



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, April 29, 2020
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on March 11, 2020.



1. **DEVELOPMENT PERMIT 19-876699**
(REDMS No. 6415132 v. 3)

APPLICANT: Oval 8 Holdings Ltd.

PROPERTY LOCATION: 6899 Pearson Way

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of a child care facility at 6899 Pearson Way on a site zoned "High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *decrease the minimum rear (northeast) setback from 3 m to 0.4 m;*
 - (b) *decrease the minimum side (northwest) setback abutting 6811 Pearson Way from 3 m to 0.4 m;*
 - (c) *increase the maximum lot coverage for buildings from 45% to 55%;*
 - (d) *remove the requirement for an on-site loading bay; and*
 - (e) *increase the maximum height of a fence from 2.4 m to 3.9 m.*



ITEM

2. **DEVELOPMENT PERMIT 18-817925**

(REDMS No. 6405038)

APPLICANT: Wensley Architecture Ltd.

PROPERTY LOCATION: 13020 Delf Place

Director's Recommendations

That a Development Permit be issued which would permit the construction of a single-storey building with drive-through restaurant use at 13020 Delf Place on a site zoned "Industrial Business Park (IB1)".



3. **DEVELOPMENT PERMIT 18-826280**

(REDMS No. 6345235)

APPLICANT: Gradual Architecture Inc.

PROPERTY LOCATION: 4100 Vanguard Road

Director's Recommendations

That a Development Permit be issued which would permit the development of a 927 m² light industrial building at 4100 Vanguard Road on a site zoned "Industrial Retail (IR1)".



4. **DEVELOPMENT PERMIT 18-829204**

(REDMS No. 6407865)

APPLICANT: Fougere Architecture Inc.

PROPERTY LOCATION: 9391, 9393 and 9411 No. 2 Road

Director's Recommendations

That a Development Permit be issued which would:

- 1. permit the construction of 11 townhouse units at 9391, 9393 and 9411 No. 2 Road on a site zoned "Medium Density Townhouses (RTM2); and*

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ITEM

2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
- (a) reduce the front yard setback from 6.0 m to 5.05 m; and*
 - (b) increase the allowable small car parking spaces from 0 to 20% (5 spaces).*



5. **New Business**

6. **Date of Next Meeting: May 13, 2020**

ADJOURNMENT



**Development Permit Panel
Wednesday, March 11, 2020**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Peter Russell, Director, Sustainability and District Energy
Jim Young, Director, Facilities and Project Development

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on February 26, 2020 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 17-766824
(REDMS No. 6393525)

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 8100 No. 5 Road

INTENT OF PERMIT:

1. Permit the construction of a temple at 8100 No. 5 Road on a site zoned “Assembly (ASY)” and partially designated as an Environmentally Sensitive Area (ESA); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum height for buildings from 12 m to 13.75 m to allow for two roof-top sculpture elements.

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Applicant's Comments

Matthew Cheng, Matthew Cheng Architect Inc., with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development, highlighting the following:

- the subject property is located in the Agricultural Land Reserve Area (ALR) and zoned "Assembly (ASY)" and "Agriculture (AG1)", with portions designated as Environmentally Sensitive Area (ESA);
- the agricultural product grown on the subject property is intended for the use of the congregation or for donation;
- the existing ESA in the "Assembly (ASY)" zoned portion of the property has been found to be historically disturbed and will be removed and compensated in the form of an agricultural buffer area between the proposed development and the agricultural area;
- a four-meter wide driveway will be provided along a portion of the north property line to provide access to the site's agricultural area;
- a drainage system will be installed on the south and west sides of the site;
- a generous setback is proposed from the front property line along No. 5 Road for the proposed religious assembly building;
- the originally proposed vehicle entrance to the site has been relocated to the northwest corner to improve vehicular traffic and enhance pedestrian safety as recommended by the City's Advisory Design Panel;
- the proposed number of surface parking stalls to be provided around the proposed building complies with the City's Zoning Bylaw requirement;
- a pedestrian walkway is proposed around the building to separate pedestrian and vehicular traffic;
- bicycle racks and lockers will be provided in the proposed development;
- the main floor of the proposed building will be elevated to comply with the City's Flood Plain Designation and Protection Bylaw;
- a wheelchair lift will be installed in the middle of the proposed building opposite the accessible parking stalls to enhance accessibility of disabled persons;
- the building has been designed to reflect the traditional South Indian Hindu Temple;
- the main building components include a dining area and a worship hall;
- a building height variance is proposed to accommodate a small portion of the gate tower which is an important religious symbol;
- the highest point of the proposed building is significantly lower than the height of adjacent religious buildings;

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- a parapet will be installed to screen the building's rooftop mechanical equipment; and
- appropriate safety, security and sustainability features will be incorporated into the proposed development.

Caelan Griffiths, PMG Landscape Architects, briefed the Panel on the main landscaping features of the project, noting that (i) different surface paving treatments on the site are proposed according to their specific uses, (ii) the proposed ESA planting for the agricultural landscape buffer includes native plant species which provide habitat for pollinators, (iii) flowering trees and bright perennials are proposed for the "Assembly (ASY)" zoned portion of the site, and (iv) bollard lighting is proposed to avoid light pollution and enhance pedestrian safety and wayfinding on the site.

In reply to queries from the Panel, Mr. Cheng acknowledged that (i) the applicant will consider installing on-site electric vehicle and bicycle charging stations although these are not required for the project, (ii) the proposed rooftop mechanical equipment will be screened and hidden from adjacent religious buildings, and (iii) the main floor of the building will be elevated by 1.4 meters above the road.

Staff Comments

Wayne Craig, Director, Development, noted that (i) the project complies with the required flood construction level for the area, (ii) there is a Servicing Agreement for frontage works and service connections as a condition for approval, (iii) the proposed height variance for the project is less than the height variances approved by the City for similar religious buildings along the No. 5 Road corridor, (iv) there are no habitable spaces associated with the proposed height variance, which is centrally located to minimize shadowing impacts on adjacent developments, and (v) the approximately 640-square meter on-site landscaping for the "Assembly (ASY)" zoned portion of the site has a similar planting palette with the ESA compensation planting on the proposed agricultural landscape buffer and also performs an ecological function.

Panel Discussion

The Panel expressed support for the project, noting that it is well thought out and the proposed building height variance is minimal.

Gallery Comments

None.

Correspondence

None.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of a temple at 8100 No. 5 Road on a site zoned "Assembly (ASY)" and partially designated as an Environmentally Sensitive Area (ESA); and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum height for buildings from 12 m to 13.75 m to allow for two roof-top sculpture elements.*

CARRIED

2. **DEVELOPMENT PERMIT 18-835723**

(REDMS No. 6398694 v. 4)

APPLICANT: Prosper Homes Ltd.

PROPERTY LOCATION: 9500 Finn Road

INTENT OF PERMIT:

Permit the construction of a single detached dwelling at 9500 Finn Road on a site zoned "Agriculture (AG1)" zone and designated as an Environmentally Sensitive Area (ESA).

Applicant's Comments

Chan Sandher, Prosper Homes, Ltd., with the aid of a visual presentation (copy on file, City Clerk's Office), provided background information on the proposed development, highlighting the following:

- the subject property includes Environmentally Sensitive Areas (ESAs) along the southwestern corner and eastern side of the property;
- existing structures within the ESAs have been removed and the ESAs will be replanted with native species of trees, shrubs, and groundcovers; and
- temporary fencing will be installed to protect the ESAs during construction of the proposed development which includes a new single detached dwelling with attached garage and septic tank.

Mark Gollner, Marlim Ecological Consulting Ltd., reviewed the proposed ESA restoration and enhancement scheme as well as the proposed ESA compensation scheme within the adjacent Riparian Management Area (RMA) to the east of the original boundary line. In addition, Mr. Gollner noted that monitoring during construction and ESA planting will be conducted by a Qualified Environmental Professional (QEP).

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Staff Comments

Mr. Craig noted that all existing trees on the site will be retained and there is a legal agreement to require three years of post-construction monitoring of the ESA restoration planting by a QEP.

Panel Discussion

In reply to a query from the Panel, Mr. Gollner noted that the topped birch tree will be retained as it has wildlife habitat value.

Gallery Comments

Graeme Price, 9460 Finn Road, stated that he lives near to the subject property and queried about the required distance of the septic drain field from the ESA as he expressed concern that the size of the septic drain field might not be adequate and could potentially impact the ESA.

In reply to the query of Mr. Price, Mr. Craig advised that (i) the design of the septic drain field will have to be certified by a qualified professional and reviewed and approved by the Vancouver Coastal Health (VCH), (ii) depending on the technology, different septic field drain sizes could be used, and (iii) there will be a licencing requirement that will be verified at Building Permit stage.

In reply to a further query from Mr. Price regarding the elevation of the subject property, Mr. Craig further advised that there are no retaining walls proposed along the common property lines and no grade changes are anticipated between the subject property and adjacent properties.

In addition, Mr. Sandher confirmed that (i) the foundation walls of the proposed single-family dwelling will be raised; however, the elevation of the subject property will not be increased, and (ii) a septic engineer has been consulted by the applicant for the design of the septic system for the proposed development.

Correspondence

None.

Panel Discussion

The Panel expressed support for the proposed development and commended the applicant for their work on the project.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a single detached dwelling at 9500 Finn Road on a site zoned "Agriculture (AG1)" zone and designated as an Environmentally Sensitive Area (ESA).

CARRIED

3. Date of Next Meeting: March 25, 2020

4. Adjournment

It was moved and seconded

That the meeting be adjourned at 4:12 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, March 11, 2020.

Joe Erceg
Chair

Rustico Agawin
Committee Clerk



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 8, 2020

From: Wayne Craig
Director, Development

File: DP 19-876699

Re: **Application by Oval 8 Holdings Ltd. for a Development Permit at
6899 Pearson Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a child care facility at 6899 Pearson Way on a site zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Decrease the minimum rear (northeast) setback from 3 m to 0.4 m.
 - b) Decrease the minimum side (northwest) setback abutting 6811 Pearson Way from 3 m to 0.4 m.
 - c) Increase the maximum lot coverage for buildings from 45% to 55%.
 - d) Remove the requirement for an on-site loading bay;
 - e) Increase the maximum height of a fence from 2.4 m to 3.9 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:rp
Att. 6

Staff Report

Origin

Oval 8 Holdings Ltd. has applied to the City of Richmond for permission to develop a child care facility as part of the “River Green” development located in the Oval Village area at 6899 Pearson Way on a fee simple lot zoned “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)”. In accordance with the zoning and a forthcoming child care construction agreement, the facility would be turned over to City ownership upon its completion.

The subject lot, along with the surrounding lots at 6611, 6622, 6633, 6655, 6688, 6699, 6811 and 6877, were rezoned in 2011 from “Industrial Business Park (IB1)” under Bylaw 8702 (RZ 09-460962), and were subsequently subject to a Zoning Text Amendment under Bylaw 9487 (ZT 15-695231), which was approved on July 25, 2016.

A relatively small portion of the north-easterly part of the subject property is designated an Environmentally Sensitive Area (ESA). As such, an ESA Development Permit (DP 18-840993) to introduce ecological enhancements at 6900 River Road included consideration of those portions of ESA on the subject property in its scope, and was issued on July 8, 2019.

A post-approval amendment to Servicing Agreement (SA 19-861001) (associated with Lot 17 to the north) is required as a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- Completion of all tie-ins to City water, storm and sanitary infrastructure.
- Removal of the existing asphalt sidewalks.
- Installation of sidewalks, streetlights and street trees.

For reference, a Site Map and a Context Map for the River Green Neighbourhood has been provided on Attachment 1.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Surrounding Development

Development surrounding the subject site is as follows:

- To the north, 6811 Pearson Way (Lot 17 of the “River Green” development) contains high rise apartment buildings under construction. North of that is the dike (and its public amenities) and the Middle Arm of the Fraser River.
- To the east, 6900 River Road (Lot 14 of the “River Green” development) is a naturalized, City-owned lot approved for pedestrian improvements for passive enjoyment of the environmental and heritage elements of the site.
- To the south, 6911 Pearson Way, across River Road, contains an existing high rise apartment building with retail at grade along River Road.

- To the west, 6699 River Road (Lot 12 of the “River Green” development), across Pearson Way, contains high rise apartment buildings under construction with retail at grade along River Road.

Development Context

The City of Richmond has secured a child care facility as a community amenity to be provided by Oval 8 Holdings Ltd. as part of the “River Green” development located in the Oval Village area at 6899 Pearson Way. The development, which includes approximately 11 hectares (27 acres) of riverfront property, is a multi-phased, high rise, high-density, mixed use development that includes new streets, parks and open spaces, and related public amenities.

The area’s site specific zoning and registered legal agreements that were registered on the title of both 6899 and 6811 Pearson Way secured the developer’s obligation to design and construct, at the developer’s sole cost, a minimum 464.5 m² (5,000 ft²) turnkey child care facility with 464.5 m² (5,000 ft²) related outdoor areas at 6899 Pearson Way. Occupancy of future residential units at 6811 Pearson Way is tied to the required delivery of the child care facility at 6899 Pearson Way. As additional security, the developer has provided a Letter of Credit (LOC) for \$4.75 million to secure timely delivery of the building. A child care construction agreement will be developed and registered on title prior to the issuance of a Building Permit.

The facility is being designed to accommodate 37 children in two licensed child care programs with the final number of licensed spaces to be confirmed by the Operator in consultation with the City and Vancouver Coastal Health Community Care Facilities Licensing. The types of child care programs to be provided include:

- Group child care under 36 months.
- Group child care 30 months to school age.

The facility is anticipated to be completed by the developer in Spring 2022, although timing is dependent on a number of factors, including the final timeline for construction. The subject site is currently used as a staging area for nearby construction, and contains five temporary buildings used as construction offices.

Rezoning, Zoning Text Amendment and Public Hearing Results

Bylaw 9487 amended the subject zone to permit increased residential density in exchange for construction and provision of a child care facility on the subject lot. During the Zoning Text Amendment process, staff identified that the design of the facility would be resolved at the Development Permit stage.

The Public Hearing for the Zoning Text Amendment pertaining to the child care facility was held on November 16, 2015. At the Public Hearing, there were no submissions or concerns expressed about the child care facility.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject

Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Zoning Bylaw except for the zoning variances to the “High Rise Apartment and Olympic Oval (ZMU4) – Oval Village (City Centre)” zone noted below.

Zoning Compliance/Variations (staff comments in **bold**)

1. Decrease the minimum rear (northeast) setback from 3 m to 0.4 m.

Staff support the proposed variance as the rear yard abuts the adjacent City-owned wooded lot (Lot 14). The proposed variance applies only to a portion of the building and would have no impact on the ESA on Lot 14. Moreover, the subject lot is relatively small and the proposed single-story building requires a larger footprint to accommodate the spatial requirements for child care programming and functionality.

2. Decrease the minimum side (northwest) setback abutting 6811 Pearson Way from 3 m to 0.4 m.

Staff support the proposed variance as the interior side yard abuts the 6811 Pearson Way (Lot 17) Driveway Public Access SRW area (see attachment 5). Moreover, the subject lot is relatively small and the proposed single-story building requires a larger footprint to accommodate the spatial requirements for child care programming and functionality. On Lot 17 (6811 Pearson Way), the Driveway Public Access SRW area provides access to the proposed facility's parking structure and off-site loading bay, in addition to the loading bay for Lot 17 and pedestrian access to wooded Lot 14. This shared access arrangement eliminates the need for a driveway crossing for the subject lot and accommodates safe and organized vehicle and pedestrian movements through the use of coloured pavers to separate traffic flows.

3. Increase the maximum lot coverage for buildings from 45% to 55%.

Staff support the proposed variance as the proposed single-story building requires a larger footprint to accommodate the spatial requirements for child care programming and functionality. The footprint for the proposed single-story building accommodates accessibility measures and open space for a play area in the courtyard, and addresses the distinct needs of a child care facility on a relatively small lot. The proposed layout and design of the facility is supported by City Childcare staff and Vancouver Coastal Health.

4. Remove the requirement for an on-site loading bay.

Staff support the proposed variance, considering that a statutory right-of-way (SRW) for public right-of-passage (PROP) has already been registered on the title of the abutting property to the north, 6811 Pearson Way (see attachment 5), that would accommodate, among other things, pick-up of garbage and recycling along the southerly drive aisle that abuts the subject property, vehicle access to the facility's parking structure and an area for pick-up of garbage and recycling from the proposed child care facility.

5. Increase the maximum height of a fence from 2.4 m to 3.9 m.

Staff support the proposed variance as the proposed fence is fundamentally incorporated into the design concept of the building itself, and faces the wooded lot to the northeast at 6900 River Road.

Design: Exterior Form and Character

The proposed child care facility will be a one-storey horseshoe-shaped building to optimize the views of the adjacent heritage woodlot with existing mature trees and native plants. This orientation also best addresses noise considerations from the street for the outdoor play areas.

The architecture employs a 'buildings within buildings' concept of nesting the suggestion of child-scale pitched-roof building forms (reflecting the area's historical typical built form) as perceived from various locations within and around the building. From the exterior, the pitched forms are articulated through the use of a tri-colour frieze along the upper portion of the building, which includes scattered cut-outs of oak leaves and emblems of a blustery day, as a nod to the adjacent wooded lot and local weather patterns.

The façade materials consist primarily of metal and composite wall panels as shown exterior materials samples. Perspective renderings of the proposed facility are provided on Attachment 3.

Design: Child Care Design Guidelines and Functional Space Focus (interior layout)

City staff have been closely involved in the review of the design of the building, and the City's Child Care Design Guidelines have played a significant role in the internal layout and playground design. The Council-appointed operator of the proposed child care facility has also been included in the design review process. Likewise, Vancouver Coastal Health has reviewed the plans, supports the design and does not foresee any issues with licensing the facility; however, formal sign-off by on the project Vancouver Coastal Health occurs at Building Permit stage.

Building Layout

The interior floor plan of the building has been designed to provide programming space for two distinct types of licensed 'Group Care' child care programs: the north side of the building (closest to Lot 17) can accommodate 12 children under the age of 36 months, and the south side (closest to River Road) can accommodate 25 children that are between 30 months to school age. The building has been designed to offer spaces for all users of the facility, including children, child care staff and parents.

The Entry Foyer

The front entrance is accessible via elevator and stair access along the Pearson Way frontage. An elevator abutting the entry stairs opens directly to the exterior on Pearson Way accommodates facility users that are using a wheelchair or stroller and provides access to both main and parkade levels. The facility is secure, so anyone accessing the building, by elevator, doorway, or parkade access ramp must enter via an access card or via the video enterphone.

The entry foyer provides a centralized area from which to access the shared spaces of the facility, including a parent stroller storage area, a staff room, and an accessible washroom. Likewise, both Group Care program areas noted above are accessed from the entry foyer.

The Courtyard

The children's outdoor play areas are located in the proposed courtyard area in order to allow the building to act as a noise and visual buffer from vehicles on River Road and Pearson Way. The outdoor play areas have been designed in concert with the building itself so to accommodate easy movement for children between interior and exterior spaces. Best practices for children's outdoor play environments have been considered in the design of the courtyard play area, to ensure a variety of natural materials are included in the design, opportunities for imaginative and active physical play, urban agriculture, environmental education, and facilitate appropriate levels of supervision.

The courtyard play area is bisected by a low fence that segregates the play areas for the two distinct programs (i.e. 36 months & under on the 'north' portion and 30 months to school age on the 'south' portion), as per licensing requirements. Between the building interior and the outdoor play area is an exterior covered area with cedar floor material, which provides a transition space between the inside and outside of the building, weather protection and additional aircraft noise reduction.

The slope of the ceiling structure over the parkade access ramp is innovatively incorporated into the design of the play area, introducing a slope in an otherwise flat play area. Natural materials and native plant species are key components to the palette of the play area. The concept of the historical pitched roof forms is continued in the design of the fence along the rear lot line (abutting the wooded Lot 14) and the underside of the roof overhang.

Parking and Loading

The on-site, underground parking area will include ten spaces, including nine standard and one accessible space. One of the standard spaces is oversized to accommodate the needs of parents with strollers. The parking area is secured and accessed via a ramp from the Lot 17 Driveway Public Access Statutory Right-of-Way (SRW) area on the abutting lot to the north.

A loading bay is provided in the Lot 17 Driveway Public Access SRW area to accommodate for off-loading supplies and collecting garbage and recycling from the facility. The loading bay area is designed to accommodate medium-sized SU-9 trucks, used by City garbage and recycling pick-up services as well by private solid waste pick up services.

Six Class 1 bicycle parking spaces for child care staff are proposed on the parking level of the building can be accessed from the parking lot. End-of-trip facilities for staff that cycle to work, including changing areas and a shower, are likewise provided on the parking level.

Child Care Terms of Reference

Child Care Terms of Reference were developed and attached as Schedule H to the Rezoning Considerations (RZ 09-460962). Revisions to the Terms of Reference were included in the Zoning Text Amendment (ZT 15-695231). These are registered on title of the lot as Schedule H, Appendix 1 to the No Development Covenant (CA5349573).

The proposed facility complies with the revised Terms of Reference that were established through the rezoning process, which include following criteria:

- Indoor space of no less than 464.5 m² (5,000 ft²) of usable floor area not including ancillary uses, circulation and exterior walls/structure.
- Outdoor play space of no less than 464.5 m² (5,000 ft²) not including walls/structure and landscape buffer.
- Ancillary uses, as required by the City, for the functionality of the facility.
- Circulation to connect the indoor space with the ancillary uses.
- Walls/structure as required.
- Landscape buffer along the facility's street frontages.

In addition, the facility must accommodate and be capable of being licensed by Vancouver Coastal Health Community Care Facilities Licensing for at least two licensed child care programs for children between the ages of birth and six years old. The facility is to be designed and constructed to a turnkey level of finish and to satisfy the City of Richmond's Child Care Design Guidelines and all other City policies and procedures relevant and in effect at the time of the development review, approval and construction.

Advisory Design Panel Comments

The Advisory Design Panel was held on February 5, 2020. A copy of the relevant excerpt from the Advisory Design Panel Minutes from the meeting is attached for reference (Attachment 4). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Conditions of Adjacency

- The subject site is located in a high-profile gateway location in the Oval Village, and has frontages on River Road and Pearson Way.
- The proposed building's entrance fronts on Pearson Way, and the setback area in front of the building accommodates landscaping and open area to facilitate informal gatherings and social encounters.
- River Road is designated as both a greenway and a retail high street in the City Centre Area Plan (CCAP). River Road Greenway provides a pedestrian connection and green link between the Richmond Olympic Oval (west of Lot 12) and the future expansion of Middle Arm Park (east of Gilbert Road). The proposed building is set back 5.2m (17 ft) from the property line abutting River Road, accommodating landscaping and pedestrian amenities that enhance the pedestrian experience along River Road.
- The City-owned wooded Lot to the east (Lot 14) is a designated ESA and a naturalized site of cultural importance (environmental and heritage). A proposed elevated boardwalk will provide pedestrian access between River Road and Lot 17 (north of Building F, where the boardwalk would continue to the dike along the Middle Arm of the Fraser River). The

building's courtyard is open to the wooded Lot but enclosed by a decorative, visually-permeable fence. There is also a horizontal opening from the parkade level that faces Lot 14. The decorative fencing enclosing the east side of the courtyard extends down through opening for parkade security.

- The adjacent property to the north (Lot 17) contains three residential towers that are currently under construction, the southernmost of which is identified as 'Building F'. Building F approved to be 47 m in height, and south-facing dwelling units would overlook the proposed child care facility. A statutory right-of way allows for public right-of-passage in a drive aisle area between Building F and the subject lot (the Lot 17 Driveway Public Access SRW area demonstrated in Attachment 5), which also accommodates:
 - a) Vehicle access into the facility's below-grade parking structure.
 - b) A loading area for garbage and recycling pick-up services.
 - c) Any uses that would otherwise be permissible on a public street.

On the other side of the drive aisle, Building F is clad in stone and metal panels, which is compatible with the metal wall panel cladding on the northeast elevation of the subject building. The proposed building would be minimally set back from Lot 17 and landscaped along its edge to soften the transition to the Lot 17 Driveway Public Access SRW area.

Urban Design and Site Planning

- The main entrance and primary frontage for the facility is along Pearson Way.
- The building is a single storey, horseshoe-shaped flat roof child care facility that surrounds an open-air play area on three sides. The courtyard, while enclosed by a decorative fence, is open to the adjacent wooded lot, accommodating a sense of openness to, and harmony with, the naturalized realm.
- The design concept of the building evokes a sense of the area's historical built typology (modest pitched-roof structures) through the design of the upper frieze along the Pearson Way frontage, the decorative fence along the open (northeast) side of the courtyard, and in the vaulted ceilings as viewed from the building's interior.
- A robust pedestrian-oriented public realm is proposed along River Road, contributing to the River Road greenway and supporting the pedestrian-oriented aspects of River Road's 'retail high street' designation. This area includes pedestrian amenities including benches and rail-themed structures for sitting and playing on.
- The massing profile of the building is low and discreet, which is emphasized by the tower forms of the surrounding Oval Village neighbourhood. The 'flat' roof has a slight downward slope towards the interior courtyard.
- A total of 10 parking spaces are to be provided. All parking will be via underground parkade, accessed through the Lot 17 Driveway Public Access SRW area to the north.
- Bike parking for the public is provided via bike racks in front of the main entrance stairs. Bike parking for child care staff is secured in the parkade level, and end-of-trip amenities (showers, change rooms and lockers) are likewise included at parkade level.
- Storage of garbage and recycling is located at the north corner of the building and abuts the off-site loading bay in the Lot 17 Driveway Public Access SRW area.

Landscape Design and Open Space Design in the Public Realm

- 32 new trees are proposed as part of the proposed development. Existing trees located in the adjacent wooden lot (Lot 14) are to be retained and protected, as secured via the rezoning. Prior to Development Permit issuance, a contract is required between the applicant and an ISA Certified Arborist for supervision of on-site works within the tree protection zone of retained trees.
- The estimated landscaping costs, including a 10% contingency is \$445,556.10, which will be provided to the City as a Letter of Credit prior to issuance of the Development Permit.
- Soft landscaping buffers break up the unarticulated elevations along Pearson Way and River Road and deter visual permeability into the building.
- In the setback area along River Road, cast-in-place concrete paving is proposed as a ground surface material.
- In the setback area along River Road between the Sidewalk Public Access SRW area and the building, cedar ground surface treatments and strips of metal gauge inserts reflect the significance of the rail transportation in Richmond's past in the subject area. To further express the railroad heritage, stationary handcar-style wood platforms are proposed between soft landscaping buffers against the south face of the building, to provide an interactive and playful seating area.
- Along the bottom of the east building face, facing Lot 14, a combination of Dogwood and Honeysuckle is proposed to soften the transition between the building and the naturalized groundcover of Lot 14, as seen from the boardwalk.
- Automatic irrigation systems with weather sensor controls are proposed for soft landscaping in the courtyard and along the street frontage.

Sustainability

- The project is required to meet the sustainability target of LEED silver equivalent.
- The subject site is located within the Oval Village District Energy Utility service area. The development would connect to and be serviced by the District Energy Utility (DEU). As a condition of DP issuance, the applicant would register a legal agreement on title regarding the developer's commitment to connect to the Oval Village District Energy Utility, including the operation of and use of the DEU and all associated obligations and agreements as determined by the Director of Engineering.

Accessibility

- Elevator for facility users using wheelchairs, strollers, bicycles and other rolling modes of transportation provides access from the front of the building at sidewalk level to child care level and parkade level.
- One additional parking space for persons with disabilities is provided above what is required, for a total of two spaces.
- The building layout provides for accessible routes from the entrance fronting on Pearson Way to the courtyard areas and to the accessible bathroom.

Crime Prevention Through Environmental Design

- The building has been designed to provide overlook over the public realm while discouraging visual permeability into the building's program areas.
- The Lot 17 Driveway Public Access SRW area to the north is overlooked by a kitchen window and the upper uncovered play area platform. Planting and pedestrian circulation routes have been designed to eliminate hiding places and blind spots from pedestrian areas.
- The Lot 14 naturalized, City-owned lot to the east is overlooked by the River Road public realm as well as the parkade, covered and uncovered play areas through visually-permeable fencing. The Lot 14 boardwalk will be lit in the dark and low light (during times when the subject facility is closed). Parkade fenestration open to Lot 14 would be inaccessible due to bars that are the same material as the courtyard fencing above.
- Bollard lighting is proposed along the Pearson Way frontage, and LED strip lighting is proposed along the River Road frontage. The courtyard play area is lit with fence lights facing inward into the courtyard.

Legal Considerations

- A restrictive covenant (No-Build Covenant) registered on the Titles of the subject lot and Lot 17 stipulates that issuance of a final building inspection permitting occupancy for Lot 17 shall be withheld until occupancy of the subject child care Facility has been issued.
- A Construction Agreement for the proposed child care facility is to be registered on the Title of the subject property prior to Building Permit issuance. In tandem with registration of the above-noted Construction Agreement, the No-Build Covenant should be discharged.
- An abandoned sanitary line that is located across the rear (northeast) of the site needs to be removed in order to accommodate the proposed building. As such, associated Sanitary SRW BP171973 (Plan LMP46822) is proposed to be discharged prior to issuance of a Building Permit.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 6, which has been agreed to by the applicant (signed concurrence on file).

A handwritten signature in blue ink, appearing to read 'RP', with a long horizontal stroke extending to the right.

Robin Pallett, RPP, MCIP
Planner 2
(604-276-4200)

RP:ml

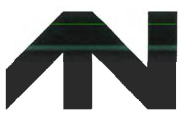
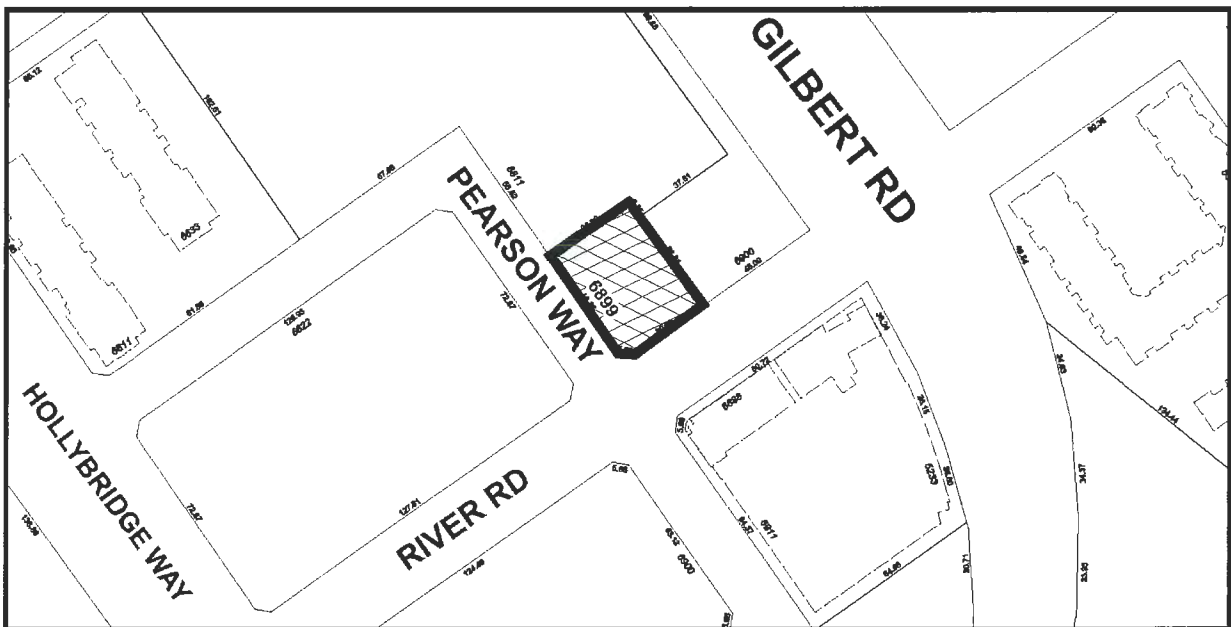
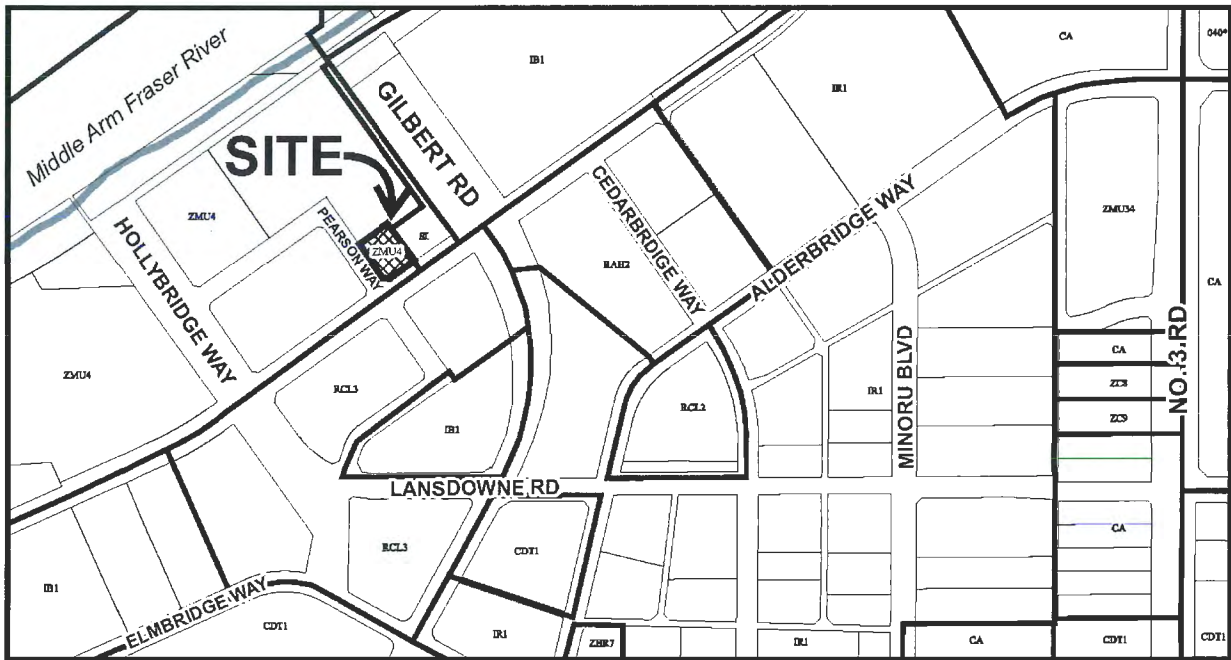
Attachments:

1. River Green Neighbourhood Context Map
2. Development Application Data Sheet
3. Perspective Renderings
4. Advisory Design Panel Meeting Minutes, February 5, 2020
5. Lot 17 Driveway Public Access SRW Area
6. Development Permit Considerations

Attachment 1



City of
Richmond



DP 19-876699

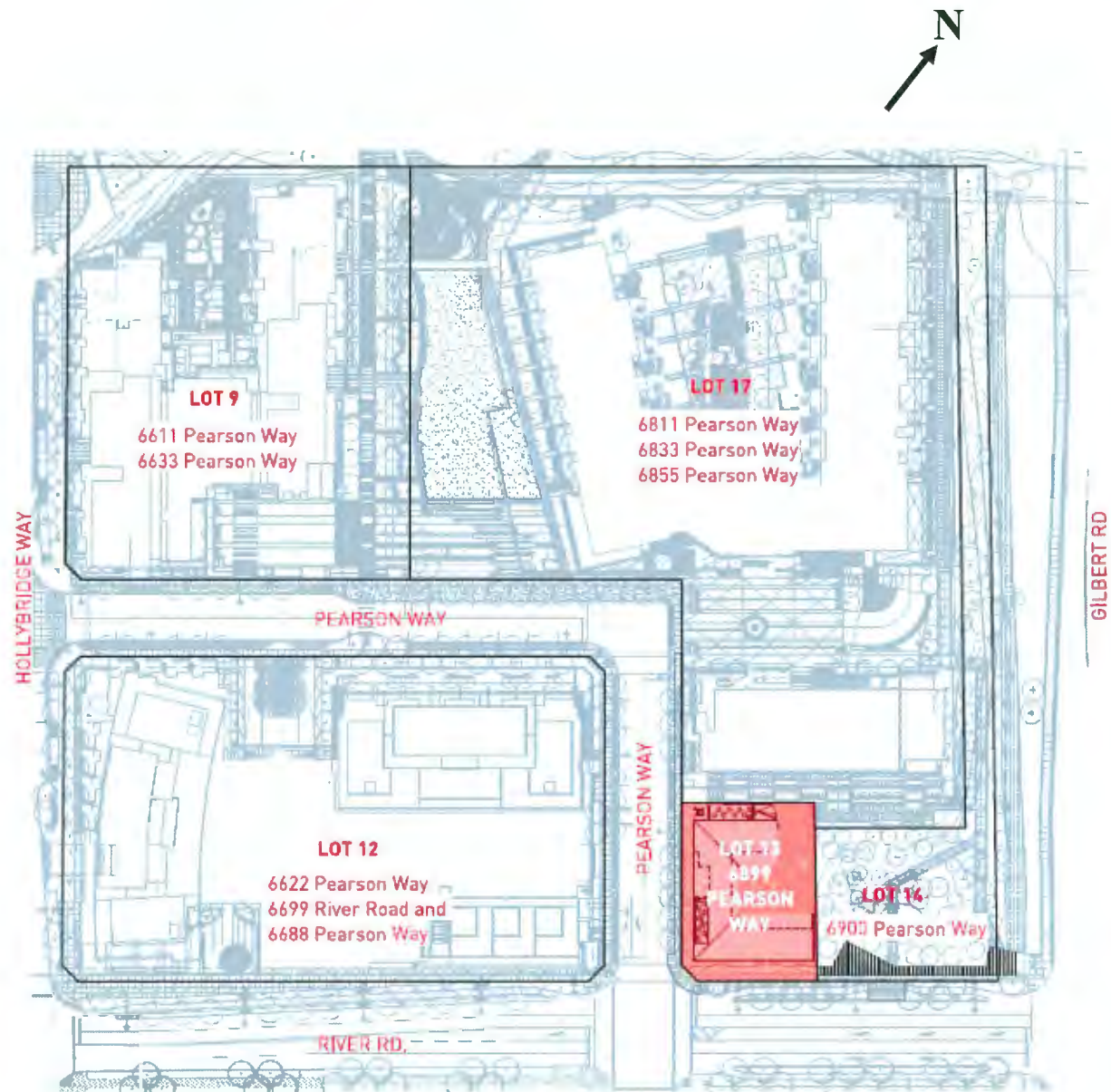
Original Date: 11/07/19

Revision Date:

Note: Dimensions are in METRES

Attachment 1

River Green Neighbourhood Context Map





DP 19-876699

Address: 6899 Pearson Way

Applicant: ASPAC

Owner: Oval 8 Holdings Ltd

Planning Area(s): CCAP – Oval Village

Floor Area Gross: 1,242.9 m²

Floor Area Net: 619.7 m²

	Existing	Proposed
Site Area:	1,458.8 m ²	No Change
Land Uses:	Vacant Lot (construction staging)	Child care Facility
OCP Designation:	Mixed-Use	No Change
Zoning:	Residential / Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)	No Change
Number of Units:	No Dwelling Units	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	N/A	0.42	
Floor Area Net:	Min. 464.5 m ²	619.7 m ²	
Lot Coverage:	Max. 45%	55%	Increase maximum Lot Coverage to 55%
Setback – Front Yard: Pearson Way	Min. 3.0 m	3.1 m	
Setback – Side Yard: River Road	Min. 3.0 m	5.2 m	
Setback – Side Yard: Lot 17 (SRW)	Min. 3.0 m	0.4 m	Decrease minimum required side setback (abutting Lot 17) to 0.4 m
Setback – Rear Yard: Lot 14	Min. 3.0 m	0.4 m	Decrease minimum required rear setback (abutting Lot 14) to 0.4 m
Height (m):	Max. 18.0 m geodetic	9.6 m geodetic	

Off-street Parking Spaces – Regular:	9	9	
Off-street Parking Spaces – Accessible:	1	1	
Total off-street Spaces:	10	10	
Bicycle Parking	As required by the Director of Transportation	6x Class 1 Spaces 2x Class 2 Spaces	
Loading Space	1 On-Site Space	0 (1 Off-Site Space Provided on Lot 17)	<i>Reduce the requirement for on-site loading space to 0</i>
Fence Height:	Max. 2.4 m	3.9 m	<i>Increase the maximum fence height to 3.9 m</i>

The Pearson Way Elevation



The River Road Elevation



The Courtyard Play Area (Looking east)



**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, February 5, 2020 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

DP 19-876699 – CITY CHILD CARE FACILITY

ARCHITECT: Public Architecture and Communication

LANDSCAPE ARCHITECT: PFS Studio

PROPERTY LOCATION: 6899 Pearson Way

Applicant's Presentation

Architect Brian Wakelin, Public Architecture and Communication, and Marta Farevaag, PFS Studio, presented the project, and together with Martin Younis, Manager, Capital Building Project Development, and other members of the design team and City staff, answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- consider installing outward opening doors in lieu of an inward opening doors to the two washrooms adjacent to the laundry facility to create more manoeuvring space and enhance their accessibility;

An out-swinging door for the Accessible WC (room SS-3) would swing into the high traffic circulation area and could pose a safety issue. The accessible WC is designed to provide enough accessibility clearances with the in-swinging door. Staff End of Trip facilities (room P-6) will have an outward opening door.

- appreciate the fully accessible and inclusive child care facility; a ramp is more suitable for this facility as most parents use strollers to transport their children;

Ramp option was reviewed carefully during the schematic design phase and the program requirements along with the sites spatial limitations made including a ramp very challenging. The elevator access provided on the exterior is conceived to manage strollers and facilitate access.

- the project is well done; appreciate the applicant's efforts to design a high quality child care facility which is appropriate for the targeted children's age groups that will use the facility;
- the architectural drawings and diagrams provided by the applicant are difficult to understand, in particular the shadow studies, e.g., it is difficult to determine what are the existing shadows from adjacent buildings and new shadows from the proposed child care facility;

The shadow studies show the overall impact of the shadows from both the adjacent buildings and the proposed child care facility and are rendered together. Property lines have been added to the drawing to help orientate the viewer.

- review whether the orientation of the courtyard results in inadequate southern sun exposure;

The orientation of the courtyard meets the required daylight access set out by the City of Richmond Child Care Design Guidelines.

- appreciate the project design including the gable roofscape, which takes into consideration the site's historical and environmental context; however, from the upper storeys of nearby towers the roof would appear flat; appreciate the applicant's intention to screen the rooftop mechanical equipment; however, consider whether the large flat roof could incorporate design development;

A roof with multiple valleys was considered during the schematic design phase however the project is adjacent to a mature stand of trees and will likely experience the accumulation of seasonal debris. Minimizing the valleys and creating an inward pointing shed roof makes rain water access points accessible and allows for daylight to enter the space. In addition, a flat roof minimizes the maintenance and long-term operational issues as well as providing an integrated mechanical solution.

- review the two dead end parking stalls in the parkade for adequate manoeuvring space;

Parking angle and maneuvering aisle width are in alignment with subsection 7.5.5 of the Parking and Loading Bylaw.

- review the interface of the building's [wooded lot] elevation with the adjacent Environmentally Sensitive Area (ESA); the high wall along the east side of the building is close to the ESA; review impact of proposed reduction of the minimum side setback on the ESA;

The proposed decorative fence on the [wooded lot] elevation complies with the Root Protection Zone of ESA as shown in the Tree Management Plan by the arborist. Our qualified environmental professional has reviewed the design of the development and confirms it does not result in any impacts to the ESA.

- the requirement for the project to connect to an off-site City District Energy Utility (DEU) facility would limit opportunities for the project to incorporate energy sharing and energy saving features; however, consider opportunities to incorporate heat recovery units as opposed to make-up air units due to the extensive ventilation requirements for the proposed child care facility;

A heat recovery ventilators (HRV) are included in the washroom. A centralized HRV was considered during the design phase but was unachievable due to spatial limitations.

- interior lighting for the building will contribute to internal heat gain in the summer and should not be assigned a credit in the LEED Silver version 4 scorecard as one of the sustainability features of the project;

The architect notes that interior lighting may contribute to internal heat gains in the building. The energy performance trade-offs of different design options will be evaluated using a whole building energy model. Credit for performance will be assigned in accordance with LEED v4 modeling guidelines and lighting design requirements.

- the design of the project is cohesive; the applicant is encouraged to explore further opportunities to incorporate more environmental and heritage elements in the site;

The architect has consulted with City staff, who have advised that, to encourage open-ended imaginative play, the preference was for un-prescribed play elements (i.e. tricycle track rubber surface without train track illustration or patterns).

- the site design is very flat; the applicant is encouraged to investigate opportunities to introduce topographical changes on the children's outdoor play area;

Current design already include sloped playground at Northeast corner above the parkade ramp. Additional play feature including rope hill climbers added to enhance the design.

Flatness at the entries to the play area is important for accessibility

- review whether the [wooded lot] facing courtyard will receive adequate sun exposure;

The orientation of the courtyard meets the required daylight access set out by the City of Richmond Child Care Design Guidelines.

- concerned that the image of the play equipment/structure (on page 32 of the [ADP] package) with train theme appears to be tilting, which could pose a safety concern for children;

The image was intended to demonstrate the train theme only. All play structures will be designed to meet CSA standards.

- the architectural drawings and diagrams provided by the applicant is interesting and straightforward;
- appreciate the scale of the building; the chain of gable roofs visually break down the building massing and create a pedestrian scale streetscape;
- consider installing additional windows on the south façade of the building for visual interest and to enhance surveillance opportunities;

The architect has consulted with child care and facilities staff, who advised that no additional windows are necessary. Programming in this area requires light control for light table and projection based activities.

- consider animating the [driveway side] façade of the building as it appears stark;

The grey panel on the elevation complements the basalt material used at the property across the SRW. The use of greenery to break up the façade and draw eyes vertically Hedge planting (Thuja occidentalis 'Degroot's Spire' – Dwarf White Cedar) is added to narrow planting strip along the North façade.

- in general, the building facades are well thought out; appreciate the amount of work the applicant has put into the project design;
- support the Panel comment regarding the significant effort of the design team and extensive collaboration with City staff in the design of the project;
- the facility could accommodate different uses in the future, including a community centre or a restaurant; and

The design has inherent flexibility- should the requirement for a child care facility change (via the City) at a future date, the building could be repurposed to accommodate a different use. At this time, however, there is no desire to change or introduce new uses to the subject site.

- Hope that the child care facility could increase its density in future to accommodate more children considering the huge demand in the high-density residential neighbourhood.

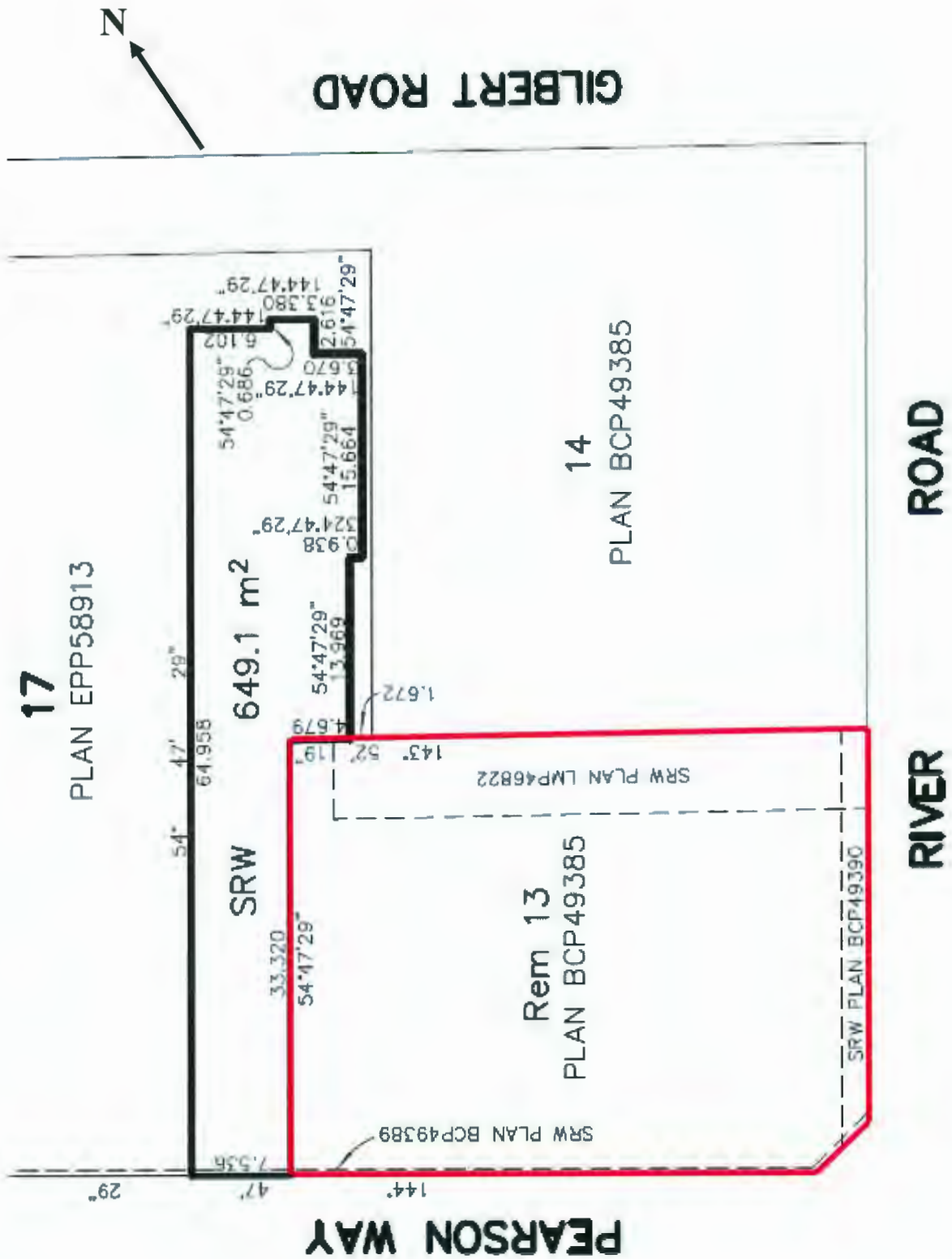
The number of children that the facility can accommodate has been determined through the criteria set out by the City of Richmond Child Care Design Guidelines.

