



## Development Permit Panel

Council Chambers, City Hall  
6911 No. 3 Road

Wednesday, April 28, 2021  
3:30 p.m.

### MINUTES

*Motion to adopt the minutes of the Development Permit Panel meeting held on April 14, 2021.*



1. **DEVELOPMENT PERMIT 15-699652**  
(REDMS No. 6044330 v. 4)

APPLICANT: GBL Architects

PROPERTY LOCATION: 8091 Capstan Way

### Director's Recommendations

*That a Development Permit be issued which would:*

1. *permit the construction of a two-tower, mixed use development consisting of ground floor retail, a 72-room hotel, and 137 dwelling units, including nine affordable low-end-of-market rental housing units and 128 market ownership units, at 8091 Capstan Way on a site zoned "Residential/Limited Commercial (RCL5)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:*
  - (a) *reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and*

## Development Permit Panel – Wednesday, April 28, 2021

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ITEM

- (b) *reduce the minimum required number of medium truck loading spaces from three to two.*



2. **New Business**

3. **Date of Next Meeting: May 12, 2021**

**ADJOURNMENT**



## Development Permit Panel Wednesday, April 14, 2021

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Joe Erceg, Chair  
Cecilia Achiam, General Manager, Community Safety  
Milton Chan, Director, Engineering

The meeting was called to order at 3:30 p.m.

### Minutes

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on March 24, 2021 be adopted.*

**CARRIED**

### 1. DEVELOPMENT PERMIT 17-792931

(REDMS No. 6612976)

APPLICANT: Urban Era Builders & Developers Ltd.

PROPERTY LOCATION: 9700, 9720 and 9800 Williams Road

#### INTENT OF PERMIT:

Permit the construction of 18 townhouses, including three affordable housing units, at 9700, 9720 and 9800 Williams Road on a site zoned "Town Housing (ZT81) - Williams Road".

## **Development Permit Panel**

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#### **Applicant's Comments**

Khalid Hasan, Urban Era Builders and Developers, Ltd., introduced the project, noting that the project includes three affordable housing rental units.

Eric Law, Eric Law Architect, with the aid of a visual presentation (copy on file, City Clerk's office), provided background information on the proposed development including its site context, design rationale, site plan, building elevations and façade treatments, proposed building materials and floor plans, highlighting the following:

- three-storey townhouse units are proposed along Williams Road and two-storey townhouses units are sited at the rear of the site in response to neighbouring single-family homes along the south side;
- proposed vehicle access is from Williams Road and there will be future connections of the proposed east-west internal drive aisle on the subject site to neighbouring properties to the east should these redevelop into a townhouse development in the future; and
- the existing public walkway along the west property line will be improved and widened and will provide pedestrian access to townhouse units along the west side as well as to the proposed common outdoor amenity area.

Donald Duncan, Donald Duncan Development Consultant Landscape Architect, provided an overview of the main landscape features of the project, noting that (i) the common outdoor amenity area is envisioned as a community gathering space, (ii) individual entrances to the townhouse units fronting the public walkway along the west property line will be gated, (iii) the size of trees proposed to be planted is appropriate for the size of the proposed development, and (iv) permeable paving treatment is proposed on portions of the internal drive aisles, including along the internal pedestrian walkways to enhance pedestrian safety.

#### **Panel Discussion**

In reply to queries from the Panel, Mr. Law and Mr. Duncan noted that (i) pedestrian access to the common outdoor amenity area from the public walkway will be gated, and (ii) appropriate measures including installation of barriers will be undertaken in order to protect the retained trees during construction.

In reply to a query from the Panel, Wayne Craig, Director, Development, acknowledged that lighting along the public walkway will be provided through the Servicing Agreement for the proposed development.



## **Development Permit Panel**

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#### **Staff Comments**

Mr. Craig noted that (i) the three affordable housing rental units will be subject to a Housing Agreement to ensure tenant eligibility is consistent with the City's Affordable Housing Strategy, (ii) the proposed development includes two convertible units, and (iii) a Servicing Agreement is associated with the project for site servicing and frontage works along Williams Road and improvements to the public walkway along the western edge of the subject site.

Mr. Craig further noted that revised Development Permit Considerations (attached to and forming part of these Minutes as Schedule 1) were distributed on table for Panel which clarify the legal agreement on driveway cross access to the future development to the east of the subject site and include the provision of wayfinding signage as part of the agreement.

In reply to queries from the Panel, Mr. Craig clarified that (i) signage will be installed at the driveway entry of the subject site which include the address of the future development to the east, (ii) a left turn signage to the future development will be installed at the intersection of the driveway and the east-west internal drive aisle, (iii) the signages will not be installed until the future development occurs, and (iv) signage will be installed at the terminus of the east-west internal drive aisle of the subject site indicating that future access to the east will be provided.

#### **Gallery Comments**

None.

#### **Correspondence**

Earl Luk and Quennie Law, 10031 No.4 Road (Schedule 2)

King Luk, 9840 Williams Road (Schedule 3)

Mr. Craig noted that (i) the above pieces of correspondence include, among others, a request for shared driveway access through the subject site for the future development to the east including installation of wayfinding signage, (ii) shared driveway access and installation of wayfinding signage on the subject site have been secured in an agreement, and (iii) staff has provided a written response to these correspondence.

#### **Panel Discussion**

The Panel expressed support for the project and appreciated the provision of three affordable low-end-market-rental (LEMR) units.

## Development Permit Panel

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#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would permit the construction of 18 townhouses, including three affordable housing units, at 9700, 9720 and 9800 Williams Road on a site zoned "Town Housing (ZT81) - Williams Road".*

**CARRIED**

#### 2. DEVELOPMENT PERMIT 17-794169

(REDMS No. 6575604)

APPLICANT: Yuanheng Seaview Developments Ltd. and Yuanheng Seaside Developments Ltd.

PROPERTY LOCATION: 3311 No. 3 Road and 3399 Corvette Way

#### INTENT OF PERMIT:

1. Permit the construction of a high-rise mixed use development, including two residential towers containing 275 dwellings (with 22 affordable housing units), an office tower, street-oriented commercial uses, and a new City-owned community centre, at 3311 No. 3 Road; and
2. Permit the construction of a high-rise multiple-family development, including two residential towers containing 89 dwellings, at 3399 Corvette Way;

on lands zoned "Residential/Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)".

#### Applicant's Comments

Wing Leung, W.T. Leung Architects, with the aid of a PDF and video presentation (copy on file, City Clerk's office), provided background information on Phase 2 (Lot B) and Phase 3 (Lot C) of the three-phase Viewstar development, including among others, their site context, site plan, architectural form and character, building elevations and façade treatments, highlighting the following:

- Lot B includes two residential towers, commercial uses including an office tower, a City-owned community centre, a public plaza at the southeast corner and a pocket park at the southwest corner of the subject lot;
- the entrance to the parking garage (two levels below grade and three levels above grade) including loading for Lot B is located off McMyn Way and the parking garage is wrapped by the surrounding buildings;
- the curved façade of the office tower is anchored at the prominent No. 3 Road and Sea Island Way corner;
- an articulated perforated metal screen provides visual interest and screening for the above-ground parking garage along Sea Island Way;

4.

## Development Permit Panel

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- there will be public art opportunities for the public plaza at the corner of No. 3 Road and McMyn Way as well as potentially on the façade of the community centre;
- curvilinear balconies with picket guards are proposed for the residential towers to provide visual interest and sun screening;
- triple glazing is proposed for all buildings in Lot B and Lot C;
- Lot B buildings have been designed to achieve Step 3 of the BC Energy Step Code;
- Lot C (Phase 3) includes two triangular-shaped residential towers linked by a skybridge containing a swimming pool;
- vehicle entrance to underground parking for Lot C is through an autocourt off Corvette Way;
- public access to the dike is provided at the north and south ends of Lot C;
- the landscaped River Road Park Entrance Plaza at the north end of Lot C provides public access and connects to the raised dike through stairs and ramps; and
- the Phase 3 (Lot C) site will achieve Step 2 of the BC Energy Step Code and a low carbon energy plant for the building will be provided in accordance with City policy.

Daryl Tyacke, ETA Landscape Architects, provided an overview of the main landscape features of Lot B, noting that (i) proposed landscaping at the corner of No. 3 Road and Sea Island Way includes large planting beds, seating areas and rectangular paving patterns representing an aerial view of agricultural plots in Richmond, (ii) a community centre plaza is located at the corner of No. 3 Road and McMyn Way for public events, (iii) seating areas and planting are proposed at the pocket plaza at the corner of McMyn Way and Corvette Way, (iv) structural soil is proposed for off-site tree planting around the edge of the subject site to provide adequate soil volume, and (v) landscaped multi-use outdoor amenity spaces for the residential and office towers are proposed on the podium roof level.

In addition, Mr. Tyacke briefed the Panel on the main landscape features of Lot C, noting that (i) stepped planter with seating and hedge planting provide screening to the south wall of the south building, (ii) hard and soft landscaping are proposed for the autocourt, (iii) an outdoor amenity area is proposed on Lot C podium that connects the two residential towers, and (iv) a green roof is proposed above the swimming pool.

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#### **Panel Discussion**

In reply to queries from the Panel, Mr. Leung and Mr. Tyacke noted that (i) proposed lighting in landscaped areas in Lot B include bollard and step lights and strip LED lighting which will not create light pollution, (ii) the two parking entrances for Lot A (Phase 1) are located off McMyn Way and Corvette Way, and (iii) the proposed landscaping and lighting for the weather protected plaza at the north end of Lot C will encourage the public to use the access to the riverfront park.

In reply to a query from the Panel, Mr. Craig confirmed that Lot B contains 22 affordable low-end-market-rental (LEMR) units. He added that the developer oversupplied the affordable housing units provided in Lot A (Phase 1) to deliver the units sooner and the overall Viewstar development meets the City's affordable housing requirements.

#### **Staff Comments**

Mr. Craig noted that (i) buildings in Lot B and Lot C have been designed to comply with the City's Aircraft Noise Policy, (ii) acoustical measures will be incorporated to achieve Canada Mortgage and Housing Corporation (CMHC) interior noise standards, (iii) there are significant Servicing Agreements associated with Lot B and Lot C for road improvements around the perimeter of the subject sites, dike upgrades and new waterfront park, and (iv) all proposed waterborne structures will not be part of the Servicing Agreement requirements as they will be constructed by the City with the developer providing a cash contribution as part of the rezoning process.

In reply to queries from the Panel, Mr. Craig confirmed that the entire waterfront park will be part of the Servicing Agreement and the developer will be responsible for the construction of all upland structures including the view structures.

#### **Gallery Comments**

David Dennis, 8191 River Road, queried about the start date of project construction and whether riparian development rights have been granted to the applicant. Also, he expressed concern regarding construction impacts on (i) land density of the east shoreline of the Fraser River, (ii) on-street parking along River Road, (iii) privacy of properties adjacent to the north end of Lot C, and (iv) water table of the shoreline construction.

With regard to the start date of construction and site preparation, Mr. Leung advised that (i) the applicant anticipates the issuance of Building Permit around the latter part of this year subject to completion of the application package, (ii) site preparation could occur after issuance of Building Permit, (iii) the water table of neighbouring sites will not be impacted during construction, and (iv) no preloading will be done for Lot C.

With regard to other construction concerns, Mr. Craig noted that (i) construction hours are regulated by the City's Noise Bylaw, (ii) the applicant is required to provide a Construction Parking and Traffic Management Plan as part of the Building Permit process, and (iii) all construction within the dike and riverfront park will be subject to required environmental approvals.

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With regard to concerns on privacy, Mr. Tyacke noted that the wall with guardrail on top at the north end of the dike will provide privacy and security to adjacent properties. In addition, Mr. Craig acknowledged that the project complies with the City's tower separation requirements.

#### **Correspondence**

Radim Andrejevic, (no address provided) (Schedule 4)

Mr. Craig noted that Mr. Andrejevic expressed concerns related to project density, traffic congestion, and delayed delivery of the proposed community centre. In reply to project density and traffic concerns, Mr. Craig further noted that project density is outside of the purview of the Panel and the proposed significant road improvements around the subject sites would improve transportation in the neighbourhood.

With regard to Mr. Andrejevic's concerns regarding the delivery of the proposed community centre, Mr. Craig advised that the delivery date for the community centre is established through the site rezoning and was revised by Council last year.

#### **Panel Discussion**

The Panel expressed support for the project, noting that (i) the project is well thought out and consistent with the rezoning application for the project, and (ii) the proposed public realm is well designed. Also, the Panel expressed appreciation for the presentation of the project and the provision of a community centre.

#### **Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would permit the construction of a:*

- 1. High-rise mixed use development, including two residential towers containing 275 dwellings (with 22 affordable housing units), an office tower, street-oriented commercial uses, and a new City-owned community centre, at 3311 No. 3 Road; and*
- 2. High-rise multiple-family development, including two residential towers containing 89 dwellings, at 3399 Corvette Way;*

*on lands zoned "Residential/Limited Commercial and Community Amenity (ZMU30) – Capstan Village (City Centre)".*

**CARRIED**

**Development Permit Panel**  
**Wednesday, April 14, 2021**

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**3. DEVELOPMENT PERMIT 18-828900**

(REDMS No. 6211262)

APPLICANT: 1082009 BC Ltd.

PROPERTY LOCATION: 10760, 10780 Bridgeport Road and 3033, 3091, 3111 Shell Road

**INTENT OF PERMIT:**

1. Permit the construction of 19 townhouse units at 10760, 10780 Bridgeport Road and 3033, 3091, 3111 Shell Road with vehicle access from Shell Road on a site zoned “Medium Density Townhouses (RTM3)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce:
  - (a) the minimum lot width on major arterial road from 50.0 m to 43.3 m;
  - (b) the minimum front yard setback to Bridgeport Road from 6.0 m to 3.3 m; and
  - (c) the minimum exterior side yard setback to Shell Road from 6.0 m to 4.5 m.

**Applicant's Comments**

Eric Law, Eric Law Architect, with the aid of a visual presentation (copy on file, City Clerk's office), provided background information on the proposed development, including among others, its site context, site plan, architectural form and character, building elevations, façade treatments, floor plans, and building materials, highlighting the following:

- the contemporary design of the proposed townhouse development is in response to existing industrial developments across Shell Road;
- vehicular access to the site is from Shell Road;
- three-storey townhouse units in three clusters units and one building block consisting of two-storey townhouse units are proposed;
- the proposed building setback along Bridgeport Road will align with the building setback for the existing adjacent townhouse development to the west;
- a north-south private walkway is proposed along the west property line to provide pedestrian access to units in the townhouse building on the west side of the proposed development;
- the proposed common outdoor amenity area is centrally located;
- two secondary suites are proposed; and
- the existing mature trees along the south property line will be retained and protected.

## Development Permit Panel

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Donald Duncan, Donald Duncan Development Consultant Landscape Architect, provided an overview of the main landscape features of the project, noting that (i) the hammerhead area also serves as a public plaza space and complements the proposed common outdoor amenity area, (ii) permeable paving treatment is proposed for the private pedestrian walkway, and (iii) substantial planting is proposed at the north end of the internal drive aisle to screen headlight glare.

In reply to a query from the Panel, Mr. Duncan noted that existing mature trees to be retained along the south property line will be protected during construction.

#### Staff Comments

Mr. Craig noted that (i) the three proposed variances associated with the project were identified at the rezoning stage and no concerns from the public were noted, (ii) the proposed setback variances are a function of significant road dedication required along Shell Road and Bridgeport Road, and (iii) an acoustical report has been provided by the applicant which confirmed that the proposed development will achieve CMHC interior noise standards.

#### Gallery Comments

None.

#### Correspondence

None.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would:*

1. *permit the construction of 19 townhouse units at 10760, 10780 Bridgeport Road and 3033, 3091, 3111 Shell Road with vehicle access from Shell Road on a site zoned "Medium Density Townhouses (RTM3)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce:*
  - (a) *the minimum lot width on major arterial road from 50.0 m to 43.3 m;*
  - (b) *the minimum front yard setback to Bridgeport Road from 6.0 m to 3.3 m; and*
  - (c) *the minimum exterior side yard setback to Shell Road from 6.0 m to 4.5 m.*

**CARRIED**

#### 4. Date of Next Meeting: April 26, 2021

**Development Permit Panel**  
**Wednesday, April 14, 2021**

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**5. Adjournment**

It was moved and seconded

*That the meeting be adjourned at 5:25 p.m.*

**CARRIED**

Certified a true and correct copy of the  
Minutes of the meeting of the  
Development Permit Panel of the Council  
of the City of Richmond held on  
Wednesday, April 14, 2021.

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Joe Erceg  
Chair

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Rustico Agawin  
Committee Clerk





City of  
Richmond

Schedule 1 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
April 14, 2021.

Attachment 4

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 9700, 9720 and 9800 Williams Road

**File No.:** DP 17-792931

**Prior to forwarding the application to Council for Development Permit issuance, the developer is required to complete the following:**

1. Final Adoption of Zoning Amendment Bylaw 9667.
2. Receipt of a Letter-of-Credit for landscaping in the amount of \$126,535. The letter-of-credit will not be returned until the Letter of Assurance, confirming the landscaping is installed as per the Development Permit, prepared by the Landscape Architect, is reviewed by staff.
3. Registration of a legal agreement on title ensuring that:
  - a. signage indicating civic addresses for a future adjacent residential development that is accessed through the subject site can be located on the subject property in the front yard on the east side of the driveway accessed from Williams Road; and
  - b. wayfinding signage for a future adjacent residential development that is accessed through the subject site can be located on the subject site at the internal driveway junction.

In both instances, the subject signage would be considered directional signage as per Sign Regulation Bylaw No. 9700.

**Prior to Building Permit\* Issuance, the developer must complete the following requirements:**

4. Receipt of a letter prepared by an appropriate registered professional, which demonstrates that the proposed heat pumps comply with the City's Official Community Plan and Noise Bylaw requirements.
5. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site. Tree protection fencing must be installed to City standard in accordance with the City's Tree Protection Information Bulletin TREE-03, and must remain in place until construction and landscaping on-site is completed.
6. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
7. Incorporation of energy efficiency, CPTED, sustainability and accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
8. If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.
9. If applicable, obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

**Note:**

- \* This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the

Initial: \_\_\_\_\_

Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

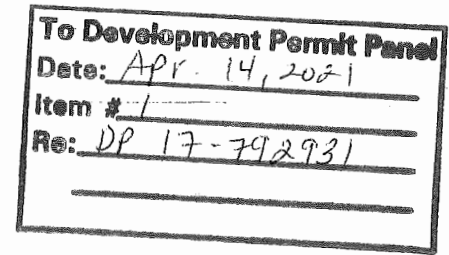
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed \_\_\_\_\_

Date \_\_\_\_\_

Schedule 2 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
April 14, 2021.



**From:** earl luk  
**Sent:** April 3, 2021 1:24 PM  
**To:** CityClerk <CityClerk@richmond.ca>  
**Subject:** DP 17-792931 Comments

**City of Richmond Security Warning:** This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

Subject site: 9700, 9720 and 9800 Williams Road

Hi City of Richmond,

We are the Owners of 10031 No 4 Road. There is potential for future development of townhomes on my site including neighbouring properties 10011 No 4 Road, 9840 William Road and 9720 William Road. We would like to request the following at the subject site for our future development:

- A share driveway easement access at the subject site
- An area to install a mailbox at the front entrance
- An area to install an entrance signage with the future development's name and address number at the front entrance
- An area to install a fire access plan sign at the front entrance

If you require further information, please let me know.

Thanks,  
Earl Luk and Queenie Law



Schedule 3 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
April 14, 2021.

<b>To Development Permit Panel</b>	
Date:	Apr 14, 2021
Item #:	1
Re:	DP-17-792931

**From:** King Luk  
**Sent:** April 6, 2021 3:40 PM  
**To:** CityClerk <CityClerk@richmond.ca>  
**Subject:** DP 17-792931 - requests

**City of Richmond Security Warning:** This email was sent from an external source outside the City. Please do not click or open attachments unless you recognize the source of this email and the content is safe.

Subject site: 9700, 9720 and 9800 Williams Road

Hi City of Richmond,

I am the Owners of 9840. There is potential for future development of townhomes for my property.

I would like to request the following at the subject site for our future development:

- A share driveway easement access at the subject site
- An area to install a mailbox at the front entrance
- An area to install an entrance signage with the future development's name and address number at the front entrance
- An area to install a fire access plan sign at the front entrance

If you require further information, please let me know.

Thanks,  
Incircle investments Ltd  
King Luk



Schedule 4 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
April 14, 2021.

<b>To Development Permit Panel</b>
Date: <u>Apr 14, 2021</u>
Item # <u>2</u>
Re: <u>DP 17-794169</u>

From: Radim Andrejevic

To: City Clerk of Richmond  
([cityclerk@richmond.ca](mailto:cityclerk@richmond.ca))

RE: File DP 17-794169 (Construction permit application from Yuanheng Seaview Developments)

As a resident of the neighboring area and upon receiving the notice of development permit panel meeting concerning the above construction permit application, we would like to express our strong opposition against the proposed zoning amendment. The reason being with the new residential towers that have already been built in the surrounding area (by the same developer), the area is already significantly densified. There is simply no infrastructure to support the residential development of the proposed size and the ensuing increase in the number of residents that is anticipated. The traffic is already very congested in the neighborhood with no pedestrian walkways (we have already witnessed couple of pedestrians in the area nearly run over by vehicles).

In addition, increasing the residential density of the area would significantly increase the risks to public safety. As we have all witnessed with the current pandemic, crowding would lead to increased risks of infections of major diseases. Increase in residential density, which would be the result should the current proposed amendment be approved, would lead to residential crowding in the area and pose further challenges in maintaining social distance for all the residents in the neighborhood. There are still many land areas within the city to allow for residential development. There is no need to further increase residential density in the neighborhood.

Furthermore, the developer had already demonstrated broken commitment in the most recent past concerning its development plans. The developer had previously committed to complete the construction of a community center by the end of 2021. The developer had since requested for a significant delay on the construction of the community center. The developer had also proposed to significantly reduce the furnishings, fixtures and equipment of the community center. Even though the developer proposed to provide a cash contribution to the city of Richmond to compensate for the delay and reduction in furnishings, such practice contradicts the way businesses should conduct themselves in Canada as we believe there should be a certain level of corporate social responsibility demonstrated by businesses, including developers. It is evident that the developer is only genuinely interested in constructing the residential units (for economic reasons?) while neglecting their previous commitment to contribute to the establishment of community infrastructure. If such practices are supported by the city of Richmond, it would set a very poor precedent for other developers to follow. As a result, it is highly skeptical that the developer would follow up with their commitments as proposed with the

current application, which should be a factor for consideration for the city as it deliberates the current proposed amendment.

Hope the city would consider the above factors when it deliberates on the amendment application. Many thanks in advance for your review and consideration.

Best regards,

Radim Andrejevic





# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** April 6, 2021

**From:** Wayne Craig  
Director of Development

**File:** DP 15-699652

**Re:** Application by GBL Architects for a Development Permit at 8091 Capstan Way

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### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a two-tower, mixed use development consisting of ground floor retail, a 72-room hotel, and 137 dwelling units, including nine affordable low-end-of-market rental housing units and 128 market ownership units, at 8091 Capstan Way on a site zoned "Residential/Limited Commercial (RCL5)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:
  - a) reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
  - b) reduce the minimum required number of medium truck loading spaces from three to two.

Wayne Craig  
Director of Development

WC:sch  
Att. 6

## Staff Report

### Origin

GBL Architects has applied to the City of Richmond, on behalf of Capstan Projects Ltd., 0892691 B.C. Ltd., Inc. and Minglian Holdings (Hau Ping Huang), for permission to develop a two-tower, mixed use project consisting of ground floor retail, a 72-room hotel, and 137 dwelling units, including nine affordable low-end-of-market rental (LEMR) housing units and 128 market ownership units, at 8091 Capstan Way (Attachment 1).

The site is currently vacant and is being rezoned from “Auto-Oriented Commercial (CA)” to “Residential/Limited Commercial (RCL5)” for this project under Bylaw 9677 (RZ 15-699647). Prior to adoption of the rezoning bylaw, the developer shall, among other things:

- 1) Register a Housing Agreement and Covenant on title to the lot to secure the nine proposed affordable housing units in perpetuity (which units shall be constructed to a turnkey level of finish at the developer’s cost);
- 2) Register a statutory rights-of-way on title to the lot to secure a publicly-accessible plaza with public art along the site’s Capstan Way and Corvette Way frontages; and
- 3) Enter into a Servicing Agreement, secured with a letter of credit, to design and construct all engineering, transportation, and parks off-site requirements in respect to the proposed development, including upgrades to water, drainage, and sanitary sewer infrastructure (e.g., Skyline Pump Station upgrades), road widening, frontage improvements, and a new off-street bike path and greenway along Capstan Way.

### Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Site and Context

Development near the subject site includes:

To the South: Capstan Way (a designated greenway route) and an area of low-rise automobile-oriented commercial uses designated under the City Centre Area Plan (CCAP) for medium- and high-rise mixed use development and future riverfront (dike) park.

To the North: Corvette Way and Wall Centre (3099, 3111 & 3333 Corvette Way), an existing three-tower, mixed hotel/residential development zoned “Residential/Hotel (ZMU5) – Capstan Village (City Centre)” and developed to a similar height and density as that proposed for the subject site.

To the East: Abutting the subject site is the first phase of an approved, three-phase, high-rise development (Yuanheng “View Star”/ RZ 12-603040 / ZT 19-872212 / DP 16-745853), comprising 577 units in six residential towers and Corvette Way-fronting townhouses, together with pedestrian-oriented commercial along Capstan Way and Number 3 Road.



To the West: Corvette Way and the third (final) phase of “View Star” (RZ 12-603040 / ZT 19-872212 / DP 17-794169 under review), which is proposed to include 89 dwelling in two towers that front onto a new riverfront (dike) park constructed by the “View Star” developer.

In addition, the subject site is located within 400 m (4,300 ft.) or roughly a 5-minute walk of a variety of amenities, including the proposed Capstan Canada Line station and a City-owned community centre (Yuanheng “View Star” / RZ 12-603040 / ZT 19-872212 / DP 17-794169).

### Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 18, 2018. No concerns were expressed about the development.

During the rezoning process, staff identified various items requiring design development through the Development Permit process. All items have been addressed. Details are provided in the Staff Comments and Analysis sections of this report.

### Staff Comments

The proposed scheme attached to this report satisfactorily addresses the significant urban design issues and other staff comments identified as part of the review of the rezoning and subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP) and complies with the “Residential/Limited Commercial (RCL5)” zone, except as described in the Zoning Compliance/Variations section of this report.

- 1) Affordable Housing: The subject development includes nine affordable (low-end-of-market-rental) housing units, which is one more unit than was anticipated at rezoning. The units are dispersed on levels 4 through 10 and include 33% two- and three-bedroom family-friendly units and 66% one-bedroom units. The designs of all affordable units will comply with the City’s Basic Universal Housing (BUH) standards.

Affordable Housing staff support the applicant’s proposal, which is summarized in the table below. The Housing Agreement (Bylaw 9910) securing the affordable housing units was adopted by Council on October 22, 2018. Prior to rezoning adoption and issuance of the subject Development Permit, a Housing Covenant will be registered on title with the specifics of the developer’s affordable housing contribution and the legal agreement required with respect to the rezoning regarding maximum permitted number of dwelling units will be modified to permit the additional proposed affordable housing unit.

Affordable Housing (Net Habitable Floor Area)		Affordable Unit Mix**			
Min. Permitted*	Proposed	1-BR	2-BR	3-BR	Total
562.7 m <sup>2</sup> (6,056.3 ft <sup>2</sup> )	571 m <sup>2</sup> (6,147 ft <sup>2</sup> )	6	2	1	9

\* Minimum permitted floor area is 5% of total residential floor area.

\*\* 100% of affordable housing units shall comply with the City’s Basic Universal Housing (BUH) standards.

- 2) Capstan Station Bonus – Station Contribution: The City Centre Area Plan and RCL5 zone provide for a residential density bonus (0.5 FAR) on the basis that the development shall contribute, at Council-approved rates, towards the Capstan Station Reserve (for station construction and mobility improvements) and publicly accessible open space. At the rezoning stage, the developer committed to contributing the required amount of public open space in a combination of dedication and statutory rights-of-way. The focus of the open space is a large weather-protected plaza at the Capstan Way/Corvette Way corner, the design of which will add to public enjoyment of the fronting Capstan Way greenway with public art, seating, planting/trees, opportunities for outdoor dining, and a decorative soffit/ceiling. Prior to rezoning, legal agreements will be registered on title to the lot to secure the developer's commitment to contribute to the Capstan Station Reserve prior to Building Permit issuance.
- 3) Capstan Way Passenger Lay-By: Through rezoning of the subject site, the developer was required to provide a combination of dedication and statutory rights-of-way to satisfy road widening and Capstan Station Bonus public open space requirements along the site's Capstan Way frontage. Following Public Hearing, through the Development Permit and Servicing Agreement review processes, staff determined that the Capstan Way road and greenway designs approved through the rezoning should be revised to accommodate an on-street public passenger lay-by for use by taxis, shuttle buses, ride-share, and other vehicles requiring space to drop-off/pick-up. This lay-by will be the only place for vehicles to stop along the north side of Capstan Way west of No. 3 Road (i.e. parking is prohibited) and will enhance access by mobility impaired people and others to Capstan Way's greenway, fronting commercial and residential uses, and the riverfront. To accommodate the lay-by, 110 m<sup>2</sup> (1,180 ft<sup>2</sup>) of the area originally identified as statutory rights-of-way must instead be dedicated. A Highway Access Agreement will be registered on title to the lot prior to Development Permit issuance to facilitate the future dedication of the required area (Attachment 3).
- 4) Hotel: The subject development includes a 72-room hotel, together with meeting rooms and restaurant facilities for hotel guests. As required through the rezoning, the hotel's design provides for it to operate independently of the development's residential uses. Prior to adoption of the Rezoning Bylaw, a legal agreement will be registered on title to the lot to secure the developer's hotel-related requirements (e.g., hotel rooms shall not include kitchens; hotel guests shall not have use of residential amenities or circulation; and, a hotel shuttle and operator shall be provided at the developer's cost).
- 5) Village Centre Bonus – Community Amenity Contribution: The City Centre Area Plan and RCL5 zone provide for a commercial density bonus (1.0 FAR) on the basis that the developer makes a community amenity contribution, based on 5% of bonus floor area. As approved through the rezoning process, prior to adoption of the Rezoning Bylaw, the developer shall make a cash-in-lieu contribution to Richmond's Leisure Facilities Reserve Fund, to facilitate the City's construction of community amenity space in the City Centre.
- 6) Transportation Demand Management (TDM) Measures: The Zoning Bylaw permits parking reductions (10%) based on the developer's provision of an approved suite of TDM measures. Legal agreements registered on title prior to rezoning adoption secure the developer's commitment (at the developer's cost) to provide the following measures:
  - Hotel shuttle bus and a three-year contract with a bus operator;

- End-of-trip cycling facilities (e.g., showers, toilets, and change rooms) for commercial tenants, co-located with the development's commercial Class 1 (secure) bike storage;
  - Public parking (i.e. designation of 50% of commercial parking for short-term/hourly use);
  - \$30,000 for the City's installation of a transit shelter and/or accessibility features; and
  - Off-street bike path along the north side of Capstan Way.
- 7) District Energy Utility (DEU): Prior to Rezoning Bylaw adoption, legal agreement will be registered on title to the lot requiring that it is designed and constructed to facilitate its future connection to a City DEU system.
  - 8) Leadership in Energy and Environment Design (LEED): At the rezoning stage the applicant committed to ensuring that the subject development is designed and constructed to achieve LEED Silver equivalent. The developer has submitted a LEED checklist confirming that the DP design can achieve LEED Silver equivalent (Attachment 4) and will submit an updated LEED checklist at Building Permit stage. The proposal meets the grandfathering provisions for Energy Step Code approved by Council.
  - 9) Public Art: Prior to rezoning adoption, legal agreements will be registered on title to secure the developer's voluntary public art contribution. The developer has submitted a Detailed Public Art Plan that locates the public art in the large plaza proposed for the Capstan Way/Corvette Way corner. Prior to Development Permit issuance, the developer will submit a letter of credit to secure its implementation of the Plan to the City's satisfaction.
  - 10) Airport Zoning Regulations: The developer has submitted a letter prepared by a surveyor confirming that the height of the proposed development, 47 m (154 ft.) GSC, complies with Transport Canada regulations.
  - 11) Flood Construction: Prior to Rezoning Bylaw adoption, the City's standard flood indemnity covenant will be registered on title to the lot. The proposed development complies with Richmond's Flood Plain Designation and Protection Bylaw including, for all dwelling units and electrical/mechanical rooms, a minimum elevation of 2.9 m (9.5 ft.) GSC and, for commercial uses and residential lobbies, a minimum elevation of 0.3 m (1.0 ft.) above the crown of the fronting road.
  - 12) Aircraft Noise: The OCP permits residential and other aircraft noise sensitive uses in this location, subject to specific requirements. Prior to rezoning adoption, the City's standard aircraft noise covenant will be registered on title to ensure that the building is designed and constructed to satisfy all City of Richmond acoustic requirements, as confirmed by a certified professional.
  - 13) View Blockage and Other Development Impacts: Prior to rezoning adoption, the City's standard covenant will be registered on title to notify purchasers of potential development impacts and ensure the developer incorporates mitigation measures into the design.
  - 14) Existing Trees: As was the case at the time of rezoning, there are no existing trees on-site or along the perimeter of the subject site.

## Zoning Compliance/Variances

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500, Amendment Bylaw 9677, to:

- 1) Reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m.

*Staff support the proposed variance because the reduced building setback was identified at rezoning stage and no concerns were noted. The proposed two-storey townhouses have a setback of 2.6 m (8.5 ft.) at their first storey and 2.0 m (6.6 ft.) above, which aligns with the proposed tower setback. These setbacks generally match those of the neighbour, Yuanheng "ViewStar" Phase 1 (RZ 12-603040 / DP 16-745853). The development's townhouse porches are raised and separated from the sidewalk with planting, as per CCAP DP guidelines. To accommodate the planting, the porch setback is generally 0.7 m (2.3 ft.), but narrows to 0.3 m (1.0 ft.) at each unit's entrance. Balconies are located between the upper floor of the townhouses and the top of the tower and have a setback of 0.3 m (1.0 ft.). The proposed porch and balcony articulations will contribute to a visually engaging streetscape and will not conflict with sightlines or pedestrian enjoyment of the public realm.*

- 2) Reduce the minimum required number of medium truck loading spaces from three to two.

*Staff support the proposed variance because a study has been submitted to the satisfaction of the Director of Transportation demonstrating that the proposed one medium truck space for non-residential uses and one medium truck space for residential uses will meet the needs of the subject development.*

## Advisory Design Panel Comments

On December 14, 2017, the Advisory Design Panel (ADP) considered the subject application and recommended that it move forward to the Development Permit Panel subject to the applicant giving consideration to the Panel's comments. Since that time, the application has been with the applicant for design development. The relevant excerpt from the ADP Minutes is attached for reference, together with the design response from the applicant shown in '**bold italics**'

(Attachment 4). In response to the Panel's comments, the architect and landscape architect have, among other things, undertaken design development with respect to the podium-level outdoor amenity space (e.g., sunnier play area location, more seating, and larger lawn) and Capstan Way frontage (e.g., addition of a passenger lay-by and improved seating, landscape, and outdoor dining opportunities at the corner plaza).

## Analysis

The proposed high-rise, high density, mixed-use development generally complies with all Zoning Bylaw requirements and the objectives of the CCAP's Development Permit Guidelines. More specifically, the development has successfully demonstrated:

- 1) A strong urban concept that will contribute towards a high amenity, transit-oriented community attractive to families with children (i.e. 58% two- and three-bedroom units), residents with mobility issues (i.e. 47% Basic Universal Housing units), and visitors (i.e. 72-room hotel);

- 2) An articulated building typology with distinctive forms and features that will contribute towards local identity, streetscape interest, solar access, and cross-site views for residents and neighbours; and
- 3) An attractive public realm, including a special public open space amenity at the corner of Capstan Way and Corvette Way.

### ***Conditions of Adjacency***

The proposed development is designed to minimize adjacency issues as follows.

- 1) The development's two towers are separated from each other and from neighbouring existing/proposed towers by at least 24 m (79 ft.), as per the recommended CCAP minimum.
- 2) Potential on-site overlook issues are negligible because the proposed:
  - Residential towers do not have inset corners (i.e. units do not face one another);
  - The hotel is limited to the lower floors of the south tower; and
  - The hotel's outdoor amenity space, meeting rooms, and restaurant (located at Level 4) are oriented to Capstan Way (i.e. away from residents on the subject site and neighbours).
- 3) The proposed tower spacing, orientation, and massing will help to maximize sun to residential units and outdoor amenity spaces.
- 4) As per the OCP Aircraft Noise Sensitive Development policy and related covenant (to be registered on title prior to rezoning adoption), an acoustic study has been undertaken by a registered professional on behalf of the developer and, prior to Building Permit issuance, the developer will incorporate all recommendations into the development.

### ***Urban Design and Site Planning***

The proposed form of development takes advantage of the site's three frontages to incorporate measures aimed at knitting the surrounding community together, including:

- 1) On the south, the Capstan Way greenway and off-street bike path are extended west to a large covered plaza at Corvette Way and animated by street-fronting retail and hotel uses;
- 2) Proposed townhouses with individual front doors along the site's north side and residential tower entrances on its west and south sides serve to complement the area's pedestrian-oriented residential character;
- 3) Parking and loading are concealed from view around the perimeter of the site by commercial and residential uses, and vehicle access is limited to a single driveway to minimize potential impacts on pedestrian safety and the attractiveness of the public realm;
- 4) The proposed podium height and tower placement take into account that of the abutting development west of the subject site (Yuanheng "ViewStar" Phase 1 / RZ 12-603040 / DP 16-745853) to allow for views across the subject site towards the river; and
- 5) Visible portions of the neighbour's party wall are screened with combination of wire trellises supporting vines and a large glass canopy that are designed to visually expand the development's green landscape (e.g., green roof over the pool, large lawn, and trees/planting) and provide for all-weather use of a portion of the podium-level outdoor amenity space.

### ***Architectural Form and Character***

The CCAP encourages the development of a mosaic of distinctive, yet cohesive, urban villages. The subject development aims to satisfy this objective by building on the strong streetwall vocabulary established elsewhere in Capstan Village, while proposing distinct architectural features that visually animate the streetscape and contribute towards Capstan Village as part of the CCAP's designated "arts district". In brief, features include:

- 1) A bold streetscape feature in the form of a triangular building (hotel) projection at the Capstan Way/Corvette Way corner that:
  - Provides cover for an all-weather public plaza (secured with a statutory rights-of-way);
  - Is lined with pedestrian-oriented retail/restaurant units at grade and overlooked by a hotel lounge at the second floor; and
  - Incorporates a special ceiling/soffit treatment in the form of a colourful abstract image that will create visual interest, complement the development's proposed public art contribution (i.e. a figurative sculpture, as set out in the Detailed Public Art Plan), and be backlit at night to enhance public use and outdoor dining activities in the plaza;
- 2) An animated streetwall comprising a varied pattern of punched openings, projections, weather protection, and entry features that enhance the distinction between the development's various uses and provide streetscape interest;
- 3) Articulated towers including a varied pattern of projecting balconies and topped by distinctive dark-coloured crowns with exterior spiral staircases; and
- 4) A distinctive charcoal and white colour pallet (incorporating a combination of brick, spandrel panels, and metal), accented with copper-coloured soffits and spandrels.

### ***Landscape and Open Space Design***

- 1) Public Open Space: For Capstan Village, the CCAP encourages the development of a network of neighbourhood parks, greenways, and other landscape features. In addition, Zoning Bylaw requirements with respect to the Capstan Station Bonus require that benefitting developments (including the subject development) provide public open space over and above basic CCAP park standards. Prior to rezoning adoption, the developer's required 685 m<sup>2</sup> (7,373 ft<sup>2</sup>) public open space contribution, based on 5 m<sup>2</sup> (54 ft<sup>2</sup>) per dwelling, will be secured in a combination of dedication and statutory rights-of-way along the site's south and west frontages. The proposed public open space includes an off-street bike path along Capstan Way (subject to the City's standard Servicing Agreement process) and a large plaza at the Capstan Way/Corvette Way corner (subject to the Development Permit). As described above, cover over the plaza will allow for all-weather use, while a decorative soffit treatment will help animate the space both day and night. In addition, landscape features within the plaza include special paving, trees and planting, seating, public art, and space for outdoor dining along the fronting commercial units.
- 2) Hotel Outdoor Space: The proposed hotel includes 358 m<sup>2</sup> (3,857 ft<sup>2</sup>) of outdoor space for the exclusive use of hotel guests (not shared with residents) including a south-facing restaurant terrace and private patios for podium-level guest rooms (separated from adjacent residential uses with a landscape buffer).

- 3) Residential Outdoor Amenity Space: The proposed development satisfies all OCP and CCAP requirements for the provision of on-site open space and landscape amenities for the shared and private use of residents and includes the following features:
- Shared residential space in the form of a 1,402 m<sup>2</sup> (15,093 ft<sup>2</sup>) multi-use landscaped space at the building's podium roof level, including a large lawn, children's playground, dining area and outdoor kitchen, raised garden plots (with tool storage, hose bibs, and related features), patios for relaxing and tai chi, seating, planting, and trees;
  - Private outdoor amenity space for every dwelling in the form of patios and balconies; and
  - Additional landscaping in the form of residential lobby entrance features, landscape buffers along townhouse frontages, and landscaping along retail frontages.

Furthermore, the proposed 1,402 m<sup>2</sup> (15,093 ft<sup>2</sup>) shared outdoor residential amenity space exceeds the CCAP minimum requirement of 822 m<sup>2</sup> (8,848 ft<sup>2</sup>), based on 6 m<sup>2</sup> (65 ft<sup>2</sup>) per dwelling unit, and is designed to provide for direct access to/from the development's indoor residential amenity space.

- 4) Planting and Water Use: Irrigation will be installed in all planted areas to ensure that lawn, trees, and other planting will remain healthy. Drought tolerant planting will be used throughout to reduce the reliance on irrigation once plants are established. Drought tolerant green roof planting will be installed over 428 m<sup>2</sup> (4,607 ft<sup>2</sup>) of inaccessible roofs, including the roof of the indoor amenity (swimming pool), a portion of the hotel roof (where it abuts the neighbouring development), and planters bordering residential patios on the tower roofs.
- 5) Landscape Lighting: The development's landscape drawings include a lighting plan, prepared by the landscape architect, for the ground, podium, and tower rooftop levels. The proposed lighting is subdued and designed (e.g., shrouded) and oriented to minimize light pollution and potential impacts on nearby residents. Ground level lighting generally includes small step/wall lights at townhouse entrances and around planters along the retail frontages, while small in-ground and tree lights will add visual interest to the outdoor dining, planting, and public art located beneath the corner plaza's large roof. At the podium and tower rooftops, a low level of ambient light is proposed to allow for evening use of the residential outdoor amenity space and hotel patios without spilling over onto nearby private resident spaces or unnecessarily lighting the night sky.

### ***Indoor Residential Amenity Space***

In addition to outdoor residential amenity space, the development must include at least 100 m<sup>2</sup> (1,076 ft<sup>2</sup>) of indoor amenity space, as per CCAP requirements for projects containing 40 to 199 units. The proposed development contains 397 m<sup>2</sup> (4,272 ft<sup>2</sup>), which exceeds the CCAP minimum. The amenities are located at the podium-level of the north tower with direct access to the outdoor amenity space. Amenities include an indoor swimming pool, fitness facilities, and change rooms. Residents of the development's north tower have direct elevator access to the indoor amenities, while residents of the south tower will access the indoor amenities via the podium-level's outdoor amenity area.

***Crime Prevention through Environmental Design (CPTED)***

Measures are proposed to enhance safety and personal security including, but not limited to, the following measures.

- 1) Casual surveillance by creating prominent residential and commercial lobby entrances and street-oriented retail frontages, clustering commercial parking on the parkade's first two floors with alternative means of access/egress for pedestrians, providing clear sightlines to exits and glazed vestibules within the parkade, and minimizing blind corners,;
- 2) Territoriality through the use of landscape buffers and grade changes to help define the interface of public and private spaces; and
- 3) Target hardening with special security features at all residential, commercial, and parkade entrances.

***Accessible Housing***

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide the following.

- 1) Barrier-free access to all building lobbies and indoor and outdoor amenity spaces;
- 2) Aging in place features in all dwellings (e.g., stairwell hand rails, lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers); and
- 3) 65 Basic Universal Housing (BUH) units (i.e. 47% of total units) designed to satisfy all applicable Zoning Bylaw requirements, including 55 market ownership units (i.e. 44% of market units) and 9 affordable housing units (i.e. 100% of affordable units).

***Sustainability Measures***

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards. In brief, among other things the development will include:

- 1) A full building energy simulation to optimize energy efficiency measures and an enhanced commissioning process to ensure that the building's energy related systems are operating efficiently and as designed;
- 2) Design and construction to achieve LEED Silver equivalent;
- 3) District Energy Utility (DEU) compatible building and mechanical system designs to facilitate a future connection to a City utility;
- 4) Energized electric vehicle (EV) 240V charging equipment, including charging stations for 5% of commercial parking (4 spaces) and 100% of resident parking (116 market housing spaces and 8 affordable housing spaces);
- 5) Energized electric bicycle 120V charging outlets for Class 1 secure bike storage (one outlet for shared use by each 10 bikes) for residents and commercial tenants;
- 6) End-of-trip cycling facilities for commercial tenants;



- 7) Bicycle repair and maintenance stations (i.e. foot-activated pump and repair stand with integrated tools), including one for the use of residents and one for commercial tenants;
- 8) Low flow/flush plumbing fixtures (e.g., toilets, showers, and faucets) and a high efficiency irrigation system to reduce water usage;
- 9) Drought tolerant planting will be used in green roof and vegetated areas to reduce the reliance on irrigation; and
- 10) Best practices to optimize air quality and provide a clean and healthy building for occupants.

