



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, May 15, 2024
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on April 24, 2024.*



1. DEVELOPMENT PERMIT 21-945917
(REDMS No. 7658413)

APPLICANT: Arno Matis Architecture

PROPERTY LOCATION: 6851 and 6871 Elmbridge Way

Director's Recommendations

That a Development Permit be issued which would:

- 1. permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned "High-Density Mixed Use (ZMU52) – Oval Village (City Centre)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units; and*
 - (b) not require a large size on-site loading space in the proposed development.*



Development Permit Panel – Wednesday, May 15, 2024

ITEM

2. **DEVELOPMENT PERMIT 22-008932**

(REDMS No. 7540972)

APPLICANT: Kenneth Kim (Kenneth Kim Architecture Inc.)

PROPERTY LOCATION: 6500 Cooney Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)".

3. **DEVELOPMENT PERMIT 23-034544**

(REDMS No. 7643815)

APPLICANT: Maskeen (Hamilton) Properties Corp.

PROPERTY LOCATION: 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road

Director's Recommendations

That a Development Permit be issued which would permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

4. **New Business**

5. **Date of Next Meeting: May 29, 2024**

ADJOURNMENT



**Development Permit Panel
Wednesday, April 24, 2024**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Cecilia Achiam, General Manager, Community Safety, Chair
Marie Fenwick, Director, Arts, Culture and Heritage
Michael Allen, Acting Director, Real Estate Services

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on March 27, 2024 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 23-024119
(REDMS No. 7609062)**

APPLICANT: Topstream Management Ltd.

PROPERTY LOCATION: 8635, 8655, 8675 and 8695 Cook Crescent

INTENT OF PERMIT:

Permit the construction of 28 townhouse units and fourteen secondary suites at 8635, 8655, 8675 and 8695 Cook Crescent on a site zoned "Town Housing (ZT103) – Parking Structure Townhouses (Spires Road – Cook Crescent)".

Development Permit Panel

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Applicant's Comments

Coby Xiao, Topstream Management Ltd., introduced the presenters for the application and Jeff Shen, J+S Architect, Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the form of the proposed development is consistent with neighbouring townhouse developments in the area;
- due to the closure of Cook Crescent in the future, the entrances to the building's parkade and main lobby will be located off Spires Road on the south side of the proposed development;
- the project provides 28 dwelling units, including 27 multi-level townhouse units and one ground level flat in four building blocks;
- the proposed unit mix consists of two- to five-bedroom townhouse units and 14 townhouse units will contain a secondary suite on ground level;
- a central courtyard space is proposed on the podium level surrounded by the four building blocks;
- all townhouse units include a patio on the podium level and/or rooftop deck and all secondary suites will have a private outdoor space;
- a three-metre wide north-south public walkway along the west property line and a 10-meter wide greenway, i.e. Pedestrian Linkage, along the north property line are proposed;
- the triangular area north of the 10-meter wide greenway will be dedicated by the developer to the City;
- a three-metre landscape strip around the perimeter of the site is proposed to provide a second layer of landscaping on the ground level;
- the proposed 34 residential parking spaces meet the minimum Zoning bylaw requirement;
- the proposed use of materials, colours and architectural elements visually reduce the height of the building and breaks down the building mass;
- two four-storey convertible units and one single-level Basic Universal Housing (BUH) unit are proposed; and
- the project has been designed to achieve Step Code 4 of the BC Energy Step Code.

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Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) each unit will be provided with a landscaped yard with a canopy tree to enhance the pedestrian experience around the site, (ii) multiple trees are proposed to be retained and protected along the west property line, (iii) the west public walkway is configured to protect the retained trees, (iv) street furniture is proposed at the northeast and southeast corner plazas to encourage their use, (v) the outdoor amenity area on the podium level includes two children's play areas in different locations and exercise and play equipment for adults, (vi) each unit will be provided with a landscaped yard on the podium level, (vii) wall mounted and bollard lighting are proposed for the project, (viii) drought tolerant species are proposed for planting on-site, and (ix) an on-site high-efficiency irrigation system is proposed for all planted areas.

Staff Comments

Wayne Craig, General Manager, Planning and Development, clarified that the triangular area north of the proposed 10-metre wide greenway is not intended to be a City park as it is a future development lot and there is an expectation that a licence agreement will be entered into to allow the residents of the proposed development to use the area until the redevelopment of the lot occurs.

In addition, Mr. Craig noted that (i) there is a Servicing Agreement associated with the project for site services and frontage works, and (ii) the applicant is commended for their efforts to integrate the four existing trees on the walkway along the western edge of the subject site.

In reply to a query from the Panel, Mr. Craig stated that the title of the triangular property north of the 10-metre wide greenway will be transferred to the City and the City anticipates to enter into a licencing agreement to allow the residents of the proposed development to use the lot, which will be fenced to prohibit public access.

Panel Discussion

In reply to queries from the Panel, the applicant team noted that (i) the secondary suites can be accessed on the ground level either from the street or public walkways, (ii) the secondary suites are designed to be studio or one-bedroom units and have sizes ranging from approximately 300 square feet or larger, (iii) there is a tree in the triangular area north of the 10-metre wide greenway that will be retained, (iv) the sculptural pieces hanging down in between buildings are intended to fill the gap between buildings and are not part of public art, and (v) lighting will be installed along the public walkways and on adjacent buildings.

Correspondence

None.

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Gallery Comments

The Chair advised staff to meet with the member of public present in Council Chambers wanting to delegate but unable to speak on the proposal due to the absence of her translator.

Panel Discussion

The Panel expressed support for the project, noting the design is well thought out and there is adequate separation from the future development to the west through the provision of the public walkway.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of 28 townhouse units and fourteen secondary suites at 8635, 8655, 8675 and 8695 Cook Crescent on a site zoned "Town Housing (ZT103) – Parking Structure Townhouses (Spires Road – Cook Crescent)".

CARRIED

2. DEVELOPMENT PERMIT 23-029453

(REDMS No. 7623245)

APPLICANT: Fougere Architecture Inc.

PROPERTY LOCATION: 10611 and 10751 River Drive

INTENT OF PERMIT:

Permit the construction of a mid-rise residential development comprising 181 residential units, including 18 low-end-of-market-rental (LEMR) units and 13 market rental units at 10611 and 10751 River Drive on a site zoned "Low to Mid Rise Apartment (ZLR46) - Bridgeport"

Applicant's Comments

Wayne Fougere, Fougere Architecture Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2), provided background information on the proposed development, highlighting the following:

- the proposed development completes the multi-phase overall development on the north side of River Drive between No. 4 Road and Shell Road;
- the lower two-storey amenity building and four-storey apartment building are located along River Drive and the higher two six-storey apartment buildings are sited at the rear, fronting the dike and the river;

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- a total of 181 dwelling units are proposed including 150 market strata units, 13 market rental units and 18 Low-End-of-Market (LEMR) units;
- street-facing apartment buildings have lower living areas to provide better connection to the street;
- the central pedestrian entry to the proposed development is located on River Drive and provides pedestrian connection from River Drive to the dike through the central courtyard;
- a wheelchair accessible widened public walkway is located along the edge of the west property line and provides pedestrian connection from River Drive to the dike walkway;
- the public multi-use path along Shell Road on the east side of the subject site is wheelchair accessible; however, the access from the pathway's northern terminus to the dike is not wheelchair accessible due to its steep slope;
- the central courtyard on the podium level is enclosed by the four buildings and can be accessed from the street, public walkways and the dike;
- public art is proposed at the corner of River Drive and Shell Road;
- the project provides 91 Basic Universal Housing (BUH) units, including 16 for LEMR units, 10 for market rental units, and 65 for market strata units;
- the contemporary architectural style of the buildings in the proposed development is consistent with the buildings in Phase 1 of the overall development; and
- outdoor amenity space is provided on the podium level central courtyard and indoor amenity spaces are provided in the two-storey indoor amenity building and smaller multi-purpose rooms in the larger northeast and northwest apartment buildings.

Yiwen Ruan, PMG Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the proposed landscaping for the project, noting that (i) the proposed landscape design is intended to provide pedestrian connectivity and interaction, (ii) semi-private spaces along the edges of the site are separated from public spaces through grade change and landscaping, including installation of tiered planters, (iii) the proposed outdoor amenity area on the podium level central courtyard provides a variety of uses for adults and children, including among others, as gathering spaces and play areas, (iv) accessible pedestrian pathways are provided along the west and east edges of the site and through the courtyard at the centre of the site, (v) proposed on-site planting includes drought tolerant and pollinator friendly species, and (vi) a high-efficiency on-site irrigation system will be provided for all planted areas.

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Staff Comments

Mr. Craig noted that (i) the rental units in the rental building fronting River Drive will be secured through housing agreements and the developer has entered into a memorandum of understanding with a non-profit organization for the management of the rental units, (ii) the Servicing Agreement associated with the project includes frontage works on River Drive and Shell Road and site services, among others, (iii) there will be a separate Servicing Agreement for the construction of the dike and dike pathways, (iv) there is an extensive Transportation Demand Management (TDM) package associated with the project which includes, among others, the provision of transit passes to 15 percent of the residents of market strata units, an increase of on-site bicycle storage facility, and the provision of a bicycle maintenance facility, and (v) more than 70 percent of the total number of units provided in the project are family-friendly units, i.e., two-to three-bedroom units.

In reply to queries from the Panel, staff advised that (i) aging-in-place features incorporated in all of the proposed units include the provision of stairwell handrails, lever-type handles for plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers, (ii) there are no fully accessible units provided in the project; however, the project provides 91 Basic Universal Housing (BUH) units which includes 16 out of 18 LEMR units, 10 out of 13 market rental and 65 out of 150 market strata units, (iii) the dike connection from the Shell Road terminus to the dike is intended for maintenance vehicles and public access for pedestrians; however, it is not suitable for people in wheelchairs due to its steep grade, (iv) the public walkway along the west edge of the site from River Drive to the dike walkway is wheelchair accessible, and (v) it is not feasible for the proposed development to connect to the privately-owned geo utility located in the earlier phase of the overall development.

Panel Discussion

In reply to queries from the Panel, the applicant team advised that (i) the proposed public art for the project has been presented to the City's Public Art Advisory Committee, (ii) a local artist will be commissioned for the proposed public art, and (iii) the project has been designed to achieve Step Code 3 of the BC Energy Step Code with a privately owned low-carbon energy system.

Correspondence

None.

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Gallery Comments

Sandra Lindahl, 10766 River Drive, queried about (i) actions taken by the developer to put in place pest control to address rodent infestation as a result of building demolition as noted at the June 19, 2023 Public Hearing for the rezoning of the subject site, (ii) the exact number of residential units provided in the proposed development, (iii) how the City will ensure that the proposed number of rental housing units are actually built and used for their intended purpose, (iv) who should the neighbours contact if they are not satisfied with the measures taken by the developer to ensure roads are kept free from dust, nails and other construction debris, (v) whether the strata or the renters of LEMR units will shoulder the cost for the installation of grab bars and the conversion of the BUH units into accessible units, and (vi) the location of vehicle access to the underground parkade on River Drive.

In addition, Ms. Lindahl expressed disagreement with the Traffic Impact Assessment prepared by a qualified professional referenced in the staff report indicating that the existing road network can accommodate the additional traffic generated by the proposed development, as she noted that residents in the area are currently experiencing traffic concerns on River Drive.

In reply to Ms. Lindahl's queries, the applicant team advised that (i) a pest control company has been commissioned by the developer to undertake pest control and will soon commence their work, (ii) the project will provide a total of 181 units, including 150 market strata units, 13 market rental units and 18 LEMR units, (iii) the developer can be contacted for construction related concerns and will regularly monitor construction and dialogue with neighbours, (iv) the rental company/operator will shoulder the costs for the installation of grab bars in the market rental and LEMR units, and (v) vehicle access to the underground parkade is located at the southwest corner of the subject site.

In reply to the query regarding how the City will ensure that the proposed number of market rental and LEMR units will be constructed and used for their intended purpose, Mr. Craig noted that the City will be registering a housing agreement on title of the property which includes the obligation to provide statutory declarations to the City on a periodic basis to ensure that those units are rented and LEMR units are rented by qualified tenants under the City's Affordable Housing Strategy guidelines.

In reply to Ms. Lindahl's concern regarding the Traffic Impact Assessment at rezoning, Mr. Craig noted that an independent third party assessment was provided during the rezoning phase and it was reviewed and approved by the City's Transportation Department.

A resident of 2401 Shell Road queried about (i) the number of parking stalls provided in the project, (ii) measures to mitigate construction debris including dust and dirt in the subject site impacting neighbouring residential properties, and (iii) the timeline for project construction.

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In reply to the query regarding the number of parking stalls proposed for the project, the applicant team noted that 274 parking stalls will be provided for 181 residential units. In addition, Mr. Craig stated that the proposed number of parking stalls to be provided is consistent with the City's Zoning Bylaw requirement.

In reply to queries regarding measures to mitigate the impact of dust and dirt during construction and project construction timeline, the applicant team advised that (i) appropriate equipment will be used as needed to clear dust, dirt and other construction debris that are above normal levels, and (ii) the developer intends to commence project construction in the later part of this year subject to the timing of required City approvals.

In reply to a further query, the applicant clarified that the developer will endeavor to keep the roads clean during construction.

In addition, the Chair advised that the City's Bylaws Department contact information will be posted on the subject site so neighbouring residents can contact the City for construction-related concerns.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

- 1. permit the construction of a mid-rise residential development comprising 181 residential units, including 18 low-end-of-market-rental (LEMR) units and 13 market rental units at 10611 and 10751 River Drive on a site zoned "Low to Mid Rise Apartment (ZLR46) - Bridgeport"*

CARRIED

3. DEVELOPMENT PERMIT 23-035339
(REDMS No. 7603680)

APPLICANT: Gustavson Wylie Architects Inc.

PROPERTY LOCATION: 18399 Blundell Road

INTENT OF PERMIT:

Permit the construction of two single-storey buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned "Industrial (I)".

Applicant's Comments

David Cheung, Gustavson Wylie Architects Inc., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 3), provided background information on the proposed development, highlighting the following:

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- the original Development Permit for the project was issued by Council around three years ago; however, due to unforeseen events, the permit lapsed as construction did not take place within the required period;
- two single-storey buildings are proposed for quick service restaurant and drive-through uses with a central plaza located between the two buildings for outdoor eating area;
- a right-in/right-out vehicle entry/exit and left turn entry are provided on Blundell Road and a right-in/right-out only vehicle entry/exit is proposed on Nelson Road;
- 64 outdoor parking spaces are proposed including two accessible parking stalls near the entrances of the two buildings;
- nine of the 64 parking stalls will be provided with electric vehicle (EV) charging stations;
- bicycle parking will be provided on the site;
- canopies are proposed at restaurant entrances to provide weather protection;
- tilt-up concrete was proposed to be used in the original design of the buildings but has been changed to insulated metal panel system to meet sustainability requirements;
- contrasting colours are proposed for the project to provide visual interest in the industrial neighbourhood; and
- the central plaza includes an awning feature and landscaped to animate the place and provide visual interest.

Christy Voelker, Prospect and Refuge Landscape Architects, with the aid of the same visual presentation, briefed the Panel on the main landscape features of the project, noting that (i) three pedestrian entries are proposed from the sidewalk to the subject site, (ii) areas of pedestrian walkways that cross the drive aisles and vehicle queuing areas are treated with a different colour of permeable pavers to enhance pedestrian safety, (iii) shading and a variety of seating opportunities are proposed in the central plaza, (iv) proposed planting includes species that are low-maintenance and provide all-season interest, (v) a row of canopy trees is proposed along the south edge of the site to provide shade in the parking lot, (vi) on-site irrigation will be provided for planted areas, and (vii) permeable pavers are proposed for the outdoor eating plaza and pedestrian walkways.

Staff Comments

Mr. Craig noted that (i) an Automatic Volume Control (AVC) system that adjusts speaker volume will be installed in the drive-through to ensure compliance with the City's Noise Bylaw, (ii) the project includes nine electric vehicle (EV) charging stations, and (iii) there was a Servicing Agreement entered into as part of the previous Development Permit approval for frontage works which have been completed.

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Panel Discussion

In reply to queries from the Panel, the applicant team noted that (i) the AVC system automatically adjusts the speaker volume based on ambient noise levels and has been successfully used by many drive-through restaurants, (ii) shower facilities for restaurant workers biking to work would be difficult to provide in the restaurant buildings due to their size, (iii) automatic irrigation will be provided on-site for all planted areas, and (iv) raised planters in the central plaza will have adequate soil volume for the size of trees to be planted.

Gallery Comments

None.

Correspondence

None.

Panel Discussion

The Panel expressed support for the project for restaurant uses, noting that it is a welcome addition to the industrial neighbourhood.

It was moved and seconded

That a Development Permit be issued which would permit the construction of two single-storey buildings with drive-through restaurant uses at 18399 Blundell Road on a site zoned "Industrial (I)".

CARRIED

4. New Business

None.

5. Date of Next Meeting: May 15, 2024

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (5:02 p.m.).

CARRIED

Development Permit Panel
Wednesday, April 24, 2024

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, April 24, 2024.

Cecilia Achiam
Chair

Rustico Agawin
Committee Clerk



2024-04-24 Development Permit Panel Presentation

A 28-unit Townhouse Development

8635-8695 COOK CRESCENT, CITY OF RICHMOND

PROJECT INFO

Site Context



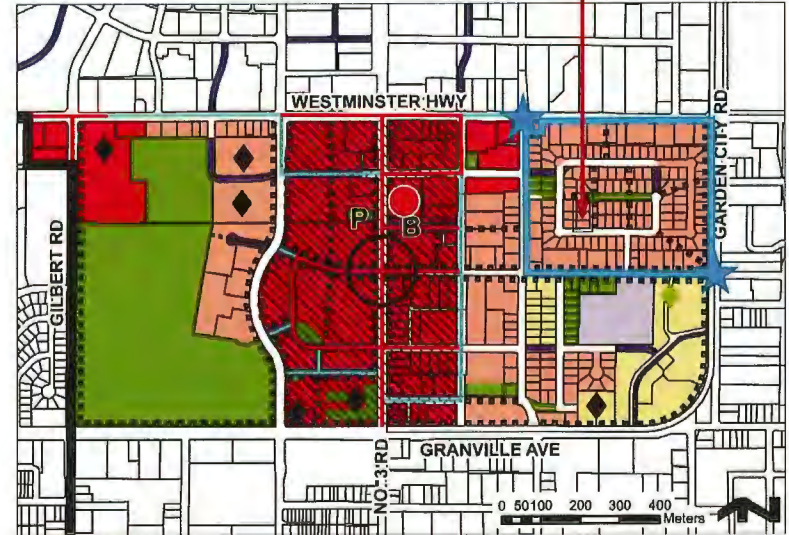
SE Corner

SITE LOCATION

City of Richmond

Specific Land Use Map: Brighthouse Village (2031)

Bylaw 9892
2020/07/13



- | | | |
|---|--|--|
| General Urban T4 (15m) | School | Proposed Streets |
| Urban Centre T5 (25m) | Village Centre Bonus | Pedestrian-Oriented Retail Precincts-High Street & Linkages |
| Urban Core T8 (45m) | Institution | Pedestrian-Oriented Retail Precincts-Secondary Retail Streets & Linkages |
| Park | Pedestrian Linkages | Canada Line Station |
| Park-Configuration & location to be determined | Enhanced Pedestrian & Cyclist Crossing | Transit Plaza |
| Village Centre: No. 3 Road & Cook Road Intersection | Bus Exchange | Spires Road Area |

Bylaw 10029
2019/05/21 Maximum building height may be subject to established Airport Zoning Regulations in certain areas.

PROJECT INFO

Neighboring Townhouse Developments

neighboring townhousing developments have received approvals in recent years



8888 Spires Road

"Parking Structure Townhouses"



8800 Spires Road

"Parking Structure Townhouses"



8951, 8971 Spires Road and 8991 Spires Gate

"Parking Structure Townhouses"



8671, 8731 Spires Road

"Parking Structure Townhouses"

PROJECT INFO

Features to Fit Into Surrounding Neighborhood



8888 Spires Road

“Parking Structure Townhouses”



8951, 8971 Spires Road and 8991 Spires Gate

“Parking Structure Townhouses”



8800 Spires Road

“Parking Structure Townhouses”

- reflects a contemporary take on the traditional architectural style in the Neighborhood
- similar size and proportion of building blocks
- common features e.g., pitched roofs and at-grade yards with weather-protected entries
- traditional roof gables to downsize building scale
- same material language e.g., asphalt shingle on gable roof and siding on exterior

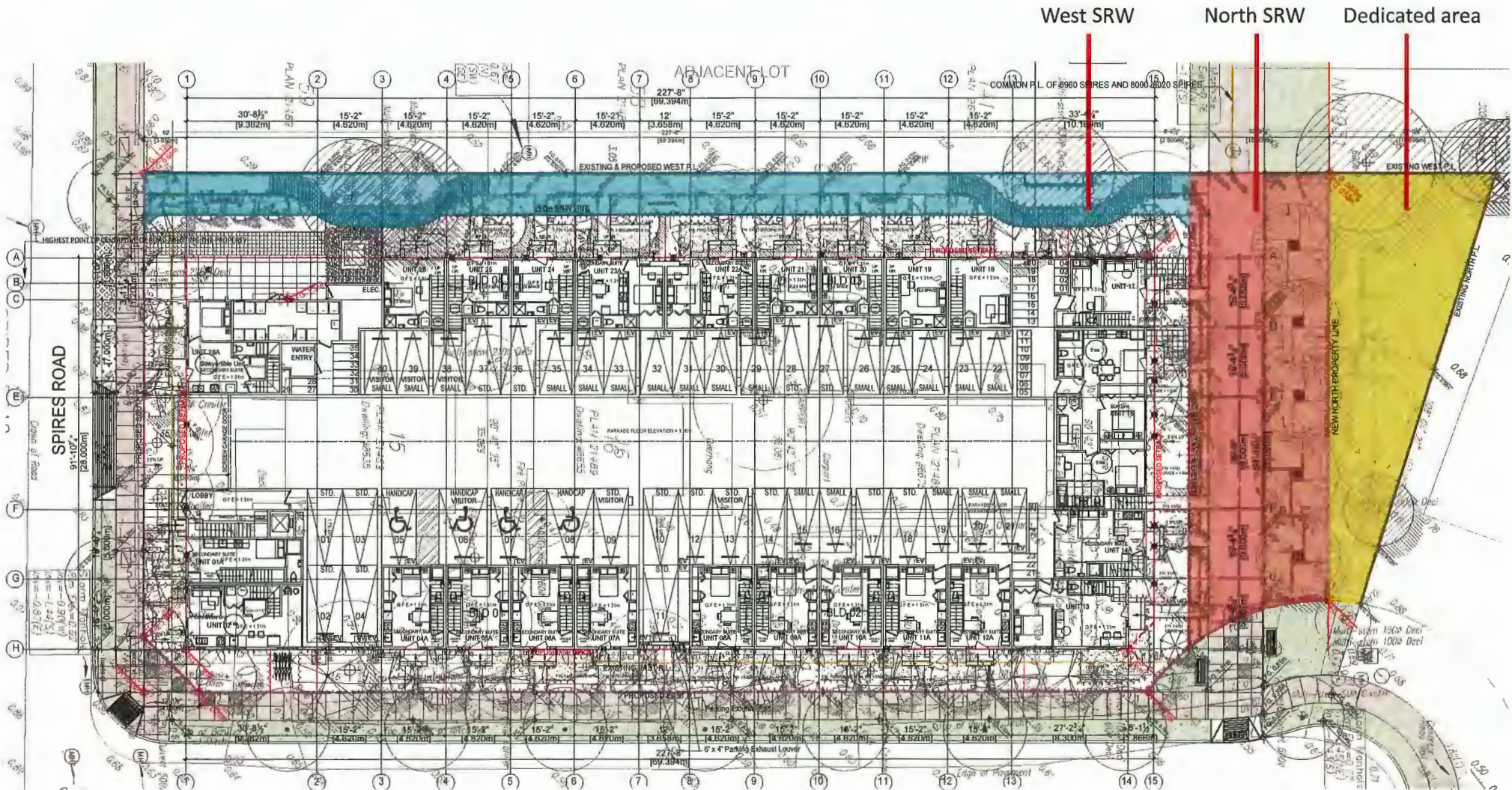


8671, 8731 Spires Road

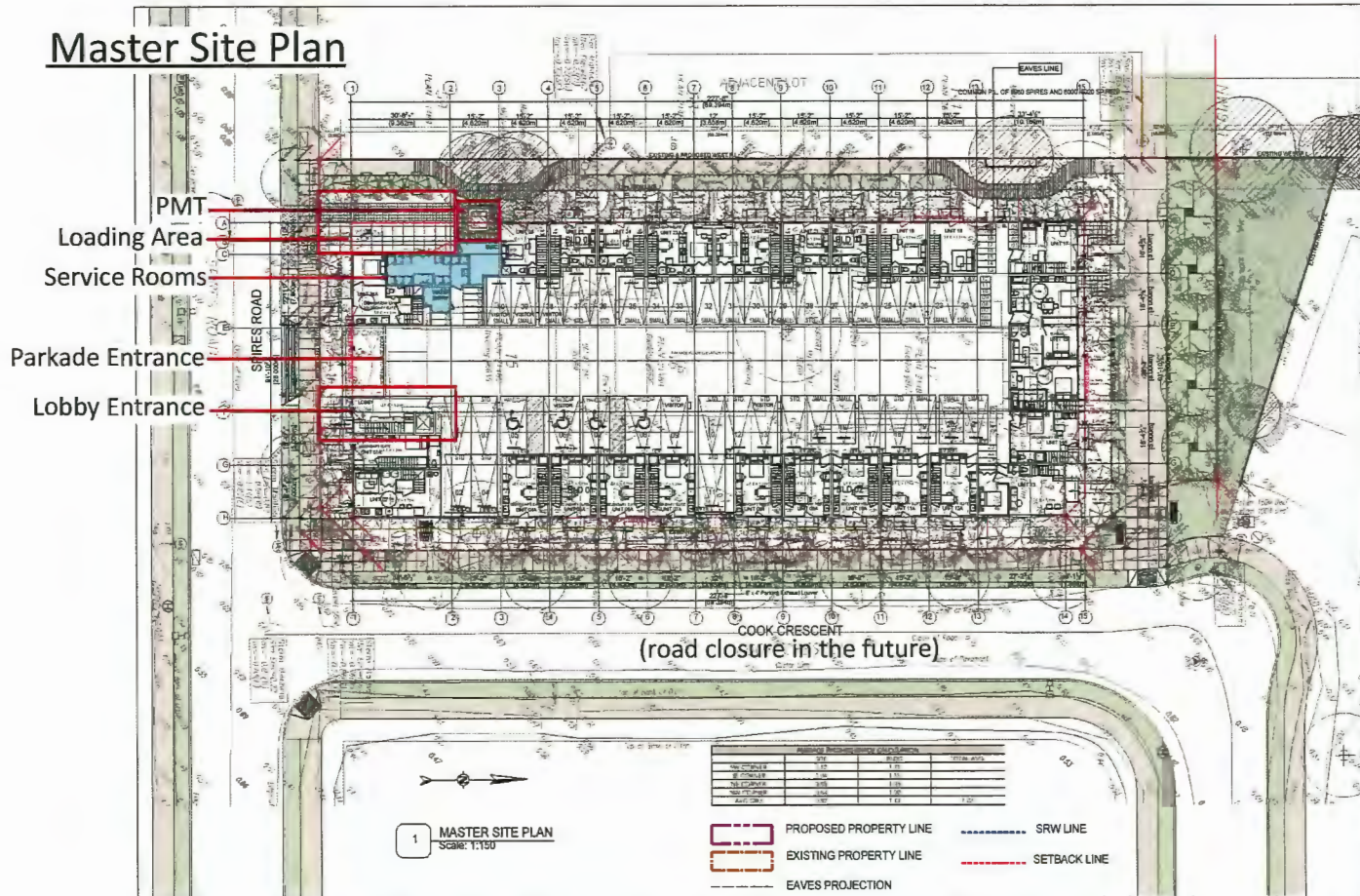
“Parking Structure Townhouses”

PROJECT INFO

Recap from Rezoning: Pedestrian Linkage in the north and the west



Master Site Plan



Service rooms and loading area, PMT, parkade and main lobby entrance all are located along the southern frontage because of road closure of cook crescent in the future.



T 504 333 888 OFFICE & ARCHITECT CA
255-483 UNIVERSITY BLVD, RICHMOND BC V6X 2M6
WWW.AMARCHITECTS.COM

REVISIONS:

NO.	DATE	REVISION

PROJECT:

8035-8561 COOK CRESCENT
TOWNHOUSE DEVELOPMENT
RICHMOND BC
2022

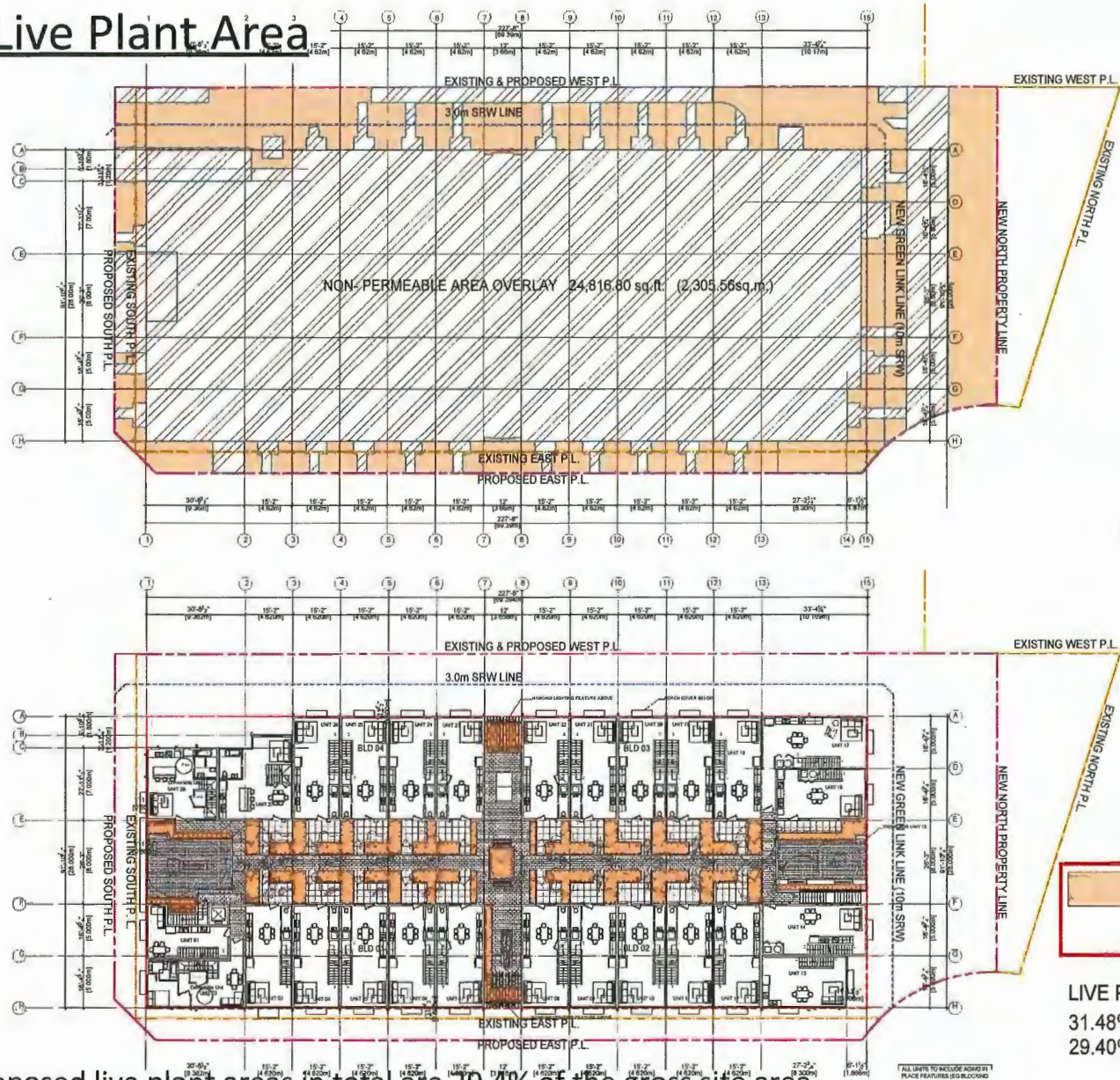
ISSUED FOR:

NO.	DATE	ISSUED FOR

Master Site Plan

A.1.01

Live Plant Area

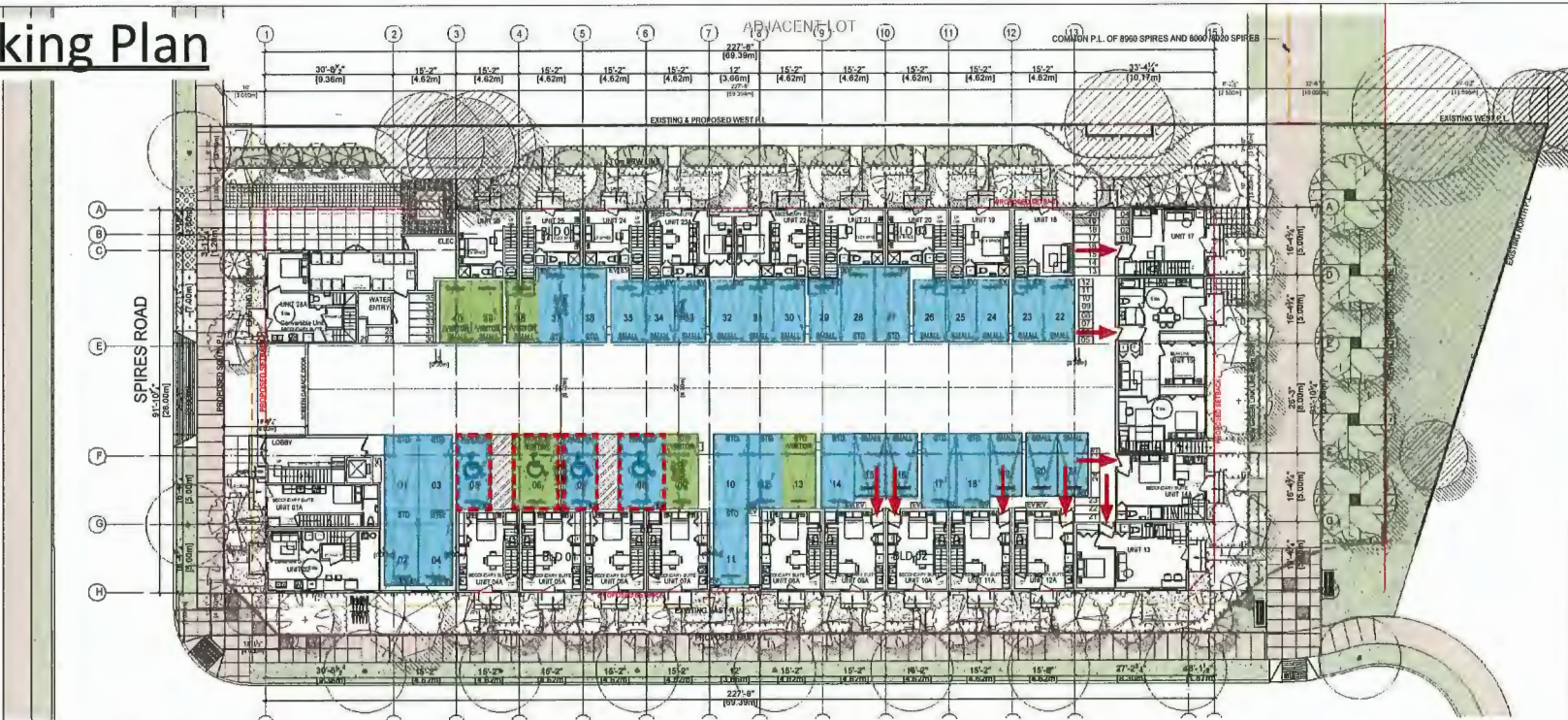


LIVE PLANT AREA OVERLAY (970.97sq.m in total)
 8,358.31sq.ft. (776.51 sq.m) ON GROUND FLOOR
 2093.08 sq.ft. (194.45 sq.m) ON SECOND FLOOR

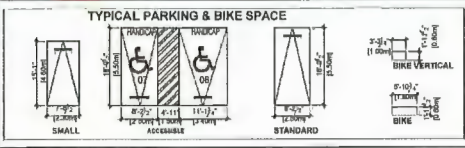
LIVE PLANT AREA COVERAGE:
 31.48% ON THE NET SITE AREA (970.97sq.m/ 3084.8 sq.m= 0.3148)
 29.40% ON THE GROSS SITE AREA (970.97 sq.m/ 3302.8 sq.m= 0.2940)

Proposed live plant areas in total are 29.4% of the gross site area.
 Approximately 80% of live plant areas is on G/F. The rest is on 2/F.

Parking Plan



- 1 PARKING PLAN**
Scale: 1:150
- Residential Parking = 40
 - Visitor Parking = 6
 - Accessible Parking = 4



PARKING STALL (UNIT ASSIGN LIST)

PARKING & LOADING		Bylaw Required/Allowed	Proposed
Residential 1.2 spaces per unit	33.6	see 7.9.3.1	34
Visitor 0.2 spaces per unit	5.0	see 7.9.3.1	6
Total spaces (round up to nearest whole #)	40	For 331 spaces provided, minimum 80% shall be standard stalls (see 7.9.3.1.2)	40
Tandem Parking Spaces (included in above Total)	30	Max 80% of required parking stalls	8
Quantity: 30% of above required parking stalls (including all above stalls)	4	see 7.9.3.1.4	4
Loading 1 medium size for 11-40 Residential Units	1	see 7.13.7	1

ON-SITE BICYCLE STORAGE		Bylaw Required/Allowed	Proposed
Class 1: Long term 1.25 spaces per unit	35	see 7.14.9	36 (12 vertical, 24 horizontal @ Parking)
Class 2: Short Term 0.2 spaces per unit	6	see 7.14.9	6 (1 @ Lobby Entrance Area @ east)
Total	41		41

Unit	Residential	Visitor	Accessible	Total
Unit 9	12	2	1	15
Unit 10	12	2	1	15
Unit 11	12	2	1	15
Unit 12	12	2	1	15
Unit 13	12	2	1	15
Unit 14	12	2	1	15
Unit 15	12	2	1	15
Unit 16	12	2	1	15
Unit 17	12	2	1	15
Total	108	12	4	124

For unit 9 to 17, each of them has direct access from parkade for convenience and fire department access purpose.



BUILDER'S RESPONSIBILITY TO LAYOUT WORK
It is the Builder's responsibility to lay out and verify all the work as detailed in the contract documents. It is the Builder's responsibility to ensure that the work is done according to the contract documents, government and standards which may vary from time to time, as indicated on the drawings.
Any discrepancies which the Builder discovers within the contract documents must be reported to the Architect immediately in writing and the Architect must be notified before proceeding with any work.
Written documents shall have precedence over verbal discussion.
Copyright Reserved
This plan and drawings are, and all of them contain, the exclusive property of J.S. Architect and may not be used or reproduced without written consent.

ISSUED FOR	DATE
ISSUED FOR RFP	04/15/2024
ISSUED FOR CP REVISIONS	10/13/2023
ISSUED FOR CP	08/01/2023
ISSUED FOR CONSTRUCTION	03/20/2023
ISSUED FOR RFP SUBMITTAL	06/04/2022
ISSUED FOR PERMITS SUBMITTAL	06/04/2022
ISSUED FOR RFP SUBMITTAL	11/02/2021
ISSUED FOR RFP	04/18/2021

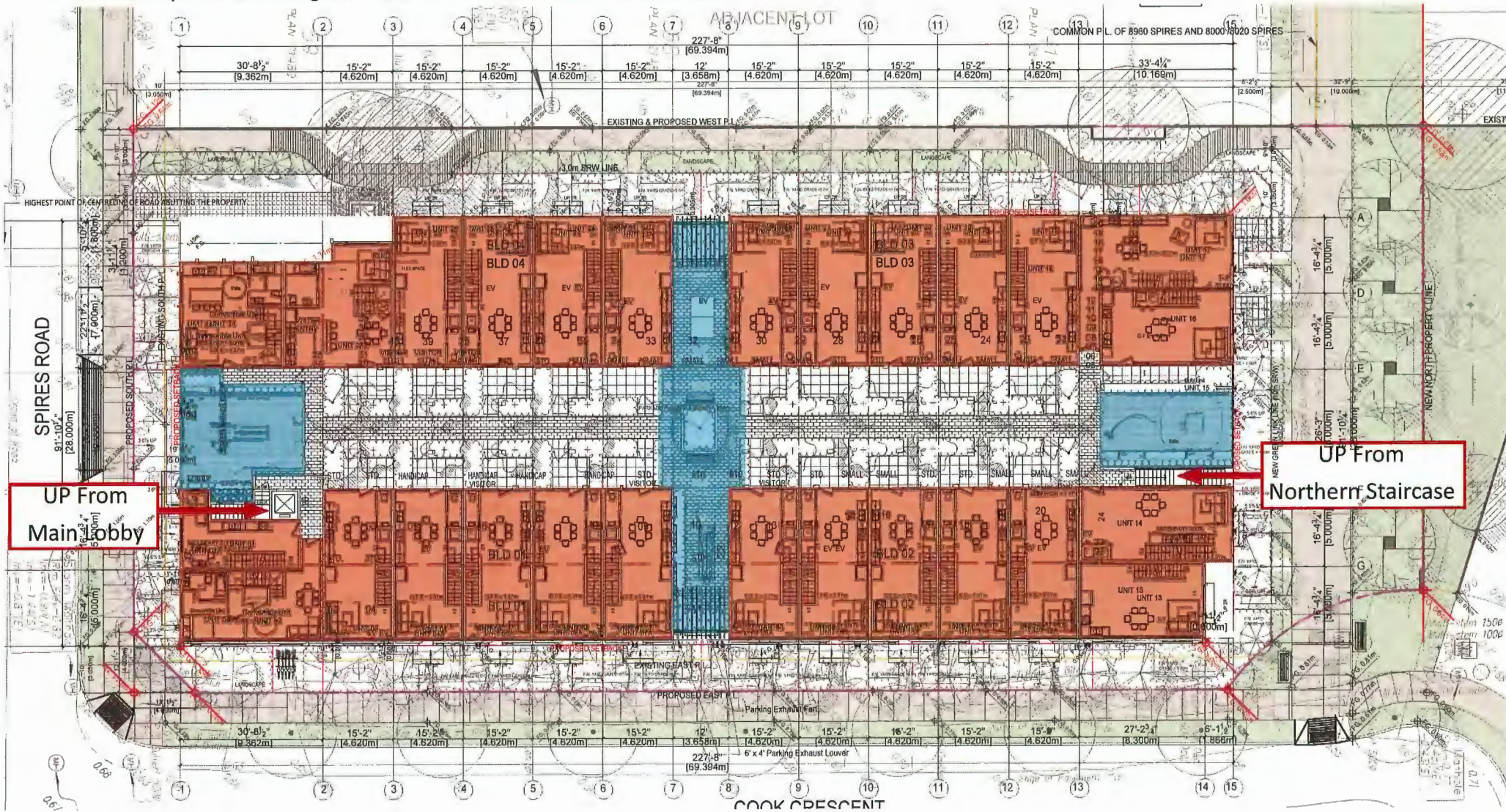
PROJECT
8835-8895 COOK CRESCENT TOWNHOUSE DEVELOPMENT
8835-8895 Cook Crescent, Richmond BC
CLIENT

SCALE	REAL
DATE: 2023/03/01	
DRAWN BY:	
CHECKED BY:	
DATE:	
21-28	
ISSUE TITLE:	

Parking Plan
DRAWING NO: A1.02

Connectivity with Ground Floor Green Spaces

- Connect the outdoor amenity with our North and West Side green belts.
- Outdoor spaces are integrated and achieve the functions as a system.



Streetscape - East Elevation



Vertical fins as separators

Hardie board (white finish)

Hardie board (grey finish)

- Different material on G/F to visually reduce height of building.
- Vertical fins, occasional black exterior, and glazing break G/F into parts instead of long solid walls.



Occasional Black Exterior

2 EAST ELEVATION - STREETSCAPE
Scale: 1:250



CONTRACT

BUILDER'S RESPONSIBILITY TO LAUNCH HOME
It is the Builder's responsibility to lay out and carry out the work in accordance with the contract documents. It is the Buyer's responsibility to pay for every detail of the work in accordance with the contract documents. The Buyer shall be responsible for obtaining all necessary permits and approvals which may be required in the course of the project.
Any alterations which the Buyer discovers within the contract documents shall be the Buyer's responsibility. The Buyer shall be responsible for obtaining all necessary permits and approvals which may be required in the course of the project.
The Buyer shall be responsible for obtaining all necessary permits and approvals which may be required in the course of the project.
The Buyer shall be responsible for obtaining all necessary permits and approvals which may be required in the course of the project.

TOP	DATE
DESIGN FOR PERMITS	18/03/2018
DESIGN FOR SP	19/07/2018
DESIGN FOR COORDINATION	20/08/2018
DESIGN FOR THE SUBMITTALS	19/09/2018
DESIGN FOR THE SUBMITTALS	20/09/2018
DESIGN FOR THE SUBMITTALS	19/09/2018
DESIGN FOR THE SUBMITTALS	19/09/2018

REVISIONS:

ISSUED FOR:	DATE

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PROJECT:
8635-8695 COOK CRESCENT
TOWNHOUSE DEVELOPMENT

8635-8695 Cook Crescent,
Richmond BC

CLIENT:

SCALE:	DATE:
1:250	18/03/2018
DRAWN BY:	
CHECKED BY:	
DATE:	
21-28	
DATE:	
21-28	

Street-Scape-02

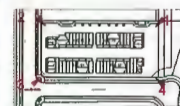
DATE:	
A5.02	



T 604 210 9886 OFFICE@J+SARCHITECT.CA
 205-403 FARGENTAY, BURNABY, BC V5H 4M4
 WWW.J+SARCHITECT.CA

CONTRACT:

SUBJECT: RESPONSIBILITY TO LAYERS MODEL
 It is the Builder's responsibility to lay out and carry out the work as indicated on the contract documents. It is therefore necessary for the Builder to pay very close attention to what the drawings, specifications and conditions which may vary from those indicated on the drawings.
 Any discrepancies which the Builder discovers before the contract documents are issued to the contractor shall be reported to the Architect immediately before proceeding with any work.
 Without disclaimer shall have precedence over stated drawings.
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NO.	DATE	DESCRIPTION
1	2017/03/28	ISSUED FOR PERMITSUBMISSION
2	2017/03/28	ISSUED FOR OP
3	2017/03/28	ISSUED FOR K2 P2 SUBMISSION
4	2017/03/28	ISSUED FOR K2 P2 SUBMISSION
5	2017/03/28	ISSUED FOR K2 P2 SUBMISSION
6	2017/03/28	NO REVISION

REVISIONS:

ISSUED FOR:	DATE:

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PROJECT:
 8635-8995 COOK CRESCENT
 TOWNHOUSE DEVELOPMENT

8635-8995 Cook Crescent,
 Richmond BC
CLIENT:

SCALE:	DATE:

Perspective Rendering-01

ISSUED FOR:	DATE:
A6.01	



1 VIEW FROM NORTHWEST



2 VIEW FROM SOUTHWEST



3 VIEW FROM SOUTHEAST



4 VIEW FROM NORTHEAST

Buildings are surrounded by pedestrian walkways, so that all corners are of equal importance and visual interest.

Further articulation to provide individuality to each block



Building 1
Sun (Yellow)



Building 2
Land (Orange)



Building 3
Water (Blue)



Building 4
Life (Green)



- Different color to the individual entry frames to give identity to each individual block.
- A signboard for each building block is hung at the corner unit to draw pedestrian attention.

Elevation (BLD1)

Exterior blends materials including asphalt shingle, Hardie board siding, metal flashing, metal panel and natural fluted panel.



T. 847.215.8888 OFFICE@J+SARCHITECT.CA
205-4603 KINGSTONWAY, SUITE 101, RICHMOND, BC V6V 1K4
WWW.J+SARCHITECT.CA

CONTRACT

CLIENT'S RESPONSIBILITY TO LAYOUT WORK

It is the Client's responsibility to lay out and mark the work to be done in the contract documents. It is the Client's responsibility to provide for any necessary alterations to adjust for construction, guarantee and conditions which may vary from those stated in the drawings.

Any description which the Builder discovers with the contract documents, drawings or between the work as shown and the location, shall be discussed with the architect immediately before proceeding with any work.

Written instructions shall form precedent over verbal instructions.

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Extract from Material Board:



1. Asphalt Shingles Roof (Gray Finish)



2. Hardie Board (White Finish)



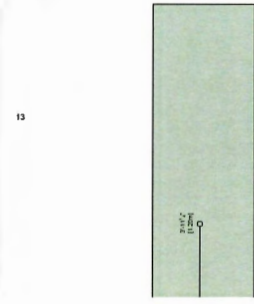
3. Hardie Board (Gray Finish)



5. Natural Walnut Fluted Panel



7. Charcoal Metal Flashing

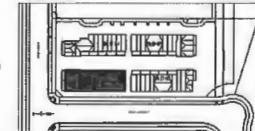


12. Pre Matte-finished Metal Panel (BM Spring Sky 674)

3 SOUTH ELEVATION Scale: 1:150

4 WEST ELEVATION Scale: 1:150

- 1. Asphalt Shingles Roof (Gray Finish)
- 2. Hardie Board (White Finish)
- 3. Hardie Board (Gray Finish)
- 4. Hardie Board (Taupe Finish)
- 5. Natural Walnut Fluted Panel
- 6. Natural Walnut Wood Panel
- 7. Charcoal Metal Flashing
- 8. Hardie Board in Gray Finish for Window/Door/Edge Trim
- 9. Pre-finished Windows Frame (Black)
- 10. Metal Railing With Clear Glazing (Gray Paint)
- 11. Pre Matte-finished Metal Panel (BM Green Thumb CSP-870)
- 12. Pre Matte-finished Metal Panel (BM Spring Sky 674)
- 13. Pre Matte-finished Metal Panel (BM Yellow Highlighter 2021-40)
- 14. Pre Matte-finished Metal Panel (BM Orange Appeal 124)
- 15. Frosted Tempered Glass Screen



NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	18/08/2018
2	ISSUED FOR PERMITS	18/08/2018
3	ISSUED FOR PERMITS	18/08/2018
4	ISSUED FOR PERMITS	18/08/2018
5	ISSUED FOR PERMITS	18/08/2018
6	ISSUED FOR PERMITS	18/08/2018
7	ISSUED FOR PERMITS	18/08/2018
8	ISSUED FOR PERMITS	18/08/2018
9	ISSUED FOR PERMITS	18/08/2018
10	ISSUED FOR PERMITS	18/08/2018
11	ISSUED FOR PERMITS	18/08/2018
12	ISSUED FOR PERMITS	18/08/2018
13	ISSUED FOR PERMITS	18/08/2018
14	ISSUED FOR PERMITS	18/08/2018
15	ISSUED FOR PERMITS	18/08/2018

ISSUED FOR PERMITS

8835-8885 COOK CRESCENT TOWNHOUSE DEVELOPMENT

8835-8885 Cook Crescent, Richmond BC

SCALE:	DATE:	DRAWN BY:	CHECKED BY:	DATE:
	2018/08/18			21-28

Elevations (BLD1)

A3.02

SUN & SHADOWS STUDIES



T 905 213 8688 OFFICE@ARCHITECT.CA
226-4623 FREDRICK, BURNABY, BC V5A 4M4
WWW.JSARCHITECT.CA

02/06/2014

DESIGNER'S RESPONSIBILITY TO LAYOUT WORK
It is the Builder's responsibility to read and verify all the work as obtained in the contract documents. It is the Designer's responsibility for the Builder to verify design conditions in local site conditions, government and conditions which may vary from those set out in the drawings.
Any discrepancy which the Builder discovers within the contract documents presented or between the work of documents & site conditions, or to be discussed with the architect immediately before proceeding with any work.
Written discussions shall have precedence over printed documents.
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DESIGN FOR 2P	2012/02/14
REVISION FOR 2P REVISIONS	2012/02/14
REVISION FOR 2P REVISIONS	2012/02/14
REVISION FOR 2P REVISIONS	2012/02/14
REVISION FOR 2P REVISIONS	2012/02/14
REVISION FOR 2P REVISIONS	2012/02/14
REVISION FOR 2P REVISIONS	2012/02/14
REVISION FOR 2P REVISIONS	2012/02/14

ISSUED FOR: DATE: 02/06/2014

DATE: 2012/02/14

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PROJECT:
8635-8695 COOK CRESCENT
TOWNHOUSE DEVELOPMENT

8635-8695 Cook Crescent,
Richmond BC
CLIENT:

SCALE:	MAIL:
DATE: 2012/02/14	
DRAWN BY:	
CHECKED BY:	
TITLE:	
21-28	
SHEET TITLE:	

Sun & Shadows Studies

DATE: 02/06/2014 REVISION NO:
A0.06



- 4/F patios are open to sky instead of being completely covered by pitched roof.
- Breaking the massing in the middle on the south and west sides to accommodate children's play areas and allow more sunlight to come through.

Sustainability Strategy

The proposed building will comply with **BC Energy Step Code Step 4 target**, fulfilling the City's requirements.

Current Requirements

The table below outlines Richmond's BC Energy Step Code requirements for Part 3 buildings.

Building Type	Jul 1, 2022 to Oct 30, 2023	After Oct 31, 2023
Residential greater than 6 stories or non-combustible construction	Step 3 or Step 2 and LCES	Step 3 w/ EL-1 or Step 2 w/ EL-2
Residential 6 stories or less with combustible construction	Step 4 or Step 3 and LCES	Step 4 w/ EL-1 or Step 3 w/ EL-2
Office and Retail buildings	Step 3 or Step 2 and LCES	Step 3 w/ EL-1 or Step 2 w/ EL-2
Hotels and Motels	Step 3 or Step 2 and LCES	Step 4 w/ EL-1 or Step 3 w/ EL-2

The proposed building is a combustible construction and is required to meet Step 4 w/ EL-1 or Step 6 w/ EL-2. Emission Level (EL) information of EL-1 and EL-2 are listed in the BC Building Code Section 10.3.

Table 1 Modelling Results Summary

Design Cases	TEUI	TEDI
Step 4	100.0	15.0
Proposed design	94.3	13.34

Other highlighted features include:

- Operable panes for natural ventilation and light penetration.
- Light-colored roof pavers for roof decks to reduce heat absorption and cooling loads.
- LED lights to reduce electrical power demands.
- High-efficiency heat pumps.
- Double-glazed windows for energy efficiency.

Proposed **energy conservation measures (ECMs)** to help the project achieve the energy and emission performance requirements:

- High-performance building envelope considering the thermal bridging effect

Model Inputs	Proposed
Glazing Information	
Window assembly U-value (including frame) (Btu/h.ft ² .°F) & SHGC	U 0.15 SHGC 0.38
WWR	22.66%
Envelope Information	
Overall wall effective R or U-value (ft ² .°F.h/ Btu)	Over all exterior wall R20.5 with TB: WF wall: effective R35 Wall between parkade and conditioned space: effective R24 Parkade exterior Wall: 8" reinforced concrete wall
Overall roof effective R-value (ft ² .°F.h/ Btu)	EffectiveR40

- Direct Ventilation with in-suite HRV (72% SRE) will be incorporated into the ventilation system design
- High-efficiency HVAC system with air source heat pump heating and cooling at suite level (heating COP of 3.5 and cooling SEER of 3.8)



Landscape Design



MATERIAL LEGEND	DESCRIPTION
[Symbol]	BOO LAWN
[Symbol]	BOARDWALK
[Symbol]	CONCRETE PAVING
[Symbol]	SAW-CUT CONCRETE WITH CHARCOAL COLOUR PANELS
[Symbol]	MAGLIN FIBRO BACKED PINE WOOD
[Symbol]	REFER TO DETAIL

6" x 4" FT SOLID WOOD FENCE

PLANT SCHEDULE				PMO PROJECT NUMBER: 22568
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	3	ACER PALMATUM 'NODOSUM'	RED JAPANESE MAPLE	10CM CAL, 800
2	1	GLEDITSIA T. NERBENS 'SHADASHAMIT'	SHADASHAMIT HONEY LOCUST	10CM CAL, 800
3	2	LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL BEECHTOUR	10CM CAL, 800
4	2	MAGNOLIA DENROBIS	DEARBORN MAGNOLIA (WHITE)	10CM CAL, 800
5	12	PARROTIA PERENSA 'TULBY VARI'	TULBY VARI PEPPERBERRY WOOD	10CM CAL, 750, 800, 850
6	2	PAULOWNIA 'ARNOOLD SENTINEL'	ARNOOLD SENTINEL AUSTRALIAN BLACK PINE	4M HT, 800
7	1	STEWARTIA PSEUDOCAMELLIA	JAPANESE STEWARTIA	10CM CAL, 800

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMAA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST BE INSPECTED BY BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLUBLE NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ALL ROOF LANDSCAPE AREAS TO BE IRRIGATED USING DESIGN-BUILD HIGH EFFICIENCY, DRIP IRRIGATION SYSTEM WITH RAIN SENSOR. PROVIDE SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION.

REQUIRED REPLACEMENT TREES (10CM CAL): 38
ACTUAL REPLACEMENT TREES: 47
DECIPI: 11

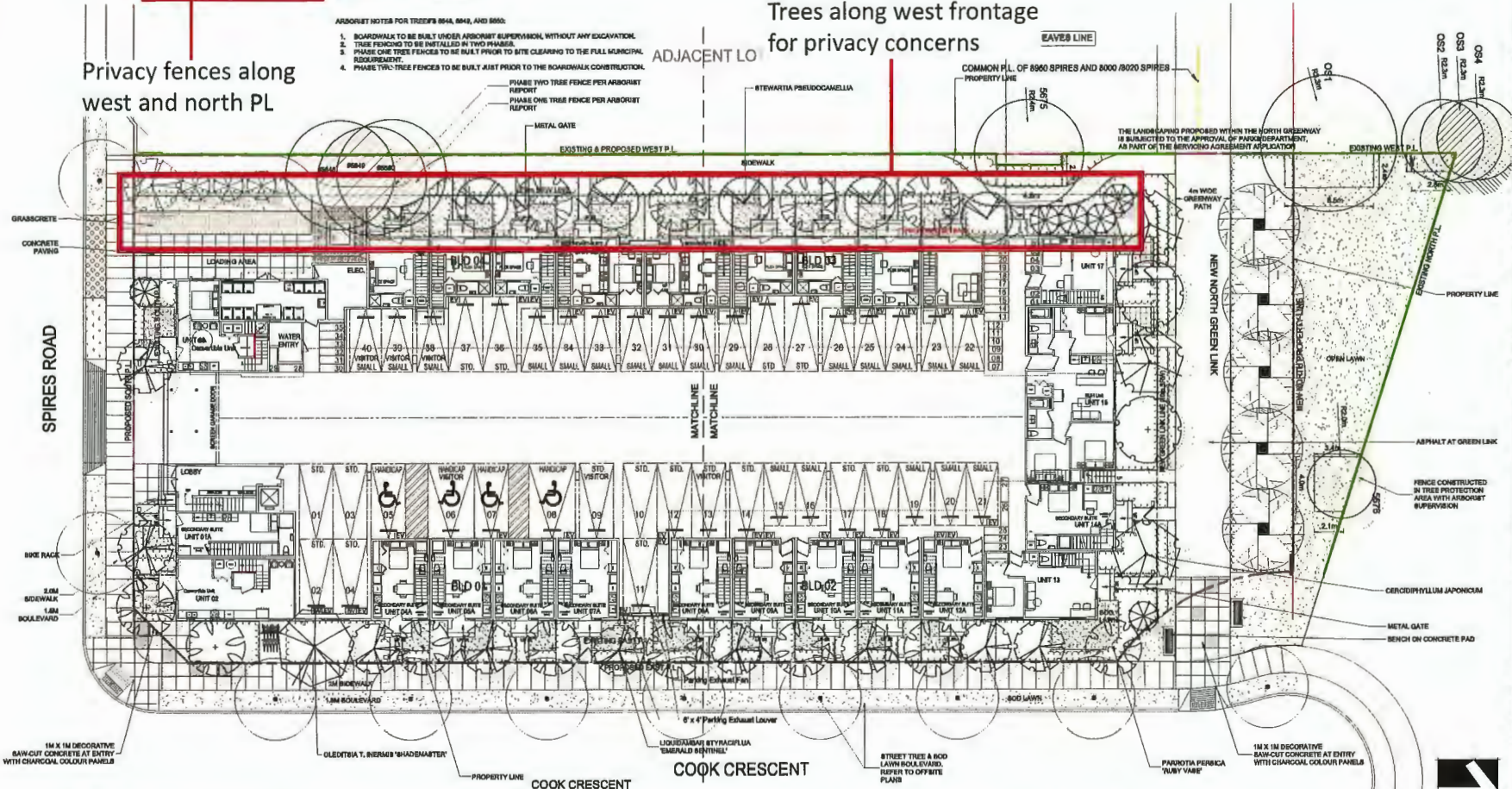
PLANT SCHEDULE - SRW				PMO PROJECT NUMBER: 22568
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	1	ASERULUM CARNEA 'SWEET'	RED HORSE CHESTNUT	10CM CAL, 1.8M STD, 800
2	1	LIQUIDAMBAR STYRACIFLUA 'EMERALD SENTINEL'	EMERALD SENTINEL BEECHTOUR	10CM CAL, 800
3	1	PIRUS INDICA 'ARNOOLD SENTINEL'	ARNOOLD SENTINEL AUSTRALIAN BLACK PINE	4M HT, 800

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMAA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST BE INSPECTED BY BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLUBLE NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

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pmg
LANDSCAPE ARCHITECTS

Suite C100 - 4185 8188 Creek Drive
Burnaby, British Columbia, V5C 6G8
p: 604 294-0011 | f: 604 294-0022



REVISIONS

NO.	DATE	REVISION DESCRIPTION	DWG.
18	24.MAR.14	ISSUED FOR BIP	
17	24.MAR.13	NEW SITE PLAN	21
16	24.FEB.13	NEW SITE PLAN	16
15	24.FEB.13	NEW SITE PLAN	16
14	24.FEB.13	NEW SITE PLAN	12
13	24.FEB.13	NEW SITE PLAN	16
12	24.FEB.13	REVISION PER COMMENTS	16C19
11	24.JUN.08	REVISION PER COMMENTS	16B6
10	24.OCT.07	NEW SITE PLAN	16C
9	24.JAN.08	NEW SITE PLAN	16C
8	24.FEB.08	SITE PLAN COORDINATION	
7	23.MAR.08	NEW SITE PLAN	16C
6	23.MAR.08	NEW SITE PLAN	16C
5	23.MAR.08	NEW SITE PLAN	16C
4	23.MAR.08	NEW SITE PLAN	16C
3	23.MAR.08	NEW SITE PLAN	16C
2	16.OCT.10	NEW SITE PLAN	16C
1	23.OCT.08	NEW SITE PLAN	16C

NO. DATE REVISION DESCRIPTION DWG.

CLIENT:

PROJECT:

RESIDENTIAL DEVELOPMENT

8635-8695 COOK CRESCENT
RICHMOND, BC

DRAWING TITLE:
**LANDSCAPE PLAN
GROUND LEVEL**

DATE: 22.APR.12 DRAWING NUMBER:
SCALE: 1:150
DRAWN: DO
DESIGN: DO
CHKD: MCV OF 11

PMG PROJECT NUMBER: 22-065

- Trees are planting along the west frontage considering privacy concerns with single houses to the west.
- A solid wood privacy fence proposed along the west and north property line to provide additional screening opportunities.
- Multiple trees retained along the west PL.



22062-13.RP

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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 881 Cook Drive
Burnaby, British Columbia, V5C 4G6
P: 604 294-0211 | F: 604 294-0222

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
18	24.AUG.24	ISSUED FOR RFP	BY
17	24.AUG.24	ISSUE SET PLAN	BY
16	24.AUG.24	ISSUE SET PLAN	BY
15	24.AUG.24	ISSUE SET PLAN	BY
14	24.AUG.24	ISSUE SET PLAN	BY
13	24.AUG.24	ISSUE SET PLAN	BY
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4	24.AUG.24	ISSUE SET PLAN	BY
3	24.AUG.24	ISSUE SET PLAN	BY
2	24.AUG.24	ISSUE SET PLAN	BY
1	24.AUG.24	ISSUE SET PLAN	BY

NO. DATE REVISION DESCRIPTION DR.

CUSTOMER:

PROJECT:

RESIDENTIAL DEVELOPMENT
8635-8685 COOK CRESCENT
RICHMOND, BC

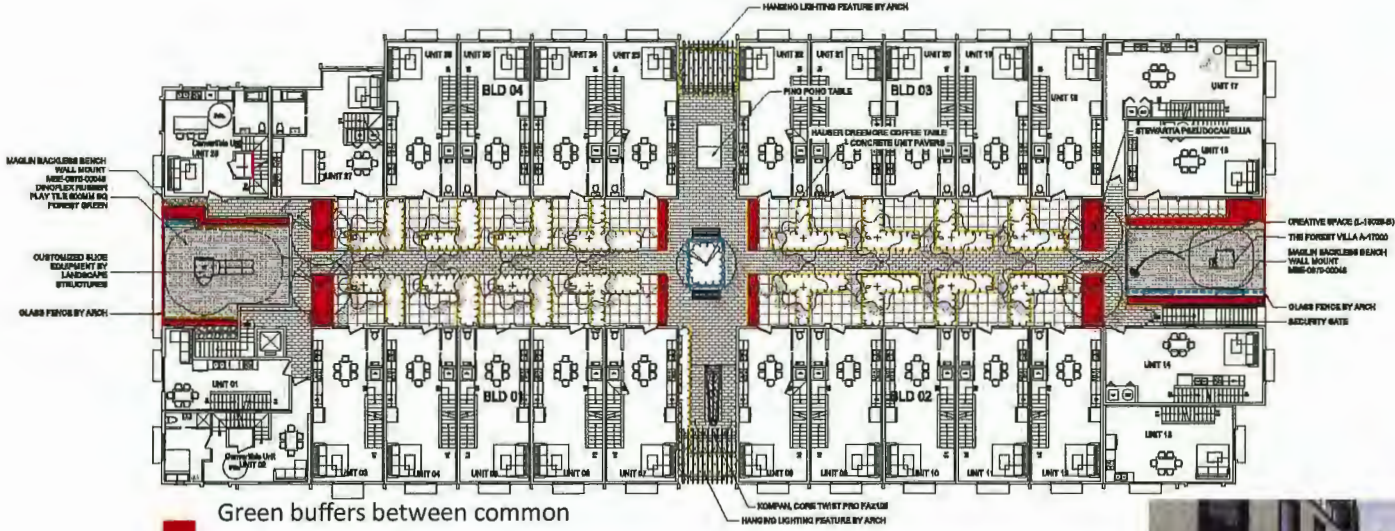
DRAWING TITLE:
**LANDSCAPE PLAN
LEVEL 2**

DATE: 22.AUG.23 DRAWING NUMBER:
SCALE: 1:500
DESIGN: DO
DESIGN: DO
CHECK: MJC
L5
DP-11

PMG PROJECT NUMBER: 22-065



2204-10-2P



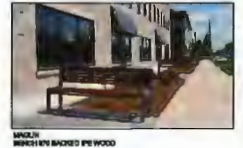
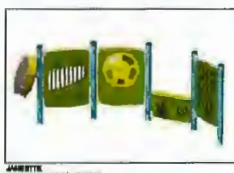
Green buffers between common areas and residential units

MATERIAL LIBRARY
WOOD LAMINATE
BELGIAN HOLLAND STONE
BELGIAN CORTES SLAB
DIWOXLEX PALMER PLAY TILE 85X85 SQ. FOREST GREEN
MAGLIN W/ BACKLASH EYE WOOD
JAMISSETTE THE FOREST VILLA A-1700
JAMISSETTE CREATIVE SPACE (S-1928-0)
REFER TO DETAIL
PING PONG TABLE
CUSTOMIZED SLIDE EQUIPMENT BY LANDSCAPE STRUCTURES
KOMPAL CONCRETE TWIST PRO FAZOLE
MAGLIN BACKLASH BENCH WALL MOUNT MISC-0870-0006
18" WT. RETAINING WALL
6" CONCRETE CURB
GLASS FENCE BY ARCH

PLANT SCHEDULE	PLANT SPECIES / PLANTING
16 ACER PALMATUM THORNTON'S RED BENTWICK / STROVITA PHELLOCAEMILLA	COLUMBIAN RED JAPANESE MAPLE / JAPANESE STAMBUKA

NOTE: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CSA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZES ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF BENCH TO INCLUDE LOWER BENCH AND FRAMING WALL. * SUBSTITUTIONS: CANNOT WRITE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO HAVING ANY SUBSTITUTIONS TO THIS SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR PROJECT TO SUBMIT. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE IN-PARTY. * BIO-SOLID NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED USING DRIP/SPRINKLER HIGH EFFICIENCY, DRIP IRRIGATION SYSTEM WITH MAIN SENSOR PROVIDED BY-ARCH DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION.



Metal gate
Planter



- Individual patios are separated from common spaces by metal gates and planters.
- Green buffers between the play/amenity area and residential units for privacy and noise mitigation.

PLANT SCHEDULE			PMG PROJECT NUMBER: 23-008	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUB	8	AZALEA JAPONICA VAULTIAN CREER	ORNAR AZALEA LIGHT PINK	#2 POT, 30CM
	4	AZALEA JAPONICA OGDEN LEBERT	DESIGNER AZALEA YELLOW, L HAY	#2 POT, 30CM
	17	BULBUL MICROPHYLLA WINTER GEM	LITTLELEAF BUX	#2 POT, 30CM
	30	HYDRANGEA REPURTA 'BLESSED'	MOUNTAIN HYDRANGEA LACECAP BLUE	#2 POT, 30CM #8 POT 40CM
	8	ELIX GREWIA 'COOHWAG'	JAPANESE HOLLY	#2 POT, 30CM
	41	HANDROA DORSETTII	HEAVENLY BAMBOO	#2 POT, 30CM
	22	PERSEA JAPONICA 'VALLEY VALENTINE'	PERSEA RED BLOODS	#2 POT, 30CM
	24	PRODRACONIDION 'BOY BILLS'	PRODRACONIDION	#2 POT, 30CM
	25	ROSA 'WINTERHAUS'	CAPPOT ROSE, PINK	#2 POT, 30CM
	21	TAXUS X MEDIA 'HAL EDGEE'	EDGE'S YEW	1.5M BAR
ORNAM				
108		FERTUCA CINEREA 'SLAM BLAU'	FERTUCA	#1 POT
PERSONAL				
18		LIROPE MILBURNI	BLUE LILY-TULIP	30CM POT
16		BIOTA CANADENSIS 'SPRINGWOOD PINK'	WINTER HEATH, PINK	#1 POT, 30CM

PLANT SCHEDULE - SRW			PMG PROJECT NUMBER: 23-008	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SRUB	72	BULBUL MICROPHYLLA WINTER GEM	LITTLELEAF BUX	#2 POT, 30CM
	48	ELIX GREWIA 'COOHWAG'	JAPANESE HOLLY	#2 POT, 30CM
	84	HANDROA DORSETTII	HEAVENLY BAMBOO	#2 POT, 30CM
	84	PRODRACONIDION 'BOY BILLS'	PRODRACONIDION	#2 POT, 30CM
	20	TAXUS X MEDIA 'HAL EDGEE'	EDGE'S YEW	1.5M BAR
ORNAM				
11		CAREX OMBRIENSIS 'TRINCOLONY'	SPRINGOLD JAPANESE BRIDGE	#1 POT
143		FERTUCA CINEREA 'SLAM BLAU'	FERTUCA	#1 POT
SR		POLYTHICUM MONTANUM	WEATHER BIRDPOW BIRD	#1 POT, 30CM

33 ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION, CONTAINER SIZE, TUBE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER EQUIVEMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT 10% LOWER MARKET AND TRAVEL VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL TYPED DAMAGE FREE WARRANTY. * NO-SOLDEN NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

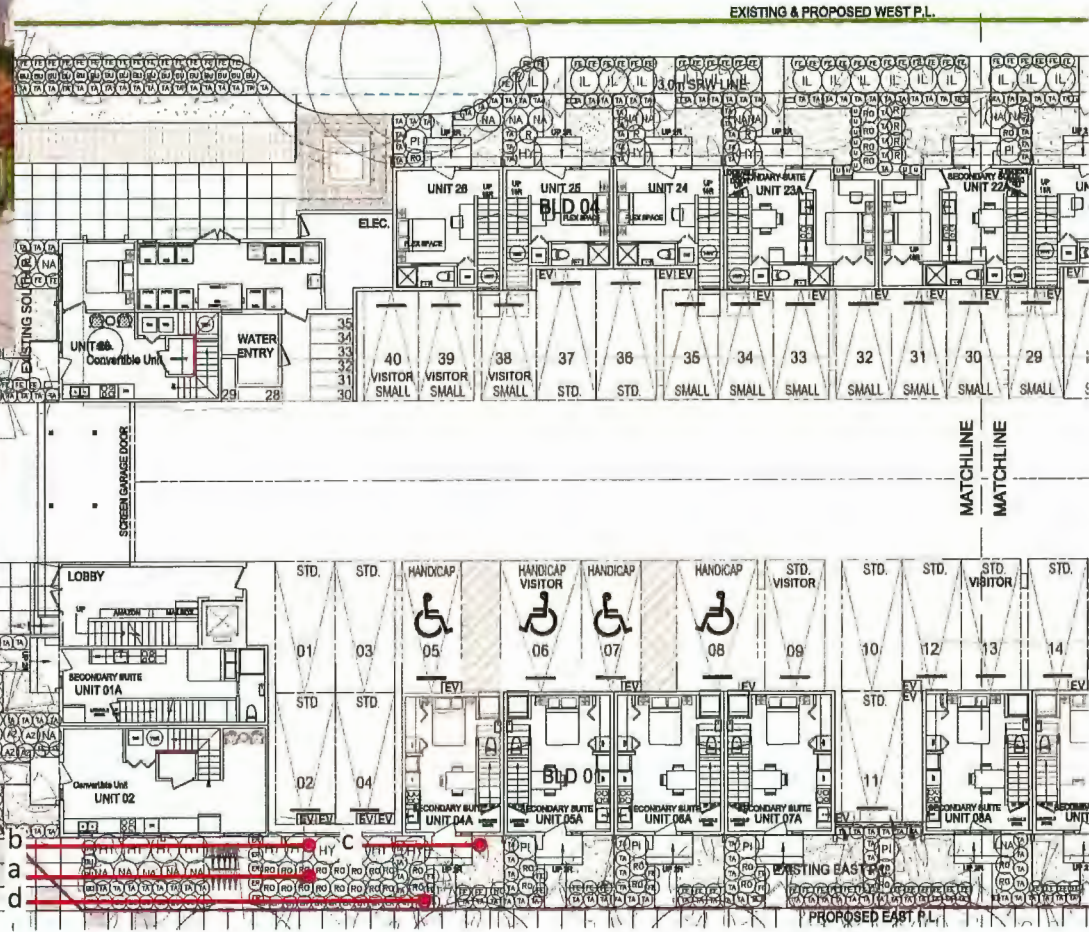
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED ARE PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT 10% LOWER MARKET AND TRAVEL VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. * DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DAMAGE FREE NURSERY. * NO-SOLDEN NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

WATED USING DEGRADABLE HIGH EFFICIENCY, DROP IRRIGATION SYSTEM WITH RAIN SENSOR. PROVIDE SHOP DRAWINGS FOR



Front yards include:

- layered pedestrian-scaled planting,
- with foundation planting directly adjacent to the building.
- usable open lawn/paving space.
- a layer of planting on the streetside with metal gates to provide additional separation between the public sidewalk and the private yard.



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SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
18	2023/04/12	ISSUED FOR PER	
17	2023/04/12	REV SITE PLAN	JJ
16	2023/04/12	REV SITE PLAN	YS
15	2023/04/12	REV SITE PLAN	YS
14	2023/04/12	REV SITE PLAN	YS
13	2023/04/12	REV SITE PLAN	YS
12	2023/04/12	REV SITE PLAN	YS
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8	2023/04/12	REV SITE PLAN	YS
7	2023/04/12	REV SITE PLAN	YS
6	2023/04/12	REV SITE PLAN	YS
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3	2023/04/12	REV SITE PLAN	YS
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1	2023/04/12	REV SITE PLAN	YS

CLIENT:

PROJECT:

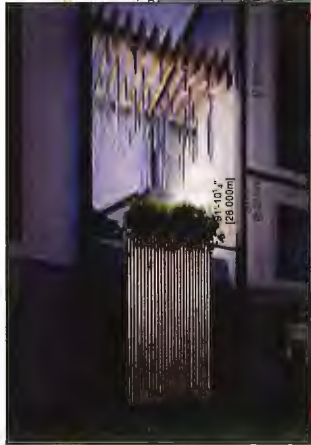
RESIDENTIAL DEVELOPMENT
 8635-8695 COOK CRESCENT
 RICHMOND, BC

DRAWING TITLE:
**SHRUB PLAN
 GROUND LEVEL**

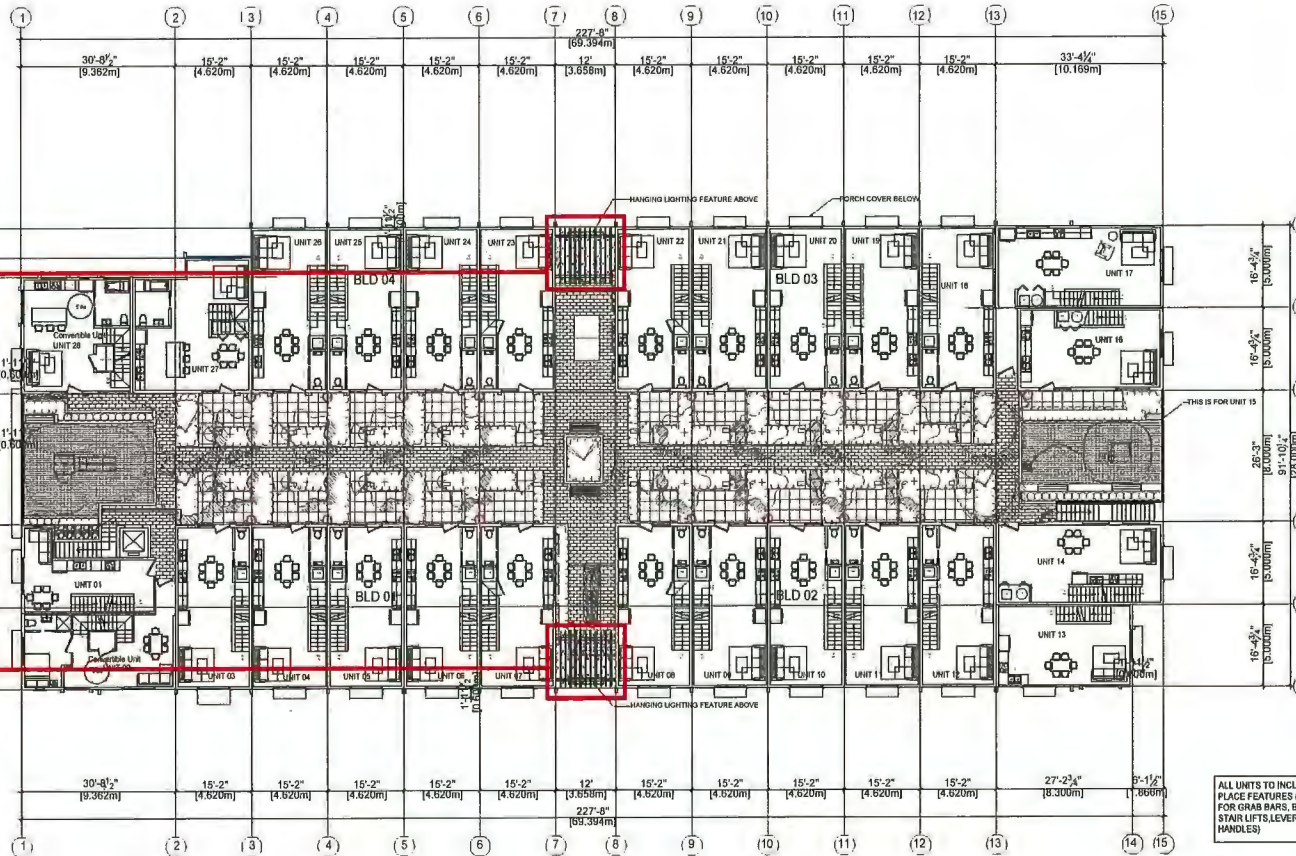
DATE: 22/4/23 DRAWING NUMBER:
 SCALE: 1:300
 DRAWN: DO **L2**
 DESIGN: DO
 CHECK: SACY - OF 11



2/F Lighting Plan



1 2ND FLOOR PLAN
Scale: 3/32" = 1'-0"



ALL UNITS TO INCLUDE AGING IN PLACE FEATURES (EG BLOCKING FOR GRAB BARS, BLOCKING FOR STAIR LIFTS, LEVER DOOR HANDLES)



TUBE ARCHITECTURAL LED OUTDOOR WALL MOUNT, DOUBLE SIDED CONCEPTUAL IMAGE

LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMP	NOTES	LOCATION
⊙	TUBE ARCHITECTURAL LED OUTDOOR WALL MOUNT DOUBLE SIDED			OUTDOOR
NOTE: ELECTRICAL ENGINEER TO CONFIRM				



COPYRIGHT RESERVED THESE DRAWINGS AND THE DESIGN, AT ALL TIME, REMAIN THE EXCLUSIVE PROPERTY OF THE DESIGNER AND CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT. WRITTEN DIMENSION SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTORS/BUILDERS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB-SITE. DESIGNER SHALL BE INFORMED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS.

NO.	DESCRIPTION	DATE

8635-8695 COOK CRESCENT TOWNHOUSE DEVELOPMENT

2/F LIGHTING PLAN

PROJECT:
DATE: 2024/03/28
DRAWN BY:
CHECKED BY:

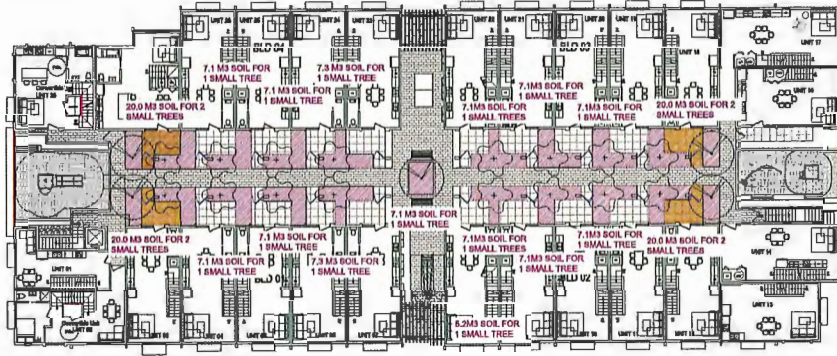
SCALE: 3/32" = 1'-0"

- Wall mounted lighting on exterior walls.
- Some of the vertical metal tube elements over the amenity areas are equipped with LED lights at the end.

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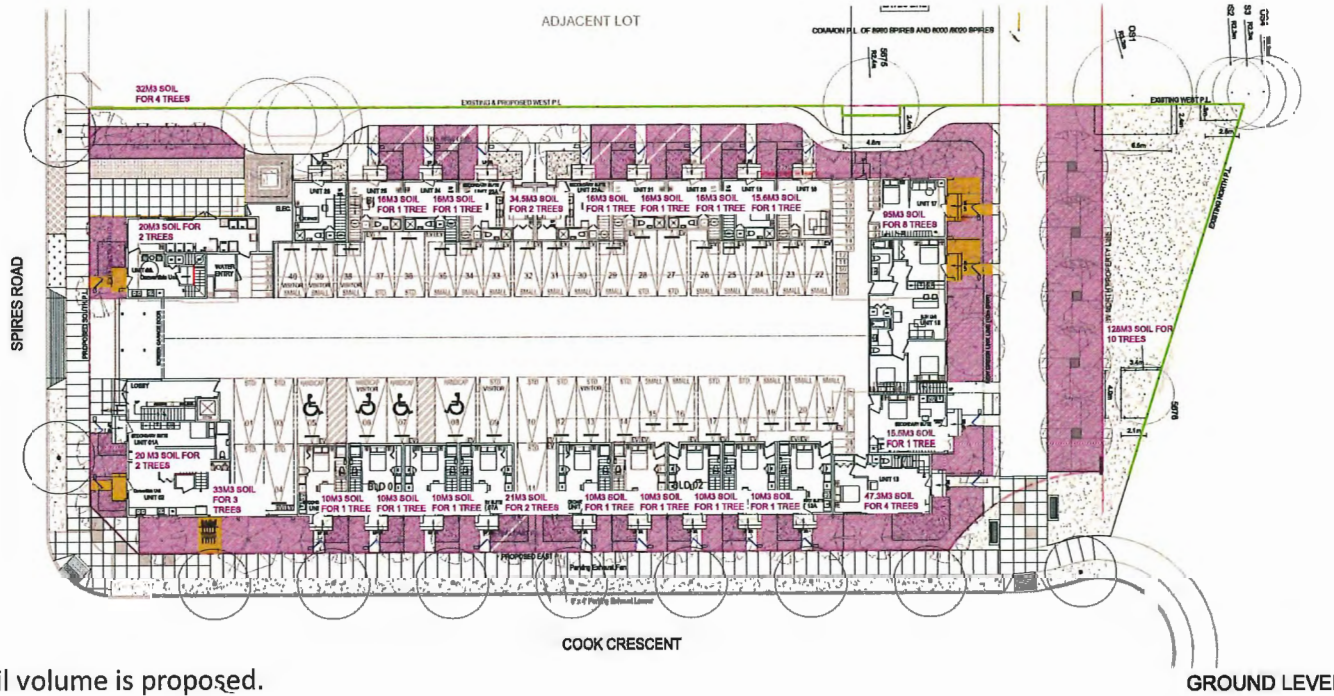
pmg
LANDSCAPE ARCHITECTS
Suite 2100 - 4165 688 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

BEAL:



STRUCTURAL BOIL
AREA WITH 600MM SOIL DEPTH
NOTE: THE SOIL DEPTH FOR REEF AREAS REFERS TO LANDSCAPE SPECIFICATIONS OR CANADIAN LANDSCAPE STANDARD.

LEVEL 2



Sufficient soil volume is proposed.

18	SEAMUS14	NEW SITE PLAN	SP
17	SEAMUS13	NEW SITE PLAN	SP
16	SALPER15	NEW SITE PLAN	TR
15	SALPER14	NEW SITE PLAN	TR
14	SALPER13	NEW SITE PLAN	TR
13	SALPER12	NEW SITE PLAN	TR
12	SEALC15	NEW SITE PLAN	TR
11	SEALC14	NEW SITE PLAN	TR
10	SEALC13	NEW SITE PLAN	TR
9	SEALC12	NEW SITE PLAN	TR
8	SEALC11	NEW SITE PLAN	TR
7	SEAMUS12	NEW SITE PLAN	SP
6	SEAMUS11	NEW SITE PLAN	SP
5	SEAMUS10	NEW SITE PLAN	SP
4	SEAMUS09	NEW SITE PLAN	SP
3	SEALC08	NEW SITE PLAN	TR
2	SEALC07	NEW SITE PLAN	TR
1	SEALC06	NEW SITE PLAN	TR

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:
RESIDENTIAL DEVELOPMENT
8635-8695 COOK CRESCENT
RICHMOND, BC

DRAWING TITLE:
SOIL VOLUME PLAN

DATE: 22.APR.13 DRAWING NUMBER:
SCALE: 1:200
DRAWN: DO **L7**
DESIGN: DO
CHECK: JCY OF 11

22085-13.027 PMG PROJECT NUMBER 22-065

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
April 24, 2024

DEVELOPMENT PERMIT PANEL



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

CONTEXT



VIEW 1



VIEW 2



VIEW 3



VIEW 4



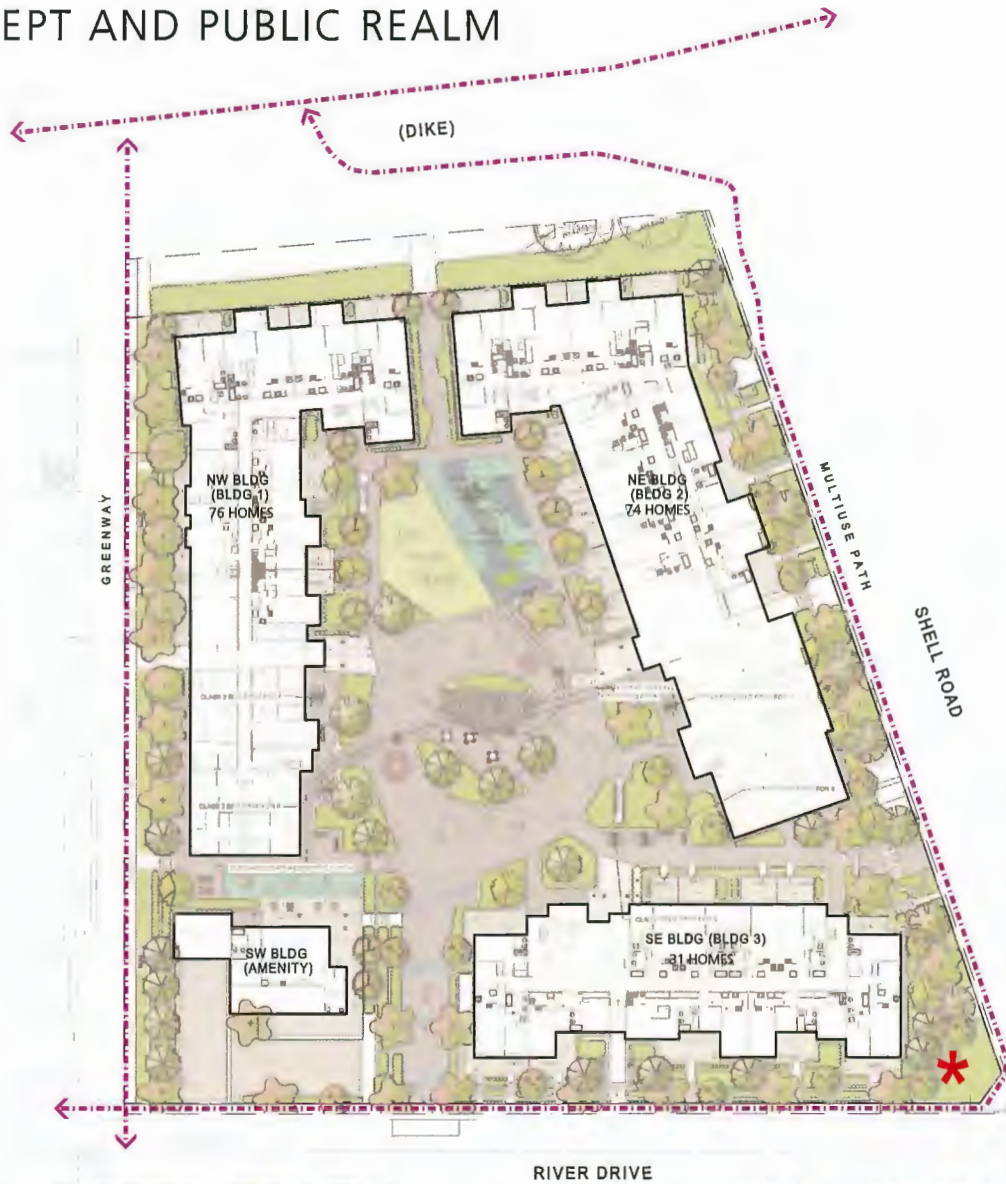
VIEW 5



VIEW 6

RIVER POINTE at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

CONCEPT AND PUBLIC REALM



-  Public Art
-  Public Walkways



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

ACCESS AND CONNECTIVITY



 Public Art

 Public Walkways

 Secondary Pedestrian Circulation



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

5.01m LEVEL 1

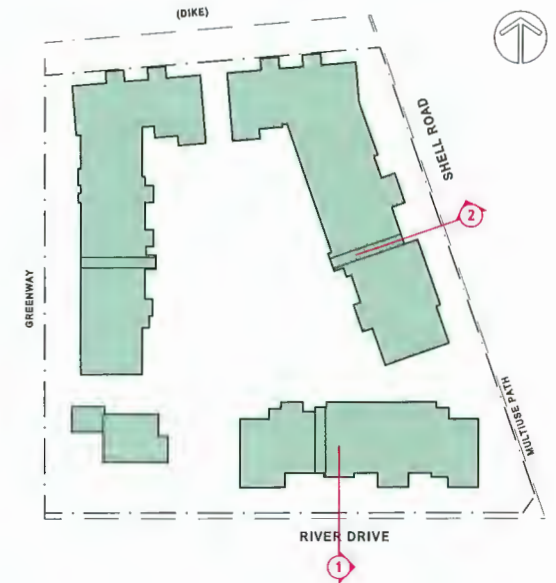
3.59m LOWER LIVING AREA



BUILDING 3

RIVER DRIVE

SECTION 1



5.01m LEVEL 1

3.74m LOWER LIVING AREA



BUILDING 2

SHELL ROAD

SECTION 2

RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

5.01m LEVEL 1



BUILDING 1
walkway

SECTION 3



5.01m LEVEL 1



10333 River Drive

bike room






LEVEL 1 5.01m

BUILDING 1

SECTION 4

ACCESSIBILITY AND CIRCULATION



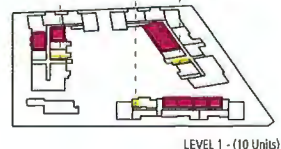
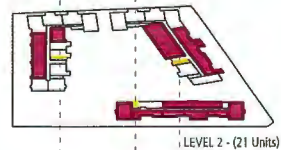
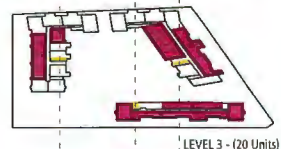
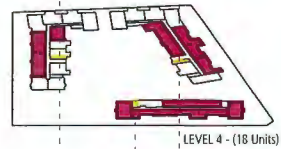
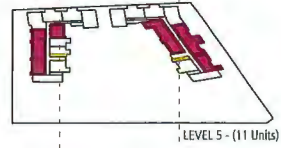
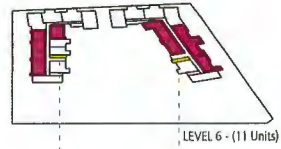
-  Public Art
-  Public Walkways
-  Secondary Pedestrian Circulation
-  Primary Pedestrian Circulation
-  Accessible Path



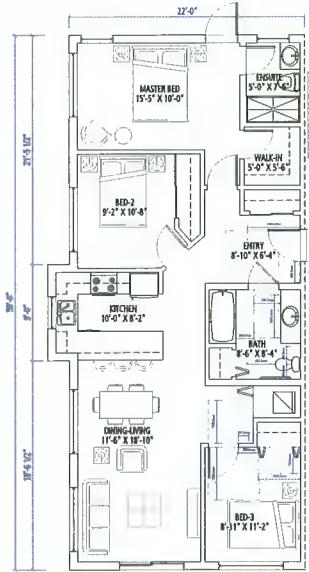
RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

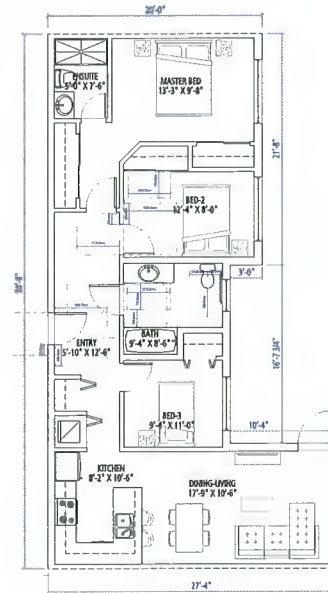
LOCATION OF HOMES WITH BUH (Basic Universal Housing) FEATURES



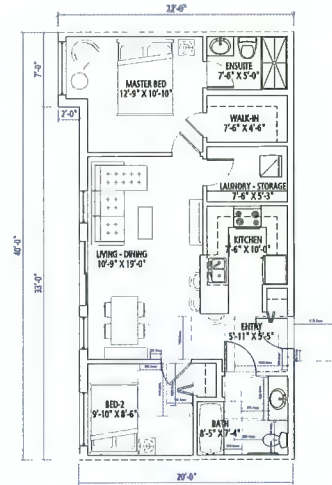
■ BUH UNITS (91 Units) ■ ELEVATOR LOCATION



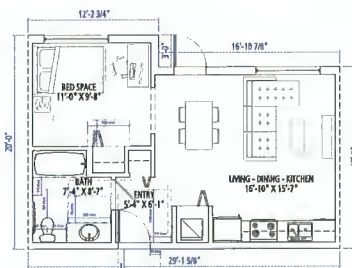
UNIT B1-3BR (BUH)



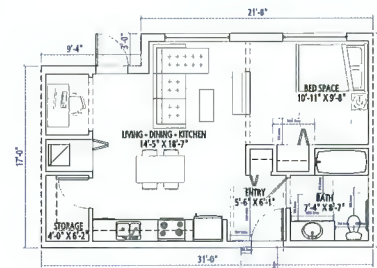
UNIT C1-3BR (BUH)



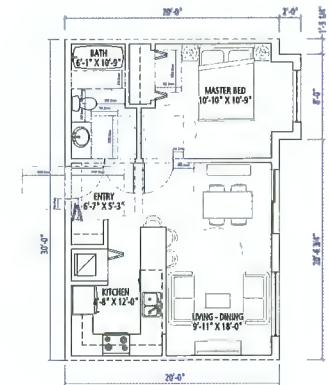
UNIT H-2BR (BUH)



UNIT S-STUDIO (BUH)



UNIT R-STUDIO (BUH)



UNIT M-1BR (BUH)

RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

MATERIAL BOARD



SW EXTRA WHITE 7006
HARDIE SIDING AND PANELS



HARDIE EVENING BLUE
HARDIE PANELS



SW STARGAZER 9635
HARDIE PANELS



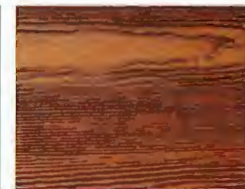
SW PORTSMOUTH 9644
HARDIE PANELS



SW RIVER ROCK 6215
HARDIE SIDING AND PANELS



SW IRON ORE 7069
HARDIE PANELS, FLASHINGS



FISHER COATING CEDERTONE
HARDIE SOFFIT



SW IRON ORE 7069
HARDIE BOARD AND BATTEN

RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024



VIEW 1



VIEW 2



①

②

RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024



VIEW 3



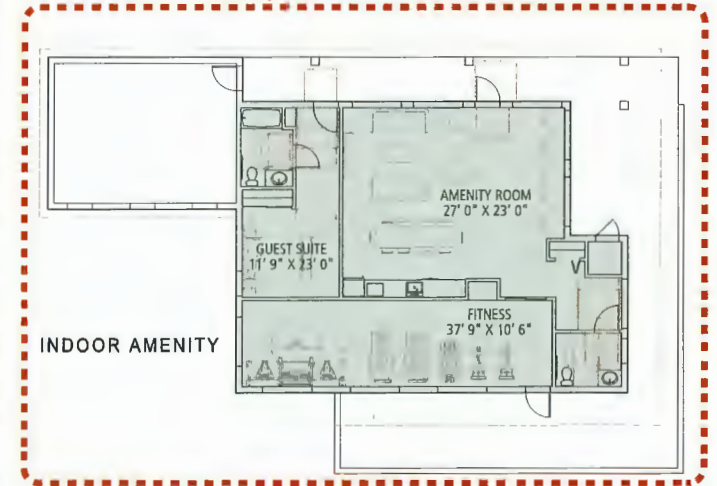
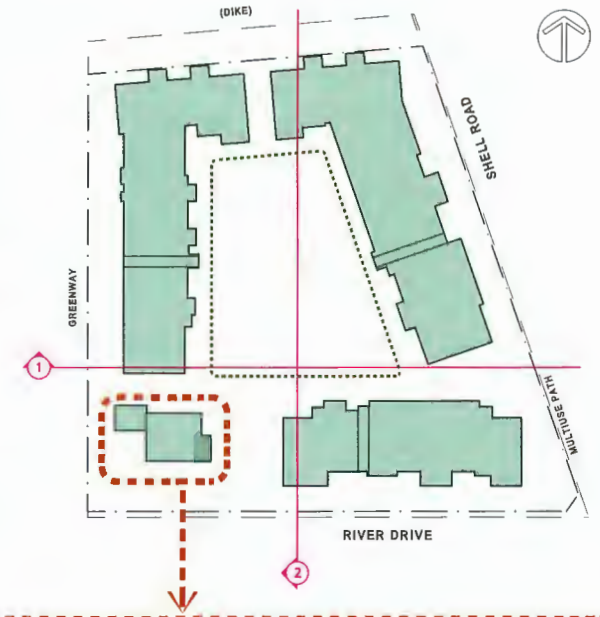
VIEW 4



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024

COMMON AMENITY



RIVER POINTE

at #10611 and #10751 River Drive for Bains Properties Inc. by Fougere Architecture Inc. and PMG Landscape Architects on April 24, 2024.