Panel Decision

It was moved and seconded

That DP 19-876699 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED





Address: 6899 Pearson Way

File No.: DP 19-876699

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Receipt of a Letter of Credit for landscaping in the amount of \$445,556.10 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
2. Submission of a Contract entered into between the applicant and an ISA Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including that the project arborist be present on site to supervise any work within the tree protection zone.
3. Installation of appropriate tree protection fencing as per the Tree Protection Bylaw and arborist report on the property at 6900 River Road, to the satisfaction of the City, as part of the development prior to any construction activities, including building demolition, occurring on-site.
4. Securing the owner's commitment to connect to District Energy Utility (DEU), which requires the owner of Lot 13 to undertake the following to the satisfaction of the City:
 - a) Design and provide plans and specifications demonstrating capability to connect to and be serviced by the DEU that will be constructed by or on behalf of the City;
 - b) Provide an energy modelling report;
 - c) Enter into the Service Provider Agreement or alternative agreement;
 - d) Enter into a Section 219 Covenant for the installation, operation and maintenance of all necessary facilities.
 - i. The required restrictive covenant, SRW, and/or alternative legal agreement(s), which are to be to the satisfaction of the City, are to secure the owner's commitment to connect to District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - ii. No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - iii. If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right of way(s) and/or easements necessary for supplying the DEU service to the building;
 - iv. If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
 - (a) The City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - (b) The owner enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;

- (c) The owner grants or acquires the Statutory Right of Way(s) and/or easements necessary for supplying DEU services to the building; and
 - (d) The owner provides to the City a letter of credit, in an amount satisfactory to the city, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation.
- 5. Enter into a Post-Approval Revision of Servicing Agreement SA 19-861001 (associated with Lot 17 offsite works) to include the design and construction of ultimate works behind the curb to the property line. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to, completion of all tie-ins to City water, storm and sanitary infrastructure, removal of the existing asphalt sidewalks and installation of sidewalks, streetlights and street trees.

Prior to Building Permit Issuance, the developer must complete the following requirements:

- 1. Prepare and provide, to the satisfaction of the City, a detailed design, specifications, and material finishes board for the facility and all related spaces.
- 2. Execution and registration of a Construction Agreement setting out requirements with respect to the design, construction, supply, installation, approval and warranty of the facility and all related spaces to the satisfaction of the City. Construction Agreement must be registered on title to the land in the form acceptable to the City.
- 3. Discharge Restrictive Covenant CA5349572, as modified by CA7455881 (The No-Build Covenant).
- 4. Registration of a restrictive demolition covenant, to the satisfaction of the City, stipulating at minimum, the following terms and conditions:
 - a) Building Permit Plans must demonstrate or reflect the removal of the sewer line along the easterly portion of the site
 - b) the abandoned pipe must be removed and this removal supported with a signed and sealed letter from the developer's engineer prior to the first form inspection associated with the Building Permit; and
 - c) Hazardous material remediation documents to be submitted to the Building Inspector for record prior to the first form inspection associated with the Building Permit; and
 - d) Discharge the existing Sanitary SRW BP171973 (Plan LMP46822) from the title of Lot 13 after receipt by the City of the signed and sealed letter certifying the removal of the pipe from the developer's Engineer.
- 5. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department for review. Management Plan shall include location for construction vehicle access, emergency response vehicle access, parking for services, deliveries, workers, deliveries and loading, application for any lane closures, and proper construction traffic control procedures and certified personnel as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
- 6. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
- 7. Submission of a final LEED Silver Equivalency Checklist to the Building Approvals Department for review and confirmation of compliance prior to Building Permit issuance.
- 8. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional

City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

9. Construct, install and complete the Works, as approved via Development Permit DP 19-876699, in the SRW Area along the front most 0.5 m along Pearson Way and the corner cut (in accordance with SRW Covenant BB1991717/BB1991718).
10. Construct, install and complete the Works, as approved via Development Permit DP 19-876699, in the SRW Area along the front most 2 m along River Road (in accordance with SRW Covenant BB1991722, modified by CA5937203/BB1991723).
11. Obtain approval in writing from the Director of Community Social Development and the Director of Facilities and Project Development.

Prior to Occupancy Permit Issuance, the developer must complete the following requirements:

1. All frontage improvements, as identified in the Rezoning Considerations of the subject development, are to be completed prior to Occupancy Permit issuance.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act. All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.



No. DP 19-876699

To the Holder: OVAL 8 HOLDINGS LTD
Property Address: 6899 PEARSON WAY
Address: SUITE 1830 - 1055 W HASTINGS STREET
VANCOUVER, BC V6E 2E9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Decrease the minimum rear (northeast) setback from 3 m to 0.4 m.
 - b) Decrease the minimum side (northwest) setback abutting 6811 Pearson Way from 3 m to 0.4 m.
 - c) Increase the maximum lot coverage for buildings from 45% to 55%.
 - d) Remove the requirement for an on-site loading bay; and
 - e) Increase the maximum height of a fence from 2.4 m to 3.9 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #31 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$445,556.10 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 19-876699

To the Holder: OVAL 8 HOLDINGS LTD

Property Address: 6899 PEARSON WAY

Address: SUITE 1830 - 1055 W HASTINGS STREET
VANCOUVER, BC V6E 2E9

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR

ISSUES + REVISIONS	DESCRIPTION
NO	DATE

1000 FRANCES STREET
VANCOUVER, BC V6L 1Y1
TEL: 604.278.4313
WWW.PUBLICDESIGN.CO

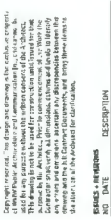
6899 Pearson Way, Richmond, BC

PROJECT CODE	STATUS
1916	nn

DATE	Feb 5 2020
SCALE	1:100

SECRET

DP 19-876699: Plan 2



1403 FRANCES STREET
VALLEJO, CA 94590-1119
TEL: 415/261-2443
WWW.PUBLICLIBRARY.ORG

6899 Pearson Way, Richmond, BC

PROJECT NORTH

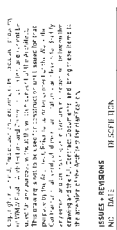
TRUE NORTH

PROJECT CODE	STATUS
1916	DD
SCALE	DATE
1 : 100	Feb 5, 2022

LEVEL 0 - PARKING

Summary

DP 19-876699: Plan 3



public

* V5 = 4:10:5:5:1:1:1:1
 V4:10:5:5:1:1:1:1
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River Green
Childcare

6979 Pearson Way, Richmond, BC

PROJECT CODE	STATUS
1914	DD
SCALE	DATE
1 : 100	Feb 5, 2020

ROOF PLAN

5.03
SHEET

DP 19-876699: Plan 4

ISSUES • NEWS/STANDS	DESCRIPTION
NO	DATE



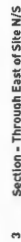
1495 FRANCES STREET
WILCOX, NE 68081
TEL: 405.778.4313
WWW=SUBDESIGN.COM

6899 Pearson Way, Richmond, BC

PROJECT CODE	STATUS
1916	DO
SCALE	DATE
1:100	Feb 5, 2020

Notes

DP 19-876699: Plan 5b 4.01b

ISSUES + REVIEWS
NO DATE
OFF-SHIP ONLY

DP 19-876699: Plan 6

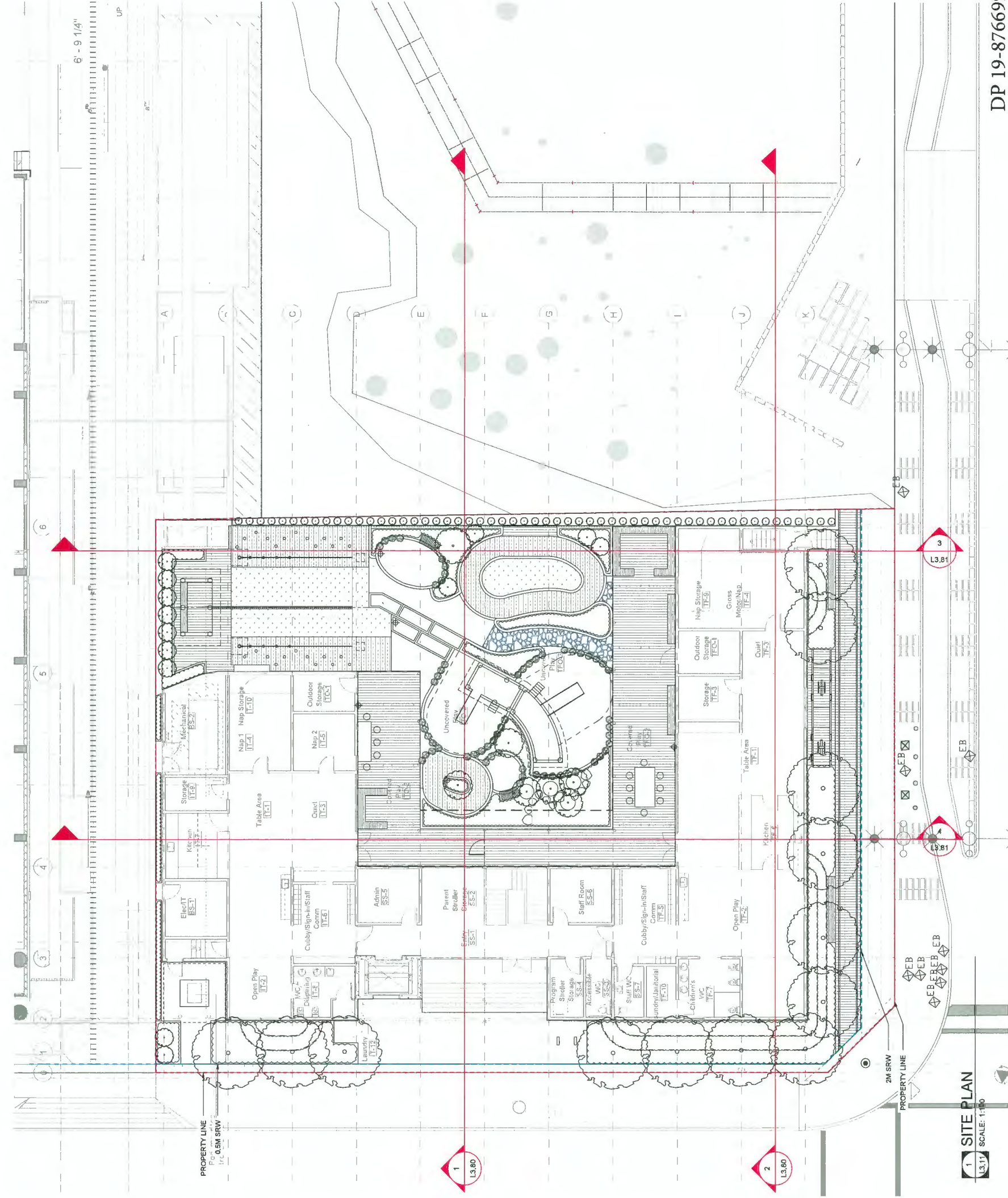
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1445 FRANKS STREET
VANCOUVER BC V6L 1Z1
TEL: 604 278-2223
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PROJECT CODE	STATUS
1916	DD
SCALE	DATE
1 : 100	Feb 5, 2020

SECTIONS



DP 19-876699: Plan 7

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ISSUES + REVISIONS
DESCRIPTION

PFS STUDIO
ARCHITECTURE + COMMUNICATIONS
5899 Pearson Way, Richmond, BC
V6X 3A7
TEL: 604.273.4321
WWW.PFSSTUDIO.CA

public

1405 FRANCES STREET
VANCOUVER, BC V6H 1Z1
TEL: 604.739.4321
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River Green
Childcare

5899 Pearson Way, Richmond, BC

PROJECT CODE
19020
DATE
October 15, 2019

STATUS
001
002

SITE PLAN

SHEET
L3.11

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 Telefon: 040 41 11 11 11
 Telefax: 040 41 11 11 11
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 Web: www.pfs-studio.de

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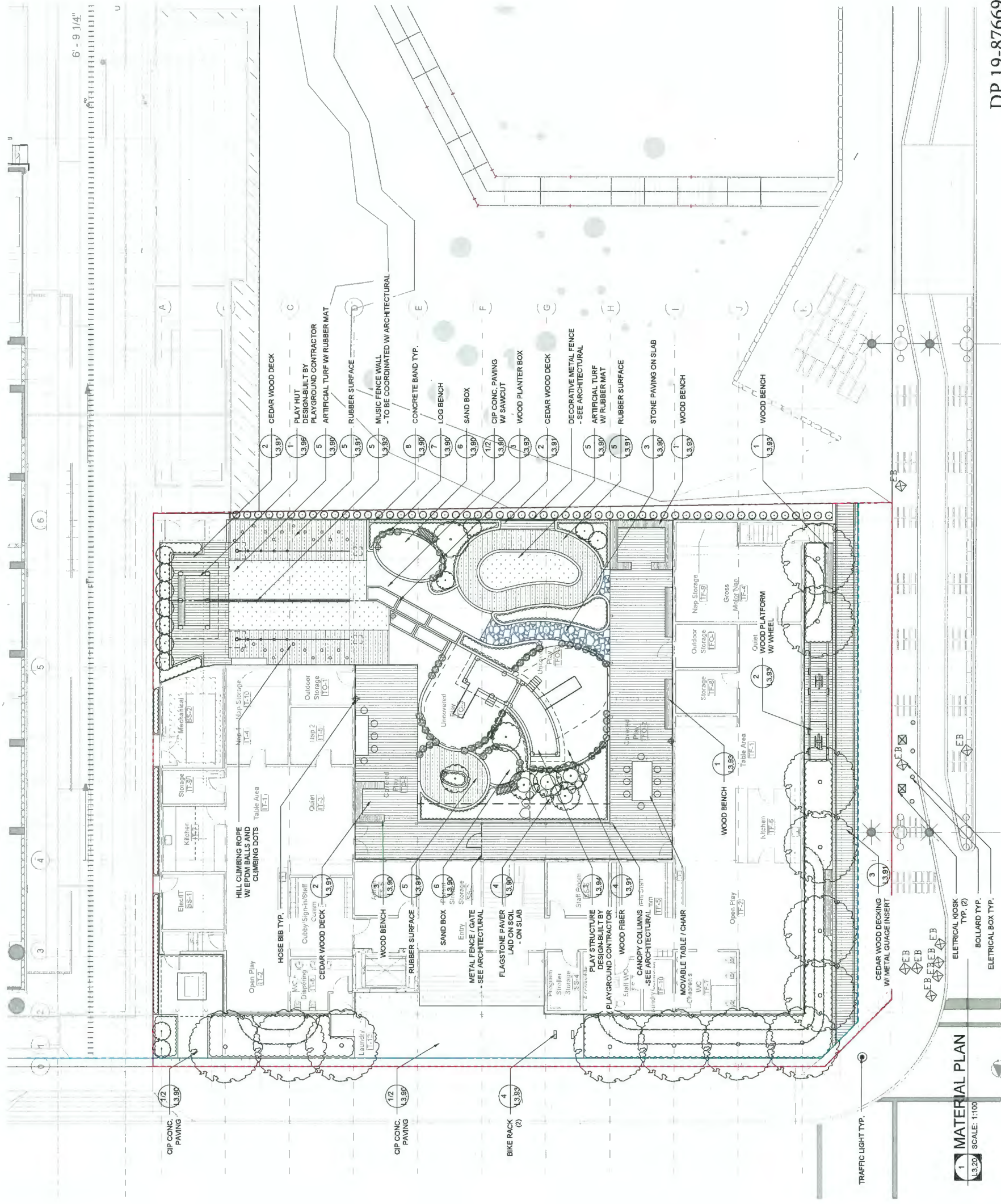
6899 Pearson Way, Richmond, BC

MATERIAL PLAN

SHEET

L3.20

DP 19-876699: Plan 8



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Nashua, NH 03061
603.882.2222
pfs-studio.com

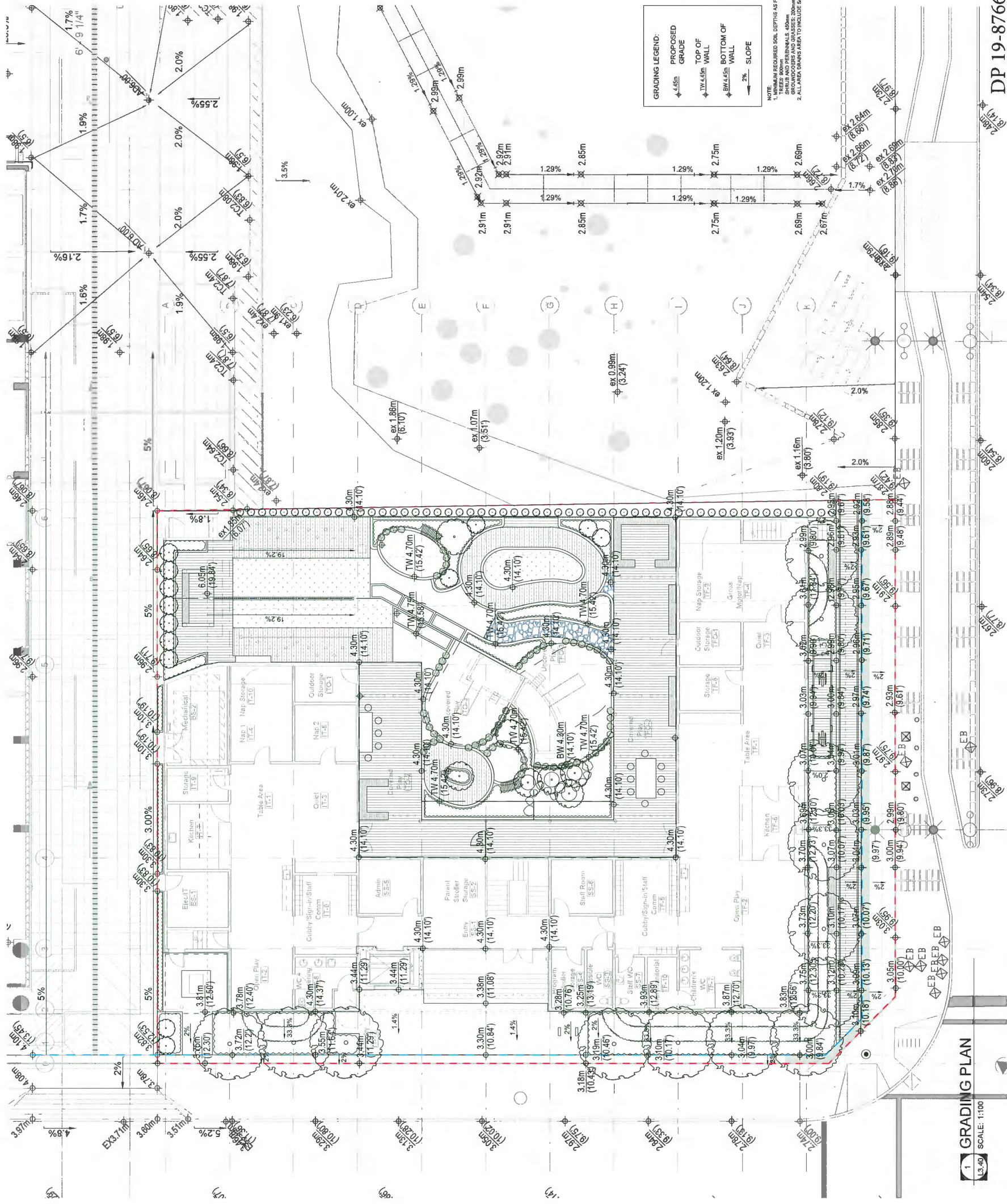
PROJECT CODE	STATUS
19020	DD
SCALE	DATE
	October 15, 2019

LAYOUT PLAN

SHEET

L3.30

1 LAYOUT PLAN
L3.30 SCALE: 1:100



GRADING LEGEND:

- PROPOSED GRADE
- TOP OF WALL
- BOTTOM OF WALL
- SLOPE

NOTE:
1. MINIMUM REQUIRED SOIL DEPTHS AS FOLLOWS:
FINISH GRADE TO TOP OF FOUNDATION: 450mm
FINISH GRADE TO TOP OF PERIMETER: 450mm
GROUNDROCKS AND GRAVELS: 200mm
2. ALL AREA DRAINAGE AREA TO INCLUDE SAND TRAPS.

public

River Green
Childcare

5889 Pearson Way, Richmond, BC

PROJECT CODE: DP19-876699
STATUS: PRELIMINARY
DATE: October 15, 2019

1 GRADING PLAN
SCALE: 1:100

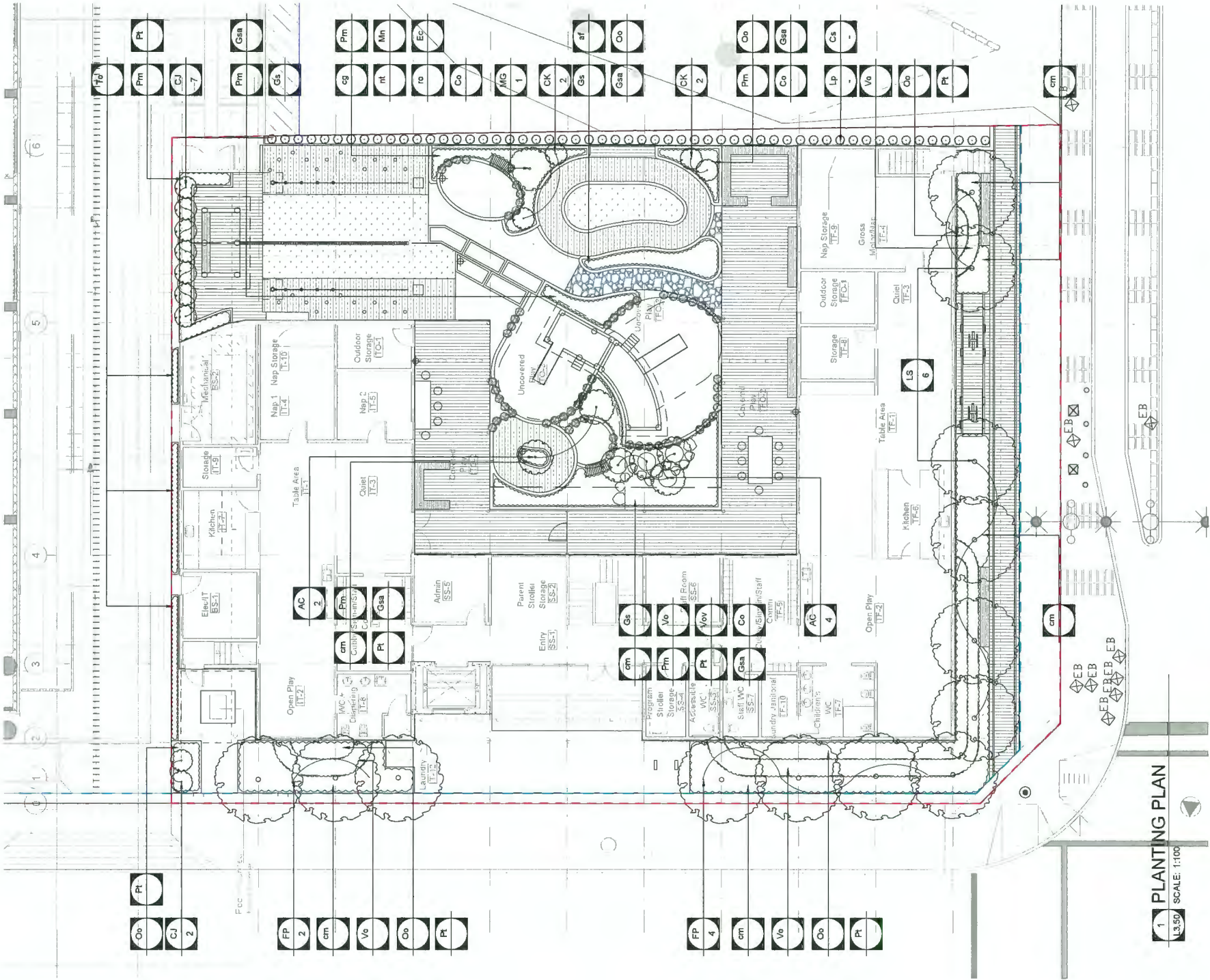
GRADING PLAN
SHEET

DP 19-876699: Plan 10 L3.40

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DESIGNER: P. FORD
DATE: 10/15/2019



PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	DESCRIPTION
TREES					
AC 8		ACER GINSHIUM	VINE MAPLE	7CM CAL. WB	MULTI-STEMMED FULL UNIFORM SIZE & QUALITY
CJ 9		CAMELIA JAPONICA	MATHOTIANA SUPREME CAMELIA	6CM CAL. WB	MULTI-STEMMED FULL UNIFORM SIZE & QUALITY
CK 4		MATHOTIANA SUPREME	SATON CHINESE DOGWOOD	7CM CAL. WB	MULTI-STEMMED FULL UNIFORM SIZE & QUALITY
FP 6		CORNUS KOLSA 'SATOI'	CHIMARON ASH	7CM CAL. WB	MULTI-STEMMED FULL UNIFORM SIZE & QUALITY
LS 6		FRAXINUS PENNSYLVANICA	AMERICAN SWEETGUM	7CM CAL. WB	MULTI-STEMMED FULL UNIFORM SIZE & QUALITY
MG 1		LIQUIDAMBAR STRACIFLUA	LITTLE GEM LARGE-FLOWERED MAGNOLIA	7CM CAL. WB	MULTI-STEMMED FULL UNIFORM SIZE & QUALITY

SHRUBS / GROUND COVERS					
Ec 1		ESCALONIA CORNATA	COMPACT ESCALONIA	#2 POT	600mm O.C.
Gsa 1		GERANIUM SANGUINEUM	BLOODY GERANIUM	#1 POT	300mm O.C.
Gs 1		GAULTHERIA SHALLOM	SALAL	#1 POT	300mm O.C.
Mn 1		MAUNOIA NERVOZA	DULL LORON GRAPPE	#2 POT	600mm O.C.
Oa 1		OXALIS OREGANA	OREGON OXALIS	#1 POT	300mm O.C.
Pm 1		POLYSTICHUM MUNITUM	SWORD FERN	#2 POT	600mm O.C.
Vo 1		VIBURNUM OVALIFOLIUM	EVERGREEN HUCKLEBERRY	#2 POT	600mm O.C.
Ca 1		CANADIAN HEMLOCK	THUNDERBIRD EVERGREEN	#2 POT	600mm O.C.
Ec 1		EUCALYPTUS GLOBOLEAF	THUNDERBIRD	#2 POT	600mm O.C.
Ca 1		CEANOTHUS V. PURPUREA	CHAMBERLAIN'S CYPRESS	#2 POT	600mm O.C.
To 1		TAXUS CANADENSIS	AMERICAN ARBORVITAE	#2 POT	600mm O.C.

GRASSES / PERENNIALS					
Ec 1		ESCALONIA CORNATA	COMPACT ESCALONIA	#2 POT	600mm O.C.
Gsa 1		GERANIUM SANGUINEUM	BLOODY GERANIUM	#1 POT	300mm O.C.
Gs 1		GAULTHERIA SHALLOM	SALAL	#1 POT	300mm O.C.
Mn 1		MAUNOIA NERVOZA	DULL LORON GRAPPE	#2 POT	600mm O.C.
Oa 1		OXALIS OREGANA	OREGON OXALIS	#1 POT	300mm O.C.
Pm 1		POLYSTICHUM MUNITUM	SWORD FERN	#2 POT	600mm O.C.
Vo 1		VIBURNUM OVALIFOLIUM	EVERGREEN HUCKLEBERRY	#2 POT	600mm O.C.
Ca 1		CANADIAN HEMLOCK	THUNDERBIRD EVERGREEN	#2 POT	600mm O.C.
Ec 1		EUCALYPTUS GLOBOLEAF	THUNDERBIRD	#2 POT	600mm O.C.
Ca 1		CEANOTHUS V. PURPUREA	CHAMBERLAIN'S CYPRESS	#2 POT	600mm O.C.
To 1		TAXUS CANADENSIS	AMERICAN ARBORVITAE	#2 POT	600mm O.C.

PLANTING GENERAL NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO THE STANDARD SPECIFIED IN THE BC LANDSCAPE AND NURSERY ASSOCIATION (BCLMA) AND THE BC SOCIETY OF LANDSCAPE ARCHITECTS (BCLSA) AND THE BC LANDSCAPE AND NURSERY ASSOCIATION (BCLMA).
2. SEARCH AREA FOR ALL PLANT MATERIAL SHALL INCLUDE ALL OF WESTERN CANADA.
3. PLANT MATERIAL SIZES SPECIFIED ARE THE MINIMUM ACCEPTABLE SIZES TO BE SUPPLIED TO THIS PROJECT.
4. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SIZE AND QUALITY.
5. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED. ONLY CERTIFIED S.O.D. NURSERY STOCK WILL BE ACCEPTED.
6. THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR EACH PLANT SPECIES TO BE INSTALLED. THE ANALYSIS SHALL BE INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL. APPROVAL SHALL BE INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL. APPROVAL SHALL BE INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL.
7. DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
8. PLANT MATERIAL TO BE READ IN CONJUNCTION WITH SPECIFICATIONS FOR COMPLIANCE.
9. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL SPECIFIED AS PER THE BCLMA AND BCLSA. ALL PLANT MATERIAL SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL. APPROVAL SHALL BE INSTALLED ON SITE PRIOR TO CONSULTANT APPROVAL.
10. AUTOMATIC IRRIGATION WILL BE PROVIDED FOR ALL OPEN SPACE. GREEN SPACE IRRIGATION WILL BE PROVIDED FOR ALL OPEN SPACE. GREEN SPACE IRRIGATION WILL BE PROVIDED FOR ALL OPEN SPACE.
11. HOSE BIBS WILL BE PROVIDED FOR COMMON AREAS AND PLAY AREAS. SYSTEM WITH WEATHER SENSOR CONTROLLER WILL BE PROVIDED FOR LOCATIONS.
12. OFF SITE PLANTING DESIGN ARE INCLUDED IN SA. REFER TO THE PROJECT ARCHITECT'S DRAWINGS FOR EXISTING TREE MANAGEMENT. REFER TO THE ENVIRONMENTAL CONSULTANT'S DRAWINGS FOR THE LOT 14 PLANTING DESIGN.

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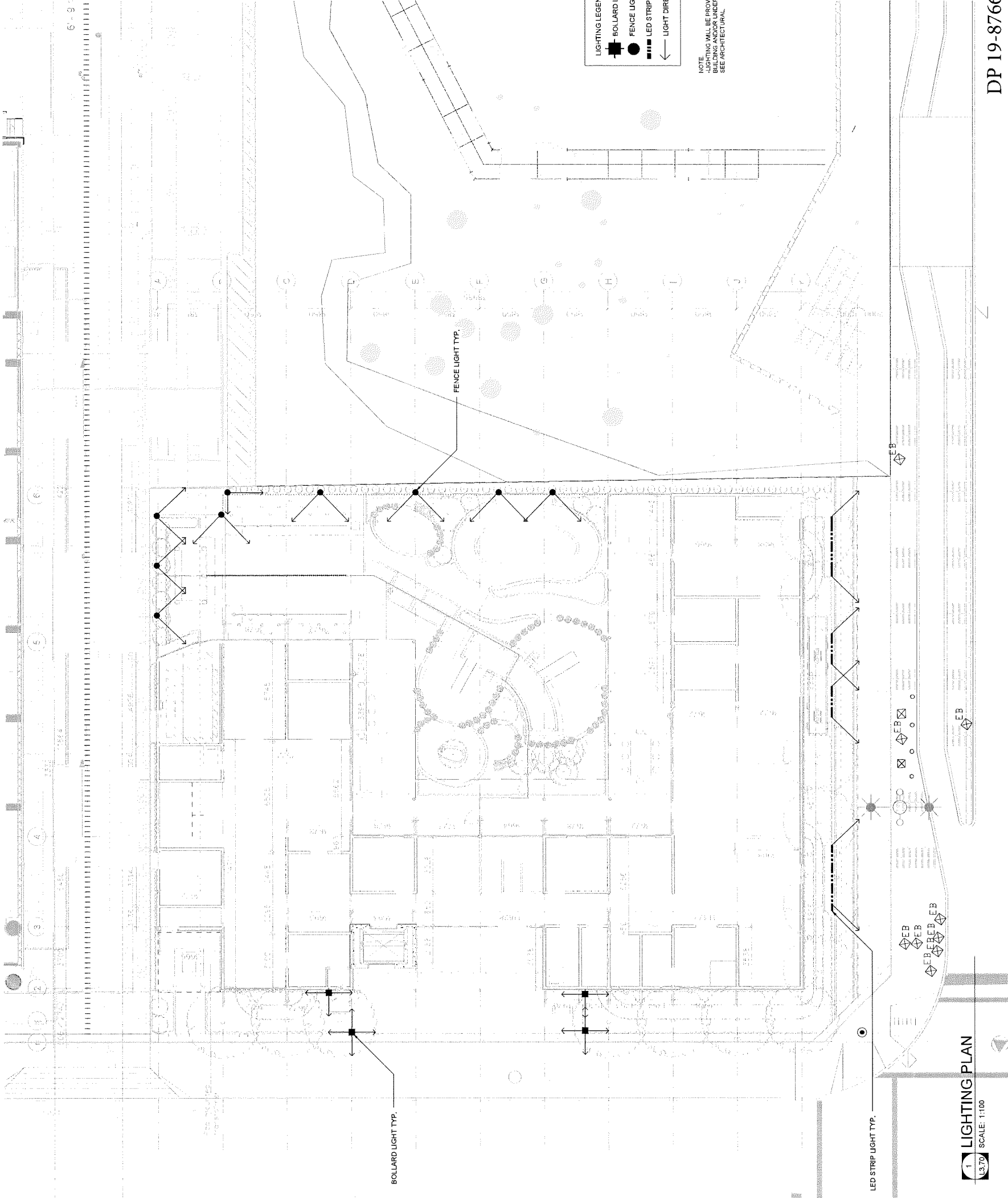
8599 Pearson Way, Richmond, BC

PROJECT CODE
19020
SHEET

STATUS
DD
October 15, 2019

PLANTING PLAN

DP 19-876699: Plan 11
SHEET
L3.50



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6599 Preston Way, Richmond, BC

PROJECT CODE
19020

STATUS
DD

SCALE
October 15, 2019

LIGHTING PLAN

SHEET

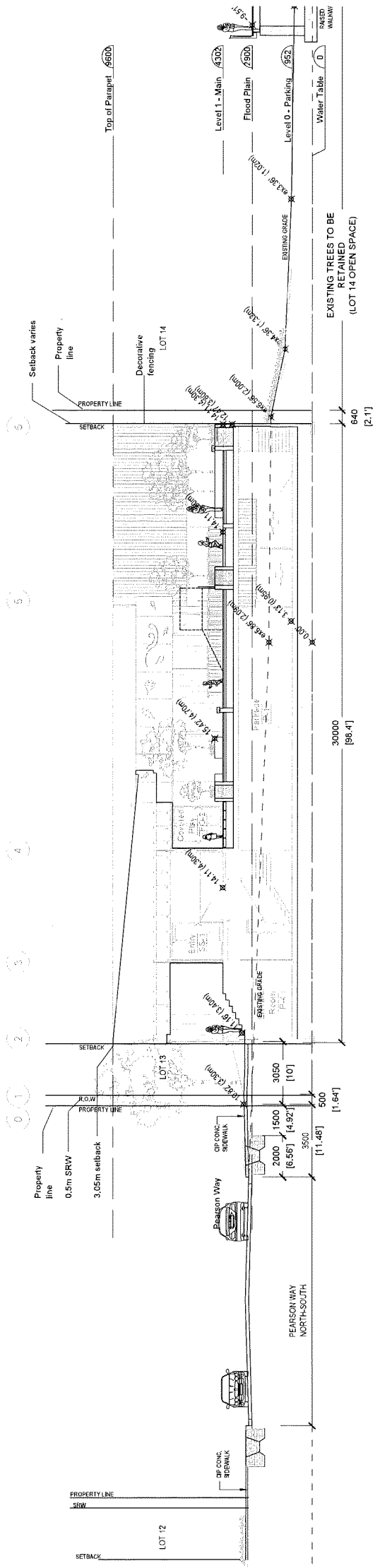
DP 19-876699: Plan 12 L3.70

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ISSUES + REVISIONS	
NO	DATE
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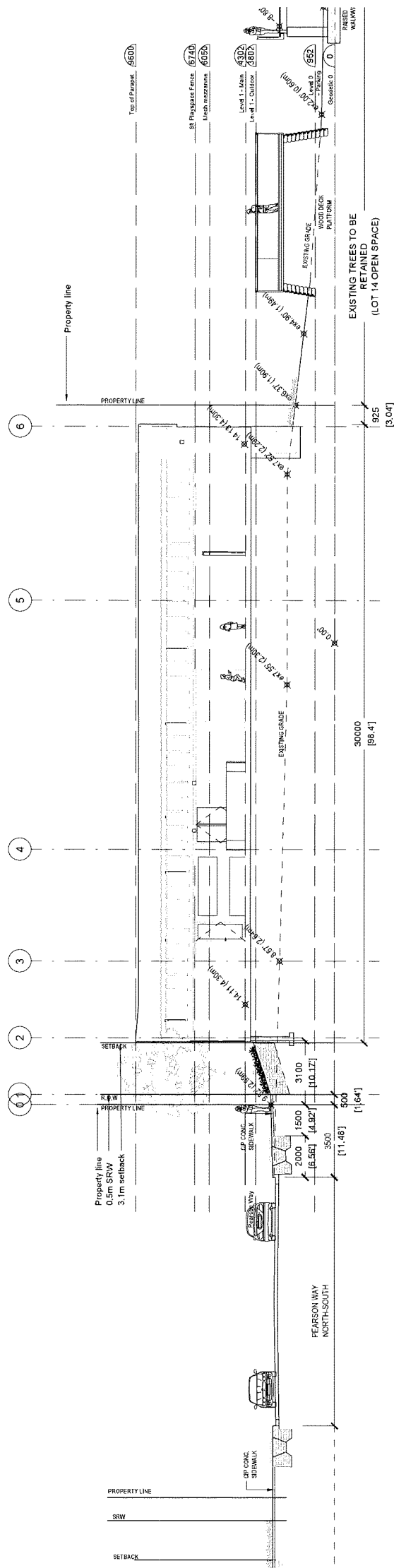
DESCRIPTION

PFS STUDIO
 Planning • Interior Design • Landscape Architecture
 677 East 9th Avenue
 Westport, NY 10600
 914.339.3300
 info@pfs-studio.com



SECTION 1

L3.80 SCALE: 1:100



SECTION 2

L3.80 SCALE: 1:100

Public

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6899 Pearson Way, Richmond, BC

PROJECT CODE	STATUS
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SCALE	DATE

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19020 DD
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October

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October

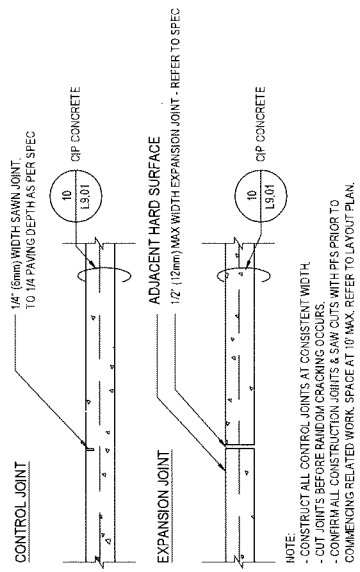
LANDSCAPE
SECTIONS 1&2

SECTIONS 1&2

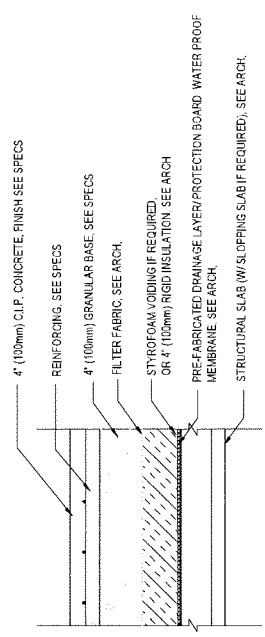
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DP 19-876699: Plan 13

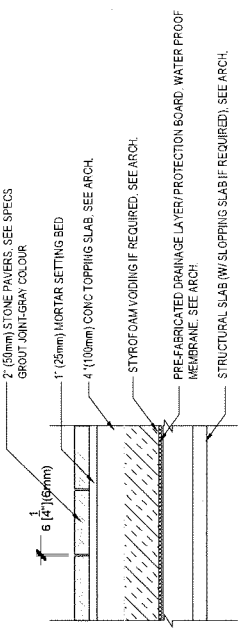
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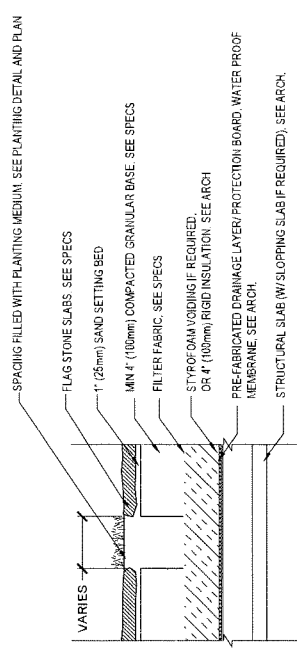
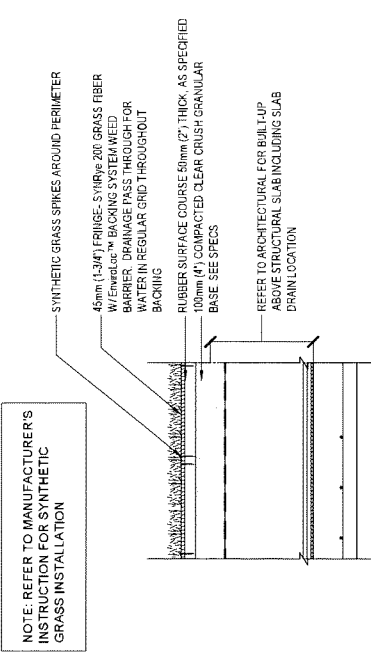
1 CIP CONCRETE JOINTS
L3.90 SCALE: 1:10



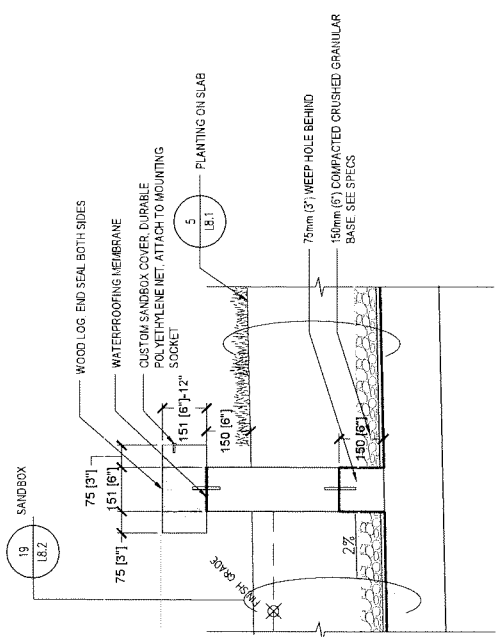
2 CIP CONCRETE - ON SLAB
L3.90 SCALE: 1:10



3 STONE PAVERS - ON SLAB
L3.90 SCALE: 1:10



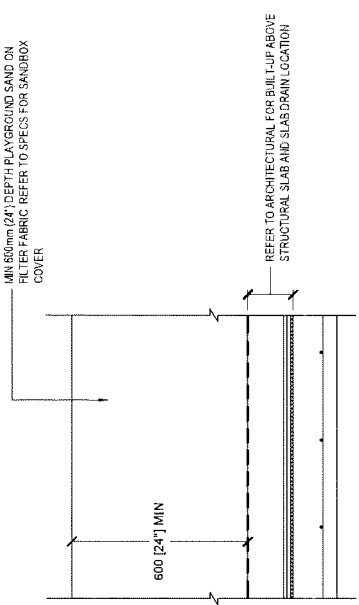
4 FLAGSTONE PAVERS - ON SLAB
L3.90 SCALE: 1:10



7 WOOD LOG ON CONCRETE CURB
L3.90 SCALE: 1:10

NOTE: WASHED RIVER SAND SHOULD BE FREE OF ALL ORGANICS, SILT & CLAY CONTAMINANTS AND HAVE NO CONTAMINATING PARTICLES. IT IS SELECTED BASED ON THE GRADATION TABLE BELOW

PARTICLE SIZE DISTRIBUTION	NAME	PARTICLE SIZE DISTRIBUTION (% RETAINED ON SIEVES)
FINE GRAVEL	20 MM (3/4")	0%
VERY COARSE SAND	10 - 20 MM (3/8" - 3/4")	0 - 6%
COARSE MEDIUM SAND	0.5 - 1.0 MM (1/16" - 1/8")	60% AND MAX 32%
FINE SAND	0.25 - 0.5 MM (1/64" - 1/32")	35% MAX 7%
VERY FINE SAND	0.05 - 0.15 MM (1/320" - 1/160")	20% AND MAX 10%
SILT & CLAY	BELOW 0.05 MM (1/3200")	NOT GREATER THAN 0.15%



6 SAND BOX
L3.90 SCALE: 1:10

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6mm (1/4") SPACING, NAILLED TO JOIST

100x150mm (4" x 6") WOOD JOIST, NORTH-SOUTH

430 [1'-4"]

200 [8"]

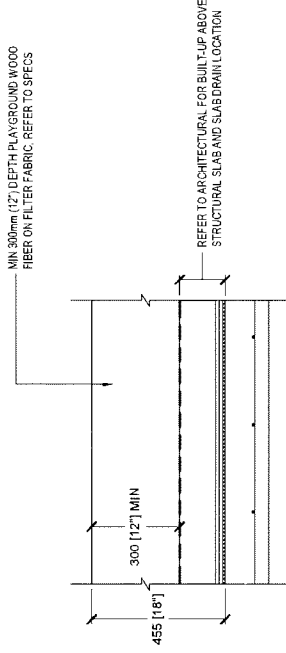
100x150mm (4" x 6") WOOD BEAM, EAST-WEST DIRECTION

STYROFOAM VULCANIZING AS REQUIRED

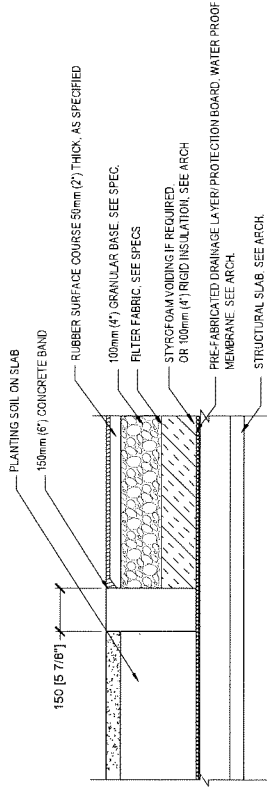
REFER TO ARCHIT. STRUCTURAL SLAB - SEE ARCH. AND STRUCTURAL

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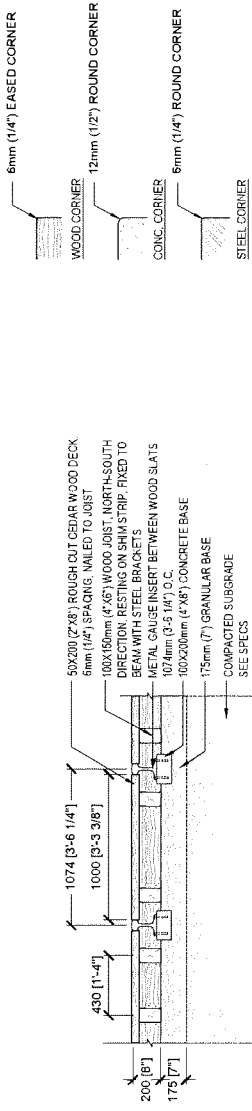
SCALE: 1:20



SCALE: 1:10



L3.91 SCALE: 1:10



SCALE: 1:20



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ISSUES + REVISIONS	NO	DATE	DESCRIPTION
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 MA 02111
 617-267-5200
 info@pfs-studio.com

public

1495 FRANCES STREET
VANCOUVER BC V5L 1Z
TEL 604 738 4323

River Green
Childcare

6899 Pearson Way, Richmond, BC

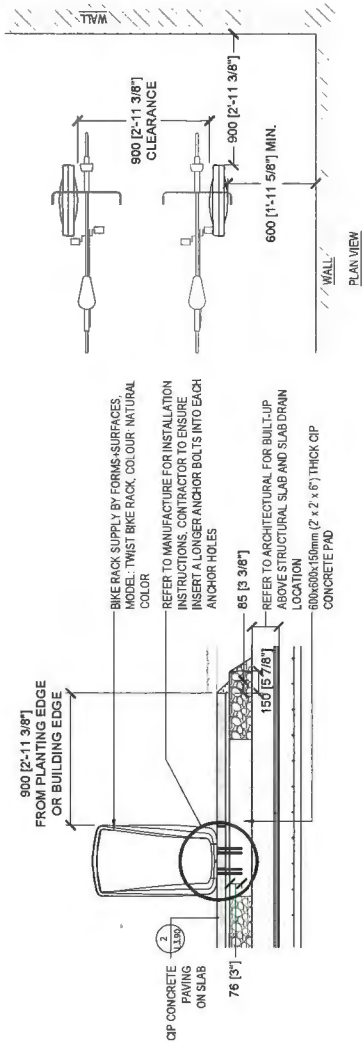
PROJECT CODE
19020
SCALE
STATUS
DD
DATE
October 15, 2019

DETAILS—PAVING

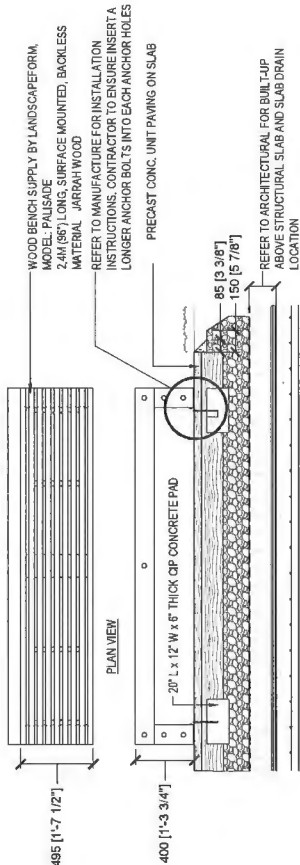
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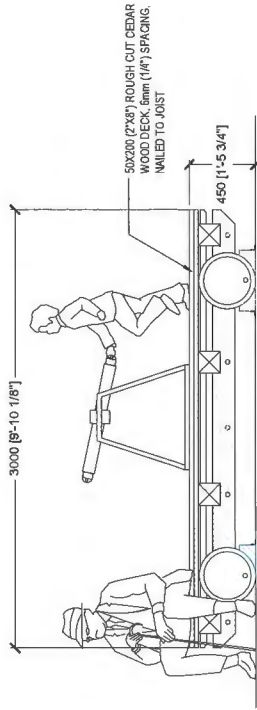


