



## Development Permit Panel

Council Chambers, City Hall  
6911 No. 3 Road

Wednesday, May 29, 2019  
3:30 p.m.

### MINUTES

*Motion to adopt the minutes of the Development Permit Panel meeting held on May 15, 2019.*



1. **DEVELOPMENT PERMIT 17-776441**  
(REDMS No. 6148359)

APPLICANT: Bismark Consulting Ltd.

PROPERTY LOCATION: 7000/7002, 7020 Williams Road and 10060 Gilbert Road

#### Director's Recommendations

*That a Development Permit be issued which would:*

- 1. permit the construction of 15 townhouse units with two secondary suites at 7000/7002, 7020 Williams Road & 10060 Gilbert Road on a site zoned "Medium Density Townhouses (RTM3)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Gilbert Road from 6.0 m to 4.5 m.*



2. **DEVELOPMENT PERMIT 17-768248**  
(REDMS No. 6157036 v. 3)

APPLICANT: GBL Architects

PROPERTY LOCATION: 6551 No. 3 Road

**Director's Recommendations**

*That a Development Permit be issued which would:*

1. *permit the development of a two-phase, high rise, mixed use development at 6551 No. 3 Road and the construction of the development's first phase including the removal and replacement of part of the existing CF Richmond Centre shopping mall with a combination of mall- and street-oriented commercial uses, 1,166 dwellings (including 79 affordable housing units), and new streets and public open space on a site zoned "Downtown Commercial (CDT1)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *reduce the minimum permitted front yard setbacks for Phase 1:*
    - (i) *for balconies adjacent to the Minoru Boulevard/Murdoch Avenue corner from 2.0 m to 1.2 m at Levels 3 to 14;*
    - (ii) *for towers adjacent to the proposed City street at the site's south edge from 3.0 m to 2.0 m at Level 1 and from 3.0 m to 0.5 m at Levels 2 to 14; and*
    - (iii) *for parking located below finished grade from 3.0 m to 0.0 m along the site's Minoru Boulevard frontage and the proposed City street at the site's south edge.*
  - (d) *reduce the minimum parking requirements inclusive of transportation demand management parking reductions:*
    - (i) *for Phase 1, for affordable housing residents from 64 spaces to 30 spaces; and*
    - (ii) *for Phase 2, for affordable housing residents from 0.81 spaces per unit to 0.375 spaces per unit and market rental housing residents from 0.72 spaces per unit to 0.6 spaces per unit.*
3. **New Business**
4. **Date of Next Meeting: June 12, 2019**

**ADJOURNMENT**





**Development Permit Panel  
Wednesday, May 15, 2019**

Time: 3:30 p.m.  
Place: Council Chambers  
Richmond City Hall  
Present: Cecilia Achiam, Chair  
John Irving, Acting General Manager, Engineering and Public Works  
Peter Russell, Senior Manager, Sustainability and District Energy

The meeting was called to order at 3:30 p.m.

**Minutes**

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on April 10, 2019 be adopted.*

**CARRIED**

**1. DEVELOPMENT PERMIT 17-771214**  
(REDMS No. 6043764 v. 4)

APPLICANT: Christopher Bozyk Architects Ltd.

PROPERTY LOCATION: 12580 Vickers Way

**INTENT OF PERMIT:**

1. Permit the construction of a 3,379.9 m<sup>2</sup> (36,382 ft<sup>2</sup>) industrial building at 12580 Vickers Way on a site zoned Industrial Retail (IR1); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - (a) reduce the required number of required parking spaces from 136 to 66;
  - (b) reduce the required number of loading spaces from two medium and one large loading space to two medium loading spaces; and
  - (c) permit car parking spaces for employees to be provided in a tandem arrangement.

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#### **Applicant's Comments**

Christopher Bozyk, Christopher Bozyk Architects Ltd., provided background information on the proposed development and highlighted the following:

- vehicular access to the proposed three-storey furniture retail store will be relocated from Vickers Way to Sweden Way;
- the proposed treatments to the north and south facades of the proposed building are intended to provide visual interest and revitalize the area;
- frontage improvements are proposed along Vickers Way and Sweden Way, including installation and improvement of curbs, sidewalks, boulevards, and road markings to enhance cyclists' safety at the Sweden Way entry/exit driveway; and
- traffic and parking concerns of neighbouring developments have been addressed by the applicant.

In addition, Mr. Bozyk briefed the Panel on the main landscaping features of the project, noting that (i) the proposed landscaping on Vickers Way will upgrade the frontage, (ii) trees will be installed along the east property line, (iii) permeable pavers, trees, and low plantings are proposed on the surface parking area, and (iv) a substantial lawn area is proposed on the southeast corner of the property.

In response to a query from the Panel, Wayne Craig, Director, Development, advised that the extensive lawn area on the southern end of the property was determined by a Kinder Morgan regulation prohibiting the planting of trees on their pipeline statutory-right-way (SRW) area.

Peter Joyce, Bunt & Associates Transportation Planning and Engineering, referenced the applicant's site-specific parking and loading study, noting that (i) the City's Zoning Bylaw parking requirement does not reflect the proposed use of the subject site, (ii) the peak parking demand for the proposed furniture retail store is from 20 to 30 parking spaces, (iii) the applicant is requesting a reduction of the required 136 parking spaces as the proposed 66 spaces is more than adequate, and (iv) the development's potential traffic impact into the area would be modest as the peak traffic generation in the subject site is approximately 20 to 30 vehicles per hour.

In response to queries from the Panel, Mr. Joyce advised that (i) in response to neighbouring developments' traffic concerns and in consultation with City staff, the applicant agreed that ingress and egress to/from the site's driveway would be right-in and right-out only, (ii) left-turn out from the site's driveway is restricted; however, a left turn entry is permitted, and (iii) the applicant's parking study considered existing traffic volume in the subject site and other furniture stores across the region,

Oren Samuel, owner of Paramount Furniture, noted that the proposed furniture retail store is high-end in terms of retail price compared to other low to medium-end furniture stores in the area and as such, potential traffic increase to the subject site is not expected to be significant in the long term.

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In response to a query from the Panel, Mr. Craig acknowledged that the proposed number of parking stalls for the subject development could accommodate the parking needs of other types of furniture stores.

In response to a query from the Panel, Mr. Bozyk noted that a low level entry sign, not a pylon sign, will be installed on the proposed development.

#### **Gallery Comments**

A property owner of 12520 Vickers Way spoke in favour of the proposed development, noting that (i) the proposed high-end furniture retail store will revitalize the neighbourhood, (ii) Vickers Way needs improvements in terms of paving treatment and provision of sidewalks to enhance pedestrian circulation in the area, and (iii) an early approval of the subject development permit application would be appreciated.

#### **Correspondence**

Ben and Ingrid Gauer, 12660 Bridgeport Road (alternate address: 12651 Vickers Way) (Schedule 1)

In response to the issues raised in the correspondence, Mr. Craig noted that (i) the applicant had met with the property owners to address their concerns, and (ii) parking on Vickers Way is regulated by the City's Traffic Bylaw and enforced by the Bylaws Department.

In addition, Mr. Craig confirmed that the proposed Sweden Way driveway is limited to right-in and right-out only; however, a left-in entry is permitted.

#### **Staff Comments**

Mr. Craig advised that (i) there is a Servicing Agreement associated with the project for frontage works on Vickers Way and Sweden Way, (ii) the 10 parking spaces in tandem arrangement are subject to a legal agreement restricting their use to employees, (iii) the applicant is providing significant Traffic Demand Management (TDM) measures including one on-site electric vehicle (EV) charging station available for public use, end-of-trip cycling facilities within the building, a \$50,000 cash contribution to the City for a future crosswalk on Sweden Way, and a \$15,000 contribution towards public art.

#### **Panel Discussion**

The Panel expressed support for the project, noting that (i) the project is a welcome addition to the area, (ii) the building facades are well articulated, (iii) positive improvements are proposed on Vicker's Way, and (iii) neighbours' concerns regarding site access have been addressed by the applicant.

#### **Panel Decision**

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It was moved and seconded

*That a Development Permit be issued which would:*

1. *Permit the construction of a 3,379.9 m<sup>2</sup> (36,382 ft<sup>2</sup>) industrial building at 12580 Vickers Way on a site zoned Industrial Retail (IR1); and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *Reduce the required number of required parking spaces from 136 to 66;*
  - (b) *Reduce the required number of loading spaces from two medium and one large loading space to two medium loading spaces; and*
  - (c) *Permit car parking spaces for employees to be provided in a tandem arrangement.*

**CARRIED**

**2. DEVELOPMENT PERMIT 17-778295**

(REDMS No. 6164058)

APPLICANT: Dagneault Planning Consultants Ltd.

PROPERTY LOCATION: 7341 and 7351 No. 5 Road

INTENT OF PERMIT:

To issue an Environmentally Sensitive Area (ESA) Development Permit at 7341 and 7351 No. 5 Road, in order to allow a subdivision application for a lot line adjustment.

**Applicant's Comments**

Brian Dagneault, Dagneault Planning Consultants Ltd., introduced the subject development permit application and noted that the intent of the subject application is to re-shape the on-site Environmentally Sensitive Area (ESA) on the subject properties in order to adjust the shared property line between the two properties and create two equal parcels and facilitate the construction of a single-family home on each parcel.

Bruce McTavish and Taisha Mitchell, McTavish Resources and Management Consultants, with the aid of a video presentation (attached to and forming part of these Minutes as Schedule 2) reviewed the results of the ESA environmental inventory and assessment conducted on the site and the applicant's proposed ESA compensation scheme.

In addition, Ms. Mitchell stated that the (i) all existing trees on-site are proposed to be retained and protected, and (ii) a Qualified Environmental Professional (QEP) will monitor ESA enhancements for three years and provide an annual report.

In response to a query from the Panel, Ms. Mitchell acknowledged that as part of the ESA compensation planting, four conifer species and two deciduous trees are proposed to be planted.

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**Gallery Comments**

None.

**Correspondence**

None.

**Panel Decision**

It was moved and seconded

*That an Environmentally Sensitive Area (ESA) Development Permit be issued at 7341 and 7351 No. 5 Road, in order to allow a subdivision application for a lot line adjustment.*

**CARRIED**

**3. DEVELOPMENT PERMIT 17-792077**  
(REDMS No. 6155885)

APPLICANT: Konic Development

PROPERTY LOCATION: 9851, 9891 Steveston Highway and 10931 Southgate Road

**INTENT OF PERMIT:**

1. Permit the construction of 11 townhouses at 9851, 9891 Steveston Highway and 10931 Southgate Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - (a) allow seven resident vehicle parking spaces to be small-sized; and
  - (b) reduce the minimum front yard on Southgate Road and the exterior side yard on Steveston Highway from 6.0 m to 5.0 m.

**Applicant's Comments**

Jiang Zhu, Imperial Architecture, provided background information on the proposed development, and highlighted the following:

- the two three-storey townhouse buildings facing Steveston Highway have been stepped down to two-storeys at the west and east ends to provide an appropriate interface with the single-family neighbourhood;
- a Tudor architectural style is proposed and six different types of unit lay-outs are provided;
- the proposed development includes one convertible unit; and
- the project has been designed to achieve an EnerGuide rating of 82.

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In reply to a query from the Panel, Mr. Zhu reviewed the rationale and history of the proposed building setback variances for the project.

Meredith Mitchell, M2 Landscape Architecture, briefed the Panel on the main landscaping features of the project, noting that protection and retention of two existing trees (one off-site and one on-site), provision of significant on-site pedestrian circulation areas, and accessibility to the site were important considerations in the landscape design for the project.

In addition, Ms. Mitchell further noted that (i) permeable paving treatment is proposed for the internal drive aisle on pedestrian circulation areas and at the drive aisle entry up to the entrance to the outdoor amenity area, (ii) a variety of plant materials are proposed along the Steveston Highway frontage to provide an active street frontage, (iii) there is a significant amount of natural surveillance on-site, (iv) the outdoor amenity area provides active and passive play opportunities, (v) individual rear yard spaces of two-storey rear units are larger due to the proposed reduction in building setback from the south property line, and (vi) the applicant will make a cash-in-lieu contribution to the City's Tree Compensation Fund for replacement trees that cannot be accommodated on-site.

#### **Staff Comments**

Mr. Craig advised that (i) the two proposed variances were identified at rezoning stage and no concerns were noted from the public, (ii) the proposed setback variance along Steveston Highway allows an increase in rear yard spaces of rear units and provides greater separation from single-family units to the north, (iii) the distance between the curb of Steveston Highway and Southgate Road and the building face is between 9.0 to 9.5 meters, (iv) the applicant has submitted an acoustical and thermal report and noise mitigation is factored in the design of the buildings to ensure that they meet Canadian Mortgage and Housing Corporation (CMHC) standards, (v) there will be frontage improvements along both Steveston Highway and Southgate Road through a Servicing Agreement, and (vi) a cash-in-lieu contribution for affordable housing is included in the rezoning considerations for the subject development.

In response to a query from the Panel, Mr. Craig confirmed that a future bicycle lane could be accommodated along the Steveston Highway frontage.

In response to queries from the Panel, Ms. Mitchell acknowledged that (i) the proposed landscaping along the Southgate Road frontage matches the existing single-family character of the neighbourhood, and (ii) the pad mounted transformer (PMT) at the northeast corner is accessible from the internal drive aisle and screened from the street frontage on Southgate Road.

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#### Panel Discussion

In response to queries from the Panel, the design team acknowledged that (i) a solid wood fence provides separation between the subject development and the adjacent property to the northeast, (ii) the PMT at the northeast corner will be screened and set back from the north property line, (iii) an air source heat pump will be provided for each unit and will be screened, and (iv) there is no clear delineation of the paving treatment for pedestrian and vehicular circulation at the site entry on Steveston Highway as the intended main pedestrian access to the site is at the pedestrian entry point off Southgate Road.

#### Gallery Comments

None.

#### Correspondence

None.

#### Panel Discussion

The Panel expressed support for the project, noting that the proposed setback variance along Steveston Highway will benefit the project and the adjacent single-family homes to the north.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would:*

1. *Permit the construction of 11 townhouses at 9851, 9891 Steveston Highway and 10931 Southgate Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *allow seven resident vehicle parking spaces to be small-sized; and*
  - (b) *reduce the minimum front yard on Southgate Road and the exterior side yard on Steveston Highway from 6.0 m to 5.0 m.*

**CARRIED**

#### 4. DEVELOPMENT PERMIT 18-816029, HERITAGE ALTERATION PERMIT 18-840922, ENVIRONMENTALLY SENSITIVE AREA DEVELOPMENT PERMIT 18-840993

(REDMS No. 6151211 v. 6)

APPLICANT: Oval 8 Holdings Ltd. Inc. No. 0805724

PROPERTY LOCATION: A Development Permit (DP) at 6811 Pearson Way, a Heritage

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Alteration Permit (HA) at 6900 River Road, and an Environmentally Sensitive Area (ESA) DP at 6900 River Road and portions of 6899 Pearson Way and 6811 Pearson Way

#### INTENT OF PERMIT:

1. Issue a Development Permit (DP 18-816029) to:
  - (a) permit the construction of 3 residential towers consisting of approximately 459 units at 6811 Pearson Way on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”; and
  - (b) vary the provisions of Richmond Zoning Bylaw 8500 to:
    - (i) waive the requirement for on-site large size loading spaces; and
    - (ii) increase the maximum permitted building projection into the Pearson Way public road setback from 1 m up to 2.5 m for proposed Tower F and G balconies;
2. Issue a Heritage Alteration Permit (HA 18-840992) to permit the construction of an elevated public walkway and installation of heritage interpretative panels at 6900 River Road; and
3. Issue an Environmentally Sensitive Area Development Permit (ESA DP 18-840993) to permit construction of a public walkway and to introduce ecological enhancements at 6900 River Road and portions of 6899 Pearson Way and 6811 Pearson Way.

#### Applicant's Comments

Gwyn Vose, IBI Group Architects Inc., with the aid of a video presentation (attached to and forming part of these Minutes as Schedule 3) provided background information on the proposed development and highlighted the following:

- the three buildings have been arranged to maximize views from the site and create as much open spaces as possible;
- Building H is angled to the side to open up a new public open space to the west;
- the new driveway to the south of Tower F is intended to provide access to loading and garbage for the tower and the entire development and the new driveway to the north provides access to the underground parkade;
- the building massing is controlled by the new flight approach slope determined by the Vancouver Airport Authority (VAA);
- high quality building materials are proposed throughout the development, including dark and light stones, metal panels, and energy efficient glazing with low-e coating;
- vertical bands of stone cladding and glass strips between the balcony rows provide a vertical expression to the proposed towers;



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- one to four-bedroom residential units are proposed in the project;
- the three towers are connected by a low-rise indoor amenity structure and common areas;
- the project has been designed to achieve LEED Silver equivalency and be connected to a District Energy Utility (DEU) system; and
- provision for electric vehicle (EV) charging is proposed for each parking stall in the parkade and a charging infrastructure for the secured bicycle storage areas.

Chris Phillips, PFS Studio, with the aid of a video presentation (attached to and forming part of these Minutes as Schedule 3), noted that (i) the project's open space concept consists of the continuous riverfront, park system and dike trail and a series of open spaces that connect to these, (ii) the Middle Arm experiential walk tells the natural and cultural history of the Middle Arm, (iii) open spaces for the site includes a large public open space, a riverfront natural park, a natural area on Lot 14 and a north-south greenway along the east side, and semi-private courtyards, among others, (iv) there is a strong network of walking and cycling throughout the site, and (v) a wayfinding plan is provided for the site.

In addition, Mr. Phillips reviewed (i) the proposed landscaping for the public open space to the west, (ii) the landscape elements along the riverfront park and proposed improvements which include increase the dike elevation, (iii) the landscaping for the courtyard, (iv) the role of the Gilbert Greenway to the east and proposed landscaping including the construction of an elevated walkway, (v) the heritage landscape and interpretation including the heritage plan for the site and its key components, and (vi) the heritage interpretation panel design.

Keven Goodearle, PGL Environmental Consultants, with the aid of a video presentation (attached to and forming part of these Minutes as Schedule 3), reviewed the boundary for the current ESA within the site established in 2012, noting that three different ESAs had been established through rezoning. Mr. Goodearle clarified that the boardwalk encroachment into the ESA is actually only approximately 200 square meters, as the 516 square meters indicated in the presentation had not been updated.

Mr. Goodearle further noted that (i) mitigation of ESA encroachment and impacts to the site include creation of new ESA over parkade within the Riparian Management Area (RMA) on Lot 17, (ii) a modified natural successional approach will be used to compensate for ESA and RMA impacts, and (iii) the proposed ESA compensation and enhancement scheme will result in a net gain of 726 square meters of ESA.

In addition, Mr. Goodearle reviewed (i) the areas where native planting will be incorporated into the landscaping, (ii) the ESA existing conditions, and (iii) the habitat compensation plan.

#### **Staff Comments**

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Mr. Craig noted that (i) the heritage aspects of the proposal were reviewed and supported by the Richmond Heritage Commission, (ii) the Transportation Demand Management (TDM) measures strategy associated with the project includes three bicycle maintenance areas within the development as well as access to the private Aspac shuttle service, (iii) the project has been designed to achieve aircraft noise standards, and (iv) a five-year ESA enhancement monitoring period is proposed which exceeds the typical three-year period based on the type of planting proposed and the public access into the area.

In response to a query from the Panel, Mr. Craig confirmed that (i) the City-owned child care facility on Lot 13 will be subject to a separate process, and (ii) legal agreements secured to date require the child care facility to be delivered prior to occupancy of the development site.

#### **Gallery Comments**

None.

#### **Correspondence**

None.

#### **Panel Discussion**

The Panel expressed support for the project, noting that (i) the applicant has put a lot of thought and effort into the project, (ii) the dike improvements are an important addition to the island's overall dike system, (iii) controlled access to the greenway and ESA are well done, and (iv) the large public open space area is well designed and a significant addition to the neighbourhood.

#### **Panel Decision**

It was moved and seconded

***1. That a Development Permit (DP 18-816029) be issued, which would:***

- (a) permit construction of 3 residential towers consisting of approximately 459 units at 6811 Pearson Way on a site zoned "High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)"; and***
- (b) vary the provisions of Richmond Zoning Bylaw 8500 to:***
  - (i) waive the requirement for on-site large size loading spaces; and***
  - (ii) increase the maximum permitted building projection into the Pearson Way public road setback from 1 m up to 2.5 m for proposed Tower F and G balconies;***

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2. *That a Heritage Alteration Permit (HA 18-840992) be issued to permit construction of an elevated public walkway and installation of heritage interpretative panels at 6900 River Road; and*
3. *That an Environmentally Sensitive Area Development Permit (ESA DP 18-840993) be issued to permit construction of a public walkway and to introduce ecological enhancements at 6900 River Road and portions of 6899 Pearson Way and 6811 Pearson Way.*

**CARRIED**

**5. DEVELOPMENT PERMIT 18-829286**  
(REDMS No. 6154118 v. 5)

APPLICANT: Oris Developments (Hamilton) Corp.

PROPERTY LOCATION: 23200 Gilley Road

**INTENT OF PERMIT:**

Permit the construction of a four-storey, mixed-use development with a partially below-grade parkade with 2,345 m<sup>2</sup> (25,239 ft<sup>2</sup>) of commercial/retail space and 223 units at 23200 Gilley Road on a site zoned "Residential / Limited Commercial (ZMU35) – Neighbourhood Village Centre (Hamilton)".

**Applicant's Comments**

Dana Westermarck, Oris Consulting Ltd, introduced the project, noting that (i) the proposed development is a continuation of the development across Gilley Road currently under construction, (ii) affordable housing units in a mix of unit types including three-bedroom units are proposed, and (iii) the project's energy and sustainability features include a geo-exchange heating and cooling system and a variable refrigerant flow (VRF) system.

Bryce Rositch, Rositch Hemphill Architects, provided background information on the proposed development and highlighted the following:

- the project is part of a larger development in four parcels;
- the U-shaped and L-shaped buildings provide a street wall along Gilley Road, reduces the impact to the properties to the south, and allows the provision of south-facing landscaped courtyards;
- retail spaces are proposed along Gilley Road, including a large retail space in the east building, which is intended to accommodate a grocery store;
- the proposed north-south mews at mid-block is a continuation of the mews across Gilley Road, and includes surface parking, access to loading area, an outdoor plaza area; and
- the proposed architecture is vibrant and colourful.

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Michael Patterson, P+A Landscape Architecture, briefed the Panel on the main landscaping features of the project, noting that (i) the south-facing courtyards allow good sunlight exposure, (ii) ground floor units facing to the courtyards are provided with generous patios and have direct access to the courtyards, (iii) the courtyards provide play areas, covered barbeque areas, spaces for social gatherings and connectivity to on-site and off-site pedestrian circulation areas, (iv) the mews provide pedestrian connectivity to the pathway along the southern edge of the site and the community centre and elementary school to the east, (v) potential locations have been identified for public art, and (vi) some existing trees will be retained and the number of replacement trees exceeds City requirements.

In addition, Mr. Patterson reviewed the proposed landscaping for the mews, particularly its paving treatment, noting that the mews is intended for shared pedestrian and vehicular use.

In reply to a query from the Panel, Mr. Rositch confirmed that a loading area is provided for the large retail space in Building A.

#### **Staff Comments**

Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for frontage improvements along Gilley Road and Smith Drive as well as linear trail and RMA enhancements within Queens Canal adjacent to the site, (ii) 133 Basic Universal Housing (BUH) units are included in the project, (iii) the applicant has submitted acoustical reports to demonstrate that the project will meet CHMC noise standards, and (iv) 14 affordable housing units are included in the project and a housing agreement for these units have been adopted by Council.

#### **Gallery Comments**

None.

#### **Correspondence**

None.

#### **Panel Discussion**

In response to queries from the Panel, the project's design team noted that (i) an elevated crosswalk will be installed across Smith Drive to provide safe pedestrian connection from the proposed development to Hamilton Community Centre and Hamilton Elementary School, (ii) a median boulevard will be installed along portions of Smith Drive and no vehicular access to the mews from Smith Drive will reduce vehicular circulation and enhance pedestrian safety on Smith Drive, and (iii) level pedestrian access to retail spaces along Gilley Road are limited to the mid-block portion.

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In response to a query from the Panel, Mr. Westermarck reviewed the proposed construction works on Gilley Road and provided a timeline for expected completion of surface works, noting that there will be traffic disruptions during road construction.

In response to further queries from the Panel, Mr. Westermarck noted that (i) the applicant had conducted two neighbourhood information and consultation sessions, (ii) the surface parking stalls on the mews is primarily intended for commercial parking during daytime, (iii) the residential units along the mews are all single level, and (iv) limited business use, e.g. an accountant's office, is allowed in the residential units.

It was noted that delineation between the mews and the public street through installing adequate signage to avoid parking complaints should be done, and staff was directed to take the matter under advisement.

#### Panel Discussion

The Panel expressed support for the project, noting that the project is well thought out and a welcome addition to the area.

In addition, the Chair advised the applicant to be mindful of reported security issues in the area during pre-construction activities.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would permit the construction of a four-storey, mixed-use development with a partially below-grade parkade with 2,345 m<sup>2</sup> (25,239 ft<sup>2</sup>) of commercial/retail space and 223 units at 23200 Gilley Road on a site zoned "Residential / Limited Commercial (ZMU35) – Neighbourhood Village Centre (Hamilton)".*

**CARRIED**

#### 6. Date of Next Meeting: May 29, 2019

#### 7. Adjournment

It was moved and seconded

*That the meeting be adjourned at 5:41 p.m.*

**CARRIED**

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Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, May 15, 2019.

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Cecilia Achiam  
Chair

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Rustico Agawin  
Committee Clerk

## ANCHOR PACIFIC PROPERTIES LTD.

David Weber,  
6911 No. 3 Road  
Richmond, BC V6Y 2C1

May 3, 2019

Dear David Weber,

Re: DP 17-771214 Notice of Application for DP  
12580 Vickers Way, Richmond, BC

We are the owners of 12660 Bridgeport Rd (alternate address: 12651 Vickers Way), Richmond, located directly across the street from the subject property. Due to lack of parking in the neighbourhood, neighbouring tenants park on the Vickers Way road allowance fronting our property. This has been a long-standing irritant and results in severely limited parking for our tenants and is the cause of losing many prospective tenants for our space. We have no problem with the DP 17-771214 and the huge parking relaxation provided there is a covenant registered on 12580 Vickers Way in favour of 12660 Bridgeport Rd. that no occupant or tenant or invitee or customer of 12580 Vickers Way can park on the road allowance fronting 12660 Bridgeport Rd, (alternate address of 12651 Vickers Way), Richmond.

Sincerely,

*Ben Gauer*      *I Jan*

Ben and Ingrid Gauer  
Anchor Pacific Properties Ltd.



16554 77A Ave.  
Surrey, BC  
V4N 0L4  
Canada

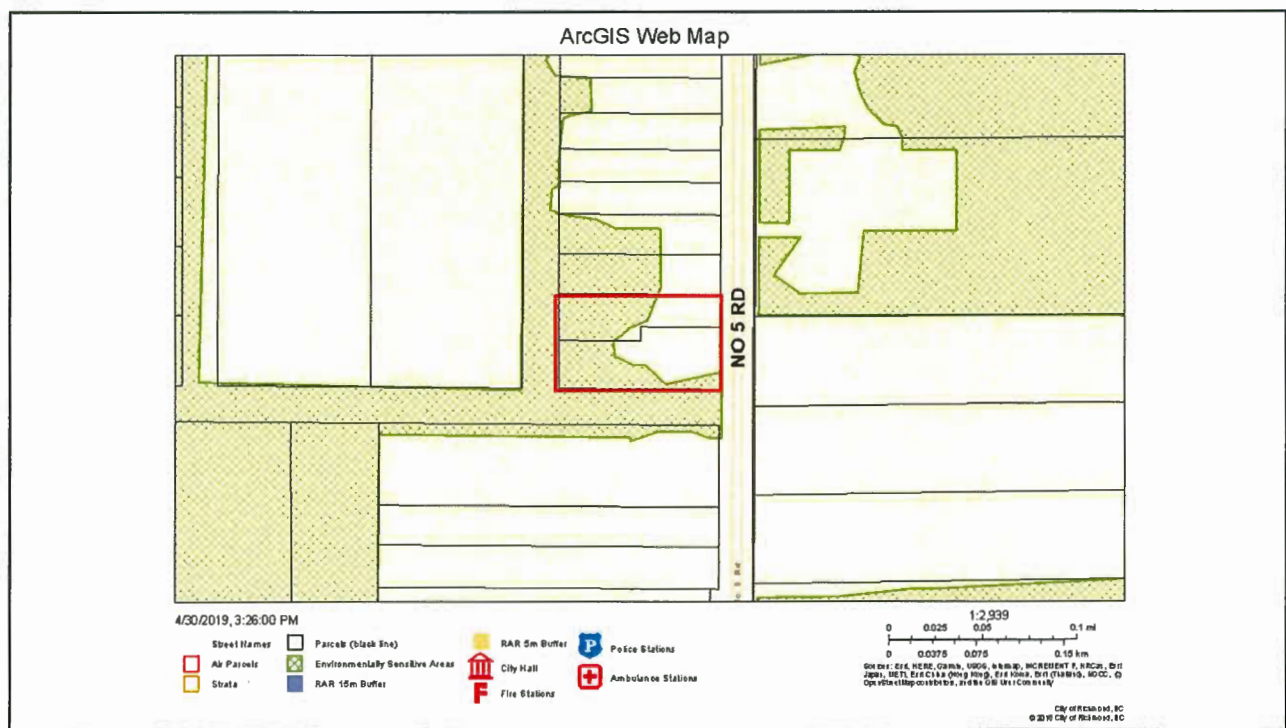
PHONE 604-644-0273  
FAX 604-574-3886  
EMAIL ben@bengauer.com

## Environmentally Sensitive Area (ESA)

- 2596 m<sup>2</sup> (54%) of the study area (7341 & 7351 no 5 Rd) is mapped as ESA
- Designated as Freshwater Wetland
- Site characteristics do align with the Freshwater Wetland designation in part (forested area in historic bog habitat).
- McTavish notes the site vegetation is characteristic of typical conditions described for the Upland Forest designation
  - Description of Upland Forest includes "Birch, red alder, and black cottonwood with lesser amounts of western hemlock and western red cedar"







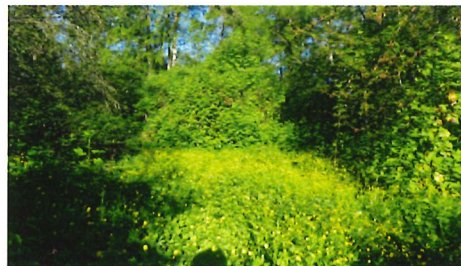
## Vegetation

- **Tree layer:** Birch (decaying) and shore pine
- **Shrub layer:** salal, agricultural blueberry, hardhack
- **Herbaceous layer:** Few herbaceous species.



## Invasive Species

- Blackberry dominates forest/yard interface (~850 m<sup>2</sup> of blackberry on property)
- Some creeping buttercup, lamium and reed canarygrass



## Wildlife

- No large mammals detected
- Provides habitat for birds

## Soils & Hydrology

- Historic bog
- Deep organic soils
- Mapped as Triggs soil series
- Dry within ~80 cm of surface during sampling in March and November of 2016
- Hydrology altered over time due to agricultural and municipal drainage in area
- Cyclical wetting and drying
- No mapped watercourses on or adjacent site
- Agricultural drainage swale to south of property line

## ESA Impact

- ESA will be impacted within 1000 m<sup>2</sup> home plates
- Impact to ESA ~247 m<sup>2</sup> (9.5% of ESA on site)
- ESA will remain contiguous with surrounding ESA
- ESA will continue to support wildlife

Item	Area (m <sup>2</sup> )		
	7341 No 5 Rd	7351 No 5 Rd	Combined
Parcel address			
Parcel size	2,023.00	2,748.00	4,771.00
Current ESA	1,231.95	1,364.50	2,596.45
ESA encroachment	11.00	263.30	247.30
ESA compensation	170.40	255.90	426.30
Final ESA	1,391.35	1,384.10	2,775.45
ESA enhancement (blackberry removal)			850

## ESA Compensation

- ESA encroachment will be compensated for
- Total compensation ~426 m<sup>2</sup>
- **Net gain in ESA (+179 m<sup>2</sup>)**
- Invasive species will be removed with a focus on Himalayan blackberry (creeping buttercup and Reedcanary grass also on site)
- Any felled or failed trees to be bucked into manageable lengths and remain within the forested ESA area as coarse woody debris (CWD). In travelled or high use areas, CWD will be slashed to the ground to minimize the potential for injury from suspended logs.

Item	Area (m <sup>2</sup> )		
	7341 No 5 Rd	7351 No 5 Rd	Combined
Parcel address			
Parcel size	2,023.00	2,748.00	4,771.00
Current ESA	1,231.95	1,364.50	2,596.45
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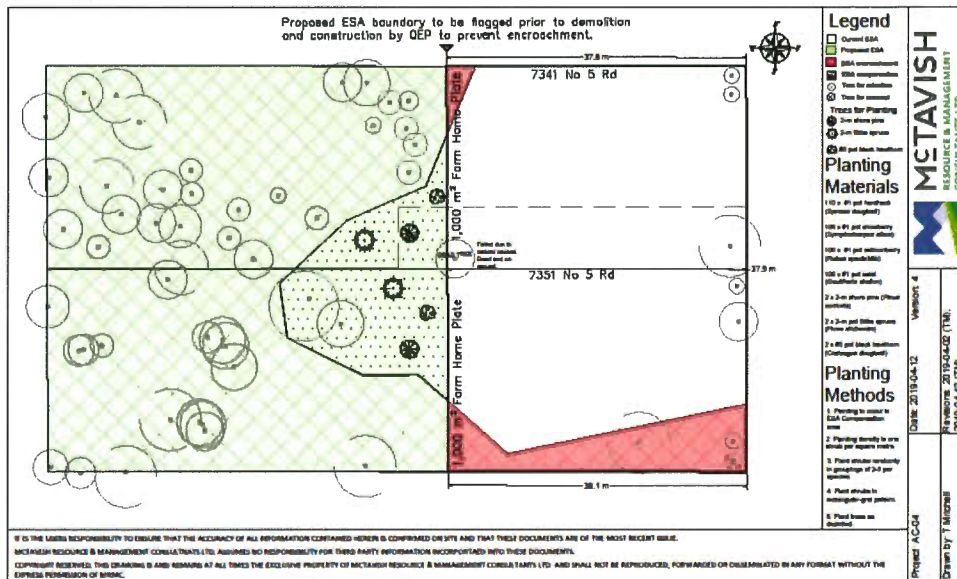
## ESA Compensation

- Total species to plant within ESA compensation area:
  - 6 trees (Sitka spruce/lodge pole pine/black hawthorn)
  - 410 shrubs (snowberry, salmonberry, hardhack, salal)
- ESA to be flagged and inspected prior to demolition and construction





## Site Plan



## ESA Maintenance and Monitoring

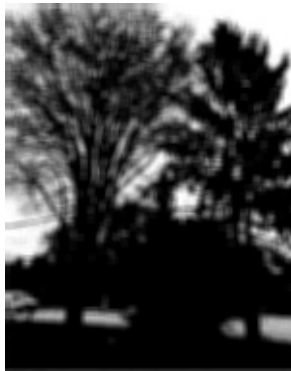
- Maintenance:
  - Occasional weeding and hand watering until establishment
- Monitoring
  - Inspection after substantial completion and following three years
  - Review installation
  - Ensure 80% survival
  - Ensure removal of Himalayan blackberry

## QEP Services

- Delineation of south drainage channel and inspection of ESC Measures
- Flagging of ESA Boundary
- Bird nest survey(s) as required
- Wildlife survey if any species at risk detected

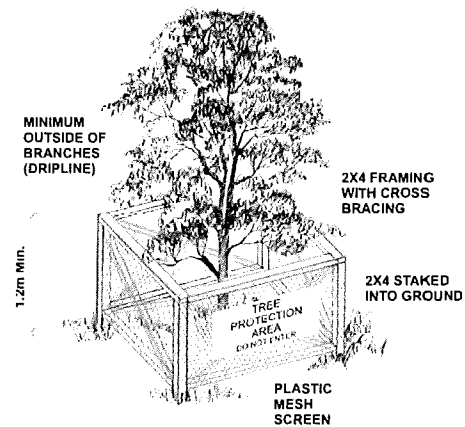
## Trees on site

- 47 trees inventoried on site
- Composed of birch, shore pine, Douglas fir, black cottonwood, cherry
- All trees retained and protected (Including tree has died due to natural causes and has fallen over)

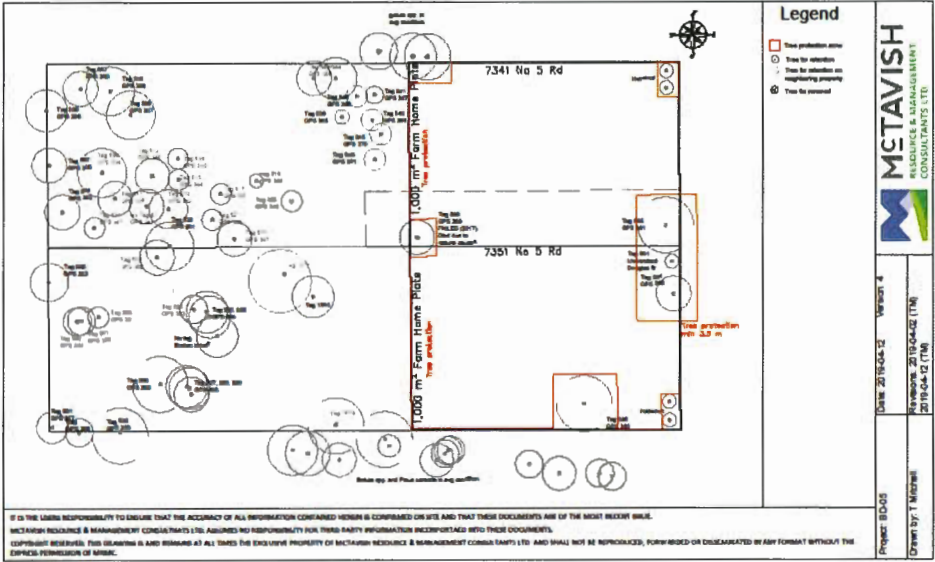


# Tree Protection

- Tree Protection Zone (TPZ) to be established before demolition and construction works and to remain in place until works complete
- TPZ fencing to be installed with signage



# Tree Protection



## Arborist Monitoring

- Regular monitoring during construction
- TPZ monitoring
- Note any deficiencies
- Health and condition of trees
- Any damage
- Recommendations and confirmation of recommended mitigation measures
- Factors that may affect tree health



Schedule 3 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
May 15, 2019.



# River Green Lot 17

## City of Richmond Development Permit Panel

**Oval 8**  
Holdings Ltd.

 **PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

May 15, 2019



# Context Plan

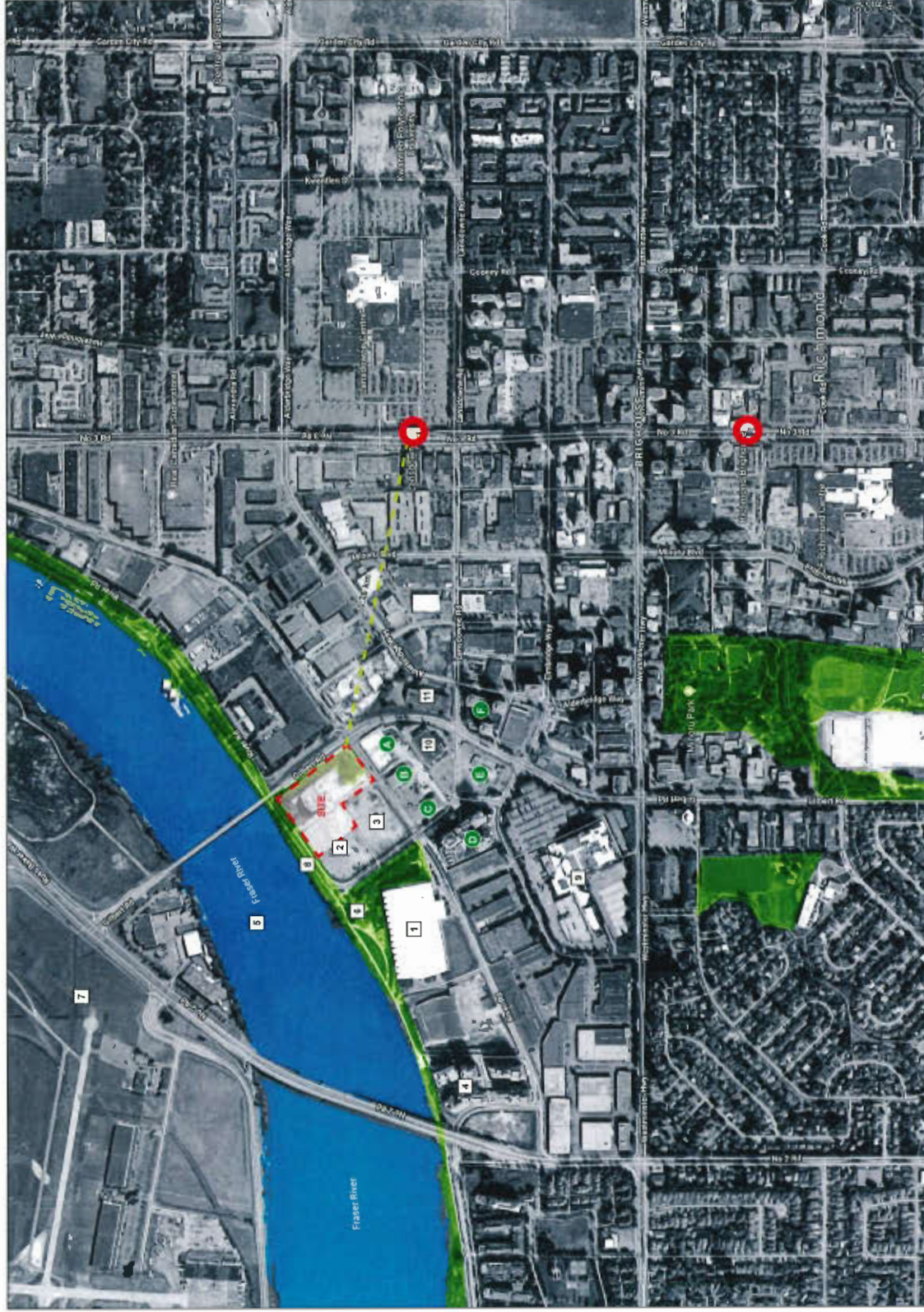
## LEGEND

- 1 Olympic Oval
- 2 River Green Lot 9
- 3 River Green Lot 12
- 4 River Green Lot 2
- 5 Fraser River
- 6 Sales Centre
- 7 Airport
- 8 Water Front Park Space
- 9 WorkSafeBC
- 10 Richmond Curling Club
- 11 RIVA

- A River Park Place 1
- B River Park Place 2
- C River Park Place 3
- D ORA
- E Cadence
- F Ocean Walk



SkyTrain Station





# Bridge to Bridge Site Plan





# River Green Buildings



River Green Lot 12



River Green Parcel 9 – 24-hour Concierge



River Green Parcel 9 – 25-meter Swimming Pool and Whirlpool



River Green Parcel 2



River Green Parcel 9 – Feature stairway



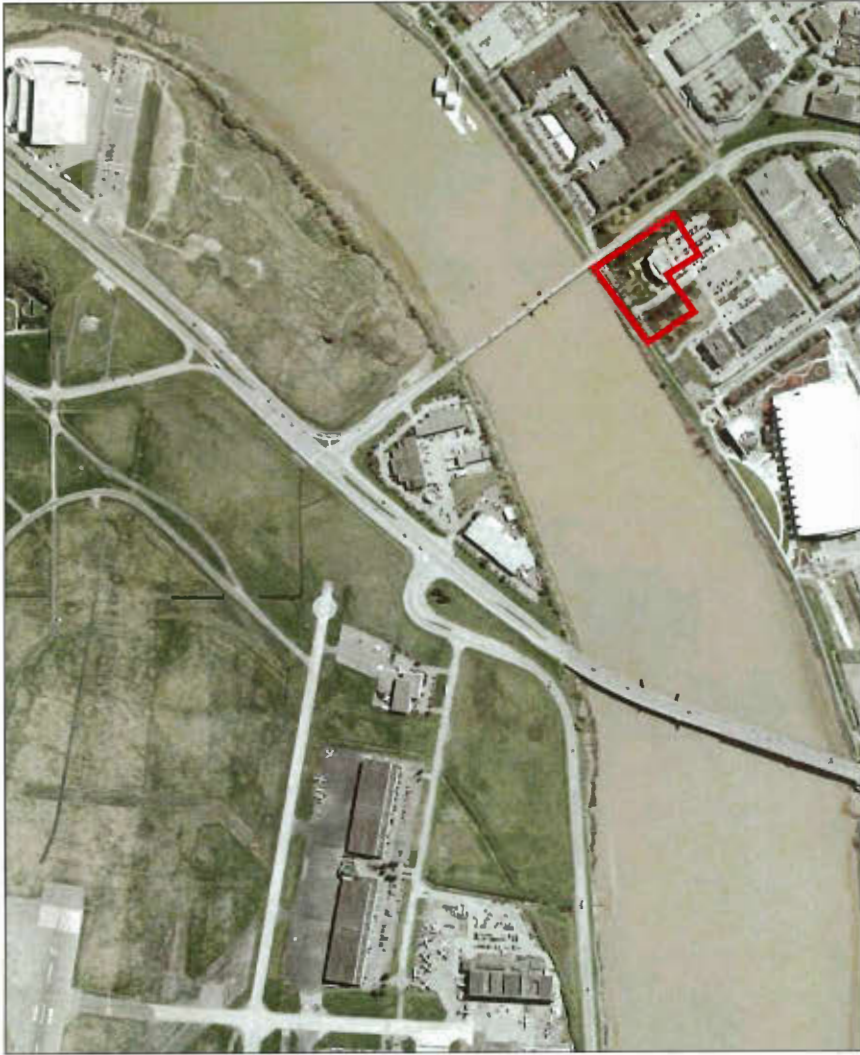
River Green Parcel 9 – Water Gardens



River Green Parcel 9



# Existing Site



Aerial



View of the Site in 1959 (City of Richmond Archives 1994-9-1)



View of the Site in 1981 (City of Richmond Archives 2005-49-2)



Existing Site



**Oval 8**  
Holdings Ltd.



**River Green Lot 17**

City of Richmond Development Permit Panel

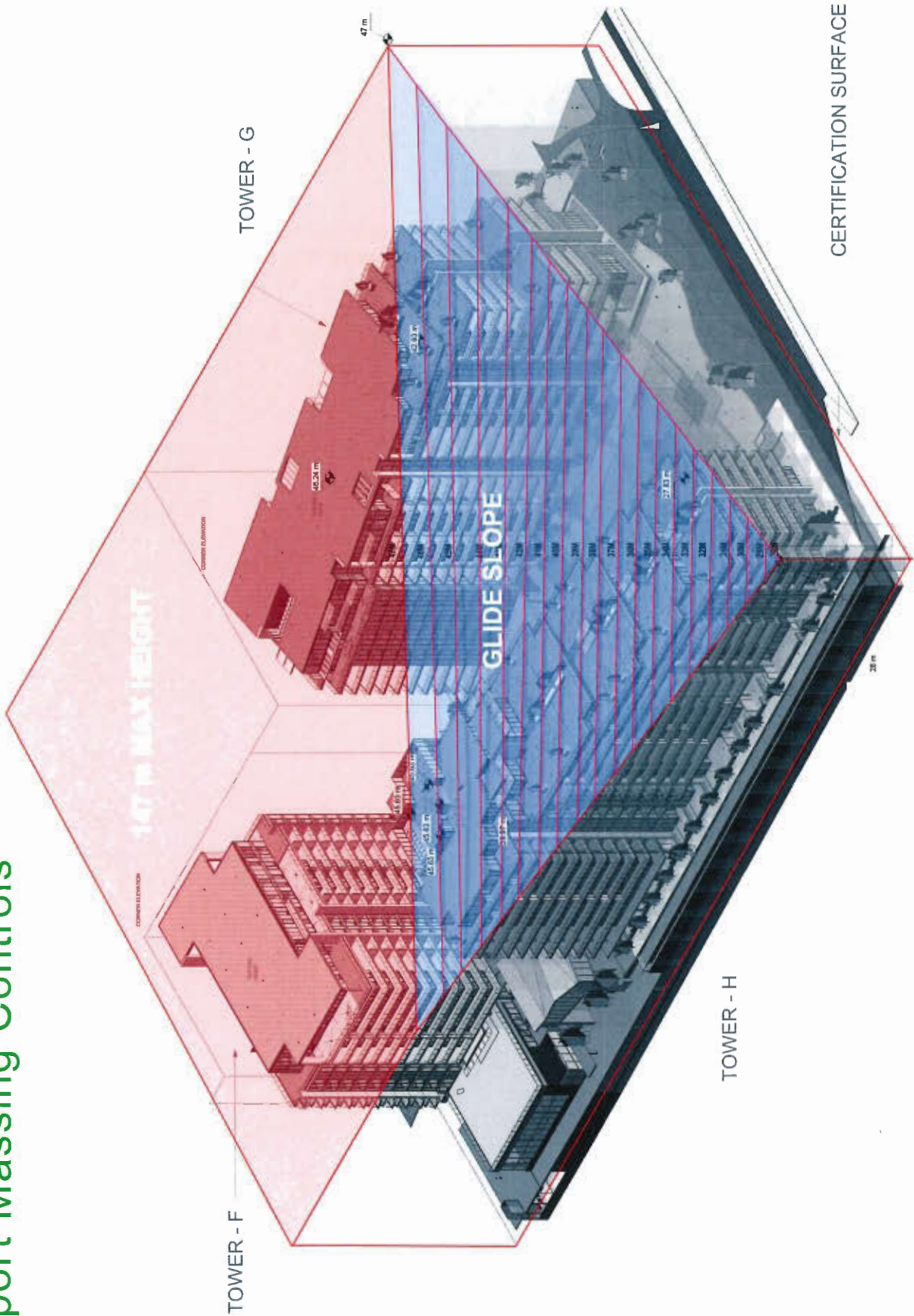
May 15, 2019



# Site Plan

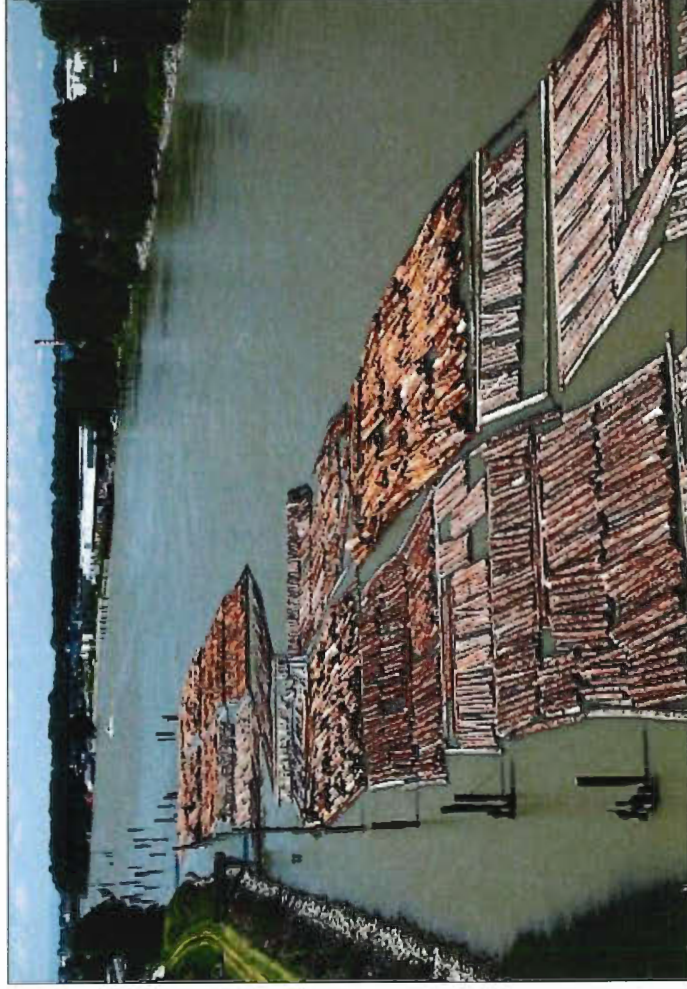


# Airport Massing Controls





# Inspiration



Industrial Heritage



Riparian Environment

# Project Rendering – Aerial Views





Project Rendering – At Grade View From Pearson Way



# Project Rendering – View From Gilbert Road & Bridge





# Project Rendering – View Of Amenity



# Below Grade Parking



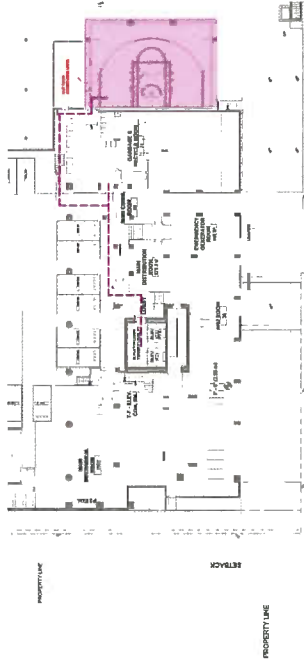


[illegible]

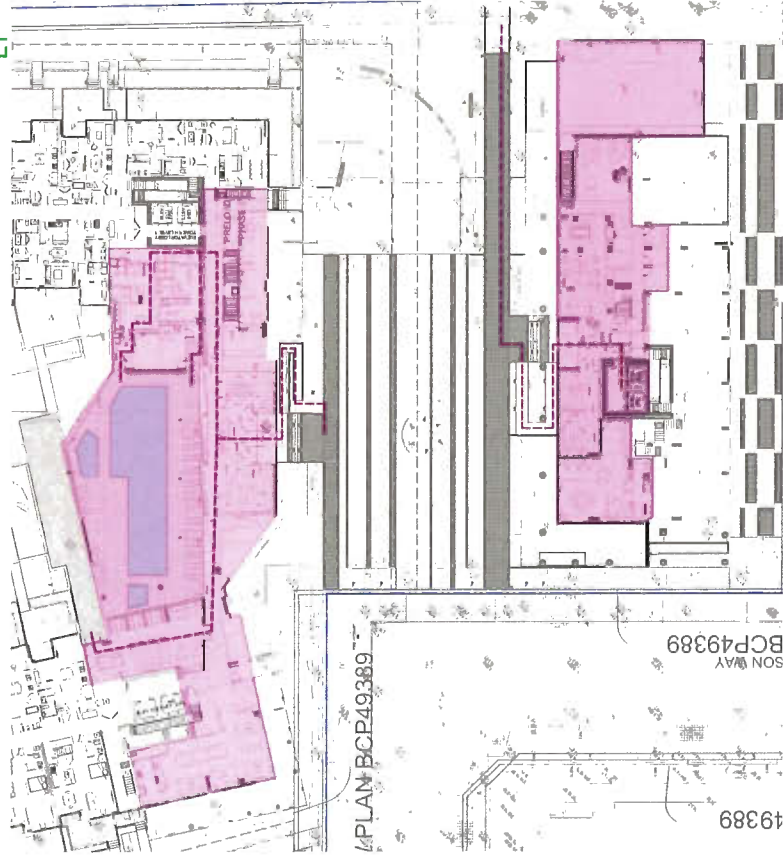
May 15, 2019

# Amenity

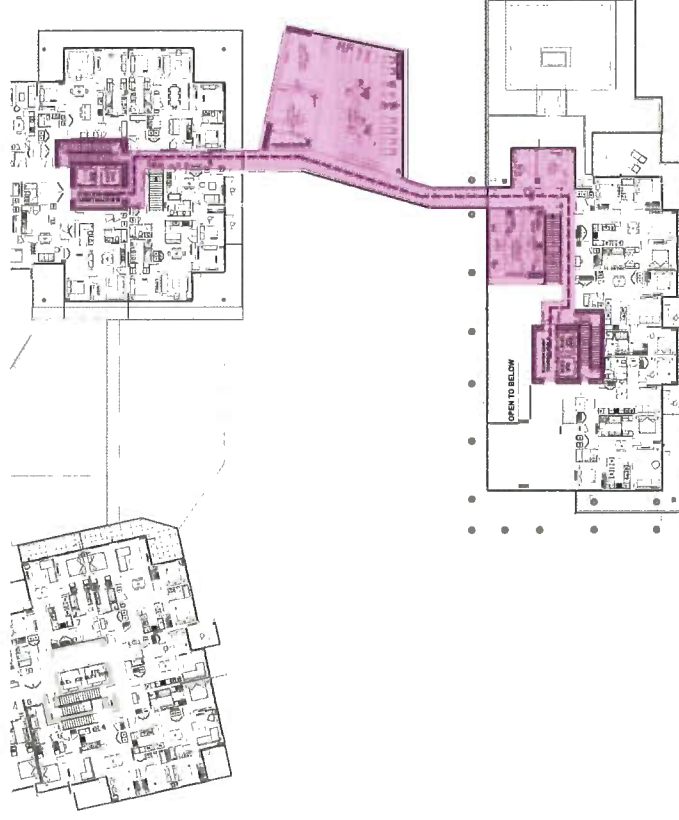
P1



L1



L2



# Plans



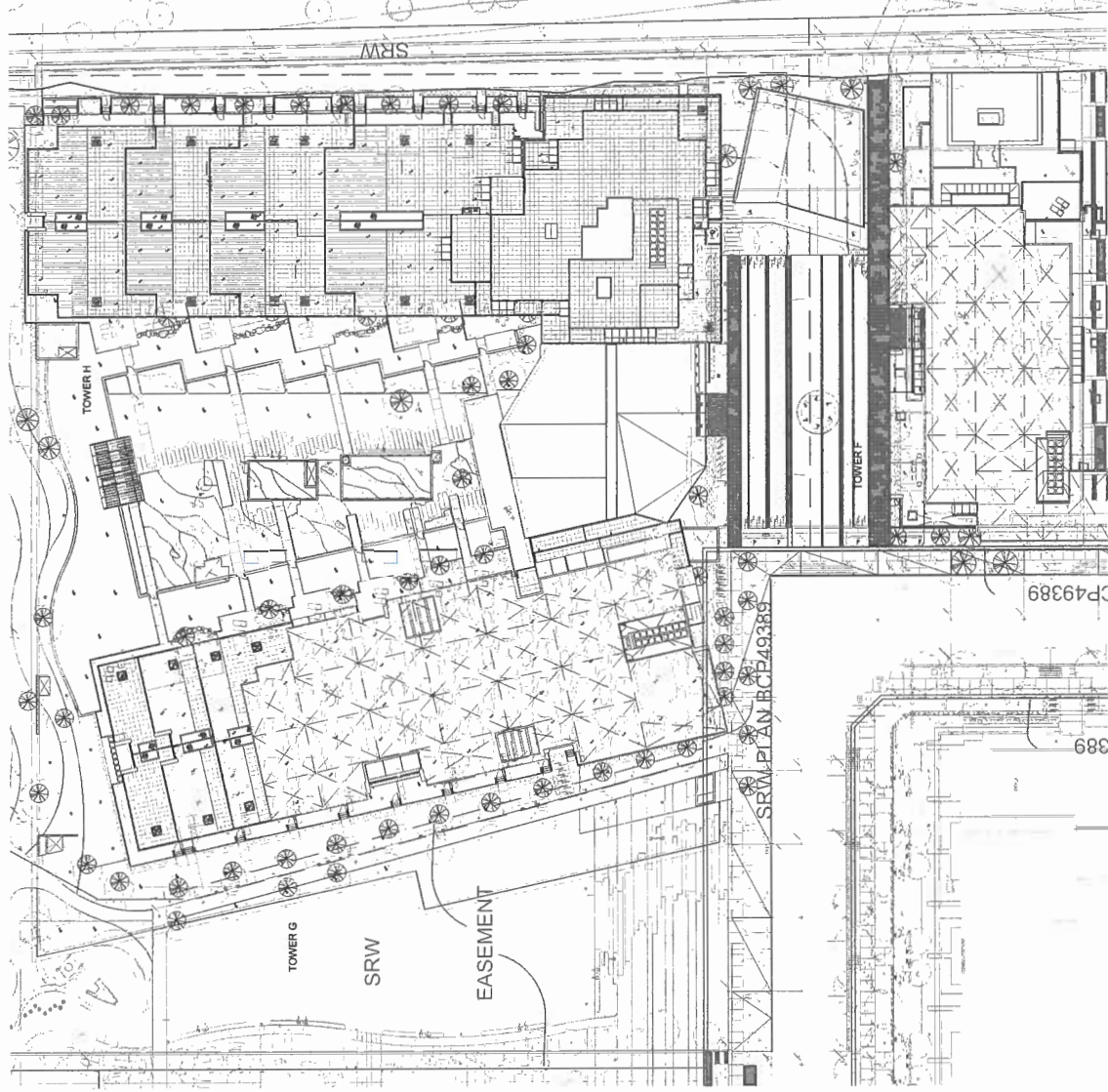
TOWER H



TOWER F

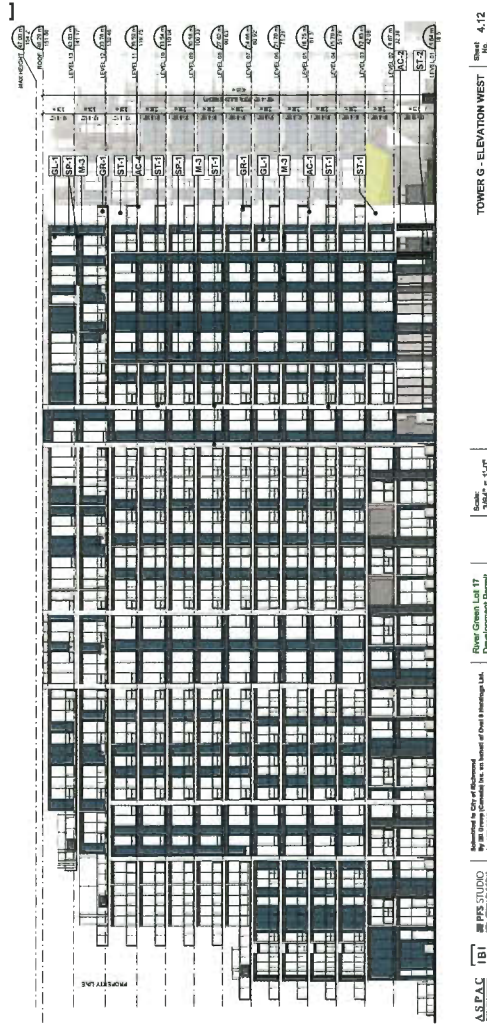
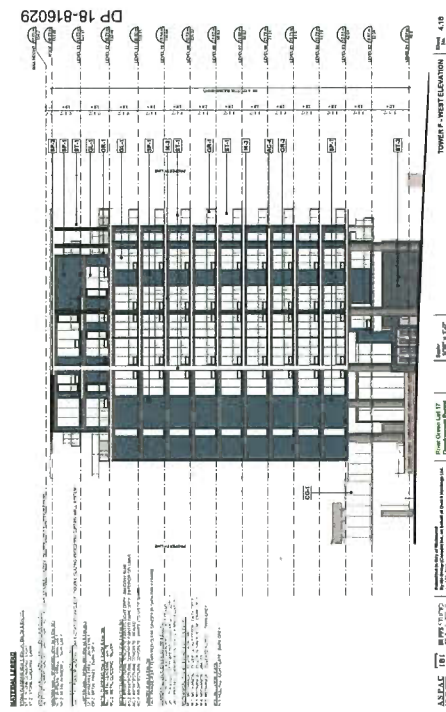
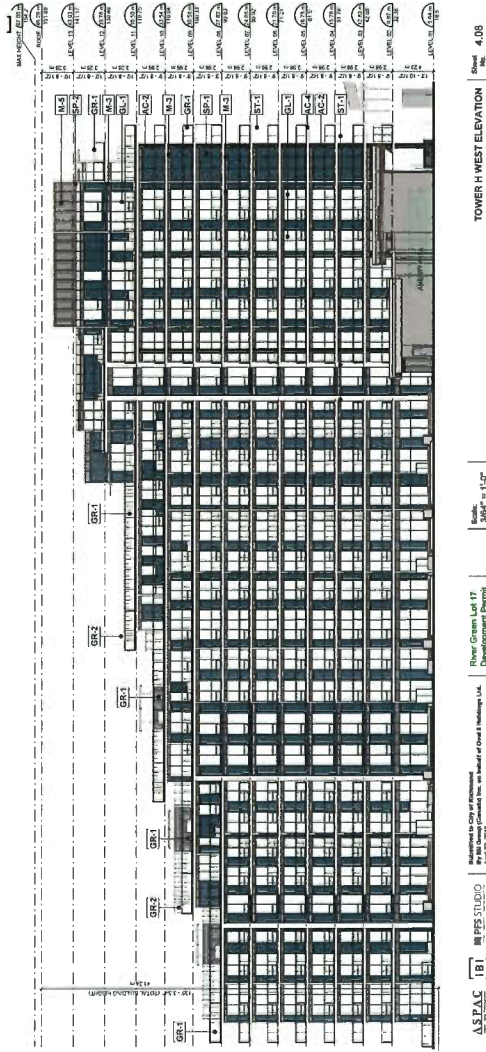
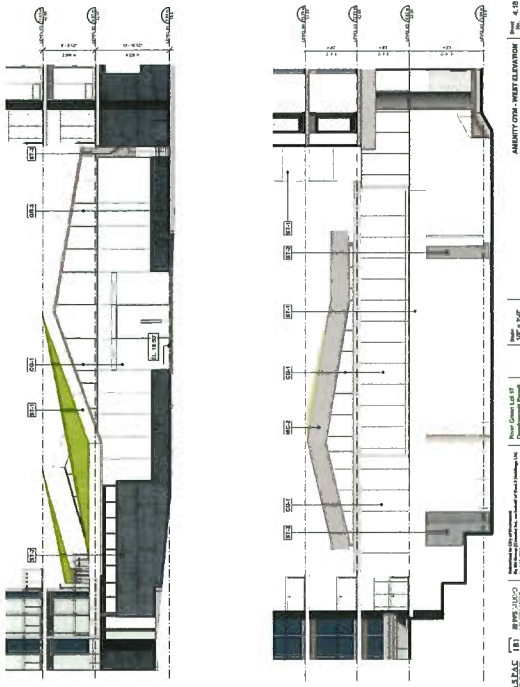


# Roof Plan





# Elevations



# High Quality Materials



RIVER GREEN - LOT 17

AC-2  
CONCRETE (PAINTED DARK)  
BENJAMIN MOORE 2127-30



AC-1  
CONCRETE (PAINTED LIGHT)  
BENJAMIN MOORE 2119-70



ST-2  
STONE DARK



CP-2/SP2  
CHARCOL GREY  
ALUMINUM

MC-2  
METAL CLADDING-SILVER



MC-1  
METAL CLADDING-WHITE



SP-1/CP-1  
SPANDREL GLASS



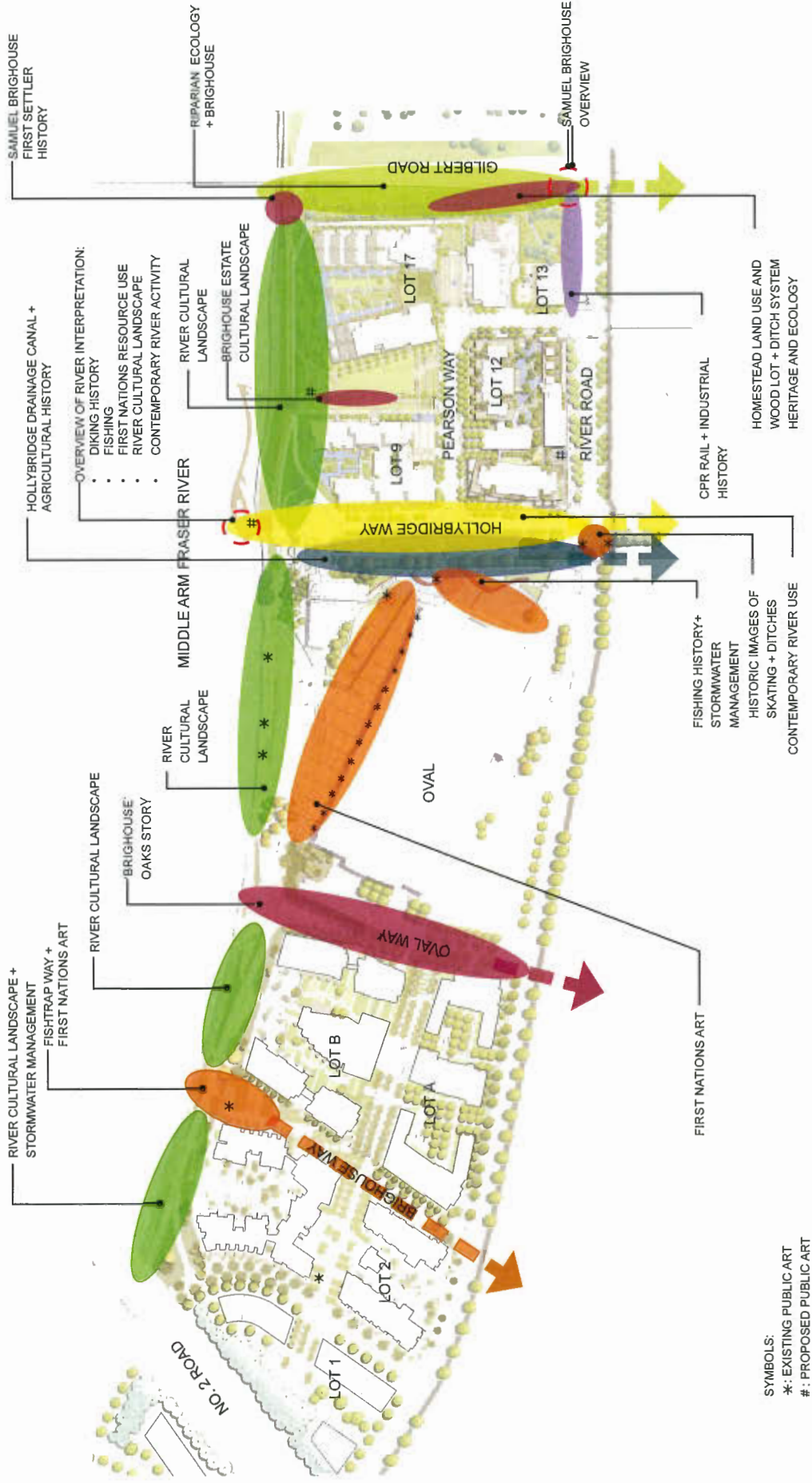
GL-1/CG-1  
CLEAR GLASS WITH LOW-E COATING



# Bridge to Bridge Site Plan



## Context Plan - Middle Arm Experiential Walk





# Site Plan



**Oval 8**  
Holdings Ltd.



**River Green Lot 17**  
City of Richmond Development Permit Panel (DPP)

May 15, 2019

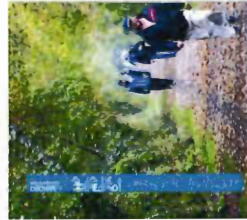
# Zones, Circulation, and Wayfinding

## Wayfinding Signage Locations:

- S1 Boardwalk entry at Gilbert Rd
- S2 Boardwalk entry at River Rd
- S3 Intersection of building F and Lot 14
- S4 Intersection of Lot 17 and Pearson Way
- S5 Intersection of dike and boardwalk

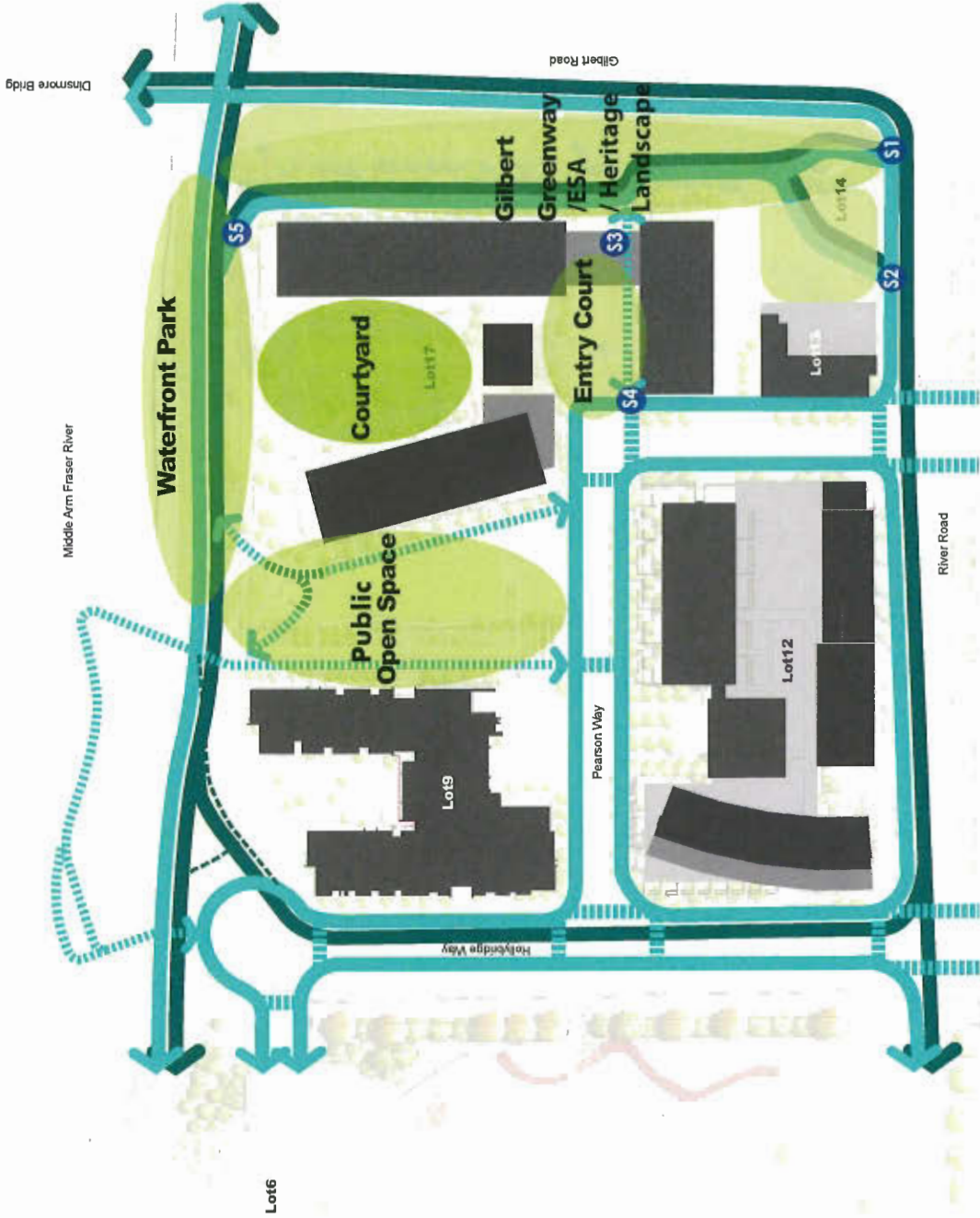


S1 S2 S5



S3 S4

- Primary Public Pedestrian Route
- Secondary Public Pedestrian Crossing
- Minor Public Pedestrian Route
- Public Bicycle Route
- Combined Bicycle & Pedestrian Route
- Barrier-free Path





# Public Open Space





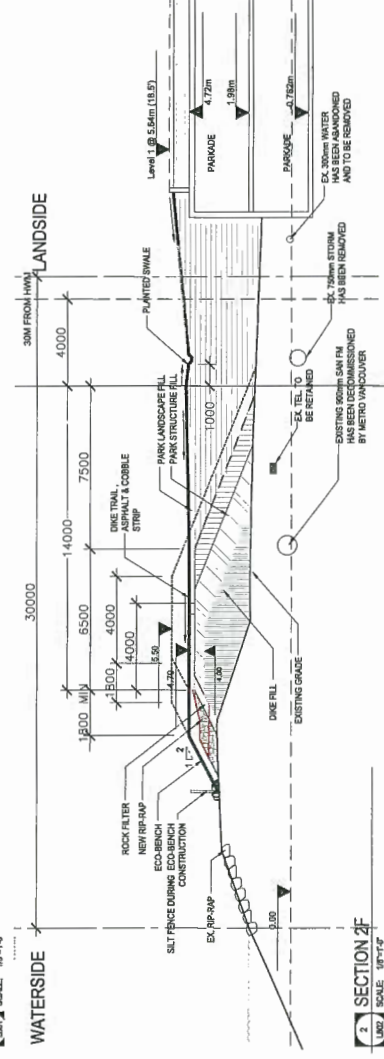
# Waterfront Park







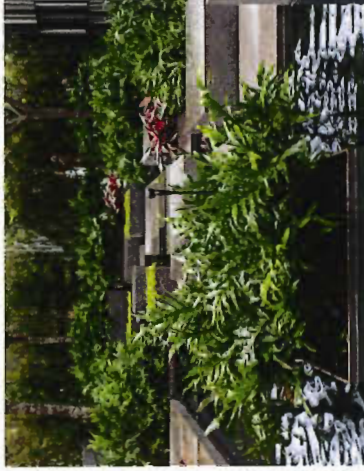
Precedent image - footbridge



# Central Courtyard



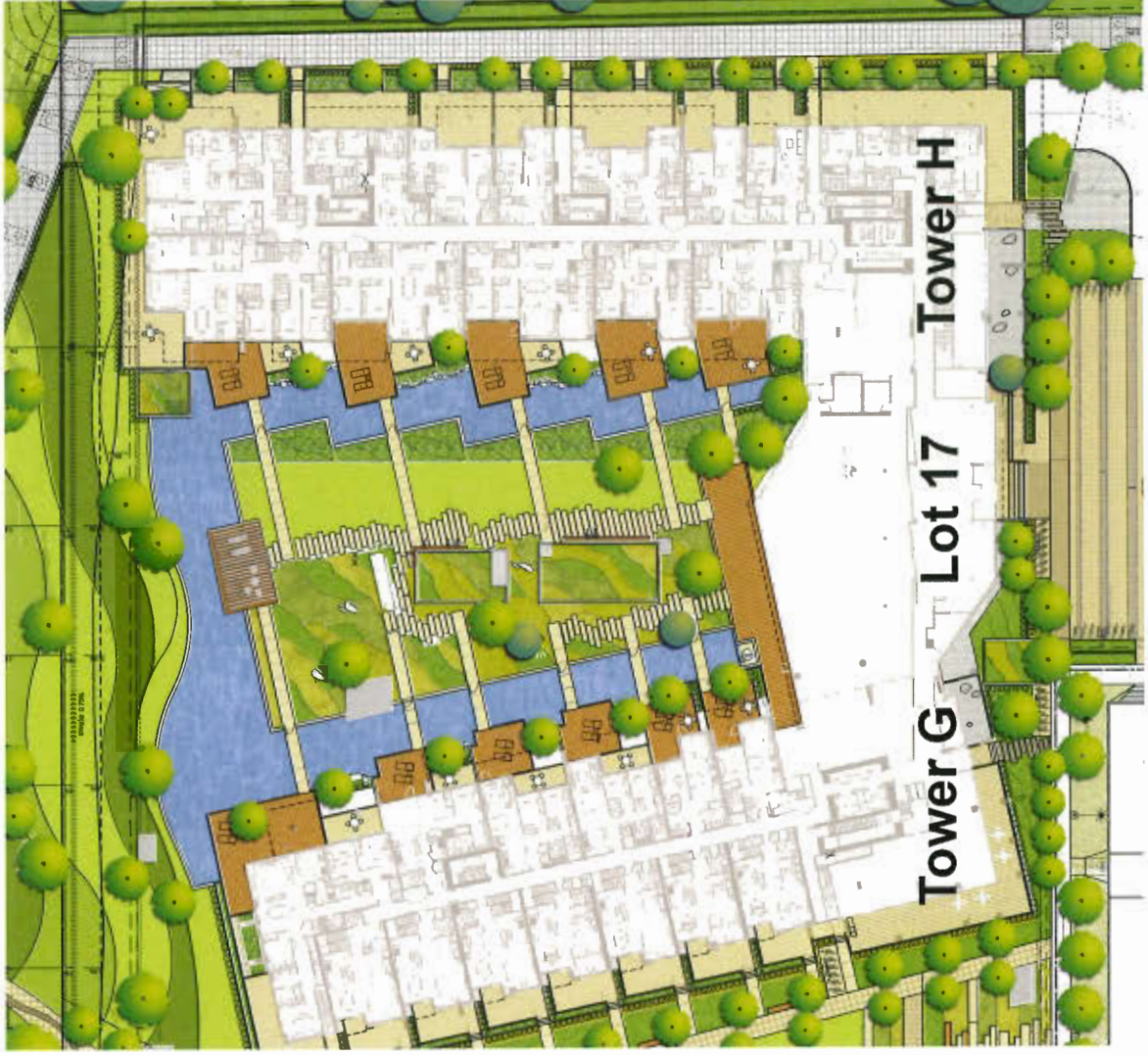
Precedent image - water channel



Precedent image - central planting

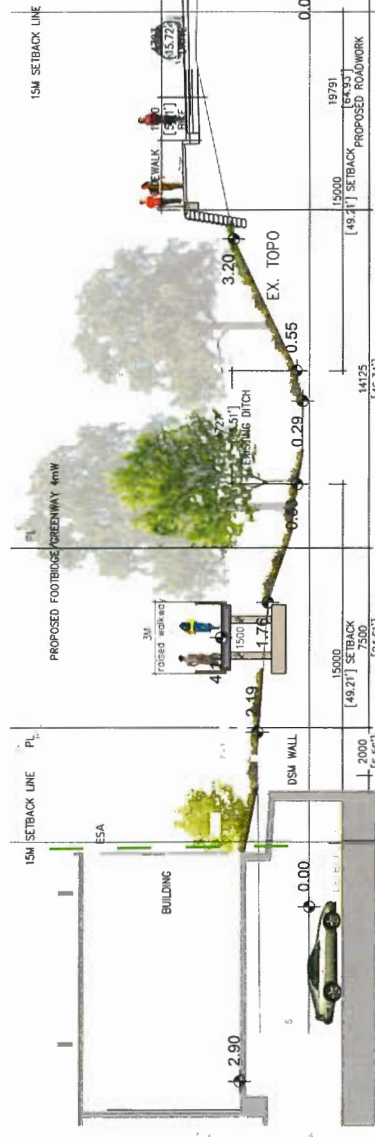


Precedent image - water feature natural edge





FSA area plan



ESA area plan



# Gilbert Greenway/ ESA/ Heritage Landscape



Existing site photo - view from River Road to the ESA



Precedent image - walkway through the woodland



Rendered image - view from River Road sidewalk to the ESA



# Gilbert Greenway/ ESA/ Heritage Landscape



# Heritage Interpretation

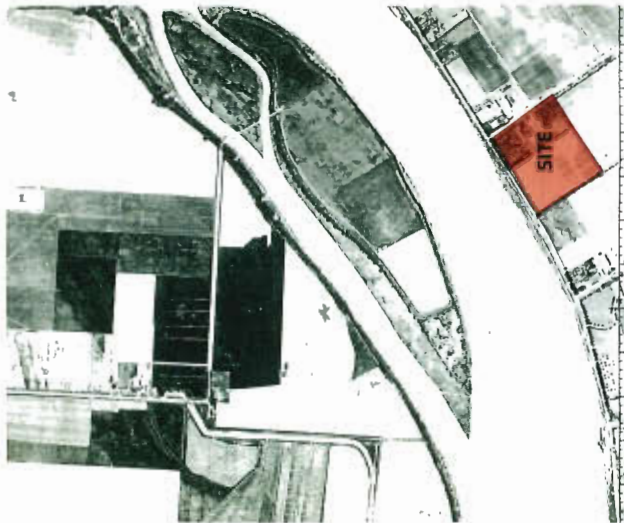
- Brighouse homestead site - 6900 River Road
- Fraser River foreshore and slough complexes
- Canadian Pacific Railway right-of-way
- Dike and ditch system.



The Three Greenhorns: John Morton, William Hailstone and Sam Brighouse (standing)



Samuel Brighouse



River Green Village site on an historic aerial photograph from 1938



River Green Village site on an aerial of the time of the rezoning application in 2009

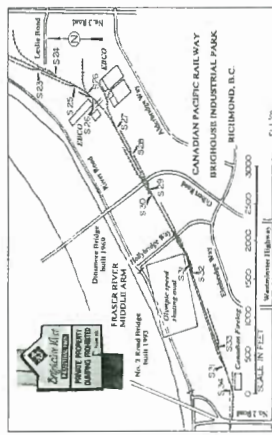


Historic sloughs prior to the Brighouse estate changes on a current aerial photograph



View of the site in 1959 (City of Richmond Archives 1994-9-1)

Map showing the location of the CPR spur that serviced the Brighouse Industrial Park. All track west of Gilbert Road was removed by January 2006, leaving Ebco Industries as the only customer. (Sandhouse: Journal of the CRHA Pacific Coast Division. Map by Eric L. Johnson)



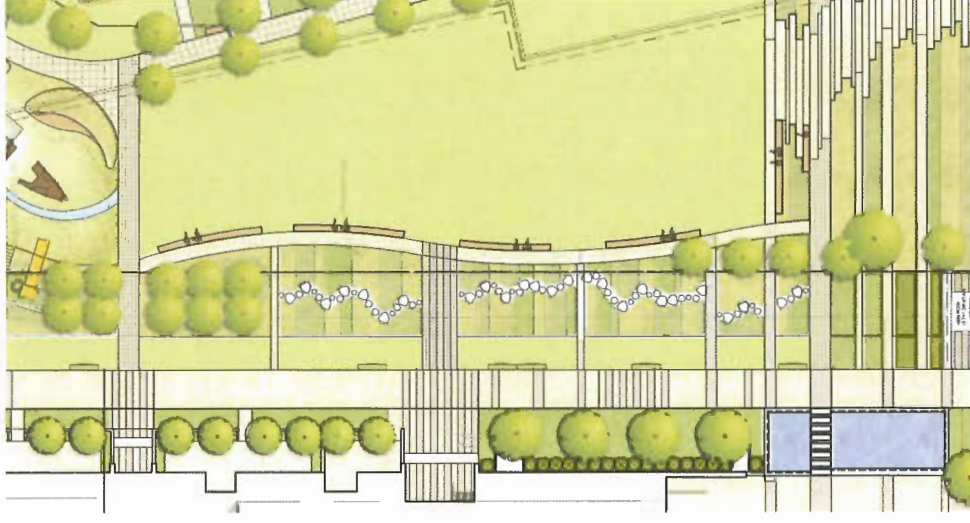


# Heritage Interpretation



# Heritage Interpretation

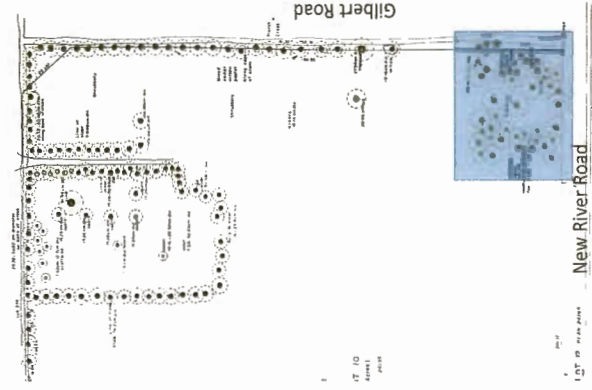
## **B** Location B: Orchard and Agricultural Land Use Pattern



Children's play area plan



Precedent images - Orchard and agricultural land use pattern



Tree survey of the Brighouse estate, 1985, with the woodland highlighted



## Heritage Interpretation Panel Design

**1** Location 1:  
**Large Panel at Corner of Gilbert and River Roads**

Topic:  
**Evolution of the Middle Arm and the Brighthouse Estate**



## Evolution of the Middle Arm and the Brighthouse Estate

For centuries, the lands of the Fraser River delta were low-lying and covered by a network of sloughs used by Indigenous people for transportation and access to resources. With the arrival of European settlers, riverfront lands were raised and diked for agricultural and residential uses. Samuel Brighouse was an early European settler whose land holdings are now the site of the Richmond Oval and adjacent residential development.

Brighouse arrived in British Columbia from England in 1862 at age 26. After a brief trip to the Cariboo in the gold rush, he came to Vancouver and bought 22 hectares of the West End next to Stanley Park with two partners. They were known as the Three Greenhorns.

Two years later, Brighthouse acquired a large homestead in Richmond extending from the Fajon River south to Canale Avenue. He built a local estate typical of those he knew in England with a dairy, agricultural fields and a large house surrounded by hedges, flowerbeds and an orchard near the corner of Gilbert and River Road. He imported several thousand tree seedlings from England, including oaks, that were then cultivated and used along roads and dikes in the area.

In 1980, Brighouse welcomed her sister, Hannah Wilkinson, and her son, Michael, to live in his home. Michael Wilkinson inherited the Brighouse lands in 1913 and the Wilkinson family stayed in the house, leasing land to a number of tenants until 1957 when the property was bought by the City of Richmond to become an industrial park. In 1963 the Crosland Public Railway installed a spur line where River Road is now located to serve this industrial park. The CPE arrived in Richmond in 1962 and was a driving force in the City's development and land use selections for many decades.



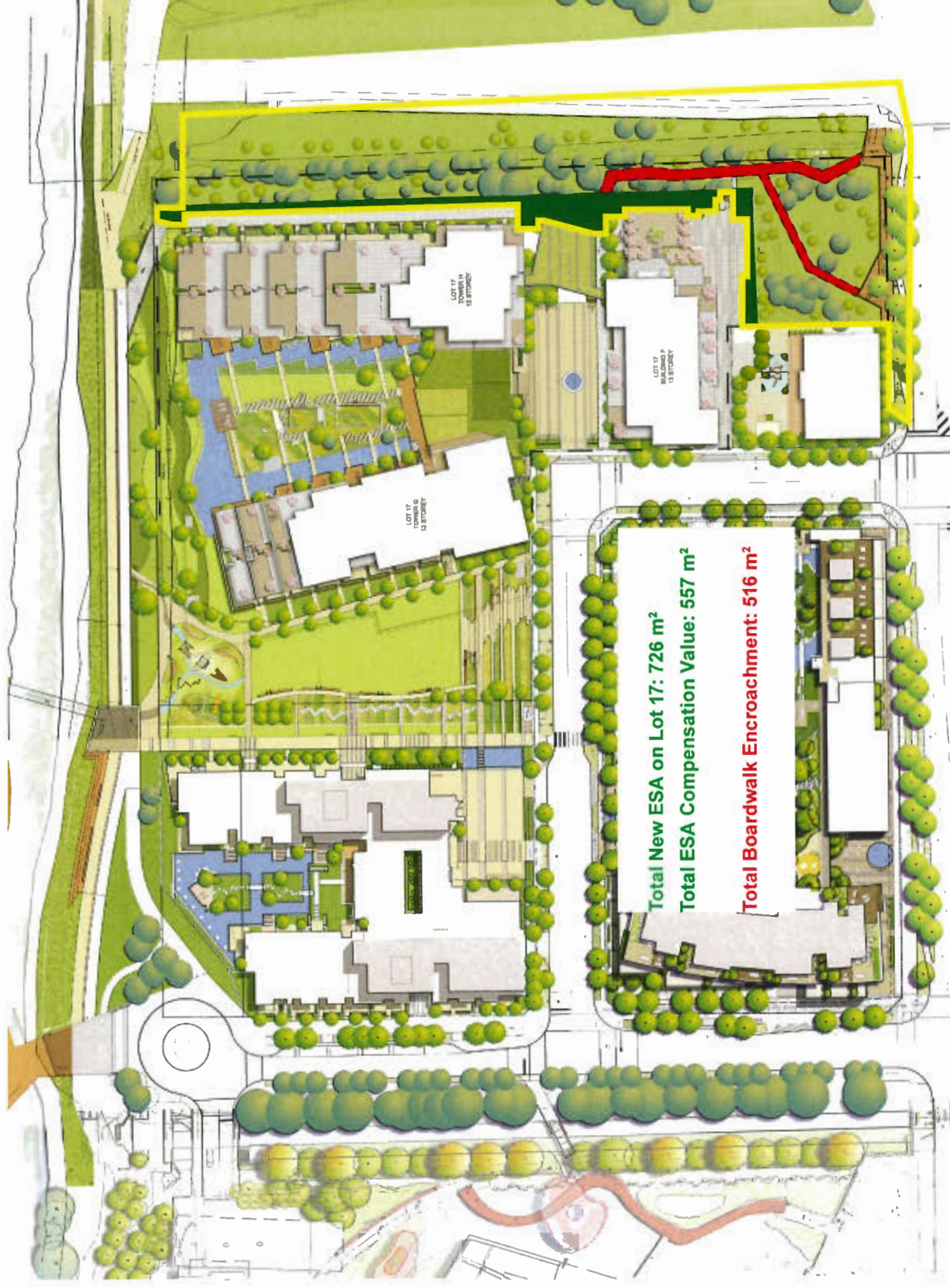
LOCATION 1: 12"X48" PANEL

# 2012 ESA-3 Boundary





# Proposed ESA-3 Habitat Balance





# Lot 17 Native Planting

Native Planting

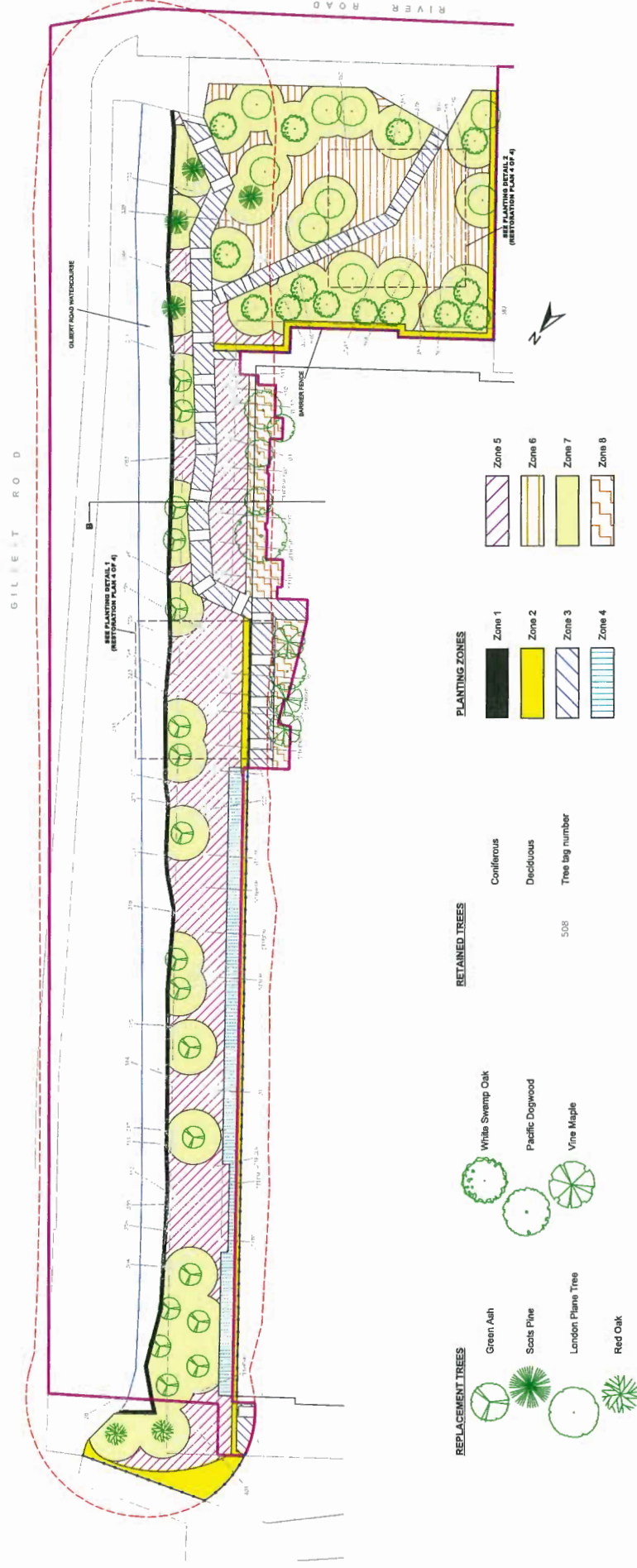




ESA Existing Conditions



# Habitat Restoration Plan







# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** May 8, 2019

**From:** Wayne Craig  
Director of Development

**File:** DP 17-776441

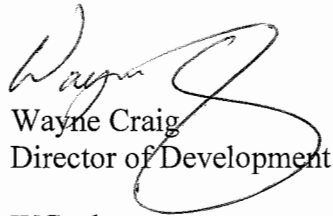
**Re:** Application by Bismark Consulting Ltd. for a Development Permit at 7000/7002,  
7020 Williams Road & 10060 Gilbert Road

---

### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 15 townhouse units with two secondary suites at 7000/7002, 7020 Williams Road & 10060 Gilbert Road on a site zoned "Medium Density Townhouses (RTM3)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Gilbert Road from 6.0 m to 4.5 m.



Wayne Craig  
Director of Development

WC:sds  
Att. 3

## **Staff Report**

### **Origin**

Bismark Consulting Ltd. has applied to the City of Richmond for permission to develop 15 townhouse units with two secondary suites at 7000/7002, 7020 Williams Road & 10060 Gilbert Road. The subject site is being rezoned from “Two-Unit Dwellings (RD1)” zone and “Single Detached (RS1/E)” zone to “Medium Density Townhouses (RTM3)” zone under Bylaw 9713 (RZ 16-743741), which received third reading following the Public Hearing on May 15, 2017. The subject site previously contained one duplex and two single-family dwellings, which have been demolished.

A Servicing Agreement (SA 18-829000) is associated with the proposal, which is a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- storm sewer upgrades along the Williams Road frontage;
- new concrete sidewalk and grassed and treed boulevard along the Williams Road and Gilbert Road frontage; and
- a new concrete bus pad at the existing eastbound bus stop on Williams Road.

### **Development Information**

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

To the North: Across Williams Road, a nine unit townhouse development (two and three storeys) on a lot zoned “Low Density Townhouses (RTL4)”, with vehicular access from Williams Road.

To the East: A 34 unit townhouse development (two storeys) on a lot zoned “Low Density Townhouses (RTL1)”, with vehicular access from Williams Road.

To the South: Single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Gilbert Road, which are identified for townhouse development in the Arterial Road Land Use Policy.

To the West: Across Gilbert Road, single-family dwellings on lots zoned “Single Detached (RS1/E)” fronting Gilbert Road, which are identified for townhouse development in the Arterial Road Land Use Policy.

### **Rezoning and Public Hearing Results**

The associated rezoning application (RZ 16-743741) was presented to Planning Committee on April 4, 2017 and originally proposed a maximum floor area ratio (FAR) of 0.65 and no secondary suites. The application was supported by Planning Committee, but the applicant was asked to explore options to include secondary suites in the development. In response, the proposal was revised to include two secondary suites and a maximum FAR of 0.68 to

accommodate the suites. The revised proposal was presented at the subsequent Council meeting on April 10, 2017 and the rezoning bylaw received first reading.

The Public Hearing for the rezoning of the subject site was held on May 15, 2017. No concerns regarding the rezoning application were expressed at the Public Hearing and the rezoning bylaw received second and third readings.

Informational signage has been installed on the property and no correspondence has been received regarding the proposal.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Medium Density Townhouses (RTM3)” zone except for the zoning variance noted below.

### **Zoning Compliance/Variations (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum exterior side yard setback to Gilbert Road from 6.0 m to 4.5 m.

#### ***Staff supports the proposed variance due to the following:***

- ***As per Zoning Bylaw 8500, the west setback along Gilbert Road is considered the exterior side yard setback. In this context, the exterior side yard setback functions as a front yard for the proposed townhouse units along Gilbert Road. The Arterial Road Land Use Policy is generally supportive of reduced front yard setbacks, provided that an appropriate interface with neighbouring properties is provided.***
- ***The reduced exterior side yard setback (6.0 m to 4.5 m) along Gilbert Road allows for an increased interior side yard setback to the rear yards of the adjacent townhouse development to the east. The proposed setback to the east is 4.5 m, which exceeds the minimum required interior side yard setback of 3.0 m.***
- ***The proposed variance is consistent with the setbacks along Gilbert Road for the townhouse development to the north.***
- ***The variance was identified at rezoning and no concerns were raised.***
- ***Due to the required road dedication along Gilbert Road (2.0 m), the distance between the proposed building face and the back of curb on Gilbert Road would be approximately 8.8 m, despite the requested variance.***

### **Advisory Design Panel Comments**

The Advisory Design Panel (ADP) reviewed the proposal on December 20, 2018 and February 6, 2019. The Panel was supportive of the proposed form and character subject to further design development in response to their comments. The current proposal incorporates changes in response to comments from the ADP including:



- Design development of the shared outdoor amenity area along Gilbert Road.
- Reduction of the number of materials and colours proposed for the buildings.
- Design development of the narrow spaces between the three storey units.

A copy of the relevant excerpt from the ADP minutes from December 20, 2018 and February 6, 2019 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in bold italics.

## **Analysis**

### ***Conditions of Adjacency***

- The subject site is bordered by single-family development to the south, which is identified for townhouse development in the Arterial Road Land Use Policy. The existing immediate adjacency to the south is the side yard of a single-family dwelling. In response, the townhouse units along this interface are reduced to two storeys in order to provide an adequate transition to the existing single-family development. In addition, a 7.5 m setback from the south property line to the third floor of any townhouse buildings is provided.
- The direct adjacency to the east is the rear yard of existing two storey townhouse units. The proposed interior side yard setback from the ground floor and second storey to the adjacent development is 4.5 m, which exceeds the minimum required interior side yard of 3.0 m. In addition, a 7.5 m setback from the east property line to the third floor of the proposed townhouse buildings is provided. Duplex units are proposed along this interface, in order to break up the massing.
- The applicant has provided a shadow study to demonstrate how the proposed height and setbacks are articulated to address potential shadowing over adjacent properties to the east and south.
- Windows have been located carefully to avoid adjacent overlook and privacy concerns.
- Retaining walls will be provided along the south and east property lines in order to provide usable yard space for the proposed units (ranging from 0.1 m to 0.46 m in height). The proposed retaining walls will be behind the existing fences (approximately 1.8 m high) to be retained, in order to maintain privacy (cross-sections are provided in Plan #2.G).
- Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed and addressed through the development and will not impact neighbouring properties.
- The proposal includes roof top decks on 12 of the 15 townhouse units. Staff have worked with the applicant to setback the roof top decks an appropriate distance from the adjacent properties and the street. The proposed townhouse units adjacent to the south property line do not have roof top decks in order to address potential privacy concerns of the adjacent single-family dwelling. The roof top decks along the east property line have been significantly setback (ranging from 8.0 m to 10.3 m from the east property line) in order to address potential overlook and privacy concerns of the adjacent townhouse development.
- Access to the roof top decks is via a hatch structure to minimize visual impact from adjacent properties and the street. The applicant has confirmed compliance of the proposed roof top access structures with the BC Building Code.

- A statutory right-of-way (SRW) allowing access to/from the adjacent future development sites through the subject site (over the entry driveway and internal drive aisle) has been secured at rezoning.

### ***Urban Design and Site Planning***

- Vehicular access to the proposed development is to be from Williams Road through a new driveway at the northeast corner of the site, with future connections to the neighbouring properties to the south, secured by a SRW.
- Road dedication was secured through rezoning, which included a 2.0 m wide road dedication along both Gilbert Road and Williams Road, and a 4 m x 4 m corner cut.
- The layout of the townhouse buildings is oriented around north-south and east-west internal maneuvering drive-aisles, providing access to the unit garages.
- Units along Gilbert Road and Williams Road will have direct pedestrian access from the street and the units along the rear will have access from the internal drive aisle.
- Two of the units will contain a ground-level secondary suite (studio) of approximately 45.8 m<sup>2</sup> (493 ft<sup>2</sup>) and 40.6 m<sup>2</sup> (437 ft<sup>2</sup>) in area, which exceeds the minimum Zoning Bylaw required size (25.0 m<sup>2</sup>), which were secured at rezoning. An additional surface parking stall will be assigned to each secondary suite.
- All townhouse units will have two vehicle parking spaces in a double car garage. Vehicle parking spaces for seven units are proposed in tandem arrangement, for a total of 14 spaces (47% of total required residential parking spaces), which is consistent with the Zoning Bylaw maximum of 50%. A restrictive covenant to prohibit the conversion of the tandem garage area into habitable space has been secured at rezoning.
- A total of three visitor parking spaces will be provided, including an accessible parking space. The number of parking spaces proposed is in compliance with the minimum Zoning Bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and are in compliance with Zoning Bylaw requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines (min. 30 m<sup>2</sup> per unit) of the OCP. Units have a variety of private outdoor space, including front yard, rear yard, decks and roof top decks.
- The shared outdoor amenity space is located along Gilbert Road in order to maximize tree retention opportunities. This location also offers casual surveillance from the street and adjacent units. The size of the outdoor amenity area is consistent with the OCP requirement (min. 6.0 m<sup>2</sup> per unit).
- Cash-in-lieu of indoor amenity space was secured through rezoning (\$15,000) consistent with OCP policy.
- The required waste management enclosure, as well as the covered mailbox kiosk, has been incorporated into the design of the buildings to minimize visual impact and is of an appropriate size.

### ***Architectural Form and Character***

- The proposed building form is contemporary with a building mass composed of rectangular shapes, stacked to create varying projections.

- The overall contemporary form and modern architectural expression of the proposal provides for enhanced architectural and built form variation at the corner of Gilbert Road and Williams Road.
- The street fronting units will have individual canopies and varying coloured entry doors. A pedestrian scale is generally achieved along the public streets and internal drive-aisle through the inclusion of variation in building form, projections, recesses, materials/colours and landscape features.
- The proposed building materials include hardie panel, cement board siding, and cultured stone, and are generally consistent with the OCP Design Guidelines.
- The palette of colours, including brown, grey, beige, and white accent colour on the main cladding material, are generally consistent with the contemporary design of the project.
- The proposed roof top decks are setback from the edge and utilize glass as the material for the railing to reduce visual impact from the street.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage where nine on-site trees were identified for removal. Based on a 2:1 tree replacement ratio stated in the OCP, 18 replacement trees on-site are required. The applicant is proposing to plant 18 replacement trees as per the size requirements based on the City's Tree Protection Bylaw.
- One significant Norway Maple tree (tag# 15) (80 cm dbh) located on the subject property was identified for protection. The shared outdoor amenity area was designed around the retained tree. A tree survival security of \$10,000 was secured through rezoning for the retention of this tree.
- The proposal provides a pedestrian-oriented streetscape fronting Gilbert Road and Williams Road with a landscaped edge treatment including a new tree in each front yard, lawn and patio areas, low transparent fencing, and a gate to each street fronting unit.
- All units along the rear will have a private yard with a patio and a lawn area. Various hedges, shrubs and ground covers have been selected to ensure the landscape treatment remains interesting throughout the year.
- Pockets of landscaping will be provided along the drive-aisle between entry doors/garages to soften the internal streetscape. Pedestrian access, tree planting, a variety of shrubs, fencing, and a bench and mailbox structure will be provided at the west end of the internal drive-aisle to provide visual interest at the terminus.
- An accessible wood deck structure around the tree to be retained is provided in the shared outdoor amenity area, along with seating and a variety of planting to activate the space and provide opportunities for social interaction. The wood deck structure also provides accessible access to the children's play area.
- A children's play area is proposed in the shared outdoor amenity area, and play equipment has been chosen to provide different play opportunities (i.e. climbing, social, imagination, balance, motor skills) that can be used by different age groups and for multiple purposes. Seating is provided nearby for caregivers.
- The individual roof top decks will include a hose bib for irrigation and the potential for roof top urban agriculture.
- The vehicle entrance, ends of the drive-aisle and surface parking spaces will be treated with permeable pavers for better water infiltration and variety in paving surfaces.



- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$118,366.60 in association with the Development Permit.

### ***Crime Prevention Through Environmental Design***

- Expansive glazing for each unit increases the visual presence and surveillance along Gilbert Road and Williams Road, the amenity area, as well as the internal drive aisle. All entrances are visible and overlooked by pedestrians or by neighbour's windows.
- Low permeable fencing and low landscaping are provided to maximize clear unobstructed views and casual surveillance opportunities.
- Provision of roof top decks also increases opportunities for natural surveillance and encourage "eyes on the street".
- Landscaping and fencing is provided along the street edge to distinguish the public realm and private space.

### ***Sustainability***

- As the application was submitted prior to the introduction of the Step Code requirement, the applicant has provided a report produced by a Certified Energy Advisor to confirm that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Building Permit drawings.
- The architect advised that the following design/features are incorporated into the proposal:
  - The use of low-flow water fixtures, low-energy lighting and high energy efficiency appliances;
  - High insulation and Energy Star windows to alleviate heating and cooling energy consumption;
  - Durable and long-lasting materials that can reduce building maintenance;
  - Permeable ground cover and planting to absorb rainwater runoff and reduce load on municipal sewers; and
  - Interior paint with low VOC content.

### ***Accessible Housing***

- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a chair lift in the staircase of Unit J and installation of a vertical lift in the stacked storage space of Unit G.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### **Conclusions**

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).

A handwritten signature in black ink, appearing to read 'Steven De Sousa', with a stylized, looping initial 'S' and a horizontal line extending to the right.

Steven De Sousa  
Planner 1

SDS:cas

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Meeting Minutes of the ADP (December 20, 2018 &  
February 6, 2019)

Attachment 3: Development Permit Considerations



DP 17-776441

Attachment 1

Address: 7000/7002, 7020 Williams Road & 10060 Gilbert Road

Applicant: Bismark Consulting Ltd.

Owner: 7000 Williams Property Holdings Ltd.

Planning Area(s): Broadmoor

Floor Area Gross: 2,485.76 m<sup>2</sup> (26,756 ft<sup>2</sup>)

Floor Area Net: 1,716.83 m<sup>2</sup> (18,479 ft<sup>2</sup>)

	Existing	Proposed
<b>Site Area:</b>	2,744 m <sup>2</sup> (29,536 ft <sup>2</sup> )	2,534.3 m <sup>2</sup> (27,279 ft <sup>2</sup> ) Road dedication: 209.7 m <sup>2</sup> (2,257 ft <sup>2</sup> )
<b>Land Uses:</b>	Single-family residential	Multiple-family residential
<b>OCP Designation:</b>	Neighbourhood Residential (NRES)	No change
<b>Zoning:</b>	Two-Unit Dwellings (RD1) and Single Detached (RS1/E)	Medium Density Townhouses (RTM3)
<b>Number of Units:</b>	4	15

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.70	0.68	None permitted
Lot Coverage – Buildings:	Max. 40%	40%	None
Lot Coverage – Non-Porous:	Max. 65%	64%	None
Lot Coverage – Live Landscaping:	Min. 25%	25%	None
Setback – Front Yard (North):	Min. 6.0 m	6.0 m	None
Setback – Exterior Side Yard (West):	Min. 6.0 m	4.5 m	Variance requested
Setback – Interior Side Yard (East):	Min. 3.0 m	4.5 m	None
Setback – Rear Yard (South):	Min. 3.0 m	3.0 m	None
Height:	Max. 12.0 m (3 storeys)	12.0 m (3 storeys)	None
Lot Width:	Min. 40.0 m	46 m	None
Lot Depth:	Min. 35.0 m	54 m	None
Off-street Parking Spaces – Regular (R) / Visitor (V):	Min. 2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit + 1 (R) per secondary suite	None
Off-street Spaces – Total:	Min. 30 (R) and 3 (V) = 33	30 (R) and 3 (V) + 2 (R) for secondary suites = 35	None



Off-street Parking Spaces – Accessible:	Min. 2% = 1	1	None
Tandem Parking Spaces:	Permitted – Max. 50% = 15	14	None
Small Car Parking Spaces:	Max. 50% = 15	9	None
Bicycle Parking Spaces – Class 1:	1.25 per unit	2.0 per unit	None
Bicycle Parking Spaces – Class 2:	0.2 per dwelling unit	0.2 per unit	None
Bicycle Parking Spaces – Total:	19 (Class 1) and 3 (Class 2)	30 (Class 1) and 3 (Class 2)	None
Amenity Space – Indoor:	Min. 50 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6.0 m <sup>2</sup> per unit = 90 m <sup>2</sup>	90 m <sup>2</sup>	None
Private Space – Outdoor:	Min. 30 m <sup>2</sup> per unit	Complies	None

**Excerpt from the Meeting Minutes of the  
Advisory Design Panel**

**Thursday, December 20, 2018 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**DP 17-776441 – 15-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Zhao XD Architect Ltd.  
LANDSCAPE ARCHITECT: PMG Landscape Architects  
PROPERTY LOCATION: 7000, 7020, 7002 Williams Road & 10060 Gilbert Road

**Applicant's Presentation**

Xuedong Zhao, Zhao XD Architect Ltd., and Denitsa Dimitrova, M2 Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

*Comments from Panel members were as follows:*

- the package provided by the applicant lacks information on how the proposed development fits into its larger context;

*The proposed townhouse design follows the City's OCP and Bylaw guidelines and building heights, setbacks and massing are studied and have been demonstrated to fit its neighborhood context (see Sheets A0.1 & A0.2 for additional streetscape elevations, context plans and photos).*

- the applicant needs to consider the relationship between the different pieces of the project, e.g. the nature of the narrow spaces between buildings, e.g. whether the spaces between Buildings 3 and 4 and Buildings 5 and 6 are public or private;

*The space between Buildings 5 and 6 has been improved. The space is generally defined by a fence and visitor parking stall. The portion of the outdoor space fronting utility closet is for maintenance access. A small portion of the space on north is part of fenced private outdoor space for Units A2 and A3. The space between Buildings 3 and 4 has also been improved. Portion of the outdoor space are planted for limited accessibility to pedestrians. A walk path is provided for exit and maintenance purpose (see updated Site Plan A1 and landscape plans). These spaces are generally public with limited accessibility based on landscaping and fence locations.*

- the proposed outdoor amenity area is not centrally located as it is tucked between two buildings on the southwest portion of the site; would not be visible from the rest of the site if the adjacent handicapped parking is occupied;

*The outdoor Amenity Space has been opened up facing the internal drive aisle so that townhouse residents and visitors can easily see it. 8'-7" pathway is proposed to the amenity area. The adjacent accessible parking space can also benefit the visibility of the Amenity space as accessible parking space is more often vacant than other visitor parking spaces. As the amenity space is a central point for the development, the adjacency to the amenity area is an ideal location for accessible parking.*

- proposed location of children's play equipment has been pushed towards the west property line due to the retention of the large Norway Maple tree on the outdoor amenity area; consider providing a seating area for adult supervision of children playing in the play area and look at the impact of the play area to the adjacent townhouse units;

*The design improvements are made for the Amenity area and seating area is proposed (see updated landscape architectural plans).*

- concerned on the tight spaces between buildings; canyon effect is detrimental especially to buildings that do not have direct access to the southern sun; consider animating narrow space between the buildings with windows and design features;

*Spacing between buildings is proposed for breaking up building massing, i.e., two buildings are proposed instead of one large building with more townhouse units. The space between buildings is used merely for a visitor parking, and little public accessibility is intended behind the parking. As mentioned earlier, the space behind parking is used for maintenance and/or exit purposes (see updated Site plan and Landscape architectural plans).*

- rooftop decks will provide great views to the mountains to the north; however, concerned about the proposed wood material for the deck; consider a paver product or another durable material suitable for long-term use;

*Considerations have been studied for the roof deck paving materials. Cedar or treated wood is preferred by developer for the roof deck due to light weight of the material and sustainability attributes. Wood is natural, organic, human friendly and nice to walk-on so that it is an ideal deck material. The material is seen also durable as a part of roof construction assembly as it is also more "friendly" to roof structure and roof membrane than heavier masonry pavers.*



- the overhang in Units A3 and F above the internal drive aisle negatively impacts the pedestrian experience; consider stepping back the massing on the upper levels of these units;

*Parapet walls on top of roof at these locations are removed to reduce the visual weight. Building projection on top floor is intended as a kind of expression of modern architectural style which differs from traditional architectural composition grammars. It also reflect the necessity of third floor layout for the unit interior space function. The overhang provides moreover not only weather covering for 2nd floor deck, but also a sense of enclosure for driveway below where stained cedar soffit is proposed for the projection. The stained cedar soffit provides a natural material, warm and human friendly architectural expression.*

- consider installing appropriate screening for the west end of the east-west internal drive aisle to provide a better interface with the single-family homes across Gilbert Street, e.g. mitigate the headlight glare from vehicles;

*A 6' long wall is extended over the edge at south-west corner of Building 5. It can not only provide a screening for vehicle light (toward neighboring house across the Gilbert Road), but also improves the façade composition of Building 5 (see revised Plans and West Elevation of Building 5). The mailbox is also enlarged for more screening for the same purpose.*

- angled fin on the corner of Williams Road and Gilbert Road is unnecessary and does not add strength to the corner;

*The angled fin is revised to be squared (see revised elevations and perspectives).*

- consider reducing the variety of materials and colours for the buildings to create a stronger form and character to the buildings;

*Metal panel is removed. The proposed materials are limited to James Hardie product and Cultural stone for exterior claddings. The proposed colors for Hardie products are limited only to three colors – Aged Pewter, Arctic white and Cedartone (see revised elevations and notes for exterior finish and color).*

- the applicant is commended for the modern design of the proposed development;

*Design is improved for the Amenity area including children's play area (see revised landscape architectural drawings).*

- the children's play area is isolated; the programming of the area under the tree needs more coherence; also note that the picnic table and playhouse have different design vocabularies and need further refinement;

*Design is improved for the Amenity area including children's play area (see revised landscape architectural drawings).*

- location of bicycle racks is isolated; benches may be needed in this area; review the proposed landscaping along the Gilbert Road frontage as it lacks coherence;  
*See improved landscape architectural drawings. Bench is proposed for pedestrian visitor and visitors on bike or from bus, which serves as a waiting or transit use functions. The bench may also be taken by people using mailbox, or used by other people either of the townhouse residents or visitors.*
- tree management plan is unintelligible; information on how many trees are going to be removed and planted on-site would have been appreciated by the Panel;  
*See updated tree management plan.*
- a grading plan was missing from the package;  
*Key grading data are shown on the architectural Site Plan (Sheet A1). More detailed grading plans are to be provided by project civil engineer and/or landscape architect.*
- the planting plan provided by the applicant is not legible;  
*See updated planting plan provided by landscape architect.*
- appreciate the applicant including a shadow study in the package;  
*Shadow diagram is updated.*
- the package is lacking; the applicant is encouraged to reference the plans and renderings during the presentation of the project;  
*More reference images are included such streetscape and context photos.*
- a checklist for achieving EnerGuide 82 rating was not provided by the applicant;  
*See enclosed "Modelled Townhouse energy-efficiency performance and EnerGuide 82 upgrade recommendations" for the project.*
- appreciate the modern design for the proposed development; however, drainage is a serious challenge; concerned about the flat roof decks and potential use of interior stormwater leaders which have maintenance issues;  
*Roof drains have been studied and designed. All roof drains are lead to exterior rainwater leaders and no interior stormwater is proposed (see updated Roof Plan and Elevations).*
- Panel appreciates the contemporary design of the project; the project is located in a high visibility area; more details on the site context would have been helpful to the Panel;  
*Site context and streetscape are studied. Sheets A0.1 & A0.2 show the Streetscape elevations, Context plans and photos of the neighborhood.*

- concerned on the lack of information in the package provided by the applicant; applicant needs to give more thought to drainage issues, material for the roof decks, flashing details, and strategy to achieve EnerGuide 82 rating;

*Information on roof deck materials and improved roof drainage have been provided and discussed as above. Locations of roof/deck drains are shown on the Roof Plan, as well as on building elevations drawings. As the roof/deck drains are all connected to exterior rainwater leaders, typical construction details including flashing details are to be used. Strategy to achieve EnerGuide 82 rating has also been addressed with enclosed documents.*

- the subject site is constrained as it intends to retain a large tree;

*Noted.*

- there is a lack of coherence on the choice of materials and colours and architectural and landscaping design;

*Improvements are made including removal Metal panel from the material and color palette. As mentioned earlier, cladding materials are limited to James Hardie product and cultural stone for building base. Color variations of the material are intended to animate the building architectural expression. The proposed landscaping including the gate and fence is intended to fit modern and contemporary architectural style.*

- conflicts between the plans provided by the applicant and the model presented to the Panel need to be resolved; and

*Drawings are updated as well as the massing model is also to be updated to be consistent with plans.*

- Hardie reveals is a high quality material, should be identified in package.

*As shown on Sheet A6, reveals/trims are to be aligned with window/door corners, and size of paneling will be maximized as possible to achieve simple, neat and modern expression of the façade. A precedent construction sample photo is shown on Sheet A6.*

## **Panel Decision**

It was moved and seconded

*That DP 17-776441 be referred back to the applicant and return to the Advisory Design Panel subject to the applicant giving consideration to the comments of the Panel.*

**CARRIED**



**Excerpt from the Meeting Minutes of the  
Advisory Design Panel**

**Wednesday, February 6, 2019 – 4:00 p.m.  
Rm. M.1.003  
Richmond City Hall**

**DP 17-776441 – 15-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Zhao XD Architect Ltd.  
LANDSCAPE ARCHITECT: PMG Landscape Architects  
PROPERTY LOCATION: 7000, 7020, 7002 Williams Road & 10060 Gilbert Road

**Applicant's Presentation**

Stanford Siu, Bismark Consulting, Xuedong Zhao, Zhao XD Architect, Ltd., and Denitsa Dimitrova, PMG Landscape Architects, presented the project and answered queries from the Panel on behalf of the applicant.

**Panel Discussion**

*Comments from Panel members were as follows:*

- appreciate the applicant's response to the previous comments of the Panel; the detailing of the project is critical; appreciate the significant articulation in the building facades which should be carried through in the detailing;

***Detailing will be an important part of construction design drawings.***

- appreciate the sustainability aspect of using pressure treated wood on the rooftop decks of townhouse buildings; however, consider the use of recycled composite materials for the roof decks as they are lighter, more durable and easier to maintain;

***Pressure treated recycled wood and other recycled composite accessory products will be considered for roof deck construction.***

- reconsider installing flammable gas for barbeque on the roof decks of two units adjacent to both sides of the existing large deciduous tree due to potential safety issues;

***Caution will be taken for gas line installation near the tree for roof deck.***

- appreciate the applicant's move to reduce the variety of materials used on the buildings which provide simplicity of character to the buildings;

***Noted.***

- proposed wood deck under the tree in the outdoor amenity area will have potential maintenance issues due to falling leaves; consider using an alternative material for the wood deck;

***Light weight wood deck is friendly to tree roots, particularly for an elevated decking system. The elevated wood decking also provides good drainage and permeability for the area around tree so that it also benefits the maintenance (in lieu of masonry paving on grade).***

- understand the intent to create a modern language and massing for introducing the overhanging soffit on the south side of Building 6; however, it appears overbearing due to visual constraints placed between the two buildings along the internal drive aisle; massing of the upper two floors appears overbearing;

***Decorative brackets are introduced under the projections for a “supportive structural expression” (see revised elevations).***

- appreciate the applicant removing the angled fin on the corner of Williams Road and Gilbert Road;

***Noted.***

- concerned on the safety issues posed by locating the double car garage in Unit E close to the driveway entry off Williams Road and the garbage and recycling facility at the corner;

***9 m is provided from garage door edge to property line, which meets the City’s requirement.***

- also concerned regarding the significant number of tandem parking on the site without off-street parking as it will give rise to potential safety issues;

***Proposed number of tandem parking meets the City requirement, which balances the land use efficiency (for shorter drive aisle) and usability. Dimensions for the parking space and driveway comply with the requirement.***

- appreciate the two convertible units provided in the project;

***Noted.***

- appreciate the changes to the project; the revised project is a huge improvement over the original project presented to the Panel; appreciate the applicant addressing most of the previous comments from the Panel;

***Noted.***

- consider design development of the entrances to townhouse units to provide more weather protection; look at the design of the canopies and where lines of rain drip down;

***Entrances to all units are provided with canopy for weather protection. Rain drips are workable and more detailed drawings will be provided for construction.***

- agree with Panel comment that the key to the success of the project's architectural design is in the detailing; review the details for the design of the roofs including parapets, internal and external corners, flashing details and matching of different materials and colours;

***Considerations will be taken during construction design drawing phase for materials and colors of the detail.***

- understand the rationale for the proposed exterior rainwater leaders and no interior stormwater drainage; however, the applicant needs to address the high density of rainwater leaders and multiple levels of gutters that may be required; the applicant also needs to look at the detailing issue to be dealt with for stepping roofs;

***Rainwater leader and roof drainage are considered and will be further worked out during construction design drawing phase.***

- agree with Panel comment for the applicant to reconsider the use of pressure treated wood for roof top decks; the pressure treatment process for wood is not necessarily environment-friendly; consider using the appropriate type of composite material for the rooftop decks as there are many types of composite materials; composite material is preferred over wood as it is more durable, easier to maintain and more appropriate for the local weather;

***As mentioned the wood is not only a good material for suitability but also a "natural material", which is considered as a high end sustainable construction practice.***

- details of the roof hatch on roof plan A3-R are not accurate; review and revise the drawing to show the correct way the roof hatch is opened;

***The roof plan is revised with the swing door lines removed.***

- review colour elevations A5, A6 and A7 and revise accordingly to show the correct roof access massing;

***Elevations are revised with correct roof access.***

- appreciate the applicant's presentation; however, the Panel would have appreciated if the applicant had presented how the design has evolved from the original design previously presented to the Panel;

***Presentation and written response have been provided for revisions to address the previous ADP comments which demonstrate how the design has evolved.***

- materials plan for the landscape is difficult to read;

***See updated landscape plans.***

- materials in the outdoor amenity area appear to be in the wrong place; consider relocating the wood deck away from the existing tree to the shady area where the lawn is currently located and provide landscaping around the tree; will provide relief to the tree as the compacted concrete beams underneath the wood deck may negatively impact the tree roots; consider pushing the lawn out into a sunnier area within the outdoor amenity area;

*As tree protection zone is required, the space around tree can therefore be more efficiently utilized as proposed. The quality of the space adjacent to the tree is a high quality “natural” environment that is valuable particularly in urban area. People can experience a very natural green environment which is ideal for a small Outdoor amenity space of the development. As the tree is big in size, the deck around the tree also makes the space more accessible. The lawn at front can be more easily maintained. It also makes the Amenity space visually more open so that a vista within this limited development site can be created.*

- the design of the outdoor amenity area does not currently appear organic; relocating the wood deck to the current lawn area (area E) will provide a softer transition of materials from lawn (in lieu of the wood deck) to fibar and create a more organic feel to the outdoor amenity area; consider using the balancing beams and stepping stones to define the edges between the lawn and fibar;

*Wood deck provides a more “natural” retaining curb and logic boundary for fibar so that the lawn can also easily be kept clean. Contrasts of different landscaping materials usually contribute visual interest of the Amenity area.*

- consider relocating the visitor bicycle racks away from Gilbert Road to a more interior and safer location on the site;

*The proposed bike racks are behind fence and gate which should be safe to use. It is a good location for visiting cyclists to dismount and park their bikes. The space is convenient and easy for way findings.*

- unfortunate that there is no civil plan submitted by the applicant which provides details on the public realm; e.g., connection to the letdowns from the sidewalk;

*Civil plans will be prepared by project civil engineer with required details per City standard through the Servicing Agreement.*

- the landscape treatment in front of the fences along Gilbert Road is successful; consider a similar approach along Williams Road by slightly pulling back the fences and provide soft landscaping between the fence and the sidewalk to enhance the public realm experience for pedestrians;

*See updated landscape plans with improvements.*

- agree with Panel comment regarding the viability of the proposed lawn on the outdoor amenity area;

*See written response provided earlier.*



- consider installing an edging material for the wood deck connecting the internal drive aisle to the outdoor amenity area to provide safety for users, especially people in wheelchairs; and

*See updated landscape plans.*

- would like to see a cane detectible edge on the wooden deck.

*See updated landscape plans.*

- *Sara Badyal read the comments submitted by Jubin Jalili summarized as follows:*
- noted the applicant's inclusion of the EnerGuide energy calculations in the package provided to the Panel; and
- satisfied with the project from a sustainability point of view.

*Noted.*

### **Panel Decision**

It was moved and seconded

*That DP 17-776441 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**

Opposed: Charan Sethi



# City of Richmond

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 7000/7002, 7020 Williams Road & 10060 Gilbert Road

**File No.:** DP 17-776441

**Prior to forwarding the application to Council for approval, the developer is required to complete the following:**

1. Final Adoption of Zoning Amendment Bylaw 9713.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$118,366.60. The letter-of-credit will not be returned until the Letter of Assurance, confirming the landscaping is installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff.

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility, CPTED and sustainability measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Enter into a Servicing Agreement\* for the design and construction of servicing works and off-site improvements to the satisfaction of the Director of Engineering. Works include, but may not be limited to:

**Water Works:**

- a. Using the OCP Model, there is 551.0 L/s of water available at a 20 psi residual at the Williams Rd frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
- b. The Developer is required to:
  - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.
  - Install a new water service connection, complete with meter and meter box, off of the existing 250 mm AC water main along Williams Rd.
- c. At Developer's cost, the City is to:
  - Cut and cap the three (3) existing water service connections.
  - Install a new fire hydrant at the Williams Rd frontage.
  - Complete all tie-ins for the proposed works to existing City infrastructure.

**Storm Sewer Works:**

- d. The Developer is required to:
  - Upgrade approximately 65 m of existing 300 mm diameter storm sewer along the Williams Rd frontage to 600 mm. Upgrades are typically manhole to manhole.
  - Cut and cap the three (3) existing storm service connections, and remove inspection chambers.
  - Install a new storm service connection off of the proposed storm sewer along the Williams Rd frontage, complete with inspection chamber.
- e. At Developer's cost, the City is to:
  - Complete all tie-ins for the proposed works to existing City infrastructure.

**Sanitary Sewer Works:**

- f. The Developer is required to:
  - Cut, cap, and remove the existing 150 mm FRP sanitary main within the development site and along the Gilbert Road frontage, as well as all manholes, service laterals, and inspection chambers, and discharge right-of-way.

Initial: \_\_\_\_\_

- Install a new manhole at the southwest corner of the development site and tie-in to existing 150 mm FRP sanitary main.
- Install a new sanitary service connection off of the proposed manhole. The manhole shall serve as an inspection chamber.
- g. At Developer's cost, the City is to:
  - Complete all tie-ins for the proposed works to existing City infrastructure.

**Frontage Improvements:**

- h. The Developer is required to:
  - Coordinate with BC Hydro, Telus and other private communication service providers
    - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
    - To underground overhead service lines.
    - To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). These shall be located onsite, as described below.
  - Locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the Rezoning staff report and the development process design review. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the right of ways dimensions and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of SRWs that shall be shown in the functional plan and registered prior to SA design approval:
    1. BC Hydro PMT – 4mW X 5m (deep)
    2. BC Hydro LPT – 3.5mW X 3.5m (deep)
    3. Street light kiosk – 1.5mW X 1.5m (deep)
    4. Traffic signal kiosk – 1mW X 1m (deep)
    5. Traffic signal UPS – 2mW X 1.5m (deep)
    6. Shaw cable kiosk – 1mW X 1m (deep) – show possible location in functional plan
    7. Telus FDH cabinet - 1.1mW X 1m (deep) – show possible location in functional plan
  - Review street lighting levels on all frontages and upgrade as required.

The Developer is required to design and construct frontage improvements along the Williams Road and Gilbert Road frontages. Works include, but may not be limited to:

- a) Williams Road frontage:
  - (1) Construct a new 1.5 m wide concrete sidewalk at the new property line and grass boulevard with street trees behind the existing curb; and
  - (2) Construct a 3.0 m wide x 9.0 m long concrete bus pad with conduit pre-ducting for electrical connection at the existing eastbound bus stop on Williams Road far-side of Gilbert Road (in accordance with TransLink's 'Universal Accessible Bus Stop Design Guidelines').
- b) Gilbert Road frontage: Construct a new 1.5 m wide concrete sidewalk at the new property line and grass boulevard with street trees behind the existing curb.
- c) Vehicle access is to be provided by a single driveway located at the eastern edge of the Williams Road development frontage. All existing driveways along the Williams Road and Gilbert Road development frontages are to be closed permanently. The Developer is responsible for the removal of the existing driveway let-downs and the replacement with barrier curb/gutter, grass/tree boulevard and concrete sidewalk per standards described in these Rezoning Considerations.
- d) The Developer is responsible for the cost of any traffic signal related works that are required as a result of conflict/impact of frontage improvements works and/or utility installations. The required traffic signal works may include: replacement of traffic signal poles and bases; replacement of vehicle detector loops; and traffic signal cabinet. The details of the traffic signal works will be defined as part of the Servicing Agreement detailed site design process.

**General Items:**

- a) The Developer is required to:
  - Provide, within the first SA submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
  - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
4. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy on file]

---

Signed

---

Date





# City of Richmond

## Development Permit

**No. DP 17-776441**

To the Holder: Bismark Consulting Ltd.

Property Address: 7000/7002, 7020 Williams Road & 10060 Gilbert Road

Address: 5003 Minoru Boulevard,  
Richmond, BC V6X 2B1

---

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum exterior side yard setback to Gilbert Road from 6.0 m to 4.5 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$118,366.60 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 17-776441**

To the Holder: Bismark Consulting Ltd.

Property Address: 7000/7002, 7020 Williams Road & 10060 Gilbert Road

Address: 5003 Minoru Boulevard,  
Richmond, BC V6X 2B1

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

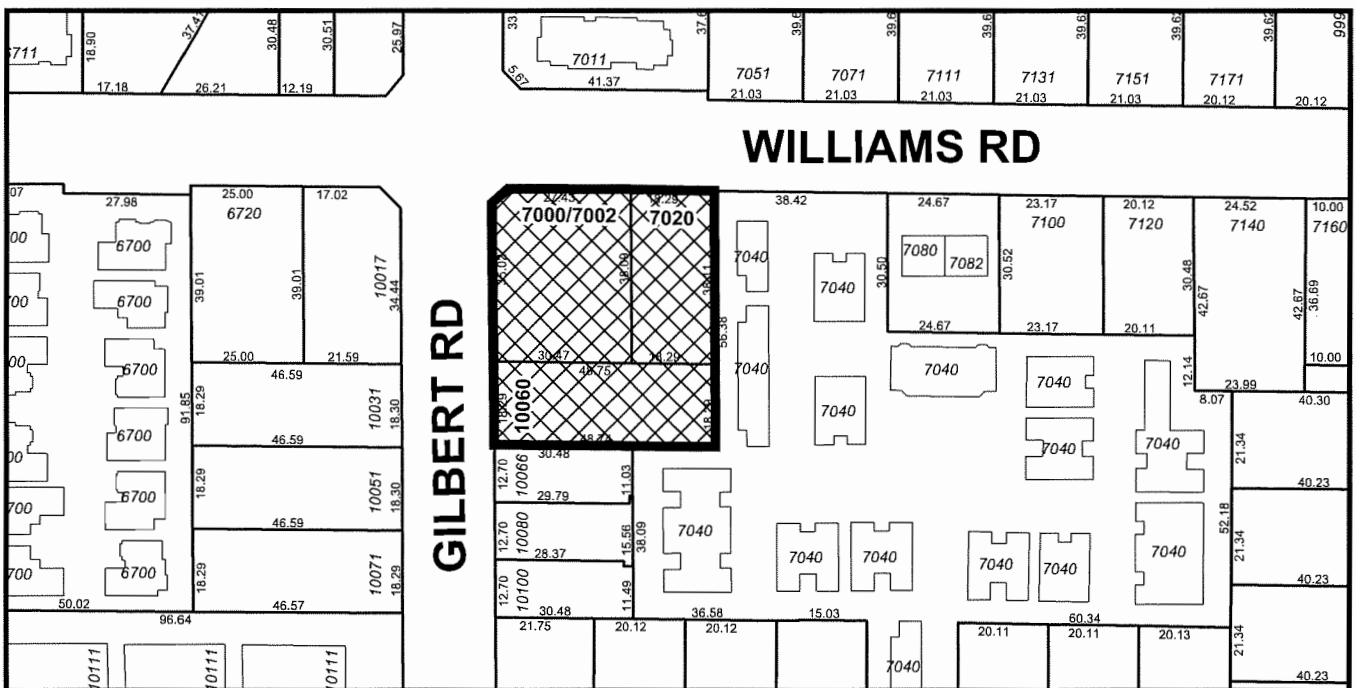
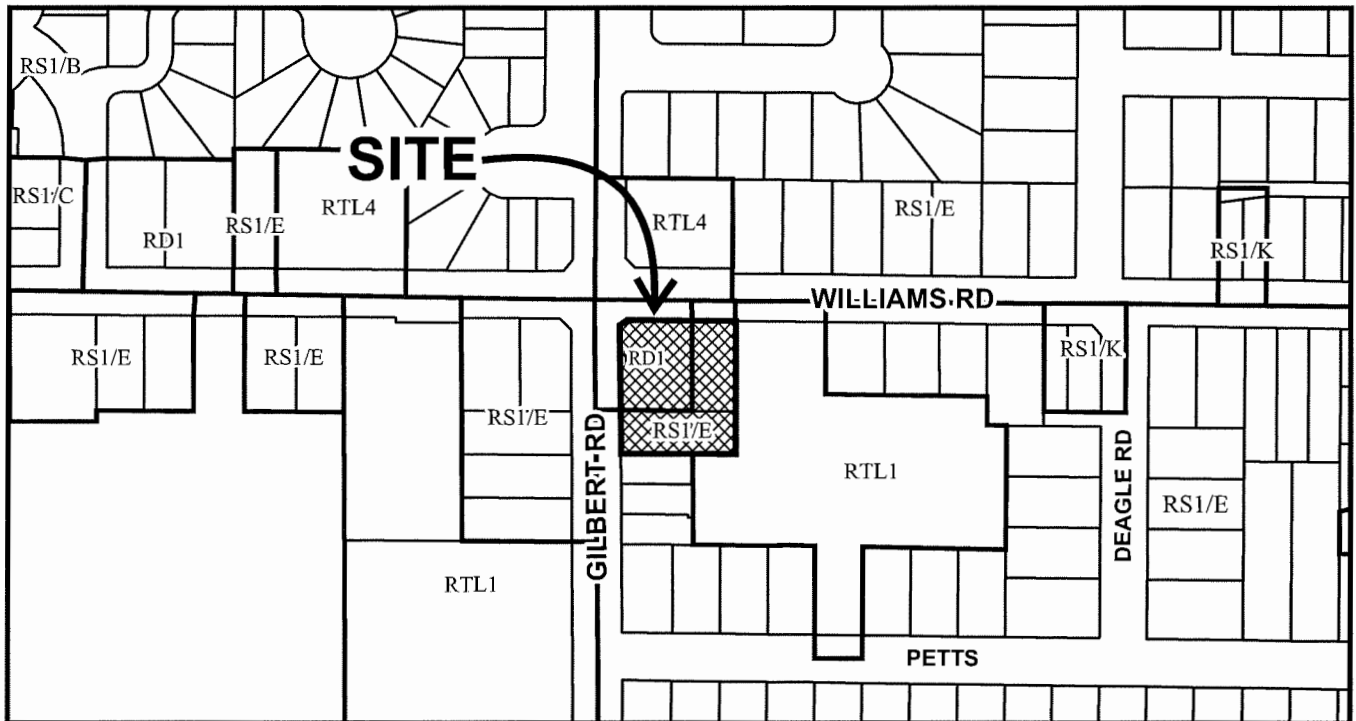
DELIVERED THIS DAY OF , .

---

MAYOR



# City of Richmond



DP 17-776441  
SCHEDULE "A"

Original Date: 07/19/17

Revision Date: 05/08/19

Note: Dimensions are in METRES







ZHAO XD  
ARCHITECT  
LTD.

#255-11181 Voyager Way,  
Richmond, BC V6X 3N9  
Tel: (604) 275-8882  
Fax: (604) 909-1736  
Email: info@zhaoarch.com  
Web: zhaoarch.com

This drawing shall not be used for construction  
unless it is accompanied by the CONSULTANT.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18FEB/17	CITY COMMENTS
29AUG/16	REZONING APP
Date:	Issued For:

A	DETAIL NUMBER
B	LOCATION SHEET
C	DETAIL SHEET

All drawings, specifications and other related  
documents are the copyright property of  
Zhao XD Architect Ltd. and shall be returned  
upon request.  
Reproduction of drawings and related documents,  
in whole or in part, without the written  
consent of the Architect,  
The contractor shall check and verify all pertinent  
information before proceeding with the work.

Project:  
TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:  
PARKING PLAN

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

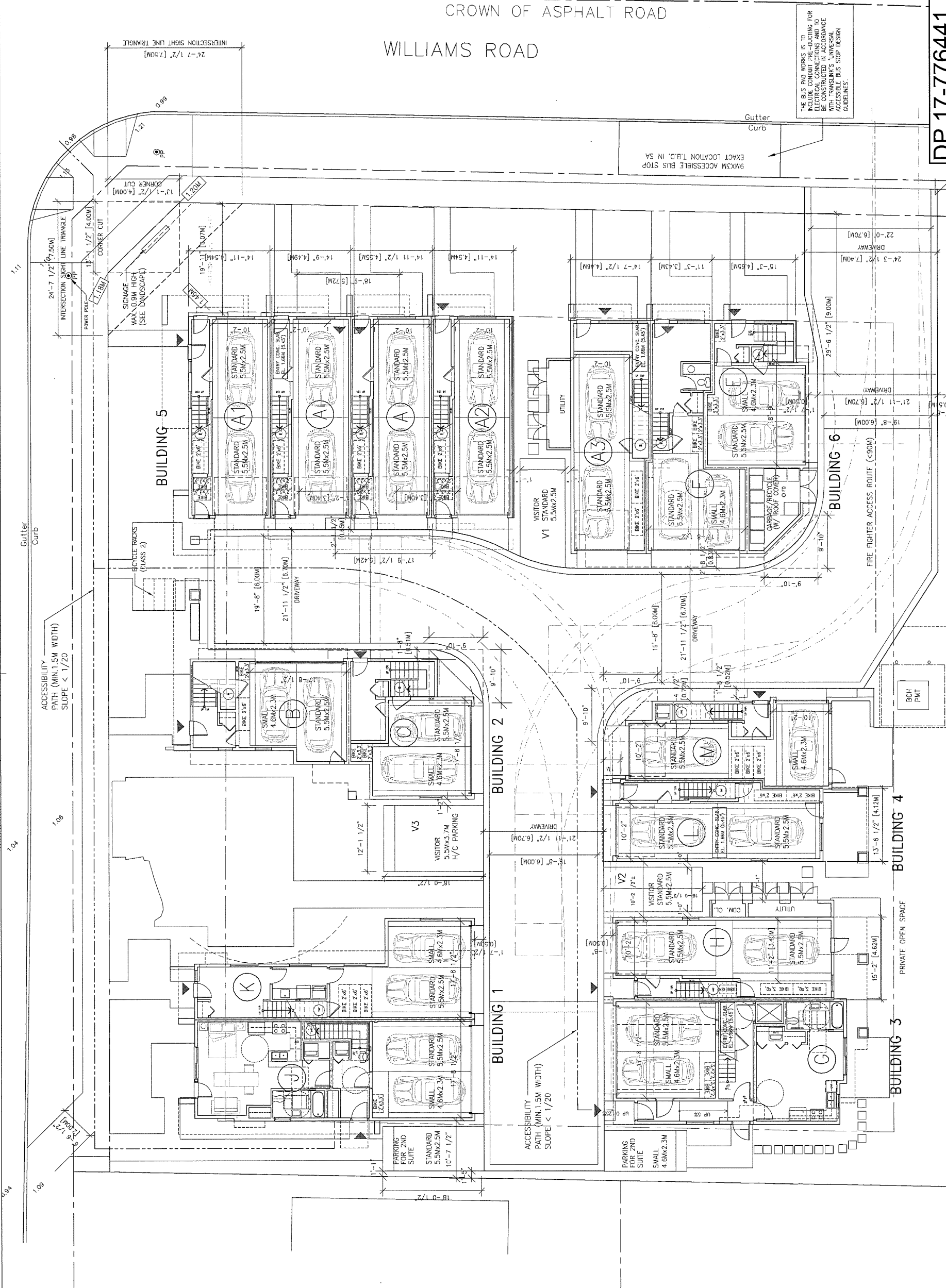
A2.00

DP 17-776441

Plan #1.B

May 7, 2019

This drawing is NOT to be copied. Use figured dimensions only.



PARKING PLAN

SCALE: 1/8"=1'-0"

ENERGYGUIDE RATING OF B2 OR ABOVE IS TO BE ACHIEVED  
FOR THE DEVELOPMENT PROJECT.

AN ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING OR HIGHER SHALL BE PROVIDED TO ALL INDOOR PARKING SPACES.  
AND ENERGIZED OUTLETS SHALL BE LABELED FOR THEIR INTENDED USE FOR ELECTRIC VEHICLE CHARGING.



ZHAO XD  
ARCHITECT  
LTD.

#255-11181 Voyageur Way,  
Richmond, BC V6X 3N8  
Tel: (604) 273-8832  
Fax: (604) 509-1736  
Email: info@zhaoxd.com  
Web: zhaoxd.com

This drawing shall not be used for construction without the written consent of the consultant.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18FEB/17	CITY COMMENTS
29AUG/16	REZONING APP
Date:	Issued For:

A	DETAIL NUMBER
B	LOCATION SHEET
C	DETAIL SHEET

All drawings, specifications and other related documents shall be submitted to the City of Richmond for review and approval. The City of Richmond reserves the right to request any changes to the drawings and specifications. The Architect shall be responsible for obtaining all necessary permits and approvals from the City of Richmond. The Architect shall be responsible for obtaining all necessary permits and approvals from the City of Richmond.

Project:  
TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

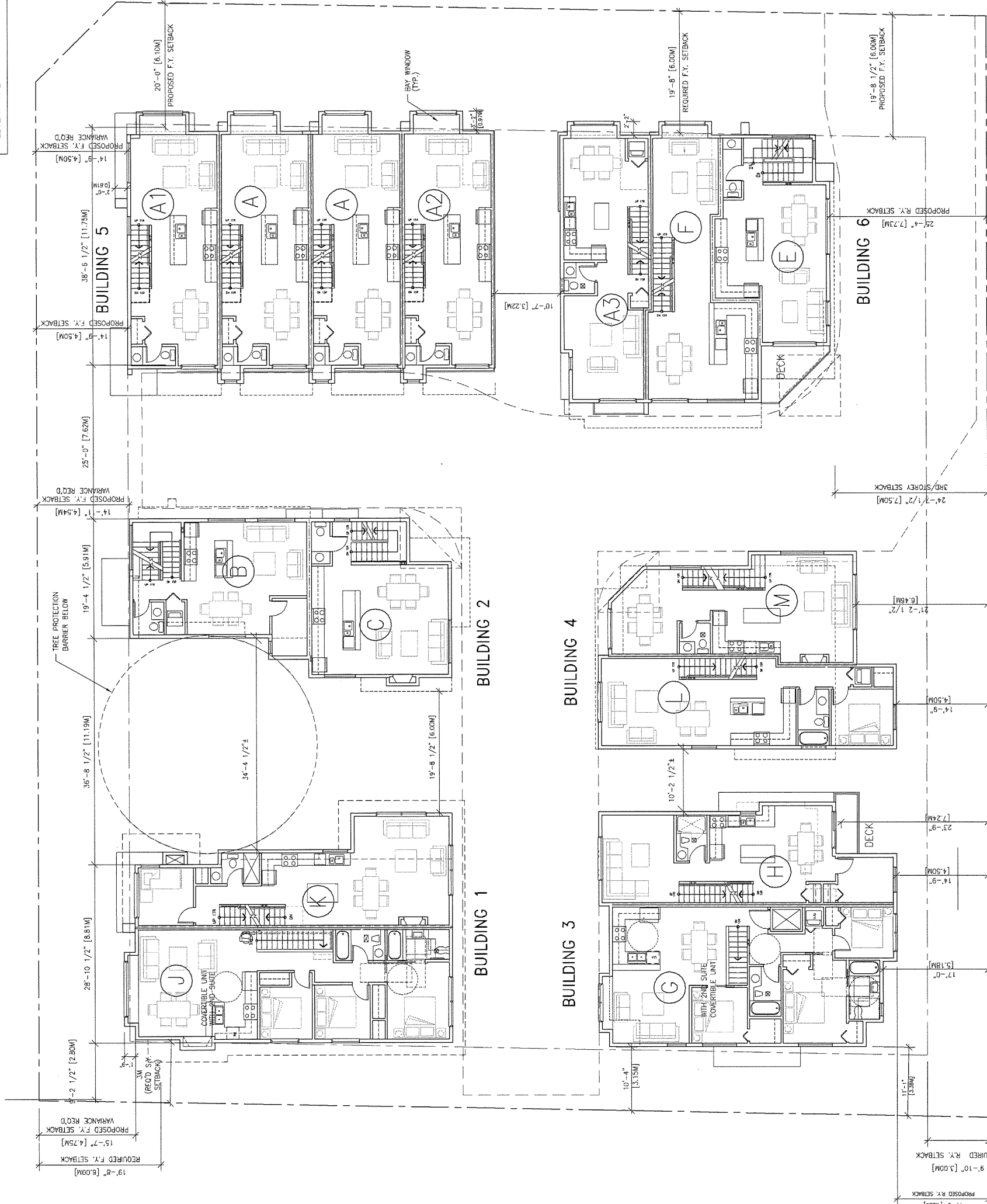
7000-20 Williams-10080 Gilbert  
RICHMOND, BC

Drawing Title:  
2ND FLOOR PLAN

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

A2.01

AGING IN PLACE FEATURES FOR ALL UNITS:  
-SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS;  
-LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES



BAY WINDOW NOTES:  
BAY WINDOW SEAT MIN. 2' ABOVE  
FINISHED FLOOR IS STRUCTURALLY  
PROTRUDED FROM THE WALL.  
NO FLOORING JOIST EXTENDS BEYOND  
THE WALL TO PREVENT A CONVERSION  
TO USABLE FLOOR SPACE.



DP 17-776441  
Plan #1.C  
May 7, 2019

ENERGUIDE RATING OF 82 OR ABOVE IS TO BE ACHIEVED  
FOR THE DEVELOPMENT PROJECT.

This drawing is NOT to be scaled. Use figured dimensions only.

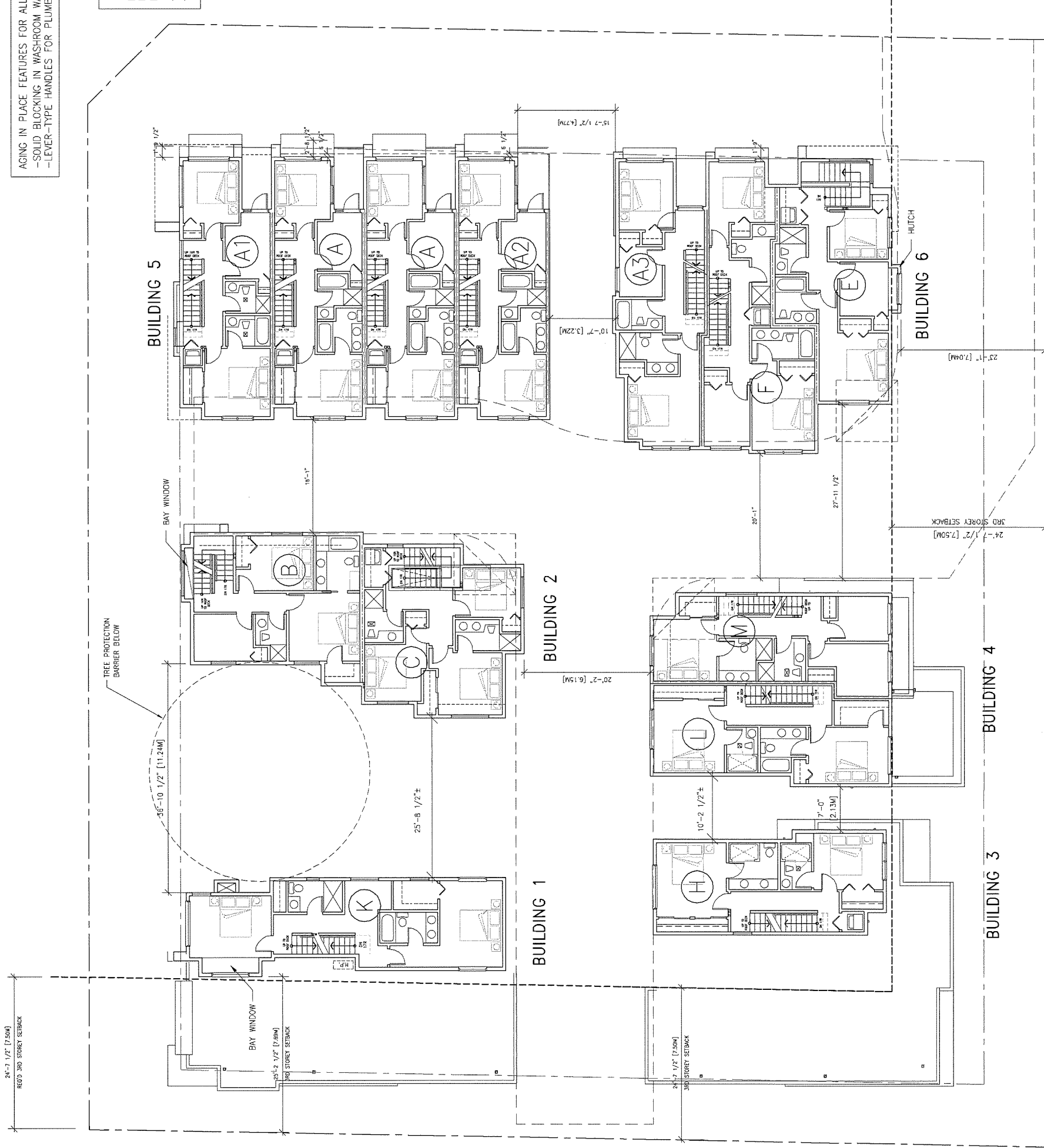


ZHAO XD  
ARCHITECT  
LTD.

BAY WINDOW NOTES:

BAY WINDOW SEAT MIN. 2' ABOVE FINISHED FLOOR IS STRUCTURALLY PROTRUDED FROM THE WALL. NO FLOORING JOIST EXTENDS BEYOND THE WALL TO PREVENT A CONVERSION TO USABLE FLOOR SPACE.

- SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS;
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES



This drawing shall not be used for construction unless it is countersigned by the CONSULTANT.

[illegible]

A  
B  
C

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Reproduction of drawings and related documents, in whole or in part, is forbidden without the written permission of the Architect.

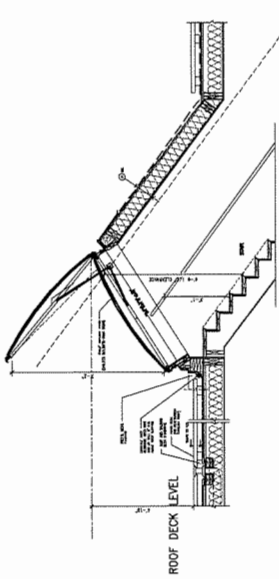
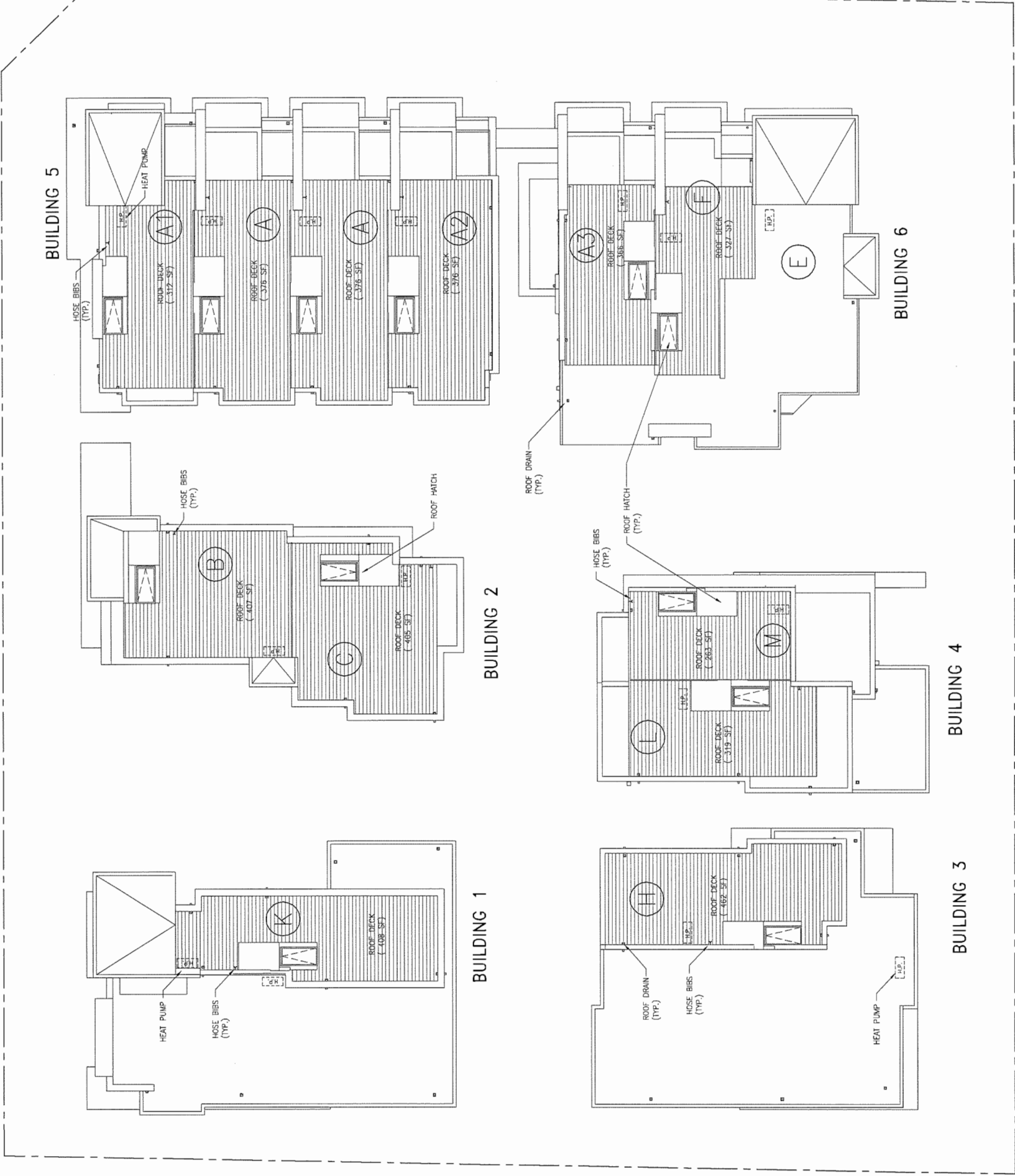
The contractor shall check and verify all pertinent dimensions and report any discrepancies to the Architect before proceeding with the work.

Project: TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

Drawing Title:  
3RD FLOOR PLAN

Date:
Scale:
Drawn By:
Checked By:
Project No.:

DP 17-776441  
Plan #1.D  
May 7, 2019



TYPICAL ROOF DECK ACCESS DETAIL SECTION  
SCALE: 1/4"=1'-0"

This drawing shall not be used for construction unless it is accompanied by the CONTRACT.

24 MAR/19	ADP COMMENTS
15 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18FEB/17	CITY COMMENTS
29AUG/16	REZONING APP
Date:	Issued For:

A	A DETAIL NUMBER
B	B LOCATION SHEET
C	C DETAIL SHEET

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Project:  
TOWNHOUSE DEVELOPMENT AT WILLIAMS RD. & GILBERT RD.

7000-20 Williams-10050 Gilbert RICHMOND, BC

Drawing Title:  
ROOF & ROOF DECK PLAN

Date:
Scale:
Drawn By:
Checked By:
Project No.:

Drawing No.:  
A2.03

ROOF PLAN  
SCALE: 1/8"=1'-0"

DP 17-776441  
Plan #1.E  
May 7, 2019











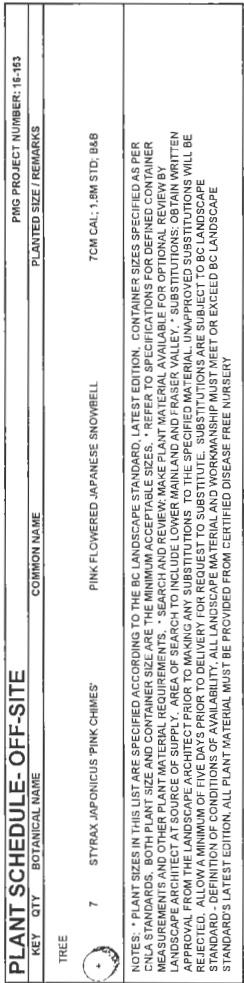
**The Forest Villa (A-17000)  
BY JAMBETTE**






**WISHBONE BIKE RACK**  
TENAJ Model No TJBR-3  
in Metallic Silver

Modena Park Bench; Model Number:  
MAL-5, in Metallic Silver  
BY WISHBONE SITE FURNISHINGS



**Bollard light EB2936;  
L5-7/8" x W5-7/8" x H36";  
Brushed Nickel by KUZCO**



PLANT SCHEDULE			PMS PROJECT NUMBER: 16-103	
TREE	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SITE / REMARKS
	1	ACER RUBRUM 'ARMSTRONG'	COLUMBIAN ARMSTRONG MAPLE	5CM CAL. 2H STD. B&B
	2	CERCOCARYA LUM. JAPONICUM	KATATIRA, THORN	9CM CAL. 1 BM STD. B&B
	1	CHAMAECYPARIS NODATENSIS	KEEPEEING NOOTKA CYPRESS	40W HT. B&B
	5	POPULUS TREMULA DOES. ERECTA	SKEEDER TREMBLING ASPEN	10CM CAL. 2H STD. B&B
	4	QUERCUS ILICISTRIS GREEN PILLAR*	GREEN PILLAR PIN OAK	11CM CAL. 1 BM STD. B&B

\*NOTES: • PLANT SIZES ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANADA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \*REFER TO SPECIFICATIONS FOR DEFINED CONTAINER SIZES. • ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. • ALL PLANT MATERIAL MUST MEET STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

**NOTE:**  
All soil landscape areas to be irrigated with automatically underground design-build system. Irrigation design and installation to I.A.B.C. Standards, latest edition.



[illegible]

NO.	DATE	REVISION DESCRIPTION	DR.
CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.			

**PROJECT:**

# 15 UNIT TOWNHOUSE DEVELOPMENT

7000-20 WILLIAMS ROAD  
RICHMOND

WITH: ZHAO XD ARCHITECT LTD.  
DRAWING TITLE:

## SHRUB PLAN

DATE: August 23, 2016

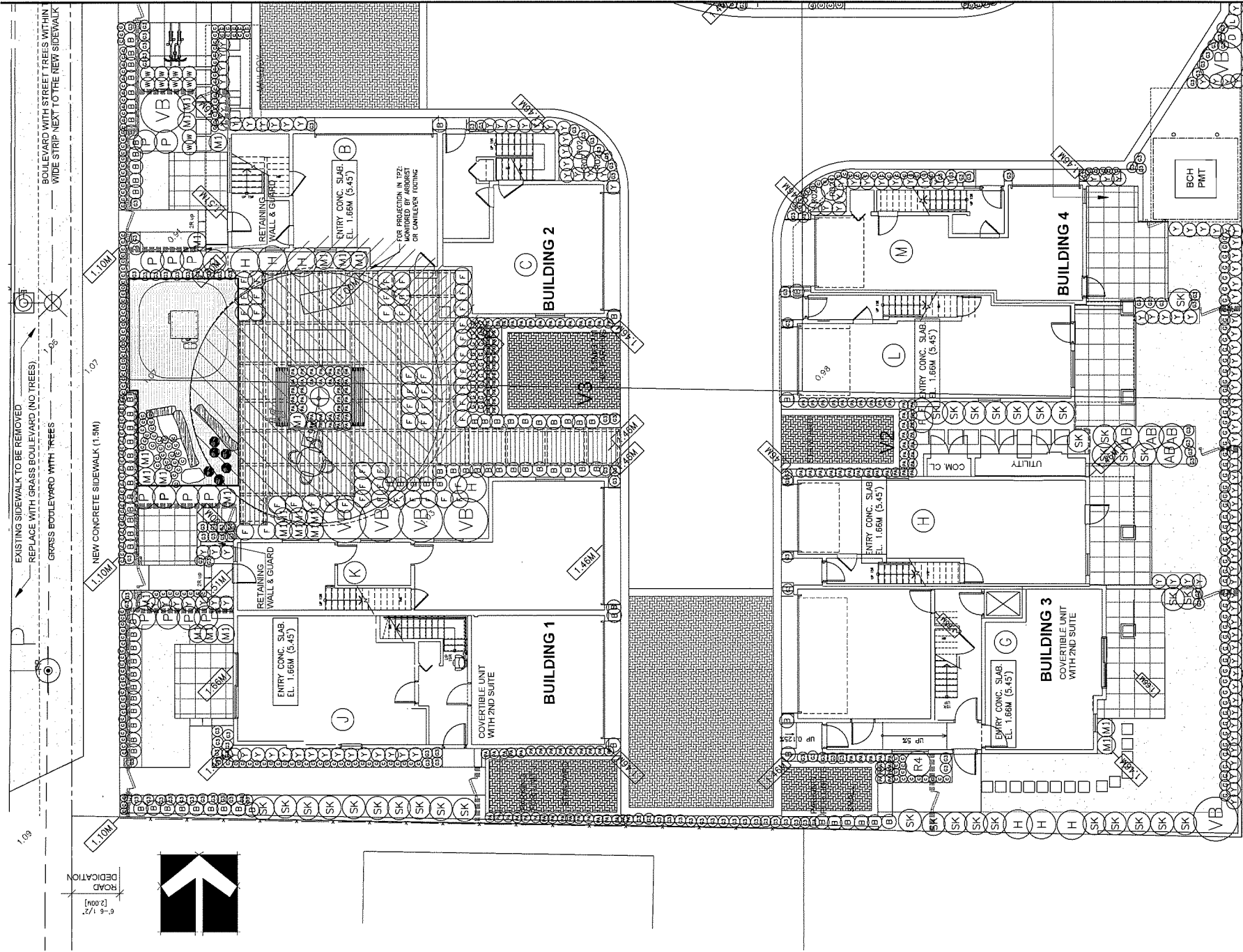
SCALE:  $1/8^m = 1' - 0''$ 

DRAWN: DD

DESIGN: DD

OF 17  
829000-18-10

PMG PROJECT NUMBER:

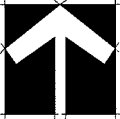


PLANT SCHEDULE- SHRUB			
KEY	QTY	BOTANICAL NAME	COMMON NAME
SHRUB			
(R)	4	ABELIA EDWARD GOUCHER'	PINK ABELIA
(B)	173	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX
(T)	7	HYDRANGEA M. 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA
(T)	25	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS
(R)	1	RHOODENDRON 'CHRISTMAS CHEER'	CHRISTMAS-CHEER RHOODENDRON
(R)	7	ROSA 'SCARLET MEDIALAND'	SCARLET MEDIALAND ROSE
(R)	46	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA
(R)	236	TAXUS X MEDIA 'HICKSII'	HICKS'S YEW
(T)	1	VIBURNUM DAVIDII	DAVID'S YEW
(R)	11	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM
(R)	20	WEIGELA FLORIDA 'NANA VARIEGATA'	DWARF VARIEGATED WEIGELA
GRASS			
(R)	122	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS
(R)	500	CAREX 'ICE DANCE'	FROSTED SEDGE
(R)	29	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MADDEN GRASS
(R)	208	PENNISETUM ALOPECUROIDES 'HAMLIN'	DWARF FOUNTAIN GRASS
PERENNIAL			
(L)	1	LAURENCEA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER
GC			
(R)	183	PACHYSANDRA TERMINALIS	JAPANESE SPURGE
(R)	51	POLYSTICHUM MUNITUM	WESTERN SWORD FERN*

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO "THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES ARE SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: WAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF TWO WEEKS TO DELIVER MATERIAL. \* SUBSTITUTIONS TO THE SPECIFIED MATERIAL MUST BE REJECTED. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT.

DP 17-776441

Plan #2.B  
May 7, 2019



**pmg**  
LANDSCAPE  
ARCHITECTS

Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 : f: 604 294-0022

SEAL:

DRAWING NUMBER:

DATE: August 23, 2016

SCALE: 1/8"=1'-0"

DRAWN: DD

DESIGN: DD

CHKD: PCM

PMG PROJECT NUMBER:

11

OF 17

829000-18-10

16-153

WITH: ZHAO YD ARCHITECT LTD.

DRAWING TITLE:

**SHRUB PLAN**

PROJECT:

**15 UNIT TOWNHOUSE  
DEVELOPMENT**

**7000-20 WILLIAMS ROAD  
RICHMOND**

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION  
DEVELOPMENTS LTD.

17	19.AUG.19	REVISION AS PER CITY REQUEST	DD
16	19.AUG.19	REVISION AS PER CITY REQUEST	DD
15	19.AUG.15	REVISION AS PER CITY REQUEST	DD
14	19.MAR.14	REVISION AS PER CITY COMMENTS	DD
13	19.MAR.14	REVISION AS PER CITY COMMENTS	DD
12	19.AUG.11	NEW SITE PLAN	DD
11	19.AUG.11	NEW SITE PLAN	DD
10	19.AUG.11	AS PER ADP COMMENTS	DD
9	18.OCT.19	NEW CIVIL PLAN/REVISED FENCE DETAIL	DD
8	18.FEB.08	REVISION AS PER CLIENT REQUEST	DD
7	18.AUG.05	NEW SITE PLAN/CITY COMMENTS	DD
6	17.AUG.12	NEW SITE PLAN/CITY COMMENTS	DD
5	17.FEB.01	REVISION AS PER CITY COMMENTS	DD
4	17.JUN.12	NEW SITE PLAN	DD
3	17.MAR.09	NEW SITE PLAN	DD
2	17.MAR.09	NEW SITE PLAN	DD
1	17.FEB.04	NEW SITE PLAN/CITY COMMENTS	DD
NO.	DATE	REVISION DESCRIPTION	DR.

**PLANT SCHEDULE-SHRUB**

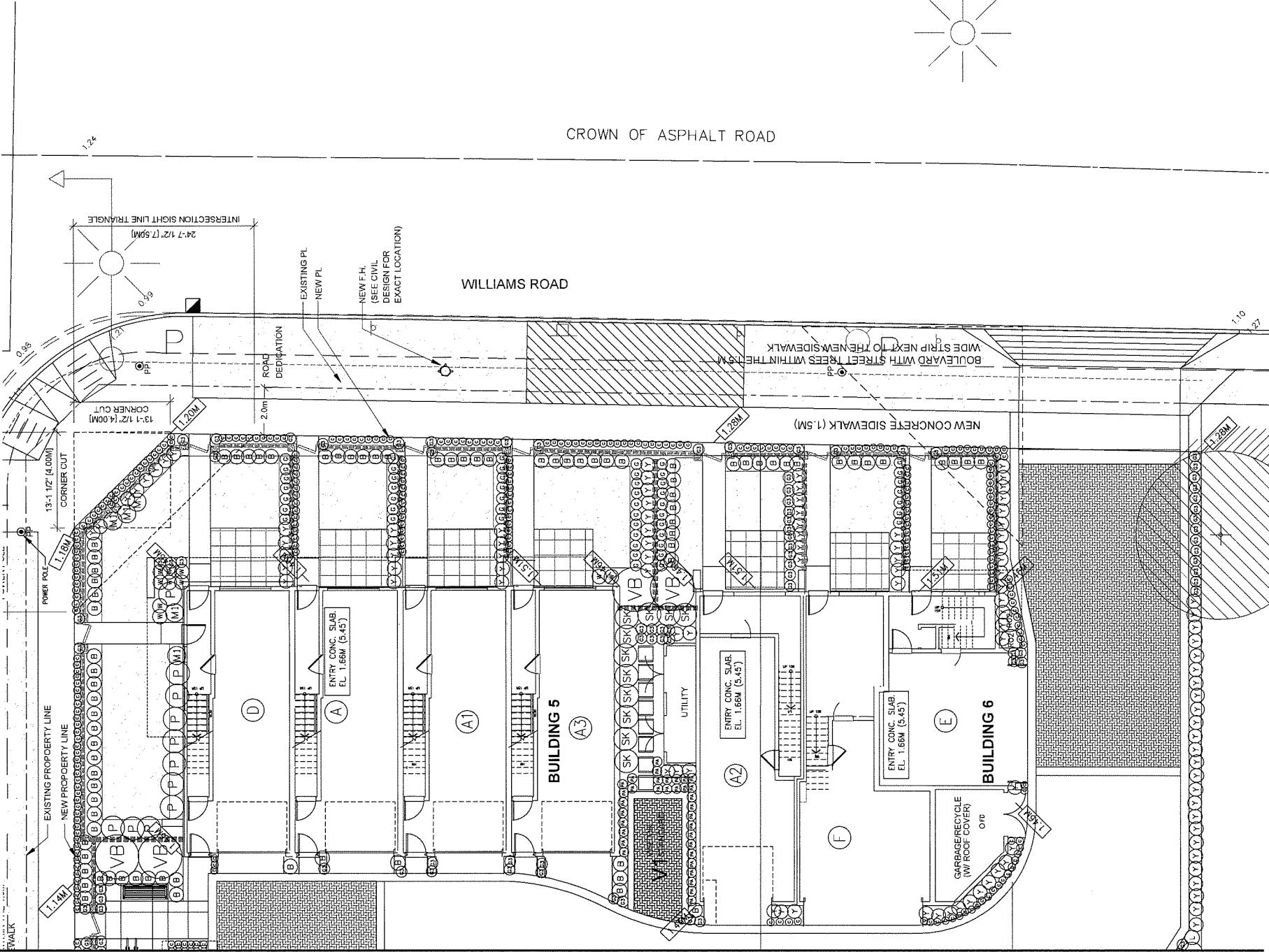
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB				
(AB)	4	ABELIA 'EDWARD GOUCHER'	PINK ABELIA	#2 POT, 30CM
(B)	173	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT, 25CM
(A)	7	HYDRANGEA M. 'ENDLESS SUMMER'	ENDLESS SUMMER BIGLEAF HYDRANGEA	#3 POT, 90CM
(A)	25	PIERIS JAPONICA 'VALLEY FIRE'	VALLEY FIRE PIERIS	#3 POT, 50CM
(A)	1	RHODODENDRON 'CHRISTMAS CHEER'	CHRISTMAS CHEER RHODODENDRON	#3 POT, 50CM
(A)	7	ROSA 'SCARLET MEIDLAND'	SCARLET MEIDLAND ROSE	#2 POT, 40CM
(A)	46	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#2 POT, 30CM
(A)	236	TAXUS X MEDIA 'HICKSI'	HICK'S YEW	1M +POT
(A)	1	VIBURNUM DAVIDII	DAVID'S VIBURNUM	#2 POT, 30CM
(A)	11	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	#2 POT, 30CM
(A)	20	WEIGELA FLORIDA 'NANA VARIEGATA'	DWARF VARIEGATED WEIGELA	1.0M HT, 8&B; TREE FORM
GRASS				
(G)	122	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 POT
(G)	500	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT
(M)	29	MISCANTHUS SINENSIS 'LITTLE KITTEN'	COMPACT MAIDEN GRASS	#1 POT
(M)	208	PENNISETUM ALOPECUROIDES 'HAMLIN'	DWARF MOUNTAIN GRASS	#1 POT-HEAVY
PERENNIAL				
(P)	1	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT
(P)	183	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT, 15CM
(P)	51	POLYSTICHUM MUNTUNUM	WESTERN SWORD FERN*	#1 POT, 20CM

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN ALL PLANT MATERIAL FROM A MINIMUM OF FIVE PLANTS PRIOR TO DELIVERY. PRIOR TO MAKING ANY SUBSTITUTIONS, THE ARCHITECT MUST BE NOTIFIED. \* OTHER SPECIFICATIONS: ALL PLANTS MUST BE PROVIDED WITH A MINIMUM OF FIVE PLANTS PRIOR TO DELIVERY. \* ALL PLANTS MUST BE PROVIDED WITH A MINIMUM OF FIVE PLANTS PRIOR TO DELIVERY. \* SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. \* ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. \* ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. \* BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

**DP 17-776441**

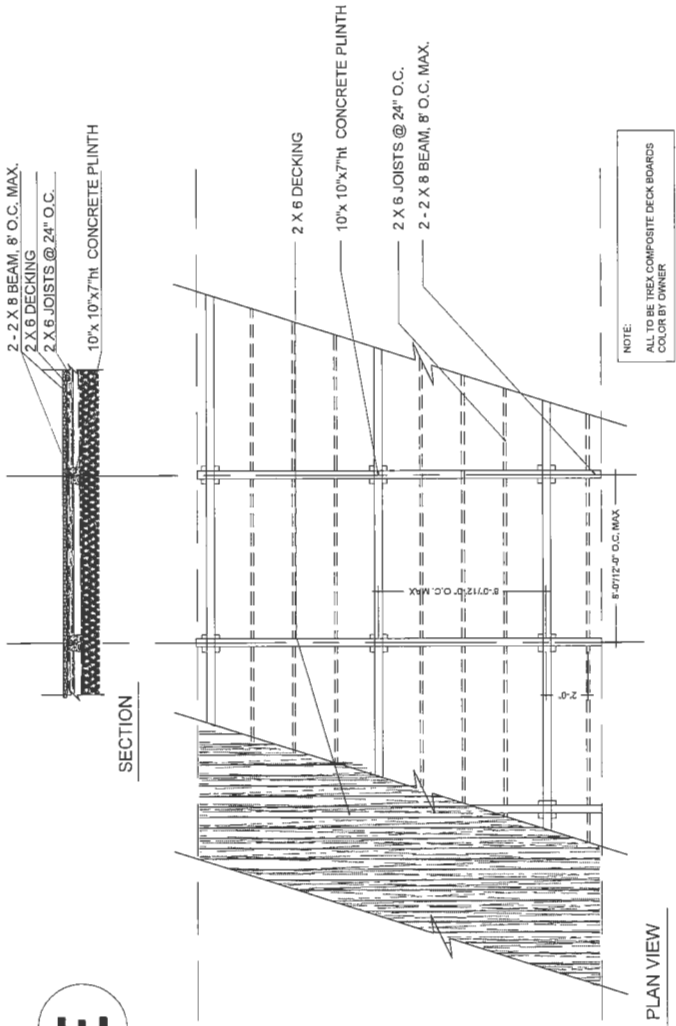
**Plan #2.C**

**May 7, 2019**





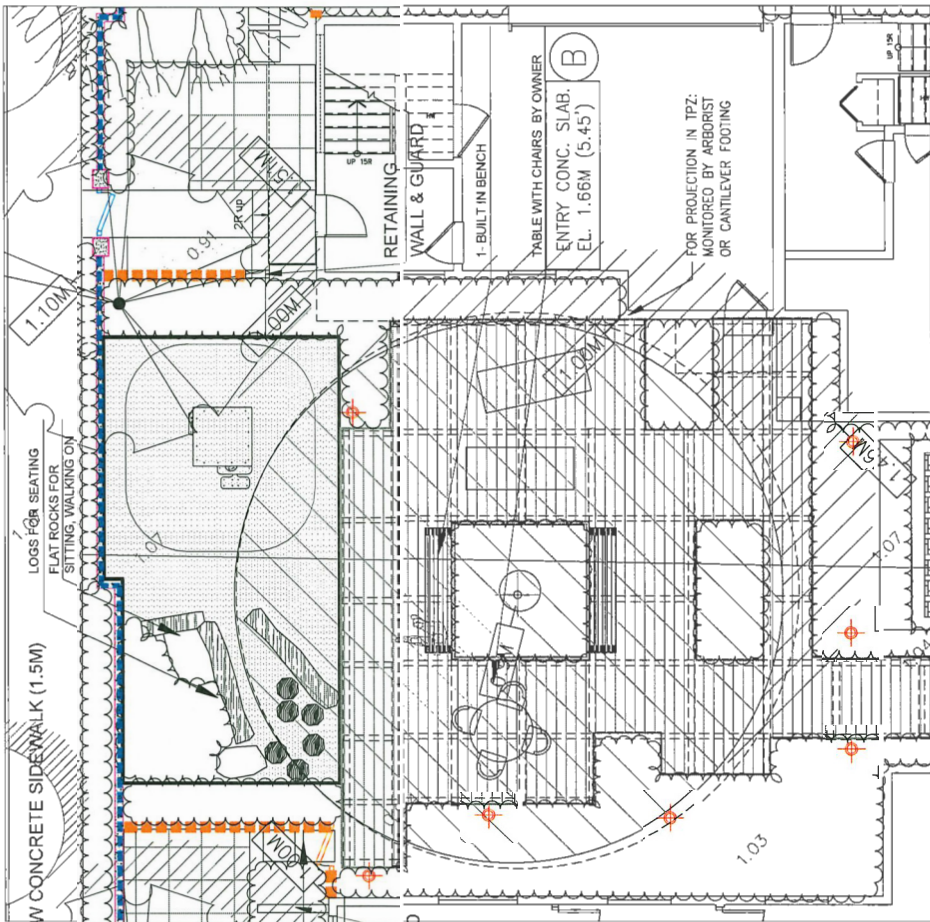
E



OVERLOOK DECK PLAN VIEW

8 L1

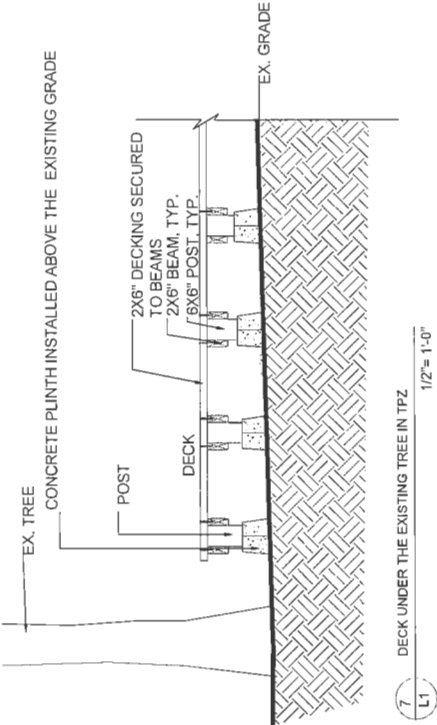
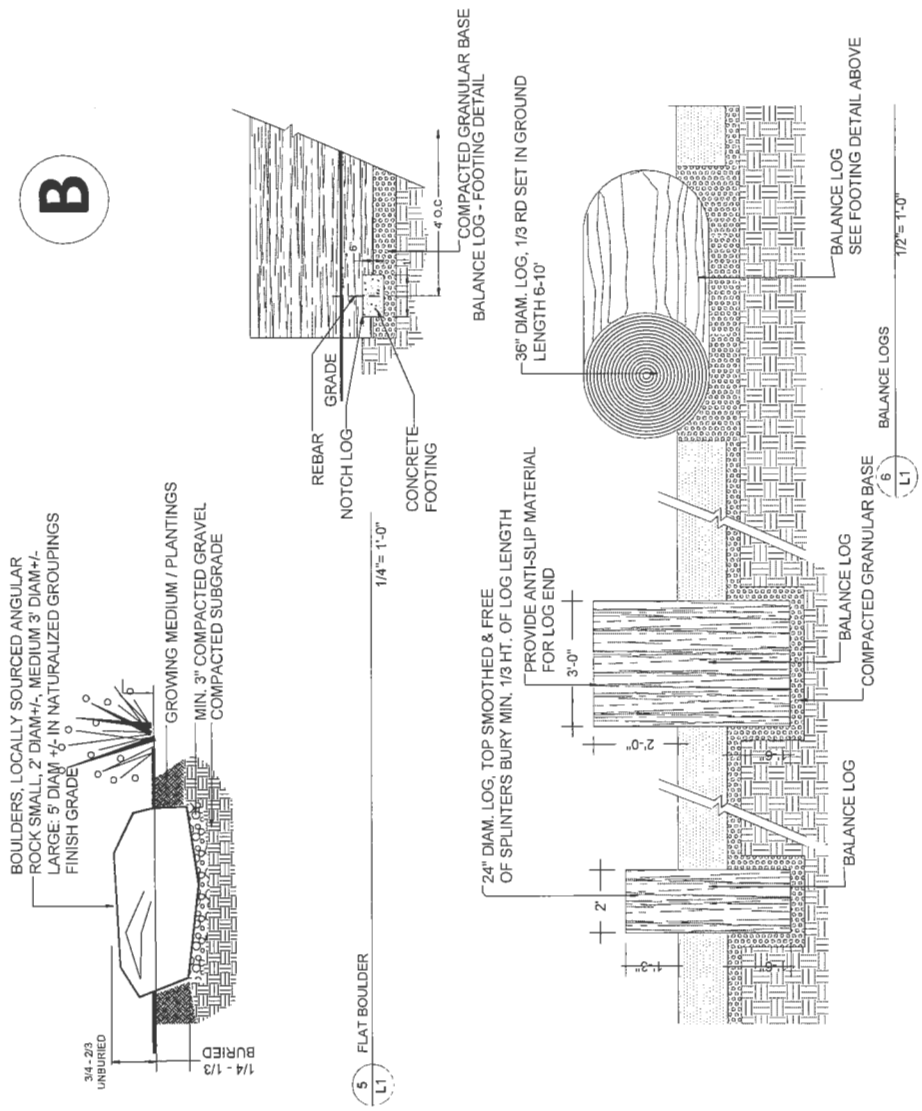
SCALE: 1/4"=1'-0"



AMENITY AREA - ENLARGEMENT

SCALE 3/16"=1'-0"

B



7 L1

DP 17-776441  
Plan #2.D  
May 7, 2019

SEAL:

17	15 APR 20	REVISION AS PER CITY REQUEST	DD
16	15 APR 17	REVISION AS PER CITY COMMENTS	DD
15	15 APR 15	REVISION AS PER CITY REQUEST	DD
14	25 MAR 20	REVISION AS PER CITY COMMENTS	DD
13	15 MAR 20	REVISED DPT-SITE PLAN	DD
12	15 APR 21	NEW SITE PLAN	DD
11	15 APR 21	NEW SITE PLAN	DD
10	15 APR 21	AS PER REP COMMENTS	DD
9	15 APR 21	NEW CON. PLANNED FENCE DETAIL	DD
8	15 FEB 20	REVISION AS PER CLIENT REQUEST	DD
7	18 JAN 20	NEW SITE PLAN/CITY COMMENTS	DD
6	17 NOV 22	NEW SITE PLAN/CITY COMMENTS	DD
5	17 SEP 21	REVISION AS PER CITY COMMENTS	DD
4	17 JUN 12	NEW SITE PLAN	DD
3	17 MAR 09	NEW SITE PLAN	DD
2	17 FEB 24	NEW SITE PLAN/CITY COMMENTS	DD
1	17 FEB 24	NEW SITE PLAN/CITY COMMENTS	DD
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:  
**15 UNIT TOWNHOUSE DEVELOPMENT**

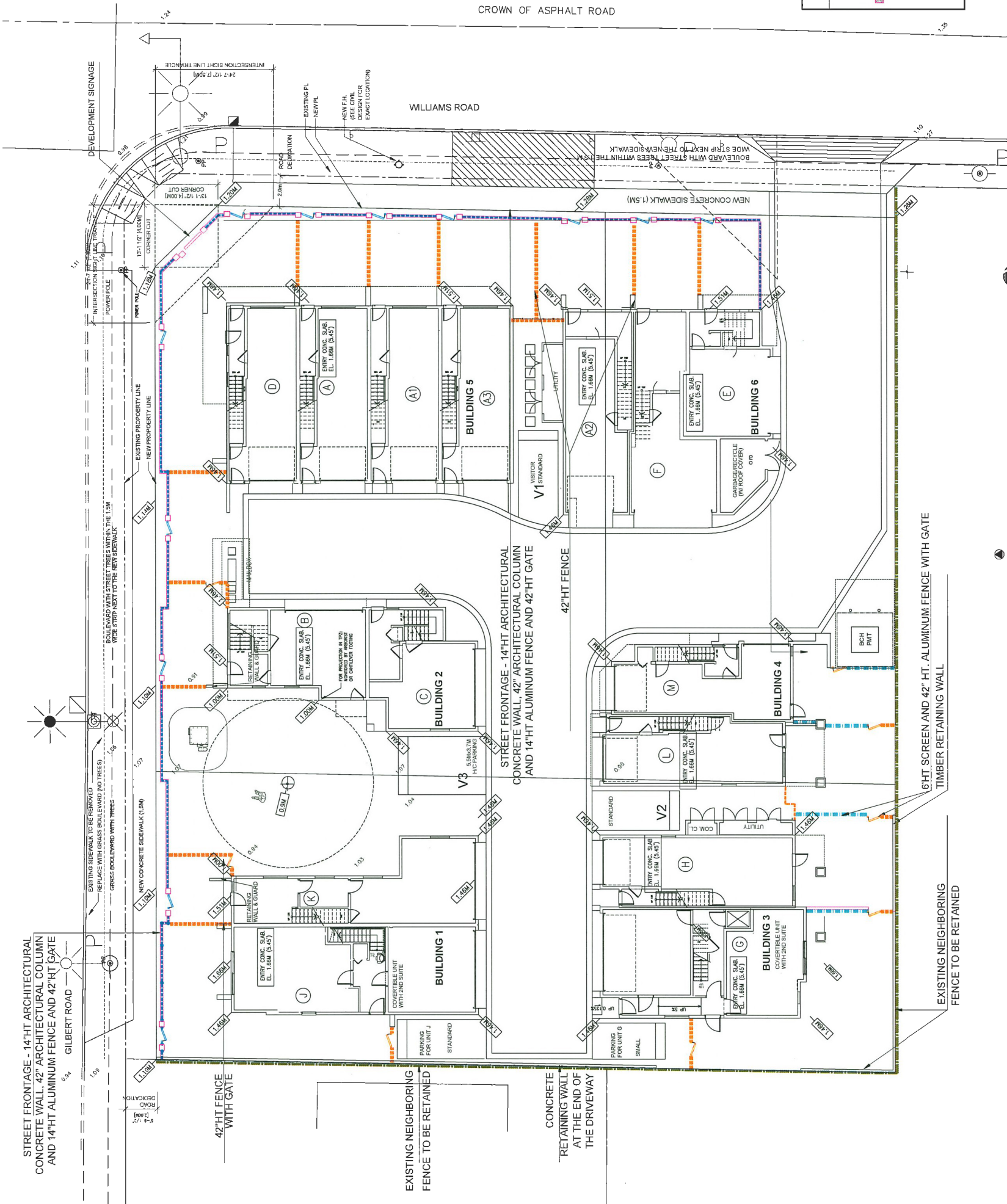
**7000-20 WILLIAMS ROAD RICHMOND**

WITH ZHAO XID ARCHITECT LTD.  
DRAWING TITLE:  
**LANDSCAPE DETAILS AMENITY AREA**





SEAL:



17	19.AUG.19	REVISION AS PER CITY REQUEST	DD
16	19.AUG.17	REVISION AS PER CITY COMMENT	DD
15	19.AUG.15	REVISION AS PER CITY REQUEST	DD
14	19.AUG.14	REVISION AS PER CITY COMMENTS	DD
13	15.MAR.09	REVISED OFF-SITE PLAN	DD
12	19.JAN.11	NEW SITE PLAN	DD
11	19.JAN.17	NEW SITE PLAN	DD
10	19.JAN.02	AS PER AGP COMMENTS	DD
9	18.AUG.19	NEW CIVIL PLAN/REVISED FENCE DETAIL	DD
8	18.FEB.08	REVISION AS PER CLIENT REQUEST	DD
7	18.JAN.18	NEW SITE PLAN/CITY COMMENTS	DD
6	17.AUG.22	NEW SITE PLAN/CITY COMMENTS	DD
5	17.FEB.01	REVISION AS PER CITY COMMENTS	DD
4	17.JUN.12	NEW SITE PLAN	DD
3	17.MAR.23	NEW SITE PLAN	DD
2	17.MAR.09	NEW SITE PLAN	DD
1	17.FEB.24	NEW SITE PLAN/CITY COMMENTS	DD
NO.	DATE	REVISION DESCRIPTION	DR.

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

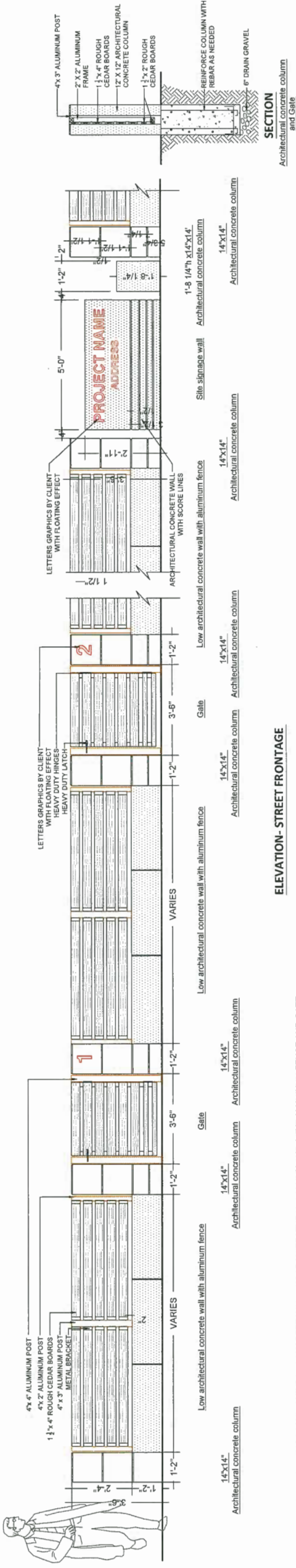
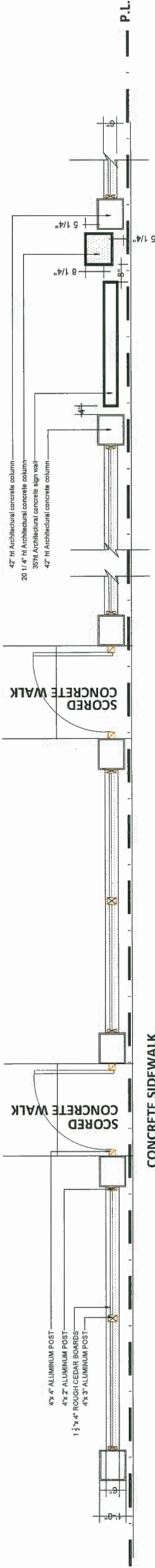
PROJECT:  
**15 UNIT TOWNHOUSE DEVELOPMENT**

**7000-20 WILLIAMS ROAD  
RICHMOND**

WITH: ZHAO XD ARCHITECT LTD.  
DRAWING TITLE:

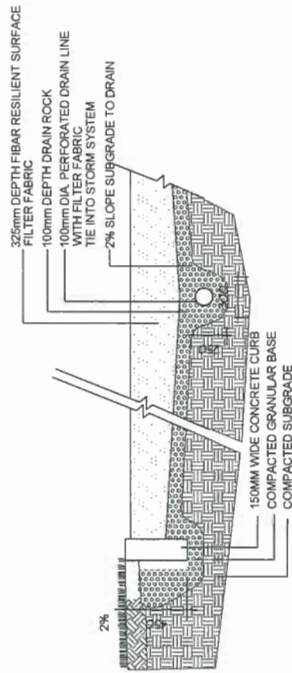
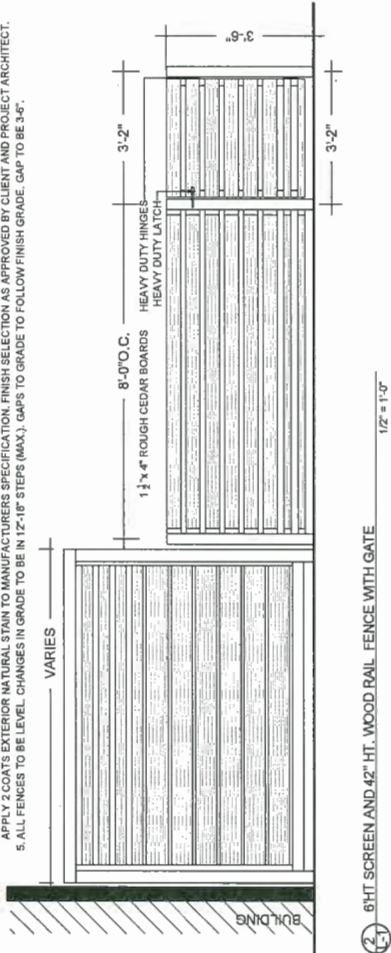
**FENCE PLAN  
PLAN**

SEAL:



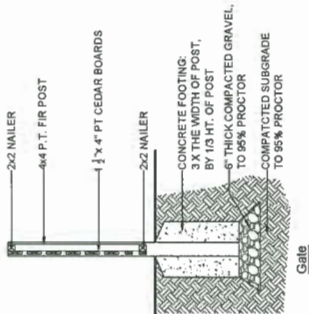
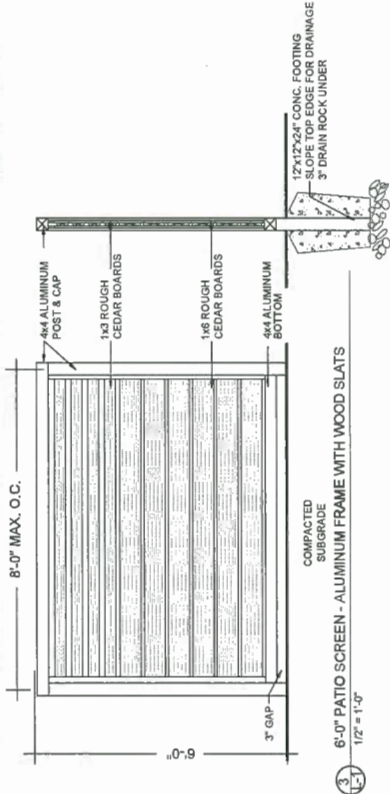
STREET FRONTAGE - 14'HT ARCHITECTURAL CONCRETE WALL, 42" ARCHITECTURAL COLUMN AND 14'HT ALUMINUM FENCE AND GATE

- NOTES:
1. METAL MATERIAL: ALUMINUM TO BE POWDER COATED, TWO COATS. CONFIRM COLOR WITH CLIENT AND PROJECT ARCHITECT.
  2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
  3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
  4. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
  5. APPLY 2 COATS EXTERIOR NATURAL STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY CLIENT AND PROJECT ARCHITECT.
  6. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12-16" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



PLAY AREA DETAIL

- NOTES:
1. METAL MATERIAL: ALUMINUM TO BE POWDER COATED, TWO COATS. CONFIRM COLOR WITH CLIENT AND PROJECT ARCHITECT.
  2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE.
  3. GATE HARDWARE TO BE CHOSEN BY OWNER. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
  4. ALL OTHER MEMBERS TO BE CEDAR. #2 (CONSTRUCTION) GRADE MINIMUM.
  5. APPLY 2 COATS EXTERIOR NATURAL STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY CLIENT AND PROJECT ARCHITECT.
  6. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12-16" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



SECTION

Architectural concrete column and Gate

1/2" = 1'-0"

17	15 APR 20	REVISION AS PER CITY REQUEST	DD
18	15 APR 17	REVISION AS PER CITY COMMENTS	DD
19	15 APR 15	REVISION AS PER CITY REQUEST	DD
20	15 APR 15	REVISION AS PER CITY COMMENTS	DD
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98	15 APR 15	REVISION AS PER CITY COMMENTS	DD
99	15 APR 15	REVISION AS PER CITY COMMENTS	DD
100	15 APR 15	REVISION AS PER CITY COMMENTS	DD

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT:

15 UNIT TOWNHOUSE DEVELOPMENT

7000-20 WILLIAMS ROAD  
RICHMOND

WITH: ZHAO YU ARCHITECT LTD.  
DRAWING TITLE:

LANDSCAPE DETAILS  
DETAILS

DATE: August 23, 2018  
SCALE:  
DRAWN: DD  
DESIGN: DD  
CHKD: PCM  
PMG PROJECT NUMBER: 16-153

DP 17-776441  
Plan #2.F  
May 7, 2019



[illegible]

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION DEVELOPMENTS LTD.

PROJECT: 15 UNIT TOWNHOUSE DEVELOPMENT

7000-20 WILLIAMS ROAD  
RICHMOND

WITH: ZHAO XD ARCHITECT LTD.  
DRAWING TITLE:

## GRADING PLAN

DATE: August 23, 2016

SCALE: 3/32"=1'-0"

51

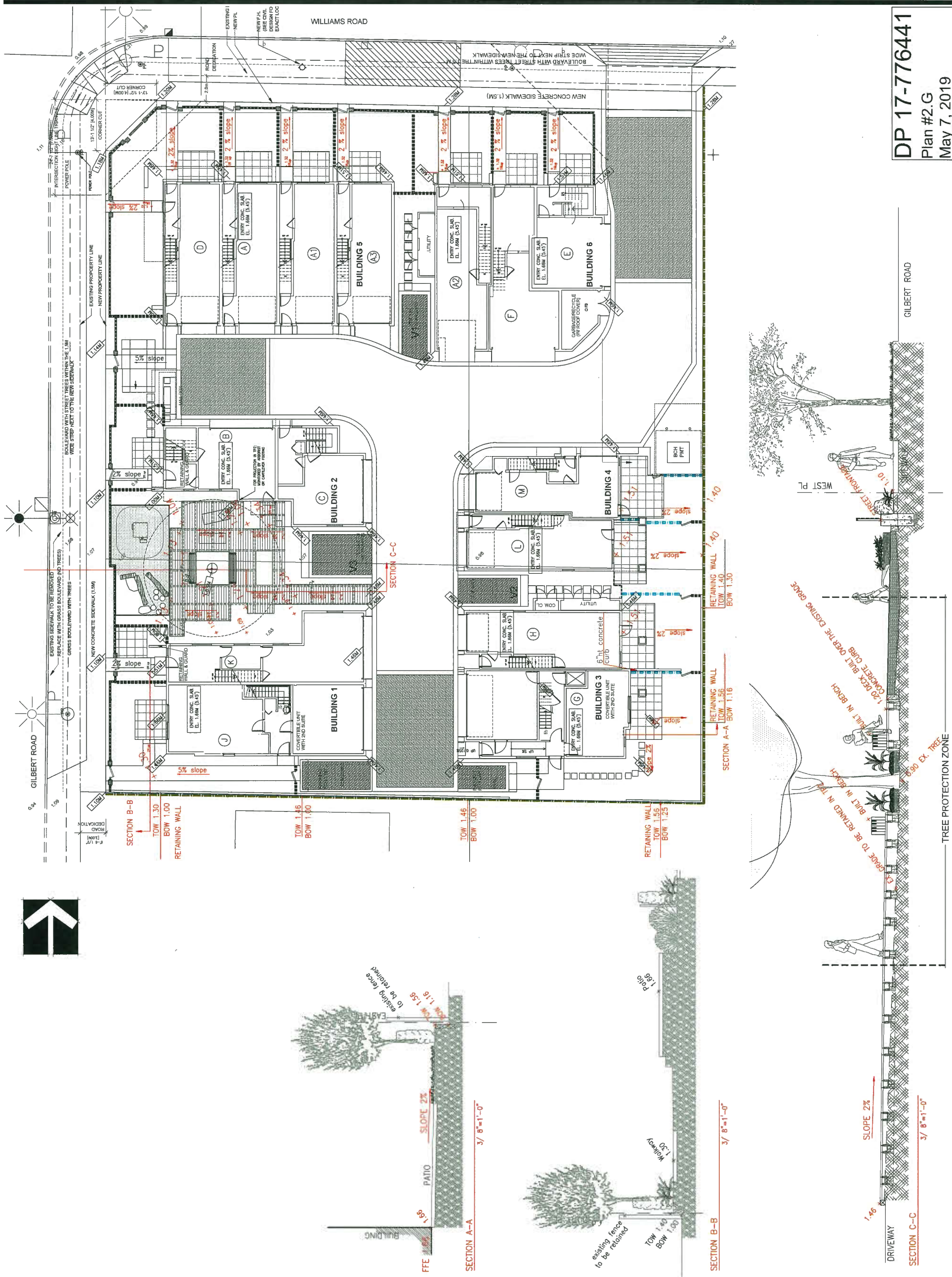
DP 17-  
Plan #2.G  
May 7, 201

DF 17

329000-18-10

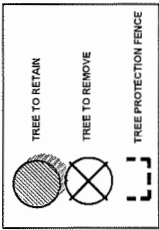
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16-153



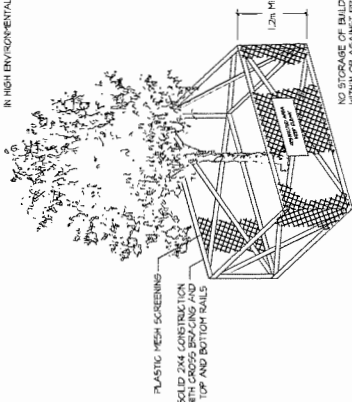


SEAL:



NOTE: ALL TREES REGARDLESS OF AGE ARE PROTECTED  
IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE		
TRUNK DIAMETER IN CAL. @ 1.3m HT	MINIMUM PROTECTION RADIUS IN CAL.	MINIMUM DISTANCE FROM ADJACENT TRENCHES
25	1.2	1.2
30	1.8	1.8
35	2.1	2.1
40	2.4	2.4
45	2.7	2.7
50	3.0	3.0
55	3.3	3.3
60	3.6	3.6
75	4.5	4.5
90	5.4	5.4
100	6.0	6.0



EXTRAPOLATE PROTECTION RADIUS FOR  
100% CANOPY PROTECTION  
10% ABOVE AT PRE-AS-5' HEIGHT OR 1.4M FROM GRADE

NO STORAGE OF BUILDING MATERIALS  
NORTH OR AGAINST PROTECTION BARRIER

### 1A. TREE PROTECTION BARRIER

L3

Tree Information Table

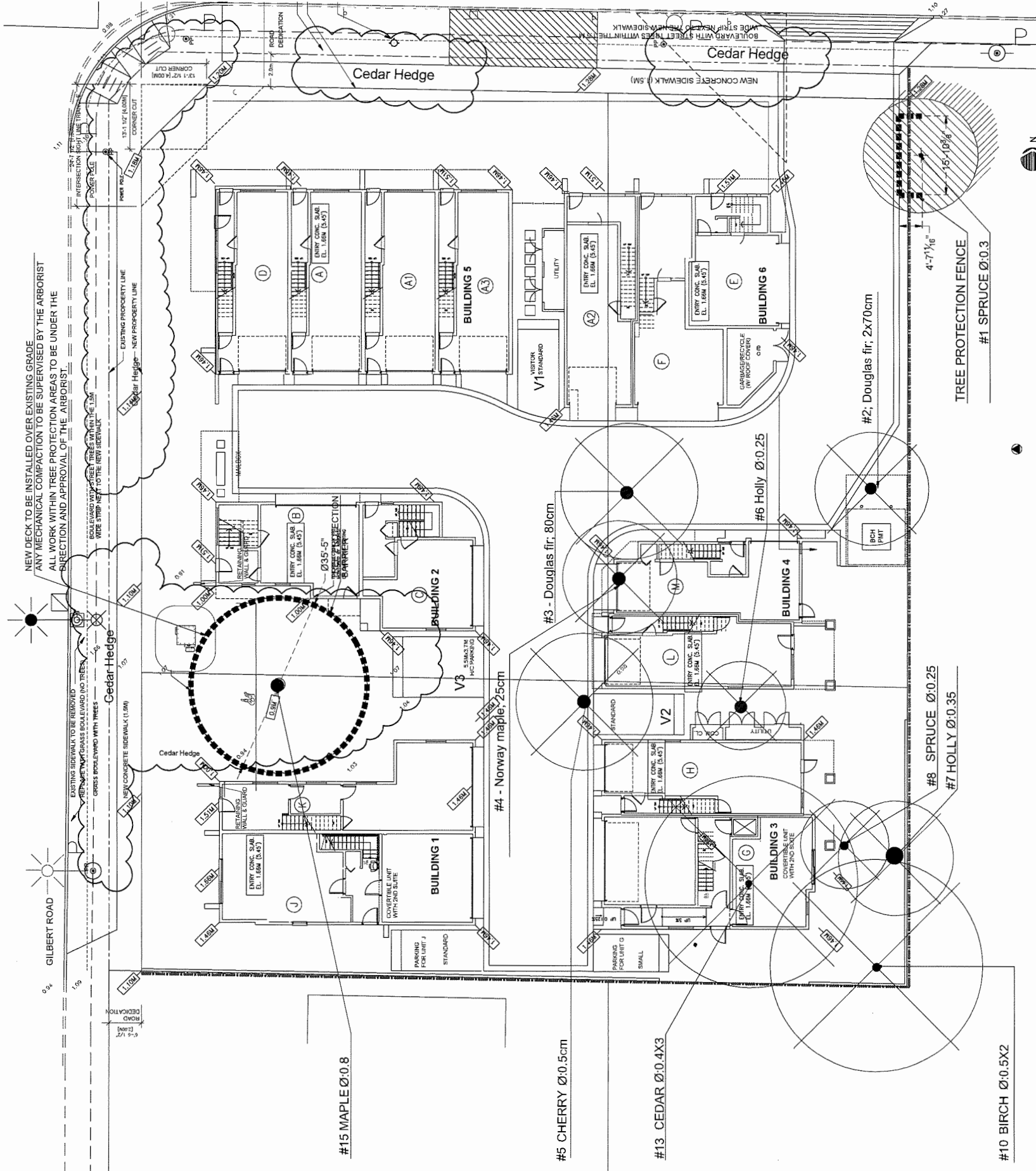
Ref #	Species	Size	Comments	Retention
	On Site Trees			
2	Douglas fir	2 x 70cm	Co dominant main stems from the ground. Tire swing. Large tree with wide spreading form. Good health. Located too close to internal road to allow for retention.	Remove
3	Douglas fir	80cm	Large trunk diameter but not really a large scale tree. Secondary limbs / leader developed off the main trunk. Good health, poor form. Located within an internal road.	Remove
4	Norway Maple	25cm	Small tree located close to much larger fir. Crowded with one spread form. Good health. Located within driveway for building 4.	Remove
5	Cherry	50cm	Fruiting cherry. Prune to control size in the past. Poor form, good health. Located within the internal roadway.	Remove
6	Holly	20cm	Small tree with co dominant main leaders. Good health, poor form. Located between building 3 & 4.	Remove
7	Holly	35cm	Part of a hedge row off Holly in the south west corner. Crowded form. Not suitable for selective preservation due to poor form.	Remove
8	Blue Spruce	25cm	Part of a cluster of trees in the south west corner. Crowded by other larger trees. Limited live foliage due to shading. Located within building 3 footprint.	Remove
10	Paper Birch	2 x 50cm	Old Birch with extensive borer infestation. Only the lower limbs still alive. Very poor condition. Not suitable for preservation.	Remove
13	Western Red Cedar	3 x 40cm	Large multi stem tree in the south east corner. Largest of the trees in the corner. Tall with bushy form. Good health, poor form. Located close to building 3. Located within a hedge row of spruce such that there are no live lower limbs. Upper canopy spreads out over the hedge row. Good health, poor form. Site plan has been updated to allow a reasonable opportunity preserve this tree.	Remove
15	Norway Maple	80cm		Retain

9 EXISTING TREES ARE PROPOSED FOR REMOVAL  
18 REPLACEMENT TREES HAVE BEEN PROPOSED AS PER CITY BYLAW

### Replacement Trees

No of Replacement Trees	Species	
	Botanical Name	Size
6	ACER RUBRUM 'RED SUNSET'	6CM CAL: 2M STD: B&B
2	CERCIDIPHYLLUM JAPONICUM	9CM CAL: 1.8M STD: B&B
1	CHAMAECYPARIS NOOTKATENSIS GLAUCOA PENDULA	4.0M HT: B&B
5	POPULUS TREMULOIDES 'ERECTA'	10CM CAL: 2M STD: B&B
4	QUERCUS PALUSTRIS 'GREEN PILLAR'	11CM CAL: 1.8M STD: B&B

**DP 17-776441**  
Plan #2.H  
May 7, 2019



#15 MAPLE Ø:0.8

#5 CHERRY Ø:0.5cm

#13 CEDAR Ø:0.4X3

#10 BIRCH Ø:0.5X2

#8 SPRUCE Ø:0.25

#7 HOLLY Ø:0.35

#2: Douglas fir: 2x70cm

TREE PROTECTION FENCE  
#1 SPRUCE Ø:0.3

Cedar Hedge

Cedar Hedge



### TREE MANAGEMENT PLAN

WITH ZHAO XD ARCHITECT LTD.  
DRAWING TITLE

7000-20 WILLIAMS ROAD  
RICHMOND

### 15 UNIT TOWNHOUSE DEVELOPMENT

PROJECT:

CLIENT: CANADIAN LIAN CHEN CONSTRUCTION  
DEVELOPMENTS LTD.