PLANT SCHEDULE			PMG PROJECT NUMBER: 23-032	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	11	ACER CIRCINATUM	VINE MAPLE	2.5M HT, B&B, 3 STEM CLUMP
	25	ACER GRIBELUM	PAPERBARK MAPLE	8CM CAL, 1.8M STD, B&B
	18	CHAMAECYPARIS ORTUSA 'GRACILIS'	BLENDER WINDY FALSE CYPRESS	3M HT, B&B
	9	CORNUS KOUSA X MUTTALI 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	8CM CAL, 1.5M STD, B&B
	4	MAGNOLIA SOULANSKANA 'TRISTECA RUBRA'	RUSTICA RED MAGNOLIA	8CM CAL, 1.5M STD, B&B
	13	QUERCUS PALUSTRIS 'SKEEVEY PILLAR'	GREEN PILLAR PINK OAK	8CM CAL, 1.8M STD, B&B
	13	STYAX JAPONICUS 'PINK CHAMEL'	PINK FLOWERED JAPANESE SNOWBELL	8CM CAL, 1.5M STD, B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CMA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. ** REFER TO SPECIFICATIONS FOR DETAILED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OFFICIAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNIMPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: * REPLACEMENT TREES REQUIRED: 4 REPLACEMENT TREES PROVIDED.
NOTE: ALL SOFT LANDSCAPE AREAS TO BE IRRIGATED WITH A HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, INSTALLATION TO I.A.B.C STANDARD, LATEST EDITION.



PAINT GAME ON CONCRETE - MIRROR ME



PAINT GAME ON CONCRETE - TWISTER



PAINT GAME ON CONCRETE - MAZE



PAINT GAME ON CONCRETE - STEPPING PATH



HAUSER LOUNGER SEATING



GREEN THEORY FLIGHT TENNIS TABLE - PEWTER



JAMBETTE CLIMBER



JAMBETTE SPINNER



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pmg
LANDSCAPE ARCHITECTS
Suite C 106 - 4185 518 Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 | f: 604 294-0022

SCALE:

NO.	DATE	REVISION DESCRIPTION	DR.
1	23.08.23	PLANNING PLANS	MCY
2	23.08.23	REVISED PLANS	MCY
3	23.08.23	PLANNING PLANS	MCY
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17	23.08.23	PLANNING PLANS	MCY
18	23.08.23	REVISED PLANS	MCY
19	23.08.23	PLANNING PLANS	MCY
20	23.08.23	REVISED PLANS	MCY

PROJECT:
RIVER POINTE RESIDENTIAL DEVELOPMENT
10611 AND 10751 RIVER DRIVE
RICHMOND, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 23.FEB.23
SCALE: 1:250
DRAWN: MCY/PM
DESIGN: MCY/PM
CHKD: MCY
DRAWING NUMBER:
L1
OF 14



PROPOSED COMMERCIAL DEVELOPMENT

ISSUED FOR DEVELOPMENT PERMIT

18399 BLUNDELL ROAD, RICHMOND, B.C.

MARCH 22, 2024



Prospect & Refuge
LANDSCAPE ARCHITECTS



ARCHITECTURAL DRAWING LIST

A0.0 COVER SHEET
A0.1 CONTEXT PLAN
SITE SURVEY PLAN
A1.0 SITE PLAN
A1.1 FIRE ACCESS PLAN
A2.0 FLOOR PLAN
A3.0 BUILDING A ELEVATIONS
A3.1 BUILDING B ELEVATIONS
A3.2 BUILDING A RENDERS
A3.3 BUILDING B RENDERS
A3.4 COURTYARD VIEWS
A3.5 STREETSCAPE

LANDSCAPE DRAWING LIST

L0 LANDSCAPE COVER SHEET
L1 LANDSCAPE MATERIAL AND LAYOUT PLAN
L2 LANDSCAPE PLANTING PLAN
L3 LANDSCAPE DETAIL

CIVIL DRAWING LIST

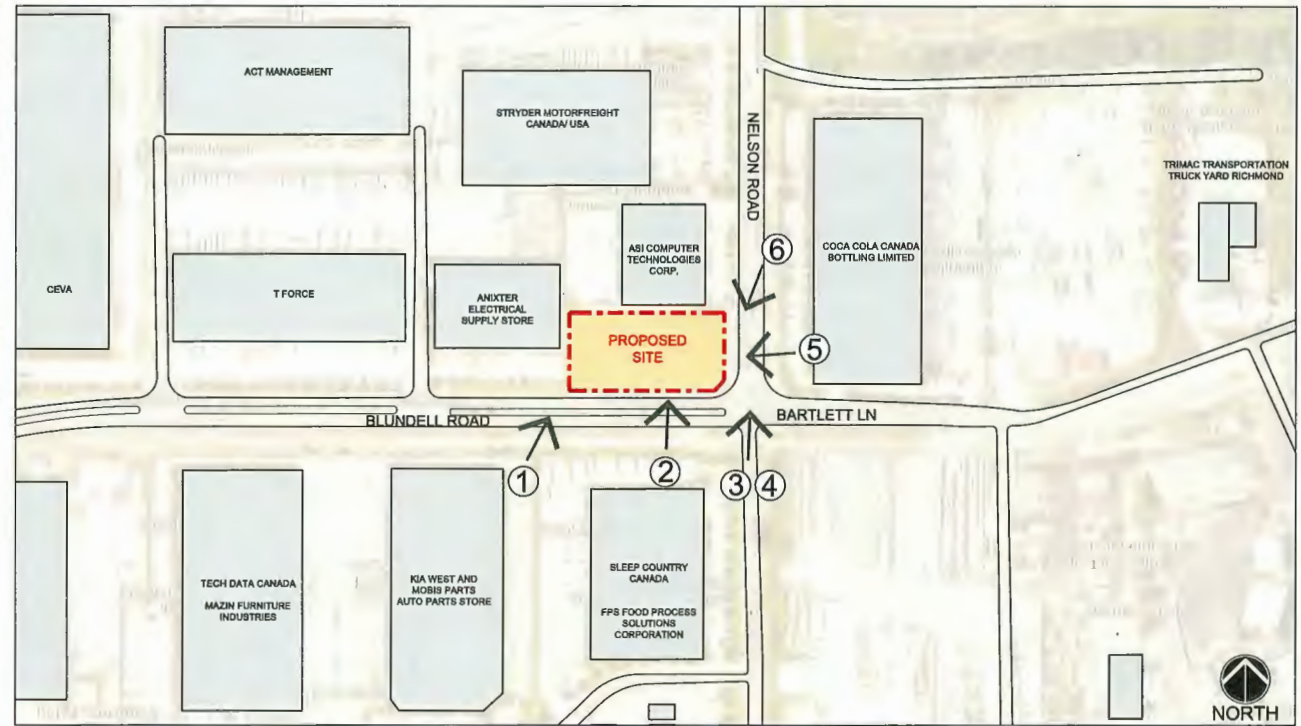
LOT GRADING PLAN



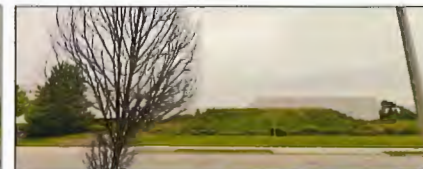


VICINITY PLAN

SCALE: NTS



① VIEW LOOKING NORTH FROM BLUNDELL ROAD



② VIEW LOOKING NORTH FROM BLUNDELL ROAD EXISTING BUS STOP



③ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



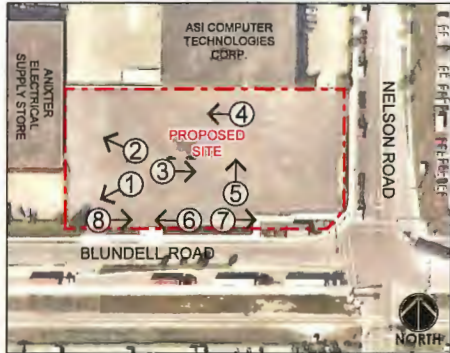
④ VIEW NORTH AT INTERSECTION OF BLUNDELL AND NELSON ROAD



⑤ VIEW LOOKING WEST FROM NELSON ROAD



⑥ VIEW LOOKING SOUTH WEST FROM NELSON ROAD



SITE PLAN

SCALE: NTS



① VIEW FROM THE SITE LOOKING TO SOUTH-WEST SITE CORNER



② VIEW FROM THE SITE LOOKING TO NORTH-WEST SITE CORNER



VICINITY PLAN

SCALE: NTS

LEGEND:

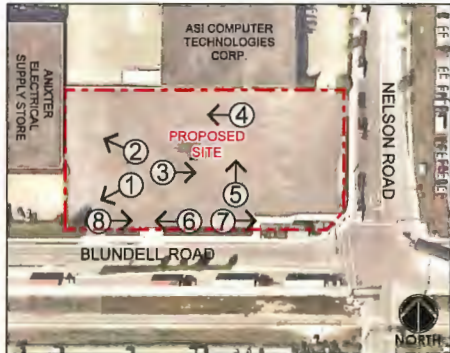
- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE



③ VIEW FROM THE SITE LOOKING WEST TO NELSON ROAD



④ VIEW FROM THE SITE LOOKING EAST TO ANIXTER ELECTRICAL BUILDING



SITE PLAN

SCALE: NTS



⑤ VIEW FROM THE SITE LOOKING NORTH TO ASI COMPUTER BUILDING



⑥ VIEW FROM BLUNDELL ROAD LOOKING WEST



VICINITY PLAN

SCALE: NTS

LEGEND:

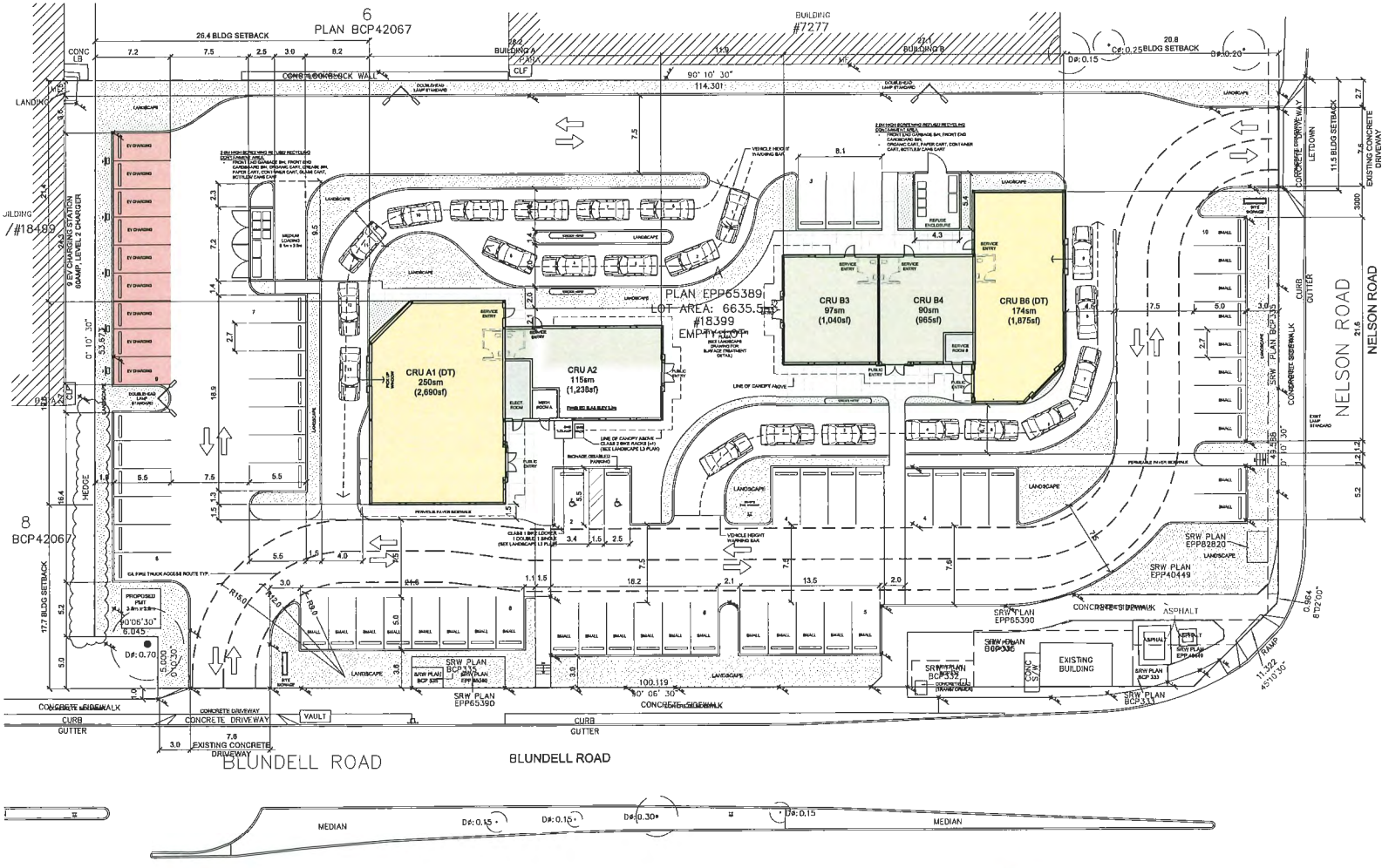
- a) PROPOSED SITE
- b) TUGBOAT ANNIE'S PUB & GRILLE
- c) NANAKSAR GURDWARA GURSIKH TEMPLE



⑦ VIEW FROM BLUNDELL ROAD LOOKING EAST



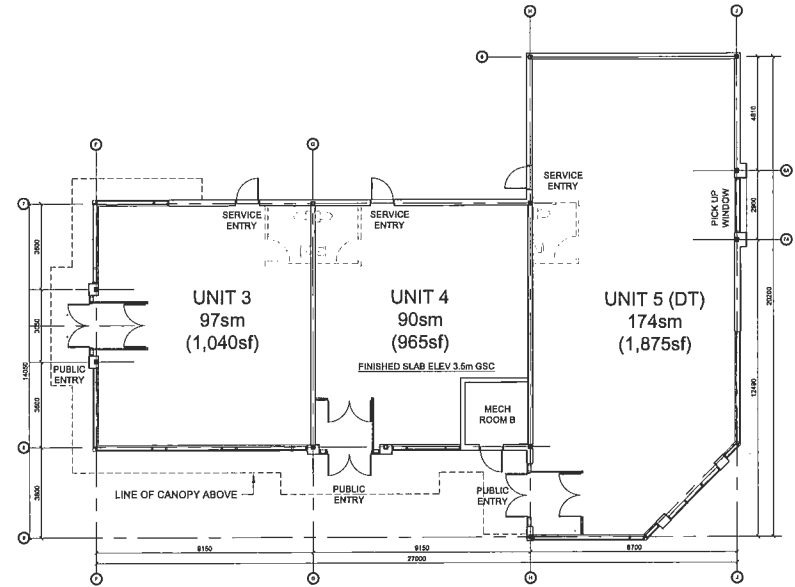
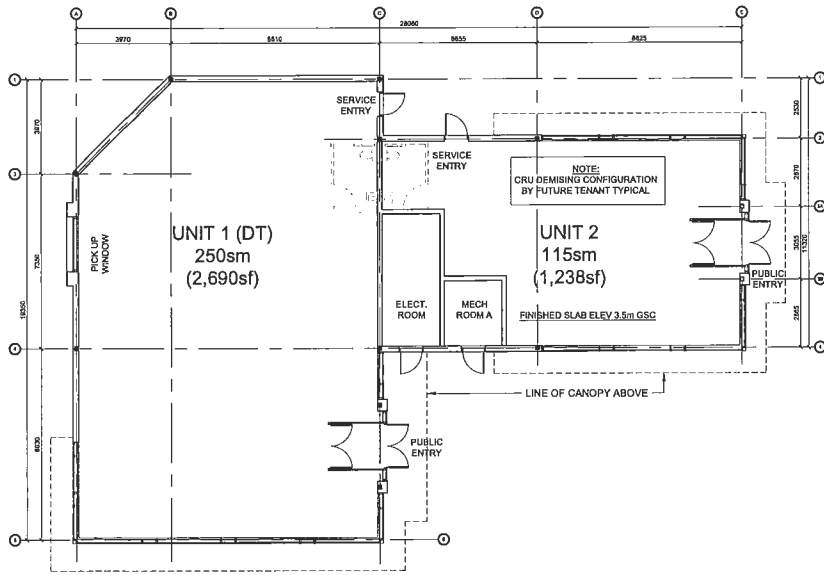
⑧ VIEW FROM BLUNDELL ROAD LOOKING EAST

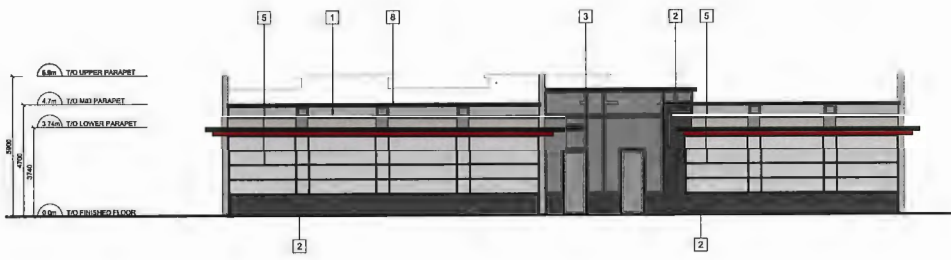


PROPOSED COMMERCIAL DEVELOPMENT KINGSWOOD INDUSTRIAL PARK 18399 BLUNDELL ROAD			
ZONING	INDUSTRIAL (I)		
LEGAL DESCRIPTION	LOT 7 SEC18 BLK 4 NORTH RANGE 4 WEST WESTMINSTER DISTRICT PL BCP42067		
PERMITTED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
PROPOSED USE	GENERAL INDUSTRY, DRIVE THROUGH, RESTAURANT		
LOT AREA	6,635.5 m ² (71,424sf)		
PERMITTED LOT COVERAGE	MAX 75%		
PROPOSED LOT COVERAGE	11.4%		
PROPOSED BUILDING FOOTPRINT	759 m ² (8,199sf)		
PERMITTED FLOOR AREA RATIO (FAR)	1.0		
PROPOSED FLOOR AREA RATIO (FAR)	0.11		
BUILDING SETBACKS	REQUIRED PROPOSED		
FRONT YARD (NELSON RD)	3.0m 20.6m		
REAR YARD (WEST)	- 28.4m		
INTERIOR SIDE YARD (NORTH)	- 11.5m		
EXTERIOR SIDE YARD (BLUNDELL RD)	3.0m 17.7m		
HEIGHT	MAX 16.0m 4.7m		
NOTE: ACCENT PANEL HEIGHTS VARY FROM 5.9m TO 7.5m			
PARKING SIZE	STANDARD 2.65m W x 5.5m L SEE SEE STALLS TO BE PROVIDED IN 21 SPACES ON LANE SMALL 2.45m W x 5.0m L		
	ACCESSIBLE 2.50m W x 5.5m L 1.2m SHARED ASBLE		
aisle width (TWO-WAY)	7.5m		
PARKING			
REQUIRED PARKING SPACES			
PARKING BY-LAW USE CATEGORY	PARKING SPACES REQUIRED	PARKING SPACES REQUESTED	PARKING SPACES PROVIDED
RESTAURANT	8 SPACES PER 100m LP TO 200m 10 SPACES FOR EACH ADDITIONAL 100m	24	30
DRIVE-THRU	7 SPACES PER 100m LP TO 150m 8 SPACES FOR EACH ADDITIONAL 100m MIN. 8 VEHICLE QUEUEING AREA IN ADVANCE OF FULL WINDOW	30	32
ACCESSIBLE PARKING	1 PER 140 SPACES 1 ADDL PER NEXT 80 SPACES (36 STANDARD + 29 SMALL)	2	2
LOADING			
REQUIRED/ PROVIDED	1 MEDIUM SIZE LOADING		
BICYCLE PARKING REQUIRED/ PROVIDED			
REQUIRED (NOTE: 3 CLASS 1 SPACES + 4 CLASS 2 SPACES)	7 SPACES		

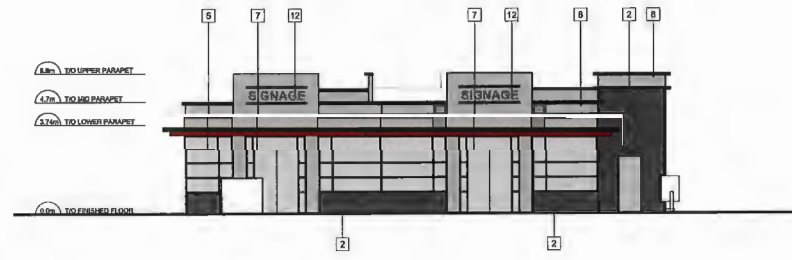
LEGEND	
	LANDSCAPE AREA
	PAVEMENT AREA
	PROPOSED BY CHARGING STATION (8 DEDICATED BY STALLS WITH 5 PEDESTALS - GOAMP LEVEL 2 CHARGER)



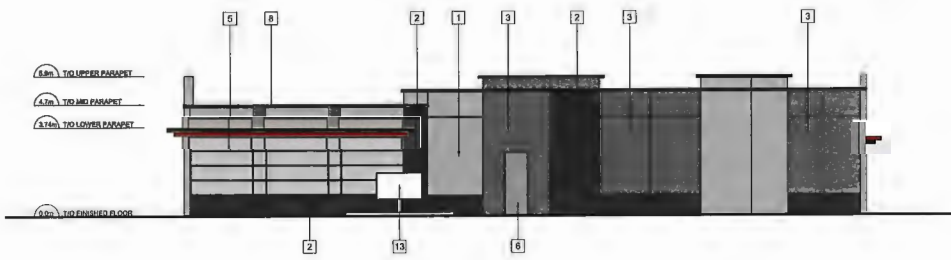




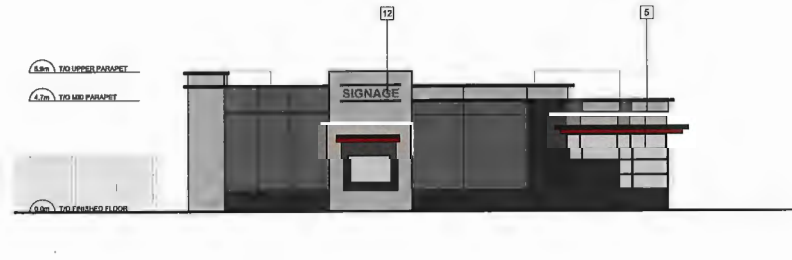
A SOUTH ELEVATION



B EAST ELEVATION

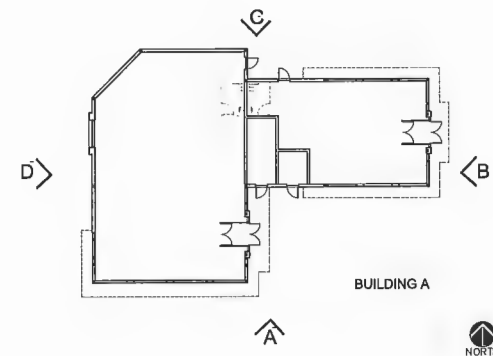


C NORTH ELEVATION



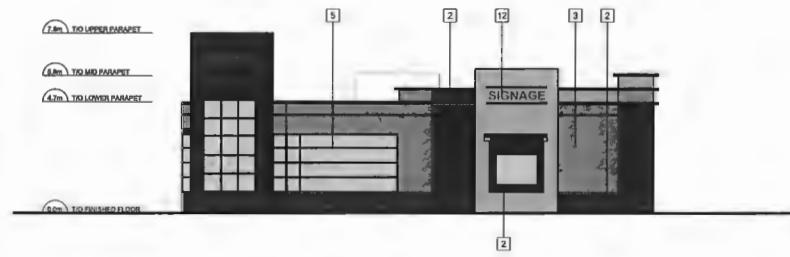
D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR: SHALE GRAY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR: BASALT (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR: WINDSPRAY (OR EQUIVALENT)
4	REARVIEW
5	GREY TINTED SEALED UNIT WITH BLACK ANODIZED ALUMINUM GLAZING BALLBOYS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR: GREY TBC
7	GREY TINTED STOREFRONT ENTRY DOUBLE DOORS
8	PREFINISHED METAL FLASHING, COLOUR: CHARCOAL BY VICKREY
9	PREFINISHED METAL CAVITY FLASHING, COLOUR: BLACK BRONZ BY VICKREY
10	PREFINISHED METAL FASCIA FLASHING, COLOUR: DARK RED BRONZ BY VICKREY
11	GAUSSAGE SCREENING ENCLOSURE
12	SIGNAL, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
13	ORDER MENU SIGNETARD
14	HURIFICATION REVEAL

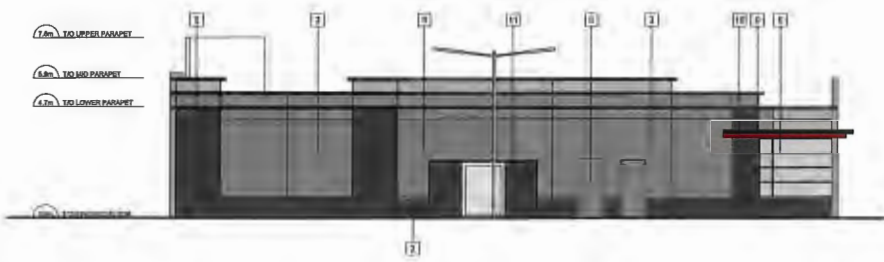




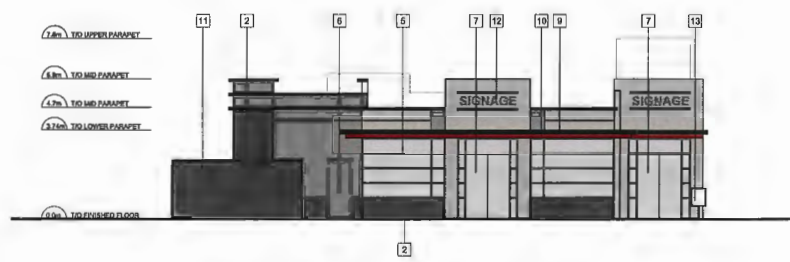
A SOUTH ELEVATION



B EAST ELEVATION



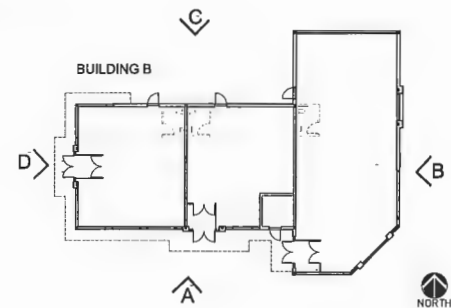
C NORTH ELEVATION



D WEST ELEVATION

MATERIAL LEGEND	
1	INSULATED METAL PANEL, LIGHT GRAY COLOUR, SHAKE GREY (OR EQUIVALENT)
2	INSULATED METAL PANEL, DARK GRAY COLOUR, BARALT (OR EQUIVALENT)
3	INSULATED METAL PANEL, MEDIUM GRAY COLOUR, TRUESWAY (OR EQUIVALENT)
4	NEBRVED
5	GREY TINTED SEALED LANEY WITH BLACK ANODIZED ALUMINUM GLAZING MULLIONS
6	INSULATED HOLLOW METAL DOOR AND FRAME, PAINTED, COLOUR GREY TDC
7	GREY TINTED STOREFRONT ENTRY DOUBLE DOORS
8	PREFABRICATED METAL FLASHING, COLOUR CHARCOAL BY VICKREY
9	PREFABRICATED METAL CANOPY FLASHING, COLOUR BLACK 888M BY VICKREY
10	PREFABRICATED METAL FASCIA FLASHING, COLOUR DARK TDD 888M BY VICKREY
11	DAMAGE SCREENING ENCLOSURE
12	SIGNAGE, SUPPLIED AND INSTALLED BY SIGN CONTRACTOR
13	ORDER MENU SIGN/STAND
14	MULTIFUNCTION REVEAL

MATERIAL LEGEND	
	1
	2
	3
	4
	5
	6
	7
	8
	9
	10
	11
	12
	13
	14





SOUTHEAST CORNER



NORTHEAST CORNER



SOUTHWEST CORNER



NORTHWEST CORNER



SOUTHEAST CORNER



NORTHWEST CORNER



SOUTHWEST CORNER



NORTHEAST CORNER



PROPOSED COMMERCIAL DEVELOPMENT

18399 BLUNDELL ROAD, RICHMOND, BC



BUILDING B RENDERS

A3.3

MARCH 22, 2024



COURTYARD VIEW A



COURTYARD VIEW B



A STREETScape VIEW FROM BLUNDELL ROAD



B STREETScape VIEW FROM NELSON ROAD

PROJECT NAME: Proposed Commercial Development

PROJECT NO: 2023-26

PROJECT ADDRESS: 18399 Blundell Road, Richmond, BC

DATE: 2024-03-20

ISSUED FOR: Re-Issue for DP

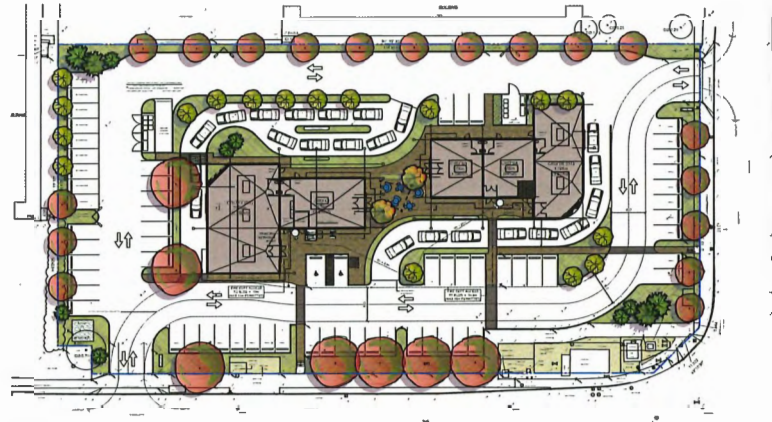
TABLE OF CONTENTS

Sheet Number	Sheet Title
L0	Landscape Cover Sheet
L1	Landscape Materials and Layout Plan
L2	Landscape Planting Plan
L3	Landscape Details

CONSULTANT LIST

GWA Architects Inc.
MPT Engineering Co. Ltd.

CONTEXT PLAN



PACKAGE IS ONLY TO SCALE WHEN PRINTED ON 24"X36" SHEETS UNLESS OTHERWISE INDICATED

Date	Issue Notes
2024-03-20	Re-Issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord

Date Issue Notes

Date Issue Notes



Design & Define

LANDSCAPE ARCHITECTS
2023-11-14 18:00:00
183-184-185 186-187 188-189 190-191 192-193
194-195 196-197 198-199 200-201 202-203 204-205
Building on over 25 years of history as Jonathan Lewis, Ltd.

Proposed Commercial Development
18399 Blundell Road, Richmond, BC

Client Name
Coastal Salish

Sheet Title
Landscape Cover Sheet

Project No
2023-26

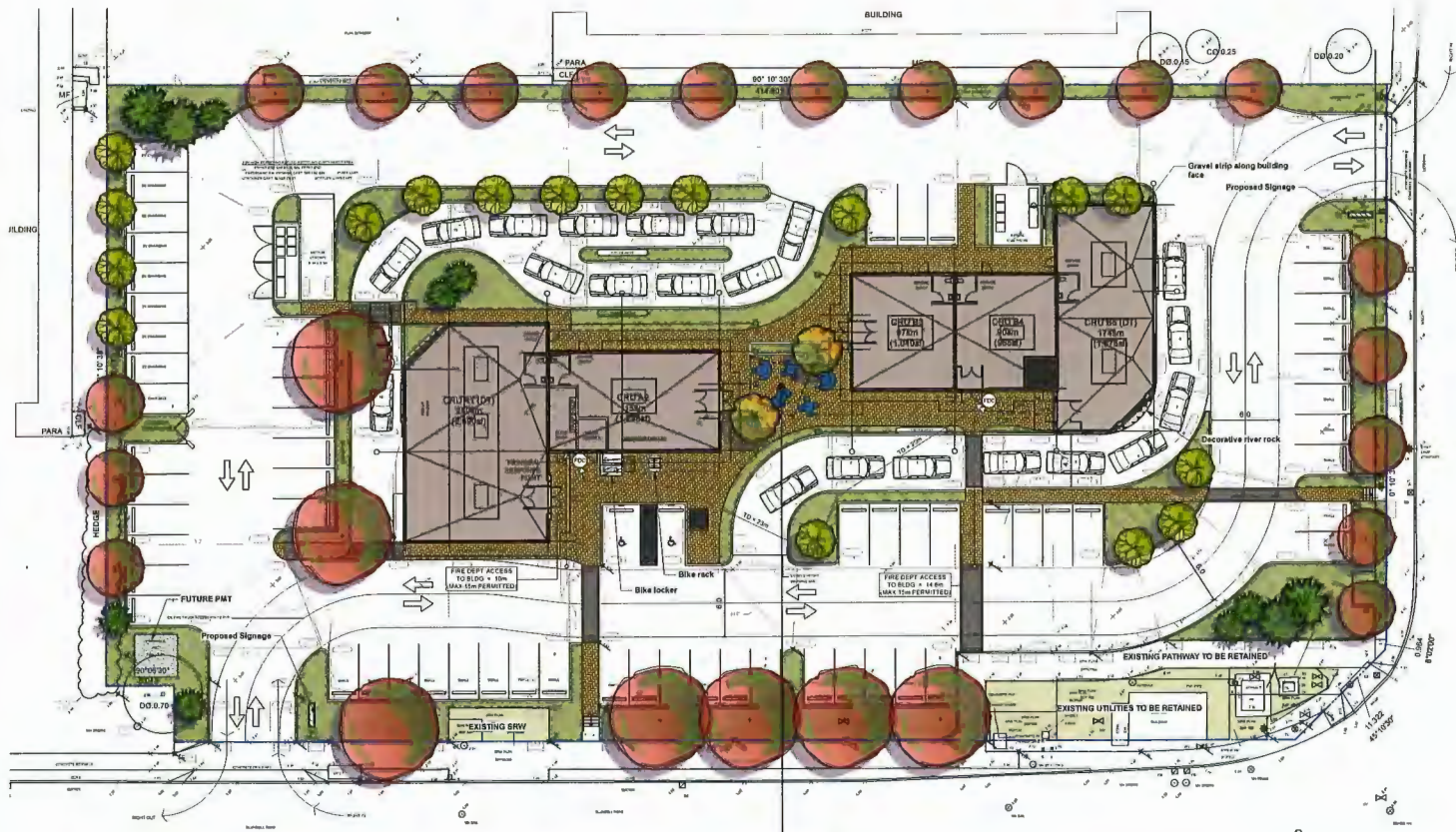
Project Name
CV

Revision
AS

Sheet No

Sheet No

L0



LANDSCAPE GENERAL NOTES

1. All landscape material and installation shall conform to the Canadian Landscape Standard, all applicable and noted codes, bylaws and specifications, and the safety requirements of the "Manual for Construction".
2. Do not construct from these drawings unless marked "Manual for Construction".
3. The Landscape Contractor shall submit all questions, reports, inquiries and requests pertaining to these drawings or their construction in writing to the Landscape Consultant.
4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Landscape Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Landscape Contractor shall assume responsibility for actual site conditions (including sub-surface).
5. The Landscape Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removal). Landscape Contractor shall report any discrepancies between the required and proposed work to the Landscape Consultant prior to construction.
6. The Landscape Contractor shall verify all scaled and written dimensions in the contract document and on site prior to construction. The Landscape Contractor shall report any discrepancies or incompatibilities to the Landscape Consultant.
7. Provide positive grade away from buildings and buried lawn drains and catch basins. Slope away from building at a minimum of 2%.
8. All landscaping shall have a high efficiency irrigation system to SUDC standards. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
9. All substitutions shall be approved by the Landscape Consultant.
10. The Landscape Contractor shall report any damage resulting from work on site.
11. The Landscape Contractor shall provide 1 year of CLG level 1 maintenance (including watering) after the date of substantial completion.
12. All walls 2' or taller, all panels, all concrete footings and all steel shall be designed by structural engineer. All walls shall be inspected and approved by geotechnical and structural engineer. Ensure positive drainage behind all walls.
13. When working within the City of Vancouver, the Landscape Contractor shall ensure all project activities conform to Japanese Street Regulation.

LANDSCAPE TREE NOTES

1. All landscape construction activities have a high potential for causing damage to trees, roots and soil. The Landscape Contractor shall coordinate with the project Architect prior to the start of landscape operations to avoid tree protection non-compliance and bylaw issues.
2. Install temporary tree protection fencing as per arborist report or tree protection plan. Maintain the fencing during construction. No storage of materials or equipment, or any other activities are allowed within the protection zone during construction.
3. Removal of the tree barriers requires advance coordination and approval by the project Architect.

LEGEND

- Property Lines
- Tree protection fence

HARDSCAPE MATERIALS:

- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 221.5mm x 80mm, Colour: Harvest
- Aquapave Permeable Paver system from Belgard or approved equivalent. Size: 110mm x 221.5mm x 80mm, Colour: Harvest
- Cast in Place Concrete (Pedestals)

SOFTSCAPE MATERIALS:

- Planting Bed

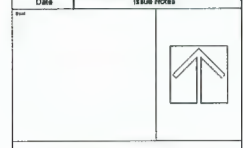
SITE FURNISHINGS:

- Magna Fawn Clarier Seating, various seating options
- Tree Rack
- Bike Locker, Double and Single

LINE & SYMBOL

- Building envelope
- Building roof overhang

Date	Issue Notes
2024-03-20	Re-issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord.



Prospect & Refuge
 LANDSCAPE ARCHITECTS
 4182 West 4th Ave Vancouver, BC V6R 2P2
 604-683-0333 | info@prospectandrefuge.ca
 Building on over 25 years of ability as Award-Winning L.A.

Project Location:
 Proposed Commercial Development
 18190 Bluswell Road, Richmond, BC

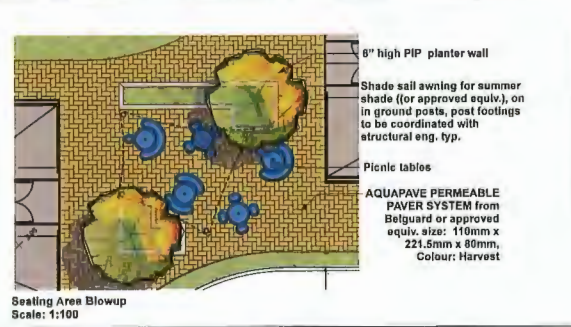
Project Name:
 Coast Salish

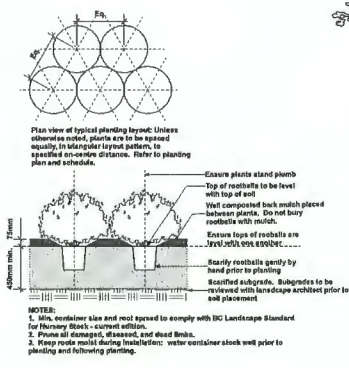
Project Title:
 Landscape Materials and Layout Plan

Project No:	2023-26	Scale:	1/8" = 1'-0"
Project Name:	CV	Sheet No.:	L1
Revision:	AS		

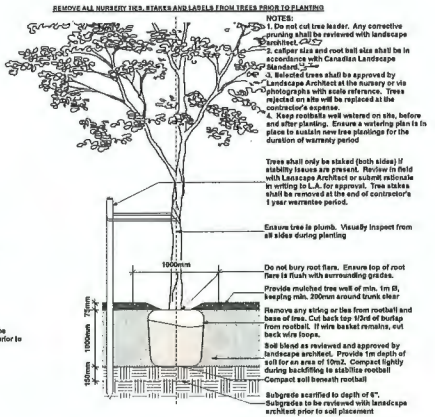


Shade Sall shade awning (or approved equiv.) to provide summer shade at amenity space
 Colour TBD to match architecture.





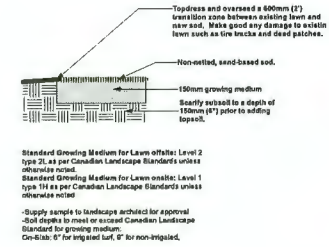
1 **Shrub and Perennial Planting**
Scale: 1:24



2 **Tree Planting**
Scale: 1:24



3 **Top Soil**
Scale: 1:24



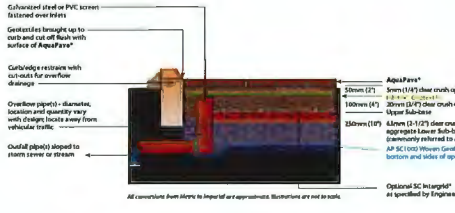
4 **Sodded Lawn**
Scale: 1:24



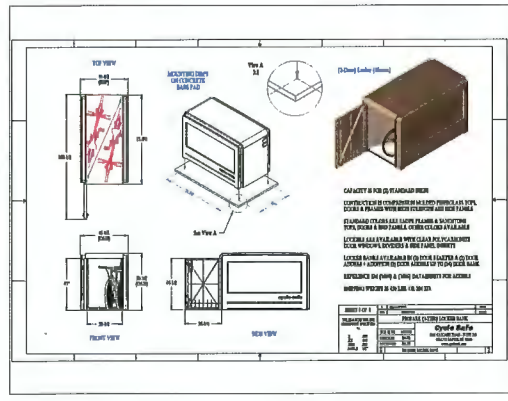
5 **Cora Bike Rack W3606**
Scale: NTS

AQUAPave Permeable On-Site Stormwater Source Control System

Partial Exfiltration System



6 **Permeable Pavers**
Scale: Actual Size



7 **Bike Locker**
Scale: NTS

Dynamic cluster seating with a twist

Always supportive

EPDM loaded frames support with steel. Each model takes the same frame allowing adjustable seating configurations.

MAGLIN Steel Furniture

8 **Cluster Seating**
Scale: NTS

Date	Issue Notes
2024-03-20	Re-issue for DP
2023-12-13	Issue for DP
2023-11-14	Issue for DP
2023-11-07	Issue for DP coord

Prospect & Refuge

LANDSCAPE ARCHITECTS
405 10100 Boul. de l'Énergie, St. Hubert, QC
514-668-1033 info@prospectandrefuge.ca
Building on over 35 years of history in Montreal, Quebec, Canada

Proposed Commercial Development
16238 Blainville Road, Richmond, QC

Project Name: **Coast 514th**

Landscape Details

Project No.	Issue	As Noted
2023-26	Issue	As Noted
Project Manager	CV	L3
Reviewed by	AS	



To: Development Permit Panel
From: Suzanne Smith
Program Manager, Development

Date: April 25, 2024
File: DP 21-945917

Re: **Application by Arno Matis Architecture for a Development Permit at 6851 and 6871 Elmbridge Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 376 residential units, hotel and accompanying commercial uses in a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development’s podium (Levels 3 to 6) for components of the building and residential balcony units; and
 - b) Not require a large size on-site loading space in the proposed development.

Suzanne Smith
Program Manager, Development

SS:ke
Att. 4

Staff Report

Origin

Arno Matis Architecture has applied to the City of Richmond on behalf of Landa Oval Development Ltd. for permission to develop a high-rise mixed use development containing three 15 storey towers at 6851 and 6871 Elmbridge Way on a site zoned “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)”. The site currently contains multi-tenant light industrial buildings (Attachment 1 – Location Map).

Highlights of the proposed development include:

- 341 market residential units and 35 affordable housing units (Low End Market Rental – LEMR).
 - Market residential units are located in the development podium and two towers at the north west and south west portions on the site.
 - LEMR units are dispersed throughout the development’s podium, consistent with the Housing Agreement Bylaw and housing covenant secured through the rezoning for this development.
- Approximately 13,854 m² (149,123 ft²) of floor area for:
 - A hotel tower at the north east portion of the site; and
 - Commercial floor space at-grade around the subject sites road frontages.
- Approximately 750 m² (8,073 ft²) of on-site indoor amenity space on Level 6 of the development’s podium.
- Approximately 3,037 m² (32,690 ft²) of on-site outdoor amenity space on Level 6 and 9 of the development.
- A new City road (herein called the new west road) along the subject sites west edge that will connect Elmbridge Way and River Road and provide the primary vehicle access to the development’s parkade. The name of this road will be determined by Council through the City’s Road Naming Policy process.

The site is being rezoned from “Light Industrial (IL)” to “High-Density Mixed Use (ZMU52) – Oval Village (City Centre)” under Richmond Zoning Bylaw, Amendment Bylaw 10423 (RZ 17-782750).

A Servicing Agreement (SA 23-035702) is required as a rezoning consideration item and includes, but is not limited to, the design and construction of new and upgraded water mains, storm sewer and sanitary infrastructure (including new service connections) around the subject site. Frontage works, a public pathway, widening of the existing lane to the east and the new west road (including all tie-ins and transitions to existing road infrastructure) will also be completed through this Servicing Agreement.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: The Richmond Olympic Oval is located across River Road on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”
- To the east: Across an existing lane is the Onni ‘Ora’ high density mixed use development on a site zoned “Residential/Limited Commercial (RCL3)”.
- To the south: Across Elmbridge Way is an existing building containing Worksafe BC offices on a site zoned “Downtown Commercial (CDT1)”.
- To the west: A site zoned “Light Industrial Business Park (IB1)” containing existing light industrial buildings.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on December 19, 2022. At the Public Hearing, concerns were noted from the neighbouring development to the east (Ora mixed use project) in relation to traffic impacts and concerns about the lane. The project was referred back to staff to address these matters with the developer and returned for a second Public Hearing. The applicant subsequently met with residents of the Ora development, and with City staff to review the issues and potential revisions in response.

A revised rezoning proposal was brought forward to the May 15, 2023 Public Hearing where the bylaw received 2nd and 3rd reading. This rezoning proposal made the following modifications to address traffic impacts and lane concerns raised at the previous Public Hearing that have been included and complied with as part of this Development Permit application:

- **Hotel Pick-up and Drop-Off** - All hotel vehicle pick-up and drop-off functions were relocated on-site within the project parkade (level 1). No hotel vehicle pick-up or drop-off functions will occur in the lane. This was a significant change made from the original design in response to concerns.
- **Lane Access** – As a result of concerns about impacts of traffic from the development proposal to the existing lane, the lane access to the proposed development’s parkade will be restricted to hotel guests and on-site employees only (enter from the lane) and on-site employees (exit from the lane).
- **Main Site Access** - The new west road vehicle access to the parkade will be the primary entrance/exit to the development and will accommodate a majority of the traffic for the development and minimize traffic impacts to the lane.
- **Vehicle Access Restrictions** - Installations to facilitate vehicle access restrictions to the lane and ensuring that new west road vehicle access remains the primary vehicle access to the development have been incorporated (i.e., gate, security intercom/FOB access).
- **Lane Width and Function** - Works to widen the lane by 3 m will accommodate 1.5 m of additional pavement widening to the existing lane and 1.5 m wide concrete transition area. This lane widening undertaken by the proposed development would result in a total 7.5 m wide drive-aisle plus 1.5 m wide concrete transition area that will be designed to enable access to the parkade and loading/service functions from the lane. Pedestrians can also utilize this transition area to facilitate safe movements through the lane as needed.

These lane works will be completed through the City's Servicing Agreement process, which is a rezoning consideration for the subject development.

- **On-site Loading** - On-site loading spaces are arranged to allow access from the lane to accommodate standard loading functions required for this development's non-residential and residential uses. In accordance with the rezoning, no on-site large loading space is provided as none of the proposed uses in the development would require service from these large trucks and the on-site loading facilitates (accommodating medium sized trucks) can adequately service the proposed development. A variance is included in this Development Permit application to not require a large size loading facility that is outlined in the Zoning Compliance/Variance section of the report below. This approach is supported by Transportation staff.

In addition to the above and in response to concerns about vehicles temporarily stopping in the lane and the resulting negative impacts to lane operations, regulatory revised "no stopping" signage was posted in the lane by the City at the time of the Public Hearing in May 2023, which would prohibit any vehicles from stopping or parking in the lane and require use of the on-site loading facilities in the Ora development.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "High-Density Mixed Use (ZMU52) – Oval Village (City Centre)" except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units.

(Staff supports the proposed variance as the proposed setback reduction only applies to one small corner portion of the development's podium on levels 3 to 6 of the project. The proposed reduction in setback will have no impact to the pedestrian streetscape at-grade and does not result in any additional shadowing to adjacent areas. The proposed variance also enables the residential dwelling units at this corner portion of the podium adequate private outdoor space (i.e., balcony) and also maintains the project podiums' asymmetrical and angled design that is an element included in this development's design rationale.

- 2) Not require a large size on-site loading space in the proposed development.

(Staff supports the proposed variance as this matter was assessed through the processing of the rezoning application which confirmed that none of the proposed uses in the development would require service from larger trucks that would require a large size loading space. The current loading facilities accessed from the lane provide for medium size loading, which is adequate to service the development, has been reviewed and confirmed through the submitted Traffic Impact Assessment by the applicant's Transportation consultant and is supported by

Transportation staff. In addition, a rezoning consideration item secures a legal agreement that specifies a maximum truck size (i.e., medium sized truck SU-9 or equivalent) aligned with the on-site loading being provided in the project and prohibits large size vehicles (i.e., WB-17 or equivalent).

Advisory Design Panel Comments

The Advisory Design Panel was supportive of project to move forward subject to the proposal giving consideration to ADP comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes from December 6, 2023 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The proposal will have public roads along the north (River Road), south (Elmbridge Way) and west (new west road) frontages and an existing lane to the east.
- The design provides for a vibrant and pedestrian friendly streetscape along these public road frontages. At-grade commercial retail units (CRUs) wrap around the River Road, new west road and Elmbridge Way road frontages and provides for an activated streetscape on-site and provides continuity with adjacent at-grade retail developed on neighbouring developments to the east.
- Smaller open plaza spaces, situated between the frontage works (boulevards, sidewalks/multi-use pathways) and CRUs along the public roads provide additional opportunities for the development of a pedestrian friendly public realm.
- In response to elevation transitions, grade differences are addressed through the gradual sloping of the grade between the sidewalk and entrances to the CRU's and incorporating steps/risers were necessary along the north edge (River Road) of the development. Along the south edge (Elmbridge Way), the grade difference is managed through stairs and accessible ramps between the sidewalk and open spaces directly in front of the CRUs with landscape pockets incorporated into this area. This grade transition along Elmbridge Way generally aligns with the approach to managing a similar grade condition in the neighbouring development to the east.
- A lane exists between the subject site and neighbouring high-density mixed use development to the east (Ora development) that will be further widened by 3 m through this development. The new west road will be dedicated, designed and constructed through this project and will connect Elmbridge Way and River Road along the west edge of the site. The placement of the residential towers at the north west and south west portions of the site and hotel tower at the north east area responds to the surrounding adjacency conditions to minimize shadowing and to ensure compliance with minimum tower separation guidelines in the City Centre Area Plan (CCAP).
- Shadowing from the proposed development has been minimized to the public plaza area on the north side of River Road (Olympic Oval plaza area) by pushing the hotel tower location as far south as possible. Furthermore, residential tower locations have also been situated as far south as possible and separation between the residential towers has been reduced to allow the tower on the north west portion of the site to be pulled back from River Road while still complying with minimum tower separation distances. Upper levels of the residential tower

(north west tower levels 13 to 15) and hotel tower (north east tower levels 14 and 15) have been stepped back and terraced on the north side to reduce shadowing of surrounding areas.

Urban Design and Site Planning

- Residential lobby building entrances from the street are designed around open entrance plazas at the north west and south west portions of the development site. Entrances to the hotel lobby are situated at the north east portion of the site and the commercial/office lobby entrance is located at the south east corner. The overall placement and shaping of the development's podium creates plazas and open space at-grade adjacent to pedestrian entrances to the residential and/or hotel lobby and CRU's fronting the public roads around the project.
- The parkade for the development is located within the podium and consists of one level of parking below grade and five levels above grade. Access and egress to the development's parkade will be through the primary vehicle access from the new west road and restricted access from the lane as outlined previously in this report. Hotel pick-up and drop-off functions have been incorporated into the level 1 of the parkade with direct internal access from the pick-up/drop-off area being provided to the hotel lobby area.
- Indoor amenity space is provided on level 6 of the project podium. The indoor amenity area is required to be available for use by all residents and is 750 m² or 8,073 ft² in area and complies with City Centre Area Plan (CCAP) amenity space guidelines. Indoor amenity facilities will consist of a lounge, fitness centre and other resident recreation spaces (i.e., yoga, steam/sauna facilities). Access to the indoor amenity space is provided from the outdoor amenity area and the residential podium. It will be accessible to both market strata and residents of the LEMR units.
- Outdoor amenity space is provided on level 6 of the project podium and on level 9. On level 6, outdoor amenity space is provided in a consolidated courtyard area with a variety of features including seating and patio areas available to all residents, outdoor kitchen and dining areas and multi-purpose lawn/open space areas. An outdoor pool is also proposed as part of the outdoor amenity, which would be an amenity that would be available to residents and hotel guests. A small portion of the indoor amenity is also to be shared with the hotel. A legal agreement was secured through the rezoning to ensure the shared use of the outdoor pool amenity and small portion of the indoor amenity to enable access for all residents and hotel guests. On level 9, additional outdoor amenity space containing the children's play area is provided in courtyard area between the residential towers. The outdoor amenity areas on level 6 and 9 is required to be available for use by all residents and is 3,037 m² (32,690 ft²) in area, which exceeds with City Centre Area Plan (CCAP) amenity space guidelines. Outdoor amenity features include:
 - A children's play area with climbing structure and landscaping to enable outdoor play and activities.
 - Access to the outdoor amenity on level 6 is provided from the residential podium. Access to the outdoor amenity on level 9 is provide from the residential towers.
 - The outdoor amenity areas are designed to have good natural light/sun exposure. The placement of the amenity areas in and shape and orientation of the residential towers helps to maximize sun exposure and minimize excessive shadowing.
- Service functions for the proposed development located on the subject site containing the residential and commercial loading areas, hotel shuttle loading and garbage/recycling

collection areas are located on-site and accessed from the lane. Garbage/recycling rooms for the residential and non-residential areas are located on level 1 and sized to accommodate all the necessary bins and equipment.

Architectural Form and Character

- The architectural form of the project podium and the application of asymmetrical plaza spaces at-grade are a design response to other similar shaped and oriented public spaces in the surrounding area (i.e., Richmond Olympic Oval plaza area on the north side of River Road opposite of the subject site and linear park to the east between the Ora project and Hollybridge Way).
- Frontage width of CRU's along River Road and Elmbridge Way is broken up through the use of varied setbacks and triangular plaza areas that integrate well with pedestrian-oriented commercial activities (i.e., retail, restaurants and cafes).
- Horizontal frame elements on the project podium wrap around the perimeter of all four frontages and differentiate and help break up the massing between the podium and tower components of the project. These horizontal frames are generally limited to levels 3 to 6 of the podium and provide another architectural response to break up the vertical massing of the building form at the lower levels by providing a strong horizontal building element between levels 2 and 3.
- The boomerang/wave footprint shape of the three towers is a consistent design element in this project that enables minimal direct tower to tower overlook within the development site as well as to existing neighbouring developments. This tower form also provides for maximum natural light exposure for residential units in the tower and hotel rooms while also ensuring natural sunlight exposure to the indoor and outdoor amenity spaces on levels 6 and 9 of the project.
- Although the shape of the three towers are similar, the application of balconies and metal/aluminum frames to the residential towers compared to the application of a generally contiguous glass curtain wall cladding for the hotel tower provides for a distinct architectural expression between the residential and hotel towers.
- The development's contemporary design and architecture is reflected in the proposed cladding, building materials and glazing proposed in the project that will consist of glazed curtain wall systems, aluminum frame/screen assemblies around balconies, podium and building parapets and glass guardrails around balconies.

Landscape Design and Open Space Design

- On-site landscaping in the subject development is located at-grade and on levels 6 and 9 associated with the outdoor courtyard amenity areas. Other landscape planting areas are proposed on the rooftops of the hotel/commercial mid-rise tower and rooftop of the two residential towers.
- At-grade, landscape design looks to enhance the pedestrian vibrant streetscape and integrate with the boulevard and sidewalk/pathway works being implemented on the public road frontages of the subject site. Pockets of landscaping are incorporated into the public plaza areas and consist of low level groundcovers and shrubs. Where larger plazas are situated generally around the corners of the development site, additional landscape plantings have been incorporated to provide varied surface treatment in the plaza areas directly in front of the CRUs.

- Where there is a grade transition between the sidewalk and entrance to the CRUs or building entrance areas, landscaping has been implemented in the form of concrete planters and terraces to reduce the presence of stairs and accessible ramps adjacent to the public road.
- The outdoor courtyard located on level 6 provides a significant planted landscape environment that include multi-purpose open spaces with trees, landscaped terraces around the edges and landscape buffers and screens provided between residential dwelling units, communal outdoor areas and outdoor patios to be used for the hotel. Benching, furniture (fixed and stationary tables and chairs), pathways and patios also have been integrated into the programming of the outdoor space area as a high-quality amenity for residents and guests of the hotel.
- The outdoor courtyard on level 9 provides the outdoor amenity area containing areas and installations to facilitate children's play and activities.
- The proposed landscaping plant lists include the incorporation of native plantings for landscaping throughout the project. A total of 83 on-site trees will be planted as part of this development, which will consist of a mix of both deciduous and coniferous tree species.
 - The proposed amount of trees to be planted (83) exceeds the Official Community Plan requirements of 2:1 tree replacement ratio (the rezoning identified the removal of 6 on-site trees requiring a minimum of 12 replacement trees at the OCP 2:1 replacement ratio).
- An on-site irrigation system will be provided for all planted and landscaped areas.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$1,506,747 as a Development Permit consideration (Attachment 4).

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the design development of the subject project.
- Building entrances to the hotel, CRUs and residential lobby areas have clear and visible sight lines from the adjacent public sidewalks and roadways.
- Clear sight lines is provided along the existing lane with limited recesses located along the building edge adjacent to the lane.
- Active and passive surveillance is provided from the development to the public areas along the road and lane frontages and amenity areas located on level 6 and 9 of the project.

Accessible Housing and Unit Composition

- The proposed development includes 38 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

- The residential unit mix is as follows:
 - Market residential units – 341 total units consisting of 13 studios; 165 one bedroom (includes those with den); 135 two bedroom (includes those with den); 26 three bedroom (includes those with den) units.
 - Unit mix complies with the 40% family friendly unit target identified in the Official Community Plan (OCP).
 - Affordable LEMR Units – 35 total units consisting of 3 studios; 10 one bedroom; 11 two bedroom; 11 three bedroom units.
 - Unit mix complies with the Affordable Housing Strategy targets for unit mix composition.

Public Art

- This development will install public art and the developer has been working with an independent public art consultant to prepare a Public Art Plan. Through the rezoning, a legal agreement will be registered on title to secure the implementation of a Public Art Plan and a financial security provided in accordance with the public art rezoning consideration item for this project.
- For public art contributions with a cumulative budget over \$250,000, the Public Art Plan is presented for Council approval prior to Building Permit issuance. The contribution amount is anticipated to be \$330,781, therefore, the Public Art Plan for this project will be brought forward for Council approval prior to issuance of the Building Permit.

Sustainability

- The proposed development will be connected to the City Centre District Energy Utility (DEU) for space and domestic hot water heating services. For cooling, an on-site low carbon energy plant will be required to be designed and constructed at the applicant's sole cost and transfer it to the City. Legal agreements for the connection to the City's DEU system and development of on-site low carbon energy system were secured through the rezoning.
- Based on the above provisions for connection to a City DEU system and provisions of an on-site low carbon energy system, the subject development will be subject to BC Energy Step Code – Step 2. The developer has confirmed that the project has been designed and modelled to comply with Step 2 performance targets.

Transportation

- Parking standards for the project are in compliance with Zoning Bylaw 8500 as they were secured through the associated rezoning (currently at third reading) prior to the introduction of the Provincial Bill 44 (limited residential parking requirements).
- The parkade is located within the project podium and contains a total of 675 parking spaces of which:
 - 350 parking stalls are for residential uses.
 - 273 parking stalls are for non-residential uses.
 - 52 stalls allocated to Richmond Olympic Oval use during special events (when not reserved by the oval, these stalls can be used by the public). This was secured by legal agreement at rezoning.

- Through the rezoning, a package of Transportation Demand Management Measures were secured that have been incorporated into this Development Permit application submission, including:
 - Transit pass program available for the residential and non-residential uses in the development.
 - Additional on-site bicycle amenities and facilities:
 - Dedicated car-pool parking spaces (5 stalls)
 - Car share program and dedicated parking stalls for two car share vehicles
 - Electric Vehicle charging infrastructure (outlets to support level 2 EV charging infrastructure for a minimum of 10% of the non-residential parking stalls.
 - Interim off-site walkway connection along River Road that will be designed and constructed through the Servicing Agreement for this project.

Conclusions

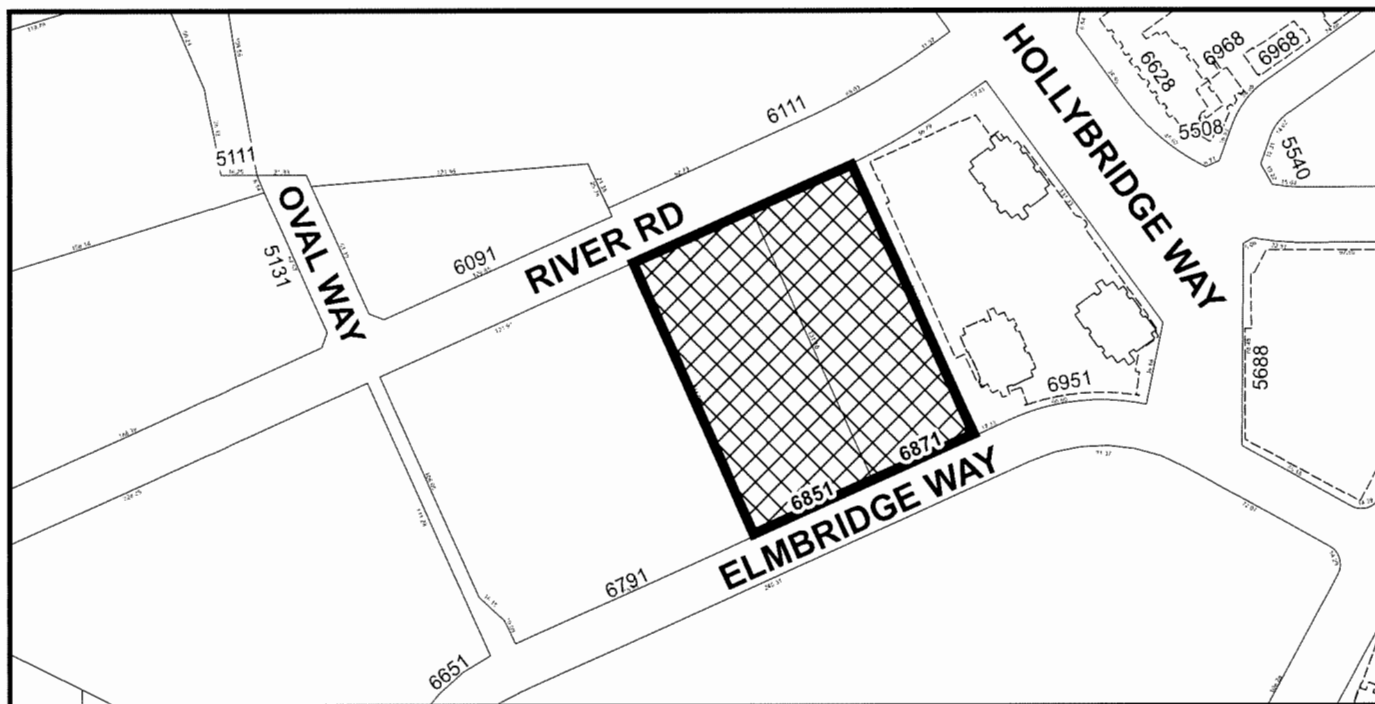
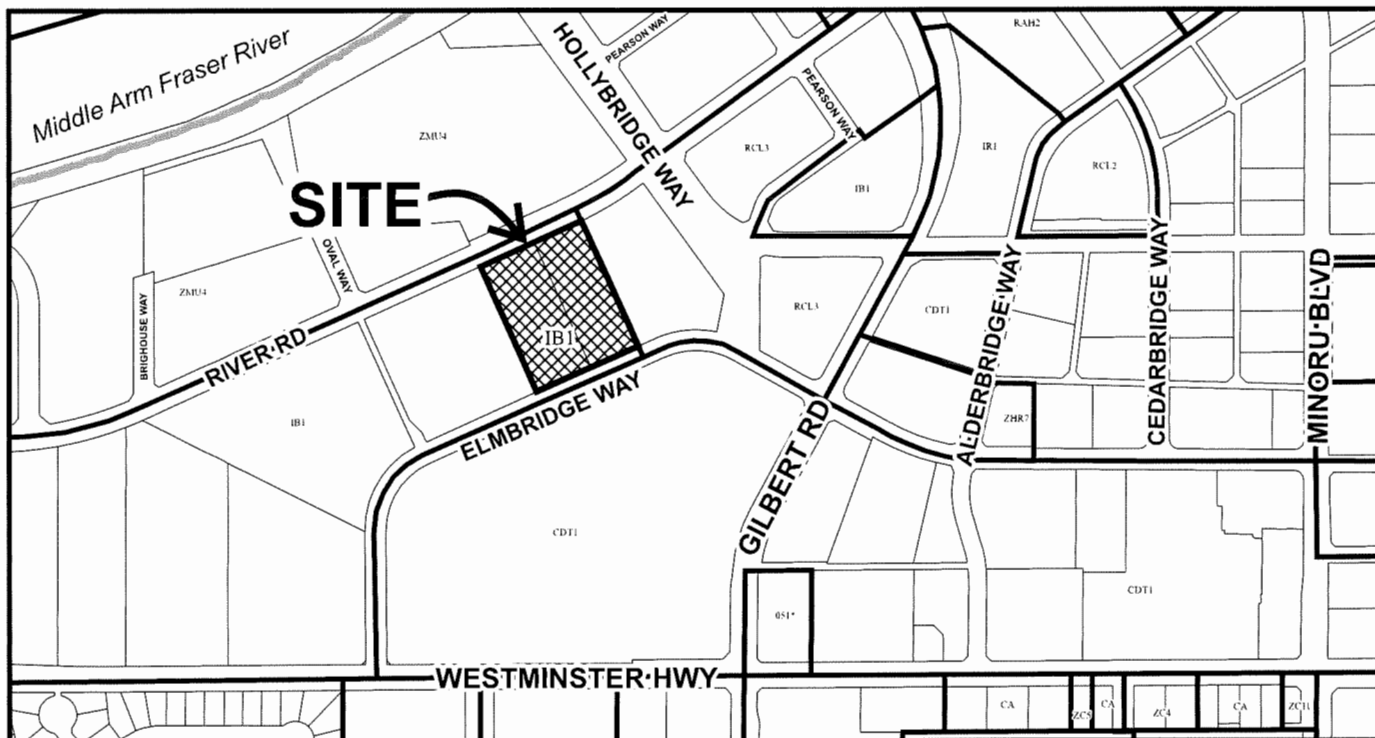
As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Kevin Eng
Planner 3

KE:cas

- Att. 1 Location Map
- Att. 2 Development Application Data Sheet
- Att. 3 Advisory Design Panel Excerpt of December 6, 2023 Meeting Minutes
- Att. 4 Development Permit Considerations



DP 21-945917

Original Date: 01/26/21

Revision Date: 04/17/24

Note: Dimensions are in METRES



DP 21-945917

Attachment 2

Address: 6851 and 6871 Elmbridge Way

Applicant: Arno Matis Architecture

Owner: Landa Oval Holdings Ltd.

Planning Area(s): City Centre Area Plan – Oval Village

Floor Area Gross: 72,561 m²

Floor Area Net: 42,225 m²

	Existing	Proposed
Site Area:	13,913 m ²	13,832 m ²
Land Uses:	Light industrial business park uses	Residential (apartment housing) Hotel and supporting commercial services At-grade commercial Office
OCP Designation:	Mixed use	Mixed use – no change
City Centre Area Plan (CCAP) Designation	Urban Centre T5	No change – complies with OCP
Zoning:	Industrial Business Park (IB1)	High Density Mixed Use (ZMU52) – Oval Village (City Centre)
Number of Units:	N/A	376 residential dwelling units <ul style="list-style-type: none"> • 35 affordable LEMR units • 341 strata residential units

	ZMU 52 Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 3.1 FAR including: <ul style="list-style-type: none"> - Base (including AH): 2.0 FAR - Village Centre Bonus: 1.0 FAR (non-residential use only) - 0.1 FAR – indoor amenity space only 	Max 3.1 FAR including: <ul style="list-style-type: none"> - Base (including AH): 2.0 FAR - Village Centre Bonus: 1.0 FAR (non-residential use only) - 0.05 FAR – indoor amenity space only 	none permitted
Lot Coverage:	Max. 90% for buildings and landscaped roofs over parking spaces	Max. 90% for buildings and landscaped roofs over parking spaces	none

	ZMU 52 Bylaw Requirement	Proposed	Variance
Setbacks (m)	Road: 3.0 m (9.84 ft.) Lane: 0.0 m (0.0 ft.)	Road: - River Road: 3.0 m (9.84 ft.) - New West Road: 3.0 m (9.84 ft.) - Elmbridge Way: 3.0 m (9.84 ft.) - Lane: 3.0 m (9.84 ft.)	Reduce River Road setback to 0.25 m to permit a minor encroachment for components of the building and balconies on levels 3 to 6
Height (m):	47 m (154 ft.) GSC	47 m (154 ft.) GSC	none
Lot Size:	Min. 10,000 m ²	13,832 m ²	none
Parking	Min. 675 stall - Residential (AH and Mkt): 350 - Shared pool (commercial/hotel, residential visitor): 273 - Oval: 52	Min. 675 stall - Residential (AH and Mkt): 350 - Shared pool (commercial/hotel, residential visitor): 273 - Oval: 52	none
Bicycle Parking	Class 1 – 512 spaces Class 2 – 121 spaces	Class 1 – 644 spaces Class 2 – 138 spaces	none
Loading	Medium Size – 4 spaces Large Size – 1 space	Medium Size – 4 spaces	No large size loading space
Amenity Space – Indoor:	750 m ²	750 m ²	n/a
Amenity Space – Outdoor:	2,256 m ²	3,037 m ²	n/a

04.24.2024

ADVISORY DESIGN PANEL COMMENTS:

December 6, 2023 Excerpt of Meeting Minutes

DP 21-945917 – HIGH-RISE MIXED-USE PROJECT (356 DWELLING UNITS AND HOTEL)

ARCHITECT: Arno Matis Architecture Inc./Arcadis

LANDSCAPE ARCHITECT: PFS Studio

PROPERTY LOCATION: 6851 and 6871 Elmbridge Way

Applicant's Presentation

Arno Matis, Arno Matis Architecture, and Landscape Architect Jeffrey Staotes, PFS Studio, presented the project and together with Beth Deckert, Arcadis, answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- Appreciate that the proposed 38 Basic Universal Housing (BUH) units have varying numbers of bedrooms as it presents multiple opportunities for persons/family members with disabilities to live in the proposed development; **APPLICANT RESPONSE: Noted with thanks.**
- Also appreciate that the proposed hotel will provide not only accessible rooms for people with mobility issues but also rooms that are designed to accommodate people with hearing impairment; **APPLICANT RESPONSE: Noted with thanks.**
- Consider installing appropriate safety mirrors around the corners of the parkade ramp to enhance the safety of cyclists accessing/exiting the parkade; **RESPONSE FROM ARCHITECT: Project will install appropriate safety mirrors around the corners at the parkade ramp.**
- Consider appropriate surface treatment for the elevator flooring and walls to facilitate cleaning and maintenance for areas that are used to transport bicycles within the building; **RESPONSE FROM ARCHITECT: Project will use appropriate surface treatment for elevator flooring/walls to facilitate cleaning and maintenance.**
- The proposed development works very well; **APPLICANT RESPONSE: Noted with thanks.**
- Appreciate that a lot of thought and creative ideas have been put into the design of the proposed towers; the different design of the towers compared to other new developments in the nearby area is appreciated; **APPLICANT RESPONSE: Noted with thanks.**
- Overall, the proposed project is well presented; **APPLICANT RESPONSE: Noted with thanks.**
- Consider looking at how to reduce the retaining wall along the New West Road frontage at the transition slope to help soften the transition from the street; also consider further architectural articulation along the New West Road façade particularly above the vehicle access to improve the pedestrian experience; **RESPONSE FROM LANDSCAPE ARCHITECT: The planters along New West Road have been terraced with the front planter along the sidewalk limited to max. 24" high.**
- The north side plaza works well; however, the proposed stairs on the south plaza are long; look at the neighbouring Ora development on their approach to grade transition and investigate opportunities to reduce the scale of the stairs and incorporate additional landscaping to help soften the Elmbridge Way frontage; **RESPONSE FROM LANDSCAPE ARCHITECT: The stairs along Elmbridge Way have been reduced in scale by doubling planted segments. Additional planting has been incorporated to soften the grading. Please refer to drawing L2.01 Ground Level Landscape Plan.**
- Consider moving the location of the accessible ramp at the southeast corner onto the laneway to soften the grade transition from Elmbridge Way; **RESPONSE FROM LANDSCAPE ARCHITECT: The accessible ramp has been relocated**

to the laneway with the entry point facing the Elmbriage Way. Please refer to drawing L2.01 Ground Level Landscape Plan.

- *CRUs along the New West Road appear to be narrow, particularly those near the corner plaza; look at their relationship to the corner plaza space in terms of size to ensure their viability as CRUs; **RESPONSE FROM ARCHITECT:** CRU depths along New West Road are 30 ft. Note that previous iterations did not include CRU on the New West Road. This has been added to animate the public realm.*
- *Ensure adequate weather protection along the south side of the building to provide opportunities for installing outdoor cafés; also investigate opportunities for additional planting along the south edge to create more intimate patio spaces adjacent to the CRUs; **RESPONSE FROM LANDSCAPE ARCHITECT:** Additional planting has been added to provide a soften CRU frontage and intimate patio spaces along Elmbriage way. Please refer to drawing L2.01 Ground Level Landscape Plan. Please note that overhangs are provided on all three street frontages to provide weather protection. Average overhang depths River Road = 6.6' New West St = 4' Elmbriage Way = 11.5'. Frames act as overhangs on all three street frontages as a stark design choice, providing ample rain protection. These frames are shown as dotted lines on architectural drawing A.201.*
- *Look at opportunities to plant more trees along the New West Road right-of-way; **RESPONSE FROM LANDSCAPE ARCHITECT:** Given the site's horizontal and vertical constraints, it's tricky to accommodate additional trees within the private property. The narrow planters between the city sidewalk and CRU patios are designed as terraces to soften the grading transition. High planters will be required for tree planting, which is not desired for pedestrians. Instead, we propose to extend landscape bulges with four additional street trees along the New West Road right-of-way with the understanding that this proposal will be subject to review and approval of the Servicing Agreement. Please refer to drawings L2.01 Ground Level Landscape Plan and L4.01 Ground Level Planting Plan.*
- *The design of the massing shades the central courtyard on Level 6 for some parts of the day; investigate opportunities to maximize sunlight exposure into the area, particularly at the outdoor swimming pool area; **RESPONSE FROM ARCHITECT:** Pool has been located on the southern end of the building, away from the 3 towers to maximize sunlight. The sun receives full sun from 9am-3pm during the summer (and partial sun thereafter). Further, boomerang massing curves to minimize shadowing on podium.*
- *Understand that security issues regarding access to and control of some areas in the courtyard including the swimming pool by various users in the development will be resolved as the project moves forward; **RESPONSE FROM LANDSCAPE ARCHITECT:** Noted. Security issues and access control measures will be further studied and resolved as the project moves forward.*
- *Stepping stones are proposed for crossing the dry creek feature/pathway on the Level 6 central courtyard; ensure there are clear accessible routes for crossing the linear dry creek feature/pathway; **RESPONSE FROM LANDSCAPE ARCHITECT:** Stepping stones will be replaced with concrete bridges with integrated toe rail/curb to ensure clear accessible routes for crossing the dry creek feature. Please refer to drawing L2.02 Level 6 Landscape Plan.*
- *Look at how some of the central units within the interior corners of the residential buildings with small windows at the end relate to fire compartmentalization and separation; **RESPONSE FROM ARCHITECT:** Fire compartmentalization and separation will follow code requirements, unit adjustments to be resolved at the Building Permit stage.*
- *Appreciate the presentation package provided by the applicant especially its portrait format; **APPLICANT RESPONSE:** Noted with thanks.*
- *Appreciate the design team for bringing the river character into the design of the project; **APPLICANT RESPONSE:** Noted with thanks.*
- *Consider fine tuning the pockets of green spaces along River Road, Elmbriage Way and the New West Road including introducing permeability along these three sides; **RESPONSE FROM LANDSCAPE ARCHITECT:** Noted. Additional plantings have been added along Elmbriage Way CRU frontage and at the southwest corner plaza. The pockets of*

green spaces will be refined further as the project moves forward to ensure the permeability from the sidewalk to the CRUs and residential entrances while optimizing plantings.

- Agree with the Panel comment that the grading treatment along Elmbridge Way looks busy; review the location of the stairs and introduce additional landscaping to improve the grading treatment; and **RESPONSE FROM LANDSCAPE ARCHITECT:** The stairs along Elmbridge Way have been reduced in scale by doubling planted segments. Additional planting have been incorporated to soften the grading. Please refer to drawing L2.01 Ground Level Landscape Plan.
- Support the Panel comment regarding using structural soil to increase the soil volume for planting on the ground level. **RESPONSE FROM LANDSCAPE ARCHITECT:** Structural soil has been extended under the boulevard, bike path and sidewalk along River Road and under sidewalk along Elmbridge Way. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.

The following written comments submitted by Panel member Nicci Theroux were read into the record by the Chair:

- Appreciate the detail included in the presentation package; consider including north arrow on the landscape drawings; **RESPONSE FROM LANDSCAPE ARCHITECT:** Noted. North arrow has been placed on the landscape drawings.
- Support the vibrant connection of the street level with CRUs; **RESPONSE FROM ARCHITECT:** CRU spaces are required to be above the flood plane. A continuous plaza surrounding the project on all three sides provides a vibrant connection to the street.
- Soil volume appears inadequate on Level 6; **RESPONSE FROM LANDSCAPE ARCHITECT:** Proposed planters on Level 6 will ensure min. 450mm depth for shrub planting with the soil mound up to achieve min. 900mm of soil depth for trees. A minimum of 6 cubic meters of soil has been provided for each tree on level 6, but opportunities to increase soil provisions will be pursued. Please refer to drawing L4.02 for the proposed soil volume.
- Consider structural soil or soil cells under the sidewalk along River Road as the soil volume appears inadequate; **RESPONSE FROM LANDSCAPE ARCHITECT:** Structural soil has been extended under the boulevard, bike path and sidewalk along River Road. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.
- Planters at Elmbridge Way and New West Road appear to be too small for trees indicated; consider aiming for a minimum of 6 cubic metres of soil volume even for smaller trees; and **RESPONSE FROM LANDSCAPE ARCHITECT:** A minimum of 6 cubic meters of soil has been provided for each on-site tree in planter at Elmbridge Way and New West Road. Please refer to drawing L4.01 Ground Level Planting Plan for the proposed soil volume for trees.
- The tree trench at Elmbridge Way appears narrow; consider structural soil or soil cells under the sidewalk. **RESPONSE FROM LANDSCAPE ARCHITECT:** Structural soil has been extended under sidewalk along Elmbridge Way. Please refer to drawing L4.01 Ground Level Planting Plan for structural soil extent and proposed soil volume for street trees.

Panel decision:

It was moved and seconded

That DP 21-945917 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel. CARRIED



City of Richmond

Development Permit Considerations

Development Applications Department

6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6851 and 6871 Elmbridge Way

File No.: DP 21-945917

Prior to Development Permit issuance, the following are to be met prior to forwarding this application to Council for approval:

1. Enter into a security agreement and receipt of a Letter-of-Credit for landscaping in the amount of \$1,506,747.00

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. As part of the existing Servicing Agreement application (SA 23-035702), design approval and construction and installation of the new sanitary sewers and forcemain in Elmbridge Way and the removal of the existing sanitary system along the south property line of the proposed site is required to be undertaken in coordination with and ahead of the other Servicing Agreement works and to discharge the existing rights of ways along the south property line to the satisfaction of the City. This is required prior to issuance of any demolition permits for the existing buildings on the proposed site and/or prior to issuance of any building permits to ensure that the new sanitary sewers and forcemains in Elmbridge Way are installed and operational and the existing sanitary system are removed and the existing rights of ways are discharged at the south property line of the proposed site before the start of any site preparation works or release of future building permits.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

- Signed Copy on File -

Signed

Date



No. DP 21-945917

To the Holder: Arno Matis Architecture
Property Address: 6851 and 6871 Elmbridge Way
Address: 1540 West 2nd Ave
Vancouver, BC V6J 1H2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum road setback of 3.0 m along River Road to 0.25 m to allow a projection on a small portion of the development's podium (Levels 3 to 6) for components of the building and residential balcony units.
 - b) Not require a large size on-site loading space in the proposed development.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #51 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,506,747.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 21-945917

To the Holder: Arno Matis Architecture
Property Address: 6851 and 6871 Elmbridge Way
Address: 1540 West 2nd Ave
Vancouver, BC V6J 1H2

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

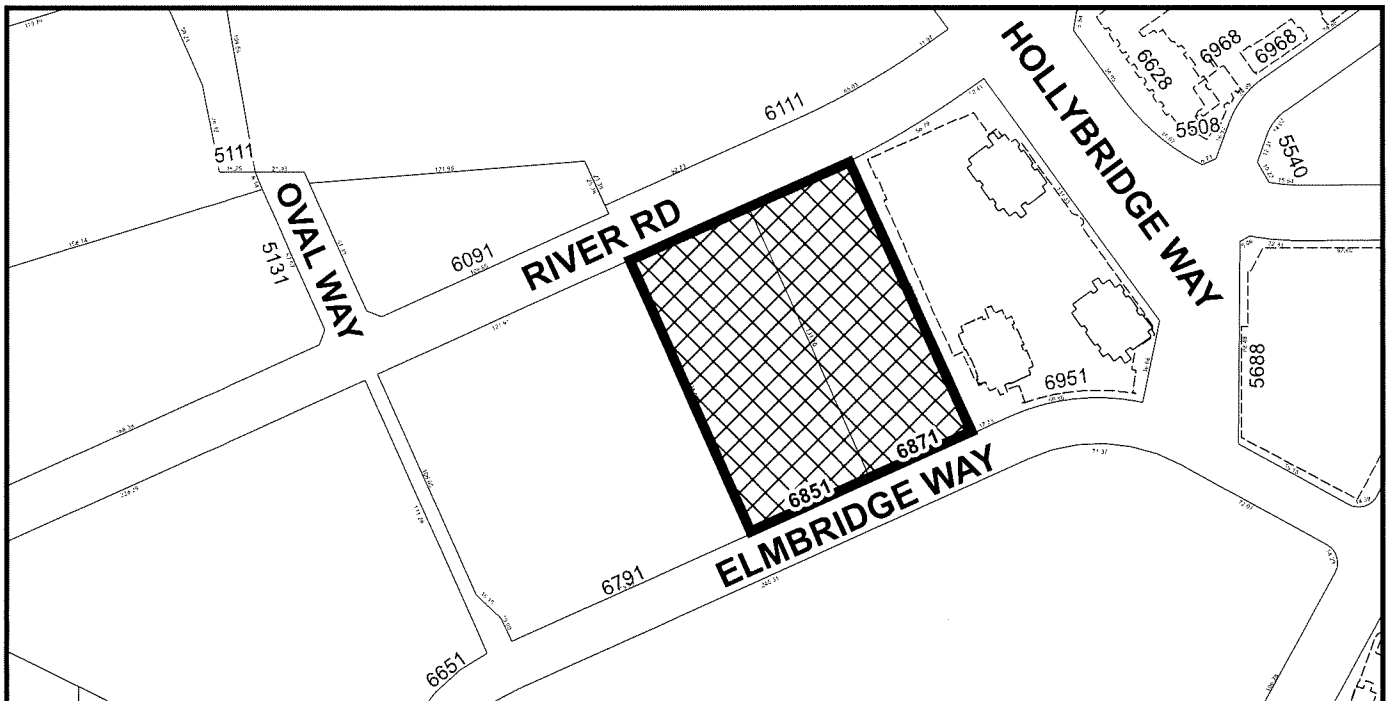
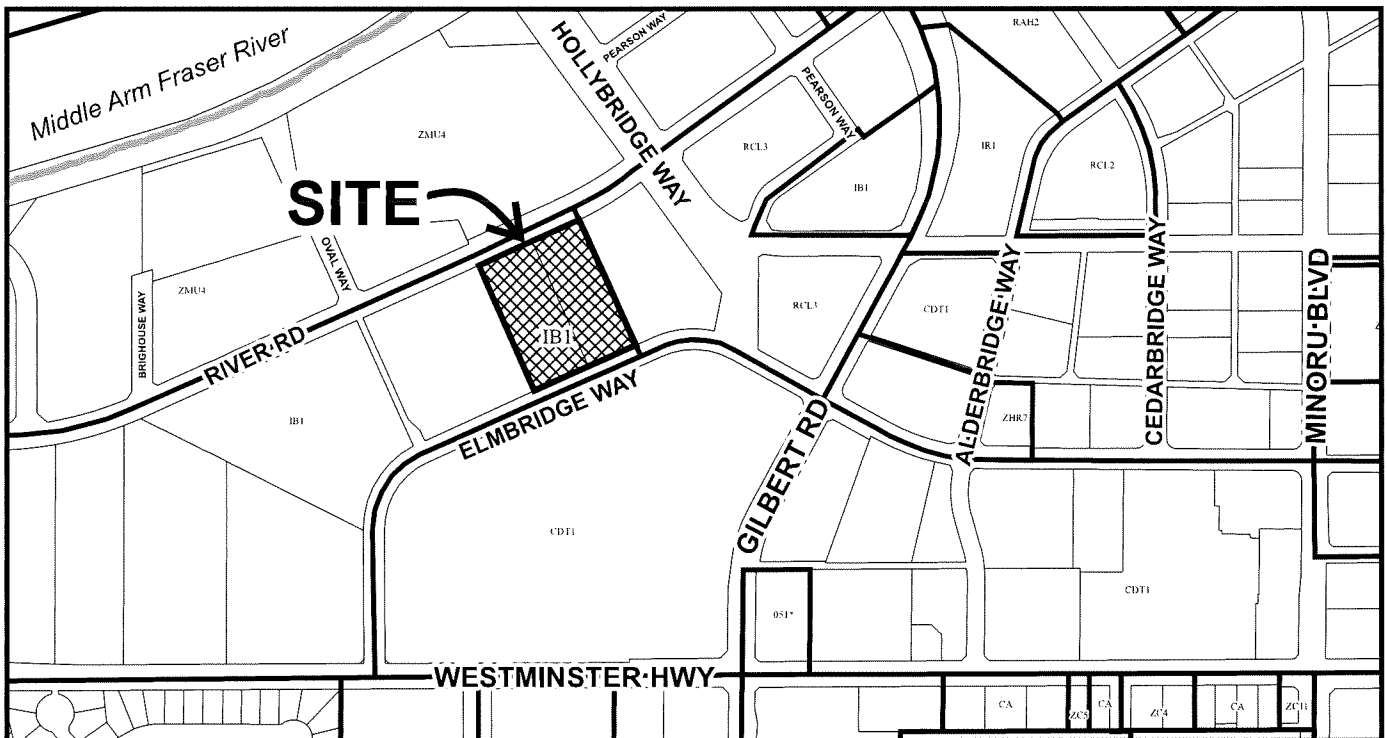
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 21-945917
SCHEDULE "A"

Original Date: 01/26/21

Revision Date: 04/17/24

Note: Dimensions are in METRES

6851-6871 Elmbridge Way, Richmond, BC, CANADA
MIXED USE HOTEL / RESIDENTIAL / COMMERCIAL/ OFFICE
DEVELOPMENT PERMIT



CLIENT
Landa Global Properties Ltd.
 1550 - 200 BARRARD ST.
 VANCOUVER, BC, V6C 3L6

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Arcadis Professional Services (Canada) Inc.
 formerly Brierley Professional Services (Canada) Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT DRAFT	2023-07-07
2	DP BOARD SUBMISSION	2024-04-25

PROJECT DRAWING LIST - DEVELOPMENT PERMIT

SHEETS - DP		SHEETS - DP	
SHEET #	SHEET NAME	SHEET #	SHEET NAME
A0	COVER SHEET DP	A205	LEVEL 5 PARKING
A000	LEVEL B1 AREA OVERLAY	A206	LEVEL 6 FLOOR PLAN
A001	LEVEL L1 AREA OVERLAY	A207	LEVEL 7 FLOOR PLAN
A002	LEVEL L2 AREA OVERLAY	A208	LEVEL 8 FLOOR PLAN
A003	LEVEL L3 AREA OVERLAY	A209	LEVEL 9 FLOOR PLAN
A004	LEVEL L4 AREA OVERLAY	A210	LEVEL 10 FLOOR PLAN
A005	LEVEL L5 AREA OVERLAY	A211	LEVEL 11 FLOOR PLAN
A006	LEVEL L6 AREA OVERLAY	A212	LEVEL 12 FLOOR PLAN
A007	LEVEL L7 AREA OVERLAY	A213	LEVEL 13 FLOOR PLAN
A008	LEVEL L8 AREA OVERLAY	A214	LEVEL 14 FLOOR PLAN
A009	LEVEL L9 AREA OVERLAY	A215	LEVEL 15 FLOOR PLAN
A010	LEVEL L10 AREA OVERLAY	A216	LEVEL 16 ROOF PLAN
A011	LEVEL L11 AREA OVERLAY	A217	PARAPET FLOOR PLAN
A012	LEVEL L12 AREA OVERLAY	A301	BUILDING SECTION A-A
A013	LEVEL L13 AREA OVERLAY	A302	BUILDING SECTION B-B
A014	LEVEL L14 AREA OVERLAY	A303	BUILDING SECTION C-C
A015	LEVEL L15 AREA OVERLAY	A304	BUILDING SECTION D-D
A016	ROOF AREA OVERLAY	A401	BUILDING ELEVATION - WEST
A102a	SITE DATA / REQ.	A402	BUILDING ELEVATION - EAST
A102b	STATISTICS	A403	BUILDING ELEVATION - NORTH
A102c	UNIT & PARKING MIX	A404	BUILDING ELEVATION - SOUTH
A102d	DEVELOPMENT APPLICATION DATA SHEETS	A801	WALL SECTION
A103	SURVEY PLAN	A802	WALL SECTION
A104	BUILDING GRADE	A803	WALL SECTION
A105	EXISTING STREETSCAPES	A804	WALL SECTION
A106	CONTEXT PLAN	A805	WALL SECTION
A107	CONTEXT ELEVATIONS	A806	WALL SECTION
A108a	SHADOW STUDY	A807	WALL SECTION
A108b	SHADOW STUDY	A808	WALL SECTION
A109	SETBACK PLAN	A809	WALL SECTION
A110	SITE PLAN	A810	WALL SECTION
A111a	RENDERING	A811	WALL SECTION
A111b	RENDERING	A812	WALL SECTION
A111c	RENDERING	A813	WALL SECTION
A111d	RENDERING		
A200	LEVEL B1 PARKING		
A201	LEVEL 1 PARKING		
A202	LEVEL 2 PARKING		
A203	LEVEL 3 PARKING		
A204	LEVEL 4 PARKING		

CONSULTANTS

ARNO MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T: 604-708-0188

DP 21-945917
April 25, 2024
Plan # |

SEAL

PROJECT CONSULTANT

 1225 West Pender Street - Suite 100
 Vancouver BC V6E 4B1 Canada
 Tel: (604) 683-8787
 www.arcadisusa.com

- ARCHITECT (Design)**
 Arno Matis Architecture Inc.
 204 - 1540 West 2nd Avenue
 Vancouver, BC V6J 1H2
 Tel. (604) 708 0188
- ARCHITECT (of Record)**
 IBI
 Suite 700 1285 West Pender Street
 Vancouver BC V6E 4B1
 Tel. (604) 683-8797
- INTERIOR DESIGNER**
 Studio Munge
 25 Wingold Avenue
 Toronto, Ontario M6B 1P8
 Tel. (416) 588 1668
- LANDSCAPE**
 PFS Studio
 1777 West 3rd Avenue,
 Vancouver, BC V6J 1K7
 Tel. (604) 736 5168
- STRUCTURAL**
 Holistic Engineering Ltd.
 #215- 7131 17th Ave
 Burnaby, BC V3N 1K9
 Tel. (604) 360 5221
- MECHANICAL**
 Integral
 #180 - 200 Granville Street
 Vancouver, B.C.
 V6C 1S4
 Tel: (604) 687 1800
- ELECTRICAL**
 Nemetz (SIA) & Associates Ltd
 2009 W 4th Avenue
 Vancouver, BC V6J 1N3
 Tel: (604) 736 6562
- CIVIL**
 Aplin & Martin
 Consultants
 #1813 - 1177 West Hastings Street
 Vancouver, BC V6E 2K3
 Tel: (604) 678 4495
- GEOTECHNICAL**
 Horizon Engineering
 #220 - 18 Gossick Place
 North Vancouver, BC V7M 3G3
 Tel: (604) 990 0546
- SURVEYOR**
 Matson Peck & Toplis
 #320 - 11120 Horseshoe Way
 Richmond, BC V7A 5H7
 Tel: (604) 270 9331
- ARBORIST**
 Radix Tree and Landscape Consulting Inc
 #254- 718-333 Brooksbank Ave, North Vancouver V7J 3V8
 Tel: (604) 770 1755
- BUILDING ENVELOPE**
 BC Building Science
 611 Bent Court
 New Westminster, BC V3M 1V3
 Tel: (604) 520 6456
- CODE CONSULTANT**
 Camphora Engineering
 2479 Kingsway
 Vancouver, BC V5R 5G8
 Tel: (604) 800 9822
- TRAFFIC CONSULTANT**
 Bunt & Associates
 Engineering Ltd.
 #1550 - 1050 West Pender Street
 Vancouver, BC V6E 3S7
 Tel: (604) 685 6427

PROJECT
Elmbridge Way
 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 138841

DRAWN BY
 Author

CHECKED BY
 Checker

PROJECT MGR
 Designer

APPROVED BY
 Approver

SHEET TITLE
COVER SHEET DP

SHEET NUMBER
A0

ISSUE
2

C:\Documents\arcadis\project\6851-6871\2024\04\25\DP\A001.dwg
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 User: Arno Matis

CLIENT
Landa Global Properties Ltd.