### Conclusions

The proposed development is consistent with Richmond's objectives for the subject property as set out in the OCP, City Centre Area Plan (CCAP), and Zoning Bylaw. The project's distinctive form, pedestrian-oriented streetscapes, affordable and accessible housing, public art, landscaping, and sustainable development measures, together with off-site improvements secured through rezoning, will enhance the establishment of Capstan Village as a high-amenity, transit-oriented, urban community. On this basis, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Suzanne Carter-Huffman  
Senior Planner/Urban Design

SCH:cas

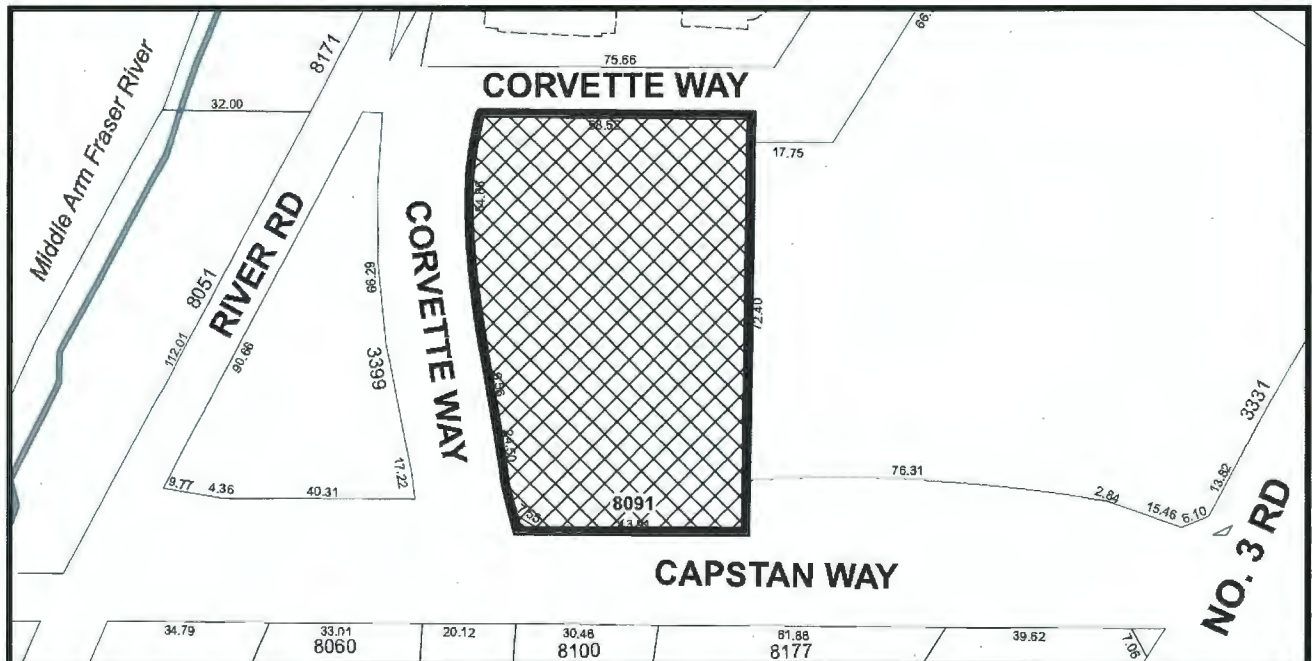
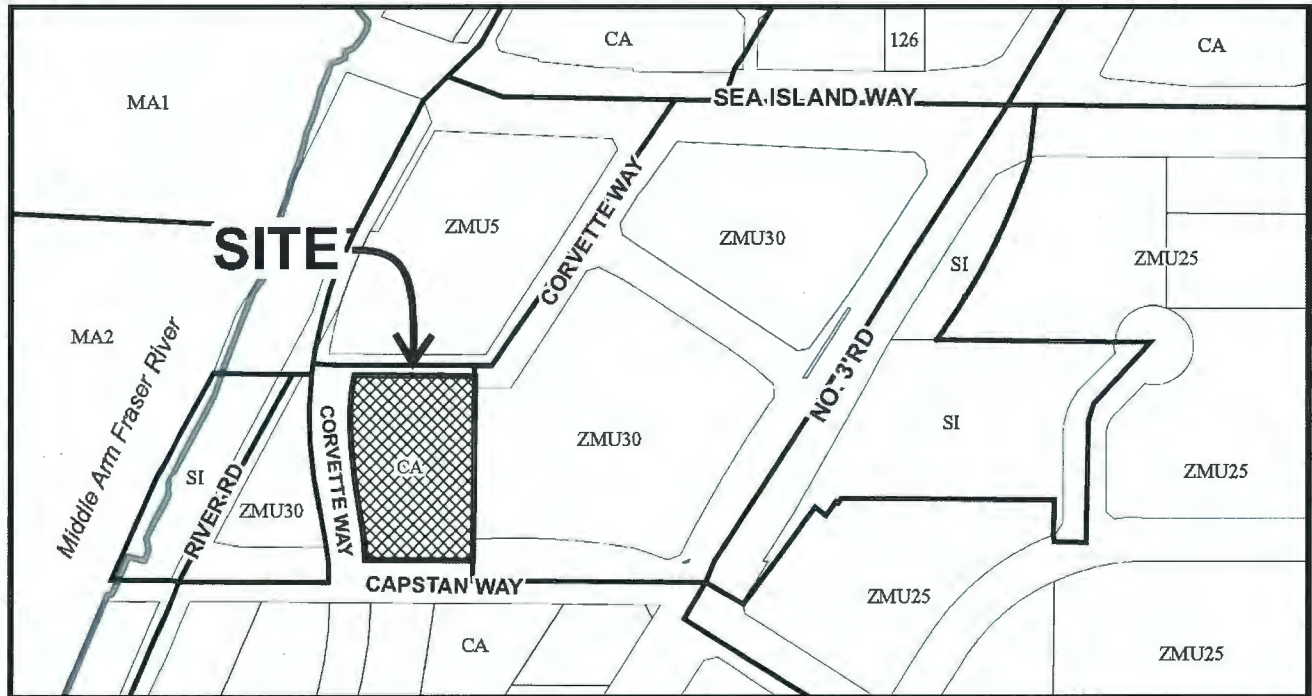
### Attachments:

1. Location Map
2. Development Application Data Sheet
3. Revised Subdivision Plan showing the Highway Access Agreement Area
4. LEED Checklist – Silver (Equivalent)
5. Advisory Design Panel – Excerpt of Meeting Minutes, December 14, 2017
6. Development Permit Considerations

**ATTACHMENT 1  
LOCATION MAP**



**City of  
Richmond**



**DP 15-699652**

Original Date: 09/28/15

Revision Date: 03/01/21

Note: Dimensions are in METRES



Development Application Data Sheet  
Development Applications Department

DP 15-699652

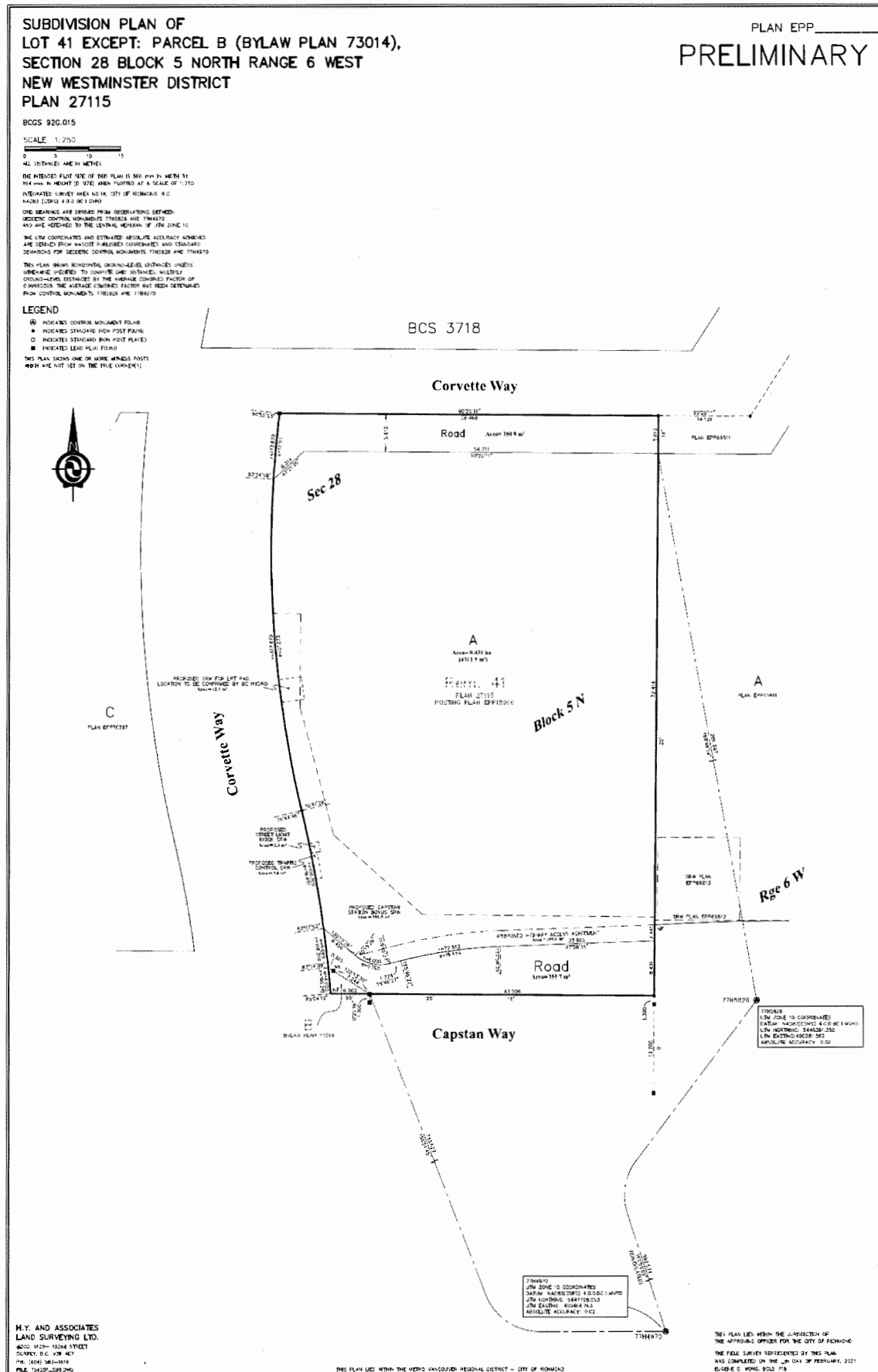
Address: 8091 Capstan Way  
Applicant: GBL Architects Owner: 0892691 B.C. Ltd., Inc.  
Planning Area(s): City Centre (Capstan Village)  
Floor Area Gross: 16,976.5 m<sup>2</sup> (182,734.0 ft<sup>2</sup>) Floor Area Net: 15,696.2 m<sup>2</sup> (168,845.0 ft<sup>2</sup>)

	Existing	Proposed
<b>Lot Area</b>	• Gross: 5,007.0 m <sup>2</sup> (53,894.9 ft <sup>2</sup> )	• 4,311.5 m <sup>2</sup> (46,408.6 ft <sup>2</sup> )
<b>Land Uses</b>	• Vacant	• Mixed residential, hotel & retail
<b>OCP Designation</b>	• Mixed Use	• Mixed Use
<b>CCAP Designation</b>	• Urban Centre T5 (45 m) • Capstan Station Bonus (CSB) • Village Centre Bonus (VCB)	• Urban Centre T5 (45 m) • Capstan Station Bonus (CSB) • Village Centre Bonus (VCB)
<b>Zoning</b>	• Automobile Oriented Commercial (CA)	• Residential/Limited Commercial (RCL5), as amended via RZ 15-699647
<b>Total # Units</b>	• N/A	▪ 137, including: - 128 Market units - 9 Affordable (LEMR) units
<b>Unit Mix</b>	• N/A	▪ 42% 1-BR (57 units) ▪ 58% 2-BR (60 units) & 3-BR (20 units)
<b>Basic Universal Housing (BUH) Units</b>	• N/A	▪ 65 units (47% of total units), including: - 56 Market units (44% of Market units) - 9 Affordable units (100% of Affordable units)
<b>Hotel</b>	• N/A	• 72 guest rooms
<b>Aircraft Noise Sensitive Development (ANSD)</b>	▪ "Area 3"/Moderate Aircraft Noise, which permits all ANSD uses if a ANSD covenant, acoustic report, air conditioning capacity, etc. are provided	▪ ANSD covenant registered on title & related requirements shall be satisfied prior to RZ adoption (RZ 15-699647)

	Bylaw Requirement	Proposed	Variance
<b>Floor Area Ratio (max)</b>	As per RCL5, as amended via RZ 15-699647: • 3.65 FAR, including: - Residential: 2.61 FAR* - Commercial: 1.04 FAR* <b>NOTE:</b> *RCL5 zone permits Commercial to exceed 1.04 if Residential is reduced by an equal amount.	• 3.65 FAR, including: - Residential: 2.56 FAR - Commercial: 1.09 FAR	None permitted
<b>Buildable Floor Area – Total</b>	▪ 15,737.0 m <sup>2</sup> (169,391.4 ft <sup>2</sup> ) max.	▪ 15,736.9 m <sup>2</sup> (169,390.0 ft <sup>2</sup> )	None permitted
<b>Buildable Floor Area – Residential</b>	▪ 11,253.0 m <sup>2</sup> (121,126.4 ft <sup>2</sup> ) max, including: - 95% market: 10,690.3 m <sup>2</sup> (115,070.1 ft <sup>2</sup> ) - 5% affordable: 562.7 m <sup>2</sup> (6,056.3 ft <sup>2</sup> )	▪ 11,057.3 m <sup>2</sup> (119,020.0 ft <sup>2</sup> ) max, including: - Market: 10,486.3 m <sup>2</sup> (112,873.0 ft <sup>2</sup> ) - Affordable units: 571.0 m <sup>2</sup> (6,147.0 ft <sup>2</sup> )	None permitted
<b>Buildable Floor Area – Commercial</b>	▪ 4,495.4 m <sup>2</sup> (48,388.1 ft <sup>2</sup> ) max ▪ Village Centre Bonus (VCB): RZ 15-699647 requires a construction-value cash contribution (prior to RZ adoption) in lieu of providing a community amenity on site <b>NOTE:</b> RCL5 zone permits Commercial to exceed 1.04 if Residential is reduced by an equal amount.	▪ 4,679.6 m <sup>2</sup> (50,370.0 ft <sup>2</sup> ), including: - Retail: 766.2 m <sup>2</sup> (8,247.0 ft <sup>2</sup> ) - Hotel: 3,913.4 m <sup>2</sup> (42,123.0 ft <sup>2</sup> )	None permitted

	Bylaw Requirement	Proposed	Variance
Lot Coverage	<ul style="list-style-type: none"> <li>Max. 90%</li> </ul>	<ul style="list-style-type: none"> <li>90%</li> </ul>	None
Setback – Public Road	<ul style="list-style-type: none"> <li>6.0 m (19.7 ft.), but may be reduced to 3.0 m (9.8 ft.) with a proper public realm interface</li> <li>Balconies &amp; porches may project 33% the depth of the required setback</li> </ul>	<ul style="list-style-type: none"> <li>Capstan Way &amp; Corvette Way (West): Min. 3.0 m (9.8 ft.) &amp; balcony projections limited to 33% of the setback depth</li> </ul>	None
		<ul style="list-style-type: none"> <li>Corvette Way (North): 2.0 m building setback &amp; 0.3 m balcony/porch setback (i.e. 85% of the building setback)</li> </ul>	<b>Reduce the setbacks for:</b> <ul style="list-style-type: none"> <li><b>buildings to 2.0 m</b></li> <li><b>balconies &amp; porches to 0.3 m</b></li> </ul>
Setback – Interior Side Yard	<ul style="list-style-type: none"> <li>Min. 0.0 m</li> </ul>	<ul style="list-style-type: none"> <li>0.0 m</li> </ul>	None
Height	<ul style="list-style-type: none"> <li>Max. 47.0 m (154.2 ft.) GSC</li> </ul>	<ul style="list-style-type: none"> <li>Max. 47.0 m (154.2 ft.) GSC</li> </ul>	None
Lot Area	<ul style="list-style-type: none"> <li>Min. 4,000.0 m<sup>2</sup> (43,055.6 ft<sup>2</sup>)</li> </ul>	<ul style="list-style-type: none"> <li>4,311.5 m<sup>2</sup> (46,408.6 ft<sup>2</sup>)</li> </ul>	None
Off-street Parking – Total	<ul style="list-style-type: none"> <li>190 spaces, including: <ul style="list-style-type: none"> <li>Residential: 124</li> <li>Commercial: 66</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>190 spaces, including: <ul style="list-style-type: none"> <li>Residential: 124</li> <li>Commercial: 66</li> </ul> </li> </ul>	None
Off-street Parking – Residential	<ul style="list-style-type: none"> <li>124 (after 10% TDM reduction), including: <ul style="list-style-type: none"> <li>Market @ 0.9/unit = 116 spaces</li> <li>Affordable @ 0.81/unit = 8 spaces</li> <li>Visitors: Nil (Shared with commercial)</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>124 (after 10% TDM reduction), including: <ul style="list-style-type: none"> <li>Market @ 0.9/unit = 116 spaces</li> <li>Affordable @ 0.81/unit = 8 spaces</li> </ul> </li> </ul>	None
Off-street Parking – Commercial	<ul style="list-style-type: none"> <li>66 (after 10% TDM reduction), including: <ul style="list-style-type: none"> <li>Retail @ 767.0 m<sup>2</sup> GLA X 3.375/100 m<sup>2</sup> GLA = 26</li> <li>Hotel @ 72 rooms X 0.3825/guest room = 28</li> <li>Hotel restaurant @ 196.0 m<sup>2</sup> GLA X 7.65/100 m<sup>2</sup> GLA = 12</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>66, including (as secured by legal agreement registered on title): <ul style="list-style-type: none"> <li>33 Public (50% short-term/hourly)</li> <li>33 Assignable (50% designated for specific businesses or users)</li> </ul> </li> </ul>	None
Bike Storage (Class 1)	<ul style="list-style-type: none"> <li>185 bikes, including: <ul style="list-style-type: none"> <li>Residential: 137 units @ 1.25/unit = 172</li> <li>Commercial: (4,679.6 m<sup>2</sup> GLA – 100 m<sup>2</sup>) X 0.27/100 m<sup>2</sup> = 13</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>187 bikes, including: <ul style="list-style-type: none"> <li>Residential: 172</li> <li>Commercial: 15</li> </ul> </li> </ul>	None
Bike Storage (Class 2)	<ul style="list-style-type: none"> <li>41 bikes, including: <ul style="list-style-type: none"> <li>Residential: 137 units @ 0.2/unit = 27.4</li> <li>Retail: (766 m<sup>2</sup> GLA – 100 m<sup>2</sup>) X 0.4/100 m<sup>2</sup> = 2.7</li> <li>Hotel: (3,913 m<sup>2</sup> GLA – 100 m<sup>2</sup>) X 0.27/100 m<sup>2</sup> = 10.3</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>41 bikes</li> </ul>	None
Electric Vehicle (EV) Charging	<ul style="list-style-type: none"> <li>Parking (240V stations): <ul style="list-style-type: none"> <li>Residential: 100% of parking = 116</li> <li>Commercial: 5% of parking = 4</li> </ul> </li> <li>Class 1 Bike Storage (120V duplex outlet): <ul style="list-style-type: none"> <li>Residential: 172 bikes X 10% = 18 min.</li> <li>Commercial: 13 bikes X 10% = 2 min.</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Parking (240V): <ul style="list-style-type: none"> <li>Residential: 124</li> <li>Commercial (Assignable): 4</li> </ul> </li> <li>Class 1 Bike Storage (120V duplex outlet): <ul style="list-style-type: none"> <li>Residential: 21 (Based on proposed)</li> <li>Commercial: 2</li> </ul> </li> </ul>	None
Loading	<ul style="list-style-type: none"> <li>3 medium truck spaces, including: <ul style="list-style-type: none"> <li>Residential: 1</li> <li>Hotel: 1</li> <li>Retail: 1</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>2 medium truck spaces, including: <ul style="list-style-type: none"> <li>Residential: 1</li> <li>Commercial: 1 for shared hotel/retail use</li> </ul> </li> </ul>	<b>Reduce medium truck spaces from 3 to 2</b>
Amenity Space – Indoor	<ul style="list-style-type: none"> <li>Min. 100.0 m<sup>2</sup> (1,076.4 ft<sup>2</sup>), as per CCAP requirement for 40 – 199 units</li> </ul>	<ul style="list-style-type: none"> <li>396.9 m<sup>2</sup> (4,272.0 ft<sup>2</sup>)</li> </ul>	None
Amenity Space – Outdoor	<ul style="list-style-type: none"> <li>1,253.2 m<sup>2</sup> (13,488.8 ft<sup>2</sup>), including: <ul style="list-style-type: none"> <li>Residential Amenity: Min. 822.0 m<sup>2</sup> (8,847.9 ft<sup>2</sup>), based on 6.0 m<sup>2</sup> (64.6 ft<sup>2</sup>) per unit, including 50% children's play</li> <li>CCAP Additional Landscape: 431.2 m<sup>2</sup> (4,640.9 ft<sup>2</sup>), based on 10% of net site area</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>2,307.5 m<sup>2</sup> (24,837.9 ft<sup>2</sup>) including: <ul style="list-style-type: none"> <li>Residential Amenity: 1,402.2 m<sup>2</sup> (15,093.0 ft<sup>2</sup>), including 416.3 m<sup>2</sup> (4,481.0 ft<sup>2</sup>) children's play</li> <li>CCAP Space: 905.3 m<sup>2</sup> (9,744.9 ft<sup>2</sup>) incl.: <ul style="list-style-type: none"> <li>Hotel: 358.3 m<sup>2</sup> (3,857.0 ft<sup>2</sup>)</li> <li>Other: 547.0 m<sup>2</sup> (5,887.9 ft<sup>2</sup>)</li> </ul> </li> </ul> </li> </ul>	None

REVISED SUBDIVISION PLAN SHOWING THE HIGHWAY ACCESS AGREEMENT AREA





# LEED v4 for BD+C: New Construction and Major Renovation Project Checklist

Project Name: The Capstan (8091 Capstan Way, Richmond BC)

Date: 12/2/2018

Y	7	N
1		
1		

Integrative Process

13	2	1	Location and Transportation	16
1	0		LEED for Neighborhood Development Location	16
1	2		Sensitive Land Protection	1
1	2		High Priority Site	2
1	2		Surrounding Density and Diverse Uses	5
1	2		Access to Quality Transit	5
1	2		Bicycle Facilities	1
1	2		Reduced Parking Footprint	1
1	2		Green Vehicles	1

5	3	2	Sustainable Sites	10
1			Construction Activity Pollution Prevention	Required
1			Site Assessment	1
1			Site Development - Protect or Restore Habitat	2
1			Open Space	1
1	2		Rainwater Management	3
1	1		Heat Island Reduction	2
1	1		Light Pollution Reduction	1

7	1	3	Water Efficiency	11
1			Outdoor Water Use Reduction	Required
1			Indoor Water Use Reduction	Required
1			Building-Level Water Metering	Required
1	1		Outdoor Water Use Reduction	2
1	2		Indoor Water Use Reduction	6
1	2		Cooling Tower Water Use	2
1	1		Water Metering	1

11	10	12	Energy and Atmosphere	33
1			Fundamental Commissioning and Verification	Required
1			Minimum Energy Performance	Required
1			Building-Level Energy Metering	Required
1			Fundamental Refrigerant Management	Required
1	6		Enhanced Commissioning	6
1	3	5	Optimize Energy Performance	18
1	1		Advanced Energy Metering	1
1	2		Demand Response	2
1	3		Renewable Energy Production	3
1	1		Enhanced Refrigerant Management	1
1	2		Green Power and Carbon Offsets	2

5	1	7	Materials and Resources	13
1			Storage and Collection of Recyclables	Required
1			Construction and Demolition Waste Management Planning	Required
1	2		Building Life-Cycle Impact Reduction	5
1	2		Building Product Disclosure and Optimization - Environmental Product Declarations	2
1	2		Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
1	1		Building Product Disclosure and Optimization - Material Ingredients	2
1	2		Construction and Demolition Waste Management	2

5	7	4	Indoor Environmental Quality	16
1			Minimum Indoor Air Quality Performance	Required
1			Environmental Tobacco Smoke Control	Required
1	1		Enhanced Indoor Air Quality Strategies	2
1			Low-Emitting Materials	3
1	1		Construction Indoor Air Quality Management Plan	1
1	1		Indoor Air Quality Assessment	2
1	1		Thermal Comfort	1
1	2		Interior Lighting	2
1	2	1	Daylight	3
1	1		Quality Views	1
1	1		Acoustic Performance	1

4	1	1	Innovation	6
1	1		Innovation Purchasing - Impact, valuable title, O+M Starter Kit	6
1			LEED Accredited Professional	1

3	0	1	Regional Priority	4
1			Regional Priority Specific Credit	1
1		1	Regional Priority Specific Credit	1
1			Regional Priority Specific Credit	1
1			Regional Priority Specific Credit	1

53	25	32	TOTALS	Possible Points: 110
				Certified: 40 to 49 points, Silver: 50 to 59 points, Gold: 60 to 79 points, Platinum: 80 to 110



Excerpt from the Minutes from  
**Advisory Design Panel Meeting**  
 Thursday, December 14, 2017

**13.**

**DP 15-699652 - TWO-TOWER HIGH-RISE, MIXED HOTEL (75 GUEST ROOMS), RESIDENTIAL (136 UNITS), AND GROUND FLOOR RETAIL**

ARCHITECT: GBL Architects

PROPERTY LOCATION: 8091 Capstan Way

**Applicant's Presentation**

Amela Brudar, Principal, GBL Architects, Aida Kudic, Architect, GBL Architects, and Grant Brumpton, Principal, PWL Partnership, presented the project and answered queries from the Panel.

**Panel Discussion**

*Comments from the Panel were as follows:*

*(The following written comments submitted by Doug Shearer were read by Sara Badyal)*

- street and site trees along Corvette Way should be staggered and not paired up as shown;

***Applicant: Revised***

- good to have some unprogrammed lawn areas but they seem chopped up; consider combining them together into one large contiguous area; diagonal lines through them are a bit overwhelming to space;

***Applicant: Podium spaces have been reconfigured. The major diagonal path has been narrowed, and the other diagonal path has been deleted. Chopped up lawn areas have been consolidated.***

- the play area is mostly in shade; consider moving in a sunny location so that it is usable in shoulder seasons not just in summer;

***Applicant: Play area has been relocated to a sunny location***

- more casual seating would be nice; consider widening south walls of planters in northwest corner, so people can sit along edge of lawn area; same in southwest corner where Corten planters are;

***Applicant: More casual seating has been provided along the edge of lawn***

- generally, there could be better definition of spaces; large communal versus intimate and small.

***Applicant: The design of planting areas and landscape features has been revised to better define the various outdoor spaces.***

*(Comments from Panel members present at the meeting)*

- appreciate the applicant incorporating public art early in the design of the project and integrating it in the building architecture; the applicant is encouraged to also give attention to integrating public art in the landscape;

***Applicant: The plaza design includes public art.***

- like the architecture, landscaping, and differentiation of uses in the proposed development; the podium is well thought out and refined; scale is appropriate;
- appreciate the proposed materials at the corner of Capstan Way and Corvette Way; however, the building corner setback is too deep; consider reducing the setback as the void which provides for a large corner plaza is expected to be a busy pedestrian area but could be a dark place;

***Applicant: More detail has been provided including soffit materials, soffit lighting, landscaping, public seating, restaurant dining, and public art.***

- consider providing a turnaround/lobby in Level 1 parkade at the back of the hotel lobby; look at precedents in hotels with parkade access lobbies;

***Applicant: City staff recommend that a passenger lay-by is installed along the site's Capstan Way frontage to serve visitors to the area, including hotel guests.***

- consider providing internal access from the parkade to the retail spaces;

***Applicant: Commercial visitor access from the parkade is provided via an elevator at the hotel to Capstan Way and via an accessible ramp to Corvette Way.***

- review the proposed lay-out for the accessible units to ensure compliance with BC Building Code requirements, e.g. look at proposed location/arrangement of washer/dryer;

***Applicant: Work is underway with the project's Code Consultant to ensure all requirements are satisfied***

- consider a separate loading area in closer proximity to the retail spaces; proposed loading area at the northeast corner of the parkade is too far from the retail spaces;

***Applicant: The site is very compact and due to loading clear height requirements, it is difficult to accommodate trucks elsewhere in the parkade. However, we have redesigned P1 level in order to provide ramped access directly to commercial units.***

- consider design development to differentiate the residential entries for the south and north towers at the Corvette Way West street frontage;

***Applicant: We are using the same undercut with bronze material cladding to accentuate main entrances to the building (residential, hotel).***

- commend the design team for the high quality design of the project;



- agree with the comment that the play area on the podium rooftop is mostly in shade; could be integrated with the lawn areas;

***Applicant: Play area has been relocated to a sunny location***

- consider integrating a work area in the urban agriculture component on the podium rooftop's outdoor amenity area;

***Applicant: Potting bench and outdoor kitchen area have been added.***

- consider additional seating on the podium rooftop's outdoor amenity area; could be integrated with the planter walls;

***Applicant: Seating added along planter wall***

- public realm on the ground plane is successful; applicant needs to pick-up on the imagery of landscape precedents presented in landscape detailing, particularly for seating at the corner plaza; appreciate the integration of weather protection into the building to enhance the usability of the plaza;

***Applicant: Planter walls have been adjusted to reflect character and detail shown in precedent imagery***

- appreciate the presentation of the project and documents provided to the Panel;
- applicant needs to clarify whether it is targeting LEED Silver Certification or Equivalency;

***Applicant: The project is not targeting LEED Certification***

- appreciate the proposed sustainability features for the project;
- consider integrating vestibules for the north and south tower residential entries;

***Applicant: We have added vestibules to both residential entries***

- commercial kitchen ventilation system needs to be integrated into the design of the building;

***Applicant: Added as per mechanical input***

- investigate potential service and penetration challenges for the mechanical shaft inside the core;

***Applicant: Noted***

- documentation and diagrams provided by the applicant were helpful in understanding the rationale for the proposed architecture and landscaping; would also be a helpful reference as the applicant moves forward in detailing the project;
- support the hotel component in the proposed development as more hotel options (e.g., boutique hotels) are needed in the city;
- contextual concept and overall massing is good; two towers being similar is not a concern as they are elegantly designed;

- support the comment that relocating the south tower's residential entry to Capstan Way would be more successful; keeping the throat narrow will minimize impact on the retail space;

***Applicant: The south tower residential entry has been redesigned and now is accessed from Capstan Way***

- the hotel lay-out is interesting; however, the hotel corridors are long and winding; consider design development from a CPTED perspective to make them feel more generous and provide some interest at the termination of the corridors;

***Applicant: The long corridor on Level 2 is interrupted mid-way by large windows overlooking the corner plaza.***

- consider integrating a hotel lounge or an amenity area in Level 2 corridor "bridge" at the corner of Capstan Way and Corvette Way (above the proposed corner public plaza);

***Applicant: A lounge has been added to Level 2 overlooking the corner plaza***

- appreciate the materials palette; like the contrast between the materials and dark/light;
- consider design development to the proposed tower rooftop canopies as they do not appear to mitigate the massing of the towers;

***Applicant: The rooftop treatment has been revised to create more visual interest and break up the form.***

- consider integrating covered balconies into the penthouse units;

***Applicant: Roof-top decks accessed by exterior spiral staircases are provided for the penthouse units.***

- support the proposed use of reflective copper materials as they appear elegant; consider using more of them in the building, e.g. for the soffit of the overhang at the corner of Capstan Way and Corvette Way; also consider adding interest to the lighting underneath the overhang to further animate the public plaza and future location of public art;

***Applicant: Lighting has been added.***

- diagonal columns at the corner of Capstan Way and Corvette Way appear quirky but interesting; these bold architectural elements add a welcome playfulness to the project and offset the rigidity of the geometries throughout the project;
- consider introducing planting in front of the walls fronting the townhouse units at the North Street Frontage as shown in drawing 13.3 to mitigate the appearance of blank walls;

***Applicant: Planting has been added.***

- commend the City staff for bringing forward a good and complex project;

- the applicant is advised to include a LEED scorecard for the project;

***Applicant: LEED scorecard has been provided.***

- consider a cantilever in lieu of diagonal columns at the corner of Capstan Way and Corvette Way;

***Applicant: We undertook several exercises regarding the corner structure and concluded that the column is necessary.***

- consider a dark coloured treatment for the tower canopies consistent with the dark colour of the top three floors of the towers to better achieve the applicant's intention to mitigate the apparent massing and height of the towers; however, this approach may reduce apparent tower height, but make the towers appear squat; architect must clarify objective;

***Applicant: Noted. Top canopies have been revised***

- appreciate the proposed architectural treatment (i.e., vertical ribbon of brick) to create visual separation between commercial and residential uses; however, residential entries for the north and south towers need to have stronger architectural treatment to facilitate wayfinding for motorists and pedestrians;

***Applicant: Design has been revised to reflect design intent as described.***

- consider a prominent entry and signage to the hotel along Capstan Way to differentiate it from the many uses along Capstan Way; this is especially important if no lay-by can be provided along Capstan Way near the hotel entrance;

***Applicant: City staff have recommended that the developer install a lay-by along Capstan Way. The hotel will be differentiated from the adjacent residential tower by its colour pallet and distinctive signage.***

- appreciate the landscape design and programming on the podium rooftop's outdoor amenity area; and
- support the hotel outdoor dining area at the residential amenity level; would be useful to residents of the development and hotel guests and promotes social interaction.

### **Panel Decision**

It was moved and seconded

***That DP 15-699652 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.***

**CARRIED**



# City of Richmond

## Development Permit Considerations

Development Applications Department  
6911 No. 3 Road, Richmond, BC V6Y 2C1

**Address:** 8091 Capstan Way

**File No.:** DP 15-699652

**Prior to approval of the Development Permit, the developer is required to complete the following:**

1. OCP Amendment: Final adoption of Bylaw 9676.
2. Zoning Amendment: Final adoption of Bylaw 9677.
3. Revised Development Requirements: Completion, to the City's satisfaction, of the terms of the Rezoning Considerations approved by Council with respect to RZ 15-699647, which terms shall be amended to respect updated City requirements and the approved Development Permit, as determined to the City's satisfaction, for the following:
  - 3.1. Future Capstan Way Widening: Registration of a Highway Access agreement over an irregular strip of land, with an area of at least 109.6 m<sup>2</sup>, along the south side of the lot to facilitate widening of Capstan Way to include a public passenger lay-by and enhanced landscaping along the frontage of the subject development. The Highway Access Agreement area shall not be encumbered by building encroachments below, at, or above grade. The agreement shall enable the City to take ownership of the area at its sole discretion. For clarity, it is the City's intent that the area be dedicated after required road/landscape works are complete (subject to a Servicing Agreement), but prior to first occupancy of a building on the lot, in part or in whole. Prior to dedication, the City shall have access rights; however, the public shall not have access until after dedication.
  - 3.2. (RZC 5.2) Capstan Station Bonus – Public Open Space Contribution:
    - 3.2.1. **(RZC 5.2.1) Maximum Number of Dwellings**: Increase the maximum number of permitted units from 136 to 137, provided that the developer contributes 5.0 m<sup>2</sup> of additional public open space with respect to the additional unit, secured with a Statutory Rights-of-Way (SRW) registered on title to the lot, based on the Capstan Station Bonus public open space rate of 5.0 m<sup>2</sup> per unit.
    - 3.2.2. **(RZC 5.2.2(b)) Publicly Accessible Open Space**: Revise the terms of the developer's Capstan Way Plaza SRW contribution secured through RZ 15-699647 to provide for the following:
      - i. Revise the minimum SRW area required with respect to RZ 15-699647 from 496.1 m<sup>2</sup> to 391.5 m<sup>2</sup> based on the requirements set out in these Development Permit Consideration including:
        - Section 3.1: Replacing 109.6 m<sup>2</sup> of the SRW area with a Highway Access Agreement with respect to the Future Capstan Way Widening requirements; and
        - Section 3.2.1: Increasing the developer's public open space contribution by at least 5.0 m<sup>2</sup> with respect to the Maximum Permitted Number of Dwellings requirements;
      - ii. Revise the permitted use of the SRW area, based on the approved Development Permit, as determined to the City's satisfaction, as follows:
        - Permitted encroachments shall include "movable furnishings" that are available for the unrestricted use and enjoyment of the general public (i.e. not assigned, leased, or otherwise designated for the exclusive use of specific users or businesses);
        - "Building Encroachments" shall be permitted to include pedestrian weather protection, architectural appurtenances, signage, and other parts of the building (which may include habitable space); and
        - Exclusive of the single feature column located within the SRW area, as indicated in the Development Permit, the clear distance between the finished grade of the SRW area and the underside of any pedestrian weather protection, architectural appurtenances, or signage shall be at least 2.3 m, and any other "Building Encroachments" shall be at least 6.5 m.

For clarity, reducing the previously approved SRW area by replacing a portion with a Highway Access Agreement shall not affect the development's compliance with Capstan Station Bonus public open space requirements.

- 3.3. (RZC 14.2) Hotel Shuttle Bus Facilities: Reduce the scope of the Hotel Shuttle Bus Facilities (i.e. remove requirements related to on-site shuttle bus and passenger loading) in light of updated requirements that the developer shall provide increased road dedication and construct a public passenger lay-by along the lot's Capstan Way frontage ("Future Capstan Way Widening"). For clarity, this change does not alter the developer's requirement to provide a shuttle bus and enter into a contract with an operator, as was previously required with respect to RZ 15-699647.
- 3.4. (RZC 14.3) Class 1 Bicycle Storage and End-of-Trip Cycling Facilities for Residents and Commercial Uses: Expand the terms of the "End-of-Trip Cycling Facilities & "Class 1 Bike Storage for Non-Residential Uses" previously required with respect to RZ 15-699647 to include:
  - 3.4.1. Class 1 bike storage for residents, in compliance with the Zoning Bylaw and as approved through the Development Permit, including electric vehicle (EV) charging at the same rate as that of the non-residential Class 1 bike spaces; and
  - 3.4.2. Two bike repair and maintenance facilities (i.e. one for residents to share & one for non-residential uses to share), each of which shall comprise a foot-activated pump and repair stand with integrated tools.
- 3.5. (RZC 17) Electric Vehicle (EV) Charging Equipment for Vehicles and "Class 1" Bike Storage: Revise the terms of the "Electric Vehicle (EV) Charging Equipment for Vehicles and "Class 1" Bike Storage" previously required with respect to RZ 15-699647 to require that:
  - 3.5.1. 100% of resident parking shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher);
  - 3.5.2. 5% of commercial parking shall be equipped with energized 240V Charging Stations (i.e. energized outlets capable of providing Level 2 charging or higher) and all EV-equipped commercial parking spaces shall be Assignable Parking spaces (designated for use by specific people or businesses, as per the terms of RZC 15 "Commercial Parking" agreement);
  - 3.5.3. The electrical circuits serving the residential parking stalls must serve only residential parking and the circuits servicing the commercial spaces must only serve commercial parking;
  - 3.5.4. As determined at the developer's discretion, the required service may be provided by either:
    - i. Dedicating one 208V circuit to each individual parking space, such that upon first occupancy of the building, in whole or in part, all of the required EV-equipped parking spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); or
    - ii. Servicing multiple parking spaces with each 40A 208-240V circuit, such that:
      - The building design supports the future installation by others (e.g., residential and/or commercial owners) of a load sharing system capable of delivering at least 12 kWh of charging to every car within an 8 hour period when every parking space is occupied by a charging car (e.g. 4-way load share of a 40A 208-240V circuit); and
      - Upon first occupancy of the building, in whole or in part (i.e. prior to the installation of a load sharing system):
        - a. at least 25% of residential parking spaces (including a proportional share of required Affordable Housing parking spaces) and at least 25% of the required EV-equipped commercial spaces are equipped with an outlet box with a receptacle capable of charging electric vehicles (i.e. one for each 40A 208-240V circuit); and
        - b. the remaining required EV-equipped residential and commercial parking spaces each have an outlet box containing capped energized wires covered with a cover plate.
4. Landscape Security: Submission of a Letter of Credit for landscaping (excluding works secured through a Servicing Agreement Letter of Credit) in the amount of \$578,333.80, based on the costs estimate provided by a CSLA registered landscape architect (including 10% contingency).

**Prior to Building Permit Issuance, the developer must complete the following requirements:**

1. Existing Legal Agreements: Completion, to the City's satisfaction, of the terms of all applicable legal agreements registered on title to the lot prior to rezoning and/or Development Permit issuance. This may include the discharge of existing agreements and the registration of modifications, replacements, and/or new legal agreement, as determined by the City, and may require the developer's submission of security (Letters of Credit), cash payments, reports or letters of assurance, or other items, as applicable.
2. Capstan Station Bonus: Payment of the Capstan Station Reserve contributions for each of Lot B and Lot C.
3. Construction Parking and Traffic Management Plan: Submission of a Plan to the Transportation Department. The Plan shall include locations for parking for services, deliveries, and workers, loading, applications for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Accessibility: Incorporation of accessibility measures in Building Permit\* plans as determined via the Development Permit.
5. Construction Hoarding: Obtain a Building Permit\* (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit\*. For additional information, contact the Building Approvals Department at 604-276-4285.

**NOTE:**

- *Items marked with an asterisk (\*) require a separate application.*
- *Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.*

*All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.*

*The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.*

- *Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.*
- *Applicants for all City Permits are required to comply at all times with the conditions of the Provincial Wildlife Act and Federal Migratory Birds Convention Act, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.*

**SIGNED COPY ON FILE**

Signed \_\_\_\_\_

Date \_\_\_\_\_



No. DP 15-699652

To the Holder: GBL Architects

Property Address: 8091 Capstan Way

Address: 300 – 224 West 8th Avenue, Vancouver, BC, V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500", is hereby varied to:
  - a) reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
  - b) reduce the minimum required number of medium truck loading spaces from three to two.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #18 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$578,333.80 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 15-699652**

To the Holder: GBL Architects

Property Address: 8091 Capstan Way

Address: 300 – 224 West 8th Avenue, Vancouver, BC, V5Y 1N5

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

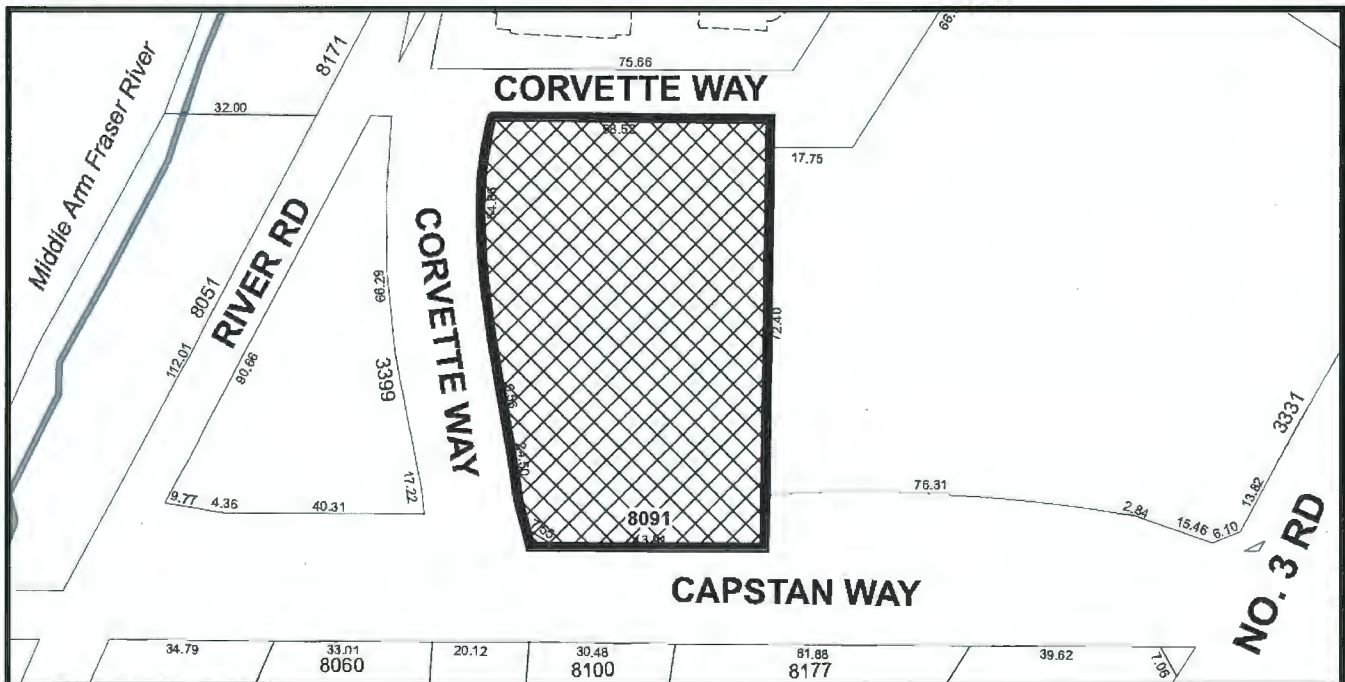
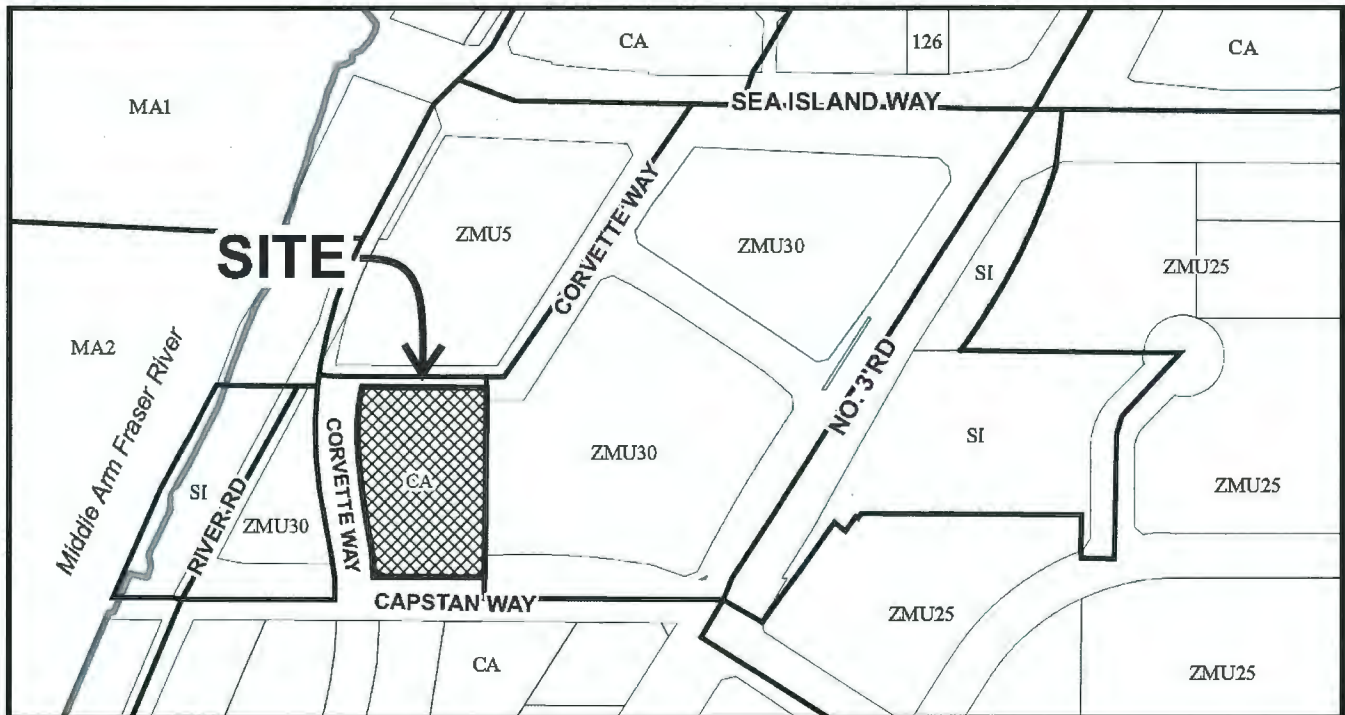
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MAYOR





# City of Richmond



**DP 15-699652**  
**SCHEDULE "A"**

Original Date: 09/28/15

Revision Date: 03/01/21

Note: Dimensions are in METRES

**VARIANCES:** *The development reduces the minimum building and balcony/porch setbacks along the site's north frontage and the minimum number of medium loading spaces. Variances are shown on Plan #2 Site Plan and applicable floor plans, building sections, and landscape plans.*

**Statutory Rights-of-Ways:** Prior to rezoning adoption and/or Development Permit issuance, as applicable, right-of-ways for public access and utilities and a Highway Access agreement will be registered on title. These areas comprise part of the net developable site for Development Permit and Building Permit FAR calculation purposes and are shown on **Plan #2 Site Plan** and the applicable floor plans and landscape plans. (NOTE: After Building Permit issuance, the City may require dedication of the Highway Access agreement area for sidewalk & related purposes.)

**Energy/Sustainability:** LEED Silver equivalent. (BC Energy Step Code is not applicable. )

**District Energy Utility (DEU):** Legal agreement registered on title. DEU-ready design required.

**Maximum Number of Dwellings:** 137 (secured by legal agreement registered on title)

**Capstan Station Reserve:** Legal agreement registered on title. The developer's contribution is payable prior to Building Permit issuance, as per City bylaw.