SAMPLE PHOTO

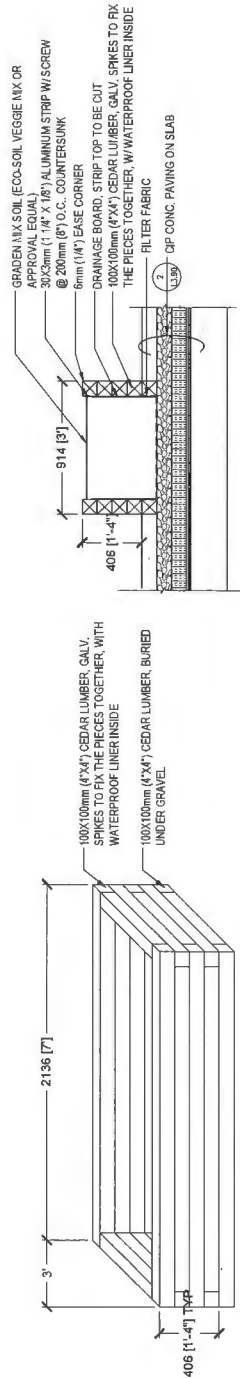


1 WOOD BENCH
SCALE: 1:20

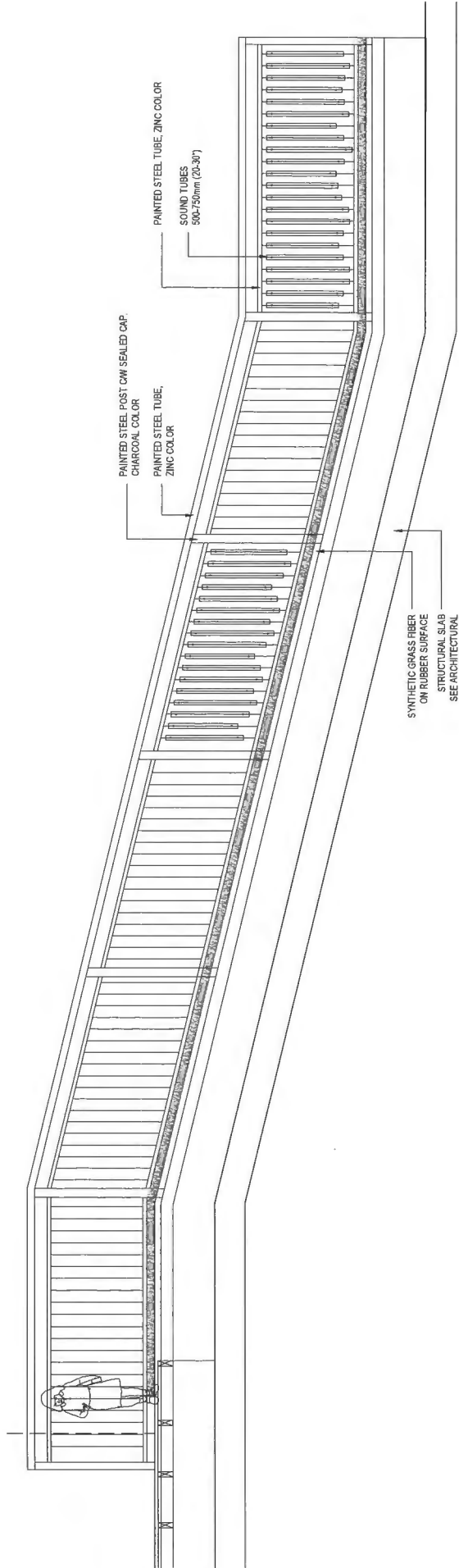
4 BIKE RACK
SCALE: 1:20



2 WOOD PLATFORM W/ WHEEL (PUMP TRAIN)
SCALE: 1:20



3 WOOD PLANTER BOX
SCALE: 1:20



5 MUSICAL FENCE
SCALE: 1:20

public

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RICHMOND, BC V6V 1T1
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River Green
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6599 Pearson Way, Richmond, BC

PROJECT CODE
19020
STATUS
DD
DATE
October 15, 2019

DETAILS-SITE
FURNISHING

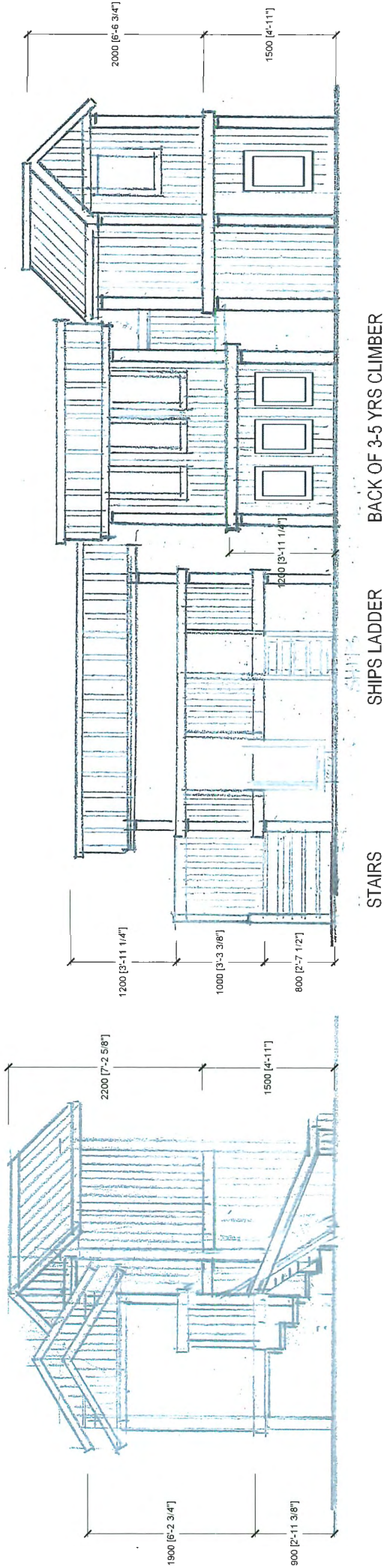
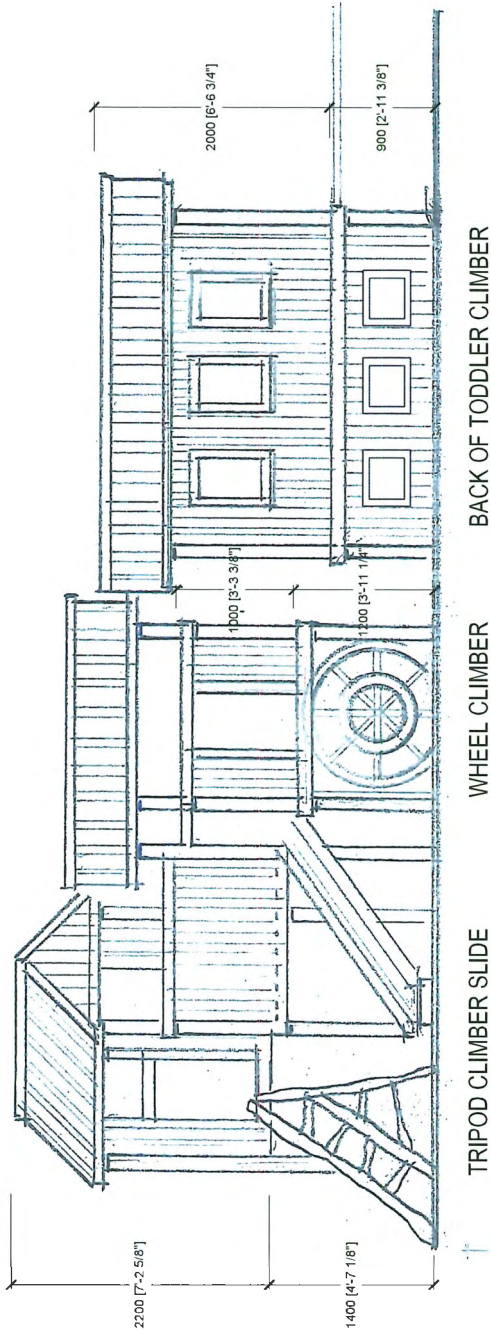
SHEET
L3.93

DP 19-876699: Plan 18

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ISSUES & REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2019-10-15



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DENVER, CO 80202
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PROJECT CODE
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STATUS
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DATE
October 15, 2019

DETAILS-PLAY
STRUCTURES


SHEET
L3.94

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TEL 604 738 4323
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SITE CONTEXT PLAN
SHEET _____

 SITE CONTEXT PLAN
13.10 SCALE: 1"=100'

ISSUES + REVISIONS	DATE	DESCRIPTION



7.01



DP 19-876699: Reference Plan



Public

River Green
Childcare

PROJECT NORTH	TRUE NORTH

SCALE 1 : 1000
DATE Feb 5 2020

7.02
SHEET

16:00



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 8, 2020

From: Wayne Craig
Director, Development

File: DP 18-817925

Re: **Application by Wensley Architecture Ltd. for a Development Permit at
13020 Delf Place**

Staff Recommendation

That a Development Permit be issued which would permit the construction of a single-storey building with drive-through restaurant use at 13020 Delf Place on a site zoned "Industrial Business Park (IB1)".

A handwritten signature in black ink, appearing to read "Wayne Craig", with a large, stylized flourish at the end.

Wayne Craig
Director, Development
(604-247-4625)

WC:sds
Att. 2

Staff Report

Origin

Wensley Architecture Ltd. has applied to the City of Richmond for permission to develop a single-storey building with drive-through restaurant use at 13020 Delf Place on a site zoned “Industrial Business Park (IB1)”, with a total floor area of 251 m² (2,700 ft²). The subject site currently contains an office building in the south portion of the lot, which is to be retained, and a vacant area in the north portion of the lot, where the drive-through restaurant is proposed to be located. The vacant area was previously occupied by a single-storey commercial building, which has been demolished.

An associated Zoning Text Amendment application to amend the “Industrial Business Park (IB1)” zone to allow “restaurant, drive-through” as a site-specific permitted use, limited to one establishment and a maximum floor area of 300 m² (3,229 ft²), under Bylaw 9956 (ZT 18-801900) received third reading on February 19, 2019. The Development Permit proposal is consistent with the associated Zoning Text Amendment application.

A Servicing Agreement (SA 18-817925) is also associated with the proposal, which is a condition of the Zoning Text Amendment approval and includes, but is not limited to, the following improvements:

- New concrete sidewalk and boulevard along the Jacombs Road and Delf Place frontages;
- Curb extension on the southeast corner of Jacombs Road and Delf Place intersection; and
- Special marked crosswalk across Jacombs Road at the intersection of Jacombs Road and Delf Place, with downward lighting and flashing beacons.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the North: Across Delf Place, light industrial buildings with surface parking and loading on properties zoned “Industrial Business Park (IB1)”.

To the East: Light industrial buildings with surface parking and loading on properties zoned “Industrial Business Park (IB1)”.

To the South: Across Worster Court, light industrial buildings with surface parking and loading on properties zoned “Industrial Business Park (IB1)”.

To the West: Across Jacombs Road, single-family dwellings on properties zoned “Single Detached (RS1/B)” with a rear yard interface to the subject site and accessed from the internal road network (Wyne Crescent).

Rezoning and Public Hearing Results

The Public Hearing for the associated Zoning Text Amendment was held on February 19, 2019. At the Public Hearing, the following concerns were expressed:

- Provision of on-site irrigation to ensure survival of the proposed landscaping;
- Review of the planting in the drive-through area to adequately screen headlight glare onto adjacent streets and sites; and
- Review of on-site lighting to address any issues with light pollution onto neighbouring properties.

Staff worked with the applicant to address these issues in the following ways:

- The applicant has provided an irrigation plan to demonstrate on-site irrigation will be provided throughout the proposed landscaped area;
- Shrubs at a maximum 1.2 m (4 ft.) height are proposed on mounded landscape beds in the drive-through area to screen headlights; and
- The applicant has provided a lighting plan demonstrating less than 1 foot-candle onto the adjacent site, generally consistent lighting levels within the parking lot, and the use of downward lighting in the parking lot and around the building to ensure the lighting is directed away from residential areas.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the “Industrial Business Park (IB1)” zone (no zoning variances requested).

Advisory Design Panel Comments

Because of the scale of the development and limited building area, the development proposal was not presented to the Advisory Design Panel.

Analysis

Conditions of Adjacency

- The subject property is bounded by Jacombs Road to the west and Delf Place to the north, existing tree retention and additional landscaping is proposed along the street frontages to soften the proposed drive-through restaurant building and screen the required vehicle parking and drive-through queuing area from the street.
- Perimeter landscaping, including additional tree planting, is proposed along the east property line to screen and separate the adjacent neighbouring industrial site.
- The garbage and recycling area will be screened from the street by fencing and additional landscaping.
- The applicant submitted a lighting plan demonstrating lighting levels will be generally contained within the site by careful selection of lighting materials and landscaping to mitigate headlight glare and light pollution onto neighbouring properties.

- In order to address potential noise impacts and comply with the City's Noise Regulation Bylaw, the attached Development Permit includes recommendations as per the submitted acoustical report, including acoustic barriers on the roof to mitigate noise from rooftop mechanical equipment and drive-through speakers that automatically adjust sound output based on background noise levels.

Urban Design and Site Planning

- The proposed drive-through restaurant building will be located near the intersection of Delf Place and Jacombs Road to anchor the corner, approximately 7.5 m from the north property (Delf Place) line and 6.5 m from the west property line (Jacombs Road).
- Pedestrian access is provided from both street frontages (Jacombs Road and Delf Place), from the City's sidewalk to the entrances of the building, including an accessible pedestrian access from Jacombs Road to the main entrance of the building and an additional pedestrian access from Delf Place to the service entrance and drive-through area.
- The main building entrance is oriented towards the street (Jacombs Road) and includes a patio seating area.
- On-site pedestrian connectivity is also provided from the vehicle parking areas, consisting of alternative surface treatments, including crosswalks with bollards and signage across the drive-through vehicle queuing area.
- Vehicular access will be provided by existing driveways, one from Jacombs Road and one from Delf Place, both located a significant distance from the intersection.
- Required vehicle parking and drive-through queuing area will be located behind the proposed drive-through restaurant building, setback and partially screened from Jacombs Road and Delf Place by existing tree retention and additional landscaping.
- The proposed number of vehicle parking spaces and drive-through queuing area is in compliance with Zoning Bylaw requirements.
- A Traffic Impact Assessment (TIA) was submitted by the applicant at rezoning stage to confirm the existing road network can accommodate the proposal.
- The accessible parking spaces are located near the building entrance, directly adjacent to an on-site accessible pedestrian pathway.
- Both Class 1 and Class 2 bicycle parking spaces have been incorporated into the proposal, located in a visible area near the building entrances, and are in compliance with Zoning Bylaw requirements.
- The transition in grade from the adjacent streets (approximately 1.6 m) to the proposed drive-through restaurant (2.9 m GSC flood construction level) is addressed through landscaped berms along the street frontages.

Architectural Form and Character

- Staff worked with the applicant to revise the design of the proposed drive-through restaurant building to adequately address both street frontages (Jacombs Road and Delf Place) while maintaining corporate standards.
- The proposed building facades along the street frontages include sufficient articulation, including a variety of materials, glazing, detailing, canopies and signage.
- Textstone brick, fiber cement panel siding, and porcelain tile are proposed as the primary materials with a grey, brown, black colour scheme, and a red metal door, consistent with corporate standards.

- Windows will be transparent glass with aluminum frames along the public restaurant areas and spandrel glass along the internal service and back-of-house area.
- Weather protection is provided through metal and glass canopies with integrating lighting above the main entrance doors and storefront areas.
- Staff have worked with the applicant to ensure the mechanical systems on the roof are screened from adjacent uses and both street frontages.
- The proposed height of the drive-through restaurant building complies with Zoning Bylaw requirements.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage where 12 on-site trees were identified for removal. Based on a 2:1 compensation ratio stated in the OCP, 24 replacement trees are required. The applicant is proposing to plant 24 replacement trees as per the size requirements based on the City's Tree Protection Bylaw.
- 17 on-site trees (tag# 1-9, 25-31 & 33) and 4 City-owned trees (tag# 18-21) were identified for protection. A contract with a Certified Arborist and a tree survival security of \$145,000 were secured through rezoning for the retention of these trees.
- Significant landscaping is proposed along both street frontages (Jacombs Road and Delf Place) with a minimum width of 3.0 m, including trees, low landscaping, and pedestrian paths.
- Pockets of landscaping will be provided throughout the vehicle parking and vehicle queuing areas to provide visual relief, screening of these areas from the street and to soften the internal landscape.
- Alternative surface treatment (pavers) is used for the pedestrian pathways around the entrance of the building and within the vehicle parking areas to act as visual cues.
- An irrigation system will be provided for the proposed landscaping on-site.
- In order to ensure the proposed landscaping works are completed, the applicant is required to submit a landscape security of \$67,891.40 prior to issuance of the Development Permit.

Crime Prevention Through Environmental Design

- The main building entrance of the proposed drive-through restaurant, pedestrian access and outdoor patio area are visible from the street.
- Site lighting, clear site lines, and low landscaping around the building provide clear unobstructed views and casual surveillance opportunities.
- Existing tree protection and additional landscaping along the street edge distinguish the public realm and private space.
- Security lighting will be installed, including light poles for the vehicle parking and vehicle queuing area and wall-mounted lighting for the building entry to provide consistent outdoor security illumination, and has been designed to ensure no light pollution onto adjacent properties.
- The surface parking area will be visible and open to visual scanning.

Sustainability

- Through the rezoning application, a commitment was secured from the proposed drive-through business to be permanently registered in the City's Adopt-a-Street Program for

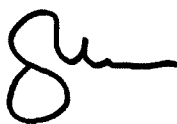
Jacombs Road, from Highway 91 to Cambie Road, to ensure the roadside areas are free of litter and trash.

- One electric vehicle charging station (5% of required parking) and one space equipped with 240-volt electrical outlet (5% of required parking) has been provided, as per the OCP's DP Guidelines.
- The architect advised that the following design/features are incorporated into the proposal:
 - High thermal performance windows to alleviate heating and cooling energy consumption;
 - LED lighting for interior and exterior light fixtures;
 - Durable and long-lasting materials that can reduce building maintenance;
 - White roof material to reduce heat island effect;
 - Planting to absorb rainwater runoff and reduce load on municipal sewers; and
 - Interior finishes with low VOC content.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 2, which has been agreed to by the applicant (signed concurrence on file).



Steven De Sousa
Planner 1

SDS:cas

Attachment 1: Development Application Data Sheet
Attachment 2: Development Permit Considerations



DP 18-817925

Attachment 1

Address: 13020 Delf Place

Applicant: Wensley Architecture Ltd. Owner: Great-West Life Assurance Co. & London Life Insurance Co.

Planning Area(s): East Cambie

Floor Area Gross: 251 m² (2,700 ft²) Floor Area Net: 251 m² (2,700 ft²)

	Existing	Proposed
Site Area:	14,695 m ² (158,175 ft ²)	No change
Land Uses:	Vacant/Office	Drive-through restaurant/Office
OCP Designation:	Mixed Employment (MEMP)	No change
Zoning:	Industrial Business Park (IB1)	Industrial Business Park (IB1) with an amendment to allow "restaurant, drive-through" as a site-specific permitted use.

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 1.0	Office (existing): 7,285 m ² Drive-through restaurant (proposed): 251 m ² Total: 7,536 m ² (0.51 FAR)	None permitted
Lot Coverage – Buildings:	Max. 60%	26.3%	None
Setback – Front Yard (North):	Min. 3.0 m	7.5 m	None
Setback – Exterior Side Yard (West):	Min. 3.0 m	6.5 m	None
Setback – Interior Side Yard (East):	N/A	44.0 m	None
Setback – Rear Yard (South):	N/A	159.4 m	None
Height:	Max. 12.0 m	7.2 m	None
Lot Size:	N/A	14,695 m ²	None
Off-street Parking Spaces:	Min. 18	18	None
Off-street Parking Spaces – Accessible:	Min. 2%	Complies	None
Small Car Parking Spaces:	Max. 50%	Complies	None
Bicycle Parking Spaces	Class 1: Min. 1 Class 2: Min. 2	Class 1: 1 Class 2: 2	None



Address: 13020 Delf Place

File No.: DP 18-817925

Prior to forwarding the application to Council for approval, the developer is required to complete the following:

1. Final Adoption of Zoning Amendment Bylaw 9956.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$67,891.40. The letter-of-credit will not be returned until the Letter of Assurance, confirming the landscaping is installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff.
3. Registration of an Electric Vehicle (EV) Charging Infrastructure covenant on Title, securing the commitment to voluntarily install and maintain one space equipped with an electric vehicle charging station and an additional space equipped with a 240-volt electrical outlet.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03, and must remain in place until construction and landscaping on-site is completed.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Payment of Development Cost Charges (City and GVS & DD).
4. Incorporation of energy efficiency, CPTED, sustainability and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
6. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site

Initial: _____

investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 18-817925

To the Holder: Wensley Architecture Ltd.

Property Address: 13020 Delf Place

Address: c/o Barry Weih
 1444 Alberni Street
 Vancouver, BC V6G 2Z4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$67,891.40. to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 18-817925

To the Holder: Wensley Architecture Ltd.

Property Address: 13020 Delf Place

Address: c/o Barry Weih
 1444 Alberni Street
 Vancouver, BC V6G 2Z4

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

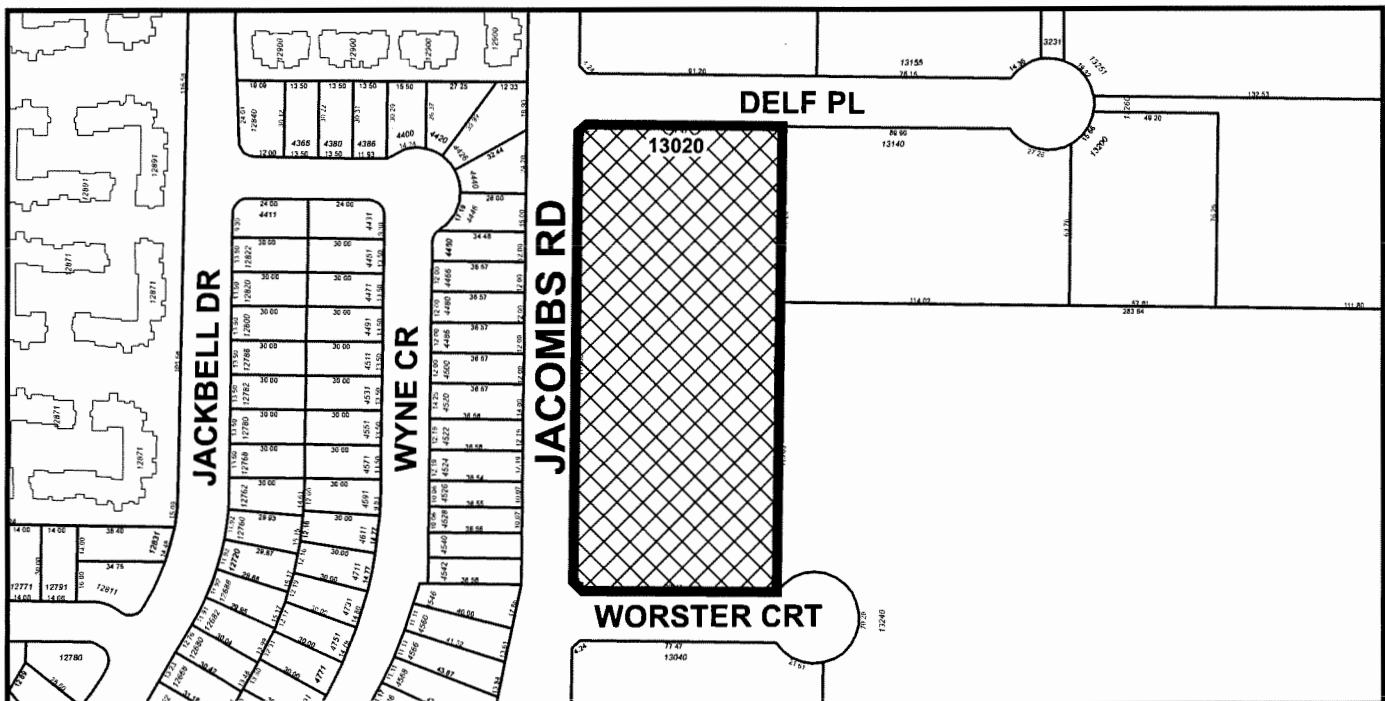
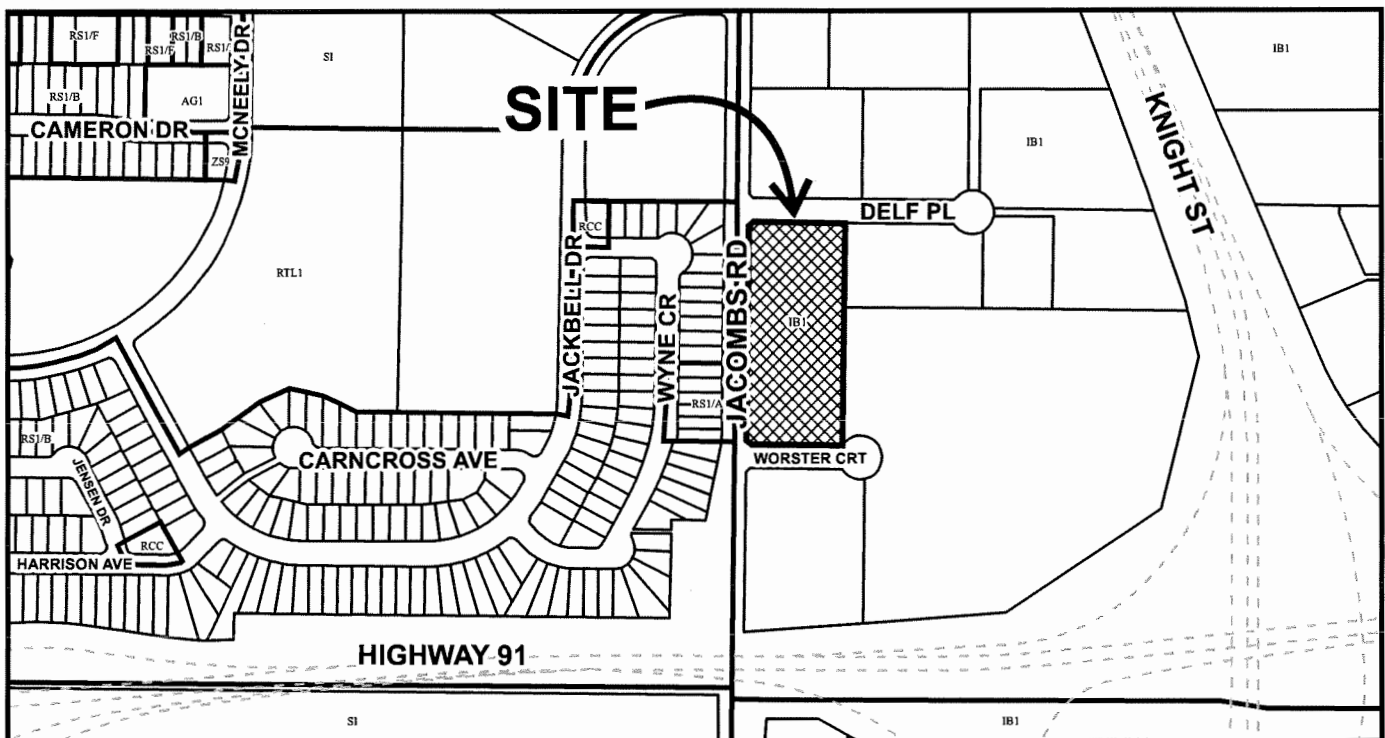
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-817925
SCHEDULE "A"

Original Date: 04/13/18

Revision Date:

Note: Dimensions are in METRES



EXISTING CATCH BASIN
NEW CATCH BASIN
EXISTING ELEVATION
PROPOSED ELEVATION
DESIGNATED RESTAURANT
PARKING
NEW LIGHT STANDARDS
SEE ELECTRICAL

OWNER/CLIENT



PROJECT NAME		NO.	REVISION	DATE	MDY
4	RE-ISSUED FOR DEVELOPMENT PERMIT - DE-18-077925			09/20/2019	
3	RE-ISSUED FOR REZONING			11/27/2018	
2	ISSUED FOR DEVELOPMENT PERMIT - DE-18-077925			04/04/2018	
1	ISSUED FOR REZONING APPLICATION			01/23/2018	

**PROPOSED
NEW
DRIVE-THRU
RESTAURANT**

PROJECT ADDRESS:

13020 DELF PLACE
RICHMOND, BC



301 - 1444 Albani Street,
Vancouver + Victoria
604-685-3529
office@wensle/a/c/a.com
www.wensle/a/c/a.com

CONSULTANTS:

STRUCTURAL:

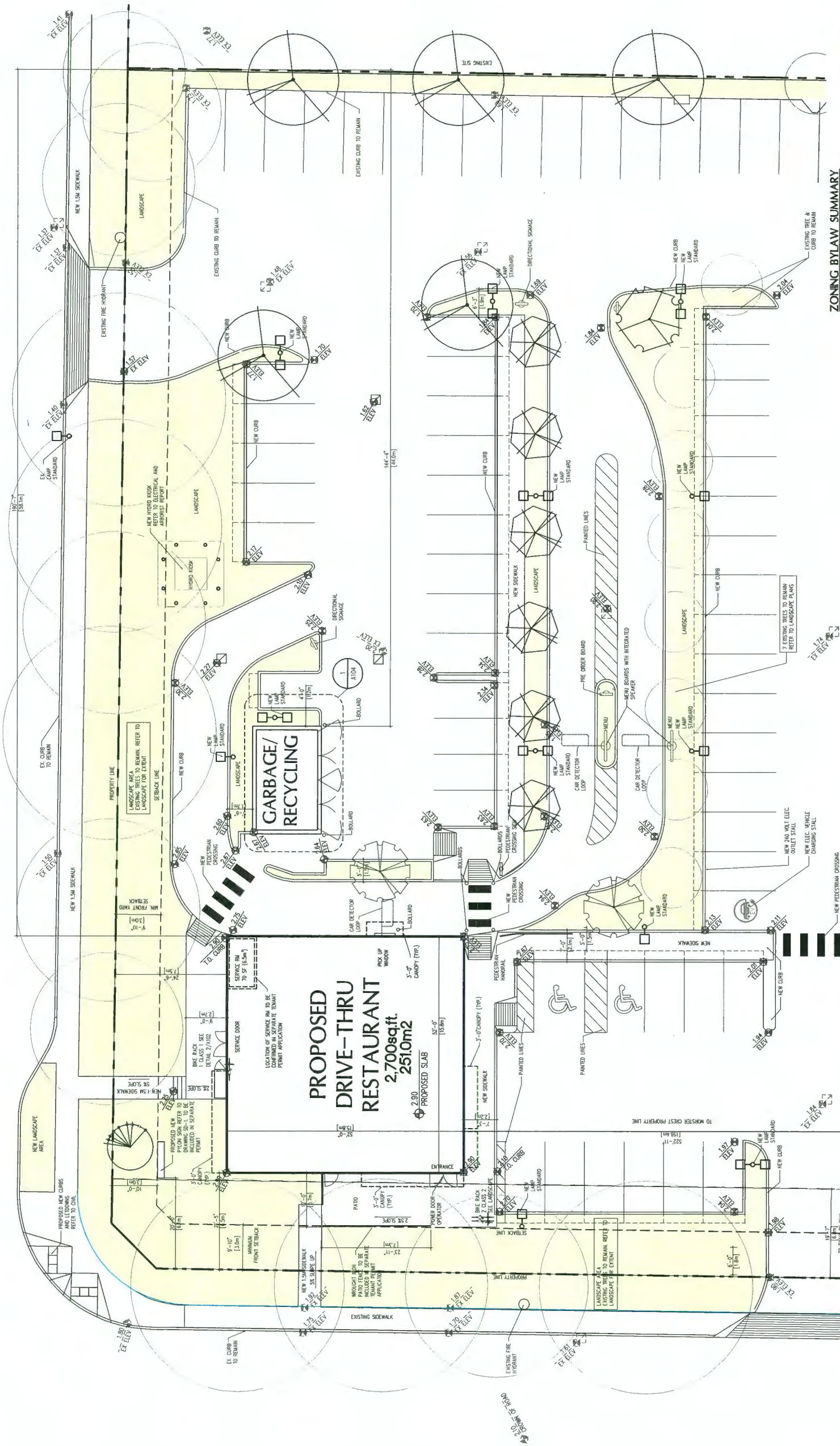
MECHANICAL:

ELECTRICAL:

DRAWING TITLE:

**SITE PLAN
PLAN #1**

PROJECT NO:	17096	DRAWN BY:	CS
SCALE:	AS NOTED	REVIEW BY:	
DATE:	JANUARY 2018	DRAWING NO:	A101



ZONING BYLAW SUMMARY

USE	ZONING CRITERIA	CURRENT CODE STANDARD OFFICE / RESTAURANT	EXISTING OFFICE	PROPOSED NEW BUILD REQUIRES REZONING FOR NEW TYPE USE
FLOOR AREA RATIO		60 %	24.6 %	26.3 %
LOT COVERAGE	17605 & SETBACKS			
FRONT YARD (SELF PLACE)		3.0 m	19.39 m	7.5 m
EXTENSION SIDE YARD (JACOBI'S ROAD)		3.0 m	50.80 m	6.5 m
INTERIOR SIDE YARD		0.0 m	23.42 m	4.0 m
REAR YARD (MOSSER CREST)		0.0 m	5.56 m	19.4 m
RESTAURANT		20.0 m to the HIGH WATER MARK	CONFORMS	CONFORMS
MAX HEIGHT BUILDINGS	PERMITTED HEIGHTS	12.0 m	n/a	71.3 m
MAX HEIGHT ACCESSORY		2.0 m	n/a	n/a
	LANDSCAPING & SCREENING			
NO OBSTRUCTIONS TO LINE OF VIEW AT INTERSECTION			CONFORMS	CONFORMS
ENCLOSED OUTDOOR RETIRED AREAS SCREEN			n/a	13.3 m
	2.0 m HIGH MIN. 2.4 m HIGH MAX. WOODEN SCREENING			
	LANDSCAPING SCREENING MIN 1.5 m HIGH ON THE SIDES FACING PUBLIC 3.0 m HIGH MIN. 2.4 m HIGH MAX. WOODEN SCREENING		CONFORMS	CONFORMS
LANDSCAPE SETBACK			CONFORMS	CONFORMS

ADDRESS: 13020 DELF PLACE, RICHMOND, B.C.
ZONING: IBI
LEGAL ADDRESS: 6 SEC. 32 BURNB. RD. PL. 64525
PARCEL AREA: 14,695 Sq. M
AREA PLANT: 11 EAST CAMBIE
FCL: 2.0 GSC
RIGHT OF WAY: YES, 64429
COF LAND USE: MEMP

1 PROPOSED SITE PLAN

$$3/32^{\circ} = 1^{\circ}-0^{\circ}$$

EXISTING: OFFICE RI III DINIC.

DP 18-817925
Mar 4, 2020
Plan #1

PLAN INDICATES INTERIOR LAYOUT ONLY .
REFER TO ARCHITECTURAL FOR MOST RECENT
EXTERIOR AND SITE LAYOUT.

SYMBOL LEGEND

CHAIR RAIL BY S.F.C.

NOTE:

DISHWASHER HOOD BY G.C.

CONTACT:

ASHLEY AT C.BRUGMAN &
ASSOCIATES

6-20172 113B AVE

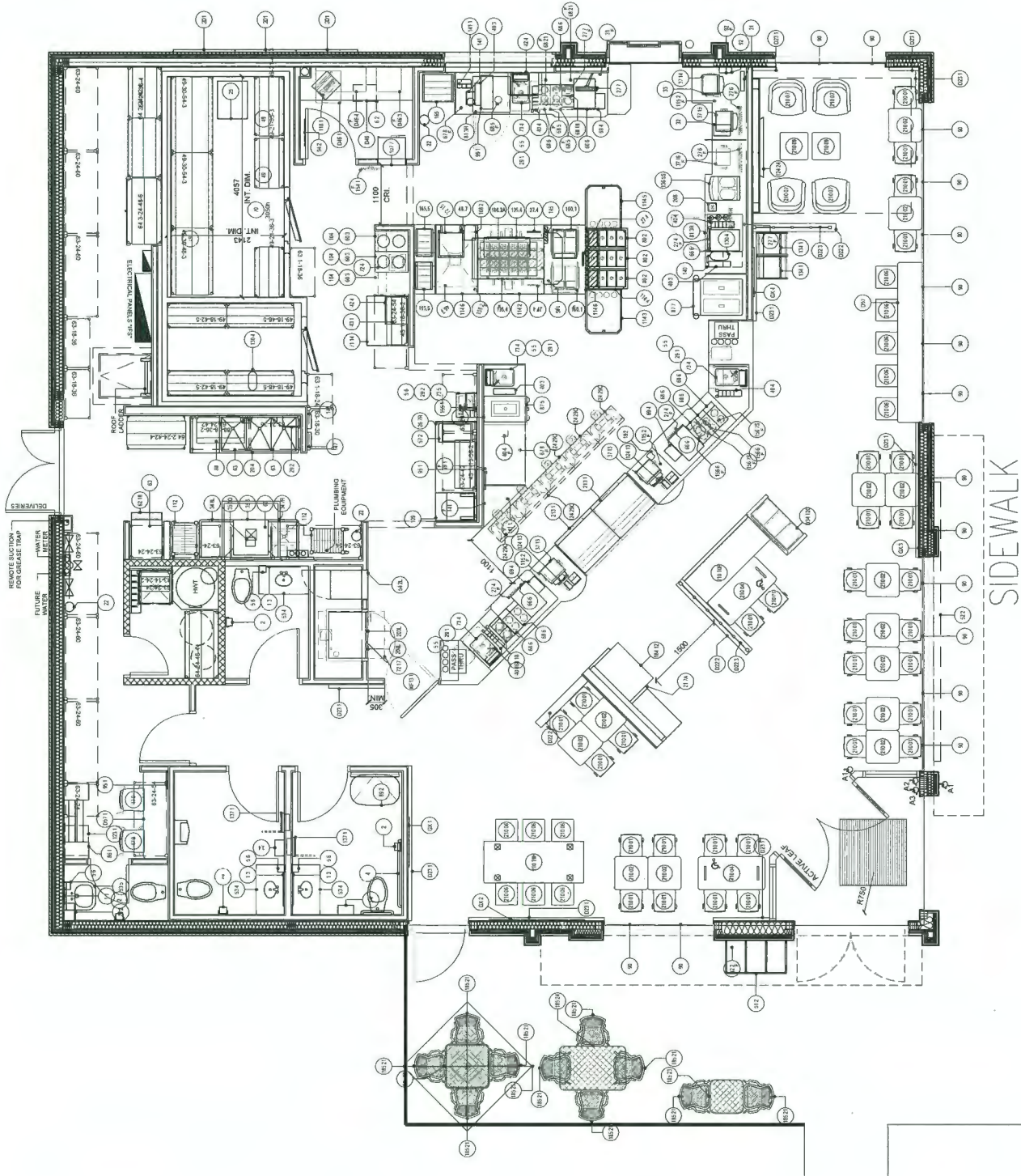
MAPLE RIDGE, BC

V2X 0Y9

P: 604.460.6000

11

1 EQUIPMENT PLAN
A2.0 SCALE: 1/8"



3707 1ST AVENUE
BURNABY, BC V5C 3V6
ADMIN@LOVICKSCOTT.COM
P: 604.298.1700 F: 604.298.6081
MEMBER OF THE ABC, AIA, SAA, MAIA & NAITAA

Architect

LOVICK
SCOTT
ARCHITECTS

Architectural Seal

Project

Tim Hortons

Store Type

2700-13 OPTION A

Location

RESTAURANT #107629, NS.04723
13020 DELF PLACE
RICHMOND, B.C.

Drawing Title

EQUIPMENT
PLAN

Drawn

AC

Checked

LSA

Scale

AS NOTED

Date

FEBRUARY 2018

Project No.

107629

Dwg No.

A2.0

ISSUE TABLE

No.	Date (mm/dd/yyyy)	Description
01		

REVISIONS

No.	Date	Description

DRAWINGS REVISED AS PER DESIGN BULLETIN

No.	Date	Description

ALL DIMENSIONS AND CONDITIONS TO
BE VERIFIED ON THE SITE

TRUE NORTH

DP 18-817925
Mar 4, 2020
PLAN #2.C

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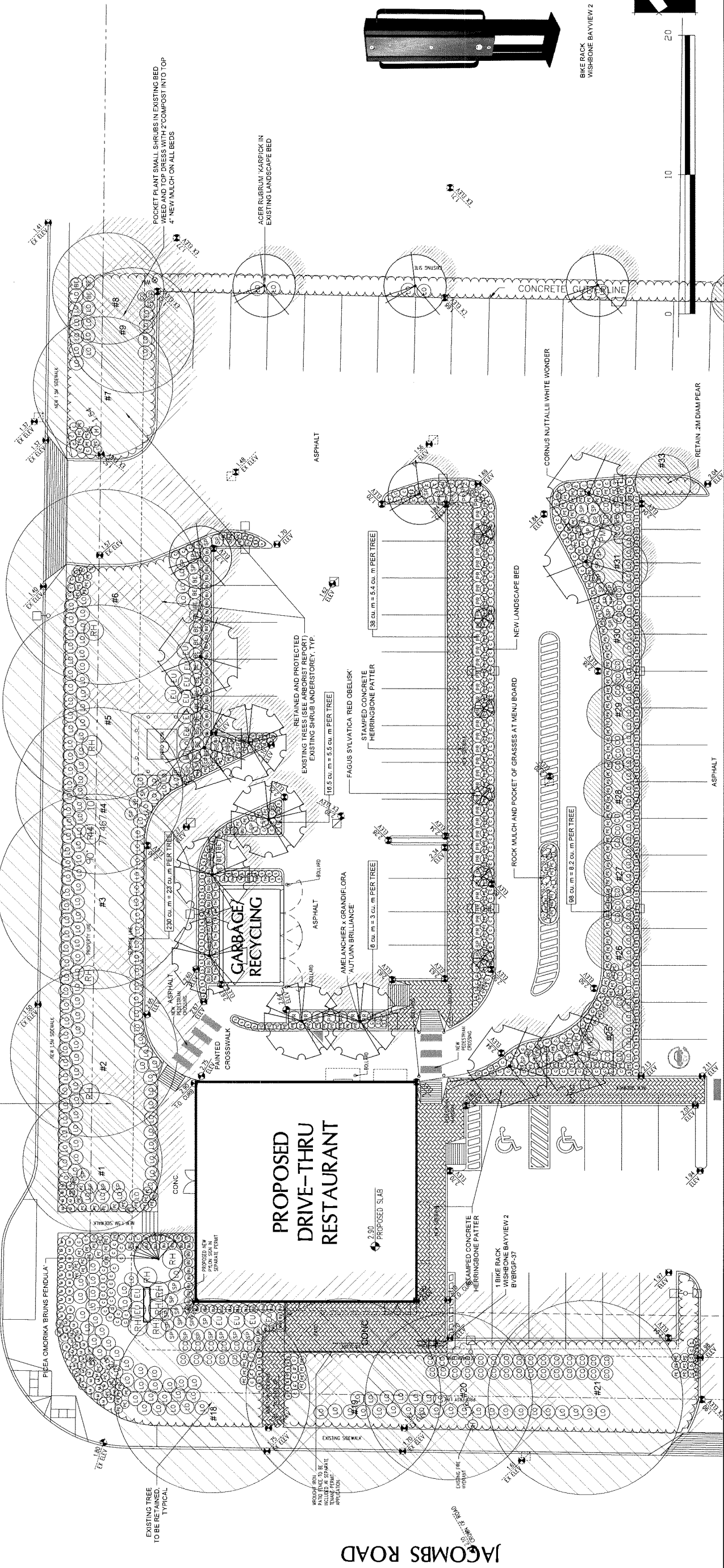
TIM HORTONS MODEL 2700-13 - 4800 JACOMBS ST, RICHMOND, BC - TDL NO 107629, NS 04723

TREE SCHEDULE			PMG PROJECT NUMBER: 17-170
KEY	QTY	BOTANICAL NAME	COMMON NAME
TREE	5	ACER RUBRUM 'KARFICK'	COLUMNAR KARFICK MAPLE
	6	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY
	1	PICEA OMORIKA BRUNS PENDULA	WEeping BRILLIANCE SERBIAN SPRUCE
	6	CORNUS NUTTALLII WHITE WONDER	PACIFIC DOGWOOD
	6	FAGUS SYLVATICA RED OBELISK	RED OBELISK BEECH
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. LATEST EDITION, CONTAINER SIZES SPECIFIED AS PER CANA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. SUBSTITUTIONS, OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD. DEFINITION OF CONDITIONS OF AVAILABILITY: * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.			