NO. DATE REVISION DESCRIPTION DR.

1 17 FEB 24 NEW SITE PLAN COMMENTS DD  
3 17 MAR 09 NEW SITE PLAN DD  
4 17 JUN 12 NEW SITE PLAN DD  
5 17 SEP 01 REVISION AS PER CITY COMMENTS DD  
7 18 JAN 16 NEW SITE PLAN/CITY COMMENTS DD  
9 18 OCT 19 NEW CNA PLAN/REVISED FENCE DETAIL DD  
10 19 JAN 22 AS PER ADP COMMENTS DD  
11 19 JAN 17 NEW SITE PLAN DD  
12 19 JAN 17 NEW SITE PLAN DD  
13 19 JAN 17 NEW SITE PLAN DD  
14 20 MAR 24 REVISION AS PER CITY COMMENTS DD  
15 23 APR 15 REVISION AS PER CITY COMMENTS DD  
17 25 APR 29 REVISION AS PER CITY REQUEST DD



ZHAO XD  
ARCHITECT  
LTD.

#235-11181 Voyager Way,  
Richmond, BC V6X 3N9  
Tel: (604) 273-8832  
Fax: (604) 909-1736  
Email: info@zhaoarch.com  
Web: zhaoarch.com

This drawing shall not be used for construction  
without the authorization of the CONSULTANT

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18FEB/17	CITY COMMENTS
29AUG/16	REZONING APP
Date:	Issued For:

A	DETAIL NUMBER
B	LOCATION SHEET
C	DETAIL SHEET

All drawings, specifications and other related  
documents are the property of Zhao XD Architect  
and shall remain confidential. No part of this  
document may be reproduced, stored in a retrieval  
system, or transmitted in any form or by any  
means, electronic, mechanical, photocopying,  
recording, or by any information storage and  
retrieval system, without the prior written  
permission of the Architect.

The contractor shall ensure that the work is  
completed within the time and budget set out in the  
contract documents and shall be responsible for  
obtaining all necessary permits and approvals  
before proceeding with the work.

Project:

TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

7000-20 Williams - 10060 Gilbert  
RICHMOND, BC

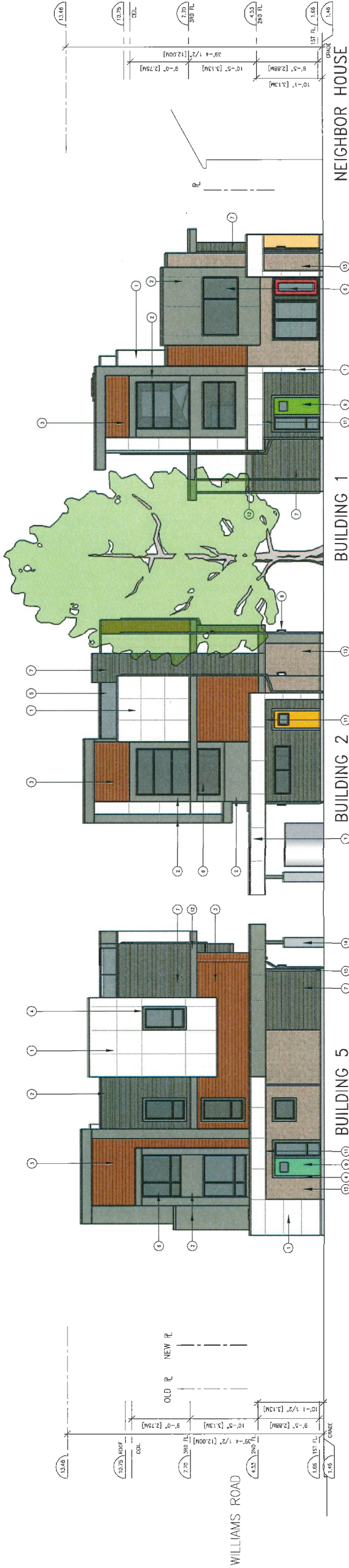
Drawing Title:  
ELEVATIONS

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

A3.00

DP 17-776441  
Plan #3.A  
May 7, 2019

This drawing is NOT to be scaled. Use figured dimensions only.



### WEST ELEVATIONS

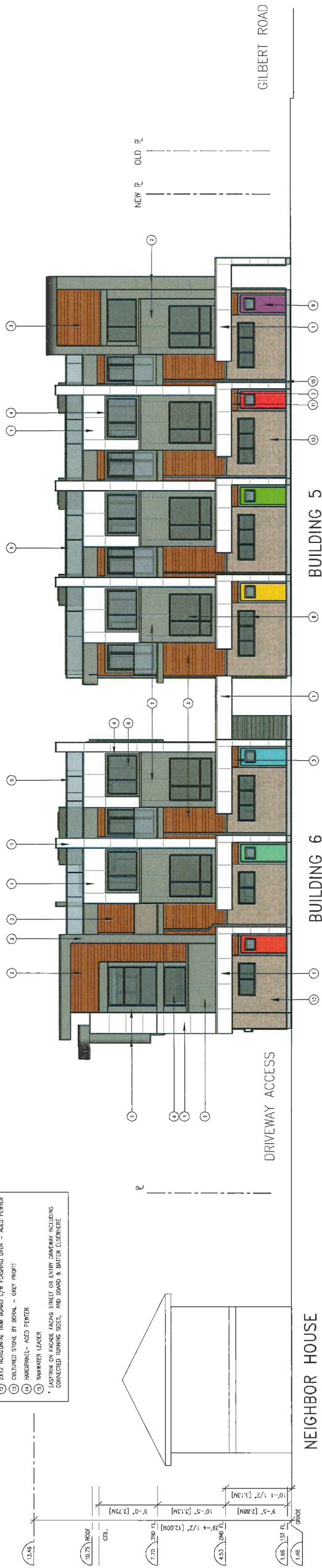
SCALE: 1/8"=1'-0"

(STREET ELEVATION ALONG GILBERT ROAD)

### EXTERIOR FINISH & COLOR

- 1 JAMES HARDIE PANEL \* / ARCTIC WHITE
- 2 JAMES HARDIE PANEL \* / AGED PEWTER
- 3 FISHER (CEMENT BOARD SILING) - COORDINATE 2.0
- 4 2X4 WOOD TRIM - SEE COLOR ELEVATIONS FOR COLOR
- 5 GLASS/ALUMINUM CLAD SYSTEM
- 6 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
- 7 JAMES HARDIE (1/2" - AGED PEWTER
- 8 LIGHT FIXTURE (MOTION SENSOR LED)
- 9 HOLLOW CORE DOOR - SEE COLOR ELEVATIONS FOR COLOR
- 10 GARAGE DOOR: BM-45-555 MONTPELLIER
- 11 POT LIGHTS AT EACH ENTRY
- 12 2X12 HORIZONTAL TRIM BOARD C/P FLASHING OVER - AGED PEWTER
- 13 CULTURED STONE RT BORNAL - GREY PROFIT
- 14 HICKSPRINK - AGED PEWTER
- 15 BROWNISH LACER

\* EASTRIM ON FACING TOWARD STREET OR ENTRY DIMENSION INCLUDING  
CONNECTED TURNING SECTION AND BOARD & BATTEN CLIFFHIDE



### NORTH ELEVATION BUILDING 5

SCALE: 1/8"=1'-0"

(STREET ELEVATION ALONG WILLIAMS ROAD)





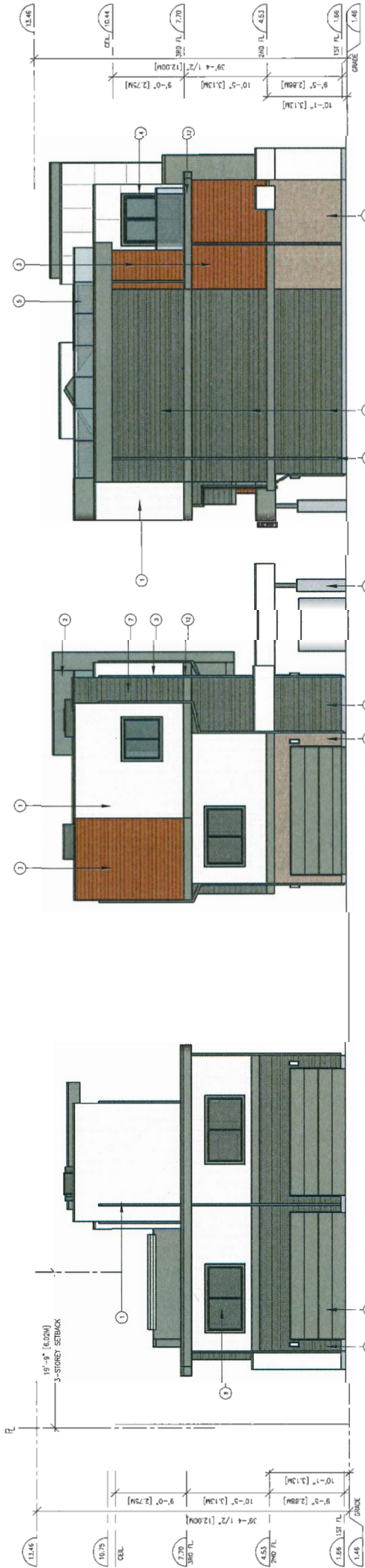


- EXTERIOR FINISH & COLOR**
- 1 JAMES HARDIE PANEL \* / ARCTIC WHITE
  - 2 JAMES HARDIE PANEL \* / AZO PENTER
  - 3 FISHER (CLIMATE BOARD SING) - CEMENTONE 2.0
  - 4 2X4 WOOD TRIM - SEE COLOR ELEVATIONS FOR COLOR
  - 5 CLASS/ALUMN CLASP SYSTEM
  - 6 DOUBLE-GLAZED WINDOWS IN VINYL FRAMES
  - 7 HARDIE SIDING (7) - AZO PENTER
  - 8 LIGHT FIXTURE (MOTION SENSOR LED)
  - 9 MELLOW CURVE DOOR - SEE COLOR ELEVATIONS FOR COLOR
  - 10 GARAGE DOOR IN AL-555 MONTELLER
  - 11 POT LIGHTS AT EACH ENTRY
  - 12 2X12 HORIZONTAL TRIM BOARD C/W FLASHING OVER - AZO PENTER
  - 13 CUSTOM STONE BY BIRAL - GREY PRIST
  - 14 HIPS/PANEL - AZO PENTER
  - 15 HANIKER LEADER
  - \* EASTERN ON FACADE FACING STREET OR ENTRY BRIDGWAY INCLUDING CONNECTED TURNING SIDE, AND BOARD & BATTEN CLIMBER



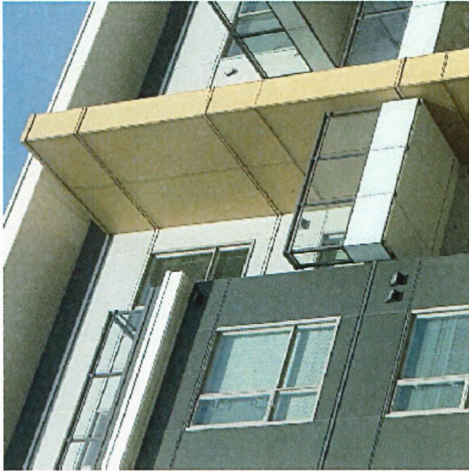
**ZHAO XD  
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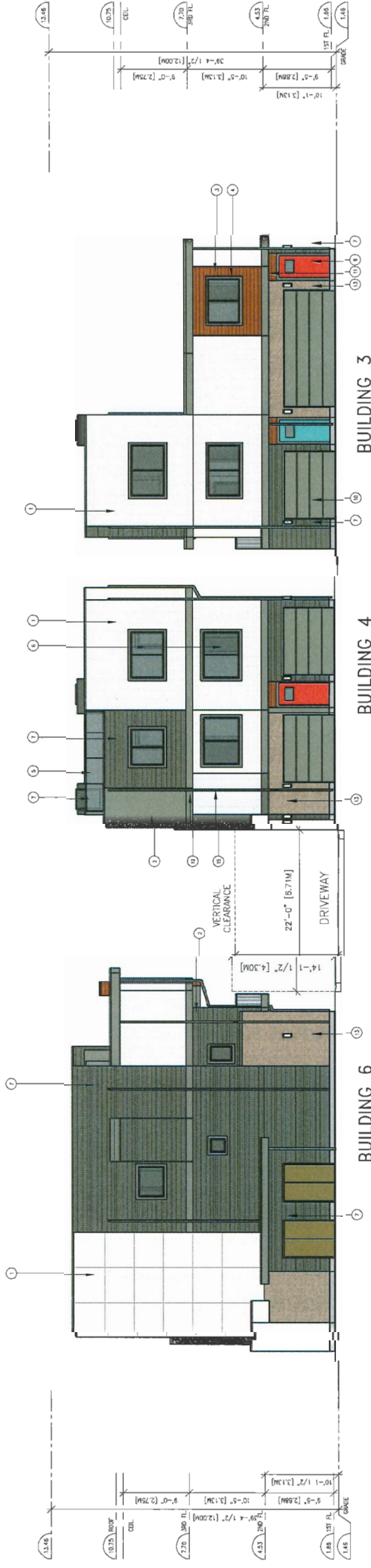


**EAST ELEVATIONS**  
SCALE: 1/8"=1'-0"

(UWF A3)	5'-10" (1.78M)	100.2 SQ. FT.
Uniting wall area	108.2 SQ. FT.	10.0 SQ. FT.
Excluded wall area	10.0 SQ. FT.	1.0 SQ. FT.
Permitted glazed openings	1778.5 SQ. FT.	163.7 SQ. FT.
Proposed glazed openings	1758.5 SQ. FT.	161.7 SQ. FT.



**PRECEDENT SAMPLE OF PANELS & TRIMS**  
TRIMS TO ALIGN WITH WINDOW/DOOR CORNERS  
MAXIMUM SIZED PANELING AS POSSIBLE



**WEST ELEVATIONS**  
SCALE: 1/8"=1'-0"

(UWF A3)	5'-10" (1.78M)	118.8 SQ. FT.
Uniting wall area	1278.5 SQ. FT.	118.8 SQ. FT.
Excluded wall area	10.0 SQ. FT.	1.0 SQ. FT.
Permitted glazed openings	1778.5 SQ. FT.	163.7 SQ. FT.
Proposed glazed openings	1758.5 SQ. FT.	161.7 SQ. FT.

24 MAR/19	ADP COMMENTS
19 NOV/16	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18 FEB/17	CITY COMMENTS
29 AUG/16	REZONING APP
Date:	Issued For:

A	DETAIL NUMBER
B	LOCATION SHEET
C	DETAIL SHEET

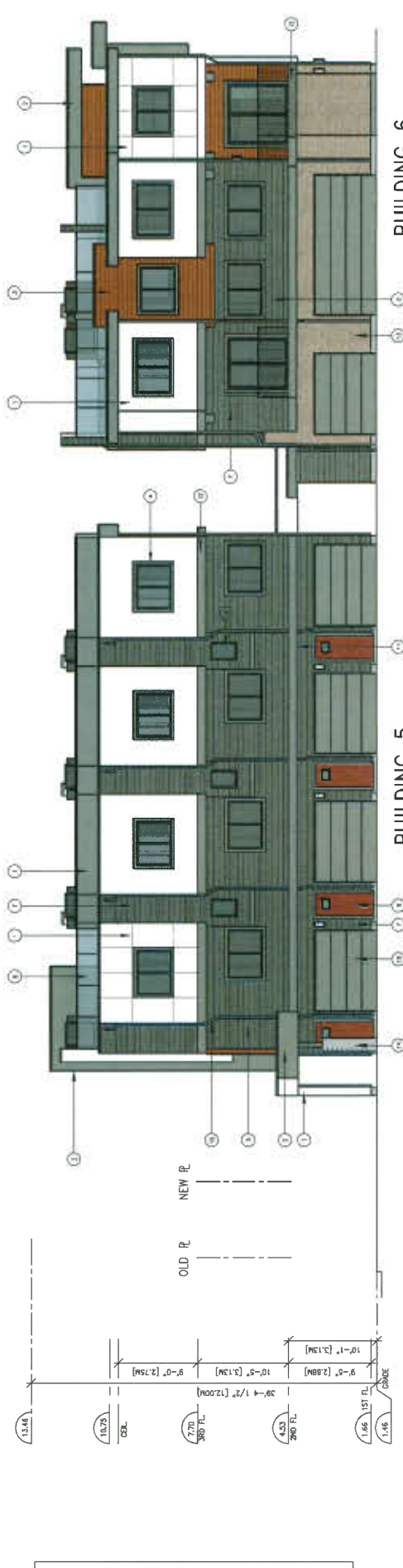
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Project:  
**TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.**  
  
7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:	ELEVATIONS
Date:	
Scale:	
Drawn By:	
Checked By:	
Project No.:	
Drawing No.:	A3.02

**DP 17-776441**  
**Plan #3.C**  
**May 7, 2019**

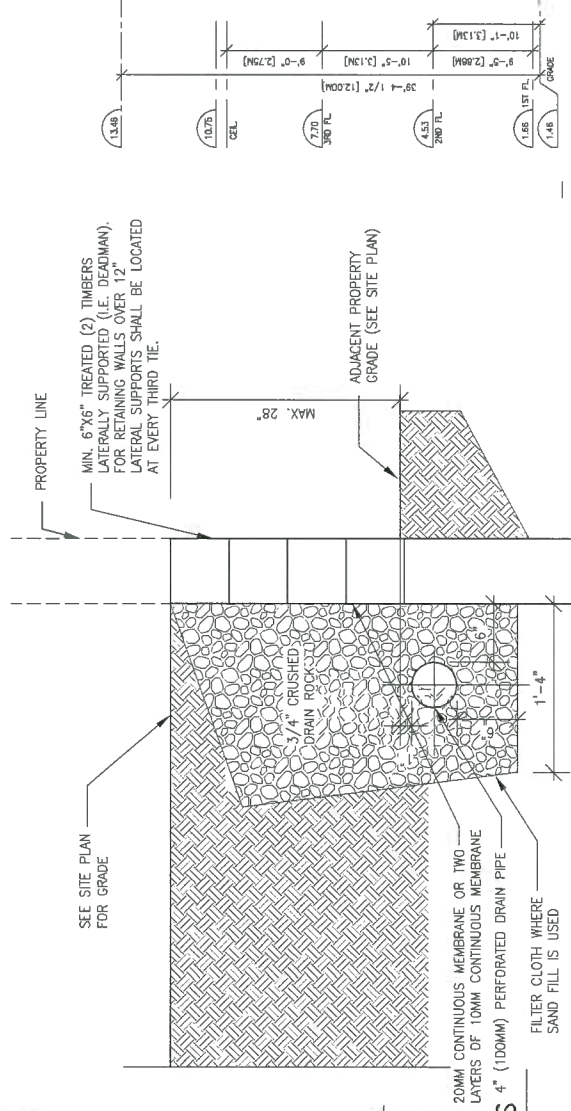




BUILDING 5

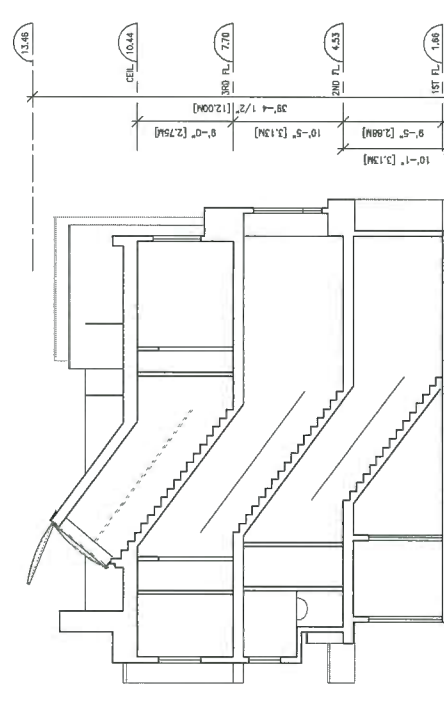
SOUTH ELEVATION

SCALE: 1/8"=1'-0"



SECTION DETAIL - FENCE POSTS

SCALE: 1"=1'-0"



CROSS SECTION

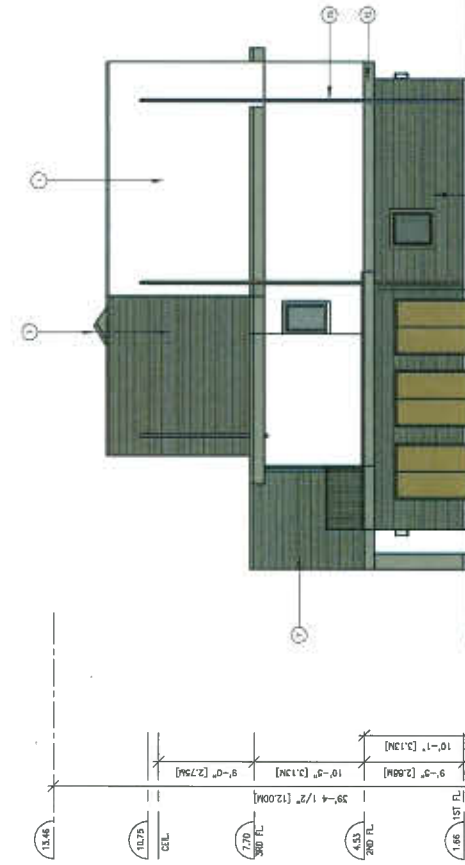
(BUILDING 5)

SCALE:  $1/8"=1'-0"$



NORTH ELEVATION

SCALE: 1/8"=1'-0"



BUILDING 3



BUILDING 1

NORTH ELEVATION

---

SCALE: 1/8"=1'-0"

DP 17-776441

Plan #3 D

May 7, 2019



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TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:

## ELEVATIONS

Date:

Scale:

Drawn 1

Checked

Project No.:

Drawing No.:

A3.03





VIEW 1



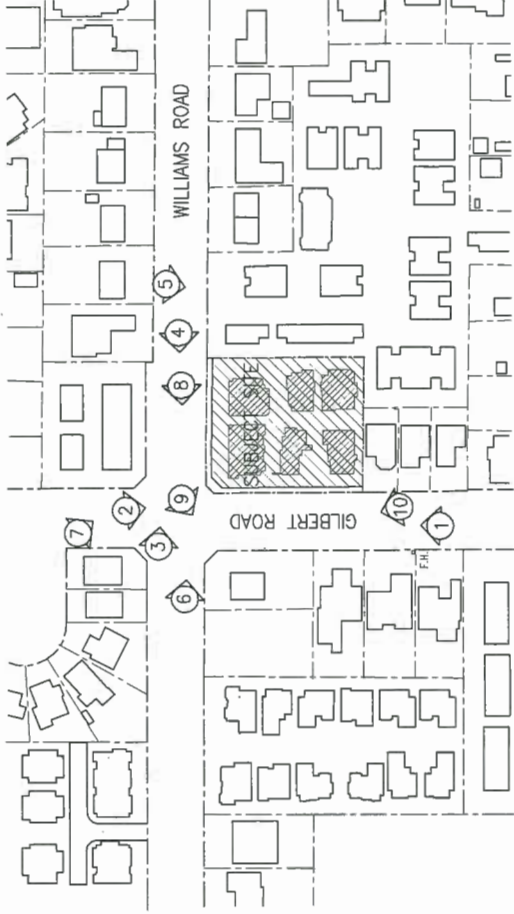
VIEW 2



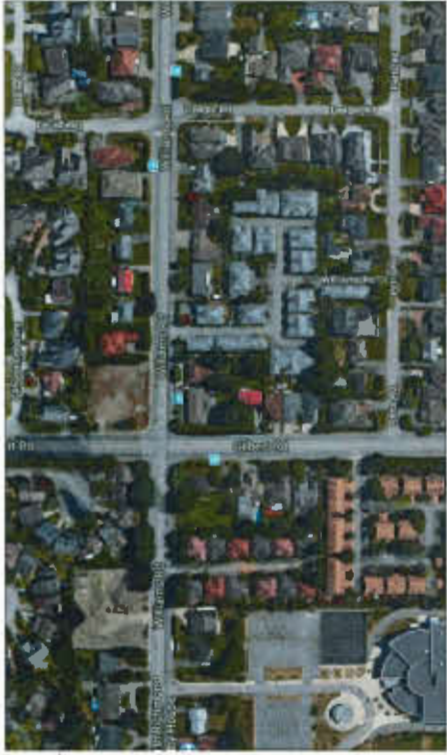
VIEW 3



VIEW 4



CONTEXT PLAN



VIEW 9



VIEW 10



VIEW 5



VIEW 8



VIEW 7



VIEW 6



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12JAN19 ADP COMMENTS  
Date: Issued For:

A DETAIL NUMBER  
B LOCATION SHEET  
C DETAIL SHEET

Project:  
TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:  
CONTEXTUAL  
PLAN & PHOTOS

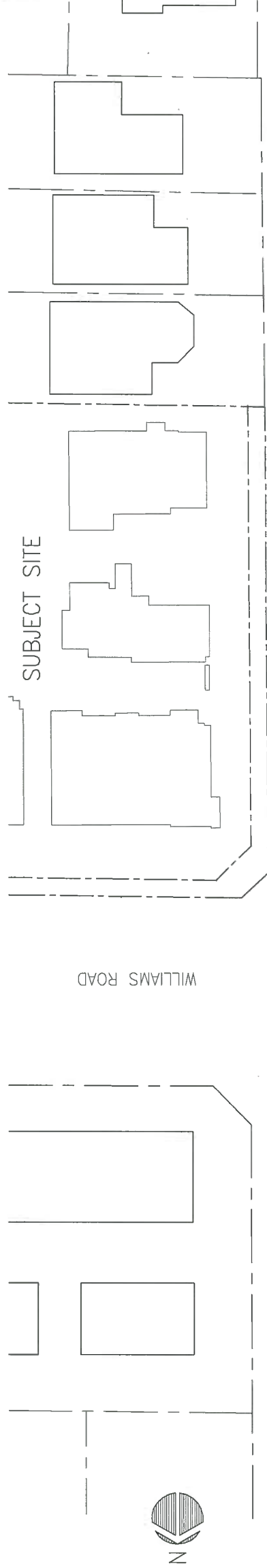
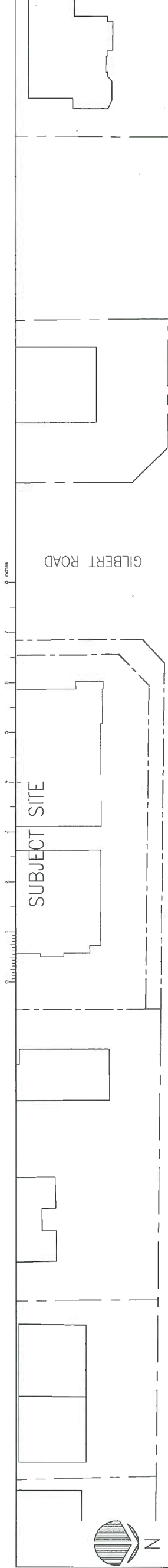
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Scale:  
Drawn By:  
Checked By:  
Project No.:  
Drawing No.:  
A-0.1

DP 17-776441  
REFERENCE PLAN  
May 7, 2019









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Project: TOWNHOUSE DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:

STREETSCAPE  
ELEVATIONS

Date:

Scale:

Drawn By:

Checked B.

Project No.

Drawing No.

## A-0.2



# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** May 9, 2019

**From:** Wayne Craig  
Director of Development

**File:** DP 17-768248

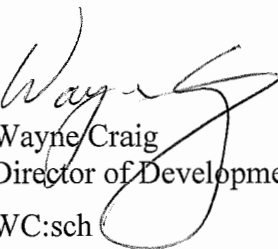
**Re:** Application by GBL Architects for a Development Permit at 6551 No. 3 Road

---

### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the development of a two-phase, high rise, mixed use development at 6551 No. 3 Road and the construction of the development's first phase including the removal and replacement of part of the existing CF Richmond Centre shopping mall with a combination of mall- and street-oriented commercial uses, 1,166 dwellings (including 79 affordable housing units), and new streets and public open space on a site zoned "Downtown Commercial (CDT1)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) reduce the minimum permitted front yard setbacks for Phase 1:
    - i. for balconies adjacent to the Minoru Boulevard/Murdoch Avenue corner from 2.0 m to 1.2 m at Levels 3 to 14;
    - ii. for towers adjacent to the proposed City street at the site's south edge from 3.0 m to 2.0 m at Level 1 and from 3.0 m to 0.5 m at Levels 2 to 14; and
    - iii. for parking located below finished grade from 3.0 m to 0.0 m along the site's Minoru Boulevard frontage and the proposed City street at the site's south edge.
  - b) reduce the minimum parking requirements inclusive of transportation demand management parking reductions:
    - i. for Phase 1, for affordable housing residents from 64 spaces to 30 spaces; and
    - ii. for Phase 2, for affordable housing residents from 0.81 spaces per unit to 0.375 spaces per unit and market rental housing residents from 0.72 spaces per unit to 0.6 spaces per unit.

  
Wayne Craig  
Director of Development  
WC:sch  
Att.

## Staff Report

### Origin

GBL Architects has applied to the City of Richmond for permission to develop a two-phase, high rise, mixed use development at 6551 No. 3 Road and construct of the development's first phase including the removal and replacement of part of the existing CF Richmond Centre shopping mall with a combination of mall- and street-oriented commercial uses, 1,166 dwellings (including 79 affordable housing units), and new streets and public open space on a site zoned "Downtown Commercial (CDT1)" (Attachments 1 and 2). The site currently contains a low-rise shopping mall and associated surface and structured parking.

The site is the subject of an Official Community Plan (OCP) Amendment application (CP 16-752923), which received third reading of Council on December 17, 2018. OCP Amendment Bylaw 9892 provides for changes to the OCP (Schedule 1) and City Centre Area Plan (Schedule 2.10) specific to the subject development, including the addition of new public open space, streets, pedestrian-oriented retail precincts, pedestrian linkages, greenways, bike routes, and multi-modal mobility hubs (Attachment 3). In addition, Bylaw 9892 includes new Development Permit (Special Precinct) Guidelines specific to this project.

As a condition of Council approval of the OCP Amendment application, CF Richmond Centre's Development Permit process is required to proceed in two steps, including:

1. An initial Development Permit application addressing the conceptual design of the two-phase project to facilitate City review and approval of the amount and distribution of floor area across the entire development site, together with the detailed design of Phase 1; and
2. A subsequent stand-alone Development Permit application for the detailed design of Phase 2.

The subject application addresses all requirements with respect to the first of the two required Development Permit applications. Legal agreements will be registered on title prior to OCP Amendment Bylaw adoption to restrict Building Permit issuance for Phase 2 until the stand-alone Phase 2 Development Permit application is submitted and completed to the City's satisfaction.

The scope of off-site improvements required with respect to the two-phase development, as determined to the satisfaction of Engineering, Transportation, and Parks, was agreed to by the developer through the OCP Amendment application process. Prior to OCP Amendment Bylaw adoption, legal agreements will be registered on title to require that the developer undertakes the phase-by-phase design and construction of the required works, at the developer's sole cost, through the City's standard Servicing Agreement processes, including:

1. Prior to Phase 1 Building Permit issuance, a Servicing Agreement(s) for Phase 1 works, which shall include improvements along Minoru Boulevard, the west-half of the new City street along the site's south side, interim frontage upgrades on No. 3 Road near the Brighthouse Canada Line station, and the construction of all areas secured for public access with Statutory Rights-of-Ways with respect to Phase 1 (e.g., west half of Park Road, Minoru Gate, Murdoch Avenue, a new north-south connector road, and most of the central plaza); and
2. Prior to Phase 2 Building Permit issuance, a Servicing Agreement(s) for Phase 2 works, which shall include ultimate frontage upgrades along No. 3 Road and completion of the new City street along the site's south side and the Park Road and plaza Statutory Rights-of-Way areas.



## Development Information

Please refer to attached Development Application Data Sheet (Attachment 4) for a comparison of the proposed development data with the relevant Bylaw requirements.

## Background

6551 No. 3 Road is a roughly 11 ha (28 ac) lot located in the middle of the City Centre's Brighthouse Village area. It is currently occupied by the south part of CF Richmond Centre, a low-rise, low density, automobile-oriented shopping centre and associated parking. Existing development surrounding 6551 No. 3 Road includes the following:

To the North: CF Richmond Centre's north portion, including the "Horizons" residential towers;

To the South: Richmond City Hall and annex;

To the West: Minoru Boulevard, beyond which are low- and high-rise residential buildings, the Richmond Cultural Centre, and Minoru Park; and

To the East: No. 3 Road, beyond which are older, low-rise, auto-oriented commercial buildings, existing mixed use and residential towers, the Canada Line's terminus station (Richmond-Brighthouse) and proposed bus mall, and several properties subject to recent rezoning and Development Permit applications, including:

- 6840 and 6860 No. 3 Road and 8061 Anderson Road "iFortune" comprising an office tower, residential mid-rise building, and retail (RZ 14-678448, which has received third reading of Council, and DP 15-708092);
- 6390 No. 3 Road "Keltic" comprising three residential towers and an office tower, child care, and retail (RZ 17-773703 and DP 18-822743, which have been issued); and
- 6560, 6600, 6640, and 6700 No 3 Road "Bene" comprising a mixed residential/office tower and retail (RZ 15-694855, which has received third reading of Council, and DP 16-754761).

## OCP Amendment and Public Hearing Results

During the OCP Amendment application process, staff identified design issues to be addressed at the Development Permit stage. These issues generally focussed on the development's streetscapes and public realm. The outcome of the OCP Amendment review process was a set of Development Permit (Special Precinct) Guidelines specific to this project. Staff's review of the subject Development Permit application indicates it is consistent with City Centre Area Plan (CCAP) objectives for the development of Brighthouse Village and the project's site-specific Development Permit (Special Precinct) Guidelines (OCP Amendment Bylaw 9892).

The Public Hearing for the subject site's OCP Amendment application (CP 16-752923) was held on December 17, 2018. At the Public Hearing, concern was expressed regarding the following:

1. Number of Affordable Housing Units: The developer has increased the number of affordable (low-end-of-market) housing units in Phase 1 from 75 to 79.
2. Number of Family-Friendly Units: The developer proposes to construct 50% of Phase 1's total 1,166 dwellings (i.e. 584) as family-friendly 2-bedroom (479) and 3-bedroom (105) units. In addition, the development incorporates various family-friendly features including

increased Class 1 bike storage (i.e. 2.0 bikes/unit instead of 1.2 bikes/unit), over-size bike lockers able to accommodate multiple adult/child bikes, and large podium-level amenity spaces with open lawns and equipment for children's play.

3. Number of Driveways along Park Road: The developer has removed all driveways from Minoru Gate and the portion of Park Road located south of Minoru Gate. This will minimize potential pedestrian/vehicle conflicts and allow for temporary road closures for community events (e.g., street parties and fun runs) along the development's key route between No. 3 Road and Minoru Park.

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Downtown Commercial (CDT1)" zone, except for the zoning variances noted below.

Through the applicant's OCP Amendment and Development Permit processes, the developer has satisfied the following development requirements.

1. Subdivision and Statutory Rights-of-Ways: As a condition of Council approval of the OCP Amendment application, the developer must subdivide 6551 No. 3 Road into three fee simple lots, including Lot 1 (Phase 1), Lot 2 (Phase 2), and Remainder Lot A (remaining shopping centre) (Attachment 2), dedicate road widening along Minoru Boulevard and No. 3 Road, and register public-rights-of-passage rights-of-ways on title to secure the proposed Park Road Plaza at the centre of the development and the extensions of Park Road, Minoru Gate, Murdoch Avenue, a new north-south connector road, and Cook Road. All areas secured by rights-of-ways will be owned by the developer and maintained to the City's satisfaction at the developer's sole cost. The design of the subject development has satisfactorily addressed all applicable subdivision and related requirements. A Certificate of Compliance has been received from the BC Ministry of Environment and Climate Change Strategy confirming that development may proceed and land being dedicated as City road is free of contamination.
2. Future City Street: As a condition of Council approval of the OCP Amendment application, the developer must provide for a new City street, at the developer's sole cost, along the south side of the development site. This shall include the developer's registration of a Statutory Right-of-Way on title to the site prior to OCP Amendment Bylaw adoption, followed by the phase-by-phase demolition of the shopping centre's existing multi-storey parkade and road dedication prior to Building Permit issuance. Road construction will be completed on a phase-by-phase basis, at the developer's sole cost, via the City's standard Servicing Agreement processes (secured with Letters of Credit). The design of the subject development satisfactorily addresses all Development Permit-related requirements for Phase 1 with respect to the future City street. Development Permit-related requirements for Phase 2 will be addressed through the future stand-alone Phase 2 Development Permit application.
3. District Energy Utility (DEU): City Centre District Energy Utility Amendment Bylaw No. 9921 was adopted for the subject site (Phase 1 and 2) on October 9, 2018. A standard DEU covenant will be registered on title to the site prior to OCP Amendment Bylaw adoption requiring the developer to design and construct low carbon energy plants, at the developer's

sole cost, and transfer them to the City, together with compatible building and mechanical systems, to facilitate the development's future connection to a City District Energy Utility (DEU). The Phase 1 design includes three low carbon energy plants and satisfies all related Development Permit-level requirements. Development Permit-related requirements for Phase 2 will be addressed through the future stand-alone Phase 2 Development Permit application.

4. Parking and Transportation: Prior to OCP Amendment Bylaw adoption, covenants and Statutory Rights-of-Ways shall be registered on title to the site to secure the developer's voluntary commitment to provide, at the developer's sole cost, transportation demand management (TDM) measures (e.g., Canada Line-related frontage works, pedestrian-crossing improvements, and secured public access through the shopping centre's galleria during transit-operating hours) for the purpose of:
  - a) Satisfying Zoning Bylaw requirements for reducing minimum required parking rates from CDT1 rates to Parking Zone 1;
  - b) Further reducing the required parking rate for affordable housing units from Parking Zone 1 rates to 0.5 spaces/unit;
  - c) Permitting parking reductions of up to 10% for the provision of TDM measures (as permitted by the Zoning Bylaw) together with increased TDM reductions for affordable housing and future (Phase 2) market rental housing (i.e. from 10% to 25%); and
  - d) Permitting sharing of residential visitor parking with commercial parking.

The subject Development Permit application satisfies all applicable OCP Amendment application requirements with respect to parking and transportation. In addition, prior to Development Permit issuance legal agreements will be registered on title to the site to secure transportation measures specific to the subject application, including the proposed Phase 1 Mobility Hub (including car-share and bike-share facilities, smart secured public bike storage, electric vehicle charging facilities, weather protection, signage, and related public amenities), end-of-trip cycling facilities for commercial tenants, bike repair and maintenance facilities for residents, 2-zone transit passes (i.e. 100% of affordable housing units for 2 years, 25% of market units for 1 year, and \$50,000 for commercial tenants and customers), memberships for bike-share (\$30,000) and car-share (\$20,000) for affordable housing occupants, three car-share vehicles, and a 3-year contract with a car-share operator.

5. Affordable Housing: The developer has entered into the City's standard Housing Agreement (Bylaw 9952, adopted January 28, 2019) for the purpose of securing 5% of the residential floor area in each phase (excluding market rental housing) as affordable (low-end-of-market) housing units in two stand-alone affordable housing buildings (i.e. one in each phase). Prior to OCP Amendment Bylaw adoption, the developer must register Housing Covenants on title to the site. For Phase 1, the developer has submitted a Memorandum of Understanding with a non-profit housing operator to the satisfaction of Community and Social Development and the Housing Covenant will set out the details of the developer's affordable housing proposal, as described in the subject Development Permit application. For Phase 2, non-profit operator involvement, site-specific design requirements, and related Housing Covenant amendments will be addressed, to the City's satisfaction, through the future stand-alone Phase 2 Development Permit application.



- a) Phase 1 and Phase 2 Affordable Housing Buildings: The Housing Covenants registered on title to the Phase 1 and Phase 2 properties will provide for the following:

i. Habitable Floor Areas:

Lot/Phase	Max. Residential Floor Area (excluding Market Rental)	Min. 5% Habitable Affordable Housing Floor Area	Proposed Habitable Affordable Housing Floor Area
1	963,987 ft <sup>2</sup> (89,557.3 m <sup>2</sup> )	48,199 ft <sup>2</sup> (4,477.8 m <sup>2</sup> )	49,431 ft <sup>2</sup> (4,592.3 m <sup>2</sup> )
2	800,499 ft <sup>2</sup> (74,368.8 m <sup>2</sup> )	40,025 ft <sup>2</sup> (3,718.5 m <sup>2</sup> )	40,926 ft <sup>2</sup> (3,802.2 m <sup>2</sup> ) *
<b>Total</b>	<b>1,764,486 ft<sup>2</sup> (163,926.1 m<sup>2</sup>)</b>	<b>88,224 ft<sup>2</sup> (8,196.3 m<sup>2</sup>)</b>	<b>90,357 ft<sup>2</sup> (8,394.5 m<sup>2</sup>) *</b>

\* The actual Lot 2/Phase 2 "proposed habitable affordable housing floor area" may vary as a result of the future Phase 2 Development Permit\* review and approval processes, as determined to the satisfaction of the Director of Development and Manager, Community and Social Development, provided that it is not less than 5% of the "Max. Residential Floor Area (excluding Market Rental)" approved through the Phase 2 Development.

ii. Dwelling Unit Numbers & Mix:

Lot/Phase	Bachelor	1-Bedroom	2-Bedroom	3-Bedroom	Total
1	12 (15%)	37 (47%)	22 (28%)	8 (10%)	79, including 38% 2- & 3-Bedroom
2	22 (37%)	0 (0%)	40 (63%)	0 (0%)	62, including 63% 2-Bedroom
<b>Total</b>	<b>34 (24%)</b>	<b>37 (26%)</b>	<b>62 (44%)</b>	<b>8 (6%)</b>	<b>141, including 50% 2- &amp; 3-Bedroom</b>

- iii. Basic Universal Housing (BUH): 100% of affordable housing units shall comply with the Zoning Bylaws BUH requirements.

iv. Affordable Housing Strategy Requirements:

Unit Type	Minimum Habitable Unit Area	Maximum Monthly LEMR Unit Rent*	Total Household Income (Max)*
Bachelor	400 ft <sup>2</sup>	\$811	\$34,650 or less
1-BR	535 ft <sup>2</sup>	\$975	\$38,250 or less
2-BR	741 ft <sup>2</sup>	\$1,218	\$46,800 or less
3-BR	980 ft <sup>2</sup>	\$1,480	\$58,050 or less

\* Rate shall be adjusted periodically as provided for under adopted City policy.

- b) Phase 1 Stand-Alone Affordable Housing Building: In addition to the above, the Phase 1 Housing Covenant shall, among other things, secure the following building features.

- i. Phase 1 Stand-Alone Building Area: The affordable housing building shall comprise at least 67,900 ft<sup>2</sup> (6,308.1 m<sup>2</sup>), excluding the floor area of uses and spaces located within the parkade as follows:

Features for Exclusive Affordable Housing Occupant Use (Outside the Parkade)	Floor Areas
▪ Habitable (Dwelling Unit) Floor Area @ Levels 2-13	49,431 ft <sup>2</sup> (4,592.3 m <sup>2</sup> )
▪ Circulation @ Levels 1-13	10,020 ft <sup>2</sup> (930.9 m <sup>2</sup> )
▪ Residential Service Uses (e.g., mechanical) @ Level 2	493 ft <sup>2</sup> (45.8 m <sup>2</sup> )
▪ Indoor Amenity Space @ Level 2	2,029 ft <sup>2</sup> (188.5 m <sup>2</sup> )
<b>SUB-TOTAL</b>	<b>61,972 ft<sup>2</sup> (5,757.5 m<sup>2</sup>)</b>
▪ Areas excluded from FAR calculations (e.g., core & service uses)	5,927 ft <sup>2</sup> (550.6 m <sup>2</sup> )
<b>TOTAL / Gross Floor Area</b>	<b>67,900 ft<sup>2</sup> (6,308.1 m<sup>2</sup>)</b>

- ii. Additional Phase 1 Building Features: Affordable housing building occupants will have access to the following features at no cost to the occupants (i.e. no fees or charges shall apply over and above the Council approved rents):
    - Exclusive use of 189 m<sup>2</sup> (2,029 ft<sup>2</sup>) of indoor amenity space, including at least 19 m<sup>2</sup> (200 ft<sup>2</sup>) of office space for the use of the housing operator;
    - Shared use, with Phase 1's market housing unit occupants, of the outdoor amenity space on Level 2 adjacent to the building's indoor amenity space.
    - Exclusive use of 30 parking spaces;
    - Exclusive use of 158 secure Class 1 bike storage spaces, including 16 over-sized bike lockers for family use and low-powered vehicles (e.g., mopeds); and
    - Exclusive use of a bike repair/maintenance facility including a foot-activated pump, repair stand with integrated tools, and bike wash.
6. Public Art: Prior to OCP Amendment Bylaw adoption, a covenant shall be registered on title to the site to secure the developer's voluntary commitment to provide public art, as per Richmond's Public Art Strategy, in Phase 1 and Phase 2. A Detailed Public Art Plan for Phase 1 was endorsed by the Richmond Public Art Advisory Committee (RPAAC) in June 2018. Revisions to the Plan, to accurately reflect the specifics of the Phase 1 development, will be presented to RPAAC for information purposes on May 22, 2019. The revised Plan includes updated floor areas plus additional artworks (i.e. over and above the developer's voluntary Public Art Strategy contribution) proposed through the OCP Amendment application review process to screen above-grade parking and utilities along the north leg of Park Road. This screening is specifically addressed in the site-specific Development Permit (Special Precinct) Guidelines prepared for this project. The details of the artwork screening, which is generally described in the subject application, will be the subject of a future General Compliance application and approval by the Development Permit Panel and Council.  
  
Prior to issuance of the subject Development Permit, the developer's Phase 1 public art contribution (\$1,229,242) will be secured as follows:
  - a) \$829,242 for artworks within the Park Road Plaza and along the site's Minoru Boulevard frontage (in compliance with Richmond's Public Art Strategy), including \$41,462 (5%) in cash for City administration and \$787,780 (95%) as a Letter of Credit; and
  - b) \$400,000 for decorative screening (secured with a Letter of Credit) over and above the developer's voluntary Phase 1 Public Art Strategy contribution.
7. View Blockage and Other Development Impacts: The subject development's towers satisfy Development Permit Guidelines with respect to tower separation. Prior to Development Permit issuance, a covenant will be registered on title to the site to notify potential purchasers that all dwelling units are located in mixed use buildings and future adjacent development may block views and/or have other impacts
8. Aircraft Noise: The OCP permits residential and other aircraft noise sensitive uses in this location, subject to specific requirements. Prior to Development Permit issuance, the City's standard mixed use aircraft noise covenant shall be registered on title requiring that an acoustic report, prepared by a certified professional and satisfactory to the City, is submitted prior to Building Permit issuance.

9. On-Street Tree Removal and Replacement: The developer proposes to remove and replace 27 bylaw-size trees (at a rate of 2:1) to facilitate the construction of Phase 1. The required 54 replacement trees will be secured through the Phase 1 DP landscape Letter of Credit.

In addition to the above, prior to Development Permit issuance, legal agreements will be registered on title to ensure that the following development requirements are completed to the satisfaction of the City:

1. Phase 1 Occupancy Staging Plan: To ensure that Phase 1 will provide for a five-stage, prior-to-occupancy delivery of specific development features and amenities (e.g., roads, public open space, affordable housing, amenity space, public art, and parking);
2. Shared Residential Amenity Space: To secure the required amount and distribution of residential common indoor and outdoor amenity space in Phase 1, which spaces shall be specifically designated for shared or exclusive use by market housing and/or affordable housing occupants as set out in the Phase 1 Development Permit;
3. Electric Vehicle (EV) Strategy: To secure the required amount and distribution of charging facilities in Phase 1 (i.e. 100% of resident and 2% of commercial spaces), including EV-equipped parking spaces for the public (8) and car-share (3) at the Phase 1 Mobility Hub;
4. Loading Strategy: To secure the shared use of Phase 1's required loading and waste management facilities; and
5. Public Washrooms: To secure the developer's commitment to design, construct, and maintain washrooms for public use on Lot 2, at the developer's cost, as determined to the satisfaction of the City through the future Phase 2 Development Permit process.

#### **Zoning Compliance/Variances** (staff comments in ***bold***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) reduce the minimum permitted front yard setbacks for Phase 1:
  - i. for balconies adjacent to the Minoru Boulevard/Murdoch Avenue corner from 2.0 m to 1.2 m at Levels 3 to 14;  
***Staff support the proposed variance as it is limited to one corner of the site and the balconies will not conflict with pedestrian circulation or vehicle sightlines.***
  - ii. for towers adjacent to the proposed City street at the site's south edge from 3.0 m to 2.0 m at Level 1 and from 3.0 m to 0.5 m at Levels 2 to 14; and  
***Staff support the proposed variance as it is consistent with the development's site-specific Development Permit (Special Precinct) Guidelines, which encourage a combination of varied building setbacks, gardens, planters, trees, terraces, and public seating along the site's south frontage with the aim of conveying an informal, contemporary, landscape character complementary to that of City Hall.***
  - iii. for parking located below finished grade from 3.0 m to 0.0 m along the site's Minoru Boulevard frontage and the proposed City street at the site's south edge.

***Staff support the proposed variance as it is consistent with the development's site-specific Development Permit (Special Precinct) Guidelines and the proposed***



***underground parking will not impact the appearance, landscaping, or amenity of the public realm.***

- b) reduce the minimum parking requirements inclusive of transportation demand management parking reductions:
- i. for Phase 1, for affordable housing residents from 64 spaces to 30 spaces; and
  - ii. for Phase 2, for affordable housing residents from 0.81 spaces per unit to 0.375 spaces per unit and market rental housing residents from 0.72 spaces per unit to 0.6 spaces per unit.

***Staff support the proposed variances as they are consistent with CP 16-752923 with respect to the developer's provision of various on- and off-site transportation improvements (secured by legal agreements registered on title to the subject site).***

### **Advisory Design Panel (ADP)**

The Advisory Design Panel voted to support the subject Development Permit application advancing to the Development Permit Panel (subject to the applicant giving consideration to the ADP's comments) and requested a future presentation regarding key public realm features for information purposes only. The relevant excerpt from the ADP minutes of November 21, 2018 (as amended on December 5, 2018) is attached along with the applicant's design response in ***bold italics*** (Attachment 5). All outstanding design issues have been satisfactorily resolved. An update regarding the development's public realm design will be presented to the ADP following consideration of the subject application by the Development Permit Panel.

### **Analysis**

#### PART 1: Combined Phase 1 & 2 Development Concept

The purpose of the combined Phase 1 and 2 development concept is to facilitate the City's review and approval of the amount and distribution of floor area across the applicant's two-phase, two-lot development site, including affordable housing and market rental housing as required through the developer's OCP Amendment application process.

The proposed development concept illustrated in the subject application is consistent with the maximum permitted density (i.e. 3.15 FAR average across Lots 1 and 2), built form, street pattern, block size, public open space concept, and minimum required percentages of family-friendly 2- and 3- bedroom units (i.e. 40% of market rental units and 50% of other units) and Basic Universal Housing units (i.e. 100% of market rental and affordable housing units and 25% of other units) required through the developer's OCP Amendment application process. The development concept is summarized in the following table.

	<b>Phase 1</b>	<b>Phase 2</b>	<b>Total Combined Phase 1 + 2</b>
<b>Floor Area Ratio</b>	2.86 FAR on Lot 1 only	3.49 FAR on Lot 2 only	3.15 FAR Average across Lots 1 & 2
<b>Total Net Floor Area</b>	104,373 m <sup>2</sup> (1,123,443 ft <sup>2</sup> )	106,788 m <sup>2</sup> (1,149,458 ft <sup>2</sup> )	211,160 m <sup>2</sup> (2,272,901 ft <sup>2</sup> )
▪ <b>Residential Area</b>	89,557 m <sup>2</sup> (963,987 ft <sup>2</sup> )	88,011 m <sup>2</sup> (947,342 ft <sup>2</sup> )	177,568 m <sup>2</sup> (1,911,329 ft <sup>2</sup> )
▪ <b>Commercial Area</b>	14,814 m <sup>2</sup> (159,457 ft <sup>2</sup> )	18,777 m <sup>2</sup> (202,116 ft <sup>2</sup> )	33,591 m <sup>2</sup> (361,572 ft <sup>2</sup> )

	Phase 1	Phase 2	Total Combined Phase 1 + 2
<b>Number of Dwelling Units</b>	1,166, including: ▪ Nil Market Rental ▪ 79 Affordable Housing ▪ 1,087 Market Housing	1,131, including: ▪ 200 Market Rental ▪ 62 Affordable Housing ▪ 869 Market Housing	2,297, including: ▪ 200 Market Rental ▪ 141 Affordable Housing ▪ 1,956 Market Housing
<b>Family-Friendly (2- &amp; 3- BR) Units</b>	584 units (50%), including: ▪ 30 Affordable Housing (38%) ▪ 554 Market Housing (51%)	554 units (49%), including: ▪ 80 Market Rental (40%) ▪ 40 Affordable Housing (63%) ▪ 434 Market Housing (50%)	1,138 units (50%), including: ▪ 80 Market Rental (40%) ▪ 70 Affordable Housing (50%) ▪ 988 Market Housing (51%)
<b>Basic Universal Housing Units</b>	299 units (26%) including: ▪ 79 Affordable Housing (100%) ▪ 220 Market Housing (20%)	436 units (39%) including: ▪ 200 Market Rental (100%) ▪ 62 Affordable Housing (100%) ▪ 174 Market Housing (20%)	735 units (32%) including: ▪ 200 Market Rental (100%) ▪ 141 Affordable Housing (100%) ▪ 394 Market Housing (20%)
<b>Parking</b>	2,265 spaces, including: ▪ 1,377 Residential ▪ 885 Commercial ▪ 3 Car-share	1,340 spaces, including: ▪ 816 Residential ▪ 521 Commercial ▪ 3 Car-share	3,605 spaces, including: ▪ 2,193 Residential ▪ 1,406 Commercial ▪ 6 Car-share

Generally, Phase 1 is proposed to be constructed on Lot 1 (including one stand-alone affordable housing building) and Phase 2 is proposed for Lot 2 (including one stand-alone affordable housing building and one stand-alone market rental building); however, the comprehensive planning of the development includes some overlap between the two phases as follows:

1. **Buildable Floor Area:** The majority of the Park Road Plaza will be constructed in Phase 1, but its east side will be completed in Phase 2. In order to achieve a desirable interface between the plaza and Phase 2's retail frontage, the Phase 2 building may encroach onto Lot 1. As a result, through the future stand-alone Phase 2 Development Permit application, the density (shown in the table) may increase marginally on Lot 1 and decrease by an equal amount on Lot 2 (i.e. no change in total combined floor area or maximum density).
2. **Parking:** The proposed Phase 1 development includes 682 spaces that are surplus to its needs. These spaces are intended for the future use of Phase 2 residents (192 spaces) and to satisfy commercial parking bylaw requirements for Phase 2 (31 spaces) and for the remaining portion of the existing shopping centre on 6551 No 3 Road (459 spaces). The balance of the existing shopping centre's 710 required parking spaces will be made up by 251 existing surface parking spaces. Prior to issuance of the subject Development Permit, legal agreements will be registered on title to the subject site to secure Phase 1's surplus parking spaces for the future use of Phase 2 and the remainder mall.

Legal agreements required to be registered on title to the subject site prior to OCP Amendment Bylaw adoption will restrict the construction of Phase 2 pending the future approval of the stand-alone Phase 2 Development Permit application. Through that future DP application, the form and character of the Phase 2 development, including details with respect to the two matters described above, will be addressed to the satisfaction of the City.

## PART 2: Phase 1 Detailed Design

The developer proposes to construct a high-rise, high density, mixed use development in the heart of Brighthouse Village, within convenient walking distance of the Richmond-Brighthouse Canada Line Station, Minoru Park, Richmond Cultural Centre, schools, shopping, existing

residential neighbourhoods, and related amenities. The proposed form of development, which combines articulated streetwall building elements and towers, generally complies with the Downtown Commercial (CDT1) zone and the objectives of the CCAP's Development Permit Guidelines, as amended by the site-specific Development Permit (Special Precinct) Guidelines prepared for the subject development. More specifically, the development has successfully demonstrated:

1. A strong urban concept contributing towards a high-density, high-amenity, mixed-use, transit-oriented environment, comprising pedestrian-oriented commercial uses and a variety of dwelling types (including 50% family-friendly, 2- and 3-bedroom units);
2. Variations in massing contributing towards streetscape interest, solar access to publicly-accessible open space and rooftop residential amenity areas, and upper- and mid-level views across the site for residents and neighbours; and
3. An articulated building typology with distinctive forms and features that will contribute towards local identity, pedestrian interest, and a sense of human scale.

### ***Conditions of Adjacency***

The subject development is designed to respect existing and future neighbours as follows.

1. To the West: The development responds to its existing residential neighbours west of Minoru Boulevard by providing for a "green street" (as per the project's site-specific Development Permit Guidelines), including:
  - a) Greening of the streetscape with landscaped gardens and trees at rooftops, terraces, and feature planting areas integrated into the building facades;
  - b) Slim towers and increased CCAP tower separation, from 24 m (79 ft.) to 35 m (115 ft.), that enhance views across the site; and
  - c) Articulated streetwalls of varying heights, street-fronting townhouses, glassy residential lobbies with outdoor public seating, and greenway/bike path landscape improvements that contribute to a pedestrian-friendly streetscape.
2. To the South: The development responds to the City Hall site by contributing towards a "civic promenade" (as per the project's site-specific Development Permit Guidelines), including:
  - a) Varied building setbacks, gardens, tree planting, and public seating that, together with a broad multi-use path and existing/proposed trees along the south side of the proposed City street (to be designed and constructed at the developer's sole cost through the Phase 1 Servicing Agreement process), contribute towards an informal, park-like public realm;
  - b) Slim towers that extend to grade with glassy lobbies and a terraced, two-storey common amenity building with landscaped roof decks that complement the form and character of the City Hall site, visually expand its park-like qualities, and animate the streetscape; and
  - c) Increased CCAP tower separation, from 24 m (79 ft.) to 35 m (115 ft.), which enhances views across the site.
3. To the East: The development responds to:
  - a) The existing mall frontage along Park Road by creating a small landscaped plaza with public seating, upgrading and integrating the appearance of the mall's existing loading/service area,



installing catenary street lighting, and incorporating unique streetscape features to enhance animation and visual appeal in the form of two dynamic artworks (secured by legal agreements, over and above the developer's voluntary public art contribution) including:

- i. A mural screening the mall's existing utility equipment; and
  - ii. A large two-part artwork screening above grade parking on the fronting Phase 1 building; and
- b) The future Phase 2 development by establishing a new publicly-accessible north-south street (developer owned/maintained right-of-way area over parking) linking Park Road with the proposed City-owned street along the site's south side and installing temporary decorative hoarding along the east side of the proposed Park Road Plaza. (At the time of Phase 2 construction, this hoarding will be replaced with a new retail frontage and pedestrian weather protection.)
4. To the North: The development responds to the prominence of the Murdoch Avenue/Minoru Boulevard corner with a gateway signage feature, special tower lighting (designed to enhance night-time southward views towards the site along Minoru Boulevard), and a broad multi-use path that will be extended west (by others) to Minoru Park (as per CCAP policy).

### ***Urban Design and Site Planning***

The proposed form of development takes advantage of the site's irregular shape, the curving alignment of Park Road, and its central public plaza to create a dynamic, high-density, urban environment that is consistent with the project's site-specific Development Permit Guidelines and characterized by:

1. A "community living room" in the form of a large, sunny plaza at least 2,034 m<sup>2</sup> (0.5 acres) in size (plus building setbacks) at the heart of the development;
2. Slim slab towers that fan out around the plaza's west and south sides;
3. A combination of low- and mid-rise articulated streetwall buildings that provide visual interest and help to impart a human scale;
4. Intimately-scaled, pedestrian-friendly retail streets;
5. Underground parking that helps to hide services uses from public view, reduce building bulk, and allow for generous landscaped public open spaces at grade; and
6. Maximum tower heights that comply with Transport Canada requirements (i.e. 47 m / 154 ft. GSC) and minimum habitable floor elevations that comply with Richmond's flood construction requirements (i.e. 2.9 m / 10 ft. GSC or 0.3 m / 1.0 ft. above the crown of the fronting street).

### ***Architectural Form and Character***

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The project's site-specific Development Permit Guidelines aim to take this objective one step further with an urban design vocabulary built around "green streets" and retail "high streets".

1. The Park Road "high street" is designed to contribute towards the establishment of a distinct downtown marketplace and mixed use neighbourhood through a combination of:
  - a) Continuous small-scale retail shopfronts with an expressed rhythm of bays, individual entrances, large display windows, and pedestrian weather protection;

- b) A well-considered shopfront framework that aims to maintain the integrity of the overall streetscape while supporting flexible design opportunities for tenants (which may be subject to future Development Permit applications);
  - c) Stepped streetwall forms that unify the Park Road's north and south legs;
  - d) Special public artworks on the north leg of Park Road that contribute to a unique and animated public realm, while screening service/parking uses from view; and
  - e) A varied residential expression including a dynamic amphitheatre-like streetwall framing the central plaza.
2. "Green streets", including Minoru Boulevard and the proposed east-west street along the development's south side (near City Hall), provide for:
- a) "Greening" of the buildings by incorporating a variety innovative measures aimed at integrating planting and trees into the architecture;
  - b) An articulated streetwall treatment that enhances the curve of Minoru Boulevard;
  - c) A family of towers differentiated by subtle changes in massing, colour, height, articulation, and lobby treatments; and
  - d) Gateway features that frame entry points to the site's retail precinct.
3. The Mobility Hub complements the surrounding mixed use buildings with a highly transparent, clean-lined, modern architectural expression that will provide for a welcoming day-lit activity node and night-time "lantern" in the public plaza.
4. Rooftop mechanical screening is designed to conceal equipment and enhance views from surrounding towers.
5. A subdued colour palette is used in combination with variations in texture, articulation, and quality materials to break up the massing, reinforce the identity of key public and private spaces, and convey a crisp, contemporary image.

### ***Landscape Design and Open Space Design***

The CCAP encourages the development of a network of neighbourhood parks, greenways, and other landscape features. In addition, the project's site-specific Development Permit Guidelines encourage opportunities to enhance the public realm and family-friendly housing. Highlights of the subject development include:

- 1. A comprehensive, all-season, day/night, high-amenity design for the 2,034 m<sup>2</sup> (0.5 acres) Park Road Plaza (secured for public access with a Statutory Right-of-Way registered on title to the lot) that, together with the associated commercial frontages, provides for features and activities for a broad demographic, including:
  - a) A large grass lawn, decorative paving and lighting, large trees and lush planting, children's play opportunities, and areas for socializing and informal recreation (e.g., tai chi);
  - b) Approximately 1,115 m<sup>2</sup> (12,000 ft<sup>2</sup>) of contiguous flexible outdoor space (equipped with special lighting and infrastructure) that is designed to accommodate special events and community celebrations;
  - c) Pedestrian weather protection;

- d) Fixed and moveable seating (including ergonomic seating options for seniors and others);
  - e) Perimeter retail/restaurant uses, including sunny areas for outdoor dining;
  - f) Landmark public art (which artworks shall be approved in accordance with Richmond's Public Strategy); and
  - g) An interactive water feature (which, if applicable, will be subject to review and licencing by Vancouver Coastal Health prior to Building Permit issuance).
2. Site-specific sidewalk designs incorporate street trees and planting, decorative paving and lighting, public seating and amenities, and wayfinding, together with expanded areas for café seating and outdoor displays along retail frontages.
3. Residential amenity spaces, including:
- a) 7,015 m<sup>2</sup> (1.7 acres) of outdoor amenity space (including 50% children's play space), based on the OCP standard of 6.0 m<sup>2</sup> (65 ft<sup>2</sup>) per dwelling unit, comprising:
    - i. 771 m<sup>2</sup> (8,303 ft<sup>2</sup>) of active outdoor recreation space on Level 2 of the development's south building for the shared use of all affordable housing and market residents; and
    - ii. Eight (8) landscaped rooftop gardens for the exclusive use of Phase 1's market residents (i.e. 4 for use of the north building and 4 for use of the south building) designed to provide for a combination of children's play, strolling, tai chi, socializing, relaxing, outdoor dining, and gardening (i.e. raised plots, tool storage, hose bibs, and related features), together with special landscape and water features; and
  - b) 2,413 m<sup>2</sup> (25,101 ft<sup>2</sup>) of complementary indoor amenity space including :
    - i. 189 m<sup>2</sup> (2,029 ft<sup>2</sup>) of multi-purpose space on Level 2 of the affordable housing building for the exclusive use of the affordable housing occupants;
    - ii. 1,308 m<sup>2</sup> (14,847 ft<sup>2</sup>) of active recreation space (e.g., gymnasium, games and media rooms, children's play room, and multi-purpose space) on Levels 1, 2, and 3 of the development's south building for the shared use of all market residents (i.e. north and south building residents);
    - iii. 763 m<sup>2</sup> (8,213 ft<sup>2</sup>) in the form of 13 small-scale activity rooms (e.g., lounge, wellness, and meeting rooms) distributed between the north and south buildings for the exclusive use of each building's market residents; and
    - iv. 3 guest suites for short-term accommodation (i.e. two in the north building and one in the south), the use of which shall be secured by legal agreements registered on title prior to Development Permit issuance.
4. Private outdoor patios and balconies for all dwelling units.
5. Additional landscaping in the form of green roofs, residential lobby entrance features, landscape buffers along townhouse frontages, and landscaped setbacks along "green streets".
6. Irrigation systems serving all vegetated areas.
7. Green roofs and vegetated areas shall incorporate drought tolerant plants to reduce reliance on irrigation.



***Crime Prevention through Environmental Design (CPTED)***

Measures are proposed to enhance safety and personal security including, but not limited to, the following measures.

1. Casual Surveillance: Minimization of blind corners, prominent residential and commercial lobby entrances, concentration of public transportation amenities within the Mobility Hub (e.g., car-share, bike-share, public bike storage, public EV charging, and drop-off/pick-up facilities), clear sightlines to exits within the parkade, glazed vestibules, street-oriented residential and retail units, and pedestrian scale lighting;
2. Territoriality: Landscape buffers and grade changes between public and private spaces; and
3. Target Hardening: Special security features at all residential, commercial, and parking entrances.

***Accessible Housing***

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the Phase 1 development proposes to provide for:

1. Barrier-free access to all building lobbies and indoor and outdoor amenity spaces;
2. Aging in place features in all dwellings (e.g., stairwell hand rails, lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation, by others, beside toilets, bathtubs, and showers); and
3. 299 Basic Universal Housing (BUH) units (i.e. 26% of total Phase 1 units) designed to satisfy all applicable Zoning Bylaw requirements, including 100% of affordable housing (79 units) and 20% of market housing (220 units).

***Sustainability Measures***

Phase 1's sustainability goal is to provide a cost-effective, high-value development that targets 53 LEED points (i.e. LEED Silver "equivalent", as required by CCAP policy) and responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (Attachment 6). In brief, the Phase 1 development will include, among other things:

1. A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building's energy related systems are operating efficiently and as designed;
2. Low carbon energy plants constructed at the developer's sole cost and transferred to the City, together with compatible building and mechanical systems, to facilitate the development's future connection to a City District Energy Utility (DEU);
3. A multi-modal mobility hub designed to improve first-kilometer-to-last-kilometer connectivity by co-locating an integrated suite of mobility services (e.g., car-share, bike-share, secure public bike storage, and drop-off/pick-up for taxis, ride hailing, shuttle buses, and transit) with amenities, retail, restaurants, residential, and complementary features;

4. Extended off-street bike paths and pedestrian greenways around the perimeter of the site, together with a secured public east-west route through the mall to improve pedestrian access to/from the Canada Line during transit hours;
5. Energized electric vehicle (EV) charging equipment for 100% for resident parking spaces (208V - 240V), 2% of commercial parking spaces (208V - 240V), 10% of Class 1 (i.e. secure) bike storage (120V), and 100% of car-share vehicles (i.e. 3 spaces);
6. End-of-trip cycling facilities for commercial tenants and employees;
7. Bike repair and maintenance facilities for residents;
8. Transit passes and bike- and car-share memberships for residents and tenants;
9. Enhanced building envelope efficiency measures (e.g., 50:50 window to wall ratio);
10. At least 75% of the waste generated from construction will be salvaged or recycled;
11. Low flow/flush plumbing fixtures (e.g., toilets, showers, and faucets) and a high efficiency irrigation system to reduce water usage; and
12. Best practices to optimize air quality and provide a clean and healthy building for occupants.

(Note that while the Phase 1 development shall be subject to CCAP requirements for LEED “Silver” equivalent, Phase 2 will be subject to the BC Energy Step Code.)

## Conclusions

The proposed development is consistent with Richmond’s objectives for the subject property as set out in the OCP, City Centre Area Plan (CCAP), CCAP Development Permit (Special Precinct) Guidelines specific to this project, and Zoning Bylaw. The project’s distinctive form, pedestrian-oriented streetscapes, affordable and accessible housing, public art, landscaping, and sustainable development measures, together with the developer’s concurrent construction of off-site improvements secured through the OCP Amendment application (CP 16-752923), will enhance Brighthouse Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit be endorsed and issuance by Council is recommended.



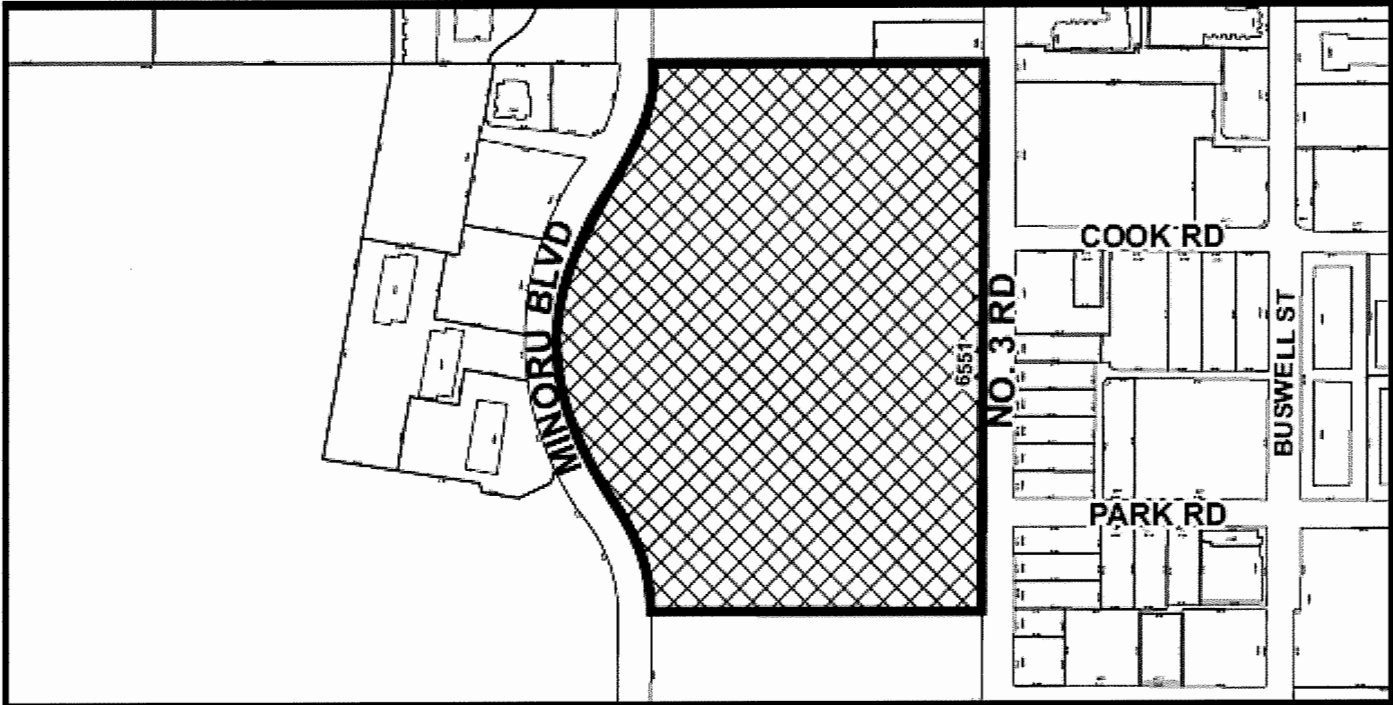
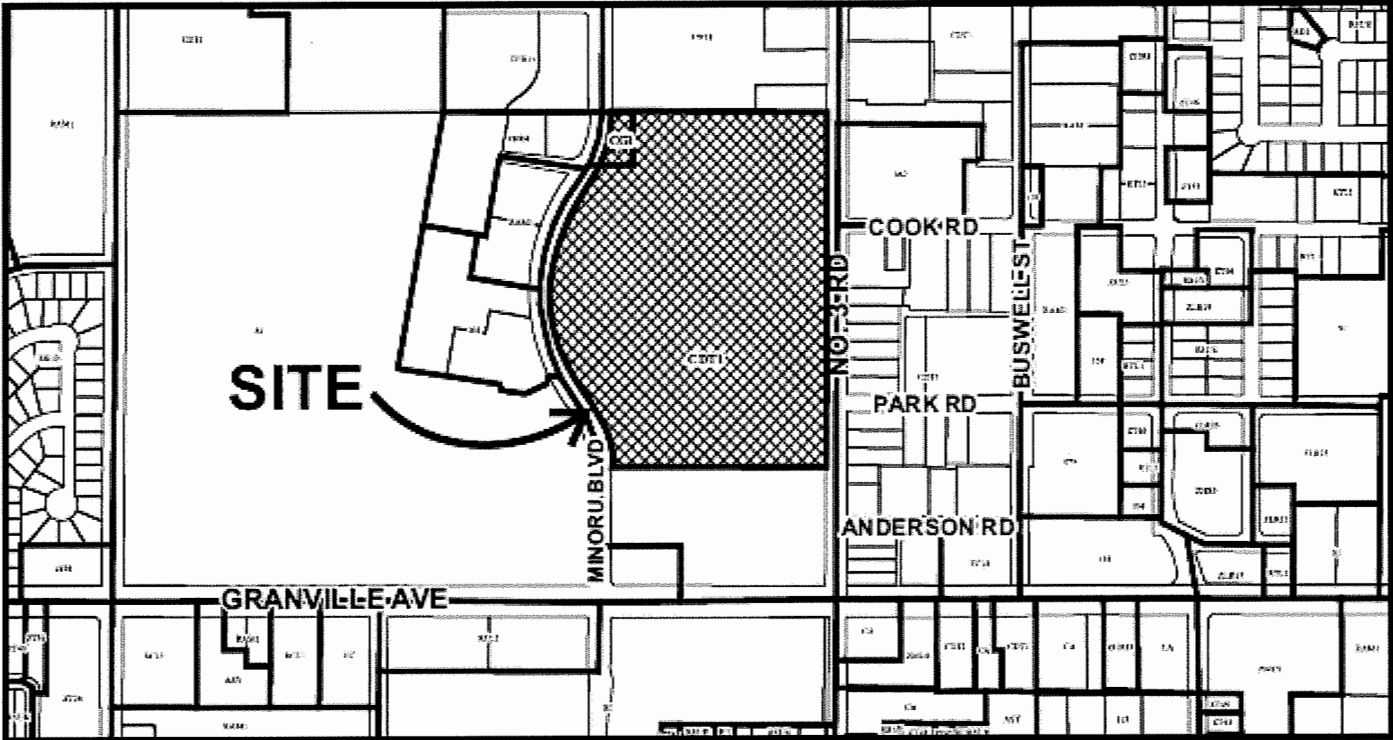
Suzanne Carter-Huffman  
Senior Planner/Urban Design


SPC:cas

## Attachments:

- 1) Location Map
- 2) Phase 1 (Lot 1) & Phase 2 (Lot 2) Boundaries
- 3) Amended City Centre Area Plan (CCAP): Brighthouse Village Specific Land Use Map (Bylaw 9892)
- 4) Development Application Data Sheet
- 5) Advisory Design Panel Minutes, November 21, 2018 (as amended December 5, 2018)
- 6) LEED Checklist
- 7) Development Permit Considerations

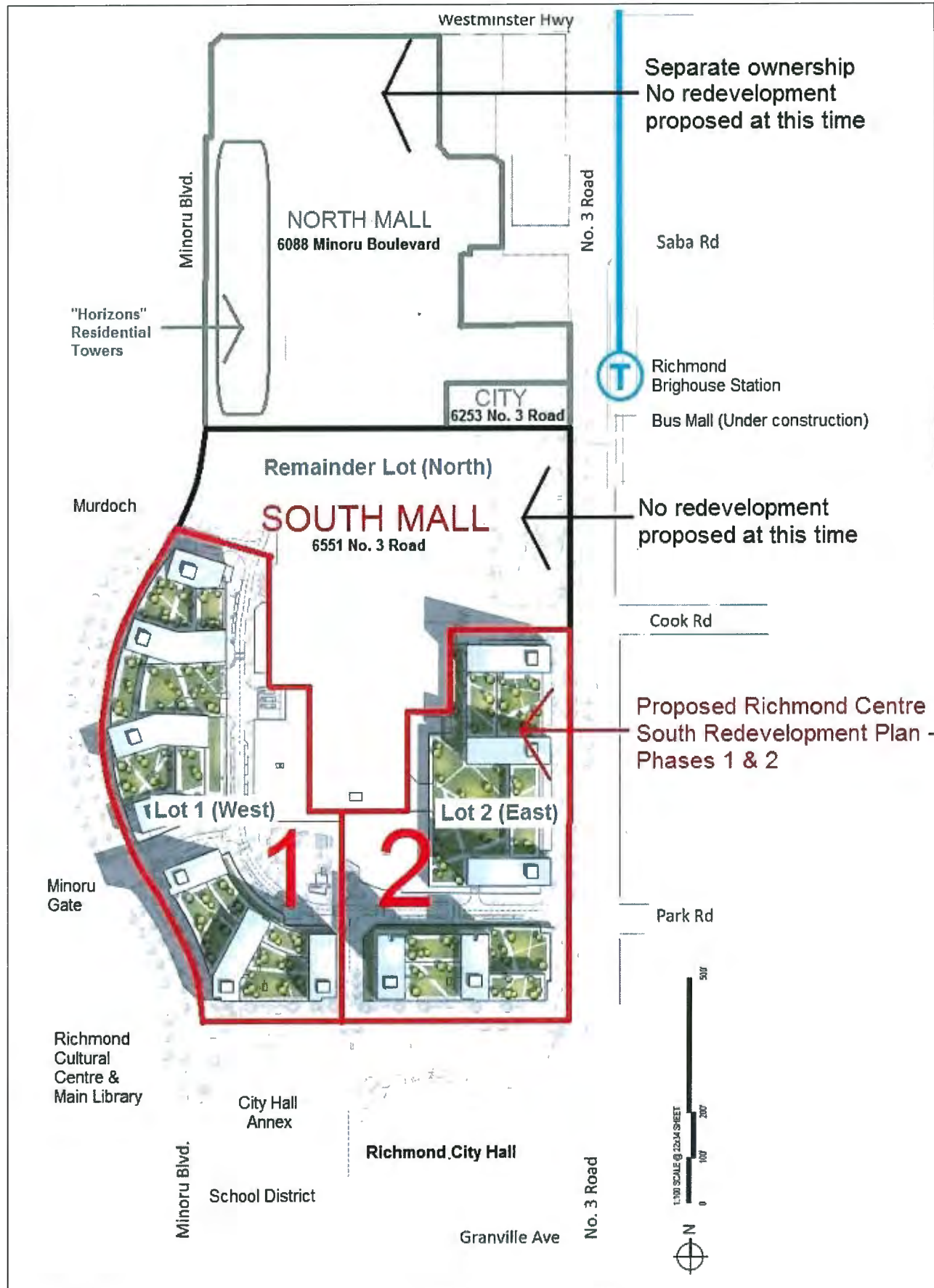
ATTACHMENT 1  
Location Map



	<p>DP 17-768248</p>	<p>Original Date: 05/09/17</p> <p>Revision Date:</p> <p>Note: Dimensions are in METRES</p>
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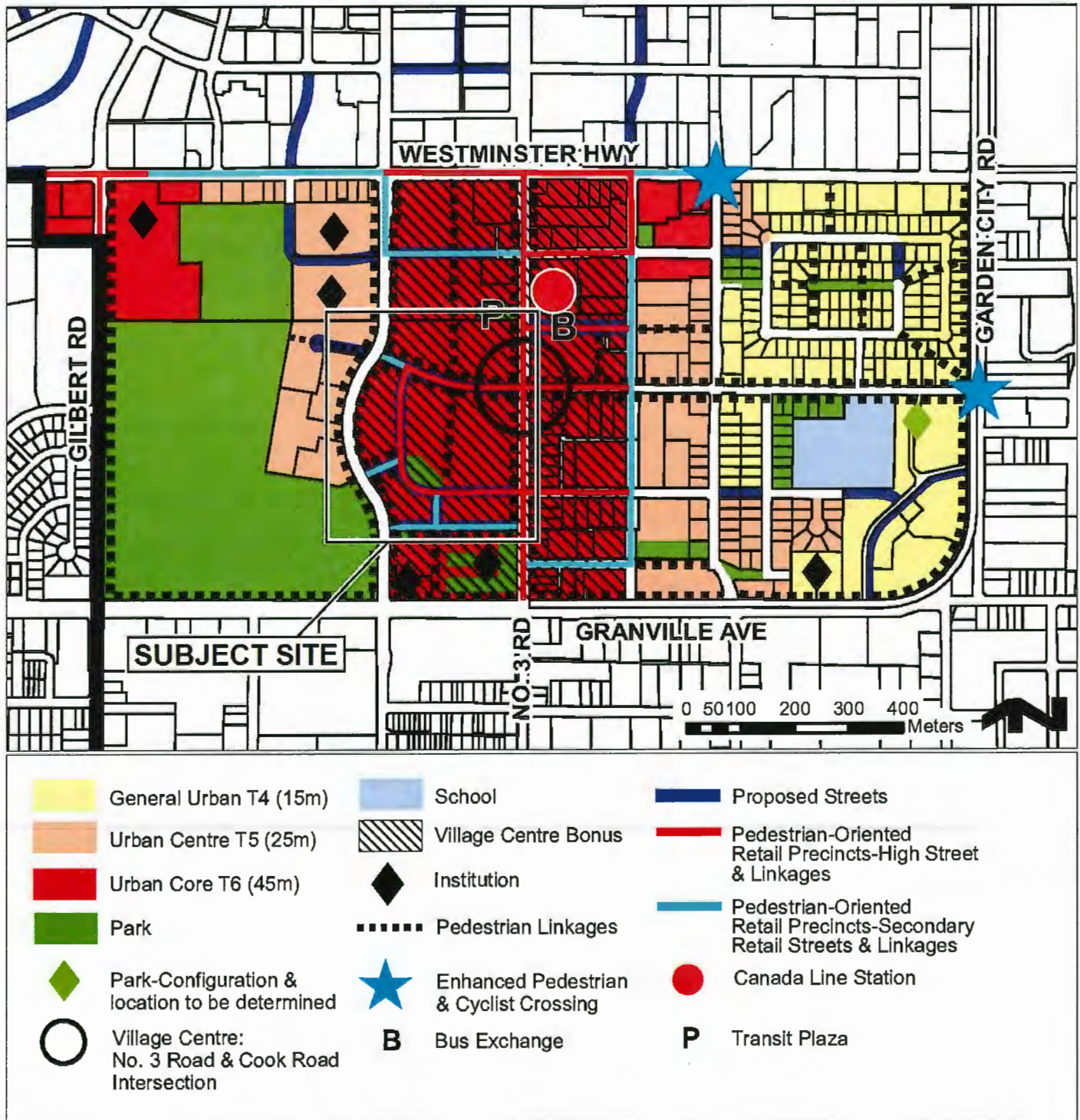
## ATTACHMENT 2

Phase 1 (Lot 1) & Phase 2 (Lot 2) Boundaries





## Specific Land Use Map: Brighthouse Village (2031)





**DP 17-768248**

Address: 6551 No. 3 Road (Richmond Centre / South Mall) – Proposed development of new Lot 1 & Lot 2 (as per CP 16-752923)

Applicant: GBL Architects Owner: RC (South) Inc. & 7904185 Canada Inc.

Planning Area(s): City Centre (Brighthouse Village)

Floor Area Gross: Phase 1 + 2: 2,476,914 ft<sup>2</sup> (230,112.8 m<sup>2</sup>) Floor Area Net: Phase 1 + 2: 2,272,901 ft<sup>2</sup> (211,159.5 m<sup>2</sup>)

	Existing	PHASE 1	PHASE 2	PHASE 1 + 2
Site Area	721,556 ft <sup>2</sup> (67,034.8 m <sup>2</sup> )	LOT 1: 392,504 ft <sup>2</sup> (36,464.8 m <sup>2</sup> )	LOT 2: 329,052 ft <sup>2</sup> (30,570.0 m <sup>2</sup> )	LOT 1 + 2: 721,556 ft <sup>2</sup> (67,034.8 m <sup>2</sup> )
Land Uses	Shopping centre	High-rise/mixed use	High-rise/mixed use	High-rise/mixed use
OCP	Downtown Mixed Use			
CCAP	<ul style="list-style-type: none"><li>▪ Urban Centre T6 (45 m max height)</li><li>▪ Village Centre Bonus</li><li>▪ Pedestrian-Oriented Retail Precinct</li><li>▪ Proposed Streets</li><li>▪ Pedestrian Linkages</li></ul>	As existing, EXCEPT AMENDED (CP 16-752923 / Bylaw 9892) to provide for: <ul style="list-style-type: none"><li>▪ Revised street network to create smaller blocks</li><li>▪ Revised pedestrian network</li><li>▪ Expanded “High Street” (Pedestrian-Oriented Retail Precinct) designation</li><li>▪ New “Park”</li><li>▪ Related DP Guideline changes</li></ul>		
Zoning	Downtown Commercial (CDT1)			
Floor Area Ratio	N/A	2.86 FAR	3.49 FAR	3.15 FAR
Total Net Floor Area	N/A	1,123,443 ft <sup>2</sup> (104,373.3 m <sup>2</sup> )	1,149,458 ft <sup>2</sup> (106,788.1 m <sup>2</sup> )	2,272,901 ft <sup>2</sup> (211,159.5 m <sup>2</sup> )
Residential Net Area	N/A	963,987 ft <sup>2</sup> (89,557.3 m <sup>2</sup> )	947,342 ft <sup>2</sup> (88,011.0 m <sup>2</sup> )	1,911,329 ft <sup>2</sup> (177,568.3 m <sup>2</sup> )
Commercial Net Area	N/A	159,457 ft <sup>2</sup> (14,814.0 m <sup>2</sup> )	202,116 ft <sup>2</sup> (18,777.2 m <sup>2</sup> )	361,572 ft <sup>2</sup> (33,591.2 m <sup>2</sup> )
Number of Units	Nil	1,166, including: <ul style="list-style-type: none"><li>▪ Nil market rental</li><li>▪ 79 affordable housing</li><li>▪ 1,087 Market Housing</li></ul>	1,131, including: <ul style="list-style-type: none"><li>▪ 200 market rental</li><li>▪ 62 affordable housing</li><li>▪ 869 Market Housing</li></ul>	2,297, including: <ul style="list-style-type: none"><li>▪ 200 market rental</li><li>▪ 141 affordable housing</li><li>▪ 1,956 Market Housing</li></ul>
Unit Mix	N/A	<ul style="list-style-type: none"><li>▪ Bachelor: 5% (55 units)</li><li>▪ 1-BR: 45% (527 units)</li><li>▪ 2-BR: 41% (479 units)</li><li>▪ 3-BR: 9% (105 units)</li></ul>	<ul style="list-style-type: none"><li>▪ Bachelor: 16% (186 units)</li><li>▪ 1-BR: 35% (391 units)</li><li>▪ 2-BR: 41% (467 units)</li><li>▪ 3-BR: 8% (87 units)</li></ul>	<ul style="list-style-type: none"><li>▪ Bachelor: 11% (241 units)</li><li>▪ 1-BR: 40% (918 units)</li><li>▪ 2-BR: 41% (946 units)</li><li>▪ 3-BR: 8% (192 units)</li></ul>
Basic Universal Housing (BUH)	N/A	26% (299 units) including: <ul style="list-style-type: none"><li>▪ Affordable Housing: 100% (79 units)</li><li>▪ Market Housing: 20% (220 units)</li></ul>	39% (436 units) including: <ul style="list-style-type: none"><li>▪ Market Rental: 100% (200 units)</li><li>▪ Affordable Housing: 100% (62 units)</li><li>▪ Market Housing: 20% (174 units)</li></ul>	32% (735 units) including <ul style="list-style-type: none"><li>▪ Market Rental: 100% (200 units)</li><li>▪ Affordable Housing: 100% (141 units)</li><li>▪ Market Housing: 20% (394 units)</li></ul>
Aging-in-Place Features	N/A	100% of non-BUH units	100% of non-BUH units	100% of non-BUH units

PARKING	Min. Bylaw Requirement	PHASE 1	PHASE 2	PHASE 1 + 2	Variances
Market Rental	200 @ 0.72/unit = 144	Nil	120	120	Reduce from: ▪ Phase 2: 0.72/unit to 0.6/unit
Affordable Housing	141 @ 0.81/unit = 115	30	24	54	Reduce from: ▪ Phase 1: 64 to 30 spaces ▪ Phase 2: 0.81/unit to 0.375 /unit
Market Housing	1,956 @ 0.9/unit = 1,761	1,155 + 192*	672	2,019	None
Visitors	Shared (Nil)	Nil	Nil	Nil	None
Commercial	28,033.6 m <sup>2</sup> GLA @ 3.375/100 m <sup>2</sup> GLA = 947	395 + 31*	521	947	None
Car-Share	6 (TDM requirement)	3	3	6	None
Other*	N/A	459*	Nil	459*	None
Total	2,973	2,265	1,340	3,605	None

\* 682 "Phase 1 Surplus" parking spaces (i.e. 192 + 31 + 459) will be constructed in Phase 1 for the future use of Phase 2 & the existing shopping centre (and shall be secured by legal agreement registered on title prior to Phase 1 DP issuance). (NOTE: In addition to the Phase 1 Surplus, the existing mall's 251 existing surface spaces make it compliant with Zoning Bylaw requirements.)

PHASE 1 ONLY	Bylaw Requirement	PHASE 1 / Proposed	Variances
Floor Area Ratio	▪ 3.15 FAR max	▪ 2.86 FAR	None permitted
Affordable Housing Habitable Area	▪ Min. 5% of residential area: - 48,199 ft <sup>2</sup> (4,477.8 m <sup>2</sup> )	▪ 49,431 ft <sup>2</sup> (4,592.3 m <sup>2</sup> )	None permitted
Lot Coverage	▪ Max. 90%	▪ 60%	None
Height	▪ Max. 45 m	▪ 45 m	None
Flood Construction Level (Min.)	▪ Parking: N/A ▪ Dwellings: 2.9 m GSC ▪ Other: 0.3 m above crown of road	▪ Parking: - 5.2m GSC ▪ Dwellings: 2.9 m GSC min. ▪ Other: 0.3 m above crown of road	None
Setback @ Front Yards (City Streets)	▪ Min. 6.0 m, but may be reduced to 3.0 m based on an attractive interface with adjacent public spaces	Above Grade: 3.0 m min, EXCEPT: ▪ Along new City street (south frontage): 2.0 m min @ Level 1 & 0.5 m @ Levels 2 - 14	Reduce from 3.0 m to: ▪ 2.0 m @ new City street (Level 1) ▪ 0.5 m @ new City street (Levels 2 – 14)
		Below Grade (Underground Parking): ▪ Minoru Boulevard & new City street (south frontage): 0.0 m	Reduce from 3.0 m to 0.0 m @ underground parking along Minoru & new City street
Setback @ Park Road Plaza (SRW)	▪ Min. 1.5 m	▪ Min. 1.5 m	None
Setback @ Interior Side Yard	▪ Nil	▪ Nil	None
Balcony Projections @ Front Yards (City Streets)	▪ Max. 1/3 of required setback (i.e. min. 2.0 m setback to the property line)	2.0 m min. to the property line, EXCEPT: ▪ Minoru/Murdoch corner: 1.2 m min. @ Levels 3-14	Reduce from 2.0 m to 1.2 m @ Minoru-Murdoch corner (Levels 3-14)
Tandem Parking	▪ None	▪ None	None
Amenity Space: Indoor	▪ Min. 25,101 ft <sup>2</sup> (2,332 m <sup>2</sup> ) (1,166 @ 2.0 m <sup>2</sup> /unit min.)	▪ 25,971 ft <sup>2</sup> (2,413 m <sup>2</sup> )	None
Amenity Space: Outdoor (OCP)	▪ Min. 75,304 ft <sup>2</sup> (6,996 m <sup>2</sup> ) (1,166 @ 6.0 m <sup>2</sup> /unit min.)	▪ 75,511 ft <sup>2</sup> (7,015 m <sup>2</sup> )	None
CCAP Additional Outdoor Landscape	▪ 39,771 ft <sup>2</sup> (3,695 m <sup>2</sup> ) (Min.10% of Net Site)	▪ 39,771 ft <sup>2</sup> (3,695 m <sup>2</sup> )	None

**Excerpt from the Minutes of the  
Advisory Design Panel Meeting  
November 21, 2018 (as amended December 5, 2018)**

**DP 17-768248 – MULTI-TOWER CITY CENTRE MIXED USE REDEVELOPMENT OF  
CF RICHMOND CENTRE SOUTH (PHASE 1)**

ARCHITECT: GBL Architects & Callison RTKL  
LANDSCAPE ARCHITECT: PFS Studio & Hewitt  
PROPERTY LOCATION: 6551 No. 3 Road

### **Applicant's Presentation**

The following individuals presented the project and answered queries from the Panel on behalf of the applicant:

- Joey Stevens, Architect, GBL Architects
- David Chamness, Associate Vice President, CallisonRTKL Inc.
- Kris Snider, Director of Design – Landscape Architecture, Hewitt
- Christopher Mramor, Associate, PFS Studios

### **Panel Discussion**

*Comments from Panel members were as follows:*

- General overview of the project:
- appreciate the innovative design elements and the movement away from a traditional shopping centre with acres of parking spaces;
- the project design has successfully combined residential space on Minoru Boulevard with increased commercial use along No. 3 Road;
- consider expanding on the sense of an integrated development community versus a gated community by better connecting Park Road's commercial precinct with Minoru Boulevard and City Hall; wrap commercial activity around the corners to Minoru Boulevard, create improved sightlines from the plaza out to the neighbours (City Hall and Richmond Art Gallery), add creative wayfinding elements that communicate the connections, improve the physical connections with enhanced 'gateways' into and out of the site;

***The building and landscape design has been revised to better address street-end views and gateway locations.***

- appreciate how the towers are distributed across the site and the opportunities for articulated mass have been done very well;
- appreciate how far the design process has come and support the differentiating of building heights;
- appreciate creating a landmark is a huge undertaking and a tremendous amount of work;
- a project of this magnitude, with six or seven buildings of this size, is large for a single development permit and is very challenging for the Advisory Design Panel; is recommended to be broken up in the future for such large applications;
- consider reducing the height of the podium, in the seven-storey area, to improve the pedestrian experience in that area;

***Streetwall height has been reduced to increase sunlight to the plaza.***

- from a retail standpoint, the colorful renderings depict vitality and it will be important to work with retailers to create a destination within the site framework;
- acknowledge the strength of concept;



- appreciate the strong visual images depicting the treatment of the different streets; but the realization of the images is not happening at the detail level; the 'civic street' does not feel civic as there is little or no civic activity; the high street should have wider sidewalks with street trees and benches and site furnishings as illustrated in the images; the public realm needs more layers; more statement pieces that support the character that is being described in the design concepts;

*The design of the "civic promenade" has been revised to enhance its intended park-like character and better complement the City Hall landscape. Additional landscape/seating areas have been added to enhance Park Road.*

- Residential towers:

- consider using a highlight color on each of the towers to create variety, identity and sense of ownership within the development;
- appreciate the design of the roof lines and how well the roof gardens are integrated with the overall site design;
- consider dedicated locations, outside of the public realm, for use by residents' dogs;

*Two indoor dog runs with dog wash facilities have been added for the use of residents.*

- ensure residential uses, at ground level are not too close to the curb and consider they would benefit from a traffic buffer;
- review the potential for problems for residential units located in the u-shaped residence, at mid-height, where inner units intersect at the corners and will be predominantly in shade;
- appreciate the design work incorporated, along Minoru Boulevard, where the first two or three storeys of residential units is critical to the pedestrian experience;

- Wayfinding:

- be mindful of the wayfinding elements in assisting visually impaired users;
- the wayfinding depictions seem to be focused on vehicular traffic more than pedestrian traffic;

*A comprehensive wayfinding strategy will be prepared for the site.*

- the wayfinding, at Minoru Gate, at the pedestrian level, is very important;

- Use of materials:

- consider changing the colour palette to create a concept more integrated with other structures in the wider city centre area rather than creating what seems like a gateway hotel;
- ensure the pavers used are suitable for persons with restricted mobility and visual impairments;
- the chevron design of the paving stones does not relate to the architecture of the buildings;
- consider moving from a muted color tone to utilizing brighter applications of color;
- encourage different materiality, color or architectural features on the ground plane, to differentiate the gateway area of Murdoch Avenue and Minoru Boulevard;
- consider adding highlights or different colors to improve the identification of zones in the complex;
- review the crosswalks in terms of improving the articulation of the walkway by using unique colors or textures, similar to what has been done in the Steveston area, to identify different zones along High Street;

*This will be addressed through the Servicing Agreement in consultation with Transportation staff.*

- an effective and engaging pedestrian network would benefit the project in terms of improving the commercial activity across the expanse of the site;

- Public art:

- consider placing art in key circulation areas;

*A detailed public art plan has been prepared that includes a 3-part landmark artwork in the plaza, smaller artworks along Minoru Boulevard, and artworks integrated with the buildings along the north leg of Park Road.*

- appreciate the site wide approach to public art;
- consider a collaboration between CF Richmond Centre and Richmond Art Gallery to rotate art within the public spaces;
- support for the importance of public art to this project and encourage the design team to work with the City of Richmond, early in the project, to use art to distinguish this as a unique landmark in the city;

- Landscape across the site:

- appreciate the landscaping treatment in combination with the layering and the small scale of residential units along Minoru Boulevard;
- the landscaping along Minoru Boulevard, with boulevards and a separate bike lane, is comparable to landscaped areas around the Richmond Olympic Oval;
- request landscape architects consult with the City of Richmond on a suitable planting guide for the trees and encourage the use of species other than Ginkgo biloba with denser foliage;

*Street tree species will be confirmed to the City's satisfaction through the Servicing Agreement.*

- appreciate the water features and the green space in the plaza area;
- consider an elevated walkway from north building to the existing mall where greenery could hang over and signage could celebrate the area;
- consider moving the water feature in the plaza out of this prime sunny location to allow for the creation of a sun catchment area with increased seating opportunities, which could expand use into the shoulder season;
- the plan appears to have too few trees along Park Road and increased greenery along south facing facades would be desirable; there is room on the podium of the buildings that faces the central plaza, as well as where the building steps back at the lower level, to incorporate plantings that would be visible from the plaza and offers additional greenery to a fairly imposing building wall;

*The number and size of trees proposed for the plaza has been increased and two smaller treed plaza areas have been added along Park Road (including one in Phase 1 and the other in future Phase 2). The height of the mid-rise building southeast of the plaza has been reduced and its rooftop has been landscaped for use as outdoor amenity space.*

- consider expanding the variety of tree species used along streets; applicant should provide a planting plan for trees; no tree plan was provided;

*Street tree species will be confirmed to the City's satisfaction through the Servicing Agreement. A complete planting plan is included as part of the Development Permit drawings.*

- review the expanse of space allocated for community gardens as these areas may be underutilized or become a maintenance issue for stratas and may need to be transitioned to an alternative use/landscape treatment;

*The design of the proposed garden plots has been revised.*

- consider enhancing the character along the Civic Promenade and including green walls along south facing facades;

*Additional green landscaping has been provided along this frontage at grade and at the podium roof level.*

- consider expanding green roof applications for the visual benefit of elevated residential units looking downward;  
*All rooftops (except tower roofs) are landscaped as usable amenity space or green roofs.*
- match the level of detail along Minoru Boulevard to the detail applied along Park Road;  
*Additional design development has been undertaken.*
- offering detailed plant selection guidelines, dimensions, and renderings would allow for an improved understanding of the sidewalks which appear too narrow at present;
- increase the number of intimate sitting areas by increasing the number of tree plantings with benching areas either behind or underneath the trees; the high street design is lacking the detail proposed by the concept images; the central street design is lacking street trees, seating pods, flower pots, and site furnishings; the pedestrian realm is being squeezed by roadway, parking lay-bys and unfavourable building setbacks; it feels too narrow and underwhelming; more detailed design work is required to illustrate how high street will incorporate the elements conveyed in the precedent images; suggestion to allow for a narrowing of the road in favour of wider sidewalks directly across from the plaza;  
*Additional landscaping and seating have been provided.*
- Gateways on the site:
- the design of the three gateways are underwhelming;  
*Additional design development has been undertaken.*
- Minoru Gate appears to focus more on automobile traffic than pedestrian traffic;
- the winding walkways seem more like squeeze points and are too narrow overall;  
*The walkways have been widened.*
- consider expanding the greenery at Minoru Gate and improving the pedestrian experience as this area is an excellent opportunity to connect through the site to Minoru Park;  
*Additional street trees, planting, and seating have been added.*
- review the potential to enhance the street adjacent to City Hall as a promenade area with coffee shops and food establishments to serve office workers;  
*Retail uses are planned for the south frontage of Phase 2, which will be adjacent to City Hall.*
- the pedestrian experience in the gateways is unremarkable;
- consider greater architectural flourishes to identify areas as robust gateways to the site;  
*Gateway signage pylons and tower features have been enhanced.*
- suggestion to not rely too heavily on tenants to provide the wayfinding or the design for a strong gateway area;
- the articulation and expression of opposing residential lobbies weakens the sense of a gateway;  
*Residential lobbies have been re-oriented to Minoru Boulevard.*
- appreciate the treatment of the building facades at a gateway where there is a transition from commercial to residential;
- the Murdoch Avenue access and corners could be articulated more to increase visibility better suited to the frontage along a commercial High Street;
- suggest greater differentiating in the materials and colors used at gateways to help show different zones or pragmatic areas;
- use the gateways to improve the connection to the adjacent cultural sites;
- Mobility Hub in the plaza:

- the orientation with the elevator block, closes off the view from the streets and spatially blocks access to the plaza;
- consider the expression of the stairs coming up into the park to expand the visual experience for users;
- review whether locating the mobility hub in one of the sunnier locations of the plaza is the optimal use of that space;

*Design development has been undertaken with respect to all aspects of the Mobility Hub.*

- Plaza area:
- review the application of grass in this area versus hard paving as it relates to flexibility of programming for the area;
- consider terracing the 90' wall shadowing the plaza to improve sun exposure;

*The height of this streetwall has been reduced.*

- the provision of benches and lighting at night, is important for activating different programs in the area;

*Night-time and special event lighting and a mix of fixed and moveable seating are proposed.*

- the grassy area in the winter may reduce programming opportunities;

*The owner is committed to a high standard of maintenance throughout the development's public realm and will take steps to ensure all-season use of the lawn.*

- consider the sight lines into the plaza area for pedestrians moving along No. 3 Road, Minoru Boulevard and the Civic Promenade (City Hall) and the visual permeability for the area from all perspectives;

*Large public artworks are proposed for the plaza, together with revised building features, to enhance sightlines.*

- the sight lines throughout the site are important for inviting people into the plaza area;
- consider incorporating wider seating into the curbs for greater detail in the plaza; incorporate more interesting and dynamic seating options that make use of the raised curbs; use the precedents in the concept images presented;

*A mix of fixed seating (benches and platforms) and moveable seating are proposed.*

- consider more hardscape for a civic space;

- High Street:

- review the proposed sidewalks as they appear too narrow for a vibrant High Street area;

*The project's site-specific DP Guidelines encourage a narrower, more intimate sidewalk for the Park Road high street in contrast with the broad linear walkway proposed for the No 3 Road high street.*

- consider wider walkways that allow for expanded pedestrian movement in the area;

- Park Road:

- consider adding another layer, or a similar design change, to the perceived height along Park Road to improve the scale for pedestrians;

**Streetwall heights have been revised.**

- consider the Park Road and plaza sight lines;

- Affordable housing tower:



- consider recessing the lobby area or adding a treatment to the area between the lobby, parking entrance and the commercial loading area to improve the entrance identification and pedestrian experience for residents and interface with adjacent service uses;

*The ground floor of the affordable housing building has been revised to buffer it from nearby service uses and enhance its interface with the public realm.*

- Mechanical issues:
- support the energy and sustainability initiatives incorporated into the design;
- be mindful of required vestibules for Commercial Retail Units (CRU);
- appreciate the design has good parking given the two site service areas, but further consideration should be increasing the height of the PA level of the parkade to accommodate services (increase parking height to 10'8");
- careful consideration should be given to kitchen exhaust terminus within this mixed-use site;
- additional review should also be given to managing the heat generated by a food store as it may become a challenge to absorb that level of heat in the future;
- appreciate the 50% glass to wall ratio on the project;

Civic interface:

- request the applicant to work with City of Richmond staff to improve the interface between CF Richmond Centre and City Hall as this is an opportunity to create truly memorable buildings within the city centre rather than limiting the focus to expanded green space;
- consider moving retail, such as a coffee shop, closer to City Hall, to create a promenade experience rather than a dense walkway; and

*Retail uses are planned for the south frontage of Phase 2, which will be adjacent to City Hall.*

- potential exists for greater activation of this area by opening it up for use by people as opposed to another 'green' street.

**Panel Decision**

It was moved and seconded

*That DP 17-768248 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.*

**CARRIED**

Opposed: Amber Paul  
Rocky Sethi  
Doug Shearer



Targeted	Pending	Not Pursued
55	10	47

LEED® BD+C New Construction & Major Renovation Scorecard

# Richmond Centre Phase 1A, 1B, 1C

Potential LEED Rating: Silver

Certified: 40 to 49 points Silver: 50 to 59 points Gold: 60 to 79 points Platinum: 80+ points

1		
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IPc1 Integrative Project Planning and Design

15	0	1
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## LOCATION AND TRANSPORTATION

1		
2		
5		
5		
1		
1		

LTc2 Sensitive Land Protection

LTc3 High Priority Site

LTc4 Surrounding Density and Diverse Uses

LTc5 Access to Quality Transit

LTc6 Bicycle Facilities

LTc8 Green Vehicles

5	1	4
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## SUSTAINABLE SITES

▪		
1		
2		
1		
1		1
	1	

SSp1 Construction Activity Pollution Prevention

SSc1 Site Assessment

SSc2 Site Development - Protect or Restore Habitat

SSc3 Open Space

SSc5 Heat Island Reduction

SSc6 Light Pollution Reduction

4	2	5
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## WATER EFFICIENCY

▪		
▪		
▪		
2		
2	2	2

WEp1 Outdoor Water Use Reduction

WEp2 Indoor Water Use Reduction

WEp3 Building-Level Water Metering

WEc1 Outdoor Water Use Reduction

WEc2 Indoor Water Use Reduction



Targeted	Pending	Not Pursued
53	10	47

**LEED® BD+C New Construction & Major Renovation Scorecard**

# Richmond Centre Phase 1A, 1B, 1C

**Potential LEED Rating: Silver**

Certified: 40 to 49 points Silver: 50 to 59 points Gold: 60 to 79 points Platinum: 80+ points

15	0	18
▪		
▪		
▪		
▪		
6		
6		12
1		
2		

**ENERGY AND ATMOSPHERE**

EAp1 Fundamental Commissioning and Verification

EAp2 Minimum Energy Performance

EAp3 Building-Level Energy Metering

EAp4 Fundamental Refrigerant Management

EAe1 Enhanced Commissioning

EAe2 Optimize Energy Performance

EAe3 Optimize Energy Performance

EAe4 Optimize Energy Performance

EAe5 Optimize Energy Performance

EAe6 Enhanced Refrigerant Management

EAe7 Green Power and Carbon Offsets

2	3	8
▪		
▪		
	3	2
		2
		2
		2
2		

**MATERIALS AND RESOURCES**

MRp1 Storage and Collection of Recyclables

MRp2 Construction and Demolition Waste Management Planning

MRc1 Building Life-Cycle Impact Reduction

MRc2 BPDO - Environmental Product Declarations

MRc3 BPDO - Sourcing of Raw Materials

MRc4 BPDO - Material Ingredients

MRc5 Construction and Demolition Waste Management

6	2	8
▪		
▪		
2		1
1		
2		
1		1
	1	2
1		

**INDOOR ENVIRONMENTAL QUALITY**

IEQp1 Minimum Indoor Air Quality Performance

IEQp2 Environmental Tobacco Smoke Control

IEQp3 Environmental Tobacco Smoke Control

IEQc2 Low-Emitting Materials

IEQc3 Construction Indoor Air Quality Management Plan

IEQc4 Indoor Air Quality Assessment

IEQc5 Indoor Air Quality Assessment

IEQc6 Interior Lighting

IEQc7 Daylight

IEQc8 Daylight

IEQc9 Acoustic Performance



Targeted	Pending	Not Pursued
53	10	47

# LEED® BD+C New Construction & Major Renovation Scorecard

## Richmond Centre Phase 1A, 1B, 1C

Potential LEED Rating: Silver

Certified: 40 to 49 points Silver: 50 to 59 points Gold: 60 to 79 points Platinum: 80+ points

4	0	2
1		
1		
1		
1		

### INNOVATION

INc1.1 LTc5 Access to Quality Transit, Exemplary Performance

INc1.2 Purchasing Plan - Lamps

INc1.3 District Energy Pilot Credit

INc2 LEED® Accredited Professional

1	2	1
	1	
	1	
1		

### REGIONAL PRIORITY

RPc2 Regional Priority for MRc1: Building Life-Cycle Impact (3 points)

RPc3 Regional Priority for WEc2: Indoor Water Use Reduction (4 points)

RPc4 Regional Priority for Enhanced Commissioning (5 points)

\* This scorecard is intended to serve as a benchmarking tool to assess potential LEED v4 BD+C performance. It does not confirm a LEED rating nor guarantee credit compliance. This document is the sole property of WSP and is only to be used for the project listed above. This document is not to be used in any other capacity without the expressed consent of WSP.





Address: 6551 No 3 Road

File No: DP 17-768248

The following are to be satisfied prior to forwarding this Development Permit application to Council for approval:

1. OCP Amendment Application Legal Agreements (Development Permit Holds):

- 1.1. General: Satisfy the terms of legal agreements required to be registered on title to Lot 1 (West), Lot 2 (East), and Remnant Lot A prior to OCP Amendment application adoption (CP 16-752923).
- 1.2. Affordable Housing: The Housing Covenants required to be registered on Lot 1 and Lot 2 with respect to CP 16-752923 shall accurately reflect the specifics of DP 17-768248, as determined to the satisfaction of the City. (The Housing Covenant for Lot 2 may be amended or replaced in the future, as determined to the satisfaction of the City, to accurately reflect the specifics of the future Development Permit\* for Lot 2/Phase 2.)

a) Habitable Floor Areas:

Lot & Phase	Max. Residential Floor Area (excluding Market Rental)	Min. 5% Habitable Affordable Housing Floor Area	Proposed Habitable Affordable Housing Floor Area
1	963,987 ft <sup>2</sup> (89,557.3 m <sup>2</sup> )	48,199 ft <sup>2</sup> (4,477.8 m <sup>2</sup> )	49,431 ft <sup>2</sup> (4,592.3 m <sup>2</sup> )
2	800,499 ft <sup>2</sup> (74,368.8 m <sup>2</sup> )	40,025 ft <sup>2</sup> (3,718.5 m <sup>2</sup> )	40,926 ft <sup>2</sup> (3,802.2 m <sup>2</sup> ) *
Total	1,764,486 ft <sup>2</sup> (163,926.1 m <sup>2</sup> )	88,224 ft <sup>2</sup> (8,196.3 m <sup>2</sup> )	90,357 ft <sup>2</sup> (8,394.5 m <sup>2</sup> ) *

\* The actual Lot 2/Phase 2 "proposed habitable affordable housing floor area" may vary as a result of the future Phase 2 Development Permit\* review and approval processes, as determined to the satisfaction of the Director of Development and Manager, Community and Social Development, provided that it is not less than 5% of the "max. residential floor area (excluding Market Rental)" approved through the Phase 2 Development.

b) Dwelling Unit Numbers & Mix:

Lot & Phase	Bachelor	1-Bedroom	2-Bedroom	3-Bedroom	Total
1	12 (15%)	37 (47%)	22 (28%)	8 (10%)	79, including 38% 2- & 3-Bedroom
2	22 (37%)	0 (0%)	40 (63%)	0 (0%)	62, including 63% 2-Bedroom
Total	34 (24%)	37 (26%)	62 (44%)	8 (6%)	141, including 50% 2- & 3-Bedroom

c) Basic Universal Housing (BUH): 100% of units shall comply with the Zoning Bylaws BUH requirements.

d) Phase 1 Stand-Alone Affordable Housing Building: In addition to the above, the Housing Covenant required to be registered on Lot 1 with respect to CP 16-752923 shall accurately reflect the specifics of the developer's stand-alone affordable housing building proposal, as determined to the satisfaction of the Director of Development and Manager, Community and Social Development, in their sole discretion, in conjunction with the issuance of the subject Development Permit.

- i. The affordable housing building shall comprise at least 67,900 ft<sup>2</sup> (6,308.1 m<sup>2</sup>), excluding the floor area of uses and spaces located within the parkade as follows:

Features for Exclusive Affordable Housing Occupant Use (Excluding Parkade Spaces)	Floor Areas
▪ Habitable (Dwelling Unit) Floor Area @ Levels 2-13	49,431 ft <sup>2</sup> (4,592.3 m <sup>2</sup> )
▪ Circulation @ Levels 1-13	10,020 ft <sup>2</sup> (930.9 m <sup>2</sup> )
▪ Residential Service Uses (e.g., mechanical) @ Level 2	493 ft <sup>2</sup> (45.8 m <sup>2</sup> )
▪ Indoor Amenity Space @ Level 2	2,029 ft <sup>2</sup> (188.5 m <sup>2</sup> )
<b>SUB-TOTAL</b>	<b>61,972 ft<sup>2</sup> (5,757.5 m<sup>2</sup>)</b>

Features for Exclusive Affordable Housing Occupant Use (Excluding Parkade Spaces)	Floor Areas
▪ Areas excluded from FAR calculations (e.g., core & service uses)	5,927 ft <sup>2</sup> (550.6 m <sup>2</sup> )
<b>TOTAL / Gross Floor Area</b>	<b>67,900 ft<sup>2</sup> (6,308.1 m<sup>2</sup>)</b>

- ii. The affordable housing building shall comprise 79 units in compliance with the Affordable Housing Strategy as follows:

Unit Type	Minimum Habitable Unit Area	Maximum Monthly LEMR Unit Rent***	Total Maximum Household Income**	Proposed Units	
				Unit Mix	BUH Units*
Bachelor	400 ft <sup>2</sup>	\$811	\$34,650 or less	12 (15%)	100%
1-Bedroom	535 ft <sup>2</sup>	\$975	\$38,250 or less	37 (47%)	100%
2-Bedroom	741 ft <sup>2</sup>	\$1,218	\$46,800 or less	22 (28%)	100%
3-Bedroom	980 ft <sup>2</sup>	\$1,480	\$58,050 or less	8 (10%)	100%
<b>Total</b>	<b>49,431 ft<sup>2</sup> (4,592.3 m<sup>2</sup>)</b>	<b>Varies</b>	<b>Varies</b>	<b>79 (100%)</b>	<b>100%</b>

\* BUH units means those units that are designed and constructed to satisfy the Zoning Bylaw's Basic Universal Housing standards.

\*\* Rate shall be adjusted periodically as provided for under adopted City policy.

- iii. For amenity space purposes, the occupants of the affordable housing building will have:
- Exclusive use of 2,029 ft<sup>2</sup> (188.5 m<sup>2</sup>) of indoor amenity space, including at least 19 m<sup>2</sup> (200 ft<sup>2</sup>) for use as administrative (e.g., office) space for the housing operator; and
  - Shared use with Phase 1's market ownership unit occupants (i.e. same access rights) of the outdoor amenity space located on Level 2 adjacent to the building's indoor amenity space.
- iv. For parking and bike storage purposes, the occupants of the affordable housing building will have:
- Exclusive use of 30 parking spaces on Level PA (100% of which will be equipped with electric vehicle charging equipment, in compliance with the Zoning Bylaw), including 14 standard car spaces, 15 small car spaces, and 1 van-accessible space;
  - Exclusive use of 158 Class 1 bike storage spaces, including 16 over-sized bike lockers for family use and low-powered vehicles (i.e. vehicles that do not require MV registration, such as mopeds), together with electric vehicle charging equipment for shared use among bike room occupants (i.e. 18 120V duplex outlets, distributed in compliance with the OCP) at Levels PA and PB; and
  - Exclusive use of a bike repair/maintenance facility (including a foot-activated pump, repair stand with integrated tools, and bike wash) at Level PB.
- v. For waste management purposes, the occupants of the affordable housing building will have:
- Exclusive use of a waste management room on Level PB; and
  - Shared use (i.e. shared with Phase 1's market ownership unit occupants) of waste pick-up and related holding facilities at Level 1.

2. Phase 1 Occupancy Staging Plan: Registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title to Lot 1 (West), to the satisfaction of the City, securing that:
- 2.1. The Lot 1 (West) development subject to DP 17-768248 shall be comprised of a maximum of five (5) occupancy stages, as generally described in the Phase 1 Minimum Stage-by-Stage Prior-to-First-Occupancy Requirements set out in the Development Permit, the construction and completion of which shall proceed in sequential order from Stage 1 through to Stage 5;
- 2.2. For sequential stages (e.g., Stages 1 and 2), Final Building Permit\* inspection and/or alternative City approval(s) granting occupancy may proceed concurrently, but a later stage may not advance, in whole or in part, ahead of an earlier stage (e.g., no portion of Stage 2 shall be permitted to be occupied until the City permits the entirety of Stage 1 to be occupied); and
- 2.3. Final Building Permit\* inspection and/or alternative City approval(s) granting occupancy shall be restricted, on a stage-by-stage basis, until:
- a) All applicable Phase 1 Minimum Stage-by-Stage Prior-to-First-Occupancy Requirements have been completed to the satisfaction of the City; and

- b) A letter is submitted by the architect confirming that all applicable Phase 1 Minimum Stage-by-Stage Prior-to-First-Occupancy Requirements are complete.

3. Parking (Phase 1): Registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title to Lot 1 (West), to the satisfaction of the City, to secure residential and commercial parking on Lot 1 (West), together with the developer's voluntary commitment to provide, at the developer's sole cost, transportation demand management (TDM) measures, including various on- and off-site transportation improvements, specific to Phase 1 for the purpose of satisfying Zoning Bylaw requirements for reducing the required parking rates (i.e. from CDT1 rates to Parking Zone 1), further reducing the required parking rate for affordable housing units (i.e. from Parking Zone 1 rates to 0.5 spaces/unit), permitting parking reductions up to 10% for the provision of TDM measures together with increased TDM reductions for affordable housing (i.e. from 10% to 25%), and permitting sharing of residential visitor parking with commercial parking, are in compliance with the Development Permit, to the satisfaction of the City. More specifically, this shall include the following:

3.1. Parking Rates & Related Transportation Measures (Phase 1): Transportation improvements and TDM measures shall be provided generally as follows, as set out in the Development Permit, as determined to the satisfaction of the Director of Transportation.

a) On-Site Measures (Phase 1) providing for enhanced resident, visitor, and commercial (tenant, employee, and customer) access to alternative transportation modes and reduced parking demand shall include the following features, to the satisfaction of the City. No Building Permit shall be issued for Phase 1, in whole or in part, unless the required features are included in the Building Permit\* and, where applicable, the Phase 1 Servicing Agreement\* to the City's satisfaction and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit. "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy for Phase 1, in whole or in part, unless the required features are complete to the City's satisfaction as set out in the Phase 1 Occupancy Staging Plan and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit.

i. Mobility Hub (Phase 1), located within and below the Park Plaza SRW area, as generally set out in the OCP Amendment Considerations for CP 16-752923 (Schedule J) and the approved Phase 1 Development Permit, to the satisfaction of the City, which shall include, but may not be limited to, an attractive, coordinated transportation hub building together with facilities providing for:

- Universally accessible, legible, safe, and convenient public access for pedestrians and people with bikes and mobility devices (e.g., strollers, scooters, wheelchairs) between the plaza and Level PA during (at a minimum) the shopping centre's business hours;
- An operating City-managed bike share program for 16 bikes at plaza level (which bikes will be provided by others), including a designated location, bike racks, and weather protection;
- An operating car-share program capable of accommodating 3 vehicles at Level PA (which vehicles will be provided at the developer's cost), including, designated parking spaces equipped with electric-vehicle (240V) charging equipment;
- Public bike storage capable of accommodating 20 bikes in secure lockers equipped with smart technology at Level PA;
- Public electric-vehicle (240V) charging for at least eight (8) vehicles at Level PA;
- Designated drop-off/pick-up locations for transit vehicles, shuttle buses, taxis, ride-share vehicles, and general public use; and
- Pedestrian weather protection, seating, information signage, lighting, and related features and amenities.

ii. End-of-Trip Bicycle Facilities (Phase 1), located on Level 1 of Building 1A, for the use of Phase 1 commercial tenants and employees, including:

- Class 1 (secure) storage for at least 12 bikes;
- Bike repair and maintenance facilities (i.e. foot-activated pump and repair stand with integrated tools); and
- Two (2) change rooms, each with lockers and a shower, toilet, sink, and grooming station.

- iii. Residential Bike Repair and Maintenance Facilities (Phase 1), co-located with the residential Class 1 bike storage and provided on the basis of one facility (including a foot-activated pump, repair stand with integrated tools, and bike wash) for each residential tower for the shared use of residents, including one facility for the exclusive use of the Affordable Housing Building occupants.
  - iv. Affordable Housing Bike Measures (Phase 1), including the provision of:
    - Class 1 secured bike storage at a rate of 2.0 bikes/unit for 100% of the affordable housing units (i.e. increased from the Zoning Bylaw rate of 1.25 bikes/unit); and
    - 10% of required Class 1 bike storage in the form of over-size lockers for family bike storage (e.g., children's bikes; bike trailers), electric-assist vehicles (e.g., mopeds), and similar equipment/uses.
  - v. Residential Visitors (Phase 1) shall have use of the Phase 1 commercial parking (i.e. same access rights as shoppers and other visitors to the CF Richmond Centre site), which commercial parking must include at least 10 spaces near each residential tower elevator core that are designated and signed exclusively for public short-term use (i.e. maximum 15 minute duration or as otherwise determined to the satisfaction of the Director of Transportation).
  - b) Alternative Transportation Program Measures (Phase 1) providing for enhanced resident and commercial (tenant, employee, and customer) access to alternative transportation programs shall include the following features, to the satisfaction of the Director of Transportation. "No occupancy" shall be permitted, restricting final Building Permit\* inspection granting occupancy for Phase 1, in whole or in part, unless the required features are complete (e.g., City-approved implementation methodology secured with legal agreements) to the satisfaction of the Director of Transportation.
    - i. Transit: A coordinated strategy providing for:
      - Monthly transit (2-zone) passes for 1 year for 25% of market ownership units;
      - Monthly transit (2-zone) passes for 2 years for 100% of affordable housing units; and
      - \$50,000 for the purchase of 2-zone transit passes or equivalent for use by commercial tenants, employees, and customers (based on 50% of the total required developer contribution set out in the OCP Amendment Considerations for CP 16-752923);
    - ii. Bike-Share: A coordinated strategy providing for \$30,000 for bike-share (one-year) memberships for the first occupants of 100% of the affordable housing units (based on 50% of the total required developer contribution set out in the OCP Amendment Considerations for CP 16-752923); and
    - iii. Car-Share: A coordinated strategy providing for \$20,000 for car-share memberships for the first occupants of 100% of the Phase 1 affordable housing units and three (3) car share vehicles (based on 50% of the total required developer contributions set out in the OCP Amendment Considerations for CP 16-752923), together with contract(s) with a car-share operator(s) for a three (3) year term.
  - c) Off-Site Measures (Phase 1) providing for enhanced pedestrian walkability at specified locations shall include the following features, to the satisfaction of the Director of Transportation. No Building Permit shall be issued for Phase 1, in whole or in part, unless the required features are included in the Phase 1 Servicing Agreement\* (secured with a Letter of Credit) to the City's satisfaction. "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy for Phase 1, in whole or in part, unless the required features are complete to the satisfaction of the Director of Transportation as set out in the Phase 1 Occupancy Staging Plan and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit and Phase 1 Servicing Agreement\*.
    - i. Minoru Boulevard/Granville Avenue: Upgrade/enhance existing pedestrian crosswalks and upgrade the existing traffic signal;
    - ii. Minoru Boulevard/Library Crossing: Upgrade the existing pedestrian crosswalk to include stamped and coloured asphalt pavement surface with Duratherm or equivalent;
    - iii. No. 3 Road/ Granville Avenue: Upgrade/enhance existing pedestrian crosswalks and upgrade the existing traffic signal; and
    - iv. No. 3 Road/ Anderson Road: Upgrade the existing pedestrian crosswalk to include stamped and coloured asphalt pavement surface with Duratherm or equivalent.
- 3.2. Required Parking (Phase 1): Parking shall be provided as set out in the Development Permit (described in brief in the table below), as determined to the satisfaction of the Director of Transportation. No Building Permit shall be issued for Phase 1, in whole or in part, unless all necessary Phase 1 parking (which shall include the "Phase 1



Surplus” parking) is included in the Building Permit\* to the Director of Transportation’s satisfaction and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit. “No occupancy” shall be permitted, restricting final Building Permit inspection granting occupancy for Phase 1, in whole or in part, unless the necessary Phase 1 features are complete to the Director of Transportation’s satisfaction as set out in the Phase 1 Occupancy Staging Plan and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit.

Use	Units or Area	Min. Permitted Rate*	Min. Required Parking	Proposed Parking
RESIDENTIAL	1,166	Varies	1,009	1,185
▪ Affordable Housing	79	0.375 spaces/unit	30	30
▪ Market Ownership	1,087	0.9 spaces/unit	979	1,155
COMMERCIAL	125,725 ft <sup>2</sup> (11,680.6 m <sup>2</sup> ) GLA	3.375 spaces/100 m <sup>2</sup> GLA	395	395
CAR-SHARE	N/A	N/A	3	3
<b>Sub-Total</b>	<b>N/A</b>	<b>Varies</b>	<b>1,407 spaces</b>	<b>1,583 spaces</b>
PHASE 1 SURPLUS	N/A	N/A	N/A	682
<b>Total</b>	<b>N/A</b>	<b>N/A</b>	<b>1,407 spaces</b>	<b>2,265 spaces</b>

\* **Min. Permitted Rate & Min. Required Parking** mean the Phase 1 parking required to satisfy Zoning Bylaw requirements net of permitted Phase 1 reductions, as determined through the Development Permit and secured by a legal agreement registered on title to Lot 1.

\*\* **Phase 1 Surplus** means the at least 682 parking spaces that the developer shall be required to construct on Lot 1 in Phase 1 that are surplus to the **Min. Required Parking** requirements for the Phase 1 development as determined to the satisfaction of the City through the Development Permit.

- 3.3. **Phase 1 Surplus:** The developer shall construct at least 682 parking spaces on Lot 1 in Phase 1 that are surplus to the needs of the Phase 1 development as determined to the satisfaction of the Director of Transportation through the Development Permit, which surplus parking spaces shall be secured to the satisfaction of the Director of Transportation, together with related access and spaces:
  - a) For interim use, as determined at the sole discretion of the owner, by Phase 1 residents, commercial tenants, employees, shoppers, visitors, and/or construction-related activities; and
  - b) For ultimate use by the following, unless otherwise determined to the satisfaction of the Director of Transportation through a future approved Development Permit\* for Phase 2:
    - i. 192 spaces for Phase 2 residential uses;
    - ii. 31 spaces for Phase 2 commercial uses; and
    - iii. 459 spaces for commercial uses located on Remainder Lot A (North).
4. **Shared Loading:** Registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title to Lot 1 (West), to the satisfaction of the City, to secure that use of the Phase 1 residential and commercial loading facilities (together with signage and related features, as required) is in compliance with the Development Permit, as determined to the satisfaction of the Director of Transportation. No Building Permit shall be issued for Phase 1, in whole or in part, unless the required features are included in the Building Permit\* to the Director of Transportation’s satisfaction and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit. “No occupancy” shall be permitted, restricting final Building Permit inspection granting occupancy for Phase 1, in whole or in part, unless the required features are complete to the Director of Transportation’s satisfaction as set out in the Phase 1 Occupancy Staging Plan and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit.
5. **Electric Vehicle (EV) Parking:** Registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title to Lot 1 (West), to the satisfaction of the City, to secure that:
  - 5.1. EV charging infrastructure and equipment shall be provided:
    - a) For 100% of resident parking spaces (i.e. 100% of market ownership, affordable housing, and 192 “Phase 1 Surplus” residential parking spaces) in compliance with the Zoning Bylaw;

- b) For 3 car-share vehicles located within the Mobility Hub in the form of an energized outlet capable of providing Level 2 charging or higher to each parking space, together with EV supply equipment for each space;
- c) For at least 2% of commercial parking spaces (i.e. 2% of the required Phase 1 commercial parking spaces and 490 "Phase 1 Surplus" commercial parking spaces) in the form of an energized outlet capable of providing Level 2 charging or higher to each parking space and, for the 8 EV designated spaces located within the Phase 1 Mobility Hub, EV supply equipment for each space; and
- d) For at least 1 per 10 Class 1 bike storage spaces or portion thereof in a residential or commercial bike room in the form of an energized 120V duplex outlet, together with all related wiring, electrical equipment, and infrastructure necessary for its operation, which outlets shall be located to allow for convenient shared use by the bike room users.

5.2. No Building Permit shall be issued for Phase 1, in whole or in part, unless the required features are included in the Building Permit\* to the Director of Transportation's satisfaction and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit.

5.3. "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy for Phase 1, in whole or in part, unless the required features are complete to the Director of Transportation's satisfaction as set out in the Phase 1 Occupancy Staging Plan for parking and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit.

6. Shared Residential Amenity Space: Registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title to Lot 1 (West), to the satisfaction of the City, specifying the amount and distribution of common indoor and outdoor amenity space on Building 1A (North) and Building 1B (South) and securing use of the amenity spaces for occupants of the Market Ownership and Affordable Housing units to the satisfaction of the City as set out in the Development Permit. More specifically:

6.1. Shared outdoor amenity space provided to satisfy OCP Development Permit Guidelines, including children's play space, shall be distributed and designated for the use of residents generally as follows:

Building	Amenity Location	Users	Min. Amenity Area
Building 1A (North)	Levels L4 & L10 (4 locations)	Building 1A residents only	4,194 m <sup>2</sup> (45,141 ft <sup>2</sup> )
Building 1B (South)	Level 2 (south-facing / adjacent to Affordable Housing indoor amenity & shared Building 1A/1B indoor amenity)	Shared by all Market residents (Buildings 1A & 1B) & Affordable Housing residents	771 m <sup>2</sup> (8,303 ft <sup>2</sup> )
	Levels L2, L4 & L8 (4 locations)	Building 1B residents only	2,050 m <sup>2</sup> (22,066 ft <sup>2</sup> )
<b>TOTAL</b>	<b>Varies</b>	<b>Varies</b>	<b>7,015 m<sup>2</sup> (75,511 ft<sup>2</sup>)</b>

6.2. Indoor amenity space provided to satisfy OCP Development Permit Guidelines shall be distributed and designated for the use of residents generally as follows:

Housing Type	Amenity Uses	Amenity Location	Users	Min. Amenity Area
Affordable Housing	Multi-purpose	AH Building	Affordable Housing residents only	189 m <sup>2</sup> (2,029 ft <sup>2</sup> )
Market Ownership	Active recreation	Building 1B	Shared by all Market residents (Buildings 1A & 1B)	1,380 m <sup>2</sup> (14,847 ft <sup>2</sup> )
	Residential Guest suites	Building 1A / Level 4 (2 suites)	Market residents/Buildings 1A only	81 m <sup>2</sup> (876 ft <sup>2</sup> )
		Building 1B / Level 5 (1 suite)	Market residents/Buildings 1B only	
	Other *	Building 1A (6 rooms)	Market residents/Building 1A only	763 m <sup>2</sup> (8,213 ft <sup>2</sup> )
		Building 1B (5 rooms)	Market residents/Building 1B only	
<b>TOTAL</b>	<b>Varies</b>	<b>Varies</b>	<b>Varies</b>	<b>2,413 m<sup>2</sup> (25,971 ft<sup>2</sup>)</b>

\* Other means library, lounge, wellness, meeting, and/or other residential amenity spaces and uses, BUT shall NOT include Residential Guest Suites.

- 6.3. Residential Guest Suites provided as part of the development's indoor amenity space with respect to satisfying OCP Development Permit Guidelines shall be limited to a maximum of three (3) and restricted to use as short term accommodation only. Upon stratification of the subject site, the residential guest suites will be designated as common property or as otherwise determined to the satisfaction of the City and shall be accessible to all residents of the applicable building (excluding Affordable Housing residents) for the duration of the life of the building.
- 6.4. Additional indoor residential amenities required with respect to the Development Permit (DP 17-768248) shall be distributed and designated for the use of residents generally as follows:

Housing Type	Amenity Uses	Amenity Location	Users	Min. Amenity Area
Affordable Housing	Bike repair & maintenance facilities	Affordable Housing Building @ Level PB)	Affordable Housing residents only	1 room (Floor area may vary)
Market Ownership	Bike repair & maintenance facilities	Building 1A @ Levels PB, L2 & L3 (4 rooms)	Market residents/Building 1A only	6 rooms (Floor area may vary)
		Building 1B @ Level PB (2 rooms)	Market residents/Building 1B only	
	Dog runs & wash stations	Building 1A @ Level 3	Market residents/Building 1A only	2 rooms (Floor area may vary)
		Building 1B @ Level PA	Market residents/Building 1B only	
<b>TOTAL</b>	<b>Varies</b>	<b>Varies</b>	<b>Varies</b>	<b>9 rooms</b>

- 6.5. For residential uses on Lot 1 (West), with respect to the required common outdoor and indoor amenity spaces and related access, spaces, and uses:
- No Building Permit shall be issued, in whole or in part, unless the required amenity features are included in the Building Permit\* to the City's satisfaction and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit; and
  - "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy, in whole or in part, unless the required amenity features are complete to the City's satisfaction as set out in the Phase 1 Occupancy Staging Plan and a letter is submitted by the architect confirming that such features satisfy the conditions of the Development Permit.
7. Phase 2 Public Washrooms: Registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title to Lot 2 (East), to the satisfaction of the City, securing that the owner shall, at the owner's cost, design, construct, and maintain washrooms for public use on Lot 2 (East), as determined to the satisfaction of the City through the Phase 2 Development Permit\* approval process. More specifically:
- The public washroom facilities, including all related spaces and uses, shall be:
    - Accessible by the public from the Park Road Plaza SRW area without passing through the commercial portion of the shopping centre (to minimize conflicts between retail activities and public plaza users);
    - Universally accessible and include wayfinding and measure to ensure personal safety and security; and
    - Available for unrestricted public access during (at a minimum) the shopping centre's business hours.
  - For a building(s) on Lot 2 (East), in whole or in part, that includes residential or an increase in gross leasable floor area on the lot, as determined in the City's discretion:
    - "No development" will be permitted and Development Permit\* issuance will be restricted unless the required public washroom facilities are included in the Development Permit\* to the City's satisfaction;
    - No Building Permit shall be issued, in whole or in part, unless the required public washroom facilities are included in the Building Permit\* to the City's satisfaction and a letter is submitted by the architect confirming that the facilities satisfy the conditions of the Development Permit; and
    - "No occupancy" shall be permitted, restricting final Building Permit inspection granting occupancy, in whole or in part, unless the required public washroom facilities are complete to the City's satisfaction and a letter is submitted by the architect confirming that the facilities satisfy the conditions of the Development Permit.

8. **Public Art:** City acceptance of the developer's offer to contribute towards public art, the terms of which contribution shall be as set out in the approved Public Art Plan and Development Permit for Phase 1 and include the following:

- 8.1. **Voluntary Contribution (Public Art Plan "Part 1"):** The value of the developer's voluntary public art contribution with respect to Richmond's Public Art Strategy shall be based on the maximum Phase 1 buildable floor area (as per DP 17-768248), excluding affordable housing, and the applicable Council-approved rates, as indicated in the table below.

Use	Total Floor Area	Eligible Floor Area*	Rates	Developer Contribution
Residential	963,987 ft <sup>2</sup> (89,557 m <sup>2</sup> )	914,556 ft <sup>2</sup> (84,965 m <sup>2</sup> )	\$0.83/ft <sup>2</sup>	\$759,081
Commercial	159,457 ft <sup>2</sup> (14,814 m <sup>2</sup> )	159,457 ft <sup>2</sup> (14,814 m <sup>2</sup> )	\$0.44/ft <sup>2</sup>	\$70,161
<b>Total</b>	<b>1,123,443 ft<sup>2</sup> (104,373.3 m<sup>2</sup>)</b>	<b>1,074,013 ft<sup>2</sup> (99,779 m<sup>2</sup>)</b>	<b>Varies</b>	<b>\$829,242</b>

\* **Eligible Floor Area** excludes the developer's proposed Affordable Housing habitable area: 49,431 ft<sup>2</sup> (4,592 m<sup>2</sup>).

- 8.2. **Required Development Screening (Public Art Plan "Part 2"):** The value of the developer's contribution for required screening of parking and utilities (i.e. not subject to Richmond's Public Art Strategy), as set out in the approved Public Art Plan and Development Permit for Phase 1, shall be \$400,000.
- 8.3. **Combined Phase 1 Developer Contribution:** Prior to Development Permit issuance for Phase 1, the developer shall submit a combination of Letters of Credit and cash to secure the developer's commitment towards public art as part of the Phase 1 development, as indicated in the table below.

Public Art Contributions		Letter(s) of Credit (Public Art Reserve: 7600-80-000-90173-0000)	Cash for City Administration (Public Art Provision: 7500-10-000-90337-0000)	Total
Part 1	Voluntary contribution	\$787,780 (95%)	\$41,462 (5%)	\$829,242 (100%)
Part 2	Required development screening	\$400,000 (100%)	Nil (0%)	\$400,000 (100%)
<b>Total</b>		<b>\$1,187,780</b>	<b>\$41,462</b>	<b>\$1,229,242</b>

9. **Landscape Security:** Submission of a Letter of Credit for landscaping in the amount of \$5,391,907, based on the cost estimate provided by a CSLA registered landscape architect (including 10% contingency), which shall exclude landscape and related improvements subject to a Servicing Agreement (i.e. all areas subject to a Statutory Rights-of-Way for public access purposes including, but not limited to, the Park Road Plaza). For clarity, the landscape estimate shall be comprised of the following:

Occupancy Stage	Building (Phase) #	Estimated Landscape Cost
#1	1C / Retail & Below Grade (Parking)	No landscape associated with this stage
#2	1B / Retail	\$489,233
#3	1A / Retail	\$589,662
#4	1B / Residential	\$1,449,762
#5	1A / Residential	\$2,373,077
<b>Sub-Total</b>	-	<b>\$4,901,734</b>
10% Contingency	-	\$490,173
<b>Total</b>	<b>All on-site landscape, except SRW areas</b>	<b>\$5,391,907</b>

**NOTE:** The developer wishes to remove 27 bylaw-size trees (i.e. DBH > 20 cm) from Lot 1 (West) to facilitate pre-construction and construction activities. The replacement of these existing trees on the subject site at a ratio of 2:1 and in compliance with City bylaws shall be secured through the subject Development Permit landscape Letter of Credit. Removal of the subject Lot 1 (West) trees after DP issuance shall not require a Tree Removal Permit or tree replacement security; however, Lot 1 (West) tree removal that occurs after DP Panel approval but prior to DP issuance will require a Tree Removal Permit (Development Application in Process – T3) and tree replacement security in the amount of \$27,000 (i.e. 54 replacement trees x \$500/replacement tree). Tree replacement security will be released to the developer upon the City's receipt of the landscape Letter of Credit for DP 17-768248.



**Prior to future Building Permit issuance, among other things the developer is required to complete the following:**

1. Demolition of the portion of the owner's existing parking structure located on Lot 1 (West) and dedication of the SRW area registered along the south side of Lot 1 (West) for the purpose of securing the Future City Street.
2. Entering into a Servicing Agreement\* for the design and construction, at the developer's sole cost, of full upgrades across the Lot 1 (West) street frontages, together with other engineering, transportation, and parks works, as determined to the satisfaction of the City, which shall include, but shall not be limited to:
  - Construction of the portion of the Future City Street along the south side of Lot 1 (West);
  - Road widening along Minoru Boulevard, together with various intersection improvements;
  - Interim improvements with respect to Murdoch Avenue on Remainder Lot A (North);
  - Canada Line connectivity enhancements in the form of frontage improvements across Remainder Lot A (North), 6253 No. 3 Road, and 6060 Minoru Boulevard;
  - Construction of the portion of Park Road and related private (SRW) streets located on Lot 1 (West);
  - Construction of the Park Road Plaza; and
  - Various utility upgrades.
3. Submission of a Construction Traffic and Parking Management Plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
4. Obtaining a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*

**Note:**

- \* Items marked with an asterisk require a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

**SIGNED COPY ON FILE**

Signed

Date



No. DP 17-768248

To the Holder: GBL Architects

Property Address: 6551 No. 3 Road

Address: 139 East 8th Avenue, Vancouver BC V5T 1R8

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) reduce the minimum permitted front yard setbacks for Phase 1:
    - i. for balconies adjacent to the Minoru Boulevard/Murdoch Avenue corner from 2.0 m to 1.2 m at Levels 3 to 14;
    - ii. for towers adjacent to the proposed City street at the site's south edge from 3.0 m to 2.0 m at Level 1 and from 3.0 m to 0.5 m at Levels 2 to 14; and
    - iii. for parking located below finished grade from 3.0 m to 0.0 m along the site's Minoru Boulevard frontage and the proposed City street at the site's south edge.
  - b) reduce the minimum parking requirements inclusive of transportation demand management parking reductions:
    - i. for Phase 1, for affordable housing residents from 64 spaces to 30 spaces; and
    - ii. for Phase 2, for affordable housing residents from 0.81 spaces per unit to 0.375 spaces per unit and market rental housing residents from 0.72 spaces per unit to 0.6 spaces per unit.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1a to #12 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$5,391,907 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the

**Development Permit**  
**No. DP 17-768248**

To the Holder: GBL Architects

Property Address: 6551 No. 3 Road

Address: 139 East 8th Avenue, Vancouver BC V5T 1R8

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Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

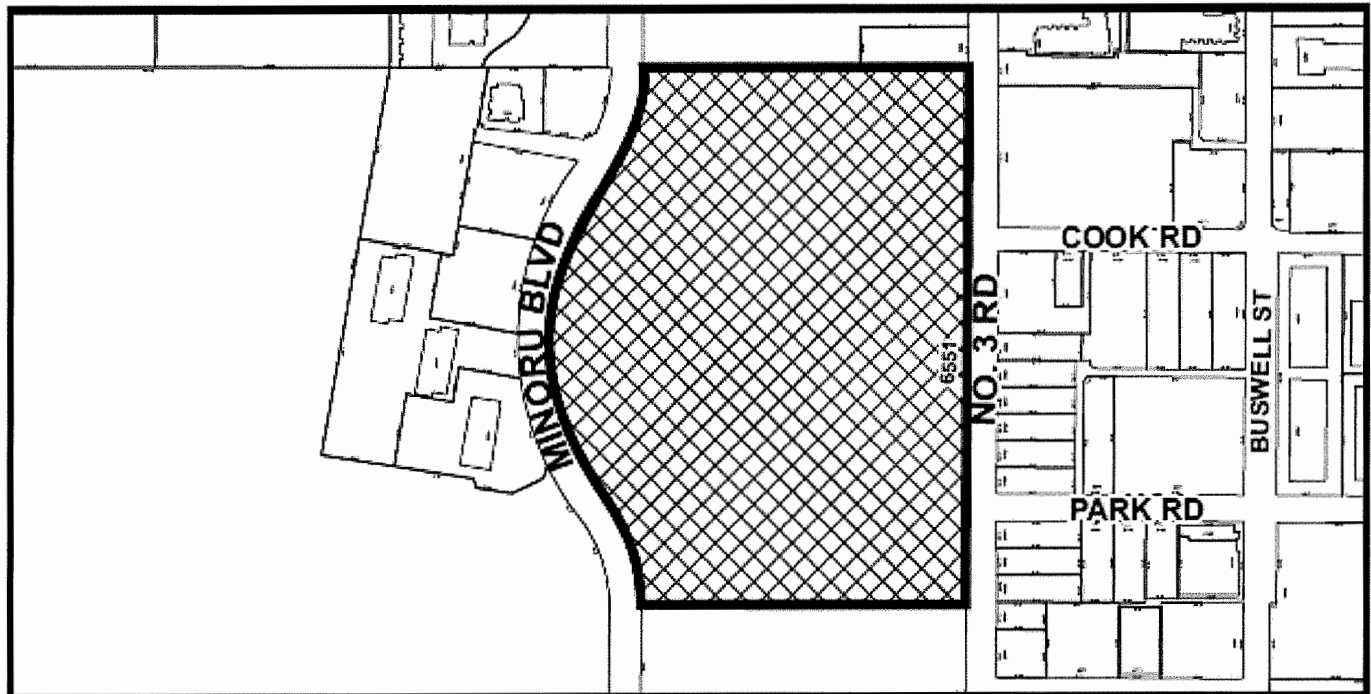
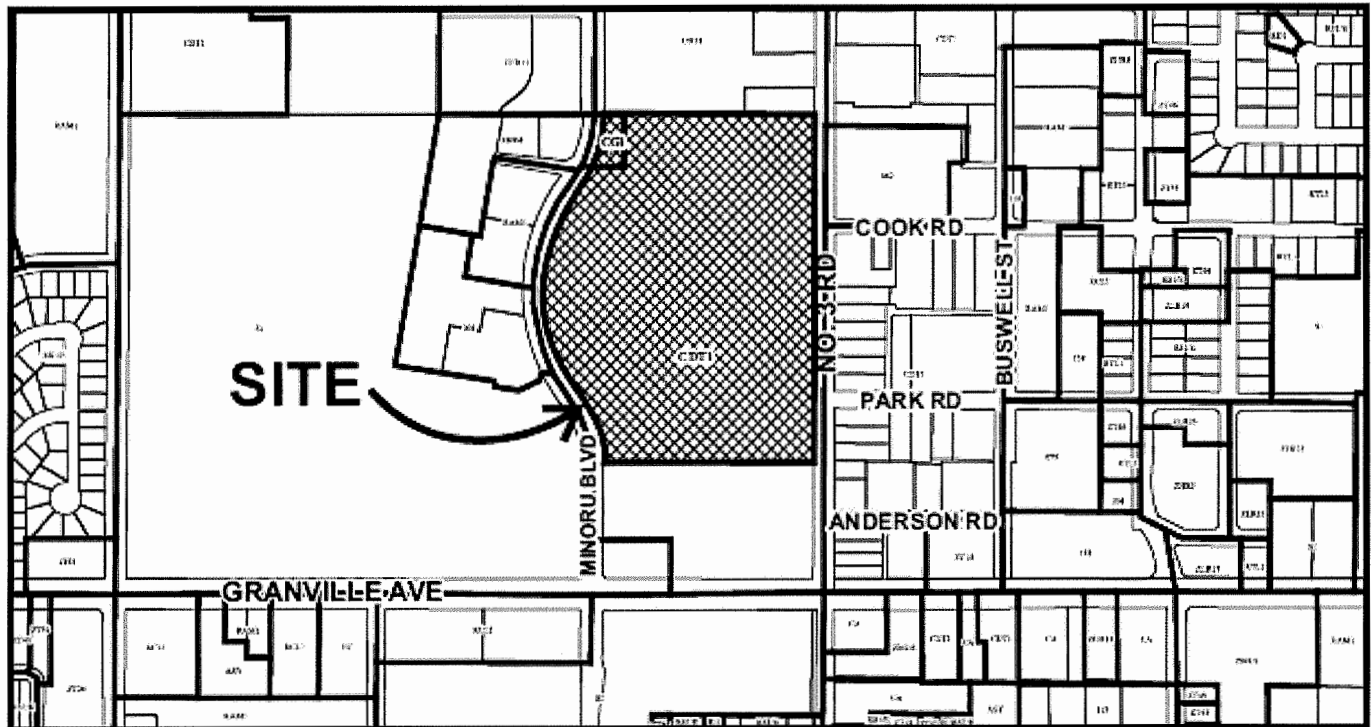
DELIVERED THIS DAY OF , .

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MAYOR



# City of Richmond



DP 17-768248  
SCHEDULE "A"

Original Date: 05/09/17

Revision Date:

Note: Dimensions are in METRES



CF Richmond Centre @ 6551 No. 3 Road

ITEM & REQUIREMENT

PHASE 1

PHASE 2

COMBINED

Net Site Area	<ul style="list-style-type: none"><li>LOT 1: 392,504 ft² (36,464.8 m²)</li></ul>	<ul style="list-style-type: none"><li>LOT 2: 329,052 ft² (30,570.0 m²)</li></ul>	<ul style="list-style-type: none"><li>LOT 1 + 2: 721,556 ft² (67,034.8 m²)</li></ul>
Gross Floor Area	<ul style="list-style-type: none"><li>Phase 1: 1,230,806 ft² (114,345.6 m²)</li></ul>	<ul style="list-style-type: none"><li>Phase 2: 1,246,107 ft² (115,762.2 m²)</li></ul>	<ul style="list-style-type: none"><li>Phase 1 + 2: 2,476,914 ft² (230,112.8 m²)</li></ul>
Net Density (3.15 FAR max)	<ul style="list-style-type: none"><li>2.86 FAR on Lot 1 alone</li><li>1.56 FAR on combined site</li><li>Note: Actual Lot 2 FAR will increase marginally by Phase 2 area located on Lot 1</li></ul>	<ul style="list-style-type: none"><li>3.49 FAR on Lot 2 alone</li><li>1.59 FAR on combined site</li><li>Note: Actual Lot 2 FAR will be reduced marginally by Phase 2 area located on Lot 1</li></ul>	<ul style="list-style-type: none"><li>Max. 3.15 FAR on combined site</li></ul>
Net Floor Area <ul style="list-style-type: none"><li>Total</li></ul>	<ul style="list-style-type: none"><li>1,123,443 ft² (104,373.3 m²)</li></ul>	<ul style="list-style-type: none"><li>1,149,458 ft² (106,788.1 m²)</li></ul>	<ul style="list-style-type: none"><li>2,272,901 ft² (211,159.5 m²)</li></ul>
Non-Residential	<ul style="list-style-type: none"><li>159,457 ft² (14,814.0 m²)</li></ul>	<ul style="list-style-type: none"><li>202,116 ft² (18,777.2 m²)</li></ul>	<ul style="list-style-type: none"><li>361,572 ft² (33,591.2 m²)</li></ul>
Residential <ul style="list-style-type: none"><li>a) Market Rental Housing Building</li><li>b) Affordable Housing Buildings</li><li>c) Market Ownership</li><li>Sub-total</li><li>Net Total (excluding BUH/DEU FAR exemptions)</li></ul>	<ul style="list-style-type: none"><li>a) Nil</li><li>b) 59,943 ft²</li><li>c) 922,570 ft²</li><li>982,513 ft²</li><li>963,987 ft² (89,557.3 m²)</li></ul>	<ul style="list-style-type: none"><li>a) 153,000 ft²</li><li>b) 45,371 ft²</li><li>c) 766,420 ft²</li><li>964,796 ft²</li><li>947,342 ft² (88,011.0 m²)</li></ul>	<ul style="list-style-type: none"><li>a) 153,000 ft²</li><li>b) 105,314 ft²</li><li>c) 1,688,991 ft²</li><li>1,947,305 ft²</li><li>1,911,329 ft² (177,568.3 m²)</li></ul>
Non-Residential GLA	<ul style="list-style-type: none"><li>125,728 ft² (11,680.6 m²)</li></ul>	<ul style="list-style-type: none"><li>176,022 ft² (16,353 m²)</li></ul>	<ul style="list-style-type: none"><li>301,750 ft² (28,033.6 m²)</li></ul>
No. of Dwelling Units <ul style="list-style-type: none"><li>a) Market Rental Building</li><li>b) Affordable Housing Building</li><li>c) Market Ownership</li></ul>	<ul style="list-style-type: none"><li>1,166, including -<ul style="list-style-type: none"><li>a) Nil</li><li>b) 79</li><li>c) 1,087</li></ul></li></ul>	<ul style="list-style-type: none"><li>1,131, including -<ul style="list-style-type: none"><li>a) 200</li><li>b) 62</li><li>c) 869</li></ul></li></ul>	<ul style="list-style-type: none"><li>2,297, including -<ul style="list-style-type: none"><li>a) 200</li><li>b) 141</li><li>c) 1,956</li></ul></li></ul>
Market Rental Building <ul style="list-style-type: none"><li>153,000 ft² (14,214 m²) min.</li></ul>	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>Min: 153,000 ft² (14,214 m²)</li><li>Proposed: 153,000 ft² (14,214 m²)</li></ul>	<ul style="list-style-type: none"><li>Min: 153,000 ft² (14,214 m²)</li><li>Proposed: 153,000 ft² (14,214 m²)</li></ul>
Affordable Housing Habitable Area <ul style="list-style-type: none"><li>5% residential (excluding Market Rental)</li></ul>	<ul style="list-style-type: none"><li>Habitable Unit Area (5% x 963,987 ft² min.)</li><li>Min: 48,199 ft² (4,477.8 m²)</li><li>Proposed: 49,431 ft² (4,592.3 m²)</li></ul>	<ul style="list-style-type: none"><li>Habitable Unit Area (5% x 800,499 ft² min.)</li><li>Min: 40,025 ft² (3,718.5 m²)</li><li>Proposed: 40,926 ft² (3,802.2 m²)</li></ul>	<ul style="list-style-type: none"><li>Habitable Unit Area (5% x 1,764,486 ft² min.)</li><li>Min: 88,224 ft² (8,196.3 m²)</li><li>Proposed: 90,357 ft² (8,394.5 m²)</li></ul>
Dwelling Unit Types <ul style="list-style-type: none"><li>Total</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 5% (55 units)</li><li>1-BR: 45% (527 units)</li><li>2-BR: 41% (479 units)</li><li>3-BR: 9% (105 units)</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 16% (186 units)</li><li>1-BR: 35% (391 units)</li><li>2-BR: 41% (467 units)</li><li>3-BR: 8% (87 units)</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 11% (241 units)</li><li>1-BR: 40% (918 units)</li><li>2-BR: 41% (946 units)</li><li>3-BR: 8% (192 units)</li></ul>
Market Rental Housing Building (Min. 40% 2 & 3-BR units)	<ul style="list-style-type: none"><li>N/A</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 60% (120 units)</li><li>1-BR: 0% (0 units)</li><li>2-BR: 40% (80 units)</li><li>3-BR: 0% (0 units)</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 60% (120 units)</li><li>1-BR: 0% (0 units)</li><li>2-BR: 40% (80 units)</li><li>3-BR: 0% (0 units)</li></ul>
Affordable Housing Buildings (Min. 50% 2 & 3-BR units)	<ul style="list-style-type: none"><li>Bachelor: 15% (12 units)</li><li>1-BR: 47% (37 units)</li><li>2-BR: 28% (22 units)</li><li>3-BR: 10% (8 units)</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 37% (22 units)</li><li>1-BR: 0% (0 units)</li><li>2-BR: 63% (40 units)</li><li>3-BR: 0% (0 units)</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 24% (34 units)</li><li>1-BR: 26% (37 units)</li><li>2-BR: 44% (62 units)</li><li>3-BR: 6% (8 units)</li></ul>
Market Ownership (50% min. 2 & 3-BR units)	<ul style="list-style-type: none"><li>Bachelor: 4% (43 units)</li><li>1-BR: 45% (490 units)</li><li>2-BR: 42% (457 units)</li><li>3-BR: 9% (97 units)</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 5% (44 units)</li><li>1-BR: 45% (391 units)</li><li>2-BR: 40% (347 units)</li><li>3-BR: 10% (87 units)</li></ul>	<ul style="list-style-type: none"><li>Bachelor: 5% (87 units)</li><li>1-BR: 45% (881 units)</li><li>2-BR: 41% (804 units)</li><li>3-BR: 9% (184 units)</li></ul>
Basic Universal Housing Units (Min. 100% of Market Rental & Affordable Housing / Min. 20% of Market Ownership Housing)	<ul style="list-style-type: none"><li>26% (299 units) including -<ul style="list-style-type: none"><li>Affordable Housing: 100% (79 units)</li><li>Market Ownership: 20% (220 units)</li></ul></li></ul>	<ul style="list-style-type: none"><li>39% (436 units) including -<ul style="list-style-type: none"><li>Market Rental: 100% (200 units)</li><li>Affordable Housing: 100% (62 units)</li><li>Market Ownership: 20% (174 units)</li></ul></li></ul>	<ul style="list-style-type: none"><li>32% (735 units) including -<ul style="list-style-type: none"><li>Market Rental: 100% (200 units)</li><li>Affordable Housing: 100% (141 units)</li><li>Market Ownership: 20% (394 units)</li></ul></li></ul>
CCAP Indoor Amenity Space (Min. 2 m²/unit)	<ul style="list-style-type: none"><li>25,101 ft² (2,332 m²)</li></ul>	<ul style="list-style-type: none"><li>23,348 ft² (2,262 m²)</li></ul>	<ul style="list-style-type: none"><li>48,449 ft² (4,594 m²)</li></ul>
OCP Outdoor Amenity Space (Min. 6 m²/unit)	<ul style="list-style-type: none"><li>75,511 ft² (7,015 m²)</li></ul>	<ul style="list-style-type: none"><li>73,044 ft² (6,786 m²)</li></ul>	<ul style="list-style-type: none"><li>148,555 ft² (13,801 m²)</li></ul>
CCAP Additional Landscape Space (Min.10% of Net Site)	<ul style="list-style-type: none"><li>39,771 ft² (3,695 m²)</li></ul>	<ul style="list-style-type: none"><li>32,402 ft² (3,010 m²)</li></ul>	<ul style="list-style-type: none"><li>72,173 ft² (6,705 m²)</li></ul>
Lot Coverage (Max. 90%)	<ul style="list-style-type: none"><li>60%</li></ul>	<ul style="list-style-type: none"><li>75%</li></ul>	<ul style="list-style-type: none"><li>66%</li></ul>
Height (Max. 45 m)	<ul style="list-style-type: none"><li>45 m</li></ul>	<ul style="list-style-type: none"><li>45 m</li></ul>	<ul style="list-style-type: none"><li>45 m</li></ul>
Flood Construction Level (Min. 2.9 m GSC or 0.3 m above crown of road, excluding parking)	<ul style="list-style-type: none"><li>Parking: -5.2m GSC</li><li>Dwellings: 2.9 m GSC min.</li><li>Other Uses: 0.3 m min. above crown of road</li></ul>	<ul style="list-style-type: none"><li>Parking: -5.2m GSC</li><li>Dwellings: 2.9 m GSC min.</li><li>Other Uses: 0.3 m min. above crown of road</li></ul>	<ul style="list-style-type: none"><li>Parking: -5.2m GSC</li><li>Dwellings: 2.9 m GSC min.</li><li>Other Uses: 0.3 m min. above crown of road</li></ul>
Setbacks (Varies as per CCAP Special Precinct DP Guidelines)	<ul style="list-style-type: none"><li>Minoru Blvd.: 3.0m</li><li>E/W Road: 2.0m at towers; 0.5m above L1</li></ul>	<ul style="list-style-type: none"><li>E/W Road: 2.0m at towers; 0.5m above L1</li><li>No. 3 Road: Varies</li></ul>	<ul style="list-style-type: none"><li>Varies</li></ul>

CITY HALL

CITY OF RICHMOND NOTES FOR PHASE 1 ONLY:

- General Information:
- Phasing Boundaries: Phase 1 & 2 boundaries do NOT correspond with the Lot 1 & 2 boundaries:
    - Phase 1: This phase will be constructed entirely on Lot 1 (next to the Park Road Plaza) as shown on the key plan on **PLAN #1b**
    - Phase 2: This phase will be constructed on Lot 2 & a small portion of Lot 1 (next to the Park Road Plaza) as shown on the key plan on **PLAN #1b**

NOTE: In addition, please note that a portion of the underground parking constructed in Phase 1 on Lot 1 is surplus to the needs of Phase 1 and is intended for the future use of Phase 2. (**PLAN #1b**)

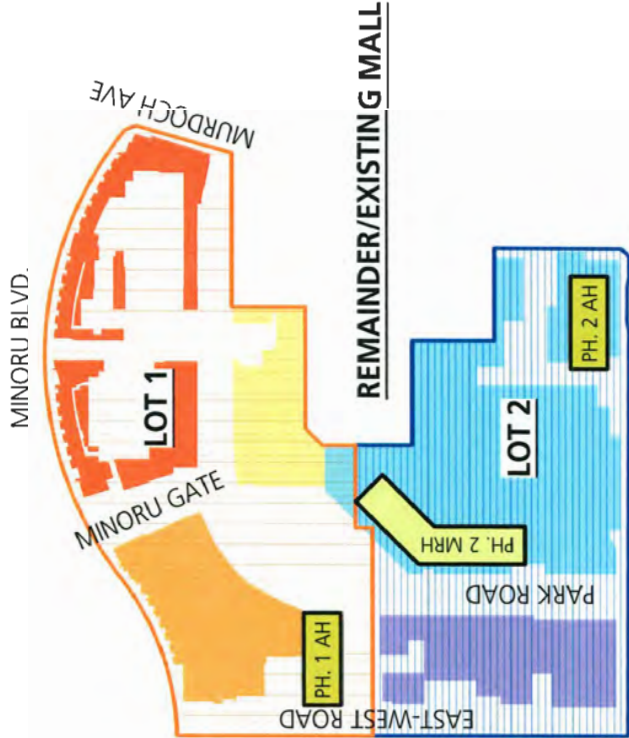
The combined **PHASE 1** / **PHASE 2** developments are presented in **PLAN #1a-n**, including (among other things):

- Concepts: **PLAN #1a-k**
- Loading: **PLAN #1l**
- Urban Design Strategy: **PLAN #1m**
- Construction Staging: **PLAN #1n**
- PHASE 1** key development requirements are presented in:
  - Variances: Shown on the Site Plan (**PLAN #3a**)
  - Statutory Right-of-Ways (SRWs): Shown on the Site Plan (**PLAN #3a**)
  - Occupancy Staging Plan: Shown on **PLAN #10**
- PHASE 1** development details are presented in **PLAN #11**, including:

- Affordable Housing** (secured with a Housing Agreement): Affordable Housing Building requirements are summarized on (**PLAN #11a**)
- Accessibility: Basic Universal Housing & Aging-in-Place requirements are summarized on **PLAN #11b**.
- Shared Amenity Space for Residents / Outdoor: Requirements are summarized on **PLAN #11c**
- Shared Amenity Space for Residents / Indoor: Requirements are summarized on **PLAN #11d**
- Public Art / Required Screening & Voluntary Contributions: Requirements are summarized on **PLAN #11e**
- Parking / EV: Statistics & distribution are summarized on **PLAN #11f**.
- Commercial Class 1 Bike Storage/EV & End-of-Trip Facilities: Requirements are summarized on **PLAN #11g**
- Residential Class 1 Bike Storage/EV & Bike Maintenance Facilities: Requirements are summarized on **PLAN #11h**
- Class 2 Bike Storage: Requirements are summarized on **PLAN #11i**
- Loading: Requirements are summarized on **PLAN #11j**
- Waste Management: Requirements are summarized on **PLAN #11k**
- DEU / Rooftop Mechanical Screening Strategy: Requirements are summarized on **PLAN #11l**
- Park Road Plaza (SRW): Requirements are summarized on **PLAN #11m**
- Mobility Hub (SRW): Requirements are summarized on **PLAN #11n**
- SRW Roads (Sections): Requirements are summarized on **PLAN #11o**
- Canada Line Access Improvements (SRW): Requirements are summarized on **PLAN #11p**

Additional information:

- Market Rental Housing (secured with a Housing Agreement): N/A (No market rental housing units are proposed in Phase 1)



gbl  
1800-363-6363  
VANCOUVER BC CANADA V6T 1B6  
TEL: 604-735-1166  
FAX: 604-731-8279  
WWW.GBLINC.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 1a



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	Progress for City Review
	9	2019-05-03	DP Panel Submission

RICHMOND CENTRE  
PHASE 1

PH 1 + 2 COMBINED  
STATS SUMMARY

DATE	4/30/2019 11:37 PM
DRAWN BY	Author
CHECKED BY	Checker
SCALE	1" = 100'-0"
JOB NUMBER	1686-87

A-1.01

CF Richmond Centre @ 6551 No. 3 Road

COMMERCIAL SUMMARY

Phase	Gross Floor Area	Exemptions	Net Floor Area
1	173,888 ft²	14,432 ft²	159,457 ft²
2	220,235 ft²	18,119 ft²	202,116 ft²
TOTAL	394,124 ft² (36,615.3 m²)	32,551 ft² (3,024.1 m²)	361,572 ft² (33,591.2 m²)

RESIDENTIAL SUMMARY (Affordable Housing & Market Ownership) – Phase 1

Building	Gross Floor Area	Exemptions	BUH Exemption	DEU Exemption	Amenity Space	Net Floor Area
1A	620,133 ft²	27,947 ft²	2,160 ft²	7,521 ft²	5,143 ft²	577,365 ft²
1B	436,007 ft²	20,495 ft²	3,820 ft²	5,025 ft²	20,825 ft²	385,845 ft²
1C	777 ft²	-	-	-	-	777 ft²
TOTAL	1,056,918 ft² (98,191 m²)	48,442 ft² (4,500 m²)	5,980 ft² (555.6 m²)	12,546 ft² (1,165.6 m²)	25,968 ft² (2,413 m²)	963,987 ft² (89,557 m²)

RESIDENTIAL SUMMARY (Market Rental Housing, Affordable Housing & Market Ownership) – Phase 2

Building	Gross Floor Area	Exemptions	BUH Exemption	DEU Exemption	Amenity Space	Net Floor Area
2A	327,861 ft²	10,925 ft²	-	3,454 ft²	23,234 ft²	290,295 ft²
2B	698,011 ft²	22,658 ft²	5,280 ft²	8,716 ft²	4,268 ft²	657,047 ft²
TOTAL	1,025,872 ft² (95,306.6 m²)	33,583 ft² (3,120.0 m²)	5,280 ft² (490.5 m²)	12,170 ft² (1,130.6 m²)	27,502 ft² (2,555 m²)	947,342 ft² (88,011 m²)

RESIDENTIAL AMENITY SPACE / INDOOR SUMMARY – Phase 1

Building	Net Floor Area	Location/Levels
1A	5,143 ft²	4 & 10
1B	20,825 ft²	1, 2, 3, 4 & 8
1C	-	-
TOTAL	25,968 ft² (2,413 m²)	Varies

RESIDENTIAL AMENITY SPACE / INDOOR SUMMARY – Phase 2

Building	Net Floor Area	Location/Levels
2A	23,234 ft²	1, 2, 3, 4 & 8
2B	4,268 ft²	4 & 10
TOTAL	27,502 ft² (2,555 m²)	Varies

RESIDENTIAL AMENITY SPACE / OUTDOOR SUMMARY – Phase 1

Building	Net Floor Area	Location/Levels
1A	45,176 ft²	4 & 10
1B	30,335 ft²	2, 4 & 8
1C	-	-
TOTAL	75,511 ft² (7,015 m²)	Varies

RESIDENTIAL AMENITY SPACE / OUTDOOR SUMMARY – Phase 2

Building	Net Floor Area	Location/Levels
2A	20,731 ft²	2, 4 & 8
2B	52,313 ft²	2 & 10
TOTAL	73,044 ft² (6,786 m²)	Varies

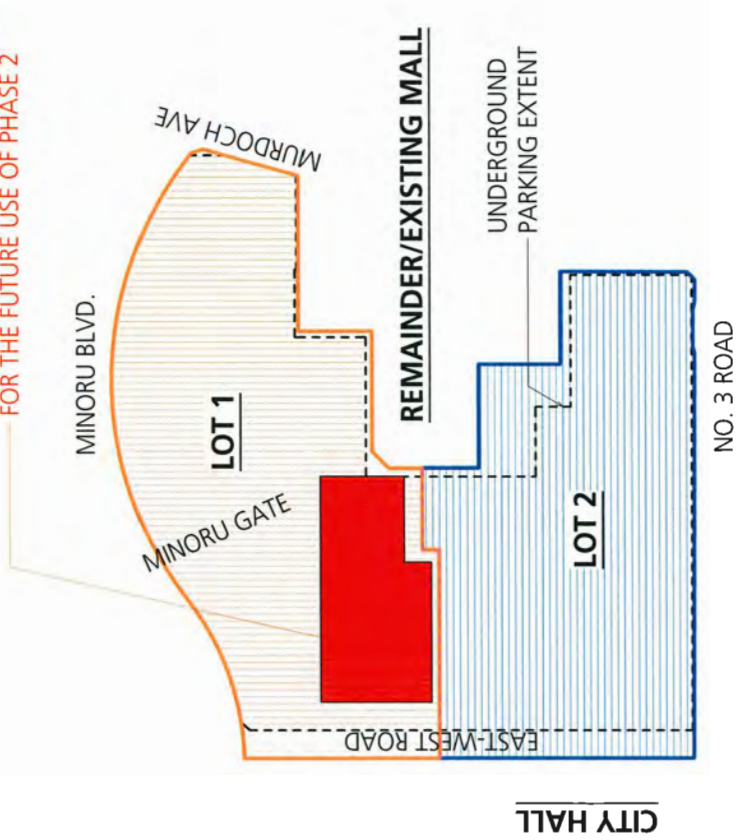


GBI ARCHITECTS INC.  
135 EAST BAY AVENUE TEL: 604.736.1156  
VANCOUVER, BC CANADA V6T 1B6 FAX: 604.731.1579  
www.gbi-architects.com

NOTES



PORION OF UNDERGROUND PARKING IN  
PHASE 1 ON LOT 1 IS SURPLUS TO THE  
NEEDS OF PHASE 1 AND IS INTENDED  
FOR THE FUTURE USE OF PHASE 2



CITY HALL



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review
	7	2019-04-26	DP Application Rev. 3 Progress for City Review
	8	2019-05-03	DP Permit Submission

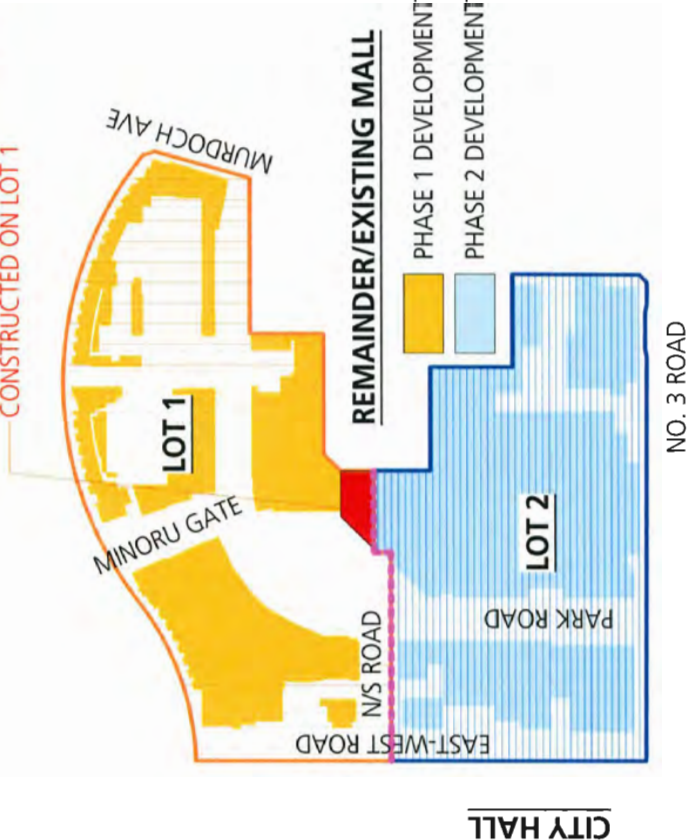
RICHMOND CENTRE  
PHASE 1

PH 1 + 2 COMBINED  
STATS SUMMARY

DATE	4/20/2019 11:18 AM
DRAWN BY	Author
CHECKED BY	1:100-02
SCALE	1:100-02
JOB NUMBER	1686-87

NO. 3 ROAD

SMALL PORTION OF PHASE 2 WILL BE  
CONSTRUCTED ON LOT 1



CITY HALL



CF Richmond Centre @ 6551 No. 3 Road

PARKING SUMMARY – Phase 1

Parking Requirements by Use	Vehicle Parking				Class 1 Bikes		Class 2 Bikes	
	Units or Area	Bylaw Min. Rate (w/ variance)	Min. #	Proposed	Bylaw Min. Rate	Min # & Proposed	Bylaw Min Rate	Min # & Proposed
<b>RESIDENTIAL</b>								
▪ Affordable Hsg	79	0.375/unit	30	30	2.0/unit	158	0.2/unit	16
▪ Market Owner.	1,087	0.9/unit	979	1,155	1.25/unit	1,359	0.2/unit	218
▪ Visitors	1,164	0 (shared)	shared	0 (shared)	-	-	-	-
<b>OTHER</b>								
▪ Commercial	125,728 ft <sup>2</sup> GLA	3.375/100 m <sup>2</sup>	395	395	0.27/100 m <sup>2</sup>	32 <sup>3</sup>	0.27/100 m <sup>2</sup>	32
<b>Ph 1 surplus</b>								
▪ Residential	-	-	-	192 <sup>1</sup>	-	-	-	-
▪ Commercial				490 <sup>2</sup>				
▪ Car-Share	-	-	3	3	-	-	-	-
<b>TOTAL</b>	-	-	<b>1,407</b>	<b>2,265</b>	-	<b>1,549</b>	-	<b>266</b>

<sup>1</sup> 192 surplus residential spaces for use of Phase 2  
<sup>2</sup> 490 surplus commercial spaces including 31 for Phase 2 & 459 for the Remainder Mall  
<sup>3</sup> Commercial Class 1 bike spaces = 20 public spaces + 12 tenant spaces

PARKING SUMMARY – Phase 2

Parking Requirements by Use	Vehicle Parking			Class 1 Bikes		Class 2 Bikes		
	Units or Area	Bylaw Min. Rate (w/ variance)	Min. #	Proposed	Bylaw Min. Rate	Min # & Proposed	Bylaw Min Rate	Min # & Proposed
<b>RESIDENTIAL</b>								
▪ Market Rental	200	0.6/unit	120	120	2.0/unit	400	0.2/unit	40
▪ Affordable Hsg	64	0.375/unit	24	24	2.0/unit	128	0.2/unit	13
▪ Market Owner.	867	0.9/unit	781	672 <sup>1</sup>	1.25/unit	1,084	0.2/unit	174
▪ Visitors	1,131	0 (shared)	shared	0 (shared)	-	-	-	-
<b>OTHER</b>								
▪ Commercial	176,022 ft <sup>2</sup> GLA	3.375/100 m <sup>2</sup>	552	521 <sup>2</sup>	0.27/100 m <sup>2</sup>	45	0.27/100 m <sup>2</sup>	45
▪ Car-Share	-	-	3	3	-	-	-	-
<b>TOTAL</b>	-	-	<b>1,480</b>	<b>1,340</b>	-	<b>1,657</b>	-	<b>272</b>

<sup>1</sup> Total Market Owner = 672 sp + 192 sp surplus Phase 1 = 864 spaces  
<sup>2</sup> Total Commercial = 521 sp + 31 sp surplus to Phase 1 = 552 spaces

PARKING SUMMARY – Remainder Mall

Parking Requirements by Use	Vehicle Parking			Class 1 Bikes		Class 2 Bikes	
	Units or Area	Bylaw Min. Rate	Min. #	Proposed	Bylaw Min. Rate	Min # & Proposed	Min # & Proposed
OTHER							
▪ Commercial	226,448 ft <sup>2</sup> GLA	3.375/100 m <sup>2</sup>	710	251 <sup>1</sup>	0.27/100 m <sup>2</sup>	57	0.27/100 m <sup>2</sup> 57
▪ Car-Share	-	-	-	-	-	-	-
TOTAL	226,448 ft <sup>2</sup>	3.375/100 m <sup>2</sup>	710	251	0.27/100 m <sup>2</sup>	57	0.27/100 m <sup>2</sup> 57
<sup>1</sup> Total Commercial = 251 sp + 459 sp surplus to Phase 1 = 710 sp							

PARKING SUMMARY – Phase 1 + 2 + Remainder Mall Combined

Parking Requirements by Use	Vehicle Parking			Class 1 Bikes		Class 2 Bikes		
	Units or Area	Bylaw Min. Rate (w/ variance)	Min. #	Proposed	Bylaw Min. Rate	Min # & Proposed	Bylaw Min Rate	Min # & Proposed
<b>RESIDENTIAL</b>								
▪ Market Rental	200	0.6/unit	120	120	2.0/unit	400	0.2/unit	40
▪ Affordable Hsg	143	0.375/unit	54	54	2.0/unit	286	0.2/unit	29
▪ Market Owner.	1,954	0.9/unit	1,759	2,019	1.25/unit	2,443	0.2/unit	392
▪ Visitors	2,297	0 (shared)	shared	0 (shared)	-	-	-	-
<b>OTHER</b>								
▪ Commercial	528,199 ft²	3.375/100 m²	1,657	1,657	0.27/100 m²	134	0.27/100 m²	134
▪ Car-Share	-	-	6	6	-	-	-	-
<b>TOTAL</b>	-	-	<b>3,596</b>	<b>3,856</b>	-	<b>3,263</b>	-	<b>595</b>

ELECTRIC VEHICLE (EV) CHARGING EQUIPMENT REQUIREMENTS – Phase 1

Use	Vehicle Parking				Class 1 Bike Storage (Min)	
	# Spaces	Rate	Energized Equipment (1)	# Bikes	Rate	Energized Equipment (2)
▪ Residential	1,185	100%	1,185 stalls	1,517	10%	152 stalls
▪ Commercial	395	2%	8 stalls	12 <sup>3</sup>	10%	2 stalls
▪ Car-Share	3	100%	3 stalls	-	-	-
Ph 1 Surplus ▪ Residential ▪ Commercial	192 <sup>1</sup> 490 <sup>2</sup>	100% 2%	192 stalls 10 stalls	- -	- -	- -
TOTAL	2,265	-	1,398 stalls	1,529	-	154 stalls

ELECTRIC VEHICLE (EV) CHARGING EQUIPMENT REQUIREMENTS – Phase 2

Use	Vehicle Parking				Class 1 Bike Storage (Min)	
	# Spaces	Rate	Energized Equipment (1)	# Bikes	Rate	Energized Equipment (2)
▪ Residential	816	100%	816 stalls	1,612	10%	162 stalls
▪ Commercial	521	2%	11 stalls	45	10%	5 stalls
▪ Car-Share	3	100%	3 stalls	-	-	-
TOTAL	1,340	-	830 stalls	1,657	-	167 stalls

ELECTRIC VEHICLE (EV) CHARGING EQUIPMENT REQUIREMENTS – Phase 1 + 2 Combined

Use	Vehicle Parking				Class 1 Bike Storage (Min)	
	# Spaces	Rate	Energized Equipment (1)	# Bikes	Rate	Energized Equipment (2)
▪ Residential	2,193	100%	2,193 stalls	3,129	10%	313 stalls
▪ Commercial	1,406	2%	29 stalls	77	10%	8 stalls
▪ Car-Share	6	100%	6 stalls	-	-	-
TOTAL	3,605	-	2,228 stalls	3,206	-	321

(1) Vehicle Parking "Energized Equipment" means operational 240 V / 40 A circuit and all related infrastructure required for the charging of an electric vehicle, including all electrical equipment (including metering), cabling and associated raceways, and connections AND:

- For Market Rental, Affordable Housing & Market Ownership, EXCLUDES electric vehicle supply equipment (EVSE)
- For Car-Share: INCLUDES electric vehicle supply equipment (EVSE)

(2) Class 1 Bike Storage "Energized Equipment" means operational 120V duplex outlet for the charging of an electric bicycle and all the wiring, electrical equipment, and related features necessary to supply the required electricity for the operation of such an outlet. Must be located to facilitate shared use by multiple bikes

LOADING SUMMARY – Phase 1, Phase 2 & Remainder Mall (See PLAN #11j)



• GBL ARCHITECTS INC.  
135 EAST BAY AVENUE TEL: 904-736-1156  
WILMINGTON, NC 28401 FAX: 904-731-5279  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 1c



REVISIONS		No.	Date	Description
1	2017-03-31	Development Permit Application		
2	2017-08-08	30% Design Set		
3	2018-03-29	Final Design Set, 1		
4	2018-04-06	DP Application Rev. 1		
5	2018-08-02	DP Application Rev. 2		
6	2019-03-20	DP Application Rev. 3		
7	2019-04-26	DP Application Rev. 3		
8	2019-05-03	DP Application Rev. 3		

RICHMOND CENTRE  
PHASE 1

PH 1 + 2 COMBINED

STATS SUMMARY			
DATE	4/30/2019 8:11:51 AM		
DRAWN BY	ADW		
CHECKED BY	CHW		
SCALE			
JOB NUMBER	1686-87		

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DP 17-768248  
MAY 29, 2019  
PLAN # 1d



REV. NO.	DATE	DESCRIPTION
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	DP Application Rev. 3
8	2019-05-03	Progress for City Review DP Final Submission

RICHMOND CENTRE  
PHASE 1

PH 1 + 2 COMBINED  
SITE PLAN

DATE: 5/10/2019 3:58:48 PM  
DRAWN BY: JS  
CHECKED BY: JS  
SCALE: -  
JOB NUMBER: 1686-87

NET AREA - COMBINED			
USE	FAR AREA	FAR AREA (m2)	FAR (COMBINED)
COMMERCIAL AREA	361,572 SF	33,591.2 m <sup>2</sup>	0.50
RESIDENTIAL	1,911,329 SF	177,568.3 m <sup>2</sup>	2.65
TOTAL	2,272,901 SF	211,159.5 m <sup>2</sup>	3.15

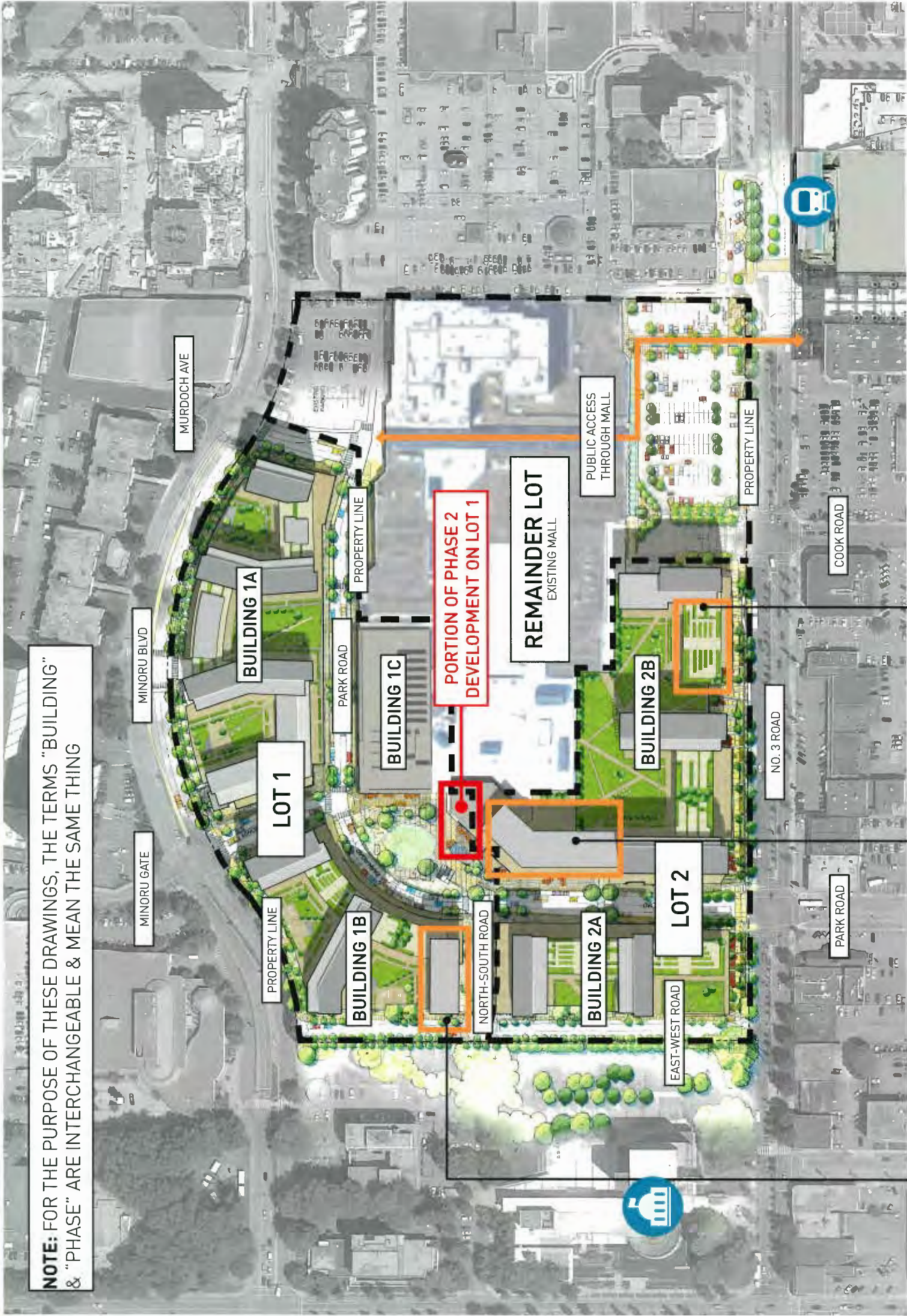
NET AREA - PHASE 2 (ON LOT 2 WITH LOT 1 COVERAGE)			
USE	FAR AREA	FAR AREA (m2)	FAR (COMBINED)
COMMERCIAL AREA	202,116 SF	18,777.2 m <sup>2</sup>	0.28
RESIDENTIAL	947,342 SF	88,011.0 m <sup>2</sup>	1.31
TOTAL	1,149,458 SF	106,788.1 m <sup>2</sup>	1.59

NOTE: ACTUAL LOT 2 FAR WILL BE REDUCED MARGINALLY BY PHASE 2 AREA LOCATED ON LOT 1

NET AREA - PHASE 1 (ON LOT 1 ONLY)			
USE	FAR AREA	FAR AREA (m2)	FAR (COMBINED)
COMMERCIAL AREA	159,457 SF	14,814.0 m <sup>2</sup>	0.22
RESIDENTIAL	963,987 SF	89,557.3 m <sup>2</sup>	1.34
TOTAL	1,123,443 SF	104,371.3 m <sup>2</sup>	1.56

NOTE: LOT 1 FAR WILL INCREASE MARGINALLY BY PHASE 2 AREA LOCATED ON LOT 1

NOTE: FOR THE PURPOSE OF THESE DRAWINGS, THE TERMS "BUILDING" & "PHASE" ARE INTERCHANGEABLE & MEAN THE SAME THING



**AFFORDABLE HOUSING**  
5% OF PHASE 1 RESIDENTIAL FAR AREA;  
DETAILED DESIGN IN THIS DP APPLICATION

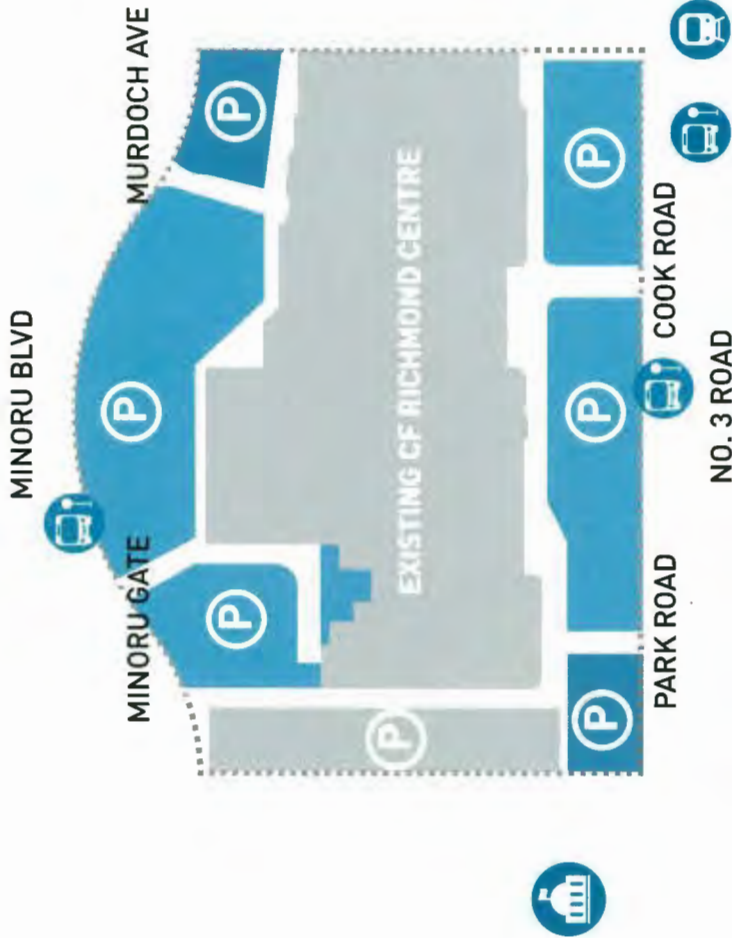
**MARKET RENTAL**  
200 UNITS; FINAL LOCATION  
TBD WITH PHASE 2 DP

**AFFORDABLE HOUSING**  
5% OF PHASE 2 RESIDENTIAL FAR AREA;  
FINAL LOCATION TBD WITH PHASE 2 DP





DP 17-768248  
MAY 29, 2019  
PLAN # 1e



EXISTING SITE DIAGRAM & AERIAL VIEW



- CITY HALL
- BUS STOP
- CANADA LINE

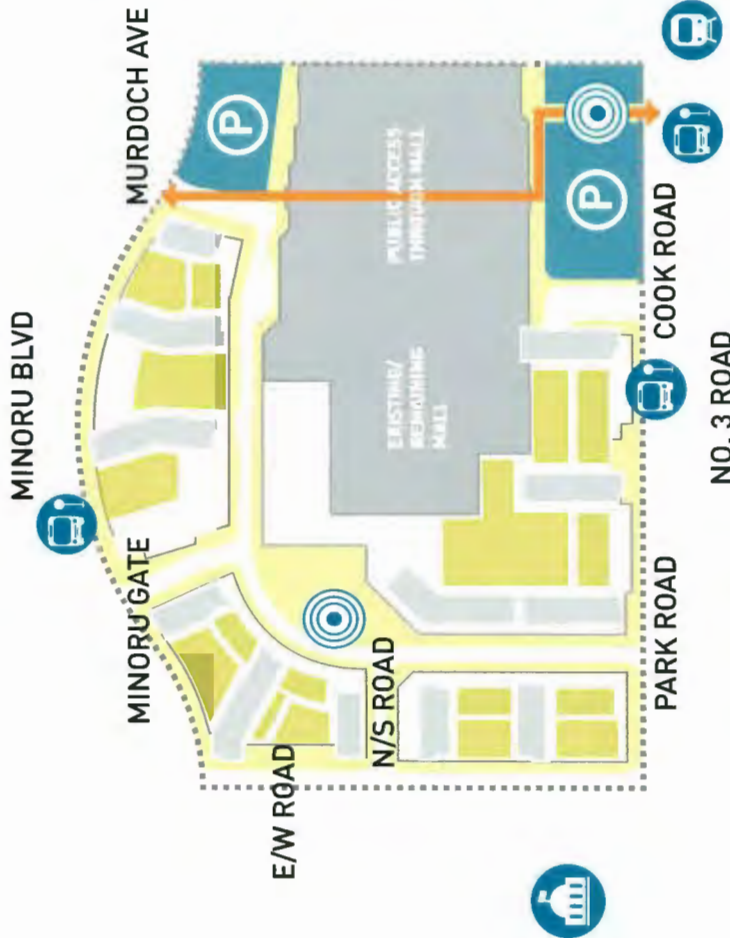


REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	DP Application Rev. 1
	6	2019-05-20	DP Application Rev. 2
	7	2019-05-20	DP Application Rev. 3
	8	2019-05-03	Progress for City Review
			DP Application Rev. 4
			Progress for City Review
			DP Panel Submission

RICHMOND CENTRE  
PHASE 1

PH 1 + 2 COMBINED  
DEV. APPROACH

DATE	4/30/2019 8:33:29 PM
DRAWN BY	Auto
CHECKED BY	Chris
SCALE	
JOB NUMBER	1686-87



PROPOSED SITE DIAGRAM & AERIAL VIEW



- CITY HALL
- BUS STOP
- CANADA LINE
- MOBILITY HUB





DP 17-768248  
MAY 29, 2019  
PLAN # 1f



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-04-05	Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	DP Application Rev. 1	
5	2018-04-05	DP Application Rev. 2	
6	2018-03-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	DP Permit Submission	

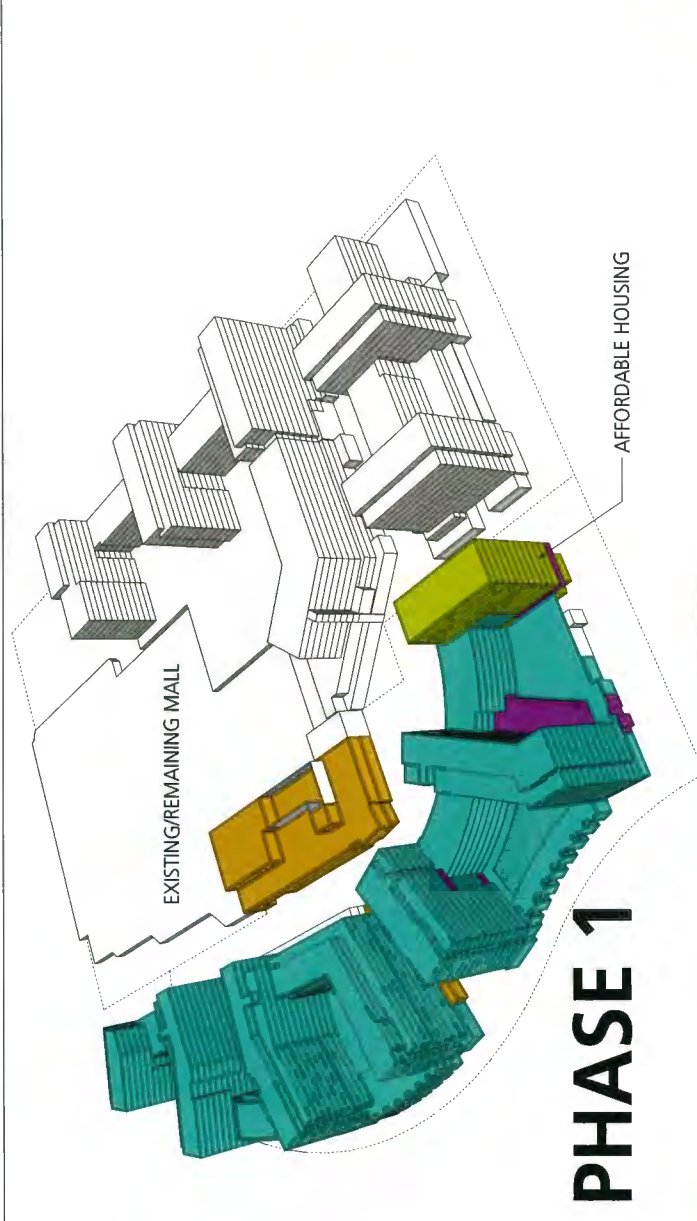
RICHMOND CENTRE  
PHASE 1

PH 1 + 2 COMBINED  
PHASE 1 LAND USE

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

5/20/2019 4:15:41 PM  
B  
1" = 100'-0"  
1686-87

A-1.06



AREA USE

- AFFORDABLE HOUSING
- AMENITY
- COMMERCIAL AREA
- MARKET RENTAL
- RESIDENTIAL

NOTE: TWO BELOW GRADE  
PARKING LEVELS ARE NOT SHOWN  
IN THE FLOOR-BY-FLOOR PLANS

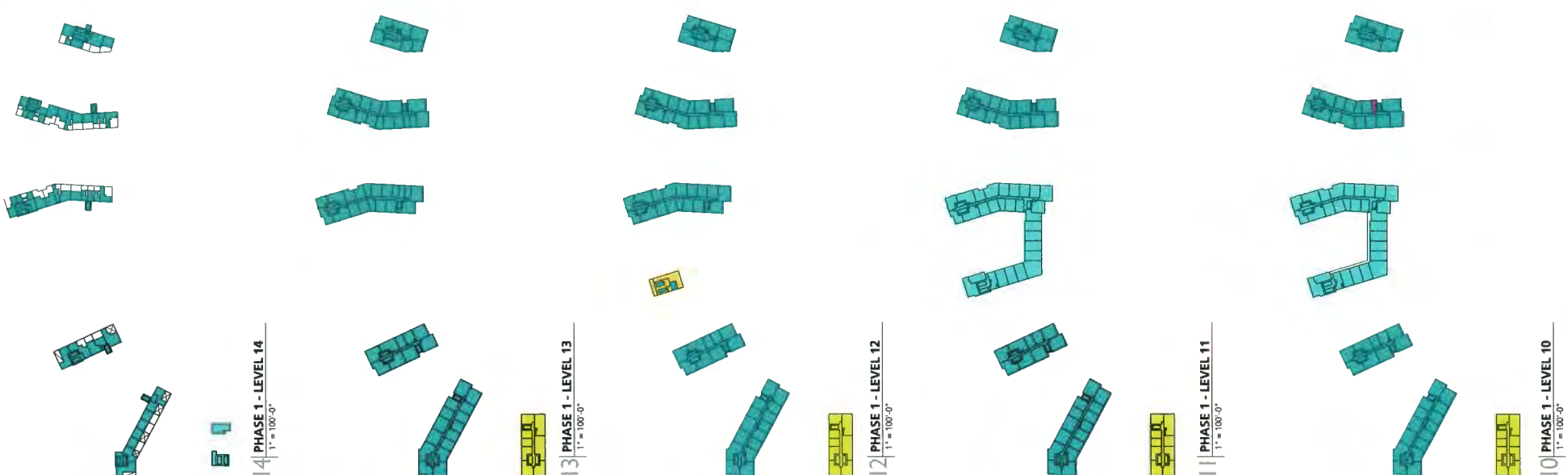
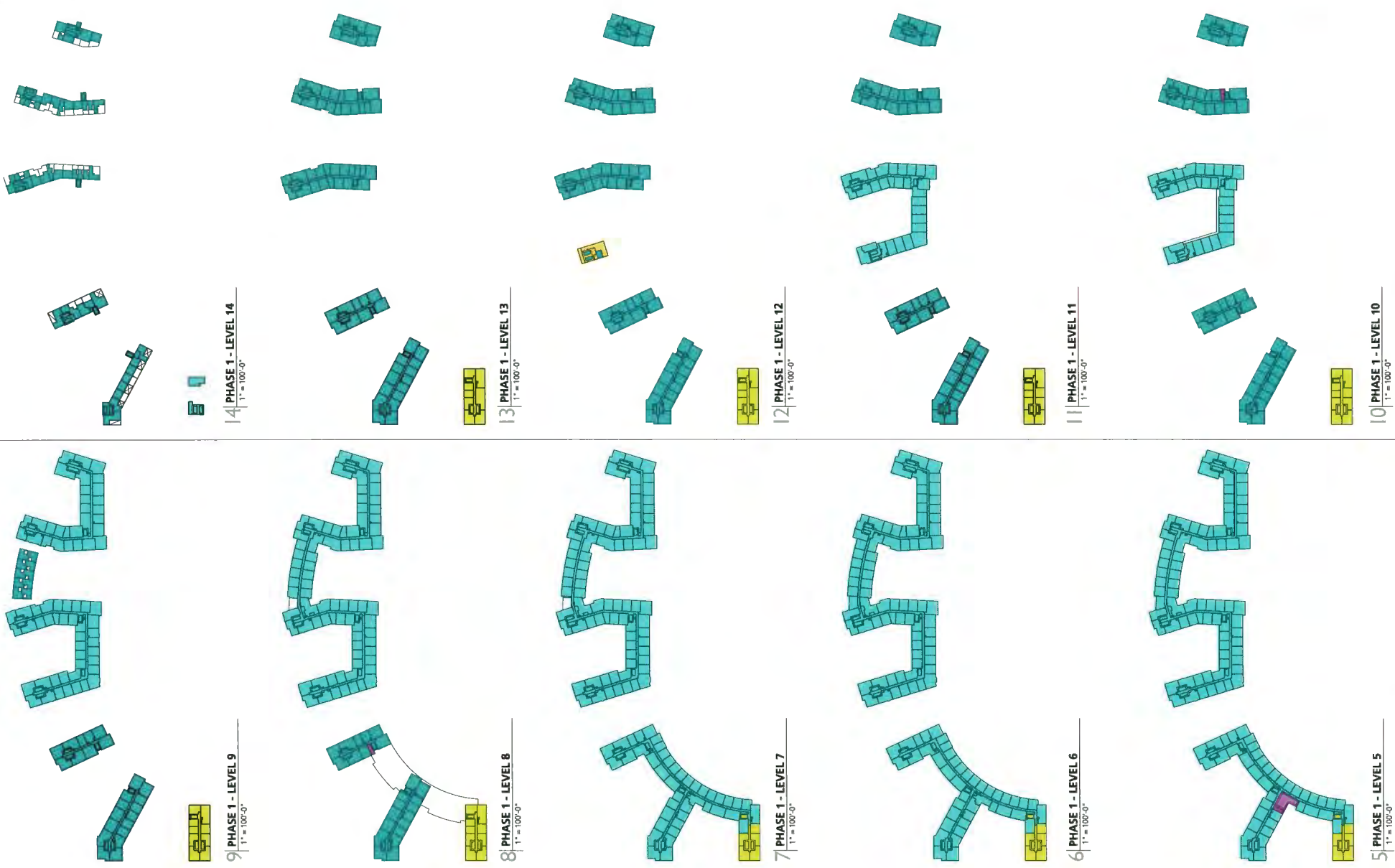
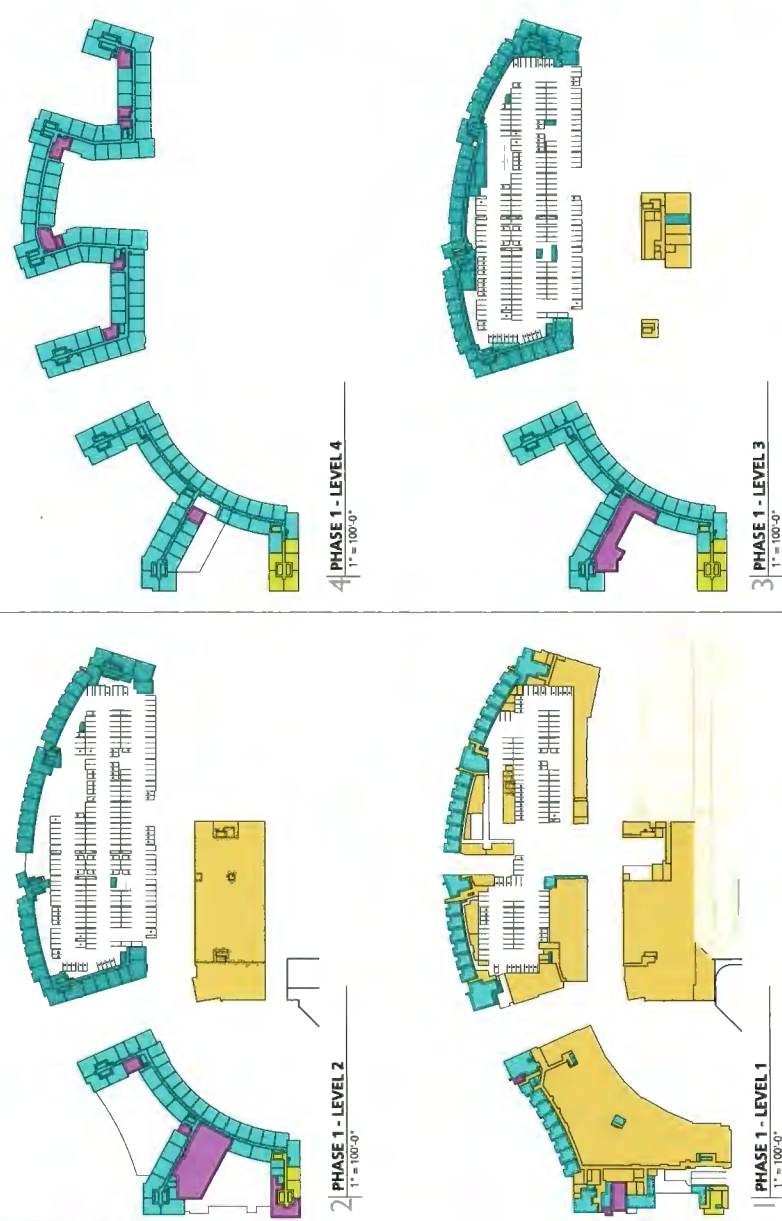
FAR AREA - PHASE 1			
USE	FAR AREA	FAR	
PHASE 1A			
COMMERCIAL AREA	28,428 SF	0.04	
RESIDENTIAL	577,365 SF	0.80	
PHASE 1B			
COMMERCIAL AREA	49,792 SF	0.07	
RESIDENTIAL	385,845 SF	0.53	
PHASE 1C			
COMMERCIAL AREA	81,236 SF	0.11	
RESIDENTIAL	777 SF	0.00	
TOTAL	1,123,443 SF	1.56	