DRAWINGS ORGANIZED AS FOLLOWS:

1. PLAN #1

Statistics
2. PLAN #2

Site Plan – Includes:
  - Variance
  - SRWs (public access, traffic controller, UPS, LPT & streetlight kiosk)
  - Highway Access agreement area
  - Context
  - Shading studies (REFERENCE PLAN)
3. PLAN #3

Floor Plans
  - Flood Construction covenant registered on title to the site
4. PLAN #4

Landscape
5. PLAN #5

Building Sections
6. PLAN #6

Building Elevations
7. PLAN #7

Materials
8. PLAN #8

3D Views
9. PLAN #9

Streetscape Details – Includes:
  - Corner Plaza (Southwest corner, including Public Art)
  - Townhouses (North frontage)
  - Residential Tower Entrances (West & south frontages)
10. PLAN #10

Hotel Summary – Legal agreements registered on title to the site:
  - Place restrictions on guest room features; and
  - Prohibit access between the hotel & residential parts of the building
11. PLAN #11

Affordable Housing Summary
  - 9 low-end-market-rental (LEM/R) units
12. PLAN #12

Basic Universal Housing (BUH) & Aging in Place Summary
  - 65 BUH units (100% of Affordable Housing & 56 market units)
  - All other units include aging in place features
13. PLAN #13

Indoor & Outdoor Amenity Space Summary
  - Indoor & outdoor residential amenity spaces are for the exclusive use of residents (i.e. NOT shared with hotel guests).
14. PLAN #14

Waste Management Summary
15. PLAN #15

Residential & Commercial Cycling Facilities & EV Charging Summary
  - End-of-trip cycling facilities are provided for commercial tenants
  - 2 bike maintenance/repair rooms are provided (1 for residents & 1 for commercial tenants)
  - Energized 120V duplex outlets provided (at least 1 for each 10 bikes in each Class 1 bike room)
16. PLAN #16

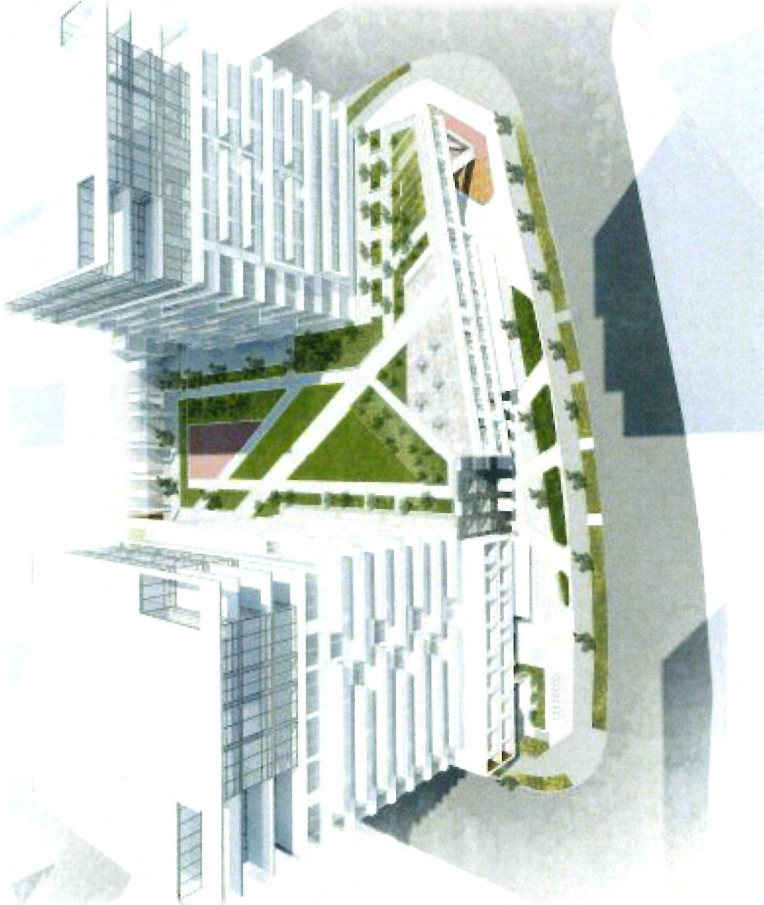
Residential & Commercial Parking & EV Charging Summary
  - 50% of commercial parking (33 spaces) is secured “Public Parking” (i.e. short-term/hourly parking for visitors to the site & the general public). The remaining 50% of commercial parking (33 spaces) is “Assignable Parking” and may be leased, sold, or otherwise assigned to specific people or businesses at the discretion of the owner/parking operator. (Legal agreement on title.)
  - Energized 240V EV charging stations are provided for 100% of residential parking spaces & 5% of commercial parking spaces (Commercial EV are all “Assignable Parking” spaces.) If load sharing is permitted by the City, then upon occupancy at least 25% of resident outlets & 25% of commercial outlets must allow vehicles to plug-in & charge (i.e. remainder shall have cover plates)
17. PLAN #17

Fire Response Summary
18. PLAN #18

Signage (REFERENCE PLAN)

PROJECT TEAM:

<b>OWNER</b> MINGLIAN HOLDINGS LTD JORDAN SU 604-620-3596 ext. 8980 jordan@minglian.ca	<b>ARCHITECT</b> GBL ARCHITECTS INC. AMELA BRUDAR 604-736-1156 abrudar@gbllarchitects.com	<b>STRUCTURAL</b> RJC ENGINEERS JAMES MUNRO 604-736-0046 jmunro@rjc.ca	<b>MECHANICAL</b> NORMAN DISNEY & YOUNG Alexander J. Boone 604-734-9338 A.Boone@ndy.com	<b>ELECTRICAL</b> NEMETZ ISAI & ASSOCIATES LTD PETER TOLETINO 604-736-4652 peter@nemetz.com	<b>CIVIL</b> HEY ENGINEERING LTD WILL BODINAR 604-383-1616 will.bodinard@heyengineering.com	<b>LANDSCAPE</b> PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC GRAN BRUMPTON 604-686-5111 gbrumpton@pwlpartnership.com	<b>GEOTECHNICAL</b> GEOPACIFIC CONSULTANTS LTD KHIDHIR JORJI 604-439-0922 jorji@geopacific.ca	<b>CODE</b> PROTECTION ENGINEERING GERARD SASS 604-482-0288 gsass@protectionengineering.com	<b>INTERIOR DESIGN</b> LOT 30 DESIGN STUDIO IAN WONG 604-915-7338 iwong@lot30design.com	<b>TRANSPORTATION</b> ISL ENGINEERING AND LAND SERVICES BORIS CHAN 604-371-0091 bchan@islangengineering.com	<b>ENVELOPE</b> AQUA-COAST ENGINEERING LTD PAT CUTHERBERT 604-944-9910 pcutherbert@aquacoast.ca
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THE CAPSTAN

DEVELOPMENT SUMMARY

A.001

DP 15-699652

April 28, 2021

PLAN # 1a

BUILDING DATA

GENERAL				
LEGAL DESCRIPTION		LOT 41 EXCEPT: PARCEL B (BYLAW PLAN 73014), SECTION 28 BLOCK 5 NORTH RANGE 6 NEW WESTMINSTER DISTRICT PLAN 27115		
CIVIC ADDRESS		8091 CAPSTAN WAY		

ZONING DATA

ZONING	RCL5
EXISTING SITE AREA	PROPOSED HIGHWAY ACCESS AGREEMENT CORVETE ROAD AREA PROPOSED CAPSTAN STATION BONUS SRW CAPSTAN WAY ROAD AREA 53,894.9 ft² 109.6 m² 350.9 m² 391.5 m² 355.7 m²
NET SITE AREA	46,408.6 ft²
BUILDING HEIGHT (FROM SEA LEVEL)	154.2 ft 47 m
NO. OF STORIES	14
SETBACKS	NORTH 6'-7" / 2.0 m EAST 4" / 0.1 m SOUTH 9'-10" / 3 m for portions of building below 4m from grade 6'-7" / 2.0 m for habitable portions of the building above 4m from grade 1'-9" / 0.5 m for balconies above 4m from grade WEST 9'-10" / 3 m

TOTAL NUMBER OF RESIDENTIAL UNITS...172 ONE BEDROOM...57 TWO BEDROOM...60 THREE BEDROOM...15 TOWNHOUSES...5
TOTAL NUMBER OF AFFORDABLE UNITS...2 ONE BEDROOM...2 TWO BEDROOM...2 THREE BEDROOM...1
BUN UNITS TOTAL...48 ONE BEDROOM...32 TWO BEDROOM...10 THREE BEDROOM...13

MAXIMUM FSR	PERMITTED		PROPOSED		TOTAL PROPOSED	
	RATIO	AREA	RATIO	AREA		COMM+HOTEL AREA
COMMERCIAL	1.04	48,265 SF	0.18	8,247 ft²	1.09	50,370 ft²
HOTEL			0.91	42,123 ft²		
RESIDENTIAL	2.61	121,126 SF	2.56	119,020 ft²	2.56	119,020 ft²
TOTAL	3.65	169,391 SF	3.65	169,390 ft²	3.65	169,390 ft²

FSR CALCULATIONS

LEVEL	RESIDENTIAL					COMMERCIAL					HOTEL			FSR TOTAL		
	a GROSS	b CIRCULATION	c AMENITY	d CORES	e=a-b-c-d RESI. SUITES	f BUH EXCLUSIONS	g= c+d+f TOTAL CORE EXCL.	h= a-g RESI FSR	i COMM. SUITES	j CIRCULATION	k=i+j COMM. FSR	l HOTEL (Lobby, Rooms, Restaurant)	m CIRCULATION	n CORES	o=l+m HOTEL FSR	p=h+k+o FSR TOTAL
CRU-grade	6,216 ft²	3,434 ft²			2,220 ft²			5,654 ft²	7,203 ft²	1,044 ft²	8,247 ft²	1,872 ft²	531 ft²	357 ft²	2,403 ft²	16,304 ft²
Level 2	4,627 ft²	530 ft²		726 ft²	3,371 ft²		726 ft²	3,901 ft²				5,410 ft²	2,620 ft²	657 ft²	8,031 ft²	11,932 ft²
Level 3	5,675 ft²	1,056 ft²		726 ft²	3,893 ft²	100 ft²	826 ft²	4,849 ft²				6,880 ft²	2,424 ft²	532 ft²	9,304 ft²	14,153 ft²
Level 4	10,981 ft²	1,392 ft²	4,272 ft²	726 ft²	4,591 ft²	60 ft²	5,058 ft²	5,923 ft²				5,472 ft²	1,397 ft²	484 ft²	6,869 ft²	12,792 ft²
Level 5	6,434 ft²	598 ft²		726 ft²	5,110 ft²	60 ft²	786 ft²	5,647 ft²				5,442 ft²	1,512 ft²	484 ft²	7,426 ft²	13,073 ft²
Level 6	6,434 ft²	598 ft²		726 ft²	5,110 ft²	60 ft²	786 ft²	5,648 ft²				5,443 ft²	1,511 ft²	484 ft²	7,426 ft²	13,073 ft²
Level 7	12,141 ft²	1,196 ft²		726 ft²	10,220 ft²	120 ft²	846 ft²	11,295 ft²							11,295 ft²	11,295 ft²
Level 8	12,141 ft²	1,196 ft²		726 ft²	10,220 ft²	120 ft²	846 ft²	11,295 ft²							11,295 ft²	11,295 ft²
Level 9	12,141 ft²	1,196 ft²		726 ft²	10,220 ft²	120 ft²	846 ft²	11,295 ft²							11,295 ft²	11,295 ft²
Level 10	12,141 ft²	1,196 ft²		726 ft²	10,220 ft²	120 ft²	846 ft²	11,295 ft²							11,295 ft²	11,295 ft²
Level 11	12,141 ft²	1,196 ft²		726 ft²	10,220 ft²	120 ft²	846 ft²	11,295 ft²							11,295 ft²	11,295 ft²
Level 12	11,557 ft²	1,163 ft²		726 ft²	9,668 ft²	140 ft²	866 ft²	10,691 ft²							10,691 ft²	10,691 ft²
Level 13	10,973 ft²	1,188 ft²		726 ft²	9,059 ft²	160 ft²	886 ft²	10,087 ft²							10,087 ft²	10,087 ft²
LEVEL 14	10,990 ft²	1,178 ft²		726 ft²	9,086 ft²	120 ft²	846 ft²	10,144 ft²							10,144 ft²	10,144 ft²
TOTAL	134,593 ft²	17,115 ft²	4,272 ft²	9,437 ft²	103,207 ft²	1,302 ft²	15,010 ft²	119,020 ft²	7,203 ft²	1,044 ft²	8,247 ft²	30,519 ft²	10,661 ft²	2,998 ft²	42,123 ft²	169,390 ft²

AMENITY AREAS CALCULATIONS

	REQUIRED MINIMUM	PROVIDED
INDOOR	For 40- 199 dwellings: 100.0 m² (1,076.4 ft²)	396.9 m² (4,272.0 ft²)
OUTDOOR	1,253 m² (13,489 ft²), including: -Residential Recreation: 137 units X 6.0 m²/unit = 822 m² (8,848 ft²) -including at least 50% children's play area -CCAP Additional Landscape: 10% of net site area = 432 m² (4,641 ft²)	2,358 m² (25,384 ft²) including: -Residential Recreation (a podium roof level 4; 1,402.2 m² (15,093 ft²) (includes children play area 416.3 m² (4,481ft²) -Hotel amenity: 358.3 m² (3,857 ft²) level 4 -CCAP Additional Landscape: 547 m² (5,887.9 ft²) grade level (excluding private patios).
GREEN ROOFS	encouraged	428m² (4,607 ft²)

PARKING - VEHICLE

	REQUIRED	After DTM reduction 10%	PROVIDED
RESIDENTIAL - SUITES	0.9/Affordable Unit + 1/Market Unit = 0.9x9 + 1x128		
RESIDENTIAL - VISITORS	0.2/dwelling = 0.2x 137 = 27 Stalls (Shared commercial spaces)	122.5 Stalls	124 commercial stalls
COMMERCIAL	3.75/1,076 ft² = 8,256/1,076 x 3.75	26 Stalls	20 (none assigned)
HOTEL	0.5x0.85/72(Rms)+10x0.85/1,076 ft² Restaurant = 44 Stalls	40 Stalls	46 (33 assigned)
TOTAL		209 Stalls	190 Stalls

DISABILITY STALLS	REQUIRED	PROVIDED
RESIDENTIAL	3 Stalls	3 Stalls
COMMERCIAL	1 Stall	1 Stall
HOTEL	1 Stall	2 Stall
TOTAL	5 Stalls	6 Stalls

SMALL STALLS	PERMITTED	PROVIDED
RESIDENTIAL	50% of 124	56 Stalls
COMMERCIAL	50% of 20	10 Stall
HOTEL	50% of 46	23 Stall
TOTAL	50% of 190	92 Stalls

PARKING - BICYCLES

	CLASS 1		CLASS 2	
	REQUIRED	PROVIDED	REQUIRED	PROVIDED*
RESIDENTIAL	172 Stalls	172 Stalls	27.4 Stalls	28 Stalls
COMMERCIAL	3 Stalls	3 Stalls	2.7 Stalls	3 Stalls
HOTEL	10 Stalls	12 Stalls	10.3 Stalls	10 Stalls
TOTAL	185 Stalls	187 Stalls	41 Stalls	41 Stalls

\* REFER TO LANDSCAPE DRAWINGS FOR THE LOCATION OF CLASS 2 BICYCLE RACKS

LOADING SPACES

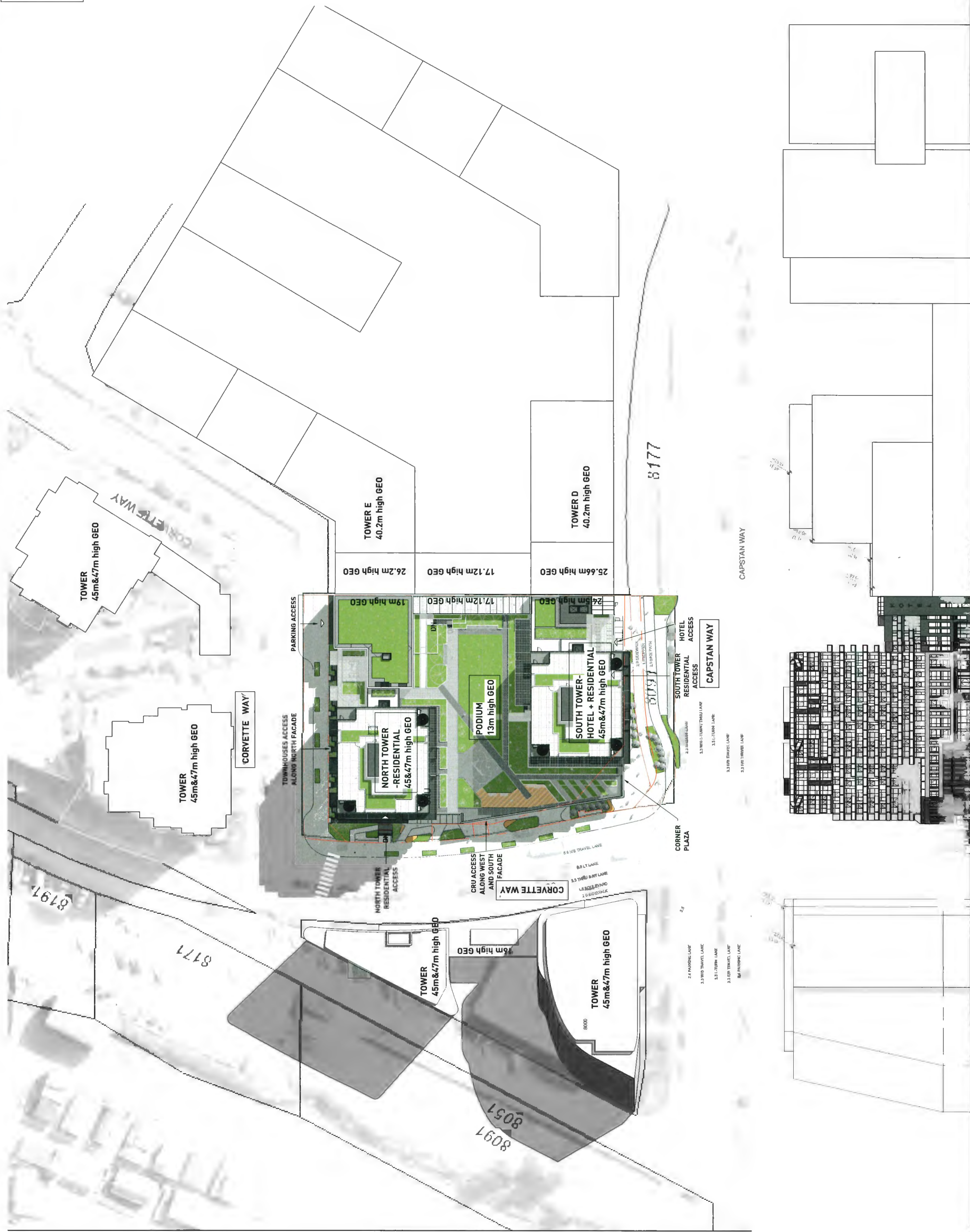
	REQUIRED	PROVIDED
RESIDENTIAL	1 Medium Stall	1 Medium Stall
COMMERCIAL	1 Medium Stall	1 Medium Stall (Shared)
HOTEL	1 Medium Stall	
TOTAL	3 Medium Stalls	2 Medium Stalls

GBLARCHITECTS











DP 15-699652

April 28, 2021

PLAN # 2b

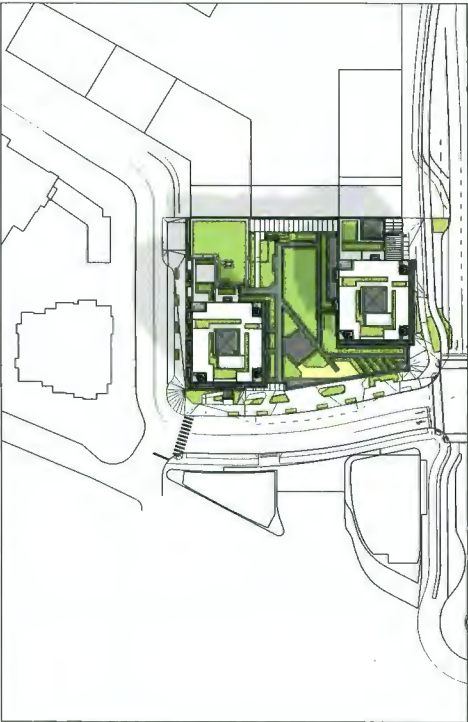
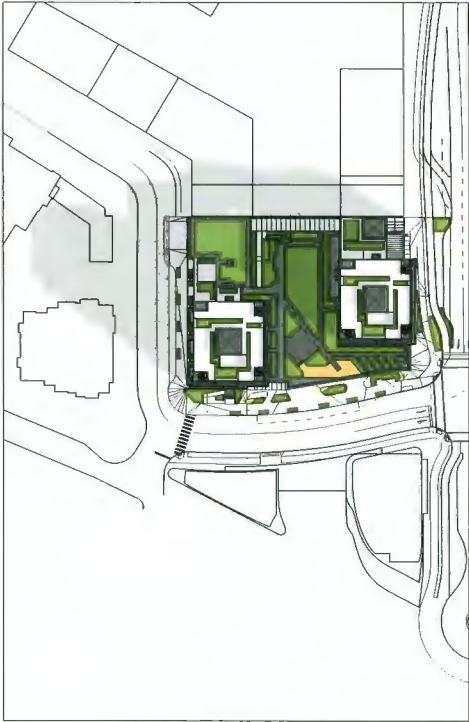
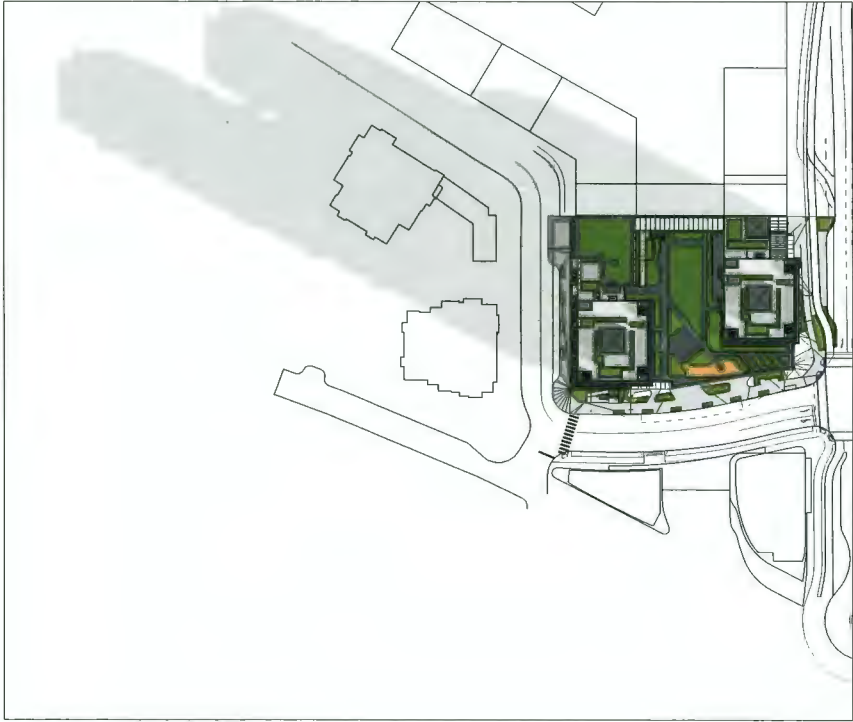
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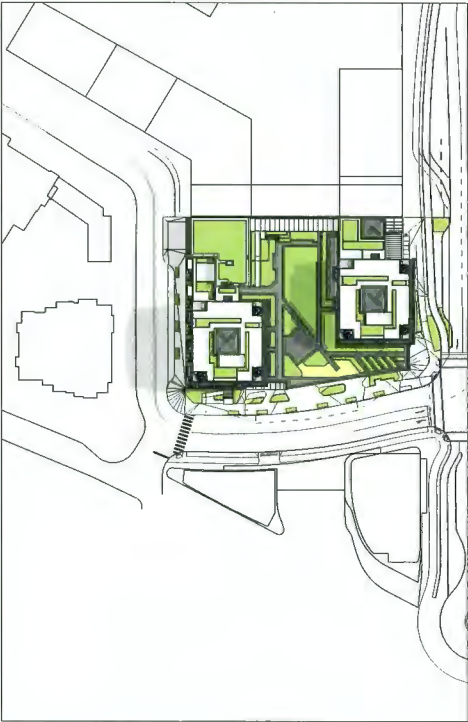
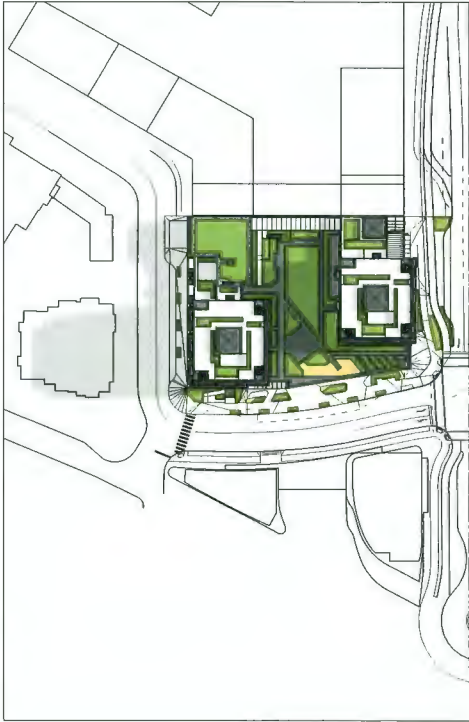
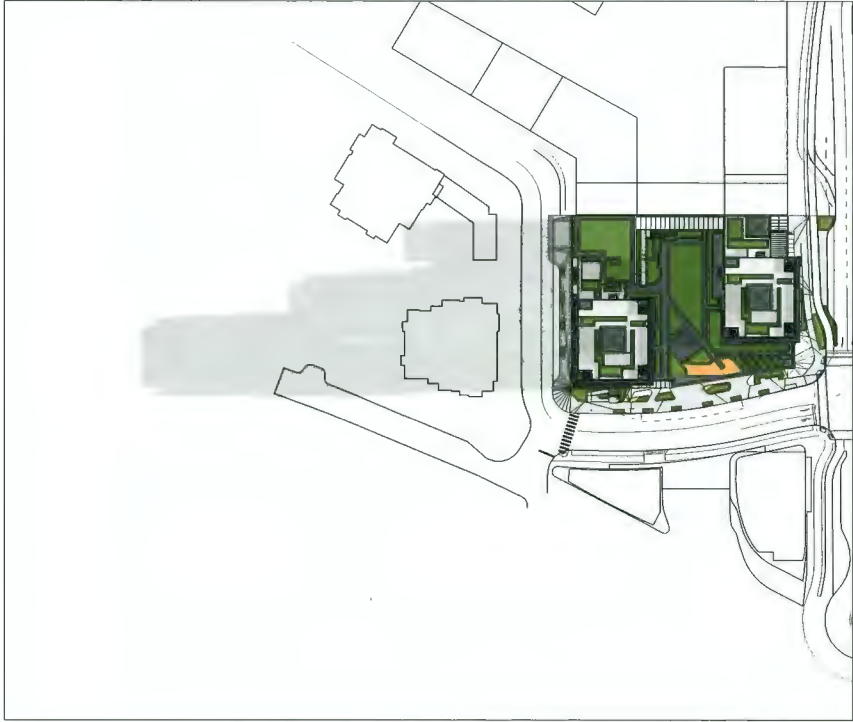
THE CAPSTAN

GBLARCHITECTS

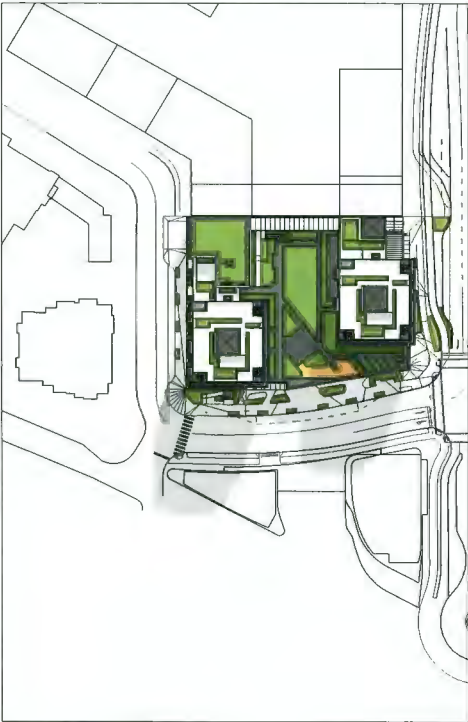
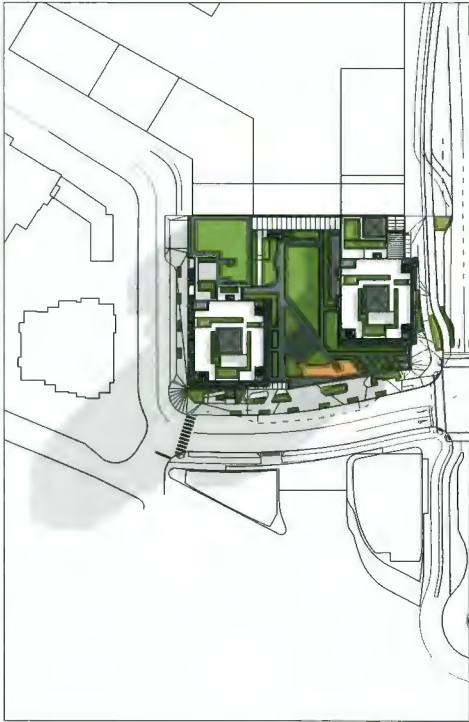
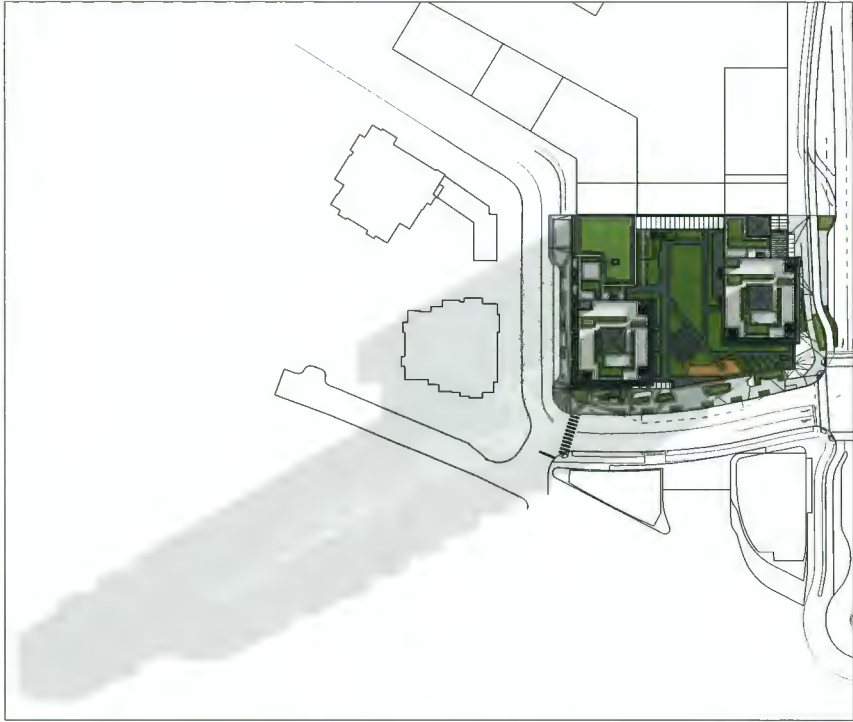
2PM



12PM



10AM



DECEMBER 20

MARCH 20

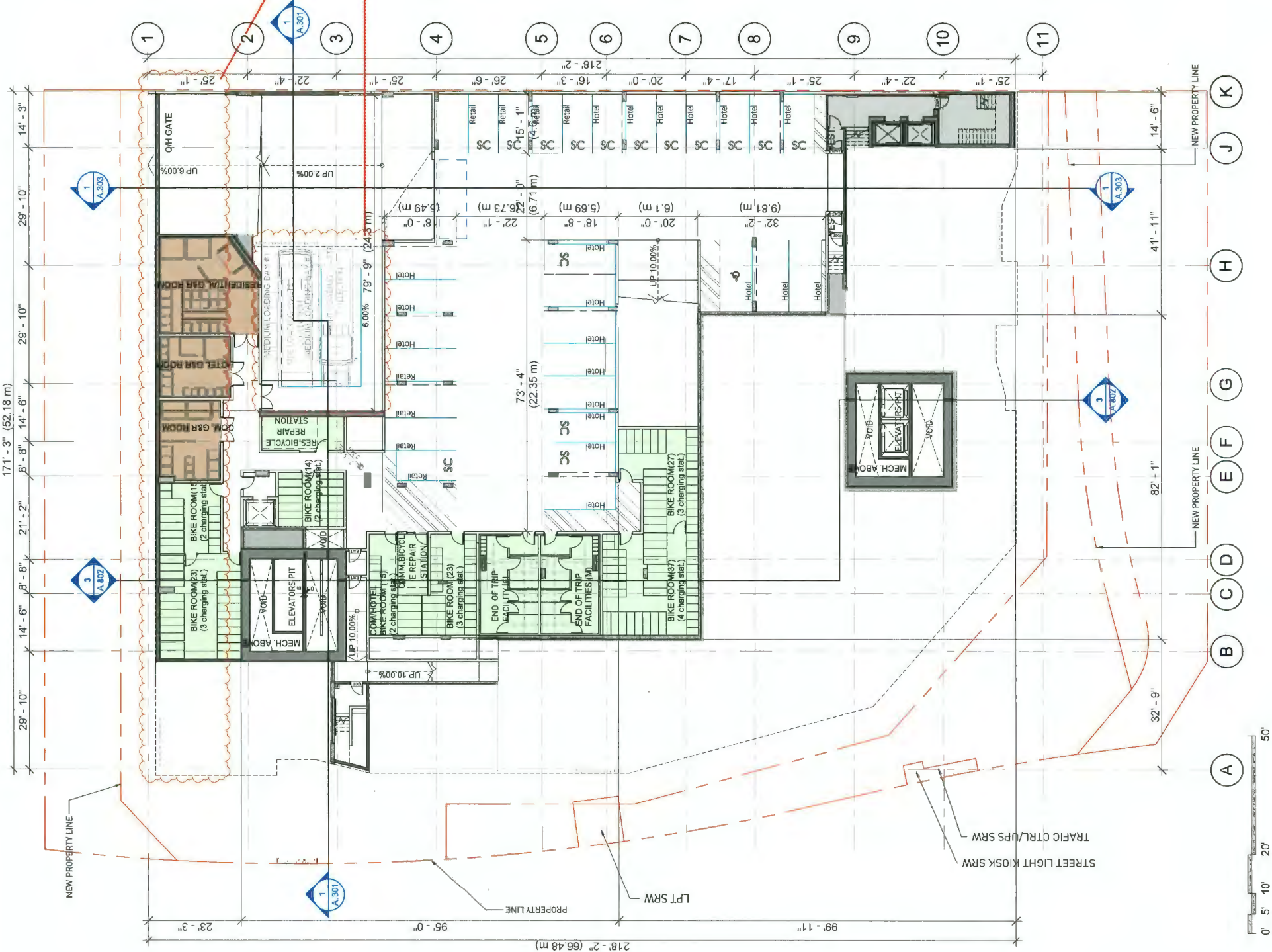
JUNE 20



DP 15-699652

April 28, 2021

PLAN # 3a



- BIKE ROOM
- CIRCULATION
- PARKING
- GARBAGE

**VARIANCES:** Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

a. reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and

b. reduce the minimum required number of medium truck loading spaces from three to two.

PARKING SCHEDULE - LEVEL P1...

COMMERCIAL	REGULAR CAR STALL	3
COMMERCIAL	SMALL CAR STALL	5
HOTEL	H/C STALL	1
HOTEL	REGULAR CAR STALL	10
HOTEL	SMALL CAR STALL	10
TOTAL THIS FLOOR:		29

BIKE PARKING SCHEDULE - LEVEL P1...

BICYCLE	BICYCLE - HOR.	90
BICYCLE	BICYCLE - VERT.	64
TOTAL THIS FLOOR:		154



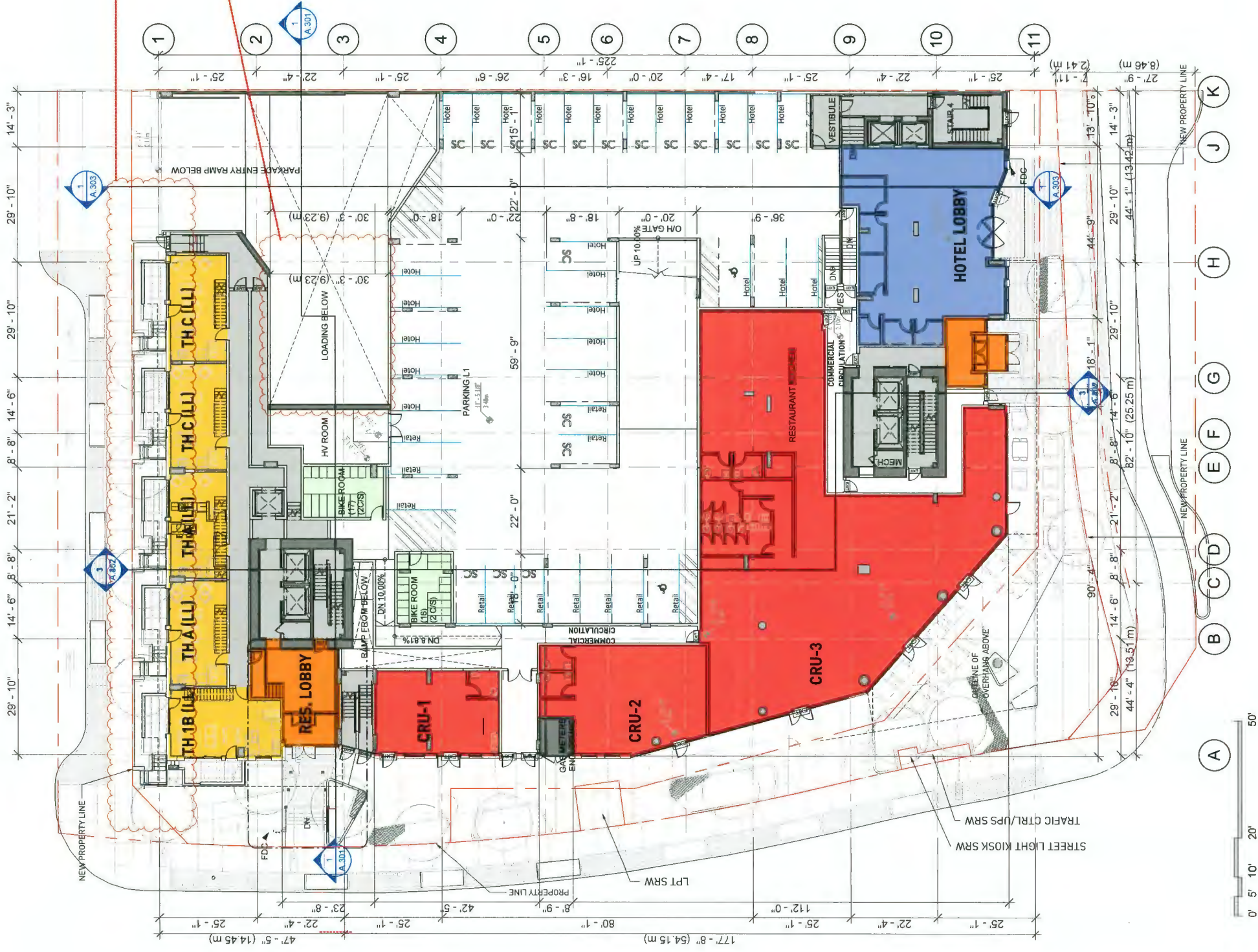
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**PLAN # 3b**

- reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m; and
- reduce the minimum required number of medium truck loading spaces from three to two.

# THE CAPSTAN

**GBL ARCHITECTS**



## PARKING SCHEDULE - LEVEL 1...

COMMERCIAL	H/C STALL	1
COMMERCIAL	REGULAR CAR STALL	6
COMMERCIAL	SMALL CAR STALL	5
HOTEL	H/C STALL	1
HOTEL	REGULAR CAR STALL	11
HOTEL	SMALL CAR STALL	13
TOTAL THIS FLOOR:		37

## BIKE PARKING SCHEDULE - LEVEL 1...

BICYCLE	BICYCLE - HOR.	14
BICYCLE	BICYCLE - VERT.	19
TOTAL THIS FLOOR:		33



LEVEL 2 FLOOR PLAN

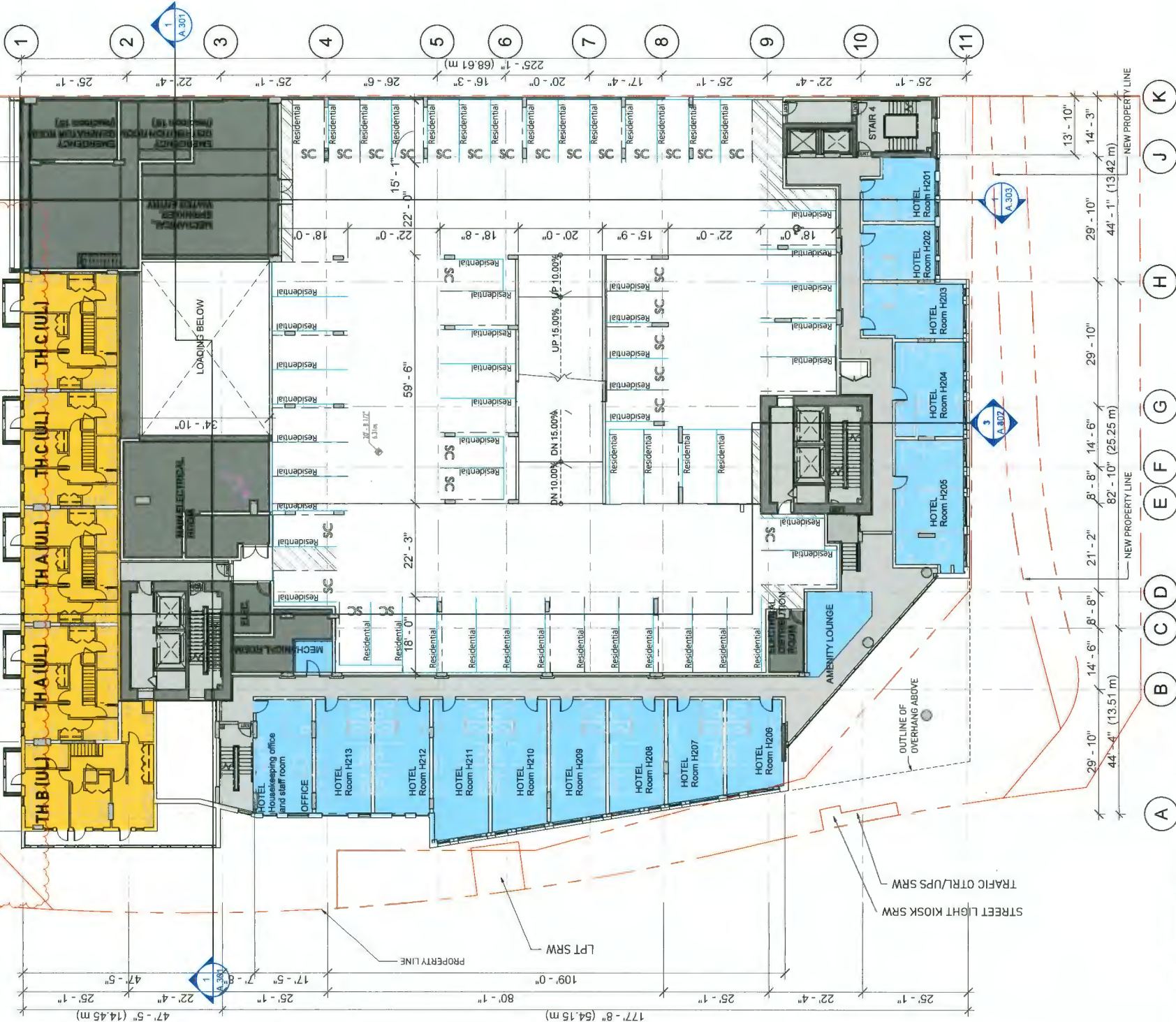
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DP 15-699652

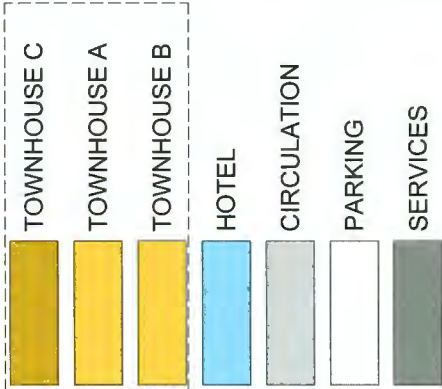
April 28, 2021

PLAN # 3c

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8600, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



THREE BEDROOM MARKET UNITS



PARKING SCHEDULE - LEVEL 2...

RESIDENTIAL	H/C STALL	1
RESIDENTIAL	REGULAR CAR STALL	30
RESIDENTIAL	SMALL CAR STALL	27
TOTAL THIS FLOOR:		58

BIKE PARKING SCHEDULE - LEVEL 1...

BICYCLE	BICYCLE - HOR.	14
BICYCLE	BICYCLE - VERT.	19
TOTAL THIS FLOOR:		33



LEVEL 3 FLOOR PLAN

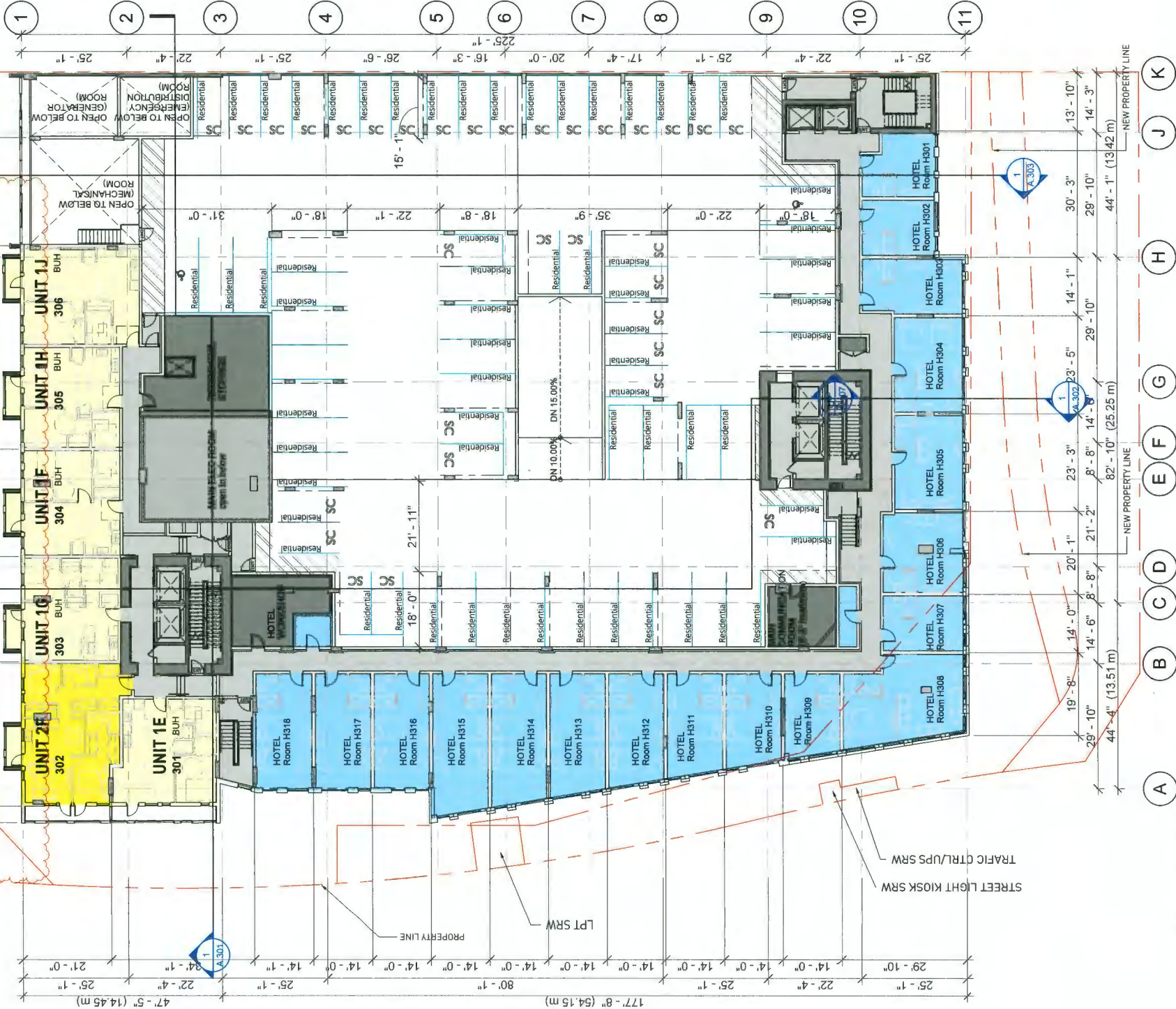
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DP 15-699652

April 28, 2021

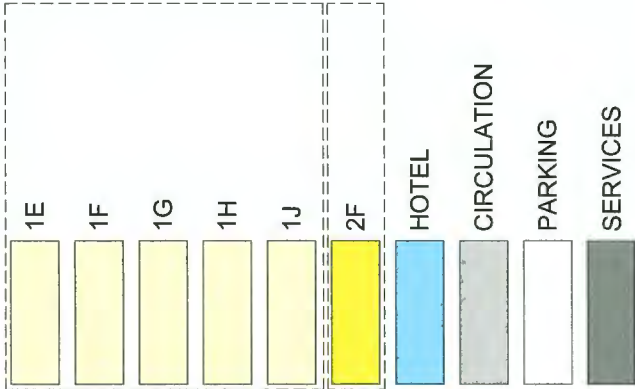
PLAN # 3d

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 7677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



ONE BEDROOM MARKET UNITS

TWO BEDROOM MARKET UNITS



PARKING SCHEDULE - LEVEL 3...

