



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, May 10, 2017
3:30 p.m.

Minutes

Motion to adopt the minutes of the Development Permit Panel meeting held on April 12, 2017.



1. **Development Permit 16-753377**
(Xr: HA 17-763809) (REDMS No. 5371150)

APPLICANT: Application by Platform Properties (Steveston) Ltd. and Platform Properties (Steveston Residential) Ltd.

PROPERTY LOCATION: 3471 Moncton Street, 12040 and 12060 3rd Avenue and 3560, 3580 and 3600 Chatham Street

Director's Recommendations

1. *That a Development Permit be issued which would permit the construction of a mixed use development ranging from 1 to 3 storeys containing commercial space at grade and approximately 32 residential units at 3471 Moncton Street, 12040 and 12060 3rd Avenue and 3560, 3580 and 3600 Chatham Street on a site zoned "Commercial Mixed Use (ZMU33) – Steveston Village";*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *Increase the maximum permitted building height up to 1.5 m to allow portions of the building's roof and rooftop deck structures to project beyond the maximum permitted building height of 12 m and 9 m in the "Commercial Mixed Use (ZMU33) – Steveston Village" zone; and*

ITEM

3. *That a Heritage Alteration Permit (HA 17-763809) be issued at 3471 Moncton Street, 12040 and 12060 3rd Avenue and 3560, 3580 and 3600 Chatham Street in accordance with the Development Permit.*



2. New Business

3. **Date of Next Meeting: May 24, 2017**

4. Adjournment



Development Permit Panel Wednesday, April 12, 2017

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cathryn Volkering-Carlile, General Manager, Community Services
Robert Gonzalez, General Manager, Engineering and Public Works

The meeting was called to order at 3:33 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on March 29, 2017, be adopted.

CARRIED

1. Development Permit 16-735007 (REDMS No. 5313132 v. 3)

APPLICANT: Alex Sartori
PROPERTY LOCATION: 6020 No. 4 Road

INTENT OF PERMIT:

Permit the construction of a Single-Family Residential Dwelling at 6020 No. 4 Road on a site zoned "Agriculture (AG1)" zone and designated as an Environmentally Sensitive Area (ESA).

Applicant's Comments

Rosa Salcido, Vivid Green Architecture, Inc., provided background information on the proposed development, noting that the size of the house, building footprint, and number of bedrooms have been reduced in response to staff comments.

Development Permit Panel

Wednesday, April 12, 2017

Ms. Salcido further noted that (i) the proposed development meets and even exceeds minimum setback requirements, (ii) the house will be located at the western portion of the site to minimize impacts to the Environmentally Sensitive Area (ESA), (iii) the house will have five bedrooms with own bathrooms on the second floor, one bedroom on the ground floor, and a secondary suite with two bedrooms, and (iv) the area adjacent to No. 4 Road will be screened with a row of trees.

Alex Sartori, Sartori Environmental Services, reviewed the key findings of the "Biologist's Environmental Assessment" conducted in the subject site, noting that the ESA has been delineated and redefined.

Mr. Sartori further noted that the environmental assessment recommends that (i) the redefined ESA be enhanced and maintained in perpetuity, (ii) protective fencing be installed around the redefined ESA, (iii) invasive plant species be removed, (iii) native species be planted to enhance the ESA, and (iv) the ESA be irrigated to sustain the long-term maintenance and growth of the proposed plantings.

In response to queries from the Panel regarding the size and design of the proposed single detached dwelling which would occupy a significant portion of the ESA, Ms. Salcido commented that (i) the proposed lot coverage is less than the bylaw requirement, (ii) the site lay-out has been compressed to minimize impacts to the ESA, (iii) relocating the driveway entrance further to the south resulted in longer internal drive aisles, (iv) the L-shaped lay-out of the house provides easy access to the bedrooms from the corridor, (v) the port cochere provides weather protection for residents accessing the main entry to the house, and (vi) the original floor area has been reduced, resulting in the removal of two bedrooms and a portion of the common area.

Chloe Lee, Bouthouse Design Group, Inc., briefed the Panel on the main landscaping features for the proposed development, noting that (i) native species trees, shrubs and ground covers will be planted to enhance the ESA, (ii) a water feature is proposed at the southeast corner of the house, (iii) a wood deck over the septic field and seating area will be installed, and (iv) permeable pavers are proposed for the internal drive aisles and pedestrian walkway to the front entrance.

In response to a query from the Panel, Ms. Lee advised that native species of trees, shrubs, and ground covers will provide a more natural habitat for wildlife in the redefined ESA at the eastern portion of the site.

Panel Discussion

Discussion ensued regarding the data provided by the applicant on the total area of ESA retained and it was noted that it was not consistent with the data indicated in the staff report.

Development Permit Panel

Wednesday, April 12, 2017

Staff Comments

Wayne Craig, Director, Development, advised that the Arborist's Report and Biologist's Report identified the environmental assets in the subject site and their recommendations focused on protecting, preserving and enhancing the most valuable environmental assets.

Mr. Craig further noted that as a condition for the issuance of development permit for the subject property, there will be a legal agreement to ensure that the ESA will be retained, enhanced and maintained in perpetuity.

Gallery Comments

Sam Burlo, 10220 Westminster Highway, inquired about the current building permit fee for the proposed development and questioned the subject property's designation as an Environmentally Sensitive Area (ESA), noting that soil quality in the subject property does not warrant such designation. Therefore, Mr. Burlo suggested that the subject property could be reclassified.

Also, Mr. Burlo inquired about the elevation of the subject property and commented that the significant grade difference between the adjacent road and the subject property causes drainage problems in the area and adversely impacts the environment.

In closing, Mr. Burlo spoke of the unsuitability of including birch trees for the proposed landscaping and ESA enhancement of the subject property, noting that they are invasive species and have a short life span. He therefore suggested that birch trees could be replaced with cherry trees which are more durable.

In response to the query of Mr. Burlo regarding the building permit fee for the proposed development, the Chair stated that building permit is outside the purview of the Panel and noted that there is a development permit process in place for lands designated as ESAs.

In response to the query of Mr. Burlo regarding the elevation of the subject property, Mr. Craig advised that (i) the City's Flood Plain Bylaw requires that the minimum habitable elevation for the subject site is 2.9 meters GSC, and (ii) the proposed ground floor elevation of the single detached home to be constructed ranges from 3.4 meters to 3.6 meters GSC.

In response to the concern regarding the proposed planting of birch trees on the subject site, Ms. Lee stated that the choice of birch trees is consistent with City guidelines for environmental protection of ESAs; however, she acknowledged that she is willing to replace them with a different tree species.

Helmut Kramer, 6140 No. 4 Road, stated that he is a long-time resident in the area and expressed concern regarding the (i) the significant paved area in the adjacent property to the north of the subject site, (ii) the size of the proposed single-family home in the subject site, and (iii) the significant amount of proposed paving on the subject site which would negatively impact the community feel of the neighbourhood.

In response to a query from the Panel, Mr. Craig confirmed that the existing development to the north of the subject site is zoned "Agriculture (AG1)" which allows the construction of single detached housing.

Development Permit Panel

Wednesday, April 12, 2017

Gerhard Meuter, 6130 No. 4 Road, commented that he is not in favour of the proposed development and was of the opinion that the proposed single-detached dwelling, with five bedrooms with own bathrooms, appears like a hotel, and (ii) a significant increase in site grading in the subject property will result in flooding of neighbouring properties during winter.

In response to the concern of Mr. Meuter, Mr. Sartori commented that the applicant will look into the proposed development's potential impacts to neighbouring properties' drainage and report the findings to the Panel.

Correspondence

None.

Panel Discussion

Discussion ensued on (i) the size and design of the proposed development, (ii) the extensive encroachment of the development into the ESA, and (iii) the rationale for the proposed location of the septic field in the eastern portion of the ESA which has more ecological values.

The Panel also noted that (i) information provided by staff and the applicant on the extent of the proposed development's impacts to the ESA needs to be reviewed and reconciled, (ii) concerns regarding the proposed development's impacts to neighbouring properties should be investigated and addressed, and (iii) the correlation between the proposed landscaping scheme and enhancement of the ESA needs to be explained by the applicant.

As a result of the discussion, the following **referral** motion was introduced:

Panel Decision

It was moved and seconded

That Development Permit application 16-735007 be referred back to staff for further discussions with the applicant to:

- 1. consider redesigning the proposed development to minimize its encroachment into the ESA;*
- 2. investigate and address potential impacts of the proposed development to neighbouring properties' drainage;*
- 3. review and reconcile data provided by staff and the applicant regarding the extent of the proposed development's impacts to the ESA;*
- 4. clarify the rationale for the proposed location of the septic field; and*
- 5. further explain how the proposed landscaping would enhance the redefined ESA and mitigate the development's impacts to the ESA.*

CARRIED

Development Permit Panel
Wednesday, April 12, 2017

2. Date of Next Meeting: April 26, 2017

3. Adjournment

It was moved and seconded

That the meeting be adjourned at 4:20 p.m.

CARRIED

Certified a true and correct copy of the
Minutes of the meeting of the
Development Permit Panel of the Council
of the City of Richmond held on
Wednesday, April 12, 2017.

Joe Erceg
Chair

Rustico Agawin
Auxiliary Committee Clerk



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 18, 2017

From: Wayne Craig
Director of Development

File: DP 16-753377
HA 17-763809

Re: Application by Platform Properties (Steveston) Ltd. and Platform Properties (Steveston Residential) Ltd. for a Development Permit and Heritage Alteration Permit at 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580 & 3600 Chatham Street

Staff Recommendation

1. That a Development Permit be issued which would permit the construction of a mixed use development ranging from 1 to 3 storeys containing commercial space at grade and approximately 32 residential units at 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580 & 3600 Chatham Street on a site zoned "Commercial Mixed Use (ZMU33) – Steveston Village".
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Increase the maximum permitted building height up to 1.5 m to allow portions of the building's roof and rooftop deck structures to project beyond the maximum permitted building height of 12 m and 9 m in the "Commercial Mixed Use (ZMU33) – Steveston Village" zone.
3. That a Heritage Alteration Permit (HA 17-763809) be issued at 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580 & 3600 Chatham Street in accordance with the Development Permit.


Wayne Craig
Director of Development

WC:ke
Att. 3

Staff Report

Origin

Platform Properties (Steveston) Ltd. and Platform Properties (Steveston Residential) Ltd. has applied to the City of Richmond for permission to develop a mixed use development ranging from 1 to 3 storeys containing commercial space at grade and approximately 32 residential units for the site at 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580 & 3600 Chatham Street on a site zoned “Commercial Mixed Use (ZMU33) – Steveston Village”. The site is currently vacant.

The subject site is in the Steveston Village Heritage Conservation Area (SVHCA), requiring a Heritage Alteration Permit (HAP) for any works and/or modification of land. Therefore, this Development Permit application is being considered in coordination with a Heritage Alteration Permit (HA 17-763809) to be issued concurrently with the Development Permit. This site does not contain any identified heritage resources.

The site is being rezoned from “Steveston Commercial (CS2)” and “Steveston Commercial (CS3)” to “Commercial Mixed Use (ZMU33) – Steveston Village” for this project under Richmond Zoning Bylaw 8500, Amendment Bylaw 9558 (RZ 15-710852), which received 3rd Reading after the Public Hearing held on June 20, 2016. A Heritage Alteration Permit (HA 16-727260) was also issued by Council after 3rd Reading was granted to allow for demolition and site preparation activities and property consolidation. A Servicing Agreement (SA 16-738834) is required as a rezoning consideration for the upgrades along the site’s public road frontages, lane upgrades, off-site pathway upgrades and City services. As part of the staff streetscape review being undertaken along Chatham Street and Moncton Street, should Council adopt streetscape visions that differ from the frontage works identified at rezoning, the frontage works shall be adjusted to reflect the current Council approved streetscape vision.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north: Across Chatham Street, three storey mixed use developments and off-street parking on sites zoned “Steveston Commercial (CS3)”;

To the east: Across an existing lane, one and two storey commercial buildings zoned “Steveston Commercial (CS2)” and “Steveston Commercial (CS3)”;

To the south: Across Moncton Street, one storey commercial buildings zoned “Steveston Commercial (CS2)” and

To the west: Across 3rd Avenue, one and two storey commercial buildings zoned “Steveston Commercial (CS2)” and containing 3 identified heritage resources (Steveston

Courthouse, Sockeye Steveston Hotel and symbolic civic precinct for Steveston) in the Steveston Village Conservation Strategy.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 20, 2016. At the Public Hearing, all pieces of correspondence received were in support of the proposed development.

The rezoning also made note of variances to be requested for maximum building height as part of the Development Permit application for portions of the roof and elevator structure and rooftop deck access structures and guardrails. There were no comments made about the requested variances at the Public Hearing for the project.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Commercial Mixed Use (ZMU33) – Steveston Village” except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Increase the maximum permitted building height up to 1.5 m to allow portions of the building’s roof and rooftop deck structures to project beyond the maximum permitted building height of 12 m and 9 m in the “Commercial Mixed Use (ZMU33) – Steveston Village” zone.

For clarification, the following summarizes the height of individual structures and subject to the requested variance:

- Roof structure and building parapet – Ranging from 12.3 m to 13.5 m (0.3 m to 1.5 m above maximum building height).
- Rooftop access structure and guardrail – 13.5 m (3 storey portions of building) and 10.5 m (2 storey portions of building) (1.5 m above maximum building height)
- Elevator structure – 13.3 m (1.3 m above maximum building height).

Staff supports the proposed variance for the following reasons:

- *The requested height variances for a portion of the sloped roof structure at the north portion of the site and for building parapet projections along 3rd Avenue and the lane (requested height variance ranging from 0.3 m to 1.5 m for a maximum building height of 12.3 m and 13.3 m) provide for design differentiation across the project, to enable design differentiation of the streetscape and lane elevation and reflect individual smaller scale developments, which is supported in the Steveston Area Plan.*

- *The height variance requested for the elevator structure (requested 1.3 m height variance to a maximum building height of 13.3 m) is to accommodate the necessary mechanical equipment for the elevator lift. The elevator structure utilizes a combination of natural materials consisting of exposed wood beams and metal/wire support brackets for additional design interest.*
- *Individual unit rooftop deck access structures (requested 1.5 m height variance to a maximum building height of 13.5 m) are all setback from the street and lane frontages for the development and are not full height, which minimizes the visibility of the structures from the surrounding street as demonstrated by the street level 3D rendering of the project. Furthermore, the Steveston Area Plan Development Permit Guidelines specific to the village core encourages using rooftop areas as outdoor space so long as any impacts to the surrounding area are addressed.*
- *The applicant has developed the rooftop deck access structures in coordination with BC Building Code (BCBC) and has confirmed that the design is compliant with applicable regulations. A minimum height guardrail for the rooftop deck is also required by BCBC and is designed to be at the same level as the rooftop deck access structure (1.5 m above maximum building height). To minimize the visibility of the guardrail from the street, a structural clear glass supported by an aluminum guardrail is proposed.*
- *No additional shadowing impacts or additional building massing will result from the requested variances.*

Richmond Heritage Commission Comments

The project was reviewed and endorsed by the Richmond Heritage Commission on February 22, 2017. A copy of the relevant excerpt from the Richmond Heritage Commission minutes from February 22, 2017 is attached for reference (Attachment 2).

Advisory Design Panel Comments

The project was reviewed and endorsed by the Advisory Design Panel on March 22, 2017. A copy of the relevant excerpt from the Advisory Design Panel Minutes from March 22, 2017 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The mixed-use development has public road frontages along the north, south and west edges and an existing operational lane directly to the east. The project will front directly onto all public roads and the lane with a zero lot line adjacency around the edges of the development. The proposed design will create a strong street wall and pedestrian-oriented development, which will meet Development Permit guidelines applicable to Steveston Area Plan.
- The Steveston Area Plan (SAP) supports 2 storey massing (9 m building height) on the south portion of the site fronting Moncton Street, transitioning to 3 storeys (12 m building height)

to the north. The project's massing along Moncton Street is limited to 1 storey consistent with the surrounding context. The 2 storey building elements are pulled back from Moncton Street approximately 6.8 m to minimize the massing impacts to the street.

- Shadowing impacts to neighbouring sites will be minimal and mitigated in part to the increased separation distance provided by the surrounding roads and lane.

Urban Design and Site Planning

- Off-street parking is provided in a two level parkade structure integrated into the building. Two vehicle access points to the commercial parking spaces will be provided from the lane and a driveway access located mid-block on 3rd Avenue. Residential parking will be accessed separately from the lane.
- The parkade gate for the residential parking will be controlled by access fobs. Parkade gates for the commercial parking (including shared residential visitor parking) will remain open during the hours of operation of all commercial businesses in the development and will close only during the late evening/overnight period. Access to the commercial parkade for residential visitor parking when the gates are closed will be from the lane only.
 - To ensure that the commercial parkade gate operations on 3rd Avenue and the lane is complied with, a legal agreement is required to be registered on title prior to issuance of the Building Permit that specifies that parkade gates are to remain open and not be closed during the hours of operation for all commercial businesses in the development every day of the week and that the only means of access to the commercial parkade for residential visitors when the gates are closed will be from the lane.
- At grade, the building is designed to support the public realm experience by providing a number of active commercial retail spaces on Moncton Street, 3rd Avenue and Chatham Street. The building's street presence is further supported by limiting building recesses at grade to storefront entrances and the main entrance to the residential part of the building only.
- Along 3rd Avenue, the grade level parkade structure is broken up by adding openings with detailing similar to the architectural finishing and design elements in other parts of the development, including the addition of decorative metal screening of the openings to enhance the streetscape along 3rd Avenue.
- The 32 proposed residential units in the project have dedicated outdoor areas in the form of balconies, interior courtyard deck spaces and private rooftop deck spaces, which provides private outdoor space consistent with requirements of the OCP.
- The outdoor amenity area (200 sq. m) is situated on the open courtyard area of the second level above the building, sized in accordance with Official Community Plan requirements and is situated to allow for good sun exposure and minimal shadowing impacts from the surrounding buildings. Outdoor amenity space programming consists of a large artificial turf area available for a variety of activities and space available for outdoor seating around a gas fire pit.
- Commercial and residential refuse and recycling areas will be contained in enclosed rooms within the development, fully screened and not visible from the roads or lane. The power utility requires a dedicated space for pad mount transformer, which will be located at the north east corner of the site. Screening measures will be implemented along Chatham Street to minimize the visibility of the electrical utility infrastructure for this development.

Architectural Form and Character

- The overall architectural detailing and elements in this mixed use project are generally consistent with the Steveston Area Plan Development Permit Guidelines, including specific guidelines applicable for sites located in the Steveston Village core area.
- In the Steveston Area Plan, the historic lot configuration (as outlined in the Steveston Village 1892 Historic Lot Lines Map) that generally provide for smaller frontages (north-south oriented lots) along Moncton Street and Chatham Street and east-west oriented lots fronting 3rd Avenue. Representation of these historic lot lines in this mixed use project is achieved through the following measures:
 - Moncton Street: Differences in the design of building parapet treatments are implemented to reflect the three individual commercial frontages, separated by small building recesses extending vertically. Additional design and architectural detailing is proposed for each unit to further differentiate one commercial unit from another (i.e., differing awning proportions; signage variation; varying colour treatment)
 - 3rd Avenue: Massing transition from 2 to 3 storeys coordinated with the historic lot lines. Differing building façade treatments developed in coordination the historic lot lines.
 - Chatham Street and 3rd Avenue: This area is designed to accommodate an anchor tenant grocery store while incorporating design details (subtle building recesses that extend vertically), signage banding and differing façade treatments that reflect the historic lot lines.
- To reinforce the false front building parapet treatment along Moncton Street consistent with the existing surrounding buildings, parapet heights are extended as much as possible to screen the second level outdoor deck guardrails located above the commercial units. The proposed 6 m approximate parapet height is consistent with guidelines applicable to the Steveston Village core area.
- A majority of the roof will be flat with parapets of differing heights around the development with a modest low slope roof proposed along the north portion of the site closer to Chatham Street. The proposed combination of roof forms will achieve the desired variation within the context of the Steveston Village core area and refer to a number of historical Steveston building types.
- Proposed external cladding across the project consists of fibre cement panels, horizontal lap siding and shingles that have been designed and applied to be consistent with natural materials. Painted fibre cement trim made to resemble wood trim detailing accenting the roofline and building parapets are also proposed. Exposed wood beams and posts are proposed along the 3rd Avenue and Chatham Street frontages, which provide additional variation and texture. The project's cladding and is consistent with acceptable materials for the Steveston Village core area.
- Areas of transparent glazing/windows are focussed at grade along the three road frontages of the development, with larger amounts of glazing focussed on the commercial storefronts. Transparent glazing also wraps around corners of the development where feasible (i.e., corner of Moncton Street and 3rd Avenue and Moncton Street and the lane), maximizing the amount of commercial window space exposure to the street. The glazing approach along the Chatham Street and north portion of 3rd Avenue frontage (associated with the commercial anchor tenant) integrates glazed grey back painted spandrel units along the base and some of the mid-level portions of the windows along the streetscape. The placement of spandrel glass units is in response to the internal arrangement of the proposed

grocery store anchor tenant to conceal areas where shelving and/or service areas are located next to the windows.

- At the ground level, the proposal includes a number of light fixtures and canopy/awning structures mounted to the building that will encroach into the City road allowances along Moncton Street, 3rd Avenue, Chatham Street and the lane (all light fixtures and canopy/awnings are designed to be demountable). At the roof level, some minor encroachments are proposed into the road/lane allowances for roof eaves/overhangs (north portion of the site at Chatham Street and 3rd Avenue) and building parapet cornice. Engineering staff have reviewed the proposed encroachments and confirm there will be no conflicts with City utilities/services. As part of the building permit, registration of a legal agreement on title will be required for all proposed encroachments into the City road allowance.

Landscape Design and Open Space Design

- A landscaped open courtyard area, located above the commercial and parkade levels, providing communal open space and access to the residential units on the second and third levels is where the majority of the on-site landscaping is implemented. Landscaping consists of low to medium level plants and shrubs contained in planter boxes to define private residential outdoor spaces from communal walkways.
- In response to Advisory Design Panel and City staff comments about opportunities to introduce additional landscape plantings into the courtyard, the applicant notes that the outdoor courtyard area will provide for opportunities for interaction between public and private outdoor spaces focussed around the outdoor courtyard and amenity area. Individual unit open space is also provided for all residential units with patios provided along the public road/lane frontage in addition to outdoor space provided within the courtyard.
- The outdoor amenity area programming is designed to enable active outdoor use activities, and will provide a large open space available for gatherings and seating areas. The southern orientation and lower building massing to the south of the outdoor amenity area allows for good sun exposure and is ideally sited for use as an outdoor space.
- A landscape letter of credit/bond (\$77,367) is required to be submitted through the Development Permit to secure the implementation of the proposed landscaping.

Crime Prevention Through Environmental Design

- Entrances to the commercial units and residential lobby at grade have a strong and visible street presence to allow for active and passive surveillance of the area.
- Sight lines and transparent glazing to the ground level parking area also allow for active and passive surveillance of the parking lot from the street and also allows for pedestrian visibility on the street from the parkade.
- The outdoor amenity on the podium level courtyard is located in a central and visible area of the development. Furthermore, the open courtyard area is visible to the residential units in the development with access to the courtyard area being limited to the residents and their guests.

Accessible Housing

- The proposed development includes 4 basic universal housing units that are designed to be easily renovated to accommodate a future resident in a wheelchair. These single-storey units

are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw, and are permitted a density exclusion of 1.86 m² (20 ft²) per unit. The proposed location of these units are on the second level (D1 units) fronting 3rd Avenue.

- The proposed development also includes 8 units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair and have the necessary spatial requirements for this conversion. These units do not include all of the features identified in the Basic Universal Housing Features section of the City's Zoning Bylaw and therefore do not qualify for the Zoning Bylaw density exclusion of 1.86 m² (20 ft²) per unit.
- All of the proposed units (32 total) incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Sustainability Features

- Inclusion of electrical vehicle charging infrastructure into the development in accordance with the rezoning requirements to secure 20 stalls with a dedicated 120V receptacle to accommodate electrical vehicle charging equipment and an additional 26 stalls pre-ducted to allow for future conversion and installation of electrical vehicle charging equipment are distributed equally between the commercial and residential parking areas.
- Implementation of an efficient building envelop and high performance glazing to provide a comfortable thermal environment to occupants while minimizing energy consumption of the building to maintain thermal comfort.
- In the development's common areas, use of energy efficient lighting fixtures with systems designed to control power/lighting output as appropriate.
- Implementation of water conservation measures including reduced flow fixtures, drought resistant landscaping and installation of artificial turf in the outdoor amenity area.

Coast Mountain Bus Company/Translink Washroom Facilities

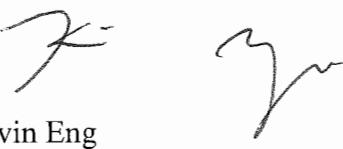
- Following-up on the rezoning consideration to have a washroom facility incorporated into the subject development to accommodate Coast Mountain Bus Company (CMBC) and Translink employees, the Development Permit submission includes provisions for a dedicated washroom facility located at the north east corner of the project accessible from the lane. The developer and representatives from Translink have an agreed to letter of intent document related to the provision of washroom facilities. A legal agreement will be registered through the rezoning considerations securing the washroom facility.

Conclusions

The proposed mixed use development is consistent with the Steveston Area Plan Development Permit Guidelines, including those specific to the Steveston Village Core Area. The proposal is sensitive to the existing surrounding context of development.

The subject development site is also located in the Steveston Village Heritage Conservation Area and a Heritage Alteration Permit is also required to be issued for any works permitted through the Development Permit.

Staff recommend support of the Development Permit and Heritage Alteration Permit for the mixed use project at 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580 & 3600 Chatham Street.