AFFORDABLE HOUSING UNIT MIX

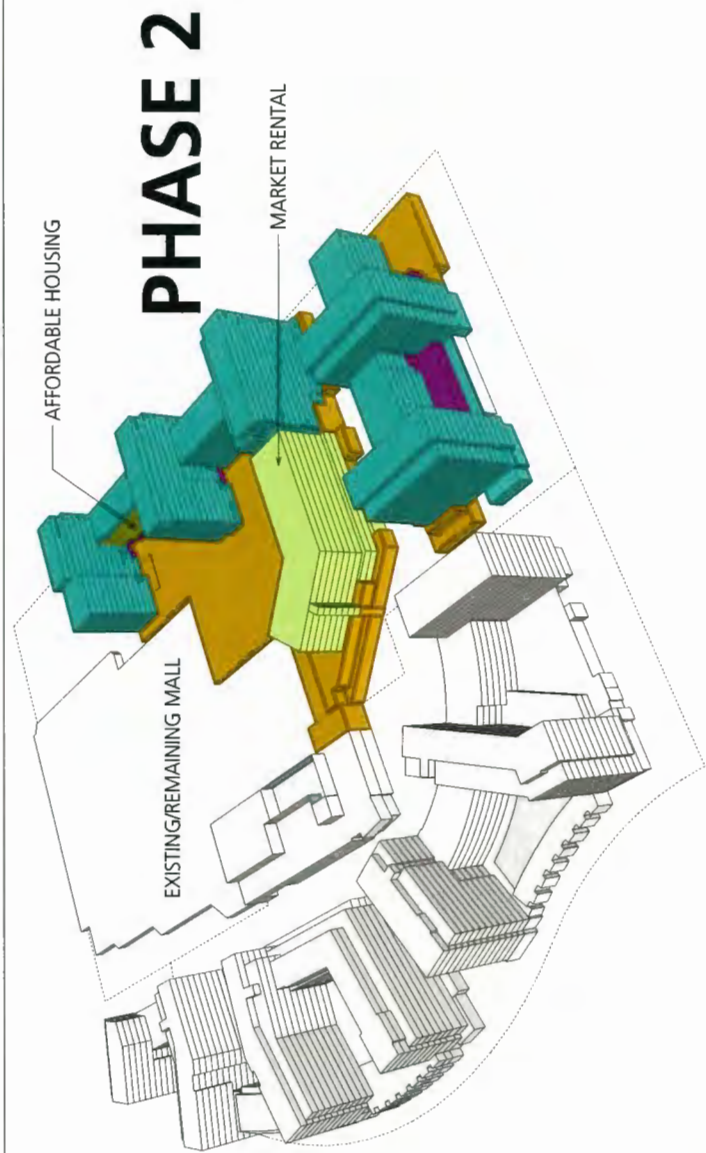
STUDIO	12 (15%)
1-BR	37 (47%)
2-BR	22 (28%)
3-BR	8 (10%)
TOTAL UNITS	79

MARKET OWNERSHIP UNIT MIX

STUDIO	43 (4%)
1-BR	490 (45%)
2-BR	457 (42%)
3-BR	97 (9%)
TOTAL UNITS	1,087







AREA USE

- AFFORDABLE HOUSING
- AMENITY
- COMMERCIAL AREA
- MARKET RENTAL
- RESIDENTIAL

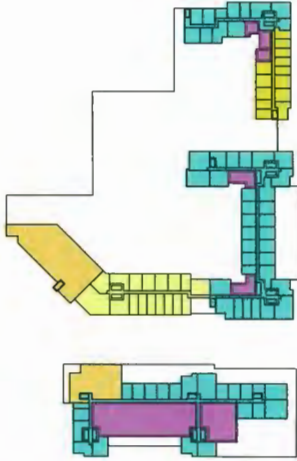
FAR AREA - PHASE 2			
USE	FAR AREA	FAR	
PHASE 2A			
COMMERCIAL AREA	40,432 SF	0.06	
RESIDENTIAL	290,295 SF	0.41	
PHASE 2B	330,727 SF	0.46	
COMMERCIAL AREA	161,684 SF	0.22	
RESIDENTIAL	657,047 SF	0.93	
TOTAL	818,731 SF	1.15	
	1,149,458 SF	1.62	

MARKET RENTAL UNIT MIX		
STUDIO	120 (60%)	
2-BR	80 (40%)	
TOTAL UNITS	200	

AFFORDABLE HOUSING UNIT MIX		
STUDIO	22 (37%)	
2-BR	40 (63%)	
TOTAL UNITS	62	

MARKET OWNERSHIP UNIT MIX		
STUDIO	44 (5%)	
1-BR	391 (45%)	
2-BR	347 (40%)	
3-BR	87 (10%)	
TOTAL UNITS	869	

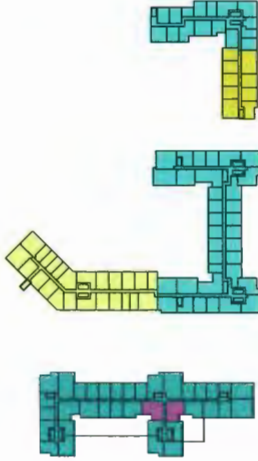
NOTE: TWO BELOW GRADE PARKING LEVELS ARE NOT SHOWN IN THE FLOOR-BY-FLOOR PLANS



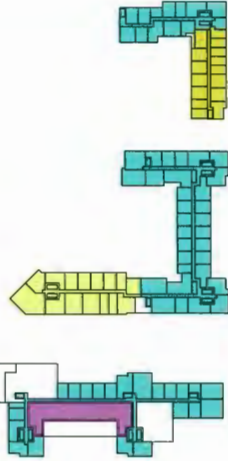
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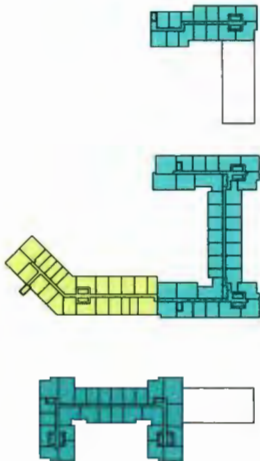
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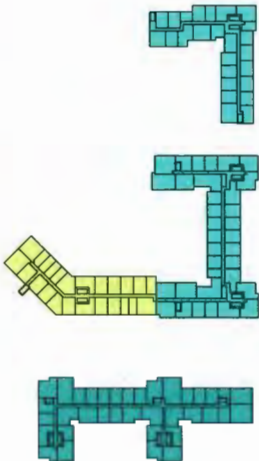
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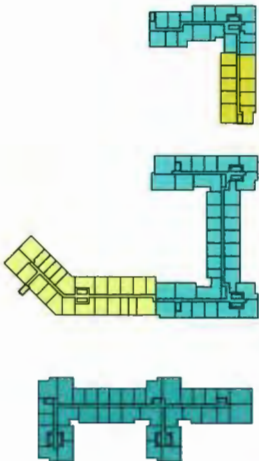
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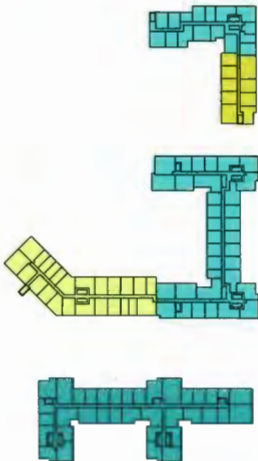
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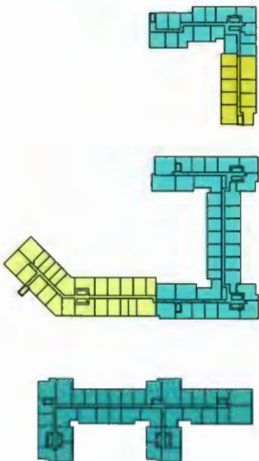
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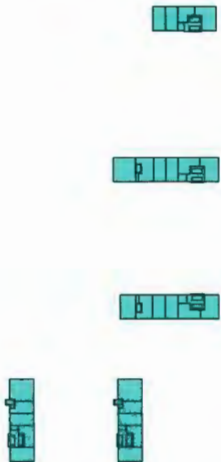
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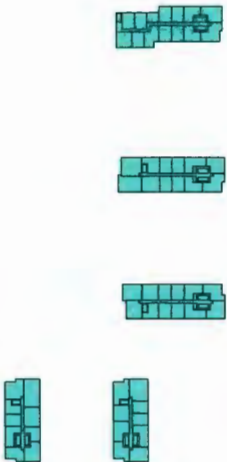
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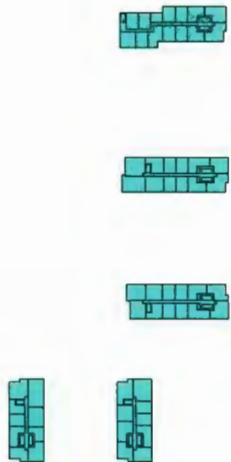
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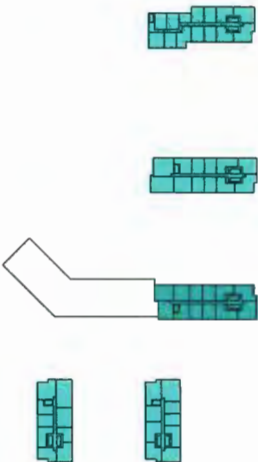
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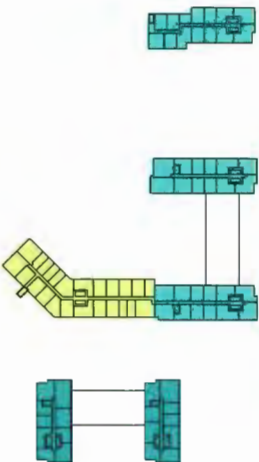
13 | PHASE 2 - LEVEL 13  
1" = 100'-0"



12 | PHASE 2 - LEVEL 12  
1" = 100'-0"



11 | PHASE 2 - LEVEL 11  
1" = 100'-0"



10 | PHASE 2 - LEVEL 10  
1" = 100'-0"

gbl

GBL ARCHITECTS INC.  
135 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V6T 1M6  
TEL: 604.736.1155  
JAN: 604.731.5279  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 1g



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review
	7	2019-04-26	DP Application Rev. 3 Progress for City Review
	8	2019-05-03	DP Panel Submission

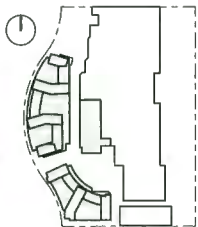
RICHMOND CENTRE  
PHASE 1

PH 1 + 2 COMBINED  
PHASE 2 LAND USE

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CHECKED BY: [Signature]  
SCALE: 1" = 100'-0"  
JOB NUMBER: 1686-87

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DP 17-768248  
MAY 29, 2019  
PLAN # 1h

PARKING COUNT - PHASE 1 + 2	
Phase 1	
Affordable Housing	
Accessible (Van) Affordable Housing	1
Regular Affordable Housing	14
Small Car Affordable Housing	15
Car Share	30
Regular Car Share	3
Commercial	3
Accessible (Van) Commercial	12
Accessible Commercial	3
Regular Commercial	599
Small Car Commercial	271
	885
Residential	
Accessible (Van) Residential	20
Accessible Residential	7
Regular Residential	992
Small Car Residential	328
	1347
	2265
Phase 2	
Commercial	
Accessible Commercial	7
Regular Commercial	368
Small Car Commercial	146
	521
Residential	
Accessible Residential	20
Regular Residential	664
Small Car Residential	132
	816
	1337
TOTAL STALLS	3602

TOTAL STALLS

PHASE 1 + 2	3,602
REMAINDER SURFACE	254
TOTAL STALLS	3,856



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	City of Berkeley, CA DP Application Rev. 1
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-05	DP Application Rev. 1 DP Application Rev. 2
	5	2018-04-26	DP Application Rev. 2 DP Application Rev. 3
	6	2019-03-20	DP Application Rev. 3 Progress for City Review
	7	2019-04-26	DP Application Rev. 3 Progress for City Review
	8	2019-05-03	DP Final Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1 + PHASE 2  
PH 1 + 2 COMBINED  
PARKING

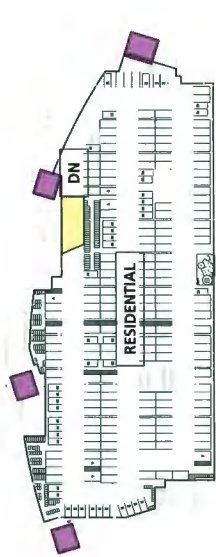
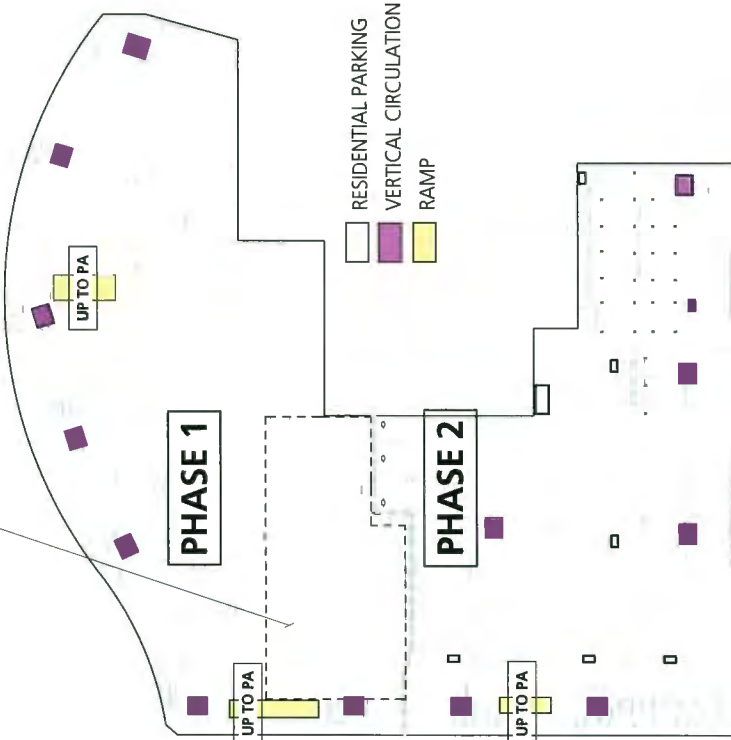
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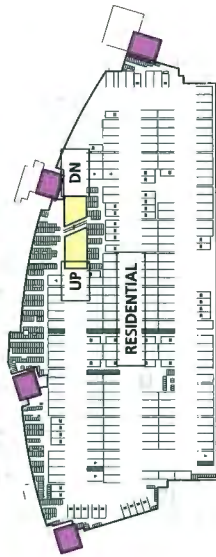
PARKING DISTRIBUTION DIAGRAM

- COMMERCIAL PARKING
- RESIDENTIAL PARKING

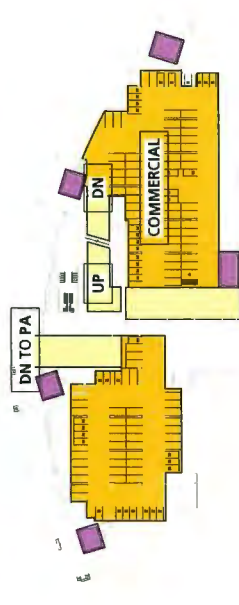
PORTION OF UNDERGROUND PARKING IN PHASE 1 ON LOT 1 IS SURPLUS TO THE NEEDS OF PHASE 1 AND IS INTENDED FOR THE FUTURE USE OF PHASE 2



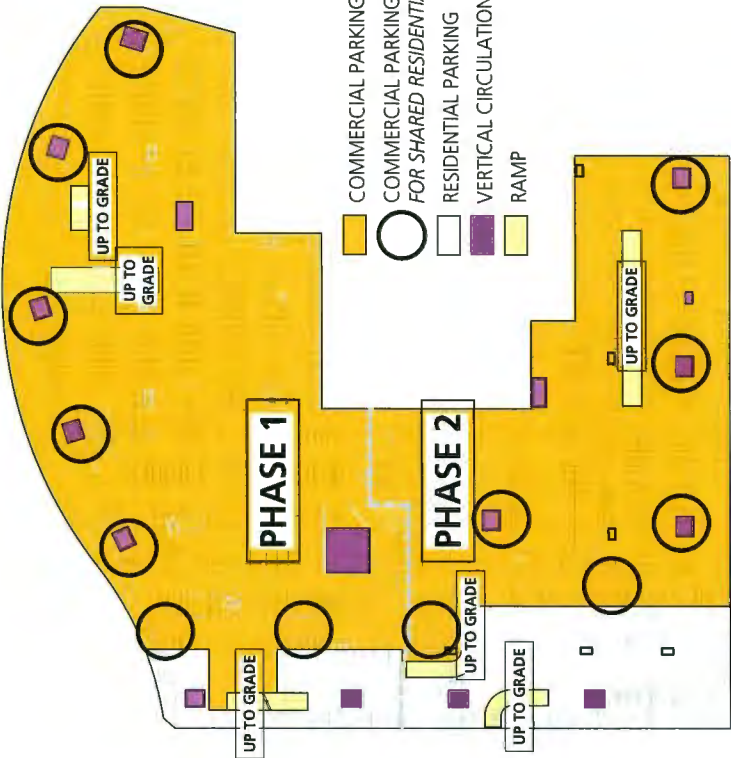
3 | BUILDING 1A - LEVEL 3  
1/8" = 1'-0"



2 | BUILDING 1A - LEVEL 2  
1/8" = 1'-0"



1 | BUILDING 1A - LEVEL 1  
1/8" = 1'-0"







DP 17-768248  
MAY 29, 2019  
PLAN # 1i



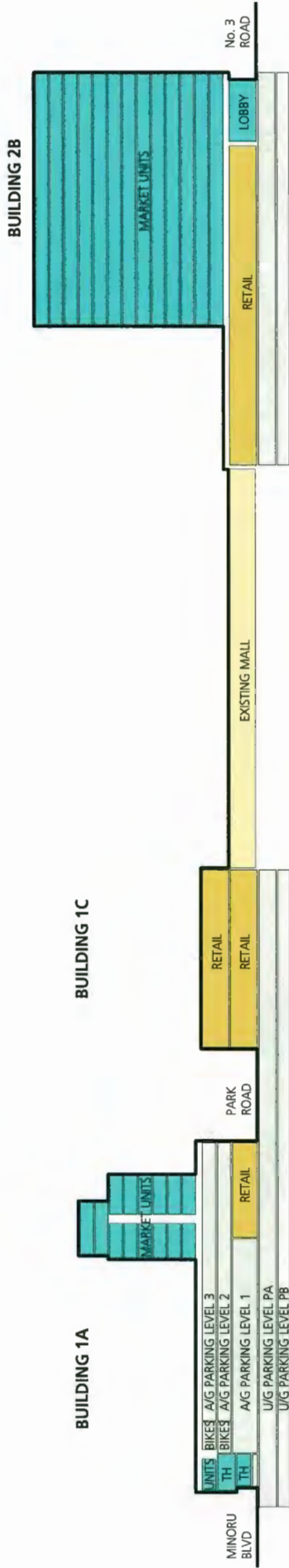
REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	Program for City Review DP Permit Submission	

RICHMOND CENTRE  
PHASE 1

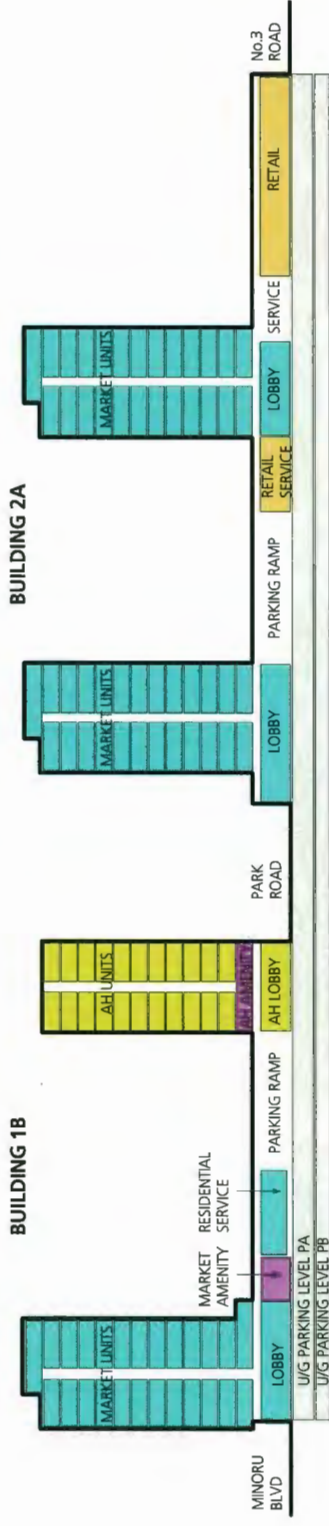
PH 1 + 2 COMBINED  
SECTIONS

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DRAWN BY	AS
CHECKED BY	AS
SCALE	As Indicated
JOB NUMBER	1686-87

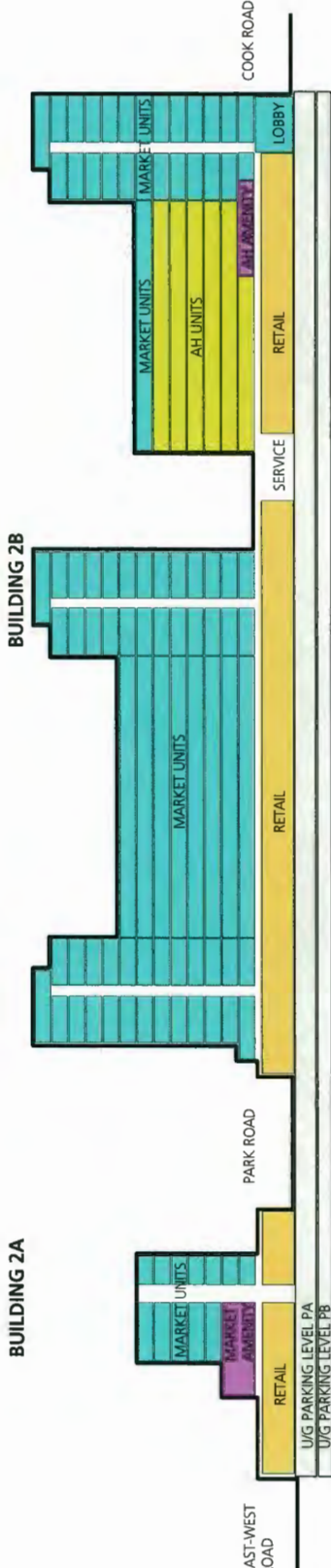
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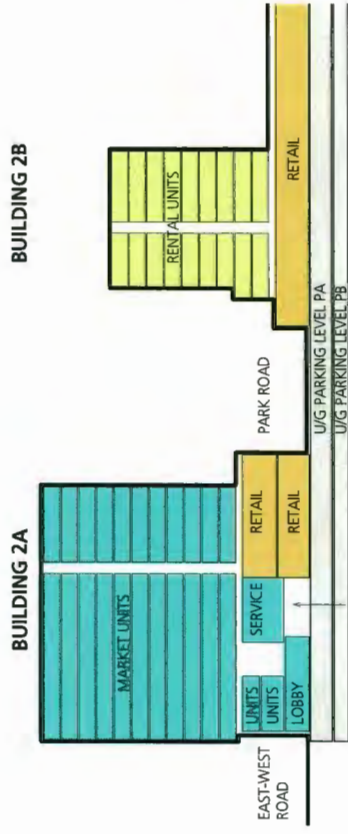
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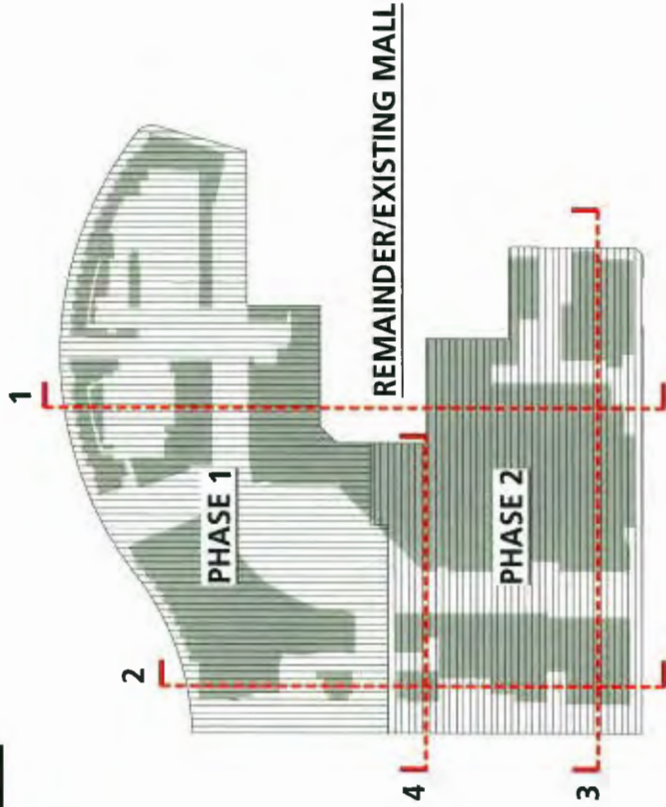
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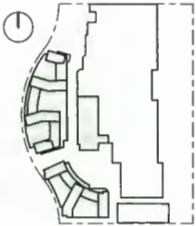


SECTION 3  
1/32" = 1'-0"



SECTION 4  
1/32" = 1'-0"





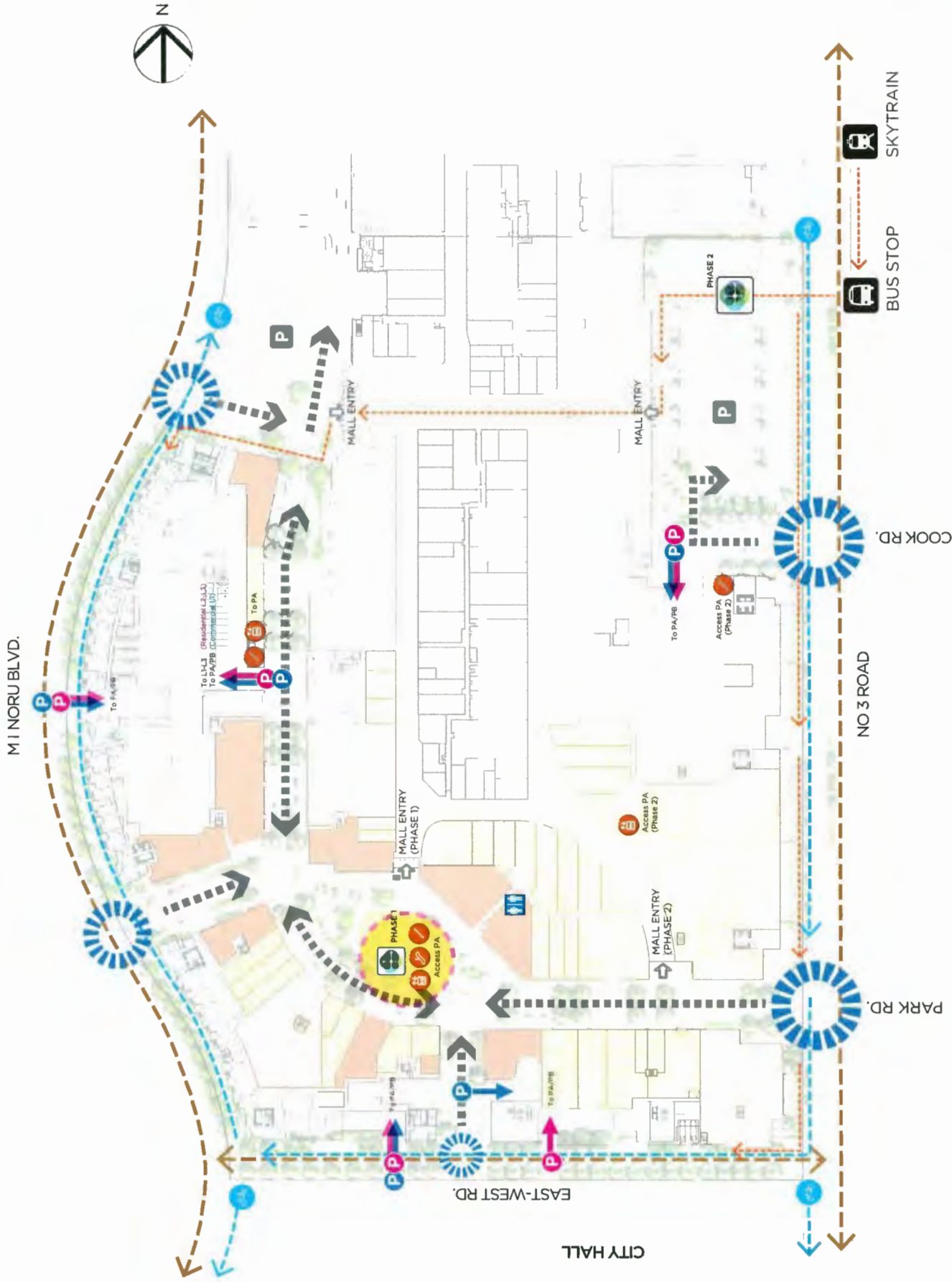
DP 17-768248  
MAY 29, 2019  
PLAN # 1j



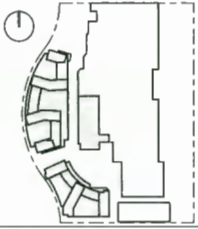
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	Progress for Pricing
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 4
	9	2019-05-03	Progress for City Review
	10	2019-05-03	DP Final Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1 LOT 2  
PH 1 + 2 CONCEPT  
MOBILITY STRATEGY  
DATE: 4/20/2019 11:12 AM  
DRAWN BY: Ader  
CHECKED BY: Chater  
SCALE:  
JOB NUMBER: 1686-87

A-1.10







DP 17-768248  
MAY 29, 2019  
PLAN # 1k



REVIEWS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-23	DP Application Rev. 1
			Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3
			Progress for City Review
	7	2018-04-26	DP Application Rev. 3
			Progress for City Review
	8	2018-05-03	DP Panel Submission

**RICHMOND CENTRE  
PHASE 1**

PHASE 1 LOT 2

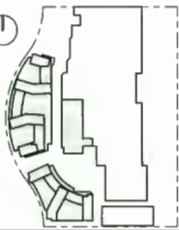
PH 1 + 2 CONCEPT  
MOBILITY STRATEGY

DATE 4/20/2019 8:41:37 PM  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER 1686-87

A-1.11



**LORENC+YOO DESIGN**



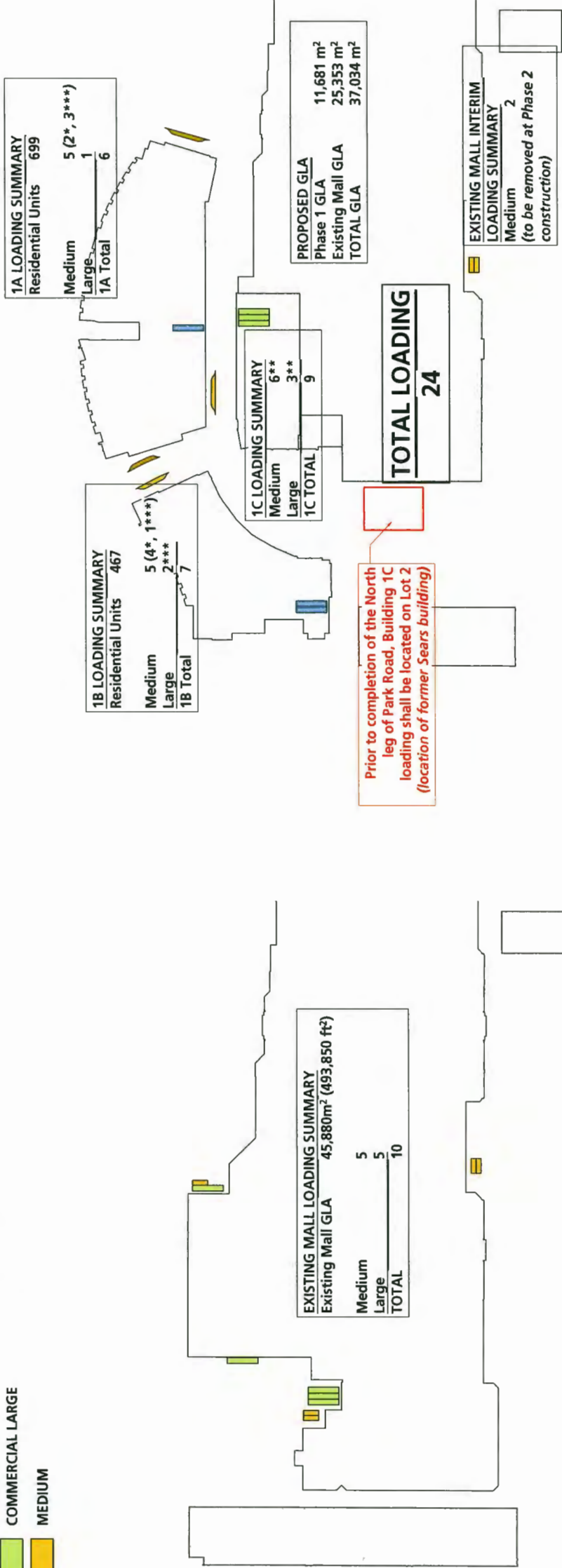
DP 17-768248  
MAY 29, 2019  
PLAN # 11

LOADING KEY

SHARED LARGE (counted as 1 large & 2 medium)

COMMERCIAL LARGE

MEDIUM



Loading Analysis - Existing Mall

Loading Analysis - Phase 1

1" = 80'-0"

Uses	PHASE 1 LOADING SUMMARY			
	Large Truck Loading		Medium Truck Loading	
Residential	Development	Required #	Proposed #	Proposed #
	1,166 units	2	3***	7
Commercial	11,681m <sup>2</sup> GLA	3	6 (3**, 3***)	6
<b>TOTAL</b>	<b>N/A</b>	<b>3***</b>	<b>6 (3**, 3***)</b>	<b>9***</b>

Uses	PHASE 2 LOADING SUMMARY			
	Large Truck Loading		Medium Truck Loading	
Residential	Development	Required #	Proposed #	Proposed #
	1,131 units	2	5***	7
Commercial	16,353m <sup>2</sup> GLA	3	5***	4
<b>TOTAL</b>	<b>N/A</b>	<b>3***</b>	<b>5***</b>	<b>11</b>

REMAINDER MALL LOADING SUMMARY				
Uses	Large Truck Loading		Medium Truck Loading	
	Existing	Required #	Proposed #	Proposed #
Commercial	21,038m <sup>2</sup> GLA	4	Nil (Shared)	5

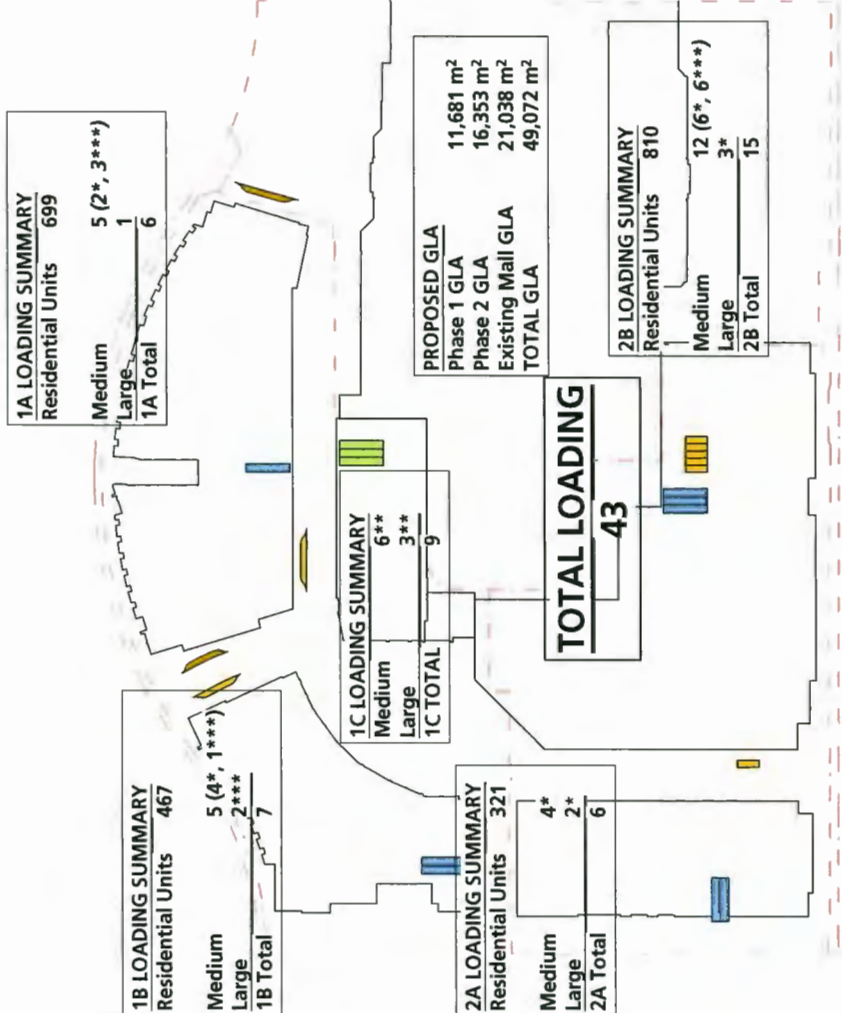
COMBINED LOADING SUMMARY				
Uses	Large Truck Loading		Medium Truck Loading	
	Development	Required #	Proposed #	Proposed #
Residential	2,297 units	4	8***	14
Commercial	49,072m <sup>2</sup> GLA	10	11 (3**, 8***)	11
<b>TOTAL</b>	<b>N/A</b>	<b>10***</b>	<b>11 (3**, 8***)</b>	<b>25</b>

**SHARED LOADING NOTES**

\* Shared between medium & large loading spaces & between commercial & residential

\*\* Shared between medium & large loading spaces

\*\*\* Shared between commercial & residential



Loading Analysis - Phase 2

1" = 80'-0"

RICHMOND CENTRE  
PHASE 1

PHASE 1 LOT 2

PH 1 + 2 CONCEPT  
LOADING STRATEGY

DATE: MAY 2019 12:51:53 PM  
DRAWN BY: G  
CHECKED BY: G  
SCALE: 1" = 80'-0"  
JOB NUMBER: 1686-87

A-1.12



## RICHMOND CENTRE SOUTH (BRIGHOUSE VILLAGE) SPECIAL PRECINCT

The subject development is designated as a special development precinct that is envisioned as an animated, high density, high-rise, mixed use urban place comprises four distinct areas including 2 high streets and 2 green streets.

### GREEN STREETS

Landscaped edges bridging between the busy downtown and adjacent, civic, park and residential uses.

### C. Minoru Boulevard

Key route linking the public and the neighbors with park and civic amenities by making the landscape the predominant feature of the development's architectural expression.



#### Key form/character features:

1. Low-rise streetwall features townhouses with stoops, tower lobbies, forecourts, and entry features.
2. Slim, widely spaced towers punctuate the streetwall and extend to grade to vary the rhythm of the streetwall.
3. Building articulations, roofs, and terraces support a varied pattern of trees and planting to create a "vertical garden".
4. Broad walkways and architectural features mark Park Road "gateway entrances" at Murdoch Avenue and Minoru Gate.

### D. Civic Promenade

Intended to enhance Richmond's civic precinct, including City Hall, its plaza, significant trees, and linkages with Minoru Park, by contributing towards the street's development as a park-like, pedestrian promenade.

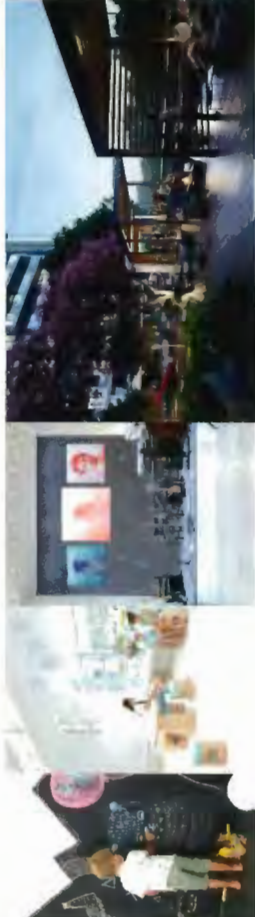


#### Key form/character features:

1. An elegant, low-rise streetwall is recessed to provide a backdrop for public gardens.
2. Widely spaced, slim towers extend to grade on slim columns with glassy lobbies that visually blur the interior and exterior.
3. A variety of planting forms complement the adjacent City Hall landscape and contribute to the downtown's urban forest.
4. Ground floor uses primarily comprise lobbies and public gardens with retail uses near No. 3 Road.

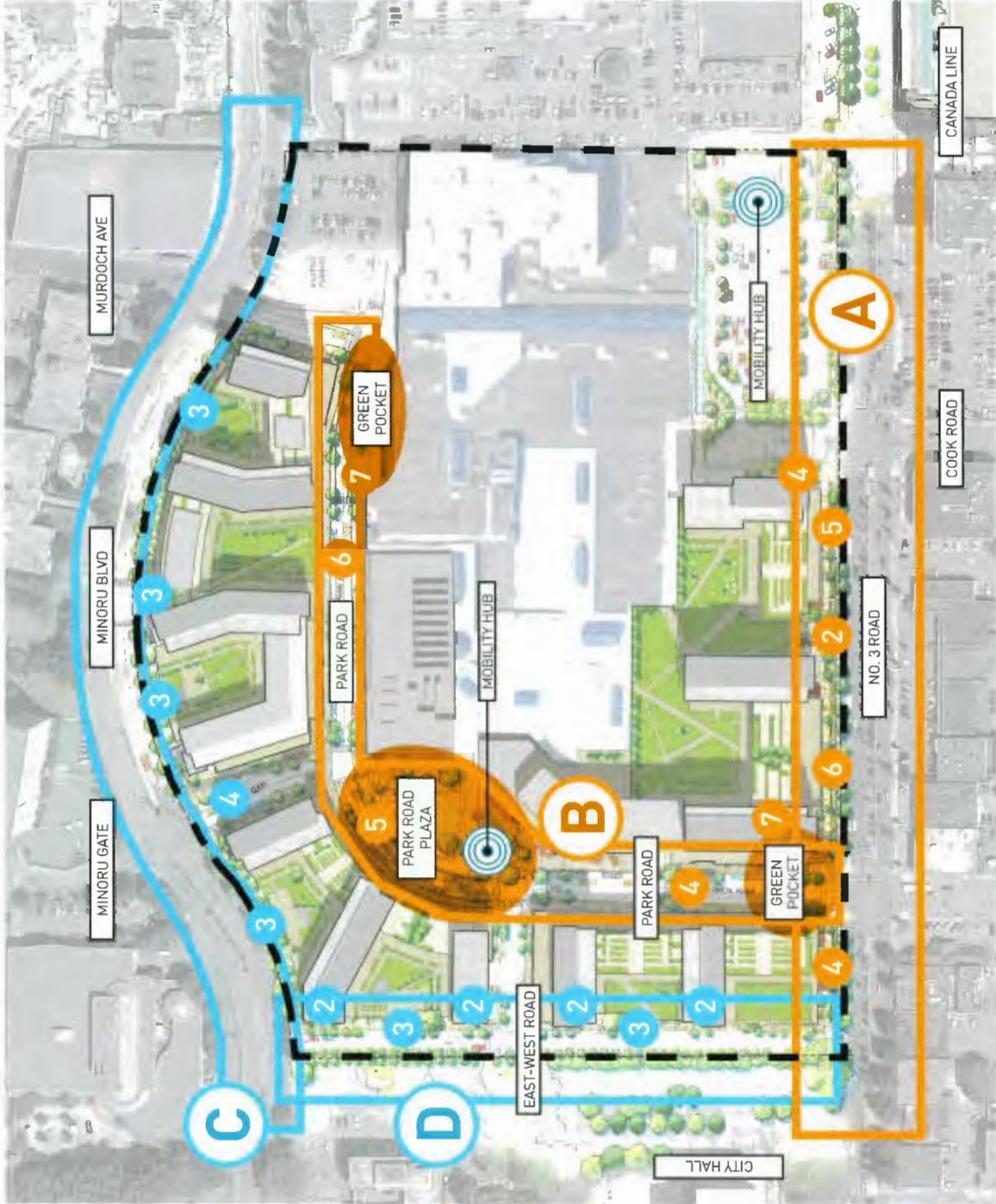
### FAMILY-FRIENDLY HOUSING

A high proportion of 2 & 3 bedroom units combined with a variety of multi-age child-oriented amenities will contribute towards a family-friendly residential community.



#### Key form/character features:

1. Approximately half of all dwelling units are designed for families.
2. A diverse indoor amenity program includes entertainment suites, children's rooms, game rooms, media rooms, a gym, and lounges connected to multiple large outdoor spaces.
3. Approximately 150,000 sq. ft. of programmed outdoor space provides year-round amenities designed for families and all age groups to enjoy.



### HIGH STREETS

A lively mix of pedestrian-friendly, public/private, outdoor/indoor places to shop and play.

### A. No. 3 Road

Richmond's preeminent retail avenue characterized by bold streetwalls, varied architectural expression, landmark features, and continuous pedestrian-oriented shops, amenities, public art, and landscaping.

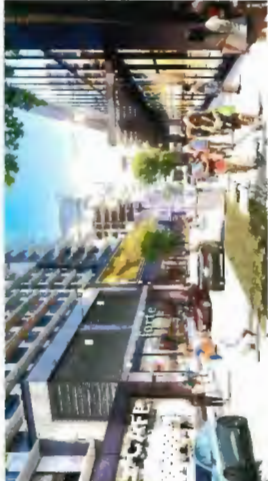


#### Key form/character features:

1. Layered streetwalls break down the building mass and create a fine grained streetscape.
2. Varied setbacks create visual interest and define outdoor public amenities.
3. Tower articulation reinforces prominent views and corners.
4. Continuous animated retail frontage lines the high street.
5. High quality hardscape is enhanced with trees, street furniture, public art, and special features.

### B. Park Road

Distinct downtown marketplace comprising a combination of intimate streetscapes, small-scaled shops, residential above, and a vibrant community "living room" in the form of a large central plaza.

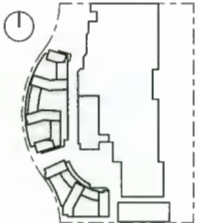


#### Key form/character features:

1. A stepped streetwall form unifies the north and south legs of Park Road with the new plaza.
2. An expanded flexible sidewalk zone allows for cafe seating and retail displays.
3. Slim towers enhance daylight and create a distinctive skyline.
4. Continuous small-scale shops line the high street.
5. A half-acre plaza provides a flexible, year-round outdoor space for dining, shopping, socializing, relaxing, and playing.
6. Services and parking are made pedestrian friendly.
7. Green Pockets mix dense landscaping into retail frontages.

gbl

G.B. ARCHITECTS INC.  
135 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V7M 1M6  
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WWW.GBARCHITECTS.COM  
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DP 17-768248  
MAY 29, 2019  
PLAN # 1m



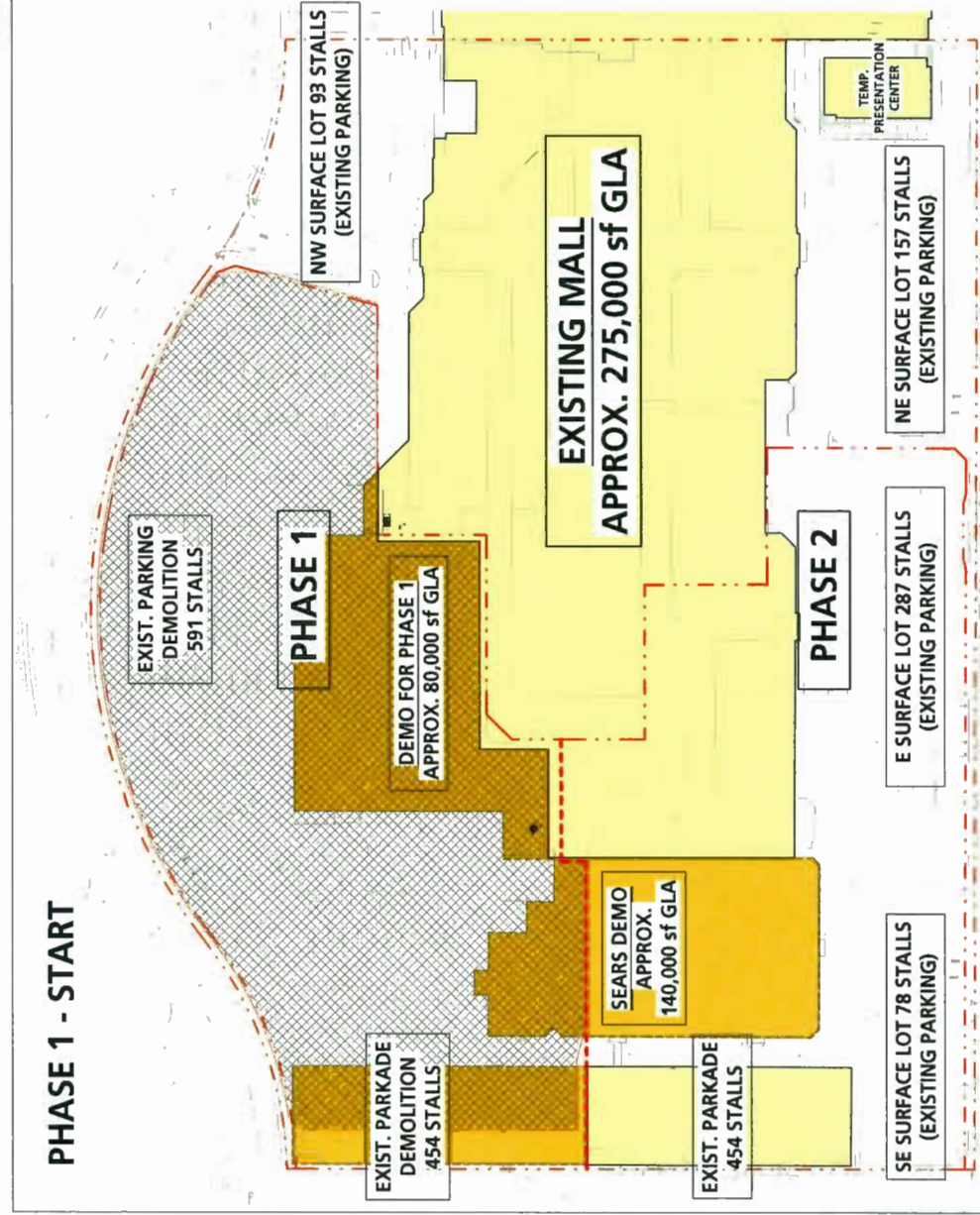
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1	1	2017-03-31	Development Permit Application
2	2	2017-08-08	30% Design Set
3	3	2018-03-29	DP Application Rev. 1
4	4	2018-04-06	Progress for Pricing
5	5	2018-08-02	DP Application Rev. 2
6	6	2019-03-20	DP Application Rev. 3
7	7	2019-04-26	Progress for City Review
8	8	2019-05-03	DP Application Rev. 3
9	9	2019-05-03	DP Panel Submission

RICHMOND CENTRE PHASE 1
PHASE LOT 2
PH 1 + 2 CCAP URBAN DESIGN
DATE: 2019-05-03 PM DRAWN BY: [Signature] CHECKED BY: [Signature] SCALE: [Signature] JOB NUMBER: 1686-87

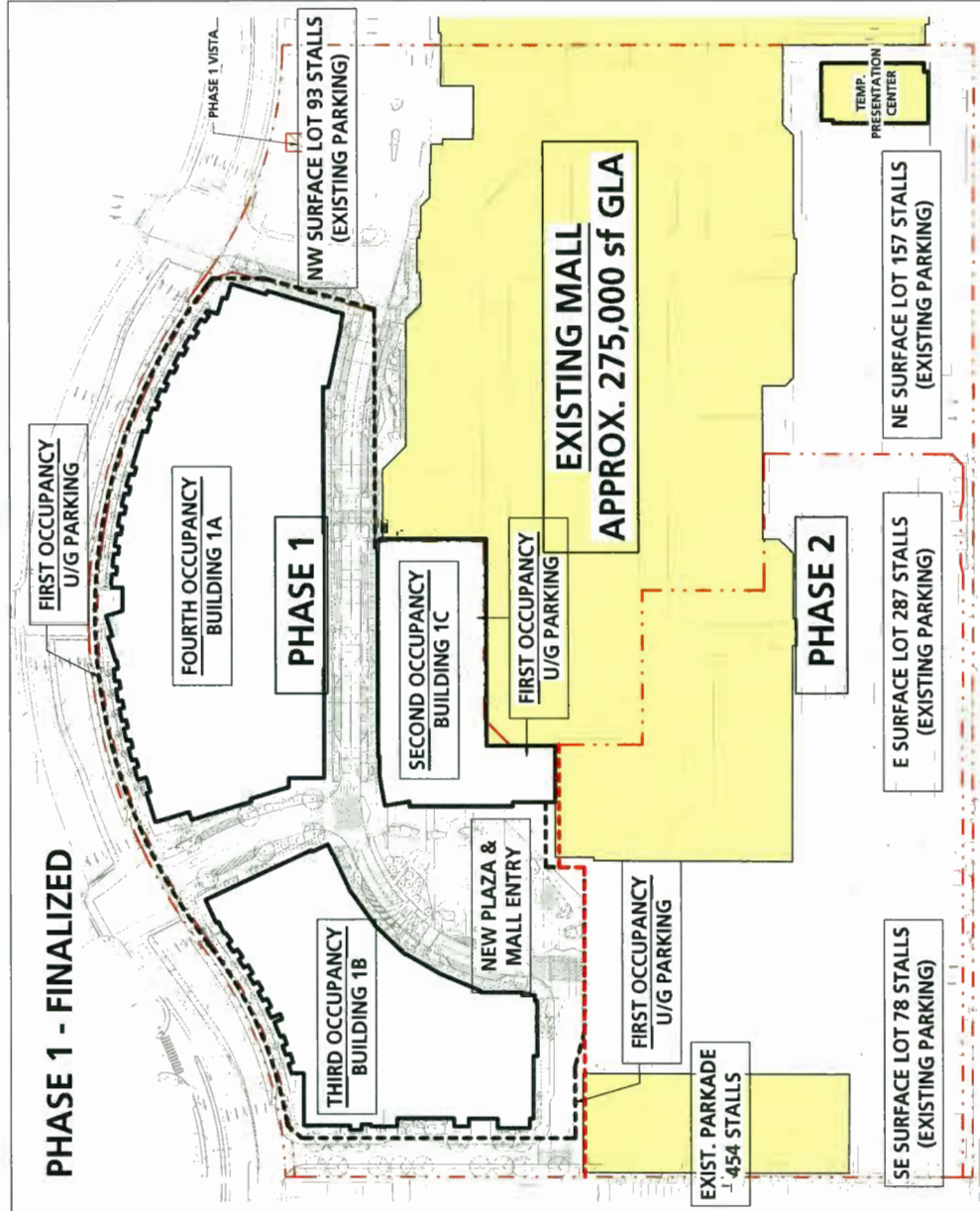
A-1.13



PHASE 1 - START



PHASE 1 - FINALIZED



gbl

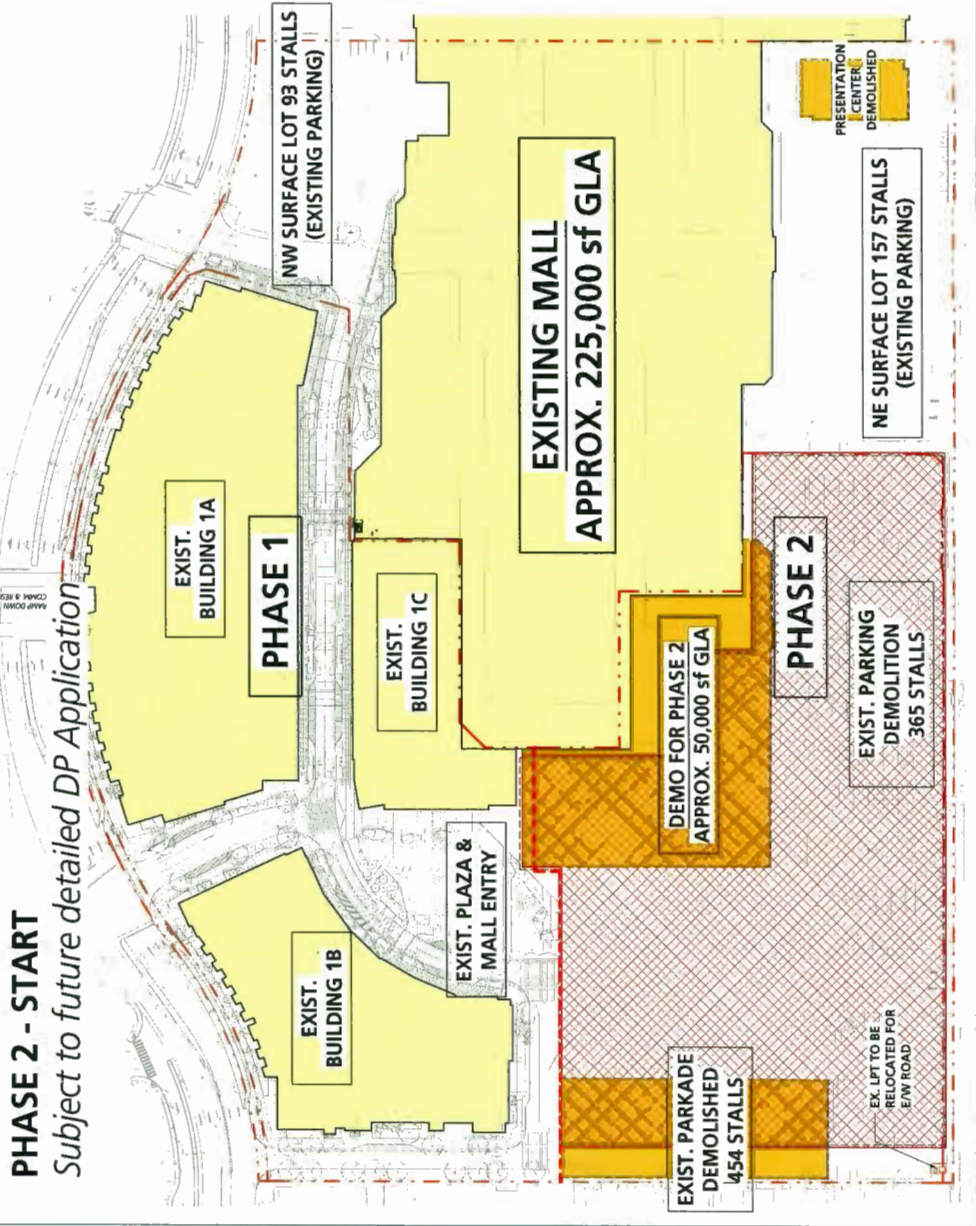
gbl architects inc.

139 EAST PINE AVENUE  
VANCOUVER, BC CANADA V6T 1M6  
TEL: 604.738.1156  
FAX: 604.731.8279  
WWW.GBLARCHITECTS.COM

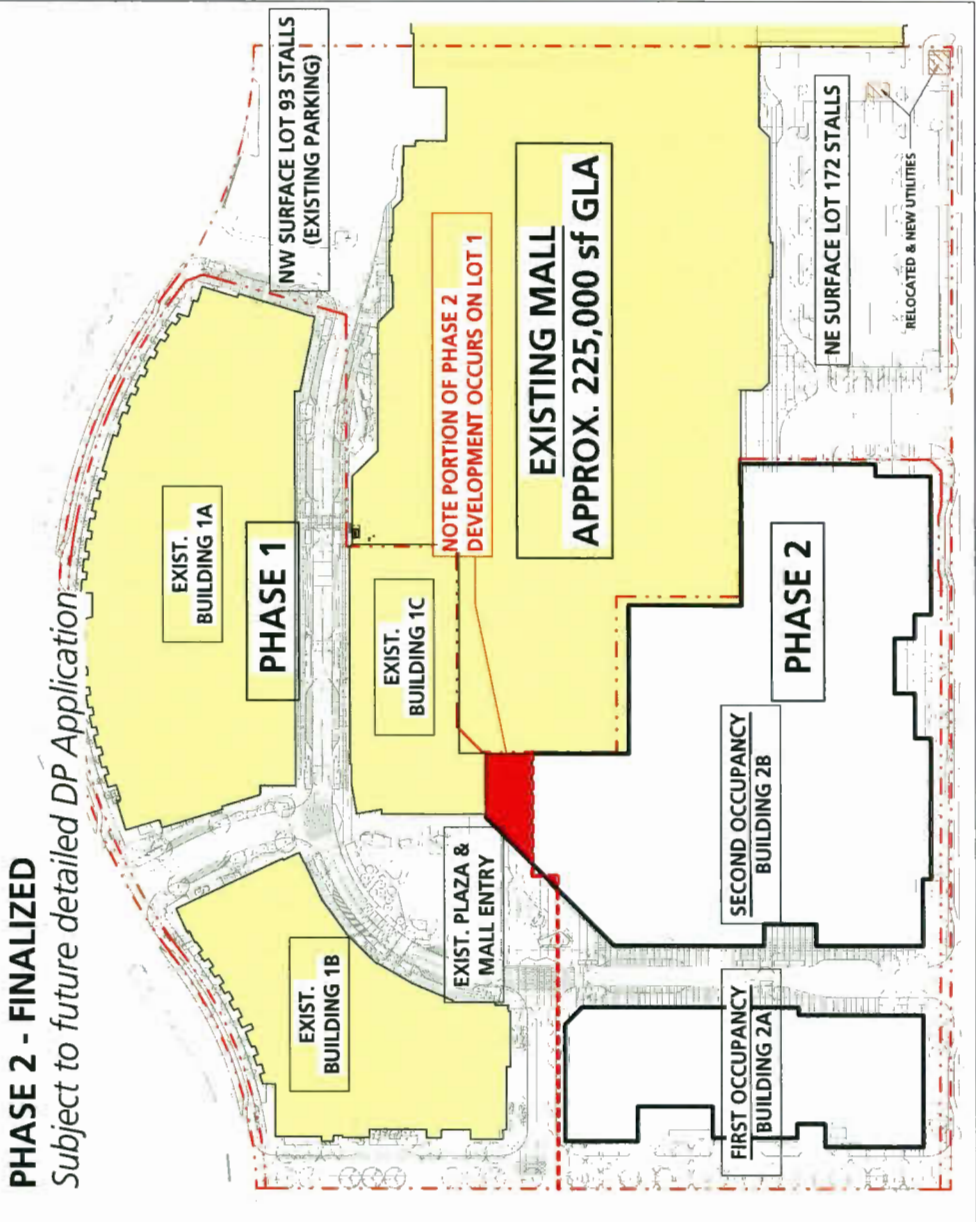
NOTES

DP 17-768248  
MAY 29, 2019  
PLAN # 1n

PHASE 2 - START



PHASE 2 - FINALIZED



REVISED	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	Progress for Pricing
	5	2018-08-02	DP Application Rev. 1
	6	2019-03-20	DP Application Rev. 2
	7	2019-04-26	Progress for City Review
	8	2019-05-09	DP Application Rev. 3
			DP Permit Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 4 LOT 2  
PH 1 + 2 CONCEPT  
CONST. STAGING  
DATE: 5/9/2019 15:43 PM  
DRAWN BY: JS  
CHECKED BY: JS  
SCALE: 1"=50'  
JOB NUMBER: 1686-87



# PHASE 1 DATA SUMMARY

## ZONING DATA

### LEGAL DESCRIPTION:

LOT A (BF285836) SECTION 8 BLOCK 4 NORTH RANGE 6 WEST  
NEW WESTMINSTER DISTRICT PLAN 31877

### CIVIC ADDRESS:

6551 NO.3 ROAD, RICHMOND, BC, V6Y 2B6

### ZONING:

CDT1

### HEIGHT:

Permitted: 47m geodetic  
Proposed: 47m geodetic

### SETBACKS:

3.0m min. from property line with requested variances noted

### MINIMUM HABITAL FLOOR ELEVATION:

2.9 m geodetic

### SITE AREA (Lot 1 + Lot 2):

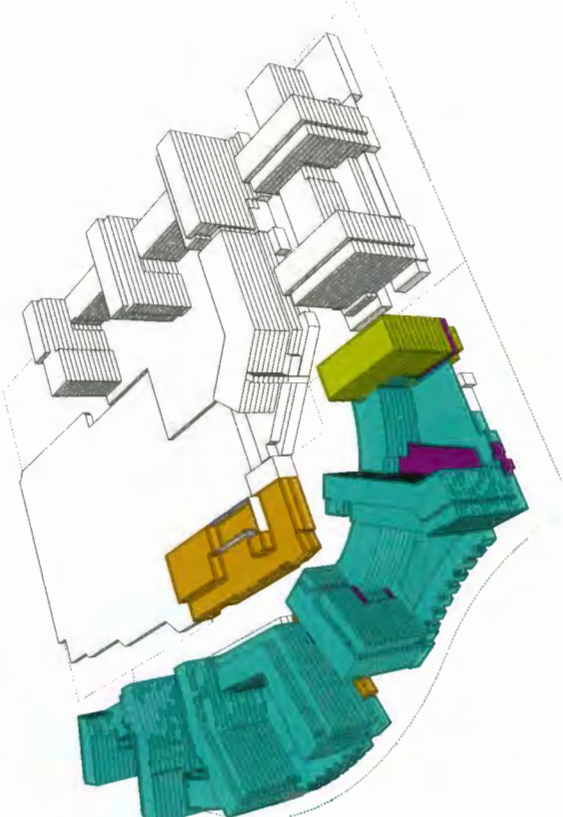
721,556.4 ft²  
67,034.8 m²

### FLOOR AREA RATIO (Phase 1 development):

Permitted: 3.15  
Proposed: 1.56

### LOT COVERAGE (Phase1 development):

Permitted: 90%  
Proposed: 60%



## GROSS BUILDING AREA

GROSS BUILDING AREA		AREA
BUILDING		
PHASE 1A		660,215 SF
PHASE 1B		485,799 SF
PHASE 1C		84,792 SF
TOTAL		1,230,806 SF

## FAR EXCLUSIONS

FAR EXCLUSIONS - CORE		
BUILDING	EXCLUDED AREA	
PHASE 1A		18,667 SF
PHASE 1B		15,574 SF
PHASE 1C		722 SF
TOTAL		34,963 SF

FAR EXCLUSIONS - AMENITY		
BUILDING	EXCLUDED AREA	
PHASE 1A		5,143 SF
PHASE 1B		20,825 SF
TOTAL		25,968 SF

FAR EXCLUSIONS - SERVICE - BY BUILDING		
BUILDING	EXCLUDED AREA	
PHASE 1A		20,931 SF
PHASE 1B		4,919 SF
PHASE 1C		2,056 SF
TOTAL		27,905 SF

FAR EXCLUSIONS - DEU DWELLING UNIT		
BUILDING	DWELLINGS	EXCLUDED AREA
PHASE 1A	699	7,524 SF
PHASE 1B	467	5,027 SF
TOTAL	1166	12,551 SF

FAR EXCLUSIONS - BUH DWELLING UNIT		
BUILDING	BUH COUNT	EXCLUDED AREA
PHASE 1A	108	2,160 SF
PHASE 1B	191	3,820 SF
TOTAL	299	5,980 SF

## FAR AREA

FAR AREA BY BUILDING			
USE	FAR AREA	FAR	
PHASE 1A			
COMMERCIAL AREA	28,428 SF	0.04	
RESIDENTIAL	577,365 SF	0.80	
PHASE 1A	605,793 SF	0.84	
PHASE 1B			
COMMERCIAL AREA	49,792 SF	0.07	
RESIDENTIAL	385,845 SF	0.53	
PHASE 1B	435,637 SF	0.60	
PHASE 1C			
COMMERCIAL AREA	81,236 SF	0.11	
RESIDENTIAL	777 SF	0.00	
PHASE 1C	82,014 SF	0.11	
TOTAL	1,123,443 SF	1.56	

FAR AREA BY USE			
USE	FAR AREA	FAR	
COMMERCIAL AREA	159,457 SF	0.22	
RESIDENTIAL	963,987 SF	1.34	
TOTAL	1,123,443 SF	1.56	

## AFFORDABLE HOUSING

AFFORDABLE HOUSING - REQUIRED		
BUILDING	RESIDENTIAL FAR	5% OF FAR AREA
PHASE 1A	577,365 SF	28,868 SF
PHASE 1B	385,845 SF	19,292 SF
PHASE 1C	777 SF	39 SF
TOTAL	963,987 SF	48,199 SF

AFFORDABLE HOUSING - PROVIDED	
BUILDING	AH UNIT AREA
PHASE 1B	49,431 SF

## UNIT MIX & COUNT

### AFFORDABLE HOUSING UNIT MIX

STUDIO	12
1 BEDROOM	37
2 BEDROOM	22
3 BEDROOM	8
AH TOTAL	79

### MARKET UNIT MIX

STUDIO	43
1 BEDROOM	490
2 BEDROOM	457
3 BEDROOM	97
MARKET TOTAL	1,087

TOTAL DWELLINGS 1,166

## PHASE 1 PARKING & BIKES REQUIRED

PARKING REQUIRED - MARKET RESIDENTIAL	
COUNT	0.9 PER UNIT (10% TDM RED.)
1087	978.3

PARKING REQUIRED - AFFORDABLE HOUSING	
COUNT	0.375 PER UNIT (25% TDM RED.)
79	29.6

PARKING REQUIRED - PHASE 1 RETAIL	
GLA	3.375 per 100 SM (1,076.39 SF)
125,728 SF	394.2

CAR SHARE REQUIRED 3

TOTAL PARKING REQUIRED 1,407

ALL VISITOR PARKING REQUIRED WILL BE SHARED WITH COMMERCIAL PARKING PROVIDED

BIKES REQUIRED - MARKET RESIDENTIAL	
COUNT	1.25 PER UNIT
1087	1,358.8

BIKES REQUIRED - AFFORDABLE HOUSING	
COUNT	2.0 PER UNIT
79	158.0

BIKES REQUIRED - PHASE 1 RETAIL	
GLA	0.27 per 100 SM (1,076.39 SF)
125,728 SF	31.5

TOTAL BIKES REQUIRED 1,549

## PHASE 1 PARKING PROVIDED

PARKING COUNT - NEW PHASE 1 BY TYPE	
PARKING STALL TYPE	COUNT
Affordable Housing	
Accessible (Van) Affordable Housing	1
Regular Affordable Housing	14
Small Car Affordable Housing	15
TOTAL	30

Car Share	
Regular Car Share	3
TOTAL	3

Commercial	
Accessible (Van) Commercial	12
Accessible Commercial	3
Regular Commercial	599
Small Car Commercial	271
TOTAL	885

Residential	
Accessible (Van) Residential	20
Accessible Residential	7
Regular Residential	992
Small Car Residential	328
TOTAL	1347
TOTAL	2265

## PHASE 1 BIKES (CLASS 1) PROVIDED

BIKE COUNT - TOTAL	
LEVEL	COUNT

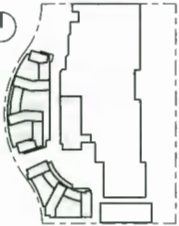
Commercial	
L1	12
PA	20
TOTAL	32

Residential	
L2	549
L3	233
PA	227
PB	508
TOTAL	1517
TOTAL	1549

FOR INFORMATION ON CLASS 2 BIKES REFER TO PLAN #11i

gbl

G.B. ARCHITECTS INC.  
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NOTES



DP 17-768248

MAY 29, 2019

PLAN # 2a



REVISIONS	No.	Date	Description
1	2017-03-31		Development Permit Application
2	2017-08-08		30% Design Set
3	2018-03-29		Revised for Phase 1
4	2018-04-06		DP Application Rev. 1
5	2018-08-02		DP Application Rev. 2
6	2019-03-20		Revised for City Review
7	2019-04-26		DP Application Rev. 3
8	2019-05-03		Progress for City Review DP Permit Submission

RICHMOND CENTRE  
PHASE 1

PHASE 1

PHASE 1 - STATISTICS  
SUMMARY

DATE	5/9/2019 4:01:32 PM
DRAWN BY	IS
CHECKED BY	
SCALE	1" = 10'-0"
DPI NUMBER	1686-87

A-2.01



# BUILDING 1A DATA SUMMARY

## STATISTICS

### GROSS & FAR AREA BY USE

GROSS AREA		FAR AREA	
TYPE	AREA	AREA TYPE	FAR
COMMERCIAL AREA		COMMERCIAL AREA	
COMMON CIRCULATION	4,033 SF	COMMON CIRCULATION	4,033 SF
COMMON SERVICE	950 SF	COMMON SERVICE	950 SF
COMMON SERVICE EXCLUSION	5,601 SF	RETAIL	22,784 SF
RETAIL	22,784 SF	RETAIL CIRCULATION	661 SF
RETAIL CIRCULATION	661 SF		28,428 SF
RETAIL SERVICE EXCLUSION	6,053 SF	RESIDENTIAL	
	40,082 SF	CIRCULATION	75,850 SF
RESIDENTIAL		RESIDENTIAL SERVICE	737 SF
AMENITY		STORAGE	1,467 SF
CIRCULATION	5,143 SF	UNIT	499,307 SF
CORE EXCLUSION	75,850 SF		577,362 SF
RESIDENTIAL SERVICE	18,667 SF	TOTAL	605,790 SF
RESIDENTIAL SERVICE EXCLUSION	9,277 SF		
STORAGE	1,467 SF		
UNIT	508,991 SF		
	620,133 SF		
TOTAL	660,215 SF		

FAR AREA		FAR	
AREA TYPE	FAR AREA	AREA TYPE	FAR
COMMERCIAL AREA		COMMON CIRCULATION	4,033 SF
COMMON CIRCULATION	4,033 SF	COMMON SERVICE	950 SF
COMMON SERVICE	950 SF	RETAIL	22,784 SF
COMMON SERVICE EXCLUSION	5,601 SF	RETAIL CIRCULATION	661 SF
RETAIL	22,784 SF		28,428 SF
RETAIL CIRCULATION	661 SF	RESIDENTIAL	
RETAIL SERVICE EXCLUSION	6,053 SF	CIRCULATION	75,850 SF
	40,082 SF	RESIDENTIAL SERVICE	737 SF
RESIDENTIAL		STORAGE	1,467 SF
AMENITY		UNIT	499,307 SF
CIRCULATION	5,143 SF		577,362 SF
CORE EXCLUSION	75,850 SF	TOTAL	605,790 SF
RESIDENTIAL SERVICE	18,667 SF		
RESIDENTIAL SERVICE EXCLUSION	9,277 SF		
STORAGE	1,467 SF		
UNIT	508,991 SF		
	620,133 SF		
TOTAL	660,215 SF		

### FAR EXCLUSIONS

FAR EXCLUSION - DEU DWELLING UNIT		FAR	
DWELLING COUNT	EXCLUDED AREA	AREA TYPE	FAR
699	7,524 SF	COMMON CIRCULATION	4,033 SF
		COMMON SERVICE	950 SF
		RETAIL	22,784 SF
		RETAIL CIRCULATION	661 SF
			28,428 SF
		RESIDENTIAL	
		CIRCULATION	75,850 SF
		RESIDENTIAL SERVICE	737 SF
		STORAGE	1,467 SF
		UNIT	499,307 SF
			577,362 SF
		TOTAL	605,790 SF

FAR EXCLUSION - BUH DWELLING UNIT		FAR	
BUH COUNT	EXCLUDED AREA	AREA TYPE	FAR
108	2,160 SF	COMMON CIRCULATION	4,033 SF
		COMMON SERVICE	950 SF
		RETAIL	22,784 SF
		RETAIL CIRCULATION	661 SF
			28,428 SF
		RESIDENTIAL	
		CIRCULATION	75,850 SF
		RESIDENTIAL SERVICE	737 SF
		STORAGE	1,467 SF
		UNIT	499,307 SF
			577,362 SF
		TOTAL	605,790 SF

FAR EXCLUSION - SERVICE ROOMS		FAR	
EXCLUSION TYPE	EXCLUDED AREA	AREA TYPE	FAR
DEU	2,381 SF	COMMON CIRCULATION	4,033 SF
PARKING	14,273 SF	COMMON SERVICE	950 SF
SERVICE	4,277 SF	RETAIL	22,784 SF
TOTAL	20,931 SF	RETAIL CIRCULATION	661 SF
			28,428 SF
		RESIDENTIAL	
		CIRCULATION	75,850 SF
		RESIDENTIAL SERVICE	737 SF
		STORAGE	1,467 SF
		UNIT	499,307 SF
			577,362 SF
		TOTAL	605,790 SF

FAR EXCLUSION - INDOOR AMENITY		FAR	
AMENITY TYPE	EXCLUDED AREA	AREA TYPE	FAR
GUEST SUITE	598 SF	COMMON CIRCULATION	4,033 SF
PRIVATE AMENITY	4,545 SF	COMMON SERVICE	950 SF
TOTAL	5,143 SF	RETAIL	22,784 SF
		RETAIL CIRCULATION	661 SF
			28,428 SF
		RESIDENTIAL	
		CIRCULATION	75,850 SF
		RESIDENTIAL SERVICE	737 SF
		STORAGE	1,467 SF
		UNIT	499,307 SF
			577,362 SF
		TOTAL	605,790 SF

FAR EXCLUSION - CORE EXCLUSION		FAR	
EXCLUDED AREA		AREA TYPE	FAR
18,667 SF		COMMON CIRCULATION	4,033 SF
		COMMON SERVICE	950 SF
		RETAIL	22,784 SF
		RETAIL CIRCULATION	661 SF
			28,428 SF
		RESIDENTIAL	
		CIRCULATION	75,850 SF
		RESIDENTIAL SERVICE	737 SF
		STORAGE	1,467 SF
		UNIT	499,307 SF
			577,362 SF
		TOTAL	605,790 SF

### UNIT MIX

STUDIO	30
1 BEDROOM	322
2 BEDROOM	282
3 BEDROOM	65
TOTAL UNITS	699

### PARKING

PARKING - BY LEVEL		
LEVEL	COUNT	
Commercial		
L1	128	
Residential		
L2	223	
L3	220	
TOTAL PARKING		443
		571
PARKING - BY TYPE		
TYPE	COUNT	
Commercial		
Accessible (Van) Commercial	1	
Regular Commercial	87	
Small Car Commercial	40	
		128
Residential		
Accessible (Van) Residential	9	
Accessible Residential	3	
Regular Residential	340	
Small Car Residential	91	
		443
TOTAL PARKING		571

### LOADING

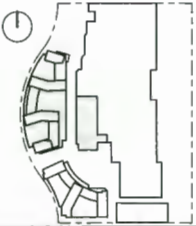
REFER TO **PLAN# 11j** FOR LOADING SUMMARY

### BIKES

REFER TO **PLAN# 11g-i** FOR BIKE DATA

gbl  
GRIFFIN BUILDING  
135 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V7M 1B6  
TEL: 604.738.1158  
FAX: 604.731.5279  
WWW.GRIFFINBUILDING.COM

### NOTES



**DP 17-768248**  
MAY 29, 2019  
**PLAN # 2b**

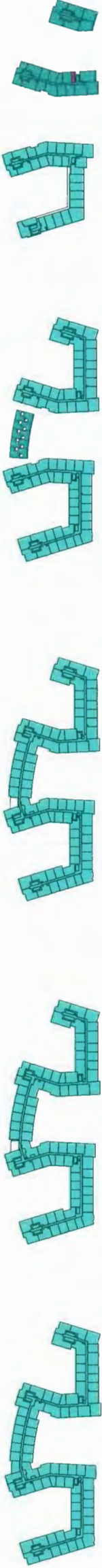


11 | **AREA USE - L11**  
1" = 100'-0"

12 | **AREA USE - L12**  
1" = 100'-0"

13 | **AREA USE - L13**  
1" = 100'-0"

14 | **AREA USE - L14**  
1" = 100'-0"



15 | **AREA USE - L15**  
1" = 100'-0"

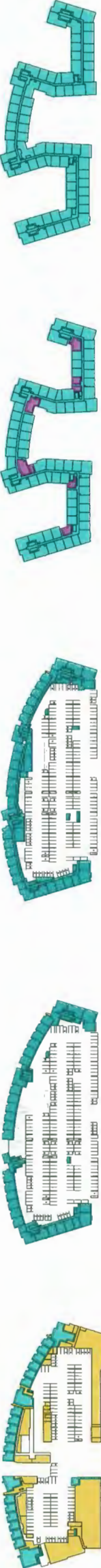
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17 | **AREA USE - L17**  
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18 | **AREA USE - L18**  
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19 | **AREA USE - L19**  
1" = 100'-0"

20 | **AREA USE - L20**  
1" = 100'-0"



21 | **AREA USE - L21**  
1" = 100'-0"

22 | **AREA USE - L22**  
1" = 100'-0"

23 | **AREA USE - L23**  
1" = 100'-0"

24 | **AREA USE - L24**  
1" = 100'-0"

25 | **AREA USE - L25**  
1" = 100'-0"

REVISIONS	No.	Date	Description
1	2017-03-31	2017-03-31	Development Permit Application
2	2017-04-05	2017-04-05	DP Application Rev. 1
3	2018-03-29	2018-03-29	DP Application Rev. 2
4	2018-04-05	2018-04-05	DP Application Rev. 3
5	2018-04-05	2018-04-05	DP Application Rev. 4
6	2018-04-05	2018-04-05	DP Application Rev. 5
7	2019-04-26	2019-04-26	DP Application Rev. 6
8	2019-05-03	2019-05-03	DP Application Rev. 7

**RICHMOND CENTRE**  
**PHASE 1**  
**PHASE 1**

### 1A - STATISTICS

DATE	5/20/19 9:03:28 AM
DRAWN BY	JS
CHECKED BY	
SCALE	1" = 100'-0"
JOB NUMBER	1686

**A-A.2.01**



# BUILDING 1B DATA SUMMARY

## STATISTICS

### GROSS & FAR AREA BY USE

GROSS AREA		FAR AREA	
TYPE	AREA	AREA TYPE	FAR
COMMERCIAL AREA		COMMERCIAL AREA	
COMMON CIRCULATION	6,565 SF	COMMON CIRCULATION	6,565 SF
COMMON SERVICE	1,419 SF	COMMON SERVICE	1,419 SF
RETAIL	38,808 SF	RETAIL	38,808 SF
RETAIL SERVICE	3,000 SF	RETAIL SERVICE	3,000 SF
	49,792 SF		49,792 SF
RESIDENTIAL		RESIDENTIAL	
AH UNIT	49,431 SF	AH UNIT	47,000 SF
AMENITY	20,825 SF	CIRCULATION	52,221 SF
CIRCULATION	52,221 SF	RESIDENTIAL SERVICE	5,706 SF
CORE EXCLUSION	15,574 SF	STORAGE	328 SF
RESIDENTIAL SERVICE	5,706 SF	UNIT	280,586 SF
RESIDENTIAL SERVICE EXCLUSION	4,919 SF		385,843 SF
STORAGE	328 SF		435,635 SF
UNIT	287,003 SF		
	436,007 SF		
TOTAL	485,799 SF		

FAR AREA		FAR AREA	
AREA TYPE	FAR AREA	AREA TYPE	FAR
COMMERCIAL AREA		COMMERCIAL AREA	
COMMON CIRCULATION	6,565 SF	COMMON CIRCULATION	6,565 SF
COMMON SERVICE	1,419 SF	COMMON SERVICE	1,419 SF
RETAIL	38,808 SF	RETAIL	38,808 SF
RETAIL SERVICE	3,000 SF	RETAIL SERVICE	3,000 SF
	49,792 SF		49,792 SF
RESIDENTIAL		RESIDENTIAL	
AH UNIT	47,000 SF	AH UNIT	47,000 SF
CIRCULATION	52,221 SF	CIRCULATION	52,221 SF
RESIDENTIAL SERVICE	5,706 SF	RESIDENTIAL SERVICE	5,706 SF
STORAGE	328 SF	STORAGE	328 SF
UNIT	280,586 SF	UNIT	280,586 SF
	385,843 SF		385,843 SF
TOTAL	435,635 SF	TOTAL	435,635 SF

### FAR EXCLUSIONS

FAR EXCLUSION - DEU DWELLING UNIT	
DWELLING COUNT	EXCLUDED AREA
467	5,027 SF

FAR EXCLUSION - BUH DWELLING UNIT	
BUH COUNT	EXCLUDED AREA
191	3,820 SF

FAR EXCLUSION - SERVICE ROOMS	
EXCLUSION TYPE	EXCLUDED AREA
DEU	1,705 SF
SERVICE	3,214 SF
TOTAL	4,919 SF

FAR EXCLUSION - INDOOR AMENITY	
AMENITY TYPE	EXCLUDED AREA
AH AMENITY	2,029 SF
GUEST SUITE	284 SF
PRIVATE AMENITY	3,665 SF
SHARED AMENITY	14,847 SF
TOTAL	20,825 SF

FAR EXCLUSION - CORE EXCLUSION	
EXCLUDED AREA	
15,574 SF	

### MARKET UNIT MIX

STUDIO	13
1 BEDROOM	168
2 BEDROOM	175
3 BEDROOM	32

### AH UNIT MIX

STUDIO	12
1 BEDROOM	37
2 BEDROOM	22
3 BEDROOM	8

TOTAL UNITS	
AH UNIT	79
UNIT	388
TOTAL	467

### PARKING & LOADING

REFER TO **PLAN# 11f** FOR PARKING SUMMARY

REFER TO **PLAN# 11j** FOR LOADING SUMMARY

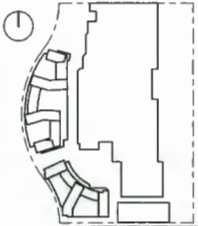
### BIKES

REFER TO **PLAN# 11g-i** FOR BIKE DATA

gbl

gbl ARCHITECTS INC.  
135 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V7T 1M6  
TEL: 604.736.1156  
FAX: 604.731.5279  
WWW.GBLARCHITECTS.COM

#### NOTES



**DP 17-768248**  
MAY 29, 2019  
**PLAN # 2c**



REVISIONS	
No.	Date
1	2017-03-31
2	2017-08-08
3	2018-03-29
4	2018-04-06
5	2018-04-26
6	2019-03-20
7	2019-04-26
8	2019-05-03

Description	
Development Permit Application	
DP Application Rev. 1	
DP Application Rev. 2	
DP Application Rev. 3	
DP Application Rev. 4	
DP Application Rev. 5	
DP Application Rev. 6	
DP Application Rev. 7	
DP Application Rev. 8	

- COMMERCIAL AREA
- RESIDENTIAL
- SHARED

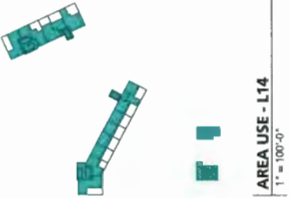
RICHMOND CENTRE  
PHASE 1

PHASE 1

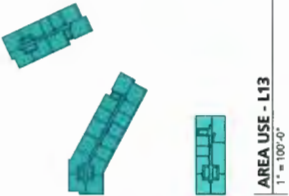
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CHECKED BY	
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JOB NUMBER	1686-87

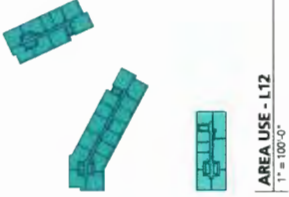
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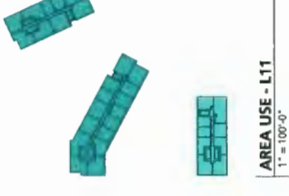
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AREA USE - L13  
1" = 100'-0"



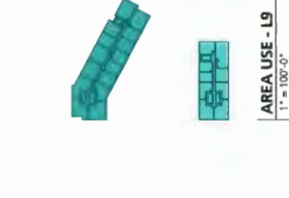
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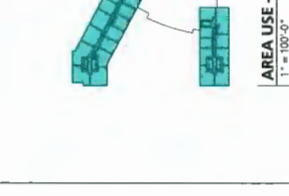
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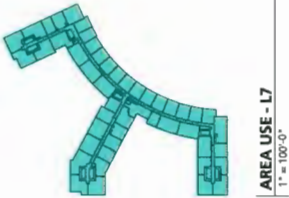
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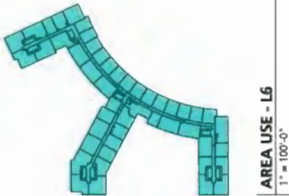
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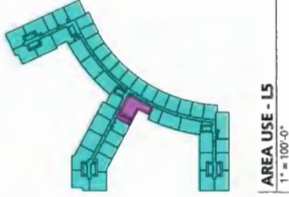
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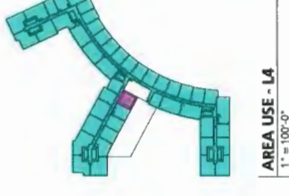
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1" = 100'-0"



AREA USE - L6  
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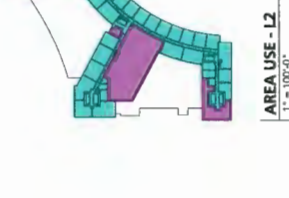
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1" = 100'-0"



AREA USE - L4  
1" = 100'-0"



AREA USE - L3  
1" = 100'-0"



AREA USE - L2  
1" = 100'-0"



AREA USE - L1  
1" = 100'-0"

# BUILDING 1C DATA SUMMARY

## STATISTICS

### GROSS & FAR AREA BY USE

GROSS AREA		AREA
TYPE		AREA
COMMERCIAL AREA		
COMMON CIRCULATION		791 SF
COMMON SERVICE		3,576 SF
COMMON SERVICE EXCLUSION		46 SF
CORE EXCLUSION		722 SF
RETAIL		64,136 SF
RETAIL CIRCULATION		7,527 SF
RETAIL SERVICE		5,207 SF
RETAIL SERVICE EXCLUSION		2,010 SF
RESIDENTIAL		84,014 SF
SERVICE		777 SF
TOTAL		84,792 SF

FAR AREA		AREA	FAR
TYPE		AREA	FAR
COMMERCIAL AREA			
COMMON CIRCULATION		791 SF	0.00
COMMON SERVICE EXCLUSION		46 SF	0.00
CORE EXCLUSION		722 SF	0.00
RETAIL		64,136 SF	0.05
RETAIL CIRCULATION		7,527 SF	0.01
RETAIL SERVICE EXCLUSION		2,010 SF	0.00
TOTAL		75,232 SF	0.06
		75,232 SF	0.06

FAR EXCLUSION - SERVICE ROOMS		EXCLUDED AREA
EXCLUSION TYPE		EXCLUDED AREA
DEU		975 SF
SERVICE		1,081 SF
TOTAL		2,056 SF

FAR EXCLUSION - CORE EXCLUSION		EXCLUDED AREA
EXCLUSION TYPE		EXCLUDED AREA
		722 SF



DP 17-768248  
MAY 29, 2019  
PLAN # 2d

gbl

G.B. ARCHITECTS, INC.  
138 EAST 8TH AVENUE  
MINNEAPOLIS, MN 55414  
TEL: 612.338.1186  
FAX: 612.338.1187  
WWW.GBARCHITECTS.COM

NOTES



REV.	DATE	DESCRIPTION
1	2017-03-31	Development Permit Application
2	2017-08-08	DP Application Rev. 1
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	Progress for Pricing
5	2018-04-06	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	Progress for City Review
8	2019-05-03	DP Application Rev. 3

RICHMOND CENTRE  
PHASE 1

PHASE 1

1C - STATISTICS

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DRAWN BY	Author
CHECKED BY	
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JOB NUMBER	1686

A-C.2.01

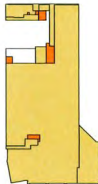
#### AREA KEY



AREA USE - 1C - ROOF  
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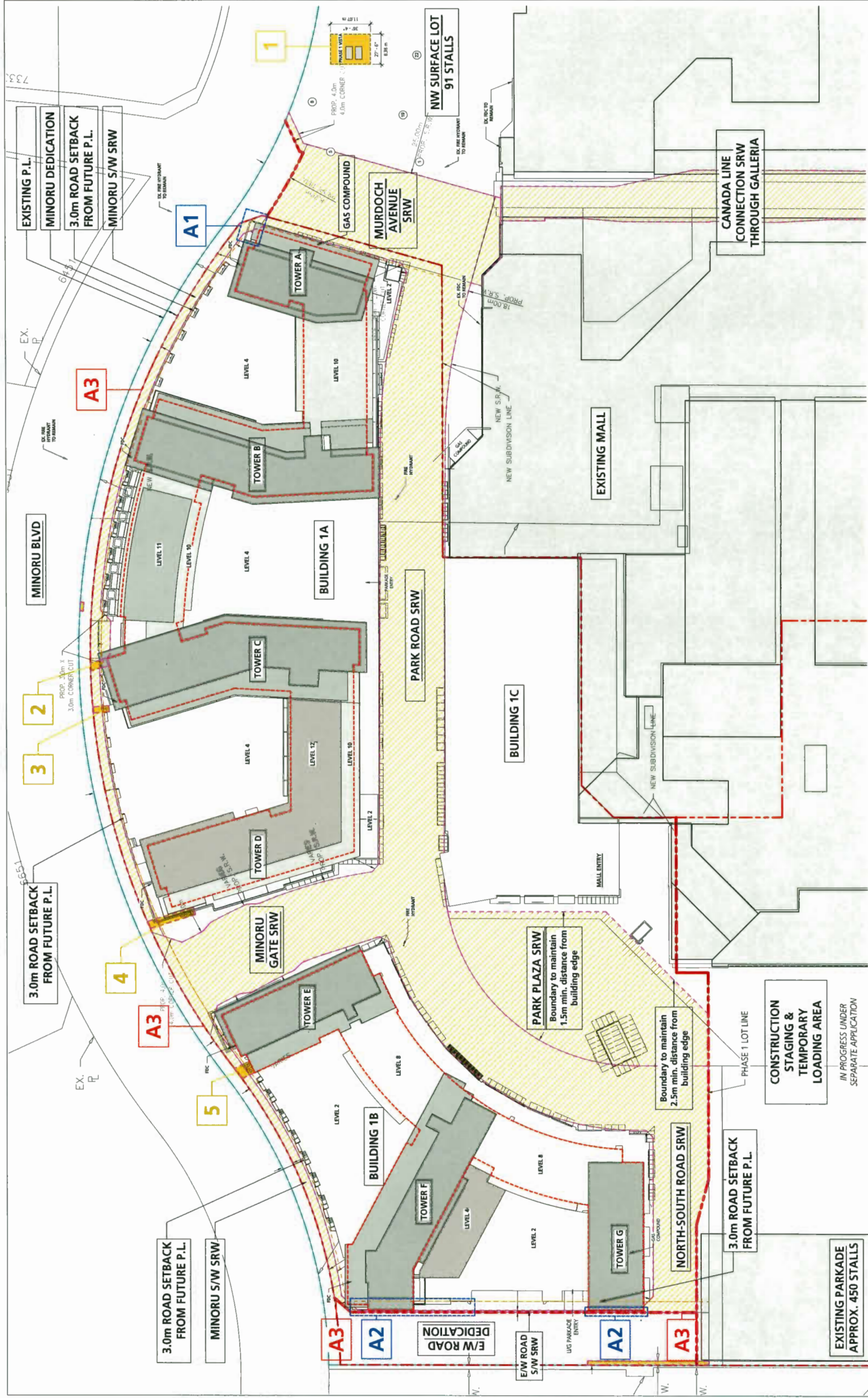
AREA USE - 1C - L2  
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AREA USE - 1C - L1  
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REVIEWS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	D/E Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	D/E Application Rev. 1
	6	2018-08-02	D/E Application Rev. 2
	7	2019-03-20	D/E Application Rev. 3
	8	2019-04-26	Progress for City Review
	9	2019-05-03	D/E Application Rev. 4
	10	2019-05-03	Progress for City Review
	11	2019-05-03	D/E Panel Submission



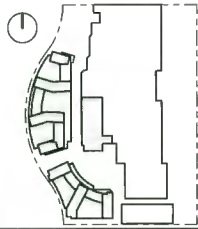
Vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) reduce the minimum permitted setbacks for Phase 1:
  1. for balconies adjacent to the Minoru Boulevard/Murdoch Avenue corner from 2.0 m to 1.2 m at Levels 3 to 14; and
  2. for towers adjacent to the proposed City street at the site's south edge from 3.0 m to 2.0 m at Level 1 and from 3.0 m to 0.5 m at Levels 2 to 14;
  3. for parking located below finished grade from 3.0 m to 0.0 m along the site's Minoru Boulevard frontage and the proposed City street at the site's south edge.
- b) reduce the minimum parking requirements inclusive of transportation demand management parking reductions:
  1. for Phase 1, for affordable housing residents from 64 spaces to 30 spaces; and
  2. for Phase 2, for affordable housing residents from 0.81 spaces per unit to 0.375 spaces per unit and market rental housing residents from 0.72 spaces per unit to 0.6 spaces per unit.

1. **Vista switch** two cabinets at (1651w x 1829d x 940h) each
2. **UPS cabinet** (635w x 533d x 1524h)
3. **Traffic controller** (1124w x 661d x 1397h)
4. **Traffic controller** (1124w x 661d x 1397h) & **UPS cabinet** (635w x 533d x 1524h)
5. **Strestlight & Tree receptacle kiosk** two cabinets at (610w x 406d x 914h) each







DP 17-768248  
MAY 29, 2019  
PLAN # 4a-1



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	City Council Review	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	DP Application Rev. 1	
5	2018-04-05	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Application Rev. 3	

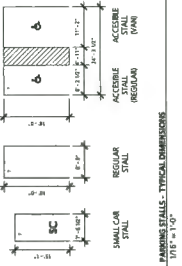
RICHMOND CENTRE  
PHASE 1

PHASE 1

PH 1 PB PLAN

DATE	STUDY	15/01/19
DRAWN BY	DESIGNED BY	J.S.
SCALE	As indicated	
JOB NUMBER		1686-87

A-4.01



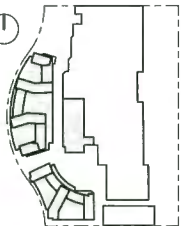
PARKING STALLS - TYPICAL DIMENSIONS  
1/8" = 1'-0"

PHASE 1 - PARKING COUNT - PB		
PARKING STALL TYPE		COUNT
Residential		
Accessible (Van) Residential	10	
Accessible Residential	4	
Regular Residential	652	
Small Car Residential	226	
	892	
TOTAL STALLS	892	

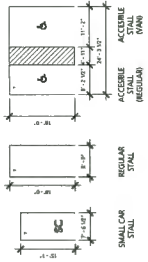
PHASE 1 - BIKE COUNT - PB		
BIKE TYPE		COUNT
Bike Locker Residential	88	
Horizontal Residential	285	
Vertical Residential	135	
	508	

OUTLINE OF PHASE 2 PARKING

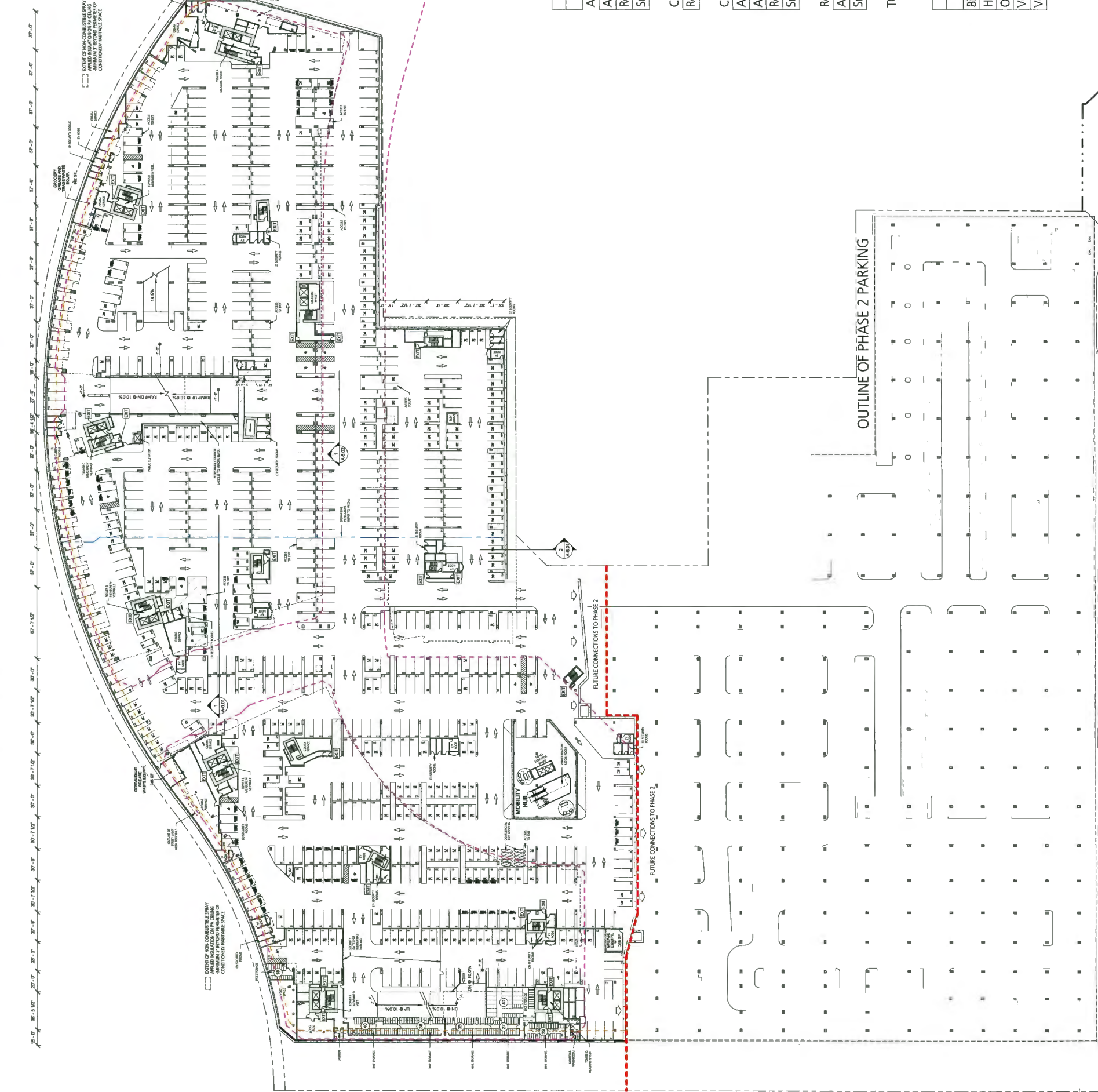




DP 17-768248  
MAY 29, 2019  
PLAN # 4a-2



PARKING STALLS - TYPICAL DIMENSIONS  
1/8" = 1'-0"



PHASE 1 - PARKING COUNT - PA	
PARKING STALL TYPE	COUNT

Affordable Housing	
Accessible (Van) Affordable Housing	1
Regular Affordable Housing	14
Small Car Affordable Housing	15
	30

Car Share	
Regular Car Share	3
	3

Commercial	
Accessible (Van) Commercial	11
Accessible Commercial	3
Regular Commercial	512
Small Car Commercial	231
	757

Residential	
Accessible (Van) Residential	1
Small Car Residential	11
	12
TOTAL STALLS	802

PHASE 1 - BIKE COUNT - PA	
BIKE TYPE	COUNT
Bike Locker Residential	74
Horizontal Residential	95
OVER-SIZED Bike Locker Residential	16
Vertical	20
Vertical Residential	42
	247



REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-06-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	Progress for Pricing
5	2018-04-06	DP Application Rev. 1
6	2018-04-06	DP Application Rev. 2
7	2019-03-20	DP Application Rev. 3
8	2019-04-26	Progress for City Review
9	2019-05-03	DP Application Rev. 3
10	2019-05-03	Progress for City Review
11	2019-05-03	DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
PH 1 PA PLAN

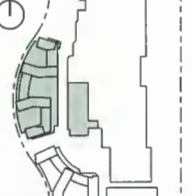
DATE: 5/29/2019 11:24:11 PM  
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CHECKED BY: [Signature]  
SCALE: As Indicated  
JOB NUMBER: 1686-87



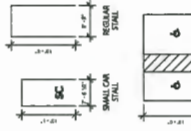


4010 ARCHITECTS INC.  
1000 10th Avenue S.W.  
Calgary, Alberta T2P 1C1  
TEL: 403.243.1100  
FAX: 403.243.1101  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 4b-1

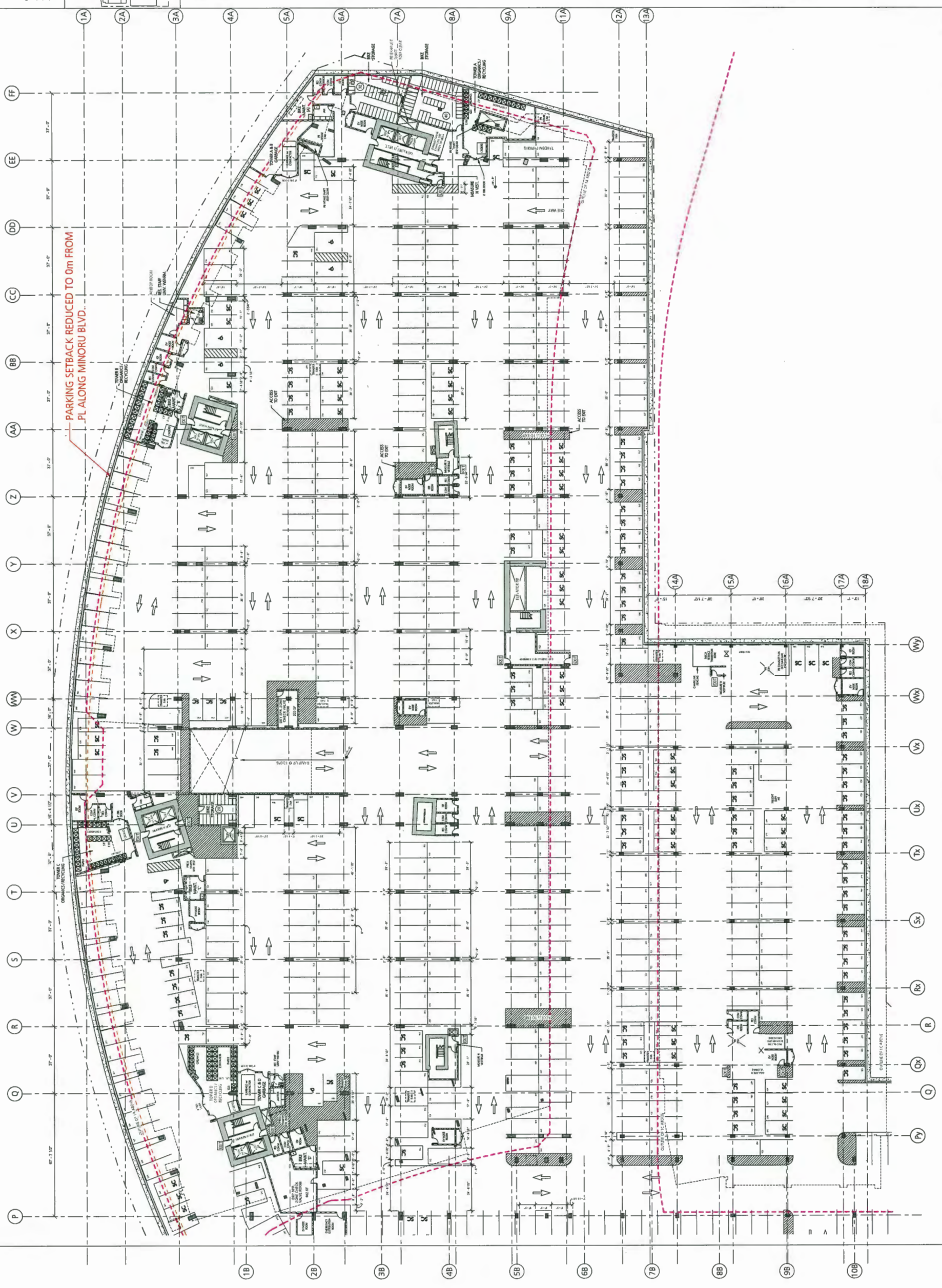


PARKING STALLS - TYPICAL DIMENSIONS  
1/16" = 1'-0"

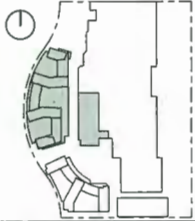
REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit	
2	2017-04-08	Application	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	Program for Parking	
5	2018-04-06	DP Application Rev. 2	
6	2018-04-06	DP Application Rev. 3	
7	2019-03-20	Program for City Review	
8	2019-05-03	DP Final Submission	

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
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JOB NUMBER: 1686

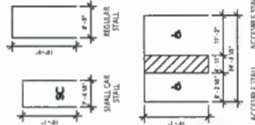
A-A.4.01







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-2



PARKING STALLS - TYPICAL

1:16' = 1'-0"

REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit	
2	2017-08-08	Application	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	Program for Paving	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Program for City Review	
8	2019-05-03	DP Final Submission	

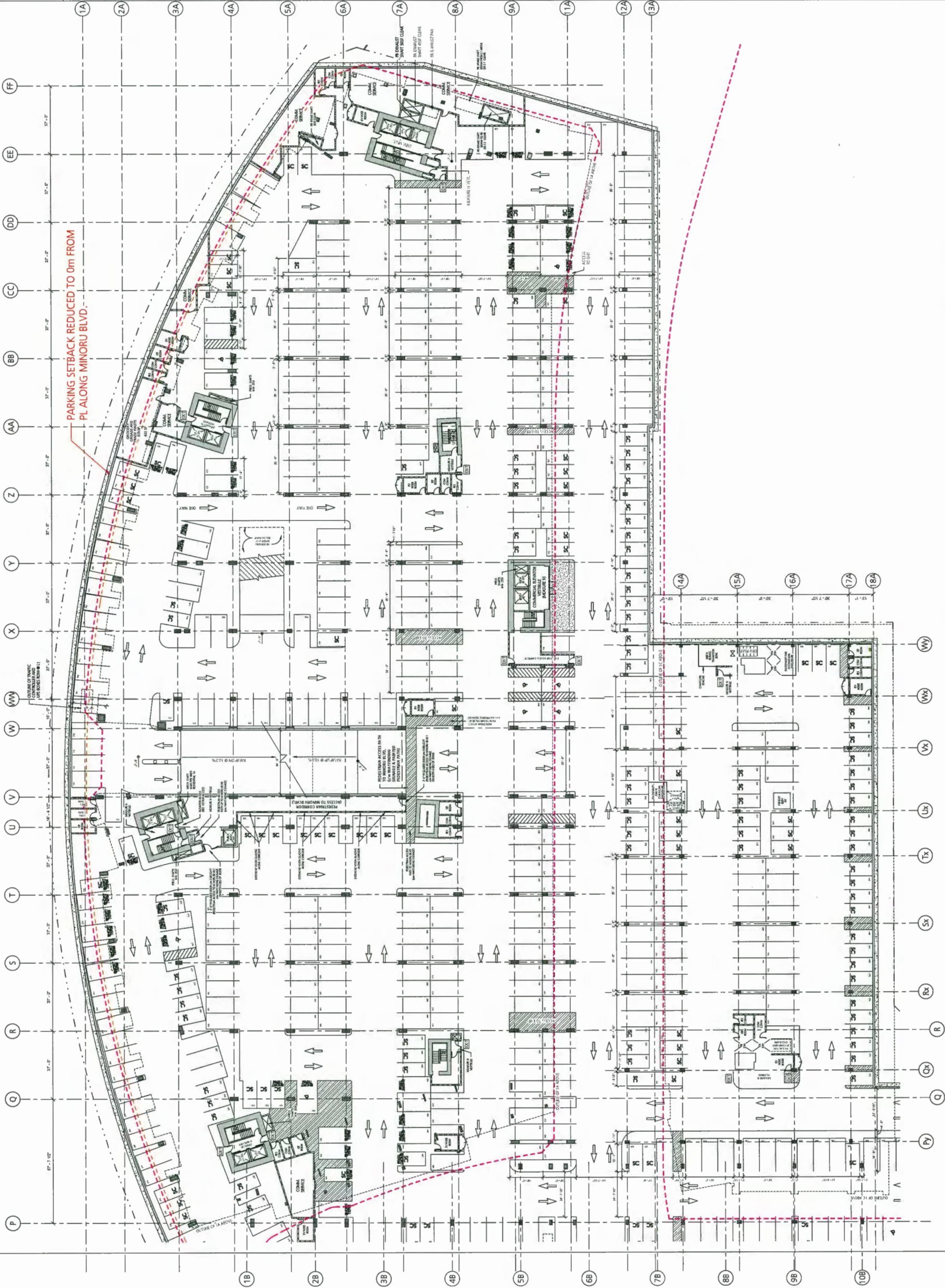
RICHMOND CENTRE  
PHASE 1

PHASE 1

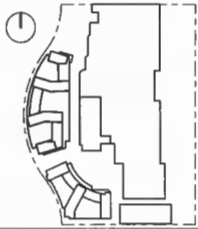
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JOB NUMBER: 1686

A-A.4.02





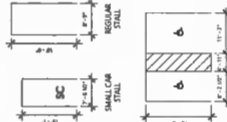


DP 17-768248  
MAY 29, 2019  
PLAN # 4b-3



GENERAL NOTES

1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER TO ALLOW FOR CURBING AT ALL COLUMNS, SPANBARS AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



PARKING STALLS - TYPICAL DIMENSIONS

1/16" = 1'-0"

REVIEWS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-23	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-04-26	DP Application Rev. 1
	6	2018-09-02	DP Application Rev. 2
	7	2019-03-20	DP Application Rev. 3
	8	2019-04-26	Progress for City Review
	9	2019-05-03	DP Application Rev. 3
	10	2019-05-03	Progress for City Review
	11	2019-05-03	DP Permit Submission

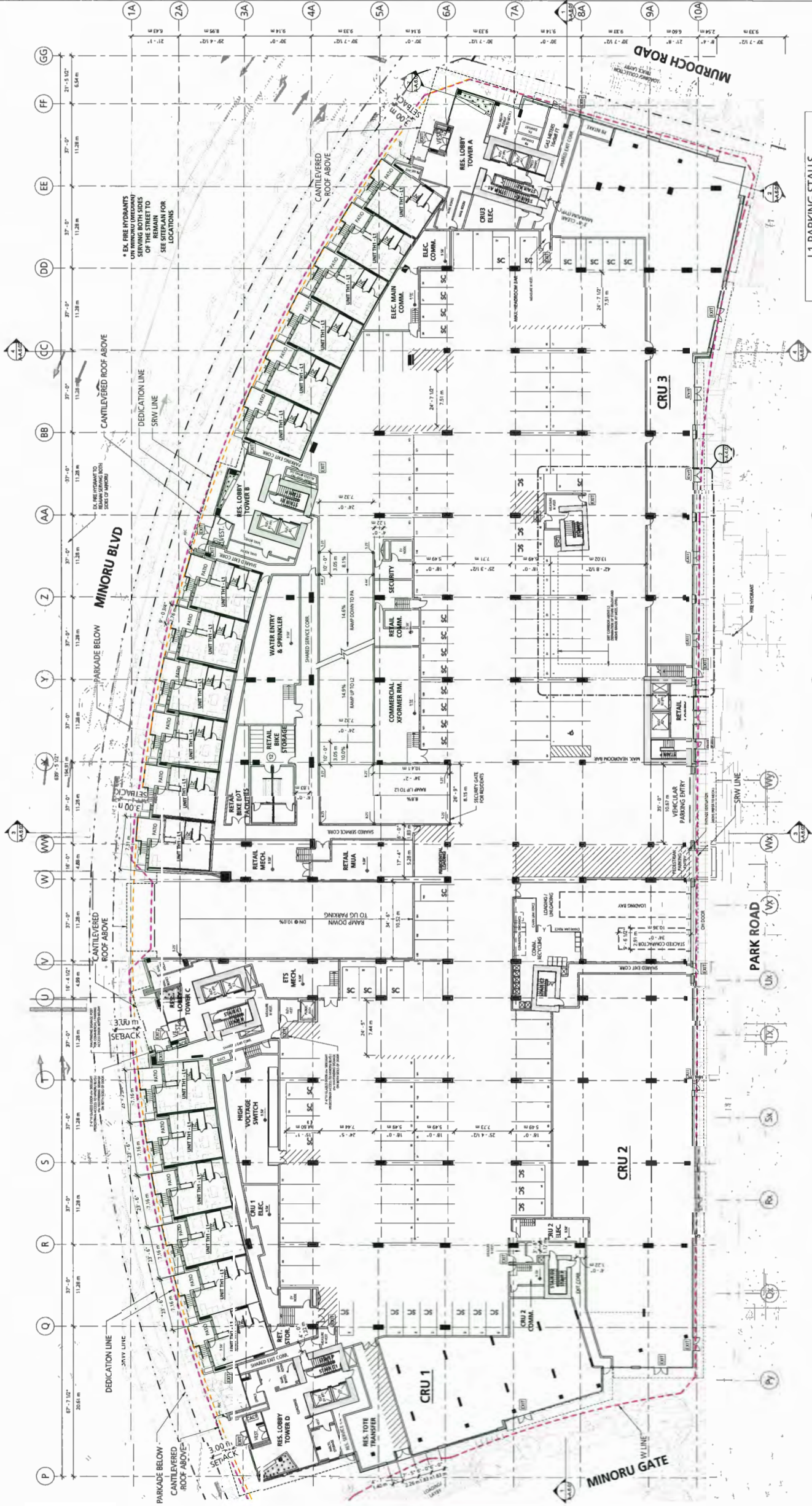
RICHMOND CENTRE  
PHASE 1

PHASE 1

1A - LEVEL 1

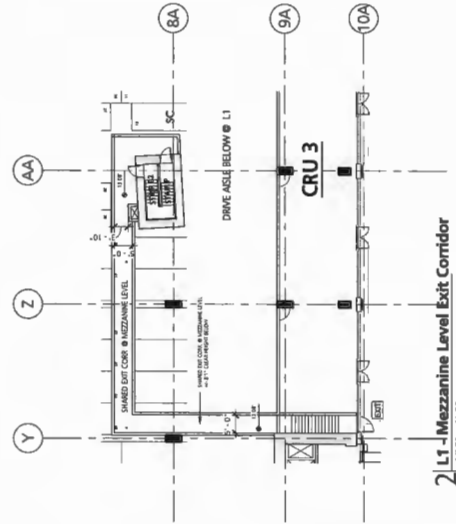
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A-A.4.03



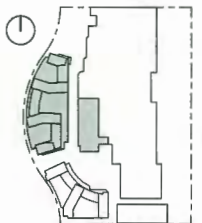
L1 PARKING STALLS	
Accessible (Van) Commercial	1
Regular Commercial	87
Small Car Commercial	40
TOTAL PARKING	128

L1 BIKE COUNT	
Horizontal Commercial	12
TOTAL PARKING	12



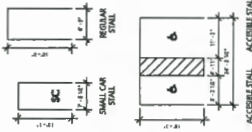
2 | L1 - Mezzanine Level Exit Corridor  
1/16" = 1'-0"





DP 17-768248  
MAY 29, 2019  
PLAN # 4b-4

GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR PARKING AT ALL CORNERS OF CONCRETE WALLS WITHIN RESIDENTIAL AREA.



PARKING STALLS - TYPICAL  
DIMENSIONS  
1/16" = 1'-0"

REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	Development Permit Application Set	
3	2018-02-28	DP Application Rev. 1	
4	2018-04-05	Program for Pricing	
5	2018-04-05	DP Application Rev. 1	
6	2018-08-02	DP Application Rev. 2	
7	2019-02-20	DP Application Rev. 3	
8	2019-04-15	Program for City Review	
9	2019-04-15	Program for City Review	
10	2019-05-03	DP Permit Submission	

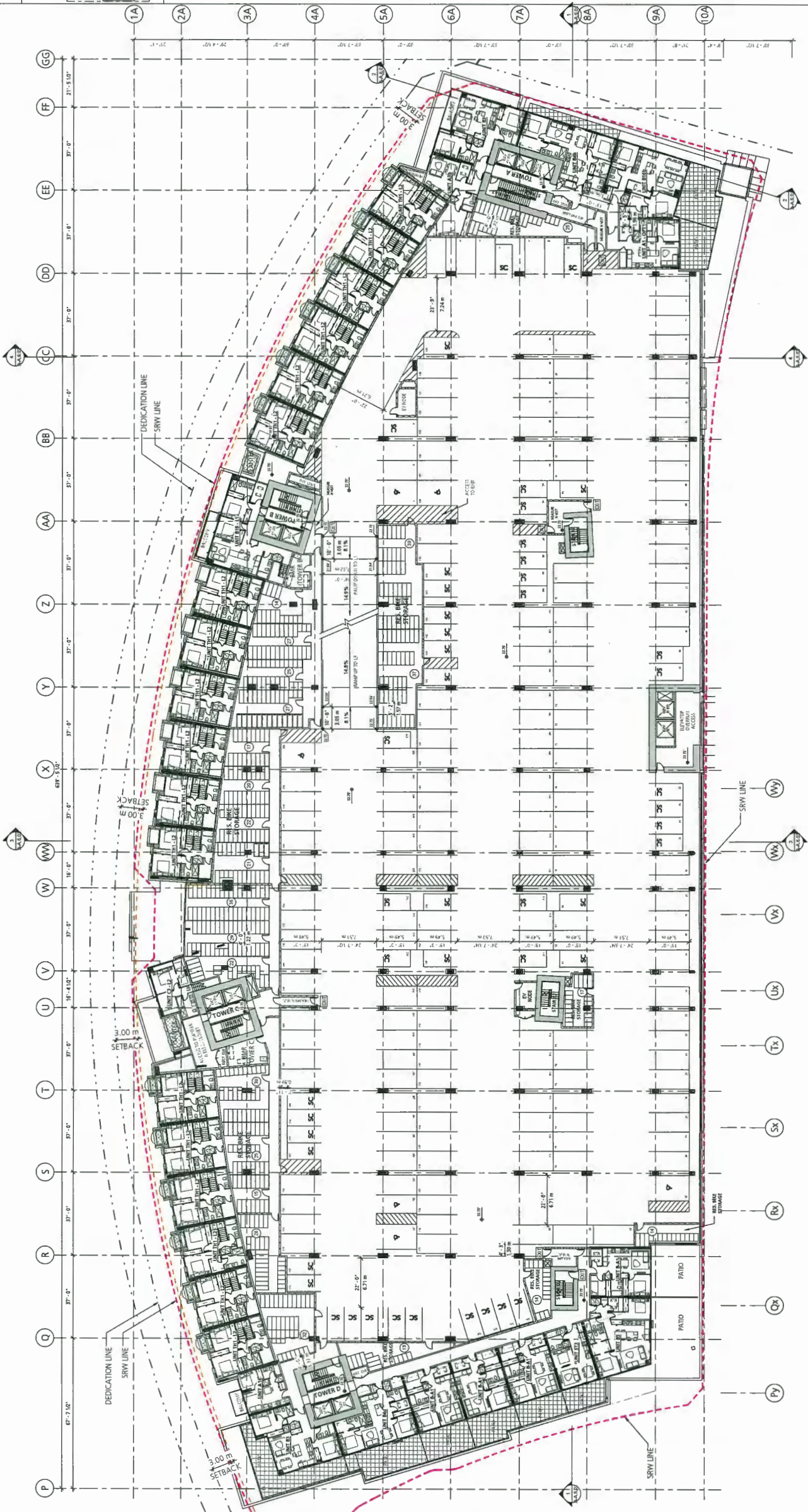
RICHMOND CENTRE  
PHASE 1

PHASE 1

1A - LEVEL 2

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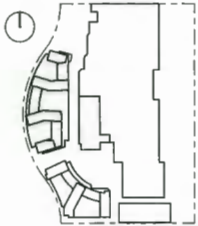
A-A.4.04



L2 PARKING STALLS	
Accessible (Van) Residential	5
Accessible Residential	1
Regular Residential	170
Small Car Residential	47
TOTAL PARKING	223

L2 BIKE COUNT	
Bike Locker Residential	16
Horizontal Residential	373
Vertical Residential	160
TOTAL PARKING	549

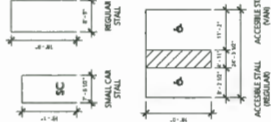




DP 17-768248  
MAY 29, 2019  
PLAN # 4b-5



GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR TURNING AT ALL COLUMNS, SPANDRILS AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



PARKING STALLS - TYPICAL DIMENSIONS

REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-04-06	City of Vancouver Review	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 1	
5	2018-04-06	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	DP Permit Submission	

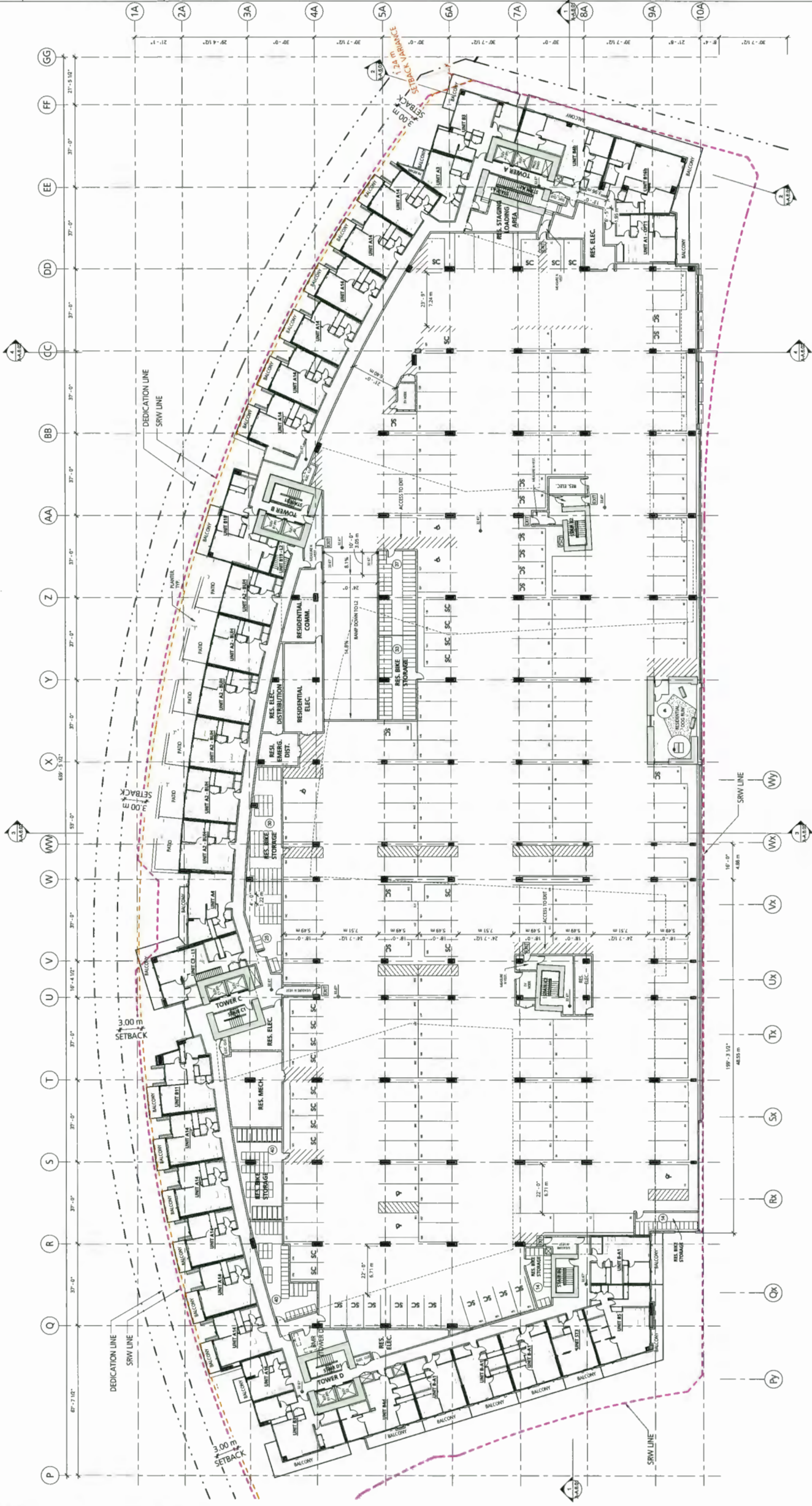
RICHMOND CENTRE  
PHASE 1

PHASE 1

1A - LEVEL 3

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JOB NUMBER	1686

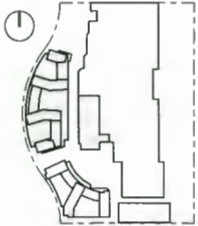
A-A.4.05



L3 PARKING STALLS	
Accessible (Van) Residential	4
Accessible Residential	2
Regular Residential	170
Small Car Residential	44
TOTAL PARKING	220

L3 BIKE COUNT	
Bike Locker Residential	15
Horizontal Residential	123
Vertical Residential	95
TOTAL PARKING	233





DP 17-768248  
MAY 29, 2019  
PLAN # 4b-6

GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR TURNING AT ALL COLUMNS, SPANDRILS AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



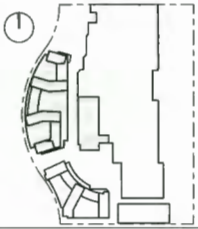
REVISIONS	No.	Date	Description
1	2017-03-31	2017-03-31	Development Permit Application
2	2017-08-08	2017-08-08	DP Application Rev. 1
3	2018-03-29	2018-03-29	DP Application Rev. 2
4	2018-04-06	2018-04-06	DP Application Rev. 3
5	2018-04-26	2018-04-26	DP Application Rev. 4
6	2019-03-20	2019-03-20	DP Application Rev. 5
7	2019-04-26	2019-04-26	DP Application Rev. 6
8	2019-05-03	2019-05-03	DP Permit Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
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CHECKED BY: A. J. J.  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686

A-A.4.06







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-7

GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR TURNING AT ALL COLUMNS, SPANDRILS AND CORNER REINFORCEMENTS WITHIN RESIDENTIAL AREA.



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	DP Application Rev. 1
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	DP Application Rev. 1
	5	2018-04-05	DP Application Rev. 1
	6	2018-03-20	DP Application Rev. 3
	7	2019-04-26	DP Application Rev. 3
	8	2019-05-03	DP Final Submission

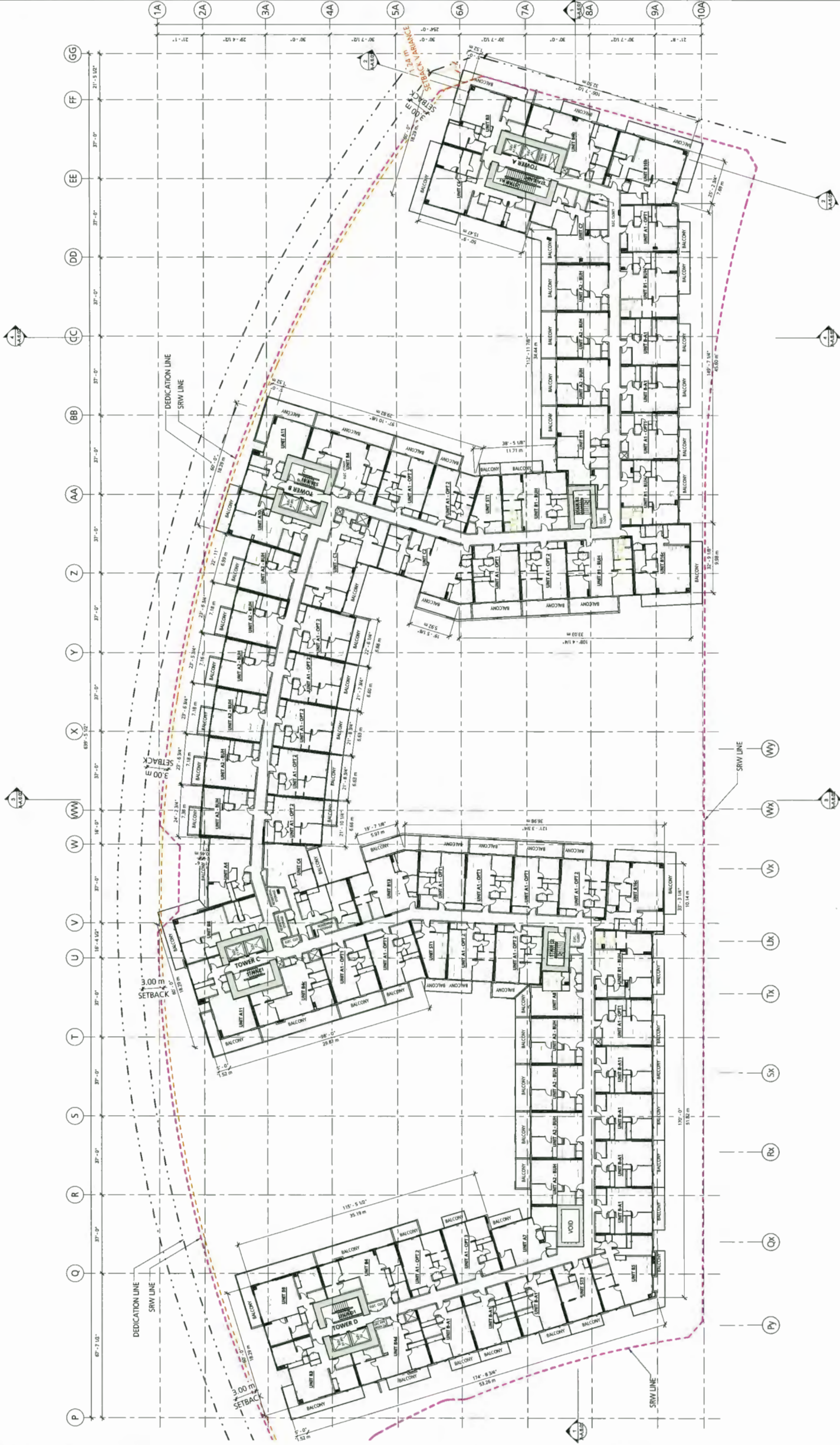
RICHMOND CENTRE  
PHASE 1

PHASE 1

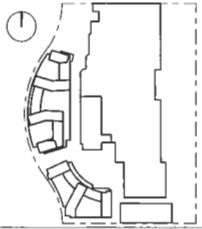
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CHECKED BY	AL
SCALE	As Shown
JOB NUMBER	1686

A-A.4.07







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-8

GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR TURNING AT ALL COLUMNS, SPANDRILS, AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	DP Application Rev. 1
	3	2018-03-29	DP Application Rev. 2
	4	2018-04-06	DP Application Rev. 1
	5	2018-05-22	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	DP Application Rev. 3
	8	2019-05-03	DP Permit Submission

RICHMOND CENTRE  
PHASE 1

PHASE 1

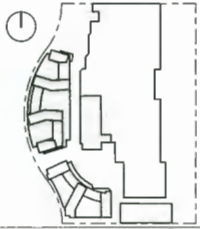
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CHECKED BY: J. Anderson  
SCALE:  
JOB NUMBER: 1686

A-A.4.08







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-9

GENERAL NOTES

1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.
2. ALLOW FOR FLOORING AT ALL COLUMNS, SPANDREL AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



REVISIONS

No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	Development Permit Application
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	DP Application Rev. 1
5	2018-04-06	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	Progress for City Review
8	2019-05-03	DP Permit Submission

RICHMOND CENTRE  
PHASE 1

PHASE 1

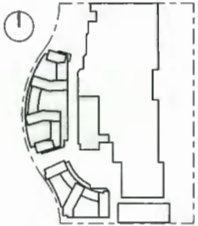
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JOB NUMBER: 1686

A-A.4.09







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-10

GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR TURNING AT ALL COLUMNS, SPANDREL AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	City Review Comments
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	DP Application Rev. 1
	5	2018-04-05	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Panel Submission

RICHMOND CENTRE  
PHASE 1

PHASE 1

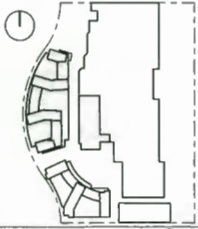
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SCALE	As Shown
JOB NUMBER	1686

A-A.4.10







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-11

GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR TURNING AT ALL COLUMNS, STAIRS, AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	Final Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	DP Application Rev. 1
	5	2018-04-05	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3
	7	2019-04-25	DP Application Rev. 3
	8	2019-05-03	DP Permit Submission

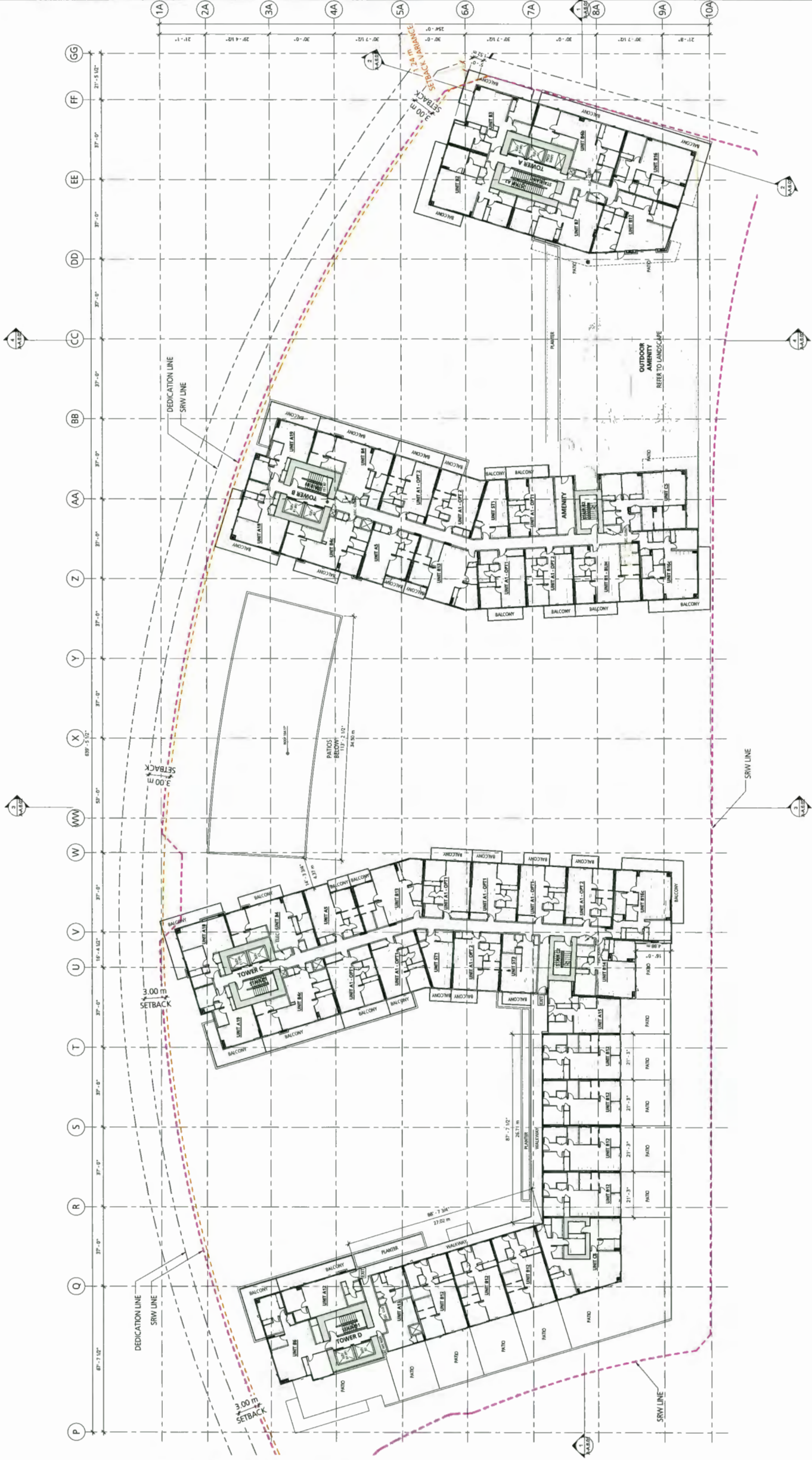
RICHMOND CENTRE  
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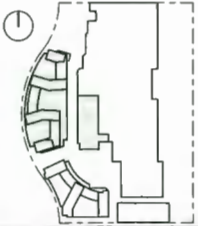
PHASE 1

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JOB NUMBER	1686

A-A.4.11





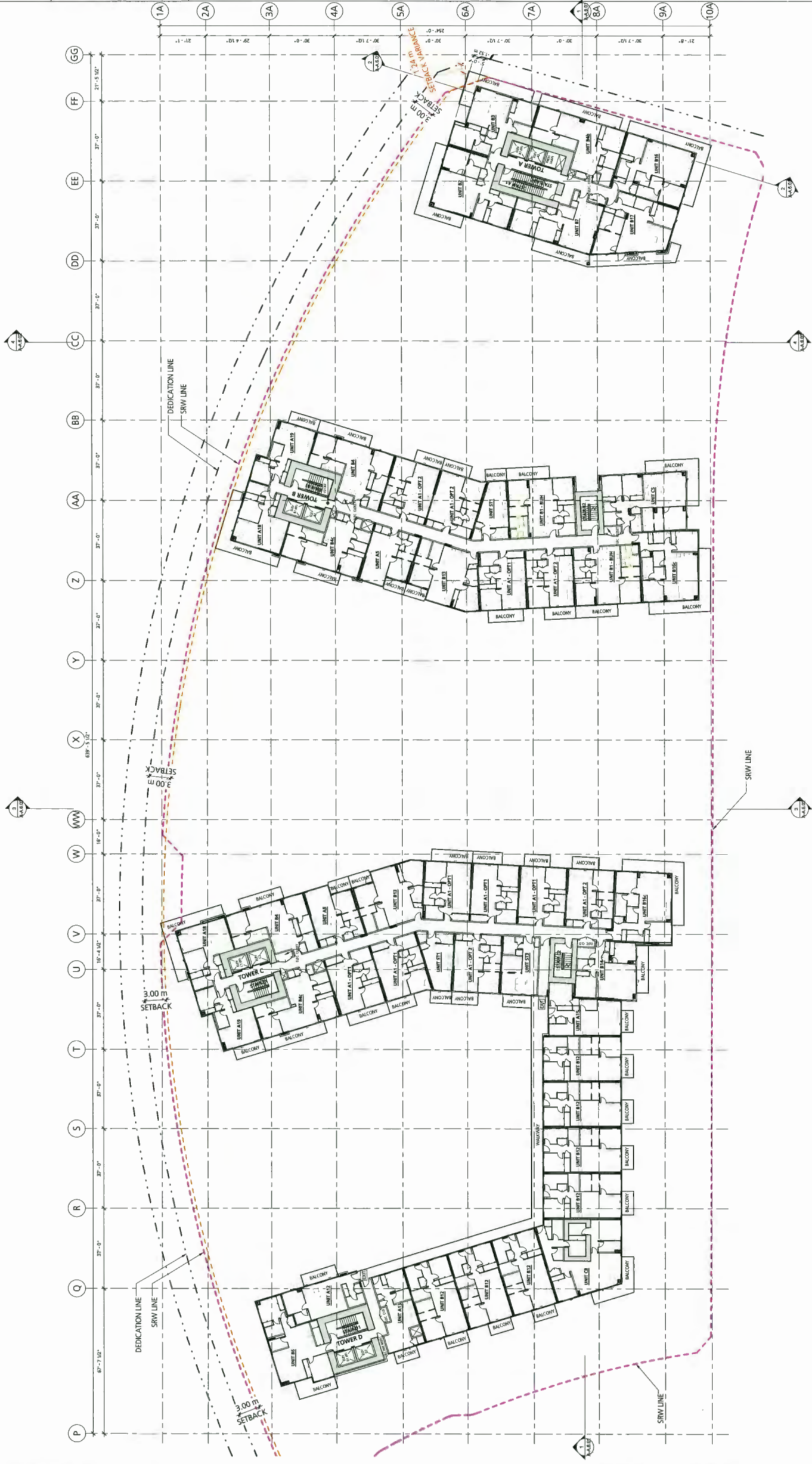
DP 17-768248  
MAY 29, 2019  
PLAN # 4b-12

GENERAL NOTES  
1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.  
2. ALLOW FOR TURNING AT ALL COLUMNS, SPANDRILS AND CORNERS TO MAINTAIN FULLY WHITEN RESIDENTIAL AREA.

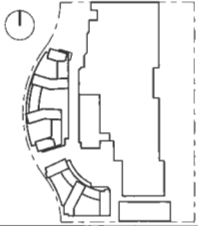


REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	Development Permit Application Rev. 1
	3	2018-03-29	Development Permit Application Rev. 1
	4	2018-04-06	Development Permit Application Rev. 1
	5	2018-04-06	Development Permit Application Rev. 1
	6	2019-03-20	Development Permit Application Rev. 3
	7	2019-04-26	Development Permit Application Rev. 3
	8	2019-05-03	Development Permit Application Rev. 3

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
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DATE: 5/29/2019 11:45:07 AM  
DRAWN BY: JG  
CHECKED BY: JG  
SCALE: As Shown  
JOB NUMBER: 1686







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-13

GENERAL NOTES  
1. PRIMARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH ALL OTHERS.  
2. ALLOW FOR FLOORING AT ALL COLUMNS, SPANDRILS, AND CORNER PANELS WITHIN RESIDENTIAL AREA.



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-04-08	City Council Approval	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-26	DP Application Rev. 1	
5	2018-05-03	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	DP Final Submission	

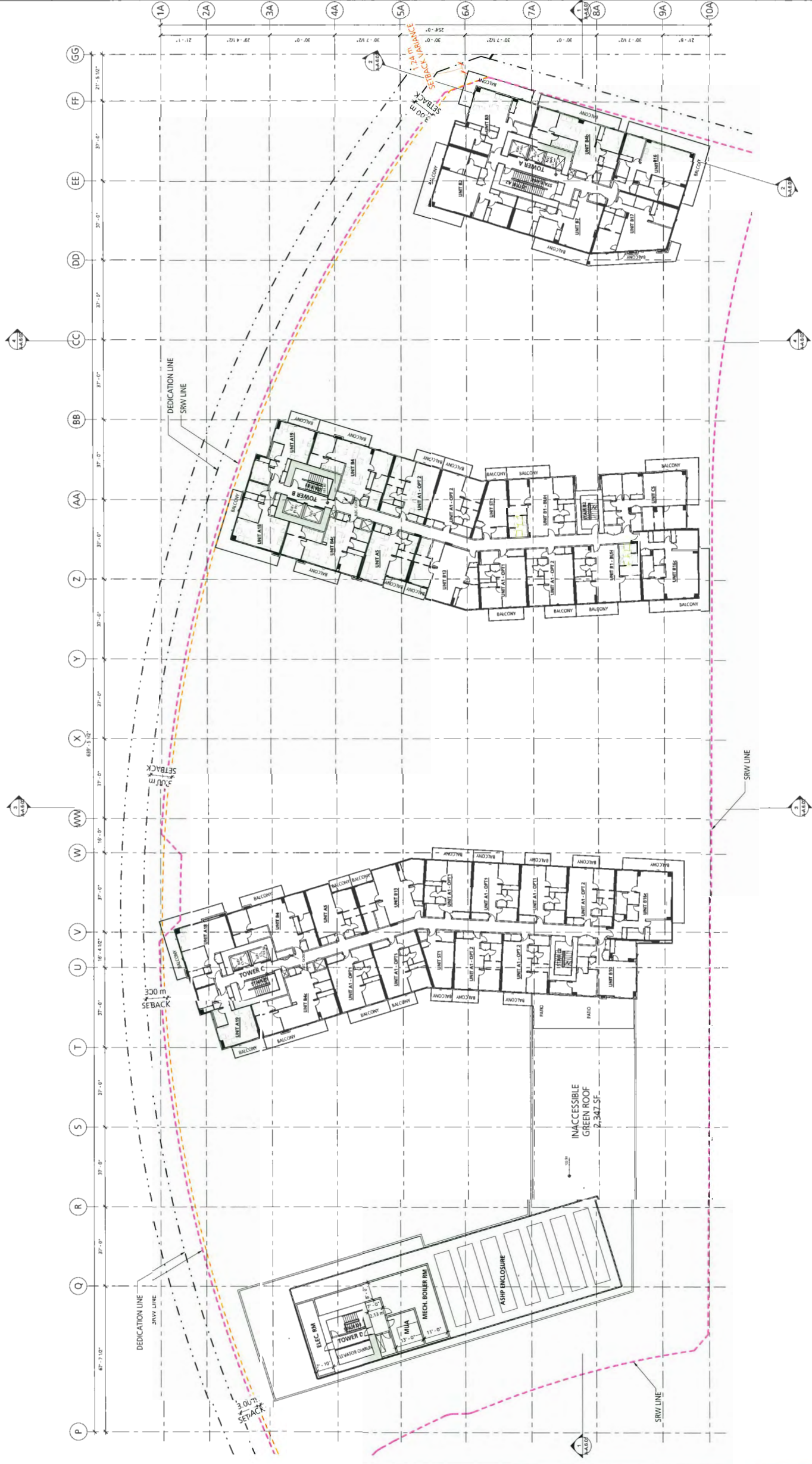
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PHASE 1

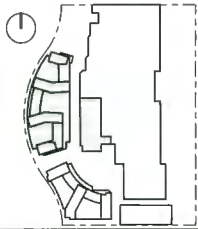
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1A - LEVEL 12

DATE	5/20/2019 11:45:13 PM
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CHECKED BY	JS
SCALE	As Shown
JOB NUMBER	1686

A-A.4.13





DP 17-768248  
MAY 29, 2019  
PLAN # 4b-14

GENERAL NOTES  
1. PRIMARY COLUMN LAYOUT TO BE MAINTAINED WITHIN STRUCTURAL FOOTPRINT OF EXISTING BUILDING.  
2. ALLOW FOR FLOOR AT ALL LEVELS TO BE CONCRETE SLABS WITH CONCRETE WALLS WITHIN RESIDENTIAL AREA.



REV	No.	Date	Description
1	2017-03-31	2017-03-31	Development Permit Application
2	2017-08-08	2017-08-08	20% Design Set
3	2018-03-29	2018-03-29	DP Application Rev. 1
4	2018-04-05	2018-04-05	Progress for Pricing
5	2018-08-02	2018-08-02	DP Application Rev. 2
6	2019-03-20	2019-03-20	DP Application Rev. 3
7	2019-04-26	2019-04-26	Progress for City Review
8	2019-05-03	2019-05-03	Progress for City Review

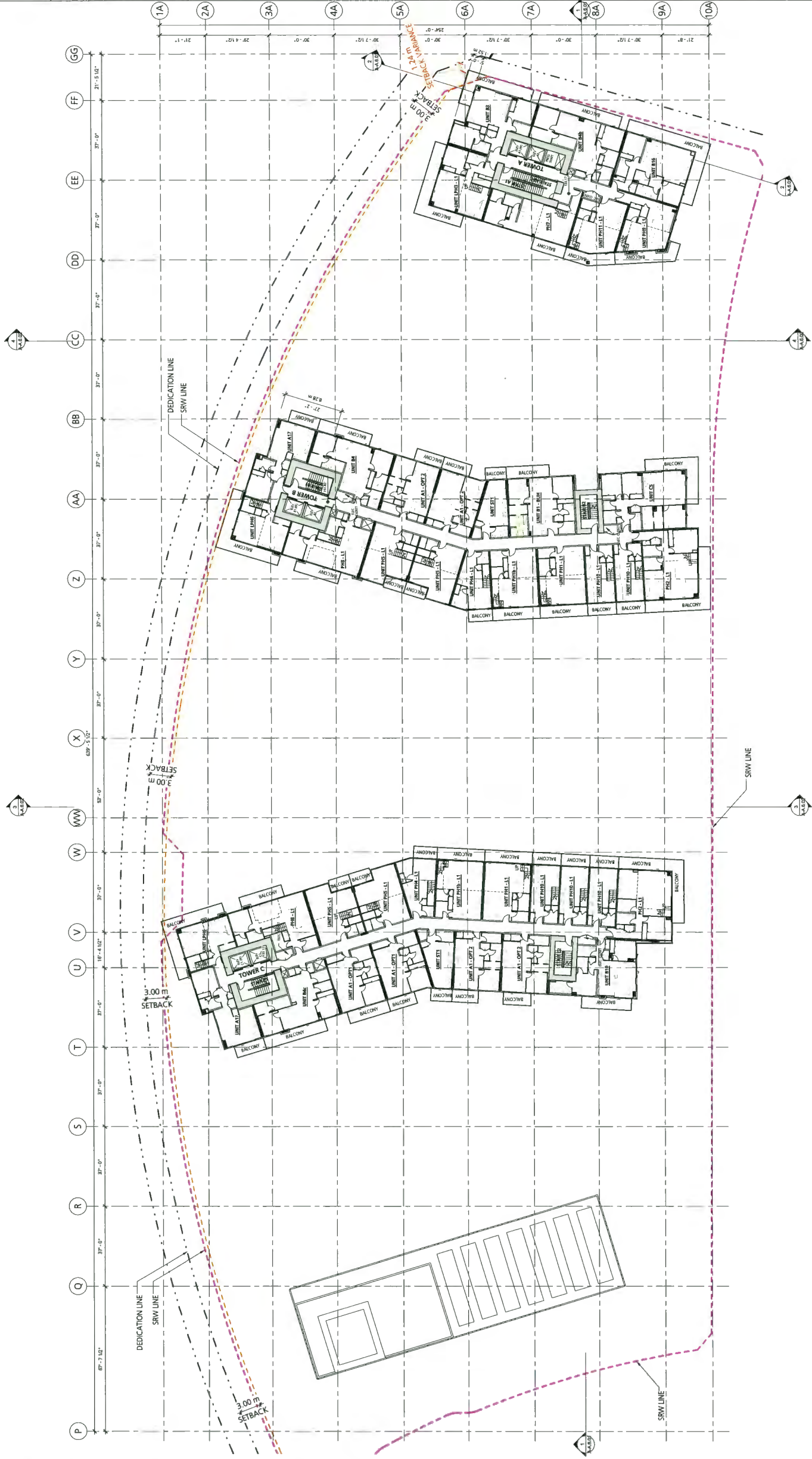
RICHMOND CENTRE  
PHASE 1

PHASE 1

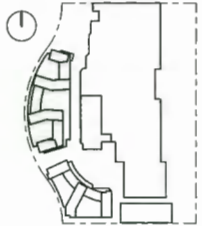
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JOB NUMBER	1686

A-A.4.14







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-15

GENERAL NOTES

1. PRELIMINARY COLUMN LAYOUT TO BE FURTHER COORDINATED WITH STRUCTURAL ENGINEER.
2. ALLOW FOR TURNING AT ALL COLUMNS, SPANDRILS AND CONCRETE WALLS WITHIN RESIDENTIAL AREA.



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	DP Application Rev. 1
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	DP Application Rev. 1
	5	2018-04-05	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-25	DP Application Rev. 3
	8	2019-05-03	DP Permit Submission

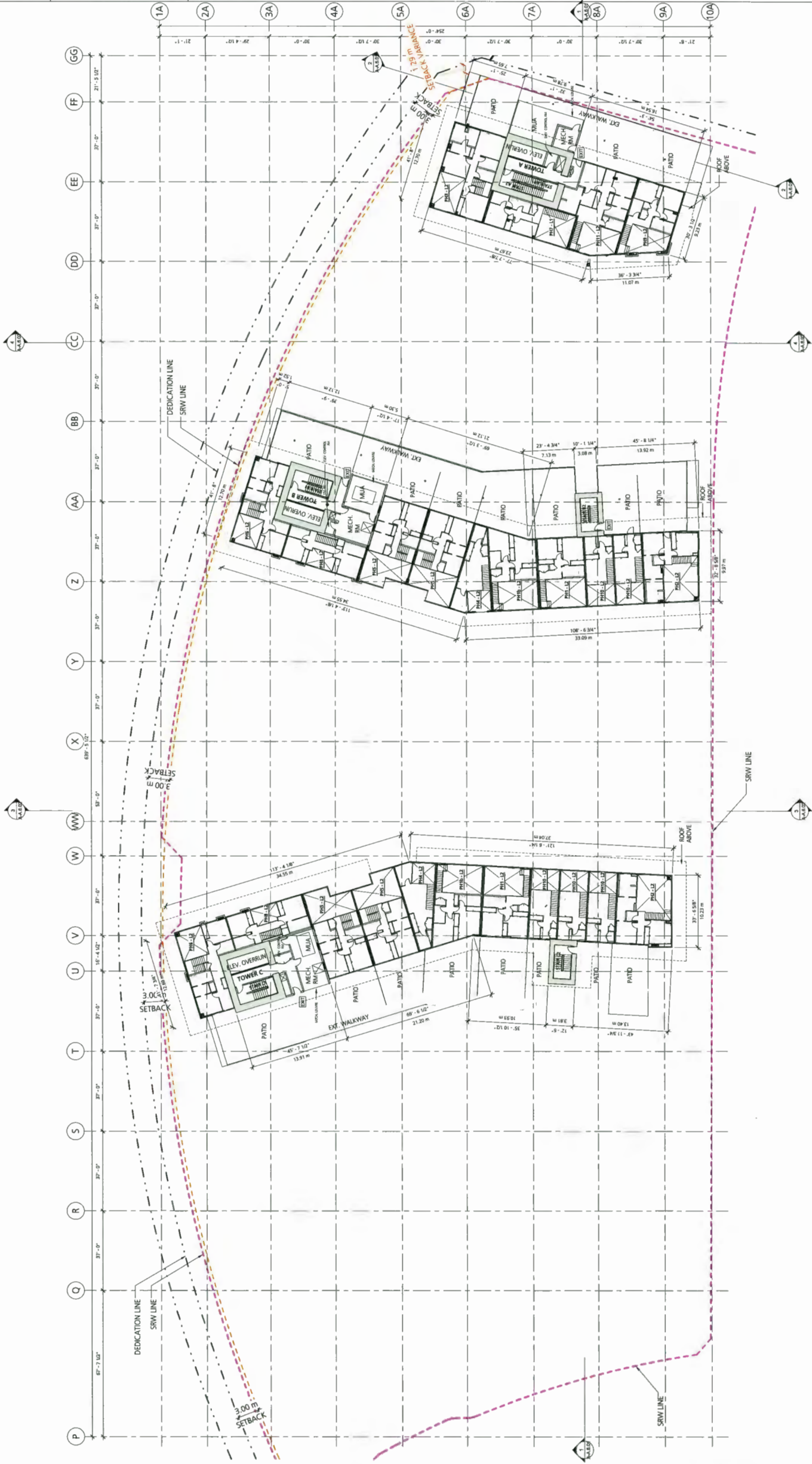
RICHMOND CENTRE  
PHASE 1

PHASE 1

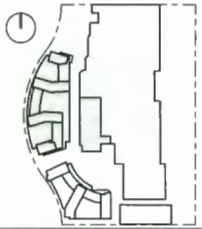
1A - LEVEL 14

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JOB NUMBER	1686

A-A.4.15







DP 17-768248  
MAY 29, 2019  
PLAN # 4b-16



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	Progress for Pricing
	3	2018-03-23	DP Application Rev. 1
	4	2018-04-06	DP Application Rev. 2
	5	2018-05-02	DP Application Rev. 3
	6	2019-03-20	DP Application Rev. 4
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Final Submission

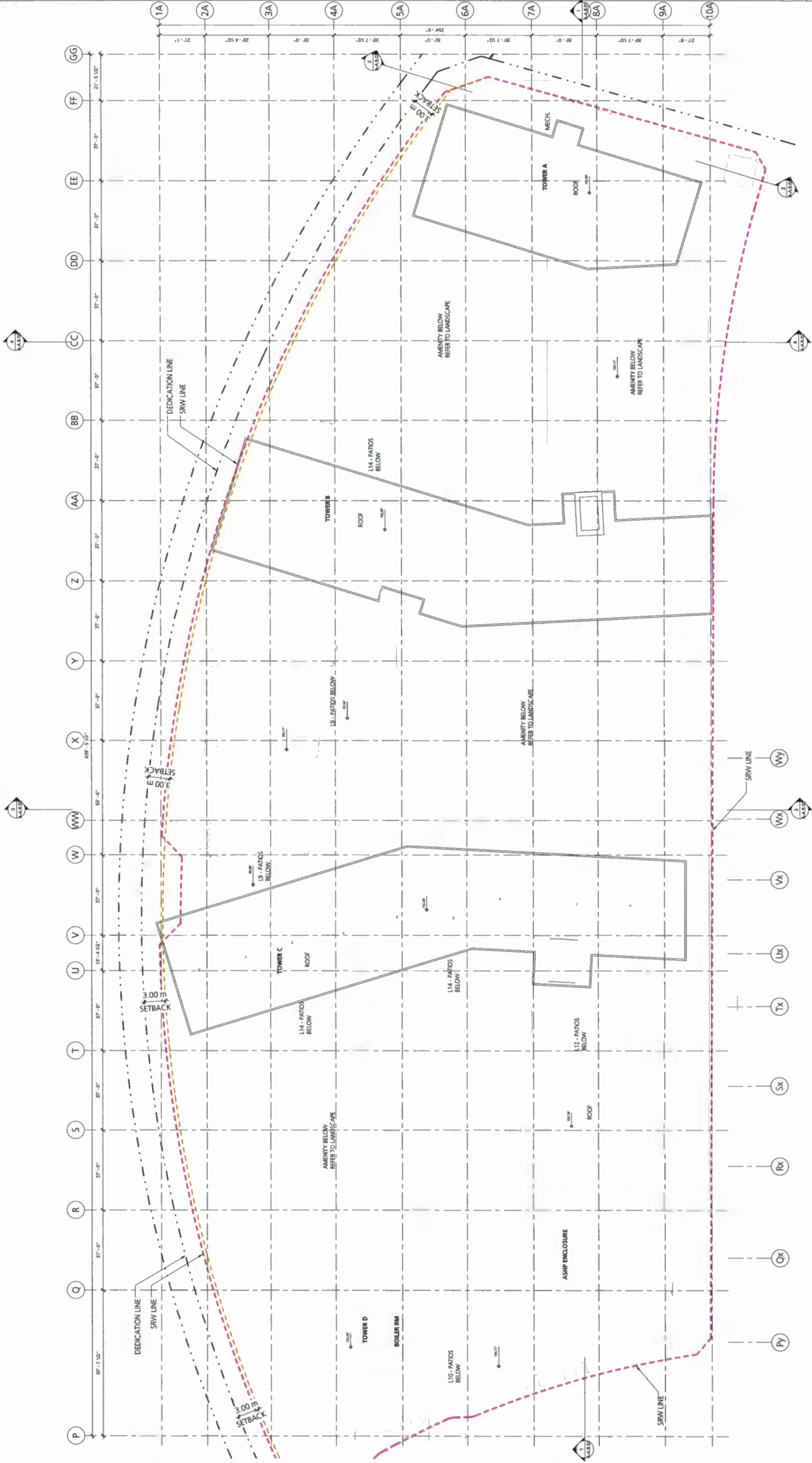
RICHMOND CENTRE  
PHASE 1

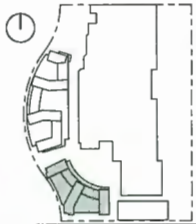
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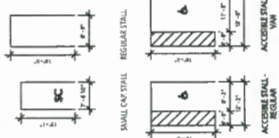
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JOB NUMBER	1686

A-A.4.16





DP 17-768248  
MAY 29, 2019  
PLAN # 4c-1



PARKING STALLS - TYPICAL  
DIMENSIONS  
1/8" = 1'-0"

REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit	
2	2017-08-08	35% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 2	
5	2018-08-02	DP Application Rev. 1	
6	2018-08-02	DP Application Rev. 2	
7	2019-03-20	DP Application Rev. 3	
8	2019-05-03	Program for City Review	
		DP Permit Submission	

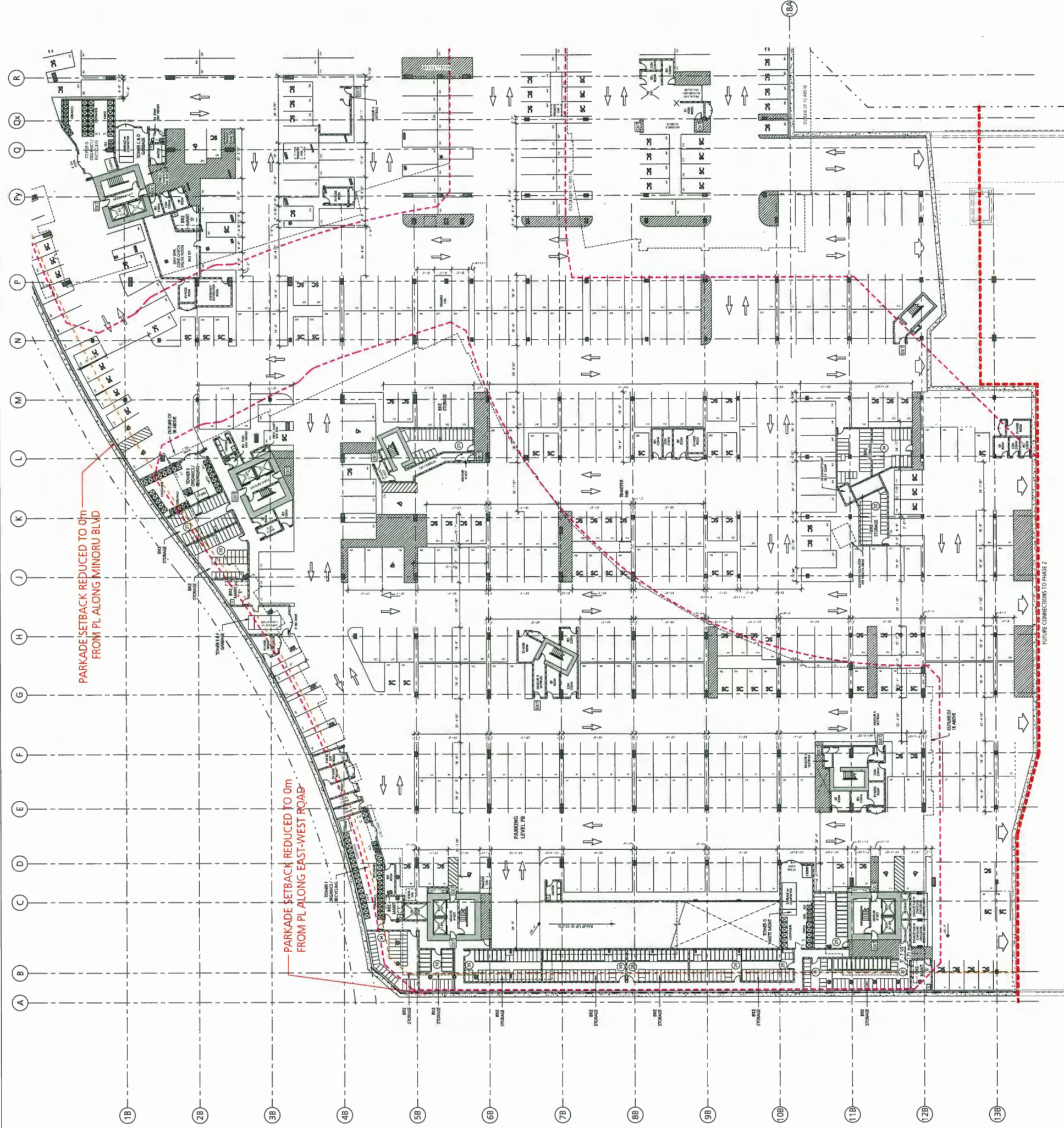
RICHMOND CENTRE  
PHASE 1

PHASE 1

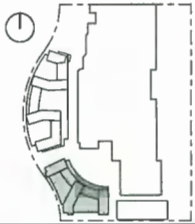
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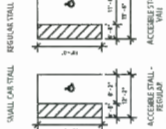
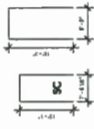
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DP 17-768248  
MAY 29, 2019  
PLAN # 4c-2



PARKING STALLS - TYPICAL  
DIMENSIONS  
1/16" = 1'-0"

REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-09	Application for City Review	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	Progress for Planning Application Rev. 1	
5	2018-04-02	DP Application Rev. 2	
6	2018-03-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Permit Submission	

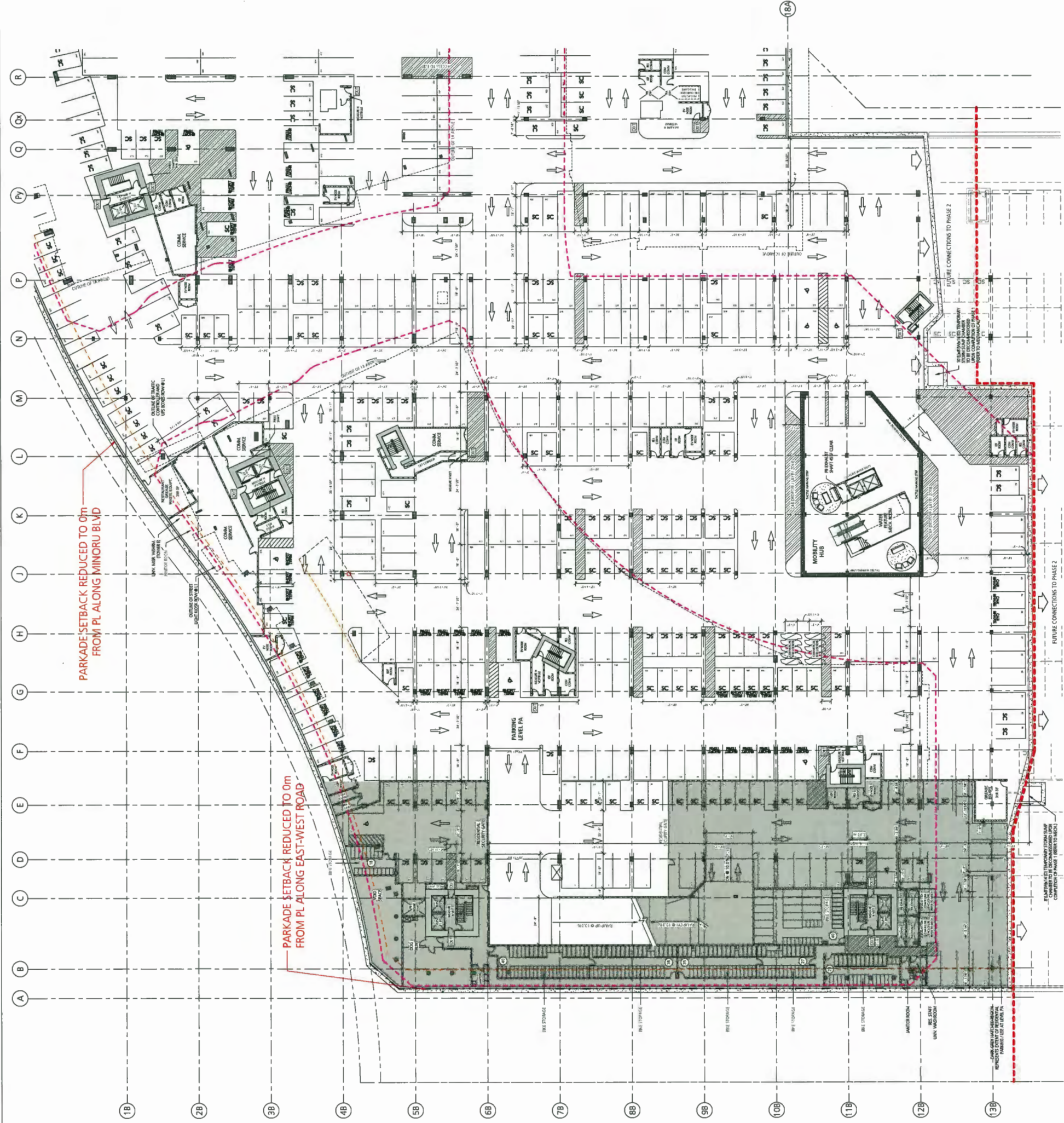
RICHMOND CENTRE  
PHASE 1

PHASE 1

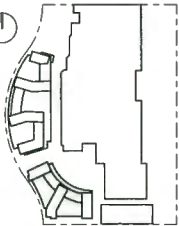
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JOB NUMBER	1686-87

A-B.4.02







DP 17-768248  
MAY 29, 2019  
PLAN # 4c-3



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	DP Application Rev. 1	
3	2018-03-29	DP Application Rev. 2	
4	2018-04-26	DP Application Rev. 3	
5	2018-08-02	DP Application Rev. 4	
6	2019-03-20	DP Application Rev. 5	
7	2019-04-26	DP Application Rev. 6	
8	2019-05-03	DP Application Rev. 7	

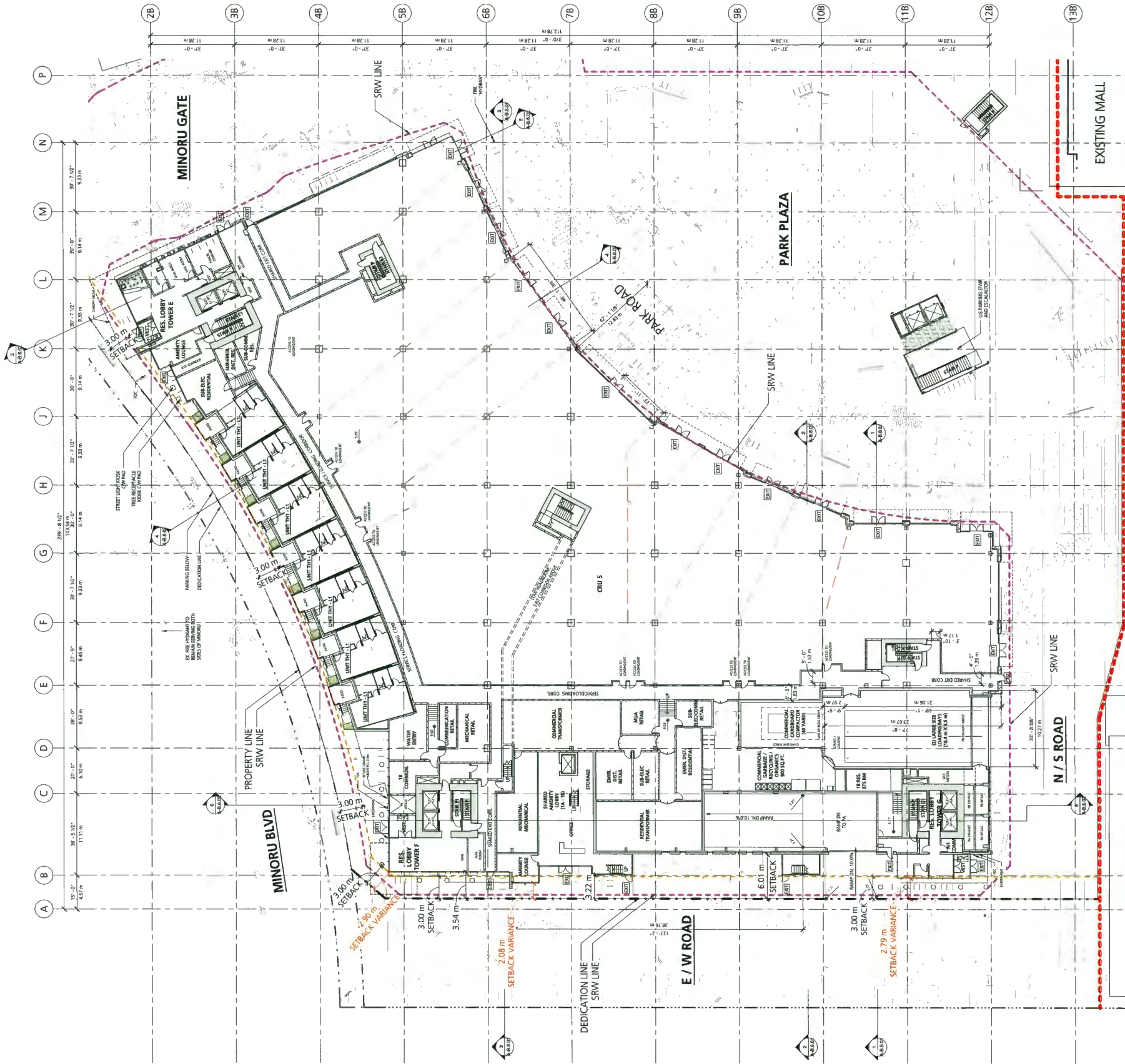
RICHMOND CENTRE  
PHASE 1

PHASE 1

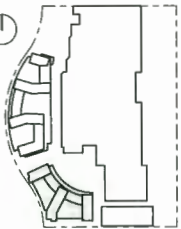
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JOB NUMBER	1686-87

A-B.4.03







DP 17-768248  
MAY 29, 2019  
PLAN # 4c-4



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	Application Rev. 1	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	DP Application Rev. 1	
5	2018-04-05	DP Application Rev. 1	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Application Rev. 3	
			DP Permit Submission

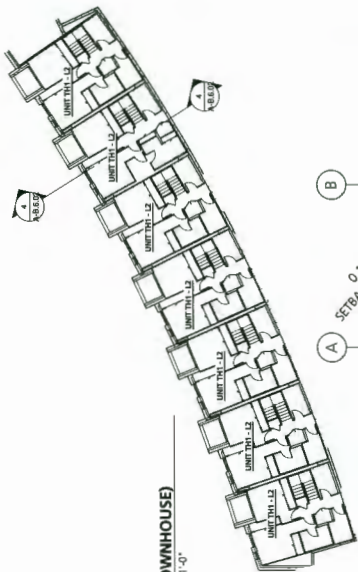
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PHASE 1

PHASE 1

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DOB NUMBER	1686-87

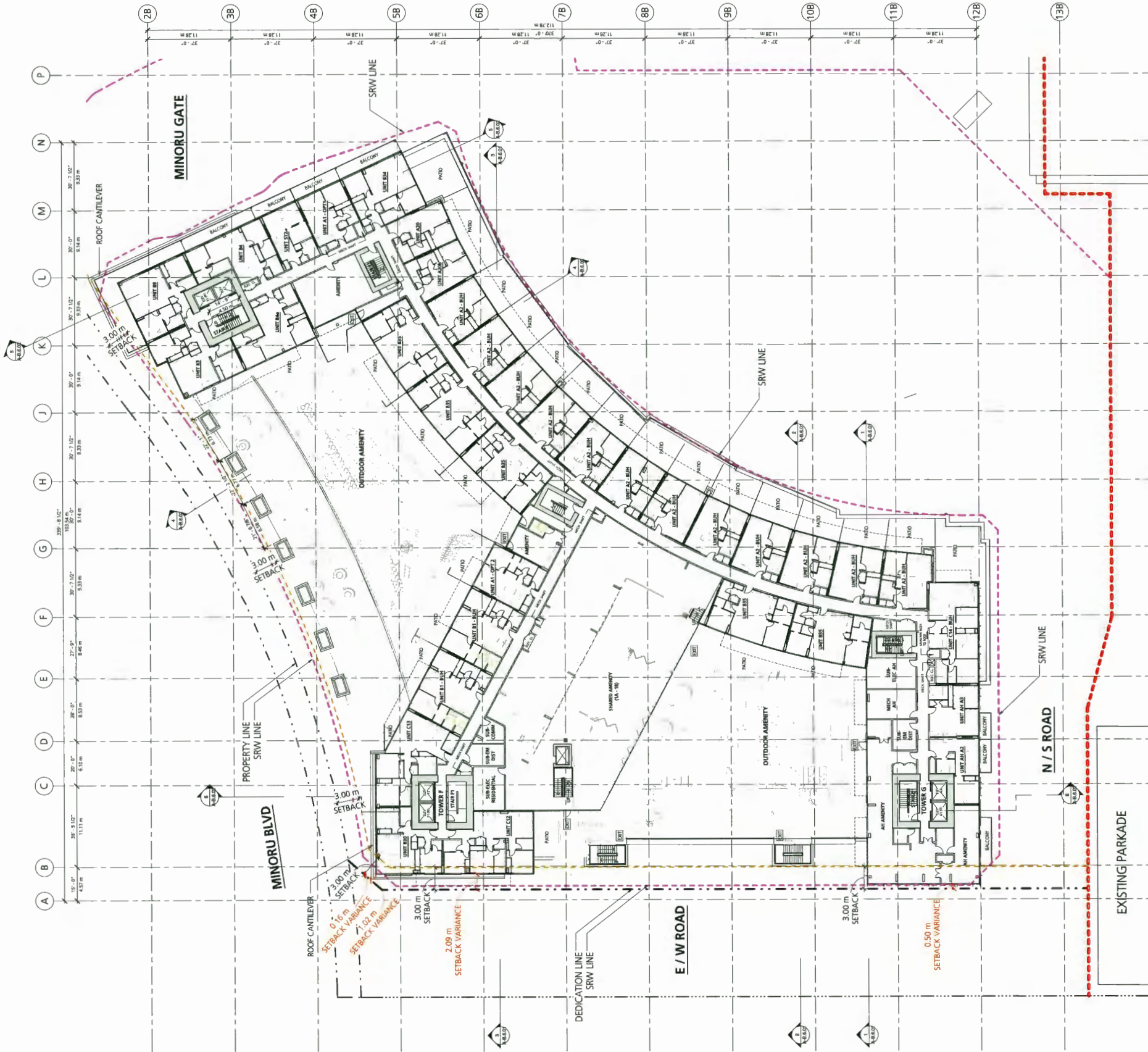
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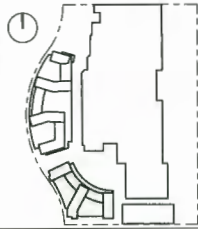
L2 TOWNHOUSE  
1/16" = 1'-0"



E/W ROAD VARIANCE - L2  
3/16" = 1'-0"







**DP 17-768248**  
MAY 29, 2019  
**PLAN # 4c-5**



REVIEWS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	DP Application Rev. 2
	6	2018-08-02	DP Application Rev. 3
	7	2019-03-20	Progress for City Review
	8	2019-05-03	DP Application Rev. 3
	9	2019-05-03	DP Panel Submission

**RICHMOND CENTRE  
PHASE 1**

PHASE 1

DATE  
DRAWN BY  
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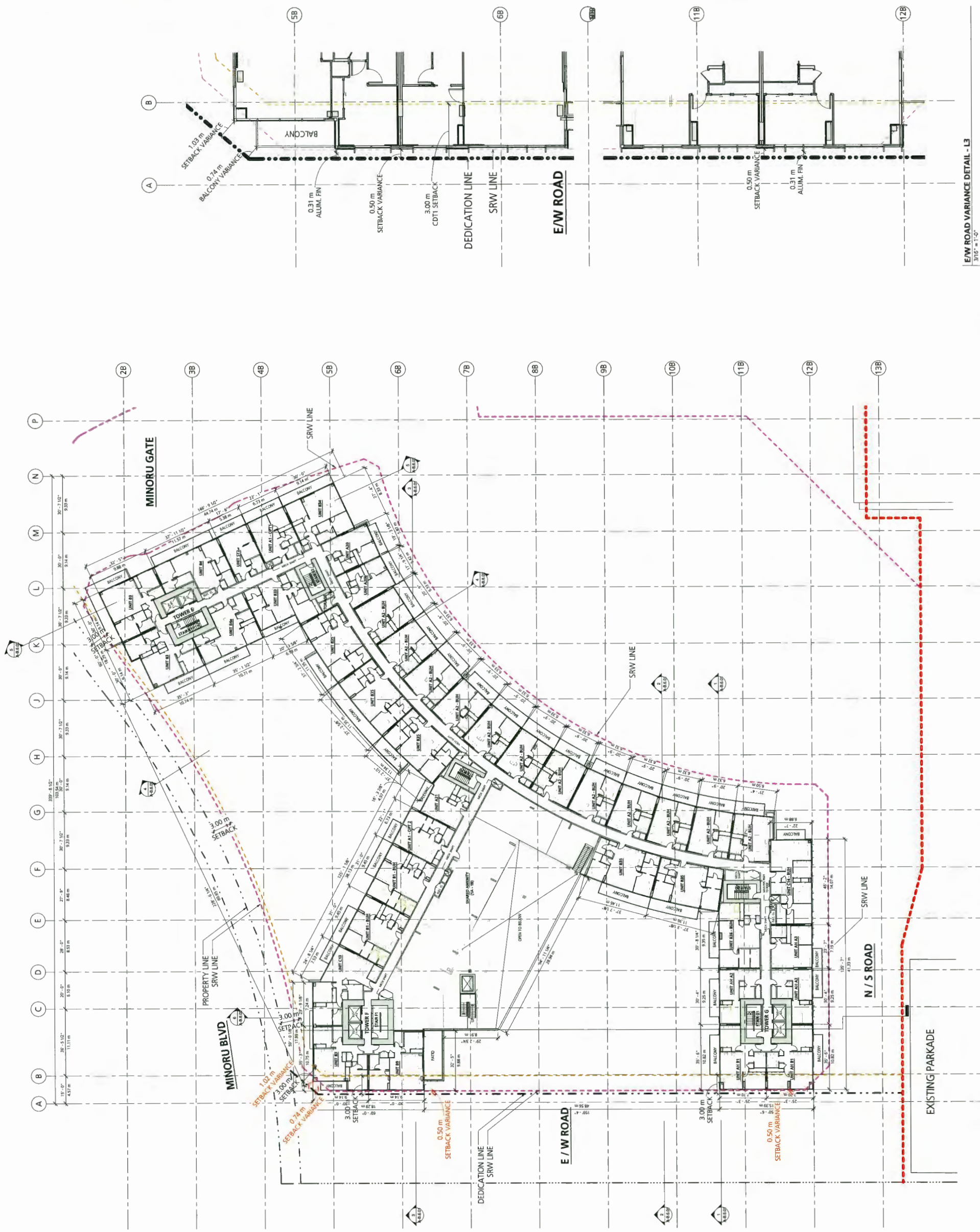
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.  
As indicated

1686-87

JOB NUMBER

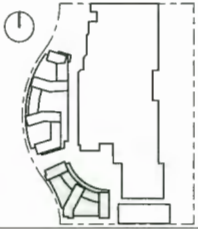
JOB NUMBER 1686-87

A-B.4.05



E/W ROAD VARIANCE DETAIL - L3  
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DP 17-768248  
MAY 29, 2019  
PLAN # 4c-6



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-04-20	DP Application Rev. 1
	6	2019-03-20	DP Application Rev. 2
	7	2019-04-26	DP Application Rev. 3
	8	2019-05-03	Progress for City Review
			DP Application Rev. 3
			Progress for City Review
			DP Panel Submission

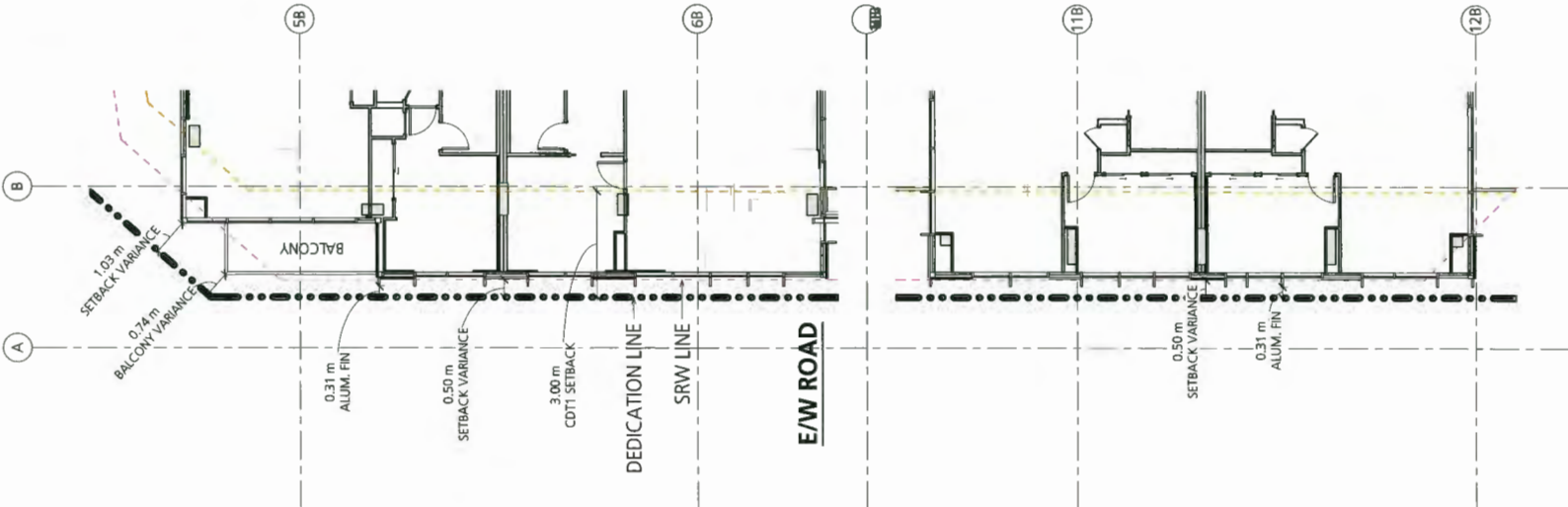
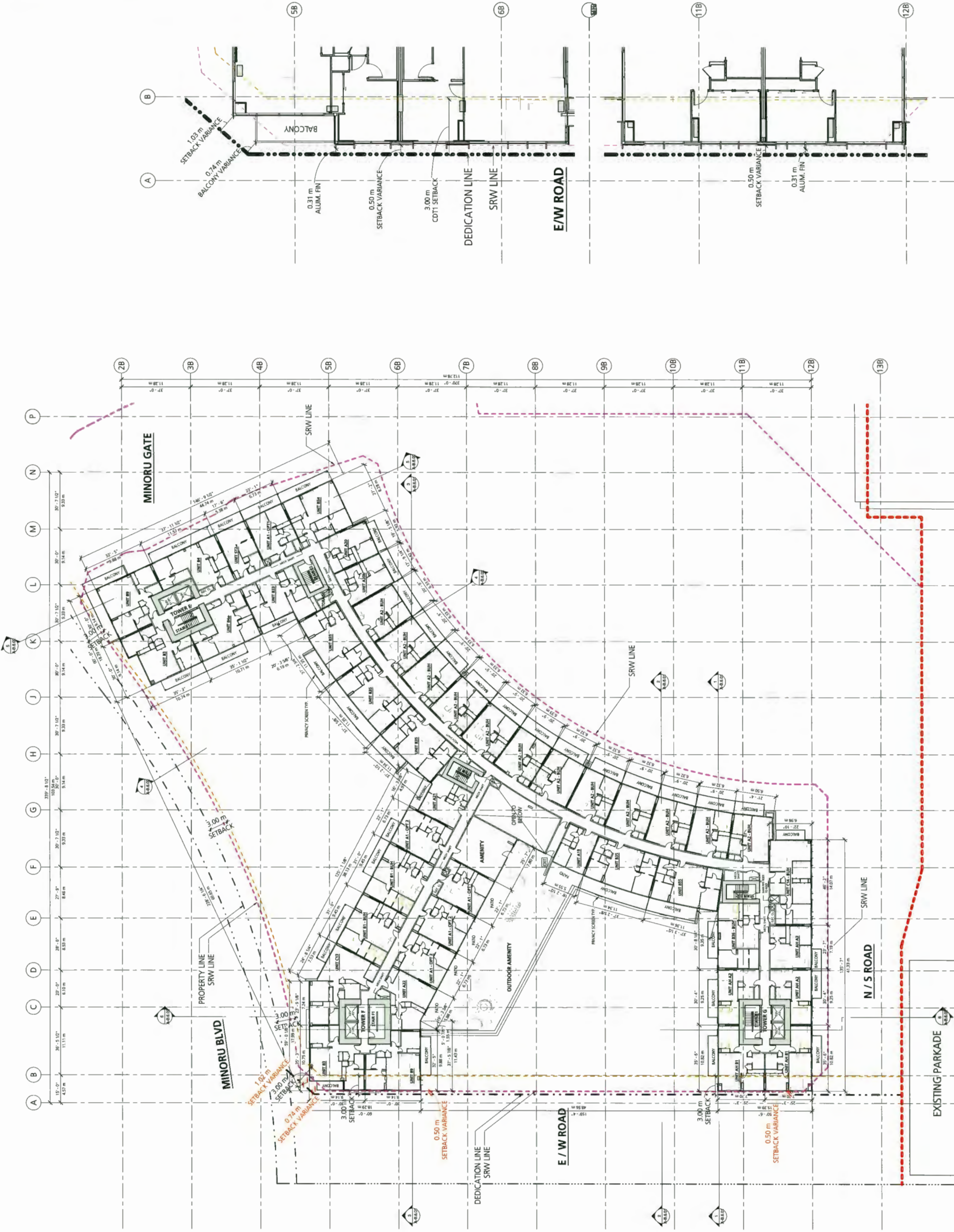
RICHMOND CENTRE  
PHASE 1

PHASE 1

1B - LEVEL 4

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SCALE	As Shown
JOB NUMBER	1686-87

A-B.4.06

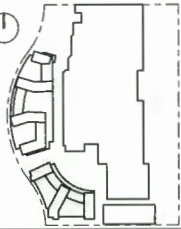






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NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 4c-7



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	Site Plan Application	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	Program for Pricing	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Program for City Review	
8	2019-05-03	DP Panel Submission	

RICHMOND CENTRE  
PHASE 1

PHASE 1

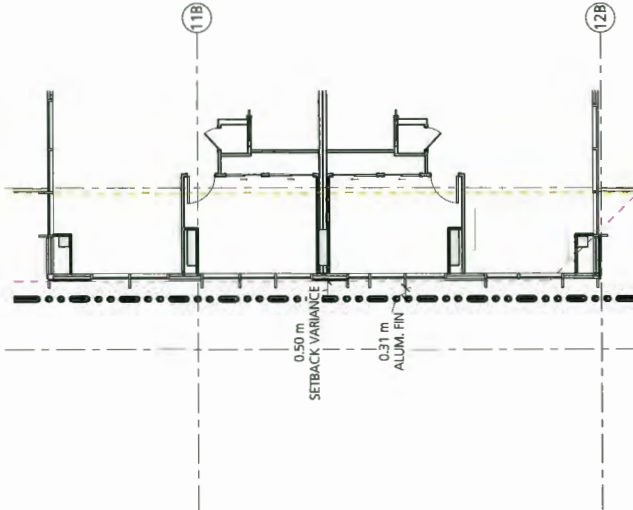
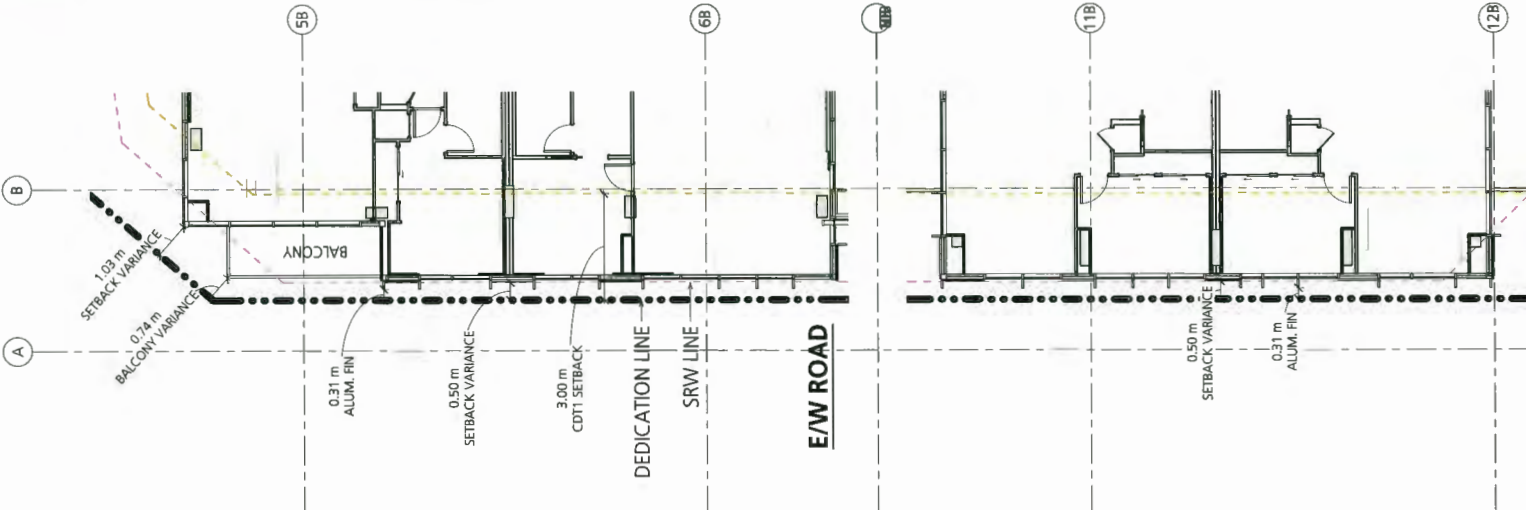
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JOB NUMBER: 1686-87

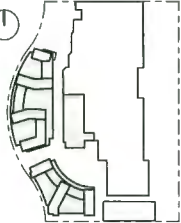
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E/W ROAD VARIANCE DETAIL - L5  
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DP 17-768248  
MAY 29, 2019  
PLAN # 4c-8



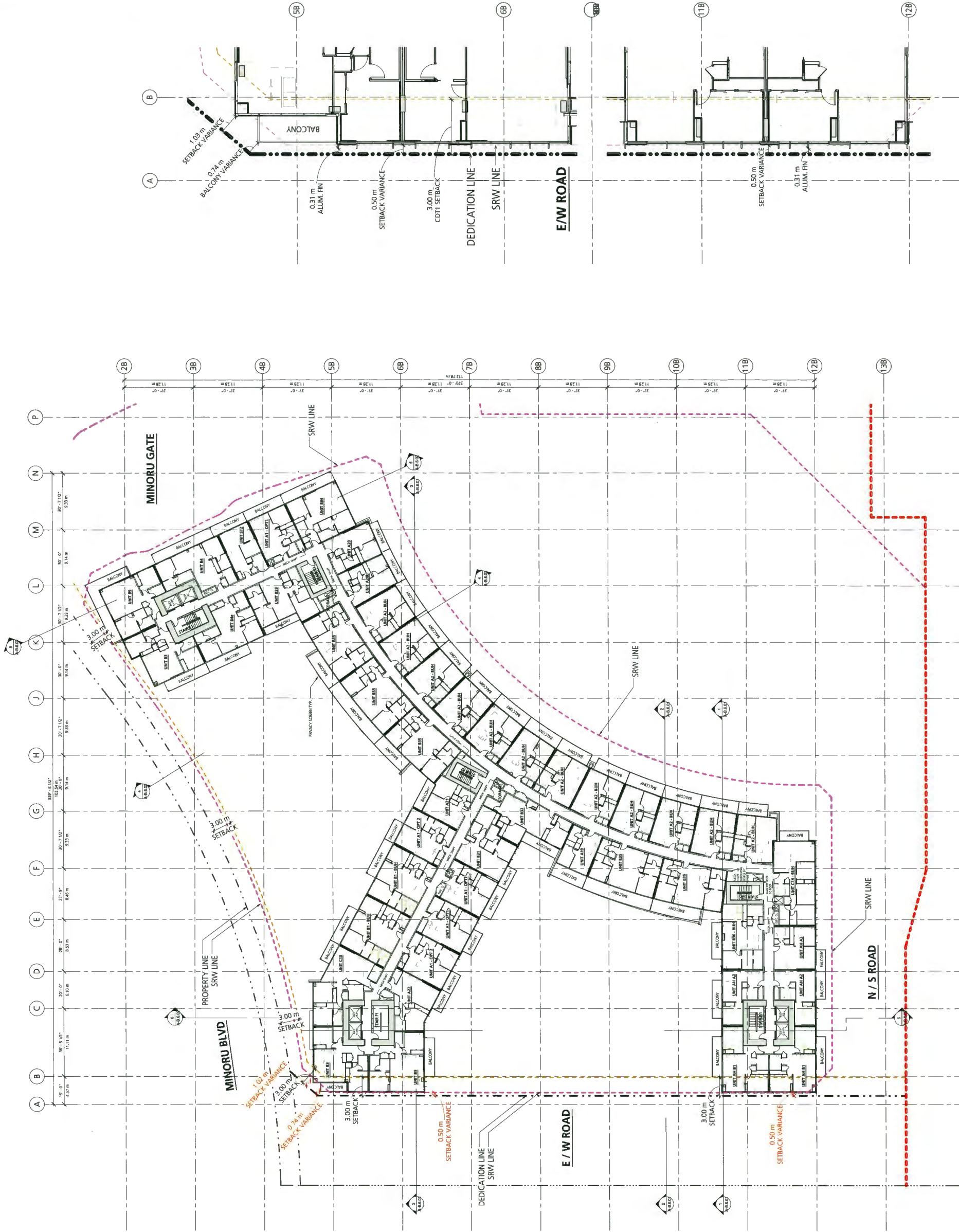
REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit	
2	2017-08-08	20% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	Progress for Pricing	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Panel Submission	

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1B - LEVEL 6-7

DATE: 5/20/2019 12:00:47 PM  
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CHECKED BY: A. Iskender  
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JOB NUMBER: 1686-87

A-B.4.08

E/W ROAD VARIANCE DETAIL - L6-7  
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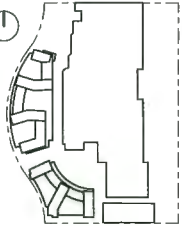






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DP 17-768248  
MAY 29, 2019  
PLAN # 4c-9



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-09-08	Application Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	Progress for Pricing
	5	2018-04-05	DP Application Rev. 2
	6	2018-08-05	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Final Submission

RICHMOND CENTRE  
PHASE 1

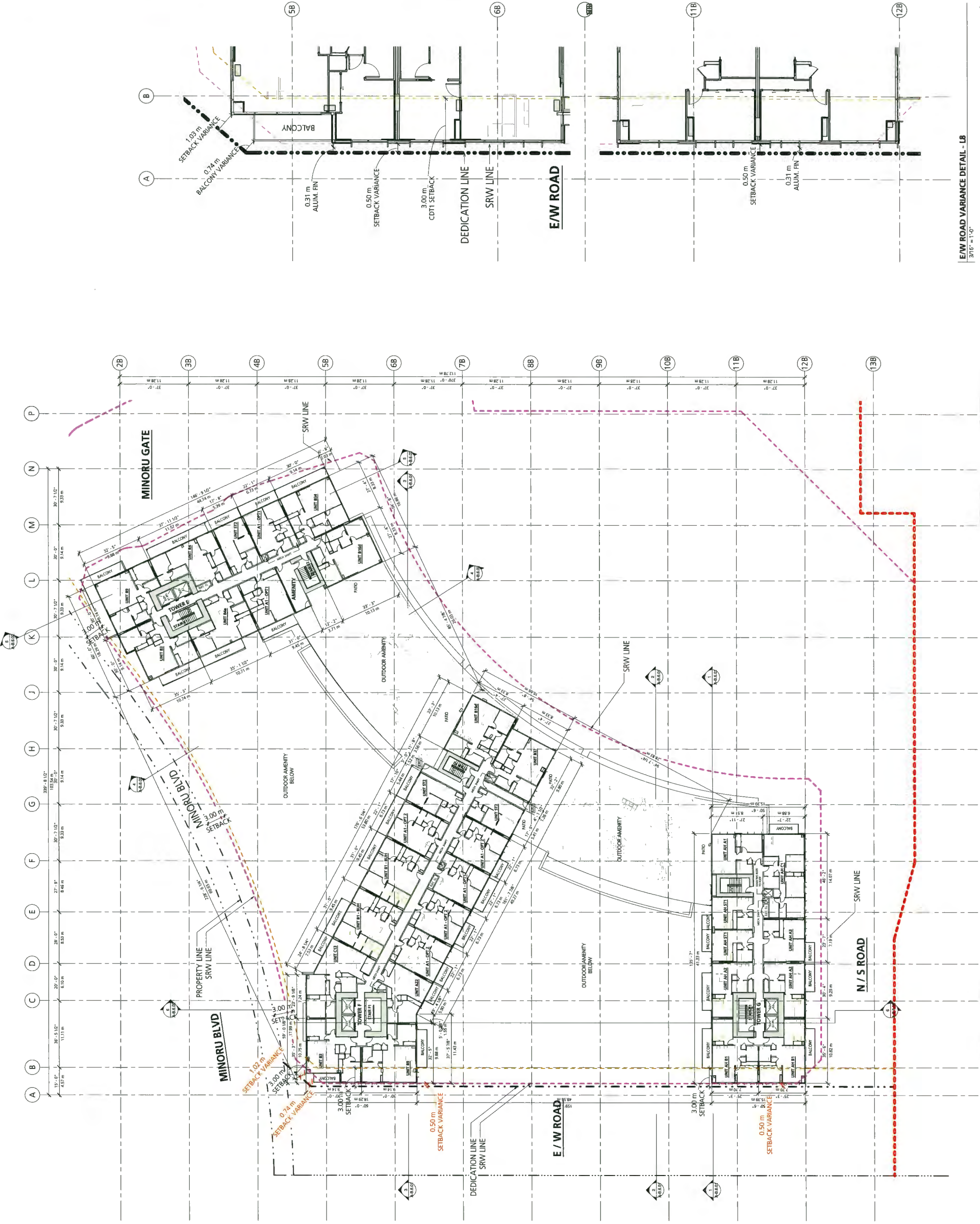
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1B - LEVEL 8

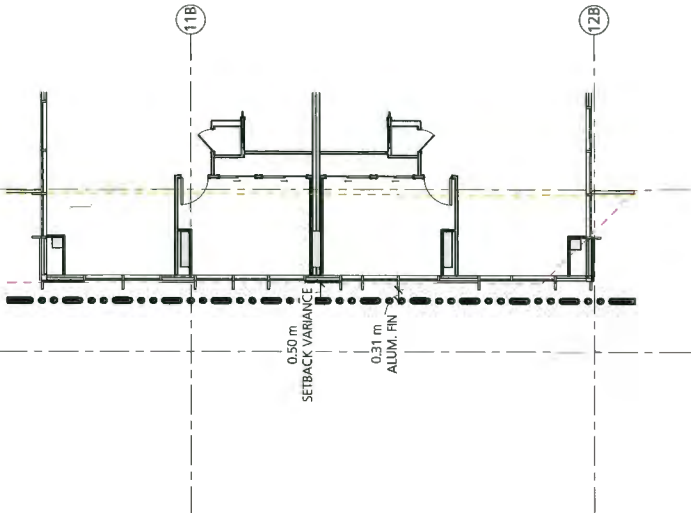
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SCALE  
JOB NUMBER

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A  
1/8"=1'-0"  
1686-87

A-B.4.09

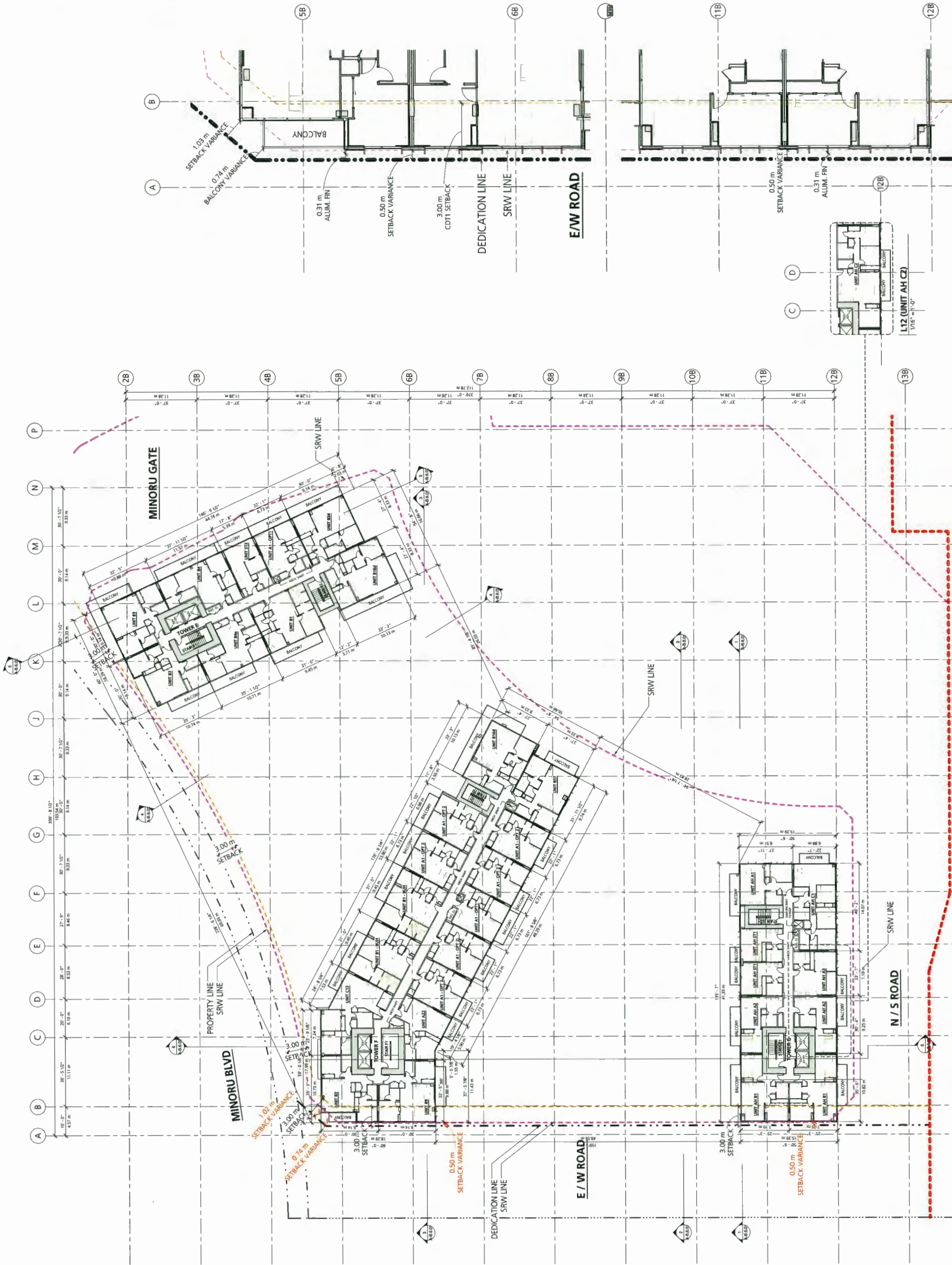


E/W ROAD VARIANCE DETAIL - L8  
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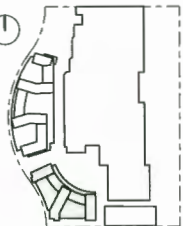