RESIDENTIAL	H/C STALL	2
RESIDENTIAL	REGULAR CAR STALL	32
RESIDENTIAL	SMALL CAR STALL	32
TOTAL THIS FLOOR:		66

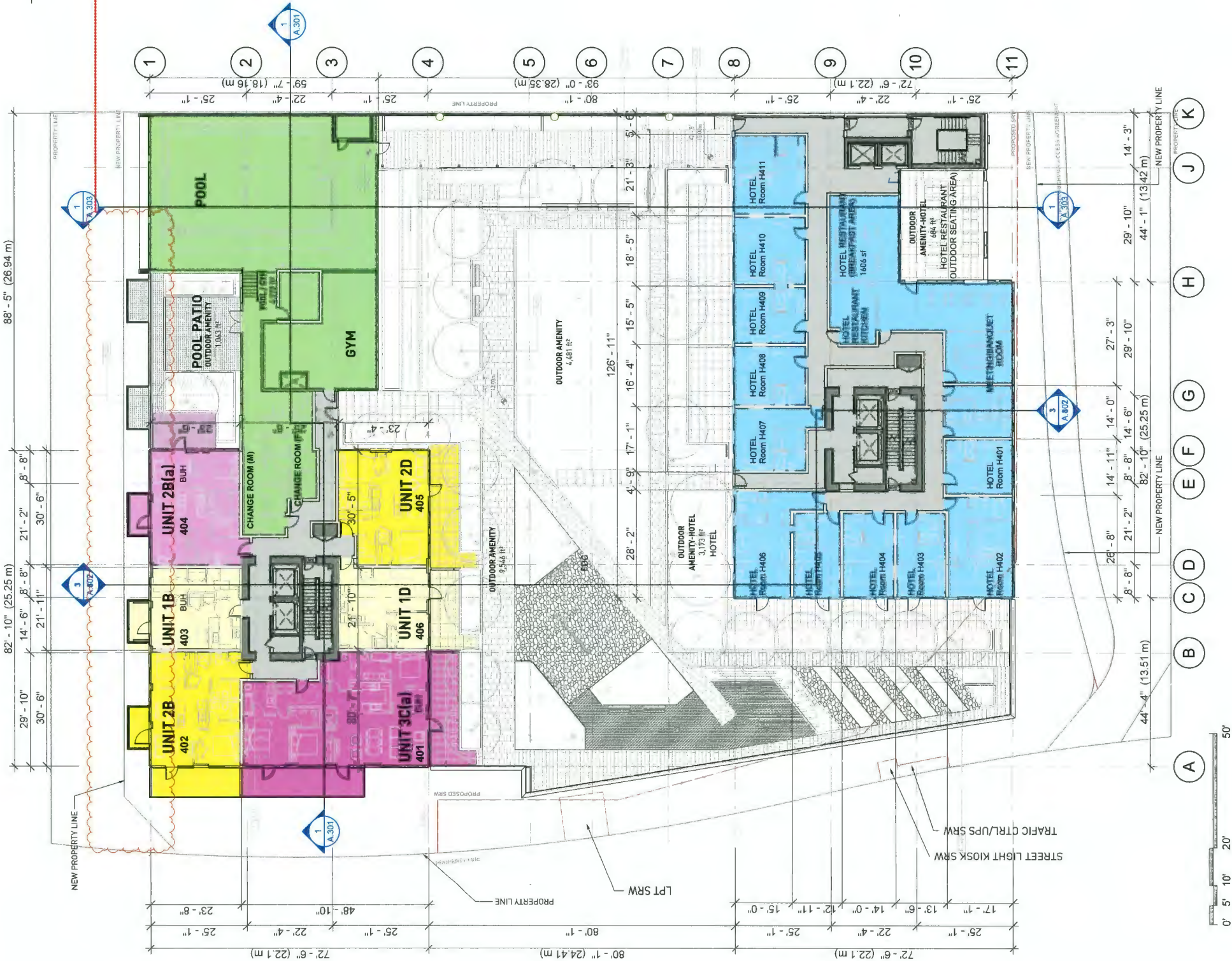


LEVEL 4 FLOOR PLAN

A.104

DP 15-699652  
April 28, 2021  
PLAN # 3e

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

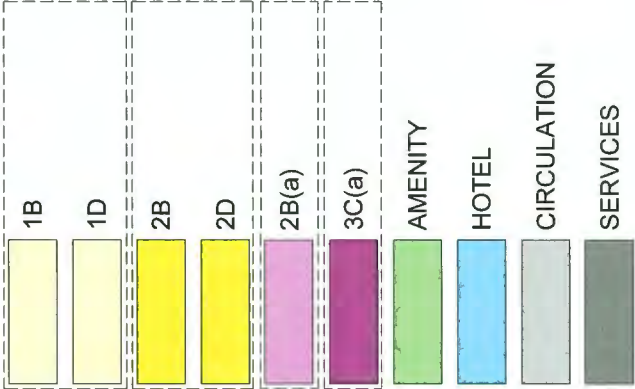


ONE BEDROOM MARKET UNITS

TWO BEDROOM MARKET UNITS

TWO BEDROOM AFFORDABLE UNITS

THREE BEDROOM AFFORDABLE UNITS



AMENITY PROVIDED...

Level 4 POOL / GYM  
Grand total: 1

DP

4,272 ft²  
4,272 ft²

AMENITY OUTDOOR PROVIDED.....

Level 4 OUTDOOR AMENITY 15,089 ft²  
Level 4 OUTDOOR AMENITY-HOTEL 3,857 ft²  
Grand total: 5 18,947 ft²





LEVEL 5 FLOOR PLAN

A.105

DP 15-699652  
April 28, 2021  
PLAN # 3f

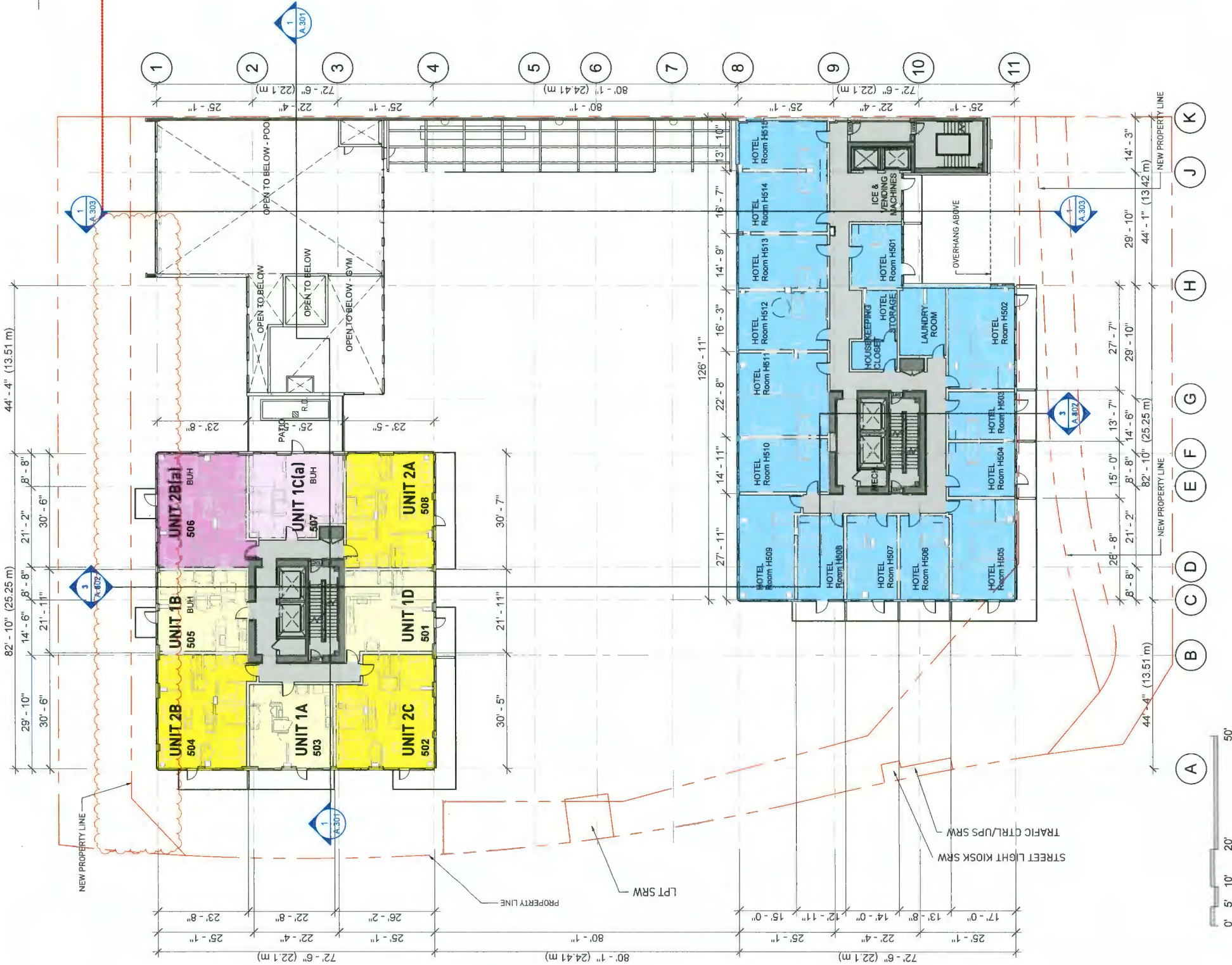
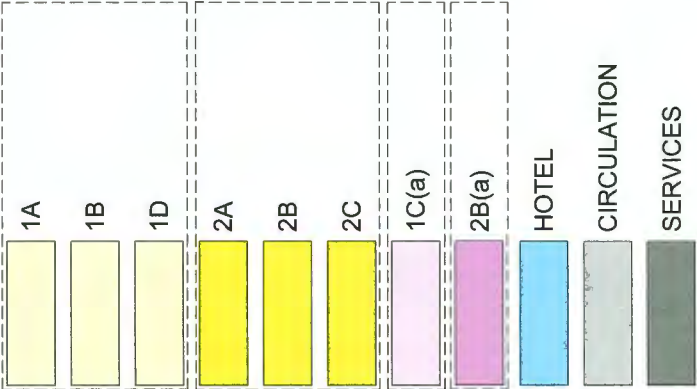
VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

ONE BEDROOM MARKET UNITS

TWO BEDROOM MARKET UNITS

ONE BEDROOM AFFORDABLE UNITS

TWO BEDROOM AFFORDABLE UNITS



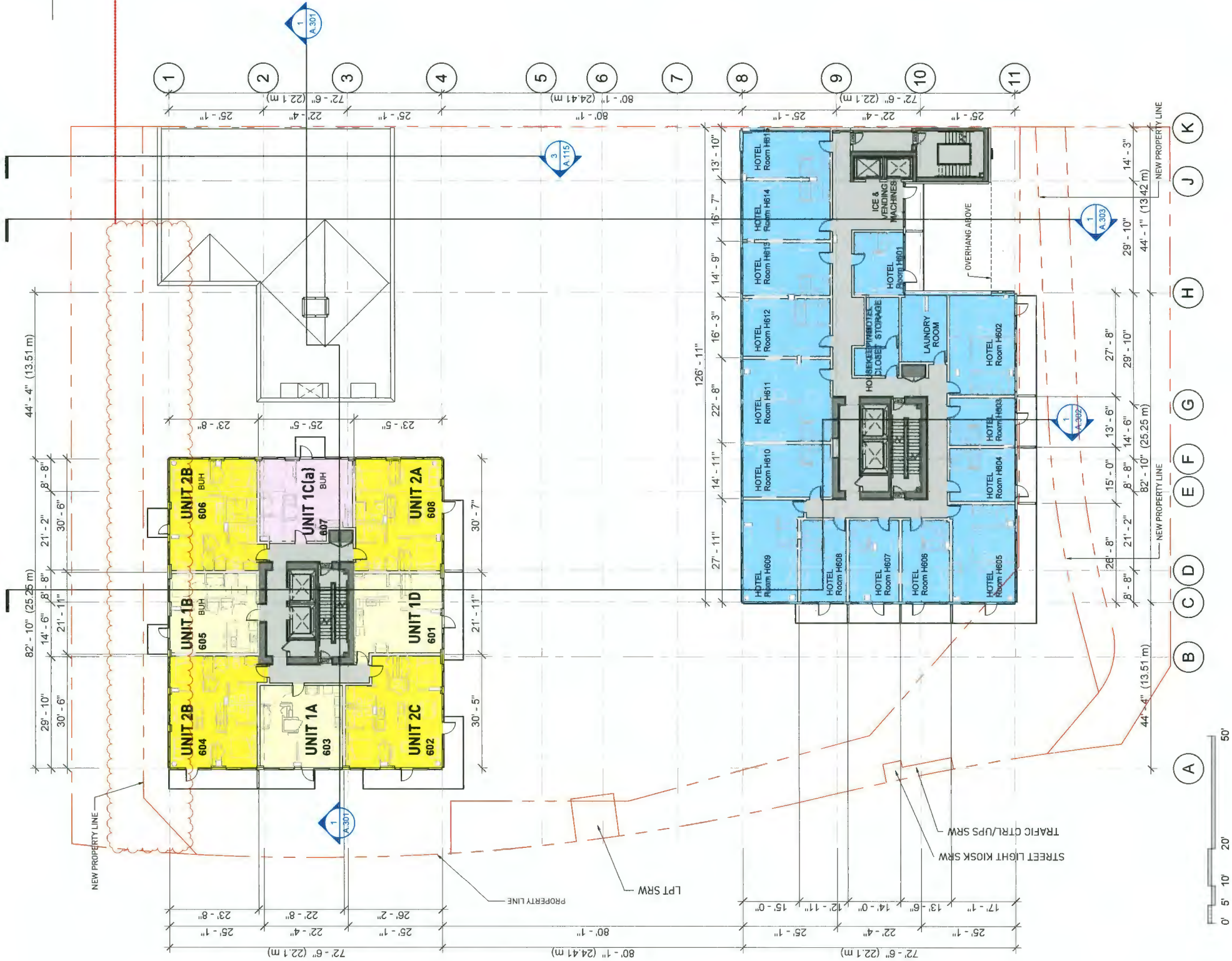
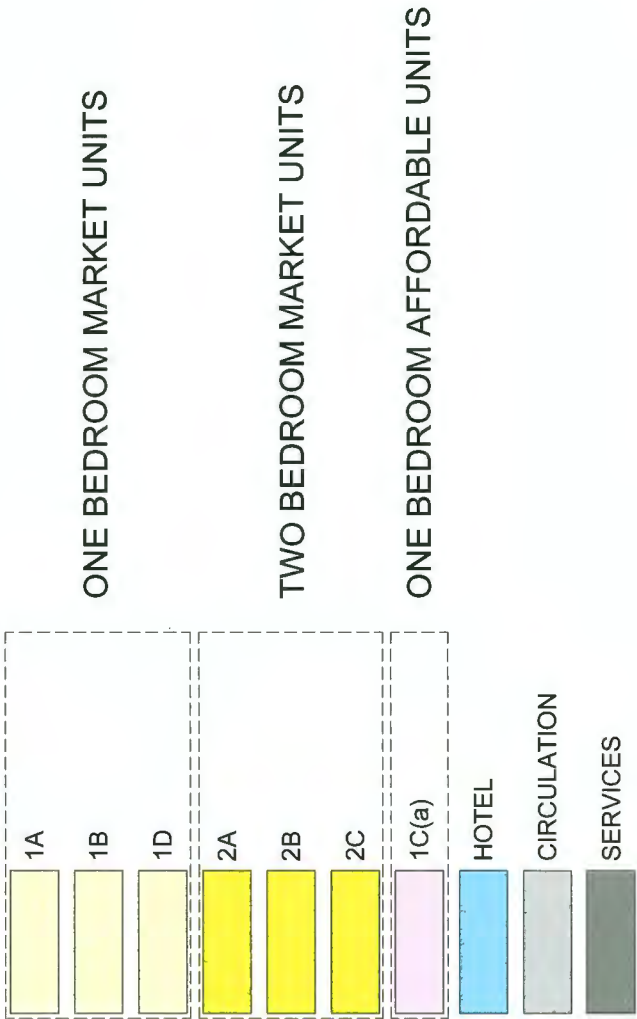


LEVEL 6 FLOOR PLAN

A.106

DP 15-699652  
April 28, 2021  
PLAN # 3g

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



THE CAPSTAN

GBL ARCHITECTS



LEVELS 7-10 FLOOR PLAN

A.107

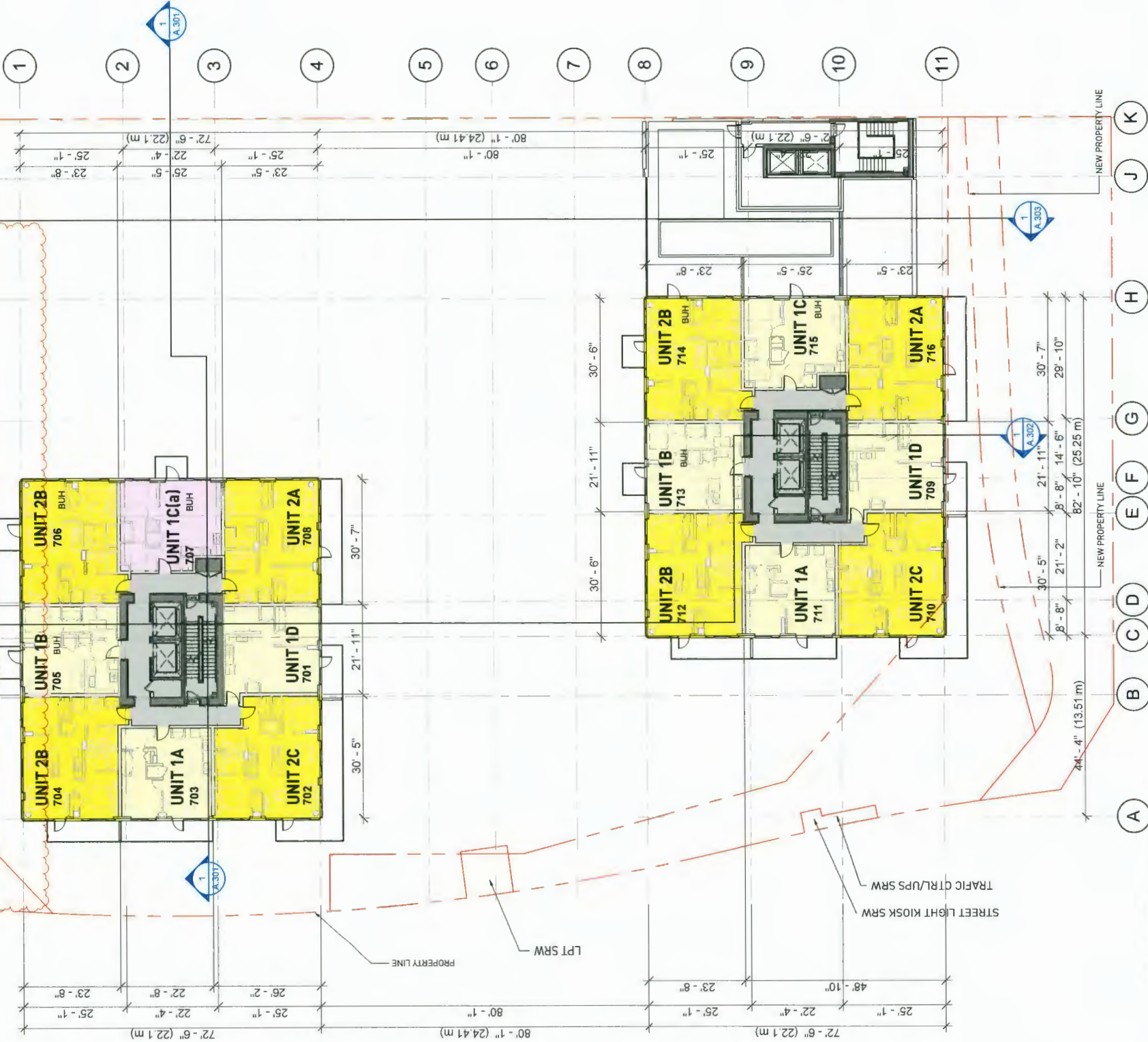
DP 15-699652

April 28, 2021

PLAN # 3h

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

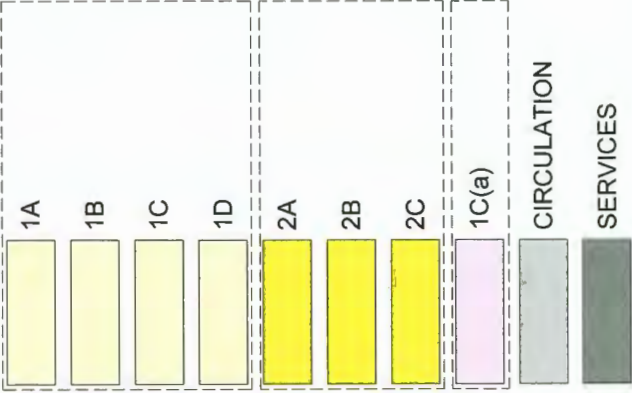
- reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



ONE BEDROOM MARKET UNITS

TWO BEDROOM MARKET UNITS

ONE BEDROOM AFFORDABLE UNITS



THE CAPSTAN

GBLARCHITECTS



LEVEL 11 FLOOR PLAN

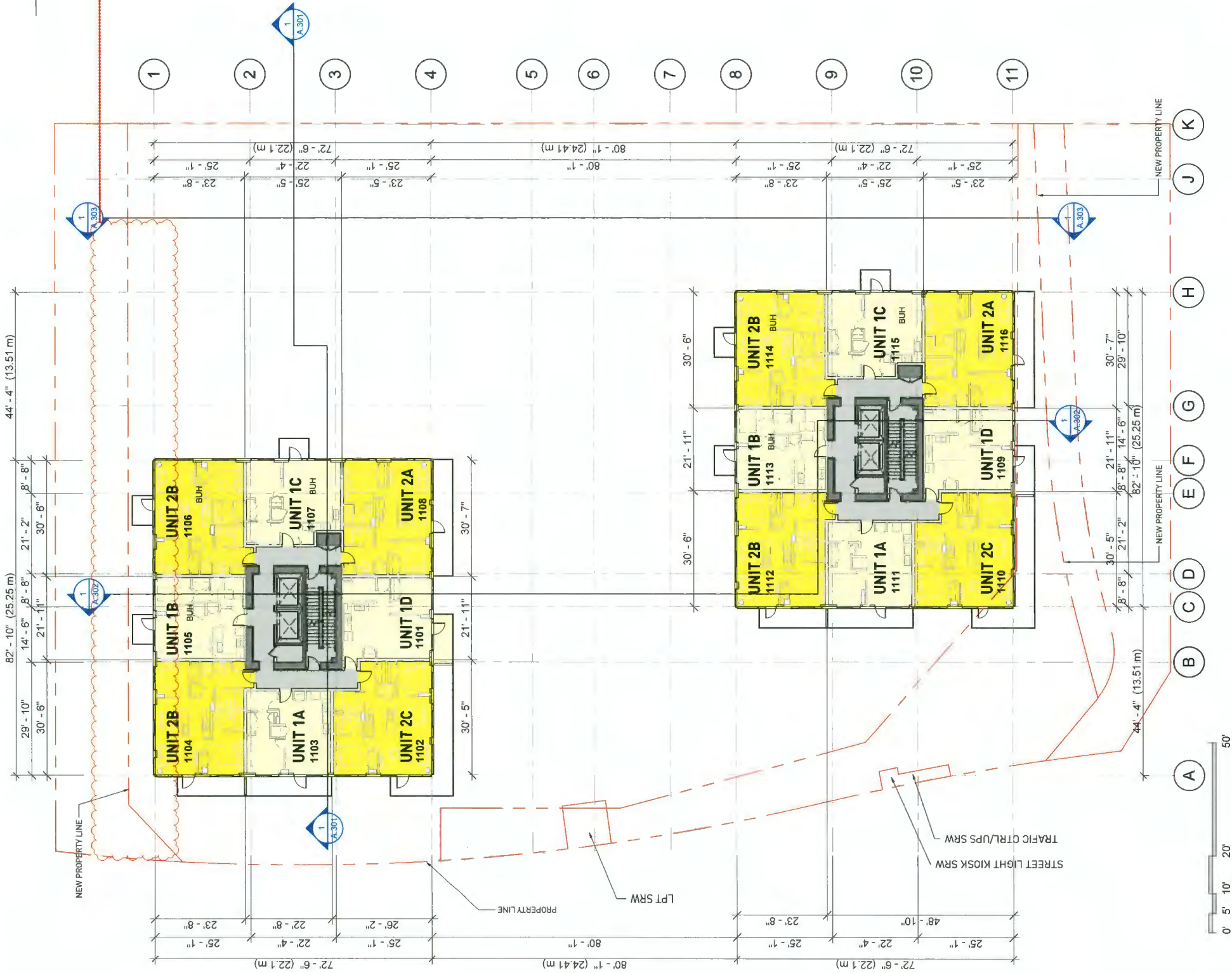
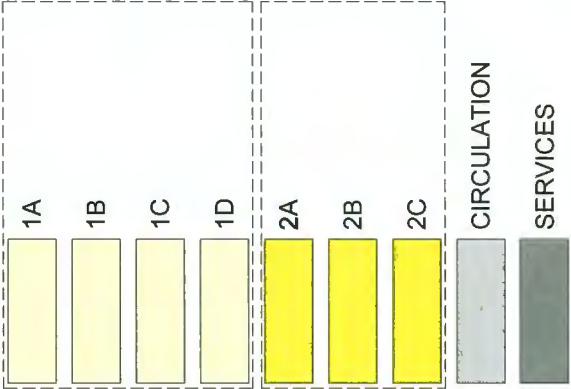
A.108

DP 15-699652  
April 28, 2021  
PLAN # 3i

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

ONE BEDROOM MARKET UNITS

TWO BEDROOM MARKET UNITS



THE CAPSTAN

GBLARCHITECTS

LEVEL 12 FLOOR PLAN

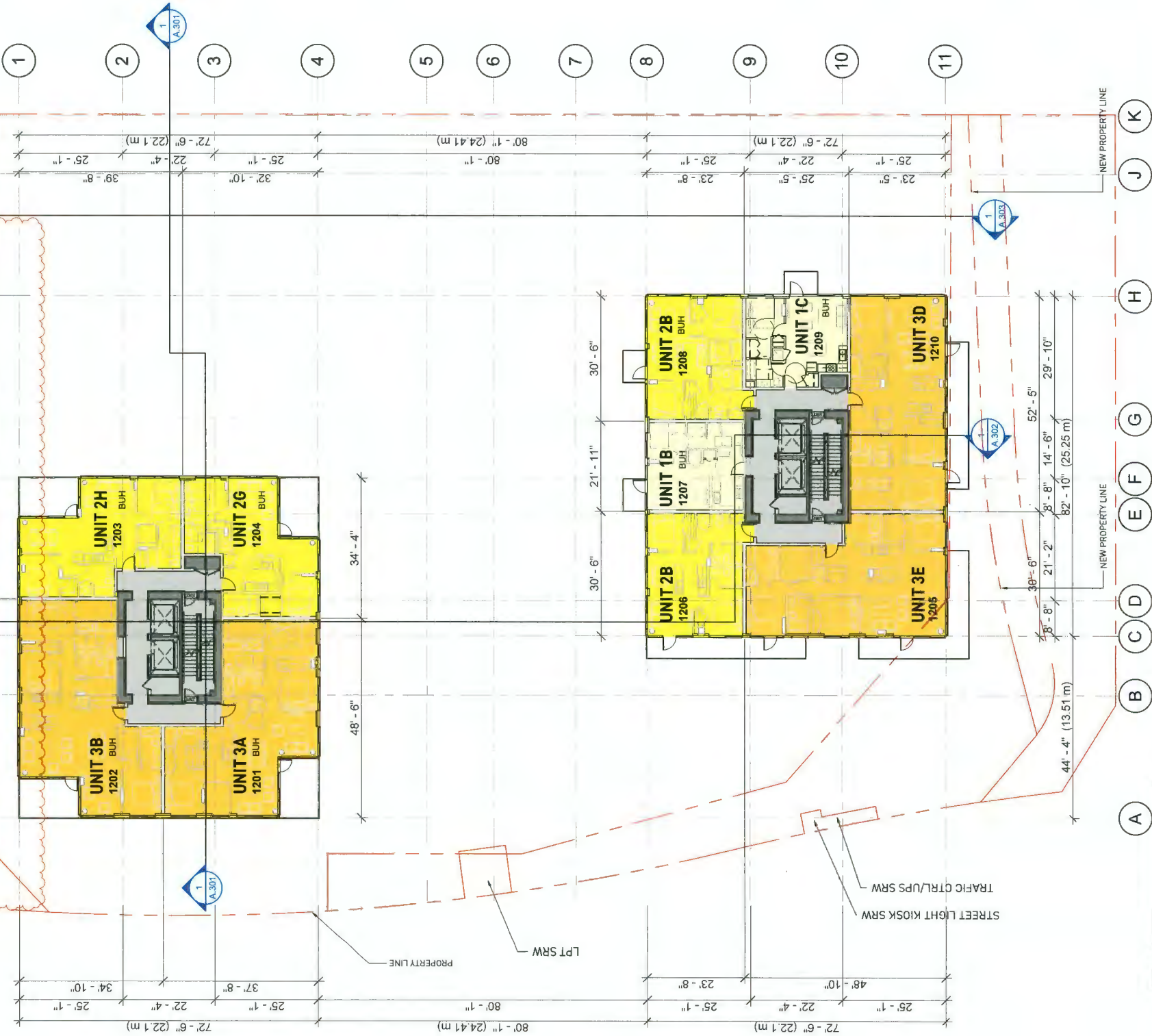
A.109

DP 15-699652

April 28, 2021

PLAN # 3j

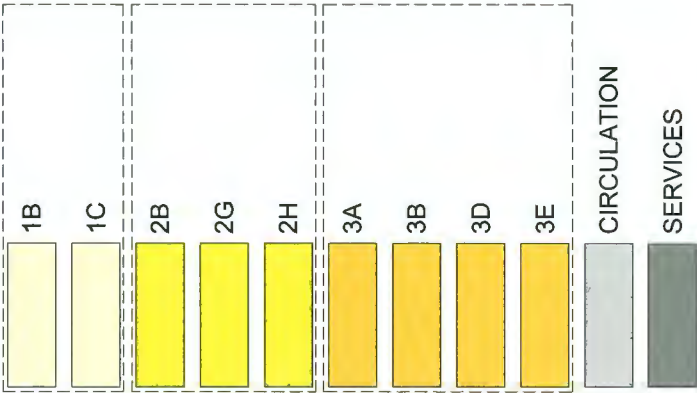
VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 7677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



ONE BEDROOM MARKET UNITS

TWO BEDROOM MARKET UNITS

THREE BEDROOM MARKET UNITS



THE CAPSTAN

GBL ARCHITECTS





LEVEL 13 FLOOR PLAN

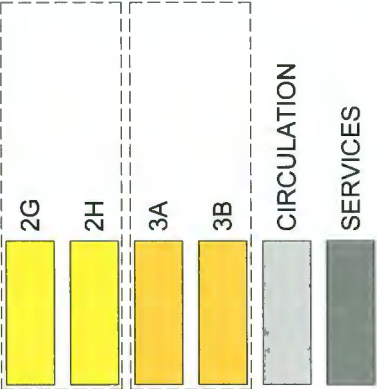
A.110

DP 15-699652

April 28, 2021

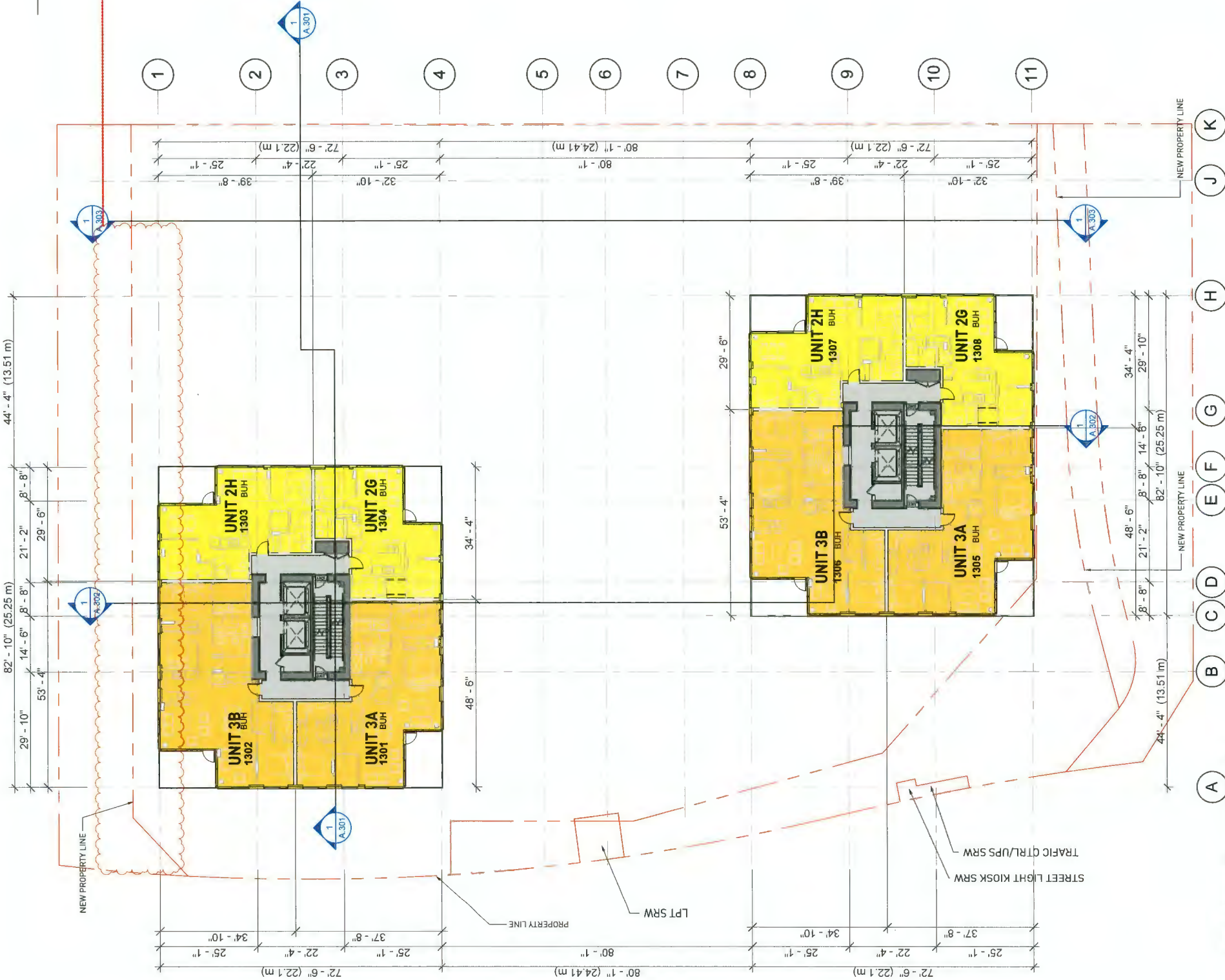
PLAN # 3k

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



TWO BEDROOM MARKET UNITS

THREE BEDROOM MARKET UNITS



THE CAPSTAN

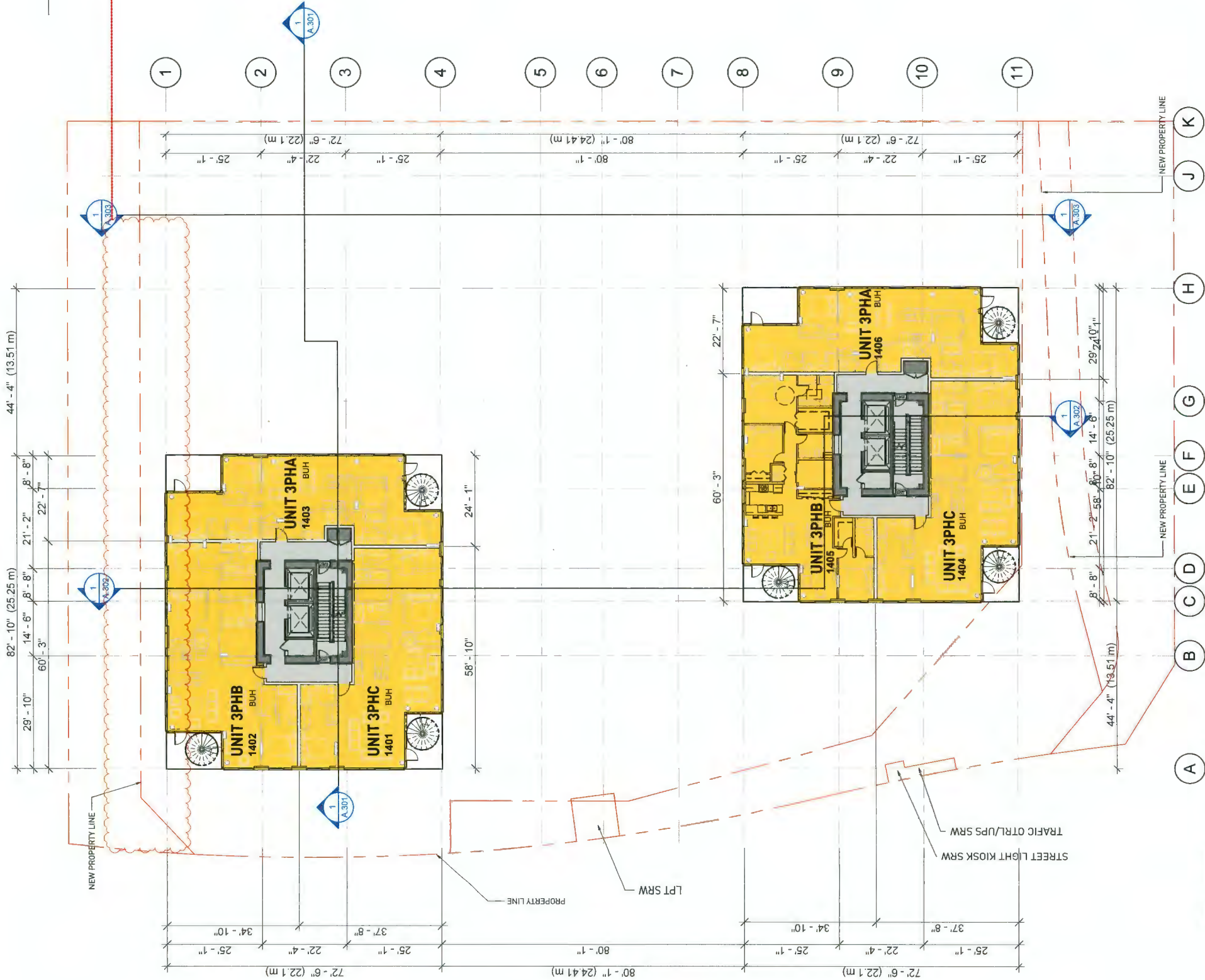
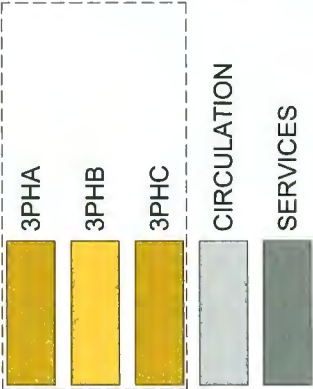
GBL ARCHITECTS

LEVEL 14 FLOOR PLAN

A.1111

DP 15-699652  
April 28, 2021  
PLAN # 3I

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



THE CAPSTAN

GBLARCHITECTS



ROOF PLAN

A.112

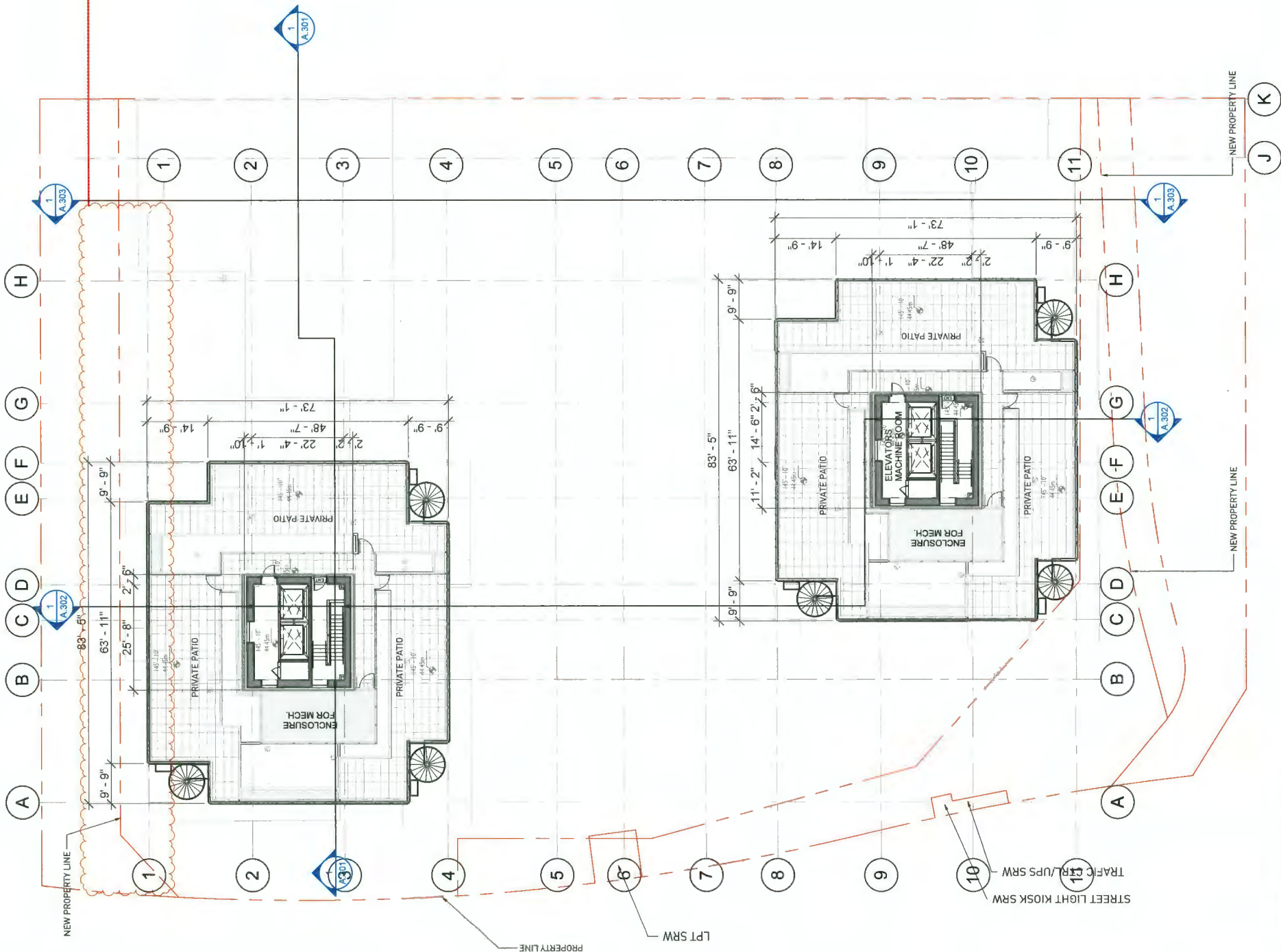
DP 15-699652

April 28, 2021

PLAN # 3m

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

- reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



THE CAPSTAN

GBLARCHITECTS



PWL partnership



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BRITISH COLUMBIA  
REGISTERED PROFESSIONAL ENGINEER  
REGISTERED PROFESSIONAL ARCHITECT  
GARY B. LAMBERT  
P.L. No. 731.0075  
P.L. No. 731.0075

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
2	2017-12-04	Issued for ADP
3	2018-02-20	Reissued for Development Permit
4	2018-06-15	Issued for 30% Check Set
5	2020-08-16	Issued for 60% Check Set
6	2018-11-23	Issued for Review Set
7	2018-12-03	Issued for Building Permit
8	2019-04-03	Issued for COR Review
9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

8091 CAPSTAN WAY  
RICHMOND, BC

ADDRESS

DRAWING TITLE

COVER PAGE

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NORTH	SCALE
	1/16" = 1'0"
PROJECT NO. 15033	
DATE 2019-05-10	
FILE NAME 15033 Plan.vwx	
PLOTTED 2021-03-30	
DRAWN ZL.LC	REVIEWED GB
DRAWING	

DP 15-699652  
April 28, 2021  
PLAN #4 A

L0.00

LAYOUT AND MATERIALS GENERAL NOTES

- DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- EXTERIOR LIGHTING SHOWN ON LANDSCAPE PLANS IS FOR REFERENCE ONLY. LIGHTING INFORMATION REFERENCED ON LANDSCAPE DRAWINGS IS TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS.
- REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

PUBLIC REALM NOTES

- PUBLIC REALM DESIGN WILL BE COORINATED WITH CIVIL ENGINEER AND CITY OF RICHMOND THROUGH THE SERVICING AGREEMENT PROCESS.

PLANTING GENERAL NOTES

- ALL PLANTS ARE TO CONFORM TO THE STANDARD SPECIFIED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD. THE STANDARD IS PUBLISHED BY THE CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS AND CANADIAN LANDSCAPE AND NURSERY ASSOCIATION.
- SEARCH AREA FOR PLANT MATERIAL IS TO INCLUDE ALL OF WESTERN NORTH AMERICA.
- PLANT MATERIAL SIZES SPECIFIED IN THE PLANT LIST ARE THE MINIMUM ACCEPTABLE SIZES FOR MATERIAL SUPPLIED FOR THIS PROJECT.
- PLANTS WILL BE WELL ESTABLISHED AND UNIFORM IN SHAPE.
- PLANTS WILL BE NUSERY GROWN UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE A GROWING MEDIUM ANALYSIS FOR REVIEW BY THE CONSULTANT AS PER SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. GROWING MEDIUM SUPPLIED TO THE SITE OR PLACED ON SITE PRIOR TO REVIEW BY THE CONSULTANT WILL BE REJECTED.
- CONTRACTOR TO CONFIRM PLANT QUANTITIES ON DRAWING CORRESPOND TO THOSE INDICATED ON THE PLANT LIST. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- PLANT LIST IS TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS TO CONFIRM THE AVAILABILITY OF PLANT MATERIAL AS PER SPECIFICATIONS. PLANT SUBSTITUTIONS NOT CONFIRMED WITH THE CONSULTANT WILL BE REJECTED.

GRADING GENERAL NOTES

- REFER TO ARCHITECTURAL PLANS, SECTIONS AND ELEVATIONS FOR TOP OF SLAB ELEVATIONS. SLAB ELEVATIONS INDICATED ON LANDSCAPE DRAWINGS ARE FOR REFERENCE ONLY. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- CONFIRM ALL EXISTING GRADES PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- GROWING MEDIUM DEPTHS ON ARCHITECTURAL SLAB ARE NOT TO EXCEED THOSE SPECIFIED IN SPECIFICATIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- SLAB DRAINS AND PLANTER SLAB DRAINS ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE READ IN CONJUNCTION WITH MECHANICAL ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED ALL DRAINS LOCATED IN LAWN OR PLANTED AREAS TO BE COMPLETE WITH INSPECTION CHAMBER AND CLEANOUT AS DETAILED ON LANDSCAPE DRAWINGS.
- UNLESS OTHERWISE NOTED PROVIDE A MINIMUM SLOPE OF 2% ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES.
- UNLESS OTHERWISE NOTED MAXIMUM SLOPE OF SOFT LANDSCAPE AREAS TO BE 3:1 (33%). REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- UNLESS OTHERWISE NOTED PROVIDE A MAXIMUM SLOPE OF 5% ON ALL HARD LANDSCAPE AREAS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
- TOP OF CURB ELEVATIONS ARE SHOWN FOR REFERENCE ONLY. REFER TO CIVIL DRAWINGS FOR CURB ELEVATIONS.
- TIE INTO EXISTING ELEVATIONS AT EXTENT OF WORK CLEAN AND FLUSH. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.