Kevin Eng
Planner 2

KE:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$77,367.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Registration of a legal agreement (Encroachment Agreement) on title for canopies/awnings, light fixtures, roof overhangs and building parapet encroachments into the City road right-of-way.
Note: All canopies/awnings and light fixtures shall be designed and constructed to be demountable. The developer/applicant is responsible for coordinating with all third party utility providers to ensure there is sufficient clearances for these utilities at the ground level.
- Registration of a legal agreement on title related to the operations of the parkade gates to access level P1 (from 3rd Avenue and the lane) that specifies that parkade gates are to remain open and not be closed during the hours of operation for all commercial businesses in the development every day of the week and that the only means of access to the commercial parkade for residential visitors when the gates are closed will be from the lane.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>)



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 16-753377

Attachment 1

Address: 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580 & 3600 Chatham Street

Platform Properties (Steveston) Ltd.

Applicant: Platform Properties (Steveston Residential) Ltd. Owner: Same as applicant

Planning Area(s): Steveston Area Plan

Floor Area Net: 6946 m²

	Existing	Proposed
Site Area:	4570 m ²	4570 m ²
Land Uses:	Site is currently vacant (previously – was the location of a building supplies commercial store and related storage yard)	Mixed use development with commercial at grade and residential uses on the second and third storeys with structured parkade integrated into the development.
Steveston Area Plan Designation:	Heritage Mixed Use (Commercial-Industrial with Residential and Office above)	Complies
Zoning:	Steveston Commercial (CS2 and CS3)	Commercial Mixed Use (ZMU33) – Steveston Village
Number of Units:	N/A	32 residential units proposed

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.52	1.52	none permitted
Lot Coverage:	Max. 100%	100%	none
Setback – Front, Side and Rear Yards:	No Front, Rear or Side Yard setback	No Front, Rear or Side Yard setback	none
Height (m): Southern Portion (Moncton)	Max. 9 m	Up to 10.5 m for rooftop deck access structures and guardrails	Variance requested
Height (m): Remaining Portion of Site	Max. 12 m	Up to 13.5 m for roof structures and portions of the building parapet Up to 13.3 m for the elevator structure Up to 13.5 m for rooftop deck access structures and guardrails	Variance requested

Off-street Parking Spaces – Commercial Residential Shared Com/Res Visitor	48 stalls (commercial) 48 stalls (residential) Shared commercial and residential visitor parking permitted in zoning	54 stalls (commercial) 48 stalls (residential) Shared commercial and residential visitor parking permitted in zoning	none
Off-street Parking Spaces – Accessible:	3	3	none
Total off-street Spaces:	96 stalls	102 stalls	none
Amenity Space – Indoor:	Cash in lieu	Cash in lieu (rezoning)	none
Amenity Space – Outdoor:	Min. 6 m ² per unit	200 m ²	none

**Excerpt from the Minutes from
Richmond Heritage Commission Meeting**

**Wednesday, February 22, 2017 – 7:00 p.m.
Rm. M.2.004
Richmond City Hall**

Development Permit Application 16-753377 and Heritage Alteration Permit Application 16-727260

- Development Permit Application 16-753377 and Heritage Alteration Permit Application 16-727260 for the properties at 3471 Moncton Street / 12040 & 12060 3rd Avenue / 3560, 3580, 3600 Chatham Street (“Rod’s Lumber”) were presented to the Commission.
- The Commission reviewed this DP and HAP in relation to the applicable design guidelines in the Steveston Area Plan. It was noted that staff have undertaken a review of the project and that it is generally consistent with design guidelines.
- It was noted that the Development Permit Application is general form and character and that RHC comments should not include either the details of finishes or land use issues such as parking that were addressed in the previous Rezoning Application.
- The applicants presented the background of the project, timeline, community engagement process and Steveston Village policies related to: form, massing and height; respecting the historic lot lines; historic building typologies in the vicinity of the subject site that were referenced in the design; and overall materiality.
- It was also noted that the subject site is not a heritage property but is located within the Heritage Conservation Area and directly across from the heritage-protected Steveston Hotel and Steveston Courthouse.
- This project is aiming to go to the Design Panel in March 2017.
- In response to questions from the Commission, it was noted that the tempered glass guard rail on the balcony and roof, and the recessing back from the street facades, will ensure that these features will not be visually dominant.
- Commissioners also noted that they appreciate the way the facades have been broken up as well as the step back treatment on Moncton. It was noted that the railings on the roofline will not be visible due to the step back.
- Discussion ensued on the colour palette of the materials selected and the developer noted that they have been looking at how colour was used historically in the Victorian and later periods for Craftsman houses. The colour palette will be mainly subdued, neutral, earth-toned colours with subtle variations.
- It was recommended to consider putting signage up on the metal cladding on the parking entryway to explain the historical significance of the abstraction of fishing nets.

- It was noted that safety and circulation issues are addressed for the vehicle entrance along 3rd Ave through semi-transparent panels and distinct surface treatments to separate modes.
- Commissioners also noted that greenery is encouraged so that when residents look out their window they see something aesthetically pleasing.
- Commissioners noted that there seems to be sufficient laneway lighting.
- Discussion ensued on the minor height variance for this project.

It was moved and seconded

That the Richmond Heritage Commission recommends that Council support this Development Permit application and Heritage Alteration Permit application, with the height variance for each application, as presented by the applicant.

CARRIED

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, March 22, 2017 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

1. **DP 16-753377 – 2 AND 3 STOREY MIXED-USE DEVELOPMENT IN THE STEVESTON VILLAGE CONSERVATION AREA. COMMERCIAL/RETAIL AND 2 LEVELS OF STRUCTURED PARKING AT GRADE (26,000 SQ. FT. APPROX.) WITH APPROXIMATELY 32 APARTMENTS**

ARCHITECT: ZGF Cotter Architects

PROPERTY LOCATION: 3471 Moncton Street, 12060 and 12040 3rd Avenue, 3560, 3580 and 3600 Chatham Street

Applicant's Presentation

Patrick Cotter and Liam Davis, ZGF Cotter Architects, presented the project and answered queries from the Panel.

Panel Discussion

Comments from the Panel were as follows:

- appreciate the presentation of the project and drawing package circulated by the applicant; design rationale illustrated by diagrams were helpful in understanding the project;
- appreciate the scale of the model although lacking in some details;
- the project is challenging due to its size and location in Steveston Village Conservation Area; however, the applicant has done a good job overall;
- appreciate the stepping down of the massing from Chatham Street to Moncton Street; also appreciate the stepping back of the residential units fronting Moncton Street, further reducing the project's massing to the street;
- appreciate the use of timber material in the proposed building; consider using used or recycled timber to be repurposed in the project;

This will be considered as we continue our design development into construction detailing.

- appreciate the use of muted and "timeless" colours; also appreciate the subtle contrast of colours between the body and detail elements which are appropriate for the Steveston area; however, consider a more pronounced tone change between the window, door and building trim and actual wall;

- As an alternative to the extensive use of fibre cement cladding materials, consider incorporating some metal cladding applications which are appropriate for the project's site context; look at Gulf of Georgia Cannery precedent for use of metal elements;

Metal cladding was considered and proposed in our earlier concept designs. However, this material was not supported during our earlier Public Open House presentations. We have since opted to not pursue the use of metal siding for this project.

- proposed ornamental metal screening for the parkade is supported; consider extending this design feature in other parts of the building;

We have replicated this screening detail on the PMT Screening along Chatham Street. Please see drawings A3.03, A3.06 & A3.07.

- support the proposed second level courtyard and boardwalk and design of residential units which provide good ventilation; also appreciate the absence of long corridors in the building; proposed building and unit design is appropriate in the Steveston area; tight spaces between residential unit clusters help mitigate overlook issues;

- adjacent individual rooftop decks have privacy issues; consider introducing appropriate screening walls between units but not visible from the street to provide privacy to users of rooftop decks; support the proposed use of glass guardrails on rooftop decks which provide suitable tension between historical and modern design aspects of the development; the applicant is encouraged to explore and enhance the application of modern design features where possible and appropriate as the project moves forward;

We have added additional detail and design to the rooftop guardrails and privacy screens (please see drawings A3.01 - A3.11). We propose the privacy screens between rooftop decks be the same design, detail and height as the bounding guardrails - however, we propose the clear glass be replaced with opaque backpainted/spandrel glass. This will provide both a level of privacy between roof decks as well as sensitivity towards the height variances. In addition to the roof decks, all units also have a private deck at the unit level - providing the resident additional outdoor space with added privacy.

- in general, a good project;
- scale and treatment of the proposed building is successful;
- review the proposed grassed boulevard along Third Avenue due to heavy pedestrian traffic in the area all year round which will impact the survivability of grass; consider more street tree planting to provide animation to the streetscape and add colour to the public realm; also consider more tree planting along the Chatham Street frontage;

This comment will be considered and discussed further with city staff as part of our ongoing servicing agreement for the off site works connected to this project.

- consider integrating ornamental metal screening to the wooden panel which screen the pad mounted transformer (PMT);

The ornamental screening has been replicated on the PMT Screening along Chatham Street. Please see drawings A3.03, A3.06 & A3.7.

- support the proposed exterior courtyard and walkway on the second level of the building; will encourage socializing and interaction among residents;
- consider planting taller trees at the rear entries of townhouses overlooking the lane to provide privacy to the townhouses;

To eliminate overcrowding this courtyard space and creating too much overshadowing of both the shared and private spaces, we propose to maintain the heights and screening provided by the current planting scheme. As intended, we feel the current design provides the mixture of shared and semi private spaces in the courtyard - promoting socializing and interaction among residents - whilst the scheme also provides private and outward looking patio/balcony space for each individual unit (as well as a private roof terrace for the upper level units). To enhance the privacy within the unit, we have worked on the arrangement of all unit plans, so all primary living and master bedroom spaces are outward looking from the development. With the secondary spaces (dens, second/third bedrooms) inward facing to the courtyard.

- consider wrapping the deck of townhouse unit 212 with heavy planting to visually break down the building from the lane perspective;

Further to a staff comment, This area is now populated with additional landscaping (please see landscape plan A4.02).

- consider simplifying the jagged pattern of the lawn area for easier maintenance;

This will be considered during construction detailing.

- reconsider the use of gravel on the exterior courtyard as it collects dust and debris and is challenging to maintain; replace gravel surface areas with planting;

The River Rock material proposed has a large and decorative ballast - and unless intended, is not easy to be misplaced and/or kicked out of position. These areas provide a non walk surface in areas where planting would not flourish because of overshadowing and being covered from the open sky/rainfall. The non-walk surface would add additional privacy to the adjacent units, without the need of screening.

- the rooftop decks needs to be more universally accessible; consider common/gathering areas on rooftop decks;

A universally accessible roof deck would require full elevator and stair access, which would in turn require far greater height variances. With a large open podium courtyard and amenity area provided, we feel universal access is not necessary to the rooftop of this development.

- drawing package circulated did not designate accessible and adaptable units; consider providing appropriate information on accessible and adaptable units in the development permit drawings and future submissions to the Panel;

This has been added to the development Data Table (A0.02), the units have been identified on the Level 2 floor plan A2.03, and we have added the drawing A6.00, which shows the necessary unit plans with Basic Universal Housing Features.

- consider introducing pocket doors in the powder rooms on the lower floor of the two-storey residential units; look at precedent in adaptable units;

This will be a high volume use door - for longevity of use/maintenance, we propose to maintain a swing door in this location.

- proposed colour scheme appears dull; consider livelier colours;

We have made some minor updates to some colours across the scheme – with some revised colours referencing the Vancouver Historical True Colour palette. The maritime heritage of Steveston consisted of simple, honest, functional buildings, often varying scales, but always with a practical application of colour to a simple palette of materials. Whether retail storefronts or cannery buildings, the historic use of colour was simple, honest, and not overlay ornate, and more consistent with Craftsman aesthetic rather than Victorian. We feel the natural colours in this project, spanning earth tones and warm greys with a high degree of saturation, paired with coordinated dark trim colours, offers a colour scheme that is historically accurate. This, combined with the subtle steps in massing and changes in architectural character/detail provides a development that is distinct in its individual collection of smaller historic and contextual sized lots, but unified as a whole

- support the use of historical elements, e.g. wood in the building; however, consider differentiating the historical elements proposed to be used along Moncton Street frontage; applicant could consider increasing or varying the parapet heights along Moncton Street to help minimize the visual impact of guard rails at the south elevation;

We have updated some of the detailing and scales and parapet heights along this elevation. Our original design intent aimed to give the parapet heights sufficient variation in height, design and colour to provide clear distinction of three individual historic lots. The parapet heights vary from a minimal upstand at the level 2 podium (to allow constructability and sufficient waterproofing of this parapet), to a maximum parapet height matching the guard rail height behind - this allows for usability and unobstructed (standing and seated) marina views from these roof decks. The guard rails themselves have also been set back from these parapets to further reduce their visibility from a Moncton Street sidewalk perspective. This is best viewed in both the Birdseye and eye level perspective views (A3.06-07). To increase the presence of the false-frontage storefronts these parapets create, and to further conceal the guardrails behind, we have: Increased the height of the parapet to the corner of Moncton St and 3rd Ave.; Reduced the pitch and size of the fabric awnings; altered and reduced the signage backing detailing into three distinct styles across the three historic lots; and, lowered the signage and signage backing closer to the reduced sized

awnings. This has unveiled more of the parapet, which also increases its perceived visible height.

- drawing package circulated by the applicant is well thought out;
- the project is challenging due to the significant pedestrian realm and ratio of building with active street frontage versus inactive areas at grade;
- if not a City requirement, consider increasing the scale of the low-profile opening roof hatches to improve the residents' access to the roof decks of residential units;

This is a valid point, and a point we support. The current stair accesses provide functional access to the roof top decks with a sensitivity to height variances - We would need City Staff support to pursue full-height stair access.

- consider getting mechanical and code consultants on board as soon as possible in view of their potential impacts to the project;

Both consultants are already employed and integral members of the design team - with a focus on minimizing the buildings impact.

- in view of the iconic nature and sensitivity of the proposed project, Panel comments should not adversely impact the earlier comments of project stakeholders in community consultations on the project;
- agree with Panel comments regarding enhancing the landscaping treatment on the second level exterior courtyard to provide more separation and screening for residential units at the northeast corner;

This area is now populated with additional landscaping (please see landscape plan A4.02).

- considering that the applicant is requesting a height variance for the project, it was recommended to the applicant to explore, in consultation with staff, increasing the height of the roof hatches to allow them to be full height for the purpose of improving residents' access to the rooftop decks;
- the proposed project will be successful subject to completion of details on the public realm at ground level and street frontage treatments;
- support the proposed glass guard rails on rooftop deck areas; however, the applicant needs to address privacy issues between individual roof deck spaces;
- agree with comment to introduce planting at the rear entry of townhouse units and overlooking the lane; also consider integrating urban agriculture; blank wall along the wall of the two-storey townhouse units adjacent to the outdoor amenity area can be utilized for community events, e.g. community movie night;
- consider varying the parapet heights of the one-storey commercial units along the Moncton Street façade;

Please refer to response to same comment above.

- consider increasing the colour contrast between the podium and upper levels of the building; and
Please refer to earlier response regarding colour changes.
- overall, the proposed project is successful.

Panel Decision

It was moved and seconded

That DP 16-753377 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



City of Richmond

Development Permit

No. DP 16-753377

To the Holder: Platform Properties (Steveston) Ltd. and
Platform Properties (Steveston Residential) Ltd.

Property Address: 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580
& 3600 Chatham Street

Address: 900 - 1200 West 73rd Avenue
Vancouver, BC V6P 6G5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Increase the maximum permitted building height up to 1.5 m to allow portions of the building's roof and rooftop deck structures to project beyond the maximum permitted building height of 12 m and 9 m in the "Commercial Mixed Use (ZMU33) – Steveston Village" zone.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #25 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$77,367 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 16-753377

To the Holder: Platform Properties (Steveston) Ltd. and
Platform Properties (Steveston Residential) Ltd.

Property Address: 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580
& 3600 Chatham Street

Address: 900 - 1200 West 73rd Avenue
Vancouver, BC V6P 6G5

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

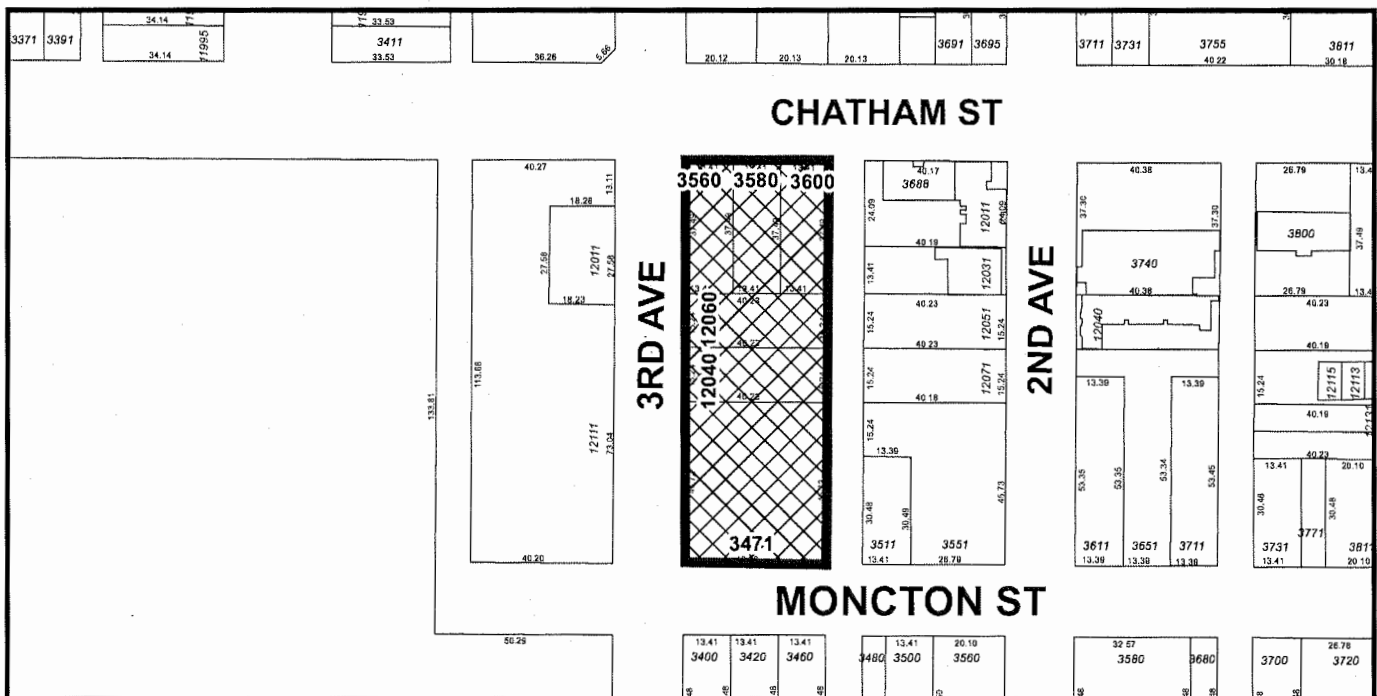
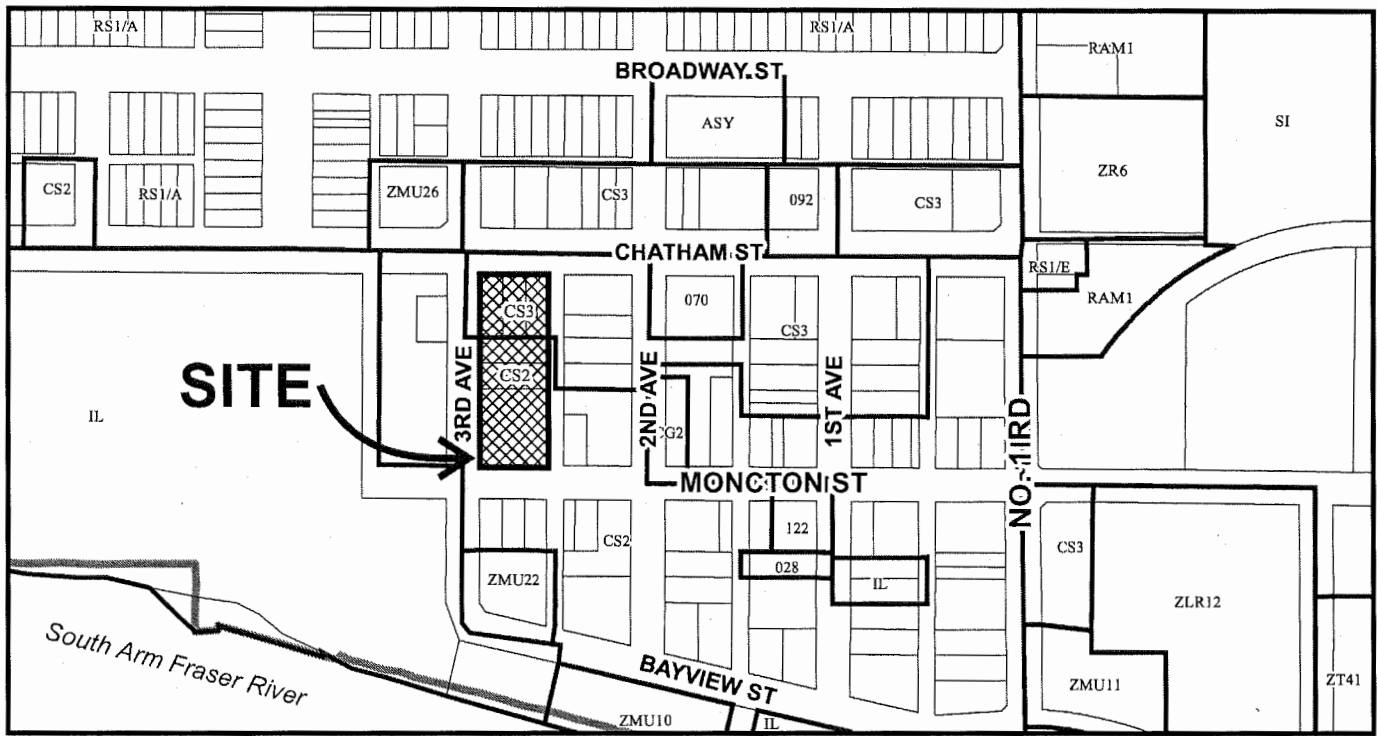
DELIVERED THIS DAY OF , .

MAYOR

SCHEDULE A



City of
Richmond



DP 16-753377

Original Date: 12/05/16

Revision Date:

Note: Dimensions are in METRES



City of Richmond

6911 No. 3 Road
Richmond, BC V6Y 2C1
www.richmond.ca

Heritage Alteration Permit Development Applications Division

No.: HA 17-763809

To the Holder: Platform Properties (Steveston) Ltd. and
Platform Properties (Steveston Residential) Ltd.

Property Address: 3471 Moncton Street, 12040 & 12060 3rd Avenue and 3560, 3580 & 3600
Chatham Street

Legal Description: P.I.D. 004-257-944
LOT A BLOCK 7 SECTION 10 BLOCK 3 NORTH RANGE 7 WEST
NEW WESTMINSTER DISTRICT PLAN 249

P.I.D. 003-713-254
LOT 14 BLOCK 7 SECTION 10 BLOCK 3 NORTH RANGE 7 WEST
NEW WESTMINSTER DISTRICT PLAN 249

P.I.D. 003-427-323
LOT 13 BLOCK 7 SECTION 10 BLOCK 3 NORTH RANGE 7 WEST
NEW WESTMINSTER DISTRICT PLAN 249

P.I.D. 004-062-841
LOT 12 BLOCK 7 SECTION 10 BLOCK 3 NORTH RANGE 7 WEST
NEW WESTMINSTER DISTRICT PLAN 249

P.I.D. 003-969-720
LOT 11 BLOCK 7 SECTION 10 BLOCK 3 NORTH RANGE 7 WEST
NEW WESTMINSTER DISTRICT PLAN 249

P.I.D. 004-138-651
LOT 10 BLOCK 7 SECTION 10 BLOCK 3 NORTH RANGE 7 WEST
NEW WESTMINSTER DISTRICT PLAN 249

(s.972, *Local Government Act*)

1. (Reason for Permit) ☐ Designated Heritage Property (s.967)
☐ Property Subject to Temporary Protection (s.965)
☐ Property Subject to Heritage Revitalization Agreement (s.972)
☒ Property in Heritage Conservation Area (s.971)
☐ Property Subject to s.219 Heritage Covenant
2. This Heritage Alteration Permit is issued in accordance with approved Development Permit DP 16-753377
3. This Heritage Alteration Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.

4. If the alterations authorized by this Heritage Alteration Permit are not completed within 24 months of the date of this Permit, this Permit lapses.