PLANT SCHEDULE			PMG PROJECT NUMBER: 17-170
KEY	QTY	BOTANICAL NAME	COMMON NAME
SHRUB	26	BERBERIS THUNBERGII ROYAL BURGUNDY	ROYAL BURGUNDY BARBERRY
	83	BUXUS MICROPHYLLA LITTLE GEM	LITTLE LEAF BOX
	71	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD
	14	EUNYMIUS ALATA 'COMPACTUS'	COMPACT WINGED BURNING BUSH
	2	PINUS MUGO FINE	DWARF MUGO PINE
	46	PRINUS LAUROCERASUS 'OTTO LUYKEY'	OTTO LUYKEN LAUREL
	11	RHOODENDRON 'SCARLET E. APRIL'	RHOODENDRON 'SCARLET E. APRIL'
	66	SHIREA JAPONICA LITTLE PRINCESS	LITTLE PRINCESS SPIRAEA 'PINK'
	19	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR
GRASS	287	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS
PERENNIAL	214	COREOPSIS VERTICILLATA 'MOONBEAM'	THREADLEAF COREOPSIS 'YELLOW'
	182	SEDUM ALBUM VAR. 'MORANTHUM' CORAL CARPET	CORAL CARPET STONECROP
GC	281	LONGICERA PILEATA	PRIVET HONEY-SUCKLE
	86	MAHONIA NERVOSA	LONGLEAF MAHONIA

Delf Place

INFILL EXISTING PLANTING BEDS WITHOUT DAMAGE TO EXISTING PLANTING BEDS WITH 6" GROWING MEDIUM & PLANT GAPS MULCH ALL BEDS



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p. 604.294-0011 ; f. 604.294-0022

CLIENT: -

PROJECT: -

SEAL: -

DRAWING TITLE: -

NO. DATE REVISION DESCRIPTION

10	20-MAR-03	UPDATE PER TREE BIOMASS REPLACEMENT	CLG
9	20-JAN-22	NEW SIGN LOCATION	DO
8	19-SEP-05	NEW SITE PLAN	DO
7	19-MAY-24	REVISE PER CITY COMMENTS	PC
6	18-NOV-15	TREE PROTECTION FOR #18	PC
5	18-NOV-02	CLARIFY TREES, PROTECTION FENCE AT PEAR	PC
4	18-OCT-17	2x 10M-1 BEECH TREES	PC
3	18-JUN-18	NEW SITE PLAN	DO
2	18-JUN-05	NEW SITE PLAN	DO
1	18-APR-04	NEW SITE PLAN	DO

Tim Hortons
STORE 107629

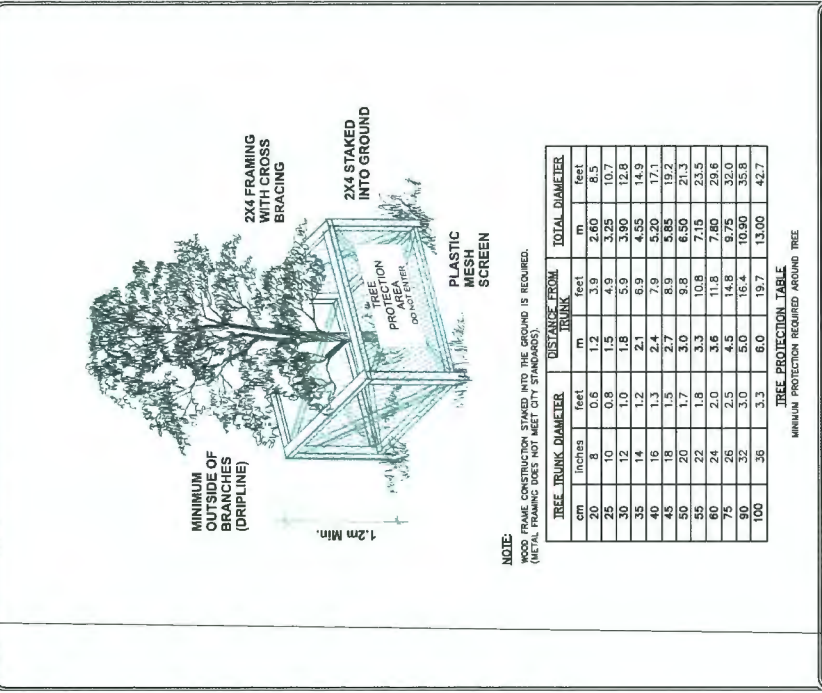
4600 JACOMBS RD.
RICHMOND, BC

LANDSCAPE PLAN

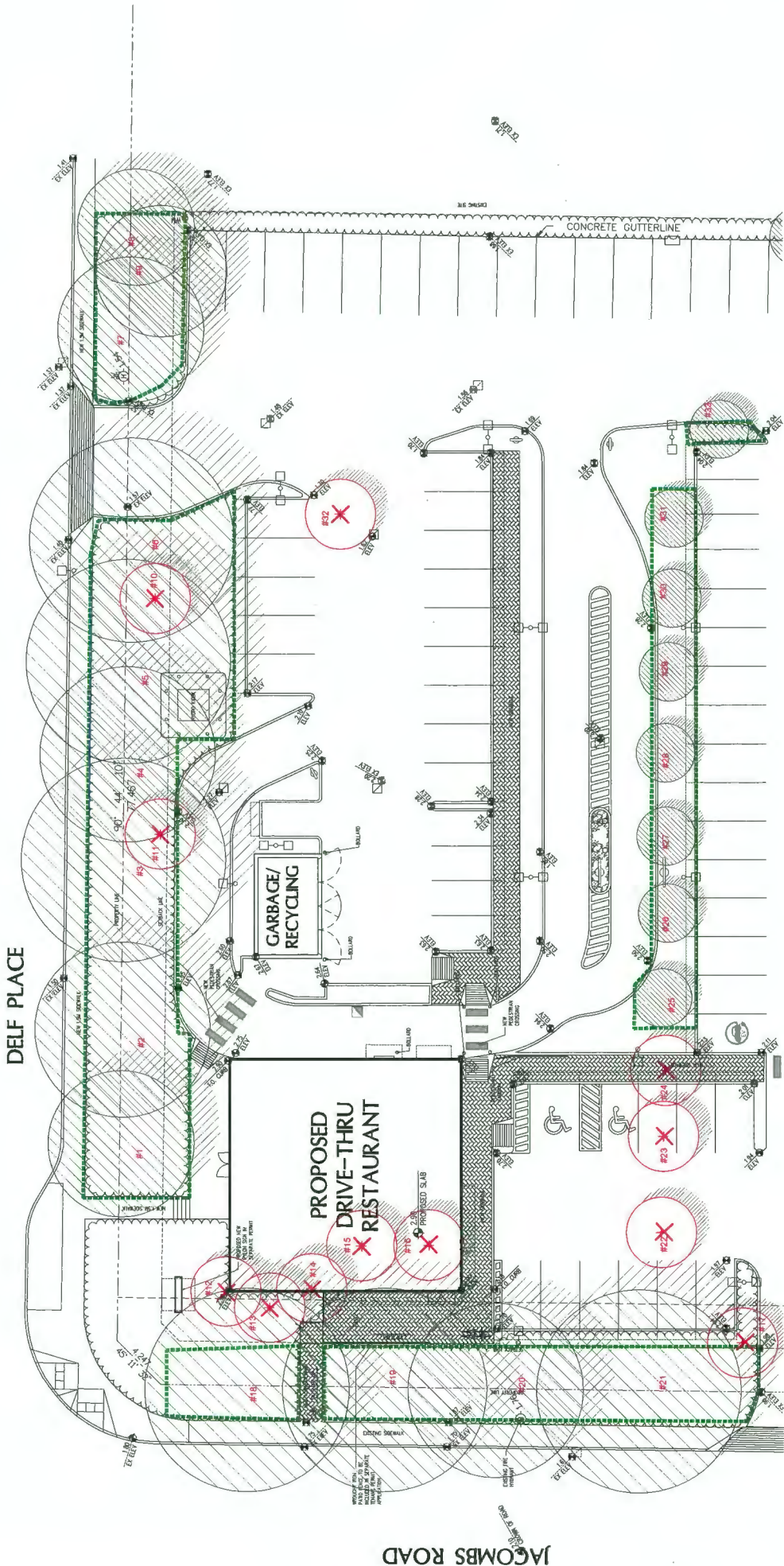
DP 18-817925
Mar 4, 2020
PLAN #3

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DATE: 17.AUG.21
SCALE: 1:150
DRAWN:
DESIGN:
CHKD: PCM
DRAWING NUMBER:
PMG PROJECT NUMBER: 17-170



TREE SUMMARY	
21	RETAINED EXISTING TREES
12	REMOVED EXISTING TREES
24	PROPOSED TREES:
5	ACER RUBRUM 'KARPPICK'
8	AMELANCHIER X 'AUTUMN BRILLIANCE'
1	CEDRUS DEODORA BLUE HEAVEN
6	CORNUS NUTTALLII WHITE WONDER
8	FAGUS SYLVATICA RED OBELISK



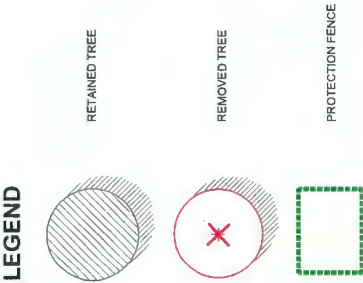
JACOMBS ROAD

DELPH PLACE

PROPOSED
DRIVE-THRU
RESTAURANT

GARBAGE/
RECYCLING

REF #	TAG #	SPECIES	SIZE
1	183	KWANZEN CHERRY	35cm
2	102	KWANZEN CHERRY	50cm
3	191	KWANZEN CHERRY	55cm
4	188	KWANZEN CHERRY	55cm
5	188	KWANZEN CHERRY	60cm
6	185	KWANZEN CHERRY	50cm
7	183	KWANZEN CHERRY	45cm
8	184	WESTERN RED CEDAR	30cm
9	184	BLUE SPRUCE	25cm
10	180	JAPANESE MAPLE	20cm
11	NO TAG	JAPANESE MAPLE	20cm
12	NO TAG	JAPANESE MAPLE	25cm
13	NO TAG	HEDGE CEDAR	25cm
14	NO TAG	MULTI	30cm
15	NO TAG	JAPANESE MAPLE	30cm
16	NO TAG	KWANZEN CHERRY	90cm
17	184	KWANZEN CHERRY	80cm
18	105	KWANZEN CHERRY	70cm
19	NO TAG	KWANZEN CHERRY	150cm
20	NO TAG	RED CEDAR	50cm
21	NO TAG	RED CEDAR	50cm
22-31	NO TAG	RED CEDAR	50cm
32	181	RED CEDAR	50cm



NO.	DATE	REVISION DESCRIPTION	DR.
1	18.APR.04	NEW SITE PLAN	DR.
2	18.JUN.05	NEW SITE PLAN	DR.
3	18.JUN.18	NEW SITE PLAN	DR.
4	18.OCT.17	2x FOR 3 BEECH TREES	PC
5	18.NOV.02	CLARIFY TREES, PROTECTION FENCE AT FEAR	PC
6	18.NOV.15	TREE PROTECTION FOR #13	PC
7	19.MAY.24	REVISE PER CITY COMMENTS	DR
8	19.SEP.05	NEW SITE PLAN	DR
9	20.JAN.22	NEW SIGN LOCATION	DR
10	30.JAN.03	UPDATE PER TREE BY-LAW REPLACEMENT	CLG

PROJECT: **Tim Hortons**
STORE 107629
4600 JACOMBS RD.
RICHMOND, BC

DRAWING TITLE:

SEAL:

DATE: 17.AUG.21

SCALE: 1:200

DRAWN:

DESIGN:

CHKD: PCM

DRAWING NUMBER:

DP 18-817925

Mar 4, 2020

PLAN #3-A












PMG PROJECT NUMBER:

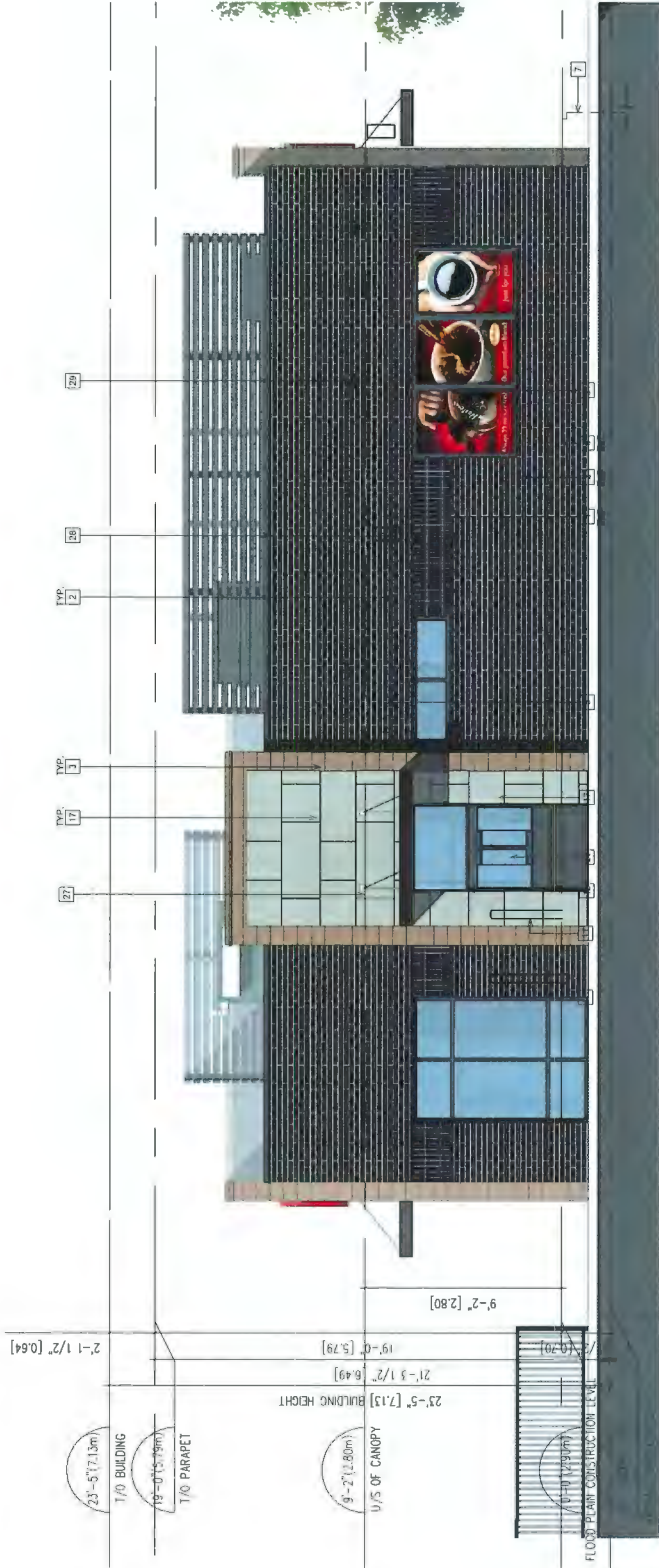
17-170

OF 3

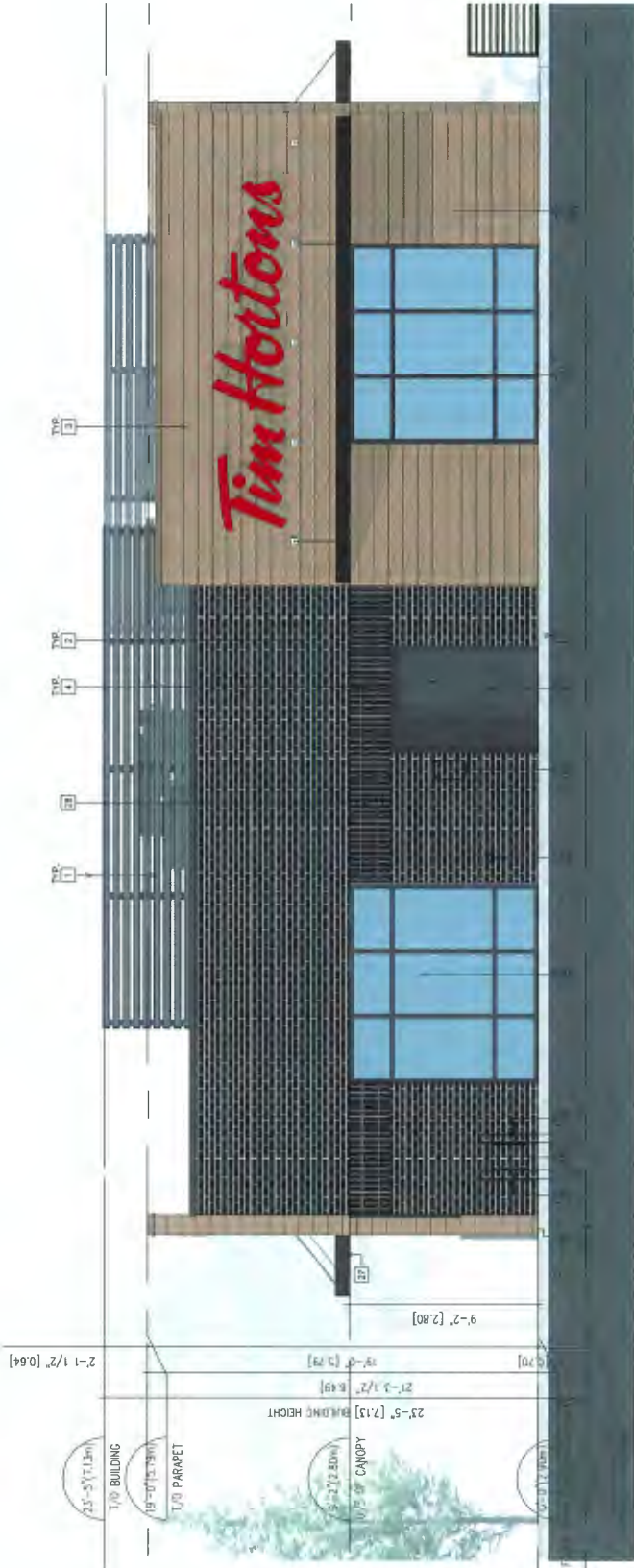
pmg
LANDSCAPE
ARCHITECTS
Suite C100 - 4195 SMI Creek Drive
Burnaby, British Columbia V5C 6G9
p: 604.294-0011 ; f: 604.294-0022

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IRRIGATION LEGEND		
KEY	MANUFACTURER	DESCRIPTION
	RAINBIRD	1800 SERIES FULL - NOZZLE TYPE AS INDICATED
	RAINBIRD	1800 SERIES THREE QUARTER - NOZZLE TYPE AS INDICATED
	RAINBIRD	1800 SERIES TWO THIRD - NOZZLE TYPE AS INDICATED
	RAINBIRD	1800 SERIES HALF - NOZZLE TYPE AS INDICATED
	RAINBIRD	1800 THIRD - NOZZLE TYPE AS INDICATED
	RAINBIRD	1800 SERIES QUARTER - NOZZLE TYPE AS INDICATED
	RAINBIRD	1800 VAN SERIES - NOZZLE TYPE AS INDICATED
	RAINBIRD	1800 STRIP SERIES - 155ST
	RAINBIRD	1800 STRIP SERIES - 115ST
	RAINBIRD	1800 STRIP SERIES - 154CS / 1510CS
	RAINBIRD	3500 SERIES - 3504-PC - NOZZLE TYPE AS INDICATED



* ALL SIGNAGE SHOWN FOR INFORMATION ONLY.
TO BE INCLUDED IN SEPARATE PERMIT



* ALL SIGNAGE SHOWN FOR INFORMATION ONLY.
TO BE INCLUDED IN SEPARATE PERMIT

SYMBOL LEGEND	
	SECTION NUMBER DRAWING SHEET NUMBER
	BUILDING SECTION NUMBER DRAWING SHEET NUMBER
	NOTE REFERENCE REFER TO ELEVATION NOTES


[illegible]

EXTERIOR ELEVATION NOTES

- 01 PREFINISHED METAL FLASHING. REFER TO EXTERIOR FINISH SCHEDULE.
- 02 TEXTURE (FINISH). REFER TO EXTERIOR FINISH SCHEDULE.
- 03 ALUMINUM CORNER PIECES. C.C.
- 04 ALUMINUM CORNER PIECES TO EXTERIOR FINISH SCHEDULE.
- 05 BORDER COURSE. VERTICAL. TEXTURE (FINISH). REFER TO EXTERIOR FINISH SCHEDULE.
- 06 MOLDED ALUMINUM FRAMES.
- 07 EXPOSED CONCRETE TO BE FINISHED & FACE OF INTERFERENCE.
- 08 POLISHED CONCRETE FLE FOUNDATION. REFER TO STRUCTURAL DRAWINGS FOR SIZE & DEPTH.
- 09 CONCRETE REINFORCING BARS. PROVIDE SCHEDULED PANELS / REINFORCING CONFORM WITH PROJECT DESIGNER FOR SIZE AND SPACING. REFER TO ELECTRICAL DRAWINGS. C.C. TO ENSURE TO PROVIDE ADEQUATE MOOR BLOODING / BACKING FOR STAGNE SUPPORT (COORDINATE WITH SIGN MANUFACTURER).
- 10 DELIVERY DOOR. PAINT TO MATCH WITH THIS STONE
- 11 METAL PLATE FINISH.
- 12 150mm DIA METAL BOLLARD FILL W/ CONCRETE C/W BOLLARD COVER
- 13 DRINK-THRU WINDOW WITH INSULATED PANEL.
- 14 EXIT ONLY DECAL.
- 15 OVERFLOW SLOPPER
- 16 CONCRETE SIDEWALK (BY OTHERS). REFER TO SITE PLAN.
- 17 EXTERIOR RECYCLING UNIT
- 18 FENCE/LANAI BE MECHANICALLY FASTENED TO WALL.
- 19 HWY CONCERNING VENT TO BE INSTALLED PRIOR TO BRICK INSTALL.
- 20 LOCATION OF GAS METER. REFER TO MECHANICAL DRAWINGS.
- 21 LOCATION OF GAS METER.
- 22 MOLDED ALUMINUM (EXTERIOR STONE/FRONT SWING DOORS)
- 23 LOCATION OF REMOTE SUNCTION FOR GROUND INTERPROOF
- 24 BARRIER FREE OPERATOR SWITCH LOCATION
- 25 PROVIDE & INSTALL THREE (3) "NO-SMOKING WITHIN 7.5M" SIGNAGE AT ENTRANCE/ENTS.
- 26 150mm METAL BOLLARD FILL W/ CONCRETE. REFER TO EXTERIOR FINISH SCHEDULE.
- 27 BRICKWORK FENCE FOR PAVES
- 28 PROVIDE 100% PERMANENT INSTALLATION OF "PAVING" (ELEVATION, SLOPE) (CONFORM WITH PROJECT DESIGNER). PROVIDE EXTERIOR TYPE ACCESS PANEL ON INTERIOR OF BUILDING IF REQUIRED AS PER ON SITE REQUIREMENTS.
- 29 WALL SOURCE LIGHTING.
- 30 WALL PACK. REFER TO EXTERIOR FINISH SCHEDULE FOR PAINT COLOR.
- 31 C.C. TO PROVIDE CONCRETE CURB ALONG DRIVE-THRU LANE. CURB TO PROJECT 200MM FROM FACE OF ELEVATION.
- 32 EXTERIOR POY FRAME ITEM #001 SUPPLIED BY TEL GROUP AND INSTALLED BY C.C.
- 33 TWO ROOF MEMBRANE ON BACK OF PARAPET WALLS
- 34 SPANDREL PANEL.


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SCALE



NORTH ARROW

OWNER/CLIENT




GWL REALTY
ADVISORS

NO.	PROJECT NAME	REVISION	DATE	BY	CHECKED	DATE	BY	CHECKED	DATE
1	ISSUED FOR DEVELOPMENT PERMIT		04/04/2018	LUOY					
2	RE-ISSUED FOR DEVELOPMENT PERMIT - 9P, JH-47102		09/20/2019						

PROPOSED NEW DRIVE-THRU RESTAURANT

PROJECT ADDRESS:

13020 DELF PLACE
RICHMOND, BC



WA

Wensley Architecture Ltd
301 - 1444 Albert Street, Vancouver, BC V6C 2A6
604-685-2539
office@wensleyarch.com
www.wensleyarch.com

▼ WENSLEY ARCHITECTURE LTD

CONSULTANTS:

STRUCTURAL:

MECHANICAL:

ELECTRICAL:

CIVIL:

LANDSCAPE:

PROJECT NO. 17096

SCALE: AS NOTED

DATE: JANUARY 2018

DRAWING TITLE

ELEVATIONS
PLAN #4a

DRAWING NO. A302





1 ELEVATION – DRIVE-THRU



2 ELEVATION – JACOMBS ROAD



3 ELEVATION – DELF PLACE

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SEAL

NORTH ARROW

OWNER/CLIENT

GWL REALTY ADVISORS

2	RE-USED FOR DEVELOPMENT PERMIT	19/10/2019
1	ISSUED FOR DEVELOPMENT PERMIT	14/04/2018
NO.	REVISION	NOT

PROJECT NAME

**PROPOSED
NEW
DRIVE-THRU
RESTAURANT**

PROJECT ADDRESS:
13020 DELF PLACE
RICHMOND, BC

WA

Wensley Architects Ltd.
301 - 144 Abbott Street, Vancouver
604-655-3329
info@wensleyarch.com
www.wensleyarch.com

WENSLEY ARCHITECTURE LTD

CONSULTANTS:
STRUCTURAL:
MECHANICAL:
ELECTRICAL:
CIVIL:
LANDSCAPE:
DRAWING TITLE

**RENDERINGS
PLAN #6**

PROJECT NO.	1706	DRAWN BY:	CS
SCALE	AS NOTED	REVIEWED BY:	
DATE	JANUARY 2018	DRAWING NO.	A501



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 8, 2020

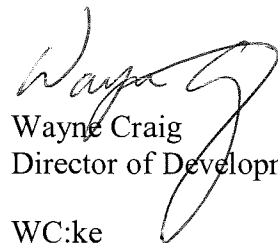
From: Wayne Craig
Director of Development

File: DP 18-826280

Re: Application by Gradual Architecture Inc. for a Development Permit at
4100 Vanguard Road

Staff Recommendation

That a Development Permit be issued which would permit the development of a 927 sq. m light industrial building at 4100 Vanguard Road on a site zoned "Industrial Retail (IR1)".



Wayne Craig
Director of Development

WC:ke
Att. 2

Staff Report

Origin

Gradual Architecture Inc. has applied to the City of Richmond for permission to develop a 927 sq. m light industrial building at 4100 Vanguard Road on a site zoned “Industrial Retail (IR1)”. The site is currently vacant and does not contain any buildings. There is no rezoning application associated with this proposal.

A Servicing Agreement will be required to be entered into prior to issuance of the building permit for off-site frontage improvements and review of existing and proposed site service connections for the development.

Development Information

The proposal is for a light industrial building in accordance with the “Industrial Retail (IR1)” zone for the subject site, which will contain warehousing space on the ground floor and accessory offices in a second storey mezzanine area.

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: a site zoned “Industrial Retail (IR1)” that contains existing industrial buildings;
- To the east: residential properties containing a duplex on a site zoned “Two-Unit Dwellings (RD1)” and a single-family dwelling on a site zoned “Single-Detached (RS1/E)”;
- To the south: a site zoned “Industrial Retail (IR1)” that contain existing industrial buildings; and
- To the west: across Vanguard Road, a site zoned “Industrial Retail (IR1)” that contains off-street parking and loading and a light industrial building.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and East Cambie Area Plan and is generally in compliance with the “Industrial Retail (IR1)” zone.

Advisory Design Panel Comments

The project was not presented to the Advisory Design Panel as it is a relatively minor redevelopment in an existing industrial area.

Analysis

Floodplain Management Implementation Strategy

- The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a flood indemnity covenant on Title is a development permit consideration for this project (Attachment 2).

Aircraft Noise Sensitive Development Management

- The property is located within an Aircraft Noise Sensitive Development area; therefore, registration of an aircraft noise indemnity covenant on title is a development permit consideration for this project.

Conditions of Adjacency

- The applicant has sent letters to the three residential properties to the immediate east of the subject site (4111, 4091 and 4071/51 Danforth Drive) to inform the residents of the proposal and seek applicable feedback. To date, the applicant has not received any specific comments from the residents on the proposal.
- In response to the existing residential uses to the east of the subject site, the industrial building provides for a 3 m (10 ft.) setback at the rear property line.
- Rooftop building mechanicals units to service the warehouse are situated on the west portion of the proposed building away from the residential uses, with screening implemented around each unit.
- An acoustical consultant confirmed that the building envelope design and rooftop mechanical units operation would comply with the City's Noise Regulation Bylaw 8856 in relation to sound generated from within the building and rooftop units in accordance with the residential adjacency to the site. A legal agreement registered on title will be secured as a development permit consideration indicating that the development is required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City's Noise Regulation Bylaw 8856 and noise generated from rooftop mechanical units will comply with the City's Noise Regulation Bylaw 8856.
- A majority of the developments windows and openings are oriented to Vanguard Road to the west, with no windows proposed on the east of the site to the neighbouring residential. As a result, no potential overlook or privacy concerns will arise to the adjacent residential uses.
- The applicant undertook a shadow analysis that demonstrates minimal shadowing to the existing industrial zoned property to the north (currently used for off-street parking and storage). Shadowing of the adjacent residential properties is limited to the west portion of these properties during afternoon periods. A tall hedge located on these residential properties also shadows portions of these properties.
- The applicant undertook an analysis of the visibility of the proposed building to neighbouring residential properties to the east that took into account the heights of the existing hedging, which confirmed a majority of the building will be screened by the existing hedge.

- Exterior wall mounted lighting will be situated on the lower parts of the building with all fixtures downward oriented and shielded to prevent light overspill and glare into surrounding areas.

Urban Design and Site Planning

- The proposed industrial building provides a 3 m (10 ft.) setback to the rear (east) property line to enable sufficient space to allow for protection and retention of the existing mature hedge located on the neighbouring properties to the east. Furthermore, an existing 3 m (10 ft.) wide utility right-of-way exists along the site's east property line and contains overhead lines and the building complies with this right-of-way. The west portion of the site adjacent to the street contains off-street parking/loading areas setback 3 m (10 ft.) and screened by landscaping along the street frontage.
- The proposed site plan has been arranged to enable the proposed industrial building to maximize usage of the relatively narrow lot width for the purposes of optimizing the floor area for the proposed warehouse activities. This site plan also provides for a 3 m (10 ft.) rear yard setback (also containing a utility right-of-way) while still providing for adequate space to accommodate off-street parking/loading, vehicle circulation and a landscaped street frontage in the subject site's front yard. Other site plan layouts were examined by the applicant and were determined to not be feasible due to the resulting building form and increased pavement/hard surfaces to accommodate additional driveways providing access to off-street parking/loading areas.
- A clearly marked (through permeable pavers) pedestrian linkage from the street frontage improvements (that includes a proposed new concrete sidewalk) to the entrance of the buildings will be provided for in this development.
- The proposed off-street parking, drive-aisle and loading bay complies with the City's Zoning Bylaw requirements.

Architectural Form and Character

- The proposed building includes a number of architectural elements to articulate the elevation fronting the public street as follows:
 - Multiple openings and windows on both the ground level and 2nd mezzanine level of the development.
 - Inclusion of building recesses and projections that assist to break up the massing and add architectural interest of the street elevation.
 - Application of varying cladding materials (concrete block, corrugated metal) colours to add further articulation along this elevation.
- A canopy at the main entrance to the building is integrated into the building to provide weather protection and also adds additional architectural detailing for the front elevation of the development.
- Screening to the rooftop mechanical units are provided and incorporated into the architectural design of the building.

- To address the zero lot line adjacency along the subject site's side yards (north and south property line) and rear (east) elevation, the block wall will include two horizontal bands of lighter coloured concrete block.
- The garbage and recycling area is fully contained and secured within the existing industrial building, with the exterior design and finishing consistent with the design of the building.

Landscape Design and Open Space Design

- Landscaping along the west and portions of the north property line enable for plantings to be implemented to provide a buffer between the off-street parking area and frontage improvements (including a new concrete sidewalk) along Vanguard Road.
- There is an existing mature evergreen hedge located on the neighbouring residential properties to the east that will be retained as part of this development. This existing hedge provides for an existing landscaped buffer and visual screen between industrial land uses along Vanguard Road and neighbouring residential uses.
- To ensure that the existing mature hedge is not impacted by the development, the following measures are proposed:
 - The project arborist noted existing bramble shrubs located on the east portion of the subject site would need to be removed to accommodate the proposed development. The arborist determined that the removal of bramble shrubs would not impact the existing mature evergreen hedge on the neighbouring property and recommended that this work be supervised by a certified arborist and that a tree protection zone be implemented on the subject site for the neighbouring hedges to be retained.
 - Proof of a contract or letter of assurance is required to confirm that a certified arborist has been hired to supervise all works along the east edge of the site, including confirming the installation of the tree protection zone on the subject site in accordance with the arborist recommendations. Removal of existing brambles along the east portion of the site and tree protection fencing is required to be installed prior to issuance of a building permit for the project.
- A 3 m (10 ft.) wide statutory right-of-way (SRW) exists along the rear (east) property line of the site for the purposes of an existing overhead utility line. As a result of the existing SRW and utility infrastructure, the ability to implement taller landscape plantings within this rear yard setback area adjacent to the neighbouring residential uses is limited. Furthermore, the project arborist has also recommended a tree protection zone that also covers a portion of the utility right-of-way area that restricts the ability to place any additional landscaping in the area. In response to this existing utility right-of-way limitation and tree protection zone, the following is proposed:
 - A new 1.8 m (6 ft.) height solid wood panel fence is proposed along the east property line, which has been reviewed by the project arborist.
 - Additional landscaping is implemented along the east building wall of the proposed development in the form of vines that will grow on a trellis structure mounted to the building, which will add an additional planted buffer.

- The existing hedge that provides for a tall planted screen to the neighbouring residential uses to the east will be retained as part of this development.
- A new 1.8 m (6 ft.) tall metal picket fence is proposed along the north and south property lines adjacent to the parking lot.
- Permeable pavers have also been incorporated to the driveway entrance from Vanguard Road and for the pedestrian pathway to the building entrance, providing additional visibility and surface treatment to the proposed asphalt parking and loading areas.
- All on-site landscaping will have in-ground irrigation installed.
- A landscape bond in the amount of \$12,434 will be secured as a development permit consideration for this project.

Crime Prevention Through Environmental Design

- Pedestrian wayfinding from the proposed new sidewalk and building entrance is direct and highly visible from the street and building.
- The off-street parking and loading areas are visible from the street and building, maximizing surveillance of these areas.

Off-Site Improvements

- Upgrades will be completed along subject site's Vanguard Road frontage consisting of a new sidewalk, grass and treed boulevard, concrete curb and gutter and road widening (east half).
- Review and installation of new site service connections and related infrastructure will be completed as part of this development.
- These works will be completed through a Servicing Agreement, which will be required to be completed prior to issuance of the building permit for the project.

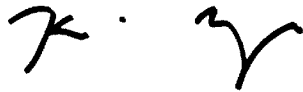
Sustainability Measures

- The proposed development is subject to the energy efficiency requirements contained in Part 10 of the *BC Building Code 2018* for new buildings. To achieve enhanced building energy efficiency beyond the minimum requirements identified in the *BC Building Code 2018*, the applicant has engaged an energy consultant to model the building. The consultant has confirmed that the proposed building design will be able to achieve a 10% total energy savings when compared to the modelled baseline case, which is based on minimum *BC Building Code 2018* requirements. A legal agreement will be secured as a Development Permit consideration to ensure the 10% total energy savings as identified in consultant's report is implemented with this project.
- The applicant proposes to install infrastructure and charging stations to support two parking stalls (approximately 20% off-street parking stalls) providing Level 2 (240 volt) charging service for electric vehicles. A legal agreement will be secured as a development permit consideration to require the developer to construct, install and provide power/service to two (2) Level 2 charging infrastructure capable of providing electric vehicle charging to a minimum of 2 vehicles at any given time.

Conclusions

The proposed development meets applicable policies and Development Permit Guidelines for industrial developments within the context of the site's residential adjacency. On this basis, staff recommend that the development permit be endorsed, and considered for issuance by Council.

The list of development permit considerations is included in Attachment 2, which has been agreed to by the applicant (signed concurrence on file).

A handwritten signature in black ink, appearing to read 'K. Eng', with a stylized flourish at the end.

Kevin Eng
Planner 2

KE:cas

Attachment 1: Development Data

Attachment 2: Development Permit Considerations



DP 18-826280

Attachment 1

Address: 4100 Vanguard Road

Applicant: Gradual Architecture Inc.

Owner: Julong Properties Ltd.

Planning Area(s): East Cambie Sub Area Plan

Floor Area Gross: 926 m²

Floor Area Net: 900 m²

	Existing	Proposed
Site Area:	1,226 m ²	1,226 m ²
Land Uses:	Industrial	No change
East Cambie Area Plan Designation:	Industrial	No change
Zoning:	IR1	No change - complies

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.74	none permitted
Lot Coverage (building):	Max. 60%	54%	none
Setback – Front Yard:	Min. 3 m	24.2 m	none
Setback – Side Yard (south and north):	No min. side yard setback	0 m	none
Setback – Rear Yard:	No min. rear yard setback	3 m	none
Height (m):	Max. 12 m	10.32 m	none
Off-street Parking Spaces	8 stalls	8 stalls	none
Off-street Parking Spaces – Accessible:	1 accessible stall	1 accessible stall	none
Total off-street Spaces:	9 stalls	9 stalls	none
Bicycle Parking	Class 1 – 3 stalls Class 2 – 3 stalls	Class 1 – 3 stalls Class 2 – 3 stalls	none



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 4100 Vanguard Road

File No.: DP 18-826280

Prior to issuance of the Development Permit, the Applicant is required to complete the following:

1. Receipt of a Letter-of-Credit for landscaping in the amount of \$12,434.00.
NOTE: landscape estimates for the purposes of a landscape letter of credit to include a 10% contingency cost.
2. Submission of a Contract entered into between the applicant and a Certified Arborist to supervise all works along the east edge of the site, including removal of existing brambles and shrubbery and confirming the installation of the tree protection zone on the subject site in accordance with the arborist recommendations. Removal of existing brambles along the east portion of the site and tree protection fencing is required to be installed prior to issuance of a building permit for the project.
3. Registration of an aircraft noise indemnity covenant on title.
4. Registration of a flood indemnity covenant on title.
5. Registration of a legal agreement on title indicating that the development is required to mitigate unwanted noise and demonstrate that the building envelope is designed to avoid noise generated by the internal use from penetrating into residential areas that exceed noise levels allowed in the City's Noise Regulation Bylaw 8856 and noise generated from rooftop mechanical units will comply with the City's Noise Regulation Bylaw 8856.
6. Registration of a legal agreement on title to secure a minimum of two (2) Level 2 charging stations and related infrastructure capable of providing electric vehicle charging to a minimum of 2 vehicles at any given time. This legal agreement would also indicate that prior to requesting final inspection or granting occupancy to the building, the applicant is required to confirm that all electric vehicle charging stations and related infrastructure is installed and operational on-site.
7. Registration of a legal agreement on title to ensure the development achieves a 10% total energy savings when compared to the modelled baseline case (BC Building Code 2018 requirements) in accordance with the applicant's energy consultant report. This legal agreement will require submission of reports from the appropriate consultant through the Building Permit application and inspection process confirming that the submitted building permit drawings are consistent with the consultant report.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. The certified arborist for the project is required to confirm removal of all existing brambles/shrubs along the east portion of the subject site and installation of the tree protection zone in accordance with the recommendations of their report.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to:
 - a) Upgrades along the frontage of the subject site to construct a new 1.5 m wide concrete sidewalk, 1.5 m wide grass & treed boulevard, 0.15 m concrete curb & gutter and road widening for the east portion of Vanguard Road.
 - b) Engineering servicing/utility requirements as follows:

Water Works:

- The Developer is required to:

Initial: _____

- Using the OCP Model, there is 291 L/s of water available at a 20 psi residual at Vanguard Rd. Based on the zoning your site requires a minimum fire flow of 250 L/s per the City's design specification.
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit designs at Building Permit stage.
 - Provide a right-of-way for the water meter. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2o-SD) + 0.5 m on all sides. Exact right-of-way dimensions to be finalized during the building permit process (or via the servicing agreement process, if one is required).
- At the Developer's cost, the City will:
 - Cut and cap existing water service connection
 - Install a new water connection. Water meter to be located onsite in a SRW.

Storm Sewer Works:

- The Developer is required to:
 - Check the existing storm service connection and lead at main at the east frontage of the subject site (STIC127829) via video inspection. Confirm the material and condition of the inspection chamber and pipe. If deemed acceptable by the City, the existing service connection and/or lead may be retained to serve the lot. In the case that a service connection is not in a condition to be re-used, the service connection and/or lead shall be replaced by the Developer, as described below.
 - Cut and cap existing storm service connection and/or lead at main.
 - Install a new storm service connection, complete with inspection chamber and tie-in at main.
 - Confirm condition of existing private culvert, replace if required.

Sanitary Sewer Works:

- The Developer is required to:
 - Check the existing sanitary service connection at the east frontage of the subject site (SIC4816). Confirm the material and condition of the inspection chamber and pipe. If deemed acceptable by the City, the existing service connection may be retained. In the case that a service connection is not in a condition to be re-used, the service connection shall be replaced by the City, at the Developer's cost, as described below.
 - Protect existing AC watermain during sanitary installation. Any undermining breakages are to be replaced at the Developer's cost.
 - Replace the AC water main at the crossing location with the proposed connection, minimum 3m on either side of crossing.
- At the Developer's cost, the City will:
 - Cut and cap existing sanitary service connection.
 - Install a new sanitary service connection, complete with inspection chamber and tie-in.

Frontage Improvements:

- the Developer is required to:

Initial: _____

- Provide frontage improvements along the subject site's Vanguard Road frontage consisting of implementing a new sidewalk, grass and treed boulevard, concrete curb and gutter and road widening (east half).
- Coordinate with BC Hydro, Telus and other private communication service providers:
 - Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
- The existing 3m wide ROW along the east property line for the existing BC Hydro/TELUS overhead utilities must be clear of any permanent structures and remain accessible at all times.
- Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
- Lighting drawing is required, complete with lighting layout for Vanguard Rd frontage.

General Items:

- At Developer's cost, the Developer is required to:
 - Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
 - Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
 - Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
 - Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures.
 - Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Initial: _____

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed Copy on File

Signed

Date



City of Richmond

Development Permit

No. DP 18-826280

To the Holder: Gradual Architecture Inc.

Property Address: 4100 Vanguard Road

Address: c/o Ian Guan
 200 - 1892 West Broadway
 Vancouver, BC V6J 1Y9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #6 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$12,434 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 18-826280

To the Holder: Gradual Architecture Inc.

Property Address: 4100 Vanguard Road

Address: c/o Ian Guan
200 - 1892 West Broadway
Vancouver, BC V6J 1Y9

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

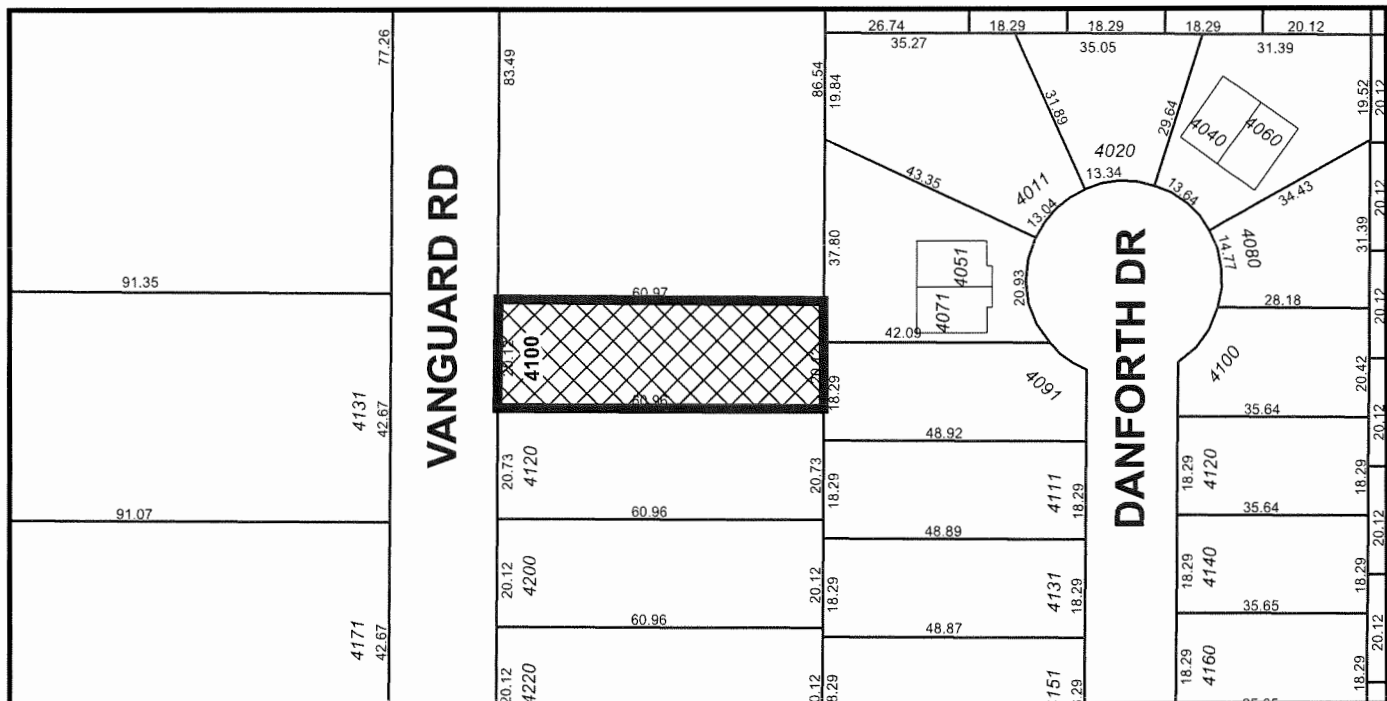
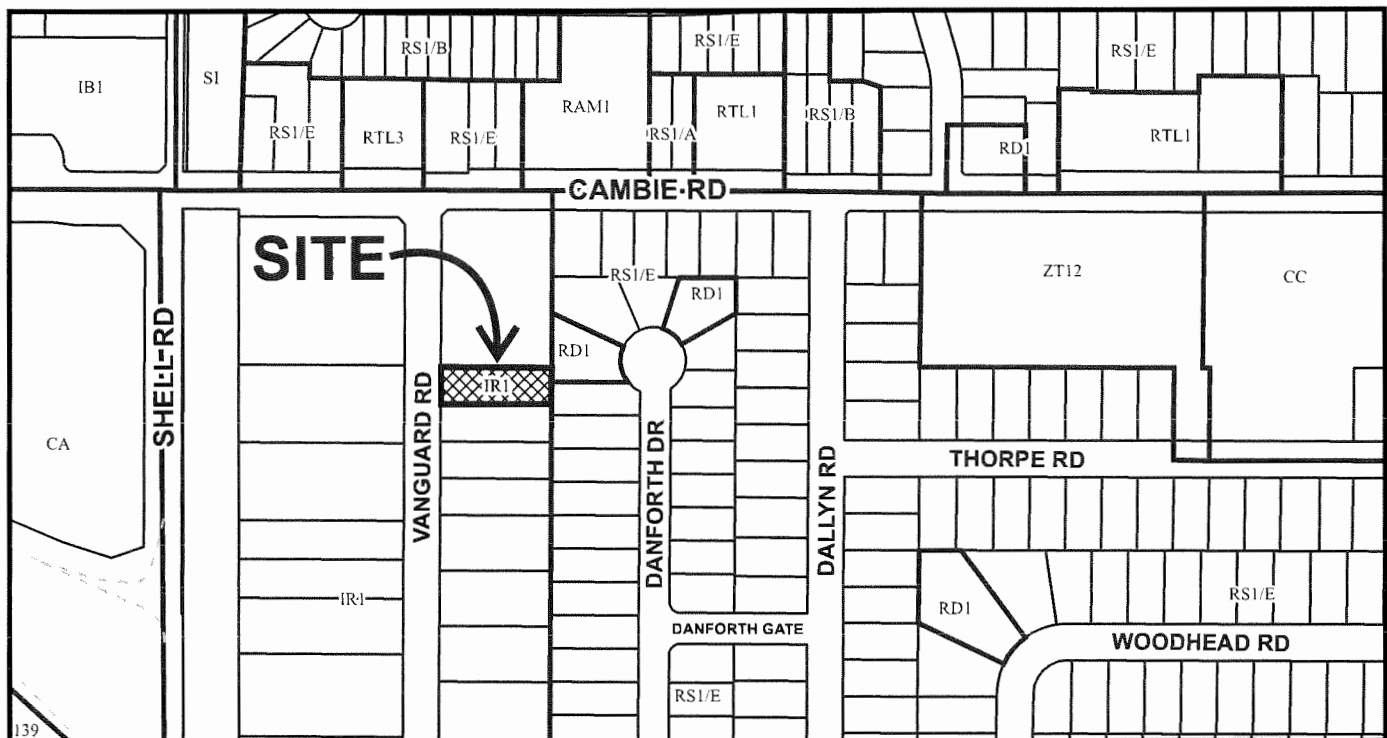
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-826280 SCHEDULE "A"

Original Date: 07/03/18

Revision Date:

Note: Dimensions are in METRES



NO.

DATE

DESCRIPTION

REVISIONS

NO.

DATE

DESCRIPTION

4A

JAN 22, 2020

DP 05 COORDINATION

4

NOV 28, 2019

DP 04 COORDINATION

3A

AUG 15, 2019

DP 03 COORDINATION

2

APR 01, 2019

DP 02

1

MAR 12, 2019

SCHEMATIC DESIGN

NO.

DATE

DESCRIPTION

ISSUE:

GA

GRADUAL

ARCHITECTURE

I · N · C

1. 604.733.7179

2. 604.222.0198

3. info@gradualarchitecture.com

4. 2/F - 1892 West Broadway, Vancouver, BC, Canada. V6J 1Y9

5. www.gradualarchitecture.com

SEAL:

PROJECT

VANGAURD INDUSTRIAL BLDG

4100 VANGAURD ROAD, RICHMOND, BC

DRAWN BY:

NJ

ISSUE #

4A

SCALE:

AS SHOWN

PROJECT NO:

GA-G 122

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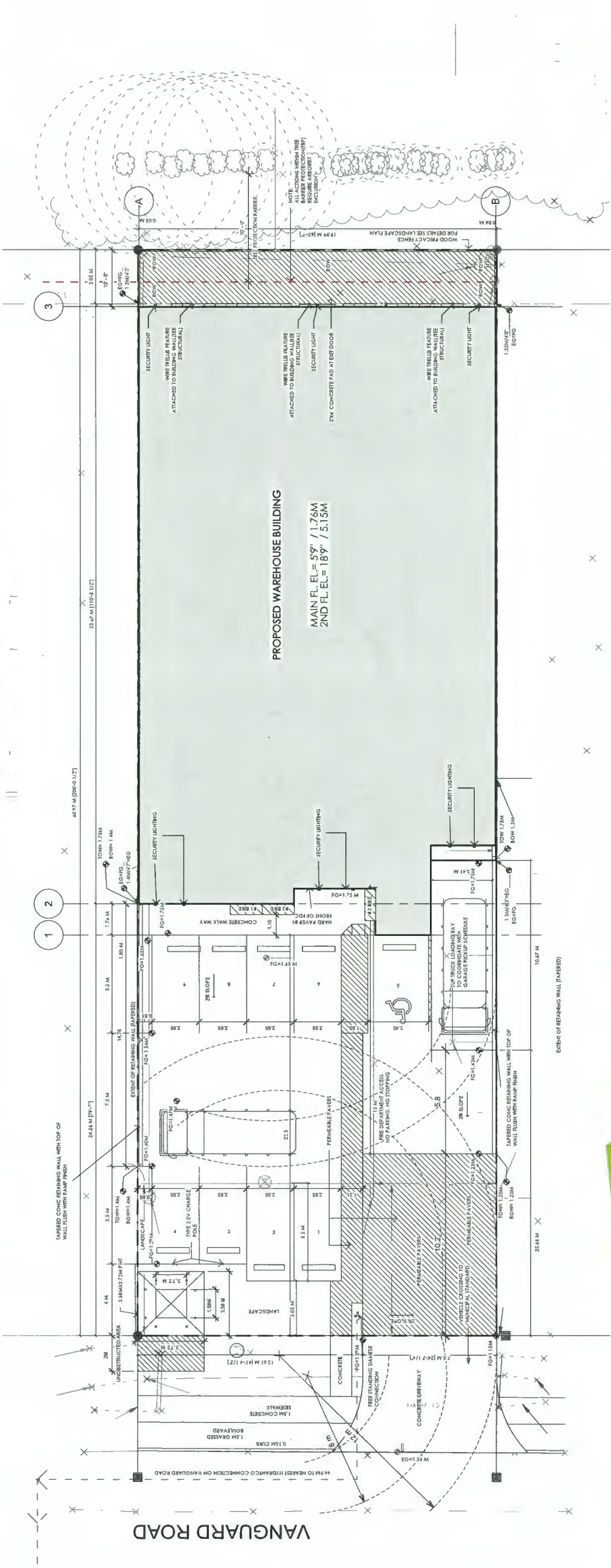
SITE PLAN

SITE ANALYSIS

REVISION NO:

SHEET NO:

A1.0



1 SITE PLAN
3/32" = 1'-0"



3 VICINITY PLAN
1/64" = 1'-0"

CIVIC ADDRESS	4100 VANGAURD RD., RICHMOND, BC
LEGAL DESCRIPTION	PLAN OF LOT 1A SEC 26, B.L.S. N.R.C.E.A. MND DIST PN 19726 PID: 017 924 060
ZONING	R1
LOT AREA	33114.4 SF 1,225.8 m ² 0.12258 HA
FRONT YARD (W)	PERMITTED
SIDE YARD (W)	9'7"
REAR YARD (E)	7'
FLOOR AREA	33114.4
BUILDING HEIGHT	39'3"
AREA BREAKDOWN	WAREHOUSE (W) 2,098 2ND FL OFFICE (E) 2,844 UTILITY (KITCHENISH) 944 NET PROPOSED (E) 5,660

PARKING COUNT	SF	SM
PROPOSED FOR	9485 SF	899.7 SM
PARKING RATE	REQUIRED	
11100 SM	9.0 STALLS	
PARKING	REQUIRED	PROPOSED
STALLS	8	8
REGULAR	8 STALLS	8 STALLS
HYC	1	1
TOTAL	9	9

BREEZING	SF	SM
PROPOSED FOR	9485 SF	899.7 SM
PER 100 SM	CLASS 1	CLASS 2
REQUIRED	0.27 STALLS	0.27 STALLS
PROPOSED	2.43	3 STALLS

ESTIMATED GARBAGE & RECYCLING SPACE REQUIREMENT	SF
WASTE STREAM	
300L BIN MIXED GARBAGE	6
300L BIN MIXED TRAWING	4.43
3 YARD GARBAGE BIN	21
3 YARD CARBOARD BIN	21
SUBTOTAL	59 SF
REGD SPACE	132 SF
PROD SPACE	78 SF



Plan 1

MAR 02 2020

DP

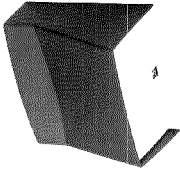
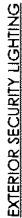
18-826280

LEGEND:

☒ SECURITY LIGHTING

NOTE

HIGH EFFICIENCY LED LIGHTING FIXTURES (EXTERIOR AND INTERIOR) WILL BE IMPLEMENTED THROUGHOUT THE PROJECT.



