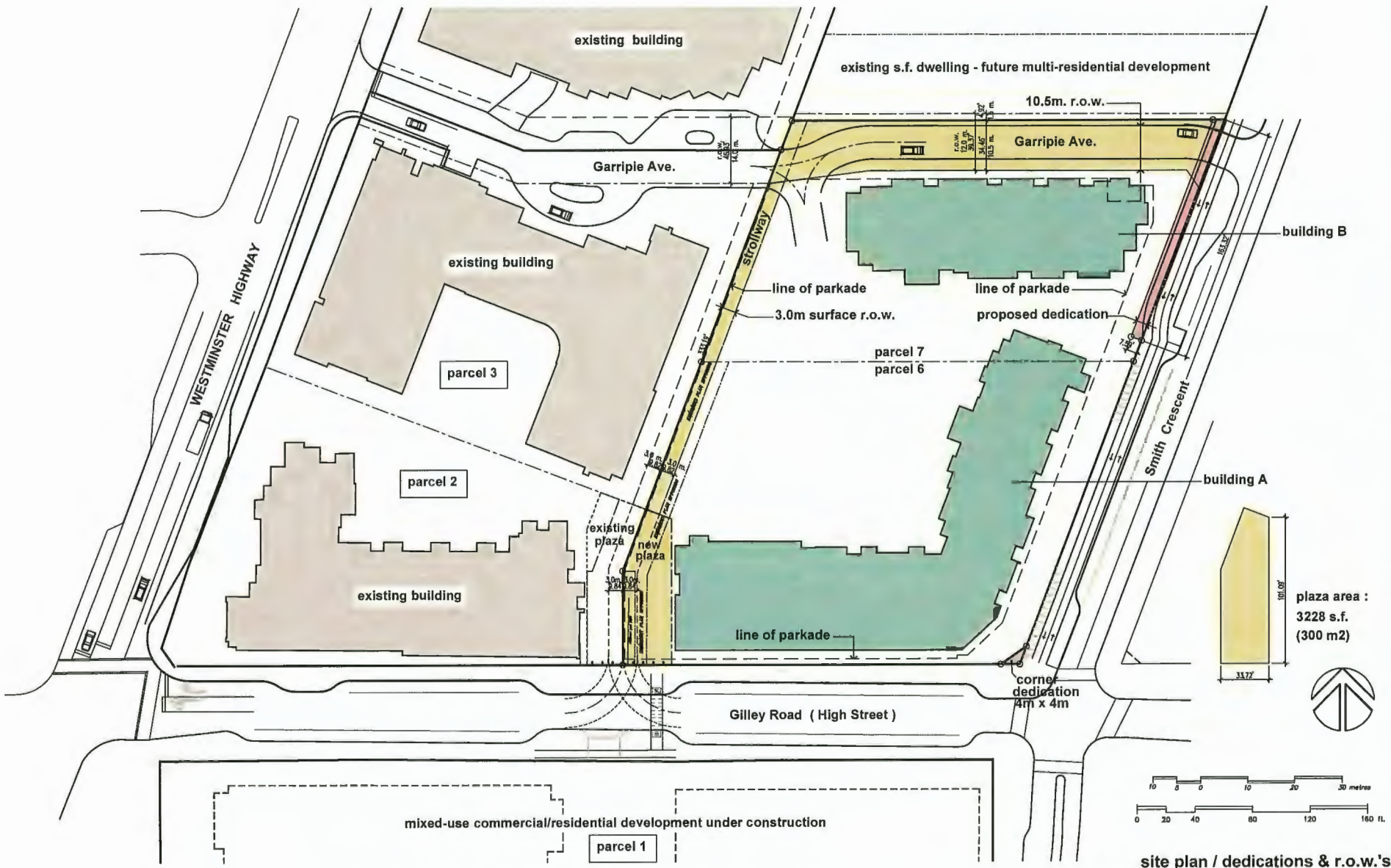


Sheet	S-2	Drawing Title	SITE GRADING
Date	February 2022	Project Title	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Revision	21-2138	Scale	1"=20'
Drawn by		Checked by	
Reviewed by		Approved by	
Scale		Date	
Description		Date	

Ionic Architecture inc.
 architects a.i.b.c.
 200-6000 Island Street, Suite 300
 Surrey B.C. V3R 5Z9
 Tel: (778) 871-5818
 Fax: (778) 871-5819
 www.ionic-architects.com

ADP submission
 Feb. 28, 2024
 revised to April 17, 2024

S2



parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

site plan / dedications & r.o.w.'s

ADP submission for review
 Feb. 21 2024
 revised to April 2 2024

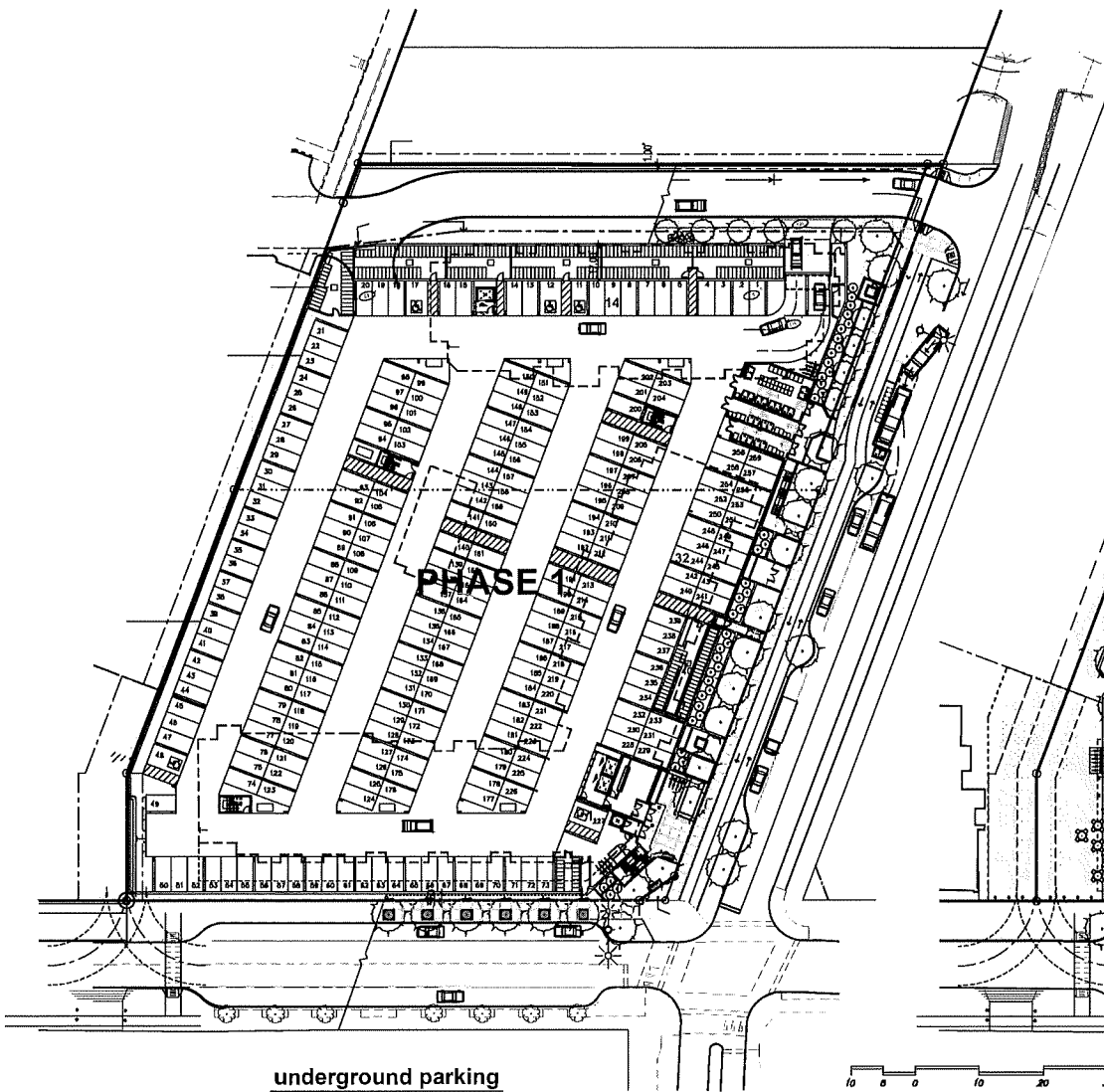
S-3

Rev.	Date	Description
01	7-31-23	issued for coordination
02	7-31-23	issued for coordination
03	8-27-23	issued for D.P.
04	3-28-24	submitted for D.P./ADP
05	4-02-24	revised for D.P.

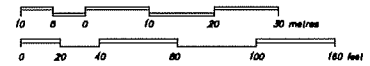
Ionic Architecture Inc.
 architects a.i.b.c.
 200-1000 10th Ave S
 Calgary, Alberta T2C 1A5
 Tel: (403) 271-8888
 Email: info@ionic-arch.com

Drawing Title: site plan - dedications & r.o.w.'s
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

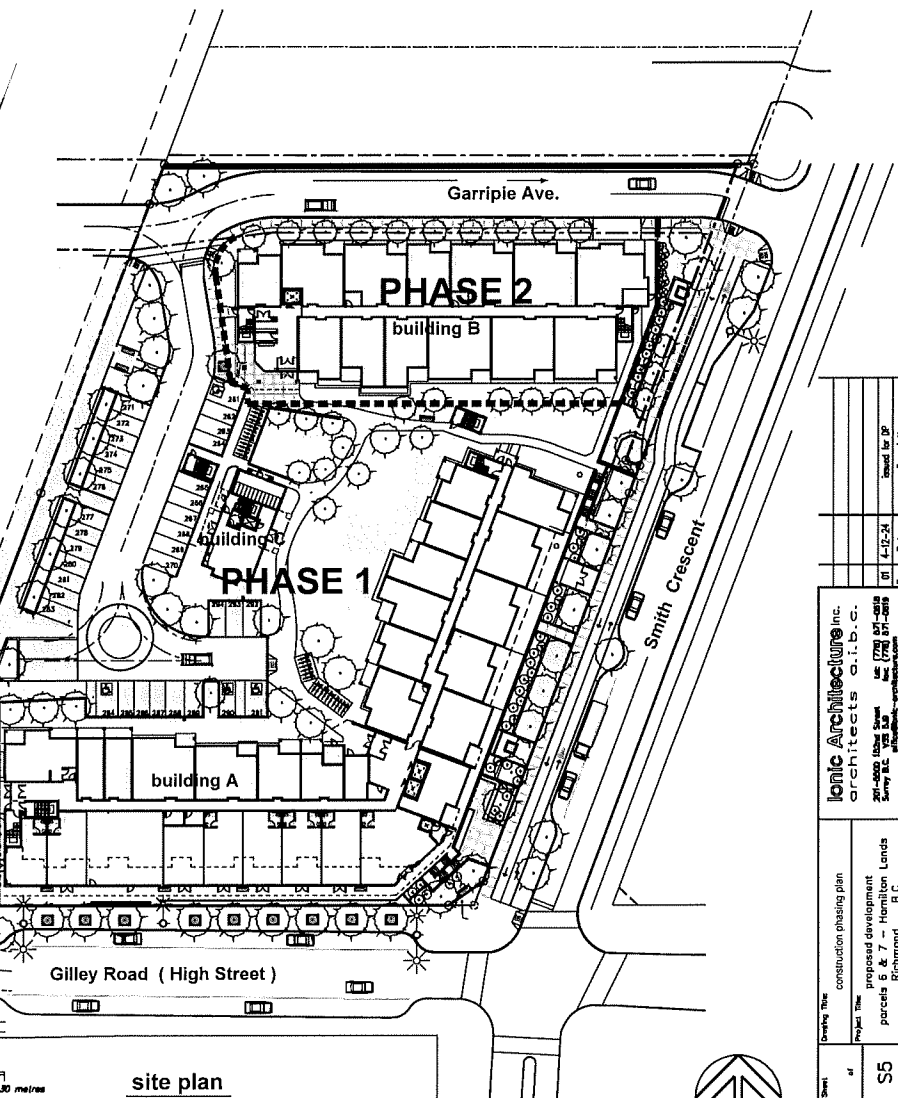
Sheet	S-3
Date	July 2023
Project No.	21-2138
Revision	04



underground parking



site plan



construction phasing plan

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

Drawn by:	construction phasing plan
Scale:	as noted
Date:	February 2022
Project No.:	21-2136
Project Name:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Sheet No.:	S5
Scale:	1:1000
Date:	11-12-21
Drawn by:	[Signature]
Checked by:	[Signature]
Approved by:	[Signature]
Project No.:	21-2136
Project Name:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Sheet No.:	S5
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Date:	11-12-21
Drawn by:	[Signature]
Checked by:	[Signature]
Approved by:	[Signature]

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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 8th Street Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

REVL:



NO.	DATE	REVISION DESCRIPTION	DR.
5	24.MAR.23	COMMENTS	JR
4	17.FEB.23	CONCEPT	JR
3	14.APR.23	NEW SITE PLAN COMMENTS	JR
2	27.FEB.23	BRAND CORP	JR
1	28.APR.19	NEW SITE PLAN COMMENTS	JR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

CORNERSTONE

23001, 23324, 23361, 23381
GILLEY RD & 4631, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE PLAN

DATE: 23.MAR.23 DRAWING NUMBER:

SCALE: 1"=20' 0"

DRAWN: JR

DESIGN: JR

CHKD: BA

L1

OF 7

PMG PROJECT NUMBER: 23-053

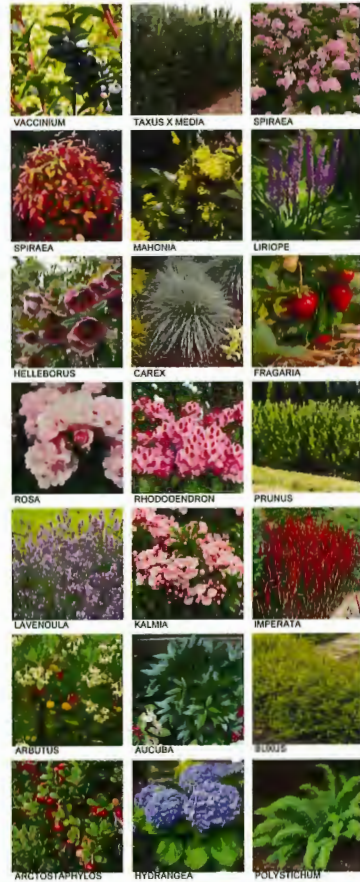
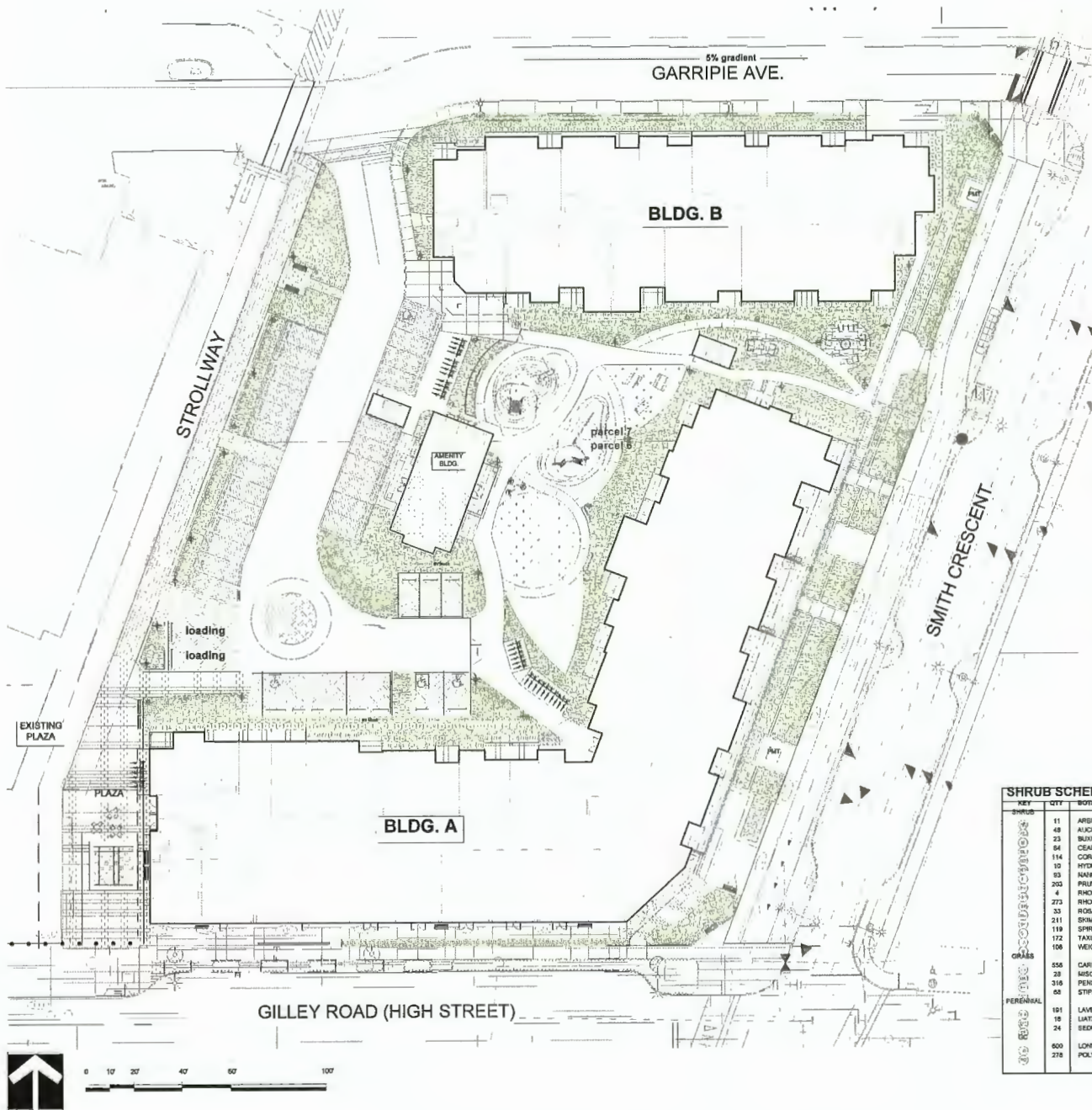


KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE	REMARKS
1	4	ACER FRONDITOSUM	WINE MAPLE	2500 HT, 1000	3 STEEL CULDEP
2	4	ACER GRISEBAM	PAPERBARK MAPLE	800 CAL, 150 STD, 1000	800 CAL, 100 STD, 1000
3	3	CARPINUS BETULUS FRANS FONTAINE	COLUMBIA HORSEBEAM	800 CAL, 1000	800 CAL, 1000
4	3	FAGUS SYLVATICA DANWYCK GOLD	DANWYCK GOLD BEECH	800 CAL, 1000	800 CAL, 1000
5	12	QUERCUS BILBOA NUTTAN GOLDY	AUTUMN GOLD OAK	800 CAL, 1000	800 CAL, 1000
6	3	GLEDTISIA T. INERISIS WAPERAL	IMPERIAL HONEY LOCUST	800 CAL, 1000	800 CAL, 1000
7	30	PICEA CHOROKA TORLINS	BRUSH SERRAN SPRUCE	50 HT, 1000	50 HT, 1000
8	4	PIEDICOTISIA HEDERISIS	DOCKWOOD PINE	50 HT, 1000	50 HT, 1000
9	4	PYRUS CALLERYANA CHANTICLEER	CHANTICLEER PEAR	800 CAL, 1000	800 CAL, 1000
10	4	QUERCUS PALUSTRIS GREEN PILLAR	GREEN PILLAR PIN OAK	800 CAL, 1000	800 CAL, 1000

NOTES: PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE FOR ONE-GAL STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANTING REQUIREMENTS. * SEARCH AND REVIEW SAME PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER BURNABY AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. IDENTIFICATION OF COPIES OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE-FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

DECIDUOUS TREES: 47
CONIFEROUS TREES: 42





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p: 604 294-0011 ; f: 604 294-0022

SCALE:

1" = 20'-0"

NO. DATE REVISION DESCRIPTION DR.

CIENT:

SHRUB SCHEDULE			PMG PROJECT NUMBER: 23-148	
KEY	QTY	BOTANICAL NAME	COMMON NAME	
PERENNIAL	11	ARBUS UTENS COMPACTA	COMPACT STRAWBERRY BUSH	
	48	AUCUBA JAPONICA 'ERRATIFOLIA'	SAWTOOTHED JAPANESE AUCUBA	
	23	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLELEAF BUX	
	64	CEANOTHUS 'HYBRIDUS VICTORIA'	CALLIFORNIA LEUC	
	114	CORUS SERICEA	REDTIG DOGWOOD	
	10	HYDRANGEA QUERCIFOLIA	DAKLEAF HYDRANGEA	
	63	NADEIRA DOMESTICA 'MOONBIM'	DWARF HEAVENLY BAMBOO	
	203	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	
	4	RHODOENDRON 'ANNA KRUSCHKE'	RHODOENDRON, BLUE	
	273	RHODOENDRON 'P. JAY'	RHODOENDRON LIGHT PURPLE, E. MAY	
GRASS	33	ROSA MEDLAND 'RED'	MEDLAND ROSE, RED	
	211	SPIDERA JAPONICA (80% MALE)	JAPANESE SPIDERA	
	119	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	
	172	TAXUS X MEDIA 'HELIX'	HILL YEW	
	106	VEIGELA FLORIDA 'PURPUREA'	PURPLE VEIGELA	
	PERENNIAL	556	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE
		28	MISCANTHUS SINENSIS 'YAKU JAKU'	HARDEN GRASS
		316	PERNSETUM ALBOPECUROSIDES 'WARMLEY'	ONION FOUNTAIN GRASS
		68	STIPA TEXUSSIMA	MEXICAN FEATHER GRASS
	PERENNIAL	191	LAVENKULA ANGIUSTIFOLIA 'MUNSTEAT'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE
19		LAETIS SPICATA 'FLORISTAN VIOLET'	BLAZING STAR, PURPLE	
24		SEKIM 'AUTUMN JOY'	STONECROP	
600		LONICERA PILEATA	PRIVET HONEYSUCKLE	
278	POLYSTICHUM MUNITUM	WESTERN SWORD FERN		

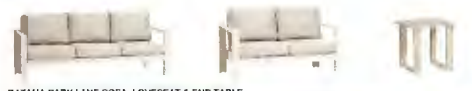
PROJECT:
CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4691, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:
SHRUB PLAN

DATE: 23.MAR.28 DRAWING NUMBER:
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DRAWN: JA **L2**
DESIGN: JA
CHECK: BA OF 7

PMG PROJECT NUMBER: 23-053



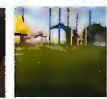
RATANA PARK LANE SOFA, LOVESEAT & END TABLE



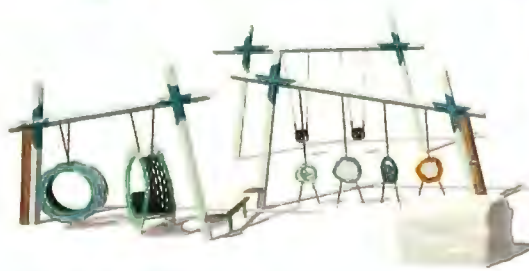
TENDERTUFF PICNIC TABLE (#141694) & BACKED BENCH (#141683)



SOLUS 30\"/>



SYNLAWN ARTIFICIAL TURF



LANDSCAPE STRUCTURES PLAY EQUIPMENTS: FOX DEN HANGOUTS (#307431), BALANCE BEAM (#307435), FOCAL SENSORY WALL (#307430), SLIDEWNDER2 (#124853), HILL NET CLIMBER (#CP006885), FLOWER ACCENT TOPPER (#212256)



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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	24.APR.24	COMMENTS	JL
2	24.APR.24	COMMENTS	JL
3	24.APR.24	NEW SITE PLAN / CONDITIONS	JL
4	24.APR.24	ISSUES FOR BP	JL
5	25.APR.24	NEW SITE PLAN / CONDITIONS	JL

CLIENT:

PROJECT:
CORNERSTONE

23301, 23321, 23361, 23381
 GILLEY RD @ 4651, 4671 AND 4651
 SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:
AMENITY ENLARGEMENT

DATE: 23.APR.24 DRAWING NUMBER:
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 DRAWN: JL **L5**
 DESIGN: JL
 CHECK: BA OF 7

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SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
1	2023.03.11	CONCEPTS	JA
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3	2023.03.11	NEW SITE PLAN / CONCEPTS	JA
4	2023.03.11	CONCEPTS	JA
5	2023.03.11	CONCEPTS	JA
6	2023.03.11	CONCEPTS	JA
7	2023.03.11	CONCEPTS	JA
8	2023.03.11	CONCEPTS	JA
9	2023.03.11	CONCEPTS	JA
10	2023.03.11	CONCEPTS	JA
11	2023.03.11	CONCEPTS	JA
12	2023.03.11	CONCEPTS	JA
13	2023.03.11	CONCEPTS	JA
14	2023.03.11	CONCEPTS	JA
15	2023.03.11	CONCEPTS	JA
16	2023.03.11	CONCEPTS	JA
17	2023.03.11	CONCEPTS	JA
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19	2023.03.11	CONCEPTS	JA
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CLIENT:

PROJECT:

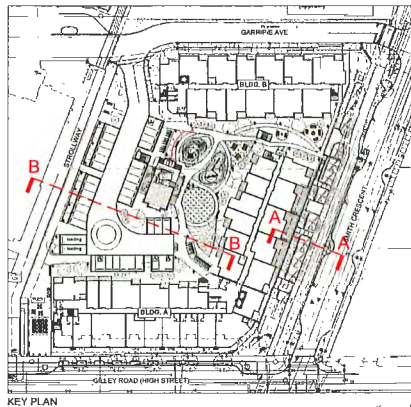
CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4631, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

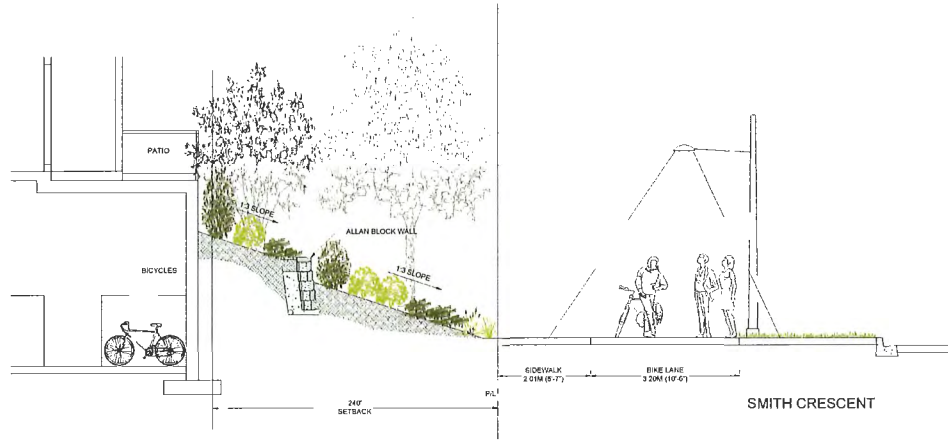
DRAWING TITLE:

LANDSCAPE SECTIONS

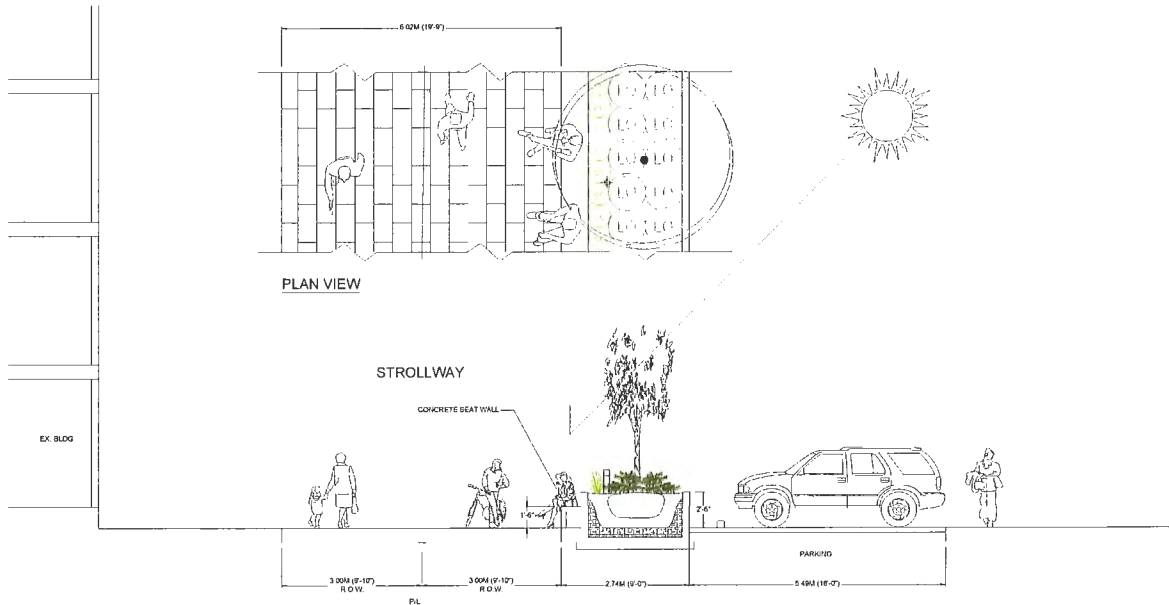
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SCALE: AS NOTED **L6**
DRAWN: JA
DESIGN: JR
CHKD: SA OF 7



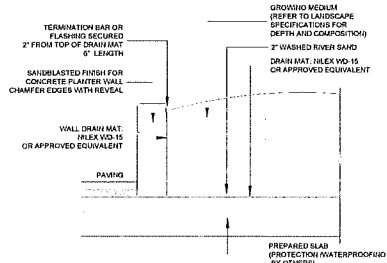
KEY PLAN



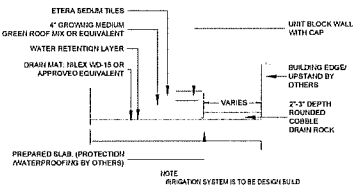
SECTION A - A (NOTE: REFER TO ARCHITECTURAL DRAWINGS FOR SIDEWALK AND PATIO ELEVATIONS)
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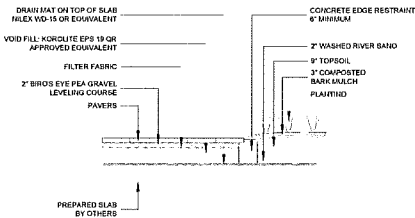
SECTION B - B
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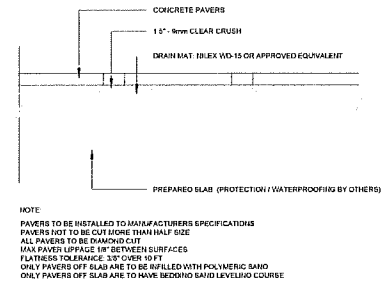
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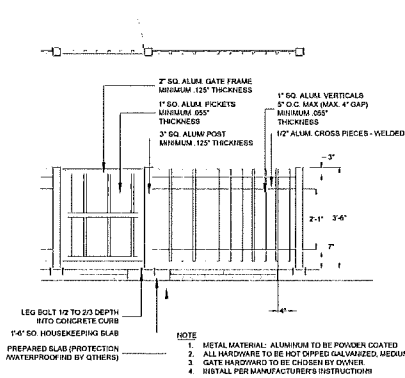
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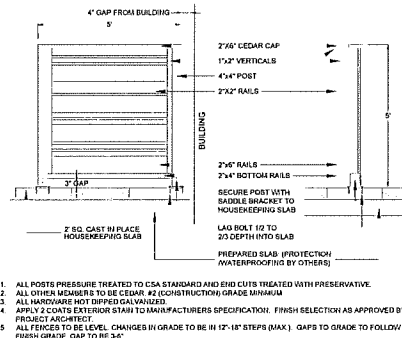
3 PAVER EDGING
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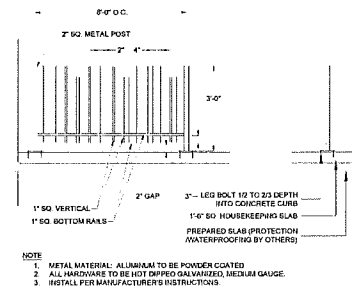
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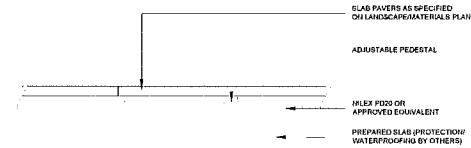
5 ALUMINUM PICKET FENCE
1/2" = 1'-0"



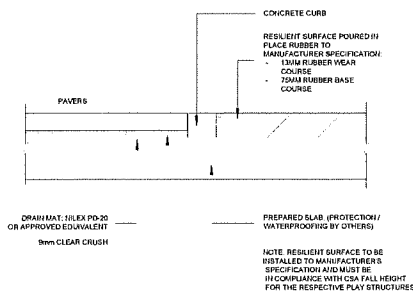
6 PATIO SCREEN
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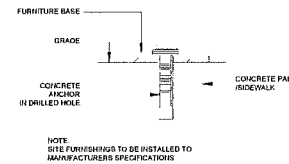
7 ALUMINUM PICKET FENCE AT PLAY AREA
1/2" = 1'-0"



8 HYDRAPRESSED SLABS OVER PEDESTALS
1" = 1'-0"



9 POURED IN PLACE RUBBER PLAY SURFACE EDGE
1" = 1'-0"



10 SITE FURNITURE MOUNTING
1/12" = 1'-0"

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SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	21.05.18	CONTRACTS	JR
4	21.05.15	CONTRACTS	JR
3	21.05.03	NEW TILE PLAN/CONTRACTS	JR
2	21.05.19	SHED/FORIP	JR
1	21.05.13	NEW SHEET PLAN/CONTRACTS	JR

CURT:

PROJECT:

CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4631, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 23.MAR.23 DRAWING NUMBER:

SCALE: AS NOTED

DRAWN: JR

DESIGN: JR

CHKD: BA

OF 7

L7



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: May 14, 2024

From: Josh Reis
Program Manager, Development

File: DP 18-829207

Re: **Application by Arcadis Architects (Canada) Inc. for a Development Permit at
9520 Beckwith Road**

Staff Recommendation

That a Development Permit be issued at 9520 Beckwith Road to permit the construction of a 7-storey light industrial and office building on a site zoned “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)”.

Josh Reis, MCIP, RPP, AICP
Program Manager, Development

JR:ke
Att. 3

Staff Report

Origin

Arcadis Architects (Canada) Inc. (on behalf of Mailin Chen, Adam Wu and Zhiping Zhang, directors of 1128457 BC Ltd.) has applied to the City of Richmond for permission to develop a 7-storey 3,757 m² (40,436 ft²) light industrial and office building at 9520 Beckwith Road on a site zoned “Single-Detached (RS1/F)”. The site is currently vacant.

The site is being rezoned from the “Single-Detached (RS1/F)” zone to the “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project under Bylaw 9931 (RZ 18-821103), which was granted 3rd reading at the June 17, 2019 Public Hearing.

A previous report was considered and endorsed by the Development Permit Panel on November 14, 2019. Since the project was endorsed at the November 14, 2019 Development Permit Panel meeting, a number of revisions have been undertaken to the proposal and are summarized as follows:

- Revisions to the Environmentally Sensitive Area (ESA) compensation approach at the south edge of the subject site previously approved through General Compliance for 2899 and 2888 Jow Street (DP 18-825006) south of the subject site that was issued by Council on November 28, 2022.
- Requirements for this project to secure legal agreements on neighbouring properties for the purposes of providing parking, vehicle access, loading facilities, a canopy over the main building entrance, and pedestrian/public access for use and the benefit of the development on the subject property.
- Updates to the project’s building energy efficiency performance targets to be in compliance with BC Energy Step Code for applicable portions of the project.

This report focusses on the changes to this project outlined in the above bullets and incorporates these revisions into a modified Development Permit for the project on the subject site.

Except as noted in this report, information in the Development Permit Panel report presented at the November 14, 2019 meeting remains applicable to this proposal and is attached for reference purposes (Attachment A). The proposal’s overall site planning, urban design, architectural and landscape features and vehicle access, site circulation and parking provisions remain consistent with what was presented to the Development Permit Panel on November 14, 2019.

This project is proposed to be the fourth building in the multi-phased development involving the following surrounding properties:

- 2777 Jow Street (to the west) – newly constructed office and industrial building.
- 2899 and 2888 Jow Street (to the south) – proposed hotel on each lot (currently under construction).

The proposed building consists of light industrial uses on levels 1 and 2, off-street parking on levels 3 and 4 and office uses on levels 5, 6 and 7, which complies with the “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project.

A Servicing Agreement (SA 19-873503) is required as a condition of rezoning adoption and includes, but is not limited to, the following improvements:

- Road and frontage works along the subject site's Beckwith Road frontage (including all applicable transitions and tie-ins).
- Infrastructure works related to service connections and tie-ins and identified upgrades to City storm and water systems in accordance with the rezoning application (RZ 18-821103).

Development Information

Please refer to attached Development Application Data Sheet (Attachment B) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: across Beckwith Road, single-family homes zoned "Single-Detached (RS1/F)" and designated Industrial Reserve – Limited Commercial in the City Centre Area Plan (CCAP);
- To the east: an existing commercial development zoned "Auto-Oriented Commercial (CA)";
- To the south: a site currently under redevelopment for a proposed hotel zoned "Light Industrial, Office and Hotel (ZI10) – Bridgeport Village (City Centre)"; and
- To the west: a recently constructed business centre building containing offices and light industrial uses zoned "Light Industrial, Office and Hotel (ZI10) – Bridgeport Village (City Centre)".

General Compliance at 2899 and 2888 Jow Street

On November 28, 2022, Council approved a General Compliance for changes to the design of the proposed landscaping and Environmentally Sensitive Area compensation plan for Development Permit (DP 18-825006) that is for two separate hotels located at 2899 and 2888 Jow Street. The reason for the General Compliance was to address the decline in health and death of a stand of trees located on 2888 Jow Street and the subject site (9520 Beckwith Road) that are contained in a designated ESA and previously had been identified for retention. A comprehensive revised ESA compensation plan was developed by the project's Qualified Environmental Professional (QEP) and landscape architect that is coordinated with the approved General Compliance and this Development Permit application for 9520 Beckwith Road.