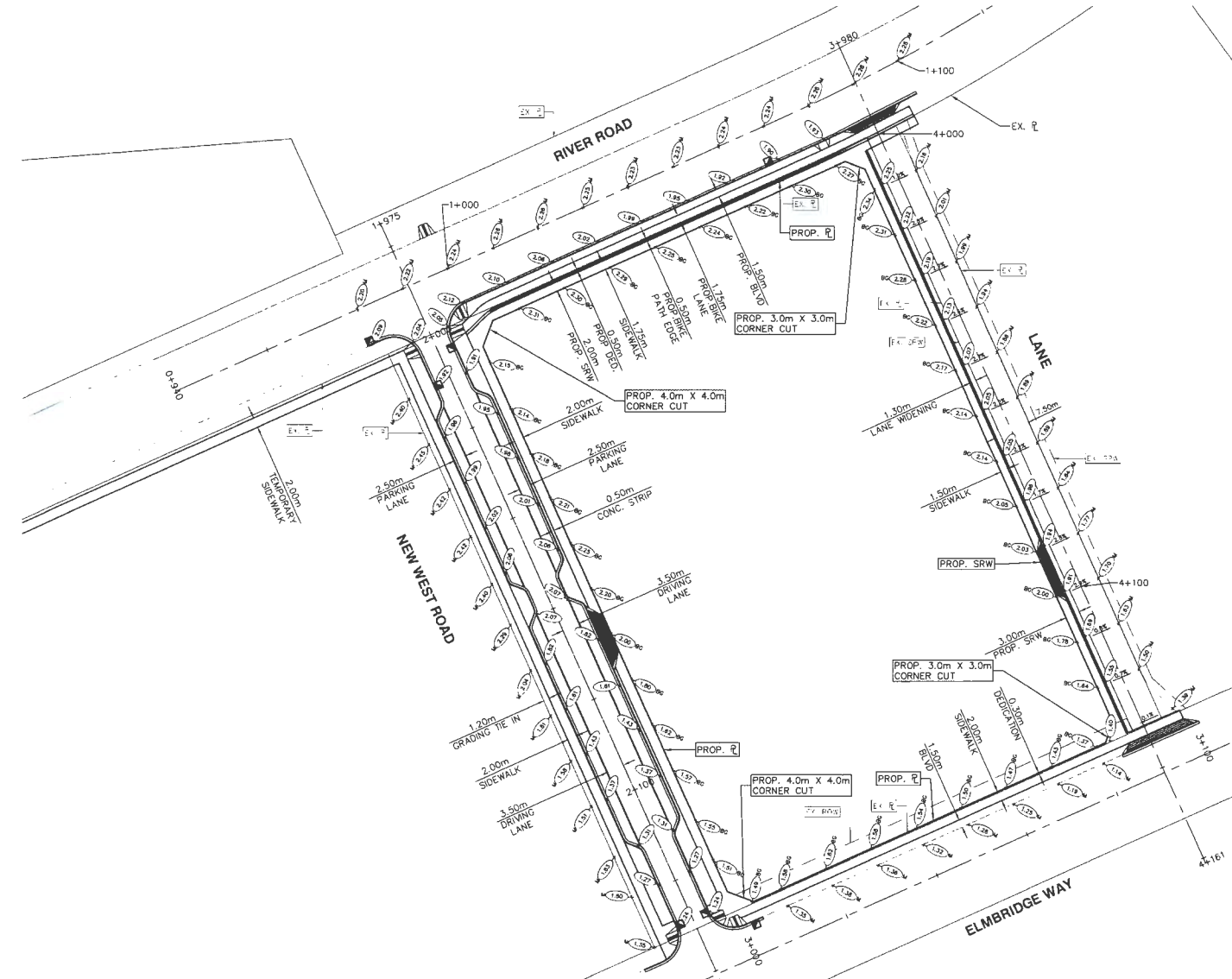
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Arcadis Professional Services (Canada) Inc.
formerly IBI Group Professional Services (Canada) Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
3	FOR BOARD SUBMISSION	2024-04-15

CONSULTANTS
AM
775 HUBBARD AVENUE, VANCOUVER BC
V6Z 1M2 T 604-735-9788



WORKS SHOWN ON THIS DRAWING ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE VIA FURTHER CONFIRMATION OF CITY/PROJECT REQUIREMENTS AND DETAILED REVIEW/DESIGN PROCESS.

LEGEND:

- PROPOSED ELEVATION (m) - BASED ON EXISTING ROADWAY CONDITIONS AND TYPICAL OFFSITE CITY STANDARDS
- PROPOSED ELEVATION (m) - TO MATCH EXISTING ELEVATION
- BUILDING GRADES ELEVATION (m) - BUILDING ELEVATION AT PROPERTY LINE BASED ON TYPICAL OFFSITE CITY STANDARDS
- PROPOSED SLOPE
- PROPOSED CONCRETE CURB
- PROPOSED CATCH BASIN

DP 21-945917
April 25, 2024
Plan # 5

City of Richmond
6011 NO. 3 ROAD RICHMOND B.C. V6Y 2Z1

TITLE:
PRELIMINARY GRADING PLAN
6851 & 6871 ELMBRIDGE WAY DEVELOPMENT
CITY FILE #: RZ-17-782750

JA/SR		
JA		
SR	1:500	JUNE 2023
RSL		1 OF 1

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER.
ALL ELEVATIONS AND DISTANCES SHOWN ARE IN METRES. ELEVATIONS ARE TO RICHMOND GEODETIC DATUM AND DERIVED FROM RICHMOND HIGH PRECISION MONUMENT BENCHMARK #195 (77+470).

ELEVATION: 1.783m GEODETIC FIELD BOOK: _____

CITY WORK ORDER NO: _____ TENDER/PROJECT NO: _____
CONTRACTOR WORK ORDER NO: _____ ACCOUNT NO: _____

APLIN MARTIN
ENGINEERING ARCHITECTURE PLANNING SURVEYING

EGBC Permit to Practice Number: #1001018
#1816 - 1177 West Hastings Street, Vancouver, B.C. Canada V6E 2K3
Tel: (604) 678-9434, Fax: (604) 597-9061, Email: general@aplinmartin.com
APLIN MARTIN DWG. No. 20-5035-01SK

NO.	DATE	BY	CHK.	DESCRIPTION
6	JUN 29/23	JA/SR	RSL	ROAD FUNCTIONAL PLANS
5	MAY 16/23	JA/SR	RSL	ISSUED FOR REVIEW
4	MAR 02/23	LC/SR	RSL	ROAD FUNCTIONAL PLANS
3	AUG 29/22	LC/SR	RSL	ROAD FUNCTIONAL PLANS
2	AUG 15/22	LC/SR	RSL	ROAD FUNCTIONAL PLANS
1	DEC 20/21	LC/SR	RSL	ISSUED FOR DP

PRIME CONSULTANT
ARCADIS

1205 West Pender Street - Suite 100
Vancouver BC V6E 4B1 Canada
Tel: 604 983 8737
www.arcadis.com

PROJECT
Elmbidge Way
6851-6871 Elmbidge Way
Richmond, BC

PROJECT NO: 138941

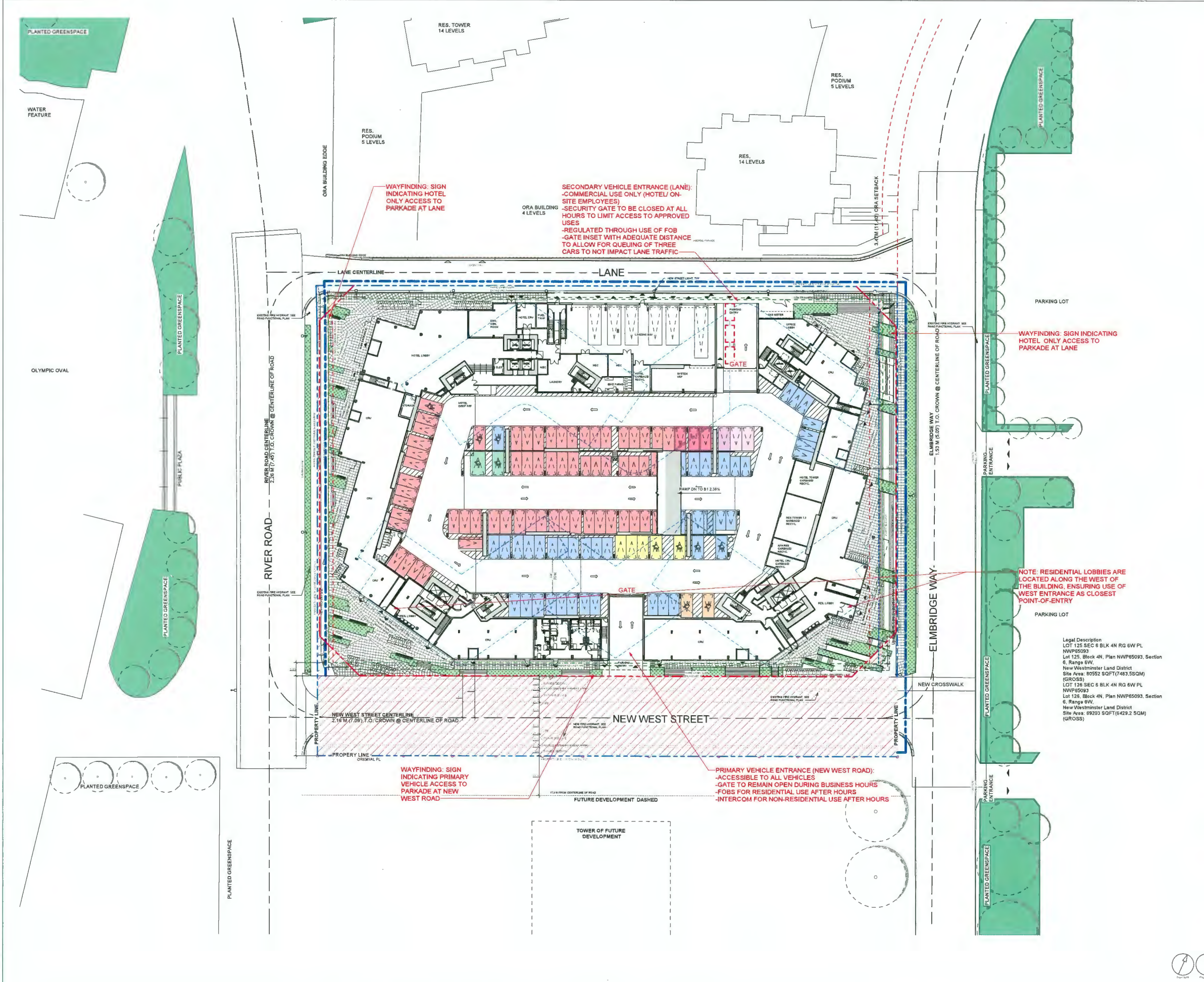
DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
BUILDING GRADE

SHEET NUMBER
A104

ISSUE
2

REVISED 11.06.21 AM



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VANCOUVER, BC, V6C 3L6

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ARCADIS PROFESSIONAL SERVICES (CANADA) INC.
Formerly 3M Group Professional Services (Canada) Inc.

ISSUES	DESCRIPTION	DATE
1	REVISED FOR DEVELOPMENT PERMIT	2023-07-07
2	ED BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
APNO MATIS ARCHITECTURE
704-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T. 604.708.0188

LEGEND

DEDICATION	SYMBOL
SRW	[Symbol]
NEW PROPERTY LINE	[Symbol]
ORIGINAL PROPERTY LINE	[Symbol]
SETBACK	[Symbol]
ORA BUILDING EDGE	[Symbol]
EAST NEIGHBOUR: ORA: SETBACK	[Symbol]

Legal Description
LOT 125 SEC 6 BLK 4N RG 6W PL NWP65093
Lot 125, Block 4N, Plan NWP65093, Section 6, Range 6W,
New Westminster Land District
Site Area: 80552 SQFT (7483.5 SQM) (GROSS)
LOT 126 SEC 6 BLK 4N RG 6W PL NWP65093
Lot 126, Block 4N, Plan NWP65093, Section 6, Range 6W,
New Westminster Land District
Site Area: 89203 SQFT (8249.2 SQM) (GROSS)

DP 21-945917
April 25, 2024
Plan # 6

PRIME CONSULTANT
ARCADIS
1285 West Pender Street - Suite 100
Vancouver BC V6E 4B1 Canada
Tel: 604 683 8737
www.arcadis.com

PROJECT
Elmbribe Way
8851-8871 Elmbribe Way
Richmond, BC

PROJECT NO
136941

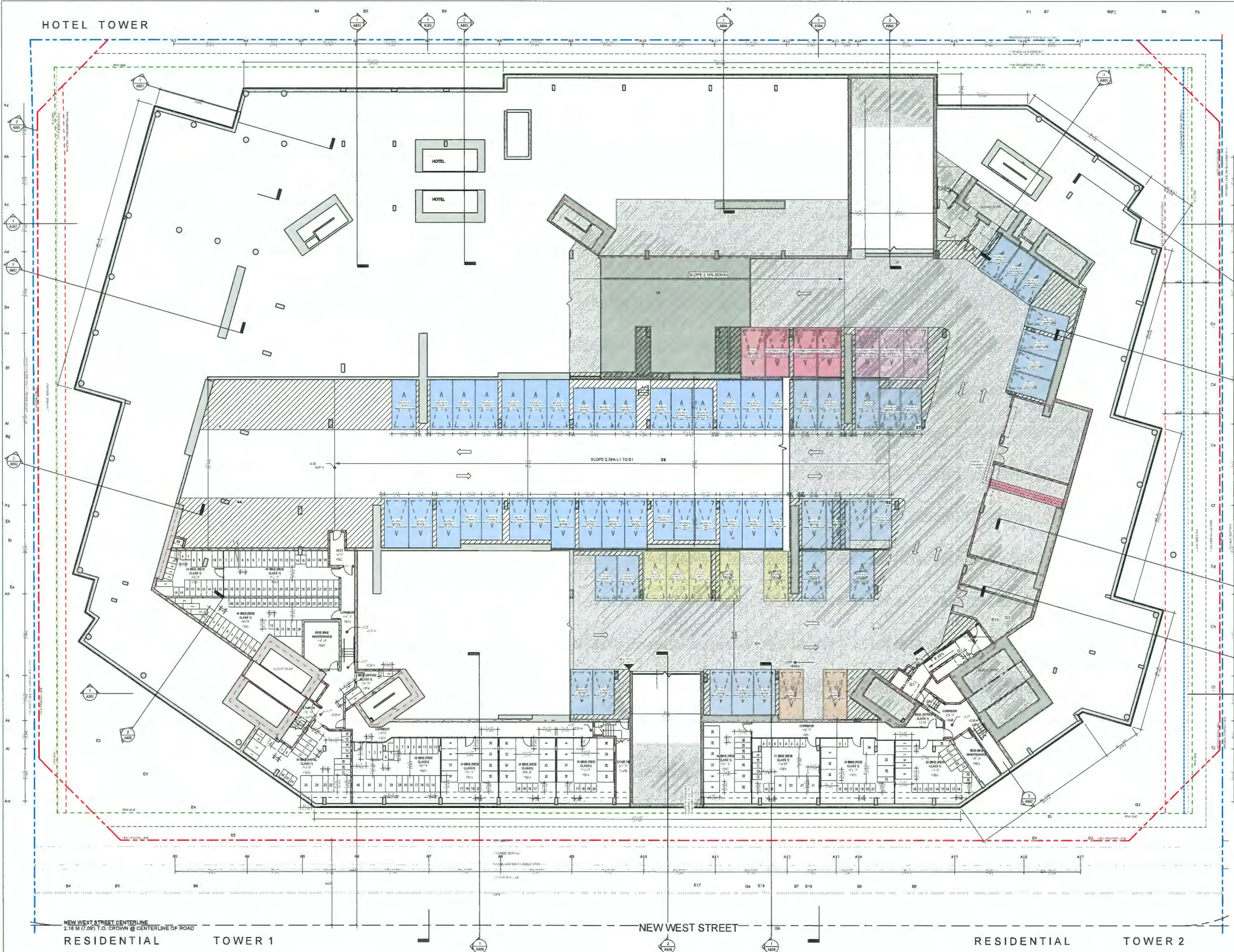
DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
SITE PLAN

SHEET NUMBER
A110

ISSUE
2

2024-04-25 10:17:12 AM



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 VANCOUVER, BC, V5C 3L6

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ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	TOP BOARD SUBMISSION	2024-04-25

CONSULTANT'S
AM

APND MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T 604-708-0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 7

SEAL

PRIME CONSULTANT
ARCADIS
 1385 West Pender Street - Suite 100
 Vancouver BC V6E 4B1 Canada
 Tel: 604 683 6797
 www.arcadis.com

PROJECT
Elmbridge Way
 6851-6871 Elmbridge Way
 Richmond, BC

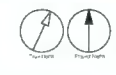
PROJECT NO 136841	CHECKED BY Checker
DRAWN BY Author	APPROVED BY Approver
PROJECT MGR Designer	

SHEET TITLE
LEVEL B1 PARKING

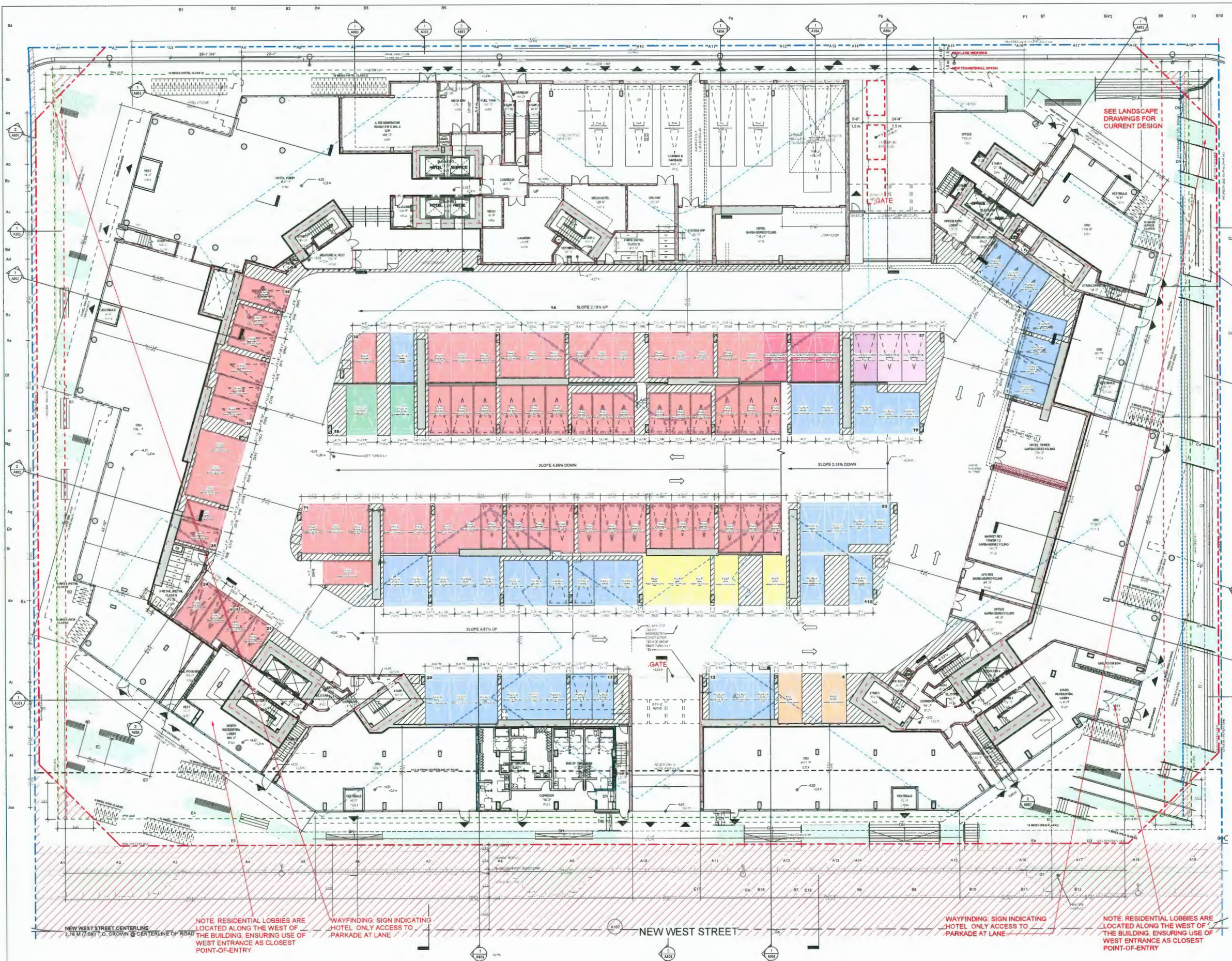
SHEET NUMBER
A200

ISSUE
2

NOTE
 THE DESIGN OF THE PARKING STRUCTURE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH SECTION A13 OF THE PARKING PLAN.
 THE DESIGN OF BICYCLE SPACES INCLUDING BICYCLE RACKS, COMPARTMENTS, LOCKERS UNDER RACKS REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH RELEVANT PROVISIONS OF SECTION OF THE PARKING PLAN.
 NUMBER OF THE ELECTRICAL RECEPTACLES SHALL BE PROVIDED FOR EACH TWO CLASS A BICYCLE SPACES.
 MECHANICAL EQUIPMENT VENTILATORS, GENERATORS COMPARTMENT AND EXHAUST SYSTEMS WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBOURHOOD AND COMPLY WITH NOISE BYLAW 1000.



PROJECT NO: 136841
 SHEET NO: A200
 DATE: 2024-04-25
 DRAWN BY: Author
 CHECKED BY: Checker
 APPROVED BY: Approver
 PROJECT MGR: Designer
 CLIENT: Landa Global Properties Ltd.
 CONSULTANT: AM
 ARCHITECT: APND MATIS ARCHITECTURE
 ENGINEER: ARCADIS
 PROJECT: Elmbridge Way
 SHEET TITLE: LEVEL B1 PARKING
 SHEET NUMBER: A200
 ISSUE: 2



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1550 - 200 BARRARD ST.
VANCOUVER, BC, V6C 3L6

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formerly TR Group Professional Services (Canada) Inc.

ISSUE	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	FOR BOARD SUBMISSION	2024-04-15

CONSULTANTS
AM
ARNO MATIS ARCHITECTURE
304-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604.708.0188

LEGEND
DEDICATION
SRW
NEW PROPERTY LINE
ORIGINAL PROPERTY LINE
SETBACK
ORA BUILDING EDGE
EAST NEIGHBOUR ORA SETBACK

DP 21-945917
April 25, 2024
Plan # 8

PRIME CONSULTANT
ARCADIS
1285 West Pender Street - Suite 100
Vancouver, BC V6E 4B1 Canada
Tel: 604 681 8787
www.arcadis.com

PROJECT
Elmbridge Way
6951-6971 Elmbridge Way
Richmond, BC

PROJECT NO 138941	CHECKED BY Designer
DRAWN BY Author	APPROVED BY Approver

SHEET TITLE
LEVEL 1 PARKING

SHEET NUMBER
A201

ISSUE
2

NEW WEST STREET CENTERLINE
2.76 M (9.06 FT) TO CENTERLINE OF ROAD

NOTE: RESIDENTIAL LOBBIES ARE LOCATED ALONG THE WEST OF THE BUILDING, ENSURING USE OF WEST ENTRANCE AS CLOSEST POINT-OF-ENTRY

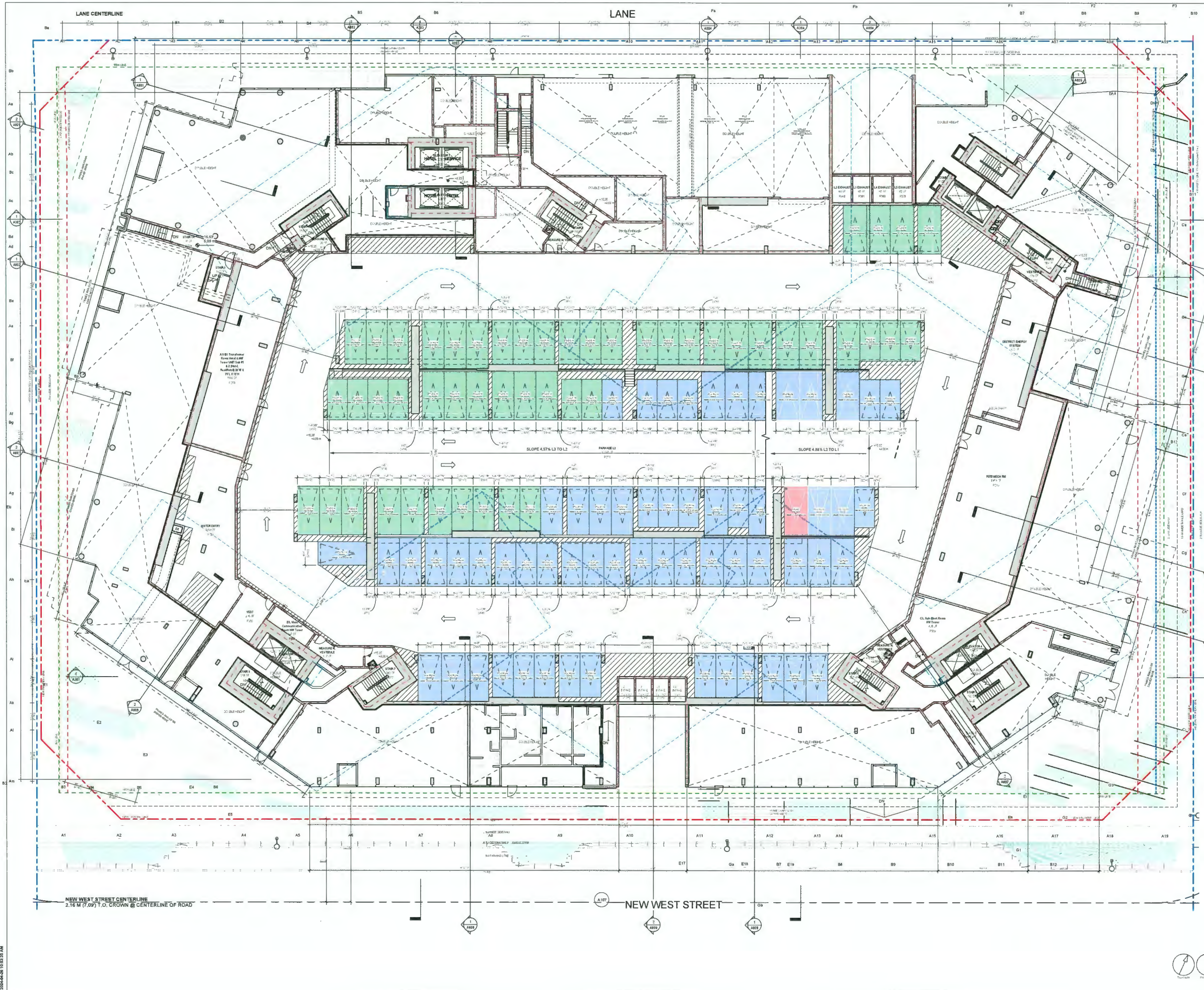
WAYFINDING SIGN INDICATING HOTEL ONLY ACCESS TO PARKADE AT LANE

NEW WEST STREET

WAYFINDING SIGN INDICATING HOTEL ONLY ACCESS TO PARKADE AT LANE

NOTE: RESIDENTIAL LOBBIES ARE LOCATED ALONG THE WEST OF THE BUILDING, ENSURING USE OF WEST ENTRANCE AS CLOSEST POINT-OF-ENTRY

FOR 04-26 11:55:19 AM



CLIENT
Landa Global Properties Ltd.
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ARCADIS PROFESSIONAL SERVICES (CANADA) INC.
Landscape Professional Services (Canada) Inc.

ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-11-07
2	FOR BOARD SUBMISSION	2024-04-15

CONSULTANT'S
AM
APNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604.708.0188

LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR: ORA SETBACK

DP 21-945917
April 25, 2024
Plan # 9

SEAL

PRIME CONSULTANT
ARCADIS
1335 West Pender Street - Suite 100
Vancouver BC V6E 4B1 Canada
tel 604 683 6737
www.arcadis.com

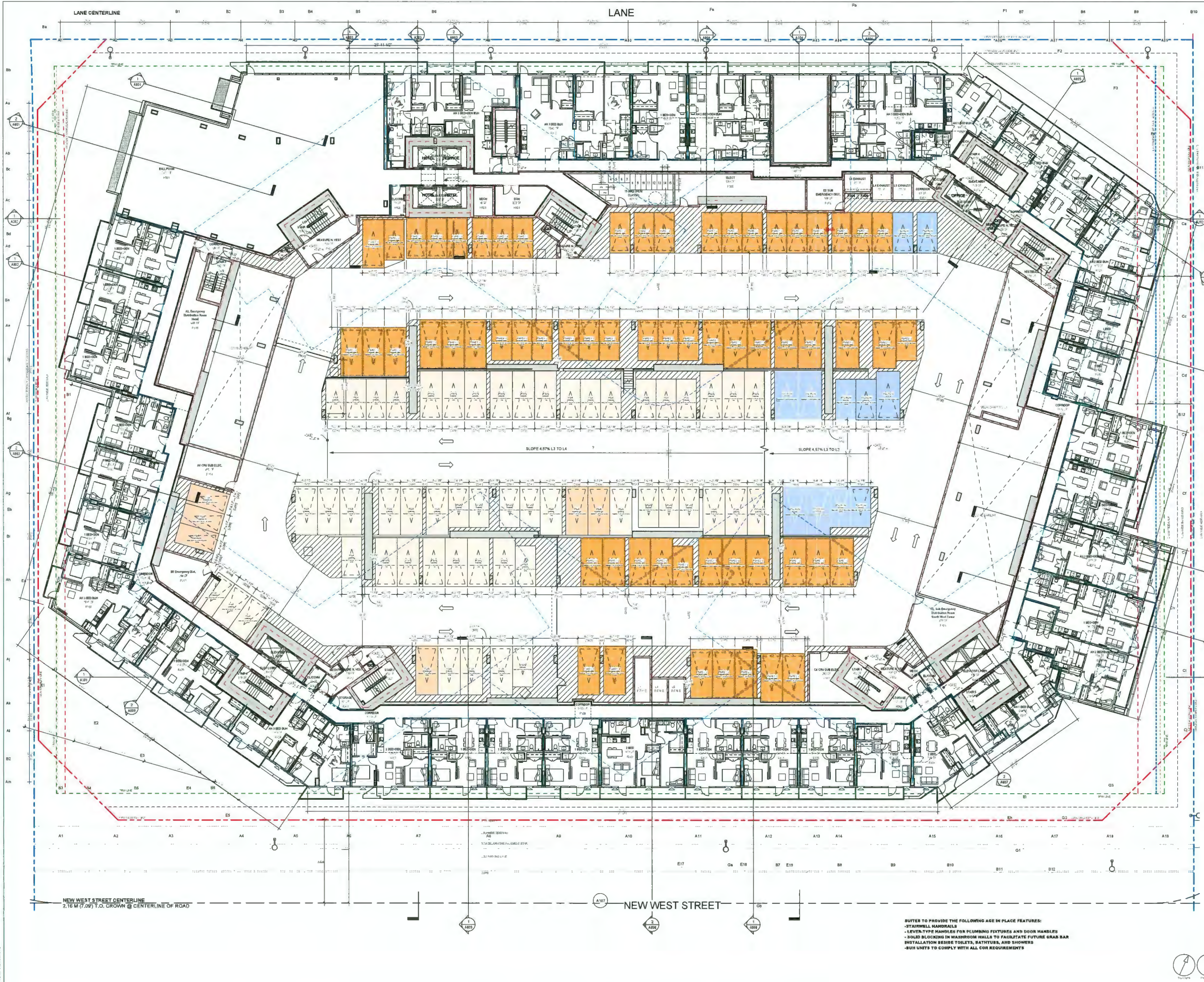
PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO 136941	CHECKED BY Checker
DRAWN BY Author	APPROVED BY Approver

SHEET TITLE
LEVEL 2 PARKING

SHEET NUMBER A202	ISSUE 2
----------------------	------------

20240415 13:53:25 AM



CLIENT
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1550 - 200 BARRARD ST.
VANCOUVER, BC, V8C 3L8

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Arcadis Professional Services (Canada) Inc.
formerly BSI Group Professional Services Canada Inc.

ISSUES	DESCRIPTION	DATE
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2	FOR BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
ARNO MATIS ARCHITECTURE
704-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 10

PRIME CONSULTANT
ARCADIS
1285 West Pender Street - Suite 100
Vancouver, BC V6E 4B1 Canada
Tel: 604.983.8787
www.arcadis.com

PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
136941

DRAWN BY Author	CHECKED BY Author
PROJECT MGR Designer	APPROVED BY Approver

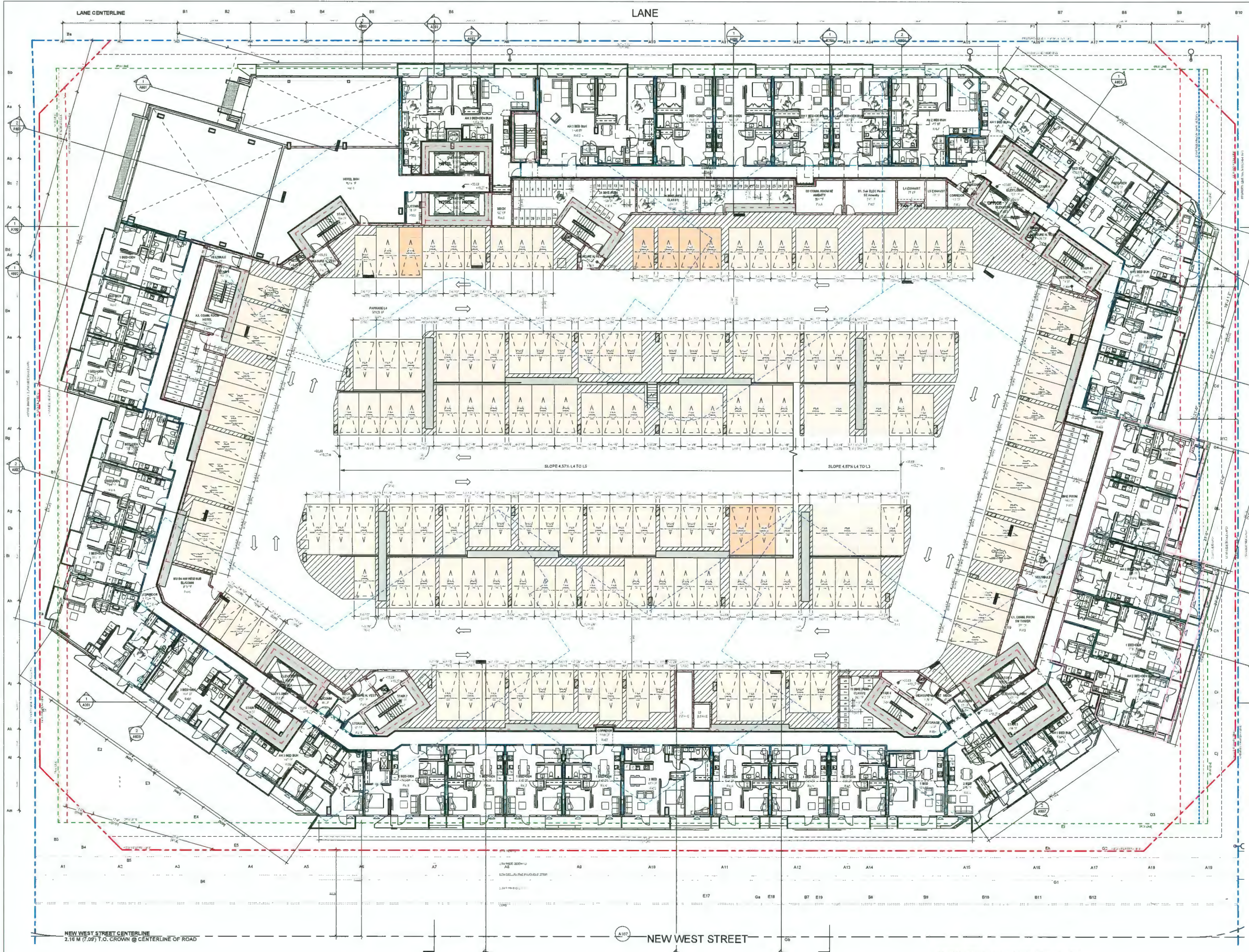
SHEET TITLE
LEVEL 3 PARKING

SHEET NUMBER
A203

FIGURE
2

NOTES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
- LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR
- INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
- BURN UNITS TO COMPLY WITH ALL CUR REQUIREMENTS

20240425 10:53 AM AM



CLIENT
Landa Global Properties Ltd.
1550 - 200 BURNARD ST.
VANCOUVER, BC V5C 3L8

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ISSUE	No.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-07	
2	DP BOARD SUBMISSION	2024-04-25	

CONSULTANTS
AM

ARNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V5J 1H2 T 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 11

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PROJECT
Elmbridge Way
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Richmond, BC

PROJECT NO
138941

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PROJECT MGR Approver	APPROVED BY Approver

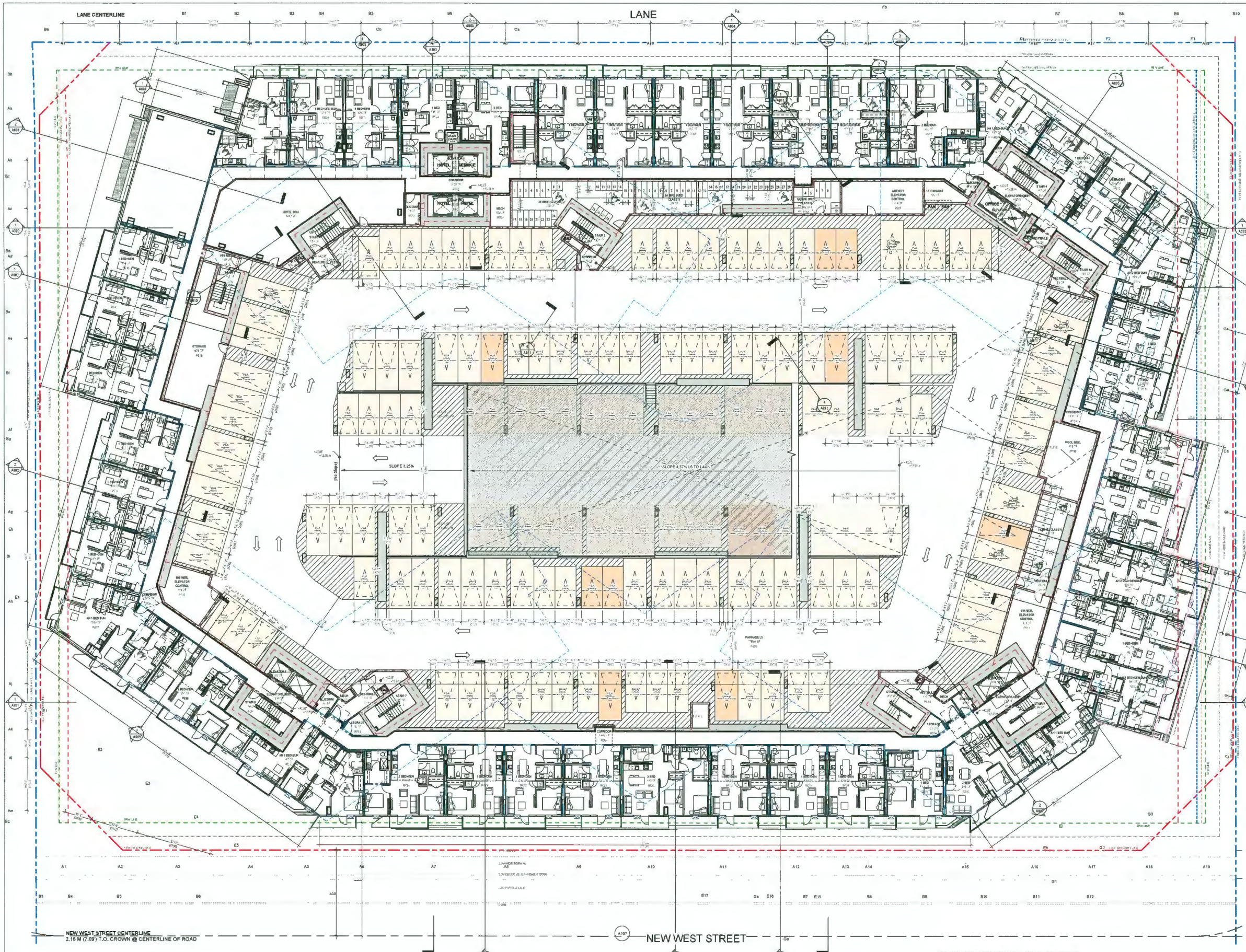
SHEET TITLE
LEVEL 4 PARKING

SHEET NUMBER
A204

ISSUE
2

SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
- LEVEL-TYPE HANDLES FOR PLUMBING FEATURES AND DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
- RUM UNITS TO COMPLY WITH ALL COR REQUIREMENTS

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1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 1Z

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ARCADIS

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SHEET TITLE
LEVEL 5 PARKING

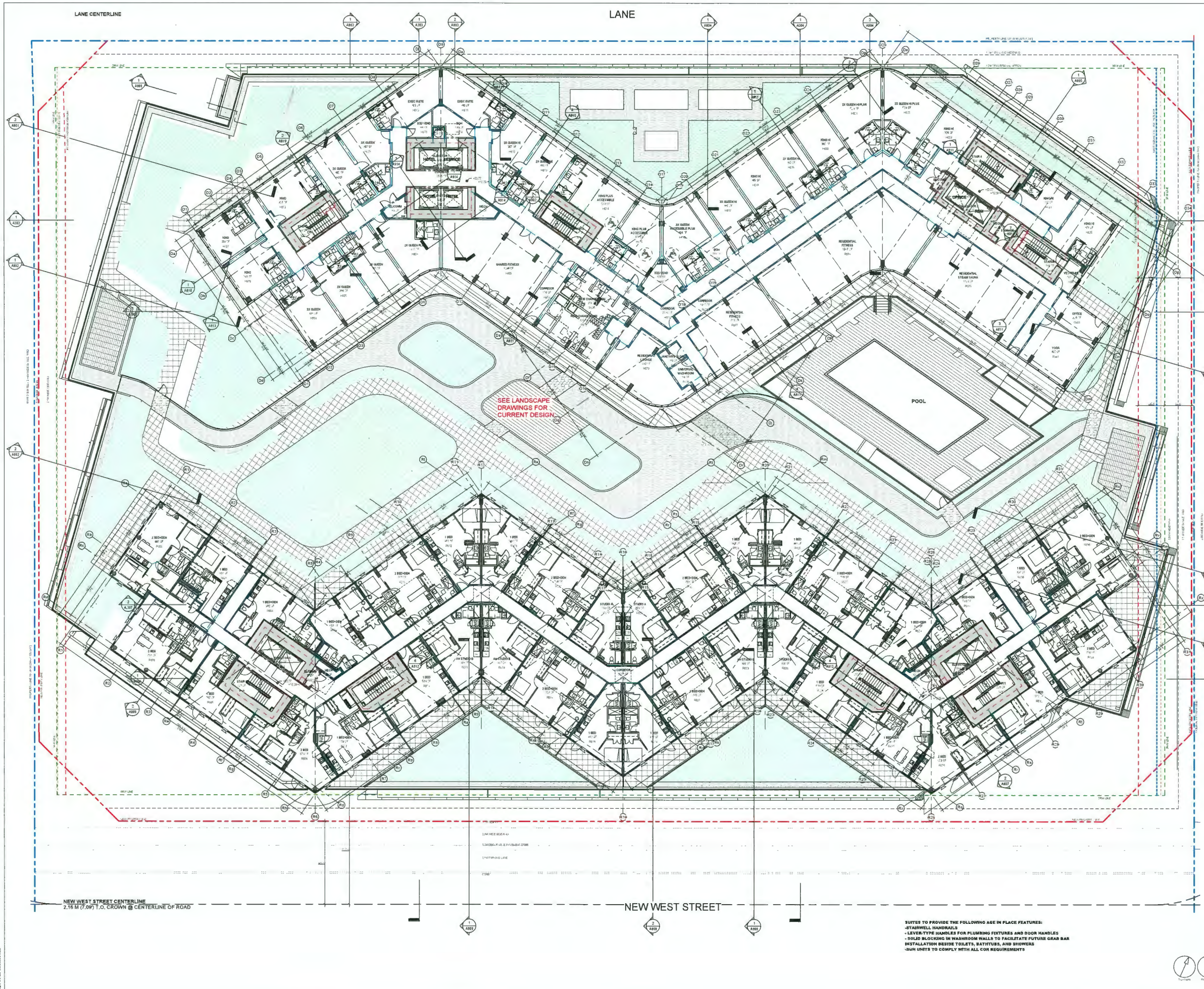
SHEET NUMBER
A205

ISSUE
2

- SUITES TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
 - BUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS



1: Scale of drawing. 2: Scale of drawing. 3: Scale of drawing. 4: Scale of drawing. 5: Scale of drawing. 6: Scale of drawing. 7: Scale of drawing. 8: Scale of drawing. 9: Scale of drawing. 10: Scale of drawing. 11: Scale of drawing. 12: Scale of drawing. 13: Scale of drawing. 14: Scale of drawing. 15: Scale of drawing. 16: Scale of drawing. 17: Scale of drawing. 18: Scale of drawing. 19: Scale of drawing. 20: Scale of drawing. 21: Scale of drawing. 22: Scale of drawing. 23: Scale of drawing. 24: Scale of drawing. 25: Scale of drawing. 26: Scale of drawing. 27: Scale of drawing. 28: Scale of drawing. 29: Scale of drawing. 30: Scale of drawing. 31: Scale of drawing. 32: Scale of drawing. 33: Scale of drawing. 34: Scale of drawing. 35: Scale of drawing. 36: Scale of drawing. 37: Scale of drawing. 38: Scale of drawing. 39: Scale of drawing. 40: Scale of drawing. 41: Scale of drawing. 42: Scale of drawing. 43: Scale of drawing. 44: Scale of drawing. 45: Scale of drawing. 46: Scale of drawing. 47: Scale of drawing. 48: Scale of drawing. 49: Scale of drawing. 50: Scale of drawing. 51: Scale of drawing. 52: Scale of drawing. 53: Scale of drawing. 54: Scale of drawing. 55: Scale of drawing. 56: Scale of drawing. 57: Scale of drawing. 58: Scale of drawing. 59: Scale of drawing. 60: Scale of drawing. 61: Scale of drawing. 62: Scale of drawing. 63: Scale of drawing. 64: Scale of drawing. 65: Scale of drawing. 66: Scale of drawing. 67: Scale of drawing. 68: Scale of drawing. 69: Scale of drawing. 70: Scale of drawing. 71: Scale of drawing. 72: Scale of drawing. 73: Scale of drawing. 74: Scale of drawing. 75: Scale of drawing. 76: Scale of drawing. 77: Scale of drawing. 78: Scale of drawing. 79: Scale of drawing. 80: Scale of drawing. 81: Scale of drawing. 82: Scale of drawing. 83: Scale of drawing. 84: Scale of drawing. 85: Scale of drawing. 86: Scale of drawing. 87: Scale of drawing. 88: Scale of drawing. 89: Scale of drawing. 90: Scale of drawing. 91: Scale of drawing. 92: Scale of drawing. 93: Scale of drawing. 94: Scale of drawing. 95: Scale of drawing. 96: Scale of drawing. 97: Scale of drawing. 98: Scale of drawing. 99: Scale of drawing. 100: Scale of drawing.



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LEGEND

- DEDICATION: [Hatched pattern]
- SRW: [Dashed line]
- NEW PROPERTY LINE: [Red dashed line]
- ORIGINAL PROPERTY LINE: [Blue dashed line]
- SETBACK: [Red dashed line]
- ORA BUILDING EDGE: [Dotted line]
- EAST NEIGHBOUR ORA SETBACK: [Blue dashed line]

DP 21-945917
April 25, 2024
Plan # 13

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PROJECT NO. 136941	DRAWN BY Author	CHECKED BY Checker
	PROJECT MGR Designer	APPROVED BY Approver

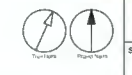
SHEET TITLE
LEVEL 6 FLOOR PLAN

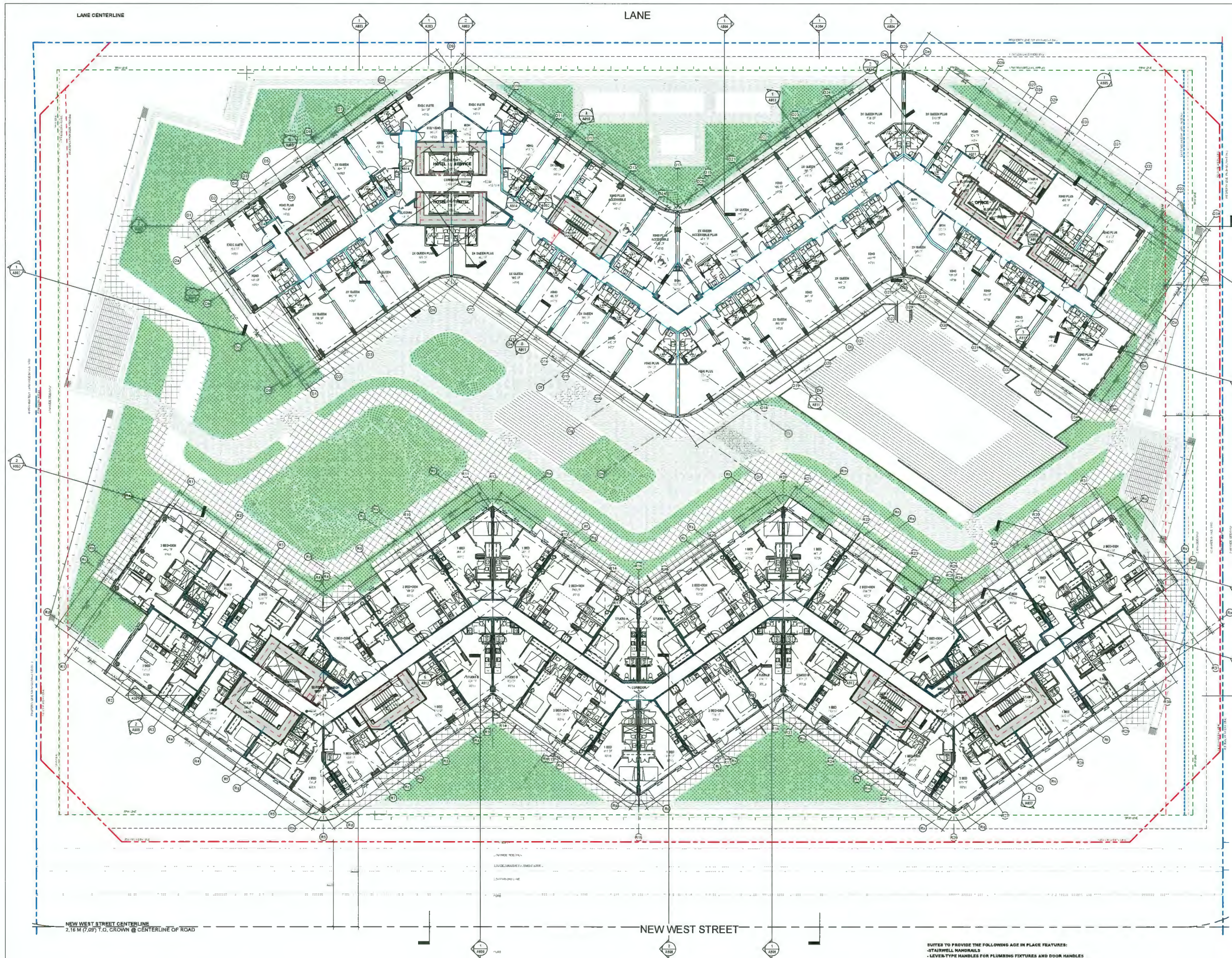
SHEET NUMBER
A206

ISSUE
2

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 - STAIRWELL HANDRAILS
 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR
 INSTALLATION BESIDE TOILETS, BATHYUBS, AND SHOWERS
 - SHUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS





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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 14

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SHEET TITLE
LEVEL 7 FLOOR PLAN

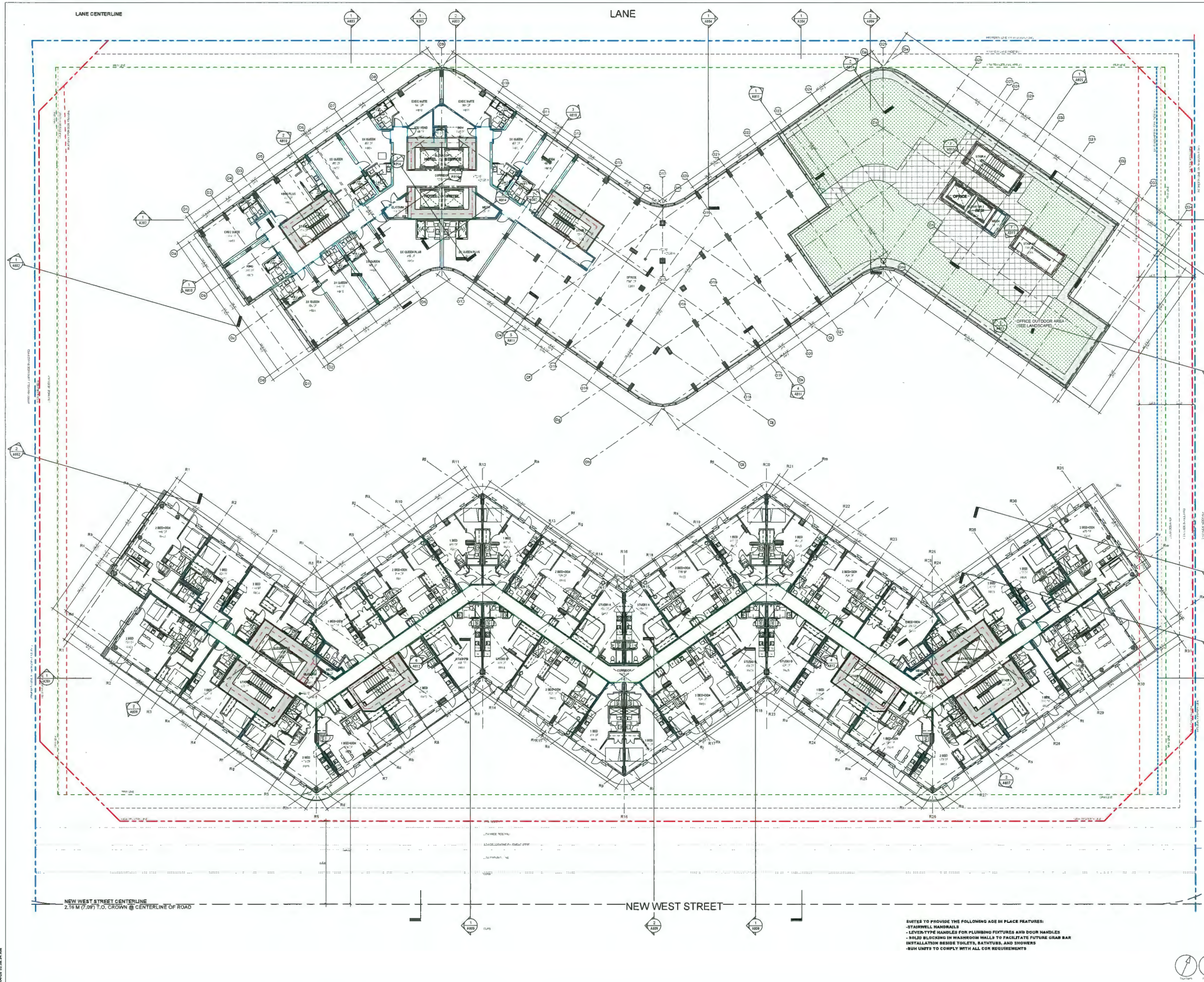
SHEET NUMBER
A207

ISSUE
2

NOTES

SUITS TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR
- INSTALLATION BESIDE TOILETS, BATHROOMS, AND SHOWERS
- SUIT UNITS TO COMPLY WITH ALL COR REQUIREMENTS

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1	ISSUED FOR DEVELOPMENT PERMIT	2024-07-02
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LEGEND

DEDICATION	SYMBOL
SRW	[Hatched Box]
NEW PROPERTY LINE	[Dashed Red Line]
ORIGINAL PROPERTY LINE	[Dashed Blue Line]
SETBACK	[Dashed Green Line]
ORA BUILDING EDGE	[Dashed Yellow Line]
EAST NEIGHBOUR: ORA SETBACK	[Dashed Purple Line]

DP 21-945917
April 25, 2024
Plan # 15

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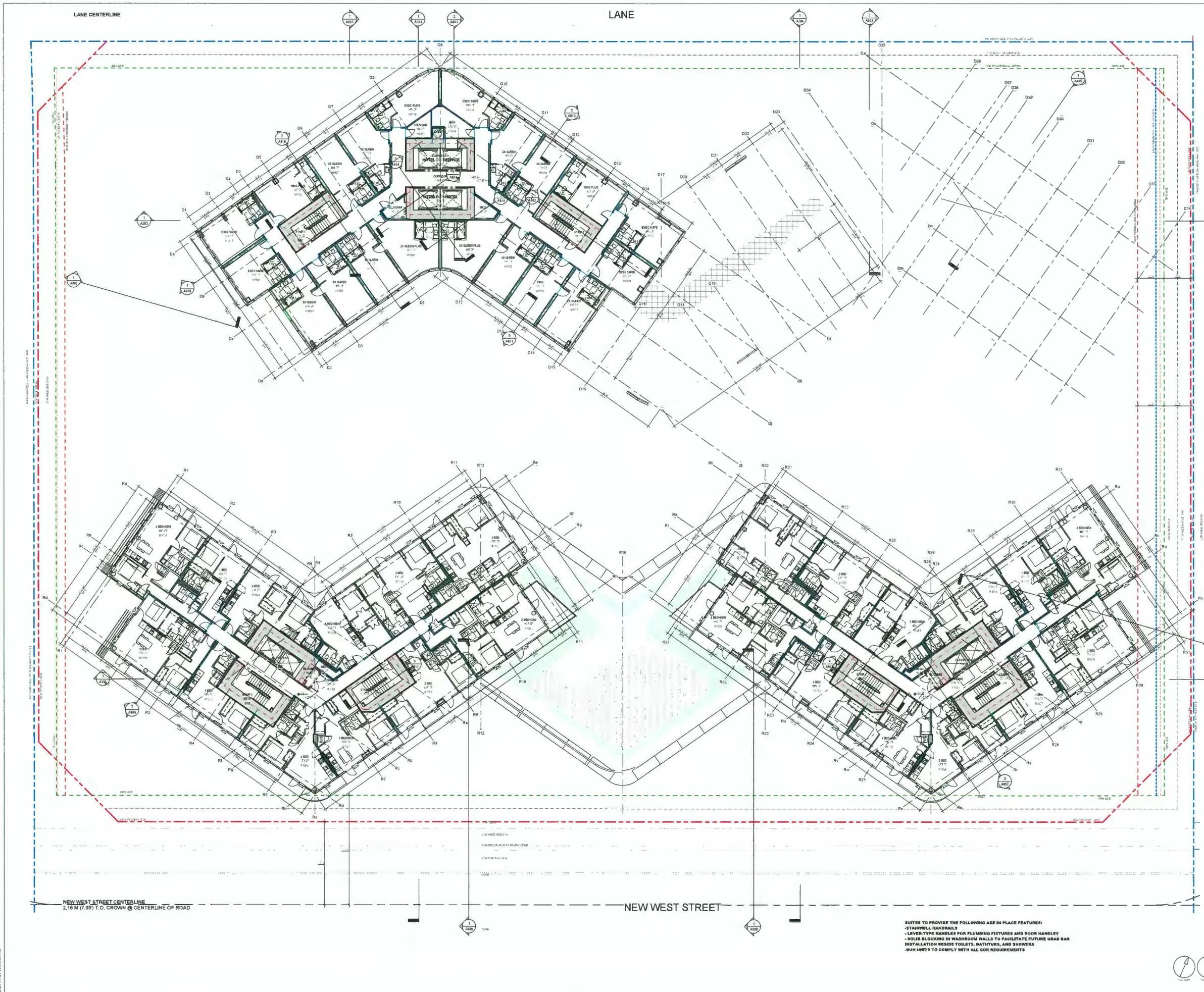
SHEET TITLE
LEVEL 8 FLOOR PLAN

SHEET NUMBER A208	ISSUE 2
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SUITS TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
- BOLD BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS, AND SHOWERS
- BURN UNITS TO COMPLY WITH ALL COX REQUIREMENTS

DRAWING: 10188-24-AM

DATE: 2024-04-25



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LEGEND

- DEDICATION: [Hatched pattern]
- SRW: [Dashed line]
- NEW PROPERTY LINE: [Red dashed line]
- ORIGINAL PROPERTY LINE: [Blue dashed line]
- SETBACK: [Blue dashed line]
- ORA BUILDING EDGE: [Blue dashed line]
- EAST NEIGHBOUR: ORA: SETBACK: [Blue dashed line]

DP 21-945917
April 25, 2024
Plan # 17

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PROJECT NO
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SHEET TITLE
LEVEL 10 FLOOR PLAN

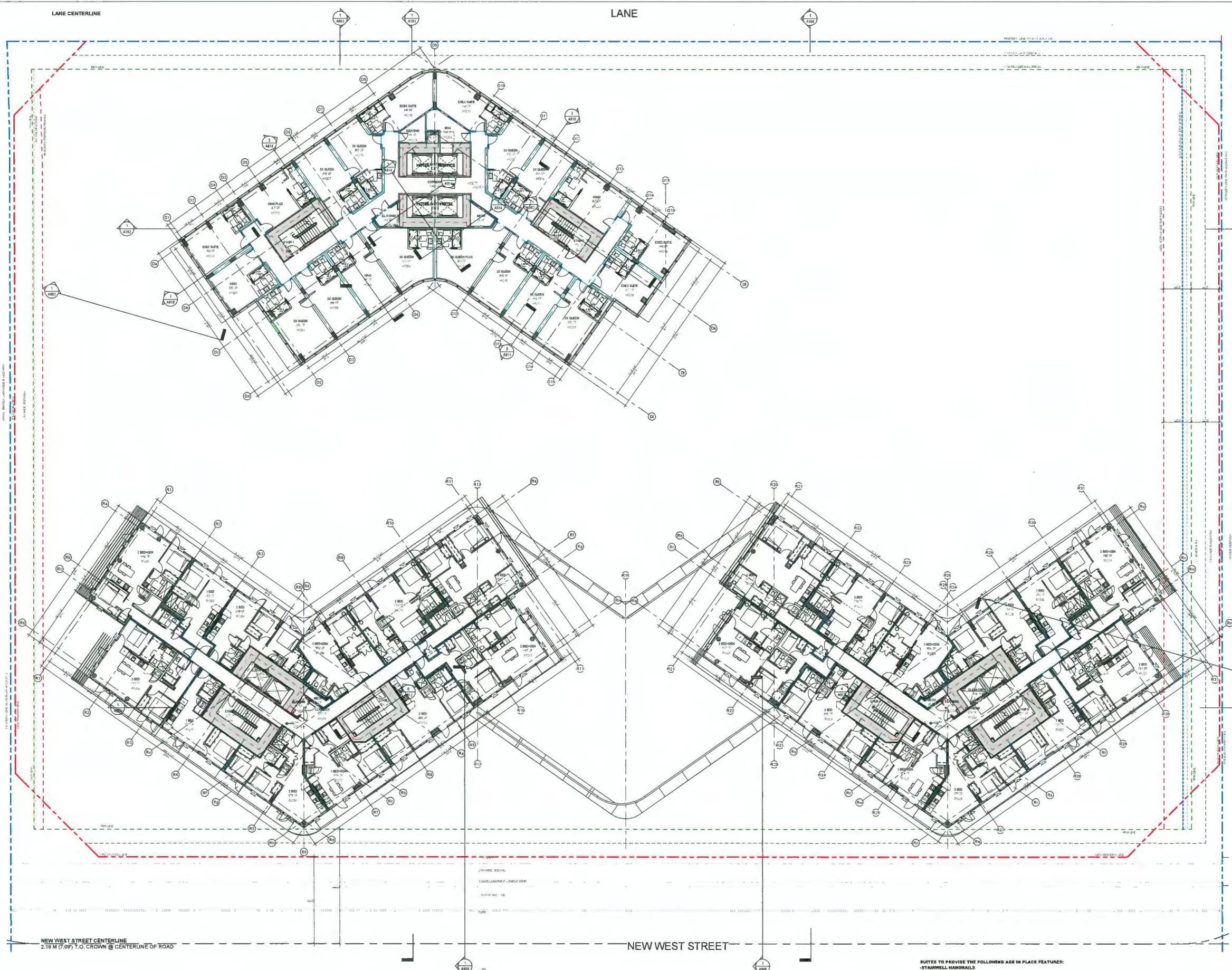
SHEET NUMBER
A210

ISSUE
2

NOTES

SUITES TO PROVIDE THE FOLLOWING AS-BUILT FEATURES:
 - STAIRWELL HANDRAILS
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHROOMS, AND SHOWERS
 - BATH UNITS TO COMPLY WITH ALL GCOR REQUIREMENTS

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LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA NEIGHBOUR EDGE	
EAST NEIGHBOUR ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 19

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PROJECT
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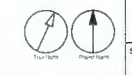
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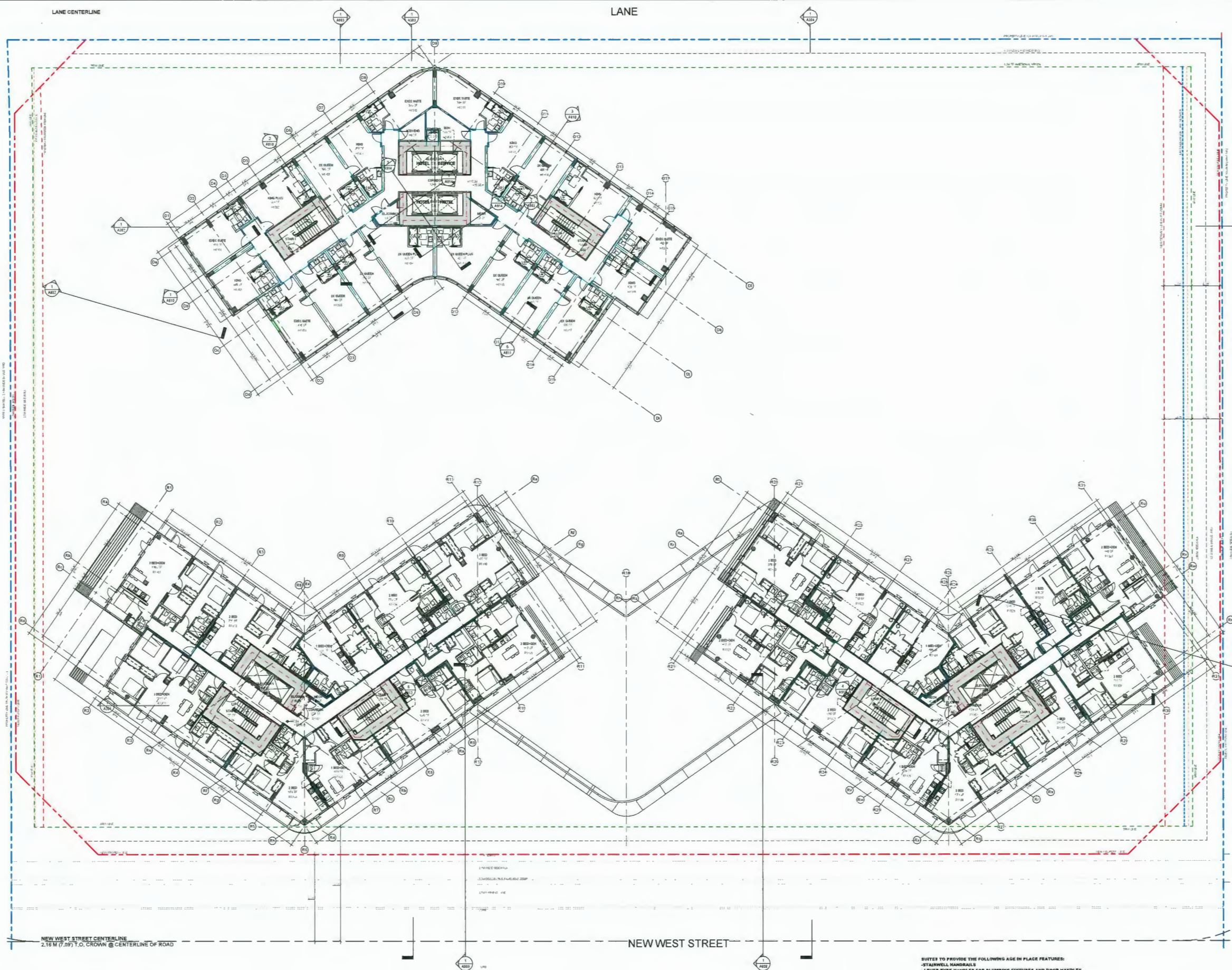
SHEET TITLE
LEVEL 12 FLOOR PLAN

SHEET NUMBER A212	ISSUE 2
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SUITES TO PROVIDE THE FOLLOWING ASB IN PLACE FEATURES:
 - STAIRWELL HANDRAILS
 - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR
 - INSTALLATION RESIDE TOILETS, BATHTUBS, AND SHOWERS
 - SUIT UNITS TO COMPLY WITH ALL COR REQUIREMENTS



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V6J 1H2 T: 604.708.0188

LEGEND

- DEDICATION: [Hatched pattern]
- SRW: [Dashed green line]
- NEW PROPERTY LINE: [Dashed red line]
- ORIGINAL PROPERTY LINE: [Dashed blue line]
- SETBACK: [Dashed red line]
- ORA BUILDING EDGE: [Dashed red line]
- EAST NEIGHBOUR: ORA: [Dashed blue line]
- SETBACK: [Dashed blue line]

DP 21-945917
April 25, 2024
Plan # 20

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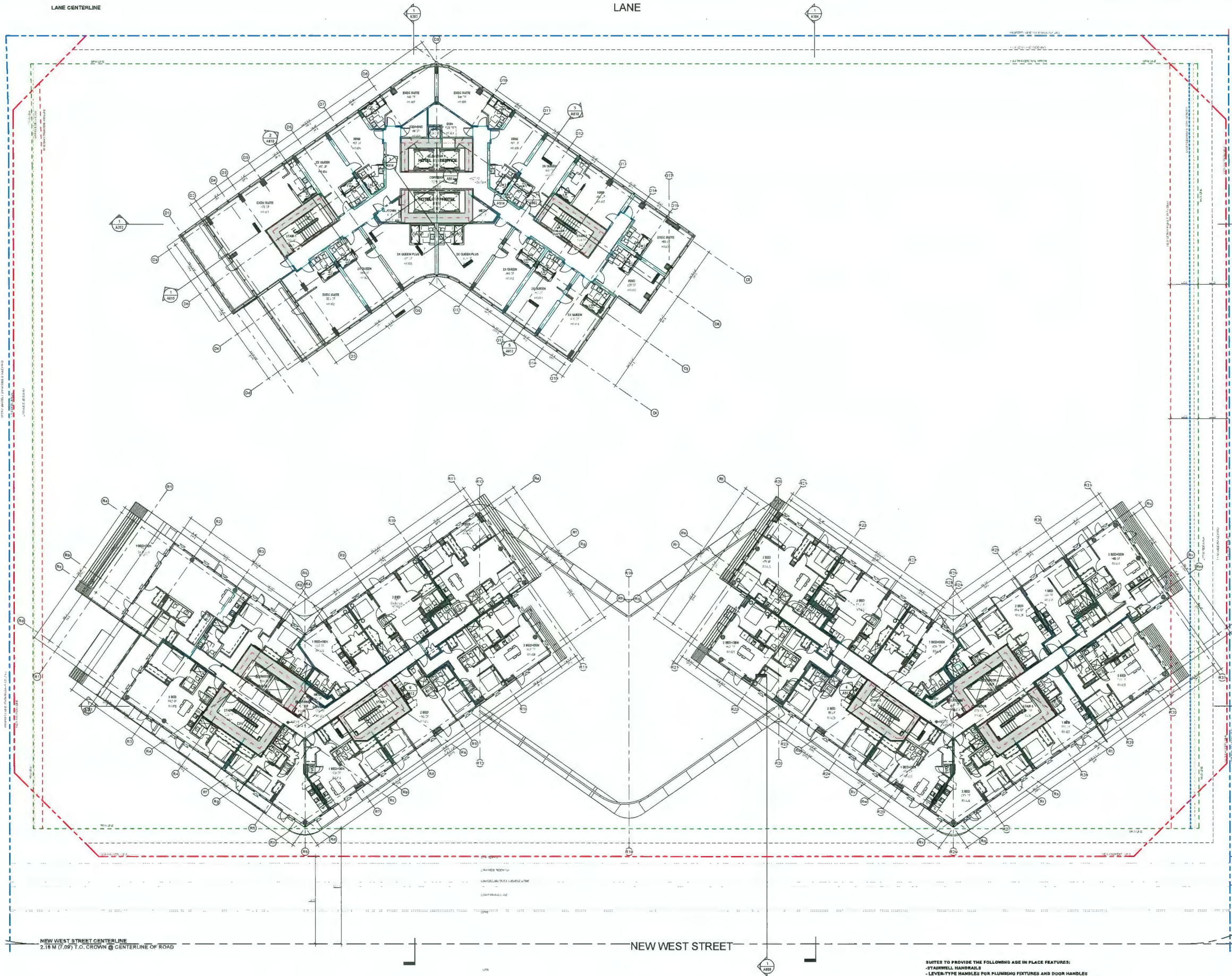
SHEET TITLE
LEVEL 13 FLOOR PLAN

SHEET NUMBER
A213

ISSUE
2

NOTES:
SUITS TO PROVIDE THE FOLLOWING AGE IN PLACE FEATURES:
- STAIRWELL HANDRAILS
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHIMERS
- SHU UNITS TO COMPLY WITH ALL COR REQUIREMENTS

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V6J 1H2 T 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # 21

SEAL

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Richmond, BC

PROJECT NO.
136941

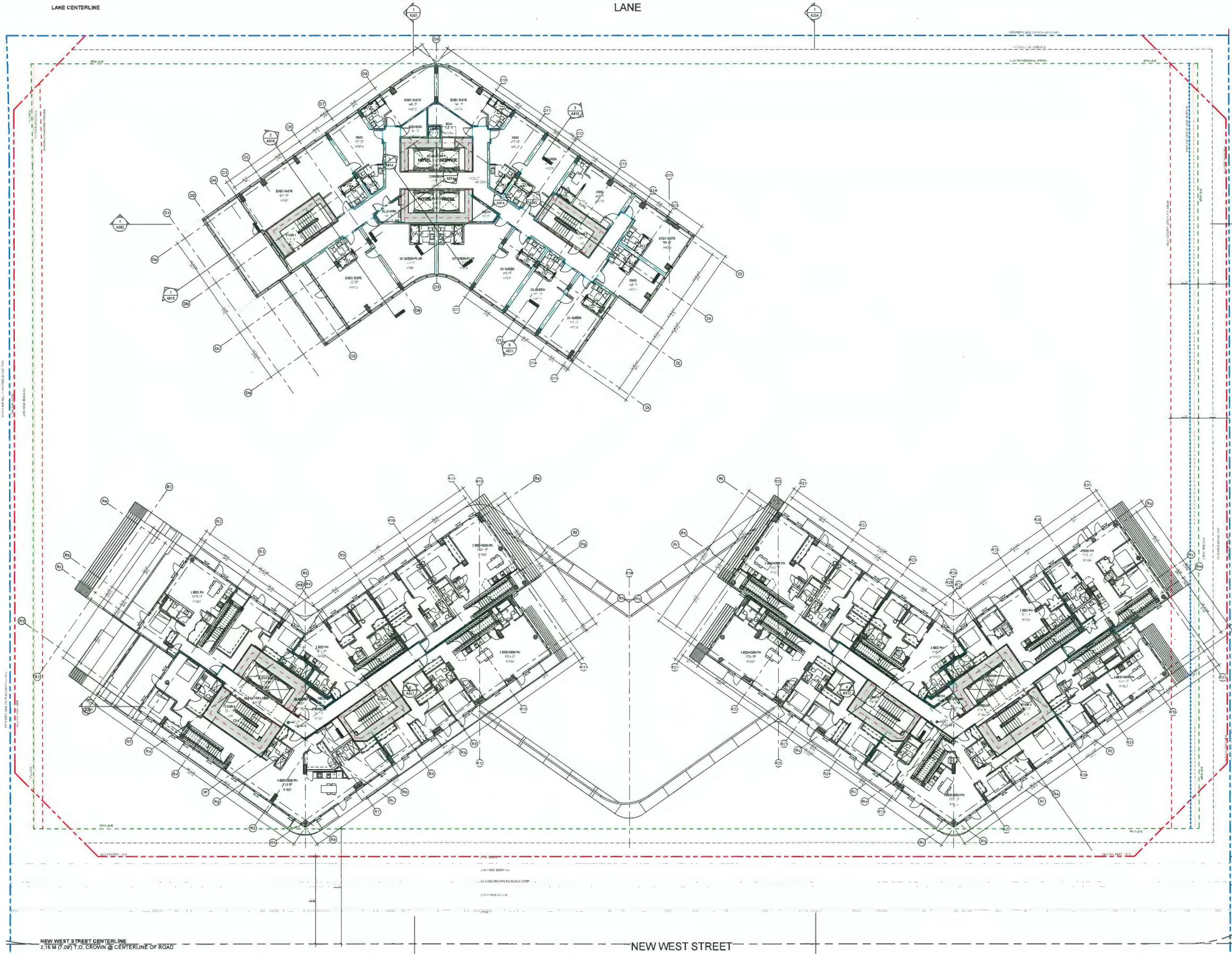
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SHEET TITLE
LEVEL 14 FLOOR PLAN

SHEET NUMBER A214	SHEET 2
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 - LEVEL-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES
 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
 - BUN UNITS TO COMPLY WITH ALL COR REQUIREMENTS

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 V6J 1H2 T. 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 22

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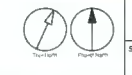
PROJECT
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 Richmond, BC

PROJECT NO 138941	CHECKED BY Author
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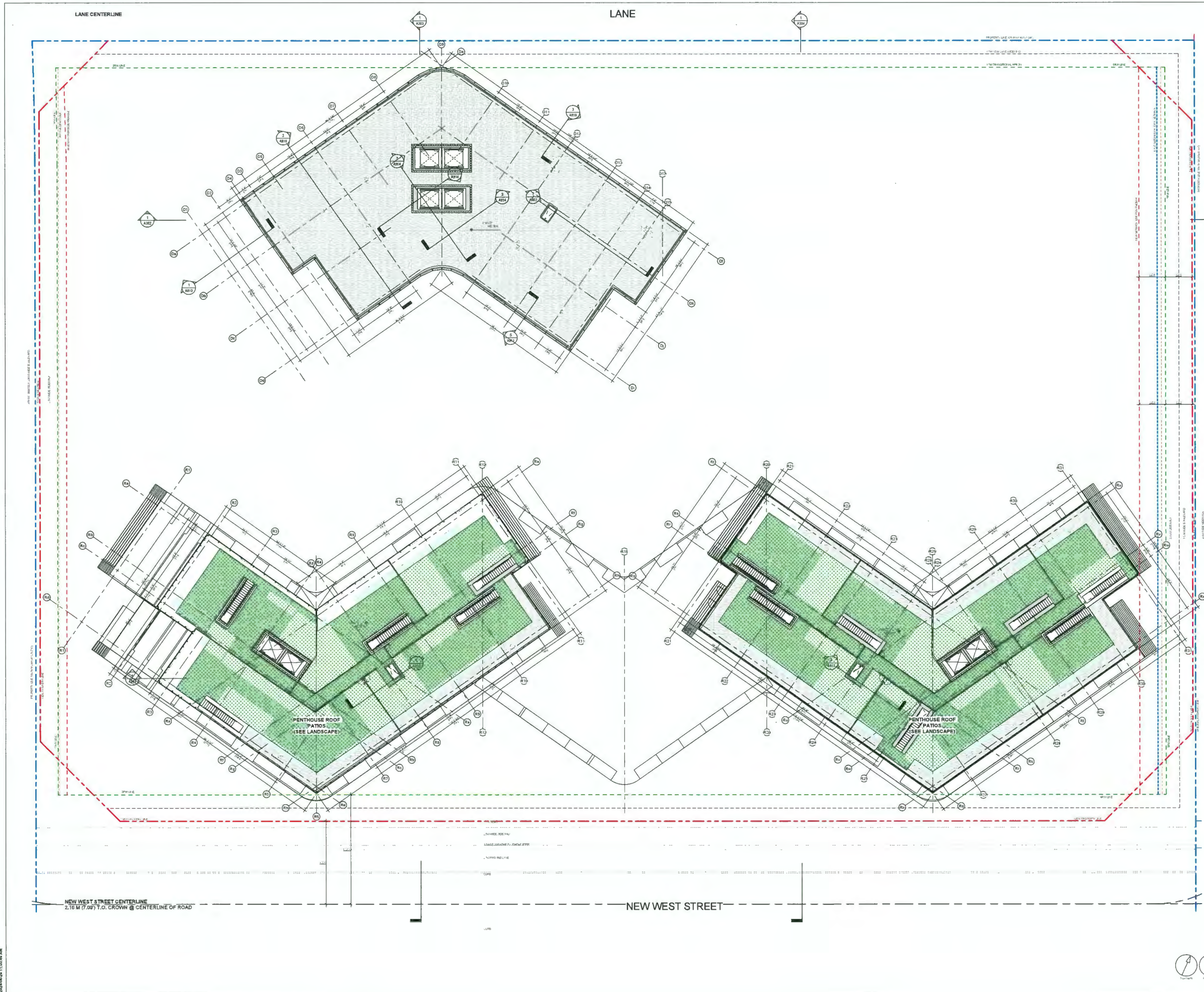
SHEET TITLE
LEVEL 15 FLOOR PLAN

SHEET NUMBER A215	ISSUE 2
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 - SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHUBS, AND SHOWERS
 - SUIT UNITS TO COMPLY WITH ALL COR REQUIREMENTS



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TEL: 604 683 8737
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ISSUE NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	DP BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
APNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604.708.0188

LEGEND

- DEDICATION: [Hatched pattern]
- SRW: [Dashed line]
- NEW PROPERTY LINE: [Red dashed line]
- ORIGINAL PROPERTY LINE: [Blue dashed line]
- SETBACK: [Red dashed line]
- ORA BUILDING EDGE: [Blue dashed line]
- EAST NEIGHBOUR, ORA, SETBACK: [Blue dashed line]

DP 21-945917
April 25, 2024
Plan # Z3

SEAL

PRIME CONSULTANT
ARCADIS
1355 West Pender Street - Suite 100
Vancouver, BC V6E 4B1 Canada
Tel: 604 683 8737
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PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO.
139841

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
LEVEL 16 ROOF PLAN

SHEET NUMBER
A216

ISSUE
2

2024-04-25 11:00:46 AM

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX PANEL COLOUR LIGHT GREY SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FINISHED SHADOW BOX COLOUR LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SCFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY COLOUR LIGHT GREY IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY COLOUR CHARCOAL GREY IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION FINISH COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3/4" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY / CW PREFIN ALUM. SCREEN ASSEMBLY COLOUR MATTI TONE
- 13 7/8" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY / CW PREFIN ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SCFFIT ASSEMBLY COLOUR WHITE
- 19 8" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION, FIBERGLASS WOOL
- 21 METAL BIKE RACK

CLIENT
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VANCOUVER, BC, V6C 3L6

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NO.	DESCRIPTION	DATE
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2	DP BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
ARNO MATIS ARCHITECTURE
704-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604.708.0188

LEGEND

DEDICATION	[Symbol]
SRW	[Symbol]
NEW PROPERTY LINE	[Symbol]
ORIGINAL PROPERTY LINE	[Symbol]
SETBACK	[Symbol]
ORA BUILDING EDGE	[Symbol]
EAST NEIGHBOUR: ORA SETBACK	[Symbol]

DP 21-945917
April 25, 2024
Plan # 24

SEAL
PRIME CONSULTANT
ARCADIS
1285 West Pender Street - Suite 100
Vancouver BC V6E 4B1 Canada
Tel: 604.883.8787
www.arcadis.com

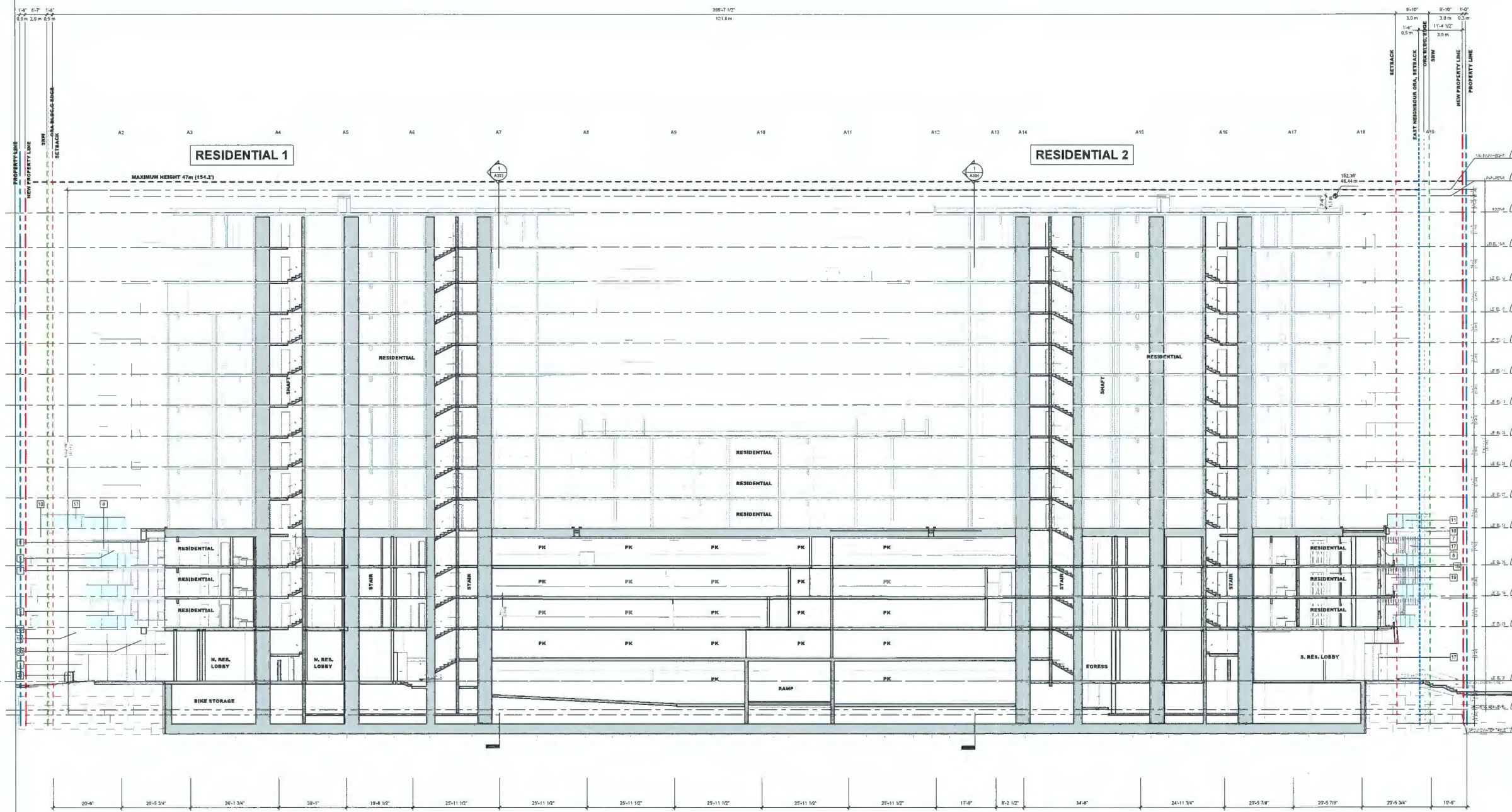
PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
136941

DESIGNED BY Author	CHECKED BY Checker
PROJECT MGR. Designer	APPROVED BY Approver

SHEET TITLE
BUILDING SECTION A-A

SHEET NUMBER A301	ISSUE 2
----------------------	------------



20240425 11:47:52 AM

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED 8300 CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED 8300 CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FIRNED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-SIDED 8300 CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM NON-INSULATED ROFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 12 2'-0" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY / CAN PREFIN ALUM SCREEN ASSEMBLY COLOUR MATTE TONE
- 13 2'-0" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY / CAN PREFIN ALUM PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM INSULATED ROFFIT ASSEMBLY COLOUR WHITE
- 19 6'-0" HIGH PERFORATED ALUM PRIVACY SCREEN WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 20 TRIBURAL INSULATION 5" MINERAL WOOL
- 21 METAL BIKE RACK

CLIENT
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VANCOUVER, BC V5C 3L6

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Vancouver, BC V6C 4E1 Canada
Tel: 604.683.8727
www.arcadis.com

NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	TOP SIGNO SUBMISSION	2024-04-25

CONSULTANTS



APNO MATIS ARCHITECTURE
204-1548 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T: 604.708.0188

LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR: ORA: SETBACK

DP 21-945917
April 25, 2024
Plan # 25

SEAL

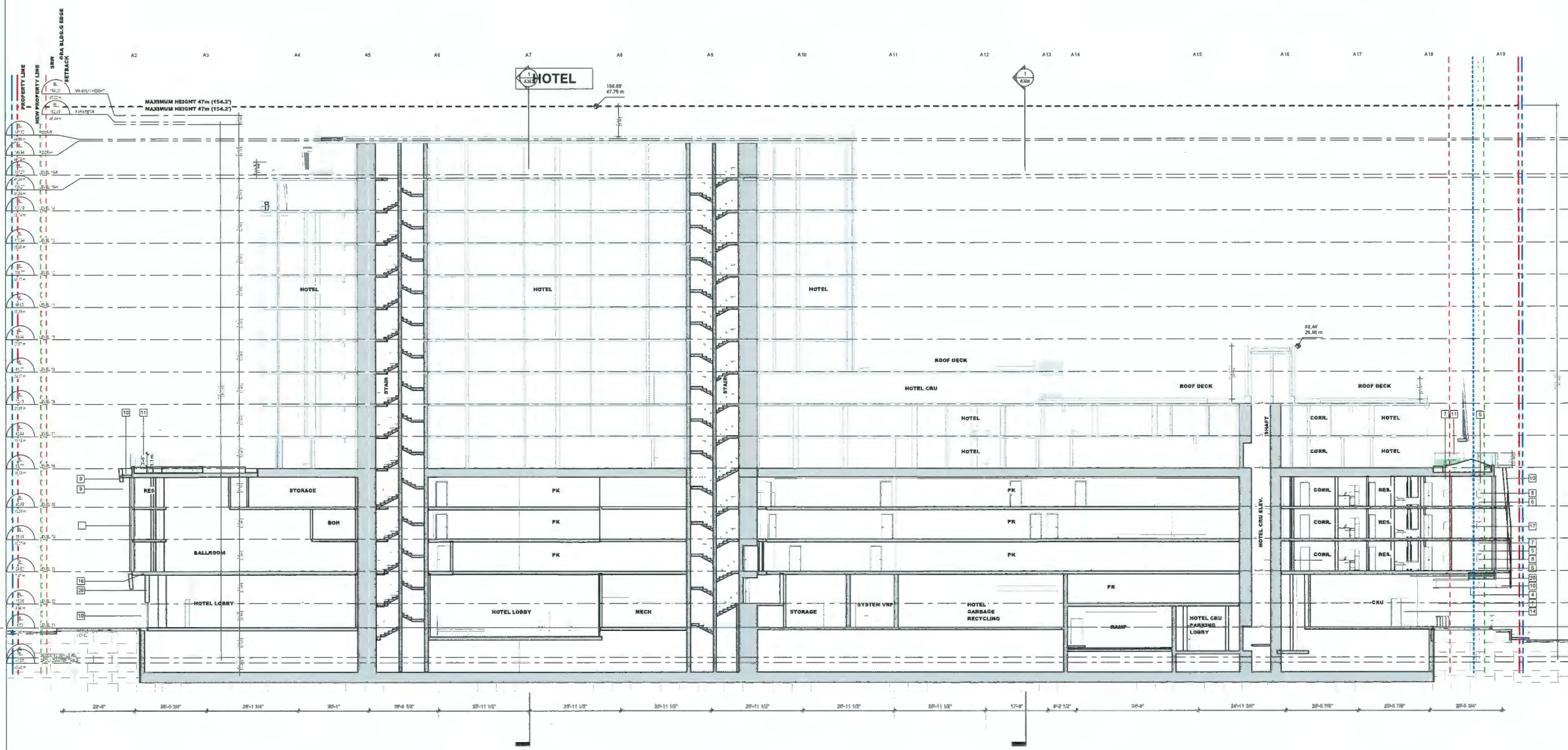
PRIME CONSULTANT
ARCADIS
1385 West Pender Street - Suite 100
Vancouver, BC V6C 4E1 Canada
Tel: 604.683.8727
www.arcadis.com

PROJECT
Elmbridge Way
8851-8871 Elmbridge Way
Richmond, BC

PROJECT NO
136941
DRAWN BY
Author
PROJECT MGR
Designer
SHEET TITLE
BUILDING SECTION B-B

CHECKED BY
Client
APPROVED BY
Approver

SHEET NUMBER
A302
REVISION
2



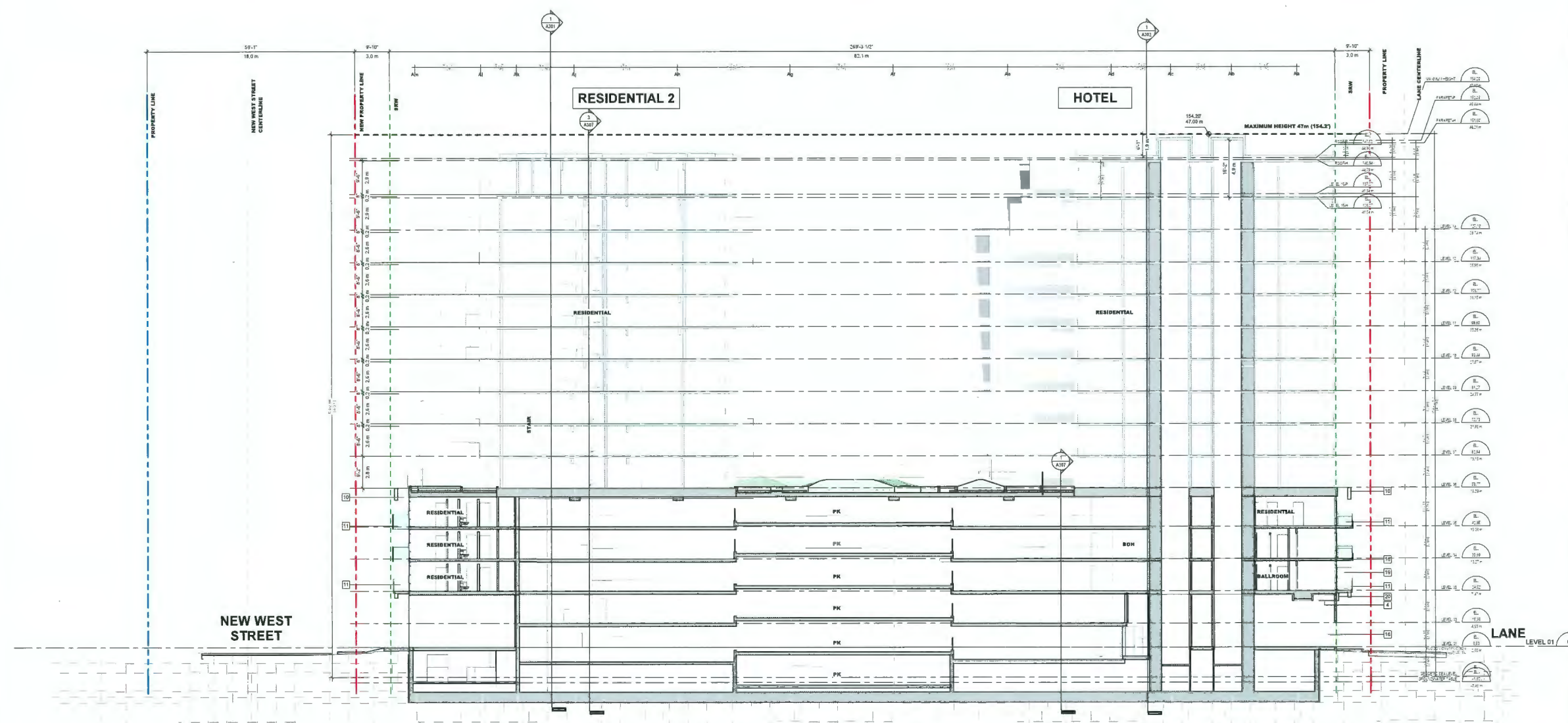
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MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-8000 SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-8000 SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC TITRATED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-8000 SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY, COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNIT'S IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL, FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL, FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL, FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VIEW - DOUBLE GLAZED INSULATED VISION GLASS UNIT'S IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR CHARCOAL GREY
- 9 PREFIN. ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3'-4" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY / CW PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR MATTE TONE
- 13 3'-4" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY / CW PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 8'-4" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION, 5" MINERAL WOOL
- 21 METAL BIKERACK



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ISSUES	DESCRIPTION	DATE
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2	TOP BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
 ARNO MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T: 604.708.0188

LEGEND
 DEDICATION
 SRW
 NEW PROPERTY LINE
 ORIGINAL PROPERTY LINE
 SETBACK
 ORA BUILDING EDGE
 EAST NEIGHBOUR ORA SETBACK

DP 21-945917
 April 25, 2024
 Plan # Z 6

SEAL

PRIME CONSULTANT
ARCADIS
 1205 West Pender Street - Suite 700
 Vancouver BC V6E 4B1 Canada
 Tel: 604.682.8797
 www.arcadis.com

PROJECT
 Elmburgh Way
 6851-6871 Elmburgh Way
 Richmond, BC

PROJECT NO 136841	CHECKED BY Chester
DRAWN BY Author	APPROVED BY Approver

SHEET TITLE
BUILDING SECTION C-C

SHEET NUMBER A303	ISSUE 2
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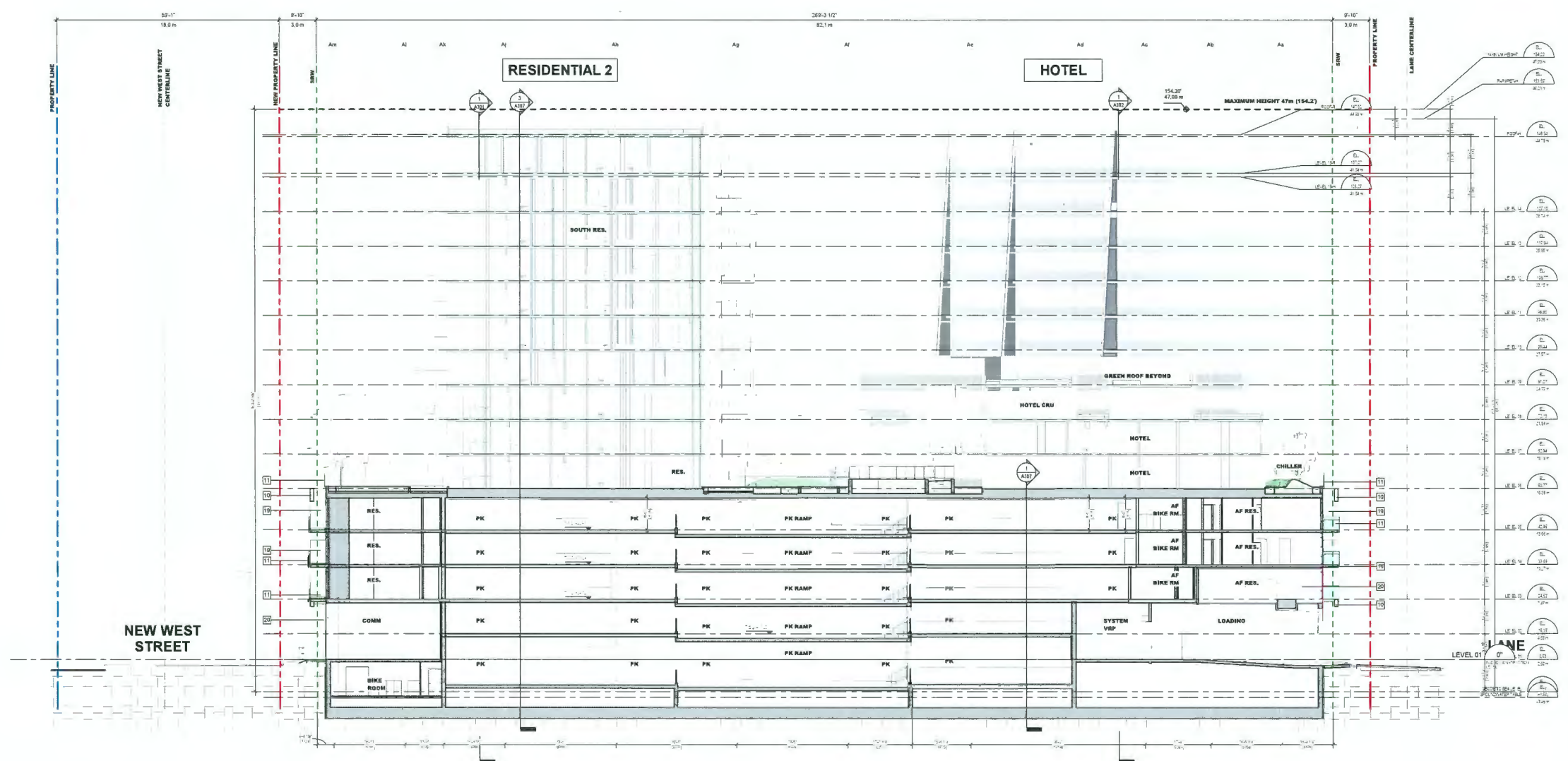
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MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSU CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSU CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FINITED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-SIDED SSU CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 2'-0" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY C/W PREFIN ALUM. SCREEN ASSEMBLY COLOUR WHITE/TONE
- 13 3'-0" HIGH PREFIN ALUM. GUARD SUPPORT ASSEMBLY C/W PREFIN ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 6'-0" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BIKE RACK



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2	TOP BOARD SUBMISSION	2024-04-25

CONSULTANTS
AM
 ARNO MATIS ARCHITECTURE
 204-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T: 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # Z-7

PRIME CONSULTANT
ARCADIS
 1285 West Pender Street - Suite 100
 Vancouver, BC, V6E 4B1 Canada
 Tel: 604.683.5767
 www.arcadis.com

PROJECT
Elmbridge Way
 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 138941

DRAWN BY
 ANDREW

CHECKED BY
 CHESTER

PROJECT MGR.
 DESIGNER

APPROVED BY
 APPROVER

SHEET TITLE
BUILDING SECTION D-D

SHEET NUMBER
A304

ISSUE
2

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FINISHED SHADOW BOX COLOUR LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM NON-INSULATED ROOF ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION / BURNHIDE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 12 3" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CAN PREFIN ALUM SCREEN ASSEMBLY COLOUR MATTIE TONE
- 13 3" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CAN PREFIN ALUM PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY BRIDGE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM INSULATED ROOF ASSEMBLY COLOUR WHITE
- 19 6" HIGH PERFORATED ALUM PRIVACY SCREEN WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BRK RACK

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formerly (R Group Professional Services (Canada) Inc.)

ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2024-02-07
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CONSULTANTS



ARNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T 601.708.0188

LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR ORA SETBACK

DP 21-945917
April 25, 2024
Plan # 2 B

PRIME CONSULTANT
ARCADIS
1385 West Pender Street - Suite 100
Vancouver BC V6E 4B1 Canada
tel 604 683 9797
www.arcadis.com

PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

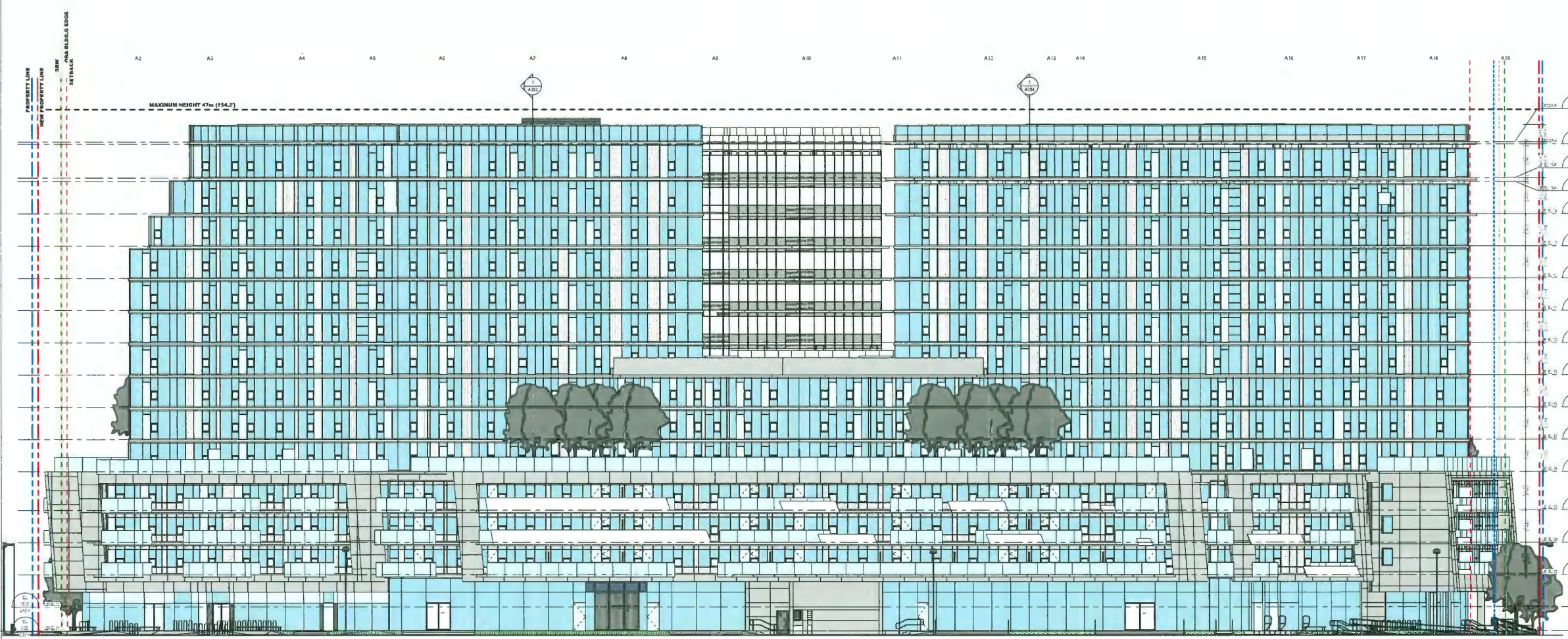
PROJECT NO
136941

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
BUILDING ELEVATION - WEST

SHEET NUMBER
A401

ISSUE
2



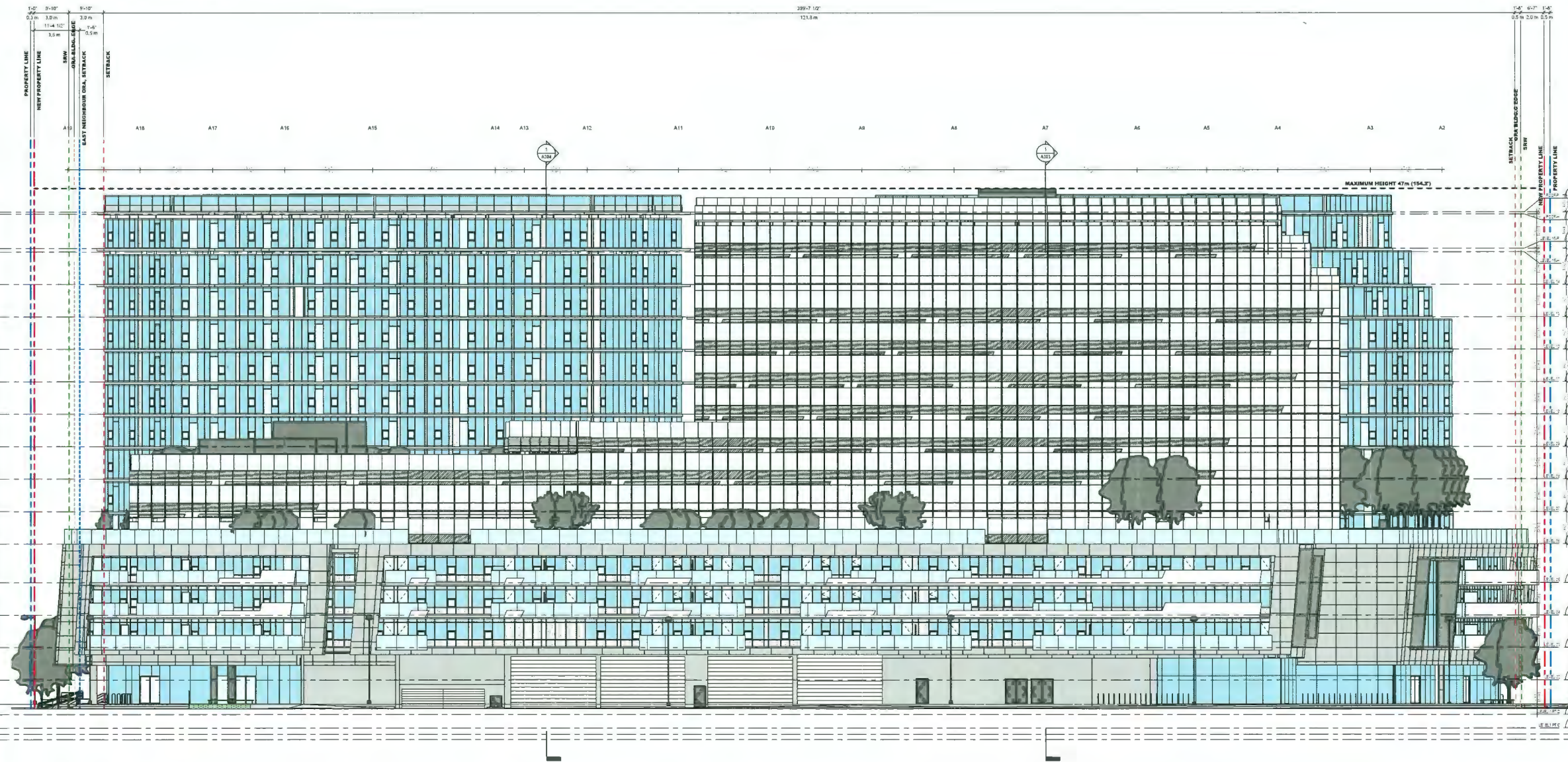
2024-04-25 11:01:10 AM

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE A-SIDED ISG CURTAIN WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE A-SIDED ISG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FITTED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE A-SIDED ISG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM NONINSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN ALUM PERFORATED SCREEN FRAME ASSEMBLY WEATHER PROTECTION SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 12 3'-6" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CW PREFIN ALUM SCREEN ASSEMBLY COLOUR MATTE TONE
- 13 3'-6" HIGH PREFIN ALUM GUARD SUPPORT ASSEMBLY CW PREFIN ALUM PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL DRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 6'-4" HIGH PERFORATED ALUM PRIVACY SCREEN WITH PREFIN ALUM SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BME RACK



CLIENT
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VANCOUVER, BC, V6C 3L6

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NO.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	ISSUED FOR SUBMISSION	2024-04-25

CONSULTANTS
AM
ARNO MATIS ARCHITECTURE
204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T. 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR, ORA SETBACK	

DP 21-945917
April 25, 2024
Plan # Z9

SEAL:
LEVEL 01 / 0'

PRIME CONSULTANT
ARCADIS
1285 West Pender Street - Suite 100
Vancouver, BC V6E 4B1 Canada
tel 604 683 5797
www.arcadis.com

PROJECT
Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
138941
DRAWN BY
Author
CHECKED BY
Checker
PROJECT MGR
Designer
APPROVED BY
Approver
SHEET TITLE
BUILDING ELEVATION - EAST

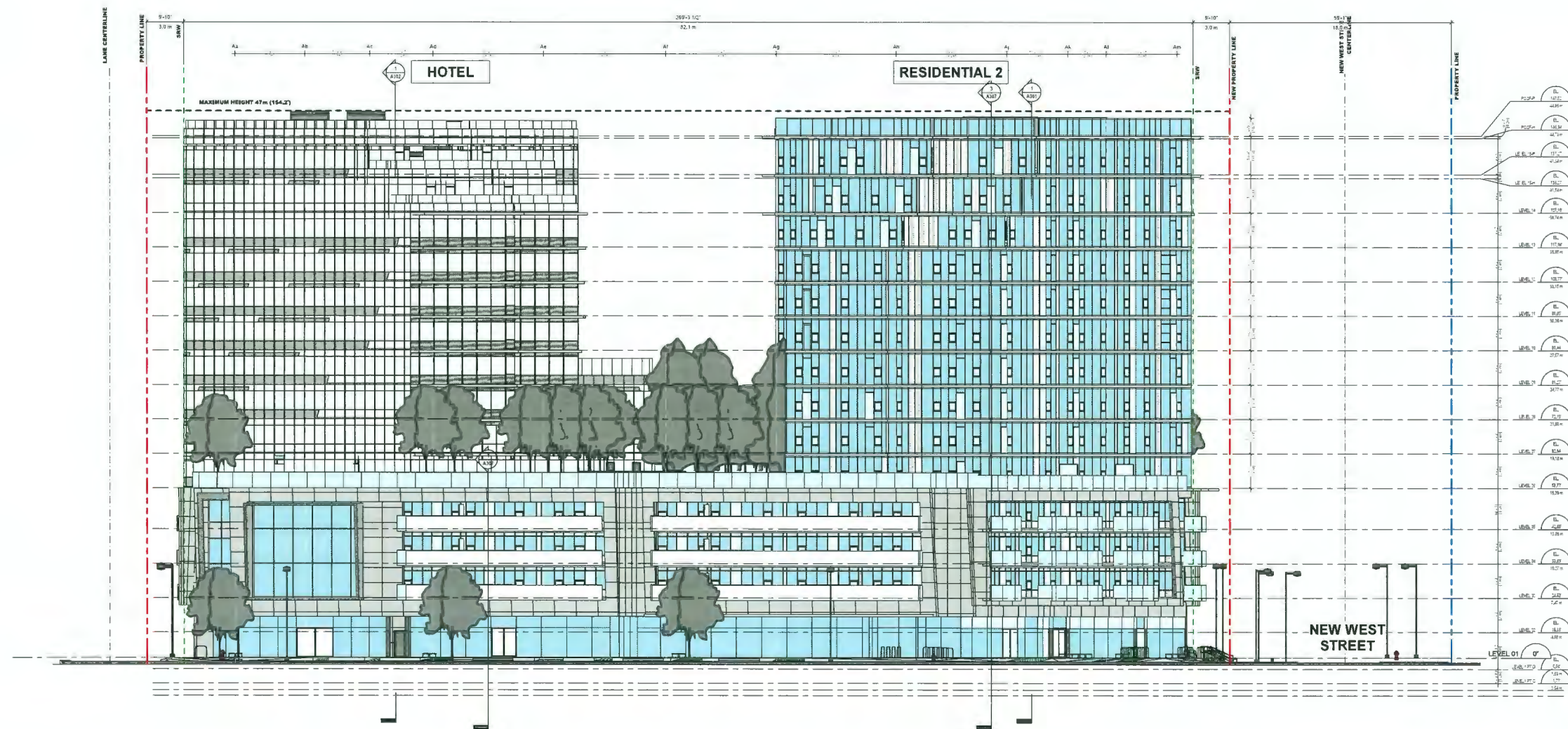
SHEET NUMBER
A402
ISSUE
2

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED ISO CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED ISO CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC FINISHED SHADOW BOX COLOUR LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED ISO CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY COLOUR CHARCOAL GREY IN HIGH PERFORMANCE WINDOW WALL SYSTEM / MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT / DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 9 PREFIN. ALUM. PERFORATED SCREEN FRAME ASSEMBLY / WEATHER PROTECTION FINISHES COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3'-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. SCREEN ASSEMBLY COLOUR MATTE TONE
- 13 3'-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL DRILLS ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 8'-0" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION, 5" MINERAL WOOL
- 21 METAL BIKE RACK



CLIENT
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 VANCOUVER, BC V6C 3L6

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2	DP BOARD SUBMISSION	2024-04-25

CONSULTANTS

AM

APNO MATIS ARCHITECTURE
 704-1540 W 2ND AVE, VANCOUVER, BC
 V6J 1H2 T. 604.708.0188

LEGEND

DEDICATION	
SRW	
NEW PROPERTY LINE	
ORIGINAL PROPERTY LINE	
SETBACK	
ORA BUILDING EDGE	
EAST NEIGHBOUR: ORA SETBACK	

DP 21-945917
 April 25, 2024
 Plan # 30

SEAL

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 1385 West Pender Street - Suite 100
 Vancouver BC V6E 4B1 Canada
 Tel: 604 683 8797
 www.arcadis.com

PROJECT
 Elmbriidge Way
 6951-6871 Elmbriidge Way
 Richmond, BC

PROJECT NO
 138941

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
 BUILDING ELEVATION - NORTH

SHEET NUMBER A403	ISSUE 2
-----------------------------	-------------------

MATERIAL LEGEND

- 1 DOUBLE GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 2 DOUBLE GLAZED SHADOW BOX (PANEL COLOUR LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 3 TRIPLE GLAZED WHITE CERAMIC TITRETTED SHADOW BOX (COLOUR LIGHT GREY) SPANDREL IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM FRAME COLOUR CHARCOAL GREY
- 4 METAL ALUM. NON-INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 5 DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 6 DOUBLE GLAZED SPANDREL ASSEMBLY (COLOUR LIGHT GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 7 METAL SPANDREL ASSEMBLY (COLOUR CHARCOAL GREY) IN HIGH PERFORMANCE WINDOW WALL SYSTEM MASTER WALL FRAME COLOUR CHARCOAL GREY
- 8 OPERABLE VENT - DOUBLE GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY PROTECTION SUNSHADE COLOUR WHITE
- 9 PREFIN. ALUM. PERFORATED SCREEN FRAME ASSEMBLY WEATHER PROTECTION SUNSHADE COLOUR WHITE
- 10 METAL PANEL ASSEMBLY COLOUR WHITE
- 11 GLASS GUARD WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 12 3"-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. SCREEN ASSEMBLY COLOUR HATTETONE
- 13 7'-6" HIGH PREFIN. ALUM. GUARD SUPPORT ASSEMBLY CW PREFIN. ALUM. PERFORATED SCREEN ASSEMBLY COLOUR WHITE

MATERIAL LEGEND

- 14 STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE
- 15 MECHANICAL GRILLE ASSEMBLY COLOUR CHARCOAL GREY
- 16 EXPOSED STRUCTURAL CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING COLOUR WHITE
- 17 BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM FRAME COLOUR CHARCOAL GREY
- 18 METAL ALUM. INSULATED SOFFIT ASSEMBLY COLOUR WHITE
- 19 6'-4" HIGH PERFORATED ALUM. PRIVACY SCREEN WITH PREFIN. ALUM. SUPPORT ASSEMBLY COLOUR WHITE
- 20 THERMAL INSULATION 5" MINERAL WOOL
- 21 METAL BIKE RACK



CLIENT
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2	FOR BOARD SUBMISSION	2024-04-25

CONSULTANT'S



APNO MATIS ARCHITECTURE
704 - 1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T. 604 708.0188

LEGEND

- DEDICATION
- SRW
- NEW PROPERTY LINE
- ORIGINAL PROPERTY LINE
- SETBACK
- ORA BUILDING EDGE
- EAST NEIGHBOUR ORA SETBACK

DP 21-945917
April 25, 2024
Plan # 31

SEAL

PRIME CONSULTANT



1285 West Pender Street - Suite 100
Vancouver, BC V6E 4B1 Canada
tel 604 683 8787
www.arcadis.com

PROJECT

Elmbridge Way
6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO

1306941

DRAWN BY

Author

CHECKED BY

Chester

PROJECT MGR

Designer

APPROVED BY

Approver

SHEET TITLE

BUILDING ELEVATION - SOUTH

SHEET NUMBER
A404

ISSUE
2

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MATERIAL BOARD

PODIUM COMMERCIAL



- A** GLAZED VISION INSULATED GLASS UNIT IN HIGH PERFORMANCE 2-SIDED SSG STOREFRONT GLAZING SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- C** GLAZED SHADOW BOX (PANEL COLOUR: LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM, FRAME COLOUR: CHARCOAL GREY
- L** STRUCTURAL GLASS DOOR ASSEMBLY WITH STAINLESS STEEL HARDWARE



- G** EXPOSED CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING, COLOUR: WHITE, WITH TIE-HOLES AT PODIUM FRAMES



- I** PREFIN. ALUM. PERFORATED SCREEN / FRAME ASSEMBLY / WEATHER PROTECTION/ SUNSHADE, COLOUR: WHITE

RESIDENTIAL TOWERS & PODIUM RESIDENTIAL



- B** GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- D** GLAZED SHADOW BOX (PANEL COLOUR: LIGHT GREY) SPANDREL INSULATED GLASS UNIT IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY
- F** OPERABLE VENT - GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY



- G** EXPOSED CONCRETE - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING, COLOUR: WHITE, WITH TIE-HOLES AT PODIUM FRAMES
- H** EXPOSED CONCRETE SOFFITS - ARCHITECTURAL FINISH WITH ELASTOMERIC FINISH COATING, COLOUR: WHITE (STUCCO RENDERED TO MATCH WHERE DROP FOR INSULATION IS REQUIRED, COLOUR TO MATCH)



- J** 3'-6" HIGH GLASS GUARD, FRAME COLOUR: CHARCOAL GREY



- K** FULL HEIGHT FRAMELESS FROSTED STRUCTURAL GLASS PRIVACY SCREEN WITH PREFIN. ALUM. CLIPS

HOTEL TOWER



- B** GLAZED INSULATED VISION GLASS UNITS IN HIGH PERFORMANCE 4 SSG CURTAIN WALL SYSTEM, LOW-E GLASS, FRAME COLOUR: CHARCOAL GREY
- D** WHITE CERAMIC FRITTED GLAZED SHADOW BOX (IN COMBINATION WITH LIGHT GREY SPANDREL IN HIGH PERFORMANCE 4-SIDED SSG CURTAIN WALL GLAZING SYSTEM, FRAME COLOUR: CHARCOAL GREY

- M.** BALCONY SINGLE DOOR ASSEMBLY IN HIGH PERFORMANCE WINDOW WALL SYSTEM, FRAME COLOUR: CHARCOAL GREY
- N.** MECHANICAL GRILLE ASSEMBLY, COLOUR: CHARCOAL GREY



2 ISSUED FOR DEVELOPMENT PERMIT 2021-12-21
1 ISSUED FOR REZONING PERMIT 2021-04-04

N.J. DESCRIPTION DATE



DP 21-945917
April 25, 2024
Plan # 32

ARNO MATIS ARCHITECTURE
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V6J 1H2 T. 604.708.0188

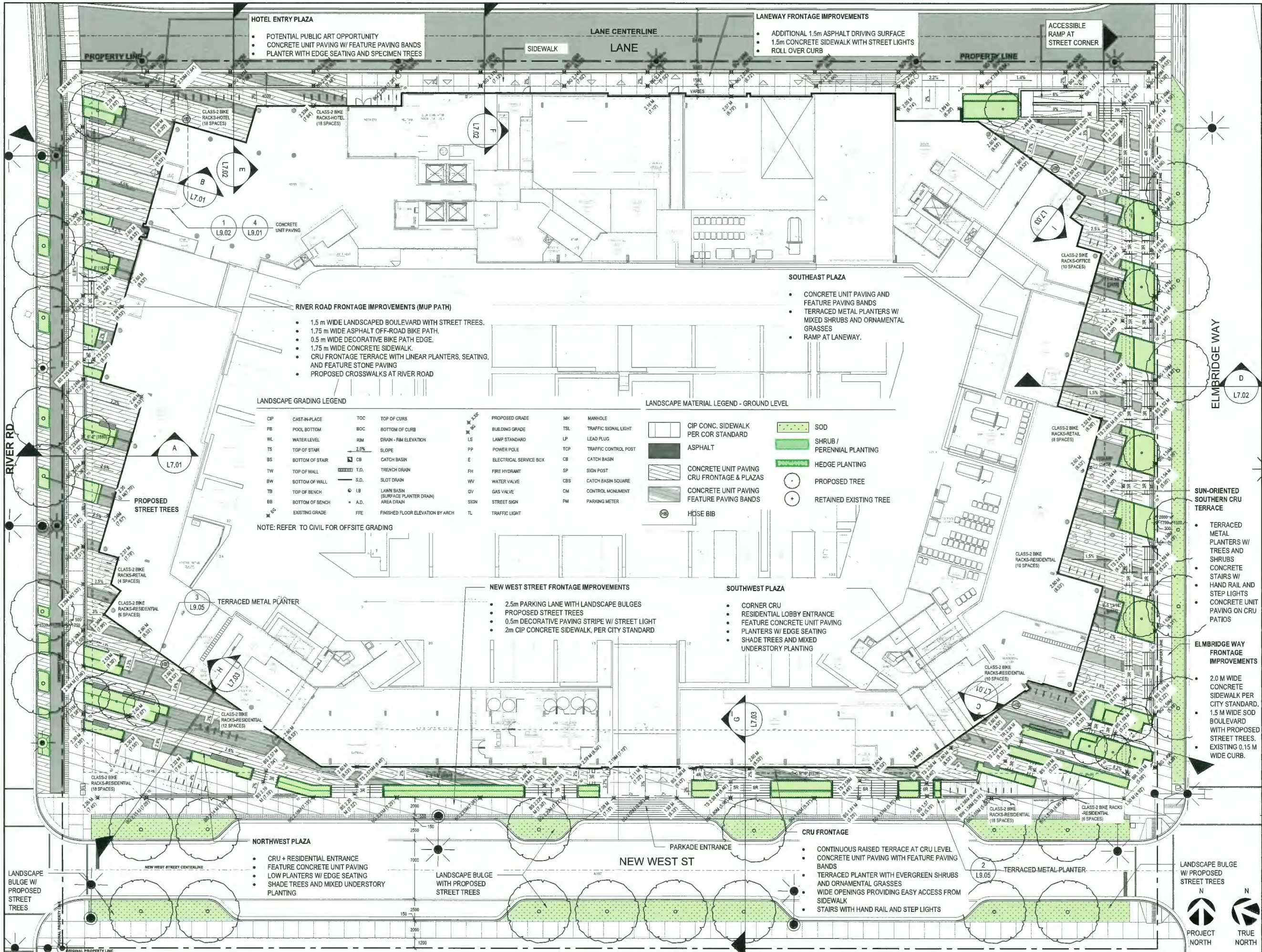
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6851-6871
Elmbridge Way
Richmond, BC
Canada

PROJECT NO 202006
STATUS DE
DATE ISSUED 2021-10-27
SCALE 12" = 1'-0"
DRAWN BY IDS
CHECKED BY SN

MATERIALS

A.112 ISSUE NO 2



CLIENT:
LANDA
 GLOBAL PROPERTIES

PROJECT TEAM:
 ARCHITECT
 Arno Matis Architecture
 204 - 1540 West 2nd Ave
 Vancouver, BC V6J 1H2
 ARCHITECT
 Arcadis IBI Group
 Suite 700 - 1285 West Pender Street
 Vancouver, BC CA V6E 4B1
 LANDSCAPE ARCHITECT
 PFS Studio
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 Vancouver, BC V6J 1K7

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2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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 Vancouver, BC V6J 1K7
 604.776.9166
 pfs@pfs.ca
 www.pfs.ca

STAMP:
DP 21-945917
 April 25, 2024
 Plan # 33

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
GROUND LEVEL
LANDSCAPE PLAN

PFS PROJECT NUMBER:
 20013
 DATE:
 04/25/2024
 DRAWN BY:
 JJJR/JGC
 CHECKED BY:
 JS

SCALE:
 1/16" = 1'-0"
 DWG. NO.:
L2.01

P:\2024\6851-6871 Elmbidge Way\6851-6871 AUTO CAD\DP AND ADP PLANS\2024-04-25\DP 21-945917-L2.01 Ground Landscape Plan.dwg 4/25/24 10:21 AM

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 10, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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STAMP:

DP 21-945917
April 25, 2024
Plan # 35

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LEVEL 8
LANDSCAPE PLAN

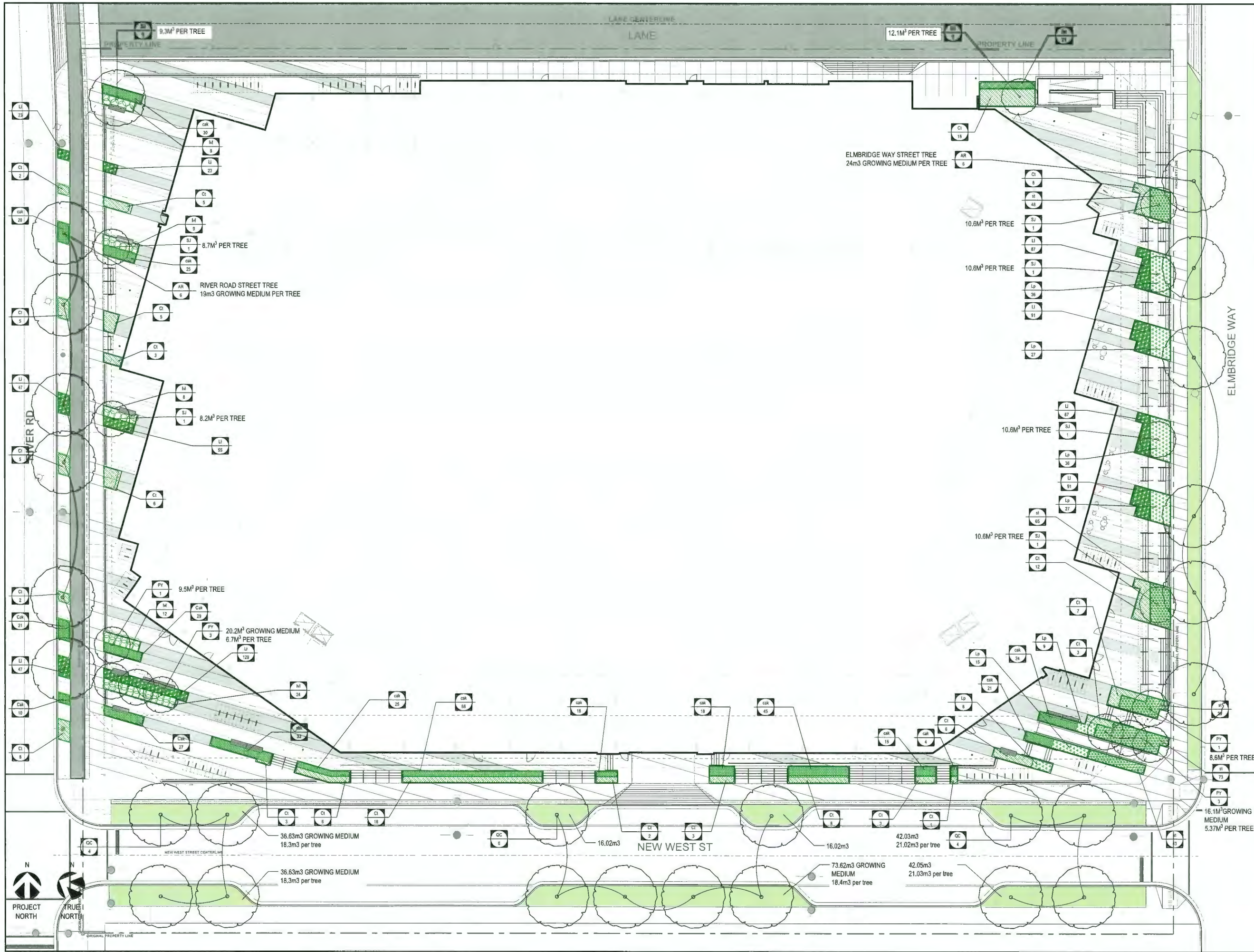
PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JJJR/JGC
CHECKED BY: JS

SCALE:
1/16" = 1'-0"

DWG. NO.:
L2.03





CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Malis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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604.763.5188
pfs@pfs.studio
www.pfs.studio

STAMP:

DP 21-945917
April 25, 2024
Plan # 37

PROJECT NAME:

6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:

GROUND LEVEL
PLANTING PLAN

PFS PROJECT NUMBER:

20013

DATE:

04/25/2024

DRAWN BY:

JLJR/JGC

CHECKED BY:

JS

SCALE:

DWG. NO.:

L4.01

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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ISSUANCE:

No.	Date	Details
1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
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3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 4, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

PFS STUDIO
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1777 West 3rd Avenue
Vancouver BC V6J 1K7
604.736.588
pfs@pfs.ca
www.pfs.ca

STAMP:

DP 21-945917
April 25, 2024
Plan # 38

PROJECT NAME:

6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 6
PLANTING PLAN

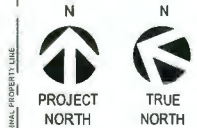
PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JL/JRJGC
CHECKED BY: JS

SCALE:

DWG. NO:

L4.02



CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis |BI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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604-756-2318
pfs@pfs.ca
www.pfs.ca

STAMP:

DP 21-945917
April 25, 2024
Plan # 39

PROJECT NAME:

6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:

LEVEL 8
PLANTING PLAN

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JLU/JJGC
CHECKED BY: JS

SCALE:

DWG. NO.:
L4.03



PROPERTY LINE

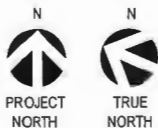
LANE

PROPERTY LINE

RIVER RD

ELMBRIDGE WAY

NEW WEST ST



CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT
PFS Studio
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No.	Date	Details
1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2021	ISSUED FOR 30% BP
4	AUG 28, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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DP 21-945917
April 25, 2024
Plan # 40

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

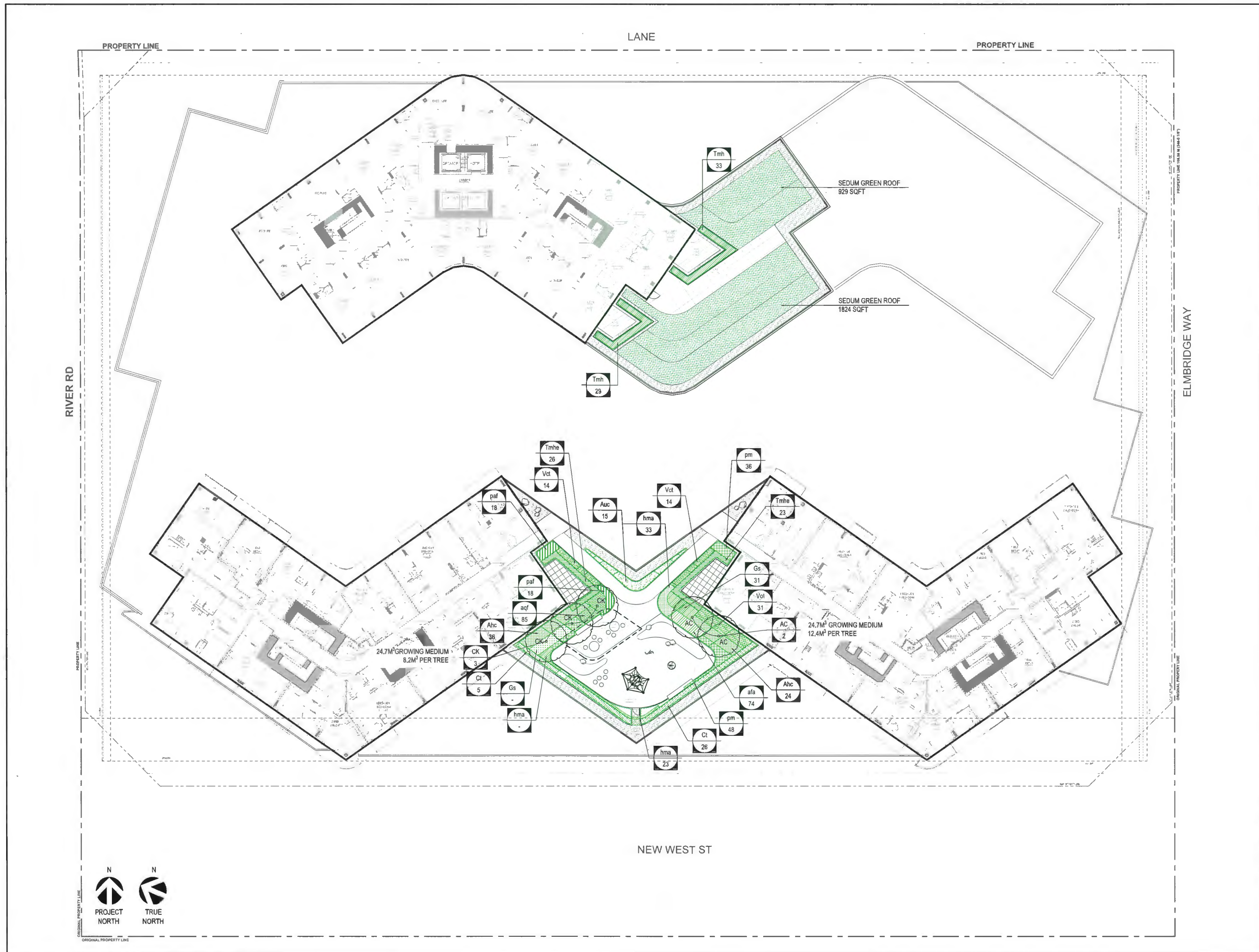
DRAWING TITLE:
LEVEL 9
PLANTING PLAN

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

DRAWN BY: JLJR/JGC CHECKED BY: JS

SCALE:

DWG. NO.:
L4.04



CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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604.756.5155
pfs@pfs.ca

STAMP:

DP 21-945917
April 25, 2024
Plan # 44

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
PODIUM LANDSCAPE
SECTIONS

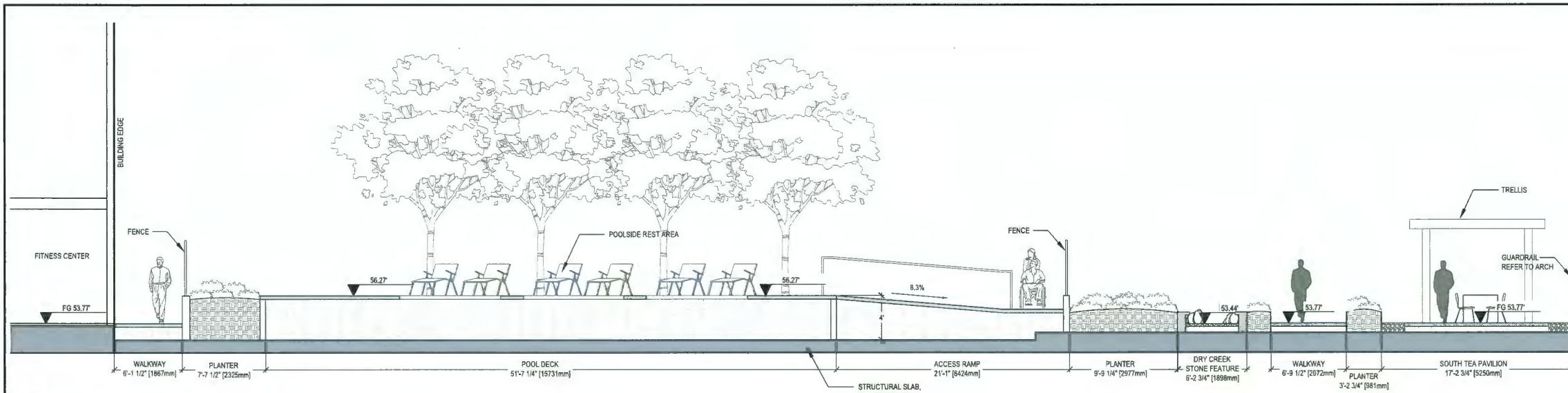
PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

DRAWN BY: JLU/JJC CHECKED BY: JS

SCALE:
3/16" = 1'

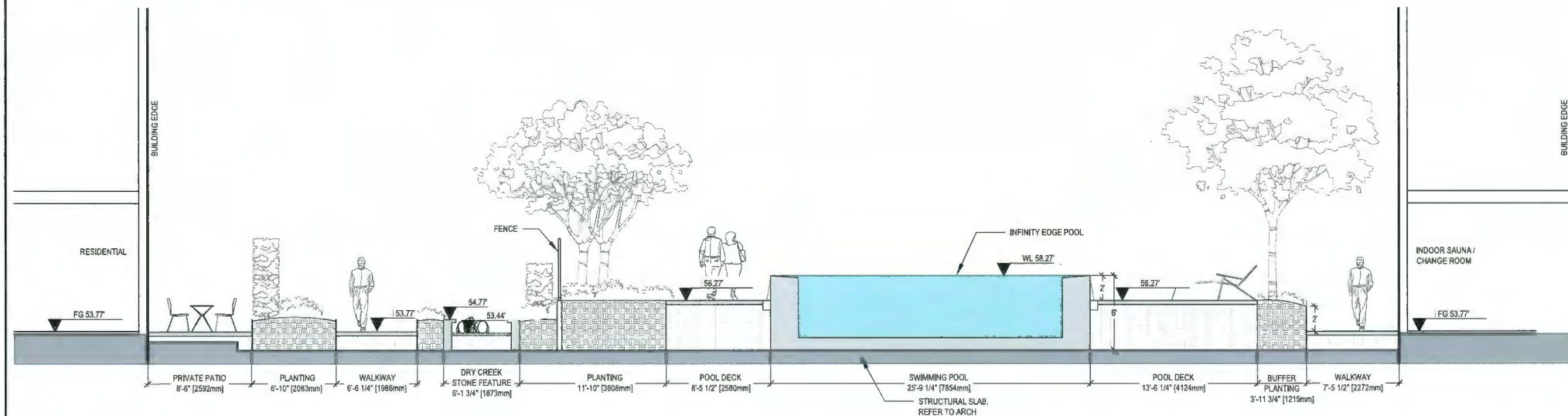
DWG. NO.:

L7.05



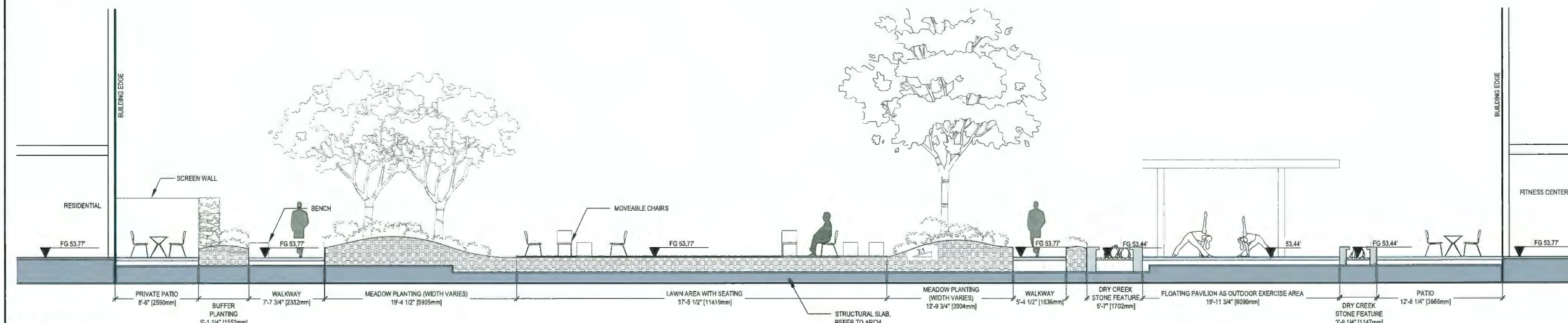
SECTION N - POOL

SCALE: 3/16" = 1'



SECTION O - POOL

SCALE: 3/16" = 1'



SECTION P - PUTTING GREEN

SCALE: 3/16" = 1'

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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3	APR 4, 2023	ISSUED FOR 30% SP
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April 25, 2024
Plan # 45

PROJECT NAME:
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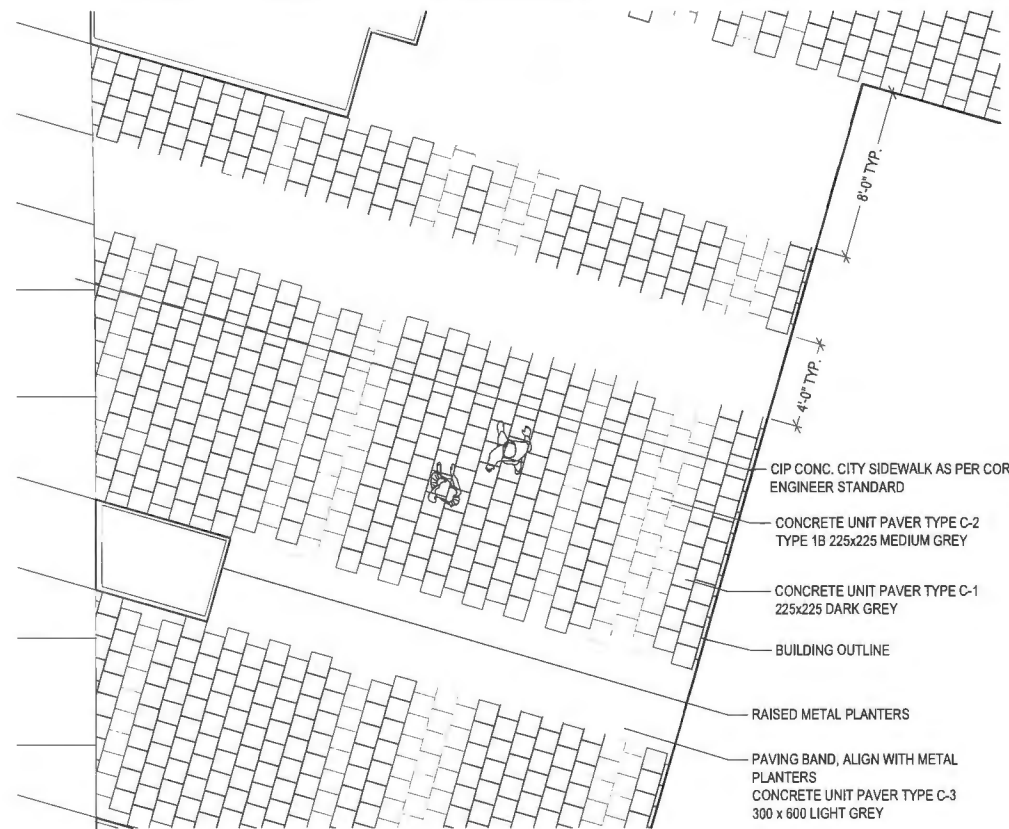
DRAWING TITLE:
LANDSCAPE DETAILS
STAIR & RAMP

PFS PROJECT NUMBER: 20013 DATE: 04/25/2024

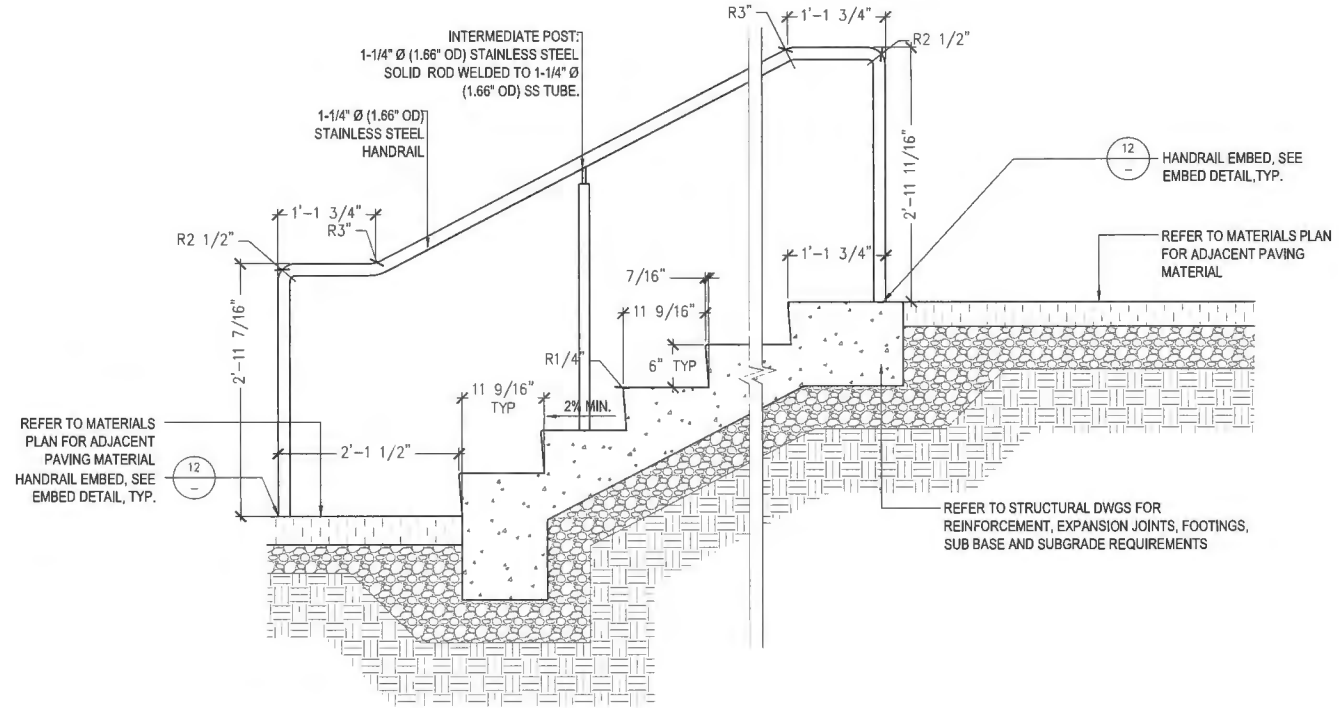
DRAWN BY: JLJR/JGC CHECKED BY: JS

SCALE:
AS SHOWN

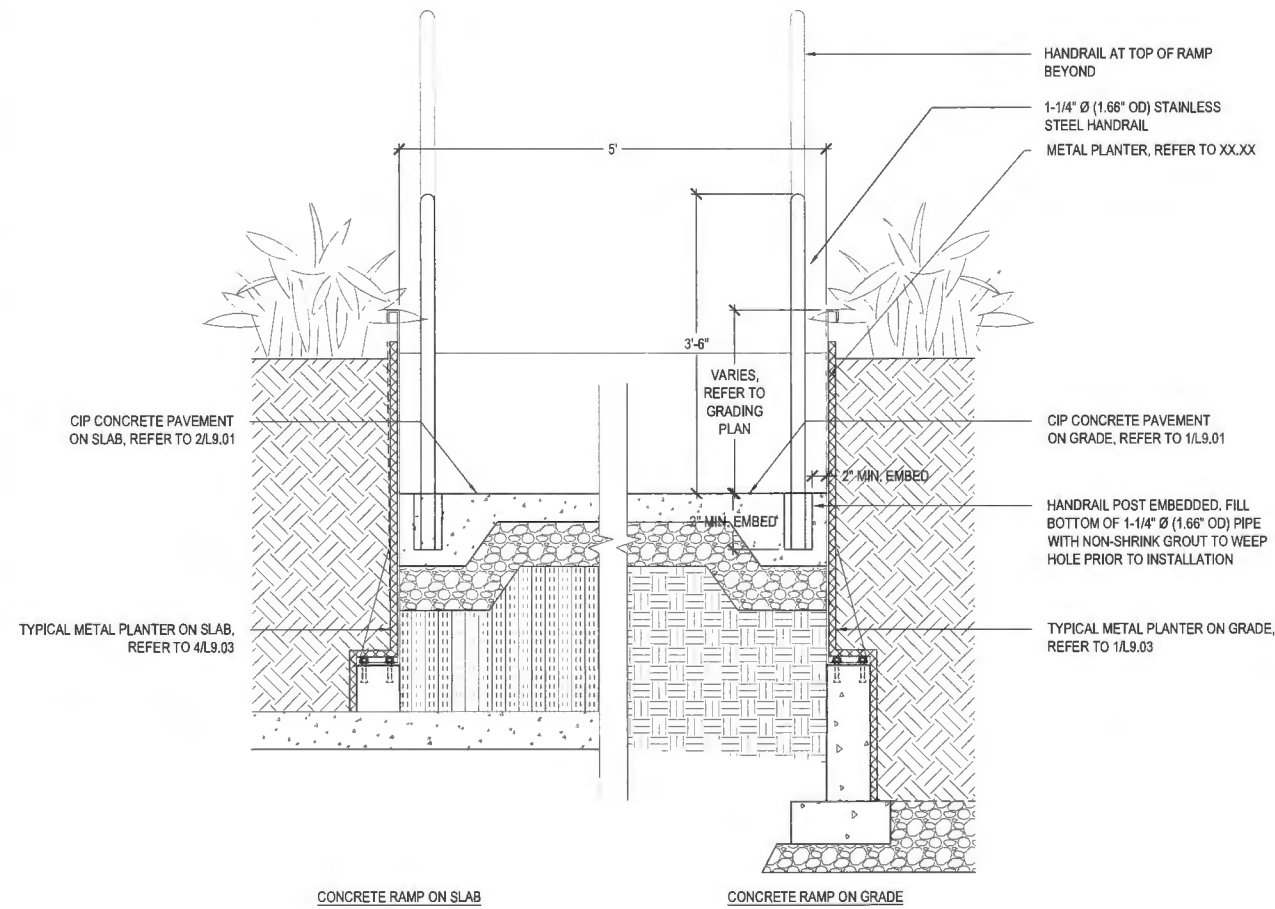
DWG. NO.:
L9.02



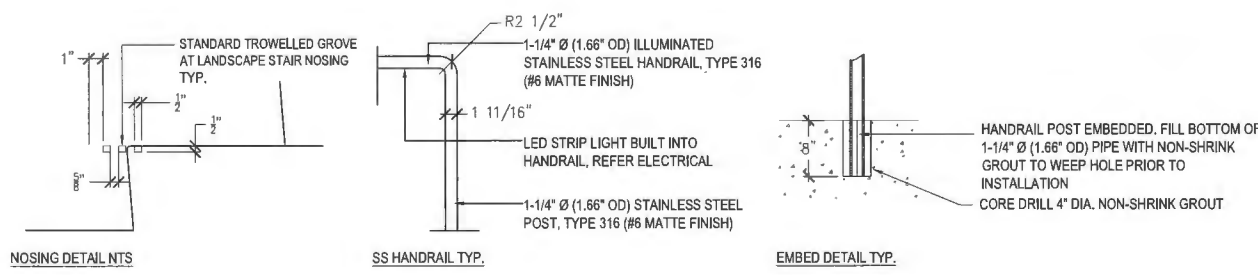
1 GROUND LEVEL PAVING PATTERN
SCALE: 1/4" = 1'-0"



2 TYPICAL CONCRETE STAIR AT GROUND LEVEL
SCALE: 1" = 1'-0"



4 TYPICAL CONCRETE RAMP ON GRADE / ON SLAB
SCALE: 1" = 1'-0"



3 TYPICAL STAIR ENLARGEMENT DETAILS
SCALE: NTS

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Malis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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DP 21-945917
April 25, 2024
Plan # 46

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

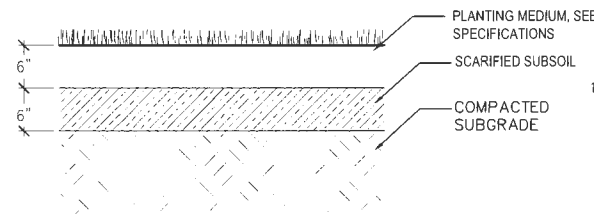
DRAWING TITLE:
LANDSCAPE DETAILS
PLANTING

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

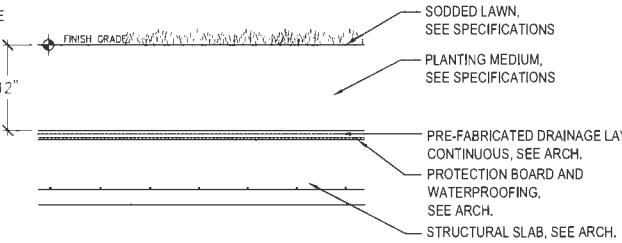
DRAWN BY: JLUR/JGC
CHECKED BY: JS

SCALE:
AS SHOWN

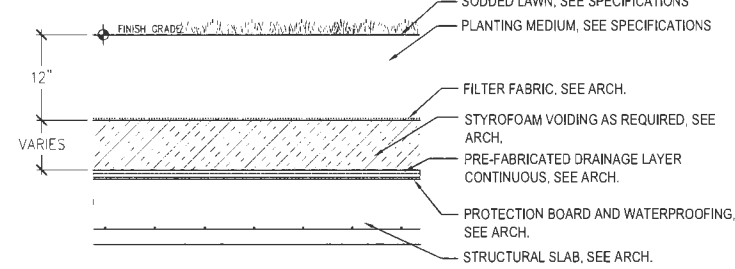
DWG. NO.:
L9.03



LAWN TYP. ON GRADE

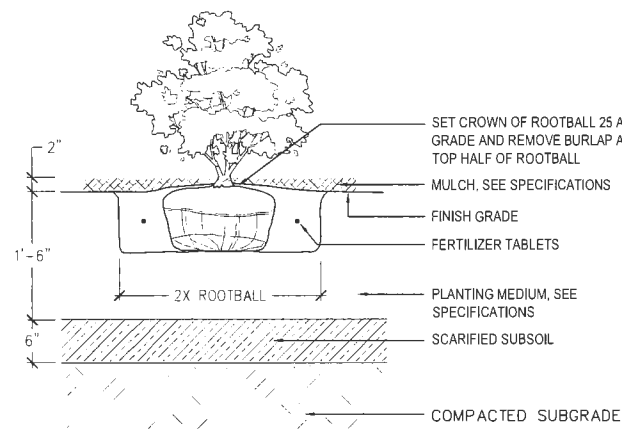


LAWN PLANTING ON SLAB, MINIMUM DEPTH

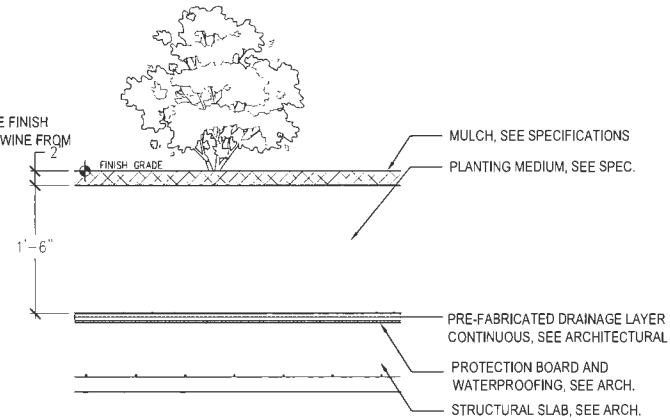


LAWN PLANTING ON SLAB, WITH VOIDING

3 LAWN PLANTING
SCALE: 1" = 1'-0"

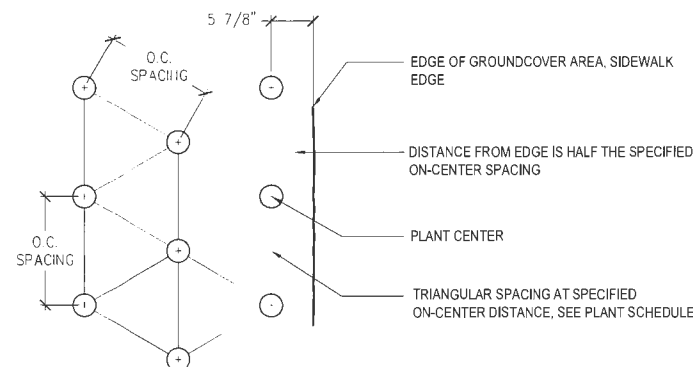


SHRUB PLANTING ON GRADE

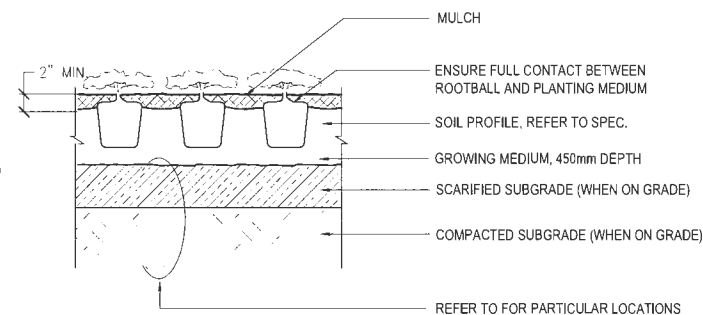


SHRUB PLANTING ON SLAB, MINIMUM DEPTH

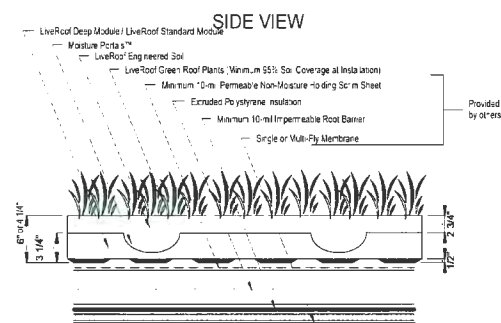
4 SHRUB PLANTING
SCALE: 1" = 1'-0"



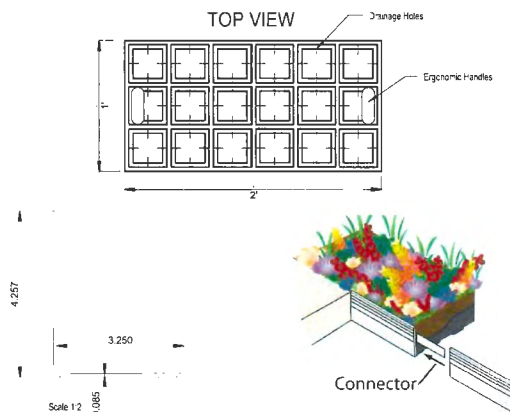
PLANT LAYOUT



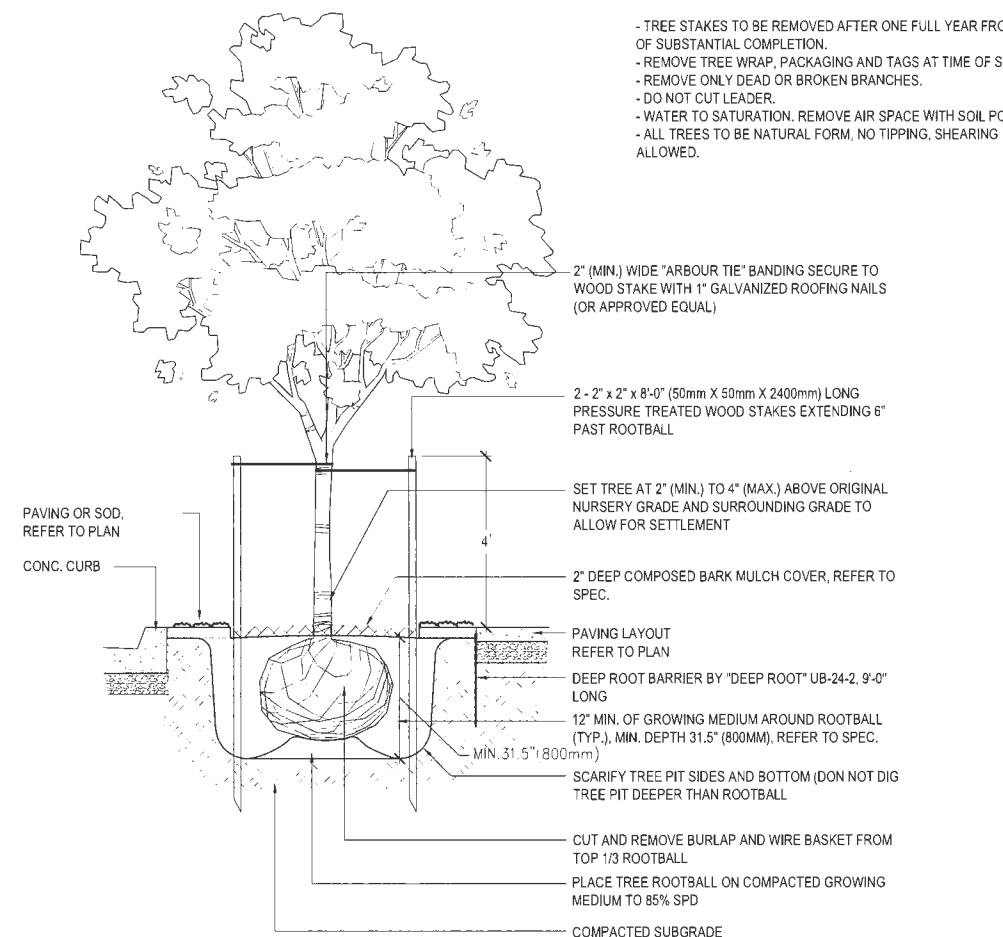
5 GROUND COVER PLANTING
SCALE: 1" = 1'-0"



6 GREENROOF TRAY W/ METAL EDGER
SCALE: 1" = 1'-0"



1 STREET TREE PLANTING
SCALE: 1" = 1'-0"



2 TREE ON SLAB
SCALE: 1" = 1'-0"

- NOTES:
- TREE STAKES TO BE REMOVED AFTER ONE FULL YEAR FROM TIME OF SUBSTANTIAL COMPLETION.
 - REMOVE TREE WRAP, PACKAGING AND TAGS AT TIME OF STAKING.
 - REMOVE ONLY DEAD OR BROKEN BRANCHES.
 - DO NOT CUT LEADER.
 - WATER TO SATURATION. REMOVE AIR SPACE WITH SOIL PORES.
 - ALL TREES TO BE NATURAL FORM, NO TIPPING, SHEARING ALLOWED.

2" (MIN.) WIDE "ARBOUR TIE" BANDING SECURE TO WOOD STAKE WITH 1" GALVANIZED ROOFING NAILS (OR APPROVED EQUAL)

2 - 2" x 2" x 8'-0" (50mm X 50mm X 2400mm) LONG PRESSURE TREATED WOOD STAKES EXTENDING 6" PAST ROOTBALL

SET TREE AT 2" (MIN.) TO 4" (MAX.) ABOVE ORIGINAL NURSERY GRADE AND SURROUNDING GRADE TO ALLOW FOR SETTLEMENT

2" DEEP COMPOSED BARK MULCH COVER, REFER TO SPEC.

PAVING LAYOUT REFER TO PLAN
DEEP ROOT BARRIER BY "DEEP ROOT" UB-24-2, 9'-0" LONG

12" MIN. OF GROWING MEDIUM AROUND ROOTBALL (TYP.), MIN. DEPTH 31.5" (800MM), REFER TO SPEC.

MIN. 31.5" (800mm)
SCARIFY TREE PIT SIDES AND BOTTOM (DON NOT DIG TREE PIT DEEPER THAN ROOTBALL)

CUT AND REMOVE BURLAP AND WIRE BASKET FROM TOP 1/3 ROOTBALL
PLACE TREE ROOTBALL ON COMPACTED GROWING MEDIUM TO 85% SPD
COMPACTED SUBGRADE

SET CROWN OF ROOTBALL 25 ABOVE FINISH GRADE AND REMOVE BURLAP AND TWINE FROM TOP HALF OF ROOTBALL

MULCH - SEE SPECIFICATIONS

FINISH GRADE

FERTILIZER TABLETS

PLANTING MEDIUM TYP., SEE SPEC. COMPACT UNDER ROOTBALL FOR FIRM STABLE BASE

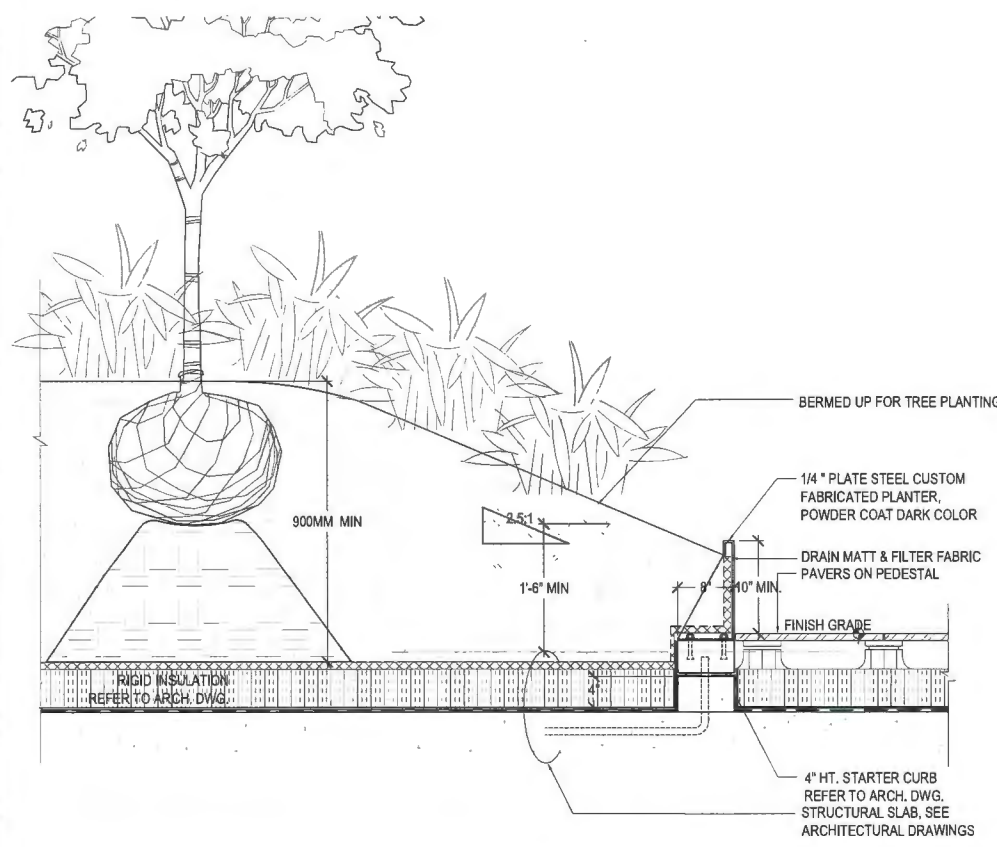
REFER TO 3IL10.2.1 SOIL PROFILE

FILTER FABRIC AND SECOND LAYER OF DRAIN MAT TO ENSURE DRAINAGE, SEE SPEC.

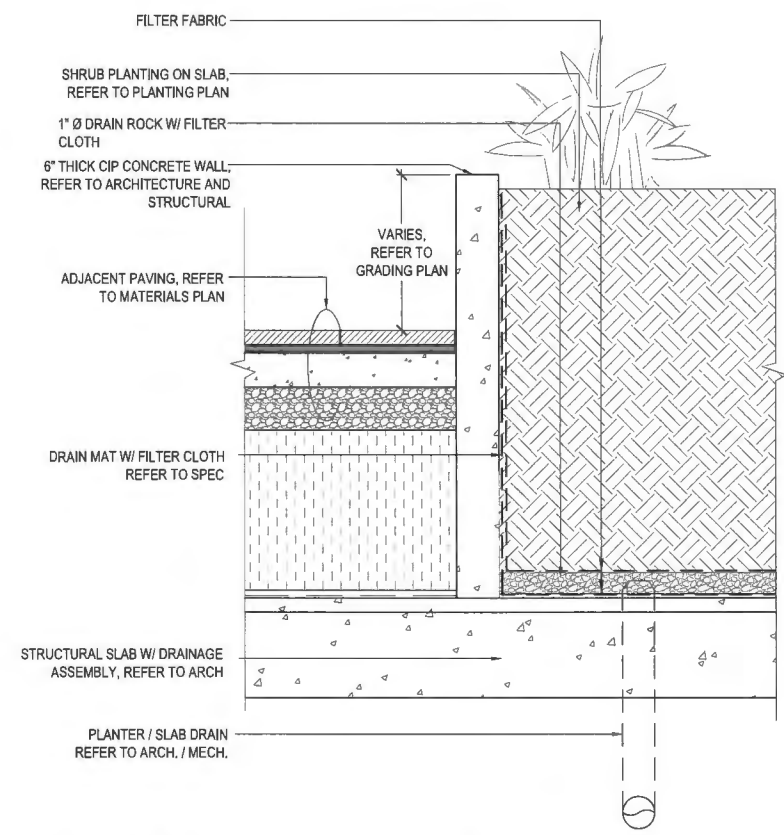
VOIDING AS REQUIRED, S.A.D. FOR SPECIFICATION

3 TIMBER 4"x6"x4" DEADMAN, ATTACHED TO WIRE BASKET W/ STAINLESS STEEL CABLE. KEEP BURLAP AND WIRE BASKET FOR INSTALLATION AND REMOVE BURLAP, WIRE & STRING FROM TOP HALF OF ROOTBALL AFTER TREE IS STABILIZED

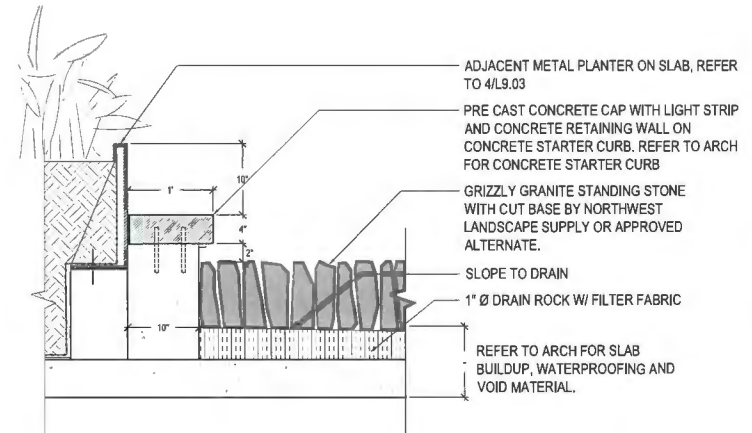
STRUCTURAL SLAB, WATERPROOFING, PROTECTION BOARD, S.A.D.



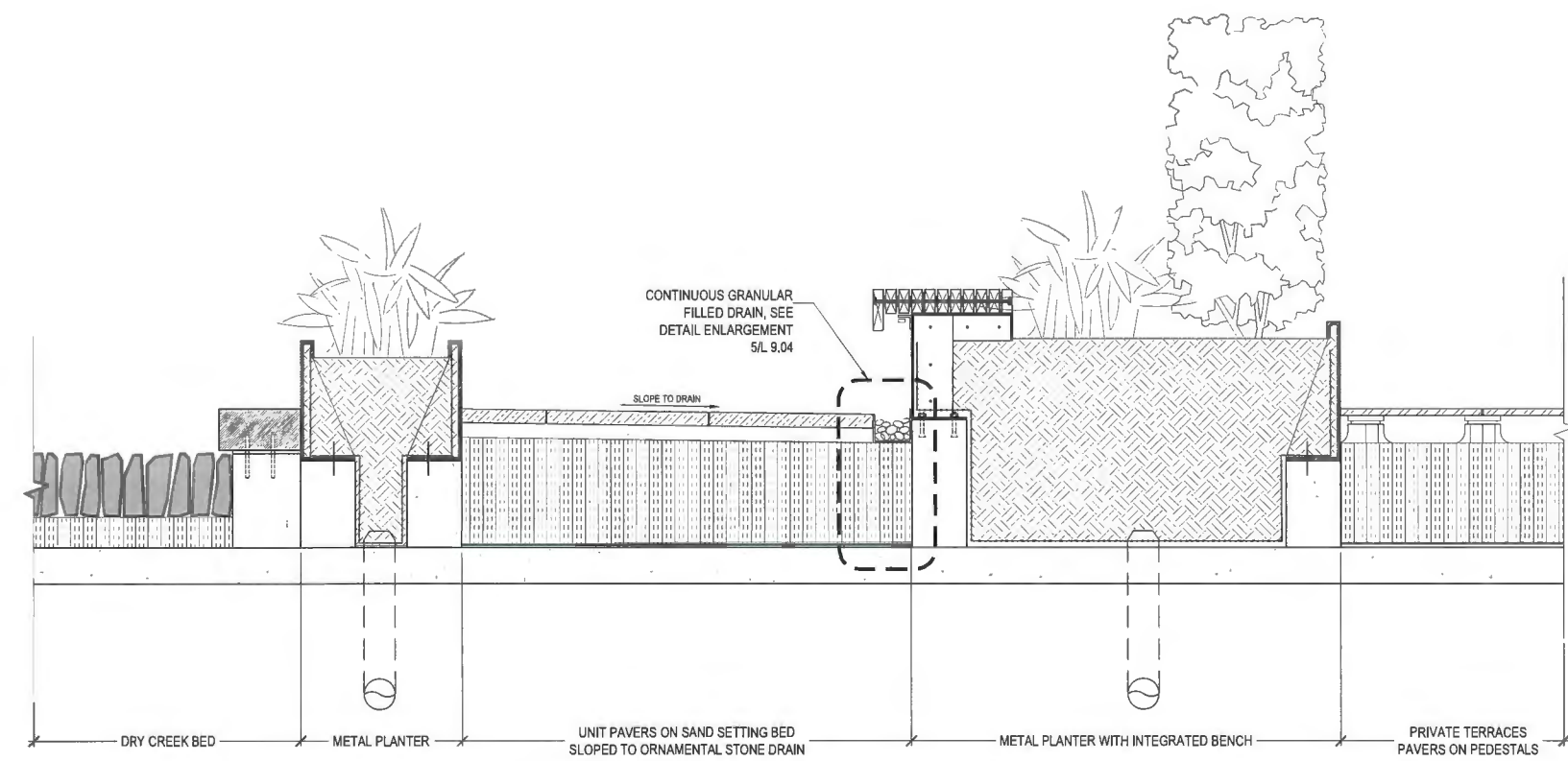
1 RAISED METAL PLANTER AND TREE PLANTING ON STRUCTURE
SCALE: 1" = 1'-0"



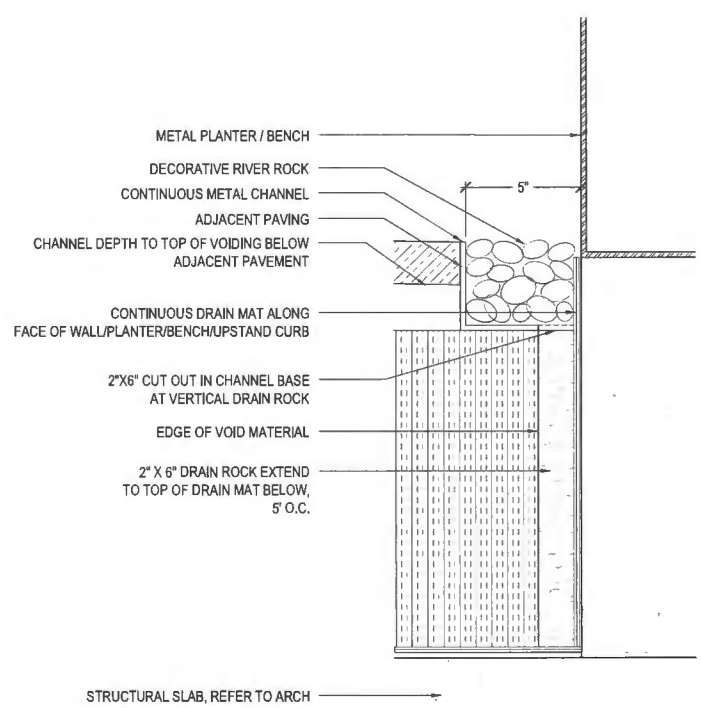
2 TYPICAL RAISED CONCRETE PLANTER ON STRUCTURE
SCALE: 1" = 1'-0"



3 DRY CREEK BED PAVEMENT AND CONCRETE EDGING
SCALE: 1" = 1'-0"



4 SCHEMATIC SECTION - DRY CREEK BED / METAL PLANTER / PATH WITH BENCH AND INTEGRATED DRAINAGE
SCALE: 1" = 1'-0"



5 CONTINUOUS GRANULAR FILLED DRAIN
SCALE: 3" = 1'-0"

CLIENT:
LANDA
GLOBAL PROPERTIES

PROJECT TEAM:
ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2
ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1
LANDSCAPE ARCHITECT
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604.736.5588
pfs@pfs.com
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DP 21-945917
April 25, 2024
Plan # 47

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
PLANTERS

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JL/JR/JGC
CHECKED BY: JS

SCALE:
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DWG. NO.:
L9.04

CLIENT:

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PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC V6E 4B1

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Vancouver BC V6J 1K7
604-776-2588
pfs@pfsstudio.com

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DP 21-945917
April 25, 2024
Plan # 48

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
PLANTERS

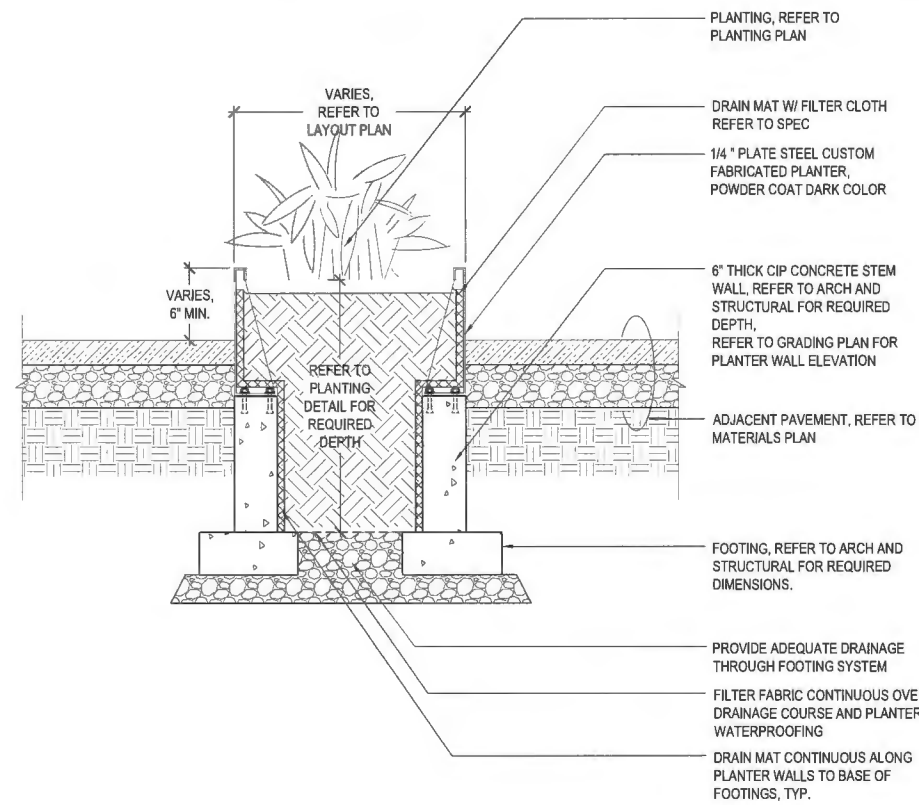
PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JL/JR/JGC
CHECKED BY: JS

SCALE:
AS SHOWN

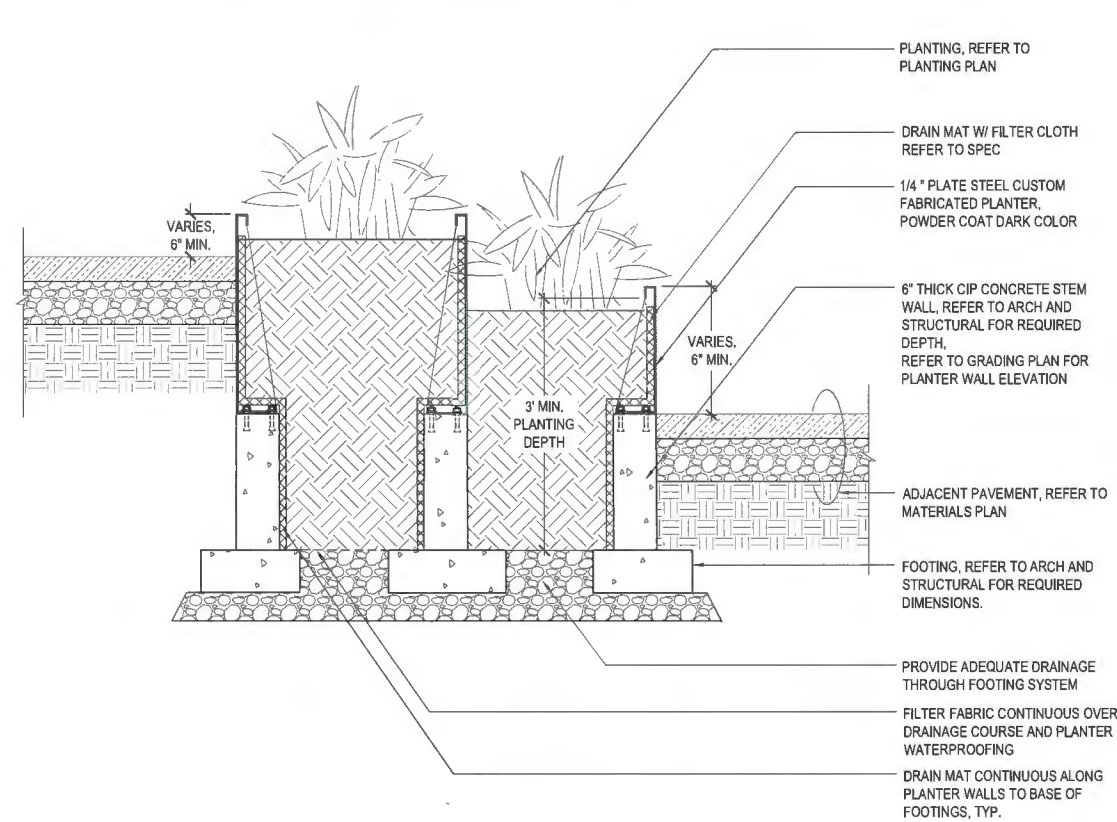
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L9.05



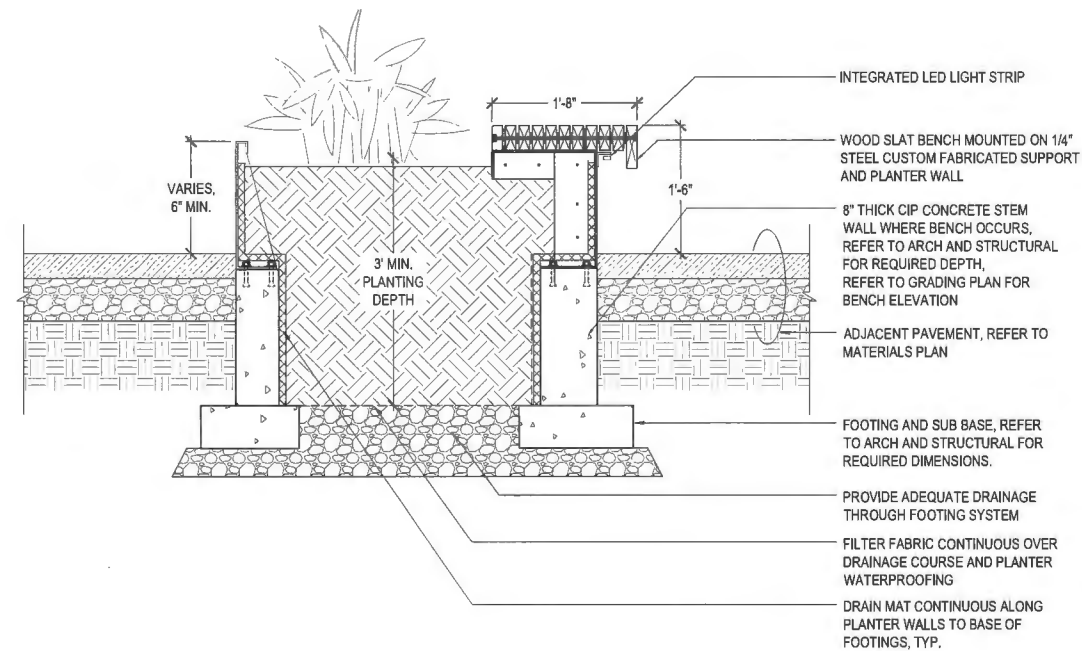
1 TYPICAL METAL PLANTER AT GROUND LEVEL

SCALE: 1" = 1'-0"



2 TYPICAL STEPPED METAL PLANTER AT GROUND LEVEL

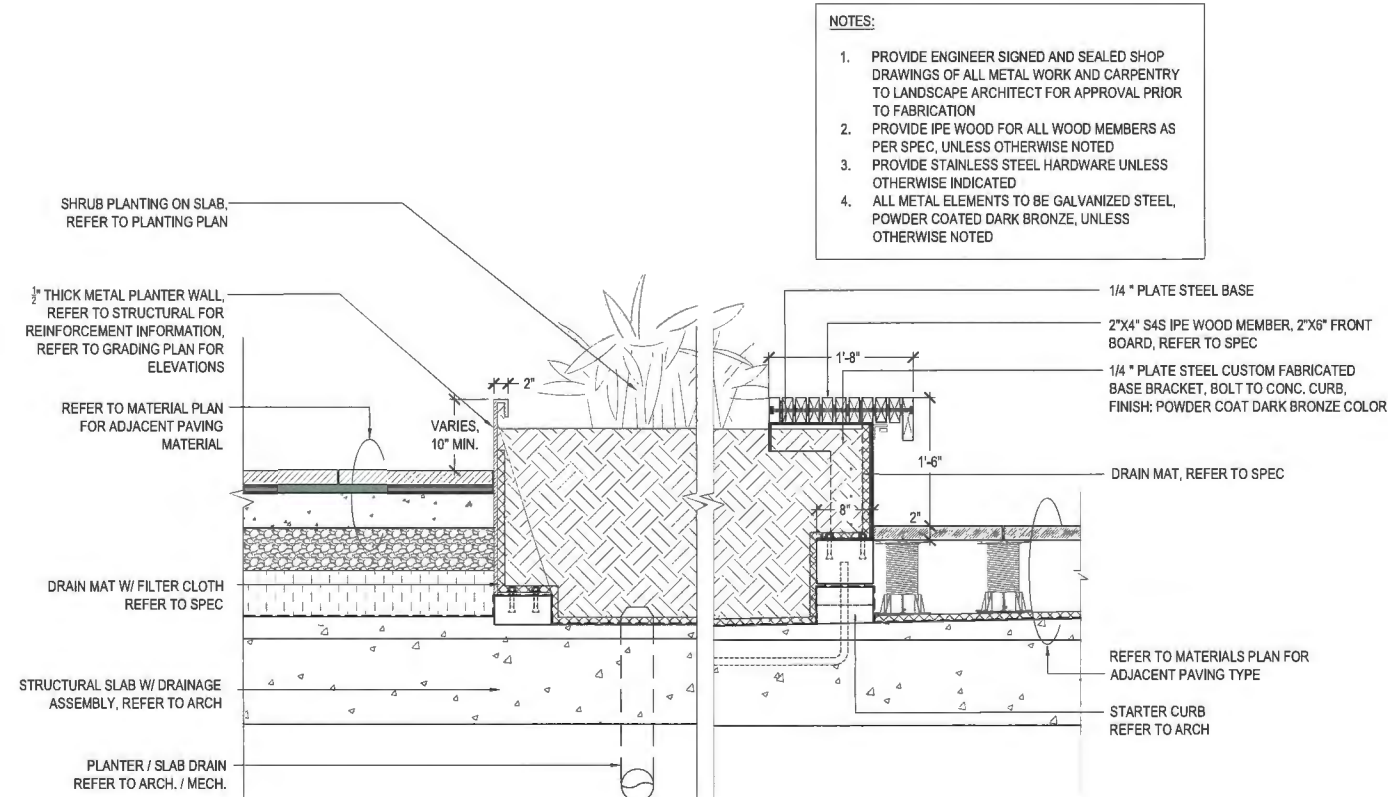
SCALE: 1" = 1'-0"



METAL PLANTER WITH INTEGRATED BENCH ON GRADE AT GROUND LEVEL

3 TYPICAL METAL PLANTER WITH INTEGRATED BENCH AT GROUND LEVEL

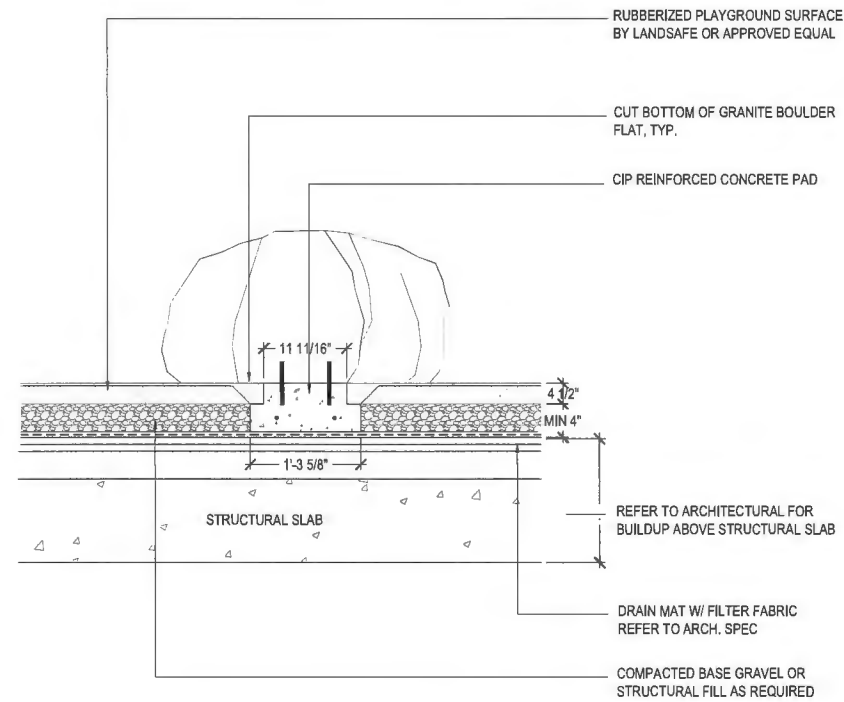
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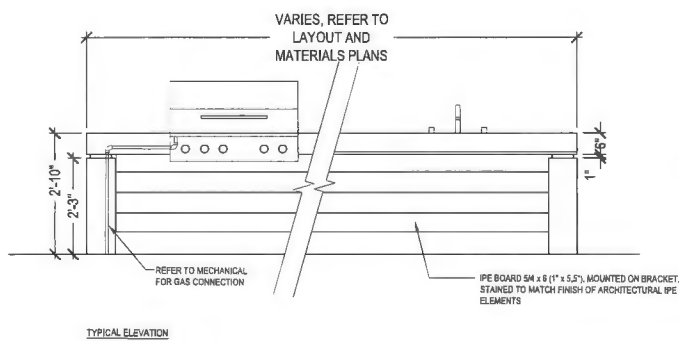
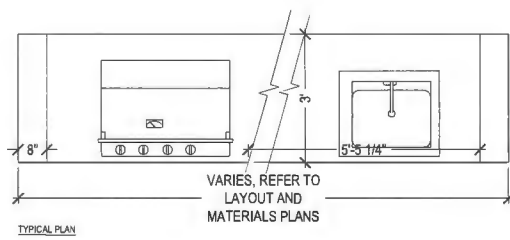
4 TYPICAL METAL PLANTER ON SLAB / TYPICAL PLANTER WITH INTEGRATED BENCH ON STRUCTURE

SCALE: 1" = 1'-0"