REVISIONS		Description
No.	Date	
1	2017-02-31	Development Permit Application
2	2017-06-06	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	Progress for Pricing
5	2018-05-02	DP Application Rev. 1
6	2019-03-20	DP Application Rev. 2
7	2019-04-26	Progress for City Review
8	2019-05-03	DP Application Rev. 3
		Progress for City Review
		DP Final Submission







**DP 17-768248**  
MAY 29, 2019  
**PLAN # 4C-11**



REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-06-08	30% Design Set
3	2018-03-29	30% Application Rev. 1 Progress for Pricing
4	2018-04-06	30% Application Rev. 1
5	2018-02-02	30% Application Rev. 2
6	2019-03-20	30% Application Rev. 3 Progress for City Review
7	2019-04-26	30% Application Rev. 3 Progress for City Review
8	2019-05-03	30% Panel Submission

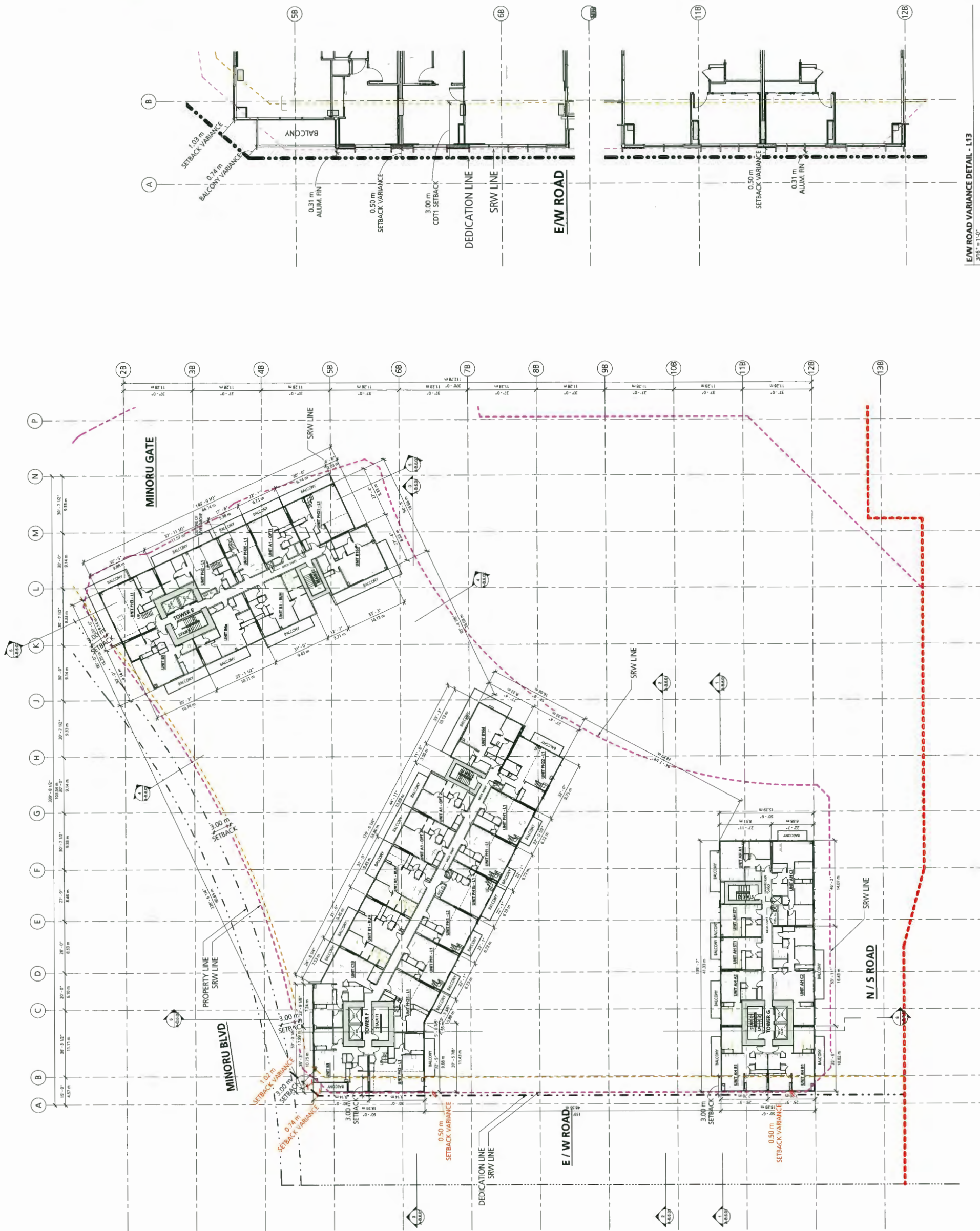
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## PHASE 1

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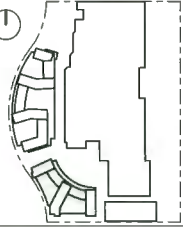
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## A-B.4.11



**E/W ROAD VARIANCE DETAIL - L13**  
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**DP 17-768248**  
MAY 29, 2019  
**PLAN # 4c-12**



REVIEWS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Picking DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review DP Application Rev. 3
	8	2019-05-03	Progress for City Review DP Panel Submission

RICHMOND CENTRE  
PHASE 1

## PHASE 1

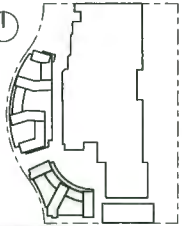
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1686-87

## A-B.4.12





DP 17-768248  
MAY 29, 2019  
PLAN # 4c-13



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 4
	9	2019-05-03	DP Panel Submission

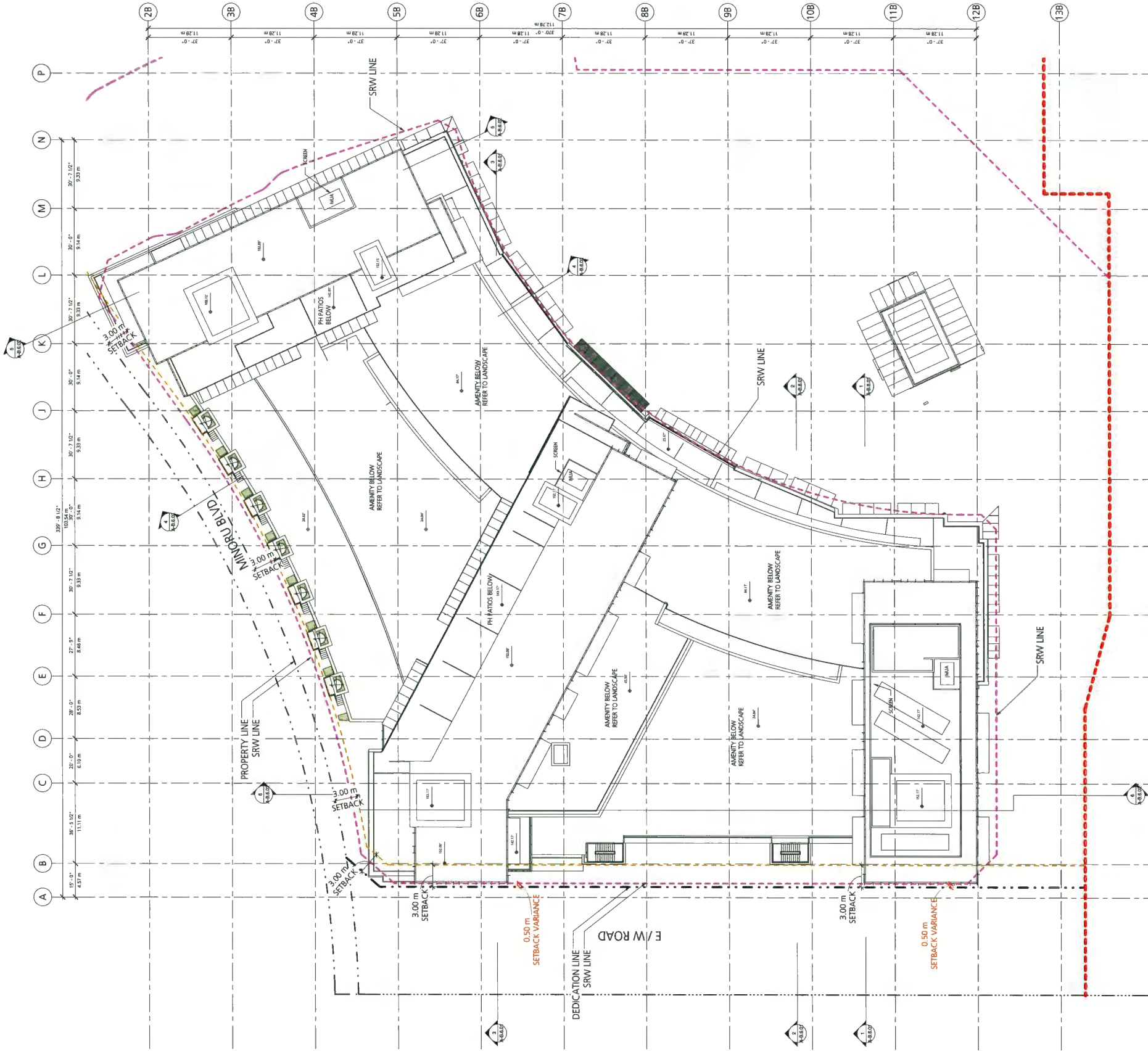
RICHMOND CENTRE  
PHASE 1

PHASE 1

1B - ROOF

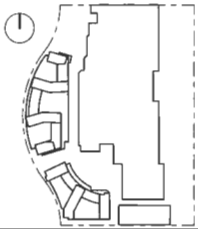
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JOB NUMBER	1686-87

A-B.4.13



ROOF  
1/8" = 1'-0"





DP 17-768248  
MAY 29, 2019  
PLAN # 4d-1



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-06-02	DP Application Rev. 1
	6	2019-03-20	DP Application Rev. 2
	7	2019-03-20	DP Application Rev. 3
	8	2019-04-26	Progress for City Review
	9	2019-05-03	DP Application Rev. 3
	10	2019-05-03	DP Panel Submission

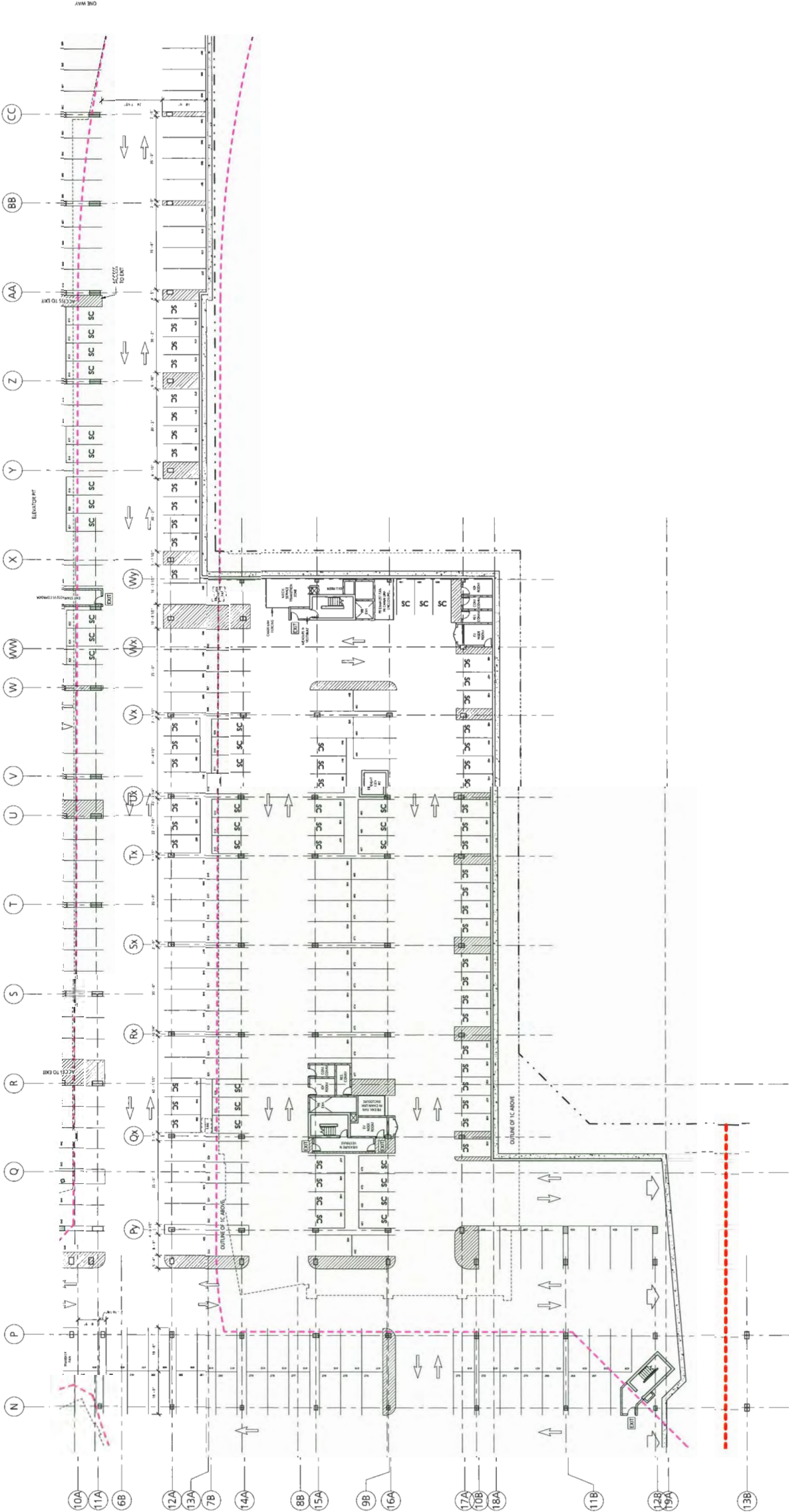
RICHMOND CENTRE  
PHASE 1

PHASE 1

1C - LEVEL PB

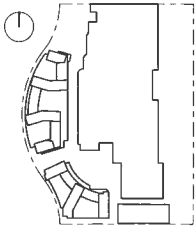
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JOB NUMBER	1686

A-C.4.01



PB  
1/8" = 1'-0"





DP 17-768248  
MAY 29, 2019  
PLAN # 4d-2

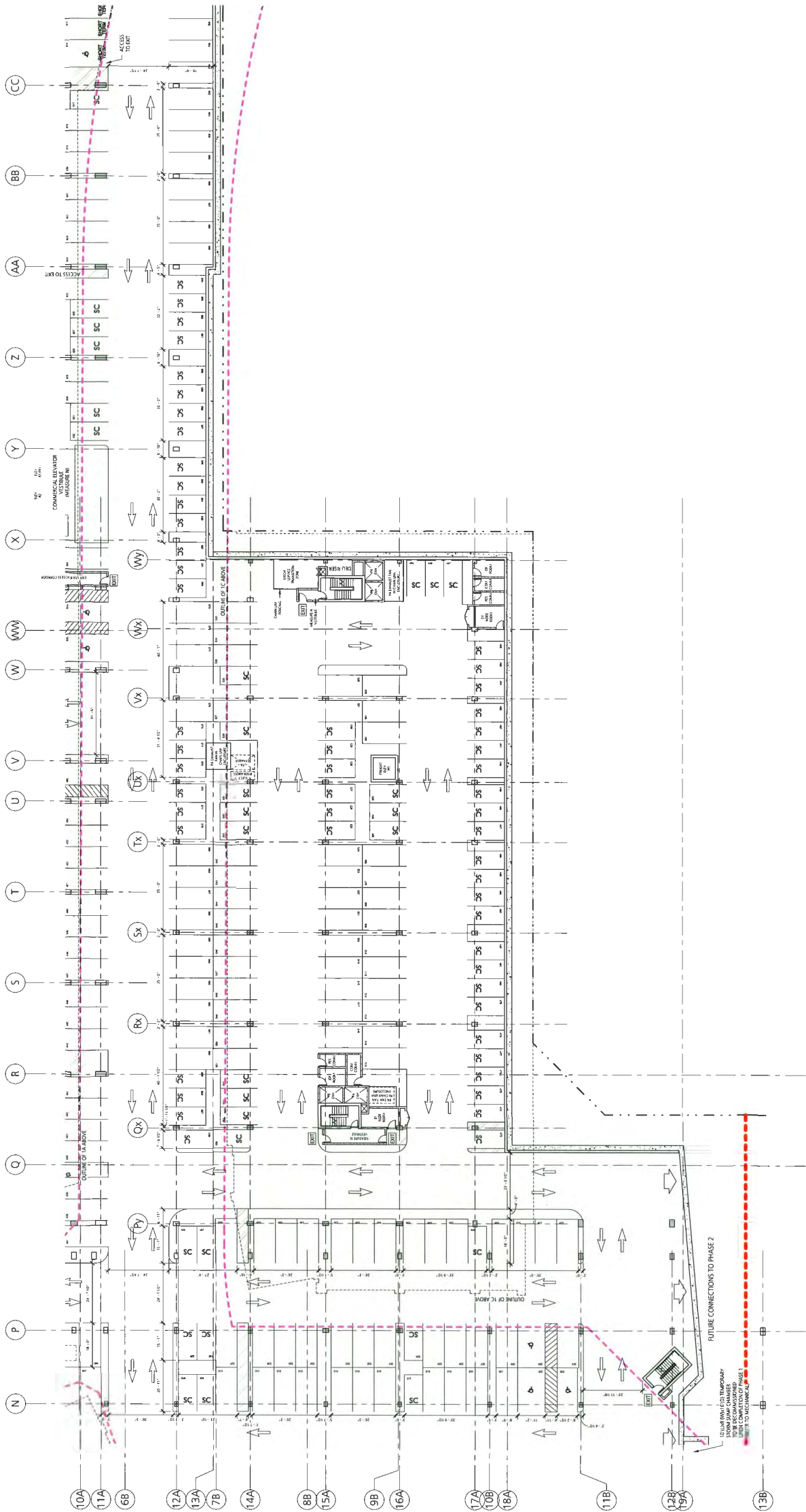


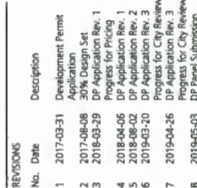
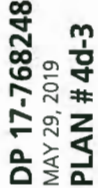
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	Progress for Pricing
	5	2018-04-05	DP Application Rev. 1
	6	2018-06-02	DP Application Rev. 2
	7	2019-04-26	DP Application Rev. 3
	8	2019-05-03	Progress for City Review
	9	2019-05-03	DP Application Rev. 4
	10	2019-05-03	DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE I  
1C - LEVEL PA

DATE: 2020-05-20 10:30 AM  
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JOB NUMBER: 1686

A-C.4.02



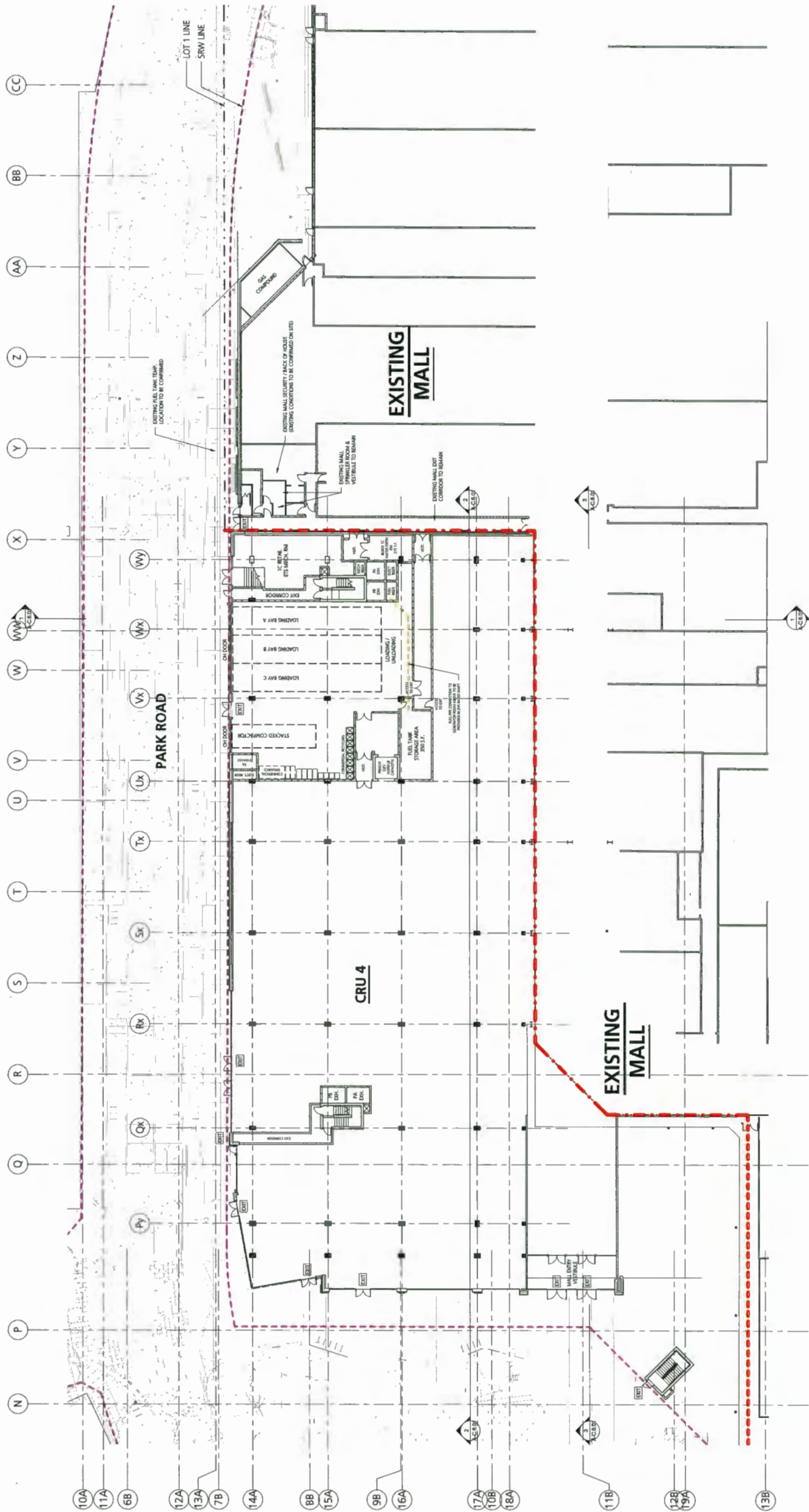
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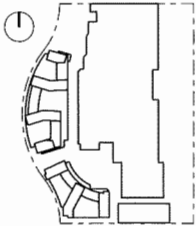
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JOB NUMBER 1686

A-C.4.03





DP 17-768248  
MAY 29, 2019  
PLAN # 4d-4



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 Design Set
3	2018-03-23 DP Application Rev. 1
4	2018-04-05 DP Application Rev. 1
5	2018-04-05 DP Application Rev. 2
6	2018-05-02 DP Application Rev. 3
7	2019-04-25 DP Application Rev. 3
8	2019-05-03 DP Permit Submission

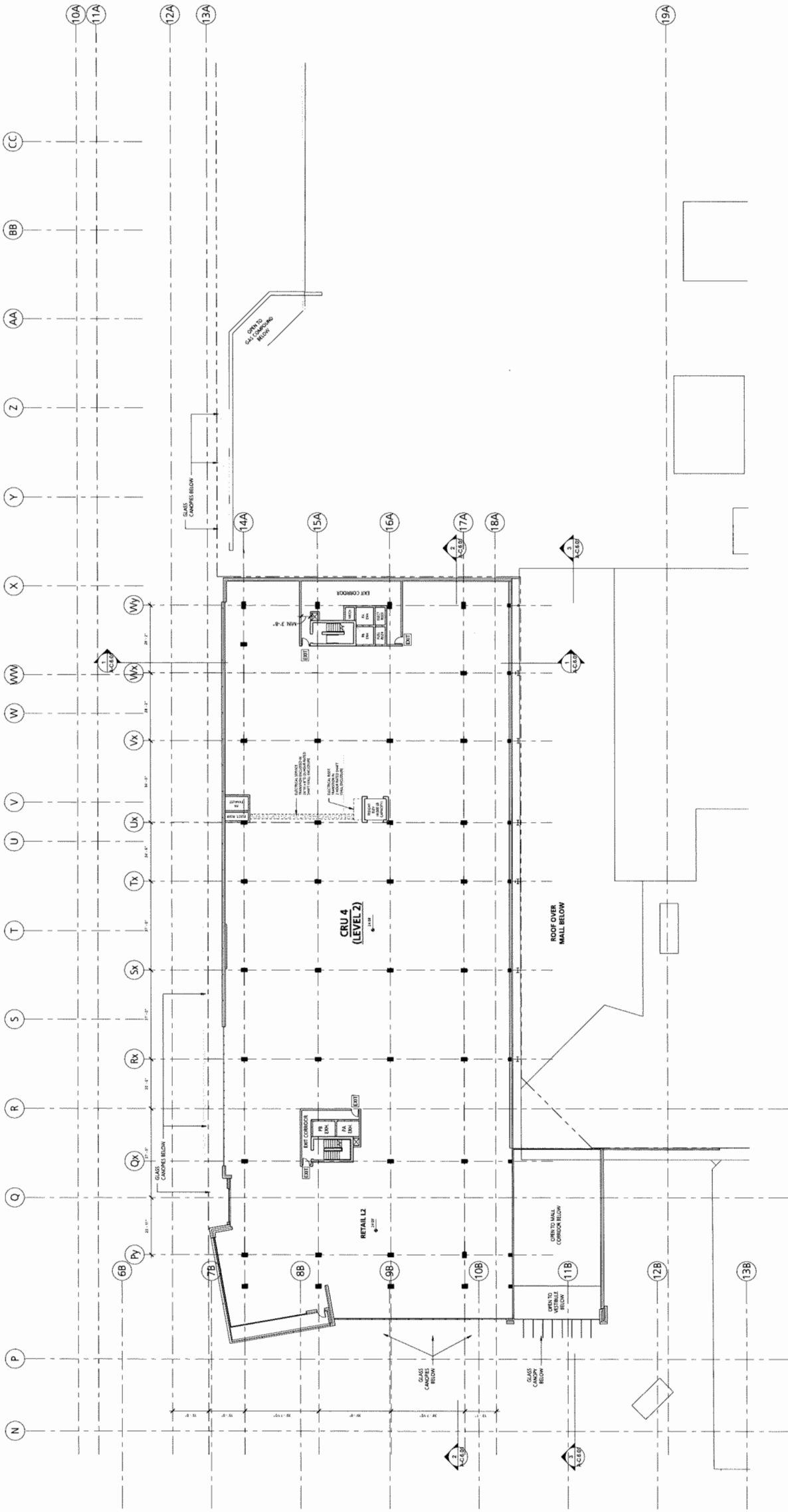
RICHMOND CENTRE  
PHASE 1

PHASE 1

1C - LEVEL 2

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A-C.4.04

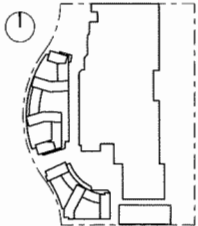






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DP 17-768248  
MAY 29, 2019  
PLAN # 4d-5



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-05-02	DP Application Rev. 2
	6	2018-05-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review DP Application Rev. 3
	8	2019-05-03	Progress for City Review DP Panel Submission

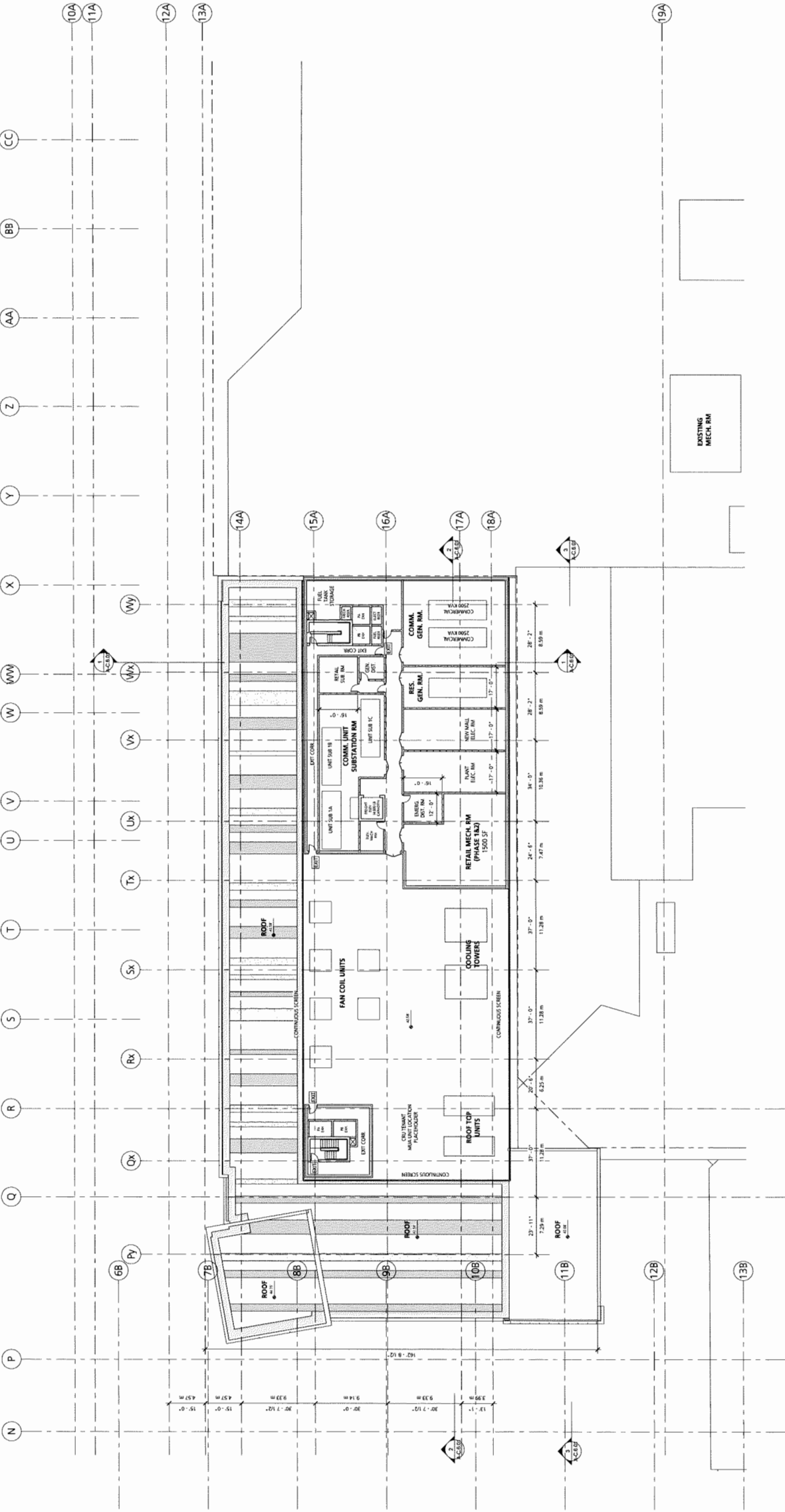
RICHMOND CENTRE  
PHASE 1

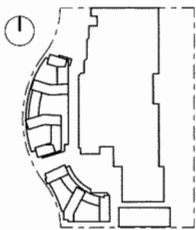
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DRAWN BY	Adrian
CHECKED BY	
SCALE	1/8" = 1'-0"
JOB NUMBER	1686

A-C.4.05





**DP 17-768248**  
MAY 29, 2019  
**PLAN # 4d-6**



REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	Progress for Pricing
5	2018-06-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	Progress for City Review
8	2019-05-03	DP Application Rev. 4
		DP Panel Submission

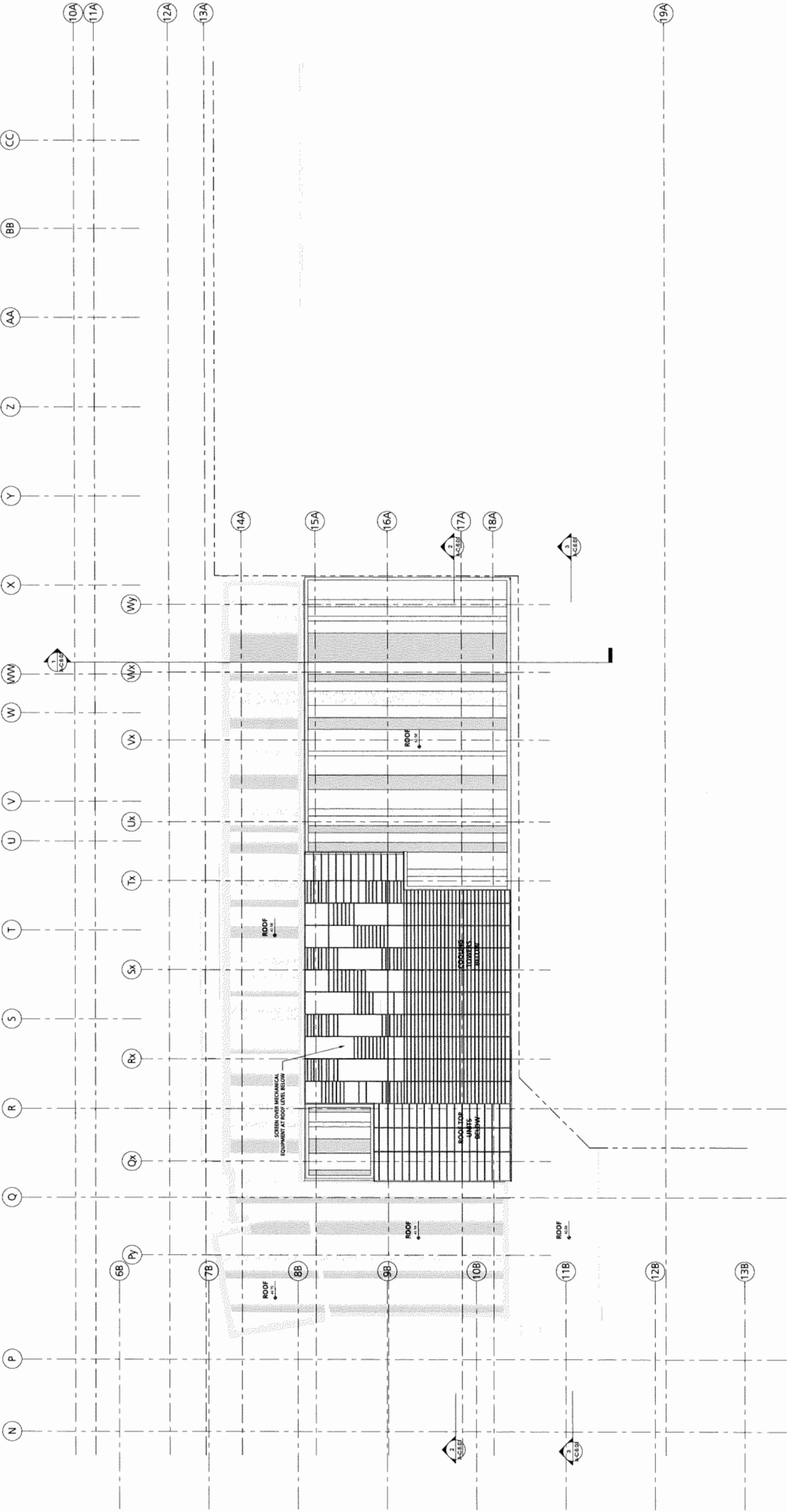
RICHMOND CENTRE  
PHASE 1

## PHASE 1

1C - MECH. ROOF

DATE 5/2/2019 7:04:36 PM  
DRAWN BY  
CHECKED BY  
SCALE 1/16" = 1'-0"  
JOB NUMBER 1686

A-C.4.06









Gabriel Mackinnon

REVISIONS			
No.	Date	Description	
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
		Progress for Pricing	
4	2018-04-05	DP Application Rev. 1 DP	
5	2018-04-05	Application Rev. 2 DP	
6	2018-08-02	Application Rev. 3	
8	2019-03-20	Progress for City Review	
7	2019-04-28	DP Application Rev.3	
		Progress for City Review	
8	2019-05-03	DP Panel Submission	

RICHMOND  
CENTRE PHASE 1

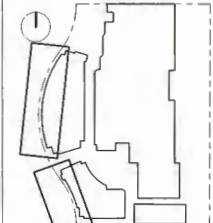
OVERALL LANDSCAPE  
PLAN - PHASE 1

DATE	05/07/19
DRAWN BY	DSM
CHECKED BY	JMK
SCALE	
JOB NUMBER	1686-87



Richmond Centre Site Plan - Phase I





Gabriel Mackinnon

REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-08	30% Design Set
	3	2018-03-28	DP Application Rev. 1
	4	2018-04-08	Progress for Pricing
	5	2018-06-02	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3
	7	2018-04-26	Progress for City Review
	8	2018-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLAN - MINORU BLVD  
NORTH + SOUTH

DATE	05/03/19
DRAWN BY	DMAM
CHECKED BY	JMM
SCALE	
JOB NUMBER	1886-87

DRL1.02

Minoru Boulevard - South





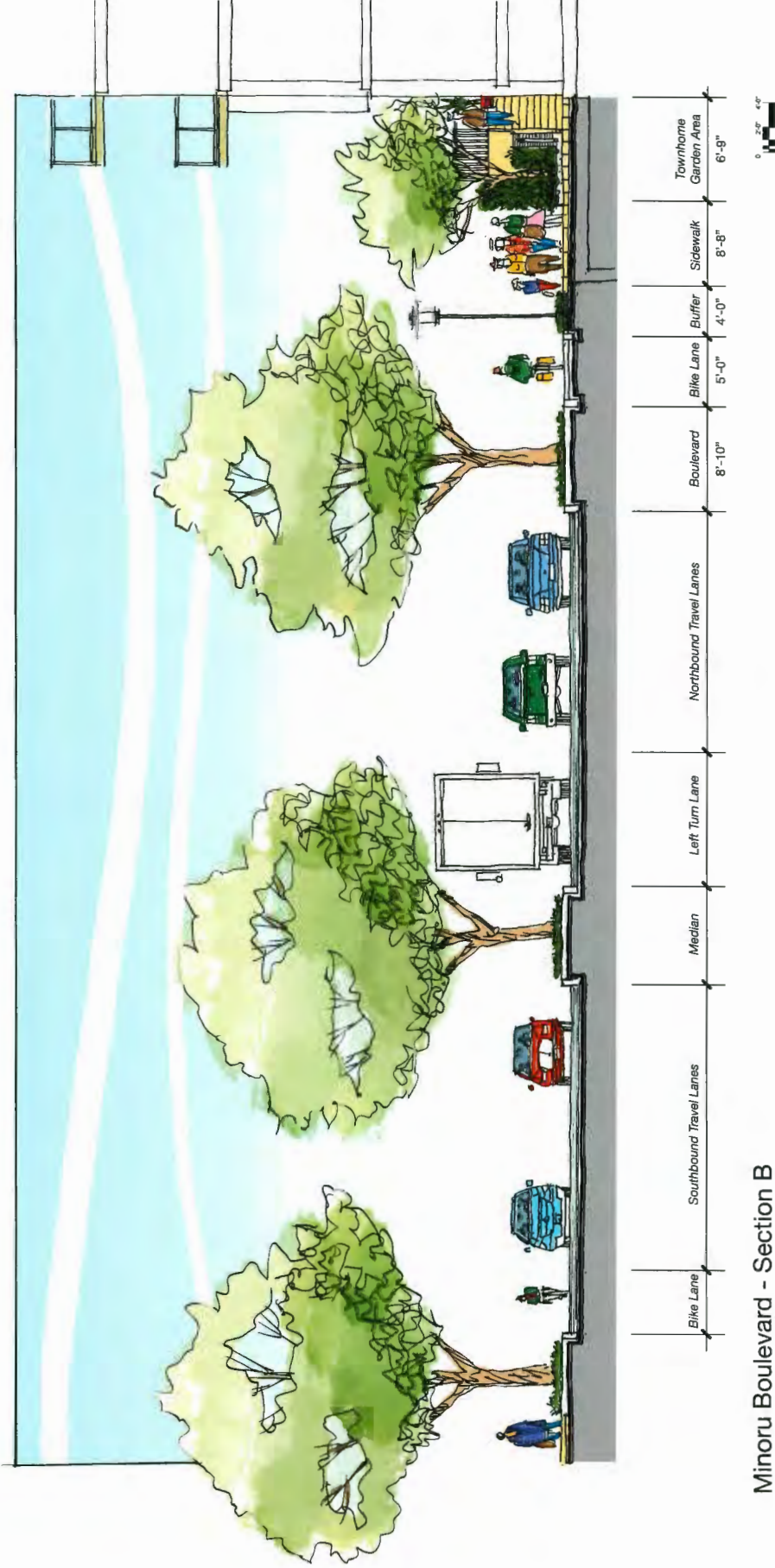


Gabriel Mackinnon

REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-28	DP Application Rev. 1 Progress for Pricing
4	2018-04-28	DP Application Rev. 2
5	2018-06-02	DP Application Rev. 2
6	2018-03-20	DP Application Rev. 3 Progress for City Review
7	2018-04-26	DP Application Rev. 3 Progress for City Review
8	2018-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

SECTIONS - MINORU BLVD
DATE: 05/03/19
DRAWN BY: JMK
CHECKED BY: JMK
SCALE:
JOB NUMBER: 1688-87







Gabriel Mackinnon

REVISIONS	No.	Date	Description
1	2017-03-31	2017-03-31	Pre-Design Permit Application
2	2017-03-28	2017-03-28	30% Design Set
3	2018-03-29	2018-03-29	DP Application Rev. 1
4	2018-04-06	2018-04-06	DP Application Rev. 1
5	2018-08-02	2018-08-02	DP Application Rev. 2
6	2018-05-20	2018-05-20	DP Application Rev. 3
7	2018-04-26	2018-04-26	DP Application Rev. 3
8	2018-05-03	2018-05-03	DP Application Rev. 3

RICHMOND  
CENTRE PHASE 1

ENLARGED PLANS  
RESIDENTIAL TOWER  
LOBBY ENTRIES

DATE: 05/29/19  
DRAWN BY: GABRIEL MACKINNON  
CHECKED BY: JEFFREY MACKINNON  
SCALE: AS SHOWN  
JOB NUMBER: 16886-87



Residential Tower A



Residential Tower C



Residential Tower B



Residential Tower D





Gabriel Mackinnon

REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-28	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review
7	2019-04-26	DP Application Rev. 3 Progress for City Review
8	2019-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

ENLARGED PLANS -  
RESIDENTIAL TOWER  
LOBBY ENTRIES

DATE	05/29/19
DESIGNED BY	JBW
CHECKED BY	JBW
SCALE	
JOB NUMBER	1686-87

DRL1.05



Residential Tower E



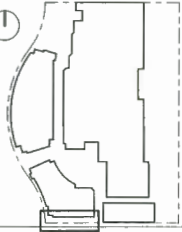
Residential Tower F



Residential Tower G







Gabriel Mackinnon

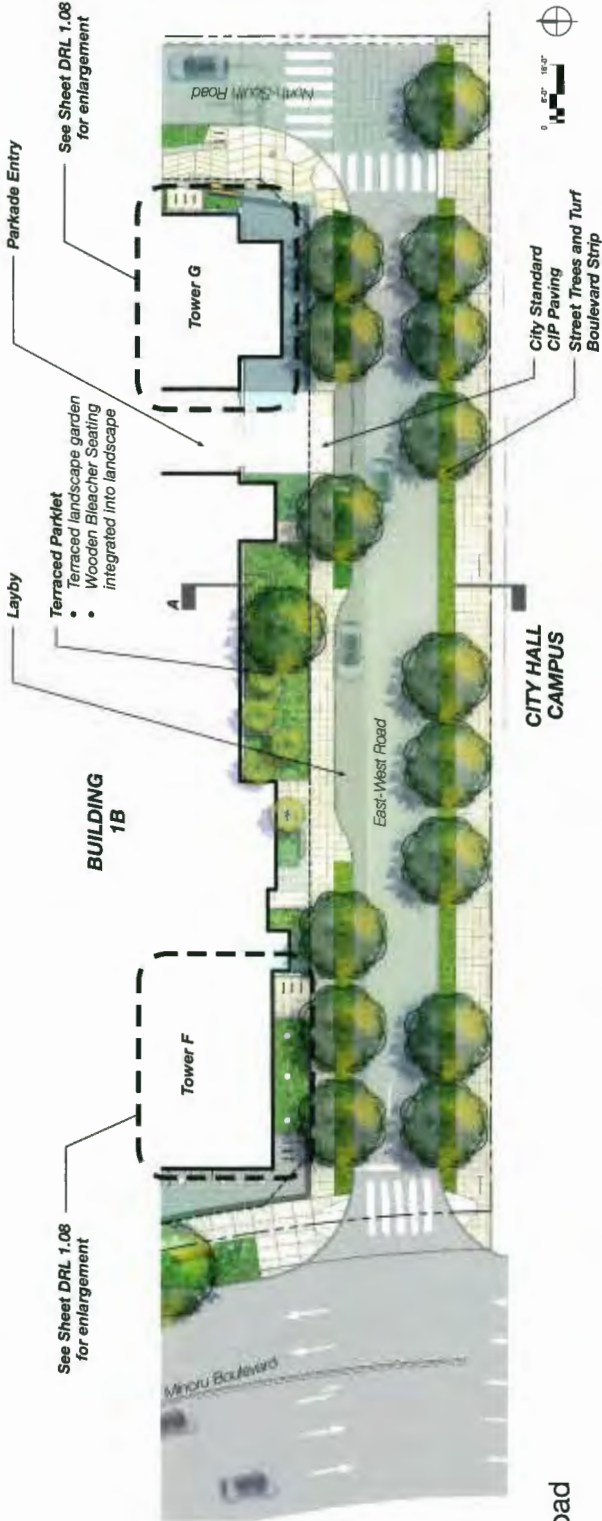
REVISIONS	
No.	Date
1	2017-02-21
2	2017-09-08
3	2018-02-28
4	2018-04-08
5	2018-08-02
6	2018-02-28
7	2018-04-28
8	2019-05-03

DESCRIPTION	
1	Development Permit Application
2	20% Design Set
3	DP Application Rev. 1
4	Progress for Pre-Design
5	DP Application Rev. 2
6	DP Application Rev. 3
7	Progress for City Review
8	DP Application Rev. 3
9	Progress for City Review
10	DP Permit Submission

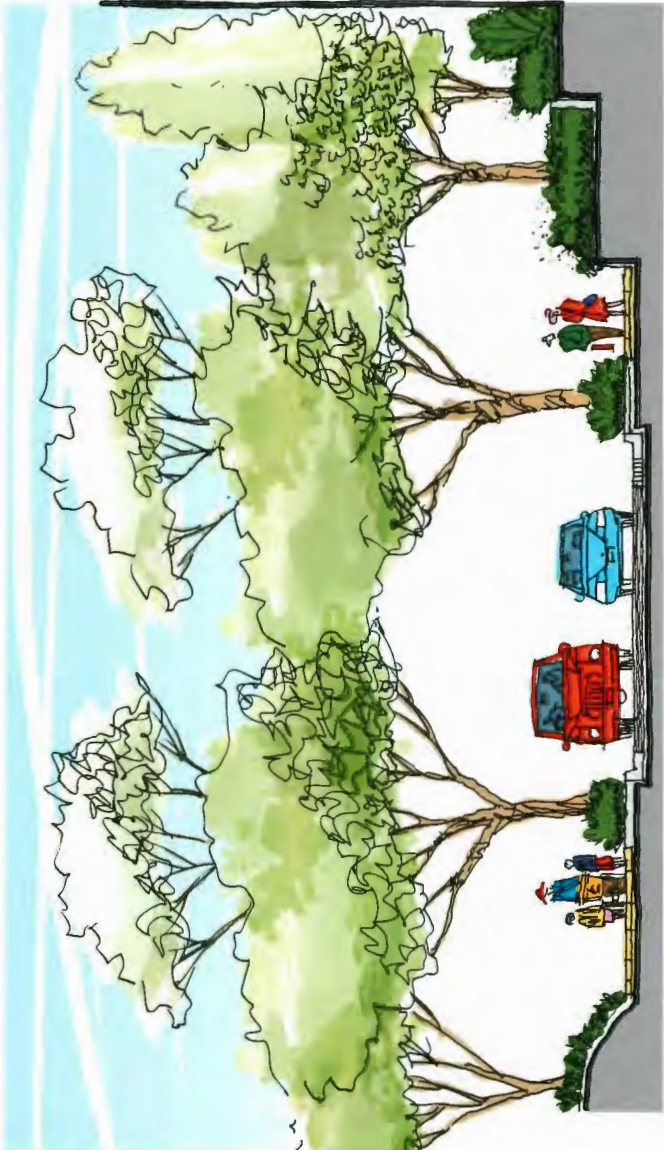
RICHMOND  
CENTRE PHASE 1

PLAN + SECTION -  
EAST-WEST ROAD

DATE: 05/03/19  
DRAWN BY: DMM  
CHECKED BY: JMM  
SCALE: 1"=40'  
JOB NUMBER: 1686-87



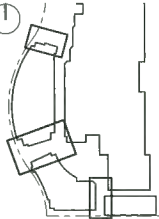
East-West Road



East-West Road - Section A







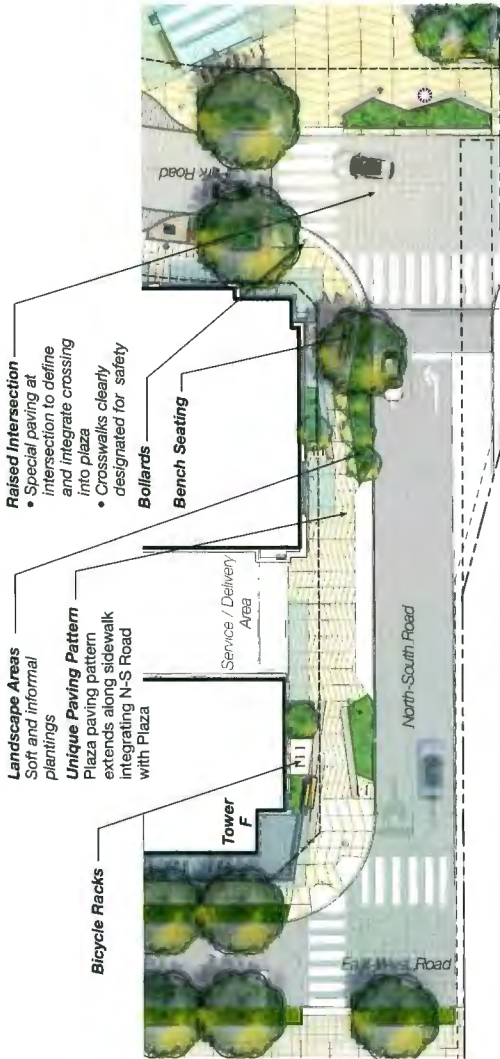
REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-06-08 30% Design Set
3	2018-02-29 DP Application Rev. 1
4	2018-04-06 DP Application Rev. 1
5	2018-05-02 DP Application Rev. 2
6	2018-05-30 DP Application Rev. 3
7	2019-04-26 DP Application Rev. 3
8	2019-05-03 DP Panel Submission



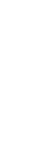
Murdoch Road



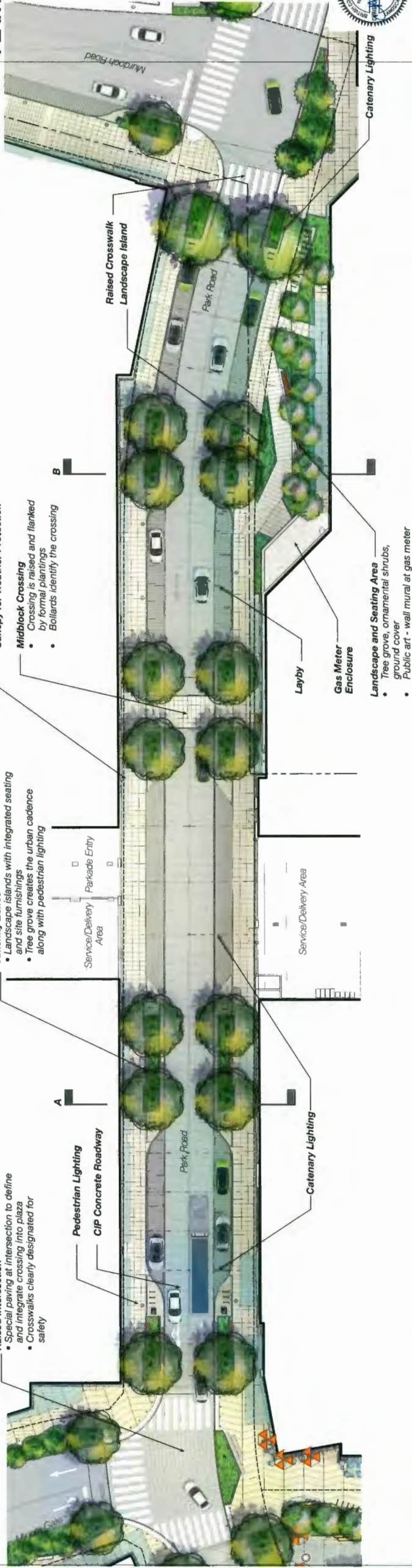
Minoru Gate



North-South Road







Park Road



**Gabriel Mackinnon**

REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Paving
4	2018-04-06	DP Application Rev. 1 Progress for Paving
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review
7	2018-04-26	DP Application Rev. 3 Progress for City Review
8	2019-05-03	DP Permit Submission

**RICHMOND  
CENTRE PHASE 1**

PLAN - PARK ROAD

DATE \_\_\_\_\_

DRAWN BY  
CHECKED BY

SCALE

1686-87

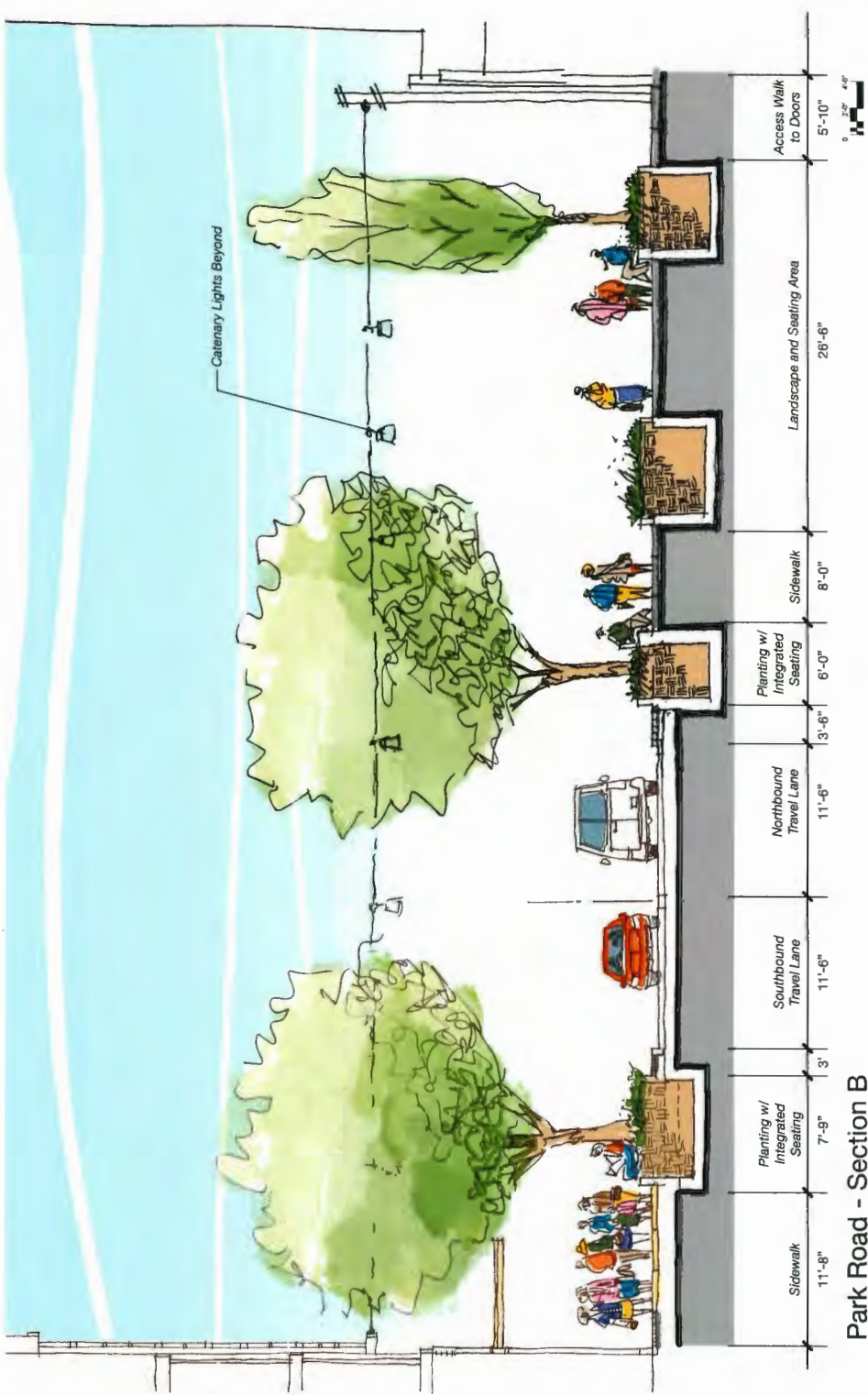
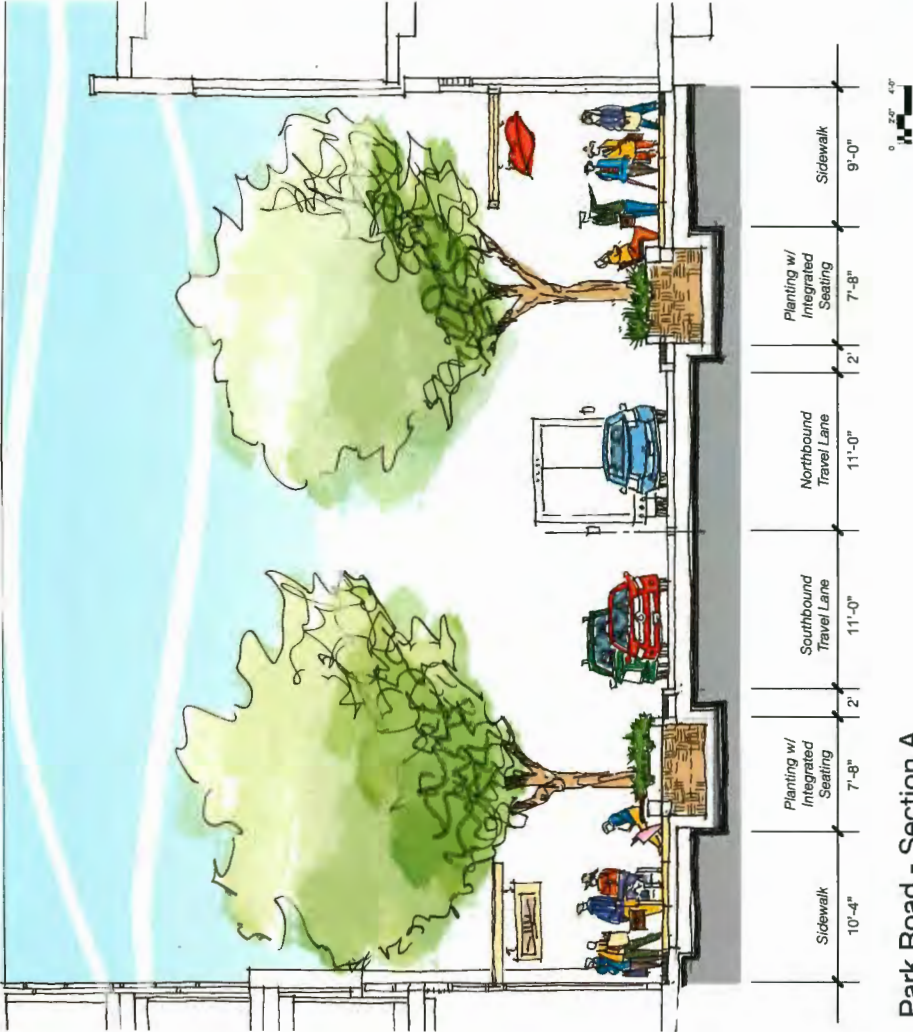


Gabriel Mackinnon

REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-06	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 2
	5	2018-06-02	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3 Progress for City Review
	7	2018-04-28	DP Application Rev. 3 Progress for City Review
	8	2018-05-03	DP Permit Submission

RICHMOND  
CENTRE PHASE 1

SECTIONS - PARK ROAD	
DATE	06/03/19
DRAWN BY	DAVID
CHECKED BY	JAM
SCALE	
JOB NUMBER	1686-87







Gabriel Mackinnon

REVISIONS		
No.	Date	Description
1	2017-02-31	Development Permit Application
2	2017-02-08	30% Design Set
3	2018-02-29	DP Application Rev. 1
4	2018-04-06	Progress for Pricing
5	2018-04-02	DP Application Rev. 1 DP
6	2018-02-20	Application Rev. 2 DP Application Rev. 3
7	2018-04-28	DP Application Rev.3
8	2019-05-03	Progress for City Review DP Panel Submission

**RICHMOND  
CENTRE PHASE 1**

PLAN - PARK PLAZA

DATE	06/03/19
DRAWN BY	DBAM
CHECKED BY	JBMK

JOB NUMBER 1686-87

DRL1.10













## ART PLAN

- WATER FEATURE:**
1. ALL WATER FEATURE EQUIPMENT TO BE INSTALLED BY WATER FEATURE INSTALLER.
  2. WATER SUPPLY TO BE PROVIDED BY MECHANICAL CONTRACTOR IN COORDINATION WITH FOUNTAIN INSTALLER.
  3. SLEEVING FOR SUPPLY AND DRAIN LINES TO BE PROVIDED BY MECHANICAL CONTRACTOR IN COORDINATION WITH FOUNTAIN INSTALLER.
  4. POWER SUPPLY TO BE PROVIDED BY ELECTRICAL CONTRACTOR IN COORDINATION WITH FOUNTAIN INSTALLER.

**1. ALL WATER FEATURE EQUIPMENT TO BE INSTALLED BY WATER FEATURE INSTALLER.**

1. PUMP AND ASSOCIATED EQUIPMENT TO BE LOCATED WITHIN THE GARAGE BELOW - IN PROXIMITY TO THE WATER FEATURES. LOCATIONS TO BE COORDINATED WITH ARCHITECTURE.
2. SLEEVING FOR SUPPLY AND DRAIN LINES TO BE PROVIDED BY MECHANICAL CONTRACTOR IN COORDINATION WITH FOUNTAIN INSTALLER.
3. POWER SUPPLY TO BE PROVIDED BY ELECTRICAL CONTRACTOR IN COORDINATION WITH FOUNTAIN INSTALLER.

## ART PLAN

REFER TO PUBLIC ART PLAN FOR THE FULL PUBLIC ART STRATEGY AND OPPORTUNITIES FOR PHASE 1. A SEQUENCE OR SERIES OF RELATED ARTWORKS ARE SITUATED AT PRIME SITE LOCATIONS:

1. LOCATIONS THROUGHOUT THE PUBLIC REALM, THE PUBLIC ART OPPORTUNITY WEAVES:



















- [illegible]

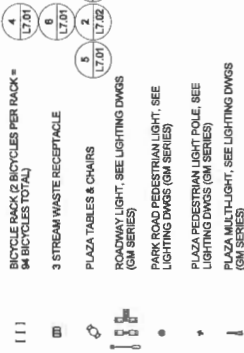
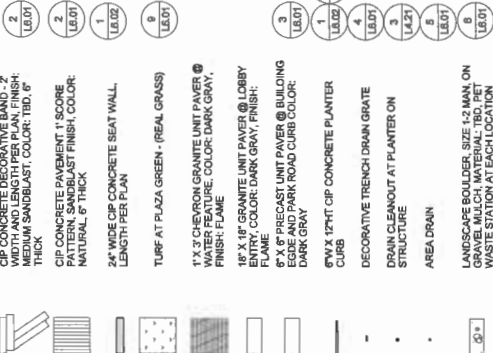
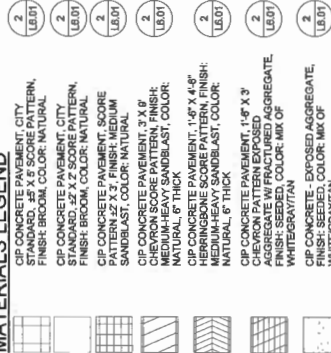
1. OWNER WILL MANAGE AND MAINTAIN THE MOVABLE SEATING.
2. WEATHER PERMITTING, THE MOVABLE SEATING WILL BE AVAILABLE YEAR ROUND.
3. THIS TYPE OF SEATING WILL BE EASY TO SWIFT AND ADJUST IN PLACE, LOCKED OR SECURED TO THE PLAZA SURFACE.
4. THE SEATING WILL BE EASY TO MOVE, RELAY, AND DISMOUNT, AROUND THE PLAZA TO MONITOR IT 24 HOURS A DAY, TO DISCOURAGE THEFT.
5. MOVABLE TABLES AND CHAIRS WILL BE SECURED TOGETHER WITH TABLES AND CHAIRS WILL BE STORED INSIDE THE MALL NEAR THE WC AREA AT PHASE 2. FOR PHASE 1, IT WILL BE IN A TEMPORARY STORAGE AREA AT PHASE 1. ON CHART IT WILL BE PLACED IN THE PA STORAGE AREA.

## MATERIALS LEGEND

- [illegible]

## SITE FURNISHINGS

- |   |   |            |
|---|---|------------|
|  | BENCH TYPE 1 - W/ BACK TYPE 1B W/ OUT BACK  | 1<br>17.91 |
|  | BENCH TYPE 2  | 1<br>16.92 |
|  | BENCH TYPE 3 - 10' LENGTH   | 2<br>17.91 |
|  | BENCH TYPE 4 - BLEACHER SEATING, LENGTH VARIES  | 1<br>16.93 |
|  | BENCH TYPE 5 - PLATFORM SEATING   | 2<br>16.03 |
|  | BENCH TYPE 6 - HEAVY TIMBER AT RESIDENTIAL LOBBIES  | 4<br>17.91 |
|  | BICYCLE RACK 62 BICYCLES PER RACK = 94 BICYCLES TOTAL                                     | 6<br>17.91 |
|  | 3 STREAM WASTE RECEPTACLE   | 5<br>17.91 |
|  | PLAZA TABLES & CHAIRS   | 17.92      |
|  | ROADWAY LIGHT, SEE LIGHTING DWGS (QM SERIES)  |            |
|  | PARK ROAD PEDESTRIAN LIGHT, SEE LIGHTING DWGS (QM SERIES)                                 |            |
|  | PLAZA PEDESTRIAN LIGHT POLE, SEE LIGHTING DWGS (QM SERIES)                                |            |
|  | PLAZA MULTI-LIGHT, SEE LIGHTING DWGS (QM SERIES)  |            |
|  | BOLLARD   |            |
|  | BOLLARD W/ LED LIGHT, SEE LIGHTING DWGS (QM SERIES)                                       |            |
|  | CATENARY LIGHTS, SEE LIGHTING DWGS (QM SERIES)  |            |
|  | TREE UPLIGHT, 2 PER TREE WHERE INDICATED ON PLAN, SEE LIGHTING DWGS - REFER TO NOTE ABOVE |            |
|  | ANT INSTALLATION LOCATION   |            |



**RICHMOND  
CENTRE PHASE 1**

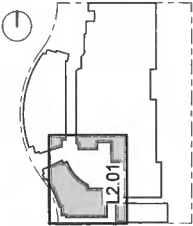
# MATERIALS PLAN - LEVEL 1 - PHASE I

DATE \_\_\_\_\_ JOB NUMBER \_\_\_\_\_  
DRAWN BY \_\_\_\_\_  
CHECKED BY \_\_\_\_\_  
SCALE \_\_\_\_\_  
000319  
08  
JUNK  
As Indicated  
1686-87

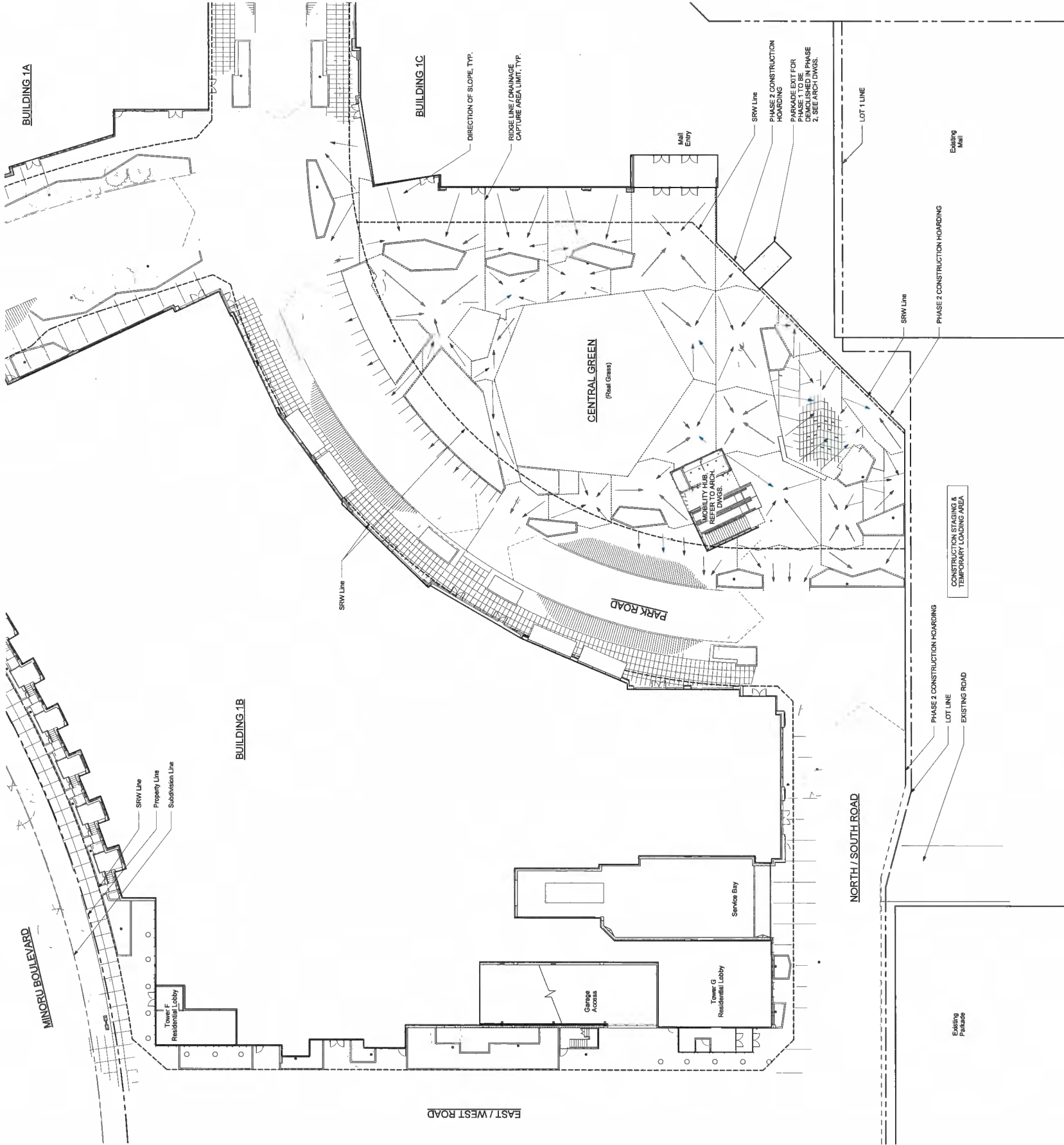
1 LEVEL 01 MATERIALS PLAN - PLAZA - PHASE I  
1/4" = 1'-0"

 $\oplus$ 

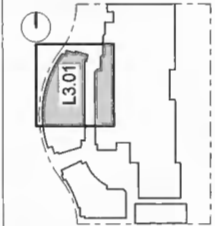
## L1.03



REVISIONS	No.	Date	Description
1	2017-03-31	2017-03-31	2017-03-31
2	2017-06-08	2017-06-08	2017-06-08
3	2018-03-29	2018-03-29	2018-03-29
4	2018-04-06	2018-04-06	2018-04-06
5	2018-06-02	2018-06-02	2018-06-02
6	2018-05-20	2018-05-20	2018-05-20
7	2018-04-26	2018-04-26	2018-04-26
8	2018-05-03	2018-05-03	2018-05-03







**DP 17-768248**

MAY 29, 2019

**PLAN #5d-01**



**Gabriel Mackinnon**

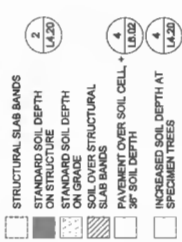
REVISIONS	
No.	Date
1	2017-02-31
2	2017-09-08
3	2018-03-29
4	2018-04-06
5	2018-09-02
6	2018-03-20
7	2018-04-28
8	2018-05-03

**RICHMOND  
CENTRE PHASE 1**

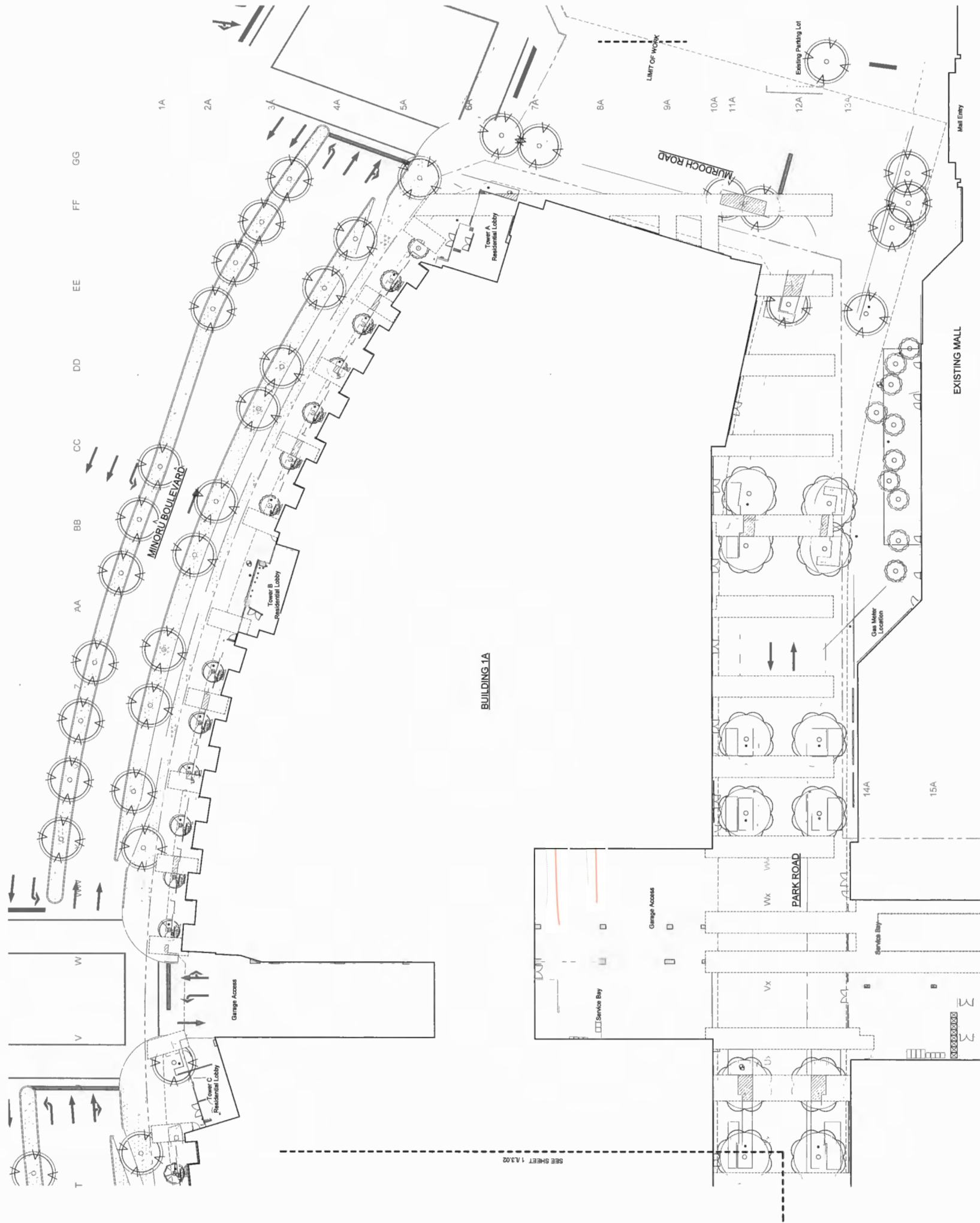
SOIL DEPTH DIAGRAM -  
LEVEL 1

DATE 06/03/19  
DRAWN BY DB  
CHECKED BY JBN/S  
SCALE 1/16" = 1'-0"  
JOB NUMBER 1686-87

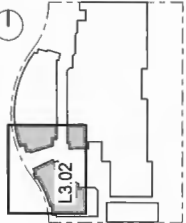
### L3.01



**NOTE:**  
1. AVERAGE SOIL DEPTH 3'-6" UNLESS OTHERWISE NOTED  
2. COORDINATE SIZE, DEPTH, AND EXTENT OF TREE PLANTING WELLS WITH STRUCTURAL ENGINEER. ENSURE TREES WILL HAVE SUFFICIENT SOIL VOLUMES TO PROMOTE HEALTHY GROWTH.







Gabriel Mackinnon

No.	Date	Description
1	2017-05-31	Development Permit
2	2017-05-31	30% Design Set
3	2018-02-28	DP Application Rev. 1
4	2018-04-08	DP Application Rev. 2
5	2018-05-02	DP Application Rev. 3
6	2018-05-20	Progress for City Review
7	2019-04-26	DP Application Rev.3
8	2019-05-03	DP Final Submission

RICHMOND  
CENTRE PHASE 1

SOIL DEPTH DIAGRAM -  
LEVEL 1

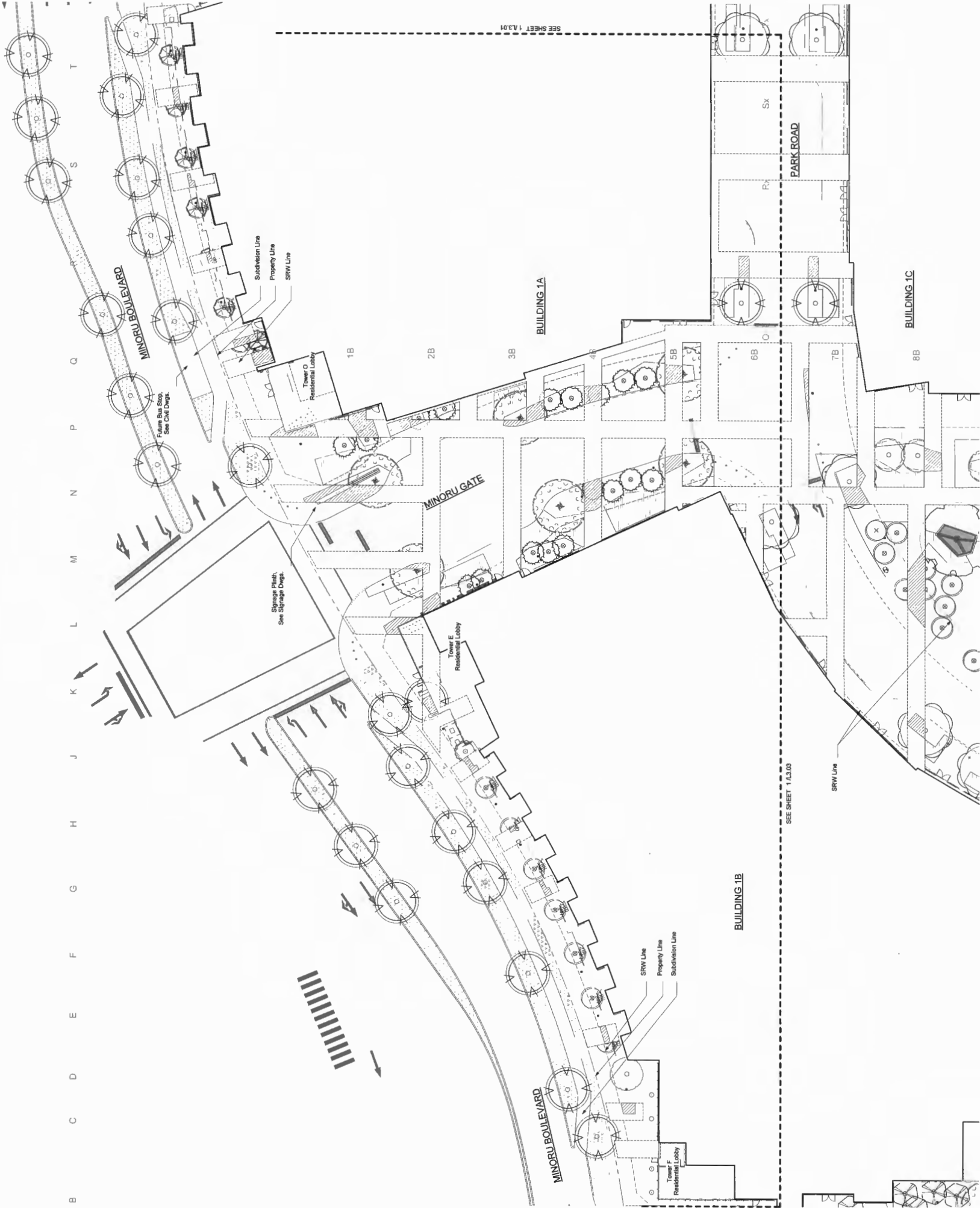
DATE	05/03/19
DRAWN BY	GB
CHECKED BY	GB
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87

L3.02

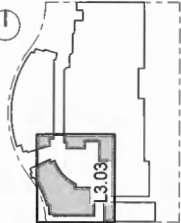
SOIL DEPTH DIAGRAM LEGEND

- STRUCTURAL SLAB BANDS
- STANDARD SOIL DEPTH ON STRUCTURE
- STANDARD SOIL DEPTH ON GRADE
- SOIL OVER STRUCTURAL SLAB BANDS
- PAVEMENT OVER SOIL CELL, 3" SOIL DEPTH
- INCREASED SOIL DEPTH AT SPECIMEN TREES

NOTE:  
1. MINIMUM SOIL DEPTH 3'-6" UNLESS OTHERWISE NOTED.  
2. COORDINATE SIZE, DEPTH, AND EXTENT OF TREE PLANTING WITH LANDSCAPE ARCHITECT. TREES WILL HAVE SUFFICIENT SOIL VOLUMES TO PROMOTE HEALTHY GROWTH.



1 SOIL DEPTH DIAGRAM - LEVEL 1  
1/8" = 1'-0"



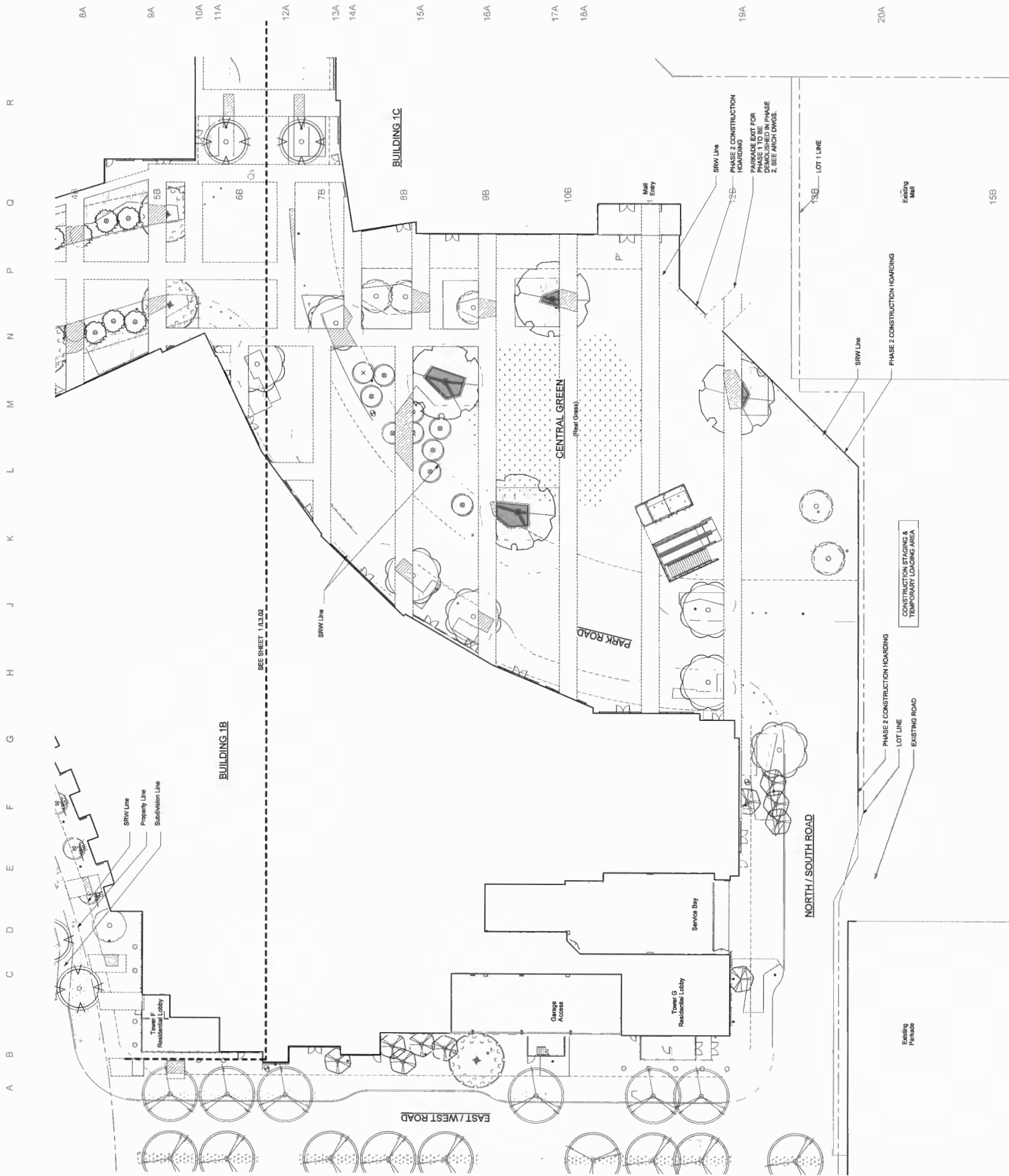
REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-06-08	35% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review
7	2019-04-26	DP Application Rev. 3 Progress for City Review
8	2019-05-03	DP Panel Submission

DATE	5/29/19
DRAWN BY	GB
CHECKED BY	GB
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87

SOIL DEPTH DIAGRAM LEGEND

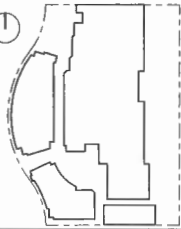
- STRUCTURAL SLAB BANDS
- STANDARD SOIL DEPTH ON STRUCTURE (1.4, 20)
- STANDARD SOIL DEPTH ON GRADE (1.8, 02)
- SOIL OVER STRUCTURAL SLAB BANDS (1.8, 02)
- RAISED OVER SOIL CELL (1.8, 02)
- 30" SOIL DEPTH (1.8, 02)
- INCREASED SOIL DEPTH AT SPECIMEN TREES (1.8, 02)

NOTE:  
1. INTERPRET SOIL DEPTH 3/4" UNLESS OTHERWISE NOTED  
2. COORDINATE SIZE, DEPTH, AND EXTENT OF SOIL DEPTH TO ENSURE STRUCTURAL ENGINEER ENSURE TREES WILL HAVE SUFFICIENT SOIL VOLUMES TO PROMOTE HEALTHY GROWTH.



1 SOIL DEPTH DIAGRAM - LEVEL 1  
1/8" = 1'-0"





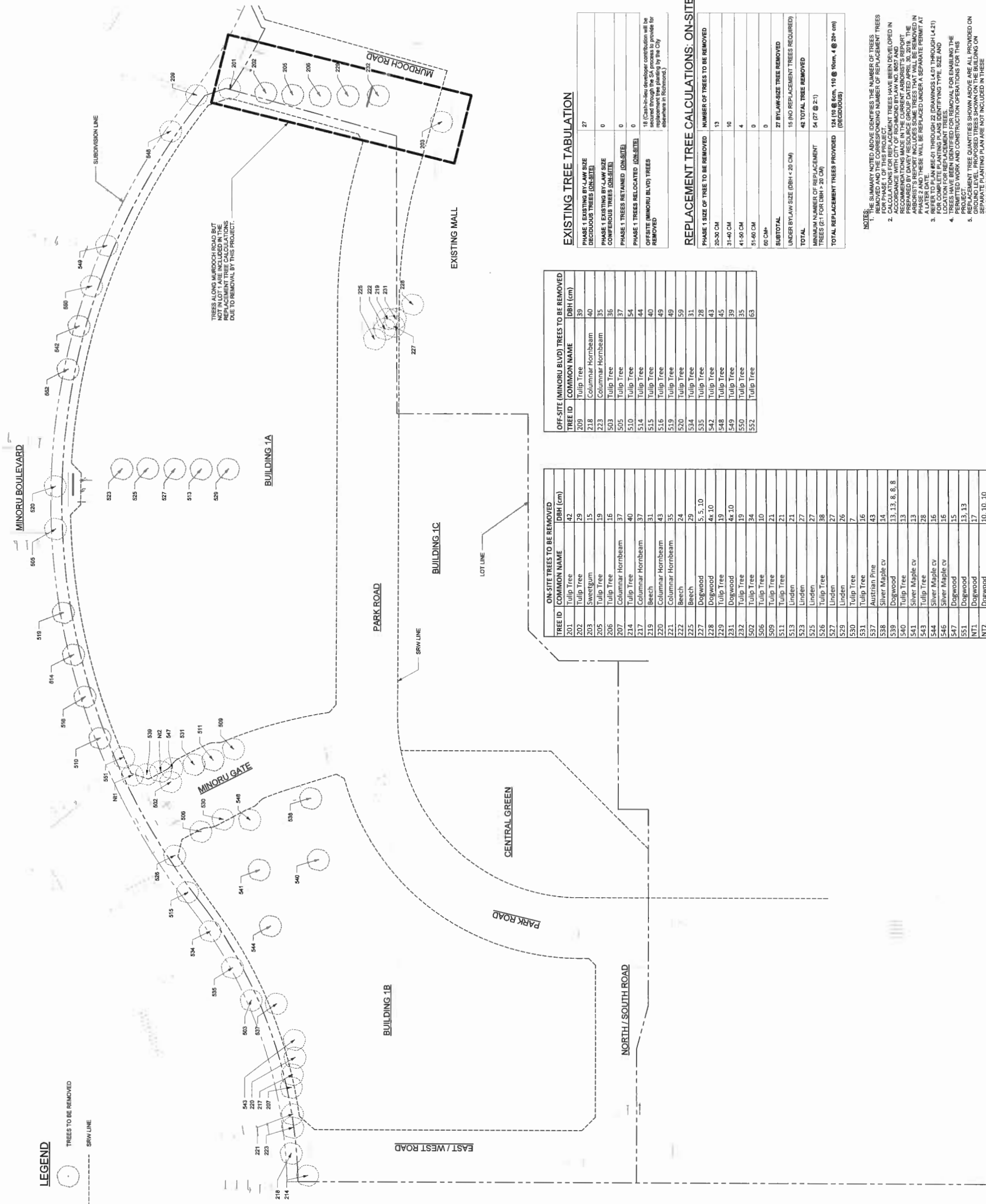
Gabriel Mackinnon

REVISIONS	No.	Date	Description
1	2017-03-31	2017-03-31	30% Design Permit Application
2	2017-06-08	2017-06-08	30% Design Set
3	2018-03-29	2018-03-29	DP Application Rev. 1
4	2018-04-08	2018-04-08	DP Application Rev. 1
5	2018-06-02	2018-06-02	DP Application Rev. 2
6	2018-05-20	2018-05-20	DP Application Rev. 3
7	2018-04-26	2018-04-26	DP Application Rev. 3
8	2018-04-03	2018-04-03	DP Permit Submission

RICHMOND  
CENTRE PHASE 1

TREE REPLACEMENT  
PLAN

DATE	05/28/19
DRAWN BY	gbl
CHECKED BY	gbl
SCALE	1" = 30'-0"
JOB NUMBER	1686-87



EXISTING TREE TABULATION

PHASE 1 EXISTING BY-LAW SIZE DECIDUOUS TREES (ON-SITE)	27
PHASE 1 EXISTING BY-LAW SIZE CONIFEROUS TREES (ON-SITE)	0
PHASE 1 TREES RETAINED (ON-SITE)	0
PHASE 1 TREES RELOCATED (ON-SITE)	0
18 (Cash-in-lieu developer contribution will be secured through the SA process to provide for replacement trees to be planted by the City elsewhere in Richmond.)	
OFFSITE (MINORU BLVD) TREES REMOVED	

REPLACEMENT TREE CALCULATIONS: ON-SITE

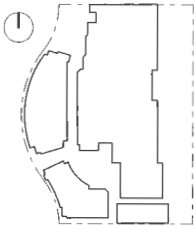
PHASE 1 SIZE OF TREE TO BE REMOVED	NUMBER OF TREES TO BE REMOVED
20-30 CM	13
31-40 CM	10
41-50 CM	4
51-60 CM	0
60 CM+	0
<b>SUBTOTAL</b>	<b>27 BY-LAW-SIZE TREE REMOVED</b>
UNDER BY-LAW SIZE (DBH < 20 CM)	15 (NO REPLACEMENT TREES REQUIRED)
<b>TOTAL</b>	<b>42 TOTAL TREE REMOVED</b>
MINIMUM NUMBER OF REPLACEMENT TREES (1 FOR DBH > 20 CM)	54 (27 @ 2:1)
<b>TOTAL REPLACEMENT TREES PROVIDED</b>	<b>124 (10 @ 6cm, 110 @ 10cm, 4 @ 20+ cm) (DECIDUOUS)</b>

- NOTES:
- THE SUMMARY NOTED ABOVE IDENTIFIES THE NUMBER OF TREES REMOVED AND THE CORRESPONDING NUMBER OF REPLACEMENT TREES REQUIRED. CALCULATIONS FOR REPLACEMENT TREES HAVE BEEN DEVELOPED IN ACCORDANCE WITH CITY OF RICHMOND BY-LAW NO. 1807 AND RICHMOND'S TREE MANAGEMENT STRATEGY. THE TREE MANAGEMENT STRATEGY WAS PREPARED BY DAVEY RESOURCES GROUP DATED APRIL 30, 2018. THE ARBORIST'S REPORT INCLUDES SOME TREES THAT WILL BE REMOVED IN PHASE 1. THESE TREES WILL BE REPLACED UNDER A SEPARATE PERMIT AT A LATER DATE.
  - REFER TO PLAN #E-01 THROUGH 22 (DRAWINGS L4.01 THROUGH L4.21) FOR THE LOCATION OF TREES TO BE REMOVED AND REPLACEMENT TREES. TREES HAVE BEEN IDENTIFIED FOR REMOVAL FOR ENABLING THE PROJECT. REPLACEMENT TREES SHOWN ABOVE ARE ALL PROVIDED ON GROUND LEVEL. PROPOSED TREES SHOWN ON THE BUILDING ON GROUND LEVEL ARE NOT INCLUDED IN THESE CALCULATIONS.

ON-SITE TREES TO BE REMOVED	COMMON NAME	DBH (cm)
201	Tulip Tree	42
202	Tulip Tree	29
203	Sweetgum	15
205	Tulip Tree	19
206	Tulip Tree	16
207	Columinar Hornbeam	37
214	Tulip Tree	40
217	Columinar Hornbeam	37
219	Beech	31
220	Columinar Hornbeam	43
221	Columinar Hornbeam	35
222	Beech	24
225	Beech	29
227	Dogwood	5, 5, 10
228	Dogwood	4x 10
229	Tulip Tree	39
231	Dogwood	4x 10
232	Tulip Tree	19
502	Tulip Tree	34
506	Tulip Tree	10
509	Tulip Tree	21
511	Tulip Tree	21
513	Linden	21
523	Linden	27
525	Linden	27
526	Tulip Tree	38
527	Linden	27
529	Linden	26
530	Tulip Tree	7
531	Tulip Tree	16
537	Austrian Pine	43
538	Silver Maple cv	14
539	Dogwood	13, 13, 8, 8
540	Tulip Tree	13
541	Silver Maple cv	13
543	Tulip Tree	28
544	Silver Maple cv	16
546	Silver Maple cv	16
547	Dogwood	15
551	Dogwood	13, 13
N11	Dogwood	17
N12	Dogwood	10, 10, 10

ON-SITE TREES TO BE REMOVED		
TREE ID	COMMON NAME	DBH (cm)
201	Tulip Tree	42
202	Tulip Tree	29
203	Sweetgum	15
205	Tulip Tree	19
206	Tulip Tree	16
207	Columnar Hornbeam	37
214	Tulip Tree	40
217	Columnar Hornbeam	37
219	Beech	31
220	Columnar Hornbeam	43
221	Columnar Hornbeam	35
222	Beech	24
225	Beech	29
227	Dogwood	5, 5, 10
228	Dogwood	4x 10
229	Tulip Tree	19
231	Dogwood	4x 10
232	Tulip Tree	19
502	Tulip Tree	34
506	Tulip Tree	10
509	Tulip Tree	21
511	Tulip Tree	21
513	Linden	21
523	Linden	27
525	Linden	37
526	Tulip Tree	38
527	Linden	27
529	Linden	26
530	Tulip Tree	7
531	Tulip Tree	16
537	Austrian Pine	43
538	Silver Maple cv	14
539	Dogwood	13, 13, 8, 8
540	Tulip Tree	13
541	Silver Maple cv	13
543	Tulip Tree	28
544	Silver Maple cv	16
546	Silver Maple cv	16
547	Dogwood	15
551	Dogwood	13, 13
NT1	Dogwood	17
NT2	Dogwood	10, 10, 10





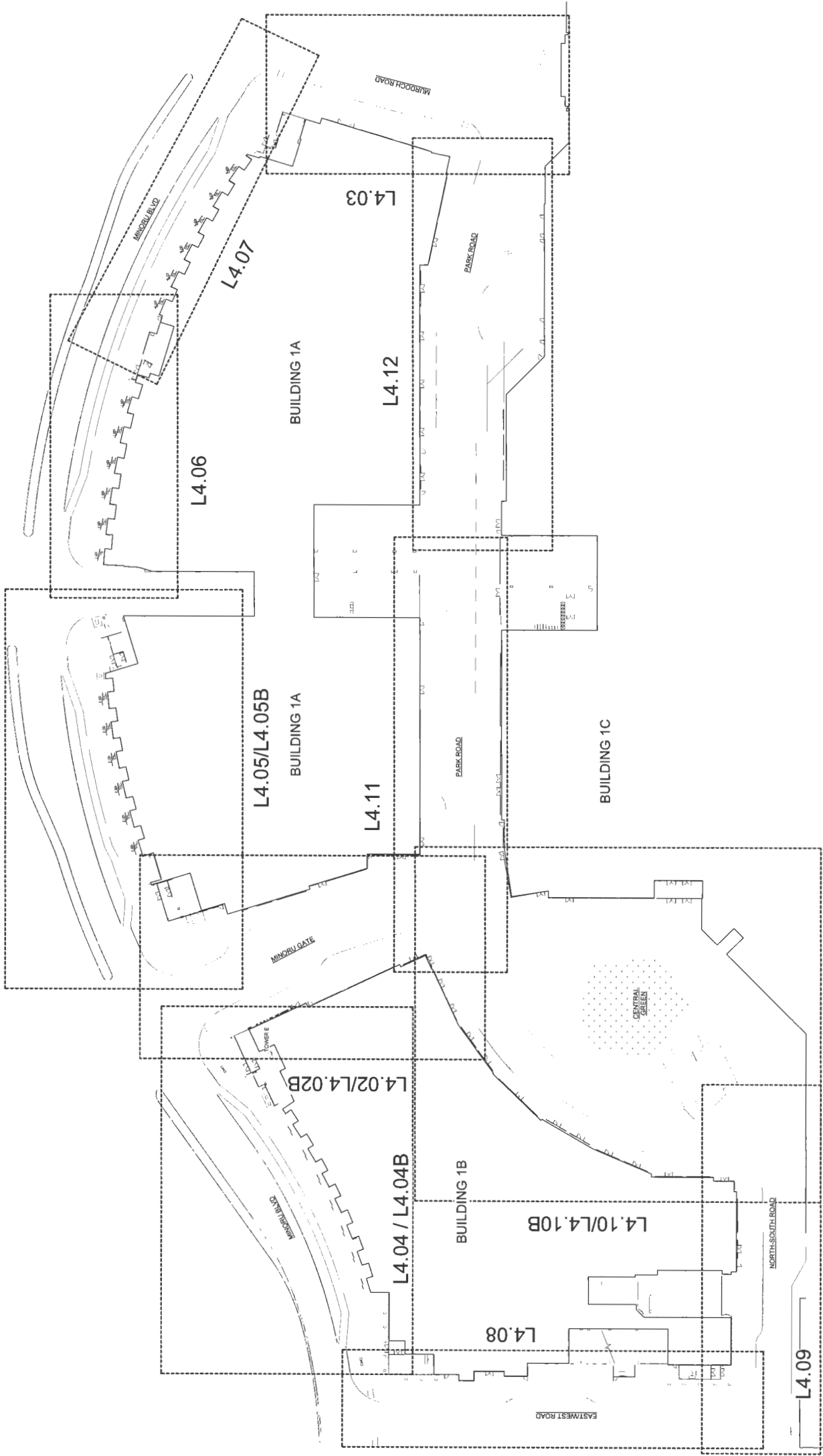
**Gabriel Mackinnon**

REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-06-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-06-02	Progress for Pricing
5	2018-06-02	DP Application Rev. 1
6	2019-03-20	DP Application Rev. 3 Progress for City Review
7	2019-04-26	DP Application Rev. 3 Progress for City Review
8	2019-05-03	DP Permit Submission

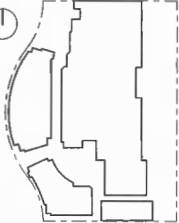
RICHMOND  
CENTRE PHASE 1

DATE 05/03/19  
 DRAWN BY RMRC  
 CHECKED BY JBNK  
 SCALE 1" = 30'-0"  
 JOB NUMBER 1686-87

## L4.01



1 PLANTING KEY PLAN  
1" = 30'-0"



Gabriel Mackinnon

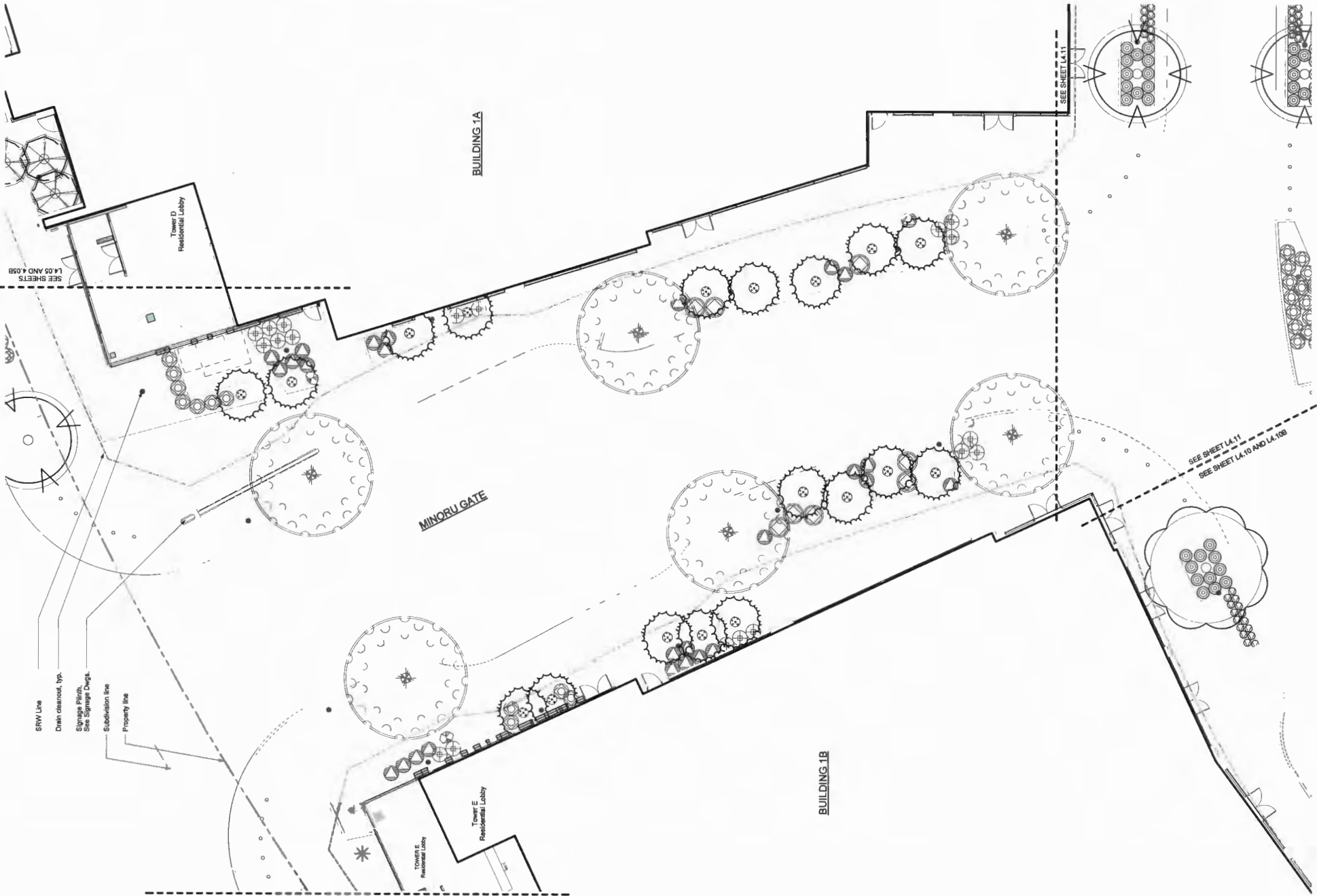
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-08	35% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-08	Progress for Pricing
	5	2018-06-02	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 2
	7	2018-04-26	Progress for City Review
	8	2018-05-03	DP Application Rev. 3
	9	2018-05-03	Progress for City Review
	10	2018-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

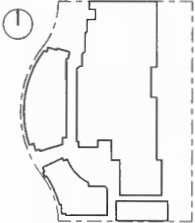
PLANTING PLAN - MINORU  
GATE - TREES AND  
SHRUBS

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

L4.02

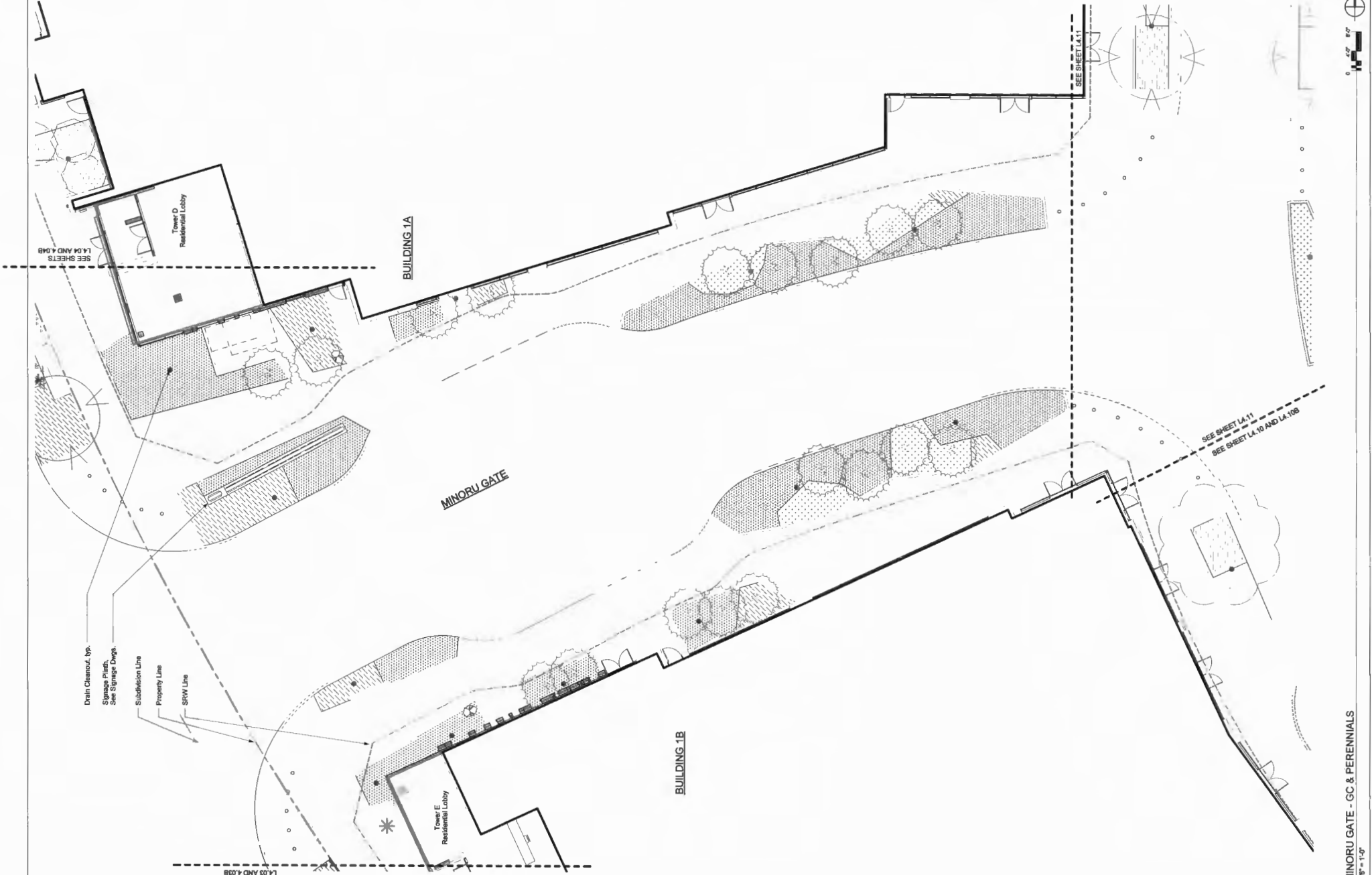


1 MINORU GATE - TREES AND SHRUBS  
1/8" = 1'-0"

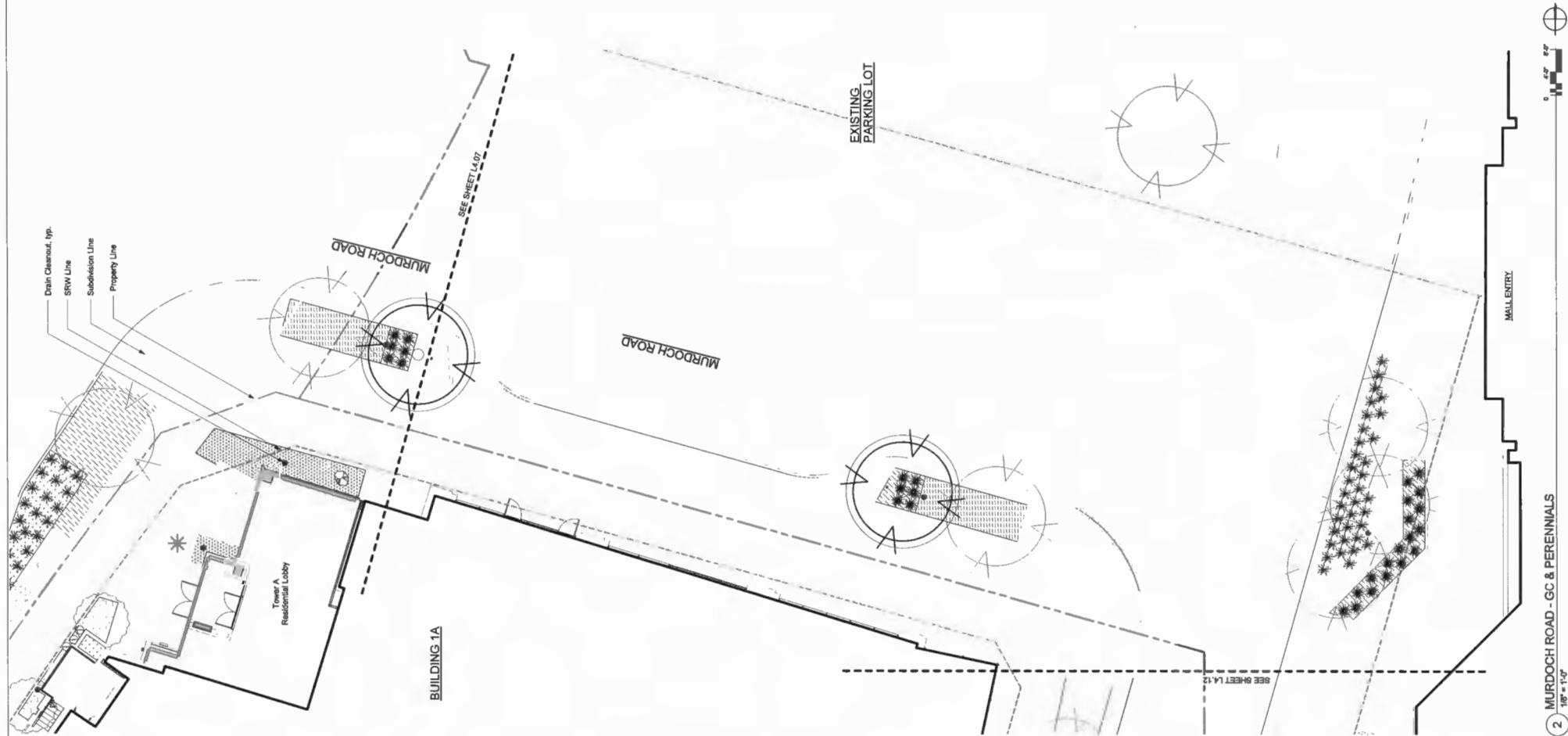
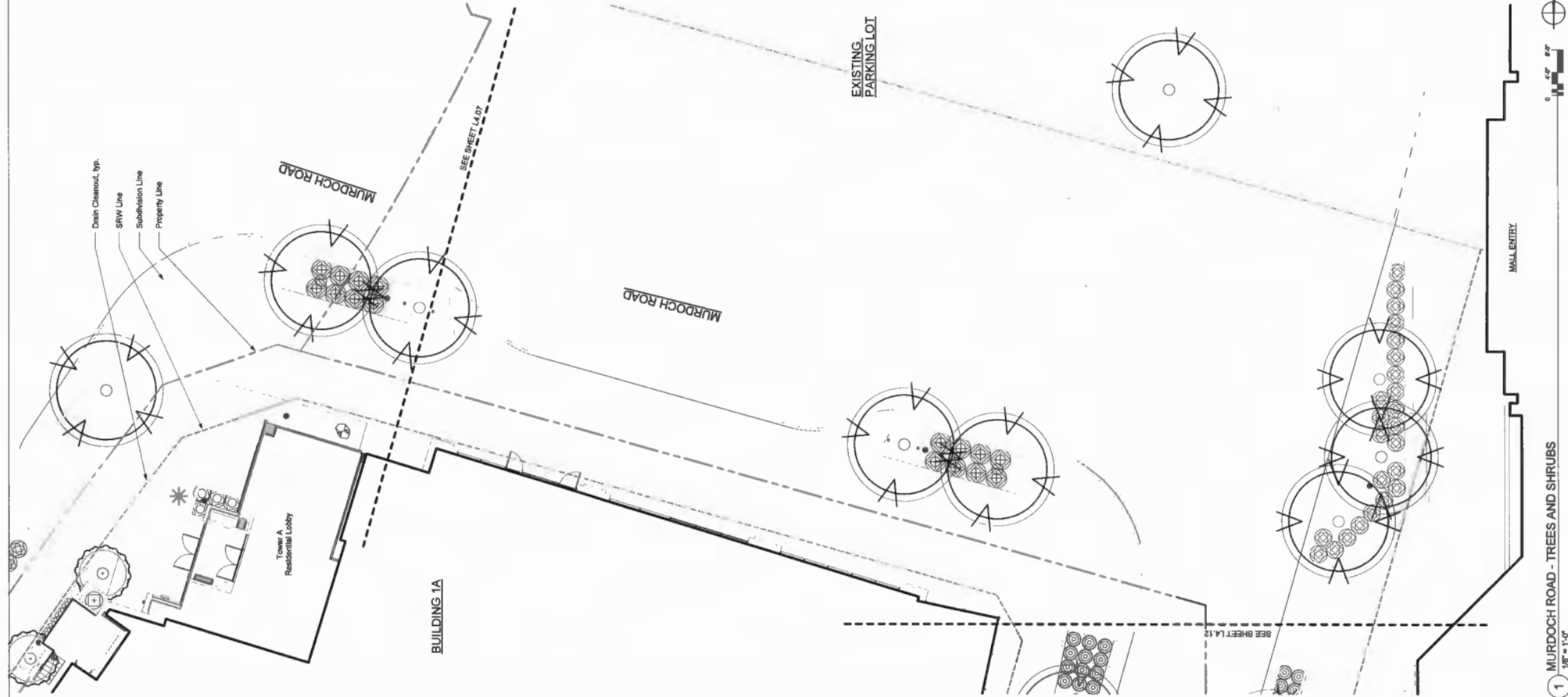


REVISIONS			Description
No.	Date		
1	2017-03-31		Development Permit Application
2	2017-08-08		30% Design Set
3	2018-03-29		DP Application Rev. 1
			Progress for Pacing
4	2018-04-06		DP Application Rev. 2
5	2018-05-02		DP Application Rev. 2
6	2018-03-20		DP Application Rev. 3
			Progress for City Review
7	2018-04-26		DP Application Rev.3
			Progress for City Review
8	2018-05-03		DP Panel Submission

DATE	06/03/19
DRAWN BY	BMAC
CHECKED BY	BMAC
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87



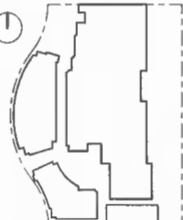




**gbl**

gbl ARCHITECTS  
138 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V7T  
TEL: 604 726 7271  
FAX: 604 721 7271  
WWW.GBLARCHITECTS.COM

NOTES



**PFS STUDIO**  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**HEWITT**

**DP 17-768248**  
MAY 29, 2019  
**PLAN #5e-05**



**Gabriel Mackinnon**

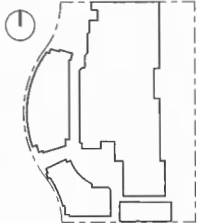
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-04-08	35% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Program for Review
	5	2018-04-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Program for City Review
	8	2019-05-03	DP Panel Submission

**RICHMOND**  
**CENTRE PHASE 1**

**PLANTING PLAN -**  
**MURDOCH ROAD**

DATE: 06/07/19  
DRAWN BY: RMAC  
CHECKED BY: GBL  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1886-87

**L4.03**



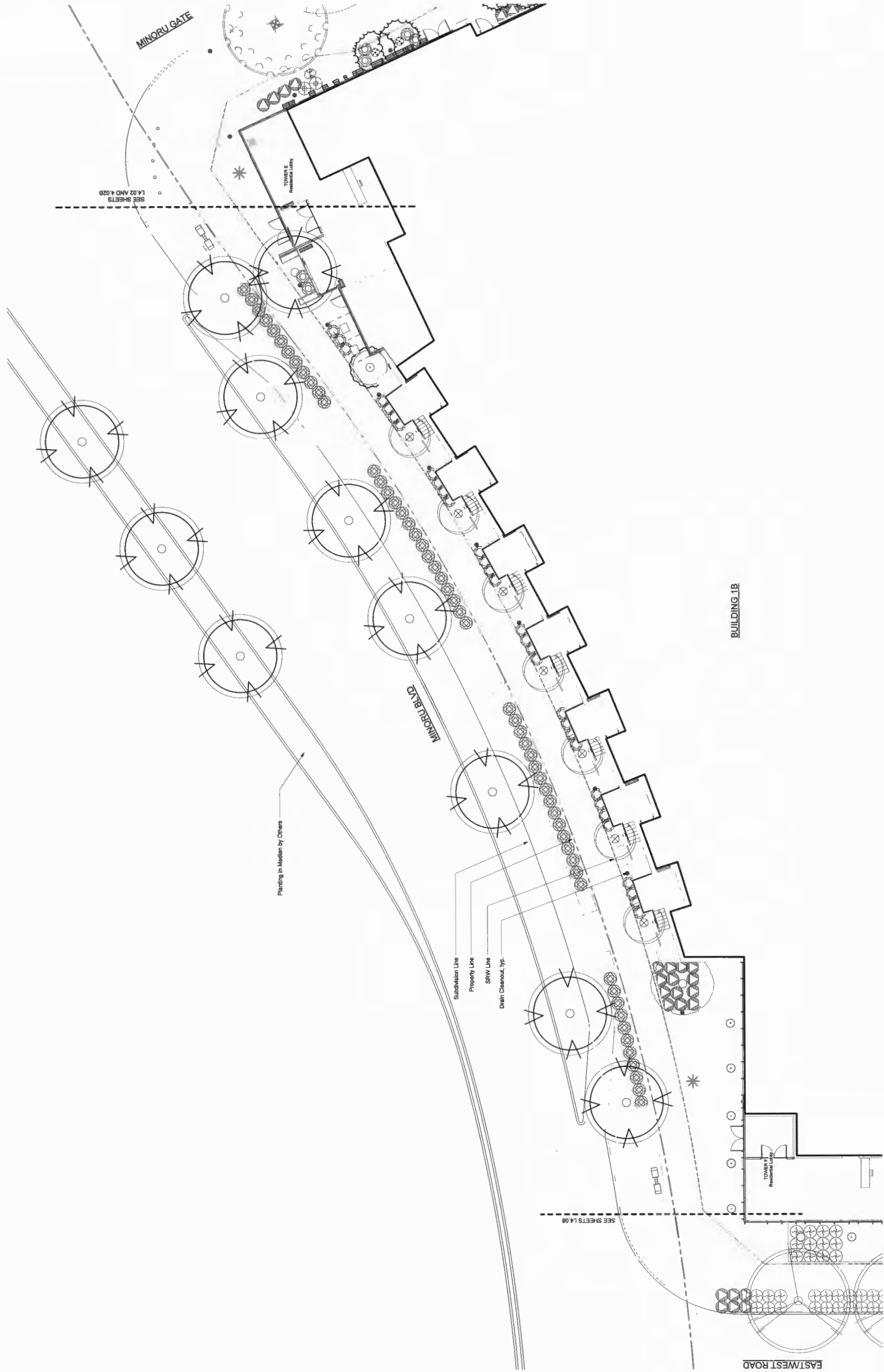
Gabriel Mackinnon

REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-26	DP Application Rev. 2
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review
	7	2019-04-26	DP Application Rev. 3 Progress for City Review
	8	2019-05-03	DP Panel Submission

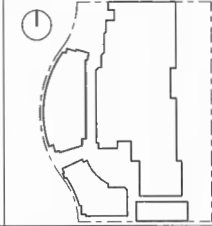
RICHMOND  
CENTRE PHASE 1

PLANTING PLAN - MINORU  
BLVD - SOUTH - TREES &  
SHRUBS

DATE	06/03/19
DRAWN BY	JMM
CHECKED BY	JMM
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87



1 MINORU BLVD - SOUTH - TREES AND SHRUBS  
1/8" = 1'-0"



Gabriel Mackinnon

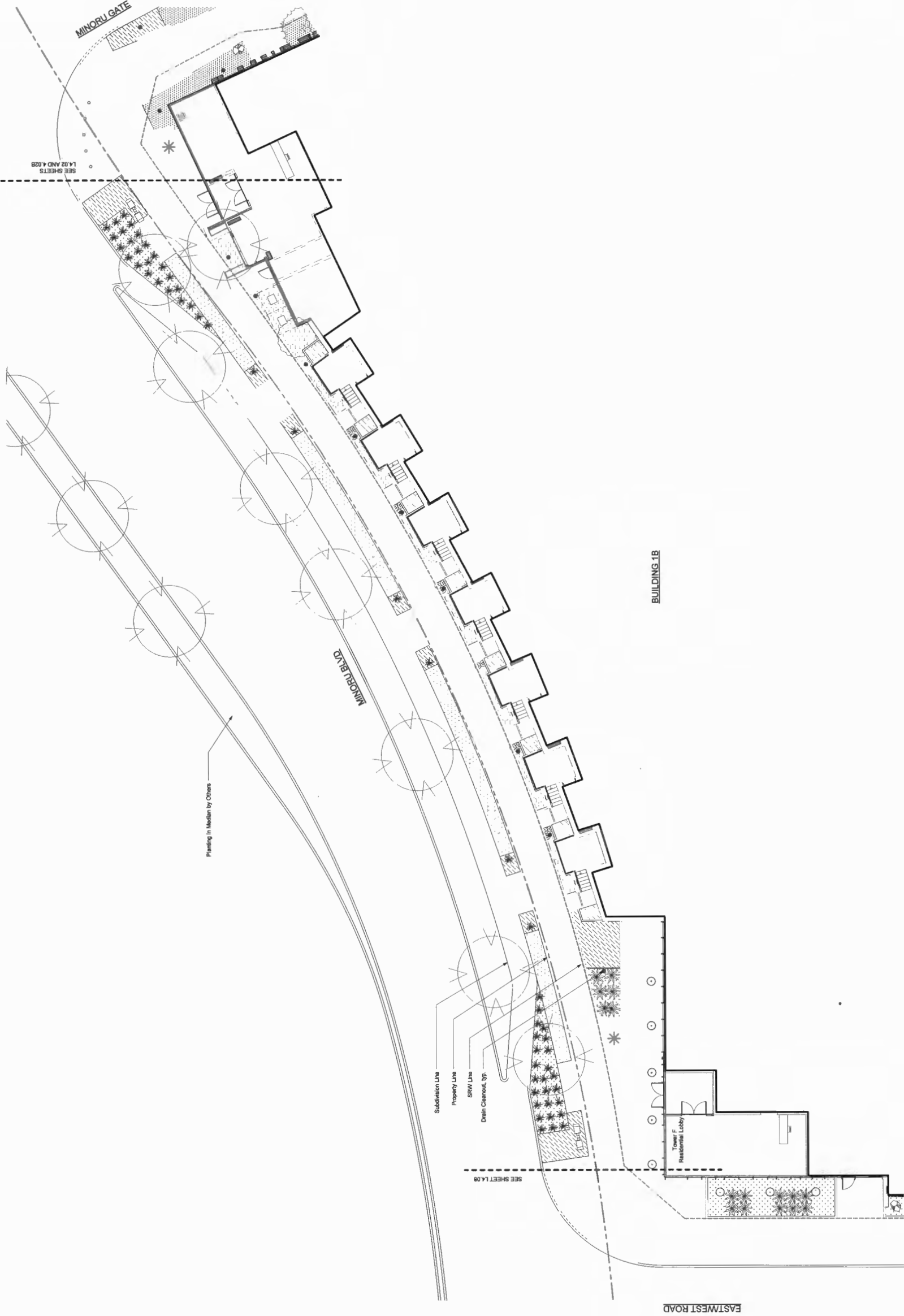
REVISIONS	
No.	Description
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2	2017-04-09 Application Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-09 Progress for Planting
5	2018-04-09 DP Application Rev. 1
6	2018-03-30 DP Application Rev. 2
7	2019-04-26 DP Application Rev. 3
8	2019-05-23 DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING PLAN - MINORU  
BLVD - SOUTH -GC &  
PERENNIALS

DATE: 05/29/2019  
DRAWN BY: JMK  
CHECKED BY: JMK  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

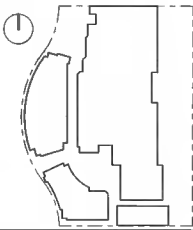
L4.04B



1 MINORU BLVD - SOUTH - GC & PERENNIALS  
1/8" = 1'-0"







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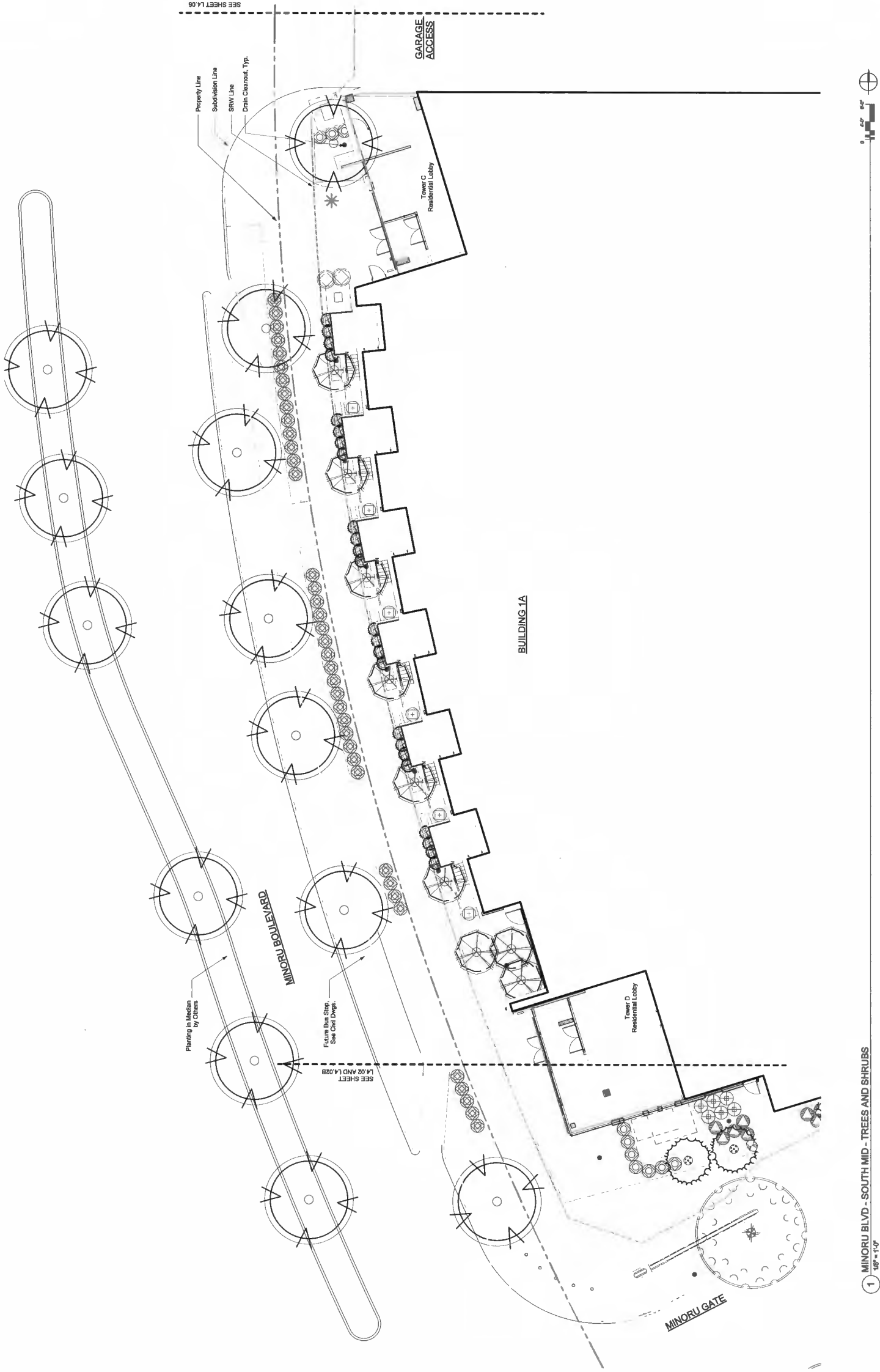
REVISIONS

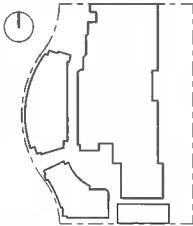
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-06-08	City Council Review, 1
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	Programs for Picking
5	2018-04-06	DP Application Rev. 1
6	2018-03-20	DP Application Rev. 3
7	2019-04-26	DP Application Rev.3
8	2019-05-03	Programs for City Review
		DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING PLAN - MINORU  
BLVD - SOUTH MID -  
TREES & SHRUBS

DATE: 05/03/19  
DRAWN BY: JMM  
CHECKED BY: JMM  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87



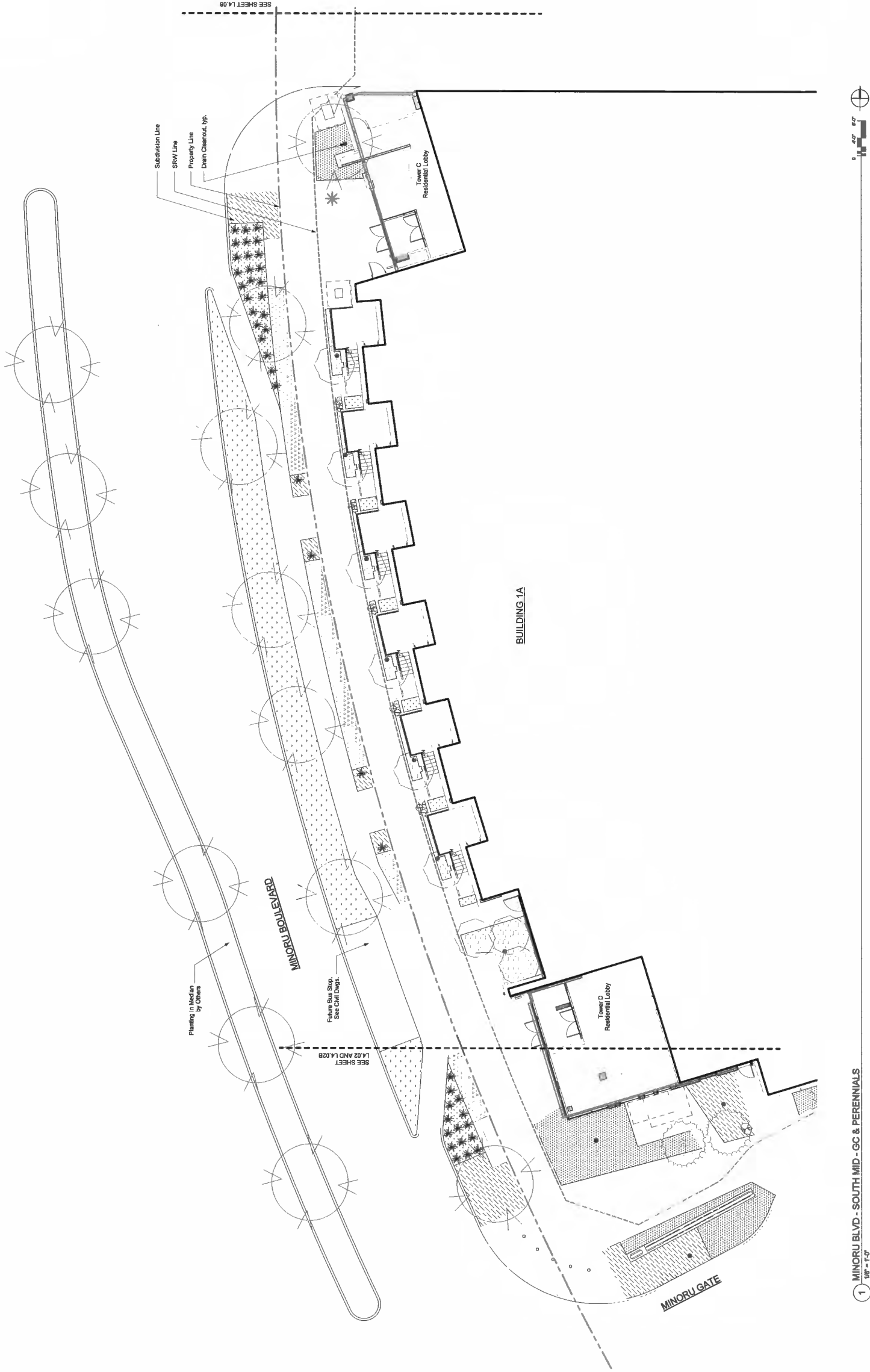


Gabriel Mackinnon

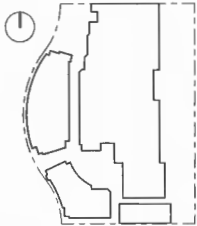
REVISIONS	
No.	Description
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2	2017-05-09 DP Application Rev. 1
3	2018-05-29 DP Application Rev. 1
4	2018-04-06 DP Application Rev. 1
5	2018-05-29 DP Application Rev. 1
6	2018-05-29 DP Application Rev. 3
7	2018-04-26 DP Application Rev.3
8	2019-05-03 DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING PLAN - MINORU  
BLVD - SOUTH MID - GC &  
PERENNIALS  
DATE: 05/29/2019  
DRAWN BY: JAWK  
CHECKED BY: JAWK  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-37

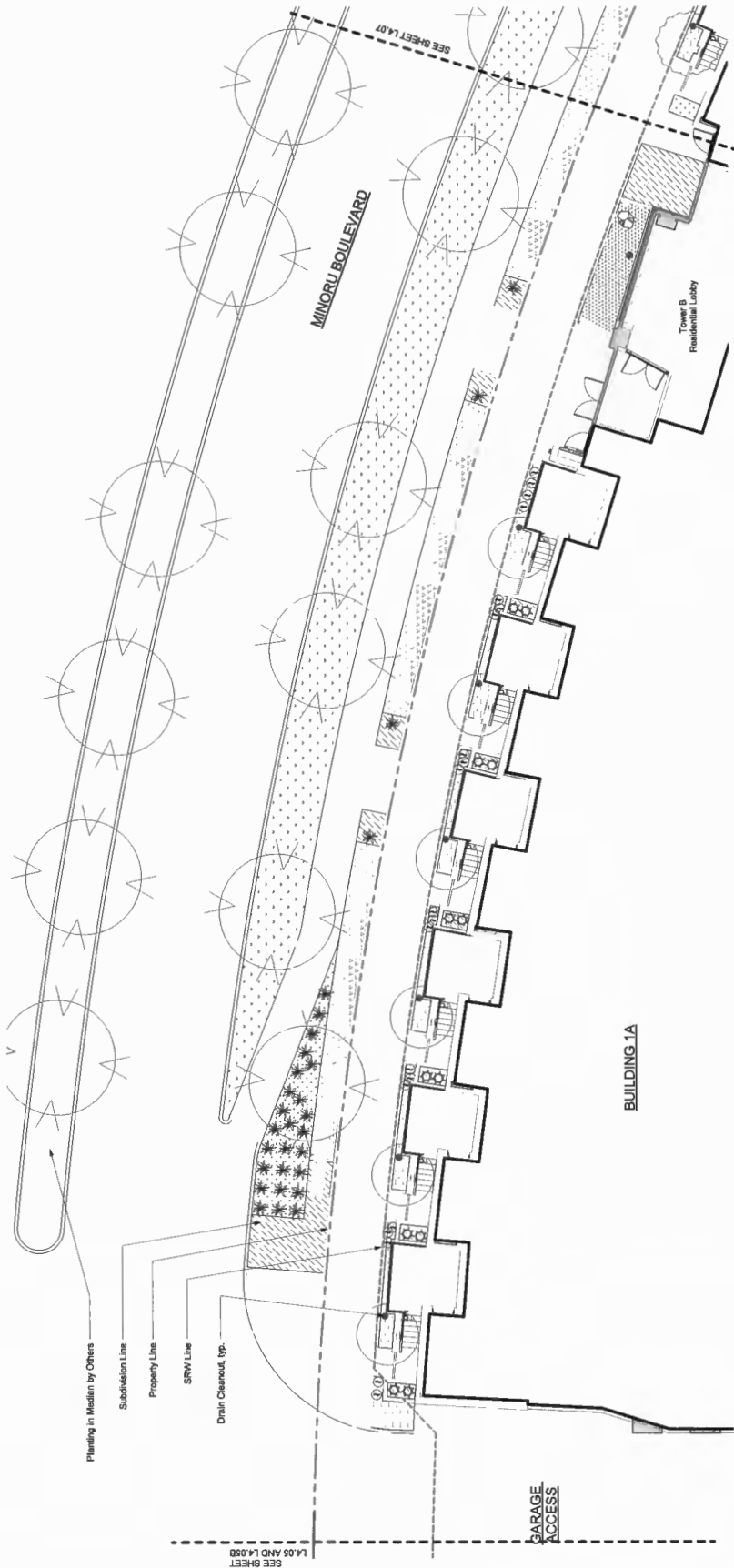


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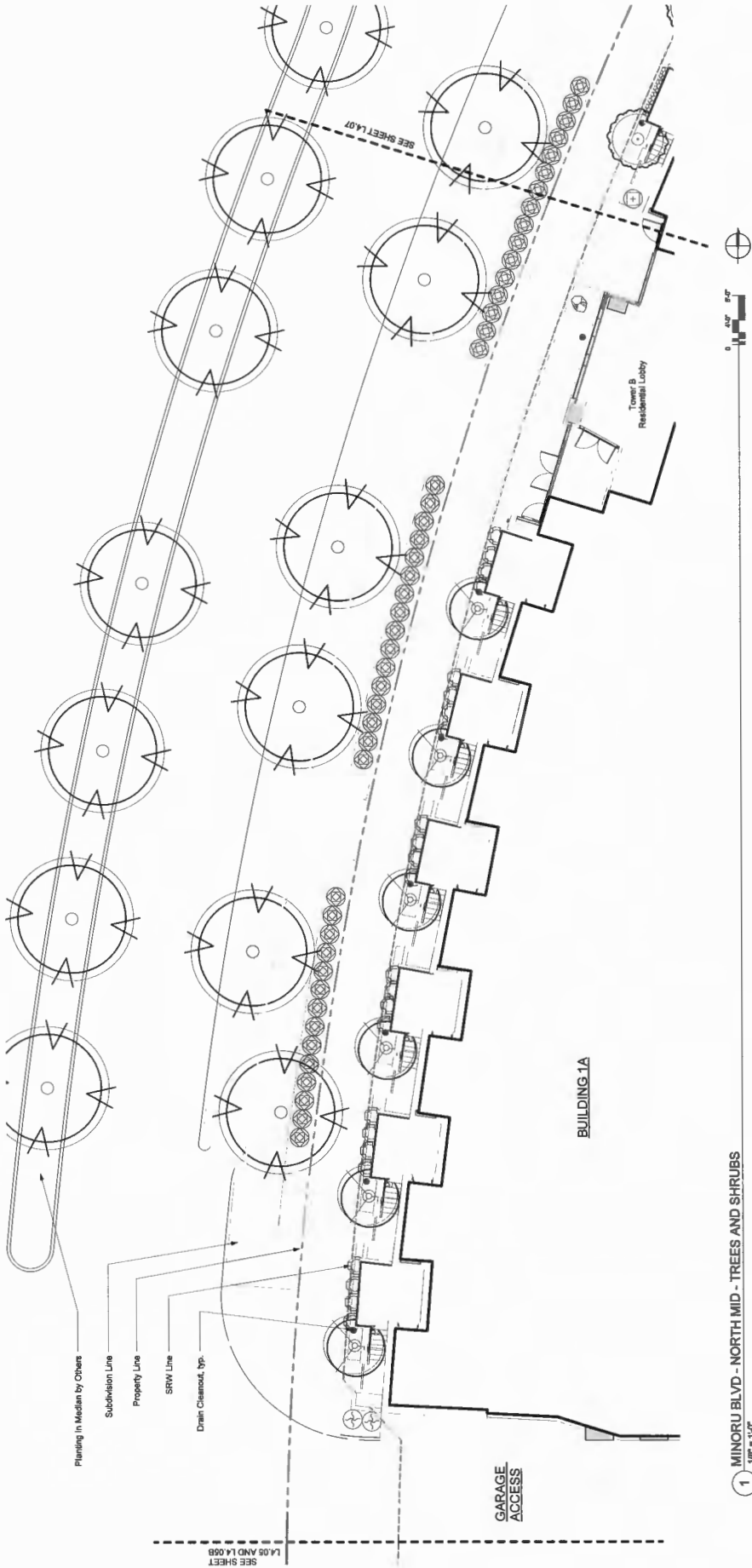


REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 DP Application Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-04 Progress for Pricing
5	2018-04-04 DP Application Rev. 1
6	2018-03-20 DP Application Rev. 2
7	2019-04-26 DP Application Rev.3
8	2019-05-03 DP Panel Submission

DATE	06/07/19
DRAWN BY	JAMC
CHECKED BY	100% 1:0"
SCALE	1686-87
JOB NUMBER	

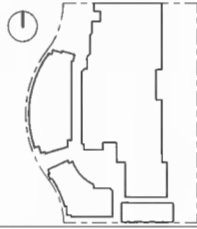


2 MINORU BLVD - NORTH MID - GC & PERENNIALS  
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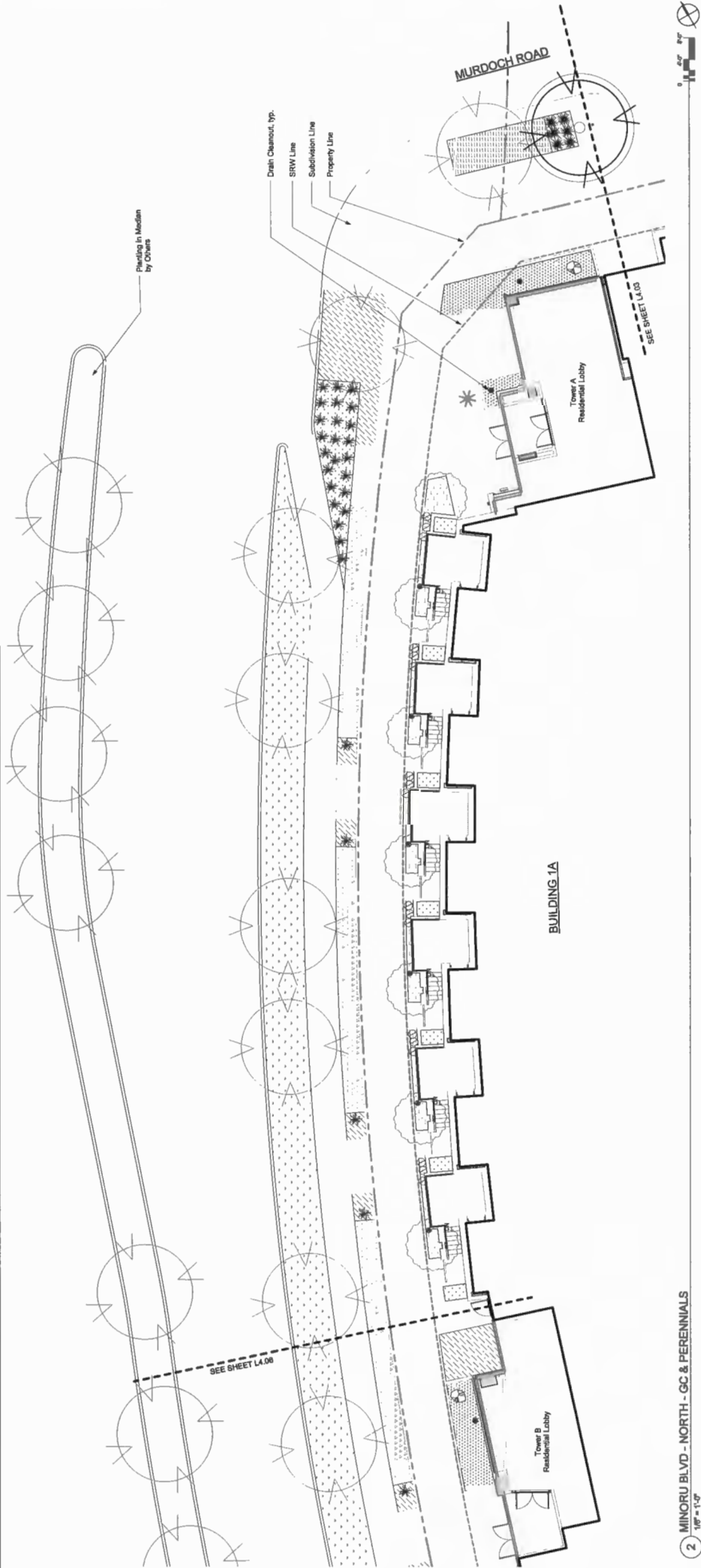


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1/8" = 1'-0"

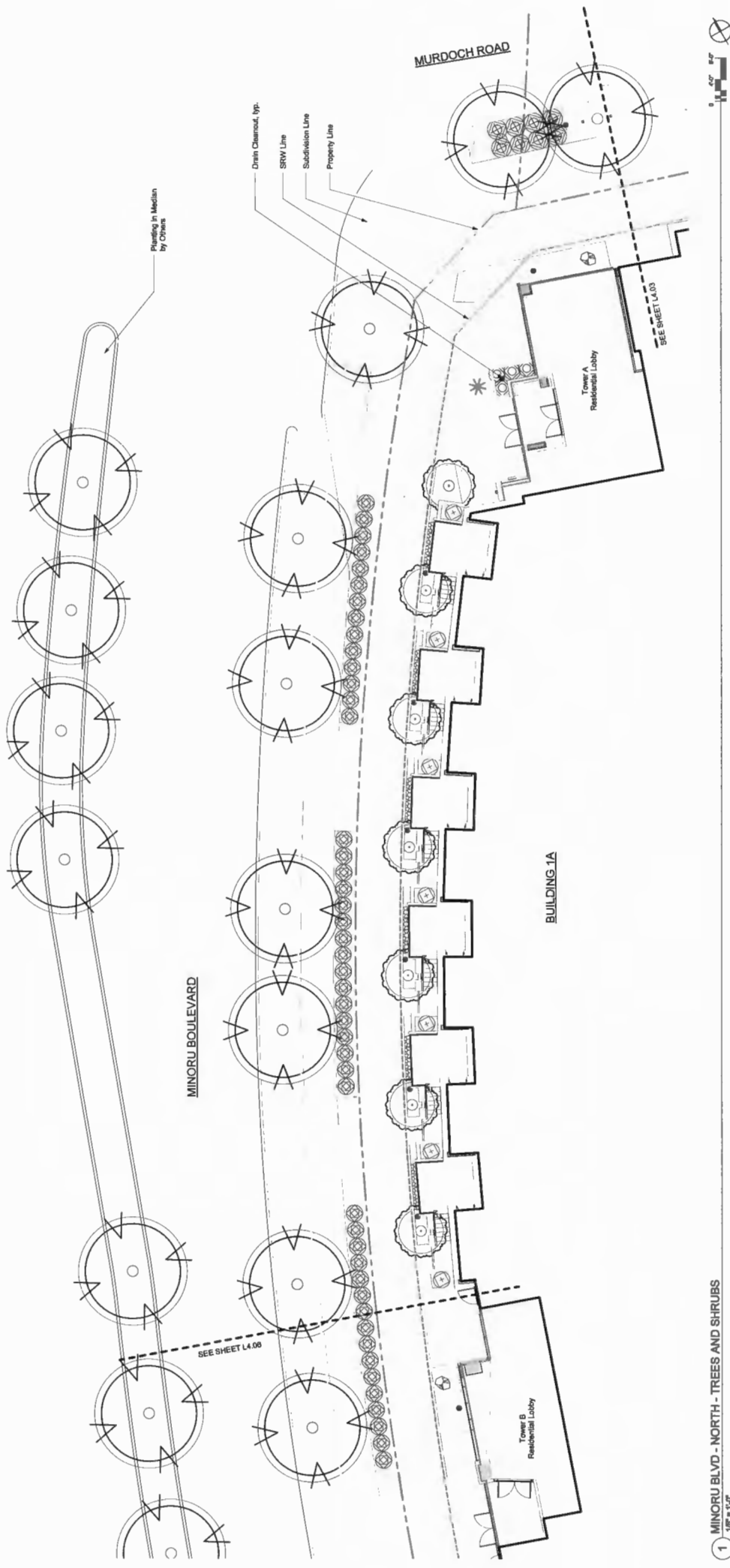




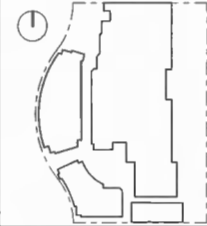
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-04-08	20% Design Set
3	2018-05-23	20% Design Set - 1
4	2018-04-06	DP Application Rev. 1
5	2018-05-02	DP Application Rev. 2
6	2018-05-02	DP Application Rev. 3
7	2019-04-28	DP Application Rev. 3
8	2019-05-03	DP Panel Submission



2 MINORU BLVD - NORTH - GC & PERENNIALS  
1/8" = 1'-0"

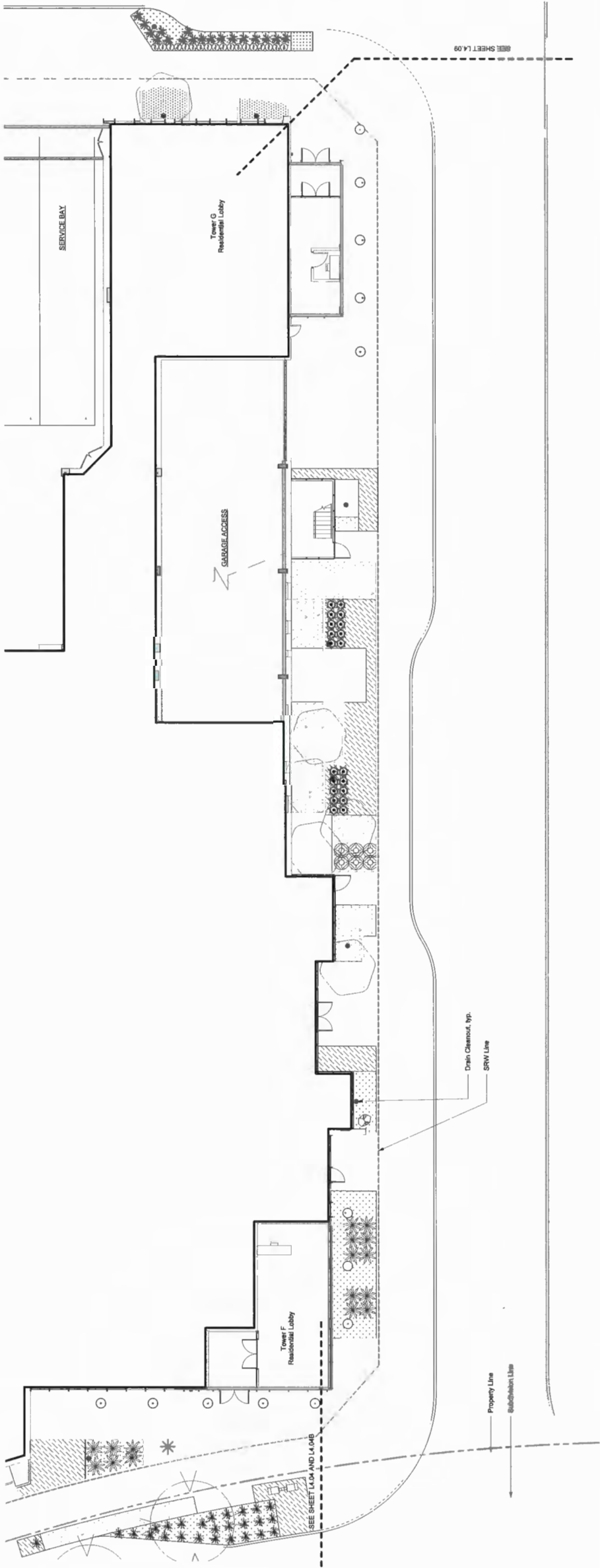


1 MINORU BLVD - NORTH - TREES AND SHRUBS  
1/8" = 1'-0"

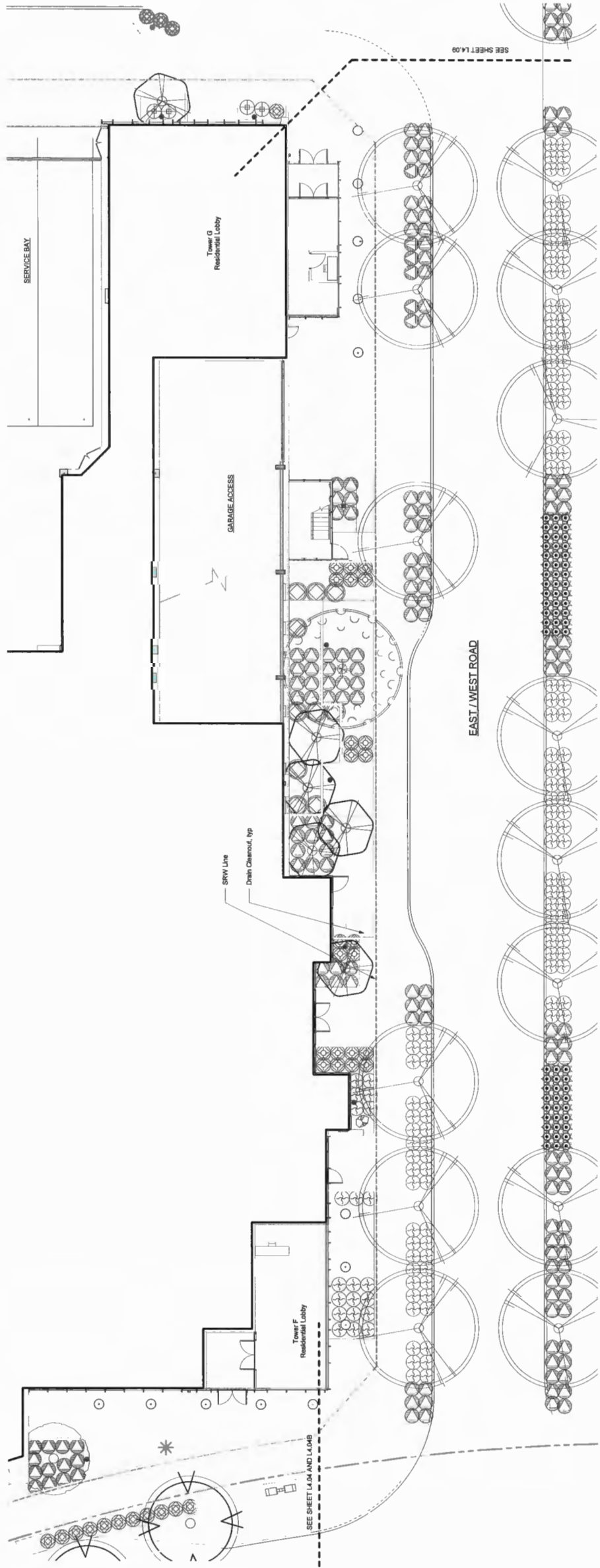


No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-04-08	DP Application Rev. 1
3	2018-03-28	DP Application Rev. 2
4	2018-04-08	DP Application Rev. 3
5	2018-05-20	DP Application Rev. 4
6	2018-05-20	DP Application Rev. 5
7	2019-04-26	DP Application Rev. 6
8	2019-05-03	DP Application Rev. 7

DATE	2019-05-03
CHECKED BY	JMK
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87

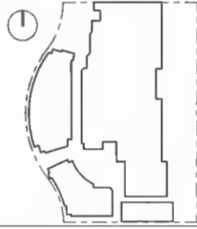


2 EASTWEST ROAD - GC & PERENNIALS  
1/8" = 1'-0"



1 EASTWEST ROAD - TREES AND SHRUBS  
1/8" = 1'-0"





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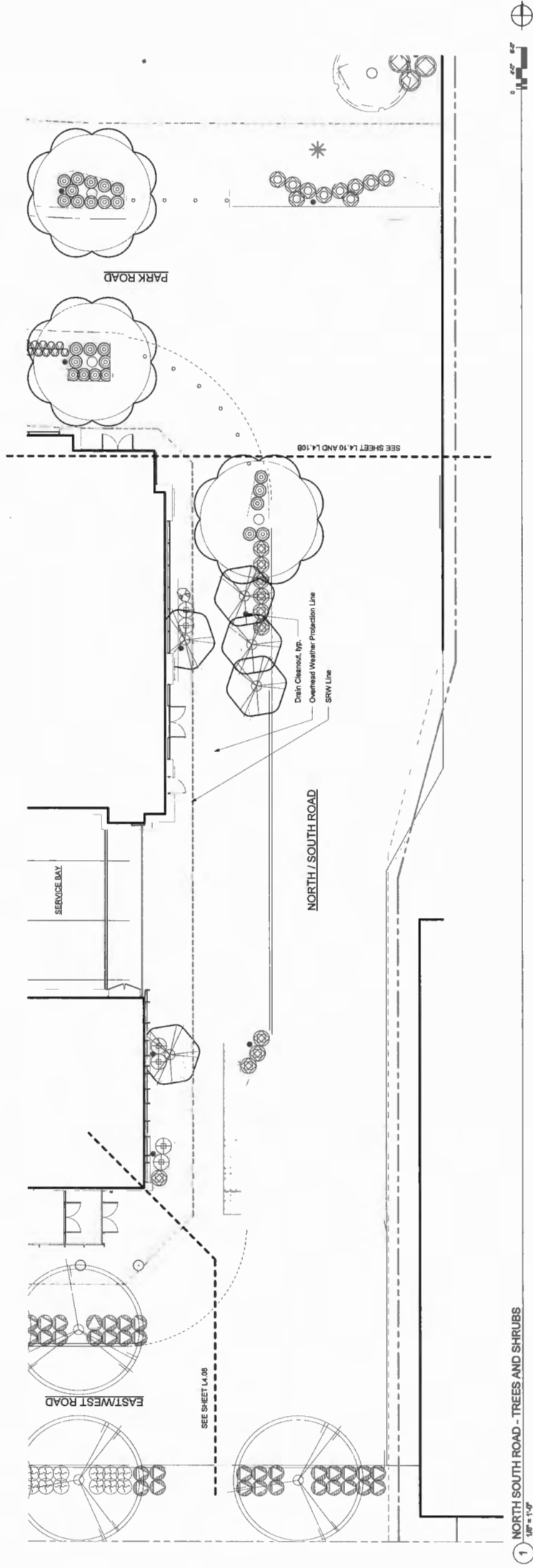
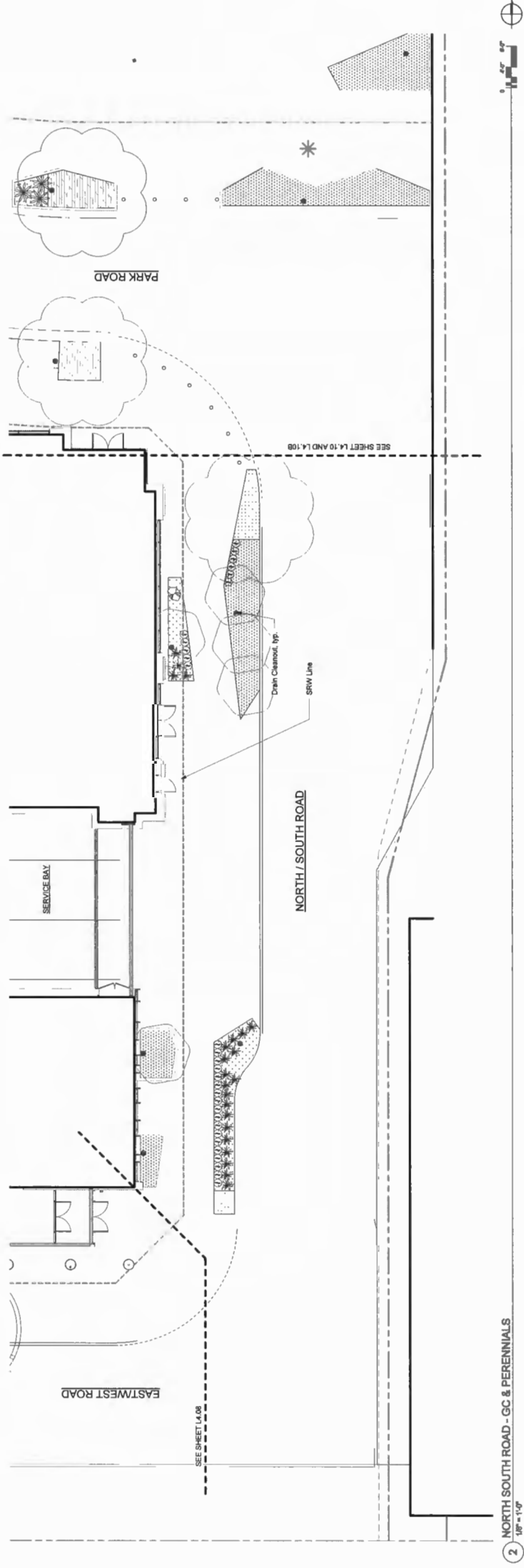
REVISIONS

No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-06-06	20% Design Set
3	2019-03-25	20% Design Set Rev. 1
4	2018-04-26	DP Application Rev. 1
5	2018-04-26	DP Application Rev. 2
6	2018-03-29	DP Application Rev. 3
7	2018-04-26	DP Application Rev.3
8	2019-05-03	DP Panel Submission

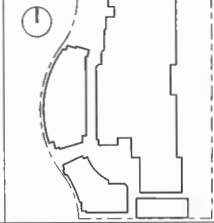
RICHMOND  
CENTRE PHASE 1

PLANTING PLAN -  
NORTH/SOUTH ROAD

DATE:	2019/05/03
DRAWN BY:	JM/K
CHECKED BY:	JM/K
SCALE:	1/8" = 1'-0"
JOB NUMBER:	1686-87







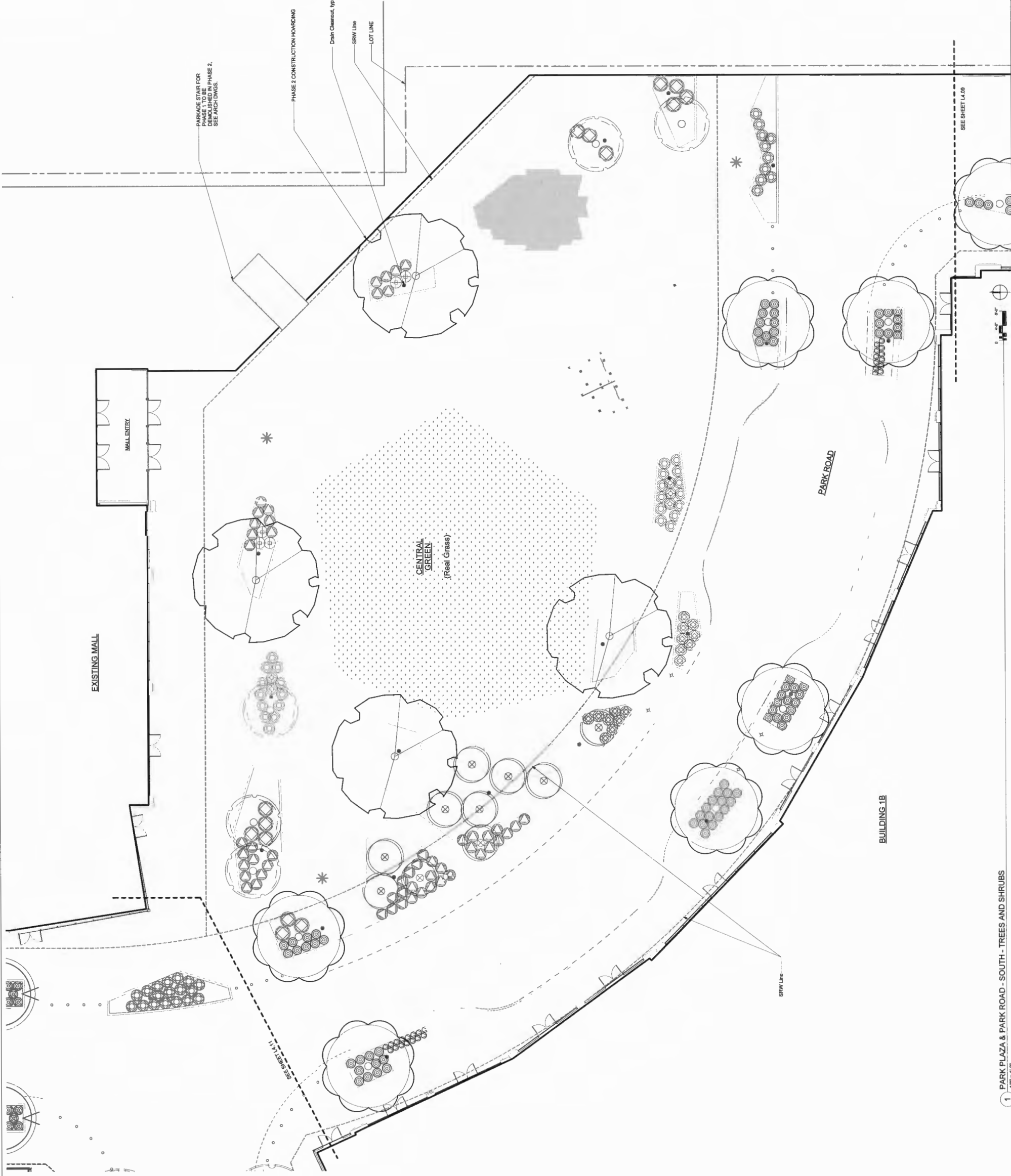
Gabriel Mackinnon

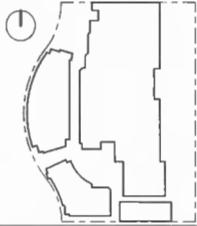
REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-05-08 Application Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-04 Progress for Pricing
5	2018-04-04 DP Application Rev. 1
6	2018-05-02 DP Application Rev. 2
7	2019-04-26 DP Application Rev.3
8	2019-05-03 DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING PLAN - PARK  
PLAZA - TREES & SHRUBS

DATE	2019-05-03
DRAWN BY	JAMK
CHECKED BY	1/8" = 1'-0"
SCALE	1686-87
JOB NUMBER	





Gabriel Mackinnon

REVISIONS

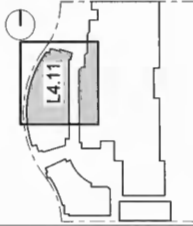
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	50% Design Set
3	2018-03-13	Development Permit Review 1
4	2018-04-08	DP Application Rev. 1
5	2018-05-02	DP Application Rev. 2
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7	2018-04-26	DP Application Rev. 3
8	2019-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

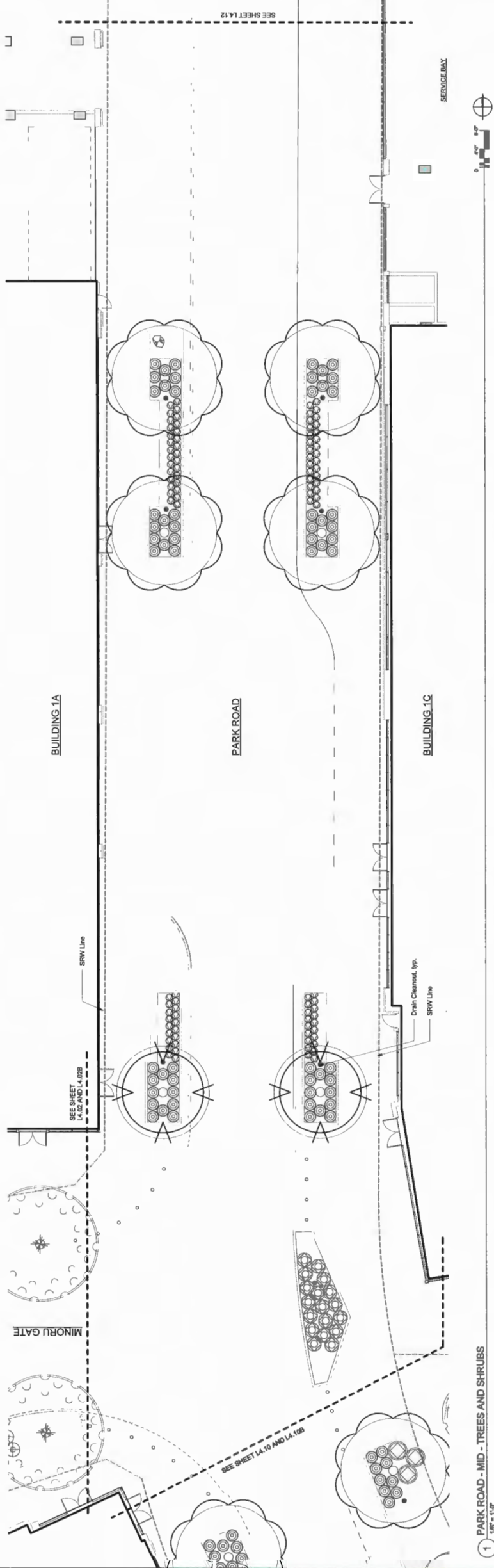
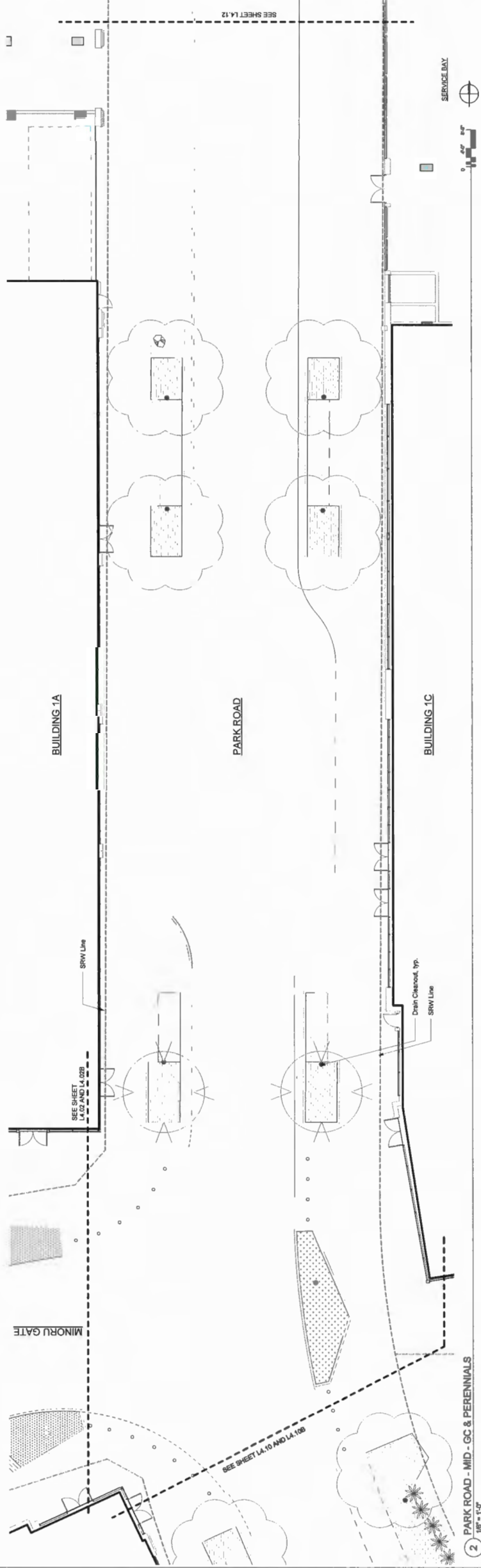
PLANTING PLAN - PARK  
PLAZA - GC & PERENNIALS

DATE	2019-05-03
CHECKED BY	gab
SCALE	1/8" = 1'-0"
JOB NUMBER	1886-87

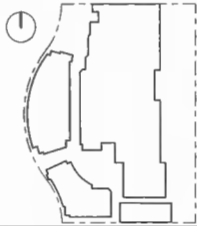




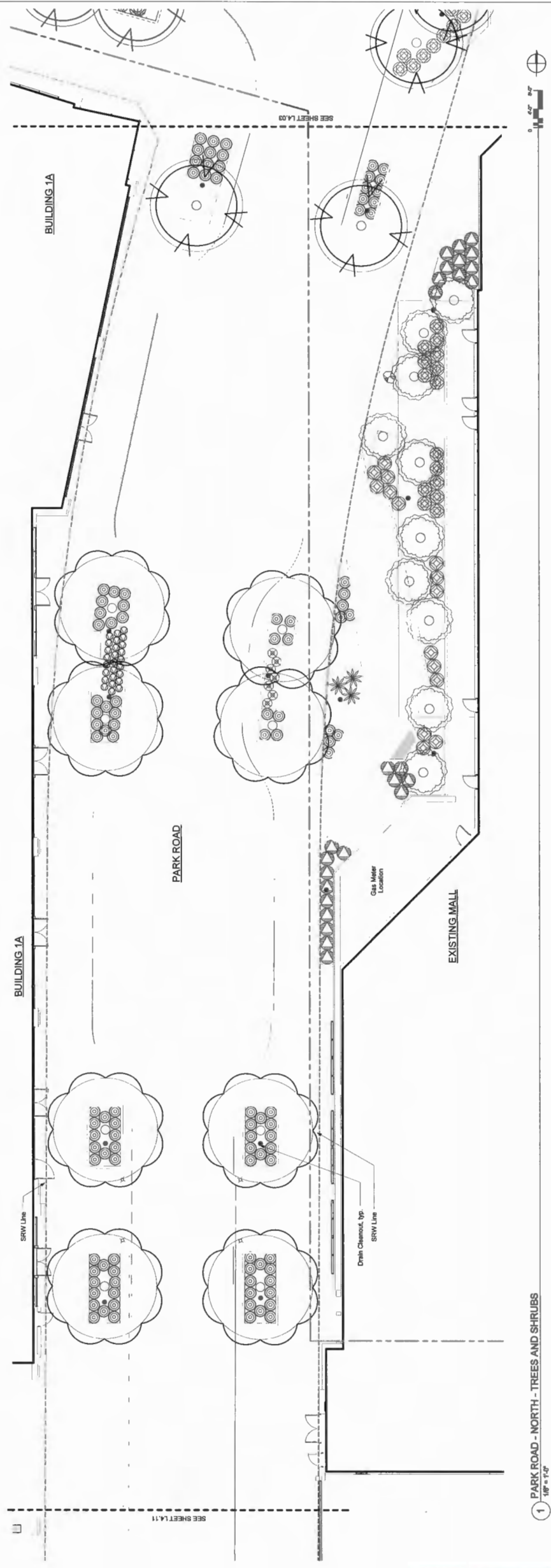
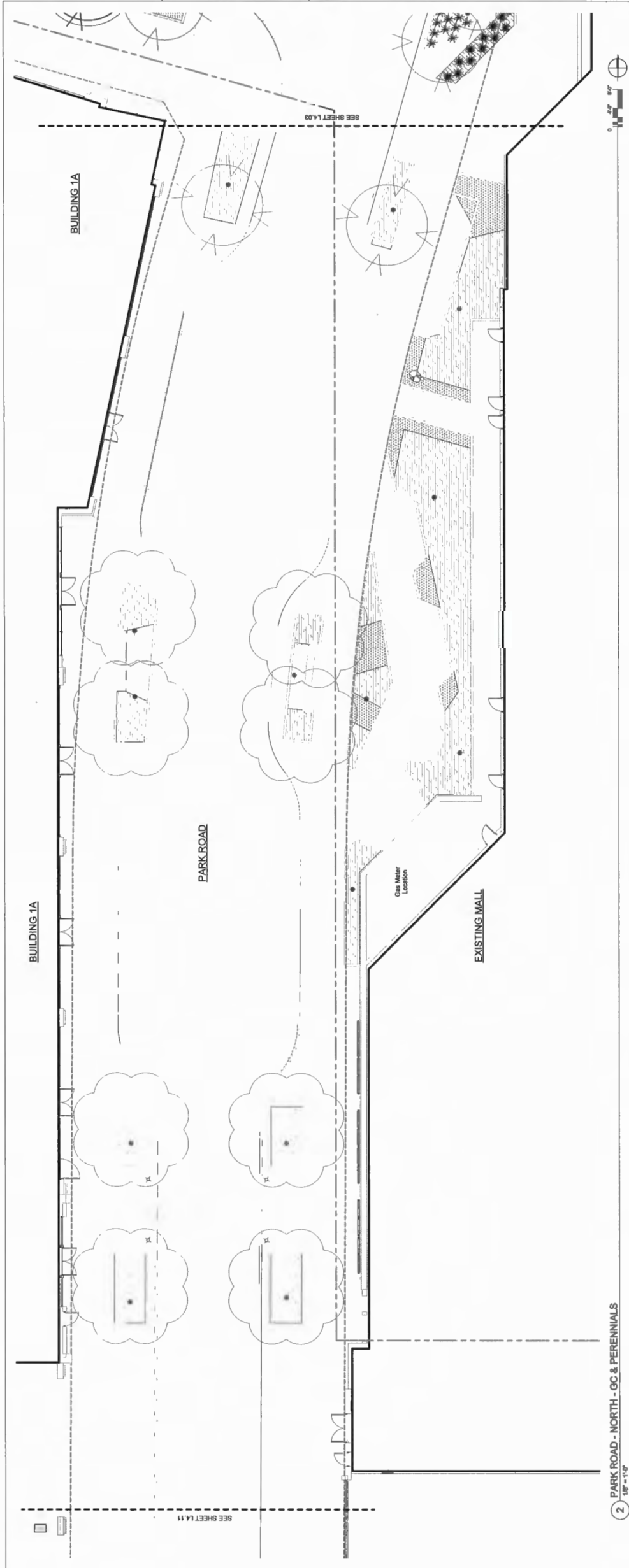
REVISIONS		Description
No.	Date	
1	2017-03-31	Development/ Permit Application
2	2017-09-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-26	Progress for Picking DP Application Rev. 2
5	2018-08-02	DP Application Rev. 2
6	2018-03-20	DP Application Rev. 3
7	2019-04-28	DP Application Rev.3
8	2019-05-03	Progress for City Review DP Parcel Submittal







No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-04-08	30% Design Set
3	2019-03-29	Design Set Rev. 1
4	2018-04-06	DP Application Rev. 1
5	2018-05-02	DP Application Rev. 2
6	2018-05-02	DP Application Rev. 3
7	2018-04-26	DP Application Rev. 3
8	2019-05-03	DP Panel Submission



PLANTING NOTES

- 1. REFER TO CIVIL DRAWINGS FOR UTILITY INFORMATION.
- 2. REFER TO SHEETS L3.01 - L3.03 FOR SOIL DEPTHS AT ON-STRUCTURE PLANTER LOCATIONS. SEE L4.20 FOR TYPICAL PLANTER DETAILS.
- 3. PROVIDE 2" DEPTH OF COMPOST MULCH AT ALL PLANTED AREAS.
- 4. ALL PLANTED AREAS SHALL RECEIVE PERMANENT IRRIGATION.
- 5. ALL PLANTED AREAS SHALL RECEIVE PERMANENT IRRIGATION.
- 6. INTERIOR PLANTING BY OTHERS.



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REVISIONS	
No.	Date Description
1	2017-03-31 Development Permit Application
2	2017-03-29 City Approval
3	2018-03-29 DP Application Rev. 1
4	2018-04-08 DP Application Rev. 1
5	2018-03-29 DP Application Rev. 2
6	2018-03-30 DP Application Rev. 3
7	2019-04-26 DP Application Rev.3
8	2019-05-03 DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING SCHEDULE

DATE	2019-05-03
DRAWN BY	JAMK
CHECKED BY	JAMK
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87



MINORU BOULEVARD  
Planting Design Strategy



Liriodendron tulipifera 'Fastigiata'  
Columnar tulip tree



Ginkgo biloba 'Fastigiata'  
Columnar ginkgo



Magnolia virginiana  
Sweet Bay magnolia



Cornus 'Venus'  
Venus dogwood



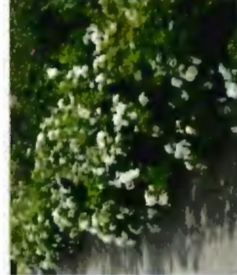
Magnolia grandiflora 'Little Gem'  
Little Gem magnolia



Taxus x media 'Hicksii'  
Little Gem magnolia



Clethra alnifolia 'Hummingbird'  
Hummingbird summersweet



Rosa x 'Noaschnee'  
Flower carpet groundcover rose



Anemone x hybrida 'Honorable Jobert'  
Honorable Jobert anemone



Hydrangea quercifolia 'Munchkin'  
Munchkin oakleaf hydrangea



Rhampholepis umbellata 'minor'  
Dwarf yeddo hawthorn



Rudbeckia fulgida 'Goldsturm'  
Yellow coneflower



Rosa floribunda 'Burgundy Ice'  
Burgundy Ice shrub rose



Pennisetum alopecuroides 'Little Bunny'  
Little Bunny Dwarf Fountain Grass



Prunus laurocerasus 'Mount Vernon'  
Mount Vernon laurel



Sophora japonica 'Regent'  
Regent Japanese pagoda



Populus tremuloides  
Quaking aspen



Ulmus 'Frontier'  
Frontier elm



Choisya ternata 'Sundance'  
Sundance Mexican orange



Prunus laurocerasus 'Mount Vernon'  
Mount Vernon laurel



Pennisetum alopecuroides 'Little Bunny'  
Little Bunny Dwarf Fountain Grass



Lilippe spicata  
Spreading lilac



Lonicera pileata  
Privet honeysuckle



Rosa 'Bonica'  
Shrub rose



GATEWAYS: MINORU GATE & NORTH-SOUTH ROAD

Planting Design Strategy



*Ulmus 'Frontier'*  
Frontier elm



*Populus tremuloides*  
Quaking aspen



*Amelanchier x grandiflora*  
Serviceberry



*Hydrangea paniculata* 'Baby lace'  
Baby lace hydrangea



*Lonicera pileata*  
Privet honeysuckle



*Pennisetum alopecuroides* 'Little Bunny'  
Little Bunny dwarf fountain grass



*Rhampholepis umbellata* 'minor'  
Dwarf yeddo hawthorn



*Pennisetum orientale* 'Karley Rose' —  
Karley Rose fountain grass



*Prunus laurocerasus* 'Mount Vernon'  
Mount Vernon laurel



*Rudbeckia fulgida* 'Goldsturm'  
Yellow coneflower



*Mahonia* 'Soft Caress'  
Soft Caress mahonia

GATEWAYS: MURDOCH ROAD

Planting Design Strategy



*Zelkova serrata*  
Japanese zelkova



*Liriodendron tulipifera* 'Fastigiat'  
Columnar tulip tree



*Calamagrostis x acutiflora* 'Karl Foerster'  
Feather reed grass



*Carex pensylvanica*  
Sedge



*Rhampholepis umbellata* 'minor'  
Dwarf yeddo hawthorn

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REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 City Council Review
3	2018-03-29 DP Application Rev. 1 Progress for Phasing
4	2018-04-26 DP Application Rev. 1 Progress for Phasing
5	2018-04-26 DP Application Rev. 2 Progress for City Review
6	2018-03-20 DP Application Rev. 3 Progress for City Review
7	2018-04-26 DP Application Rev. 3 Progress for City Review
8	2018-05-03 DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING PLAN - PLANT  
MATERIAL PHOTO  
EXAMPLES

DATE	2019-05-03
DRAWN BY	RAMC
CHECKED BY	JMKC
SCALE	
JOB NUMBER	1686-87



CENTRAL PLAZA

Planting Design Strategy



*Ulmus parvifolia* 'Emer II'  
Allee elm



*Ginkgo biloba* 'Fastigiata'  
Columnar ginkgo



*Acer rubrum* 'Karpisck'  
Karpick red maple



*Choisya ternata* 'Sundance'  
Sundance Mexican orange



*Miscanthus sinensis* 'Yaku Jima'  
Dwarf maiden grass



*Rosa* 'Bonica'  
Shrub rose



*Senecio greyi*  
Daisybush



*Hydrangea paniculata* 'Baby lace'  
Baby lace hydrangea



*Euphorbia amygdaloides* var. *robbiae*  
Mrs. Robbins bonnet



*Carex divulca*  
Berkeley sedge



*Lonicera pileata*  
Privet honeysuckle



*Spirea japonica* 'Goldmound'  
Goldmound spirea



*Spirea japonica* 'Goldmound'  
Goldmound spirea

PARK ROAD

Planting Design Strategy



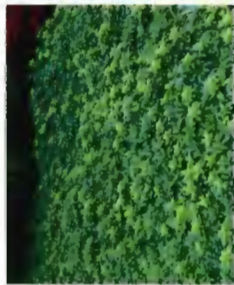
*Zelkova serrata*  
Japanese zelkova



*Liriodendron tulipifera* 'Fastigiata'  
Columnar tulip tree



*Hypericum androsaemum* 'Golden Tutsan'  
Golden Tutsan



*Pachysandra terminalis*  
Japanese spurge



*Mahonia* 'Soft Caress'  
Soft Caress mahonia



*Linopoe muscari* 'Royal Purple'  
Royal Purple lilyturf



*Spirea japonica* 'Goldmound'  
Goldmound spirea

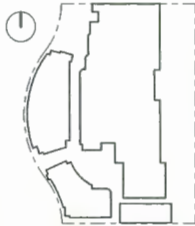


*Rhaphiolepis umbellata* minor  
Dwarf yeddo hawthorn

gbl

4000 SHEPPARD AVENUE EAST  
SUITE 100  
VANCOUVER, BC CANADA V7T 1V7  
TEL: 604 278 1234  
FAX: 604 278 1235

NOTES



PFS STUDIO  
HEWITT

DP 17-768248

MAY 29, 2019

PLAN #5e-21



Gabriel Mackinnon

REVISIONS			Description
No.	Date		
1	2017-03-31		Development Permit Application
2	2017-08-08		30% Design Set
3	2018-03-29		DP Application Rev. 1
			Progress for Pricing
4	2018-04-06		DP Application Rev. 1
5	2018-04-06		DP Application Rev. 2
6	2019-03-20		DP Application Rev. 3
			Progress for City Review
7	2019-04-26		DP Application Rev.3
			Progress for City Review
8	2019-05-03		DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING PLAN - PLANT  
MATERIAL PHOTO

EXAMPLES	DATE	CHECKED BY	SCALE	JOB NUMBER
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Gabriel Mackinnon

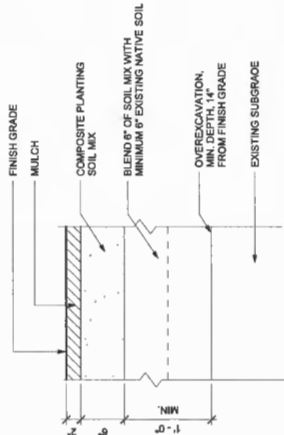
REVISIONS

No.	Date	Description
1	2017-03-31	Development Permit
2	2017-04-08	Application
3	2018-03-19	30% Design Soil
4	2018-04-06	Program for Pricing
5	2018-05-02	DP Application Rev. 1
6	2018-05-02	DP Application Rev. 2
7	2018-05-02	DP Application Rev. 3
8	2019-05-03	DP Application Rev.3
9	2019-05-03	Program for City Review
10	2019-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PLANTING DETAILS

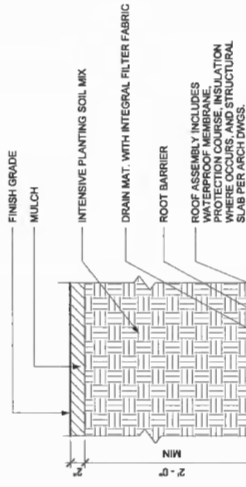
DATE	2019-05-03
CHECKED BY	gbl
SCALE	As Noted
JOB NUMBER	1686-87



NOTES:  
1. AT TREES, ENSURE COMPOSITE SOIL INSTALLED TO 8" BELOW DEPTH OF ROOTBALL AND FOR FULL WIDTH OF PIT (2X ROOTBALL Ø).  
2. ALL COMPACTED SOIL MUST BE TILLED AT LEAST 8" THIS INCLUDES SOIL THAT HAS EXPERIENCED VEHICULAR LOADING AFTER SOIL HAS BEEN INSTALLED.

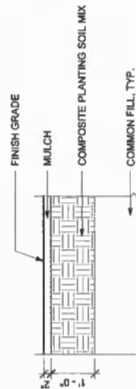
3 SOIL PREPARATION - PLANTED AREAS ON GRADE

NOTE: 30" DEPTH AT TREE LOCATIONS, EXTENTS OF 30" SOIL DEPTHS TO MATCH 24"



NOTES:  
1. AT TREES, ENSURE COMPOSITE PLANTING SOIL INSTALLED TO 8" BELOW DEPTH OF ROOTBALL (Ø) MIN. DEPTH AND FOR FULL PLANTING WIDTH OF PIT (Ø-Ø').  
2. ALL COMPACTED SOIL MUST BE TILLED AT LEAST 8" THIS INCLUDES SOIL THAT HAS EXPERIENCED VEHICULAR LOADING AFTER SOIL HAS BEEN INSTALLED.

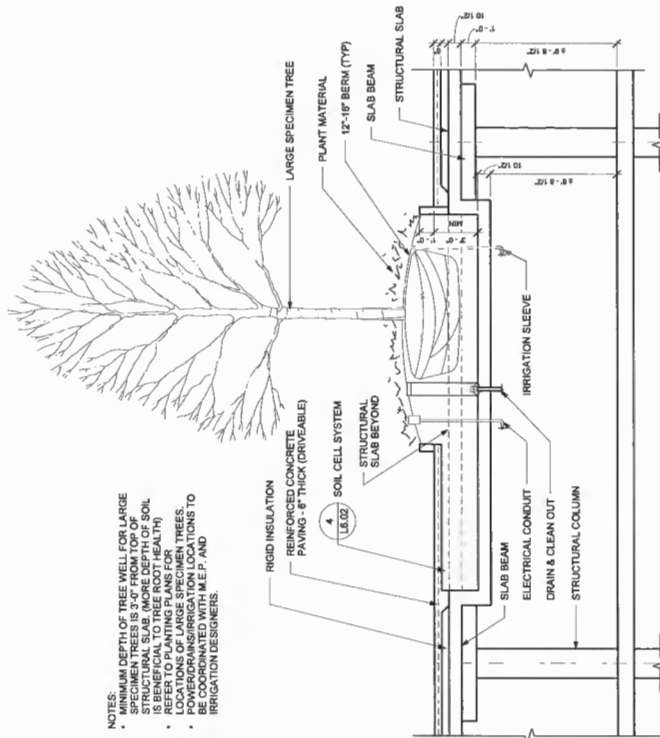
2 SOIL PREPARATION - OVER STRUCTURE



NOTES:  
1. AT TREES, ENSURE COMPOSITE SOIL INSTALLED TO 8" BELOW DEPTH OF ROOTBALL AND FOR FULL WIDTH OF PIT (2X ROOTBALL Ø).  
2. ALL COMPACTED SOIL MUST BE TILLED AT LEAST 8" THIS INCLUDES SOIL THAT HAS EXPERIENCED VEHICULAR LOADING AFTER SOIL HAS BEEN INSTALLED.

1 SOIL PREPARATION - PLANTED AREAS AT COMMON FILL

NOTES:  
1. MINIMUM DEPTH OF TREE WELL FOR LARGE SPECIMEN TREES IS 3'-0" FROM TOP OF STRUCTURAL SLAB (MORE DEPTH OF SOIL REQUIRED FOR TREES WITH DEPTH > 10').  
2. REFER TO PLANTING PLANS FOR SPECIFIC LOCATIONS OF LARGE SPECIMEN TREES.  
3. ALL TREE WELLS SHALL BE INSTALLED TO BE COORDINATED WITH M.E.P. AND IRRIGATION DESIGNERS.