That General Compliance report noted that the changes to the ESA compensation plan being provided on 9520 Beckwith Road would be confirmed and appropriately secured through the modified Development Permit being presented in this report and included:

- the provision of 14 replacement trees and accompanying shrubs on the subject site; and,
- The conversion of one tree on the subject site which had declined in health to a wildlife tree.

Additional information about the ESA compensation plan being provided for in the Development Permit proposed for the subject site at 9520 Beckwith Road, including the necessary revisions to the implementation measures as a result of the General Compliance approved changes (i.e., legal

agreement updates; landscape security/performance provisions), is provided in latter sections of this report.

Staff Comments

The revised proposal attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application and is consistent with the building design previously considered and endorsed by the Development Permit Panel on November 14, 2019. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project.

Advisory Design Panel Comments

The revisions to this project outlined in this report did not result in any changes to the building design or on-site landscape provisions outside of the ESA compensation area. Based on this, subsequent review by the Advisory Design Panel (ADP) was not required.

Analysis

Overview of ESA Compensation on 9520 Beckwith Road

- The landscape plans for the compensation to be provided at grade are compliant with the plans presented and approved through the processing of the General Compliance for the properties to the south.
- The plan provides for compensation planting at the south edge of the site and will contain 14 replacement trees and accompanying shrubs and groundcovers. 1 of the 5 wildlife trees (trees that have declined in health and died) will be retained on the subject site to provide additional ecological habitat and function.
- All trees and shrubs consists of native species and verified by the consulting QEP to provide ecological habitat and function in the compensation area. The area of the compensation to be provided for on-site at the south edge of 9520 Beckwith Road at grade is 146 m² (1,572 ft²)
- Consistent with the rezoning, additional ESA compensation planting in the rooftop areas will be provided on level 5 and level 7 of the development, which will consist of native shrubs, plants and trees. No changes have been made to these compensation areas through the previously referenced General Compliance process. The combined areas of compensation plantings on level 5 and level 7 is 457 m² (4,919 ft²).
- A total of 603 m² (6,491 ft²) ESA compensation area achieves a net gain of 333 m² (3,584 ft²) when compared to the original assessed ESA of 270 m² (2,906 ft²). The project QEP has confirmed that the proposed ESA compensation plan for the subject site will result in a net gain in habitat area and improvement in ecological function.
- The Landscape cost estimate for the ESA compensation and enhancement areas and associated landscape security and performance provisions have been updated to reflect the changes outlined in this report.

Overview of Remaining Landscaping on 9520 Beckwith Road

- Remaining areas of landscaping will be along the subject site’s north property line (Beckwith Road) and portions of the west property line (Jow Street) that will provide a landscaped edge

between the building and sidewalk/grass and treed boulevard along Beckwith and parking and road access along Jow Street.

Implementation, Monitoring, Maintenance and Performance Provisions – ESA Compensation and On-site Landscape Areas

- For ESA compensation areas:
 - A legal agreement will be registered on the subject site to secure the ESA compensation areas proposed in this Development Permit proposal. This legal agreement will also cover the ESA compensation area on the neighbouring site directly to the south along the north portion of 2888 Jow Street (to take into account the ESA compensation area that is located both on 9520 Beckwith Road (south portion) and 2888 Jow Street (north portion). This legal agreement will also include ESA compensation post-implementation monitoring and maintenance provisions in accordance with the report and recommendations of the QEP. This legal agreement updates the prior rezoning consideration item to take into account revisions to the ESA compensation approach that was brought forward and approved through the referenced General Compliance review process. This legal agreement will be registered on title as a Development Permit consideration item to be completed for this project (Attachment C).
 - In accordance with the recommendations of the project QEP, once ESA compensation works have been implemented, monitoring will occur over a five year period to ensure vegetation establishment, survivorship and growth. Monitoring and inspections by the consulting QEP will occur twice a year (spring and fall) with the QEP to provide reports to the City after each inspection.
 - Consistent with the prior Development Permit endorsed on November 14, 2019, the Development Permit consideration incorporates monitoring from the project's QEP on bird activity to ensure mitigation measures incorporated into the project's building and landscape design are mitigating the risk of bird strikes in the development.
 - Prior to Development Permit issuance, the applicant is required to submit a landscape security for all proposed ESA compensation works identified in the plans based on 100% (plus a 10% contingency) of the cost estimate provided by the landscape architect. Based on the provided cost estimate, an ESA landscape security of \$110,466 is a required Development Permit consideration for this project.
- For remaining on-site landscaping along the west and north portions of the site and other landscape elements within the project:
 - Prior to Development Permit issuance, the applicant is required to submit a landscape security for all proposed on-site landscaping works identified in the plans based on 100% (plus a 10% contingency) of the cost estimate provided by the landscape architect. Based on the provided cost estimate, an on-site landscape security of \$260,095 is a required Development Permit consideration for this project.
- The applicant has also coordinated and has an agreement with the neighbouring commercial development to the east to update an existing continuous landscaped buffer edge located on this neighbouring site (9711 Bridgeport Road) that would maintain a contiguous landscaped edge between the these two properties.

Vehicle Access, Parking, Loading and Pedestrian Access Provisions on Neighbouring Sites

- The development on the site at 9520 Beckwith Road is considered the final phase in the overall project involving the three other development sites (2777 Jow Street – new office and industrial building; 2899 and 2888 Jow Street – Hotel project currently being constructed). These development sites were envisioned to largely function together as a whole consistent with prior approvals.
- The proposed development involves the provision of vehicle access, parking, loading facilities and pedestrian sidewalk that are located on neighbouring properties. To facilitate this arrangement, legal agreements (including public right of passage statutory right of way for the pedestrian sidewalk) are required to be provided by the neighbouring properties to the east (2777 Jow Street and 2899 Jow Street) as a Development Permit consideration. The applicant has provided a letter from their lawyer confirming that the adjacent property owners have not objected to the registration of these agreements.
 - Vehicle Access – Is provided from the north-south road (Jow Street) located on the neighbouring site to the east (2777 Jow Street) that connects Beckwith Road and Bridgeport Street. A legal agreement will be required as a Development Permit consideration for this project that will facilitate vehicle access through the neighbouring property at 2777 Jow Street. The location of the vehicle access is at the south west portion of the subject site and will enable access to Jow Street.
 - Parking – On neighbouring site at 2777 Jow Street between the road and west edge of the subject site, there is an existing row of off-street parking. Through the prior rezoning for 9520 Beckwith Road, 4 parking stalls on 2777 Jow Street will be secured through a rezoning consideration legal agreement to be used solely for the development on the subject site.
 - Loading – The subject site provides for on-site loading facilities (two medium sized loading spaces). In accordance with the previous rezoning, large loading space facilities is being provided on 2899 Jow Street that will be able to be used by the subject development at 9520 Beckwith Road. A legal agreement will be required as a Development Permit consideration for this project that will facilitate shared loading bay facilities located on 2899 Jow Street.
 - Pedestrian Access and Sidewalk – On the neighbouring site to the west (2777 Jow Street) between the road, parking and west property line of 9520 Beckwith Road, there is an existing concrete sidewalk. To ensure access is available to the public along the west frontage of the development at 9520 Beckwith Road that has access to the industrial units and office lobby at-grade, a legal agreement will be required as a Development Permit consideration for this project. This legal agreement will apply to an area 2.9 m (9.5 ft.) in width and 75.2 m (246.7 ft.) in length and located on 2777 Jow Street and will provide for public access and City access for servicing and emergency service purposes.

Canopy Encroachment into 2777 Jow Street

- The subject development proposes a canopy over the main entrance to the office component of the project at the south west portion of the building. This canopy is permitted to encroach up to the subject site's west lot line, in accordance with Zoning Bylaw requirements. This development is proposing to encroach this entrance canopy approximately 1.74 m (5.7 ft.)

over the shared property line between of the subject site (9520 Beckwith Road) and 2777 Jow Street.

- To facilitate encroachment of a canopy onto the neighbouring property at 2777 Jow Street, a legal agreement will be required between these two properties that will also need to address the canopy also encroaching over a portion of public access and sidewalk being secured over this area and is a Development Permit consideration item for this project.

Building Energy Efficiency Revisions – Application of BC Energy Step Code Provisions

- At the time that Development Permit Panel last considered the proposed development, the project had proposed to meet the Leadership in Energy and Environmental Design (LEED) Silver criteria as a sustainability measure proposed for the subject development. Since then and with revisions to the City's sustainability policies, the application of the BC Energy Step Code (to the office use) and other building energy efficiency performance targets (to the industrial use) will be applicable and complied with in this development.
- Through the associated rezoning application, a legal agreement to secure this development's requirement to connect to a District Energy Utility (DEU) is required and ensures the building is designed with the capability of being serviced by a DEU system.
- For the office component of the project, the applicant's consultant has undertaken preliminary modelling to confirm that the proposed building design in this Development Permit application will be able to meet the applicable BC Energy Step Code 3 performance targets for the project. For the industrial component of the building, the applicant's consultant has confirmed the building has been modelled and will be compliant with the National Energy Code of Canada for Buildings (NECB) energy efficiency pathway for this component of the project.

Lighting

- At-grade, light bollards are integrated along the north and west sides of the building that have been design and oriented to minimize light over spill and glare into surrounding areas.

Conclusions

This Development Permit presents revisions to the project on ESA compensation changes and updated building energy efficiency targets for this project. As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Kevin Eng
Planner 3

KE:cas

- Att. A Previous Staff Report Considered at November 14, 2019 Development Permit Panel
- Att. B Development Application Data Sheet
- Att. C Development Permit Considerations



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: October 24, 2019

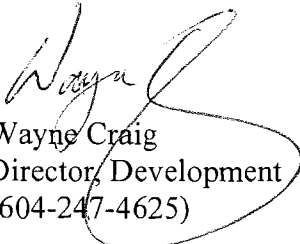
From: Wayne Craig
Director, Development

File: DP 18-829207

Re: **Application by IBI Group Architects (Canada) Inc. for a Development Permit at 9520 Beckwith Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a seven-storey light industrial and office building at 9520 Beckwith Road on a site zoned "Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)".


Wayne Craig
Director, Development
(604-247-4625)

WC:mm
Att. 5

Staff Report

Origin

IBI Group Architects (Canada) Inc. has applied to the City of Richmond for permission to develop a seven-storey, 3,757 m² (40,436 ft²) light industrial and office building at 9520 Beckwith Road on a site zoned “Single Detached (RS1/F)”. The site is currently vacant.

The site is being rezoned from the “Single Detached (RS1/F)” zone to the “Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)” zone for this project under Bylaw 9931 (RZ 18-821103).

The subject application forms a fourth phase to be added to the three-phase development to the south and west on which City Council approved a rezoning to "Light Industrial, Office Hotel (ZI10) – Bridgeport Village (City Centre)" (RZ 10-539048) on September 11, 2017 (Attachment 2). The three phases within this adjacent development include an 11-storey office/light industrial building in Phase 1 to the west at 9466 Beckwith Road (DP 11– 594571) currently under construction, and two hotels to the south at 9455 and 9533 Bridgeport Road on which a further Development Permit (DP 18-825006) to make several changes to the design of the hotels was issued on April 8, 2019.

As part of this three-phase development, a new north-south street will be constructed which straddles the above-noted hotel and office building sites, and connects Bridgeport Road to Beckwith Road. Public access over this road is secured by a Statutory Right-of-Way (SRW). The street was officially named “Jow Street” by Council at their April 8, 2019 meeting. Jow Street is located immediately adjacent to, and provides access to, the subject development site at 9520 Beckwith Road (to be re-addressed to 2777 Jow Street upon Building Permit application being submitted).

The Servicing Agreement (SA 12-611073) for the above-noted three-phase development to the west and south includes improvements to Beckwith Road to which the subject development’s road works will be designed to match as discussed below. This Servicing Agreement also includes the design of the planned adjacent Jow Street.

As a Rezoning Consideration for the subject site, the applicant has made a Servicing Agreement application (SA 19-873503) for the design and construction of the following works:

- Frontage works along Beckwith Road that includes the widening of the southern half of Beckwith Road to accommodate a 2.0 m wide concrete sidewalk, a 1.5 m wide landscaped boulevard, a 1.8 m wide bike lane, a 3.25 m wide curb lane and a 3.1 m wide centre lane.
- Upgrade of the existing 900 mm storm sewer along the development’s Beckwith Road frontage to 1050 mm.
- Removal of the existing 600 mm storm culvert along the development’s Beckwith Road frontage.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: Across Beckwith Road, existing single-family homes on lots zoned "Single Detached (RS1/F)" and designated "General Urban (T4) Area B – Industrial Reserve: Limited Commercial" within the City Centre Area Plan (CCAP).
- To the east: There are four large retail/commercial buildings on a site zoned "Auto-Oriented Commercial (CA)" and designated "General Urban (T4) Area B – Industrial Reserve: Limited Commercial" within the CCAP.
- To the south: A large lot at 9533 Bridgeport Road (2899 Jow Street) zoned "Light Industrial and Office (ZI10) – Bridgeport Village (City Centre)" and is subject to a Development Permit (DP 18-825006) which authorizes the construction of a 10-storey hotel.
- To the west: A large lot at 9466 Beckwith Road (2788 Beckwith Road) zoned "Light Industrial and Office (ZI10) – Bridgeport Village (City Centre)" and subject to the above-noted approved Development Permit (DP 11-594571) which authorizes the construction of an 11-storey light industrial/office building on this lot.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Completing a Stage 2 Environmentally Sensitive Area (ESA) report as required under the Rezoning Considerations.
 - The Stage 2 ESA Report has been prepared which includes a detailed invasive species removal plan, a construction monitoring plan, a bird strike monitoring and a plan for removing invasive species. The landscape plans were also revised based on the recommendations in the Stage 2 ESA Report as discussed in the ESA sub-section of this report.
- Preparing irrigation plans for the ground level and on the building terraces.
 - Detailed irrigation plans have been prepared and included within the Development Permit landscape plans.
- Including more detail on the building materials and colours within the architectural plans.
 - More detail on the building materials and colours has been included within the architectural plans. This includes the specifications for metal panel cladding, details on the vertical metal fins and other architectural elements on the building facades as well as the colours for each material.

The Public Hearing for the rezoning of this site was held on June 17, 2019. At the Public Hearing, there were no written submissions or verbal submissions.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with Zoning Bylaw 8500.

Advisory Design Panel Comments

The Advisory Design Panel was in favour of the proposed project. A copy of the relevant excerpt from the Advisory Design Panel Minutes from July 17, 2019 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- Beckwith Road and Jow Street present the building's face to the public realm with street-oriented, glazed light-industrial units on the first two floors of the building and the offices above.
- There are separate street-oriented entrances to Beckwith Road and Jow Street for each of the ground-level light industrial units, and a lobby entrance fronting Jow Street for the office space on the upper floors.
- There is an existing landscape buffer to the east side of the proposed building on the adjacent lot that is being enhanced with the planting of three additional Maple trees and shrubs in addition to the six existing Maple trees located along the property line on the adjacent site. At such time that the adjacent lot is re-developed, it is anticipated that a new building would be located immediately adjacent to the subject building in place of this landscaping buffer.
- Along the southern property line, the applicant's Qualified Environmental Professional (QEP) identified that 146 m² (1,572 ft²) of Environmentally Sensitive Area (ESA), including 10 trees, are to be retained near the south property line. Immediately to the south of this natural on-site ESA, there is natural ESA area on the adjacent site at 9533 Bridgeport Road in which a further ten trees are to be retained and maintained.
- The shadow diagrams of the subject building show that the extent of the shadows during most time of the year fall within the shadows of the approved office building and hotels within the existing, adjacent three-phase development.

Urban Design and Site Planning

- The architectural character of the building is generally similar to the 11-storey office and light industrial building being constructed on 9466 Beckwith Road to the west of the subject site.
- The building siting, pedestrian and vehicle access are designed to make the building fit into the urban framework created by the approved three-phase development to the west and south.

- To the south, a surface driveway from Jow Street provides access to the parkade and loading bay within the building and is adjacent to the ESA and tree retention area.
- The stepping back of the fifth to seventh floors of the building reduces shadowing and apparent mass of the building on its north and east elevations.

Parking and Access

- There are 72 parking spaces within the third and fourth floors of the proposed building and four surface parking spaces (including the two accessible parking spaces) in compliance with Zoning Bylaw 8500.
- The project also will include two medium (SU9) on-site loading spaces within the building and have one WB-17 (large) loading space provided within the adjacent development to the west at 9466 Beckwith Road as permitted under Zoning Bylaw 8500.
- There are four surface parking spaces located on the adjacent site at 9466 Beckwith Road (see Architectural Plan A0.09 in the Development Permit). These four parking spaces are for the exclusive use of the subject building. There is also a WB-17 (large) loading space within the parkade on 9466 Beckwith Road to be shared with the subject building. The sole use of the four parking spaces and sharing of the loading space are being secured by registration of a restrictive covenant and easement prior to rezoning adoption. This document will be registered on the subject site at 9520 Beckwith Road and adjacent lot at 9466 Beckwith Road to ensure access to these parking spaces and loading space are available for use in perpetuity by subject development.
- Prior to Development Permit issuance, the owner will be required to grant a statutory right-of-way (SRW) measuring approximately 2.9 m by 75.2 m (9.5 ft. by 246.7 ft.) adjacent to the west side of the subject site on 9466 Beckwith Road for the sidewalk purposes for public pedestrian and bicycle access and to provide general access by the City for servicing and emergency services purposes.

Architectural Form and Character

- On the prominent elevations facing Beckwith Road and Jow Street, the building is clad in glass curtain wall that includes vision glass and blue spandrel glass panels with occasional louvered panels to allow for ventilation of the light industrial units.
- The visually prominent northwest and southwest corners of the building are anchored with solid vertical elements that extend from street level to above main roof level and are clad in white metal panels.
- Further visual interest is achieved by terracing inwards the fifth and sixth floors of the building on the north, south and east elevations.
- Visual interest is also achieved by cantilevering outward of the third and fourth storeys facing Beckwith Road and Jow Street.
- The east side elevation is located just off the east property facing the side parking lot and concrete side wall of the adjacent Michael's store. To add visual interest to the first four floors, attractive patterning has been added to the building's east wall, behind which are the

parkade and building service areas. The fifth and sixth floors are terraced inward to reduce the massing of the building.

- The seventh floor is effectively a small penthouse set further back from the edge of the sixth floor on all but the south side.
- The terraces on the fifth to seventh floor of the building are well landscaped for design and ESA compensation purposes.

Landscape Design and Open Space Design

- The above-noted grove of existing trees along the south property line will be preserved and additional trees planted as discussed below, and secured by a covenant to be registered on Title as part of the Rezoning.
- There are planters adjacent to the sidewalks adjacent to Beckwith Road and Jow Street.
- The terraces on the fifth and seventh floors of the building are designed with large planters with native species for ESA compensation purposes as discussed below.
- The remainder of the seventh floor is comprised of a large patio covered with pavers and planters with shrubs and trees.
- The applicant will be required to provide a security for landscaping in the amount of \$65,754.70 for the ESA plantings and \$165,901.45 for the other landscaping.

Tree Retention and Replacement

As part of the rezoning application, the applicant has submitted a Certified Arborist's Report that was reviewed and accepted by the City as follows:

- The 10 large coniferous trees proposed to be retained on the subject site will complement the further 12 trees being protected on the site to the south at 9533 Bridgeport Road on which the above-noted hotel is planned to be built. Together, these on-site and off-site trees form a viable grove of 22 coniferous and deciduous trees. A Tree Survival Security of \$80,000 for these 10 trees will be provided and retained by the City for a period of three years after occupancy of the building as rezoning consideration (see Landscape Plan L-05 within the Development Permit).
- There are 18 trees located on adjacent neighbouring properties, with six trees located on the property to the east and 12 trees are identified on the property to the south; all of which are in good condition and are to be retained and protected under Development Permit (DP 18-825006) issued for the adjacent hotel site.
- There are a total of 27 on-site replacement trees within the Development Permit plans. This exceeds the 26 replacement trees required for 13 trees removed for project. Of these 13 trees, seven are in good condition but are in conflict with the proposed development and six are not good candidates for retention due to health and structure as identified at the time of the Rezoning application.

- To provide a soft green landscape buffer to the east side of the proposed building, the applicant has obtained written approval from the adjacent commercial property owner immediately to the east to allow for the planting the three additional Maple trees and shrubs.

Environmentally Sensitive Area (ESA)

There is a mapped ESA Development Permit Area along the southern property line of the site.

The strategy for protection of part of the ESA area and providing ESA compensation was developed as part of the Rezoning application process. Given that modification to this ESA is subject to a Development Permit, the applicant engaged a Qualified Environmental Professional (QEP) to assess the ESA area as part of the Rezoning application and prepared a Stage 1 ESA Report. More specifically, the Stage 1 ESA Report identified that the 270 m² (2,906 ft²) of mapped ESA is comprised of:

- 146 m² (1,571.5 ft²) of natural area which includes the above-noted 10 trees proposed to be retained near the south property line and that are outside of the adjacent lawn area to the north.
- 143 m² (1,539 ft²) within the remaining mapped ESA area, comprised mainly of lawn and having very low environmental value to invertebrates and birds.

Staff have reviewed the Stage 1 ESA Report and agreed that the proposed prescription provides both a net gain in quality and quantity over the current on-site ESA natural area 146 m² (1,571 ft²) to be maintained within the site to be maintained due to the following:

- Preservation of the natural portion of the ESA area at grade level.
- The provision of additional ESA compensation areas on levels 5 and 7 of the building.
- Vertical and lateral connectivity of ESA within the site and on the building.
- The extensive planting of native shrubs on the ground-level ESA area and roof-top ESA compensation areas, with plant species selected for suitability to urban ecosystems.

The Stage 2 ESA report, prepared for the Development Permit application, confirmed that the removed existing 143 m² (1,539 ft²) ESA area comprised of lawn will be more than compensated for with proposed ESA compensation areas with native species proposed for the building's terraces. In this regard, under the Rezoning Considerations, the City has required that the applicant provide a net gain of 333 m² (3,261 ft²) of ESA area comprised of the persevered ESA area and ESA compensation areas. The Stage 2 ESA Report and landscape plans in the Development Permit provide for:

- Remaining natural ESA area of 146 m² (1,539 ft²) with the existing trees is to be maintained, and the understory being enhanced with the removal of invasive of species and the planting of three native trees and shrubs.
- ESA compensation on level 5 of the building of 198 m² (2,131 ft²) with the planting of native plants and level 7 with 259 m² (2,779 ft²) with the planting of native shrubs and trees.

As part of the Development Permit required for project, the applicant's QEP has provided a detailed Stage 2 ESA Report and landscape plans (Attachment 4) that:

- Include a detailed invasive species removal plan.
- Provide detailed site planting and construction monitoring plans.
- Provide a plan for removing invasive species in the other identified landscape areas outside of the ground-level on-site and off-site ESA areas to be maintained and the ESA compensation areas.
- Provide irrigation plans for the ground-level ESA and roof-top ESA compensation areas.
- Provide estimates for the value of the ground-level and roof-top portions of the plantings, and the cost of a five-year monitoring plan.

The QEP has also reviewed the design of the building and ESA landscaping made the following recommendations regarding reducing bird strikes follows:

- Accent lighting included in the previous landscaping plans has been removed to reduce the effects of lighting on the ESA.
- Mitigation to reduce the chances of bird collision risk have been incorporated into the building design including:
 - The south side of the building adjacent to the ground level ESA includes design features that will lower the risk of bird collisions including a mixture of frosted glass windows, opaque spandrel glazed windows, metal paneling, concrete wall and mechanical ventilation louvers.
 - The building façade above the Level 5 ESA compensation area includes architectural features including and ventilation louvers as well as deep and highly accentuated walls. Below the Level 5 ESA compensation area is a three-tone painted concrete wall and textured wall that is not hazardous to birds.
 - To ensure that the risk of bird collision monitored after construction, a biologist will visit the site in the morning as part of a baseline assessment twice a month for the first six months after building completion (which will include a migratory period). Annual monitoring will then extend for the following three years. If there are any areas of the building that are found to have an elevated risk the biologist will specify additional bird-strike migration measures.
- That ESA compensation on Level 7 is has a low risk of bird collision as it is on the top floor with a small penthouse limited clear glazing.
- The remainder of the building is also a mix of design features that will reduce the risk of bird collision including the features described above for the ESA compensation areas as well as mechanical louvers and aluminum fins which all break up the nature of the façade along with the changes in color and shape.

As a Rezoning Consideration, there will also be registration of a legal agreement for the purpose of ensuring the planting and maintenance of the above-noted on-site ESA areas and the existing adjacent 256 m² (2,756 ft²) ESA area on the hotel site at 9533 Bridgeport Road. The covenant also provides for a three-year to five-year monitoring plan, as needed, for the reviewing the performance of the ESA plantings. The applicant will also provide a \$10,000 security for the five-year ESA monitoring plan and an \$11,000 security for the bird strike monitoring plan.

Crime Prevention Through Environmental Design

- The external street frontages provide significant surveillance from the street-oriented light industrial and office units due to the design of the building.
- The substantial area of windows at the hotel lobbies and ground-level amenity spaces provide clear views onto the exterior pedestrian areas associated with the building and Bridgeport Road. Pedestrian-scale bollard lighting is provided on the sites.

Sustainability

The proposed development includes the following sustainable features:

- The proposed buildings will continue to meet minimum LEED Silver (version 4) equivalent that provides a range of 52 points up to 73 possible points out of a maximum 110 points with a focus on energy efficient and indoor environmental quality. See Attachment 5 for the LEED checklist (Attachment 5).
- The applicant will be required to register a legal agreement on Title securing the owner's commitment to connect to a District Energy Utility (DEU) that provides that no Building Permit will be issued unless the building is designed with the capability to connect to and be serviced by a DEU. The developer will also be required to provide mechanical drawings and energy modeling, which shall be reviewed by the City and LIEC for compliance with DEU requirements (i.e. capable of connecting to a future DEU system) prior to Building Permit issuance.

Accessibility

The proposed development also includes the following accessible design elements:

- There are two accessible parking spaces located in close proximity to the main entrance lobbies for the office and light industrial spaces within the building.
- There is a broad sidewalk that provides level access to all of the light industrial units on the ground floor.

Public Art

The applicant will be providing a \$15,235.16 monetary contribution to the City's Public Art Program as a Rezoning Consideration.

Aircraft Noise Policy & City Noise Bylaw

The proposed development is located in Area 1A (New Aircraft Noise Sensitive Uses Prohibited) on the Aircraft Noise Sensitive Development Policy. The project includes non-aircraft sensitive uses in compliance with the policy. Thus, there will be registration of an aircraft noise indemnification covenant is required prior to rezoning adoption as part of the rezoning application.

The proposed development must address additional OCP Noise Management Policies related to mixed-use, commercial and ambient noise, as well as other impacts of densification. In this regard, the applicant will also be required to register a legal agreement on Title. This agreement will require that an acoustical engineering report be provided to the City prior to issuance of the Building Permit that confirms that the project mitigates unwanted noise from the building and

that the rooftop HVAC units will not exceed noise levels allowed in the City's Noise Bylaw 8856.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Mark McMullen
Senior Coordinator - Major Projects
(604-276-4173)

MM:blg

Attachments:

- Attachment 1: Development Application Data Sheet
- Attachment 2: Overall Development Site Plan
- Attachment 3: Excerpt from the Advisory Design Panel Minutes
- Attachment 4: ESA Map
- Attachment 5: LEED Scorecard

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$65,754.70 for the ESA plantings and \$165,901.45 for the other landscaping.
- Receipt of a Letter-of-Credit for \$10,000 to secure the five-year environmental monitoring plan and a Letter-of-Credit for \$11,000 to secure the bird strike monitoring plan.
- Granting of an approximately 218 m² (2,347 ft²) statutory right-of-way measuring approximately 2.9 m by 75.2 m (9.5 ft. by 246.7 ft.) adjacent to the west side of the subject site on 9466 Beckwith Road (2788 Jow Street) for the sidewalk purposes for public pedestrian and bicycle access and general access by the City for servicing and emergency access purposes. The works are to be built by the owner/developer and are to be maintained by the owner. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Make any revisions to the existing SA12-611073 for changes to the design of Jow Street to provide necessary vehicle and pedestrian access and other servicing works for the subject development.
- Submit the following DEU information to Lulu Island Energy Company:
 - a) For review mechanical, plumbing and architectural drawings (in PDF format) showing that a building mechanical system is compatible with the future DEU system and will be able to utilize the DEU for not less than 100% of all the annual space heating and domestic hot water heating for a building as determined in the energy modeling report.
 - b) Submit for review a DEU energy modeling report showing:
 - i. space heating, cooling and domestic hot water heating peak loads and hour by hour consumption, and
 - ii. percentage of annual space heating and domestic hot water requirements supplied by DEU.

- b) Submit for review mechanical, plumbing and architectural drawings (in PDF format) showing that a building mechanical system is compatible with the future DEU system and will be able to utilize the DEU for not less than 100% of all the annual space heating and domestic hot water heating for a building as determined in the energy modeling report.
- c) Confirmation that the room noted as “Combined Mechanical Room”: The general guideline for required DEU infrastructure within the building is 6.11m L x 2.83m W x 2.13m H.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



DP 18-829207

Attachment 1

Address: 9520 Beckwith Road (2777 Jow Street)

Applicant: IBI Group Architects (Canada) Inc.

Owner: 1128457 B.C. Ltd

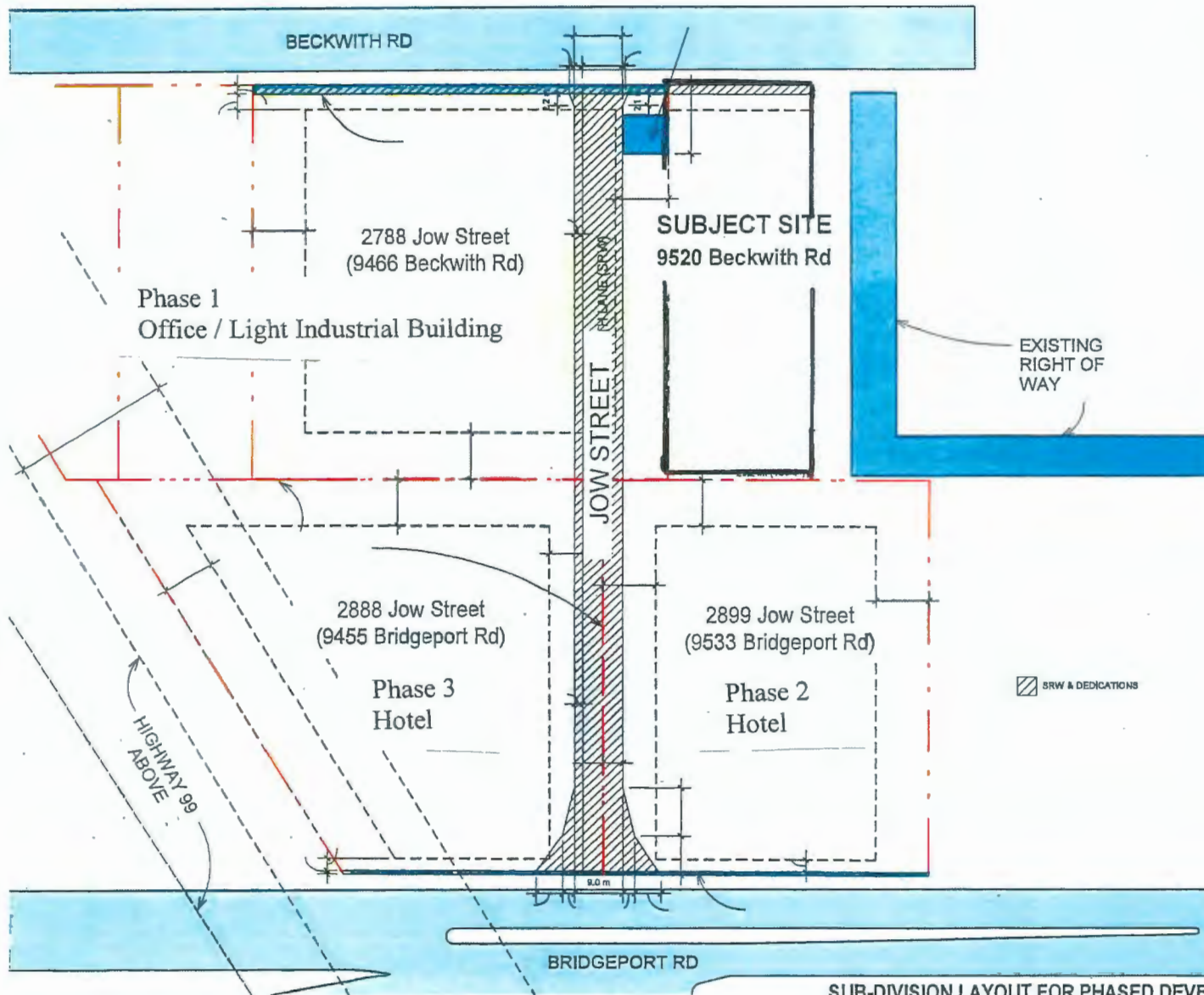
Planning Area(s): City Centre Area Plan

Floor Area Gross: 66,843 ft² (6,210 m²)

Floor Area Net: 40,436 ft² (3,757 m²)

	Existing	Proposed
Site Area:	2,097.7 m ²	2,043.3 m ²
Land Uses:	Vacant	Office and Light Industrial
OCP Designation:	MEMP – Mixed Employment	MEMP – Mixed Employment
Zoning:	Single Detached (RS1/F)	Light Industrial and Office (ZI19) – Bridgeport Village (City Centre)
Number of Units:	None	None

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.85	1.84	none permitted
Lot Coverage:	Max. 75%	72.72%	none
Setback – Front Yard (Beckwith):	Min. 3.0 m	3.0 m	none
Setback – Side Yard (East):	Min. 0.0 m	0.2 m	none
Setback – Side Yard (West)	Min. 0.5 m	0.7 m	none
Setback – Rear Yard:	Min. 10.0 m	14.1 m	none
Height (m):	Max. 30 m	28.04 m	none
Lot Size:	none	2,043.3 m ²	none
Off-street Parking Spaces – Regular/Commercial:	74	74	none
Off-street Parking Spaces – Accessible:	2	2	none
Total off-street Spaces:	76	76	none
Tandem Parking Spaces	not permitted	None	none
Amenity Space – Indoor:	N/A	N/A	none
Amenity Space – Outdoor:	N/A	N/A	none



| B |

NEW NORTH-SOUTH ROAD CONNECTING
BRIDGEPORT RD WITH BECKWITH ROAD

ATTACHMENT 2

SUB-DIVISION LAYOUT FOR PHASED DEVELOPMENT

A 1007

1/32" = 1'-0"

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, July 17 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

1. **DP 18-829207 – 7-STOREY MIXED USE LIGHT INDUSTRIAL AND OFFICE DEVELOPMENT**

ARCHITECT: IBI Group Architects
LANDSCAPE ARCHITECT: Van der Zalm and Associates
PROPERTY LOCATION: 9520 Beckwith Road

Applicant's Presentation

Salim Narayanan, Architect, IBI Group Architects and Travis Martin, Landscape Architect, van der Zalm + Associates, presented the project and together with Kelly Koome, Arborist, van der Zalm + Associates, answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- appreciate the applicant contributing to the City's Public Art Fund; however, the applicant is encouraged to incorporate public art into the project to improve the project's public realm; *IBI: Applicant appreciates the importance of the project as an integral part of Bridgeport community area, and together with design team makes thoroughgoing efforts to maximally enhance the public realm experience. Applicant believes that the City of Richmond has paramount view in regards of city's public art vision. As follows, and due to site conditions and confined quarters, applicant opts to contribute to City's Public Art Fund.*

- appreciate the high density of tree planting and landscaping along the building's Beckwith Road frontage to provide a buffer to the existing single-family homes to the north; however, consider opening up the landscaped area along the north edge of the site to provide additional pedestrian access to the building from the north and address potential CPTED concerns; ***IBI: Landscaping at North elevation, along Beckwith road, was revised accordingly, to open up the elevation and introduce additional pedestrian connection. See A0.09 and L-02A***
- support the terraced building form stepping away from the east property line at the upper levels to reduce the massing of the building; also appreciate the introduction of vertical elements to break down the horizontal mass of the building; consider further breaking down the building massing particularly at the lower levels to provide a more pedestrian-oriented character to the building; ***IBI: Has been done and no further changes are proposed.***
- support the proposed bollard lighting along the west and north sides of the building;
- consider introducing landscaping around the Pad Mounted Transformer (PMT) fronting Beckwith Road to screen it from pedestrian view; ***IBI: Green hedge was added around PMT, to create aesthetic concealment. See A0.09 and L-02A.***
- consider adding lighting to the loading area on the south side of the building to enhance pedestrian experience and safety at night; ***IBI: Upward accent lights and flood lights were added to increase illumination, accentuate the trees, along South elevation. See L-02A.***
- the model and the applicant's presentation helped clarify the project's concept;
- the scale of the project relative to its site context is appropriate; shape and form of the building is also appropriate for its proposed uses;
- the applicant needs to address concerns regarding lighting and ventilation in the two parking levels inside the building; consider incorporating louver strips into the glass material wrapping the parking levels for ventilation; lighting in the parking levels should match the type of glass material for the parking level walls and reduce headlight glare from inside, e.g. obscure, translucent or spandrel; ***IBI: Extensive louver panels were incorporated at North and South elevations. Furthermore, "staggered" curtain wall panels design at West elevation will provide additional parking ventilation. Re: Glazing – spandrel and frosted glass panels are used interchangeably, to create a desirable lighting effect and reduce/block headlight glare. See elevations A2.01, A2.02, A2.03***
- simplicity of articulation on the southwest corner of the building is appropriate; consider mimicking this approach to the northwest corner that has a corner glass condition; consider a more solid corner treatment; ***IBI: A more solid corner treatment adopted – Long staircase window, on North elevation, was deleted. See A2.01***

- articulation of vertical fins on the west face of the building is effective; appreciate the interlacing of vertical fins that aligns with the two middle parking levels in the building; consider highlighting this condition as the project moves forward; also consider a slightly denser articulation of the vertical fins on the north face of the building to highlight the two middle parking levels;

IBI: Parking levels at North elevation were further accentuated by introducing mechanical louvers. No further changes are proposed.