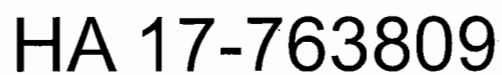
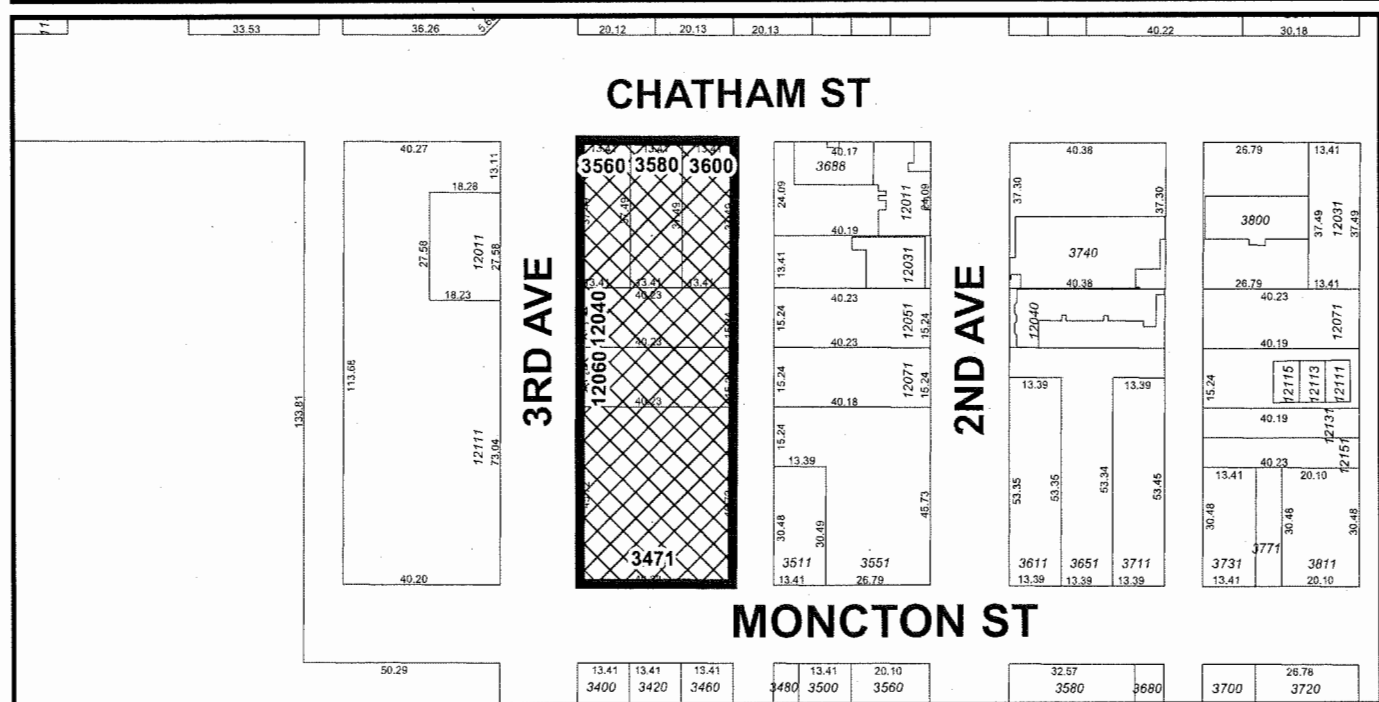
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF

DELIVERED THIS DAY OF ,

MAYOR

CORPORATE OFFICER

IT IS AN OFFENCE UNDER THE *LOCAL GOVERNMENT ACT*, PUNISHABLE BY A FINE OF UP TO \$50,000 IN THE CASE OF AN INDIVIDUAL AND \$1,000,000 IN THE CASE OF A CORPORATION, FOR THE HOLDER OF THIS PERMIT TO FAIL TO COMPLY WITH THE REQUIREMENTS AND CONDITIONS OF THE PERMIT.



Note: Dimensions are in METRES

PROJECT INFORMATION

CIVIC ADDRESS

3471 Moncton Street,
12060 3rd Avenue,
12040 3rd Avenue,
3560 Chatham Street,
3580 Chatham Street,
3600 Chatham Street,
Richmond, B.C. Canada.

LEGAL ADDRESS

A, 10,11,12,13,14 SEC 10 BLK3N RG7W PL 249 Suburban Block 7

CURRENT ZONING

[PENDING] Commercial Mixed Use (ZMU33) - Steveston Village

PROJECT TEAM

APPLICANT

Platform Properties (Steveston) Ltd.
900- 1200 West 73rd Avenue, Vancouver BC V6P 6G5 Canada
Contact: Kyle Shury, Principal
T +1 (604) 563 5000 E kyle@platformproperties.ca

ARCHITECT

ZGF Cotter Architects Inc.
838 West Hastings Street, Suite 901, Vancouver BC V6C 0A6
Contact: Liam Davis
T +1 (604) 558 8390 E liam.davis@zgf.com

CIVIL ENGINEER

Core Concept Consulting Ltd.
#220-2639 Viking Way, Richmond BC V6V 3B7
Contact: Bruce C. Duffy
T +1 (604) 249 5040 E bcduffy@coreconceptconsulting.com

DRAWING LIST

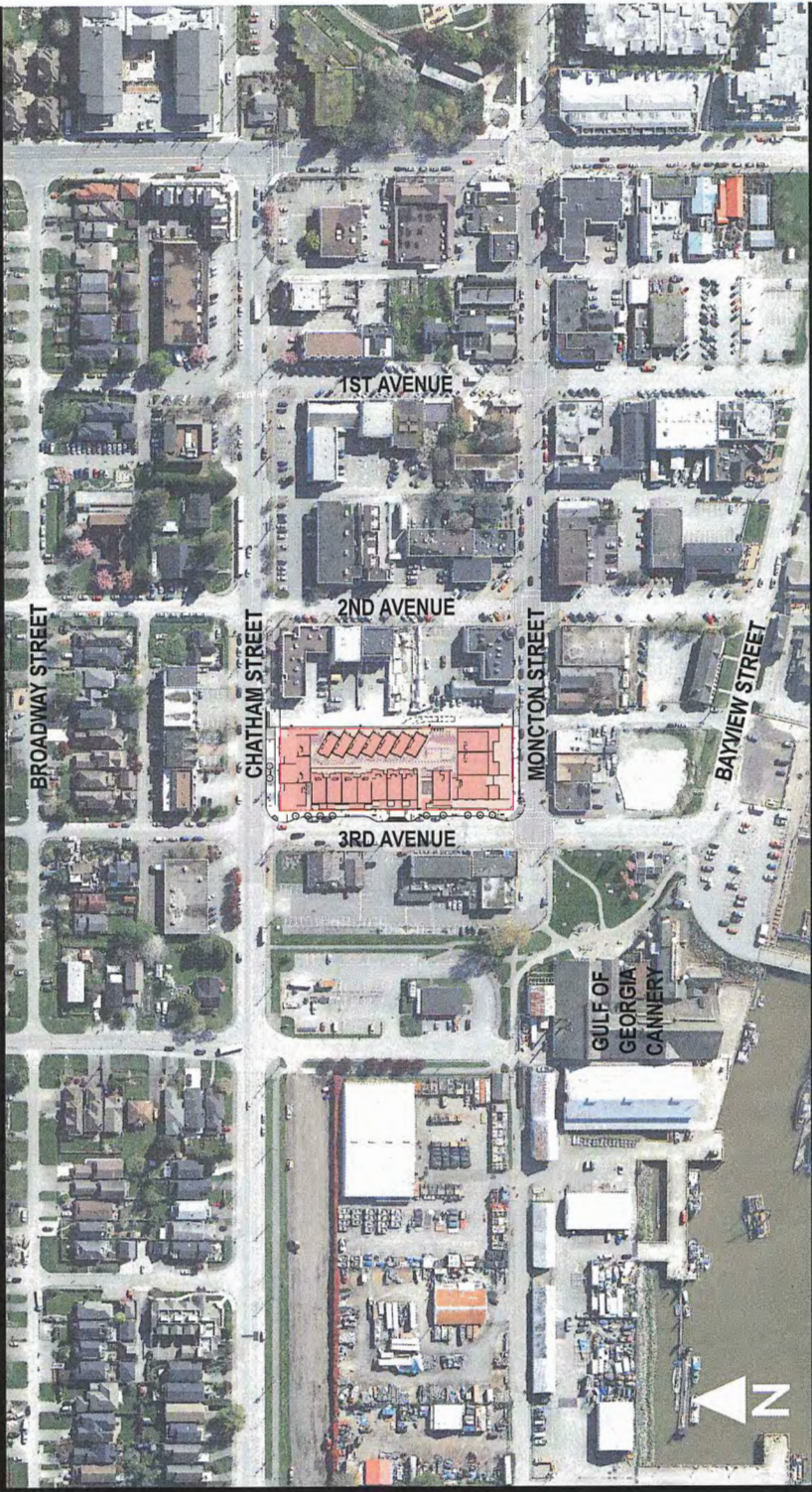
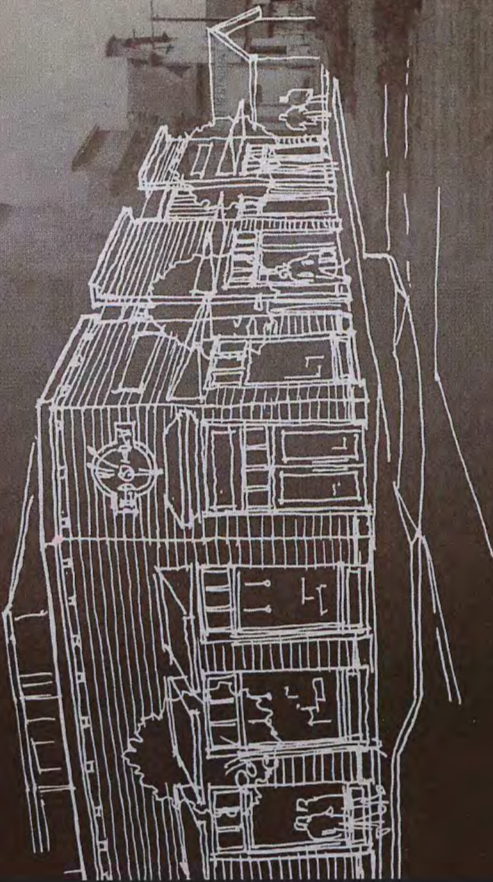
ARCHITECTURAL

- | | |
|-------|---|
| A0.01 | COVER SHEET |
| A0.02 | DEVELOPMENT DATA |
| A0.03 | PLAN, SURVEY |
| A0.04 | CONTEXT PLAN |
| A0.05 | PLAN, AREA OVERLAY |
| A0.06 | SHADOW STUDY |
| A2.01 | PLAN, LEVEL 1 / P1, SITE PLAN |
| A2.02 | PLAN, LEVEL P2 |
| A2.03 | PLAN, LEVEL 2 |
| A2.04 | PLAN, LEVEL 3 |
| A2.05 | PLAN, ROOF |
| A3.01 | STREETSCAPE ELEVATIONS |
| A3.02 | ELEVATIONS, WEST |
| A3.03 | ELEVATIONS, NORTH AND SOUTH |
| A3.04 | ELEVATIONS, EAST |
| A3.05 | SECTIONS, BUILDING |
| A3.06 | 3D VIEWS, BIRDS EYE LEVEL |
| A3.07 | 3D VIEWS, EYE LEVEL |
| A3.08 | INTERIOR COURTYARD ELEVATIONS, WEST |
| A3.09 | INTERIOR COURTYARD ELEVATIONS, NORTH AND SOUTH |
| A3.10 | INTERIOR COURTYARD ELEVATIONS, EAST |
| A3.11 | 3D VIEW, INTERIOR COURTYARD |
| A3.20 | GUARDRAIL & LIGHT FIXTURE DETAILS |
| A3.21 | AWNING AND CANOPY DETAILS |
| A4.01 | LANDSCAPE PLAN, LEVEL 1 OFF-SITE STREET TREATMENT |
| A4.02 | LANDSCAPE PLAN, LEVEL 2 PODIUM COURTYARD |
| A6.00 | BASIC UNIVERSAL HOUSING FEATURES |

APR 18 2017

DP 16-753377

THE RODERICK
EST. 2017
in Steveston Village



ISSUED FOR: DEVELOPMENT PERMIT RESUBMISSION

PROJECT NUMBER: V23366
ISSUED DATE: 24th April, 2017

ZGF
COTTER

207 COTTER ARCHITECTS INC.
901-838 West Hastings Street, Vancouver, BC V6C 0A6
TEL: 604-272-1471 FAX: 604-272-1471 EMAIL: info@zgf.com
WEB: www.zgf.com

DEVELOPMENT DATA

GROSS SITE AREA	49,191 SqFt	4,570 SqM
LOT COVERAGE	100%	
TOTAL RETAIL AREA	25,769 SqFt	2,394.05 SqM
TOTAL RESIDENTIAL AREA	48,521 SqFt	4,507.76 SqM
COMMON STAIRWELLS, ELEVATOR SHAFT & LOBBY	559 SqFt	51.91 SqM
GROSS FLOOR AREA	74,849 SqFt	6,953.71 SqM
		(COUNTED ONCE ON GROUND FLOOR)
FLOOR AREA RATIO	1.53 F.A.R	1.52 F.A.R* - WITH UNIVERSAL ACCESSIBILITY DENSITY EXCLUSIONS INCLUDED
NET SELLABLE	74,290 SqFt	6,901.81 SqM
NET SELLABLE/GFA (BUILDING EFFICIENCY)	99.25%	

PARKING CALCULATIONS

PARKING STALLS REQUIRED:		
COMMERCIAL	48 STALLS	2.0 STALLS PER 100SqM
RESIDENTIAL	48 STALLS	1.5 STALLS PER DWELLING UNIT
VISITOR	7 STALLS*	0.2 STALLS PER DWELLING UNIT
	*TO BE INCLUDED IN COMMERCIAL PARKING ALLOCATION	

PARKING STALLS PROVIDED:

LEVEL P1 - COMMERCIAL & VISITOR STALLS	54 STALLS
LEVEL P2 - RESIDENTIAL STALLS	48 STALLS
TOTAL PARKING STALLS PROVIDED	102 STALLS

OF WHICH:

LEVEL P1 WHEELCHAIR ACCESSIBLE STALLS	2 STALLS	3.7% OF TOTAL P1 STALLS (2% REQUIRED)
LEVEL P2 WHEELCHAIR ACCESSIBLE STALLS	1 STALLS	2.1% OF TOTAL P2 STALLS (2% REQUIRED)
		2.9% OF TOTAL STALLS (2% REQUIRED)
LEVEL P1 SMALL STALLS	17 STALLS	31.5% OF TOTAL P1 STALLS (MAXIMUM 50% ALLOWABLE FOR >31 STALLS)
LEVEL P2 SMALL STALLS	13 STALLS	27.1% OF TOTAL P2 STALLS (MAXIMUM 50% ALLOWABLE FOR >31 STALLS)
		29.4% OF TOTAL STALLS (MAXIMUM 50% ALLOWABLE FOR >31 STALLS)

ELECTRIC VEHICLE STALLS REQUIRED:

STALLS WITH 120v RECEPTICLE	20 STALLS	20% OF TOTAL STALLS
ADDITIONAL STALLS CONSTRUCTED TO ACCOMMODATE...	26 STALLS	25% OF TOTAL STALLS - in addition to above

ELECTRIC VEHICLE STALLS PROVIDED:

LEVEL P1 - STALLS WITH 120v RECEPTICLE	11 STALLS	20% OF P1 STALLS
LEVEL P1 - ADDITIONAL STALLS CONSTRUCTED TO ACCOMMODATE FUTURE 120V RECEPTICLE	14 STALLS	26% OF P1 STALLS
LEVEL P2 - STALLS WITH 120v RECEPTICLE	10 STALLS	21% OF P2 STALLS
LEVEL P2 - ADDITIONAL STALLS CONSTRUCTED TO ACCOMMODATE FUTURE 120V RECEPTICLE	12 STALLS	25% OF P2 STALLS
TOTAL ELECTRIC VEHICLE STALLS PROVIDED	21 STALLS WITH 120v RECEPTICLE	
	26 ADDITIONAL STALLS CONSTRUCTED TO ACCOMMODATE FUTURE 120V RECEPTICLE	

BICYCLE STORAGE CALCULATIONS

BICYCLE SPACES REQUIRED:

COMMERCIAL	7 CLASS 1 SPACES	0.27 SPACES PER EACH 100SqM
	10 CLASS 2 SPACES	0.4 SPACES PER EACH 100SqM
RESIDENTIAL	40 CLASS 1 SPACES	1.25 SPACES PER DWELLING UNIT
	7 CLASS 2 SPACES	0.20 SPACES PER DWELLING UNIT
TOTAL BICYCLE SPACES REQUIRED	47 CLASS 1 SPACES	
	17 CLASS 2 SPACES	

PARKING STALLS PROVIDED:

COMMERCIAL	7 CLASS 1 SPACES - P1 BICYCLE STORAGE ROOM
	13 CLASS 2 SPACES - BICYCLE RACKS ALONG MONCTON ST, 3RD AVE. & CHATHAM ST. SIDEWALK
RESIDENTIAL	40 CLASS 1 SPACES - P1 AND P2 BICYCLE STORAGE ROOMS
	13 CLASS 2 SPACES - BICYCLE RACKS ALONG MONCTON ST, 3RD AVE. & CHATHAM ST. SIDEWALK

GFA SUMMARY

LEVEL 1/GROUND FLOOR:		
RETAIL NORTH	20,403 SqFt	1,895.48 SqM
RETAIL SOUTH	5,367 SqFt	498.57 SqM
TOTAL RETAIL	25,769 SqFt	2,394.05 SqM
COMMON STAIRWELLS, ELEVATOR SHAFT & LOBBY	559 SqFt	51.91 SqM
LEVEL 1/GROUND FLOOR TOTAL	26,328 SqFt	2,445.96 SqM

LEVEL 2:

UNIT TYPE	NO.	UNIT AREA	TOTAL AREA
UNIT TYPE A	1 x UNIT	2,559 SqFt	237.76 SqM
UNIT TYPE B	2 x UNITS	2,405 - 2,410 SqFt	4,816 SqFt
UNIT TYPE C1	1 x UNIT	1,650 SqFt	153.28 SqM
* UNIT TYPE D1	7 x UNITS	1,293 - 1,302 SqFt	9,069 SqFt
UNIT TYPE E1	1 x UNIT	1,549 SqFt	143.88 SqM
UNIT TYPE F1	1 x UNIT	1,421 SqFt	132.00 SqM
UNIT TYPE G1	1 x UNIT	1,512 SqFt	140.46 SqM
UNIT TYPE TH (includes both townhouse levels)	7 x UNITS	1,533 - 1,539 SqFt	10,741 SqFt
LEVEL 2 TOTAL	21 x UNITS	33,316 SqFt	3,095.18 SqM

LEVEL 3:

UNIT TYPE	NO.	UNIT AREA	TOTAL AREA
UNIT TYPE C2	1 x UNIT	1,654 SqFt	153.68 SqM
* UNIT TYPE D2	7 x UNITS	1,293 - 1,302 SqFt	9,069 SqFt
UNIT TYPE E2	1 x UNIT	1,549 SqFt	143.88 SqM
UNIT TYPE F2	1 x UNIT	1,421 SqFt	132.00 SqM
UNIT TYPE G2	1 x UNIT	1,512 SqFt	140.46 SqM
LEVEL 2 TOTAL	11 x UNITS	15,205 SqFt	1,412.58 SqM

TOTAL RESIDENTIAL	32 x UNITS	48,521 SqFt	4,507.76 SqM
-------------------	------------	-------------	--------------

TOTAL GFA		74,849 SqFt	6,953.71 SqM
-----------	--	-------------	--------------

AMENITY SPACE CALCULATIONS

AMENITY SPACE REQUIRED:	65 SqFt	6 SqM	PER DWELLING UNIT
	2,067 SqFt	192 SqM	TOTAL SPACE REQUIRED

AMENITY SPACE PROVIDED:	2,152 SqFt	200 SqM	PROVIDED ON LEVEL 2 PODIUM
-------------------------	------------	---------	----------------------------

SETBACK INFORMATION

A 0m (0ft) setback is proposed to all property lines. The scheme is intending to extend its building mass and protruding building elements up to all property lines. It is this design intention which creates a strong street wall presence along the sidewalk and continues the urban fabric typical of Steveston Village. This excludes the proposed fabric awnings, canopies and roof overhangs, which currently project over the sidewalk.

CMBC WASHROOM

CMBC WASHROOM:	86 SqFt	8 SqM	*EXCLUDED FROM F.A.R
LOCATED AT NORTHEAST CORNER OF LEVEL 1			

UNIVERSAL ACCESSIBILITY PROVISIONS & DENSITY BONUS

This scheme is currently over it's allowable density of 1.52 FAR. However a number of units will be applicable for bonus density under the Floor Area Exemption for Basic Universal Housing Features - which will allow for a 1.86 SqM / 20 SqFt floor area exemption from the density calculation per unit compliant with the 4.16 Basic Universal Housing Features requirements.

* Denotes Unit Plans designed to allow for the spatial requirements (i.e. door clear opening widths, maneuvering space, appropriately sized kitchen and bathrooms) to accommodate future conversion to comply with 4.16 Basic Universal Housing Features.

Number of units built to comply with 4.16 Basic Universal Housing Features (specific units identified on drawing A2.03 Plan, Level 2)	4 Units	X	20 SqFt	1.86 SqM
	Total Density Bonus	=	80 SqFt	7.44 SqM
	Total Allowable GFA (inc. Density Bonus)	=	74850 SqFt	6953.84 SqM

Aging in Place Features

All 32 units across the scheme will be designed to incorporate Aging in Place features. These features will include: stairwell handrails (where applicable); lever type handles for plumbing fixtures and doors; And solid blocking in washroom walls for future grab bars beside the toilet, bathtub and shower.

NOTES:

#1

APR 18 2017

DP 16-753377

NO.	Description	Date
ISSUED:		

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

301 COTTER ARCHITECTS INC.
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL (604) 582 8380 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Steveston Village
CLIENT:

plat:form

PROJECT ADDRESS
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES WILL REMAIN, THE SOLE PROPERTY OF ZGF & COTTER ARCHITECTS INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DRAWN	LD	SCALE
CHECKED	PC	SCALE
DATE	4/25/2017	4:50:52 PM
SHEET TITLE	DEVELOPMENT DATA	

DRAWING NO.

A0.02

REV:



NOTES:



#2

APR 18 2017

DP 16-753377

NO.	Description	Date
ISSUED		

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

307 COTTER ARCHITECTS INC.
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 681 8333 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT
THE RODERICK
EST. 2017
in Harrison Village

CLIENT

plat:form

PROJECT ADDRESS
Moncton St. and 3rd Ave., Steveston, Richmond BC
COTTAGE ARCHITECTS INC. AND ZGF ARCHITECTS INC. ARE NOT
RESPONSIBLE FOR ANY AND ALL ACTIONS TAKEN
AGAINST THE EXCLUSIVE PROPERTY OF COTTER ARCHITECTS INC. AND
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SCALE
CHECKED	PC	1/8" = 1'-0"
JOB NO.	V23586	
DATE	4/5/2017	
	3:43:43 PM	

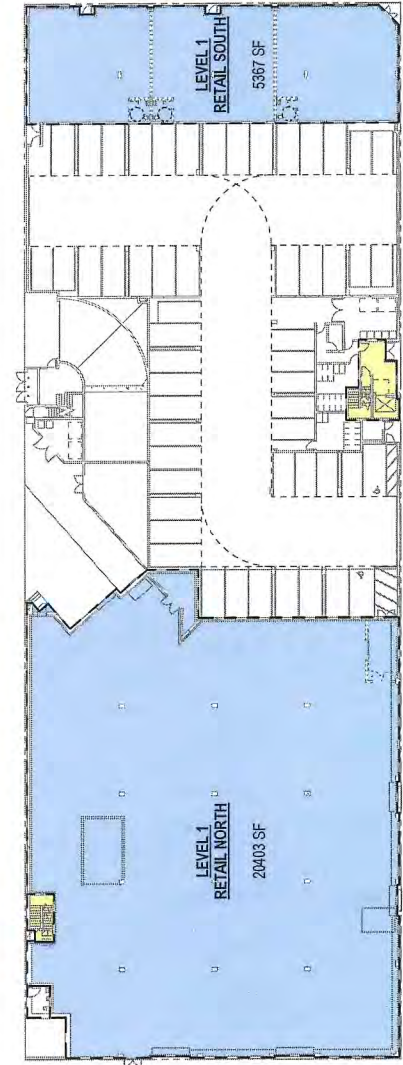
SHEET TITLE

CONTEXT PLAN

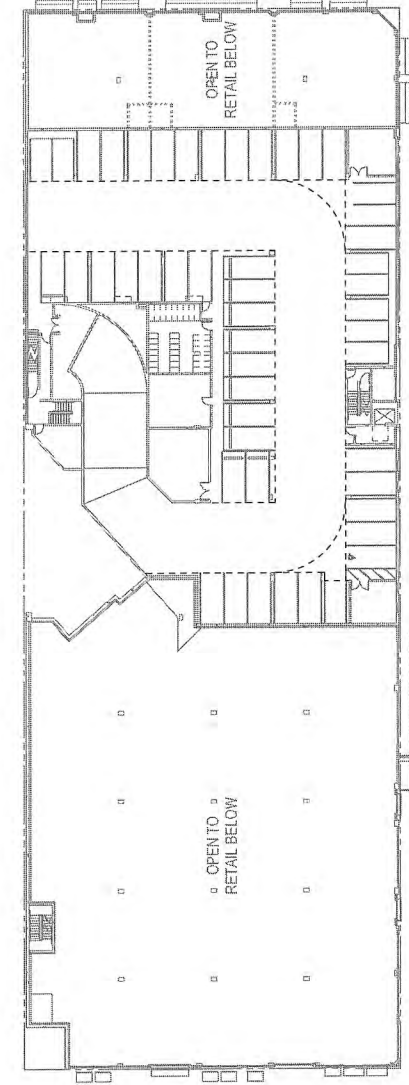
DRAWING NO.