NOTE: LIGHTS SHED DOWNWARDS

NO.	DATE	DESCRIPTION
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REVISIONS

4A	JAN 22, 2020	DP 05 COORDINATION
4	NOV 28, 2019	DP 04 COORDINATION
3A	AUG 15, 2019	DP 03 COORDINATION
2	APR 01, 2019	DP 02
1	MAR 12, 2019	SCHEMATIC DESIGN

NO.	DATE	DESCRIPTION
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ISSUE:



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BC, Canada. V6J 1Y9
www.gradualarchitecture.com

SEAL:

PROJECT

VANGAURD
INDUSTRIAL BLDG

4100 VANGAURD ROAD,
RICHMOND, BC

DRAWN BY: NJ	ISSUE # 4A
SCALE: AS SHOWN	PROJECT NO: GA-G 122

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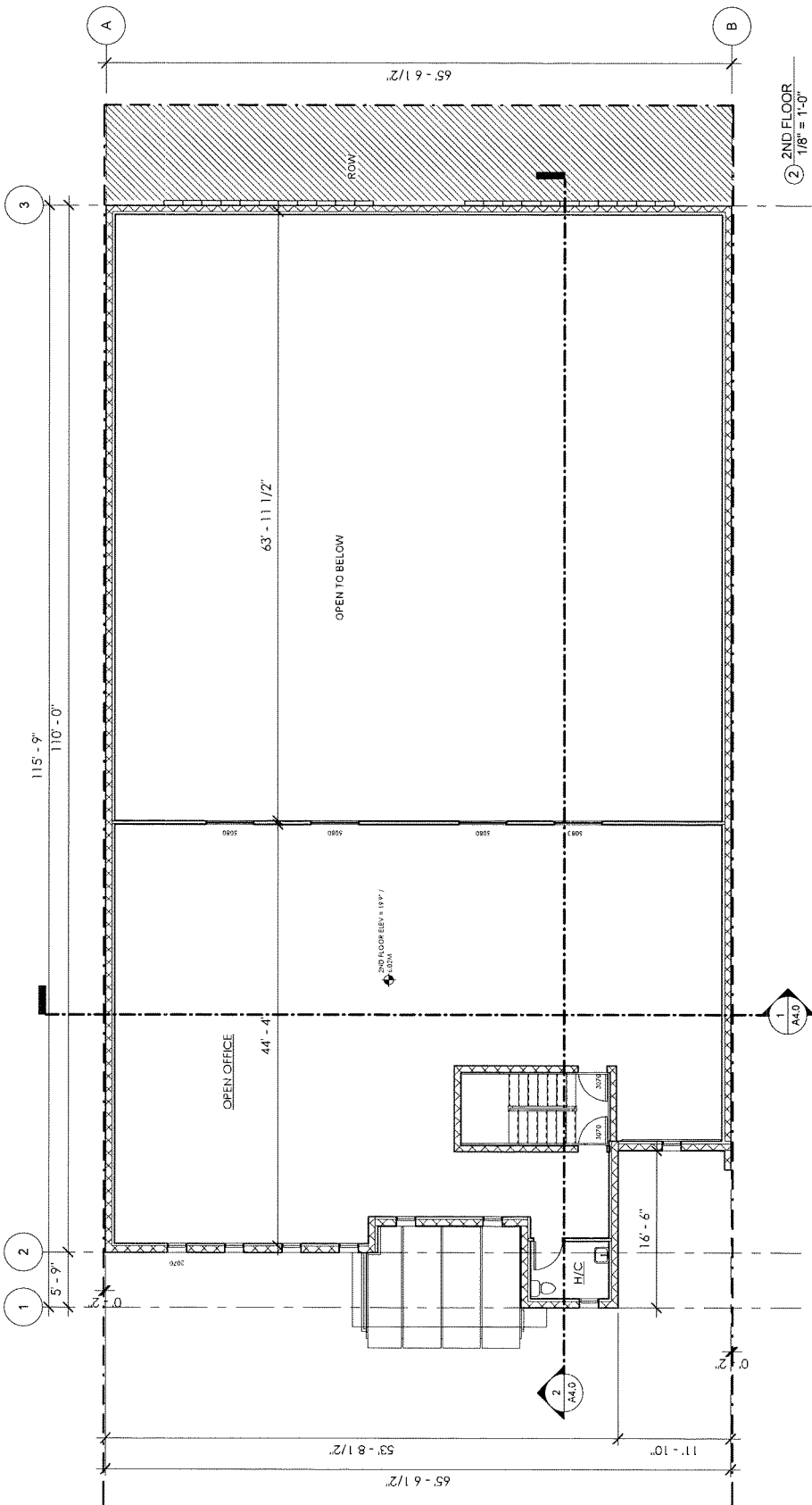
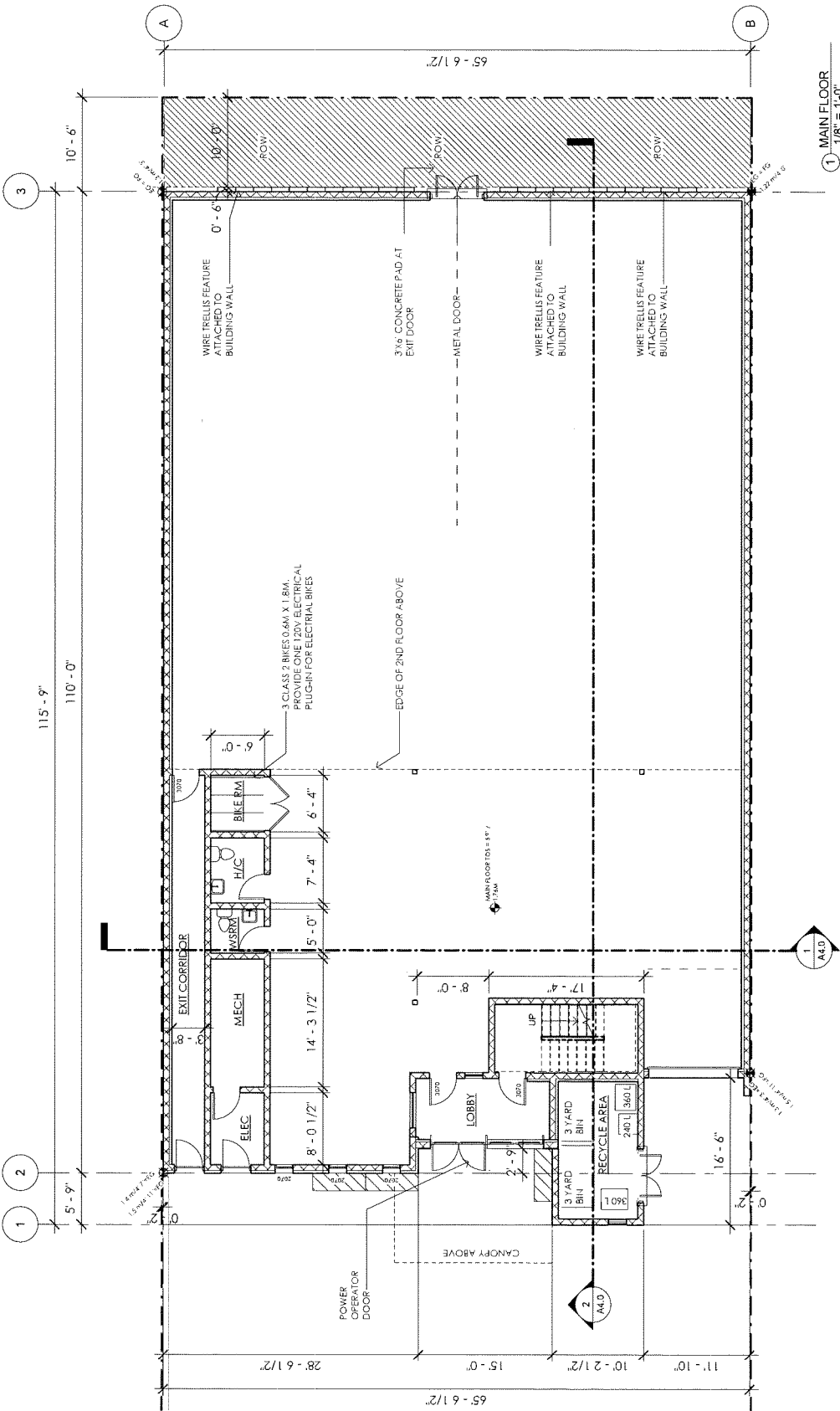
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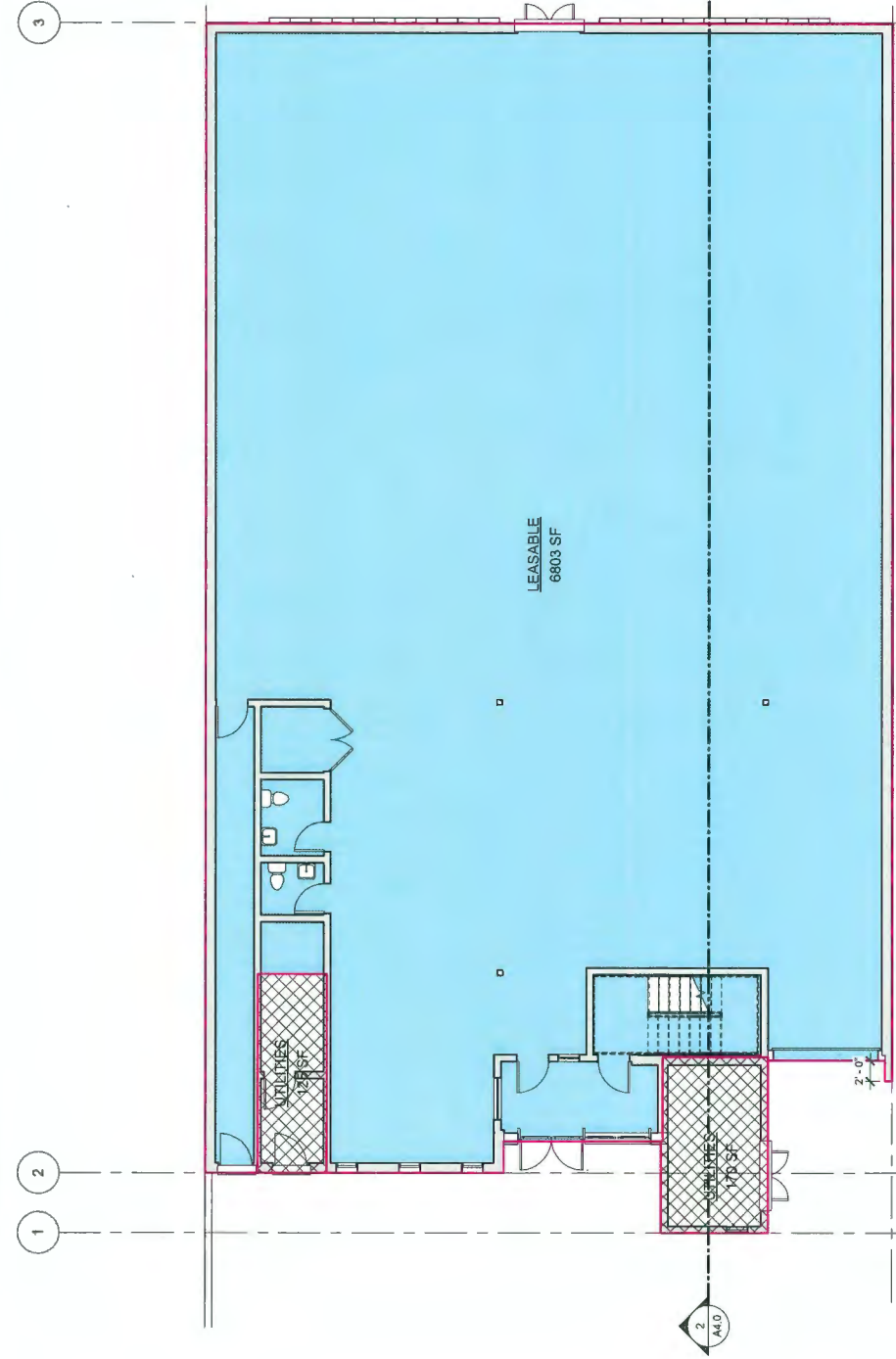
MAIN & TOP
FLOOR

REVISION NO: SHEET NO: A2.0

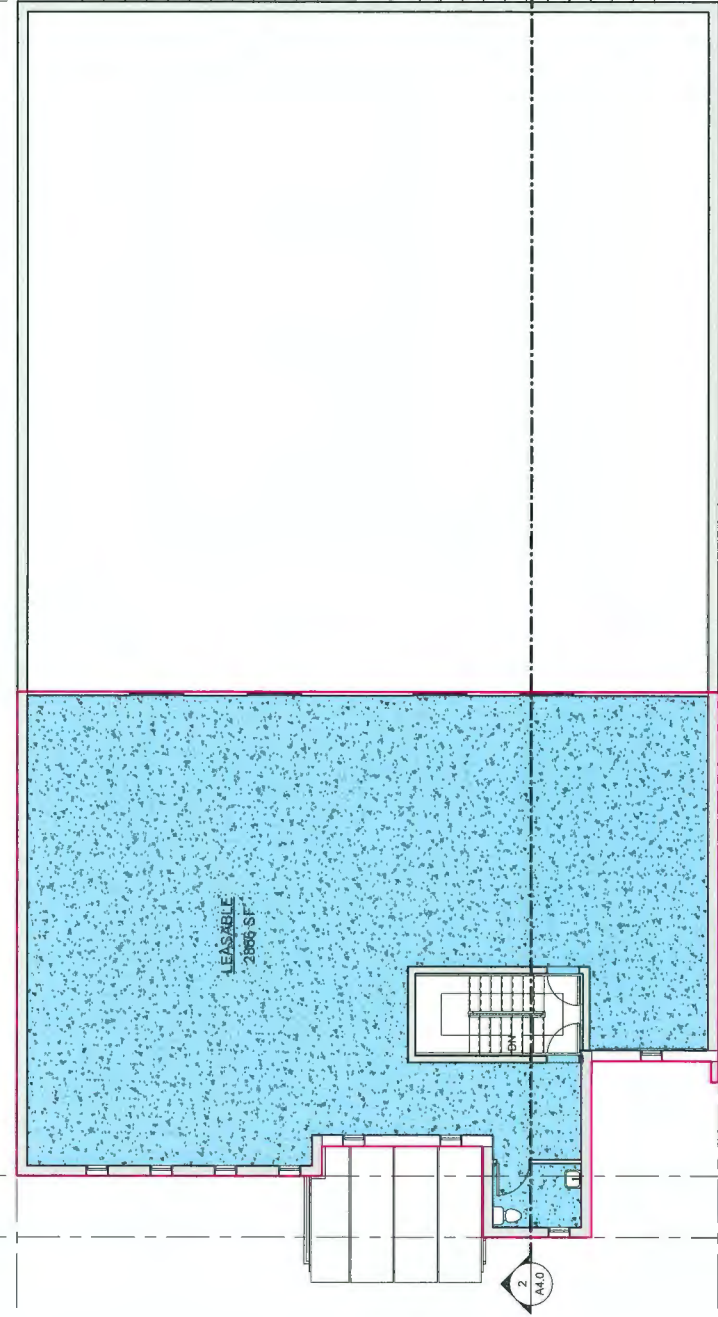
PLAN 2

DP 18-0026280





① MAIN FLOOR
1/8" = 1'-0"



② 2ND FLOOR
1/8" = 1'-0"

PLAN 3 MAR 02 2020

DP 18-826280

NO.	DATE	DESCRIPTION
1	JAN 22, 2020	DP 05 COORDINATION
2	NOV 28, 2019	DP 04 COORDINATION
3	AUG 15, 2019	DP 03 COORDINATION
4	APR 01, 2019	DP 02
5	MAR 12, 2019	SCHEMATIC DESIGN

REVISIONS

NO.	DATE	DESCRIPTION
4A	JAN 22, 2020	DP 05 COORDINATION
4	NOV 28, 2019	DP 04 COORDINATION
3A	AUG 15, 2019	DP 03 COORDINATION
2	APR 01, 2019	DP 02
1	MAR 12, 2019	SCHEMATIC DESIGN

ISSUE:



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www.gradualarchitecture.com

SEAL:

PROJECT

VANGAURD
INDUSTRIAL BLDG

4100 VANGAURD ROAD,
RICHMOND, BC

DRAWN BY:	ISSUE #
NJ	4A
SCALE:	PROJECT NO:
AS SHOWN	GA-G 122

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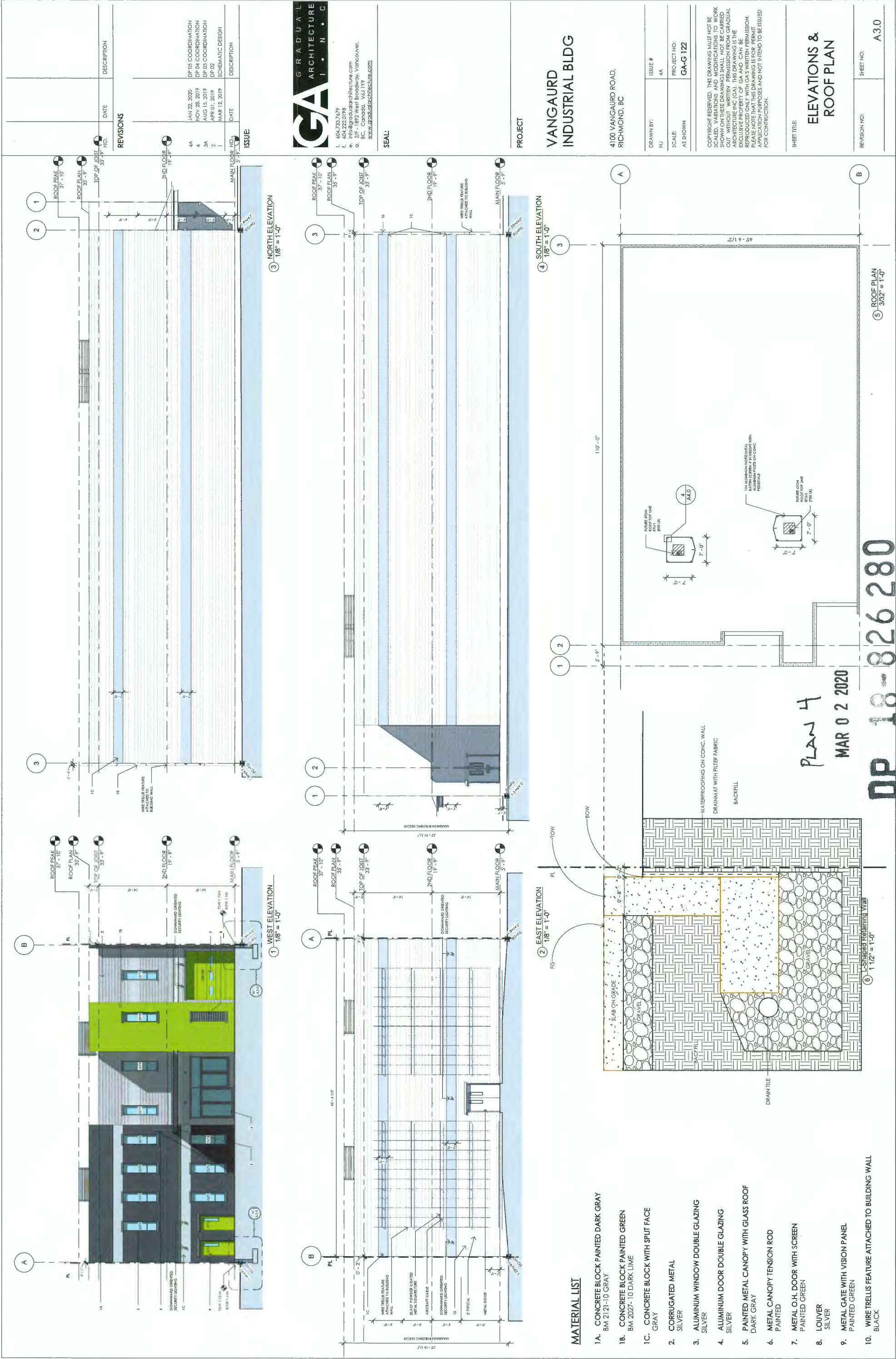
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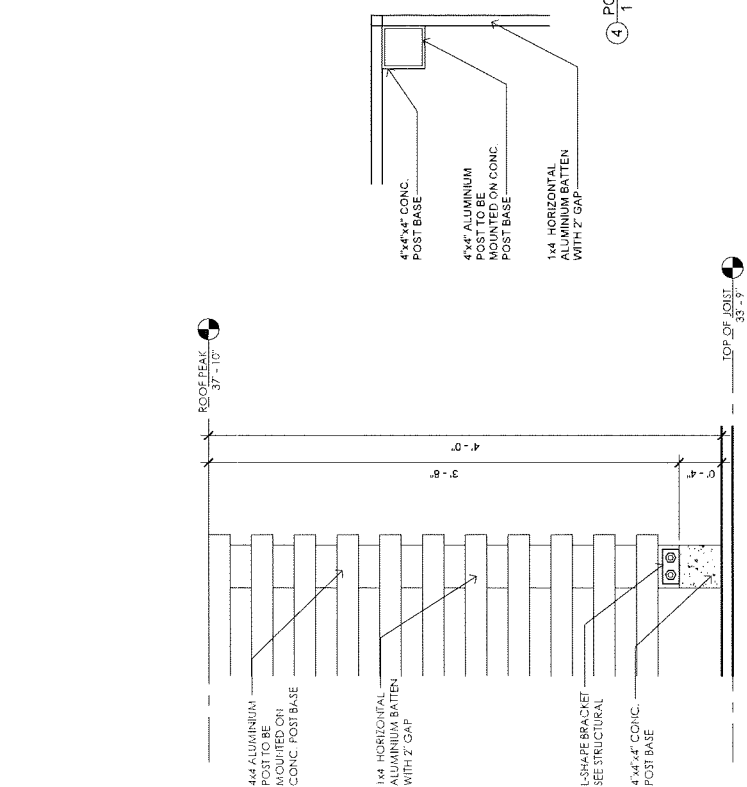
AREA PLAN

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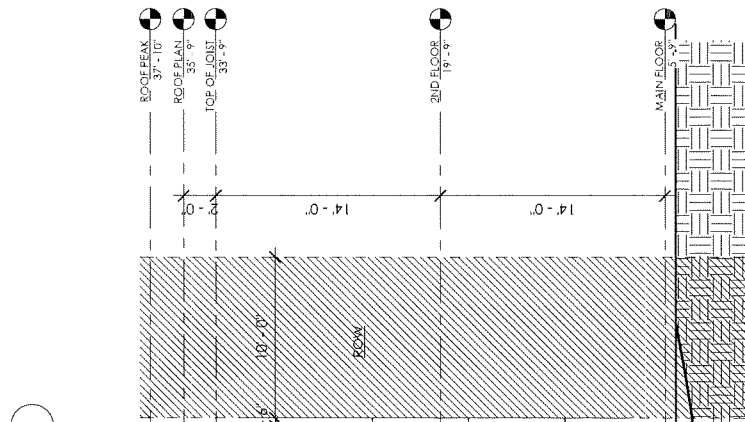
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③ POST SECTION VIEW
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NO.	DATE	DESCRIPTION
4A	JAN 22, 2020	DP 05 COORDINATION
4	NOV 28, 2019	DP 04 COORDINATION
3A	AUG 15, 2019	DP 03 COORDINATION
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ISSUE:



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SEAL:

PROJECT

VANGAURD
INDUSTRIAL BLDG

4100 VANGAURD ROAD,
RICHMOND, BC

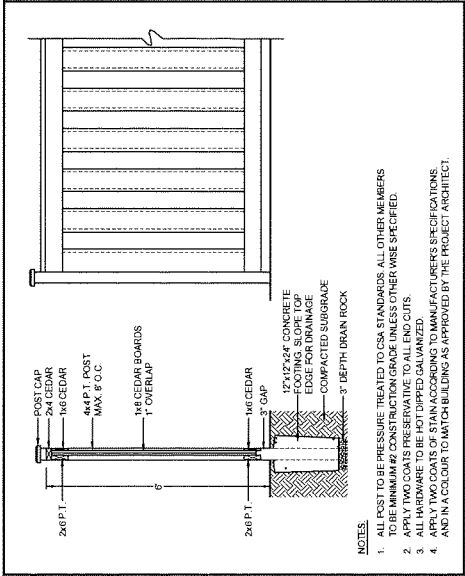
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SCALE: AS SHOWN	PROJECT NO: GA-G 122

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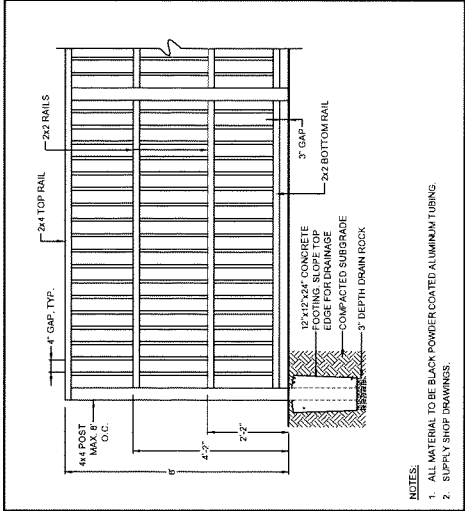
BUILDING
SECTIONS

REVISION NO:	SHEET NO:
	A4.0



- NOTES:
1. ALL POST TO BE PRESSURE TREATED TO CSA STANDARDS. ALL OTHER MEMBERS TO BE MINIMUM #2 CONSTRUCTION GRADE UNLESS OTHER WISE SPECIFIED.
 2. ALL HARDWARE TO BE HOT DIPPED GALVANIZED.
 3. ALL HARDWARE TO BE STAIN ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 4. APPLY TWO COATS OF STAIN ACCORDING TO MANUFACTURER'S SPECIFICATIONS, AND IN A COLOUR TO MATCH BUILDING AS APPROVED BY THE PROJECT ARCHITECT.

1 6' HT. SOLID WOOD FENCE
1/2\"/>



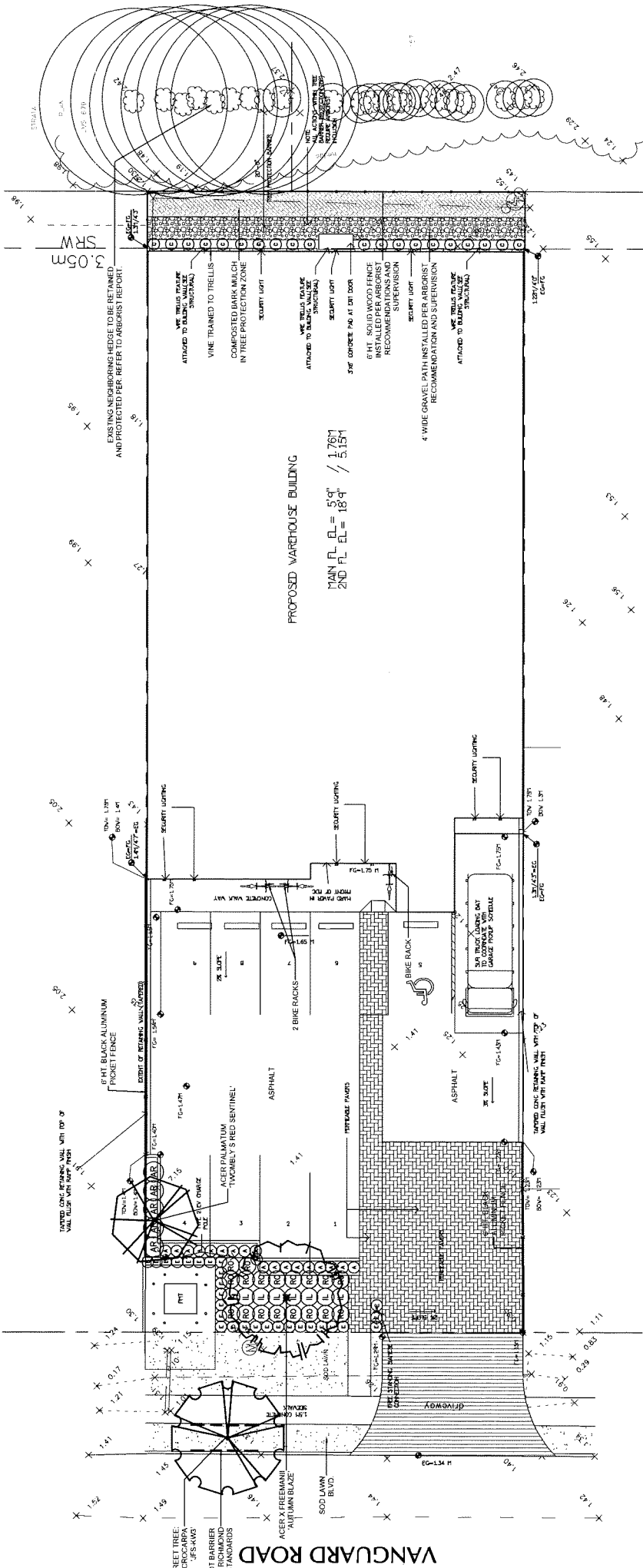
- NOTES:
1. ALL MATERIAL TO BE BLACK POWDER COATED ALUMINIUM TUBING.
 2. SUPPLY SHOP DRAWINGS.

2 6' HT. ALUMINIUM PICKET FENCE
1/2\"/>

PLANT SCHEDULE			PMG PROJECT NUMBER: 18-114	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
1	1	ACER PALMATUM 'TICOMBI'S RED SENTINEL'	COLUMBIAN RED JAPANESE MAPLE	8CM CAL: 1.8M STD: 840
2	1	ACER X FREEMANI 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	8CM CAL: 1.8M STD: 840
3	1	QUERCUS MACROCARPA 'JFS-KW3'	URBAN PINNACLE OAK	8CM CAL: 1.8M STD: 840
4	5	ABUTILON UNICO COMPACTA	COMPACT STRAWBERRY BUSH	#2 POT: 80CM
5	4	ROSA RUBRA	ROSA	#2 POT: 80CM
6	18	ROSA RUBRA	RUSCOSA ROSE MAGENTA	#2 POT: 40CM
7	20	PARTINOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#2 POT: 60CM STAKED
8	10	ARCTOSTAPHYLOS UVA-URS 'VANCOUVER JADE'	KINKY KINKY	#1 POT: 20CM
9	28	ERICA CARNEA 'SPRINGWOOD WHITE'	WINTER HEATH WHITE	#1 POT

NOTES: - PLANT SIZE IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. - PLANT SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. - SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. - UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF THE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. - SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. - ALL LANDSCAPE MATERIAL AND PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED PROPAGATORIES. - SUBSTITUTIONS NOT PERMITTED TO GROWING MEDIUM VALUES AUTHORIZED BY LANDSCAPE ARCHITECT.

NOTE: - ALL SOFT LANDSCAPE AREAS TO BE AUTOMATICALLY IRRIGATED WITH HIGH EFFICIENCY DESIGN BUILD IRRIGATION SYSTEM TO ILLAB.C. STANDARDS TO BE PROVIDED.



PROJECT:
VANGUARD INDUSTRIAL BUILDING
4100 VANGUARD ROAD
RICHMOND, BC

DRAWING TITLE:
LANDSCAPE PLAN

DATE: 18 JUN 25
SCALE: 1\"/>

L1

OF 1

PMG PROJECT NUMBER: 18-114



2PM, MARCH 21



2PM, JUNE 21



2PM, SEPTEMBER 21



2PM, DECEMBER 21

REFERENCE PLAN



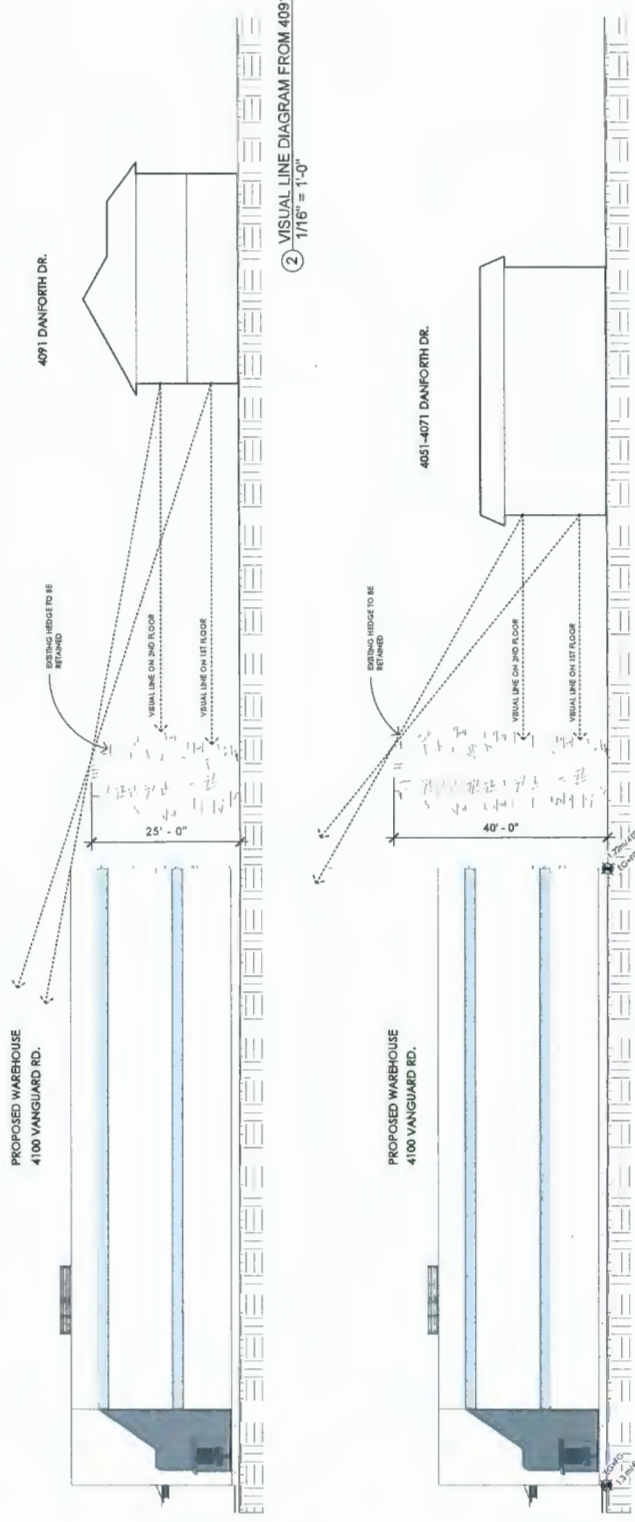
① NEIGHBOURHOOD DIAGRAM
 $\frac{1}{16}'' = 1'-0''$

REFERENCE PLAN

DRAWN BY: NJ	ISSUE # 4A
SCALE: AS SHOWN	PROJECT NO: GA-G 122

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SHEET TITLE:	NEIGHBOURHOOD DIAGRAMS	REVISION NO:	SHEET NO:	A1.2
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③ VISUAL LINE DIAGRAM FROM 4071-4051
1/16" = 1'-0"



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 6, 2020

From: Wayne Craig
Director, Development

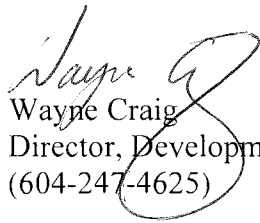
File: DP 18-829204

Re: **Application by Fougere Architecture Inc. for a Development Permit at
9391, 9393 and 9411 No. 2 Road**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 11 townhouse units at 9391, 9393 and 9411 No. 2 Road on a site zoned "Medium Density Townhouses (RTM2); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the front yard setback from 6.0 m to 5.05 m; and
 - b) Increase the allowable small car parking spaces from 0 to 20% (5 spaces).



Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 3

Staff Report

Origin

Fougere Architecture Inc. has applied to the City of Richmond for permission to develop 11 townhouse units and one secondary suite at 9391, 9393 and 9411 No. 2 Road. The site is being rezoned from “Single Detached (RS1/E)” and “Two-Unit Dwellings (RD1)” to “Medium Density Townhouses (RTM2)” for this project under Bylaw 10001 (RZ 17-785742), which received third reading at the Public Hearing on April 15, 2019. The site currently contains a single-family dwelling and a duplex, which would be demolished.

A Servicing Agreement is required as a condition of final adoption of the rezoning bylaw and includes, but is not limited to, the following off-site improvements:

- New concrete sidewalk and landscaped boulevard along the No. 2 Road frontage.
- Upgrade of existing northbound bus stop on No. 2 Road to provide concrete bus pad and pre-ducting for bus shelter electrical connections.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development immediately surrounding the subject site is as follows:

- To the North: A single-family dwelling on a lot zoned “Single Detached (RS1/E).”
- To the East, across No. 2 Road: Duplex dwellings on lots zoned “Two-Unit Dwellings (RD1)” and a single-family dwelling on a lot zoned “Single Detached (RS1/E).”
- To the South: A single-storey commercial building on a lot zoned “Neighbourhood Commercial (CN).”
- To the West: Single-family dwellings on lots zoned “Single Detached (RS1/B).”

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 15, 2019. Staff received no public correspondence in response to the Public Hearing notice, and there were no submissions from the floor.

Staff Comments

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Refinement of the proposed site grading and building foundations to ensure survival of all trees to be retained, provide an appropriate transition between the development site and the public sidewalk, and provide an appropriate transition to adjacent properties.
- Review of the size and species of on-site replacement trees to achieve an acceptable mix of coniferous and deciduous species.
- Refinement of the proposed shared outdoor amenity area, including choice of play equipment, to create a safe and vibrant environment for children's play and social interaction.
- Review of accessibility features and aging-in-place design of the proposed development.
- Review of a sustainability strategy for the proposed development.

Staff worked with the applicant to address these issues in the following ways:

- Retaining walls on the north, west and south perimeter of the site have been modified to avoid conflict with retained trees and maintain existing site grade at the corners of the site. In addition, the yards of the rear units have been stepped down to create a terracing effect, reducing the height of the proposed retaining walls.
- Increased the number of proposed replacement trees from 15 to 17, in addition to the 11 on-site trees to be retained.
- Increased the diversity of replacement tree species, which now includes two deciduous and two coniferous varieties.
- Redesign of the shared outdoor amenity area to include a variety of play equipment, while maintaining both formal and informal play spaces.
- Provision of a convertible unit in Building 4, and inclusion of aging-in-place features for all units in the proposed development.
- Review of an energy report provided by the applicant's civil consultant, which confirms the proposed development will meet the EnerGuide-82 requirement agreed upon at rezoning.
- Details of these issues and other features are discussed in the Analysis section of this report.

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Medium Density Townhouses (RTM)" zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in ***bold italics***)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the front yard setback from 6.0 m to 5.05 m.

Staff are supportive of the proposed variance for the following reasons:

- *The Arterial Road Guidelines for Townhouses in the OCP support a reduced front yard setback where a larger rear yard is provided, on the condition that there is an appropriate interface with neighbouring properties. The proposal includes a 6 m landscaped rear yard setback with a privacy screen at the property line.*
- *The building setback varies across the site frontage, including a setback of 5.05 m for four of the units, 5.51 m for two of the units and 6.57 m for the seventh unit. The minimum setback to the back of curb is 8.05 m.*
- *The applicant has provided an acoustic report demonstrating that the proposed units fronting No. 2 Road will meet the CMHC noise thresholds in the OCP.*

2) Increase the allowable small car parking spaces from 0 to 20% (5 spaces).

Staff are supportive of the proposed variance as it enables the required resident parking spaces to be provided within the garages of all two-storey units in a side-by-side arrangement. The Zoning Bylaw currently permits up to 50% small parking stalls for on-site parking areas which contain 31 or more spaces.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal on January 22, 2020 and supported the application subject to consideration of the Panel's comments. A copy of the relevant excerpt from the ADP Minutes is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

Conditions of Adjacency

- The subject site abuts single-family dwellings to the west and north, and a commercial property to the south. These interfaces have informed the height and massing of the proposal.
- Units at the rear take the form of two-storey duplexes, which provide a gradual transition to the single-family neighbourhood to the west of the subject site. The proposed buildings are set back 6.02 m from the rear property line.
- Units fronting No. 2 Road are three-storeys, with the exception of the northernmost unit which is two storeys. This provides a sensitive interface with the adjacent single-family dwelling in the interim, and a varied building height along No. 2 Road in the long term as adjacent properties redevelop.
- Portions of the subject site will be raised with fill to achieve the required Flood Construction Level. Site grade along the west property line will be 1.79 m, requiring a retaining wall of between 0.10 to 0.66 m (0.3 to 2 ft.). Perimeter drainage will be required as part of the Building Permit to ensure storm water is managed appropriately.
- A stand of mature Western Red Cedars will be retained along the north property line, providing additional screening between the proposed development and the adjacent single-family dwelling.

Urban Design and Site Planning

- Vehicular access to the proposed development is from a single driveway from No. 2 Road located in the centre of the site. Units are arranged on a T-shaped drive aisle.
- A statutory right-of-way (SRW) allowing access through the site to future developments to the north has been secured through the rezoning application.
- The design of the drive aisle includes visual cues to both indicate future extension and mark the transition to future development sites, including contrasting paving treatments at each end, easily removable landscaping, and notification signage.
- Units fronting No. 2 Road will have direct pedestrian access from the street, and rear units will have access from the drive aisle.
- One secondary suite is proposed in Unit 1 and is accessed from the driveway entrance. The suite is 25 m² (269 ft²) and includes distinct kitchen, living, and bathroom areas. The size of the suite meets the minimum requirements contained in Richmond Zoning Bylaw 8500. Parking for the suite is located outside the building at the south end of the drive aisle.
- Each unit has two parking spaces in a garage, except for Unit 1 which has one unenclosed parking space and one parking space in a garage. All resident parking spaces, including the exterior parking space for the unit containing a secondary suite, are provided with energized outlets for EV charging as per Richmond Zoning Bylaw 8500. Vehicle parking for five of the three-storey units is proposed in a tandem arrangement, for a total of 10 parking spaces (50% of the required residential parking spaces), which is consistent with the maximum 50% contained in Richmond Zoning Bylaw 8500. A restrictive covenant to prohibit conversion of the tandem parking garage area into habitable space has been secured through the rezoning application.
- Three visitor parking spaces are provided at the ends of the drive aisle, including one van accessible parking space. The number of visitor and accessible parking spaces proposed is consistent with Richmond Zoning Bylaw 8500.
- Class 1 bicycle parking is provided in the garage of each unit. Class 2 bicycle parking is provided in bike racks located in the common outdoor amenity area.
- The common outdoor amenity area is located centrally at the “T”-intersection, which provides an attractive view through the site and allows for casual surveillance from adjacent units and the site entry. The size of the proposed amenity area exceeds the minimum size described in the Official Community Plan (OCP).
- Cash-in-lieu of indoor amenity space was secured through the rezoning application consistent with OCP policy.
- A covered mail kiosk has been incorporated into Building 1, and is located adjacent to the site entrance.
- Door-to-door service is proposed for waste and recycling collection. Sufficient space for storage bins is provided in the garage of each unit.

Architectural Form and Character

- The applicant has taken inspiration from the “modern farmhouse” and “brownstone” architectural styles in order to blend in with the surrounding residential character.
- A simple three-tone colour palette is applied to each building. Red brick cladding provides a strong visual base to the front elevations, while white board and batten is used on the upper storeys. Black accents provide visual interest and contrast.

- Street fronting units include a steep gabled roof with projecting dormers, reducing the appearance of the third storey. Variety in unit setbacks from No. 2 Road provides articulation and an informal street wall.
- Buildings along the rear of the site have a combination of hip and gabled roofs, and more closely resemble the single-family residential character.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage, where 11 on-site trees were identified to be retained and protected, and 16 on-site trees were identified for removal due to poor health or unavoidable conflict with the proposed development. The applicant agreed to plant 15 replacement trees, however the proposal has been revised to include 17 replacement trees.
- Tree retention measures secured through the rezoning application include a \$110,000 survival security and submission of a contract with a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of trees to be retained, including a post-construction assessment report to be submitted to the City.
- Two trees on neighbouring properties are to be retained and protected. The proposed retaining wall has been modified to remove conflicts with the critical root zone of each tree.
- The proposal provides a pedestrian-oriented streetscape along No. 2 Road, including landscaped front yards for each unit, decorative fencing, and new trees.
- Private outdoor space is provided for each unit in the form of a landscaped area with patio on the ground floor. Units fronting No. 2 Road have an additional outdoor space in the form of a balcony off of the second floor living area.
- A children's play area is proposed in the common outdoor amenity area, and includes a play house, sand box, stepping stumps, and seating area. A hose bib is provided next to the sand box for cleanliness.
- The vehicle entrance, intersection, and visitor parking stalls will be treated with permeable pavers for better water infiltration and a variety in paving surfaces.
- A concrete sidewalk is provided as part of the drive aisle to clearly indicate pedestrian circulation and provide contrast to the asphalt drive aisle.
- Automatic irrigation is provided for all planted areas.
- To ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Security in the amount of \$188,948 prior to issuance of the Development Permit.
- A \$17,600 contribution towards the development of City facilities in lieu of providing indoor amenity space was secured through the rezoning application.

Crime Prevention Through Environmental Design

- Low permeable fencing and low landscaping are provided in the front yard to distinguish public and private space while allowing for casual surveillance of the sidewalk.
- New 2.0 m (6.5 ft.) fencing is proposed at the end of each drive aisle to provide privacy and screen headlight glare. Fencing around the perimeter of the site is between 1.2 m and 1.8 m (4 ft. and 6 ft.) depending on the height of the retaining wall, so as to provide a visually consistent fence height.

Sustainability

- The proposed development meets the requirements to be grandfathered from the BC Energy Step Code, and is required to meet or exceed EnerGuide-82 targets. The applicant has provided a report from a Certified Energy Advisor indicating that the proposed development meets this requirement.
- Sustainability initiatives include ground source heat pumps, increased air tightness, and pre-ducting for solar hot water.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require installation of a stair lift in each stairway.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails.
 - Lever-type handles for plumbing fixtures and door handles.
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

The list of Development Permit Considerations is included in Attachment 3, which has been agreed to by the applicant (signed concurrence on file).



Jordan Rockerbie
Planner 1
(604-276-4092)

JR:blg

Attachments:

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Advisory Design Panel Minutes

Attachment 3: Development Permit Considerations



DP 18-829204

Attachment 1

Address: 9391, 9393, and 9411 No. 2 Road

Applicant: Fougere Architecture Inc.

Owner: Citimark No. 2 Road Project Inc.

Planning Area(s): Blundell

Floor Area Gross: 2,111 m²

Floor Area Net: 1,489 m²

	Existing	Proposed
Site Area:	2,297 m ²	2,290 m ²
Land Uses:	Single-family and duplex dwellings	Townhouses
OCP Designation:	Neighbourhood Residential	No change
Zoning:	Single Detached (RS1/E) Two-Unit Dwellings (RD1)	Medium Density Townhouses (RTM2)
Number of Units:	One single-family dwelling and one duplex dwelling, i.e. 3 units	11 townhouse dwellings and one secondary suite

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65 FAR	0.65 FAR	None permitted
Lot Coverage – Buildings:	Max. 40%	39.7%	None
Lot Coverage – Non-Porous:	Max. 65%	60.5%	None
Lot Coverage – Live Landscape:	Min. 25%	25%	None
Setback – Front Yard (East):	Min. 6.0 m	5.05 m	Vary by 0.95 m
Setback – Side Yard (North):	Min. 3.0 m	3.02 m	None
Setback – Side Yard (South):	Min. 3.0 m	3.31 m	None
Setback – Rear Yard (West):	Min. 3.0 m	6.02 m	None
Height (m):	Max. 12.0 m	10.4 m	None
Lot Size:	None	2,290 m ²	None
Off-street Parking Spaces – Resident (R) / Visitor (V):	22 (R) and 3 (V)	22 (R) and 3 (V)	None
Small Car Parking Spaces:	None where fewer than 31 spaces are provided on site	5 (20%)	Vary to allow 5 small car stalls
Accessible Parking Spaces:	1	1	None

Total off-street Spaces:	25	25	None
Tandem Parking Spaces	Max. 50% of required resident spaces	10 spaces (i.e. 45%)	None
Amenity Space – Indoor:	Min. 70 m ² or cash-in-lieu	Cash-in-lieu	None
Amenity Space – Outdoor:	Min. 6 m ² per unit	73.4 m ² (i.e. 6.7 m ² per unit)	None

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, January 22, 2020 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

1. **DP 18-829204 – 11-UNIT ARTERIAL ROAD TOWNHOUSE DEVELOPMENT**

ARCHITECT: Fougere Architecture Inc.
LANDSCAPE ARCHITECT: van der Zalm + Associates
PROPERTY LOCATION: 9391, 9393 and 9411 No. 2 Road

Applicant's Presentation

Wayne Fougere, Fougere Architecture Inc., and Travis Martin, van der Zalm + Associates, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from Panel members were as follows:

- support the provision of aging-in-place features for the townhouse units and an accessible visitor parking space for the proposed development;

Noted

- appreciate the provision of a convertible unit in the proposed development; however, a resident in a wheelchair or using a walker cannot move up from the garage to the upper floors in a chairlift due to inadequate manoeuvring space in the entry; most importantly, separate mobility equipment is required on each floor; the applicant is encouraged to provide adequate space for future installation of a vertical lift in future developments;

We provide enough space in the entry for a wheelchair turning space (with a diameter of 1.5m). We are aware of the limitations of chairlifts and have previously considered moving the convertible unit to one of the 2 storey units. However, these units don't have an accessible outdoor space, which is why they were ruled out as adequate convertible units.

The design follows the "Convertible Unit Guidelines for Townhouses".

- programming of the outdoor amenity area complements the public spaces and amenities in the neighbourhood;

Noted

- the proposed location of the outdoor amenity area between Building 2 and Building 3 would result in a shaded outdoor amenity area; consider introducing changes to building materials for buildings adjacent to the outdoor amenity area and reviewing the proposed landscaping including the plant palette in order to make the outdoor amenity area more inviting and provide seasonal interest;

We explored options to change the dark siding on the ground floor to white. Since the exterior walls are straight, without any bays, there is no natural stopping point (like an interior corner) which means the white colour will need to continue to the rear elevation. This results in an all-white elevation, facing our rear neighbour, which looks quite monolithic has less architectural articulation than the original two tone elevation.

A shadow analysis in our 3D model showed direct sun exposure during the summer month throughout the day for parts of the area and prolonged exposure during the morning and evening hours throughout the year. Therefore we believe there will be adequate light in the amenity area and would like to keep the original design.

We hope that a revised planting schedule for this area can help alleviate the concerns. See planting comments below.

- review the proposed materials for the fence in the front yard of townhouse buildings facing No. 2 Road to better address the streetscape and the public realm rather than just complementing the architecture of the buildings;

The proposed fence design is inspired by the 'contemporary farmhouse' homes. This is a complementary attractive fence design that offers variety to the City of Richmond housing scene. The use of brick pillars and wood provide an integrated and durable landscape solution.

- appreciate the detailed energy report provided by the applicant;

Noted

- from a sustainability point of view, the proposed ground source heat pumps would help the project achieve its energy requirements;

Noted

- breaking down the proposed development into four buildings fits well into the residential neighbourhood; appreciate how the three-storey buildings fronting No. 2 Road are visually broken down by introducing gabled roofs; however, the two two-storey buildings at the rear appear more bulky and less resolved, but screened from the street;

Noted

- the design objective to create a simple and straightforward building design has been achieved by the applicant;

Noted

- the proposed material and colour choices are well balanced; the use of brick, which is not commonly used for multi-family residential developments in the City, is appropriate;

Noted

- the proposed landscaping is appropriate and achieves the design objective of the project;

Noted

- appreciate the integration of quality elements in the project; and

Noted

- the west façades of the three-storey buildings facing the internal drive aisle appear monolithic, including the continuous railings of balconies on the second level running across two units.