- appreciate the amount of planting in the project and extensive use of native species; concerned on vine planting below Level 5 which is not shown on the planting plan for Level 5 as it is technically not on Level 5; applicant needs to consider provision of maintenance access; ***IBI: Guardrail access will be provided to maintain step-down planter. A fixed ladder is shown on A1.05 (at Gridline L1 between Gridlines D/E).***
- shadow study shows that the north elevation is a dark space most of the time; high density of planting including trees, native shrubs and planters along the Beckwith Road frontage will pose sightline issues; consider keeping the planting low and open up some of the trees to allow more sunlight; ***IBI: Landscaping at North elevation was revised accordingly, to allow more sunlight in. See A0.09 and L-02A***
- support the Panel comment regarding the lack of provision for maintenance access for vines on the lower planter below Level 5; consider installing a permanent ladder structure on the outside to connect the higher Level 5 planter to the lower planter;
IBI: Guardrail access will be provided to maintain step-down planter. A fixed ladder is shown on A1.05 (at Gridline L1 between Gridlines D/E).
- programming on the building rooftop could be enhanced; consider breaking up the 20-foot long planting bed into smaller beds as it is difficult to maintain; the applicant could use the freed space for other uses that would benefit office space users; ***IBI: A break in the landscaping was made.***
- support the retention of existing trees along the south property line and the proposed additional planting of trees on the site;

- the project is nice and compact; however, the applicant needs to integrate into the building design the mechanical and ventilation requirements for the building's intended uses, e.g. provision of louvers for the two lower floors of light industrial uses; Canadian Standard Association (CSA) requirements may also impact the design and programming of the rooftop deck to provide for the mechanical equipment requirements of future medical and dental offices should these be located in the building's office spaces; ***IBI: Ventilation louvers are integrated into Light Industrial levels façade and soffit. See A2.01-04. Specialized, open to sky, mechanical area is allocated on Level 7 to serve present and future mechanical needs, and in coordination with Mechanical consultant.***
- applicant needs to be mindful of interconnecting the two floor levels for light industrial uses as this could impact the required space for vestibules on the ground level; ***IBI: Internal stairs shown in Light Industrial spaces are optional, and subject to future TI if needed.***
- support the incorporation of vertical fins on the building façade; however, some of the fins, particularly the intermediate fins, are not deep enough and need further design development;
IBI: Has been done and no further changes are proposed.
- appreciate the proposed mixed light industrial and office use project which is part of an overall project that includes two hotel buildings and a business centre building;
- support the Panel comment for the applicant to consider at this stage of the project the mechanical and ventilation requirements for office and light industrial spaces and incorporate these into the building design and articulation of building facade, e.g. louvers and mechanical equipment; ***IBI: Mechanical and ventilation requirements are incorporated and coordinated with Mechanical consultant.***
- the proposed loading decks are not well resolved; consider a dedicated and more direct passage from the loading decks to the inside of the building that will not go through the garbage and recycling room; applicant could consider utilizing a portion of the office reception/lobby as a passageway from the loading decks to the inside of the building; ***IBI: Service corridor and Garbage/Recycling area were revised to allow a dedicated passage from the loading facilities.***
- the overall articulation of the building is more successfully shown in the model than in the renderings, e.g. showing the contrast in gray tones;

- applicant needs to review the accessibility aspect of the project, e.g. wayfinding for different users of the building, e.g. location of accessible parking; ***IBI: Please, see L-06 for Accessibility Plan. Please, see A0.09 for H/C stalls located at immediate proximity to the main lobby. Accessibility and wayfinding signs will be incorporated throughout in the project within the Building Permit, including electronic H/C door opener at main lobby.***

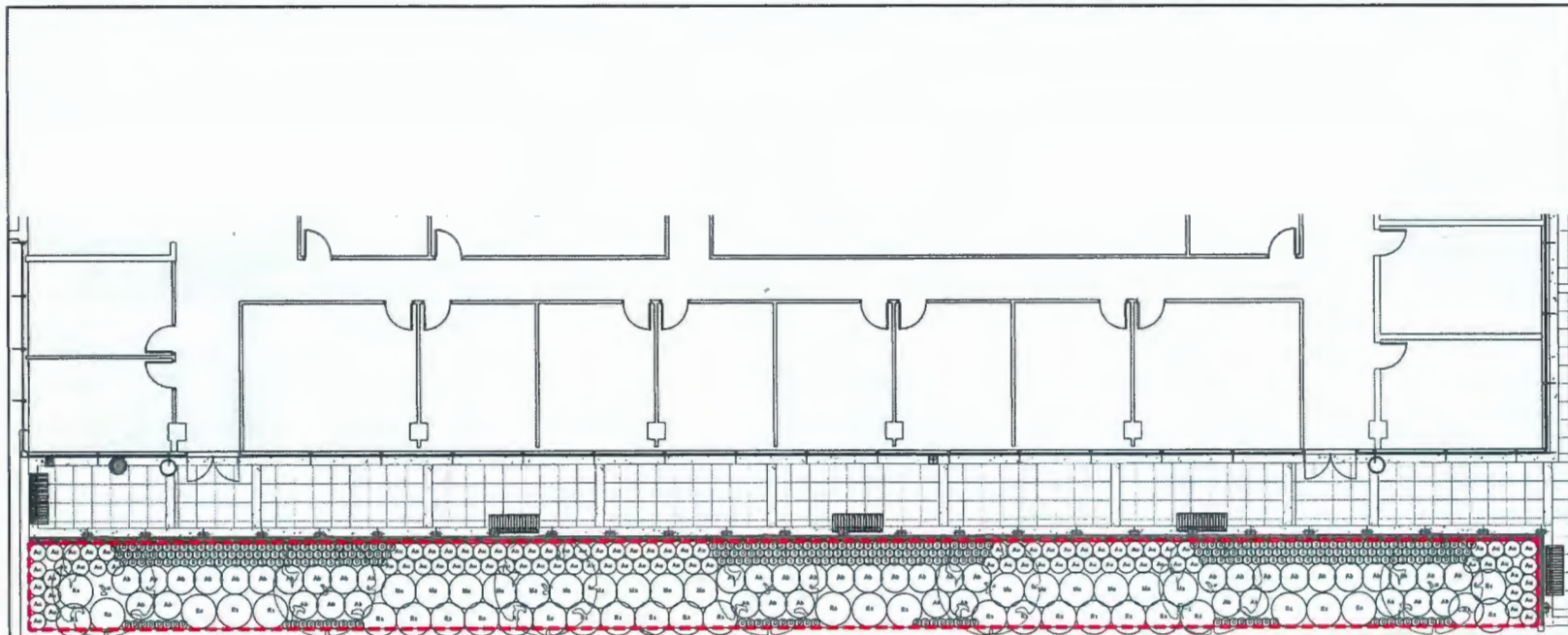
- appreciate the proposed mixed-use building notwithstanding the questions regarding its intended uses;
- the two levels of parking inside the building present an opportunity to repurpose these for other uses as their need diminishes in the future;
- would like to see the definition of the zoning of the subject site and its permitted uses; and
- appreciate how the building fits into the neighbourhood.

Panel Decision

It was moved and seconded

That DP 18-829207 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Level 5 ESA compensation area, 156.2m²

ESA Calculations:

Existing ESA area:	270m ²
Level 1 ESA Post Development:	197m ²
Level 5 ESA compensation area:	254m ²
Total ESA Post Development:	507m ²
Net change in ESA area:	+337m ²

NOTE:
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	45	<i>Abies balsamea</i> 'Nana' / Dwarf Balsam Fr	#2 Pot	1m
Au	94	<i>Arctostaphylos uva-ursi</i> / Kinnikinnick	#2 Pot	0.60m
D	144	<i>Deschampsia cespitosa</i> / Tufted Hair Grass	#2 Pot	0.30m
Ma	18	<i>Mahonia aquifolium</i> / Oregon Grape	#3	1.20m
Ra	33	<i>Ribes sanguinum</i> / Red Flowering Currant	#3	1.20m
S	198	<i>Sedum spathulifolium</i> 'Carnea' / Broadleaf Stonecrop	#1	0.30m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
 - Shrubs: 450mm
 - Sod: 150mm
 - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

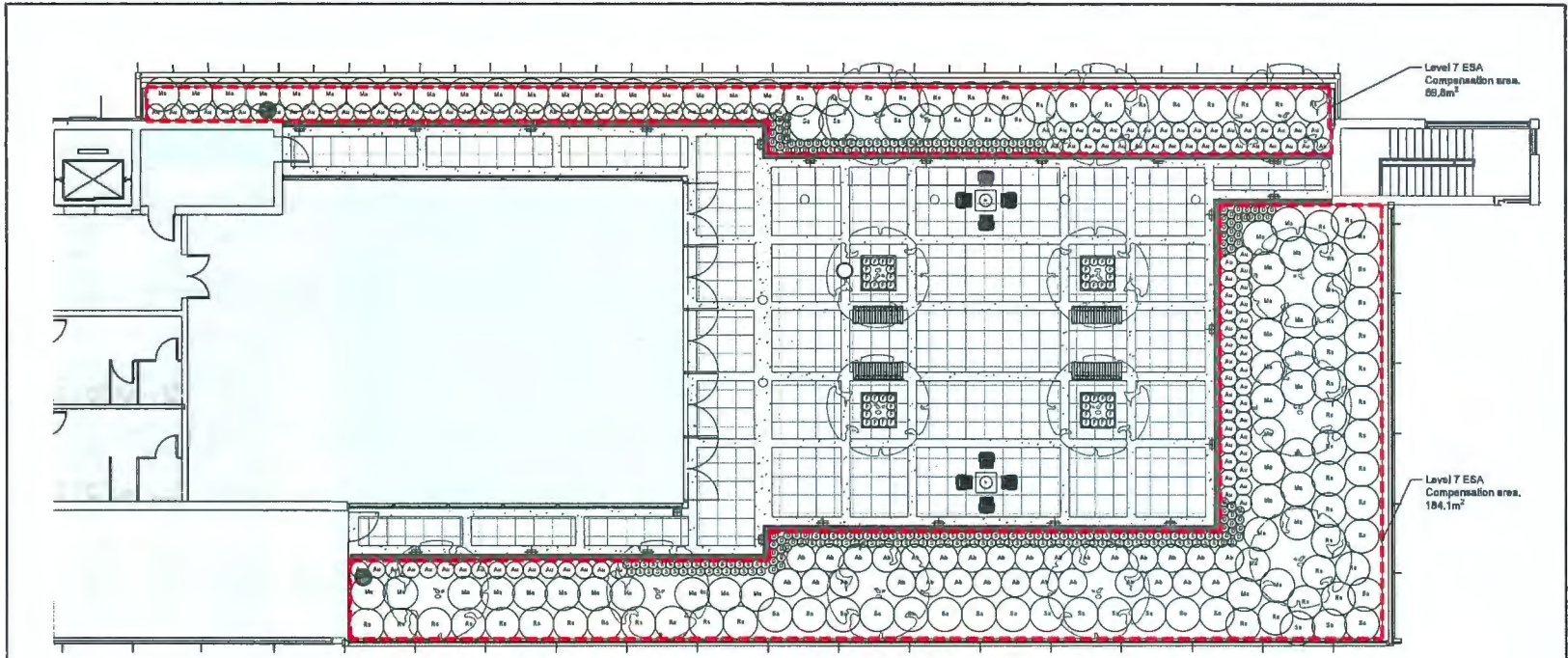
No.	By	Description	Date
1	AD	Issued for Development Permit	Jan 28, 2019
2	AD	Issued for Development Permit	Feb 28, 2019
3	AD	Issued for Development Permit	Mar 19, 2019
4	AD	Issued for Development Permit	Apr 26, 2019
5	AD	Issued for Development Permit	July 6, 2019
6	AD	Issued for Development Permit	Aug 22, 2019
7	AD	Issued for Development Permit	Oct 19, 2019

Project:
 9520 Beckwith Road

Location:
 9520 Beckwith Road
 Richmond, BC

Drawn: AD	Checked: MVDZ	Approved: MVDZ	Original Sheet Size: 34"x34"
Scale: 1:75			

Drawing Title: PLANTING PLAN - LEVEL 5
 Drawing #: L-03B
 Project #: DP2018-29
 VZJ Project #



van der Zaaij + associates inc.
 Parks & Recreation • Civil Engineering
 Urban Design • Landscape Architecture
 June 1, 2017 (9th Revised) P: 004-222-2222
 1000 West Broadway, Suite 1000, Vancouver, BC V6H 2G6
 www.vdz.com



ESA Calculations:

Existing ESA area:	270m ²
Level 1 ESA Post Development:	197m ²
Level 5 ESA compensation area:	156m ²
Level 7 ESA compensation area:	254m ²
Total ESA Post Development:	607m ²
Net change in ESA area:	+337m ²

NOTE:
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	30	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	118	Arcostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	76	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
F	48	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0,30m
Ma	51	Mahonia aquifolium / Oregon Grape	#3	1,20m
Ra	56	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	181	Sedum spathulifolium 'Carnes' / Broadleaf Stonecrop	#1	0,30m
Sa	25	Symphoricarpos albus / Common White Snowberry	#3	1,20m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoli supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
 - Shrubs: 450mm
 - Sod: 150mm
 - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
7	AD	Issued for Development Permit	Oct 16, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 28, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 20, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
9520 Beckwith Road

Location:
9520 Beckwith Road
Richmond, BC

Drawn:
AD

Checked:
MVDZ

Approved:
MVDZ

Scale:
1:75

Original Sheet Size:
24"x36"

Drawing Title: **PLANTING PLAN - LEVEL 7**
 Drawing #: **L-03C**

Project: **DP2018-29**
 Drawing #: **L-03C**



LEED



LEED v4 for BD+C: New Construction and Major Renovation Project Checklist

Project Name: Bridgeport Lowrise
Date: 2019-M06-26



2019-M06-26

Y	?	N	Cred	Integrative Process	1
13	1	0		Location and Transportation	16
	0		Cred	LEED for Neighborhood Development Location	16
			Cred	Sensitive Land Protection	1
	0		Cred	High Priority Site	2
			Cred	Surrounding Density and Diverse Uses	5
			Cred	Access to Quality Transit	5
	1		Cred	Bicycle Facilities	1
			Cred	Reduced Parking Footprint	1
			Cred	Green Vehicles	1
3	4	3		Sustainable Sites	10
	Y		Prereq	Construction Activity Pollution Prevention	Required
			Cred	Site Assessment	1
	2		Cred	Site Development - Protect or Restore Habitat	2
			Cred	Open Space	1
	3		Cred	Rainwater Management	3
	2		Cred	Heat Island Reduction	2
			Cred	Light Pollution Reduction	1
7	1	0		Water Efficiency	11
	Y		Prereq	Outdoor Water Use Reduction	Required
	Y		Prereq	Indoor Water Use Reduction	Required
	Y		Prereq	Building-Level Water Metering	Required
	1		Cred	Outdoor Water Use Reduction	2
			Cred	Indoor Water Use Reduction	6
			Cred	Cooling Tower Water Use	2
			Cred	Water Metering	1
17	0	0		Energy and Atmosphere	33
	Y		Prereq	Fundamental Commissioning and Verification	Required
	Y		Prereq	Minimum Energy Performance	Required
	Y		Prereq	Building-Level Energy Metering	Required
	Y		Prereq	Fundamental Refrigerant Management	Required
	0		Cred	Enhanced Commissioning	6
			Cred	Optimize Energy Performance	18
			Cred	Advanced Energy Metering	1
	0		Cred	Demand Response	2
	0		Cred	Renewable Energy Production	3
			Cred	Enhanced Refrigerant Management	1
	0		Cred	Green Power and Carbon Offsets	2

Y	?	N	Cred	Materials and Resources	13
	0		Prereq	Storage and Collection of Recyclables	Required
	Y		Prereq	Construction and Demolition Waste Management Planning	Required
			Cred	Building Life-Cycle Impact Reduction	5
			Cred	Building Product Disclosure and Optimization - Environmental Product Declarations	2
			Cred	Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
			Cred	Building Product Disclosure and Optimization - Material Ingredients	2
			Cred	Construction and Demolition Waste Management	2
10	5	0		Indoor Environmental Quality	16
	Y		Prereq	Minimum Indoor Air Quality Performance	Required
	Y		Prereq	Environmental Tobacco Smoke Control	Required
			Cred	Enhanced Indoor Air Quality Strategies	2
			Cred	Low-Emitting Materials	3
			Cred	Construction Indoor Air Quality Management Plan	1
			Cred	Indoor Air Quality Assessment	2
			Cred	Thermal Comfort	1
			Cred	Interior Lighting	2
			Cred	Daylight	3
			Cred	Quality Views	1
			Cred	Acoustic Performance	1
1	5	0		Innovation	6
	5		Cred	Innovation	5
			Cred	LEED Accredited Professional	1
0	0	0		Regional Priority	4
	0		Cred	Regional Priority: Specific Credit	1
	0		Cred	Regional Priority: Specific Credit	1
	0		Cred	Regional Priority: Specific Credit	1
	0		Cred	Regional Priority: Specific Credit	1
52	20	3		TOTALS	Possible Points: 110

Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110

Attn: City of Richmond
Re: 9520 Beckwith Road by Chungwa

This letter is written to indicate the progress of Bridgeport - Lowrise (9520 Beckwith Road, Richmond, BC) and to present the preliminary sustainability assessment and implementation of green building strategies in the project design. Furthermore, this letter confirms that E3 Eco Group has been engaged by Chungwa to consult on sustainability strategies during the project development to ensure compliance with Rezoning Considerations 19.

For Rezoning Consideration 19:
As clearly stated in the Rezoning Consideration (RZ 18-021103), the project is exempt from complying with Step Code due to its Development Permit Application date being prior to the adoption of Step Code by the City of Richmond. Therefore, a preliminary rating has been carried out following the LEED v4 rating system and sufficient points have been selected and incorporated into the design as to be equivalent to a Silver rating. A follow up letter and report will be submitted to the City upon project completion.

Supporting Documentation:
Simplified Sustainability Checklist 2019-M06-26

Please contact the undersigned if you have any additional questions.

Kind Regards,
Kaui Queiroz
Kaui Queiroz
Sustainability consultant
Project Manager
E3 Eco Group Inc.

IBI IBI GROUP ARCHITECTS (CANADA) INC.
700 - 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

2019-10-01

9520 BECKWITH RD **A0.03d**



DP 18-829207

Attachment B

Address: 9520 Beckwith Road

Applicant: Arcadis Architects (Canada) Inc.

Owner: 1128457 BC LTD.

Planning Area(s): City Centre Area Plan – Bridgeport Village

Floor Area Gross: 6,210 m²

Floor Area Net: 3,757 m²

	Existing	Proposed
Site Area:	2,097.7 m ²	2,043.3 m ²
Land Uses:	Vacant	Office and Light Industrial
OCP Designation:	Mixed Employment	Mixed Employment
Zoning:	Single-Detached (RS1/F)	Light Industrial and Office (Z119) – Bridgeport Village (City Centre)

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.85	1.84	none permitted
Lot Coverage:	Max. 75%	72.7%	None
Setback – Front Yard (Beckwith):	Min. 3.0 m	3.0 m	None
Setback – Side Yard (east):	Min. 0.0 m	0.2 m	None
Setback – Side Yard (west):	Min. 0.5 m	2.2 m	None
Setback – Rear Yard (south):	Min. 10.0 m	14.1 m	None
Height (m):	Max. 30.0 m	28 m	None
Off-street Parking Spaces –	74	74	None
Off-street Parking Spaces – Accessible:	2	2	None
Total off-street Spaces:	76	76	None



City of
Richmond

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 9520 Beckwith Road

File No.: DP 18-829207

Prior to Development Permit issuance, the following are to be met prior to forwarding this application to Council for approval:

1. (Landscape Security Non-ESA) - Enter into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$260,095
2. (Landscape Security ESA) - Enter into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$110,466. The terms of release of this security shall be consistent with the monitoring and maintenance recommendations of the consulting Qualified Environmental Professional.
3. (Legal Agreement ESA) – Registration of a legal agreement that includes the following provisions in relation to the Environmentally Sensitive Area compensation and enhancement areas forming part of this Development Permit application.
 - 3.1 Includes at-grade ESA compensation areas located on both 9520 Beckwith Road and 2888 Jow Street.
 - 3.2 Includes all remaining ESA compensation areas on levels 5 and 7 of the subject site
 - 3.3 Applicable BCLS survey plans to be submitted consistent with the Development Permit application that identifies the ESA compensation and enhancement areas.
 - 3.4 The ESA compensation and enhancement areas cannot be disturbed, modified or removed and must be maintained by the developer.
 - 3.5 Include the project’s Qualified Environmental Professional (QEP) post implementation monitoring and maintenance provisions as follows:
 - 3.5.1 5 year monitoring period.
 - 3.5.2 Inspections to occur twice yearly with reports provided by the QEP to the City after each inspection.
 - 3.5.3 QEP responsible for resolving any deficiencies during this monitoring period.
 - 3.6 Implementation of the bird strike monitoring plan in accordance with the report and recommendations of the project QEP that will include:
 - 3.6.1 A minimum of 2 monthly inspections by the QEP for the initial 6 month baseline period once completion of construction and installation of all on-site landscape is complete and the City grants final inspection (or equivalent certification).

- 3.6.2 Annual monitoring for an additional 3 year period beyond the above referenced 6 month initial base line period
 - 3.6.3 Submission of reports from the QEP after the 6 month initial base line period and on an annual basis for the 3 year period thereafter.
- 3.7 Include provisions for the City to access ESA compensation areas at-grade and on levels 5 and 7 of the development for the purposes of installing, performing maintenance and inspecting works within the ESA compensation areas.

- 4. (Legal Agreement – Vehicle Access from 2777 Jow Street) – Registration of a legal agreement on the property at 2777 Jow Street that grants vehicle access and egress to 9520 Beckwith Road through the property at 2777 Jow Street to Jow Street (secured through the statutory right-of-way EPP72727).

- 5. (Legal Agreement – Loading Facilities on 2899 Jow Street) – Registration of a legal agreement on the property at 2899 Jow Street that grants the shared use of the large on-site loading facility to benefit 9520 Beckwith Road.

- 6. (Legal Agreement – Public Access on 2777 Jow Street) – Registration of a legal agreement and accompanying statutory right-of-way on the property at 2777 Jow Street for an area (approximately 2.9 m in width and 75.2 m in length) located on the east edge of 2777 Jow Street (directly adjacent to and along the shared property line of 9520 Beckwith Road) that grants public access and use of this area for sidewalk purposes and general access to the City for servicing and emergency access purposes. The works are to be built by the owner/developer and are to be maintained by the owner. Any works essential for public access within the required statutory right-of-way (SRW) are to be included in the Servicing Agreement (SA) and the maintenance & liability responsibility is to be clearly noted. The design must be prepared in accordance with City specifications & standards and the construction of the works will be inspected by the City concurrently with all other SA related works.

- 7. (Legal Agreement – Canopy encroachment into 2777 Jow Street) – Registration of a legal agreement on the property at 2777 Jow Street for the existing entrance canopy affixed to and part of the proposed building at 9520 Beckwith Road. This entrance canopy is proposed to encroach into 2777 Jow Street and a legal agreement is required to:
 - 7.1 Provide allowance for the encroachment with terms that are acceptable to 2777 Jow Street and 9520 Beckwith Road.
 - 7.2 Include terms that ensure appropriate liability provisions and indemnification to the City.
 - 7.3 Include provisions that recognizes the canopy will also encroach over a portion of the public access area secured through Development Permit consideration Item 6.

- 8. (DP Panel Notification Fee) Payment of all fees in full for the cost associated with the Development Permit Panel Notices, consistent with the City’s Consolidated Fees Bylaw 8636, as amended.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
3. Submission and approval of the Construction and Environmental Management Plan (CEMP) to be prepared by the project QEP.

- Signed Copy on File -

Signed

Date



No. DP 18-829207

To the Holder: Arcadis Architects (Canada) Inc.
Property Address: 9520 Beckwith Road
Address: C/O Suite 100 1285 West Pender Street
 Vancouver BC V6E 4B1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #39 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$110,466 for ESA compensation and enhancement plantings and \$260,995 for all other landscaping to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to five years after inspection and completion of the ESA compensation and enhancement plantings and up to one year after inspection and completion of the other on-site landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-829207

To the Holder: Arcadis Architects (Canada) Inc.
Property Address: 9520 Beckwith Road
Address: C/O Suite 100 1285 West Pender Street
 Vancouver BC V6E 4B1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

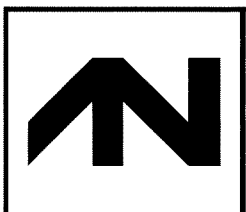
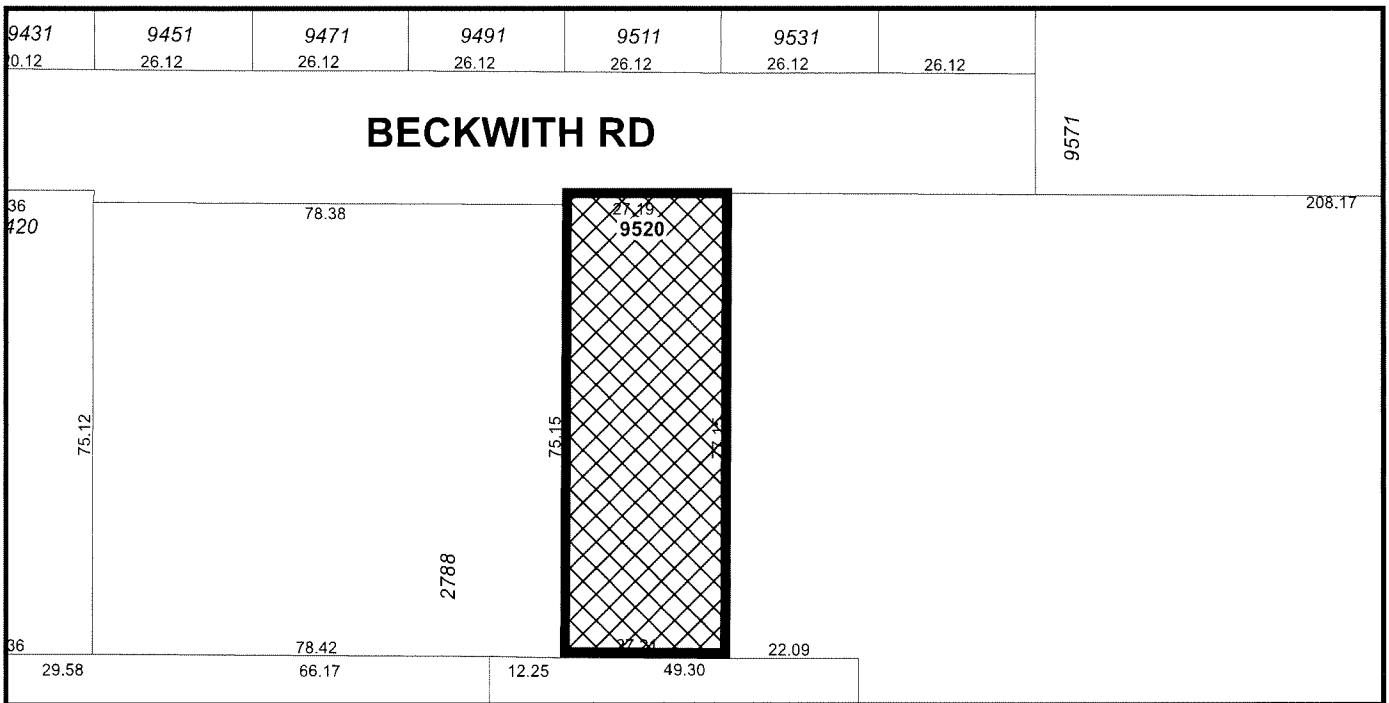
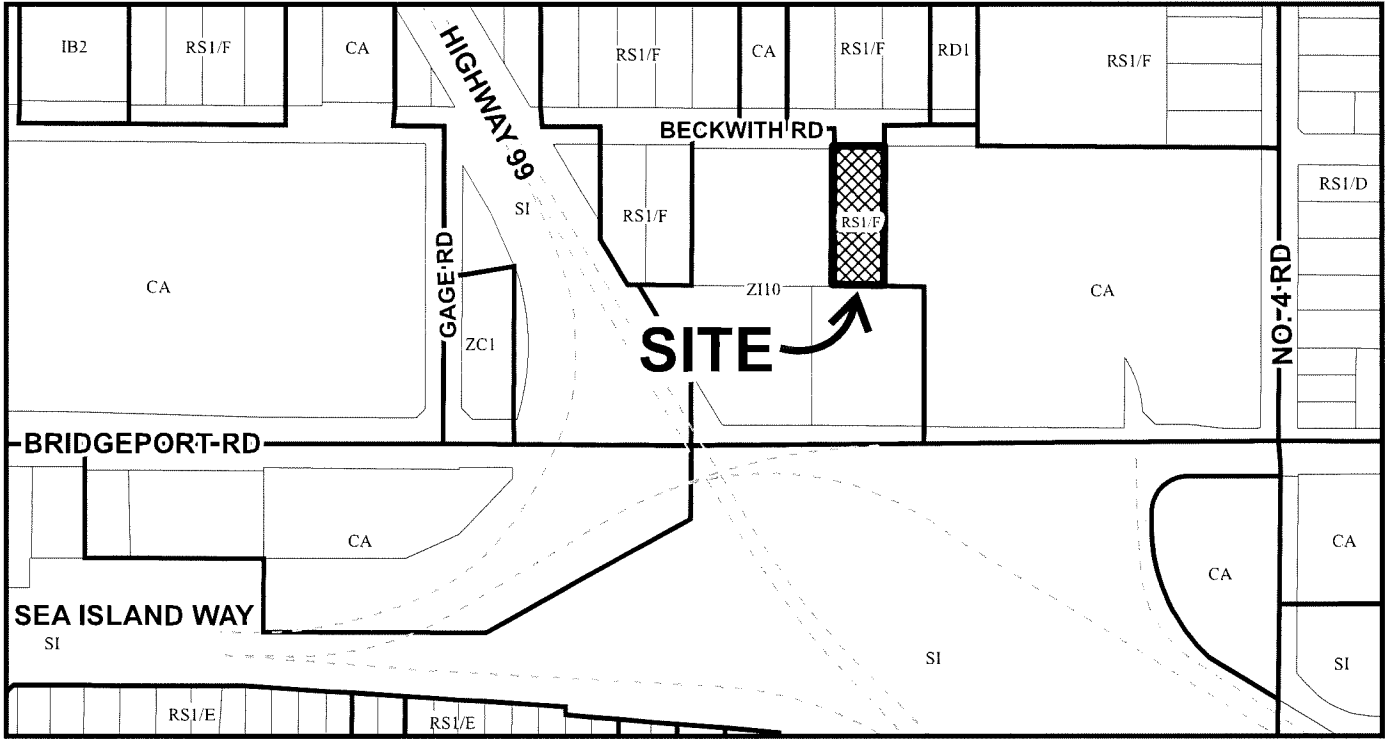
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-829207 SCHEDULE "A"

Original Date: 10/24/18
 Revision Date: 02/28/24
 Note: Dimensions are in METRES

Project Statistics

PROJECT STATISTICS			
2788 JOW STREET			
ZONING SUB-AREA	A EA-B; SUB AREA : A2 (EXPECTING OVERLAP)		
SITE AREA (S.F.) (BEFORE DEDICATION)	22,579		
SITE AREA (S.F.) (AFTER DEDICATION)	21,994		
FAR ALLOWED (S.F.)	FSR 1.85 PER AREA-B (T4) TARGET: FSR 1.85 (T4)		40,689
FAR PROVIDED (S.F.)	FSR		40,436
DIFFERENCE (S.F.)			- 253
	FSR (S.F.)	MECH./PARKING (S.F.)	GROSS (S.F.)
LOW RISE OFFICE	40,436	26,407	66,843
BIKE PARKING SUMMARY			
	CLASS 1	CLASS 2	TOTAL
LOW RISE OFFICE	REQ 9 PROV 14	REQ 12 PROV 15	REQ 21 PROV 29
LOADING SUMMARY			
	OFFICE	LIGHT INDUSTRIAL	COMMENTS
MEDIUM SIZE SPACE	1	1	1 PER EACH USE
LARGE SIZE SPACE		1	SHARED WITHIN 50M ON 2777 JOW STREET

AREA BREAKDOWN					
	FSR		FAR SUB-TOTAL	NON FSR (MECH./PARKING)	GROSS FLOOR AREA
	LIGHT INDUSTRY	OFFICE			
7		2,780	2,780	159	2,939
6		9,117	9,117		9,117
5		10,409	10,409		10,409
4			-	13,115	13,115
3			-	9,878	9,878
2	7,244	160	7,404	1,140	8,544
1	8,996	1,730	10,726	2,115	12,841
TOTAL	16,240	24,196	40,436	26,407	66,843
FLOOR AREA RATIO	40.2%	59.8%	TOTAL FLOORS AREA / FAR PROVIDED		
CAR PARKING REQUIRED (BEFORE TDM REDUCTION)	13	63			
CLASS 1 BICYCLE PARKING REQUIRED	3	6	7 HORIZONTAL+7 VERTICAL PROVIDED		
CLASS 2 BICYCLE PARKING REQUIRED	3	9	15 PROVIDED ON SITE WITHIN 15M OF MAIN ENTRANCE		
NOTE	PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7				
GROSS LEASABLE FLOOR AREA	13,224	22,290	PARKING RATIO CALCULATED BASED ON THE GROSS LEASABLE FLOOR AREA PER SECTION 7.7		
TOTAL BUILDING SITE COVERAGE	TOTAL SITE AREA	TOTAL BUILDING COVERAGE W/PROJECTIONS	TOTAL BUILDING SITE COVERAGE PERCENTAGE		
	21,994	15,995	72.72%		

Electric Vehicle Charging Infrastructure to be in compliance with current requirements contained in Zoning Bylaw 8500

DP 18-829207
May 7, 2024
Plan # 1

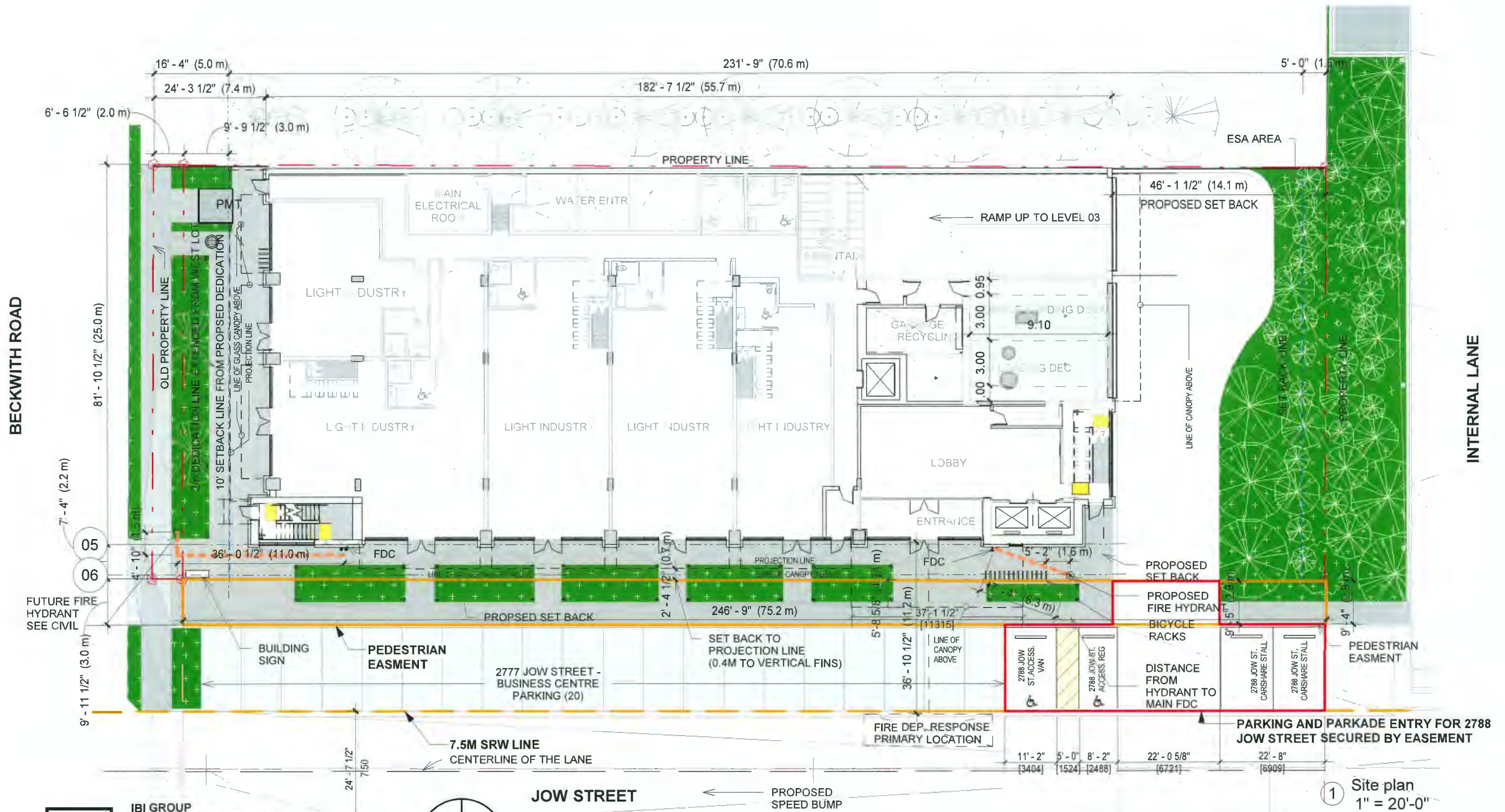


February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A0.08

Site Plan



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February 27, 2023
 REVISED 2024-02-20