4 PLANTING WELL FOR LARGE SPECIMEN TREE





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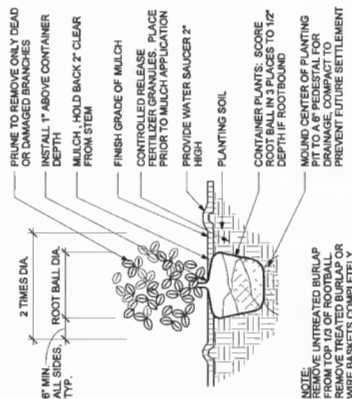
REVISIONS

No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-04-08	30% Design Set
3	2018-05-23	Development Permit Application
4	2018-04-06	DP Application Rev. 1
5	2018-04-06	DP Application Rev. 2
6	2018-05-23	DP Application Rev. 3
7	2019-04-26	DP Application Rev. 3
8	2019-05-03	DP Panel Submission

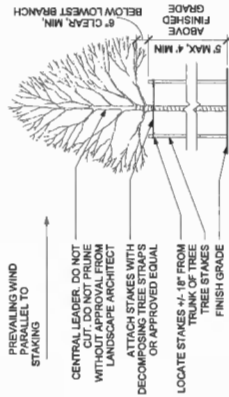
RICHMOND  
CENTRE PHASE 1

PLANTING DETAILS

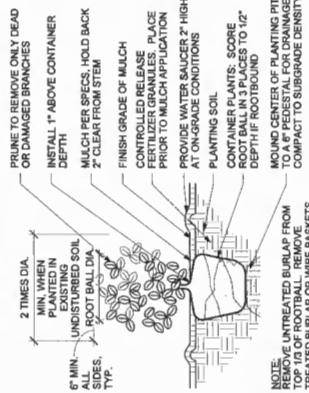
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DRAWN BY	JBH
CHECKED BY	AM
SCALE	As Indicated
JOB NUMBER	1686-87



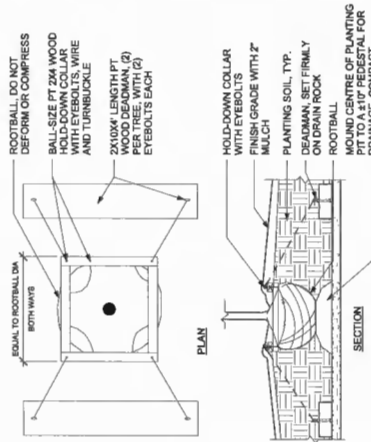
8 SHRUB PLANTING ON STRUCTURE



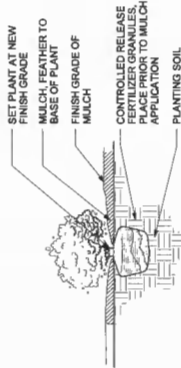
7 DECIDUOUS TREE STAKING



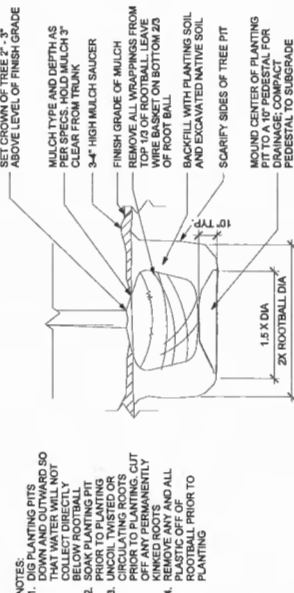
6 SHRUB PLANTING ON GRADE



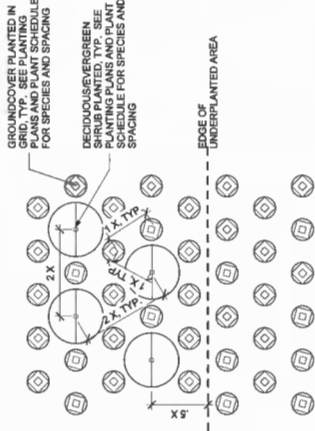
5 TREE SUPPORT ON STRUCTURE



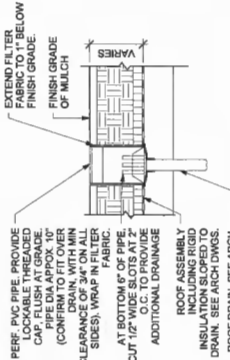
10 GROUND COVER PLANTING



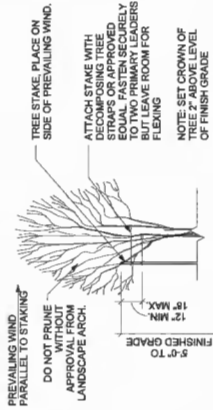
9 TREE PLANTING



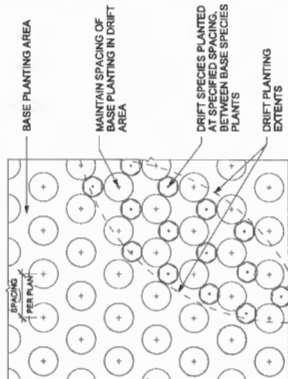
4 TYPICAL SHRUB UNDERPLANTING



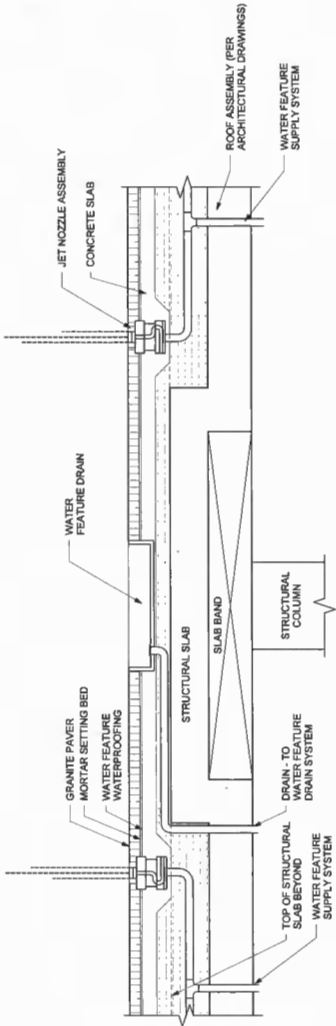
3 DRAIN CLEANOUT AT PLANTER ON STRUCTURE



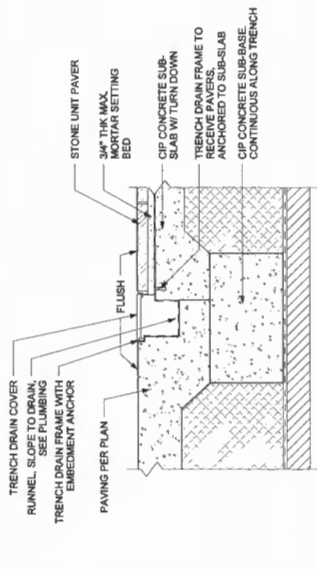
2 MULTI-STEM TREE STAKING



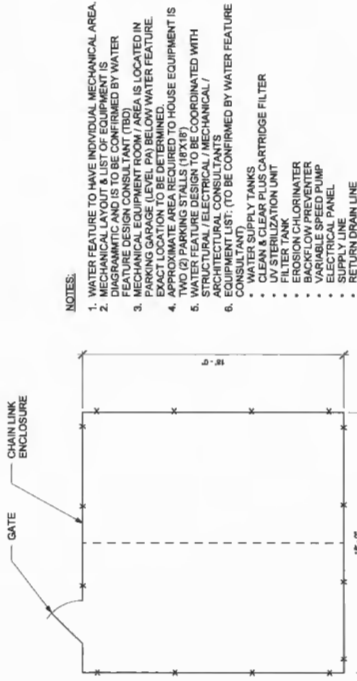
1 DRIFT PLANTING DIAGRAM



2 MAJOR FEATURE WATER JET

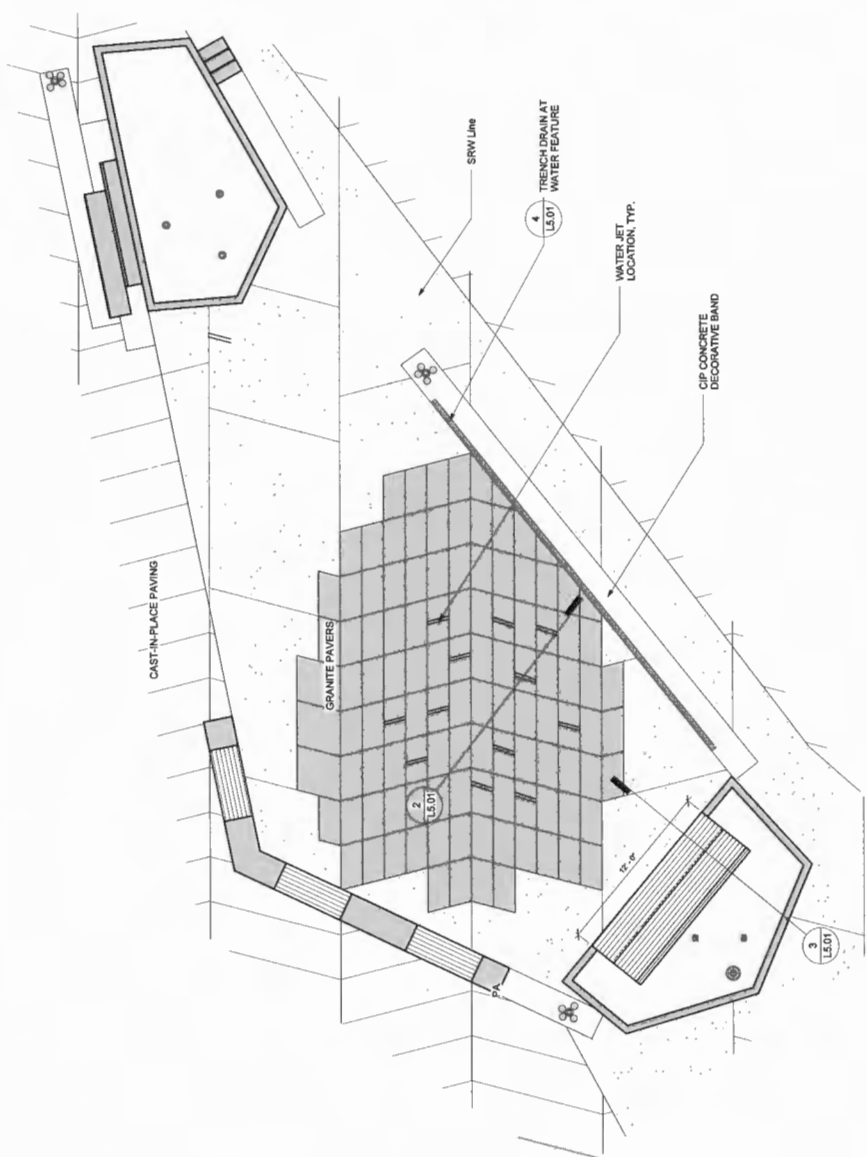


4 TRENCH DRAIN AT WATER FEATURE  
1 1/2\"/>

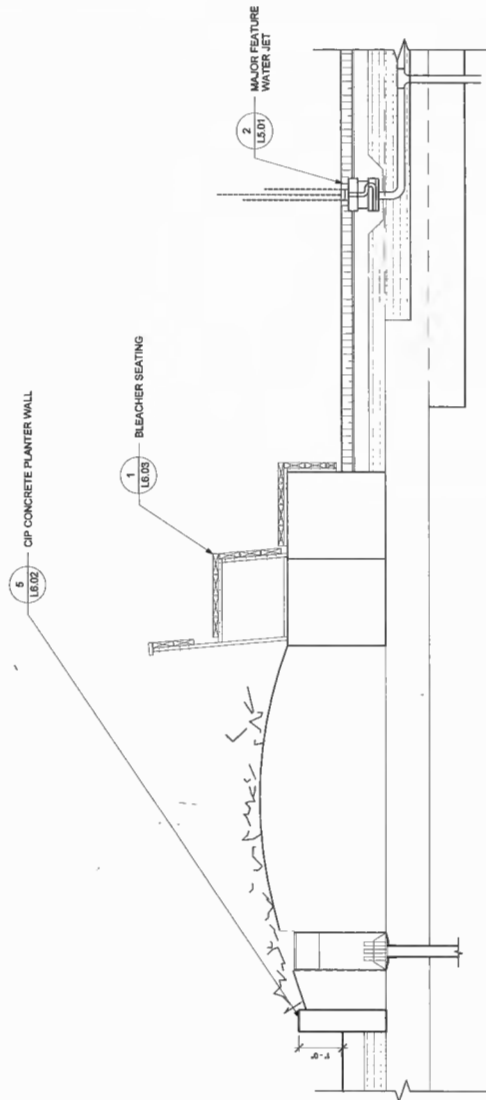


5 WATER FEATURE MECHANICAL AREA DIAGRAM - TYP.  
1/4\"/>

- NOTES:
1. WATER FEATURE TO HAVE INDIVIDUAL MECHANICAL AREA.
  2. MECHANICAL LAYOUT & LIST OF EQUIPMENT IS PROVIDED BY THE CLIENT AND SHALL BE REVIEWED BY WATER FEATURE CONSULTANT.
  3. MECHANICAL EQUIPMENT ROOM / AREA IS LOCATED IN PARKING GARAGE (LEVEL PA) BELOW WATER FEATURE.
  4. APPROXIMATE AREA REQUIRED TO HOUSE EQUIPMENT IS TWO (2) PARKING STALLS (10'X12').
  5. EQUIPMENT SHALL BE COORDINATED WITH ARCHITECTURAL / ELECTRICAL / MECHANICAL / CONSULTANT.
  6. CONSULTANT:
  - WATER SUPPLY TANKS
  - WATER SUPPLY PIPING
  - INTRIDGE FILTER
  - FILTER TANK
  - BACKFLOW PREVENTER
  - VARIABLE SPEED PUMP
  - ELECTRICAL PANEL
  - SUPPLY LINE
  - RETURN DRAIN LINE



1 ENLARGED PLAZA WATER FEATURE PLAN  
1/4\"/>



3 SPRAY FOUNTAIN BENCH SECTION  
3/4\"/>



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REVISIONS

No.	Date	Description
1	2017-03-31	Development Permit
2	2017-03-31	Application
3	2017-03-31	DP Application Rev. 1
4	2017-03-31	DP Application Rev. 2
5	2017-03-31	DP Application Rev. 3
6	2017-03-31	DP Application Rev. 4
7	2017-03-31	DP Application Rev. 5
8	2017-03-31	DP Application Rev. 6

RICHMOND  
CENTRE PHASE 1

WATER FEATURE  
DIAGRAMS

DATE	2019-05-03
DRAWN BY	JB
CHECKED BY	JB
SCALE	As Indicated
JOB NUMBER	1686-87

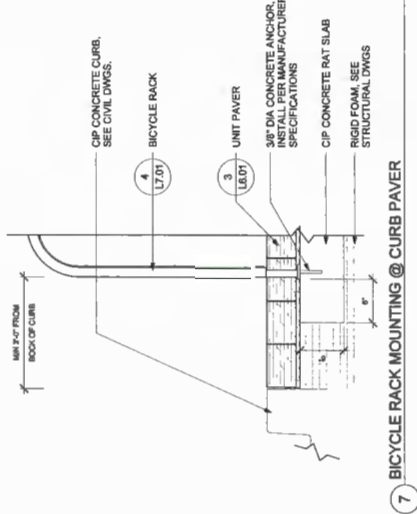
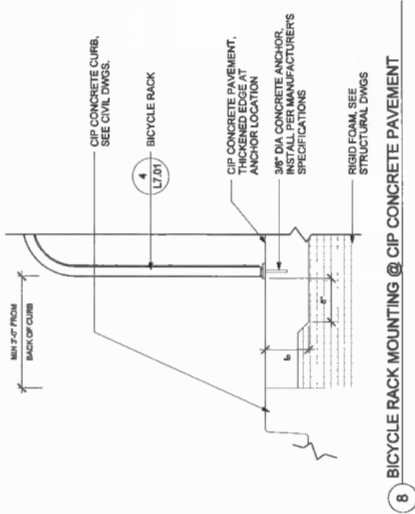
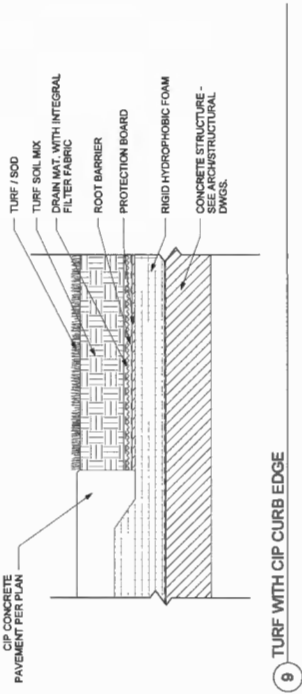
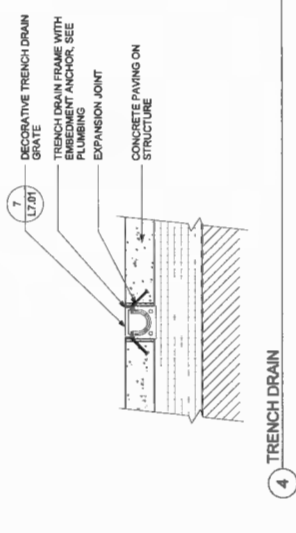
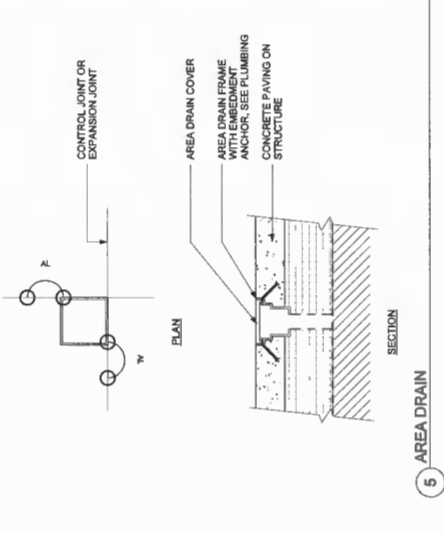
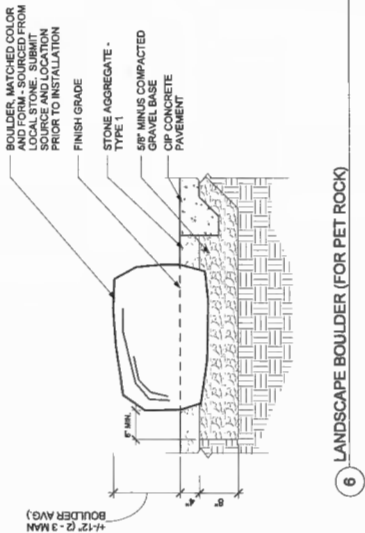
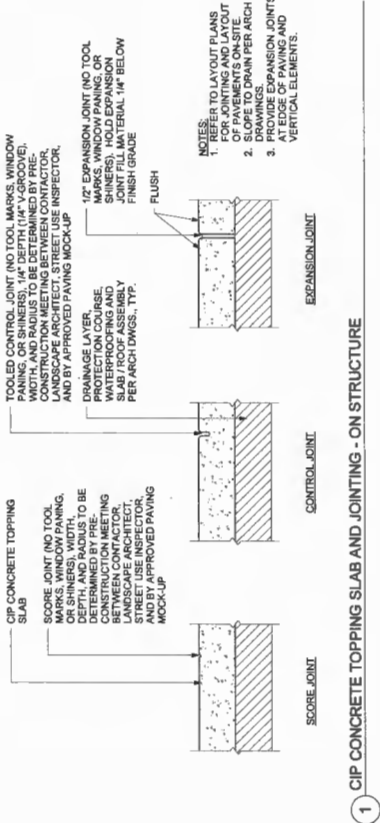
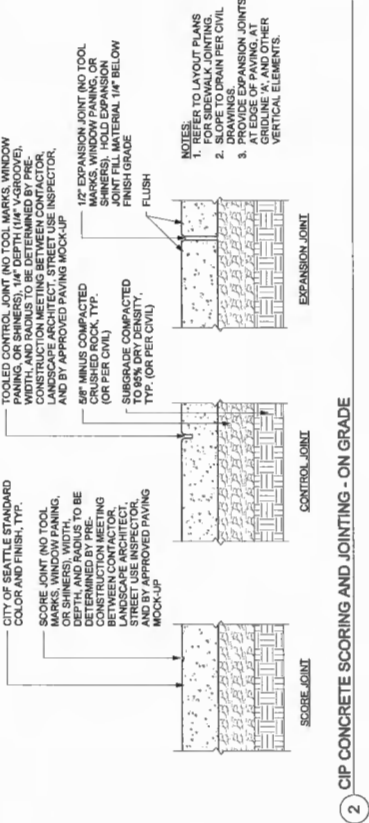
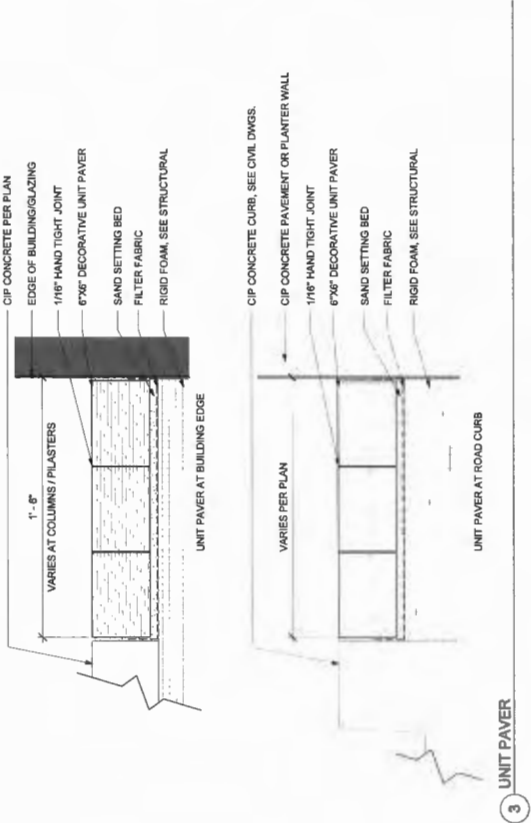


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REVISIONS	
No.	Description
1	2017-03-31 Development Permit
2	2017-05-09 Application
3	2017-05-09 DP Application Rev. 1
4	2018-05-29 DP Application Rev. 1
5	2018-05-29 DP Application Rev. 1
6	2018-05-29 DP Application Rev. 1
7	2019-04-26 DP Application Rev.3
8	2019-05-03 DP Panel Submission

RICHMOND  
CENTRE PHASE 1

DETAILS	
DATE	2019-05-03
DRAWN BY	AS
CHECKED BY	AS
SCALE	AS SHOWN
JOB NUMBER	1686-87







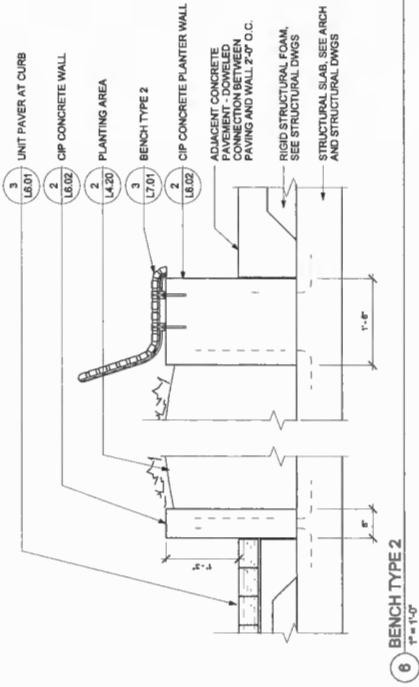
Gabriel Mackinnon

REVISIONS	
No.	Date
1	2017-03-31
2	2017-05-09
3	2018-02-28
4	2018-04-08
5	2018-05-20
6	2018-05-20
7	2019-04-28
8	2019-05-03

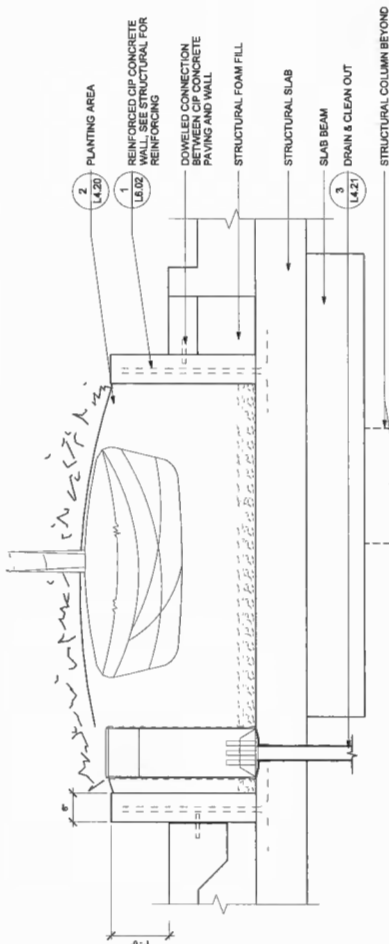
RICHMOND  
CENTRE PHASE 1

DETAILS

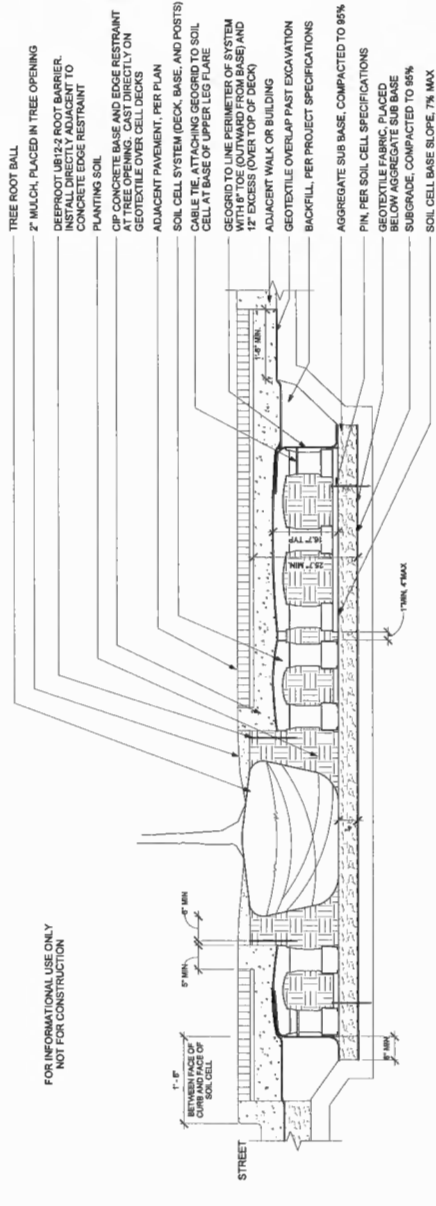
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DRAWN BY	AM
CHECKED BY	AM
SCALE	As Indicated
JOB NUMBER	1686-87



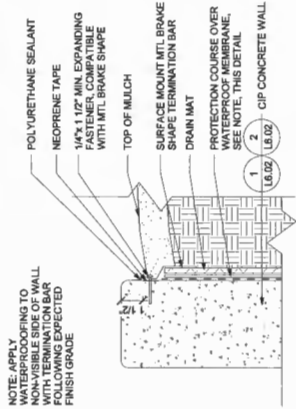
6 BENCH TYPE 2  
1" = 1'-0"



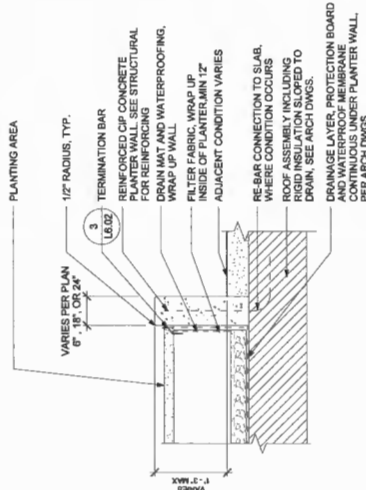
5 RAISED PLANTER ASSEMBLY  
1" = 1'-0"



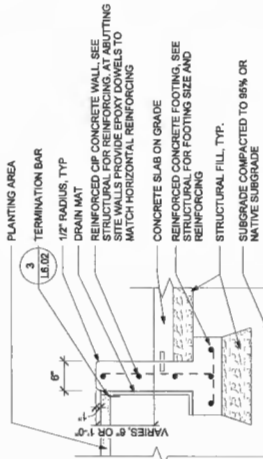
4 SOIL CELL SYSTEM  
1" = 1'-0"



3 CIP CONCRETE WALL - TERMINATION BAR  
3" = 1'-0"



2 CIP CONCRETE WALL ON STRUCTURE  
1" = 1'-0"



1 CIP CONCRETE WALL ON GRADE  
1" = 1'-0"



Gabriel Mackinnon

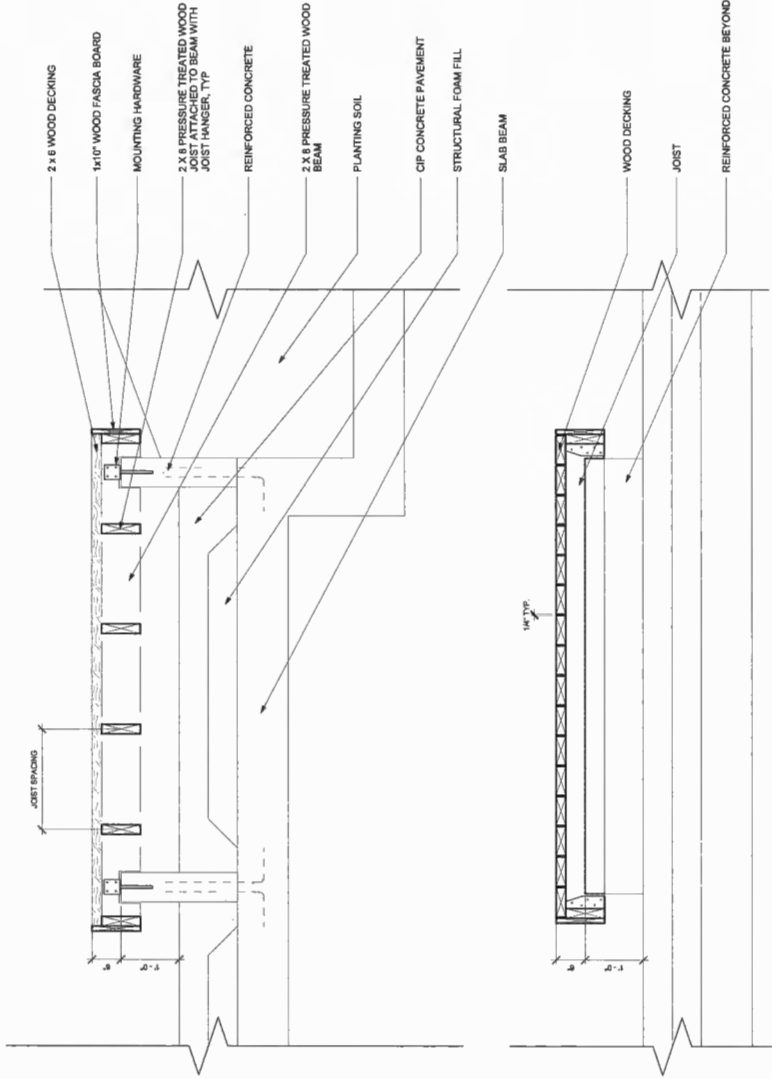
REVISIONS

No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-06-06	City Design Rev. 1
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	DP Application Rev. 1
5	2018-04-06	DP Application Rev. 2
6	2018-05-29	DP Application Rev. 3
7	2018-04-26	DP Application Rev.3
8	2019-05-03	DP Panel Submittal

RICHMOND  
CENTRE PHASE 1

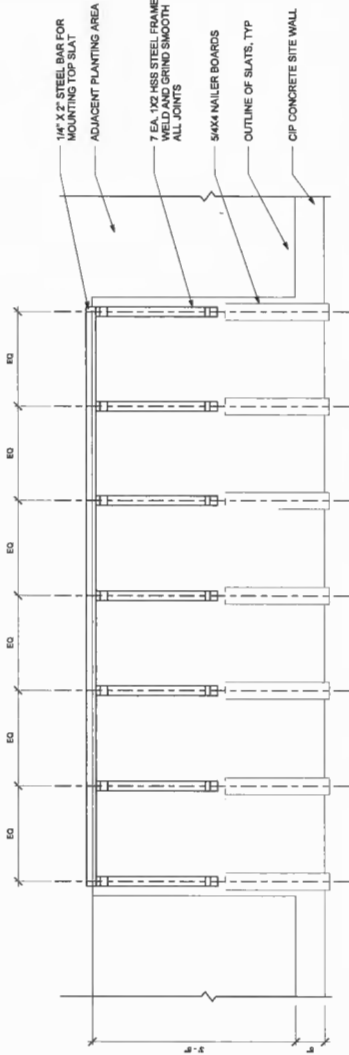
DETAILS

DATE	2019-05-03
DRAWN BY	JM
CHECKED BY	JM
SCALE	1" = 1'-0"
JOB NUMBER	1686-87

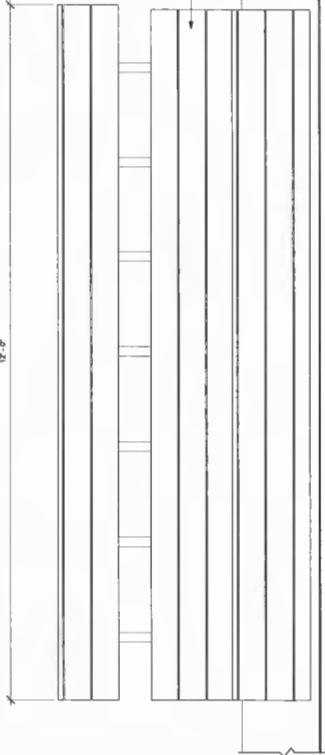


2 BENCH TYPE 5 - PLATFORM SEATING  
1" = 1'-0"

- NOTES:
1. PROVIDE SHOP DRAWINGS PRIOR TO FABRICATION
  2. ALL MILLER BOARDS TO BE PT LUMBER, TYP.
  3. ALL MILLER BOARDS TO BE PT LUMBER, TYP.
  4. 14" SPACING BETWEEN SLAT BOARDS, TYP.
  5. ALL SLATS TO BE ATTACHED TO FRAME OR MILLER BOARD, TYP.
  6. BASE ALL EDGES OF STEEL FRAME

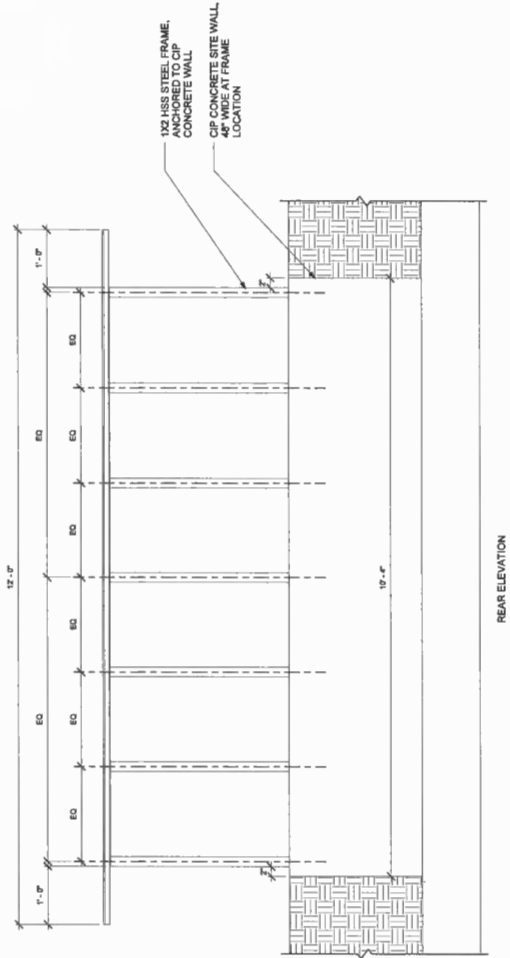


FRAMING PLAN

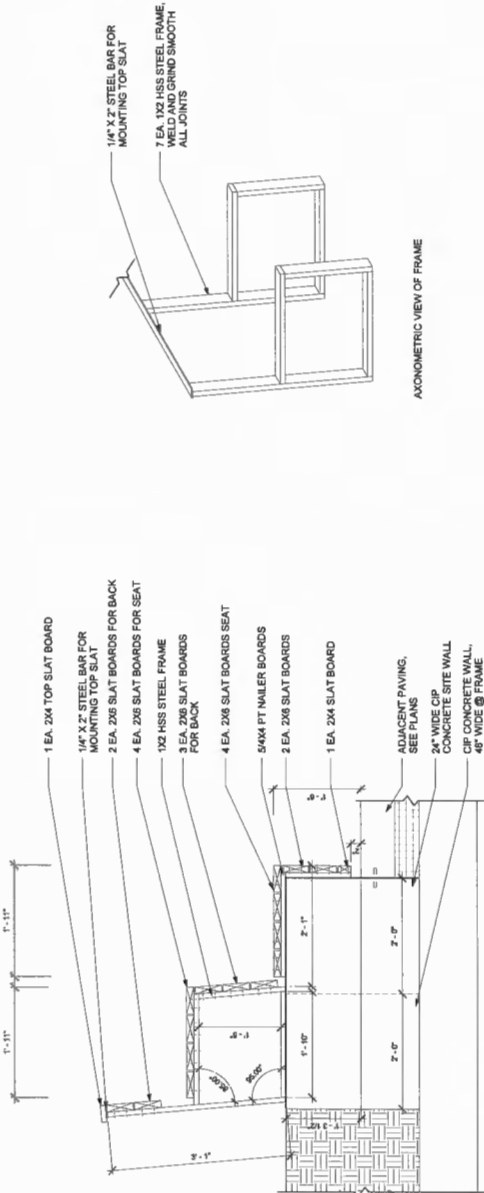


FRONT ELEVATION

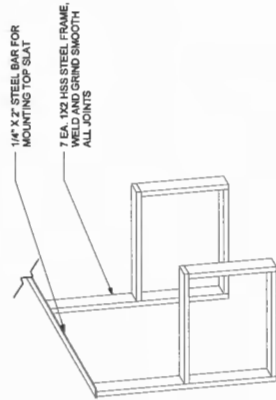
1 BENCH TYPE 4 - BLEACHER SEATING  
1" = 1'-0"



REAR ELEVATION



SECTION



AXONOMETRIC VIEW OF FRAME









Gabriel Mackinnon

REVISIONS	
No.	Date
1	2017-03-31
2	2017-05-08
3	2018-02-29
4	2018-04-08
5	2018-05-02
6	2018-05-20
7	2019-04-29
8	2019-05-03

RICHMOND  
CENTRE PHASE 1

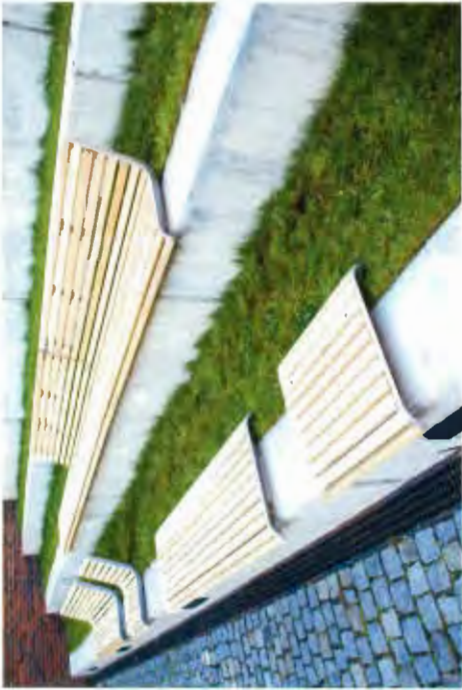
SITE FURNISHINGS (PRODUCT CUT SHEETS)	
DATE	2019-05-03
DRAWN BY	JB
CHECKED BY	AM
SCALE	As Noted
JOB NUMBER	1686-87



6 WOOD BENCHES  
3'6" x 1'-0"



5 ESCOFET BENCHES  
3'6" x 1'-0"



4 CONCRETE LEDGE WITH WOOD SEATING  
1'6" x 1'-0"



7 GEOMETRIC SEATING  
3'6" x 1'-0"



3 SOFT BUILDING BLOCKS  
1'2" x 1'-0"



2 PARK LUXEMBOURG CHAIRS  
1'4" x 1'-0"



1 BISTRO CHAIRS  
3'6" x 1'-0"



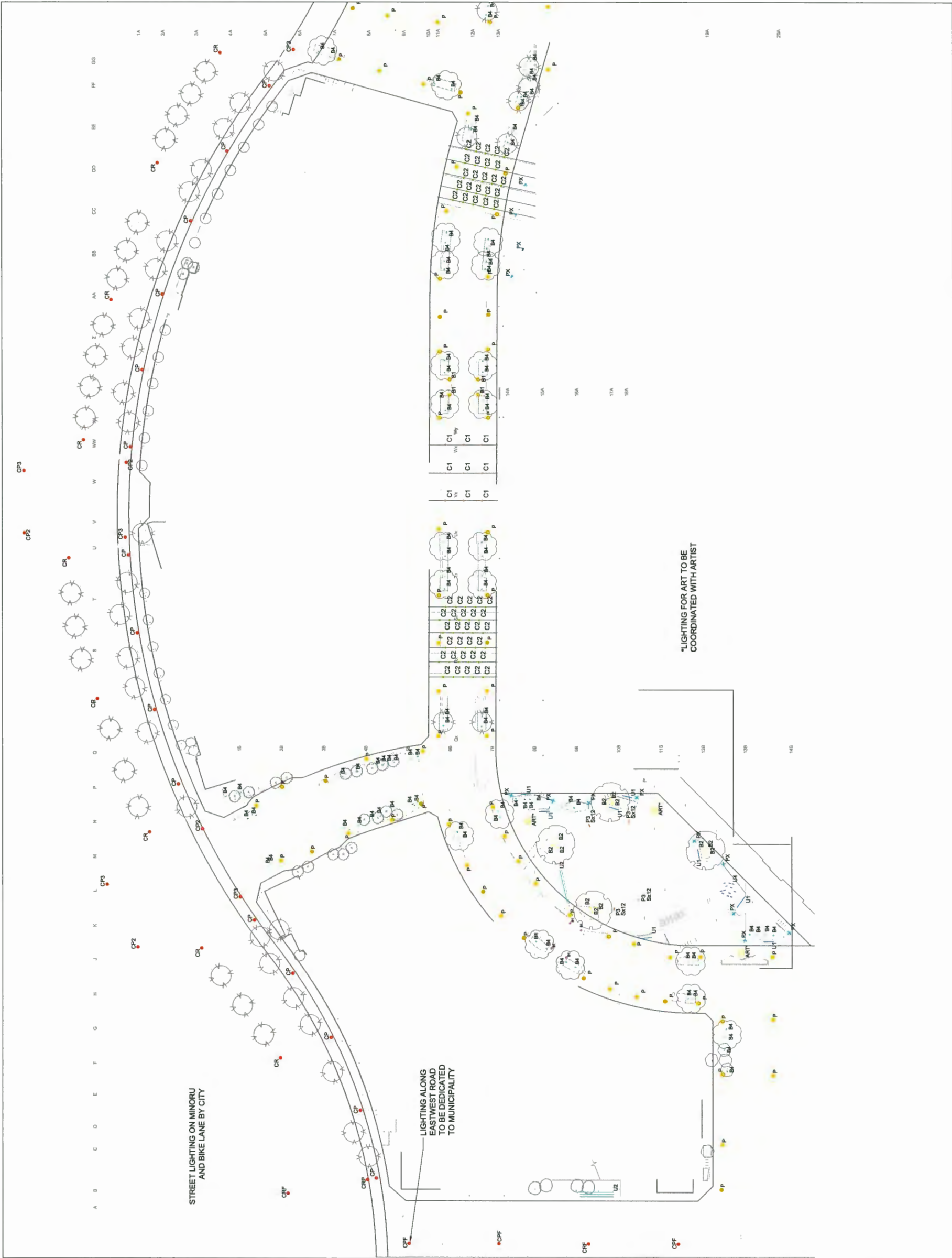
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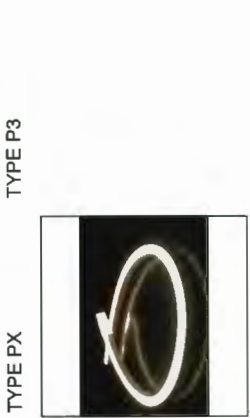
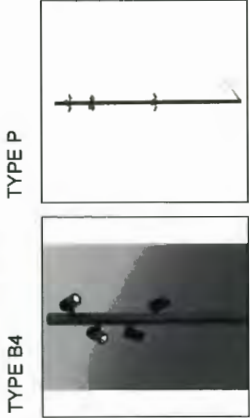
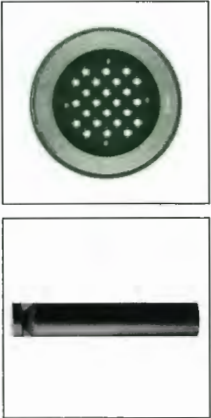
REVISIONS	No. Date	Description
1	2017-03-31	Development Permit Application
2	2017-06-08	30% Design Set
3	2018-05-29	DP Application Rev. 1
4	2018-06-06	Progress for Pricing
5	2018-06-06	DP Application Rev. 1
6	2018-06-06	DP Application Rev. 2
6	2018-03-30	DP Application Rev. 3 Progress for City Review
7	2019-04-26	DP Application Rev. 3 Progress for City Review
8	2018-05-03	DP Permit Submission

## LIGHTING LAYOUT

GM.01



PLAZA  
LIGHTING LAYOUT



TYPE U1 U2 U3 U4



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-09	DP Design Set
	3	2018-03-29	DP Application Rev. 1 Program for Planning
	4	2018-04-06	DP Application Rev. 1
	5	2018-04-02	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3 Program for City Review
	7	2018-04-26	DP Application Rev. 3 Program for City Review
	8	2019-05-03	DP Panel Submission

PLAZA LIGHTING LAYOUT	DATE	DRAWN BY	CHECKED BY	SCALE	JOB NUMBER
	04/29/19	GA	GA	1:1	1686-87



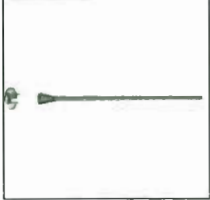
PLAZA  
LIGHTING



TYPE B1 - BOLLARDS



TYPE B4 - TREE UPLIGHTING



TYPE P - PEDESTRIAN SCALE LIGHT



TYPE P3 - FEATURE EVENT LIGHTING



TYPE PX - PLAZA WALKTHROUGH PATH



TYPE U1 - UNDERBENCH



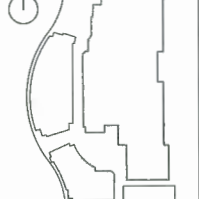
TYPE U4



gbl

G.B. ARCHITECTS INC.  
785 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V6T 1M6 FAX 604 773 0876

NOTES



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HEWITT

DP 17-768248

MAY 29, 2019

PLAN #5i.03



Gabriel Mackinnon

REVISONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-09	DP Application Rev. 1	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	Programs for Pricing	
5	2018-04-06	DP Application Rev. 2	
6	2018-03-30	DP Application Rev. 3	
7	2019-04-26	Programs for City Review	
8	2019-05-03	Programs for City Review	
		DP Permit Submission	

RICHMOND  
CENTRE PHASE 1

PLAZA LIGHTING

DATE	06/27/19
DRAWN BY	R.M.
CHECKED BY	A.M.
SCALE	
JOB NUMBER	1686-87

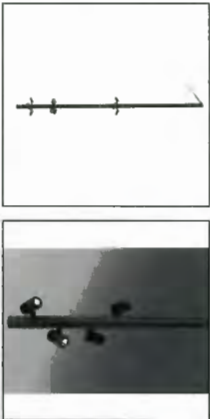
GM.03



LIGHTING ELEMENTS  
PLAZA



TYPE B1



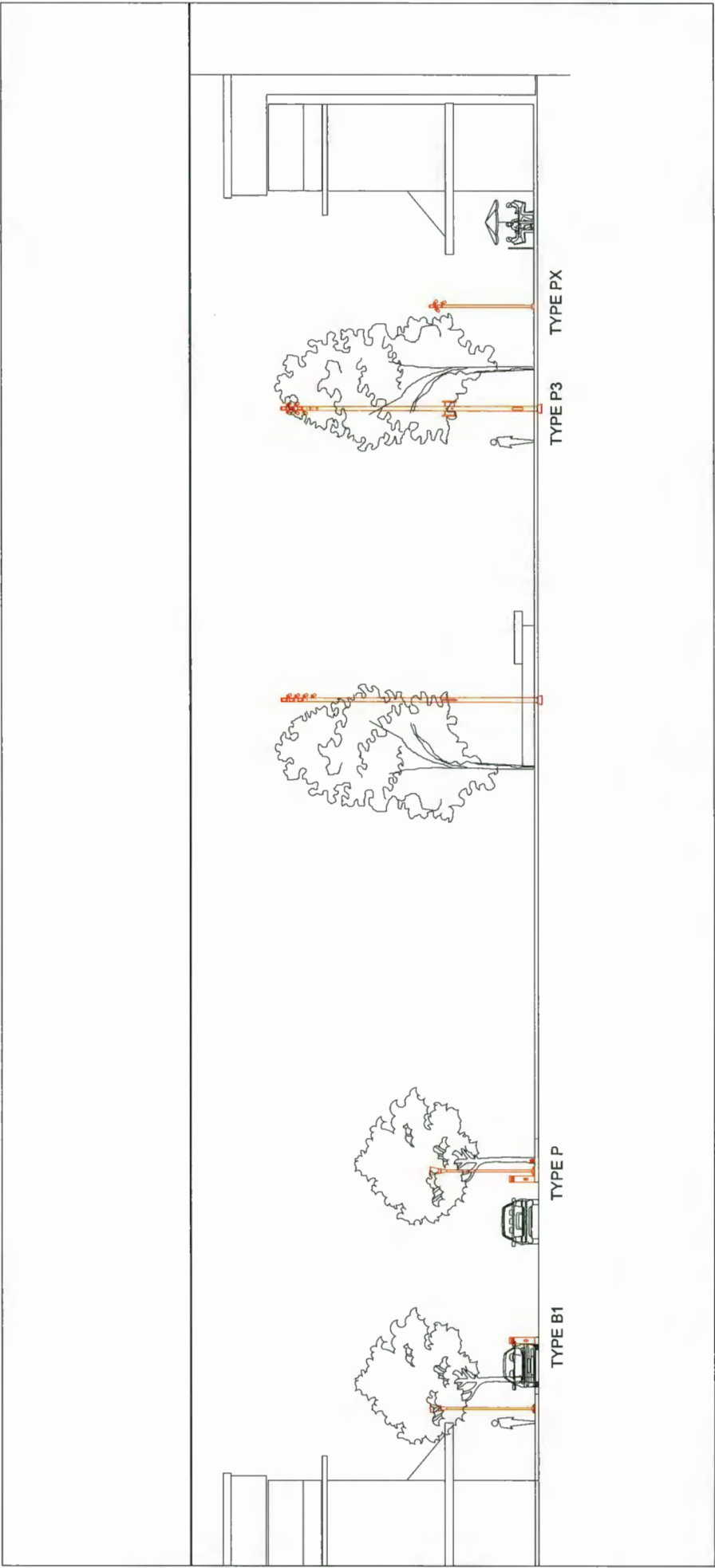
TYPE PX



TYPE P

TYPE P

TYPE P3



gbl

GABRIEL MACKINNON INC.  
100 WEST 1ST AVENUE  
VANCOUVER, BC CANADA V6T 1W6 TEL: 604 781 1199  
FAX: 604 781 0279

NOTES



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ARCHITECTURE + INTERIOR DESIGN + LANDSCAPE ARCHITECTURE

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DP 17-768248

MAY 29, 2019

PLAN #5i.04



Gabriel Mackinnon

REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-08	50% Design Set
	3	2018-05-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-04-06	DP Application Rev. 2
	6	2018-05-02	DP Application Rev. 3
	7	2019-03-20	Progress for City Review
	8	2019-05-03	DP Permit Submission

RICHMOND  
CENTRE PHASE 1

LIGHTING ELEMENTS  
PLAZA

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

1686-87

GM.04



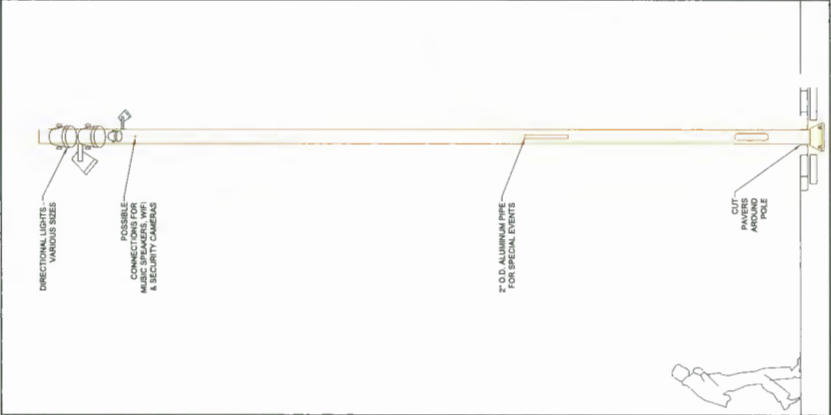
TYPE P



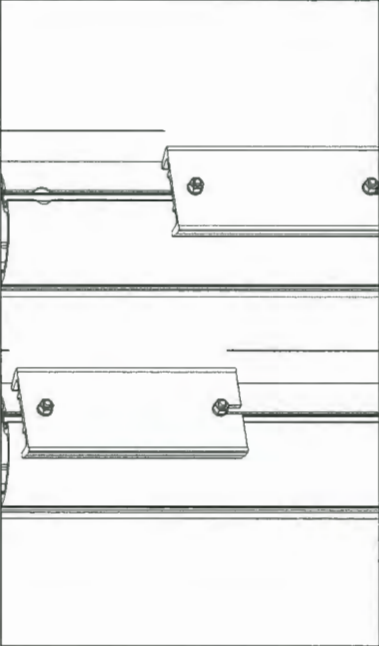
TYPE PX



LIGHTING ELEMENTS  
PLAZA - TALL POLE DETAILS



SMART POLE DETAILS



ACCESSORIES CAN BE MOVED UP AND DOWN / ADDED AND RE-MOVED USING BUILT IN EXTRUSION CHANNELS



PLAZA POLES CAN INCORPORATE SECURITY CAMERAS (ILLUSTRATED ABOVE) AS WELL AS WIFI EQUIPMENT AND MORE



POWER OUTLETS CAN BE INCORPORATED INTO THE POLES FOR PEDESTRIAN USE OR FOR EVENTS



EXAMPLE FLOODLIGHTS MOUNTED TO POLES



EXAMPLE THEATRICAL STYLE LIGHTING FIXTURES CAN BE TEMPORARILY MOUNTED TO POLES

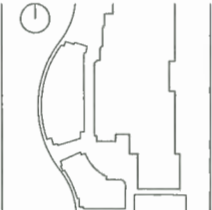


EXAMPLE SPEAKERS MOUNTED TO POLE



GABRIEL MACKINNON INC.  
750 EAST 17TH AVENUE  
VANCOUVER, BC CANADA V6L 1A6 TEL: 604 728 1188  
FAX: 604 721 8279  
WWW.GABRIELMACKINNON.COM

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DP 17-768248

MAY 29, 2019

PLAN #5i.05



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REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-05-29	DP Application Rev. 1
4	2018-04-08	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2018-05-20	DP Application Rev. 2
7	2019-04-26	DP Application Rev. 3
8	2019-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

LIGHTING ELEMENTS  
PLAZA - TALL POLE  
DETAILS

DATE	DRAWN BY	RAJ
CHECKED BY	RAJ	
SCALE		
JOB NUMBER		1886-87

GM.05



PRECEDENT IMAGE



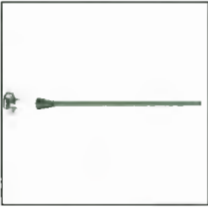
PRECEDENT IMAGE



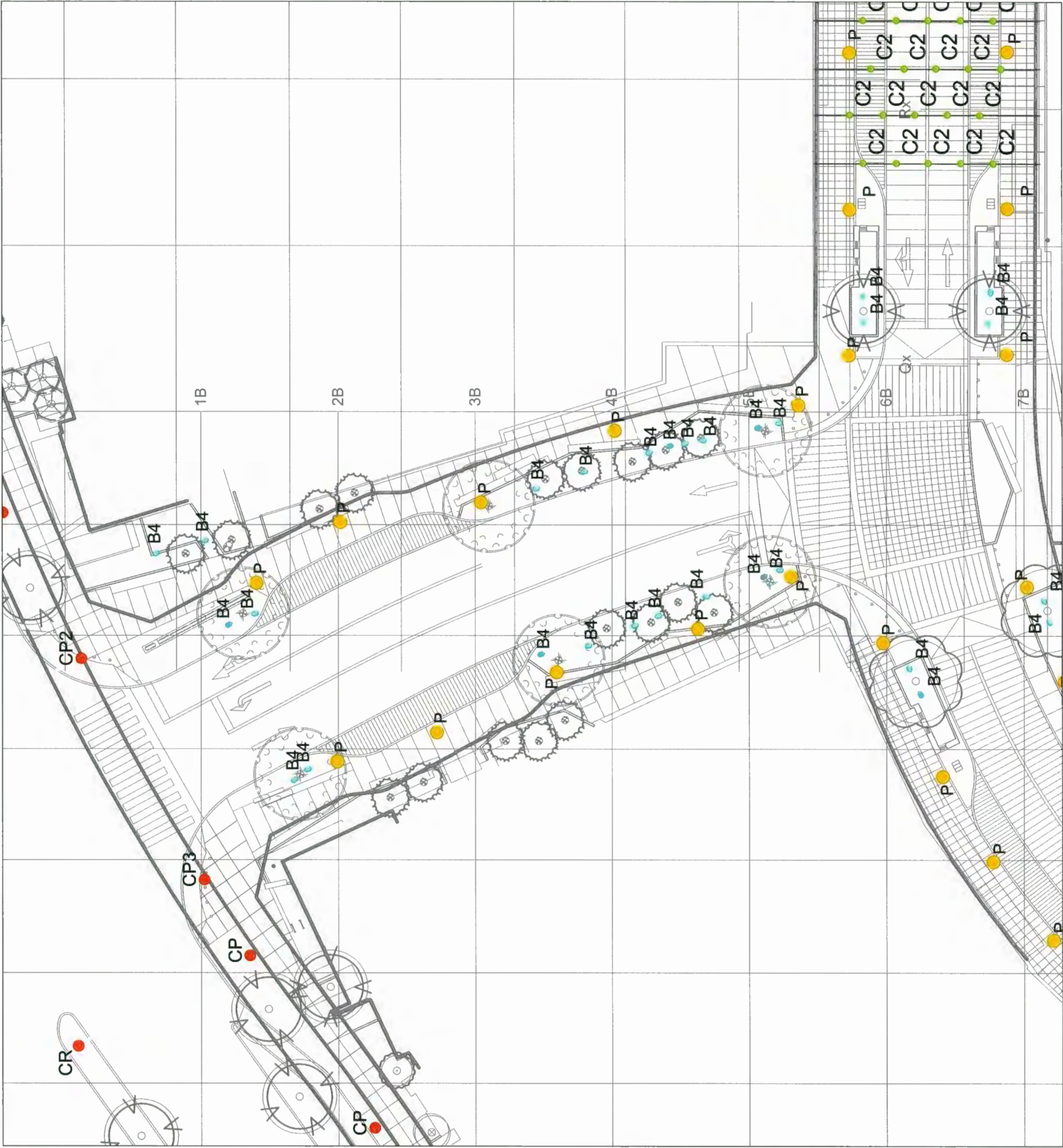
LIGHTING LAYOUT  
GATE DETAIL



TYPE B4



TYPE P



GABRIEL MACKINNON & ASSOCIATES LTD.  
1000 WEST 10TH AVENUE  
VANCOUVER, BC CANADA V6H 1M8 TEL: 604 726 1198  
FAX: 604 721 5279  
WWW.GMACKINNON.COM

NOTES



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ARCHITECTURE & LANDSCAPE ARCHITECTURE  
HEWITT  
DP 17-768248  
MAY 29, 2019  
PLAN #5i.06



Gabriel Mackinnon

REVISIONS	No.	Date	Description
	1	2017-03-31	Application
	2	2017-06-08	30% Design Set
	3	2018-03-25	DP Application Rev. 1
	4	2018-04-26	DP Application Rev. 1
	5	2018-04-26	DP Application Rev. 2
	6	2018-05-20	DP Application Rev. 3
	7	2018-04-26	Progress for City Review
	8	2019-05-03	Progress for City Review
	9	2019-05-03	DP Panel Submission

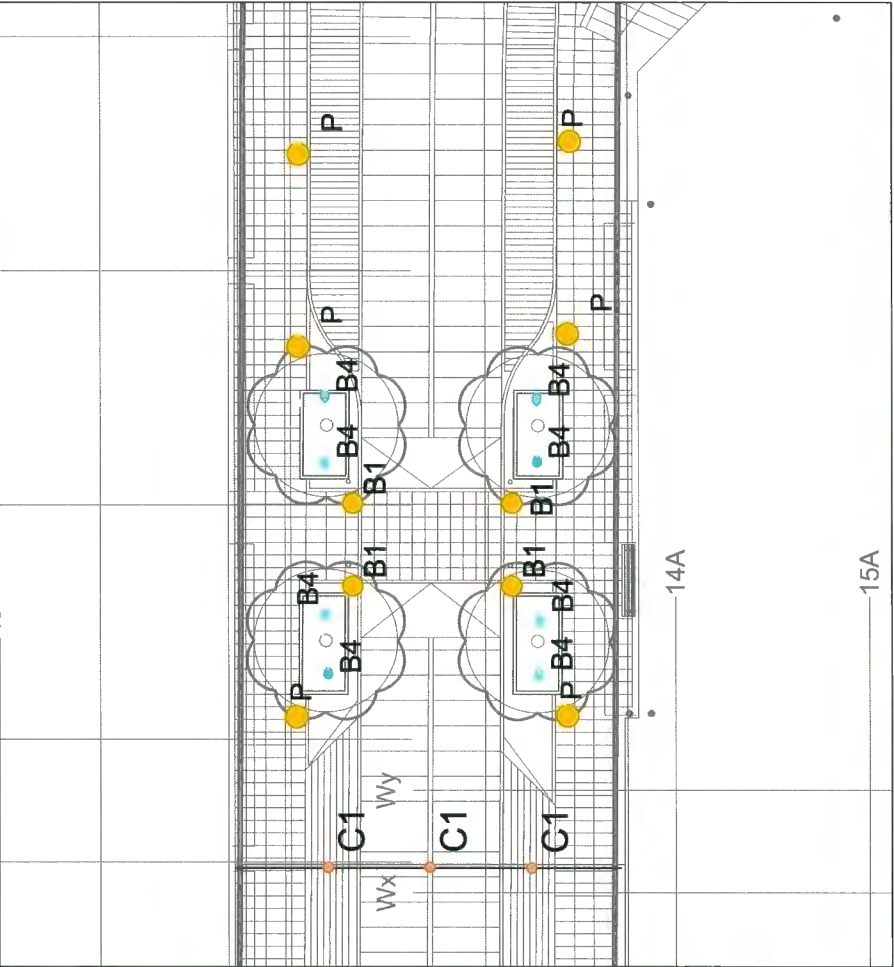
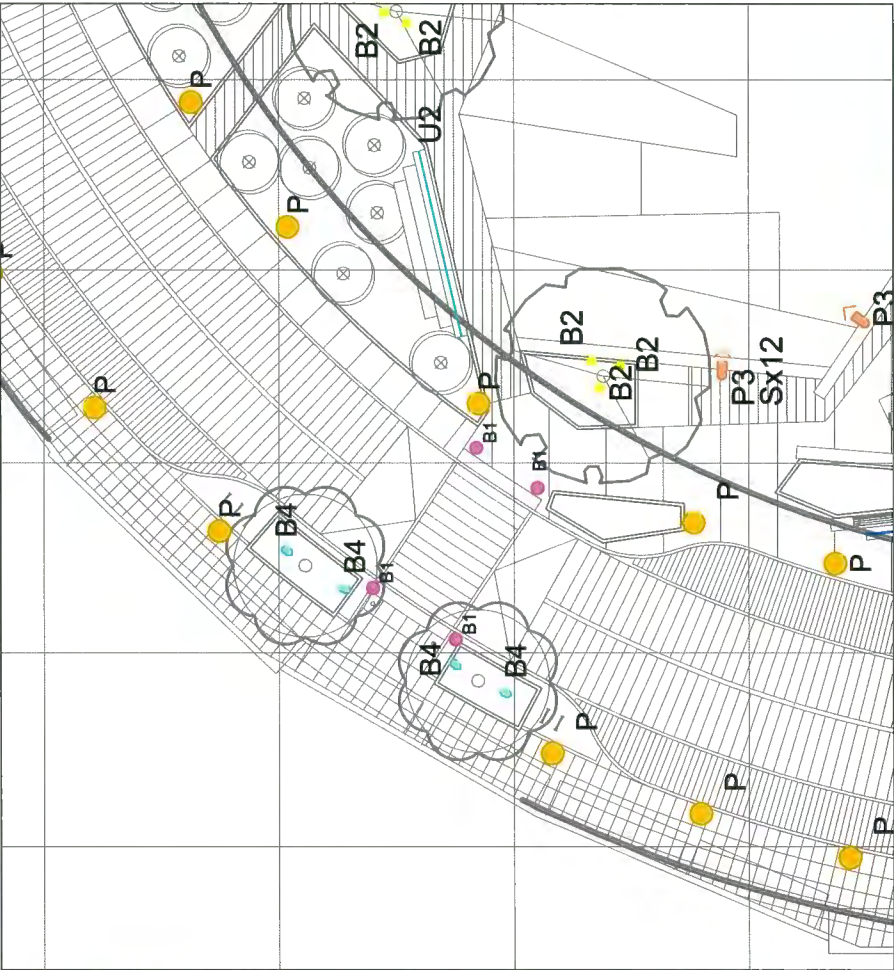
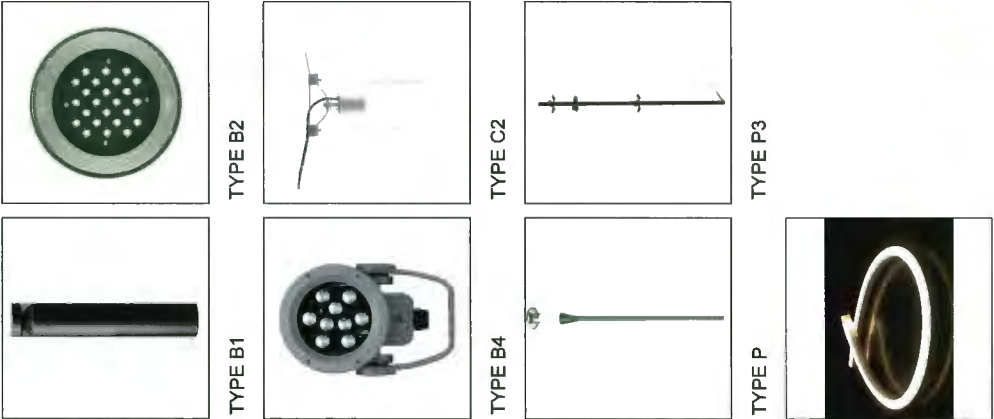
RICHMOND  
CENTRE PHASE 1

GATE DETAIL - LIGHTING LAYOUT	
DATE	2019-05-03
DRAWN BY	R.M.
CHECKED BY	A.M.
SCALE	
JOB NUMBER	1686-87

GM.06



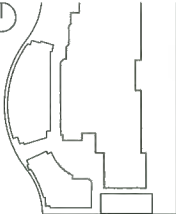
PARK ROAD CROSSWALKS  
LIGHTING LAYOUT



gbl

GBL ARCHITECTS INC.  
170 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V5T 1H8 FAX: 604 731 5579  
TEL: 604 726 1156  
WWW.GBLARCHITECTS.COM

NOTES



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HEWITT  
DP 17-768248  
MAY 29, 2019  
PLAN #5i.07



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REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-09	APL Design Set
	3	2018-03-28	DP Application Rev. 1 Progress for City Review
	4	2018-04-06	DP Application Rev. 1 Progress for City Review
	5	2018-08-02	DP Application Rev. 2 Progress for City Review
	6	2019-03-20	DP Application Rev. 3 Progress for City Review
	7	2019-04-28	DP Application Rev. 3 Progress for City Review
	8	2019-05-03	DP Panel Submission

RICHMOND  
CENTRE PHASE 1

PARK ROAD &  
CROSSWALK -  
LIGHTING LAYOUT  
DATE: 04/29/19  
DRAWN BY: RAL  
CHECKED BY: AJL  
SCALE:  
JOB NUMBER: 1686-87

GM.07



BOLLARDS



TREE UPLIGHTING



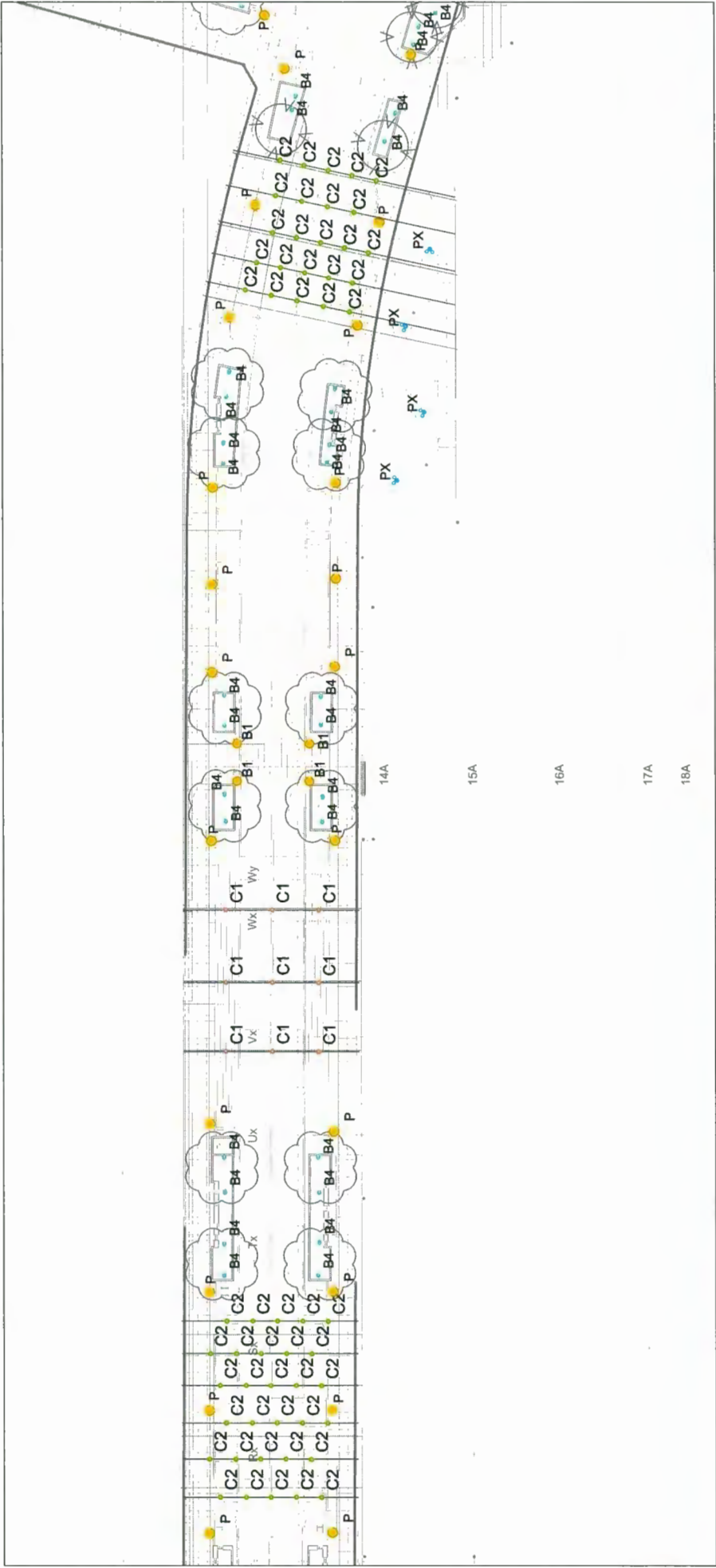
LIGHTING ELEMENTS  
CATENARY



TYPE C1 - Utility style at loading dock



TYPE C2 - Decorative glow



gbl

GBL ARCHITECTURE INC.  
725 EAST PLY AVENUE  
VANCOUVER, BC CANADA V6E 1W6 TEL: 604 726 1196  
FAX: 604 721 5279  
www.gblarchitect.com

NOTES



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DP 17-768248

MAY 29, 2019

PLAN #5



Gabriel Mackinnon

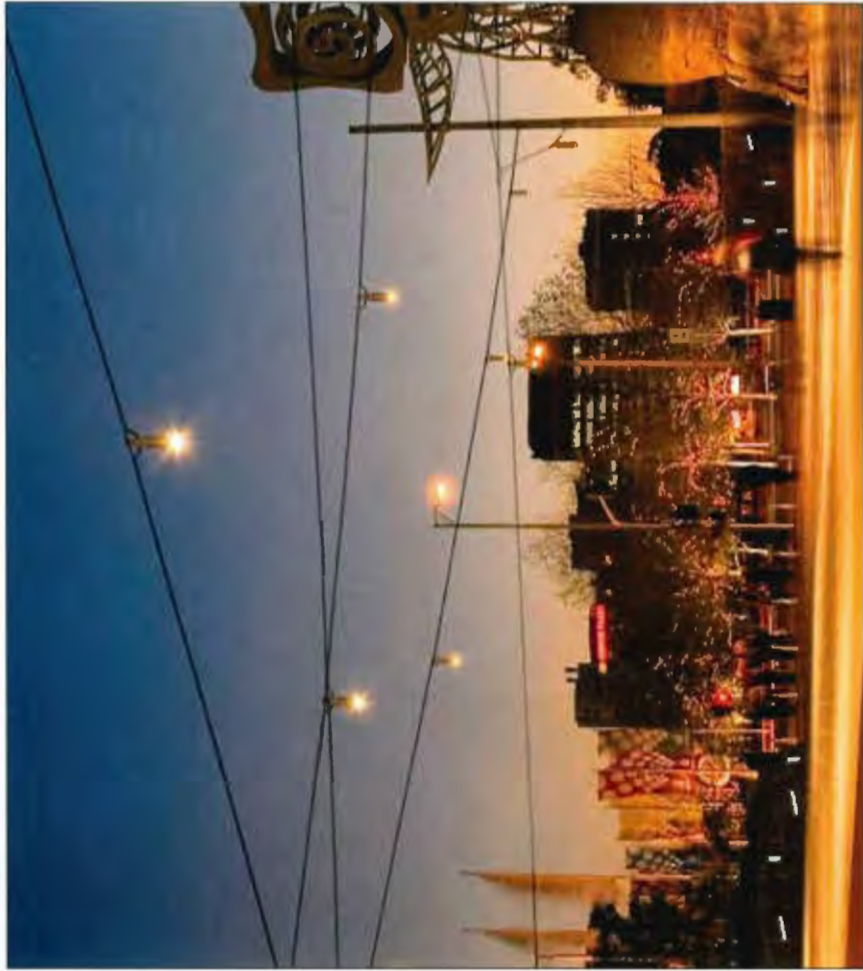
REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 20% Design Review
3	2018-03-29 Development Permit Application
4	2018-04-06 DP Application Review 1
5	2018-08-02 DP Application Review 2
6	2018-08-02 DP Application Review 3
7	2018-04-26 DP Application Review 3
8	2019-05-03 DP Panel Submission

RICHMOND  
CENTRE PHASE 1

LIGHTING ELEMENTS -  
CATENARY LIGHTING  
UTILITY AT LOADING DOCK  
& DECORATIVE GLOWING  
VALENT / LARGE TENANT

DATE	08/29/18
DRAWN BY	RAJ
CHECKED BY	AAJ
SCALE	
JOB NUMBER	1886-87

GM.08



TYPE C1

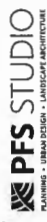
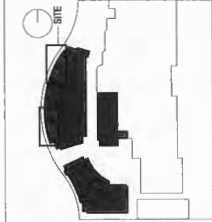


TYPE C2





NOTES



**DP 17-768248**  
May 29, 2019  
**PLAN #5k-1**

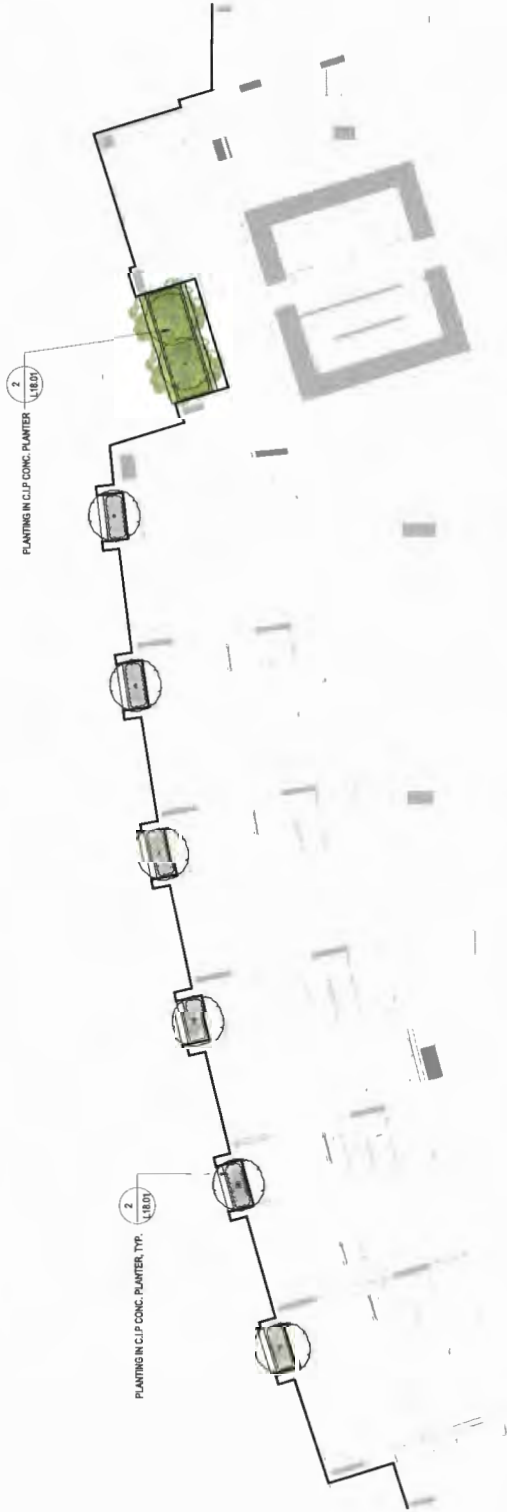


REVISIONS		No.	Date	Description
1	2017-03-31			Developed Permit Application
2	2017-03-08			2014 Design Add
3	2018-03-05			Program for Wiking
4	2018-04-08			CP Application Rev 1
5	2018-03-03			CP Application Rev 2
6	2018-03-31			CP Application Rev 3
				Program for City Review
7	2019-04-25			CP Application Rev 3
				Program for City Review
8	2019-05-23			CP Permit Submission

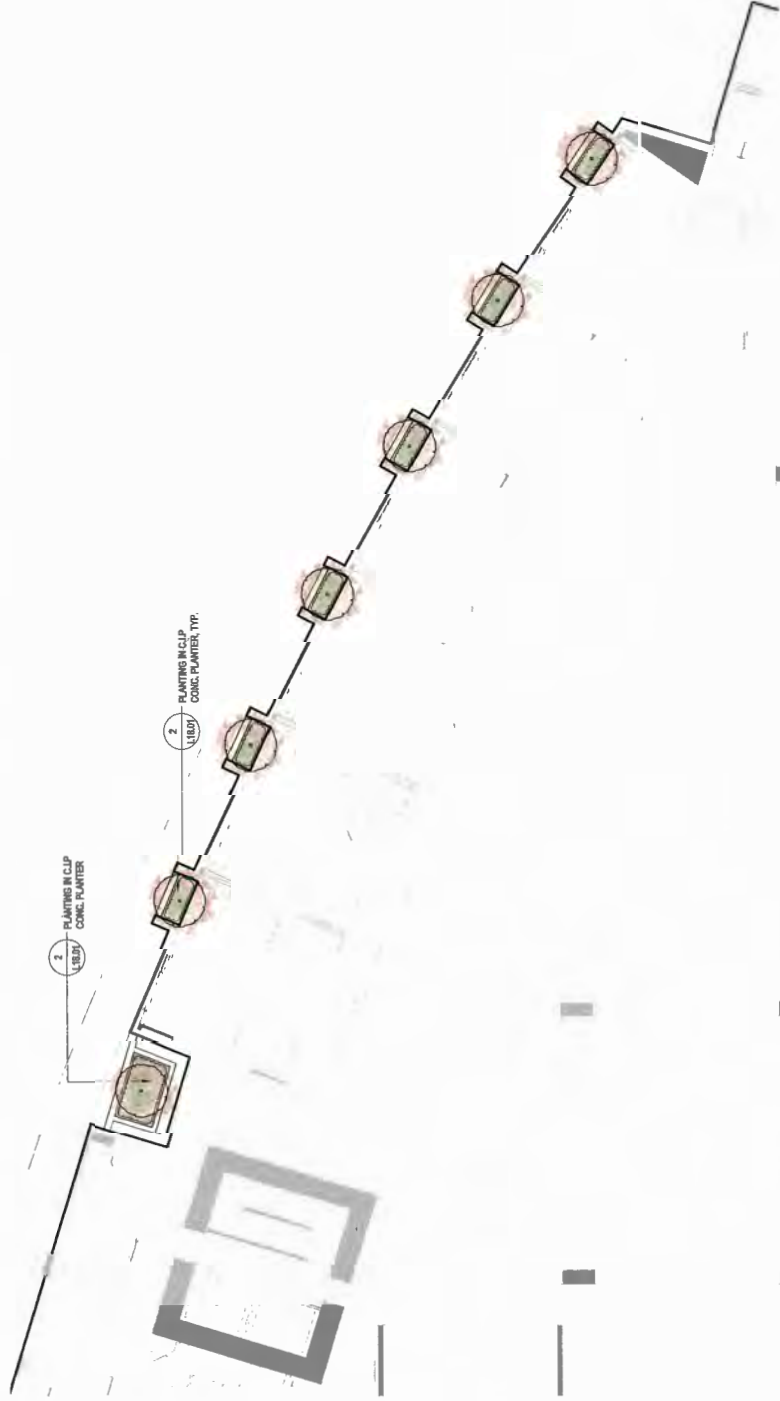
RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE MATERIAL PLAN  
1A - LEVEL 2

DATE 4/6/2018  
DRAWN BY NH  
CHECKED BY CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

L11.01



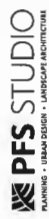
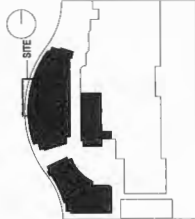
**1** SOUTH PLANTERS  
SCALE: 1/8" = 1'-0"



**2 NORTH PLANTERS**  
SCALE: 1/8" = 1'-0"



NOTES



**DP 17-768248**  
May 29, 2019  
**PLAN #5k-2**



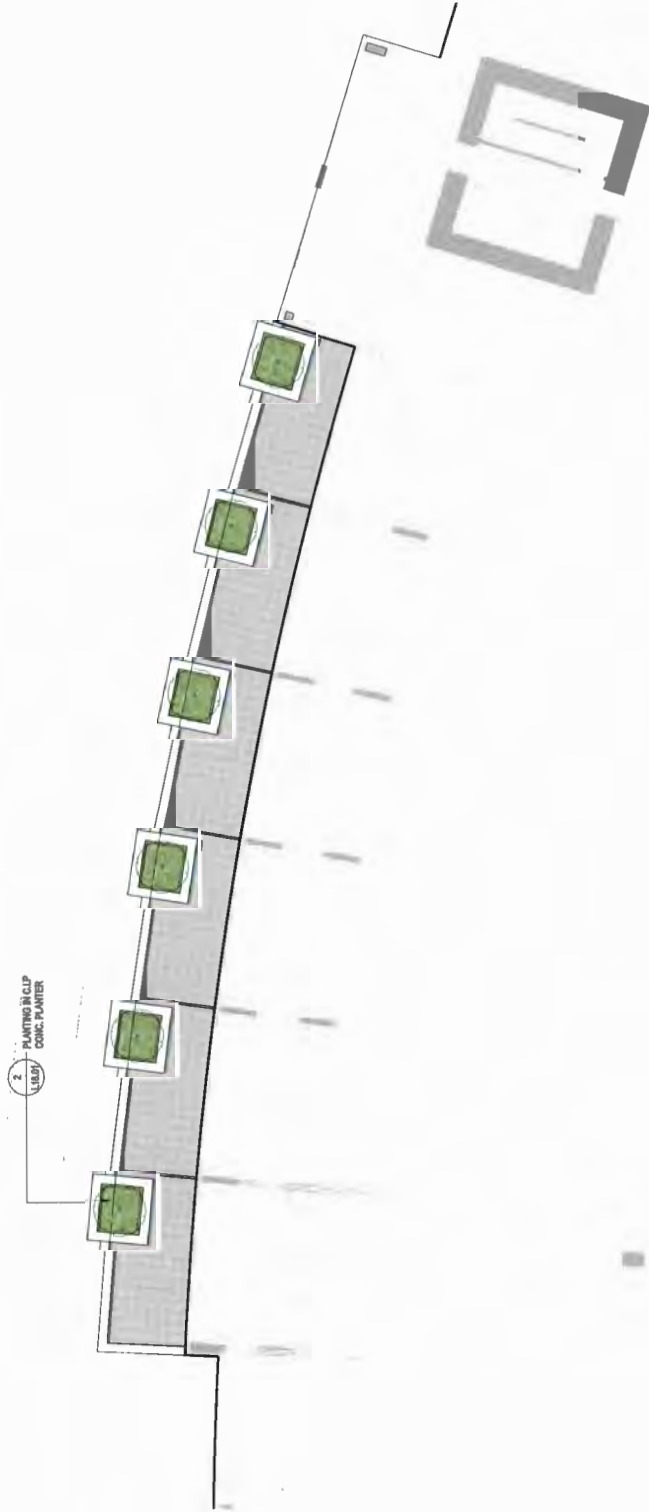
REVISIONS		No.	Date	Description
	1	2010-03-21		Developed Initial Application
	2	2010-03-26		30% Design-Bid
	3	2010-03-29		Program for Pricing
	4	2010-04-05		CP Application Year 1
	5	2010-04-05		CP Application Year 2
	6	2010-04-02		CP Application Year 3
	8	2010-03-26		Program for City Review
	7	2010-04-26		CP Application Year 2
				Program for City Review
	8	2010-05-02		CP Final Submission

**RICHMOND CENTRE  
PHASE 1A / 1B**

DP APPLICATION REV. 3  
LANDSCAPE MATERIAL PLAN  
1A - LEVEL 3

DATE 4/5/2018  
DRAWN BY JMK  
CHECKED BY CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

L11.02



**CENTRAL PLANTERS**  
SCALE: 1/8" = 1'-0"



## NOTES



DP 17-768248  
May 29, 2019  
PLAN #5k-3



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-04-06	30% Design Bid
3	2018-03-29	Program for Bidding
4	2018-04-28	DP Application Item 1
5	2018-08-02	DP Application Item 2
6	2019-02-20	Program for City Council DP Application Item 3 DP Application Item 4 DP Application Item 5
7	2019-04-25	DP Permit Submission
8	2019-05-03	DP Permit Submission

**RICHMOND CENTRE  
PHASE 1A / 1B**

DP APPLICATION REV. 3

LANDSCAPE MATERIAL PLAN  
1A - LEVEL 4

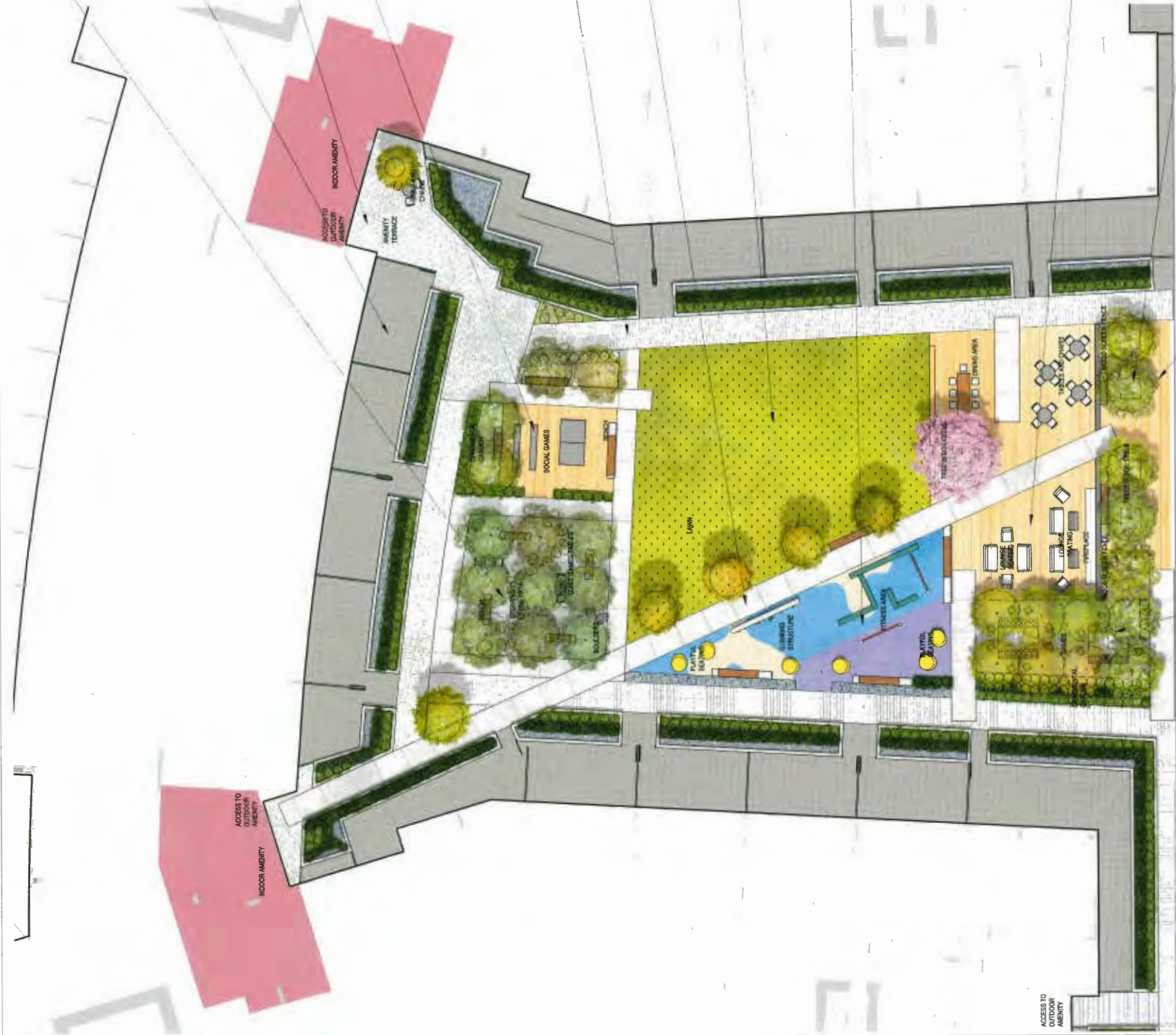
DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

**1** **BLOSSOM GARDEN**  
SCALE: 1/8" = 1'-0"

**L11.03**







- READER'S BOSQUE**
- Garden associated with indoor Library Amenity
  - Quiet contemplative gardens
  - Quiet games tables
  - Crushed stone paving
  - Bench seating

- PRIVATE RESIDENTIAL PATIOS**
- Surrounding central outdoor amenity
  - Evergreen planted screen/hedge, 4-5' ht.
  - Larger corner patios with open views to east

- AMENITY TERRACE**
- Tables and chairs for multi-group use
  - Potted plants

- GAMES TERRACE**
- Social games area
  - Bench seating for spectators
  - Planting buffer between Games Terrace and Perimeter Walk

- PERIMETER WALK**
- Common courtyard amenity spaces with perimeter walkway

- PROMENADE WALK**
- Promenade walk from indoor amenity to outdoor social terraces
  - Seating benches and tree row along walk

- OPEN LAWN**
- Open lawn for adult and children's play, picnics, and social events

- ACTIVE PLAY**
- Fitness area and climbing structures for teens and adults
  - Playful seating
  - Active Play area connected to open lawn areas providing additional space for lawn games, picnics, etc.
  - Parents and guardians can supervise Active Play from Social Terrace and seating benches
  - Planting buffer between Active Play and private patios

- SOCIAL TERRACES**
- Living room setting with fireplace for multiple family group use
  - Tables and chairs for multiple family group use
  - Connected to Active Play area and Garden Play area

- 'GREEN' EDGE BUILDING FRONTAGE**
- Trees along building edge create green edge character from street view

- GARDEN PLAY**
- Social games within bosque
  - Connected to Social Terrace
  - Crushed stone paving
  - Chairs for players and spectators

- TAI CHI TERRACE**
- A popular activity capturing the morning east sun
  - Screened from Social Terrace

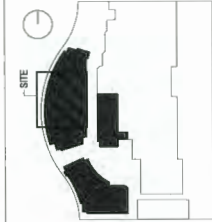
- MATERIALS LEGEND**
- OP CONC. PAVING
  - PRIVATE PATIO - PRECAST CONC. UNIT PAVING
  - TERRACE - FAUX WOOD CERAMIC TILE
  - DECKING - ENTRANCE AREA - PRECAST CONC. UNIT PAVING
  - AMENITY WALKWAY AREA - PRECAST CONC. UNIT PAVING
  - PLAYGROUND - RUBBER SURFACE
  - PLAYGROUND - ARTIFICIAL TURF
  - BOSQUE ZEN GARDEN - GRANULAR PAVING

- PLANTING LEGEND**
- PROPOSED TREES
  - PROPOSED SHRUBS / GROUNDCOVERS
  - LAWN AREA

gbl

G.B. ARCHITECTS INC.  
1000 WESTERN AVENUE, SUITE 200  
VANCOUVER, BC CANADA V6T 1B6  
TEL: 604 726 1108  
FAX: 604 721 6795  
www.gbl.ca

NOTES



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PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

**DP 17-768248**  
May 29, 2019  
**PLAN #5k-4**



REVISIONS	
No.	Description
1	2019-05-29 Description from Author
2	2019-05-29 20% Design Add
3	2019-05-29 Progress to Review
4	2019-05-29 20% Design Add
5	2019-05-29 20% Design Add
6	2019-05-29 20% Design Add
7	2019-05-29 20% Design Add
8	2019-05-29 20% Design Add

**RICHMOND CENTRE**  
**PHASE 1A / 1B**

**DP APPLICATION REV. 3**  
**LANDSCAPE MATERIAL PLAN**  
**1A - LEVEL 4**

DATE: 4/26/2019  
DRAWN BY: MM  
CHECKED BY: CWP  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87



**DP 17-768248**  
May 29, 2019  
**PLAN #5k-5**



REVISIONS		Description	
No.	Date		
1	2017-03-31	Development Permit Application	
2	2017-04-04	30% Design Add	
3	2018-03-29	Program for Permit	
4	2018-04-06	CP Application Set 1	
5	2018-08-02	CP Application Set 2	
6	2018-08-30	CP Application Set 3	
7	2018-04-26	Program for City Review	
8	2018-05-03	CP Application Set 3	
		Program for City Review	
		CP Permit Submission	

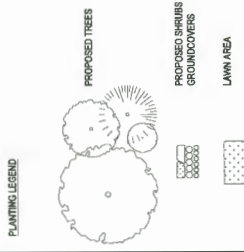
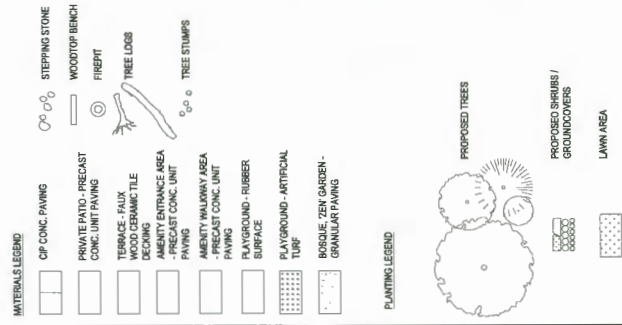
**RICHMOND CENTRE  
PHASE 1A / 1B**

DP APPLICATION REV. 3  
LANDSCAPE MATERIAL PLAN  
1A - LEVEL 4

DATE 4/6/2018  
DRAWN BY MH  
CHECKED BY CHOP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

1 ENTERTAINMENT GARDEN  
SCALE: 1/8" = 1'-0"

L11.05



## PLAY AREA

- Play hill with play equipment for children
- Children's play areas well connected with social terraces, especially outdoor kitchen and dining terraces
- Parents and guardians can supervise children's play from social terraces and seating benches
- Children's sand play box
- Bars, beams, and poles for older children
- Stationary exercise equipment for adults

SOCIAL TERRACE

- Social terrace with tables and chairs, living room setting, and a fire pit terrace for multiple family group use
- Barbeque and counter
- Large, central harvest table
- Table and chairs for seating smaller groups
- Play area connected to social terrace

## COMMUNITY GARDEN

- Community garden plots providing opportunities for residents to grow vegetables
- Tool box, seating benches, and hose bibbs
- Granular paving
- Community gardens to include 'learning gardens' for children

OPEN LAWN

- Open lawn for adult and children's play, picnics, and social events

## PROMENADE WALK

- Promenade walk from indoor amenity to outdoor social terraces
- Seating benches and tree row along walk

## PERIMETER WALK

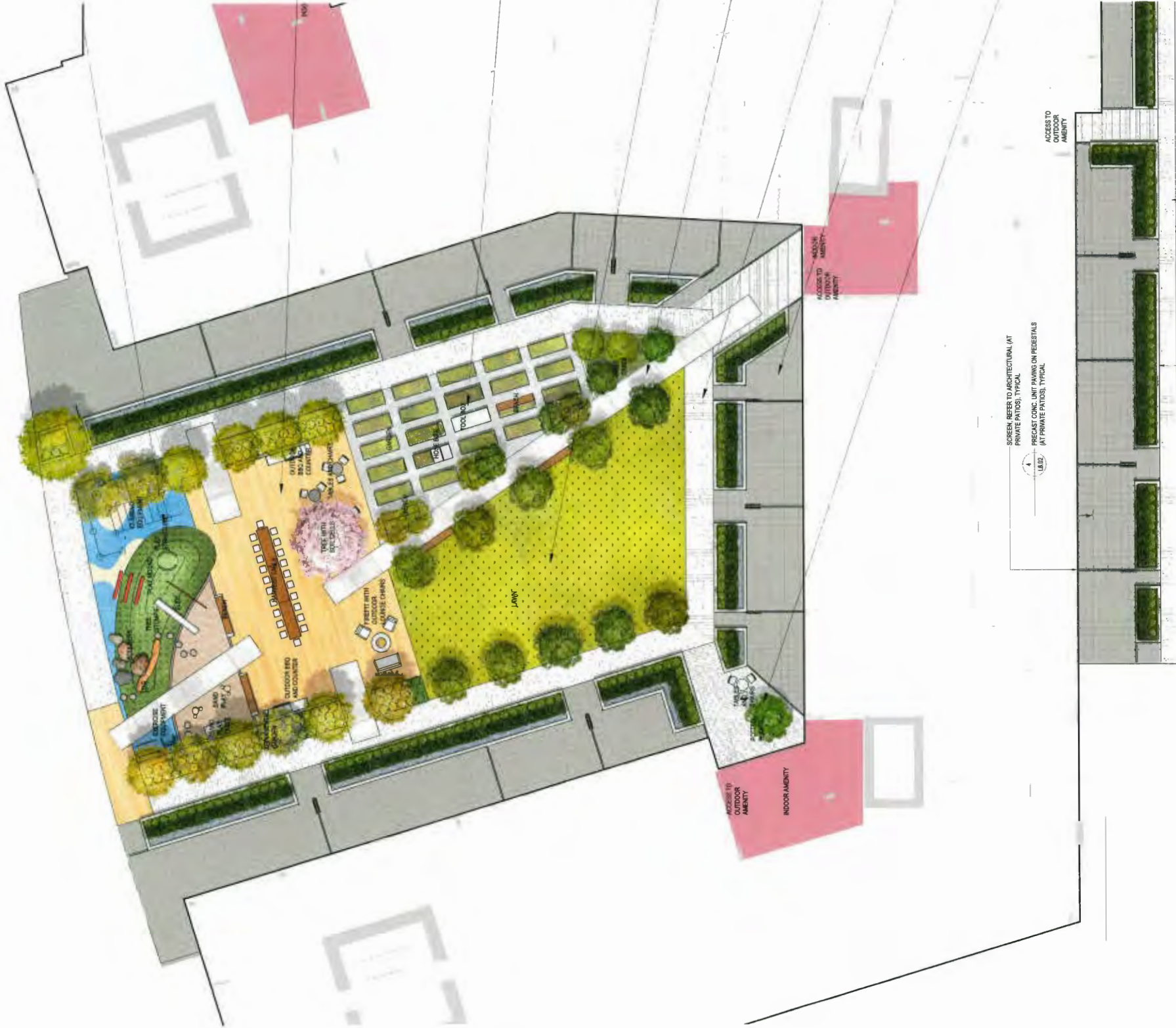
- Common courtyard amenity spaces with perimeter walkway

## PRIVATE RESIDENTIAL PATIOS

- Surrounding central outdoor amenity
- Evergreen planted screen/hedge, 4-5' ht.
- Larger corner patios with open views to west

AMENITY TERRACE

- Tables and chairs for multi-group use
- Potted plants

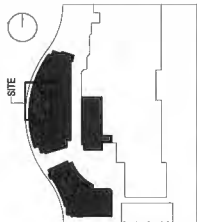


ITEM NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL PRICE
4	PRECAST UNIT PAVING ON PEDESTALS	SQ. M	15.02		
6	PLANTING IN C.I.P. CONC. PLANTER	SQ. M	18.01		





NOTES



**DP 17-768248**  
May 29, 2019  
**PLAN #5k-6**



REVISIONS		No.	Date	Description
1	2017-03-31			Development Phase Application
2	2017-04-06			30% Design bid
3	2018-03-29			Program for Pricing
4	2018-04-06			CP Application Rev 1
5	2019-06-07			CP Application Rev 2
6	2019-03-20			Program for City Review
7	2019-04-26			CP Application Rev 3
				Program for City Review
				CP Final Submission

**RICHMOND CENTRE  
PHASE 1A / 1B**

DP APPLICATION REV. 3  
LANDSCAPE MATERIAL PLAN  
1A - LEVEL 7


DATE 4/5/2018  
DRAWN BY NHI  
CHECKED BY CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

L11.06



1  
PLANTERS  
SCALE 1/8" = 1'-0"

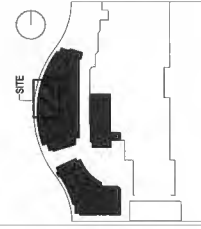




gbl

408 ARCHITECTS INC.  
1700 WEST 10TH AVENUE  
VANCOUVER, BC CANADA V6J 1R8  
TEL: 604 725 1008  
FAX: 604 725 5078  
WWW.GBLARCHITECTS.COM

NOTES



**PFS STUDIO**  
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**DP 17-768248**  
May 29, 2019  
**PLAN #5k-7**

**1 PATIOS AND PLANTERS**  
SCALE: 1/8" = 1'-0"



REVISIONS	
No.	Description
1	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29

**RICHMOND CENTRE**  
**PHASE 1A / 1B**

DP APPLICATION REV. 3

**LANDSCAPE MATERIAL PLAN**  
**1A - LEVEL 9**

DATE: 4/20/19  
DRAWN BY: JN  
CHECKED BY: JN  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-37

**L11.07**





DP 17-768248  
May 29, 2019  
PLAN #5k-8



No.	Date	Description
1	2019-05-21	Revised: Final Update
2	2019-05-21	Revised: Final Update
3	2019-05-21	Revised: Final Update
4	2019-05-21	Revised: Final Update
5	2019-05-21	Revised: Final Update
6	2019-05-21	Revised: Final Update
7	2019-05-21	Revised: Final Update
8	2019-05-21	Revised: Final Update

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE MATERIAL PLAN  
1A - LEVEL 10

DATE: 2019-05-21  
DRAWN BY: GBL  
CHECKED BY: GBL  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

AMENITY TERRACE

- Tables and chairs for multi-group use
- Potted plants

TERRACE

- Lounge setting for a small groups
- Common walkway connecting Residential Patios and Amenity Terrace



1 NORTH TOWER  
SCALE: 1/8" = 1'-0"

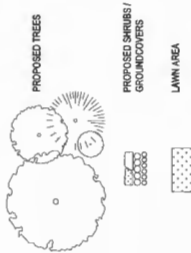
2 SOUTH TOWER  
SCALE: 1/8" = 1'-0"

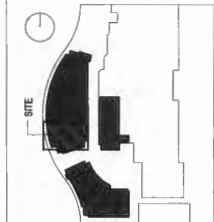
3 PRECAST CONC. UNIT PAVING  
ON RESIDENTIAL PATIOS  
PATIOS: TYPICAL

SCREEN, REFER TO  
ARCHITECTURAL (AT PRIVATE  
PATIOS): TYPICAL

MATERIALS LEGEND	
	CP CONC. PAVING
	PRIVATE PATIO - PRECAST CONC. UNIT PAVING
	TERRACE - PAUX CONC. UNIT PAVING
	AMENITY ENTRANCE AREA - PRECAST CONC. UNIT PAVING
	AMENITY WALKWAY AREA - PRECAST CONC. UNIT PAVING
	PLAYGROUND - RUBBER SURFACE
	PLAYGROUND - ARTIFICIAL TURF
	BORQUE 'ZEN' GARDEN - GRANULAR PAVING

PLANTING LEGEND





**DP 17-768248**  
May 29, 2019  
**PLAN #5k-9**



Revisions	No.	Date	Description
	1	2017-03-31	Developed Permit Application
	2	2017-03-08	20% Design Set
	3	2018-03-20	Program for Paving
	4	2018-04-06	DP Application Item 1
	5	2018-09-02	DP Application Item 2
	6	2018-03-20	DP Application Item 3
	7	2018-03-20	Program for City Review
	8	2018-03-20	DP Application Item 3
	9	2018-03-20	Program for City Review
	10	2018-03-20	DP Final Submittals

RICHMOND CENTRE  
PHASE 1A / 1B  
Landscape Application Rev. 3  
LANDSCAPE MATERIAL PLAN  
1A - LEVEL 12

DATE  
DRAWN BY  
CHECKED BY  
SCALE

4/6/2018  
NH  
CMOP  
1/8" = 1'-0"

1686-87

JOB NUMBER

**1** SOUTH TOWERS

L11.09





REVISIONS	No.	Date	Description
1	2017-05-31		Final Design Presentation
2	2017-06-08		20% Design Review
3	2017-06-08		30% Design Review
4	2017-06-08		DP Application Rev. 1
5	2017-06-08		DP Application Rev. 2
6	2017-06-08		Final Design Presentation
7	2017-06-08		Final Design Presentation
8	2017-06-08		DP Final Submission

DATE	2017-06-08
DRAWN BY	MM
CHECKED BY	MM
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87

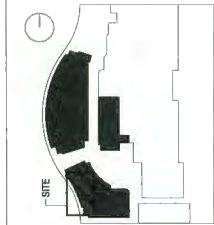
PLANTING LEGEND

MATERIALS LEGEND

CP CONC. PAVING	STEPPING STONE
PRIVATE PATIO - PRECAST CONC. UNIT PAVING	WOODTOP BENCH
TERRACE - PAUX	FIREPIT
WOOD CERAMIC TILE	TREE LOGS
AMENITY ENTRANCE AREA - PRECAST CONC. UNIT PAVING	TREE STUMPS
AMENITY WALKWAY AREA - PRECAST CONC. UNIT PAVING	
PAVING - RUBBER SURFACE	
PLAYGROUND - ARTIFICIAL TURF	
BOOQUE ZEN GARDEN - GRANULAR PAVING	

PROPOSED TREES
PROPOSED SHRUBS / GROUNDCOVERS
LAWN AREA





DP 17-768248  
May 29, 2019  
PLAN #5k-11



REVISIONS	
No.	Description
1	2019-05-29 Description of Project Update
2	2019-06-04 Project for Review
3	2019-06-08 2D Plan/Section Rev 1
4	2019-06-08 2D Plan/Section Rev 2
5	2019-06-08 2D Plan/Section Rev 3
6	2019-06-08 2D Plan/Section Rev 4
7	2019-06-08 2D Plan/Section Rev 5
8	2019-06-08 2D Plan/Section Rev 6

RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3  
LANDSCAPE MATERIAL PLAN  
1B - LEVEL 2

DATE	4/28/2018
DRAWN BY	IN
CHECKED BY	CAUP
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-37

MATERIALS LEGEND	
	OP CONC. PAVING
	PRIVATE PATIO - PRECAST CONC. UNIT PAVING
	TERRACE - FAUX WOOD CERAMIC TILE
	AMENITY ENTRANCE AREA - PRECAST CONC. UNIT PAVING
	AMENITY WALKWAY AREA - PRECAST CONC. UNIT PAVING
	PLAYGROUND - RUBBER SURFACE
	PLAYGROUND - ARTIFICIAL TURF
	BOSCAGE ZENY GARDEN - GRANULAR PAVING

PLANTING LEGEND	
	PROPOSED TREES
	PROPOSED SHRUBS / GROUNDCOVERS
	LAWN AREA

'GREEN' EDGE BUILDING FRONTAGE

- Trees along building edge creating green edge character from street view

#### SOCIAL TERRACE

- Southwest aspect with full afternoon sun
- Elevated Social Terrace with tables and chairs, and fire place for multiple family group use
- Covered outdoor kitchen and dining setting
- Covered Bar setting with television amenity for entertainment
- Lounge setting with weather protection (umbrellas / canopies)

#### FLOWERING GARDEN BORDER

- Accessible slope at less than 5% provides easy access to raised terraces
- Stepped planters define 'broad' garden border between terraces and main level amenities
- Densely planted with flowering trees, shrubs, and ground cover

#### PERIMETER WALK

- Common courtyard amenity spaces with perimeter walkway

#### OPEN LAWN

- Open lawn for adult and children's play, picnics, and social events
- Sculptural play element focal point

#### PROMENADE WALK

- Seating benches and tree row along walk

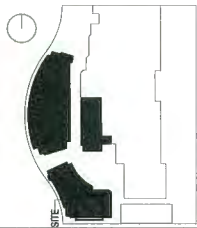
#### CHILDREN'S PLAY

- Play equipment for children
- Parents and guardians can supervise children's play from seating bench
- Stationary exercise equipment at edge provides opportunities for older children, teens, and adults to exercise

#### PRIVATE RESIDENTIAL PATIOS

- Surrounding central outdoor amenities
- Evergreen planted screen/hedge, 4-5' ht.
- Corner patios with views to west





**DP 17-768248**  
May 29, 2019  
**PLAN #5k-12**



REVIEWS	No.	Date	Description
	1	2017-02-21	Development Period Application
	2	2017-02-08	30% Design Set
	3	2016-03-29	Program for Pricing
	4	2016-04-06	DP Application Rev 1
	5	2016-08-02	DP Application Rev 2
	6	2016-02-20	DP Application Rev 3 Program for City Review
	7	2016-04-26	DP Application Rev 2 Program for City Review
	8	2016-02-02	DP Final Submission

**RICHMOND CENTRE  
PHASE 1A / 1B**

DP APPLICATION REV. 3

LANDSCAPE MATERIAL PLAN  
1B - LEVEL 2

DATE 4/6/2015  
DRAWN BY NH  
CHECKED BY CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

L11.12



## SOCIAL TERRACE

- Social terrace with tables and chairs, living room setting, and a fire pit terrace for multiple family group use
- Barbeque and counter
- Large, central harvest table
- Table and chairs for seating smaller groups
- Play area connected to social terrace

## GAMES TERRACE

- Accessible from adjacent indoor amenity
- Social games for teens and adults

## PLAY

- Fitness equipment and climbing structures for teens and adults
- Play area well connected with Social Terrace, especially outdoor kitchen and dining area
- Parents and guardians can supervise teen play from Social Terrace and Amenity Terrace
- Seating benches

## PROMENADE WALK

- Seating benches and tree row along walk

OPEN LAWN

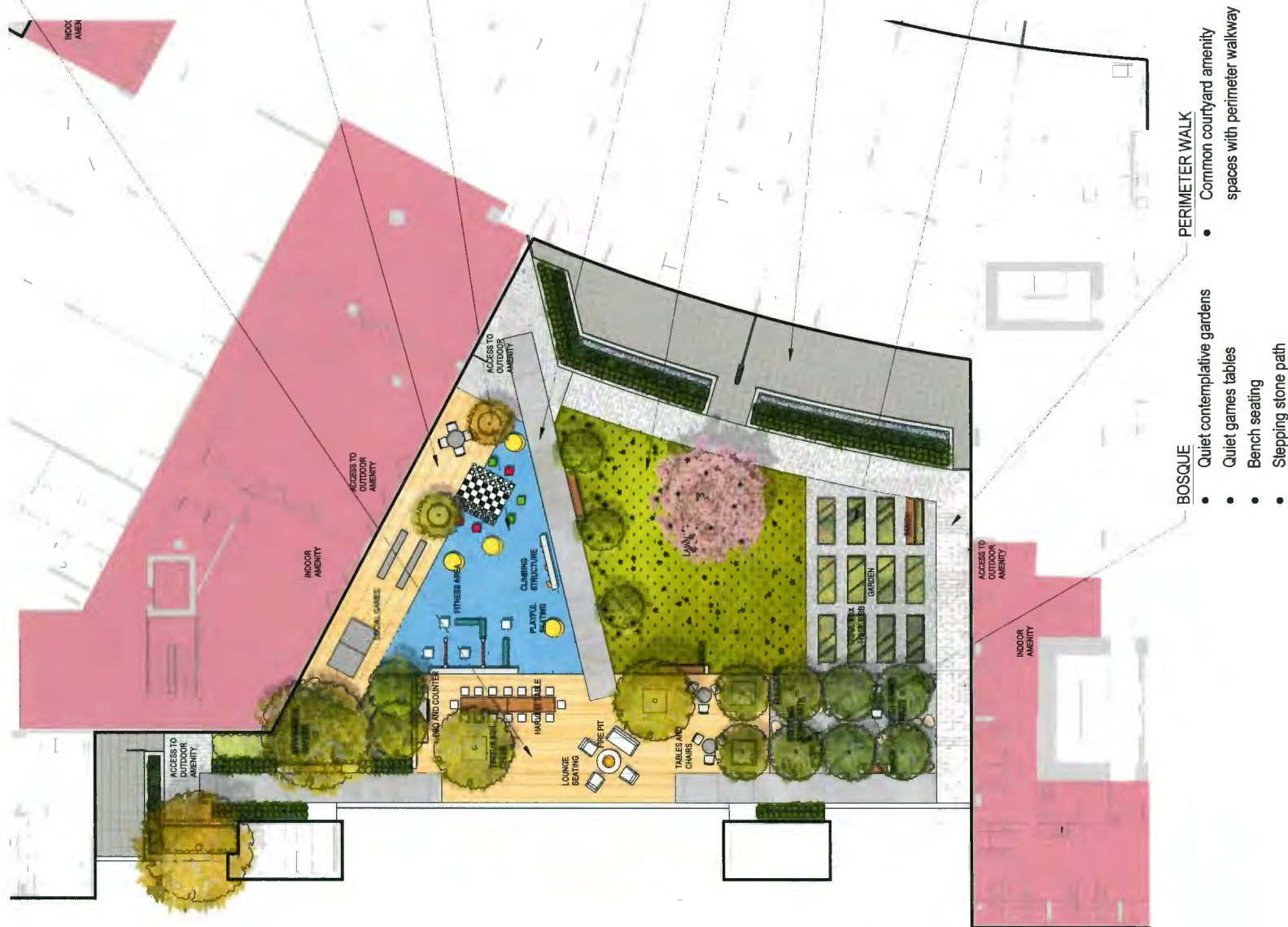
- **Open lawn for adult and children's play, picnics, and social events**

## PRIVATE RESIDENTIAL PATIOS

- Surrounding central outdoor amenities
- Evergreen planted screen, 4-5' ht.

## COMMUNITY GARDEN

- Community garden plots providing opportunities for residents to grow vegetables
- Tool box and seating benches
- Hose bibbs
- Granular paving
- Community gardens to include 'learning gardens' for children

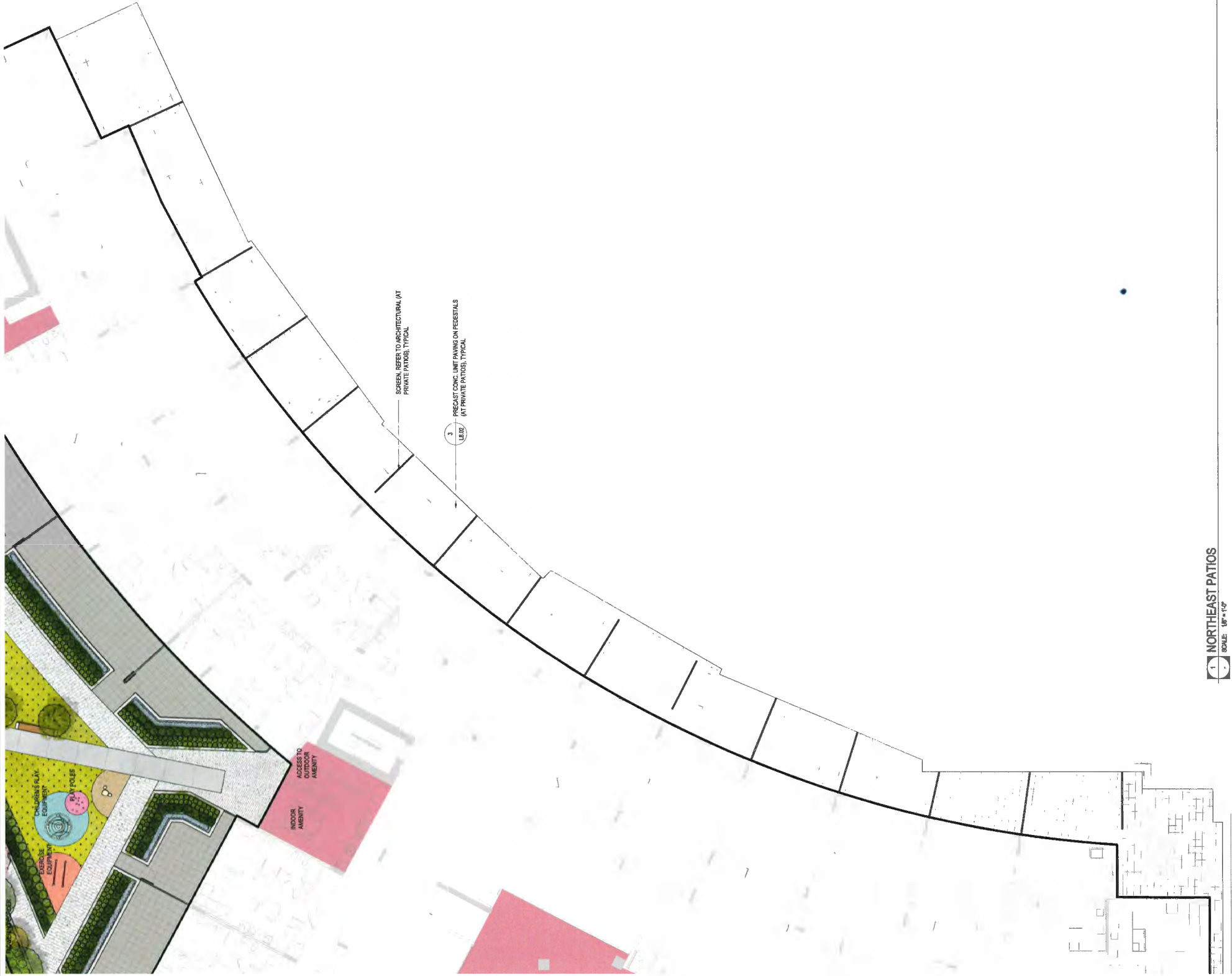


## BOSQUE

- Quiet contemplative gardens
- Quiet games tables
- Bench seating
- Stepping stone path

## PERIMETER WALK

- Common courtyard amenity spaces with perimeter walkway



- MATERIALS LEGEND**
- OP CONC. PAVING
  - PRIVATE PATIO - PRECAST CONC. UNIT PAVING
  - TERRACE - PAUX WOOD CERAMIC TILE
  - AMENITY ENTRANCE AREA - PRECAST CONC. UNIT PAVING
  - AMENITY WALKWAY AREA - PRECAST CONC. UNIT PAVING
  - PLAYGROUND - RUBBER SURFACE
  - PLAYGROUND - ARTIFICIAL TURF
  - BOSQUE ZEY GARDEN - GRANULAR PAVING
  - OP CONC. PAVING
  - STEPPING STONE
  - WOOD/OP BENCH
  - FIREPIT
  - TREE LOGS
  - TREE STUMPS

- PLANTING LEGEND**
- PROPOSED TREES
  - PROPOSED SHRUBS / GROUNDCOVERS
  - LAWN AREA

400 JACQUES BOULEVARD  
VANCOUVER, BC CANADA V6T 1R8  
TEL: 604 736 1108  
FAX: 604 731 5278

NOTES

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DP 17-768248  
May 29, 2019  
PLAN #5k-13



REVISIONS	
No.	Date
1	2019-05-31
2	2019-06-04
3	2019-06-05
4	2019-06-05
5	2019-06-05
6	2019-06-05
7	2019-06-05
8	2019-06-05

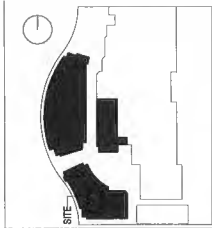
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

LANDSCAPE MATERIAL PLAN  
1B - LEVEL 2

DATE: 4/20/18  
DRAWN BY: M  
CHECKED BY: GMP  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1886-87





DP 17-768248  
May 29, 2019  
PLAN #5k-14



REVISIONS	
No.	Description
1	2019-05-14 Description from Landscape
2	2019-05-14 30% Design Set
3	2019-05-29 Program Meeting
4	2019-06-03 Final Design Set
5	2019-06-03 DP Application No. 1
6	2019-06-03 DP Application No. 2
7	2019-06-03 DP Application No. 3
8	2019-06-03 DP Application No. 4
9	2019-06-03 DP Application No. 5

RICHMOND CENTRE  
PHASE 1A / 1B

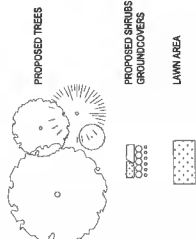
DP APPLICATION REV. 3

LANDSCAPE MATERIAL PLAN  
1B - LEVEL 4

DATE: 4/20/19  
DRAWN BY: MM  
CHECKED BY: GBCP  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1888-37

- MATERIALS LEGEND**
- OP CONC PAVING
  - PRIVATE PATIO - PRECAST CONC UNIT PAVING
  - TERRACE - FAUX WOOD CERAMIC TILE
  - DECKING
  - AMENITY ENTRANCE AREA - PRECAST CONC UNIT PAVING
  - AMENITY WALKWAY / AREA - PRECAST CONC UNIT PAVING
  - PLAYGROUND - RUBBER SURFACE
  - PLAYGROUND - ARTIFICIAL TURF
  - BESIDE ZEN GARDEN - GRANULAR PAVING
  - STEPPING STONE
  - WOODTOP BENCH
  - FIREPIT
  - TREE LOGS
  - TREE STUMPS

**PLANTING LEGEND**



- PRIVATE RESIDENTIAL PATIOS**
- Flanking outdoor amenity
  - Evergreen planted screen/hedge, 4-5' ht.

- CENTRAL WALK**
- Common walkway connecting Residential Patios, Amenity Terrace, and "Zen" Rock Garden

- AMENITY TERRACE**
- Southeast aspect with full mid-day sun
  - Outdoor terrace off indoor amenity space
  - Social terraces with tables and chairs

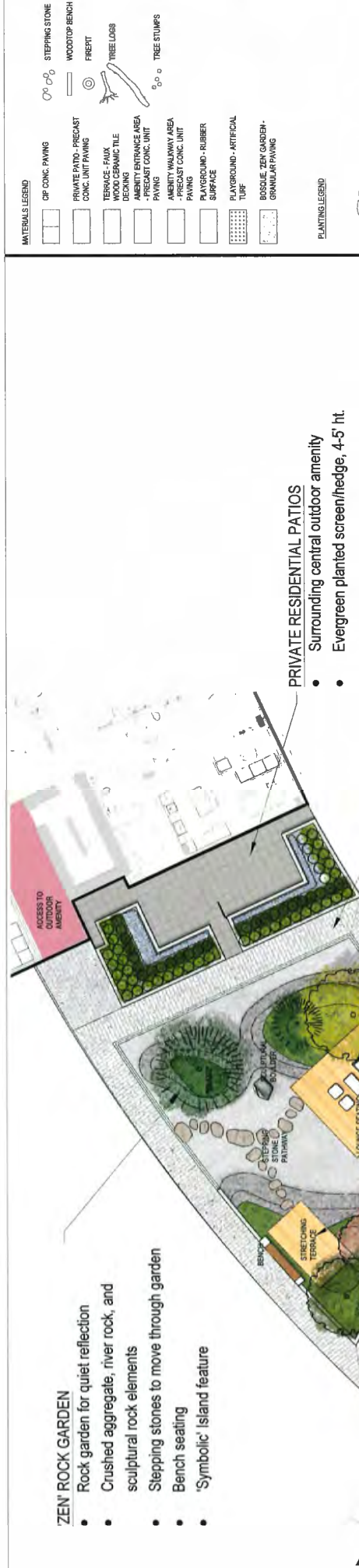
- CHILDREN'S PLAY**
- Art/play elements
  - Children's play equipment

- ORNAMENTAL GARDEN**
- Various ornamental planting species
  - Bench seating under tree canopy



- VIEW PATIO**
- Small patio with tables and chairs offering views to the southeast
  - Movable furniture allows users to make space for stretching
- OPEN LAWN**
- Open lawn for adult and children's play, picnics, and social events





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VANCOUVER, BC CANADA V6J 1R8  
TEL: 604 778 1188  
FAX: 604 771 8979

NOTES

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DP 17-768248  
May 29, 2019  
PLAN #5k-15



REVISIONS	
No.	Description
1	Development Review Application
2	2019 Design Ref.
3	2019-03-29
4	2019-03-29
5	2019-03-29
6	2019-03-29
7	2019-03-29
8	2019-03-29

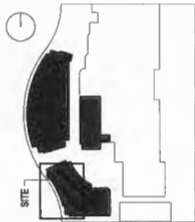
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

LANDSCAPE MATERIAL PLAN  
1B - LEVEL 8

DATE: 4/20/2019  
DRAWN BY: MH  
CHECKED BY: GMP  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

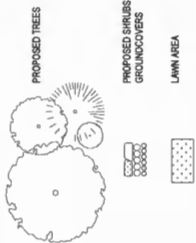




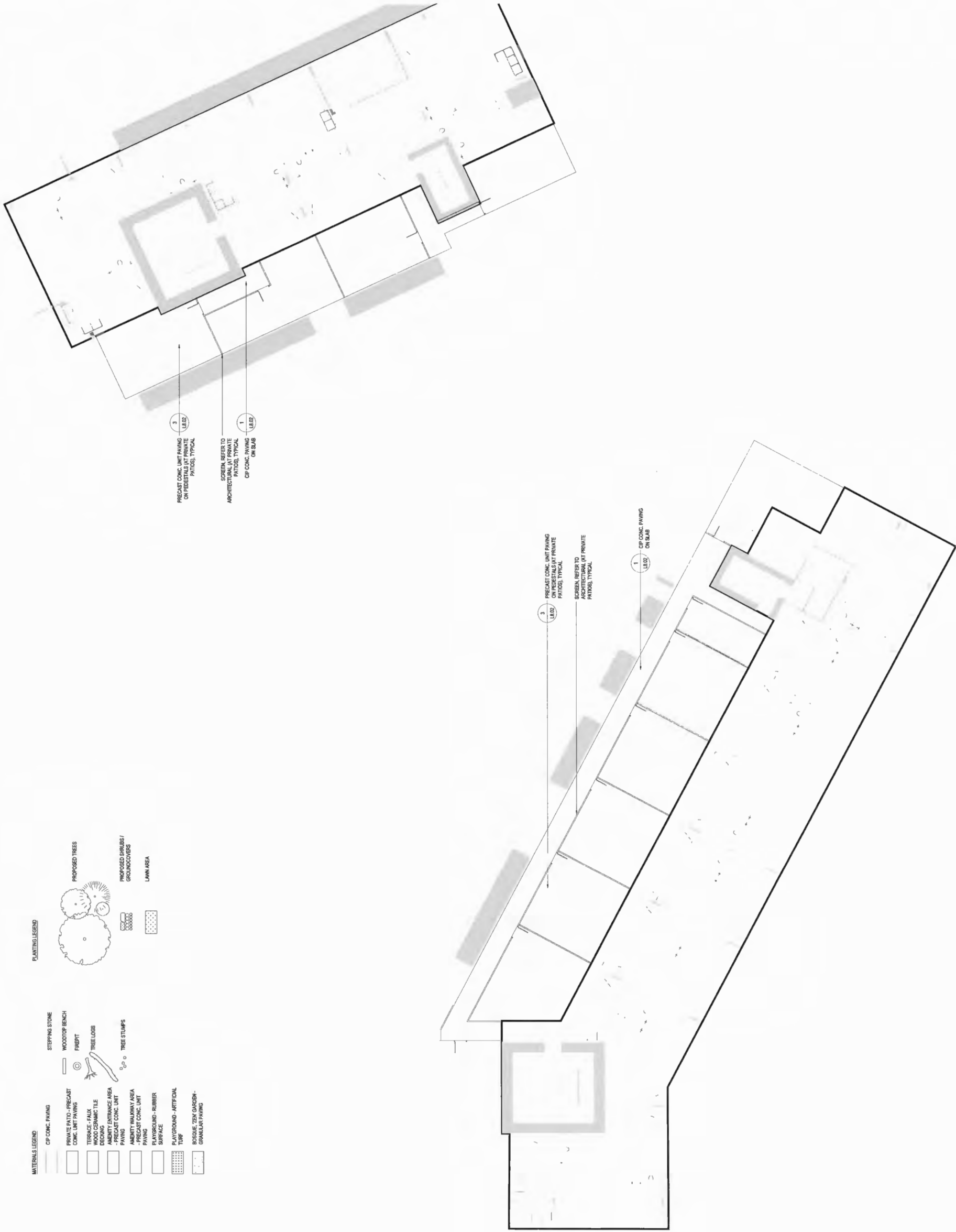
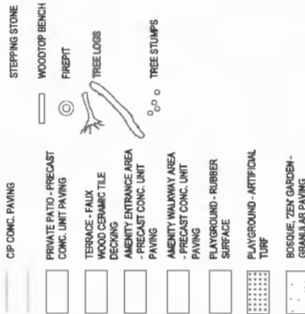
REVISIONS	No.	Date	Description
1	2019-05-29	2019-05-29	Initial Design Update
2	2019-06-03	2019-06-03	Design Update
3	2019-06-03	2019-06-03	Design Update
4	2019-06-03	2019-06-03	Design Update
5	2019-06-03	2019-06-03	Design Update
6	2019-06-03	2019-06-03	Design Update
7	2019-06-03	2019-06-03	Design Update
8	2019-06-03	2019-06-03	Design Update

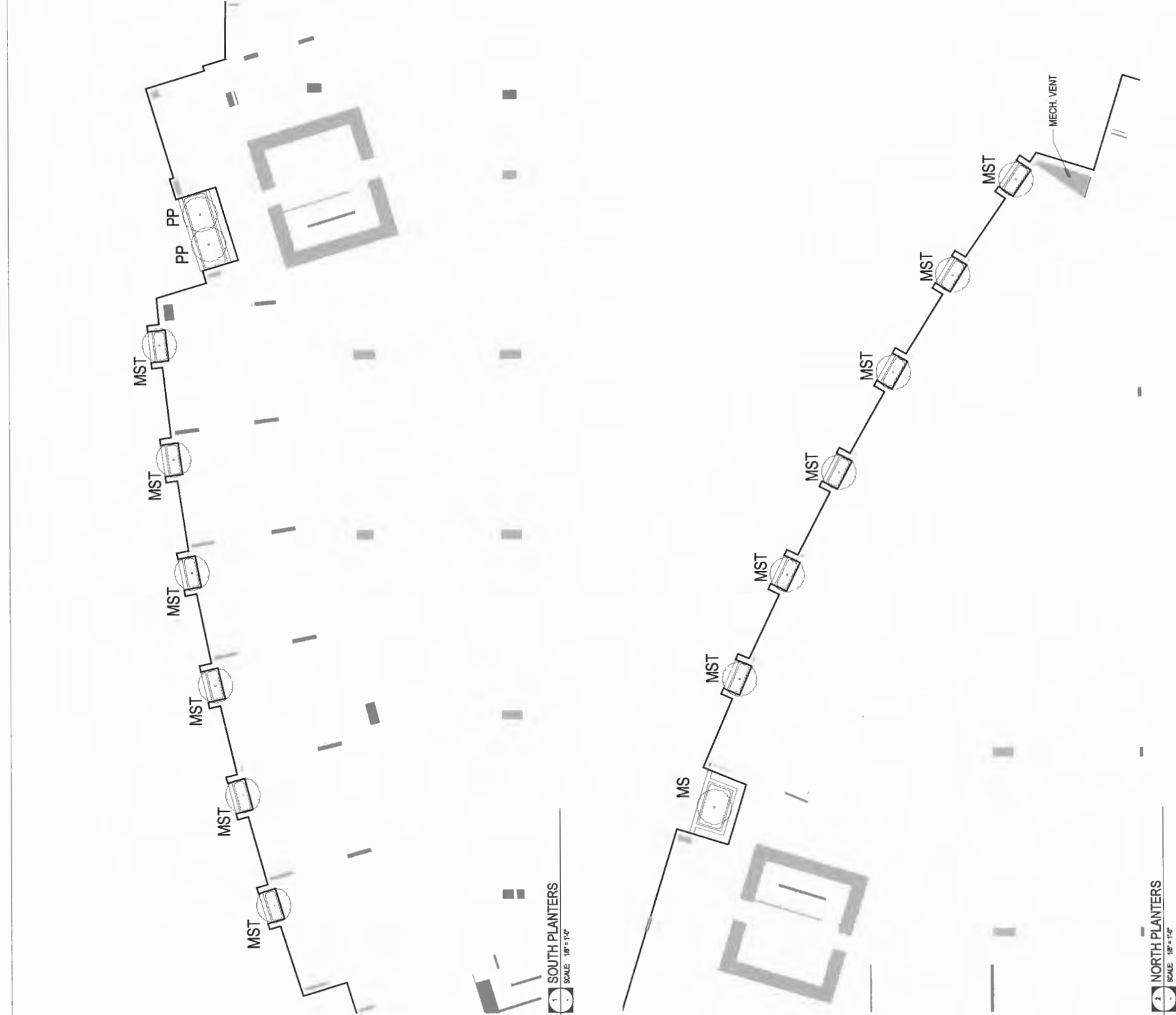
DATE	2019-05-29
CHECKED BY	MM
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87

PLANTING LEGEND



MATERIALS LEGEND





PLANTING LEGEND



MINIMUM SOIL DEPTH		
MEDIUM TREES 3\"/>		
SMALL TREES 24\"/>		
PROPOSED TREES		
PROPOSED SHRUBS /		
GROUNDCOVERS		
18\"/>		
PLANT SCHEDULE		
KEY	QTY	BOTANICAL / COMMON NAME
TREES		
HS	1	MAGNOLIA SOULANGIANA /
		SAUCEUR MAGNOLIA
HST	12	MAGNOLIA STELLATA 'CENTENNIAL' /
		STAR MAGNOLIA
PP	2	PERSEA PERSEA / PERSIAN BROWNWOOD
SHRUBS		
R	178	PRUNUS LAUROCEBALUS OTTO LUTKEN /
		OTTO LUTKEN LAUREL
		#8 POT FULL @ 6.5M O.C.

1. ALL PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
2. PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
3. PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
4. ALL PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
5. PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
6. PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
7. PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
8. PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
9. PLANT MATERIAL SHALL BE SUPPLIED TO THE PROJECT BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL AND THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR THE SELECTION OF PLANT MATERIAL.
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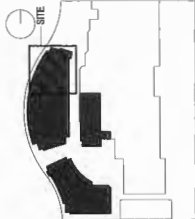
1 SOUTH PLANTERS  
SCALE: 1/8" = 1'-0"

2 NORTH PLANTERS  
SCALE: 1/8" = 1'-0"

gbl

G. BLANCHARD INC.  
LANDSCAPE ARCHITECTS  
VANCOUVER, BC CANADA V6T 1B8  
TEL: 604 728 1196  
FAX: 604 721 0791

NOTES



PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #5m-1



REVISIONS	No.	Date	Description
	1	2019-05-21	Development / Final Approval
	2	2019-05-22	20% Design / Jut
	3	2019-05-23	Program / Planning
	4	2019-05-24	20% Design / Jut
	5	2019-05-25	20% Design / Jut
	6	2019-05-26	20% Design / Jut
	7	2019-05-27	20% Design / Jut
	8	2019-05-28	20% Design / Jut

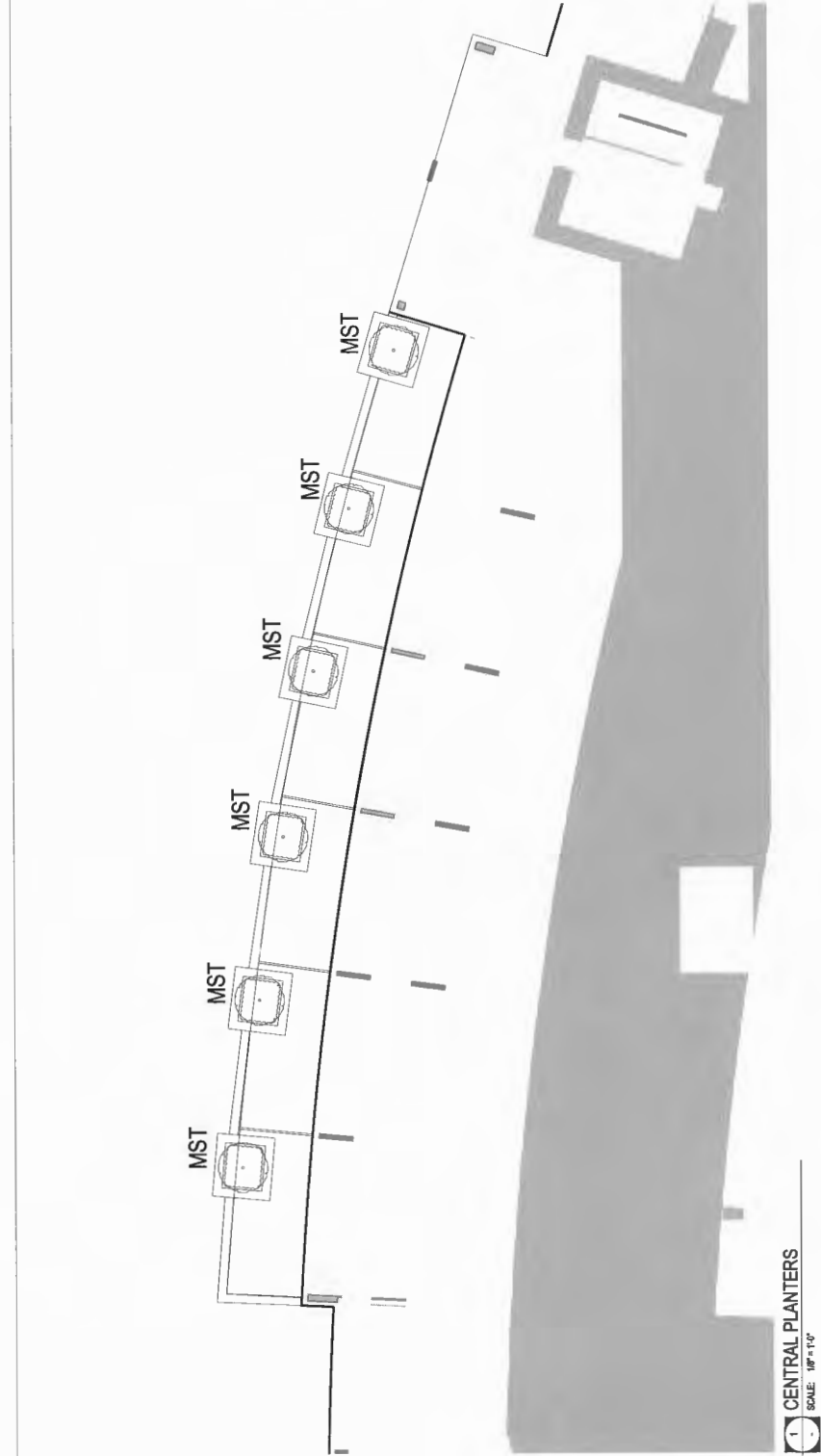
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3  
LANDSCAPE PLANTING  
1A - LEVEL 2

DATE: 4/26/19  
DRAWN BY: WH  
CHECKED BY: GMP  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

L13.01





CENTRAL PLANTERS  
SCALE: 1/8" = 1'-0"

PLANTING LEGEND

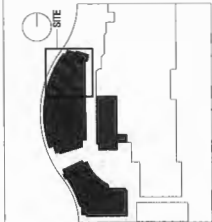


PLANT SCHEDULE			SIZE PROPORTION
KEY	QTY	BOTANICAL COMMON NAME	
TREES			
MST	7	MAGNOLIA STELLATA 'CENTENNIAL' / SYDA MAGNOLIA	SCH CAL W6
SHRUBS			
PI	64	PRUNUS LAUROCERASUS 'OTTO LUTKEN' / OTTO LUTKEN ENGLISH LAUREL	#8 POT, FULL @ 3.45H O.C.

- NOTE:
- ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARDS SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE PLANTING STANDARDS AND SPECIFICATIONS, PUBLISHED BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS (BSLA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BCLANA).
  - PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THIS PROJECT.
  - ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED S.O.D. NURSERY STOCK SHALL BE USED.
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  - THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT, AS PER SPECIFICATIONS, PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON THE SITE SHALL BE IDENTICAL TO THE GROWING MEDIUM ANALYSIS.
  - THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCY SHALL BE RESOLVED BY THE CONSULTANT AND THE CONTRACTOR.
  - FROM THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL TO BE INSTALLED ON THE SITE. ANY DISCREPANCY SHALL BE RESOLVED BY THE CONSULTANT AND THE CONTRACTOR.
  - ALL PLANTING SHALL BE BEHOLDEN TO BE INSTALLED WITH HIGH EFFICIENT AUTOMATIC IRRIGATION SYSTEMS, INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON.

G.B. LANDSCAPE ARCHITECTS INC.  
100-1000 BURNABY STREET  
VANCOUVER, BC CANADA V5T 1B6  
TEL: 604 276 1100  
FAX: 604 271 6776  
WWW.GBLANDSCAPEARCHITECTS.COM

NOTES



PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #5m-2



REVISIONS	
No.	Description
1	Development Permit Application
2	30% Design Set
3	Project to Proceed
4	20% Design Set
5	20% Design Set
6	20% Design Set
7	20% Design Set
8	20% Design Set

RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

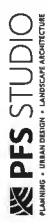
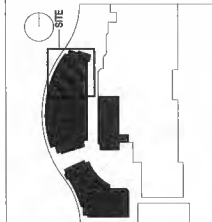
LANDSCAPE PLANTING  
1A - LEVEL 3

DATE: 4/29/19  
DRAWN BY: NH  
CHECKED BY: GMP  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

L13.02



NOTES



**DP 17-768248**  
May 29, 2019  
**PLAN #5m-3**



Revisions	No.	Date	Description
	1	2012-03-31	Developed Payroll Application
	2	2012-04-06	20% Design Add
	3	2012-04-26	Program for Pricing
	4	2012-04-26	DF Application Rev 1
	5	2012-04-26	DF Application Rev 2
	6	2012-05-22	DF Application Rev 3
	7	2012-04-25	Program for City Reader
	8	2012-04-25	DF Application Rev 3
	9	2012-05-03	Program for City Reader
	10	2012-05-03	DF Payroll Submittal

**RICHMOND CENTRE  
PHASE 1A/1B**

DP APPLICATION REV. 3

LANDSCAPE PLANTING  
1A - LEVEL 4

DATE 4/5/2018  
DRAWN BY NH  
CHECKED BY CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

**1** **BLOSSOM GARDEN**  
SCALE: 1/8" = 1'-0"

L13.03

PROPOSED SHRUBS /  
GROUNDCOVERS

AWN AREA



PLANT SCHEDULE		
KEY	QTY	BOTANICAL/COMMON NAME SIZE/CONDITION

## FLOWERING TREES

		10 CM CAL WB. SPECIMEN
AJ	1	ALBIZIA JUUBRISSIN / PERSIAN SILK TREE
PY	4	PRUNUS YEDOENSIS / YASHINO CHERRY

MS	1	MAGNETIC SAUCE
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NIST	3	MAGNOLIA STELLATA / STAR MAGNOLIA	5.0 CM CAL. WB, MULTI-T. STD.		
PS <sub>B</sub>	4	PRUNUS SAUCINAW JAPANESE PLUM	10 CM CAL. WB, 1.9 M STD.		
PS	3	PRUNUS SERRILATA / JAPANESE FLOWERING CHERRY	5.0 CM CAL. WB		
CE	12	CORNUS EDDIES WHITE WONDER / DOGWOOD	8 CM CAL. WB		

## HEDGES

Tm	178	TAXUS X MEDIA HM, 'EDDIE' / EDDIE YEW	#3 POT, FULL @ 0.45M O.C.
BS	58	BL DI K MICROHYLLA / ASIAN ROYWOOD	#0 POT, FULL @ 0.45M O.C.

## SERVICES

A1	513	AZALEA JAPONICA 'GUMPO WHITE' DWARF AZALEA	#3 POT. FULL @ 0.30M O.C.
A1g	344	AZALEA JAPONICA 'GEISHA ORANGE' DWARF AZALEA	#3 POT. FULL @ 0.30M O.C.

1

74	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
75	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
76	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
77	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
78	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
79	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
80	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
81	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
82	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
83	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
84	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
85	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
86	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
87	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
88	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
89	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
90	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
91	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
92	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
93	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
94	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
95	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
96	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
97	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
98	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
99	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.
100	COMPACT STRAWBERRY BUSH	#1 POT, FULL @ 0.45H O.C.

## GRASSES

ms 156 MISCANTHUS SINENSIS YAKUSHIMA DWARF?  
DWARF MISCANTHUS sp.

GROUND COVERS/ PERENNIALS

IK	75	IRIS KAEMPFERU JAPANESE IRIS	#1 POT. FULL @ 0.1M O.C.
----	----	------------------------------	--------------------------

## FLOWERING BULBS

750 CROCUS SYSTEM IS / SAEFON CROCUS  
PLURS. @ 0.15M O.C.

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD. THIS STANDARD IS PUBLISHED JOINTLY BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS (BSLA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BCLANA).
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5. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT - AS PER SPECIFICATIONS - PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL SHALL BE REJECTED AT NO COST TO THE OWNER.
6. THE CONTRACTOR SHALL CONTRIBUTE PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
7. PLANT LIST TO BE USED IN CONJUNCTION WITH SPECIFICATIONS FOR CONFORMANCE WITH THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER SPECIFICATIONS. ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED.
8. ALL PLANTING AREA TO BE FULLY BRIGATED WITH HIGH EFFICIENT AUTOMATIC IRRIGATION SYSTEM.
9. SEARCH AREA FOR ALL PLANT MATERIAL SHALL INCLUDE : PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON, AND OREGON.

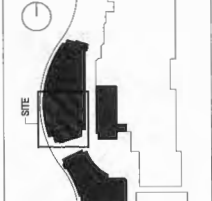
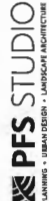




REVISIONS		Description	
No.	Date		
1	2017-03-31	Development Performed Application	
2	2017-06-06	30% Design Bid	
3	2018-01-29	Programs for Pricing	
4	2018-04-06	DP Application Rev. 1	
5	2018-06-07	DP Application Rev. 2	
6	2018-03-29	Programs for City Review	
7	2018-04-26	DP Application Rev. 3	
8	2018-05-02	Programs for City Review	
		DP Permit Submission	



**DP 17-768248**  
May 29, 2019  
**PLAN #5m-5**



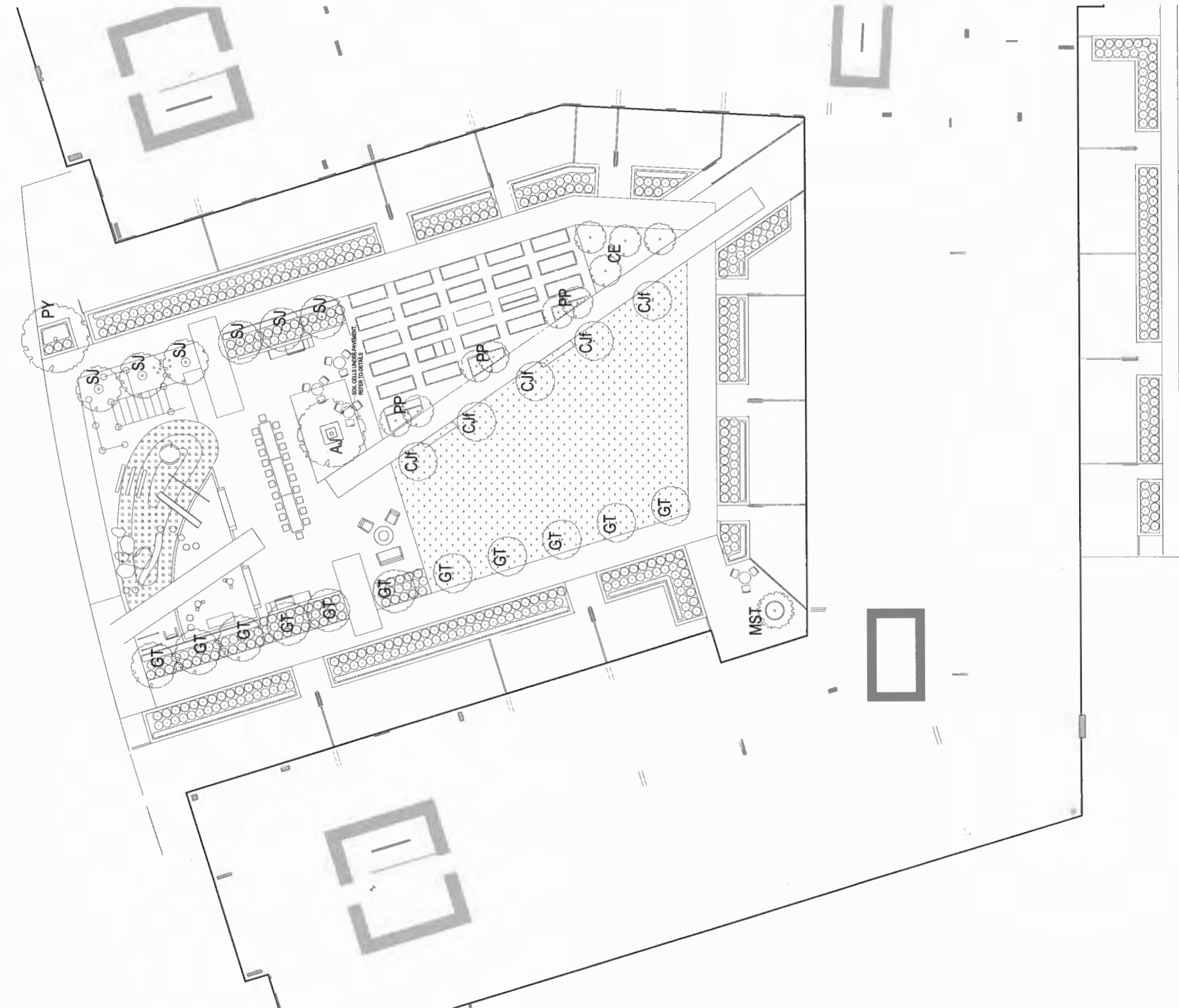
138 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V5T 1S8  
TEL 604 726 1136  
FAX 604 731 5279

19

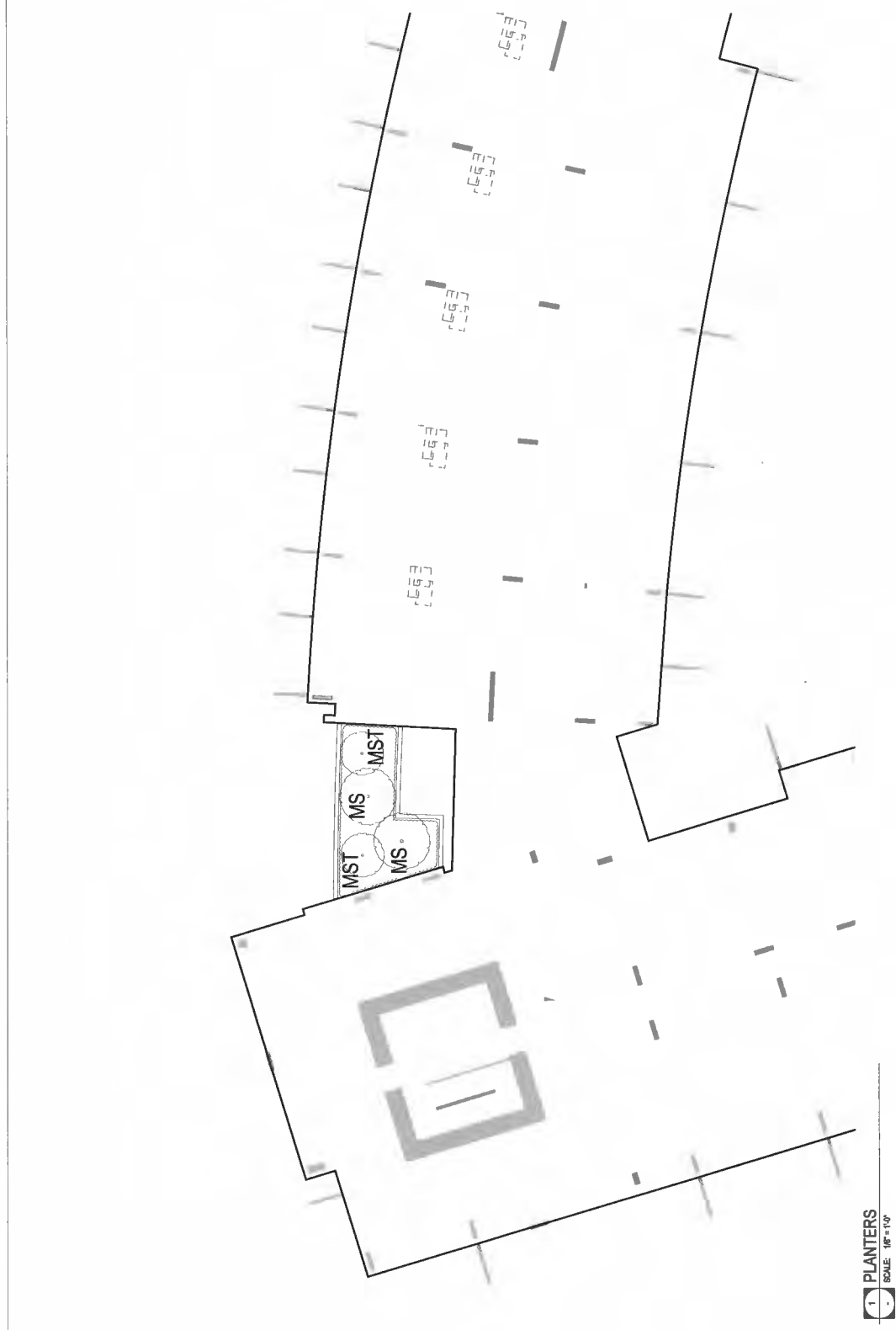


KEY		QTY	BOTANICAL COMMON NAME		SIZE/POSITION
PLANT SCHEDULE					
TREES					
A	1	ALBIZIA JULIBRISSEM / PEERAN SILK TREE	10 CH CAL W/L SPECIMEN		
GT	10	GLORIOSA TREANTICONS 'HALUKA' / HONEY LOCUST	7.5 CH CAL W/L 1.8 STD.		
			7.5 CH CAL W/L 1.8 STD.		
CJ	6	STYRAX JAPONICA / JAPANESE SNOWBELL	7.5 CH CAL W/L 1.8 STD.		
CJ	5	CECROPHYTUM JAPONICUM 'FASCIATUM' / COLUMBIA KATANA	10 CH CAL W/L		
HST	1	MAGNOLIA STELLATA / STAR MAGNOLIA	7.5 CH CAL W/L MULTI-STEP		
PP	6	PERSEA FERRICA / PEERAN BROWNWOOD	5 CH CAL W/L		
PP	2	PRUNUS TENDRONS / TASHIRO CHERRY	7.5 CH CAL W/L SPECIMEN		
HS	1	MAGNOLIA STELLATA / STAR MAGNOLIA	10 CH CAL W/L		
CE	5	CONARIS TENDERS WHITE WONDER / DORYWOOD	7.5 CH CAL W/L		
HERBIES					
Tm	189	TAXUS X MEDIA 'H.H. TEDDY' / EDDIE TEW	#1 POT, FULL @ 0.45M O.C.		
BS	45	BURKH MICROPHYLUM / ASIAN BROWNWOOD	#1 POT, FULL @ 0.35M O.C.		
SHRUBS					
Ru	189	RHODODENDRON UNIQUE / UNIQUE RHODODENDRON	#1 POT, FULL @ 0.45M O.C.		
Sw	85	ELAPHOGA WULFENI EVERGREEN PLUMGE	#1 POT, FULL @ 0.45M O.C.		
Pi	112	PRUNUS LAUDORASUS OTTO LUYKEN / OTTO LUYKEN ENGLISH LAUREL	#1 POT, FULL @ 0.45M O.C.		
Sr	52	SCOPPIA KRYSTIANA / DWARF SCOPPIA	#1 POT, FULL @ 0.45M O.C.		
Sh	20	SACCOCCOCCA HOOGHIANA / HEMAYAN SWEET BOX	#1 POT, FULL @ 0.4M O.C.		
SHRUBS - EDIBLE BERRIES					
B	10	LYCUM BARSILUM / GOJI BERRY	#1 POT, FULL @ 0.45M O.C.		
Ba	10	RIBES NGULUM / BLACK CURRENT	#1 POT, FULL @ 0.45M O.C.		
Vc	10	VACCINIUM CORTMARESIUM / BLUEBERRY	#1 POT, FULL @ 0.45M O.C.		
EDIBLE HERBS					
Pc	20	PETROSELINUM OSTRUPUM / PARSLEY	#1 POT, FULL @ 0.15M O.C.		
On	30	OCIMUM BASILICUM / SWEET BASIL	#1 POT, FULL @ 0.15M O.C.		
Ca	30	CONIUM SATIVUM / CILANTRO	#1 POT, FULL @ 0.15M O.C.		
Cm	30	CUMINUM CYMINUM / CUMIN	#1 POT, FULL @ 0.15M O.C.		
Aq	30	ANETHUM GRAVEOLENS / DILL	#1 POT, FULL @ 0.15M O.C.		
Fv	30	FENICULUM VULGARE / FENNEL	#1 POT, FULL @ 0.15M O.C.		
Aa	30	ALUM SCHEPENSIIUM / CHIVES	#1 POT, FULL @ 0.15M O.C.		
Se	30	SALVA DORIS / MINT	#1 POT, FULL @ 0.15M O.C.		
Or	30	ORGANUM VULGARE / OREGANO	#1 POT, FULL @ 0.15M O.C.		
Ro	30	ROSMARINUS OFFICINALIS / ROSEMARY	#1 POT, FULL @ 0.15M O.C.		
Ad	30	ARTEMISA DRACUNCILLUS / THYRAEON	#1 POT, FULL @ 0.15M O.C.		
Tv	30	THYMUS VULGARIS / SWEET THYME	#1 POT, FULL @ 0.15M O.C.		
GRASSES					
Is	20	HELICTOTRICHON SPPREWEHENSIS / BLUE CAT GRASS	#1 POT, FULL @ 0.45M O.C.		
ms	178	HYPSICARPE SPENSIS 'VALERIEA CHARTY' / DWARF PEGANETUS	#1 POT, FULL @ 0.35M O.C.		
K	20	STRA TENSIS / MEXICAN FEATHER GRASS	#1 POT, FULL @ 0.45M O.C.		
GROUND COVER / PERENNIALS					
L	72	LAVANDULA ANGUSTIFOLIA / ENGLISH LAVENDER	#1 POT, FULL @ 0.3M O.C.		

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE CURRENT EDITION OF THE BC LANDSCAPE STANDARD. THIS STANDARD IS PUBLISHED JOINTLY BY THE BC SOCIETY OF LANDSCAPE ARCHITECTS (BSLA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BCLANA).
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6. THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
7. PLANT LIST IS TO BE READ IN CONJUNCTION WITH THE CONTRACT DOCUMENTS.
8. THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIALS TO BE SPECIFIED AS PER SPECIFICATIONS. ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE CONSULTANT WILL BE REJECTED.
9. ALL PLANTINGS AREA TO BE FULLY IRRIGATED WITH HIGH EFFICIENT AUTOMATIC IRRIGATION SYSTEM
10. SEARCH AREA FOR ALL PLANT MATERIAL SHALL INCLUDE : PACIFIC NORTHWEST INCLUDING BRITISH COLUMBIA, WASHINGTON AND OREGON.







PLANTING LEGEND



PROPOSED TREES  
MEDIUM TREES 3\"/>  
SMALL TREES 24\"  
PROPOSED SHRUBS /  
GROUNDCOVERS  
18\"

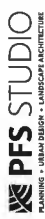
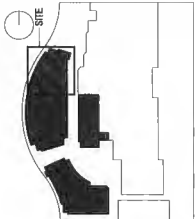
PLANT SCHEDULE		
KEY	QTY	BOTANICAL COMMON NAME
TREES		
MS	2	MANGROVE OIL CANJANA / MANGROVE OIL CANJANA
MST	2	MANGROVE OIL CANJANA / MANGROVE OIL CANJANA
SHRUBS		
PI	131	PRINCE LAUREL OTTO LUTKEN / OTTO LUTKEN ENGLISH LAUREL

PI POT, FULL @ 0.65M O.C.



gbl architects, inc.  
100 WEST 10TH AVENUE  
VANCOUVER, BC CANADA V6T 1B6  
TEL: 604 728 1188  
FAX: 604 728 1188

NOTES



DP 17-768248  
May 29, 2019  
PLAN #5m-6



REVISIONS

No.	Date	Description
1	2019-05-29	Final Design
2	2019-05-29	Final Design
3	2019-05-29	Final Design
4	2019-05-29	Final Design
5	2019-05-29	Final Design
6	2019-05-29	Final Design
7	2019-05-29	Final Design
8	2019-05-29	Final Design

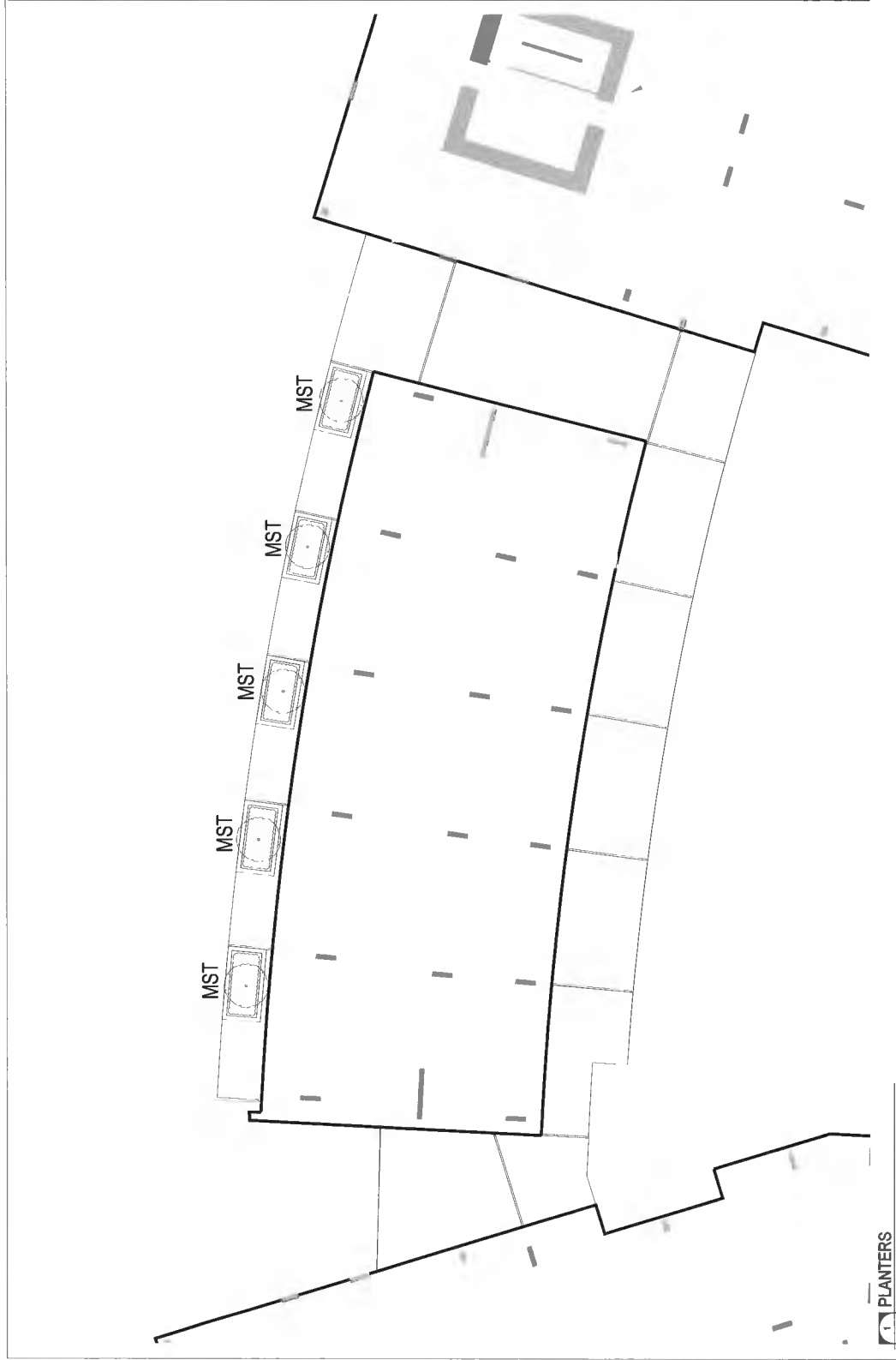
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

LANDSCAPE PLANTING  
1A - LEVEL 7

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

L13.06



PLANTING LEGEND



PROPOSED TREES

MEDIUM TREES 3"

SMALL TREES 20"

18"

PROPOSED SHRUBS /

GROUNDCOVERS

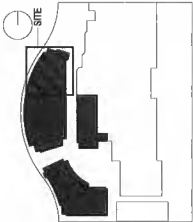
PLANT SCHEDULE

KEY	CITY	BOTANICAL / COMMON NAME	SIZE / CONDITION
TREES			
MST	5	MAGNOLIA STELLATA 'TENTENNA' /	5CH CAL. WIL.
		STAR MAGNOLIA	
SHRUBS			
PI	85	FRAXINUS LAUROCARPAE OTTO LUTKEN /	#3 POT. FALL @ 60% O.C.
		OTTO LUTKEN ENGLISH LAUREL	



G.B. LANDSCAPE INC.  
13 SALTER AVENUE  
VANCOUVER, BC CANADA V7T 1P6  
TEL: 604 271 1188  
FAX: 604 271 1278

NOTES



**PFS STUDIO**  
PLANNING • DESIGN • LANDSCAPE ARCHITECTURE

**DP 17-768248**  
May 29, 2019  
**PLAN #5m-7**



REVISIONS	No.	Date	Description
1	2019-05-29	2019-05-29	Development Permit Application
2	2019-06-08	2019-06-08	Permit to Proceed
3	2019-06-29	2019-06-29	Permit to Proceed
4	2019-07-05	2019-07-05	Permit to Proceed
5	2019-07-05	2019-07-05	Permit to Proceed
6	2019-07-05	2019-07-05	Permit to Proceed
7	2019-07-05	2019-07-05	Permit to Proceed
8	2019-07-05	2019-07-05	Permit to Proceed

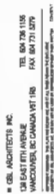
**RICHMOND CENTRE**  
**PHASE 1A / 1B**

**DP APPLICATION REV. 3**  
**LANDSCAPE PLANTING**  
**1A - LEVEL 9**

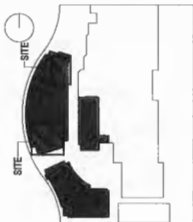
DATE	4/30/19
DRAWN BY	NI
CHECKED BY	CM
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87

**L13.07**





NOTES



**DP 17-768248**  
May 29, 2019  
**PLAN #5m-8**



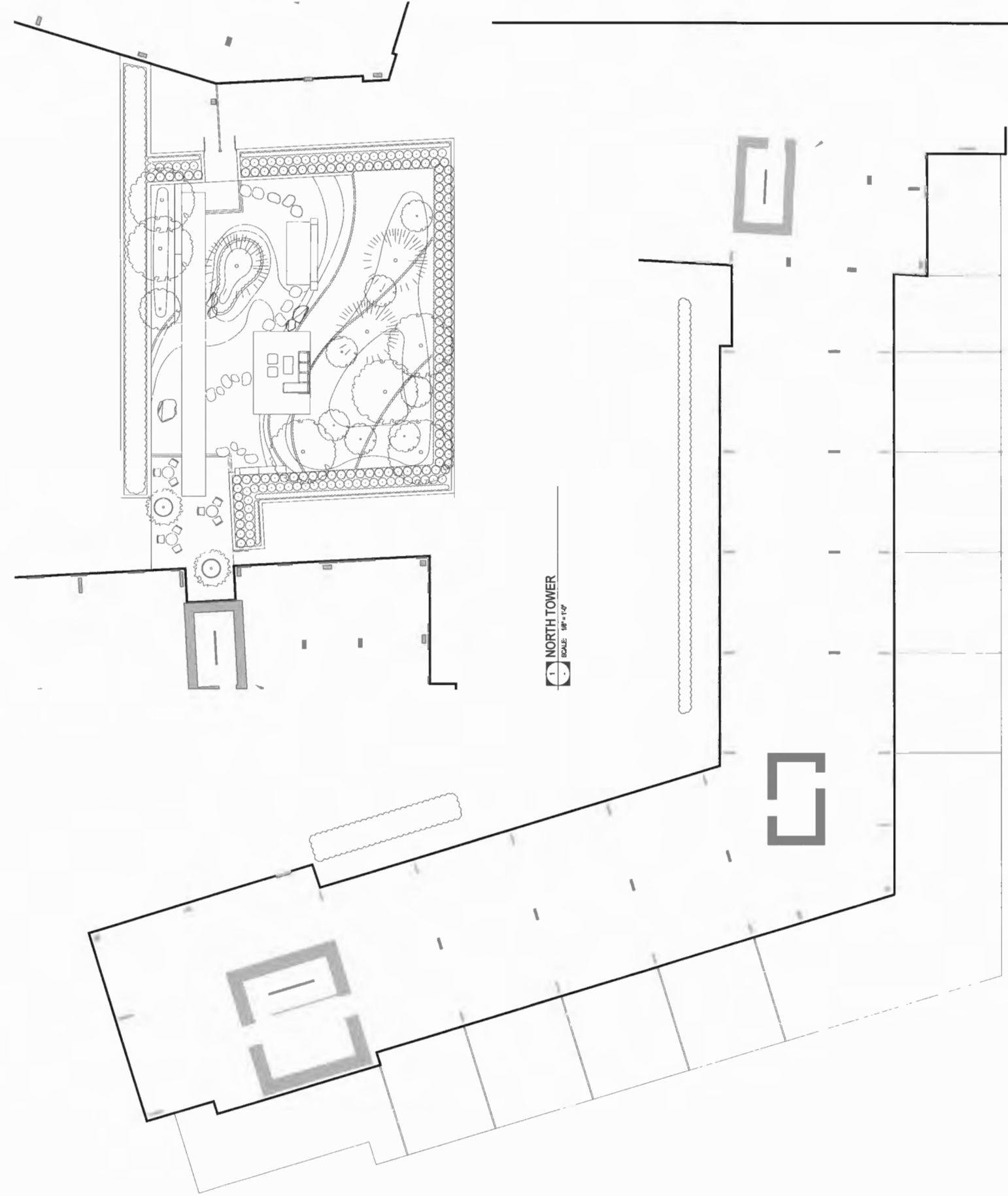
REVISIONS		Description	
No.	Date		
1	2017-03-31	Development Permit Application	
2	2017-05-08	20% Grading Set	
3	2018-03-29	Program for Mining	
4	2018-04-09	CP Application Rev 1	
5	2018-06-02	CP Application Rev 2	
6	2018-05-30	CP Application Rev 3	
7	2018-04-26	Program for City Review	
		CP Application Rev 3	
		Program for City Review	
	2018-05-25	CP Permit Submittal	

RICHMOND CENTRE  
PHASE 1A/1B

DP APPLICATION REV. 3  
LANDSCAPE PLANTING  
1A - LEVEL 10

DATE 4/2/2018  
DRAWN BY NH  
CHECKED CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

L13.08



**1 NORTH TOWER**  
SCALE: 1/8" = 1'-0"

**1** SOUTH TOWER  
SCALE: 1/8" = 1'-0"

**NOTES:**

- [illegible]

KEY	CITY	BOTANICAL COMMON NAME	SIZE/COMBINATION
PLANT SCHEDULE			
TREES			
AP	3	ACER PALMATHY / JAPANESE MAPLE	7.5 CH CAL WIL 1.8 H STD.
HS	5	MAGNOLIA SOULANGIANA / SAUCEY MAGNOLIA	7.5 CH CAL W8
HS	3	MAGNOLIA TILITATA / ITAM MAGNOLIA	7.5 CH CAL W8
PS	3	PRUNUS SEMIBATA / JAPANESE FLOWERING CHERRY	7.5 CH CAL W8
PY	3	PRUNUS YEDOENSIS YASINO CHERRY	10 CH CAL WIL SPECHEN
PC	3	PRUNUS CANTONICA / SHORE PINE	4H HIGHT, FULL SPECHEN
HEDGES			
Tm	129	TAXUS X MEDIA HYA. EDDIE / EDDIE TEW	4H POT, FULL @ 0.6H O.C.
SHRUBS			
AP	200	ABUTILON UNICOLOR COMPACTA / COMPACT STAMBERED BUSH	4H POT, FULL @ 0.6H O.C.
AI	194	ADONIS JAPONICA GUMPO WHITE / DWARF AZALEA	4H POT, FULL @ 0.3M O.C.
AP	530	ADONIS JAPONICA GESSHA ORANGE / DWARF AZALEA	4H POT, FULL @ 0.3M O.C.
EW	34	ELPHORRIA VULFENS PYRGREEN SPURGE	4H POT, FULL @ 0.3M O.C.
PI	297	PRUNUS LAUROCESTRA VOTTO LUNKEY / VOTTO LUNKEY ENGLISH SAMLE	4H POT, FULL @ 0.6H O.C.
IR	176	RHOISODENDRON WAMPOO / RHOISODENDRON	4H POT, FULL @ 0.3M O.C.
SR	94	SOPHORA KEYSIANA / DWARF SOPHIA	4H POT, FULL @ 0.6H O.C.
GRASSES			
IF	100	FESTUCA IDAHENSIS IDAHO RESCUE	4H POT, FULL @ 0.3M O.C.
HA	50	HELIOTRICHON IMPERIVENS / BLUE CAT GRASS	4H POT, FULL @ 0.6H O.C.
MM	59	MISCANTHUS SINENSIS YALUSHIMA DWARF DWARF MISCANTHUS	4H POT, FULL @ 0.6H O.C.
GROUND COVER/ PERENNIALS			
IK	95	IRIS KASHITANI / JAPANESE IBS	4H POT, FULL @ 0.3M O.C.
SO	50	SOEYUSU HYPALE / HORTISTAIL	4H POT, FULL @ 0.3M O.C.



POP 17-768248  
May 29, 2019  
PLAN #5m-9



2. Date	Description
2017-03-21	Developed Period Applications
2017-04-04	30% Design Bid
2018-02-29	Program for Pricing
2018-04-08	CP Applications Inter. 1
2018-04-02	CP Applications Inter. 2
2018-02-25	CP Applications Inter. 3
2018-02-20	Program for City Review
2018-02-20	CP Applications Inter. 3
2018-04-26	Program for City Review
2018-04-02	CP Period Applications

RICHMOND CENTRE  
PHASE 1A / 1B

IP APPLICATION REV. 3  
LANDSCAPE PLANTING  
A - LEVEL 12

DATE 4/8/2015  
DRAWN BY NIN  
CHECKED BY CMACP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

13.09

PLANT SCHEDULE		
QTY	BOTANICAL / COMMON NAME	SIZE/CONDITION

dum Mixtures

Sedum spurium sp.  
Sedum spurium 'Ros  
Sedum spurium 'Veo  
Sedum staeo

Sedum kamtschaticum  
Sedum middendorffianum diffusum  
Sedum rupestre  
Sedum sexangulare

- Sedum album 'Coral Carpet'
- Sedum cauculolum
- Sedum Ellacombianum
- Sedum hybridum 'Czar's Gold'

m2 (751 sq. ft.)

- Sedum Cauticola 'Lidakense'
- Sedum reflexum 'Blue Spruce'
- Sedum sieboldii

*Sedum stelfo*  
*Sedum takesimensis*  
*Sedum tetradium* 'C

Sedum spurium 'Coccineum'  
Sedum spurium 'Fuldaglut'  
Sedum spurium 'John Creech'  
Sedum spurium 'Red Carpet'

- Sedum album 'Coral Carpet'
- Sedum h. 'Immergrünchen'
- Sedum floriferum
- Sedum midendorffianum diffusum

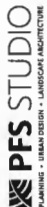
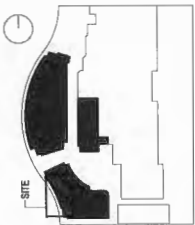
## NOTES:

- [illegible]





NOTES



**DP 17-768248**

May 29, 2019

**PLAN #5m-10**



REVISIONS	No.	Date	Description
	1	2017-03-21	Development Permit Application
	2	2017-03-28	30% Design Set
	3	2018-03-26	Program for Parking
	4	2018-03-26	DP Application Rev. 1
	5	2018-03-26	DP Application Rev. 2
	6	2018-03-26	Program for Day Resident
	7	2018-04-26	DP Application Rev. 3
	8	2018-05-03	Program for Day Resident

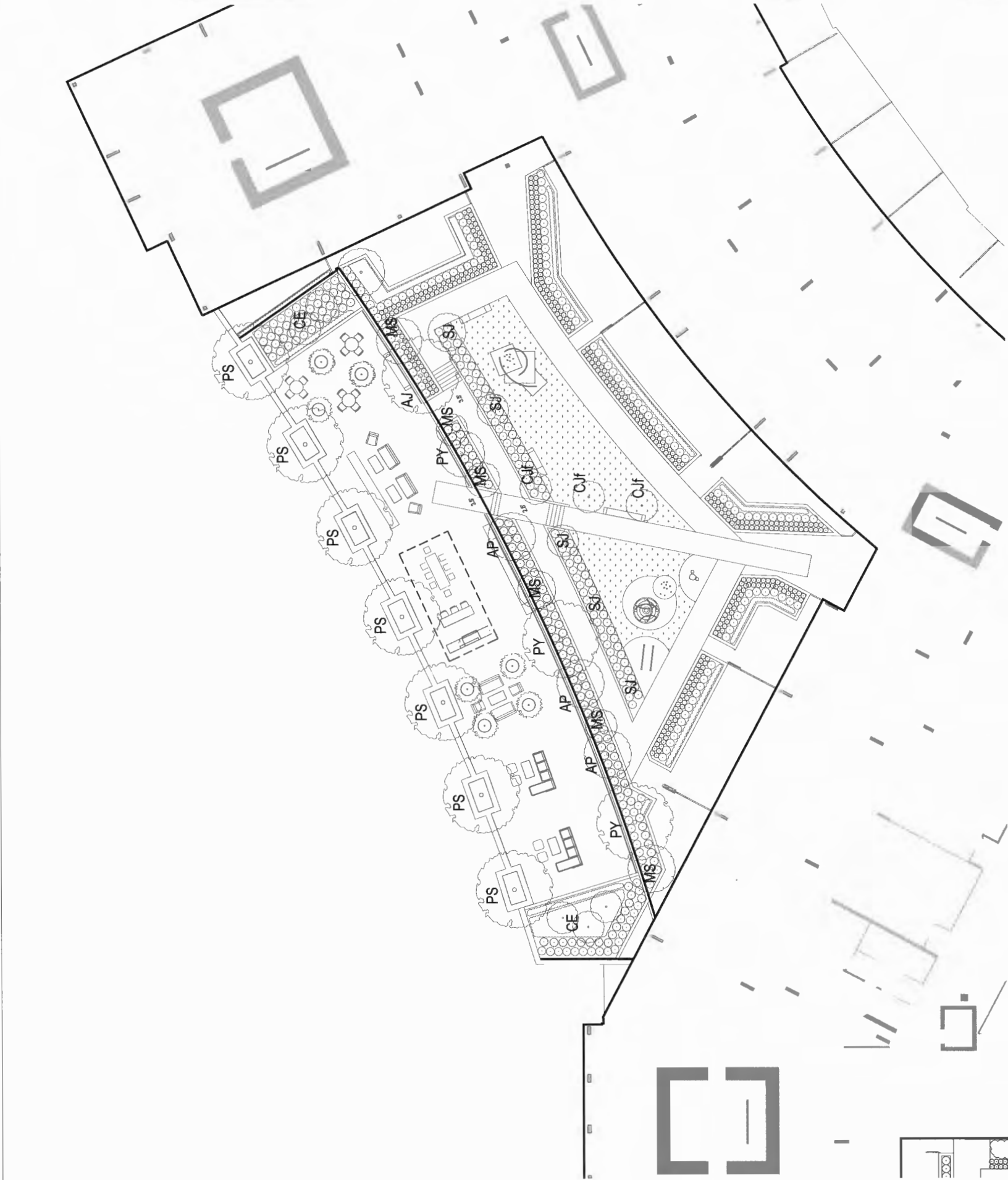
RICHMOND CENTRE  
PHASE 1A / 1B

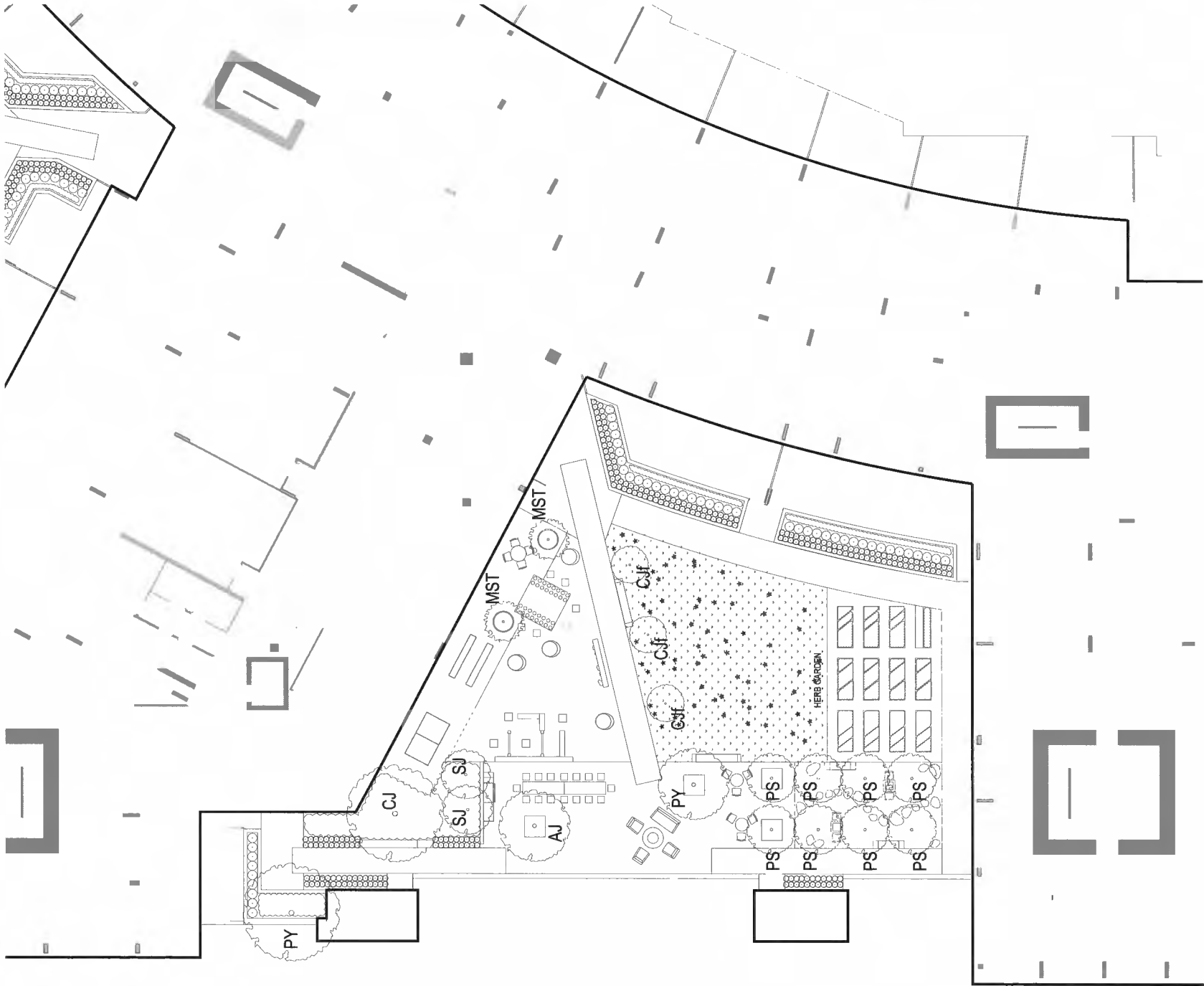
DP APPLICATION REV. 3

LANDSCAPE PLANTING  
1B - LEVEL 2

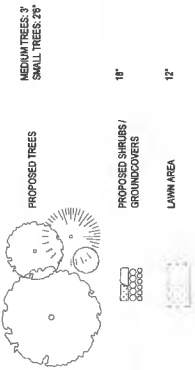
DATE 4/6/2015  
DRAWN BY MH  
CHECKED BY CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

L13.10





PLANTING LEGEND



MINIMUM SOIL DEPTH

MEDIUM TREES: 7'  
SMALL TREES: 2'

18"

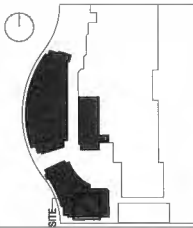
12"

PLANT SCHEDULE

KEY	QTY	BOTANICAL	COMMON NAME	SPECIFICATION
<strong>TREES</strong>				
AJ	1	ALBIDIA JULIBRSIN /	REDUAN SILK TREE	10 CH CAL. WB. SPECIMEN
GT	8	GLEDETIA TRICANTHOS /	YALUAY /	7.5 CH CAL. WB. 1.8 M STD.
		HONET LOCUST		
SJ	1	STYRAX JAPONICA /	JAPANESE SNOWBELL	7.5 CH CAL. WB. 1.8 M STD.
CJ	3	CECIDIOPHYLLUM JAPONICUM /	PASTIGATA /	
		COLUMNA KATSUHA		
MST	2	MAGNOLIA STELLATA /	STAR MAGNOLIA	5.0 CH CAL. WB. MULTI-STEM
PY	1	PRUNUS YEDOENSE /	YASHIHO CHERRY	7.5 CH CAL. WB. SPECIMEN
CE	5	CORNUS EDDIE WHITE	WONDERY /	
		DOGWOOD		
<strong>HEDGES</strong>				
Tm	144	TAXUS MEDIA HN. EDDIE	VIEW	#3 POT. FULL @ 0.6M O.C.
BS	28	BUXUS MICROPHYLLA /	ASIAN BOXWOOD	#3 POT. FULL @ 0.3M O.C.
<strong>SHRUBS</strong>				
Au	108	ABUTILON UNIBDO /	COMPACT /	
		COMPACT STANBERRY BUSH		
Ev	84	EUPHORBIA VULGARIS /	EVERGREEN SPURGE	#2 POT. FULL @ 0.6M O.C.
Pl	37	PRUNUS LAUROCEASIA /	OTTO LUTKEN /	
		OTTO LUTKEN ENGLISH LAUREL		
Ru	124	RHOODENDRON UNIQUE /	UNIQUE	#3 POT. FULL @ 0.6M O.C.
		RHOODENDRON		
Sr	40	SOPHORA REPENSANA /	DYWAB SOPHIA	#3 POT. FULL @ 0.6M O.C.
Sh	35	SALICOCOCOA HOOKERIANA /	HIMALAYAN SWEET BOX	#3 POT. FULL @ 0.6M O.C.
<strong>SHRUBS - EDIBLE BERRIES</strong>				
lb	6	LYCUM BARBARUM /	GOJI BERRY	#3 POT. FULL @ 0.6M O.C.
Rn	6	RIBES NIGRUM /	BLACK CURRANT	#3 POT. FULL @ 0.6M O.C.
Vc	6	VACCINIUM CORYMBOSUM /	BLUEBERRY	#3 POT. FULL @ 0.6M O.C.
<strong>EDIBLE HERBS</strong>				
Pc	22	PETROSELINUM CRISPUM /	PARSLEY	#1 POT. FULL @ 0.15M O.C.
Ob	22	OCIMUM BASILICUM /	SWEET BASIL	#1 POT. FULL @ 0.15M O.C.
Ca	22	CORIANDRUM SATIVUM /	CILANTRO	#1 POT. FULL @ 0.15M O.C.
Cus	22	CUMINUM CYMINUM /	CUMIN	#1 POT. FULL @ 0.15M O.C.
Ag	22	ANETHUM GRAVEOLENS /	DILL	#1 POT. FULL @ 0.15M O.C.
Fe	22	FENICULUM VULGARE /	FENNEL	#1 POT. FULL @ 0.15M O.C.
Alu	22	ALUM SCOROPARASUM /	CHIVES	#1 POT. FULL @ 0.15M O.C.
Sal	22	SALVA DORII /	MINT	#1 POT. FULL @ 0.15M O.C.
Or	22	ORIGANUM VULGARE /	OREGANO	#1 POT. FULL @ 0.15M O.C.
Ro	22	ROSMARINUS OFFICINALIS /	ROSEMARY	#1 POT. FULL @ 0.15M O.C.
Ad	22	ARTIMISA DRACUNCULUS /	TARRAGON	#1 POT. FULL @ 0.15M O.C.
Ty	22	THYMUS VULGARIS /	SWEET THYME	#1 POT. FULL @ 0.15M O.C.
<strong>GRASSES</strong>				
h	25	HELICTOTRICHON SPERMOPHYTES		
		BLUE OAT GRASS		
m	124	MISCANTHUS SINENSIS /	YALUSHIPPA DWARF	#1 POT. FULL @ 0.6M O.C.
		DWARF MISCANTHUS		
t	20	STIPA TENUISSIMA /	MEXICAN FEATHER GRASS	#1 POT. FULL @ 0.6M O.C.
<strong>GROUND COVER / PERENNIALS</strong>				
la	25	LAVANDULA ANGUSTICULUM /	ENGLISH LAVENDER	#3 POT. FULL @ 0.3M O.C.
<strong>FLOWERING BULBS</strong>				
a	200	CROCUS SYSTIUS /	SARFON CROCUS	BULBS @ 0.15M O.C.

1. ALL PLANT MATERIAL SHALL COMPLY WITH THE STANDARD SPECIFICATIONS AND REQUIREMENTS OF THE BC LANDSCAPE AND NURSERY ASSOCIATION (BLNA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BLNA).
2. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND SHOWN IN SHADE AND SIZE.
3. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND SHOWN IN SHADE AND SIZE.
4. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND SHOWN IN SHADE AND SIZE.
5. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIA ANALYSIS FOR REVIEW BY THE CONSULTANT. AS PER THE CONSULTANT'S REQUIREMENTS, THE GROWING MEDIA SHALL BE ANALYZED FOR NUTRIENT CONTENT, PH, AND SALINITY. THE ANALYSIS SHALL BE PROVIDED TO THE CONSULTANT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
6. THE CONTRACTOR SHALL CONFIRM PLANT QUANTITIES ON THE DRAWINGS CORRESPOND TO THOSE INDICATED ON THE PLANT LIST TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS FOR COMPLIANCE.
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NOTES



DP 17-768248  
May 29, 2019  
PLAN #5m-11

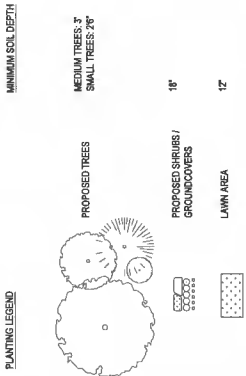


REVISIONS	No.	Date	Description
1	2019-05-21	2019-05-21	Development Permit Application
2	2019-05-28	2019-05-28	Permit to Develop
3	2019-06-05	2019-06-05	Permit to Develop
4	2019-06-12	2019-06-12	Permit to Develop
5	2019-06-19	2019-06-19	Permit to Develop
6	2019-06-26	2019-06-26	Permit to Develop
7	2019-06-26	2019-06-26	Permit to Develop
8	2019-06-26	2019-06-26	Permit to Develop

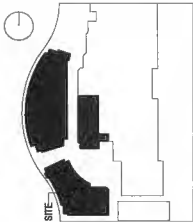
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3  
LANDSCAPE PLANTING  
1B - LEVEL 2

DATE: 4/26/2019  
DRAWN BY: JH  
CHECKED BY: JH  
SCALE: 1/4" = 1'-0"  
JOB NUMBER: 1886-87



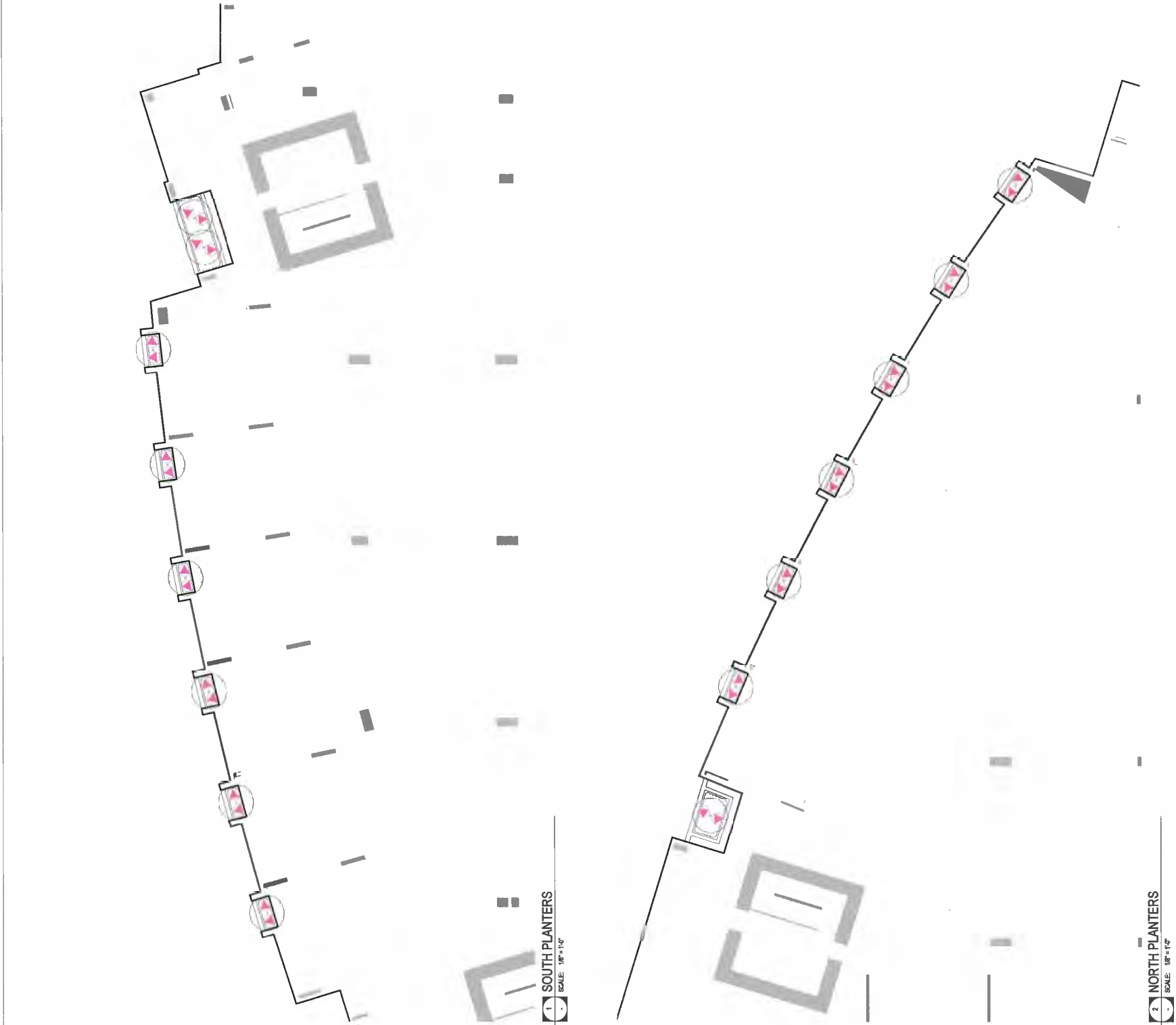
PLANT SCHEDULE			SIZE/CONDITION	
KEY	QTY	BOTANICAL / COMMON NAME		
TREES				
AP	1	ACER PAULATIN / JAPANESE MAPLE	10 CH CAL. W/ 1.8 M STD.	
MS	1	MAGNOLIA SOULANGIANA / JACQUEN MAGNOLIA	7.5 CH CAL W/ 8	
MST	4	MAGNOLIA STELLATA 'CENTENNIAL' / STAR MAGNOLIA	5CH CAL. W/ 8	
HEDGES				
Tm	43	TAXUS X MEDIA 'H.H. EDDIE' / EDDIE YEW	#3 POT. FULL @ 0.45M O.C.	
SHRUBS				
AJ	104	AZALEA JAPONICA 'GUMPO WHITE' / DWARF AZALEA	#3 POT. FULL @ 0.3M O.C.	
AG	104	AZALEA JAPONICA 'GESSHA ORANGE' / DWARF AZALEA	#3 POT. FULL @ 0.3M O.C.	
EW	20	EUPHORBIA YALUENSI 'EYERGREEN SPURGE'	#2 POT. FULL @ 0.45M O.C.	
GRASSES				
F	93	FESTUCA IDAHOENSIS 'IDAHO FESCUE' / GROUND COVERS / PERENNIALS	#2 POT. FULL @ 0.3M O.C.	
B	46	BIR KASHIYEM / JAPANESE BIR	#1 POT. FULL @ 0.3M O.C.	



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-06-08 30% Design Set
3	2018-03-28 Preliminary Permit
4	2018-04-02 40% Design Set
5	2018-04-02 DP Application Rev. 1
6	2018-03-28 DP Application Rev. 2
7	2018-04-08 DP Application Rev. 3
8	2018-04-08 DP Application Rev. 4
9	2018-04-08 DP Final Submission







LEGEND

SCALE: N.T.S.

TREE UPLIGHT  
spike-mount  
planting areas

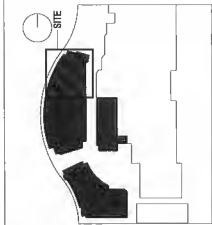


NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

gbl

GBL ARCHITECTS INC.  
150 EAST 17TH AVENUE  
VANCOUVER, BC CANADA V6T 1B6  
TEL: 604.778.1108  
FAX: 604.778.1879

NOTES



PFS STUDIO  
PLANNING • LANDSCAPE DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #50-1



REVISIONS	
No.	Description
1	2019-05-31 Development Permit Application
2	2019-06-08 30% Design Add
3	2019-06-28 Prepared for Permit
4	2019-07-05 Final Design
5	2019-08-02 DP Application Rev 1
6	2019-08-02 DP Application Rev 2
7	2019-08-08 DP Application Rev 3
8	2019-08-08 DP Final Submission

2 NORTH PLANTERS  
SCALE: 1/8" = 1'-0"

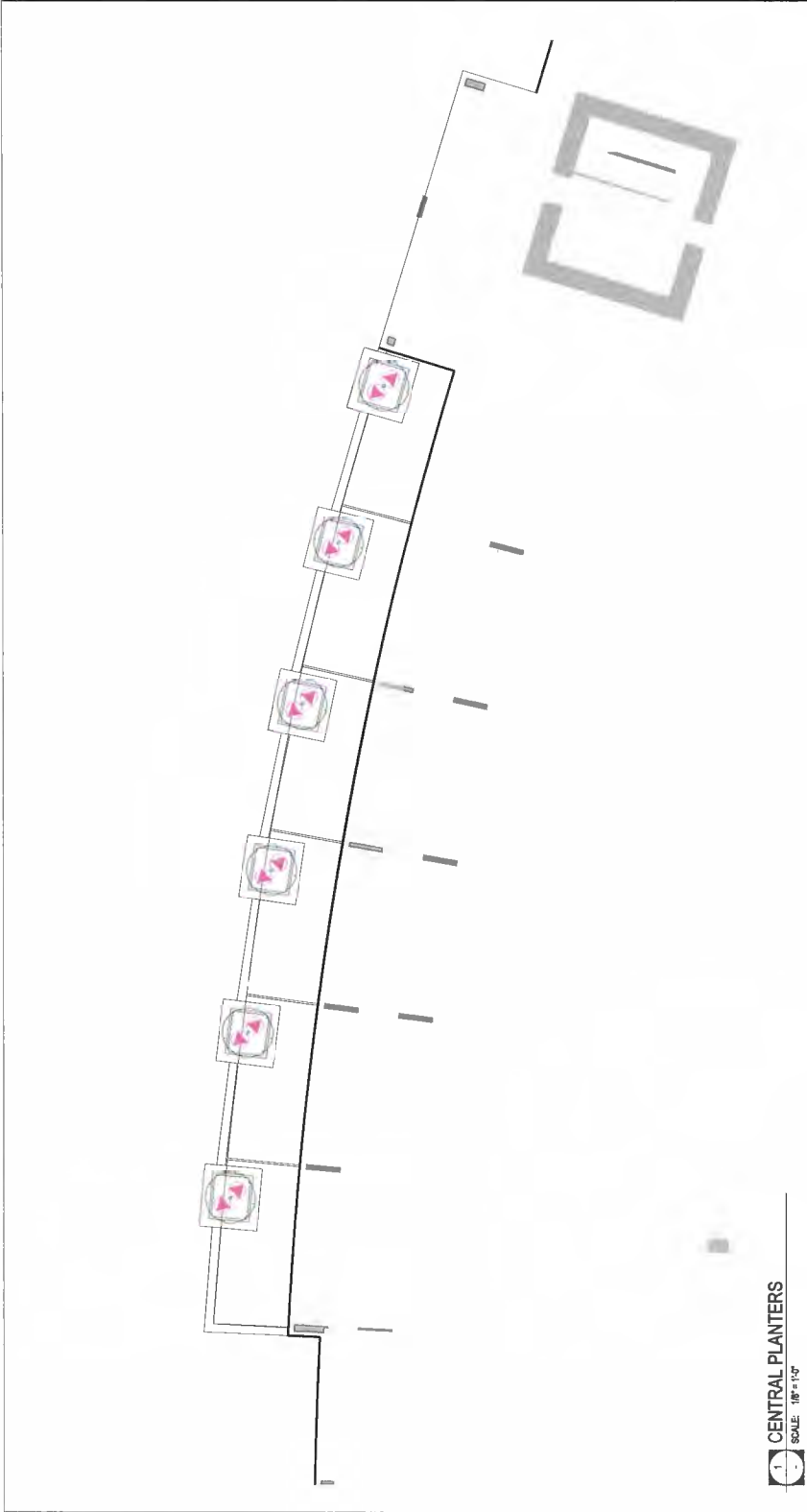
1 SOUTH PLANTERS  
SCALE: 1/8" = 1'-0"

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1A - LEVEL 2 (SCHEMATIC)

DATE: 08/02/19  
DRAWN BY: MH  
CHECKED BY: GBL  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1886-87

L15.01

FOR REFERENCE ONLY NOT FOR CONSTRUCTION



LEGEND

SCALE: N.T.S.

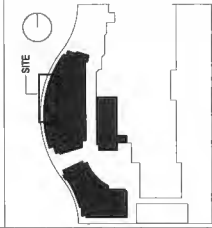
TREE UPLIGHT  
spike-mount  
- planting areas



NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

gbl  
GIBB ARCHITECTS INC.  
135 EAST 17TH AVENUE  
VANCOUVER, BC CANADA V5T 1B6  
TEL: 604.778.1188  
FAX: 604.771.8279  
www.gibbarchitects.com

NOTES



PFS STUDIO  
PLANNING • DESIGN • CONSTRUCTION

DP 17-768248  
May 29, 2019  
PLAN #50-2



REVISIONS	
No.	Description
1	2017-05-31 Development Permit Application
2	2017-06-08 30% Design Add
3	2018-03-28 Progress to 70%
4	2018-04-02 70% Design Add
5	2018-04-02 DP Application Rev 1
6	2018-04-26 DP Application Rev 2
7	2018-04-26 DP Application Rev 3
8	2018-04-26 DP Application Rev 4
9	2018-05-02 DP Final Submission

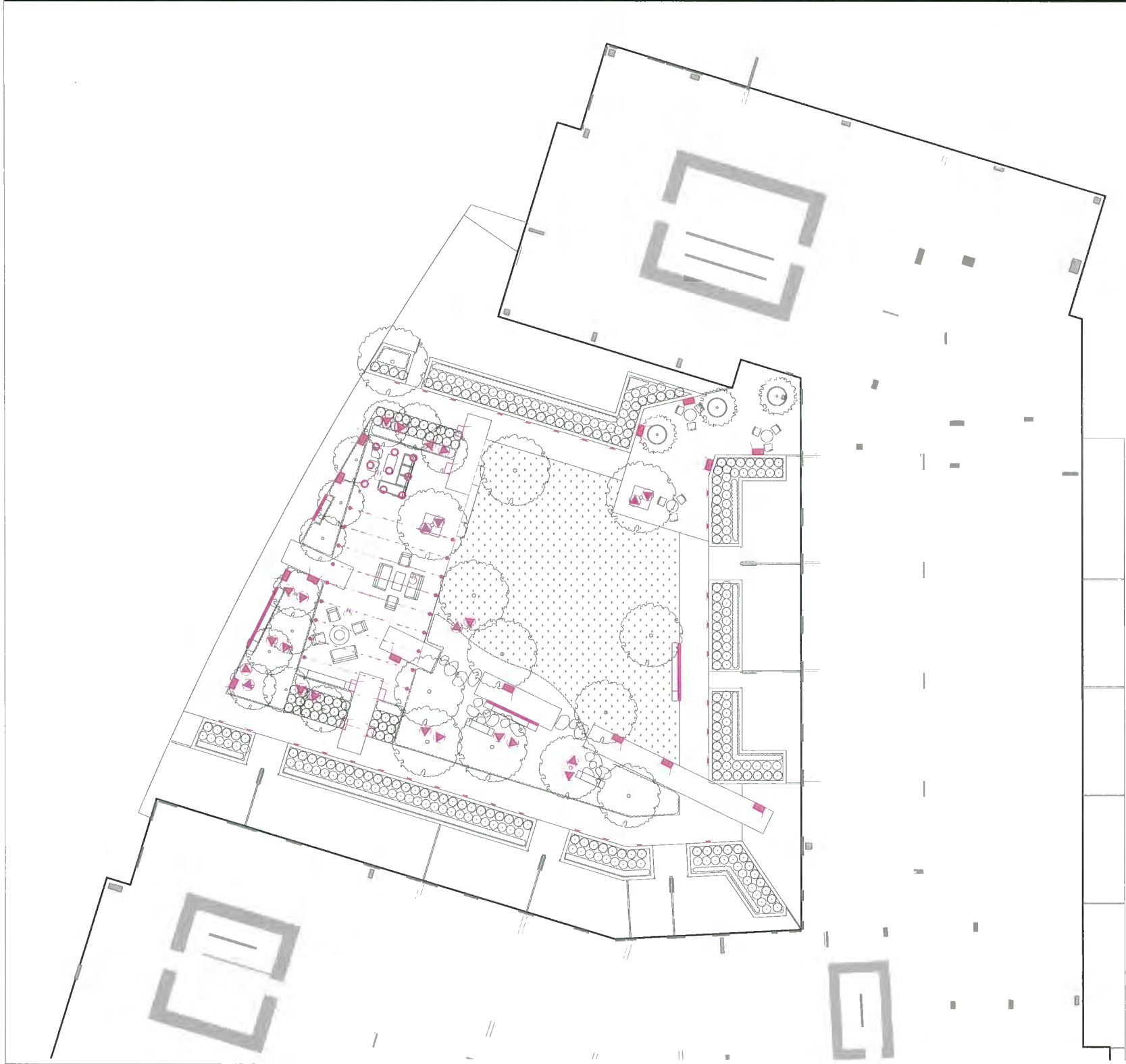
RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1A - LEVEL 3 (SCHEMATIC)

DATE: 4/20/19  
DRAWN BY: WJS  
CHECKED BY: GJS  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1886-87

L15.02

FOR REFERENCE ONLY. NOT FOR CONSTRUCTION





LEGEND  
SCALE: N.T.S.

- WALL LIGHT  
recessed wall mount
- ILLUMINATED BOLLARD  
- walkway at common area  
- 8" wide fixture
- ILLUMINATED BOLLARD  
dining/social courtyard  
- 12" wide fixture
- TREE UPLIGHT  
spike-mount  
- planting areas
- LINEAR LED LIGHTING  
under linear wood  
top benches
- CEILING DOWNLIGHT  
- trellis & pavilion
- DECORATIVE WALL LIGHT  
- outdoor stairway
- ELECTRICAL POWER OUTLET  
(EXTERIOR USE)
- CATENARY LIGHTS AND WOOD  
POLE SUPPORT

NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

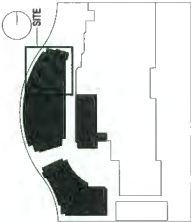
FOR REFERENCE ONLY, NOT FOR CONSTRUCTION

gbl

gbl ARCHITECTS INC.

18 EAST 17TH AVENUE  
WASIKOWICZ, BC CANADA V6T 1B6  
TEL: 604.731.1188  
FAX: 604.731.6279

NOTES



PFS STUDIO

PLANNING • DESIGN • CONSTRUCTION

DP 17-768248  
May 29, 2019  
PLAN #50-3



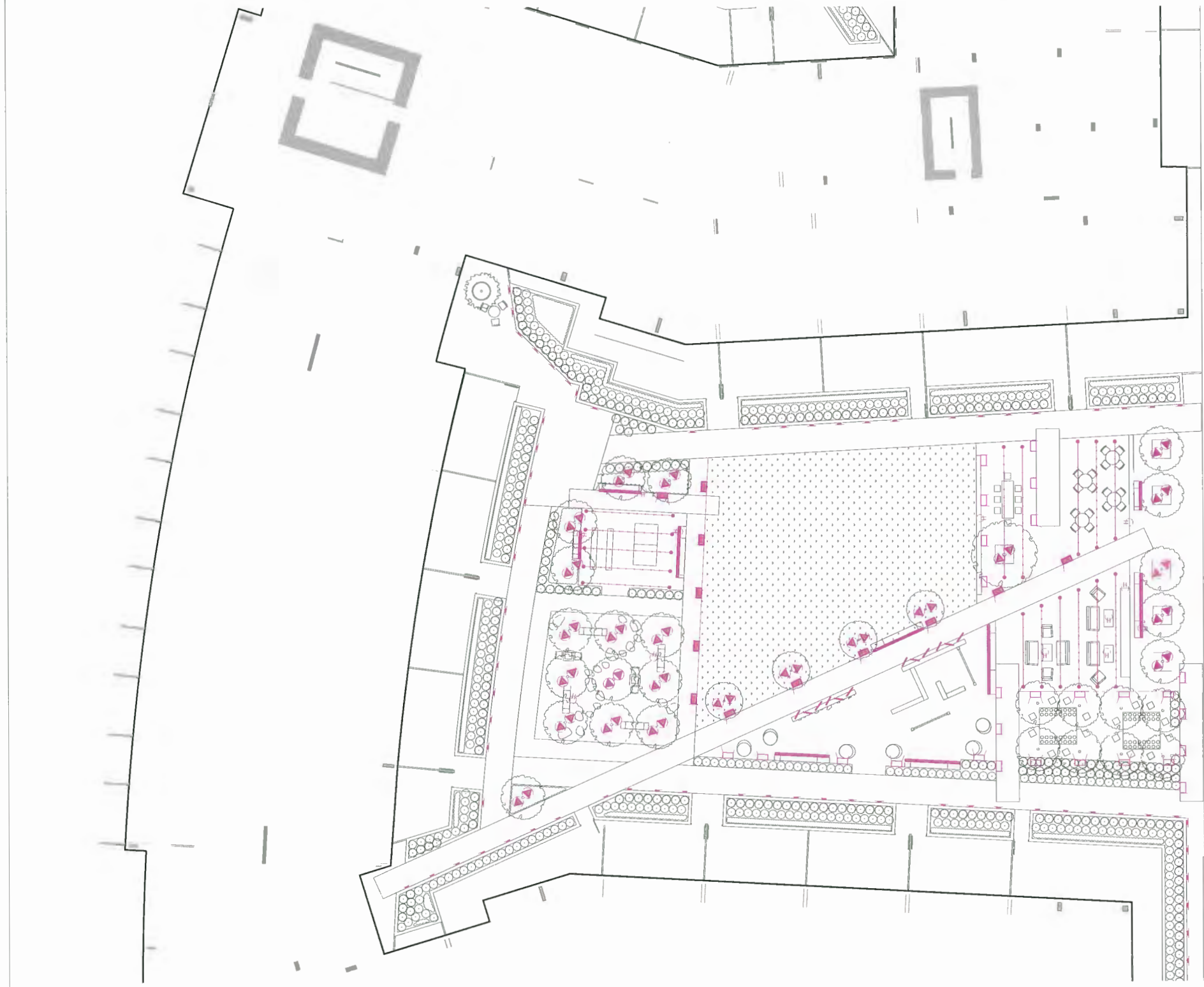
REVISIONS	No.	Date	Description
1	2019-05-29	2019-05-29	2019-05-29
2	2019-06-05	2019-06-05	2019-06-05
3	2019-06-12	2019-06-12	2019-06-12
4	2019-06-19	2019-06-19	2019-06-19
5	2019-06-26	2019-06-26	2019-06-26
6	2019-07-03	2019-07-03	2019-07-03
7	2019-07-10	2019-07-10	2019-07-10
8	2019-07-17	2019-07-17	2019-07-17

RICHMOND CENTRE  
PHASE 1A / 1B










DP APPLICATION REV. 3

LANDSCAPE LIGHTING PLAN  
1A - LEVEL 4 (SCHEMATIC)

DATE: 2019-07-17  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1888-87



LEGEND  
SCALE: N.T.S.

-  WALL LIGHT  
recessed wall mount
-  ILLUMINATED BOLLARD  
- walkway at common area  
- 8" wide fixture
-  ILLUMINATED BOLLARD  
- dining/social courtyard  
- 12" wide fixture
-  TREE UPLIGHT  
spike-mount  
- planting areas
-  LINEAR LED LIGHTING  
under linear wood  
top benches
-  CEILING DOWNLIGHT  
- trellis & pavilion
-  DECORATIVE WALL LIGHT  
- outdoor stairway
-  ELECTRICAL POWER OUTLET  
(EXTERIOR USE)
-  CATENARY LIGHTS AND WOOD  
POLE SUPPORT

NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

FOR REFERENCE ONLY. NOT FOR CONSTRUCTION



4000 10th Avenue  
10th Floor  
Vancouver, BC V6N 1A8  
TEL: 604.778.1188  
FAX: 604.778.1189

NOTES



**PFS STUDIO**  
PARKING • LANDSCAPE • LANDSCAPE ARCHITECTURE

**DP 17-768248**  
May 29, 2019  
**PLAN #50-4**



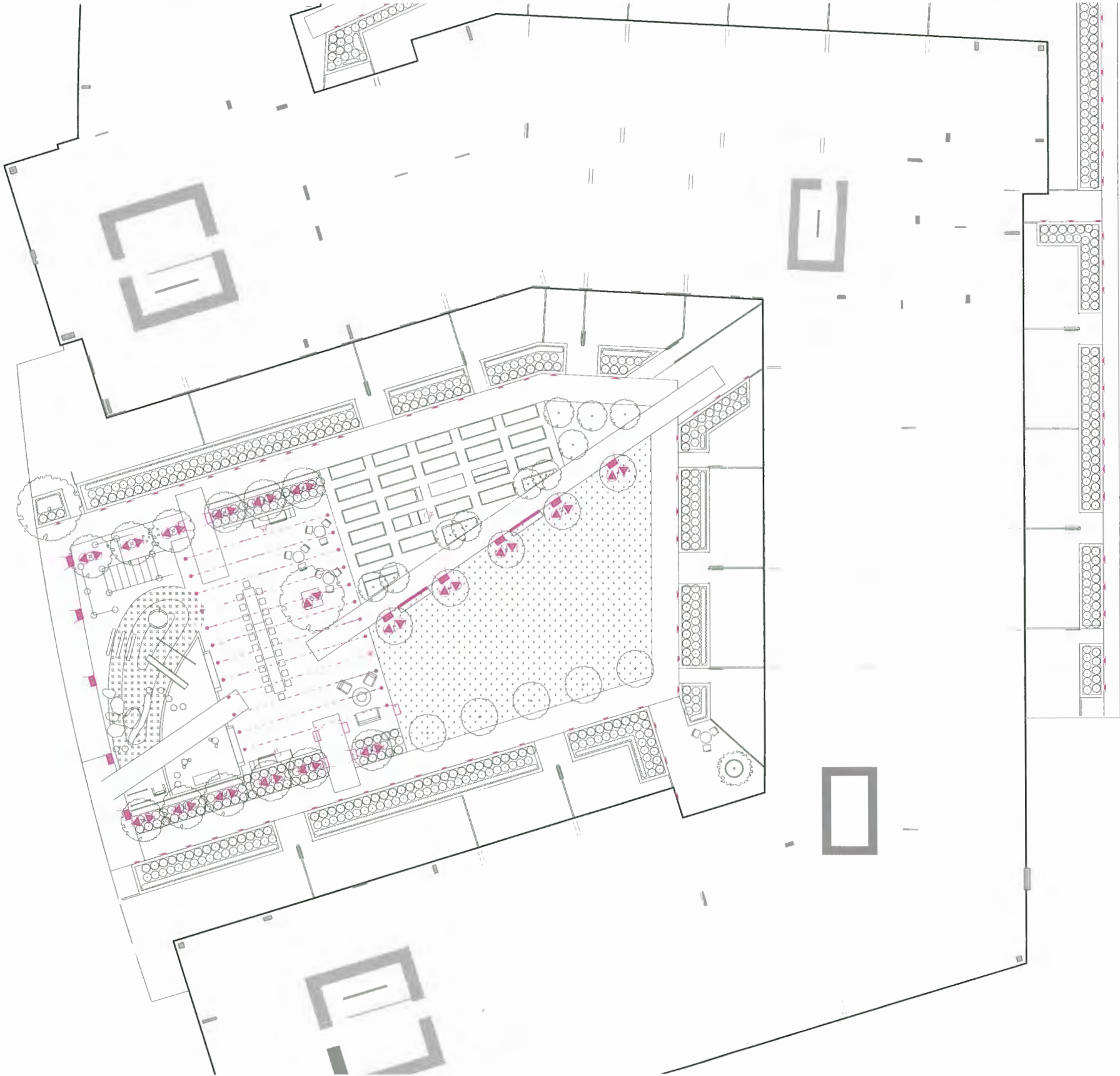
REVISIONS	No.	Date	Description
1	2019-05-29	2019-05-29	Development Permit Application
2	2019-06-06	2019-06-06	Project to Proceed
3	2019-06-20	2019-06-20	Project to Proceed
4	2019-06-20	2019-06-20	Project to Proceed
5	2019-06-20	2019-06-20	Project to Proceed
6	2019-06-20	2019-06-20	Project to Proceed
7	2019-06-20	2019-06-20	Project to Proceed
8	2019-06-20	2019-06-20	Project to Proceed

**RICHMOND CENTRE**  
**PHASE 1A / 1B**  
**DP APPLICATION REV. 3**  
**LANDSCAPE LIGHTING PLAN**  
**1A - LEVEL 4 (SCHEMATIC)**

DATE: 4/20/2019  
DRAWN BY: JH  
CHECKED BY: JH  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1688-87



LEGEND  
SCALE: N.T.S.



WALL LIGHT  
recessed wall mount



ILLUMINATED BOLLARD  
walkway at common area  
- 8" wide fixture



ILLUMINATED BOLLARD  
dining/social courtyard  
- 12" wide fixture



TREE UPLIGHT  
spike-mount  
planting areas



LINEAR LED LIGHTING  
under linear wood  
top benches



CEILING DOWNLIGHT  
trellis & pavilion



DECORATIVE WALL LIGHT  
outdoor stairway



ELECTRICAL POWER OUTLET  
(EXTERIOR USE)



CATENARY LIGHTS AND WOOD  
POLE SUPPORT

NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION  
ONLY.