We gave the rear elevations the same treatment and attention as the front units by wrapping the whole ground floor in brick (not just the front elevations, which is often done in these kind of developments). Additional details were added along the rear elevation in the forms of dividers between the balconies, which will feature a metal screen panel with a design similar to what is shown on the renderings.

The continuous railings for the balcony stem from the requirement of a minimum 6' deep private outdoor space facing the interior road.

- *The following comments submitted by Charan Sethi and Erik Mustonen were read into the record by Sara Badyal:*
- support the project as proposed;

Noted

- concerned about the outdoor amenity area which could potentially become crowded into a dark space between two buildings and screened with dense planting along the west side; note that *Ceanothus* could grow to approximately 2.5 meters in height;

The planting has been adjusted to remove cedar and ceanothus and provide smaller and brighter leafed plants, such as, feather reed grass, fire power heavenly bamboo, and lemon and lime privet. In addition, the privet is now providing the edge planting and can be maintained as a hedge in the size required by this space. These changes will brighten the space, and ensure it keeps an open feeling over the long-term.

- the potential gloomy outdoor amenity area could cause problems for the *Thuja Occidentalis* “Emerald” on the north wall of Building 3 which needs full sun to partial sun/shade and could grow to a height of 4 to 5 meters if not trimmed;

see comments above

- sand play areas should have more exposure to sun to help sanitize the sand and dry it faster;

The amenity has been expanded by 0.5 m to allow a larger planting zone before the fence. The stepped planting behind the sandbox including heavenly bamboo and blonde coloured feather reed grass behind, will provide a more open feeling and greater exposure to sun. The sand play items have been simplified to a table and hose bib to offer greater space within the sandbox and greater sun exposure.

- concerned about the dark, screened, and secluded space having a CPTED concern;

We don't agree with the sentiment that the amenity area is secluded as it is located at the center of the site and can be viewed from the interior road as well as the from passers-by on the side walk. Additional overlook is provided from the flanking rear units and the balconies and bedrooms of the front units.

As mentioned under comment #4, there will be direct sun exposure throughout the day.

- consider expanding the amenity area to the edge of the SRW to the west with only low shrubs planted on that side; and

The amenity area was expanded by 0.5m, see comment above (sand box comment)

- an engineered wood fiber would not be wheelchair-friendly surface for access to the play structures; consider installing an accessible path.

The concrete walkway has been expanded to provide accessible access to the sandbox edge and the play house.

Panel Decision

It was moved and seconded

That DP 18-829204 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 9391/9393/9411 No. 2 Road

File No.: DP 18-829204

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 10001.
2. Receipt of a Letter of Credit for landscaping based on the cost estimate provided by the Landscape Architect plus a 10% contingency, i.e. \$188,948. The Letter-of-Credit will not be returned until a Letter of Assurance prepared by the Landscape Architect confirming the landscaping has been installed as per the Development Permit is reviewed by staff.

Prior to Building Permit* Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site. Should the developer wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw and issuance of the Development Permit, the applicant will be required to obtain a Tree Removal Permit (Rezoning in Process – T3).
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of sustainability, energy efficiency, and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

At Building Permit* stage, the developer must complete the following requirements:

1. During construction, and before scheduling Insulation Inspection, submission of a written report on the blower-door test results by a Certified Energy Advisor to Building Approvals, in order to satisfy the proposed airtightness measures. Blower-door tests must be completed on a minimum of two units.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

Initial: _____

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 18-829204

To the Holder: FOUGERE ARCHITECTURE INC.
Property Address: 9391, 9393 AND 9411 NO. 2 ROAD
Address: 202 - 2425 QUEBEC STREET
VANCOUVER, BC V5T 4L6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the front yard setback from 6.0 m to 5.05 m; and
 - b) Increase the allowable small car parking spaces from 0 to 20% (5 spaces).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #25 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$188,948 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 18-829204

To the Holder: FOUGERE ARCHITECTURE INC.
Property Address: 9391, 9393 AND 9411 NO. 2 ROAD
Address: 202 - 2425 QUEBEC STREET
VANCOUVER, BC V5T 4L6

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

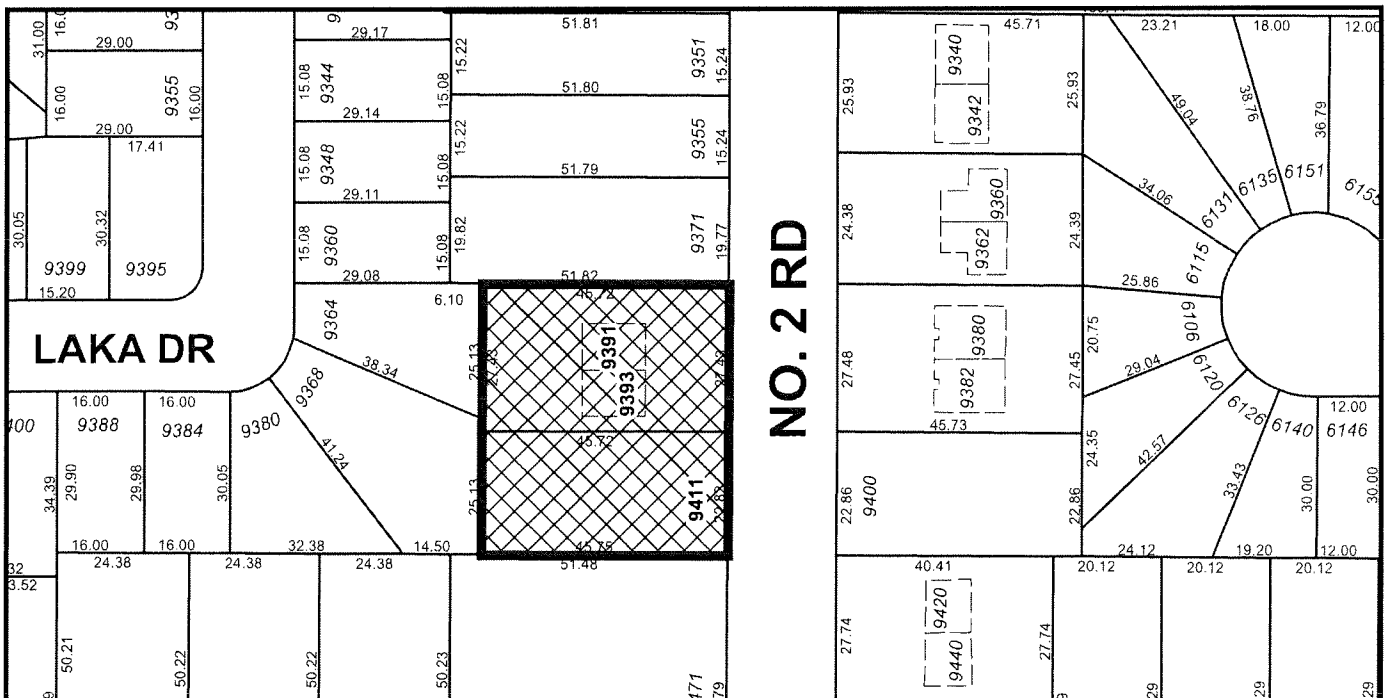
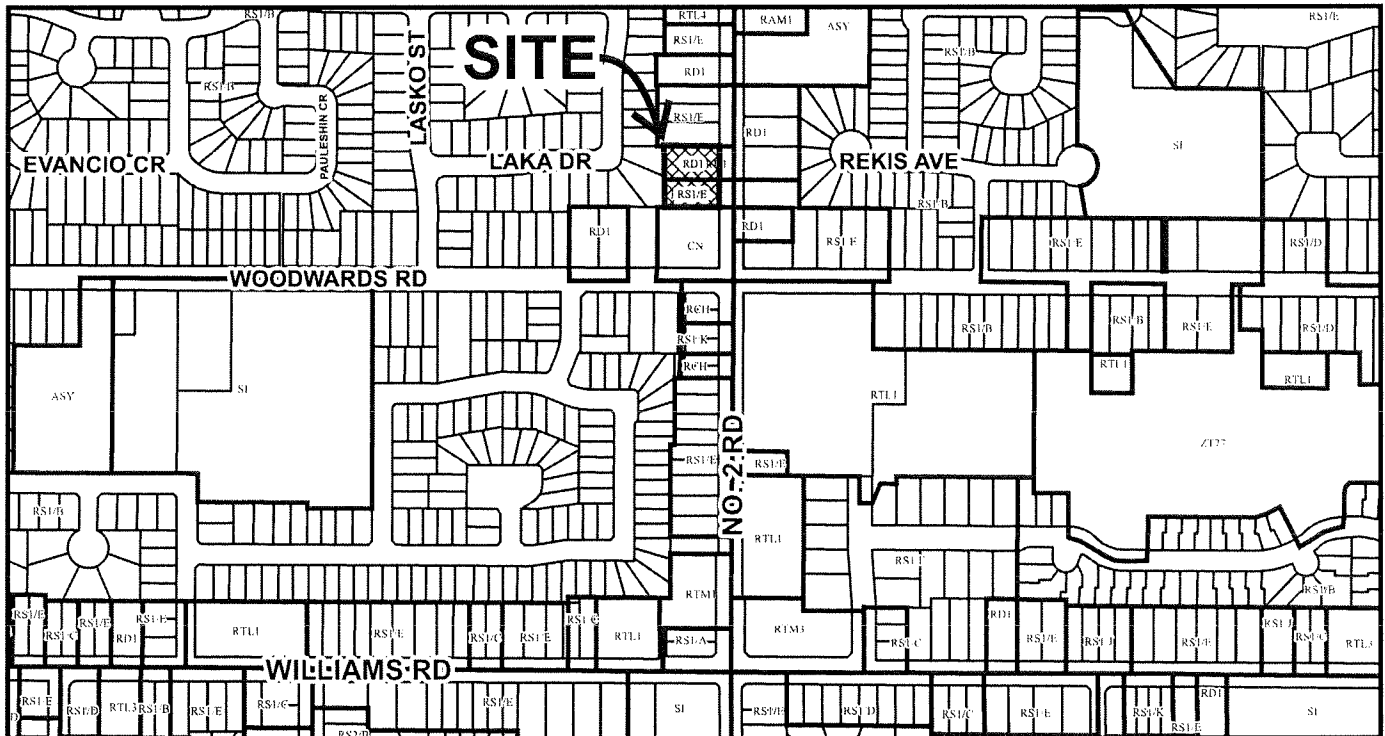
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 18-829204
SCHEDULE "A"

Original Date: 08/16/18

Revision Date:

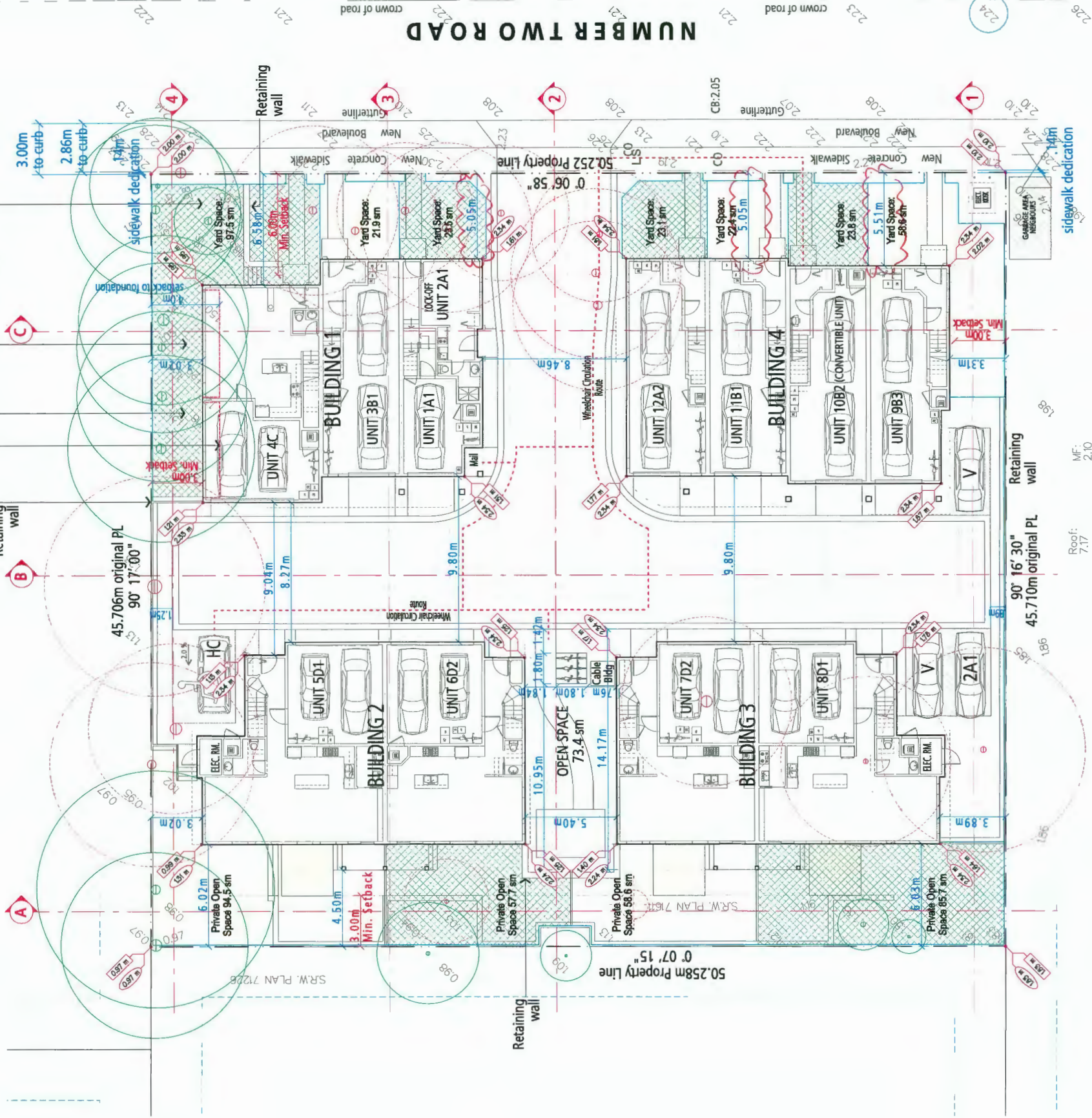
Note: Dimensions are in METRES

temporary construction bridge
between building & trees
(see Section C for details)

line of
foundation below

Retaining
wall

Existing grade
to be maintained



VARIANCE:
SMALL CARS
FRONT YARD SETBACK 5.05 M

- 0.00 m EXISTING SITE GRADE
- 0.00 m PROPOSED SITE GRADE
- 0.00 m EXISTING GRADE
- OPEN SPACE (PUBLIC)
- OPEN SPACE (PRIVATE)
- LOT COVERAGE (BUILDING)
- NON-POROUS PAVERS
- PEDESTRIAN WALKWAY
- WHEELCHAIR CIRCULATION

LEGAL ADDRESS:
LOT 250 PLAN 57906 EXCEPT: PART SUBDIVIDED BY PLAN 71225 AND STRATA PLAN NW1729, BOTH OF SECTION 25 BLOCK 4 NORTH RANGE 7 WEST NEW WESTMINSTER DISTRICT
#9411 NO. 2 ROAD (REM. 250)
RICHMOND, B.C.
P.L.D. 003-286-258
#9391 & 9393 NO. 2 ROAD (STRATA PLAN NW1729)
RICHMOND, B.C.
P.L.D. 001-930-044
P.L.D. 001-930-036
FINISHED SITE GRADE: 2.54 m

*Note: off-site works will also include upgrading the bus stop to accessible bus stop standards (3.0 m x 9.0 m concrete pad).

PLAN #2



9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.

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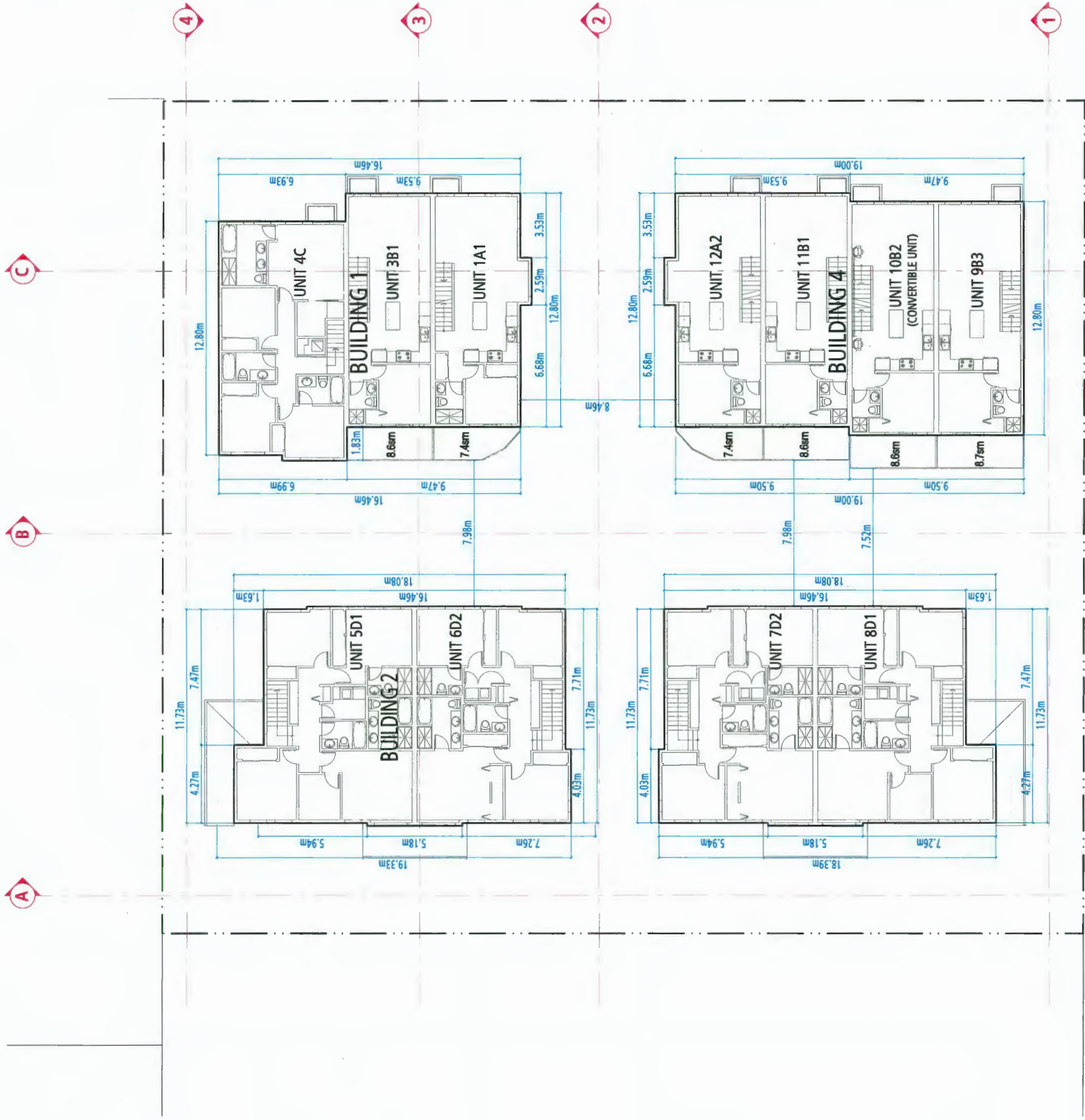


SITE PLAN

SCALE: 3/32" = 1'-0"
0 10' 20' 30'

DP-18-829204
FEBRUARY 14, 2020

FOUGERE
architecture inc.
BRITISH COLUMBIA • ALBERTA • WASHINGTON
200 - 2425 Quebec Street 604.873.2807
Vancouver BC V5T 4L5 fougerearchitecture.ca



PLAN #3



9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.

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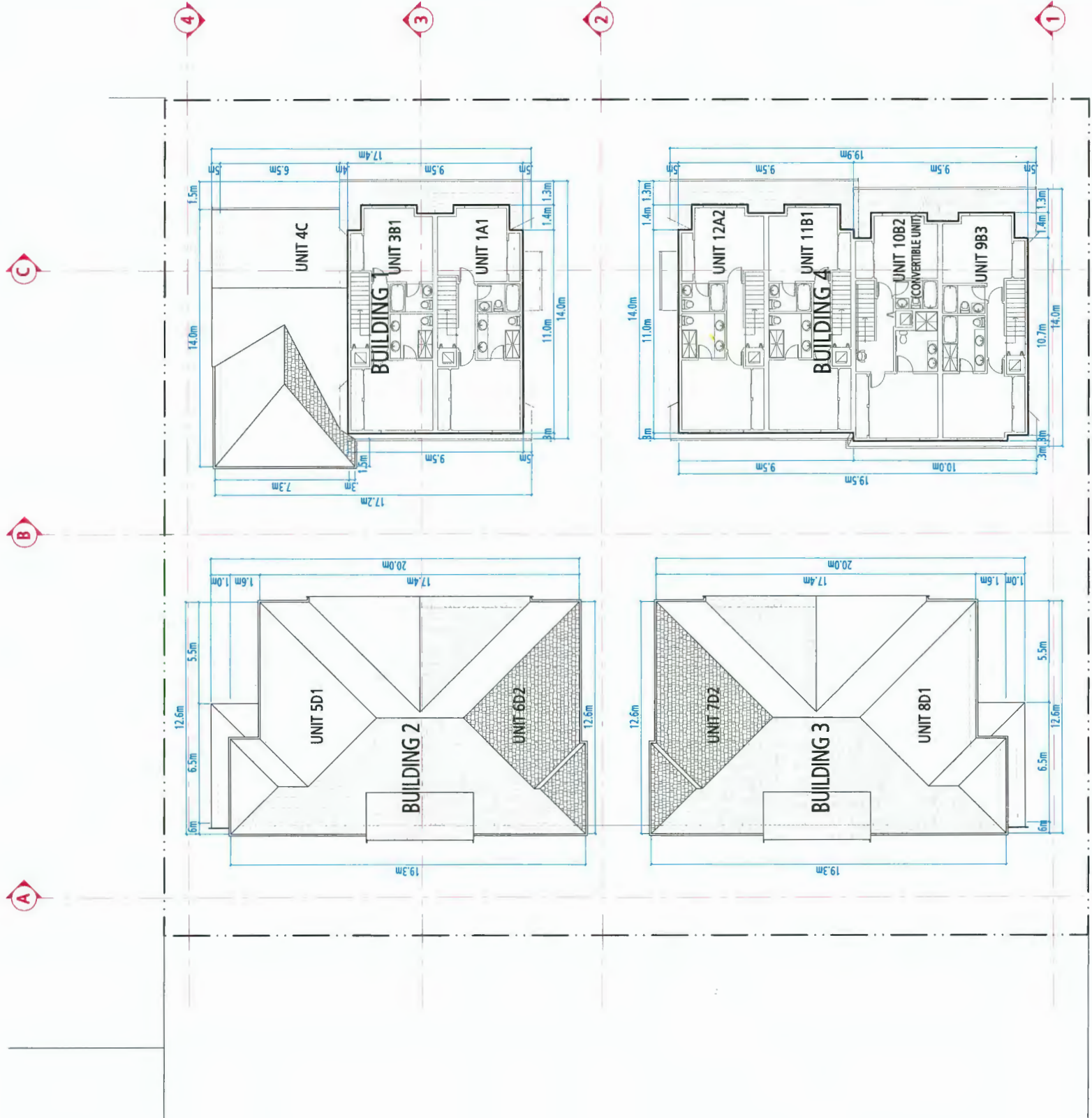
SITE PLAN
MAIN FLOOR
SCALE: 3/32" = 1'-0"



DP-18-829204
FEBRUARY 12, 2020

FOUGERE
architecture inc.
BRITISH COLUMBIA • ALBERTA • WASHINGTON
202 - 2425 Quebec Street
Vancouver BC V5T 4L5
fougerearchitecture.ca

1b



PLAN #4



9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.



**SITE PLAN
UPPER FLOOR**
SCALE: 3/32" = 1'-0"
0 10' 20' 30'

DP-18-829204
FEBRUARY 12, 2020
FOUGERE
architecture inc.
BRITISH COLUMBIA • ALBERTA • WASHINGTON
202 - 2405 Quebec Street • 604.873.2907
Vancouver BC V5T 4G5 fougerearchitecture.ca



UNIT 8D1
EAST ELEVATION



UNIT 7D2
WEST ELEVATION



SOUTH ELEVATION

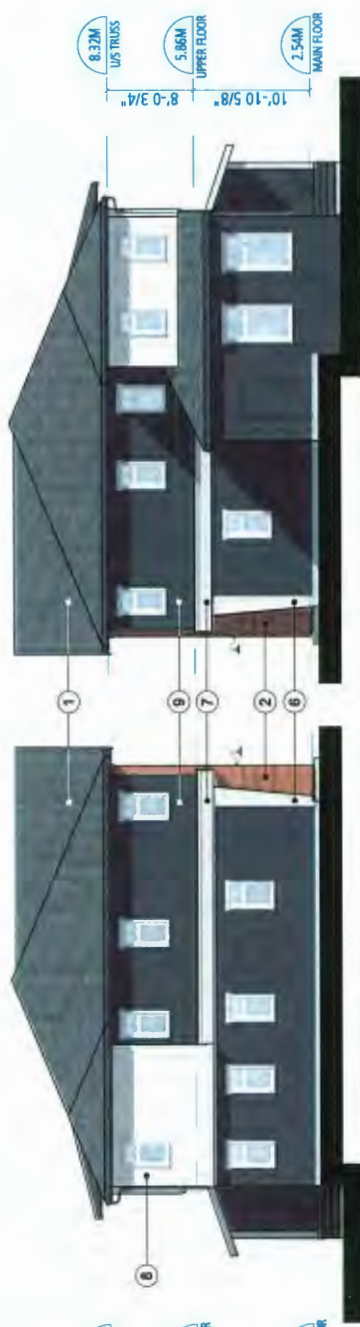
NORTH ELEVATION



UNIT 6D2
EAST ELEVATION



UNIT 5D1
WEST ELEVATION



SOUTH ELEVATION

NORTH ELEVATION

Table with 2 columns: Exterior Finishes Schedule (1-17) and Material/Color descriptions (e.g., Asphalt Shingle, Thin Brick, Hardie Plank Lap Siding, etc.).

BUILDING 3

BUILDING 2

DP 18-829204

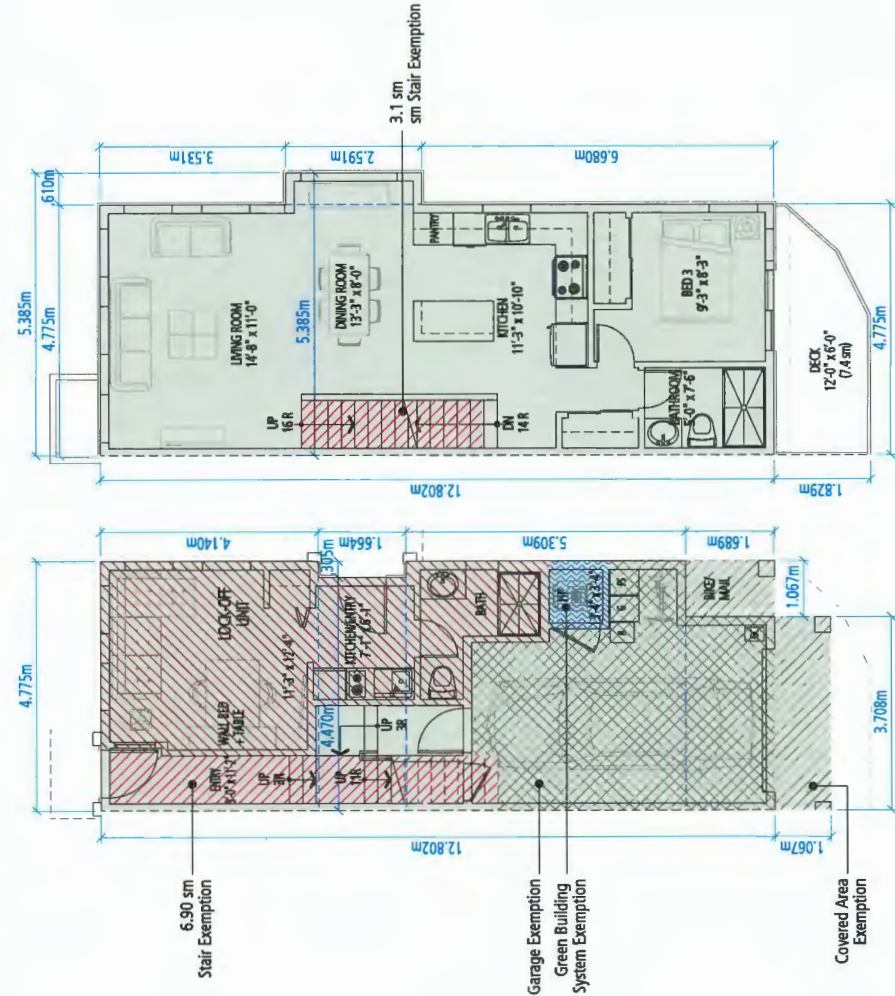
PLAN #6
9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.

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INC. THE ARCHITECT'S CERTIFICATE OF
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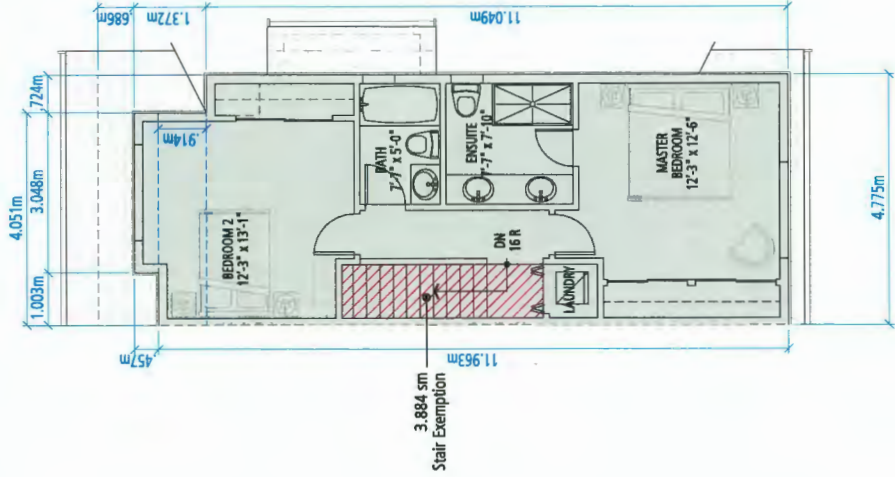
BUILDING 2,3
ELEVATIONS

SCALE: 1/8" = 1'-0"
0 5' 10' 20'



UNIT A1

GROUND FLOOR
(WITH LOCK-OFF)



UPPER FLOOR

UNIT A1

FLOOR PLANS (sm)
GROUND FLOOR

4.775 x 4.140 = 19.769
4.470 x 1.664 = 7.438
4.775 x 5.309 = 25.350
4.775 x 1.689 = 8.065
3.708 x 1.067 = 3.956

MAIN FLOOR

4.775 x 3.531 = 16.860
5.385 x 2.591 = 13.953
4.775 x 6.680 = 31.897

UPPER FLOOR

3.048 x 0.457 = 1.393
4.051 x 0.914 = 3.703
4.775 x 11.049 = 52.759

SUB TOTAL 185.143

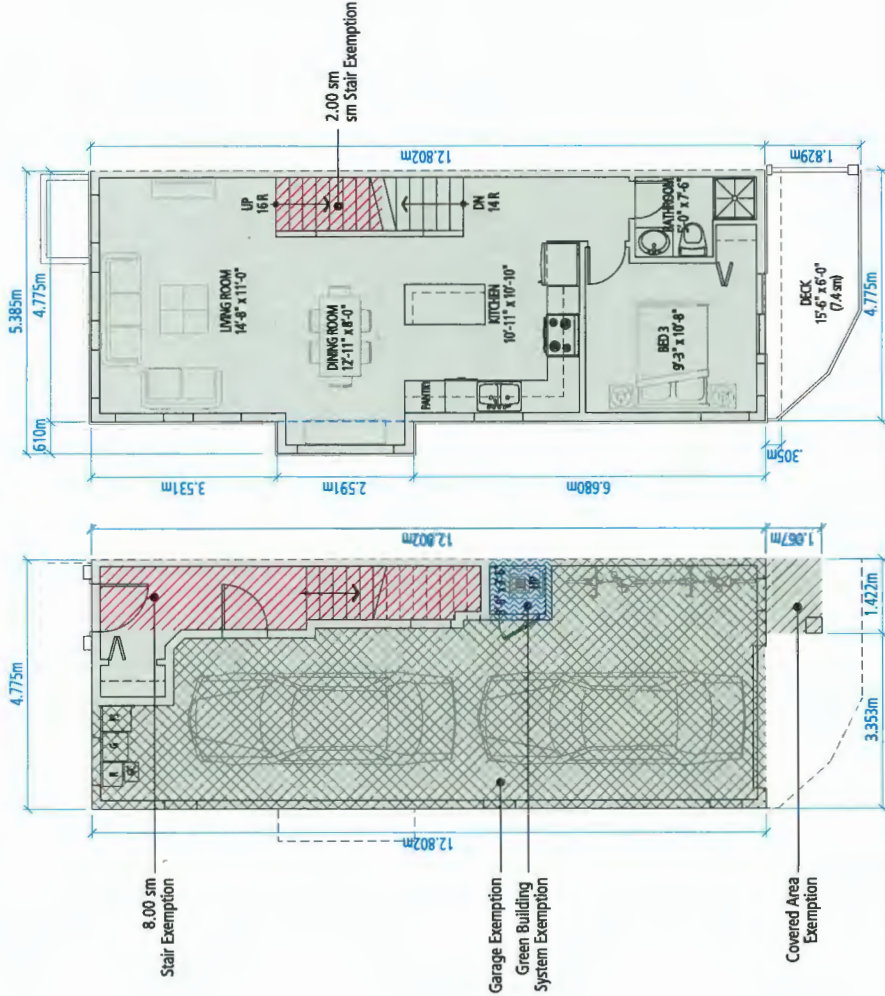
EXEMPTIONS

STAIR 13.884
GARAGE 21.405
COVERED AREA 5.758
GREEN BUILDING SYSTEM 1.464

TOTAL 142.632

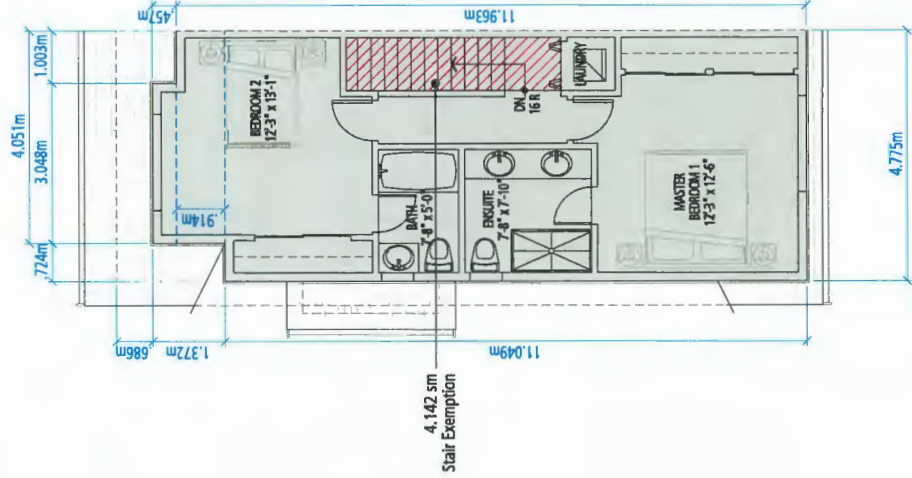
PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom



UNIT A2

GROUND FLOOR



UPPER FLOOR

UNIT A2

FLOOR PLANS (sm)
GROUND FLOOR

4.775 x 12.802 = 61.130
1.422 x 1.067 = 1.517

MAIN FLOOR

4.775 x 3.531 = 16.860
5.385 x 2.591 = 13.953
4.775 x 6.680 = 31.897

UPPER FLOOR

3.048 x 0.457 = 1.393
4.051 x 0.914 = 3.703
4.775 x 11.049 = 52.759

SUB TOTAL 183.212

EXEMPTIONS

STAIR 14.142
GARAGE 47.086
COVERED AREA 1.517
GREEN BUILDING SYSTEM 1.372

TOTAL 119.095

PLAN # 7

9391 - 9411
No 2 ROAD

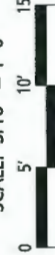
for
Citimark Projects Corp.

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FLOOR
PLANS

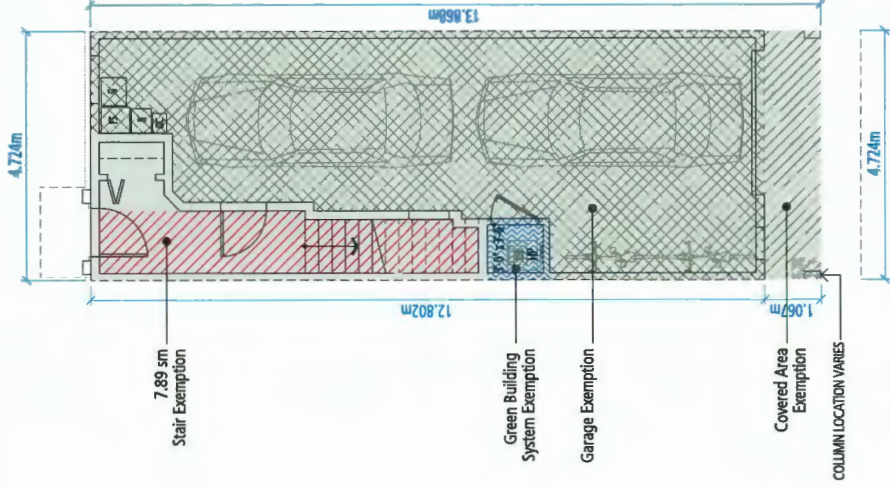
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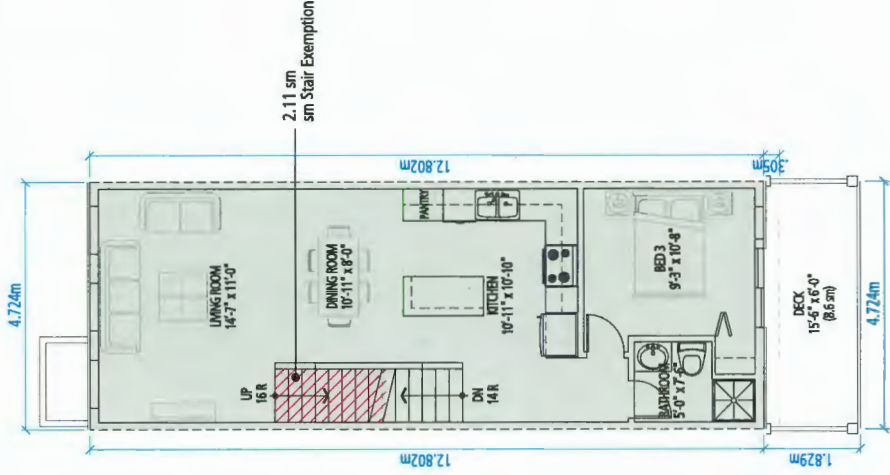
DP 18-829204

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FEBRUARY 12, 2020

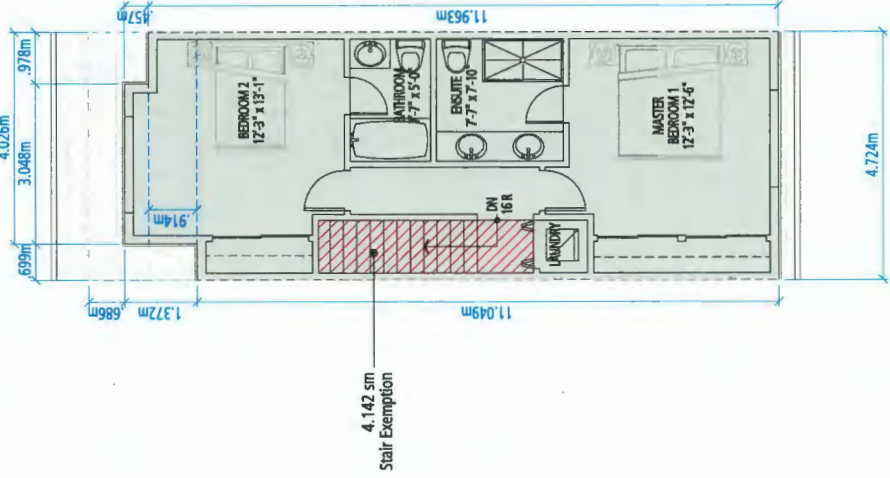
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Vancouver, BC V5T 4L5
604.873.1907
fougerearchitects.com



UNIT B1 GROUND FLOOR



MAIN FLOOR



UPPER FLOOR

UNIT B1

FLOOR PLANS (sm)

GROUND FLOOR 4.724 x 13.868 = 65.512

MAIN FLOOR 4.724 x 12.802 = 60.477

UPPER FLOOR 3.048 x 0.457 = 1.393

4.026 x 0.914 = 3.680

4.724 x 11.049 = 52.195

SUB TOTAL 183.257

EXEMPTIONS

STAIR 14.142

GARAGE 46.519

COVERED AREA 5.040

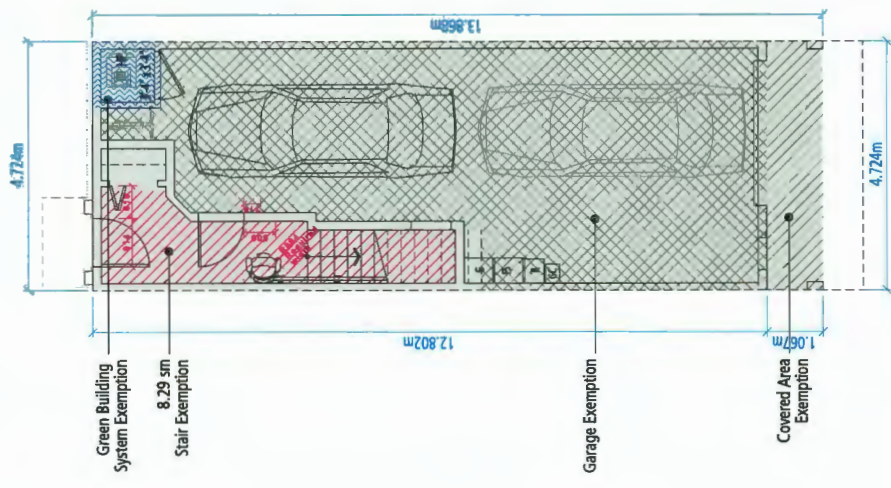
GREEN BUILDING SYSTEM 1.372

TOTAL 116.184

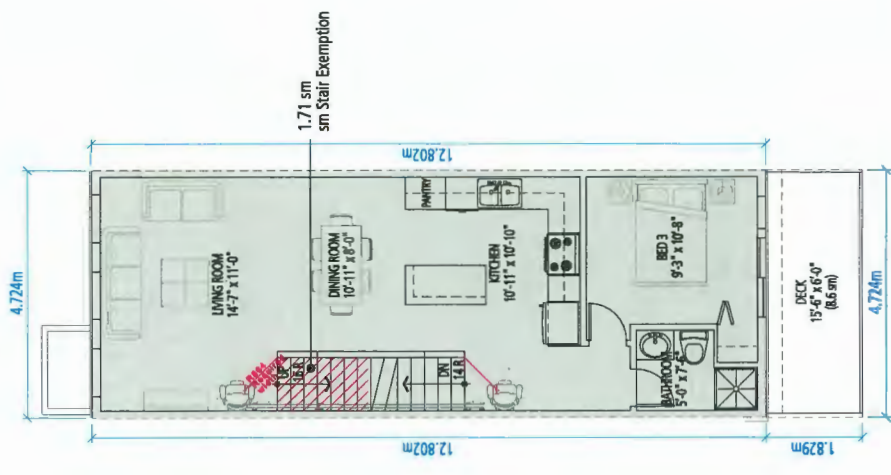
PROVISION OF ACCESSIBILITY FEATURES
"AGING-IN-PLACE" REQUIREMENTS
ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

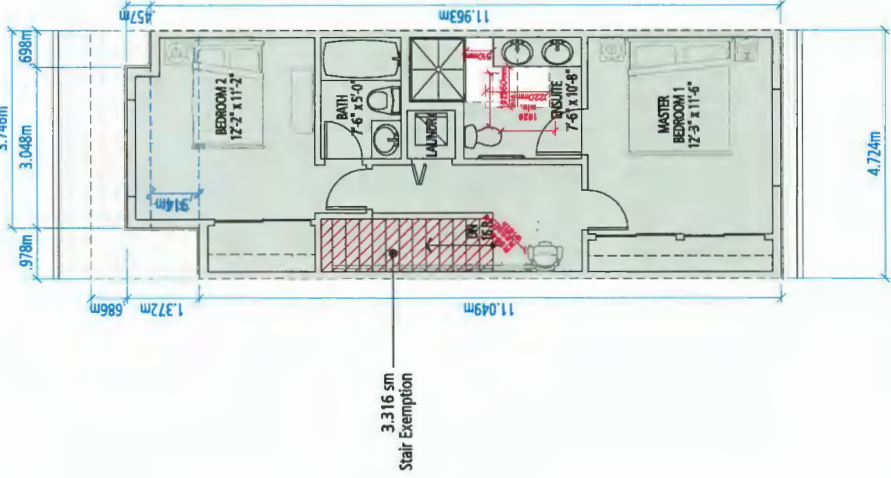
UNIT B2 GROUND FLOOR



UNIT B2 GROUND FLOOR



MAIN FLOOR



UPPER FLOOR

UNIT B2

FLOOR PLANS (sm)

GROUND FLOOR 4.724 x 13.868 = 65.512

MAIN FLOOR 4.724 x 12.802 = 60.477

UPPER FLOOR 3.048 x 0.457 = 1.393

3.746 x 0.914 = 3.424

4.724 x 11.049 = 52.195

SUB TOTAL 183.001

EXEMPTIONS

STAIR 13.316

GARAGE 46.199

COVERED AREA 5.040

GREEN BUILDING SYSTEM 1.637

TOTAL 116.806

PLAN # 8

9391 - 9411
No 2 ROAD

for
Citimark Projects Corp.