2788 JOW STREET (9520 BECKWITH ROAD)

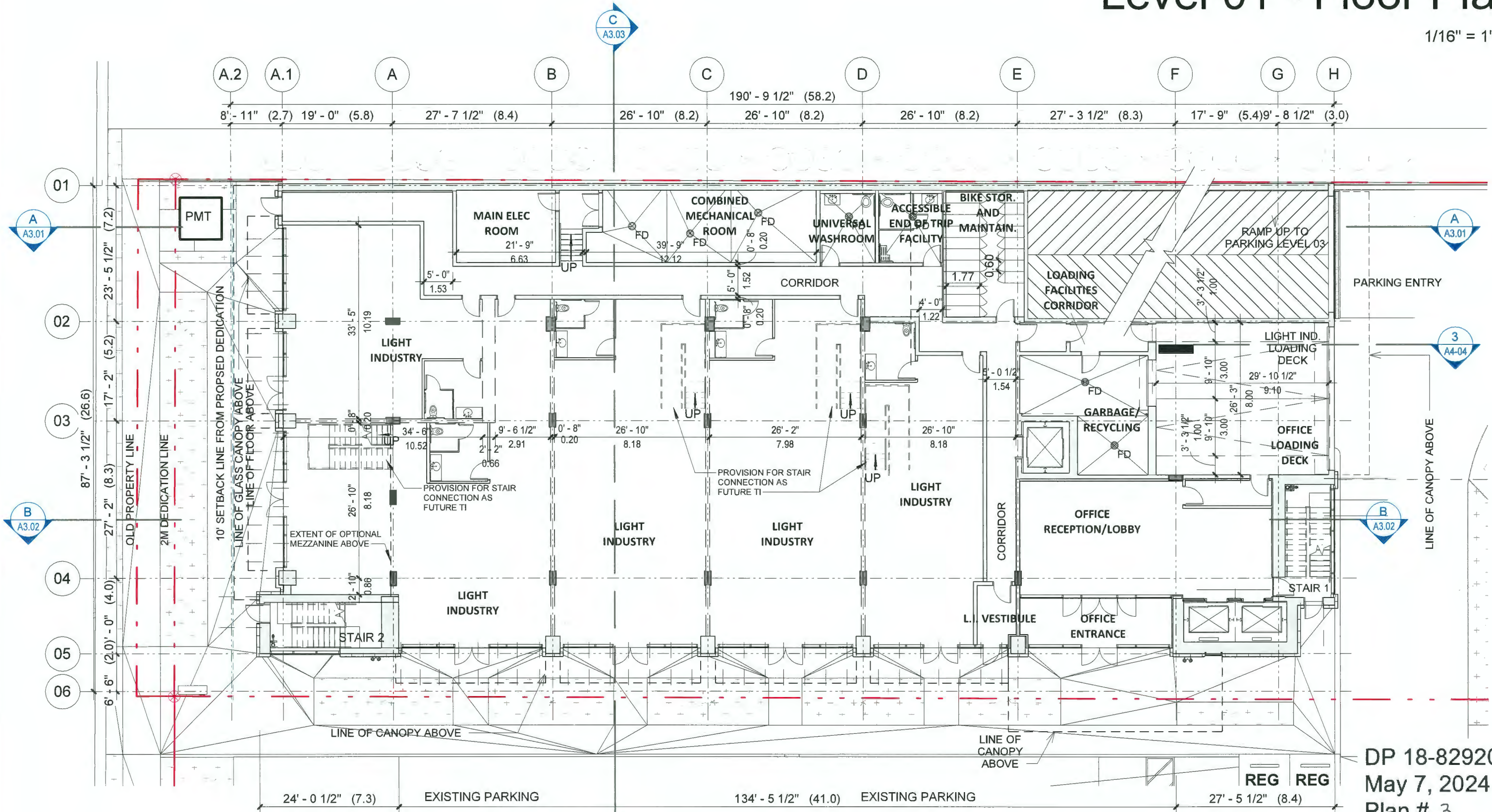
DP 18-829207
 May 7, 2024
 Plan # 2

1 Site plan
 1" = 20'-0"

A0.09

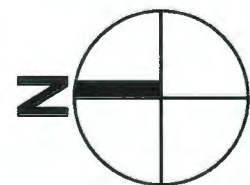
Level 01 - Floor Plan

1/16" = 1'-0"



DP 18-829207
 May 7, 2024
 Plan # 3

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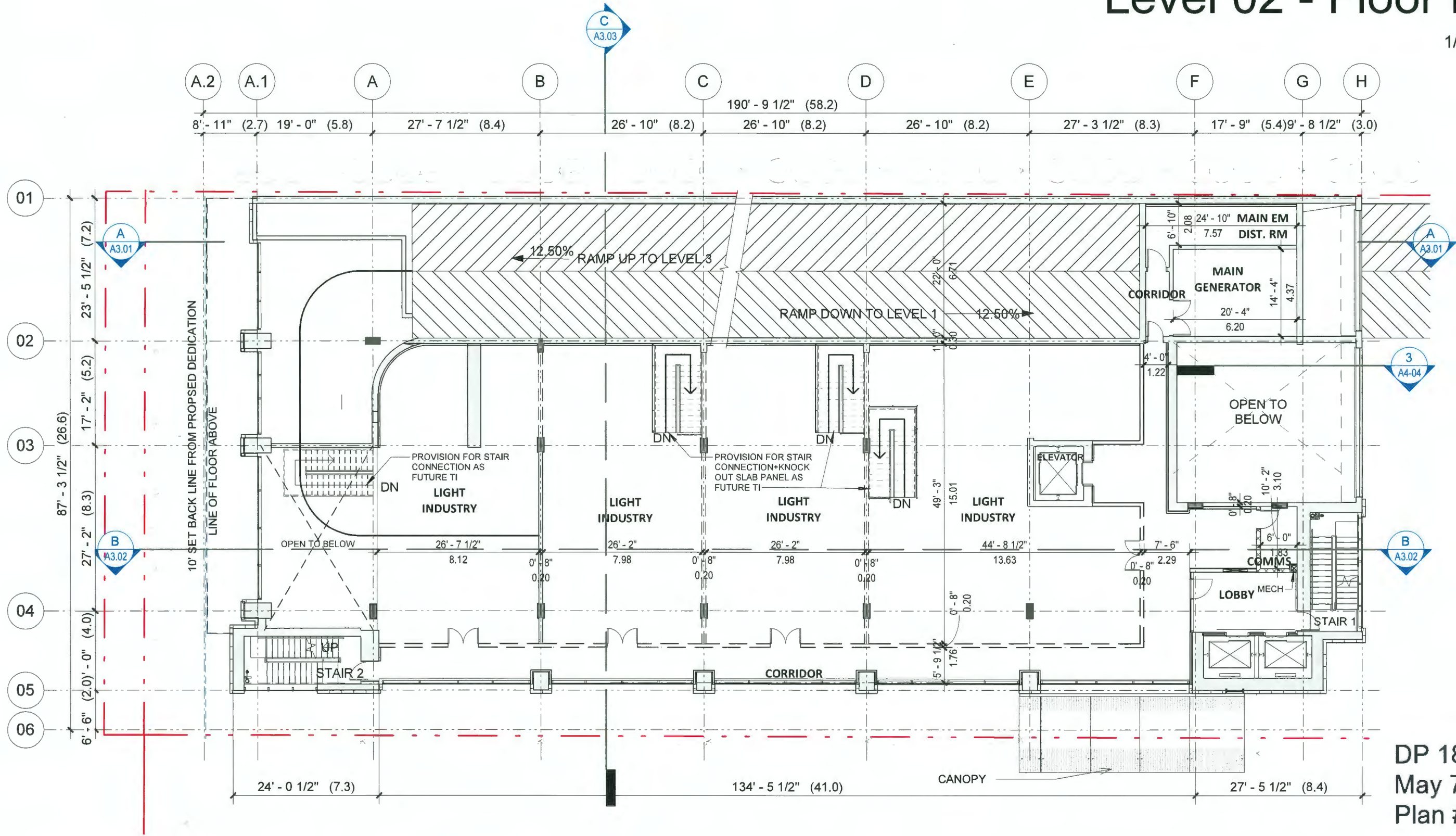
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A1.01

Level 02 - Floor Plan

1/16" = 1'-0"



DP 18-829207
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 Plan # 4

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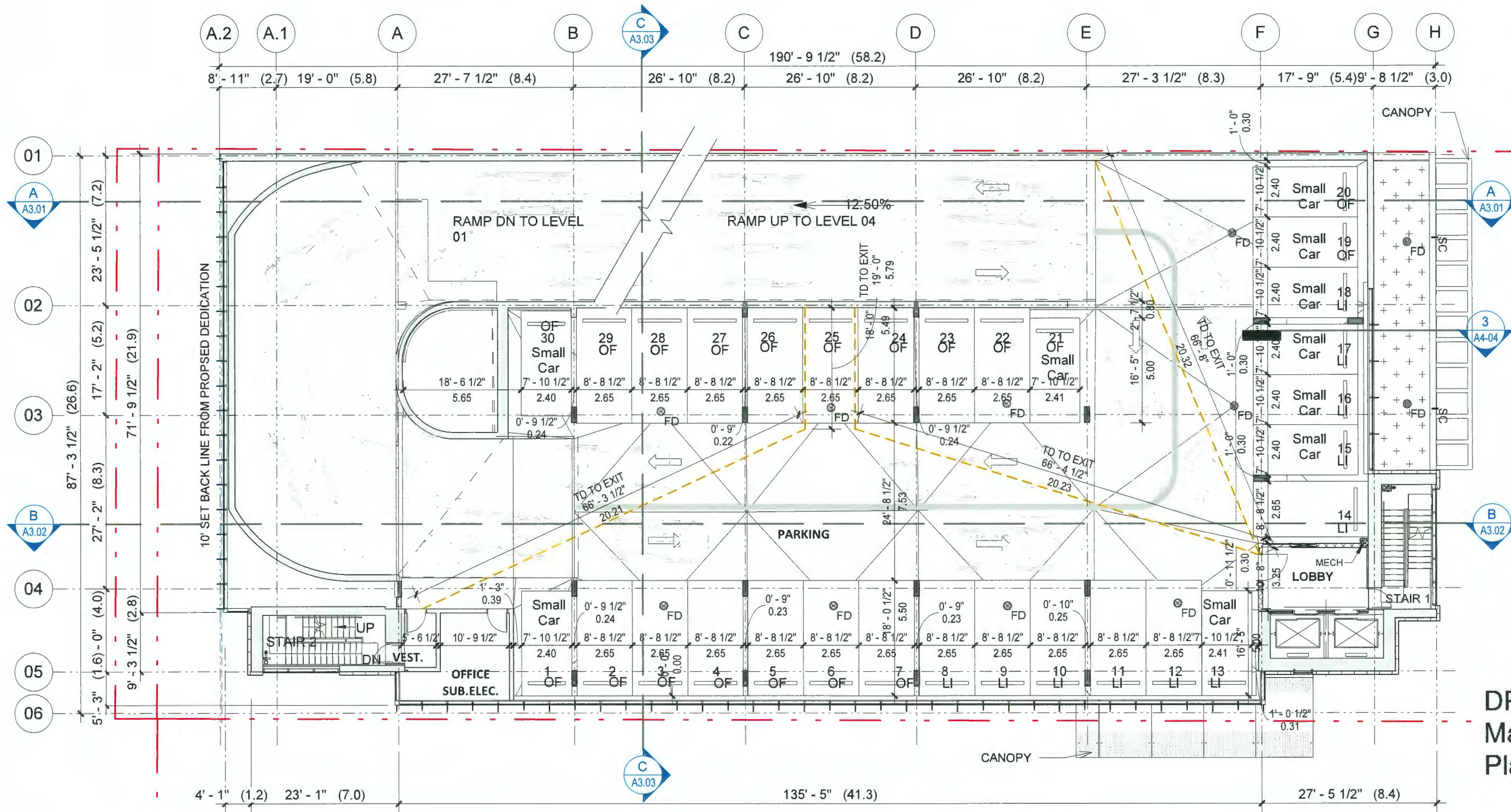
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A1.02

Parking Level 03 - Floor Plan

1/16" = 1'-0"



DP 18-829207
 May 7, 2024
 Plan # 5



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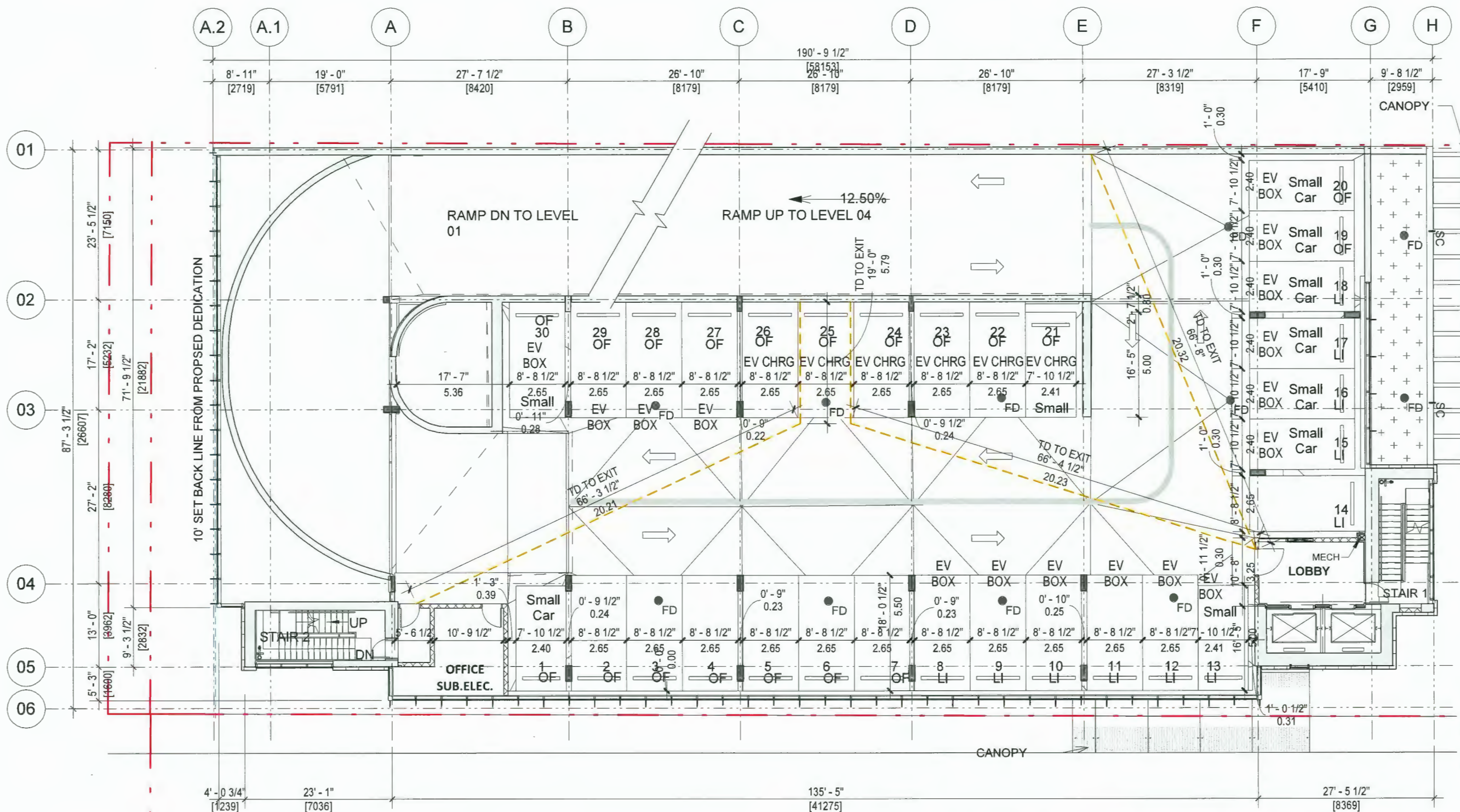


February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A1.03

Parking Level 03 - Floor Plan



DP 18-829207
 May 7, 2024
 Plan # 6

Electric Vehicle Charging Infrastructure to be in compliance
 with current requirements contained in Zoning Bylaw 8500

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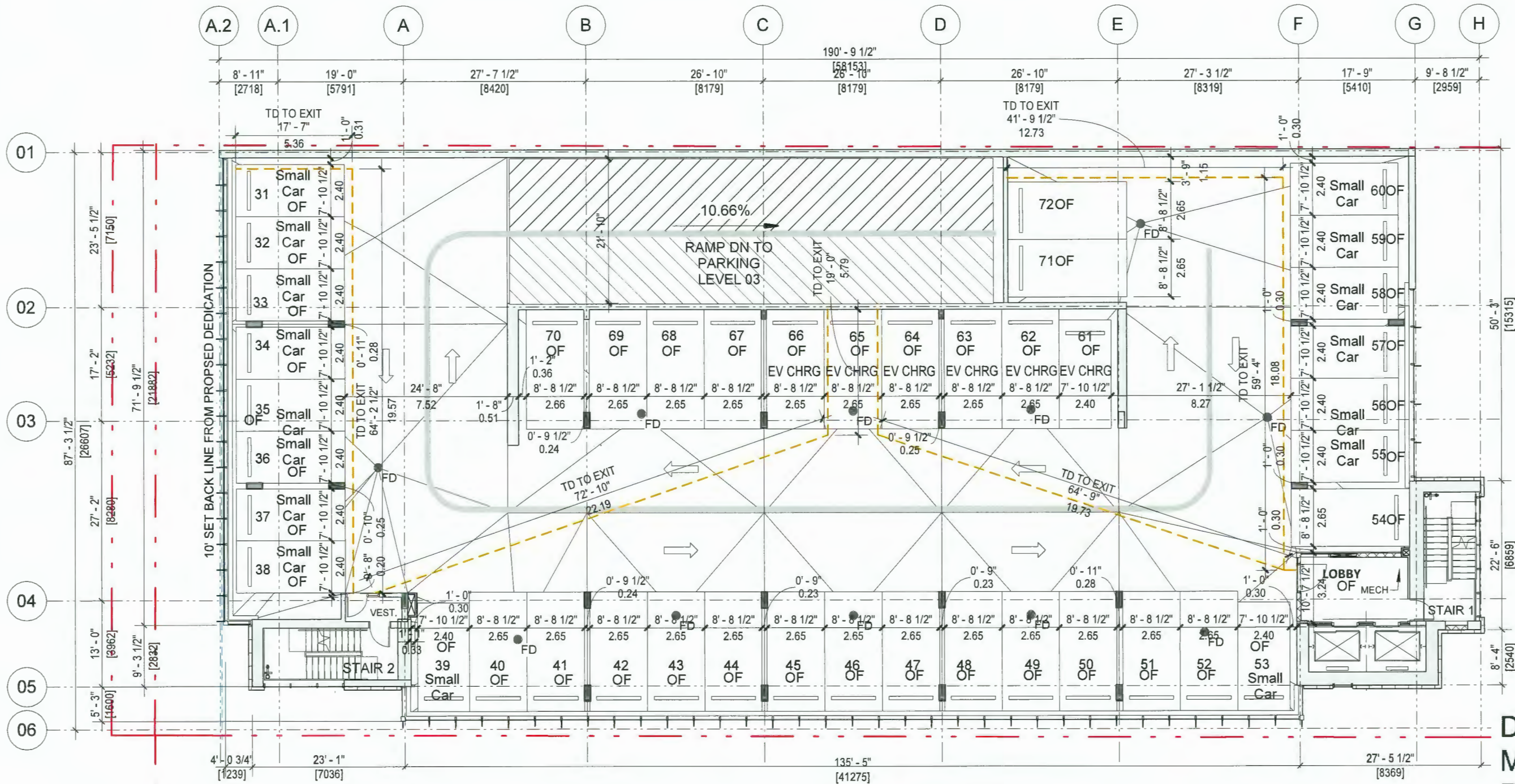
May 06, 2024

2788 JOW STREET (9520 BECKWITH ROAD)

① Parking Level 03
 1/16" = 1'-0"

A1.03

Parking Level 04 - Floor Plan



DP 18-829207
 May 7, 2024
 Plan # 7

Electric Vehicle Charging Infrastructure to be in compliance
 with current requirements contained in Zoning Bylaw 8500

1 Parking Level 04
 1/16" = 1'-0"

A1.04

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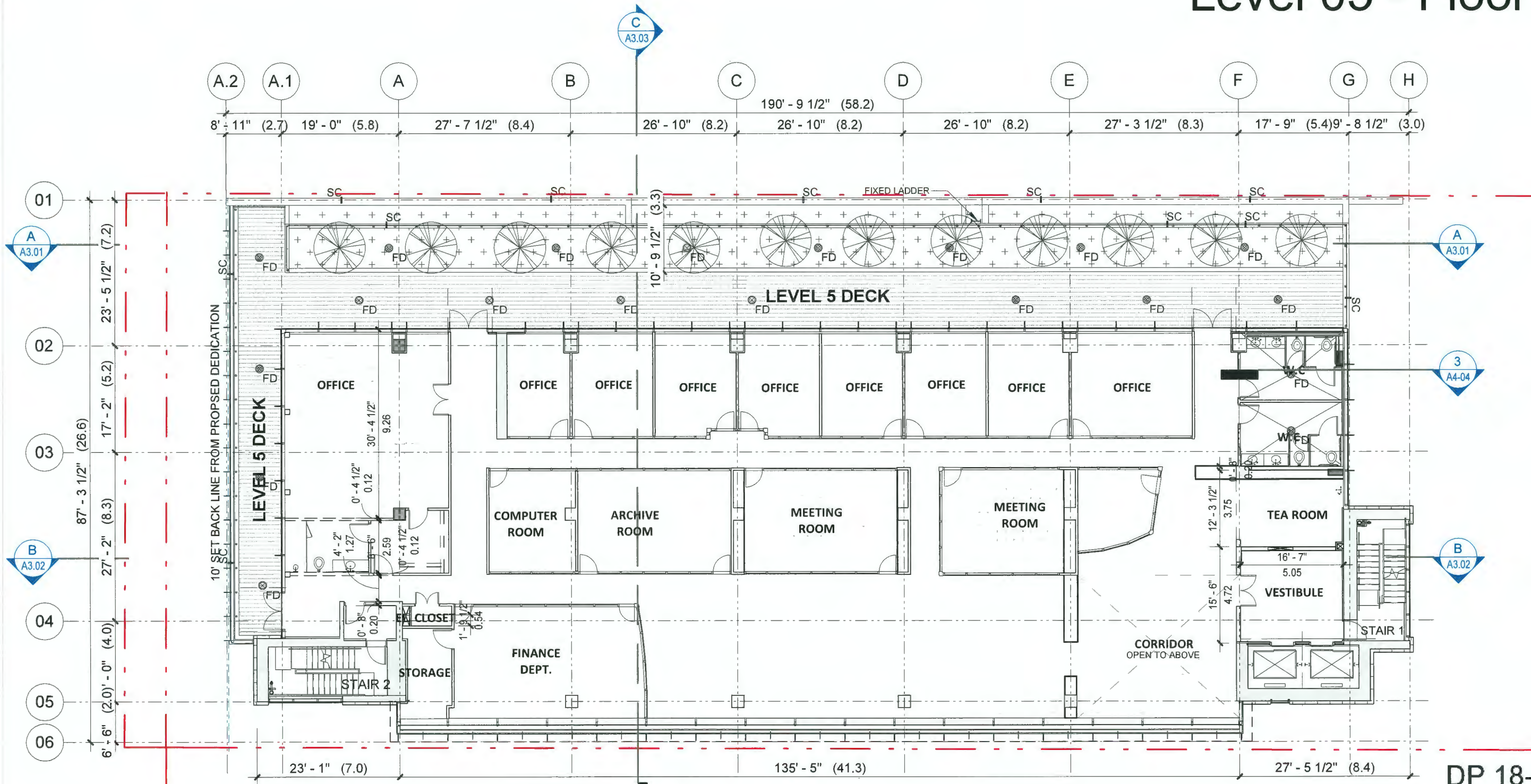


May 06, 2024

2788 JOW STREET (9520 BECKWITH ROAD)

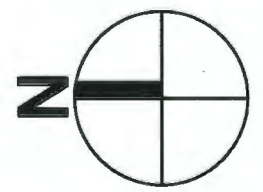
Level 05 - Floor Plan

1/16" = 1'-0"



DP 18-829207
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 Plan # 8

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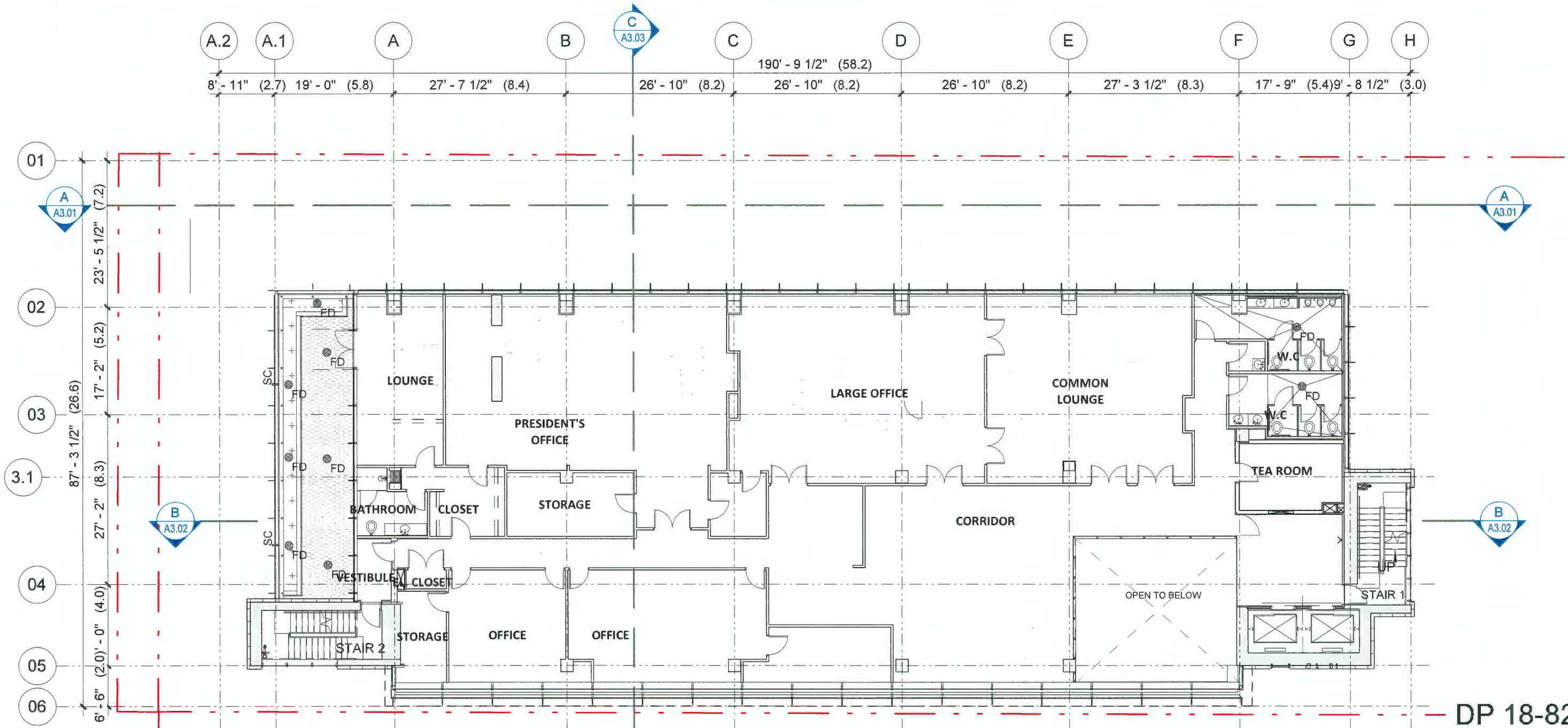
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A1.05

Level 06 - Floor Plan

1/16" = 1'-0"



DP 18-829207
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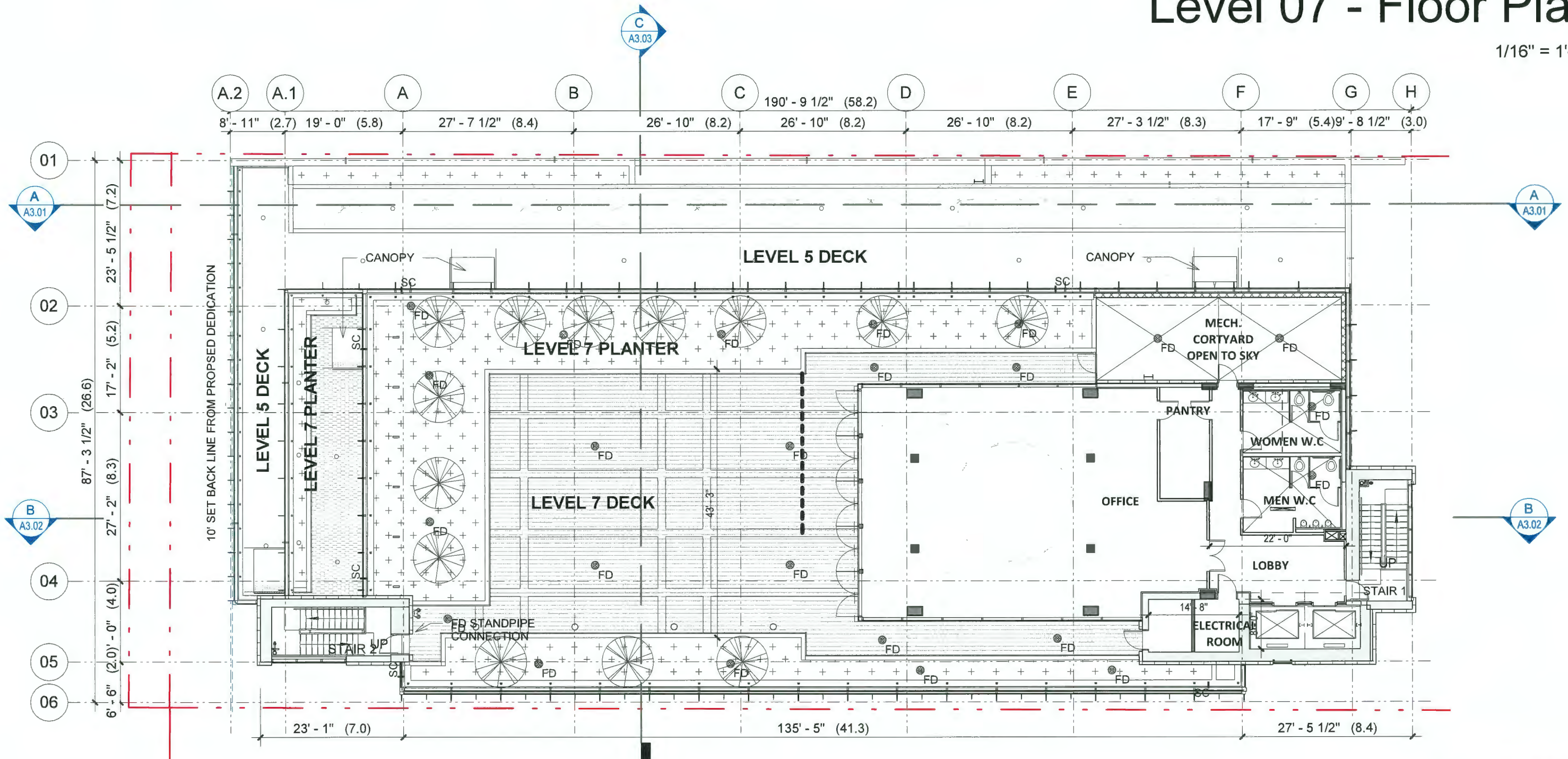
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A1.06

Level 07 - Floor Plan

1/16" = 1'-0"



DP 18-829207
May 7, 2024
Plan # 10



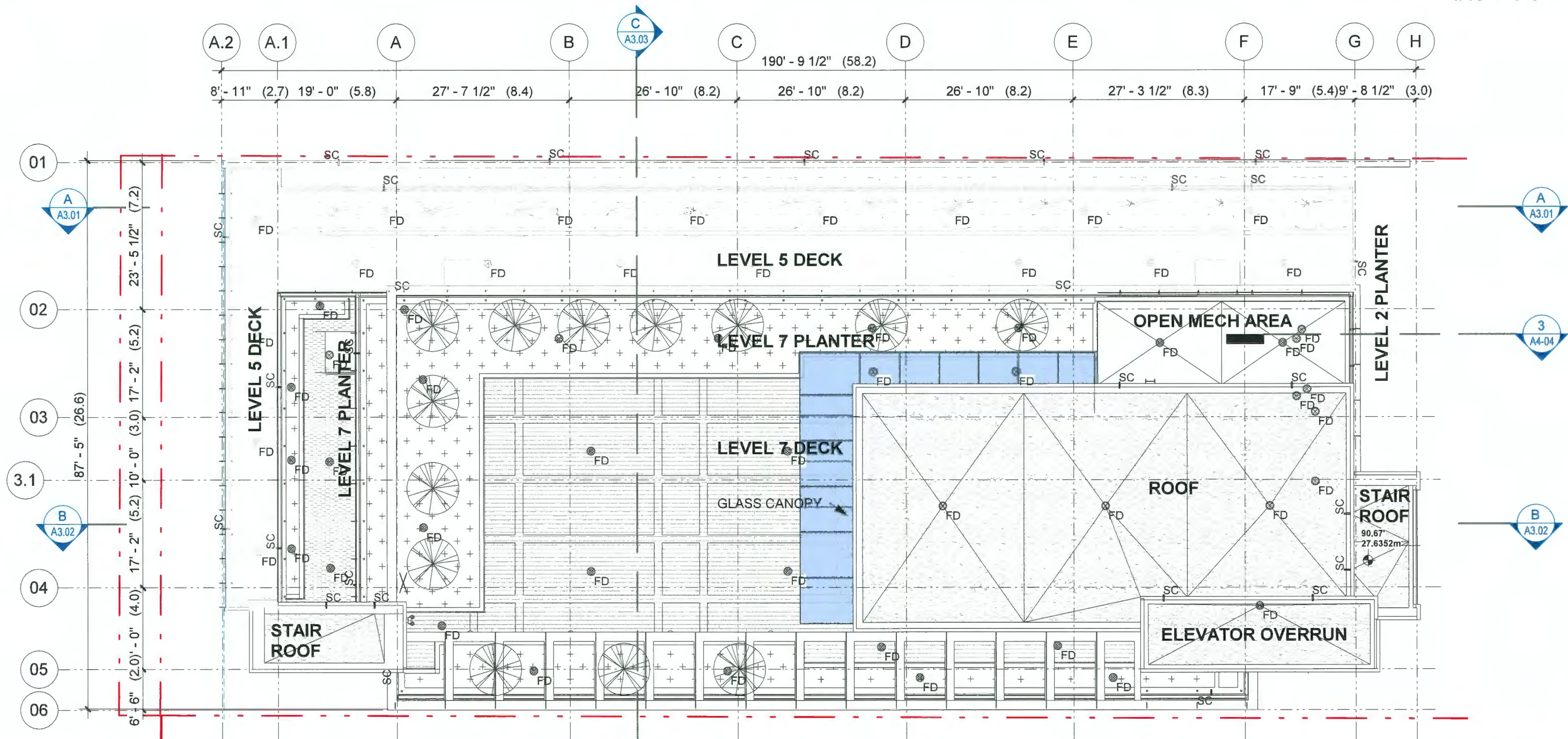
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2788 JOW STREET (9520 BECKWITH ROAD)

A1.07

Roof Plan

1/16" = 1'-0"



DP 18-829207
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2788 JOW STREET (9520 BECKWITH ROAD)

A1.08

MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

North Elevation

1/16" = 1'-0"



DP 18-829207
 May 7, 2024
 Plan # 12



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.01

MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

South Elevation

1/16" = 1'-0"



DP 18-829207
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 Plan # 13



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.02

MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

West Elevation

1/16" = 1'-0"



DP 18-829207
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 Plan # 14



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.03

MATERIAL LIST

- 1A LOW-E GLAZED WINDOW SYSTEM
- 1B FROSTED GLASS WINDOW SYSTEM
- 1C SPANDREL GLAZED WINDOW SYSTEM - COBALT BLUE
- 2 STORE FRONT GLAZING - CLEAR
- 3 METAL PANEL CLADDING - WHITE
- 4 3 TONE PAINTED CONCRETE - 2119-40 DARK GRAY, 2119-50 MEDIUM GRAY, 2119-70 LIGHT GRAY (BENJ.MOORE OR SIM)
- 5 MECHANICAL LOUVER - CHARCOAL
- 6 TEXTURED WALL - CONCRETE FORM LINER
- 7 BUILDING SIGNAGE

East Elevation

1/16" = 1'-0"



DP 18-829207
 May 7, 2024
 Plan # 15

Streetscapes



ALONG NORTH SOUTH INTERNAL LANE



DP 18-829207
 May 7, 2024
 Plan # 16

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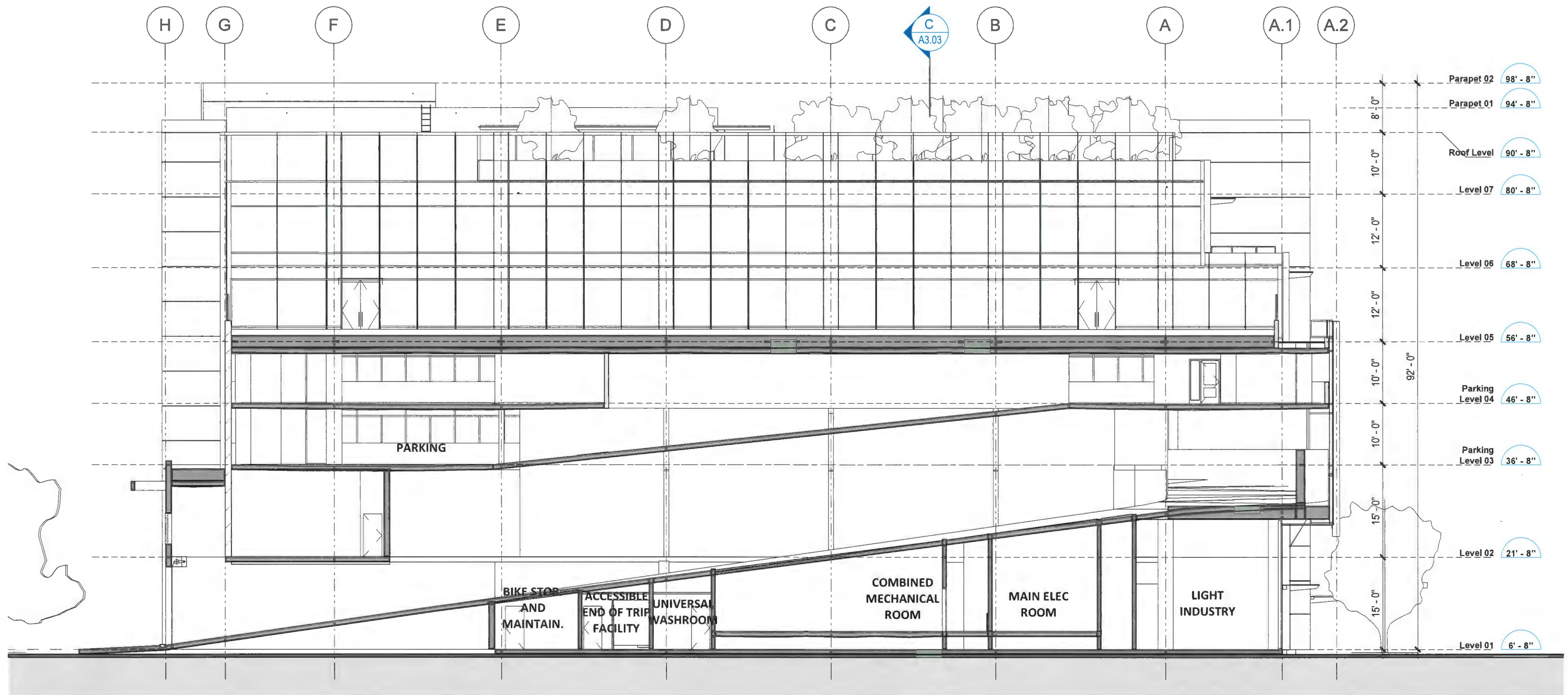
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A2.05