A0.04

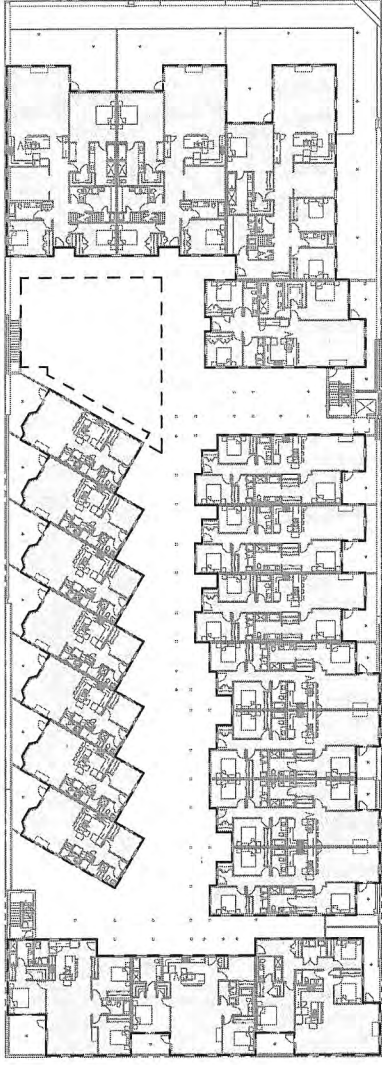
REV:



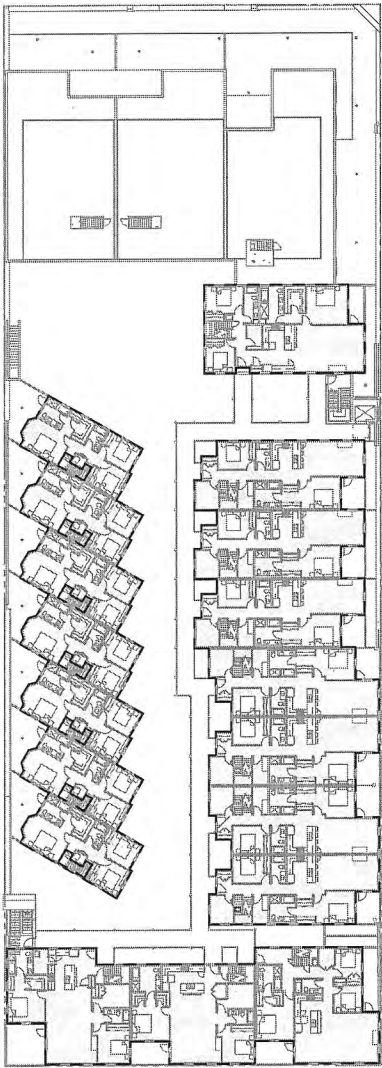
1 AREA OVERLAY PLAN, LEVEL 1/P1
A0.05 1/32" = 1'-0"



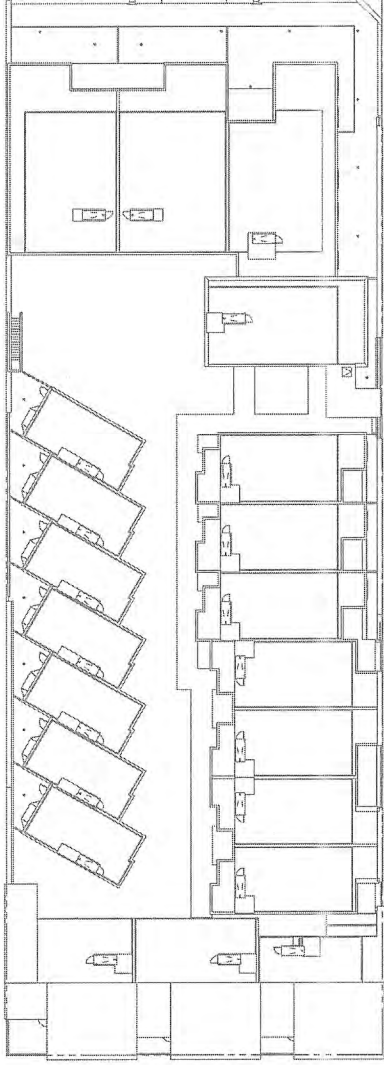
2 AREA OVERLAY PLAN, LEVEL P2
A0.05 1/32" = 1'-0"



3 AREA OVERLAY PLAN, LEVEL 2
A0.05 1/32" = 1'-0"



4 AREA OVERLAY PLAN, LEVEL 3
A0.05 1/32" = 1'-0"



5 AREA OVERLAY PLAN, ROOF
A0.05 1/32" = 1'-0"



NOTES:

LEGEND

- LEVEL 1 RETAIL NORTH
- LEVEL 1 RETAIL SOUTH
- LEVEL 1 COMMON STAIRWELLS, ELEVATOR SHAFT & LOBBY
- LEVEL 2 RESIDENTIAL
- LEVEL 3 RESIDENTIAL

NO.	Description	Date
-----	-------------	------

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

207 COTTER ARCHITECTS INC.
838 West Hastings St. Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 553-8386 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in *Stratton Village*

CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COTTER ARCHITECTS INC. AND ZGF ARCHITECTS INC. ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATION ONLY AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

NO.	DESCRIPTION	DATE
1	ISSUED	
2	REVISION	
3	REVISION	
4	REVISION	
5	REVISION	
6	REVISION	
7	REVISION	
8	REVISION	
9	REVISION	
10	REVISION	
11	REVISION	
12	REVISION	
13	REVISION	
14	REVISION	
15	REVISION	
16	REVISION	
17	REVISION	
18	REVISION	
19	REVISION	
20	REVISION	
21	REVISION	
22	REVISION	
23	REVISION	
24	REVISION	
25	REVISION	
26	REVISION	
27	REVISION	
28	REVISION	
29	REVISION	
30	REVISION	
31	REVISION	
32	REVISION	
33	REVISION	
34	REVISION	
35	REVISION	
36	REVISION	
37	REVISION	
38	REVISION	
39	REVISION	
40	REVISION	
41	REVISION	
42	REVISION	
43	REVISION	
44	REVISION	
45	REVISION	
46	REVISION	
47	REVISION	
48	REVISION	
49	REVISION	
50	REVISION	
51	REVISION	
52	REVISION	
53	REVISION	
54	REVISION	
55	REVISION	
56	REVISION	
57	REVISION	
58	REVISION	
59	REVISION	
60	REVISION	
61	REVISION	
62	REVISION	
63	REVISION	
64	REVISION	
65	REVISION	
66	REVISION	
67	REVISION	
68	REVISION	
69	REVISION	
70	REVISION	
71	REVISION	
72	REVISION	
73	REVISION	
74	REVISION	
75	REVISION	
76	REVISION	
77	REVISION	
78	REVISION	
79	REVISION	
80	REVISION	
81	REVISION	
82	REVISION	
83	REVISION	
84	REVISION	
85	REVISION	
86	REVISION	
87	REVISION	
88	REVISION	
89	REVISION	
90	REVISION	
91	REVISION	
92	REVISION	
93	REVISION	
94	REVISION	
95	REVISION	
96	REVISION	
97	REVISION	
98	REVISION	
99	REVISION	
100	REVISION	

PLAN, AREA
OVERLAY

#3
APR 18 2017

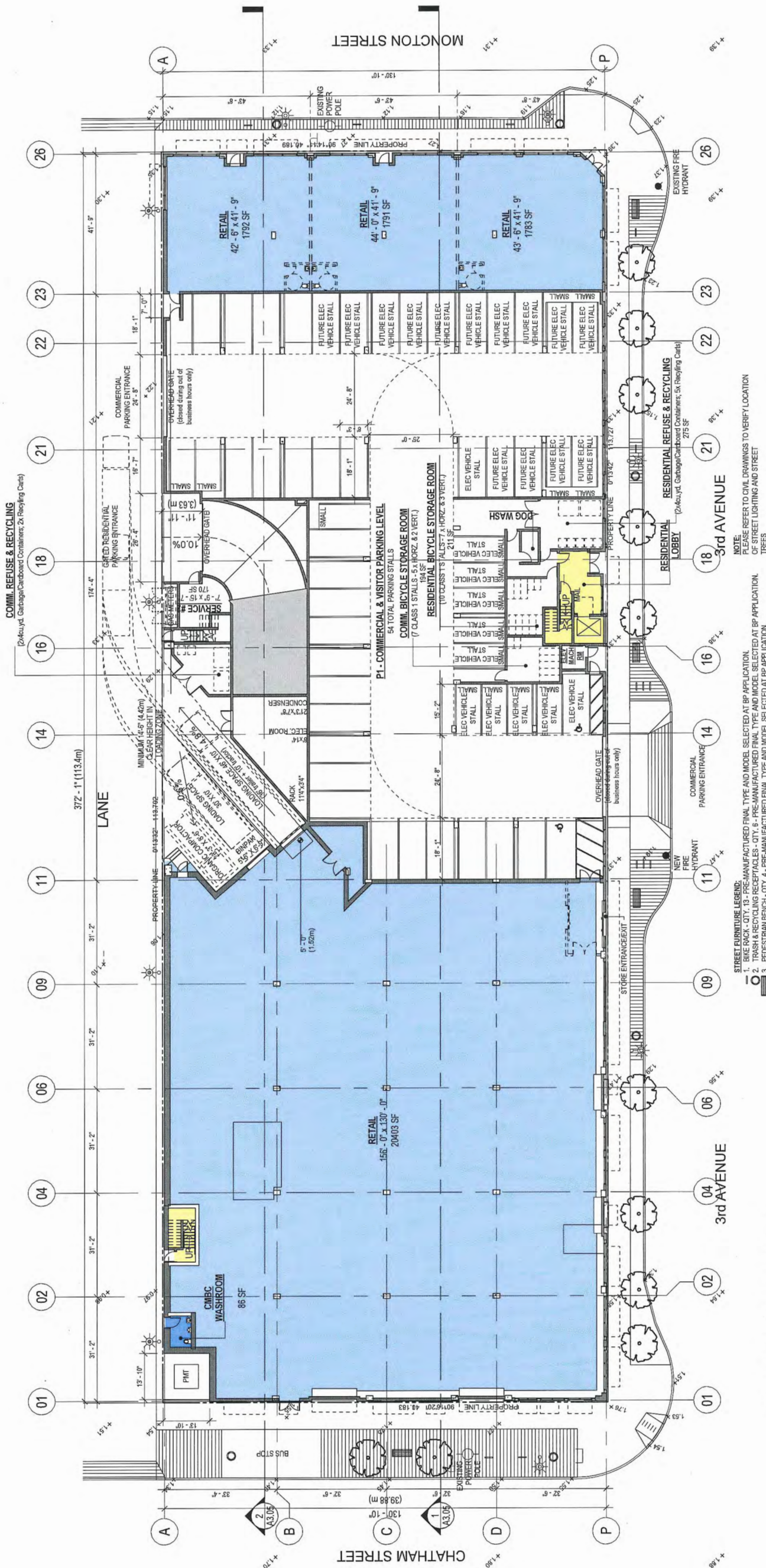
DRAWING NO. REV.
A0.05

DP 16-753377

GROSS FLOOR AREA CALCULATION	
LEVEL 1 COMMON STAIRWELLS, ELEVATOR SHAFT & LOBBY	559 SF
LEVEL 1 RETAIL NORTH	20403 SF
LEVEL 1 RETAIL SOUTH	5387 SF
LEVEL 2 RESIDENTIAL	28066 SF
LEVEL 3 RESIDENTIAL	20456 SF
TOTAL GFA:	74849 SF



NOTES:



STREET FURNITURE LEGEND:
1. BIKE RACK - QTY. 13 - PRE-MANUFACTURED FINAL TYPE AND MODEL SELECTED AT BP APPLICATION.
2. TRASH & RECYCLING RECEPTACLES - QTY. 6 - PRE-MANUFACTURED FINAL TYPE AND MODEL SELECTED AT BP APPLICATION.
3. PEDESTRIAN BENCH - QTY. 4 - PRE-MANUFACTURED FINAL TYPE AND MODEL SELECTED AT BP APPLICATION.

NOTE:
PLEASE REFER TO CIVIL DRAWINGS TO VERIFY LOCATION OF STREET LIGHTING AND STREET TREES

1 PLAN, LEVEL 1/P1, SITE PLAN
A2.01 1/16" = 1'-0"

#4

APR 18 2017

DP 16-753377

ISSUED
Description
Date

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

307 COTTER ARCHITECTS INC.
838 West Hastings St. Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 581 8300 EMAIL: info@zgf.com
WEB: www.zgf.com

THE RODERICK
EST. 2017
in Austin Village

CLIENT:

plat:form

PROJECT ADDRESS
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AT ALL TIMES
REMAIN THE EXCLUSIVE PROPERTY OF COTTER ARCHITECTS INC. AND
CANNOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY
MEANS WITHOUT THE WRITTEN CONSENT OF COTTER ARCHITECTS INC.

DRAWN	LD	SEAL
CHECKED	PC	
SCALE	1/16" = 1'-0"	
JOB No.	V23396	
DATE	4/24/2017	
SHEET TITLE	11:44:57 AM	

PLAN, LEVEL 1 /
P1, SITE PLAN

DRAWING NO.	REV.
A2.01	A2.01



NOTES:


$$\frac{A2.02}{1/16" = 1'-0"}$$

PLAN, LEVEL P2

5#

APR 18 2017

DP 16-753377

DRAWING NO: **A2.02**

REV:

NO.	Description	Date
-----	-------------	------

DP F

DP RESUBMISSION

ZGF
COTTER

ZGF COTTER ARCHITECTS INC.

838 West Hastings St., Suite 901, Vancouver, BC V6C 2A6
TEL: (604) 558-8390 EMAIL: info@zgf.com

Web: www.egm.com

PROJECT

THE ROBERTICK
EST. 2017

EST. 2017

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES
REMAIN THE EXCLUSIVE PROPERTY OF COTTER ARCHITECTS INC. AND
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SEAL:
CHECKED:	PC	
SCALE:	1/16" = 1'-0"	
JOB No.	V23366	
DATE:	4/24/2017	
	11:44:59 AM	



NOTES:



1 PLAN, LEVEL 2
A2.03 1/16" = 1'-0"

#6
APR 18 2017

DP 16-753377

PROJECT STATUS
ISSUED
DESCRIPTION
DATE

DP RESUBMISSION

ZGF
COTTER

307 COTTER ARCHITECTS INC.
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 593-8300 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in *Stanton Village*

CLIENT:

plat:form

PROJECT ADDRESS:
MONTGOMERY ST. and 3rd Ave., Stevenson, Richmond BC
COTTER ARCHITECTS INC. IS THE ARCHITECT OF RECORD FOR THIS PROJECT. ALL RIGHTS ARE RESERVED AND NO PART OF THIS DRAWING CAN BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN PERMISSION.

DRAWN	LD	SCALE
CHECKED	PC	1/16" = 1'-0"
JOB No	V23396	
DATE	4/24/2017	
SHEET TITLE	PLAN, LEVEL 2	

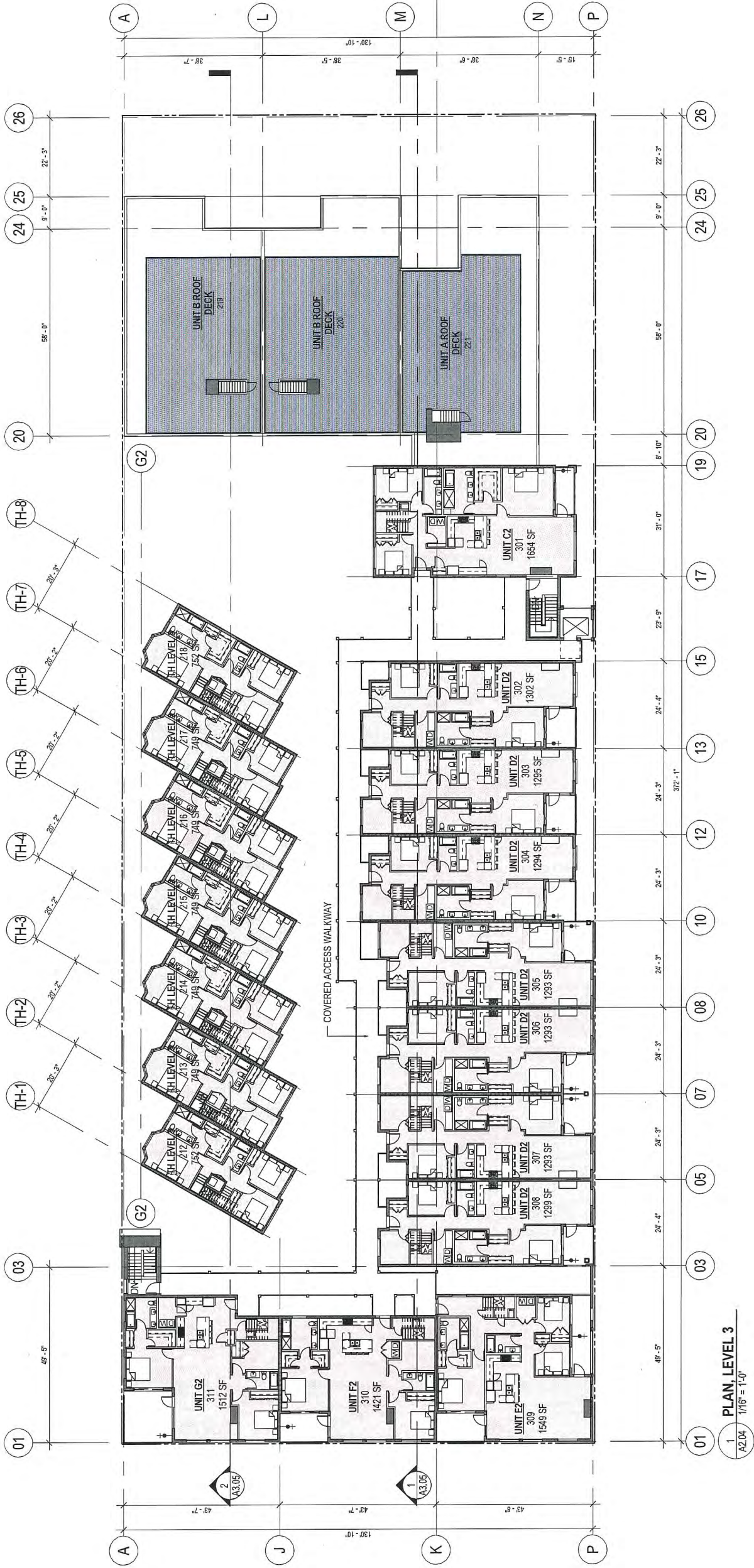
DRAWING NO.

A2.03

REV.



NOTES:



NO.	Description	Date
ISSUED		

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER
ZGF COTTER ARCHITECTS INC.
838 West Hastings St., Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 558-8389 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Harrison Village
CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
V7C 1A1
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE THE PROPERTY OF ZGF COTTER ARCHITECTS INC. AND ALL RIGHTS ARE RESERVED. NO PART OF THIS DOCUMENT
CAN BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SEAL
CHECKED	PC	
SCALE	1/16" = 1'-0"	
DATE	4/24/2017	
DATE	11:45:10 AM	
SHEET TITLE		

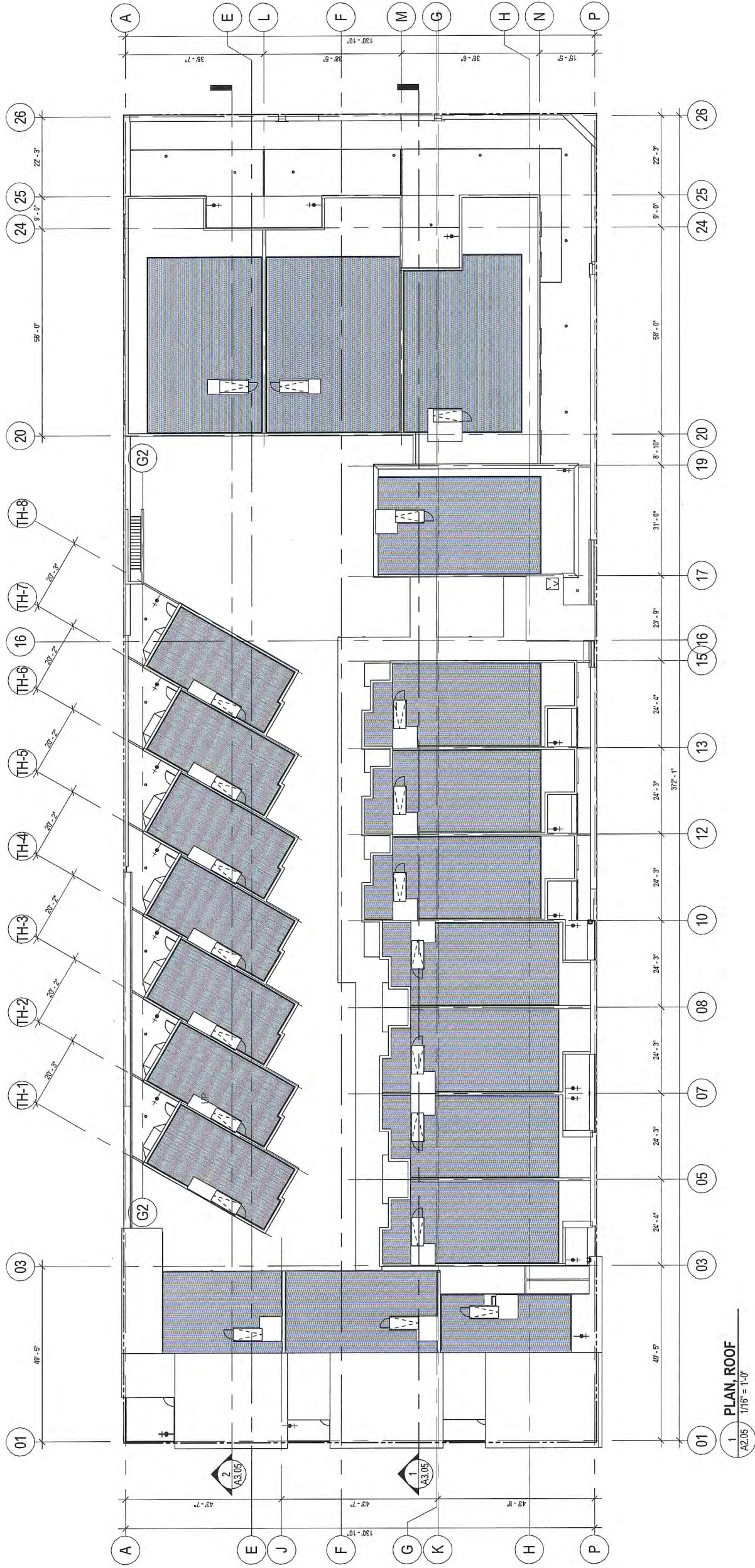
PLAN, LEVEL 3

#7
APR 18 2017

DRAWING NO.	REV.
DP 16-753377	A2.04



NOTES:



NO.	Description	Date
ISSUED		

PROJECT STATUS:
DP RESUBMISSION

ZGF
COTTER

305 COTTER ARCHITECTS INC.
855 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 581-8380 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Harrison Village

CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES
SHALL REMAIN, THE SOLE PROPERTY OF ZGF COTTER ARCHITECTS INC.
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SEAL
CHECKED	PC	
SCALE	1/16" = 1'-0"	
JOB No.	V23365	
DATE	4/24/2017	
SHEET TITLE	11:45:12 AM	

PLAN, ROOF

#8

APR 18 2017

DP 16-753377 A2.05

DRAWING NO.	REV.

NOTES:

#9

APR 18 2017

DP 16-753377

NO.	Description	Date
-----	-------------	------

ISSUED:

PROJECT STATUS:
DP RESUBMISSION

ZGF
COTTER

ZGF COTTER ARCHITECTS INC.
638 West Hastings St, Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 548 8300 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Harrison Village

CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES
WILL REMAIN, THE SOLE PROPERTY OF ZGF COTTER ARCHITECTS INC. AND
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SEAL
DESIGNED	PC	
SCALE	1/32" = 1'-0"	
AGE IN	V23366	
DATE	4/5/2017	
SHEET TITLE	3:54:13 PM	

STREETSCAPE
ELEVATIONS

DRAWING NO.

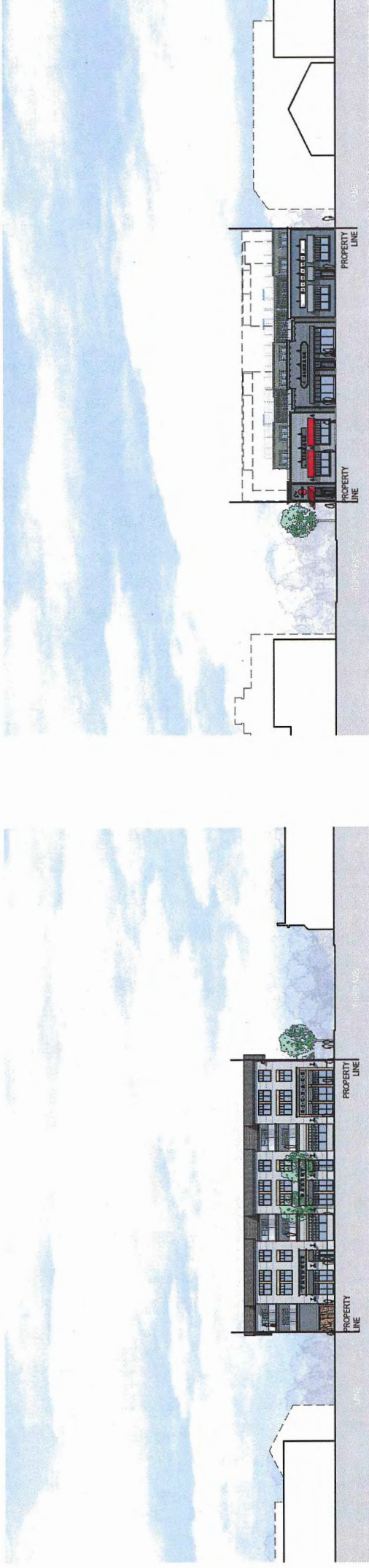
A3.01

REV.