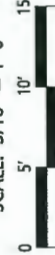
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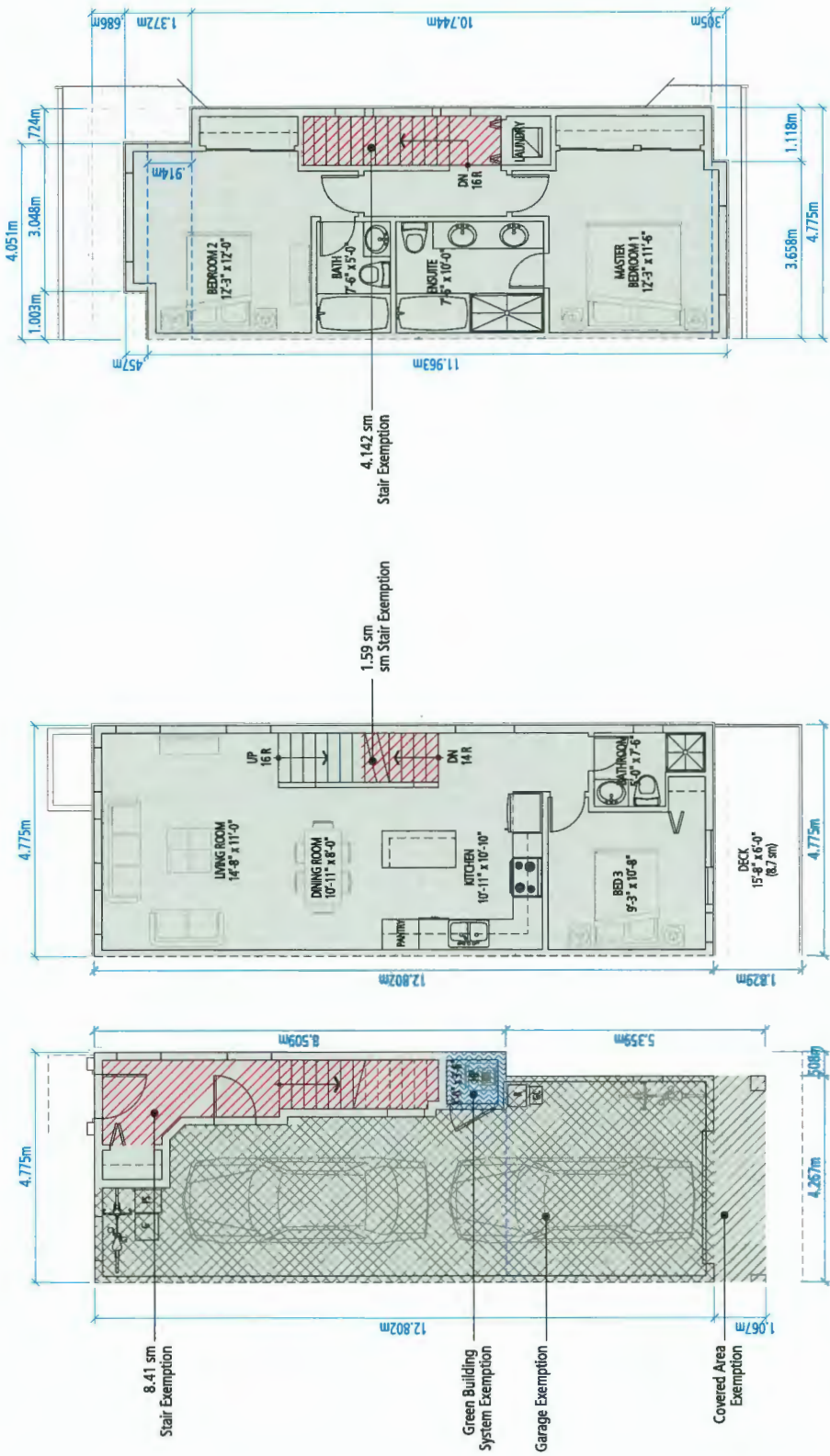
FLOOR
PLANS

SCALE: 3/16" = 1'-0"



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PROVISION OF ACCESSIBILITY FEATURES

"AGING-IN-PLACE" REQUIREMENTS

ON ALL UNITS:

- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
- Hallways minimum 900 mm width
- Door from garage to living area minimum 2'-10" (swinging door spec.)
- Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
- Provision of lever door handles
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

FLOOR PLANS (sm)	
GROUND FLOOR	4.775 x 8.509 = 40.630 4.267 x 5.359 = 22.867
MAIN FLOOR	4.775 x 12.802 = 61.130
UPPER FLOOR	3.048 x 0.457 = 1.393 4.051 x 0.914 = 3.703 4.775 x 10.744 = 51.303 3.658 x 0.305 = 1.116
SUB TOTAL	182.142
EXEMPTIONS	
STAIR	14.142
GARAGE	44.983
COVERED AREA	4.552
GREEN BUILDING SYSTEM	1.436
TOTAL	117.029

UNIT B3 GROUND FLOOR

MAIN FLOOR

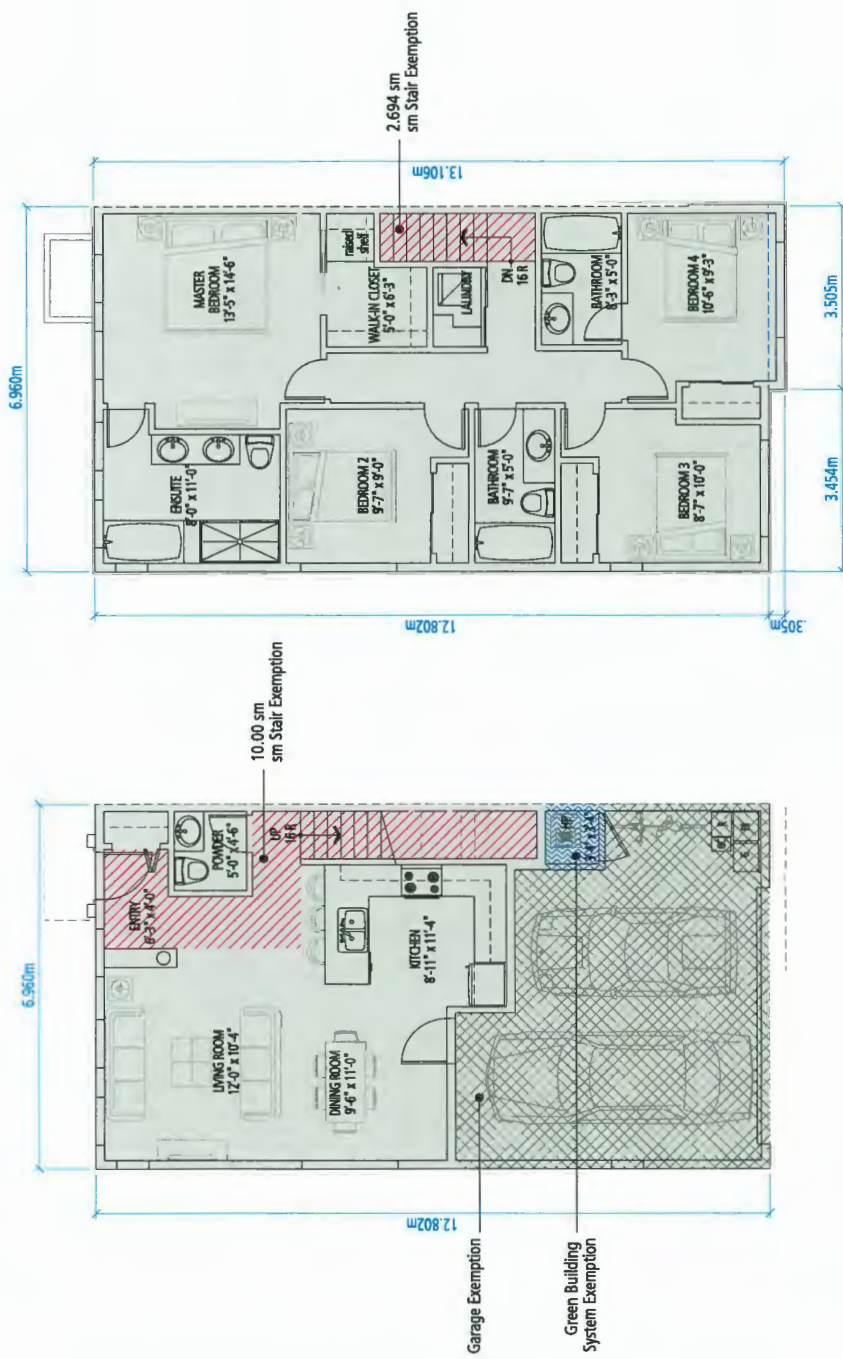
UPPER FLOOR

PLAN #9

9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.

UNIT C

FLOOR PLANS (sm)	
MAIN FLOOR	6.960 x 12.802 = 89.102
UPPER FLOOR	6.960 x 12.802 = 89.102 3.505 x 0.305 = 1.069
SUB TOTAL	179.273
EXEMPTIONS	
STAIR	12.694
GARAGE	34.860
COVERED AREA	0.000
GREEN BUILDING SYSTEM	1.428
TOTAL	130.291



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**FLOOR
PLANS**

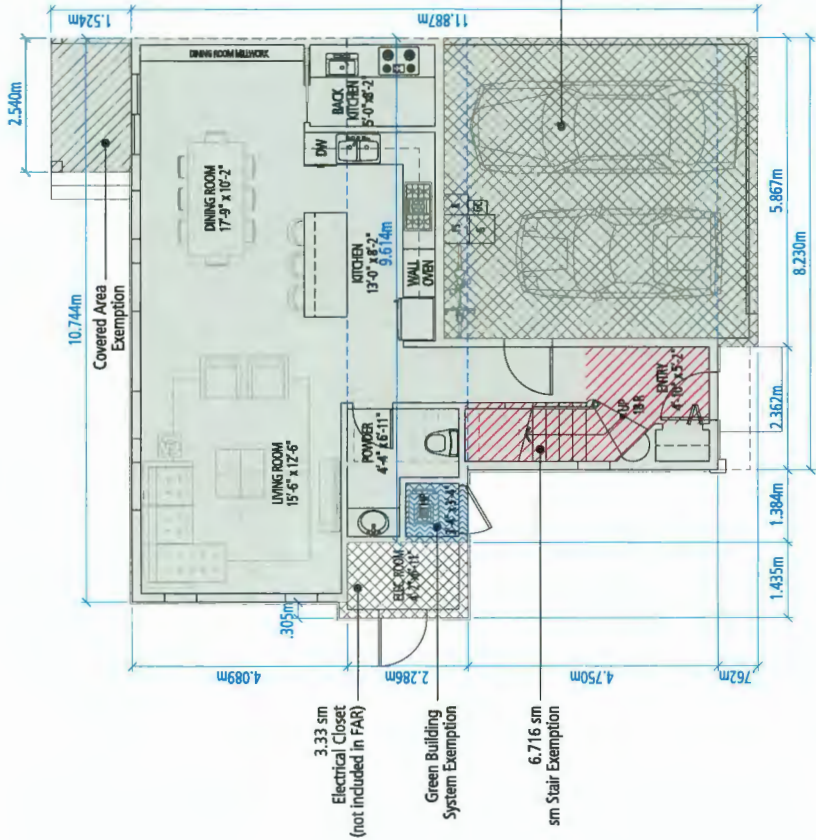
SCALE: 3/16" = 1'-0"

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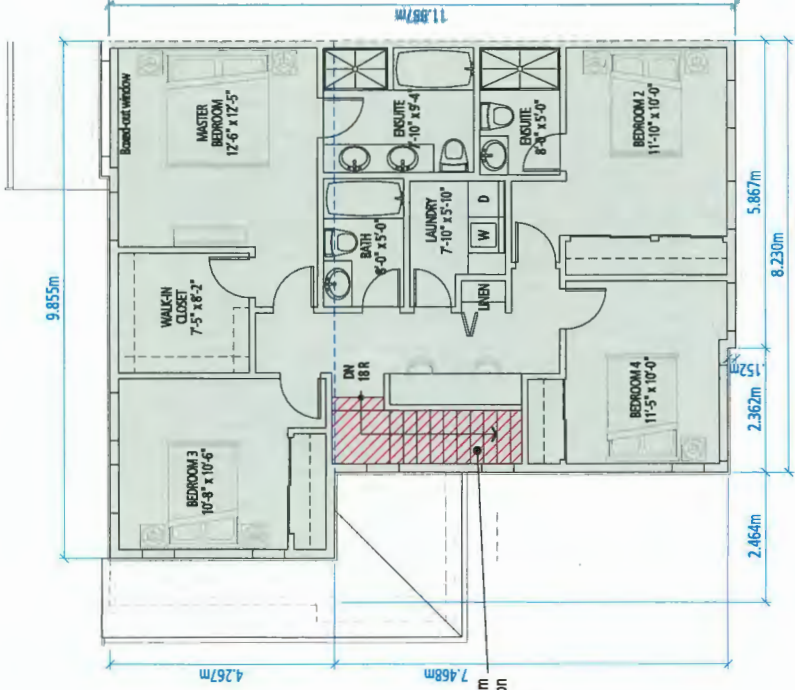
UNIT C MAIN FLOOR

UPPER FLOOR



UNIT D1

MAIN FLOOR



UPPER FLOOR

UNIT D1

FLOOR PLANS (sm)

MAIN FLOOR	10.744 x 4.089 = 43.932
	9.614 x 2.286 = 21.978
	8.230 x 4.750 = 39.093
	5.867 x 0.762 = 4.471
	2.540 x 1.524 = 3.871
UPPER FLOOR	9.855 x 4.267 = 42.051
	8.230 x 7.468 = 61.461
	5.867 x 0.152 = 0.892
SUB TOTAL	217.749
EXEMPTIONS	
STAIR	10.632
GARAGE	34.090
COVERED AREA	3.871
GREEN BUILDING SYSTEM	1.335
TOTAL	167.821

- PROVISION OF ACCESSIBILITY FEATURES
- "AGING-IN-PLACE" REQUIREMENTS
- ON ALL UNITS:
- Entry doors minimum 855 mm clear opening (3'-0" swinging door spec.)
 - Hallways minimum 900 mm width
 - Door from garage to living area minimum 2'-10" (swinging door spec.)
 - Blocking to bathrooms for installation of grab-bars (toilet, tub and shower)
 - Provision of lever door handles
 - One Window that can be opened with a single hand in the living room
 - One window that can be opened with a single hand in one bedroom

PLAN # 10

9391 - 9411
No 2 ROAD

for
Citimark Projects Corp.

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FLOOR
PLANS

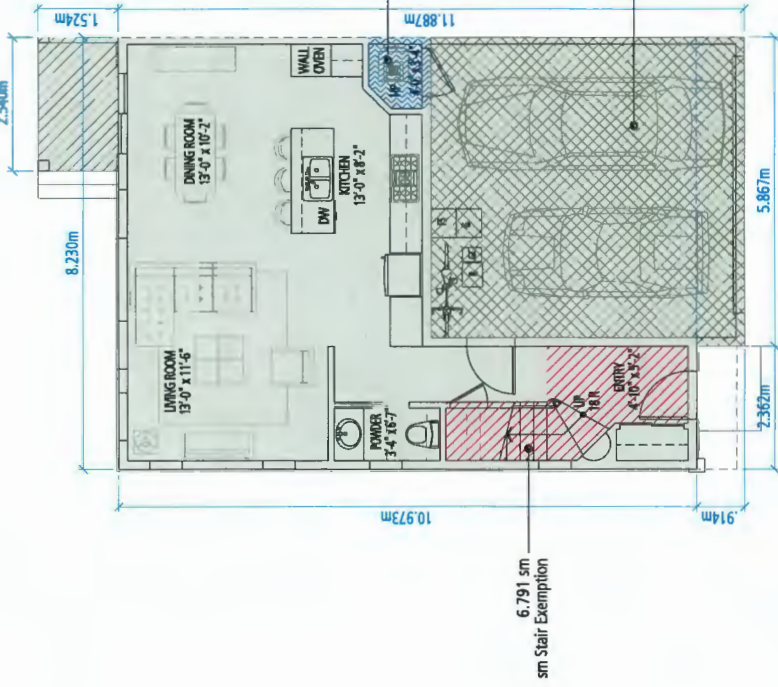
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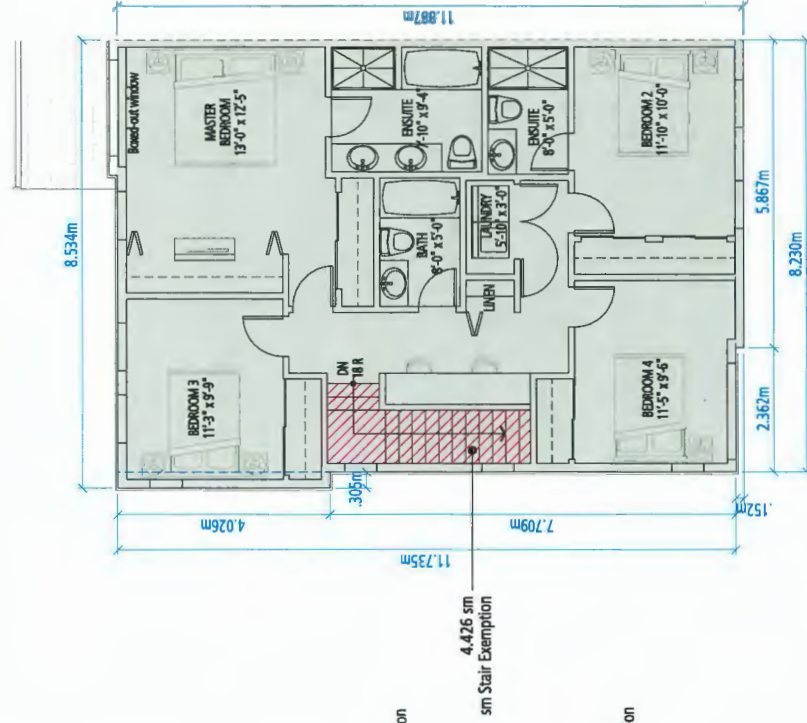
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UNIT D2

MAIN FLOOR



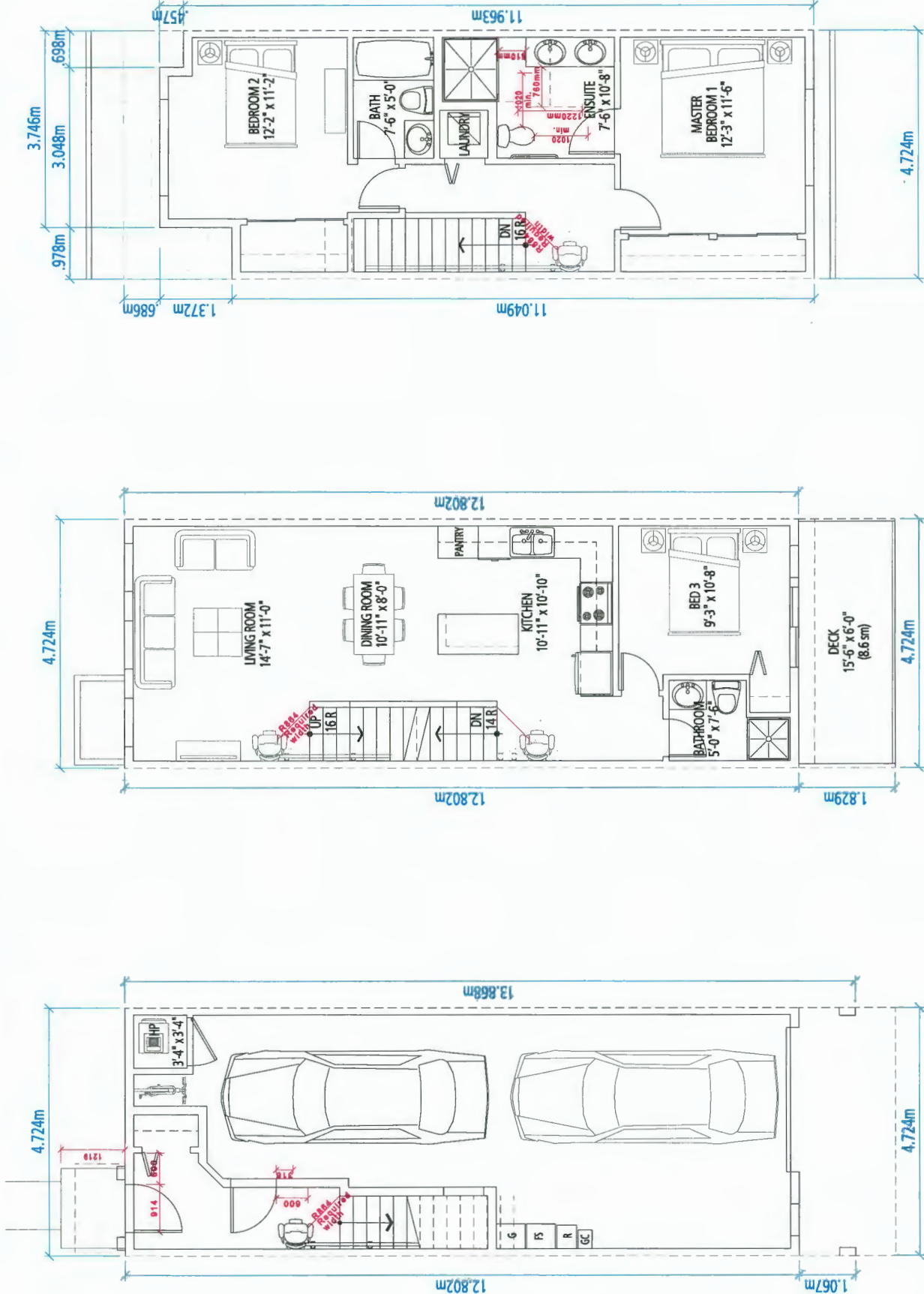
UPPER FLOOR

UNIT D2

FLOOR PLANS (sm)

MAIN FLOOR	8.230 x 10.973 = 90.308
	5.867 x 0.914 = 5.362
	2.540 x 1.524 = 3.871
UPPER FLOOR	8.230 x 11.735 = 96.579
	5.867 x 0.152 = 0.892
	0.305 x 4.026 = 1.228
SUB TOTAL	198.240
EXEMPTIONS	
STAIR	11.217
GARAGE	34.116
COVERED AREA	3.871
GREEN BUILDING SYSTEM	1.504
TOTAL	147.532

UNIT 10B2-CONVERTIBLE UNIT



PLAN # 11
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No 2 ROAD
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CONVERTIBLE
UNIT
SCALE: 1/4"=1'-0"
0' 1' 5' 10'

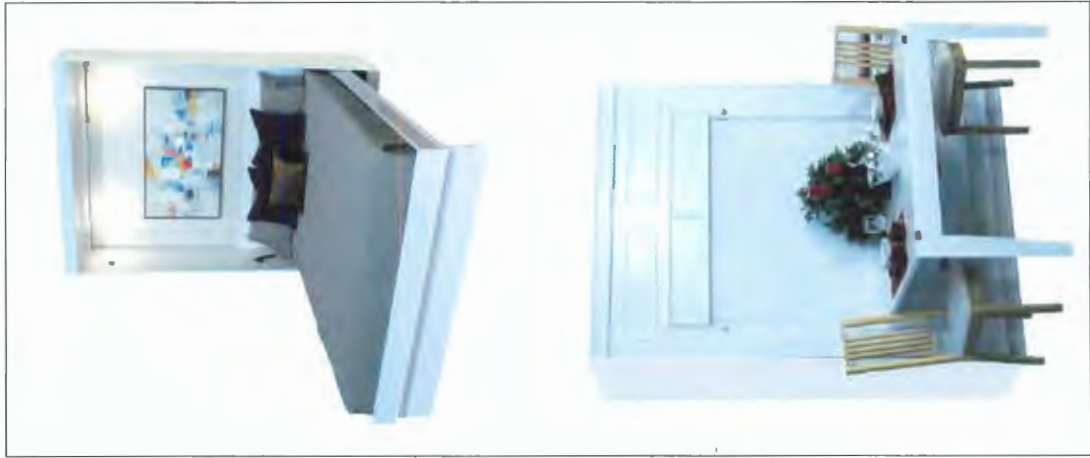
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Summary of the Convertible Unit Features Checklist as Submitted

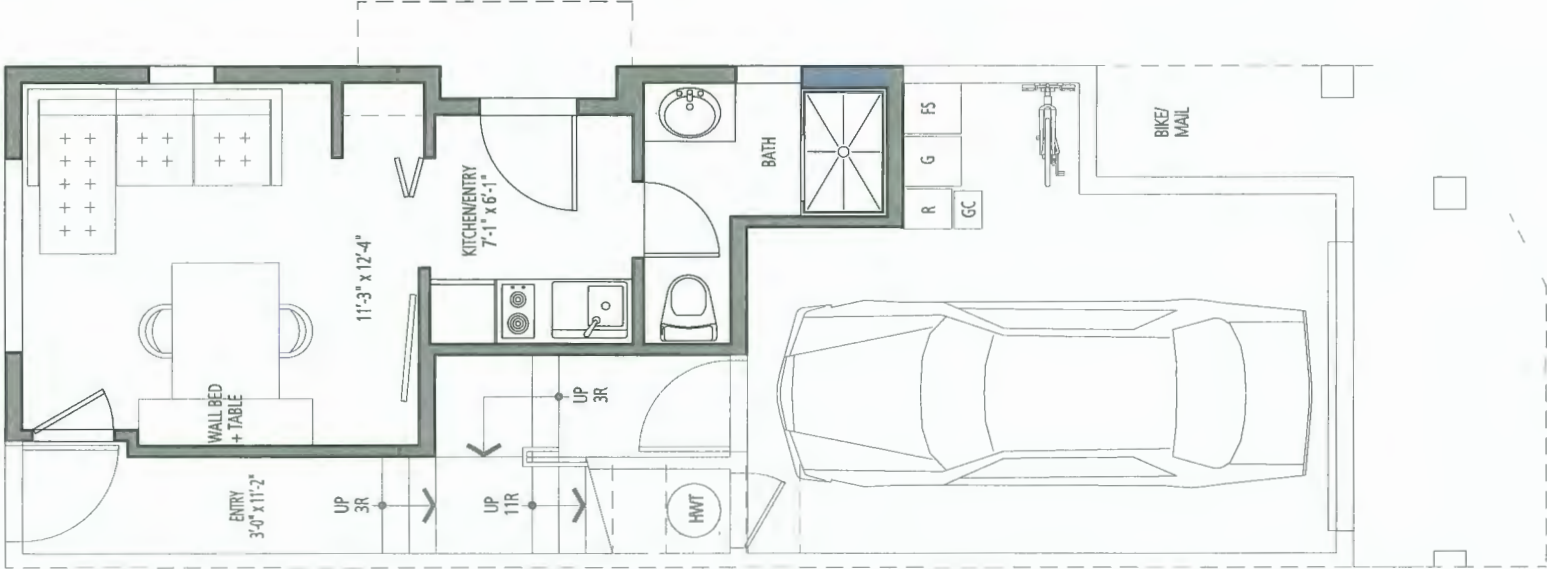
- Entry doors min. 863mm clear opening (3'-0" swinging door spec.)
- Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side.
- Interior doors to entry & main living areas, min. 800 mm clear opening.
- (2'8"sliding or 2'10"swinging door spec.) with flush thresholds max. 13mm height.
- Stair lift as per manufacturer spec (Bruno,SRE-2010-Electra-Ride)
- Hallways minimum 900 mm width
- Door from garage to living area 819 mm clear opening (2'-10" swinging door)
- 1 accessible parking space with min. 4 m garage width.
- Min. clear opening 860 mm clear opening to Patios and Balconies.
- Toilet clear floor space min. 1020 mm at side and in front
- Interior Doors to main living areas, 1 bedroom and 1 bedroom min 800 mm clear opening with flush thresholds max. 13 mm height.
- Wall blocking for future installation of grab-bars (toilet, tub and shower)
- Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter)
- 1500 mm turning diameter or turning path diagram
- One window that can be opened with a single hand in the living room
- One window that can be opened with a single hand in one bedroom

DP 18-829204

UNIT 2A1-LOCK-OFF SUITE (25m²)



POTENTIAL WALL BED EXAMPLE
EURO TABLE BED QUEEN SIZE BY WALLBEDS "N" MORE



POTENTIAL KITCHEN EXAMPLE
MINI KITCHEN WITH DOORS K-155 BY MOBILSPAZIO

PLAN # 12

9391 - 9411
No 2 ROAD

for
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LOCK-OFF SUITE

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SCALE: 3/8"=1'-0"
0 1' 4' 8'

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GROUND FLOOR



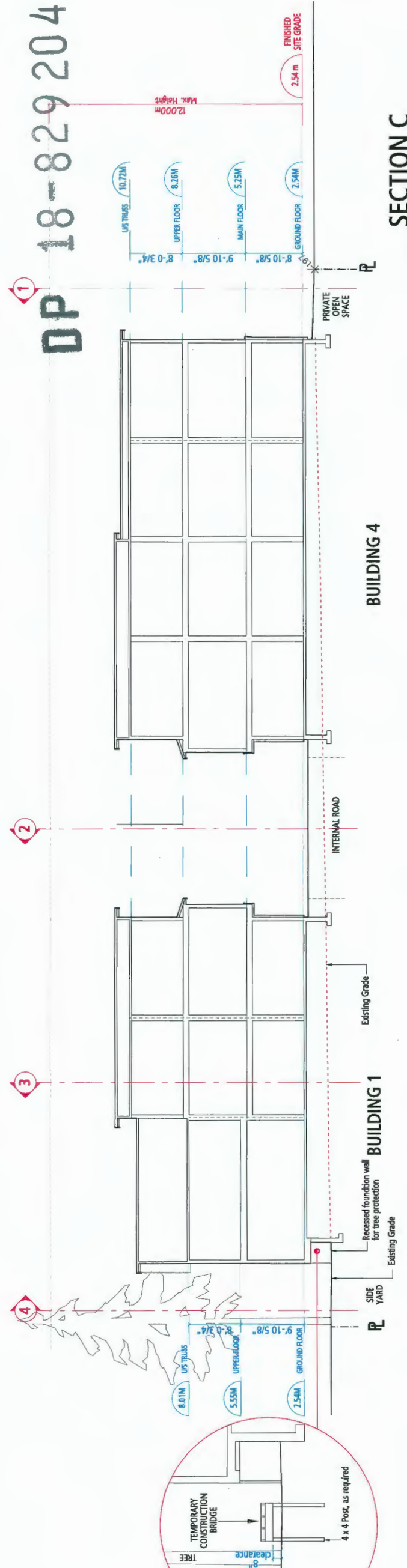
BUILDING 3

SECTION A



BUILDING 4

SECTION B



BUILDING 1

SECTION C

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9391 - 9411
NO 2 ROAD
for
Citimark Projects Corp.

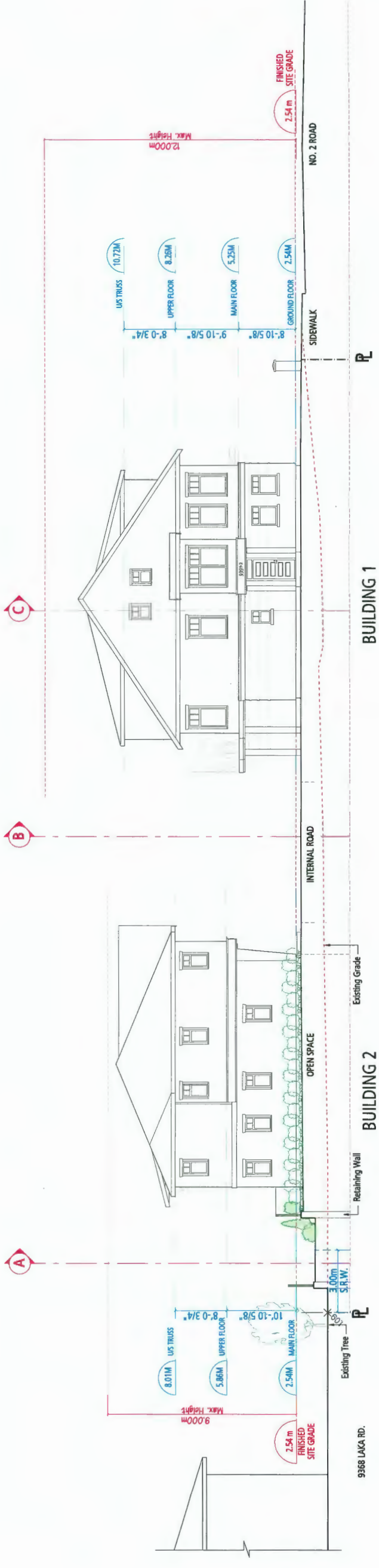
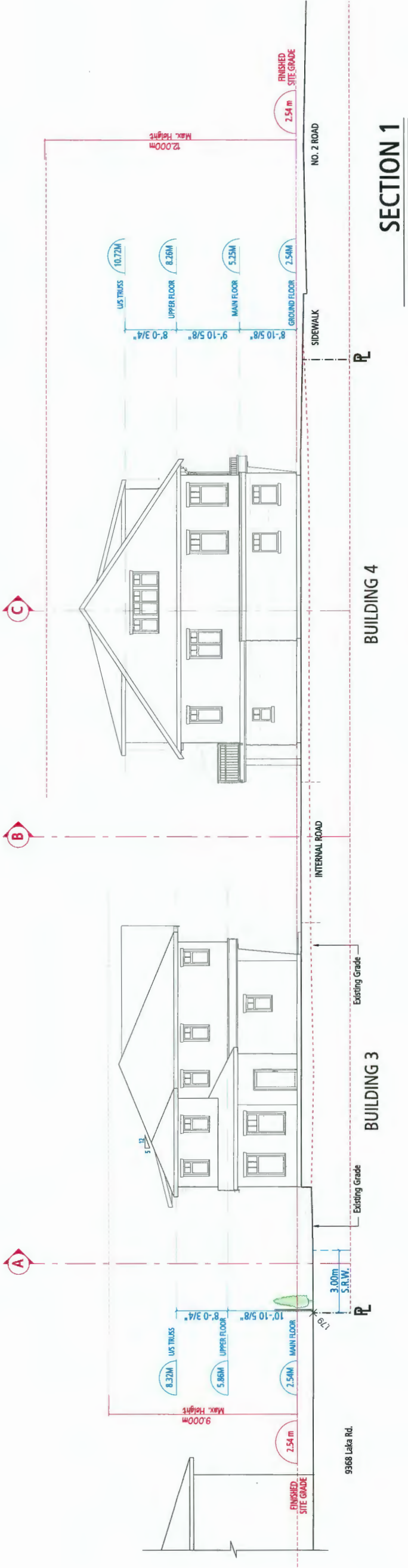
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SECTIONS

SCALE: 1/8" = 1'-0"
0 5' 10' 20'

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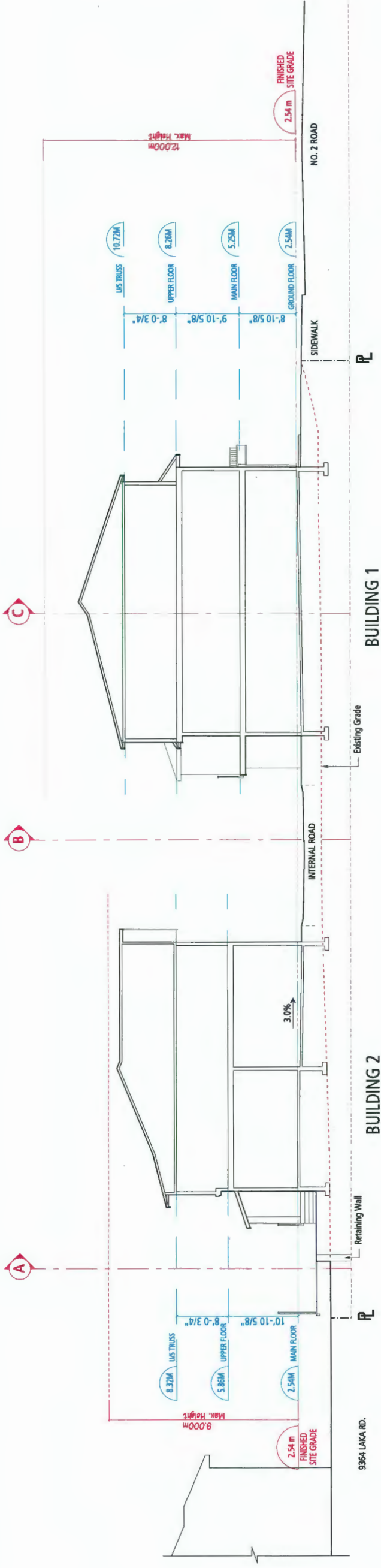


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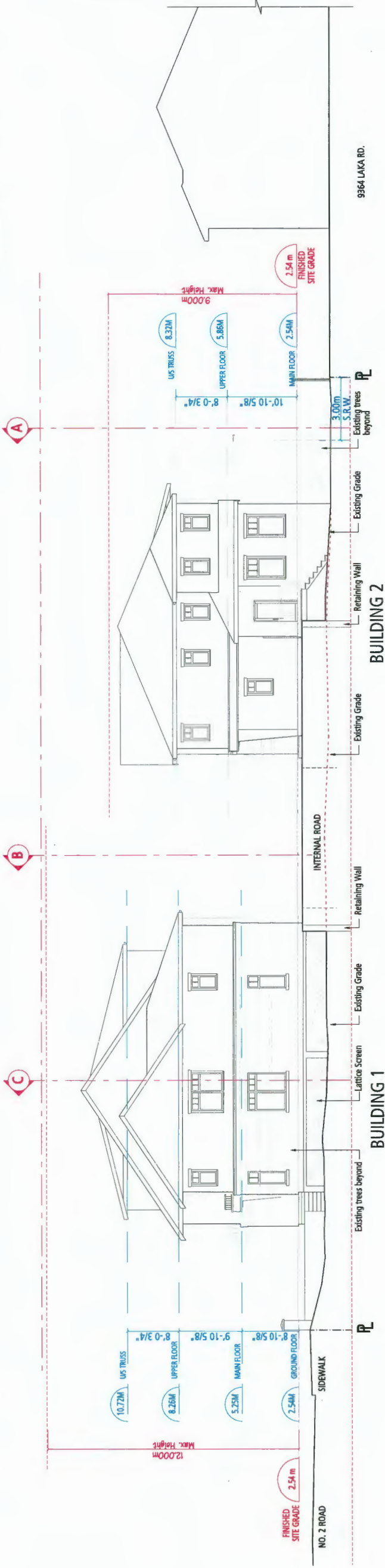
SCALE: 1/8" = 1'-0"
0 5' 10' 20'

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SECTION 3



SECTION 4

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SECTIONS

SCALE: 1/8" = 1'-0"
0 5' 10' 20'

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9471 No 2 Road

R

PROPOSED DEVELOPMENT

R

9371 No 2 Road

STREETSCAPE

PLAN #16

9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.

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STREETSCAPE
YARDSCAPE

SCALE: 3/32" = 1'-0"



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9371 No 2 Road

R

PROPOSED DEVELOPMENT

R

9471 No 2 Road

YARDSCAPE

DP 18-829204



PLAN # 17

No.	By:	Description	Date
12	TM	Issued for ADP	Feb. 18, 2020
11	TM	Issued for ADP	Jan. 10, 2020
10	TM	Issued for ADP	Jan. 09, 2020
9	TM	Issued for BP	Dec. 02, 2019
8	TM	Issued for DP	Sep. 16, 2019
7	TM	Issued for DP	Jun. 16, 2019
6	TM	Issued for Re-zoning	Feb. 27, 2019
5	TM	Issued for Re-zoning	Feb. 12, 2019
4	TM	Issued for Re-Zoning	Feb 04, 2019
3	TM	Issued for Re-Zoning	Nov 02, 2018
2	TM	Issued for Re-Zoning	Oct 2, 2018
1	TM	Issued for Re-Zoning	June 6, 2018

No.	By:	Description	Date
2	TM	Re-issued for Re-zoning Rev1	Feb. 26, 2019
1	TM	Re-issued for Re-zoning	Feb. 20, 2019

Project:
Crofton Mews
City File No: RZ 17-785742

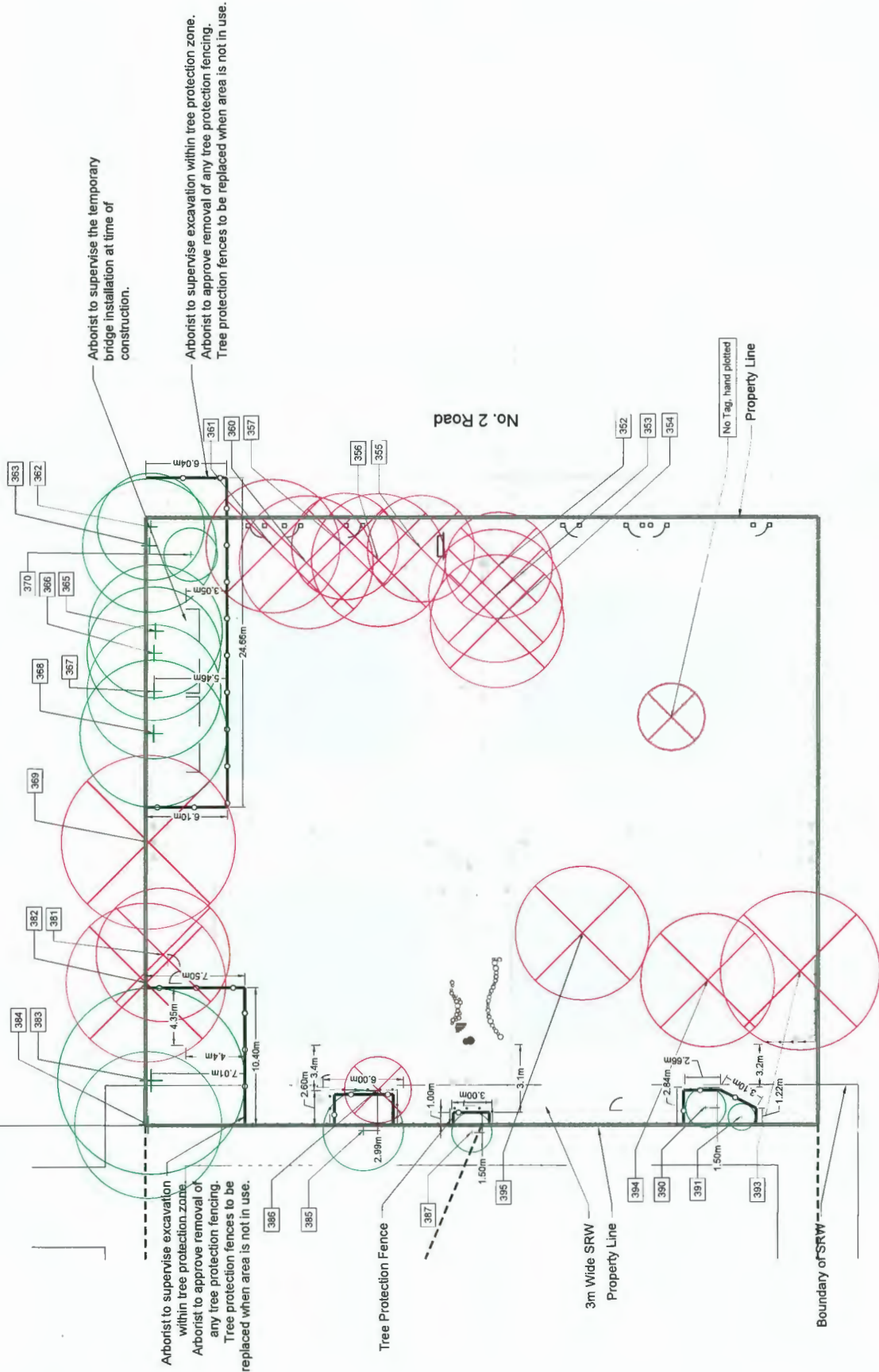
Location:
9391 - 9411 No. 2 Road,
Richmond, B.C.

Drawn: TS
Checked: TM
Approved: TM

Original Sheet Size:
24"x36"

Scale:
1:150

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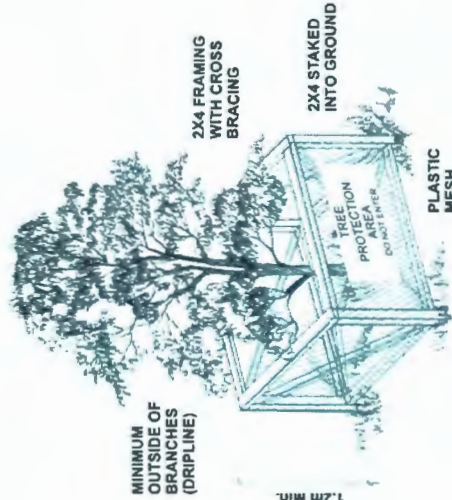


1 TREE MANAGEMENT PLAN
Scale 1:200

- Notes:
- Arborist to attend startup meeting to review tree protection fencing prior to commencing construction works.
 - Contact Arborist Michael J Mills (604-230-4711, mills@dcnet.com) for inspection 72 hours prior to any grading or excavation within tree protection zone. Arborist to supervise any excavation within tree protection zone.
 - Arborist to approve removal of any tree protection fencing prior to its removal.
 - Read this plan together with the Arborist Report prepared by Michael J Mills dated June 07, 2018.

Existing Tree to be Retained	Existing Tree to be Removed	Tree Tag Key

KEY	REF.	DESCRIPTION
	2	TREE PROTECTION FENCE
		PROPERTY LINE



DP 18-829204

2 TREE PROTECTION FENCE DETAIL
Scale 1:250



PLAN # 18

12	TM	Issued for ADP	Feb. 18, 2020
11	TM	Issued for ADP	Jan. 10, 2020
10	TM	Issued for ADP	Jan. 06, 2020
9	TM	Issued for BP	Dec. 02, 2019
8	TM	Issued for DP	Sep. 16, 2019
7	TM	Issued for DP	Jun. 16, 2019
6	TM	Issued for Re-zoning	Feb. 27, 2019
5	TM	Issued for Re-zoning	Feb. 12, 2019
4	TM	Issued for Re-zoning	Feb. 04, 2019
3	TM	Issued for Re-zoning	Nov. 02, 2018
2	TM	Issued for Re-zoning	Oct. 2, 2018
1	TM	Issued for Re-zoning	June 6, 2018
No.	By:	Description	Date

REVISIONS TABLE FOR DRAWINGS			
Changes made to this drawing are indicated by a circled number in the right margin of the drawing. All revisions must be approved by the Designer and the Client. Revisions made for other projects without permission.			

1	TM	Revised for ADP	March 6, 2020
No.	By:	Description	Date

Project:
Crofton Mews
City File No: RZ-17-785742

Location:
9391 - 9411 No. 2 Road,
Richmond, B.C.

Drawn: DV FW	Stamp:
Checked: TM	
Approved: MVDZ	Original Sheet Size: 24"x36"
Scale: 1:150	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE DESIGNER IMMEDIATELY. ALL DIMENSIONS AND SPECIFICATIONS ARE THE PROPERTY OF V.D.Z. + A. THE WORK SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE CONTRACT. THE WORK SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE CONTRACT. THE WORK SHALL BE COMPLETED BY THE DATE SPECIFIED IN THE CONTRACT.

HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	7 LD-01	CONCRETE SLAB (pedestrian)
	6 LD-01	PERMEABLE PAVERS Product: Aquapave Type: Interlocking Colour: Desert sand
		COMBINED CONCRETE SIDEWALK AND DRIVE AISLE
	8 LD-01	MODULAR BLOCK RETAINING WALL Colour: grey
	5 LD-01	HYDRO-PRESSED SLAB
	3 LD-02	DRIP STRIP
	3 LD-03	Blue Rack Material: Stainless Steel Product: R-423A-SE Colour: Blue Mount: Surface

FENCING

KEY	REF.	DESCRIPTION
	1 LD-02	2.0M HORIZONTAL SCREEN
	2 LD-03	WOOD RAIL FENCE
	1 LD-03	HANDRAIL ON STAIRS
	5 LD-02	PRIVACY FENCE
	2 L-02	TREE PROTECTION FENCE

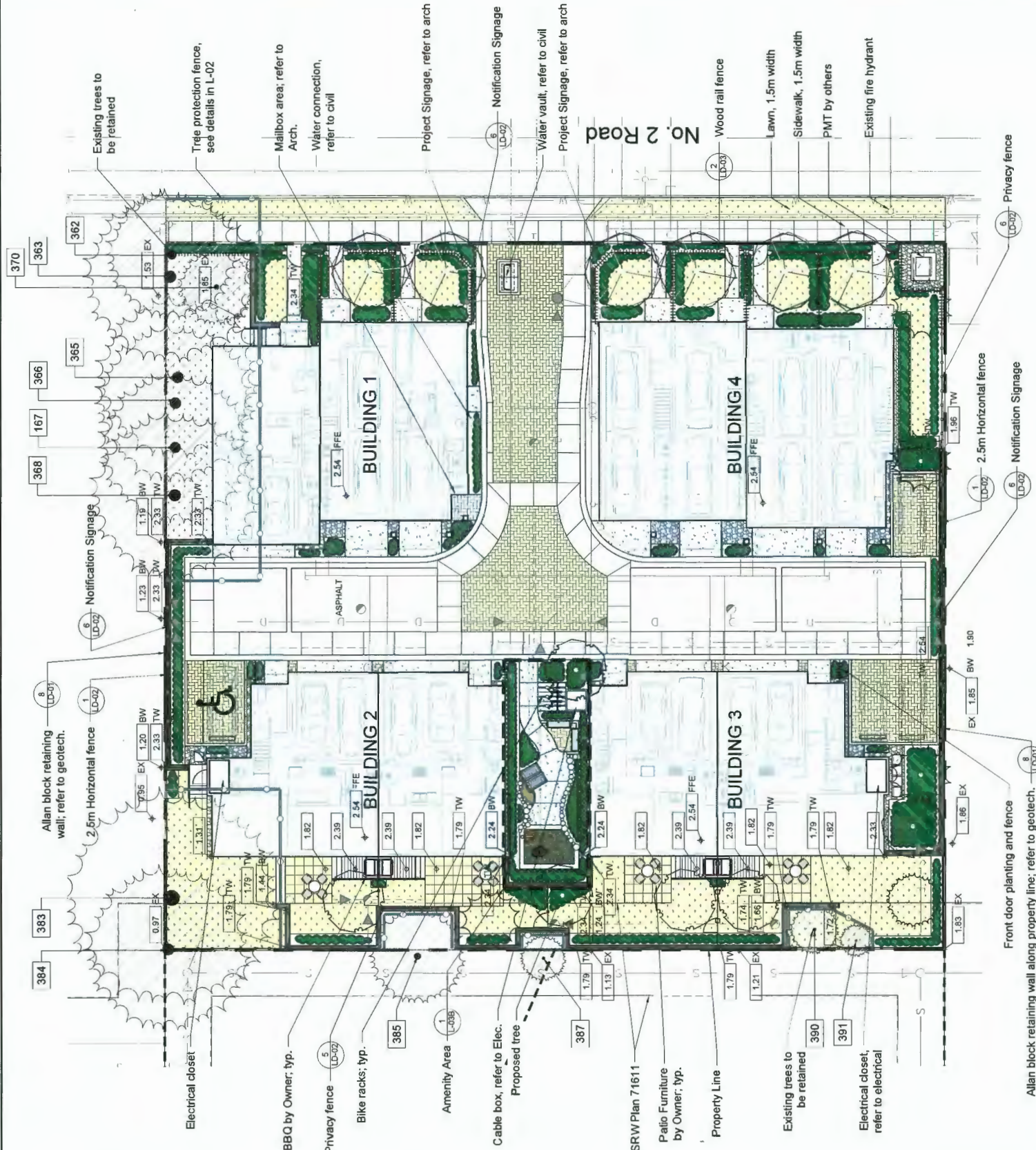
SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-01	PROPOSED TREE
	1 LD-02	EXISTING TREE
		SOD See Critical Landscape Notes for Specifications
	5 LD-03	PEA GRAVEL
	2 LD-02	SAND
	2, 3 LD-01	SHRUB PLANTING

DP 18-829204
PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT.	CAL.	QTY
	Cercidiphyllum japonicum / Katsura Tree	B & B	11 cm	6
	Picea omorika / Serbian Spruce	6m std.		4
	Pinus flexilis 'Vanderwolf's Pyramid' / Vanderwolf's Pyramid Pine	6m std.		1
	Stewartia pseudocamellia / Japanese Stewartia	B & B	11 cm	6

1:150 0 1.5m 3 4.5 6 7.5 9 10.5 12 13.5 15 16.5 18 19.5 21 22.5



Front door planting and fence (for Building 2 & 3)



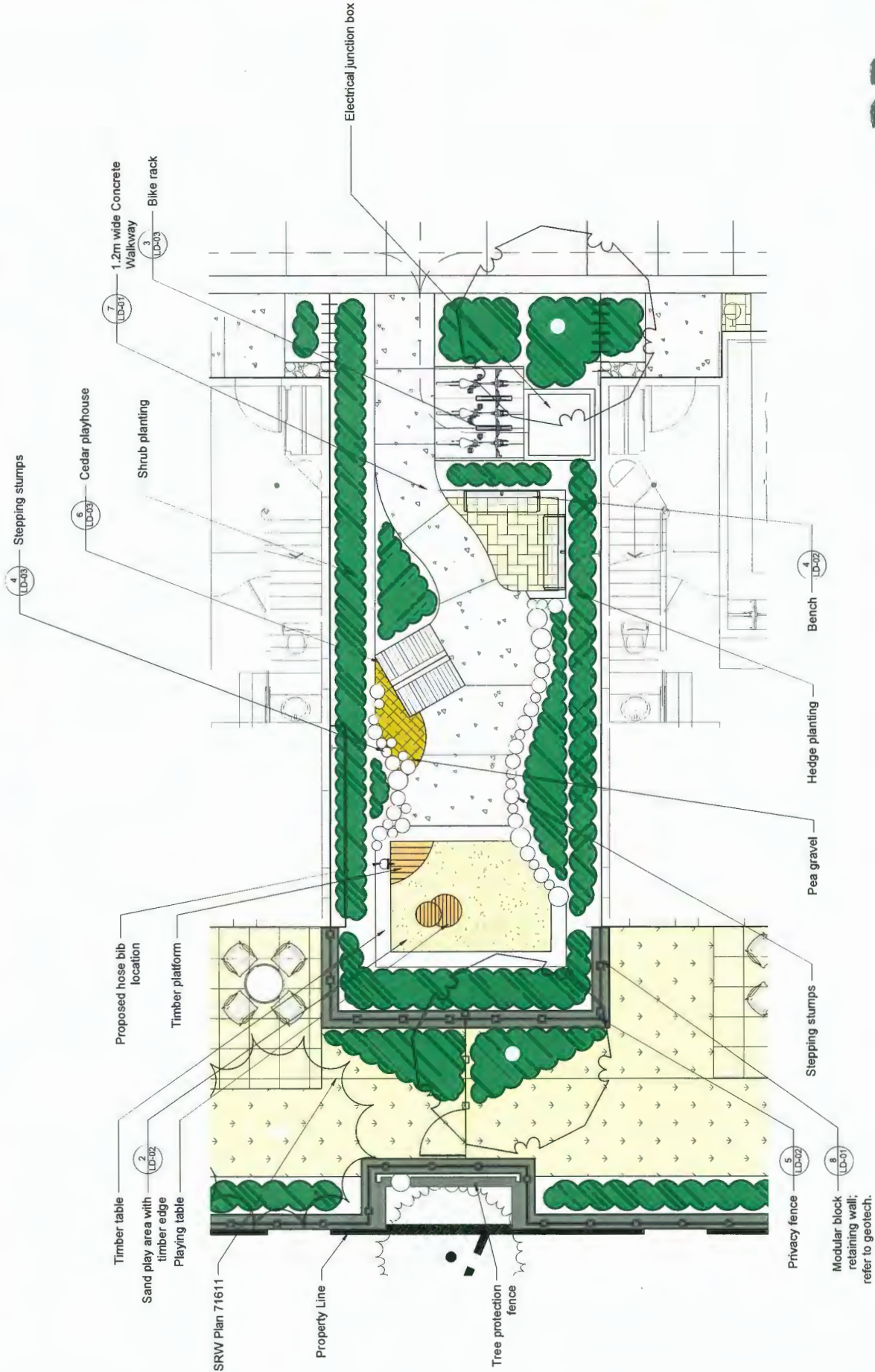
SAND BOX



PLAY HOUSE



STEPPING STUMPS



HARDSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	7 LD-01	CONCRETE SLAB (pedestrian)
	8 LD-01	ALLAN BLOCK RETAINING WALL
	5 LD-01	HYDRAPRESSED SLAB
	3 LD-03	Bike Rack Material: Stainless Steel Finish: Powder Coat Support: Retaining Wall Mount: Surface

FENCING

KEY	REF.	DESCRIPTION
	5 LD-02	PRIVACY FENCE

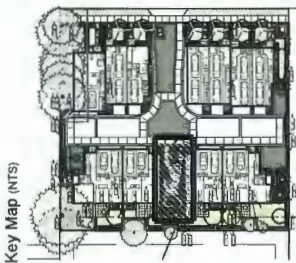
SOFTSCAPE MATERIALS

KEY	REF.	DESCRIPTION
	1 LD-01	PROPOSED TREE
		SOD See Critical Landscape Notes for Specifications
	5 LD-03	PEA GRAVEL
	2 LD-02	SAND
	2, 3 LD-01	SHRUB PLANTING
	2, 3 LD-01	HEDGE PLANTING
	2, 3 LD-01	PERENNIAL PLANTING

DP 18-829 204

1:50

PLAN #19



No.	By	Description	Date
12	TM	Issued for ADP	Feb. 18, 2020
11	TM	Issued for ADP	Jan. 10, 2020
10	TM	Issued for ADP	Jan. 06, 2020
9	TM	Issued for BP	Dec. 02, 2019
8	TM	Issued for DP	Sep. 16, 2019
7	TM	Issued for DP	Jun. 16, 2019
6	TM	Issued for Re-zoning	Feb. 27, 2019
5	TM	Issued for Re-zoning	Feb. 12, 2019
4	TM	Issued for Re-zoning	Feb. 04, 2019
3	TM	Issued for Re-zoning	Nov. 02, 2018
2	TM	Issued for Re-zoning	Oct. 2, 2018
1	TM	Issued for Re-zoning	June 8, 2018

No.	By	Description	Date
12	TM	Issued for ADP	Feb. 18, 2020
11	TM	Issued for ADP	Jan. 10, 2020
10	TM	Issued for ADP	Jan. 06, 2020
9	TM	Issued for BP	Dec. 02, 2019
8	TM	Issued for DP	Sep. 16, 2019
7	TM	Issued for DP	Jun. 16, 2019
6	TM	Issued for Re-zoning	Feb. 27, 2019
5	TM	Issued for Re-zoning	Feb. 12, 2019
4	TM	Issued for Re-zoning	Feb. 04, 2019
3	TM	Issued for Re-zoning	Nov. 02, 2018
2	TM	Issued for Re-zoning	Oct. 2, 2018
1	TM	Issued for Re-zoning	June 8, 2018



DP2018-35
VDZ Project #:

L-02B
Drawing #:

AMENITY AREA
Drawing Title:



PLAN # 20

PLANT SCHEDULE				
SHRUBS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
B	Buxus microphylla 'Little Gem'	#2	0.60m	98
BU	Buxus suffruticosa	#1	0.40m	122
Ca	Calluna vulgaris	#2	0.50m	33
C	Cantharus blythii 'Victoria'	#3	1.20m	2
H	Hydrangea paniculata 'Little Lime'	#3	0.90m	25
L	Little Lime Hardy Hydrangea	#1	0.80m	37
U	Ulmus americana 'Hidcote'	#5	0.60m	37
Nr	Nandina domestica 'Fire Power'	#3	0.50m	23
X	Penstemon albertianus 'Little Bunny'	#1	0.60m	69
P	Perovskia x Little Spire	#1	0.60m	49
F	Polystichum multifidum	#1	0.90m	7
R	Rosa x Noisettee	#2	0.90m	32
T	Taxus x media 'Hickii'	1.2m ht.	0.60m	32
TH	Thymus serpyllifolius 'Emerald'	1.8m ht.	0.75m	50
VA	Vaccinium ovatum	#2	0.70m	64
VE	Evergreen huckleberry			
VINESPALIER	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
CL	Clematis armandi	#2	0.50m	8
PA	Parthenocissus quinquefolia	#1	0.40m	3
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
GER	Geranium x Johnson's Blue	#1	300mm	111
IBE	Iberis sempervirens	#1	350mm	158
CD	Candytuft			

- Note:
- Irrigation to be designed to IIABC Standards.
 - All softscape to be irrigated.