Section A-A

1/16" = 1'-0"



DP 18-829207
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 Plan # 17



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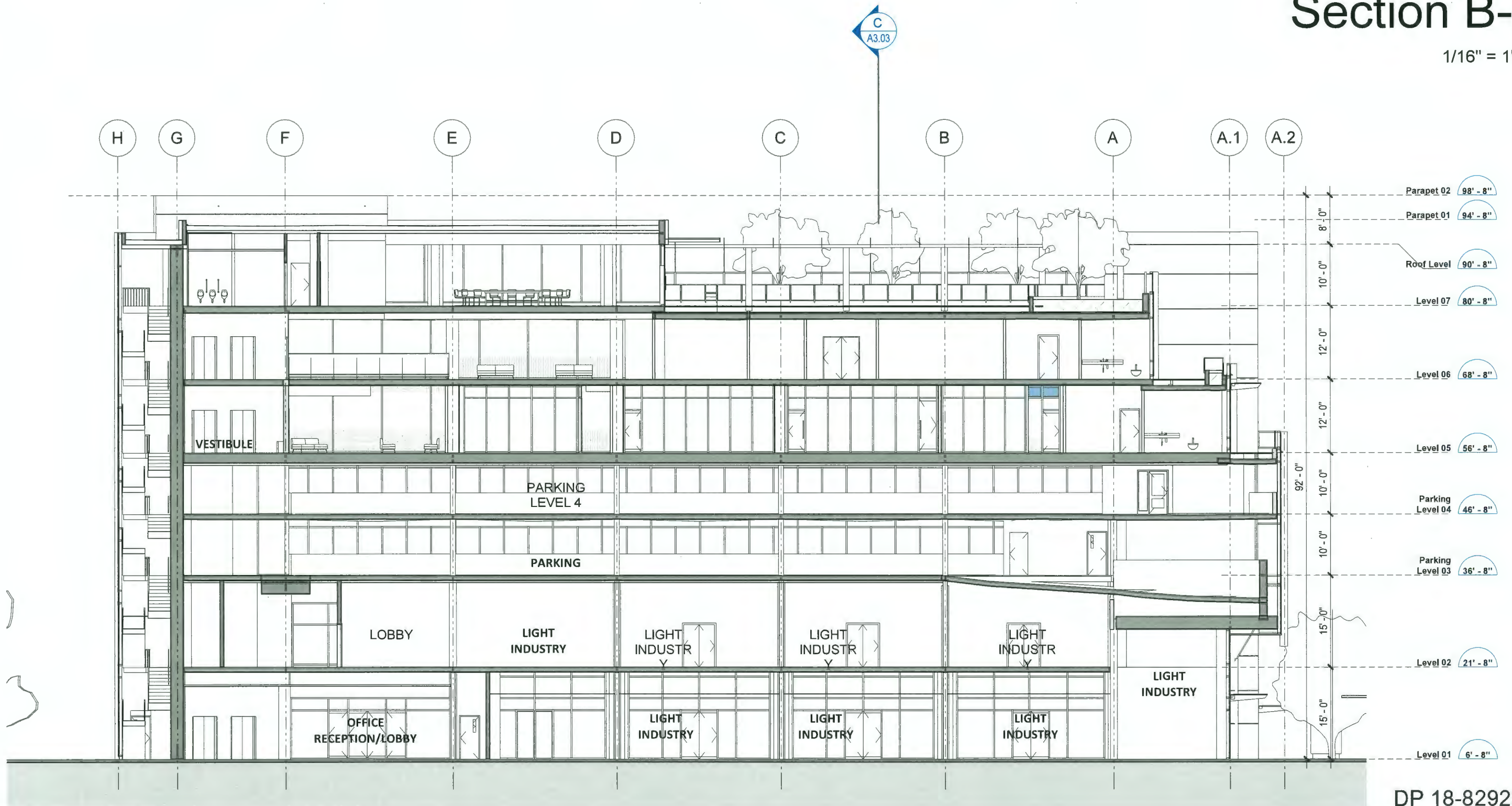
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A3.01

Section B-B

1/16" = 1'-0"



DP 18-829207
 May 7, 2024
 Plan # 18



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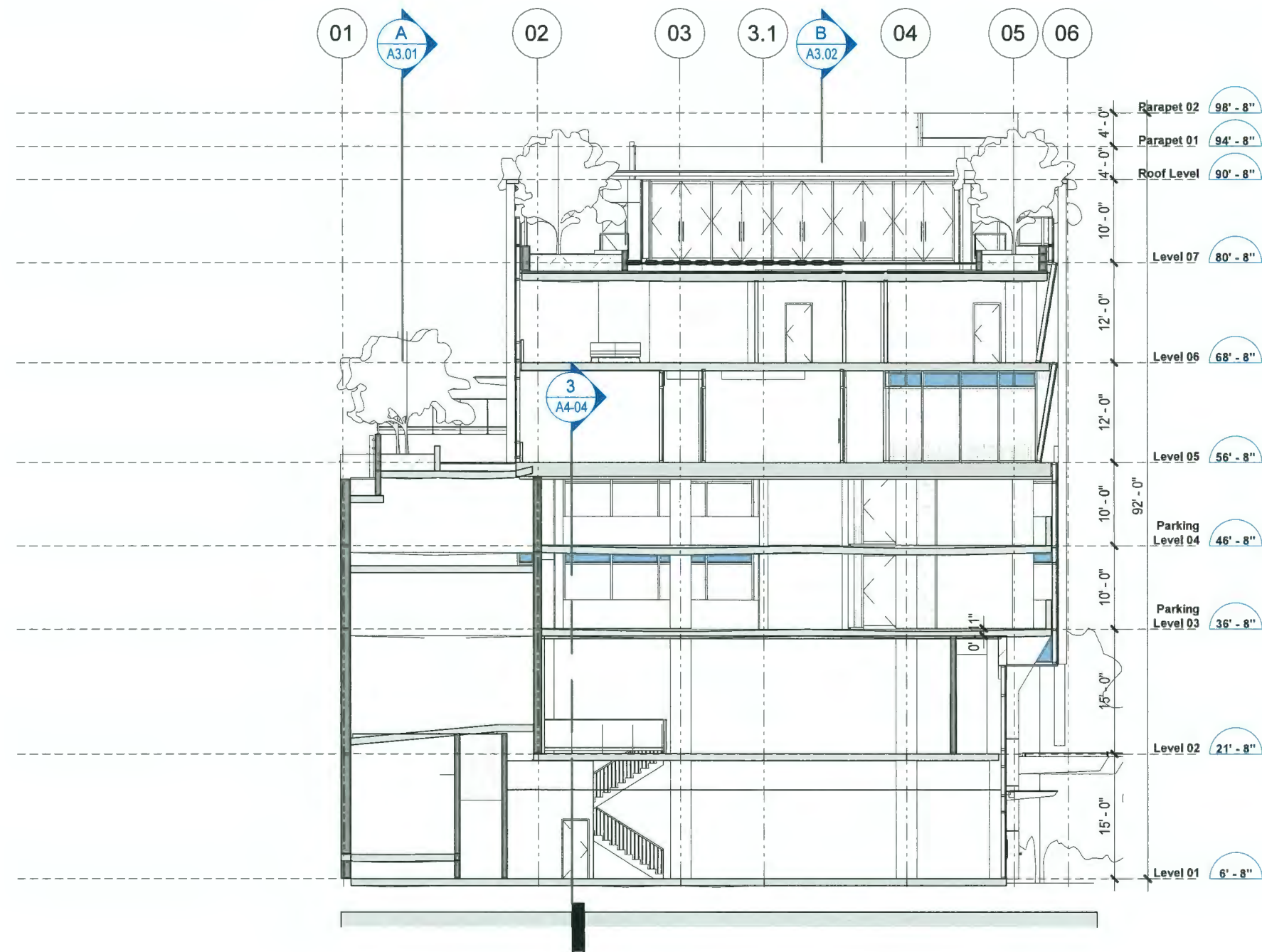
February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A3.02

Section C-C

1/16" = 1'-0"



DP 18-829207
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Plan # 19



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2788 JOW STREET (9520 BECKWITH ROAD)

A3.03

Office 2

Issued for Development Permit



Contact Information	Other Key Contacts:	
VDZ+A Project Landscape Architecture 100-9181 Church Street Langley, British Columbia, V1M 2R8 t. 604 882 0024 f. 604 882 0042 Primary project contact: Andrew Danielson andrew@vdz.ca o. 604 546 0931 Alternate contacts (in case away): Mark van der Zalm Principal Landscape Architect mark@vdz.ca o. 604 546 0920	Chungwa Investment Co. Ltd. Project Owner Unit 1800 - 570 Granville Street Vancouver, BC V6C 3P1	IBI Group Architects Inc. Project Building Architecture 700-1285 West Pender Street Vancouver, BC V6E 4B1 p. 604 683 8797

Sheet List Table

Sheet Number	Sheet Title
L-01	COVER PAGE
L-02A	SITE PLAN - LEVEL 1
L-02B	SITE PLAN - LEVEL 5
L-02C	SITE PLAN - LEVEL 6
L-02D	SITE PLAN - LEVEL 7
L-03A	PLANTING PLAN - LEVEL 1
L-03B	PLANTING PLAN - LEVEL 5
L-03C	PLANTING PLAN - LEVEL 6
L-03D	PLANTING PLAN - LEVEL 7
L-04	OFFSITE PLAN - ADJACENT SITE TO EAST
L-05	TREE PRESERVATION PLAN
L-06	ACCESSIBILITY PLAN
LD-01	DETAILS

LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LN-01	GENERAL NOTES
LN-02	GENERAL NOTES
IR-01	IRRIGATION PLAN - LEVEL 1
IR-02	IRRIGATION PLAN - LEVEL 5
IR-03	IRRIGATION PLAN - LEVEL 6
IR-04	IRRIGATION PLAN - LEVEL 7
IR-05	IRRIGATION DETAILS

DP 18-829207
 May 7, 2024
 Plan # 20

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 6, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

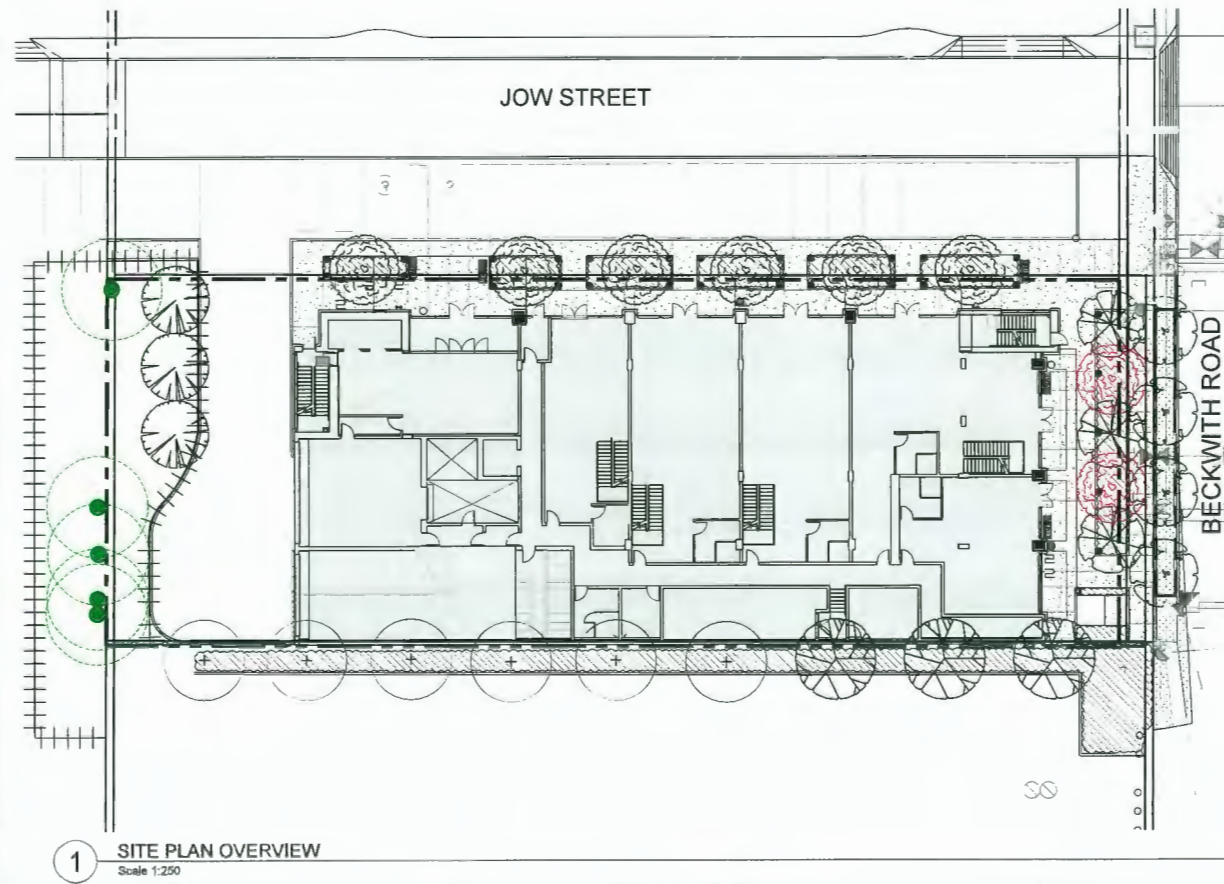
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Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDITIONS MUST BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDERS/CONSTRUCTION.



Drawing Title: COVER PAGE
 Drawing #: L-01
 Project #: DP2018-29
 Project Name: VIZIUM



DP 18-829207
 May 7, 2024
 Plan # 2.1

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
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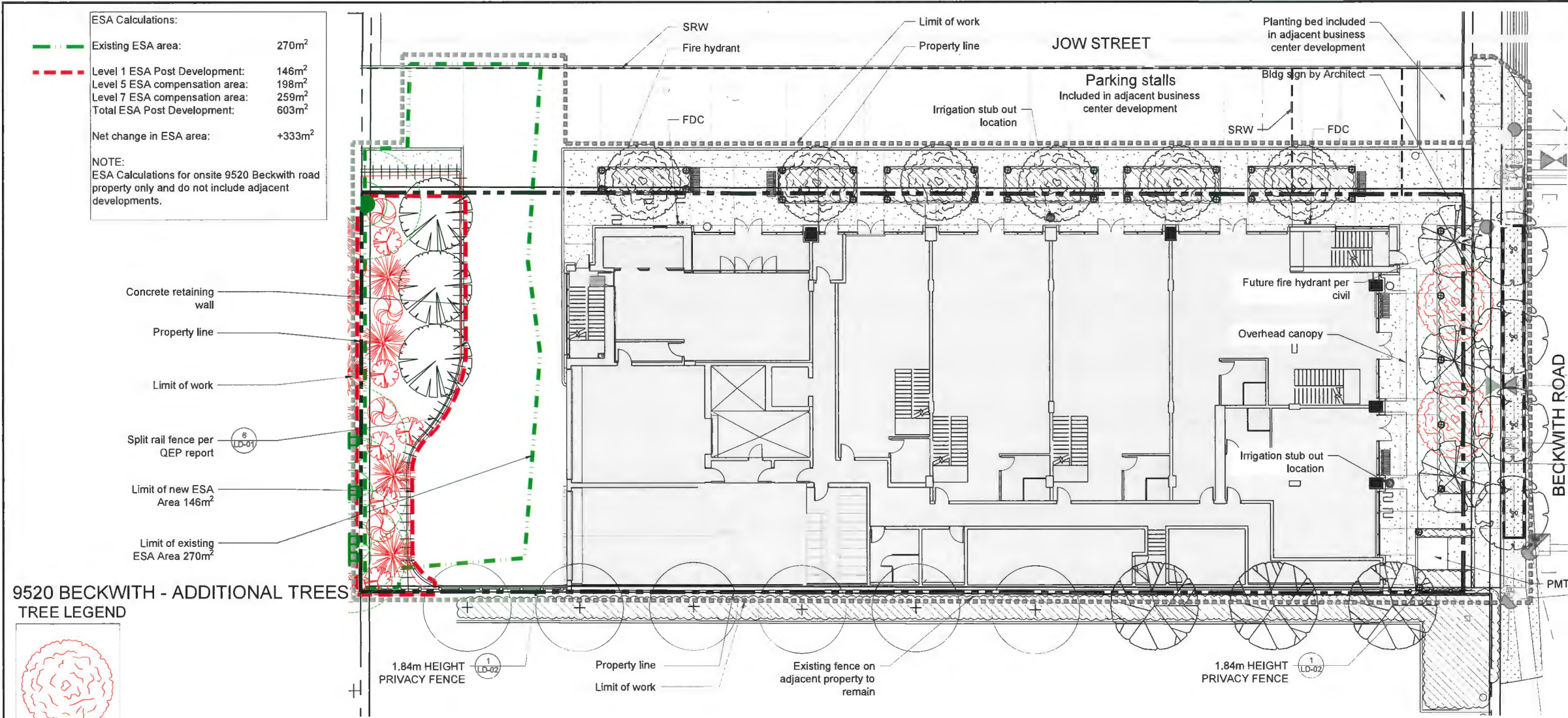
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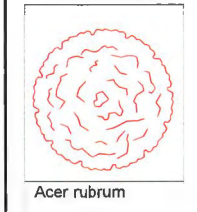
Drawing Title: **SITE PLAN - LEVEL 1**
 Drawing #: **L-02A**
 Project #: **DP2018-29**



ESA Calculations:
 Existing ESA area: 270m²
 Level 1 ESA Post Development: 146m²
 Level 5 ESA compensation area: 198m²
 Level 7 ESA compensation area: 259m²
 Total ESA Post Development: 603m²
 Net change in ESA area: +333m²
 NOTE:
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

- Concrete retaining wall
- Property line
- Limit of work
- Split rail fence per QEP report
- Limit of new ESA Area 146m²
- Limit of existing ESA Area 270m²

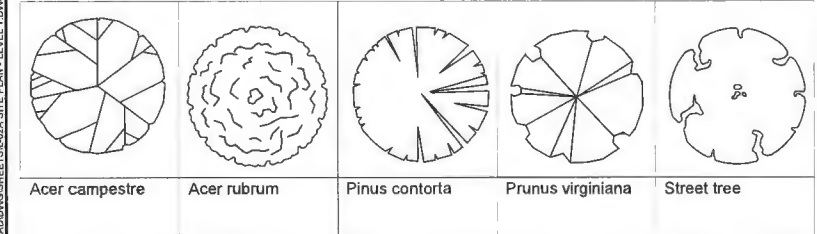
9520 BECKWITH - ADDITIONAL TREES



9520 ADDITIONAL TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
See Legend	2	Acer rubrum 'Red Rocket'	Red Maple	B&B; 10cm cal.; 1.8m std.	Per Plan	

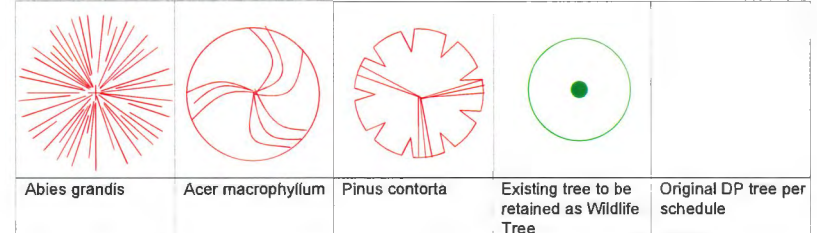
TREE LEGEND



TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
See Legend	3	Acer campestre	Hedge Maple	B&B; 6cm cal.; 3.0m Ht.	Per Plan	
See Legend	6	Acer rubrum 'Red Rocket'	Red Maple	B&B; 10cm cal.; 1.8m std.	Per Plan	
See Legend	3	Pinus contorta	Shore Pine Specimen	B&B; 4.0m Ht.; Single leader	Per Plan	Contractor to submit photos for approval prior to installation
See Legend	3	Prunus virginiana	Choke Cherry	B&B; 6cm cal.; 1.2m std.	Per Plan	
See Legend	4	Street Tree		B&B; 7cm cal.; 1.8m std.	Per Plan	By city

9520 BECKWITH - ESA AREA



ESA TREE SCHEDULE - 9520 BECKWITH

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	4	Abies grandis	Grande Fir	B&B; 4.0m Ht.	
See Legend	4	Acer macrophyllum	Big Leaf Maple	B&B; 10cm cal.	Per Plan
See Legend	6	Pinus contorta	Shore pine	B&B; 4.0m Ht.	Per Plan

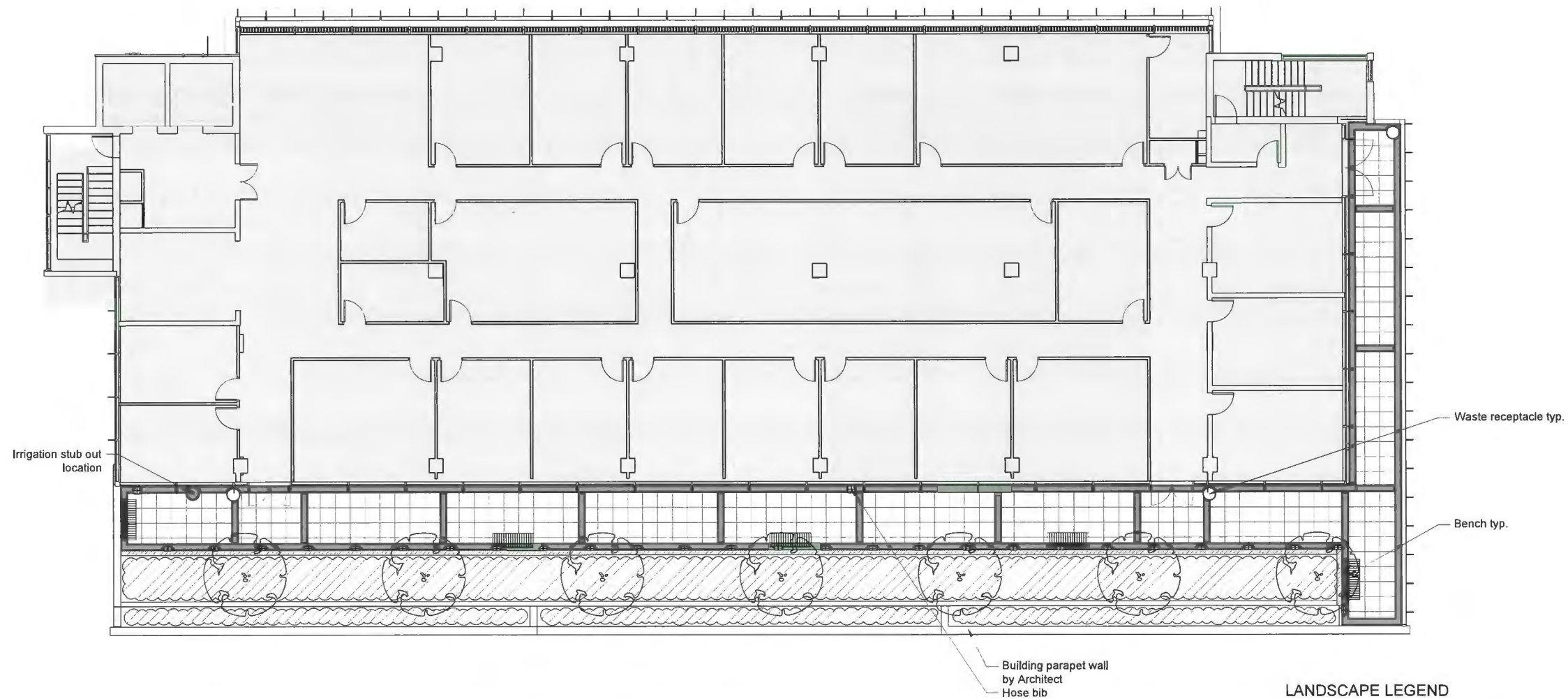
Trees added to ESA on 9520 Beckwith Site for ESA tree removal compensation

LANDSCAPE LEGEND

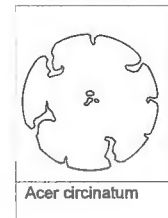
KEY	REF.	DESCRIPTION
[Symbol]	3 LD-01	PEDESTRIAN CONCRETE Colour: Natural Finish: Broom Joints: Sawcut
[Symbol]		SOD
[Symbol]		PLANTING AREA
[Symbol]	2 LD-03	BIKE RACK Model: P Colour: Metallic Silver Manufacturer: Landscape Forms
[Symbol]	1 LD-03	WASTE RECEPTACLE Model: Lakeside Colour: IPE Manufacturer: Landscape Forms
[Symbol]	3 LD-03	BENCH Model: Parc Center Size: 610mm x 1702mm x 880mm Manufacturer: Landscape Forms or approved equal
[Symbol]	3 LD-02	BOLLARD LIGHT Model: FGP Path Manufacturer: Landscape Forms or approved equal
[Symbol]	2 LD-01	CONCRETE RETAINING WALL Colour: Natural Finish: Medium Sandblast



Z:\PROJECTS\DEVELOPMENT PERMIT\2018-29 9520 BECKWITH ROAD\DRAWINGS\LEVEL 02A SITE PLAN - LEVEL 1.DWG



TREE LEGEND - LEVEL 5



TREE SCHEDULE - LEVEL 5

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	7	Acer circinatum	Vine Maple	B&B; 3.0m Ht.	Per Plan

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Symbol]	5 LD-01	HYDRAPRESSED SLABS Colour: Sandalwood Size: 457mm x 457mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Symbol]	1 LD-01	CONCRETE PLANTER WALL Colour: Natural Finish: Medium Sandblast
[Symbol]	5 LD-01	HYDRAPRESSED SLABS Colour: Charcoal Size: 305mm x 610mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Symbol]		PLANTING BED
[Symbol]	1 LD-03	WASTE RECEPTACLE Model: Lakeside Manufacturer: Landscape Forms
[Symbol]	3 LD-03	BENCH Model: Park Center Size: 610mm x 1702mm x 888mm Manufacturer: Landscape Forms
[Symbol]	2 LD-02	WALL LIGHT Model: C08 Rectangular Manufacturer: Systemax

DP 18-829207
 May 7, 2024
 Plan # 2.2

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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Original Sheet Size:
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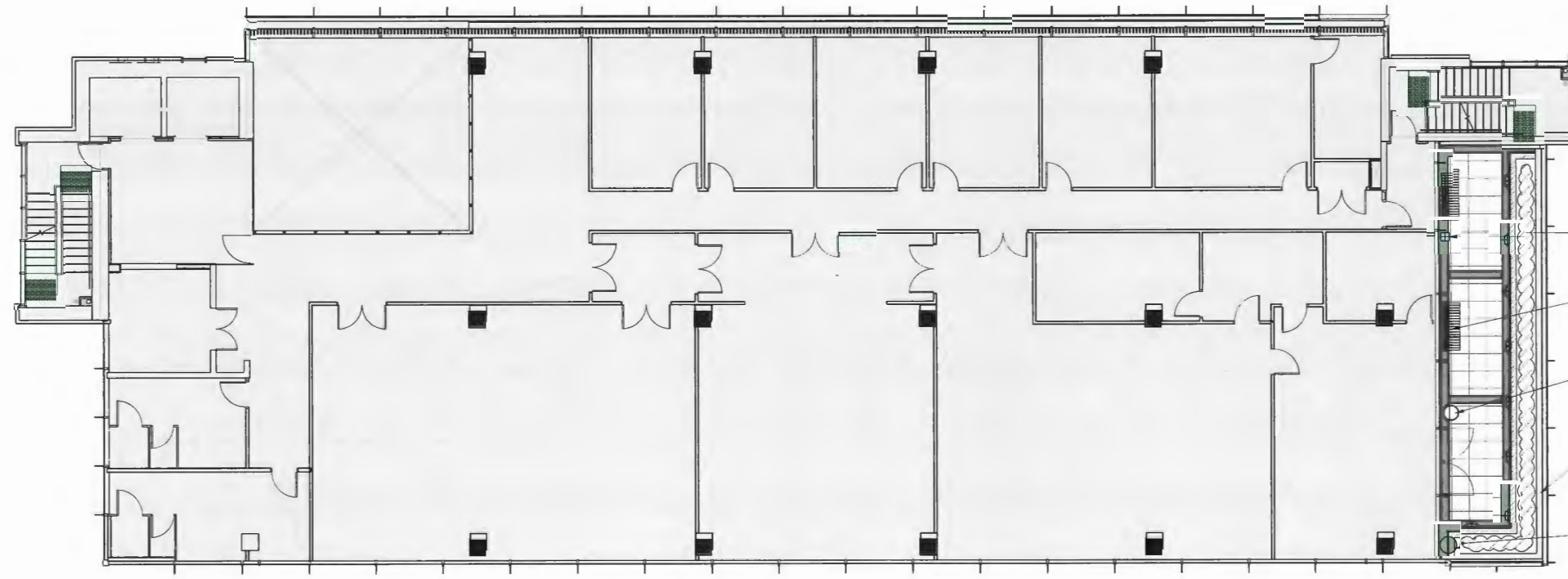
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2: PROJECT DEVELOPMENT PERMIT/ACTIVEDP2018-29 8920 BECKWITH ROAD/DOUGHERTY/2023 SITE PLAN - LEVEL 5.DWG

Drawing Title: **SITE PLAN - LEVEL 5**
 Drawing #: **L-02B**
 Project #: **DP2018-29**
 Orientation: NORTH



- Hose bib
- Bench typ.
- Waste receptacle typ.
- Building parapet wall by Architect
- Irrigation stub out location

DP 18-829207
 May 7, 2024
 Plan # 2.3

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
	5 LD-01	HYDRAPRESSED SLABS Colour: Sandalwood Size: 457mm x 457mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
	1 LD-01	CONCRETE PLANTER WALL Colour: Natural Finish: Medium Sandblast
	5 LD-01	HYDRAPRESSED SLABS Colour: Charcoal Size: 305mm x 610mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
		PLANTING BED
	1 LD-03	WASTE RECEPTACLE Model: Lakeside Colour: Manufacturer: Landscape Forms
	3 LD-03	BENCH Model: Piro Center Size: 610mm x 1702mm x 888mm Colour: Manufacturer: Landscape Forms
	2 LD-02	WALL LIGHT Model: EOS Rectangular Manufacturer: Sistemlux

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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 Richmond, BC

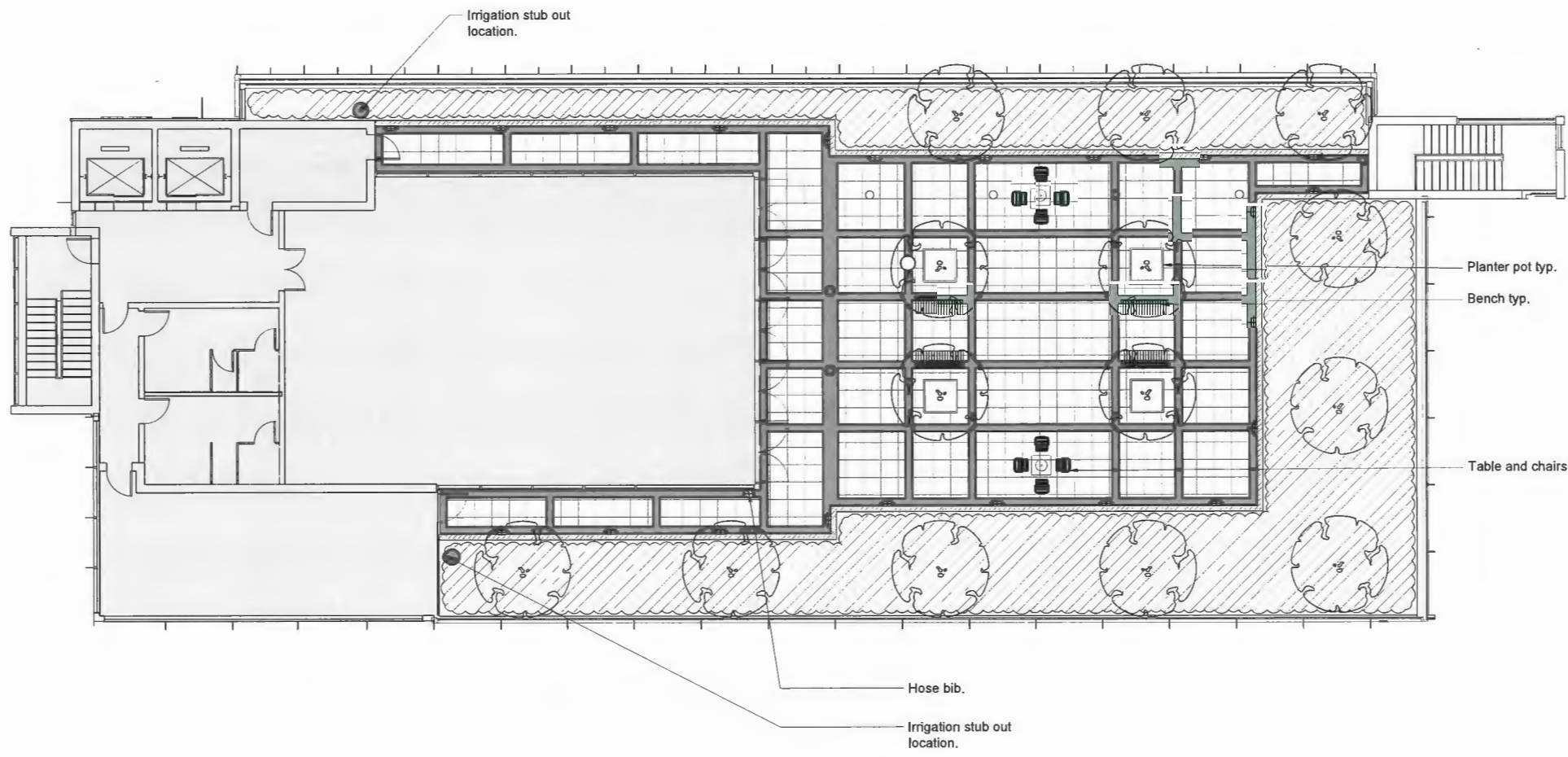
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Z:\PROJECTS\DEVELOPMENT PERMITS\DP2018-29 829 BECKWITH ROAD\DWG\SHEET\2024\2024 SITE PLAN - LEVEL 6.DWG

Drawing #: L-02C
 DP2018-29
 NORTH
 Drawing Title: SITE PLAN - LEVEL 6



DP 18-829207
 May 7, 2024
 Plan # 24

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 8, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for OP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 15, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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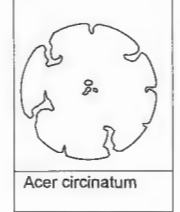
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TREE LEGEND - LEVEL 7



TREE SCHEDULE - LEVEL 7

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	14	Acer circinatum	Vine Maple	B&B; 3.0m Ht.	Per Plan

LANDSCAPE LEGEND

KEY	REF.	DESCRIPTION
[Hatched Box]	5 LD-01	HYDRAPRESSED SLABS Colour: Sandalwood Size: 457mm x 457mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Solid Box]	1 LD-01	CONCRETE PLANTER WALL Colour: Natural Finish: Medium Sandblast
[Hatched Box]	5 LD-01	HYDRAPRESSED SLABS Colour: Charcoal Size: 305mm x 610mm x 50mm Model: New York Stone Series Manufacturer: Abbotsford Concrete
[Hatched Box]		PLANTING BED
[Circle]	1 LD-03	WASTE RECEPTACLE Model: Lakeside Colour: Manufacturer: Landscape Forms
[Rectangular Box]	3 LD-03	BENCH Model: Parc Center Size: 610mm x 1702mm x 889mm Colour: Manufacturer: Landscape Forms
[Arrow]	2 LD-02	WALL LIGHT Model: EOS Rectangular Manufacturer: Sistemakuz
[Table and Chairs]	4 LD-03	TABLE AND CHAIRS Model: Parc Center Colour: Manufacturer: Landscape Forms
[Square]	5 LD-03	PLANTER POT Model: Plaza Size: 1219mm x 1219mm x 813mm Type: Wood 159 Gal Manufacturer: Landscape Forms