1 STREETSCAPE ELEVATION, WEST (ALONG THIRD AVENUE)

A3.01 1/32" = 1'-0"



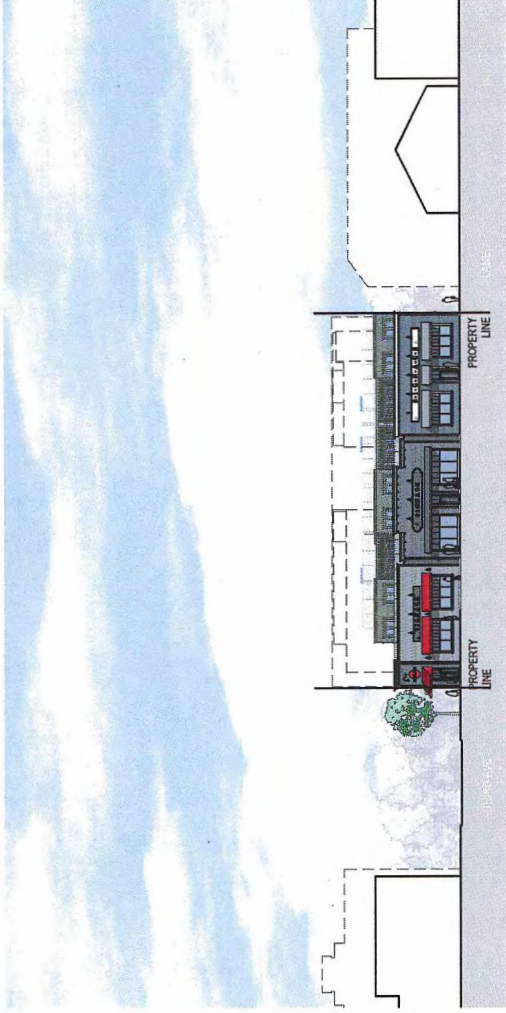
2 STREETSCAPE ELEVATION, NORTH (ALONG CHATHAM STREET)

A3.01 1/32" = 1'-0"



4 STREETSCAPE ELEVATION, EAST (ALONG LANEWAY)

A3.01 1/32" = 1'-0"



3 STREETSCAPE ELEVATION, SOUTH (ALONG MONCTON STREET)

A3.01 1/32" = 1'-0"



- NOTES:
- MATERIAL LEGEND
- 1 - ASPHALT SHINGLE ROOFING
 - 2 - ARCHITECTURAL CONCRETE
 - 3 - FIBER CEMENT PANEL SIDING
 - 4 - FIBER CEMENT LAP SIDING
 - 5 - FIBER CEMENT SHINGLE SIDING
 - 6 - PAINTED FASCIA (FIBER CEMENT RESEMBLING WOOD)
 - 7 - PAINTED TRIM (FIBER CEMENT RESEMBLING WOOD)
 - 8 - EXPOSED WOOD POSTS AND BEAMS
 - 9 - ANODIZED ALUMINUM STOREFRONT DOORS AND CLEAR GLAZED WINDOWS (SEE [21] FOR SPANDREL PANEL LOCATIONS)
 - 10 - VINYL WINDOWS AND DOORS
 - 12 - STRUCTURAL CLEAR GLASS GUARD
 - 12a - STRUCTURAL OPAQUE GLASS 6'-0" PRIVACY SCREEN
 - 13 - DECORATIVE METAL SECURITY SCREENING
 - 14 - METAL SECURITY SCREENING
 - 15 - FABRIC (NOT VINYL) AWNINGS (REMOVABLE)
 - 16 - STEEL FRAMED GLASS CANOPY (REMOVABLE)
 - 17 - PAINTED METAL DOOR
 - 18 - PAINTED WOOD GATE AND FENCING
 - 19 - CONCRETE PLANTERS
 - 20 - STEEL PLATE PLANTERS
 - 21 - SPANDREL PANEL - GLAZED UNIT WITH GREY BACKPAINT (FOR ANCHOR TENANT CRU)
- PROJECT STATUS: DP RESUBMISSION

1 ELEVATION, WEST (ALONG THIRD AVENUE)
1/8" = 1'-0"



- NOTES:
- MATERIAL LEGEND
- 1 - ASPHALT SHINGLE ROOFING
 - 2 - ARCHITECTURAL CONCRETE
 - 3 - FIBER CEMENT PANEL SIDING
 - 4 - FIBER CEMENT LAP SIDING
 - 5 - FIBER CEMENT SHINGLE SIDING
 - 6 - PAINTED FASCIA (FIBER CEMENT RESEMBLING WOOD)
 - 7 - PAINTED TRIM (FIBER CEMENT RESEMBLING WOOD)
 - 8 - EXPOSED WOOD POSTS AND BEAMS
 - 9 - ANODIZED ALUMINUM STOREFRONT DOORS AND CLEAR GLAZED WINDOWS (SEE [21] FOR SPANDREL PANEL LOCATIONS)
 - 10 - VINYL WINDOWS AND DOORS
 - 12 - STRUCTURAL CLEAR GLASS GUARD
 - 12a - STRUCTURAL OPAQUE GLASS 6'-0" PRIVACY SCREEN
 - 13 - DECORATIVE METAL SECURITY SCREENING
 - 14 - METAL SECURITY SCREENING
 - 15 - FABRIC (NOT VINYL) AWNINGS (REMOVABLE)
 - 16 - STEEL FRAMED GLASS CANOPY (REMOVABLE)
 - 17 - PAINTED METAL DOOR
 - 18 - PAINTED WOOD GATE AND FENCING
 - 19 - CONCRETE PLANTERS
 - 20 - STEEL PLATE PLANTERS
 - 21 - SPANDREL PANEL - GLAZED UNIT WITH GREY BACKPAINT (FOR ANCHOR TENANT CRU)
- PROJECT STATUS: DP RESUBMISSION

1 ELEVATION, WEST (ALONG THIRD AVENUE) CONTINUED
1/8" = 1'-0"

ZGF
COTTER

888 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 594-8300 EMAIL: info@zgf.com
WEB: www.zgf.com

THE RODERICK
EST. 2017
in Harrison Village

plat:form

PROJECT ADDRESS: Moncton St. and 3rd Ave., Steweston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES WILL REMAIN, THE SOLE PROPERTY OF THE ARCHITECTS. NO PART OF THIS DOCUMENT CAN BE USED OR REPRODUCED WITHOUT THE ARCHITECTS' WRITTEN CONSENT.

DRAWN: LD
CHECKED: PC
SCALE: 1/8" = 1'-0"
JOB NO: V23396
DATE: 4/6/2017
SHEET TITLE: ELEVATIONS, WEST

ELEVATIONS,
WEST

APR 18 2017

DP 16-753377

A3.02

MATERIAL LEGEND

1	- ASPHALT SHINGLE ROOFING
2	- ARCHITECTURAL CONCRETE
3	- FIBER CEMENT PANEL SIDING
4	- FIBER CEMENT LAP SIDING
5	- FIBER CEMENT SHINGLE SIDING

6 - PAINTED FASCIA (FIBER CEMENT RESEMBLING WOOD)

7 - PAINTED TRIM (FIBER CEMENT RESEMBLING WOOD)

8 - EXPOSED WOOD POSTS AND BEAMS

9 - ANODIZED ALUMINUM STOREFRONT DOORS AND CLEAR GLAZED WINDOWS (SEE [21] FOR SPANDREL PANEL LOCATIONS)

12 - STRUCTURAL CLEAR GLASS GUARD

12a - STRUCTURAL OPAQUE GLASS 6'-0" PRIVACY SCREEN

13 - DECORATIVE METAL SECURITY SCREENING

14 - METAL SECURITY SCREENING

15 - FABRIC (NOT VYNL) AWNINGS (REMOVABLE)

16 - STEEL FRAMED GLASS CANOPY (REMOVABLE)

17 - PAINTED METAL DOOR

18 - PAINTED WOOD GATE AND FENCING

19 - CONCRETE PLANTERS

20 - STEEL PLATE PLANTERS


21 - SPANDREL PANEL - GLAZED UNIT WITH GREY BACKPAINT (FOR ANCHOR TENANT CRU)

NO.	Description	Date
-----	-------------	------

PROJECT STATUS:
DP RESUBMISSION

ZGF
COTTER

838 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 558 8390 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT: **THE RODERICK**
EST.  2017
in Herston Village

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC

DRAWN	LD	SCALE:
CHECKED	PC	
SCALE	1/8" = 1'-0"	
JOB NO	V23366	
DATE	4/5/2017	
	3:54:14 PM	
SHEET TITLE:		

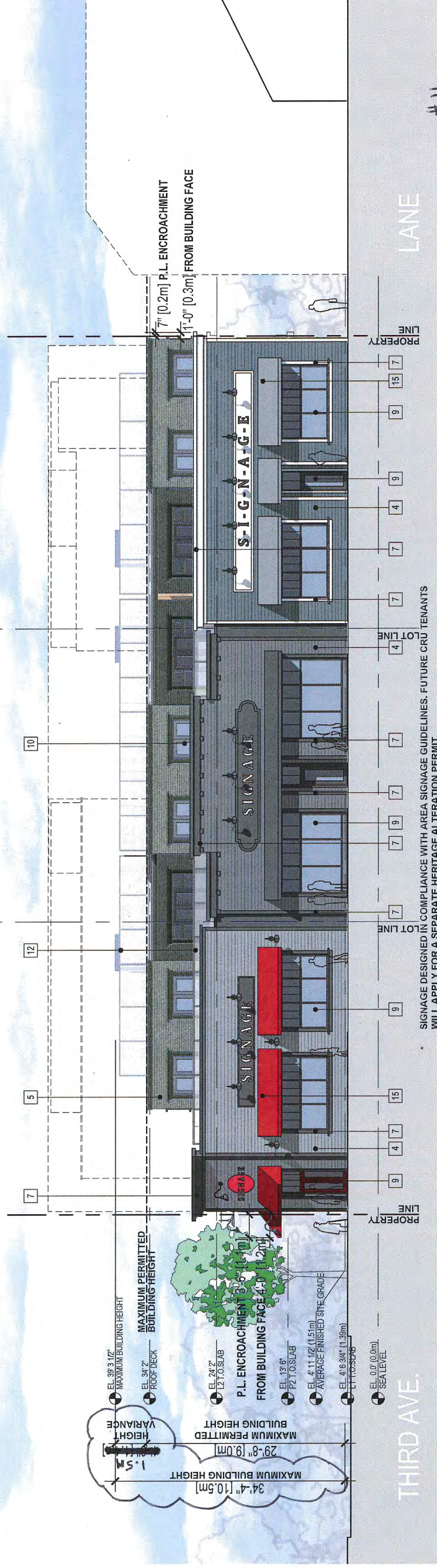
ELEVATIONS,
NORTH AND
SOUTH

DRAWING NO: A3.03

REV:

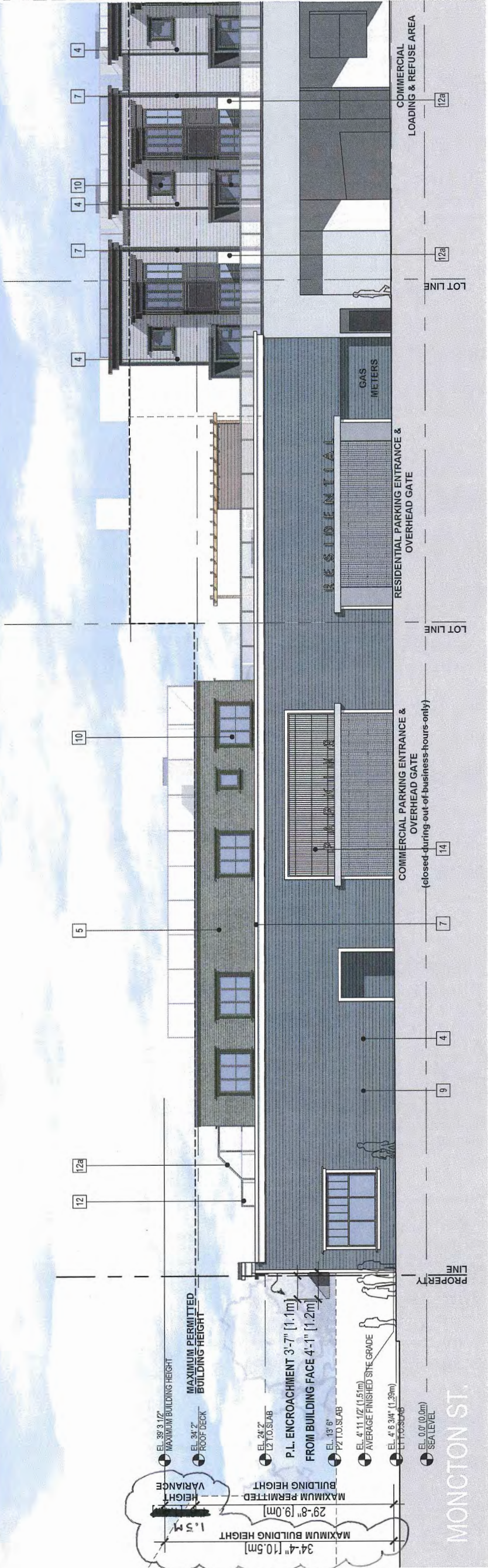


1 ELEVATION, NORTH (ALONG CHATHAM STREET)



1
ELEVATION: SOUTH (ALONG MONCTON STREET)

#11
APR 18 2017
DP 16-753377



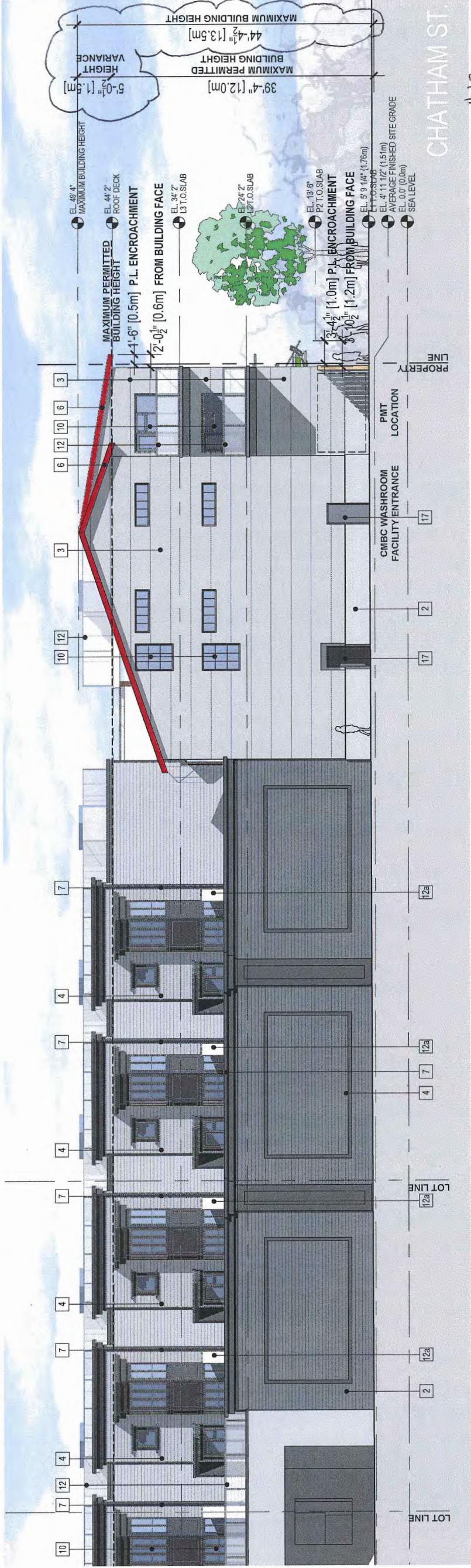
NOTES:

MATERIAL LEGEND	
1	ASPHALT SHINGLE ROOFING
2	ARCHITECTURAL CONCRETE
3	FIBER CEMENT PANEL SIDING
4	FIBER CEMENT LAP SIDING
5	FIBER CEMENT SHINGLE SIDING
6	PAINTED FASCIA (FIBER CEMENT RESEMBLING WOOD)
7	PAINTED TRIM (FIBER CEMENT RESEMBLING WOOD)
8	EXPOSED WOOD POSTS AND BEAMS
9	ANODIZED ALUMINUM STOREFRONT DOORS AND CLEAR GLAZED WINDOWS (SEE [2] FOR SPANDREL PANEL LOCATIONS)
10	VINYL WINDOWS AND DOORS
12	STRUCTURAL CLEAR GLASS GUARD
12a	STRUCTURAL OPAQUE GLASS 6'-0" PRIVACY SCREEN
13	DECORATIVE METAL SECURITY SCREENING
14	METAL SECURITY SCREENING
15	FABRIC (NOT VINYL) AWNINGS (REMOVABLE)
16	STEEL FRAMED GLASS CANOPY (REMOVABLE)
17	PAINTED METAL DOOR
18	PAINTED WOOD GATE AND FENCING
19	CONCRETE PLANTERS
20	STEEL PLATE PLANTERS
21	SPANDREL PANEL - GLAZED UNIT WITH GREY BACKPAINT (FOR ANCHOR TENANT CRU)

NO.	Description	Date
ISSUED		
PROJECT STATUS		

DP RESUBMISSION

1
A3.04
STREETSCAPE ELEVATION, EAST (ALONG LANEWAY)
1/8" = 1'-0"



PROJECT: THE RODERICK
EST. 2017
in Harrison Village

CLIENT:

plat:form

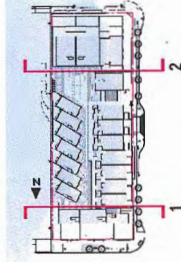
PROJECT ADDRESS
Moncton St. and 3rd Ave., Steweston, Richmond BC

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES SHALL REMAIN THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DOCUMENT CAN BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

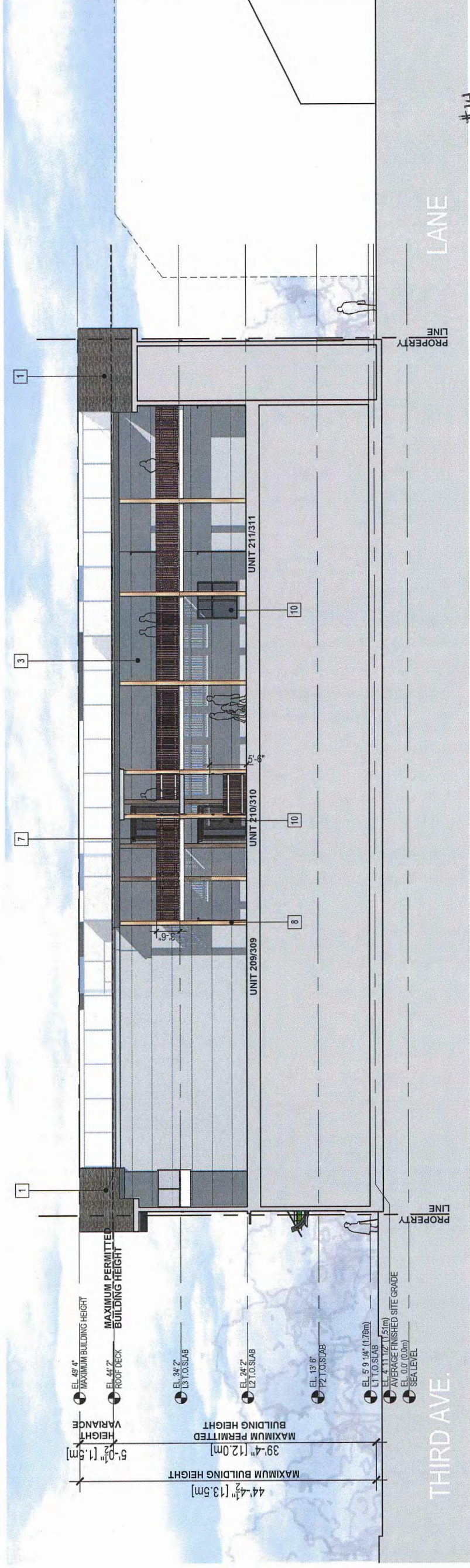
DRAWN	LD	REAL
CHECKED	PC	
SCALE	1/8" = 1'-0"	
JOB No.	V23385	
DATE	4/6/2017	
SHEET TITLE	ELEVATIONS, EAST	

#12
APR 18 2017
A3.04

1
A3.04
STREETSCAPE ELEVATION, EAST (ALONG LANEWAY) CONTINUED
1/8" = 1'-0"



1 INTERIOR COURTYARD ELEVATION, LOOKING SOUTH
1/8" = 1'-0"



2 INTERIOR COURTYARD ELEVATION, LOOKING NORTH
1/8" = 1'-0"

NOTES:

MATERIAL LEGEND

- 1 - ASPHALT SHINGLE ROOFING
- 2 - ARCHITECTURAL CONCRETE
- 3 - FIBER CEMENT PANEL SIDING
- 4 - FIBER CEMENT LAP SIDING
- 5 - FIBER CEMENT SHINGLE SIDING
- 6 - PAINTED FASCIA (FIBER CEMENT RESEMBLING WOOD)
- 7 - PAINTED TRIM (FIBER CEMENT RESEMBLING WOOD)
- 8 - EXPOSED WOOD POSTS AND BEAMS
- 9 - ANODIZED ALUMINUM STOREFRONT DOORS AND CLEAR GLAZED WINDOWS (SEE [21] FOR SPANDREL PANEL LOCATIONS)
- 10 - VINYL WINDOWS AND DOORS
- 12 - STRUCTURAL CLEAR GLASS GUARD
- 12A - STRUCTURAL OPAQUE GLASS 6'-0" PRIVACY SCREEN
- 13 - DECORATIVE METAL SECURITY SCREENING
- 14 - METAL SECURITY SCREENING
- 15 - FABRIC (NOT VINYL) AWNINGS (REMOVABLE)
- 16 - STEEL FRAMED GLASS CANOPY (REMOVABLE)
- 17 - PAINTED METAL DOOR
- 18 - PAINTED WOOD GATE AND FENCING
- 19 - CONCRETE PLANTERS
- 20 - STEEL PLATE PLANTERS
- 21 - SPANDREL PANEL - GLAZED UNIT WITH GREY BACKPAINT (FOR ANCHOR TENANT CRU)

NO.	Description	Date
ISSUED		

PROJECT STATUS: **DP RESUBMISSION**

ZGF
COTTER
ZGF COTTER ARCHITECTS INC.
638 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 558-8300 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT: **THE RODERICK**
EST. 2017
in Harrison Village
CLIENT:

plat:form

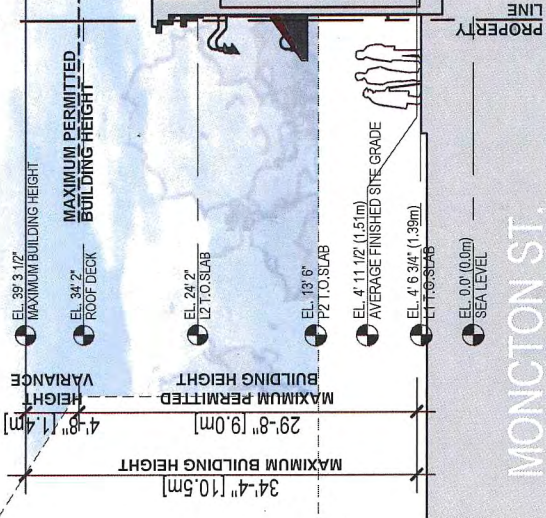
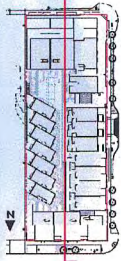
PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES
WILL REMAIN, THE PROPERTY OF ZGF COTTER ARCHITECTS INC. AND
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD / AP	SEAL
CHECKED	Checker	
SCALE	1/8" = 1'-0"	
AGE No.	V23386	
DATE	4/6/2017	
SHEET TITLE	3:54:17 PM	

INTERIOR
COURTYARD
ELEVATIONS,
NORTH AND
SOUTH

DRAWING NO.	REV.
A3.03	

#14
APR 18 2017
DP 16-753377



1 INTERIOR COURTYARD ELEVATION, LOOKING WEST

A3.04 1/8" = 1'-0"



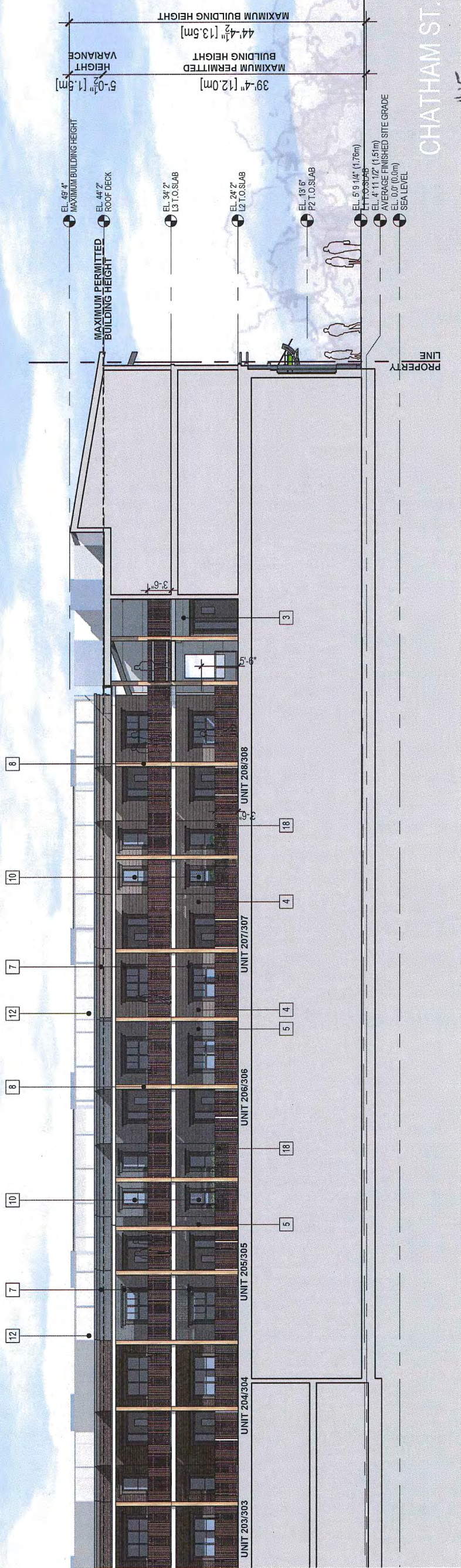
2 INTERIOR COURTYARD ELEVATION, LOOKING WEST (CONTINUED)

A3.04 1/8" = 1'-0"



1 INTERIOR COURTYARD ELEVATION, LOOKING WEST

A3.04 1/8" = 1'-0"



2 INTERIOR COURTYARD ELEVATION, LOOKING WEST (CONTINUED)

A3.04 1/8" = 1'-0"

- NOTES:
- MATERIAL LEGEND**
- 1 - ASPHALT SHINGLE ROOFING
 - 2 - ARCHITECTURAL CONCRETE
 - 3 - FIBER CEMENT PANEL SIDING
 - 4 - FIBER CEMENT LAP SIDING
 - 5 - FIBER CEMENT SHINGLE SIDING
 - 6 - PAINTED FASCIA (FIBER CEMENT RESEMBLING WOOD)
 - 7 - PAINTED TRIM (FIBER CEMENT RESEMBLING WOOD)
 - 8 - EXPOSED WOOD POSTS AND BEAMS
 - 9 - ANODIZED ALUMINUM STOREFRONT DOORS AND CLEAR GLAZED WINDOWS (SEE 21 FOR SPANDREL PANEL LOCATIONS)
 - 10 - VINYL WINDOWS AND DOORS
 - 11 - STRUCTURAL CLEAR GLASS GUARD
 - 12 - STRUCTURAL OPAQUE GLASS 6'-0" PRIVACY SCREEN
 - 13 - DECORATIVE METAL SECURITY SCREENING
 - 14 - METAL SECURITY SCREENING
 - 15 - FABRIC (NOT VINYL) AWNINGS (REMOVABLE)
 - 16 - STEEL FRAMED GLASS CANOPY (REMOVABLE)
 - 17 - PAINTED METAL DOOR
 - 18 - PAINTED WOOD GATE AND FENCING
 - 19 - CONCRETE PLANTERS
 - 20 - STEEL PLATE PLANTERS
 - 21 - SPANDREL PANEL - GLAZED UNIT WITH GREY BACKPAINT (FOR ANCHOR TENANT CRU)