PWL partnership



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1201 West Pender Street  
Vancouver BC Canada V6E 2V2  
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F 604.688.6112

GBL ARCHITECTS INC  
1000 WEST PENDER STREET  
VANCOUVER BC CANADA V6E 2V2  
TEL: 604.688.6112  
FAX: 604.688.6112  
WWW.GBLARCHITECTS.COM

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
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9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

8091 CAPSTAN WAY  
RICHMOND, BC

ADDRESS

DRAWING TITLE

NOTES

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NORTH

SCALE

1/32" = 1'0"

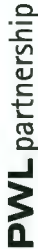
PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZL,LC
REVIEWED	GB

DRAWING

L0.01

DP 15-699652  
April 28, 2021  
PLAN #4 B





150

**PWL Partnership Landscape Architects Inc**  
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GEL MONITORING INC.  
100 EAST 17TH AVENUE  
VANCOUVER, BC CANADA V5T 1R6  
TEL: 604 720 1159  
FAX: 604 721 5279

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-08-18	Issued for Development Permit
2	2017-12-04	Issued for ADP
3	2018-02-20	Reissued for Development Permit
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10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

**8091 CAPSTAN WAY  
RICHMOND, BC**

ADDRESS

DRAWING TITLE

## LAYOUT & MATERIALS GROUND LEVEL

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NORTH









SCALE

 $1/32" = 1'0"$ 

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZLLC
GB	REVIEWED

DRAWING

# L1.01

HARDSCAPE MATERIALS LEGEND	
06 KEY	DESCRIPTION
	Feature Planter Wall Corten Steel
	N/A
	Cast in Place Concrete Planter Wall C/P Concrete Wall Colour: Natural/Finish: Light Sand Blast
	Urban Agriculture Planter Metal Planter Powder Coated Black
	Stairs with Handrails and Tactile Warning C/P Concrete Stairs Colour: Natural/Finish: Light Sand Blast
	Cast in Place Concrete Ramp with Handrail and Tactile Warning C/P Concrete Ramp Colour: Natural/Finish: Light Sand Blast

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Hydrapressed Slabs Type 1 Texada Series, Unsealed Colour: Natural
P2	Hydrapressed Slabs Type 2 Texada Series, Unsealed Colour: Charcoal
P3	Hydrapressed Slabs Type 3 Standard Series Colour: Charcoal
P4	Hydrapressed Slabs Type 4 Standard Series Colour: Sand/Brown Blend
P5	Maintenance Strip River Rock Colour: Natural
P6	Composite Decking Transcend Series Colour: Havana Gold
P7	Granular Paving with Organic Binder Regular
P8	Feature Concrete Paving Coloured Concrete Colour: Devil's Colour, Broom Finish
P9	CIP Concrete Paving CIP Concrete Colour: Natural, Broom Finish
P10	Tile Everbstone-Durastone Colour: Latte, Finish: Brushed Finish
P11	Stone Paving Black Lusk Basalt, Mortared in Place Flame Finish

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Timber Bench Type 1 Bridges, Inland Bench Wood: Jarrah Wood, Exterior no finish
F2	Timber Bench Type 2 IPE Wood Bench IPE Wood and Aluminium Frame
F2	Built-in BBQ Summit S-660 Built-In Stainless Steel
F4	Play Structure Type 1 Mixer II Refer to Manufacturer Specification
F5	Play Structure Type 2 Spinler Refer to Manufacturer Specification
F6	Bike Rack Bola Bike Rack Stainless Steel
F7	Fire Bowl Halo 48 Elevated N/A
F8	Outdoor Sofa Left Module (029005) and Right Module (029003) Colour: 766 Bleach
F9	Metal Planters Boulder Bubbler N/A
F10	Metal Trellis Structure IPE Wood and Mild Steel Mild Steel to be Painted, Colour to be Charcoal
F11	Planting Bench IPE Wood Bench IPE Wood and Aluminium Frame
F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F12	Compost Bins

REFER TO SERVICING AGREEMENT  
FOR OFF-SITE INFORMATION

REFER TO SERVICING AGREEMENT  
FOR OFF-SITE INFORMATION

## CAPSTAN WAY

REFER TO SERVICING AGREEMENT  
FOR OFF-SITE INFORMATION

SIAMESE CONNECTION  
REFER TO MECHANICAL DRAWINGS

## CORVETTE WAY

PROPOSED SRW FOR LPT PAD. LOCATION  
TO BE CONFIRMED BY BC HYDRO

BUILDING CANOPY ABOVE REFER TO ARCH

PATIO FURNISHING TO BE SUPPLIED  
BY CRU, FOR REFERENCE ONLY.

PROPOSED STREET LIGHT KIOSK SRW

PROPOSED TRAFFIC CONTROL SRW

ARCHITECTURAL COLUMN, REFER TO  
ARCHITECTURAL DRAWINGS

INGROUND FLUSH LIGHTING. LIGHTING TO COMPLY WITH CITY OF RICHMONDS DARK SKIES OBJECTIVES

PUBLIC ART LOCATION  
REFER TO SERVICING AGREEMENT  
FOR OFF-SITE INFORMATION

BUILDING CANOPY ABOVE  
REFER TO ARCH





150

**PWL Partnership Landscape Architects Inc**  
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Q&A ADVERTISING INC.  
130 EAST 111 AVE  
VANCOUVER BC CANADA V5T 1R6  
TEL: 604 730 1155  
FAX: 604 731 5279

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		10	2021-01-06	Reissued for Development Permit
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PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Hydrapressed Slabs Type 1 Texada Series, Unsealed Colour: Natural
P2	Hydrapressed Slabs Type 2 Texada Series, Unsealed Colour: Charcoal
P3	Hydrapressed Slabs Type 3 Standard Series Colour: Charcoal
P4	Hydrapressed Slabs Type 4 Standard Series Colour: Sand/Brown Blend
P5	Maintenance Strip River Rock Colour: Natural
P6	Composite Decking Transcend Series Colour: Havana Gold
P7	Granular Paving with Organic Binder Regular
P8	Feature Concrete Paving Coloured Concrete Colour: Devil's Colour, Broom Finish
P9	G/P Concrete Paving G/P Concrete Colour: Natural, Broom Finish
P10	Tile Equestone, Durastone Colour: Latta, Finish: Brushed Finish
P11	Stone Paving Black Lust Basalt, Mortared in Place Flame Finish

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Timber Bench Type 1 Backless Necliviano Bench Wood: Jarrah Wood, Exterior no finish
F2	Timber Bench Type 2 IPE Wood Bench IPE Wood and Aluminium Frame
F2	Built-in BBQ Summit S-660 Built-In Stainless Steel
F4	Play Structure Type 1 Metal Mesh Refer to Manufacturer Specification
F5	Play Structure Type 2 Splinter Refer to Manufacturer Specification
F6	Bike Rack Bola Bike Rack Stainless Steel
F7	Fire Bowl Metal 48 Elevated N/A
F8	Outdoor Sofa Left Module (029005) and Right Module (029003) Colour: 065 Bleach
F9	Metal Planters Boulder Bubbler N/A
F10	Metal Trellis Structure IPE Wood and Mild Steel Mild Steel to be Painted, Colour to be Charcoal
F11	Potting Bench IPE Wood Bench IPE Wood and Aluminium Frame
F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F13	Compost Bin

HARDSCAPE MATERIALS LEGEND	
005	KEY
011	Feature Planter Wall Corten Steel N/A
012	Cast in Place Concrete Planter Wall CIP Concrete Wall Colour: Natural/Finish: Light Sand Blast
013	Urban Agriculture Planter Metal Planter powder Coated Black
014	Stairs with Handrails and Tactile Warning CIP Concrete Stairs Colour: Natural/Finish: Light Sand Blast
015	Cast in Place Concrete Ramp with Handrail and Tactile Warning CIP Concrete Ramp Colour: Natural/Finish: Light Sand Blast

PROJECT	8091 CAPSTAN WAY RICHMOND, BC
ADDRESS	

DRAWING TITLE

LAYOUT AND MATERIALS  
LEVEL 4

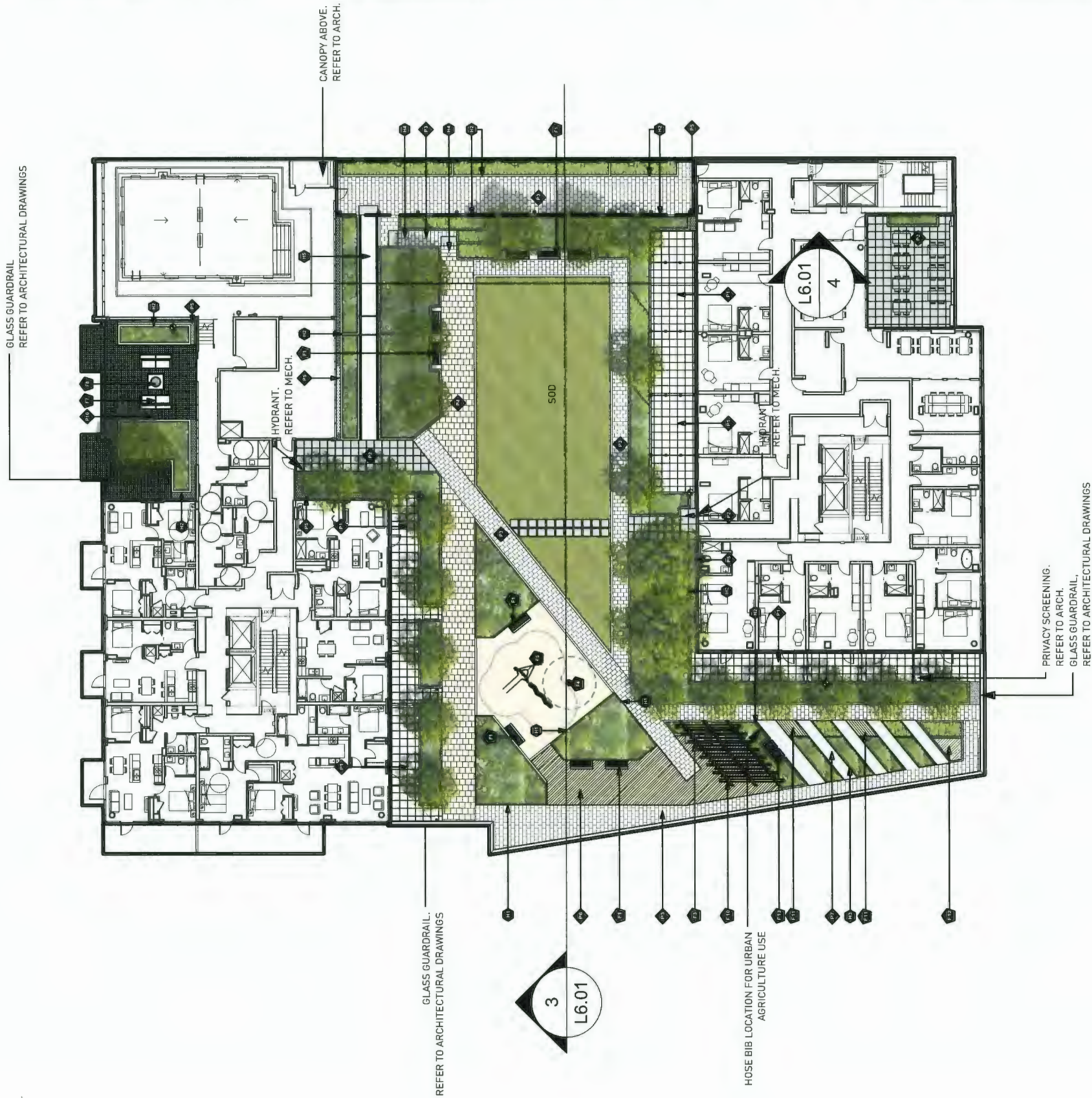
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A north arrow pointing upwards and a scale bar indicating that 1/32 inch on the drawing equals 1 foot (1'0") in reality.

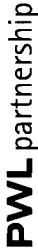
## DRAWING

# L1.02

DP 15-699652  
April 28, 2021  
PLAN #4 D







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DESCRIPTION
Issued for Development Permit
Issued for ADP
Reissued for Development Permit
Issued for 30% Check Set
Issued for 60% Check Set
Issued for Review Set
Issued for Building Permit
Issued for COR Review
Reissued for Development Permit
Reissued for Development Permit
Reissued for DPP

## AN WAY BC

# MATERIALS

SCALE	$1/32" = 1'0"$
05-10	
Plan.vwx	
03-30	
REVIEWED	GB

# L1.03

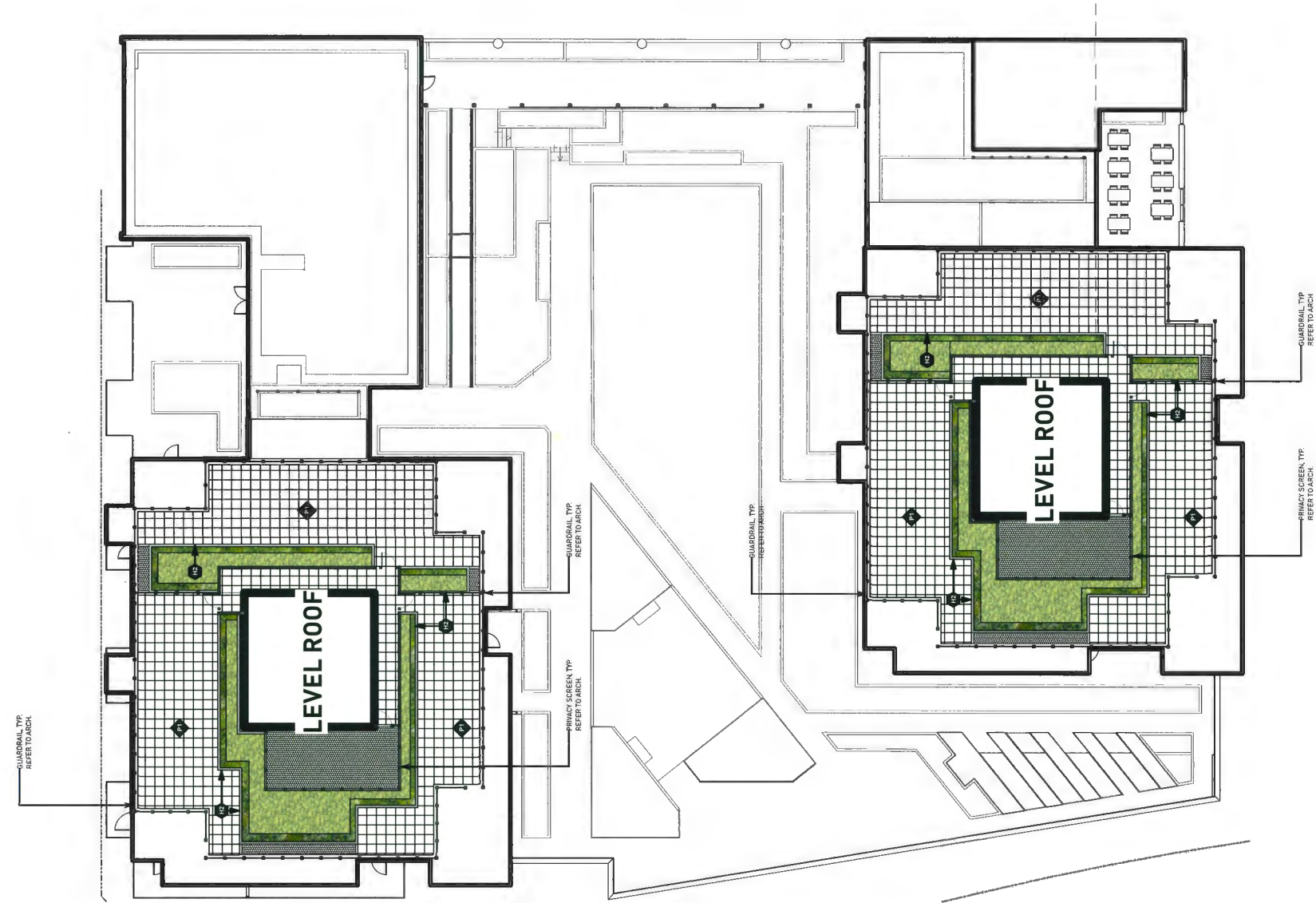
HARDSCAPE MATERIALS LEGEND	
005	KEY
01*	DESCRIPTION
01*	Feature Planter Wall Corten Steel N/A
01*	Cast in Place Concrete Planter Wall CIP Concrete Wall Colour: Natural/Finish: Light Sand Blast
01*	Urban Agriculture Planter Metal Planter Powder Coated Black
01*	Stairs with Handrails and Tactile Warning CIP Concrete Stairs Colour: Natural/Finish: Light Sand Blast
01*	Cast in Place Concrete Ramp with Handrail and Tactile Warning CIP Concrete Ramp Colour: Natural/Finish: Light Sand Blast

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Hydressed Slabs Type 1 Texada Series, Unsealed Colour: Natural
P2	Hydressed Slabs Type 2 Texada Series, Unsealed Colour: Charcoal
P3	Hydressed Slabs Type 3 Standard Series Colour: Charcoal
P4	Hydressed Slabs Type 4 Standard Series Colour: Sand/Brown Blend
P5	Maintenance Strip River Rock Colour: Natural
P6	Composite Decking Transcend Series Colour: Havana Gold
P7	Granular Paving with Organic Binder Regular
P8	Feature Concrete Paving Coloured Concrete Colour: Davis Colour, Broom Finish
P9	CIP Concrete Paving CIP Concrete Colour: Natural, Broom Finish
P10	Tile Everbrite-Durastone Colour: Latte, Finish: Brushed Finish
P11	Stone Paving Black Lust Basalt, Mortared in Place Flame Finish

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Timber Bench Type 1 Backless Nosivano Bench Wood: Jarrah Wood, Exterior no finish
F2	Timber Bench Type 2 IPE Wood Bench IPE Wood and Aluminium Frame
F2	Built-in BBQ Summit S-660 Built-In Stainless Steel
F4	Play Structure Type 1 Metal Mesh Refer to Manufacturer Specification
F5	Play Structure Type 2 Spinner Refer to Manufacturer Specification
F6	Bike Rack Bola Bike Rack Stainless Steel
F7	Fire Bowl Halo 48 Elevated N/A
F8	Outdoor Sofa Left Module (029005) and Right Module (029003) Colour '668 Bleach
F9	Metal Planters Boulder Bubblers N/A
F10	Metal Trellis Structure IPE Wood and Mild Steel Mild Steel to be Painted, Colour to be Charcoal
F11	Potting Bench IPE Wood Bench IPE Wood and Aluminium Frame
F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F13	Compost Bins

DP 15-699652  
April 28, 2021  
PLAN #4 E





HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	Feature Planter Wall Corten Steel N/A
H2	Cast in Place Concrete Planter Wall CIP Concrete Wall Colour: Natural/Finish: Light Sand Blast
H3	Urban Agriculture Planter Metal Planter Powder Coated Black
H4	Stairs with Handrails and Tactile Warning CIP Concrete Stairs Colour: Natural/Finish: Light Sand Blast
H5	Cast in Place Concrete Ramp with Handrail and Tactile Warning CIP Concrete Ramp Colour: Natural/Finish: Light Sand Blast

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Hydrpressed Slabs Type 1 Texada Series, Unsealed Colour: Natural
P2	Hydrpressed Slabs Type 2 Texada Series, Unsealed Colour: Charcoal
P2	Hydrpressed Slabs Type 3 Standard Series Colour: Charcoal
P4	Hydrpressed Slabs Type 4 Standard Series Colour: Sand/Brown Blend
P5	Maintenance Strip River Rock Colour: Natural
P6	Composite Decking Timbered Series Colour: Havana Gold
P7	Granular Paving with Organic Binder Regular
P8	Feature Concrete Paving Coloured Concrete Colour: Davi's Colour, Broom Finish
P9	CIP Concrete Paving CIP Concrete Colour: Natural, Broom Finish
P10	Tile Everstone-Durastone Colour: Latte, Finish: Brushed Finish
P11	Stone Paving Black Tusk Basalt, Mortared in Place Flame Finish

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Timber Bench Type 1 Backless Backward Bench Wood: Jarrah Wood, Exterior no finish
F2	Timber Bench Type 2 IPE Wood Bench IPE Wood and Aluminium Frame
F3	Bullfin BBQ Stainless Steel Refer to Manufacturer Specification
F4	Play Structure Type 1 Mizzer II Refer to Manufacturer Specification
F5	Play Structure Type 2 Spinner Refer to Manufacturer Specification
F6	Bike Rack Bola Bike Rack Stainless Steel
F7	Fire Bowl Halo 48 Elevated N/A
F8	Outdoor Sofa Left Module (029005) and Right Module (029003) Colour: D66 Beach
F9	Metal Planters Boulder Bubbler N/A
F10	Metal Trellis Structure IPE Wood and Mild Steel Mild Steel to be Painted, Colour to be Charcoal
F11	Potting Bench IPE Wood Bench IPE Wood and Aluminium Frame
F12	Tool Storage IPE Wood Storage Unit IPE Wood and Aluminium Frame
F13	Compost Bin

DP 15-699652  
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PLAN #4 F



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REVISIONS AND ISSUES

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9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP

PROJECT

8091 CAPSTAN WAY  
RICHMOND, BC

ADDRESS

DRAWING TITLE

LAYOUT AND MATERIALS  
ROOF

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NORTH



SCALE

1/32" = 1'0"

PROJECT NO. 15033

DATE 2019-05-10

FILE NAME 15033 Plan.vwx

PLOTTED 2021-04-06

DRAWN ZLLC REVIEWED GB

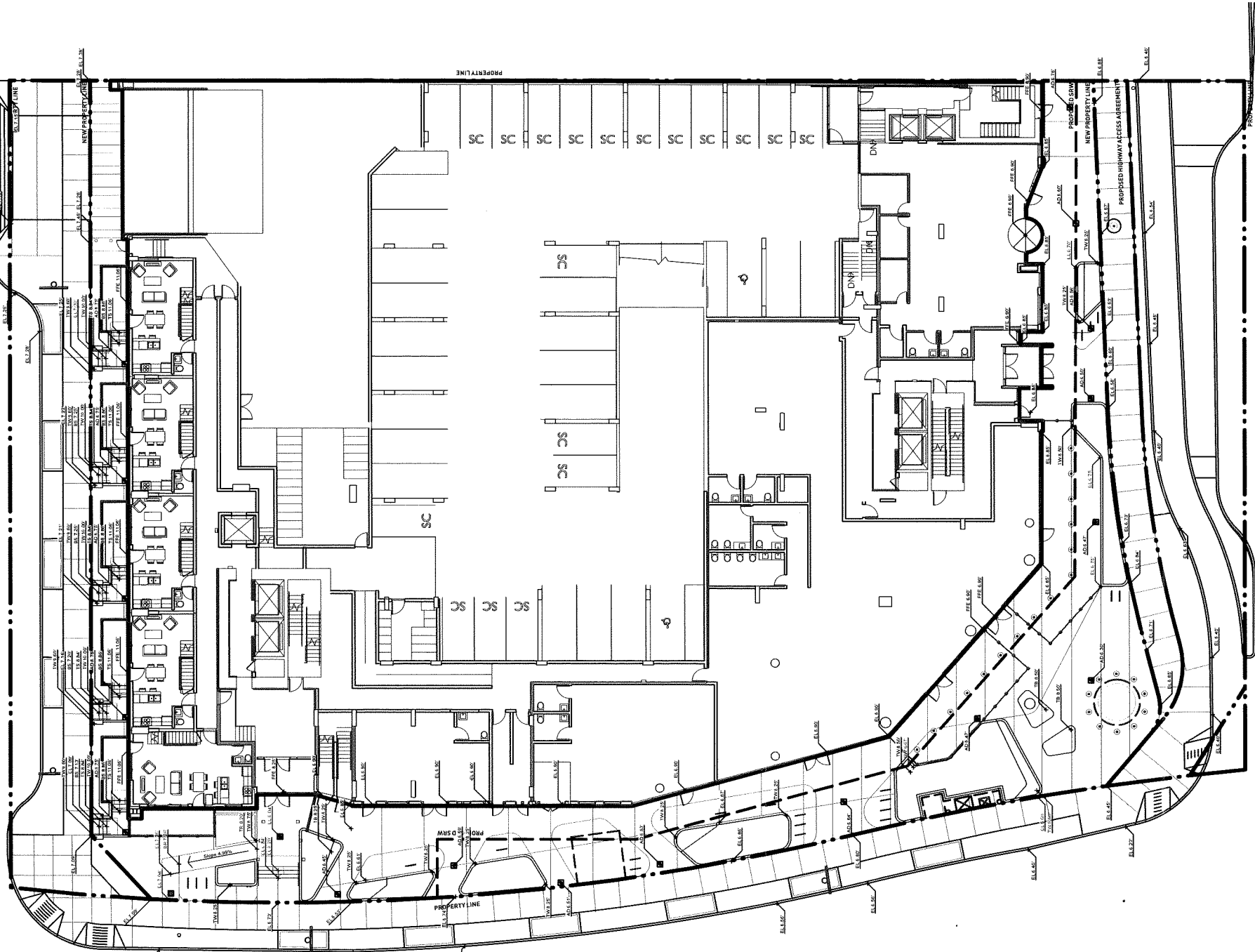
DRAWING

L1.04

CORVETTE WAY

CORVETTE WAY

CAPSTAN WAY



GRADING LEGEND



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PROJECT

8091 CAPSTAN WAY  
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DRAWING TITLE

GRADING PLAN  
GROUND LEVEL

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NORTH



SCALE

1/32" = 1'0"

PROJECT NO. 15033

DATE 2019-05-10

FILE NAME 15033 Plan.vwx

PLOTTED 2021-03-30

DRAWN ZLLC REVIEWED GB

DRAWING

DP 15-699652  
April 28, 2021  
PLAN #4G



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7	2018-12-03
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10	2021-01-06
11	2021-04-28

DESCRIPTION
Issued for Development Permit
Issued for ADP
Reissued for Development Permit
Issued for 30% Check Set
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Issued for COR Review
Reissued for Development Permit
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PROJECT  
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DRAWING TITLE  
GRADING PLAN  
LEVEL 4

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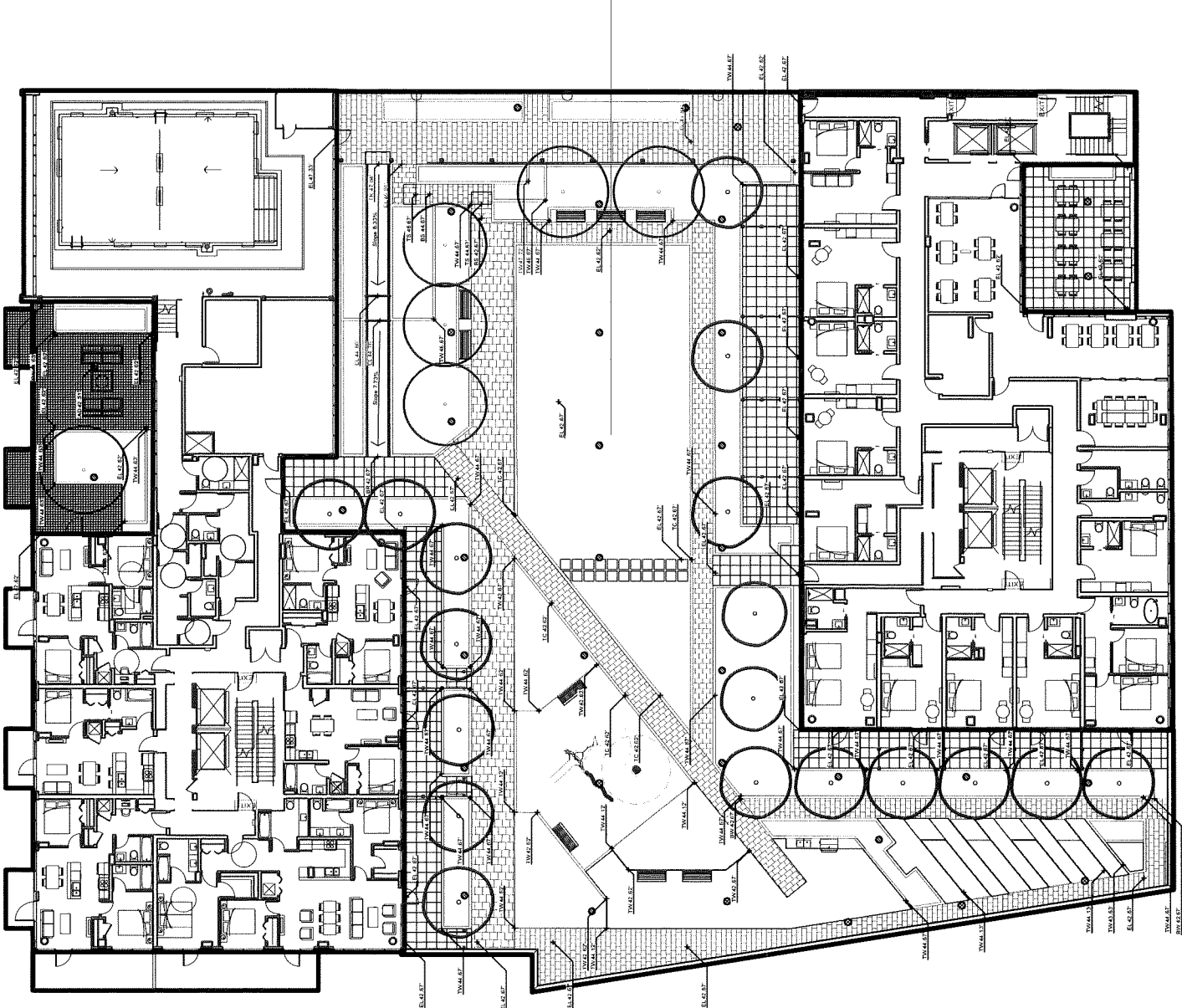
NORTH  
SCALE  
1/32" = 1'0"

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZLLC
REVIEWED	GB

DRAWING

L2.02

DP 15-699652  
April 28, 2021  
PLAN #4 H



## GRADING LEGEND

Existing Elevation	EL 0.94m
Proposed Elevation	EL 0.94m
Finished Floor Elevation	FFE 0.94m
Proposed Top of Wall Elevation	TW 0.94m
Proposed Bottom of Wall Elevation	BW 0.94m
Proposed Top of Stair Elevation	TS 0.94m
Proposed Bottom of Stair Elevation	BS 0.94m
Proposed Top of Curb Elevation	TC 0.94m
Proposed Bottom of Curb Elevation	BC 0.94m
Area Drain	
Planter Drain	
Slab Drain	

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL, CIVIL AND ARCH DRAWINGS. REPORT ANY DISCREPANCIES.



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PROJECT

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DRAWING TITLE

GRADING PLAN  
LEVEL 5 & 7

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NORTH



SCALE

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PROJECT NO. 15033

DATE 2019-05-10

FILE NAME 15033 Plan.vwx

PLOTTED 2021-03-30

DRAWN ZLJC REVIEWED GB

DRAWING

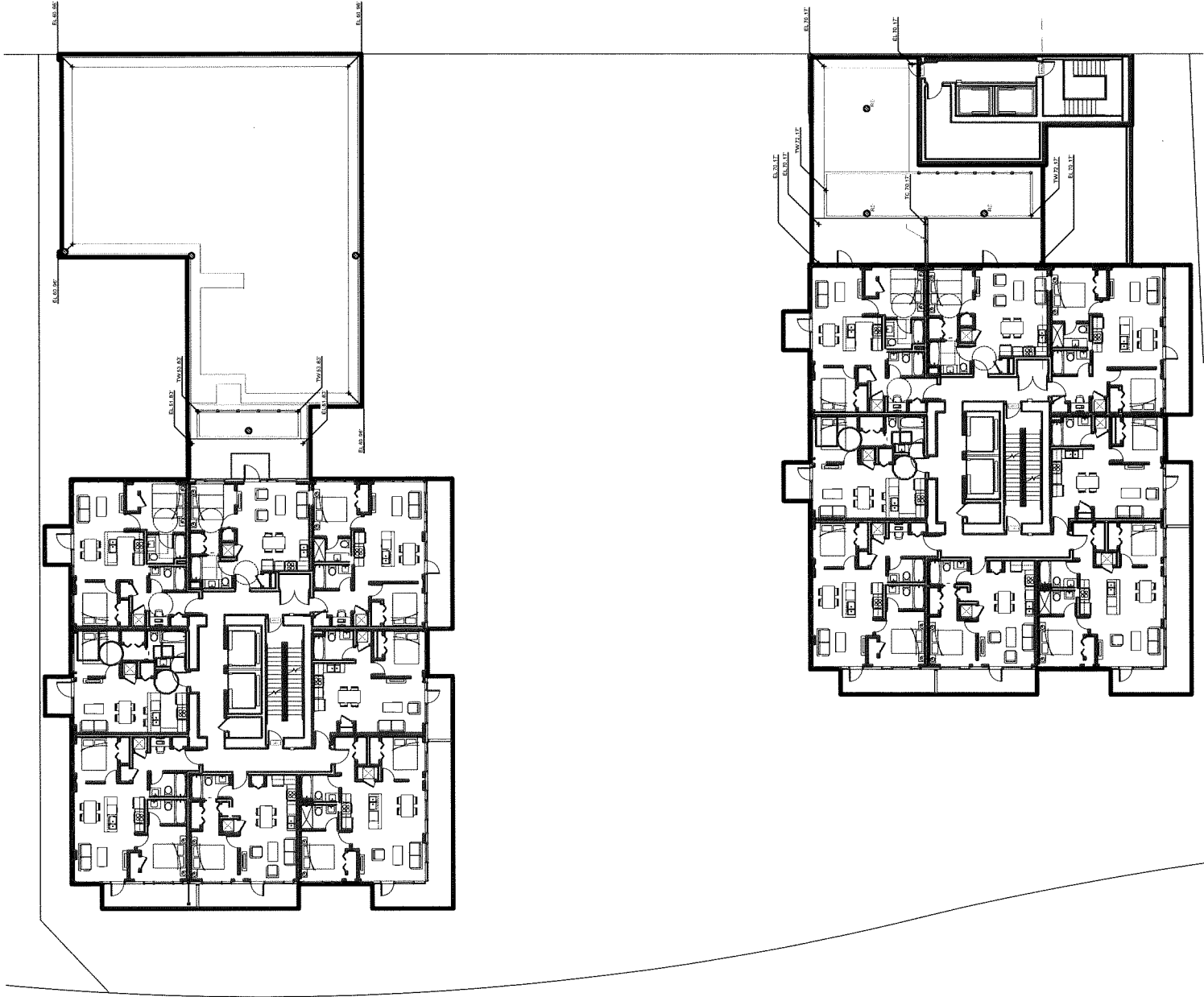
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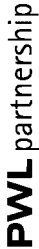
DP 15-699652  
April 28, 2021  
PLAN #4I

GRADING LEGEND

	Existing Elevation
	Proposed Elevation
	Finished Floor Elevation
	Proposed Top of Wall Elevation
	Proposed Bottom of Wall Elevation
	Proposed Top of Stair Elevation
	Proposed Bottom of Stair Elevation
	Proposed Top of Curb Elevation
	Proposed Bottom of Curb Elevation
	Area Drain
	Planter Drain
	Slab Drain

NOTE: CONFIRM DRAIN LOCATIONS WITH MECHANICAL,  
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 FAX: 612/721-1470

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RICHMOND, BC**

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# GRADING PLAN ROOF

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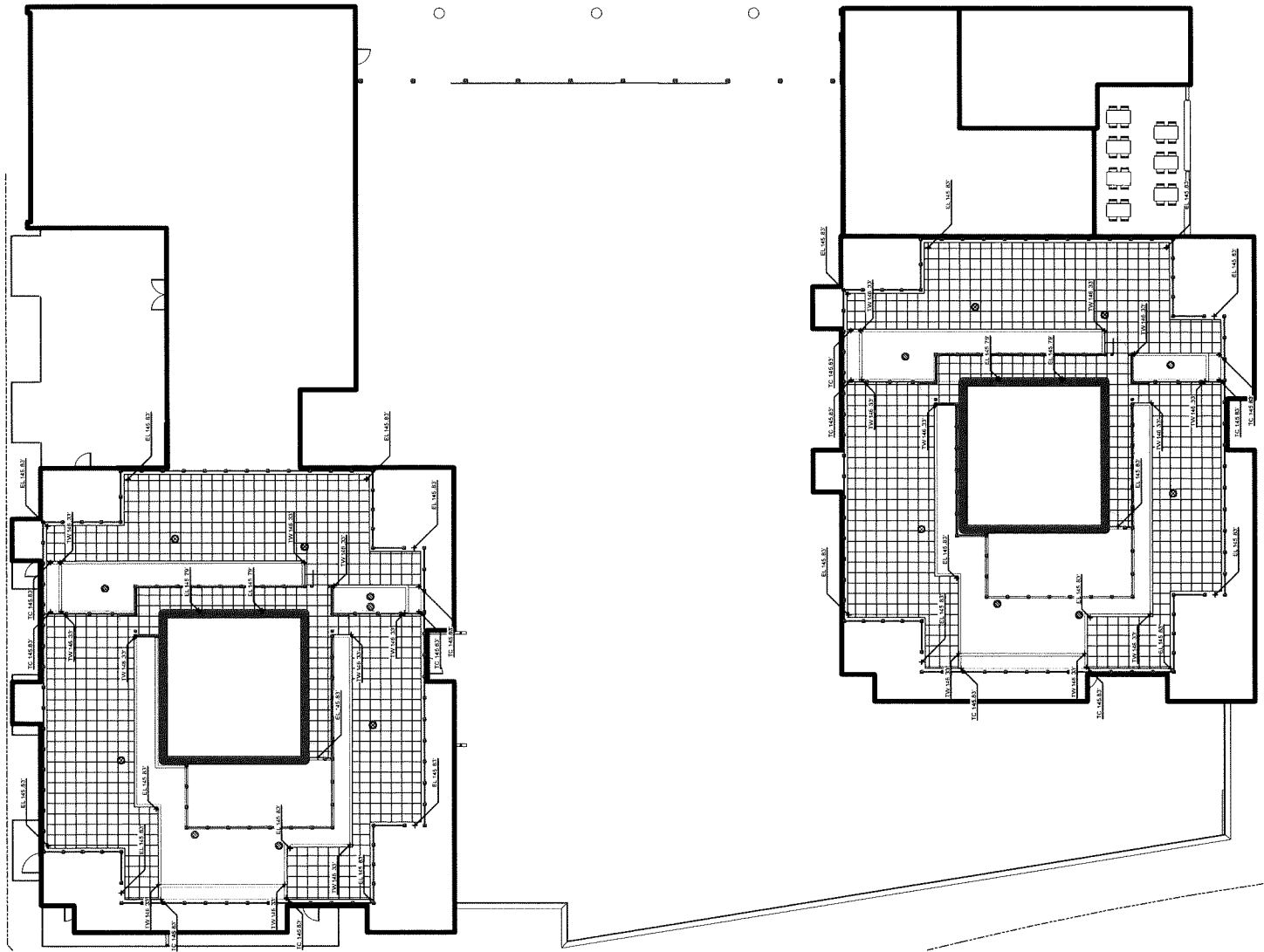
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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
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REVIEWED	GB

DP 15-699652  
April 28, 2021  
PLAN #4J

# L2.04







CORVETTE WAY



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PROJECT

8091 CAPSTAN WAY  
RICHMOND, BC

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DRAWING TITLE

PLANTING PLAN

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NORTH

SCALE

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PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZLLC
REVIEWED	GB

DRAWING

L3.01

EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM

DP 15-699652  
April 28, 2021  
PLAN #4 L

CAPSTAN WAY

Plant List 8091 CAPSTAN WAY					
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing
Trees					
ACR	6	Acer crinitum	Vine Maple	3.0 m Ht. (10'-0" H.)	As Shown
APL	7	Acer palmatum 'Green'	Green Japanese Maple	3.0 m Ht. x 1.8 m w. (10Ht. x 6"W.)	As Shown
APL	1	Acer palmatum 'Semi-Spectabile'	Red Japanese Maple	3.0 m Ht. x 1.8 m w. (10Ht. x 6"W.)	As Shown
MSL	3	Malus sibirica	Sauvage Magnolia	6 cm cal. (3" cal.)	As Shown
PPI	11	Parrotia persica 'Inge's Ruby Vase'	'RKY' Persian Ironwood	6 cm cal. (2-1/2" cal.)	As Shown
POR	2	Picea omorika	Serbian Spruce	3.5 m Ht. (11'-6" H.)	As Shown
SJJ	8	Syrax japonica 'Pink Chimes'	Pink Chimes Japanese Shrubell	5 cm cal. (2" cal.)	As Shown
SOB	6	Syrax obassia	Fragrant Shrubell	5 cm cal. (2" cal.)	As Shown
Shrubs					
AUS	13	Arctostaphylos 'Covillea'	Covillea Shrubbery Tree	45 pot	Well established
AGP	797	Arctostaphylos 'Pink'	Gumco Pink Azalea	45 pot	Well established
BMW	84	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	38cm (15")	Well established
CSJ	12	Caneille sasasequa 'Jean May'	Jean May Camellia	38cm (15")	Well established
CTR	12	Choisya ternata	Mexican Orange Blossom	90cm (36")	Well established
CL	108	Claytonia perfoliata	Japanese Primrose	45 pot	Well established
RHI	109	Rhododendron impatiens	Red Japanese Camellia	60cm (24")	Well established
SHH	135	Sarcococca hookeriana humilis	Chinese Winter Jasmine	45 cm (18")	Well established
SJP	138	Siermnia japonica	Japanese Skimmia	60cm (24")	Well established
TXA	315	Taxus x media 'H.M. Eddes'	H.M. Eddes Yew	50cm (20")	Well established, dense hedging plant! B & B
Ground Cover					
AUV	288	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot	15cm (6") leads. Minimum 3 leads
PTM	262	Polygonatum terminale	Japanese Spurge	#1 pot	15cm (6") height
Perennials					
LHI	687	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	#2 pot	Well established
REG	95	Rhodod. rugosa 'Goldflame'	Black Eyed Susan	#2 pot	Well established
Ornamental Grasses					
GUD	712	Helianthus scaberrimus	Yellowed Scabge	#1 pot	Well established
HSM	83	Helianthus amurensis	Blue Oak Grass	#1 pot	Well established
STT	132	Stipa tenuissima	Mexican Feather Grass	#1 pot	Well established



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PROJECT

8091 CAPSTAN WAY  
RICHMOND, BC

ADDRESS

DRAWING TITLE

PLANTING PLAN

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NORTH



SCALE

1/32" = 1'0"

PROJECT NO.

15033

DATE

2019-05-10

FILE NAME

15033 Plan.vwx

PLOTTED

2021-04-06

DRAWN

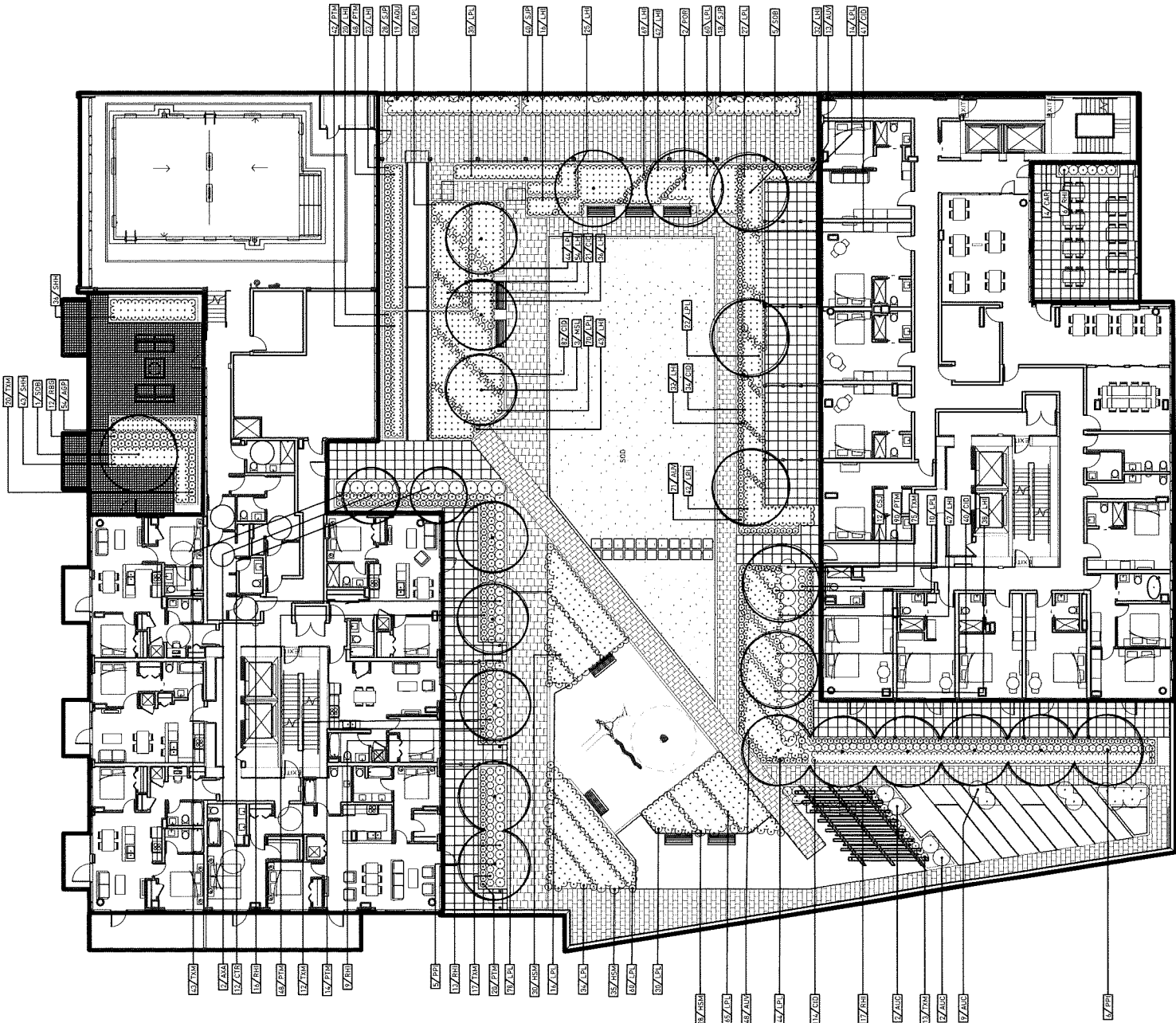
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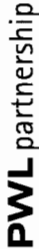
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DRAWING

L3.02







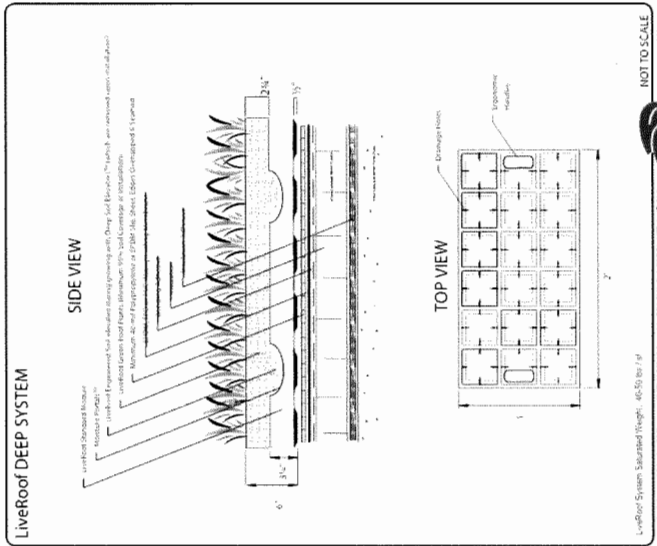
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6	2018-11-23	Issued for Review Set
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8	2019-04-03	Issued for COR Review
9	2020-07-06	Reissued for Development Permit
10	2021-01-06	Reissued for Development Permit
11	2021-04-28	Reissued for DPP



NOT TO SCALE

Low-Pol System Saturated Weight: 40-50 lbs. / ft.