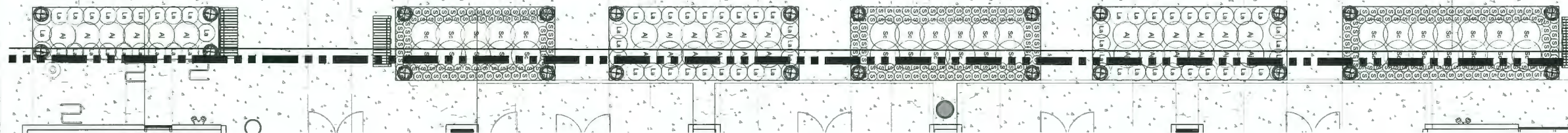


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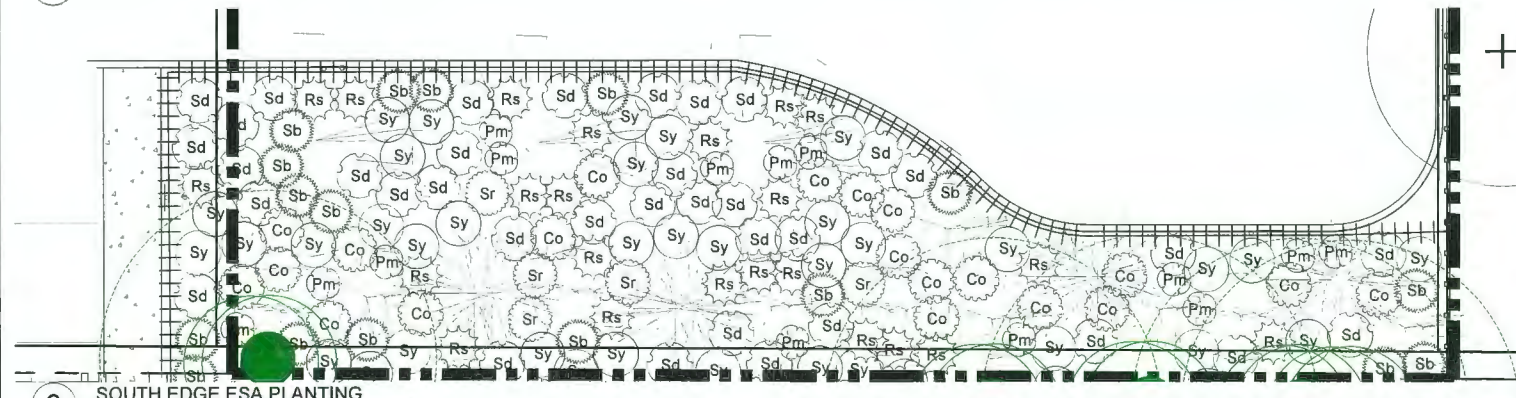
Drawing Title: **SITE PLAN - LEVEL 7**
 Drawing #: **L-02D**
 Project #: **DP2018-29**
 NORTH

JOW STREET

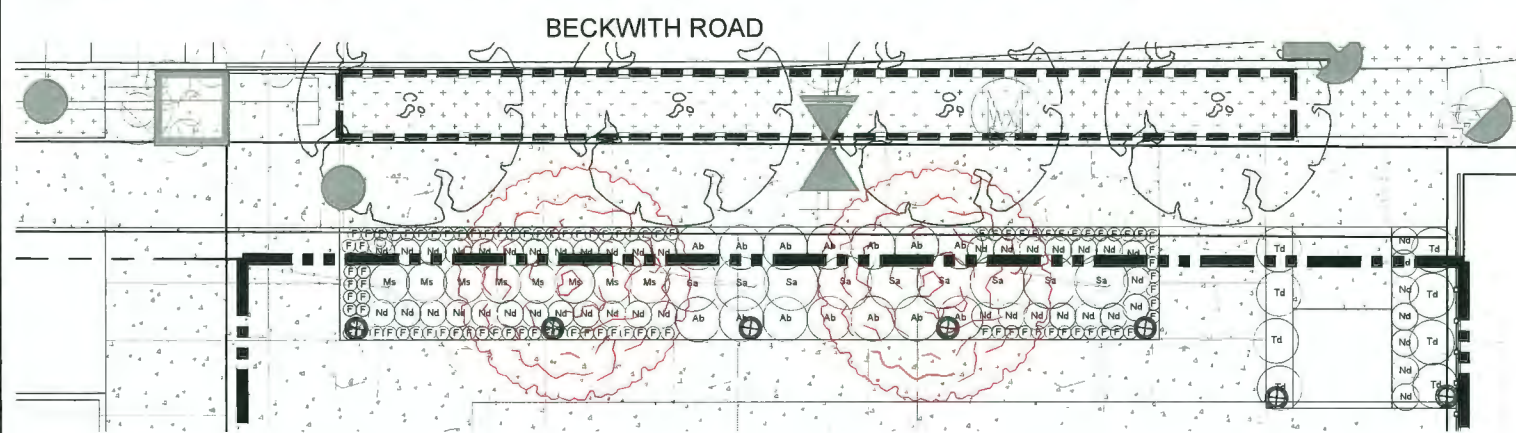
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1 JOW STREET PLANTING AREAS
Scale 1:75



2 SOUTH EDGE ESA PLANTING
Scale 1:75



3 BECKWITH ROAD PLANTING
Scale 1:75

PLANT SCHEDULE 9520 ESA

SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
Co	Cornus sericea / Red Twig Dogwood	#2 Pot	1m	20
Pm	Polystichum munitum / Western Sword Fern	#1 Pot	0.75m	14
Rs	Rubus spectabilis / Salmonberry	#2 Pot	1m	23
Sb	Salix brachycarpa 'Blue Fox' / Blue Fox Willow	#2 Pot	1m	17
Sr	Sambucus racemosa / Red Elderberry	#2 Pot	1m	5
Sd	Spiraea douglasii / Western Spirea	#2 Pot	1m	36
Sy	Symphoricarpos albus / Common White Snowberry	#2 Pot	1m	37

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ab	14	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Aj	57	Azalea japonica 'Gumpo Pink' / Dwarf Pink Azalea	#2 Pot	0.9m
F	95	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0.3m
La	80	Lavandula angustifolia 'Hidcote Blue' / Hidcote Blue Lavender	#1	0.6m
Mn	97	Mahonia nervosa / Oregon Grape	#2	0.6m
Ms	8	Miscanthus sinensis 'Morning Light' / Eulalia Grass	#2 Pot	0.9m
Nd	48	Nandina domestica 'Fire Power' / Firepower Nandina	#2 Pot	0.6m
Rs	9	Ribes sanguineum / Red Flowering Currant	#3	1.2m
S	320	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0.3m
Sc	36	Spiraea x bumalda 'Crispa' / Crisp Leaf Spirea	#2 Pot	1m
Sa	9	Symphoricarpos albus / Common White Snowberry	#3	1.2m
Td	68	Thuja occidentalis 'Degroot's Spire' / Degroot's Spire Arborvitae	1.8m ht	1m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
 - Shrubs: 450mm
 - Sod: 150mm
 - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

1:75

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DP 18-829207
May 7, 2024
Plan # 2.5

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10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 5, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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No.	By:	Description	Date

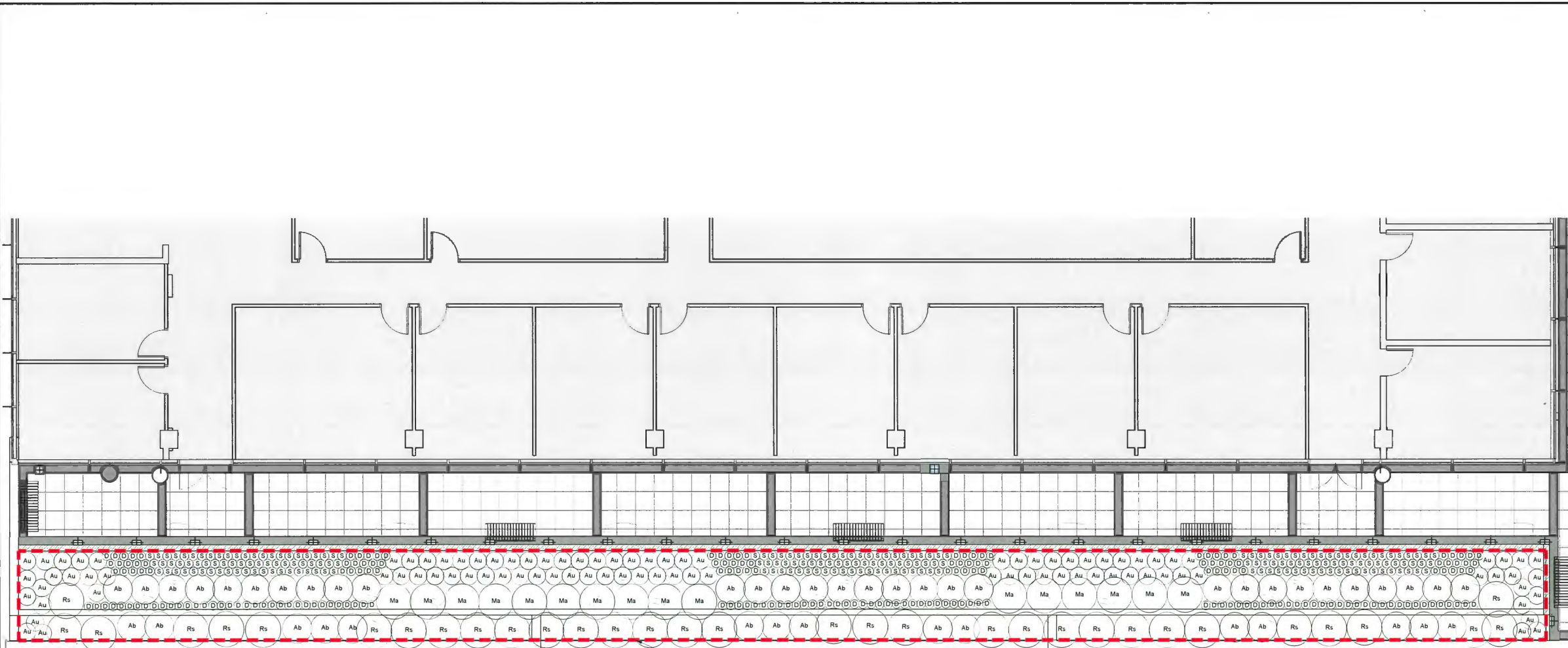
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Drawing Title: **PLANTING PLAN - LEVEL 1**
VDZ Project #: **DP2018-29**
Drawing #: **L-03A**



DP 18-829207
 May 7, 2024
 Plan # 26



Level 5 ESA compensation area. 198m²

ESA Calculations:

Existing ESA area:	270m ²
Level 1 ESA Post Development:	146m ²
Level 5 ESA compensation area:	198m ²
Level 7 ESA compensation area:	259m ²
Total ESA Post Development:	603m ²
Net change in ESA area:	+333m ²

NOTE:
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	45	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	94	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	144	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
Ma	16	Mahonia aquifolium / Oregon Grape	#3	1,20m
Rs	33	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	198	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0,30m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
 - Shrubs: 450mm
 - Sod: 150mm
 - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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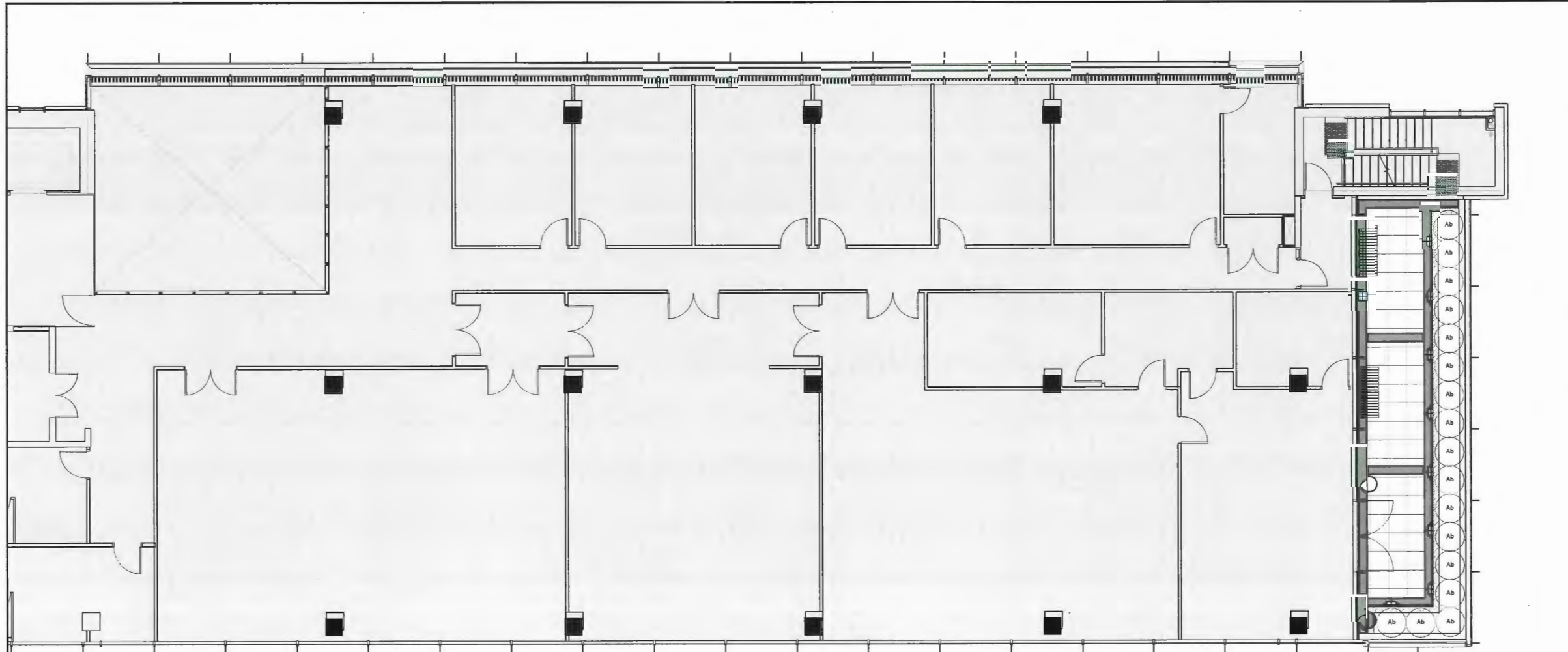
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DP 18-829207
 May 7, 2024
 Plan # 27

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SPACING
Ab	17	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
 - Shrubs: 450mm
 - Sod: 150mm
 - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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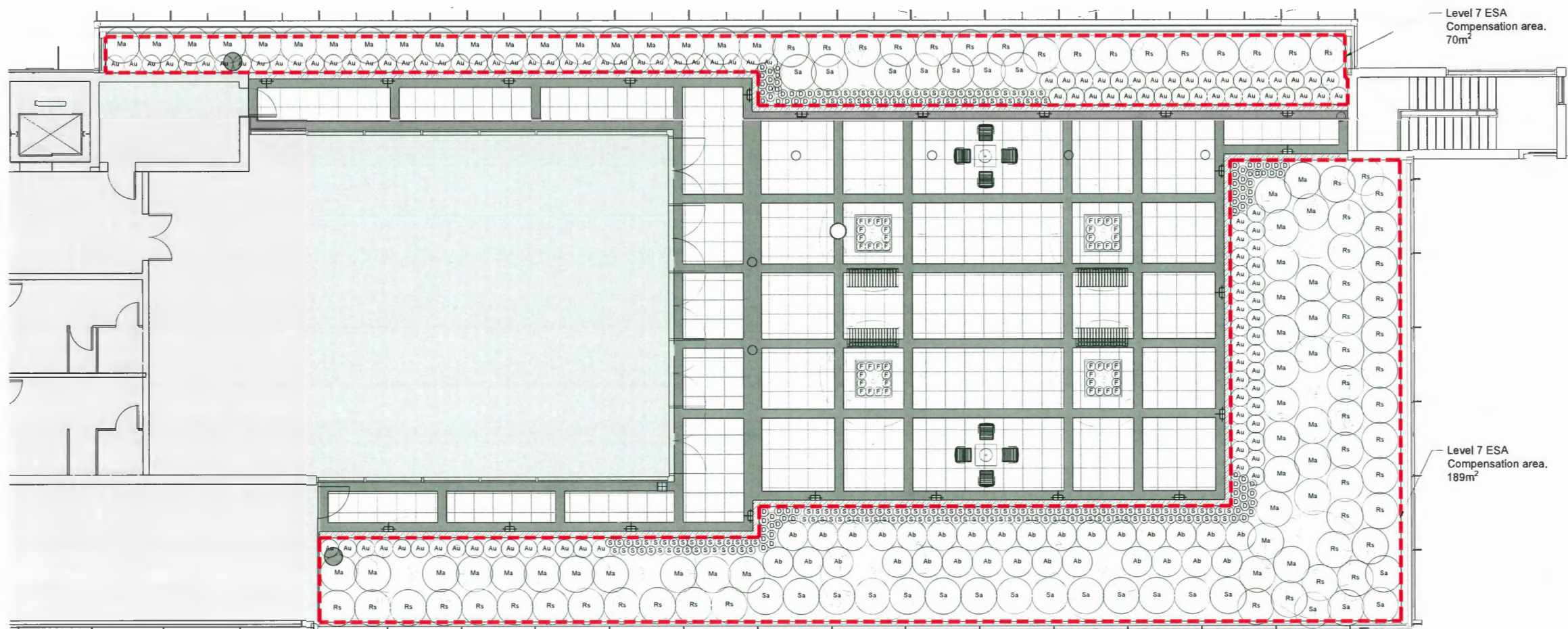
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Drawing Title: **PLANTING PLAN - LEVEL 6**
 Drawing #: **L-03C**
 VZD Project #: **DP2018-29**



DP 18-829207
 May 7, 2024
 Plan # 2 8

ESA Calculations:

Existing ESA area:	270m ²
Level 1 ESA Post Development:	146m ²
Level 5 ESA compensation area:	198m ²
Level 7 ESA compensation area:	259m ²
Total ESA Post Development:	603m²
Net change in ESA area:	+333m²

NOTE:
 ESA Calculations for onsite 9520 Beckwith road property only and do not include adjacent developments.

PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT	SPACING
Ab	30	Abies balsamea 'Nana' / Dwarf Balsam Fir	#2 Pot	1m
Au	118	Arctostaphylos uva-ursi / Kinnikinnick	#2 Pot	0,60m
D	76	Deschampsia cespitosa / Tufted Hair Grass	#2 Pot	0,30m
F	48	Festuca glauca 'Elijah Blue' / Blue Fescue	#1	0,30m
Ma	51	Mahonia aquifolium / Oregon Grape	#3	1,20m
Rs	56	Ribes sanguineum / Red Flowering Currant	#3	1,20m
S	181	Sedum spathulifolium 'Carnea' / Broadleaf Stonecrop	#1	0,30m
Sa	25	Symphoricarpos albus / Common White Snowberry	#3	1,20m

- All plant material shall meet or exceed standards required by Canadian Landscape Standards guidelines.
- Topsoil supplied shall be from a reputable source. A full analysis of the growing medium will be required at the contractor's expense, submit to landscape consultant for approval.
- Amend growing medium per soil analysis recommendations prior to spreading on site. Rejected growing medium shall be removed off site immediately at the landscape contractors expense.
- Growing medium depths for planting as follows:
 - Shrubs: 450mm
 - Sod: 150mm
 - Tree pits: 1000mm with 300mm (below root ball)
- 25mm minus compost mulch to be installed in all shrub planting areas.
- All landscaped areas to be irrigated.

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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Drawing Title: **PLANTING PLAN - LEVEL 7**
 Drawing #: **L-03D**
 Project #: **DP2018-29**
 HLRICM

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TREE LEGEND

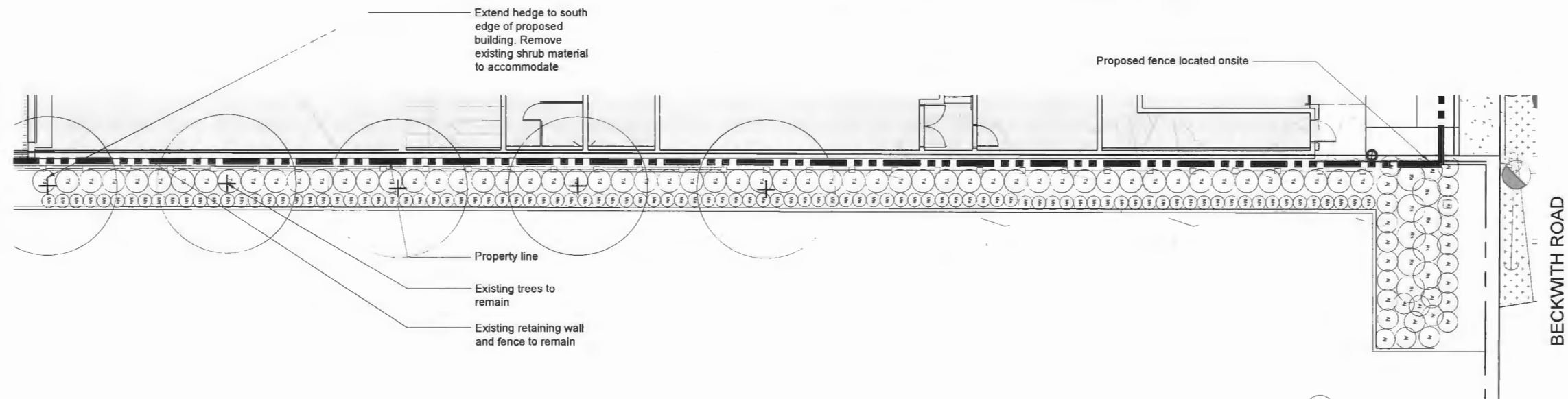
	Acer campestre
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TREE SCHEDULE

SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
See Legend	3	Acer campestre	Hedge Maple	B&B; 6cm cal.; 3.0m Ht.	Per Plan

OFFSITE PLANT SCHEDULE

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT
Aj	27	Azalea japonica 'Gumpo Pink' / Dwarf Pink Azalea	#2 Pot
Mn	97	Mahonia nervosa / Oregon Grape	#2 Pot
Rs	9	Ribes sanguineum / Red Flowering Currant	#2 Pot
Td	58	Thuja occidentalis 'Degroot's Spire' / DeGroot's Spire Cedar	2.5m ht.



DP 18-829207
 May 7, 2024
 Plan # 29

No.	By:	Description	Date
10	AD	Issued for Development Permitt	Feb 21, 2023
9	AD	Issued for Building Permitt	Jan 9, 2023
8	AD	Issued for Building Permitt	Dec 12, 2019
7	AD	Issued for Development Permitt	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permitt	June 26, 2019
3	AD	Issued for Development Permitt	March 19, 2019
2	AD	Issued for Development Permitt	Feb 20, 2019
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No.	By:	Description	Date
2	AD	Issued for Neighbour Review	Jan 28, 2019
1	AD	Issued for Development Permitt	Jan 18, 2019

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Drawing Title: OFFSITE PLAN - ADJACENT SITE TO EAST
 Drawing #: L-04
 Project #: DP2018-29
 H.L.R.I.O.N.

Tree Protection Zone

The Tree Protection Zone (TPZ) encompasses the drip line of the tree as illustrated in Fig. 1a and 1b.

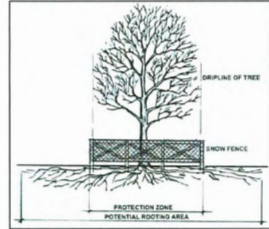


Fig. 1a - Example of a drip line on a tree

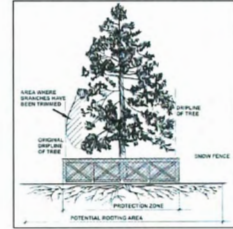


Fig. 1b - Example of a drip line on a tree with one side pruned

Note: If the tree is on an adjacent property, the drip line must still be protected on your side of the property line. If the branches have been cut or pruned, the TPZ must protect the original drip line of the tree (Fig. 1b).

Tree Protection Distance Table

Tree Trunk Diameter		Distance from Trunk		Total Diameter	
cm	inches	m	feet	m	feet
20	8	0.6	1.2	3.9	8.5
25	10	0.8	1.5	4.9	10.7
30	12	1.0	1.8	5.9	12.8
35	14	1.2	2.1	6.9	14.9
40	16	1.3	2.4	7.9	17.1
45	18	1.5	2.7	8.9	19.2
50	20	1.7	3.0	9.8	21.3
55	22	1.8	3.3	10.8	23.5
60	24	2.0	3.6	11.8	25.6
75	30	2.5	4.5	14.8	32.0
90	36	3.0	5.0	16.4	35.8
100	40	3.3	6.0	19.7	42.7

Tree Protection Zone Signage

All TPZ are required to have signage as shown in Fig. 2. The signage must be a minimum of 11"x14" in size on at least 2 sides. A sign is now available for download from the City of Richmond's Tree Bylaw webpage at www.richmond.ca/sustainability/environment/treeremoval.htm

For Tree Protection Barrier inspection requests and enquiries call 604-247-4684.

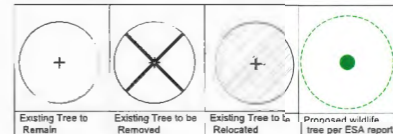
NOTE: Failure to maintain tree protection barriers may result in fines of up to \$10,000.00 per offence.



Fig. 2 Tree Protection Zone Sign

2 TREE PROTECTION FENCE
N.T.S.

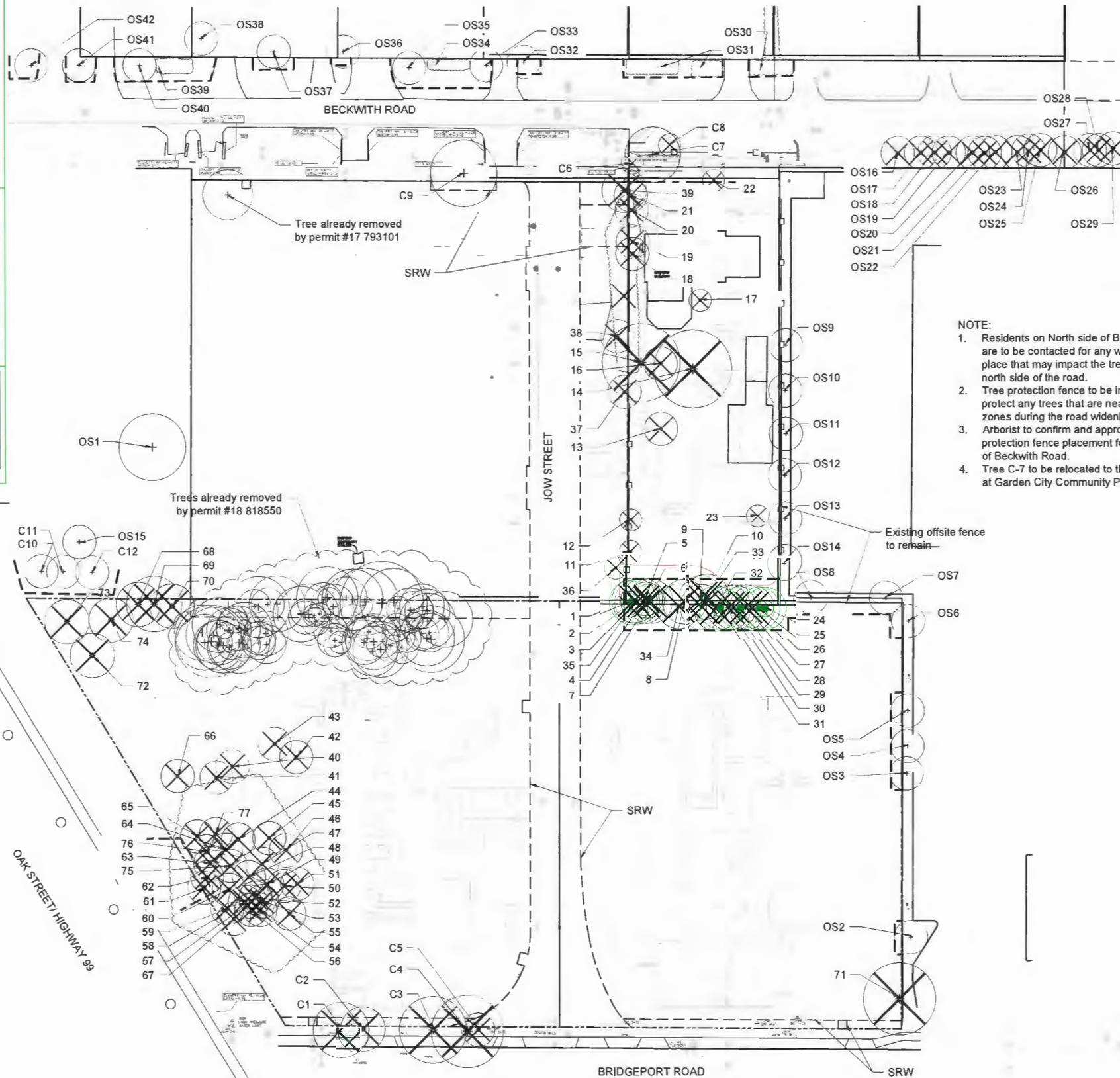
TREE LEGEND



KEY	REF.	DESCRIPTION
---	2	TREE PROTECTION FENCE
AR-01		

Note:

- Contact Arborist (Glyn Romaine, 604-882-0024, glyn@vdz.ca) for inspection 72 hrs prior to any grading or excavation within the tree protection zone. (typ)
- Read this plan together with the arborist report prepared by Glyn Romaine.



NOTE:

- Residents on North side of Beckwith Road are to be contacted for any work taking place that may impact the trees on the north side of the road.
- Tree protection fence to be installed to protect any trees that are near the work zones during the road widening.
- Arborist to confirm and approve tree protection fence placement for trees North of Beckwith Road.
- Tree C-7 to be relocated to the arboretum at Garden City Community Park.



DP 18-829207
 May 7, 2024
 Plan # 30

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
6	DV	Issued for DP, ADP UPDATE	August 22, 2019
5	AD	Issued for ADP	July 4, 2019
4	AD	Issued for Development Permit	June 26, 2019
3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

No.	By:	Description	Date
7	AD	Issued for Development Permit	July 12, 2019
6	AD	Issued for Development Permit	June 28, 2019
5	AD	Issued for Development Permit	May 31, 2019

REVISIONS TABLE FOR SHEET

Project:
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Location:
2777, 2888, 2899 &
2788 Jow Street
Richmond, BC

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Approved: MVDZ	Original Sheet Size: 24"x36"

Scale:
1:400

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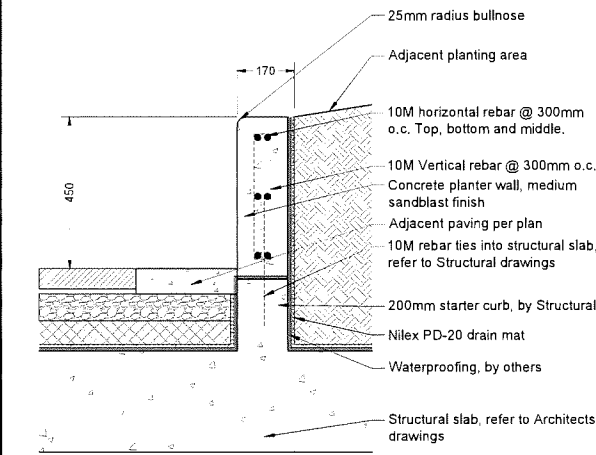
Drawing Title: TREE PRESERVATION PLAN

DP2018-29

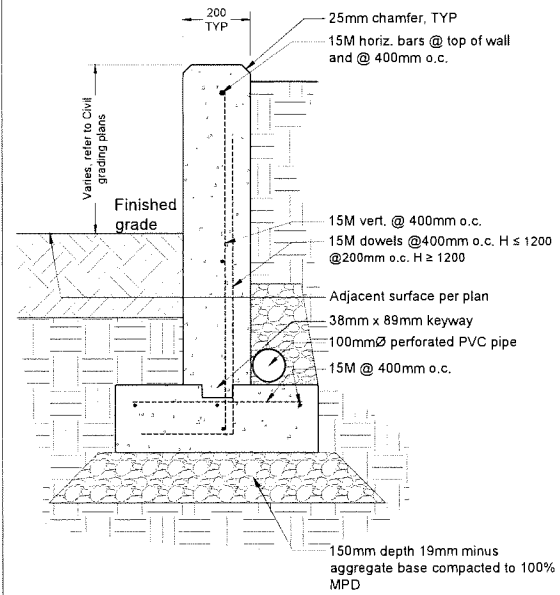
Drawing #: L-05

Z:\PROJECTS\DEVELOPMENT PERMITS\DP2018-29\29_0520_BECKWITH_ROAD\DWG\SHEET\29_0520_TREE_PRESERVATION_PLAN.DWG

NOTE:
Refer to structural detail for reinforcement and slab tie in requirements

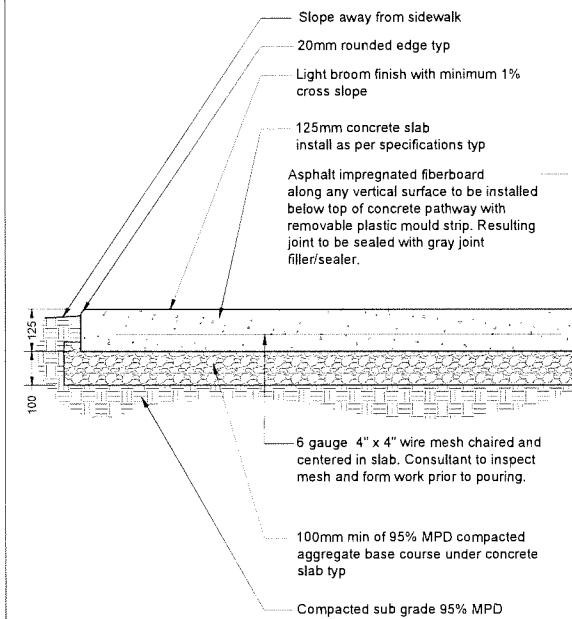


1 CONCRETE PLANTER WALL
Scale 1:10



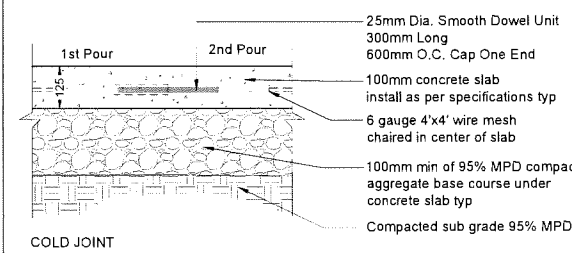
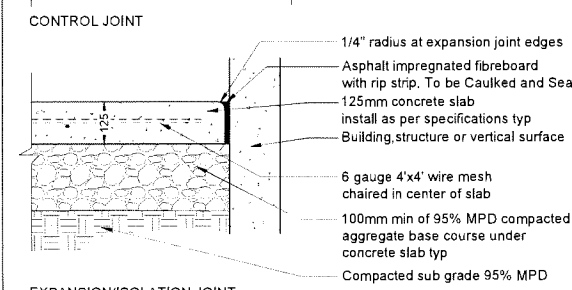
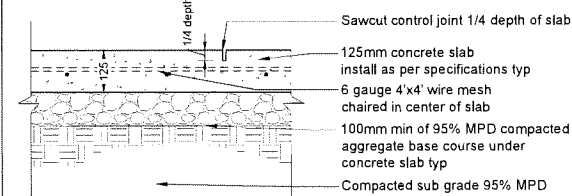
- Notes:
1. Vertical Control Joints Every 3000mm on center.
 2. Wall heights vary. Refer to Grading Plan.
 3. Perforated pipe to drain to daylight or tie into storm system.
 4. Ensure 50mm concrete cover over all rebar.
 5. Walls over 1200mm in height to be structurally engineered.

2 CONCRETE RETAINING WALL
Scale 1:10



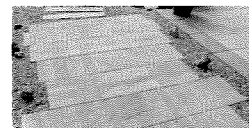
- Notes:
1. Contractor to provide expansion joints where concrete meets all vertical structures
 2. Horizontal scorelines at 1500mm o.c. unless shown otherwise. Refer to plans.
 3. Center scoreline on 150mm smooth finish or to match existing concrete pathway

3 CONCRETE PAVING
Scale 1:10

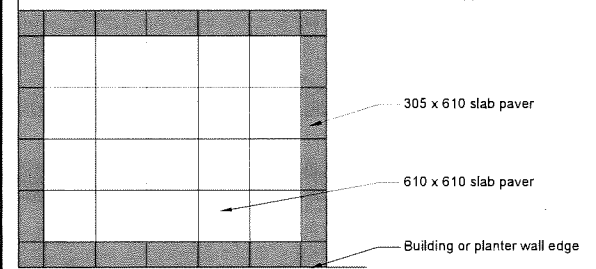


4 CONCRETE JOINTS
Scale 1:10

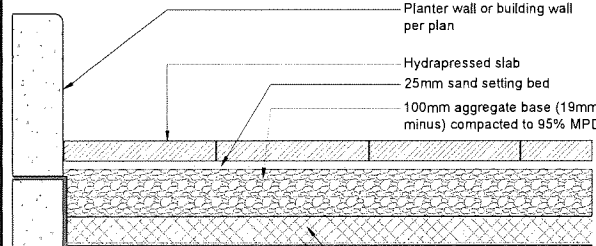
Hydrapressed Slab Details (BANDS):
Type: New York Stone Series
Size: 305mm x 610mm x 50mm
Colours: Charcoal
Pattern: Grid
Manufacturer: Abbotsford Concrete Products
www.pavingstones.com
1-800-663-4091



REFERENCE IMAGE



PLAN VIEW
Scale 1:40

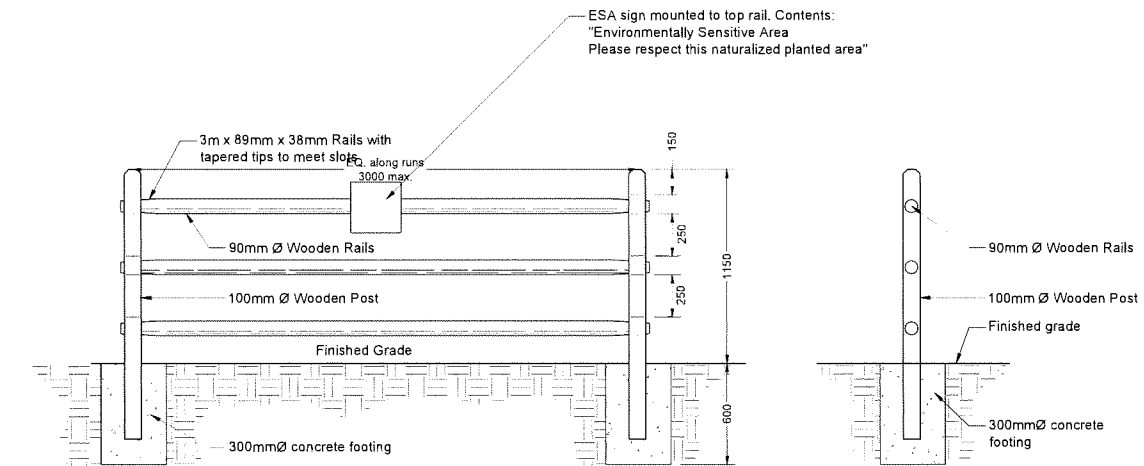


SECTION

Hydrapressed Slab Details (FIELD):
Type: New York Stone Series
Size: 610mm x 610mm x 50mm
Colours: Sandalwood
Pattern: Grid
Manufacturer: Abbotsford Concrete Products
www.pavingstones.com 1-800-663-4091

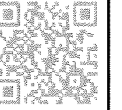
- Styrofoam void form as required
- Nillex WD-15 drain mat or approved substitute.
- Waterproof membrane by others
- Structural slab by others

5 HYDRAPRESSED SLABS
Scale 1:10



- NOTES:
1. All wood to be rough cut douglas fir #2 or better.
 2. All metal hardware to be hot dip galvanized and painted to match fence.
 3. Contractor to provide shop drawings.
 4. Contractor to provide sign proof for review before fabrication.