NO.	Description	Date
ISSUED		

PROJECT STATUS: **DP RESUBMISSION**

ZGF
COTTER
207 COTTER ARCHITECTS INC.
838 West Hastings St., Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 558-8598 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT: **THE RODERICK**
EST. 2017
in Harrison Village
CLIENT:

plat:form

PROJECT ADDRESS:
Morticon St. and 3rd Ave., Steweston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES
SHALL REMAIN, THE SOLE PROPERTY OF ZGF & COTTER ARCHITECTS INC.
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD / AP	SEAL
DESIGNED	Checker	
SCALE	1/8" = 1'-0"	
JOB NO.	V23986	
DATE	4/5/2017	
DATE	3:54:18 PM	
SHEET TITLE		

INTERIOR
COURTYARD
ELEVATIONS,
EAST

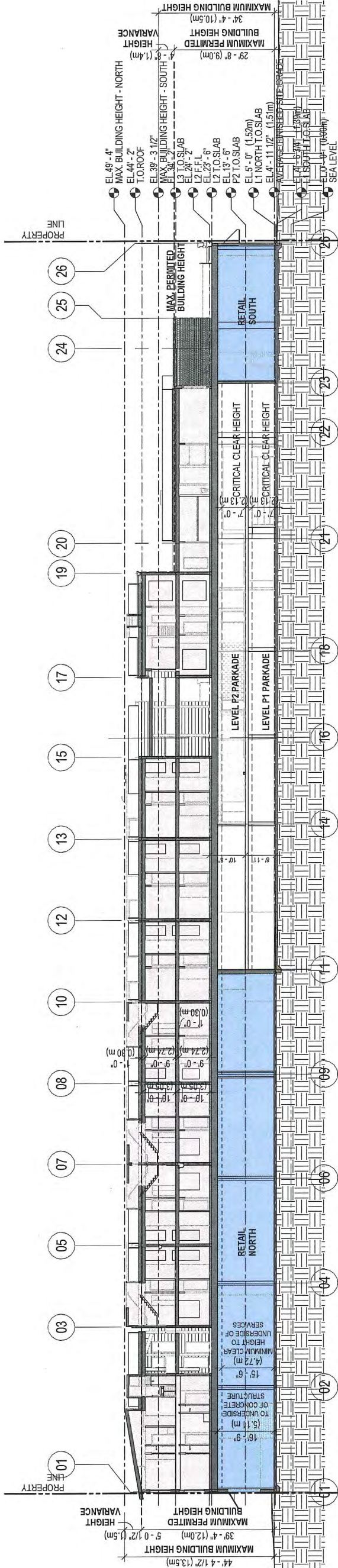
DRAWING NO.	REV.
A3.10	

APR 18 2017

DP 16-753377

#15

NOTES:



1 SECTION 1, LONGITUDINAL BUILDING

A3.05 1/16" = 1'-0"

NO.	Description	Date
ISSUED		

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

342 COTTER ARCHITECTS INC.
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 582 8389 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Austin Village

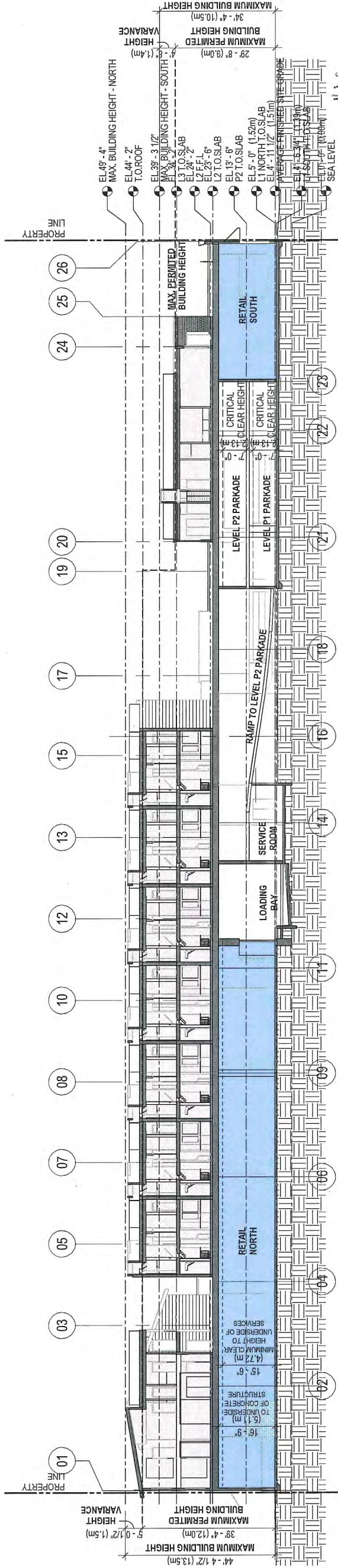
CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES
THE PROPERTY OF ZGF COTTER ARCHITECTS INC. AND NO PART THEREOF
CAN BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS
ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY
ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	DC	SEAL:
CHECKED	LD	
SCALE	1/16" = 1'-0"	
JOB No.	V23666	
DATE	4/10/2017	
SHEET TITLE	2:56:33 PM	

SECTIONS,
BUILDING



2 SECTION 2, LONGITUDINAL BUILDING

A3.05 1/16" = 1'-0"

#16

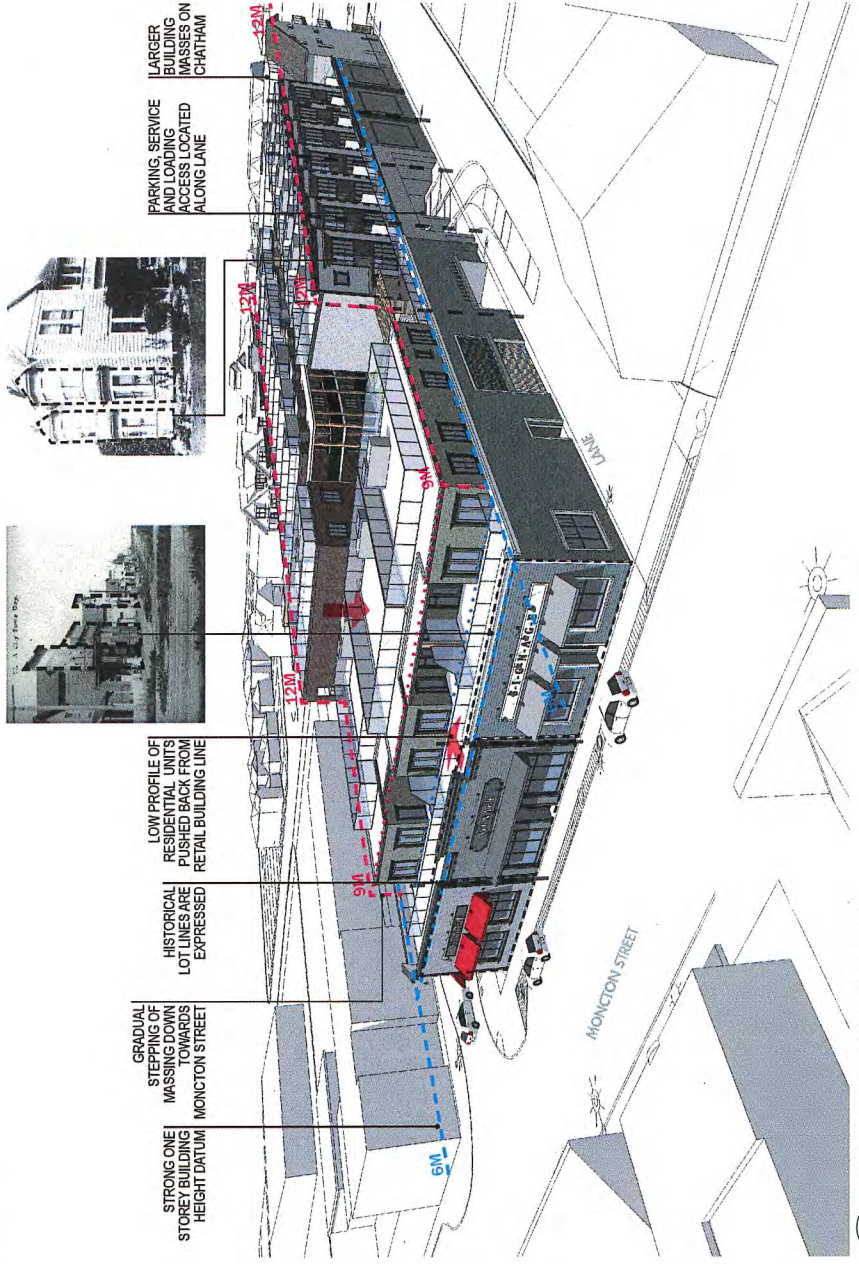
APR 18 2017

A3.05

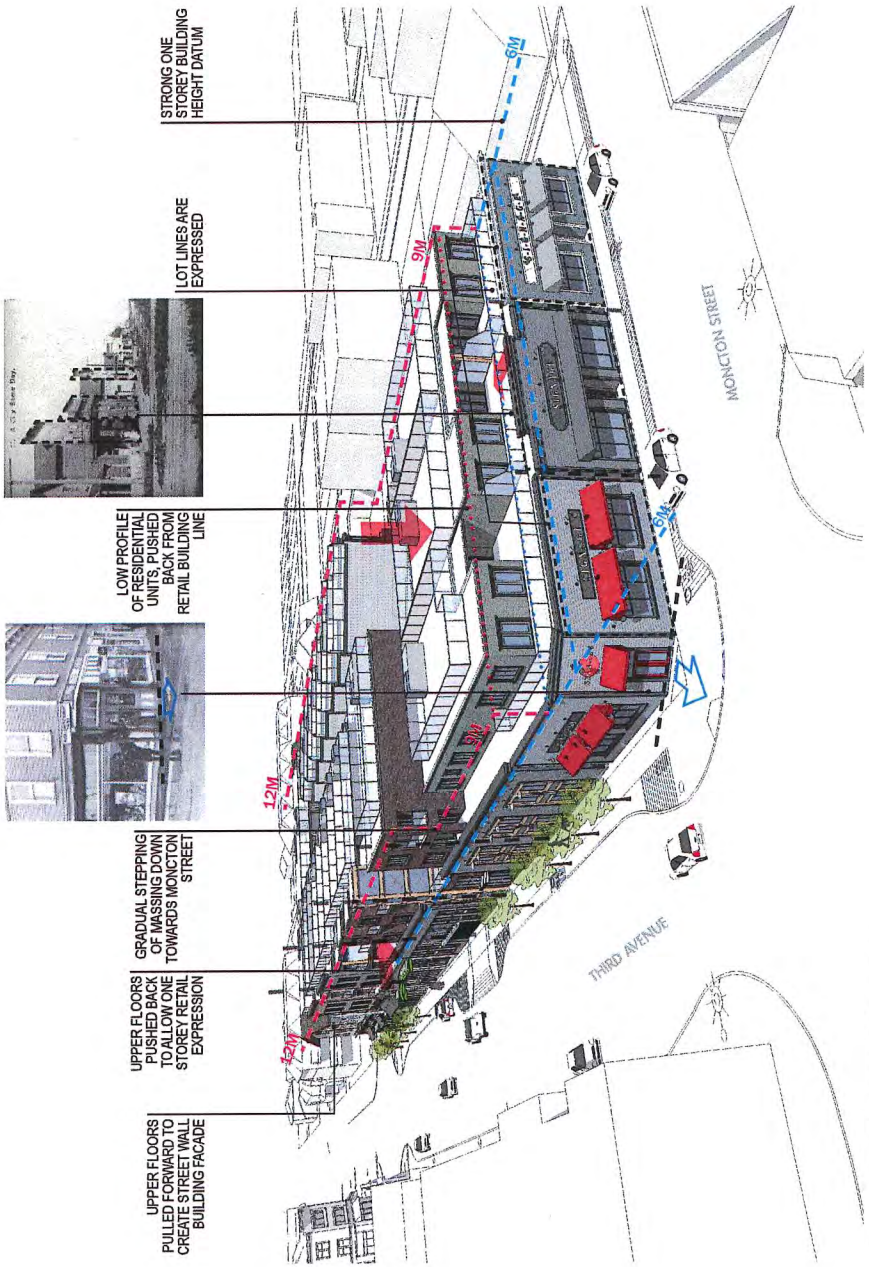
DP 16-753377



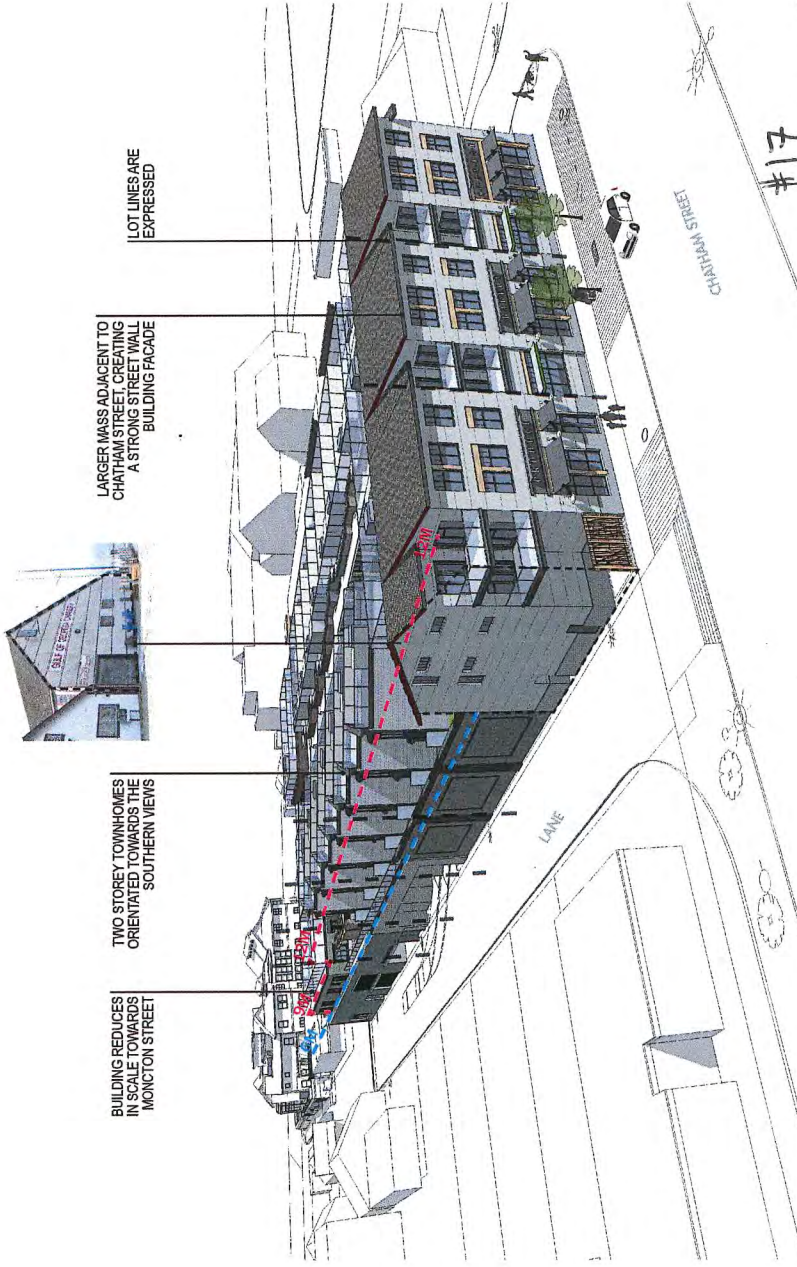
1 NORTHWEST BIRDS EYE VIEW
A3.06 N.T.S



3 SOUTHEAST BIRDS EYE VIEW
A3.06 N.T.S



2 SOUTHWEST BIRDS EYE VIEW
A3.06 N.T.S



4 NORTHEAST BIRDS EYE VIEW
A3.06 N.T.S

NOTES:

NO. Description Date
ISSUED
PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

204 COTTER ARCHITECTS INC.
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 558-8280 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Harrison Village
CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THE PLAN AND DESIGN ARE, AND AT ALL TIMES
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SEAL
CHECKED	PC	
SCALE	N.T.S	
APP No	V23366	
DATE	4/5/2017	
SHEET TITLE	3D VIEWS, BIRDS EYE LEVEL	

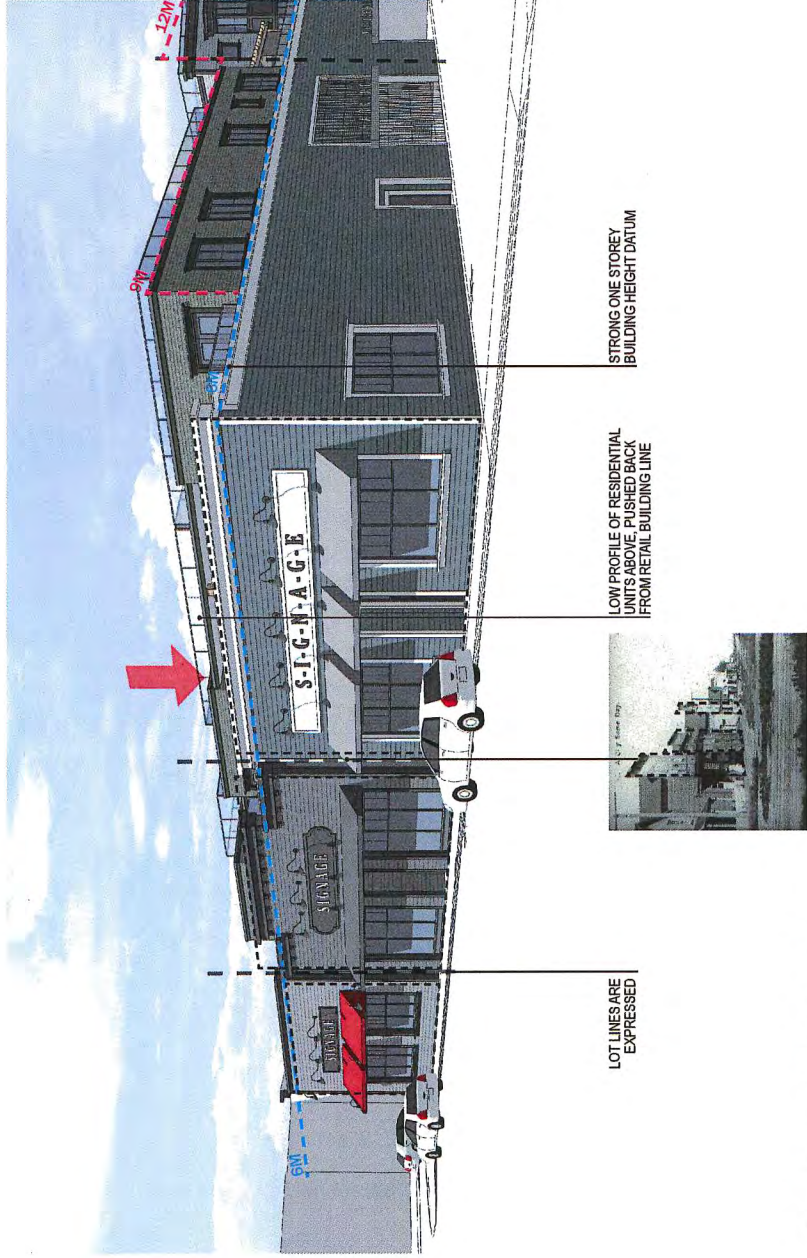
3D VIEWS, BIRDS
EYE LEVEL

DRAWING NO.
A3.06
REV.

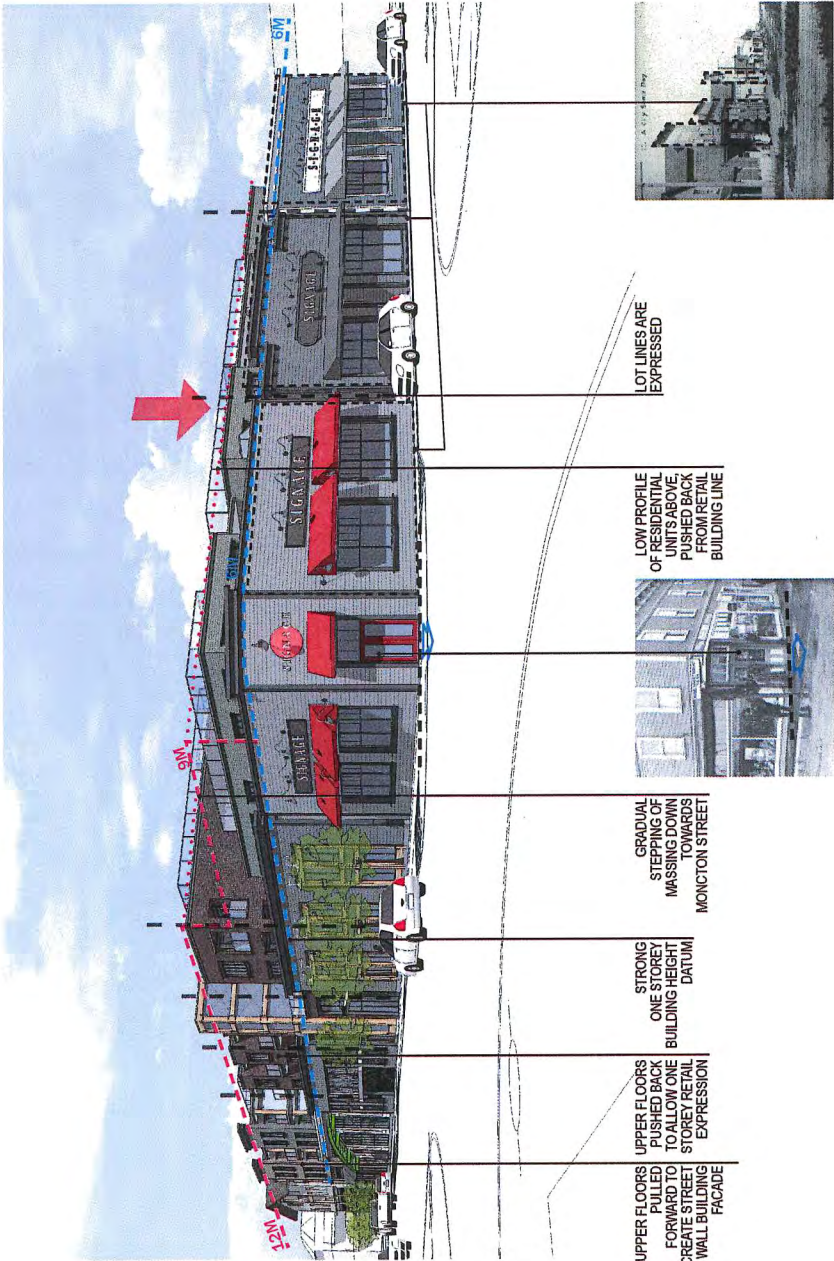
#17
APR 18 2017
DP 16-753377



1 NORTHWEST EYE LEVEL VIEW
A3.07 N.T.S



3 SOUTHEAST EYE LEVEL VIEW
A3.07 N.T.S



2 SOUTHWEST EYE LEVEL VIEW
A3.07 N.T.S



4 NORTHEAST EYE LEVEL VIEW
A3.07 N.T.S

NOTES:

NO.	Description	Date

PROJECT STATUS:
DP RESUBMISSION

ZGF
COTTER

232 COTTER ARCHITECT INC.
639 West Hastings St., Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 538 8289 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Austin Village

CLIENT:

plat:form

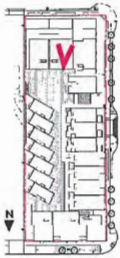
PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED, THE PLAN AND DESIGN ARE, AND AT ALL TIMES
WILL REMAIN THE PROPERTY OF ZGF AND COTTER ARCHITECTS INC. AND
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECTS' WRITTEN
CONSENT.

DRAWN	LD	SCALE
CHECKED	PC	SCALE
SCALE	NTS	SCALE
JOB NO.	V23385	DATE
DATE	4/6/2017	3:54:16 PM
SHEET TITLE	3D VIEWS, EYE LEVEL	

3D VIEWS, EYE LEVEL

DRAWING NO.	REF.
A3.07	

#18
APR 18 2017
DP 16-753377



RIVER ROCK COURTYARDS
USED TO ANIMATE THE SHADED OR COVERED
COURTYARD SPACES. IT BECOMES A NON-WALK
SURFACE WHICH ALSO CREATES A PRIVACY
BUFFER FOR SOME UNITS WHERE NECESSARY.



RAISED PLANTERS
BENT STEEL PLANTING BOXES



CENTRAL GATHERING SPACE
ARTIFICIAL TURF ACTIVITY & HARDSCAPED
SHARED AMENITY SPACE
BADMINTON COURT
(40'X18' - NOT REGULATION SIZE)
BOCCY COURT
(44'X10' - NOT REGULATION SIZE)

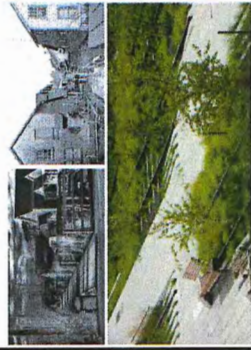
RAISED PLANTERS
CONCRETE PLANTING BOXES



CONTRASTING PAVERS
DEFINING PRIVATE COURTYARDS



**CENTRAL BOARDWALK
SHARED COURTYARD**
REMINISCENT OF THE BOARDWALK
SIDEWALKS FROM HISTORIC
STEVESTON STREETS, THIS
PLANK PAVING INCORPORATES
HARDSCAPED PATHWAYS, SHARED
COURTYARDS AND BENCHES.
CONCRETE PLANK PAVERS
INSTALLED ON PEDESTALS OVER
PODIUM ROOF SYSTEM.