LEGEND

KEY	REF.	DESCRIPTION
		IRRIGATION SLEEVE

No. 2 Road

DP 18-829204

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

PLAN #21

FENCING

KEY	REF.	DESCRIPTION
	1 LD-02	2.0M HORIZONTAL SCREEN
	2 LD-03	WOOD RAIL FENCE
	1 LD-03	HANDRAIL ON STAIRS
	5 LD-02	PRIVACY FENCE
	2 L-02	TREE PROTECTION FENCE
	2 LD-03	1.2m GATES To match fence type
		GATES To match fence type

WALLS

KEY	REF.	DESCRIPTION
	8 LD-01	MODULAR BLOCK RETAINING WALL Colour: grey

No. 2 Road

DP 18-829204

1:100 0 1m 2 3 4 5 6 7 8 9 10 11 12 13 14 15

8
LD-01
MODULAR BLOCK
RETAINING WALL

No.	Sr.	Description	Date
12	TM	Issued for ADP	Feb. 18, 2020
11	TM	Issued for ADP	Jan. 10, 2020
10	TM	Issued for ADP	Jan. 06, 2020
9	TM	Issued for BP	Dec. 02, 2019
8	TM	Issued for DP	Sep. 16, 2019
7	TM	Issued for DP	Jan. 16, 2019
6	TM	Issued for R-Zoning	Feb. 27, 2019
5	TM	Issued for R-Zoning	Feb. 12, 2019
4	TM	Issued for R-Zoning	Feb. 04, 2019
3	TM	Issued for R-Zoning	Nov. 02, 2018
2	TM	Issued for R-Zoning	Oct. 2, 2018
1	TM	Issued for R-Zoning	June 8, 2018

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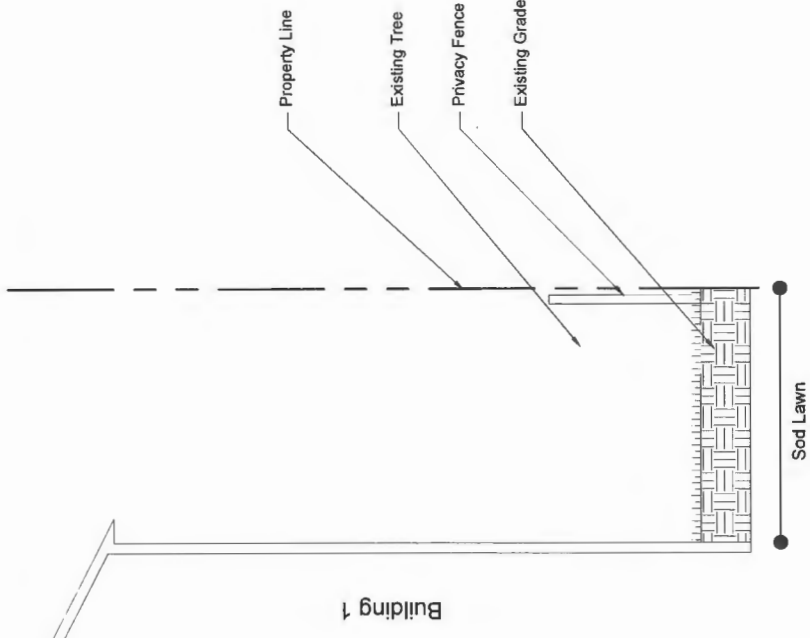
Project: Crofton Mews
City File No: RZ 17-785742

Location: 9391 - 9411 No. 2 Road,
Richmond, B.C.

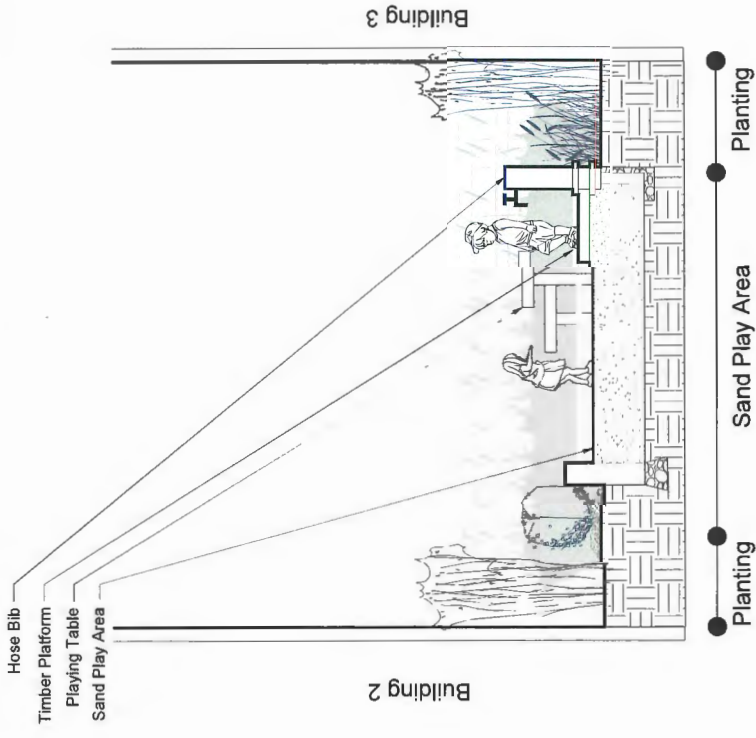
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Checked: TM	Approved: MV/DZ	

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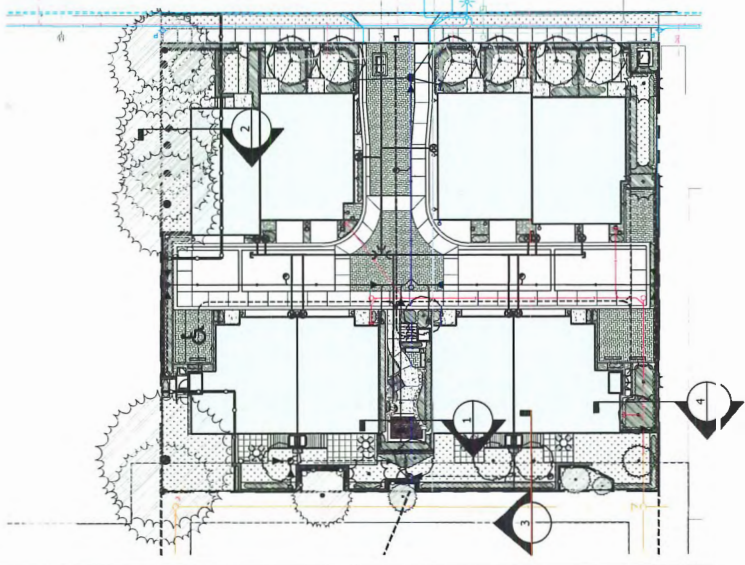
PLAN # 22



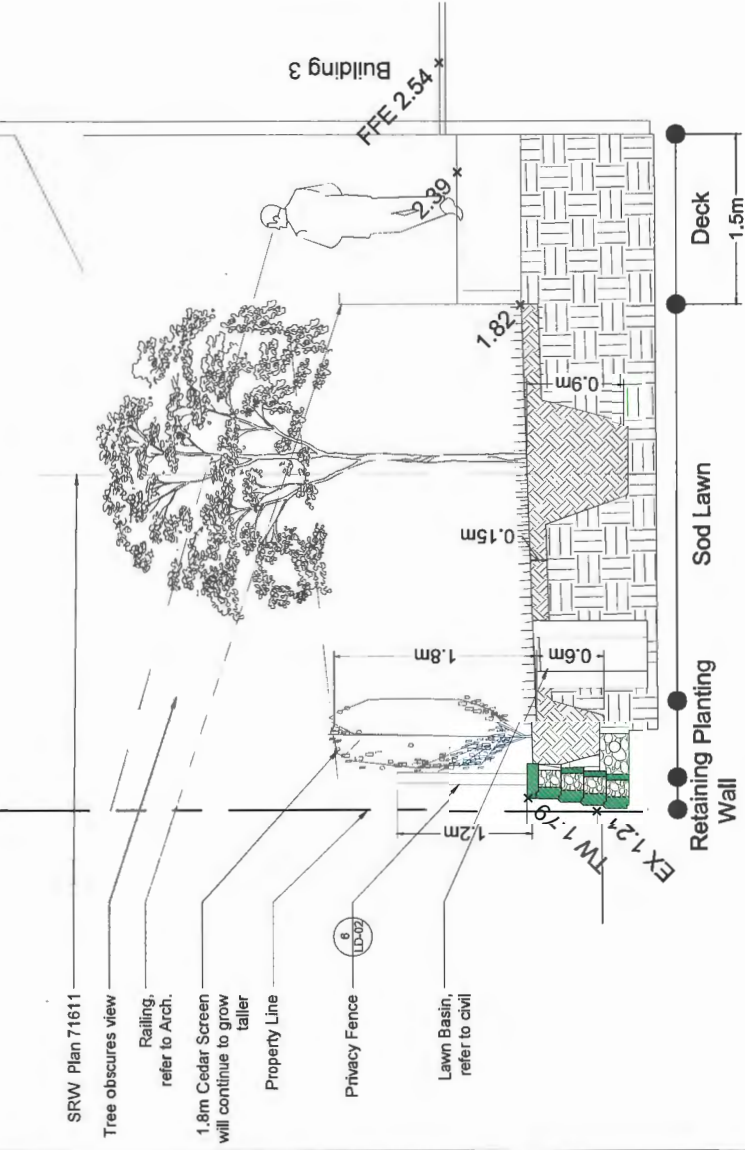
2 Building 1 - West Facing
Scale 1:40



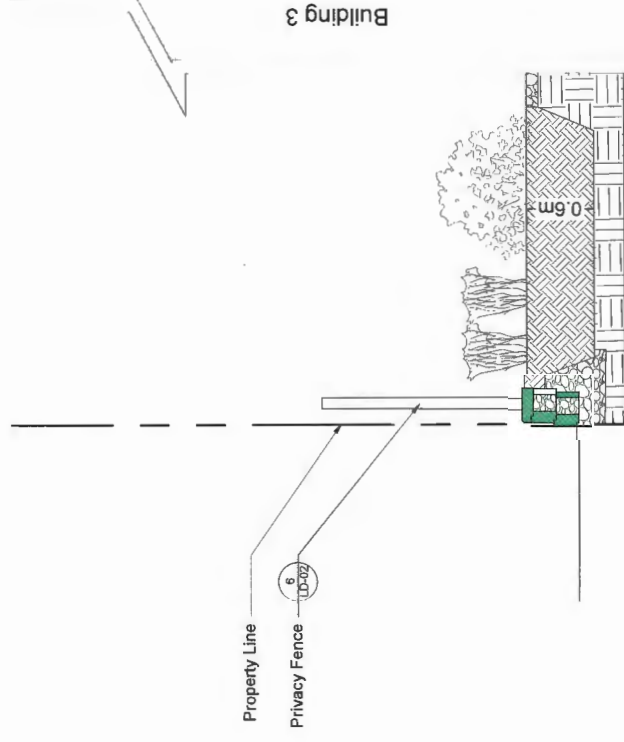
1 Amenity Area - West facing
Scale 1:30



0 Key plan



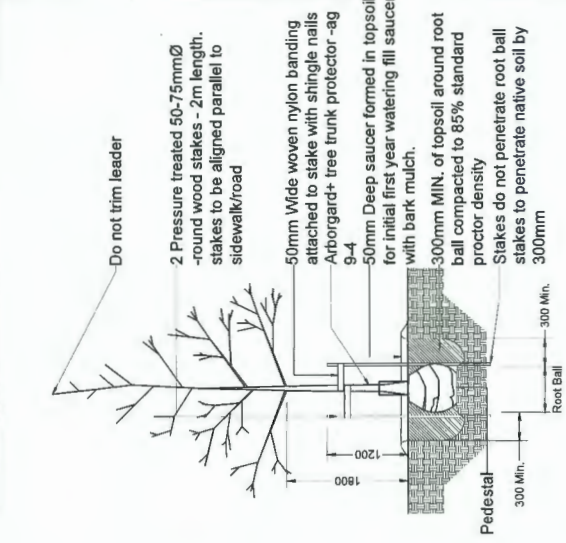
3 Building 3 - North Facing
Scale 1:30



4 Building 3 - West Facing
Scale 1:30

Retaining Wall Shrub Planting Drip Strip

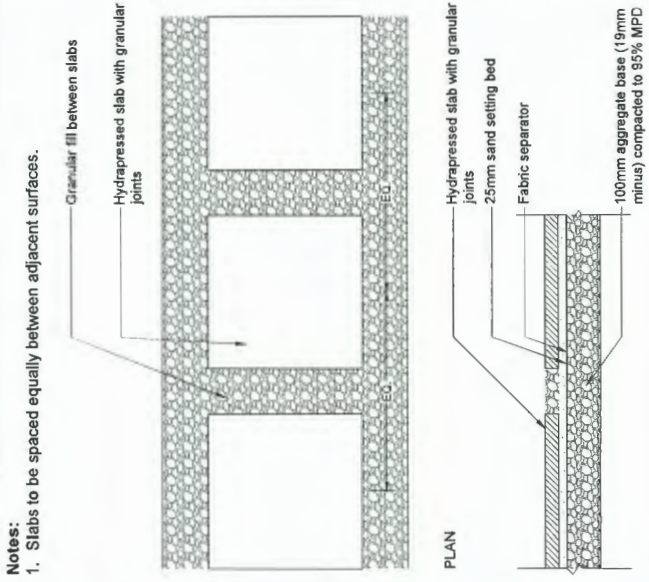
DP 18-829204



NOTES

- 1) Sacking/burlap to be loosened and dropped to the bottom of the planting hole. all string, twine, etc to be removed.
- 2) All wire baskets shall have the top 1/3 of the wire removed prior to planting.
- 3) All trees shall be single stem

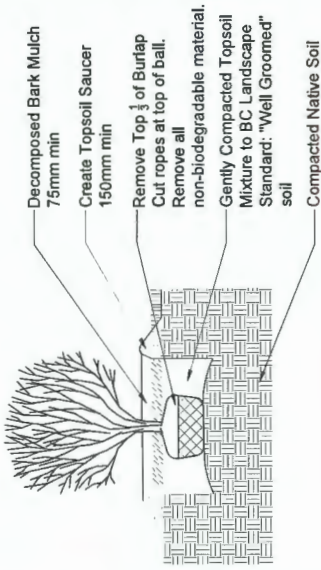
1 DECIDUOUS TREE PLANTING
Scale 1:50



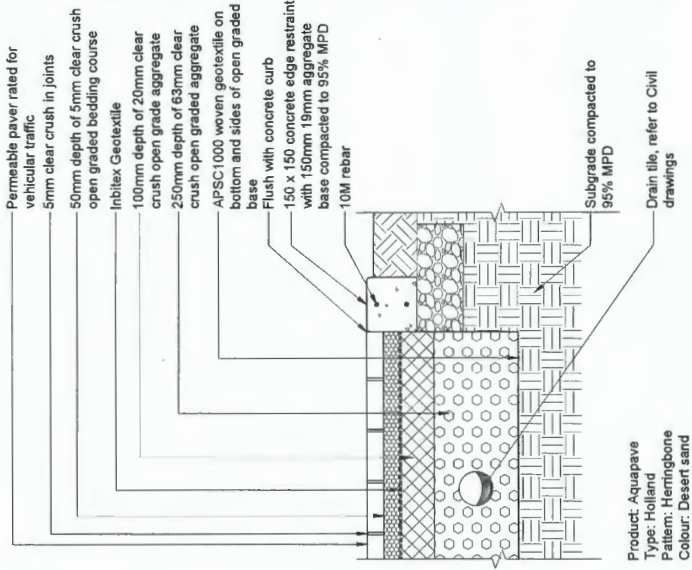
Notes:

1. Install all components as per manufacturer's specifications.
2. Supplier: Abbotsford Concrete or approved Equal
3. Type: Texada
4. Sizes: 610mm x 610mm, 457mm x 457mm
5. Color: Charcoal

5 HYDRAPRESSED SLABS
Scale 1:10



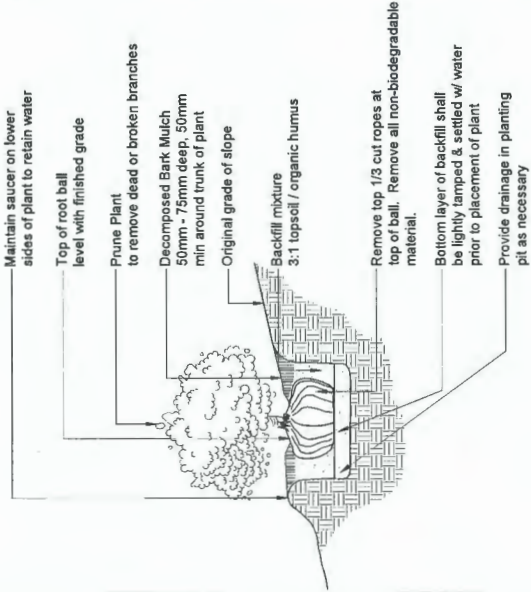
2 SHRUB PLANTING
Scale 1:25



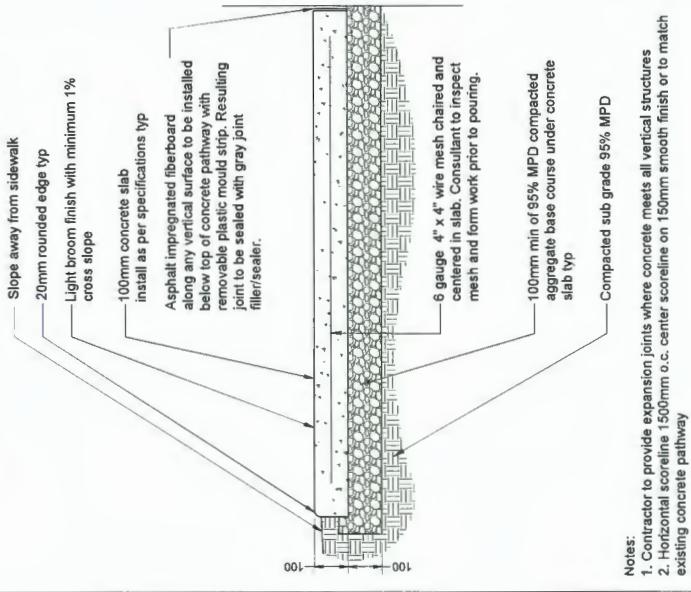
Notes:

1. Install all components as per manufacturer's specifications.
2. AquaPave - Part Exfiltration System
3. Concrete curb control joint every 3m.

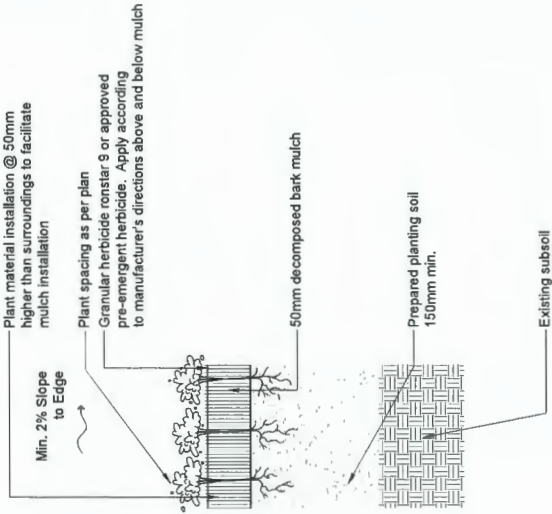
6 PRECAST CONCRETE PAVERS (VEHICULAR)
Scale 1:10



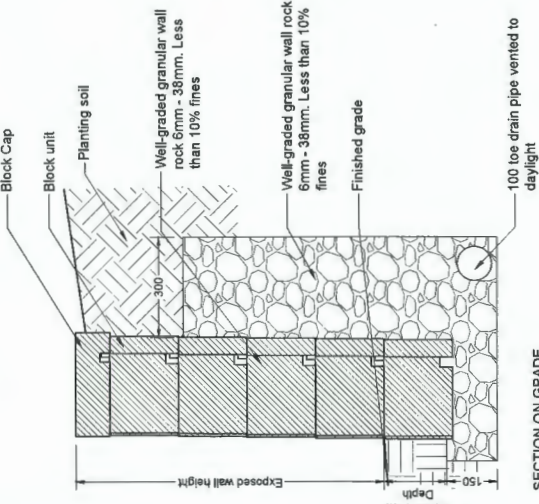
3 SHRUB PLANTING ON A SLOPE
Scale 1:25



7 CONCRETE PATHWAY (PEDESTRIAN)
Scale 1:10



4 GROUNDCOVER PLANTING
Scale 1:10



Notes:

1. Refer to Geotechnical for all wall construction details.
2. Valley Stone. Colour: Grey
3. Install with vertical batter setting.

18-829204

8 MODULAR BLOCK WALL
Scale 1:10

No.	By	Description	Date
12	TM	Issued for ADP	Feb. 18, 2020
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3	TM	Issued for Re-Zoning	Nov. 02, 2018
2	TM	Issued for Re-Zoning	Oct. 2, 2018
1	TM	Issued for Re-Zoning	June 8, 2018
No.	By	Description	Date

REVISIONS TABLE FOR DRAWINGS

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Project:
Crofton Mews
City File No: RZ 17-785742

Location:
9391 - 9411 No. 2 Road,
Richmond, B.C.

Drawn:
DV

Stamp:

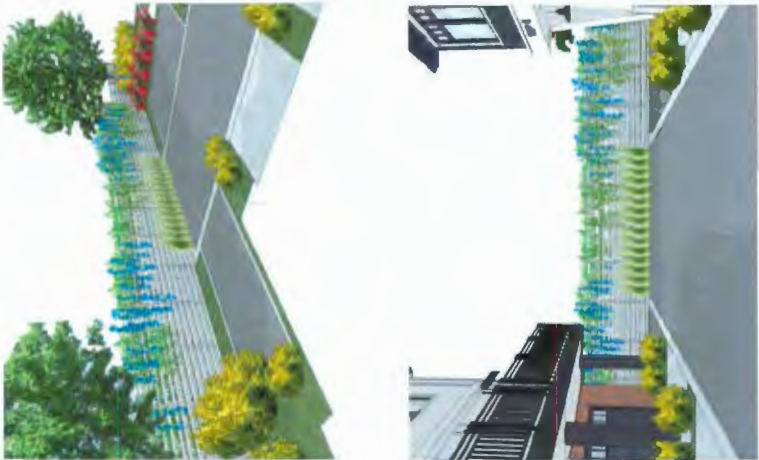
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Approved:
MVDZ

Original Sheet Size:
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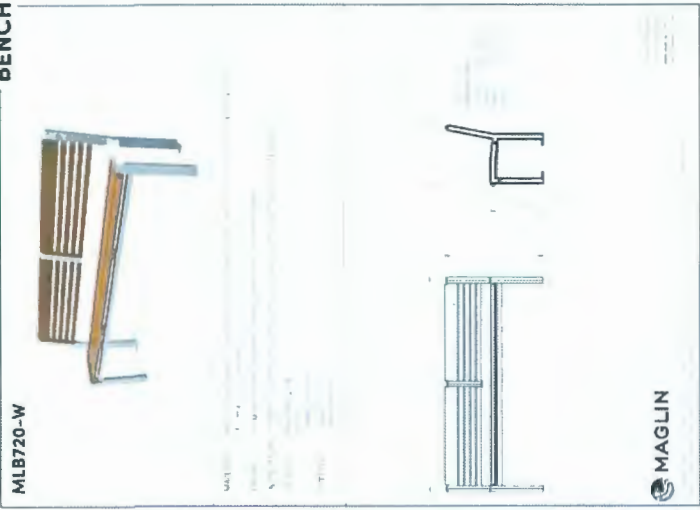
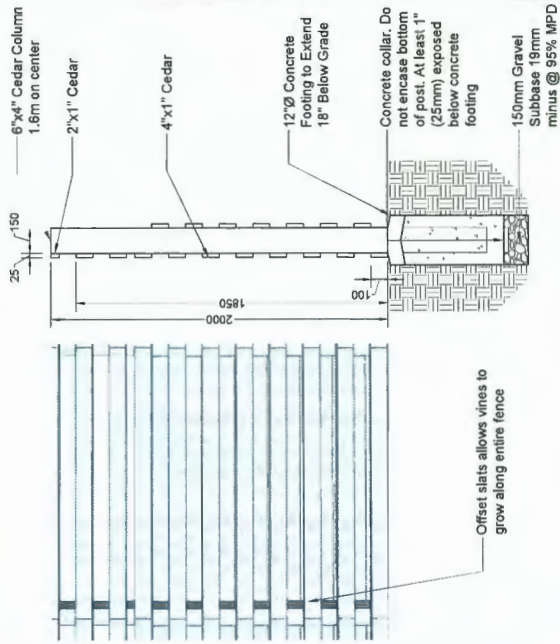
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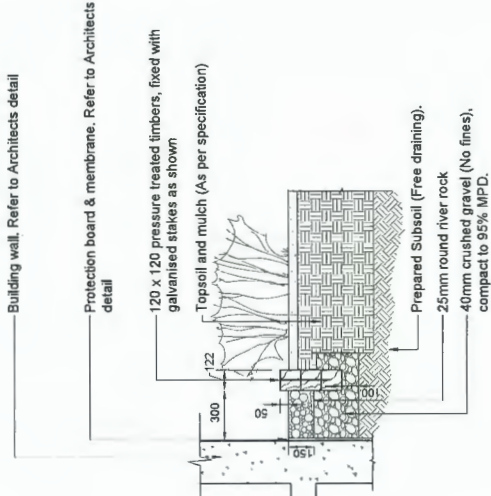


1 2.0M HORIZONTAL FENCE
Scale 1:20

- Note:
1. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.
 2. Apply Sikens Cetol SRD to all Cedar elements. Colour: White, refer to building wall.



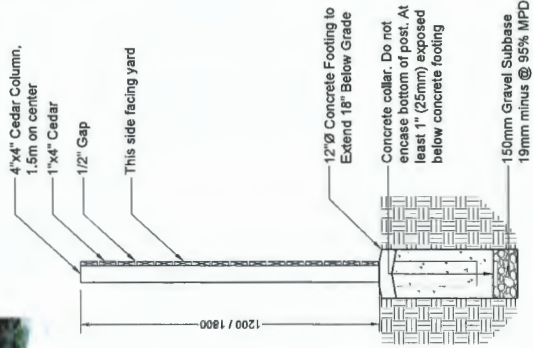
4 BENCH
NTS



3 DRIP STRIP
Scale 1:20

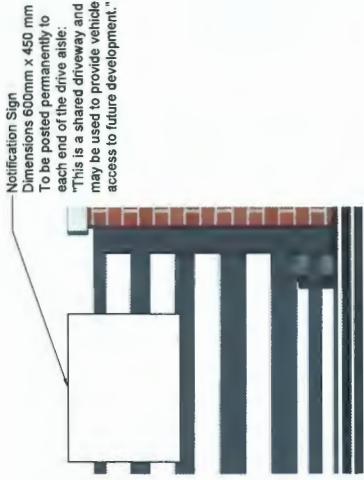


2 SAND BOX
Scale 1:10



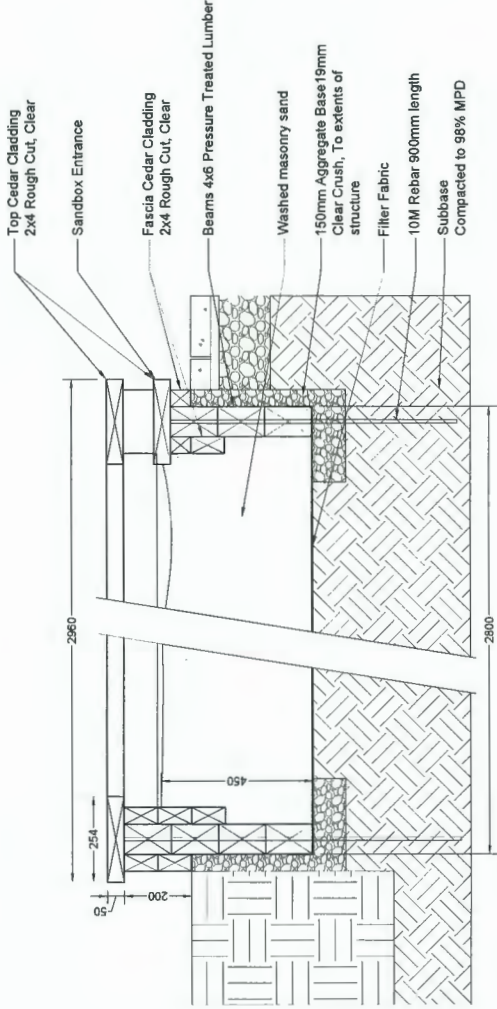
- Note:
1. Ensure all fasteners exposed to weather are hot-dipped galvanized to prevent staining.
 2. Apply Sikens Cetol SRD to all Cedar elements. Colour: White, refer to building wall.

5 PRIVACY FENCE
NTS



- Note:
1. Technical Signage Re: ROW expansion potential. Locate as shown on L-02A Site Plan.
 2. Signage may be affixed to fence or stand alone on a 4x4 pressure treated post, and must stand above the landscape planting.

6 NOTIFICATION SIGNAGE
NTS



- Notes:
1. All exposed decking and fascia to be sanded smooth.
 2. Apply Sikens Cetol SRD to all Cedar elements. Colour: Oak.
 3. All members to be fastened with hot dipped galvanized hardware.

PLAN # 24

No.	By:	Description	Date
12	TM	Issued for ADP	Feb. 18, 2020
11	TM	Issued for ADP	Jan. 10, 2020
10	TM	Issued for ADP	Jan. 08, 2020
9	TM	Issued for BP	Dec. 02, 2019
8	TM	Issued for DP	Sep. 16, 2019
7	TM	Issued for DP	Jun. 18, 2019
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4	TM	Issued for Re-zoning	Feb. 04, 2019
3	TM	Issued for Re-zoning	Nov. 02, 2018
2	TM	Issued for Re-zoning	Oct. 2, 2018
1	TM	Issued for Re-zoning	June 8, 2018

No.	By:	Description	Date
1	TM	Revision For ADP	Mar. 8, 2020
No.	By:	Description	Date

Project:
Crofton Mews
City File No: RZ 17-785742

Location:
9391 - 9411 No. 2 Road,
Richmond, B.C.

Stamp:

Drawn:
DV
FW

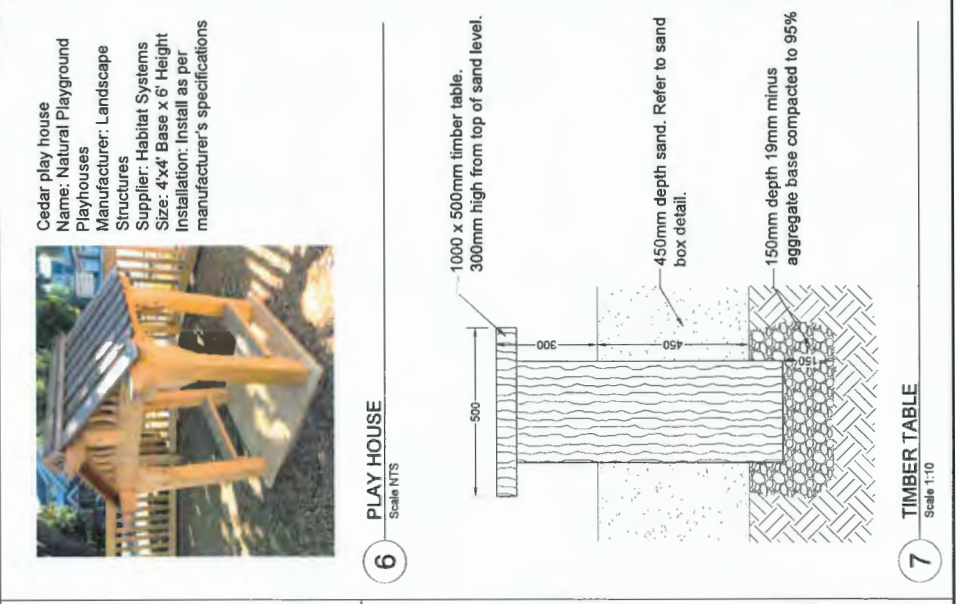
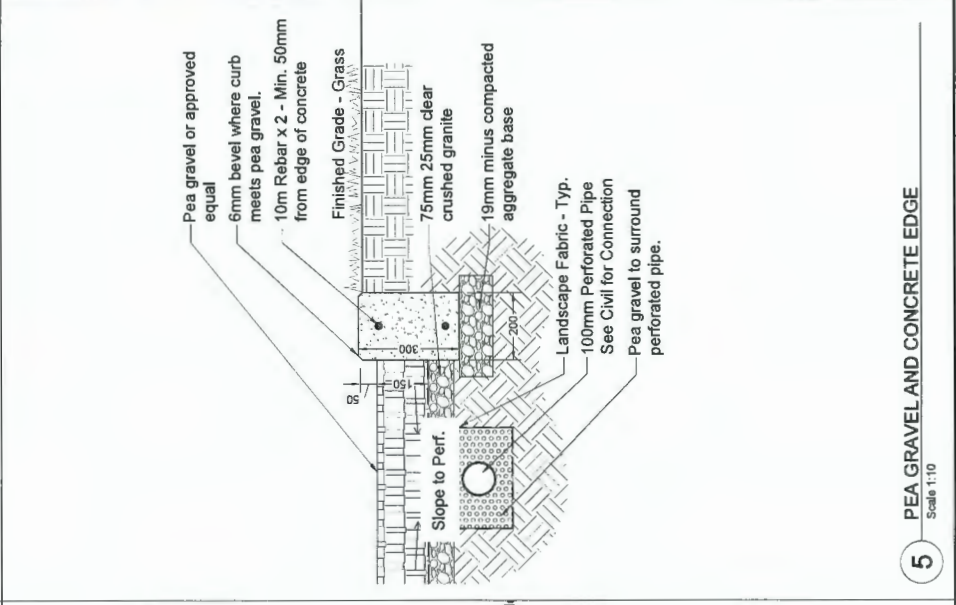
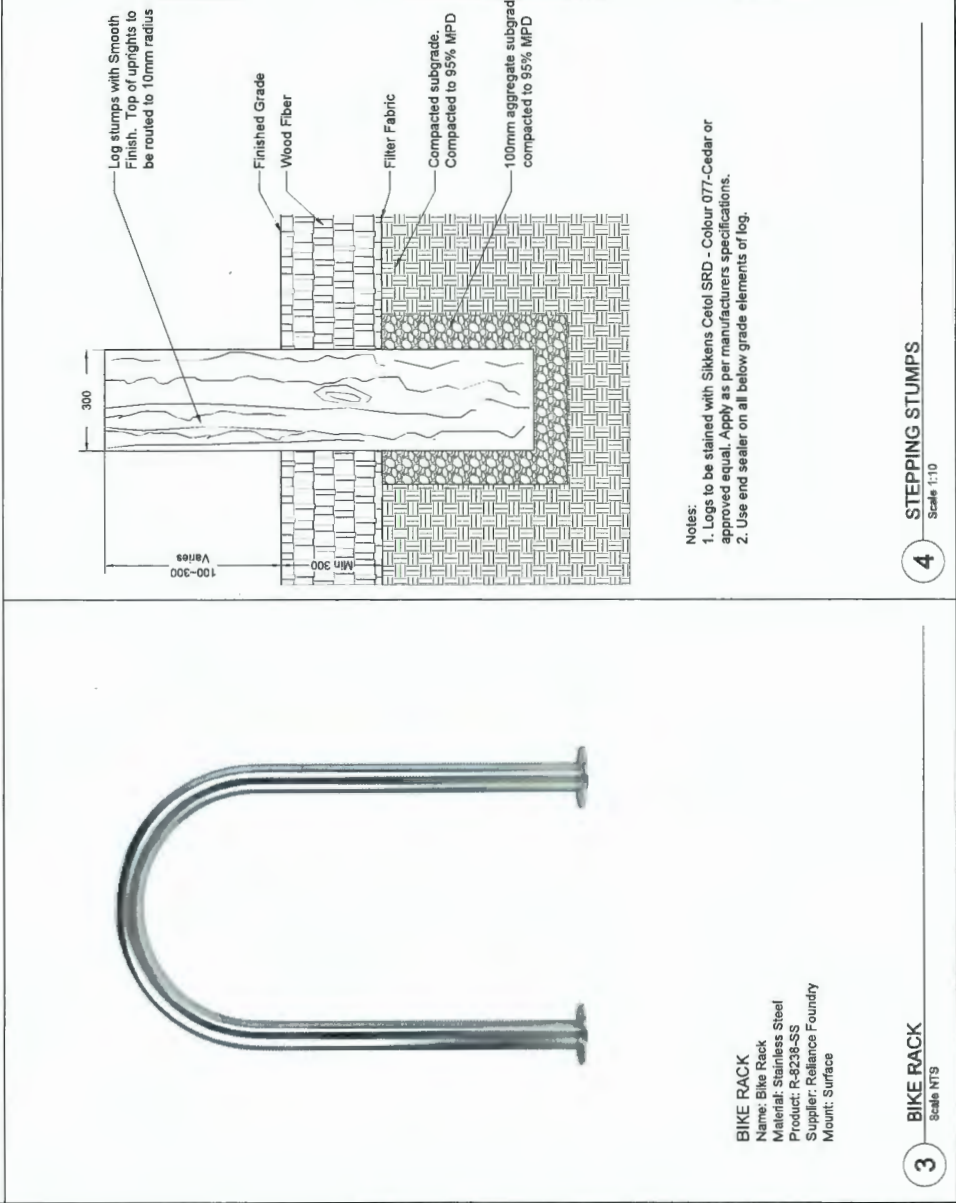
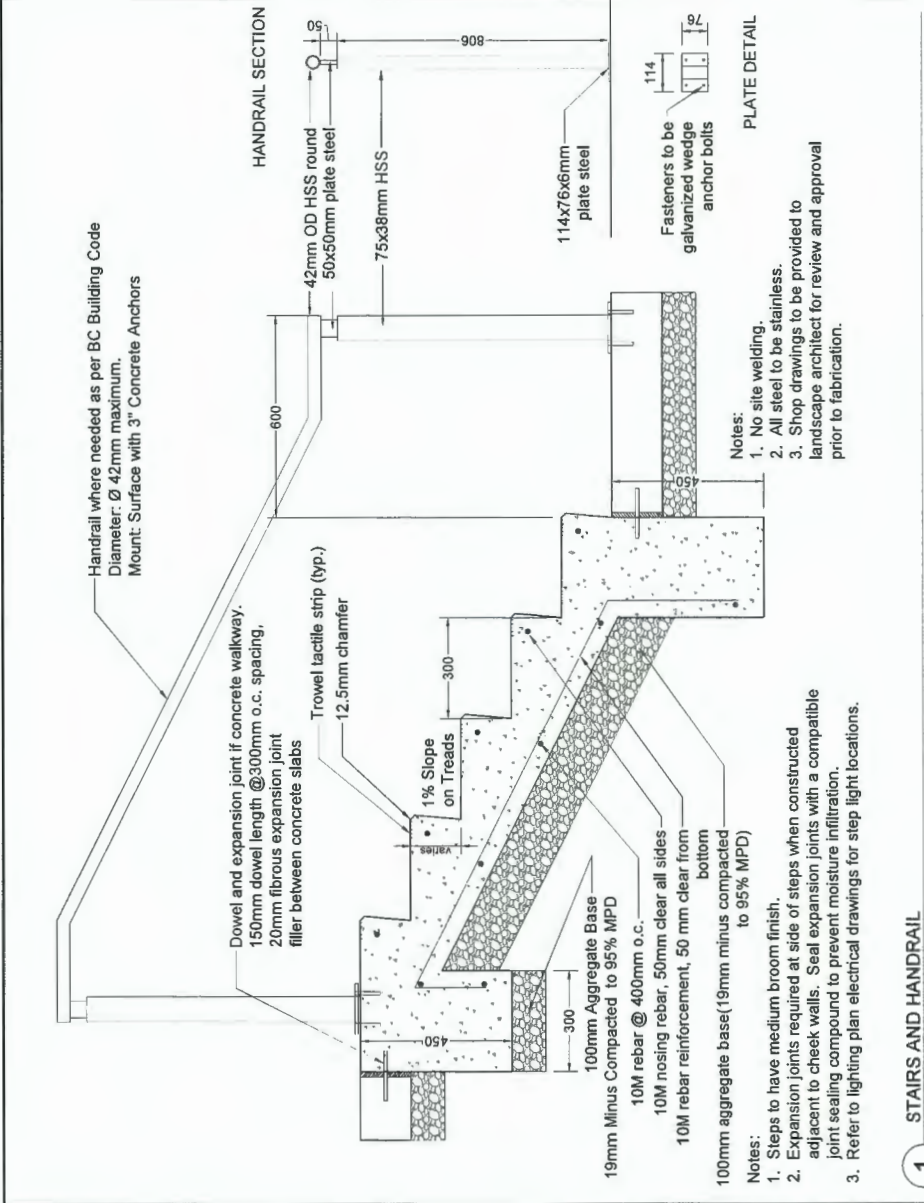
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Approved:
MVDZ

Original Sheet Size:
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Scale:
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REVISIONS TABLE FOR DRAWINGS

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12	TM	Issued for ADP	Feb. 18, 2020
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2	TM	Issued for Re-zoning	Oct. 2, 2018
1	TM	Issued for Re-zoning	June 8, 2018

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date
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VDZ Project #: DP2018-35

Drawing Title: DETAILS

Drawing #: LD-03

Project: Crofton Mews
City File No: RZ-17-785742

Location: 9391 - 9411 No. 2 Road,
Richmond, B.C.

Drawn: DV
FW

Checked: TM

Approved: MVDZ

Original Sheet Size: 24"x36"

Scale: AS SHOWN

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PLAN #25

DP 18-829204

VDZ+A

LANDSCAPE ARCHITECTURE CIVIL ENGINEERING URBAN PLANNING

FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO

100-9181 Church St | 100-3555 Kingsway

FORT LANGLEY | MOUNT PLEASANT, B.C.

VLM 2881 VST 317

604-882-0024

www.vdz.ca



CROFTON MEWS

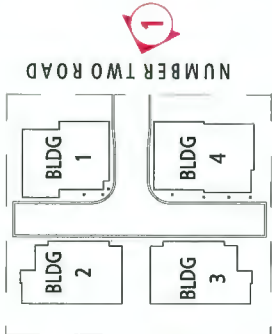
9391 - 9411
No 2 ROAD

DP 18-829204

REF #1



VIEW 1



KEY PLAN

9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.

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PERSPECTIVES

ADP MEETING
DP-18-829204
FEBRUARY 14, 2020

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architecture inc.
BRITISH COLUMBIA • ALBERTA • WASHINGTON
200 - 2425 Quebec Street 604.873.2907
Vancouver, BC V5T 4L6 fougerearchitecture.ca



VIEW 2

PERSPECTIVES

ADP MEETING
DP-18-829204
FEBRUARY 12, 2020



FOUGERE
architecture inc.
BRITISH COLUMBIA • ALBERTA • WASHINGTON
202 • 7425 Quebec Street 504.873.2907
Vancouver, BC V5T 4L5 fougerearchitecture.ca

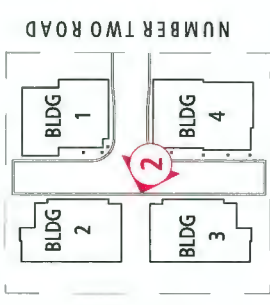
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No 2 ROAD
for
Citimark Projects Corp.

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KEY PLAN

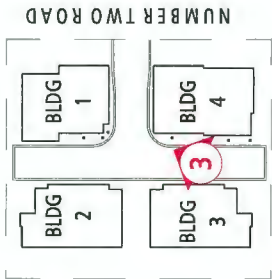


DP 18-829204

REF #3



VIEW 3



KEY PLAN

9391 - 9411
No 2 ROAD
for
Citimark Projects Corp.

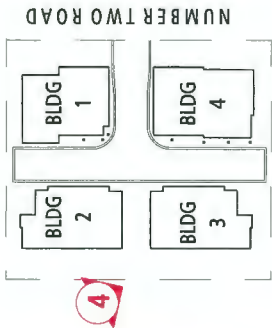
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PERSPECTIVES



VIEW 4



KEY PLAN

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No 2 ROAD
for
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PERSPECTIVES



9471 No 2 Road

R

PROPOSED DEVELOPMENT

R

9371 No 2 Road

STREETSCAPE

9391 - 9411
No 2 Road
for
Citimark Projects Corp.

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STREETSCAPE
YARDSCAPE

SCALE: 3/32" = 1'-0"



ADP MEETING
DP-18-829204
FEBRUARY 12, 2020