FOR REFERENCE ONLY. NOT FOR CONSTRUCTION

gbl

G.B. INDUSTRIES INC.  
2800 10th Avenue  
Vancouver, BC Canada V6T 1B6  
TEL: 604 726 1188  
FAX: 604 721 6276

NOTES



PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #50-5

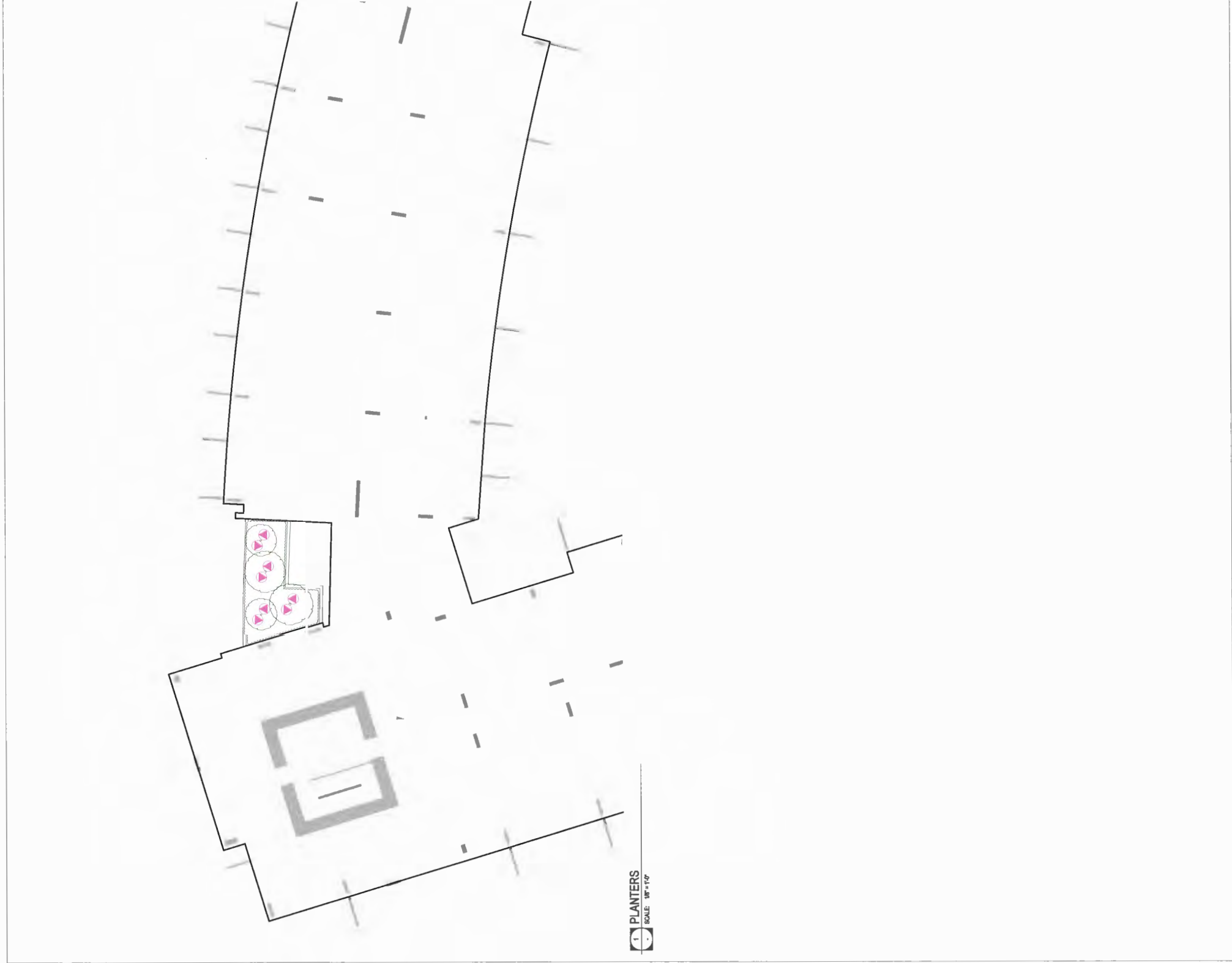


REVISIONS	No.	Date	Description
1	2019-05-01	2019-05-01	Development / Issue / Update
2	2019-05-01	2019-05-01	Project / Issue / Update
3	2019-05-01	2019-05-01	Project / Issue / Update
4	2019-05-01	2019-05-01	Project / Issue / Update
5	2019-05-01	2019-05-01	Project / Issue / Update
6	2019-05-01	2019-05-01	Project / Issue / Update
7	2019-05-01	2019-05-01	Project / Issue / Update
8	2019-05-01	2019-05-01	Project / Issue / Update

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1A - LEVEL 4 (SCHEMATIC)

DATE: 4/29/19  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1886-87





LEGEND  
SCALE: N.T.S.



TREE UPLIGHT  
spike-mount  
planting areas

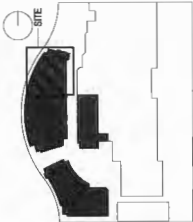
NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

1 PLANTERS  
SCALE: 1/8" = 1'-0"

gbl

G.B. JACOBI & CO.  
200 WEST 10TH AVENUE  
WINDSOR, ON CANADA L9H 1H6  
TEL: 519 739 1100  
FAX: 519 731 1278

NOTES



PFS STUDIO  
PLANNING • DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #5o-6



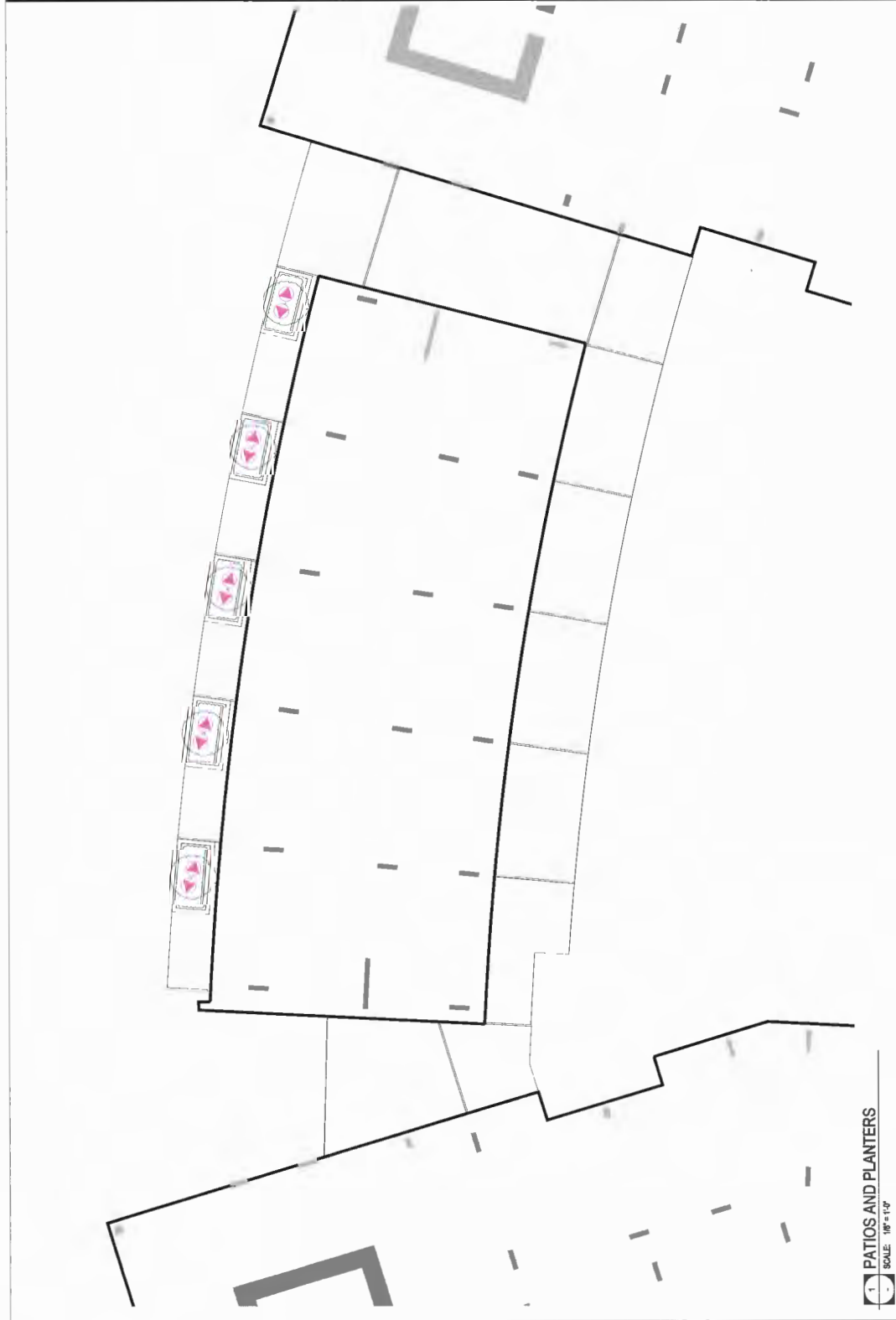
REVISIONS

No.	Date	Description
1	2019-05-21	Development/Plant Application
2	2019-05-28	30% Design Ref.
3	2019-05-29	Progress for Review
4	2019-05-29	Final Design/Plant Application
5	2019-05-29	Final Design/Plant Application
6	2019-05-29	Final Design/Plant Application
7	2019-05-29	Final Design/Plant Application
8	2019-05-29	Final Design/Plant Application

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1A - LEVEL 7 (SCHEMATIC)  
DATE: 4/20/2019  
DRAWN BY: WH  
CHECKED BY: GJW  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 16886-87

L15.06

FOR REFERENCE ONLY NOT FOR CONSTRUCTION



LEGEND

SCALE: N.T.S.

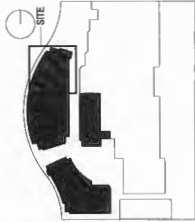
TREE UPLIGHT  
spike-mount  
- planting areas



NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

gbl  
GRIFFIN BROS. ARCHITECTS INC.  
1700, 5th FLOOR  
VANCOUVER, BC CANADA V6J 1B8  
TEL: 604 771 1000  
FAX: 604 771 1001

NOTES



PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #50-7



REVISIONS	
No.	Date
1	2019-05-29
2	2019-05-29
3	2019-05-29
4	2019-05-29
5	2019-05-29
6	2019-05-29
7	2019-05-29
8	2019-05-29

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1A - LEVEL 9 (SCHEMATIC)  
DATE: 2019-05-29  
DRAWN BY: WH  
CHECKED BY: CMGP  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 16886-87

L15.07

FOR REFERENCE ONLY, NOT FOR CONSTRUCTION



**DP 17-768248**  
May 29, 2019  
**PLAN #50-8**



REVIEWS		
No.	Date	Description
1	2017-03-31	Developed Permit Application
2	2017-05-08	30% Design Bid
3	2018-03-26	Program for Pricing
4	2018-04-06	CP Application Plan: 1
5	2018-04-07	CP Application Plan: 2
6	2018-03-05	CP Application Plan: 3
7	2018-04-06	Program for City Review
8	2018-04-06	CP Application Plan: 2
9	2018-04-06	Program for City Review
10	2018-04-06	CP Permit Submittal

**RICHMOND CENTRE  
PHASE 1A / 1B**

DP APPLICATION REV. 3

LANDSCAPE LIGHTING PLAN  
1A - LEVEL 10 (SCHEMATIC)

DATE 4/6/2018  
DRAWN BY NH  
CHECKED BY CMCP  
SCALE 1/8" = 1'-0"  
JOB NUMBER 1686-87

L15.08

## LEGEND

SCALE: N.T.S.



WALL LIGHT  
recessed wall mount



**ILLUMINATED BOLLARD**

- walkway at common area
- 8" wide fixture



ILLUMINATED BOLLARD

- dining/social courtyard
- 12" wide fixture



TREE UPLIGHT  
spike-mount  
- planting area



**LINEAR LED LIGHTING**  
- under linear wood  
top benches

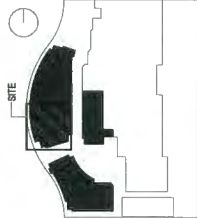
ELECTRICAL POWER OUTLET  
(EXTERIOR USE)

NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.



FOR REFERENCE ONLY. NOT FOR CONSTRUCTION





DP 17-768248  
May 29, 2019  
PLAN #50-9



REVISIONS	No.	Date	Description
1	2019-05-29	2019-05-29	Final Design
2	2019-05-29	2019-05-29	Final Design
3	2019-05-29	2019-05-29	Final Design
4	2019-05-29	2019-05-29	Final Design
5	2019-05-29	2019-05-29	Final Design
6	2019-05-29	2019-05-29	Final Design
7	2019-05-29	2019-05-29	Final Design
8	2019-05-29	2019-05-29	Final Design

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1A - LEVEL 14

DATE: 2019-05-29  
DRAWN BY: PFS  
CHECKED BY: PFS  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

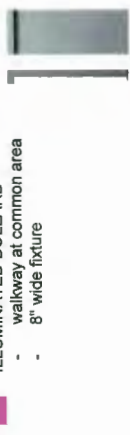


1 LOUNGE GARDEN  
SCALE: 1/8" = 1'-0"

LEGEND  
SCALE: N.T.S.



ILLUMINATED BOLLARD  
- walkway at common area  
- 8" wide fixture



ILLUMINATED BOLLARD  
- dining/social courtyard  
- 12" wide fixture



TREE UPLIGHT  
spike-mount  
- planting areas



LINEAR LED LIGHTING  
- under linear benches



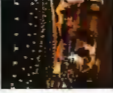
CEILING DOWN LIGHT  
- trellis & pavilion



ELECTRICAL POWER OUTLET  
(EXTERIOR USE)



CATENARY LIGHTS AND WOOD  
POLE SUPPORT

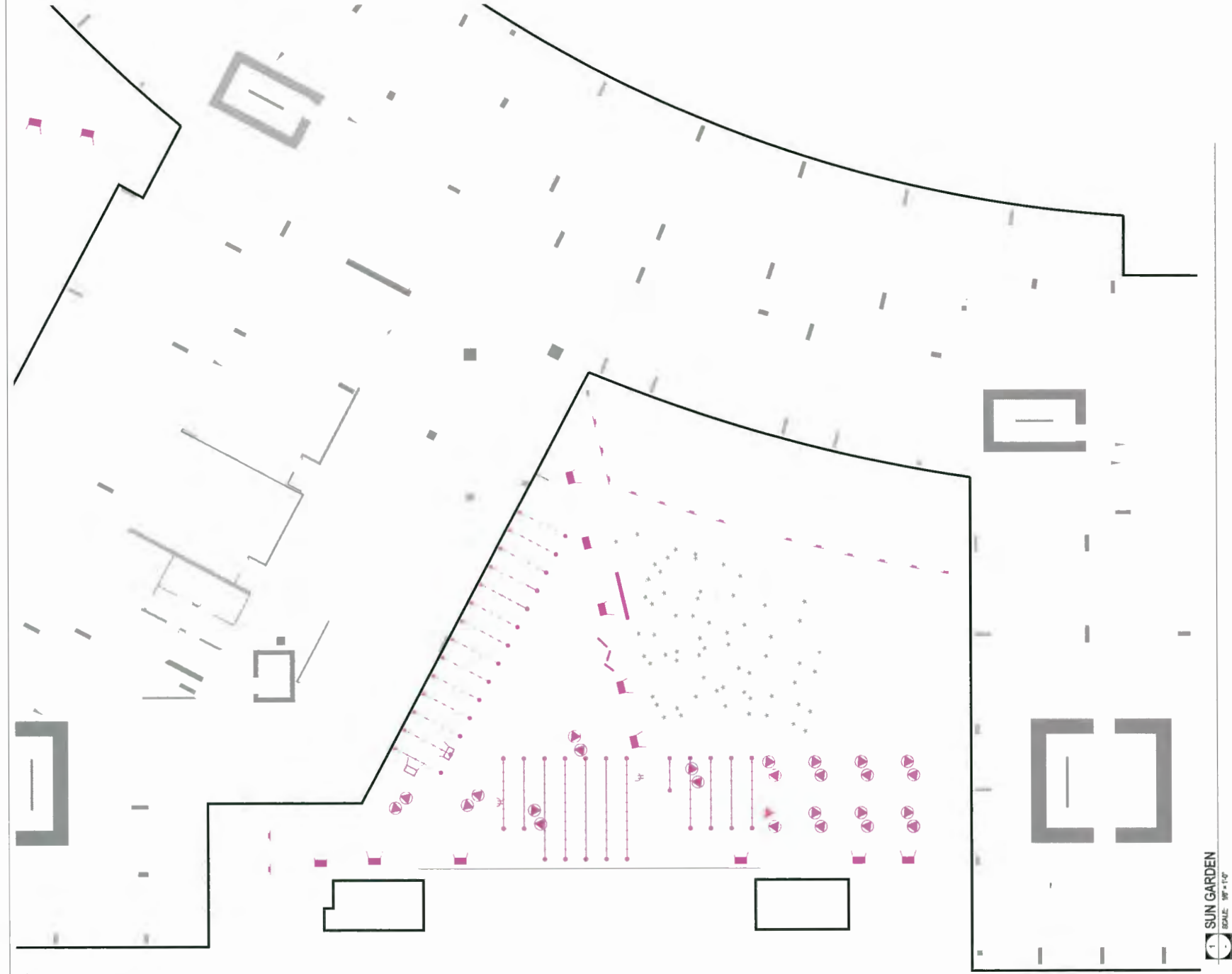


NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

FOR REFERENCE ONLY. NOT FOR CONSTRUCTION



REVISIONS	No.	Date	Description
1	2019-05-01	2019-05-01	Initial Design
2	2019-05-02	2019-05-02	Revised Design
3	2019-05-03	2019-05-03	Revised Design
4	2019-05-04	2019-05-04	Revised Design
5	2019-05-05	2019-05-05	Revised Design
6	2019-05-06	2019-05-06	Revised Design
7	2019-05-07	2019-05-07	Revised Design
8	2019-05-08	2019-05-08	Revised Design



1 SUN GARDEN  
SCALE: 1/8" = 1'-0"

LEGEND  
SCALE: N.T.S.



ILLUMINATED BOLLARD  
- walkway at common area  
- 8" wide fixture



ILLUMINATED BOLLARD  
- dining/social courtyard  
- 12" wide fixture



ELECTRICAL POWER OUTLET  
(EXTERIOR USE)



CATENARY LIGHTS AND WOOD  
POLE SUPPORT



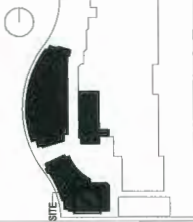
NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.

FOR REFERENCE ONLY, NOT FOR CONSTRUCTION



800 ARCHITECTS INC.  
1700 WEST 10TH AVE.  
VANCOUVER, BC CANADA V6J 1P6  
TEL: 604 731 0788  
FAX: 604 731 0778  
WWW.GBLARCHITECTS.COM

NOTES



PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

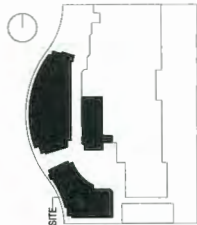
DP 17-768248  
May 29, 2019  
PLAN #50-11



REVISIONS	
No.	Description
1	Initial Design
2	Revised Design
3	Final Design
4	DP Application Rev. 1
5	DP Application Rev. 2
6	DP Application Rev. 3
7	DP Application Rev. 4
8	DP Application Rev. 5

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1B - LEVEL 2 (SCHEMATIC)  
DATE: 05/29/19  
DRAWN BY: PFS  
CHECKED BY: PFS  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1688-87





DP 17-768248  
May 29, 2019  
PLAN #50-12



REVISIONS	
No.	Description
1	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29
2	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29
3	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29
4	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29
5	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29
6	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29
7	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29
8	2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29 2019-05-29

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE LIGHTING PLAN  
1B - LEVEL 4 (SCHEMATIC)  
DATE: 2019-05-29  
DRAWN BY: PFS  
CHECKED BY: PFS  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1688-87

LEGEND  
SCALE: N.T.S.

- WALL LIGHT  
wall mount
- ILLUMINATED BOLLARD  
walkway at common area  
- 8" wide fixture
- ILLUMINATED BOLLARD  
dining/social courtyard  
- 12" wide fixture
- TREE UPLIGHT  
spike-mount  
- planting areas
- LINEAR LED LIGHTING  
under linear benches
- ELECTRICAL POWER OUTLET  
(EXTERIOR USE)

NOTE: SCHEMATIC LIGHTING PLAN FOR INFORMATION ONLY.




1 GARDEN TERRACE  
SCALE: 1/8" = 1'-0"

FOR REFERENCE ONLY, NOT FOR CONSTRUCTION




LEGEND

SCALE: N.T.S.



WALL LIGHT


wall mount



ILLUMINATED BOLLARD

walkway at common area


- 8" wide fixture



ILLUMINATED BOLLARD


dining/social courtyard

- 12" wide fixture



ELECTRICAL POWER OUTLET


(EXTERIOR USE)



TREE UPLIGHT

spike-mount


- planting areas





LINEAR LED LIGHTING


under linear wood


top benches















NOTE: PRELIMINARY LIGHTING PLAN FOR INFORMATION ONLY.

SITE



gbl

GBL ARCHITECTS INC.  
1000 WEST 10TH AVENUE  
VANCOUVER, BC CANADA V6H 1G8  
TEL: 604 681 1100  
FAX: 604 681 1079  
www.gblarchitects.com

NOTES

1. ALL LIGHTING FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE 2015 CANADIAN ELECTRICAL CODE (CEC) AND THE 2015 CANADIAN NATIONAL ELECTRICAL CODE (CNEC).  
2. ALL LIGHTING FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE 2015 CANADIAN ELECTRICAL CODE (CEC) AND THE 2015 CANADIAN NATIONAL ELECTRICAL CODE (CNEC).  
3. ALL LIGHTING FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE 2015 CANADIAN ELECTRICAL CODE (CEC) AND THE 2015 CANADIAN NATIONAL ELECTRICAL CODE (CNEC).

PFS STUDIO

PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #50-13

REVISIONS	
No.	Description
1	2019-05-01 Development Permit Application Project No. 17-768248
2	2019-05-01 Project No. 17-768248
3	2019-05-01 Project No. 17-768248
4	2019-05-01 Project No. 17-768248
5	2019-05-01 Project No. 17-768248
6	2019-05-01 Project No. 17-768248
7	2019-05-01 Project No. 17-768248
8	2019-05-01 Project No. 17-768248

RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

LANDSCAPE LIGHTING PLAN  
1B - LEVEL 8 (SCHEMATIC)

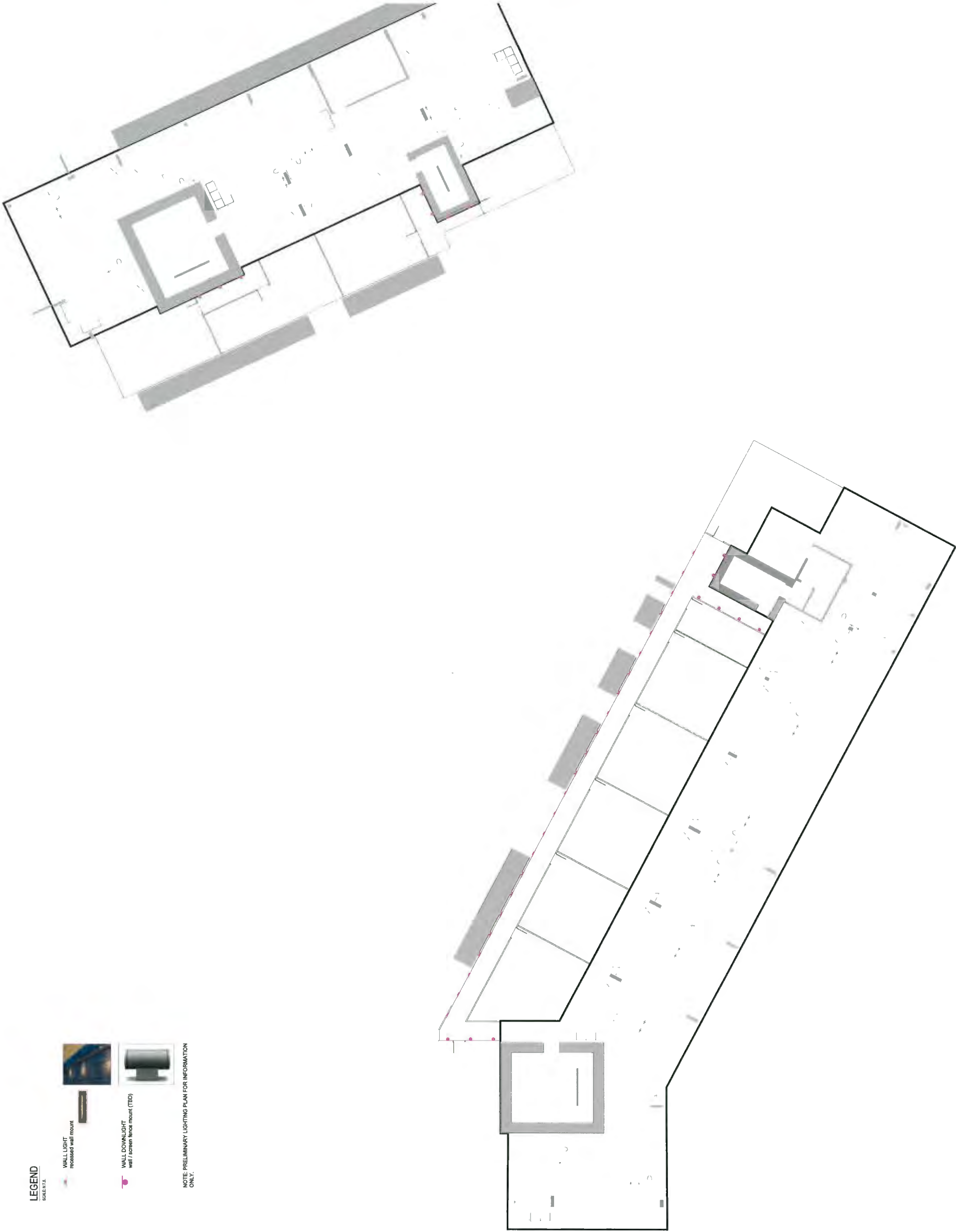
DATE: 2019-05-01  
CHECKED BY: GBL  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 16886-87

L15.13

LEGEND  
SCALE 1:2



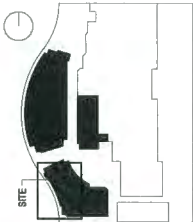
NOTE: PRELIMINARY LIGHTING PLAN FOR INFORMATION ONLY.



gbl

GBL ARCHITECTS INC.  
1111 WEST 10TH AVENUE  
VANCOUVER, BC V6H 1T5  
TEL: 604.771.1111  
FAX: 604.771.1177  
WWW.GBLARCHITECTS.COM

NOTES



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DP 17-768248  
May 29, 2019  
PLAN #5p



REVISIONS	No.	Date	Description
1	2019-05-21	2019-05-21	Document & Project Approval
2	2019-05-21	2019-05-21	Project Approval
3	2019-05-21	2019-05-21	Project Approval
4	2019-05-21	2019-05-21	Project Approval
5	2019-05-21	2019-05-21	Project Approval
6	2019-05-21	2019-05-21	Project Approval
7	2019-05-21	2019-05-21	Project Approval
8	2019-05-21	2019-05-21	Project Approval

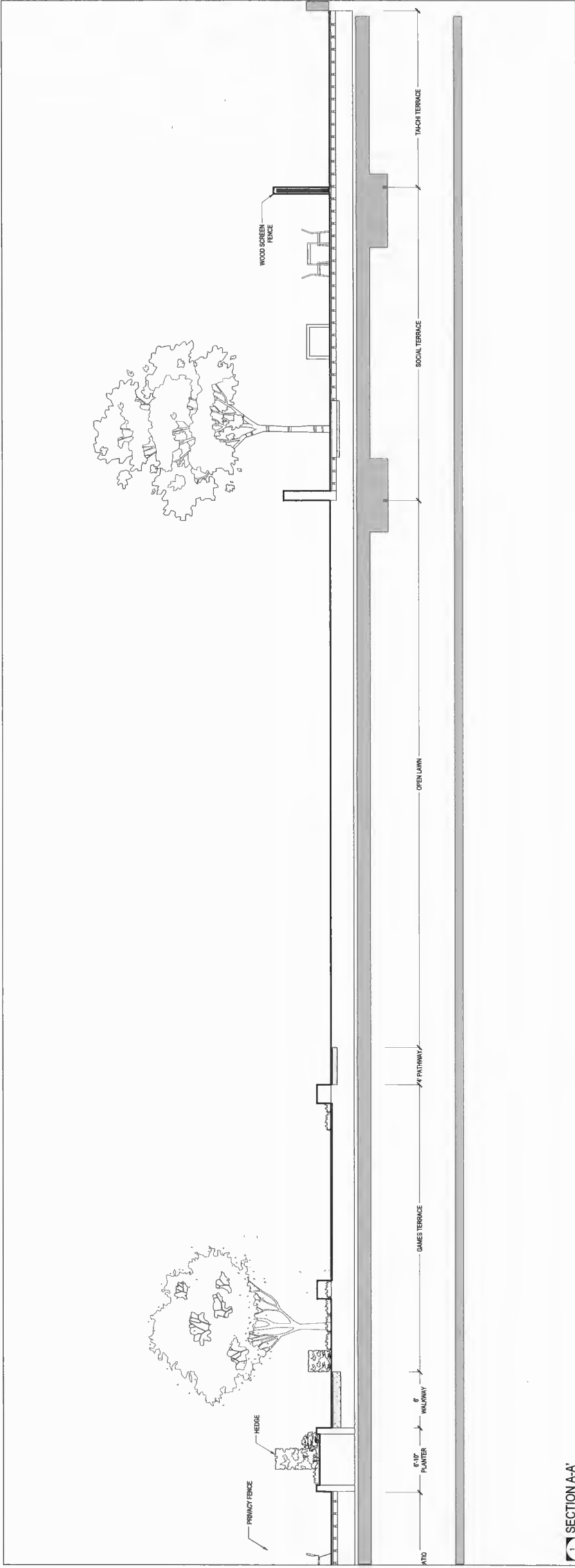
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3  
LANDSCAPE LAYOUT PLAN  
1B - LEVEL 14

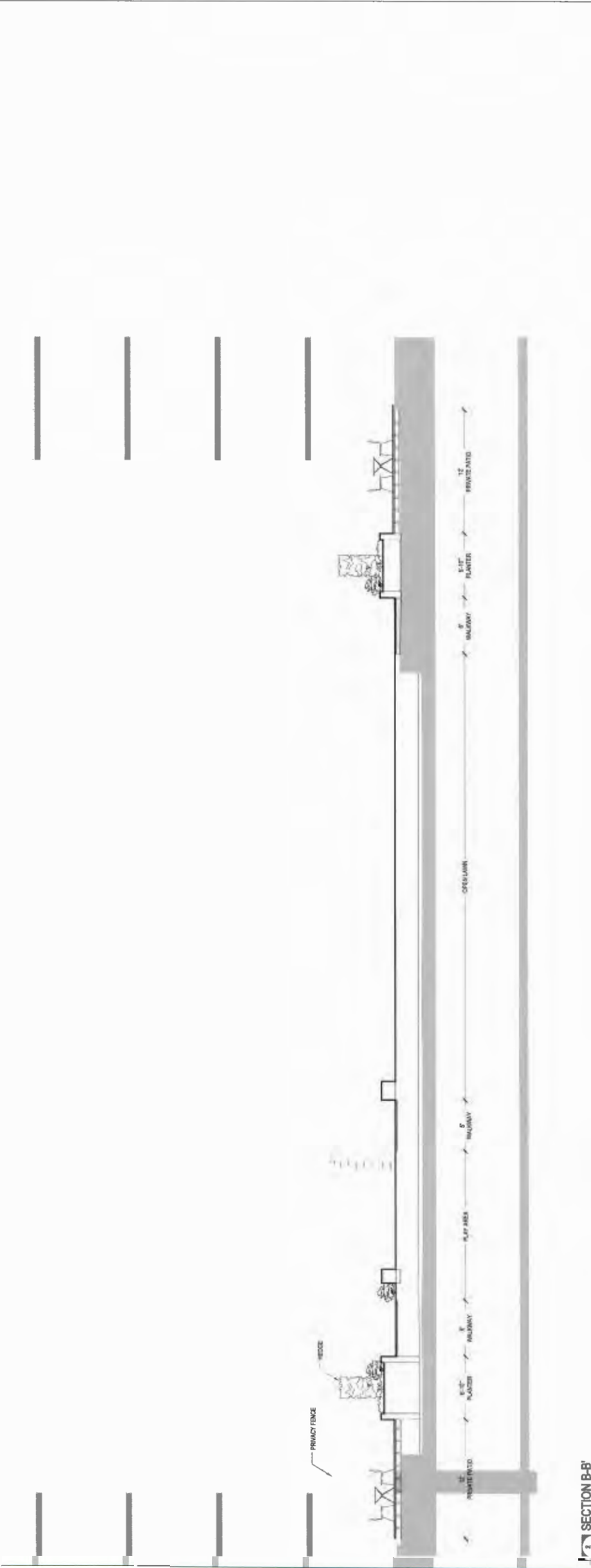
DATE: 2019-05-21  
DRAWN BY: GBL  
CHECKED BY: GBL  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1886-87

L15.14





1 SECTION A-A'  
SCALE 1/4"=1'-0"



2 SECTION B-B'  
SCALE 1/4"=1'-0"

gbl

GBL ARCHITECTS INC.  
1000 WEST 10TH AVENUE  
SUITE 1000  
DENVER, CO 80202  
TEL: 303.733.1000  
FAX: 303.733.1001  
WWW.GBLARCHITECTS.COM

NOTES



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PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #5q-1



REVISIONS	No.	Date	Description
1	2019-05-21	2019-05-21	Revised based on comments
2	2019-05-21	2019-05-21	Revised based on comments
3	2019-05-21	2019-05-21	Revised based on comments
4	2019-05-21	2019-05-21	Revised based on comments
5	2019-05-21	2019-05-21	Revised based on comments
6	2019-05-21	2019-05-21	Revised based on comments
7	2019-05-21	2019-05-21	Revised based on comments
8	2019-05-21	2019-05-21	Revised based on comments

RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3  
LANDSCAPE CROSS-SECTIONS  
1A - LEVEL 4

DATE: 5/29/19  
CHECKED BY: [Signature]  
SCALE: 1/4" = 1'-0"  
JOB NUMBER: 1686-07

L17.01



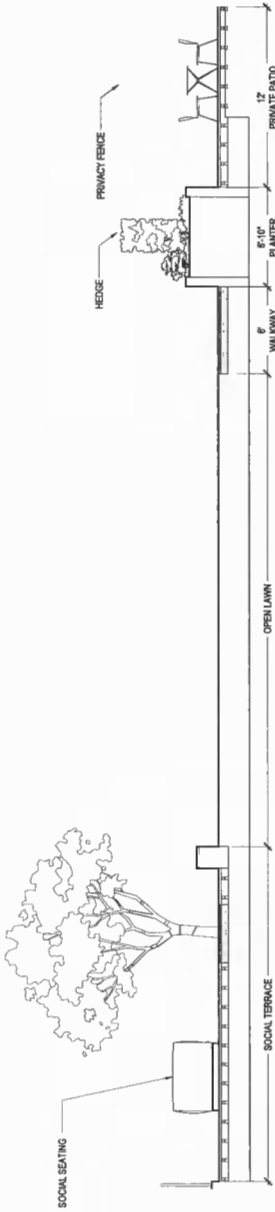
DP 17-768248  
May 29, 2019  
PLAN #5q-2



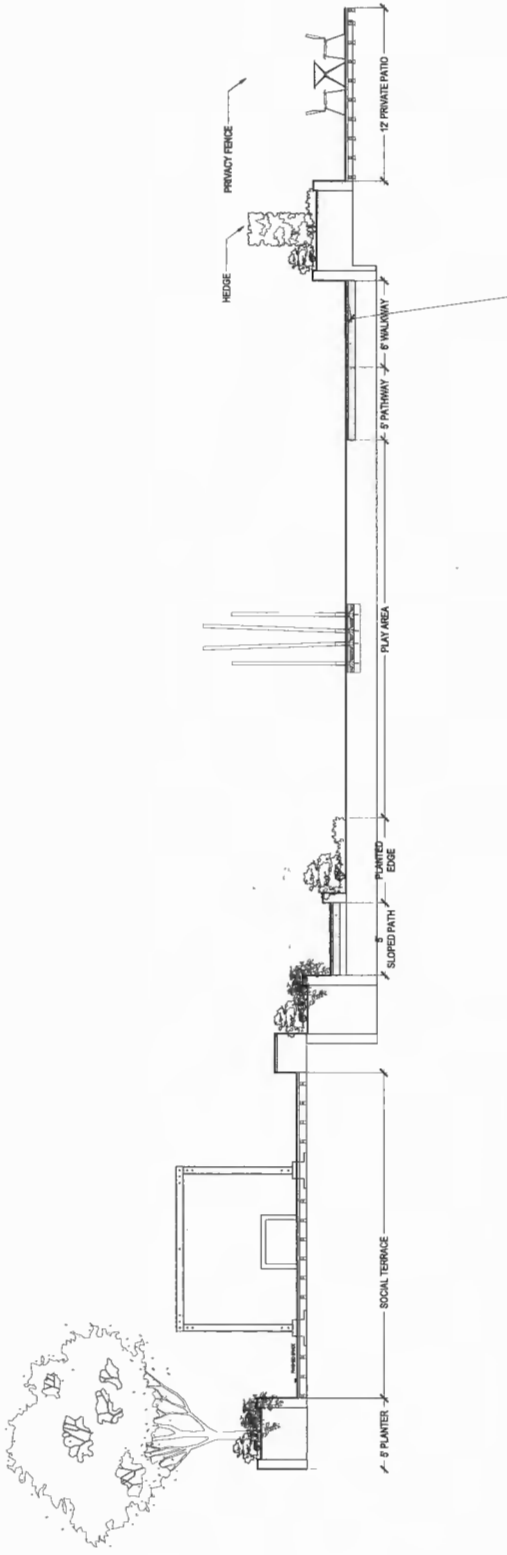
REVISIONS	No.	Date	Description
1	2019-05-21	2019-05-21	Designated Project Application
2	2019-05-21	2019-05-21	Designated Project Application
3	2019-05-21	2019-05-21	Designated Project Application
4	2019-05-21	2019-05-21	Designated Project Application
5	2019-05-21	2019-05-21	Designated Project Application
6	2019-05-21	2019-05-21	Designated Project Application
7	2019-05-21	2019-05-21	Designated Project Application
8	2019-05-21	2019-05-21	Designated Project Application

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE CROSS-SECTIONS  
1B - LEVEL 2

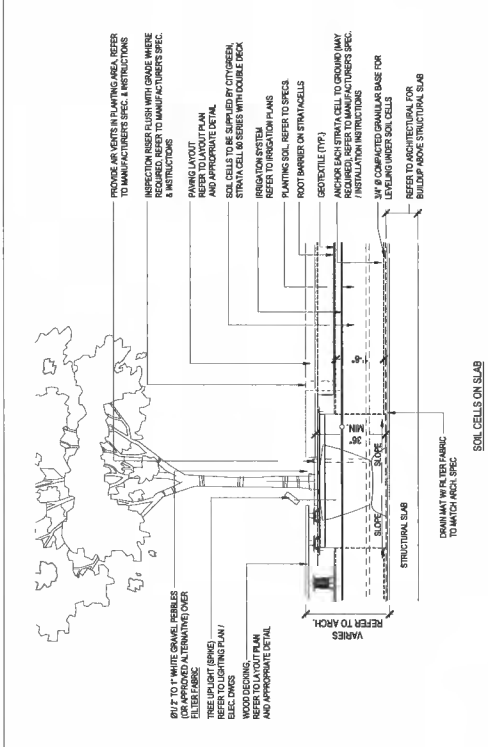
DATE	4/20/19
DESIGNED BY	GBL
CHECKED BY	GBL
SCALE	1/8" = 1'-0"
JOB NUMBER	1686-87



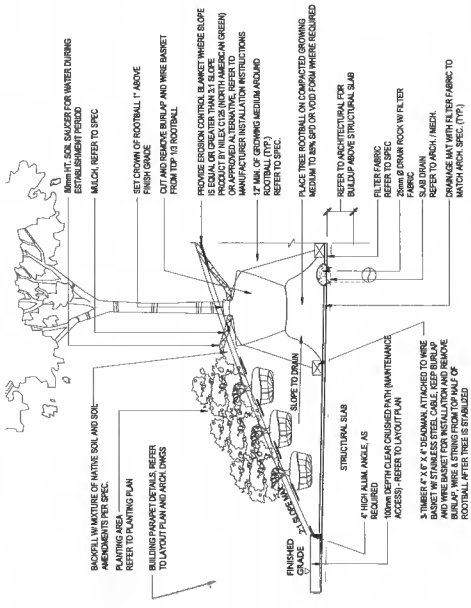
1 SECTION C-C  
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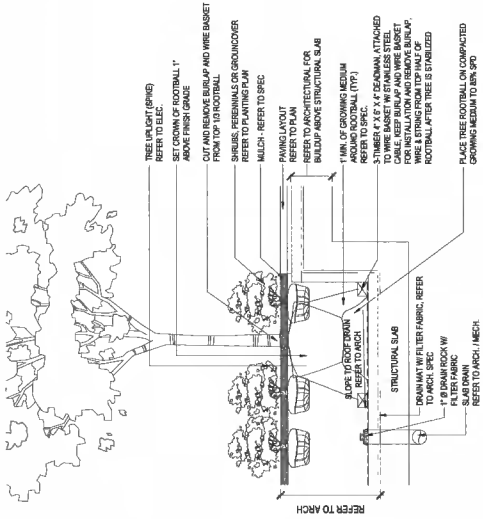
2 SECTION D-D  
SCALE: 1/8" = 1'-0"



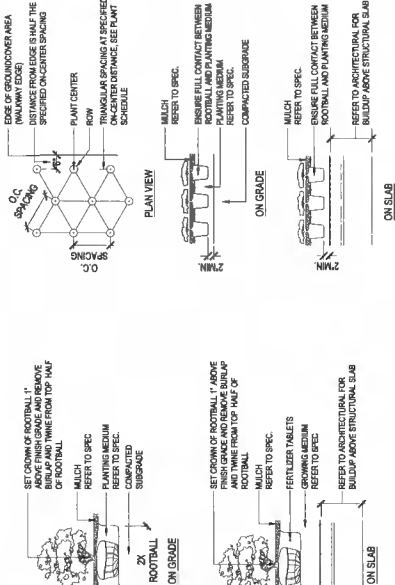
1 TREE WITH SOIL CELL  
SCALE: 1/2" = 1'-0"



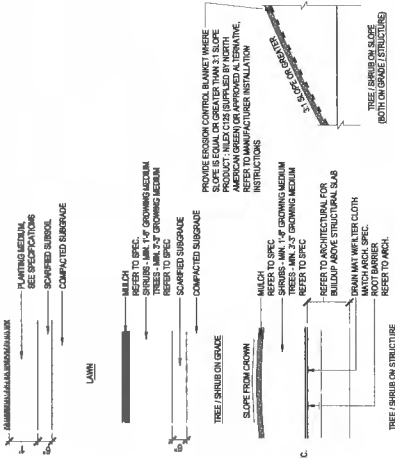
2 DECIDUOUS TREE PLANTING ON SLOPE - TBD  
SCALE: 1/2" = 1'-0"



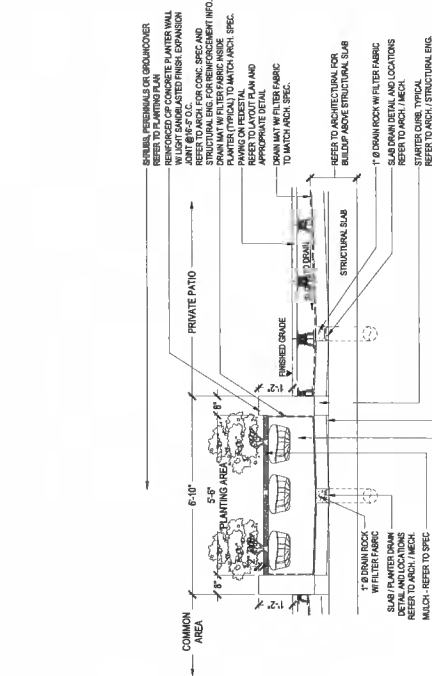
3 DECIDUOUS TREE PLANTING ON STRUCTURE  
SCALE: 1/2" = 1'-0"



4 DECIDUOUS TREE PLANTING ON STRUCTURE  
SCALE: 1/2" = 1'-0"



5 DECIDUOUS TREE PLANTING ON STRUCTURE  
SCALE: 1/2" = 1'-0"

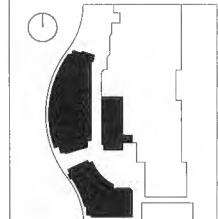


6 DECIDUOUS TREE PLANTING ON STRUCTURE  
SCALE: 1/2" = 1'-0"

gbl

GBL ARCHITECTS INC.  
1000 WEST 10TH AVENUE  
SUITE 100  
DENVER, COLORADO 80202  
TEL: 303.733.1100  
FAX: 303.733.1100  
WWW.GBLARCHITECTS.COM

NOTES



PFS STUDIO  
PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

DP 17-768248  
May 29, 2019  
PLAN #51-1



REVISIONS	No.	Date	Description
1	2019-05-31	2019-05-31	Revised Perimeter Wall Details
2	2019-06-01	2019-06-01	Revised Perimeter Wall Details
3	2019-06-01	2019-06-01	Revised Perimeter Wall Details
4	2019-06-01	2019-06-01	Revised Perimeter Wall Details
5	2019-06-01	2019-06-01	Revised Perimeter Wall Details
6	2019-06-01	2019-06-01	Revised Perimeter Wall Details
7	2019-06-01	2019-06-01	Revised Perimeter Wall Details
8	2019-06-01	2019-06-01	Revised Perimeter Wall Details

RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3  
LANDSCAPE DETAILS  
PLANTING

DATE	2019-05-31
CHECKED BY	MM
SCALE	AS NOTED
JOB NUMBER	1886-87

L18.01





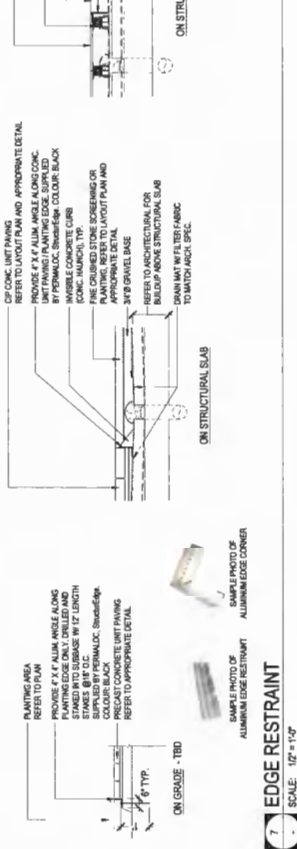
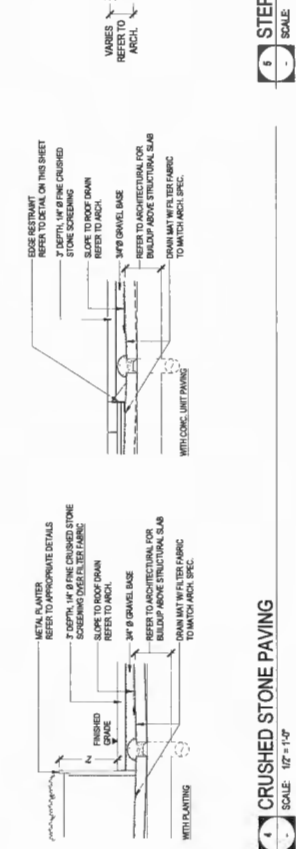
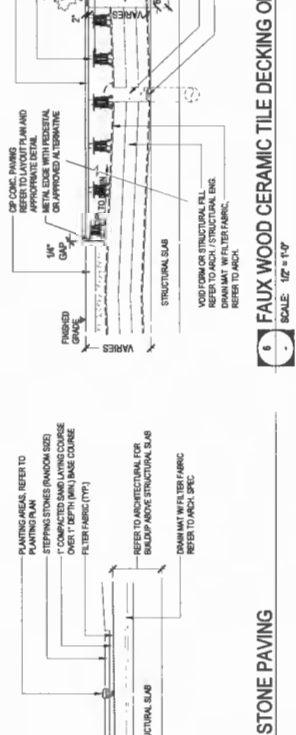
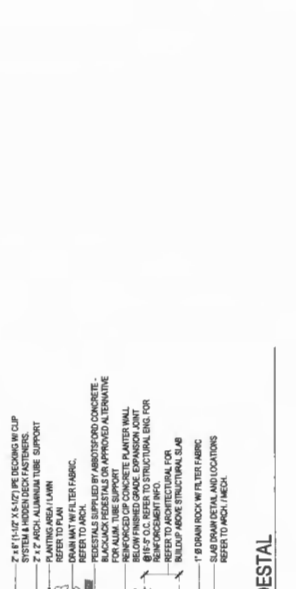
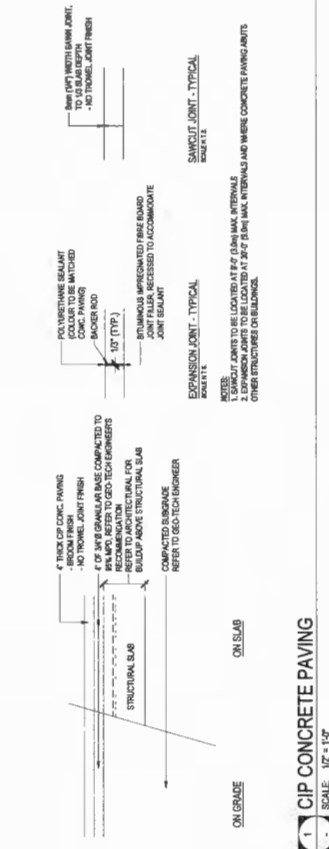
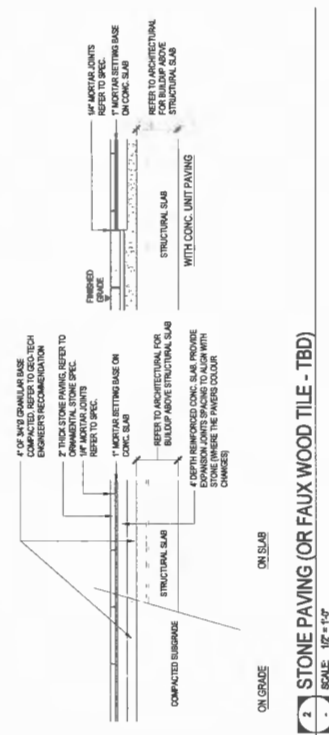
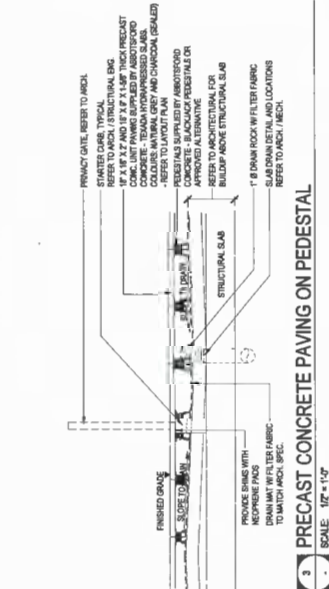
REVISIONS	No.	Date	Description
1	2019-05-29	2019-05-29	Development Phase 1A/1B
2	2019-06-03	2019-06-03	2019-06-03
3	2019-06-03	2019-06-03	2019-06-03
4	2019-06-03	2019-06-03	2019-06-03
5	2019-06-03	2019-06-03	2019-06-03
6	2019-06-03	2019-06-03	2019-06-03
7	2019-06-03	2019-06-03	2019-06-03
8	2019-06-03	2019-06-03	2019-06-03

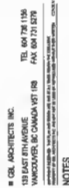
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

LANDSCAPE DETAILS  
PAVING

DATE: 2019-06-03  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: AS NOTED  
JOB NUMBER: 1686-87





NOTES



**DP 17-768248**  
May 29, 2019  
**PLAN #5r-3**



REVISIONS		
No.	Date	Description
1	2010-03-31	Developed Permit Application
2	2010-08-26	20% Design Bid
3	2010-09-28	Program for Pricing
4	2010-04-05	D2 Application Plan 1
5	2010-04-05	D2 Application Plan 2
6	2010-04-05	D2 Application Plan 3
7	2010-04-05	Program for City Review
8	2010-05-20	D2 Application Plan 1
9	2010-05-20	D2 Application Plan 2
10	2010-05-20	D2 Application Plan 3
11	2010-05-20	Program for City Review
12	2010-05-20	D2 Permit Submittal

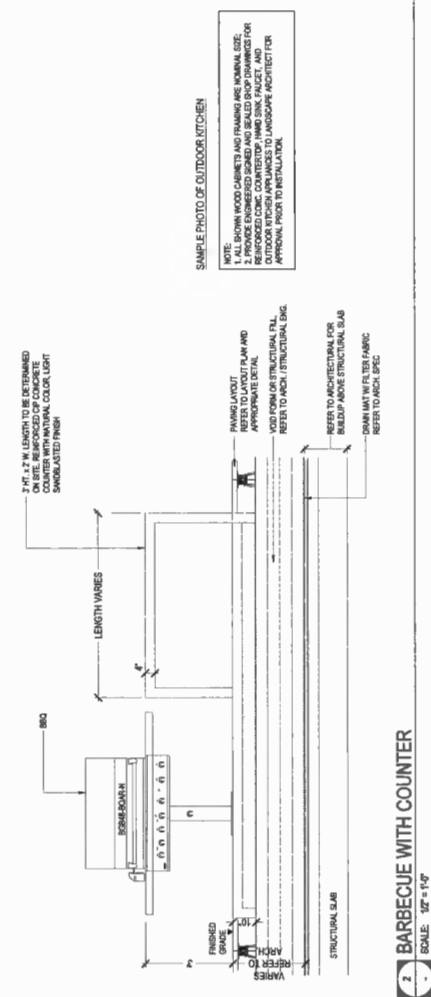
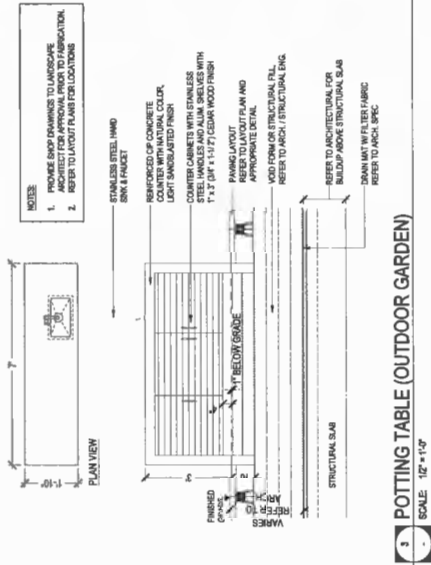
**RICHMOND CENTRE  
PHASE 1A / 1B**

DP APPLICATION REV. 3

LANDSCAPE DETAILS  
SITE FURNISHINGS

DATE 4/6/2018  
DRAWN BY NH  
CHECKED BY CMCP  
SCALE AS NOTED  
JOB NUMBER 1686-87

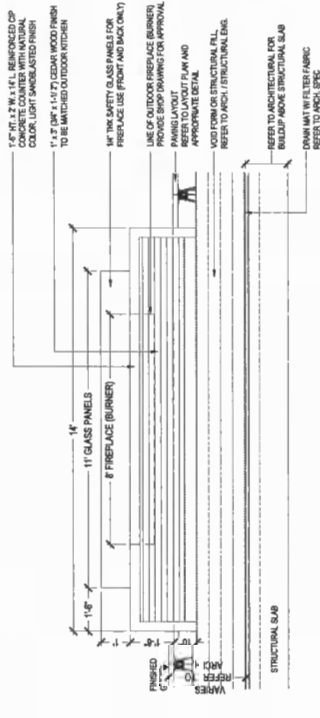
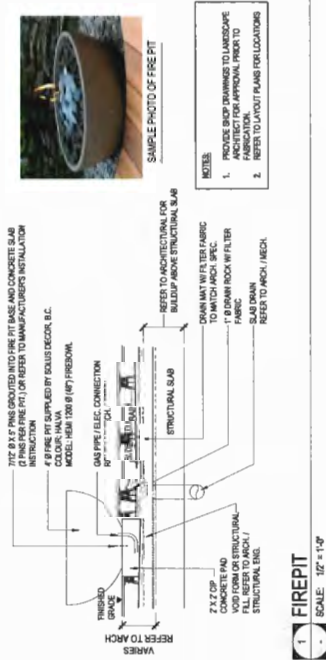
L18.03



**SAMPLE PHOTO OF OUTDOOR LOUNGE CHAIRS & TABLES**



THE UNIVERSITY OF ALABAMA AT BIRMINGHAM



## 5 OUTDOOR LOUNGE CHAIRS & TABLES





DP 17-768248  
May 29, 2019  
PLAN #51-4



REVISIONS	
No.	Description
1	2019-05-21: Developmental Application
2	2019-05-21: Final Design
3	2019-05-21: Final Design
4	2019-05-21: Final Design
5	2019-05-21: Final Design
6	2019-05-21: Final Design
7	2019-05-21: Final Design
8	2019-05-21: Final Design

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE DETAILS  
SITE FURNISHINGS

DATE	4/20/19
DESIGNED BY	DAVID J. BROWN
CHECKED BY	AS NOTED
SCALE	AS NOTED
JOB NUMBER	1686-87





DP 17-768248  
May 29, 2019  
PLAN #51-5



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Applications
	2	2017-09-08	2019 Design Bid
	3	2018-03-29	Program for Pricing
	4	2018-04-08	DP Application Item 1
	5	2018-08-02	DP Application Item 2
	6	2018-08-30	DP Application Item 3
	7	2018-04-08	Program for City Review
	8	2018-05-02	DP Application Item 3
			Program for City Review
			DP Permit Submittals

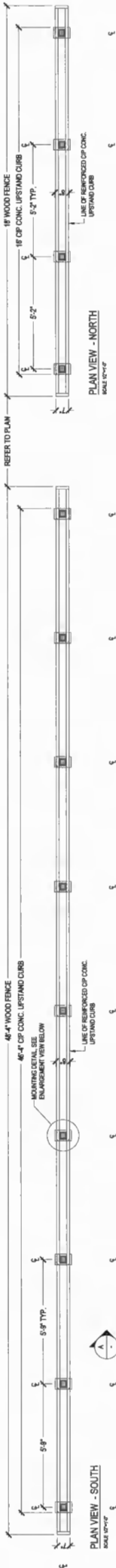
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

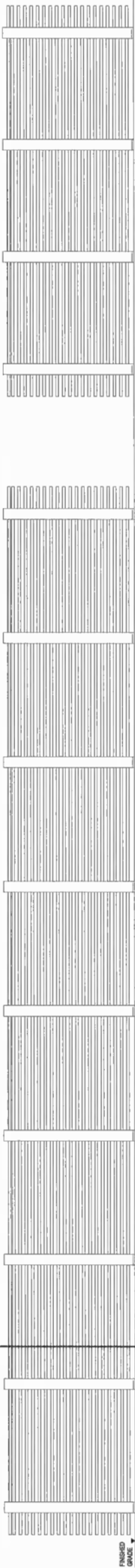
LANDSCAPE DETAILS  
SITE FURNISHINGS

DATE: 05/29/19  
DRAWN BY: JDS  
CHECKED BY: JDS  
SCALE: AS NOTED  
JOB NUMBER: 1686-87

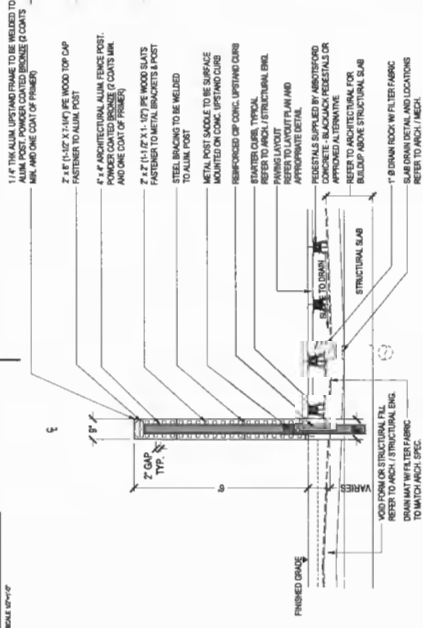
L18.05



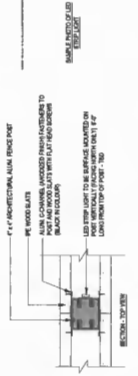
PLAN VIEW - NORTH  
SCALE 1/8"=1'-0"



FRONT VIEW - SOUTH  
SCALE 1/8"=1'-0"



CROSS-SECTION 'A'  
SCALE 1/8"=1'-0"



MOUNTING DETAIL ENLARGEMENT VIEW  
SCALE 1/8"=1'-0"

18'-0" WOOD FENCE  
18'-0" CONCRETE CURB  
5'-2" TYP.

LINE OF REINFORCED CONCRETE CURB

UPSTAND CURB

LINE OF REINFORCED CONCRETE CURB

UPSTAND CURB

LINE OF REINFORCED CONCRETE CURB

UPSTAND CURB

LINE OF REINFORCED CONCRETE CURB

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UPSTAND CURB

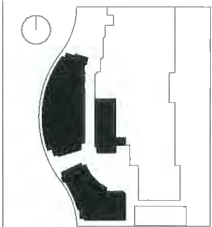
LINE OF REINFORCED CONCRETE CURB

TYPICAL CONDITION

END CONDITION

ISOMETRIC VIEWS

SCALE 1/8"=1'-0"



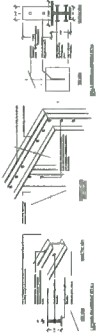
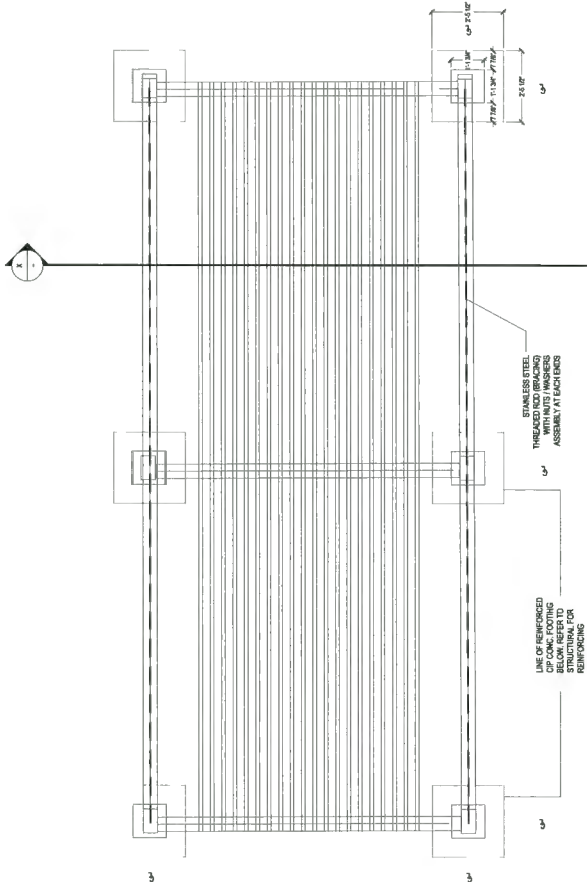
DP 17-768248  
May 29, 2019  
PLAN #51-6



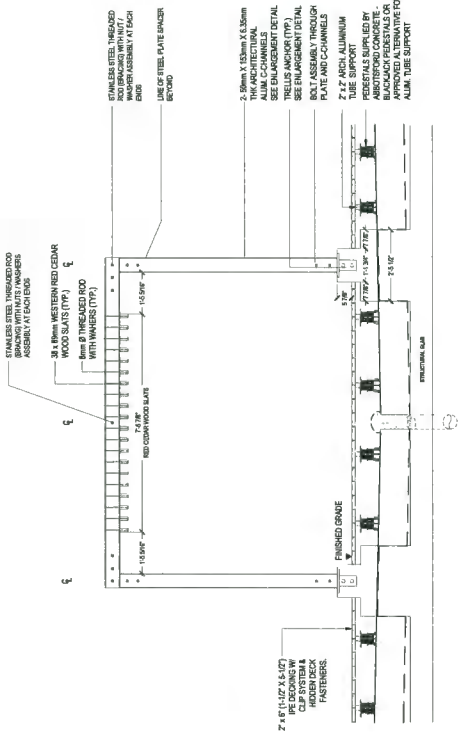
REVISIONS	No.	Date	Description
1	2019-05-21	2019-05-21	Development Permit Application
2	2019-05-21	2019-05-21	Permit Application
3	2019-05-21	2019-05-21	Permit Application
4	2019-05-21	2019-05-21	DP Application Rev. 1
5	2019-05-21	2019-05-21	DP Application Rev. 2
6	2019-05-21	2019-05-21	Permit Application Rev. 1
7	2019-05-21	2019-05-21	Permit Application Rev. 2
8	2019-05-21	2019-05-21	DP Permit Application

RICHMOND CENTRE  
PHASE 1A / 1B  
DP APPLICATION REV. 3  
LANDSCAPE DETAILS  
SITE FURNISHINGS  
DATE: 4/20/19  
DESIGNED BY: PFS  
CHECKED BY: AS NOTED  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

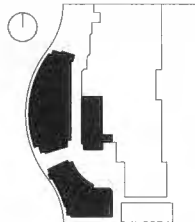
L18.06



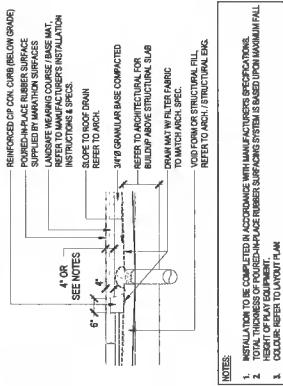
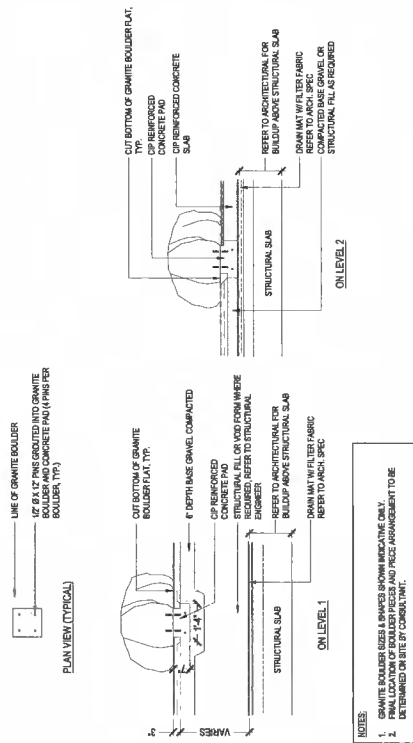
- NOTES
1. ALL STEEL IS ARCHITECTURAL ALUMINUM UNLESS OTHERWISE INDICATED. ARCHITECTURAL ALUMINUM FINISH.
  2. STAINLESS STEEL IS A HARDWARE FINISH POLISHED.
  3. STAINLESS STEEL IS TO BE USED FOR ALL ASSEMBLY UNLESS OTHERWISE SPECIFIED.
  4. WELDED JOINTS AND USE EXTENDED COMPARTMENTS WHEREVER POSSIBLE.
  5. REFER TO STRUCTURAL DRAWINGS FOR CONNECTIONS AND WELDING.
  6. REFER TO STRUCTURAL DRAWINGS FOR CONNECTIONS AND WELDING.



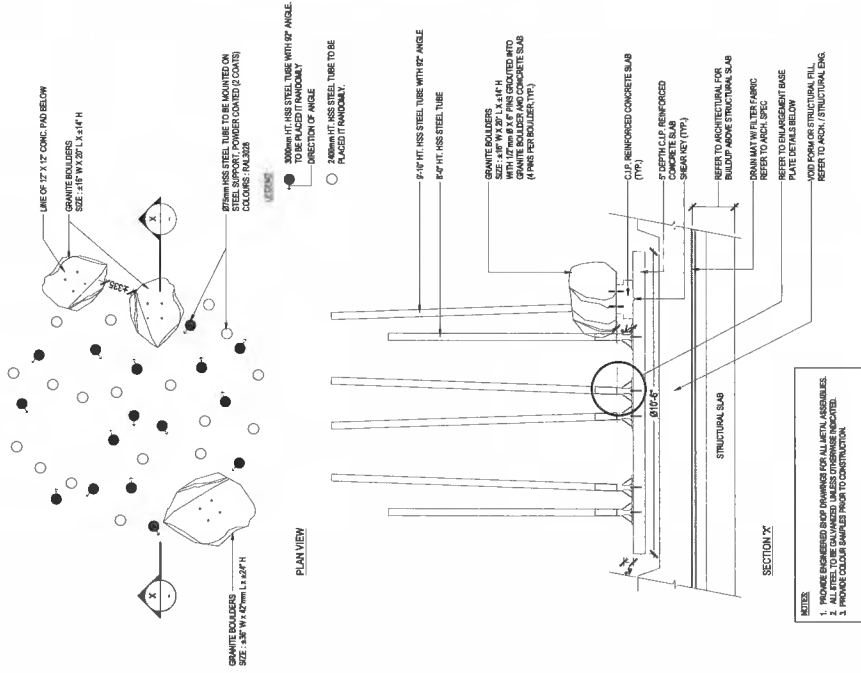
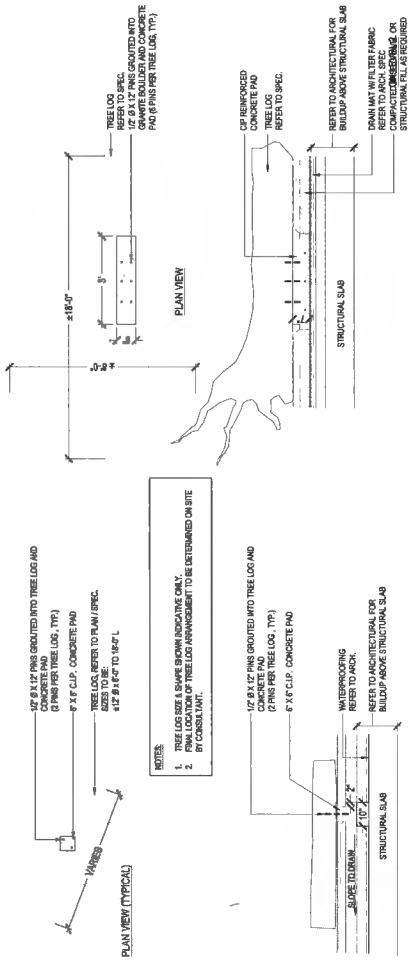
SAMPLE PHOTOS OF PAVILION  
PAGE 11/11



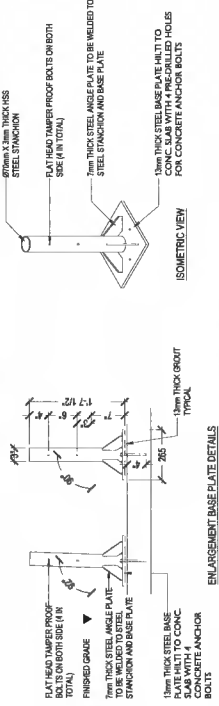
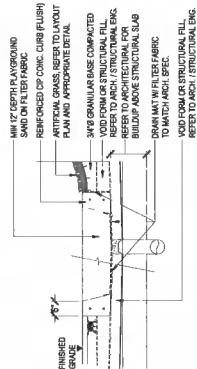
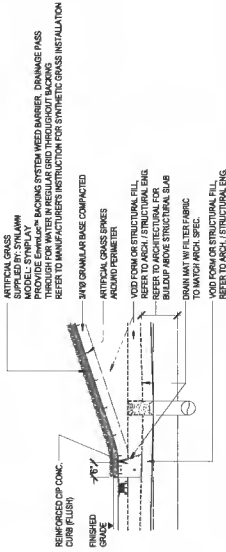
REVISIONS		Description	
No.	Date		
1	2017-02-01	Development Permit Application	
2	2017-08-08	20% Design Bid	
3	2018-03-26	Program for Pricing	
4	2018-04-08	DP Application Plan 1	
5	2018-08-02	DP Application Plan 2	
6	2018-02-02	Program for City Review	
7	2018-04-26	DP Application Plan 2	
8	2018-05-03	Program for City Review	
		DP Final Estimate	



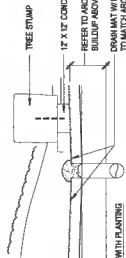
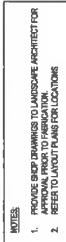
### SAMPLE PHOTOS OF TREE LOG



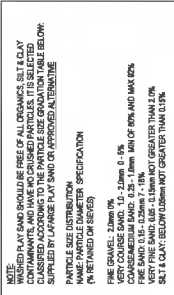
SCALE: 1/2" = 1'-0"



**TO BE UPDATED**



**ARTIFICIAL**  
SCALE: 1/2" = 1'-0"



7  
SAND PLAY  
SCALE 1/2" = 1'-0"





DP 17-768248  
May 29, 2019  
PLAN #5T-8



REVISIONS	No.	Date	Description
1	2019-05-21	2019-05-21	Development Phase Updates
2	2019-05-21	2019-05-21	Design Phase Updates
3	2019-05-21	2019-05-21	Design Phase Updates
4	2019-05-21	2019-05-21	Design Phase Updates
5	2019-05-21	2019-05-21	Design Phase Updates
6	2019-05-21	2019-05-21	Design Phase Updates
7	2019-05-21	2019-05-21	Design Phase Updates
8	2019-05-21	2019-05-21	Design Phase Updates

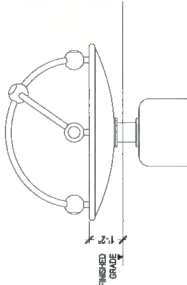
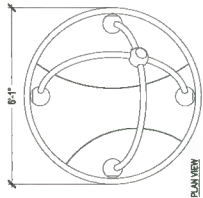
RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

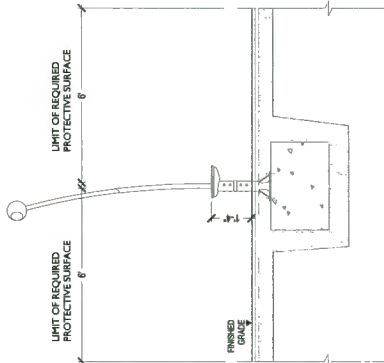
LANDSCAPE DETAILS  
PLAY EQUIPMENT

DATE: 2019-05-21  
DRAWN BY: PFS  
CHECKED BY: PFS  
SCALE: AS NOTED  
JOB NUMBER: 1686-87

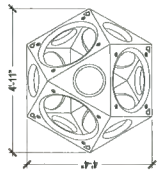
L18.08



4 SPINNING EQUIPMENT  
SCALE: 1/2" = 1'-0"



3 SMALL SPINNER  
SCALE: 1/2" = 1'-0"



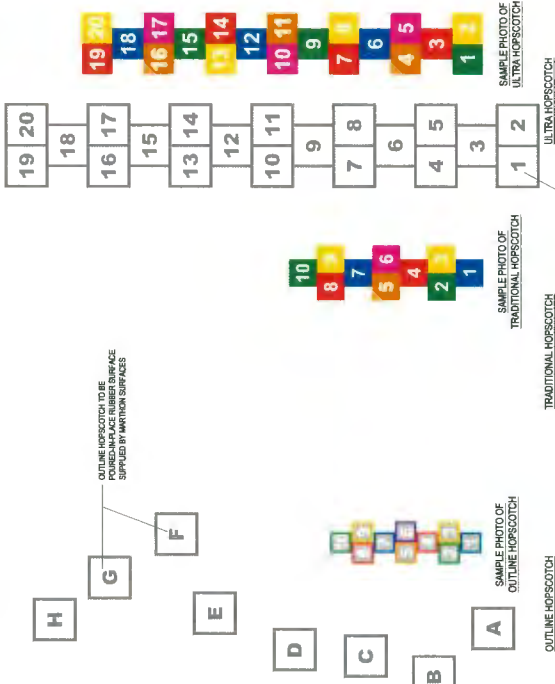
PLAY EQUIPMENT MANUFACTURE: PLAYWORLD  
MODEL NO.: PLAYCUBE 1.0  
FALL HEIGHT: 4'-0" (FOR 1500mm)

NOTES:  
1. PLAY EQUIPMENT TO BE INSTALLED AS PER MANUFACTURER'S FOUNDATIONS AND INSTALLATION TO BE  
CONFIRMED BY CONTRACTOR.  
2. TOTAL THICKNESS OF PLAY SURFACE IS BASED UPON MANUFACTURER'S SPECIFICATIONS.  
3. TOTAL THICKNESS OF PLAY SURFACE IS BASED UPON MANUFACTURER'S SPECIFICATIONS.

2 PLAY CUBE  
SCALE: 1/2" = 1'-0"



7 FITNESS EQUIPMENT STATION  
SCALE: NOT TO SCALE



6 HOPSCOTCH  
SCALE: 1/2" = 1'-0"

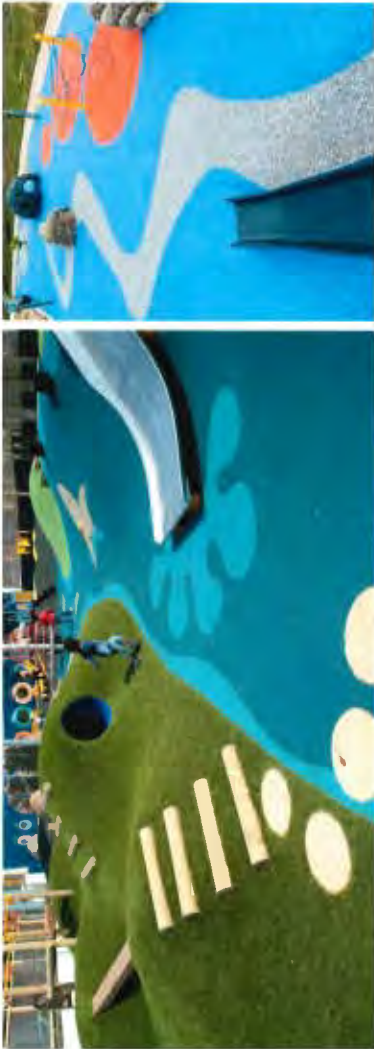


TABLE AND CHAIR  
SCALE: NOT TO SCALE

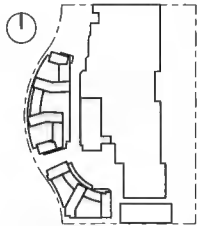


PLAY EQUIPMENT MANUFACTURE: REBUNER  
MODEL NO.: UFOAM (R0302/010)  
FALL HEIGHT: 2100mm

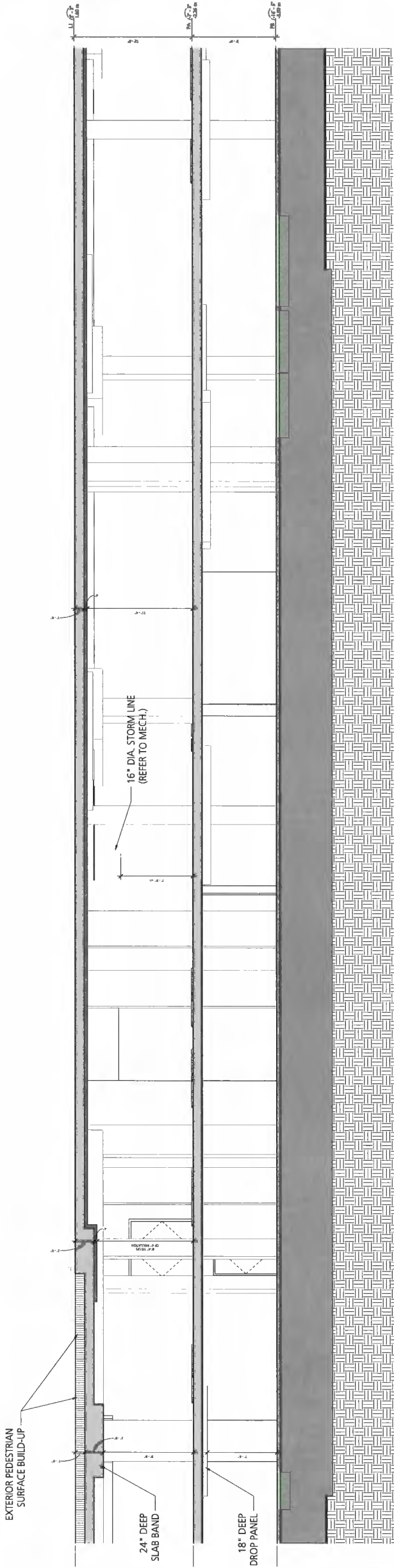
5 NET CLIMBER  
SCALE: 1/2" = 1'-0"



6 SLIDE WITH RUBBERIZED SAFETY SURFACE  
SCALE: NOT TO SCALE



DP 17-768248  
MAY 29, 2019  
PLAN # 6a-1



1 PARKADE SECTION - BELOW BUILDING 1A @ STORM LINE  
1/4" = 1'-0"



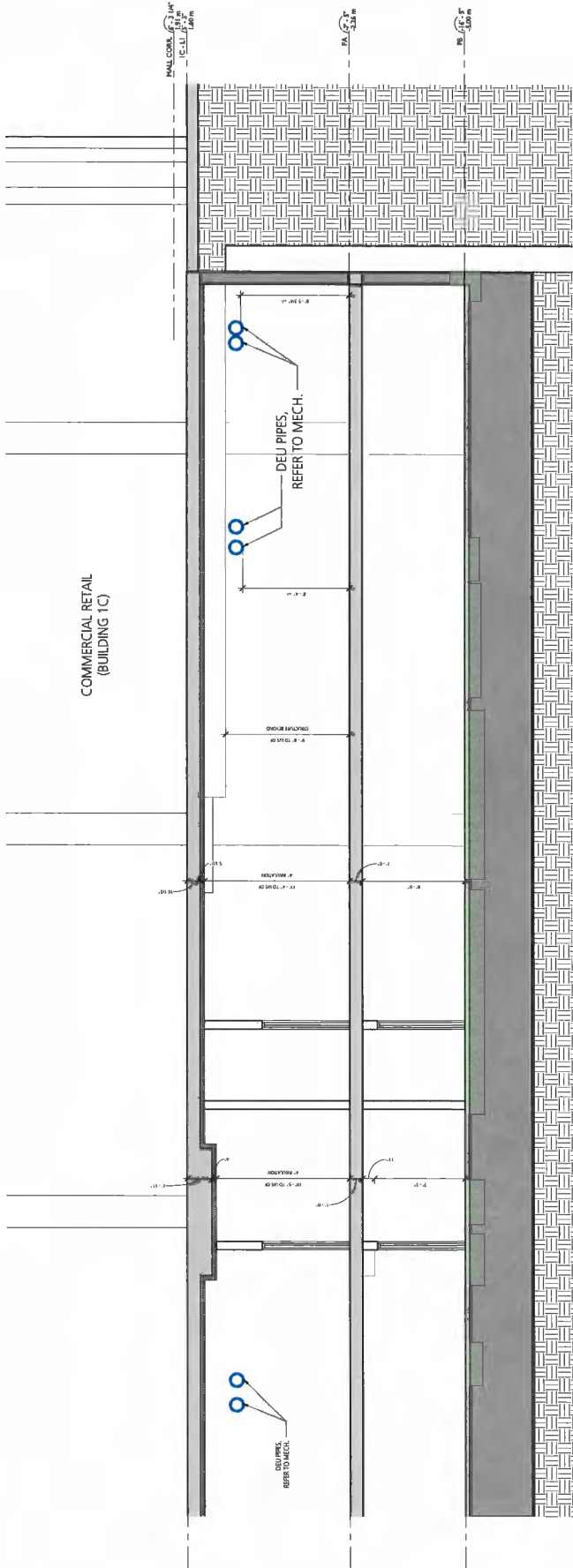
REVIEWS	No.	Date	Description
1	2017-03-31		Development Permit Application
2	2017-09-08		30% Design Set
3	2018-03-29		DP Application Rev. 1
4	2018-04-05		Progress for Pricing
5	2018-04-02		DP Application Rev. 1
6	2018-04-02		DP Application Rev. 2
7	2019-03-20		DP Application Rev. 3
8	2019-04-16		Progress for City Review
9	2019-04-16		Progress for City Review
10	2019-05-03		DP Panel Submission

RICHMOND CENTRE  
PHASE 1

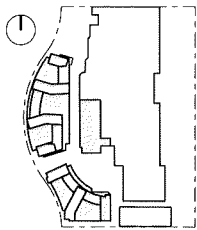
PHASE 1

PARKADE - SECTIONS

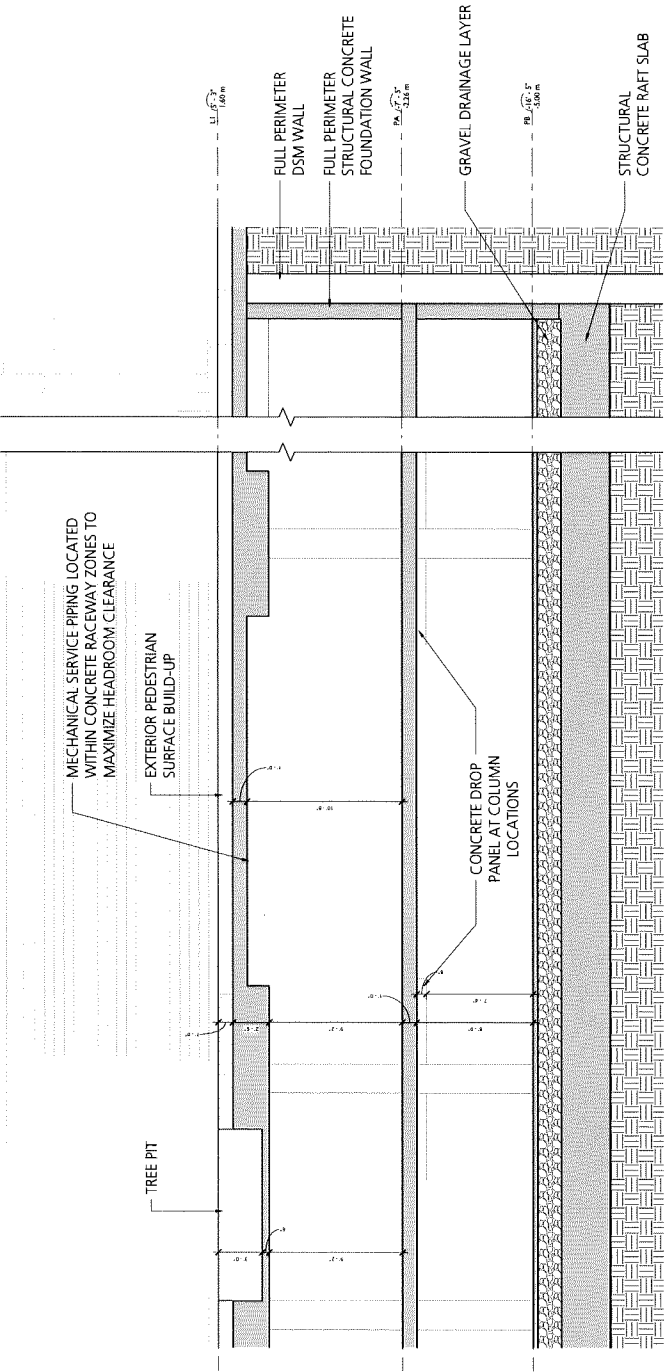
DATE	05/29/2019 6:10:28 PM
DRAWN BY	W.A.
CHECKED BY	Checker
SCALE	1/4" = 1'-0"
JOB NUMBER	1686-87



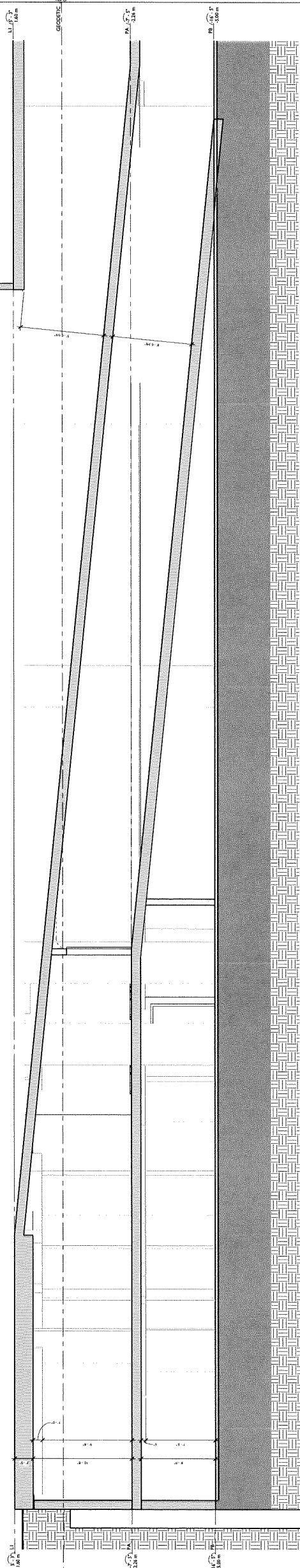
2 PARKADE SECTION - DEU PIPES BELOW 1C  
1/4" = 1'-0"



DP 17-768248  
MAY 29, 2019  
PLAN # 6a-2



PARKADE SECTION - BELOW PARK ROAD @ TREE PIT & PLUMBING LINES  
1/4" = 1'-0"



PARKADE SECTION - ENTRY RAMP  
1/4" = 1'-0"



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	20% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	Progress for Pricing	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Panel Submission	

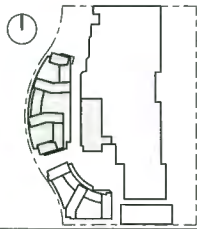
RICHMOND CENTRE  
PHASE 1

PHASE 1

PARKADE - SECTIONS

DATE	05/2019 5:10:45 PM
DRAWN BY	Architect
CHECKED BY	Checker
SCALE	1/4" = 1'-0"
JOB NUMBER	1686-87





DP 17-768248  
MAY 29, 2019  
PLAN # 6b-1



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	DP Application Rev. 1
	6	2019-03-20	DP Application Rev. 2
	7	2019-04-26	DP Application Rev. 3
	8	2019-05-03	Progress for City Review DP Panel Submission

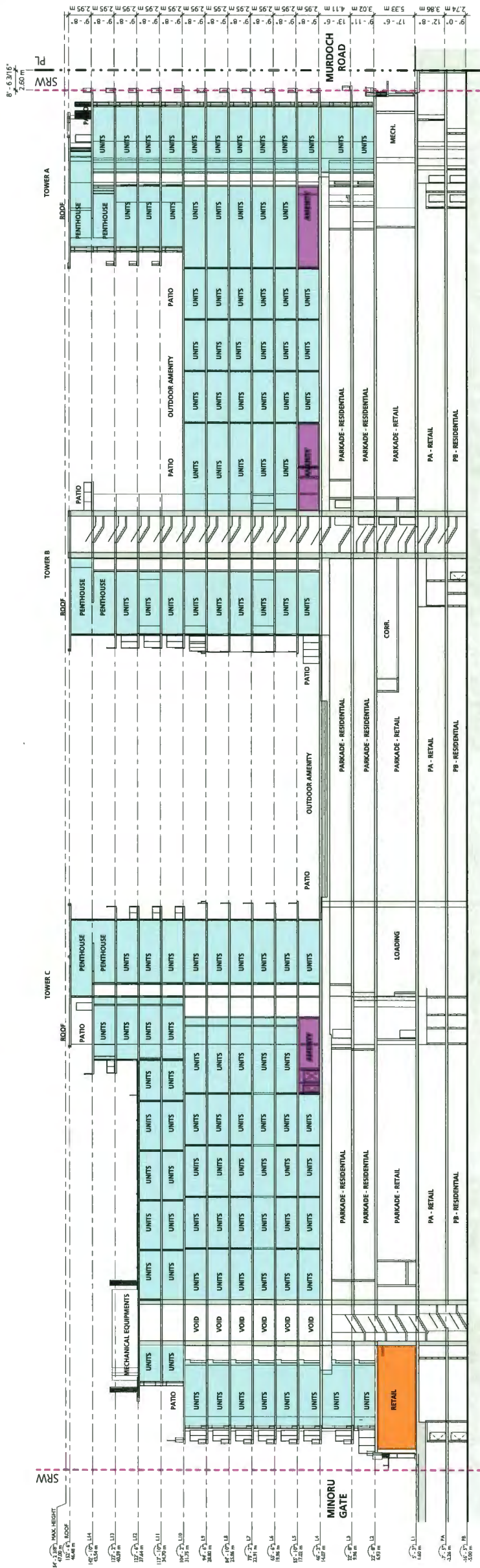
RICHMOND CENTRE  
PHASE 1

PHASE 1

1A - SECTIONS

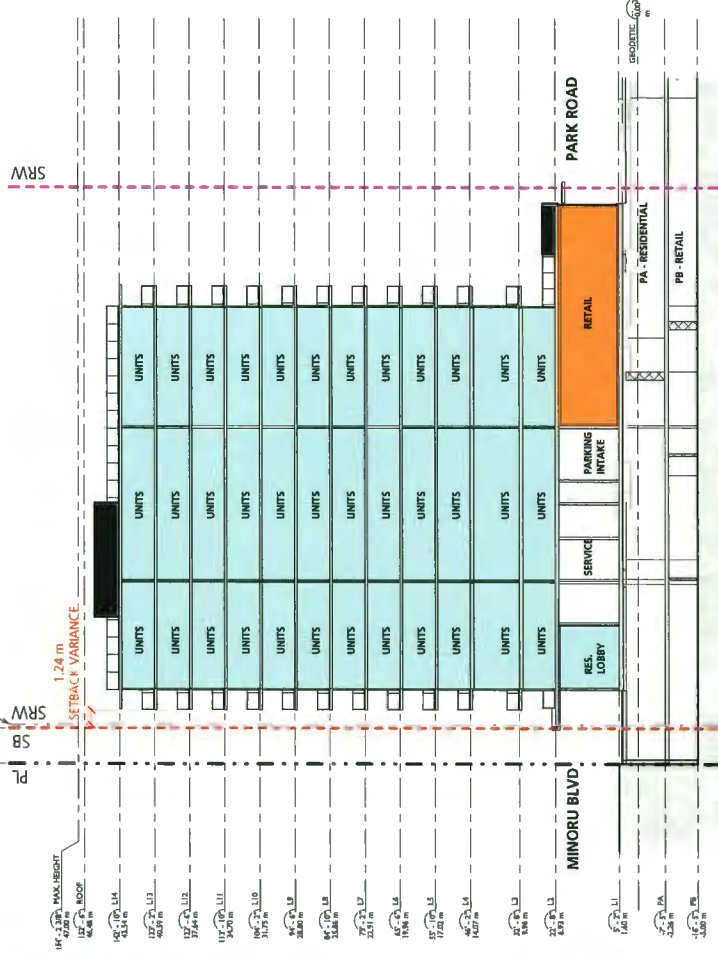
DATE	2019-05-03 PM
DRAWN BY	As indicated
CHECKED BY	
SCALE	
JOB NUMBER	1686

A-A.6.01

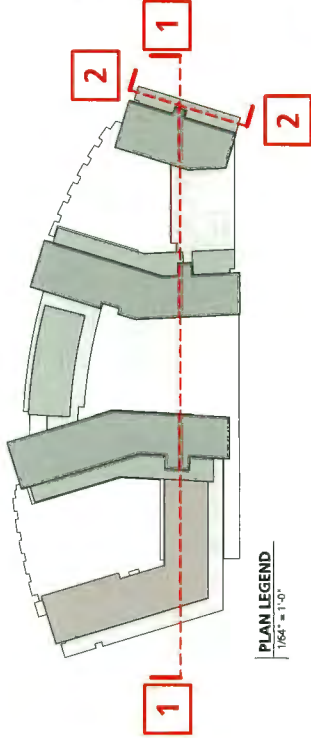


NORTH-SOUTH SECTION THROUGH 1A  
1/16" = 1'-0"

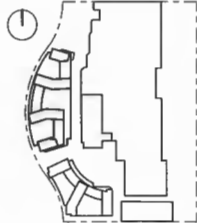
PROPERTY LINE PROJECTION  
BEYOND CORNER CUT



SECTION THROUGH TOWER A AT  
MURDOCH CORNER  
1/16" = 1'-0"



PLAN LEGEND  
1/64" = 1'-0"



DP 17-768248  
MAY 29, 2019  
PLAN # 6b-2

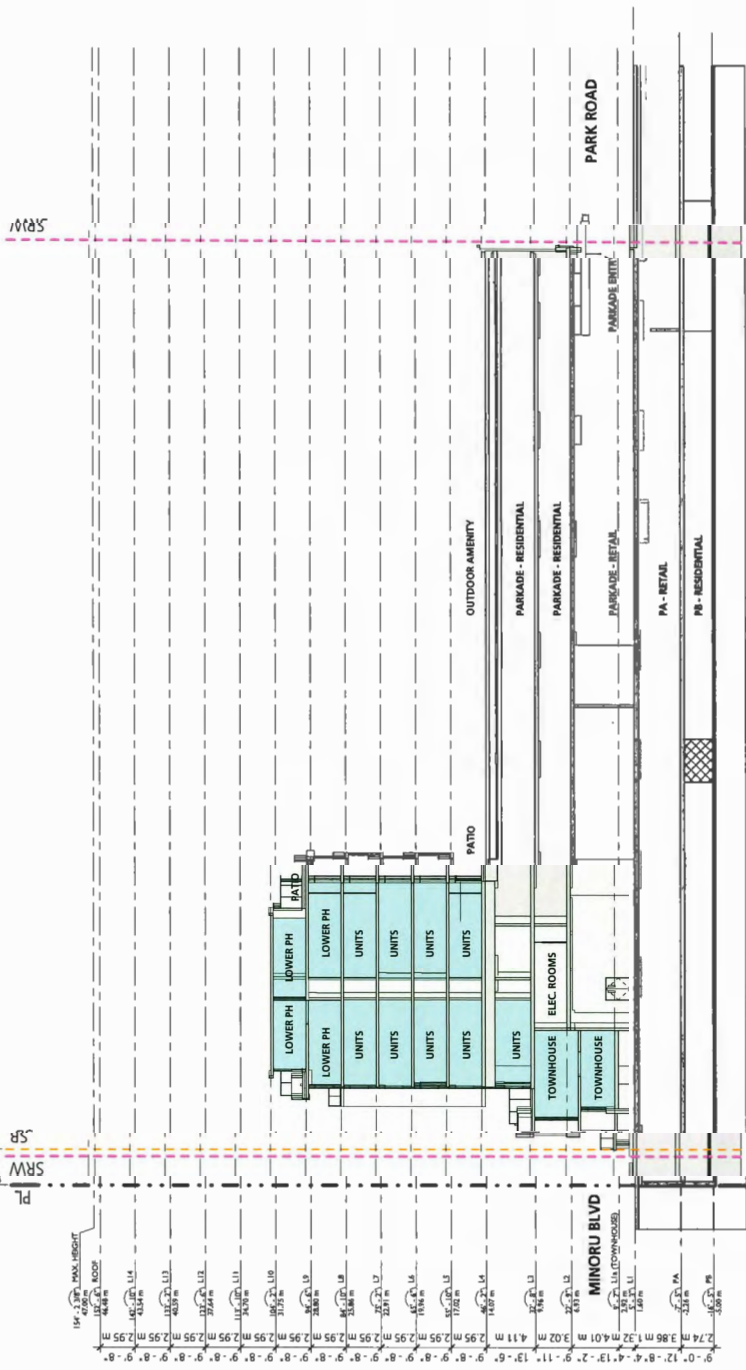


REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-05	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-25	Progress for City Review DP Application Rev. 3
8	2019-05-03	Progress for City Review DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A - SECTIONS

DATE: 5/29/2019 8:05:10 AM  
DRAWN BY: S  
CHECKED BY: A  
SCALE: AS SHOWN  
JOB NUMBER: 1686

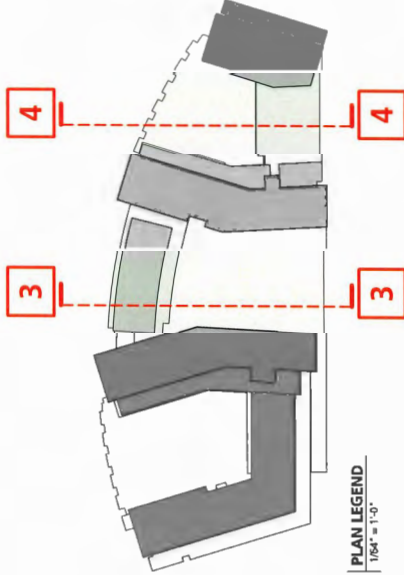
A-A.6.02



EAST-WEST SECTION THROUGH  
3 MID-BLOCK PODIUM  
1716° = 1'-0"



EAST-WEST SECTION THROUGH  
4 NORTH-BLOCK PODIUM  
1716° = 1'-0"



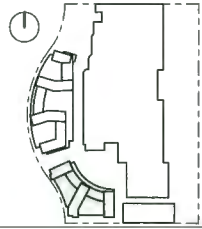
PLAN LEGEND  
1684' = 1'-0"





gbl ARCHITECTS INC.  
100 WESTERN AVENUE  
VANCOUVER, CANADA V6T 1A8  
TEL: 604.771.1576  
FAX: 604.771.1578  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 6C-1



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	DP Application Rev. 2
5	2018-08-02	DP Application Rev. 3
6	2019-03-20	Progress for City Review
7	2019-04-26	DP Application Rev. 3
8	2019-05-03	Progress for City Review DP Final Submission

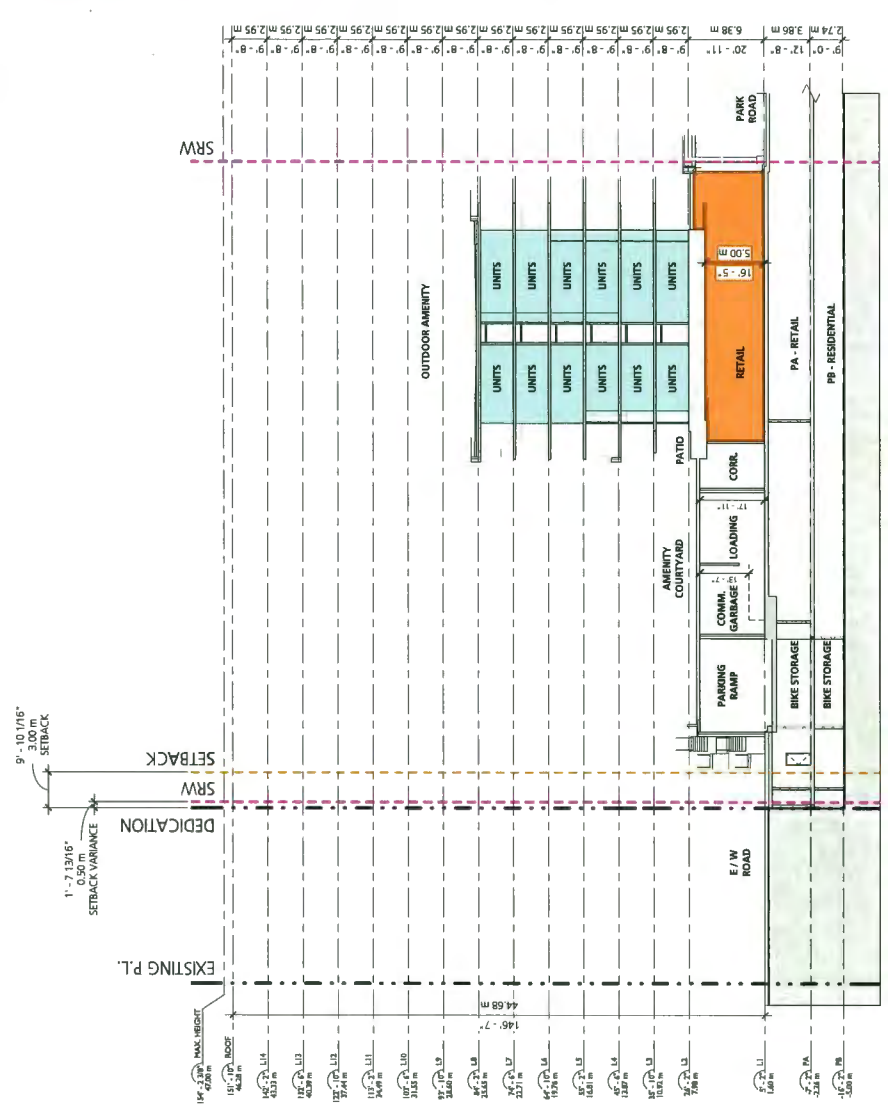
RICHMOND CENTRE  
PHASE 1

PHASE 1

1B - SECTIONS

DATE: 05/20/19 6:13:34 PM  
CHECKED BY: [Signature]  
SCALE: As Indicated  
JOB NUMBER: 1686-87

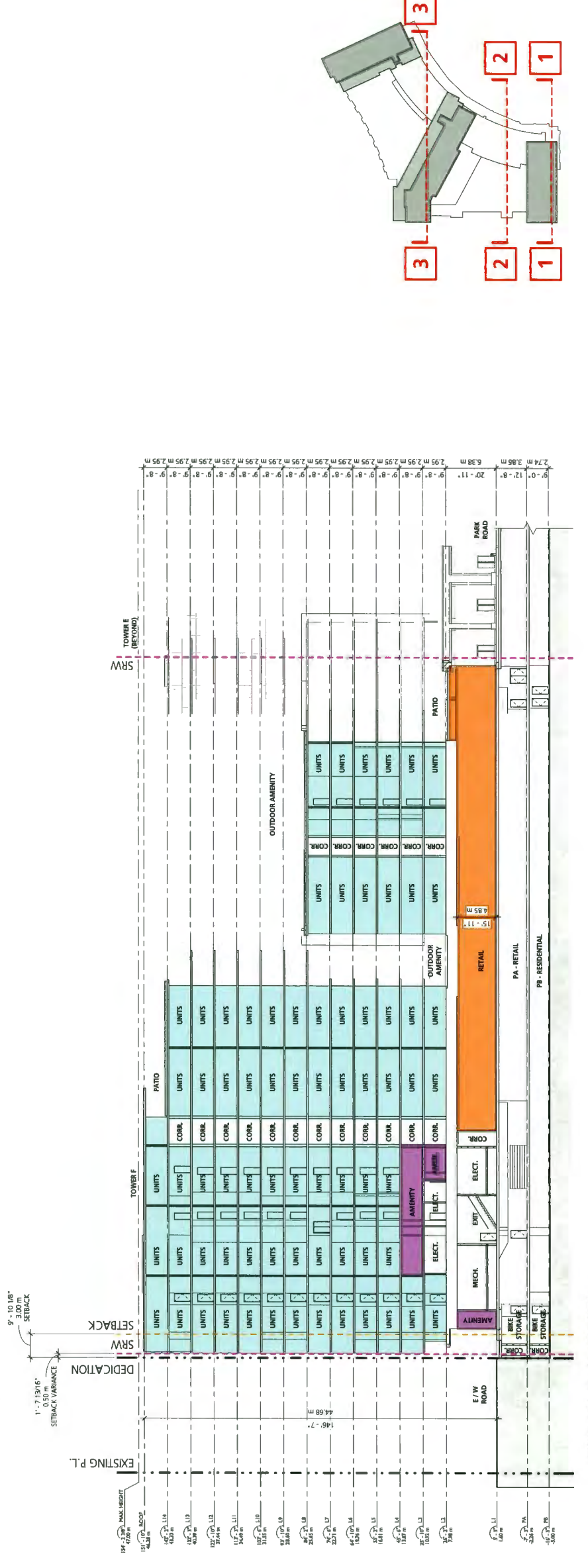
A-B.6.01



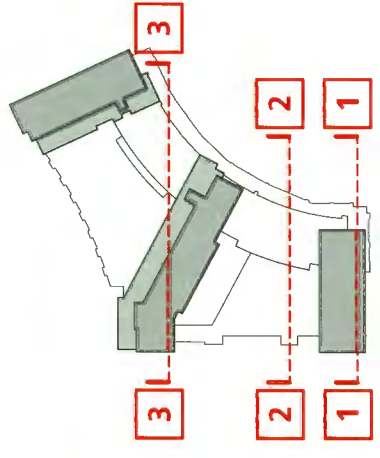
NORTH-SOUTH SECTION THROUGH  
MID-BLOCK PODIUM  
1/16" = 1'-0"



NORTH-SOUTH SECTION THROUGH  
TOWER G AT PARKADE ENTRY  
1/16" = 1'-0"



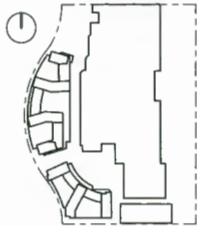
NORTH-SOUTH SECTION THROUGH  
TOWER F  
1/16" = 1'-0"



PLAN LEGEND  
1/64" = 1'-0"







DP 17-768248  
MAY 29, 2019  
PLAN # 6d

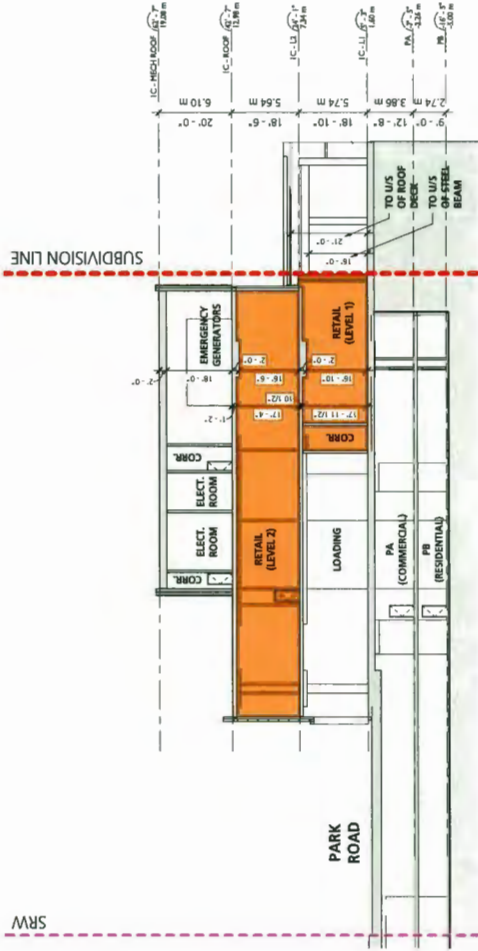


REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 2	
5	2018-08-02	DP Application Rev. 3	
6	2019-03-20	DP Application Rev. 4	
7	2019-04-26	DP Application Rev. 5	
8	2019-05-03	Progress for City Review	

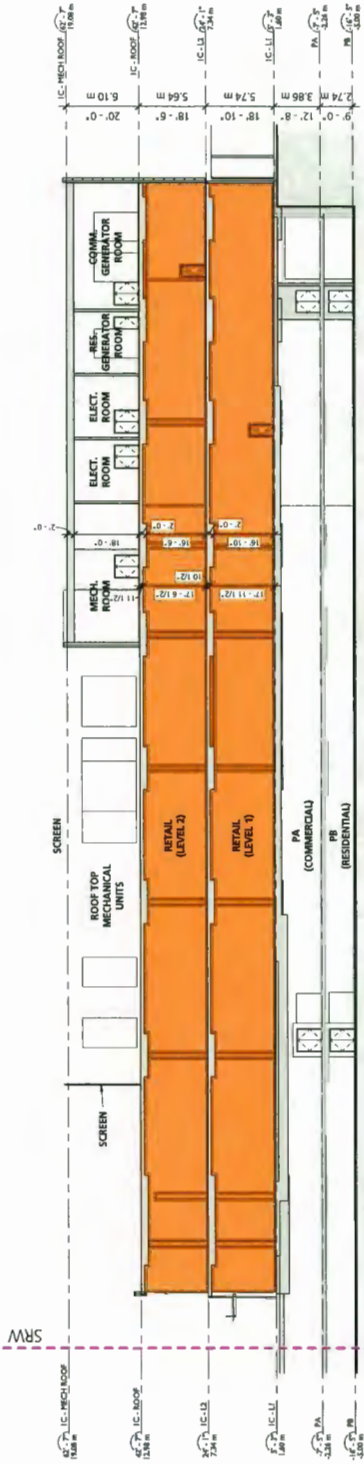
RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1C - SECTIONS

DATE	5/20/19 2:25:48 PM
DRAWN BY	JT
CHECKED BY	At Inland
SCALE	
JOB NUMBER	1686

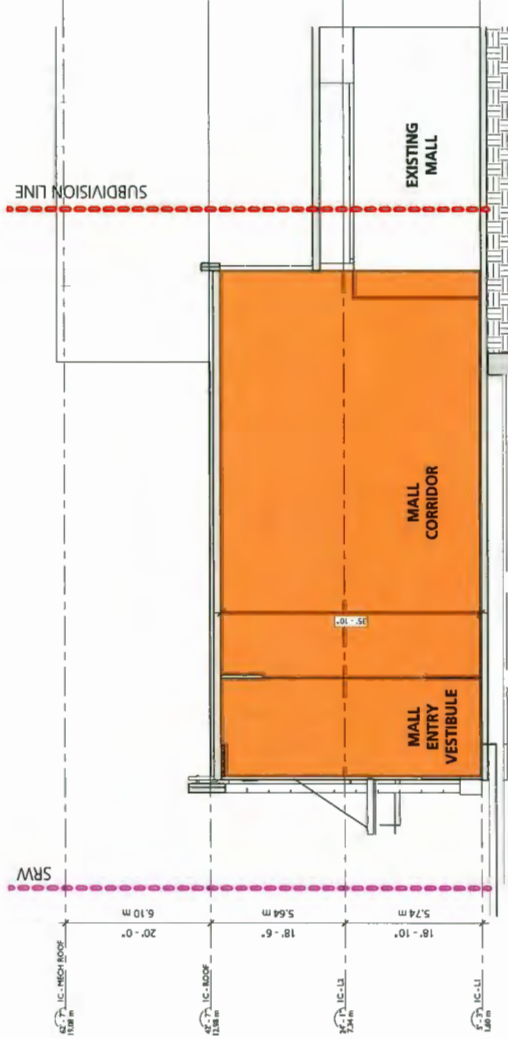
A-C.6.01



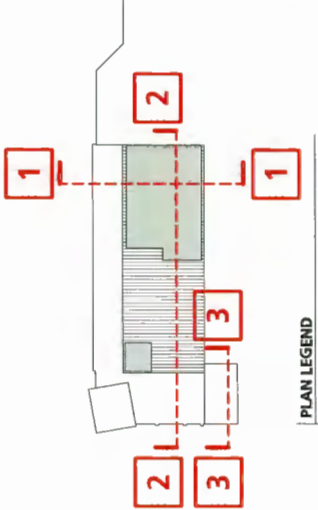
E/W SECTION THROUGH 1C LOADING  
1/8" = 1'-0"



NORTH-SOUTH SECTION THROUGH 1C  
1/8" = 1'-0"



SECTION THROUGH NEW MALL ENTRY  
1/8" = 1'-0"



PLAN LEGEND  
1/8" = 1'-0"





BUILDING 1B

BUILDING 1A

PARK ROAD



BUILDING 1A

BUILDING 1B

MINORU BLVD



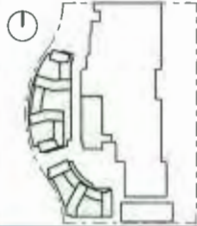
BUILDING 1B

EAST-WEST ROAD

gbl

G&B ARCHITECTS INC.  
1000 WEST 10TH AVENUE  
SUITE 1000 VANCOUVER, BC V6H 2G6  
TEL: 604.731.1379  
FAX: 604.731.1378  
WWW.G&BARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 7a



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	Application Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-04-06	DP Application Rev. 1
	6	2018-04-02	DP Application Rev. 2
	7	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	7	2019-04-26	DP Application Rev. 4
	8	2019-05-03	DP Permit Submission

RICHMOND CENTRE  
PHASE 1

PHASE 1

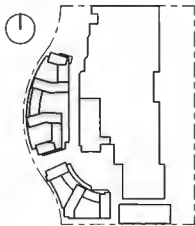
PHASE 1

STREETSCAPES

DATE: 5/29/2019 3:11:12 PM  
CHECKED BY: [Signature]  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

A-7.01





DP 17-768248  
MAY 29, 2019  
PLAN # 7b-1

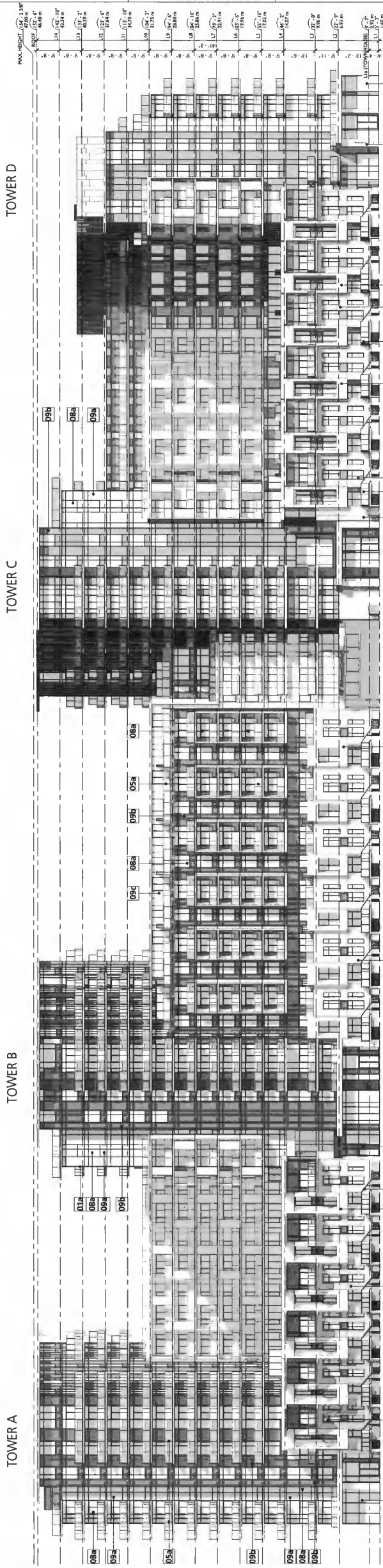


REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-05-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2019-05-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-03	Progress for City Review	

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A - ELEVATIONS

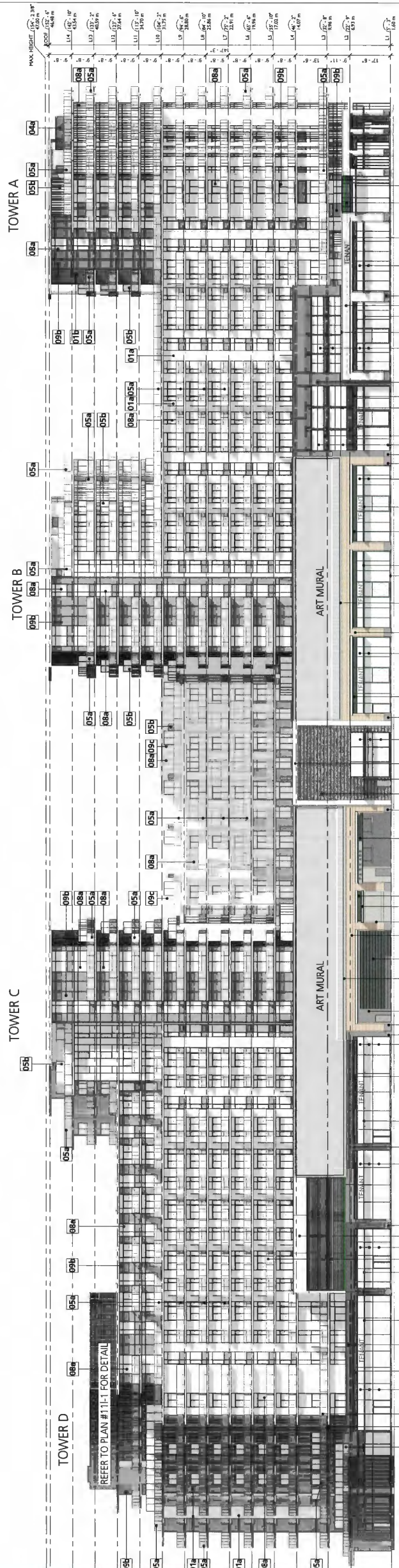
DATE: 05/29/19 3:07:35 PM  
DRAWN BY: J.S.  
CHECKED BY: A. HERNANDEZ  
SCALE: As Indicated  
JOB NUMBER: 1685

A-A.7.01



REFER TO A-A.7.02 FOR LARGE SCALE ELEVATION

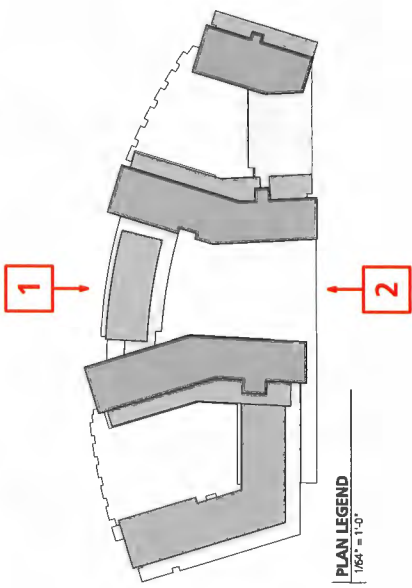
WEST  
1/16" = 1'-0"



REFER TO A-A.7.05 FOR LARGE SCALE ELEVATION

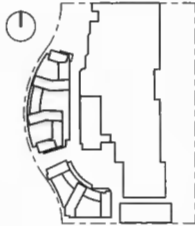
REFER TO A-A.7.04 FOR LARGE SCALE ELEVATION

EAST  
1/16" = 1'-0"



PLAN LEGEND  
1/64" = 1'-0"

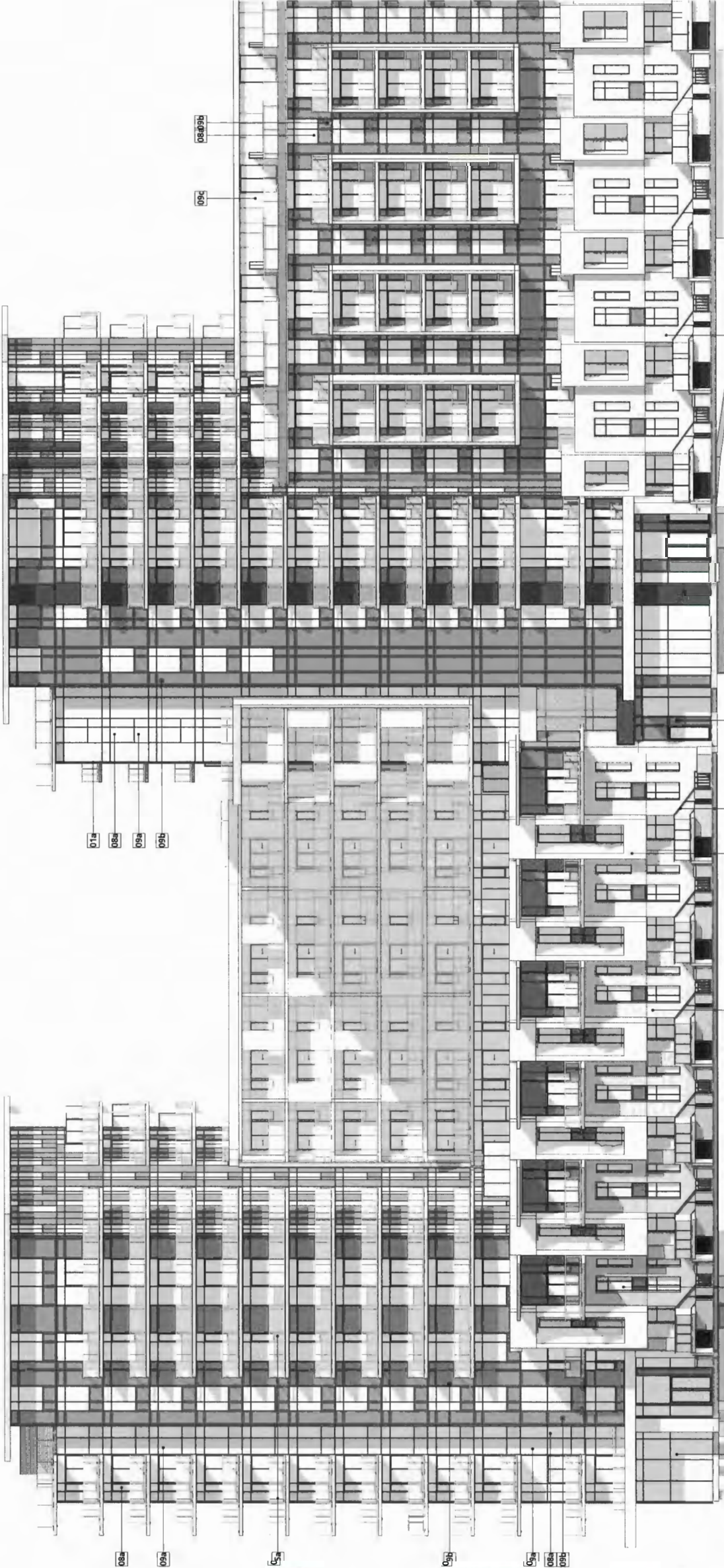




DP 17-768248  
MAY 29, 2019  
PLAN # 7b-2

TOWER B

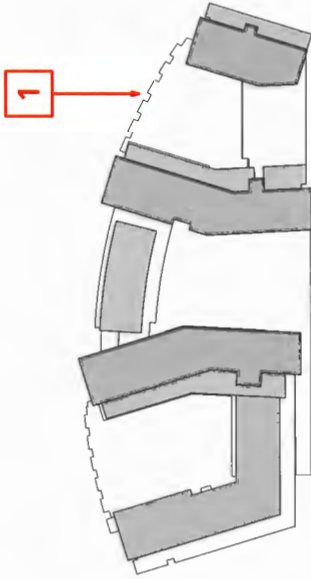
TOWER A



WEST - TOWER A & B  
1/8" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter



PLAN LEGEND  
1/8" = 1'-0"



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	Program for City Review
8	2019-05-03	Program for City Review

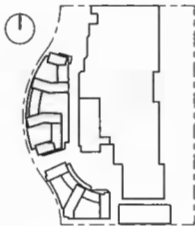
RICHMOND CENTRE  
PHASE 1

PHASE 1

1A - ELEVATION -  
WEST

DATE: 2019-05-03 PM  
CHECKED BY: G. B. Architects Inc.  
SCALE: As Shown  
JOB NUMBER: 1686

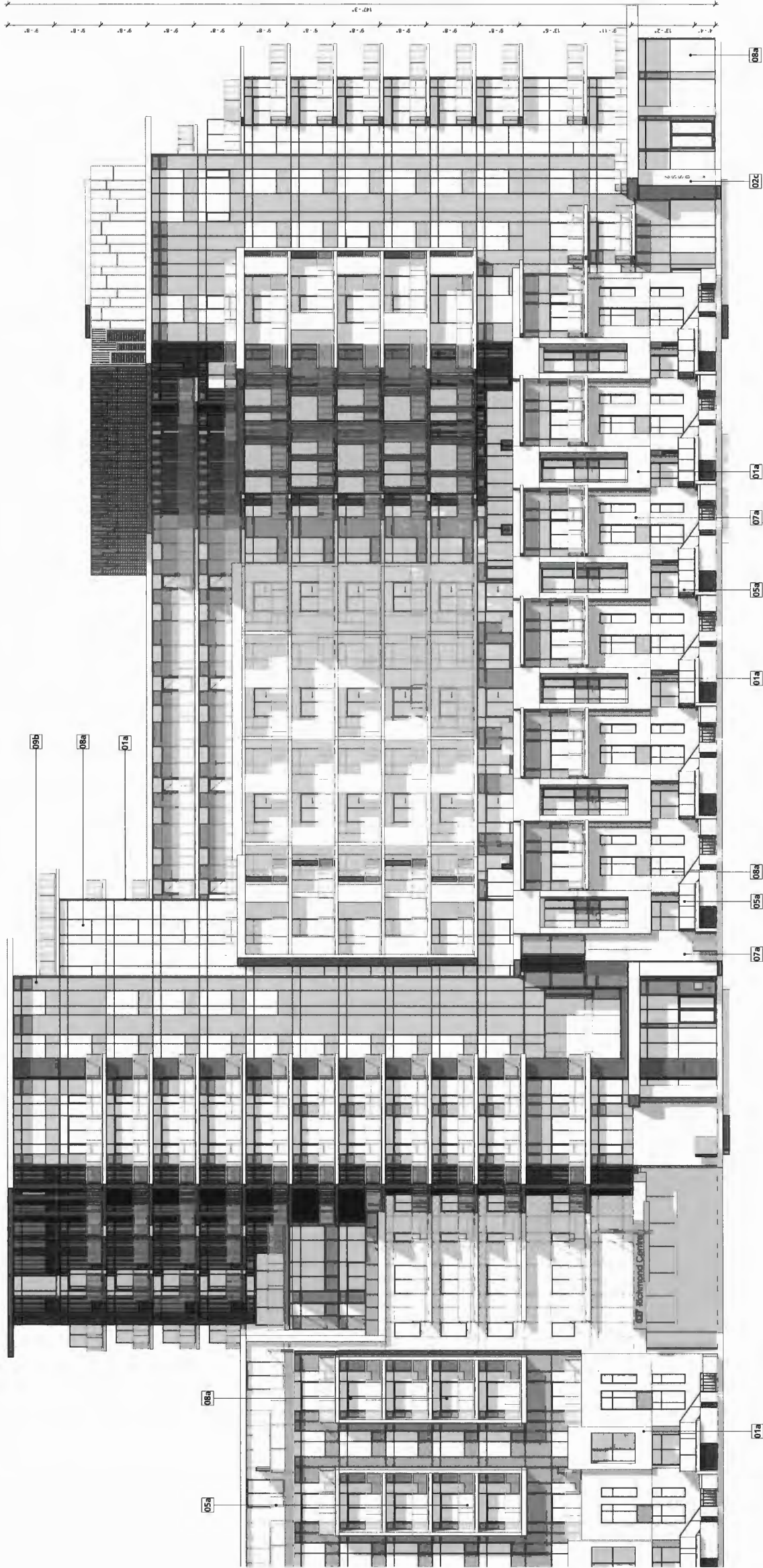




DP 17-768248  
MAY 29, 2019  
PLAN # 7b-3

TOWER D

TOWER C



WEST - LARGE SCALE - TOWER C & D  
1/8" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tredl-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-05	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-25	Progress for City Review
8	2019-05-03	DP Panel Submission

RICHMOND CENTRE  
PHASE 1

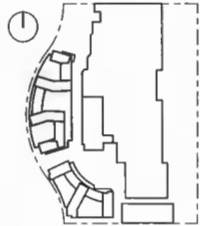
PHASE 1

1A - ELEVATION -  
WEST

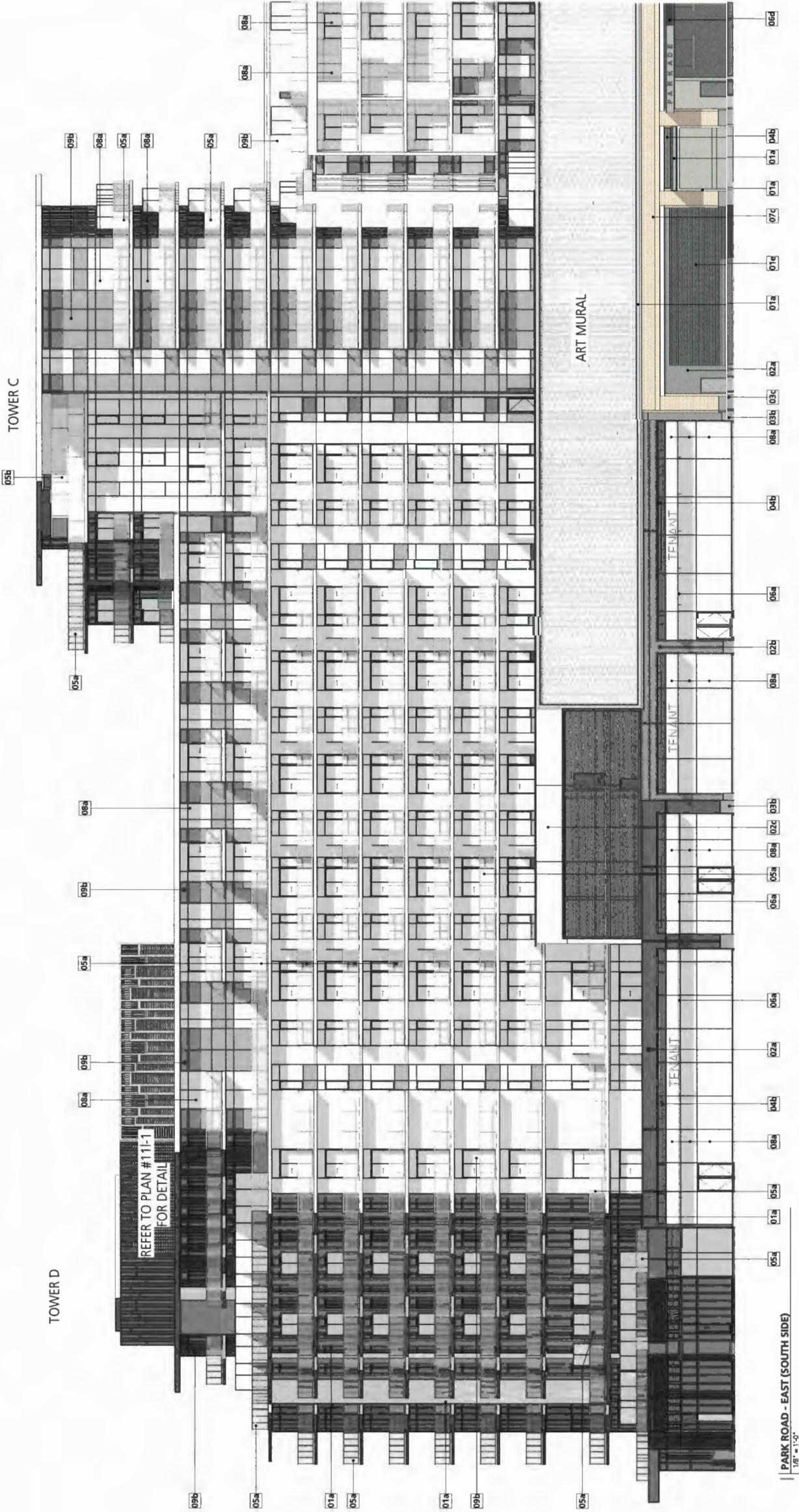
DATE: 5/29/2019 8:10:40 PM  
DRAWN BY: G.B. Architects Inc.  
CHECKED BY: As indicated  
SCALE: As indicated  
JOB NUMBER: 1586

PLAN LEGEND  
1/8" = 1'-0"





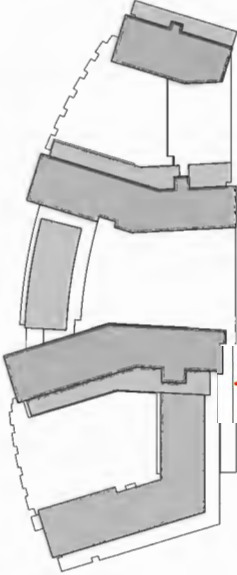
DP 17-768248  
MAY 29, 2019  
PLAN # 7b-4



PARK ROAD - EAST (SOUTH SIDE)  
1/8" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter



PLAN LEGEND  
1/8" = 1'-0"



REVISIONS	
No.	Date
1	2017-03-31
2	2017-08-08
3	2018-03-29
4	2018-04-06
5	2018-08-02
6	2019-03-20
7	2019-04-30
8	2019-05-03

Description	
Development Permit	
35% Design Set	
DP Application Rev. 1	
DP Application Rev. 2	
DP Application Rev. 3	
DP Application Rev. 4	
DP Application Rev. 5	
DP Application Rev. 6	
DP Application Rev. 7	
DP Application Rev. 8	

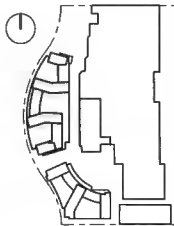
RICHMOND CENTRE  
PHASE 1

PHASE 1

1A - ELEVATIONS -  
EAST

DATE	5/20/2019 8:13 AM
CHECKED BY	As indicated
SCALE	
JOB NUMBER	1686





DP 17-768248  
MAY 29, 2019  
PLAN # 7b-5

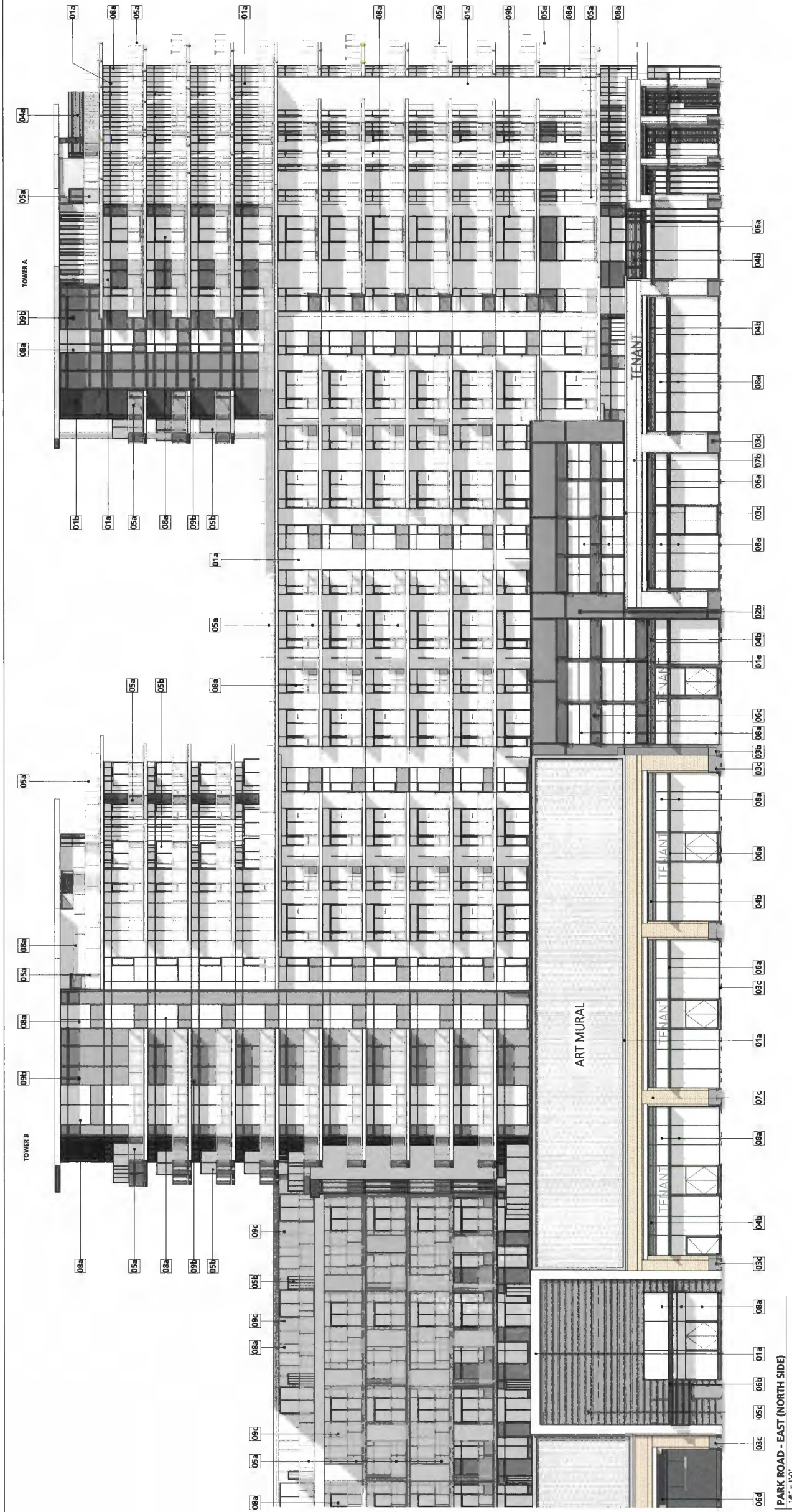


REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	DP Application Rev. 1
	6	2019-03-20	DP Application Rev. 2
	7	2019-04-26	DP Application Rev. 3
	8	2019-05-03	Progress for City Review
			DP Panel Submission

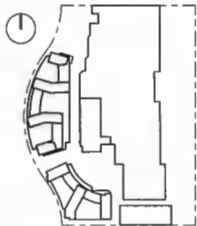
RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A - ELEVATIONS -  
EAST

DATE	2019-05-09
DRAWN BY	AS
CHECKED BY	AS
SCALE	As Noted
JOB NUMBER	1686

A-A.7.05







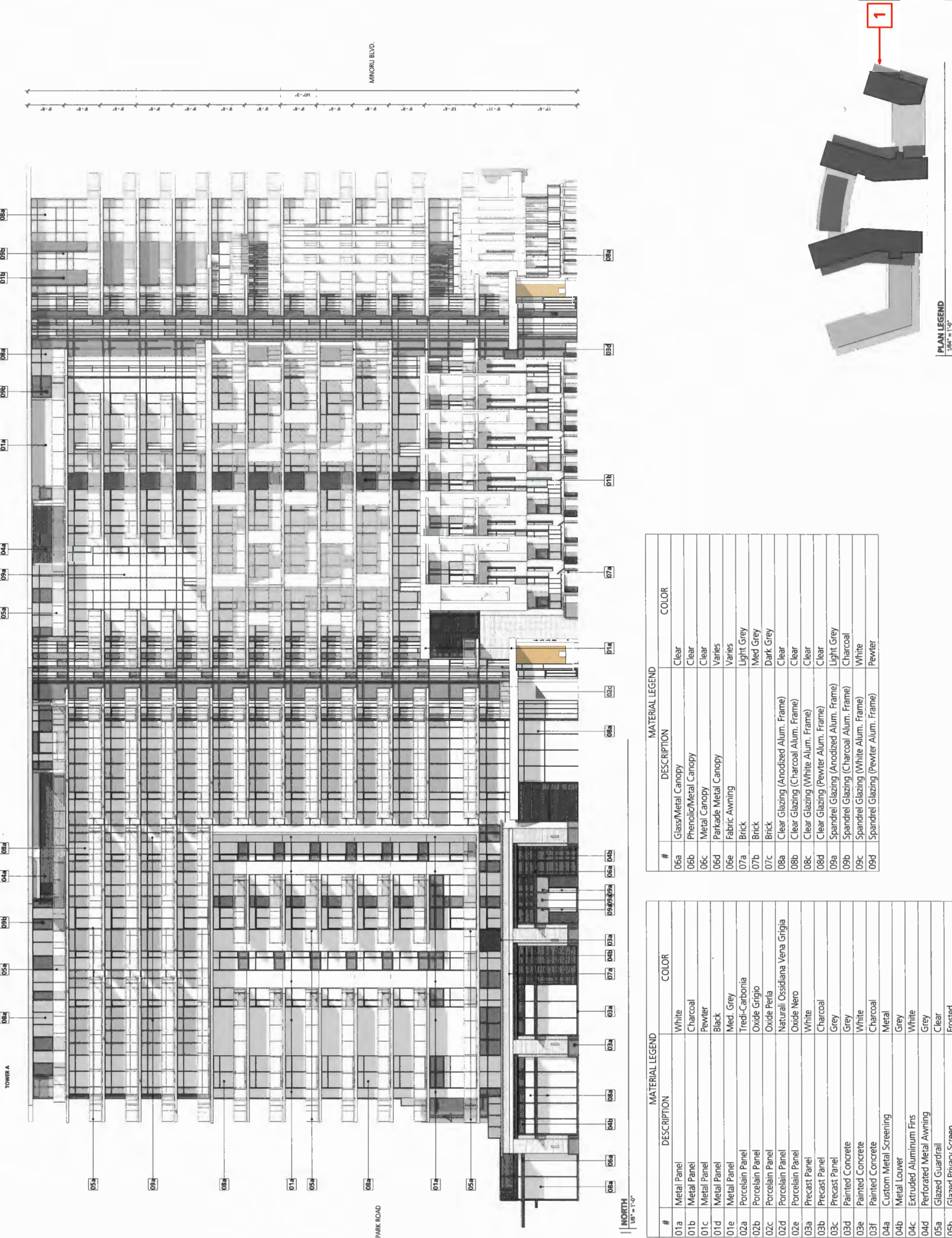
DP 17-768248  
MAY 29, 2019  
PLAN # 7b-6



REVISIONS	
No.	Date
1	2017-03-31
2	2017-08-08
3	2018-03-29
4	2018-04-06
5	2018-08-02
6	2019-03-20
7	2019-04-26
8	2019-05-09

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A - ELEVATIONS -  
NORTH

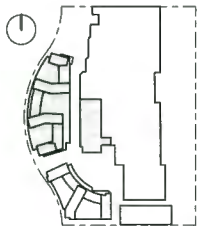
DATE: 2019-05-09 PM  
CHECKED BY: [Signature]  
SCALE: As noted  
JOB NUMBER: 1686



MATERIAL LEGEND		
#	DESCRIPTION	COLOR
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter

MATERIAL LEGEND		COLOR
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tredl-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE





DP 17-768248  
MAY 29, 2019  
PLAN # 7b-7



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	DP Application Rev. 3
8	2019-05-03	Progress for City Review DP Permit Submission

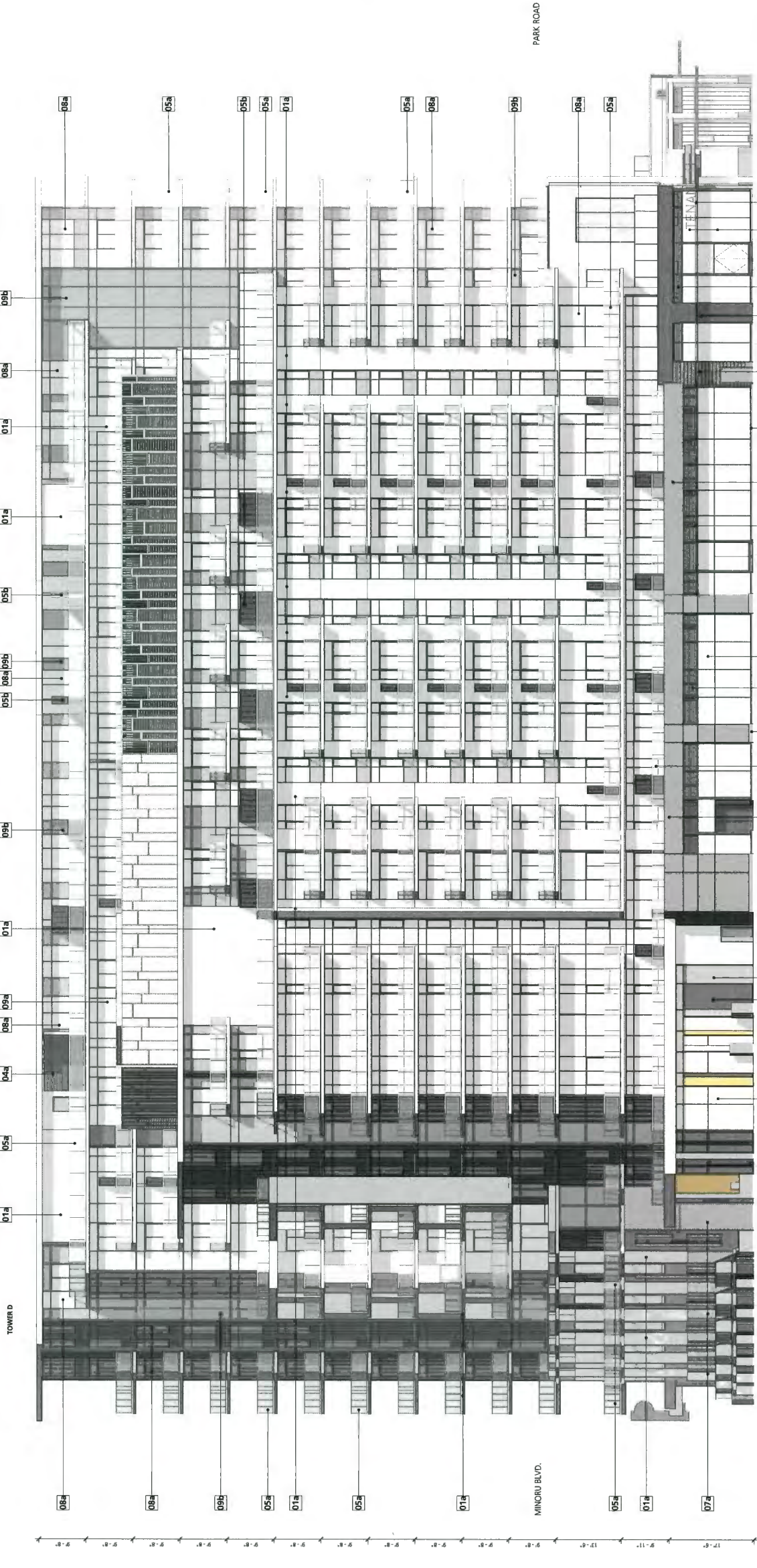
RICHMOND CENTRE  
PHASE 1

PHASE 1

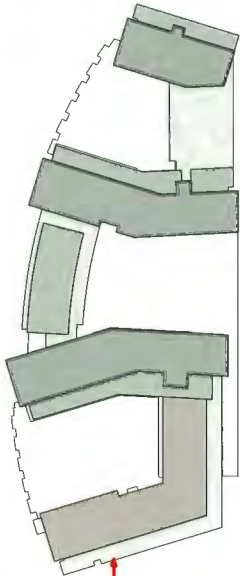
1A - ELEVATIONS -  
SOUTH

DATE:	2019-05-08 PM
DRAWN BY:	GBA
CHECKED BY:	GBA
SCALE:	As Indicated
JOB NUMBER:	1686

A-A.7.07



SOUTH  
1/8" = 1'-0"

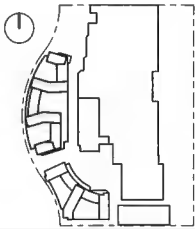


PLAN LEGEND  
1/8" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tredici-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE





DP 17-768248  
MAY 29, 2019  
PLAN # 7b-8

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tredi-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
		Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2019-05-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	Progress for City Review	
		DP Panel Submission	

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A - ELEVATIONS

DATE: 202019-02-25 PM  
DRAWN BY: A. H. H. H.  
CHECKED BY: A. H. H. H.  
SCALE: 1/64" = 1'-0"  
JOB NUMBER: 1686

A-A.7.08

1'-0" = 1'-0"

PARK ROAD

05a

05b

05c

05d

05e

05f

05g

05h

05i

05j

05k

05l

05m

05n

05o

05p

05q

05r

05s

05t

05u

05v

05w

05x

05y

05z

05aa

05ab

05ac

05ad

1'-0" = 1'-0"

PARK ROAD

05a

05b

05c

05d

05e

05f

05g

05h

05i

05j

05k

05l

05m

05n

05o

05p

05q

05r

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05v

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05x

05y

05z

05aa

05ab

05ac

05ad

05ae

05af

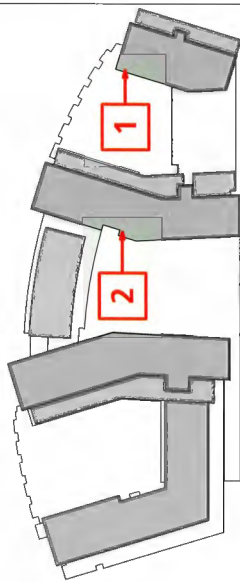
05ag

05ah

05ai

PLAN LEGEND  
1/64" = 1'-0"

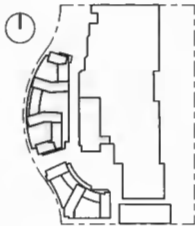
2 | SOUTH - Tower B  
1/6" = 1'-0"



PARK ROAD

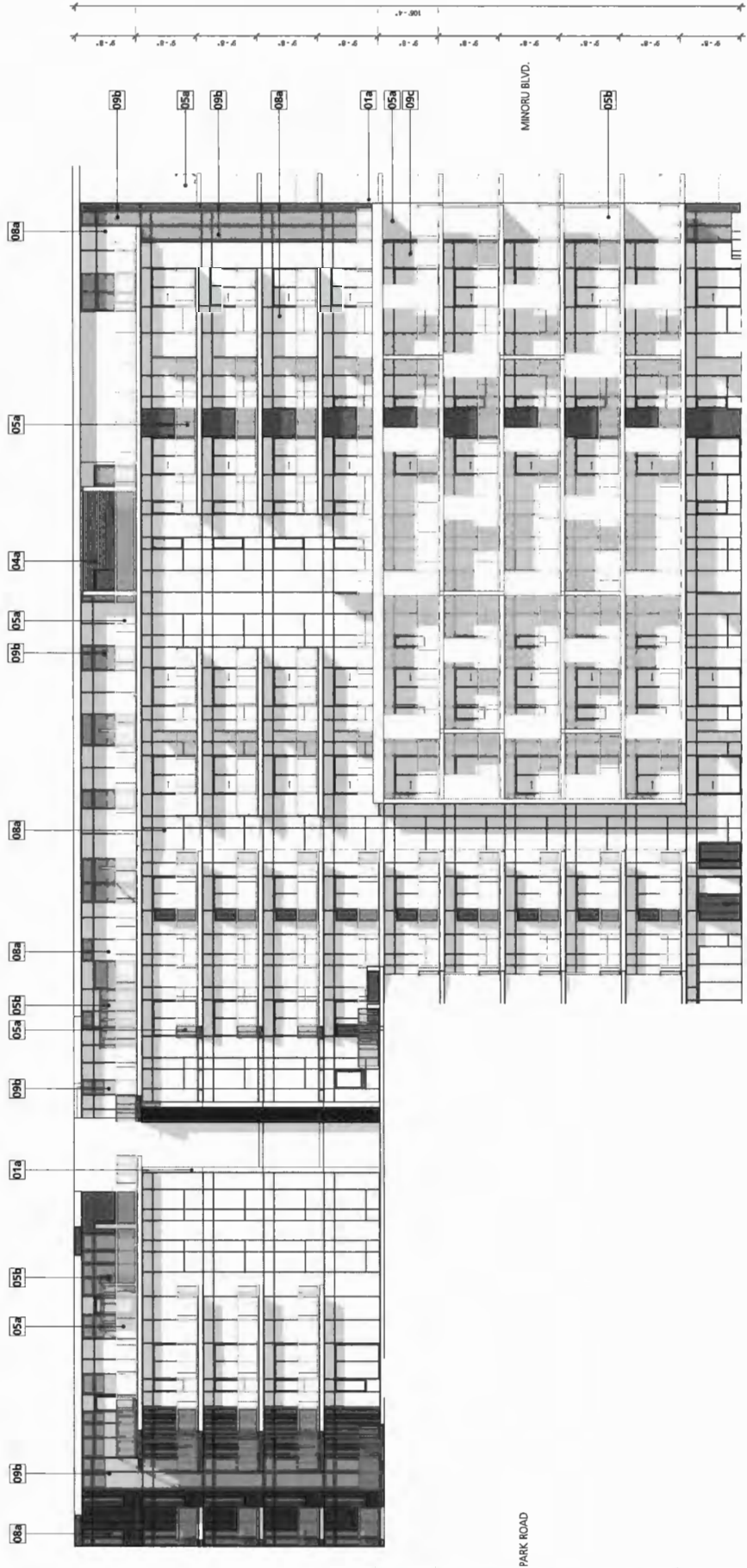
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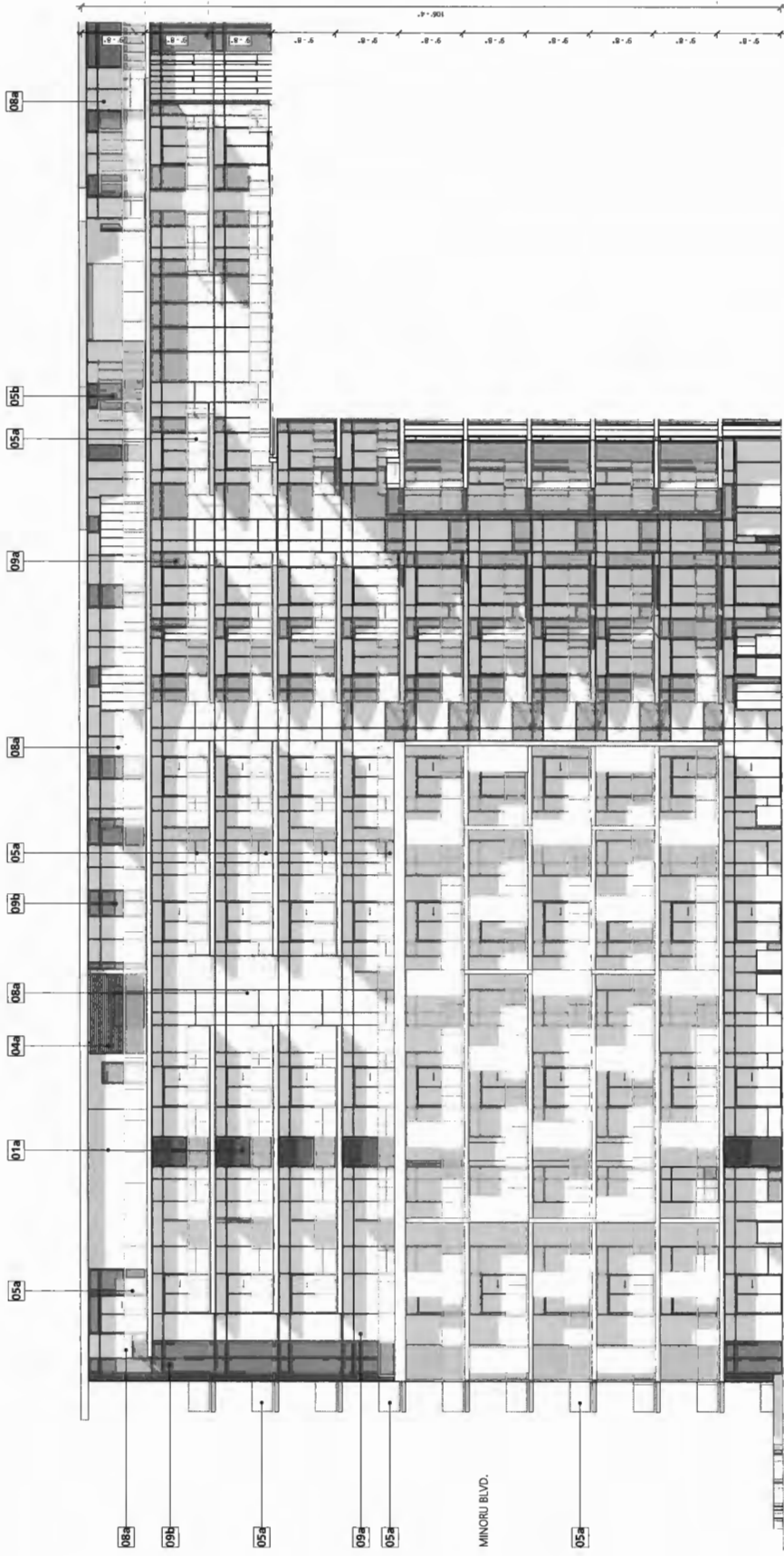


DP 17-768248  
MAY 29, 2019  
PLAN # 7b-9

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
		Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter



NORTH - Tower B  
1/8" = 1'-0"



SOUTH - Tower C  
1/8" = 1'-0"



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Panel Submission	

RICHMOND CENTRE  
PHASE 1

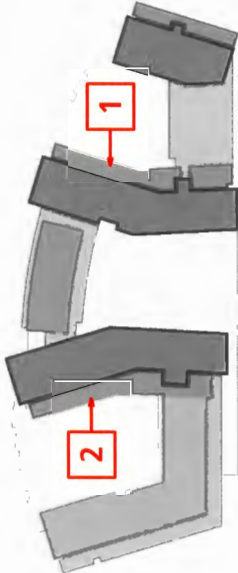
PHASE 1

1A - ELEVATIONS

DATE	9/20/2018 3:05 PM
CHECKED BY	Owner
SCALE	As Indicated
JOB NUMBER	1686

PLAN LEGEND  
1/64" = 1'-0"

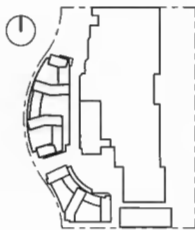
PARK ROAD



SOUTH - Tower C  
1/8" = 1'-0"

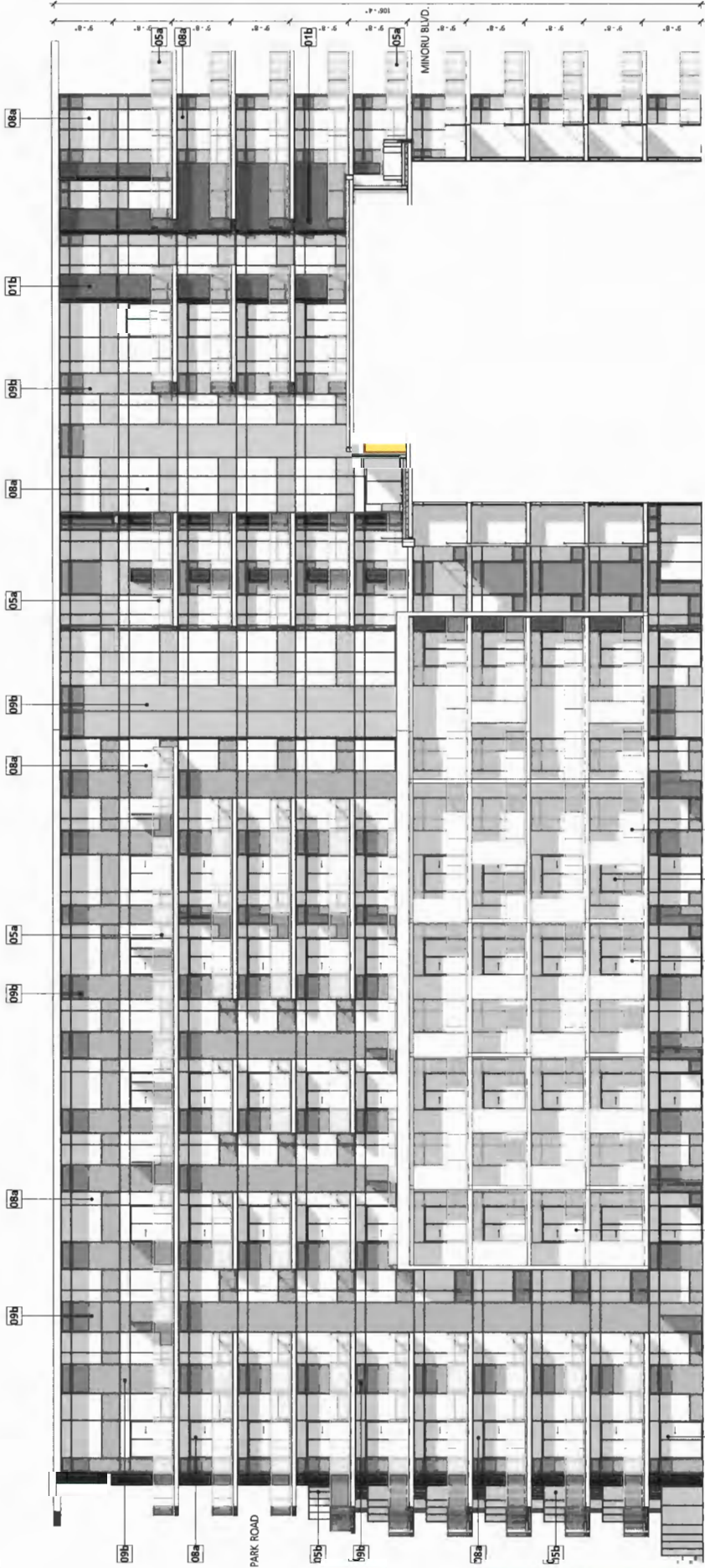
A-A.7.09



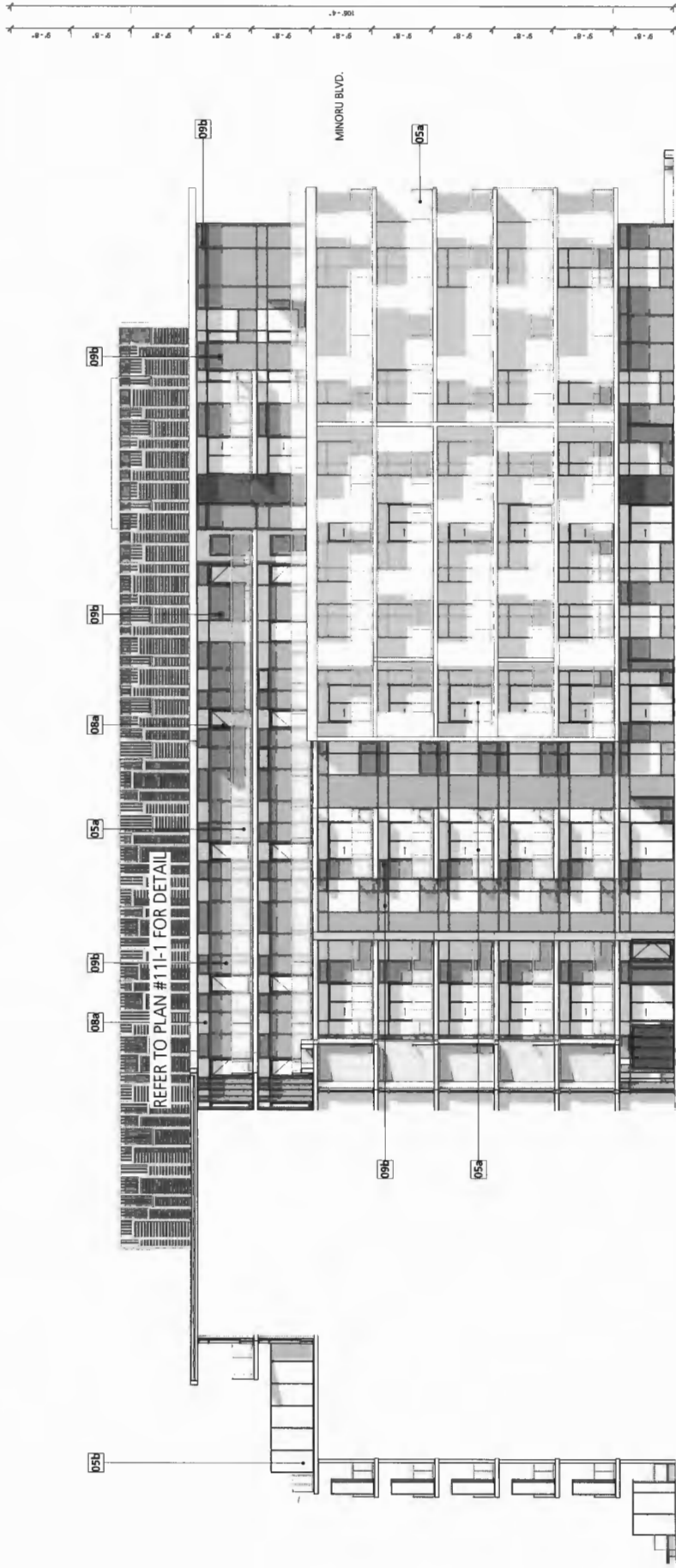


DP 17-768248  
MAY 29, 2019  
PLAN # 7b-10

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med. Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Oxide Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
		Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter



NORTH - Tower C  
1/8" = 1'-0"



NORTH - Tower D  
1/8" = 1'-0"

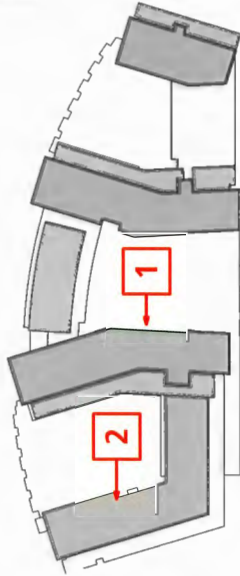


REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	DP Application Rev. 2	
5	2018-08-02	DP Application Rev. 3	
6	2019-03-20	DP Application Rev. 4	
7	2019-04-25	DP Application Rev. 5	
8	2019-05-03	Program for City Review DP Panel Submission	

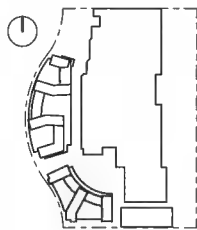
RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A - ELEVATIONS

DATE: 05/03/2019 8:27:54 AM  
CHECKED BY: [Signature]  
SCALE: As Indicated  
JOB NUMBER: 1686

PLAN LEGEND  
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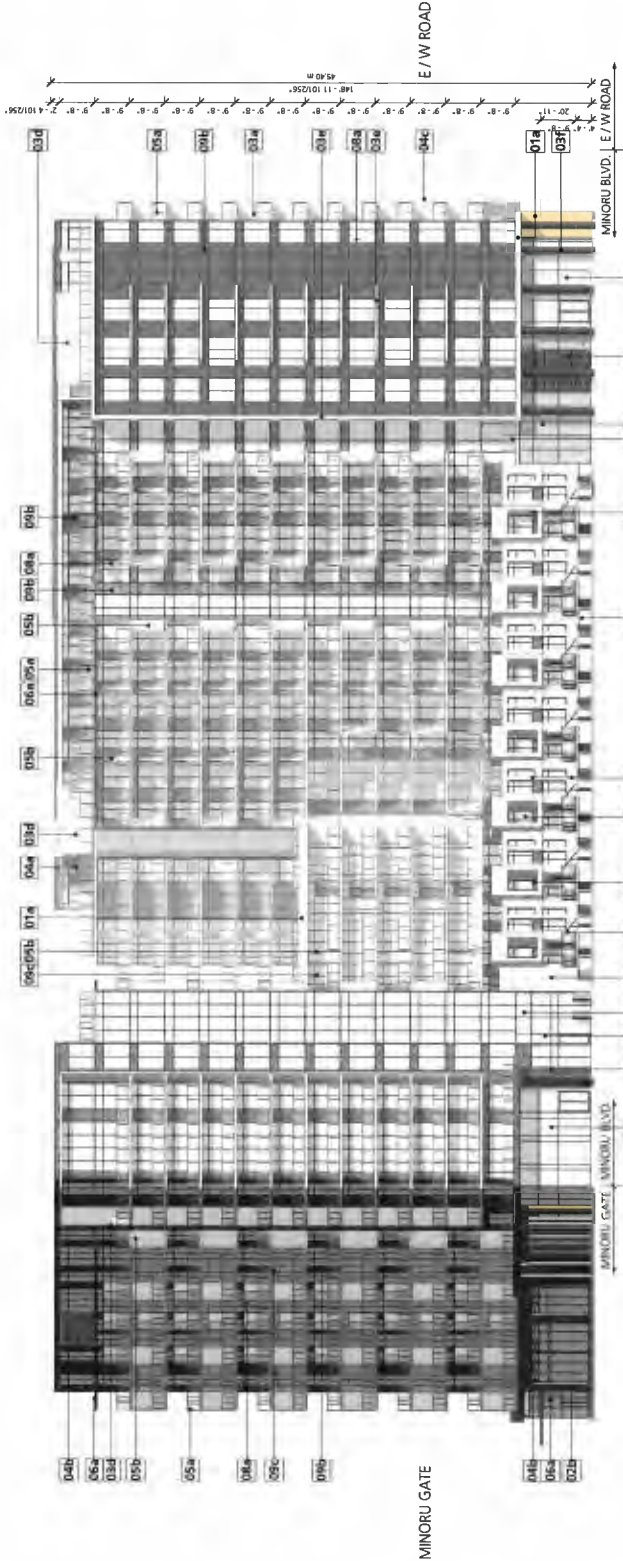






DP 17-768248  
MAY 29, 2019  
PLAN # 7C-1

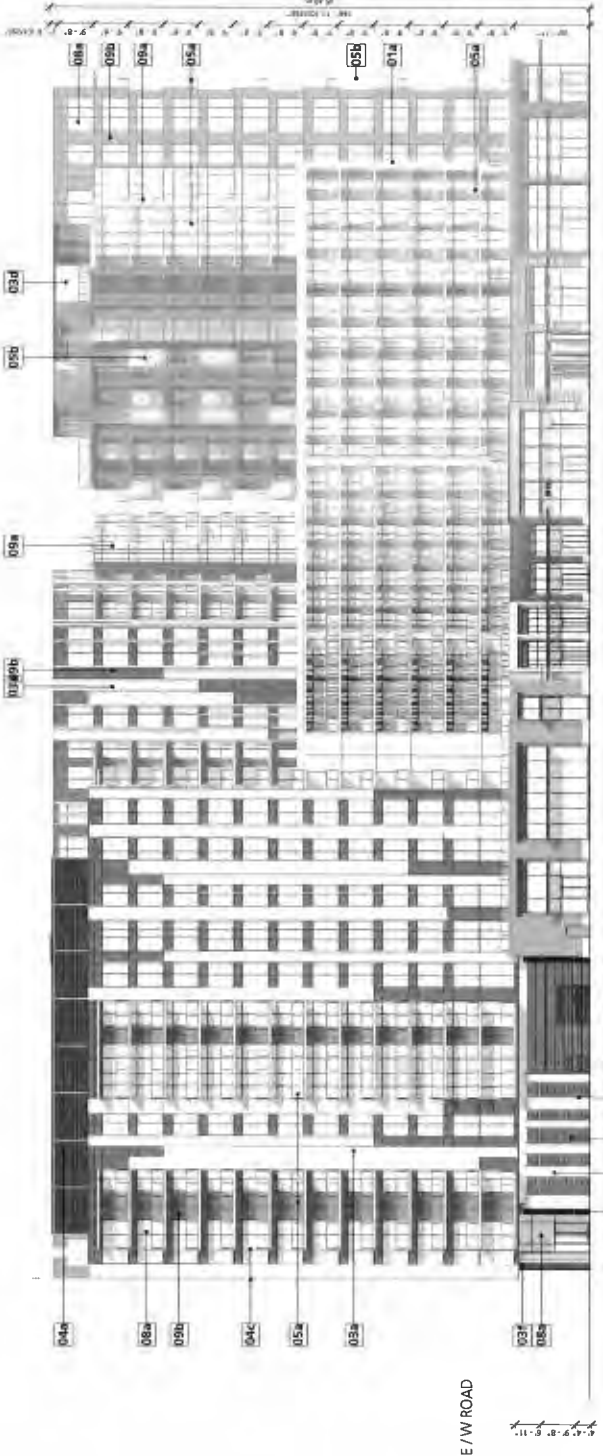
MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tredici-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali
		Ossidiana
		Vena Grigia
02e	Porcelain Panel	Oxide Nero
03a	Precast Concrete Panel	White
03b	Precast Concrete Panel	Charcoal
03c	Precast Concrete Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazngl. Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter



REFER TO A-8.7.03 FOR LARGE SCALE ELEVATION

REFER TO A-8.7.04 FOR LARGE SCALE ELEVATION

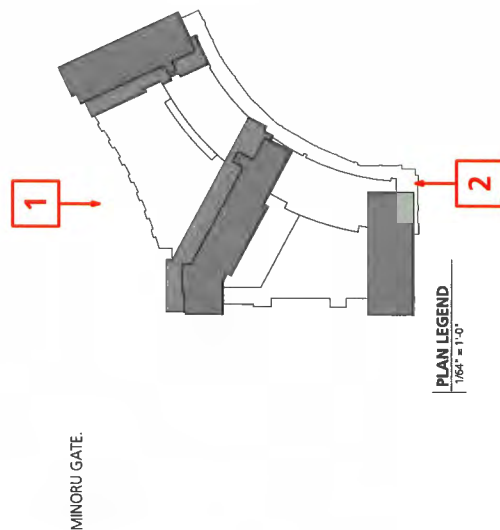
WEST  
1/16" = 1'-0"



REFER TO A-8.7.04 FOR LARGE SCALE ELEVATION

REFER TO A-8.7.05 FOR LARGE SCALE ELEVATION

EAST  
1/16" = 1'-0"



PLAN LEGEND  
1/16" = 1'-0"



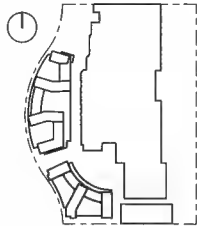
REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2018-08-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	Progress for City Review	
			DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1B - ELEVATIONS

DATE: 05/29/2019 10:15:16 PM  
DRAWN BY: G. B. L. Architects Inc.  
CHECKED BY: As Issued  
SCALE: 1/16" = 1'-0"  
JOB NUMBER: 1686-87

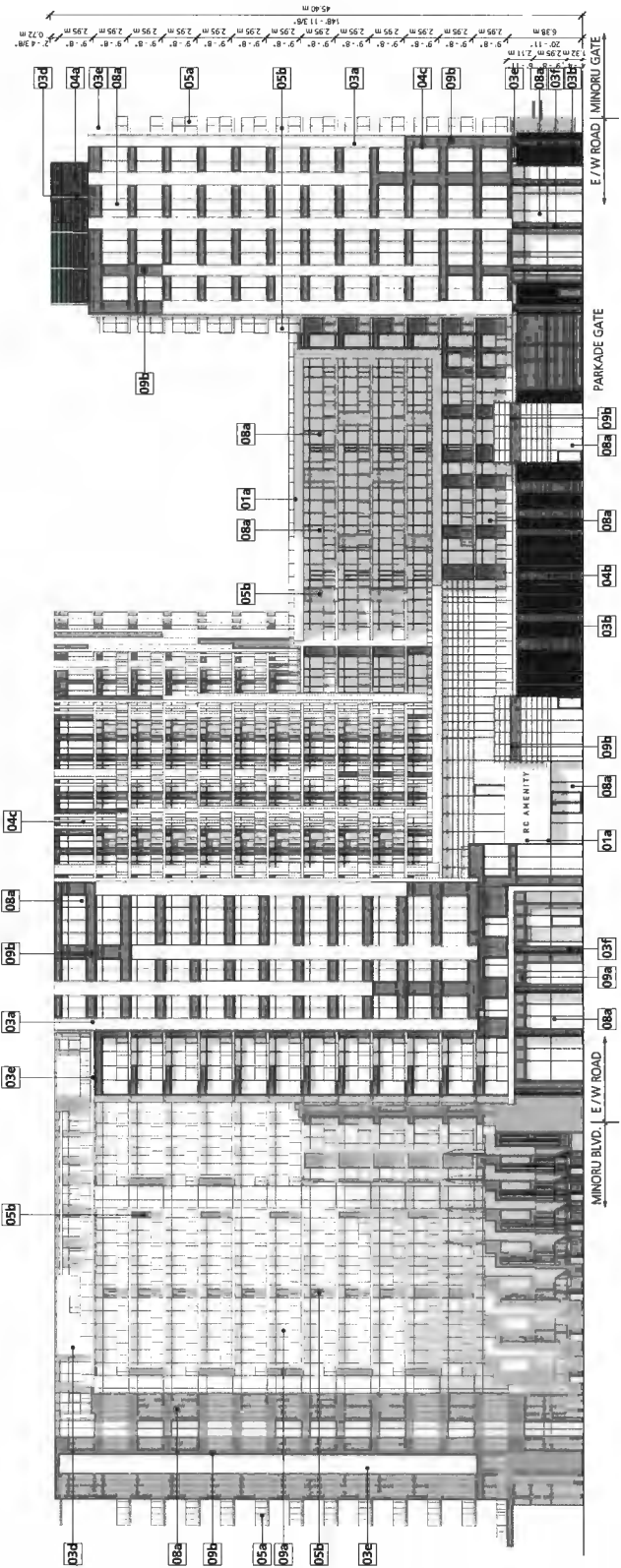
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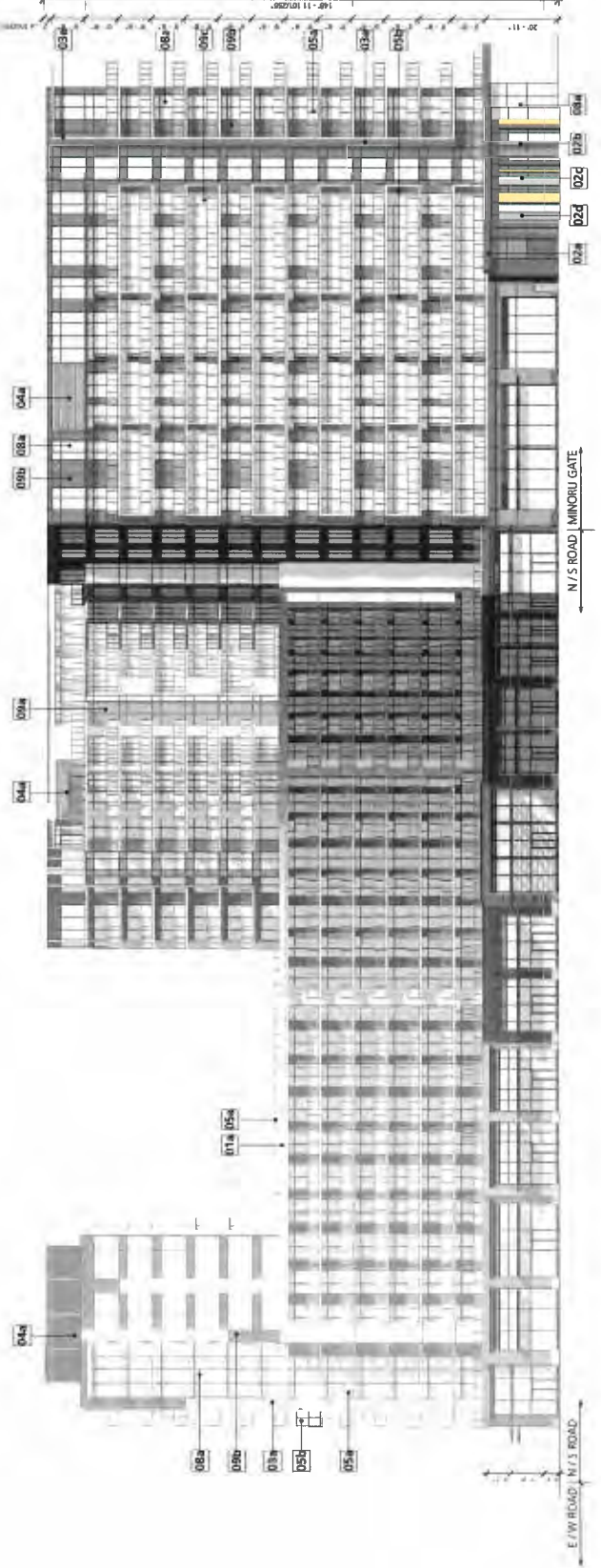
DP 17-768248  
MAY 29, 2019  
PLAN # 7C-2

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali
		Ossidiana
		Vena Grigia
		Oxide Nero
02e	Porcelain Panel	White
03a	Precast Concrete Panel	White
03b	Precast Concrete Panel	Charcoal
03c	Precast Concrete Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter



REFER TO A-B.7.06 FOR LARGE SCALE ELEVATION      REFER TO A-B.7.07 FOR LARGE SCALE ELEVATION

1 | SOUTH  
1/16" = 1'-0"



REFER TO A-B.7.06 FOR LARGE SCALE ELEVATION      REFER TO A-B.7.08 FOR LARGE SCALE ELEVATION

2 | NORTH  
1/16" = 1'-0"



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	Progress for City Review	
		DP Panel Submission	

RICHMOND CENTRE  
PHASE 1

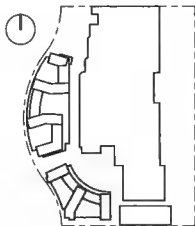
PHASE 1

1B - ELEVATIONS

DATE	202013 15:38 PM
CHECKED BY	E
SCALE	As Issued
JOB NUMBER	1686-87

A-B.7.02





DP 17-768248  
MAY 29, 2019  
PLAN # 7C-3



REVISIONS	
No.	Date Description
1	2017-03-31 Development Permit Application
2	2017-08-08 50% Design Set
3	2018-03-23 50% Design Set
4	2018-04-06 50% Design Set
5	2018-08-02 DP Application Rev. 1
6	2019-03-20 DP Application Rev. 2
7	2019-04-26 DP Application Rev. 3
8	2019-05-03 Program for City Review DP Permit Submission

RICHMOND CENTRE  
PHASE 1

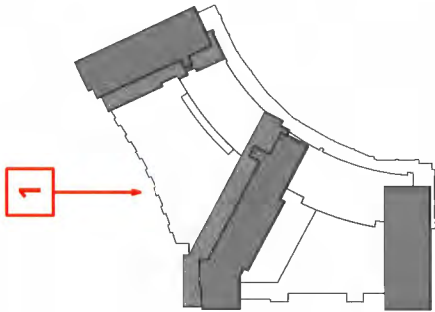
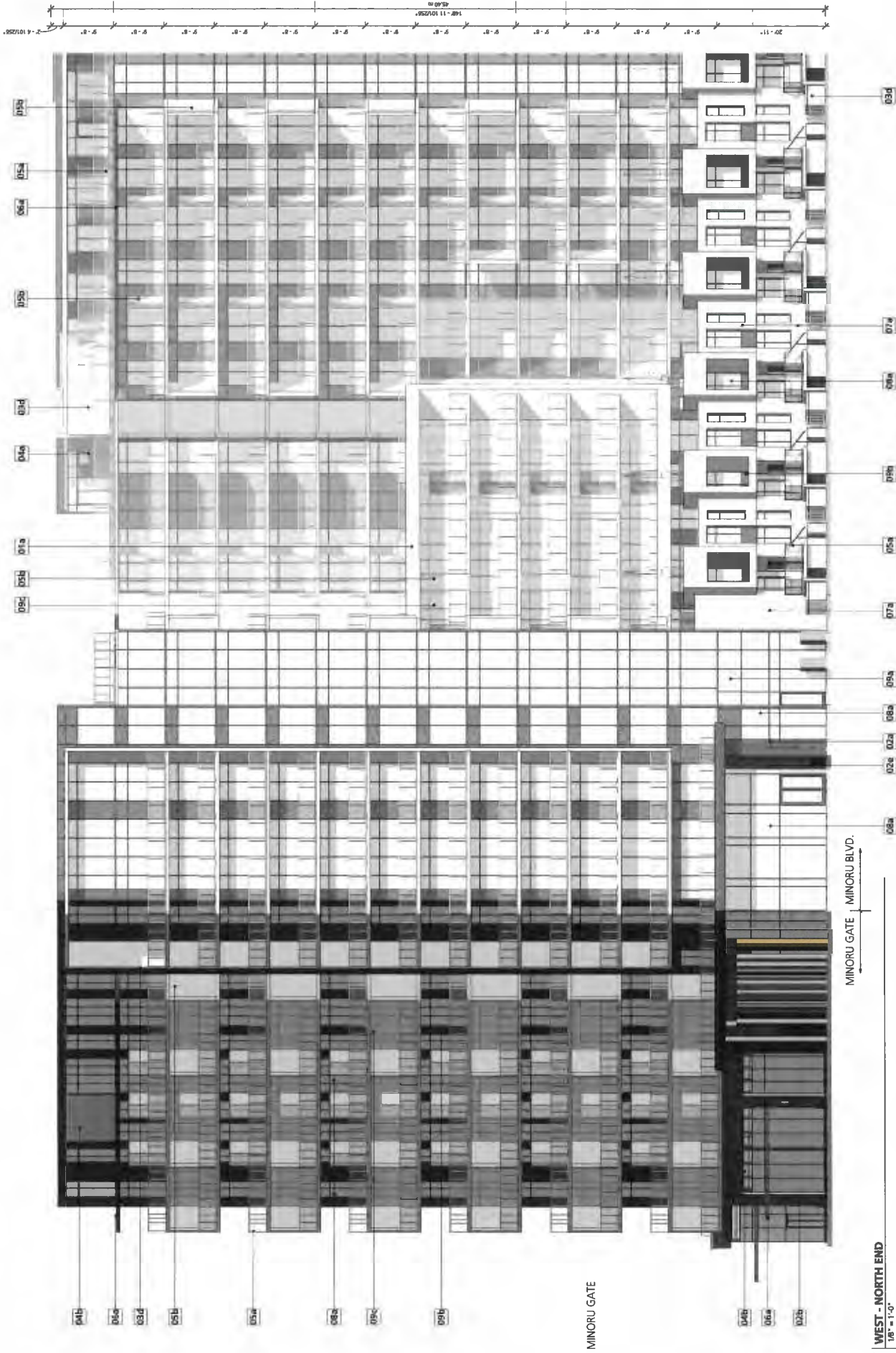
PHASE 1

1B - ELEVATIONS

DATE	5/29/2019 10:53 AM
DRAWN BY	Archie
CHECKED BY	Archie
SCALE	As Indicated
JOB NUMBER	1686-87

PLAN LEGEND  
1/8" = 1'-0"

A-B.7.03

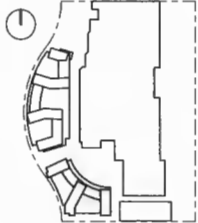


MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

MATERIAL LEGEND	
#	DESCRIPTION
01a	Metal Panel
01b	Metal Panel
01c	Metal Panel
01d	Metal Panel
01e	Metal Panel
02a	Porcelain Panel
02b	Porcelain Panel
02c	Porcelain Panel
02d	Porcelain Panel
02e	Porcelain Panel
03a	Precast Concrete Panel
03b	Precast Concrete Panel
03c	Precast Concrete Panel
03d	Painted Concrete
03e	Painted Concrete
03f	Painted Concrete
04a	Custom Metal Screening
04b	Metal Louver
04c	Extruded Aluminum Fins
04d	Perforated Metal Awning

MATERIAL LEGEND	
#	COLOR
01a	White
01b	Charcoal
01c	Pewter
01d	Black
01e	Med Grey
02a	Tredl-Carbonia
02b	Grigio
02c	Oxide Perla
02d	Naturali Ossidiana
02e	Vena Grigia
03a	Oxide Nero
03b	White
03c	Charcoal
03d	Grey
03e	Grey
03f	White
04a	Charcoal
04b	Metal
04c	Grey
04d	White
04d	Grey





DP 17-768248  
MAY 29, 2019  
PLAN # 7c-4



REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-05	Progress for Pricing
5	2018-08-02	DP Application Rev. 1
6	2019-03-20	DP Application Rev. 2
7	2019-04-26	DP Application Rev. 3
8	2019-05-03	Progress for City Review
		DP Panel Submission

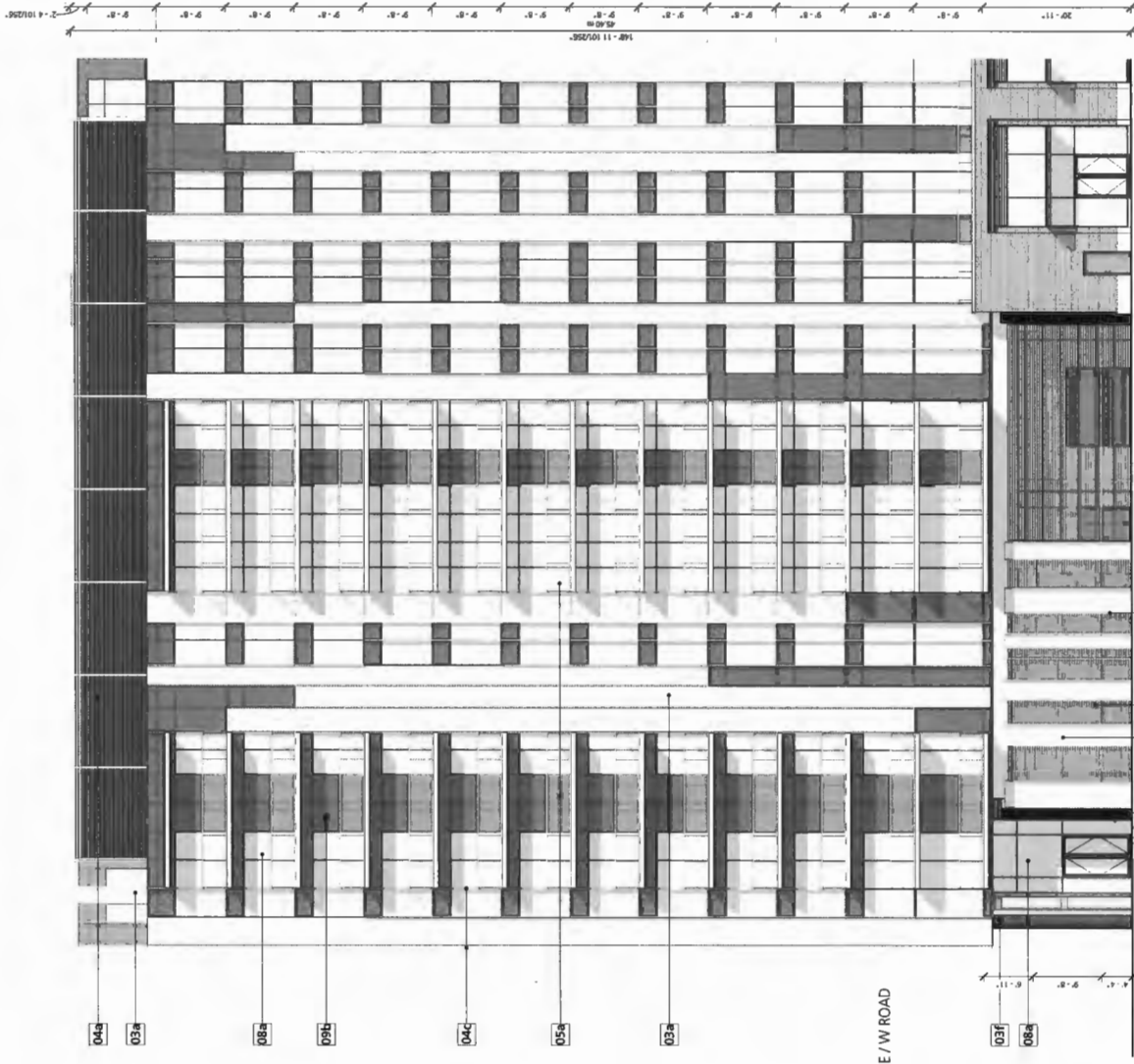
RICHMOND CENTRE  
PHASE 1

PHASE 1

1B - ELEVATIONS

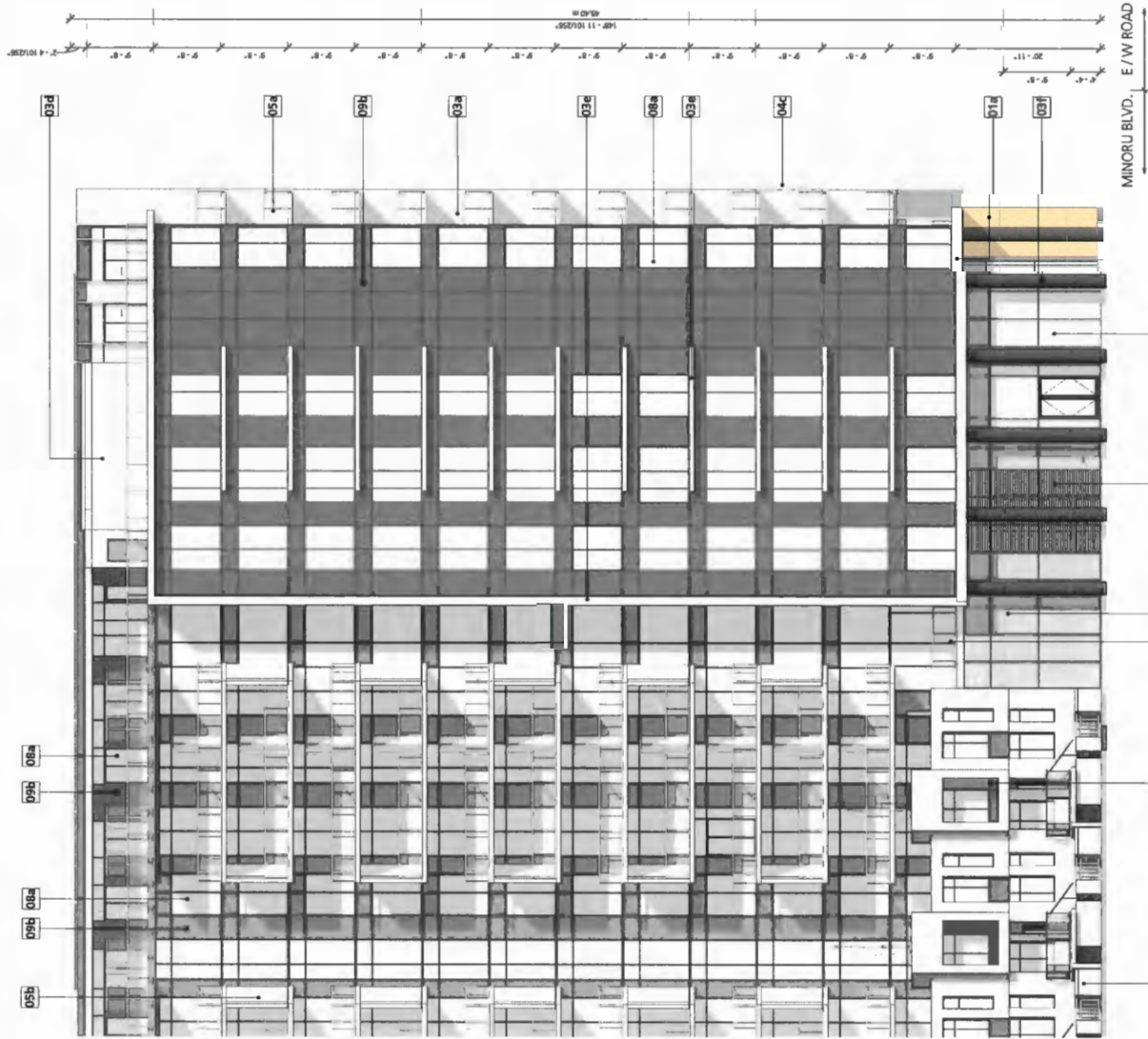
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DESIGNED BY	G. B. L.
CHECKED BY	Architect
SCALE	As Indicated
JOB NUMBER	1686-87

A-B.7.04



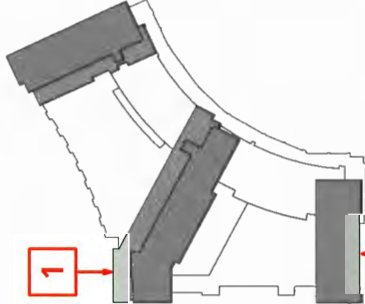
2 EAST - SOUTH END

1/8" = 1'-0"



WEST - SOUTH END

1/8" = 1'-0"

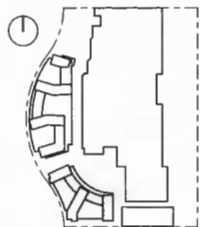


PLAN LEGEND  
1/8" = 1'-0"

#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
02e	Porcelain Panel	Vena Grigia
03a	Precast Concrete Panel	Oxide Nero
03b	Precast Concrete Panel	White
03c	Precast Concrete Panel	Charcoal
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey





DP 17-768248  
MAY 29, 2019  
PLAN # 7c-5

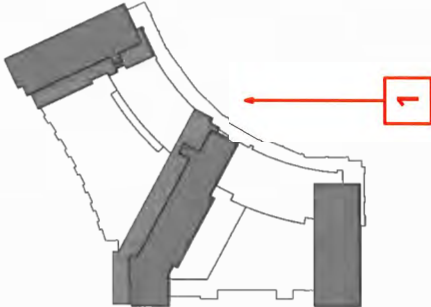
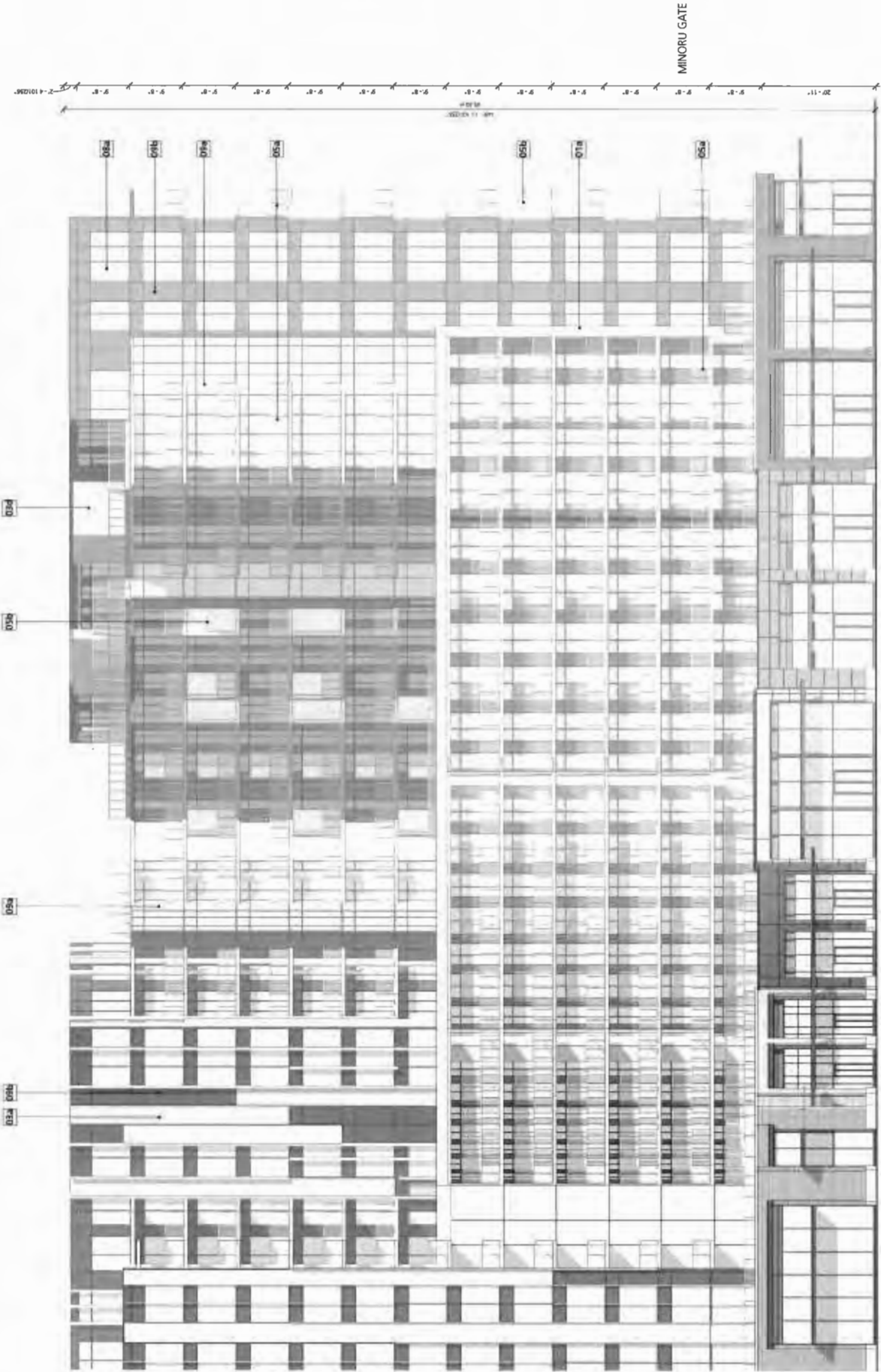


REVISIONS	
No.	Description
1	2017-03-31 Development Permit
2	2017-08-08 30% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-06 DP Application Rev. 2
5	2018-08-02 DP Application Rev. 3
6	2019-03-20 DP Application Rev. 4
7	2019-04-26 DP Application Rev. 5
8	2019-05-03 DP Application Rev. 6

RICHMOND CENTRE  
PHASE 1  
PHASE 1

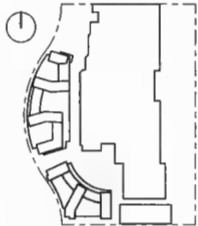
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DESIGNED BY	Chen
CHECKED BY	As indicated
SCALE	
FIG. NUMBER	1686-87

A-B.7.05



MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

MATERIAL LEGEND	
#	DESCRIPTION
01a	Metal Panel
01b	Metal Panel
01c	Metal Panel
01d	Metal Panel
01e	Metal Panel
02a	Porcelain Panel
02b	Porcelain Panel
02c	Porcelain Panel
02d	Porcelain Panel
02e	Porcelain Panel
03a	Precast Concrete Panel
03b	Precast Concrete Panel
03c	Precast Concrete Panel
03d	Painted Concrete
03e	Painted Concrete
03f	Painted Concrete
04a	Custom Metal Screening
04b	Metal Louver
04c	Extruded Aluminum Fins
04d	Perforated Metal Awning



DP 17-768248  
MAY 29, 2019  
PLAN # 7c-6

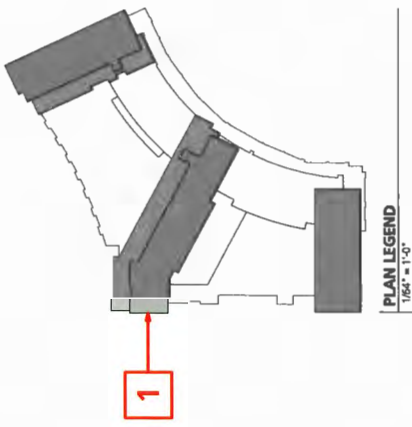
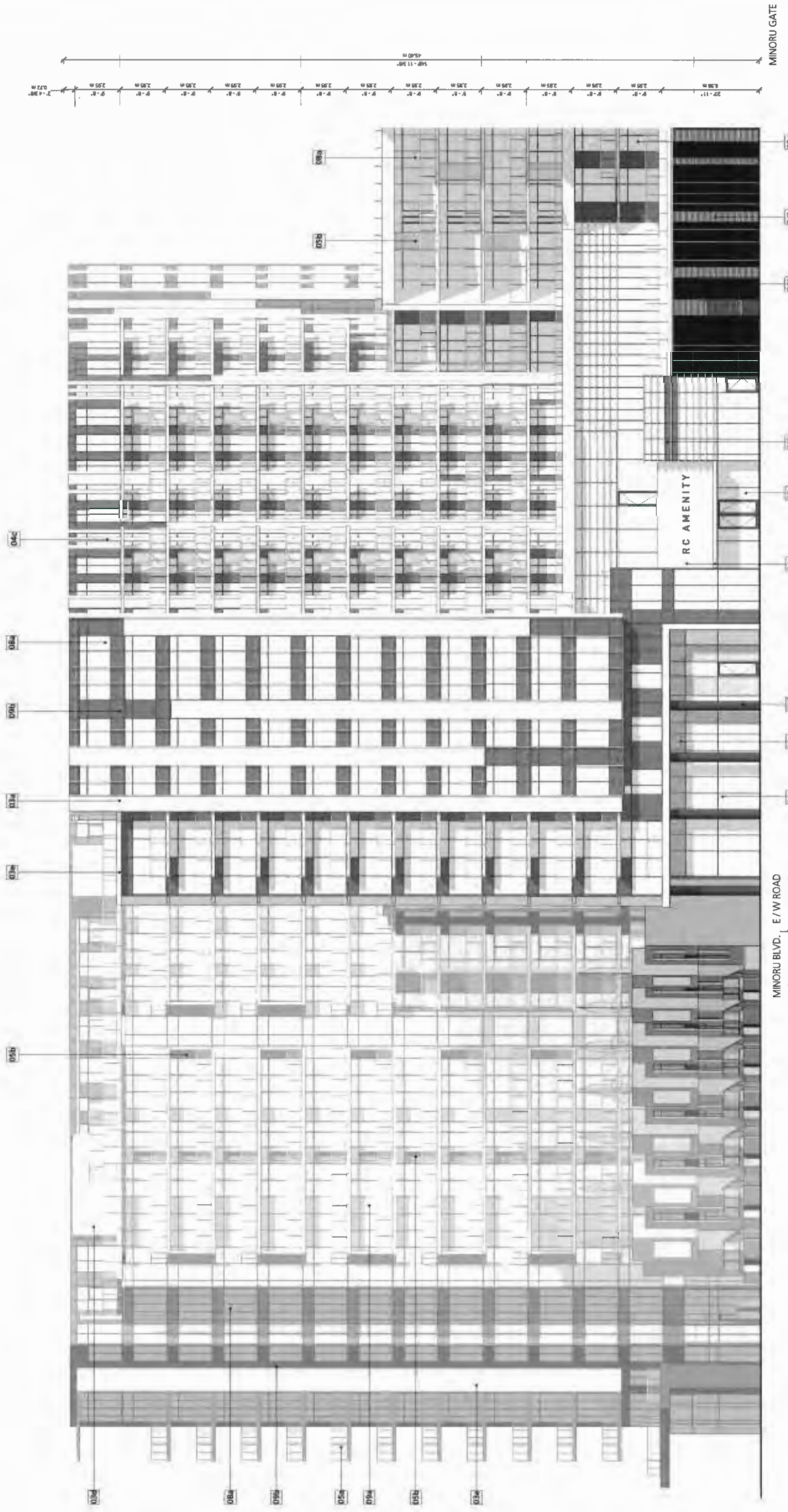


REV	NO.	DATE	DESCRIPTION
1	2017-03-31	2017-03-31	Development Permit
2	2017-08-08	2017-08-08	30% Design Set
3	2018-03-29	2018-03-29	DP Application Rev. 1
4	2018-04-06	2018-04-06	DP Application Rev. 2
5	2018-04-06	2018-04-06	DP Application Rev. 3
6	2018-04-06	2018-04-06	DP Application Rev. 4
7	2019-04-26	2019-04-26	DP Application Rev. 5
8	2019-05-08	2019-05-08	DP Application Rev. 6

RICHMOND CENTRE  
PHASE 1  
PHASE 1

1B - ELEVATIONS  
DATE: 5/29/2019 11:20 AM  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: As indicated  
JOB NUMBER: 1686-87

A-B.7.06

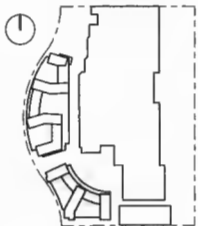


PLAN LEGEND  
1/8" = 1'-0"

#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
02e	Porcelain Panel	Vena Grigia
03a	Precast Concrete Panel	Oxide Nero
03b	Precast Concrete Panel	White
03c	Precast Concrete Panel	Charcoal
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey





DP 17-768248  
MAY 29, 2019  
PLAN # 7C-7



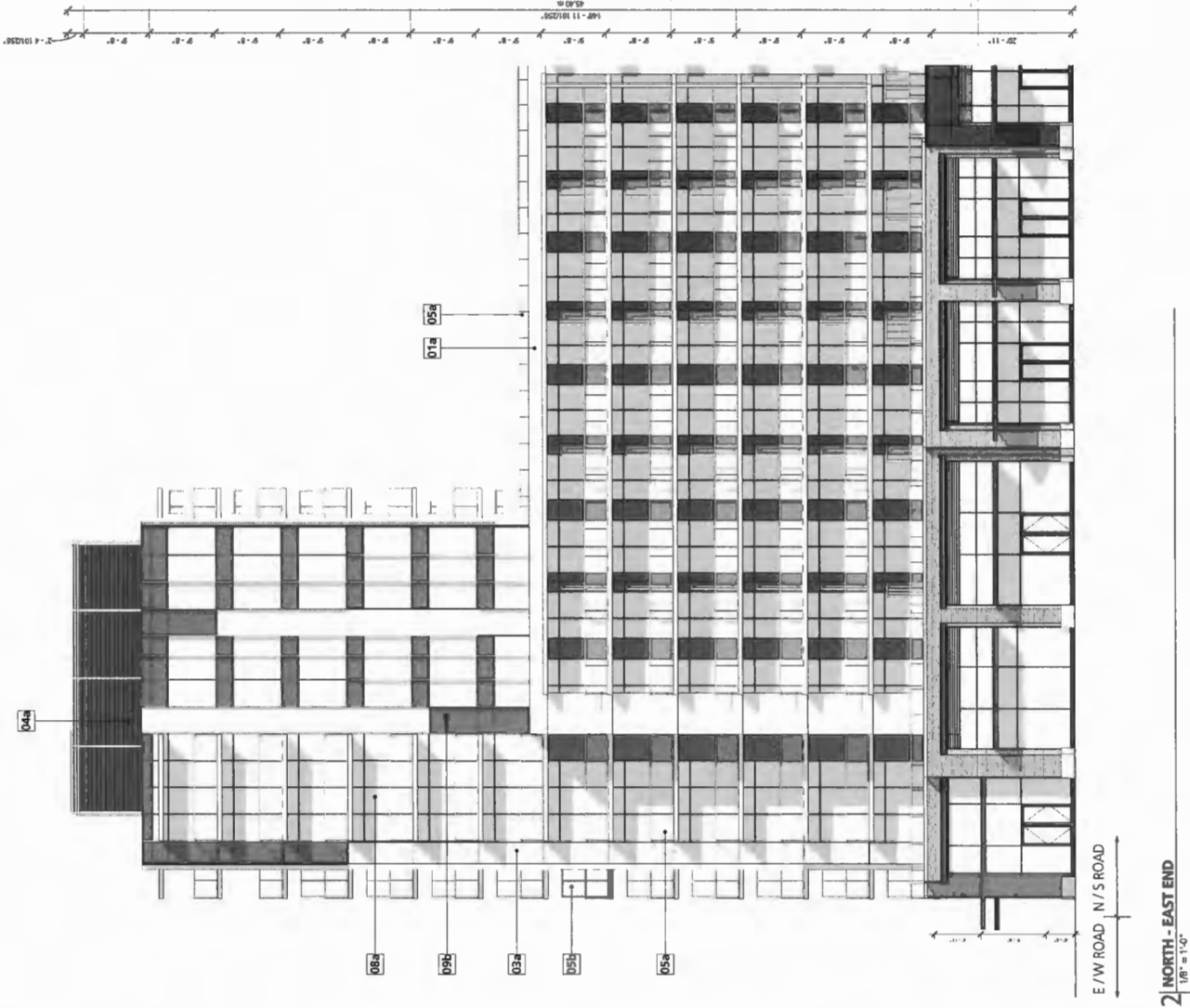
REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	Progress for City Review	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	Progress for City Review	
8	2019-05-08	DP Panel Submission	

RICHMOND CENTRE  
PHASE 1  
PHASE 1

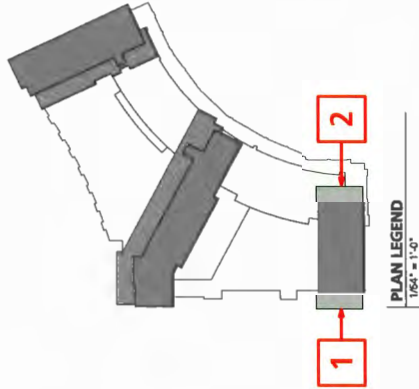
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CHECKED BY: Al Haddad  
SCALE: As Indicated  
JOB NUMBER: 1686-87

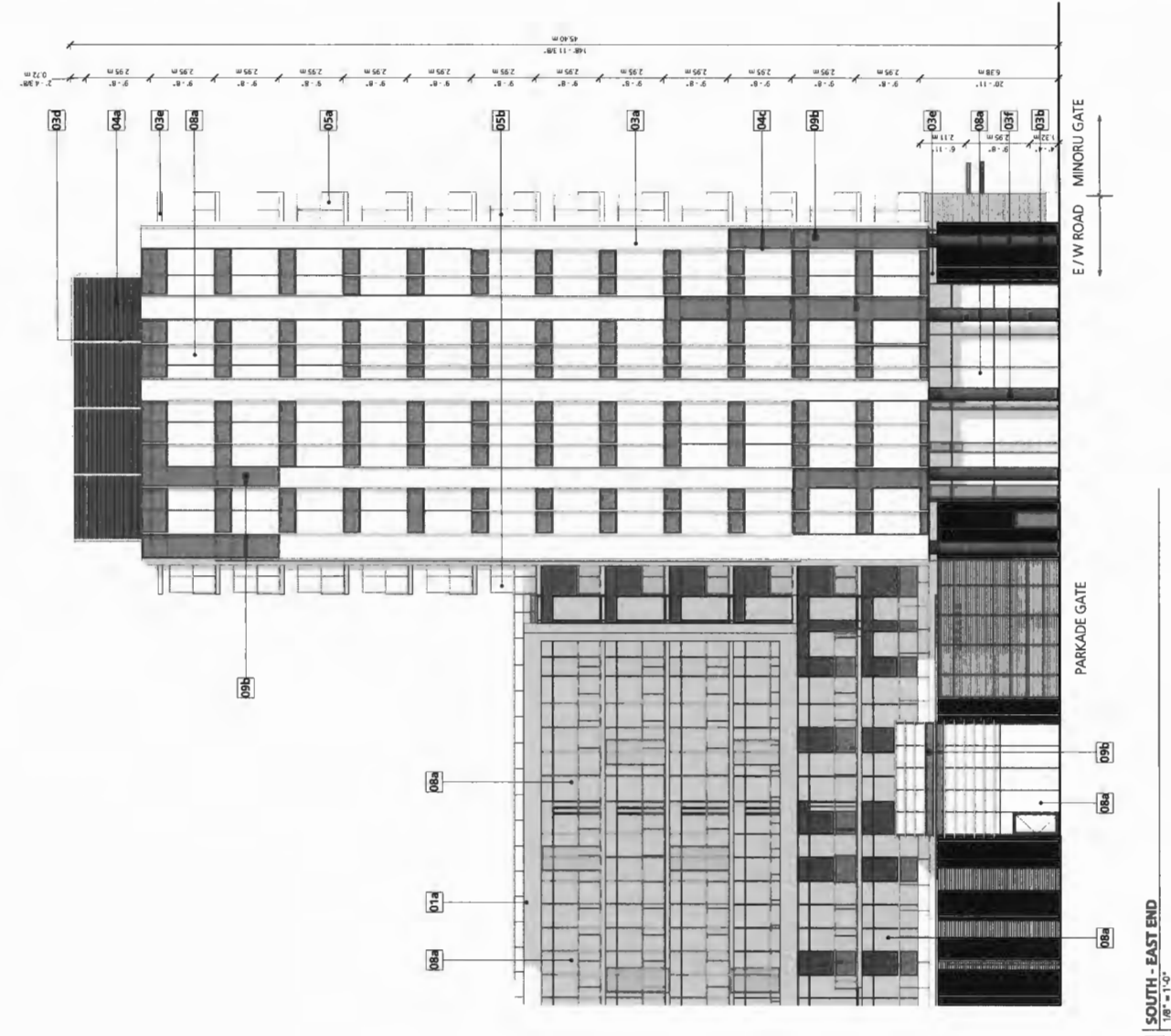
A-B.7.07



2 NORTH - EAST END  
1/8" = 1'-0"



PLAN LEGEND  
1/8" = 1'-0"

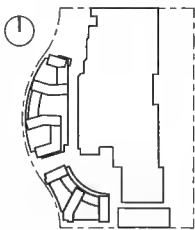


1 SOUTH - EAST END  
1/8" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

MATERIAL LEGEND		COLOR
#	DESCRIPTION	
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
02e	Porcelain Panel	Vena Grigia
02f	Porcelain Panel	Oxide Nero
03a	Precast Concrete Panel	White
03b	Precast Concrete Panel	Charcoal
03c	Precast Concrete Panel	Grey
03d	Precast Concrete Panel	Grey
03e	Precast Concrete Panel	White
03f	Precast Concrete Panel	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey





DP 17-768248  
MAY 29, 2019  
PLAN # 7C-8



REVISIONS	
No.	Date
1	2017-03-31
2	2017-08-08
3	2018-03-29
4	2018-04-06
5	2018-08-02
6	2019-03-20
7	2019-04-26
8	2019-05-03

Description	
1	Development Permit Application
2	30% Design Set
3	Preparation of 100% Design Set
4	Preparation of 100% Design Set
5	DP Application Rev. 1
6	DP Application Rev. 2
7	DP Application Rev. 3
8	Prepared for City Review

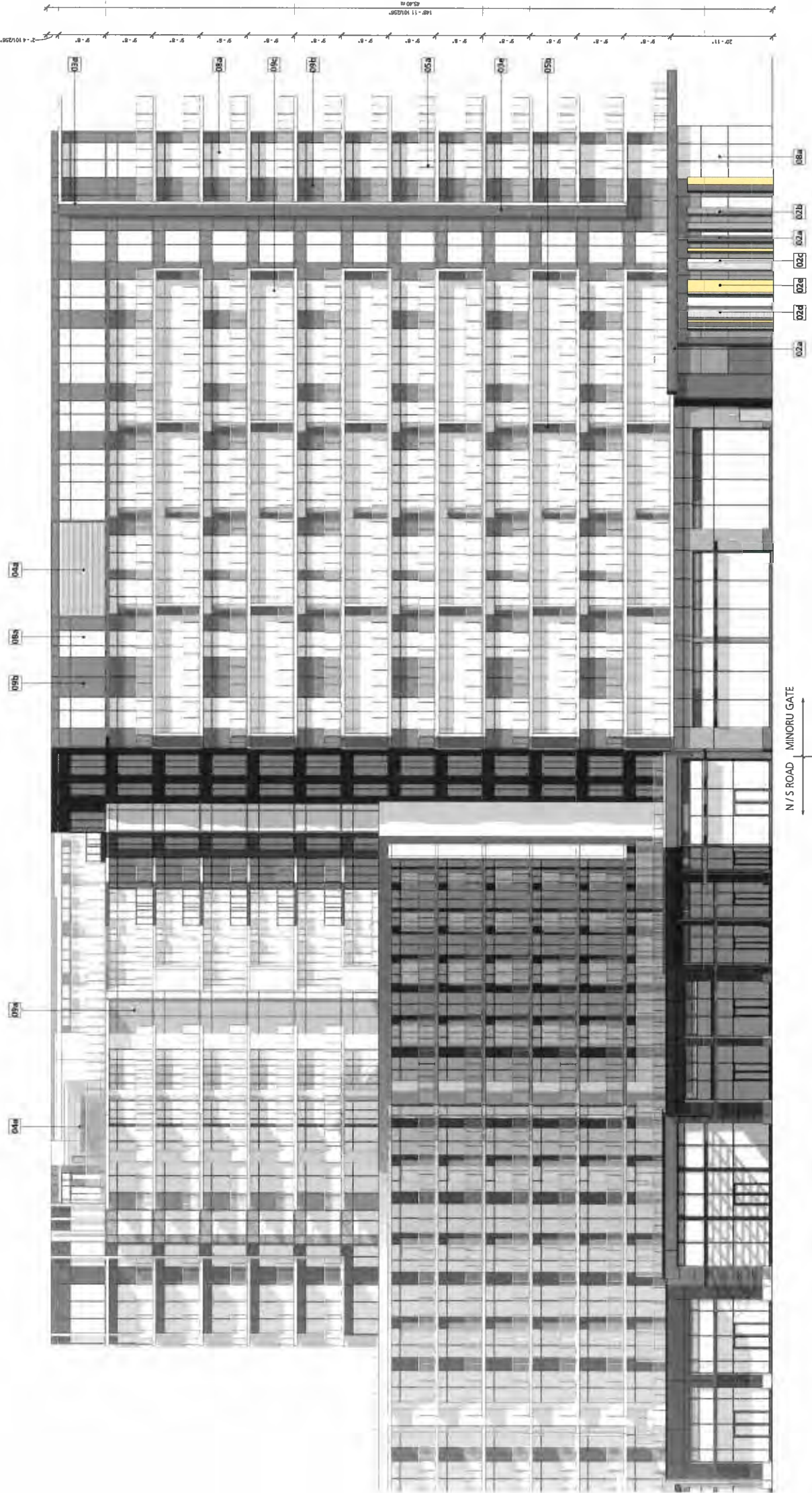
RICHMOND CENTRE  
PHASE 1

PHASE 1

1B - ELEVATIONS

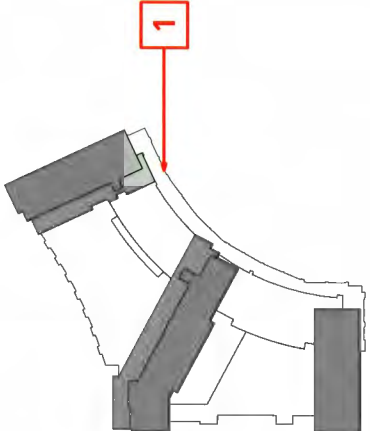
DATE: 2019-05-03 PM  
DRAWN BY: A. B. Architects  
CHECKED BY: A. B. Architects  
SCALE: As Indicated  
JOB NUMBER: 1686-87

A-B.7.08



NORTH - WEST END  
1/8" = 1'-0"

N / S ROAD MINORU GATE

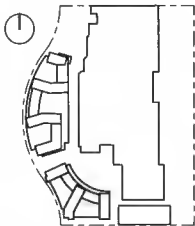


PLAN LEGEND  
1/8" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

MATERIAL LEGEND	
#	DESCRIPTION
01a	Metal Panel
01b	Metal Panel
01c	Metal Panel
01d	Metal Panel
01e	Metal Panel
02a	Porcelain Panel
02b	Porcelain Panel
02c	Porcelain Panel
02d	Porcelain Panel
02e	Porcelain Panel
03a	Precast Concrete Panel
03b	Precast Concrete Panel
03c	Precast Concrete Panel
03d	Painted Concrete
03e	Painted Concrete
03f	Painted Concrete
04a	Custom Metal Screening
04b	Metal Louver
04c	Extruded Aluminum Fins
04d	Perforated Metal Awning





DP 17-768248  
MAY 29, 2019  
PLAN # 7C-9

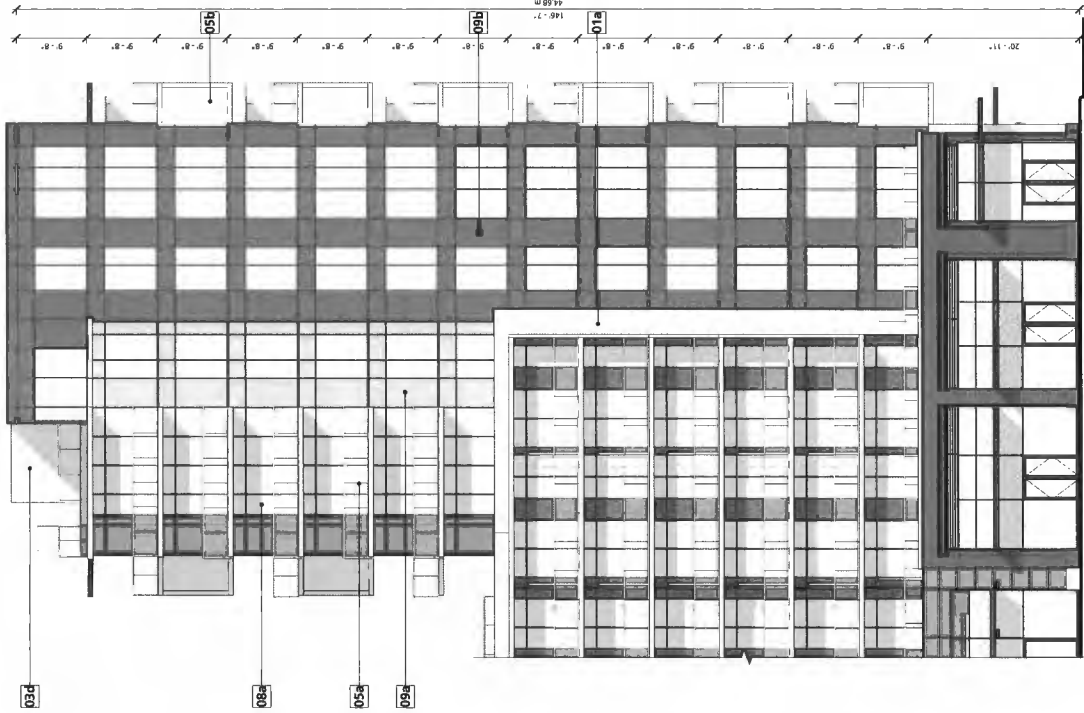


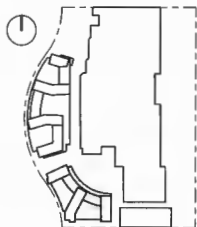
REVISIONS	
No.	Date Description
1	2017-03-31 Development Permit Application
2	2017-08-08 30% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-05 DP Application Rev. 1
5	2018-08-02 DP Application Rev. 2
6	2019-03-20 DP Application Rev. 3
7	2019-04-26 DP Application Rev. 3
8	2019-05-03 Progress for City Review DP Permit Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1B - ELEVATIONS

DATE: 19/05/2019 2:42:25 PM  
DRAWN BY: A. L. L. L.  
CHECKED BY: A. L. L. L.  
SCALE: As Indicated  
JOB NUMBER: 1686-87

A-B.7.09





DP 17-768248  
MAY 29, 2019  
PLAN # 7C-10

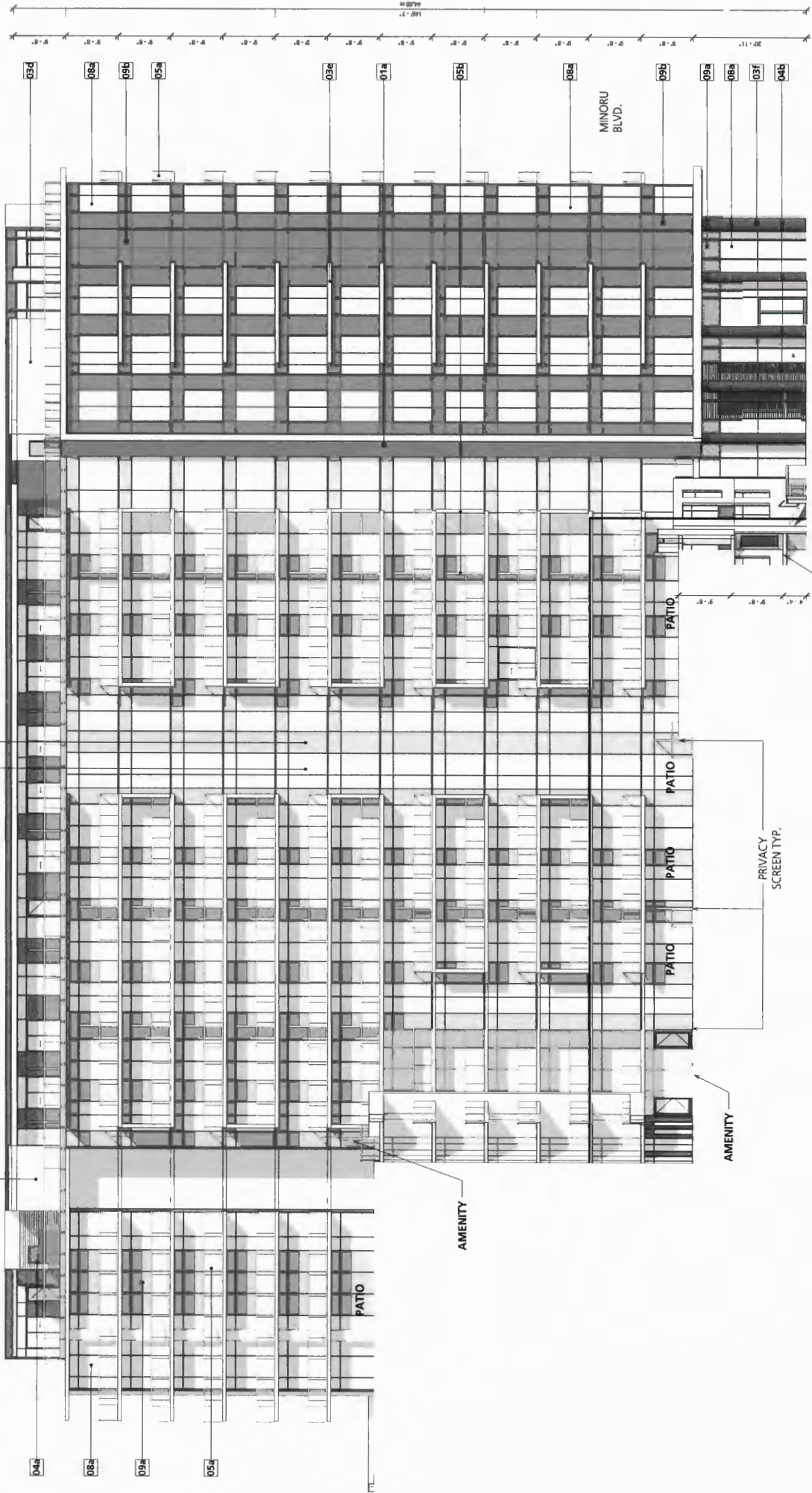


REVISIONS	
No.	Date Description
1	2017-03-31 Development Permit Application
2	2017-08-08 30% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-06 DP Application Rev. 1
5	2018-08-02 DP Application Rev. 2
6	2019-05-20 DP Application Rev. 3
7	2019-04-26 DP Application Rev. 3
8	2019-05-03 Progress for City Review DP Panel Submission

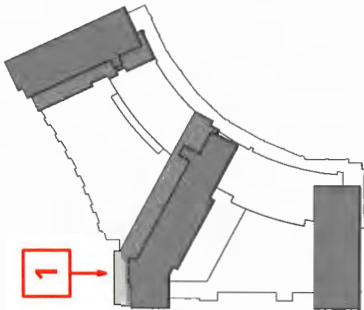
RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1B - ELEVATIONS

DATE: 2019-05-20  
DRAWN BY: A. KIDDER  
CHECKED BY: A. KIDDER  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686-87

A-B.7.10



TOWER F NORTH WEST ELEVATION  
1/8" = 1'-0"

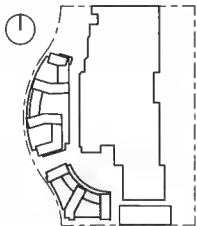


PLAN LEGEND  
1/8" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazngl. Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

MATERIAL LEGEND	
#	DESCRIPTION COLOR
01a	Metal Panel White
01b	Metal Panel Charcoal
01c	Metal Panel Pewter
01d	Metal Panel Black
01e	Metal Panel Med Grey
02a	Porcelain Panel Tredi-Carbonia
02b	Porcelain Panel Grigio
02c	Porcelain Panel Oxide Perla
02d	Porcelain Panel Naturali Ossidiana
02e	Porcelain Panel Vena Grigia
03a	Precast Concrete Panel Oxide Nero
03b	Precast Concrete Panel White
03c	Precast Concrete Panel Charcoal
03d	Painted Concrete Grey
03e	Painted Concrete White
03f	Painted Concrete Charcoal
04a	Custom Metal Screening Metal
04b	Metal Louver Grey
04c	Extruded Aluminum Fins White
04d	Perforated Metal Awning Grey





DP 17-768248  
MAY 29, 2019  
PLAN # 7C-11



REVISIONS	
No.	Date
1	2017-03-31
2	2017-08-08
3	2018-03-25
4	2018-04-06
5	2018-08-02
6	2019-03-20
7	2019-04-26
8	2019-05-03

Description	
1	Development Permit Application
2	30% Design Set
3	30% Design Set
4	30% Design Set
5	30% Design Set
6	30% Design Set
7	30% Design Set
8	30% Design Set

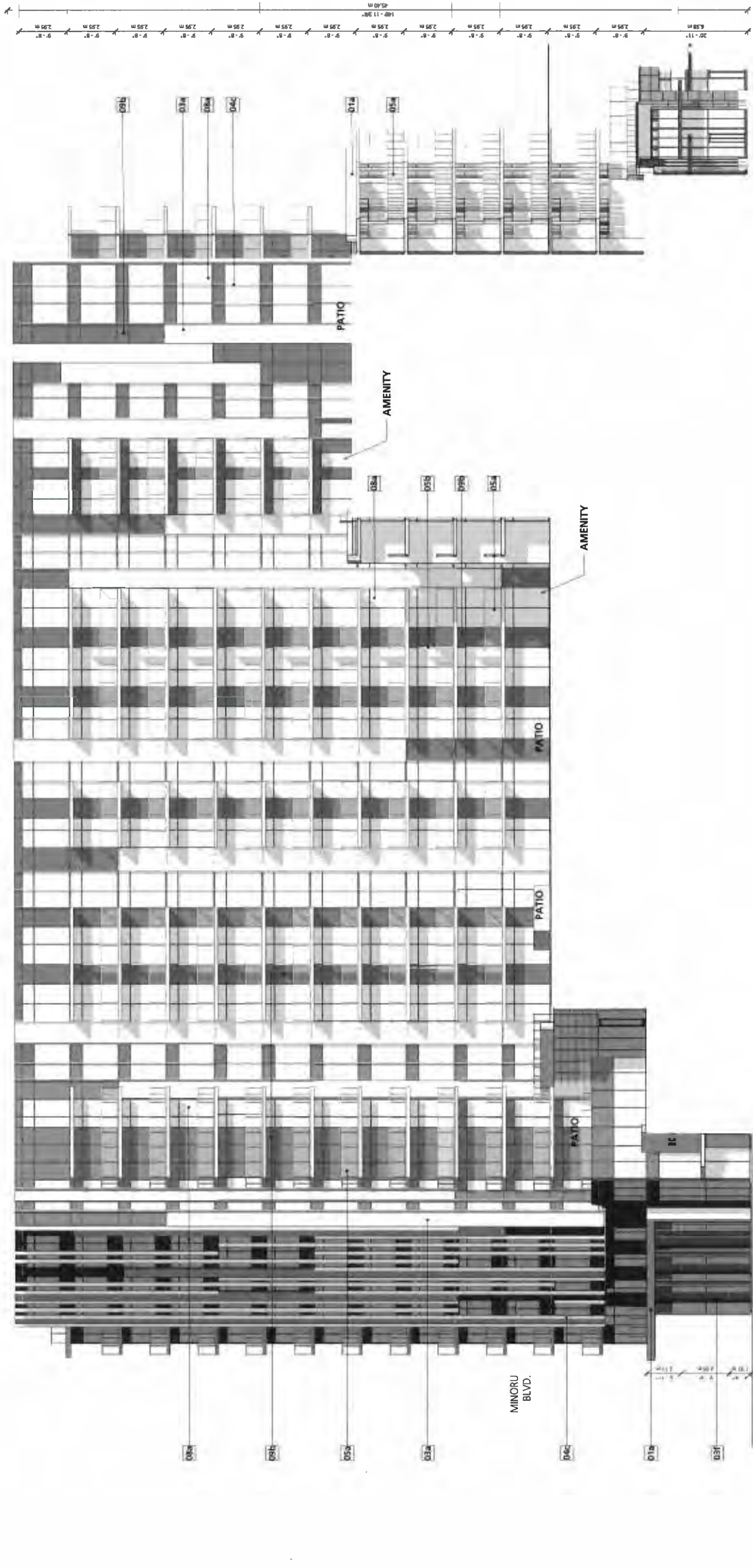
RICHMOND CENTRE  
PHASE 1

PHASE 1

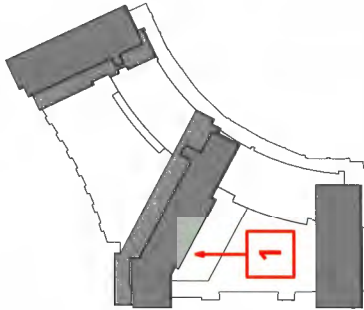
1B - ELEVATIONS

DATE	15/05/2019 2:15:52 PM
DRAWN BY	Archer
CHECKED BY	Chen
SCALE	As Indicated
JOB NUMBER	1686-87

A-B.7.11



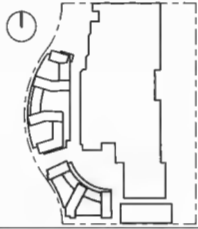
TOWER F SOUTH EAST ELEVATION  
1/8" = 1'-0"



PLAN LEGEND  
1/64" = 1'-0"

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

MATERIAL LEGEND		COLOR
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tredl-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
02e	Porcelain Panel	Vena Grigia
03a	Precast Concrete Panel	Oxide Nero
03b	Precast Concrete Panel	White
03c	Precast Concrete Panel	Charcoal
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey



**DP 17-768248**  
MAY 29, 2019  
**PLAN # 7C-12**



REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	Progress for Pricing
4	2018-04-26	DP Application Rev. 1
5	2018-06-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	Progress for City Review
8	2019-05-03	DP Application Rev. 4
		Progress for City Review
		DP Panel Submission

**RICHMOND CENTRE  
PHASE 1**

PHASE 1

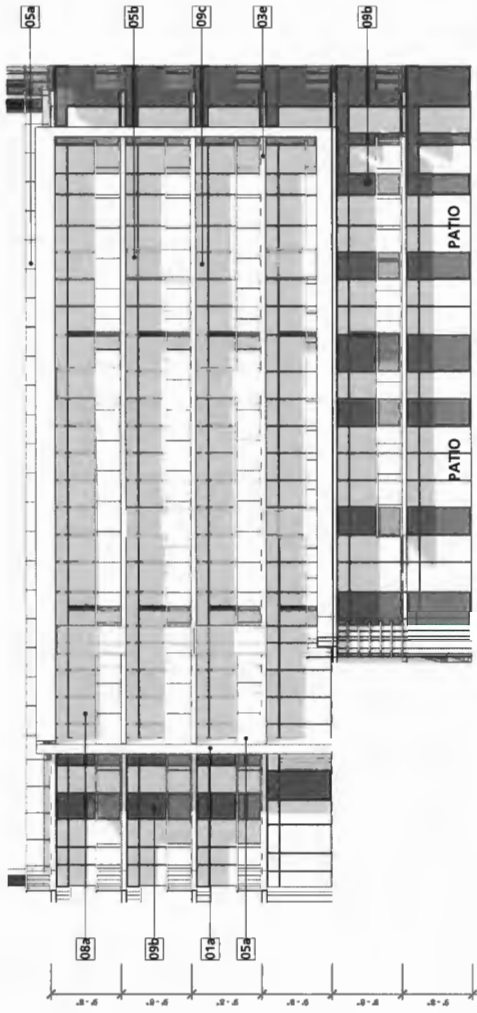
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1B - ELEVATIONS

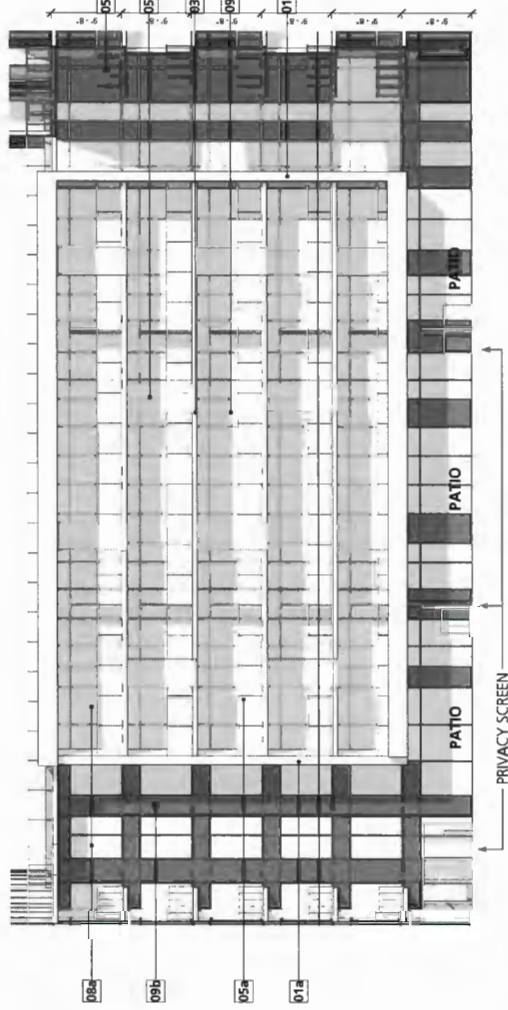
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DRAWN BY Author  
CHECKED BY Checker  
SCALE As indicated  
JOB NUMBER 1686-87

**JOB NUMBER** 1686-87

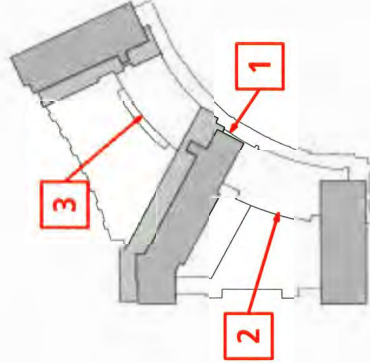
A-B.7.12



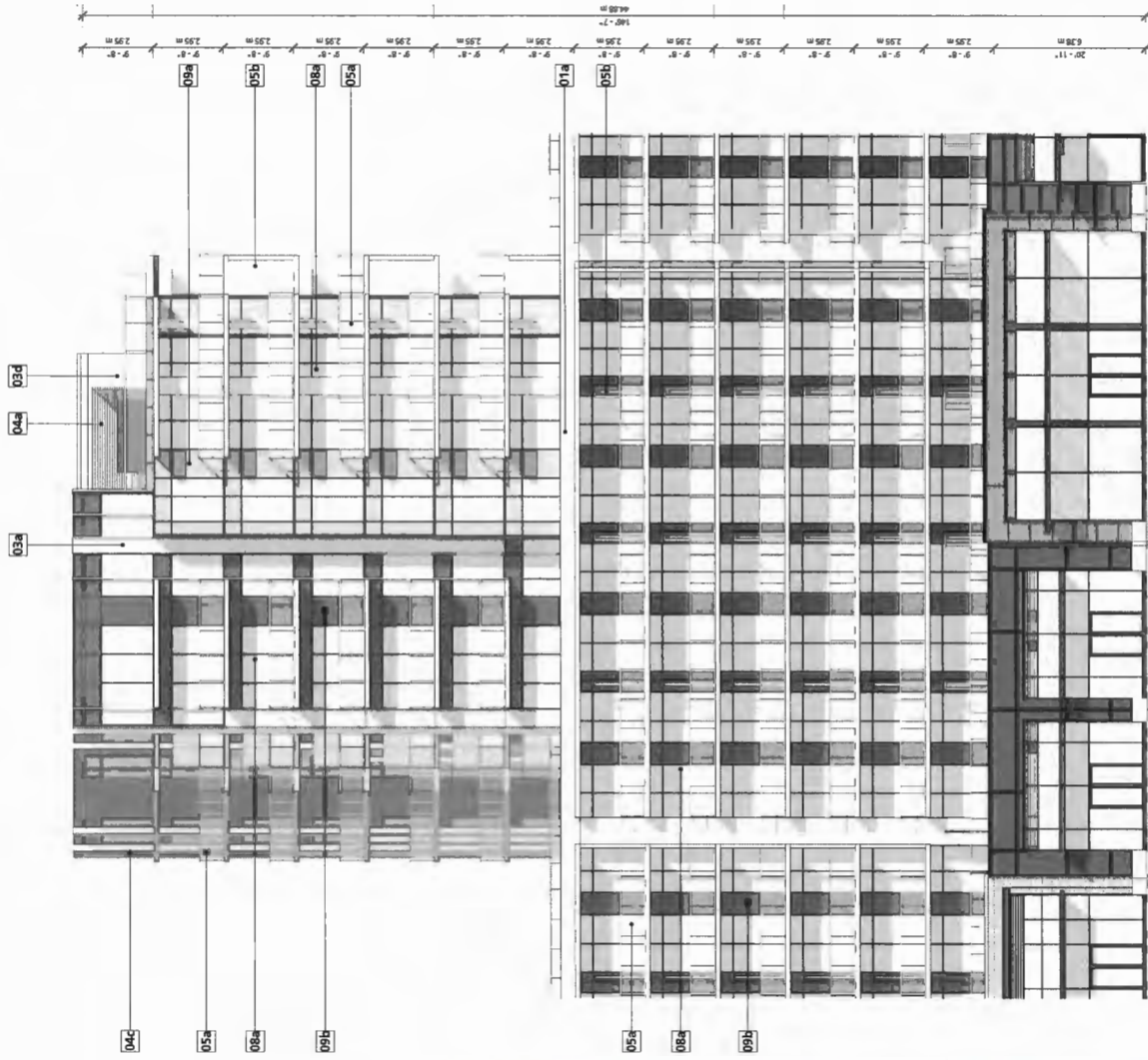
**2 PARTIAL**  
SOUTH EAST COURTYARD ELEVATION  
1/8" = 1'-0"



3 PARTIAL SOUTH WEST COURTYARD ELEVATION  
1/8" = 1'-0"



**PLAN LEGEND**  
1/54" = 1'-0"

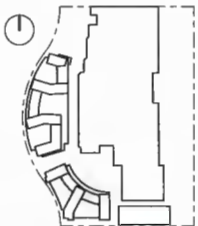


**TOWER F NORTH EAST ELEVATION**  
1/8" = 1'-0"

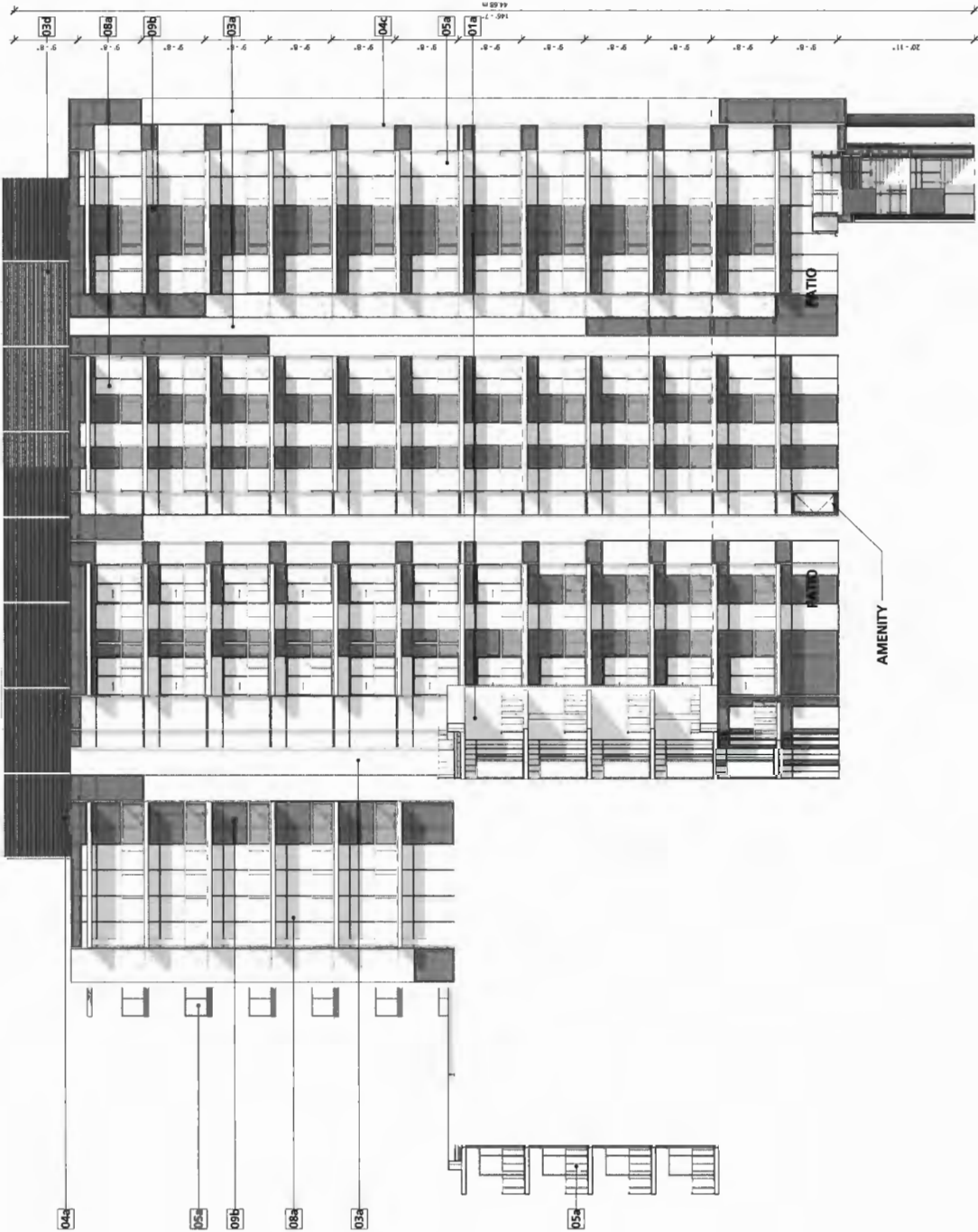
MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tred-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
02e	Porcelain Panel	Vena Grigia
03a	Precast Concrete Panel	Oxide Nero
03a	Precast Concrete Panel	White
03b	Precast Concrete Panel	Charcoal
03c	Precast Concrete Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Fins	White
04d	Perforated Metal Awning	Grey

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter





DP 17-768248  
MAY 29, 2019  
PLAN # 7C-13



TOWER G WEST ELEVATION  
1/8" = 1'-0"



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-05	DP Application Rev. 2	
5	2018-08-02	DP Application Rev. 3	
6	2019-03-20	DP Application Rev. 4	
7	2019-04-25	DP Application Rev. 5	
8	2019-05-03	Progress for City Review	
		DP Panel Submission	

RICHMOND CENTRE  
PHASE 1

PHASE 1

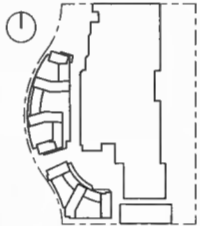
1B - ELEVATIONS

DATE	20201122204 PM
CHECKED BY	AS
SCALE	As Noted
JOB NUMBER	1686-87

A-B.7.13

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
05a	Glazed Guardrail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa HPL	Tropical IPE
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Varies
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Charcoal
08c	Clear Glazing (White Alum. Frame)	White
08d	Clear Glazing (Pewter Frame)	Pewter
09a	Spandrel Glazing (Light Grey Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Frame)	Pewter

MATERIAL LEGEND		
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Tredl-Carbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Oxide Perla
02d	Porcelain Panel	Naturali Ossidiana
02e	Porcelain Panel	Vena Grigia
03a	Precast Concrete Panel	Oxide Nero
03b	Precast Concrete Panel	White
03c	Precast Concrete Panel	Charcoal
03d	Precast Concrete Panel	Grey
03e	Painted Concrete	Grey
03f	Painted Concrete	White
04a	Custom Metal Screening	Charcoal
04b	Metal Louver	Metal
04c	Extruded Aluminum Fins	Grey
04d	Perforated Metal Awning	White
		Grey



DP 17-768248  
MAY 29, 2019  
PLAN # 7d



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 2	
5	2018-08-02	DP Application Rev. 1	
6	2019-03-20	DP Application Rev. 3	
7	2019-04-26	DP Application Rev. 3	
8	2019-05-03	DP Application Rev. 3	

RICHMOND CENTRE  
PHASE 1

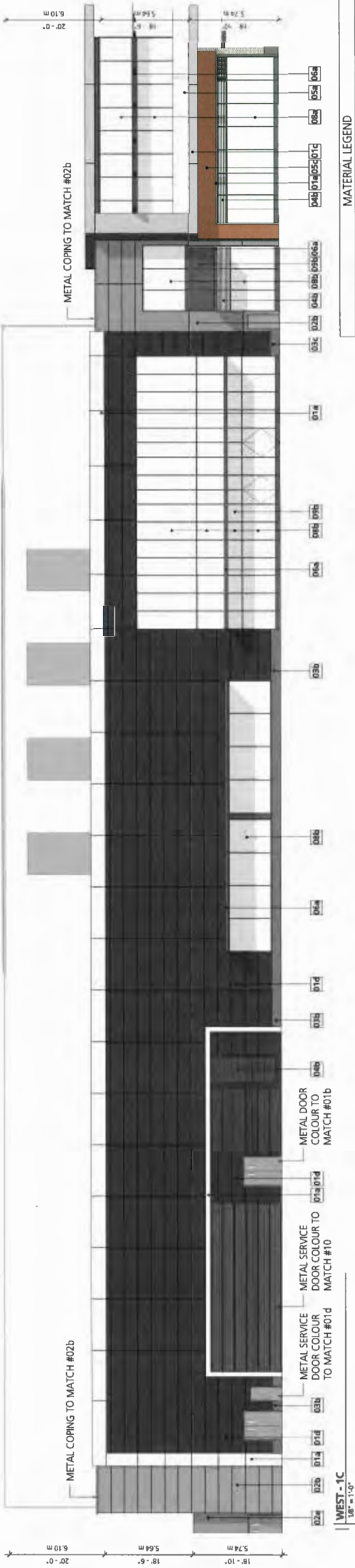
PHASE 1

1C - ELEVATIONS

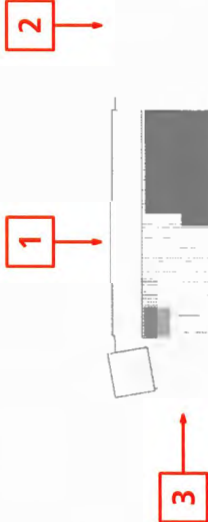
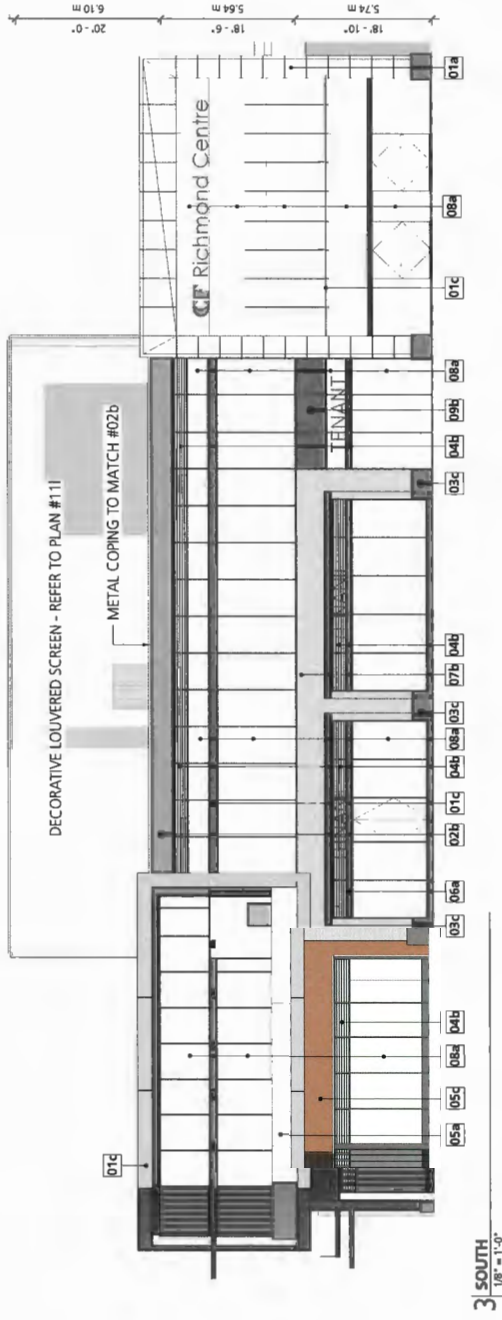
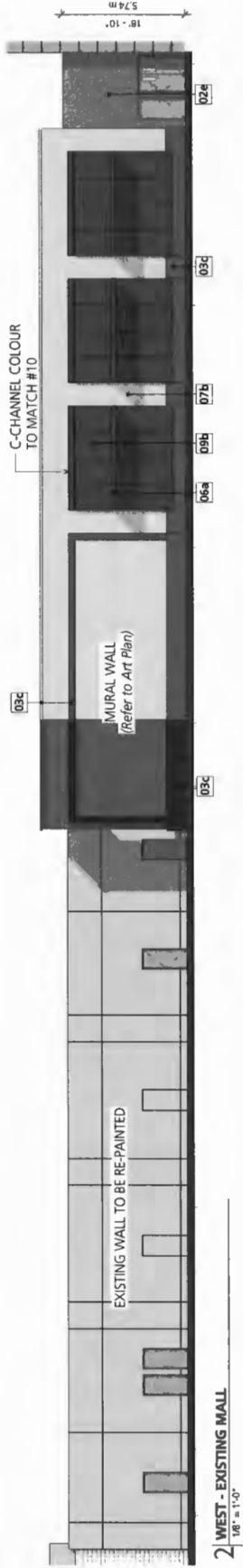
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CHECKED BY	Architect
CHECKED BY	Checked
SCALE	As Indicated
JOB NUMBER	1686

PLAN LEGEND  
1/64" = 1'-0"

A-C.7.01



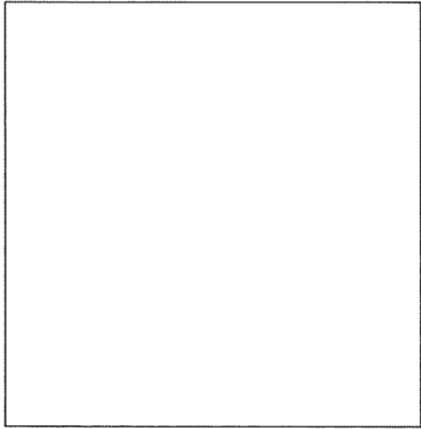
#	DESCRIPTION	COLOR
01a	Metal Panel	White
01b	Metal Panel	Charcoal
01c	Metal Panel	Pewter
01d	Metal Panel	Black
01e	Metal Panel	Med Grey
02a	Porcelain Panel	Gray-Charbonia
02b	Porcelain Panel	Grigio
02c	Porcelain Panel	Perla
02d	Porcelain Panel	Ossidiana Vena Grigia
02e	Porcelain Panel	Nero
03a	Precast Panel	White
03b	Precast Panel	Charcoal
03c	Precast Panel	Grey
03d	Painted Concrete	Grey
03e	Painted Concrete	White
03f	Painted Concrete	Charcoal
04a	Custom Metal Screening	Metal
04b	Metal Louver	Grey
04c	Extruded Aluminum Panel	White
04d	Perforated Metal Awning	Grey
05a	Glazed Guard Rail	Clear
05b	Glazed Privacy Screen	Frosted
05c	Trespa Panel	Tropical Ipe
06a	Glass/Metal Canopy	Clear
06b	Phenolic/Metal Canopy	Clear
06c	Metal Canopy	Clear
06d	Parkade Metal Canopy	Clear
06e	Fabric Awning	Varies
07a	Brick	Light Grey
07b	Brick	Med Grey
07c	Brick	Dark Grey
08a	Clear Glazing (Anodized Alum. Frame)	Clear
08b	Clear Glazing (Charcoal Alum. Frame)	Clear
08c	Clear Glazing (White Alum. Frame)	Clear
08d	Clear Glazing (Pewter Alum. Frame)	Clear
09a	Spandrel Glazing (Anodized Alum. Frame)	Light Grey
09b	Spandrel Glazing (Charcoal Alum. Frame)	Charcoal
09c	Spandrel Glazing (White Alum. Frame)	White
09d	Spandrel Glazing (Pewter Alum. Frame)	Pewter





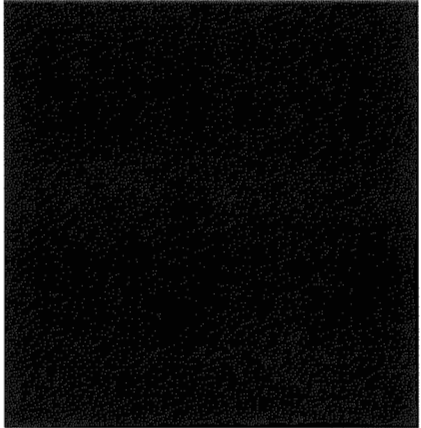
# MATERIAL & COLOUR PALETTE

## METAL COLOURS



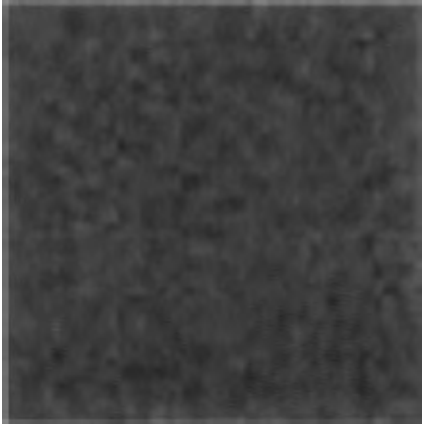
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**Metal Paint:**

Supplier: PPG  
Product: Duranar Paint  
Color: Bright White  
Finish: Matte  
Location: Building 1-C Metal Frames,  
Mall Entry,  
Parkade entries and  
Parkade Elevator Entry



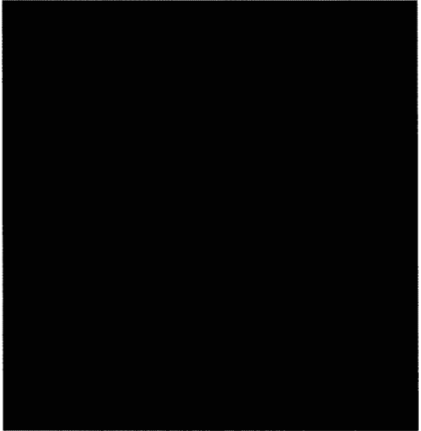
**Material 01b:**  
**Metal Paint:**

Supplier: PPG  
Product: Duranar Paint  
Color: Charcoal  
Finish: Matte  
Location: Service Doors,  
Mech. Louver @ D.E.U.,  
and metal channel above  
storefronts



**Material 01c:**  
**Metal Paint:**

Supplier: PPG  
Product: Duranar Paint  
Color: Pewter  
Finish: Matte  
Location: Building 1-A and 1-C



**Material 01d:**  
**Metal Paint:**

Supplier: PPG  
Product: Duranar Paint  
Color: Black  
Finish: Matte  
Location: Building 1-C Metal Panels



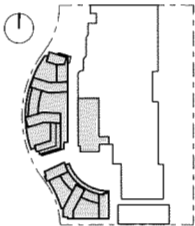
**Material 01e:**  
**Metal Paint:**

Supplier: PPG  
Product: Duranar Paint  
Color: Medium Gray  
Finish: Matte  
Location: All Canopies,  
Mech. Louvers @ Storefront,  
All Storefronts



400 - 440 WEST 1ST, INC.  
UNIONVILLE, ONTARIO L3R 9V8  
TEL: 905-736-1105  
FAX: 905-731-1379

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 8a

CALLISONRTKL  
1420 FINE AVENUE  
SUITE 100  
SCARBOROUGH, ONTARIO M1V 1Y1  
TEL: 416-593-1440  
FAX: 416-593-1441  
PROJECT NO: 1006-1717941-08



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-08	Development Permit Application
	3	2018-02-29	DP Application Rev. 1
	4	2018-04-05	DP Application Rev. 1
	5	2018-05-02	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3

REVISED:  
17/10/2010

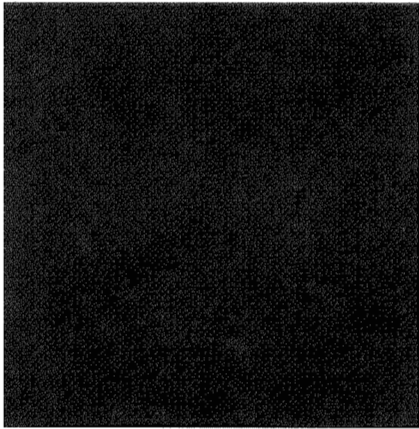
RICHMOND  
CENTRE PHASE 1

MATERIALS -  
METAL

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

# MATERIAL & COLOUR PALETTE

## PORCELAIN PANEL

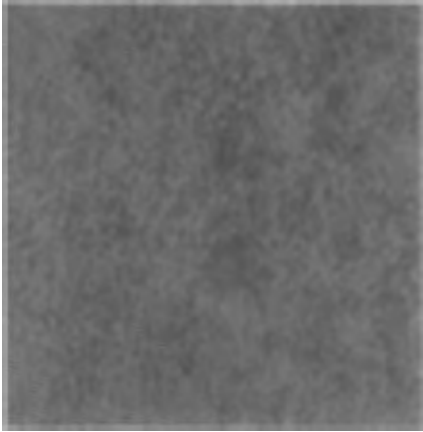


Material 02a:

Dimension: 1m x 3m  
Thickness: 3mm (+)

Tredi Carbonio:

Supplier: Laminam  
Product Series: Tredi  
Color: Carbonio  
Finish: Matte  
Location: 1-A and 1-B Storefronts

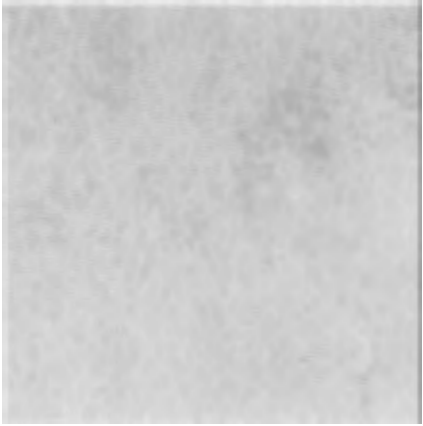


Material 02b:

Dimension: 1m x 3m  
Thickness: 3mm (+)

Oxide Grigio:

Supplier: Laminam  
Product Series: Oxide  
Color: Grigio  
Finish: Matte  
Location: 1-A, 1-B, and 1-C Storefronts

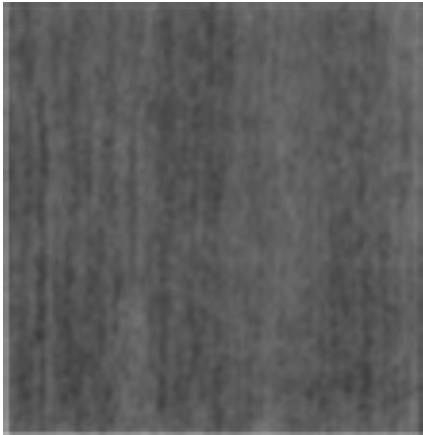


Material 02c:

Dimension: 1m x 3m  
Thickness: 3mm (+)

Oxide Perla:

Supplier: Laminam  
Product Series: Oxide  
Color: Perla  
Finish: Matte  
Location: 1-A, 1-B, and 1-C Storefronts

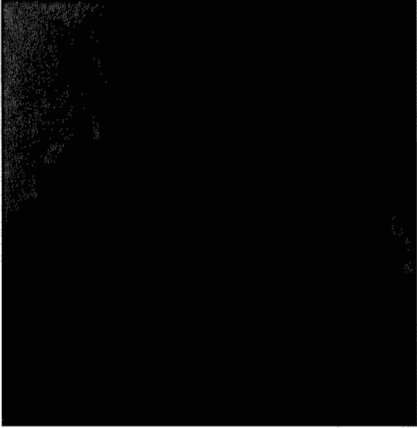


Material 02d:

Dimension: 1m x 3m  
Thickness: 3mm (+)

I Naturali Ossidiana Vena Grigia:

Supplier: Laminam  
Product Series: I Naturali  
Color: Ossidiana Vena Grigia L3122  
Finish: Matte  
Location: 1-B Storefronts



Material 02e:

Dimension: 1m x 3m  
Thickness: 3mm (+)

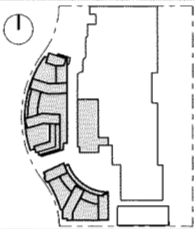
Oxide Nero:

Supplier: Laminam  
Product Series: Oxide  
Color: Nero  
Finish: Matte  
Location: 1-A, 1-B, and 1-C Storefronts



gbl architects inc.  
3711 EAST BRUNSWICK AVENUE  
VANCOUVER, BC CANADA V5T 1M1 TEL: 604.736.1105  
FAX: 604.331.1075

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 8b

CALLISONRTKL  
1400 WEST 10TH AVENUE  
SUITE 1000  
VANCOUVER, BC V6H 3G9  
TEL: 604.681.2343  
FAX: 604.681.2344  
PROJECT FILE: 16051517441-00



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 Progress for Pricing
3	2018-02-23 Progress for Pricing
4	2018-04-05 Progress for Pricing
5	2018-05-03 Progress for Pricing
6	2018-05-23 Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

MATERIALS -  
PORCELAIN PANEL

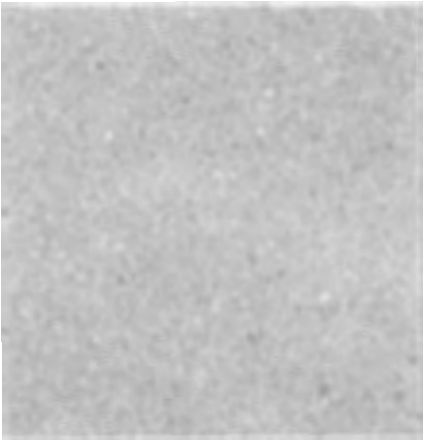
DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-8.02



# MATERIAL & COLOUR PALETTE

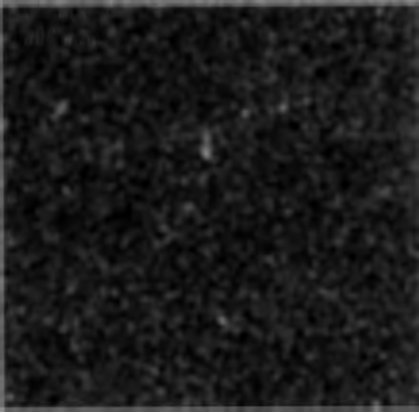
## PRECAST CONCRETE



Material 03a:

Precast Concrete Panel:

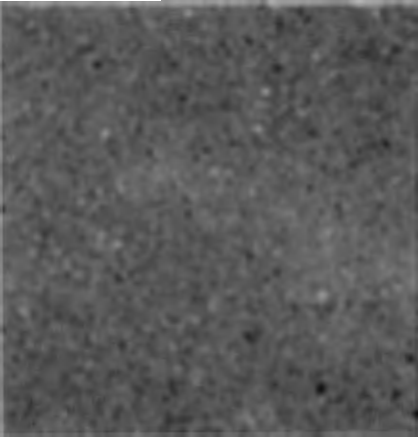
Supplier: Olympian Precast  
Product: White  
Color: White  
Finish: Acid Etch  
Location: Residential Towers 1A & 1B



Material 03b:

Precast Concrete Panel:

Supplier: Olympian Precast  
Product: 4392  
Color: Charcoal  
Finish: Acid Etch  
Location: Pilaster Bases and Coping Caps at buildings 1-A, 1-B, & 1-C

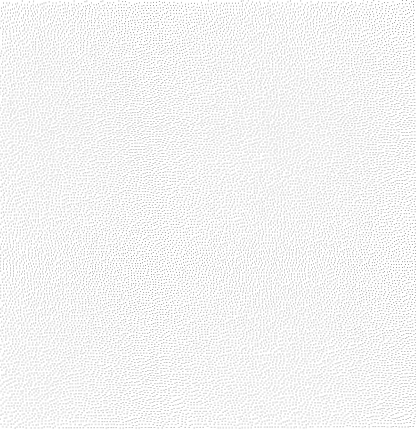


Material 03c:

Precast Concrete Panel:

Supplier: Olympian Precast  
Product: 2910  
Color: Light Gray  
Finish: Acid Etch  
Location: Curb Base at Window Storefronts, Pilaster Bases, & Coping Caps at buildings 1A, 1B & 1C

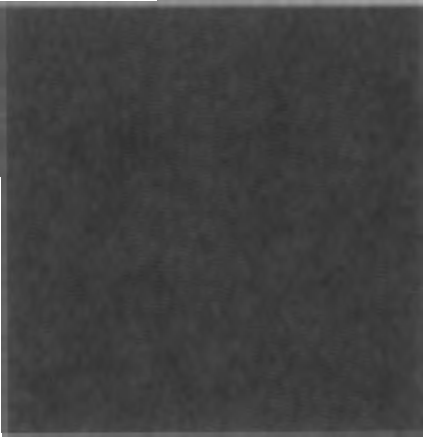
## PAINTED CONCRETE



Material 03d:

Painted Concrete Panel:

Supplier:  
Product:  
Color: Grey  
Finish: Paint  
Location: Residential Towers 1A & 1B



Material 03f:

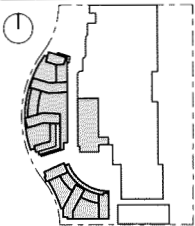
Painted Concrete Panel:

Supplier:  
Product:  
Color: Charcoal  
Finish: Paint  
Location: Residential Tower 1B



■ GBL ARCHITECTS INC.  
135 EAST PINE AVENUE  
VANCOUVER, B.C. CANADA V6T 1M8 TEL: 604.276.1156  
FAX: 604.271.5278  
www.gblarchitects.com

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 8c

CALLISORT/KL

Callisort Pty. Inc.  
1420 Fifth Avenue  
Suite 100  
Seattle, WA 98101-3343  
Tel: 206.461.4444  
Fax: 206.452.4625  
Project No.: 066-117941-00



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-04-08 30% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-06 Progress for Pricing
5	2018-08-02 DP Application Rev. 2
6	2019-03-20 DP Application Rev. 3
Progress for City Review	

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

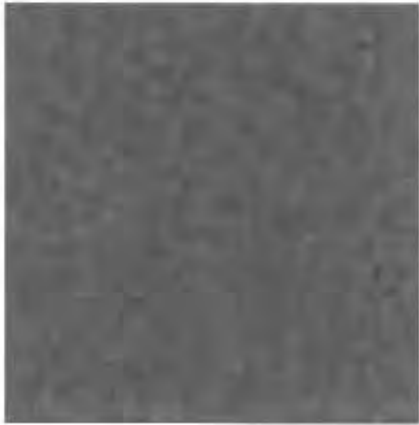
MATERIALS -  
CONCRETE PANEL

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-8.03

# MATERIAL & COLOUR PALETTE

## MISCELLANEOUS MATERIALS



Material 04a

### Custom Metal Screening

Supplier:  
Product:  
Color: White  
Finish:  
Location: Residential Tower 1A



Material 04b

### Metal Louver

Supplier:  
Product:  
Color: Grey  
Finish:  
Location: Residential Tower 1B



Material 04c

### Extruded Aluminum Fins

Supplier:  
Product:  
Color: White  
Finish:  
Location: Residential Tower 1B



Material 04d

### Perforated Metal Awning

Supplier:  
Product:  
Color: Grey  
Finish:  
Location: Parkade @ Building 1A



Material 05a

### Glazed Guardrail

Supplier:  
Product: Clear Glazed Panel  
Color:  
Finish:  
Location: Balconies @ Residential Towers 1A & 1B



Material 05b

### Glazed Privacy Screen

Supplier:  
Product: Frosted Glazed Panel  
Color:  
Finish:  
Location: Between Residential Units @ Residential Towers 1A & 1B



Material 05c

### Phenolic Panel

Supplier: Trespa  
Product: HPL  
Color: Tropical IPE  
Finish: Matte  
Location: Building 1-A and 1-C



Material 05d

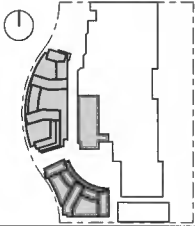
### Glazed Privacy Screen

Supplier:  
Product: Frosted Glazed Panel  
Color:  
Finish:  
Location: Sky garden balcony edges @ Residential Towers 1A & 1B



GBL ARCHITECTS INC.  
139 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V5T 1B8  
TEL: 604.736.1196  
FAX: 604.731.5278  
WWW.GBLARCHITECTS.COM

### NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 8d

### CALLISORTKL

Callisort KL Inc.  
1420 15th Avenue  
Vancouver, BC V6M 1A1  
Canada, WA, M6T1-2A43  
Tel: 604.681.4444  
Fax: 604.681.4444  
Project No: 006-001794-00



REVISIONS	
No.	Date Description
1	2017-03-31 Development Permit Application
2	2017-08-08 Application Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-06 Progress for Pricing
5	2018-06-05 DP Application Rev. 1
6	2019-03-20 DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

MATERIALS -  
MISC. METAL

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-8.04



# MATERIAL & COLOUR PALETTE

## CANOPIES & AWNINGS



Material 06a:

Glass / Metal Canopy

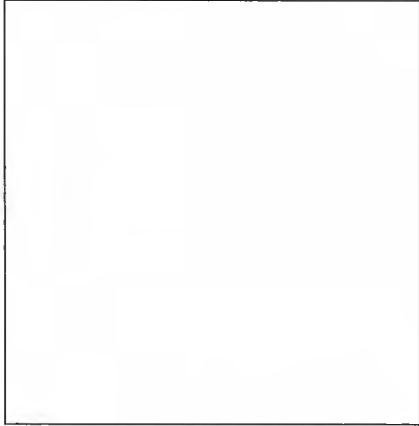
Supplier:  
Product: Metal Frames & Glass Panels  
Color: Med Grey Frames  
Finish: Matte  
Location: Building 1A, 1B & 1C (Mall Entry, Standard Retail Canopy



Material 06b:

Phenolic / Metal Canopy

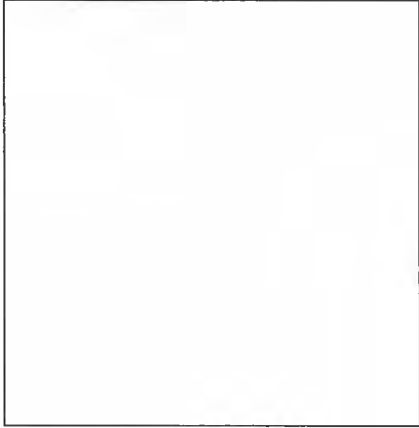
Supplier:  
Product: Metal & Phenolic Panels  
Color: Med Grey Frames / Tropical IPE  
Finish:  
Location: Building 1A Elevator Entry



Material 06c:

Metal Canopy

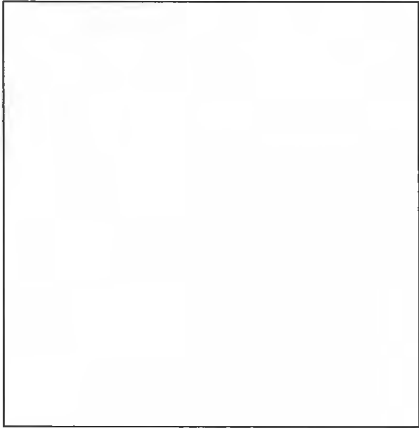
Supplier:  
Product: Metal  
Color: Varies  
Finish:  
Location: Pedestrian Entries @ Building 1A



Material 06d:

Parkade Metal Canopy

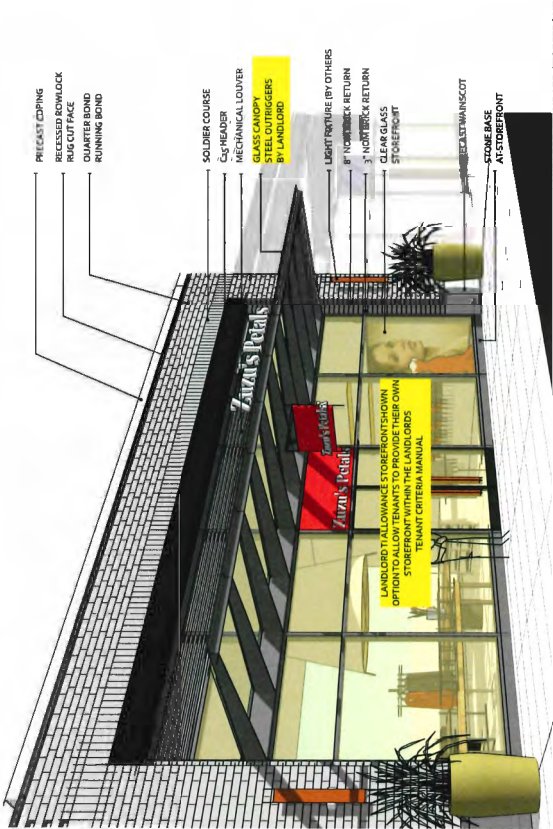
Supplier:  
Product: Metal  
Color: White  
Finish:  
Location: Parkade Entries @ Building 1A



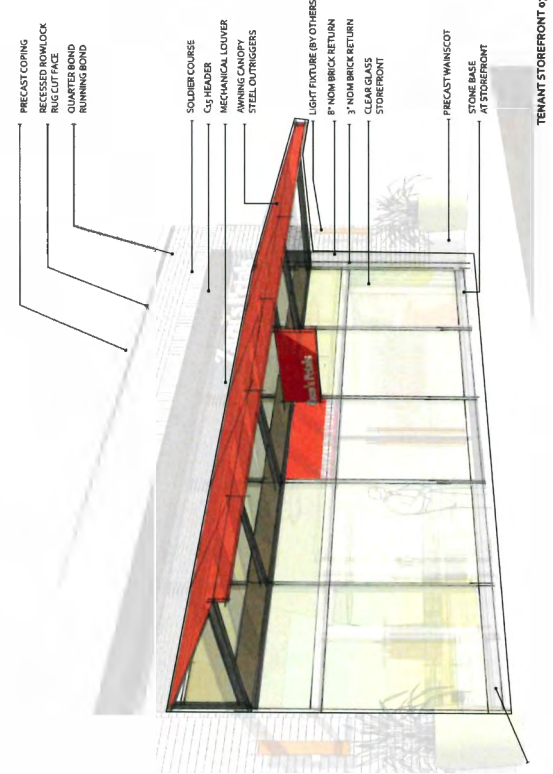
Material 06e:

Awning Canopy

Supplier:  
Product:  
Color: Varies  
Finish:  
Location: Retail Storefronts @ Building 1B & 1C



LANDLORD STANDARD STOREFRONT

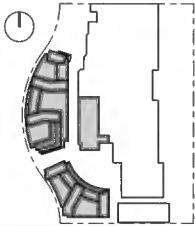


TENANT STOREFRONT #7

gbl

GBL ARCHITECTS, INC.  
130 EAST 87TH AVENUE  
VINCENNES, IN 47601-1106  
TEL: 800-726-1106  
FAX: 800-731-1379  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 8e

CALLISONRTKL

CALLISONRTKL  
1400 PINE AVENUE  
SUITE 200  
BOSTON, MA 02111-2242  
TEL: 617-452-1000  
FAX: 617-452-1001  
PROJECT FILE: 006-151749-00



REVIEWS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-08	DP Application Rev. 1
	3	2018-03-29	DP Application Rev. 2
	4	2018-04-05	DP Application Rev. 1
	5	2018-04-07	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

MATERIALS -  
CANOPY & AWNING

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-8.06



# MATERIAL & COLOUR PALETTE

## BRICK VENEER



Material 07b: Light Grey Mix

70% Aspen  
30% Limestone

Aspen:

Supplier: Mutual Materials  
Product: Face Brick  
Color: Aspen  
Finish: Mission  
Location: Exterior Facade  
At buildings 1-A,  
and 1-B

Limestone:

Supplier: Mutual Materials  
Product: Face Brick  
Color: Limestone  
Finish: Mission



Material 07c: Medium Grey Mix

60% Pewter  
30% Sea Gray

Pewter:

Supplier: Mutual Materials  
Product: Face Brick  
Color: Pewter  
Finish: Mission  
Location: Exterior Facade  
At buildings 1-A,  
1-B, and 1-C

Sea Gray:

Supplier: Mutual Materials  
Product: Face Brick  
Color: Sea Gray  
Finish: Mission  
Location: Exterior Facade



Material 07d: Dark Grey Mix

50% Coal Creek  
50% Raven

Coal Creek:

Supplier: Mutual Materials  
Product: Face Brick  
Color: Coal Creek  
Finish: Mission  
Location: Exterior Facade  
At buildings 1-A,  
and 1-B

Flashed Raven:

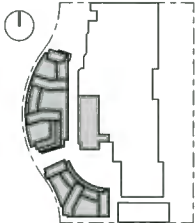
Supplier: Mutual Materials  
Product: Face Brick  
Color: Flashed Raven  
Finish: Mission  
Location: Exterior Facade

\*Note: All brick sizes (12"x3"x4"Nominal)  
"NORMAN"



gbl ARCHITECTS INC.  
139 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V6T 1H8 TEL: 604.736.1136  
FAX: 604.731.5278  
www.gblarchitects.com

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 8f

CALLISONRTKL

CallisonRTKL Inc.  
1420 West Avenue  
Suite 100  
Seattle, WA 98119-2943  
Tel: 206.462.4000  
Fax: 206.462.4002  
Project No.: 006-151746-00



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-06-08 DP Application Set
3	2018-02-29 DP Application Rev. 1
4	2018-04-05 Progress for Pricing
5	2018-06-07 DP Application Rev. 1
6	2019-02-20 DP Application Rev. 2 Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

MATERIALS -  
BRICK VENEER

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-8.07



# MATERIAL & COLOUR PALETTE

## CLEAR GLAZING FRAME

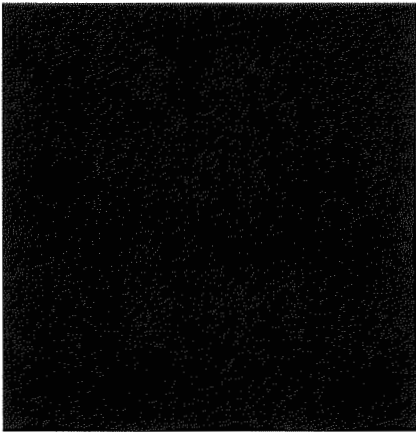


Material 08a

Window Mullion:

Supplier:  
Product: Aluminum Frame  
Color: Standard Silver  
Finish:

Location: Residential Towers 1A & 1B



Material 08b

Window Mullion:

Supplier:  
Product: Aluminum Frame  
Color: Black Charcoal  
Finish:

Location: Residential Towers 1A & 1B

Material 08c

Window Mullion:

Supplier:  
Product: Aluminum Frame  
Color: White  
Finish:

Location: Residential Towers 1A & 1B

Material 08d

Window Mullion:

Supplier:  
Product: Aluminum Frame  
Color: Pewter  
Finish:

Location: Retail Storefronts

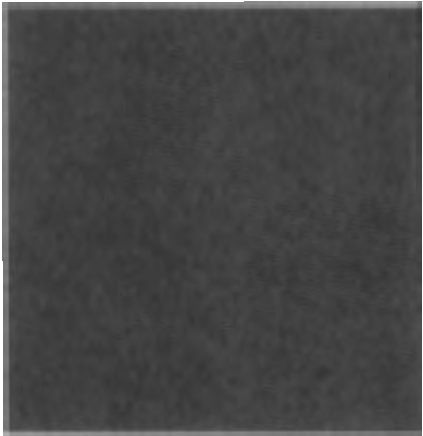
## GLAZING SPANDREL



Material 09a:

Spandrel Glazing

Supplier:  
Product: Spandrel Glass  
Color: Light Grey  
Frame: Anodized Aluminum  
Location: Residential Towers 1A & 1B



Material 09b:

Spandrel Glazing

Supplier:  
Product: Spandrel Glass  
Color: Charcoal  
Frame: Charcoal Aluminum  
Location: Residential Towers 1A & 1B

Material 09c:

Spandrel Glazing

Supplier:  
Product: Spandrel Glass  
Color: White  
Frame: White Aluminum  
Location: Residential Towers 1A & 1B

Material 09d:

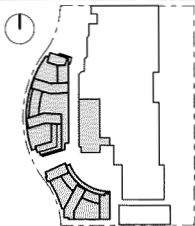
Spandrel Glazing

Supplier:  
Product: Spandrel Glass  
Color: Light Grey  
Frame: Pewter Aluminum  
Location: Retail Buildings 1A, 1B & 1C



GBL ARCHITECTS INC.  
1000 WESTERN AVENUE, SUITE 1100  
VANCOUVER, BC CANADA V6T 1B6  
TEL: 604 731 1155  
FAX: 604 731 5275  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 8g

CALLISORTKL

CallisonRTKL  
1000 WESTERN AVENUE, SUITE 1100  
VANCOUVER, BC V6T 1B6  
TEL: 604 681 4646  
FAX: 604 681 4647  
PROJECT NO: 000-151734-08



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-05-08 Design Review 1
3	2017-05-29 Design Review 2
4	2018-04-08 Progress for Pricing
5	2018-04-08 Design Review 3
6	2018-05-20 Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

MATERIALS -  
GLAZING

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

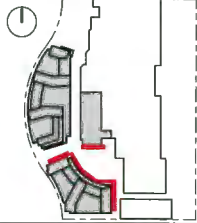


# PARK PLAZA RETAIL FRONTAGES



gbl ARCHITECTS INC.  
1150 EASTERN AVENUE  
VANCOUVER, BC CANADA V6T 1B6  
TEL: 604 778 1150  
FAX: 604 778 1179  
WWW.GBLARCHITECTS.COM

## NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 9a-1

CALLISONRTKL  
CallisonRTKL Inc.  
1000 Burrard Street  
Suite 2000  
Vancouver, BC V6Z 1G6  
Tel: 604 683 3666  
Fax: 604 683 3667  
Project No: 17-03-31



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

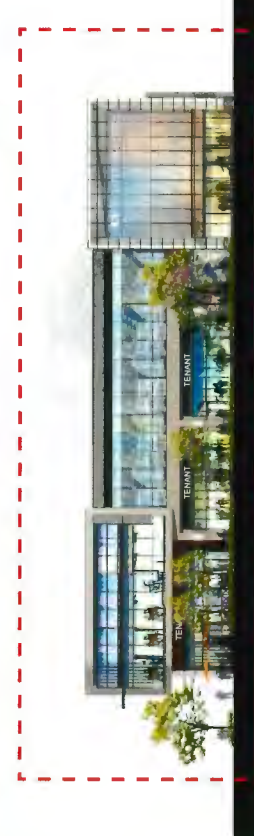
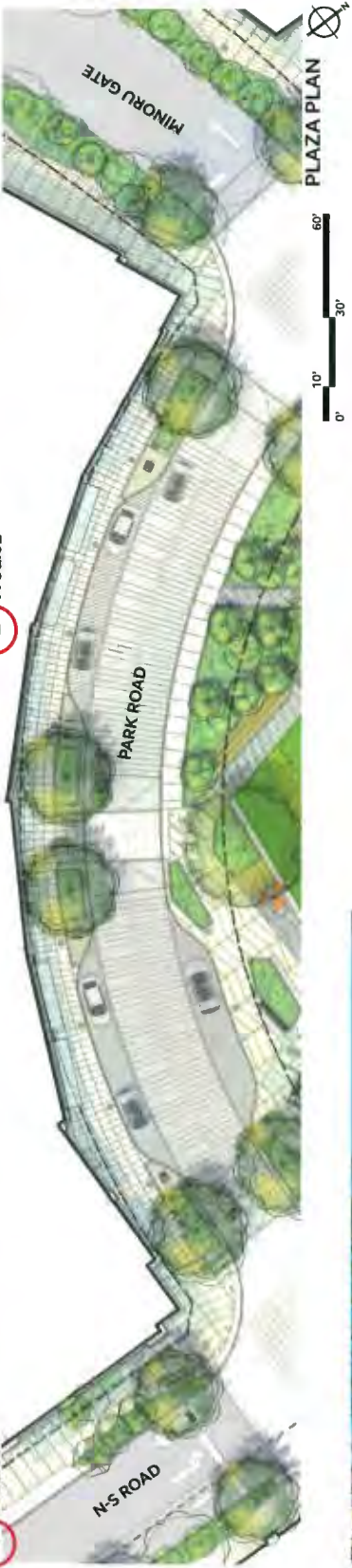
PARK PLAZA  
RETAIL FRONTAGES  
DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-9A.01



1 A-9a.03

2 A-9a.02



PARK PLAZA 1C SOUTH ELEVATION

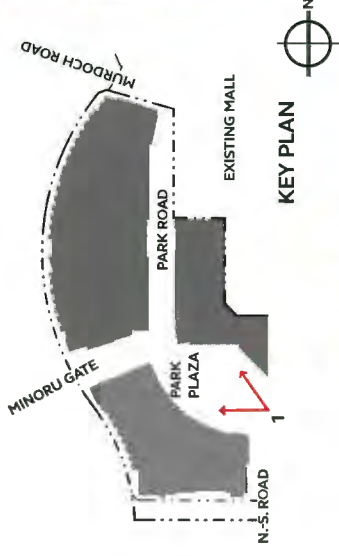
3 A-9a.03



PLAZA @ MALL ENTRY PLAN



1. PARK VIEW @ MALL ENTRY



At the heart of the CF Richmond Centre is Park Plaza, a welcoming, sun lit public space that is the nexus of activity for the project. It is designed to strengthen the newly renovated mall entrance, capturing the energy and pedestrian flow that extends north and south from inside to out. Retail shops and restaurants frame Park Plaza creating a sense of scale and proportion that are characteristic of many great urban destinations.

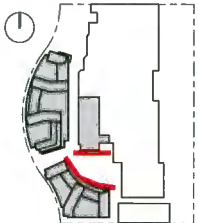


PARK PLAZA RETAIL FRONTAGES

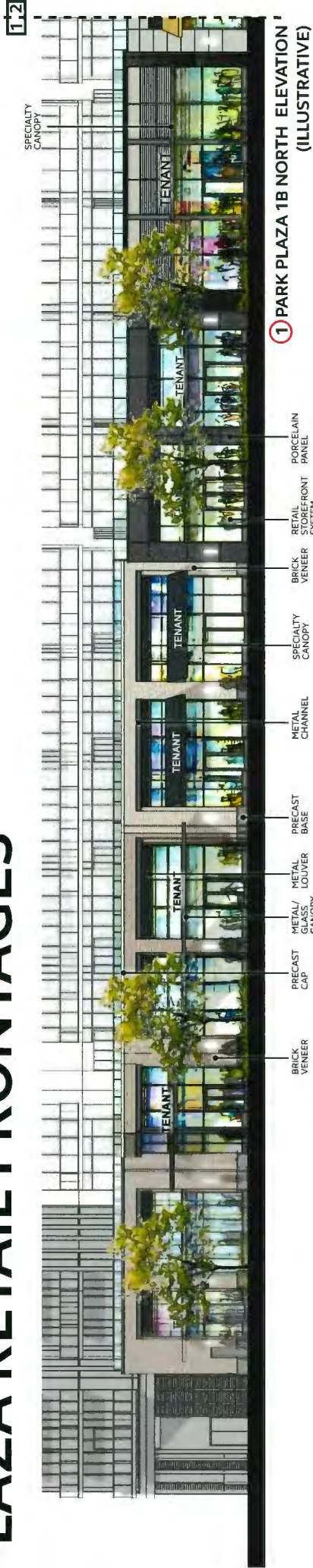


# GBL ARCHITECTS INC.  
1150 SHEPPARD AVENUE EAST  
SUITE 1000, MARKHAM, ONTARIO L3R 9V4  
TEL: 905.709.1100 FAX: 905.778.5379  
WWW.GBLARCHITECTS.COM

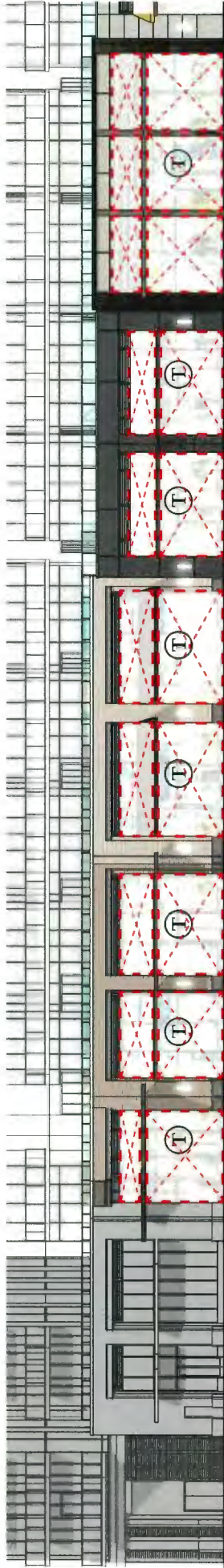
NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 9a-2



1 PARK PLAZA 1B NORTH ELEVATION (ILLUSTRATIVE)

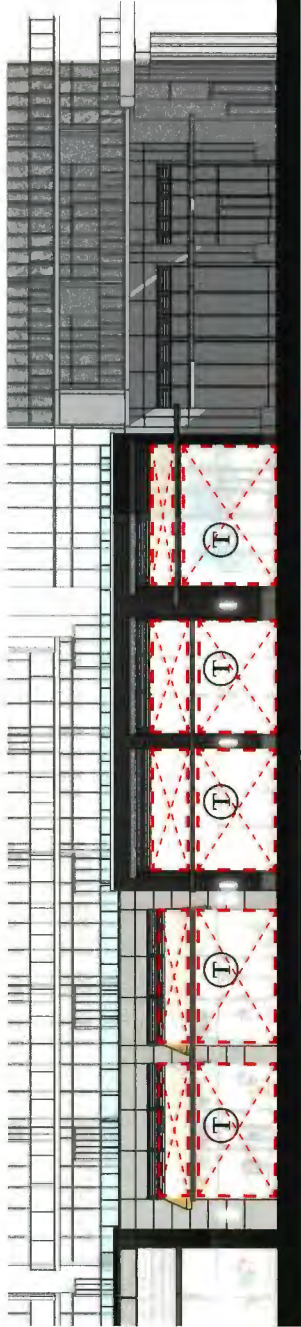


1.1 PARK PLAZA 1B NORTH ELEVATION (BASE BUILDING)

NOTE:  
•STOREFRONT WINDOW SYSTEM AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP).  
•INDIVIDUAL TENANT FITOUT AND BRANDING OPTIONAL FOR EACH TENANT PER LEASE AGREEMENT.  
•COMMERCIAL BASE BUILDING TO INCLUDE COLORED ELEVATIONS MATERIALS AND STOREFRONT ENCLOSURE / BASE CANOPY.  
•RETAIL TENANT OPTIONS (ILLUSTRATIVE) INCLUDE STOREFRONT SYSTEM AND CANOPY REPLACEMENTS. (T)



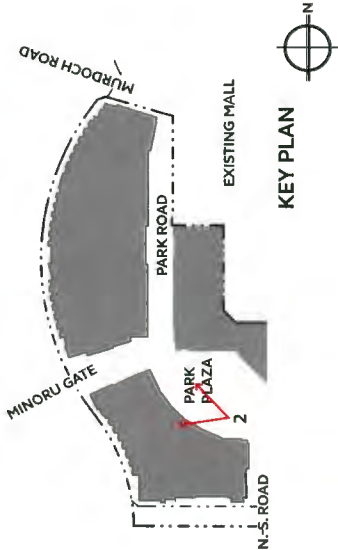
2 PARK PLAZA 1B NORTH ELEVATION (CONT./ILLUSTRATIVE)



2.1 PARK PLAZA 1B NORTH ELEVATION (CONT./ BASE BUILDING)



2. PARK PLAZA RETAIL STREET EDGE



KEY PLAN

CALLISONRTKL  
CALLISONRTKL INC.  
1000 WESTERN AVE.  
SUITE 400  
VANCOUVER, BC V6C 3R8  
TEL: 604.682.4444  
FAX: 604.682.4448  
PROJECT NO.: 208-151794-02



REVISIONS			
No.	Date	Description	
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
		Progress for Pricing	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3	

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

PARK PLAZA  
RETAIL FRONTAGES

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-9A.02

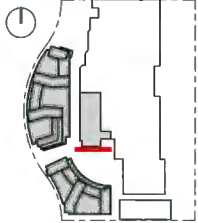


# PARK PLAZA RETAIL FRONTAGES



gbl architects inc.  
1000 WESTERN AVENUE  
VANCOUVER, BC V6E 2V4  
TEL: 604.778.1188  
FAX: 604.778.1379  
WWW.GBLARCHITECTS.COM

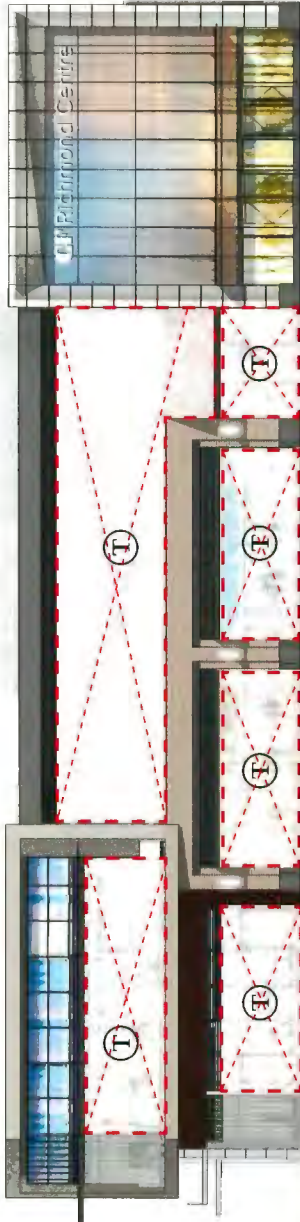
## NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 9a-3

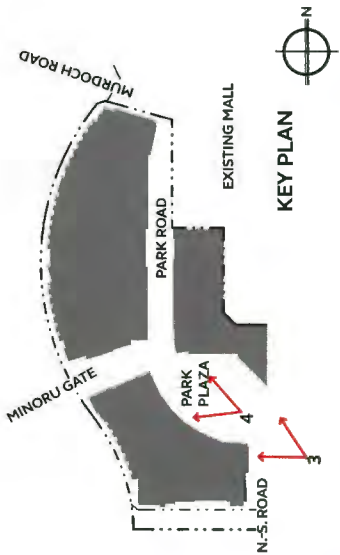


3. PARK PLAZA 1C SOUTH ELEVATION (ILLUSTRATIVE)



3.1 PARK PLAZA 1C SOUTH ELEVATION (BASE BUILDING)

NOTE:  
-STOREFRONT WINDOW SYSTEM AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP).  
-INDIVIDUAL TENANT FITOUT AND BRANDING OPTIONAL FOR EACH TENANT PER LEASE AGREEMENT.  
-COMMERCIAL BASE BUILDING TO INCLUDE COLORED ELEVATIONS MATERIALS AND STOREFRONT ENCLOSURE / BASE CANOPY.  
-RETAIL TENANT OPTIONS (ILLUSTRATIVE) INCLUDE STOREFRONT SYSTEM AND CANOPY REPLACEMENTS.



3. PARK PLAZA AERIAL



4. PARK PLAZA MOBILITY HUB & MALL ENTRY

Facing south are 2 storey tenants with an overlook onto Park Plaza below and a feature 2nd level corner to create a terminus from Minoru Gate. At the east end is the mall entrance designed as a welcoming lantern to the existing CF Richmond Centre.

CALLISONRTKL  
CALLISONRTKL INC.  
1000 WESTERN AVENUE  
VANCOUVER, BC V6E 2V4  
TEL: 604.683.8888  
FAX: 604.683.8888  
WWW.CALLISONRTKL.COM



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISIONS  
17/10/2010

RICHMOND  
CENTRE PHASE 1

PARK PLAZA  
RETAIL FRONTAGES

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

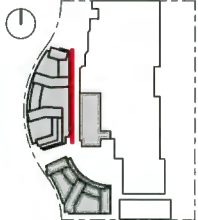
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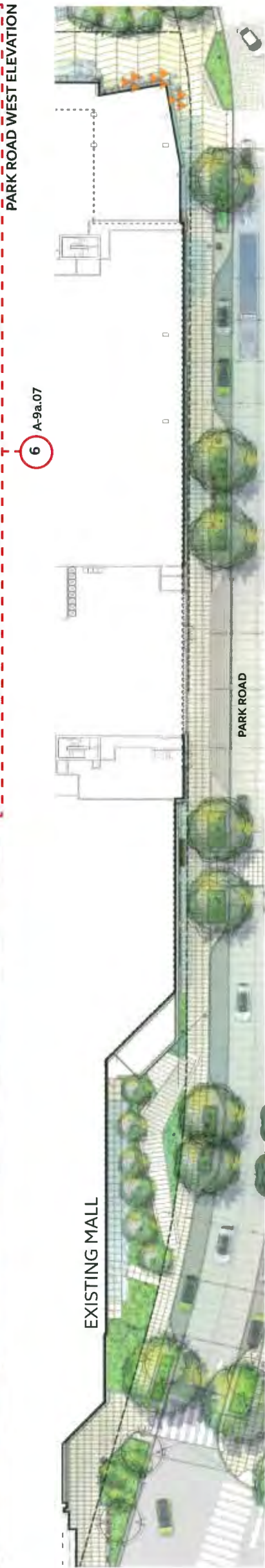
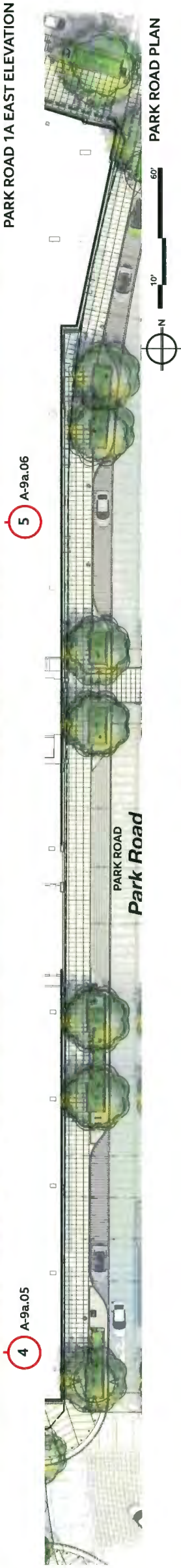
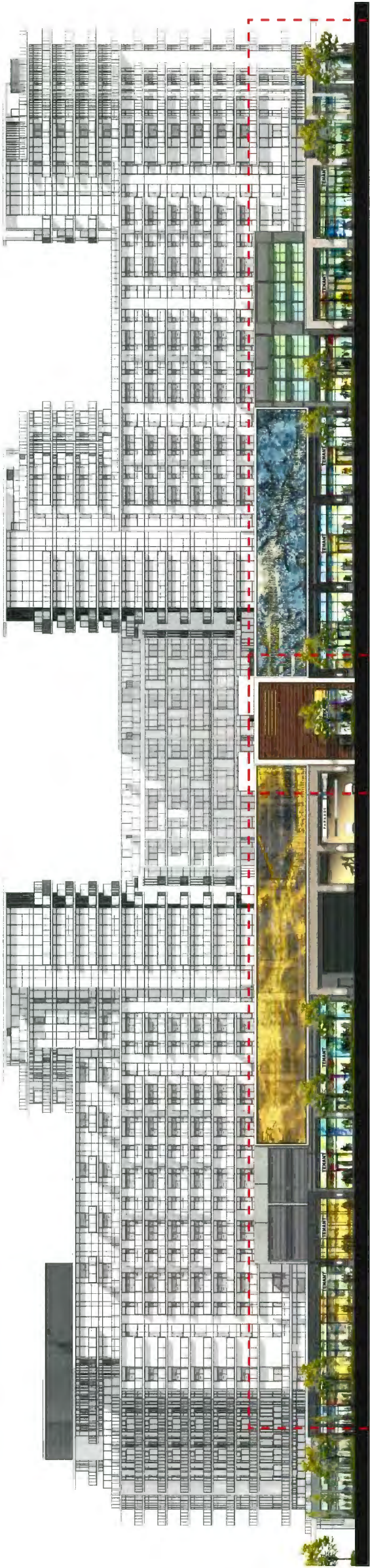
# PARK ROAD NORTH RETAIL FRONTAGES



# GBL ARCHITECTS INC.  
199 EASTERN AVENUE  
SUITE 200  
SCARBOROUGH, ONTARIO M1T 3B7  
TEL: (416) 291-1155  
WWW.GBLARCHITECTS.COM  
NOTES



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CF Richmond Centre uses a combination of scale, modulation, and materiality working together to express an urban, modern, and timeless architecture. The commercial podium has been conceived as a collection of buildings that allows this rhythm to occur adding variety and richness to the retail edge. The retail shops and service areas are complimented with large art installations screening the parkade and gas metres thus creating a compelling, dynamic facade along Park Road.

CALLISONRTKL  
CallisonRTKL Inc.  
1000 West Beaver Creek  
Suite 200  
Richmond Hill, Ontario L4B 1P2  
Tel: (905) 882-8800  
Fax: (905) 882-8801  
www.callisonrtkl.com



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
		Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
		Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

PARK ROAD NORTH  
RETAIL FRONTAGES

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-9A.04

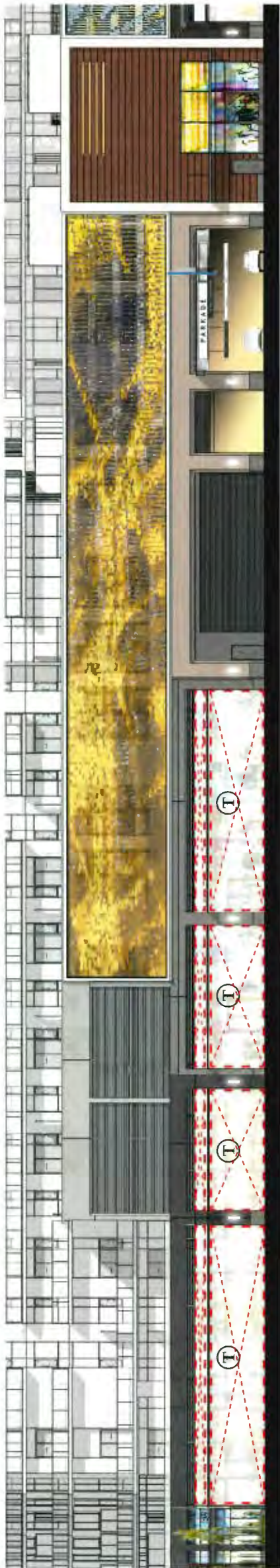


PARK ROAD NORTH RETAIL FRONTAGES

PORCELAIN PANEL  
METAL FRAME  
PARKADE ART WALL  
BRICK VENEER  
METAL /PHENOLIC PANEL CANOPY  
METAL CANOPY  
METAL CHANNEL

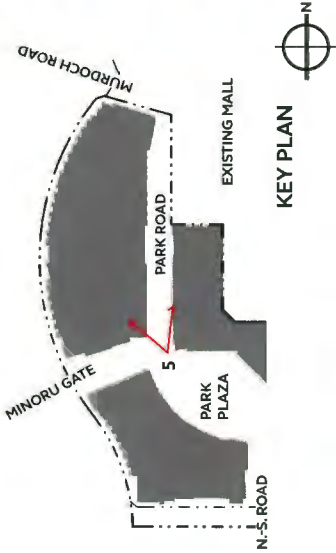


4. SOUTH END EAST ELEVATION (ILLUSTRATIVE)



4.1 SOUTH END EAST ELEVATION (BASE BUILDING)

NOTE:  
•STOREFRONT WINDOW SYSTEM AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP).  
•INDIVIDUAL TENANT FITOUT AND BRANDING OPTIONAL FOR EACH TENANT PER LEASE AGREEMENT.  
•COMMERCIAL BASE BUILDING TO INCLUDE COLORED ELEVATIONS MATERIALS AND STOREFRONT ENCLOSURE / BASE CANOPY.  
•RETAIL TENANT OPTIONS (ILLUSTRATIVE) INCLUDE STOREFRONT SYSTEM AND CANOPY REPLACEMENTS.

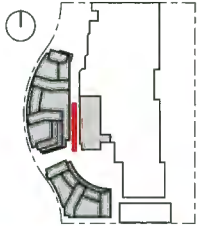


5. SOUTH END PARK ROAD VIEW

gbl

■ GBL ARCHITECTS INC.  
190 EASTERN AVE. SUITE 100  
VANCOUVER, BC CANADA V6T 1B6  
TEL: 604.731.1875  
FAX: 604.731.1875  
WWW.GBLARCHITECTS.COM

NOTES



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MAY 29, 2019  
PLAN # 9a-5

CALLISONRTKL  
CallisonRTKL Inc.  
1000 Burrard Street  
Suite 1400  
Vancouver, BC V6Z 2G3  
Tel: 604.683.3444  
Fax: 604.683.3445  
Project No: 1805-11794-00



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

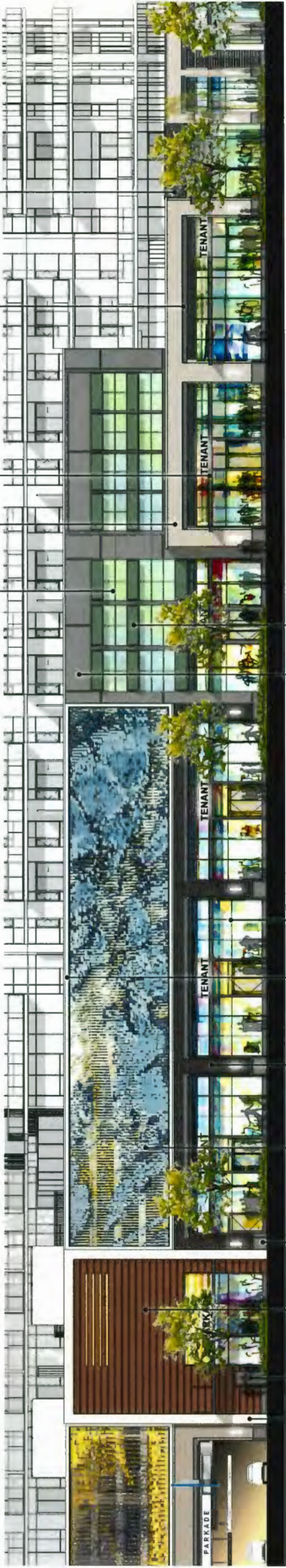
PARK ROAD NORTH  
RETAIL FRONTAGES

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-9A.05



PARK ROAD NORTH RETAIL FRONTAGES

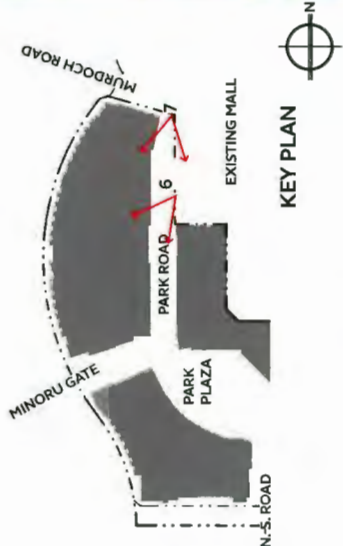


5. NORTH END EAST ELEVATION (ILLUSTRATIVE)



5.1 NORTH END EAST ELEVATION (BASE BUILDING)

NOTE:  
-STOREFRONT WINDOW SYSTEM AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP).  
-INDIVIDUAL TENANT FITOUT AND BRANDING OPTIONAL FOR EACH TENANT PER LEASE AGREEMENT.  
-COMMERCIAL BASE BUILDING TO INCLUDE COLORED ELEVATIONS MATERIALS AND STOREFRONT ENCLOSURE / BASE CANOPY.  
-RETAIL TENANT OPTIONS (ILLUSTRATIVE) INCLUDE STOREFRONT SYSTEM AND CANOPY REPLACEMENTS.



6. MID BLOCK PARK ROAD VIEW

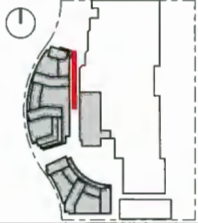


7. NORTH END PARK ROAD VIEW

gbl

GBL ARCHITECTS INC.  
139 EAST 8TH AVENUE  
SUITE 200  
VANCOUVER, BC V6C 1A8  
TEL: 604 739 1336  
WWW.GBLARCHITECTS.COM

NOTES



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MAY 29, 2019  
PLAN # 9a-6

CALLISONRTKL  
CallisonRTKL Inc.  
1000 West 1st Avenue  
Suite 1000  
Vancouver, BC V6C 1A8  
TEL: 604 683 2400  
FAX: 604 683 4800  
PROJECT NO.: 160517196-06



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	DP Application Rev. 2
	5	2018-08-02	DP Application Rev. 3
	6	2019-03-20	DP Application Rev. 3 Prepared for City Review

REVISED:  
17/10/2010

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CENTRE PHASE 1

PARK ROAD NORTH  
RETAIL FRONTAGES

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-9A.06



PARK ROAD NORTH RETAIL FRONTAGES



135 EAST PLYMOUTH  
ANN ARBOR, MI 48106  
TEL: 734.769.1156  
WWW.GBLARCHITECTS.COM

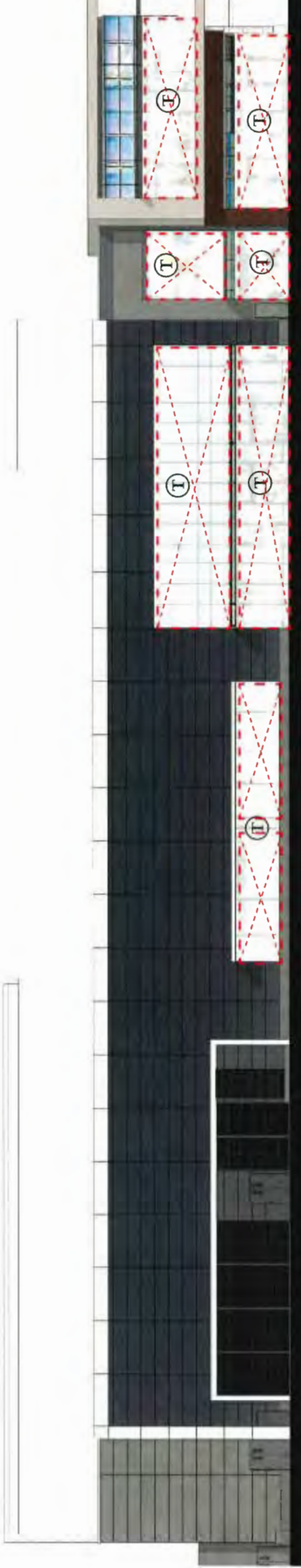
NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 9a-7



6. PARK ROAD 1C WEST ELEVATION (ILLUSTRATIVE)



6.1 PARK ROAD 1C WEST ELEVATION (BASE BUILDING)

NOTE:  
-STOREFRONT WINDOW SYSTEM AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP.).  
-EXISTING MATERIALS AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP.).  
-COMMERCIAL BASE BUILDING TO INCLUDE COLORED ELEVATIONS MATERIALS AND STOREFRONT ENCLOSURE / BASE CANOPY.  
-RETAIL TENANT OPTIONS (ILLUSTRATIVE) INCLUDE STOREFRONT SYSTEM AND CANOPY REPLACEMENTS.



CALLISONRTKL  
1000 PLYMOUTH  
ANN ARBOR, MI 48106  
TEL: 734.769.1156  
WWW.CALLISONRTKL.COM



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	Progress for Pricing
5	2018-08-02	DP Application Rev. 2
6	2018-08-02	DP Application Rev. 2
7	2019-03-20	DP Application Rev. 3
8	2019-03-20	Progress for City Review

REVIEWED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

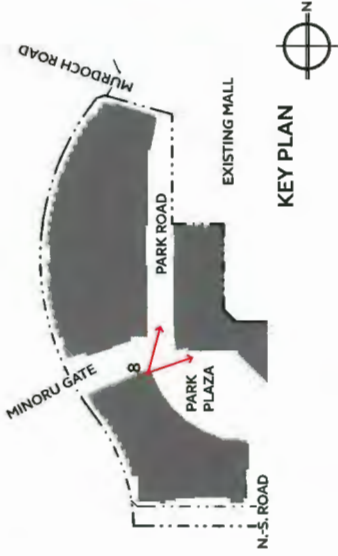
PARK ROAD NORTH  
RETAIL FRONTAGES

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-9A.07



8. CORNER @ MINORU GATE & PARK ROAD



KEY PLAN



# GATEWAY RETAIL FRONTAGES

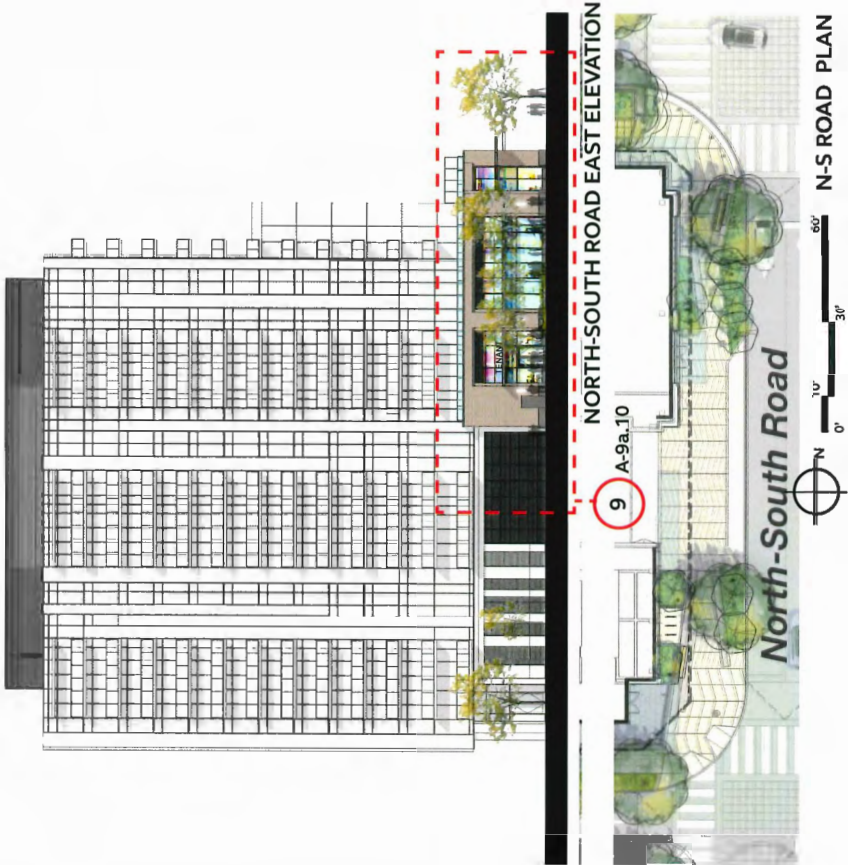
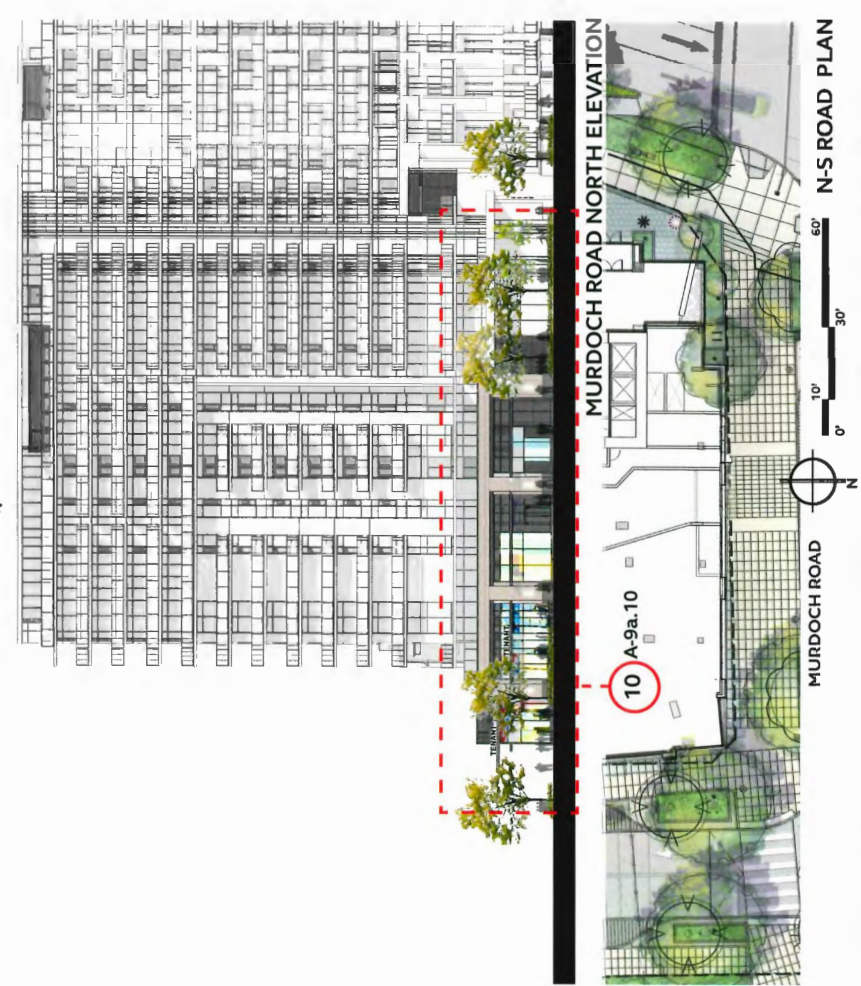
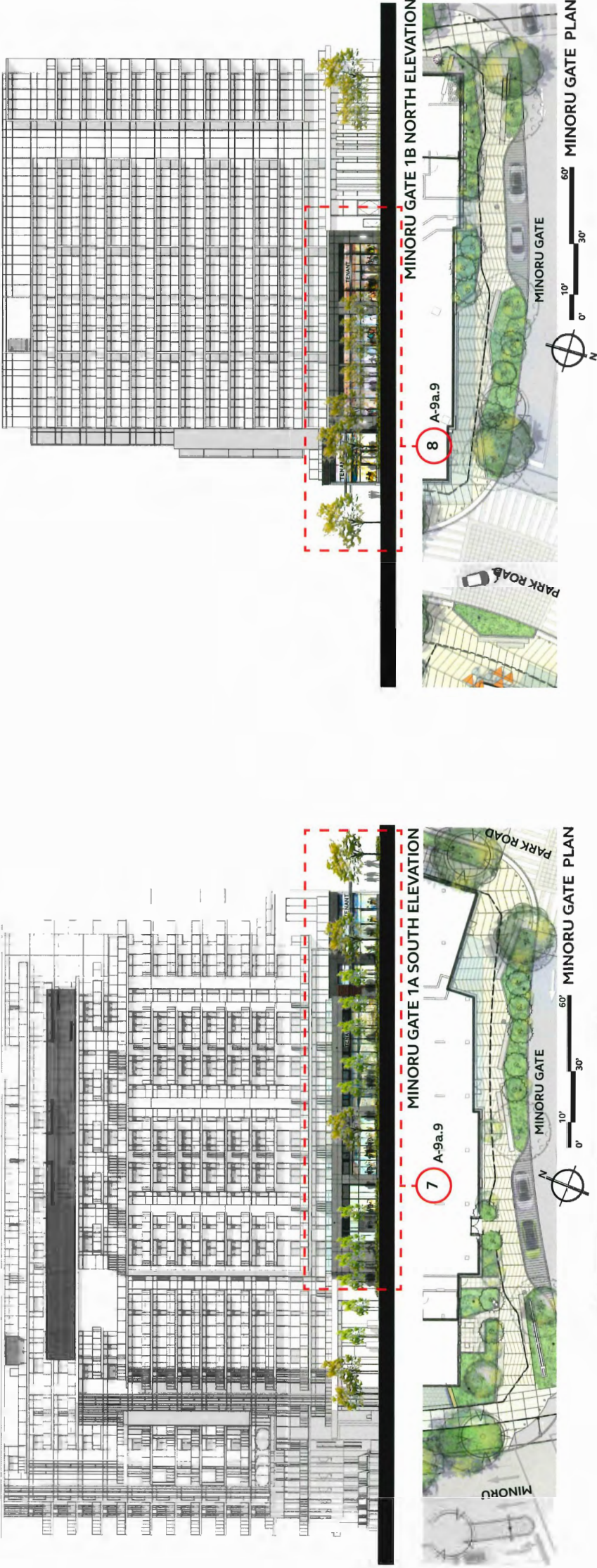


■ GBL ARCHITECTS, INC.  
199 EAST 19TH AVENUE, SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1375  
WWW.GBLARCHITECTS.COM

## NOTES



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MAY 29, 2019  
PLAN # 9a-8



The planning approach for CF Richmond Centre begins with the extension of the surrounding urban street grid. "Gateways" frame the arrival to Park Road thru Minoru Gate and at Murdoch Road to the northwest of the site. Additionally, a new North-South Road connects the new East-West Road to Park Plaza.

CALLISONRTKL  
CallisonRTKL, Inc.  
1000 17th Street, Suite 2000  
Denver, CO 80202  
Tel: 303.833.6666  
Fax: 303.833.6666  
Project No: 17011794.02



REVIEWS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

GATEWAY  
RETAIL FRONTAGES

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

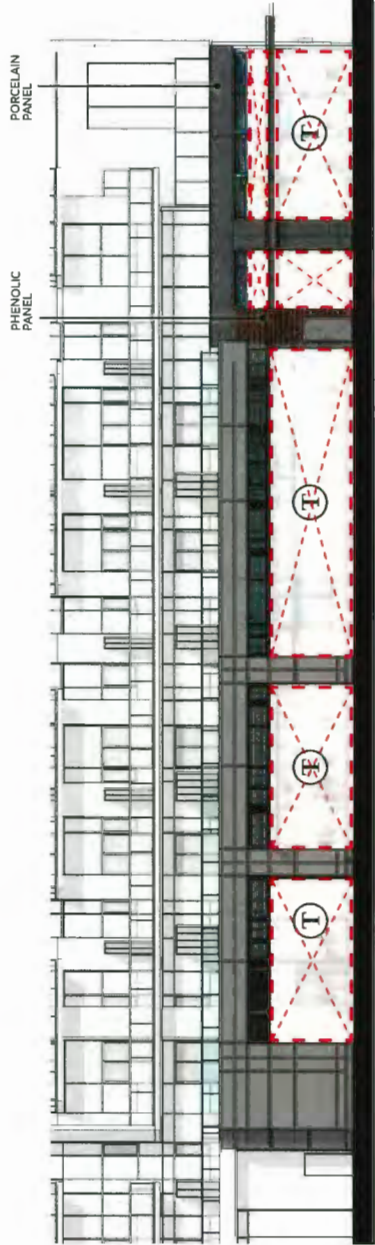
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# GATEWAY RETAIL FRONTAGES



7 MINORU GATE 1A SOUTH ELEV.  
(ILLUSTRATIVE)

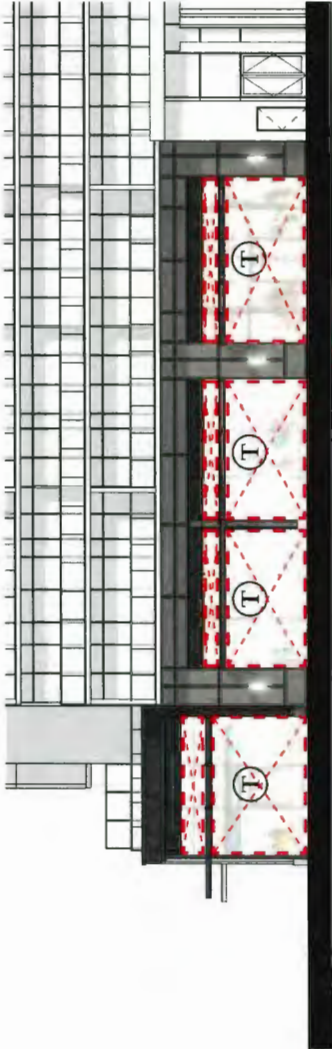


7.1 MINORU GATE 1A SOUTH ELEV.  
(BASE BUILDING)

NOTE:  
-STOREFRONT WINDOW SYSTEM AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP.).  
-INDIVIDUAL TENANT FITOUT AND BRANDING OPTIONAL FOR EACH TENANT PER LEASE AGREEMENT (ENCLOSURE / BASE CANOPY).  
-CANOPY SYSTEMS TO BE DETERMINED BY EACH TENANT PER LEASE AGREEMENT (ENCLOSURE / BASE CANOPY).  
-RETAIL TENANT OPTIONS (ILLUSTRATIVE) INCLUDE STOREFRONT SYSTEM AND CANOPY REPLACEMENTS.



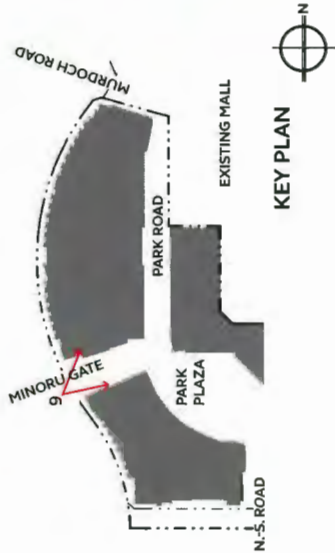
8 MINORU GATE 1B NORTH ELEV.  
(ILLUSTRATIVE)



8.1 MINORU GATE 1B NORTH ELEV.  
(BASE BUILDING)



9. MINORU GATE ENTRY

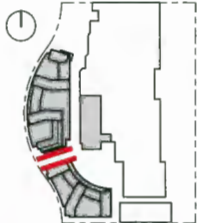


KEY PLAN

gbl

gbl architects inc.  
1100 WESTERN AVENUE  
VANCOUVER, BC CANADA V6T 1M6  
TEL: 604 771 1105  
FAX: 604 771 1279

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 9a-9

CALLISONRTKL

CALLISONRTKL  
1100 WESTERN AVENUE  
VANCOUVER, BC CANADA V6T 1M6  
TEL: 604 683 3333  
FAX: 604 683 3334  
PROJECT NO: 1801-1179-00



REVISED	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-05-29	Development Permit Application
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-05-10	DP Application Rev. 3
			Progress for City Review

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

GATEWAY  
RETAIL FRONTAGES

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-9A.9

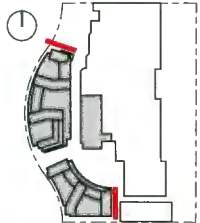


# GATEWAY RETAIL FRONTAGES



gbl architects inc.  
191 EASTERN AVENUE  
SUITE 200  
TORONTO, ONTARIO M4M 1B7  
TEL: 416-593-1000  
WWW.GBLARCHITECTS.COM

## NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 9a-10



10 MURDOCH ROAD NORTH ELEVATION  
(ILLUSTRATIVE)



9 N-S ROAD EAST ELEVATION  
(ILLUSTRATIVE)



10.1 MURDOCH ROAD NORTH ELEVATION  
(BASE BUILDING)



9.1 N-S ROAD EAST ELEVATION  
(BASE BUILDING)

NOTE:  
•STOREFRONT WINDOW SYSTEM AND CANOPIES ARE SHOWN SIMPLIFIED PER BASE BUILDING ELEVATIONS (DASHED TYP).  
•INDIVIDUAL TENANT FITOUT AND BRANDING OPTIONAL FOR EACH TENANT PER LEASE AGREEMENT.  
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CALLISONRTKL  
1000 WESTERN AVENUE  
SUITE 200  
TORONTO, ONTARIO M6H 3C4  
TEL: 416-593-1000  
WWW.CALLISONRTKL.COM



REVISIONS			
No.	Date	Description	
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1 Progress for Pricing	
4	2018-04-06	DP Application Rev. 1	
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6	2019-03-20	DP Application Rev. 3 Progress for City Review	

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

GATEWAY  
RETAIL FRONTAGES

DATE  
DRAWN BY  
CHECKED BY  
SCALE

JOB NUMBER

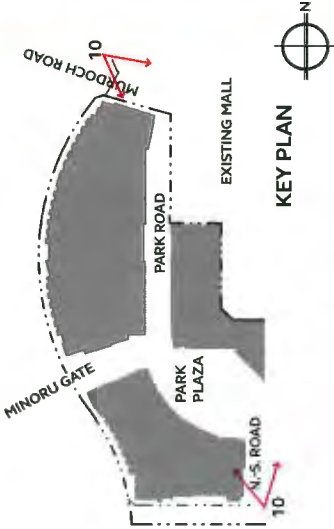
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11. MURDOCH ROAD ENTRY

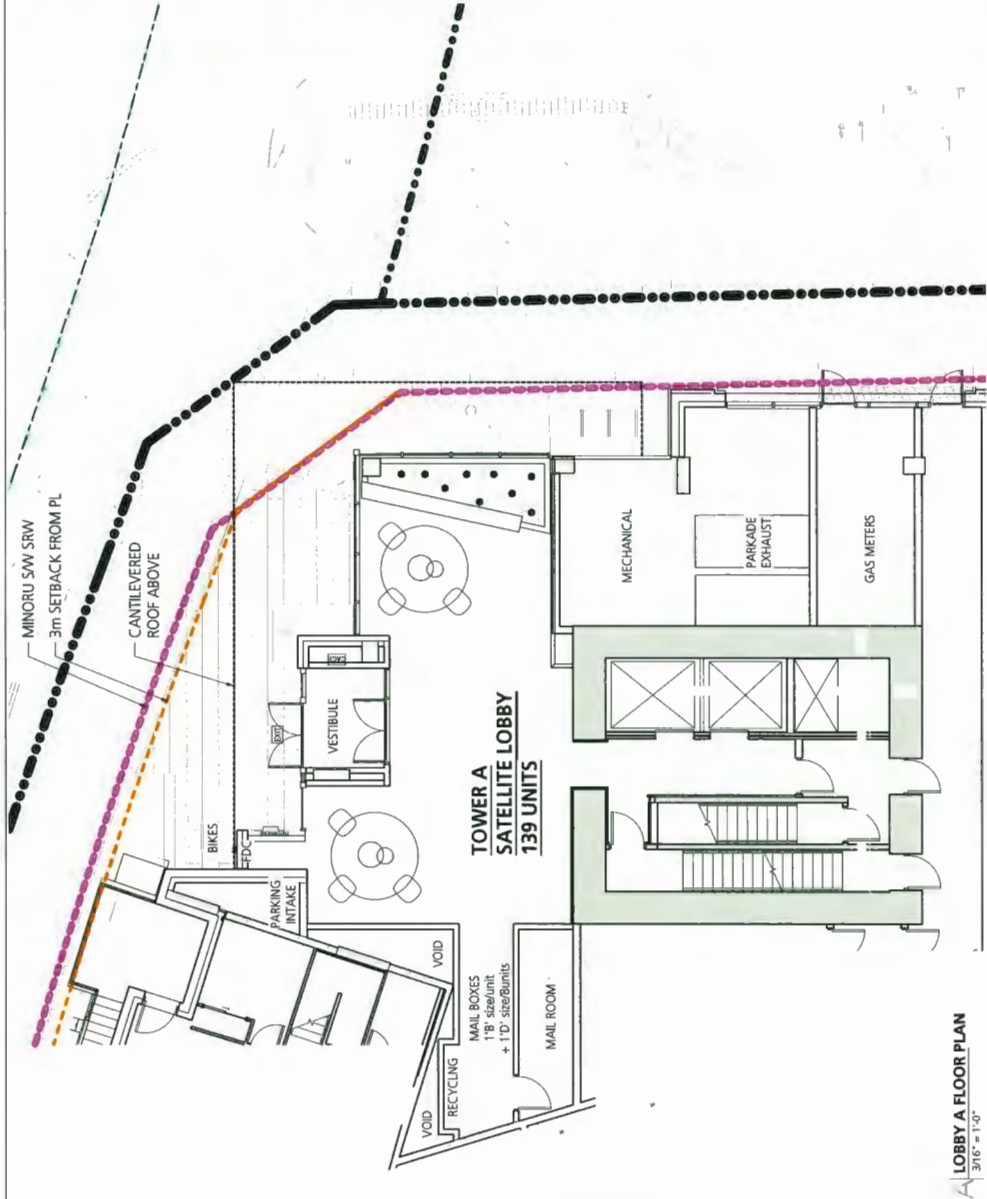


10. N-S ROAD EAST ENTRY



KEY PLAN





A LOBBY A FLOOR PLAN  
3/16" = 1'-0"



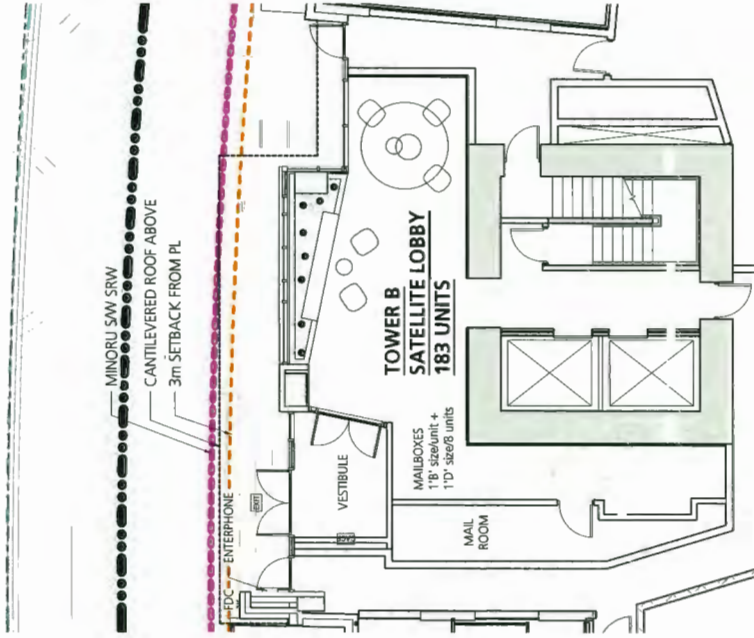
**CANTILEVERED ROOF**  
Public weather protection  
at corner & lobby entry

**LANDSCAPE**  
Planter with integrated  
seating connects from  
exterior to interior

**PUBLIC ART LOCATION**  
Art to be selected  
through Public Art  
Selection Process

**ACCENT MATERIAL**  
Roof soffit & lobby  
feature wall clad in  
brushed gold tinted  
porcelain panel

**LOBBY A FEATURES**  
Corner of Murdoch & Minoru Blvd.



B LOBBY B FLOOR PLAN  
3/16" = 1'-0"



**LANDSCAPE**  
Planter with integrated  
seating connects from  
exterior to interior

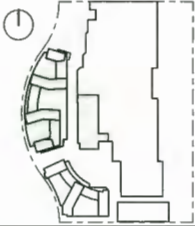
**CANTILEVERED ROOF**  
Public weather protection  
at lobby entry

**ACCENT MATERIAL**  
Roof soffit & lobby feature  
wall clad in brushed gold  
tinted porcelain panel

**LOBBY B FEATURES**  
Mid-Block Minoru Blvd.

gbl

# GBL ARCHITECTS INC.  
138 EAST 8TH AVENUE  
SUITE 200  
VANCOUVER, BC V6C 1A7  
TEL: 604 736 1156  
WWW.GBLARCHITECTS.COM



DP 17-768248  
MAY 29, 2019  
PLAN # 9b-1



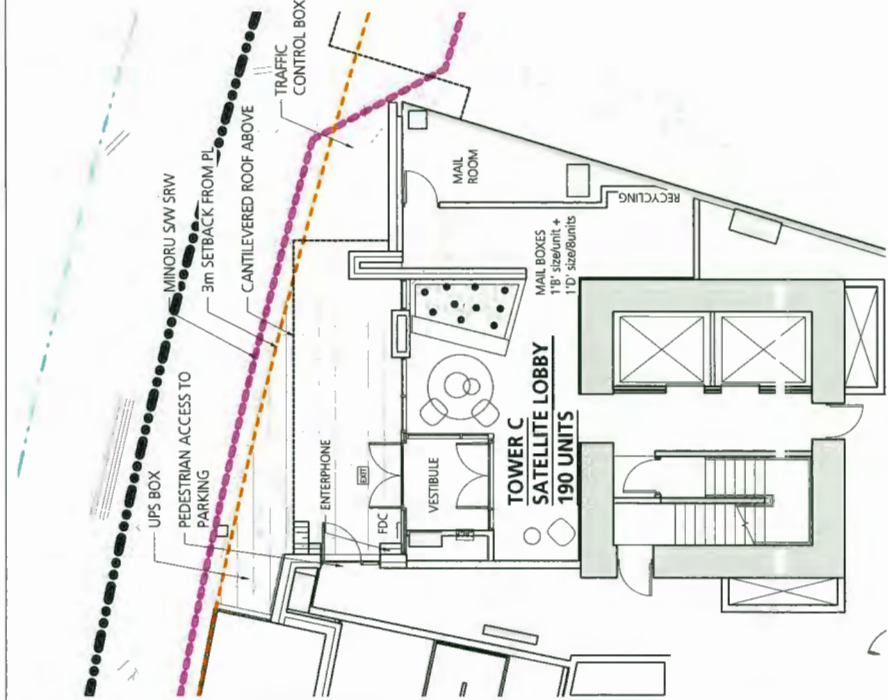
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-06-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 4
			DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A RESIDENTIAL  
LOBBIES

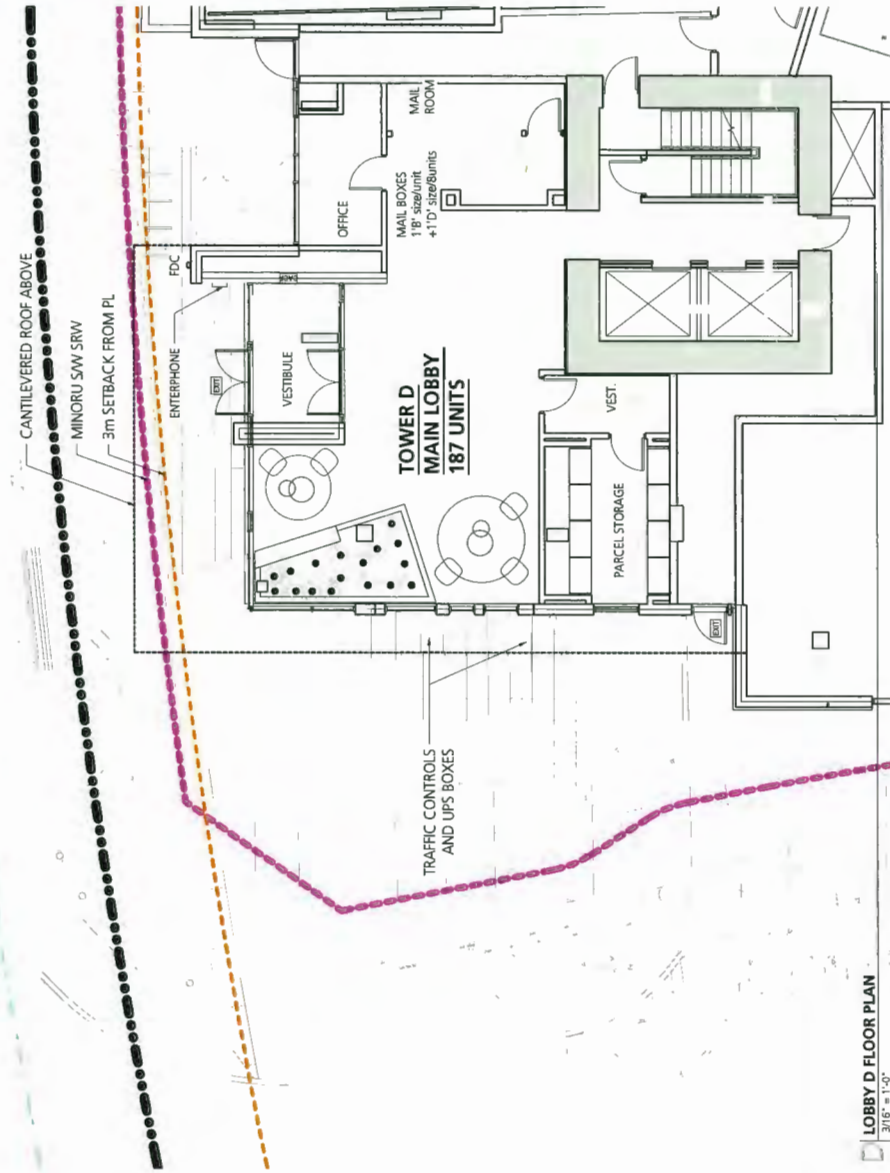
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DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: As indicated  
JOB NUMBER: 1686

A-9b.01





LOBBY C FLOOR PLAN  
3/16" = 1'-0"



LOBBY D FLOOR PLAN  
3/16" = 1'-0"



**CANTILEVERED ROOF**  
Public weather protection  
at lobby entry & parking  
access

**PUBLIC ART LOCATION**  
Art to be selected  
through Public Art  
Selection Process

**ACCENT MATERIAL**  
Roof soffit & lobby  
feature wall clad in  
brushed gold tinted  
porcelain panel

**PARKING ACCESS**  
Wayfinding & pedestrian  
access to parking (refer to  
Plan# 11f-3 for details)

**LOBBY C FEATURES**  
Mid-Block Minoru Blvd.

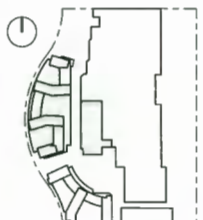
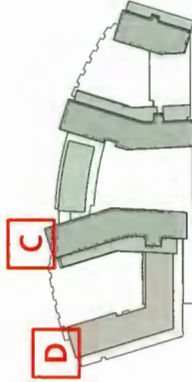


**ACCENT MATERIAL**  
Roof soffit & lobby  
feature wall clad in  
brushed gold tinted  
porcelain panel

**CANTILEVERED ROOF**  
Public weather protection  
at lobby entry

**LANDSCAPE**  
Planter with integrated  
seating connects from  
exterior to interior

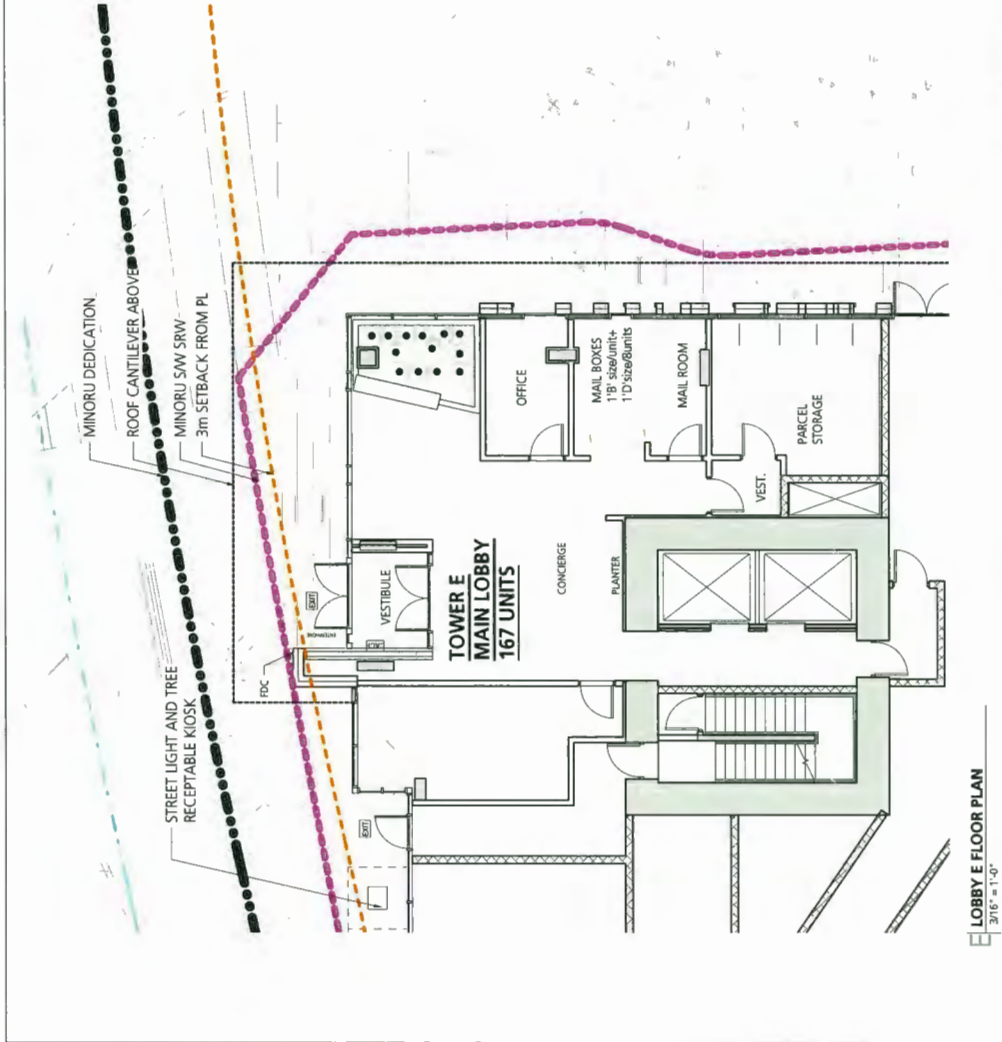
**LOBBY D FEATURES**  
Corner of Minoru Gate & Minoru Blvd.



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Paving
	5	2018-08-02	DP Application Rev. 2
	6	2018-08-02	DP Application Rev. 3
	7	2019-03-20	Progress for City Review
	8	2019-04-26	DP Application Rev. 4
	9	2019-05-03	Progress for City Review
	10	2019-05-03	DP Panel Submission

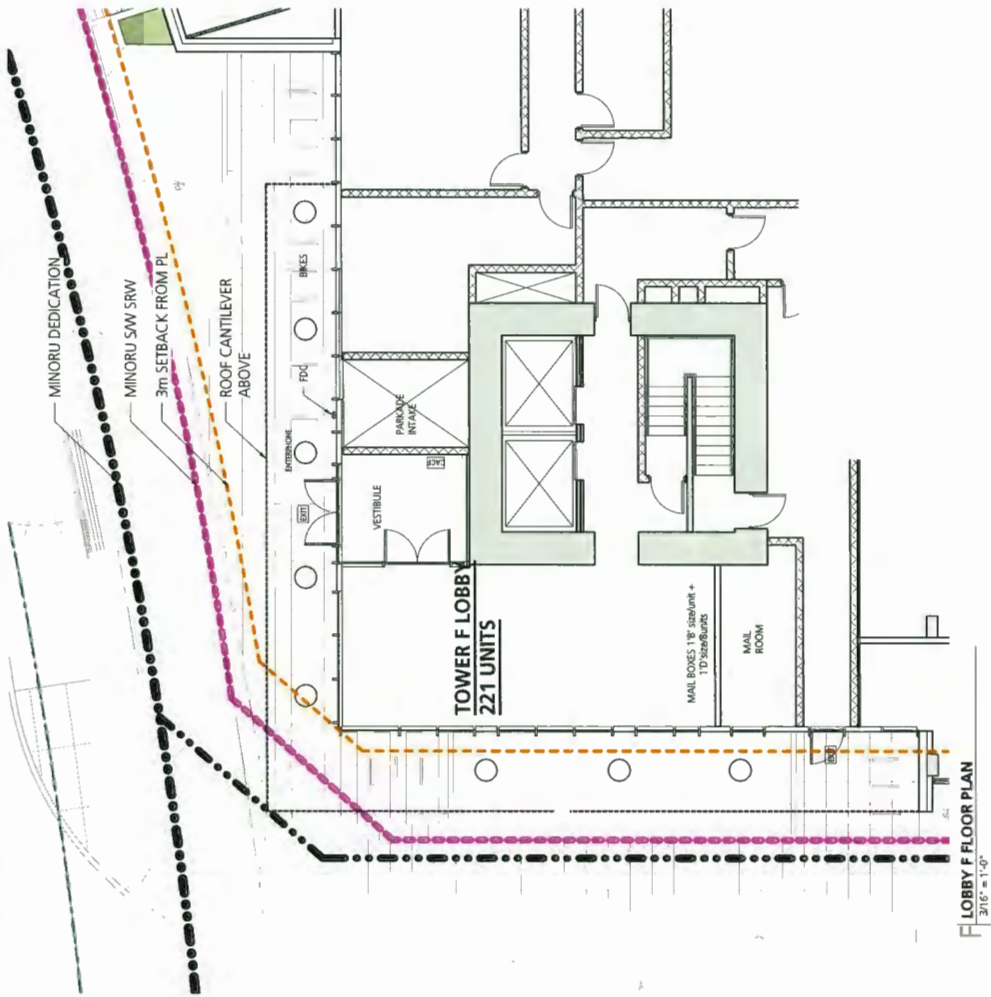
RICHMOND CENTRE	
PHASE 1	
PHASE 1	
1A RESIDENTIAL LOBBIES	
DATE	5/30/2019 3:44:13 PM
DRAWN BY	Author
CHECKED BY	Architect
SCALE	
JOB NUMBER	1686





- CANTILEVERED ROOF**  
Public weather protection at corner & lobby entry
- LANDSCAPE**  
Planter with integrated seating connects from exterior to interior
- PUBLIC ART LOCATION**  
Art to be selected through Public Art Selection Process
- ACCENT MATERIAL**  
Roof soffit & lobby feature wall clad in brushed gold tinted porcelain panel

**LOBBY E FEATURES**  
Corner of Minoru Gate & Minoru Blvd.

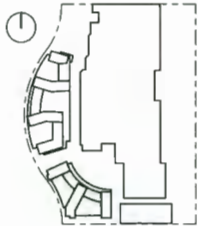


- PUBLIC ART LOCATION**  
Art to be selected through Public Art Selection Process
- COLUMNS**  
Expressed at ground level to elevate tower from ground plane
- CANTILEVERED ROOF**  
Public weather protection at lobby entry
- ACCENT MATERIAL**  
Roof soffit & lobby feature wall clad in brushed gold tinted porcelain panel

**LOBBY F FEATURES**  
Corner of Minoru Blvd. & East-West Road

gbl

© GBL ARCHITECTS INC.  
180 EAST BAY AVENUE, SUITE 100  
VANCOUVER, BC V6V 1A8  
TEL: 604.771.1175  
FAX: 604.771.1175  
NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 9b-3



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 4
	9	2019-05-03	DP Panel Submission

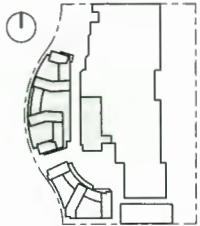
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PHASE 1
1B RESIDENTIAL LOBBIES
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DP 17-768248  
MAY 29, 2019  
PLAN # 9b-5



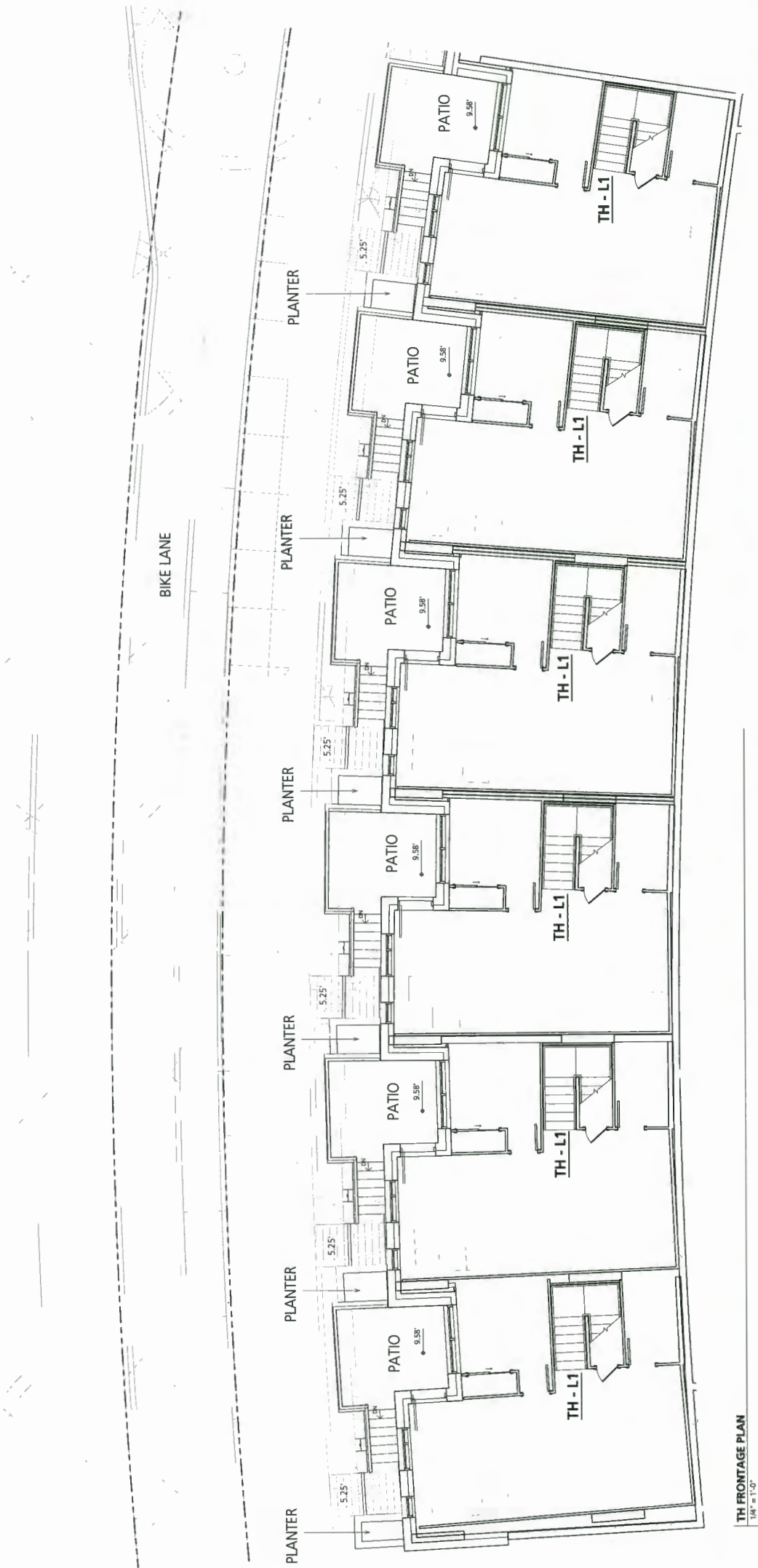
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 3
	9	2019-05-03	DP Permit Submission

RICHMOND CENTRE  
PHASE 1

PHASE 1  
TOWNHOUSE  
DETAILS

DATE	5/29/2019 5:25:09 PM
CHECKED BY	GBL
CHECKED BY	GBL
SCALE	1/4" = 1'-0"
JOB NUMBER	1686

A-9b.05



TH FRONTAGE PLAN  
1/4" = 1'-0"



TYPICAL TOWNHOUSE ELEVATION (MINORU)



TOWNHOUSES ACCESS (MINORU)





**1 | MURDOCH AVENUE - APPROACH FROM NORTH**

Pin lights at balcony fascia creates animation at night when approaching the site from the north on Minoru Blvd.

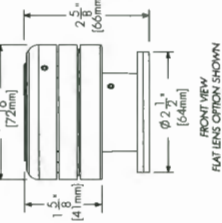
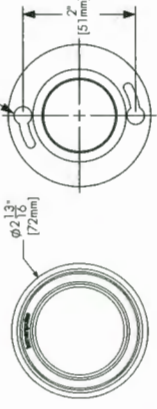


## 2 | MURDOCH AVENUE - CORNER AT MINORU VIEW

Lighting on balcony fascia becomes more pronounced while minimizing light pollution and disturbance to residents in and adjacent to tower.

## Specification Sheet

## WALL MOUNTING OPTION

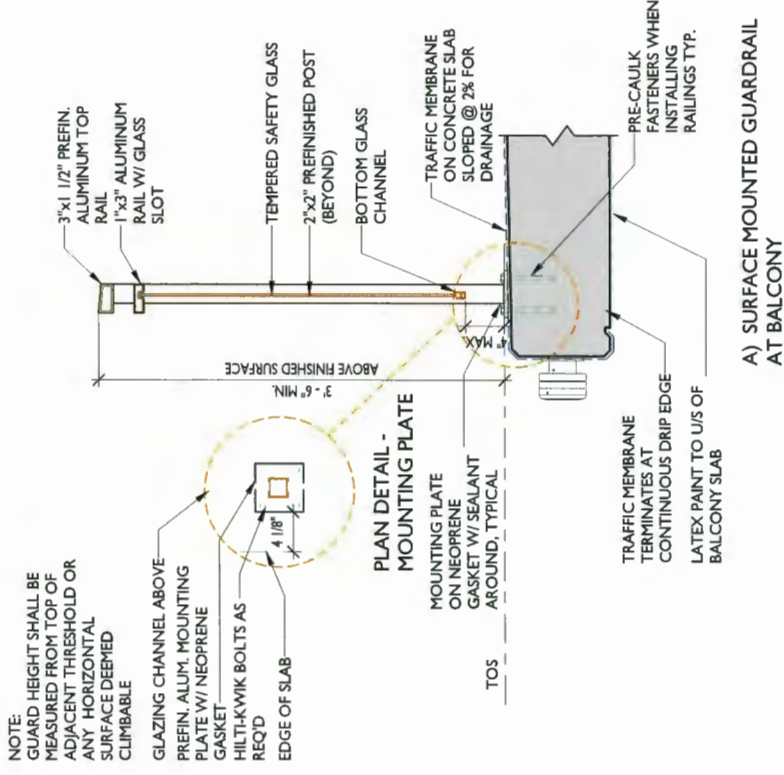


Wall Mount Option  
Mounting base  
screw hole pattern

FRONT VIEW  
FLAT LENS OPTION SHOWN

FLAT LENS OPTION SHOWN

Fixtures can be on a DMX system and programmed, allowing for subtle patterns to be used, without flashing or disturbing effects. This can also allow for daylight visible effects.



## BALCONY DETAIL



A) SURFACE MOUNTED GUARDRAIL  
AT BALCONY

REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit
2	2017-08-06	30% Design Set
3	2018-03-29	Progress for Pricing
4	2018-04-06	DF Application Rev. 1
5	2018-06-02	DF Application Rev. 2
6	2018-03-20	DF Application Rev. 3
7	2019-04-26	Progress for City Review
8	2019-05-03	DF Application Rev. 3
		Progress for City Review
		DF Permit Submission

RICHMOND CENTRE  
PHASE 1

## PHASE 1

TOWER A - LIGHTING

DATE 5/5/2019 5:35:10 PM  
DRAWN BY Author  
CHECKED BY Checker  
SCALE 1" = 100'-0"  
JOB NUMBER 1686

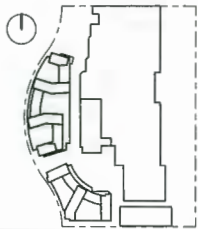




1 | MINORU FRONTAGE (TOWER A & B)



2 | MINORU STREETWALL AT MID-BLOCK

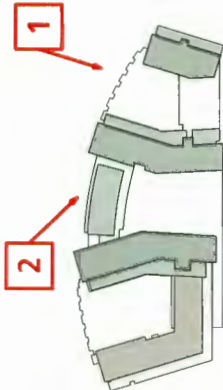


DP 17-768248  
MAY 29, 2019  
PLAN # 9b-7



REVIEWS	No.	Date	Description
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	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-04-06	DP Application Rev. 1
	6	2018-08-02	DP Application Rev. 2
	7	2019-03-20	DP Application Rev. 3
	8	2019-04-26	Progress for City Review
	9	2019-05-03	DP Application Rev. 3
	10	2019-05-03	DP Permit Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1A - TOWERS &  
STREETWALL  
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DRAWN BY: G.B.I. Architects Inc.  
CHECKED BY: G.B.I. Architects Inc.  
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JOB NUMBER: 1686







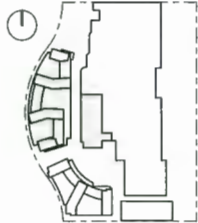
1 | TOWER C (MINORU BLVD)



2 | CORNER OF MINORU & MINORU GATE (TOWER D)

gbi

GBI ARCHITECTS INC.  
180 EAST 19TH AVENUE  
SUITE 1000  
DENVER, CO 80202  
TEL: 303.733.1155  
WWW.GBIARCHITECTS.COM



DP 17-768248  
MAY 29, 2019  
PLAN # 9b-8



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 35% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-05 Progress for Pricing
5	2018-08-02 DP Application Rev. 1
6	2018-08-02 DP Application Rev. 2
7	2019-03-20 DP Application Rev. 3
8	2019-04-26 Progress for City Review
9	2019-05-03 Progress for City Review
10	2019-05-03 DP Permit Submission

RICHMOND CENTRE  
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JOB NUMBER 1686

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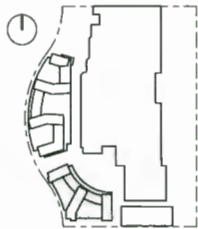




1 | MINORU AT EW ROAD (TOWER F)



2 | MINORU AT MINORU GATE (TOWER E)



DP 17-768248  
MAY 29, 2019  
PLAN # 9b-9



REVISIONS	
No.	Description
1	2017-03-31 Development Permit
2	2017-06-08 35% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-06 DP Application Rev. 1
5	2018-04-06 DP Application Rev. 1
6	2019-03-20 DP Application Rev. 2
7	2019-04-26 DP Application Rev. 3
8	2019-05-03 DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
1B - TOWERS &  
STREETWALL  
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JOB NUMBER: 1686-87





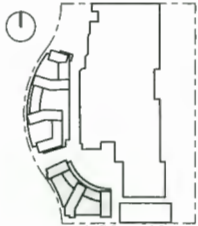
1 | AFFORDABLE HOUSING AT EW & N'S ROAD (TOWER G)



2 | EAST-WEST ROAD STREETWALL

gbi

G.B.I. ARCHITECTS, INC.  
138 EAST 87th AVENUE  
NEW YORK, NY 10019  
TEL: 646-218-1158  
WWW.GBI-ARCHITECTS.COM  
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DP 17-768248  
MAY 29, 2019  
PLAN # 9b-10



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 35% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-06 Progress for Pricing
5	2018-08-02 DP Application Rev. 1
6	2018-08-02 DP Application Rev. 2
7	2019-03-20 Progress for City Review
8	2019-04-26 Progress for City Review
9	2019-05-03 DP Permit Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
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STREETWALL  
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JOB NUMBER: 1686-87

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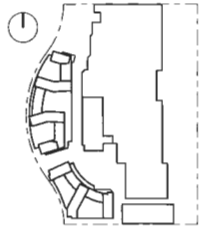
Phase 1 Minimum Stage-by-Stage Prior-to-First-Occupancy Requirements					
Occupancy Stage	#1	#2	#3	#4	#5
Building (Phase)	1C / Retail & Below Grade (Parking)	1B / Retail	1A / Retail	1B / Residential	1A / Residential
A. Affordable Housing Building				Complete	
B. Basic Universal Housing (BUH) Units				Complete portion on 1B	Complete portion on 1A
C. Residential Amenity Space - Outdoor				Complete portion on 1B	Complete portion on 1A
D. Residential Amenity Space - Indoor				Complete portion on 1B	Complete portion on 1A
E. Public Art		Complete portion within the SRW Park Road Plaza	Complete 1A/Retail portion	Complete portion within the Minoru Blvd SRW on 1B	Complete portion within the Minoru Blvd SRW on 1A
F. Parking		Complete 1B/Retail portion	Complete 1A/Retail portion	Complete 1B/Residential portion	Complete 1A/Residential portion
G. Commercial Class 1 Bike Storage/EV & End-of-Trip Facilities for Tenants & Employees			Complete		
H. Residential Class 1 Bike Storage/EV & Bike Maintenance Facilities				Complete portion on 1B	Complete portion on 1A
I. Class 2 Bike Storage		Complete portion along 1B's retail frontage & within the SRW Park Road Plaza & comprising part of the Mobility Hub	Complete portion along 1A's retail frontage	Complete portion along 1B's residential frontage	Complete portion along 1A's residential frontage
J. Loading	Complete Building 1C loading at interim 1C loading location on Lot 2	Complete Building 1B Loading Requirements	Complete Building 1A & Building 1C Loading Requirements		
K. Waste Management	Complete 1C/Retail portion	Complete 1B/Retail portion	Complete BOTH 1A/Retail portion & 1A/Residential pick-up/holding @ Level 1	Complete 1B/Residential portion	Complete outstanding 1A/Residential portion
L. DEU	If required for retail, complete DEU on 1C	If required for retail, complete DEU on 1B	If required for retail, complete DEU on 1A	If not completed in stage #2, complete DEU on 1B	If not completed in stage #3, complete DEU on 1A
M. Servicing Agreement – SRW Park Road Plaza		Complete			
N. Servicing Agreement – SRW Mobility Hub		Complete			
O. Servicing Agreement – SRW Roads		Complete portions fronting 1B	Complete portions fronting 1A		
P. Canada Line Access Improvements	Complete public access through existing mall	Complete Servicing Agreement works			
Q. Servicing Agreement – Off-Site Roads	Along Minoru Blvd, complete ultimate road works & temporary works behind the curb	Complete all ultimate works required with respect to 1B	Complete all ultimate works required with respect to 1A		
R. Servicing Agreement – Engineering Works	Complete				
S. Improved Public Access through Existing Mall	Complete				

Lot 1 Occupancy Staging Plan – Definition of Terms:

**Lot 1 Minimum Stage-by-Stage Prior-to-First-Occupancy Requirements** means those features required to be complete to the satisfaction of the City prior to first occupancy, in whole or in part, of a Building (Phase) and shall include:
 

- All features identified with respect to the applicable occupancy stage (e.g., Occupancy Stage #3); together with
- All features identified with respect to any and all prior stages (e.g., Occupancy Stage #1 and #2).

- A. **Affordable Housing Building (PLAN #11a)** means those features required to satisfy the affordable housing requirements for Lot 1 to the satisfaction of the City and in accordance with the Housing Agreement and covenant registered on title, which shall include the stand-alone building comprising part of Building (Phase) 1B containing affordable (low-end-of-market) housing units and all related spaces and uses intended for the exclusive use of the affordable housing occupants (e.g., circulation, indoor amenity space, parking, bike storage, electric vehicle charging facilities, and waste management facilities) and for the shared use of the affordable housing occupants with residents of the market ownership dwellings located on Lot 1 (e.g., outdoor amenity space on Building (Phase) 1B, parking access, and waste management facilities).
- B. **Basic Universal Housing (BUH) Units (PLAN #11b)** means those dwelling units on Lot 1 required to provide Basic Universal Housing Features in accordance with the Zoning Bylaw as determined to the City's satisfaction through the approved Development Permit.
- C. **Residential Amenity Space – Outdoor (PLAN #11c)** means those features required to satisfy Official Community Plan (OCP) and City Centre Area Plan (CCAP) requirements, including the amount, distribution, and design of outdoor amenity spaces and uses on Lot 1 as determined to the satisfaction of the City through the approved Development Permit.
- D. **Residential Amenity Space – Indoor (PLAN #11d)** means those features required to satisfy Official Community Plan (OCP) and City Centre Area Plan (CCAP) requirements, together with additional required indoor amenities (i.e. dog run/wash and bike repair/maintenance facilities), including the amount, distribution, and design of indoor amenity spaces and uses on Lot 1 as determined to the satisfaction of the City through the approved Development Permit.
- E. **Public Art (PLAN #11e)** means those features required to satisfy the Detailed Public Art Plan requirements for Lot 1 with respect to public art located within the SRW Park Road Plaza, screening of the above grade parkade comprising part of Building (Phase) 1A, and artworks along the Minoru Boulevard SRW residential frontages of Building (Phase) 1A and Building (Phase) 1B to the satisfaction of the City and in accordance with legal agreement(s) registered on title.
- F. **Parking (PLAN #11f)** means those features required to satisfy Zoning Bylaw requirements for residential and non-residential parking, including the use, amount, distribution, and design of parking on Lot 1 as determined to the City's satisfaction through the approved Development Permit.
- G. **Commercial Class 1 Bike Storage/EV & End-of-Trip Facilities for Tenants & Employees (PLAN #11g)** means those features required to satisfy the Transportation Demand Management (TDM) requirements for Lot 1 with respect to the provision of co-located cycling-related features for the use of commercial tenants, business operators, and employees to the satisfaction of the City and in accordance with legal agreement(s) registered on title. For clarity, this excludes Commercial Class 1 Bike Storage required for public use as part of the Mobility Hub (PLAN #11m).
- H. **Residential Class 1 Bike Storage/EV & Bike Maintenance Facilities (PLAN #11h)** means those features required to satisfy the Transportation Demand Management (TDM) requirements for Lot 1 with respect to the provision of co-located cycling-related features for the use of residents to the satisfaction of the City and in accordance with legal agreement(s) registered on title.
- I. **Class 2 Bike Storage (PLAN #11i)** means those features required to satisfy Zoning Bylaw requirements, including the use, amount, distribution, and design of bike racks and lockers for public use on Lot 1 as determined to the City's satisfaction through the approved Development Permit.
- J. **Loading (PLAN #11j)** means those features required to satisfy minimum Zoning Bylaw requirements for new residential and commercial uses on Lot 1, in coordination with loading requirements for existing commercial uses on Lot 2 and Remainder Lot A, as determined to the satisfaction of the City through the approved Development Permit
- K. **Waste Management (PLAN #11k)** means those features required to meet the waste management requirements with respect to commercial and residential uses on Lot 1 as determined to the satisfaction of the City through the approved Development Permit.
- L. **DEU (PLAN #11l)** means those features required to satisfy the District Energy Utility requirements for Lot 1 to the satisfaction of the City and in accordance with legal agreement(s) registered on title.
- M. **Servicing Agreement – SRW Park Road Plaza (PLAN #11m)** means those privately-owned open space works required with respect to the development of Lot 1 that are secured for public use by a statutory right-of-way(s) registered on title and subject to a Servicing Agreement.
- N. **Servicing Agreement – SRW Mobility Hub (PLAN #11n)** means those privately-owned transportation-related works required with respect to the development of Lot 1 that are secured for public use by a statutory right-of-way(s) registered on title and subject to a Servicing Agreement, in whole or in part.
- O. **Servicing Agreement – SRW Roads (PLAN #11o)** means those privately-owned road works required with respect to the development of Lot 1 that are secured for public use by a statutory right-of-way(s) registered on title and subject to a Servicing Agreement.
- P. **Canada Line Access Improvements (PLAN #11p)** means those features required to improve public access between Minoru Boulevard and the Richmond Brighthouse Canada Line Station to the satisfaction of the City and in accordance with legal agreement(s) registered on title including, but not limited to:
 
  - During transit operating hours, secured public access through the Galleria portion of the existing shopping mall on Remnant Lot A; and
  - Servicing Agreement interim improvements along a portion of the No. 3 Road frontage of Remnant Lot A and on-site between No. 3 Road and the existing mall.
- Q. **Servicing Agreement – Off-Site Roads** means those City-owned road works and related transportation works required with respect to the development of Lot 1 and subject to a Servicing Agreement
- R. **Servicing Agreement – Engineering Works** means those City-owned utility works and related engineering works required with respect to the development of Lot 1 and subject to a Servicing Agreement.
- S. **Improved Public Access through Existing Mall** means the “Cross-Mall Public Pedestrian Access” required with respect to OCP Amendment Consideration #2.6.2 (CP 16-752923)



DP 17-768248  
 MAY 29, 2019  
 PLAN # 10



REVISONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-04-08	Application Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-06-20	DP Application Rev. 1
	6	2018-08-20	DP Application Rev. 2
	7	2019-03-20	DP Application Rev. 3
	8	2019-04-26	Progress for City Review
	9	2019-05-03	DP Application Rev. 4
	10	2019-05-03	DP Application Rev. 5
	11	2019-05-03	DP Application Rev. 6
	12	2019-05-03	DP Application Rev. 7
	13	2019-05-03	DP Application Rev. 8
	14	2019-05-03	DP Application Rev. 9
	15	2019-05-03	DP Application Rev. 10
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	17	2019-05-03	DP Application Rev. 12
	18	2019-05-03	DP Application Rev. 13
	19	2019-05-03	DP Application Rev. 14
	20	2019-05-03	DP Application Rev. 15
	21	2019-05-03	DP Application Rev. 16
	22	2019-05-03	DP Application Rev. 17
	23	2019-05-03	DP Application Rev. 18
	24	2019-05-03	DP Application Rev. 19
	25	2019-05-03	DP Application Rev. 20
	26	2019-05-03	DP Application Rev. 21
	27	2019-05-03	DP Application Rev. 22
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	29	2019-05-03	DP Application Rev. 24
	30	2019-05-03	DP Application Rev. 25
	31	2019-05-03	DP Application Rev. 26
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	51	2019-05-03	DP Application Rev. 46
	52	2019-05-03	DP Application Rev. 47
	53	2019-05-03	DP Application Rev. 48
	54	2019-05-03	DP Application Rev. 49
	55	2019-05-03	DP Application Rev. 50
	56	2019-05-03	DP Application Rev. 51
	57	2019-05-03	DP Application Rev. 52
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	68	2019-05-03	DP Application Rev. 63
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	84	2019-05-03	DP Application Rev. 79
	85	2019-05-03	DP Application Rev. 80
	86	2019-05-03	DP Application Rev. 81
	87	2019-05-03	DP Application Rev. 82
	88	2019-05-03	DP Application Rev. 83
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	90	2019-05-03	DP Application Rev. 85
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	96	2019-05-03	DP Application Rev. 91
	97	2019-05-03	DP Application Rev. 92
	98	2019-05-03	DP Application Rev. 93
	99	2019-05-03	DP Application Rev. 94
	100	2019-05-03	DP Application Rev. 95

RICHMOND CENTRE	
PHASE 1	
PHASE 1	
OCCUPANCY	
STAGING PLAN	
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CHECKED BY	gbl
SCALE	1" = 30'-0"
JOB NUMBER	1686-87

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**DP 17-768248**  
MAY 29, 2019  
**PLAN # 11a-1**



REVIEWS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-26	Progress for Pricing
5	2018-08-02	DP Application Rev. 2
6	2018-09-20	DP Application Rev. 3
7	2019-03-20	Progress for City Review
8	2019-05-03	DP Application Rev. 4
		Progress for City Review
		DP Permit Submission

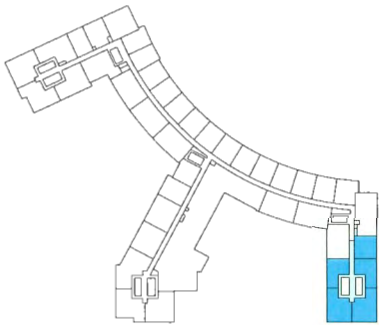
RICHMOND CENTRE  
PHASE 1

## PHASE 1

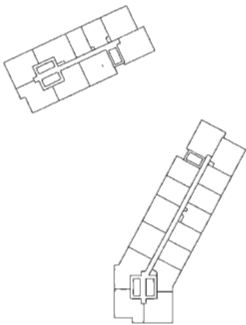
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JOB NUMBER 1686-87

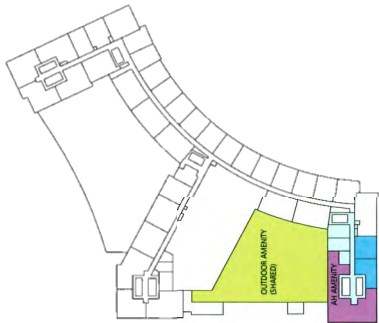
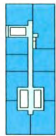
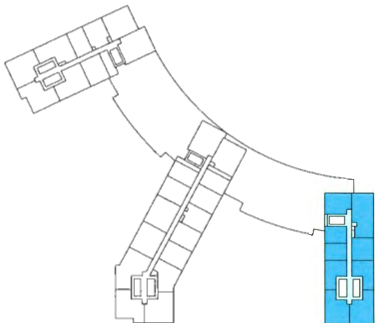
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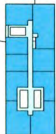
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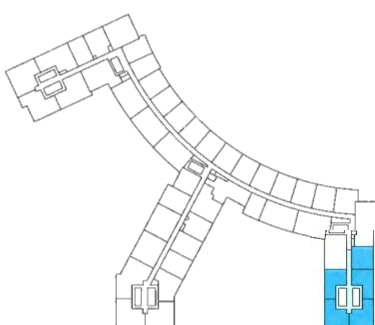
**AH - L9-11**  
1" = 60'-0"


$$\frac{AH - L2}{1''} = 60'-0''$$


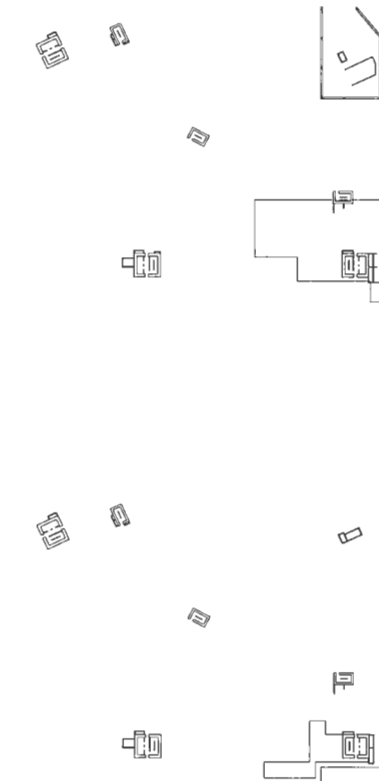
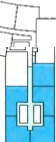
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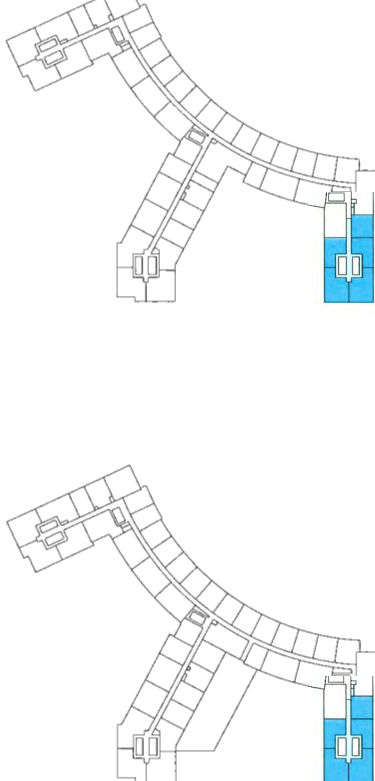
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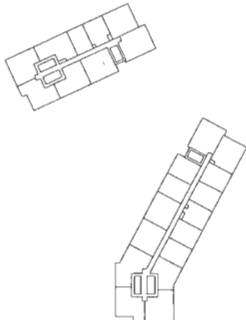
**AH - L6-7**



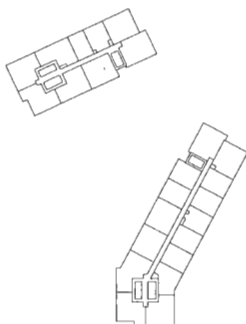
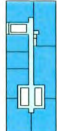
**AH - PB.**  
 **$1^{\circ} = 60' - 0''$**



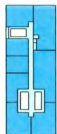
AH - L4



AH - L13	1" = 60'-0"
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**AH - L12**  
1" = 60'-0"



UNIT COUNT - AH MIX			
AH UNIT COUNT - STUDIO + 1BR			
UNIT TYPE	HABITABLE FLOOR AREA	COUNT	
STUDIO	4,851 SF	12	15%
1 BEDROOM	20,128 SF	37	47%
SUB-TOTAL	24,980 SF	49	62%
AH UNIT COUNT - 2BR + 3BR (FAMILY FRIENDLY UNITS)			
UNIT TYPE	HABITABLE FLOOR AREA	COUNT	
2 BEDROOM	16,345 SF	22	28%
3 BEDROOM	8,106 SF	8	10%
SUB-TOTAL	24,451 SF	30	38%
TOTAL	49,431 SF	79	100%

FLOOR AREA - AH COMPONENT		
	AREA TYPE	AREA
AH UNIT (AH Habitable Dwelling Units)		49,431 SF
AMENITY (Indoor Residential Amenity Space)		2,029 SF
CIRCULATION		10,020 SF
RESIDENTIAL SERVICE		492 SF
SUB-TOTAL		61,972 SF
ADDITIONAL AREAS EXCLUDED FROM FAR CALCULATIONS		
	AREA TYPE	AREA
CORE EXCLUSION		4,843 SF
RESIDENTIAL SERVICE EXCLUSION *		1,086 SF
SUB-TOTAL		5,928 SF
TOTAL		67,900 SF

\* SERVICE AREA EXCLUDED ARE OUTSIDE THE PARKING STRUCTURE

AH RESIDENTIAL PARKING SPACES - PROVIDED		COUNT
	TYPE	
	Accessible (Van) Affordable Housing	1
	Regular Affordable Housing	14
	Small Car Affordable Housing	15
TOTAL AH PARKING SPACES		30

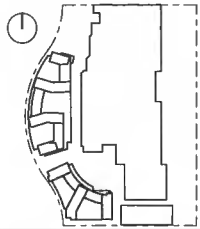
BIKE TYPE	BIKE SPACES - PROVIDED	COUNT
Bike Locker Residential		51
Horizontal Residential		51
OVER-SIZED Bike Locker Residential		16
Vertical Residential		40
TOTAL		158

AH RESIDENTIAL PARKING SPACES - REQUIRED					
# AH UNITS	COUNCIL-APPROVED REDUCED AH RATE & 25% TDM	MIN. # PARKING SPACES	MIN. # ACCESSIBLE SPACES	MAX. # SMALL CAR SPACES	ENERGIZED EV CHARGING STATIONS (240V)
79	0.5/unit – 25% = 0.375/unit	30	1 Van-Accessible Space with marked walkway (2% of spaces)	15 (50% OF SPACES)	30 (100% OF SPACES)

# AH UNITS	COUNCIL-APPROVED INCREASED AH RATE	AH RESIDENTIAL CLASS 1 BIKE SPACES - REQUIRED		
		MIN. # CLASS 1 BIKE SPACES	OVER-SIZED BIKE LOCKERS (FOR FAMILY USE & LOW-POWERED VEHICLES)	MIN. # OVER-SIZED BIKE LOCKERS
79	2.0 bikes/unit	158.0	10% OF SPACES	16

<p>ENERGIZED EV CHARGING STATIONS (120V) DUPLEX OUTLETS FOR SHARED USE)</p>	<p>BIKE MAINTENANCE &amp; REPAIR FACILITY (FOR EXCLUSIVE AH USE)</p>
<p>10% OF SPACES</p>	<p>1*</p>

\* The bike repair elements shall include (i) bike repair stand with a set of tools, (ii) foot-operated pump with a pressure gauge, and (iii) faucet, hose and drain for washing bikes.



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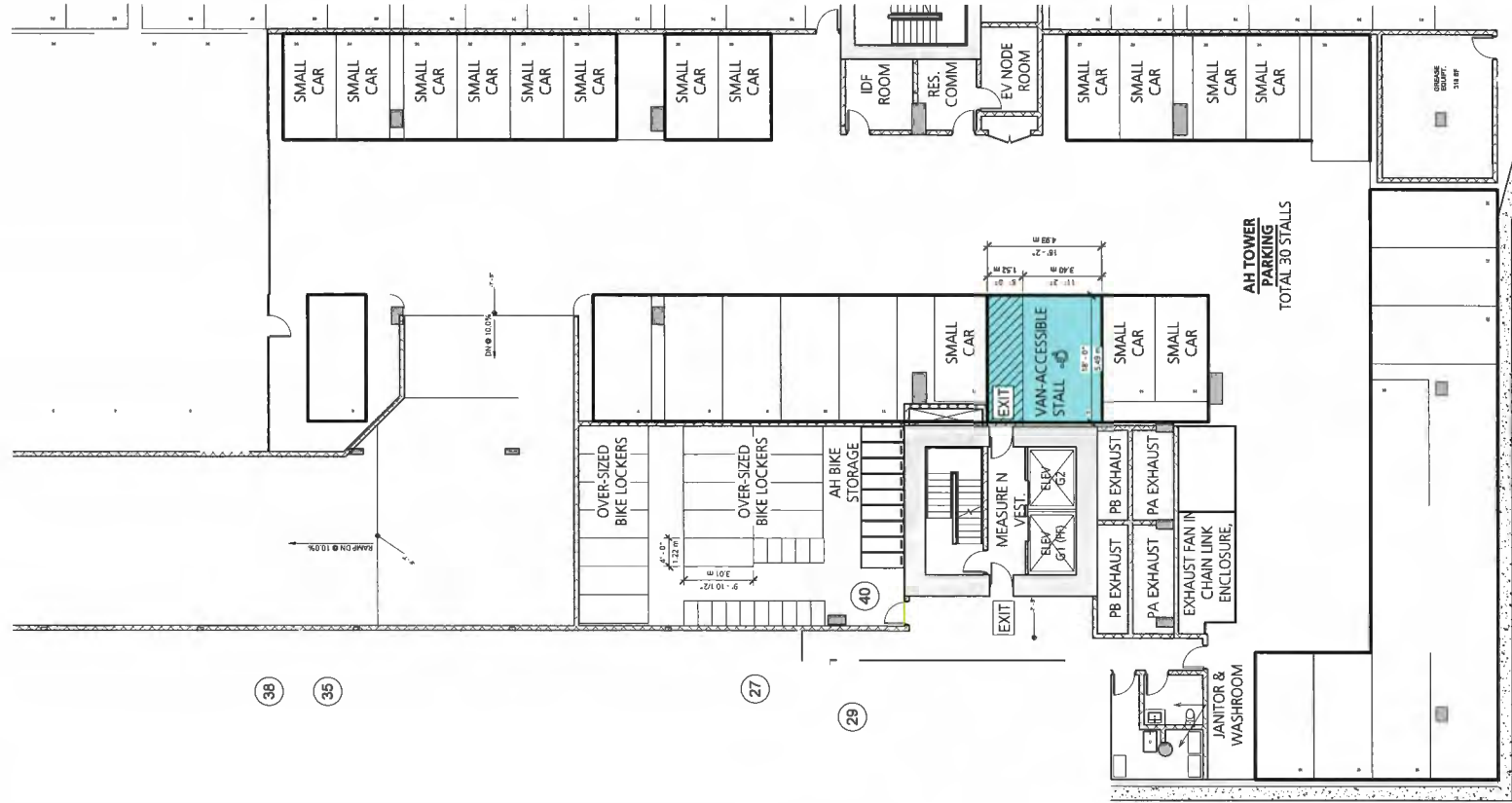


REV	No.	Date	Description
1	2017-03-31	2017-03-31	Development Permit Application
2	2017-08-08	2017-08-08	30% Design Set
3	2018-03-29	2018-03-29	DP Application Rev. 1
4	2018-04-06	2018-04-06	DP Application Rev. 2
5	2018-08-02	2018-08-02	DP Application Rev. 1
6	2018-08-02	2018-08-02	DP Application Rev. 2
7	2019-04-26	2019-04-26	DP Application Rev. 3
8	2019-05-03	2019-05-03	Progress for City Review

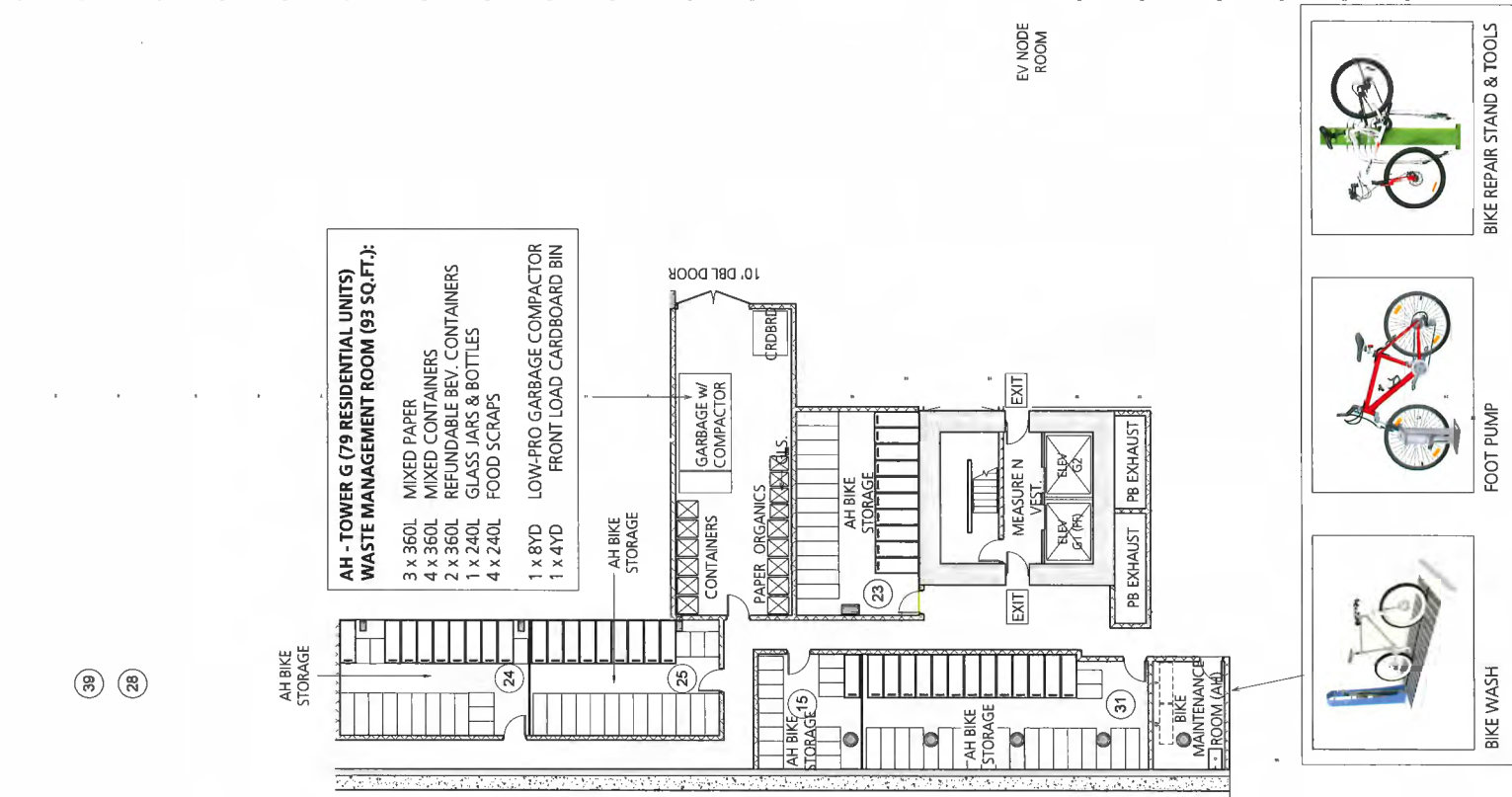
RICHMOND CENTRE  
PHASE 1  
PHASE 1  
AH TOWER PLANS

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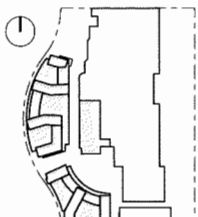
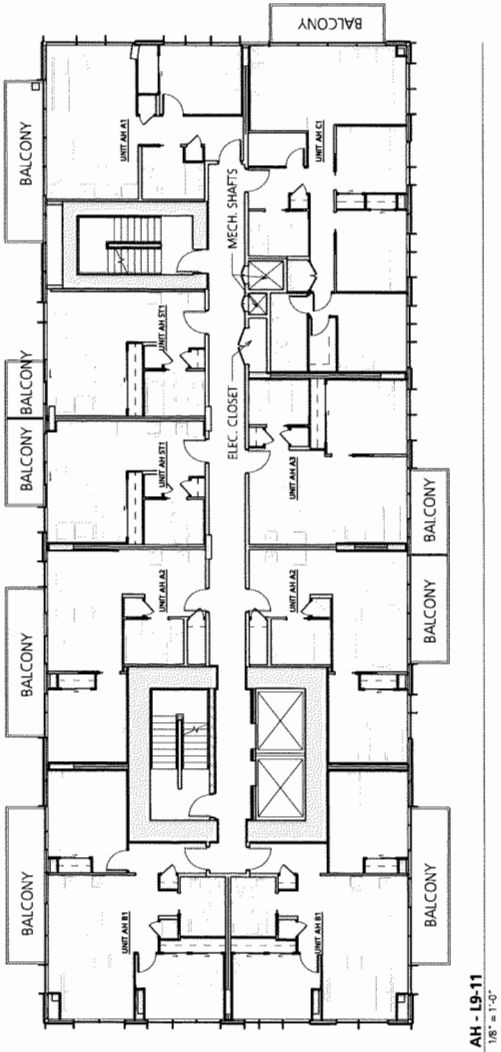
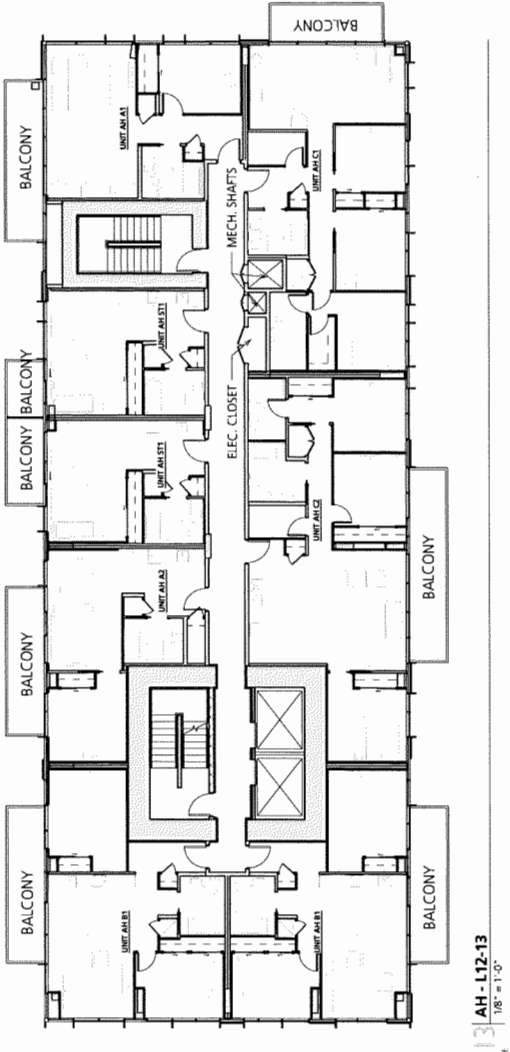
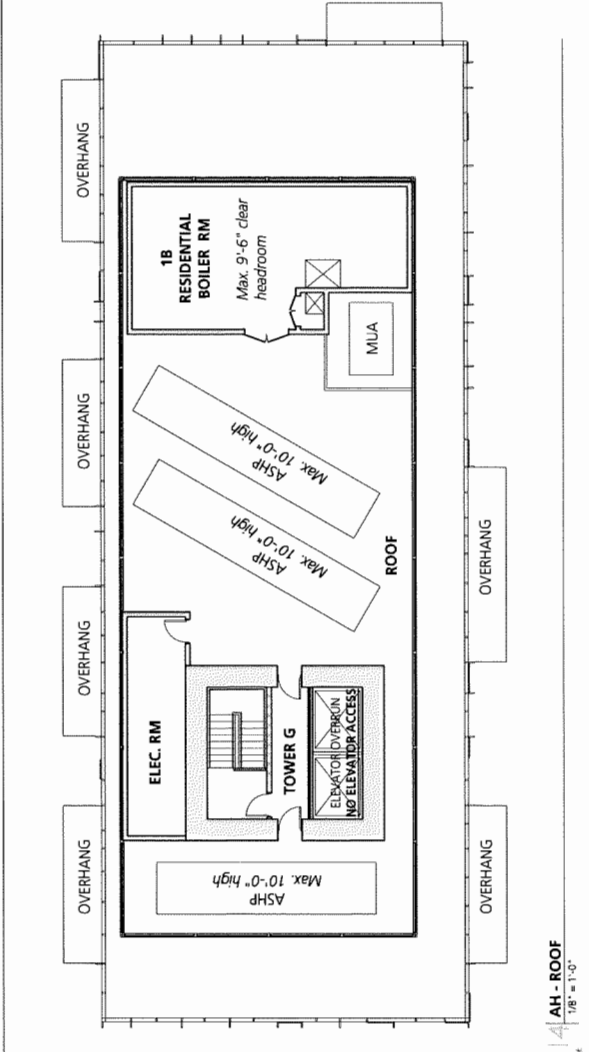
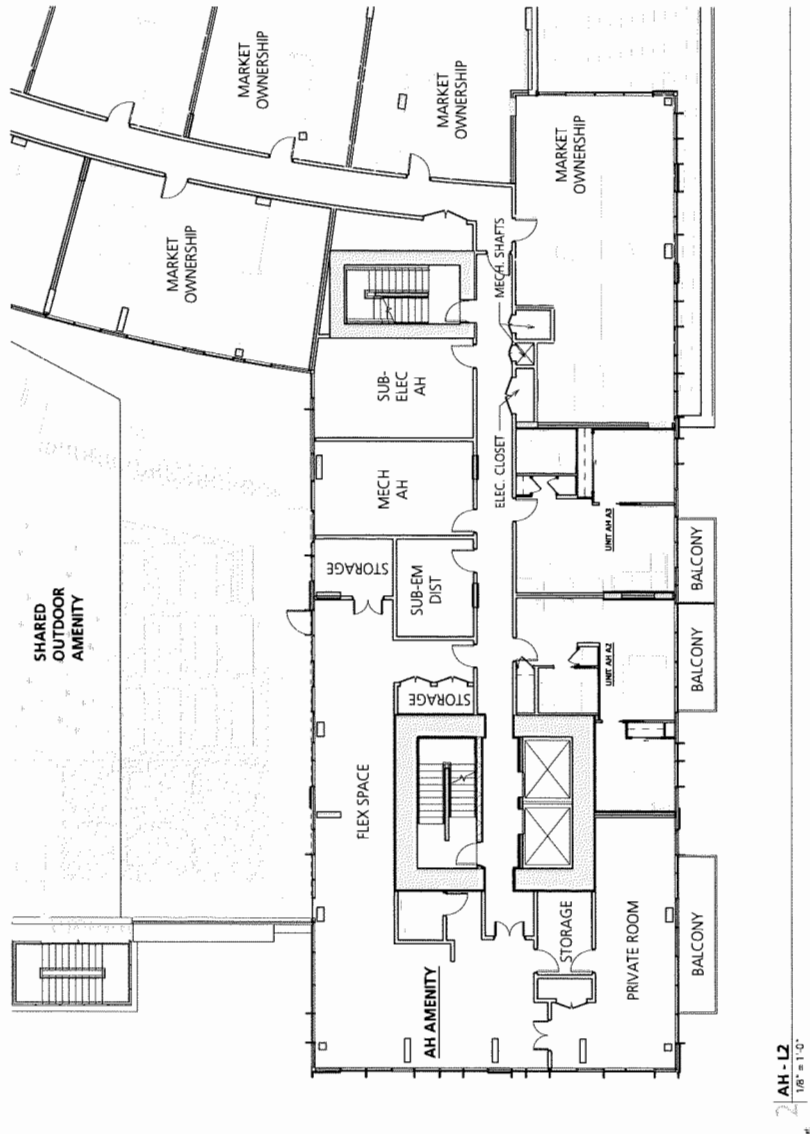
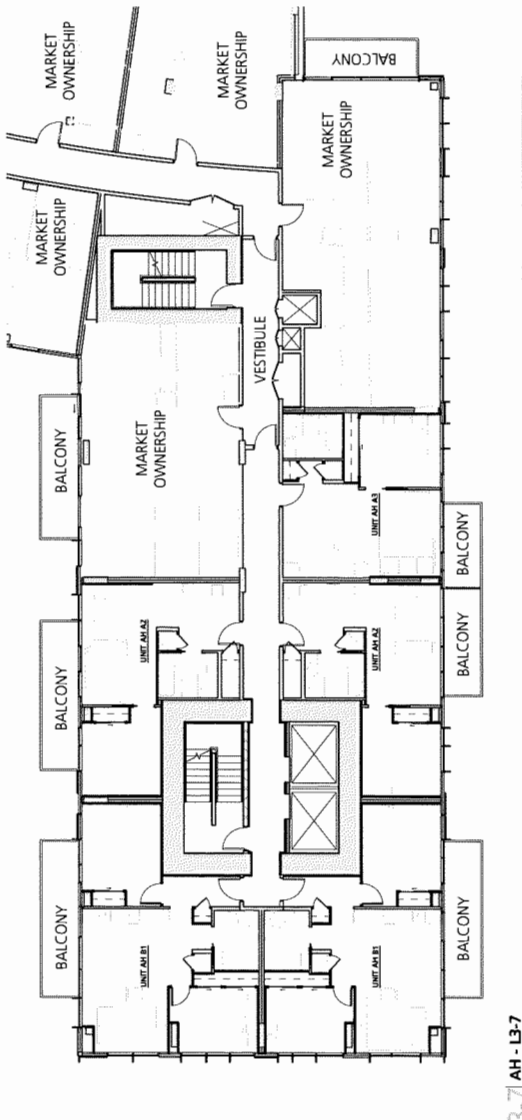
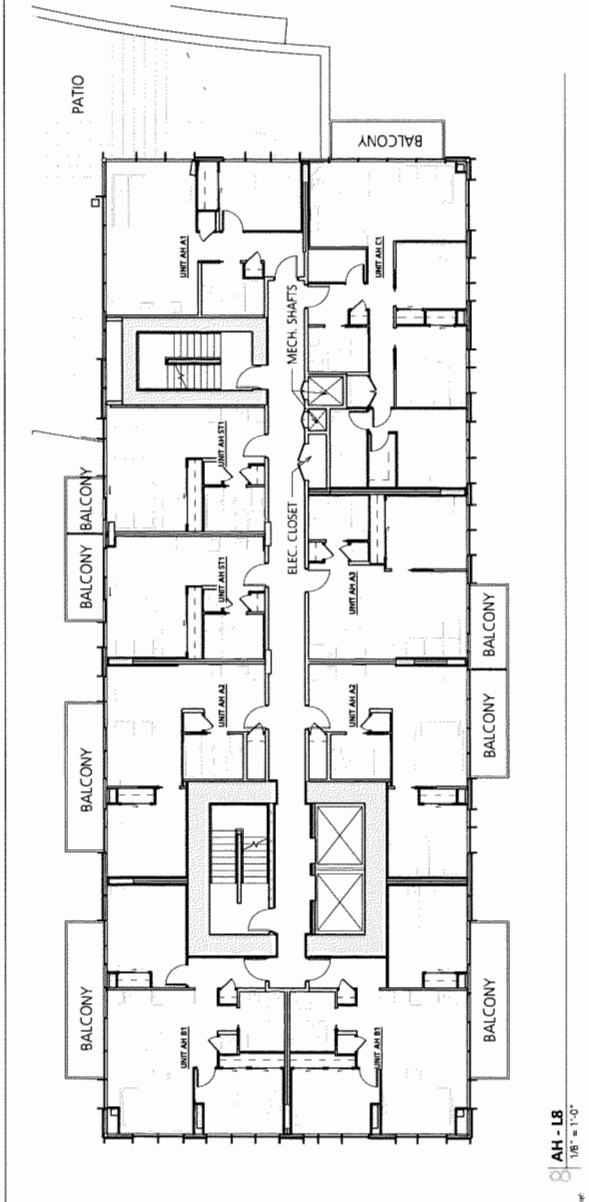
LOBBY G - FLOOR PLAN  
1/8" = 1'-0"



PA AH - PA  
1/8" = 1'-0"

PB AH - PB  
1/8" = 1'-0"





DP 17-768248  
MAY 29, 2019  
PLAN # 11a-3



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Permit Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for CIP Review
	8	2019-05-03	DP Panel Submission

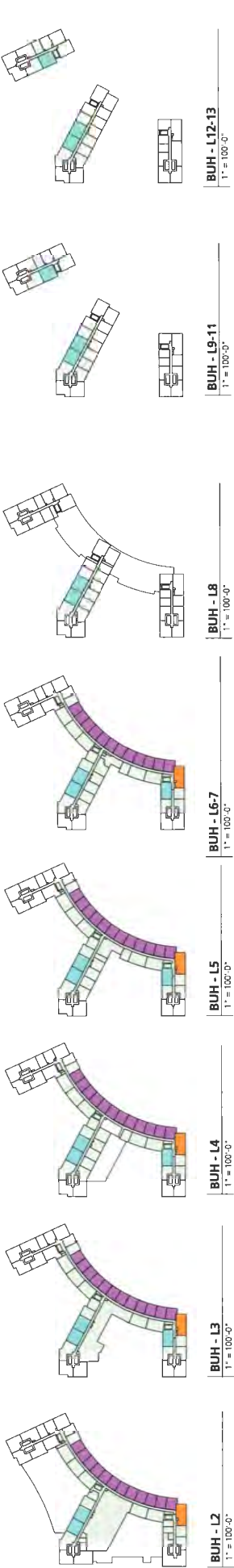
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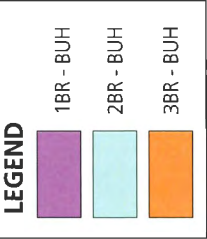


BUILDING 1B - BUH UNITS



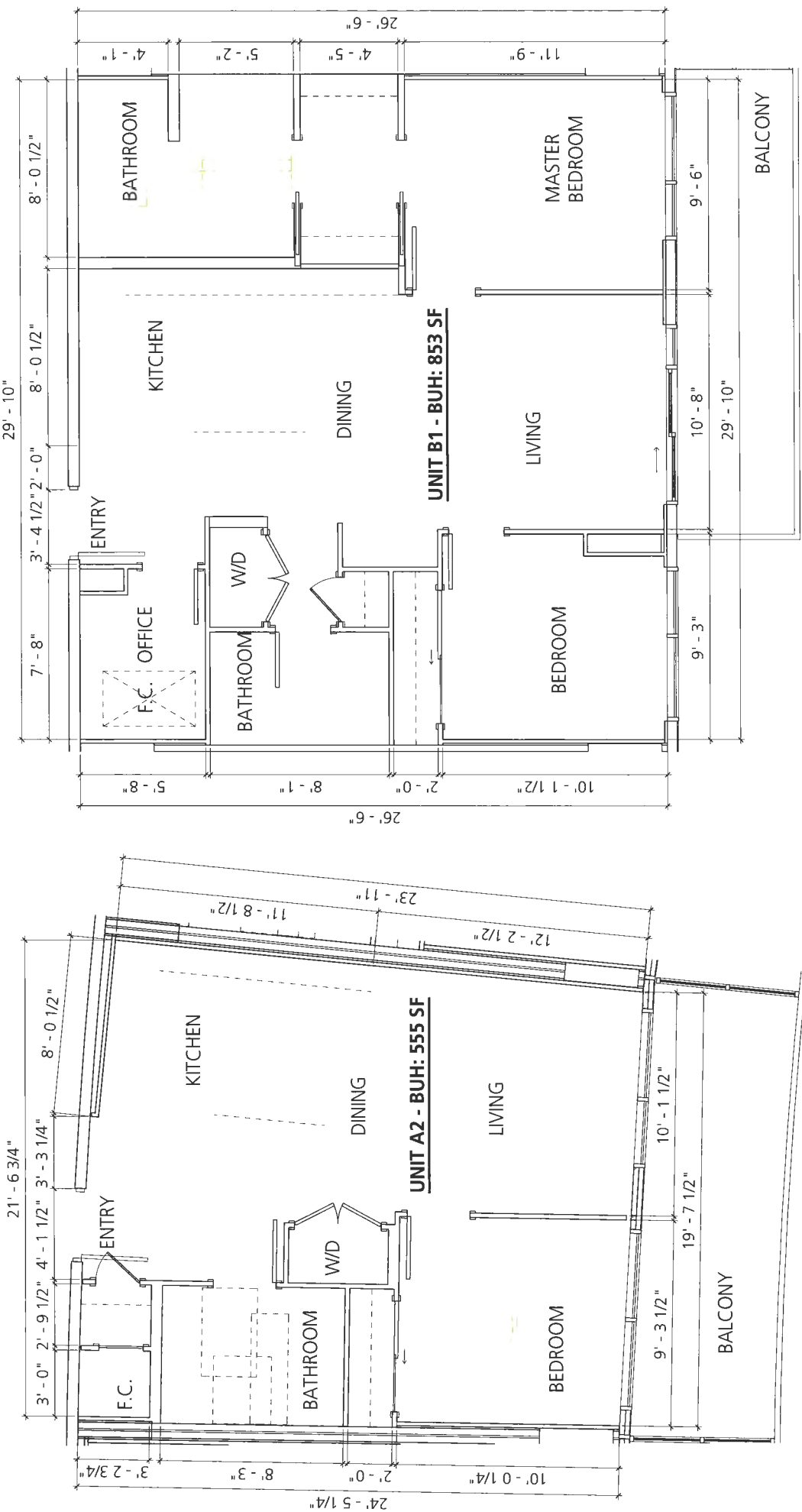
AGING-IN-PLACE UNITS

- ALL NON-BUH SUITES WILL INCORPORATE AGING IN PLACE FEATURES INCLUDING:
- STAIRWELL HANDRAILS WHERE STAIRS ARE PROVIDED;
  - LEVER TYPE HANDLES FOR: PLUMBING FIXTURES; DOOR HANDLES;
  - SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATHTUB AND SHOWER.