PERGOLA
PROVIDING PARTIALLY
ROOFED AMENITY AREA AND
STORAGE FOR MOVABLE
TABLES & CHAIRS

GAS FIREPIT

NOTES:

NO.	Description	Date

PROJECT STATUS:
DP RESUBMISSION

**ZGF
COTTER**

ZGF COTTER ARCHITECTS INC.
838 West Hastings St. Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 581 8360 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Austin Village

CLIENT:

plat:form

PROJECT ADDRESS:
Mondor St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES
WILL REMAIN, THE PROPERTY OF ZGF COTTER ARCHITECTS INC. AND
CANNOT BE REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD / AP	SEAL
CHECKED	Checker	
SCALE	NTS	
JOB No.	V23366	
DATE	4/5/2017	
TIME	3:54:18 PM	
SHEET TITLE		

**3D VIEW,
INTERIOR
COURTYARD**

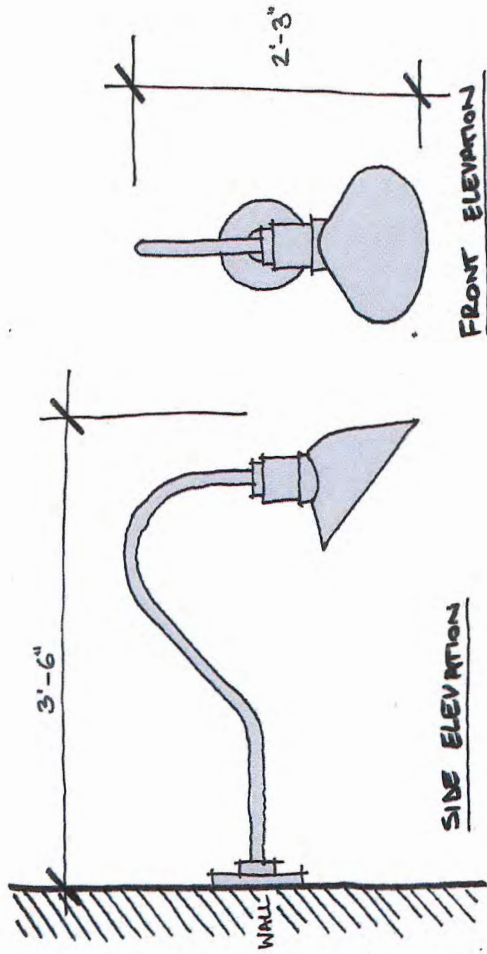
DRAWING NO.

REV.

**#19
APR 18 2017**

A3.11

DP 16-753377



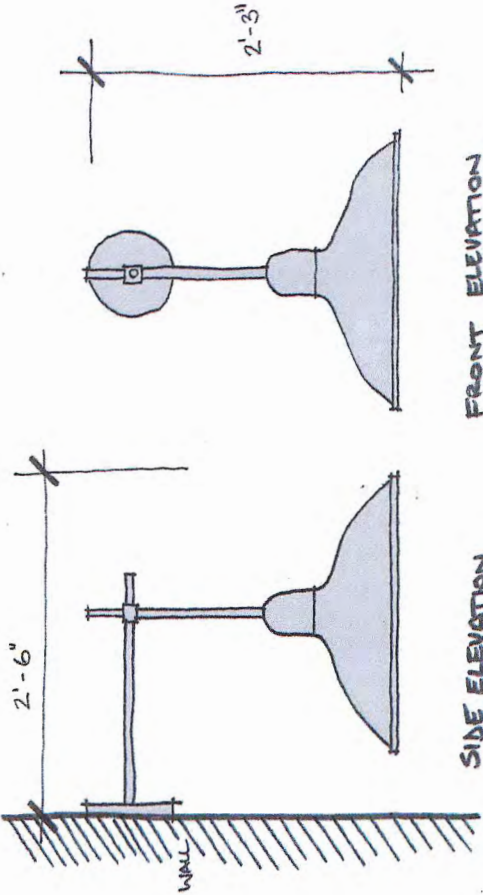
SIDE ELEVATION

FRONT ELEVATION



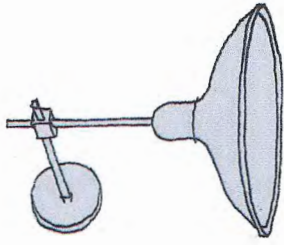
3D VIEW
(N.T.S.)

1 GOOSENECK LIGHT FIXTURE
A3.20 1 1/2" = 1'-0"



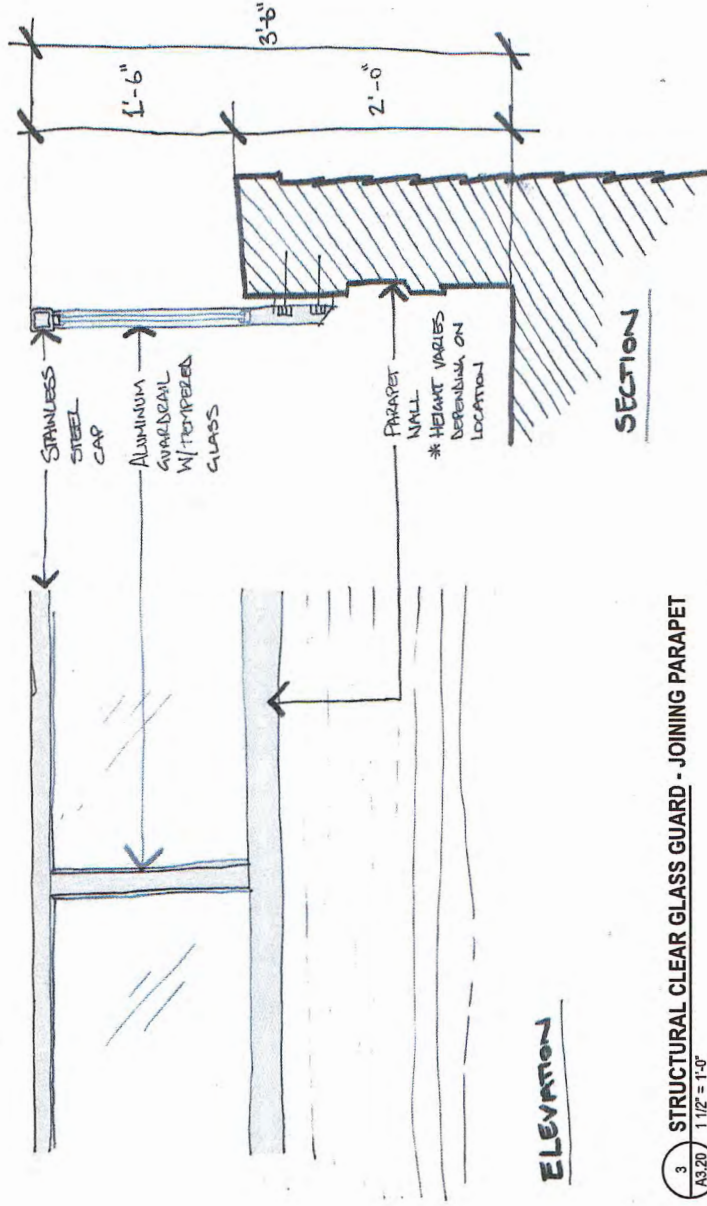
SIDE ELEVATION

FRONT ELEVATION



3D VIEW
(N.T.S.)

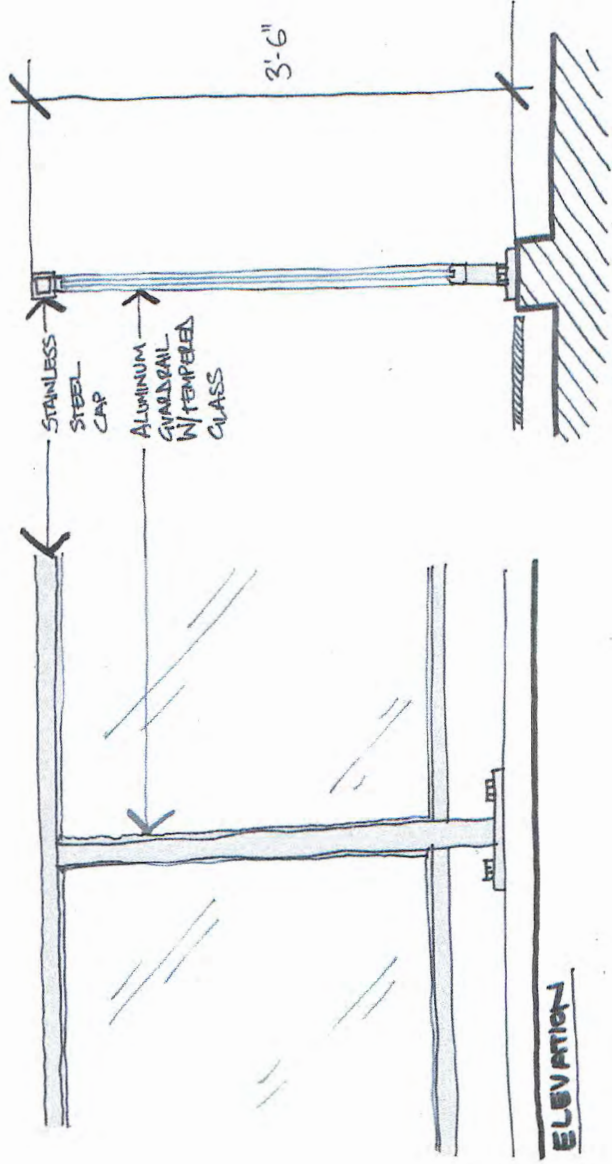
2 CANNERY LIGHT FIXTURE
A3.20 1 1/2" = 1'-0"



ELEVATION

SECTION

3 STRUCTURAL CLEAR GLASS GUARD - JOINING PARAPET
A3.20 1 1/2" = 1'-0"



ELEVATION

SECTION

4 STRUCTURAL CLEAR GLASS GUARD - STAND ALONE
A3.20 1 1/2" = 1'-0"

NOTES:

NO.	Description	Date

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

638 West Hastings St. Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 558-8700 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Harrison Village

CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE, AND AT ALL TIMES
SHALL REMAIN, THE SOLE PROPERTY OF ZGF COTTER ARCHITECTS INC.
AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SEAL
CHECKED	Checker	
SCALE		
JOB NO.	V23355	
DATE	4/5/2017	
SHEET TITLE	4:30:34 PM	

**GUARDRAIL &
LIGHT FIXTURE
DETAILS**

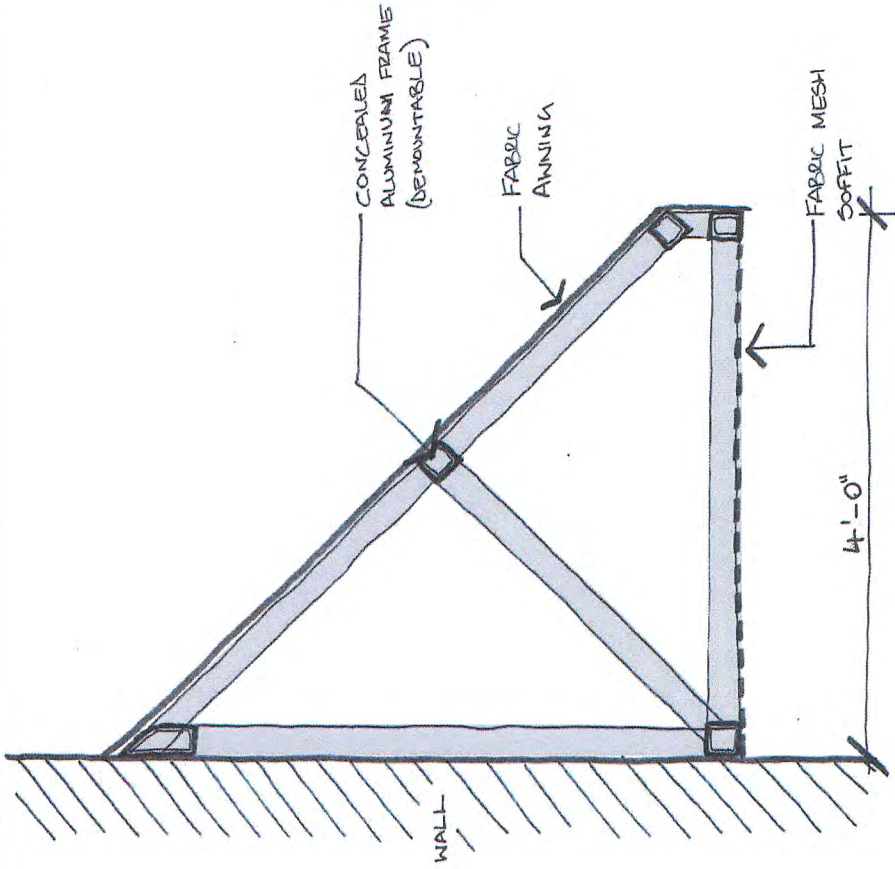
DRAWING NO.	REV.
A3.20	

#20

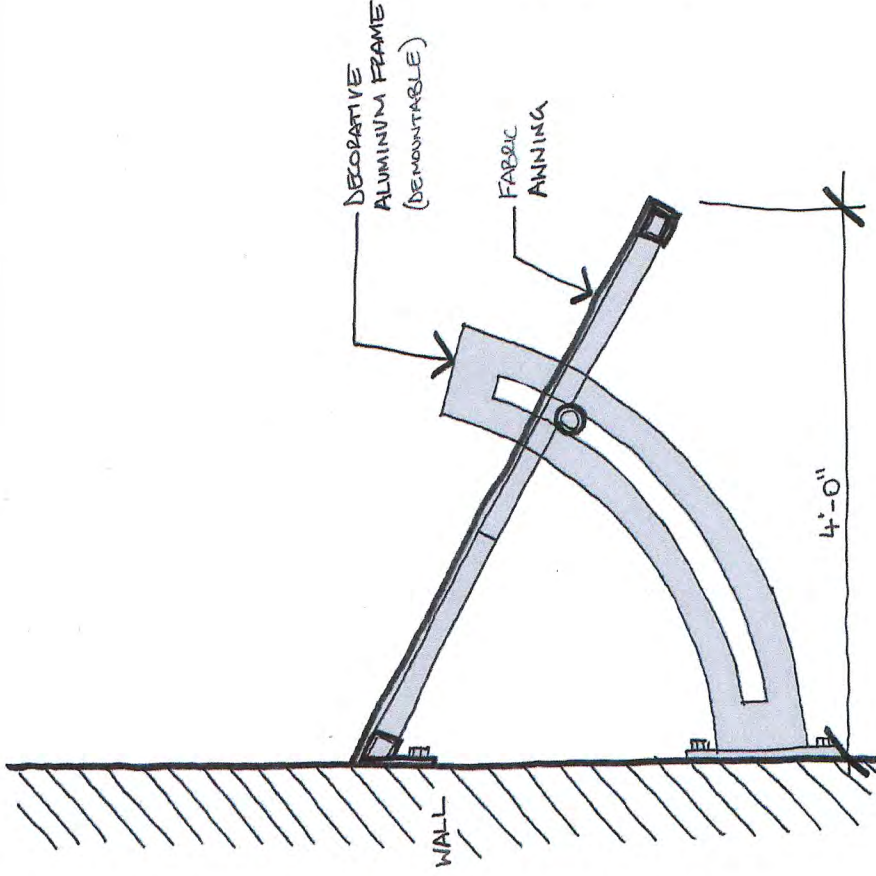
APR 18 2017

DP 16-753377

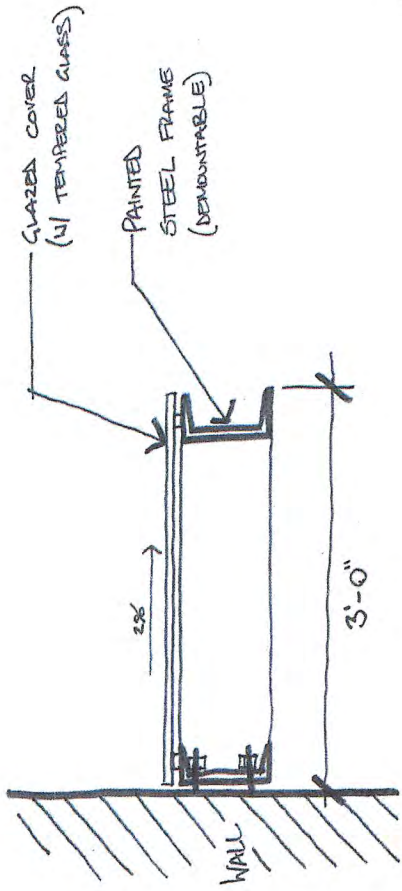
NOTES:



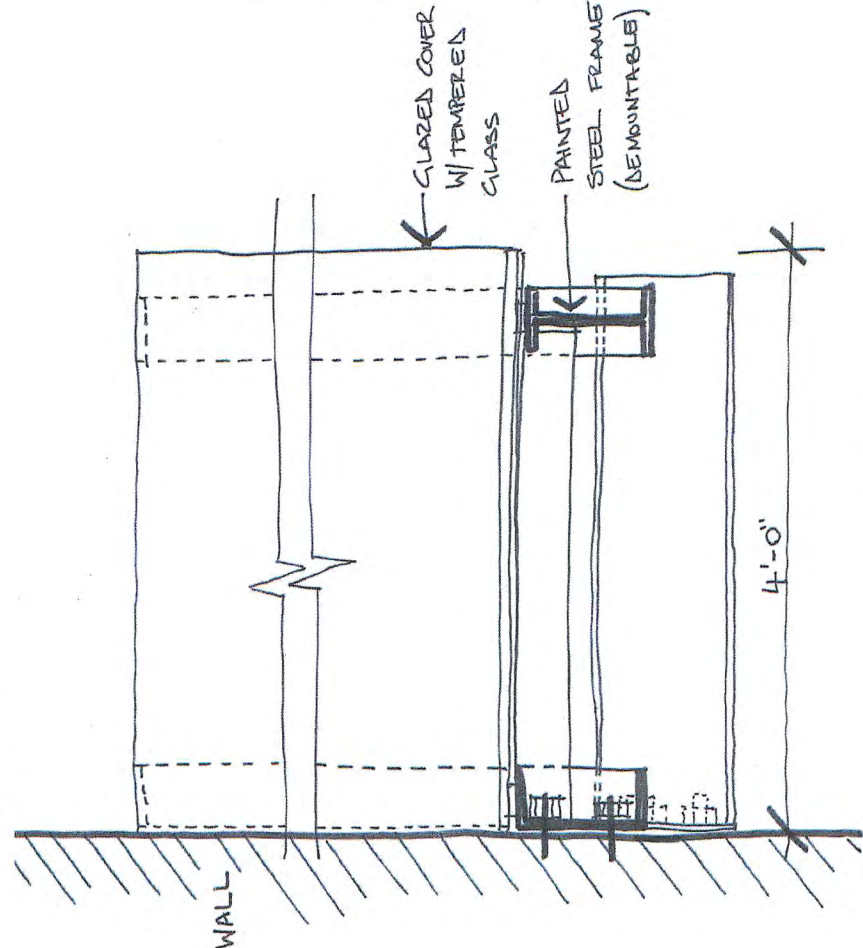
1 FABRIC AWNING SECTION DETAIL
A3.21 1 1/2" = 1'-0"



2 INDUSTRIAL AWNING SECTION DETAIL
A3.21 1 1/2" = 1'-0"



3 STEEL CANOPY SECTION DETAIL
A3.21 1 1/2" = 1'-0"



4 FEATURE ENTRY CANOPY TO ANCHOR CRU SECTION DETAIL
A3.21 1 1/2" = 1'-0"



5 3D VIEW OF ALL TYPICAL CANOPY CONDITIONS
A3.21 N.T.S.

NO.	DESCRIPTION	DATE
1	ISSUED	

PROJECT STATUS: DP RESUBMISSION

ZGF
COTTER

202 COTTER ARCHITECTS INC.
888 West Hastings St., Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 558-8350 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT: THE RODERICK
EST. 2017
in Austin Village

CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES
THE PROPERTY OF ZGF AND COTTER ARCHITECTS INC. NO PART OF THIS
DRAWING OR DESIGN SHALL BE REPRODUCED OR TRANSMITTED IN ANY
FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE
WRITTEN CONSENT OF ZGF AND COTTER ARCHITECTS INC.

DRAWN	LD	SEAL
CHECKED	Checker	
SCALE		
JOB NO.	V23386	
DATE	4/5/2017	
SHEET TITLE	4:30:34 PM	

AWNING AND
CANOPY DETAILS

DRAWING NO.	REV.

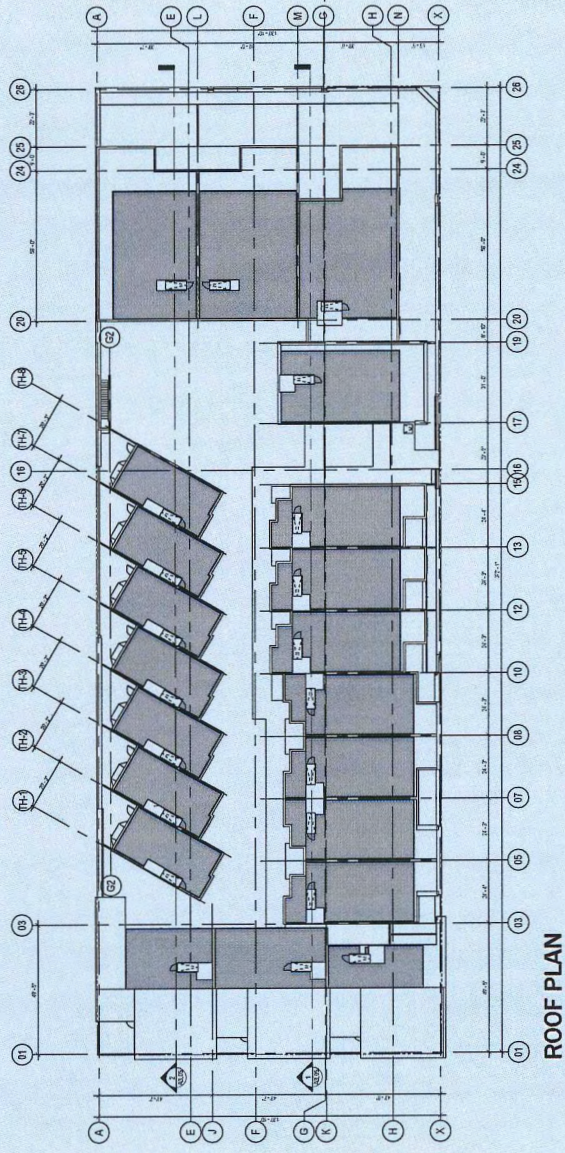
A3.21

APR 18 2017

DP 16-753377

#21

ROOFTOP DECKS AND ACCESS



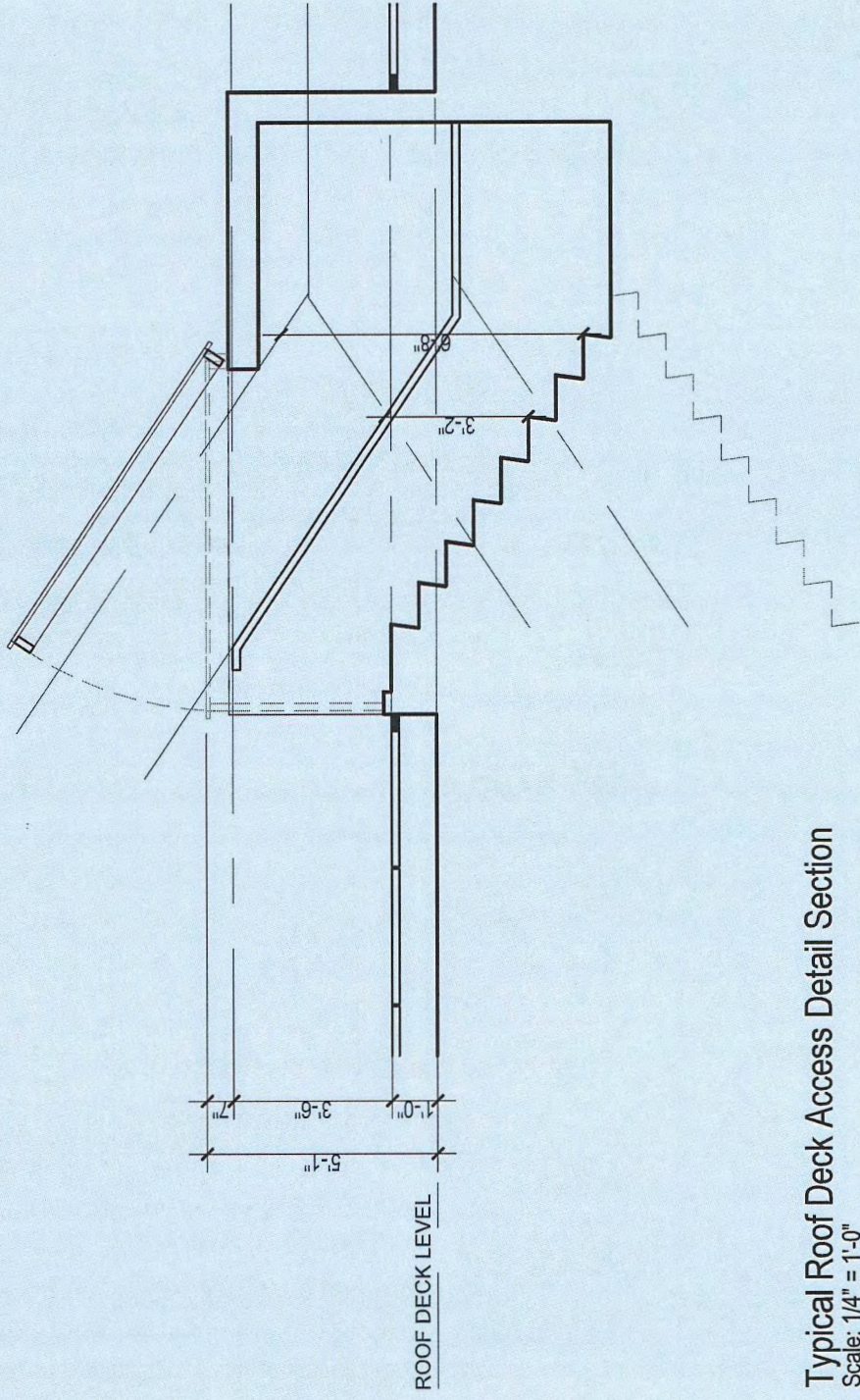
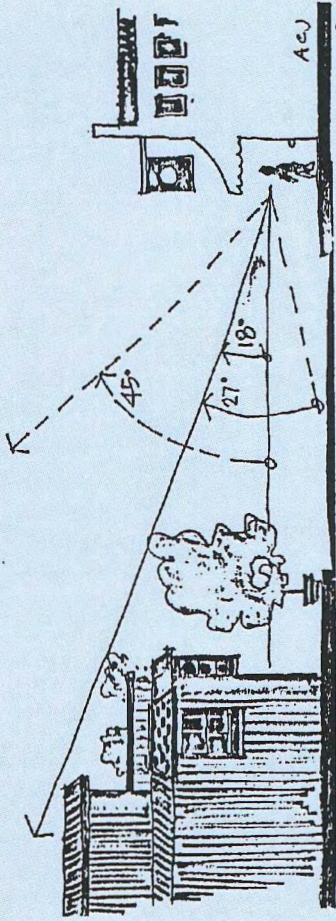
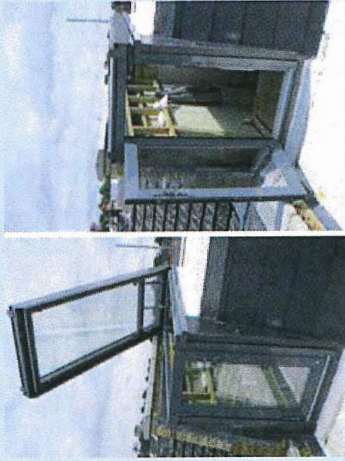
■ DENOTES PRIVATE ROOF DECK AREAS

As encouraged within the Steveston Area Plan, the development identifies large portions of its flat roof area be used for outdoor living space.