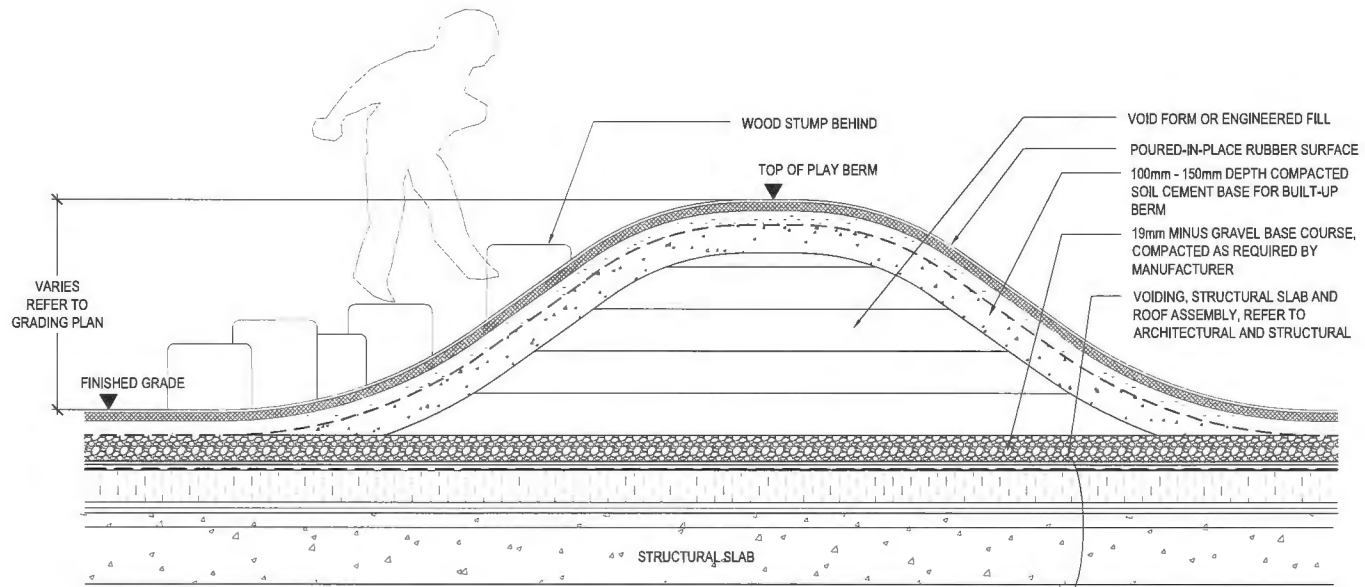
- NOTES:**
1. PROVIDE ENGINEER SIGNED AND SEALED SHOP DRAWINGS OF ALL METAL WORK AND CARPENTRY TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION
 2. PROVIDE IPE WOOD FOR ALL WOOD MEMBERS AS PER SPEC, UNLESS OTHERWISE NOTED
 3. PROVIDE STAINLESS STEEL HARDWARE UNLESS OTHERWISE INDICATED
 4. ALL METAL ELEMENTS TO BE GALVANIZED STEEL, POWDER COATED DARK BRONZE, UNLESS OTHERWISE NOTED



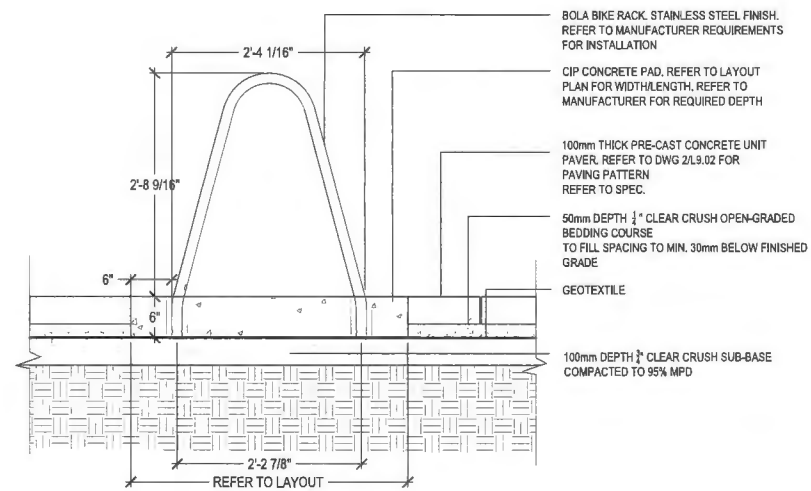
1 BOULDER IN PLAY SURFACING
SCALE: 1" = 1'-0"



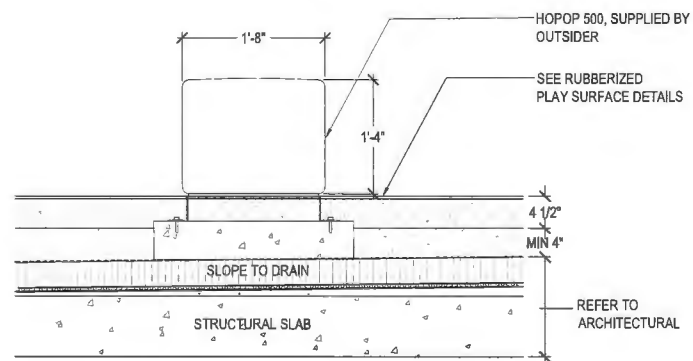
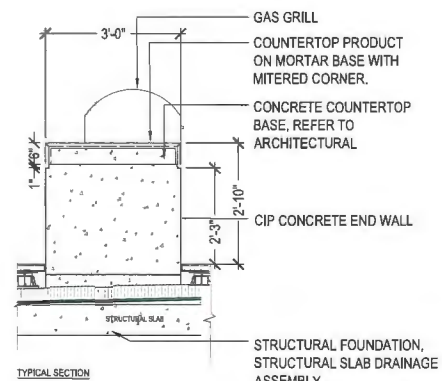
4 TYPICAL OUTDOOR KITCHENETTE @ TOWER ROOFTOP
SCALE: 1" = 1'-0"



2 RUBBER BERM @ L9 PLAYGROUND
SCALE: 1" = 1'-0"



3 BIKE RACK
SCALE: 1" = 1'-0"



5 PLAY EQUIPMENT- HOPOP 500 #157
SCALE: 1" = 1'-0"

CLIENT:

LANDA
GLOBAL PROPERTIES

PROJECT TEAM:

ARCHITECT
Arno Maïs Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

LANDSCAPE ARCHITECT
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1777 West 3rd Avenue
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ISSUANCE:

No.	Date	Details
1	JUN 04, 2021	ISSUED FOR REZONING APPLICATION
2	DEC 21, 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8, 2022	ISSUED FOR 30% BP
4	AUG 29, 2022	ISSUED FOR REZONING APPLICATION
5	OCT 13, 2022	ISSUED FOR CITY REVIEW
6	JUN 30, 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8, 2023	ISSUED FOR ADP
8	APR 25, 2024	ISSUED FOR DP BOARD SUBMISSION

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STAMP:

DP 21-945917
April 25, 2024
Plan # 49

PROJECT NAME:
6851-6871
ELMBRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
FURNISHING

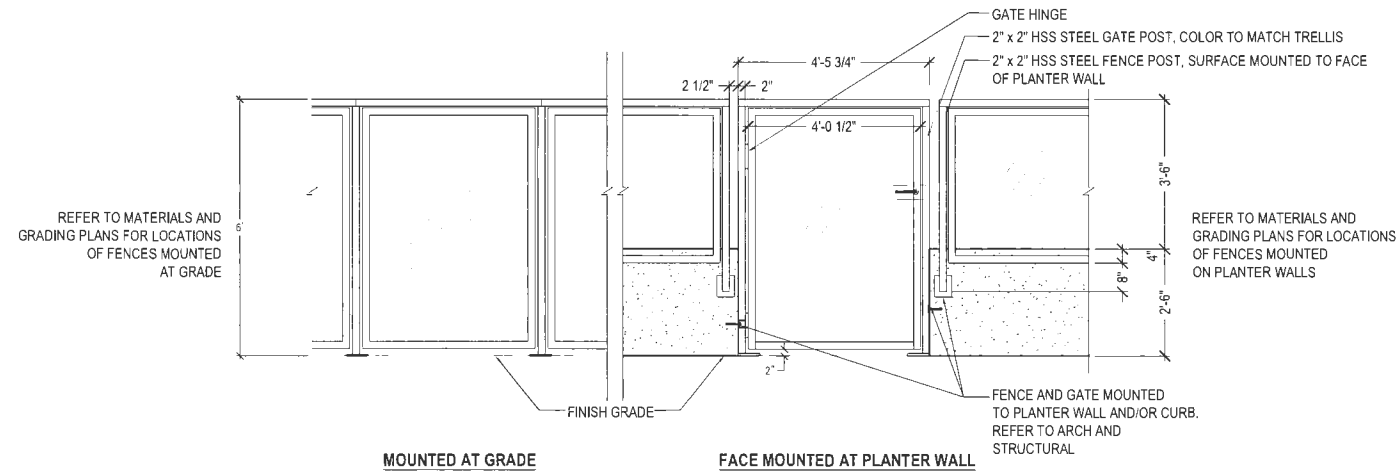
PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JJJR/JGC
CHECKED BY: JS

SCALE:
AS SHOWN

DWG. NO.:

L9.06

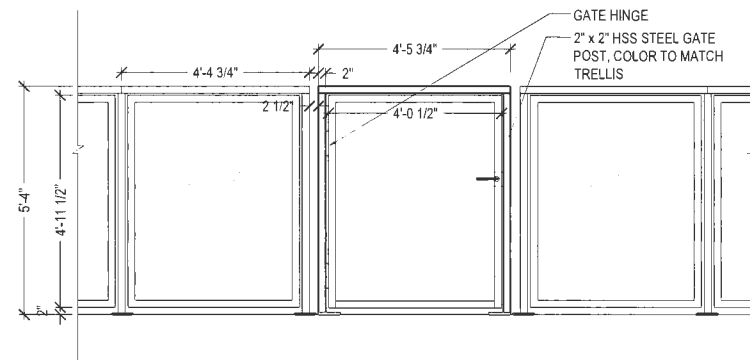


REFER TO MATERIALS AND GRADING PLANS FOR LOCATIONS OF FENCES MOUNTED AT GRADE

REFER TO MATERIALS AND GRADING PLANS FOR LOCATIONS OF FENCES MOUNTED ON PLANTER WALLS

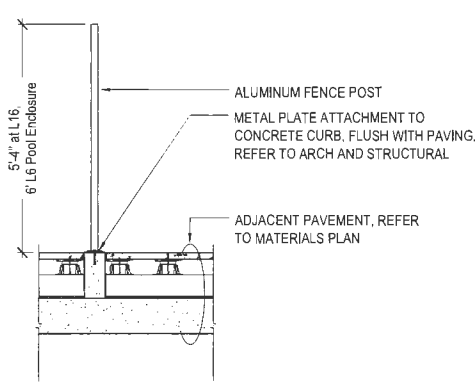
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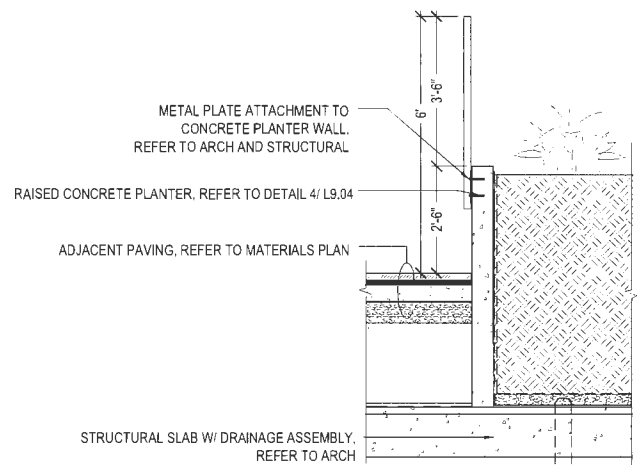


2 TYPICAL FENCE AND GATE ELEVATION - L16

SCALE: 1/2" = 1'-0"



TOP MOUNTED FENCE SECTION

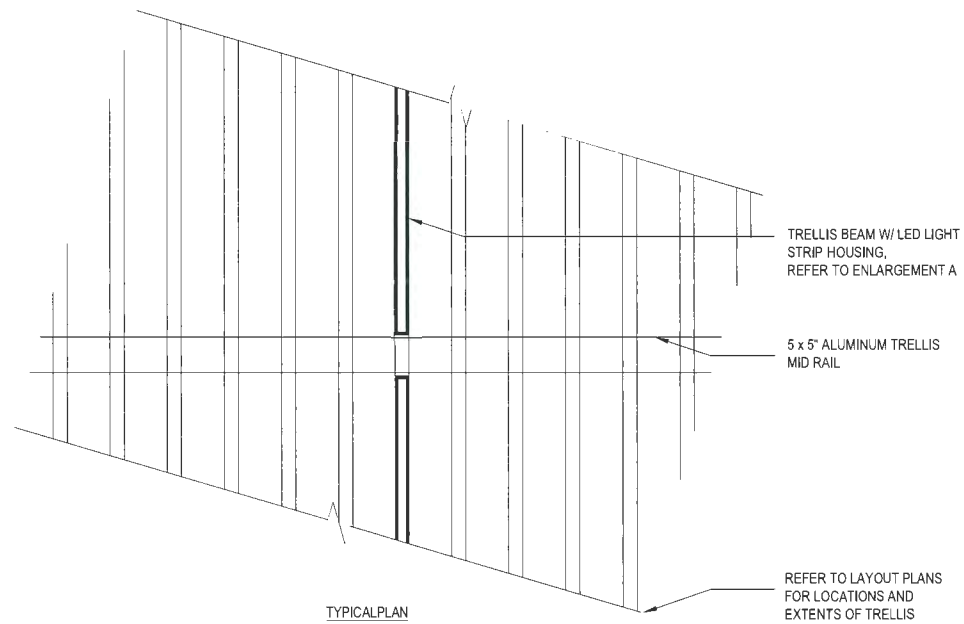


FACE MOUNT FENCE SECTION AT POOL DECK

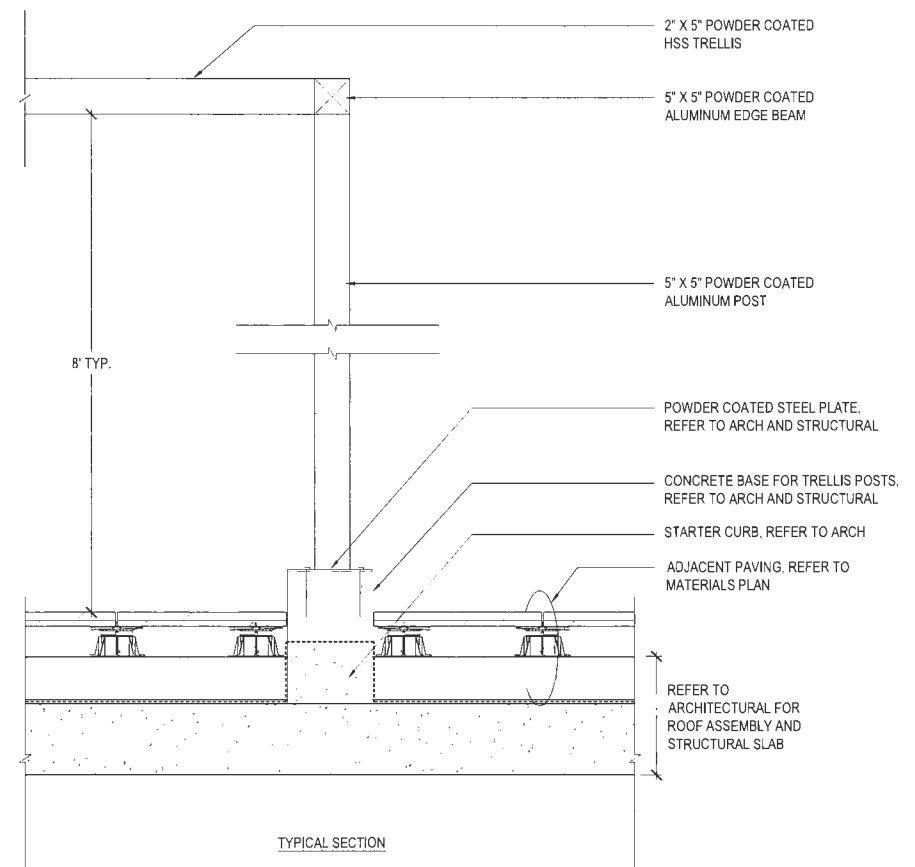
3 TYPICAL FENCE SECTIONS - TOP MOUNT AND FACE MOUNT

SCALE: 1/2" = 1'-0"

- NOTES:
1. REFER TO ARCHITECTURAL AND STRUCTURAL FOR REINFORCING DETAILS AND FOOTING DESIGN.
 2. FENCE, GATE AND TRELLIS FABRICATOR TO PROVIDE ENGINEER STAMPED SHOP DRAWINGS FOR TRELLIS AND FENCE DETAILS FOR CONSULTANTS APPROVAL PRIOR TO FABRICATION.
 3. FENCE AND GATE COLOR TO MATCH TRELLIS, RAL COLOR TO BE DETERMINED. PROVIDE COLOR SAMPLE FOR CONSULTANT'S APPROVAL PRIOR TO FABRICATION
 4. SITE MEASURE DIMENSIONS OF EXISTING SITE CONDITIONS INCLUDING GLASS RAILING, SITE GRADING AND PLANTER WALL DIMENSIONS PRIOR TO FABRICATION. ADJUST FENCING AND TRELLIS DESIGN WHERE REQUIRED IN SHOP DRAWINGS TO FIT STRUCTURES TO EXISTING SITE CONDITIONS.



TYPICAL PLAN



TYPICAL SECTION

4 TYPICAL TRELLIS STRUCTURE SECTION AND PLAN - L6 TEA PAVILLION

SCALE: 1" = 1'-0"

PROJECT TEAM:

ARCHITECT
Arno Matis Architecture
204 - 1540 West 2nd Ave
Vancouver, BC V6J 1H2

ARCHITECT
Arcadis IBI Group
Suite 700 - 1285 West Pender Street
Vancouver, BC CA V6E 4B1

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2	DEC 21 2021	ISSUED FOR DEVELOPING PERMIT
3	APR 8 2021	ISSUED FOR 30% BP
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6	JUN 30 2023	ISSUED FOR DEVELOPING PERMIT
7	NOV 8 2023	ISSUED FOR ADP
8	APR 29 2024	ISSUED FOR DP BOARD SUBMISSION

STAMP:
DP 21-945917
April 25, 2024
Plan # 50

PROJECT NAME:
6851-6871
ELM BRIDGE WAY
RICHMOND, BC CANADA

DRAWING TITLE:
LANDSCAPE DETAILS
FENCE & TRELLIS

PFS PROJECT NUMBER: 20013
DATE: 04/25/2024

DRAWN BY: JL/JR/JGC
CHECKED BY: JS

SCALE: AS SHOWN

DWG. NO.:
L9.07



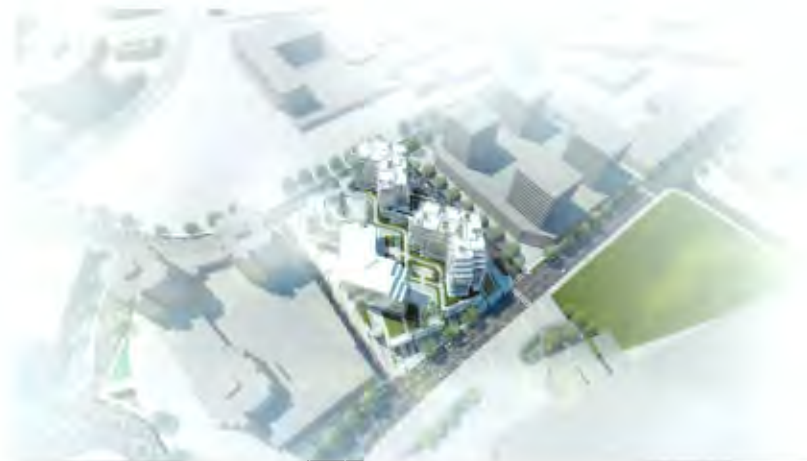
1 NORTH ELEVATION RENDERING
A111a N.T.S.



2 HOTEL ENTRANCE
A111a N.T.S.



3 HOTEL ENTRANCE CORNER VIEW
A111a N.T.S.



4 BIRD'S EYE FROM NE
A111a N.T.S.

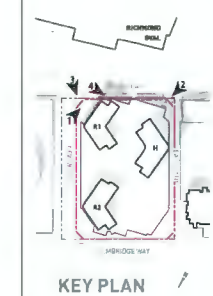
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2	DP BOARD SUBMISSION		2024-04-23

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DP 21-945917
April 25, 2024
Reference Plan

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PROJECT
Elmbridge Way
8951-8971 Elmbridge Way
Richmond, BC

PROJECT NO 138041	CHECKED BY Checker
DRAWN BY Author	APPROVED BY Approver

SHEET TITLE
RENDERING



SHEET NUMBER A111a	ISSUE 2
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1 NW CORNER
A111b
N.T.S.



2 NW PLAZA LOOKING SOUTH
A111b
N.T.S.



3 NEW WEST ROAD LOOKING SOUTH
A111b
N.T.S.



4 BIRD'S EYE FROM SE
A111b
N.T.S.

CLIENT
Landa Global Properties
Ltd.
1550 - 290 BURNARD ST.
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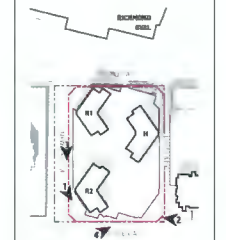
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1	ISSUED FOR DEVELOPMENT PERMIT		2023-07-07
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KEY PLAN

DP 21-945917
April 25, 2024
Reference Plan

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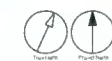
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PROJECT
Elmbridge Way
8851-8871 Elmbridge Way
Richmond, BC

PROJECT NO
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Approver

SHEET TITLE
RENDERING

SHEET NUMBER
A111b
ISSUE
2



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2024-04-15 11:30:17 AM



1 SOUTH PLAZA LOOKING EAST
A111c R.T.S.



2 SW CORNER
A111c R.T.S.



3 SE CORNER
A111c R.T.S.



4 SE PLAZA LOOKING NORTH
A111c R.T.S.

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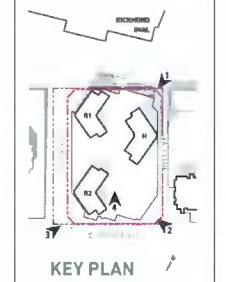
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ISSUES	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
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DP 21-945917
April 25, 2024
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6851-6871 Elmbridge Way
Richmond, BC

PROJECT NO
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Author
PROJECT MGR.
Designer
CHECKED BY
Checker
APPROVED BY
Approver

SHEET TITLE
RENDERING

SHEET NUMBER
A111c
ISSUE
2



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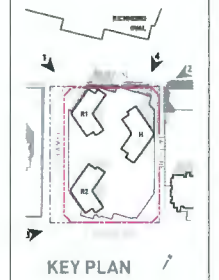
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No.	DESCRIPTION	DATE
1	ISSUED FOR DEVELOPMENT PERMIT	2023-07-07
2	DP BOARD SUBMISSION	2024-04-25

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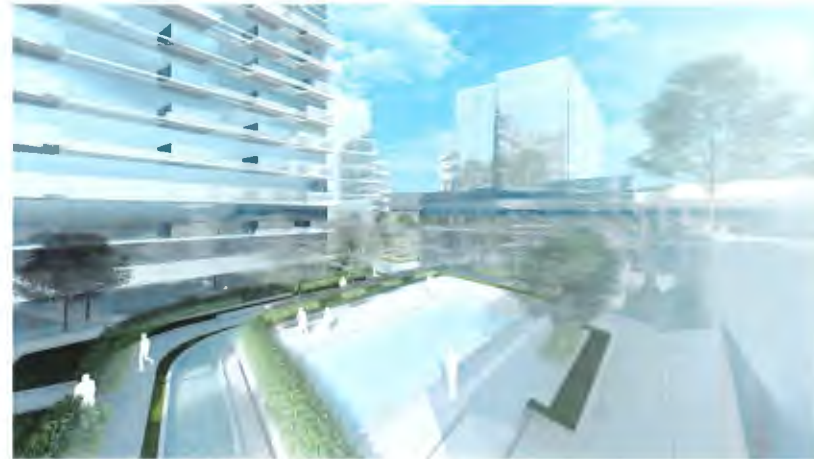
PROJECT
Elmbridge Way
 6851-6871 Elmbridge Way
 Richmond, BC

PROJECT NO
 138841

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
RENDERING

SHEET NUMBER A111d	ISSUE 2
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1 PODIUM LANDSCAPE LOOKING NORTH
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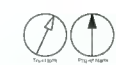
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 1/2" = 1'-0"



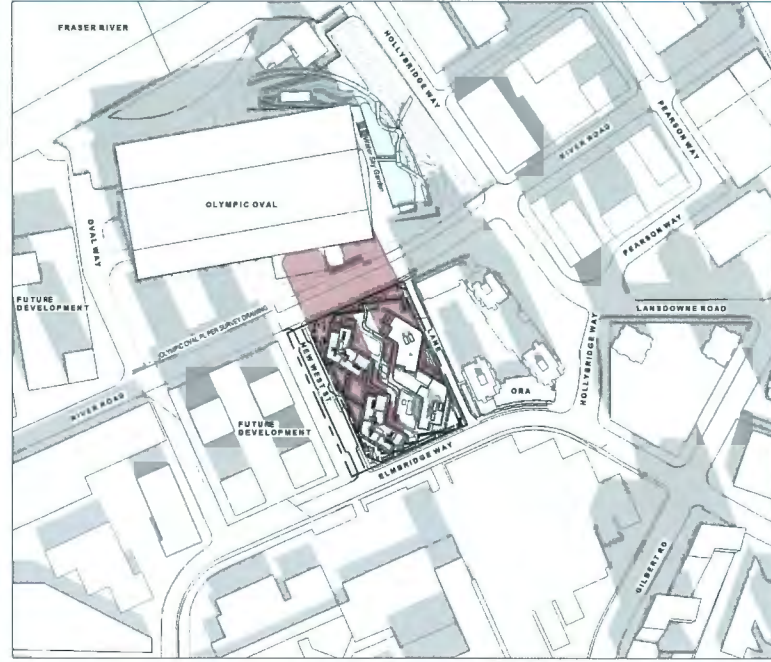
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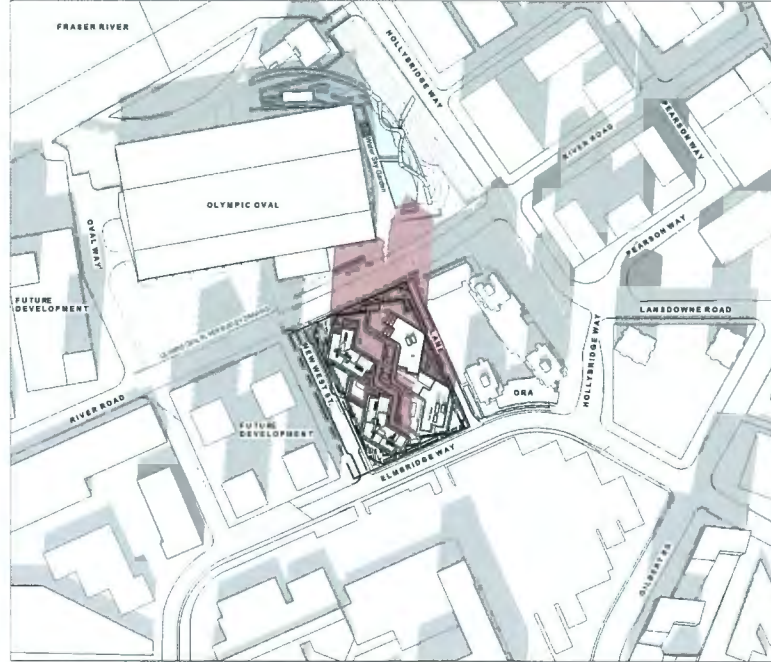
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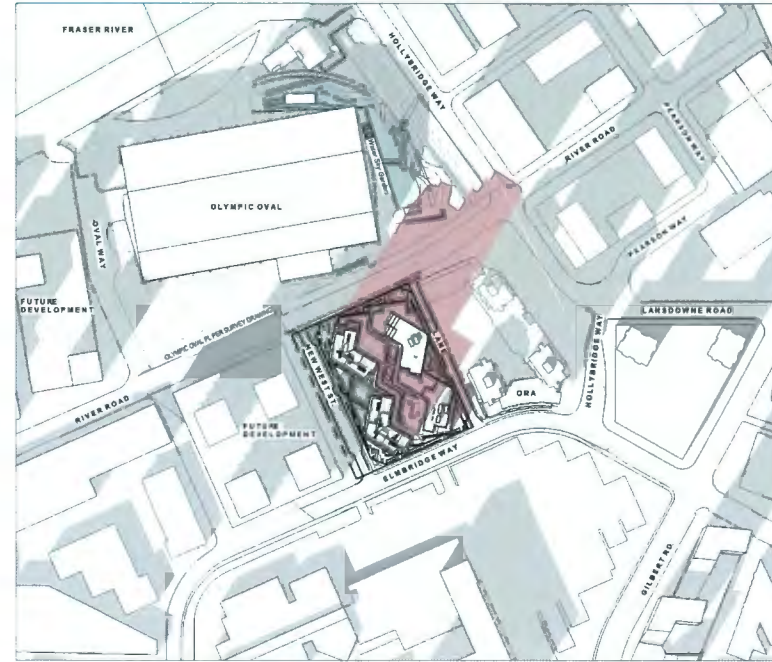
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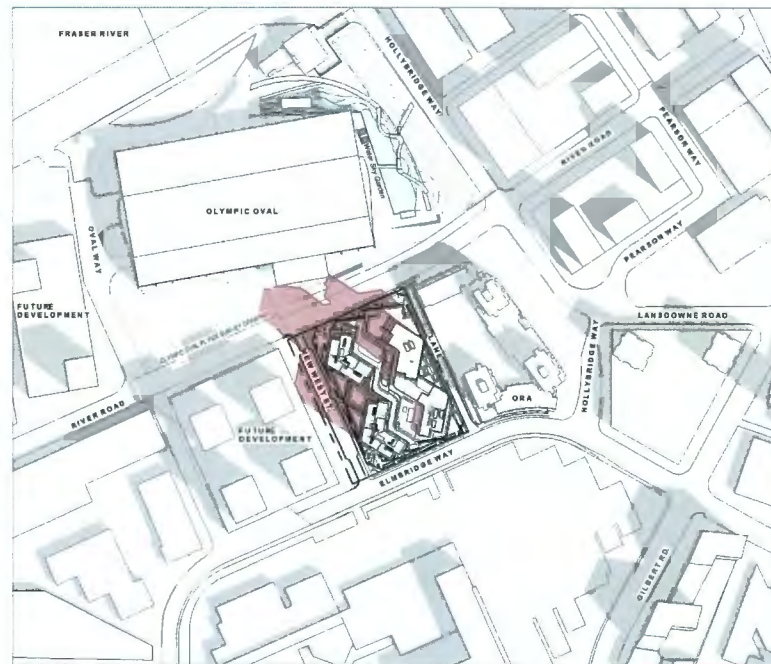
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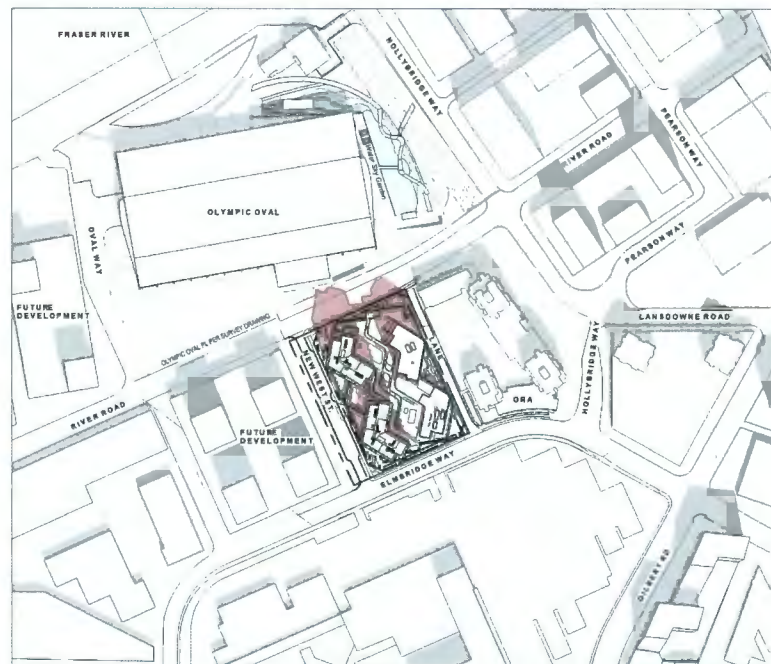
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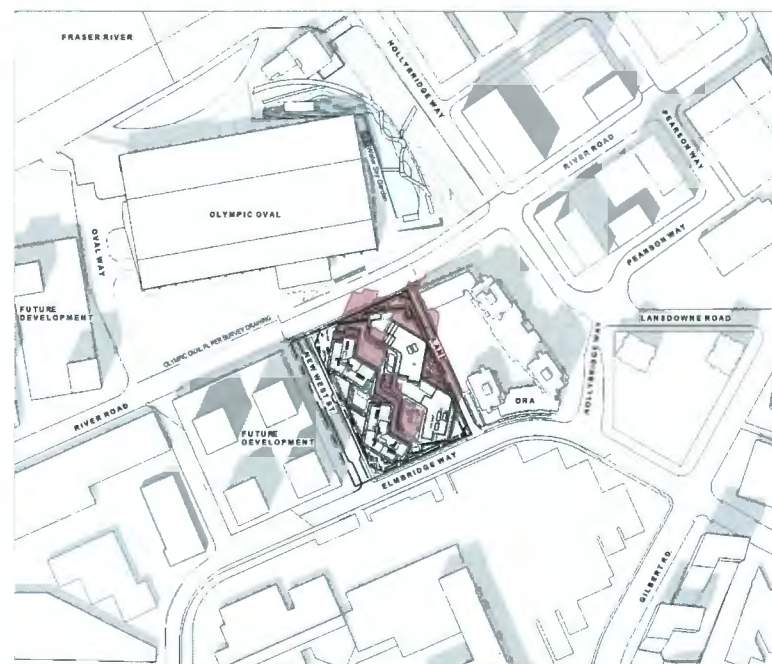
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A108a 1: 2500



5 SPRING EQUINOX (MAR 20) 12PM
A108a 1: 2500



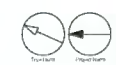
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A108a 1: 2500

DP 21-945917
April 25, 2024
Reference Plan

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Vancouver BC V6E 4B1 Canada
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PROJECT Elmeridge Way 8851-8871 Elmeridge Way Richmond, BC	
PROJECT NO 138841	CHECKED BY [Signature]
DRAWN BY Author	APPROVED BY Approver
PROJECT MGR Designer	APPROVED BY Approver
SHEET TITLE SHADOW STUDY	
SHEET NUMBER A108a	ISSUE 2



APND MATIS ARCHITECTURE

CLIENT
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1550 - 200 BURNARD ST.
VANCOUVER, BC V5C 3L6

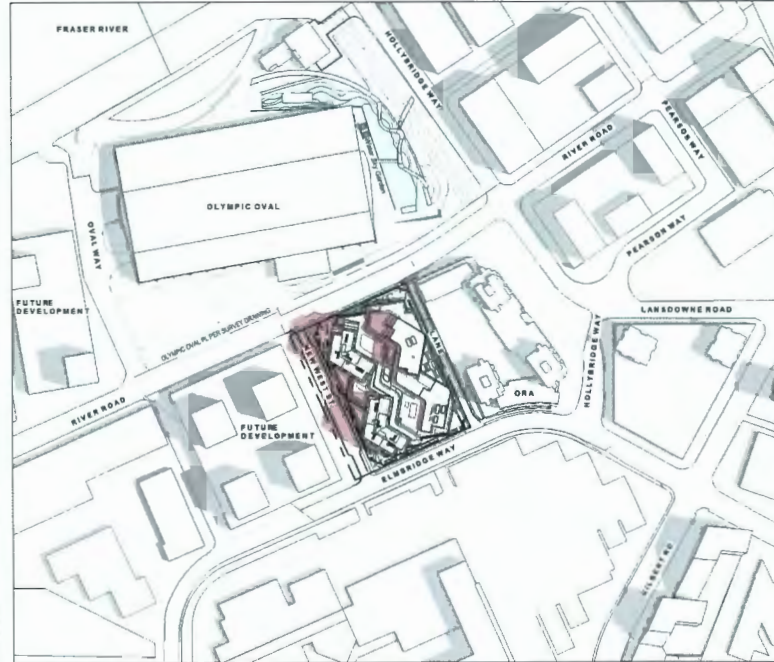
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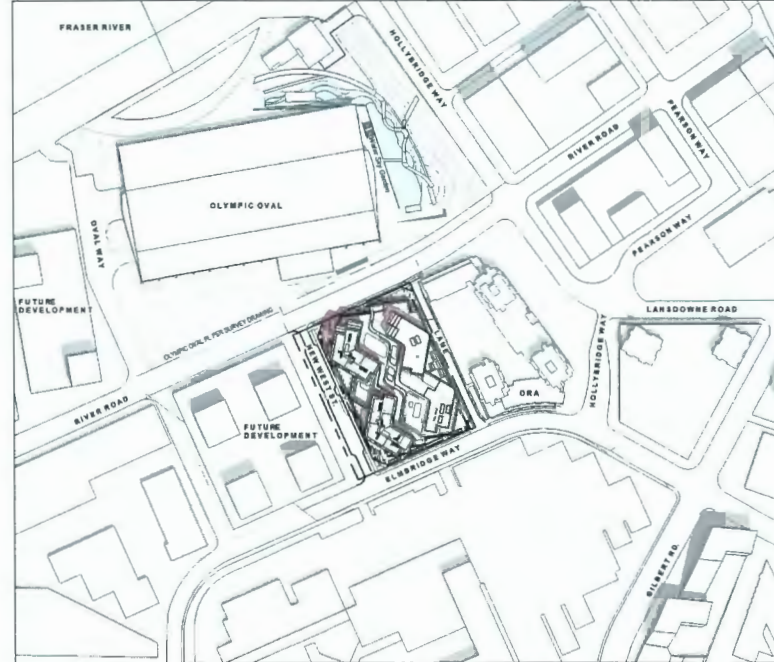
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2	PERMIT DRAFT	
3	TOP BOARD SUBMISSION	2024-04-25

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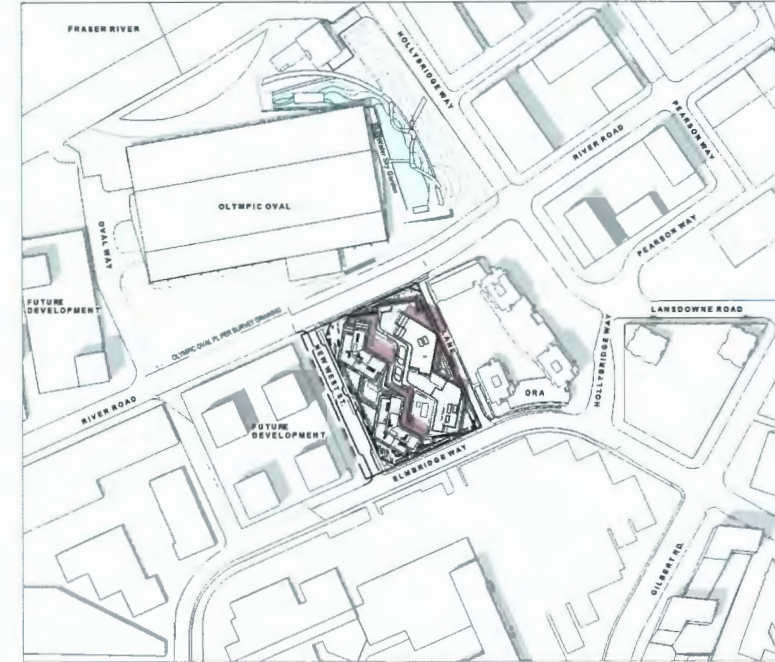
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204-1540 W 2ND AVE, VANCOUVER, BC
V6J 1H2 T. 604.708.0188



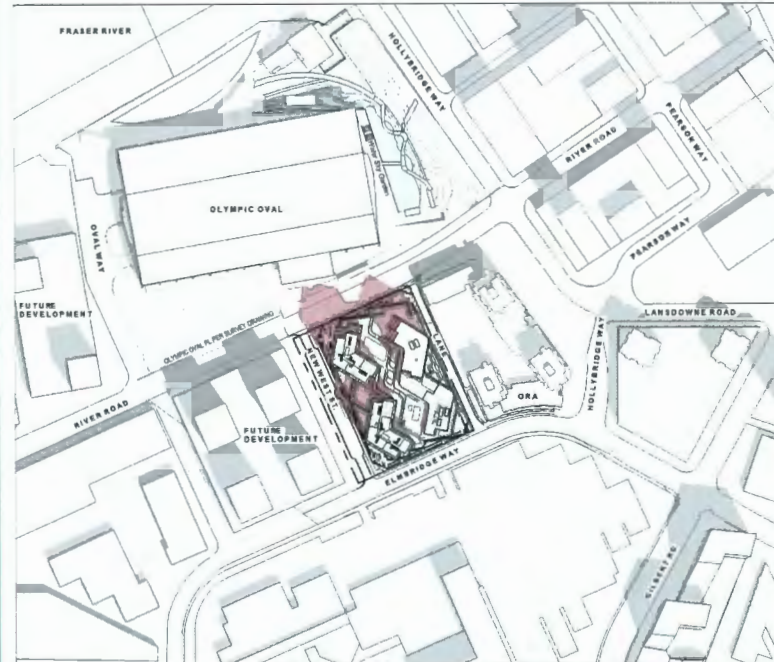
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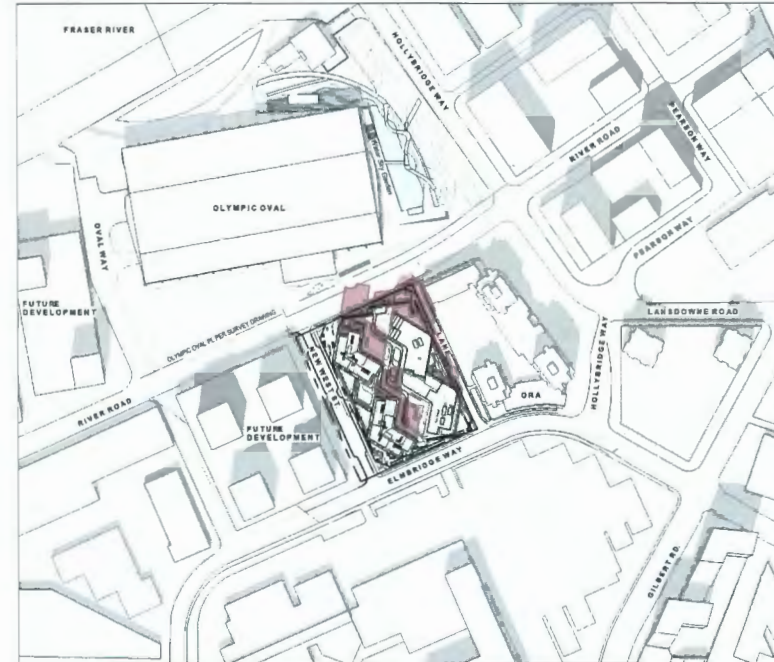
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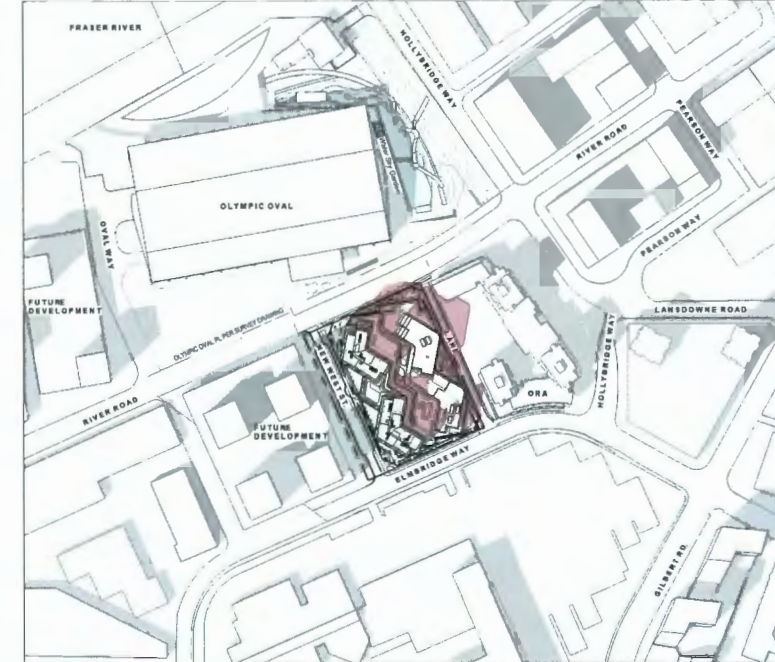
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A108b 1: 2500



4 FALL EQUINOX (SEPT 22) 10AM
A108b 1: 2500



5 FALL EQUINOX (SEPT 22) 12PM
A108b 1: 2500



6 FALL EQUINOX (SEPT 22) 2PM
A108b 1: 2500

DP 21-945917
April 25, 2024
Reference Plan

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PROJECT
Elmbirdge Way
6851-6871 Elmbirdge Way
Richmond, BC

PROJECT NO
130841

DRAWN BY Author	CHECKED BY Checker
PROJECT MGR Designer	APPROVED BY Approver

SHEET TITLE
SHADOW STUDY

SHEET NUMBER
A108b

ISSUE
2

2024-04-25 11:37:04 AM



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 26, 2024

From: Suzanne Smith
Program Manager, Development

File: DP 22-008932

Re: **Application by Kenneth Kim (Kenneth Kim Architecture Inc.) for a Development Permit at 6500 Cooney Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)".

A handwritten signature in black ink, appearing to read 'S. Smith'.

Suzanne Smith
Program Manager, Development
(604-276-4138)

SS:ta
Att. 2

Staff Report

Origin

Kenneth Kim (Kenneth Kim Architecture Inc.) has applied on behalf of 1319414 B.C. Ltd., Inc. No. BC1319414 (Directors: Lei Yue and Songyun Lou) to the City of Richmond for permission to develop six townhouse units over a common parking structure at 6500 Cooney Road on a site zoned “Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)”. The site is currently vacant.

The site is being rezoned from the “Low Density Townhouses (RTL1)” zone to “Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)” zone under Bylaw 10265 (RZ 08-429600) which received third reading following the Public Hearing on July 19, 2021. The subject site is located on the outer edge of the Spires Road Rental Tenure Policy Area however it is subject to instream provisions which enable it to proceed as outlined in this report.

A Servicing Agreement (SA 11-587092) is required as a condition of rezoning adoption. The Servicing Agreement includes, but is not limited to, the following improvements:

- Frontage improvement work on the site’s Cooney Road and Cook Road frontage.
- The construction of a new 6.0 m public lane along the site’s east property line.
- Related water, storm sewer and sanitary sewer connections to the subject site, along with public and private utility improvements.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: A 20-unit townhouse development fronting Cooney Road on property zoned “Town Housing (ZT53) – Cooney Road (Brighthouse Village of City Centre)”.
- To the East: A 24-unit townhouse development fronting Cook Road on property zoned “Low Density Townhouses (RTL1)”.
- To the South: Across Cook Road, a single-family home on a lot zoned “Low Density Townhouses (RTL1)” which is the subject of an application to rezone to permit the development of a four storey mixed use building with office space at grade and 15 townhouse units over a parking structure. To the South East there is a 28-unit townhouse development on property zoned “Town Housing (ZT66) – Cooney Road (Brighthouse Village of City Centre)”.
- To the West: Across Cooney Road, a 13-unit townhouse development on property zoned “Low Density Townhouses (RTL1)”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Compliance with Development Permit guidelines for the form and character of multiple family projects provided in the 2041 Official Community Plan (OCP) and City Centre Area Plan (CCAP), including the provision of an attractive pedestrian-oriented streetscape building design along Cooney Road.
- Review of tree replacement and protection features for the development proposal.
- Review of the shared outdoor amenity area design, including the choice of children's play equipment, to create a safe and vibrant environment for children's play and social interaction.
- Review of relevant accessibility features for the one proposed convertible unit and aging-in-place design features in all units.
- Review of sustainability strategy for the development proposal.

The Public Hearing for the rezoning of this site was held on July 19, 2021. No concerns regarding the rezoning application were expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)" zone.

Analysis

Conditions of Adjacency

- The subject site is located in the Spires Road Neighbourhood as identified in the City Centre Area Plan (CCAP). The subject site is designed for grade-oriented housing in the form of low-density townhouses with common parking structures concealed from public view. This is consistent with newer developments approved to date in the area. Future developments in the Spires neighbourhood will permit a larger height and massing under new guidelines associated with the Spires Rental Tenure Policy and OCP guidelines.
- The subject site is a small isolated site at the northeast corner of the Cooney Road and Cook Road intersection. The frontages have been designed to provide an animated interaction with both the Cooney Road and Cook Road frontages.
- A 6.0 m wide north-south rear lane dedication along the entire east property line has been secured at rezoning for the construction of an interim lane. The lane is to be widened through future development to the east and is proposed to allow for the long-term plan to provide a connection from Cook Road north to Spires Gate.
- A 1.8 m wide road dedication along the entire south property line and a 2.4 m wide road dedication along the entire west property line have been secured at rezoning.

- A 5.0 m x 5.0 m corner cut dedication at the southwest corner of the subject development site to accommodate future north-south and east-west lane intersection improvements has also been secured at rezoning.
- Additional Statutory Right-of-Ways (SRWs) have also been secured at rezoning along the Cook Road frontage and adjacent to the lane to allow the areas to be used as if it were a City street sidewalk and street respectively. The City will be responsible for the maintenance of the SRW areas.
- The building setbacks are consistent with the requirements for low-density townhouses. The existing conditions of the neighbouring properties have also been reviewed, and the setbacks from the lane and neighbouring properties have been specified accordingly.
- The development is setback 3.0 m from Cooney Road, 4.4 m from Cook Road, 0.0 m from the rear lane, and 1.5 m from the interior property line to the north.
- A low retaining wall (approximately 0.5 m in height) with a 1.52 m fence on top will be installed on the subject site along the north property line to enhance the landscaped edge of the property.
- The building's massing has been designed to minimize shadowing and overlook on neighbouring properties.
- The bulk of the top floor of the townhouse units are stepped back to minimize overlook into adjacent developments.
- The location and orientation of windows have been carefully considered to maintain privacy in the units and minimize the opportunity of overlook into adjacent developments.

Urban Design and Site Planning

- The applicant proposes to build a compact townhouse development comprising of six townhouse units at 1.2 FAR on the northeast corner of Cook Road and Cooney Road in the CCAP's Brighthouse Village.
- The proposal includes individual, south-facing entries and yards along Cook Road, north-facing decks on the second floor and south-facing decks at the building's uppermost floor.
- All units have direct access to the partially enclosed parking structure, which has vehicle access to the public lane proposed along the east edge of the site.
- A 6.0 m road dedication along the entire east property line is to provide an interim lane aligned north-south parallel to Cooney Road which will be widened with future redevelopment to the east.
- Vehicle access to this townhouse project is from Cook Road. It is in the southeastern portion of the site via the proposed lane.
- Along the Cooney Road frontage, a 2.0 m sidewalk is proposed with a treed and grass boulevard designed to allow for the widening of Cooney Road to accommodate a bicycle path infrastructure in the future.

- Along Cook road, significant effort was made by staff to retain two existing trees on the City boulevard and adjacent to the lane. This includes two SRW's on portions of the site to secure movement around the trees. In addition, the 1.5 m wide sidewalk initially secured at rezoning has been increased to a 2.18 m. The sidewalk has also been relocated away from the curb, and instead, a 0.76 m grass boulevard will be located adjacent to the curb. These revisions aim to improve the accessibility of the sidewalk and safety for pedestrians.
- The proposed habitable floor elevation for the first floor is 0.3 m above the highest elevation of the highest crown of the road adjacent to the site.
- The buildings provide a well-defined street edge along both frontages.
- Along the Cook Road frontage, the proposal provides an attractive streetscape with an individual unit entry and a landscaped front yard to each of the townhouse units.
- Along the Cooney Road frontage, an entry gate with direct access to the garage level is provided, along with an accessible pathway that leads to the outdoor amenity space and another access point to garage level.
- A mailbox is proposed on the garage level by the east side entrance of the parking area.
- Parking standards for the project are in compliance with Zoning Bylaw 8500 as they were secured through the associated rezoning (currently at third reading) prior to the introduction of the Provincial Bill 44 (limited residential parking requirements).
- The proposal will feature a total of ten parking spaces (eight resident parking spaces and two visitor parking spaces). The number of parking spaces proposed is in compliance with the minimum Zoning Bylaw 8500 requirement.
- Four resident parking spaces will be in a tandem arrangement (50 per cent of the total required residential parking spaces), which is consistent with the provisions of Richmond Zoning Bylaw 8500. A restrictive covenant has been secured at rezoning to ensure that where two parking spaces are provided in a tandem arrangement, both parking spaces are assigned to the same dwelling unit.
- Eight Class 1 bicycle parking spaces are proposed in a secure location within the bicycle storage room in the garage level. Two Class 2 bicycle parking spaces are located outdoors at the south west corner of the site. The bicycle parking spaces are in compliance with the provisions of Richmond Zoning Bylaw 8500.
- The garbage, recycling and organics storage bins are proposed to be located in a room on the garage level. For collection, the garbage, recycling and organic storage bins are proposed to be staged for pick up along Cook Road.
- The outdoor amenity area is located in the northwest corner of the site. The overall size of the proposed outdoor amenity space (36.0 m²) complies with the Official Community Plan (OCP) requirement (i.e., 6.0 m² per unit).
- The applicant is proposing to provide cash-in-lieu of providing indoor amenity space on site. The total cash contribution required for the six-unit townhouse development is \$12,396.00 (\$2,066/unit).

- All the townhouse units will have private outdoor spaces consisting of a front yard on the street level and a deck on the fourth floor both fronting Cook Road. Five of the units will also have a private outdoor space on the second floor facing the north property line.

Architectural Form and Character

- The project's six townhouse units are designed as a single three-storey building over a single-level common parking structure.
- All dwelling units have direct entrances from Cook Road. The entrances feature private front yards.
- The proposed development has varying façade treatments at key points, a sloped roof, proportionate windows set symmetrically into the building and architectural details such as decorative wood slats and white wood trims.
- Larger setbacks on the fourth floor have been incorporated to provide a reduced massing expression to the streets.
- Stucco finish and horizontal siding are the two dominant materials used on the elevations. Façade details and trim contrast the background colours of the elevations to distinguish each level.
- Windows and entry roofs are used to accentuate each townhouse unit. Road fronting elevations have light brown horizontal siding as accent material on the ground and fourth levels.

Tree Preservation

- Three on-site trees were identified for removal in the original rezoning staff report. They have since been removed under T3 Permit as is permitted following the first Public Hearing in 2011. The Official Community Plan (OCP) requires a 2:1 replacement ratio for the trees removed, therefore requiring a total of six replacement trees. At the rezoning stage, the applicant committed to providing ten trees on site. As part of the development permit review, changes were made to the site plan to accommodate utilities required on site. As a result, four of the ten trees proposed at rezoning could no longer be accommodated on site.
- The applicant will plant a total of six trees on-site, which complies with the 2:1 replacement requirement established in the OCP. The applicant has also agreed to provide a \$3,000.00 (\$750/tree) voluntary contribution to the City's Tree Compensation Fund in lieu of the four trees that cannot be accommodated on site.
- Two City trees (tag# 1 and 2) adjacent to the site in the City's Cook Road boulevard are to be retained and protected as per City of Richmond Tree Protection Information Bulletin Tree-03.
- Staff ensured a Public Right-of-Passage Statutory Right-of-Ways (PROP SRW), approximately 5.4 m², was secured at rezoning to enable the Cook Road sidewalk to meander around the tree (tag# 2) in the City boulevard to ensure its retention.

- An additional Public Right-of-Passage Statutory Right-of-Ways (PROP SRW), approximately 2.6 m², was secured by staff at rezoning to allow the City lane to encroach into the site to allow for tree (tag# 1) retention in the City boulevard adjacent to the new lane.

Landscape Design and Open Space Design

- The proposed landscape plan includes a mix of six deciduous and coniferous trees on site, as well as a variety of shrubs, perennials and groundcovers.
- Landscaping with trees is proposed along the Cook Road and Cooney Road frontages creating a visually appealing frontage and screening the proposed front yard and outdoor amenity space from the sidewalk.
- Private deck planters are proposed in the second floor balcony for five of the units and in the fourth floor balcony of each townhouse unit.
- An outdoor amenity area is proposed in the north-west corner of the site.
- Wood play features and a playhouse are proposed on multicolor resilient flooring – for two to five age groups.
- Permeable pavers are proposed to create a pathway that provides accessible circulation between the garage, outdoor play area and the Cooney Road sidewalk.
- A bench in the west side yard is also proposed for informal use of the residents.

Crime Prevention Through Environmental Design

- Street lighting are proposed in the rear lane to illuminate the lane and provide unobstructed views of the surrounding area.
- The pathway providing accessible circulation between the garage, outdoor play area and the Cooney Road sidewalk is illuminated with recessed and wall sconce light fixtures.
- Plantings adjacent to residential entries are low to maximize views and casual surveillance.
- Glazing and balcony access for each unit increases visual presence and provides opportunities for the passive surveillance of Cook Road, Cooney Road, the future back lane and the outdoor amenity space.

Sustainability

- The proposed development consists of six townhouses above a parking garage. This development is required to achieve Step 3 of the BC Energy Step Code for Part 3 construction. As part of a future Building Permit application, the applicant will be required to provide a report prepared by a Certified Energy Advisory which demonstrates that the proposed design and construction will meet or exceed the required standard.
- In compliance with Zoning Bylaw 8500, all eight resident parking spaces will be provided with energized outlets capable of providing Level 2 charging. The two visitor vehicle parking spaces will also be provided with energized outlets capable of providing Level 2 charging.

Accessible Housing

- The proposed development includes one convertible unit (Unit 1) that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit in the future will require the installation of a vertical lift in the stacked storage space if desired.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Site Servicing and Off-site Improvements

Servicing and off-site improvements to support the proposed development were identified during the Rezoning Application review process and will be addressed under a Servicing Agreement prior to rezoning bylaw adoption. To address a discrepancy in the rezoning requirements through this Development Permit and its associated considerations, the \$9,000.00 cash contribution towards the Accessible Pedestrian Signals (APS) upgrade secured through the rezoning considerations is being waived as the applicant will be providing the upgrade directly. This will occur as part of the agreed upon requirement for the design and construction of the APS upgrade outlined in the Servicing Agreement.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, and the applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Tolu Alabi
Planner 1
(604-276-4092)

TA:js

Att. 1: Development Application Data Sheet
2: Development Permit Considerations



DP 22-008932

Address: 6500 Cooney Road

Applicant: Kenneth Kim (Kenneth Kim Architecture Inc.)

Owner: 1319414 B.C. Ltd. (Incorporation No. BC 1319414)

Planning Area(s): City Centre Area (Brighthouse Village)

Floor Area Gross: 1111.33 m²

Floor Area Net: 756.24 m²

	Existing	Proposed
Site Area	870.9 m ²	632.8 m ²
Land Uses	Vacant	Multiple-Family Residential
OCP Designation	Neighbourhood Residential	No Change
CCAP Designation	General Urban T4 / 1.2 FAR	No Change
Development Permit Sub-Area	B2 Mixed-Use - Mid-Rise Residential & Limited Commercial	B2 Mixed-Use - Mid-Rise Residential & Limited Commercial
Zoning	Low Density Townhouses (RTL1)	Parking Structure Town Housing (ZT93) - Brighthouse (City Centre)
Number of Units	0	6 townhouse units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 1.2 (759.36 m ²)	1.2 (756.24 m ²)	None Permitted
Lot Coverage	Building	Max. 56.0 %	52.5 %
	Non-porous Surfaces	Max. 80.0 %	74.2 %
	Live Landscaping	Min. 20.0 %	20.0 %
Setback – Cooney Road	Min. 3.0 m	3.1 m	None
Setback – Cook Road	Min. 3.0 m	4.4 m	None
Setback – Side Yard	Min. 1.5 m	1.5 m	None
Setback – Rear Lane	Min. 0.0 m	0.1 m	None
Building Height	Max. 15.0 m (4 storeys)	13.43 m (4 storeys)	None
Lot Size	Width	Min. 20.0 m	Min. 20.3 m
	Depth	Min. 30.0 m	Min. 31.6 m
	Area	Min. 600.0 m ²	Min. 632.8 m ²
Parking Spaces (City Centre Zone 2)	Resident (1.2/unit)	8	8
	Visitors (0.2/unit)	2	2
	Total	10	10
Parking Spaces – Accessible	Not required	0	None

Tandem Parking Spaces		Max. 50% of resident spaces	50% of resident spaces	None
Bicycle Parking	Class 1 (1.25/unit)	8	8	None
	Class 2 (0.20/unit)	2	2	
EV (Energized) Car Charging		100% of resident parking spaces	100% of resident parking spaces	None
Amenity Space – Indoor		Min. 50.0 m ²	Cash-in-lieu	None
Amenity Space – Outdoor		Min. 36.0 m ²	36.0 m ²	None



City of Richmond

Development Permit Considerations
Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 6500 Cooney Road

File No.: DP 22-008932

Prior to approval of the Development Permit*, the developer is required to complete the following:

1. **[Zoning Amendment]** Final adoption of the Zoning Amendment Bylaw 10265.
2. **[Aircraft Noise Sensitive Development]** Confirmation that the proposed development is designed in a manner that mitigates potential aircraft noise to the proposed dwelling units, including submission of:
 - a) Acoustic report prepared a registered professional confirming design achieves the following CMHC interior noise level guidelines:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) Mechanical report prepared a registered professional confirming design achieves the ASHRAE 55-2004 “Thermal Environmental Conditions for Human Occupancy” standard for interior living spaces.
3. **[Energy Step Code]** Submissions from the Coordinating Registered Professional, including:
 - a) A statement identifying the applicable Energy Step Code performance target, confirmation that the required target has been considered in design, and that a Qualified Energy Modeller has been engaged to ensure that the proposed design can achieve the applicable performance targets.
 - b) A summary (e.g., one page) of the envelope energy upgrades and other energy efficiency measures (e.g. effective R-values of typical wall assemblies, U-values and solar heat gain coefficients of fenestration, window-to-wall ratios, thermal breaks in balconies and similar features) must be presented in the DP application such that the passive energy performance of the building can be assessed and discussed by the Advisory Design Panel.
4. **[Landscape Security]** Submission of a Letter of Credit for landscaping in the amount of \$74,750.00 (based on the cost estimate prepared by a registered landscape architect including a 10% contingency). A Legal Agreement is required to accompany the Landscaping Security to set the terms for the use and release of the security.
5. **[Tree Compensation]** City acceptance of the developer’s offer to voluntarily contribute \$3,000.00 (\$750/tree) to the City’s Tree Compensation Fund for the planting of replacement trees within the City.
6. **[Servicing Agreement*]** Revisions to the requirement to enter into a Servicing Agreement* (secured through RZ 08-429600) for the design and construction of frontage improvements and utility works have been agreed to and are included in the following:
 - a) **Functional Road Plan:**
A functional road plan is to be prepared and submitted as part of the Servicing Agreement to the satisfaction of the Director of Transportation for the interim and ultimate design of the roadworks described below and infrastructure works as developed through the functional design process to current City standards and policies and to confirm the SRW areas (amounts and geometry) described above, as noted in these considerations.
 - b) **Cooney Road:**
Frontage works are required behind the existing curb, along the subject site’s frontage and extending northwards to include tie-in to the existing sidewalk to the north. Frontage works shall include removal of the existing sidewalk and installation of the following from east to west:
 - (i) Minimum 2.00 m wide concrete sidewalk along the subject site's new property line, including tie-in to the existing sidewalk to the north
 - (ii) 1.50 m treed boulevard
 - Treed portion to be planted at 9.00 m on centre (including reinstatement of the boulevard north of the subject site where the sidewalk must be removed)
 - City Centre streetlights in the boulevard (Type 3, powder coated blue, 9.14 m pole, and 250w MH lamp, except without pedestrian luminaires, banner arms, flowerpot holders, receptacles, or irrigation). All utility poles to be underground.

(iii) 1.80 m grassed boulevard with no above-grade utilities.

(iv) 0.15 m curb and gutter.

c) **Cook Road:**

Construction of frontage works including removal of the existing on street walkway and extruded curb and installation of the following from south to north:

(i) 0.15 m curb and gutter. The face of curb shall be approximately 11.85 m north of the existing south curb face.

(ii) 0.76 m wide grassed boulevard with street lighting

- City Centre streetlights (Type 3, powder coated blue, 9.14 m pole, and 250w MH lamp, except without pedestrian luminaires, banner arms, flowerpot holders, receptacles, or irrigation)

(iii) Minimum 2.18 m wide concrete sidewalk between the grassed boulevard and the subject site's property line.

Local reduction of this sidewalk width is permitted for the retention of one existing tree (tag# 2).

d) **Cooney Road and Cook Road Intersection Improvements:**

A traffic signal design will be required as part of the Servicing Agreement process. The exact scope of traffic signal upgrades shall be confirmed upon completion of the traffic signal design; however, a minimum of the following will be required at the Cooney Road and Cook Road intersection:

(i) Replacement of the existing traffic signal at the NE corner of the intersection with a new City Centre decorative traffic pole complete with new traffic signal hardware

(ii) New APS and LED streetlights on the new traffic pole. Intersection lighting design and drawings will be required to confirm lighting requirements.

(iii) New communications conduit along the development frontage

(iv) All new curb ramps are to have accessible tactile warning strips.

e) **Public Lane:**

Construction of a new 6.0 m wide lane is required, including, but not limited to, City Centre lighting along the lane's east side, the extension and repair or replacement of the existing fence along the entire property line of 8491 Cook Road (i.e. immediately east of the proposed lane), and special measures aimed at mitigating impacts on the existing significant tree east of the proposed lane as determined by an arborist (e.g., permeable paving, light weight fill), to the satisfaction of the City. Any grade differential between the lane and adjacent sites must be resolved via the design review/approval process. The functional road plan required for the public lane is to illustrate the swept path for two-way vehicle movements at the new lane/6468 Cooney Road easement intersection and any additional traffic control measures or devices to support the design.

(i) Driveway letdown for lane access shall be designed to facilitate safe, convenient pedestrian movement between the new sidewalk at the subject site and the on-street walkway east of the subject site.

f) **Water Service:**

Using the OCP Model, there is 861 L/s of water available at a 20 psi residual at the Cooney Rd frontage and 844 L/s of water available at a 20 psi residual at the Cook Road frontage. Based on the proposed development, the site requires a minimum fire flow of 220 L/s.

At owner's cost, the owner is to:

(i) Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage Building designs.

(ii) Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use.

(iii) Provide a right-of-way for the water meter. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2n-SD) + 0.5 m on all sides. Exact right-of-way dimensions to be finalized via the servicing agreement process).

At owner's cost, the City is to:

(i) Complete all tie-ins for the proposed works to existing City infrastructure.

(ii) Cut and cap all existing water service connections and remove all existing water meters.

(iii) Install a new water service connection, complete with water meter and water meter box as per City specifications to service the site.

g) **Storm Sewer:**

At owner's cost, the owner is to:

- (i) Provide a 300 mm storm sewer for drainage along the newly proposed lane.
- (ii) Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.

At owner’s cost, the City is to:

- (i) Install a new storm service connection complete with inspection chamber as per City specifications for the proposed site. The location and size of the required storm sewer service connection shall be determined through the servicing agreement design process. Inspection chamber to be located in a right-of-way onsite.
- (ii) Cut and cap all existing storm service connections to the development site and remove inspection chambers.
- (iii) Complete all tie-ins for the proposed works to existing City infrastructure.

h) Sanitary Sewer:

At owner’s cost, the owner is to:

- (i) Replace the existing sanitary connection and inspection chamber serving the development site with approximately 31 m of new 200 mm sanitary sewer from manhole SMH1022 to a new manhole at the adjoining property line of 6468 Cooney Road and the development site.
- (ii) Install one new rear-yard sanitary service connection complete with an inspection chamber off of the new manhole to serve the development site. The size of the required sanitary sewer service connection shall be determined through the servicing agreement design process.
- (iii) Reconnect the existing sanitary connection to 8431 Cook Road to the new sanitary sewer.
- (iv) Not start onsite excavation or foundation construction prior to completion of rear-yard sanitary works by City.

At owner’s cost, the City is to:

- (i) Complete all tie-ins for the proposed works to existing City infrastructure.

i) Frontage Improvements:

At owner’s cost, the owner is to:

- (i) Review street lighting levels along all road and lane frontages, and upgrade as required.
- (ii) Coordinate with BC Hydro, Telus and other private communication service providers:
 - To underground overhead service lines.
 - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - To locate all proposed underground structures (e.g. junction boxes, pull boxes, service boxes, etc.) outside of bike paths and sidewalks.
 - Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development’s frontages, within the developments site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development process design review. Please coordinate with the respective private utility companies and the project’s lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the functional plan and registered prior to SA design approval:

BC Hydro LPT	Confirm size with BC Hydro, approximately 3.5 m x 3.5 m
BC Hydro PMT	Confirm size with BC Hydro, approximately 4.0 m x 5.0 m
BC Hydro Vista	Confirm size with BC Hydro
Street light kiosk	Approximately 2.0 m x 1.5 m
Traffic signal controller cabinet	Approximately 3.2 m x 1.8 m
Traffic signal UPS cabinet	Approximately 1.8 m x 2.2 m
Show possible locations in functional plan of the following:	
Shaw cable kiosk	Confirm size with Shaw, approximately 1.0 m x 1.0 m
Telus FDH cabinet	Confirm size with Telus, approximately 1.1 m x 1.0 m

j) General Items:

At owner’s cost, the owner is to:

- (i) Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into rights-of-ways must be reviewed by the City's Engineering Department.
- (ii) Not encroach into the rear-yard sanitary right-of-way with proposed trees, retaining walls, non-removable fences, or other non-removable structures. No fill may be placed within the right-of-way without the City's review and approval.
- (iii) Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
- (iv) Provide a video inspection report of the existing storm and sanitary sewers along the development's frontages prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection report after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) is required to assess the condition of the existing utilities and provide recommendations. Any utilities damaged by the pre-load, de-watering, or other development-related activity shall be replaced at the Developer's cost.
- (v) Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
- (vi) Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Prior to Building Permit* Issuance, the developer is required to complete the following:

1. [**Legal Agreements**] Confirmation of compliance with existing, Rezoning and Development Permit legal agreements.
2. [**Rezoning/Development Permit**] Incorporation of features in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes, including accessibility, sustainability, amenity and landscape design measures. All landscaped areas are to be provided with an irrigation system.
3. [**Accessibility**] Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. [**Aircraft Noise Sensitive Development**] Submission of an Acoustics Report by a registered professional confirming that the building design incorporates all the noise mitigation features necessary to ensure compliance with the standards set out in the OCP.
5. [**Construction Parking and Traffic Management Plan**] Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
6. [**Latecomer Works**] If applicable, payment of latecomer agreement charges, plus applicable interest associated with latecomer works.
7. [**Construction Hoarding***] Obtain a Building Permit (BP)* for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

[Signed copy on file]

Signed

Date



No. DP 22-008932

To the Holder: 1319414 B.C. Ltd. Incorporation No. BC 1319414

Property Address: 6500 Cooney Road

Address: C/O: Kenneth Kim (Kenneth Kim Architecture Inc.)
2223 West Broadway Unit 221,
Vancouver, BC
V6K 2E4 Canada

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #17 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$74,750 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 22-008932

To the Holder: 1319414 B.C. Ltd. Incorporation No. BC 1319414
Property Address: 6500 Cooney Road
Address: C/O: Kenneth Kim (Kenneth Kim Architecture Inc.)
2223 West Broadway Unit 221,
Vancouver, BC
V6K 2E4 Canada

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

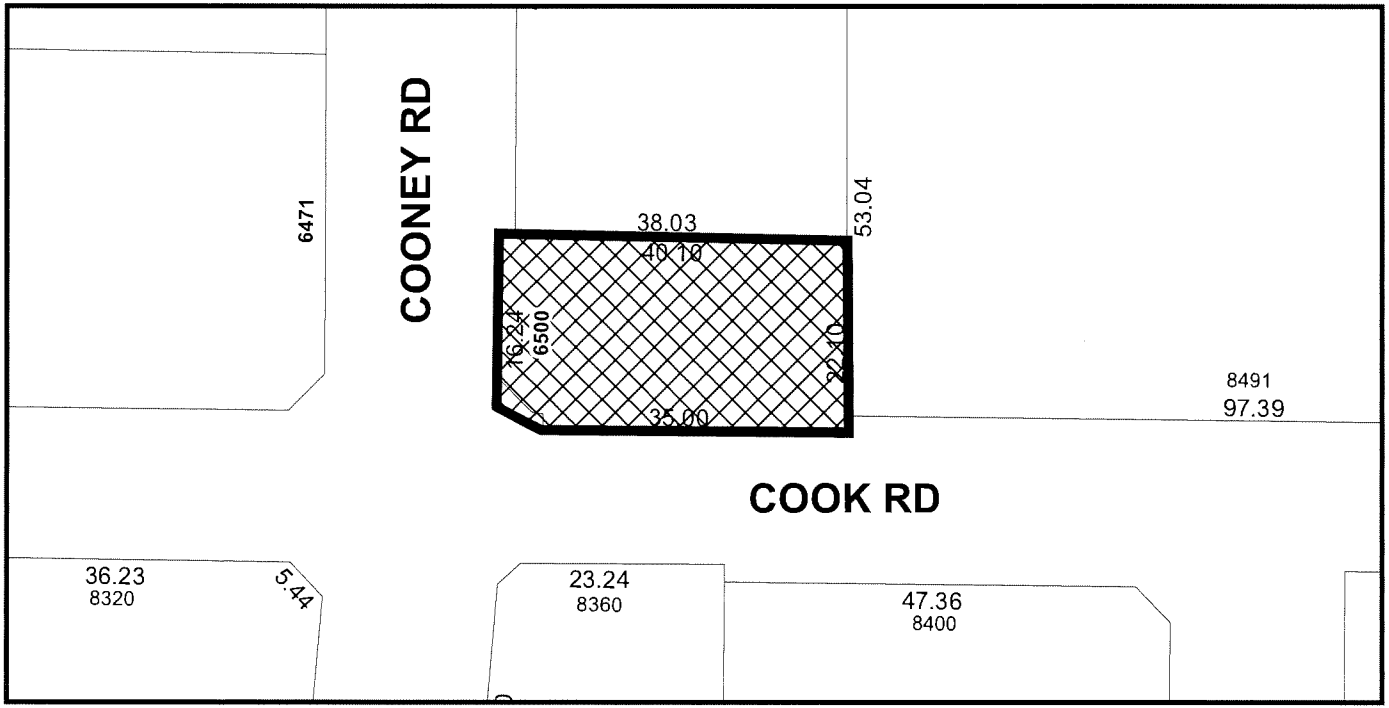
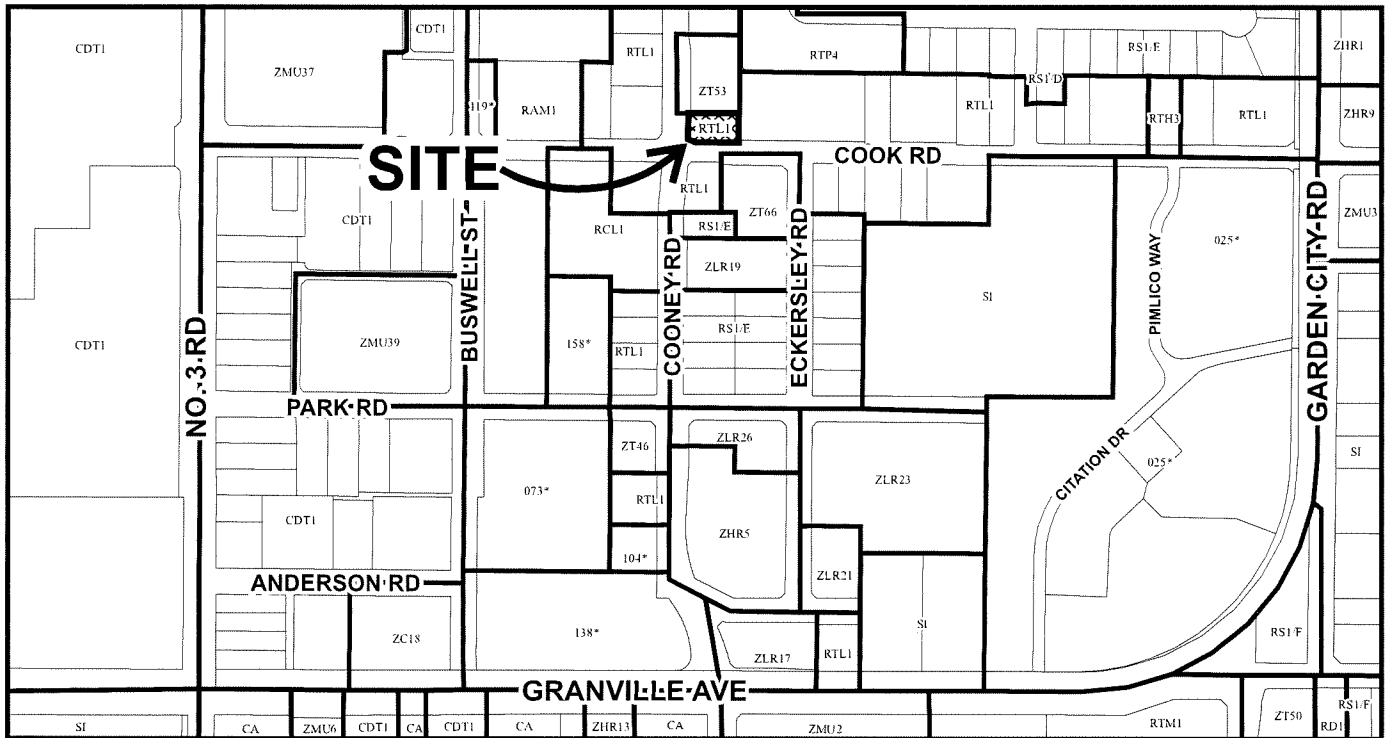
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



	<h2>DP 22-008932 SCHEDULE "A"</h2>	Original Date: 04/05/22 Revision Date: Note: Dimensions are in METRES
--	--	---



t: 778-379-8918 / f: 604-800-0775
 e: kenneth@kka.ca
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Project Title
6-UNIT TOWNHOUSE
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

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Sheet Title
FIREFIGHTING ACCESS PLAN

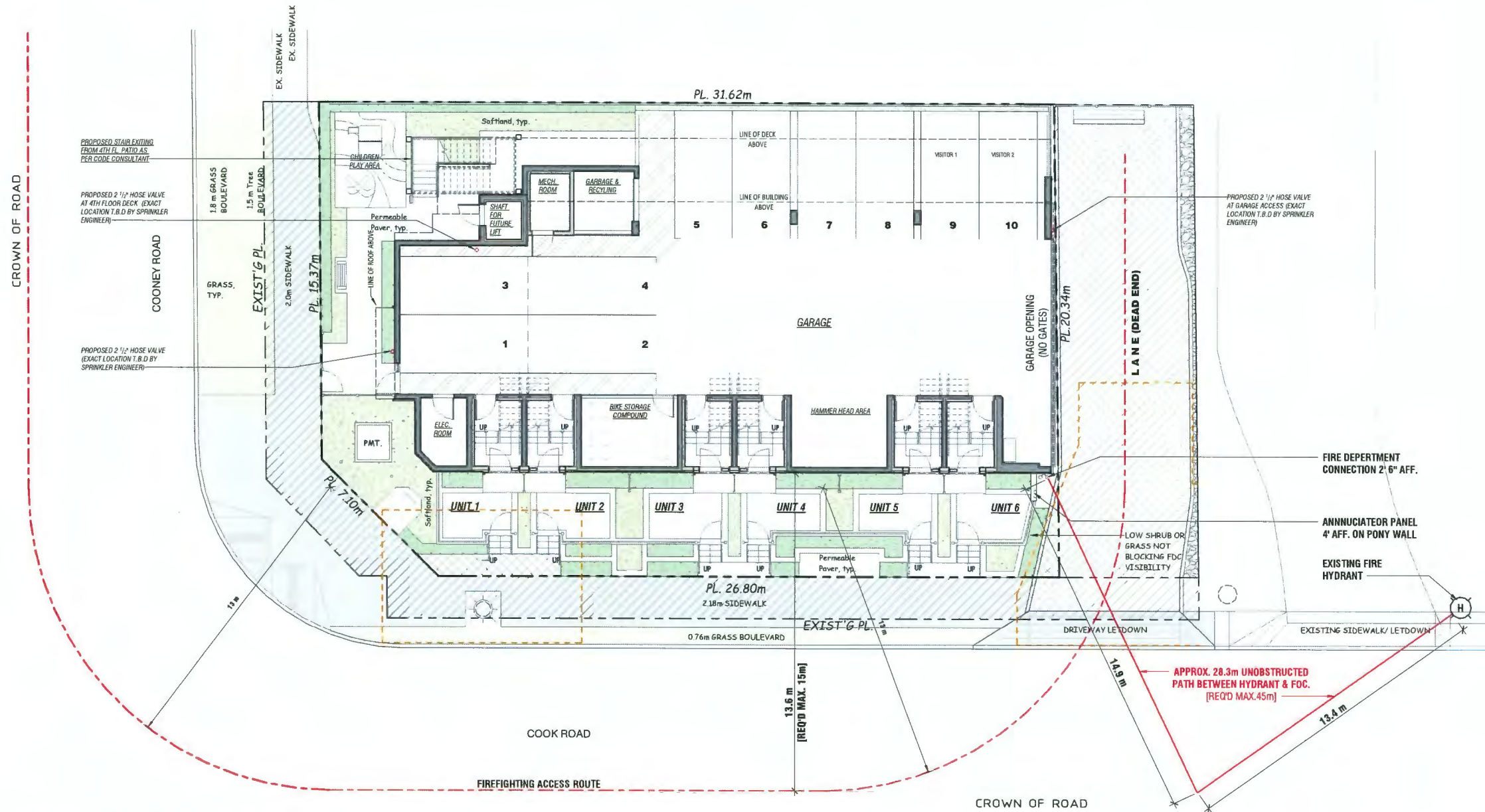
Drawn: **CL**

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Dwg. no. **A1.6**



FIREFIGHTING ACCESS PLAN

SCALE: 1/8" = 10'



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Sheet Title
FIRST FLOOR PLAN

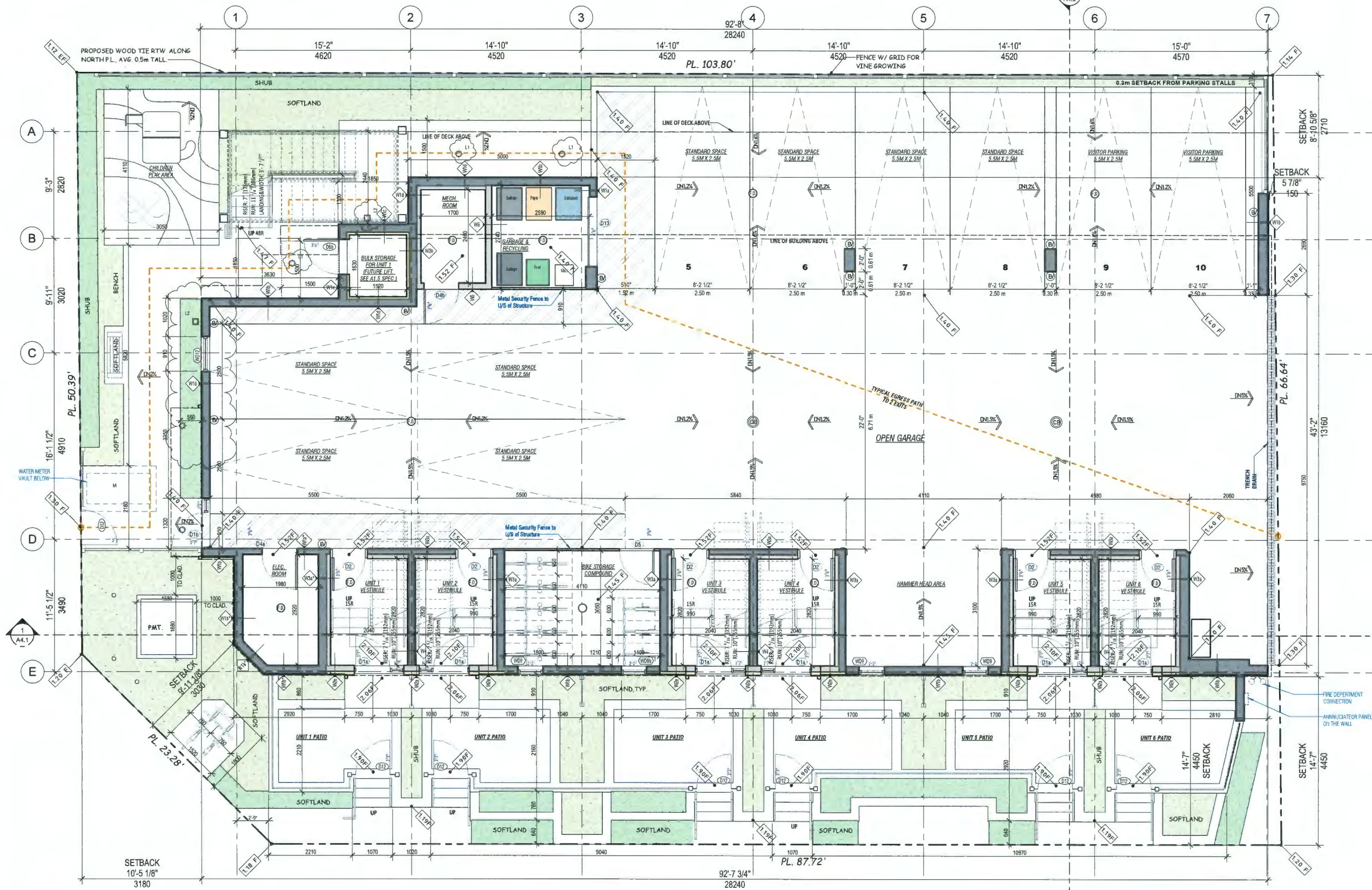
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Scale:

Print date: **Apr 23, 2024**

Dwg. no.
A2.1



FIRST FLOOR PLAN

SCALE: 1/4" = 10"

- Ⓜ LEVEL 2 EV CHARGING OUTLET, 12KW, 1 FOR EACH PARKING SPACE
- L1 PROPOSED RECESSED LIGHT
- L2 PROPOSED WALL SCONCE LIGHT



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Sheet Title
**SECOND FLOOR
 PLAN**

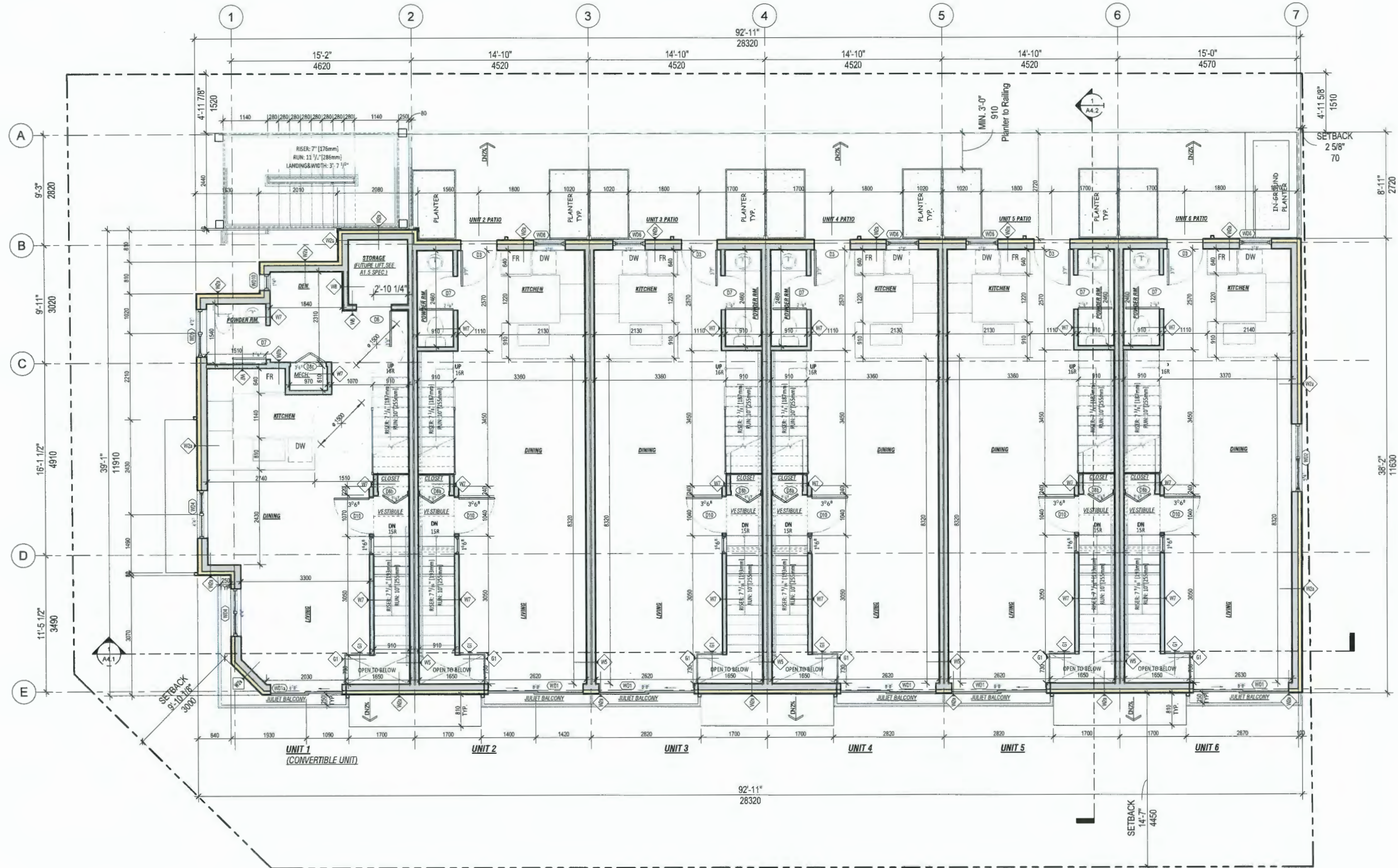
Drawn: **CL**

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Dwg. no. **A2.2**



SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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Sheet Title
THIRD FLOOR PLAN

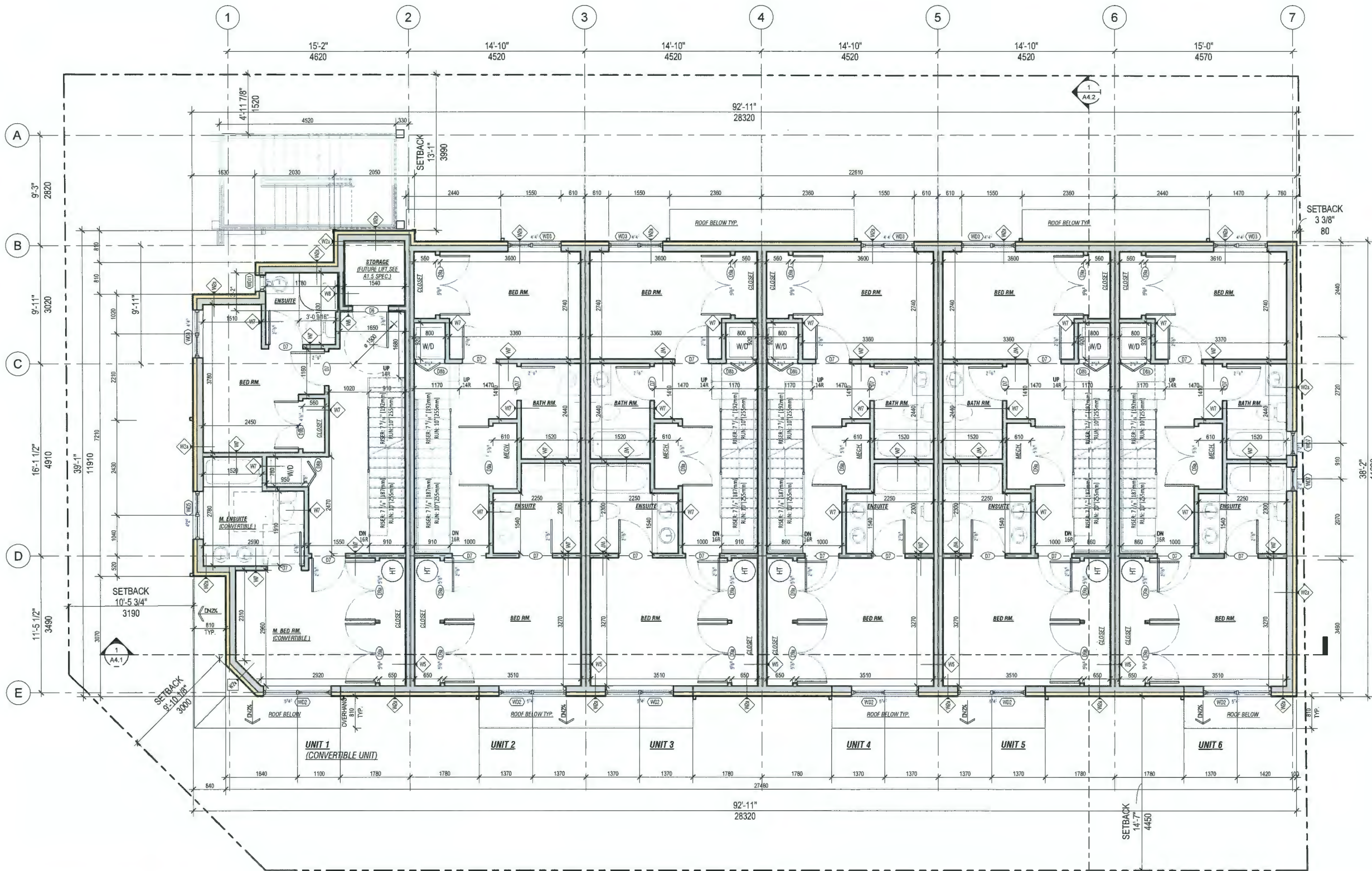
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Print date: **Apr 15, 2024**

Dwg. no. **A2.3**



THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"





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Sheet Title
**FOURTH FLOOR
 PLAN**

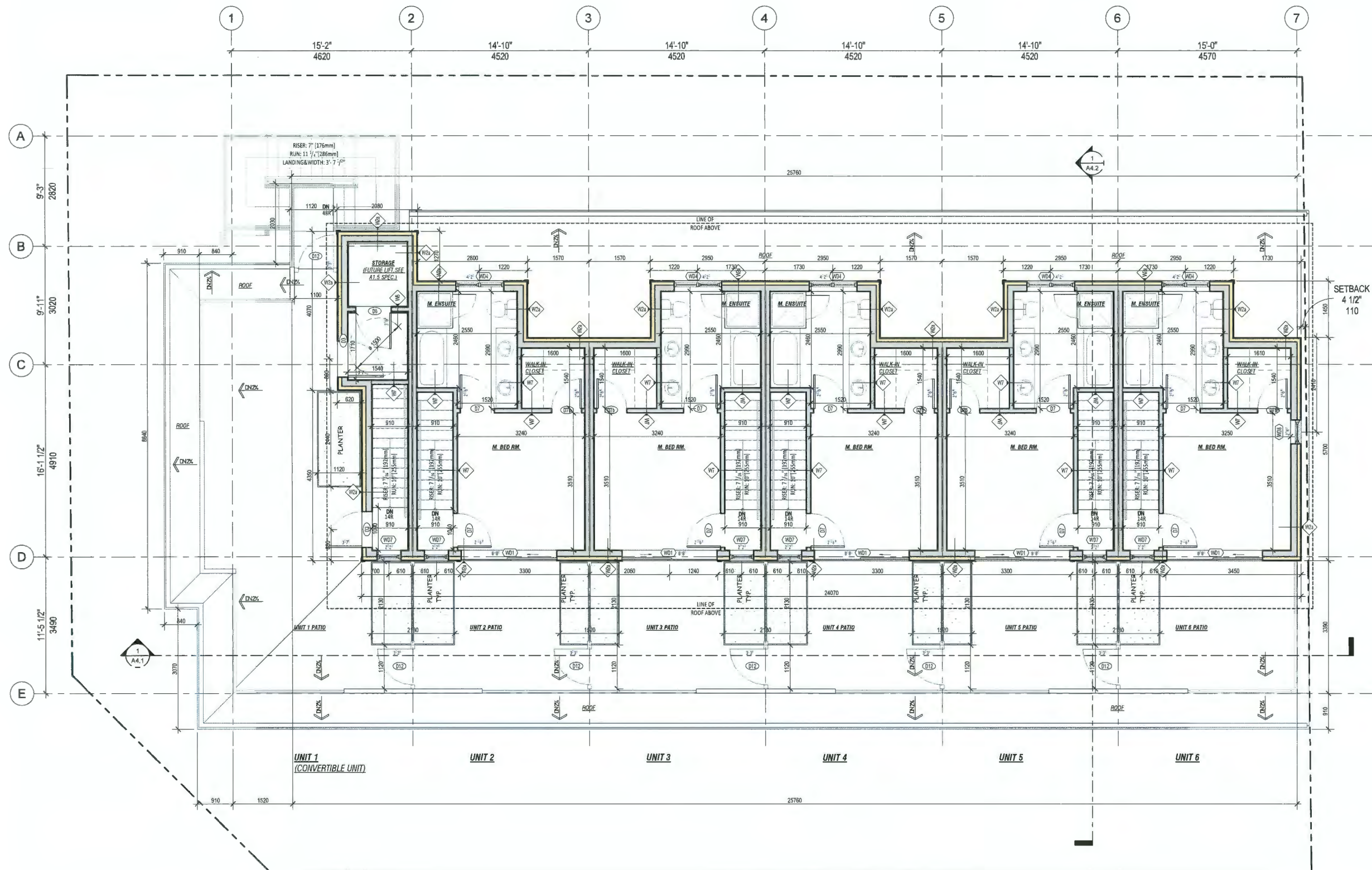
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Scale:

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Dwg. no. **A2.4**



FOURTH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



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Sheet Title
**SOUTH & WEST
ELEVATION**