LiveRoof®

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## GREEN ROOF DETAIL



NTS

Plant List						
8091 CAPSTAN WAY						
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Trees						
ACR	6	Acer ginnale	Vine Maple	3.0 m H. (10'-0" H.)	As Shown	B&S. Nursery grown, minimum 3 stems
APL	7	Acer palmatum 'Green'	Green Japanese Maple	3.0 m H. x 1.8 m w. (10H, x6W)	As Shown	B&S. Specimen and densely branched, no included bark
AXA	2	Aucuba japonica 'Autumn Brilliance'	Autumn Brilliance Serviceberry	4 cm cal (1 1/2" cal.)	As Shown	B&S. Multi-stemmed, dense tree
BEL	1	Begonia sodae	Japanese Sodegaki	6 cm cal (2" cal.)	As Shown	B&S. Multi-stemmed, dense tree
BPB	11	Begonia 'Fragrant Ruby Vale'	BPB Pavilion Ironwood	6 cm cal (2'-0" cal.)	As Shown	B&S. Straight trunk, uniform branching, 3' (1.5 m) std
POR	2	Prunella emurii	Seaborn Spruce	3.5 m H. (11'-6" H.)	As Shown	B&S. Well branched, dense tree
SJL	8	Syriza japonica 'Pink Chimes'	Pink Chimes Japanese Snowball	5 cm cal (2" cal.)	As Shown	B&S. Uniform branching, dense tree, F (1.8 m) std
SCB	6	Syriza obassia	Fragrant Snowball	5 cm cal (2" cal.)	As Shown	B&S. Uniform branching, dense tree, F (1.8 m) std
Shrubs						
AUC	13	Abutilon unedo 'Compact'	Compact Strawberry Tree	#3 pot	115cm (44")	Well established
BAU	197	Banksia Campylocline	Yellow Banksia	#2 pot	35cm (13")	Well established
BMW	84	Banksia 'Yellow Gem'	Yellow Gem Banksia	#2 pot	35cm (13")	Well established
CSJ	3	Cornelia stansuana 'Jean May'	Jean May Cornelia	#3 pot	105cm (39")	Well established
CTR	12	Chionoxia ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
LPL	1028	Lonicera pileata	Privet Honeycrisp	#3 pot	45cm (18")	30 cm (12") spread
SHH	135	Shorea robusta	Shorea robusta	#2 pot	45cm (18")	Well established
SHJ	135	Shorea robusta	Shorea robusta	#2 pot	45cm (18")	Well established
SJP	138	Shorea robusta	Shorea robusta	#3 pot	60cm (24")	Well established
TXM	315	Taxus media 'H.M.Edge'	H.M.Edge Yew	1.5m	50cm (20")	Well established, dense hedging plant / B & B
Ground Cover						
ATM	288	Antennaria dioica 'Vancouver Jade'	Vancouver Jade Kirelmuk	#1 pot	35cm (15")	15cm (6") leads. Minimum 3 leads
PTM	262	Pachyandra terminalis	Japanese Spurge	#1 pot	35cm (15")	15cm (6") height
Perennials						
LHI	687	Lavandula angustifolia 'Hidocle'	Hidocle Lavender	#2 pot	40 cm (16")	Well established
REG	90	Rudbeckia fulgida 'Goldsturm'	Black-Eyed Susan	#2 pot	45 cm (18")	Well established
Ornamental Grasses						
ORD	712	Carex morrowii 'Ice Dance'	Uniciliated Sedge	#1 pot	35 cm (15")	Well established
STL	99	Stipa pennsylvanica	Stipa pennsylvanica	#1 pot	60 (24")	Well established
STL	132	Stipa pennsylvanica	Mexican Feather Grass	#1 pot	50cm (20")	Well established

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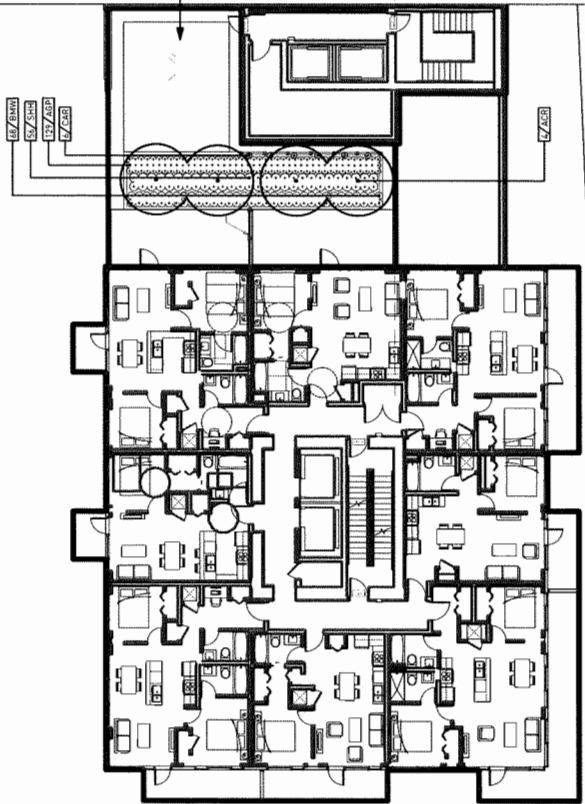
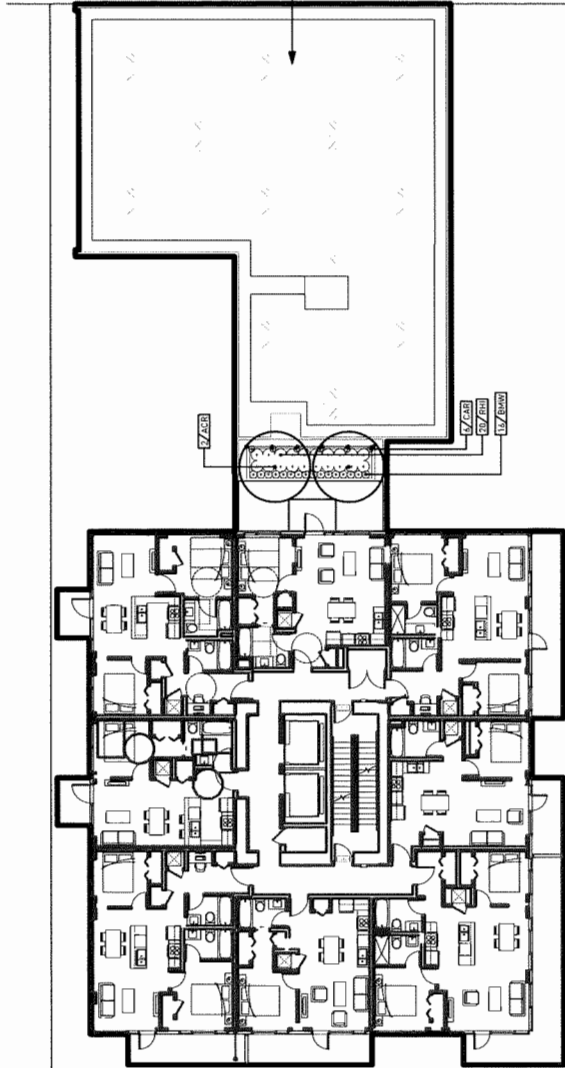
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DATE	2019-05-10
FILE NAME	15033 Plan.vwx
PLOTTED	2021-03-30
DRAWN	ZLLC
REVIEWED	G8

## DRAWING

# L3.03

DP 15-699652  
April 28, 2021  
PLAN #4N

EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM





gbl

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5	2020-08-16
6	2018-11-23
7	2018-12-03
8	2019-04-03
9	2020-07-06
10	2021-01-06
11	2021-04-28

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8	Issued for COR Review
9	Reissued for Development Permit
10	Reissued for Development Permit
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PROJECT

8091 CAPSTAN WAY

RICHMOND, BC

ADDRESS

DRAWING TITLE

PLANTING PLAN

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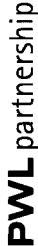
April 28, 2021

PLAN #40

L3.04

Plant List 8091 CAPSTAN WAY					
ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing
Trees					
ACR	5	Acer cinnabarinum 'Green'	Vine Maple	3.0 m H. (10'-0" H.)	As Shown
APL	7	Acer palmatum 'Green'	Green Japanese Maple	4.0 m H. (13'-0" H.)	As Shown
MSL	3	Malus sibirica 'Autumn Brilliance'	Siberian Crabapple	4.0 m H. (13'-0" H.)	As Shown
PPI	11	Parrotia persica 'Inge's Ruby Vase'	'Inge's Ruby' Magnolia	8 cm cal (3" cal)	As Shown
POR	2	Pinus omorika	'RV' Persian Ironwood	6 cm cal (2-1/2" cal)	As Shown
SJL	6	Syrax japonica 'Pink Chimes'	Siberian Spruce	3.5 m H. (11'-6" H.)	As Shown
SCB	6	Syrax cobolensis	Pink Chimes Japanese Snowbell	5 cm cal (2" cal)	As Shown
Shrubs					
AUC	13	Aucuba japonica 'Chrysanth'	Common Strawberry Tree	42 pot	110cm (44")
AGP	797	Azalea 'Gumpo Pink'	Gumpo Pink Azalea	42 pot	30cm (12")
BMW	84	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	42 pot	30cm (12")
CSJ	12	Camellia sasanqua 'Jean May'	Jean May Camellia	42 pot	30cm (12")
CTR	12	Choisya ternata	Mexican Orange Blossom	42 pot	90cm (36")
CLC	108	Claytonia virginica	Claytonia	42 pot	90cm (36")
RHI	109	Rhododendron impatiens	Rhododendron	42 pot	60cm (24")
SHH	135	Sarcococca hookeriana humilis	Himalayan Sarcococca	42 pot	45 cm (18")
SJP	138	Siermnia japonica	Japanese Shumila	42 pot	60cm (24")
TXM	315	Taxus x media 'H.M. Eddys'	H.M. Eddys Yew	1.5m	50cm (20")
Ground Cover					
AUV	288	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	42 pot	15cm (6")
PTM	262	Pachyandra terminalis	Japanese Spurge	42 pot	30cm (12")
Perennials					
LJI	637	Lewandaea angustifolia 'Heliole'	Heliole	42 pot	40 cm (16")
REG	90	Rubus coccineus 'Goldstrum'	Black-Eyed Susan	42 pot	45 cm (18")
Ornamental Grasses					
GID	712	Grasses	Variegated Sedge	42 pot	38 cm (15")
HSM	83	Hesperis matronalis	Blue Oat Grass	42 pot	50 cm (24")
STT	132	Stipa tenuissima	Mexican Feather Grass	42 pot	50cm (20")

EXTENSIVE GREEN ROOF: 6" LIVE ROOF TRAY SYSTEM



10

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## PROJECT

**8091 CAPSTAN WAY  
RICHMOND, BC**

ADDRESS

DRAWING TITLE

## LIGHTING PLAN

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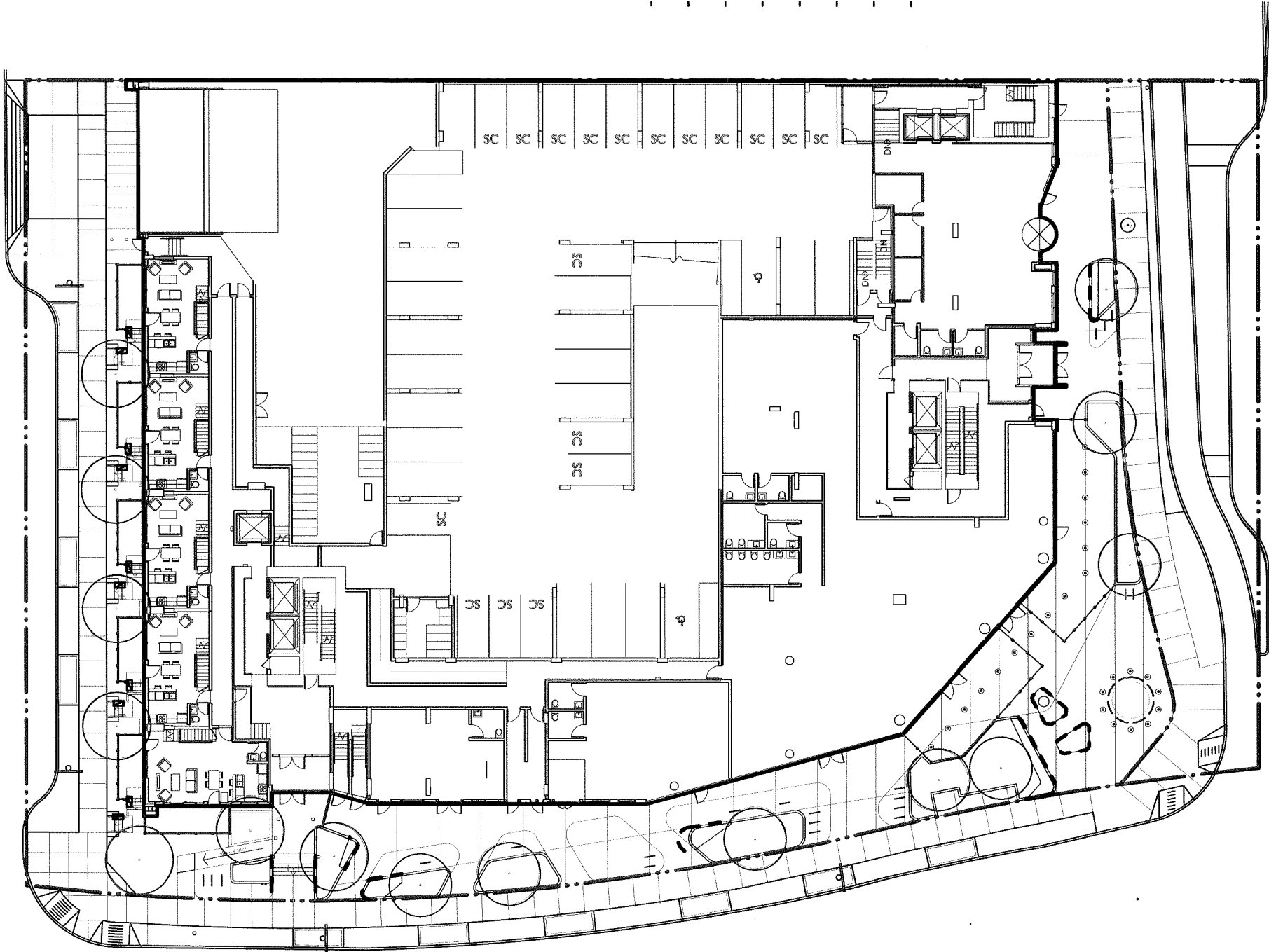
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## DRAWING

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DP 15-699652  
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PLAN #4P





PWL partnership



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DP 15-699652  
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PLAN #4Q

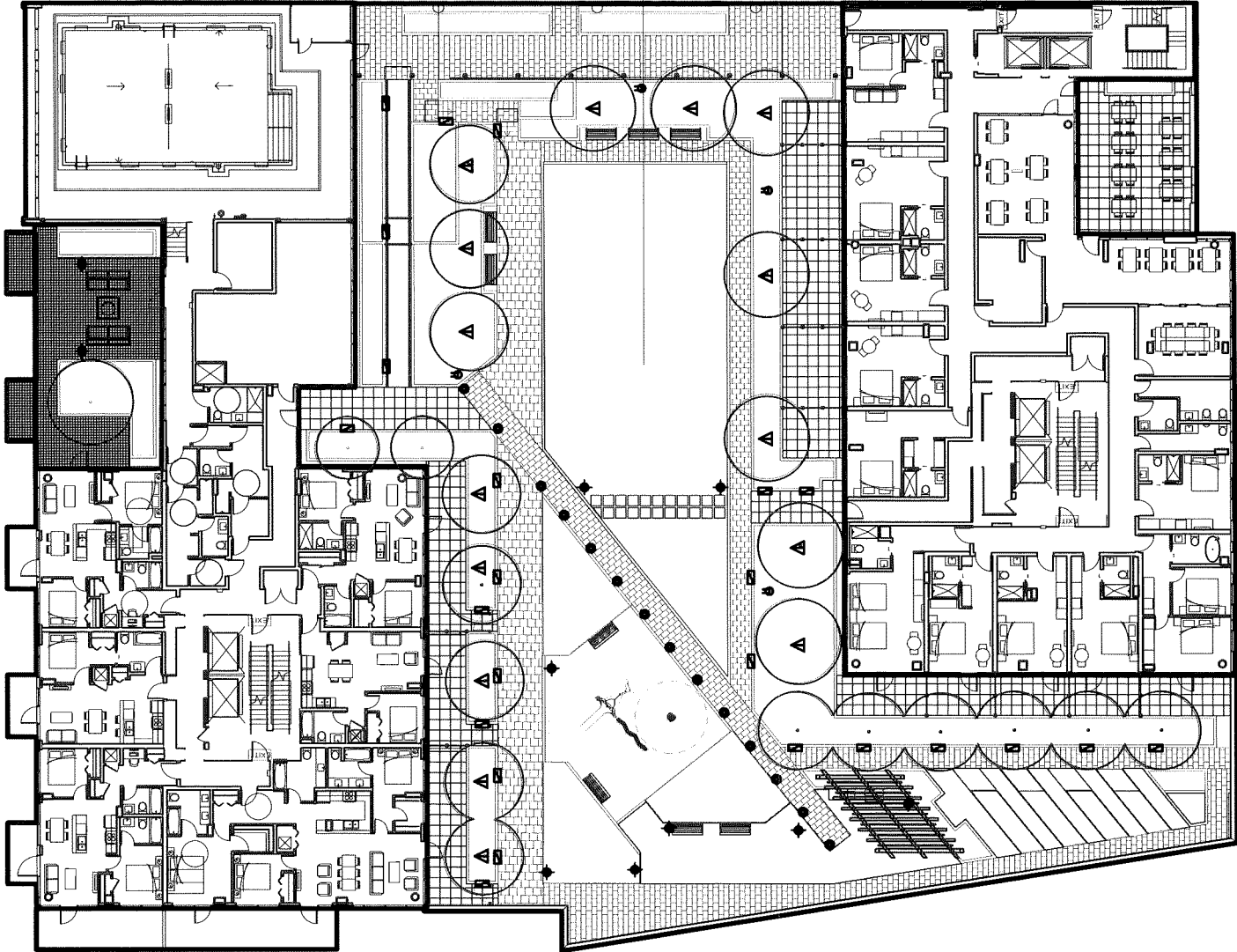
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LIGHTING LEGEND

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REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT. CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.

	TYPE 1 - IN-GROUND LIGHT	
	TYPE 2 - STEP LIGHT/WALL LIGHT	
	TYPE 3 - UP LIGHT	
	TYPE 4 - LED ROPE LIGHT	
	TYPE 5 - 42" HT LIGHTING BOLLARD	
	TYPE 6 - IN GROUND FLUSH LIGHT	
	OUTLET FOR SEASONAL LIGHTING	





PWL partnership



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LIGHTING PLAN

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April 28, 2021  
PLAN #4 R

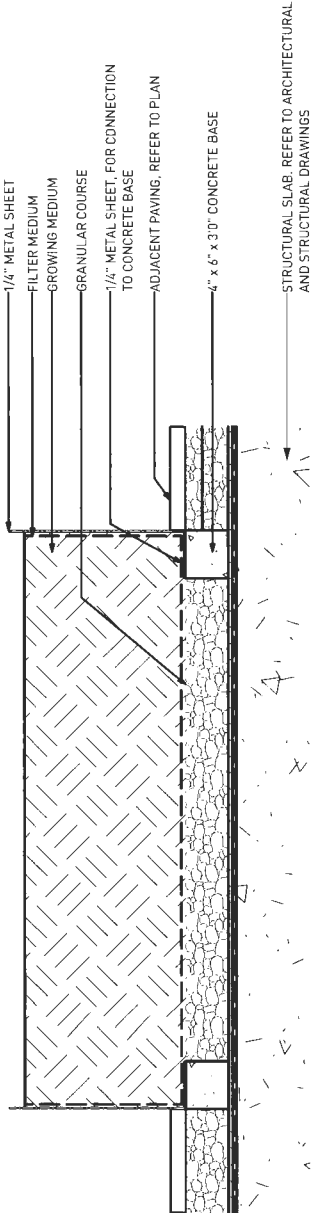
LIGHTING LEGEND		
DRAWINGS HAS BEEN DEVELOPED FOR REFERENCE TO FACILITATE CODRDINATION BETWEEN CONTRACTORS.		
REFER TO ELECTRICAL ENGINEERING DRAWINGS FOR FIXTURE TYPES AND LAYOUT. CONTRACTOR TO REPORT ANY DISCREPANCIES TO CONSULTANT FOR COMMENTS.		
	TYPE 1 - IN-GROUND LIGHT	
	TYPE 2 - STEP LIGHT/WALL LIGHT	
	TYPE 3 - UP LIGHT	
	TYPE 4 - LED ROPE LIGHT	
	TYPE 5 - 42" HT LIGHTING BOLLARD	
	TYPE 6 - IN GROUND FLUSH LIGHT	
	OUTLET FOR SEASONAL LIGHTING	



NOTES:

1. CONTRACTOR TO PROVIDE URBAN AGRICULTURE PLANTER SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.

2. PLANTER DIMENSIONS VARY, REFER TO LAYOUT AND GRADING PLANS

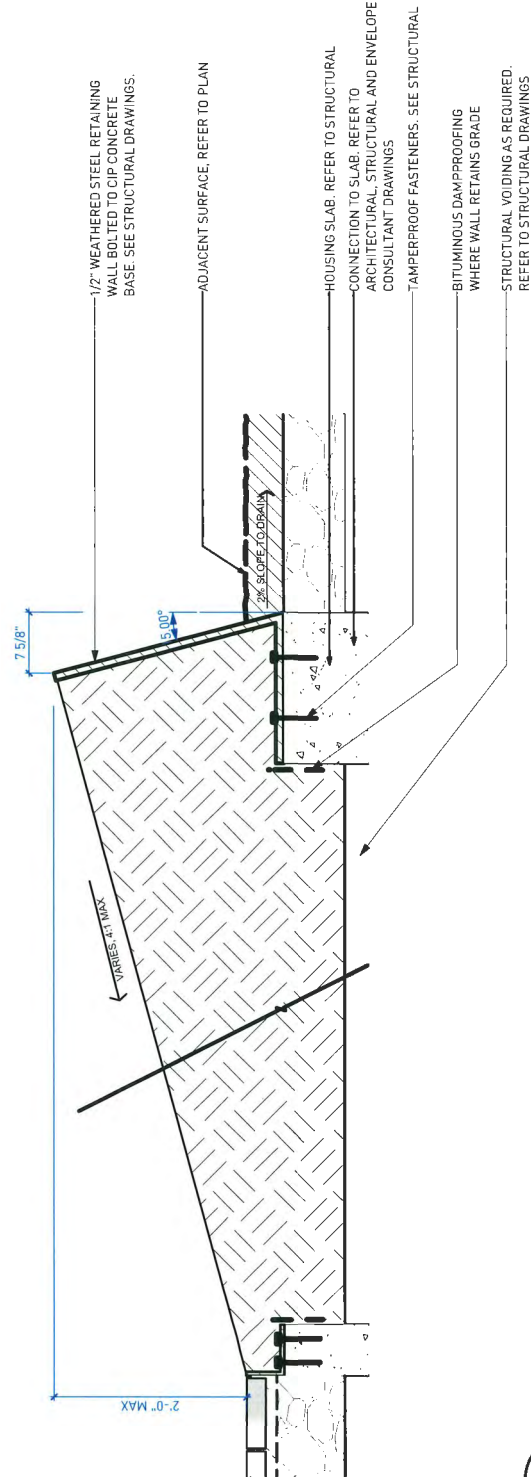


METAL URBAN AGRICULTURE PLANTER

1

1/2" = 1'0"

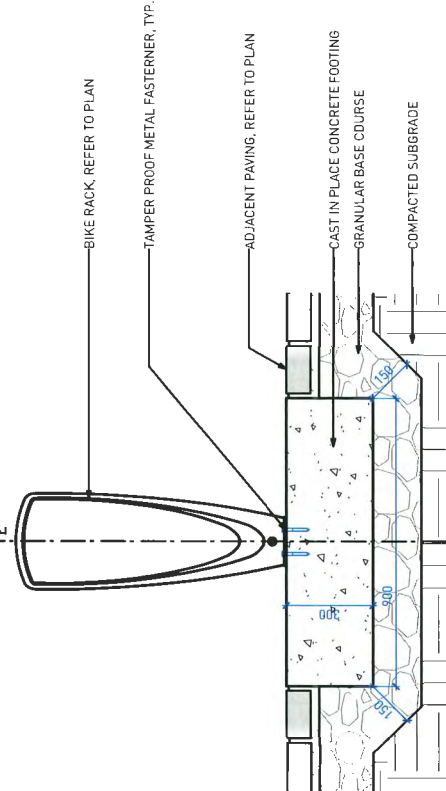
NOTE:  
ALL METAL WORK IS TO BE DESIGNED BY CONTRACTOR'S STRUCTURAL ENGINEER IN ACCORDANCE WITH CURRENT BCBC. PROVIDE ENGINEERED STAMPED SHOP DRAWINGS AND SCHEDULES FOR METAL WORK.



METAL PLANTER

2

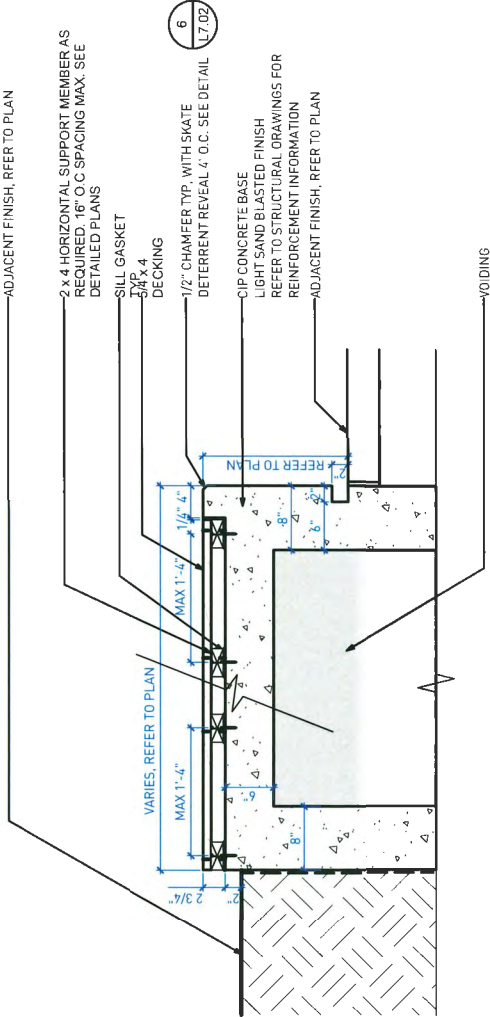
1/2" = 1'0"



BIKE RACK

3

1/2" = 1'0"



TIMBER BENCH TOPPER

4

1/2" = 1'0"



**PWL partnership**



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www.pwlpartnership.com  
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F 604.688.6112

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15-000000-0000  
20-000000-0000  
25-000000-0000  
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45-000000-0000  
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95-000000-0000  
00-000000-0000

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
2	2017-12-04	Issued for ADP
3	2018-02-20	Reissued for Development Permit
4	2018-06-15	Issued for 30% Check Set
5	2020-08-16	Issued for 60% Check Set
6	2018-11-23	Issued for Review Set
1	18-6-15	Issued for 30% Check Set
2	18-8-17	Issued for 60% Check Set
3	18-11-23	Issued for Review Set
4	18-12-03	ISSUED FOR BUILDING PERMIT
5	19-3-28	Issued for 80% IFC

PROJECT


8091 Capstan Way

ADDRESS

DRAWING TITLE

DETAILS

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NORTH	SCALE	AS SHOWN
		
PROJECT NO.	15033	
DATE		
FILE NAME	15033 Detail.vwx	
PLOTTED	2021-03-30	
DRAWN	FMD/LC/ZL	REVIEWED
		GB

DP 15-699652  
April 28, 2021  
PLAN #4S

L5.01

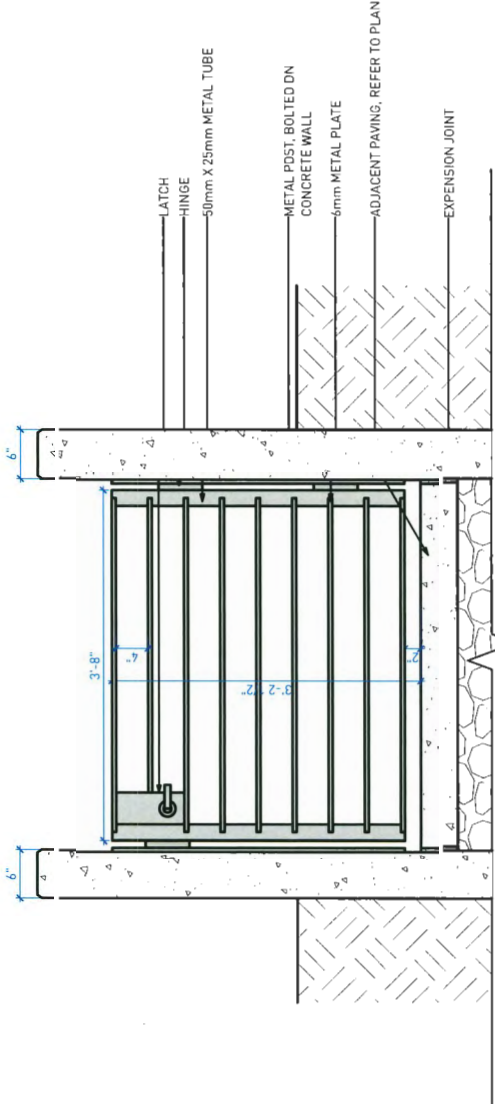
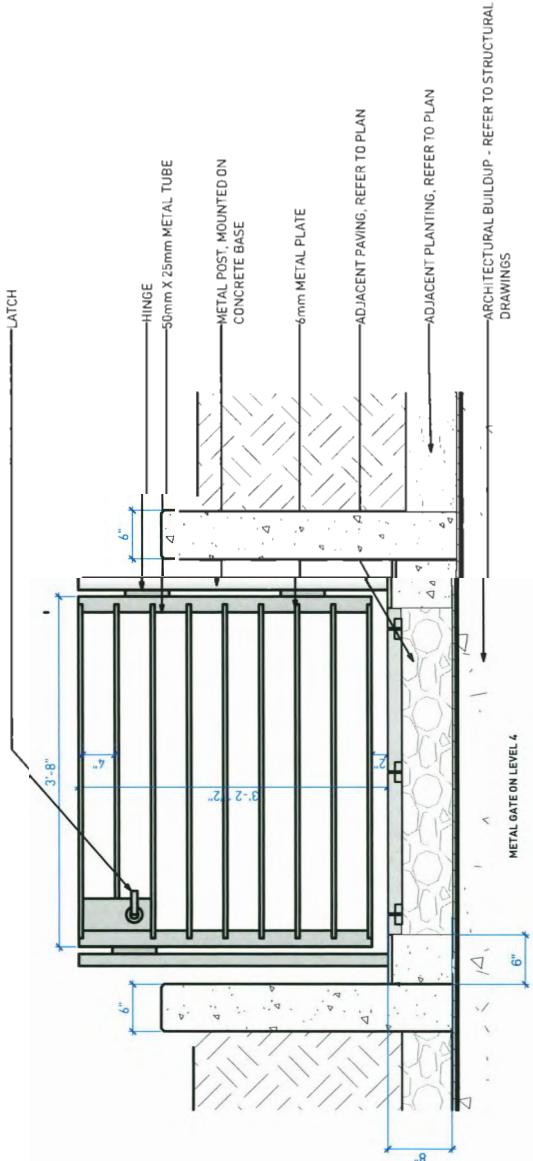


NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO



NOTES:

- 1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- 2. FINISH AND COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL.
- 3. GATE LATCH AND HINGE HARDWARE TO BE OF THE SAME MANUFACTURER AND QUALITY GRADE AS BUILDING EXTERIOR DOORS. SUBMIT PRODUCT CUT SHEETS TO CONSULTANT FOR REVIEW.
- 4. MATERIAL TO BE ALUMINIUM.



1

METAL ENTRY GATES

1/2" = 1'0"

2

BENCH

1/2" = 1'0"

PWL partnership

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gbl

GBL ARCHITECTS INC  
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VANCOUVER, BC CANADA V6E 2V2  
TEL: 604.688.6111  
FAX: 604.688.6112  
WWW.GBLARCHITECTS.COM

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
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3	18-11-23	Issued for Review Set
4	18-12-03	ISSUED FOR BUILDING PERMIT
5	19-3-28	Issued for 80% IFC

PROJECT

8091 Capstan Way

ADDRESS

DRAWING TITLE

DETAILS

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NORTH



SCALE

AS SHOWN

PROJECT NO. 15033

DATE

FILE NAME 15033 Detail.vwx

PLOTTED 2021-03-30

DRAWN FMD/LC/ZL REVIEWED GB

DRAWING

L5.02

DP 15-699652  
April 28, 2021  
PLAN #4T



PWL partnership

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Vancouver BC Canada V6E 2V2  
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T 604.688.6111  
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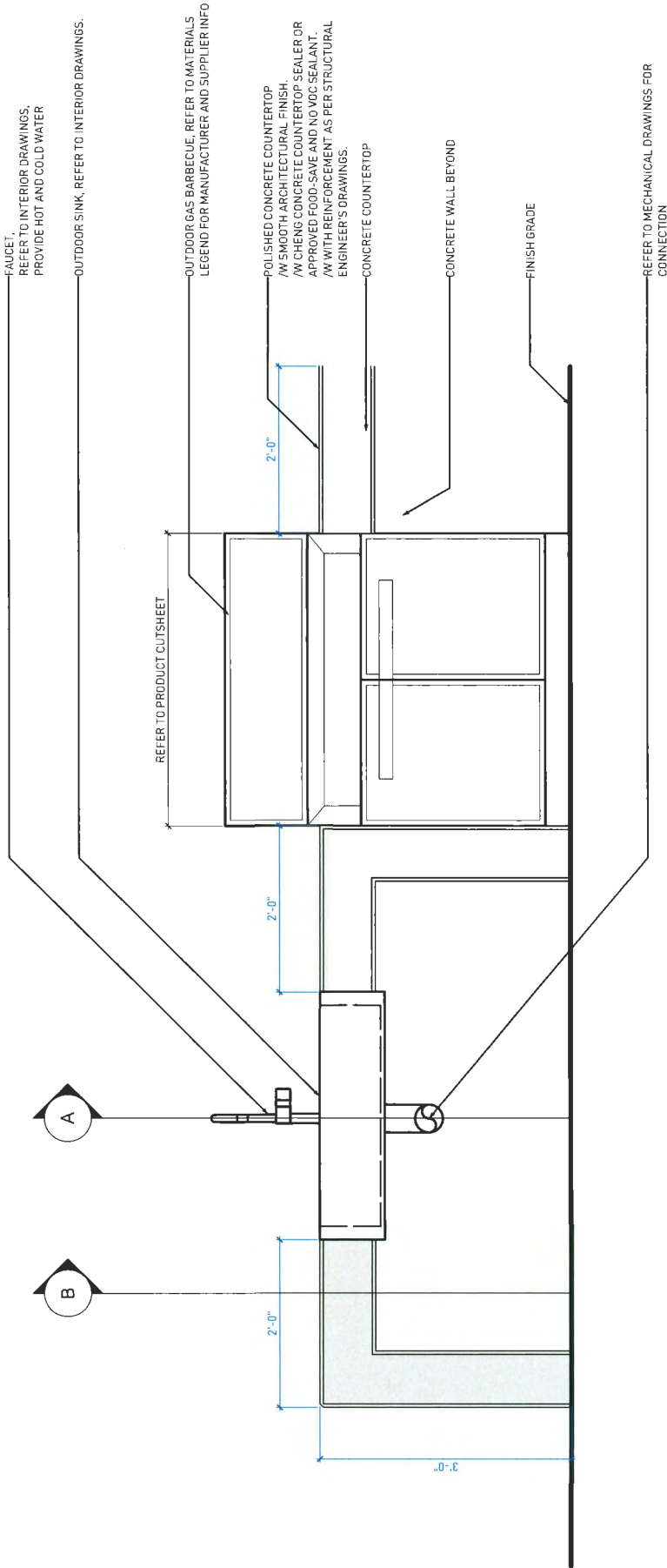
GB ARCHITECTS INC  
LANDSCAPE ARCHITECTS  
100 BURNHAMTHORPE RD  
VANCOUVER BC CANADA V6C 2B7  
TEL: 604.273.2222 FAX: 604.273.2223  
WWW.GBARCHITECTS.COM

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2017-09-18	Issued for Development Permit
2	2017-12-04	Issued for ADP
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2	18-8-17	Issued for 60% Check Set
3	18-11-23	Issued for Review Set
4	18-12-03	ISSUED FOR BUILDING PERMIT
5	19-3-28	Issued for 80% IFC

GENERAL NOTES:

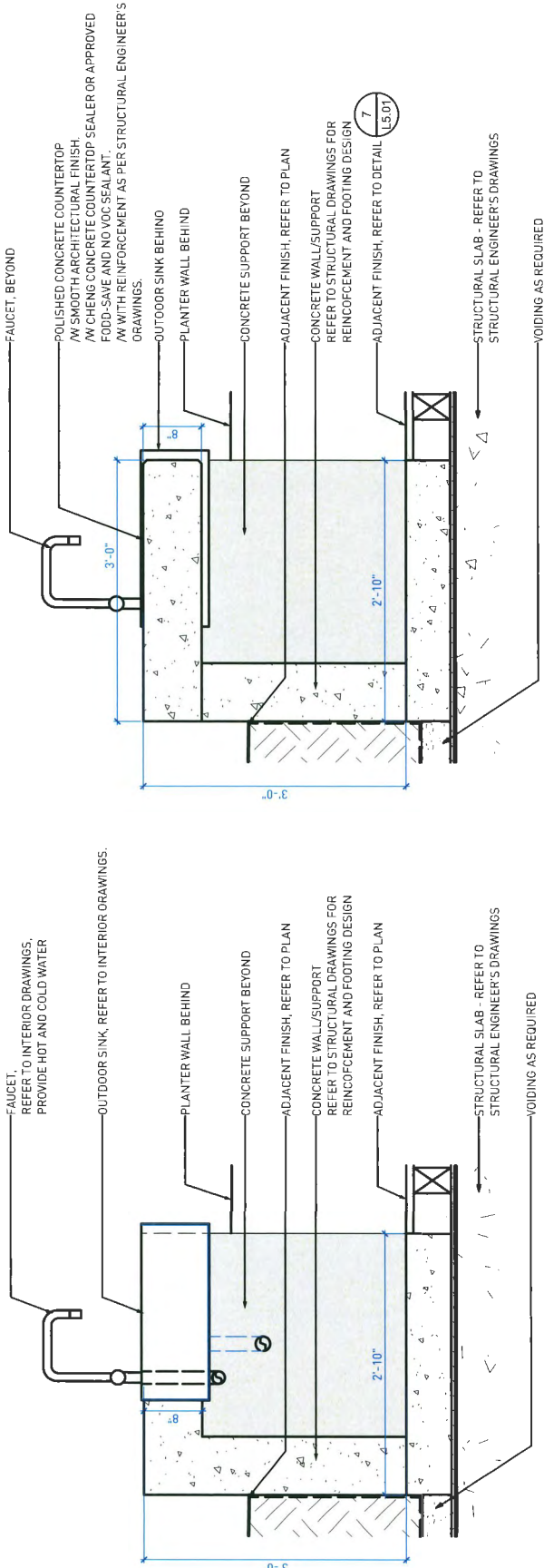
1. PROVIDE HOT AND COOL WATER FOR SINK.
2. PROVIDE OUTDOOR SINK SHOP DRAWINGS FOR CONSULTANT REVIEW PRIOR TO CONSTRUCTION
3. REFER TO MECHANICAL DRAWINGS FOR GAS AND WATER CONNECTIONS
4. REFER TO ELECTRICAL DRAWINGS FOR ELECTRICAL CONNECTIONS



NOTES:

CONTRACTOR TO VERIFY BBQ AND SINK SELECTION/DIMENSIONS PRIOR TO INSTALLATION

ELEVATION



SECTION A

SECTION B

1 SINK, BBQ AND BENCHTOP

1" = 1'0"

DP 15-699652  
April 28, 2021  
PLAN #4U

PROJECT

8091 Capstan Way

ADDRESS

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NORTH



SCALE

AS SHOWN

PROJECT NO.

15033

DATE

FILE NAME

15033 Detail.vwx

PLOTTED

2021-03-30

DRAWN

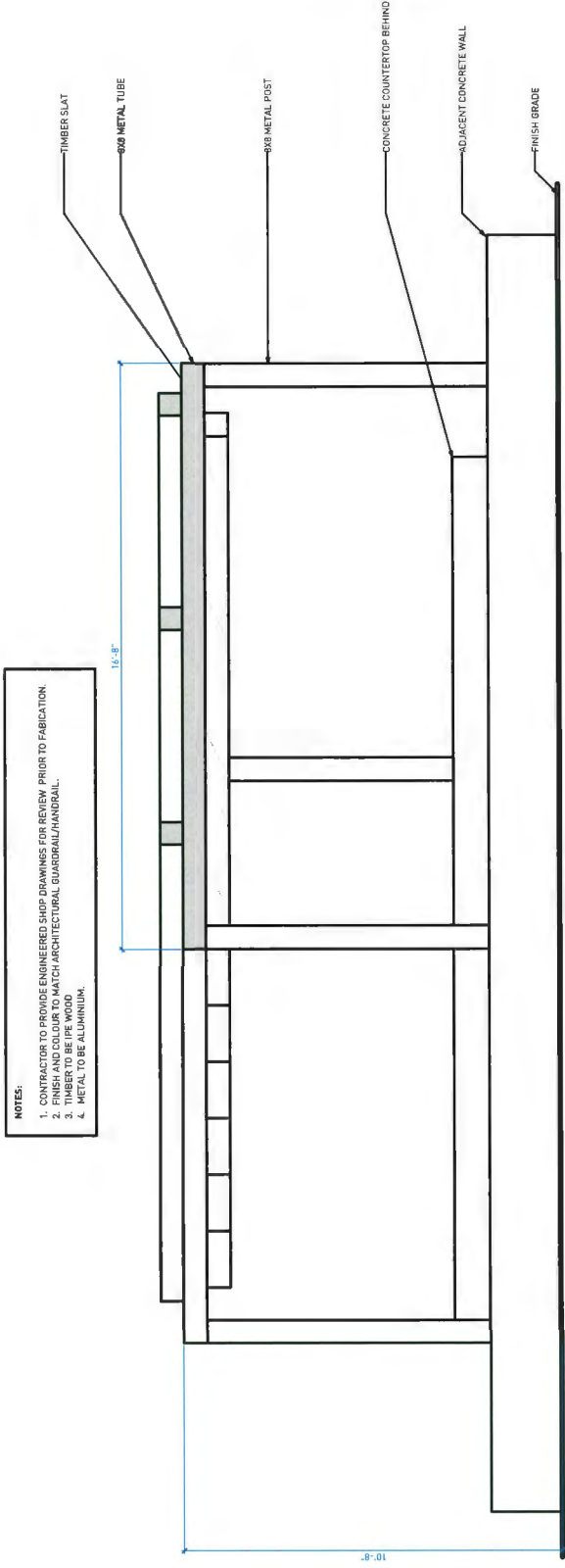
FMD/LC/ZL

REVIEWED

GB

DRAWING

L5.03



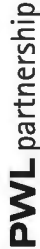
Ø3/8 METAL POST  
 TIMBER SLAT  
 Ø3/8 METAL TUBE  
 METAL TAB  
 CONCRETE COUNTERTOP BEHIND  
 ADJACENT CONCRETE WALL  
 FINISH GRADE

 $3/16" = 1'0"$ 

DP 15-699652  
April 28, 2021  
PLAN #4 V

**NOTES:**

1. CONTRACTOR TO PROVIDE ENGINEERED SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
2. FINISH AND COLOUR TO MATCH ARCHITECTURAL GUARDRAIL/HANDRAIL.
3. TIMBER TO BE IPE WOOD
4. METAL TO BE ALUMINIUM.



**PWL Partnership Landscape Architects Inc.**  
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QRL ARCHITECTS INC.  
131 EAST 14TH AVENUE  
VANCOUVER, BC CANADA V6T 1B8  
TEL 604 736 1150  
FAX 604 731 5279

REVISIONS AND ISSUES		NO.	DATE	DESCRIPTION
		1	2017-09-18	Issued for Development Perm
		2	2017-12-04	Issued for ADP
		3	2018-02-20	Reissued for Development Per
		4	2018-06-15	Issued for 30% Check Set
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		2	18-8-17	Issued for 60% Check Set
		3	18-11-23	Issued for Review Set
		4	18-12-03	ISSUED FOR BUILDING PERM
		5	19-3-28	Issued for 80% IFC

## PROJECT

8091 Capstan Way

ADDRESS

**DRAWING TITLE**

## DETAILS

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NORTH  
SCALE

**AS SHOWN**

PROJECT NO.	15033
DATE	
FILE NAME	15033 Detail.vwx
PLOTTED	2021-03-30
DRAWN	FMD/LC/ZL
REVIEWED	GB

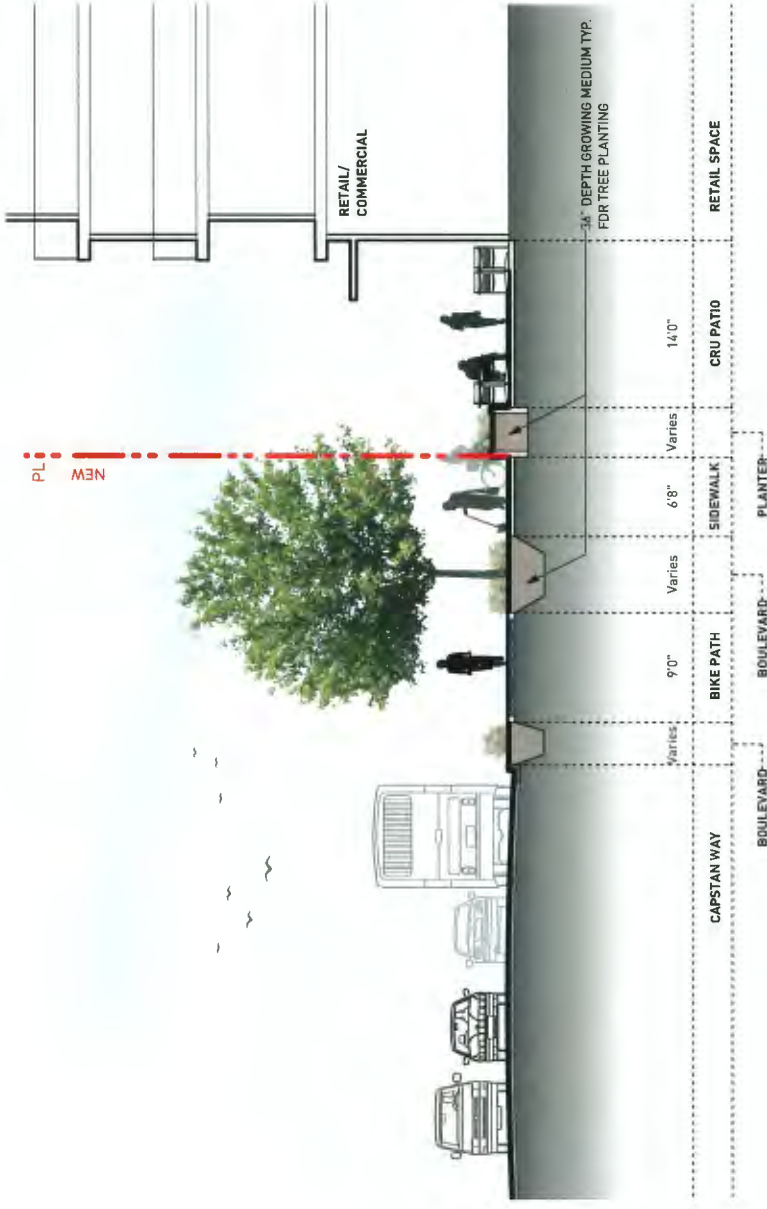
## DRAWING

## L5.04

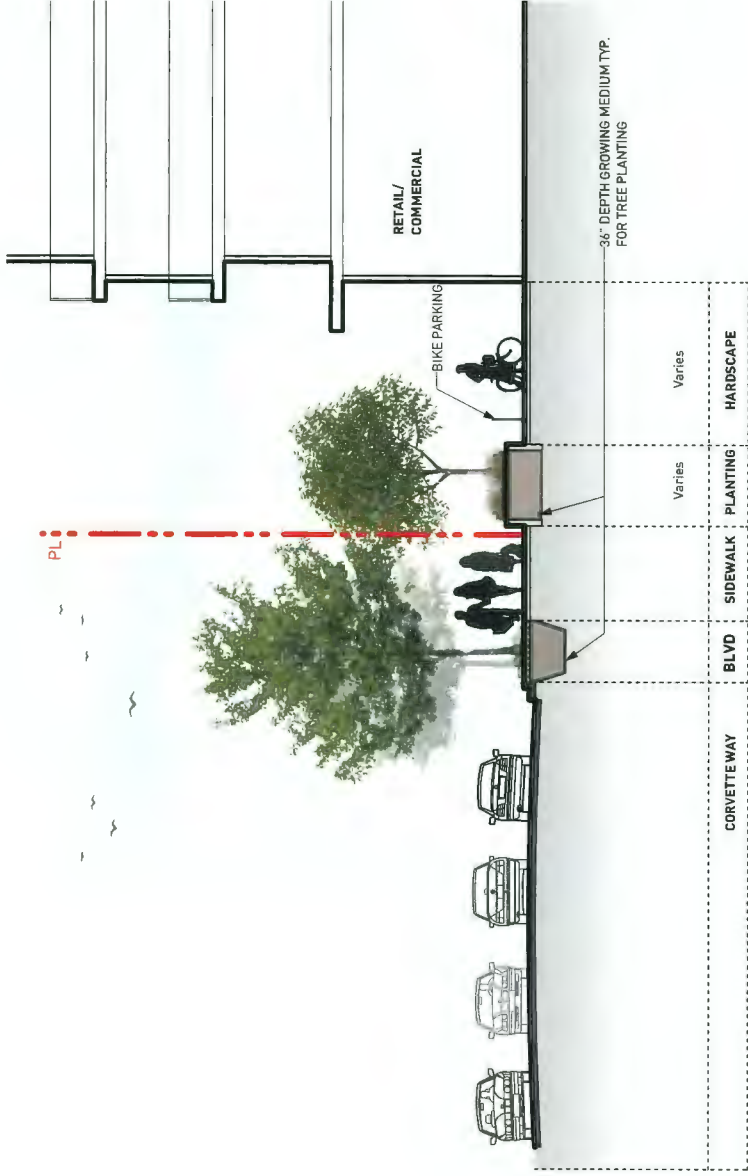


REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2021-01-06	Reissued for Development Permit
2	2021-04-28	Reissued for DPP



2 SECTION THROUGH CAPSTAN WAY



1 SECTION THROUGH CORVETTE WAY NORTH



3 SECTION THROUGH AMENITY BUILDING

PROJECT

8091 CAPSTAN WAY  
RICHMOND, BC

ADDRESS

DRAWING TITLE

SECTIONS

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NORTH	SCALE
	1/16" = 1'0"

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Sections.vwx
PLOTTED	2021-04-06
DRAWN	LC
REVIEWED	

DRAWING

L6.01

DP 15-699652  
April 28, 2021  
PLAN #4W





PWL partnership



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DESIGNED BY  
DRAWN BY  
CHECKED BY  
DATE  
PROJECT NO.

REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
1	2021-01-06	Reissued for Development Permit
2	2021-04-28	Reissued for DPP

PROJECT

8091 CAPSTAN WAY  
RICHMOND, BC

ADDRESS

DRAWING TITLE

SECTIONS

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NORTH

SCALE

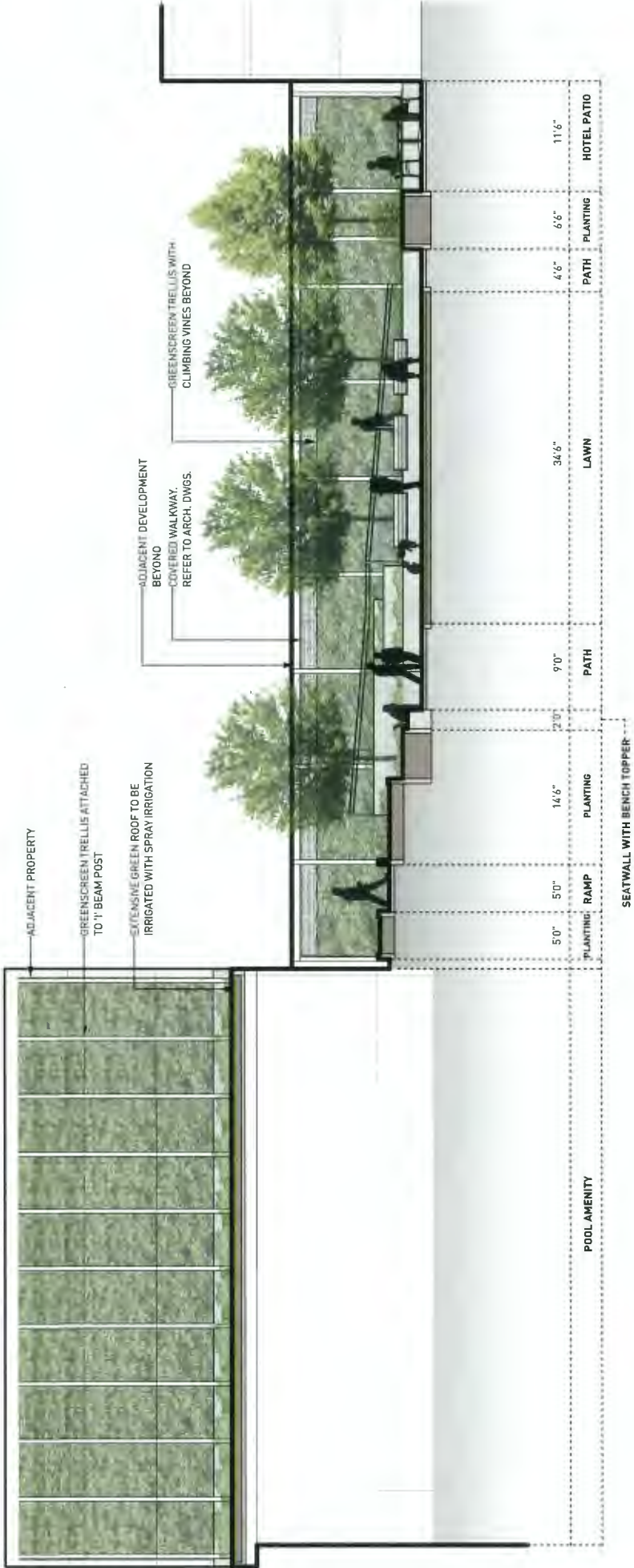
1/16" = 1'0"

PROJECT NO.	15033
DATE	2019-05-10
FILE NAME	15033 Sections.vwx
PLOTTED	2021-04-06
DRAWN	LC
REVIEWED	

DRAWING

L6.02

DP 15-699652  
April 28, 2021  
PLAN #4X



4 SECTION THROUGH OUTDOOR AMENITY SPACE LOOKING EAST



GREENSCREEN TRELLIS PRECEDENTS



**DP 15-699652**

April 28, 2021

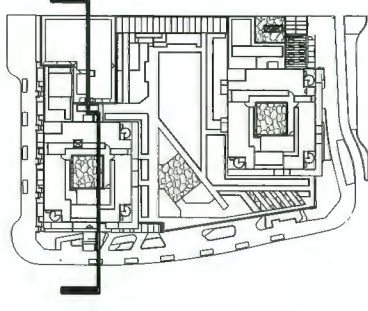
**PLAN # 5a**

# THE CAPSTAN

**GBLARCHITECTS**



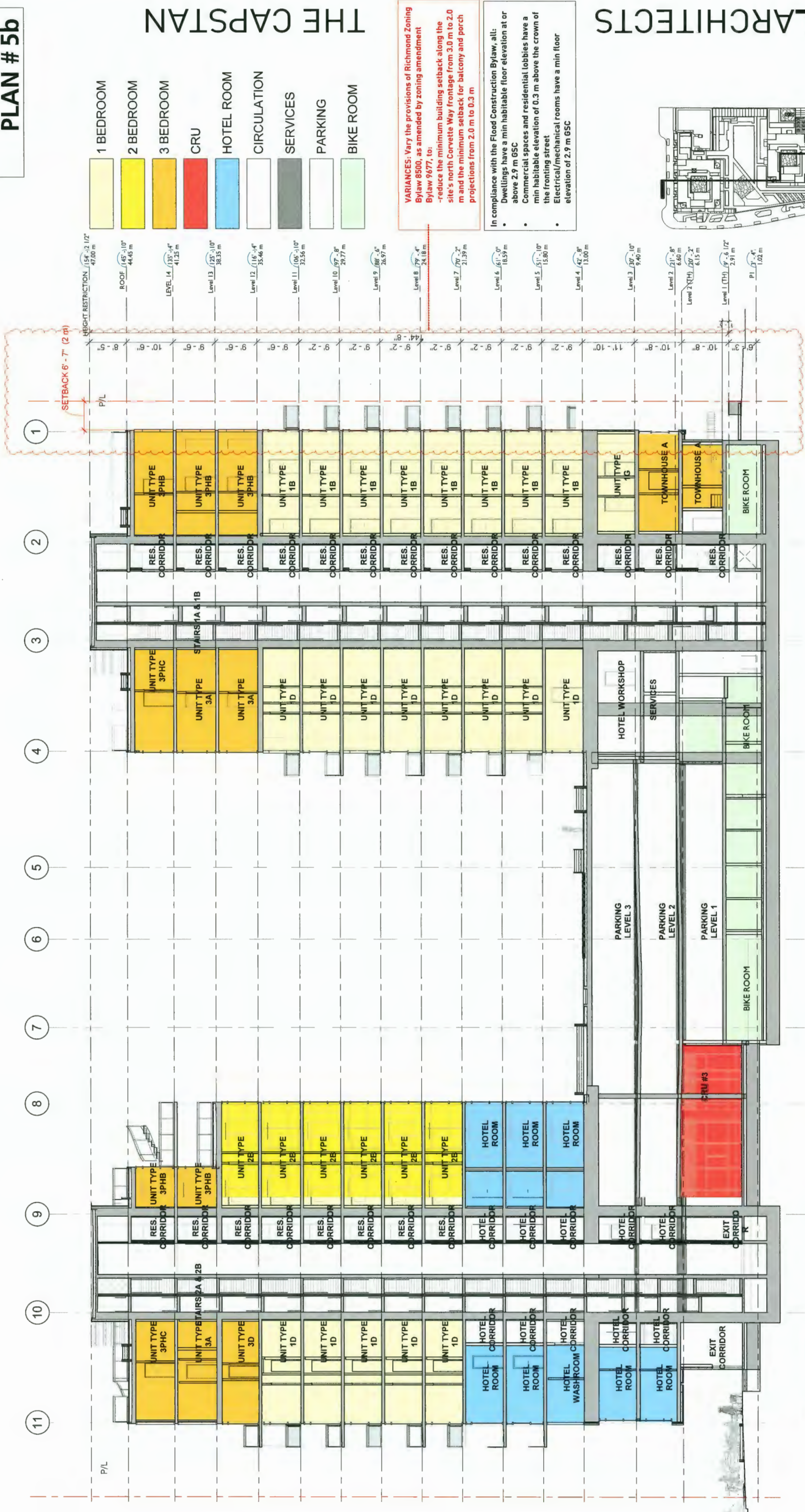
- In compliance with the Flood Construction Bylaw, all:
  - Dwellings have a min habitable floor elevation at or above 2.9 m GSC
  - Commercial spaces and residential lobbies have a min habitable elevation of 0.3 m above the crown of the fronting street
  - Electrical/mechanical rooms have a min floor elevation of 2.9 m GSC



## KEY PLAN - SECTION

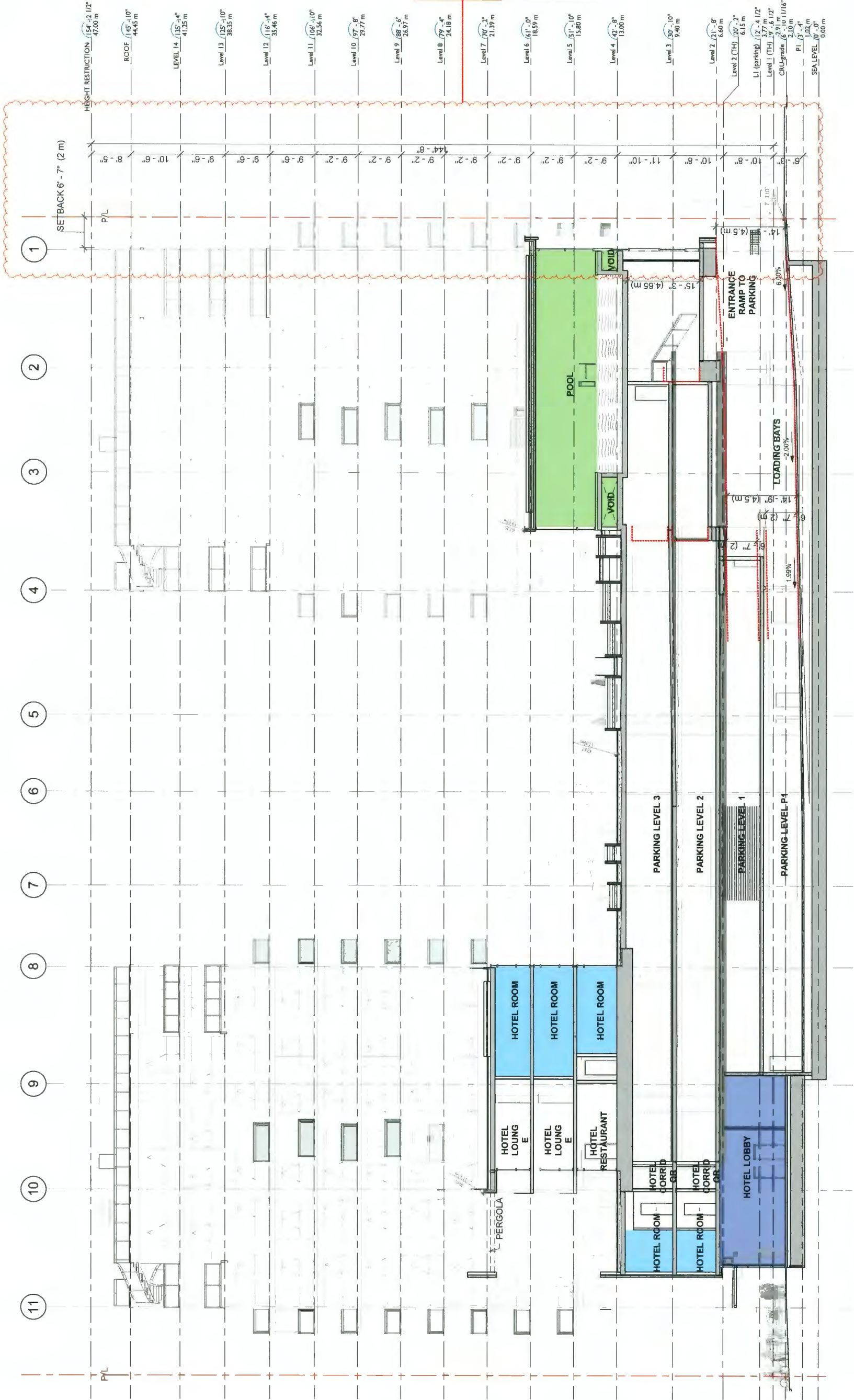


DP 15-699652  
April 28, 2021  
PLAN # 5b





DP 15-699652  
April 28, 2021  
PLAN # 5c



Legend:

- HOTEL ROOM
- HOTEL LOBBY
- CIRCULATION
- SERVICES
- PARKING
- AMENITY

**VARIANCES:** Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

- reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

In compliance with the Flood Construction Bylaw, all:

- Dwellings have a min habitable floor elevation at or above 2.9 m GSC
- Commercial spaces and residential lobbies have a min habitable elevation of 0.3 m above the crown of the fronting street
- Electrical/mechanical rooms have a min floor elevation of 2.9 m GSC

GBL ARCHITECTS

KEY PLAN - SECTION.

BUILDING SECTION

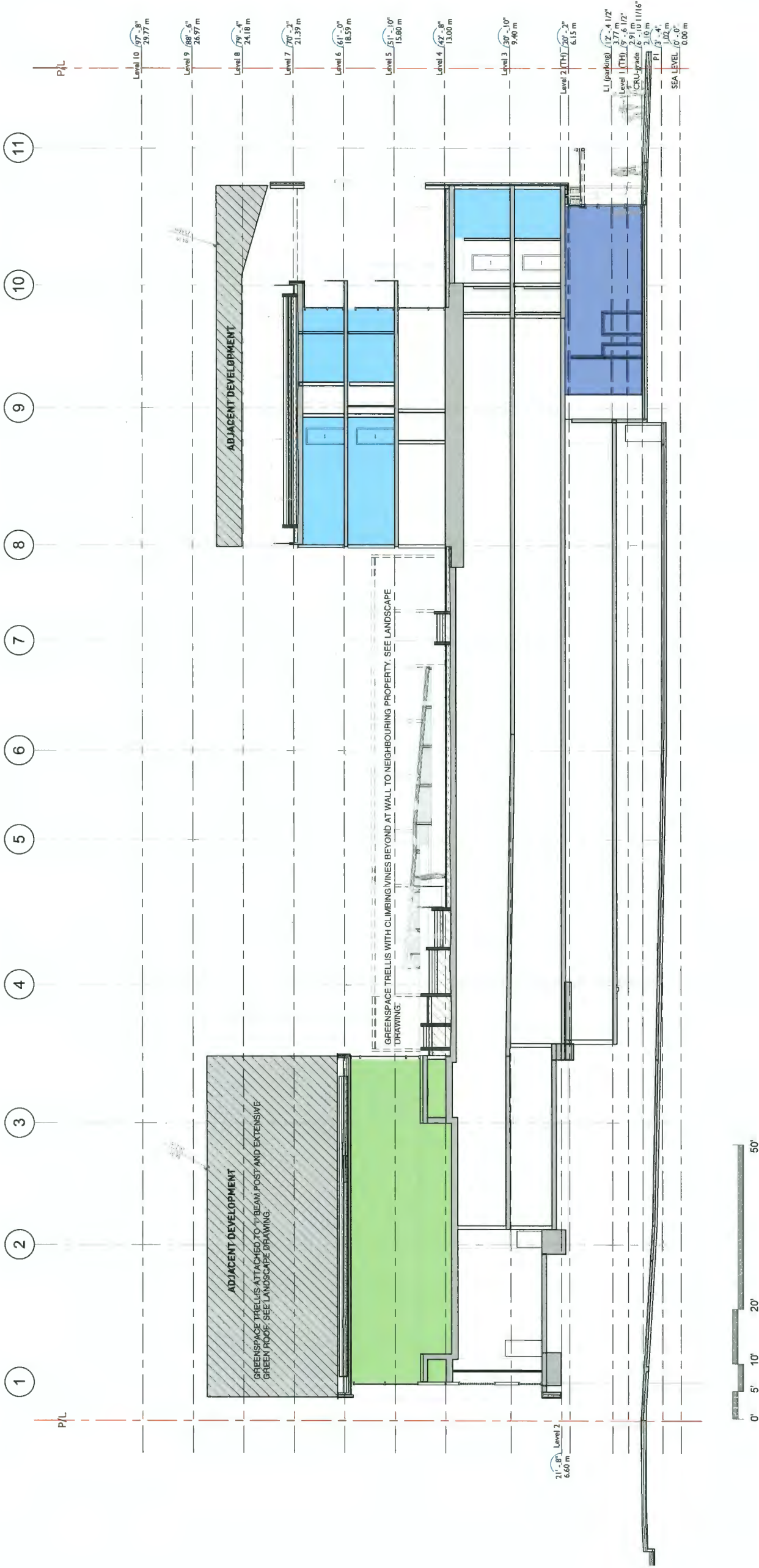
A.304

DP 15-699652  
April 28, 2021  
PLAN # 5d

THE CAPSTAN

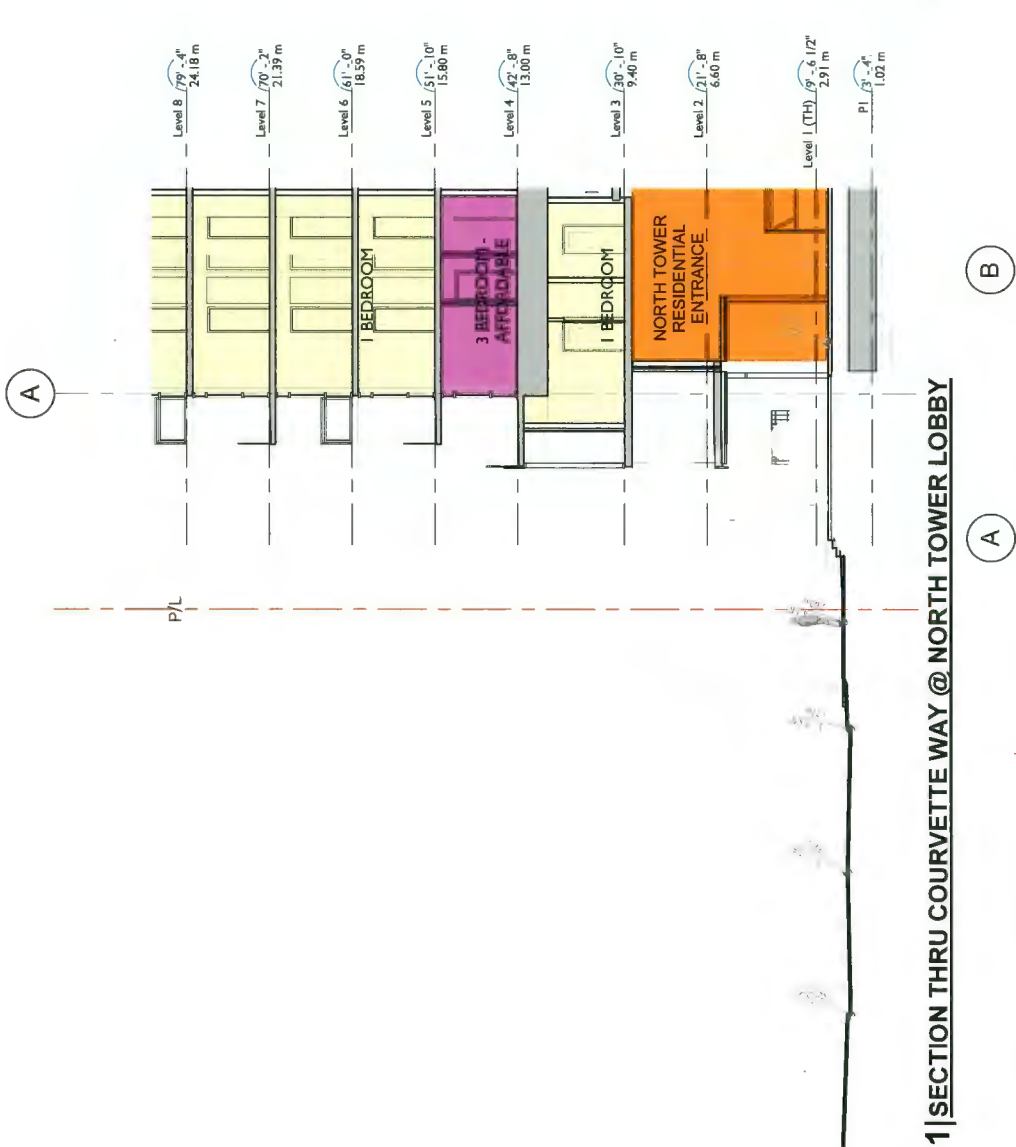
GBL ARCHITECTS

KEY PLAN - SECTION....

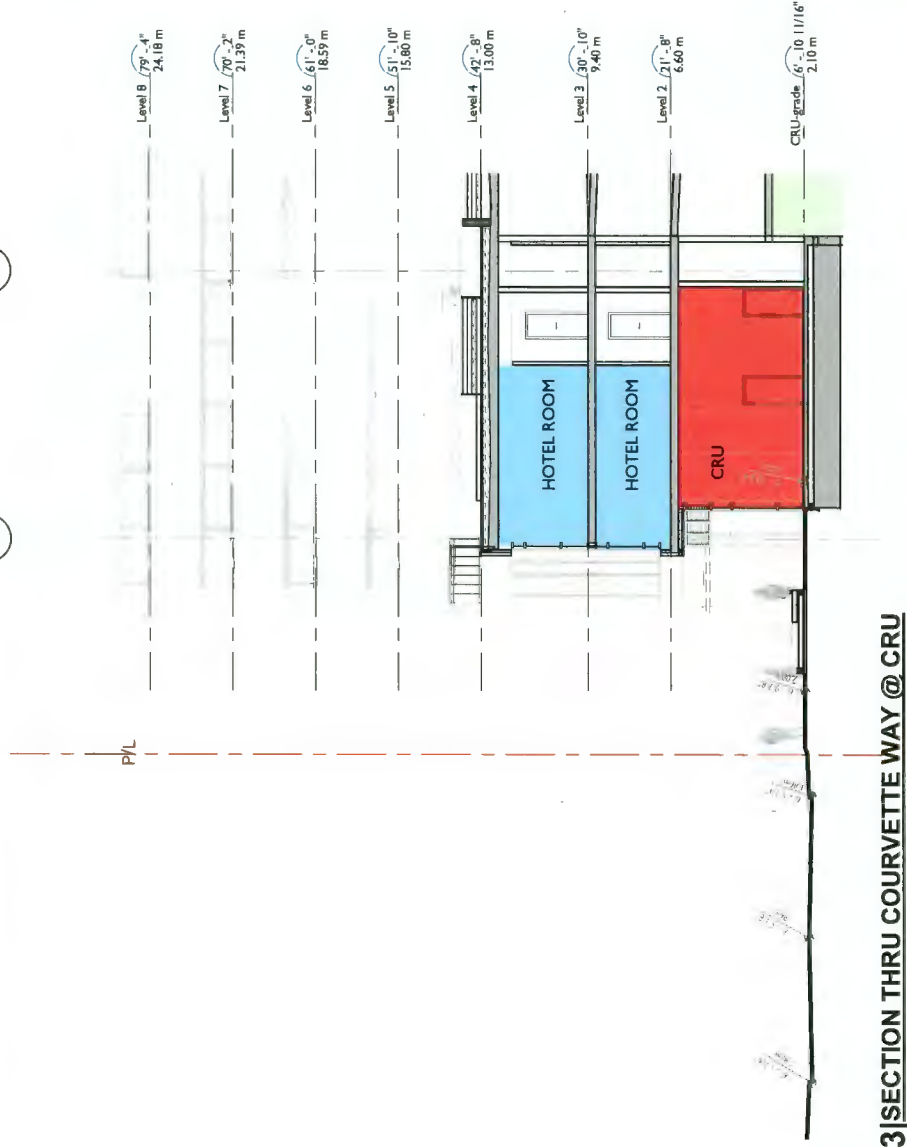




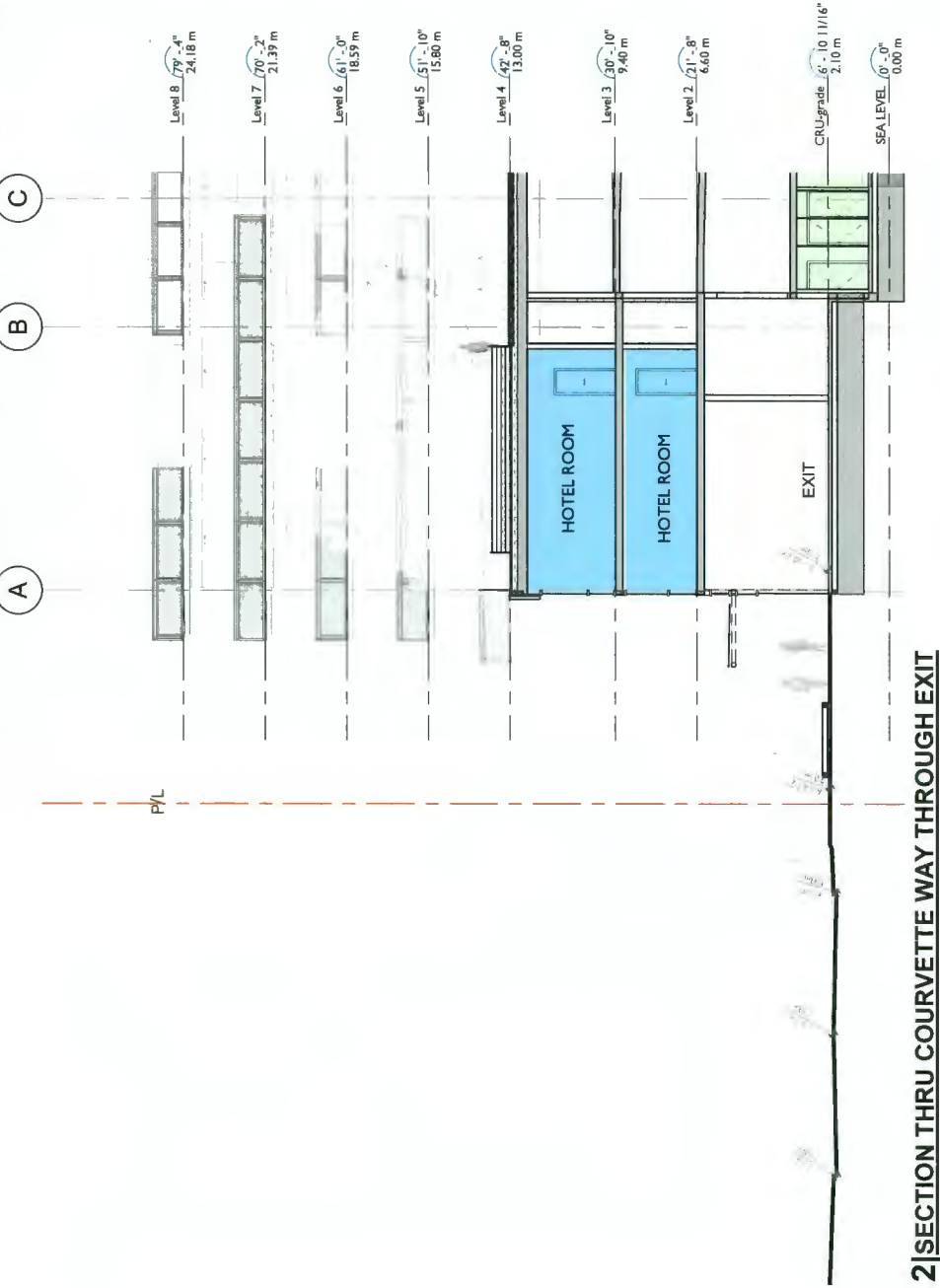
DP 15-699652  
April 28, 2021  
PLAN # 5e



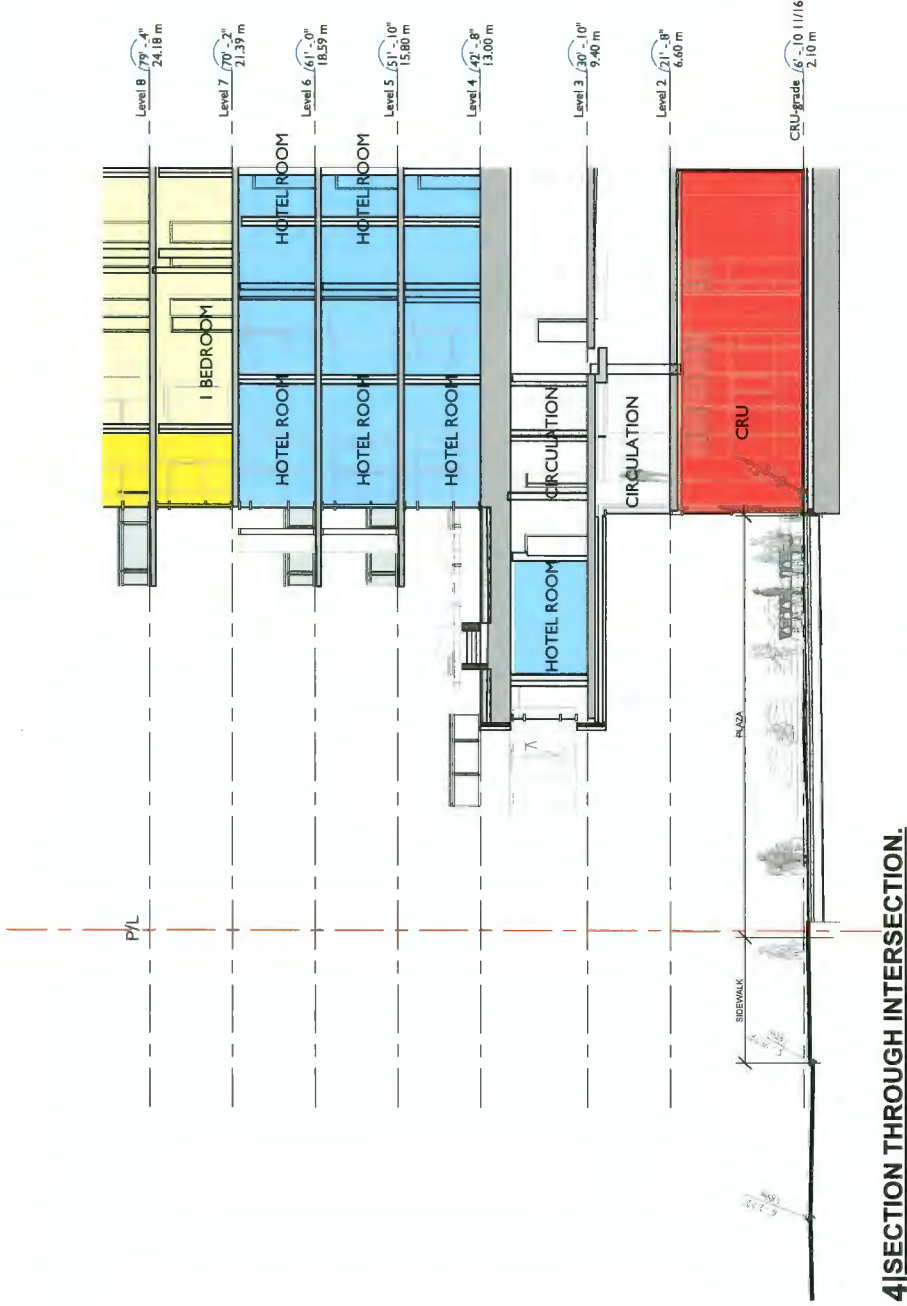
1|SECTION THRU COURVETTE WAY @ NORTH TOWER LOBBY



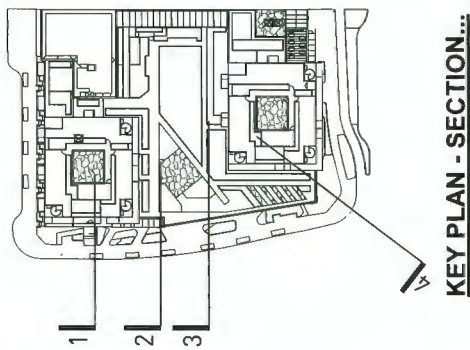
3|SECTION THRU COURVETTE WAY @ CRU



2|SECTION THRU COURVETTE WAY THROUGH EXIT



4|SECTION THRU COURVETTE WAY THROUGH INTERSECTION.





WEST ELEVATION

A.201

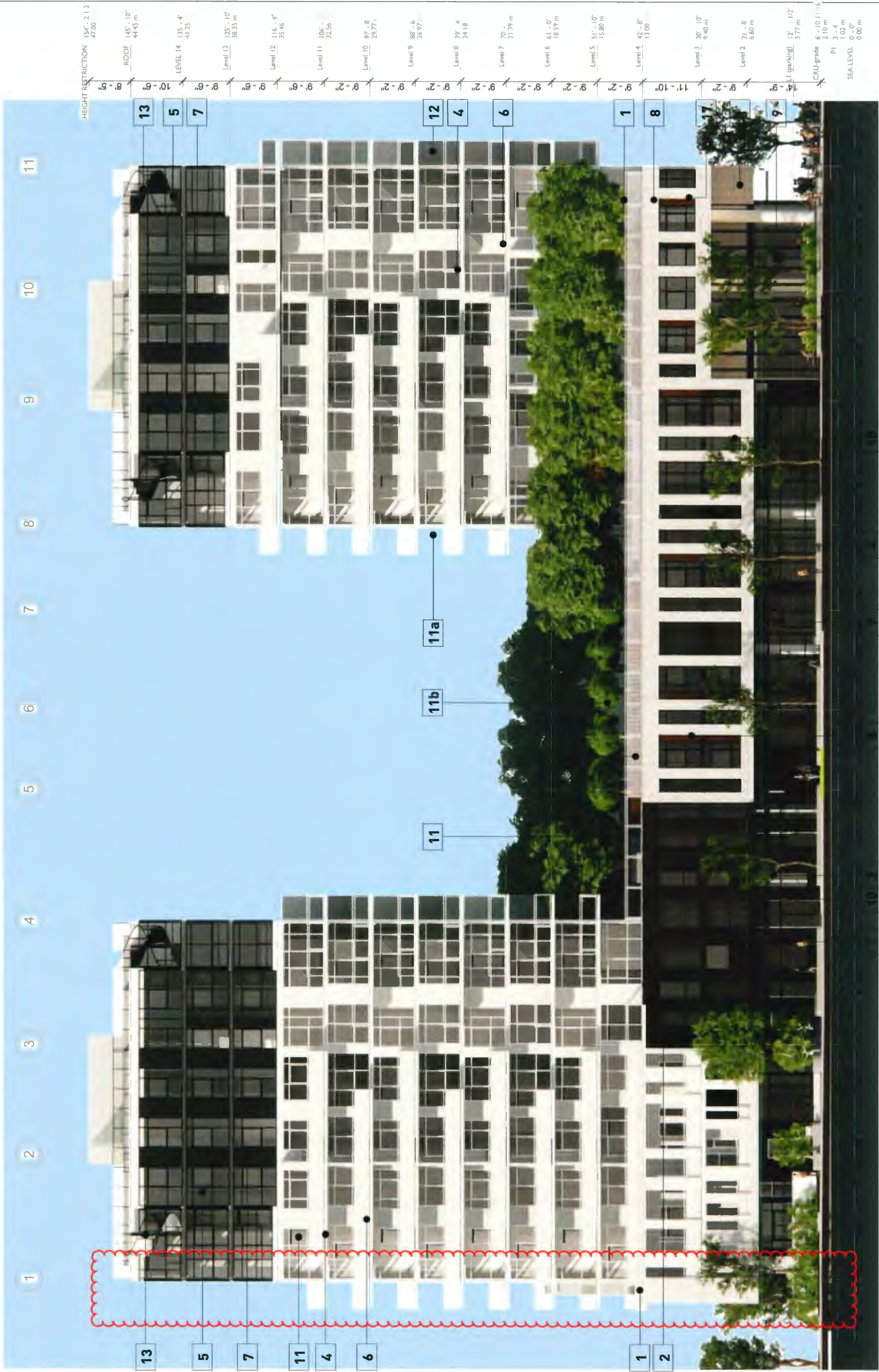
DP 15-699652

April 28, 2021

PLAN # 6a

MATERIALS LEGEND:

1	BRICK RUNNING BOND - WHITE
2	BRICK RUNNING BOND - CHARCOAL
3	ALUMINUM COMPOSITE METAL PANEL - WHITE
4	THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
5	THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
6	GLAZING SPANDREL PANELS - WHITE
7	GLAZING SPANDREL PANELS - CHARCOAL
8	GLAZING SPANDREL PANELS - COPPER
9	THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
10	ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
11	CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
11a	FROSTED GLASS GUARD
11b	PERFORATED METAL PANEL GUARD
12	ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
13	METAL EXTERIOR STAIRS
14	METAL PANELS (SOFFIT) - COPPER
15	FROSTED GLASS PANEL WITH ALUMINUM FRAME
16	SOFFIT - WHITE
17	ART CANVAS SOFFIT



GBLARCHITECTS

THE CAPSTAN



SOUTH ELEVATION

A.202

DP 15-699652

April 28, 2021

PLAN # 6b

MATERIALS LEGEND:

1	BRICK RUNNING BOND - WHITE
2	BRICK RUNNING BOND - CHARCOAL
3	ALUMINUM COMPOSITE METAL PANEL - WHITE
4	THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
5	THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
6	GLAZING SPANDREL PANELS - WHITE
7	GLAZING SPANDREL PANELS - CHARCOAL
8	GLAZING SPANDREL PANELS - COPPER
9	THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
10	ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
11	CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
11a	FROSTED GLASS GUARD
11b	PERFORATED METAL PANEL GUARD
12	ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
13	METAL EXTERIOR STAIRS
14	METAL PANELS (SOFFIT) - COPPER
15	FROSTED GLASS PANEL WITH ALUMINUM FRAME
16	SOFFIT - WHITE
17	ART CANVAS SOFFIT





# NORTH ELEVATION

**VARIANCES:** Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:

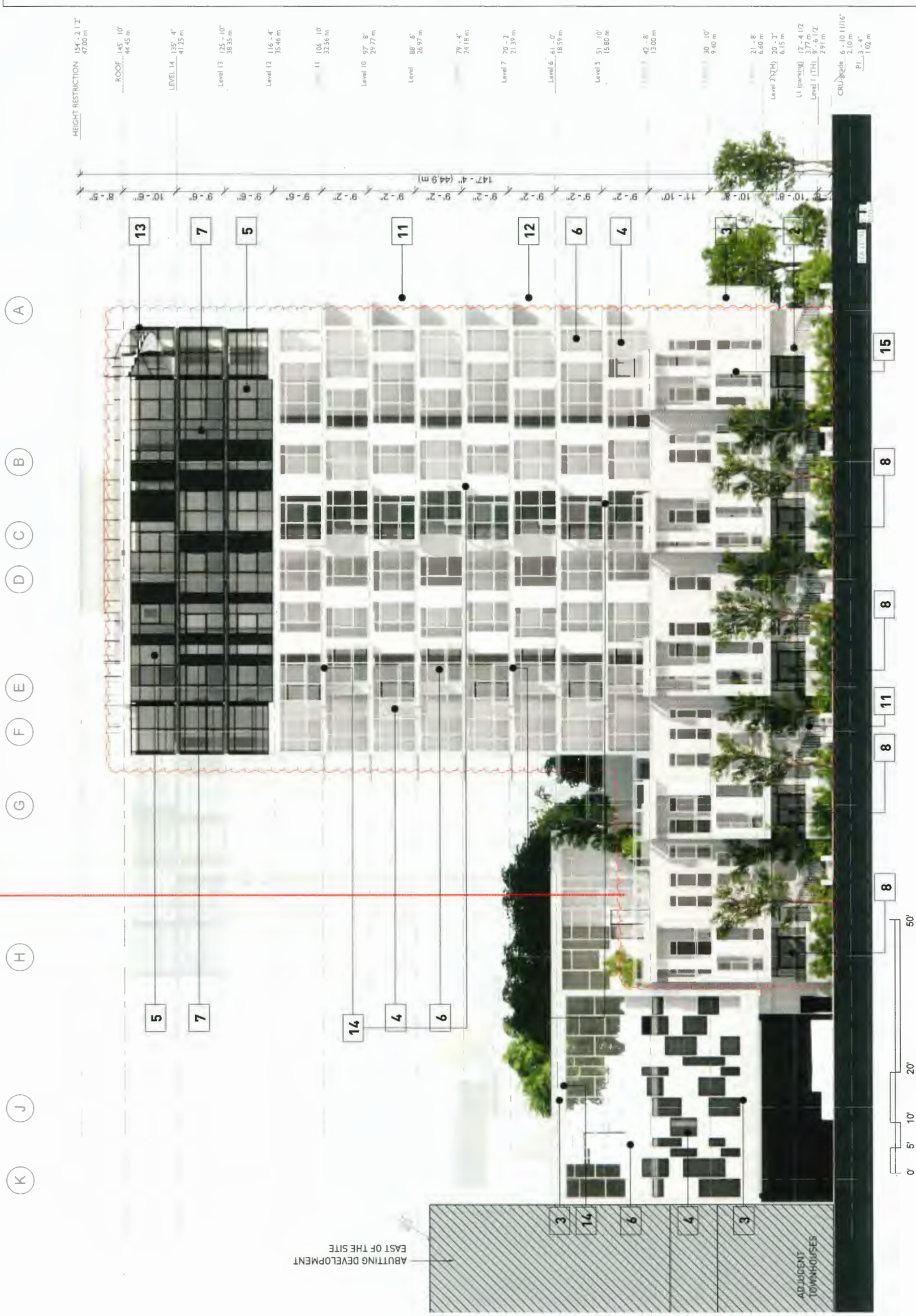
- reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m

**DP 15-699652**  
April 28, 2021  
**PLAN # 6C**

**GBLARCHITECTS**

### MATERIALS LEGEND:

<b>1</b>	BRICK RUNNING BOND - WHITE
<b>2</b>	BRICK RUNNING BOND - CHARCOAL
<b>3</b>	ALUMINUM COMPOSITE METAL PANEL - WHITE
<b>4</b>	THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
<b>5</b>	THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
<b>6</b>	GLAZING SPANDREL PANELS - WHITE
<b>7</b>	GLAZING SPANDREL PANELS - CHARCOAL
<b>8</b>	GLAZING SPANDREL PANELS - COPPER
<b>9</b>	THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
<b>10</b>	ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
<b>11</b>	CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
<b>11a</b>	FROSTED GLASS GUARD
<b>11b</b>	PERFORATED METAL PANEL GUARD
<b>12</b>	ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
<b>13</b>	METAL EXTERIOR STAIRS
<b>14</b>	METAL PANELS (SOFFIT) - COPPER
<b>15</b>	FROSTED GLASS PANEL WITH ALUMINUM FRAME
<b>16</b>	SOFFIT - WHITE
<b>17</b>	ART CANVAS SOFFIT





EAST ELEVATION

A.204

DP 15-699652

April 28, 2021

PLAN # 6d

MATERIALS LEGEND:

1	BRICK RUNNING BOND - WHITE
2	BRICK RUNNING BOND - CHARCOAL
3	ALUMINUM COMPOSITE METAL PANEL - WHITE
4	THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
5	THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
6	GLAZING SPANDREL PANELS - WHITE
7	GLAZING SPANDREL PANELS - CHARCOAL
8	GLAZING SPANDREL PANELS - COPPER
9	THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
10	ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
11	CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
11a	FROSTED GLASS GUARD
11b	PERFORATED METAL PANEL GUARD
12	ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
13	METAL EXTERIOR STAIRS
14	METAL PANELS (SOFFIT) - COPPER
15	FROSTED GLASS PANEL WITH ALUMINUM FRAME
16	SOFFIT - WHITE
17	ART CANVAS SOFFIT



GBL ARCHITECTS

THE CAPSTAN



# TOWER 1 SOUTH ELEVATION

A.205

DP 15-699652

April 28, 2021

PLAN # 6e

## MATERIALS LEGEND:

1	BRICK RUNNING BOND - WHITE
2	BRICK RUNNING BOND - CHARCOAL
3	ALUMINUM COMPOSITE METAL PANEL - WHITE
4	THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
5	THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
6	GLAZING SPANDREL PANELS - WHITE
7	GLAZING SPANDREL PANELS - CHARCOAL
8	GLAZING SPANDREL PANELS - COPPER
9	THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
10	ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
11	CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
11a	FROSTED GLASS GUARD
11b	PERFORATED METAL PANEL GUARD
12	ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
13	METAL EXTERIOR STAIRS
14	METAL PANELS (SOFFIT) - COPPER
15	FROSTED GLASS PANEL WITH ALUMINUM FRAME
16	SOFFIT - WHITE
17	ART CANVAS SOFFIT



GBLARCHITECTS

THE CAPSTAN



TOWER 2 NORTH ELEVATION

A.206

DP 15-699652

April 28, 2021

PLAN # 6f

MATERIALS LEGEND:

1	BRICK RUNNING BOND - WHITE
2	BRICK RUNNING BOND - CHARCOAL
3	ALUMINUM COMPOSITE METAL PANEL - WHITE
4	THERMALLY BROKEN ALUMINUM WINDOW WALL - WHITE MULLIONS, POWDER COATED
5	THERMALLY BROKEN ALUMINUM WINDOW WALL - CHARCOAL MULLIONS, POWDER COATED
6	GLAZING SPANDREL PANELS - WHITE
7	GLAZING SPANDREL PANELS - CHARCOAL
8	GLAZING SPANDREL PANELS - COPPER
9	THERMALLY BROKEN ALUMINUM CURTAIN WALL - CHARCOAL MULLIONS, POWDER COATED
10	ALUMINUM MECHANICAL LOUVER - CHARCOAL, POWDER COATED
11	CLEAR TEMPERED & LAMINATED GLASS GUARDRAIL C/W ALUMINUM POSTS & TOP RAIL - PAINT TO MATCH ADJACENT WINDOW WALL
11a	FROSTED GLASS GUARD
11b	PERFORATED METAL PANEL GUARD
12	ALUMINUM PRIVACY SCREEN - PAINT TO MATCH ADJACENT WINDOW WALL
13	METAL EXTERIOR STAIRS
14	METAL PANELS (SOFFIT) - COPPER
15	FROSTED GLASS PANEL WITH ALUMINUM FRAME
16	SOFFIT - WHITE
17	ART CANVAS SOFFIT