6 SPLIT RAIL FENCE
Scale 1:20



DP 18-829207
May 7, 2024
Plan # 31

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
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2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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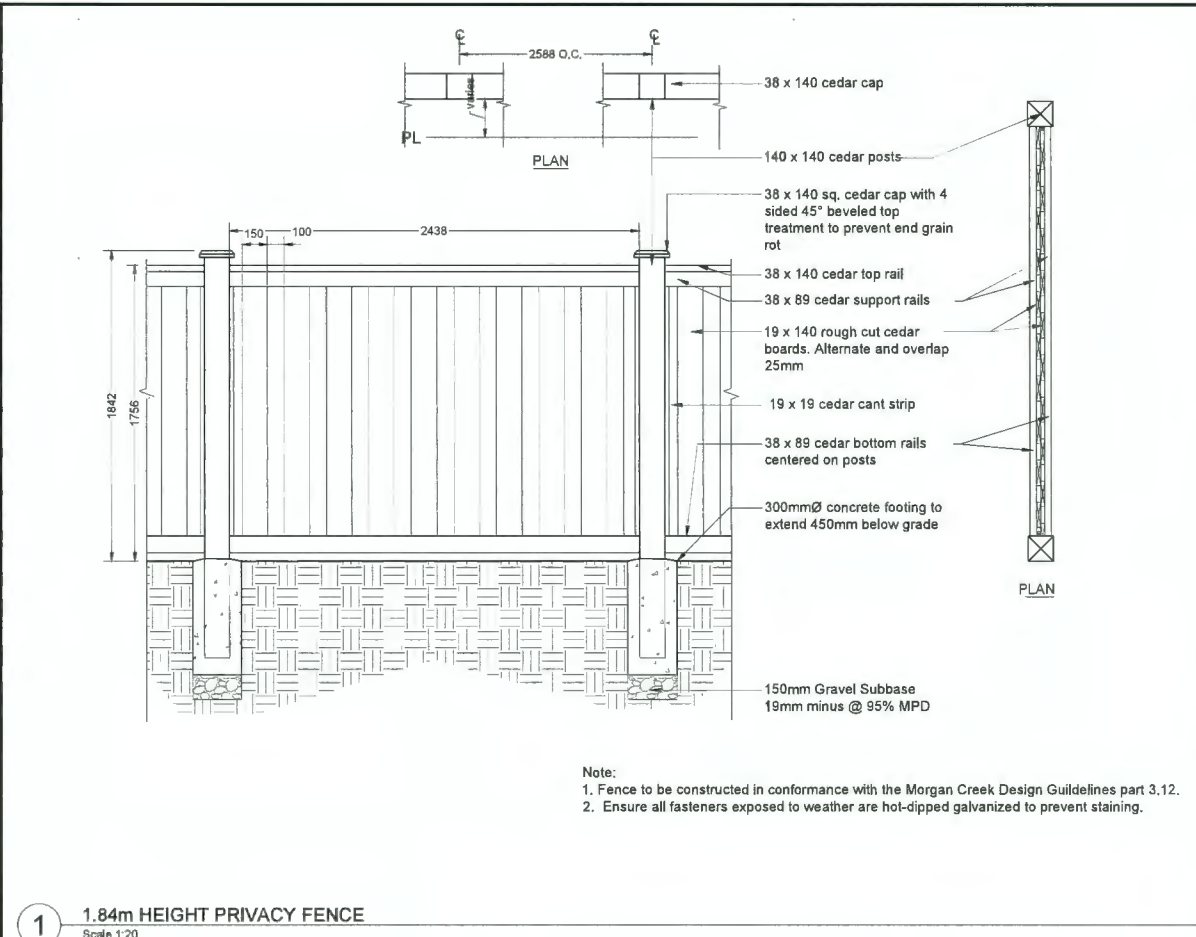
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Drawing Title:
DETAILS

VDZ Project #:
DP2018-29

Drawing #:
LD-01

Z:\PROJECTS\DEVELOPMENT PERMITS\DP18-29_2520 BECKWITH ROAD\DWG\SHEET\BUILDING DETAILS.DWG



1. 1.84m HEIGHT PRIVACY FENCE
Scale 1:20

EOS RECTANGULAR

TYPE

Front View **Side View**

Well recessed luminaire designed with a stepped downward rim for lighting wall type and eaves.

Luminaire characteristics:
Power Input: 17W
Lumens: 1720
Luminaire efficacy: 100lm/W

Source: LED module (LM-80 tested)
3000K, 80-CRI
4000K, 80-CRI
Lumen maintenance: 70% of initial lumens at +50,000 hours (L70, LM70 method).

Optics: Accent light

Mounting: Recessed wall installation using back box accessory. Connections to be done inside the recessed box.

Material:
Body: Die-cast aluminum
Reflector: 50/50% pure anodized aluminum
Diffuser: Clear tempered glass
Hardware: Stainless steel screws and EPDM gaskets
Electrical: Integral high efficiency electronic power supply, rated at 50,000 hours, 120V/277V.

Finish: Aluminum gray

Weight: 3.75lbs (1.7kg)
Warranty: 5 year limited warranty
Certification: cULus for wet location
Rating: IP65 IK08

EOS RECTANGULAR

TYPE

LOAD	CCT	CRI	OPTIC	DELIVERED LUMENS	LUMINAIRE EFFICACY	CENTER BEAM CANDLE POWER	MODEL
17W	3000K	90	Accent light	1720	100	227	S-4615W

ACCESSORY (incl. USD \$)

- S-4623A - Stainless steel recessed box
Dim: 10 1/2" x 5 1/2" x 5 1/2"
Dim: 267mm x 138mm x 138mm

ORDERING INFO **RESET**

MODEL	VOLTAGE	FINISH
S-4615W - 3000K	120V	14 - Aluminum gray
S-4615W - 4000K	277V	

SISTEMALUX

2. WALL LIGHT
N.T.S.

FGP PATH LIGHT

Lighting Facts 1

Electrical

FGP Path Light Type 4 FGP Path Light Type 5

Finish

To Order

AD	ADP	ADP	ADP	ADP	ADP
(11.5L, 10h 45)	(11.5L, 10h 45)	(11.5L, 10h 45)	(11.5L, 10h 45)	(11.5L, 10h 45)	(11.5L, 10h 45)

Product Modifications

Warranty

Other

Designed by Prosource Global Inc.

3. BOLLARD LIGHT
N.T.S.

VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY

FORT LANGLEY STUDIO MOUNT PLEASANT STUDIO
100-9181 Church St 102-355 Kingsway
Fort Langley, BC Vancouver, BC
V1M 2B8 V5T 3J7

www.vdz.ca 604-882-0024



DP 18-829207
May 7, 2024
Plan # 32

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
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1	AD	Issued for Development Permit	Jan 30, 2019

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Location:
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Richmond, BC

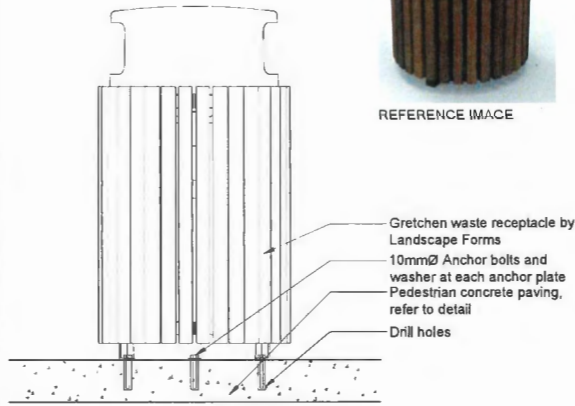
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Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/DP/PP/PA/HA/HP DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED DERIVED FOR TENDER/CONSTRUCTION.

Drawing Title: **DETAILS**
 Vdz Project #: **DP2018-29**
 Drawing #: **LD-02**

NOTES:
Install per manufacturers specifications



REFERENCE IMAGE



Gretchen waste receptacle by Landscape Forms
10mmØ Anchor bolts and washer at each anchor plate
Pedestrian concrete paving, refer to detail
Drill holes

SECTION

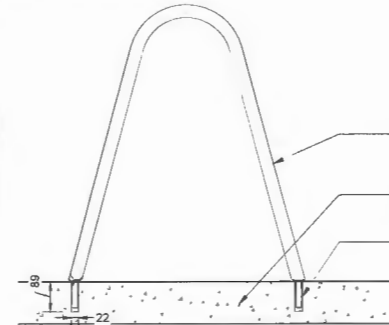
WASTE RECEPTACLE
Model: Gretchen
Size: 559mm x 1067mm
Mount: Surface
Options: Side opening
Colour: IPE
Manufacturer: Landscape Forms
www.landscapeforms.com

1 WASTE RECEPTACLE
N.T.S.

NOTES:
Install per manufacturers specifications



REFERENCE IMAGE



Flo bike rack by Landscape Forms
Pedestrian concrete paving, refer to detail
89mm x 22mm drill holes

SECTION

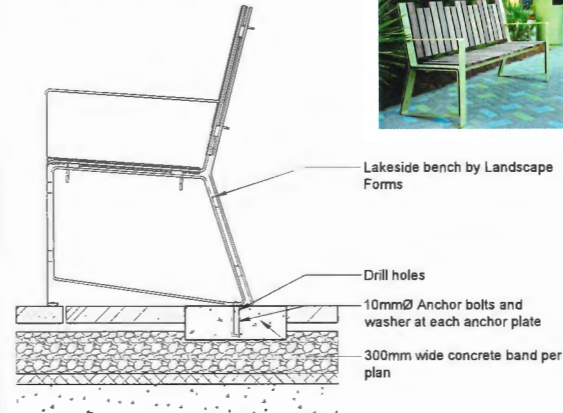
BIKE RACK
Model: Flo
Size: 38mm x 635mm x 686mm
Mount: Embedded
Colour: Metallic Silver
Manufacturer: Landscape Forms
www.landscapeforms.com

2 BIKE RACK
N.T.S.

NOTES:
1. Install per manufacturers specifications.
2. Podium benches to be anchored to concrete bands on rear legs only.

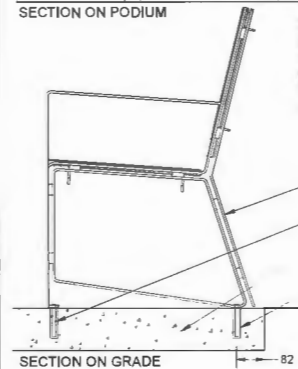


Lakeside bench by Landscape Forms



SECTION ON PODIUM

Drill holes
10mmØ Anchor bolts and washer at each anchor plate
300mm wide concrete band per plan



SECTION ON GRADE

Drill holes
10mmØ Anchor bolts and washer at each anchor plate
Pedestrian concrete paving, refer to detail

BENCH
Model: Lakeside - Fence Backed
Size: 510mm x 1702mm x 889mm
Metal Colour: Metallic Silver
Wood: IPE
Manufacturer: Landscape Forms
www.landscapeforms.com

3 BENCH
N.T.S.



TABLE AND CHAIRS
Model: Parc Center
Size: 711mm sq.
Chairs: 4 per table
Mount: Free standing
Colour: Metallic Silver
Manufacturer: Landscape Forms
www.landscapeforms.com

4 TABLE AND CHAIRS
N.T.S.

VDZ+A
LANDSCAPE ARCHITECTURE
FORT LANGLEY STUDIO 100-9181 Church St
MOUNT PLEASANT STUDIO 102-355 Kingsway
Fort Langley, BC Vancouver, BC
V1M 2K8 V1T 3J7
www.vdz.ca 604-882-0024



DP 18-829207
May 7, 2024
Plan # 33

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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3	AD	Issued for Development Permit	March 19, 2019
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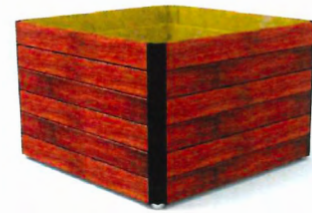
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Drawn: AD
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Original Sheet Size: 24"x36"

Scale: AS SHOWN
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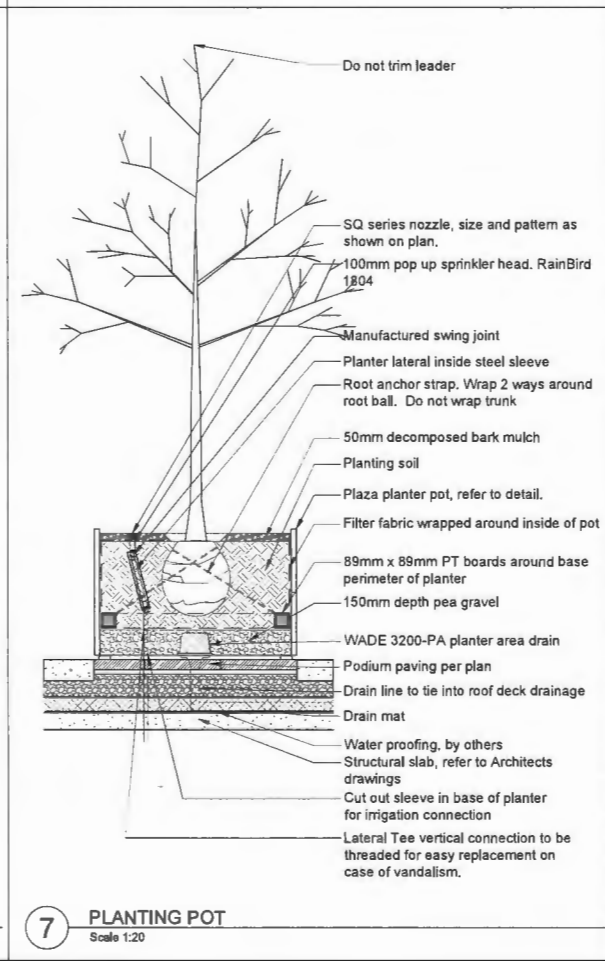
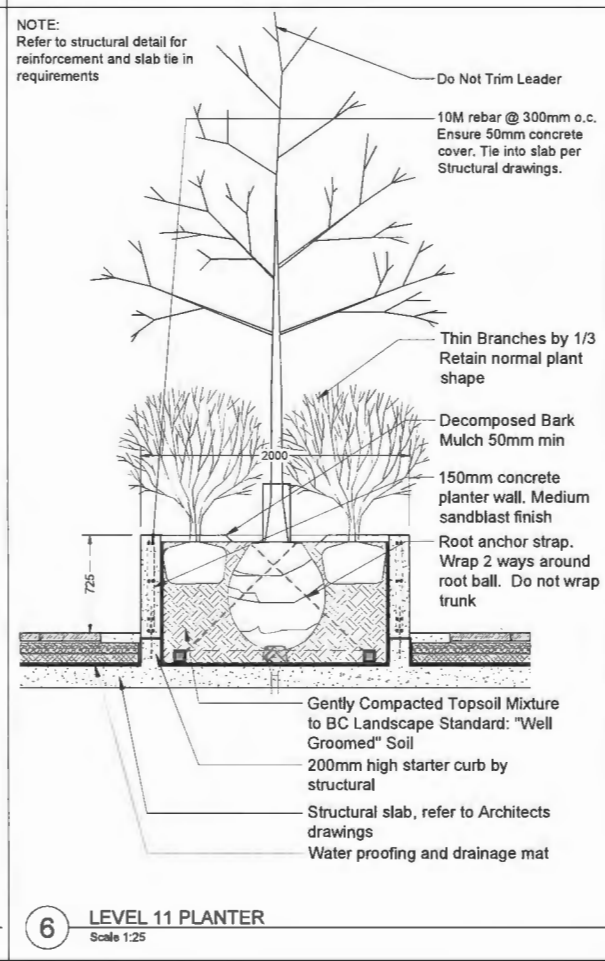
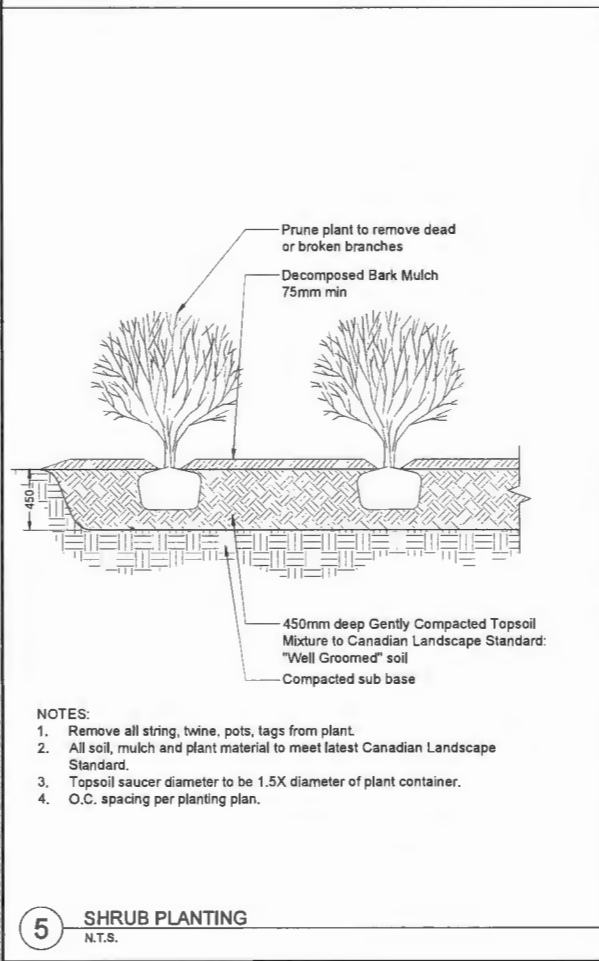
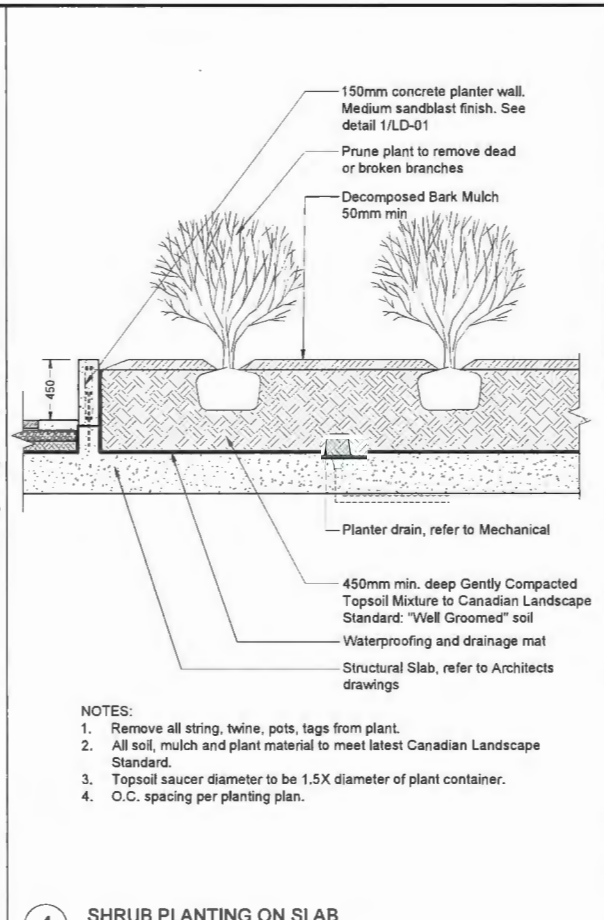
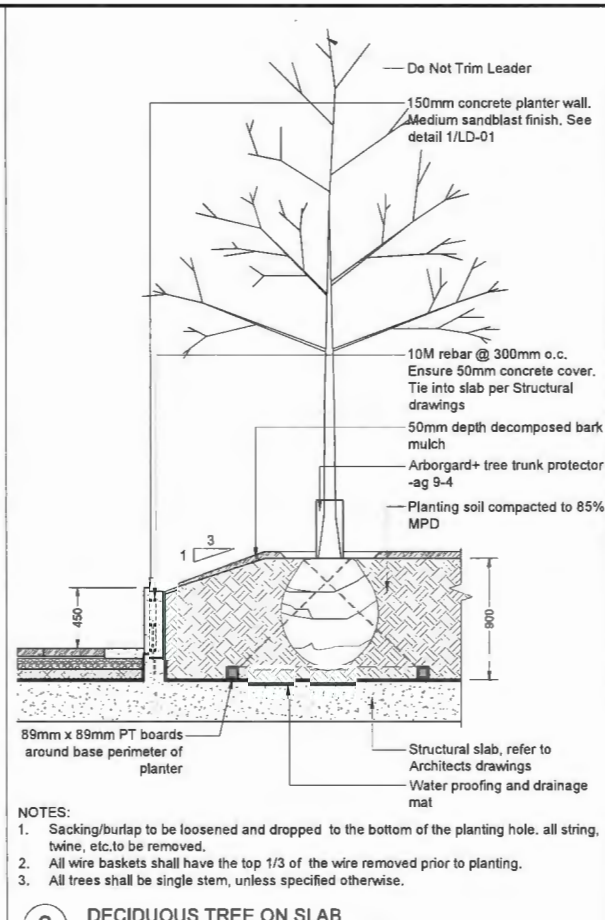
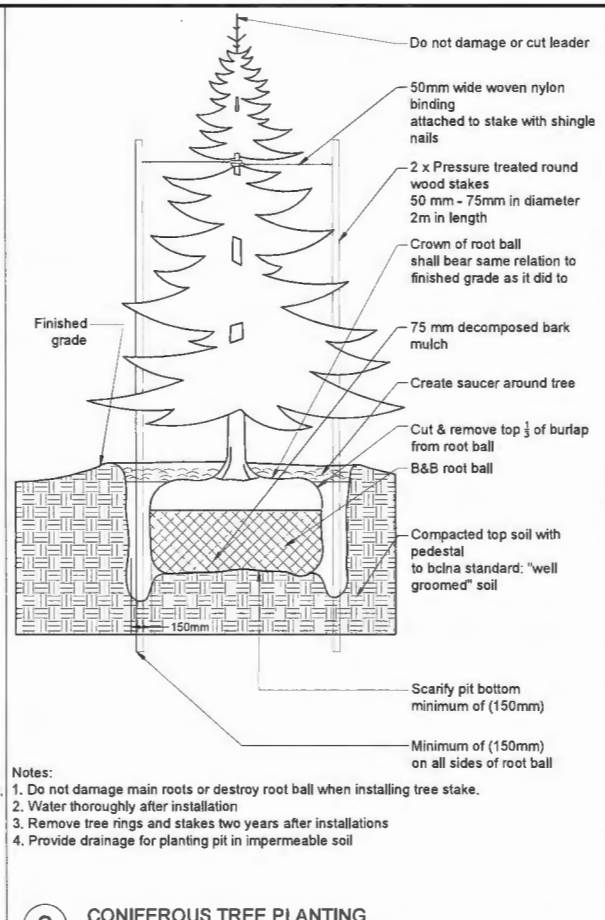
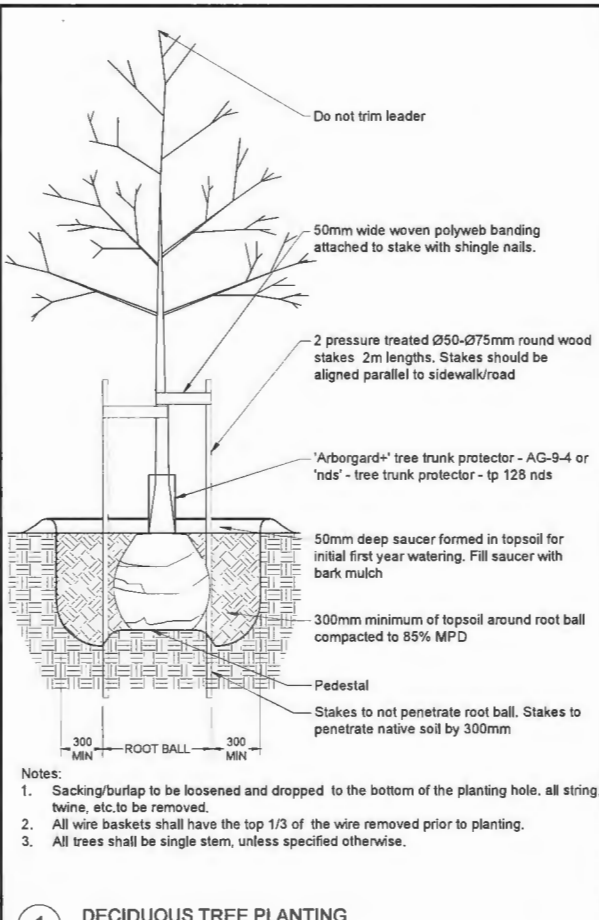


PLANTERS
Model: Plaza
Size: 1219mm x 1219mm x 813mm
Colour: Wood
Manufacturer: Landscape Forms
www.landscapeforms.com

5 PLANTER POTS
N.T.S.

Z:\PROJECTS\DEVELOPMENT PERMITS\DP18-829207\29-8520 BECAWITH ROAD\DWGS\DETAILS\LD-03.DWG

Drawing Title: DETAILS
VDZ Project #: DP2018-29
LD-03



DF 13-829207
May 7, 2024
Plan # 34

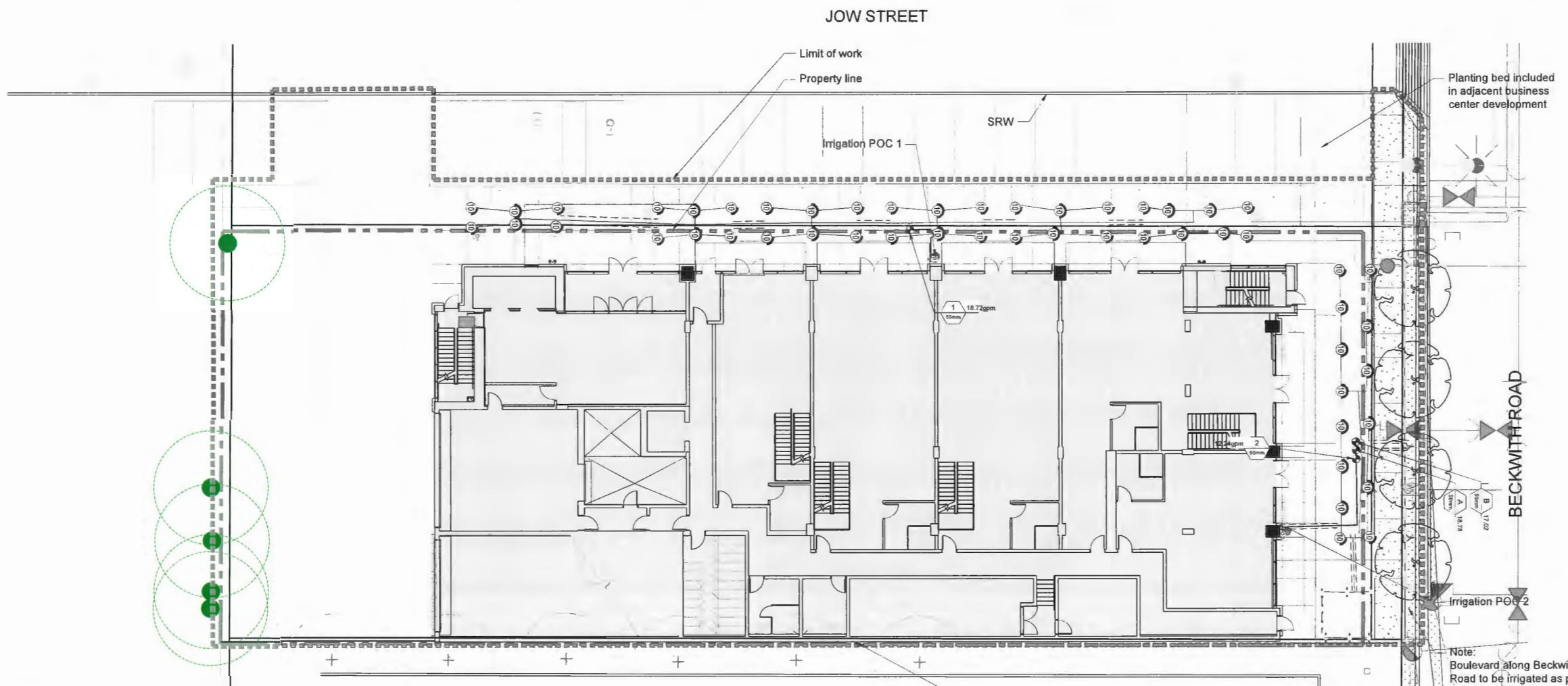
No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
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DP 18-829207
May 7, 2024
Plan # 35

- NOTES:**
- All landscape areas to be fully irrigated.
 - All irrigation components to be Rainbird or approved equal.
 - 1 soil moisture sensor will be provided in landscape on each level of the building.
 - 1 rain sensor will be provided on level 7.
 - 50mmØ stub outs for irrigation to be provided on each level as shown.

Note:
Boulevard along Beckwith Road to be irrigated as per City Standards, on a Separate zone, tied to the onsite water supply. Design subject to servicing agreement.

IRRIGATION NOTES:

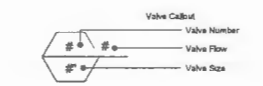
- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- All length quantities shown are approximate. Contractor to verify all quantities.
- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all vehicular roads and driveways.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization through ball valve installation.
- Coordinate all irrigation trenches and pipe locations to avoid conflicts with proposed utilities.
- Low-point irrigation heads require anti-draining check valves if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide all permits required for installation of irrigation system.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Install all irrigation components as per manufacturer's specifications.
- All pipe to be installed at a minimum of 18" below finish grade.
- Main line to be installed at a minimum of 24" below finish grade.
- All valves to be installed in 10" or larger valve box.
- All irrigation heads in non turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge burial type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- Provide as built drawings for any changes made to the irrigation plan.
- The Irrigation system will be inspected by the consultant upon completion.
- All Irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).
- Plants will require daily watering during the warm weather season (July - September) and 3 times a week during the shoulder seasons of June and September. Irrigation should not be required for the remainder of the year due to natural precipitation. Plants will be monitored to ensure irrigation is satisfactory and will be adjusted accordingly to the site conditions.

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
①	Rain Bird 1812-PRS-NP-U 08H	28	180	25	0.47	2.1 m
②	Rain Bird 1812-PRS-NP-U 08Q	7	90	25	0.24	2.1 m
③	Rain Bird 1812-PRS-NP-U 10H	34	180	25	0.75	2.7 m
④	Rain Bird 1812-PRS-NP-U 10Q	30	90	25	0.37	2.7 m
⑤	Rain Bird 1812-PRS-NP-U 12H	4	180	25	1.2	3.4 m
⑥	Rain Bird 1812-PRS-NP-U 15H	4	180	25	1.65	4.3 m
⑦	Rain Bird 1812-PRS-NP-U 15Q	2	90	25	0.82	4.3 m

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⑧	Rain Bird XBT-PC 10PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 3.8 l/h=black, and 7.8 l/h=red. Comes with a 13 mm FPT inlet x barb outlet.	8

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⑨	Rain Bird PEB-PRS-D 25 mm, 40 mm, 50 mm Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	5
⑩	Irrigation Lateral Line: CPVC Schedule 40	430.4 m
⑪	Irrigation Mainline: PVC Schedule 40	14.3 m
⑫	Pipe Sleeve: CPVC Schedule 40	41.2 m



REVISIONS TABLE FOR DRAWINGS

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
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3	AD	Issued for Development Permit	March 19, 2019
2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

REVISIONS TABLE FOR SHEET

No.	By	Description	Date

Project:
Office 2

Location:
2788 Jow Street
Richmond, BC

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Original Sheet Size: 24"x36"

Scale: 1:150

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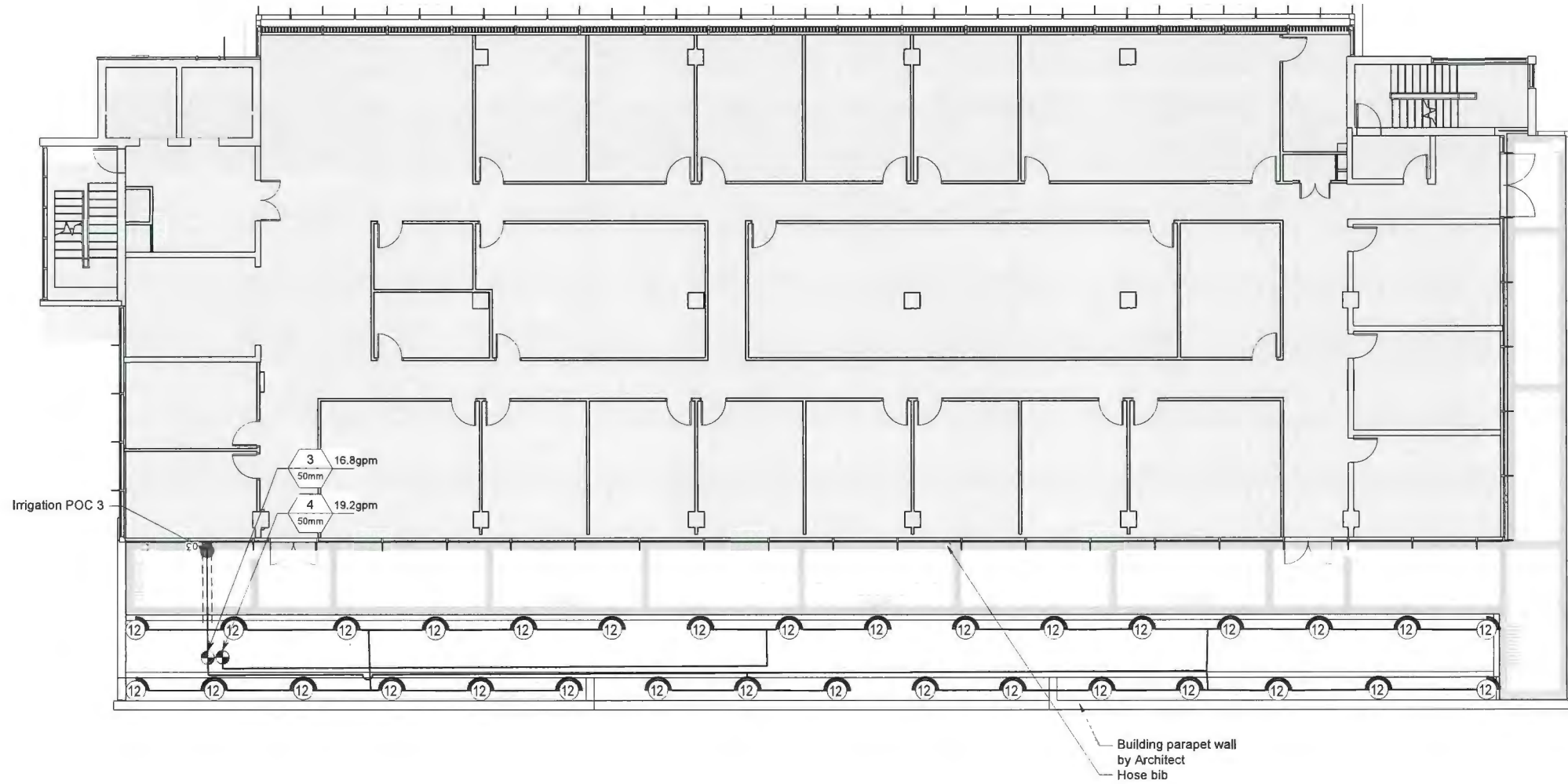
Drawing Title: IRRIGATION PLAN - LEVEL 1



DP2018-29

Drawing #: IR-01

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DP 18-829207
 May 7, 2024
 Plan # 36

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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No.	By	Description	Date
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Project:
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 Location:
 2788 Jow Street
 Richmond, BC

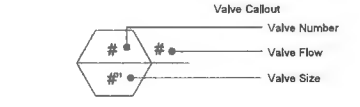
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Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:100	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/DRAWING/REVISED DRAWINGS MUST NOT BE USED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

IRRIGATION NOTES:

- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- City pressure at connection point is hovering around 80PSI, pressure regulated down to 50PSI after DCV.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- All length quantities shown are approximate. Contractor to verify all quantities.
- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all vehicular roads and driveways.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization through ball valve installation.
- Coordinate all irrigation trenches and pipe locations to avoid conflicts with proposed utilities.
- Low-point irrigation heads require anti-draining check valves if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide all permits required for installation of irrigation system.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Install all irrigation components as per manufacturer's specifications.
- All pipe to be installed at a minimum of 18" below finish grade.
- Main line to be installed at a minimum of 24" below finish grade.
- All valves to be installed in 10" or larger valve box.
- All irrigation heads in non turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge burial type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- Provide as built drawings for any changes made to the irrigation plan.
- The Irrigation system will be inspected by the consultant upon completion.
- All irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).