UNIT COUNT - BUH UNITS		
NAME	COUNT	AREA
A2 - BUH	72	554 SF ...
B36 - BUH	5	805 SF
B1 - BUH	29	852 SF ...
C14 - BUH	6	990 SF ...
TOTAL	112	

TYPICAL BUH UNITS



UNIT A2 - BUH - BUILDING 1B  
1/2" = 1'-0"

UNIT B1 - BUH - BUILDING 1B  
1/2" = 1'-0"

BASIC UNIVERSAL HOUSING REQUIREMENTS:  
"BUILT FOR AGES" UNITS THAT ARE REQUIRED TO COMPLY WITH THE RICHMOND ZONING BY-LAW AND MUST INCORPORATE "BASIC UNIVERSAL HOUSING FEATURES":

- 1) AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN BUILDING ENTRY (MAIN LOBBY & VESTIBULES).
- 2) ROUGH-IN WIRING FOR AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED AT EACH UNIT ENTRY DOOR.
- 3) THE MINIMUM CLEAR OPENING FOR ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 850mm (WHICH WILL BE PROVIDED BY A SWING DOOR).
- 4) THE MINIMUM CLEAR OPENING FOR INTERIOR DOORS TO AT LEAST ONE BEDROOM AND ONE ACCESSIBLE BATHROOM IN EVERY BUH DWELLING UNIT SHALL BE NO LESS THAN 800mm.
- 5) DOORS IN EVERY DWELLING UNIT AND COMMON AREAS SHALL BE OPERABLE BY DEVICES THAT DO NOT REQUIRE TIGHT GRASPING OR TWISTING OF WRIST.
- 6) FLUSH THRESHOLDS THROUGHOUT THE BUILDING SHALL BE A MAXIMUM OF 13mm IN HEIGHT.
- 7) THE ABOVE NOTED REQUIREMENTS FOR DOORS DO NOT APPLY TO MECHANICAL ROOMS, SERVICE AREAS, CLOSETS, ETC. WHERE THROUGH ACCESS IS NOT REQUIRED AND ACCESS TO A PERSON WITH A DISABILITY IS NOT ANTICIPATED.
- 8) ENTRY DOORS TO EVERY DWELLING UNIT AND DOOR ASSEMBLIES IN COMMON AREAS SHALL HAVE A CLEAR AND LEVEL AREA WHICH IS NOT LESS THAN THE FOLLOWING:  
a) WHERE THE DOOR SWINGS TOWARD THE AREA (PULL DOOR), 1500mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 300mm CLEAR SPACE ON THE LATCH SIDE.  
b) WHERE THE DOOR SWINGS AWAY FROM THE AREA (PUSH DOOR), 1220mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 300mm CLEAR SPACE ON THE LATCH SIDE.  
c) WHERE THERE ARE DOORS IN A SERIES IN COMMON AREAS, THERE MUST BE SEPARATION OF 1500mm BETWEEN EACH DOOR.  
d) ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENT TO PROVIDE THE 1220mm LONG CLEAR AREA AND 300mm CLEAR SPACE IF BEING IN BUILDINGS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER.
- 9) CORRIDOR WIDTHS:  
a) COMMON CORRIDORS SHALL BE NO LESS THAN 1200mm WIDE AND PROVIDE A CLEAR AREA 1500mm x 1500mm ADJACENT TO THE ELEVATOR ENTRANCE.
- 10) FLOOR SURFACES:  
a) FLOOR SURFACES THROUGHOUT THE BUILDING SHALL HAVE NO ABRUPT CHANGES IN LEVEL OR A MAXIMUM OF 13mm IN HEIGHT.  
b) FLOOR SURFACES SHALL BE SLIP RESISTANT.  
c) FLOOR SURFACES SHALL BE SLIP RESISTANT.
- 11) FLOOR SURFACES SHALL BE SLIP RESISTANT.
- 12) WHERE CARPETS ARE USED, THEY MUST BE FIRMLY FIXED, HAVE A FIRM UNDERLAY AND PILE UNDER 13mm IN HEIGHT.

- WINDOWS:**
- 13) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750mm ABOVE THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.
  - 14) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND WITHOUT THE NEED FOR TIGHT GRASPING, PINCHING OR TWISTING OF THE UNIT.

- OUTLETS AND SWITCHES:**
- 15) ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT MORE THAN 450mm FROM THE FLOOR OR NOT MORE THAN 1200mm FROM THE FLOOR.
  - 16) ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT MORE THAN 450mm FROM THE FLOOR OR NOT MORE THAN 1200mm.
  - 17) THERMOSTATS SHALL BE LOCATED BETWEEN 900mm TO 1200mm FROM THE FLOOR.
  - 18) THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF THE CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750mm.
  - 19) LIGHT SWITCHES WILL BE ROCKER OR PADDLE TYPE SWITCHES.

- BATHROOMS:**
- 20) BATHROOMS SHALL:  
a) HAVE A TOILET POSITIONED WITH THE CENTRE LINE OF THE TOILET 420mm TO 480mm FROM A SIDE WALL ON WHICH A GRAB BAR CAN BE INSTALLED, AT LEAST 510mm FROM ANY OBSTRUCTION ON THE NON GRAB BAR SIDE AND AT LEAST 800mm FROM ANY OBSTRUCTION ON THE GRAB BAR SIDE.
  - b) HAVE A CLEAR AREA IN FRONT OF THE SINK OF 750mm BY 1220mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK.
  - c) HAVE A MINIMUM CLEAR AREA OF 510mm IN DEPTH ALONG THE FULL LENGTH OF THE BATHING AREA.
  - d) HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALL AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS.
  - e) INCLUDE EASY TO GRASP HANDLES ON FAUCETS, E.G. LEVER-TYPE FAUCETS.

- 21) WHERE BATHROOMS ARE PROVIDED TO SERVE A COMMON AMENITY SPACE, AT LEAST ONE TOILET SHALL BE PROVIDED FOR EACH SEX AND ONE TOILET SHALL BE LOCATED AT THE TOP OF THE RM OF THE TOILET IN THAT ONE BATHROOM SHALL BE 480mm ABOVE THE FLOOR.
- 22) THE KITCHEN MUST HAVE:  
a) USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSSED BY PEOPLE WITH LIMITED REACH AND MOBILITY.  
b) COUNTERS, CUPBOARDS, ETC. SHALL BE LOCATED BETWEEN THE STOVE AND SINK, ADJUSTABLE SHELVES IN ALL CABINETS, PULL-OUT WORK BOARDS AT 810mm HEIGHT, AND PULL-OUT CABINET SHELVES;  
c) BEADY TO GRASP HANDLES ON FAUCETS, E.G. LEVER-TYPE FAUCETS;  
d) TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS; AND  
e) PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE FOR A POTENTIAL 810mm WIDE CLEARANCE FOR A PERSON WITH LIMITED REACH AND MOBILITY TO ACCESS THE COUNTER SPACE AND SINKS TO BEING UNIVERSALLY ACCESSIBLE FOR KNEE SPACE UNDER THE SINK WHERE THERE IS A COUNTER TOP STOVE BUILT IN.

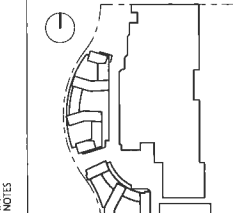
- BEDROOM AND CLOSET:**
- 23) THE SPACE AROUND A BED IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500mm ON ONE SIDE OF A DOUBLE BED.
  - 24) THE CLOTHES CLOSET IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 810mm WIDE AND 1500mm HIGH AND A MINIMUM CLEARANCE OF 1500mm AND A CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200mm.

- PATIOS AND BALCONIES:**
- 25) ACCESS DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 800mm.
  - 26) MINIMUM DIMENSIONS OF ANY BALCONY OR PATIO SHALL BE 1500mm BY 1500mm. THIS REQUIREMENT DOES NOT APPLY TO "JULIET" OR "THINCH" BALCONY OR PATIO.

- KITCHENS:**
- 27) THE KITCHEN MUST HAVE:  
a) USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSSED BY PEOPLE WITH LIMITED REACH AND MOBILITY.  
b) COUNTERS, CUPBOARDS, ETC. SHALL BE LOCATED BETWEEN THE STOVE AND SINK, ADJUSTABLE SHELVES IN ALL CABINETS, PULL-OUT WORK BOARDS AT 810mm HEIGHT, AND PULL-OUT CABINET SHELVES;  
c) BEADY TO GRASP HANDLES ON FAUCETS, E.G. LEVER-TYPE FAUCETS;  
d) TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS; AND  
e) PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE FOR A POTENTIAL 810mm WIDE CLEARANCE FOR A PERSON WITH LIMITED REACH AND MOBILITY TO ACCESS THE COUNTER SPACE AND SINKS TO BEING UNIVERSALLY ACCESSIBLE FOR KNEE SPACE UNDER THE SINK WHERE THERE IS A COUNTER TOP STOVE BUILT IN.

- BEDROOM AND CLOSET:**
- 28) THE SPACE AROUND A BED IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500mm ON ONE SIDE OF A DOUBLE BED.
  - 29) THE CLOTHES CLOSET IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 810mm WIDE AND 1500mm HIGH AND A MINIMUM CLEARANCE OF 1500mm AND A CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200mm.

- PATIOS AND BALCONIES:**
- 30) ACCESS DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 800mm.
  - 31) MINIMUM DIMENSIONS OF ANY BALCONY OR PATIO SHALL BE 1500mm BY 1500mm. THIS REQUIREMENT DOES NOT APPLY TO "JULIET" OR "THINCH" BALCONY OR PATIO.



DP 17-768248

MAY 29, 2019

PLAN # 11b-2



REVISIONS	No.	Date	Description
1	2017-03-31		Development Permit Application
2	2017-08-08		30% Design Set
3	2018-03-25		Development Permit Progress for Pricing
4	2018-04-06		DP Application Rev. 1
5	2018-08-02		DP Application Rev. 2
6	2019-03-10		DP Application Rev. 3
7	2019-04-26		DP Application Rev. 3
8	2019-05-03		DP Permit Submission

RICHMOND CENTRE  
PHASE 1

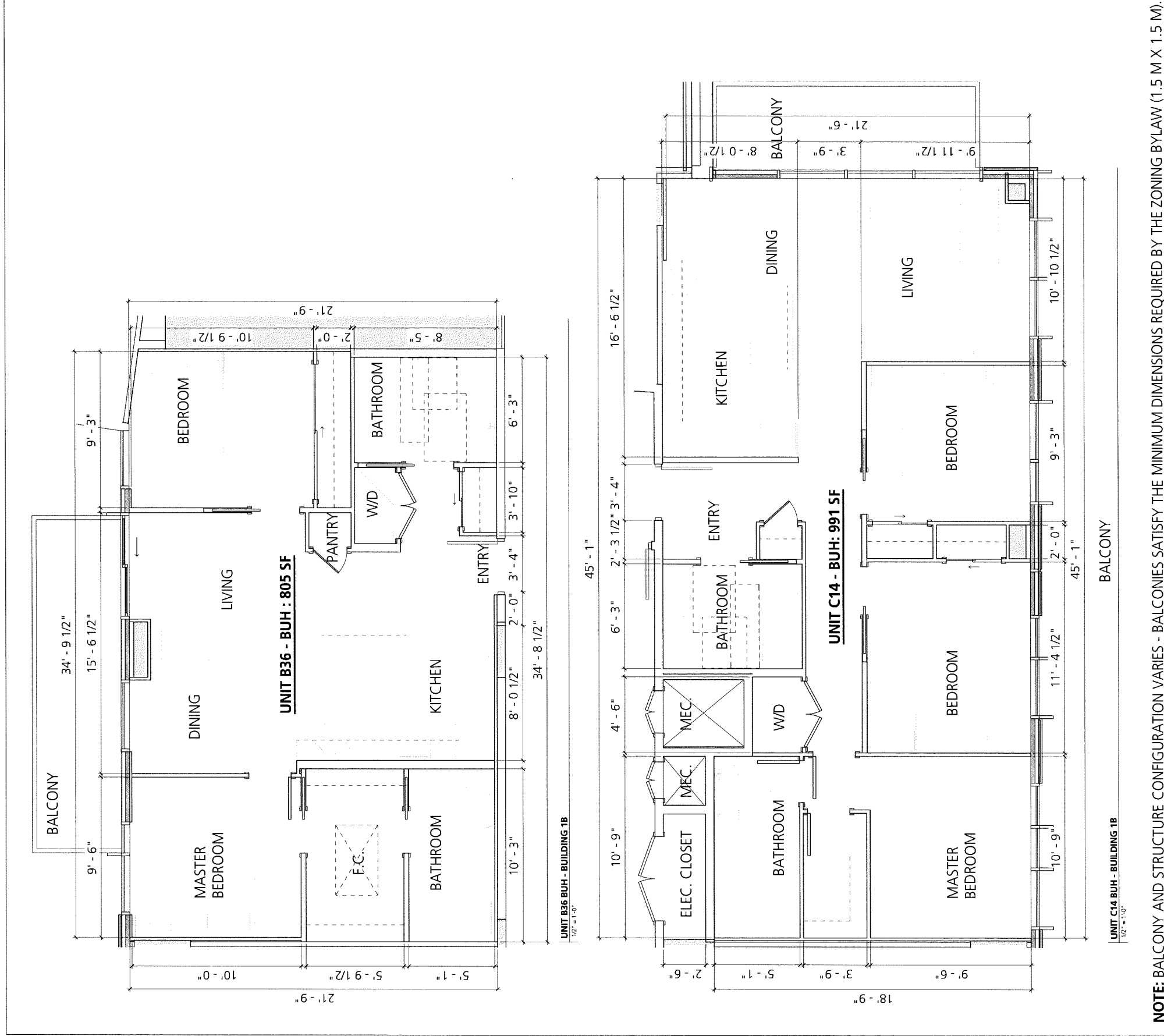
PHASE 1

BUH UNITS -  
BUILDING 1B

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SCALE	As indicated
JOB NUMBER	1686-87

A-11B.02

NOTE: BALCONY AND STRUCTURE CONFIGURATION VARIES - BALCONIES SATISFY THE MINIMUM DIMENSIONS REQUIRED BY THE ZONING BYLAW (1.5 M X 1.5 M).



NOTE: BALCONY AND STRUCTURE CONFIGURATION VARIES - BALCONIES SATISFY THE MINIMUM DIMENSIONS REQUIRED BY THE ZONING BYLAW (1.5 M X 1.5 M).

**BASIC UNIVERSAL HOUSING REQUIREMENTS:**  
BUP SERVICES UNITS THAT ARE REQUIRED TO COMPLY WITH THE RICHMOND ZONING BYLAW MUST INCORPORATE "BASIC UNIVERSAL HOUSING FEATURES":

- 1) AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN BUILDING ENTRY (MAIN LOBBY & VESTIBULES).
- 2) ROUGH-IN WIRING FOR AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED AT EACH UNIT ENTRY DOOR.
- 3) THE MINIMUM CLEAR OPENING FOR ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 800mm (WHICH WILL BE PROVIDED BY A SWING DOOR).
- 4) THE MINIMUM CLEAR OPENING FOR INTERIOR DOORS TO AT LEAST ONE BEDROOM AND ONE ACCESSIBLE BATHROOM IN EVERY BUH DWELLING UNIT SHALL BE NO LESS THAN 800mm.
- 5) DOORS IN EVERY DWELLING UNIT AND COMMON AREAS SHALL BE OPERABLE BY DEVICES THAT DO NOT REQUIRE TIGHT GRASPING OR TWISTING OF WRIST.
- 6) FLUSH THRESHOLDS THROUGHOUT THE BUILDING SHALL BE A MAXIMUM OF 13mm IN HEIGHT.
- 7) THE ABOVE-NOTED REQUIREMENTS FOR DOORS DO NOT APPLY TO MECHANICAL ROOMS, SERVICE AREAS, CLOSETS, ETC. WHERE THROUGH ACCESS IS NOT REQUIRED AND ACCESS TO A PERSON WITH A DISABILITY IS NOT ANTICIPATED.
- 8) ENTRY DOORS TO EVERY DWELLING UNIT AND DOOR ASSEMBLIES IN COMMON AREAS SHALL HAVE A CLEAR AND LEVEL AREA WHICH IS NOT LESS THAN THE FOLLOWING:  
a) WHERE THE DOOR SWINGS TOWARD THE AREA (PULL DOOR), 1500mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 300mm CLEAR SPACE ON THE LATCH SIDE.  
b) WHERE THE DOOR SWINGS AWAY FROM THE AREA (PUSH DOOR), 1200mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 300mm CLEAR SPACE ON THE LATCH SIDE.
- 9) WHERE THERE ARE DOORS IN A SERIES IN COMMON AREAS, THERE MUST BE SEPARATION OF ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENT TO PROVIDE THE 1200mm LONG CLEAR AREA AND 600mm CLEAR SPACE IF ROUGH-IN WIRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER.

**CORRIDOR WIDTHS:**  
9) COMMON CORRIDORS SHALL BE NO LESS THAN 1200mm WIDE AND PROVIDE A CLEAR AREA 1500mm x 1500mm ADJACENT TO THE ELEVATOR ENTRANCE.

**FLOOR SURFACES:**  
10) FLOOR SURFACES THROUGHOUT THE BUILDING SHALL HAVE NO ABRUPT CHANGES IN HEIGHT. THERE SHALL BE A MAXIMUM OF 13mm IN HEIGHT. THE ABOVE-NOTED REQUIREMENT DOES NOT APPLY TO EXTERIOR BALCONY, PATIO AND DECK DOOR SILLS.

11) FLOOR SURFACES SHALL BE SLIP RESISTANT.

12) WHERE CARPETS ARE USED, THEY MUST BE FIRMLY FIXED, HAVE A FIRM UNDERLAY AND PILE UNDER 13mm IN HEIGHT.

**WINDOWS:**  
13) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750mm ABOVE THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.

14) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND WITHOUT THE USE OF TOOLS OR SPECIALIZED KNOWLEDGE OR TWISTING OF THE HAND.

**OUTLETS AND SWITCHES:**  
15) ELECTRICAL PANELS AND INTERCOM BUTTONS SHALL BE BETWEEN 900mm TO 1200mm FROM THE FLOOR. INTERCOM BUTTONS SHALL BE MAXIMUM 1375mm FROM THE FLOOR.

16) ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT LESS THAN 450mm FROM THE FLOOR OR NOT MORE THAN 1200mm.

17) THERMOSTATS SHALL BE LOCATED BETWEEN 900mm TO 1200mm FROM THE FLOOR.

18) THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF THE CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750mm.

19) LIGHT SWITCHES WILL BE ROCKER OR PADDED-TYPE SWITCHES.

**BATHROOMS:**  
20) THE BATHROOM SHALL:  
a) HAVE A TOILET POSITIONED WITH THE CENTRE LINE OF THE TOILET 420mm TO 480mm FROM A SIDE WALL ON WHICH A GRAB BAR CAN BE INSTALLED, AT LEAST 510mm FROM THE SIDE WALL ON WHICH A GRAB BAR CAN BE INSTALLED, AND AT LEAST 800mm FROM ANY OBSTRUCTION IN FRONT OF THE TOILET; AND  
b) HAVE A CLEAR FLOOR AREA IN FRONT OF THE SINK OF 760mm BY 1220mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK.  
21) THE MINIMUM CLEAR AREA OF 510mm IN DEPTH ALONG THE FULL LENGTH OF THE BATHTUB.  
c) HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALLS AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS.  
d) INCLUDE EASY TO GRASP HANDLES ON FAUCETS, E.G., LEVER-TYPE FAUCETS.

22) WHERE BATHROOMS ARE PROVIDED TO SERVE A COMMON ASSEMBLY SPACE, AT LEAST ONE TOILET SHALL BE EASILY ACCESSIBLE AS DESCRIBED IN THE BUILDING CODE AND THE TOP OF THE RIM OF THE TOILET IN THAT ONE BATHROOM SHALL BE 480mm ABOVE THE FLOOR.

**KITCHENS:**  
23) THE KITCHEN MUST HAVE:  
a) USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSIBLE BY PEOPLE WITH LIMITED REACH. THE COUNTER SPACE SHALL BE 1400mm LONG AND 600mm WIDE BETWEEN THE STOVE AND SINK. ADJUSTABLE SHELVES IN ALL CABINETS, PULL-OUT WORK BOARDS AT 810mm HEIGHT, AND PULL-OUT CABINET SHELVES;  
b) EASY TO GRASP HANDLES ON FAUCETS, E.G., LEVER-TYPE FAUCETS;  
c) EASY TO GRASP HANDLES ON CUPBOARDS, E.G., D ON T-TYPE CABINET HANDLES AND GRAB EDGES UNDER COUNTERS.

24) TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS; AND  
25) WHERE THERE IS A COUNTER TOP STOVE BUILT IN, THE SINK WHERE THERE IS A COUNTER TOP STOVE BUILT IN.

**BEDROOM AND CLOSET:**  
26) THE SPACE AROUND A BED IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500mm ON ONE SIDE OF A DOUBLE BED.

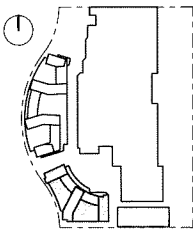
27) THE CLOTHES CLOSET IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE A CLEAR OPENING OF 800mm TO 1000mm IN WIDTH AND 1200mm IN HEIGHT. THE CLOTHES CLOSET SHALL HAVE A CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200mm.

**PATIOS AND BALCONIES:**  
28) ACCESSIBLE STAIRS SHALL HAVE A MINIMUM CLEAR OPENING OF 800mm.  
29) MINIMUM DIMENSION OF ANY BALCONY OR PATIO SHALL BE 1500mm BY 1500mm. THIS REQUIREMENT DOES NOT APPLY TO TOILET OR TRENCH BALCONY OR PATIO.



G&B ARCHITECTS INC.  
1100 WEST 10TH AVENUE  
VANCOUVER, B.C. CANADA V6H 1B8 TEL: 604 751 1145  
FAX: 604 751 5279

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11b-3



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	50% Design Set
	3	2018-05-29	As Issued Rev. 1
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-05-10	As Issued Rev. 2
	7	2019-04-26	DP Application Rev. 3
	8	2019-05-03	DP Application Rev. 4

RICHMOND CENTRE  
PHASE 1

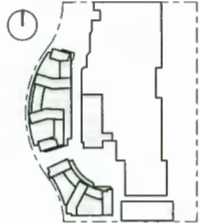
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BUILDING 1B

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DP 17-768248  
MAY 29, 2019  
PLAN # 11C-1



BUILDING		RESIDENTIAL OUTDOOR AMENITY REQUIRED (SHARED)					PROPOSED AREA		CHILDREN'S PLAY SPACE	
UNITS	MIN. BYLAW RATE	MIN. AREA	MIN. AREA (SF)	TOTAL	TOTAL (SF)	CHILDREN'S PLAY SPACE	CHILDREN'S PLAY SPACE	CHILDREN'S PLAY SPACE	CHILDREN'S PLAY SPACE	CHILDREN'S PLAY SPACE
PHASE 1A	699	2.0 m <sup>2</sup> /unit	45,141 SF	4,197 m <sup>2</sup>	45,176 SF	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )
PHASE 1B	467	including 50% for children's play space	30,159 SF	2,818 m <sup>2</sup>	30,336 SF	616 m <sup>2</sup> (6,631 ft <sup>2</sup> )	616 m <sup>2</sup> (6,631 ft <sup>2</sup> )	616 m <sup>2</sup> (6,631 ft <sup>2</sup> )	616 m <sup>2</sup> (6,631 ft <sup>2</sup> )	616 m <sup>2</sup> (6,631 ft <sup>2</sup> )
SUBTOTAL	1166		75,300 SF	7,015 m <sup>2</sup>	75,511 SF	1,675 m <sup>2</sup> (18,030 ft <sup>2</sup> )	1,675 m <sup>2</sup> (18,030 ft <sup>2</sup> )	1,675 m <sup>2</sup> (18,030 ft <sup>2</sup> )	1,675 m <sup>2</sup> (18,030 ft <sup>2</sup> )	1,675 m <sup>2</sup> (18,030 ft <sup>2</sup> )
OTHER REQUIREMENTS										
CCAP Add'l Green Landscape Space	10% of net area of Lot 1 (excluding road dedications & SRW areas secured for road purposes)	2,570 m <sup>2</sup>	27,659 SF (270,659 SF x 10%)	3,695 m <sup>2</sup>	39,771 SF	N/A	N/A	N/A	N/A	N/A
Inaccessible Green Roofs	Encouraged	-	-	218 m <sup>2</sup>	2,347 SF	N/A	N/A	N/A	N/A	N/A
Private Outdoor Space*	As per OCP DP Guidelines	-	-	4,204 m <sup>2</sup>	45,251 SF	N/A	N/A	N/A	N/A	N/A
TOTAL	-	-	-	15,132 m <sup>2</sup> (162,880 ft <sup>2</sup> )	15,132 m <sup>2</sup> (162,880 ft <sup>2</sup> )	60% of net area of Lot 1 (excluding road dedications & SRW areas secured for road purposes)	60% of net area of Lot 1 (excluding road dedications & SRW areas secured for road purposes)	60% of net area of Lot 1 (excluding road dedications & SRW areas secured for road purposes)	60% of net area of Lot 1 (excluding road dedications & SRW areas secured for road purposes)	60% of net area of Lot 1 (excluding road dedications & SRW areas secured for road purposes)

\*NOTE: Private Outdoor Space only includes private roof terraces on top of habitable floor area; exterior balconies are excluded.

BUILDING		RESIDENTIAL OUTDOOR AMENITY PROPOSED SPACES					CHILDREN'S PLAY SPACE	
UNITS	MIN. BYLAW RATE	MIN. AREA	MIN. AREA (SF)	TOTAL	TOTAL (SF)	CHILDREN'S PLAY SPACE	CHILDREN'S PLAY SPACE	CHILDREN'S PLAY SPACE
PHASE 1A	699	2.0 m <sup>2</sup> /unit	45,141 SF	4,197 m <sup>2</sup>	45,176 SF	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )	1,059 m <sup>2</sup> (11,399 ft <sup>2</sup> )
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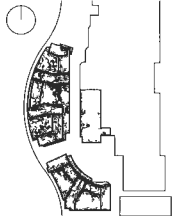
- REVISIONS
- | No. | Date       | Description                    |
|-----|------------|--------------------------------|
| 1   | 2017-03-31 | Development Permit Application |
| 2   | 2017-08-08 | Application Set                |
| 3   | 2018-03-29 | DP Application Rev. 1          |
| 4   | 2018-04-06 | Progress for Pricing           |
| 5   | 2018-04-06 | DP Application Rev. 2          |
| 6   | 2018-04-06 | DP Application Rev. 3          |
| 7   | 2019-04-26 | Progress for City Review       |
| 8   | 2019-05-03 | DP Application Rev. 4          |

RICHMOND CENTRE  
PHASE 1

PHASE 1  
RES. AMENITY SPACE  
- OUTDOOR

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SCALE: 1" = 30'-0"  
JOB NUMBER: 1686-87





DP 17-768248  
May 29, 2019  
PLAN #11c-2



REVISIONS	No.	Date	Description
1	2019-03-11	2019-03-11	Revised Project Schedule
2	2019-03-11	2019-03-11	Revised Project Schedule
3	2019-03-11	2019-03-11	Revised Project Schedule
4	2019-03-11	2019-03-11	Revised Project Schedule
5	2019-03-11	2019-03-11	Revised Project Schedule
6	2019-03-11	2019-03-11	Revised Project Schedule

RICHMOND CENTRE  
PHASE 1A / 1B

DP APPLICATION REV. 3

Outdoor Amenity  
Programming

DATE: 4/20/19  
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JOB NUMBER: 1686-87

OUTDOOR AMENITY LEVEL 6  
Entertainment Garden

- Harvest Terrace
- Harvest Tables
  - Outdoor Barbecue and Counter

- Play area
- Children's Play
  - Exercise Area
  - Teen Area

- Open Lawn
- Extended Play Area

OUTDOOR AMENITY LEVEL 2  
Lounge Garden

- Community Fireplace and Dining Area

- Lounge
- Small Lounge Settings (umbrellas/canopies)

- Play area
- Exercise area
  - Children's play

- OUTDOOR AMENITY LEVEL 8  
Penthouse 'Zen' Garden
- Crushed stone paving, River rock, Stepping stones, Feature boulders
  - Art pieces, Lanterns, etc
  - Lounge and Yoga patios

OUTDOOR AMENITY LEVEL 2  
Sun Garden

- Games Terrace
- Tables & Chairs
  - Social games for teens and adults

- Barbeque & Counter
- Children's play
  - Teen play

- Harvest Tables
- Social Seating
  - Fireplace
  - Lounge Settings

- Open Lawn
- Extended play area

- Tree Bosque
- Crushed stone paving, stepping stones
  - Bench seating under trees

- Garden Plots
- Including children's "Learning Gardens"

- OUTDOOR AMENITY LEVEL 6  
Reader's Garden
- Tree Bosque
  - Crushed stone paving, stepping stones
  - Bench seating under trees

- Games Terrace
- Social games for teens and adults

- Open Lawn
- Extended Play Area

- Play area
- Teen Area
  - Exercise Area

- Community Fireplace & Dining Area
- Tai Chi Terrace

- OUTDOOR AMENITY LEVEL 10  
'Zen' Garden
- Crushed stone paving, River rock, Stepping stones, Feature boulders
  - Art pieces, Lanterns, etc
  - Lounge and Yoga patios

OUTDOOR AMENITY LEVEL 6  
Blossom Garden

- Social Terrace for Small Groups
- Fire pit and lounge settings
  - Lounge setting with weather protection (umbrellas/canopies)

- Ornamental garden
- Flowering trees and shrubs
  - Garden seating for intimate gatherings

- Open Lawn

OUTDOOR AMENITY LEVEL 8  
'Rock Garden'

- Crushed stone paving, River rock, Stepping stones, Feature boulders
- Art pieces, Lanterns, etc
- Lounge and Yoga patios

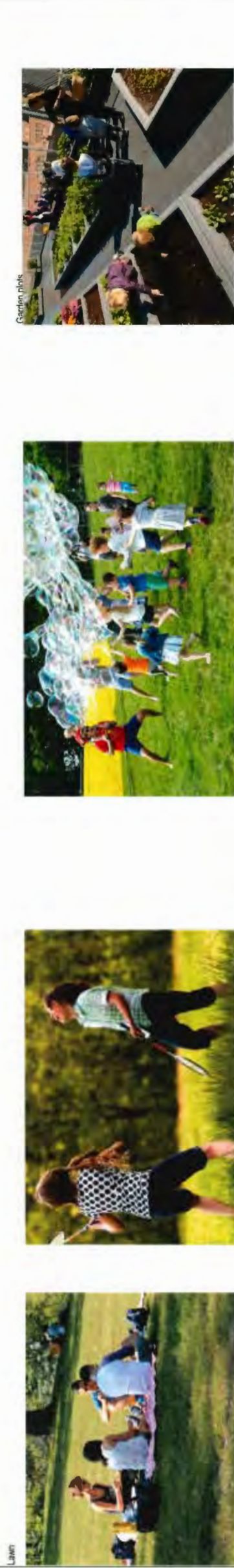
- OUTDOOR AMENITY LEVEL 4  
Garden Terrace
- Look-out Terrace
  - Children's Play Terrace
  - Art/play elements
  - Lawn

- Amenity Terrace
- Ornamental Pots
  - Tables & Chairs

- OUTDOOR AMENITY LEVEL 8  
'Rock Garden'
- Crushed stone paving, River rock, Stepping stones, Feature boulders
  - Art pieces, Lanterns, etc
  - Lounge and Yoga patios



REVISIONS		
No.	Date	Description
1	2017-03-31	Development of Fund Application
2	2017-05-08	20% Design Bid
3	2018-03-26	Progress for Pricing
4	2018-04-08	CP Applications Item 1
5	2018-04-02	CP Applications Item 2
6	2018-03-30	CP Applications Item 3 Progress for City Review





# INDOOR AMENITY

HOUSING TYPE	# UNITS	MIN REQUIRED RATE	MIN REQUIRED	SF
AH UNIT	79	2.0m2/unit min	158 m²	1,701 SF
UNIT (MARKET)	1087	2.0m2/unit min	2,174 m²	23,403 SF
TOTAL	1166	2.0m2/unit min	2,332 m²	25,104 SF

PROPOSED AREA	SF
189 m²	2,029 SF
2,224 m²	23,939 SF
2,413 m²	25,968 SF

HOUSING TYPE	PROPOSED AMENITY USES	USERS	LOCATION	PROPOSED AREA	SF
AH UNIT	Multi-purpose	AH Only	AH building (Level 2)	189 m²	2,029 SF
UNIT (MARKET)	Active Recreation	Shared Bldg 1A & 1B	1B only (Levels 1, 2 & 3)	1,380 m²	14,847 SF
	Library/lounge/wellness/meeting (13 rooms)	Exclusive use by building	1A (6 rooms) 1B (7 rooms)	763 m²	8,213 SF
	Guest accommodation (3 suites)	Exclusive use by building	1A (1 suite) 1B (2 suites)	81 m²	876 SF
	Varies	Varies	Varies	2,413 m²	25,971 SF
TOTAL					

SHARED INDOOR AMENITY (1A-1B)



PRIVATE INDOOR AMENITY



AFFORDABLE HOUSING INDOOR AMENITY



GUEST SUITE



SHARED OUTDOOR AMENITY (1A-1B-AH)



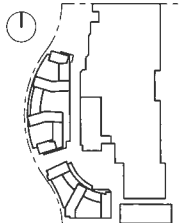
PRIVATE OUTDOOR AMENITY



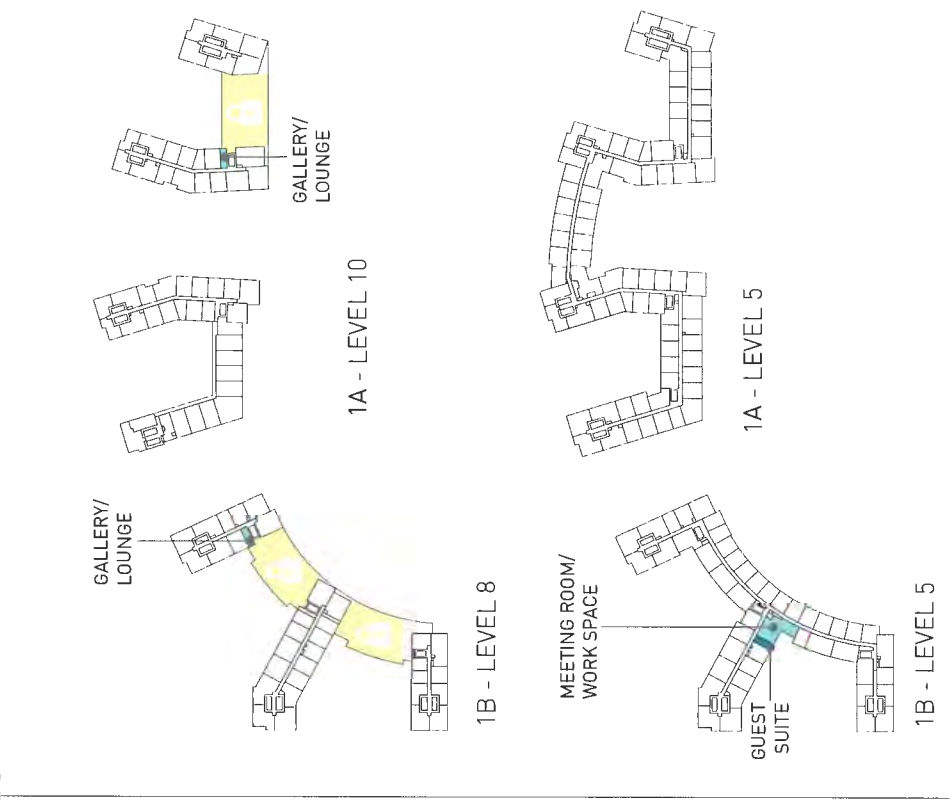
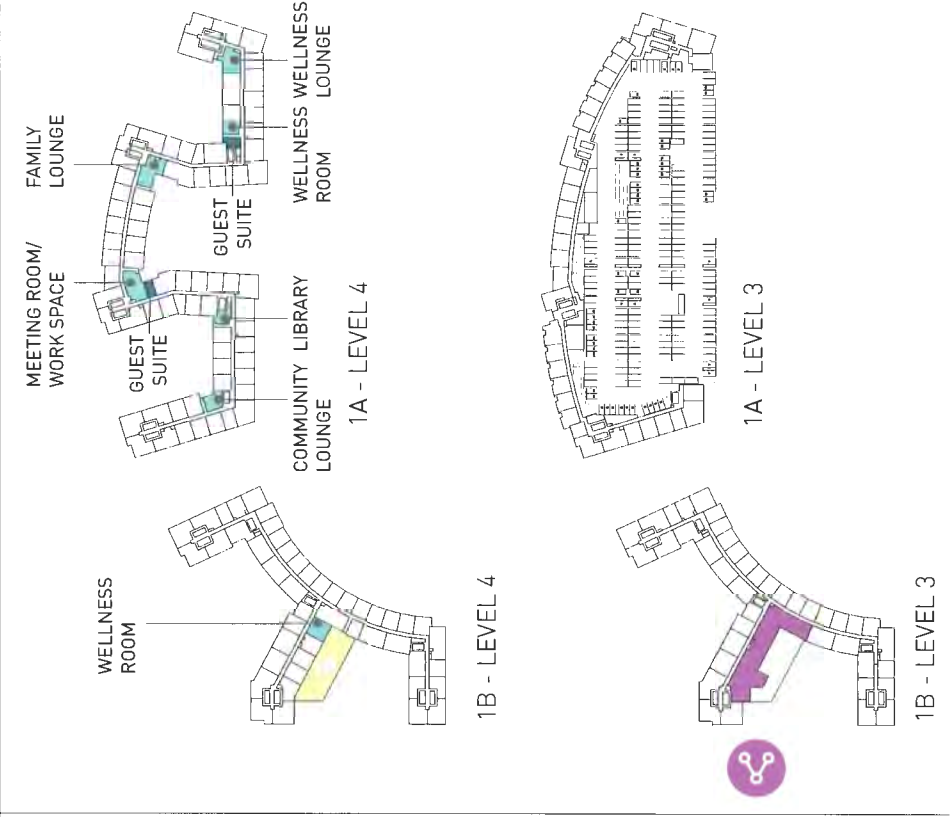
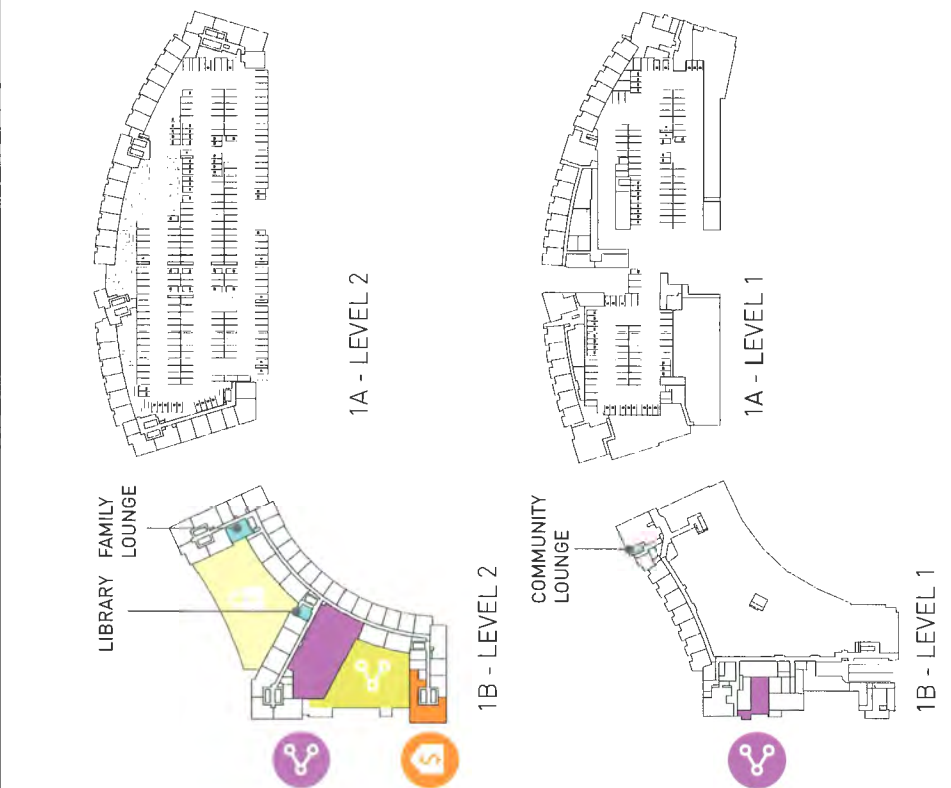
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gbl ARCHITECTS INC.  
180 EAST BRIDGEMAN AVENUE  
SUITE 200, CHICAGO, IL 60611  
TEL: 312.555.1234  
FAX: 312.555.1235  
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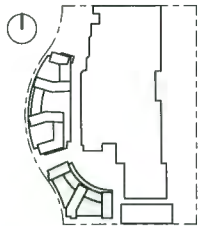
NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11d-1







DP 17-768248  
MAY 29, 2019  
PLAN # 11d-2



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-08 30% Design Set
3	2018-03-23 Progress for Pricing
4	2018-04-06 DP Application Rev. 1
5	2018-08-02 DP Application Rev. 2
6	2019-03-20 Progress for City Review
7	2019-04-26 DP Application Rev. 3
8	2019-05-03 DP Application Rev. 4

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
AMENITY PLANS -  
SHARED

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JOB NUMBER	1686-87

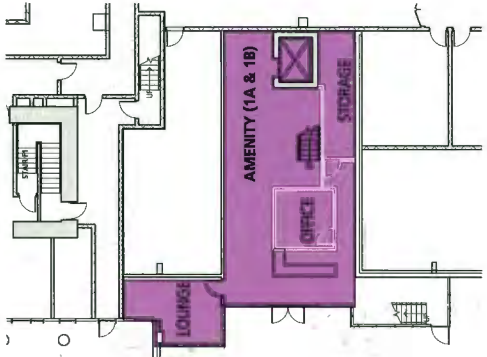
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AMENITY L3  
392' x 1'-0"



AMENITY L2  
392' x 1'-0"



AMENITY L1  
392' x 1'-0"



RECEPTION LOUNGE



FLEX SPACE



PRIVATE AMENITY ROOM



ENTERTAINMENT SUITE



CHILDREN PLAY AREA



GAME ROOM



MULTI-MEDIA ROOM

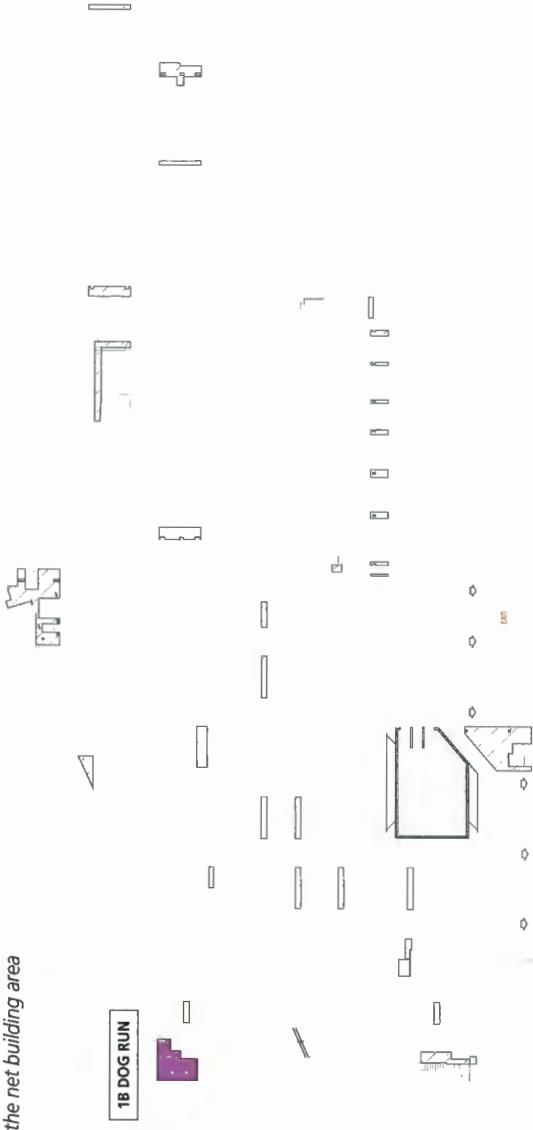


GYM



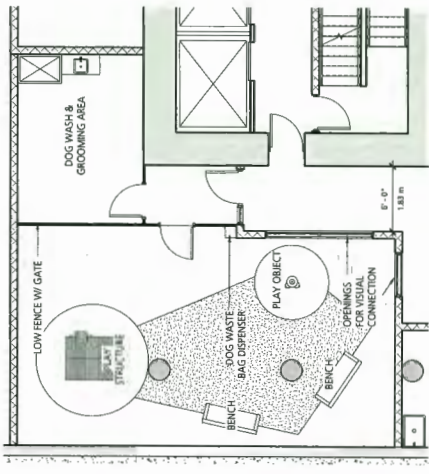
BUILDING 1B

NOTE: This area is provided in addition to the required indoor amenity area and is excluded from the net building area



BUILDING 1B - LEVEL PA DOG RUN

1" = 50'-0"



BUILDING 1B - DOG RUN DETAIL PLAN

3/16" = 1'-0"

BUILDING 1B DOG RUN FEATURES

- Approx. 920 sq. ft.
- Indoor room in parkade of building 1B for year-round, weather-protected pet space
- Dog wash & grooming area
- Play structures and objects in an enclosed space
- Mix of painted concrete floors for ease of cleaning/less odour, and turf

PET FRIENDLY AMENITY FEATURES



1 Safe, enclosed space for pets to run off leash



2 Dog play structures (example: dog bridge)



3 Dog play objects (example: dummy firehydrant)



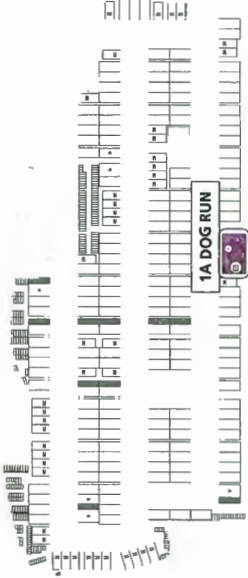
4 Pet wash sink & grooming area



5 10 pet relief stations dispersed around public streets at grade

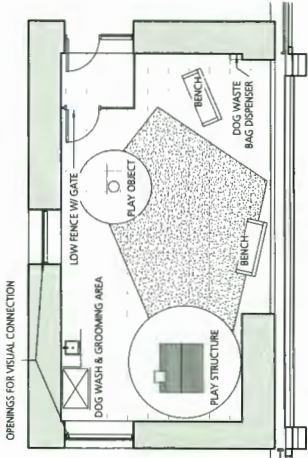
BUILDING 1A

NOTE: This area is provided in addition to the required indoor amenity area and is excluded from the net building area



BUILDING 1A - LEVEL 3 DOG RUN

1" = 50'-0"



BUILDING 1A - DOG RUN DETAIL PLAN

3/16" = 1'-0"

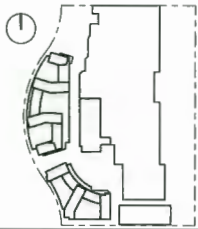
BUILDING 1A DOG RUN FEATURES

- Approx. 640 sq. ft.
- Indoor room in building 1A parkade (level 3) for year-round, weather-protected pet space
- Dog wash & grooming area
- Play structures and objects in an enclosed space
- Mix of painted concrete floors for ease of cleaning/less odour, and turf



gbl architects inc.  
1900 BAYVIEW AVE. SUITE 100  
SCARBOROUGH, ONTARIO M1B 2Y7  
TEL: 416-751-1100  
FAX: 416-751-1101

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11d-3



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application Set	
2	2017-06-08	DP Application Rev. 1	
3	2018-03-29	DP Application Rev. 2	
4	2018-04-26	DP Application Rev. 3	
5	2018-06-01	DP Application Rev. 4	
6	2018-06-01	DP Application Rev. 5	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Panel Submission	

RICHMOND CENTRE  
PHASE 1

PHASE 1  
RES. AMENITY SPACE  
- ADD'L INDOOR

DATE: 5/20/2019 1:55:07 PM  
DRAWN BY: David A. Brown  
CHECKED BY: Anshu Chahal  
SCALE: As Noted  
JOB NUMBER: 16886-87

A-11D.03



PHASE 1 PUBLIC ART: PART 1 - VOLUNTARY DEVELOPER CONTRIBUTION

SITE #1: PARK ROAD PLAZA

- Description Opportunity:
- Park Plaza is identified as the prime location for a signature landmark public art work.
  - three related artworks by a single artist
  - 3 distinct locations within the plaza for maximum public benefit
- Details:
- Terminus of North-South Road
  - Terminus of Minoru gate at Park Road at the south-west corner of the plaza
  - Proximity to the Mall Entrance on the east side
- Rationale:
- Offering high visibility and accessibility for maximum public benefit
  - Envisioned as the main social community gathering space within Richmond Centre, Park Plaza offers a dynamic and active space for a variety of encounters with residents, pedestrians, cyclists and passerby.
  - Creating a multitude of meaningful engagement opportunities, the public artwork will animate the public realm and contribute to a warm and welcoming, family friendly environment, fostering and encouraging community connections.
  - The plaza site locations allow for a wider range of possibilities in approach, form, material, media including light
  - Possessing unique masifinding and placemaking qualities, the three artworks will be at least 5 to 6 meters in height and involve light
  - The consideration of light will also contribute to both day, night, and year-round public engagement and enjoyment
  - The public art will seek to connect with the overall project vision and the rich historical and cultural community contexts of Richmond Centre in a meaningful way.
  - In keeping with the City of Richmond, City Centre Public Art Plan "Richmond, Today and Tomorrow" offers a broad thematic to be explored by an artist.

Location Plan



Precedent Images



SITE #2: MINORU BOULEVARD

- Description Opportunity:
- Open public spaces at Tower A, C, E, F entrances on private property
  - Minoru Blvd Frontage on private property from East-West Road to Murdoch Road
  - Opportunity for more human scale, expanded series or sequence of related sculptural artworks in a range of form and medium.
  - Acting as "bread crumbs" along Minoru Boulevard, the public artworks will weave a story with meaningful connections within the broad thematic of "Richmond: Yesterday, Today and Tomorrow".
- Details:
- Across from Minoru Park and Richmond Cultural Centre
  - 2 1/2 - 3 sq. ft. area for artwork at each tower entrance
  - Artwork to be located on hardscape, granite pavers
- Rationale:
- Offering good public visibility and accessibility to pedestrians, cyclists and motorists travelling along Minoru Blvd with multiple engagement opportunities for a diverse array of users to Richmond Center, Minoru Park and the Richmond Cultural Centre and the surrounding neighbourhood.
  - Provide an artist with a unique opportunity for diverse artistic expression.
  - The artist will work closely with the landscape architect and design team for an integrated approach, with artwork well suited to the specific site conditions of each tower lobby entrance.
  - The public art will encourage community connections and enliven the public realm and contribute to the cultural vitality of this dynamic cultural precinct, and world class urban centre.

Location Plan



Precedent Images



REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-09 30% Design Set
3	2018-02-29 Development Permit Application
4	2018-04-05 DP Application Rev. 1
5	2018-04-05 DP Application Rev. 2
6	2018-05-03 DP Application Rev. 3
7	2018-04-26 DP Application Rev. 4
8	2018-05-03 DP Application Rev. 5

DATE	5/29/19
DRAWN BY	AM
CHECKED BY	
SCALE	
JOB NUMBER	1686-87



# PHASE 1 PUBLIC ART: PART 2- REQUIRED DEVELOPMENT SCREENING

Site #1: Screening of Park Road Parkade / Building 1A

Opportunity:

- Public art screening above-grade parking along the east facade of Building 1A
- Artistic enhancement of the parkade facade in diverse range of approach and media including 2D or 3D texture material

Details:

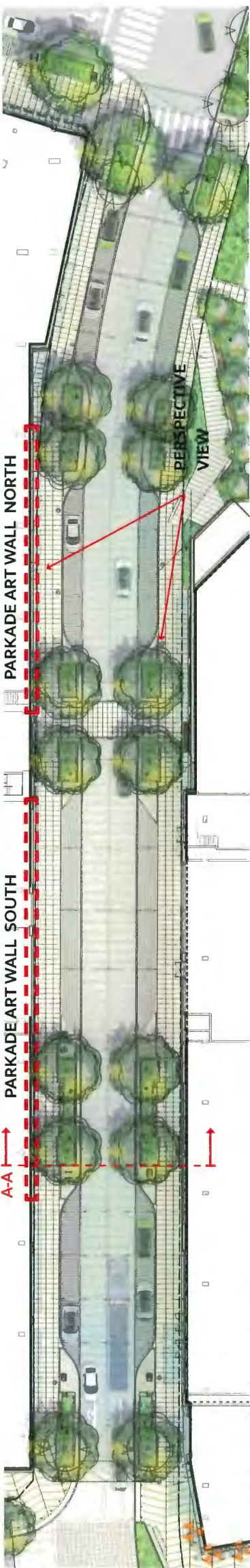
- Block 1A South measures approximately 160' x 20'
- Block 1A North measures approximately 113' x 20'

Rationale:

- Create a compelling, dynamic facade along important pedestrian-oriented retail high street.
- Park Road envisioned as active streetscape drawing people to the Central Plaza, “the community living room” with cafe/restaurants, small boutiques, green nook and public art.
- Contribute to wayfinding by drawing viewers and supporting energetic flow of movement along Park Road towards Central Plaza and Mobility Hub.
- Encourages connection throughout site, permeability, sight lines and movement for pedestrian friendly retail environment.
- High visibility and accessibility for diverse audiences.

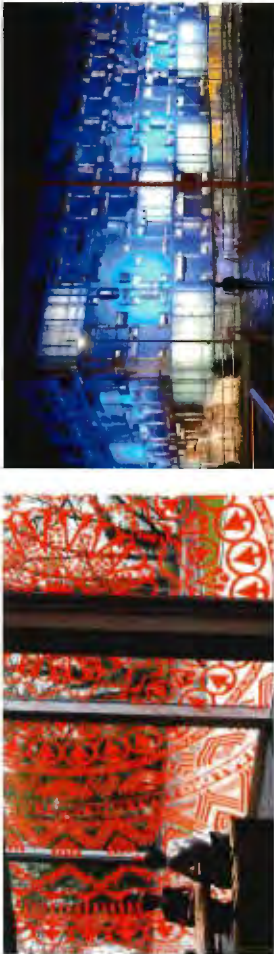


BUILDING 1A PARKADE ART ON PARK ROAD

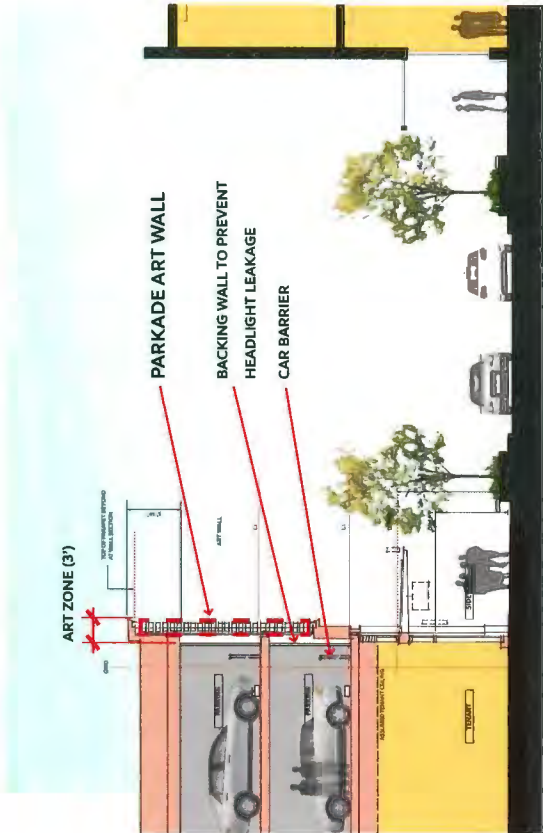


ART SIZE & PLACEMENT

PARK ROAD WEST ELEVATION / PLAN



PRECEDENT IMAGES

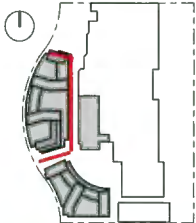


PARK ROAD SECTION A-A

gbl

gbl architects, inc.  
181 EAST PLYMOUTH AVENUE  
SUITE 200  
ANN ARBOR, MI 48106-1575  
TEL: 734.769.1375  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN #11e-2

CALLISONRTKL  
CallisonRTKL, Inc.  
1000 17th Avenue  
Suite 1000  
Boulder, CO 80502-3143  
Tel: 303.440.4000  
Fax: 303.440.4001  
Project No: 17011764-00



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISIONS  
17/10/2010

RICHMOND  
CENTRE PHASE 1

ART PLAN - BUILDING 1A  
SCREENING

DATE  
CHECKED BY  
SCALE  
JOB NUMBER

A-11E.02



# PHASE 1 PUBLIC ART: PART 2- REQUIRED DEVELOPMENT SCREENING

Site #2: Screening of Park Road Service Uses / Building 1C

Opportunity:

- A mural screening private utilities along the frontage of the existing mall.
- Permanent Mural - 2D artwork.

Details:

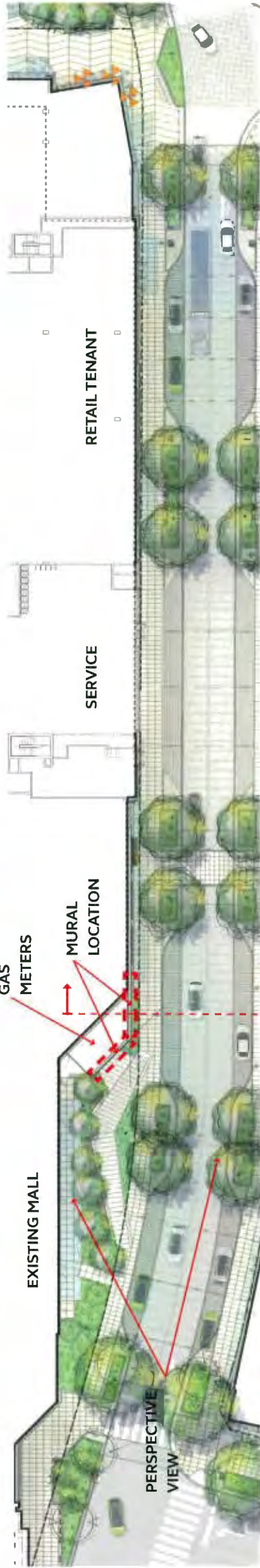
- Wall measures approximately 15' height x 30' length.
- Wrap around the mechanical enclosure structure.

Rationale:

- High visibility and accessibility for diverse audiences
- Animate and enliven important arterial Park Road.
- Possess wayfinding and placemaking qualities.
- Contribute and foster a dynamic and active public realm.
- Enhance the pedestrian experience.
- Support flow and movement throughout the development.
- Leads viewers to heart of development.



BUILDING 1C MURAL ART ON PARK ROAD



ART SIZE & PLACEMENT

PARK ROAD EAST ELEVATION / PLAN



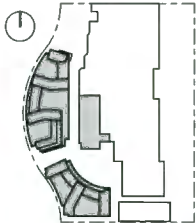
PRECEDENT IMAGES

PARK ROAD SECTION B-B

gbl

# GBL ARCHITECTS, INC.  
195 EAST 8TH AVENUE  
SUITE 200  
DENVER, CO 80202  
TEL: 303.733.1335  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN #11e-3

CALLISONRTKL

CallisonRTKL, Inc.  
1400 Pike Avenue  
Suite 200  
Boulder, CO 80501-2903  
TEL: 303.440.4000  
FAX: 303.440.4001



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISIONS  
17/10/2010

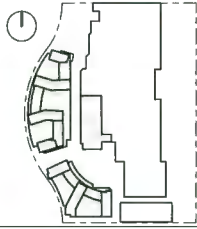
RICHMOND  
CENTRE PHASE 1

ART PLAN - BUILDING 1C  
SCREENING

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-11E.03





**DP 17-768248**  
MAY 29, 2019  
**PLAN # 11f-1**



REVIEWS							
No.	Date	Description					
1	2017-03-31	Development Permit Application					
2	2017-08-08	30% Design Set					
3	2018-03-29	DE Application Rev. 1					
4	2018-04-06	Progress for Pricing					
5	2018-08-02	DE Application Rev. 1					
6	2018-08-02	DE Application Rev. 2					
7	2019-03-20	DE Application Rev. 3					
8	2019-03-26	Progress for City Review					
9	2019-05-03	DE Application Rev. 3					
10	2019-05-03	Progress for City Review					
11	2019-05-03	DE Panel Submission					

RICHMOND CENTRE  
PHASE 1

## PHASE 1

PB-PA PARKING  
STALL DISTRIBUTIONS

DATE 5/3/2019 3:23:25 PM  
DRAWN BY S.R.  
CHECKED BY J.S.  
SCALE As indicated  
FOR NUMBER 1686-87

1686-87  
INA NUMBER

A-11F.01

PB-PA PARKING DISTRIBUTION			
DEDICATION	LEVEL	COUNT	
CAR SHARE	PA	3	
COMMERCIAL	PA	689	
SHORT TERM	PA	68	
TOWER A	PB	98	
TOWER B	PB	144	
TOWER C	PB	28	
TOWER D	PB	27	
TOWER E	PB	178	
TOWER F	PB	225	
TOWER F	PA	12	
TOWER G	PA	30	
UNASSIGNED	PB	192	
TOTAL PARKING		1694	

**PB-PA PARKING DEDICATION LEGEND:**

- CAR SHARE  
COMMERCIAL STALL  
TOWER A  
TOWER B  
TOWER C  
TOWER D  
TOWER E  
TOWER F  
TOWER G  
SHORT TERM SHARED PARKING:  
RESIDENTIAL VISITOR / COMMERCIAL

PARKING COUNT - NEW PHASE 1 BY LEVEL		COUNT
LEVEL		
Affordable Housing		
PA		30
		30
Car Share		
PA		3
		3
Commercial		
L1		128
PA		757
		885
Residential		
L2		223
L3		220
PA		12
PB		892
TOTAL		1347
		2265

PA - Parking Dedication  
1" = 40'-0"

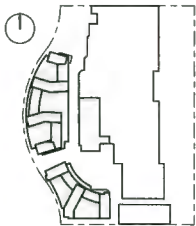
**2 PB - Parking Dedication**  
 $1^{\circ} = 40' - 0''$

REFER TO PLAN #11f-3 FOR  
MINORU PEDESTRIAN ACCESS

2% OF COMMERCIAL STALLS TO BE ENERGIZED FOR ELECTRIC VEHICLES AT MOBILITY HUB & PREFERRED LOCATIONS (CLOSE TO LOBBIES, STAIRS, ETC) TO SATISFY LEED REQUIREMENTS  
(18 STALLS IN PHASE 1)

**NOTE:**  
PARKING STALLS LOCATED WITHIN GREY HATCHED REGION  
ARE TO BE DEDICATED TO FUTURE PHASE 2 PARKING TOTALS.  
FINAL COUNT TO BE CONFIRMED WITHIN  
PHASE 2 DP APPLICATION PACKAGE





DP 17-768248  
MAY 29, 2019  
PLAN # 11f-2



REVISIONS	
No.	Description
1	2017-03-31 Development Permit
2	2017-08-08 25% Design Set
3	2018-03-29 DP Application Rev. 1
4	2018-04-05 DP Application Rev. 2
5	2018-08-02 DP Application Rev. 1
6	2018-08-02 DP Application Rev. 2
7	2019-03-20 DP Application Rev. 3
8	2019-04-26 Progress for City Review
	2019-05-03 DP Panel Submission

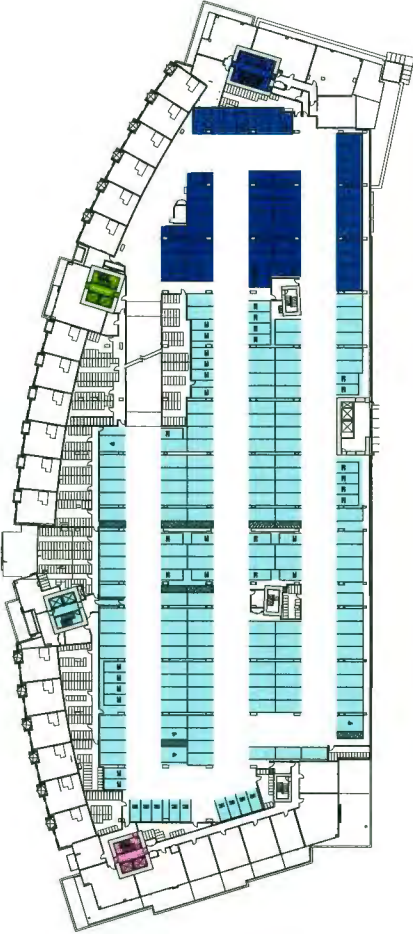
RICHMOND CENTRE  
PHASE 1  
PHASE 1  
L1-L3 PARKING STALL  
DISTRIBUTIONS

DATE: 5/29/2019 3:25:15 PM  
DRAWN BY: J.S.  
CHECKED BY: A. Ingram  
SCALE: 1" = 40'-0"  
JOB NUMBER: 1686



3 | LEVEL 3 - PARKING DISTRIBUTION

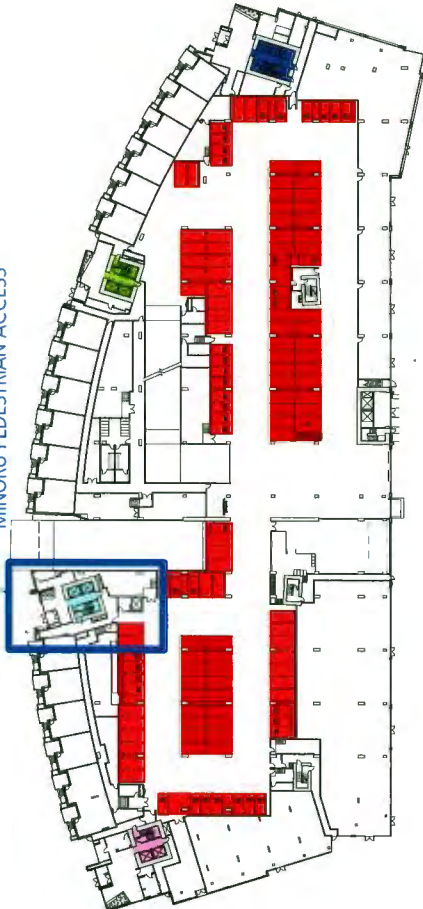
1" = 40'-0"



2 | LEVEL 2 - PARKING DISTRIBUTION

1" = 40'-0"

REFER TO PLAN #11f-3 FOR  
MINORU PEDESTRIAN ACCESS



1 | LEVEL 1 - PARKING DISTRIBUTION

1" = 40'-0"

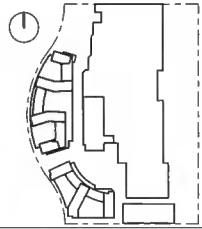
PARKING DISTRIBUTION			
DEDICATION	LEVEL	COUNT	MIN. REQUIRED
CAR SHARE	PA	3	-
		3	
COMMERCIAL	L1	128	COMMERCIAL: 11,681 m <sup>2</sup> GLA / 100 x 3.375
COMMERCIAL	PA	689	= 394.2 STALLS REQUIRED
		817	885 PROVIDED COMPRISING 68 STALLS FOR SHORT-TERM COMMERCIAL/VISITOR; 327 PHASE 1 STALLS & A SURPLUS OF 490 STALLS TO BE USED IN PHASE 2
SHORT TERM	PA	68	
		68	
TOWER A	L2	48	
TOWER A	PB	98	TOWER A: 139 UNITS x 0.9 STALLS / UNIT
		146	= 125.1 STALLS REQUIRED
TOWER B	L3	53	
TOWER B	PB	144	TOWER B: 183 UNITS x 0.9 STALLS / UNIT
		197	= 164.7 STALLS REQUIRED
TOWER C	L2	175	
TOWER C	PB	28	TOWER C: 190 UNITS x 0.9 STALLS / UNIT
		203	= 171.0 STALLS REQUIRED
TOWER D	L3	167	
TOWER D	PB	27	TOWER D: 187 UNITS x 0.9 STALLS / UNIT
		194	= 168.3 STALLS REQUIRED
TOWER E	PB	178	TOWER E: 167 UNITS x 0.9 STALLS / UNIT
		178	= 150.3 STALLS REQUIRED
TOWER F	PA	12	
TOWER F	PB	225	TOWER F: 221 UNITS x 0.9 STALLS / UNIT
		237	= 198.9 STALLS REQUIRED
TOWER G	PA	30	TOWER G: 79 UNITS x 0.375 STALLS / UNIT
		30	= 29.6 STALLS REQUIRED
UNASSIGNED	PB	192	
		192	TO BE USED FOR PHASE 2 RESIDENTIAL
TOTAL PARKING		2265	

\*10 SHORT TERM COMMERCIAL / RESIDENTIAL VISITOR PARKING STALLS PER TOWER, INCLUDING ONE ACCESSIBLE STALL PER TOWER, HAVE BEEN DEDICATED AT LEVEL PA  
(100% OF COMMERCIAL PARKING STALLS ARE AVAILABLE FOR RESIDENTIAL PARKING INCLUDING THOSE LABELLED AS 'SHORT TERM'.)

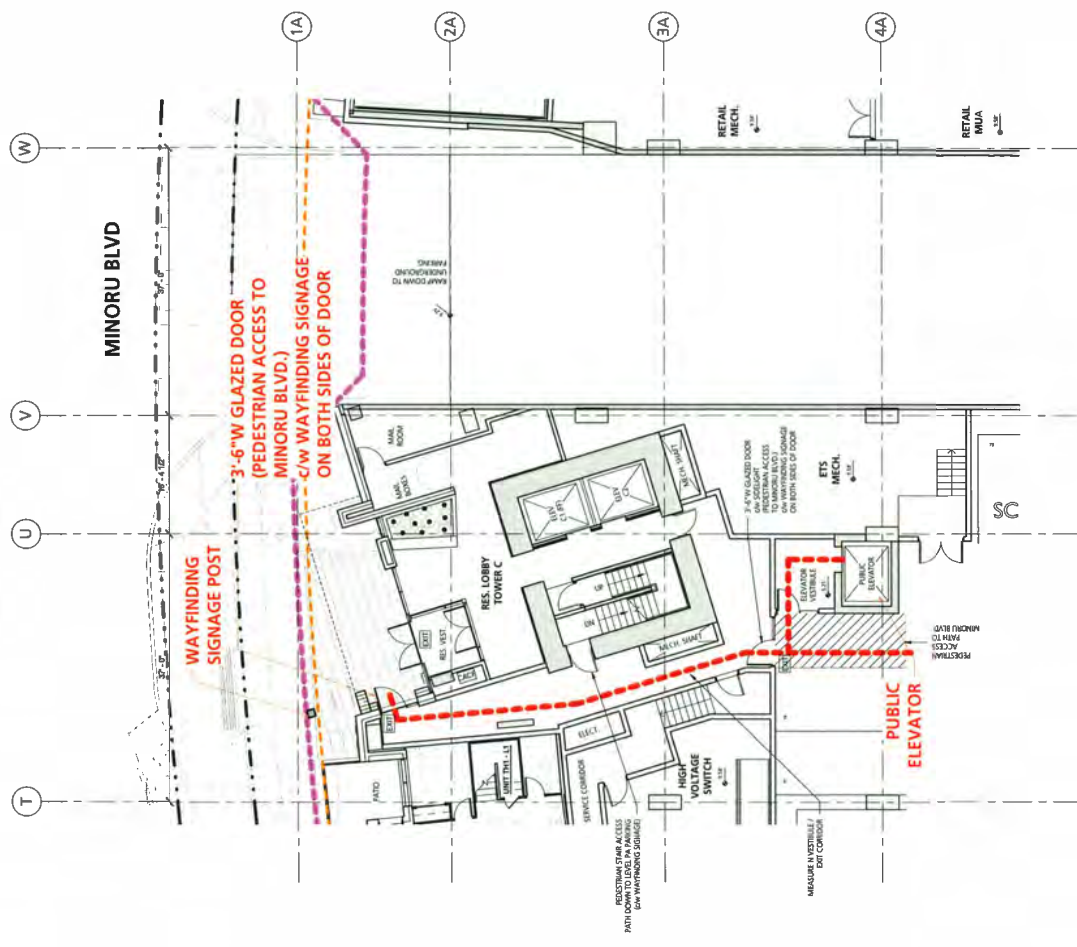
L1-L3 PARKING DEDICATION LEGEND:

- CAR SHARE
- COMMERCIAL STALL
- TOWER A
- TOWER B
- TOWER C
- TOWER D
- TOWER E
- TOWER F
- TOWER G
- RESIDENTIAL LOADING

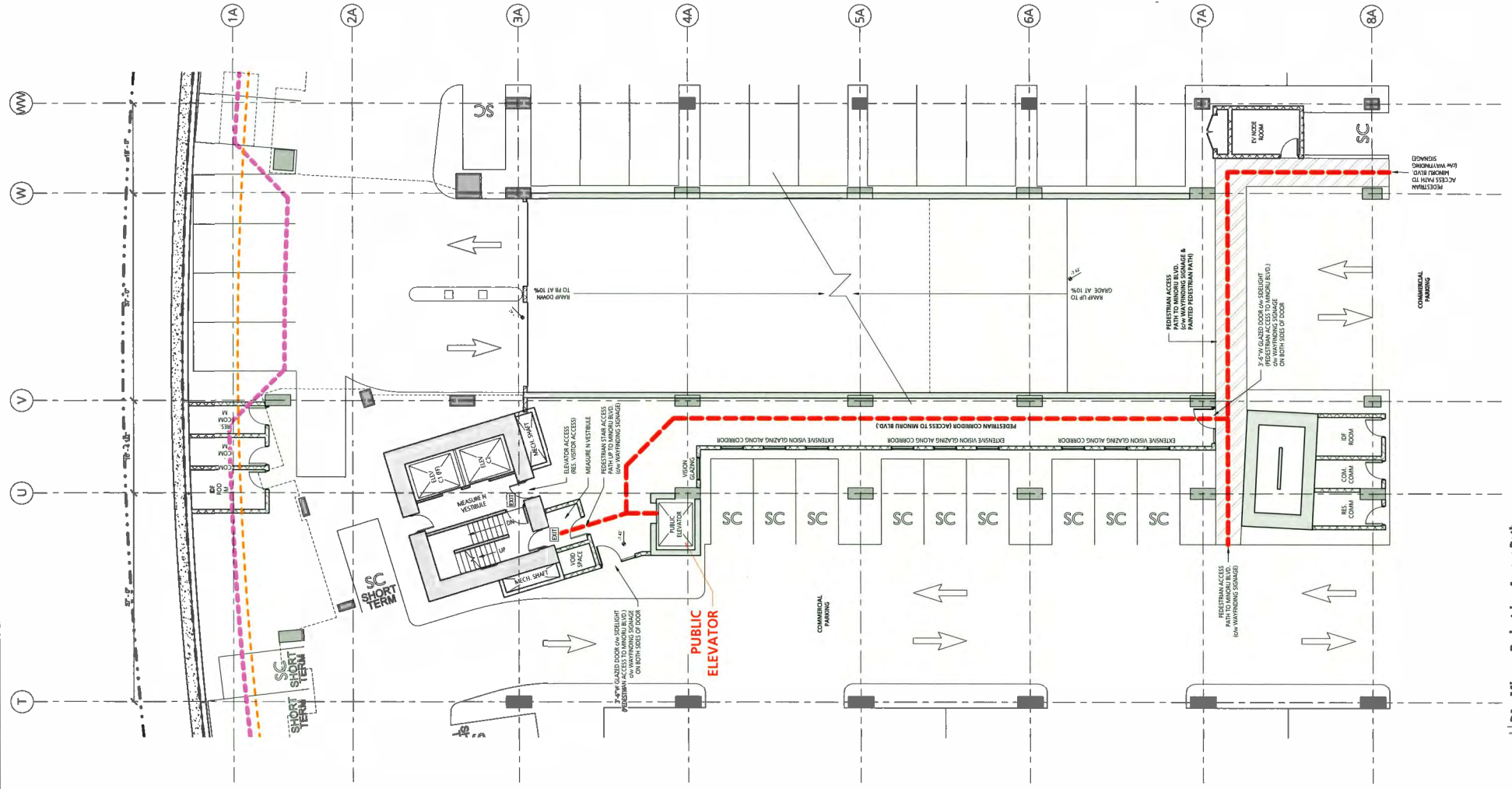




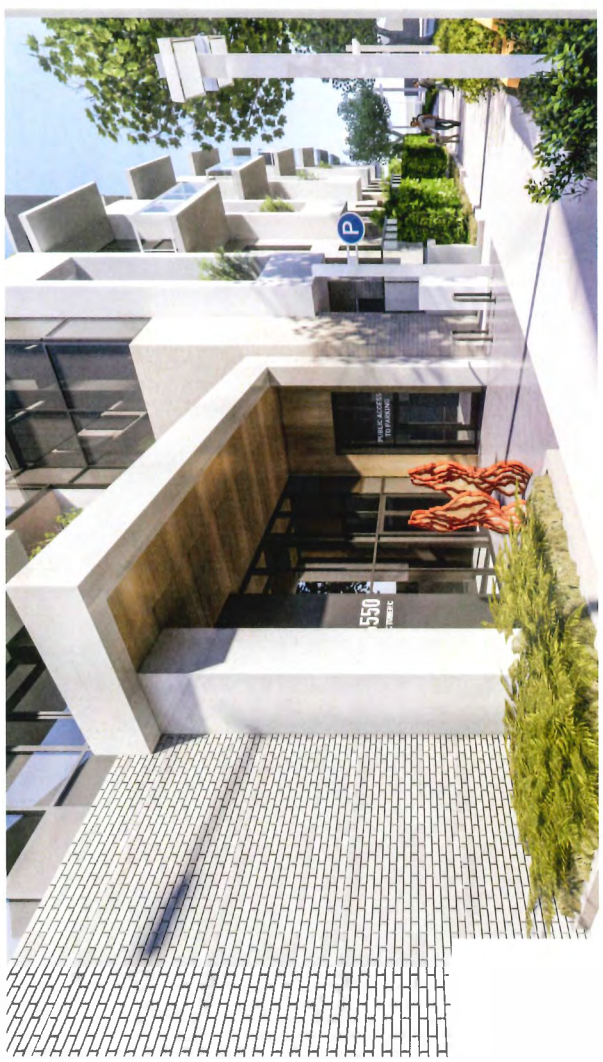
DP 17-768248  
MAY 29, 2019  
PLAN # 11f-3



2 L1 - Minoru Pedestrian Access Path  
1/8" = 1'-0"



PA - Minoru Pedestrian Access Path  
1/8" = 1'-0"



3D View of Pedestrian Access to Parkade

REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	DP Application Rev. 2	
5	2018-08-02	DP Application Rev. 3	
6	2019-03-20	DP Application Rev. 4	
7	2019-04-26	Progress for City Review	
8	2019-05-03	DP Panel Submission	

RICHMOND CENTRE  
PHASE 1  
MINORU ACCESS  
FROM PA & L1 PKG.  
DATE: 5/29/2019 6:48:11 PM  
CHECKED BY: J.L.  
SCALE: 1/8" = 1'-0"  
JOB NUMBER: 1686



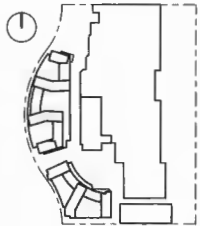
COMMERCIAL CLASS 1 BIKE STORAGE - REQUIRED			
USE	GLA	GLA (SF)	MIN. RATE
Commercial	11,681 m <sup>2</sup>	125,728 SF	0.27 bikes/100 m <sup>2</sup> (1,076.4 SF)
		GLA	

COMMERCIAL CLASS 1 BIKE STORAGE - PROPOSED		
USE	PROPOSED #	LEVEL
Tenant Use	12	L1
Public Use	20	PA
TOTAL	32	

ENERGIZED EV CHARGING STATIONS (120V DUPLEX OUTLETS)		
MIN. RATE	MIN. #	PROPOSED #
- Public Use: Nil	- Public Use: Nil	- Public Use: Nil
- Tenant Use: 1/10 bikes or portion in Class 1 bike room	- Tenant Use: 2	- Tenant Use: 2

\* GBL ARCHITECTS INC.  
1500 BAYVIEW AVE. SUITE 100  
SCARBOROUGH, ONTARIO M1S 1B5  
TEL: 416-291-1155  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11g

**CLASS 1 COMMERCIAL BIKES & FACILITIES**  
Tenant bike storage with End-of-trip facilities

**BUILDING 1A - L1 BIKES**  
1" = 50'-0"

**CLASS 1 COMMERCIAL BIKES**  
Public bike storage at mobility hub;  
refer to *Mobility Hub Plan (Plan #11n)*  
for additional information



PA-PA - PHASE 1 - CLASS 1 COMMERCIAL BIKES  
1" = 50'-0"

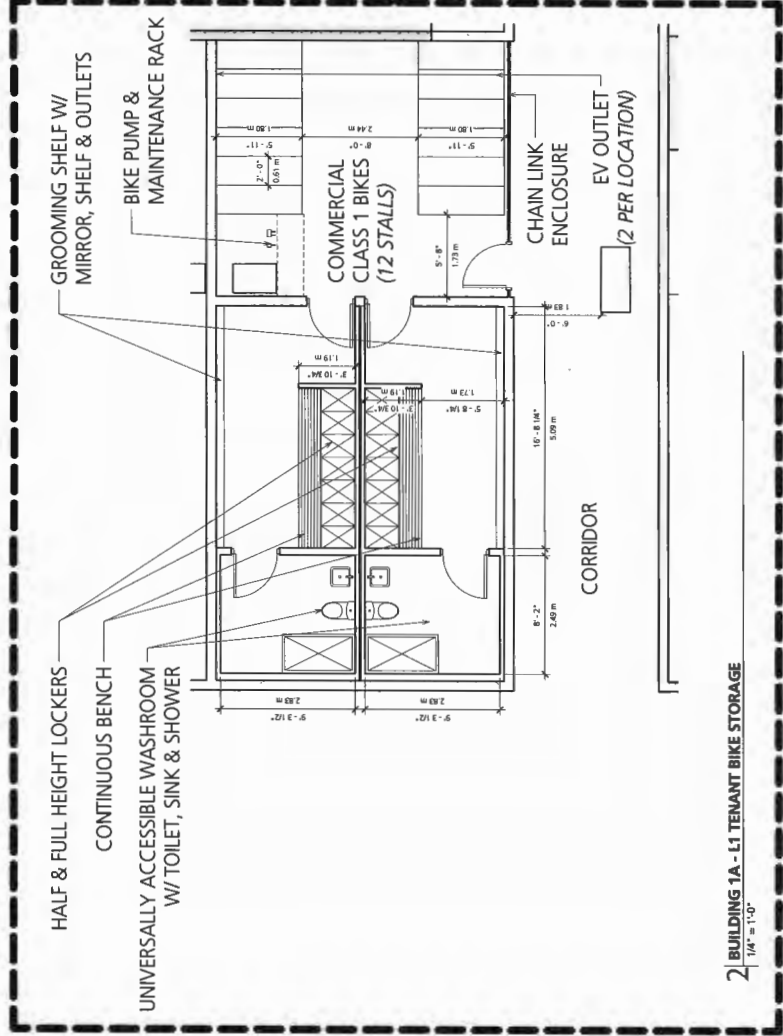
Bike room to include:



1) A foot pump with a pressure gauge



2) A bike repair stand with a set of tools



**BUILDING 1A - L1 TENANT BIKE STORAGE**  
1" = 1'-0"



REVISIONS	No.	Date	Description
1	2017-03-31	Development Permit	
2	2017-08-08	25% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-06	Progress for Pricing	
5	2018-06-02	DP Application Rev. 1	
6	2019-03-20	DP Application Rev. 2	
7	2019-04-25	Progress for City Review	
8	2019-05-03	DP Panel Submission	

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
COMMERCIAL CLASS  
1 BIKE FACILITIES  
DATE: 5/30/2019 3:35:40 PM  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: As indicated  
JOB NUMBER: 1686-87

A-11G.01

CLASS 1 BIKE SPACES					OVER-SIZED BIKE LOCKERS (FOR FAMILY USE & LOW-POWERED VEHICLES*)	
BUILDING	HOUSING TYPE	# UNITS	MIN. RATE	MIN. #	PROPOSED #	MIN. #
PHASE 1A	Market Units	699	1.25 bikes/unit	873.8	874	Nil
PHASE 1B	Market Units	388	1.25 bikes/unit	485.0	485	Nil
PHASE 1B	Affordable Housing	79	2.0 bikes/unit	158.0	158	16 (10% of spaces)
TOTAL	Varies	1166	Varies	1517	1517	16

ENERGIZED EV CHARGING STATIONS (120V DUPLEX OUTLETS FOR SHARED USE)				BIKE MAINTENANCE & REPAIR FACILITY	
BUILDING	HOUSING TYPE	MIN. RATE	MIN. #	PROPOSED #	MIN. REQUIRED/PROPOSED
PHASE 1A	Market Units	On a bike room-by-bike room basis, 1/10 bikes or portion thereof	88	102	4
PHASE 1B	Market Units		49	56	2
PHASE 1B	Affordable Housing		16	18	1 (for exclusive AH occupant & staff use)
TOTAL	Varies		153	176	7

- \*\*Family-Use\* means accommodation for multiple bikes belonging to a single household, which may include children's bikes & bikes with attached trailers.
- \*Low-Powered Vehicles\* means vehicles that do not require MV registration, license or insurance, such as electric motor-assisted cycles (e.g., e-bike or moped-style).



LEVEL	PROPOSED #
1A	
L2	549
L3	233
PB	92
	874
1B	
PA	187
PB	298
	485
AH	
PA	40
PB	118
	158
TOTAL	1517

EACH BIKE MAINTENANCE & REPAIR FACILITY SHALL INCLUDE:



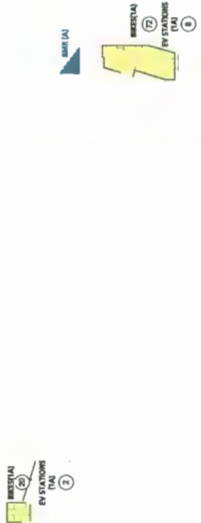
1) A foot pump with a pressure gauge



2) A bike repair stand with a set of tools

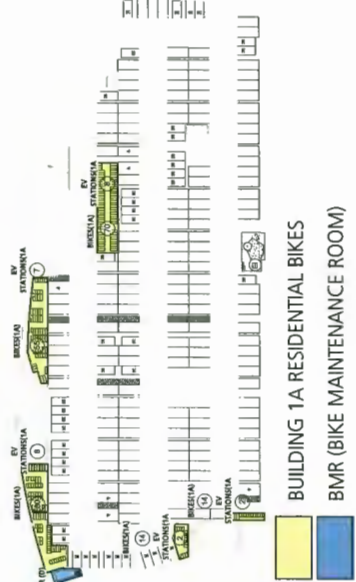


3) A faucet, hose and drain



- BUILDING 1A RESIDENTIAL BIKES
- BUILDING 1B RESIDENTIAL BIKES
- AFFORDABLE HOUSING BIKES
- BMR (BIKE MAINTENANCE ROOM)

- BUILDING 1B RESIDENTIAL BIKES
- AFFORDABLE HOUSING BIKES



4) BUILDING 1A - L3 BIKES



PB - PHASE 1 BIKES



2) PA - PHASE 1 BIKES

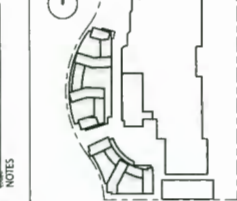


- BUILDING 1A RESIDENTIAL BIKES
- BMR (BIKE MAINTENANCE ROOM)

3) BUILDING 1A - L2 BIKES

gbl

gbl ARCHITECTS INC.  
1150 WEST 10TH AVENUE  
VANCOUVER, BC CANADA V6H 1B8  
TEL: 604 779 1155  
FAX: 604 771 5279



DP 17-768248  
MAY 29, 2019  
PLAN # 11h



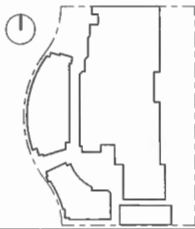
REV	No.	Date	Description
1	2017-03-31		Development Permit
2	2017-08-08		Development Permit
3	2017-08-08		25% Design Set
4	2018-03-29		DP Application Rev. 1
5	2018-04-06		Progress for Planning
6	2018-08-02		DP Application Rev. 2
7	2019-03-20		DP Application Rev. 3
8	2019-04-26		Progress for City Review
9	2019-05-03		DP Final Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
RESIDENTIAL CLASS 1  
BIKE FACILITIES

DATE: 5/29/2019 1:52:27 PM  
CHECKED BY: [Signature]  
SCALE: 1" = 50'-0"  
JOB NUMBER: 1686-87

A-11H.01





**Gabriel Mackinnon**

REVISIONS			
No.	Date	Description	
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1	
4	2018-04-08	DP Application Rev. 1 Progress for Pricing	
5	2018-09-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3 Progress for City Review	
7	2019-04-26	DP Application Rev. 4	
8	2019-05-03	DP Application Rev. 5	

**RICHMOND  
CENTRE PHASE 1**

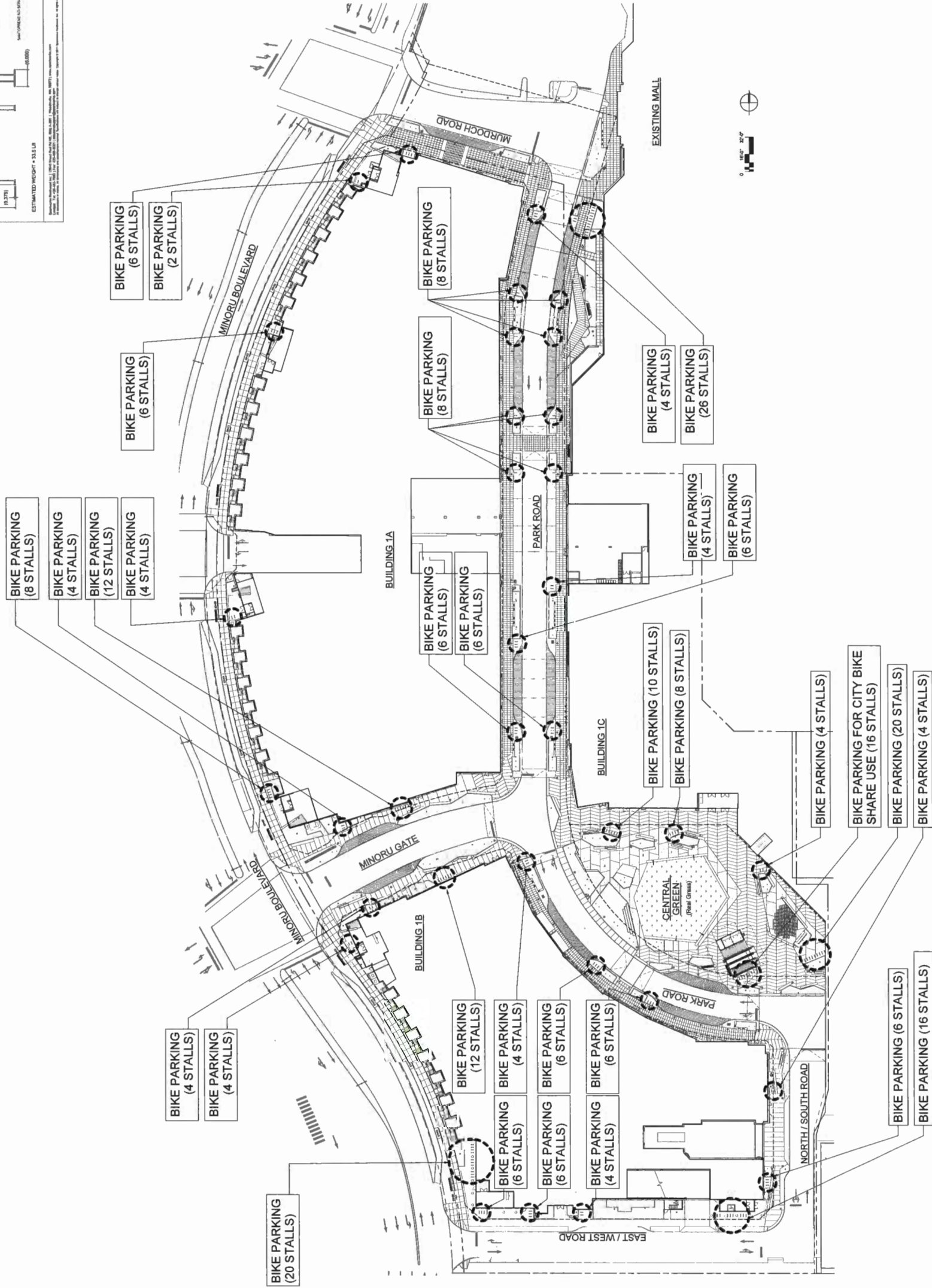
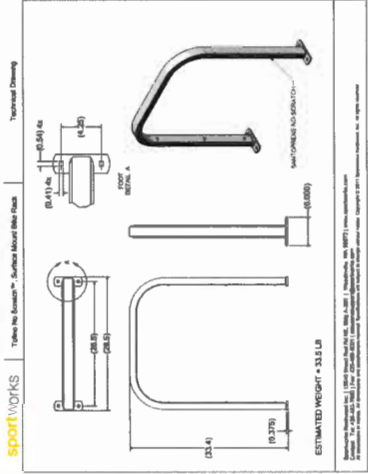
## CLASS 2 BIKE STORAGE PLAN

DATE 06/02/19  
DRAWN BY Author  
CHECKED BY Checker  
SCALE As indicated

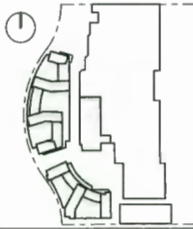
JOB NUMBER 1686-87

A-111.01

Use	Proposed Development	Required Class 2 Bike Spaces		Proposed Class 2 Bike Spaces
		Min. Rate	Min. # to be Provided	
Residential	1,166 units 11,680.5 m <sup>2</sup>	2 bikes/unit .27 bike/100 m <sup>2</sup>	234	# of Bike Spaces & Distribution <ul style="list-style-type: none"> <li>96 at tower and amenity space along residential frontages</li> <li>154 along retail frontages &amp; within the Park Road Plaza</li> <li>16 reserved for City Bike Share use at the Mobility Hub</li> </ul>
Commercial	(125,728 ft <sup>2</sup> )/GLA	(1,078 ft <sup>2</sup> )/GLA	32	
Total			266	







**DP 17-768248**  
MAY 29, 2019  
**PLAN # 11j**



REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
4	2018-04-06	Progress for Pricing
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	Progress for City Review
8	2019-05-03	DP Application Rev. 4
		Progress for City Review
		DP Panel Submission

RICHMOND CENTRE  
PHASE 1

PHASE 1

LOADING

DATE 5/6/2019 12:54:20 PM  
DRAWN BY SR  
CHECKED BY JS  
SCALE 1/32" = 1'-0"  
JOB NUMBER 1686-87

A-11J.01

\* Shared between medium & large loading spaces & between commercial & residential

\*\* Shared between medium & large loading spaces

\*\*\* Shared between commercial & residential

BUILDING 1A LOADING SUMMARY						
Uses	Large Truck Loading			Medium Truck Loading		
	Development	Min. Bylaw Rate	Required #	Proposed #	Min. Bylaw Rate	Required #
Residential	699 units	1 per 2 buildings	1	1***	1 + 1 per 160 units over 240	4
Commercial	2,118m <sup>2</sup> GLA	1 per 5,000m <sup>2</sup> over 1,860m <sup>2</sup>	1	(shared)	1 + 1 per 5,000m <sup>2</sup> over 1,860m <sup>2</sup>	2
TOTAL	N/A	Varies	1***	1***	Varies	4***

BUILDING 1B LOADING SUMMARY						
Residential	467 units	1 per 2 buildings	1	2***	1 + 1 per 160 units over 240	3
Commercial	3,605m <sup>2</sup> GLA	1 per 5,000m <sup>2</sup> over 1,860m <sup>2</sup>	1	(shared)	1 + 1 per 5,000m <sup>2</sup> over 1,860m <sup>2</sup>	2
TOTAL	N/A	Varies	1***	2***	Varies	3***
						5 (4*, 1***)
						(shared)
						5 (4*, 1***)

BUILDING 1C LOADING SUMMARY						
Commercial	5,958m <sup>2</sup> GLA	1 per 5,000m <sup>2</sup> over 1,860m <sup>2</sup>	1	3**	1 + 1 per 5,000m <sup>2</sup> over 1,860m <sup>2</sup>	2
						6**

**NOTE:** Prior to completion of the North leg of Park Road, Building 1C loading shall be located on Lot 2 (location of former Sears building)

PHASE 1 TOTAL LOADING SUMMARY			
Building	Large Truck Required #	Large Truck Proposed #	Medium Truck Required #
1A	1***	1***	4***
1B	1***	2***	3***
1C	1	3**	2
TOTAL	3***	6(3**, 3***)	9***

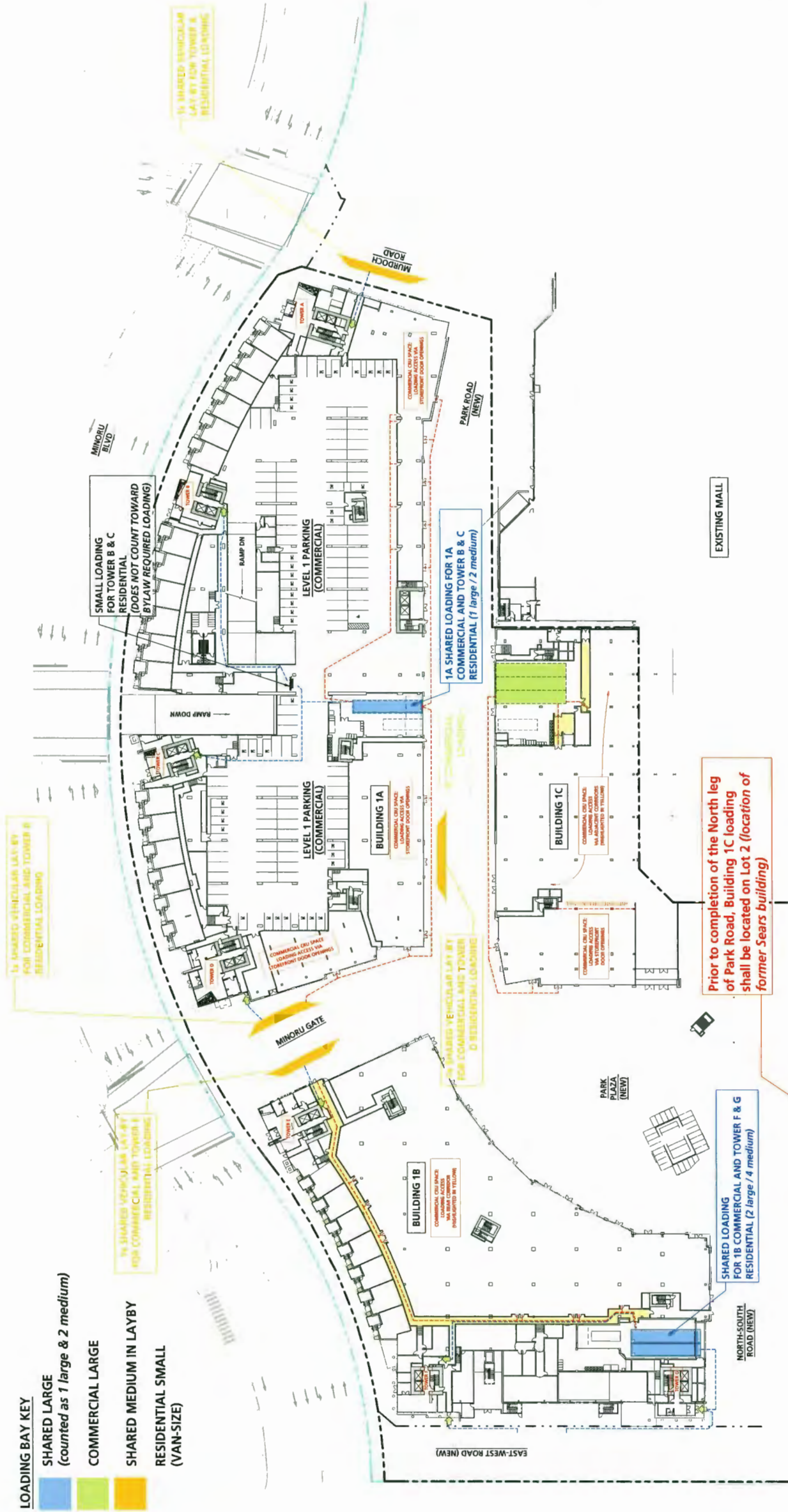
ADDITIONAL INTERIM LOADING FOR EXISTING MALL ON LOT 2 & REMAINDER LOT A				
Uses	Existing	Min. Bylaw Rate	Existing #	Existing #
Commercial	25,352m <sup>2</sup> GLA	N/A	Nil (Shared)	N/A  2 (on Lot 2; refer to Plan #11)

## LOADING BAY KEY

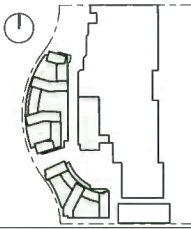
**SHARED LARGE**  
(counted as 1 large & 2 medium)

## COMMERCIAL LARGE

## SHARED MEDIUM IN LAYBY

RESIDENTIAL SMALL  
(VAN-SIZE)





**DP 17-768248**  
MAY 29, 2019  
**PLAN # 11k-1**

REVISIONS		Description
No.	Date	
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for Cost Review
7	2019-04-26	DP Application Rev. 3
8	2019-05-03	Progress for Cost Review DP Panel Submission

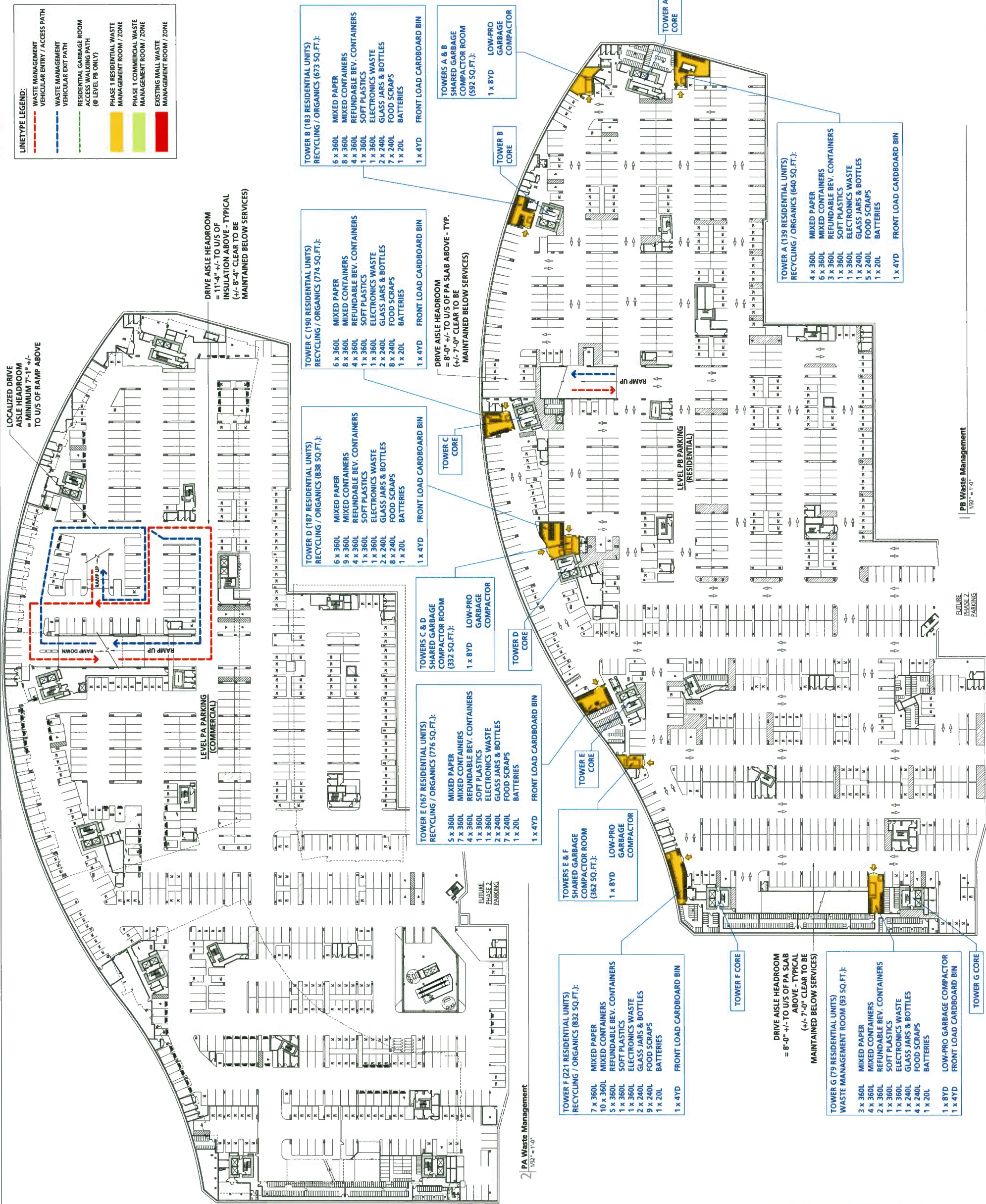
RICHMOND CENTRE  
PHASE 1

## PHASE 1

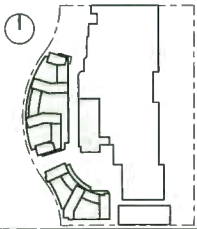
### U/G PARKING WASTE MANAGEMENT

DATE 5/2/2019 1:59:33 PM  
DRAWN BY S.R.  
CHECKED BY J.S.  
SCALE 1/32" = 1'-0"  
JOB NUMBER 1686-87

A-11K.01







DP 17-768248  
MAY 29, 2019  
PLAN # 11k-2



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-06	Progress for Pricing
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 4
			DP Final Submission

RICHMOND CENTRE PHASE 1
PHASE 1
LEVEL 1 WASTE MANAGEMENT
DATE: 5/31/2019 10:56 AM DRAWN BY: S.S. CHECKED BY: J.S. SCALE: As Indicated JOB NUMBER: 1686-87

A-11K.02

LINETYPE LEGEND:	
---	WASTE MANAGEMENT VEHICULAR ENTRY / ACCESS PATH
---	WASTE MANAGEMENT VEHICULAR EXIT PATH
---	RESIDENTIAL GARBAGE ROOM ACCESS WALKING PATH (# LEVEL PB ONLY)
---	PHASE 1 RESIDENTIAL WASTE MANAGEMENT ROOM / ZONE
---	PHASE 1 COMMERCIAL WASTE MANAGEMENT ROOM / ZONE
---	EXISTING MALL WASTE MANAGEMENT ROOM / ZONE

DRIVE AISLE HEADROOM  
= 18'-6" +/- TO US OF  
L2 SLAB ABOVE - TYPICAL

RAMP ACCESS DOWN  
TO RESIDENTIAL  
WASTE MANAGEMENT  
ROOMS AT BELOW  
GRADE PARKING

EXISTING MALL  
WASTE MGMT  
TO REMAIN  
(NOT IN PH1 SCOPE)

EXISTING MALL WASTE  
MANAGEMENT ZONE

EXISTING MALL WASTE  
MANAGEMENT ZONES

EXISTING MALL WASTE  
MANAGEMENT ZONES

Site Plan (Existing Mall Waste Management)

1" = 160'-0"

BUILDING 1A COMMERCIAL  
RECYCLING / ORGANICS (765 SQ.FT.):  
2 x 360L MIXED PAPER  
3 x 360L MIXED CONTAINERS  
2 x 360L REFUNDABLE BEV. CONTAINERS  
6 x 120L FOOD SCRAPS  
1 x 2 CU.YD. SOFT PLASTICS  
1 x 2 CU.YD. ELECTRONICS  
1 x 2 CU.YD. STYROFOAM  
1 x 2 CU.YD. HANGERS  
1 x COMPOSTER ORGANICS  
4 x WHEELED TOTES GREASE

BUILDING 1A COMMERCIAL  
STACKED COMPACTOR (808 SQ.FT.):  
UPPER UNIT - CARBOARD (40 YD)  
LOWER UNIT - GARBAGE (15 YD)  
+/- 14'-6" CLEAR HEADROOM PROVIDED

RESIDENTIAL  
TOTE TRANSFER /  
DROP-OFF POINT

RESIDENTIAL RECYCLING  
/ ORGANICS TOTE  
HOLDING ROOM  
(875 SQ.FT.)

VEHICULAR LAY-BY  
FOR RESIDENTIAL TOTE  
PICK-UP / COLLECTION

BUILDING 1B COMMERCIAL  
40 YD CARBOARD  
COMPACTOR (722 SQ.FT.):  
+/- 12'-0" CLEAR HEADROOM

COMMERCIAL WASTE  
MANAGEMENT  
PICK-UP ACCESS

EXISTING MALL

PARK  
PLAZA  
(NEW)

EAST-WEST ROAD (NEW)

NORTH-SOUTH  
ROAD (NEW)

BUILDING 1B COMMERCIAL  
GARBAGE / RECYCLING / ORGANICS (1,346 SQ.FT.):  
2 x 360L MIXED PAPER  
3 x 360L MIXED CONTAINERS  
1 x 360L REFUNDABLE BEV. CONTAINERS  
6 x 120L FOOD SCRAPS  
2 x 4 YD. GARBAGE  
1 x 2 CU.YD. SOFT PLASTICS  
1 x 2 CU.YD. ELECTRONICS  
1 x 2 CU.YD. STYROFOAM  
1 x 2 CU.YD. HANGERS  
1 x COMPOSTER ORGANICS  
4 x WHEELED TOTES GREASE

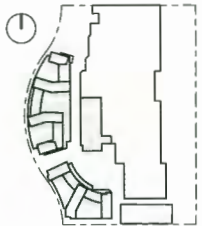
COMMERCIAL  
WASTE  
MANAGEMENT  
PICK-UP ACCESS

BUILDING 1C COMMERCIAL  
RECYCLING / ORGANICS (740 SQ.FT.):  
2 x 360L MIXED PAPER  
6 x 360L MIXED CONTAINERS  
6 x 120L FOOD SCRAPS  
1 x 2 CU.YD. SOFT PLASTICS  
1 x 2 CU.YD. ELECTRONICS  
1 x 2 CU.YD. STYROFOAM  
1 x 2 CU.YD. HANGERS  
1 x COMPOSTER ORGANICS  
4 x WHEELED TOTES GREASE

BUILDING 1C COMMERCIAL STACKED  
COMPACTOR (495 SQ.FT.):  
UPPER UNIT - CARBOARD (40 YD)  
LOWER UNIT - GARBAGE (15 YD)  
+/- 16'-6" CLEAR HEADROOM PROVIDED

L1 Waste Management  
1/32" = 1'-0"





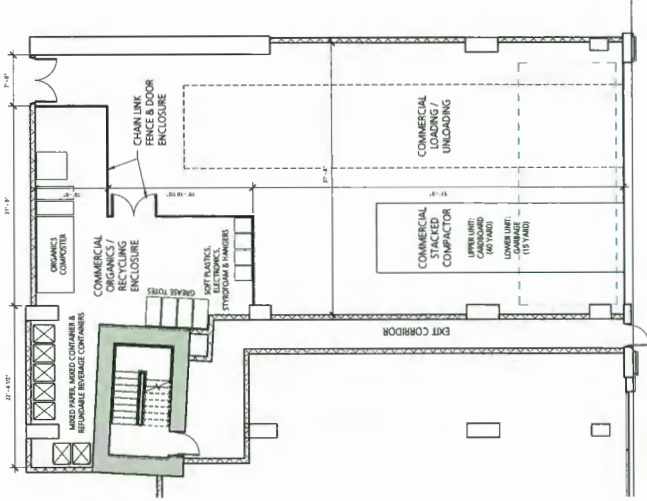
DP 17-768248  
MAY 29, 2019  
PLAN # 11k-3



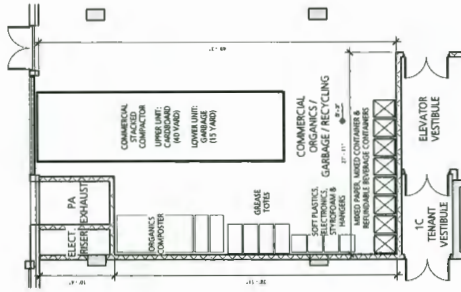
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
	4	2018-04-05	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 3
			Progress for City Review
			DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
L1 WASTE MGMT RM  
PLANS & IMAGES  
DATE: 5/29/2019 10:55 PM  
DRAWN BY: S.A.I.L.  
CHECKED BY: J.S.  
SCALE: As Indicated  
JOB NUMBER: 1686-87

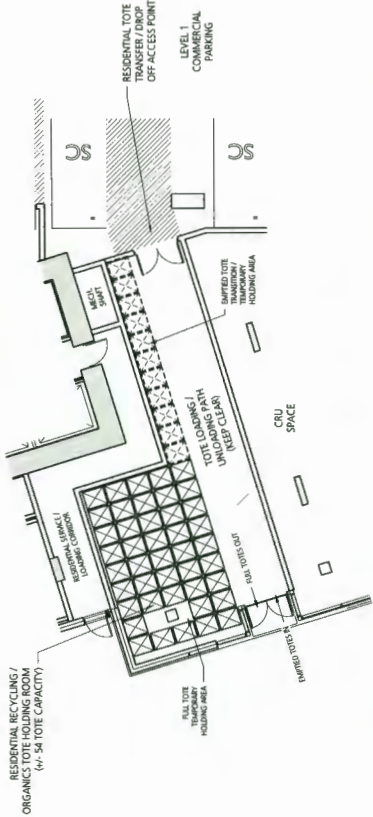
A-11K.03



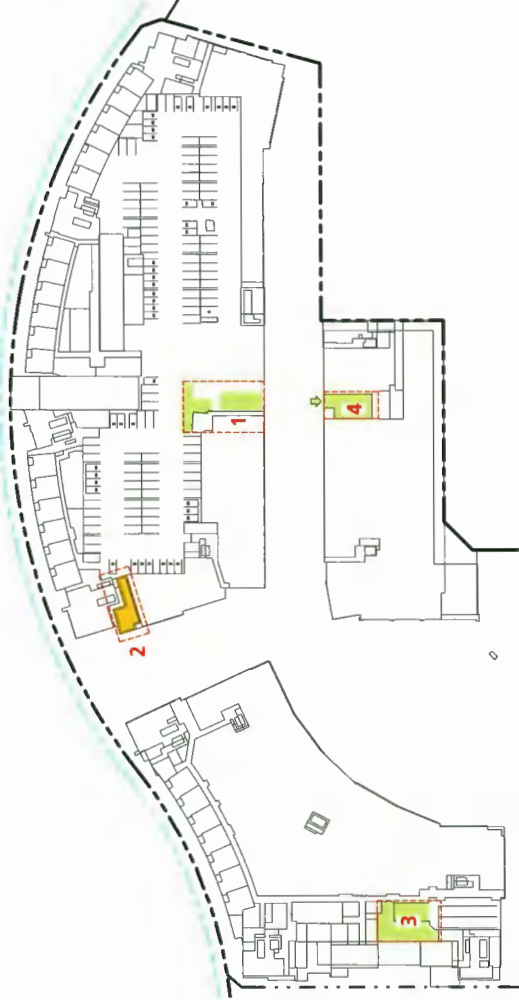
1A - Waste Management & Compactor  
1/8" = 1'-0"



1C - Waste Management & Compactor  
1/8" = 1'-0"

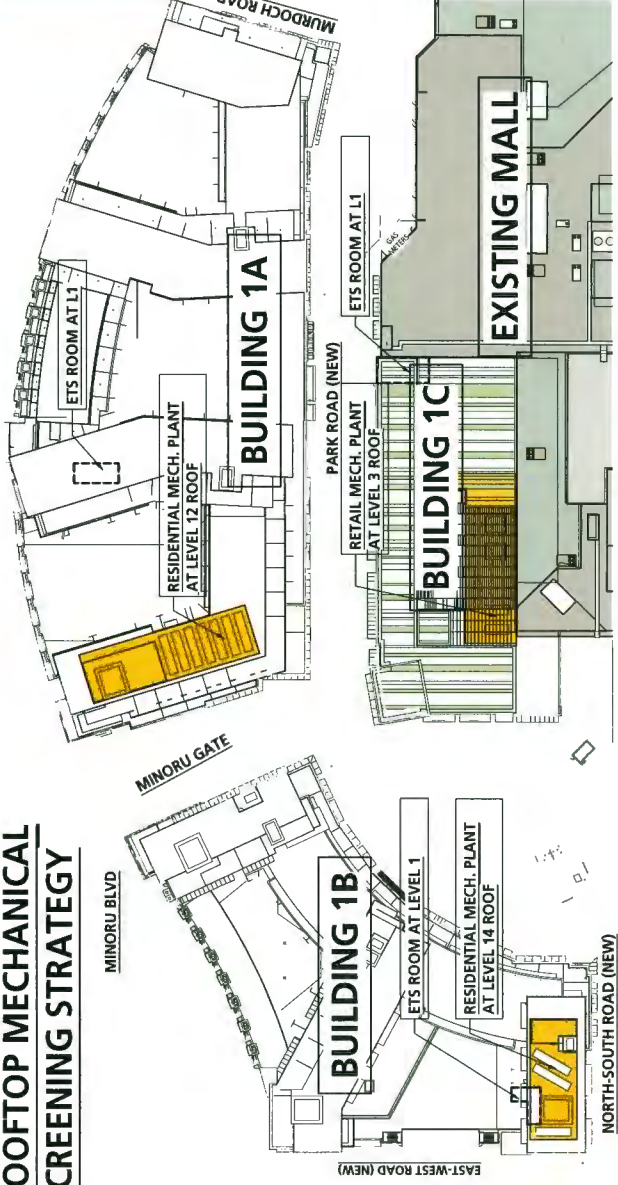


1B - Waste Management Room & Cardboard Compactor  
1/8" = 1'-0"



L1 Waste Management - Key Plan  
1" = 60'-0"





# BUILDING 1A

- Low carbon energy plant at level 12 roof
- 24-hour access from elevator at PA to level 11 and then stair from level 11 to roof
- Serves 699 residential units
- ETS room at grade accessible from level 1 parking (approximately 600 sf)

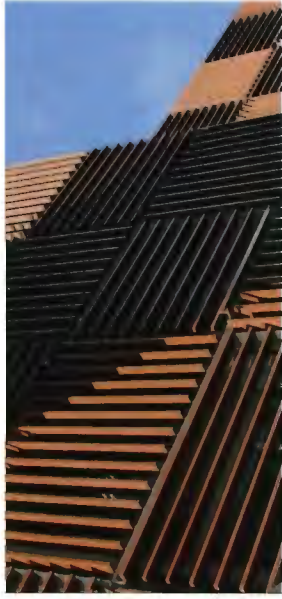
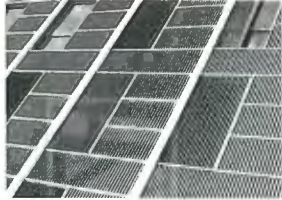
## PROPOSED STRATEGY

- Building 1A uses a decorative screen to enhance views from neighboring towers

**TOWER D ROOF FROM TOWER E**



## DETAILS



## BUILDING 1B

- Low carbon energy plant at level 14 roof
- 24-hour access from elevator at PA to level 13 and then stair from level 13 to roof
- Serves 467 residential units
- ETS room at grade accessible from parkade ramp (*approximately 600 sf*)

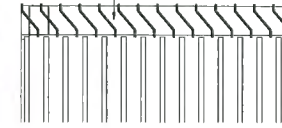
## PROPOSED STRATEGY

- Building 1B uses horizontal louvers to hide equipment from distant views

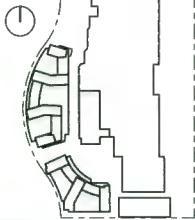
**TOWER G ROOF FROM EAST**



## DETAILS



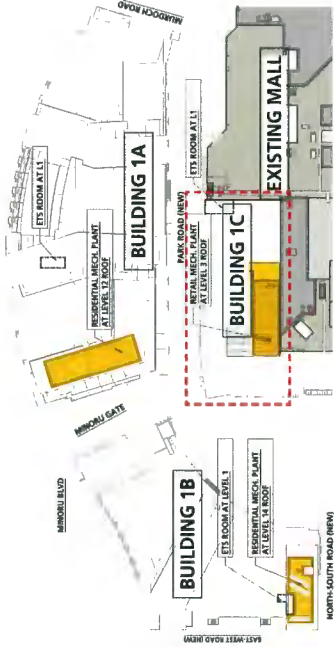
**1B SCREEN DETAIL**  
LOUVERS ORIENTATION  
BLOCKS VIEWS FROM  
ADJACENT TOWERS



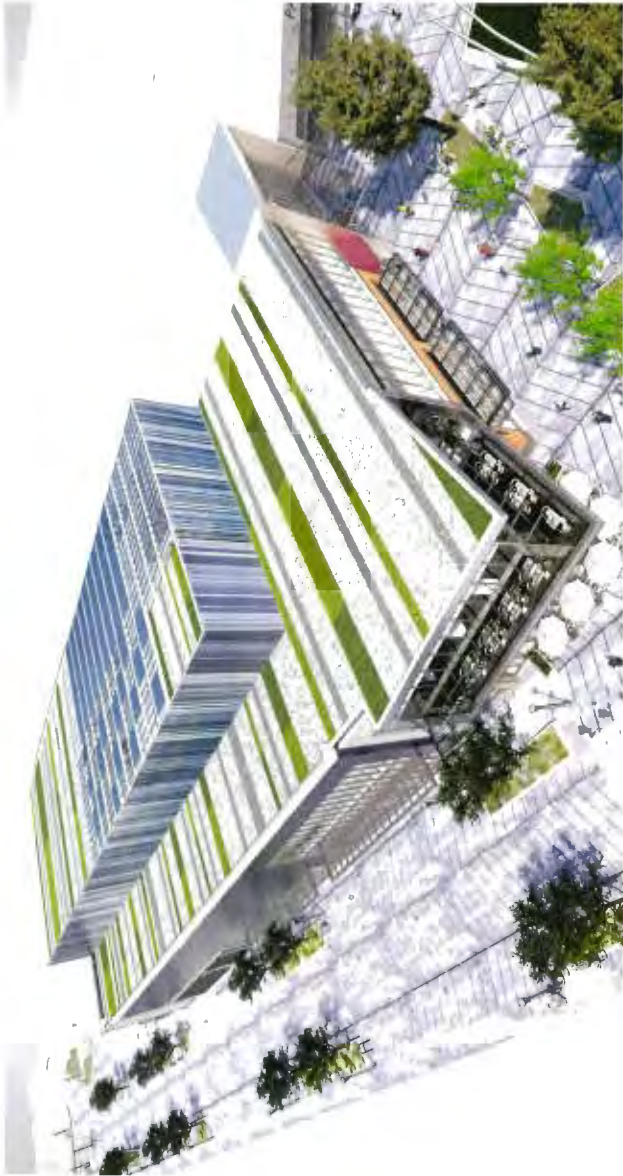
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-06-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review
	7	2019-04-26	DP Application Rev. 3 Progress for City Review
	8	2019-05-03	DP Panel Submission



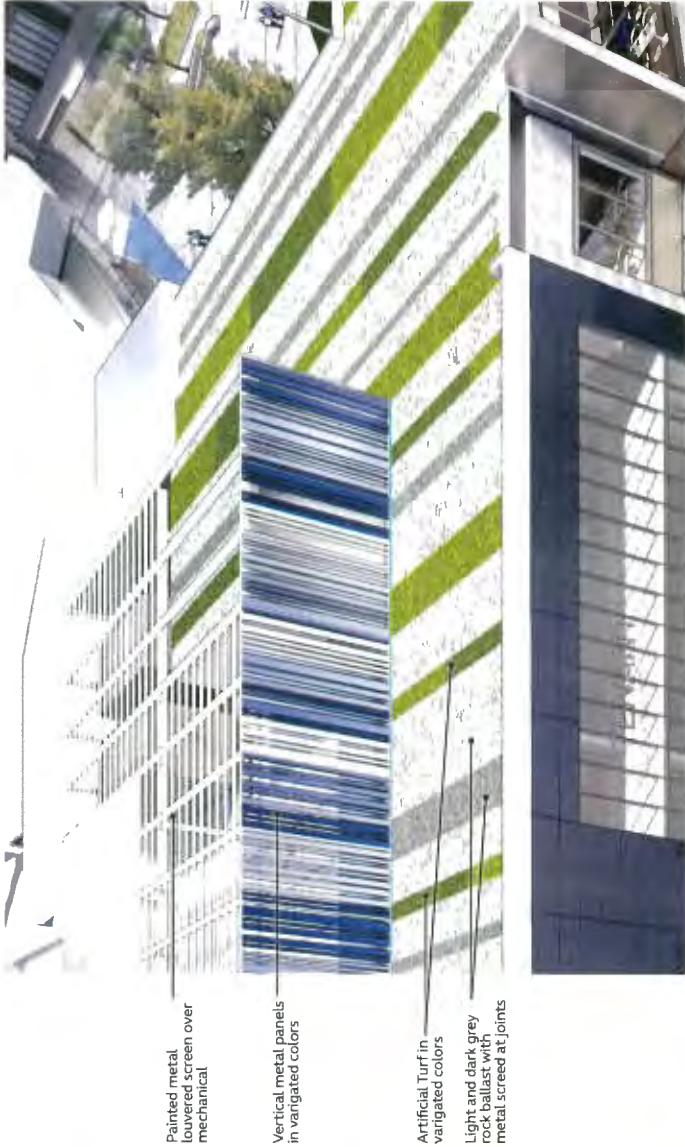
# ROOFTOP MECHANICAL SCREENING STRATEGY 1C



KEY PLAN



## DETAILS



Painted metal louvered screen over mechanical

Vertical metal panels in variegated colors

Artificial Turf in variegated colors  
Light and dark grey rock ballast with metal screed at joints

## MATERIALS



Light Grey Rock



Dark Grey Rock



Artificial Turf



Ribbed Metal Siding



Metal Louvers



Perforated Metal Panel

## INSPIRATIONAL & PRECEDENT IMAGES



### BUILDING 1C ROOF TOP

- Cooling Tower enclosure at level 3 roof for existing South Mall mechanical system expansion
- Serves 144,000 ft<sup>2</sup> of gross commercial floor area (125,000 ft<sup>2</sup> gross leasable area) & existing South Mall
- ETS room at grade accessible from Park Road (approximately 800 sf)

### PROPOSED STRATEGY

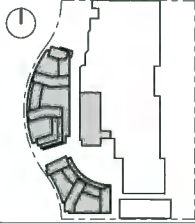
Building 1C uses decorative louvered screen and roof structure to screen equipment from surrounding towers.

Building roof is integrated into the overall composition with use of decorative ballast treatment.

gbl

# GBL ARCHITECTS INC.  
195 EASTERN AVENUE  
SUITE 200, TORONTO, ONTARIO M4M 1B7  
TEL: 416-593-1171 FAX: 416-593-1172  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11L-2

CALLISONRTKL

CALLISONRTKL  
1000 WESTERN AVENUE  
SUITE 200, TORONTO, ONTARIO M4M 1B7  
TEL: 416-593-1171 FAX: 416-593-1172  
WWW.CALLISONRTKL.COM



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
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5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

DEU OVERVIEW

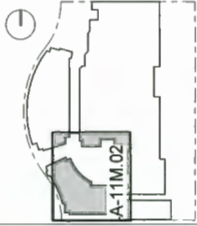
DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-11L.02









KEY PLAN

## PARK PLAZA ELEMENTS

A full range of amenities, including expansive grass lawn surface, interactive water feature, integrated art, lighting, bike facilities, large trees with lush landscaping, a mix of seating types – fixed and moveable – all combine with perimeter restaurants, and retail offerings to accommodate day and nighttime users of all ages.



(A) MOBILITY HUB

(B) GREAT LAWN & PLAZA

(C) TREES & LANDSCAPING IN PLANTERS

(D) ACTIVATED WATER FEATURE



(E) ART INSTALLATION



(F) PLAYFUL AND MOVEABLE SEATING AT GREAT LAWN

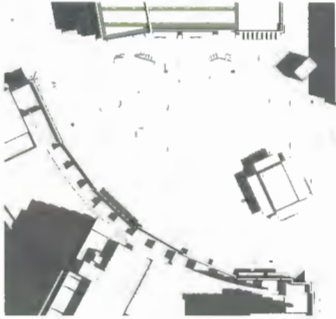


(G) MOVEABLE TABLES AND CHAIRS

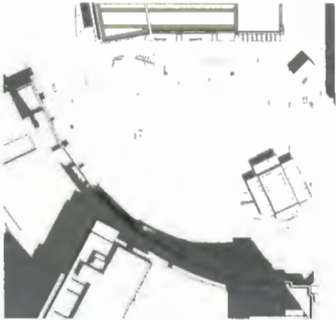


(H) OUTDOOR DINING

21 JUNE @ 9 AM



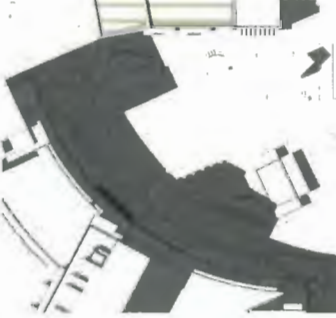
21 JUNE @ 11 AM



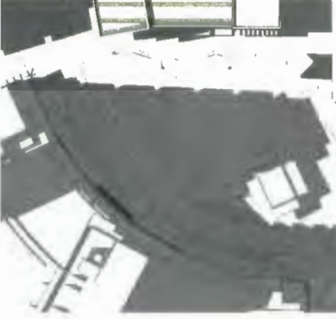
21 JUNE @ 1 PM



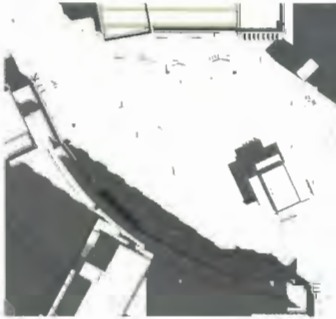
21 JUNE @ 3 PM



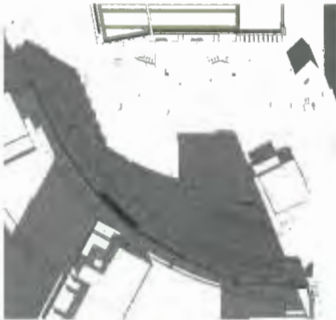
21 JUNE @ 5 PM



21 MARCH @ 9 AM



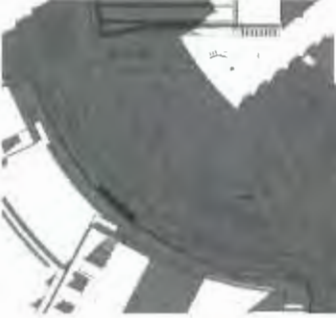
21 MARCH @ 11 AM



21 MARCH @ 1 PM



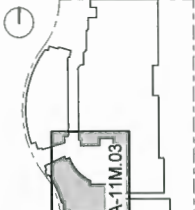
21 MARCH @ 3 PM



21 MARCH @ 5 PM







Gabriel Mackinnon

REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-09 DP Application Rev. 1
3	2018-03-29 DP Application Rev. 2
4	2018-04-26 DP Application Rev. 1
5	2018-05-24 DP Application Rev. 2
6	2019-03-20 DP Application Rev. 3
7	2019-04-24 Progress for City Review
8	2019-05-23 DP Application Rev. 4
9	2019-05-23 DP Application Rev. 5

RICHMOND  
CENTRE PHASE 1

PARK PLAZA - PROGRAMMING	
DATE	2019-05-23
DRAWN BY	JMS
CHECKED BY	JMS
SCALE	
JOB NUMBER	1686-87

# PARK PLAZA PROGRAMMING

The Central Plaza is a strategic blend of urbanity and nature. The plaza sits at the confluence of the crisply ordered Park Street corridor and the playful informality of the North South Road / Minoru Gate arc. The mixture of these two contrasting streetscape personalities, in the 'Heart' of the new development, provides a wonderful opportunity to mix patterns, textures, materials and forms to create a plaza that effectively accommodates both daily and special event activities.

The plaza welcomes retail patrons, residents, and the Richmond community to participate in the large and small activities daily. The plaza is organized to provide nearly 12,000 SF of contiguous, flex space that allows programmed events such as concerts, festivals and civic celebrations.



PLAZA APPROACHED FROM EAST SIDE ON PARK ROAD

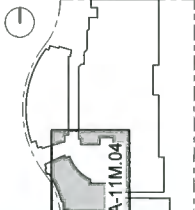


PARK ROAD PLAZA AERIAL VIEW



KEY PLAN





KEY PLAN



A. BUILDING 1C FACADE (PHASE 1) - MALL ENTRANCE



B. BUILDING 1C (PHASE 1) - OUTDOOR DINING



C. BUILDING 1C CORNER RETAIL (PHASE 1) - STREET END FEATURE

The corner retail has been rotated on the second level to address the terminus of Minoru Gate. The transparency and visibility emphasizes activity in the spaces and increase the inside – outside nature of the spaces.



Gabriel Mackinnon

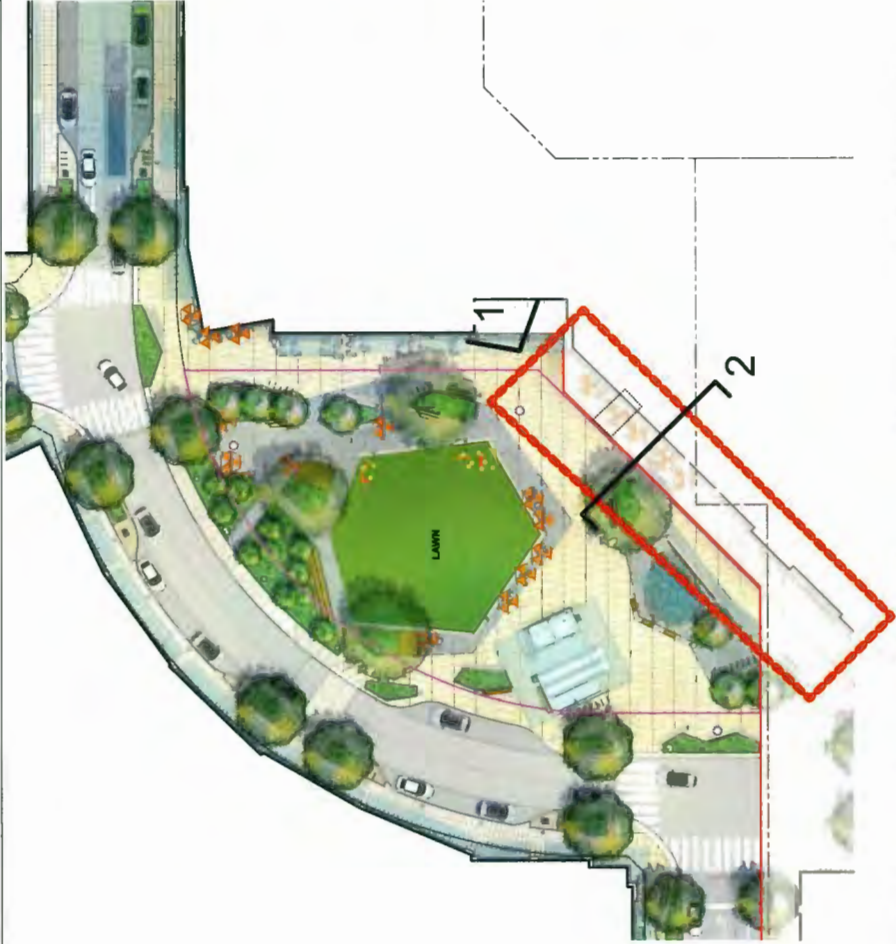
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-06-06	30% Design Set
	3	2016-02-29	DP Application Rev. 1
	4	2018-04-08	Progress for Pricing
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
	7	2019-04-26	Progress for City Review
	8	2019-05-03	DP Application Rev. 4
	9	2019-05-03	DP Application Rev. 5

RICHMOND  
CENTRE PHASE 1

PARK PLAZA - PHASE 1  
INTERFACE

DATE	2019-05-09
DRAWN BY	AM
CHECKED BY	AMS
SCALE	
JOB NUMBER	1686-87





**PARK PLAZA (PHASE 2) - ULTIMATE CONDITION**

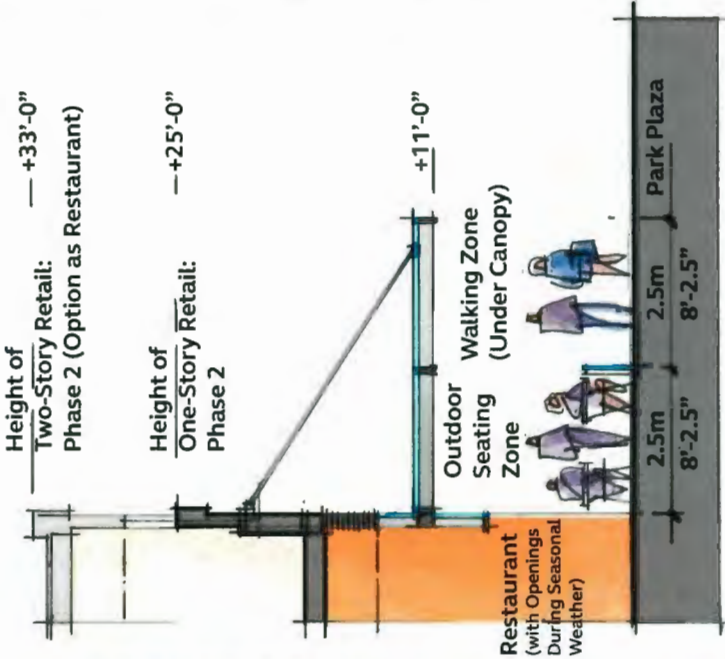
The enhanced canopy coverage provides wider pedestrian weather protection along the eastern plaza edge. It also provides coverage for seasonal outdoor dining.



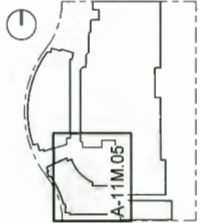
**PARK PLAZA (PHASE 1) - INTERIM CONDITION**



1. PLAZA PERSPECTIVE LOOKING SOUTHEAST (PHASE 2)

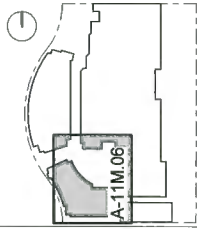


2. SECTION AT BUILDING EDGE LOOKING SOUTHEAST (PHASE 2)



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-05-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-04-02	DP Application Rev. 2
	6	2018-03-20	DP Application Rev. 3 Progress for City Review
	7	2018-04-26	DP Application Rev. 4
	8	2018-05-03	DP Application Rev. 5





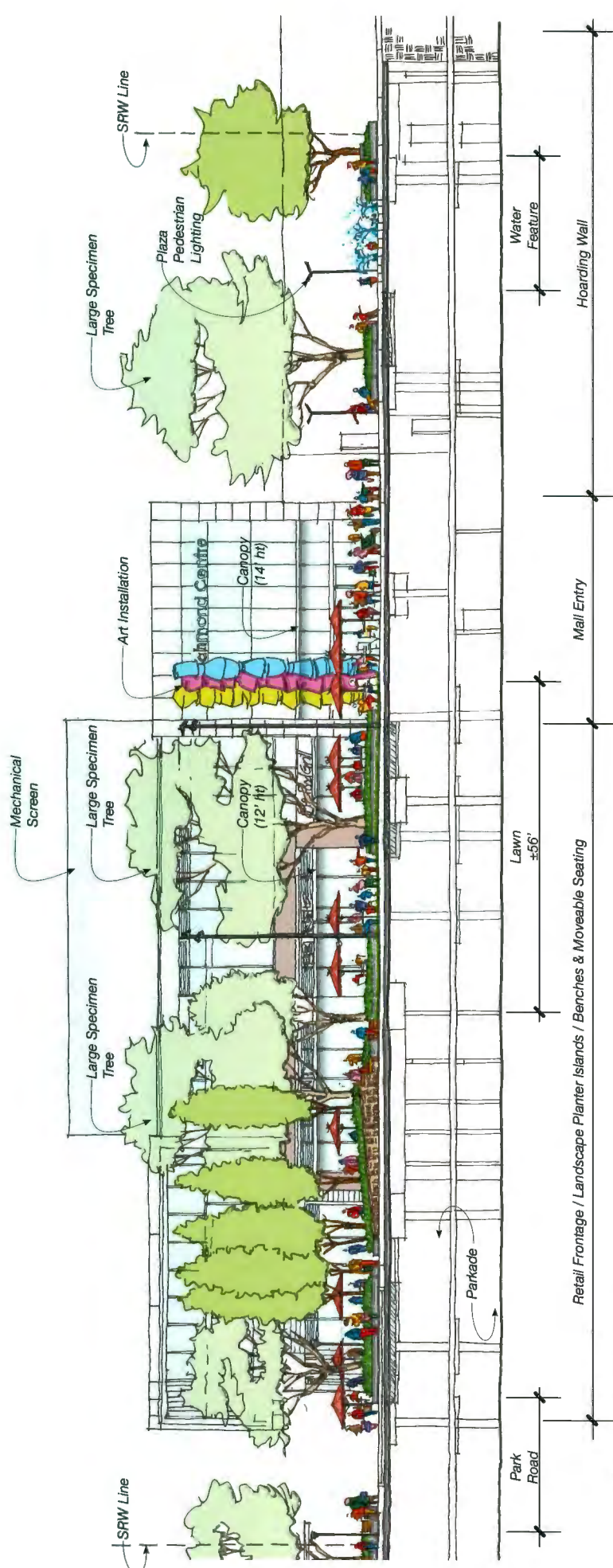
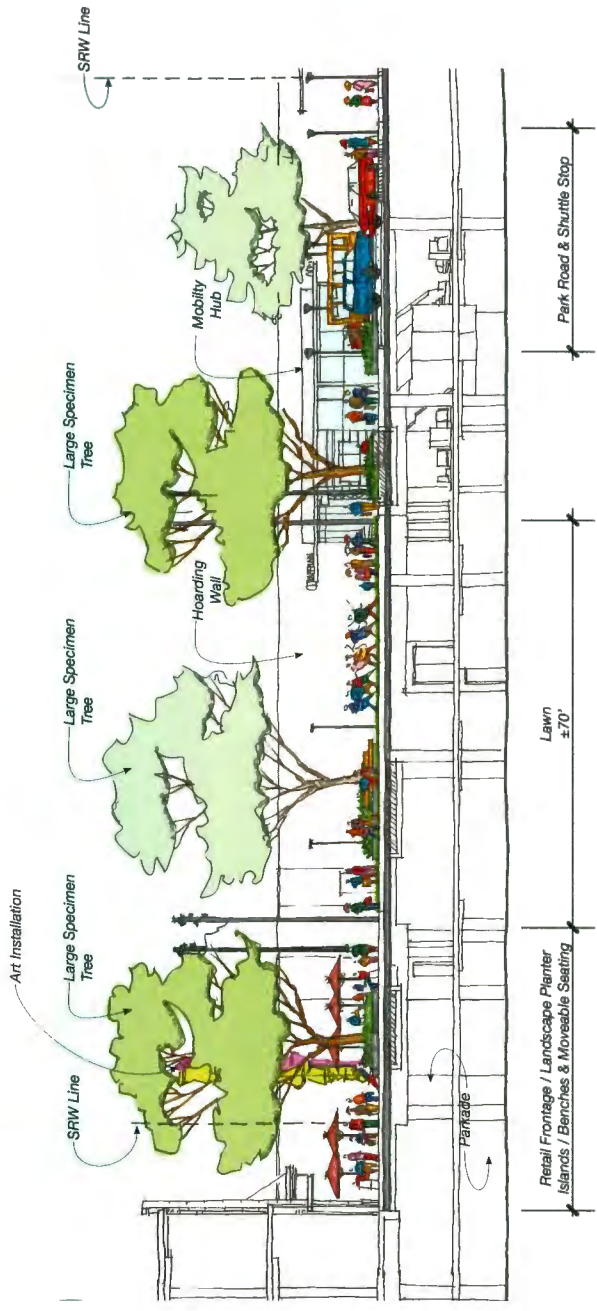
REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-09 Preliminary Design Review 1
3	2018-03-28 DP Application Rev. 1
4	2018-04-08 DP Application Rev. 1
5	2018-04-08 DP Application Rev. 2
6	2018-03-30 DP Application Rev. 3
7	2018-04-26 DP Application Rev. 4
8	2019-05-03 DP Application Rev. 5

DATE	2019-05-03
DRAWN BY	JAM
CHECKED BY	JWS
SCALE	
JOB NUMBER	1686-87



KEY PLAN

PLAZA SECTION A - LOOKING EAST

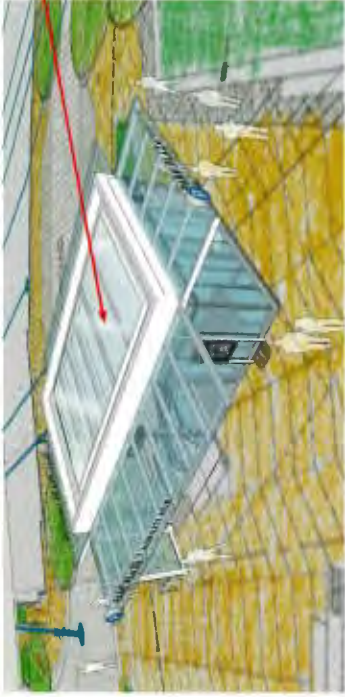
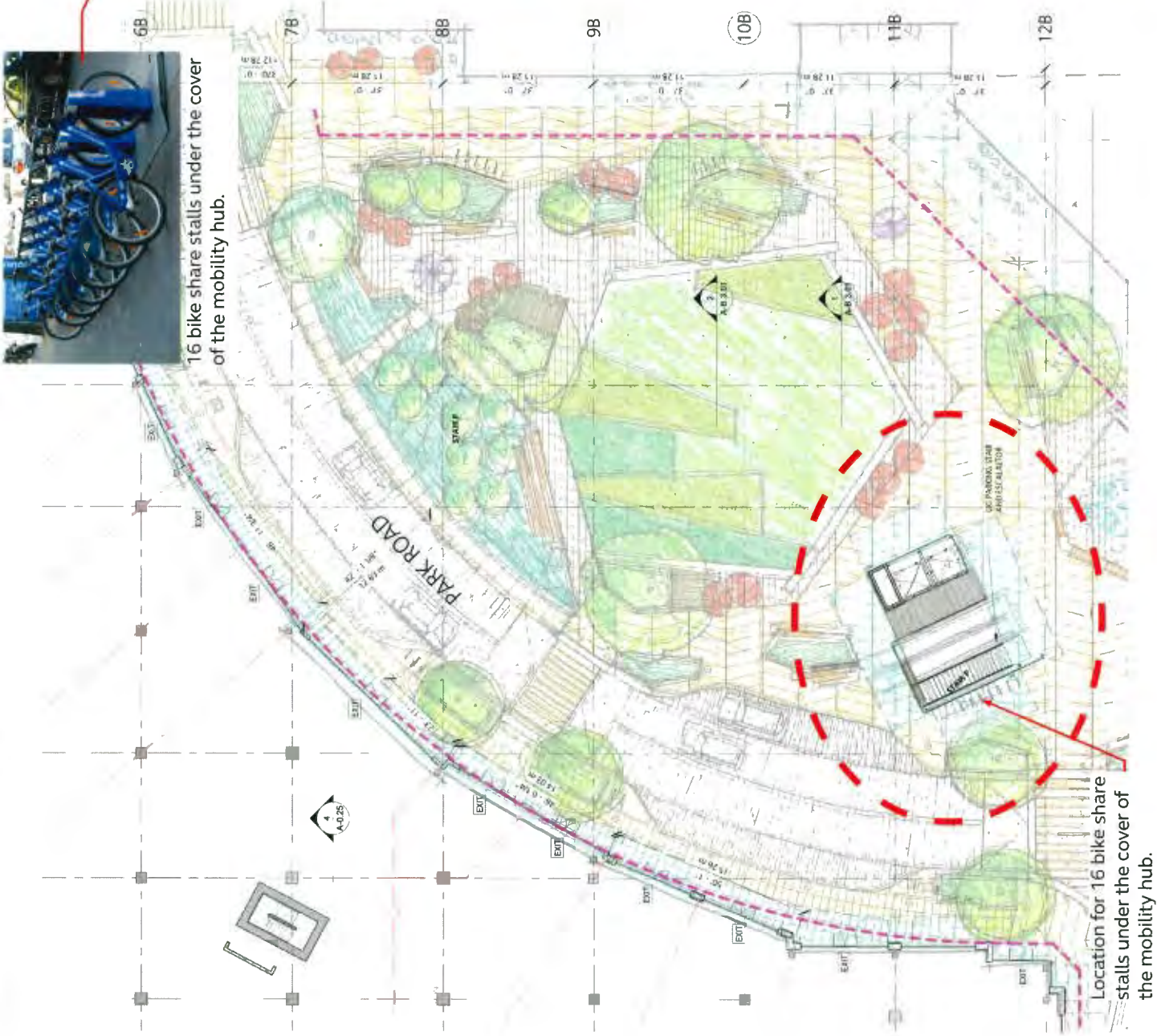


PLAZA SECTION B - LOOKING NORTH



# MOBILITY HUB

## MOBILITY HUB PLAZA PLAN



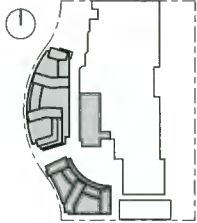
The skylight and roof will have a continuous and unified look to keep it looking clean and ordered from above. Glass surface over the elevators will be diffused to obscure the mechanics of the space.



gbl

gbl architects inc.  
1100 BAYVIEW AVE. SUITE 100  
VICTORIA, BC CANADA V8W 2E1  
TEL: 250.379.1105  
FAX: 250.379.1579  
www.gblarchitects.com

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11n-1

CALLISONRTKL  
CallisonRTKL Inc.  
1000 Burrard Street, Suite 2000  
Vancouver, BC V6Z 1G6  
Tel: 604.683.8844  
Fax: 604.683.8845  
Project No: 17-11794-00



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
		Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
		Progress for City Review

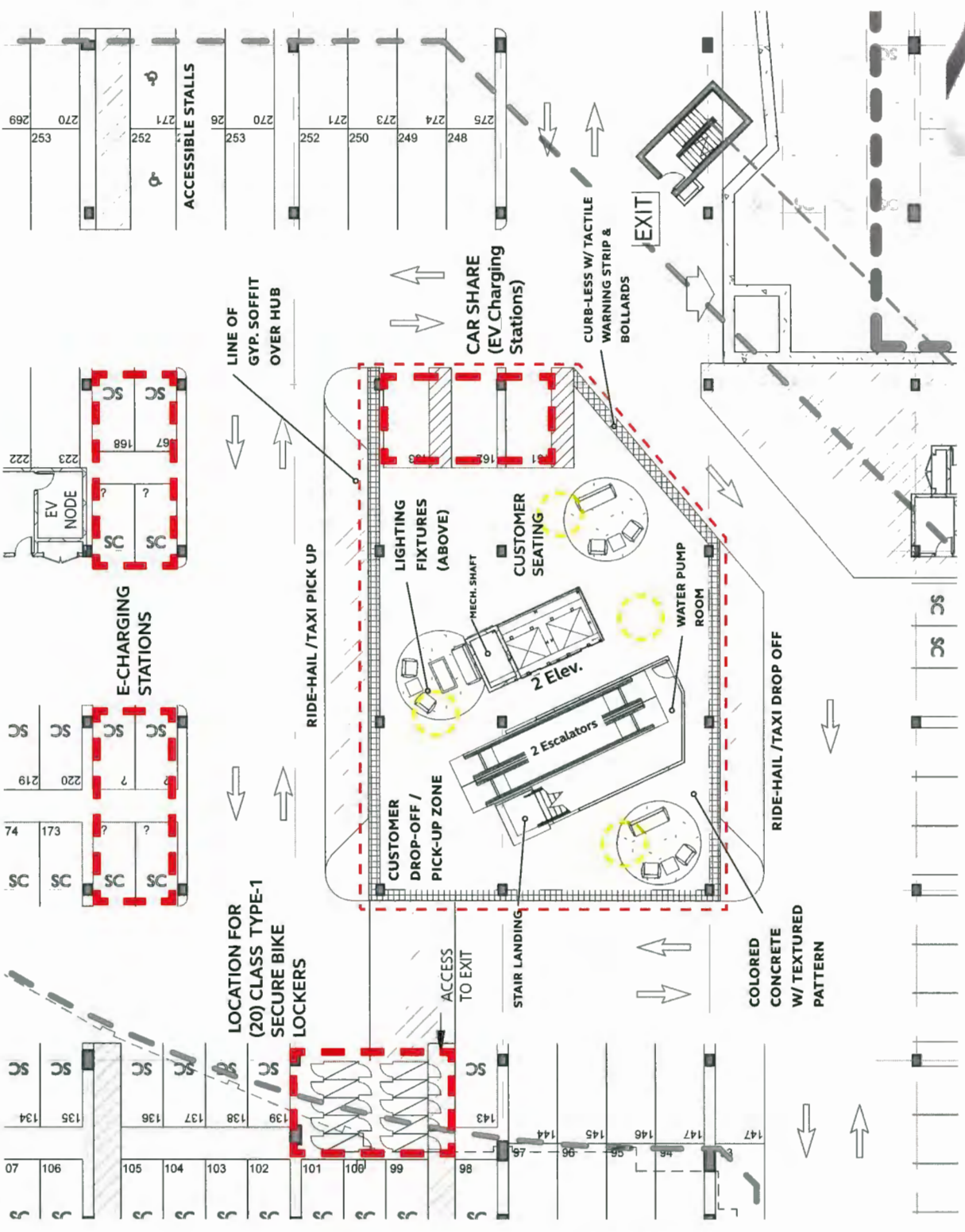
REVISED:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

MOBILITY HUB-  
PLAZA PLAN  
DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-11N.01



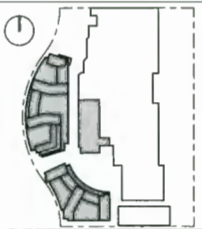
MOBILITY HUB  
MOBILITY HUB PA LEVEL PLAN



VIEW AT BOTTOM OF ESCALATOR / STAIRS



400 ARCHITECTS INC.  
11111 11111 11111  
VANCOUVER, BC CANADA V6T 1A6 TEL: 604 271 1111  
FAX: 604 271 1111  
NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11n-2

CALLISONRTKL  
11111 11111 11111  
VANCOUVER, BC CANADA V6T 1A6  
TEL: 604 271 1111  
FAX: 604 271 1111  
Project No: 100-10111111



REVISIONS			
No.	Date	Description	
1	2017-03-31	Development Permit Application	
2	2017-08-08	30% Design Set	
3	2018-03-29	DP Application Rev. 1 Progress for Pricing	
4	2018-04-06	DP Application Rev. 1	
5	2018-08-02	DP Application Rev. 2	
6	2019-03-20	DP Application Rev. 3 Progress for City Review	

REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

MOBILITY HUB-  
PA LEVEL PLAN

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-11N.02

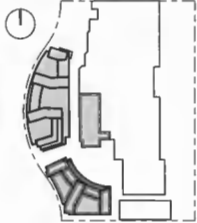
# MOBILITY HUB

## MOBILITY HUB SECTIONS

gbl

GBL ARCHITECTS INC.  
1100 WESTERN AVENUE  
VANCOUVER, BC CANADA V6T 1M6  
TEL: 604 278 1105  
FAX: 604 271 8279  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11n-3

CALLISONRTKL  
1000 WESTERN AVENUE  
VANCOUVER, BC V6T 1M6  
TEL: 604 681 2400  
FAX: 604 681 2401  
PROJECT NO: 2017-03-31



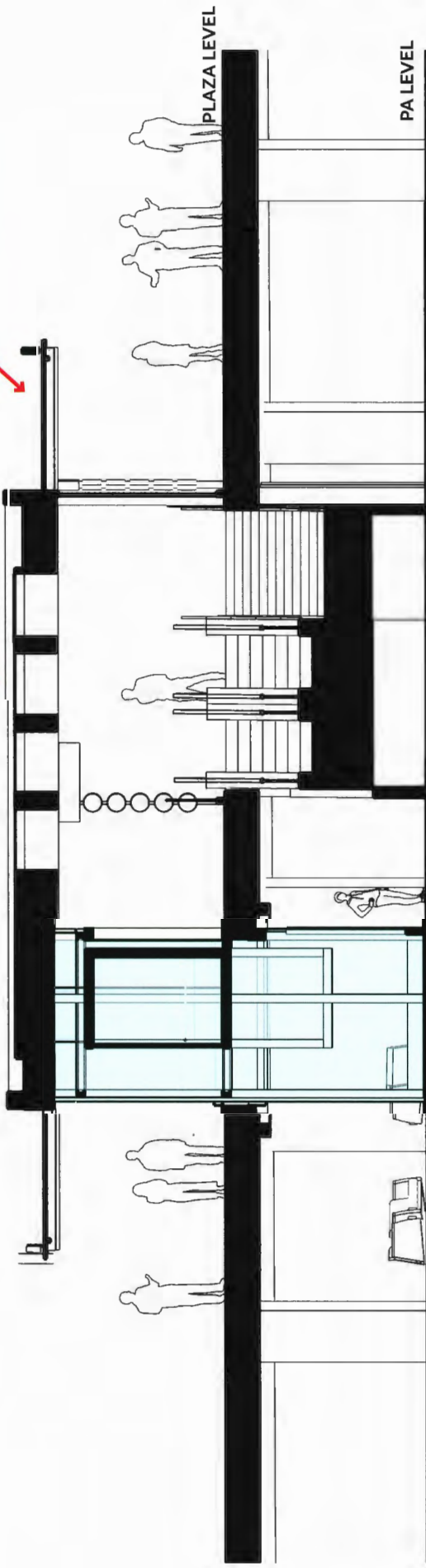
REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISION:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

MOBILITY HUB-  
SECTIONS  
DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-11N.03

SKYLIGHTS  
CANOPY

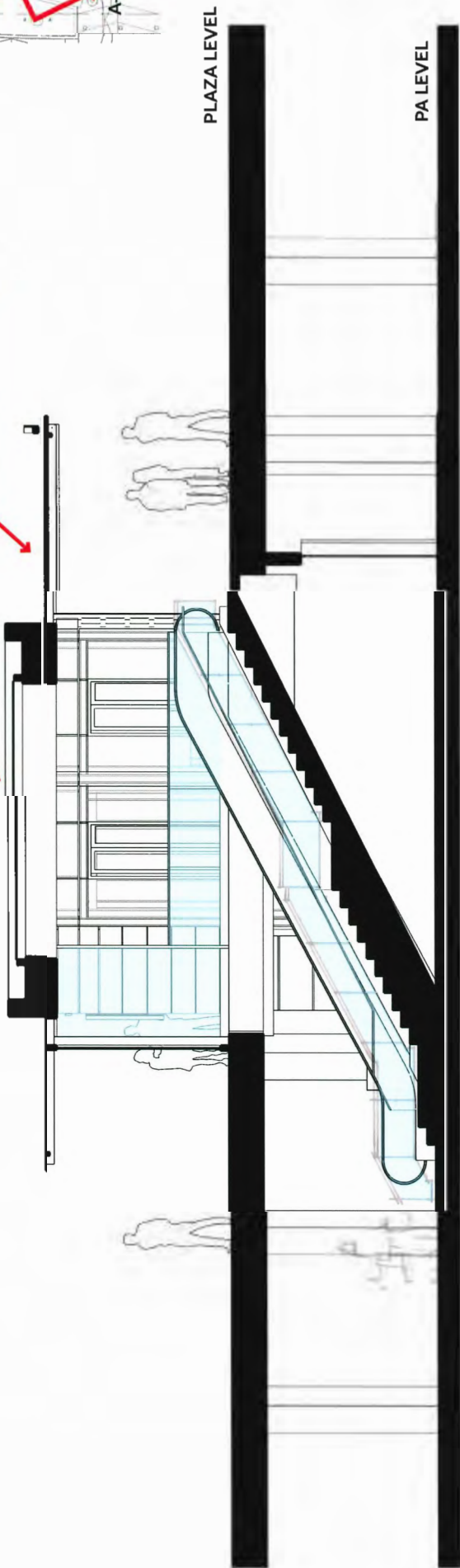


SECTION A-A

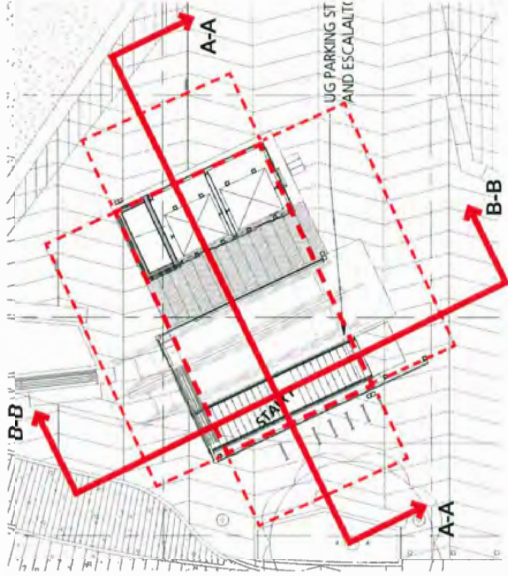


GLASS ENCLOSED  
ELEVATORS

SKYLIGHTS  
CANOPY



SECTION B-B





# MOBILITY HUB

MOBILITY HUB PA LEVEL VIEWS OF CUSTOMER AREAS



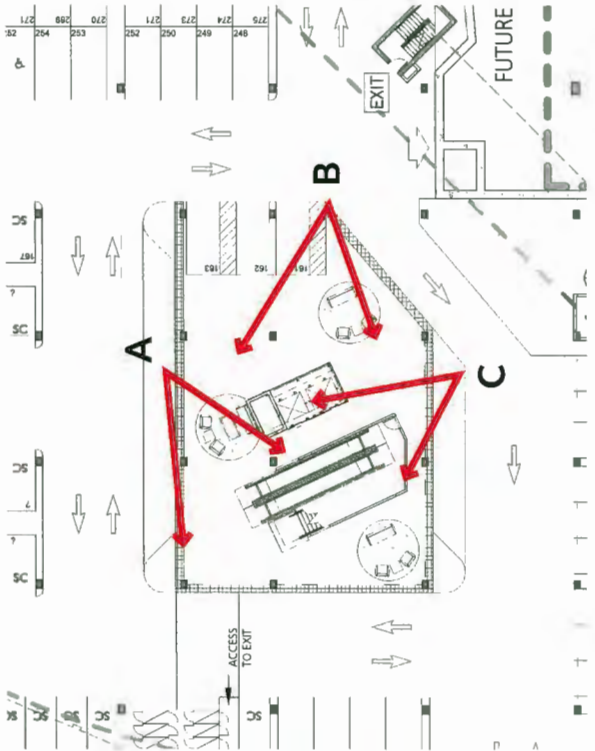
VIEW A



VIEW B



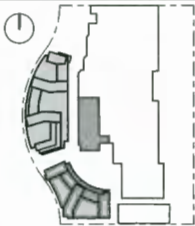
VIEW C



gbl

gbl architects inc.  
1100 WEST 10TH AVENUE  
VANCOUVER, BC CANADA V6H 1A6 TEL: 604 731 1575  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11n-4

CALLISONRTKL  
CALLISONRTKL Inc.  
1000 Burrard Street  
Suite 4000  
Vancouver, BC V6C 1A6  
Tel: 604 681 2400  
Fax: 604 681 2401  
Project No: 100-11794-00



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

MOBILITY HUB-  
PA LEVEL VIEWS  
DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-11N.04



# MOBILITY HUB

## MOBILITY HUB PA LEVEL VIEWS OF BIKE STORAGE



VIEW A



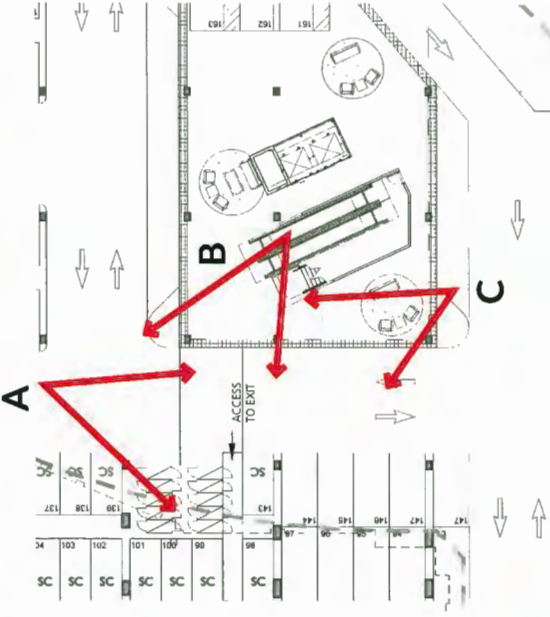
VIEW C



INFO SIGNAGE PRECEDENTS



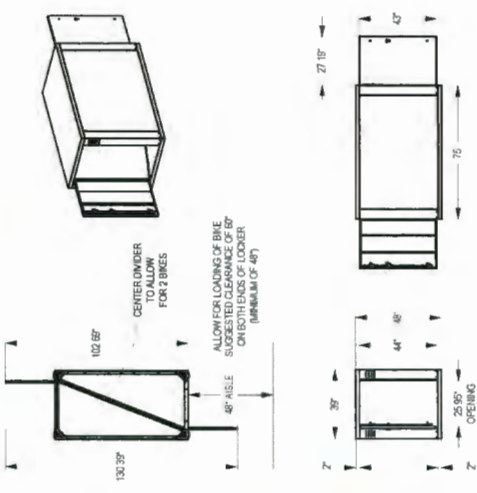
VIEW B



Example of Bike Storage Systems  
lockers for PA Level Bike Storage  
Lockers to incorporate electronic  
locking system that uses smart  
phones to find, reserve, rent and pay  
for locker access.



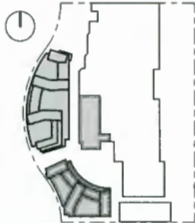
STEEL BIKE LOCKER TIER 2 STACKING UNIT | DIVIDED 2 DOOR UNIT



gbl

gbl ARCHITECTS INC.  
1100 SHEPPARD AVENUE EAST  
SUITE 1000  
VICTORIA, BC CANADA V8W 2E1  
TEL: 250-725-1105  
FAX: 250-725-1175  
www.gbl.ca

### NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11n-5

CALLISONRTKL  
1000 WESTERN AVENUE  
SUITE 1000  
VICTORIA, BC V8W 2E1  
TEL: 250-683-0888  
FAX: 250-683-0889  
Project No. 1706-11764-00



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

MOBILITY HUB-  
PA LEVEL VIEWS

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-11N.05



# MOBILITY HUB

## MOBILITY HUB LIGHTING

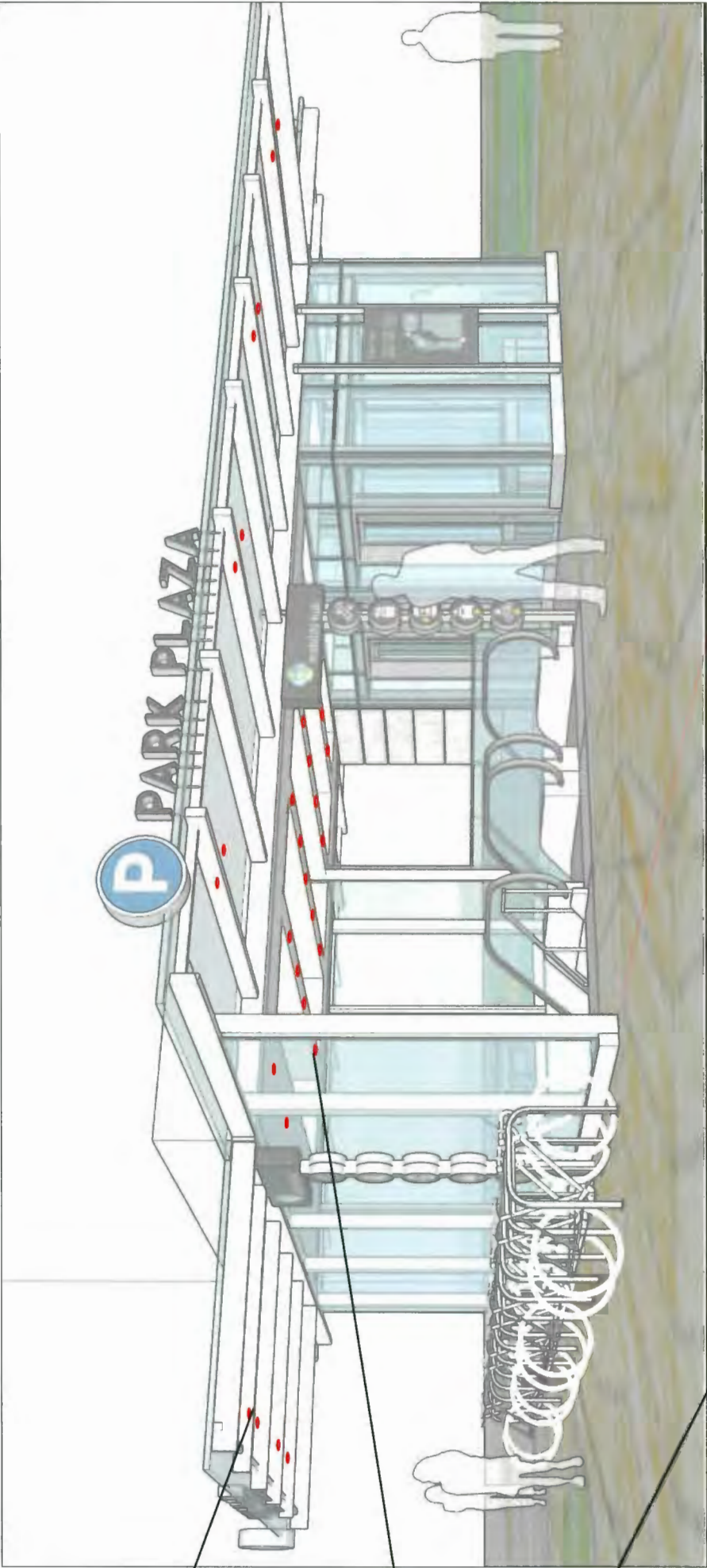


CYLINDERS SMALL APERTURE



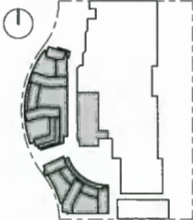
POT LIGHTS SMALL APERTURE  
PROJECTS LIGHT TO LOWER FLOORS

SPECIFIC WALL LIGHTING TO BE  
COORDINATED WITH SIGNAGE



gbl

400 ARCHITECTS INC.  
1100 AVENUE 100, SUITE 100  
VANCOUVER, BC CANADA V6T 1A6  
TEL: 604 275 1155  
FAX: 604 275 1275  
NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11n-6



CALLISONRTKL  
CallisonRTKL Inc.  
1400 West Broadway  
Suite 1000  
Vancouver, BC V6H 4G1  
Tel: 604 681 2343  
Fax: 604 681 2344  
Project No.: 100-111794-00

Gabriel Mackinnon

REVIEWS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1 Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

MOBILITY HUB-  
LIGHTING

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

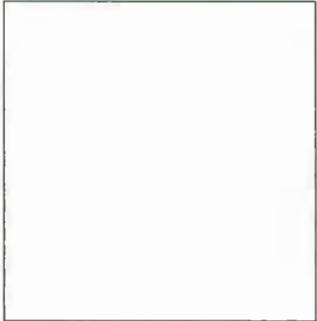
A-11N.06



# MOBILITY HUB

## MATERIALS

### METALS



Material 1a:

Metal Paint:

Supplier: PPG  
Product: Duranar Paint  
Color: Bright White  
Finish: Matte  
Location: Mobility Hub Canopy



Material 1c:

Metal Paint:

Supplier: PPG  
Product: Duranar Paint  
Color: Pewter  
Finish: Matte  
Location: Mobility Hub Mullions

### PORCELAIN TILE



Material 02b:

Dimension: 1m x 3m  
Thickness: 3mm (+)

Oxide Grigio:

Supplier: Laminam  
Product Series: Oxide  
Color: Grigio  
Finish: Matte  
Location: Ventilation Shaft Exterior Walls

### PRECAST CONCRETE



Material 03c:

Precast Concrete Panel:

Supplier: Olymplan Precast  
Product: 2910  
Color: Light Gray  
Finish: Acid Etch  
Location: Curb Base at Elevator Enclosure & Window Wall

### PHENOLIC PANEL



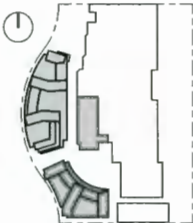
Material 19 (PC-2):

Wood-Look Panel:

Supplier: Trespa  
Product: Meteon  
Color: Tropical Ipe  
Finish:  
Location: Level PA Stair /Escalator Wall

gbl

GBL ARCHITECTS INC.  
1100 WESTERN AVENUE  
VANCOUVER, BC CANADA V6T 1M6 TEL: 604.739.1105  
FAX: 604.731.5279  
NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11n-7

CALLISONRTKL  
CallisonRTKL Inc.  
1000 Burrard Street  
Suite 4000  
V6C 3E8  
Tel: 604.683.4646  
Fax: 604.683.4646  
Project No: 200-511794-09



REVIEWS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010  
RICHMOND  
CENTRE PHASE 1

MOBILITY HUB-  
MATERIALS  
DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-11N.07





**SRW ROADS - RETAIL STREET SECTIONS**  
**PARK ROAD @ PARK PLAZA**



RETAIL ALONG PARK ROAD ACROSS FROM PARK PLAZA



PLANTING SIDEWALK	TRAVEL LANES	SIDEWALK	PLANTING SIDEWALK	PLAZA PAVING	GREEN LAWN	PLAZA PAVING	PLANTING	PLAZA PAVING
10'-0" min (VARIES)	22'-0"	2'-6"	(VARIES)	6'-0"	72'-0" min. (VARIES)	8'-0" min. (VARIES)	8'-0"	22'-0" min. (VARIES)
130'-0" to 180'-0" (VARIES)								

**PARK ROAD SECTION @ PARK PLAZA 1-1**



■ GRI ARCHITECTS INC.  
139 EAST 8TH AVENUE  
VANCOUVER, BC CANADA V5T 1B8  
TEL 604 736 1156  
FAX 604 731 5279



**DP 17-768248**  
MAY 29, 2019  
**PLAN # 110-1**

CALLISON<sup>®</sup>TKL™

CallisonRTKL, Inc.  
1420 Fifth Avenue  
Suite 2400  
Seattle, WA 98101-2343  
Tel: 206.623.4046  
Fax: 206.623.4625  
Project No: 005-151744-0



REVISIONS		No.	Date	Description
1	2017-03-31			Development Permit Application
2	2017-08-08			30% Design Set
3	2018-03-29			D/P Application Rev. 1
4	2018-04-06			Progress for Pricing
5	2018-08-02			D/P Application Rev. 1
6	2019-03-20			D/P Application Rev. 2
				D/P Application Rev. 3
				Brooklyn Ave. Closures

REVISÉ:

17/10/2010  
REVISED.

**RICHMOND**  
**CENTRE PHASE 1**

SRW ROADS -  
PARK ROAD

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-110.01

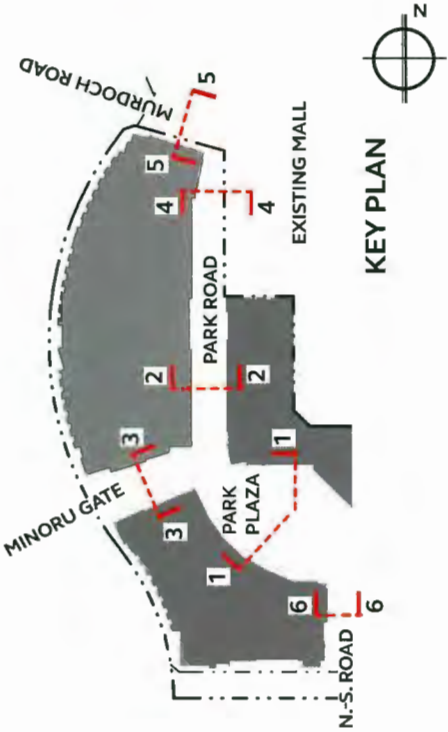


# SRW ROADS - RETAIL STREET SECTIONS

## PARK ROAD NORTH

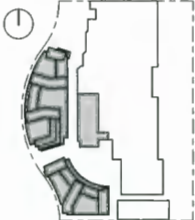


RETAIL ALONG PARK ROAD



KEY PLAN

DP 17-768248  
MAY 29, 2019  
PLAN # 11o-2



NOTES

gbl  
1000 AVENUE 101, S.W.  
VANCOUVER, BC CANADA V6P 1H5  
TEL: 604.734.1155  
FAX: 604.731.5279

gbl

CALLISONRTKL

1400 WEST 10TH AVENUE  
SUITE 1000  
VANCOUVER, BC V6H 3G9  
TEL: 604.681.1200  
FAX: 604.681.1201  
PROJECT NO: 100-101794-00



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1
			Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3
			Progress for City Review

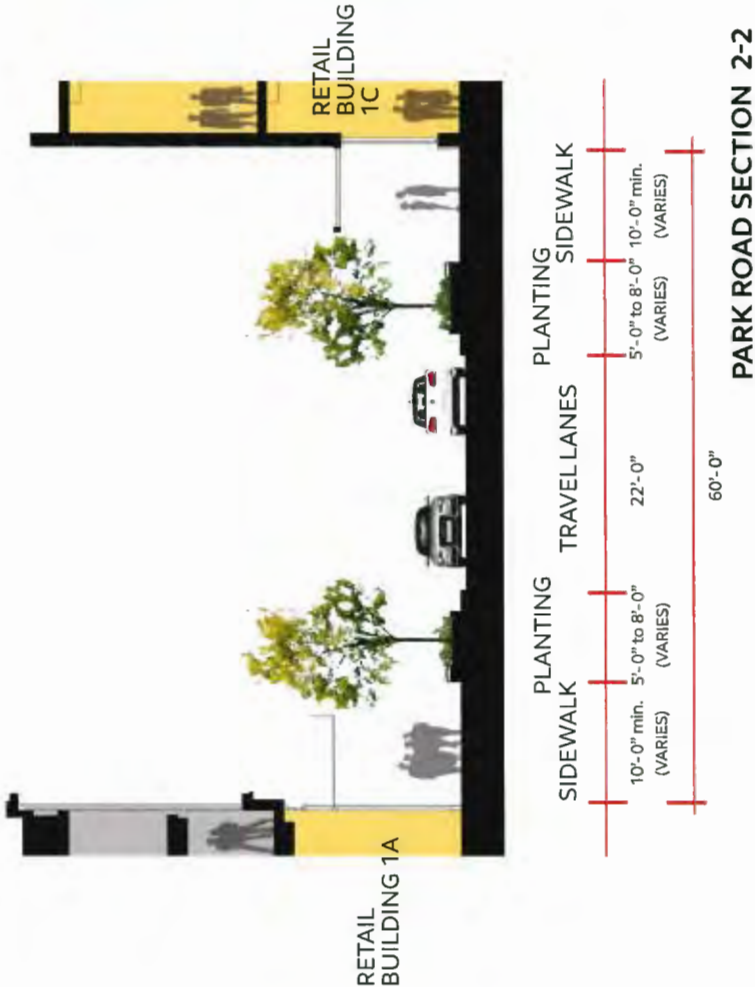
REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

SRW ROADS -  
PARK ROAD

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-110.02

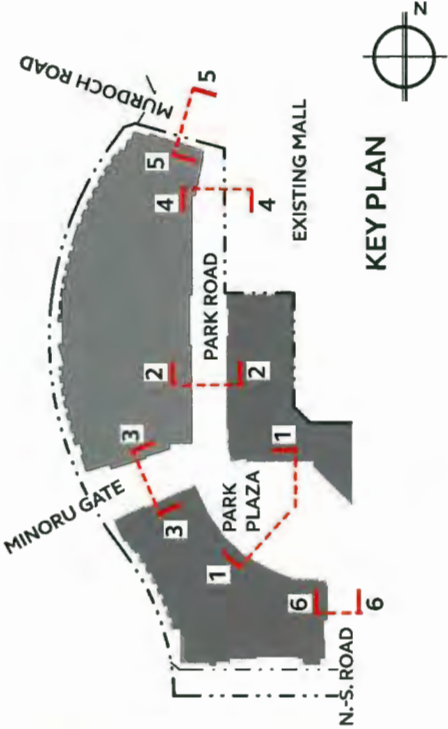


PARK ROAD SECTION 2-2



SRW ROADS - RETAIL STREET SECTIONS

MINORU GATE



KEY PLAN

RETAIL ALONG MINORU GATE



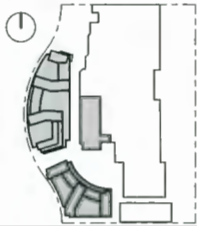
SIDEWALK	PLANTING	TRAVEL LANES	PLANTING	SIDEWALK
10'- 0" min. (VARIES)	6'- 0" to 12'- 0" (VARIES)	33'- 0" to 35'- 6" (VARIES)	6'- 0" to 14'- 0" (VARIES)	10'- 0" min. (VARIES)
78'- 0" to 99'- 0"				

MINORU GATE SECTION @ PARK PLAZA 3-3



gbl architects inc.  
1180 EASTERN AVENUE  
VANCOUVER, BC CANADA V6L 1A8 TEL: 604.736.1105  
FAX: 604.731.5275

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11o-3

CALLISONRTKL

CALLISONRTKL  
1420 WEST 7TH AVENUE  
VANCOUVER, BC V6H 1T1  
TEL: 604.683.4644  
FAX: 604.683.4644  
PROJECT NO: 2008-101794-03



REVISIONS		
No.	Date	Description
1	2017-03-31	Development Permit Application
2	2017-08-08	30% Design Set
3	2018-03-29	DP Application Rev. 1
		Progress for Pricing
4	2018-04-06	DP Application Rev. 1
5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
		Progress for City Review

REVISIONS:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

SRW ROADS -  
MINORU GATE

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-110.03

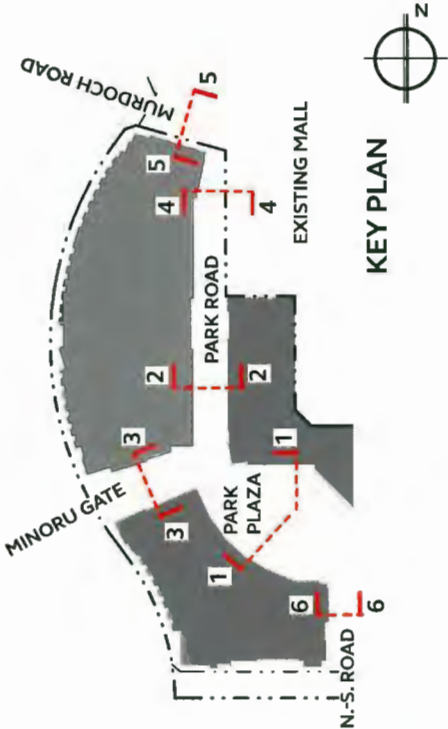


SRW ROADS - RETAIL STREET SECTIONS

PARK ROAD NORTH @ EXISITNG GALLERIA ENTRANCE

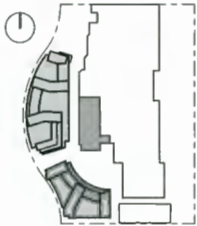


RETAIL ALONG PARK ROAD ACROSS FROM EXISTING MALL



gbl architects inc.  
1000 WESTERN AVENUE  
VANCOUVER, BC CANADA V6T 1M6 TEL: 604.739.1105  
FAX: 604.731.5279

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 110-4

CALLISONRTKL

CallisonRTKL Inc.  
1000 West 10th Avenue  
Suite 1000  
Vancouver, BC V6H 3A9  
Tel: 604.683.4044  
Fax: 604.683.4045  
Project No: 100-101794-00



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISIONS:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

SRW ROADS -  
PARK ROAD

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-110.04



PAVING	PLANTING	SIDEWALK	TRAVEL LANES	PLANTING	SIDEWALK
6'-0"	4'-0" to 18'-0" (VARIES)	8'-0" to 10'-0" (VARIES)	3'-0" to 5'-0" (VARIES)	5'-0" to 8'-0" (VARIES)	10'-0" min. (VARIES)
66'-0" to 96'-0" (VARIES)					

PARK ROAD NORTH SECTION @ EXISTING MALL 4-4

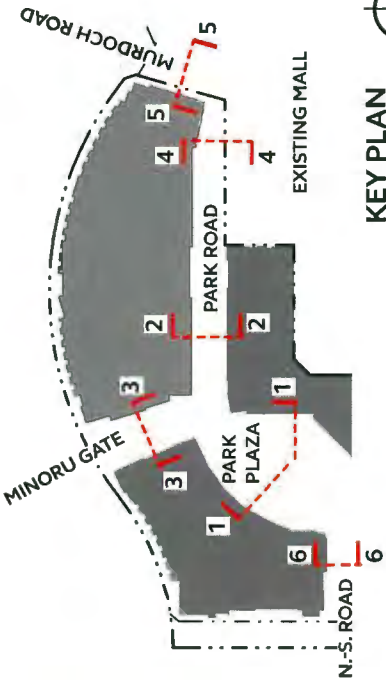


# SRW ROADS - RETAIL STREET SECTIONS

## MURDOCH ROAD @ PARK ROAD NORTH



RETAIL ALONG MURDOCH ROAD

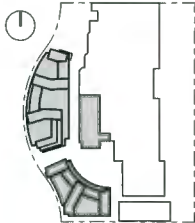


DP 17-768248  
MAY 29, 2019  
PLAN # 11o-5



gbl architects inc.  
1100 WESTERN AVENUE  
VANCOUVER, BC CANADA V6T 1B8 TEL: 604.731.1155  
FAX: 604.731.5379  
www.gblarchitects.com

NOTES



CALLISONRTKL

CALLISONRTKL INC.  
1000 WESTERN AVENUE  
SUITE 2000  
VANCOUVER, BC V6T 1B8  
TEL: 604.633.4444  
FAX: 604.633.4444  
PROJECT NO: 100-151794-02



REVISIONS	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review

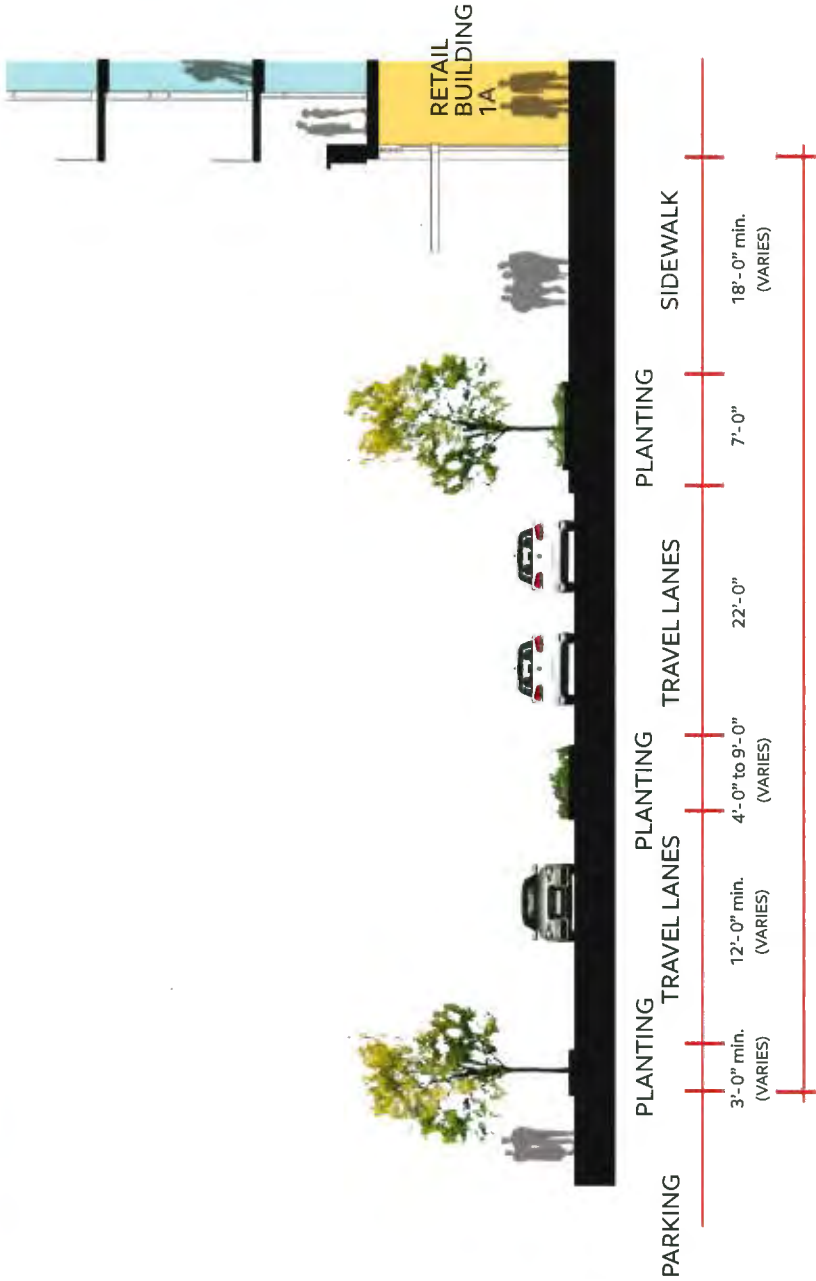
REVISED:  
17/10/2010

RICHMOND  
CENTRE PHASE 1

SRW ROADS -  
MURDOCH ROAD

DATE  
DRAWN BY  
CHECKED BY  
SCALE  
JOB NUMBER

A-110.05



BUILDING FACE TO EXISTING PARKING LOT

MURDOCH ROAD SECTION @ PARK ROAD NORTH 5-5

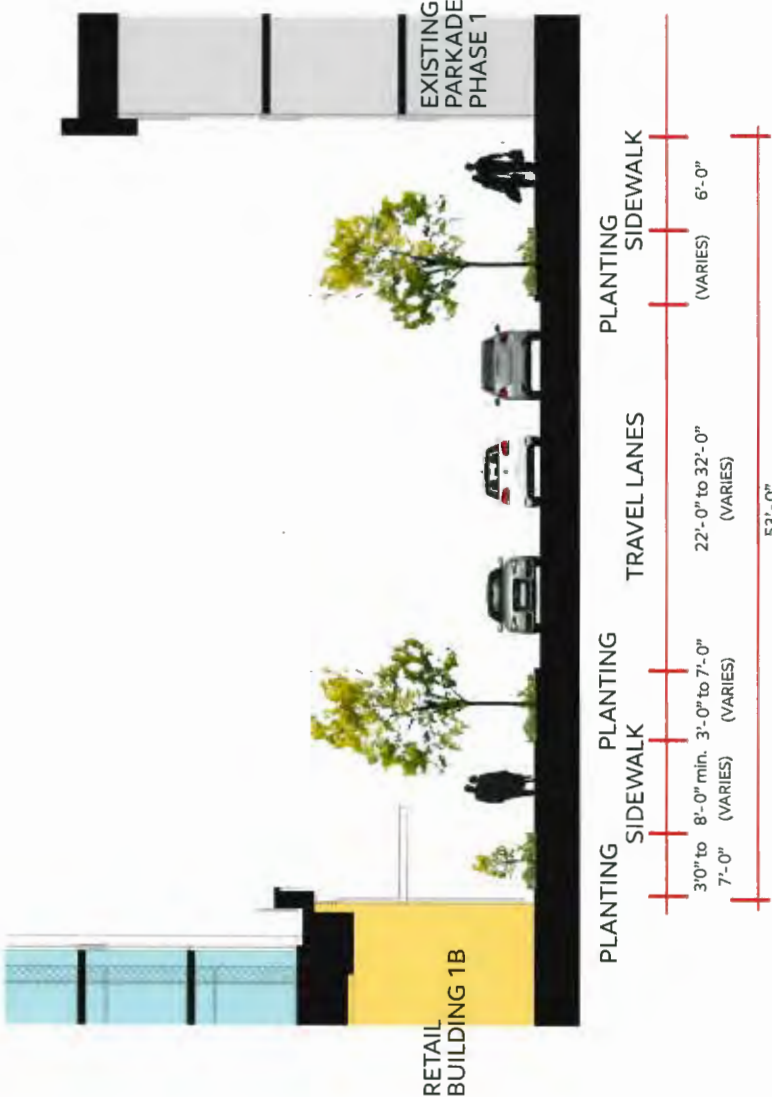


# SRW ROADS - RETAIL STREET SECTIONS

## NORTH - SOUTH ROAD @ PARK PLAZA



RETAIL ALONG NORTH-SOUTH ROAD

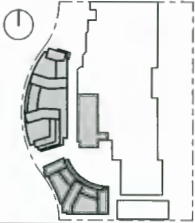


NORTH - SOUTH ROAD SECTION 6-6

gbl

GBL ARCHITECTS INC.  
1100 UNIVERSITY AVENUE, SUITE 100  
VANCOUVER, BC CANADA V6E 1A8 TEL: 604 731 1108  
FAX: 604 731 5275  
WWW.GBLARCHITECTS.COM

NOTES



DP 17-768248  
MAY 29, 2019  
PLAN # 11o-6

CALLISONRTKL

CALLISONRTKL  
1100 UNIVERSITY AVENUE, SUITE 100  
VANCOUVER, BC CANADA V6E 1A8 TEL: 604 731 1108  
FAX: 604 731 5275  
WWW.CALLISONRTKL.COM



REVISING	No.	Date	Description
	1	2017-03-31	Development Permit Application
	2	2017-08-08	30% Design Set
	3	2018-03-29	DP Application Rev. 1 Progress for Pricing
	4	2018-04-06	DP Application Rev. 1
	5	2018-08-02	DP Application Rev. 2
	6	2019-03-20	DP Application Rev. 3 Progress for City Review

REVISED:  
17/10/2010

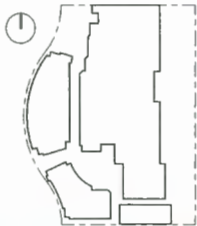
RICHMOND  
CENTRE PHASE 1

SRW ROADS -  
N/S ROAD

DATE:  
DRAWN BY:  
CHECKED BY:  
SCALE:  
JOB NUMBER:

A-110.06



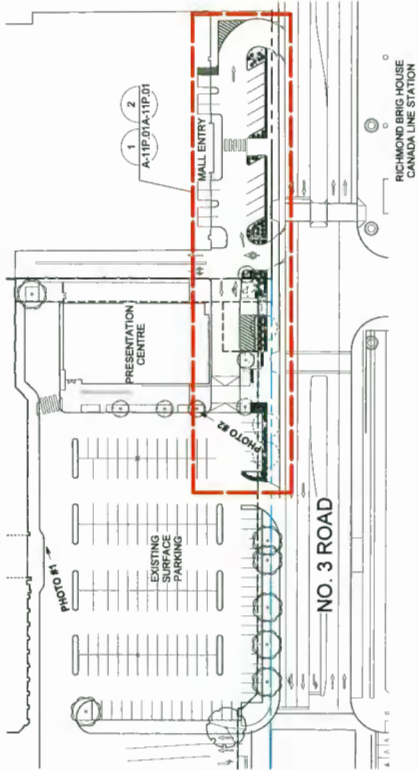


REVISIONS	
No.	Description
1	2017-03-31 Development Permit Application
2	2017-08-09 Application Set
3	2018-03-20 DP Application Rev. 1
4	2018-04-06 Program for Paving
5	2018-04-06 DP Application Rev. 2
6	2018-03-20 DP Application Rev. 3
7	2018-04-26 Program for City Review
8	2018-05-28 DP Application Rev. 5

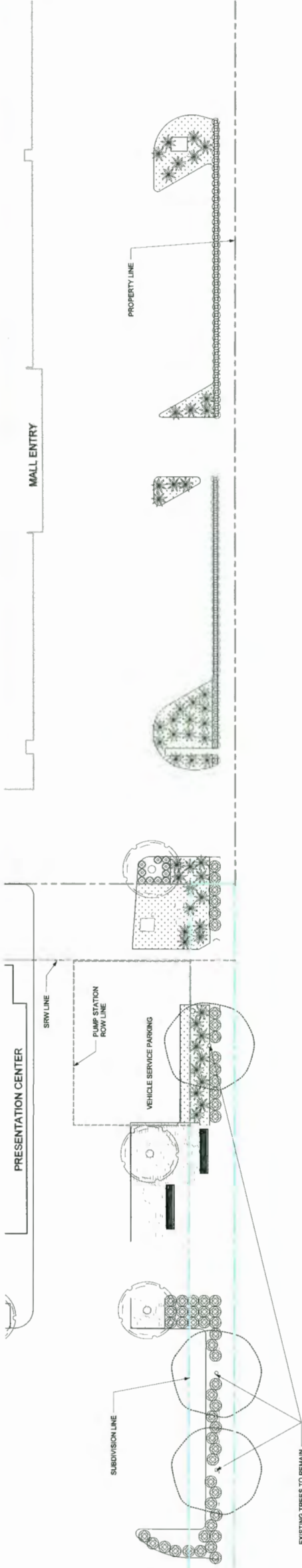


PHOTO #1: EXISTING CONDITION ALONG MALL FRONTAGE TO REMAIN

PHOTO #2: EXISTING CONDITION ALONG PRESENTATION CENTRE EDGE TO REMAIN

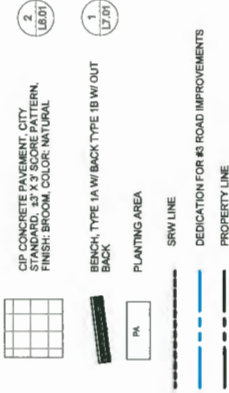


3 NORTH EAST PARKING LOT KEY PLAN  
1" = 50'-0"



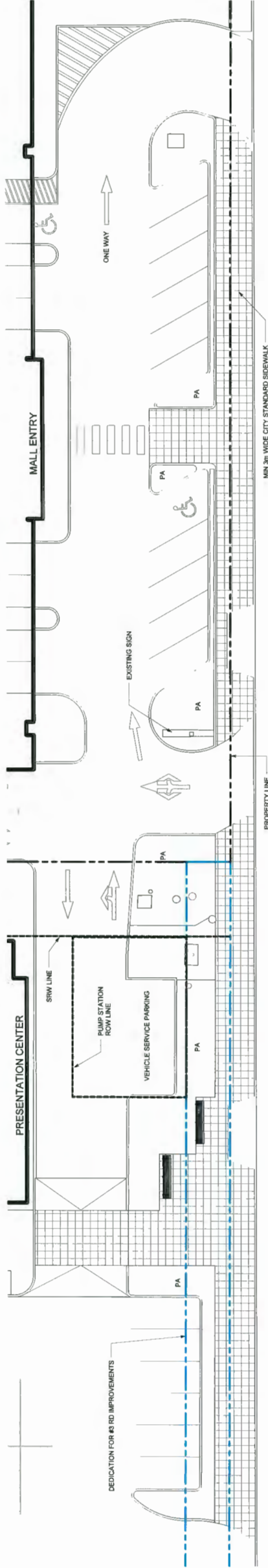
2 PLANTING PLAN - PHASE 1  
1" = 10'-0"

MATERIALS LEGEND



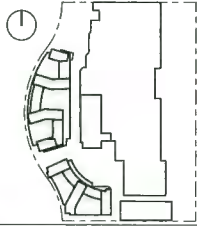
PLANTING LEGEND

CANADA LINE PLANTING SCHEDULE - TREES, SHRUBS, AND GRASSES					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
52	SHRUB	Malus baccata 'Yukon Snow'	#1 POT	PER PLAN	
76	SHRUB	Alnus incana	#1 POT	PER PLAN	
95	SHRUB	Buxus sempervirens 'Winter Gem'	#1 POT	PER PLAN	
10	TREE	Rhamnus alaternus 'Minor'	#5 POT	PER PLAN	
10	TREE	Stemodia japonica	#5 POT	PER PLAN	
3	TREE	Acer rubrum 'Karpis'	4" CAL	PER PLAN	
CANADA LINE PLANTING SCHEDULE - GROUNDCOVERS					
QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS
245	GRASS	Hieracium pilosella	#1 POT	18" O.C.	
613	GRASS	Erigeron annuus 'Emerald Carpet'	#1 POT	18" O.C.	



1 MATERIALS PLAN - PHASE 1  
1" = 10'-0"

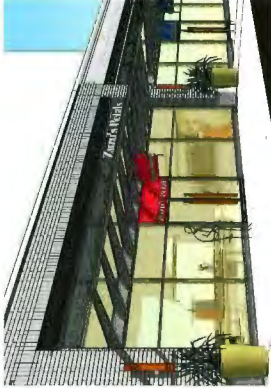
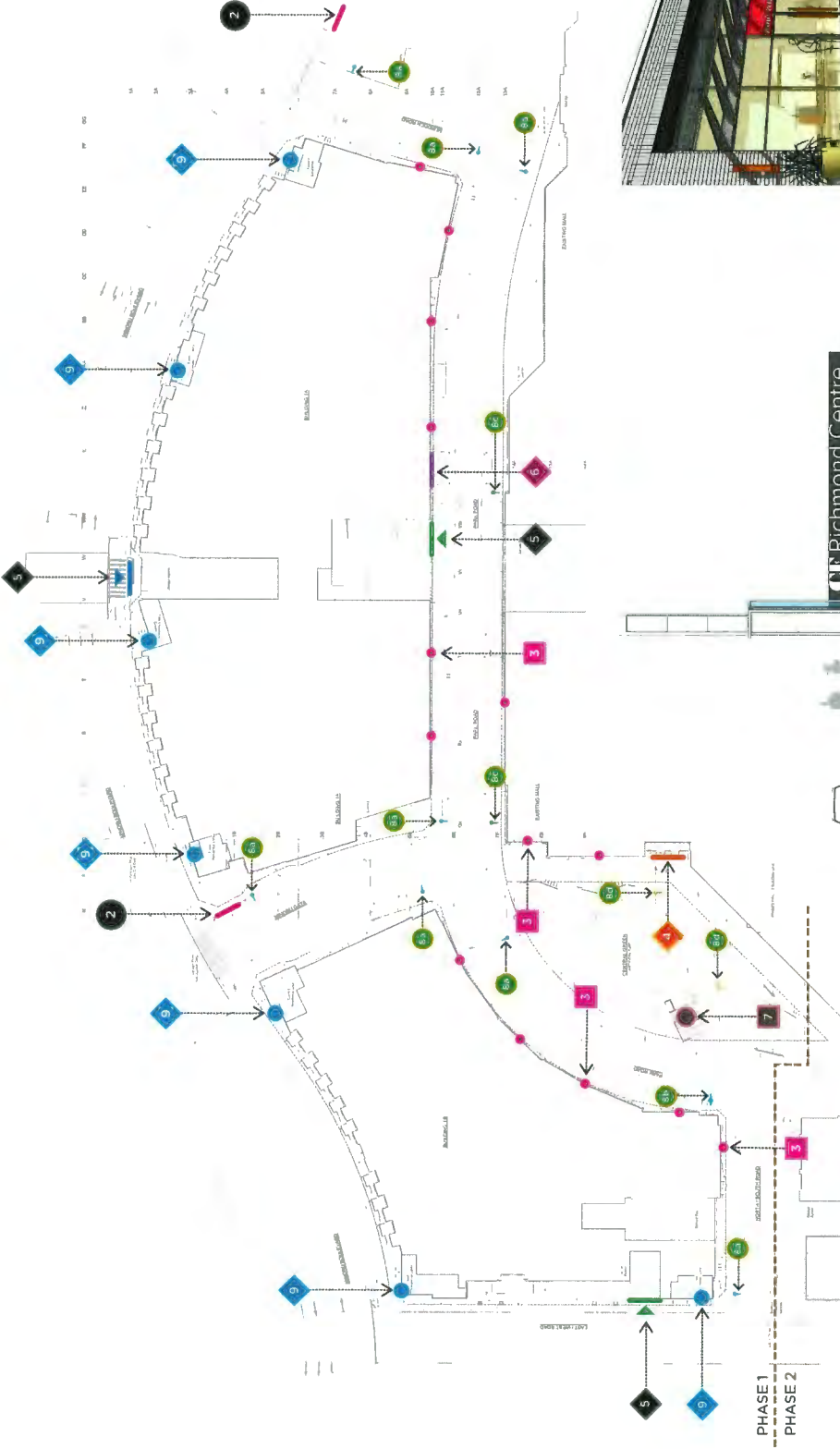




DP 17-768248  
MAY 29, 2019  
PLAN # 12

SIGN TYPE DESCRIPTION

- 2 Typical Site Entrance at Gateways
- 3 Typical Retail Tenant Signage
- 4 Brand ID - Mall Building Entrance
- 5 Parkade Entrance ID
- 6 Parkade Access to Level PA via Elevators
- 7 Park Plaza / Mobility Hub ID / Informational Signage
- 8a Vehicular Directional Sign on Light Pole
- 8b Vehicular/Pedestrian Directional Sign on Light Pole
- 8c Pedestrian Directional Sign on Light Pole
- 8d Pedestrian Directional Sign
- 9 Residential Tower Lobby ID



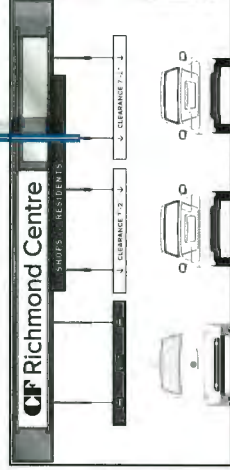
3 TYPICAL RETAIL STOREFRONT SIGNAGE



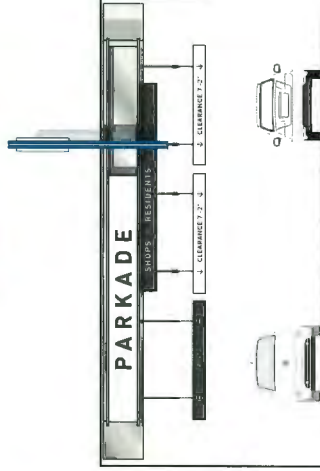
2 TYPICAL SITE ENTRANCE AT GATEWAYS



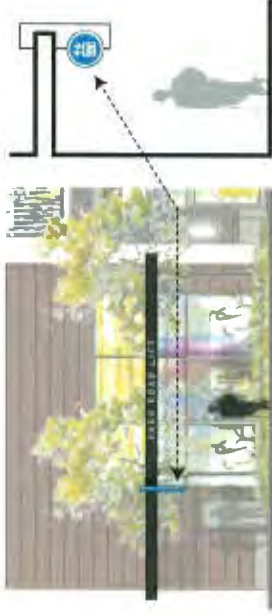
4 BRAND ID - MALL ENTRANCE



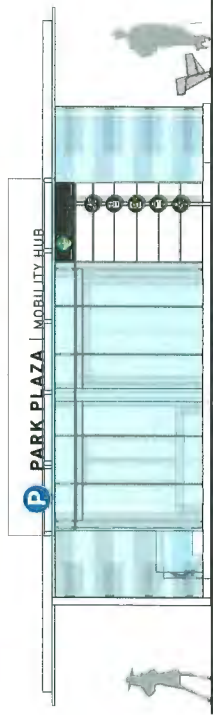
5 PARKADE ENTRANCE ID AT MINORU BLVD



5 PARKADE ENTRANCE ID AT PARK RD



6 PEDESTRIAN ACCESS TO PARKADE VIA ELEVATORS



7 PARK PLAZA / MOBILITY HUB ID



8a VEHICULAR DIRECTIONAL



8b VEHICULAR & PEDESTRIAN DIRECTIONAL (COMBO)



8c PEDESTRIAN DIRECTIONAL



8d PEDESTRIAN DIRECTIONAL



9 RESIDENTIAL TOWER LOBBY ID



REVISIONS		
No.	Date	Description
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5	2018-08-02	DP Application Rev. 2
6	2019-03-20	DP Application Rev. 3
7	2019-04-26	Progress for City Review
8	2019-05-03	DP Application Rev. 4
		Progress for City Review
		DP Panel Submission

RICHMOND CENTRE  
PHASE 1  
PHASE 1  
PHASE 1 SIGNAGE  
CONCEPT

DATE: 01/05/2019 10:33 PM  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
SCALE: 1/8"=1'-0"  
JOB NUMBER: 1686-87





ZHAO XD  
ARCHITECT  
LTD.

#255-1181 Voyageur Way,  
Richmond, BC V6X 3N9  
Tel. (604) 275-8892  
Fax (604) 909-1736  
Email: info@zhaoxd.com  
Web: zhaoxd.com

This drawing shall not be used for construction  
unless it is accompanied by the CONTRACT.

24 MAR/19	ADP COMMENTS
19 NOV/18	ADP
8 OCT/17	CITY COMMENTS
23 JUN/17	DP APPLICATION
18FEB/17	CITY COMMENTS
29AUG/16	REZONING APP
Date:	Issued For:

A	DETAIL NUMBER
B	LOCATION SHEET
C	DETAIL SHEET

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Project:  
TOWNHOUSE  
DEVELOPMENT  
AT WILLIAMS RD. &  
GILBERT RD.

7000-20 Williams-10060 Gilbert  
RICHMOND, BC

Drawing Title:

Date:
Scale:
Drawn By:
Checked By:
Project No.:
Drawing No.:

A0.02

DP 17-776441  
REFERENCE PLAN  
May 7, 2019