Drawn: **CL**

Checked: **KK**

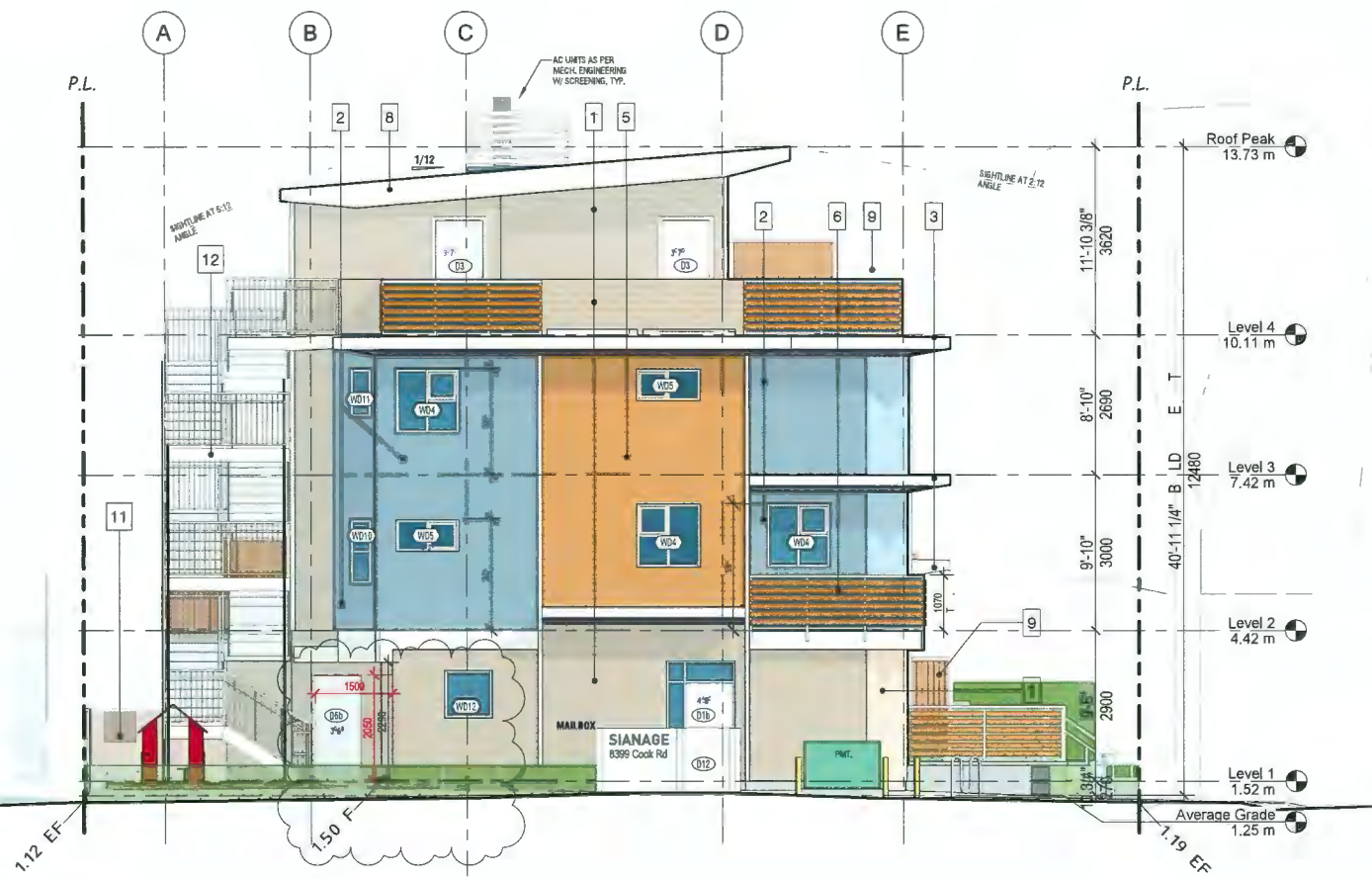
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Print date: **Apr 23, 2024**

Dwg. no. **A3.1**



SOUTH ELEVATION (COOK RD)
SCALE: 3/16" = 1'0"



WEST ELEVATION (COONEY RD)
SCALE: 3/16" = 1'0"

MATERIALS LEGEND

- Horizontal HardiePlank Siding
COLOUR: Light Brown
- Slatdash Stucco Finish
COLOUR: Slate Gray
- Metal Flashing
COLOUR: Silver/light gray
- Slatdash Stucco Finish
COLOUR: Light Gray
- Horizontal Siding
(Aluminum, Steel or Composite)
(e.g. Longboard® Tongue & Groove)
COLOUR: Simulated Wood
- Alum/Glass Balcony Guards
w/ Decorative Wood Slats (Painted) @
Outside of Glass
COLOUR: Medium Brown
- Concrete- Painted
COLOUR: Light Gray
- Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- Open Trellis Privacy Screen
Between Units
COLOUR: Medium Brown
- Wood Painted Privacy Fencing to
Neighbour
COLOUR: Medium Brown
- Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



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Sheet Title
**NORTH & EAST
 ELEVATION**

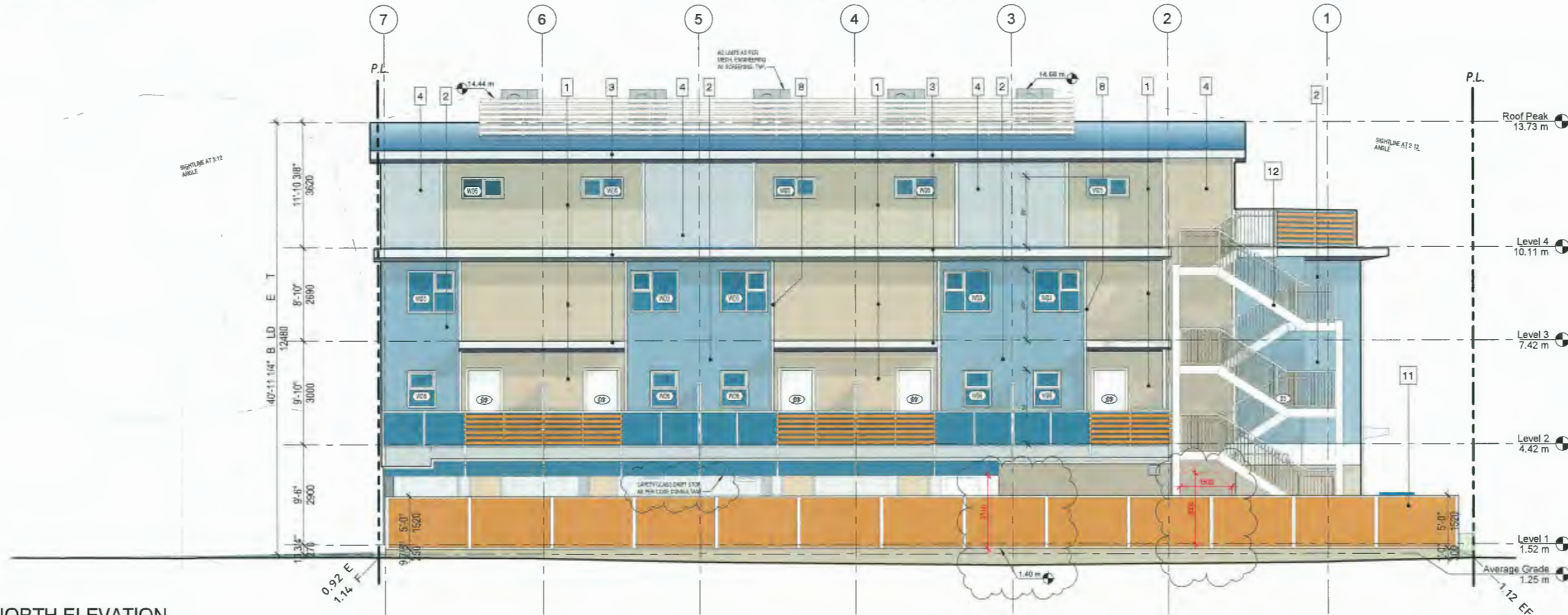
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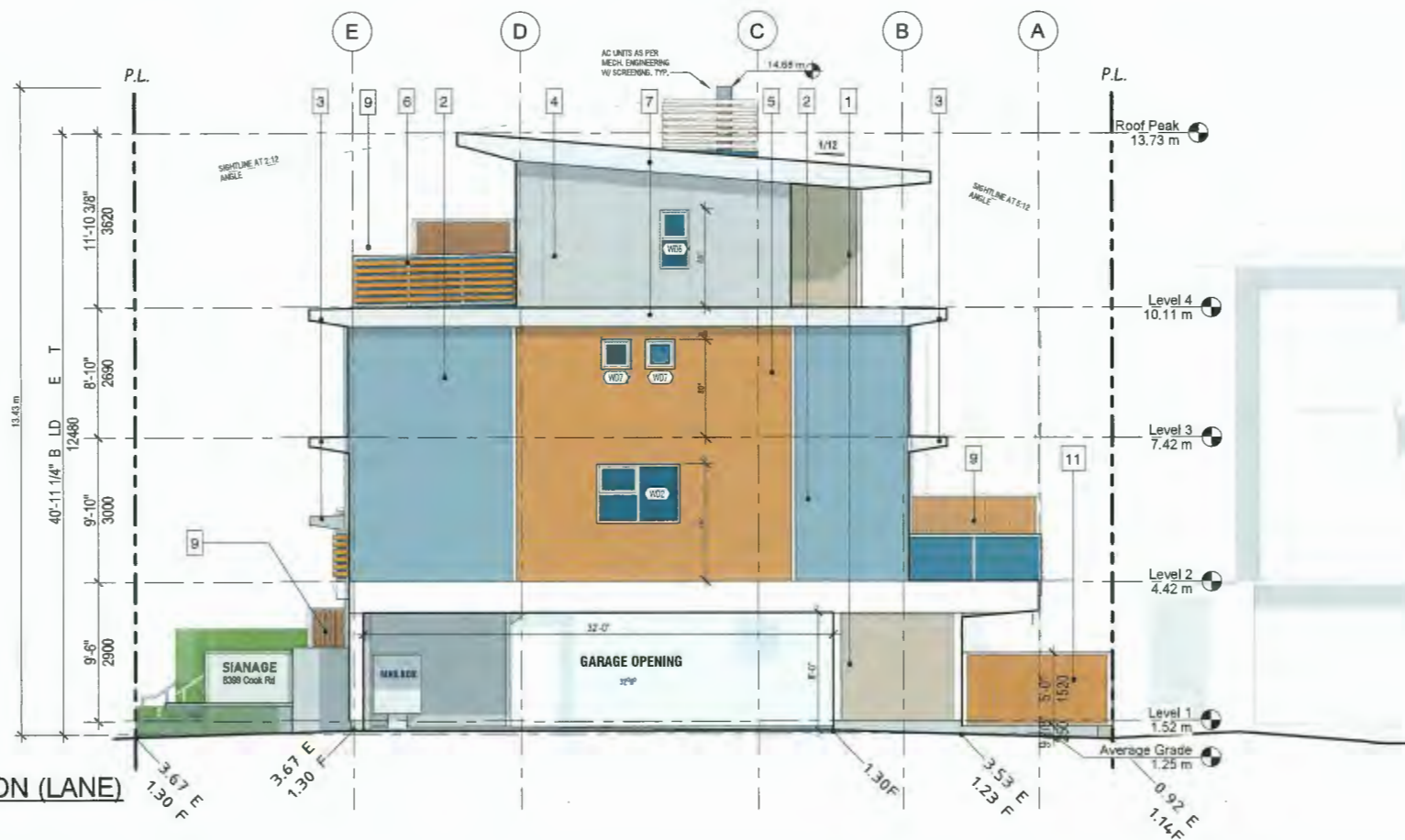
Print date: **Apr 23, 2024**

Dwg. no. **A3.2**



NORTH ELEVATION

SCALE: 3/16" = 1"



EAST ELEVATION (LANE)

SCALE: 3/16" = 1"

MATERIALS LEGEND

- 1 Horizontal HardiePlank Siding
COLOUR: Light Brown
- 2 Slatdash Stucco Finish
COLOUR: Slate Gray
- 3 Metal Flashing
COLOUR: Silver/light gray
- 4 Slatdash Stucco Finish
COLOUR: Light Gray
- 5 Horizontal Siding
(Aluminum, Steel or Composite)
(e.g. Longboard® Tongue & Groove)
COLOUR: Simulated Wood
- 6 Alum/Glass Balcony Guards
w/ Decorative Wood Slats (Painted) @
Outside of Glass
COLOUR: Medium Brown
- 7 Concrete- Painted
COLOUR: Light Gray
- 8 Wood Trim/Fascia/Downspout- painted
COLOUR: Ivory White
- 9 Open Trellis Privacy Screen
Between Units
COLOUR: Medium Brown
- 11 Wood Painted Privacy Fencing to
Neighbour
COLOUR: Medium Brown
- 12 Exit Stairs
Steel Structure: Silver/light gray
Railing: Light Brown
Tread & Landing: Light Gray



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Sheet Title
**LONGITUDINAL
 SECTION 1**

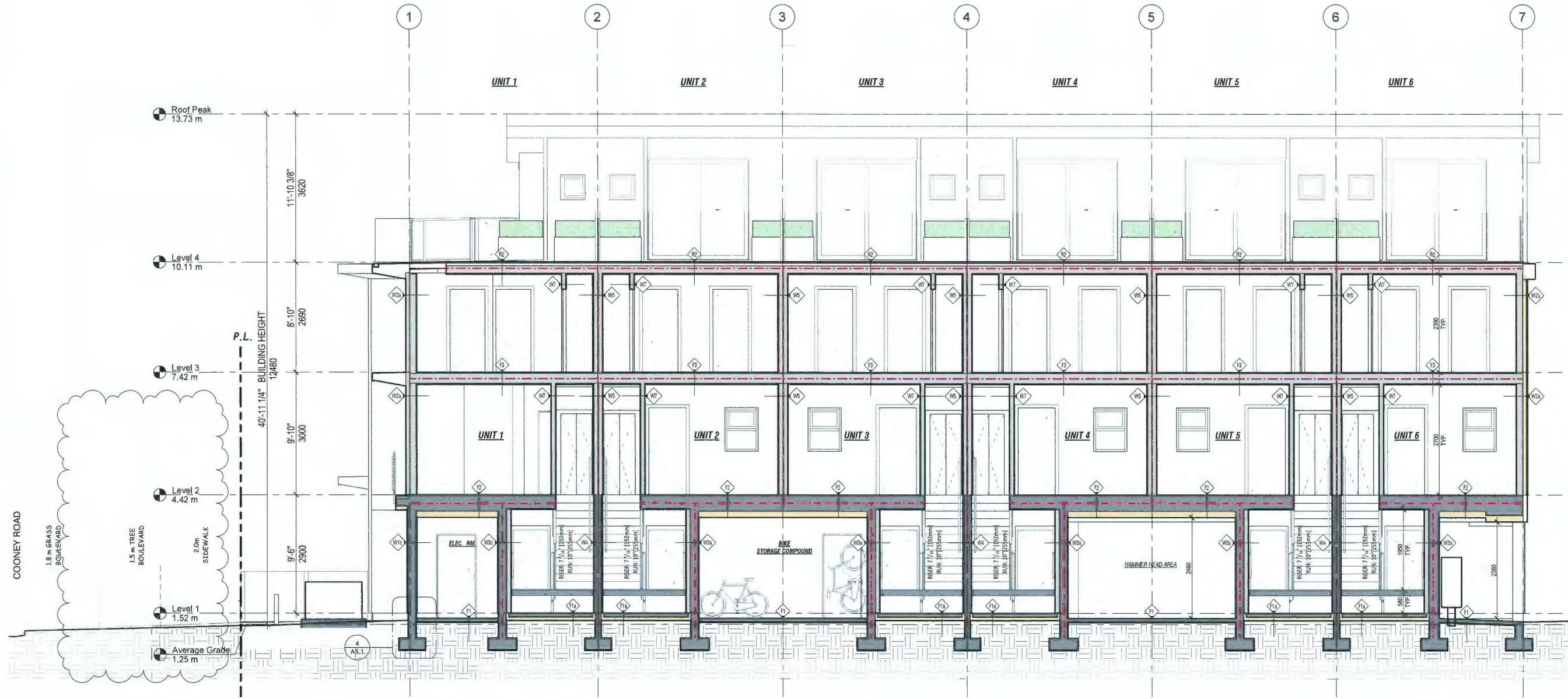
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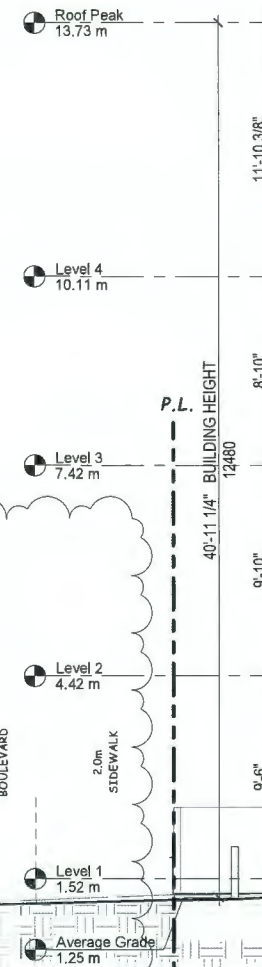
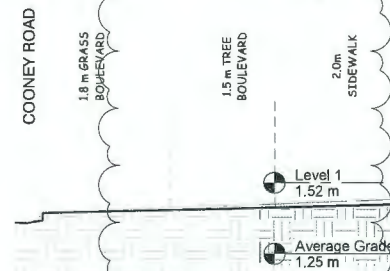
Dwg. no. **A4.1**



LONGITUDINAL SECTION 1

SCALE: 1/4" = 1'0"

--- 1.5 Hr FRR Separation
 --- 1.0 Hr FRR Separation





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Sheet Title
CROSS SECTION 1

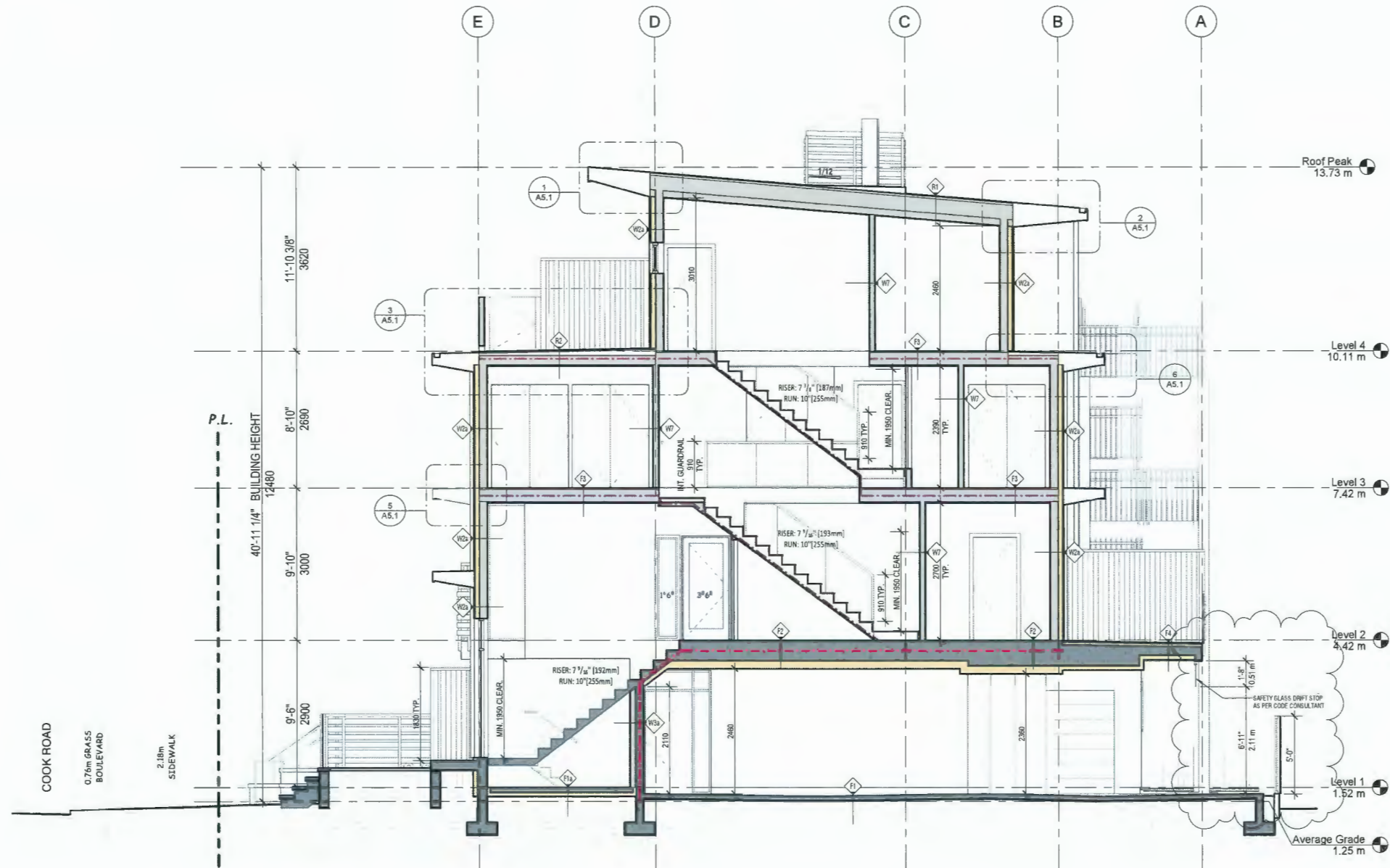
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Scale:

Print date: **Apr 15, 2024**

Dwg. no. **A4.2**



CROSS SECTION 1

SCALE: 1/4" = 1'0"

- 1.5 Hr FRR Separation
- 1.9 Hr FRR Separation



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Sheet Title
ROOF PLAN

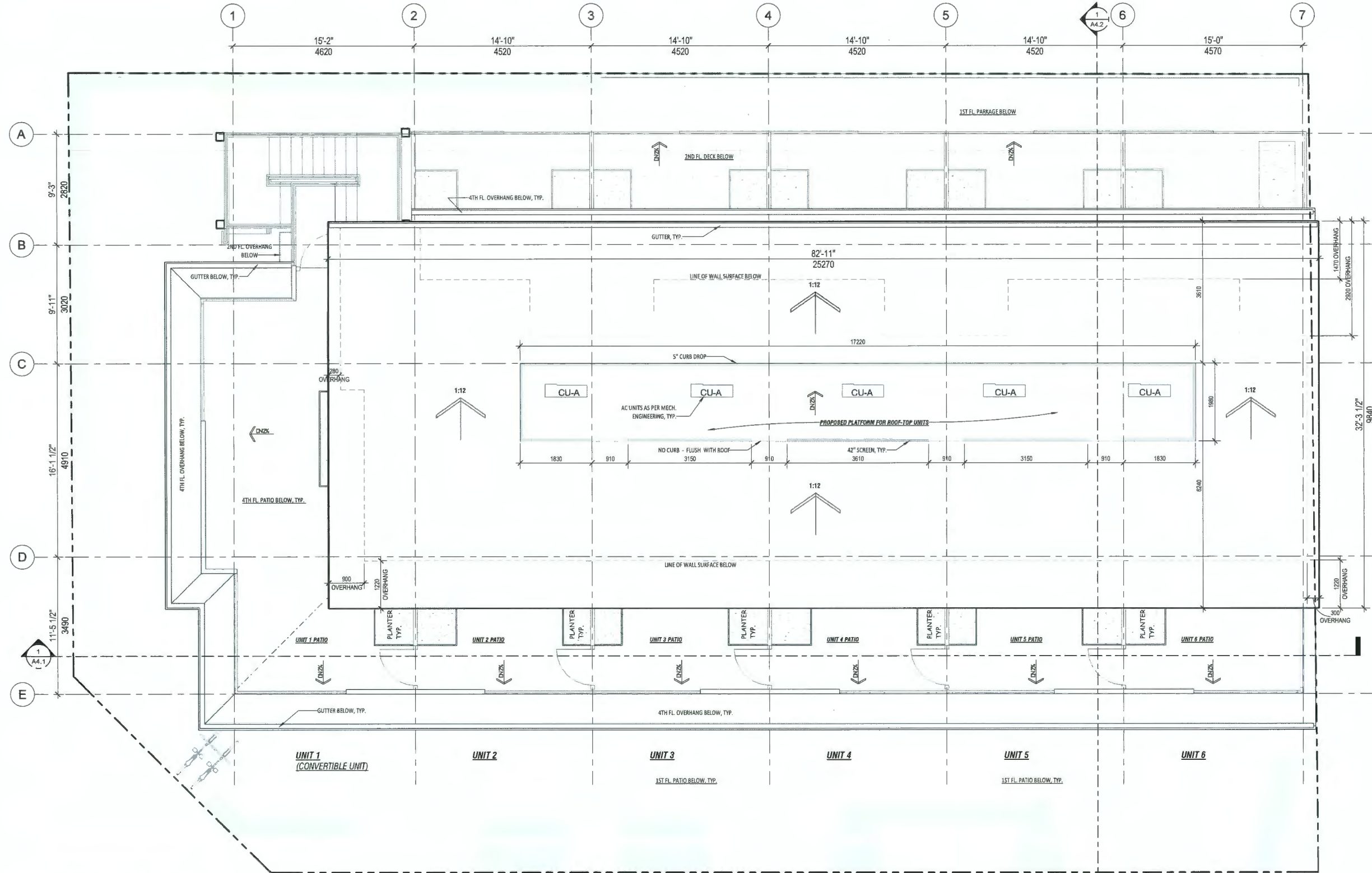
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Dwg. no. **A2.5**



ROOF PLAN

SCALE: 1/4" = 10'



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Project Title
6-UNIT TOWNHOUSE
6500 Conney Rd (Existing)
8399 Conney Rd (Proposed)
Richmond, BC

Sign & Seal

No.	Date	Revision
11	Apr 17 2024	DP Revision 2 Updates
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3	Jun 9 2021	Reasoning application (Traffic Revision)
2	May 13 2021	Reasoning application (Revised)
1	Jan 13 2020	Proposal w/ New Parking Layout

Sheet Title
SITE GRADING PLAN & PROJECT FEATURES

Drawn: **CL**

Checked: **KK**

Scale:

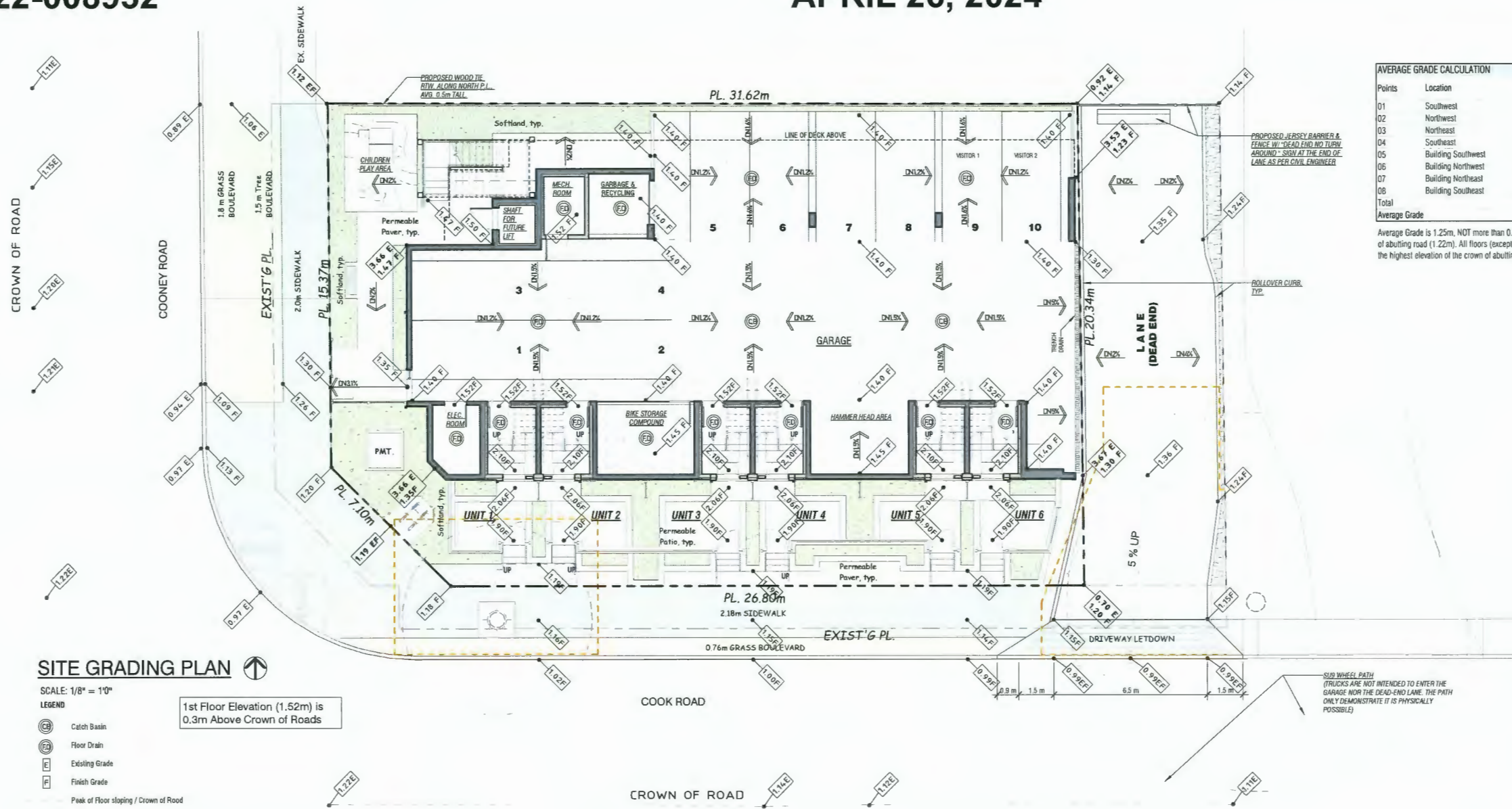
Print date: **Apr 15, 2024**

Dwg. no. **A1.5**

AVERAGE GRADE CALCULATION

Points	Location	Existing Grade (m)	Proposed Grade (m)
01	Southwest	2.33 (T.O. Pre-loading)	1.19
02	Northwest	1.12	1.12
03	Northeast	0.92	1.14
04	Southeast	0.70	1.20
05	Building Southwest	3.66 (T.O. Pre-loading)	1.35
06	Building Northwest	3.66 (T.O. Pre-loading)	1.47
07	Building Northeast	1.53 (T.O. Pre-loading)	1.23
08	Building Southeast	3.67 (T.O. Pre-loading)	1.30
Total			10.00
Average Grade			1.250

Average Grade is 1.25m, NOT more than 0.3m above the highest elevation of the crown of abutting road (1.22m). All floors (except Garage & Garbage room) are Min 0.3m above the highest elevation of the crown of abutting road.



SITE GRADING PLAN

SCALE: 1/8" = 10'
LEGEND
 Catch Basin
 Floor Drain
 Existing Grade
 Finish Grade
 Peak of Floor sloping / Crown of Road
 Valley of Floor Sloping
 1st Floor Elevation (1.52m) is 0.3m Above Crown of Roads

AGING-IN-PLACE FEATURES (ALL UNITS)

ALL ROOMS	FEATURES
LARGE TOGGLE-TYPE ELECTRICAL SWITCHES	
LEVER TYPE DOOR HANDLES	
MINIMIZE THRESHOLD HEIGHTS (LESS THAN 12") WHERE POSSIBLE	
MINIMIZE CONTRAST IN COLOURS OF FLOOR FINISHES WHERE POSSIBLE	
STAIRS & LANDINGS	WALL BLOCKING FOR FUTURE ADDITIONAL HANDRAIL INSTALLATION INTERMEDIATE STAIR LANDINGS WHENEVER POSSIBLE LESS STEEP RISE/RUN DIMENSIONS WHERE POSSIBLE
BATHROOMS	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION (AT BATHS, TOILET) LEVER HANDLE TAPS AND FAUCETS 7-10" DOORING WHERE POSSIBLE
KITCHEN	LEVER HANDLE TAPS AND FAUCETS
HALLWAYS	MIN 900 MM WIDTH

CONVERTIBLE UNIT FEATURES CHECKLIST

DOORS & DOORWAYS	ENTRY DOORS MIN. 863 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 880 MM LATCH SIDE (NOT NEEDED IF ROUGH-IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER)	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM - MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX 13 MM HEIGHT	DEMONSTRATE WHEELCHAIR ACCESS BETWEEN HALLWAY AND ROOMS	WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO PROVIDE ACCESS	PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED.	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BCBC	LEVER-TYPE HANDLES FOR ALL DOORS
HALLWAYS	MIN 900 MM WIDTH	MIN 1 ACCESSIBLE PARKING SPACE WITH MIN. 4M GARAGE WIDTH	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING					

VERTICAL CIRCULATION (FUTURE)

ELEVATOR LIFT: STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC
SPEC NOTE: GARAVENTA HOME ELEVATOR (STYLE 3 40"x54" CAB SIZE) MAX. LOAD: 1,000 LBS. SOFT MAS. TRAVEL: 8' MIN PIT - SEE WWW.GARAVENTA.COM (OR APPROVED EQUAL)

VERTICAL LIFT: DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION W/O IMPACT TO SURR. STRUCTURE

AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"x12" SOLID LUMBER AT 914 MM TO CENTRE.

TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT

WALL BLOCKING FOR FUTURE GRAB BARS AT TOILETS, TUBS, AND SHOWERS

LEVER-TYPE HANDLES FOR PLUMBING FIXTURES

PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS

CABINETS UNDERNEATH SINK ARE EASILY REMOVED

DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT)

OUTLETS & SWITCHES

PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS

UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM

CLEAR AREA NEEDED UNDER FUTURE WORKSPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORKSPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.

CABINETS UNDERNEATH SINK ARE EASILY REMOVED.

1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM

LEVER TYPE HANDLES FOR PLUMBING FIXTURES

MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

SUSTAINABILITY FEATURES (ALL UNITS)

LOW VEHICLE USE	LOCATED IN PEDESTRIAN-ORIENTED AREA (CITY CENTRE)	ONLY 3 BLOCKS WALK FROM RICHMOND-BRIGHOUSE SKYTRAIN STATION	ONLY 2 BLOCKS FROM RICHMOND CENTER MALL	ONLY 2 BLOCKS FROM WILLIAM COOK ELEMENTARY SCHOOL	ONLY 3 BLOCKS FROM GARDEN CITY PARK & BRIGHOUSE PARK
BUILDING SITING	SOUTH ORIENTATION MAXIMIZES DAYLIGHT PENETRATION AND MINIMIZES WEST LOW SUN EXPOSURE	DEVELOPED ORPHANED LOT RESULTS IN HIGHER DENSITY & MORE EFFICIENT USE OF CITY INFRASTRUCTURE			
BUILDING ORIENTATION AND DESIGN	VENTED WINDOWS ALLOW NATURAL THROUGH-UNIT VENTILATION	LARGE PRIVATE ROOF DECKS ENCOURAGE OUTDOOR ACTIVITIES (I.E. LESS USE OF APPLIANCES & LIGHTING)	VERTICAL LIFT PROVIDES ACCESSIBILITY TO ROOFTOP ACTIVITIES INCLUDING URBAN GARDENING (UNIT 1)	ROOFTOP DECK AREAS (WITH CONC. PAVERS) ADDS INSULATION VALUE AND SHOULD REDUCE ENERGY LOSS	
LOW ENERGY USE	STEP 3 WITH LOW CARBON ENERGY SYSTEM	USE ENERGY STAR APPLIANCES IN ALL UNITS	WILL CONSIDER LED LIGHTING THROUGHOUT (PENDING ELECTRICAL CONSULTANT REVIEW)		

TREE RETENTION

IMPLEMENT ARBOURIST MEASURES TO RETAIN EXISTING 6.0M DIA. ELM TREE (OFFSITE SW CORNER)

IMPLEMENT ARBOURIST SPECIAL MEASURES TO RETAIN EXISTING 1.10M DIA. ELM TREE (OFFSITE SE CORNER)

MATERIALS

LOW VOC EMITTING MATERIALS

LOW FLOW TOILETS, SHOWERS AND LAVATORIES

ALL EXTERIOR GLAZING TO HAVE LOW-E COATINGS

LANDSCAPING

USE LOW MAINTENANCE PLANTING MATERIAL TO REDUCE WATER CONSUMPTION

USE IRRIGATION SYSTEM TO MAINTAIN HEALTH OF LANDSCAPING

EXISTING AND NEW TREES ALONG SOUTH PROPERTY LINE PROVIDE SEASONAL SOLAR SHADING

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

ENTRY DOORS

FRONT ENTRIES DIRECTLY ACCESSED FROM PUBLIC STREET, WITH VIEWS FROM LARGE LIVING ROOM WINDOWS

FRONT YARD PRIVATE SPACES ON RAISED PATIOS, FENCED AND GATED TO SEPARATE FROM PUBLIC REALM

USE OF FRONT YARD PATIOS HELP STREET MONITOR PUBLIC STREETFRONT AREAS

ALL EXTERIOR UNIT DOORS TO HAVE DOOR VIEWERS & AREA LIGHTING

2ND FLOOR REAR EXTERIOR PRIVATE SPACES TO BE GATED

COMMON AREAS

LANDSCAPING DESIGNED TO ELIMINATE HIDEY PLACES BUT PROVIDE LINES OF SIGHT WHERE APPROPRIATE

COMMON OUTDOOR AMENITY AREAS, FENCED & GATED, ARE OVERLOOKED BY WINDOWS AT 2ND & 3RD FLOORS

PARKING & LAKE

PARKADE PROVIDED LARGE OPENINGS FOR VISUAL/AURAL SURVEILLANCE OPPORTUNITIES

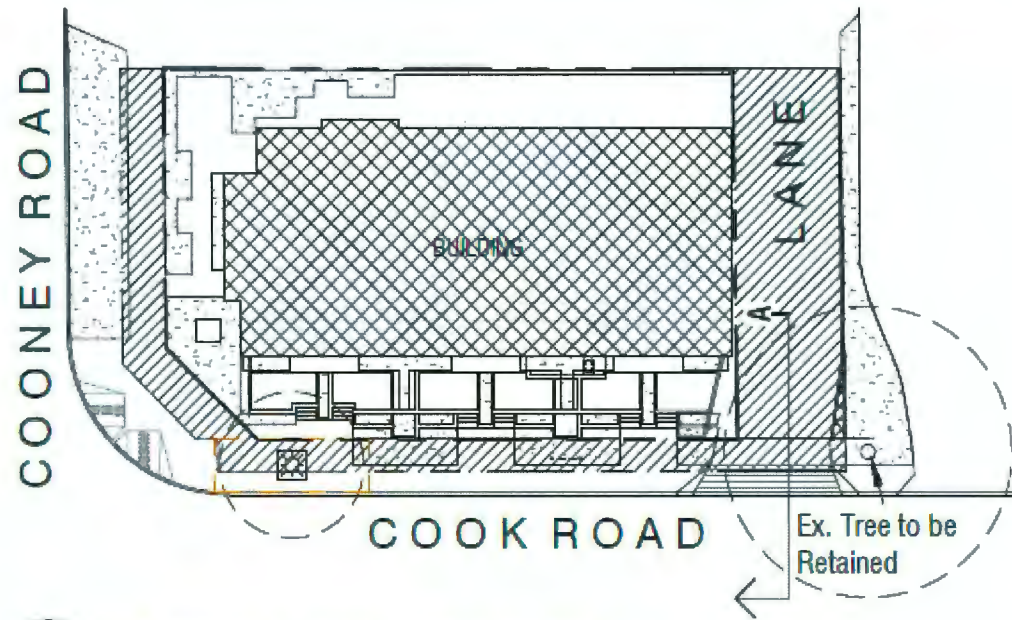
PARKADE INTERIOR PAINTED LIGHT GRAY OR WHITE TO INCREASE VISIBILITY

PARKADE MAIN DOORS TO HAVE GLAZED PANELS FOR TWO-WAY VISIBILITY

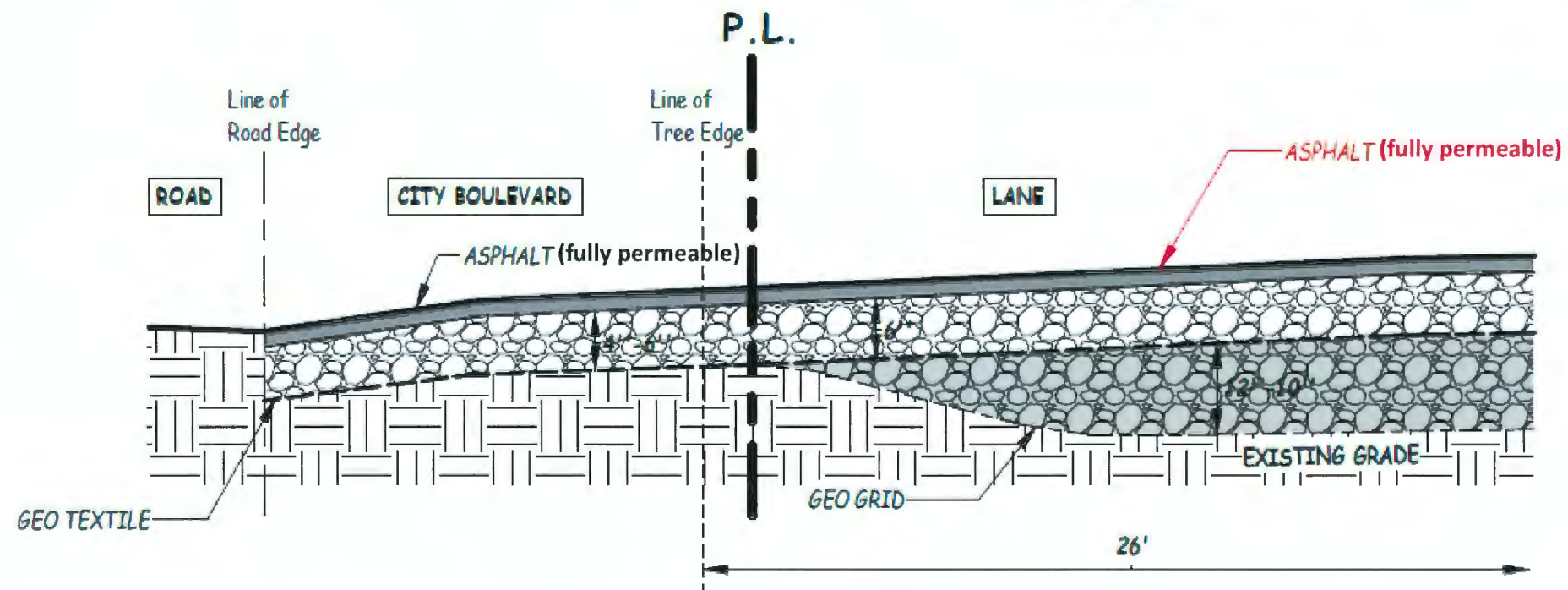
BIKE STORAGE ROOMS IN PARKADE TO BE OPEN METAL SCREENGRILLE (NOTHING HIDDEN)

GARAGE & RECYCLING ROOMS IN PARKADE TO HAVE OPEN METAL SCREENGRILLE (NOTHING HIDDEN)

PARKADE AND LAKE LIGHTING TO BE AUTOMATICALLY ACTIVATED BY LIGHT LEVEL SENSOR



KEY SITE PLAN



SECTION A

Existing Elm Tree Retention Strategy as Recommended by Davey Resource Group (Steve Whitton) & City of Richmond (Michael Griffith)



Kenneth
Kim
Architecture
Inc

t: 778-579-6918
f: 604-800-0775
e: kenneth@kkai.ca
211-2229 West Broadway
Vancouver, B.C. V6K 2E4

6-UNIT
TOWNHOUSE
6500 Conney
Road Richmond,
BC

TREE
RETENTION
STRATEGY

Drawn: CL

Checked: KK

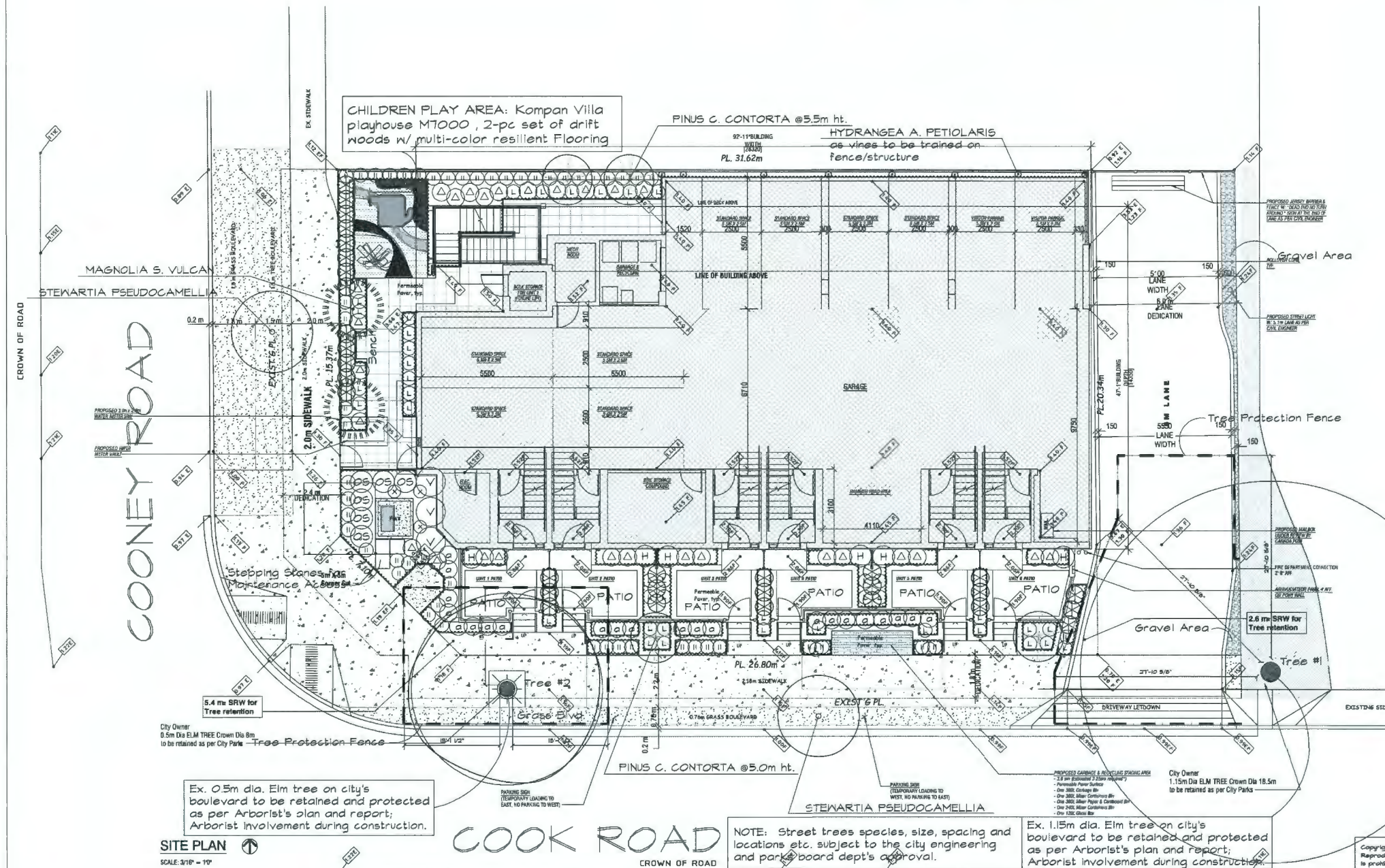
Dwg. no.
A-4.1

PLANT LIST				Project No. 220102.KIM Updated @2024-04-18
KEY	QTY.	BOTANICAL NAME	COMMON NAME	PLANTED SIZE
⊙	2	MAGNOLIA S. VULCAN	Vulcan Sav. Magnolia	B4B 9cm cal., 1.75m std.
⊕	4	PINUS CONTORTA CONTORTA	Shore Pine	B4B 5.5m+ ht. B4B 5.0m+ ht.
⊙	2	STEWARTIA PSEUDOCAMELLIA	Japanese Stewartia	B4B 9cm cal., 1.75m std.
A	20	ABELIA EDWARD COUCHER	Dwarf Abelia	#2 pot 40cm ht.
H	6	HYDRANGEA SERRATA BLUE BIRD	Blue Bird Hydrangea	#5 pot 50cm ht.
L	44	LAVANDULA SPICA MUNSTEAD	English Lavender	#1 pot heavy
O	6	OSMAREA BURKWOODII	Burkwood Osmaria	#3 pot 60cm ht.
	55	LEUCOTHOE AXEL	Cherry Laurel	#2 pot 30cm ht.
△	20	RHODODENDRON DWARF (Hyb. TBD)	Dwarf Rhododendron	#2 pot 35cm ht.
▽	6	ROSA MEIDI BONICA/RED SEVILLENIA	Meldiland Rose	#2 pot 35cm ht.
⊕	31	TAXUS MEDIA HICKSII	Hick's Yew	B4B 1.5m+ ht.
⊙	3	VIBURNUM BURKWOODII	Burkwood Viburnum	#3 pot 60cm ht., bushy
⊙	8	HYDRANGEA A. PETIOLARIS	Climbing Hydrangea	#3 pot Stkd., Heavy

NOTE: 1. All plant materials shall meet or exceed BC S/LA/BC LNA Standard.
2. All grass areas shall be sodded unless otherwise indicated.
3. "Hyb. TBD" denotes hybrids to be determined at the nursery during plant material inspection.
4. For all other requirements, see Landscape Specifications & Details on 0.5"x11" sheets. (Spec. 1s to be included for tendering & construction use)



NOTE: Play structure with Multi-color resilient flooring for 2 to 5 age group; Play capacity:6



Ex. 0.5m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.

NOTE: Street trees species, size, spacing and locations etc. subject to the city engineering and parks board dept's approval.

Ex. 1.15m dia. Elm tree on city's boulevard to be retained and protected as per Arborist's plan and report; Arborist involvement during construction.



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KKAI Kenneth Kim Architecture Inc.
211-2223 West Broadway
Vancouver, B.C. V6K 2E4
Tel: (778) 378-8918
Fax: (604) 802-0775
kenneth@kkai.com

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PROJECT:
Proposed 6-UNIT Residential Devt.
8399 Cook Rd (Ex. 6500 Cooney Rd)
Richmond, BC

DEVELOPER:

CONSULTANTS:
FRED LIU & ASSOCIATES
Landscape Consultant

REVISION No.	Date	Revision

DRAWING:	File:
LANDSCAPE SITE / PLANTING PLAN	

DRAWN BY: M.S.
CHECKED BY: F.L.
SCALE: 1/8" = 1'-0"
PRINT DATE: January 2022

No.	Date	REVISIONS
#5	April 8, 2024	Minor revision as per arch revised site plan; site dim changes, boulevard layout, plant list.
#4	Apr 4, 2024	Minor revision as per arch new site plan; general updating incl. playground area, Plant List.
#3	June 7, 2023	Revised as per arch new site plan with overall adjustments; updated Plant List.
#2	Jul 25, 2022	Adjusted tree protection fences as per current arborist's report.
#1	May 5, 2022	Upgrading to full planting plan with plant list as per architect's instruction for cost estimate.

FRED LIU & ASSOCIATES, INC. Landscape Consultant
Vancouver BC - V5P 2L3
Email: landarch3000@gmail.com TEL: (604) 327-7541

PROJECT NO. 220102.KIM SHEET NO. L1 of 1
ISSUE DATE: 2024-04-18



L: 778-379-8918 / F: 604-800-0775
 e: kenneth@kkai.ca
 211-2223 West Broadway
 Vancouver, B.C. V6K 2E4

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Project Title
6-UNIT TOWNHOUSE
 6500 Cooney Rd (Existing)
 8399 Cooney Rd (Proposed)
 Richmond, BC

Sign & Seal

No.	Date	Revision
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Sheet Title
TREE MANAGEMENT PLAN

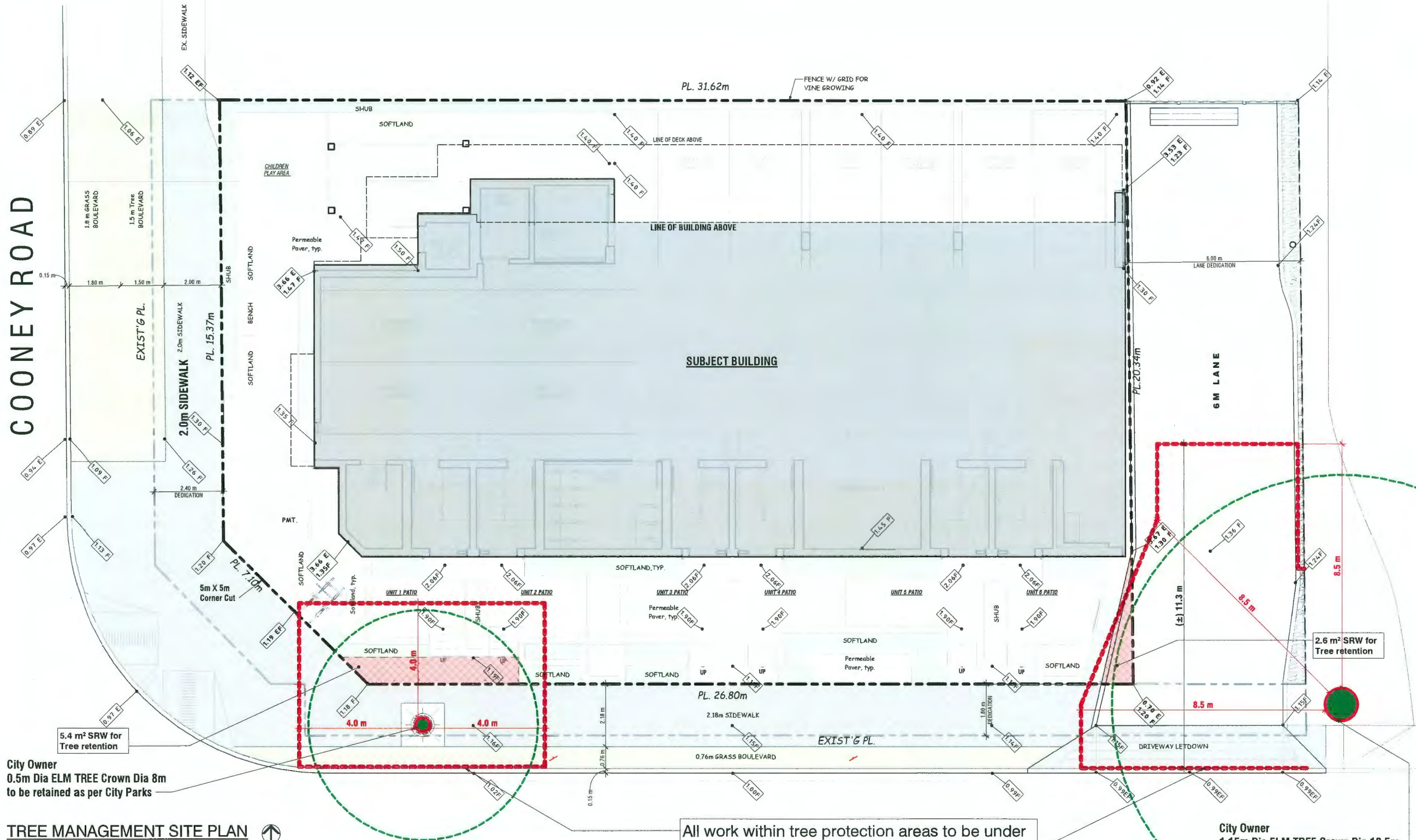
Drawn: **CL**

Checked: **KK**

Scale:

Print date: **Apr 15, 2024**

Dwg. no. **A1.3**



City Owner
 0.5m Dia ELM TREE Crown Dia 8m
 to be retained as per City Parks

TREE MANAGEMENT SITE PLAN

SCALE: 3/16" = 1'0"

NOTES:
 - All off-site works to be designed and constructed via separate required Servicing Agreement

PROJECT ARBORIST
 Davey Resource Group
 Kerin Matthews
 604-499-6568
 Kerin.Matthews@davey.com

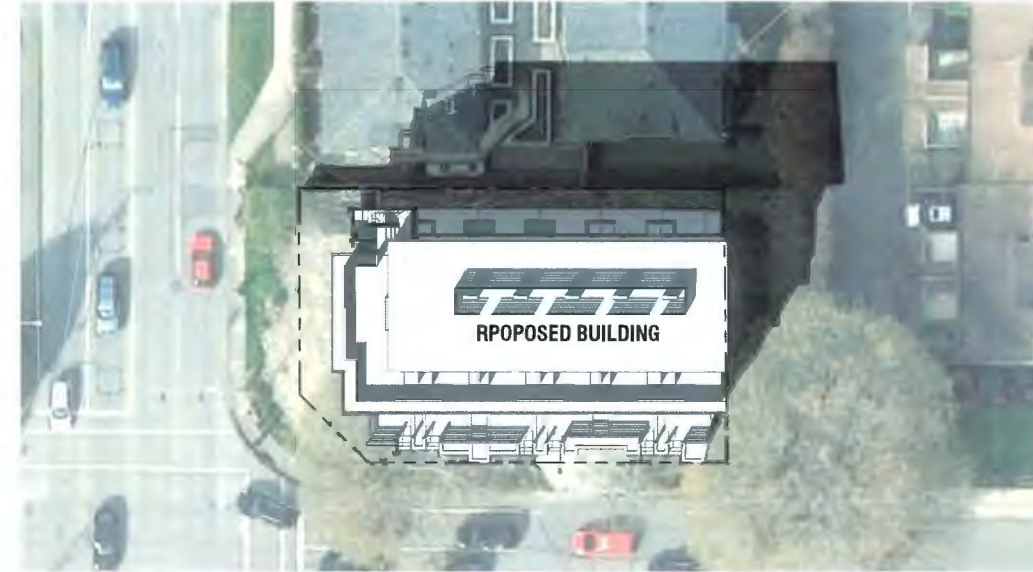
All work within tree protection areas to be under the direct supervision of project arborist

City Owner
 1.15m Dia ELM TREE Crown Dia 18.5m
 to be retained as per City Parks

COOK ROAD



SPRING/FALL EQUINOX 10AM



SPRING/FALL EQUINOX 2PM



SUMMER SOLSTICE 10AM



SUMMER SOLSTICE 2PM

SHADOW ANALYSIS 
SCALE= 1:300



**Kenneth
Kim
Architecture
Inc**

t: 778-379-8918 / f: 604-800-0775
e: kenneth@kkai.ca
211-2223 West Broadway
Vancouver, B.C. V6K 2E4

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Project Title
**6-UNIT
TOWNHOUSE**
6500 Conney Rd (Existing)
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Sign & Seal

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2	May 13 2021	Rezoning application (Revised)
1	Jan 13 2020	Proposal w/ New Parking Layout

Sheet Title
SHADOW ANALYSIS

Drawn: **CL**

Checked: **KK**

Scale:

Print date: **Apr 10, 2024**

Dwg. no.
A1.4



Aerial view of the Project

@Kenneth Kim Architecture Inc.



View from Lane at Cook Road

@Kenneth Kim Architecture Inc.



View of Children Play Area

@Kenneth Kim Architecture Inc.



View from the North side of Project

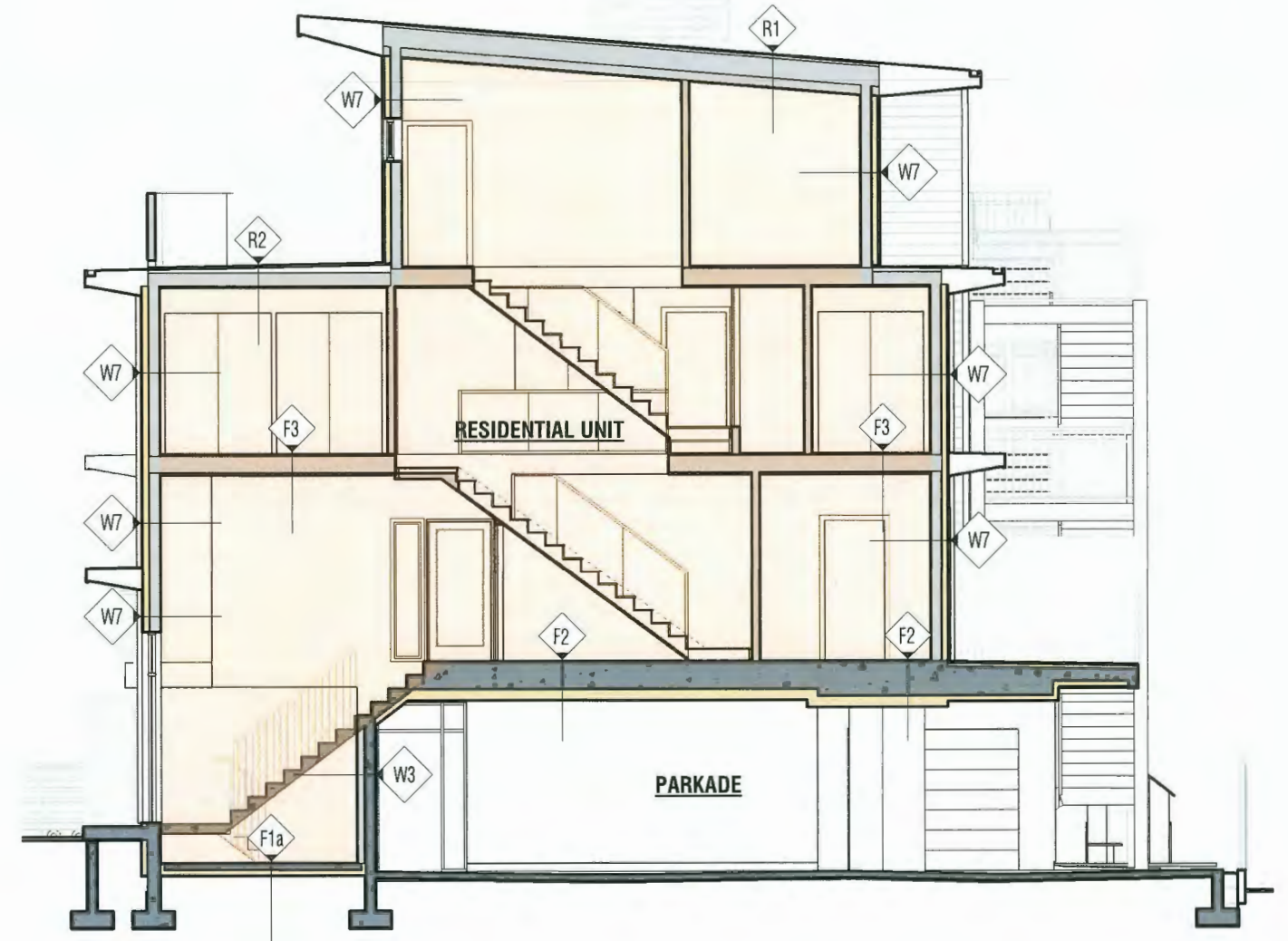
@Kenneth Kim Architecture Inc.

ENERGY EFFICIENT MEASURES SUMMARY (AS PER BULLETIN BUILDING-40)	
Building Type	Part 3, 4 Storeys Residential Townhouse
Building Area	Approx. 756 sm [8142 sf]
Required Energy Step Code	Step 3
Proposed Energy Step Code	Step 3 with Low Carbon Energy System
Primary Heating System	High-efficiency Heat Pump

Table 1 Thermal Resistance of Building Envelope Assemblies

Opaque Assembly	Architectural Reference	Nominal R_ Value ²
Flat roofs	R1 - Main roof	R45 R45 batt insulation in cavity
	R2 - Roof deck above living space	R32 R32 batt insulation in cavity
Roof Decks	F1a – Typical ground floor slab	R15 ci 3" rigid insulation
	F2 - Suspended slab floor.	R14 ci R14 Monofoam spray insulation or rigid insulation
Exterior Walls	W3 – Concrete fur-out wall	R14 3.5"(R14) batt insulation in cavity
	W7 – Typical exterior wall	R10 ci + R22 2" R10 rigid insulation + 5.5"(R22) batt insulation in cavity

Note: Table 1 is quoted from Certified Energy Adviser's *Thermal Bridging Calculation Report* (JRG Building Engineering). The R-value above will be optimized to meet Step 3 during BP stage.



TYPICAL CROSS SECTION

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		6-UNIT TOWNHOUSE		1	Jul 15 2022	ENERGY MEASURES SUMMARY	ENERGY EFFICIENT MEASURES SUMMARY	-	1/8" = 1'-0"	
		6500 Conney Rd (Existing) 8399 Cooney Rd (Proposed) Richmond, BC						Drawn: CL	Dwg. no.	A7.1
								Checked: KK		
								Print date:	Jun 22, 2022	



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel
From: Josh Reis
Program Manager, Development

Date: April 24, 2024

File: DP 23-034544

Re: **Application by Maskeen (Hamilton) Properties Corp. for a Development Permit at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a mixed-use mid-rise development comprising commercial space, City-owned community amenity space and 186 residential units, including 19 low-end-of-market (LEMR) units at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

Josh Reis, MCIP, RPP, AICP
Program Manager, Development

JR:sb

Att. 2

Staff Report

Origin

Maskeen (Hamilton) Properties Corp. (Directors: Jatinderpal Gill and Jagdip Sivia) has applied to the City of Richmond for permission to develop a mixed-use mid-rise development at 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361, 23381 Gilley Road on a site zoned "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

The site is being rezoned from the "Single Detached (RS1/F)" zone to the "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)" zone for this project under Richmond Zoning Bylaw 8500, Amendment Bylaw 10453 (RZ 21-942276). The site is also subject to associated amendments to the Hamilton Area Plan and City's Official Community Plan (OCP) City of Richmond 2041 OCP Land Use Map under Official Community Plan Bylaw 9000, Amendment Bylaw 10452. The rezoning bylaw and OCP amendment bylaws were given third reading at the Public Hearing held on June 19, 2023.

Highlights of the proposed development include:

- 186 dwelling units, including 167 strata units and 19 low-end-of-market (LEMR) units.
- The design and construction of a Community Policing Office in a grade-level unit fronting Gilley Road, which will be transferred to the City and was secured through the rezoning.
- Commercial spaces at grade level and fronting Gilley Road.
- One four-storey apartment building, one five-storey mixed-use building and a two-storey amenity building over a one-level shared parking structure.
- A total floor area of approximately 15,570.6 m² (167,600 ft²) comprised of:
 - Approximately 132.7 m² (1,429 ft²) of Community Policing Office space.
 - Approximately 604 m² (6,501 ft²) of Commercial space.
 - Approximately 13,105.8 m² (141,070 ft²) of market strata housing units and common circulation space provided over both buildings.
 - Approximately 1,490 m² (16,040 ft²) of LEMR housing units distributed over all floors of both buildings.
 - Approximately 237.8 m² (2,560 ft²) of indoor amenity spaces for residents.
- The developer is intending to phase construction of the development. The first phase would consist of the southern building fronting Gilley Road and Smith Crescent, including the City facility, the residential amenity space and the parking structure. The second phase would consist of the northern building as shown in the DP plans. Each phase complies with the City's affordable housing requirements.

A Servicing Agreement is required as a condition of rezoning adoption and includes, but is not limited to, extending Garrapie Avenue, Smith Crescent widening, frontage improvements to Gilley Road and Smith Crescent, utility connections and public plaza and walkway widening along the western edge of the site.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the North: Across the future Garripie Avenue extension, are single-detached homes on lots zoned “Single Detached (RS1/F)”, which the Hamilton Area Plan designates for stacked townhouse development.
- To the South: Across Gilley Road, a mixed-use village centre development is under construction (DP 18-829286) on a lot zoned “Residential/Limited Commercial (ZMU35) – Neighbourhood Village Centre (Hamilton)”.
- To the East: Across Smith Crescent, are single-detached homes and a duplex on lots zoned “Single Detached (RS1/F)” and “Two-Unit Dwellings (RD1)”, which the Hamilton Area Plan designates for stacked townhouse development.
- To the West: Across a public walkway connection from Gilley Road to Garripie Avenue, are a mixed-use low-rise development and a low-rise senior housing and care facility on lots zoned “Residential/Limited Commercial (ZMU29) – Neighbourhood Village Centre (Hamilton)” and “Low Rise Apartment (ZLR27) – Neighbourhood Village Centre (Hamilton)”.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 19, 2023. At the Public Hearing, no concerns about rezoning the property were expressed by the public.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Residential/Limited Commercial (ZMU53) - Neighbourhood Village Centre (Hamilton)".

Advisory Design Panel Comments

The Advisory Design Panel was supportive of the application. An annotated copy of the relevant excerpt from the Advisory Design Panel Minutes from March 6, 2024 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Housing

- The following table indicates the proposed unit mix of LEMR and Market Strata units, with the overall number of units remaining the same as noted at rezoning.

The LEMR unit mix includes one additional two-bedroom unit and one fewer three-bedroom unit. The Market Strata unit mix includes one additional studio unit, two fewer one-bedroom units and one additional two-bedroom unit.

Unit Type	LEMUR	Market Strata	Total
Studio	-	9.0% (15 units)	8.1% (15 units)
1-bedroom	10.5% (2 units)	43.7% (73 units)	40.3% (75 units)
2-bedroom	57.9% (11 units)	46.7% (78 units)	47.8% (89 units)
3-bedroom	31.6% (6 units)	0.6% (1 unit)	3.8% (7 units)
Total	19 Units	167 Units	186 Units

- The proposed development includes 22 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These include all 19 LEMR units and three Market Strata units. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City’s Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell handrails;
 - lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- The building lobbies are accessed from the grade-level central courtyard as well as from the fronting sidewalks.

Conditions of Adjacency

- Commercial space and a Community Policing Office are proposed with shared connections to the sidewalk along Gilley Road along the south edge of the site, providing a pedestrian-friendly streetscape and commercial character compatible with the neighbouring development to the west.
- Courtyard level units are proposed with raised semi-private balconies and grade change screening with landscape buffer facing the Smith Crescent and Garripie Avenue fronting roads.
- Long frontages are visually broken up with articulation provided with vertically stacked balconies and colour changes for visual interest and a more pedestrian-compatible scale and form.

- The massing of the development is broken down into two main buildings arranged surrounding a central open space and smaller central amenity building, providing porosity through the site and open space pedestrian connections to Gilley Road, Garripie Avenue, a podium stair connection to Smith Crescent and the public walkway along the west edge of the site.
- There is a public high street plaza fronting onto Gilley Road and a public walkway providing a connection between Gilley Road and Garripie Avenue located within Statutory-Rights-of-Way (SRW) on the adjacent development to the west. This development will enlarge the public plaza from the interim approximately 7.5 m width and 238.6 m² (2,568 ft²) area to an ultimate approximately 17.8 m width and 535.7 m² (5,766 ft²) area. The public walkway will be widened from the interim 3 m width in a 3 m wide SRW to an ultimate 6 m wide in a 6 m wide SRW. The owner constructed and owner maintained public plaza and walkway was secured through the rezoning with registration of PROP/SRWs together with the design and construction through a Servicing Agreement.

Urban Design and Site Planning

- The proposed building height is five-storeys along the southern portion of the site and fronting onto Gilley Road high street, and steps down in height to four-storeys toward Garripie Avenue and the stacked townhouse development designated area to the north, and steps down to a two-storey amenity building toward the public walkway along the west edge of the site. All of the buildings are located on top of a shared enclosed one-level parking structure.
- The podium level central courtyard accommodates grade-level pedestrian access to all buildings, parking reserved for the Community Policing Office, shared parking for visitors and non-residential uses and two loading spaces.
- A five-storey building anchors the intersection of Gilley Road and Smith Crescent.
- A lower four-storey building anchors the intersection of Smith Crescent and Garripie Avenue and provides a transition to future potential stacked townhouse development to the north.
- A lower two-storey building provides a transition to neighbouring development to the west.
- The southern mixed-use building has an entry lobby facing the public sidewalk on Smith Crescent, a second entry lobby facing the central courtyard, and the commercial units and Community Policing Office along the sloping Gilley Road are accessed from an onsite walkway connecting at grade to the City sidewalk at the west end of the building and stairs and elevator access to Smith Crescent at the east end of the building. The north apartment building has an entry lobby facing the central courtyard. Both buildings and the western amenity building have access at grade from the central courtyard with an accessible pathway connection to the Gilley Road and Garripie Avenue sidewalks and public walkway along the west edge of the subject site.
- Indoor amenity space proposed in this development complies with Official Community Plan (OCP) requirements. Approximately 237.8 m² (2,560 ft²) of indoor amenity space is provided in the two-storey amenity building for the shared use of all residents in the development.

- Outdoor amenity space proposed in this development complies with Official Community Plan (OCP) requirements. Approximately 1,226 m² (13,197 ft²) of outdoor amenity space is provided in the central courtyard for the shared use of all residents in the development. Further details are provided in the Landscape Design and Open Space Design section of this report.
- Vehicle access to the one-level underground parking structure will be provided from Garripie Avenue. Vehicle access to the central courtyard surface parking area and residential and non-residential loading spaces will also be provided from Garripie Avenue. Garbage/recycling storage is located inside the parking structure and collection will be accommodated in a lay-by along Smith Crescent.
- The proposed development meets the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood plain indemnity covenant on Title was secured through the rezoning.

Architectural Form and Character

- The project proposes a contemporary architectural style featuring articulations provided through vertical balcony stacks separating different materials and colours, and a projecting framing element at the high street intersection. The scale of the building design elements on the low-rise and mid-rise buildings is pedestrian-friendly and provides visual interest.
- The exterior cladding is a combination of fibre cement panel, metal panel, metal horizontal plank, architectural concrete and accent stone cladding materials.
- Entry lobbies are identified with columns and covered areas framing entries with clear-glazing and generous interiors.
- The colour palette of white and light grey with accents of medium grey and wood-tone provides visual interest.

Transportation

- Two vehicle accesses will be provided off Garripie Avenue, one providing access to the parking structure, and the second providing access to the two reserved Community Policing Office parking spaces, 32 shared parking spaces for visitors and non-residential uses and two loading spaces for residential and non-residential uses in the surface central courtyard area. Garbage/recycling collection is accommodated along Smith Crescent.
- Fire fighting access was further addressed by the project Architect and a code consultant.
- The proposed number of parking spaces is consistent with the Richmond Zoning Bylaw parking requirements, subject to the provision of the Transportation Demand Management measures (TDMs) secured through the rezoning, including:
 - Transit Pass Program with monthly bus pass (two-zone) offered to 16 per cent of the strata units (27 units) for a period of one year.
 - Additional Class 1 Bicycle Parking – provision of Class 1 bicycle spaces at the rate of 1.5 spaces for each strata residential dwelling (instead of 1.25 spaces per dwelling). Bike storage rooms will have outlets for bicycle charging.
 - E-bike and e-scooter storage area.

- Bicycle Maintenance Facility - provision of a bicycle maintenance room for shared use by all residents, including a bike stand, repair tools and bike washing area.
- The proposed number of bicycle storage spaces is consistent with Richmond Zoning Bylaw requirements.
 - There is a total of 285 Class 1 bicycle storage spaces provided within secure rooms or lockers in the amenity building and the parking structure.
 - There is a total of 50 Class 2 bicycle storage spaces provided in the central courtyard, public plaza and outside the Smith Crescent building entry lobby.

Tree Management

- Tree management was addressed at rezoning. There are 59 existing trees being removed from the development site. One off-site City tree and two hedges are being removed from the City boulevard. Three off-site neighbouring trees are required to be protected.
- Consistent with the rezoning staff report, in compensation for the on-site tree removal, 118 replacement trees are required either to be planted on-site or the provision of a voluntary contribution in the amount of \$768.00 for each replacement tree that is not able to be accommodated on-site. At the time of rezoning, preliminary plans identified 60 replacement trees. The applicant in working with staff has found additional on-site planting opportunities resulting in 84 replacement trees being provided for on-site. A voluntary contribution in the amount of \$26,112.00 to the City's City Compensation Fund for tree planting elsewhere in the City is required prior to Development Permit issuance.
- In compensation for off-site City tree and hedge removal, the provision of a contribution in the amount of \$4,500.00 to the City's City Compensation Fund for tree planting elsewhere in the City was secured through the rezoning.
- To ensure the protection of the existing trees on the adjacent property to the north, the provision of a contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones was secured through the rezoning.

Landscape Design and Open Space Design

- Along Gilley Road, grade and stair connections are provided to street-fronting commercial space and the Community Policing Office.
- Along Garripie Avenue, raised semi-private patios are buffered with planting at grade.
- Along Smith Crescent, raised semi-private patios are buffered with tiered planters, including planting at grade.
- Along the west edge of the subject site, a public walkway is provided in Statutory-Right-of-Way, as secured through the rezoning, providing a pedestrian connection between Gilley Road and Garripie Avenue. Along the public walkway frontage, planting provides screening to the central courtyard surface parking area, with breaks for pedestrian connection.
- Class 2 bicycle racks are located throughout the central courtyard in close proximity to building entry lobbies and outside the building entry lobby fronting Smith Crescent.

- Outdoor amenity space is provided in the central courtyard for the shared use of all residents in the development. A variety of seating areas, including one with a fire pit are provided. Shrub and tree planting is provided throughout the central courtyard and provides screening along the edges of the courtyard to surrounding semi-private patios.
- Children's play is accommodated in the central courtyard with four play structures, three climbing poles, open play turf and lawn areas as well as a ground checkers/chess board. The children's play structures include climbing, sliding and social and imaginative play activities.
- The plant palette selection includes native and non-native, deciduous and coniferous species with a variety of textures and colours, providing all-season interest. The landscape design includes planting of 84 trees of ten species, including coniferous species of spruce and fir, and deciduous species of maple, hornbeam, beech, ginkgo biloba, locust, pear and oak.
- A lighting plan is included in the DP plans. Downward focussed bollard lighting will be provided throughout the courtyard.
- On-site irrigation will be provided for all planted areas.
- To ensure the provision of landscaping, a legal agreement and associated landscape security in the amount of \$573,699.34 is required prior to Development Permit issuance.

Public Art

- The developer is providing a cash contribution towards the City's Public Art Fund. This contribution was secured through the rezoning.

Crime Prevention Through Environmental Design

- Crime Prevention Through Environmental Design (CPTED) principles have been considered throughout the proposed development.
- Public areas, pedestrian pathways and resident private/semi-private areas are designed to be well-defined by soft landscaping to clearly delineate boundaries of uses.
- The entry lobbies are designed to be visually open from the central courtyard and the south building also has an entry lobby that is visually open from the Smith Crescent sidewalk.
- The parkade entry (overhead gate) is designed with clear sight lines.
- Views from interior spaces provide passive surveillance opportunities to outdoor amenity areas and patios. Views from upper units provide passive surveillance opportunities of grade-level public pathways.

Sustainability and Renewable Energy

- The developer has committed to design the subject development to meet the City's application Step Code requirement of Step 3 with a privately owned low-carbon energy system.
- The project includes the installation of an extensive green roof on the amenity building roof and planting on the parking podium, reducing urban heat island effect and improving air quality.

Servicing

- The developer is providing a cash contribution in the amount of \$ 13,540.57 as a cash-in-lieu of construction contribution towards the Hamilton Area Sanitary Pump Station as 4651, 4671, 4691 Smith Crescent belong to the Hamilton Area Sanitary Pump Station catchment. This contribution is in keeping with the Subdivision and Development Bylaw No. 8751 and is required.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Sara Badyal

Sara Badyal
Planner 3
(604-276-4282)

SB: js

- Att. 1: Development Application Data Sheet
2: Advisory Design Panel Minutes (Annotated Excerpt from March 6, 2024)

The following are to be met prior to forwarding this application to Council for approval:

1. (DP Panel Notification Fee) Payment of all fees in full for the cost associated with the Development Permit Panel Notices, consistent with the City's Consolidated Fees Bylaw No 8636, as amended.
2. (Tree Compensation) The City's acceptance of the developer's voluntary contribution in the amount of \$26,112.00 towards the City's tree compensation fund for tree planting elsewhere in the City in compensation for 34 replacement trees not accommodated on-site.
3. (Hamilton Sanitary Pump Station Contribution) At Developer's cost, the Developer is required to:
 - i) Pay, in keeping with the Subdivision and Development Bylaw No. 8751, a \$ 13,540.57 cash-in-lieu of construction contribution towards the Hamilton Area Sanitary Pump Station as 4651, 4671, 4691 Smith Cr belong to the Hamilton Area Sanitary Pump Station catchment.
4. (Landscape Security) Entering into a legal agreement and submission of a Landscaping security in the amount of \$573,699.34.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Compliance with legal agreements secured via the Rezoning and/or Development Permit processes.
- Entering into a construction agreement for the Community Policing Office.
- Incorporation of accessibility measures in Building Permit as determined via the Rezoning and/or Development Permit processes.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 23-034544

Attachment 1

Address:	4651, 4671, 4691 Smith Crescent, 23301, 23321, 23361, and 23381 Gilley Road
Applicant:	Maskeen (Hamilton) Properties Corp.
Owner	Maskeen (Hamilton) Properties Corp., 1164822 BC Ltd., and Davinder Mander
Planning Area(s)	Hamilton Area

	Existing	Proposed
Site Area	10,300 m ²	10,300 m ²
Land Uses	Vacant and Single-family residential	Mixed use
OCP Designation	Mixed Use	Complies
Area Plan Designation	Neighbourhood Village Centre (Retail and Office with Residential above 4 Storey 1.50 FAR)	Complies
Zoning	Residential/Limited Commercial (ZMU53) – Neighbourhood Village Centre (Hamilton)	Complies
Number of Units	2 single-detached houses	19 LEMR units 167 strata units 604 m ² (6,501 ft ²) CRU 132.7 m ² (1,429 ft ²) Community facility

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 1.5 FAR (including affordable housing), and Max 0.1 FAR community amenity space, and Max 0.1 FAR amenity space	1.48 FAR (including affordable housing), and 0.01 FAR community amenity space, and 0.02 FAR amenity space	None permitted
Buildable Floor Area	Approx. Max. 15,450 m ² including strata residential, LEMR and commercial, and Min. 130 m ² community facility, and Min. 100 m ² amenity space	13,105.8 m ² strata residential 1,490.1 m ² LEMR 604 m ² commercial 132.7 m ² community facility 237.8 m ² amenity space	None permitted
Lot Coverage	Max. 55 %	41 %	None
Setbacks	Gilley Rd: Min 1.5 m Smith Cr: Min. 3 m North property line: Min. 3 m West Side Yard: Min. 6 m	Gilley Rd: Min. 2.8 m Smith Cr: Min. 3 m North property line: Min. 12.3 m West Side Yard: Min. 7.7 m	None
Building Height	Max. 17 m & 4-storey, 20 m & 5-storey fronting Gilley	17 m & 4-storey, 20 m & 5-storey fronting Gilley	None
Lot Dimensions	Width: Min. 40 m Depth: Min. 40 m Area: Min. 4,000 m ²	Width: 91 m Depth: 117.5 m Area: 10,300 m ²	None
Parking Spaces	Total: 293 with TDMs: LEMUR: 19 Market Strata: 234 Community facility: 2 Shared visitor/non-residential:38	Total: 293 with TDMs: LEMUR: 19 Market Strata: 234 Community facility: 2 Shared visitor/non-residential:32 Visitor: 6	None
Accessible Parking Spaces	Min. 2%	2.4%	None

	Bylaw Requirement	Proposed	Variance
Small Car Parking Spaces	Max. 50%	2.4%	None
Tandem Parking Spaces	Permitted	8.9%	None
Loading Spaces	2 medium spaces	2 medium spaces	None
Bicycle Storage	Class 1: 275 residential 2 non-residential Class 2: 38 visitor and 3 non-residential	Class 1: 283 residential 2 non-residential Class 2: 8 visitor and 42 shared visitor/non-residential	None
Amenity Space – Indoor	Min. 100 m ²	237.8 m ²	None
Amenity Space – Outdoor	Min. 1,116 m ²	1,226 m ²	None

Annotated Excerpt from the Minutes from Advisory Design Panel Meeting

Wednesday, March 6, 2024 – 4:00 p.m.