All of the upper level and single level residential units have access to individual private roof deck areas above. Each roof deck area is accessed through a private stair from within its unit below. These access stairs have been designed as low-profile opening roof hatch arrangements that respect restricted building height guidelines, whilst also providing continuous handrail and building code compliant access to the private roof deck.

As required within the Steveston Area Plan guidelines, the bounding of all usable decks facing the street are sufficiently set back from the property line and the building face. This minimizes the visibility of all roof decks from the street.

To ensue their visibility from the street is minimized as much as possible, all access stairs are set back as far as the floor plan below allows.



Typical Roof Deck Access Detail Section
Scale: 1/4" = 1'-0"



HARDSCAPED BOULEVARD
1
100mm CONCRETE SIDEWALK
BOULEVARD WITH SAW-CUT
BOARDWALK PATTERN.
REF: APPLICABLE BC LANDSCAPE
COLOUR PALETTE
REF: MMCO SPECIFICATIONS 32.14.01



GRASSED BOULEVARD
2
CLASS 1 LAWN IN BOULEVARD.
REF: APPLICABLE BC LANDSCAPE
STANDARDS



CONCRETE SIDEWALK
3
100mm CONCRETE SIDEWALK
REF: MMCO SPECIFICATIONS 32.14.01



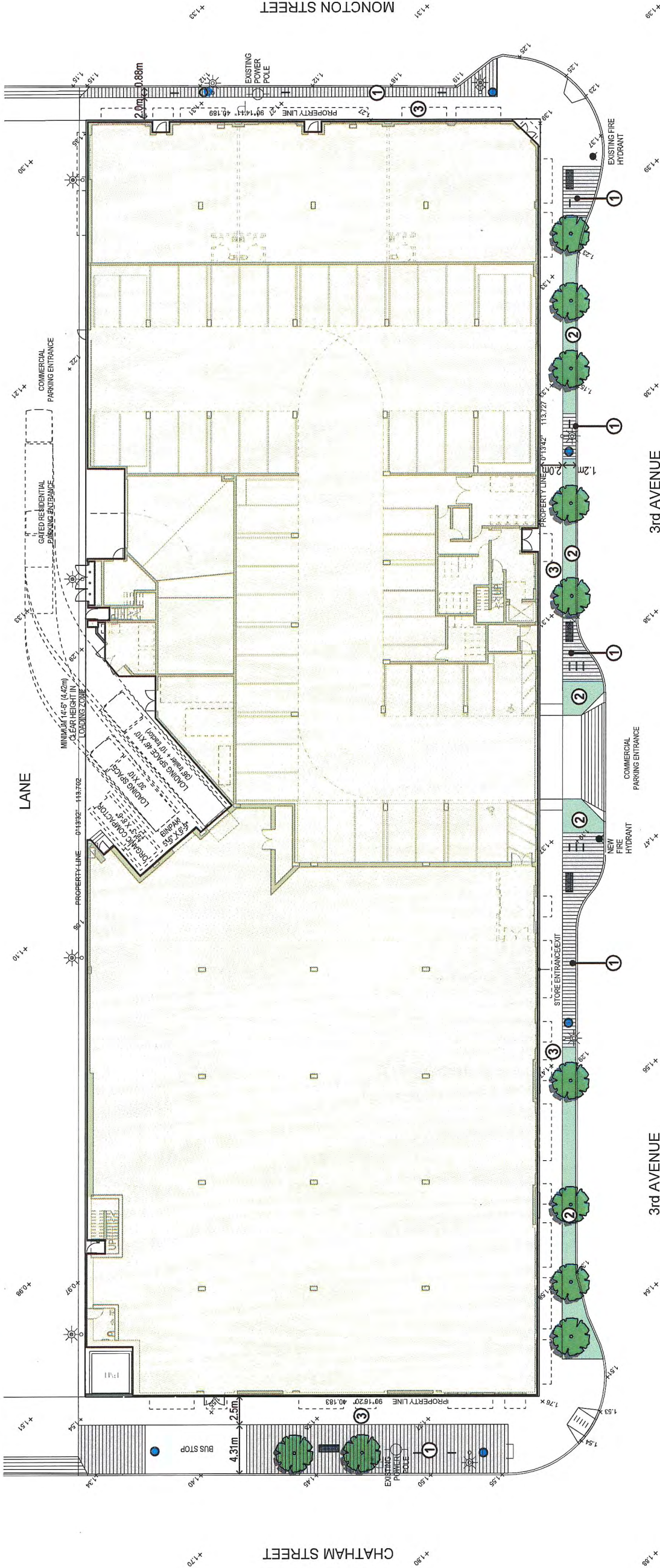
STREET TREE PLANTING
SIZE AND SPECIES TO COMPLY WITH
STANDARDS OF CITY OF RICHMOND.
REF: APPLICABLE BC LANDSCAPE
STANDARDS



NOTES:



*NOTE: ALL OFF-SITE FRONTAGE
WORKS TO BE COMPLETED
THROUGH THE SERVING
AGREEMENT.*



STREET FURNITURE LEGEND:

- BIKE RACK - QTY. 13 - PRE-MANUFACTURED FINAL TYPE AND MOD-
EL SELECTED AT BP APPLICATION.
- TRASH & RECYCLING RECEPTACLES - QTY. 6 - PRE-MANUFACTURED
FINAL TYPE AND MODEL, SELECTED AT BP APPLICATION.
- PEDESTRIAN BENCH - QTY. 4 - PRE-MANUFACTURED FINAL TYPE
AND MODEL SELECTED AT BP APPLICATION.

NOTE:
PLEASE REFER TO CIVIL DRAWINGS TO VERIFY LOCATION
OF STREET LIGHTING AND STREET
TREES

1 LANDSCAPE PLAN, LEVEL 1 OFF-SITE STREET TREATMENT
A4.01 1/16" = 1'-0"

#23
APR 18 2017
DP 16-753377

DRAWING NO.	REV.
A4.01	1

ISSUING AGREEMENT APPLICATION - 1A	DATE
NO.	DESCRIPTION
ISSUED	DATE

PROJECT STATUS:
DP RESUBMISSION

**ZGF
COTTER**
207 COTTER ARCHITECTS INC.
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A6
TEL: (604) 598-8388 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in *Arden Village*
CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES
THE PROPERTY OF ZGF COTTER ARCHITECTS INC. NO PART OF THIS
DRAWING CAN BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	LD	SEAL
CHECKED	KI	
SCALE	1/16" = 1'-0"	
JOB No.	V233986	
DATE	4/19/2017	
SHEET TITLE	1:55:38 PM	

**LANDSCAPE
PLAN, LEVEL 1
OFF-SITE STREET
TREATMENT**



NOTES:

CENTRAL BOARDWALK



RAISED PLANTERS



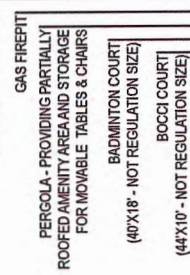
RIVER ROCK COURTYARDS



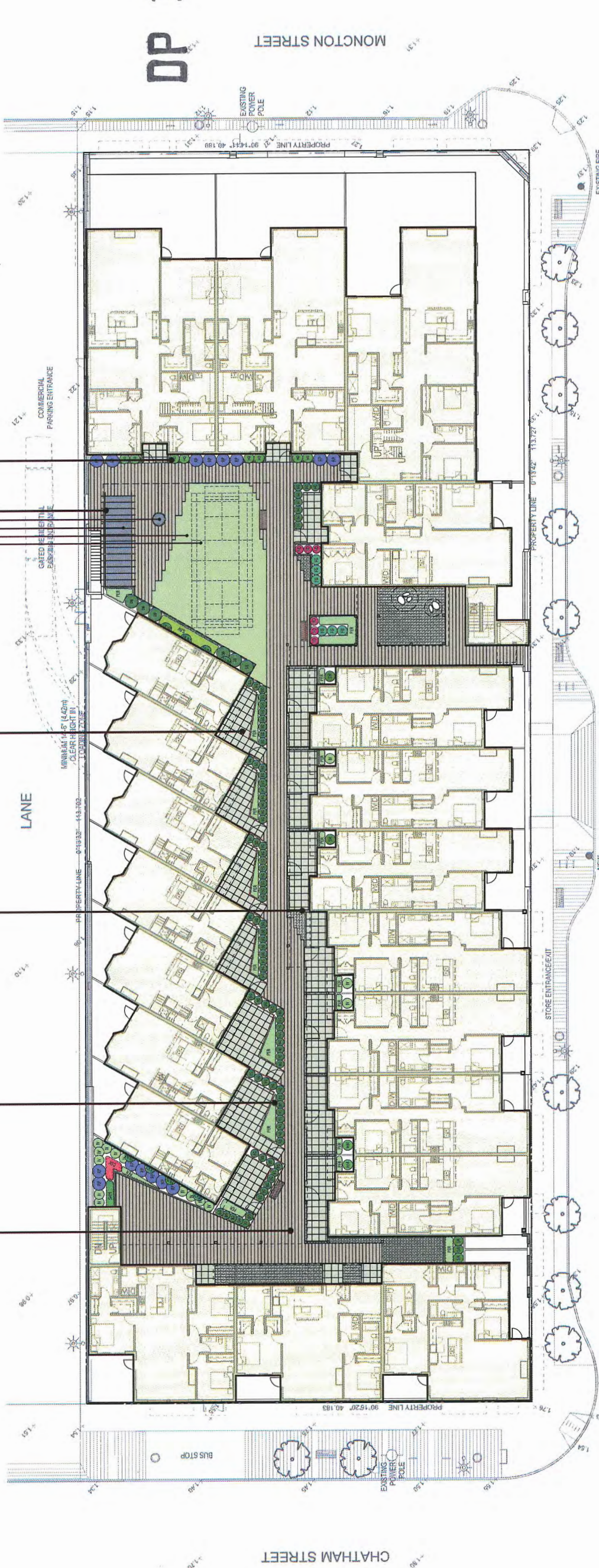
CONTRASTING PAVERS



CENTRAL GATHERING SPACE



RAISED PLANTERS



1 LANDSCAPE PLAN, LEVEL 2 PODIUM COURTYARD

PLANT LIST

CODE	BOTANICAL NAME
SHRUBS	
BG	BUXUS X GLENCOE
SR	SKIMMIA REEVESIANA
HM	HYDRANGEA MACROPHYLLA 'MINI PENNY'
IV	ITEA VIRGINICA 'SPRICH'
HQ	HYDRANGEA QUERCIFOLIA 'PEE WEE'
RP	RHOODODENDRON PMJ
ND	NANDINA DOMESTICA 'GULF STREAM'
DB	DAPHNE BURKWOODII 'CAROL MACKIE'
FG	FOTHERGILLIA GARDENII 'BLUE MIST'
WOODY GROUNDCOVERS	
SHH	SARCOCOCCA HOOKERIANA VAR. HUMILIS
CSK	CORNUS SERICEA 'KELSEYI'
SLW	SPHRAEA JAPONICA 'WALBURNIA'

COMMON NAME	SIZE AND SPACING	COMMENTS
CHICAGO LAND GREEN BOXWOOD	#5	MAINTAIN AS CLIPPED HEDGE
REEVES SKIMMIA	#5	
MINI PENNY HYDRANGEA	#5	
LITTLE HENRY DWARF SWEETSPICE	#3	
PEE WEE OAKLEAF HYDRANGEA	#3	
PMJ RHOODODENDRON	18"-21" HT.	
GULF STREAM HEAVENLY BAMBOO	#3	
CAROL MACKIE DAPHNE	#5	
BLUE MIST FOTHERGILLIA	#3	
DWARF SARCOCOCCA	#1, 18" O.C.	
DWARF REDTWIG DOGWOOD	#1, 18" O.C.	
MAGIC CARPET SPIREA	#2, 24" O.C.	

CODE	BOTANICAL NAME
PERENNIALS AND FILLER PLANTS	POLYSTICHUM MUNITUM
	LIRIOPE SPICATA
	DRYOPTERIS ERYTHROSA
	CAREX OSHIMANSIS 'EVERILLO'
	CAREX MORROWII 'ICE DANCE'
	CAREX TESTACEA
	BERGENIA CORDIFOLIA 'WINTERGLUT'
PER	HELLEBORUS X HYBRIDUS 'ELEGANCE PEARL'
	HOSTA X 'ALAKAZAM'
	EUPHORBIA CHARACIAS 'SILVER SWAN'
VINES	
TRJMI	TRACHELOSPERMUM JASMINOIDES 'MADISON'
HOCC	HOLBOELLIA CORIAEACEA 'CATHEDRAL GEM'

NOTES:

- PLANTINGS INDICATED ARE A PRELIMINARY SELECTION AND ARE SUBJECT TO ADDITIONS AND MODIFICATION AS THE PROJECT DEVELOPS.
- MINIMUM SOIL DEPTHS: 450MM AT SHRUB AND GROUND COVER AREAS
- ALL PLANTINGS TO BE IRRIGATED BY AUTOMATIC SYSTEM
- REFERENCE APPLICABLE BC LANDSCAPE STANDARDS FOR PLANTING AND IRRIGATION INSTALLATION.

#24
APR 18 2017
DP 16-753377

NO.	DESCRIPTION	DATE
ISSUED		

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER

207 COTTER ARCHITECTS INC.
838 West Hastings St, Suite 901, Vancouver, BC V6C 0A8
TEL: (604) 558 8500 EMAIL: info@zgf.com
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Harrison Village

CLIENT:

plat:form

PROJECT ADDRESS
Moncton St. and 3rd Ave., Stevenson, Richmond BC
COPYRIGHT RESERVED. THIS PLAN AND CONTENT ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

DRAWN	LD	SEAL
CHECKED	KJ	
SCALE	1/16" = 1'-0"	
JOB NO.	V23395	
DATE	4/10/2017	
DATE	1:55:40 PM	
SHEET TITLE		

LANDSCAPE
PLAN, LEVEL 2
PODIUM
COURTYARD

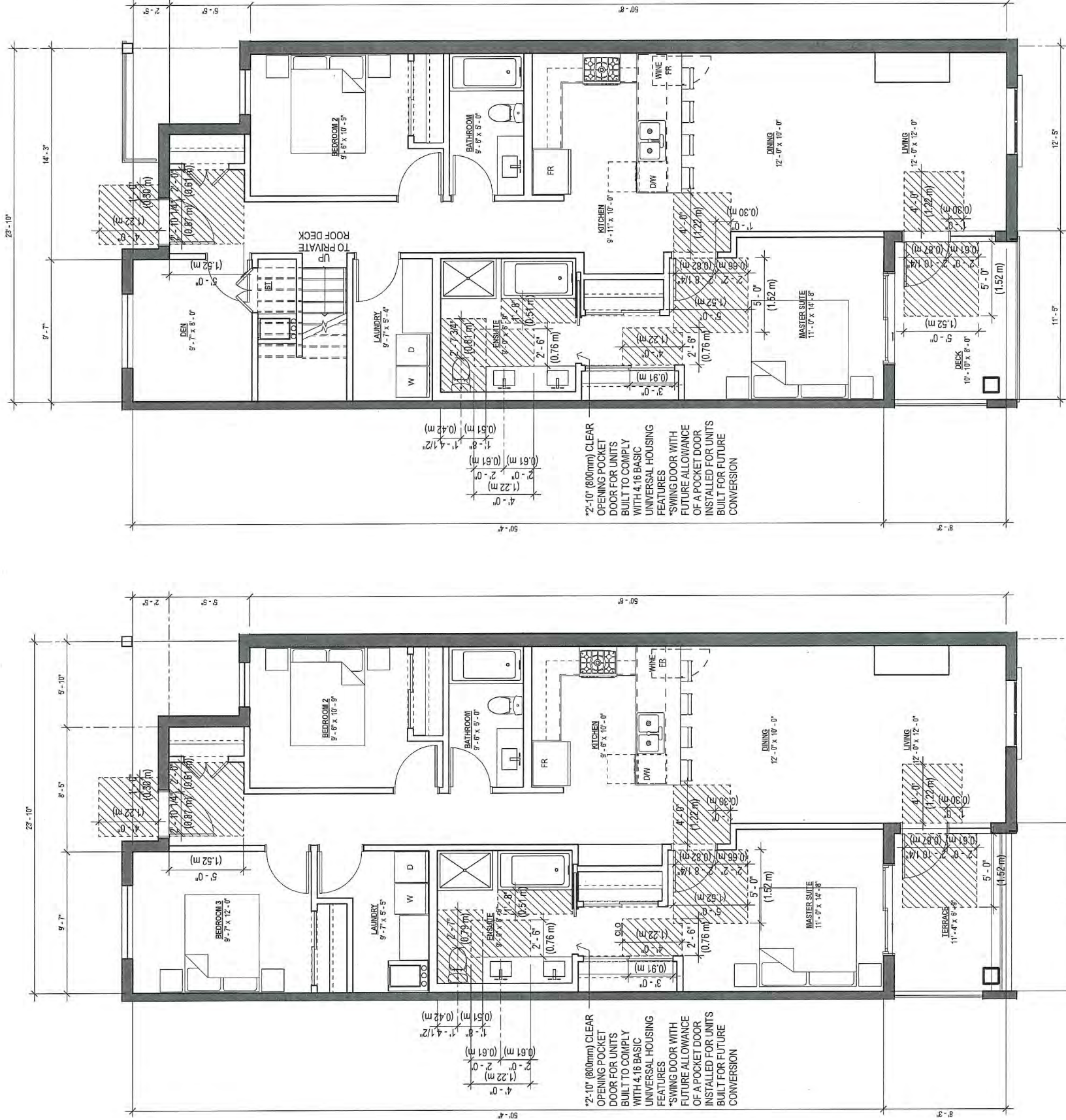
DRAWING NO.	REV
A4.02	



NOTES:

4.16 BASIC UNIVERSAL HOUSING FEATURES CHECKLIST

- 4.16.1 The basic universal housing features described in Section 4.16 are intended to facilitate ready access, use and occupancy of a dwelling unit by a person with a disability.
- 4.16.2 Each dwelling unit and each type of amenity space shall be accessible to a person with a disability from a road and from an on-site parking area.
- 4.16.3 Access to the elevator shall be provided from both the road and the entry to the on-site parking area.
- 4.16.4 An automatic door opener shall be provided for the main entry.
- 4.16.5 The minimum clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 850mm (which will be provided by a swing door).
- 4.16.6 The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living areas in every dwelling unit shall be no less than 800mm (which will be provided by a swing door).
- 4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrist.
- 4.16.8 Flush thresholds throughout the building shall be a maximum of 13mm in height.
- 4.16.9 The above-noted requirements for doors do not apply to mechanical rooms, service areas, closets, etc. where through access is not required and access to a person with a disability is not anticipated.
- 4.16.11 Entry doors to every dwelling unit and door assemblies in common areas shall have a clear and level area which is not less than the following:
 - A. Where the door swings toward the area (pull door), 1500mm long by the width of the door plus at least 600mm clear space on the latch side. This requirement to apply to door assemblies to one bathroom and one bedroom in 2 bedroom and larger dwelling units.
 - B. Where the door swings away from the area (push door), 1200mm long by the width of the door plus at least 300mm clear space on the latch side. This requirement to apply to door assemblies to common living areas in every dwelling unit, and one bathroom and one bedroom in 2 bedroom and larger dwelling units.
 - C. Where there are doors in a series in common areas, there must be separation of at least 1220mm plus the width of the door
 - D. Entry doors to every dwelling unit are exempted from the requirement to provide the 1220mm long clear area and 300mm or 600mm clear space if rough in wiring is provided for future conversion for an automatic door opener.
- 4.16.12 Common corridors shall be no less than 1220mm wide and provide a clear area not less than 1500mm by 1500mm adjacent to the elevator entrance.
- 4.16.13 Floor surfaces throughout the building shall have no abrupt changes in level, i.e., a maximum break of the flush threshold of 13mm height. This requirement does not apply to exterior balcony, patio and deck door sills.
- 4.16.14 Floor surfaces shall be slip resistant.
- 4.16.15 Where carpets are used, they must be firmly fixed, have a firm underlay and pile under 13mm height.
- 4.16.16 Windows which are accessible shall have a window sill height that does not exceed 750mm above the floor to afford seated viewing. At least one window in the bedroom and one window in the living room shall afford such seated viewing.
- 4.16.17 Windows which are accessible shall have opening mechanisms operable with one hand and of a type that does not require tight grasping, pinching or twisting of the unit. Outlets and Switches
- 4.16.18 Light switches and electrical panels shall be 900mm to 1200mm from the floor. Intercom buttons shall be a maximum 1375mm from the floor.
- 4.16.19 Electrical outlets, cable outlets and telephone jacks shall be located 455mm to 1200mm from the floor.
- 4.16.20 Thermostats shall be located between 900mm to 1200mm from the floor
- 4.16.21 The operable part of controls shall be located within reach of a clear floor area that has a width of not less than 750mm.
- 4.16.22 Light switches will be rocker or paddle-type switches.
- 4.16.23 At least one bathroom shall:
 - A. have a toilet positioned with the centre line of the toilet 420mm to 480mm from a side wall on which a grab bar can be installed and at least 510mm from any obstruction on the non-grab bar side and at least 800mm from any obstruction in front of the toilet;
 - B. have a clear floor area at the sink of 760mm by 1220mm positioned for a parallel approach and centred on the sink;
 - C. have a minimum clear area of 510mm in depth along the full length of the bathtub
 - D. have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars, and
 - E. include easy to grasp handles on faucets, e.g., lever-type faucets.
- 4.16.24 Where bathrooms are provided to serve a common amenity space, at least one shall be wheelchair accessible as described in the Building Code and the top of the rim of the toilet in that one bathroom shall be 480mm above the floor.
- 4.16.25 The kitchen must have:
 - A. some usable counter space and cupboards that can be easily accessed by people with disabilities, including people with wheelchairs, e.g., continuous counter between the stove and sink; adjustable shelves in all cabinets; pull-out work boards at 810mm height and pull-out cabinet shelves;
 - B. easy to grasp handles on faucets, e.g., lever-type faucets;
 - C. easy to reach and grasp handles on cupboards, e.g. D or J type cabinet handles and grab edges under counters;
 - D. task lighting at sink, stove and key work areas; and
 - E. plumbing and utility pipes located to provide for a potential 810mm wide under counter workspace so as not to prevent the easy future conversion of counter space and sinks to being universally accessible for knee space under the sink and where there is a counter top stove built in.
- 4.16.26 The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have sufficient space to provide a turning diameter of 1500mm on one side of a double bed.
- 4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900mm, clear floor space of at least 750mm by 1200mm and a clothes hanger rod than can be lowered to 1200mm.
- 4.16.28 Access doors shall have a minimum clear opening of 800mm.
- 4.16.29 Minimum dimensions of any balcony or patio shall be 1500mm by 1500mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio.



1 UNIT D1 - BASIC UNIVERSAL HOUSING FEATURES

AS.00 1/4" = 1'-0"

2 UNIT D2 - BASIC UNIVERSAL HOUSING FEATURES

AS.00 1/4" = 1'-0"

REV.	Description	Date

PROJECT STATUS
DP RESUBMISSION

ZGF
COTTER
ZGF COTTER ARCHITECTS INC.
838 West Hastings St., Suite 901, Vancouver, BC V6C 1A6
TEL: (604) 582-5300 FAX: (604) 582-5301
WEB: www.zgf.com

PROJECT:
THE RODERICK
EST. 2017
in Stranmillis Village
CLIENT:

plat:form

PROJECT ADDRESS:
Moncton St. and 3rd Ave., Steveston, Richmond BC
OWNER: THE CITY OF RICHMOND
DESIGNED BY: ZGF COTTER ARCHITECTS INC. AND
THE CITY OF RICHMOND
CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN
CONSENT.

DRAWN	Autor	SEAL
CHECKED	Checker	
SCALE	1/4" = 1'-0"	
ASB No.	V23386	
DATE	4/8/2017	
SHEET TITLE	4.00/51 PM	

**UNIT PLAN D1 &
D2 - BASIC
UNIVERSAL
HOUSING
FEATURES**

DRAWING NO.	REV.
A6.00	

APR 18 2017 #25
DP 16-753377