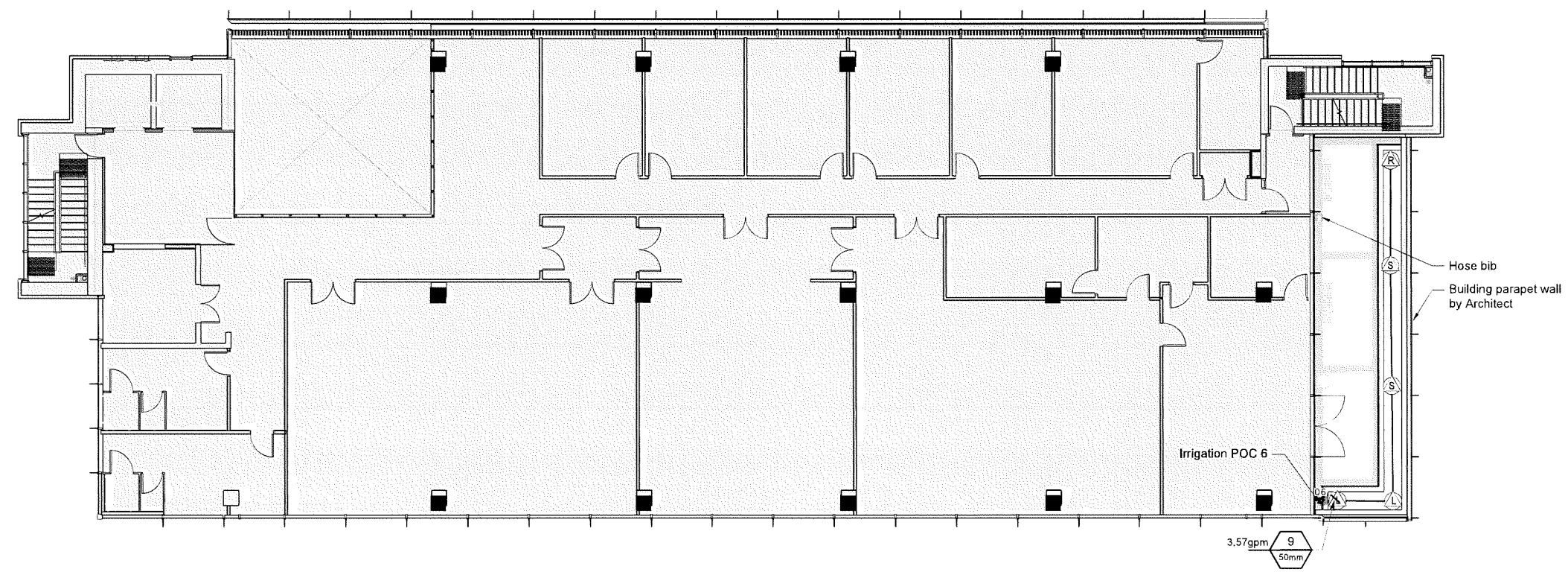
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
⊙	Rain Bird 1812-PRS-NP-U U12 Series	28	180	25	1,2	3,4 m
⊙	Rain Bird 1812-PRS-NP-U U12 Series	4	90	25	0,6	3,4 m
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY				
⊕	Rain Bird PEB-PRS-D 25 mm, 40 mm, 50 mm Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	2				
—	Irrigation Lateral Line: CPVC Schedule 40	154,1 m				
---	Irrigation Mainline: PVC Schedule 40	4,7 m				
----	Pipe Sleeve: CPVC Schedule 40	3,1 m				



Z:\PROJECTS\DEVELOPMENT PERMITS\DP18-829207\B29 8950 BECKWITH ROAD\DWGS\IRRI-5-IR-LEVEL 5.DWG

Drawing Title: **IRRIGATION PLAN - LEVEL 5**
 Drawing #: **IR-02**
 DP2018-29
 H.L.RON



DP 18-829207
 May 7, 2024
 Plan # 37

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
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1	AD	Issued for Development Permit	Jan 30, 2019

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 Richmond, BC

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Approved: MVDZ
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Scale: 1:100
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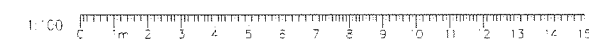
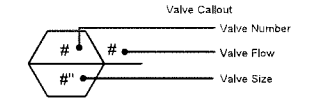
IRRIGATION NOTES:

- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- City pressure at connection point is hovering around 80PSI, pressure regulated down to 50PSI after DCV.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
- All length quantities shown are approximate. Contractor to verify all quantities.
- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all vehicular roads and driveways.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization through ball valve installation.
- Coordinate all irrigation trenches and pipe locations to avoid conflicts with proposed utilities.
- Low-point irrigation heads require anti-draining check valves if not already provided in irrigation head specification.
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- Install all irrigation components as per manufacturer's specifications.
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- Main line to be installed at a minimum of 24" below finish grade.
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- All irrigation heads in non turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge burial type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required.
- Provide as built drawings for any changes made to the irrigation plan.
- The Irrigation system will be inspected by the consultant upon completion.
- All irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).

IRRIGATION SCHEDULE

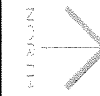
SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
Ⓛ	Rain Bird 1812-PRS-NP-U 15 Strip Series	2	LCS	25	0,5	1,2x4,6
Ⓞ	Rain Bird 1812-PRS-NP-U 15 Strip Series	1	RCS	25	0,5	1,2x4,6
Ⓢ	Rain Bird 1812-PRS-NP-U 15 Strip Series	2	SST	25	1,1	1,2x9,1

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊙	Rain Bird PEB-PRS-D 25 mm, 40 mm , 50 mm Plastic Industrial Valves. Low Flow Operating Capability. Globe Configuration. With Pressure Regulator Module.	1
—	Irrigation Lateral Line: CPVC Schedule 40	17,8 m
- - -	Irrigation Mainline: PVC Schedule 40	0,6 m



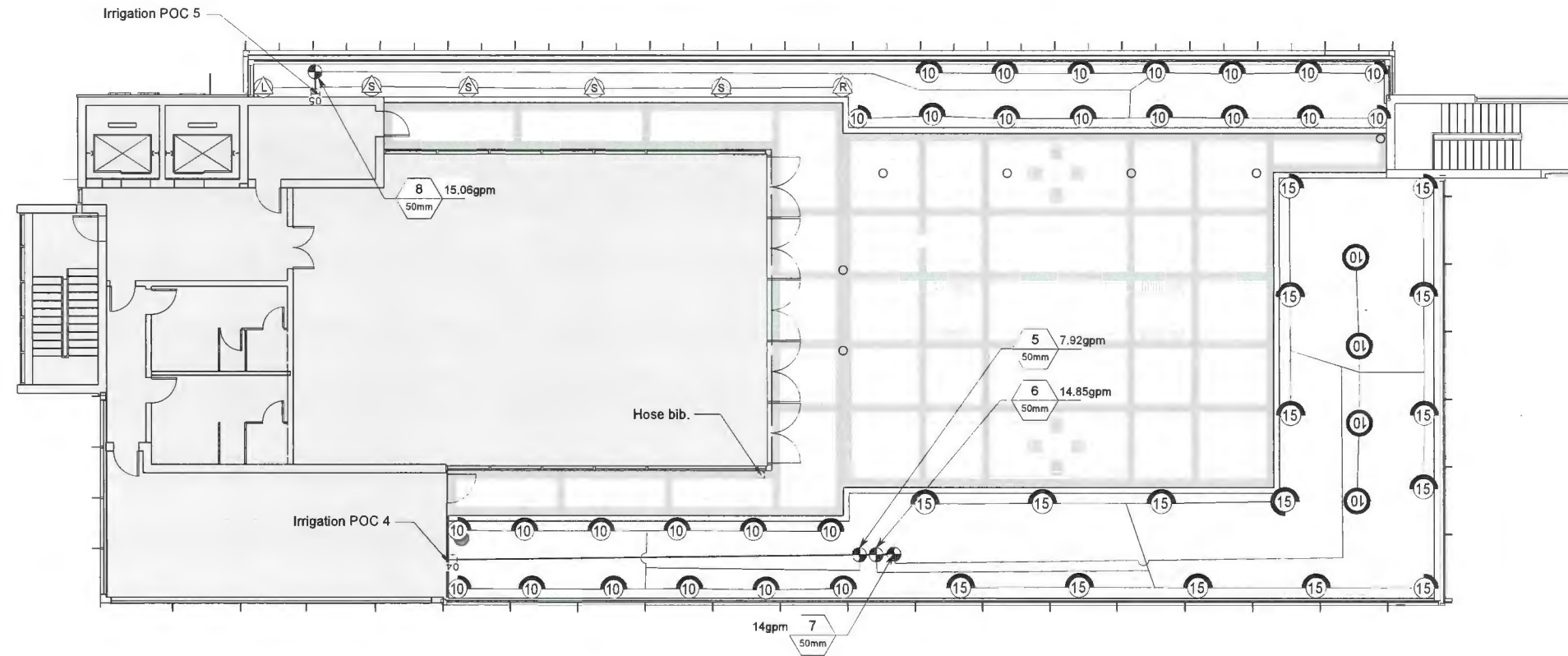
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Drawing Title: IRRIGATION PLAN - LEVEL 6



VDZ Project #: DP2018-29

Drawing #: IR-03



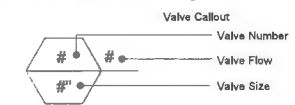
IRRIGATION NOTES:

- System is based on 25 PSI (min.) and 30 GPM (max.) at the connection point.
- City pressure at connection point is hovering around 80PSI, pressure regulated down to 50PSI after DCV.
- Contractor to determine pipe layout to ensure system operates as per specifications.
- Velocity in all irrigation lines not to exceed 5' per second. Contractor to adjust pipe sizing accordingly.
- If a discrepancy occurs between drawings and specifications, specifications are to be followed.
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- Back Flow Prevention Valve and Water Meter as per City of Richmond standards. New service boxes sized to contain all required valves and blow-out tees. To match City of Richmond standards.
- All products to be installed as per manufacturer's specifications unless noted otherwise.
- Each irrigation line to have 4" SCH 40 PVC sleeving under all sidewalks. Steel sleeving to be used under all vehicular roads and driveways.
- All service connections to be coordinated with civil and mechanical engineer. Allow for proper winterization through ball valve installation.
- Coordinate all irrigation trenches and pipe locations to avoid conflicts with proposed utilities.
- Low-point irrigation heads require anti-draining check valves if not already provided in irrigation head specification.
- All products to be installed as per manufacturer's specifications unless noted otherwise. Contractor to provide all permits required for installation of irrigation system.
- Contractor to verify the existence, location and elevation of all underground utilities and services prior to commencement of the work.
- Install all irrigation components as per manufacturer's specifications.
- All pipe to be installed at a minimum of 18" below finish grade.
- Main line to be installed at a minimum of 24" below finish grade.
- All valves to be installed in 10" or larger valve box.
- All irrigation heads in non turf areas to be 12" High Pop heads.
- Control wire from the controller to valves shall be a minimum 14-gauge burial type, CSA approved type PE direct burial wire.
- Contractor to confirm pressure and pipe sizing at connection point and install pressure reducer as required. Provide as built drawings for any changes made to the irrigation plan.
- The Irrigation system will be inspected by the consultant upon completion.
- All irrigation components under sidewalks and driveways shall be sleeved. (sized as per plan).

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL	QTY	ARC	PSI	GPM	RADIUS
Ⓐ	Rain Bird 1812-PRS-NP-U 15 Strip Series	1	LCS	25	0,5	1,2x4,6
Ⓑ	Rain Bird 1812-PRS-NP-U 15 Strip Series	1	RCS	25	0,5	1,2x4,6
Ⓒ	Rain Bird 1812-PRS-NP-U 15 Strip Series	4	SST	25	1,1	1,2x9,1
⑩	Rain Bird 1812-PRS-NP-U U10 Series	4	360	25	1,5	2,7 m
⑩	Rain Bird 1812-PRS-NP-U U10 Series	22	180	25	0,8	2,7 m
⑩	Rain Bird 1812-PRS-NP-U U10 Series	5	90	25	0,4	2,7 m
⑮	Rain Bird 1812-PRS-NP-U U15 Series	12	180	25	1,7	4,3 m
⑮	Rain Bird 1812-PRS-NP-U U15 Series	3	90	25	0,8	4,3 m
⑮	Rain Bird 1812-PRS-NP-U U15 Series	1	270	25	2,5	4,3 m

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
⊙	Rain Bird PEB-PRS-D 25 mm, 40 mm, 50 mm Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Pressure Regulator Module.	4
—	Irrigation Lateral Line: CPVC Schedule 40	223,1 m
---	Irrigation Mainline: PVC Schedule 40	16,7 m



DP 18-829207
 May 7, 2024
 Plan # 38

No.	By	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
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2	AD	Issued for Development Permit	Feb 20, 2019
1	AD	Issued for Development Permit	Jan 30, 2019

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Checked: MVDZ

Approved: MVDZ
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Scale: 1:100
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Drawing #: IR-04
 DP2018-29
 NORTH
 Drawing Title: IRRIGATION PLAN - LEVEL 7
 Vdz Project #: DP2018-29
 Vdz Project #: DP2018-29



DP 18-829207
 May 7, 2024
 Plan # 39

No.	By:	Description	Date
10	AD	Issued for Development Permit	Feb 21, 2023
9	AD	Issued for Building Permit	Jan 9, 2023
8	AD	Issued for Building Permit	Dec 12, 2019
7	AD	Issued for Development Permit	Oct 11, 2019
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1	AD	Issued for Development Permit	Jan 30, 2019

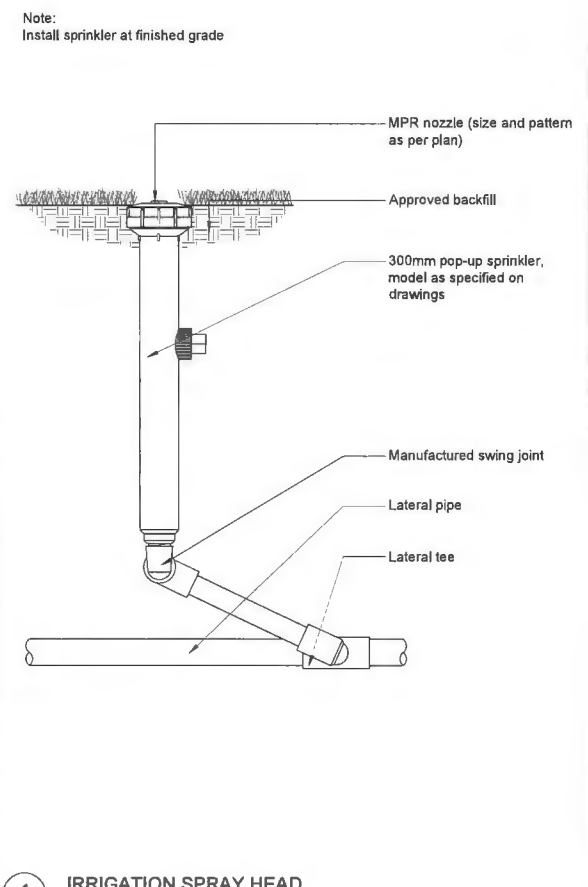
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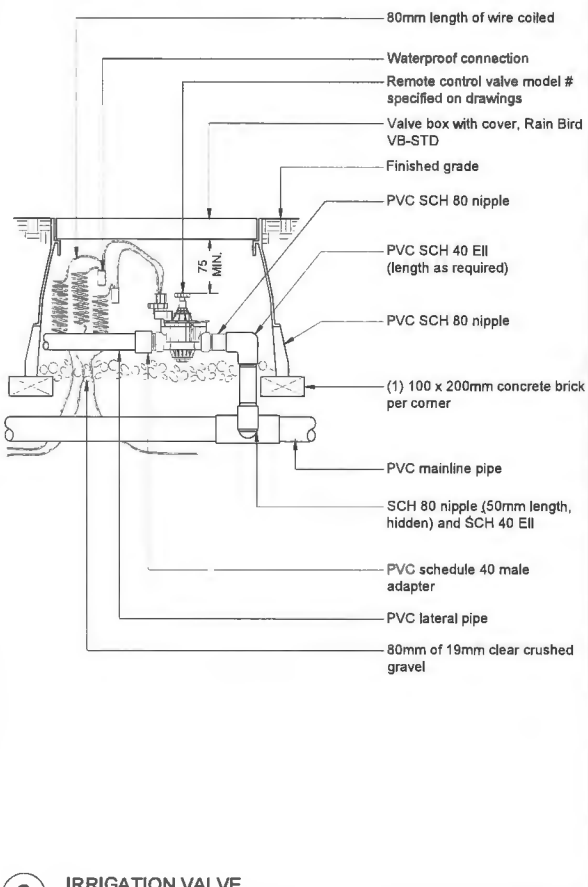
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 Office 2
 Location:
 2788 Jow Street
 Richmond, BC

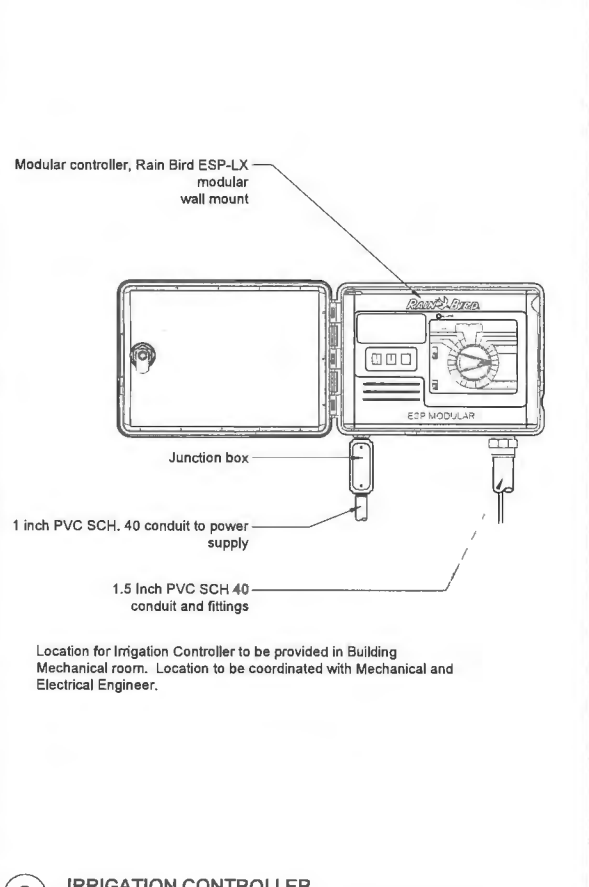
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Checked: MVDZ	
Approved: MVDZ	Original Sheet Size: 24"x36"
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1 IRRIGATION SPRAY HEAD
 N.T.S.



2 IRRIGATION VALVE
 N.T.S.



3 IRRIGATION CONTROLLER
 N.T.S.

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Drawing Title: IRRIGATION DETAILS

VDZ Project #: DP2018-29

Drawing #: IR-05

Overall Aerial View



DP 18-829207
May 7, 2024
Reference Plan



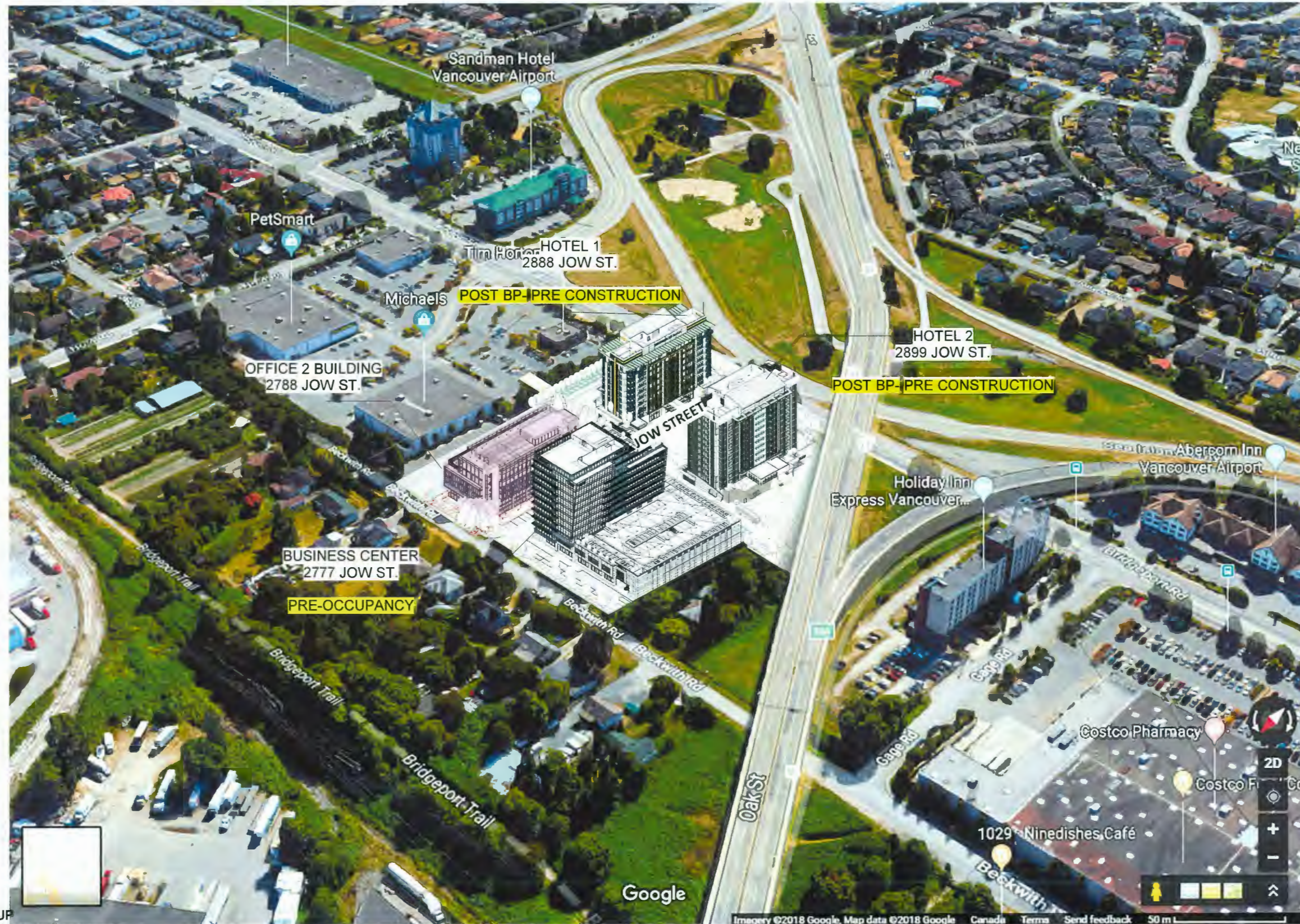
IBI GROUP
ARCHITECTS (CANADA) INC.
700 - 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A0.02

Project Location in the Neighbourhood



DP 18-829207
May 7, 2024
Reference Plan



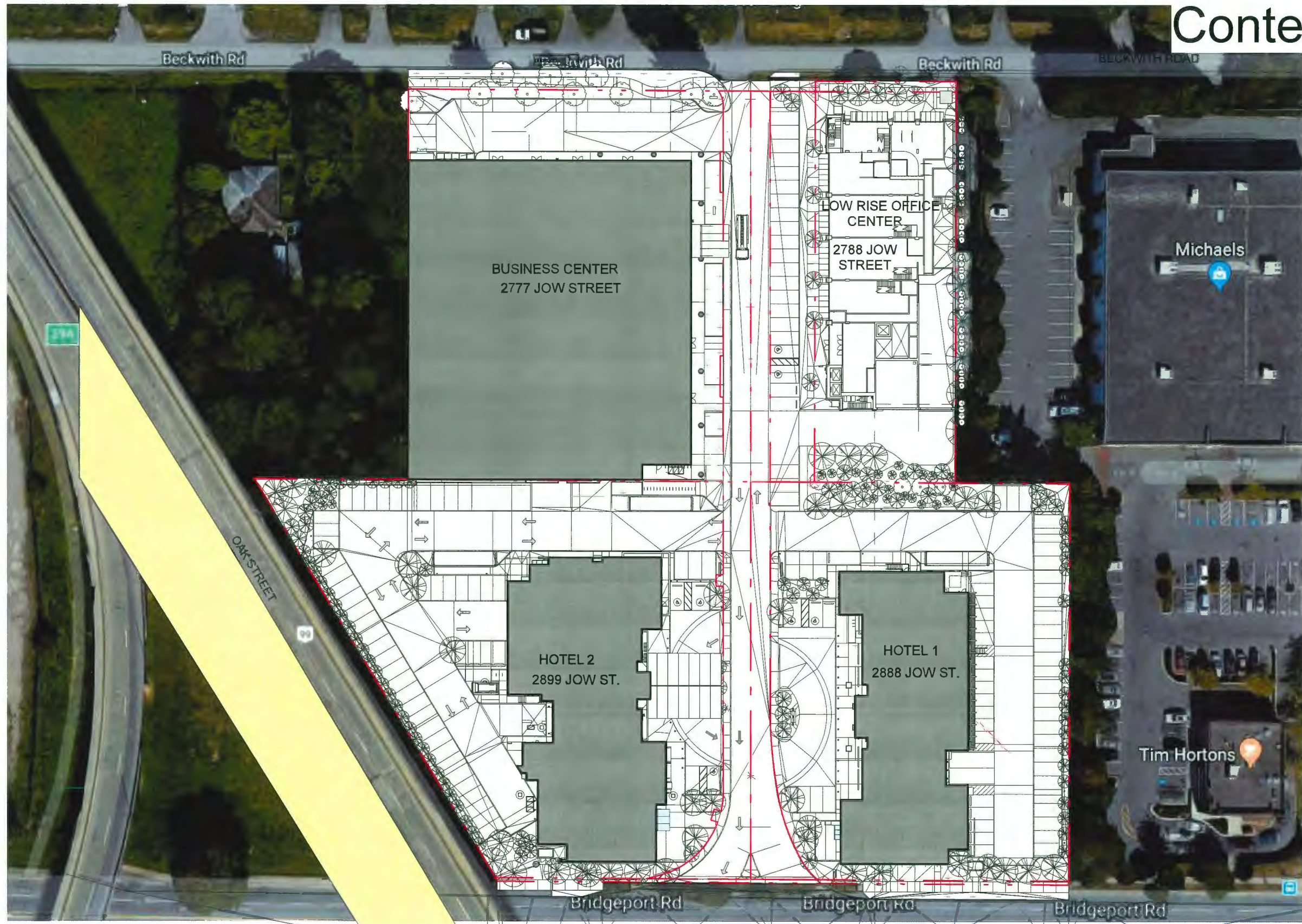
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700 - 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

February 27, 2023

2788 JOW STREET (9520 BECKWITH ROAD)

A0.14

Context Plan



DP 18-829207
May 7, 2024
Reference Plan



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ARCHITECTS (CANADA) INC.
700 - 1285 West Pender Street
Vancouver BC V6E 4B1 Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

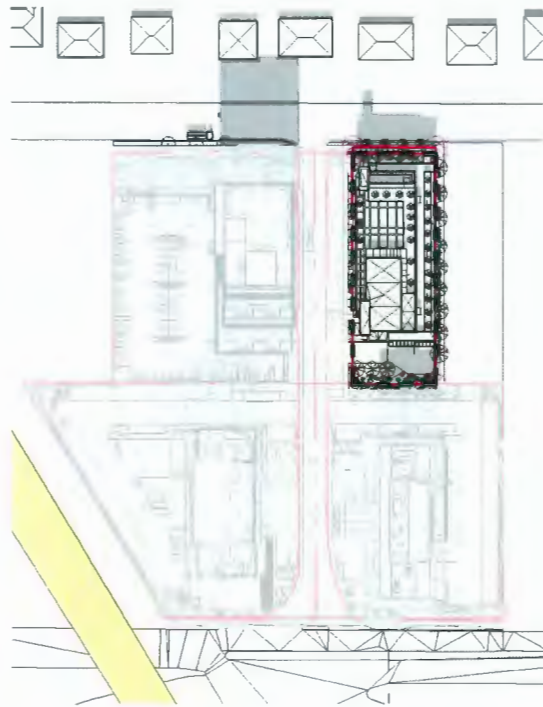


February 27, 2023

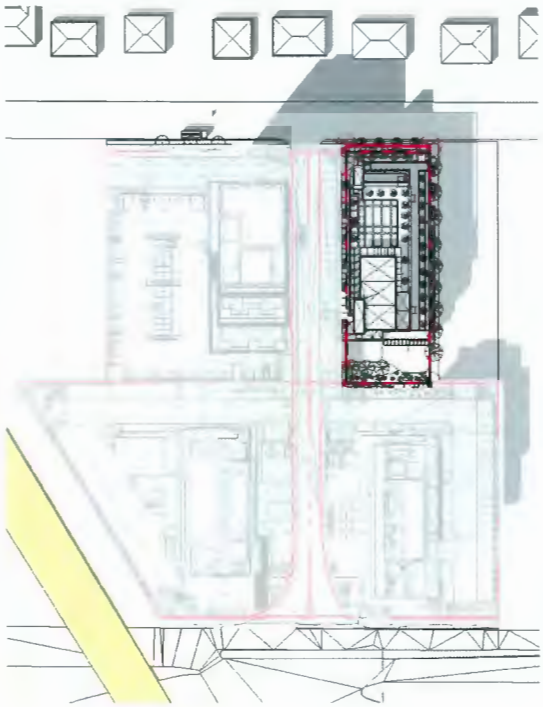
2788 JOW STREET (9520 BECKWITH ROAD)

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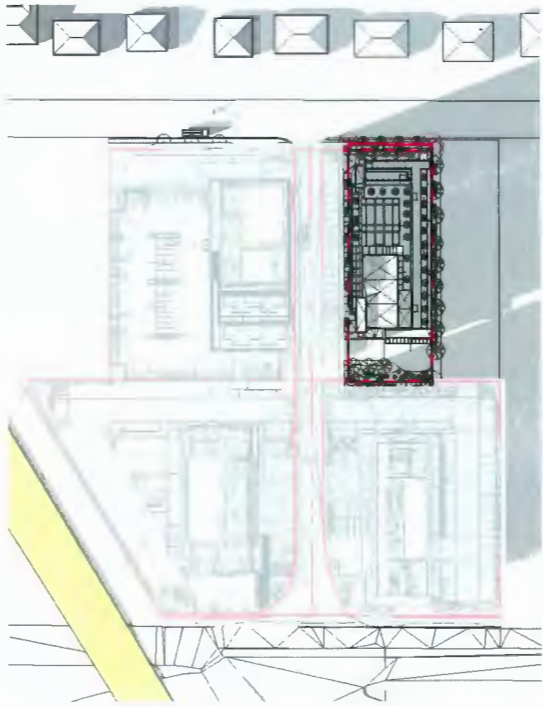
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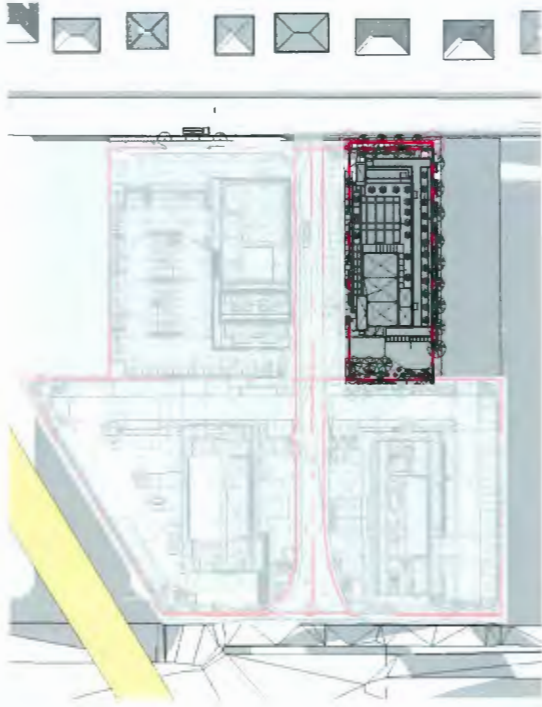
MARCH 21
@ 10am



MARCH 21
@ 12pm



MARCH 21
@ 2pm



MARCH 21
@ 4pm

DP 18-829207
May 7, 2024
Reference Plan

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ARCHITECTS (CANADA) INC.
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Vancouver BC V6E 4B1 Canada
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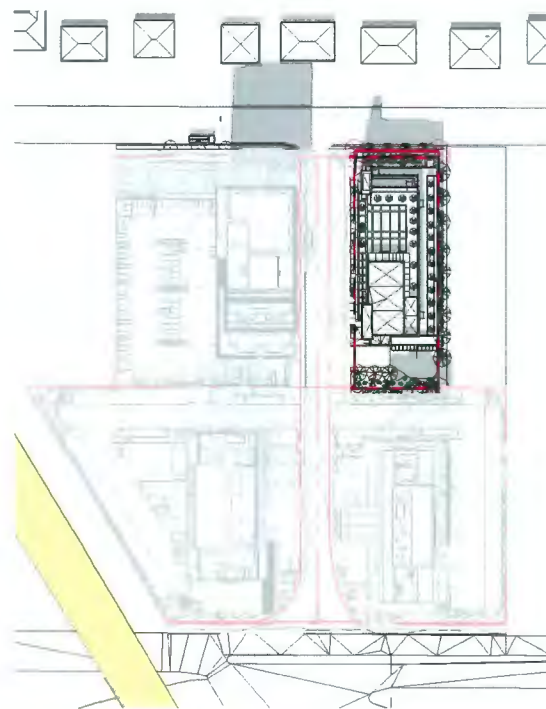


February 27, 2023

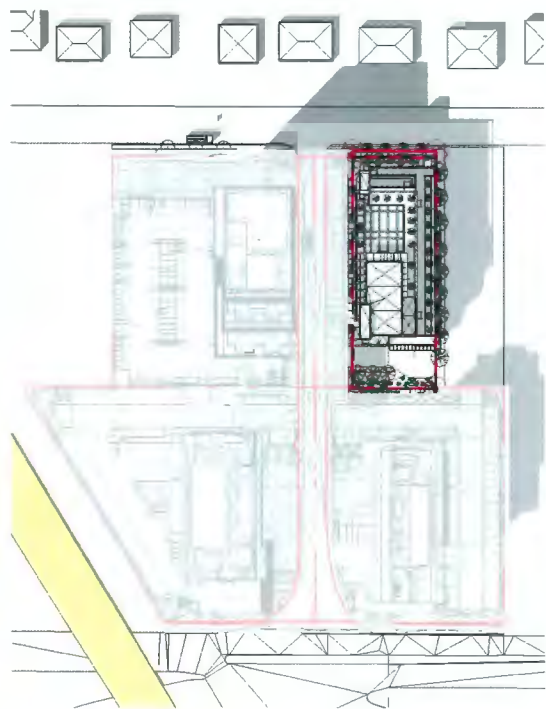
2788 JOW STREET (9520 BECKWITH ROAD)

A0.11

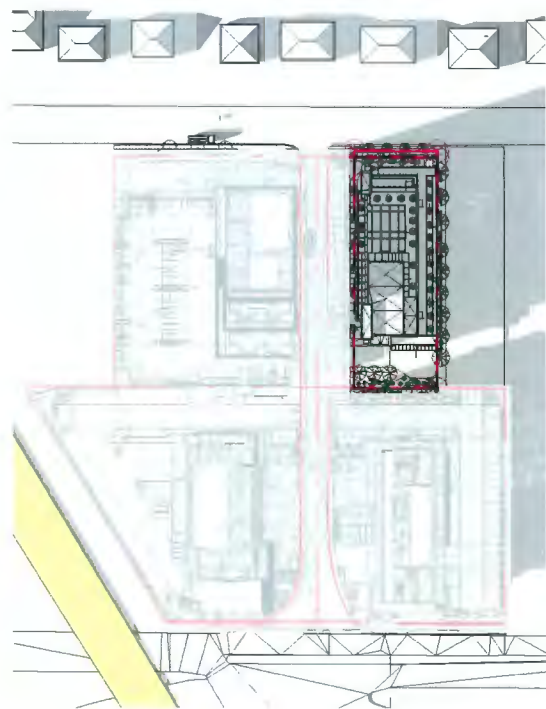
Shadow Study



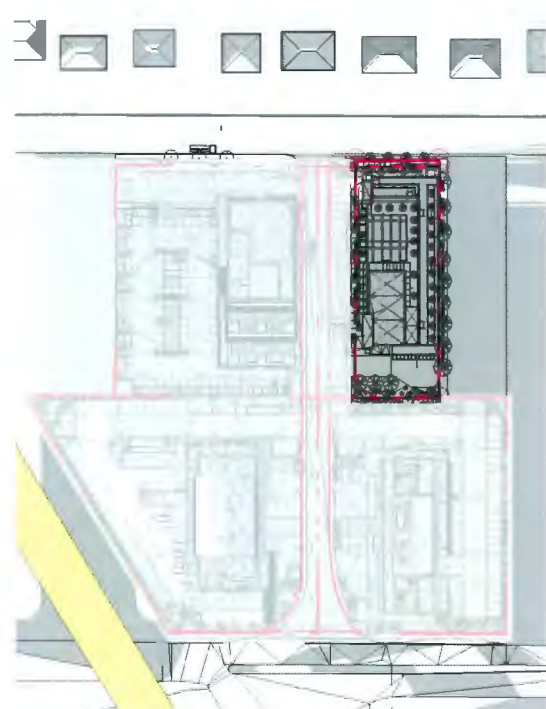
SEPTEMBER 22
@ 10am



SEPTEMBER 22
@ 12pm



SEPTEMBER 22
@ 2pm



SEPTEMBER 22
@ 4pm



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2788 JOW STREET (9520 BECKWITH ROAD)

DP 18-829207
May 7, 2024
Reference Plan

A0.12

South-West View



DP 18-829207
May 7, 2024
Reference Plan



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A2.06

North-West View



DP 18-829207
May 7, 2024
Reference Plan



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.07

South-East View



DP 18-829207
May 7, 2024
Reference Plan



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.08

Aerial View South-West



DP 18-829207
May 7, 2024
Reference Plan



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.10

Aerial from South-West



DP 18-829207
May 7, 2024
Reference Plan



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.11

Aerial View North-East



DP 18-829207
May 7, 2024
Reference Plan



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2788 JOW STREET (9520 BECKWITH ROAD)

A2.12