Remote (Webex) Meeting

Panel Discussion

Comments from Panel members were as follows:

- Consider providing a soil depth plan in the next stage of the project to ensure adequate soil volume is provided for planting in the outdoor amenity area – ***Considered. Appropriate soils volumes will be provided.***
- Consider adding structural soil under the sidewalk along Gilley Road to ensure the survivability of the street trees – ***Off-site design reviewed through required Servicing Agreement.***
- Consider showing the slopes on the plans to ensure that accessibility has been achieved in the outdoor amenity area – ***Considered. All amenity areas are accessible with minimal slopes.***
- Consider providing stair access to the green roof on the amenity building – ***Incorporated for maintenance purposes only.***
- Consider providing a landscape lighting plan due to the mixed uses of the courtyard and in order to address potential CPTED concerns – ***Provided in DP plans.***
- A few landscape details including fencing are missing – ***Provided in DP plans.***
- Consider redesigning the children’s play area on the northeast between Building A and Building B, taking into consideration that it will be in shade most of the time – ***Design improved, secondary children’s play area relocated close to central children’s play area, play equipment revised and improved, and nearby seating improved.***
- The trees on the north of Building A between the building and the parking area will also be in full shade; ensure that appropriate tree species will be installed in this area – ***Considered. Appropriate tree species selected.***
- Consider enhancing the planting along Garripie Avenue to screen the exposed blank walls – ***Design improved, shrubs provided.***
- Reconsider the use of Allan Block for the retaining wall and consider using concrete retaining wall to reduce costs and long-term maintenance – ***Considered. Textured Allan Block provides visual interest to the planter retaining wall along Smith Crescent. With proper installation there should be no long-term maintenance issues.***
- Consider consolidating the children’s play area on the north side between Building A and Building B with the children’s play area adjacent to the amenity building; consider installing a bigger or additional play equipment to the consolidated play area; consider a passive outdoor amenity space between Building A and Building B – ***Addressed above.***

- Consider relocating commercial garbage room close to the CRUs; on garbage collection days, the contractor can move the commercial garbage to the collection area; also consider removing the elevator that provides access from the parkade to the CRUs to reduce costs – **Considered. Elevator retained and adjacent garbage/recycling rooms and loading area retained.**
- Review functionality of parcel delivery areas in the building lobbies to ensure they are designed to meet the needs of residents; consider engaging the services of a company that provides parcel delivery boxes and also help design the parcel delivery area – **Considered. Sufficient room provided.**
- Consider redesigning the exterior design of the lobbies of the two buildings to make them more welcoming and prominent, e.g. redesign the columns and windows; also ensure that the bench near the Building A lobby entrance is of proper depth and width to comfortably seat people – **Design improved. All lobbies feature covered area and glazing.**
- Overall, the project is well designed and integrated with the neighbouring buildings; however, consider redesigning the amenity building to make it the heart/focal point of the project; consider not to mimic the design of the two buildings in order to create something iconic that is separate and distinct from the two buildings; also consider enlarging the amenity building to integrate the staircase from the parkade to come up into amenity building; the redesign may result in additional parking spaces – **Design improved in a manner that provides design continuity with overall development, stair access added to roof level for maintenance purposes, interior elevator added for accessibility, second floor deck added, skylight added over bicycle storage room and additional accent stone cladding provided. Design change to integrate exit stair access to parkade level was considered, but was not able to be accommodated without losing required parking spaces.**
- Reconsider the installation of green roof on the amenity building rooftop due to long-term maintenance concerns; in lieu of the green roof, consider installing a usable amenity space on the amenity building rooftop, install a staircase to access the rooftop; irrigation and electric outlets would be needed for green roof maintenance – **Addressed above. Green roof provided and appropriate irrigation and electrical outlets will be provided.**
- Appreciate the clean and functional design of the mixed-use and apartment buildings considering their scale and size; consider installing rooftop decks on the two buildings to take advantage of the views surrounding the two buildings; also consider creating some units with rooftop access – **Considered. Roof top decks not incorporated due to costs and long-term management and maintenance concerns were not implemented.**
- Appreciate that the affordable housing units are distributed throughout the two buildings and not segregated in one area – **Noted.**
- Consider providing more accessible parking stalls in the residential rental parking to match the number of accessible parking stalls provided in the residential owner parking to accommodate low-income people with disabilities – **Considered. Parking provision meets zoning bylaw requirements.**
- Consider improving the accessibility of the two-storey amenity building by installing an elevator and making the office space on the ground floor accessible; also consider making the entire amenity building accessible – **Incorporated.**
- The project is interesting and well considered – **Noted.**
- Allan Block retaining walls are cheaper to build than concrete, but long-term maintenance could be a concern – **Addressed above.**

- Support the installation of a green roof on the amenity building, but should be done properly; consider a deeper soil volume to accommodate a wider range of plant species; ensure long-term survivability and maintenance of planting – **Considered. Additional construction details will be provided through the required Building Permit application.**
- Architectural renderings should incorporate and reflect the landscape design to enable the Panel to better appreciate the overall design of the project, especially in areas where there are large exposed concrete walls, areas near the PMT and the corner areas – **Renderings updated.**
- Support the location of the children’s play areas in different locations as it would allow separation of play areas for different age groups and mitigate noise that would result from one larger play area; however, address the shading concern and consider more seating opportunities for parents and visitors – **Addressed above.**
- Agree with the Panel comment that the amenity building should be treated as the heart of the project and redesigned to provide a more welcoming experience – **Addressed above.**
- The lobbies for the residential and commercial spaces at the southeast corner on Gilley Road and Smith Crescent appears secondary and uninviting; the landscaped area adjacent to the residential plaza could be integrated into one plaza space, e.g. increase the tree grates and install more landscape elements to make the corner more welcoming and useful to CRU users and the public and mitigate the hardscape in the adjacent residential plaza – **Design Improved. Entry lobby expression improved, requested exterior stair connection added, and seating added at raised planter similar to what has been proposed along the public walkway along the west edge of the site.**
- Understand the intent for flexible use of the large paved plaza on the west side of the site along Gilley Road; however, consider enhancing its landscape, e.g. by incorporating green spaces and a water feature to provide more visual interest and improve user experience; the enhanced landscape of the two plazas on both ends of Gilley Road could provide more identity to the project – **Considered. Public plaza expands existing interim plaza provided on neighbouring property to the west and is designed as a hard paved plaza for continuity with added checkers/chess board paving. The design meets the Hamilton Area Plan objective of a hard paved plaza intended for pedestrian movement large group gathering.**
- Consider softening the expression around the PMT area along Smith Crescent; consider changing the paving material, minimizing its “throat” and changing the visual sightlines but ensuring adequate access for maintenance – **PMTs surrounded on three sides with raised planters and clearances kept to minimum required by BC Hydro.**
- Portions of the concrete walls along the Gilley Road and Garripie Avenue elevations adjacent to the sidewalks are exposed; consider installing plantings with appropriate height in terraced/stepped planters and provide more articulation to the concrete walls, e.g. adding texture to mitigate the blank wall effect; also consider adjusting the structure above the parking garage to provide better transition – **Landscape screening provided Yew hedge and ornamental grass provided along Gilley Road. Bamboo, broadleaf evergreen hedging, ferns, ornamental grass and trees provided along Garripie Avenue.**
- Look at ways to ensure that pedestrian circulation is not impeded along the upper walkway when the outward swinging doors of adjacent CRUs are opened – **Design improved with partially recessing most doors. The walkway is wide enough to accommodate out-swinging doors without impeding pedestrian circulation.**

- Investigate opportunities to provide more access points to the upper walkway adjacent to CRUs from the sidewalk along Gilley Road – ***Design improved with additional stair access immediately east of the community amenity Community Policing Office. Continuous access provided west of the community amenity Community Policing Office and both elevator and stair access provided at east end of commercial units.***
- Consider reorienting the stairs to the CRUs at the corner to land at the street level residential plaza and more adjacent to the elevator – ***Incorporated.***
- Does not support the Panel comment of removing CRU lobby elevator providing access to CRUs – ***Noted.***
- Investigate opportunities to better identify the residential and commercial lobbies at the street level corner plaza as it would also improve wayfinding – ***Addressed above.***
- Agree with Panel comments that the amenity building should be the heart of the project; ensure accessibility to the second floor for all users – ***Incorporated.***
- The garage exit stairwells are awkwardly located in the courtyard and could be better related and integrated with adjacent building masses; consider relocating the garage exit adjacent to the amenity building to create more usable spaces; also consider relocating the garage exit on the northeast between Building A and Building B as it blocks the space between the two buildings – ***Considered. Parking exit stairs provided adjacent to walkways and located to meet building code requirements.***
- Ensure that wheelchair turning provides accommodated in the BUH unit plans – ***Incorporated.***
- Garbage collection across the bicycle lanes are challenging; consider installing signage to warn cyclists of potential collisions along the bicycle lanes – ***Signage is reviewed through the required Servicing Agreement process.***
- Overall, appreciate the applicant for a well handled project and presentation – ***Noted.***
- Support the Panel comment to provide an elevator in the amenity building to enhance its accessibility; consider providing access to the amenity building from the parkade underneath the building through the elevator – ***Addressed above.***
- Consider increasing the height of the bicycle room on the ground floor of the amenity building to provide a usable deck for the second floor of the amenity building – ***Incorporated.***
- Consider removing the elevator access from the underground parkade to the CRUs for security reasons; consider locating commercial visitor parking spaces in the courtyard surface parking area; consider providing some visitor parking spaces in the parkade outside a separately gated area for residents to enhance security for the residents – ***Considered. Elevator access retained for accessibility. Resident and limited visitor parking spaces as well as class 1 bicycle storage and garbage/recycling for all uses are provided in the parking structure. Community Policing Office and shared visitor/commercial/ Community Policing Office parking spaces are provided in the central courtyard.***
- Does not support the Panel comment to remove the elevator access from the underground parkade and CRU lobby to the CRUs as the elevator would be useful to provide accessibility to people in wheelchairs – ***Noted.***

Panel Decision

It was moved and seconded

That DP 23-034544 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



No. DP 23-034544

To the Holder: Maskeen (Hamilton) Properties Corp.
308-6321 King George Boulevard
Surrey, BC V3X 1G1

Property Address: 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361,
23381 Gilley Road

Address: Ajit Thaliwal and Grant Copland
Maskeen (Hamilton) Properties Corp.
308-6321 King George Boulevard
Surrey, BC V3X 1G1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #31 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$573,699.34 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 23-034544

To the Holder: Maskeen (Hamilton) Properties Corp.
308-6321 King George Boulevard
Surrey, BC V3X 1G1

Property Address: 4651, 4671, 4691 Smith Crescent and 23301, 23321, 23361,
23381 Gilley Road

Address: Ajit Thaliwal and Grant Copland
Maskeen (Hamilton) Properties Corp.
308-6321 King George Boulevard
Surrey, BC V3X 1G1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

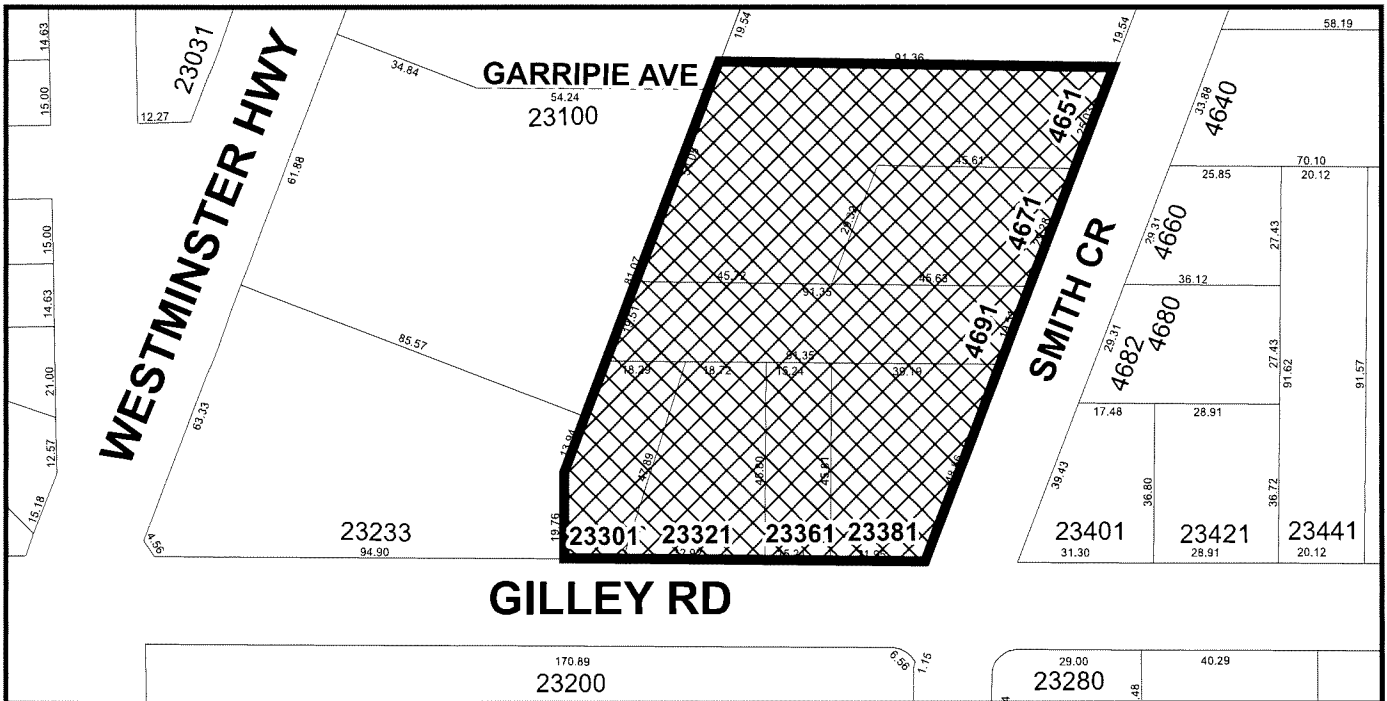
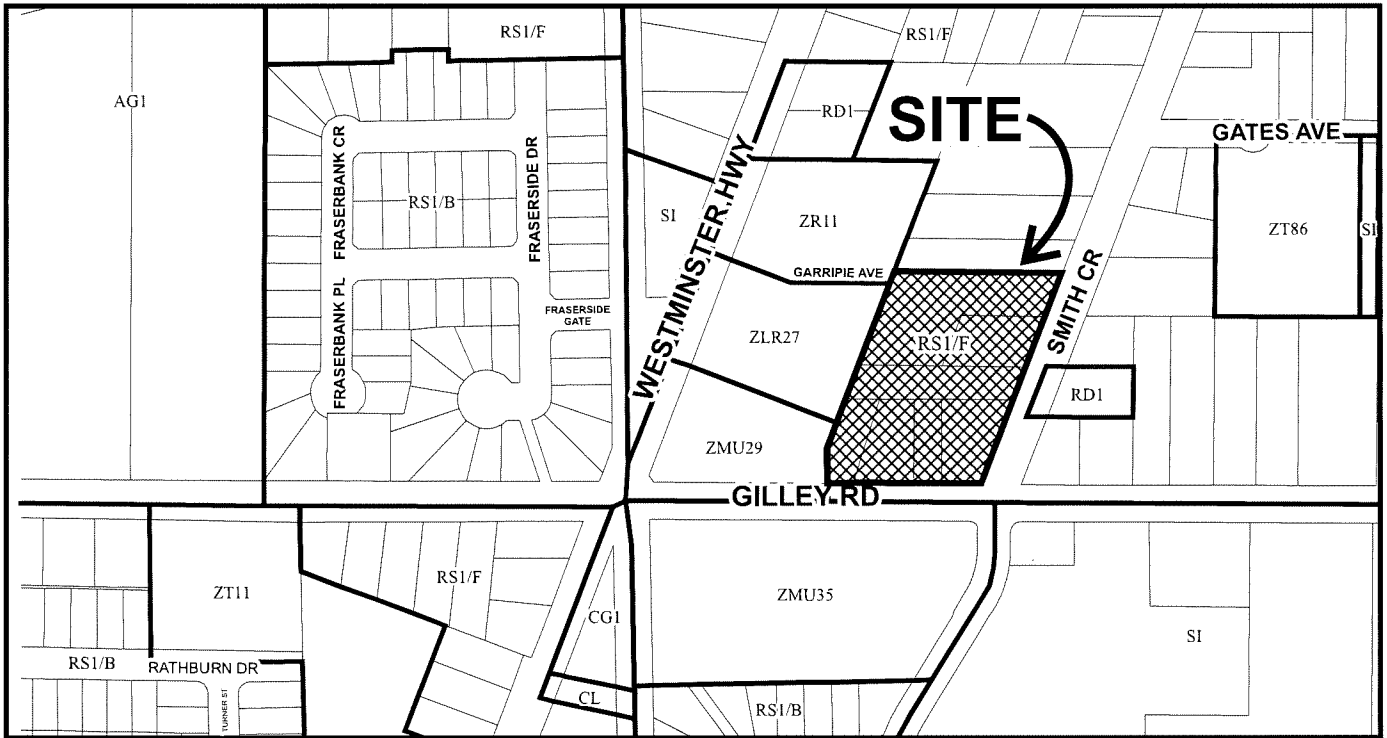
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

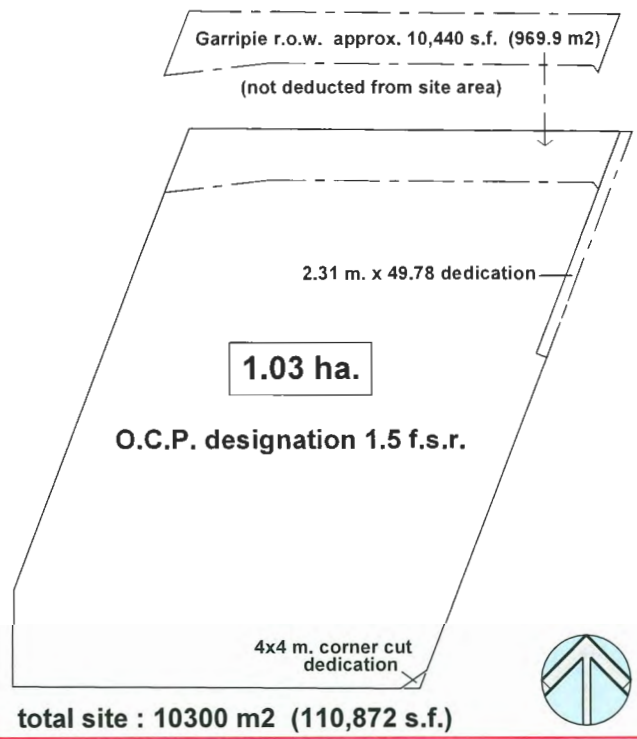


DP 23-034544 SCHEDULE "A"

Original Date: 12/15/23

Revision Date:

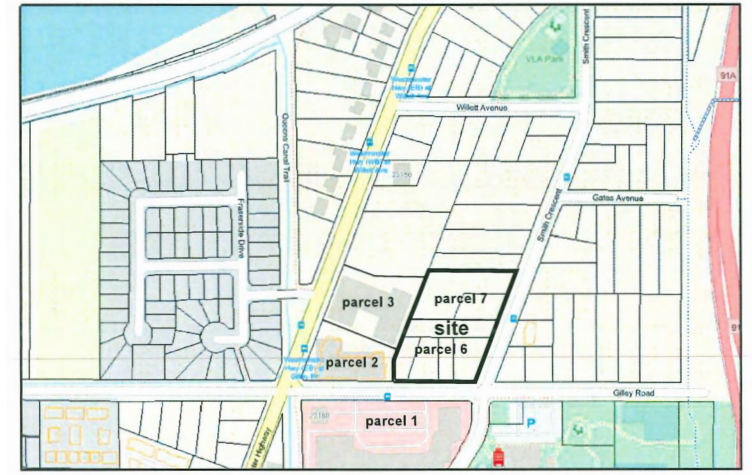
Note: Dimensions are in METRES



total site : 10300 m2 (110,872 s.f.)

max floor area: 10,300 m2 x 1.5 FAR = 15,450 m2
 (excluding community amenity and indoor amenity space)

- Notes:
- Bicycle maintenance facility, charging outlets for min. 10% of class 1 bicycle storage spaces, and other TDMs as per legal agreements.
 - Community amenity City facility in south building, 2 dedicated parking spaces in courtyard.
 - 19 LEMR units
 - 22 BUH units required to comply with section 4.16 of Richmond Zoning Bylaw 8500.
 - Aging in place features to be provided in all units including stairwell handrails, lever-type handles for doors and plumbing fixtures, and solid wall blocking in washrooms at all toilets, bathtubs and showers to facilitate future grab bar installation.
 - Automatic irrigation system for all planted areas.
 - Public access road PROP SRW along north edge of site, public walkway and public plaza PROP SRW along west edge of site.
 - Off-site works, public access road SRW works, public walkway and plaza SRW works via Servicing Agreement
 - Phases include first parkade, south building and amenity building, then north building.



location plan detail



location plan

affordable housing data :

minimum unit areas per AH Strategy :		
studio unit	400 s.f.	37 m2
1-bedroom unit	535 s.f.	50 m2
2-bedroom unit	741 s.f.	69 m2
3-bedroom unit	980 s.f.	91 m2
affordable units provided :		
studio units	none	
1-bedroom B5	2 x 552 = 1104 s.f.	
2-bedroom C3	1 x 974 = 974 s.f.	
2-bedroom C4	9 x 748 = 6732 s.f.	
2-bedroom C6	1 x 954 = 954 s.f.	
3-bedroom D1	3 x 1072 = 3216 s.f.	
3-bedroom D2	3 x 1020 = 3060 s.f.	
19 units total - 16,040 s.f.		
(min. required area : 15,695 s.f. - see 10e)		
affordable unit percentages :		
2/19 = 10.5%	1-bedroom units	
11/19 = 57.9%	2-bedroom units	
6/19 = 31.6%	3-bedroom units	
100%		

project data :

proposed zoning : ZMU53 Neighbourhood Village Centre (1 hamilton)

site area : 110,872 s.f. (10300 m2 = 1.03ha)

(after road dedications)

building areas :

bldg. A -	
ground floor -	24,696 s.f.
2nd floor -	22,374 s.f.
3rd floor -	22,374 s.f.
4th floor -	22,374 s.f.
5th floor -	22,374 s.f.
total -	114,192 s.f. (10,608.4 m2)

bldg. B -	
ground floor -	12,802 s.f.
2nd floor -	12,682 s.f.
3rd floor -	12,682 s.f.
4th floor -	12,682 s.f.
total -	50,848 s.f. (4723.8 m2)

total buildings A & B - 165,040 s.f. (15,332.2 m2)
 (above areas exclude elevators, stairs, mech./elec. rooms as permitted by zoning bylaw - refer to dwg. 10e)

F.A.R. : 114,401 + 50,476 = 164,877 / 110,872 = 1.487

site coverage : 4223 m2 41%

unit types :

type :	bldg. A :	bldg. B :	total :	
studio -	15	-	15	7.5%
1-bedroom -	53	23	76	41.4%
2-bedroom -	59	28	87	46.8%
3-bedroom -	4	4	8	4.3%
	131	55	186	100%

parking provision :

required per bylaw :
 standard apt. - 167 x 1.4* = 234 (*TDM rate)
 affordable apt. - 19 x 1 = 19
 + visitor - 186 x .2 = 38
 CPO - (132.8 m2) - 2 notes : CPO requires 2 on-site spaces, per RCMP program, plus 2 dedicated street spaces
 commercial - (743 m2) - -- per bylaw commercial parking is shared with residential visitor parking
 total req'd - 293 spaces

provided - 34 surface spaces
 259 parkade spaces
 *293 spaces
 (*TDMs to support 1.4 residential parking ratio - refer to CTS report)

bicycle parking required :

residential spaces required : 186 x 1.5 = 279 spaces
 186 x .2 37 spaces
 total - 316 spaces
 provided : parkade - 279 spaces
 surface - 40 spaces
 total - 319 spaces
 commercial spaces required : 5 spaces total
 provided : 2 class 1. bike lockers in parkade
 3 class 2. surface spaces next to plaza
 (2 spaces within CPO not counted)

indoor amenity :

required : 1,076 s.f. (100 m2)
 provided : 2,560 s.f. (238 m2)

outdoor amenity :

required : 186 x 6 = 1116 m2 (12,013 s.f.)
 provided : approx. 13,200 s.f. = 1226 m2

building height :

max. allowed per bylaw : 4-storey & 17.0 m. (55.77 ft.)
 5- storey & 20.0 m. (65.61 ft.) fronting Gilley
 proposed height : 4-storey & 16.95 m. (55.61 ft.) bldg. B
 5-storey & 19.95 m. (65.45 ft.) bldg. A

project data

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024



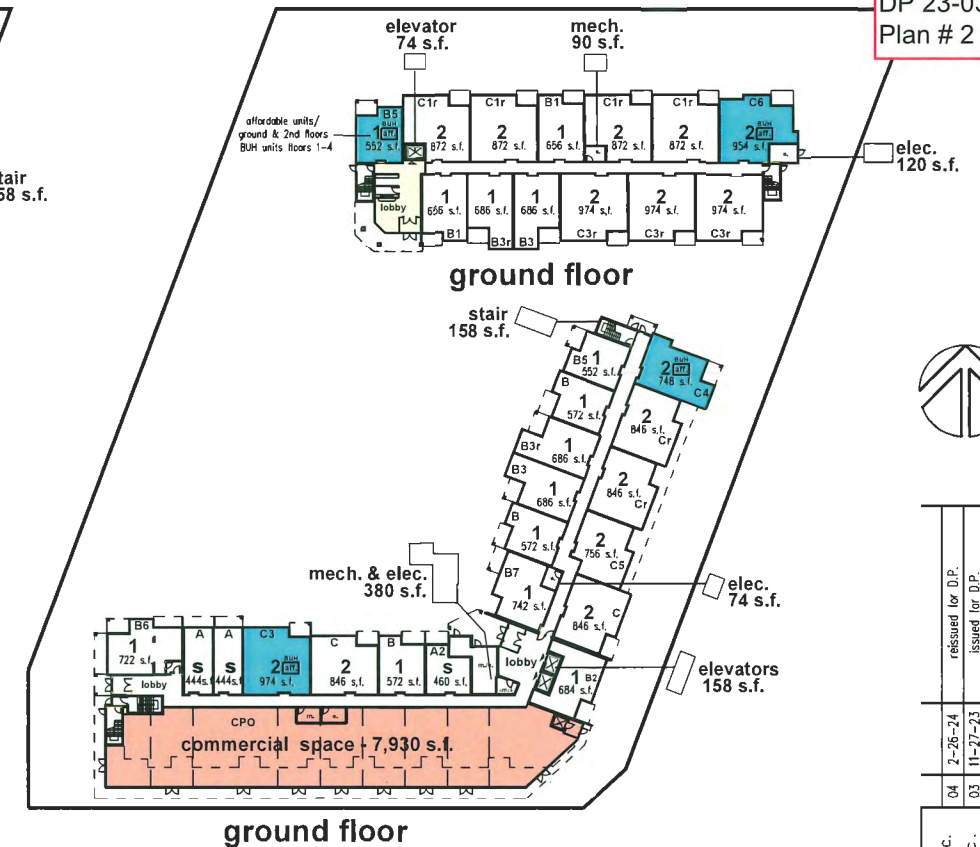
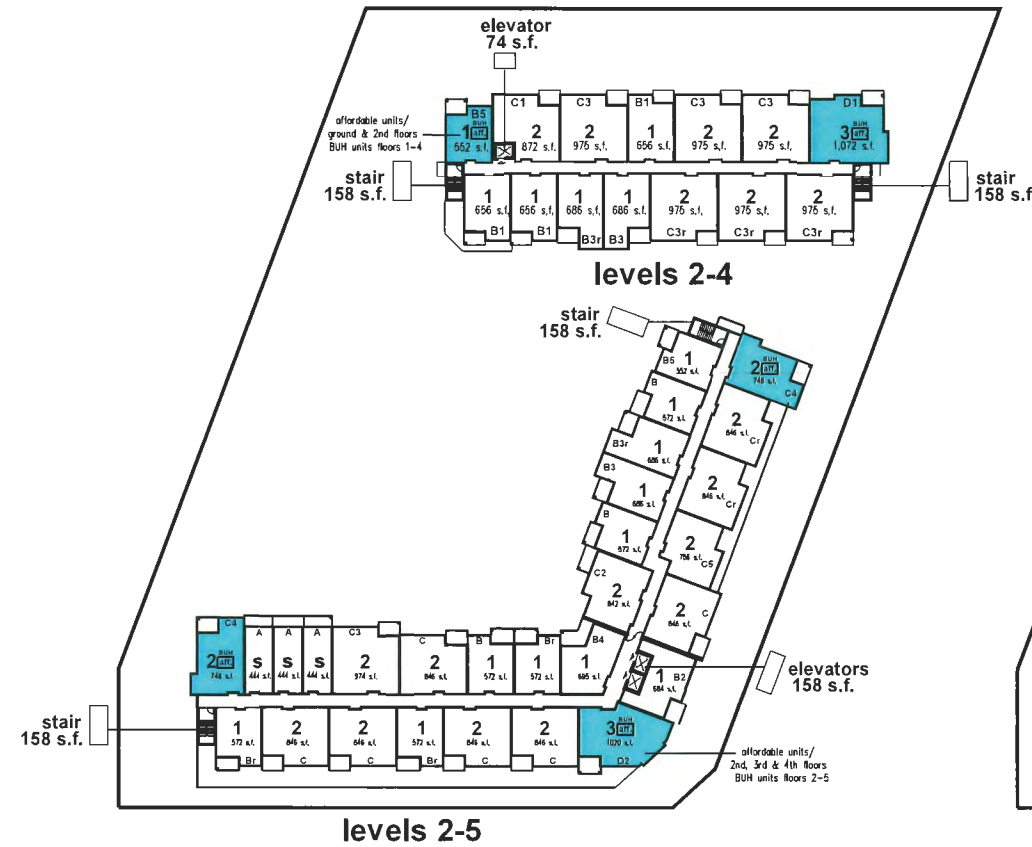
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05	February 2022	A-1	1	site areas & project data	05	4-02-24	revised/re-issued for DP.
					04	10-27-23	issued for DP.
					03	7-17-23	revised for DP. application
					02	4-12-23	re-issued for rezoning
					01	10-08-21	issued for rezoning

Ionic Architecture Inc.
 architects o.i.b.c.
 201-6600 Kings Street
 Surrey B.C.
 Tel: (778) 571-0816
 Fax: (778) 571-0818
 ionic@ionic-architecture.com

- A** studio unit
 - B** one-bedroom unit
 - C** two-bedroom unit
 - D** three-bedroom unit
- (refer to dwg. A-11a for locations)

saleable/rentable floor areas :

commercial area :			
7,930 s.f. including CPO (includes mech. & elec. spaces)			
saleable residential area :			
unit type	area	no. units	total area -
A	444 s.f.	14	6,216 s.f.
A1	460 s.f.	1	460 s.f.
B	572 s.f.	26	14,872 s.f.
B1	656 s.f.	7	4,592 s.f.
B2	695 s.f.	5	3,475 s.f.
B3	686 s.f.	18	12,348 s.f.
B4	695 s.f.	4	2,780 s.f.
B5	539 s.f.	11	5,929 s.f.
B6	827 s.f.	1	827 s.f.
B7	742 s.f.	1	742 s.f.
C	846 s.f.	36	30,456 s.f.
C1	872 s.f.	6	5,232 s.f.
C2	846 s.f.	4	3,384 s.f.
C3	975 s.f.	27	26,325 s.f.
C5	754 s.f.	5	3,770 s.f.
D2	1,020 s.f.	1	1,020 s.f.
totals -		167 units	122,571 s.f. (11387 m2)
rentable residential area :			
uniy type	area	no. units	total area -
B5	552 s.f.	2	1,104 s.f.
C3	974 s.f.	1	974 s.f.
C4	748 s.f.	9	6,732 s.f.
C6	954 s.f.	1	954 s.f.
D1	1,072 s.f.	3	3,216 s.f.
D2	1,020 s.f.	3	3,060 s.f.
totals -		19 units	16,040 s.f. (1490.1 m2)
residential summary :			
total units - 167 + 19 = 186 units			
total unit area- 122,571 + 16,158 = 138,729 s.f. (12,887.9 m2)			



bylaw floor area calculation (net area for density calculation) :

building A :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	25,150 s.f. 2336.4 m2	---	---	454 s.f. ---	24,696 s.f. 2294.3 m2	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	22,848 s.f. 2122.6 m2	158 s.f. ---	316 s.f. ---	---	22,374 s.f. 2078.5 m2	
third	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fourth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
fifth	22,848 s.f. "	158 s.f. ---	316 s.f. ---	---	22,374 s.f. "	
totals -	116,542 s.f. 10826.8 m2	632 s.f.	58.7 m2	1,264 s.f. 117.4 m2	454 s.f. 42.2 m2	114,192 s.f. 10608.4 m2
building B :						
floor -	actual gross area -	deductions per zoning bylaw -			bylaw net floor area -	notes -
		elevators	stairs	mech. / elec.		
ground	13,012 s.f. 1208.8 m2	---	---	210 s.f. ---	12,802 s.f. 1189.3 m2	- mech. and elec. spaces may be deducted on any floor - stairs and elevators deducted above ground floor only
second	13,072 s.f. 1214.4 m2	74 s.f. ---	316 s.f. ---	---	12,682 s.f. 1178.2 m2	
third	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
fourth	13,072 s.f. "	74 s.f. ---	316 s.f. ---	---	12,682 s.f. "	
totals -	52,228 s.f. 4852 m2	222 s.f.	20.6m2	948 s.f. 88.1 m2	210 s.f. 19.5 m2	50,848 s.f. 4723.8 m2

total bylaw floor area for site density calculation : 114,192 + 50,848 = 165,040 - (22 x 20*) = 164,620 s.f. (*20 s.f./unit deduction for units with BUH features)

bylaw residential area for affordable housing provision requirement :

bylaw total area : 114,192 + 50,848 = 165,040 s.f. bylaw residential area : 165,040 - 7,930 = 157,110 s.f. x 10% = **15,711 s.f. required** area provided : 16,158 s.f.



Rev.	Date	Description
04	2-26-24	revised for D.P.
03	11-27-23	issued for D.P.
02	8-22-23	revised for rezoning
01	4-12-23	issued for rezoning

Ionic Architecture Inc.
architects a.i.b.c.
201-500, 162nd Street
Surrey B.C. V3S 2J9
tel: (778) 571-0616
fax: (778) 571-0619
office@ionic-architecture.com

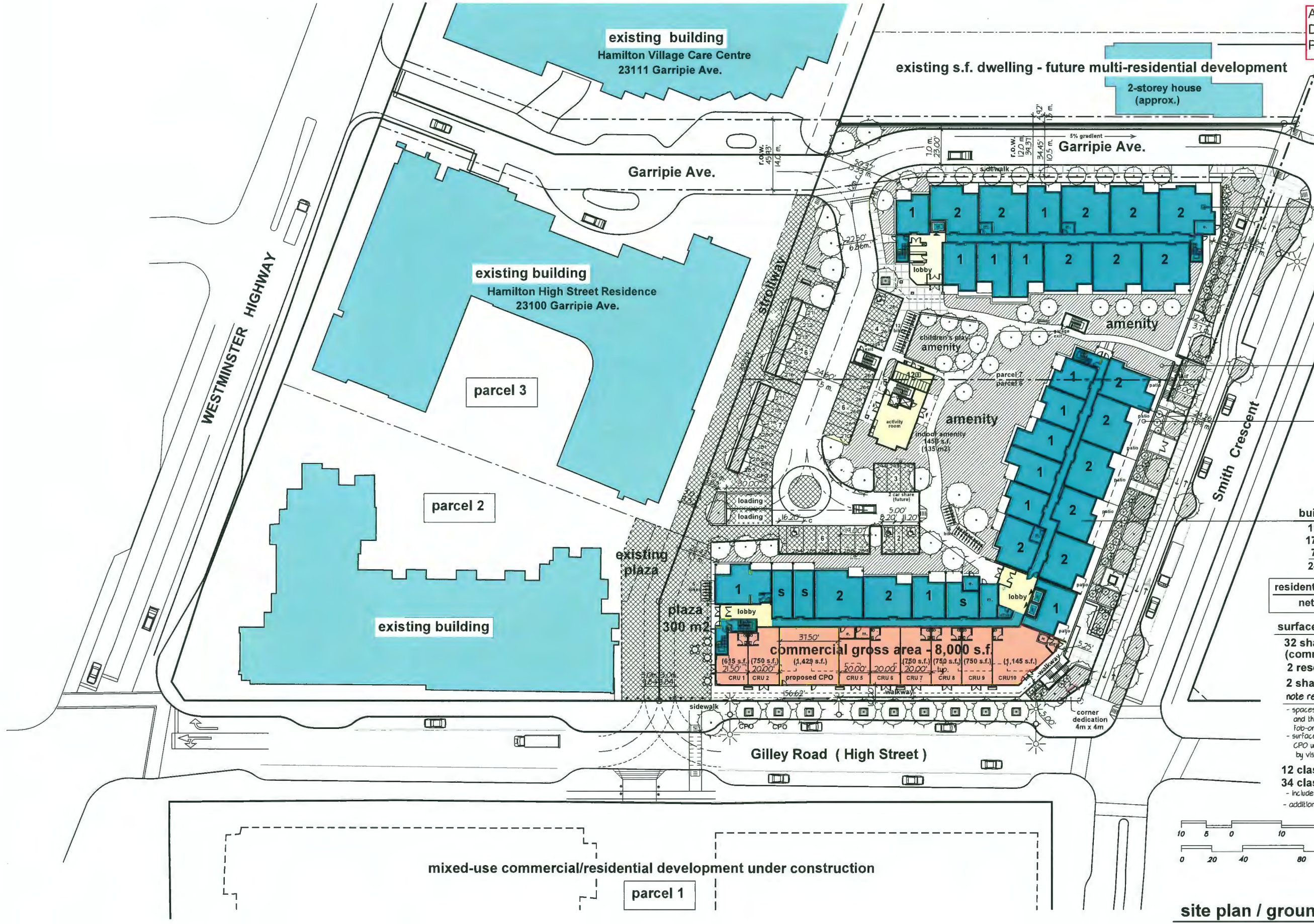
Drawing Title: floor area calculation for FAR
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Scale: n.l.s.
Date: November 2023
Revision: Project No. 135 239
04 21-2138

Sheet: A10e

April 24, 2024
 DP 23-034544
 Plan # 4

- key to unit types :
- S** studio unit
 - 1** one-bedroom unit
 - 2** two-bedroom unit
 - 3** three-bedroom unit



building B ground floor :
 13 apartment units
 12,988 s.f.
 (1,207 m²)

***g.f.a. per bylaw :**
 12,482 s.f.
 (1,160 m²)

note re. gross floor area calculation :
 *g.f.a. per bylaw excludes stairs & elevator
 at upper floors and mechanical and
 electrical rooms on all floors
 (refer to dwg. 10e for calculations)

parcel 7
 48,896 s.f.
 4542.5 m²

parcel 6
 62,007 s.f.
 5760.5 m²

110,907 s.f. total site
 2.546 ac. (1.030 ha)

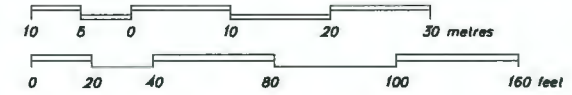
building A ground floor :
 19 apartment units
 17,000 s.f. residential
 7,900 s.f. commercial (net)
 24,900 s.f. (2323 m²)

residential g.f.a. per bylaw calculation:
 net area - 16,200 s.f. (1,505 m²)

surface parking provision :
 32 shared visitor spaces
 (commercial & residential)
 2 reserved CPO spaces
 2 shared loading spaces

note re. courtyard parking :
 - spaces in secure parkade are intended for residents
 and their visitors, and is thus a secure area with
 job-only access.
 - surface spaces in courtyard comprise 2 spaces for the
 CPO unit and 32 spaces for short-term shared use
 by visitors, the commercial units and the CPO unit.

12 class 1. resident bicycle spaces
34 class 2. visitor bicycle spaces
 - includes 3 commercial class 2. spaces next to plaza
 - additional class 2 visitor bicycle spaces in parkade



site plan / ground floor



Rev.	Date	Description
06	2-22-24	reissued for DP
04	11-27-23	issued for DP
03	7-17-23	revised for DP submission
02	4-12-23	revised rezoning submission
01	10-08-21	original rezoning submission

Ionic Architecture Inc.
 architects o.i.b.c.
 201-5500 142nd Street
 Surrey B.C. V3S 5P9
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 office@ionic-architecture.com

Drawing Title: site plan - ground floor plan
 Project Title: proposed development
 parcels 6 & 7 - Hamilton Lands
 Richmond B.C.

Sheet	of	A-3
Scale:	as noted	
Date:	February 2022	
Revision	Project No.	21-2138
05		

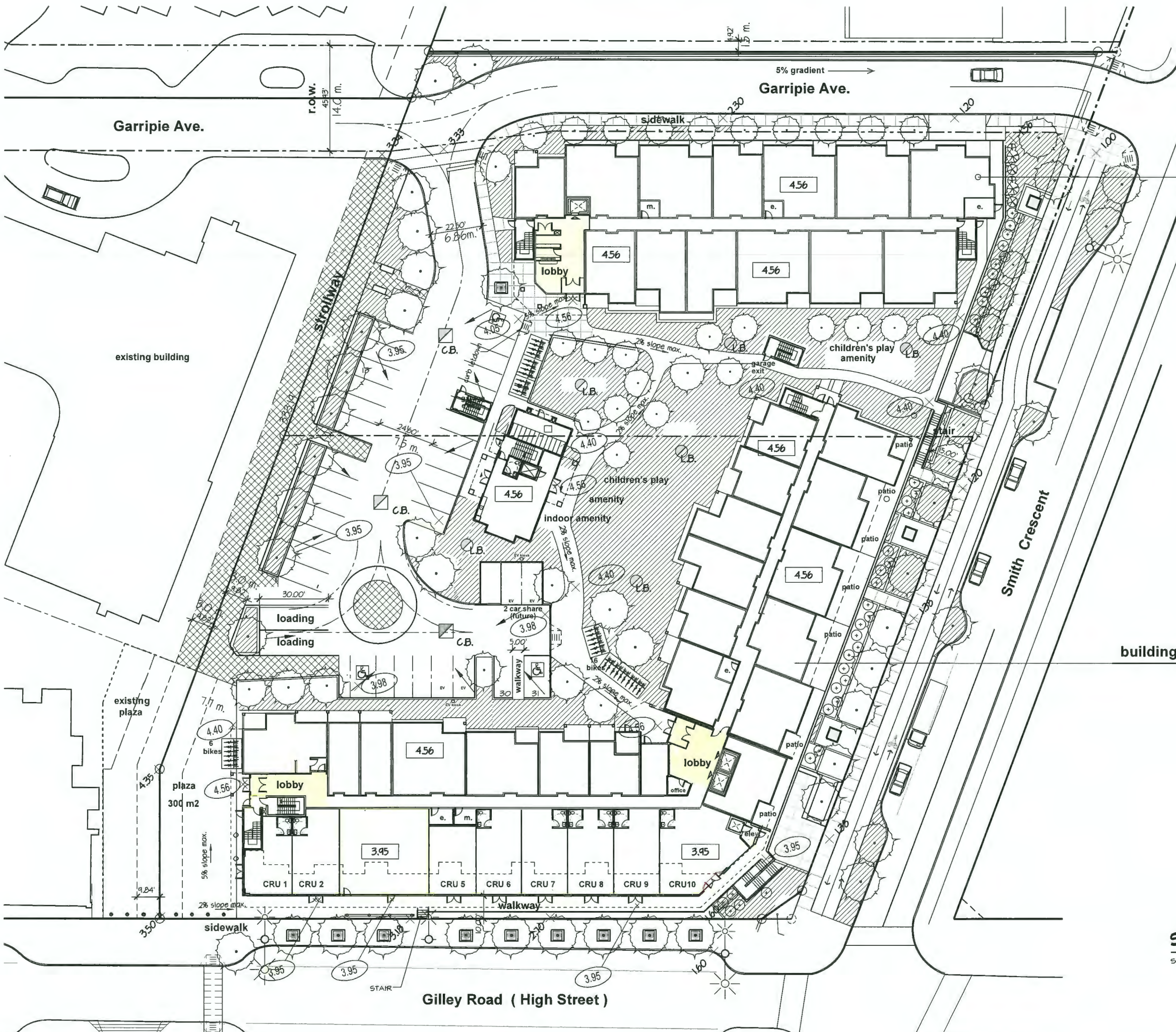
parcels 6 & 7 - proposed residential - commercial development

issued for D.P.

Hamilton Lands

Richmond B.C.

ADP submission
 Feb. 26 2024
 revised to April 17 2024



building B ground floor :

building A ground floor :

GRADING KEY :

(ELEVATIONS IN METRES)

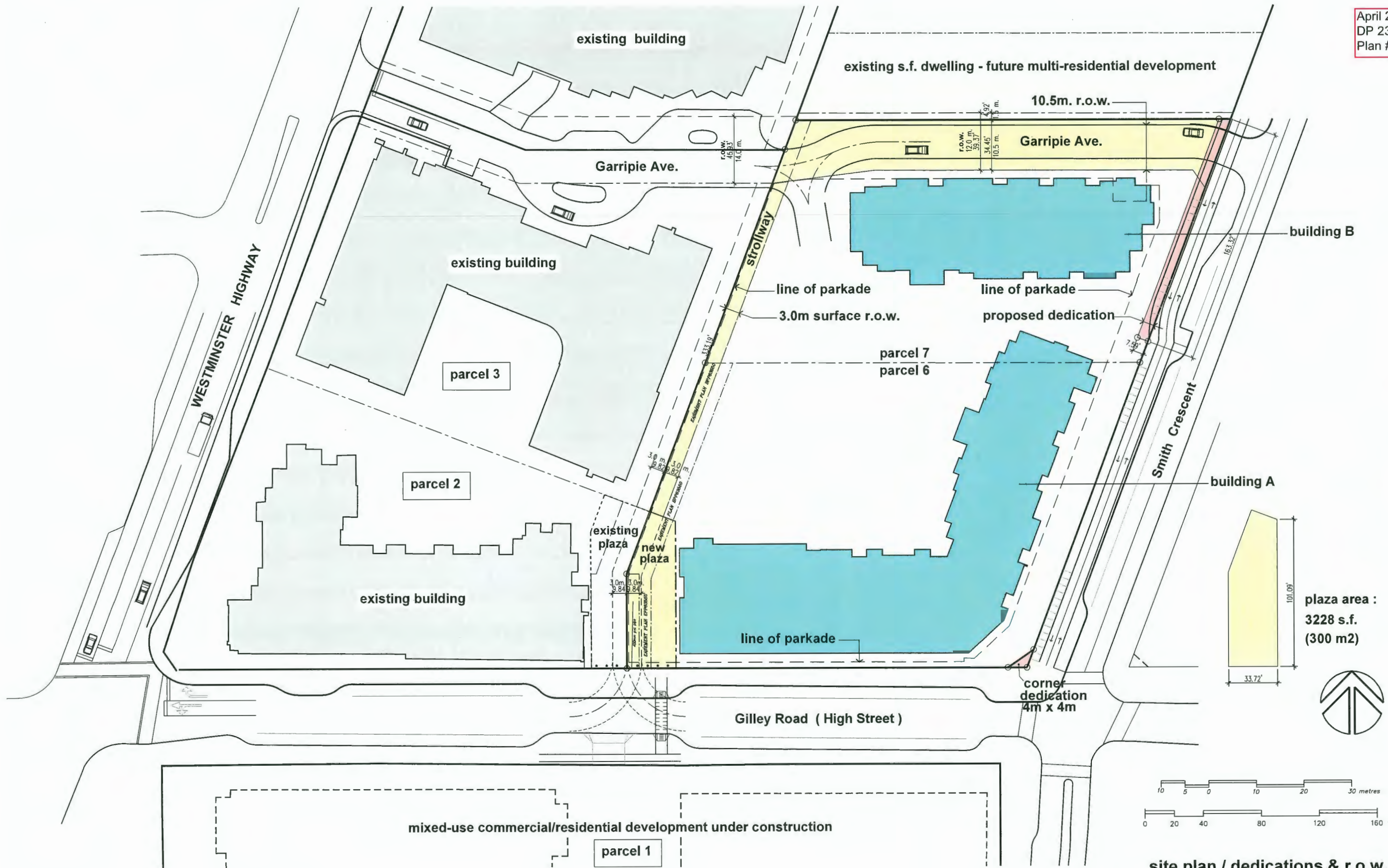
- × 1/8 (55.50) EXISTING GRADE
- × 3.95 EX. GRADE (Interpolated)
- × 3.95 PROPOSED GRADE
- 4.56 FINISH FLOOR ELEVATION
- ↘ SURFACE DRAINAGE
- ⊗ L.B. LAWN BASIN
- ⊠ C.B. CATCH BASIN
- SD 3" SLAB DRAIN BELOW ROAD FINISHED
- PD PLANTER DRAIN

REFER TO CIVIL ENG. DRAWINGS FOR FINAL GRADING

SITE GRADING - ACCESSIBILITY STRATEGY

Scale 1"=20'

Drawing Title: SITE GRADING		Issued: 10/20/24	
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.		Date: 01	
Scale: as noted	Sheet: February 2022	Revision: Project No. 21-2138	Rev. Description
Date: February 2022	of	S-2	
Revision: Project No. 21-2138			

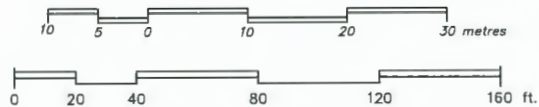


Rev.	Date	Description
04	4-02-24	resubmit for D.P.
03	2-28-24	submitted for D.P./ADP
03	10-27-23	issued for D.P.
01	7-31-23	issued for coordination

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C. V3S 5J9
 Tel: (778) 571-0615
 Fax: (778) 571-0619
 office@ionic-architecture.com

Drawing Title: site plan - dedications & r.o.w.'s
 Project Title: proposed development
 parcels 6 & 7 - Hamilton Lands
 Richmond B.C.

Scale:	as noted
Date:	July 2023
Revision:	04
Project No.:	21-2138
Sheet:	S-3



site plan / dedications & r.o.w.'s

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

April 24, 2024
 DP 23-034544
 Plan # 7

- key to unit types :
- S studio unit
 - 1 one-bedroom unit
 - 2 two-bedroom unit
 - 3 three-bedroom unit

building B floors 2,3,4 :
 14 units per floor
 13,072 s.f./floor
 (1,215 m²)

***g.f.a. per bylaw :**
 12,712 s.f./floor
 (1,181 m²)

note re. gross floor area :
 *g.f.a. per bylaw excludes stairs, elevators and mechanical and electrical rooms on all floors
 - mech. & elec. rooms only on ground floor
 - refer to dwg. 10e for calculations

building A floors 2,3,4,5 :
 28 units per floor
 22,080 s.f.
 (2,051 m²)

***g.f.a. per bylaw :**
 19,474 s.f./floor
 (1,809 m²)

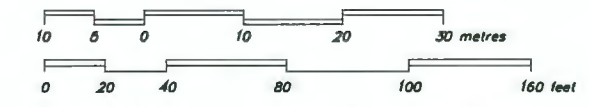
note re. gross floor area :
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 - mech. & elec. rooms only on ground floor
 - refer to dwg. 10e for calculations

Rev.	Date	Description
05	2-22-24	issued for DP
04	11-27-23	issued for DP
03	7-17-23	revised for DP submission
02	4-12-23	revised for rezoning
01	10-08-21	original rezoning submission

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C. V5S 5J9
 tel: (778) 571-0616
 fax: (778) 571-0619
 office@ionic-architecture.com

Drawing Title: floor plans - levels 2 through 5
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Sheet of A-4
 as noted July 2023
 Revision Project No. 21-2138
 Date July 2023
 Revision Project No. 05



levels 2, 3, 4 & 5



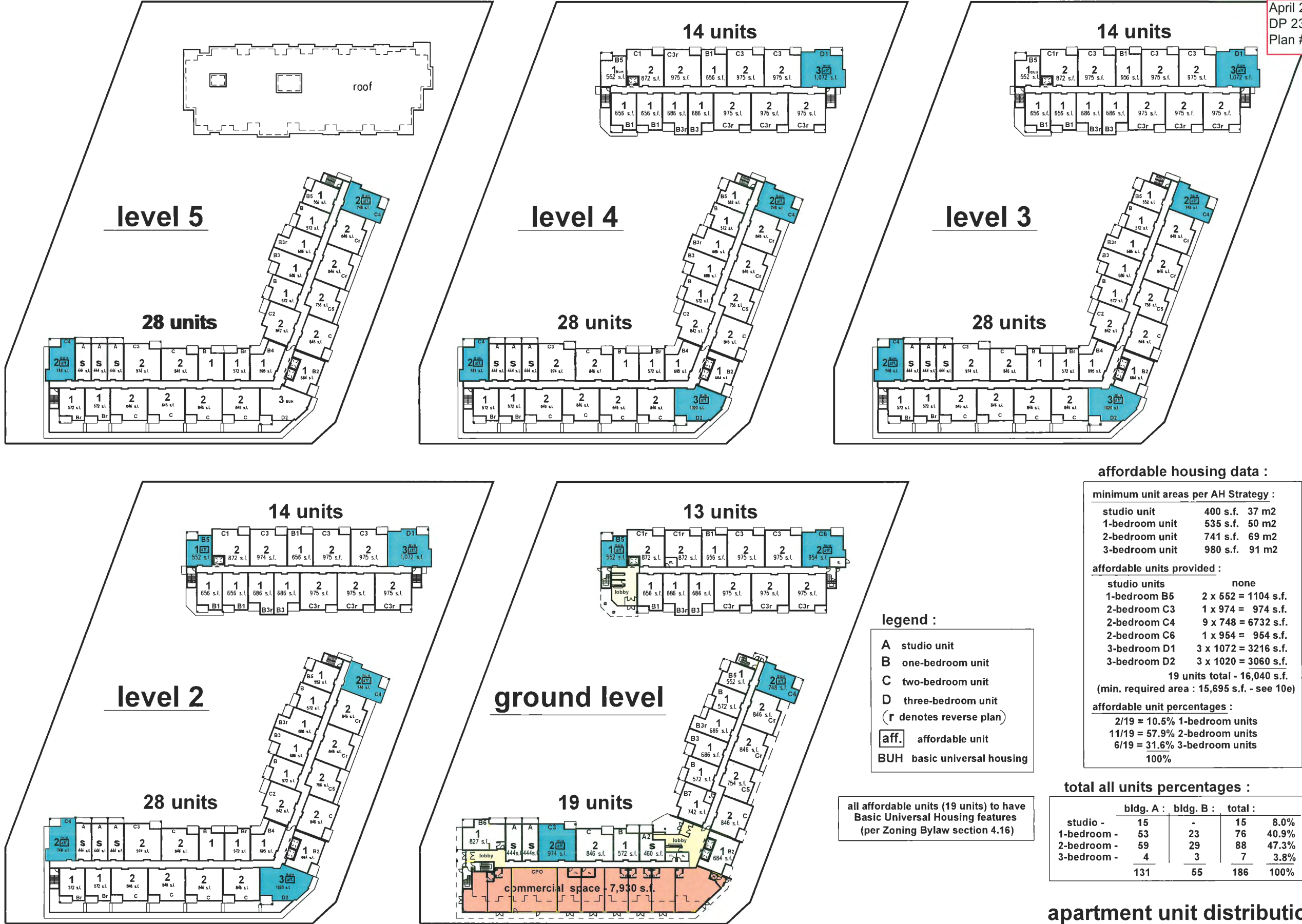
parcels 6 & 7 - proposed residential - commercial development

issued for D.P.

Hamilton Lands

Richmond B.C.

ADP submission
 Feb. 26 2024
 revised to April 12 2024



Rev.	Date	Description
04	2-22-24	re-issued for D.P.
03	11-27-23	issued for D.P.
02	8-22-23	revised for review
01	4-12-23	issued for rezoning

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C. V5S 5A9
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 office@ionic-architecture.com

Working Title: apartment unit distribution
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Sheet: n.l.s. of
 Date: April 2023
 Project No. 21-2138
 Revision: 04

affordable housing data :

minimum unit areas per AH Strategy :

studio unit	400 s.f.	37 m2
1-bedroom unit	535 s.f.	50 m2
2-bedroom unit	741 s.f.	69 m2
3-bedroom unit	980 s.f.	91 m2

affordable units provided :

studio units	none
1-bedroom B5	2 x 552 = 1104 s.f.
2-bedroom C3	1 x 974 = 974 s.f.
2-bedroom C4	9 x 748 = 6732 s.f.
2-bedroom C6	1 x 954 = 954 s.f.
3-bedroom D1	3 x 1072 = 3216 s.f.
3-bedroom D2	3 x 1020 = 3060 s.f.
19 units total - 16,040 s.f.	

(min. required area : 15,695 s.f. - see 10e)

affordable unit percentages :

2/19 = 10.5%	1-bedroom units
11/19 = 57.9%	2-bedroom units
6/19 = 31.6%	3-bedroom units
100%	

legend :

- A studio unit
- B one-bedroom unit
- C two-bedroom unit
- D three-bedroom unit
- (r denotes reverse plan)
- aff. affordable unit
- BUH basic universal housing

all affordable units (19 units) to have Basic Universal Housing features (per Zoning Bylaw section 4.16)

total all units percentages :

	bldg. A :	bldg. B :	total :	
studio -	15	-	15	8.0%
1-bedroom -	53	23	76	40.9%
2-bedroom -	59	29	88	47.3%
3-bedroom -	4	3	7	3.8%
	131	55	186	100%

apartment unit distribution

parcels 6 & 7 - proposed residential - commercial development

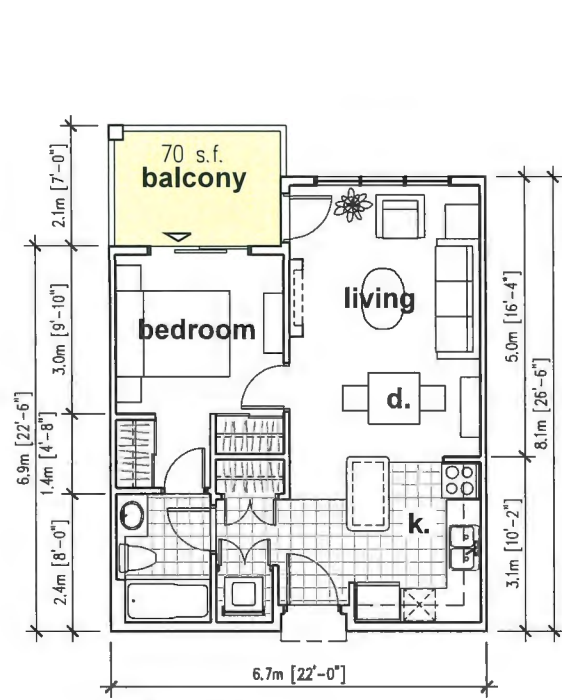
Hamilton Lands

Richmond B.C.

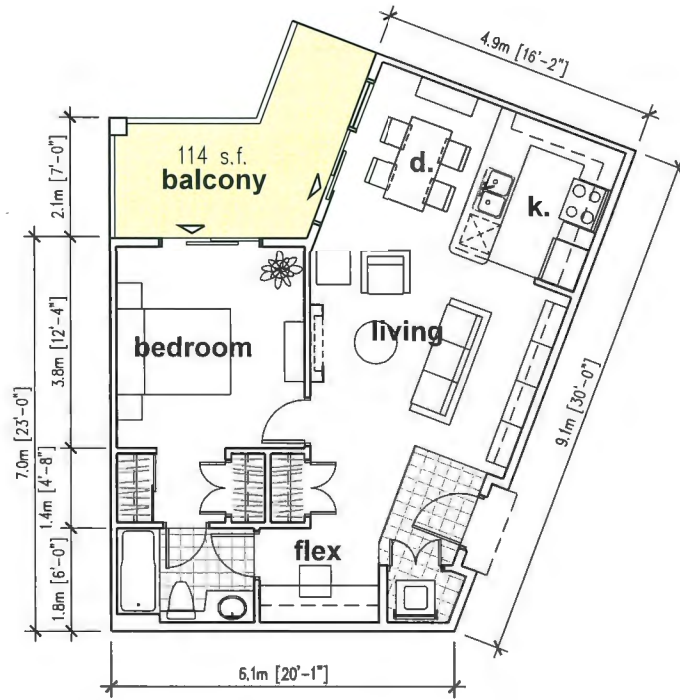
ADP submission
 Feb. 26, 2024
 revised to April 12 2024

10d

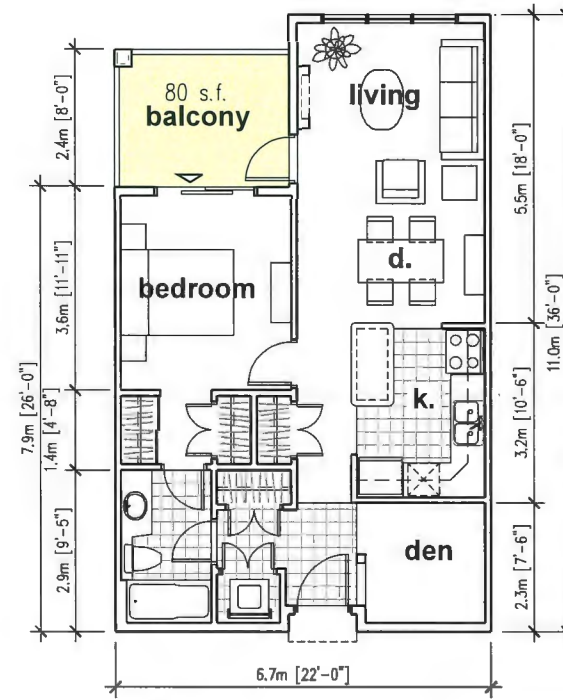
April 24, 2024
 DP 23-034544
 Plan # 9



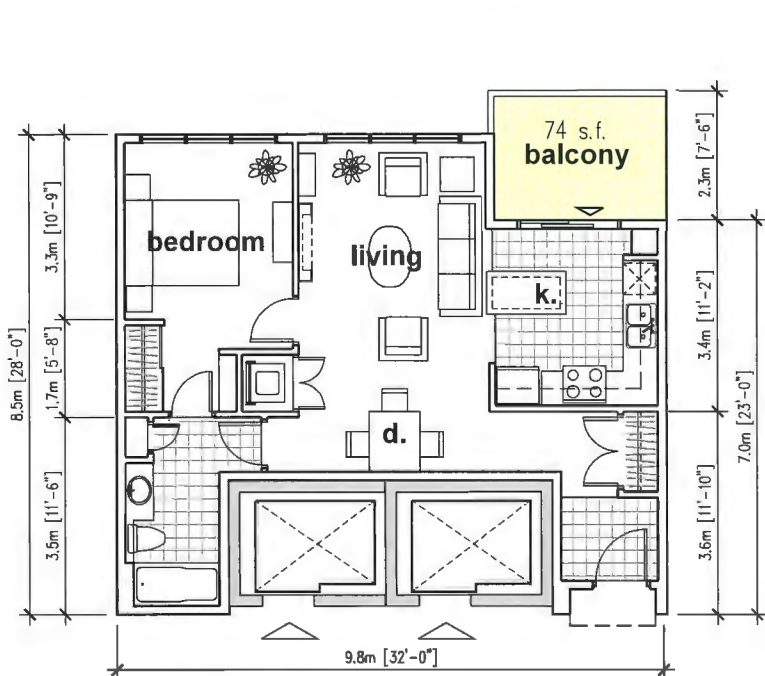
B5 1-bedroom 11 units
 539 s.f.
 50.1m²



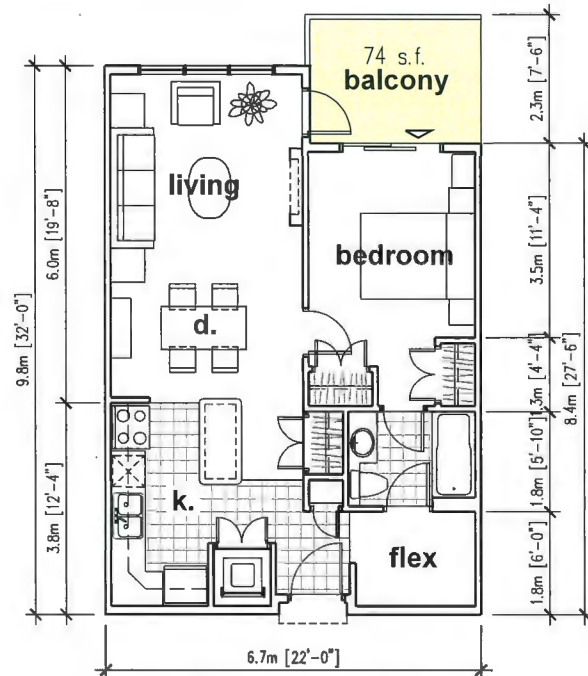
B4 1-bedroom 4 units
 695 s.f.
 64.5m²



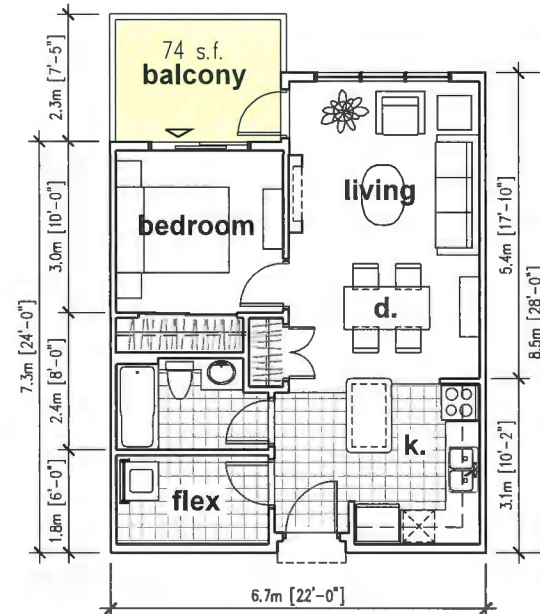
B3 1-bedroom + den 18 units
 686 s.f.
 63.7m²



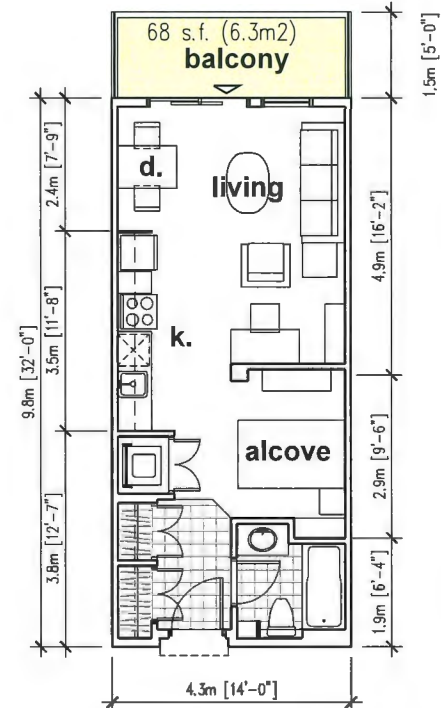
B2 1-bedroom 5 units
 695 s.f.
 64.6m²



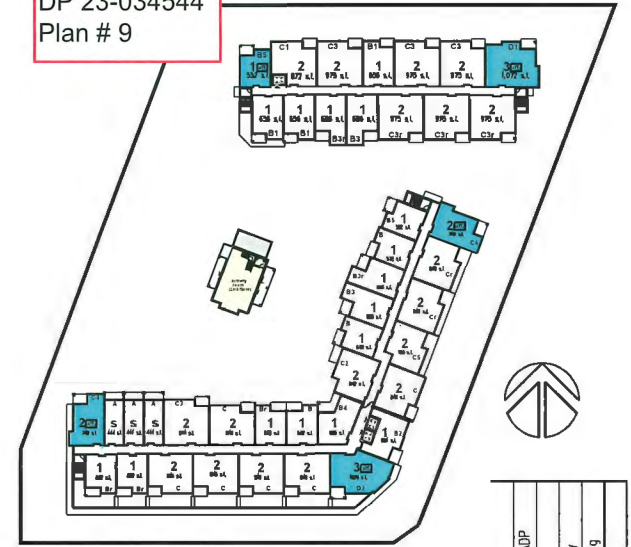
B1 1-bedroom + flex 7 units
 656 s.f.
 60.0m²



B 1-bedroom + flex 27 units
 572 s.f.
 53.1m²



A studio + flex 14 units
 444 s.f.
 41.2m²
 (see dwg. 11a for A2 unit)



key plan

- A** studio unit
 - B** one-bedroom unit
 - C** two-bedroom unit
 - D** three-bedroom unit
- (refer to dwg. A-11a for locations)

Rev.	Date	Description
04	2-26-24	re-issued for DP/ADP
03	11-27-23	issued for D.P.
02	8-22-23	revised for review
01	4-12-23	issued for rezoning

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5600 152nd Street
 Surrey B.C. V5S 5A9
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 office@ionic-architecture.com

Drawing Title: unit plans - market condo units
 Project Title: proposed development
 parcels 6 & 7 - Hamilton Lands
 Richmond B.C.

Scale:	as noted
Date:	April 2023
Revision:	Project No. 21-2138
	Sheet A10a



parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

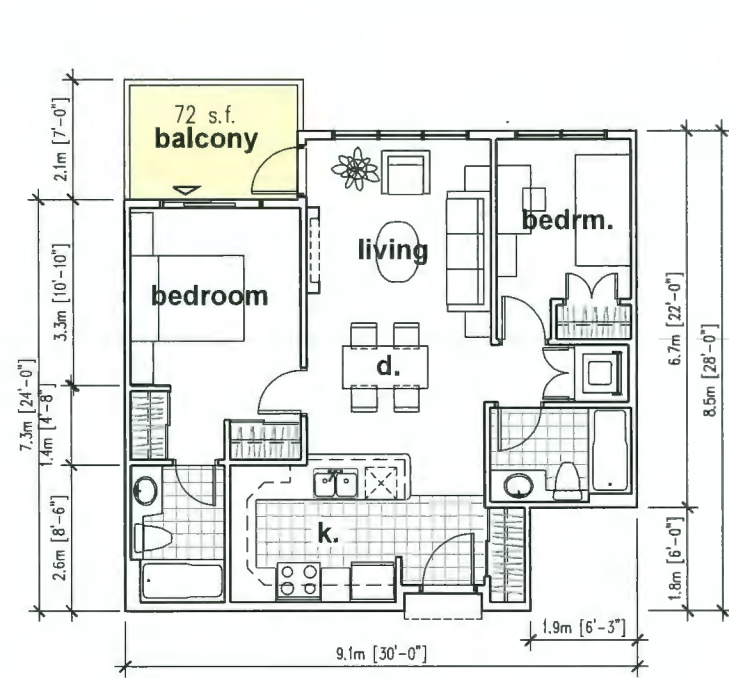
Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024

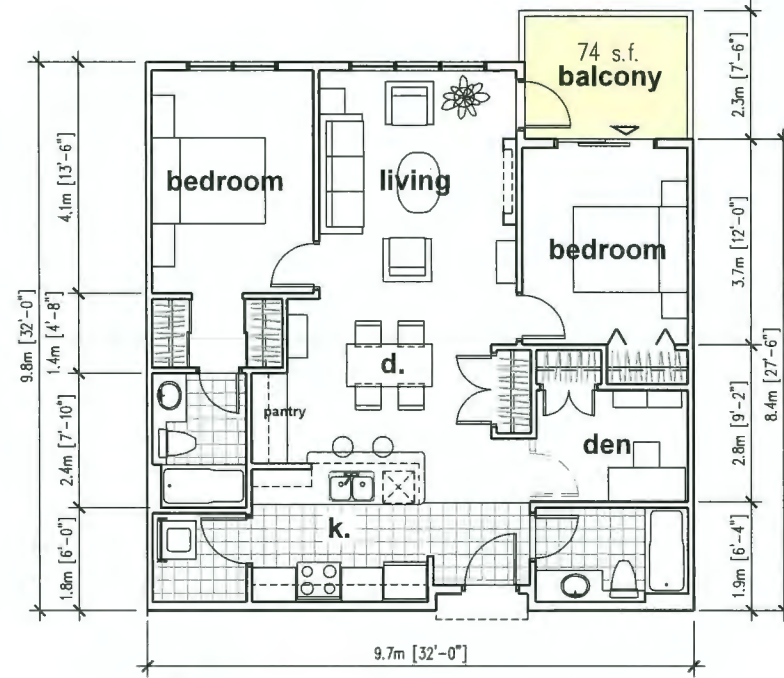
10a

issued for D.P.

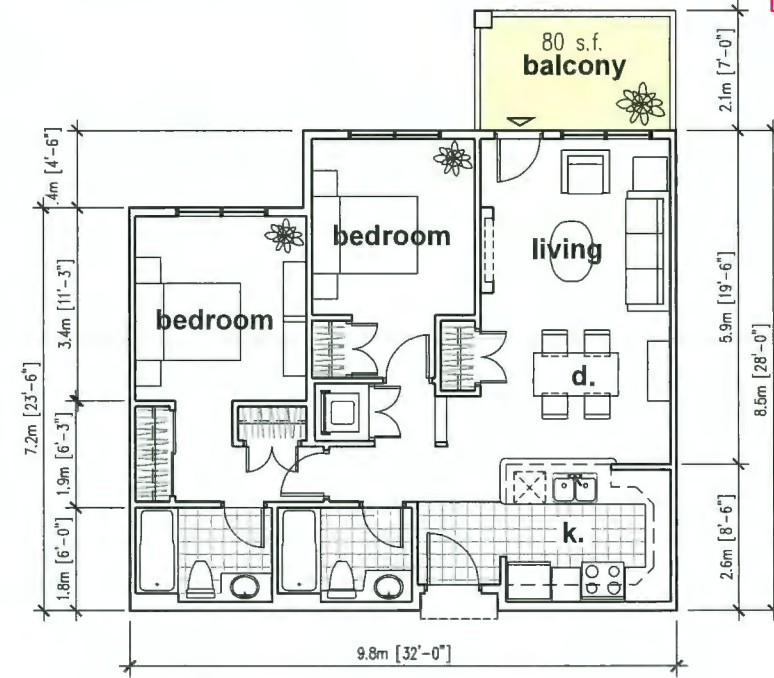
April 24, 2024
 DP 23-034544
 Plan # 10



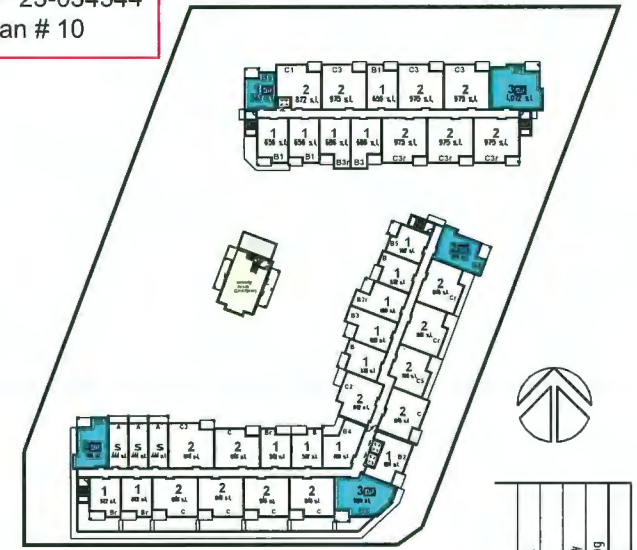
C5 2-bedroom 5 units
 754 s.f.
 70.0 m2



C3 2-bedroom + den 27 units
 975 s.f.
 90.5 m2

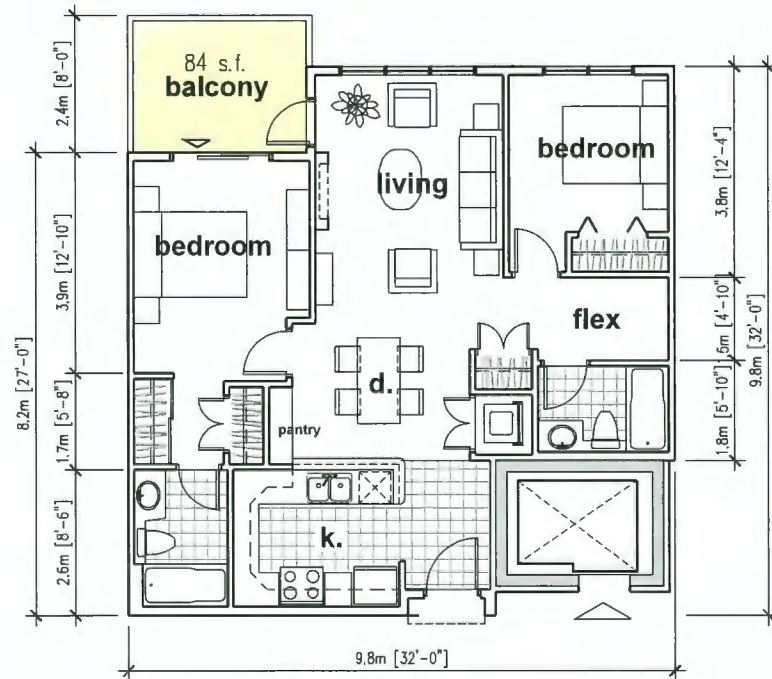


C2 2-bedroom 4 units
 846 s.f.
 78.6m2

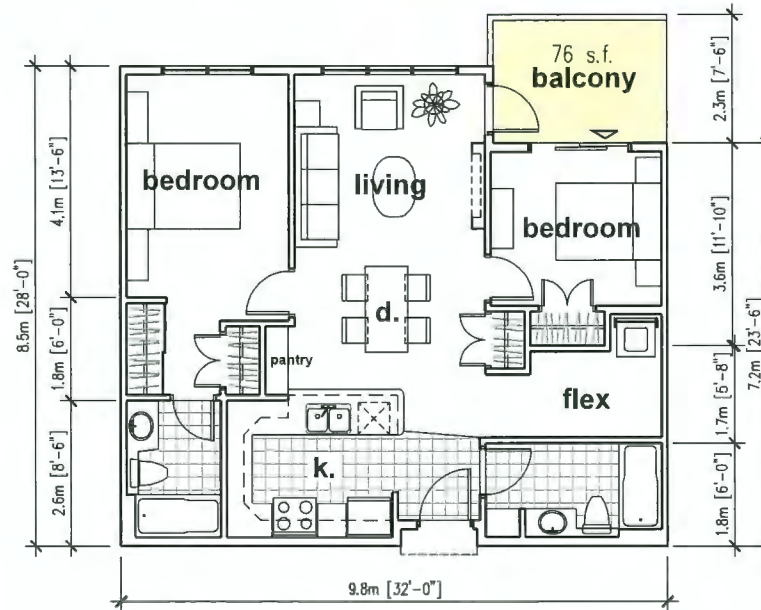


key plan

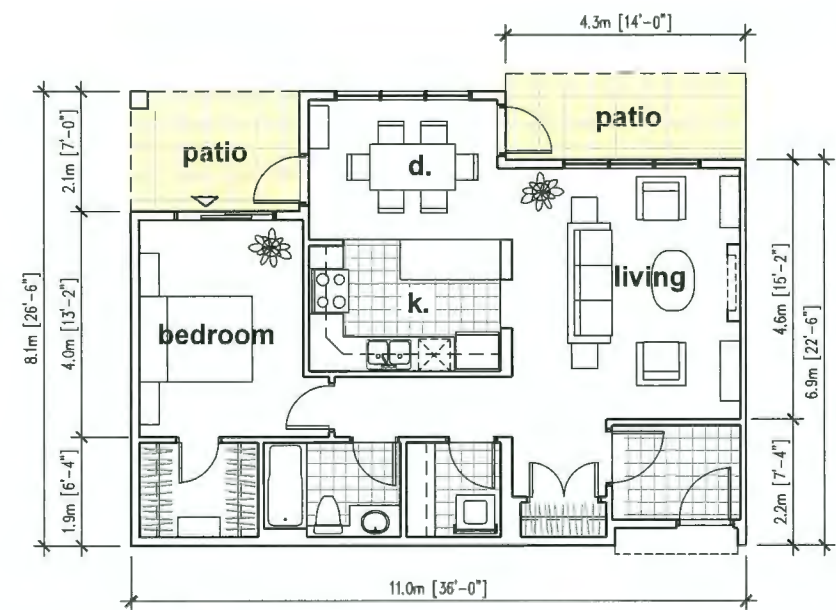
- A studio unit
 - B one-bedroom unit
 - C two-bedroom unit
 - D three-bedroom unit
- (refer to dwg. A-11a for locations)



C1 2-bedroom + flex 6 units
 872 s.f.
 81.0m2



C 2-bedroom + flex 36 units
 846 s.f.
 78.6m2



B6 1-bedroom 1 unit (see dwg. 11a for B7 unit)
 827 s.f.
 76.8m2



parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands Richmond B.C.

Rev.	Date	Description
04	2-26-24	reissued for D.P.
03	11-27-23	issued for D.P.
02	8-22-23	revised for review
01	4-12-23	issued for rezoning

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C. V5S 5S9
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 office@ionic-architecture.com

Sheet	of	unit plans - market condo units
Project Title	proposed development	
Project No.	parcels 6 & 7 - Hamilton Lands	
Revision	Richmond B.C.	
Score	as noted	A10b
Date	April 2023	
Revision	Project No.	21-2138
	Revision	04

unit floor plans

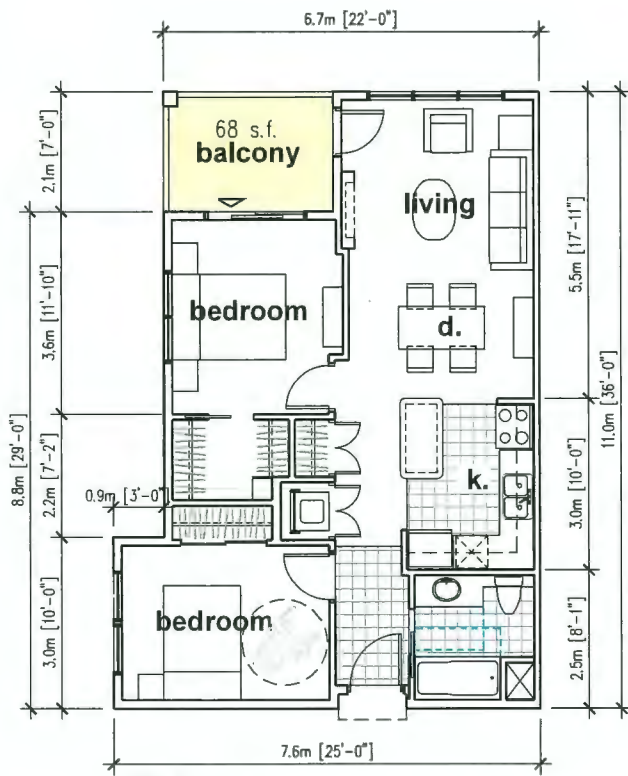
+ 1 D2 unit - see dwg. 10c

ADP submission
 Feb. 26, 2024
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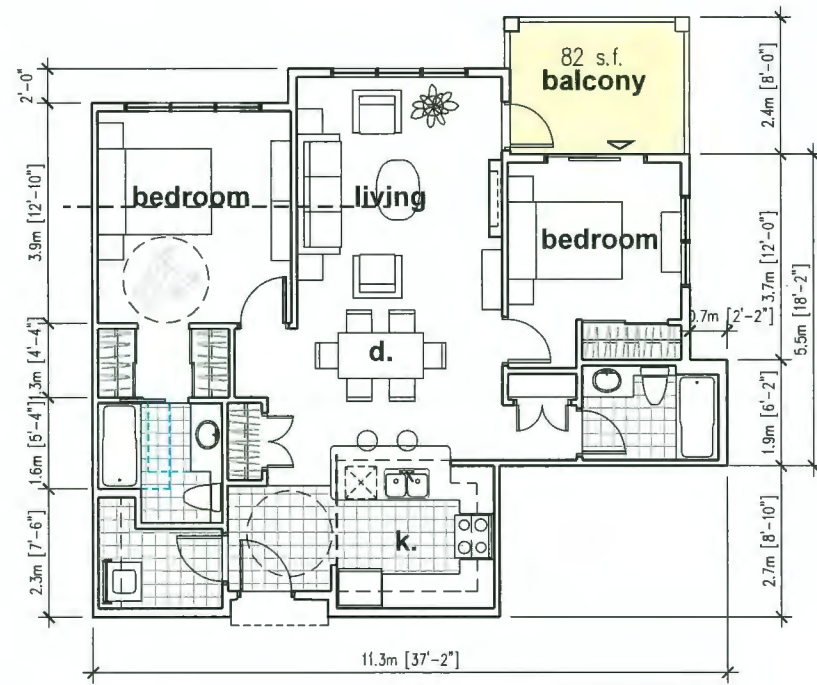
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issued for D.P.

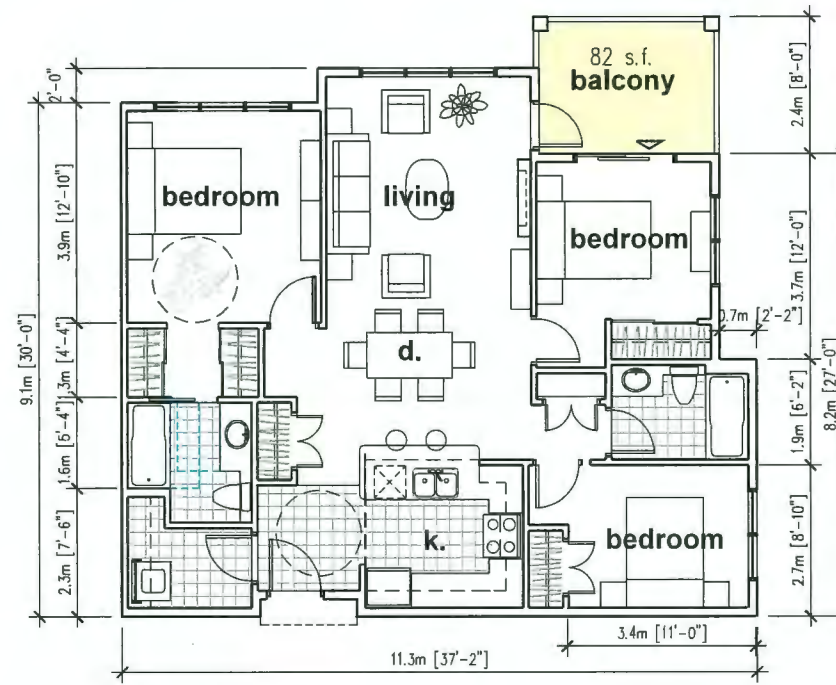
April 24, 2024
 DP 23-034544
 Plan # 11



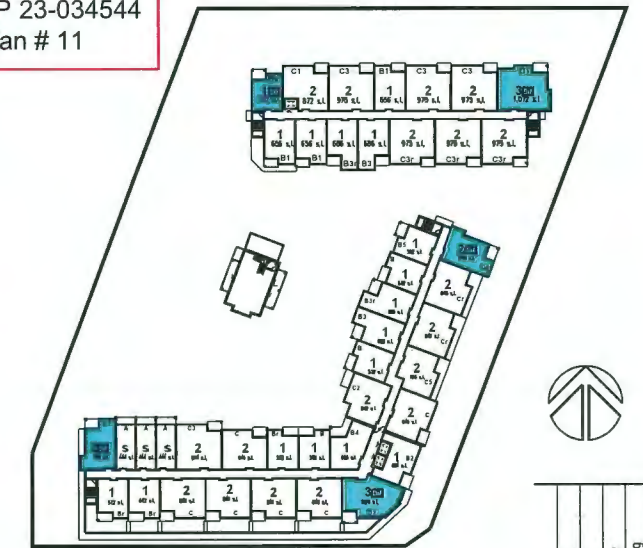
C4 2-bedroom aff. 9 units
 748 s.f.
 69.5m²



C6 2-bedroom aff. 1 unit
 954 s.f.
 88.6 m²



D1 3-bedroom aff. 3 units
 1,072 s.f.
 99.8 m²



key plan

- A** studio unit
 - B** one-bedroom unit
 - C** two-bedroom unit
 - D** three-bedroom unit
- (refer to dwg. 10d for all locations)



Rev.	Date	Description
04	2-26-24	reissued for D.P.
03	11-27-23	issued for D.P.
02	8-22-23	revised for review
01	4-12-23	issued for rezoning

affordable housing data :

minimum unit areas per AH Strategy :

studio unit	400 s.f.	37 m ²
1-bedroom unit	535 s.f.	50 m ²
2-bedroom unit	741 s.f.	69 m ²
3-bedroom unit	980 s.f.	91 m ²

affordable units provided :

studio units	none
1-bedroom B5	2 x 552 = 1104 s.f.
2-bedroom C3	1 x 974 = 974 s.f.
2-bedroom C4	9 x 748 = 6732 s.f.
2-bedroom C6	1 x 954 = 954 s.f.
3-bedroom D1	3 x 1072 = 3216 s.f.
3-bedroom D2	3 x 1020 = 3060 s.f.
19 units total	16,040 s.f.

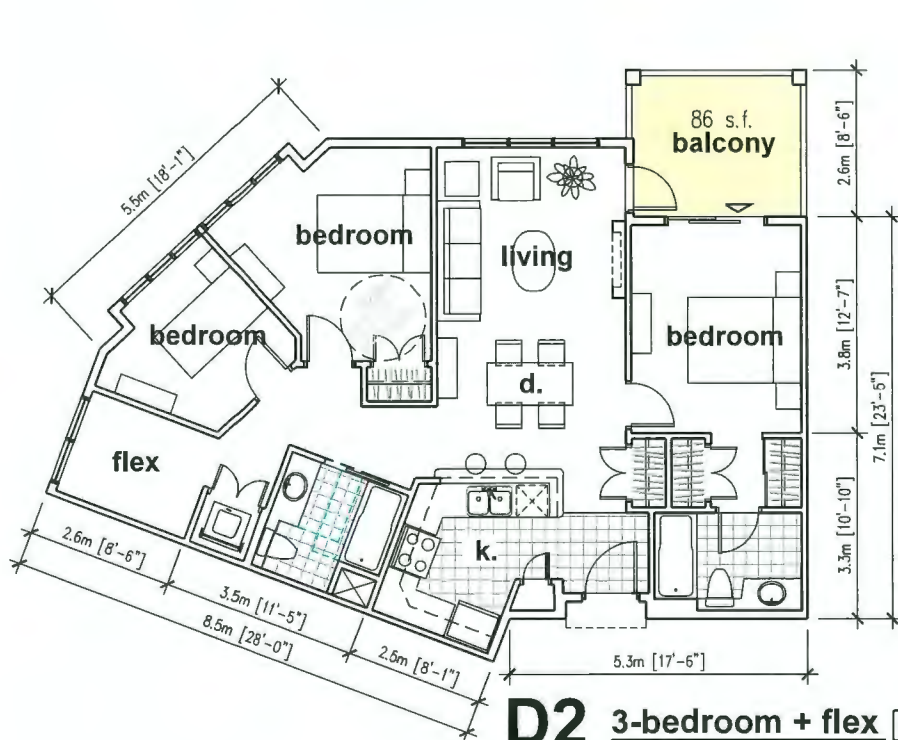
(min. required area : 15,695 s.f. - see 10e)

affordable unit percentages :

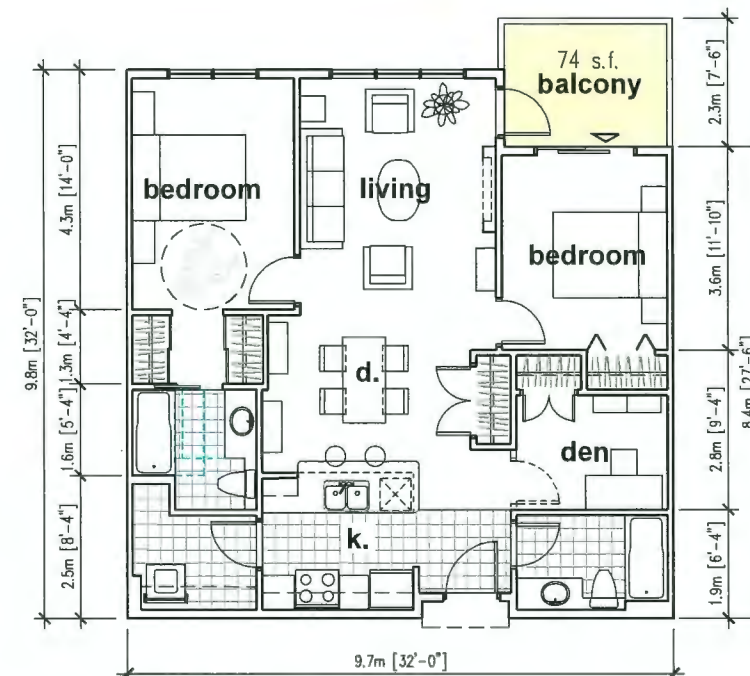
2/19 = 10.5%	1-bedroom units
11/19 = 57.9%	2-bedroom units
6/19 = 31.6%	3-bedroom units
100%	

all affordable units (19 units) to have
 Basic Universal Housing features
 per Zoning Bylaw section 4.16

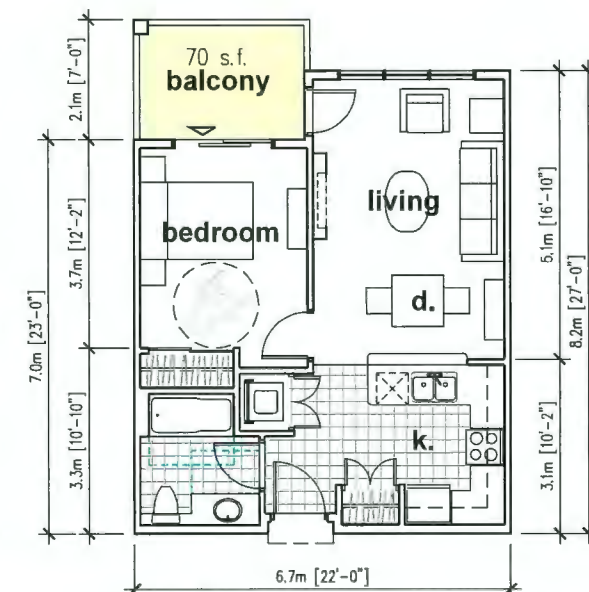
affordable units



D2 3-bedroom + flex aff. 3 units
 1,022 s.f.
 94.8 m²



C3 2-bedroom + den aff. 1 unit
 974 s.f.
 90.5 m²



B5 1-bedroom aff. 2 units
 552 s.f.
 51.3m²



parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024

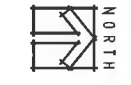
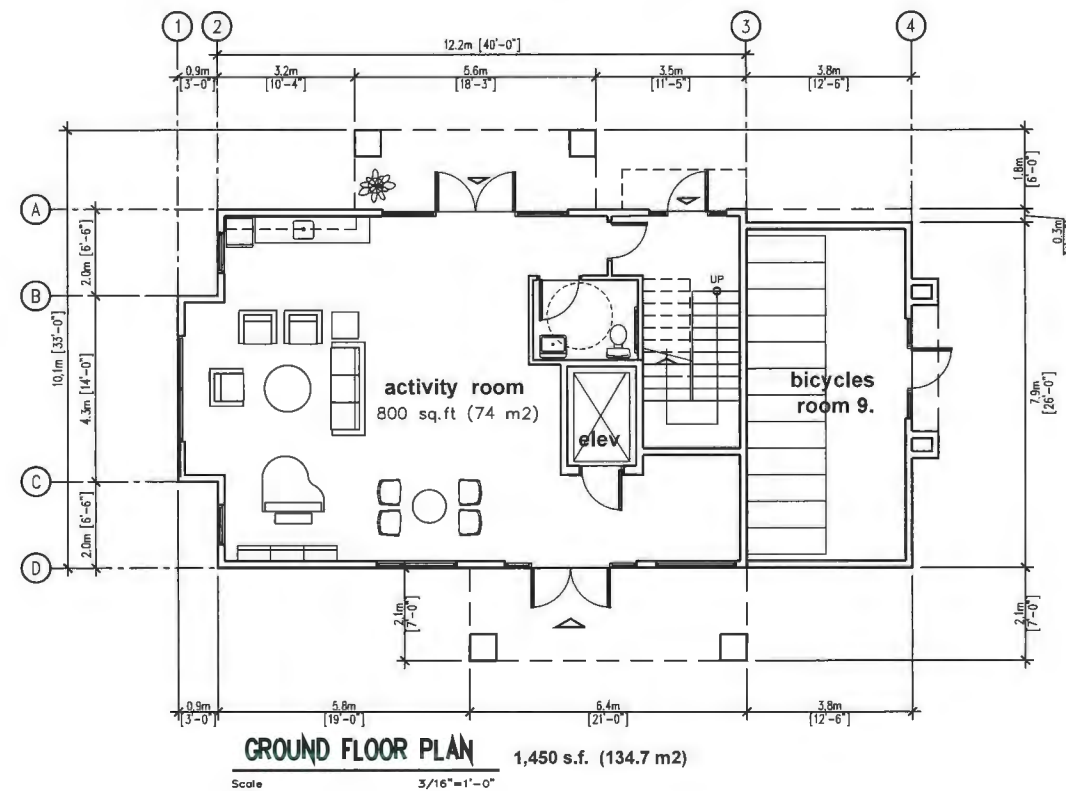
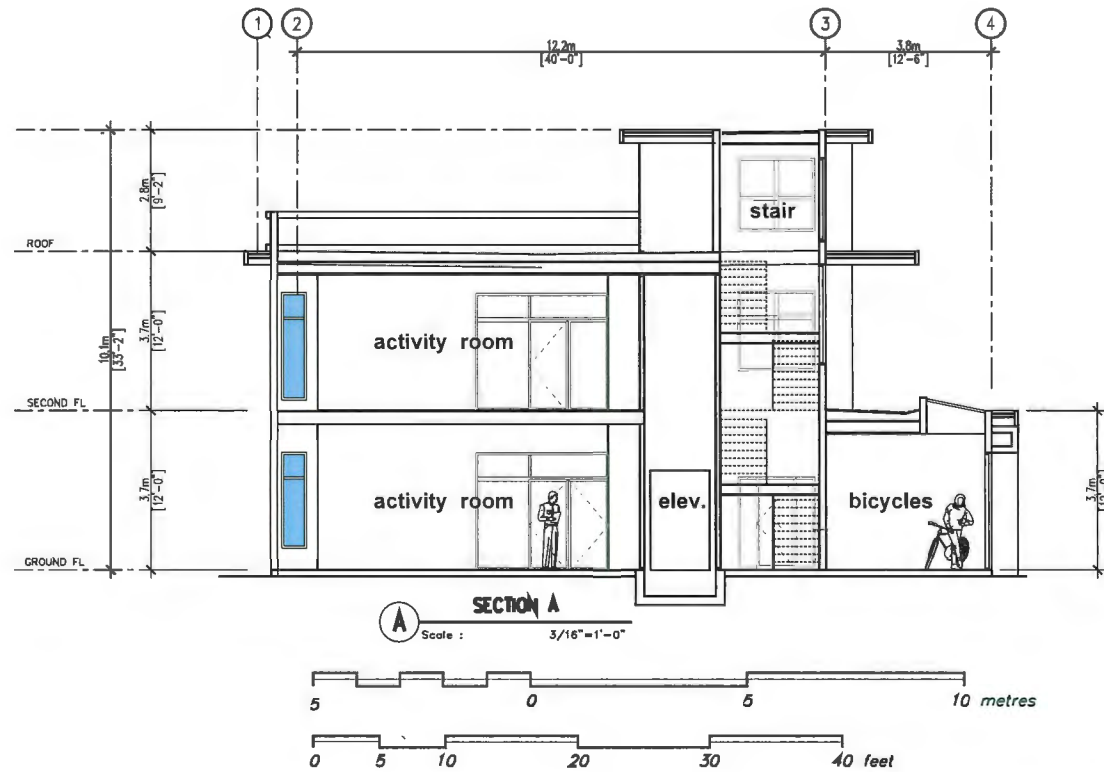
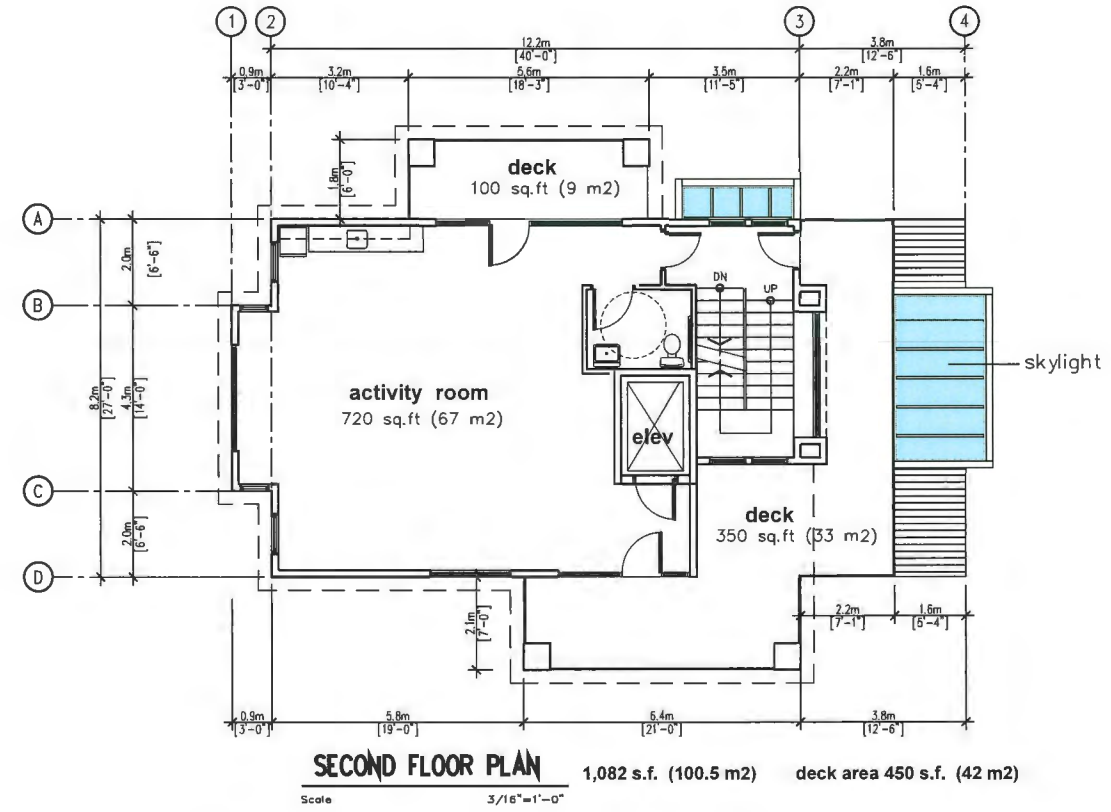
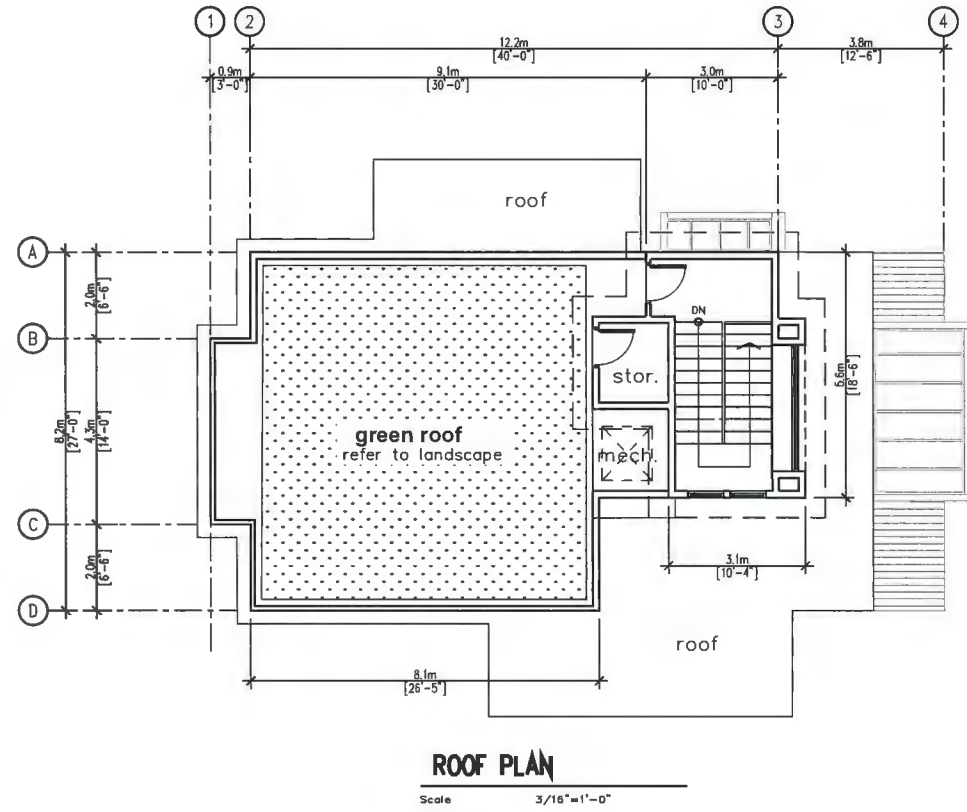
10c

issued for D.P.

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C. V3S 5S9
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 office@ionic-architecture.com

Drawing Title: Unit plans - affordable rental units
 Sheet: A10c
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Scale: as noted
 Date: April 2023
 Revision: 03
 Project No: 21-2138



Rev.	Date	Description
06	4-12-24	RE-ISSUED FOR DP
05	10-27-23	issued for D.P.
04	4-06-23	issued for rezoning
03	2-22-23	general revisions/update
02	3-28-22	revised for review
01	2-28-22	issued for review

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5000 162nd Street
 Surrey B.C. V2S 5J9
 Tel: (778) 571-0818
 Fax: (778) 571-0819
 office@ionic-architecture.com

Sheet	as noted	Drawing Title:	amenity building - plans & section
Date:	February 2022	Project Title:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Revision	06	Project No.	A11a
	21-2138		

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission
 Feb. 26 2024
 revised to April 12 2024

11a



A2 east elevation - to Smith Crescent

EXTERIOR MATERIALS & FINISHES :			
MATERIAL / FINISH	COLOUR	MATERIAL / FINISH	COLOUR
① STONE	IXL - WIARTON ESTATE STONE	⑨ WINDOWS & DOORS :	
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY	COMMERCIAL UNITS -	BLACK ALUMINUM FRAMES CLEAR GLASS
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY	RESIDENTIAL UNITS -	BLACK VINYL & CLEAR GLASS
④ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE	⑭ AMENITY BUILDING	WHITE ENAMEL FRAMES & CLEAR GLASS
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE	⑩ HARDIE FASCIA	TIMBER BARK
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE	⑪ CONCRETE	NATURAL CONCRETE
⑦ FAST PLANK SYSTEM	DARK WALNUT	⑫ ALUM. AND GLASS RAILING	BLACK ENAMEL ALUM. & CLEAR GLASS
⑧ ALI3 METAL PANEL SOLUTION	PEWTER METALLIC	⑬ GLASS CANOPY	CLEAR GLASS
		⑭ COMMERCIAL SIGNAGE / SIGN BACKING SUPPORT	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1 1/2 IN+ 4IN)



key plan



A1 south elevation - to Gilley Road 'High Street'

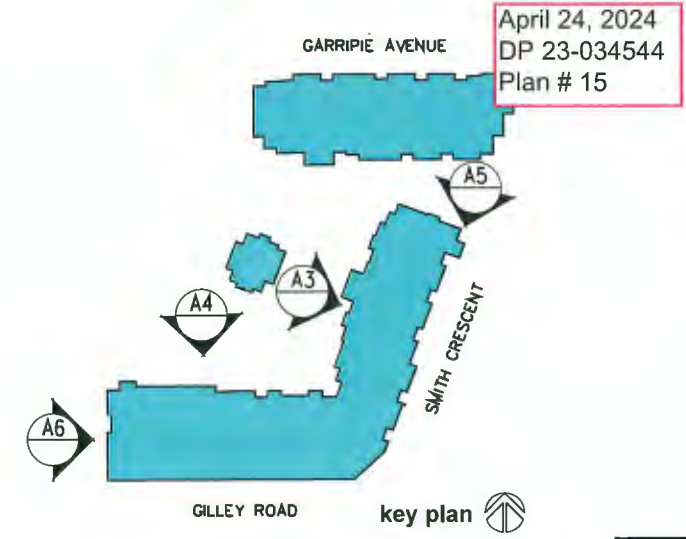
parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission
 Feb. 26 2024
 revised to April 17 2024

5a

Scale:	As Noted	Sheet	Drawing Title:	Project Title:	Revised	Date	Rev.	Date	Description
	AUGUST 2023	of	building A_south & east elevations	PROPOSED DEVELOPMENT	04	21-2138	01	8-30-23	issued for review
				parcels 6 & 7 - Hamilton Lands	02		02	11-27-23	issued for D.P.
		A5a		Richmond B.C.	03		03	2-20-24	revised for D.P.
					04		04	4-02-24	revised per ADP comments

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C. V3S 6J9
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 office@ionic-architecture.com



EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOUR
① STONE	IXL - WARTON ESTATE STONE
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY
④ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE
⑦ FAST PLANK SYSTEM	DARK WALNUT
⑧ AL13 METAL PANEL SOLUTION	PEWTER METALLIC
⑨ WINDOWS & DOORS -	COMMERCIAL UNITS
	RESIDENTIAL UNITS
⑩ JAMES HARDIE FASCIA	BLACK ALUMINUM FRAMES CLEAR GLASS
⑪ CONCRETE	BLACK VINYL & CLEAR GLASS
⑫ METAL AND GLASS RAILING	PRIME COLOR - PEWTER METALLIC
⑬ METAL & GLASS CANOPY	NATURAL CONCRETE
⑭ COMMERCIAL SIGNAGE	BLACK / NATURAL ANOD. ALUM.
⑮ SIGN BACKING SUPPORT	PATTERNED GLASS (VARIES, 3D ILLUMINATED)
	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1 1/2" X 4")

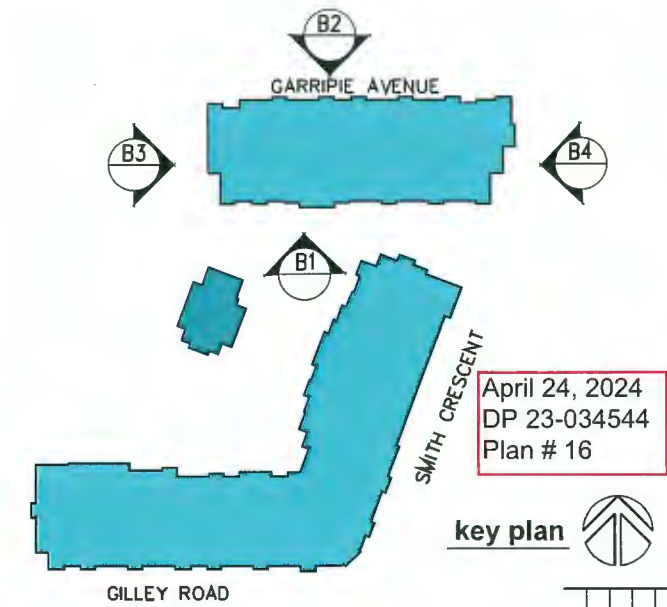
parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands Richmond B.C.

ADP submission
Feb. 26 2024
revised to April 2 2024

Ionic Architecture Inc. architects a.i.b.c. 201-5500 152nd Street Surrey B.C. tel: (778) 571-0818 fax: (778) 571-0819 office@ionic-architecture.com	
Drawing Title: building A_north & west elevations	Sheet: A5a
Project Title: PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands Richmond B.C.	Scale: As Noted
Revision: 04	Date: AUGUST 2023
Rev. Description	Date
01 issued for review	8-30-23
02 issued for DP	11-27-23
03 reissued for DP.	2-20-24
04 revised per ADP comments	4-02-24



B1 - south elevation to courtyard



April 24, 2024
DP 23-034544
Plan # 16

key plan



B3 - west elevation exit

EXTERIOR MATERIALS & FINISHES :	
MATERIAL / FINISH	COLOUR
① STONE	IXL - WARTON ESTATE STONE
② JAMES HARDIE PANELS VERTICAL SIDING STYLE	SMOOTH - PRIME - NIGHT GRAY
③ JAMES HARDIE PANELS	SMOOTH - PRIME - NIGHT GRAY
④ JAMES HARDIE PANELS	SMOOTH - PRIME - ARCTIC WHITE
⑤ JAMES HARDIE PANELS	SMOOTH - PRIME - COBBLE STONE
⑥ JAMES HARDIE SOFFIT	SMOOTH - PRIME - ARCTIC WHITE
⑦ FAST PLANK SYSTEM	DARK WALNUT
⑧ ALI3 METAL PANEL SOLUTION	PEWTER METALLIC
⑨ WINDOWS & DOORS - COMMERCIAL UNITS	BLACK ALUMINUM FRAMES CLEAR GLASS
RESIDENTIAL UNITS	BLACK VINYL & CLEAR GLASS
⑩ JAMES HARDIE FASCIA	PRIME COLOR - PEWTER METALLIC
⑪ CONCRETE	NATURAL CONCRETE
⑫ METAL AND GLASS RAILING	BLACK / NATURAL ANOD. ALUM.
⑬ METAL & GLASS CANOPY	PATTERNED GLASS (VARIES, 3D ILLUMINATED)
⑭ COMMERCIAL SIGNAGE	B. COMPOSITE WOOD PLASTIC DARK WALNUT (1/2" x 4")
⑮ SIGN BACKING SUPPORT	



B4 - east elevation



B2 - north elevation to Garripie Avenue

parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

Rev.	Date	Description
03	2-20-24	reissued for D.P.
02	11-27-23	issued for D.P.
01	9-04-23	issued for review

Scale:	As Noted	Sheet	of	A5C
	Date: AUGUST 2023			
Revision	Project No. 21-2138			
03				

Drawing Title:	building B elevations
Project Title:	PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands Richmond B.C.

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 150th Street
 Surrey B.C. V3S 2J9
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 office@ionic-architecture.com

building B elevations

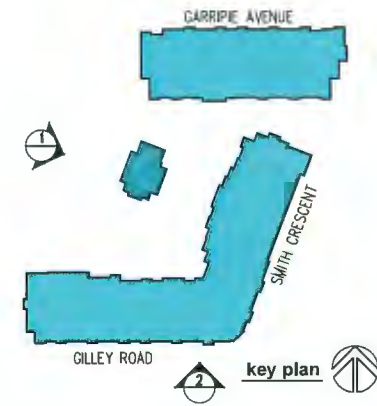
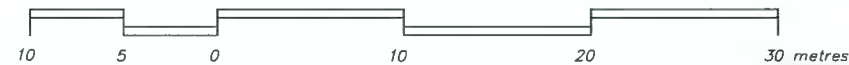
ADP submission
Feb. 26, 2024

5c



Garrpie Ave. building B strollway amenity building strollway building A plaza Gilley Road

streetscape to 'strollway'

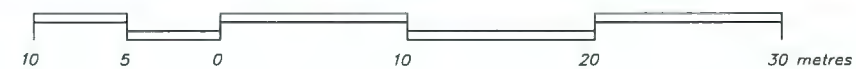


existing building (approx.)

plaza

Smith Crescent

streetscape to Gilley Road 'High Street'



streetscapes

parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

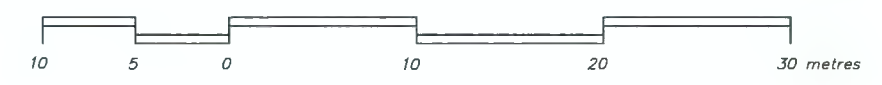
ADP submission
 Feb. 26 2024
 revised to April 2 2024

6a

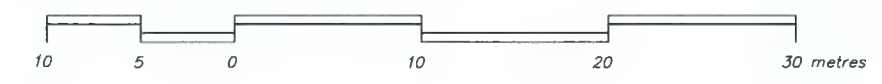
Scale:	As Noted	Sheet	A-6a
Date:	March 2022	of	
Revision:	Project No. 21-2138	Drawing Title:	streetscapes - Gilley Road & strollway
05		Project Title:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
		Architect:	Ionic Architecture Inc. architects a.i.b.c.
		Contact:	tel: (778) 571-0618 fax: (778) 571-0619 office@ionic-architecture.com
Rev.	Date	Description	
05	2-26-24	issued for DP	
04	11-27-23	issued for DP	
03	4-10-23	issued for rezoning	
02	3-18-22	revised for review	
01	2-28-22	issued for review	



streetscape to Garripie Avenue



streetscape to Smith Crescent



streetscapes

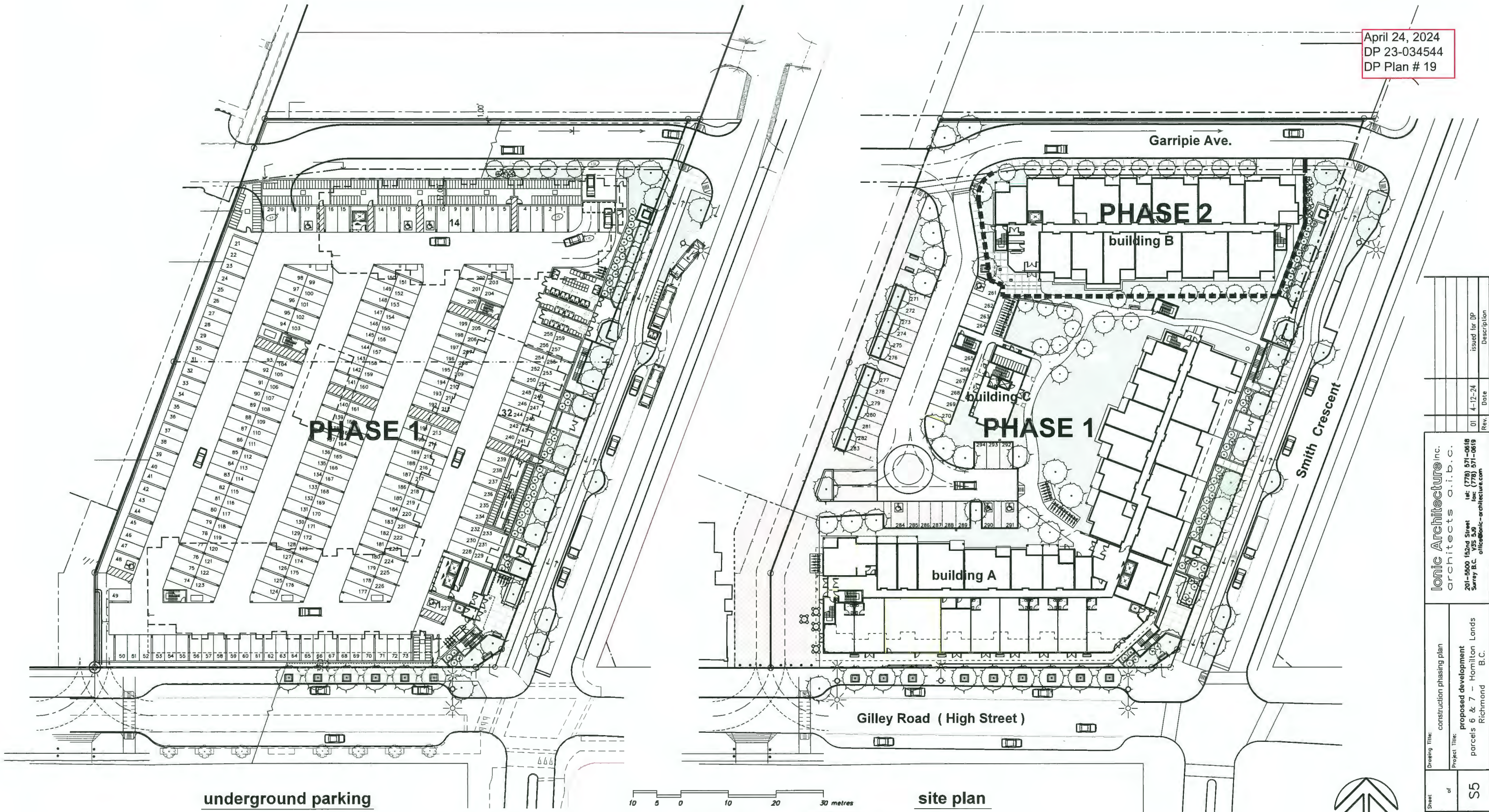
parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands Richmond B.C.

ADP submission
 Feb. 26 2024
 revised to April 2 2024

6b

Drawing Title: streetscapes - Smith Cres. & Garripie Ave.		Sheet of 6b	
Scale: As Noted	Date: March 2022	Revision Project No. 03	
Project Title: proposed development parcels 6 & 7 - Hamilton Lands		Richmond B.C.	
Ionic Architecture Inc. architects a.i.b.c. 201-6600 152nd Street Surrey B.C. Tel: (779) 571-0616 Fax: (779) 571-0619 office@ionic-architects.com		Rev. Date Description 03 11-27-23 issued for DP 02 11-22-23 revised for review 01 04-10-23 issued for reconing	

April 24, 2024
 DP 23-034544
 DP Plan # 19



underground parking

site plan

construction phasing plan

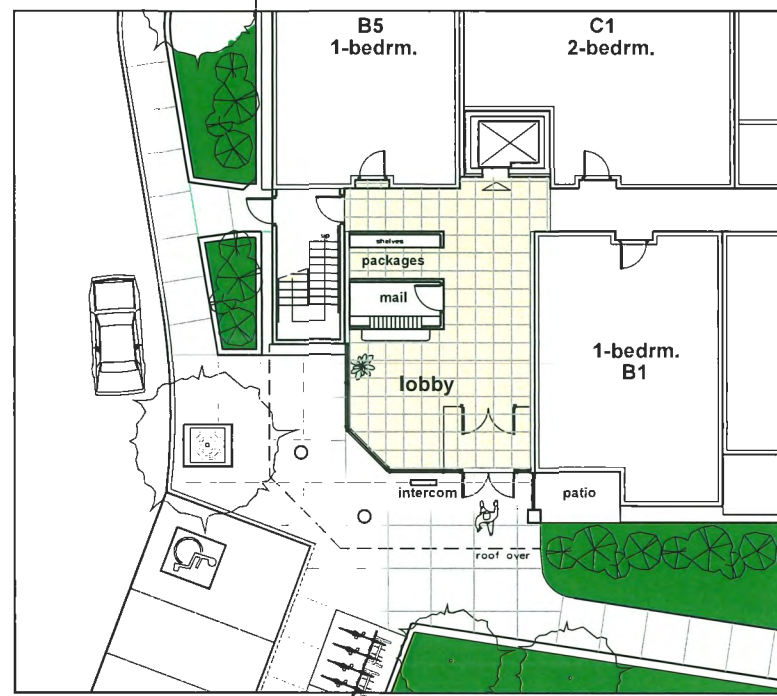
parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

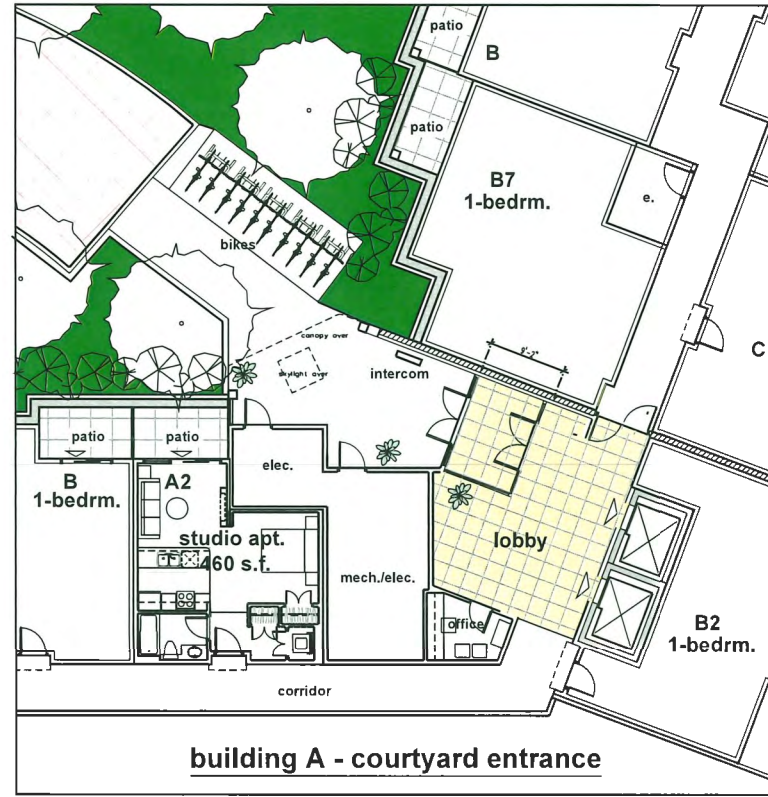
Richmond B.C.

S5

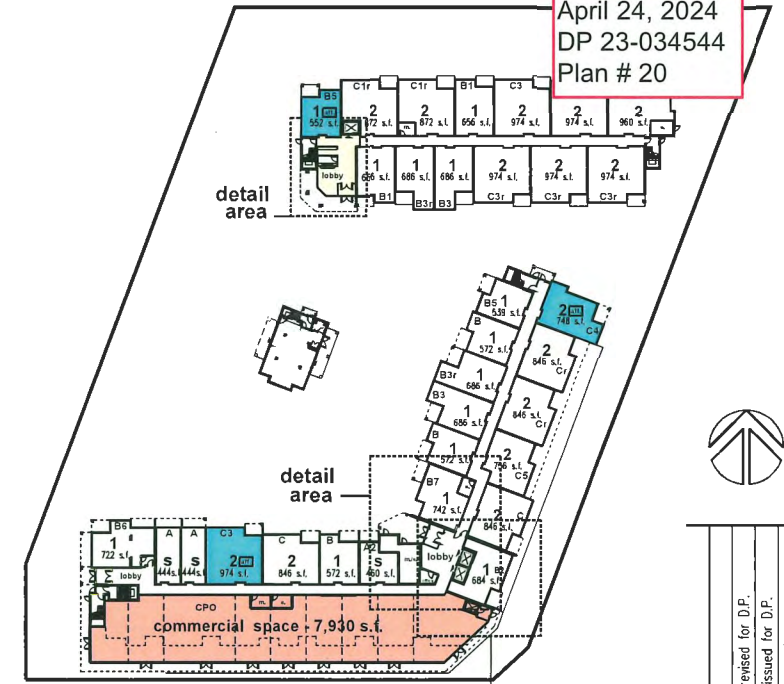
Scale:	as noted	Sheet:	of	S5
Date:	February 2022	Drawing Title:	construction phasing plan	
Revision:	Project No. 21-2138	Project Title:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	
		Architect:	Ionic Architecture Inc. architects a.i.b.c.	
		Address:	201-5500 152nd Street Surrey B.C.	
		Phone:	(778) 571-0618	
		Fax:	(778) 571-0619	
		Website:	office@ionic-architecture.com	
Rev.	Date	Description		
01	4-12-24	issued for DP		



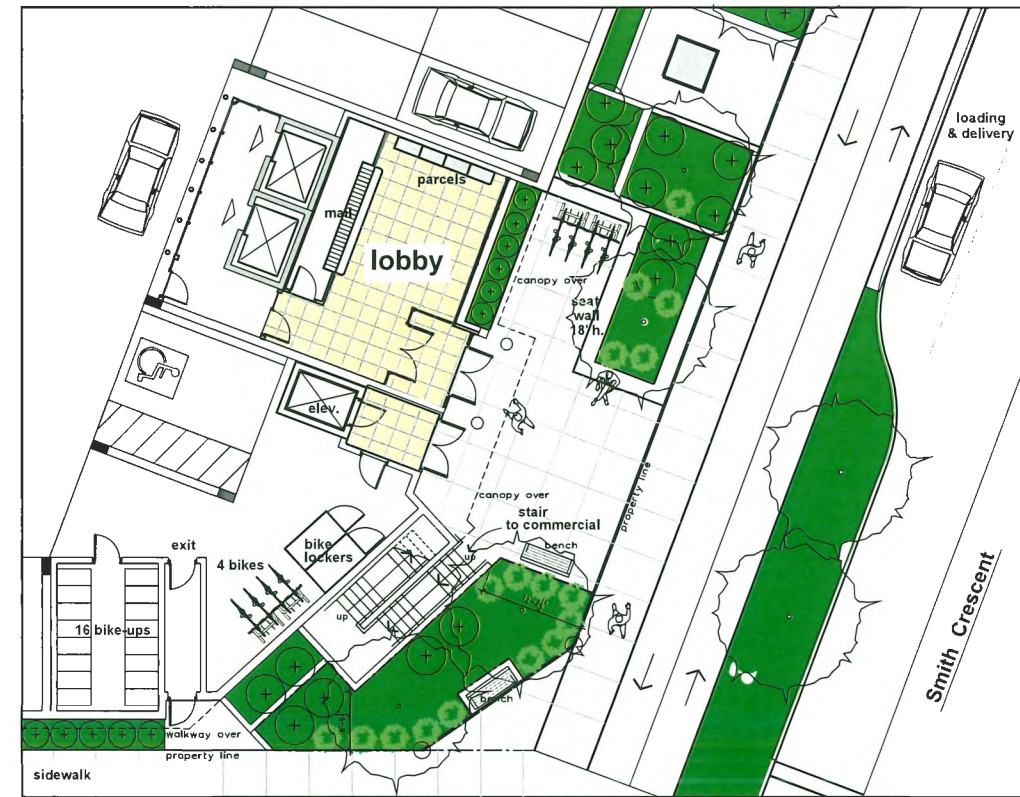
building B - lobby



building A - courtyard entrance



detail area (level below)



building A - main lobby

apartment lobbies

Scale:	as noted	Sheet:	of	Drawing Title:	detail floor plans - apartment lobbies
Date:	Feb. 2024	Project No.:	21-2138	Project Title:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Revision:	03	Rev.:	01	Date:	2-08-24
				Date:	2-19-24
				Date:	3-28-24
				Description:	issued for review
				Description:	issued for D.P.
				Description:	revised for D.P.

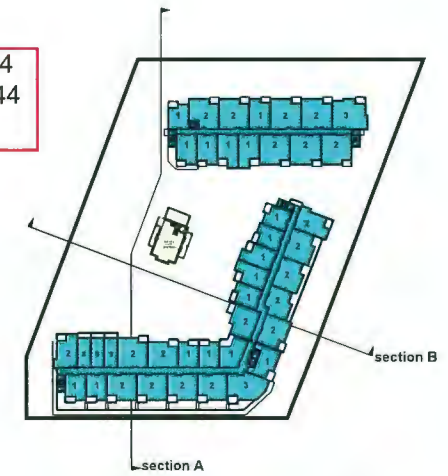
Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C.
 Tel: (778) 571-0618
 Fax: (778) 571-0619
 ionic@ionic-architecture.com

parcels 6 & 7 - proposed residential - commercial development

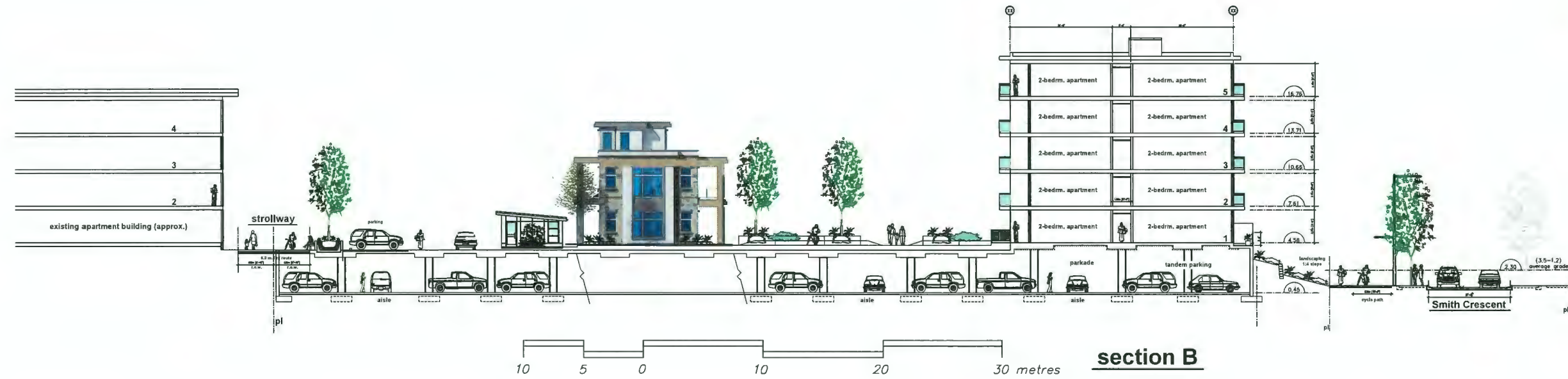
Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to 4/02/2024

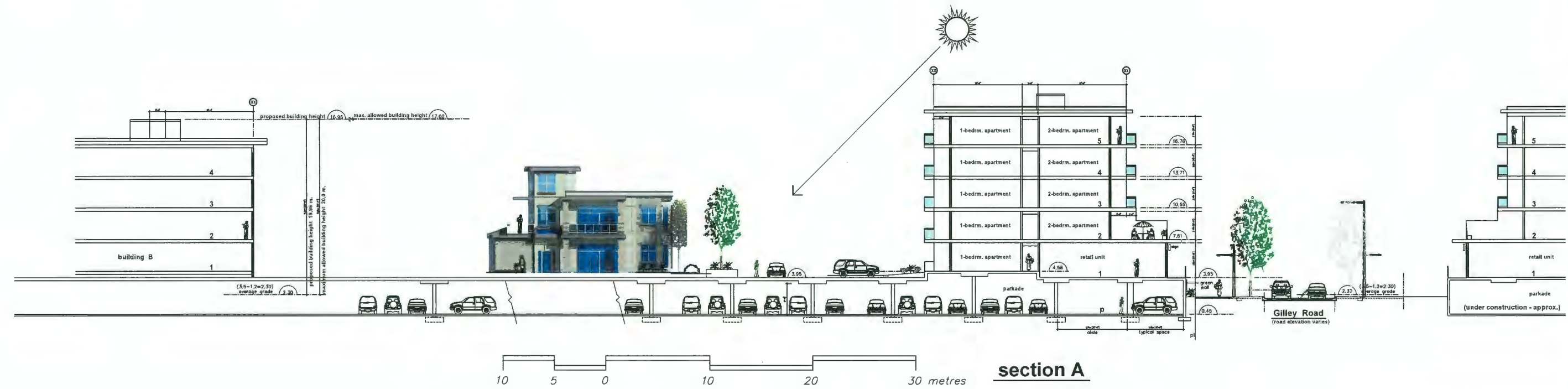
April 24, 2024
 DP 23-034544
 Plan # 21



key plan



section B



section A

site sections

Rev.	Date	Description
04	2-26-24	issued for ADP
03	11-27-23	issued for DP
02	6-14-23	revised for DP
01	4-12-23	issued for rezoning

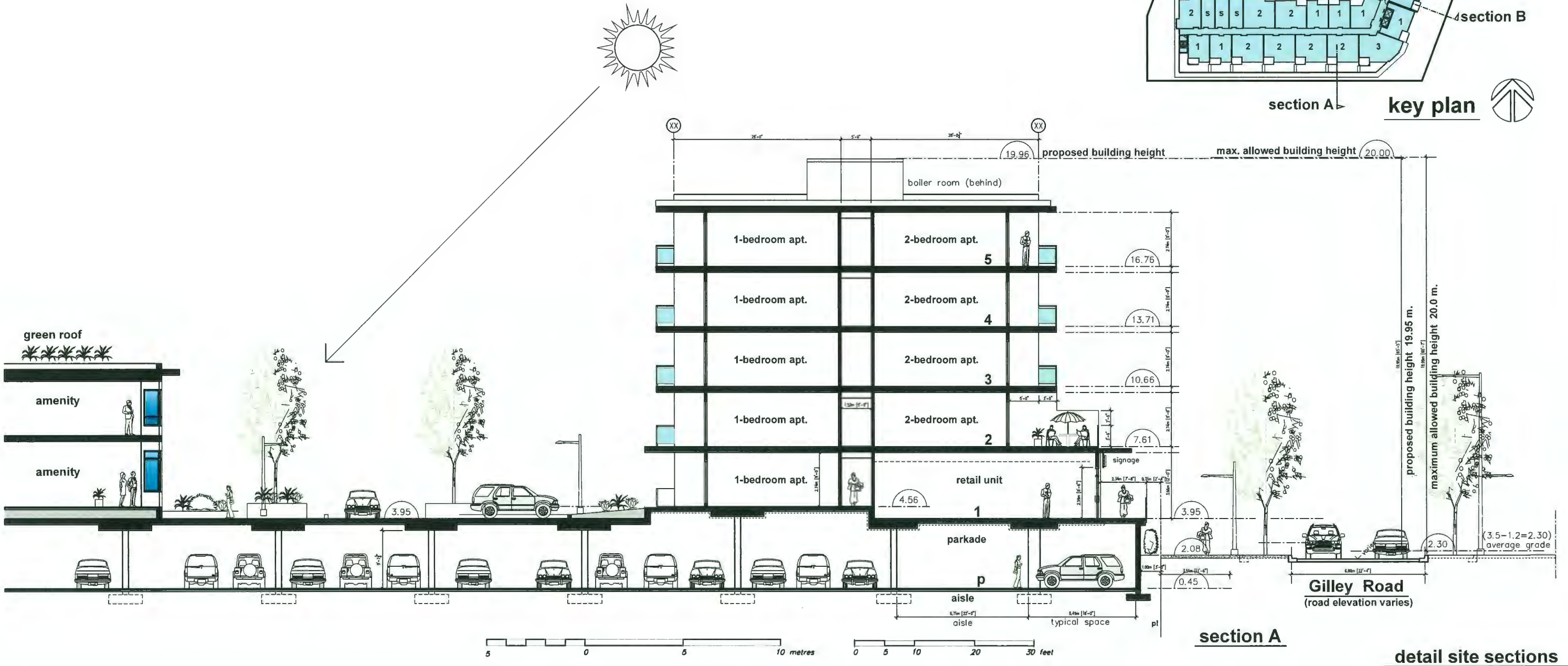
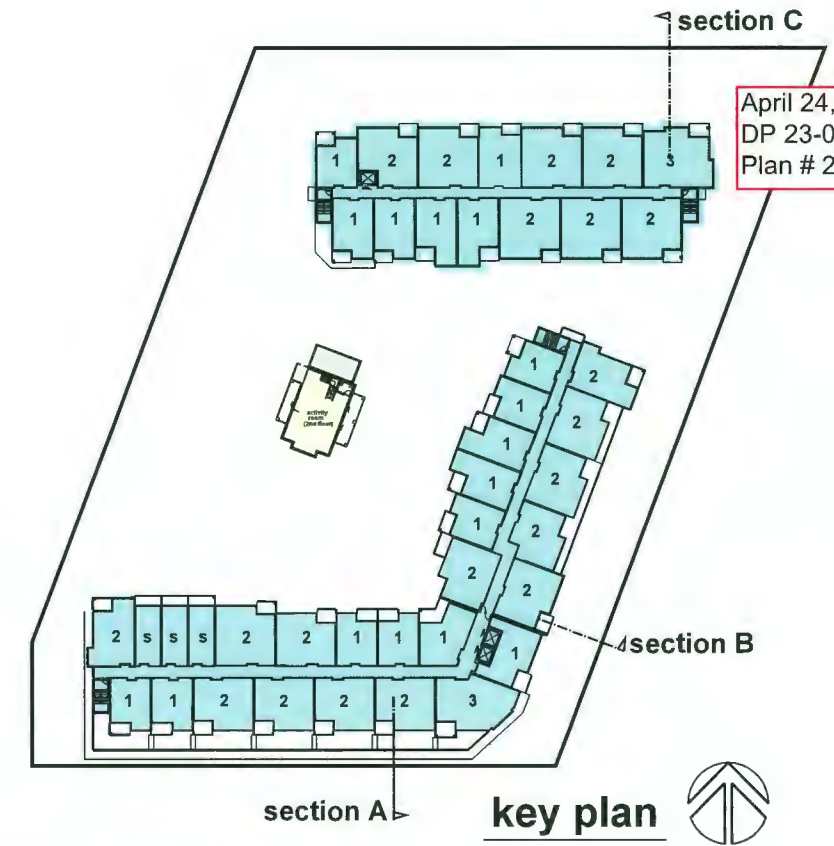
Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 150th Street
 Surrey B.C.
 Tel: (778) 571-0818
 office@ionic-architecture.com

Drawing Title:	site sections
Project Title:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Sheet:	of
Scale:	as noted
Date:	August 2023
Revision:	Project No. 21-2138
	04
	A70

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission
 Feb. 26, 2024
 April 12, 2024

April 24, 2024
 DP 23-034544
 Plan # 22



Rev.	Date	Description
01	4-12-23	issued for rezoning
02	6-14-23	revised for D.P.
03	10-27-23	issued for D.P.
04	4-02-24	re-issued for D.P.

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C.
 tel: (778) 571-0818
 fax: (778) 571-0819
 ionic@ionic-architecture.com

Drawing Title: detail site sections
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

Scale:	As Noted
Date:	March 2022
Revision:	03
Project No.:	21-2138
Sheet:	A-8a

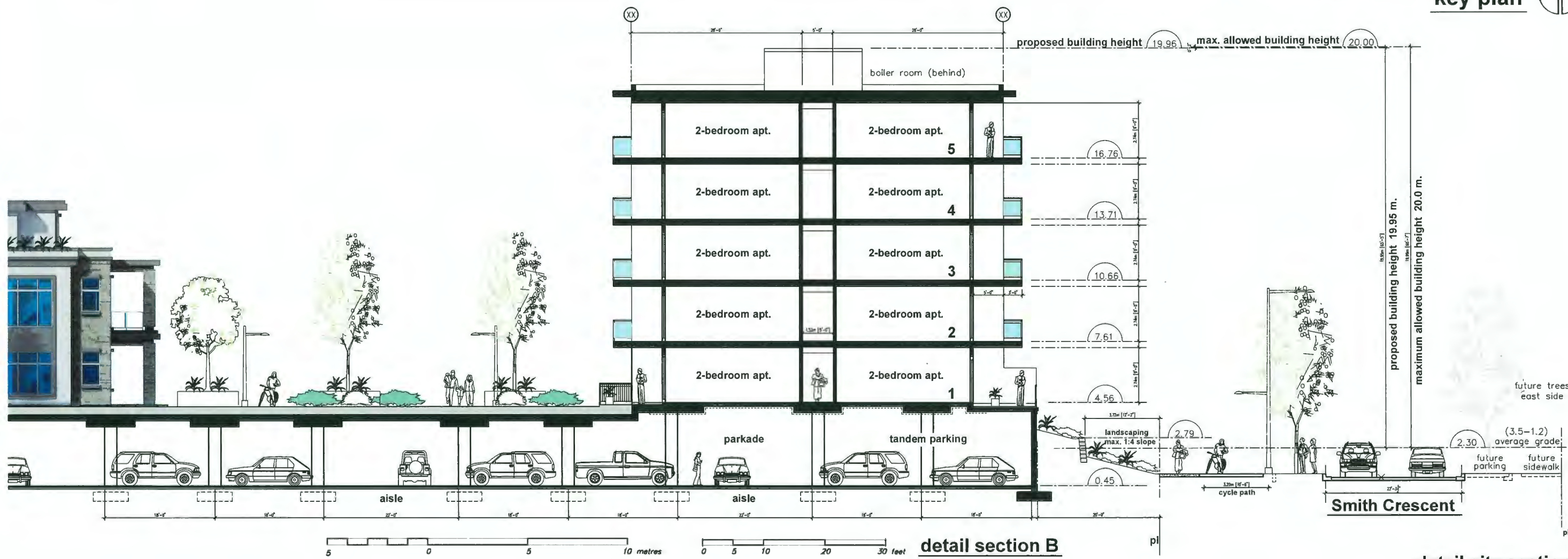
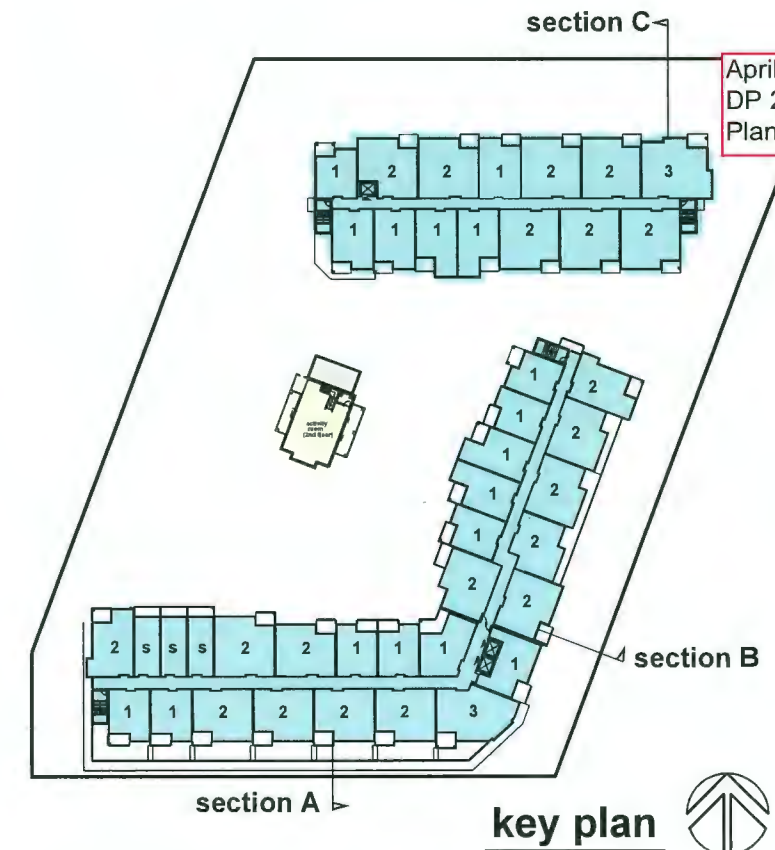
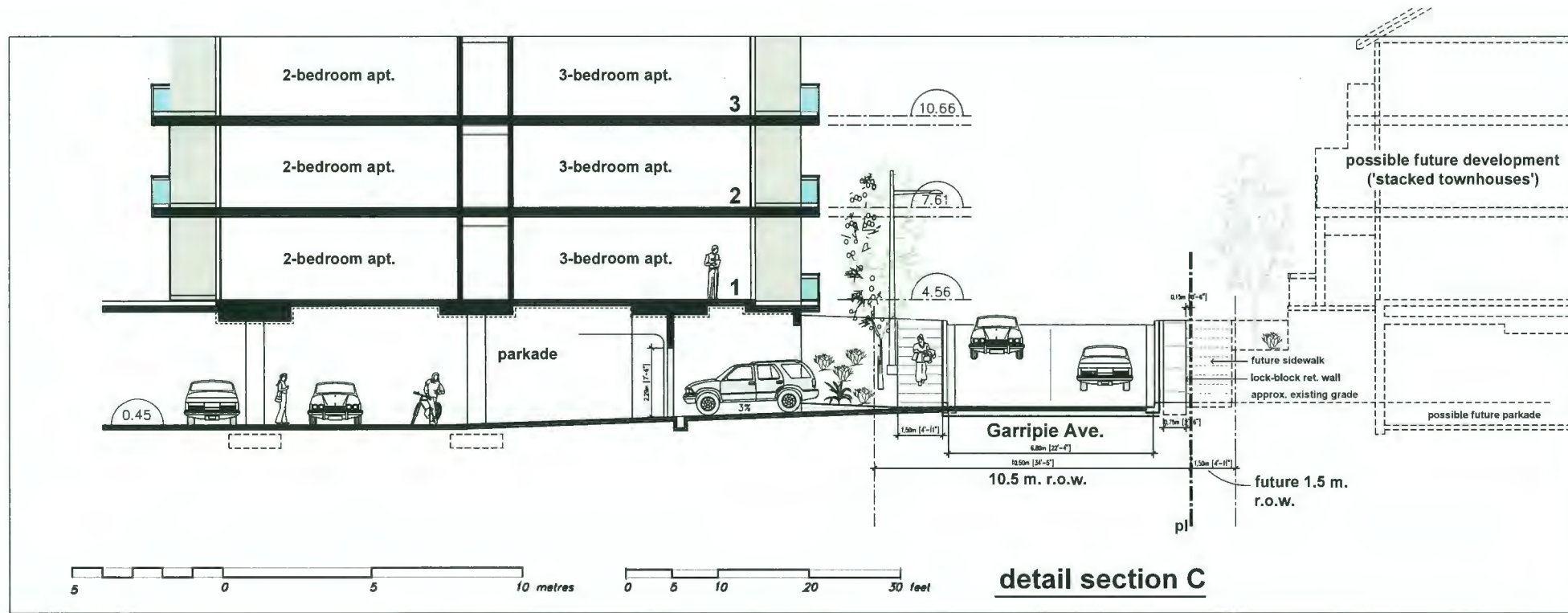
parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024

8a



Rev.	Date	Description
04	2-26-24	re-issued for D.P.
03	10-27-23	issued for D.P.
02	6-14-23	revised for D.P.
01	4-12-23	issued for rezoning

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 architects a.i.b.c.
 201-5500 152nd Street
 Suite 205
 Surrey B.C. V3R 4R8
 Tel: (778) 571-0619
 office@ionic-architecture.com

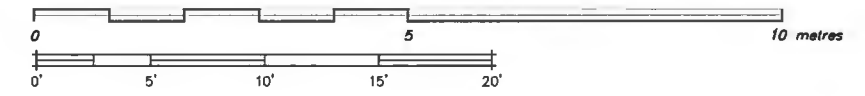
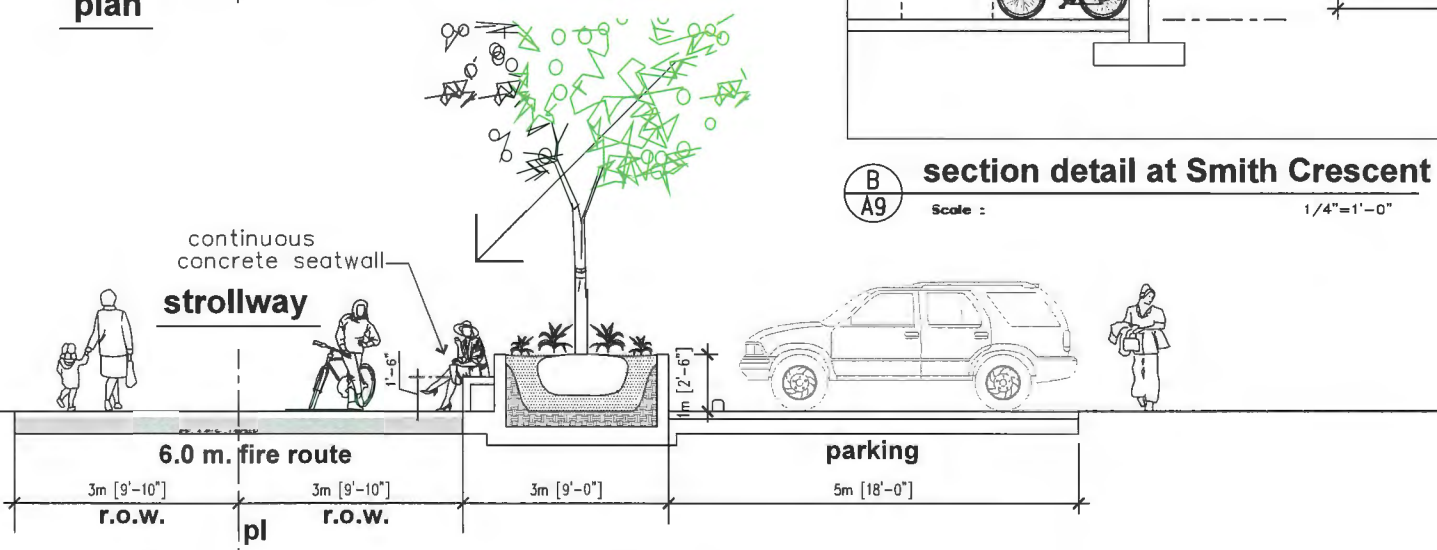
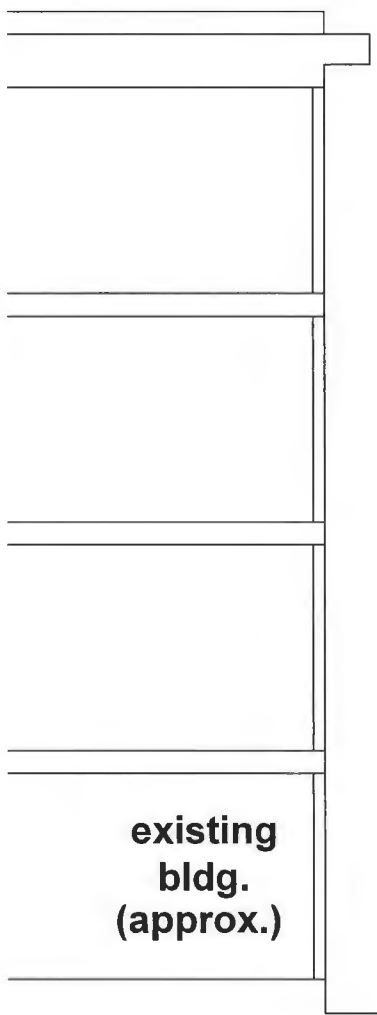
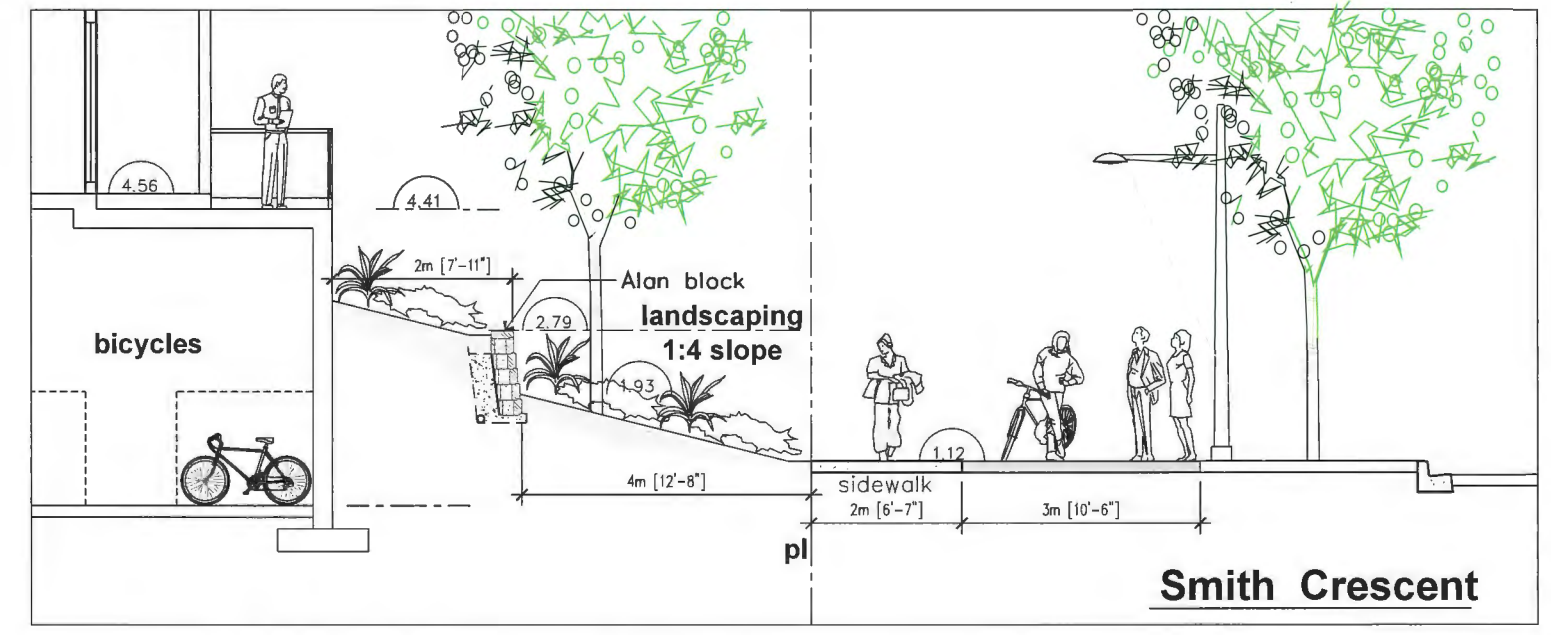
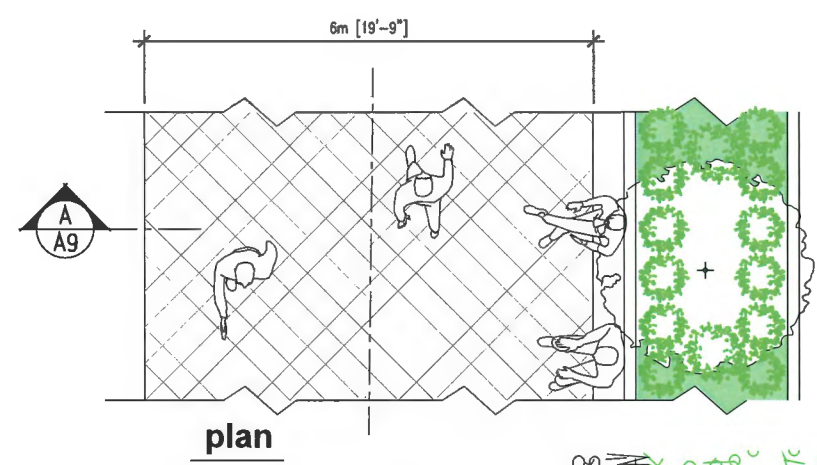
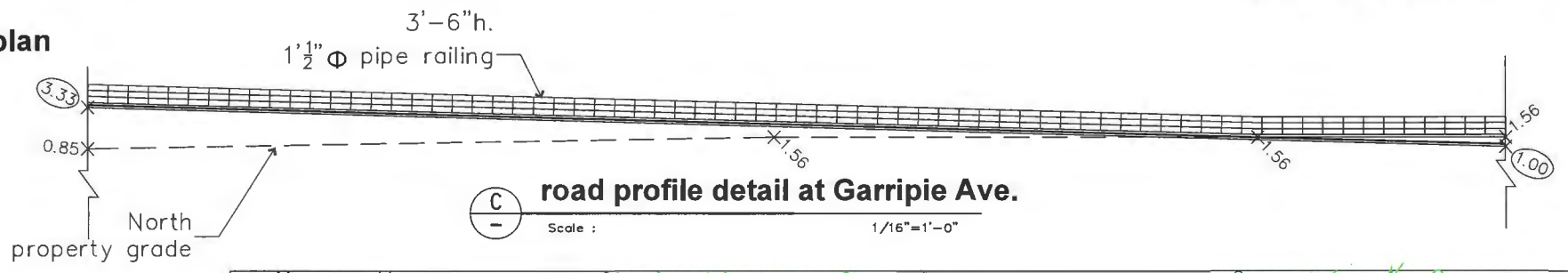
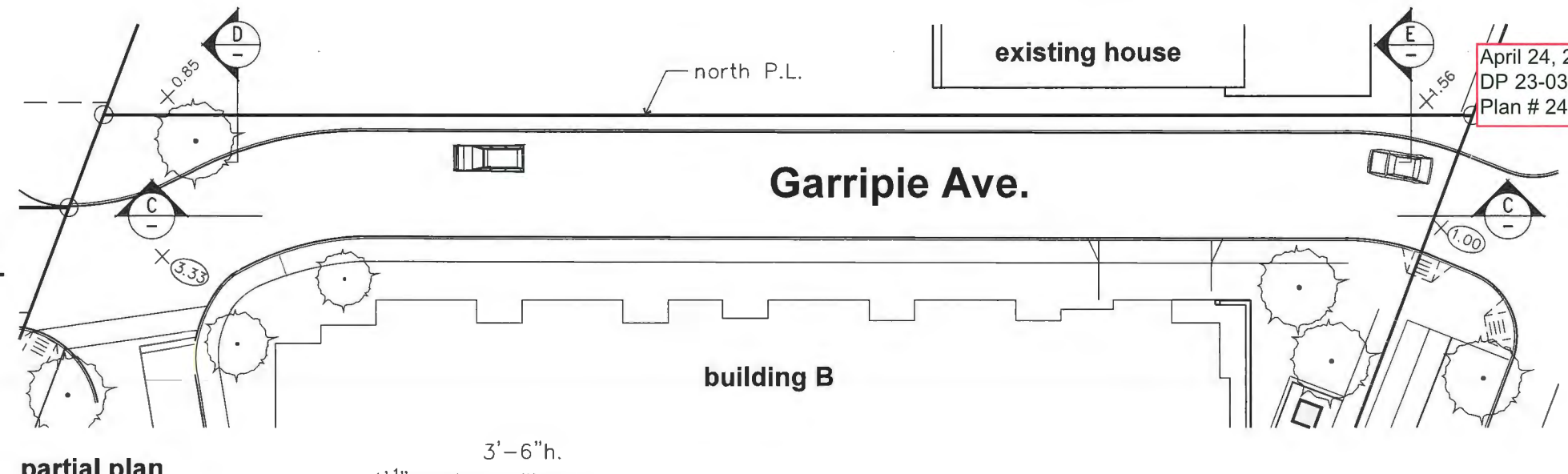
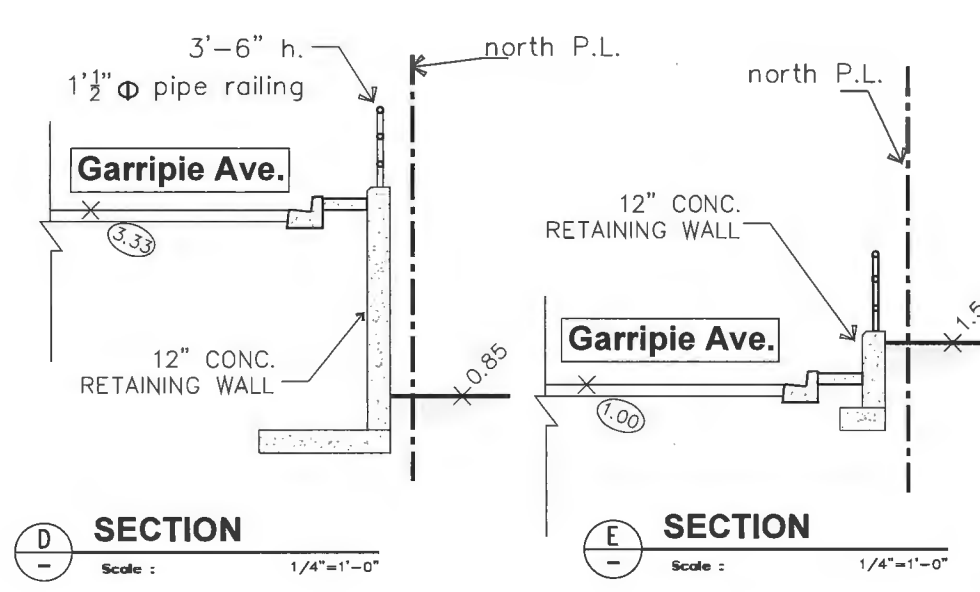
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Date:	March 2022
Revision:	04
Drawing Title:	detail site sections
Project Title:	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Sheet:	A-8b
of	21-2138

parcels 6 & 7 - proposed residential - commercial development
Hamilton Lands **Richmond B.C.**

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024

8b

April 24, 2024
 DP 23-034544
 Plan # 24



site details

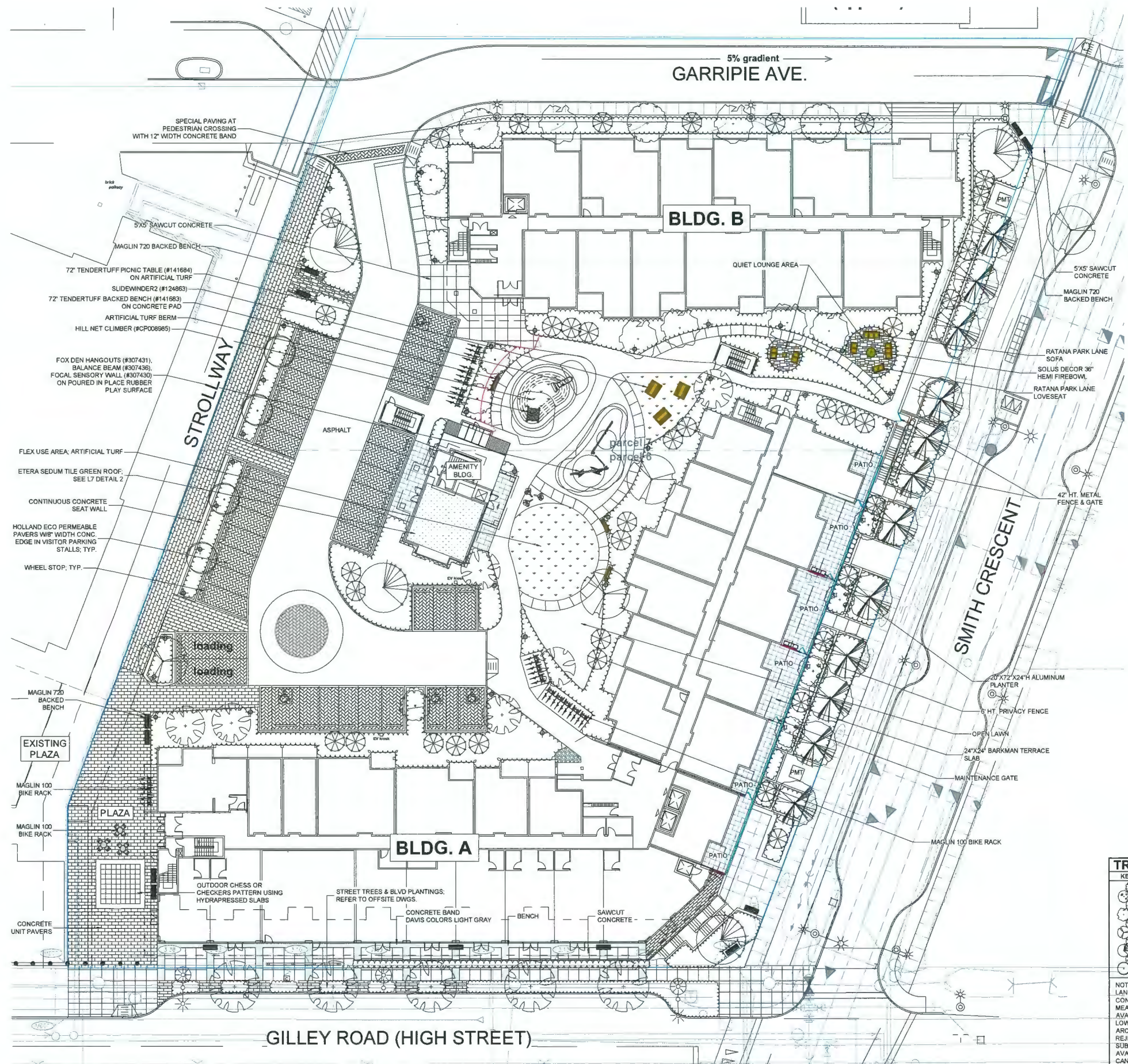
parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024

04	2-26-24	re-issued for D.P.	
03	11-27-23	issued for D.P.	
02	4-06-23	issued for rezoning	
01	3-28-22	issued for review	
Rev.	Date	Description	

Drawing Title: site details	
Sheet: A-9	of: 9
Scale: As Noted	Date: March 2022
Project No: 21-2138	Revision: 03
Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	
Ionic Architecture Inc. architects a.i.b.c. 201-6500 152nd Street Surrey B.C. V3V 2G7 Tel: (778) 571-0616 office@ionic-architecture.com	

SEAL: **April 24, 2024**
DP 23-034544
DP Plan # 26



GINKGO BILOBA
CARPINUS BETULUS
GLEDITSIA T.
ACER GRISEUM
PSEUDOTSUGA MENZIESII
FAGUS SYLVATICA
PICEA OMORIKA
PYRUS CALLERYANA
ACER CIRCINATUM
QUERCUS PALUSTRIS

TREE SCHEDULE				PMG PROJECT NUMBER: 23-053
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
4	4	ACER CIRCINATUM	VINE MAPLE	2.5M HT; B&B; 3 STEM CLUMP
4	4	ACER GRISEUM	PAPERBARK MAPLE	8CM CAL; 1.8M STD; B&B
3	3	CARPINUS BETULUS 'FRANS FONTAINE'	COLUMNAR HORNBEAM	8CM CAL; B&B
6	6	FAGUS SYLVATICA 'DAWYCK GOLD'	DAWYCK GOLD BEECH	8CM CAL; B&B
12	12	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD M. TREE	8CM CAL; 2M STD; B&B
3	3	GLEDITSIA T. 'INERMIS IMPERIAL'	IMPERIAL HONEY LOCUST	8CM CAL; 1.8M STD; B&B
38	38	PICEA OMORIKA 'BRUNS'	BRUNS SERBIAN SPRUCE	3M HT; B&B
4	4	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B
6	6	PYRUS CALLERYANA 'CHANTICLEER'	CHANTICLEER PEAR	8CM CAL; 1.5M STD; B&B
4	4	QUERCUS PALUSTRIS 'GREEN PILLAR'	GREEN PILLAR PIN OAK	8CM CAL; 1.8M STD; B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

DECIDUOUS TREES: 42
CONIFEROUS TREES: 42

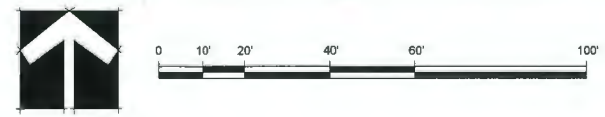
NO.	DATE	REVISION DESCRIPTION	DR.
5	24.APR.18	COMMENTS	JR
4	24.APR.15	COMMENTS	JR
3	24.APR.03	NEW SITE PLAN / COMMENTS	JR
2	24.FEB.29	ISSUED FOR BP	JR
1	23.APR.13	NEW SITE PLAN / COMMENTS	JR

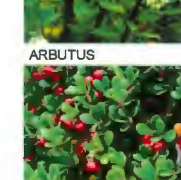
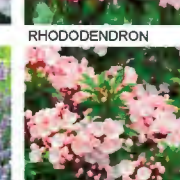
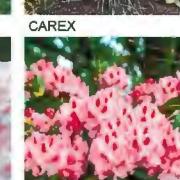
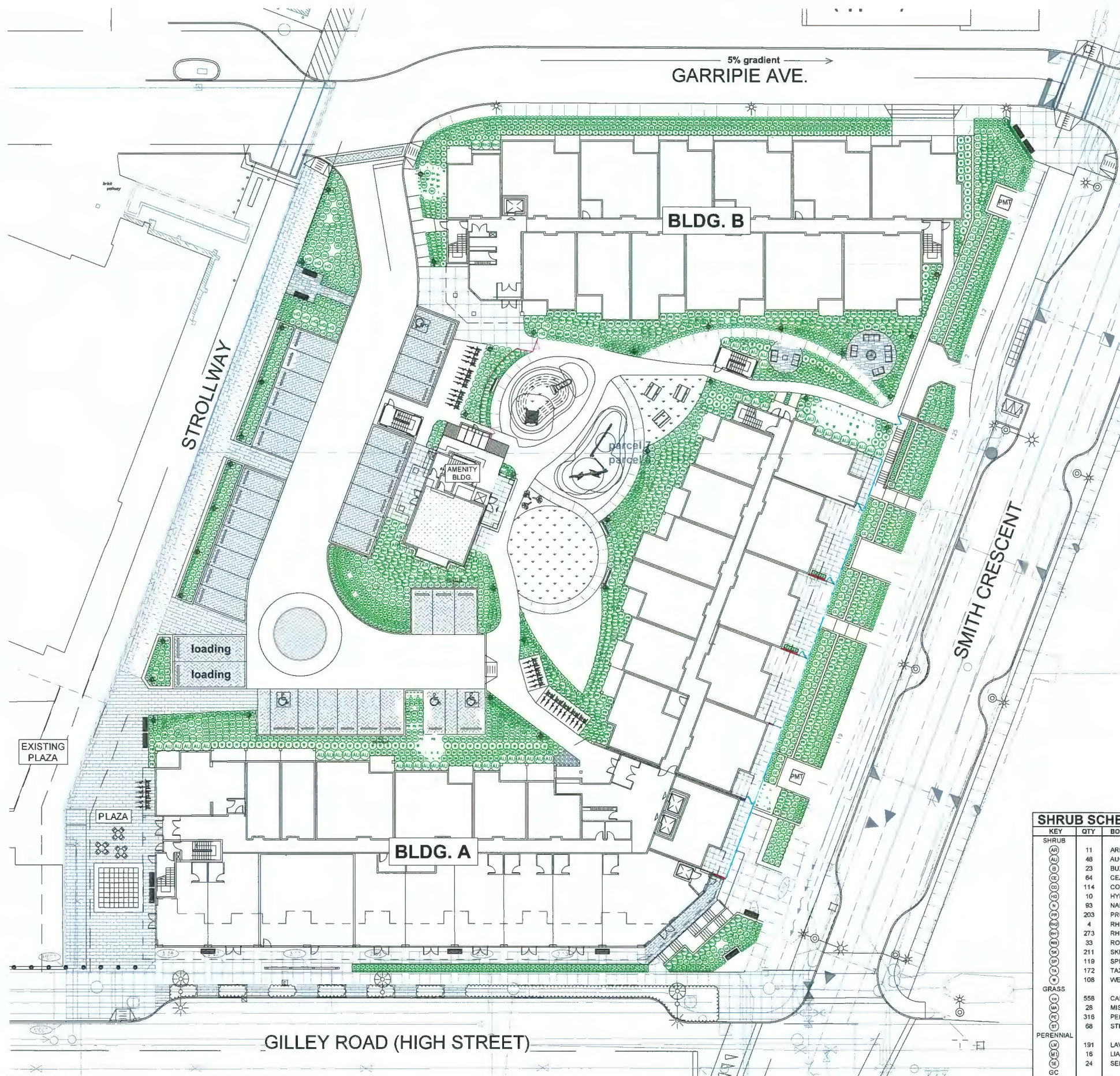
CLIENT:

PROJECT:
CORNERSTONE
23301, 23321, 23361, 23381
GILLEY RD & 4691, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 23.MAR.28 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: JR **L1**
DESIGN: JR
CHK'D: BA **OF 7**





SHRUB SCHEDULE				PMG PROJECT NUMBER: 21-140
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
(S)	11	ARBUTUS UNEDO 'COMPACTA'	COMPACT STRAWBERRY BUSH	#3 POT, 80CM
(S)	48	AUCUBA JAPONICA 'SERRATIFOLIA'	SAWTOOTHED JAPANESE AUCUBA	#3 POT, 50CM
(S)	23	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT, 40CM
(S)	64	CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT, 50CM
(S)	114	CORNUS SERICEA	REDTWIG DOGWOOD	#3 POT, 80CM
(S)	10	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	#3 POT, 80CM
(S)	93	NANDINA DOMESTICA 'MOONBAY'	DWARF HEAVENLY BAMBOO	#3 POT, 50CM
(S)	203	PRUNUS LAURICERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#3 POT, 50CM
(S)	4	RHODODENDRON 'ANAH KRUSCHKE'	RHODODENDRON, BLUE	#3 POT, 50CM 1M B&B
(S)	273	RHODODENDRON 'P.J.M.'	RHODODENDRON, LIGHT PURPLE, E. MAY	#3 POT, 50CM
(S)	33	ROSA MEIDLAND 'RED'	MEIDLAND ROSE, RED	#2 POT, 40CM
(S)	211	SKIMMIA JAPONICA (90% MALE)	JAPANESE SKIMMIA	#2 POT, 30CM
(S)	118	SPIRAEA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SPIRAEA, PINK	#2 POT, 40CM
(S)	172	TAXUS X MEDIA 'HILLII'	HILLII YEW	1.5M B&B
(S)	108	WEIGELA FLORIDA 'PURPUREA'	PURPLE WEIGELA	#3 POT, 80CM
(G)	558	CAREX OSHIMENSIS 'EVERGOLD'	EVERGOLD JAPANESE SEDGE	#1 POT
(G)	28	MISCANTHUS SINENSIS 'YAKU JIMA'	MAIDEN GRASS	#2 POT
(G)	316	PENNISETUM ALOPECUROIDES 'HAMELIN'	DWARF FOUNTAIN GRASS	#1 POT
(G)	68	STIPA TENUISSIMA	MEXICAN FEATHER GRASS	#1 POT
(P)	191	LAVENDULA ANGSTIFOLIA 'MUNSTEAD'	ENGLISH LAVENDER, COMPACT, VIOLET-BLUE	#1 POT
(P)	16	LIATRIS SPICATA 'FLORISTAN VIOLET'	BLAZING STAR, PURPLE	15CM POT
(P)	24	SEDUM 'AUTUMN JOY'	STONECROP	#1 POT
(L)	600	LONICERA PILEATA	PRIVET HONEYSUCKLE	#2 POT, 40CM
(L)	276	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT, 25CM

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LANDSCAPE ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL: **April 24, 2024**
DP 23-034544
DP Plan # 27

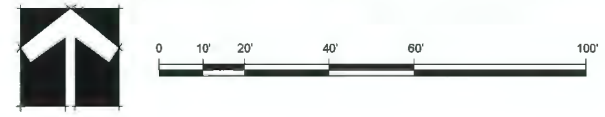
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5	24.APR.18	COMMENTS	JR
4	24.APR.15	COMMENTS	JR
3	24.APR.03	NEW SITE PLAN / COMMENTS	JR
2	24.FEB.29	ISSUED FOR BP	JR
1	23.APR.13	NEW SITE PLAN / COMMENTS	JR

CLIENT:

PROJECT:
CORNERSTONE
23301, 23321, 23361, 23381
GILLEY RD & 4691, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:
SHRUB PLAN

DATE: 23.MAR.28 DRAWING NUMBER:
SCALE: 1"=20'-0"
DRAWN: JR **L2**
DESIGN: JR
CHK'D: BA **OF 7**



















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SEAL:

April 24, 2024
 DP 23-034544
 DP Plan # 28

SITE FURNISHINGS LEGEND

-  3'-0" HT. METAL PICKET FENCE (PLAY AREA)
-  3'-6" HT. METAL PICKET FENCE & GATE
-  6'-0" HT. PRIVACY FENCE
-  MAGLIN 720 BACKED BENCH
-  GREEN THEORY CUSTOM ALUMINUM PLANTER 20"X72"X24"H
-  LANDSCAPE STRUCTURES TENDERTRUFF PICNIC TABLE (#141684)
-  MAGLIN 100 BIKE RACK
-  GREEN THEORY CUSTOM ALUMINUM PLANTER 20"X72"X24"H
-  RATANA PARK LANE END TABLE, SOFA & LOVESEAT
-  SOLUS DECOR 36" HEMI FIREBOWL
-  LANDSCAPE STRUCTURES FLOWER ACCENT TOPPER (#212256)
-  LANDSCAPE STRUCTURES FOX DEN HANGOUTS (#307431), BALANCE BEAM (#307436), FOCAL SENSORY WALL (#307430)
-  LANDSCAPE STRUCTURES SLIDEWINDER2 (#124853)
-  LANDSCAPE STRUCTURES HILL NET CLIMBER (#CP008985)

MATERIAL LEGEND

-  BARKMAN HOLLAND ECO PERMEABLE HERRINGBONE PATTERN, 210X105X80MM COLOUR: NATURAL
-  BARKMAN BROADWAY 65MM RUNNING BOND PATTERN, 300X150X65MM COLOUR: NATURAL
-  BARKMAN BROADWAY 65MM PATTERN 7, 600X300X65MM, 300X150X65MM, 300X300X65MM COLOUR: SANDSTONE
-  BARKMAN TERRACE SLAB 610X610X51MM, COLOUR: NATURAL
-  DAVIS COLORS LIGHT GRAY CONCRETE BAND WITH SAWCUT CONCRETE
-  MARATHON SURFACES LANDSAFE POURED IN PLACE RUBBER COLOUR: RED, BEIGE, EGGSHELL, BROWN (50% BLACK 50% COLOUR)
-  ETERA COLOR MAX STANDARD SEDUM TILE MIX, SEDUM VARIETIES: sedum acre 'aurea', sedum album 'coral carpet', sedum kamt. 'variegatum', sedum kamt. 'weihenstephaner gold', sedum reflexum 'blue spurge', sedum rupestre 'angelina', sedum spurium 'john creech', sedum spurium 'red carpet'
-  SOD LAWN
-  SYNLAWN ARTIFICIAL TURF

NO.	DATE	REVISION DESCRIPTION	DR.
5	24.APR.18	COMMENTS	JR
4	24.APR.15	COMMENTS	JR
3	24.APR.03	NEW SITE PLAN / COMMENTS	JR
2	24.FEB.29	ISSUED FOR BP	JR
1	23.APR.13	NEW SITE PLAN / COMMENTS	JR

CLIENT:

PROJECT:

CORNERSTONE

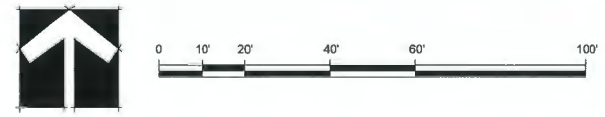
23301, 23321, 23361, 23381
 GILLEY RD & 4691, 4671 AND 4651
 SMITH CRESCENT, RICHMOND, BC

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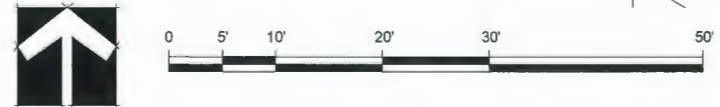
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 SCALE: 1"=20'-0"
 DRAWN: JR
 DESIGN: JR
 CHK'D: BA OF 7

L3



SEAL:

April 24, 2024
DP 23-034544
DP Plan # 30



RATANA PARK LANE SOFA, LOVESEAT & END TABLE



TENDERTUFF PICNIC TABLE (#141684) & BACKED BENCH (#141683)

SOLUS 36" HEMI FIREBOWL

SYNLAWN ARTIFICIAL TURF



LANDSCAPE STRUCTURES PLAY EQUIPMENTS:
FOX DEN HANGOUTS (#307431), BALANCE BEAM (#307436), FOCAL SENSORY WALL (#307430), SLIDEWINDER2 (#124863), HILL NET CLIMBER (#CP008985), FLOWER ACCENT TOPPER (#212256)



NO.	DATE	REVISION DESCRIPTION	DR.
5	24.APR.18	COMMENTS	JR
4	24.APR.15	COMMENTS	JR
3	24.APR.03	NEW SITE PLAN / COMMENTS	JR
2	24.FEB.29	ISSUED FOR BP	JR
1	23.APR.13	NEW SITE PLAN / COMMENTS	JR

CLIENT:

PROJECT:

CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4691, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

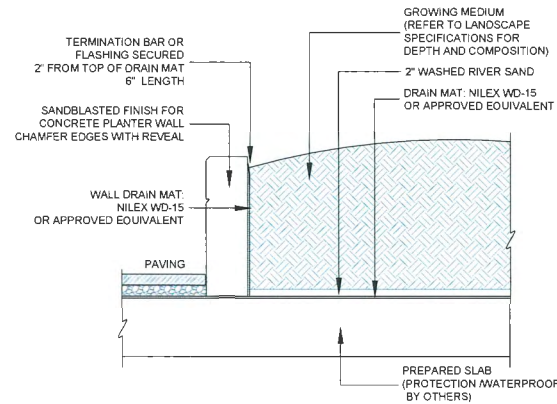
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CHK'D: BA

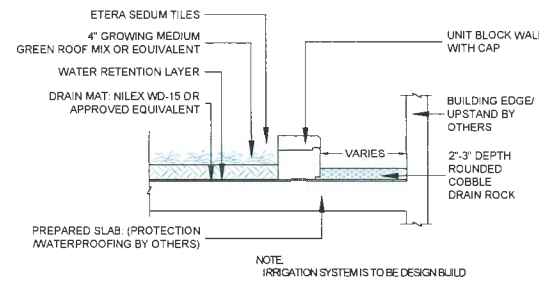
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OF 7

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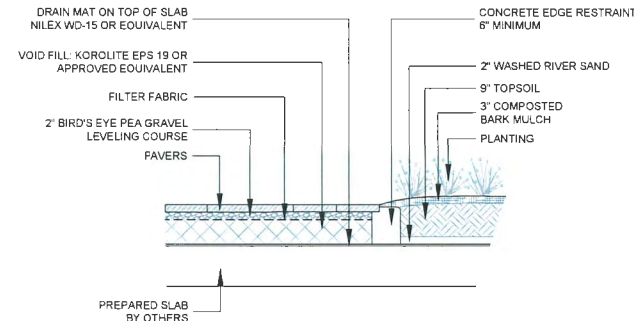
April 24, 2024
DP 23-034544
DP Plan # 31



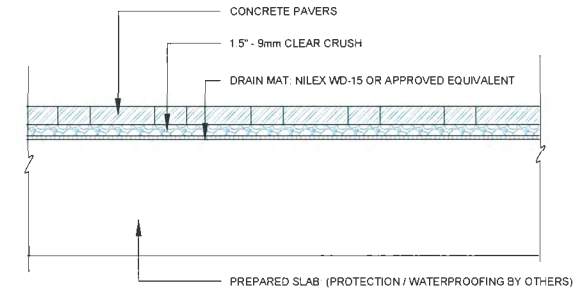
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1/2" = 1'-0"



2 GREEN ROOF EDGE
1/2" = 1'-0"

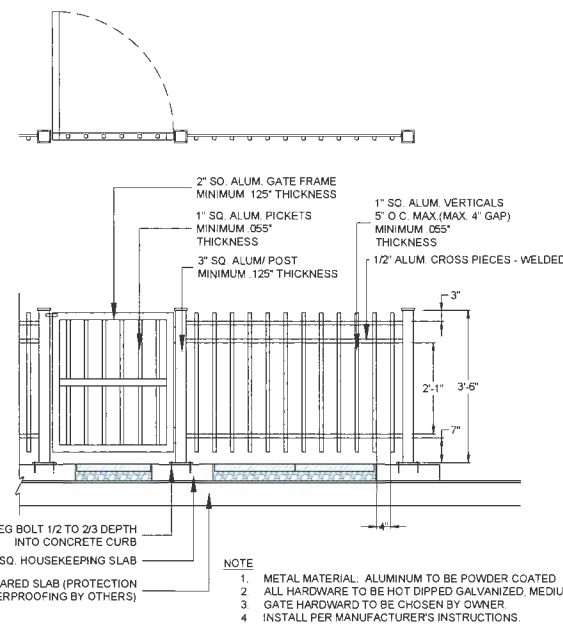


3 PAVER EDGING
SCALE: 1/2" = 1'-0"

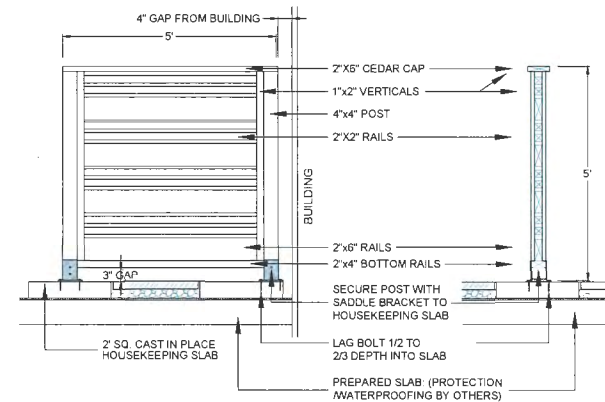


NOTE:
PAVERS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS
PAVERS NOT TO BE CUT MORE THAN HALF SIZE
ALL PAVERS TO BE DIAMOND CUT
MAX PAVES LIPPAGE 1/8" BETWEEN SURFACES
FLATNESS TOLERANCE: 3/8" OVER 10 FT
ONLY PAVERS OFF SLAB ARE TO BE FILLED WITH POLYMERIC SAND
ONLY PAVERS OFF SLAB ARE TO HAVE BEDDING SAND LEVELING COURSE

4 PAVERS
1" = 1'-0"

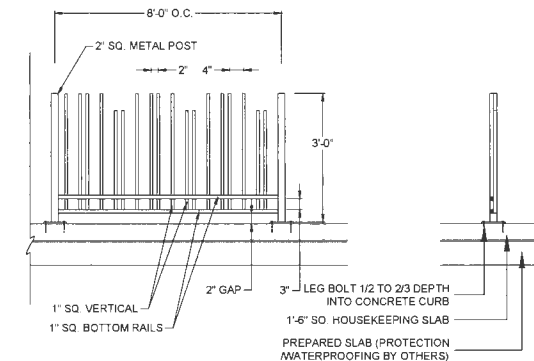


5 ALUMINUM PICKET FENCE
1/2" = 1'-0"



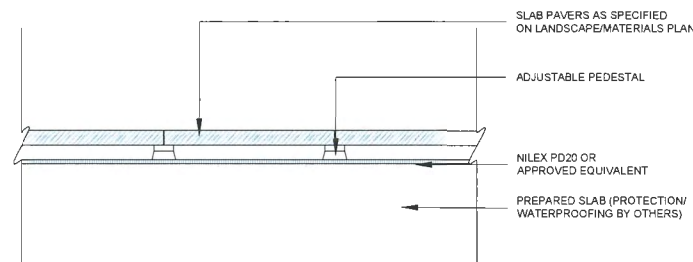
- 1 ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE
- 2 ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM
- 3 ALL HARDWARE HOT DIPPED GALVANIZED
- 4 APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
- 5 ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6"

6 PATIO SCREEN
1/2" = 1'-0"

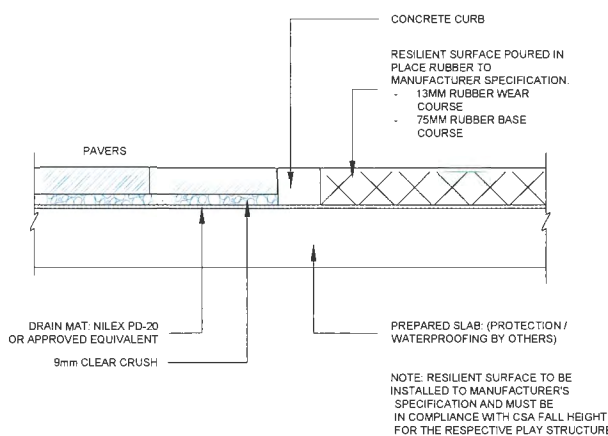


- NOTE
- 1 METAL MATERIAL ALUMINUM TO BE POWDER COATED
 - 2 ALL HARDWARE TO BE HOT DIPPED GALVANIZED, MEDIUM GAUGE
 - 3 INSTALL PER MANUFACTURERS INSTRUCTIONS

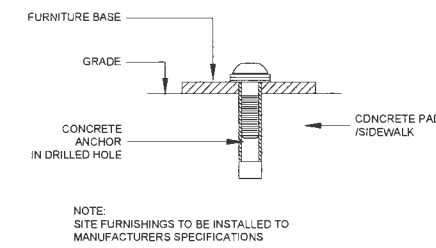
7 ALUMINUM PICKET FENCE AT PLAY AREA
1/2" = 1'-0"



8 HYDRAPRESSED SLABS OVER PEDESTALS
1" = 1'-0"



9 POURED IN PLACE RUBBER PLAY SURFACE EDGE
1" = 1'-0"



NOTE:
SITE FURNISHINGS TO BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

10 SITE FURNITURE MOUNTING
N.T.S

NO	DATE	REVISION DESCRIPTION	DR.
5	24 APR.14	COMMENTS	JR
4	24 APR.15	COMMENTS	JR
3	24 APR.09	NEW SITEPLAN / COMMENTS	JR
2	24 FEB.29	ISSUED FOR BP	JR
1	23 APR.13	NEW SITEPLAN / COMMENTS	JR

CLIENT:

PROJECT:

CORNERSTONE

23301, 23321, 23361, 23381
GILLEY RD & 4691, 4671 AND 4651
SMITH CRESCENT, RICHMOND, BC

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: 23.MAR.28 DRAWING NUMBER:
SCALE: AS NOTED
DRAWN: JR
DESIGN: JR
CHK'D: BA OF 7

L7

consultants :

OWNER : MASKEEN (HAMILTON) PROPERTIES CORP.
 TEL: (604) 502-9096
 fax: (604) 502-9035
 email info@maskeen.ca

SURVEYOR : ONDERWATER LAND SURVEYING LTD.
 TEL: (604) 574-7311
 fax: (604) 574-3018
 email matt@onderwater.ca

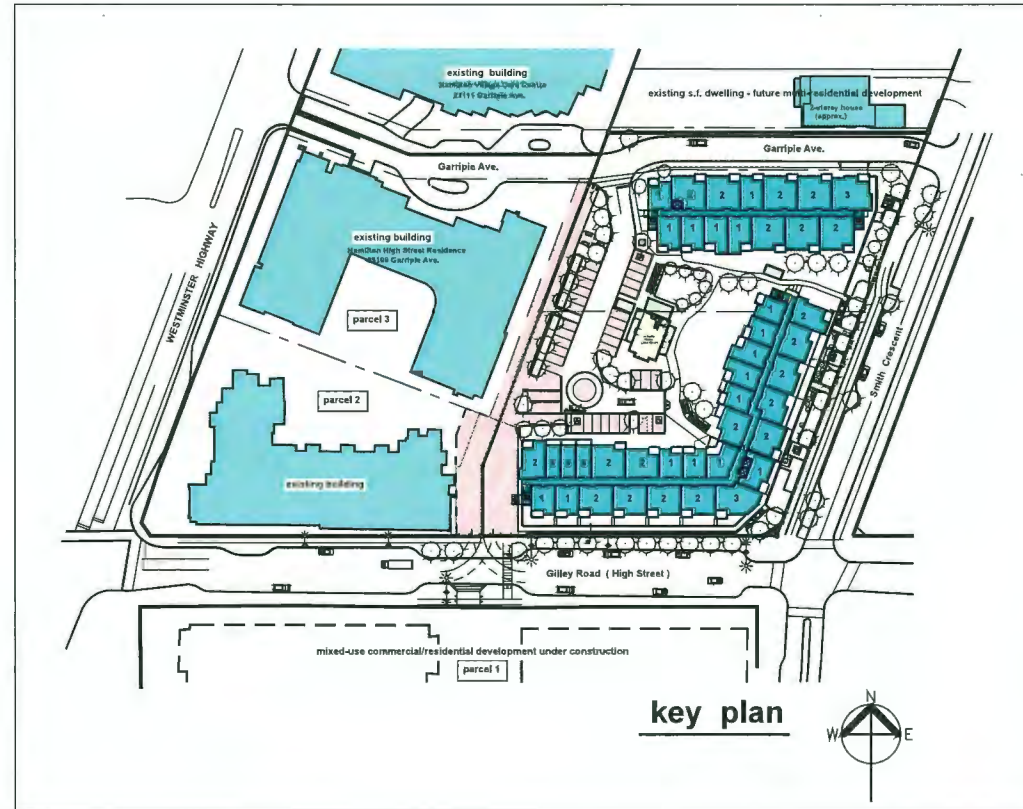
CIVIL ENGINEER : H.Y. ENGINEERING/SURVEYING
 TEL: (604) 583-1616
 fax: (604) 583-1737
 email hyengineering.com

TRAFFIC ENGINEER : CTS TRAFFIC ENGINEERING
 TEL: (604) 936-6190
 fax: (604) xxx-xxxx
 email gvlieg@cts-bc.com

ARBORIST : ARBORTECH CONSULTING
 TEL: (604) 275-3484
 fax: (604) 275-9554
 email norm@arbortechbc.ca

LANDSCAPE ARCH. : PMG LANDSCAPE ARCHITECTS
 TEL: (604) 294-0011
 fax: (604) 294-0022
 email Ben@pmglandscape.com

CODE CONSULTANT : PONTEM GROUP
 TEL: (604) 363-7329
 email echen@pontemgrp.com



drawing list :

- A-0 cover sheet
- A-1 project data
- A-2 parkade plan
- A-3 site plan/ground floor plan
- A-4 plans - levels 2 through 5
- A-5a-A5b building A elevations
- A-5c building B elevations
- A-6a streetscapes
- A-6b streetscapes
- A-7 site sections
- A-8a-8b detail site sections
- A-9 site details
- A-10a-10b apartment unit plans
- A-10c affordable apt. unit plans
- A-10d apt. unit distribution
- A-10e bylaw floor area calculation
- A-10f detail floor plans - lobbies
- A-11a amenity building plans
- A-11b amenity building elevations
- A-12 community police office
- A-13 shadow casts
- A-14a model views
- A-14b model views
- A-14c model views
- A-14d model views
- A-15 site study - adjacent site
- S-1 topographic survey
- S-2 site grading plan
- S-3 dedications & R.O.W.s
- S-4 fire department access plan
- S-5 construction phasing plan

April 24, 2024
 DP 23-034544
 Reference Plan



view from north-west



view from south-east

Rev.	Date	Description
05	4-02-24	re-issued for D.P.
04	2-26-24	re-issued for DP/ADP
03	10-27-23	issued for DP
02	4-12-23	re-issued for rezoning
01	10-08-21	issued for rezoning

Ionic Architecture Inc.
 architects o.i.b.c.
 201-5000 152nd Street
 Surrey B.C. V3S 5J9
 tel: (778) 571-0618
 fax: (778) 571-0619
 office@ionic-architecture.com

Drawing Title: cover sheet
 Project Title: proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.

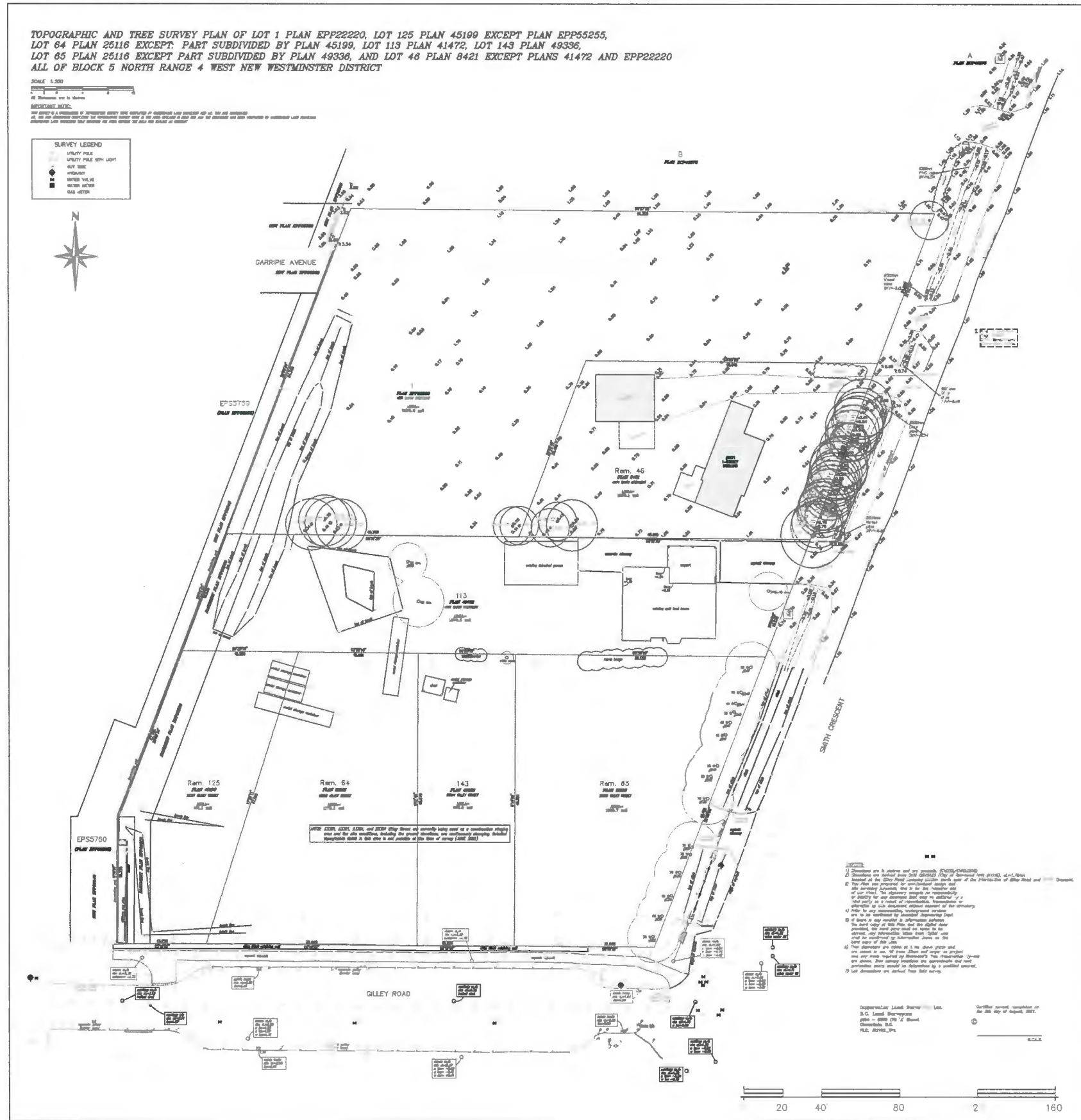
Scale:	as noted
Date:	February 2022
Revision:	Project No. 21-2138
04	A-0

cover sheet

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

ADP submission
 Feb. 26, 2024
 revised to April 12, 2024

A0

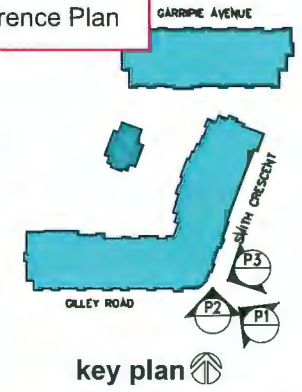


parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

topographic plan
 Scale 1"=30'

Sheet	as noted	Drawing Title	site plan - topographic
Date	August 2021	Project Title	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.
Revision	01	Sheet No.	S-1
		Project No.	21-2138
		Rev.	01
		Date	8-05-21
		Issued for review	Description

April 24, 2024
 DP 23-034544
 Reference Plan



building A - Smith Crescent entrance



parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

Rev.	Date	Description
04	4-02-24	revised per ADP comments
03	2-20-24	reissued for DP
02	11-27-23	issued for DP
01	8-30-23	issued for review

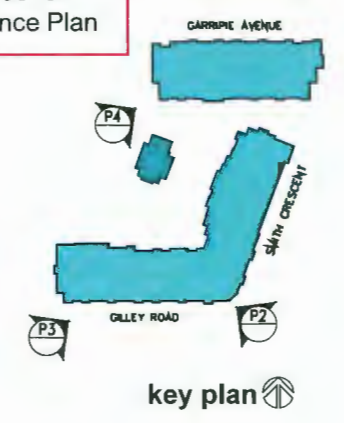
Drawing Title: perspective views - building A	
Sheet 14a	Project Title: PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC
Scale: As Noted	Project No. 21-2138
Date: AUGUST 2023	Revision 04

Ionic Architecture Inc. architects a.i.b.c. 201-5500 152nd Street Surrey B.C. Tel: (778) 571-0616 office@ionic-architecture.com
--

ADP submission
 Feb. 26, 2024
 revised to April 2, 2024

14a

April 24, 2024
 DP 23-034544
 Reference Plan



P3
 CPO detail view



P4
 building B - entrance



P2
 building A - south-east corner view

parcels 6 & 7 - proposed residential - commercial development

Hamilton Lands

Richmond B.C.

Scale	As Noted	Sheet	Drawing Title	Date	Revision	Rev.	Date	Description
	AUGUST 2023	14b	perspective views		04	04	4-02-24	revised per ADP comments
					03	03	2-20-24	reissued for DP
					02	02	11-27-23	issued for DP
					01	01	8-30-23	issued for review

Ionic Architecture Inc.
 architects a.i.b.c.
 201-5000 162nd Street
 Surrey B.C. V3S 2S9
 Tel: (778) 571-0818
 Fax: (778) 571-0819
 office@ionic-architecture.com

PROPOSED DEVELOPMENT
 parcels 6 & 7 - Hamilton Lands
 RICHMOND BC

ADP submission
 Feb. 26, 2024
 revised to April 2, 2024

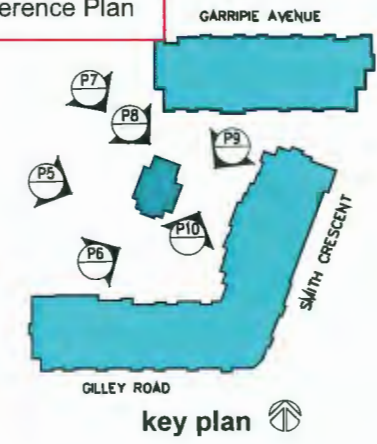
April 24, 2024
 DP 23-034544
 Reference Plan



courtyard view



P6



P7



amenity building & bldg. A



amenity building & outdoor amenity



P10

courtyard view from building B entry

04	4-02-24	revised per ADP comments
03	2-20-24	reissued for DP
02	11-27-23	issued for DP
01	8-30-23	issued for review
Rev.	Date	Description

Ionic Architecture Inc. architects a.i.b.c. 201-5600 152nd Street Surrey B.C. V3S 2J9 tel: (778) 571-0618 fax: (778) 571-0619 office@ionic-architecture.com	
Drawing Title: perspective views Project Title: PROPOSED DEVELOPMENT parcels 6 & 7 - Hamilton Lands RICHMOND BC	Sheet 14C of 14C
Scale: As Noted Date: AUGUST 2023 Revision: 04 Project No: 21-2138	

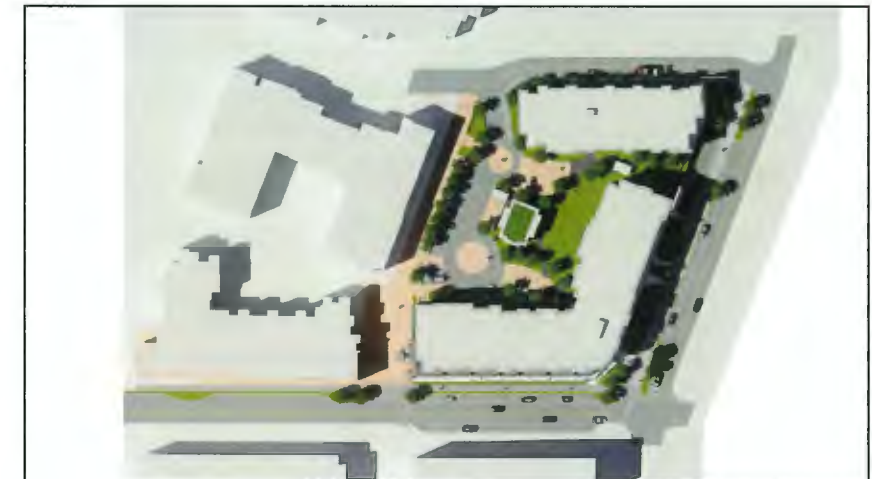
parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.



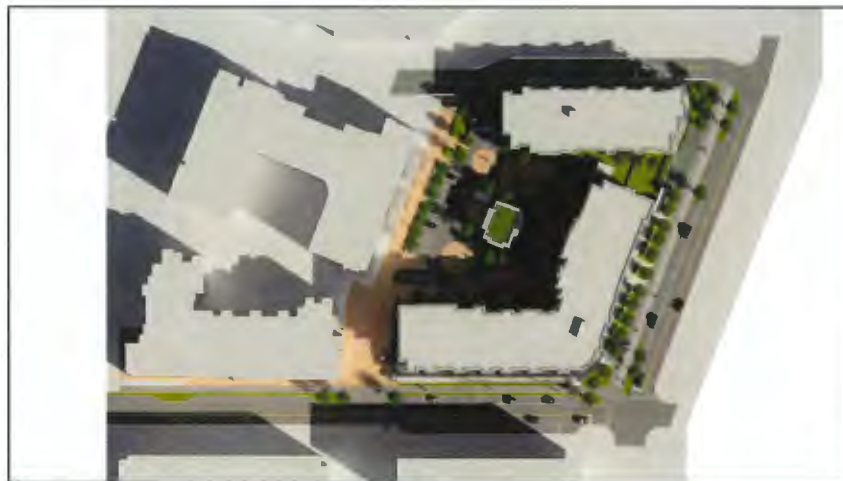
21 JUN 0900



21 JUN 1200



21 JUN 1500



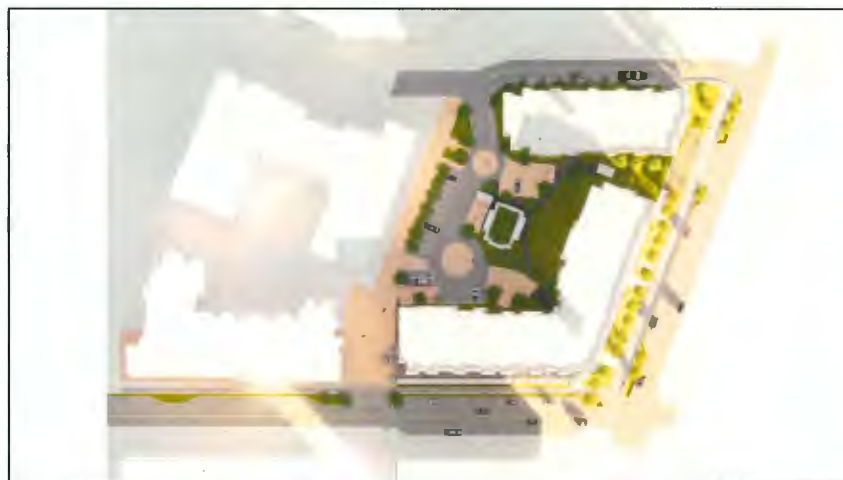
21 MAR 0900



21 MAR 1200



21 MAR 1500



21 DEC 0900



21 DEC 1200



21 DEC 1500

shadow casts

parcels 6 & 7 - proposed residential - commercial development
 Hamilton Lands
 Richmond B.C.

Scale:	As Noted	Sheet	of	Project Title:	shadow casts
Date:	March 2023	Revision	Project No.	proposed development parcels 6 & 7 - Hamilton Lands Richmond B.C.	
Revision	04	21-2138	A13		
Rev.	Date	Description			
04	2-26-24	issued for ADP			
03	11-27-23	issued for DP			
02	4-12-23	issued for rezoning			
01	4-05-23	issued for review			

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 architects a.i.b.c.
 201-5500 152nd Street
 Surrey B.C. V3S 5J9
 Tel: (778) 571-0618
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