GBL ARCHITECTS

THE CAPSTAN





11 CLEAR TEMPERED & LAMINATED  
GLASS GUARDRAIL C/W ALUMINUM  
POSTS & TOP RAIL - PAINT TO  
MATCH ADJACENT WINDOW WALL

14 METAL PANELS (SOFFIT) - COPPER

8 GLAZING SPANDREL PANELS -  
COPPER



2 BRICK RUNNING BOND - CHARCOAL



1 BRICK RUNNING BOND - WHITE



10 ALUMINUM MECHANICAL LOUVER -  
CHARCOAL, POWDER COATED



5 THERMALLY BROKEN ALUMINUM WINDOW WALL -  
CHARCOAL MULLIONS, POWDER COATED

SOUTH ELEVATION



3 ALUMINUM COMPOSITE METAL PANEL - WHITE



15 FROSTED GLASS PANEL WITH ALUMINUM FRAME



6 GLAZING SPANDREL PANELS - WHITE

7 GLAZING SPANDREL PANELS - CHARCOAL



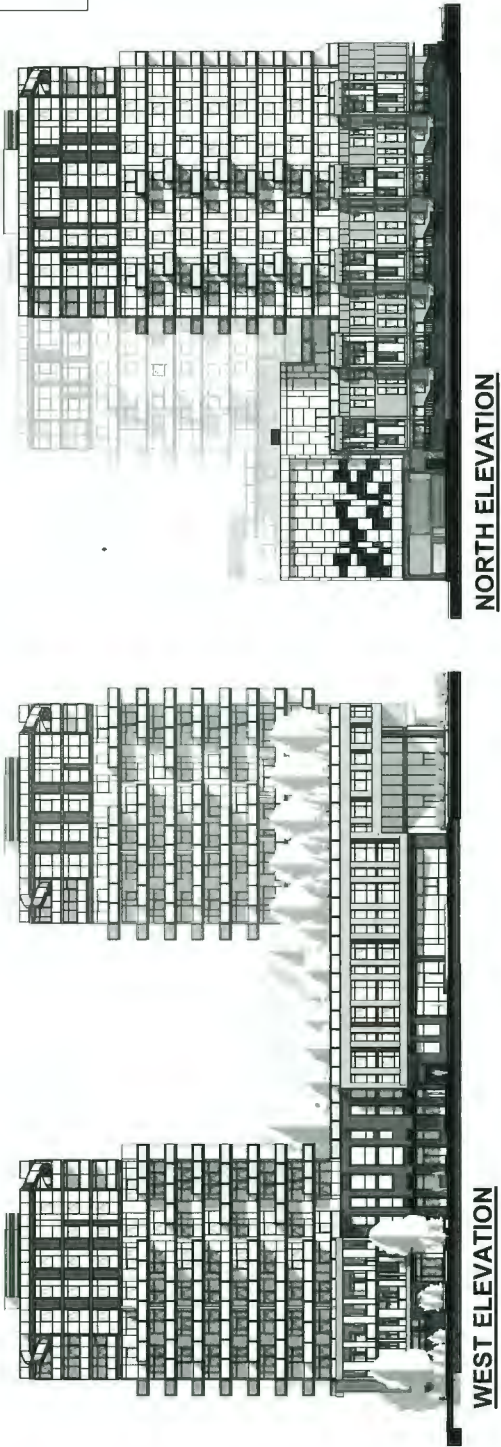
14 METAL PANELS (SOFFIT) - COPPER



# MATERIALS

A.802

DP 15-699652  
April 28, 2021  
PLAN # 7a



11 CLEAR TEMPERED & LAMINATED  
GLASS GUARDRAIL C/W ALUMINUM  
POSTS & TOP RAIL - PAINT TO  
MATCH ADJACENT WINDOW WALL

11a FROSTED GLASS GUARD

5 THERMALLY BROKEN ALUMINUM WINDOW  
WALL - WHITE MULLIONS, POWDER COATED

15 FROSTED GLASS PANEL WITH  
ALUMINUM FRAME

1 BRICK RUNNING BOND - WHITE

18 GLASS CANOPY ON CHARCOAL STEEL FRAME



2 BRICK RUNNING BOND - CHARCOAL

11b PERFORATE METAL PANEL GUARD



3 ALUMINUM COMPOSITE METAL PANEL - WHITE



15 FROSTED GLASS PANEL WITH ALUMINUM FRAME



6 GLAZING SPANDREL PANELS - WHITE



7 GLAZING SPANDREL PANELS - CHARCOAL



14 METAL PANELS (SOFFIT) - COPPER

THE CAPSTAN

GBL ARCHITECTS



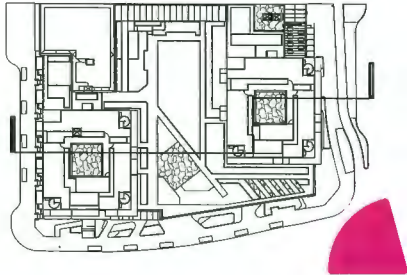
DP 15-699652

April 28, 2021

PLAN # 8a



SOUTH WEST CORNER





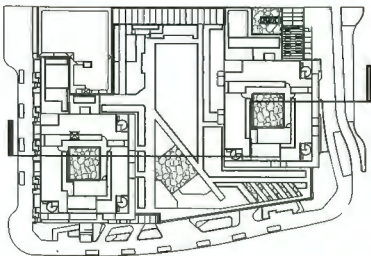
DP 15-699652  
April 28, 2021  
PLAN # 8b



WEST CORNER FROM SOUTH-WEST

THE CAPSTAN

GBL ARCHITECTS





DP 15-699652

April 28, 2021

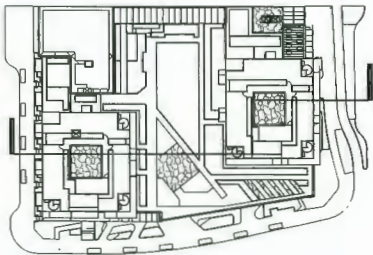
PLAN # 8c



VIEW FROM WEST

THE CAPSTAN

GBL ARCHITECTS





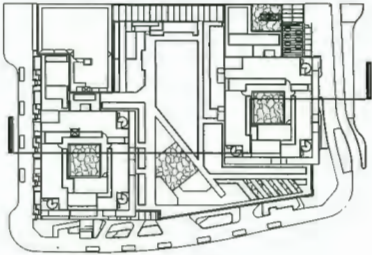
DP 15-699652  
April 28, 2021  
PLAN # 8d



NORTH WEST CORNER

THE CAPSTAN

GBL ARCHITECTS





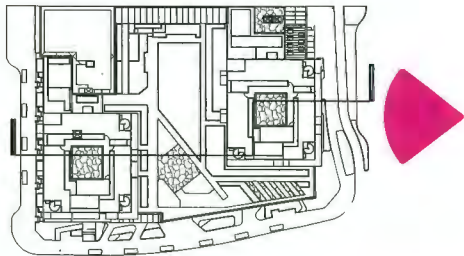
DP 15-699652

April 28, 2021

PLAN # 8e



VIEW FROM SOUTH





# PROJECT SPECIFICS - CORNER PLAZA & PUBLIC ART

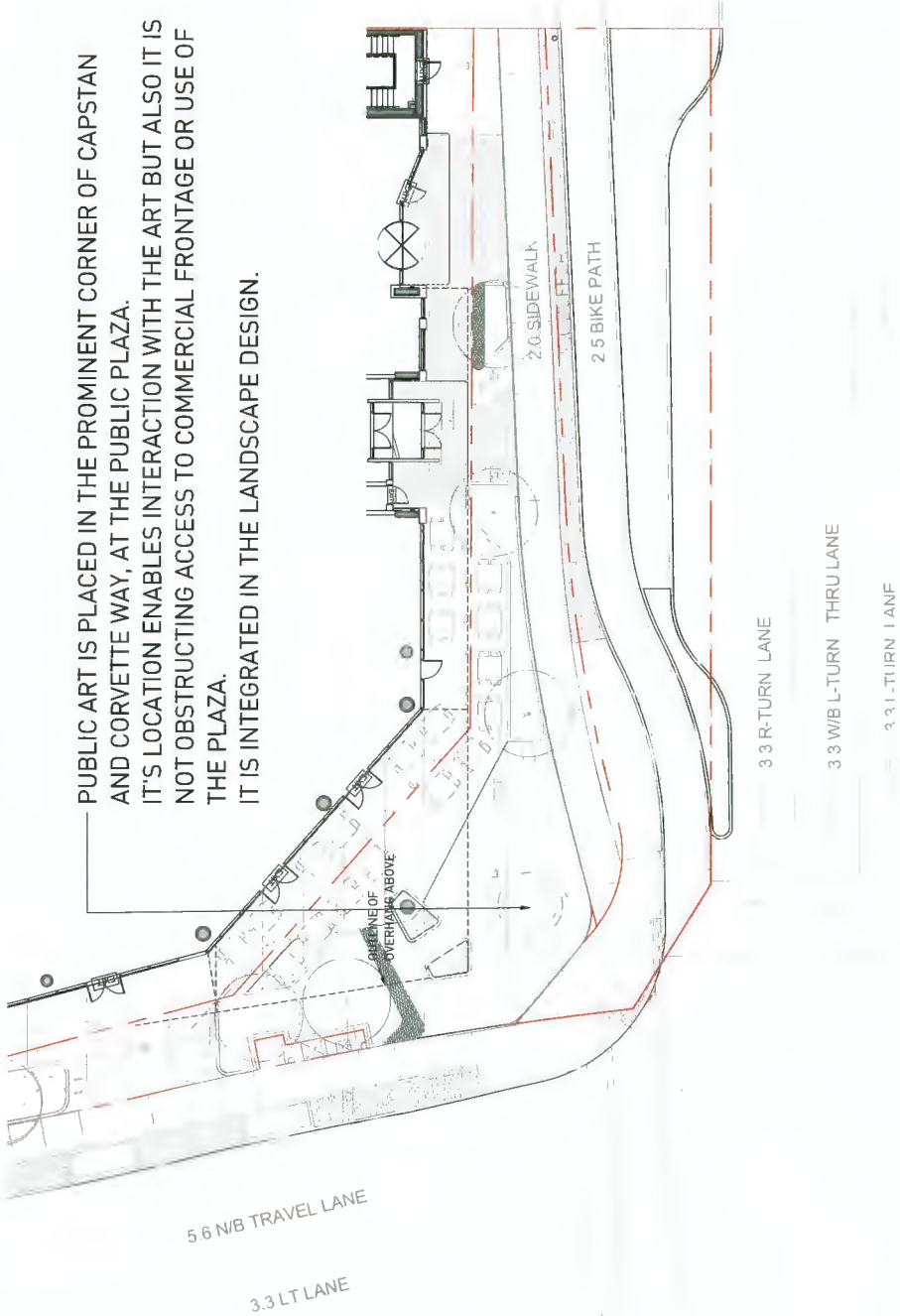
A.406

DP 15-699652

April 28, 2021

PLAN # 9

PUBLIC ART IS PLACED IN THE PROMINENT CORNER OF CAPSTAN AND CORVETTE WAY, AT THE PUBLIC PLAZA. IT'S LOCATION ENABLES INTERACTION WITH THE ART BUT ALSO IT IS NOT OBSTRUCTING ACCESS TO COMMERCIAL FRONTAGE OR USE OF THE PLAZA. IT IS INTEGRATED IN THE LANDSCAPE DESIGN.



THE SOUTH WEST CORNER OF THE SITE FRONTS THE INTERSECTION OF CORVETTE AND CAPSTAN WAY, FORMING THE MOST VISUALLY SIGNIFICANT CONFLUENCE OF THE SITE. TO HELP ENLARGE THE PEDESTRIAN REALM, THE CORNER PODIUM MASSING HAS BEEN CARVED BACK, PRESENTING AN OPPORTUNITY FOR A LARGE UNDERCUT PUBLIC/PRIVATE OUTDOOR SPACE. A SINGULAR COLUMN ANCHORS THE PODIUM MASSING TO THE GROUND, A FOCAL POINT AROUND WHICH THE LANDSCAPING HAS BEEN DESIGNED. THE PUBLIC ART COMPONENT SITS ADJACENT TO THIS COLUMN, COMMUNALLY REINFORCING THE IDENTITY OF THE CORNER AND PROVIDING A VISUAL

THE PODIUM UNDERCUT BY ITS VERY NATURE IS A VISUALLY STRONG MASSING MOVE, SLICING THROUGH THE COMMERCIAL STREET-WALL TO REVEAL A GLAZED CURTAIN WALL FAÇADE THAT EXTENDS UP OVER 20' IN HEIGHT. THE SOFFIT FOR THIS UNDERCUT PRESENTS A 'CEILING' THAT SPANS OVER THE OUTDOOR PLAZA SPACE. THIS CEILING HAS THE OPPORTUNITY TO BECOME A DYNAMIC ELEMENT THAT CHANGES THROUGHOUT THE DAY IN RESPONSE TO A VARIETY OF LIGHTING EFFECTS. THE SOFFIT WILL COMPRISE OF A IMAGE APPLIED TO A CANVAS SCREEN THAT WILL BE BACKLIT DURING THE EVENING HOURS. THE ILLUMINATED ARTWORK WILL PROVIDE A STRONG VISUAL EXPERIENCE FOR THE PEDESTRIAN USERS, AND FROM A FUNCTIONAL STANDPOINT, CONTRIBUTE AS A SOFT AMBIENT LIGHT FOR THE OUTDOOR SPACE.

WHILE THE SOFFIT ARTWORK DOES NOT FORM PART OF THE PUBLIC ART COMPONENT, WE ENVISAGE THAT THIS ART CEILING WILL FORM A SIGNIFICANT PART OF THE GROUND PLANE EXPERIENCE, REFLECTING DOWN ONTO THE FACE OF THE CURTAIN WALL. THE ART MAY BE COMMISSIONED PRIVATELY BY THE CLIENT OR DEVELOPED IN COORDINATION WITH THE CONSULTANT TEAM. WE ARE CONFIDENT THAT THE LANDSCAPED PLAZA, PUBLIC ART COMPONENT, EXTERIOR LIGHTING, BUILDING UNDERCUT, AND ILLUMINATED SOFFIT WILL COLLECTIVELY CONTRIBUTE TO AN ENGAGING STREET CORNER THAT WILL GREATLY ENHANCE THE PEDESTRIAN USER EXPERIENCE.

## THE CAPSTAN

GBL ARCHITECTS





# STREETSCAPE - TOWNHOUSES

A.407

DP 15-699652

April 28, 2021

PLAN # 9a

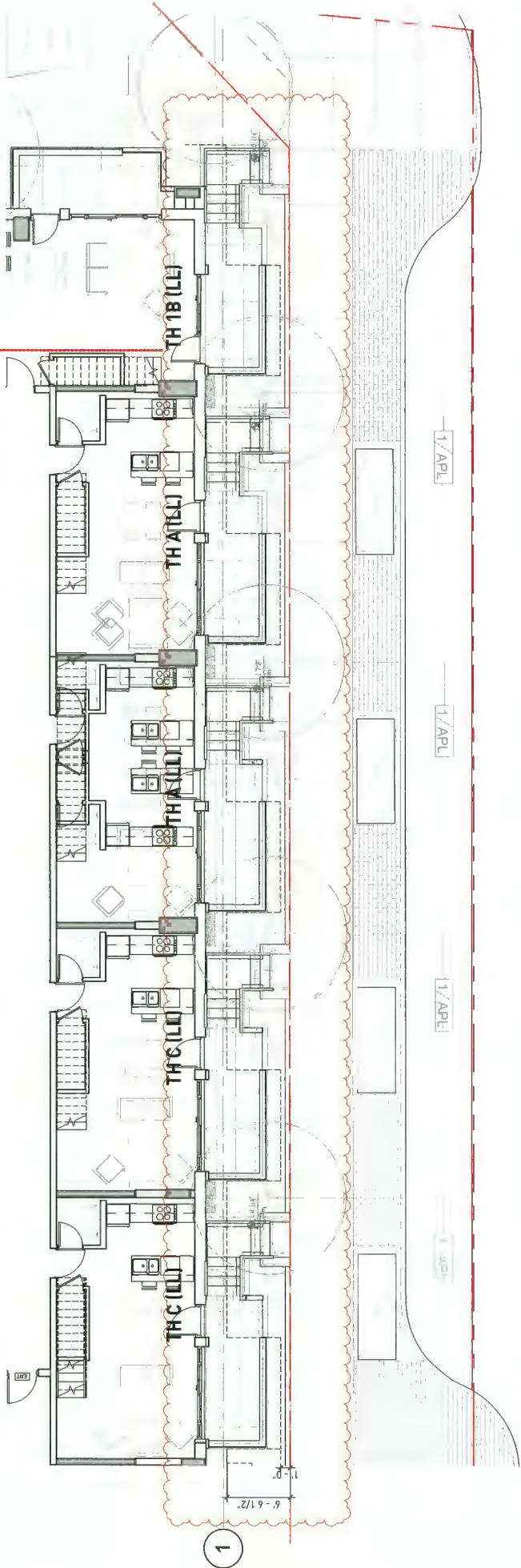


1 STREETSCAPE - TOWNHOUSES  
1/8" = 1'-0"

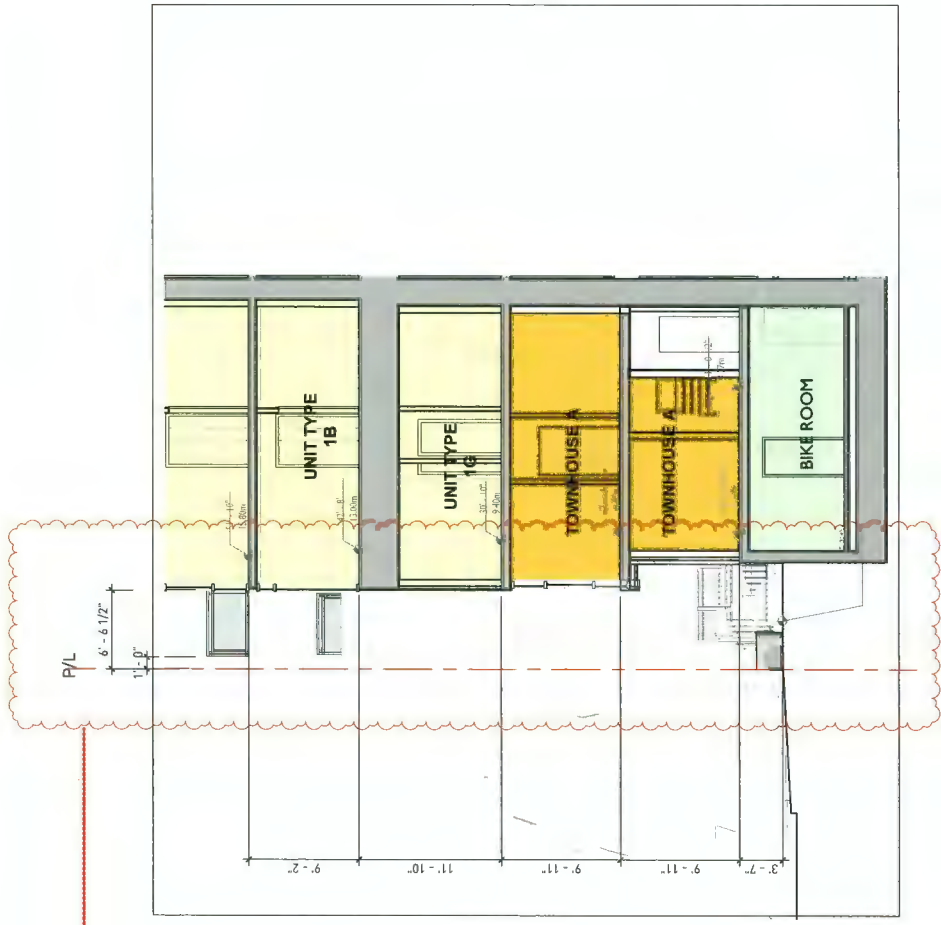


THE CAPSTAN

VARIANCES: Vary the provisions of Richmond Zoning Bylaw 8500, as amended by zoning amendment Bylaw 9677, to:  
-reduce the minimum building setback along the site's north Corvette Way frontage from 3.0 m to 2.0 m and the minimum setback for balcony and porch projections from 2.0 m to 0.3 m



2 LEVEL 1 TOWNHOUSE FRONTAGE  
1/8" = 1'-0"



3 BUILDING SECTION "D"  
1/8" = 1'-0"

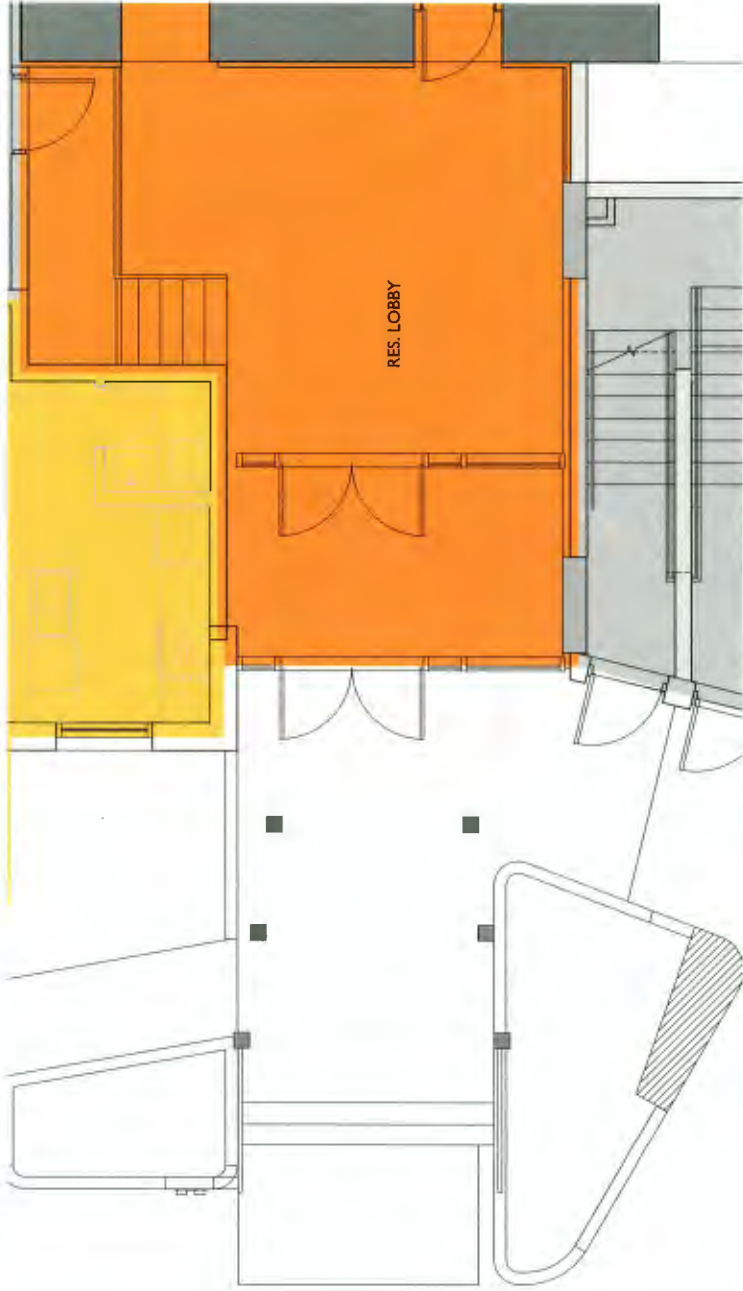
GBL ARCHITECTS



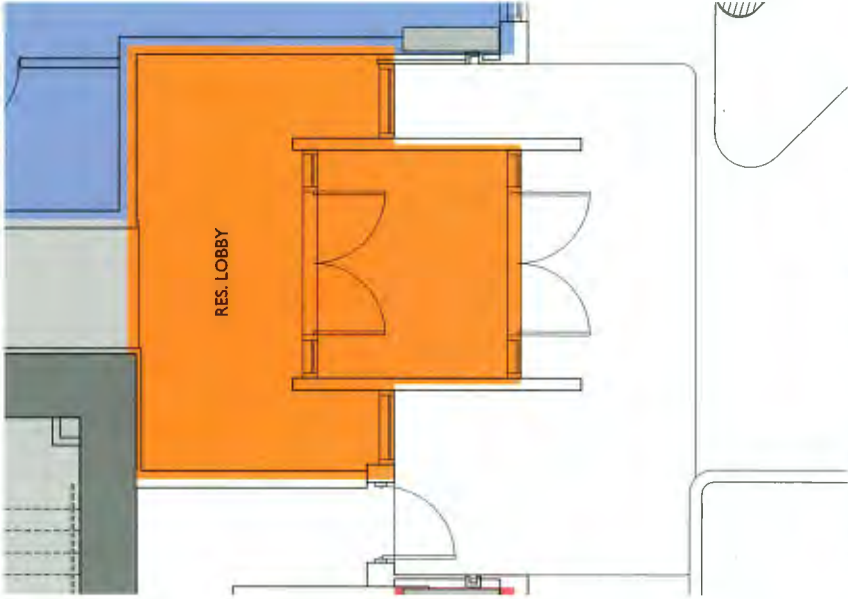
RESIDENTIAL ENTRYWAY FEATURES FREE STANDING COPPER ARCHES WITH ILLUMINATION OF THE PEDESTRIAN PATHWAY LEADING TO THE BUILDING ENTRY. STAIRS HAVE COPPER RAILING, SOLID, PERFORATED, OR WITH CUTOUTS. BUILDING ADDRESS IS ON TOP OF THE ENTRY ARCH.



RESIDENTIAL ENTRANCE TOWER NORTH



DP 15-699652  
April 28, 2021  
PLAN # 9b

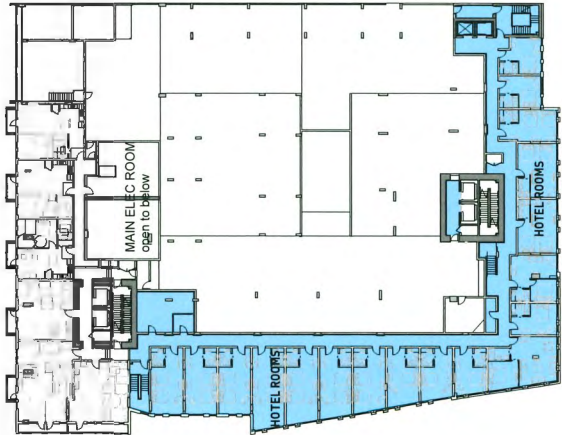


RESIDENTIAL ENTRANCE TOWER SOUTH

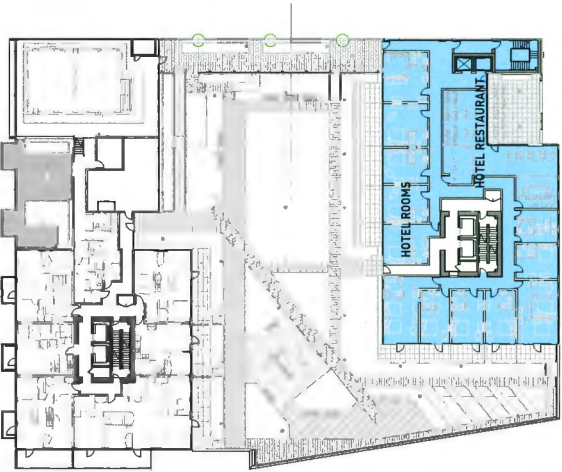
RESIDENTIAL ENTRY IS ACCENTED BY INTRODUCING OF FRAMED VESTIBULE WITH COPPER WALLS AND CEILING, WITH A STRIP OF LIGHTING AT SURROUNDING WALLS AND OVERHANG CEILING. BUILDING ADDRESS IS ON FRAMED VESTIBULE ARCH.



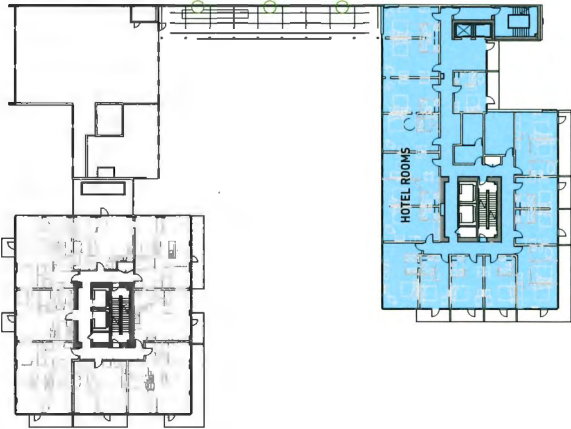




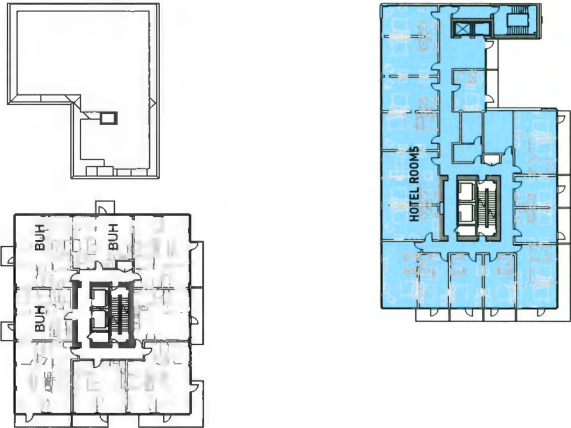
LEVEL 3 HOTEL KEY PLAN



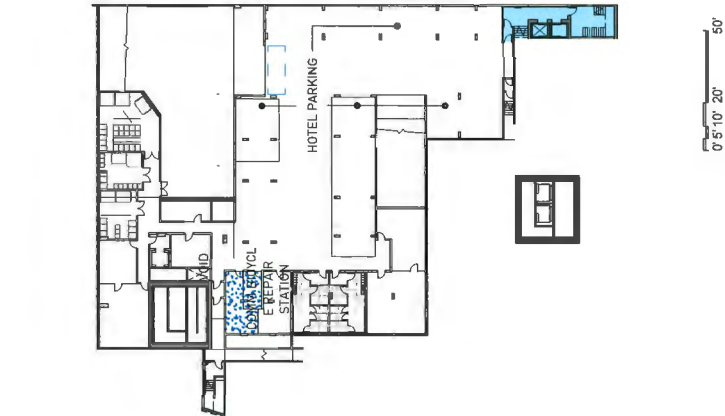
LEVEL 4 HOTEL KEY PLAN



LEVEL 5 HOTEL KEY PLAN



LEVEL 6 HOTEL KEY PLAN



P1 HOTEL KEY PLAN



LEVEL 1 HOTEL KEY PLAN



LEVEL 2 HOTEL KEY PLAN

HOTEL AREAS		
Level	AREA	
P1	666 ft²	
CRU-grade	2,403 ft²	
Level 2	8,031 ft²	
Level 3	9,304 ft²	
Level 4	6,869 ft²	
Level 5	7,426 ft²	
Level 6	7,426 ft²	
TOTAL:	42,123 ft²	

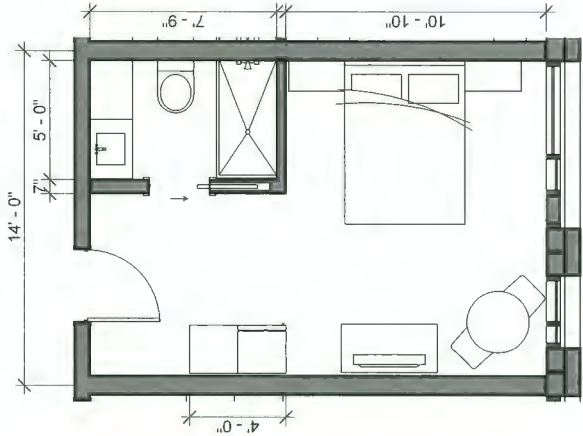
HOTEL - ROOM COUNT		
LEVEL	ROOMS COUNT	
Level 2	13	
Level 3	18	
Level 4	11	
Level 5	15	
Level 6	15	
TOTAL:	72	

HOTEL NOTES:

- GUEST ROOM MEANS A ROOM FOR SLEEPING ACCOMMODATION IN A HOTEL, WHICH ROOM SHALL NOT INCLUDE A KITCHEN, OVEN, COOKTOP, DISHWASHER, OR FULL-SIZE REFRIGERATOR, BUT MAY INCLUDE A MICROWAVE, A COMPACT REFRIGERATOR WITH A MAXIMUM CAPACITY OF 5 CU. FT., AND A SINGLE BOWL BAR-TYPE SINK INSTALLED IN A COUNTER NO LARGER THAN 4 FT WIDE AND 2 FT DEEP. FOR CLARITY, A GUEST ROOM IS NOT A DWELLING UNIT.
- EXCLUSIVE RESIDENTIAL USE: HOTEL GUESTS SHALL NOT HAVE USE OF OR ACCESS TO VIA CONNECTING DOORS OR OTHER MEANS) THE FOLLOWING RESIDENT-ONLY SPACES:
  - CIRCULATION INTENDED FOR THE USE OF RESIDENTS (E.G., CORRIDORS, LOBBIES, CONVENIENCE AND FIRE STAIRS, AND ELEVATORS);
  - OUTDOOR AMENITY SPACE AT THE PODIUM ROOF LEVEL; AND
  - INDOOR AMENITY SPACE (E.G., SWIMMING POOL) ALONG THE NORTH SIDE OF THE PODIUM ROOF LEVEL.
- HOTEL DROP-OFF: PASSENGER DROP-OFF/PICK-UP (E.G., SHUTTLE BUS, TAXI, AND RIDE-SHARE) SHALL BE PERMITTED ON-STREET ALONG THE HOTEL'S CAPSTAN WAY FRONTAGE THROUGH SHARED USE WITH THE PUBLIC OF AN ON-STREET VEHICLE LAY-BY.



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PLAN # 10a



TYPICAL HOTEL ROOM

- THE TYPICAL ROOM INCLUDES:
- 4 FT WIDE AND 2 FT DEEP COUNTER
  - UNDER-COUNTER REFRIGERATOR (MAX CAPACITY OF 5 CU. FT.)
  - A SINGLE BOWL BAR-TYPE SINK
  - MICROWAVE
  - (NO RANGE, NO DISHWASHER & NO FULL-SIZE FRIDGE)



THE CAPSTAN



GBLARCHITECTS

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April 28, 2021

PLAN # 11a

AFFORDABLE HOUSING  
SUMMARY

REQUIRED:  
5% OF RESIDENTIAL FAR = 5,951 SF (552.9 m2)

TOTAL NET UNIT AREA PROVIDED = 6,147.0 SF  
(571.0 m2)

TOTAL UNITS PROVIDED = 9

AFFORDABLE HOUSING					
UNIT NUMBER	LEVEL	UNIT TYPE	BEDROOMS	BHU DESIGN FEATURES	FT²
401	Level 4	3C(a)	UNIT 3C(a)	SEE NOTE *	1,337
404	Level 4	2B(a)	UNIT 2B(a)	SEE NOTE *	749
506	Level 5	2B(a)	UNIT 2B(a)	SEE NOTE *	749
507	Level 5	1C(a)	UNIT 1C(a)	SEE NOTE *	552
607	Level 6	1C(a)	UNIT 1C(a)	SEE NOTE *	552
707	Level 7	1C(a)	UNIT 1C(a)	SEE NOTE *	552
807	Level 8	1C(a)	UNIT 1C(a)	SEE NOTE *	552
907	Level 9	1C(a)	UNIT 1C(a)	SEE NOTE *	552
1007	Level 10	1C(a)	UNIT 1C(a)	SEE NOTE *	552
Grand Total					6,147

\* ALL AFFORDABLE UNITS TO COMPLY  
WITH MINIMUM RICHMOND ZONING BYLAW  
REQUIREMENTS FOR BASIC UNIVERSAL  
HOUSING UNITS (BHU), INCLUDING, AMONG  
OTHER THINGS, THE MINIMUM SIZE OF ALL  
BALCONIES AND FLUSH TRESHOLDS AT  
BALCONY DOORWAYS.

Affordable Housing Habitable unit area  
is measured to the outside face of  
exterior walls and the centre line of  
demising walls separating the unit from  
adjacent dwellings, corridors, and other  
spaces within the building

gbl

EMERGENT ARCHITECTURE

PROJECT NAME

THE CAPSTAN

SHEET NUMBER

BH01 CAPSTAN WAY

REVISIONS

AHU-01

DESCRIPTION

AFFORDABLE HOUSING UNITS SUMMARY

DATE

25/01/2019

SCALE

1:227

DATE

25/01/2019

SCALE

1:227

DATE

25/01/2019

SCALE

1:227

DATE

25/01/2019

SCALE

1:227

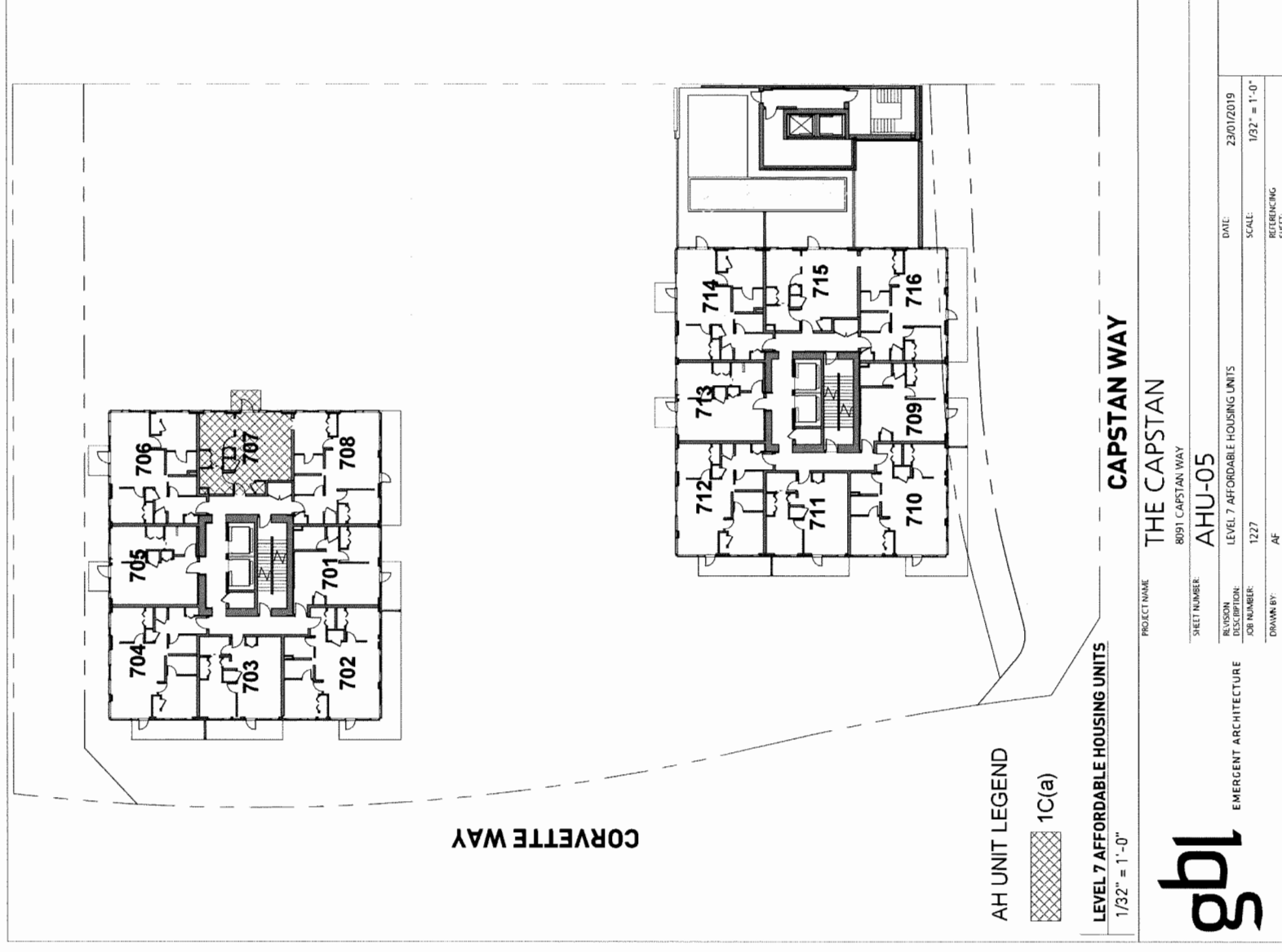
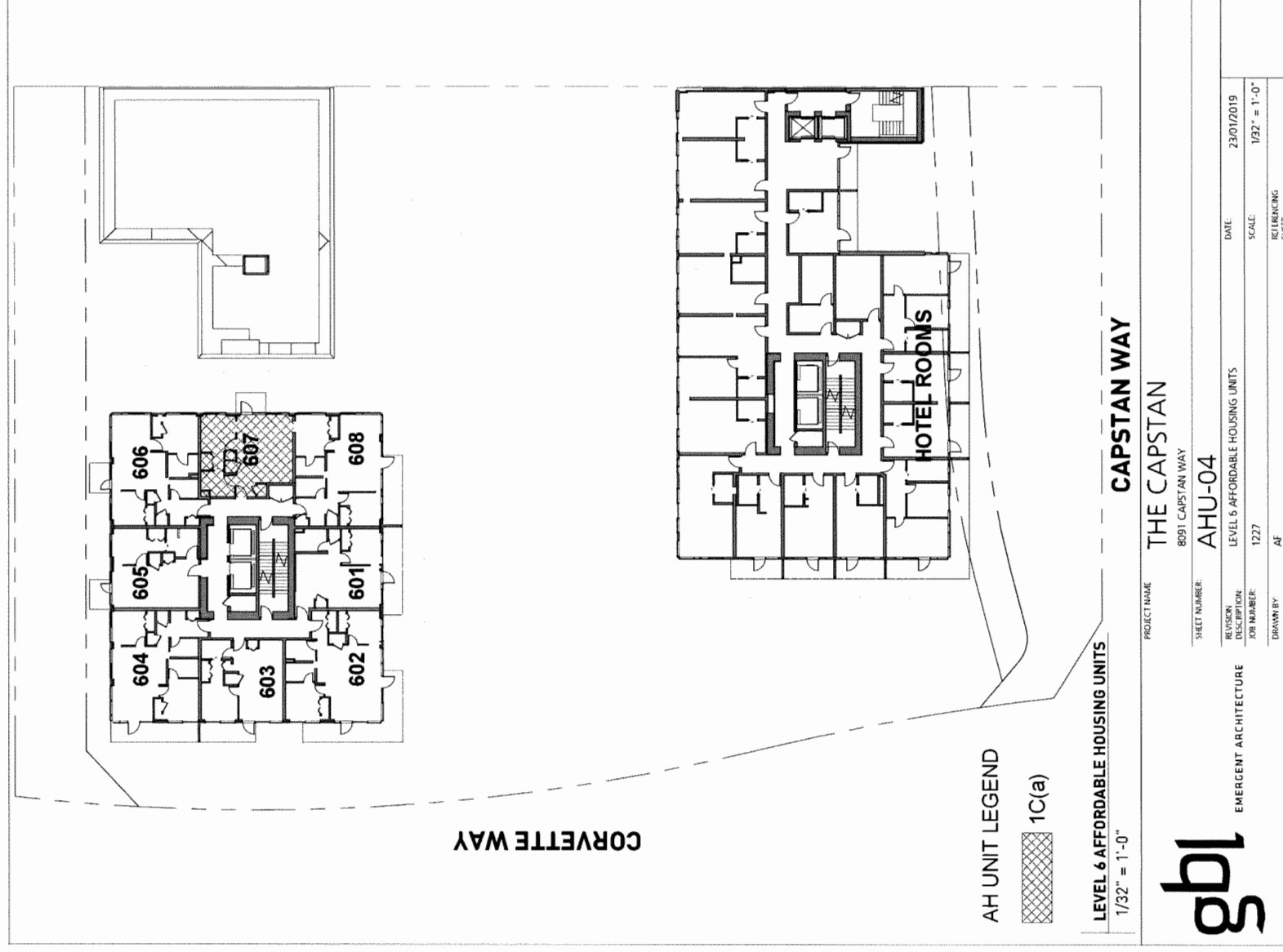




**DP 15-699652**

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**PLAN # 11c**

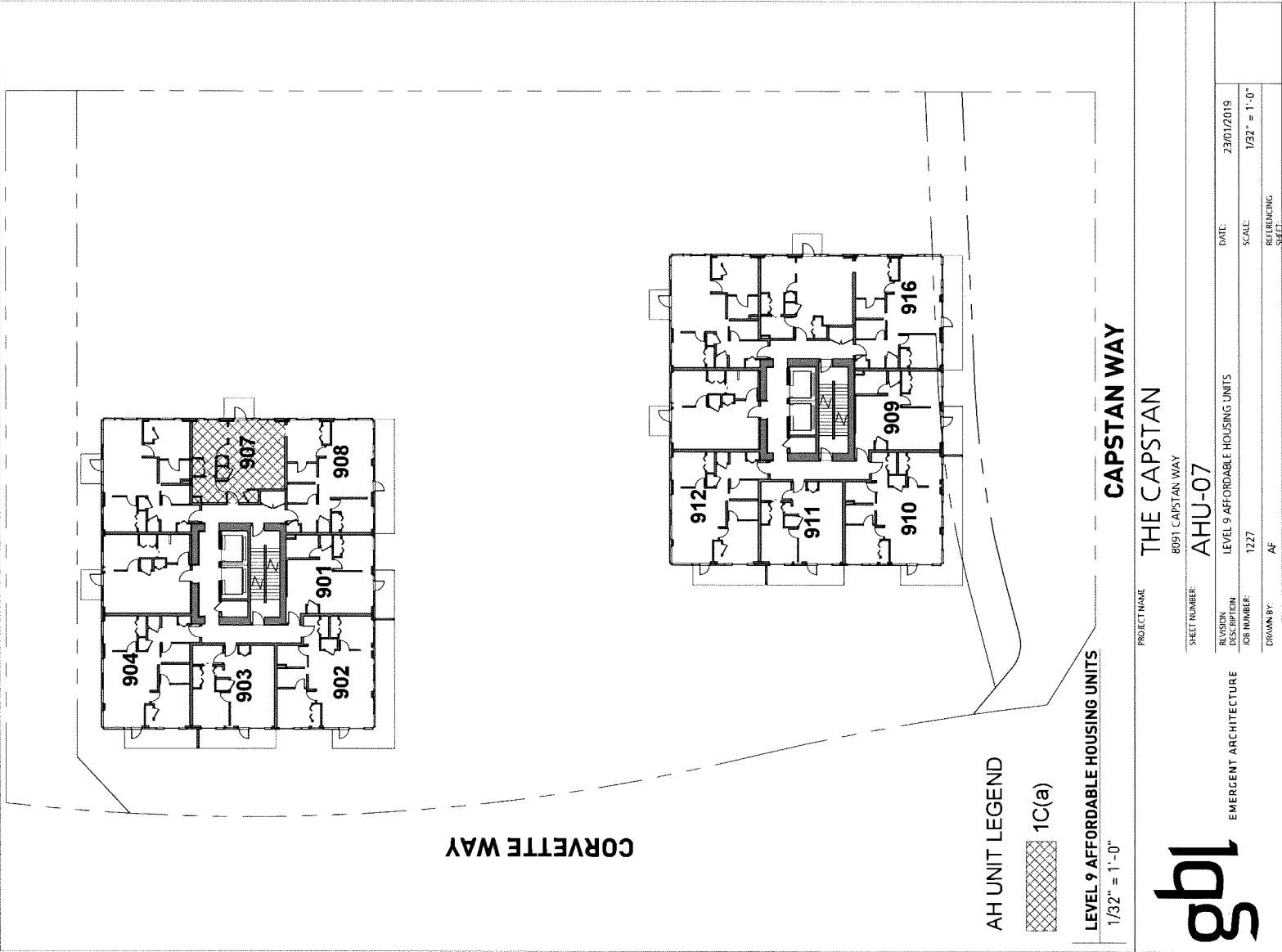
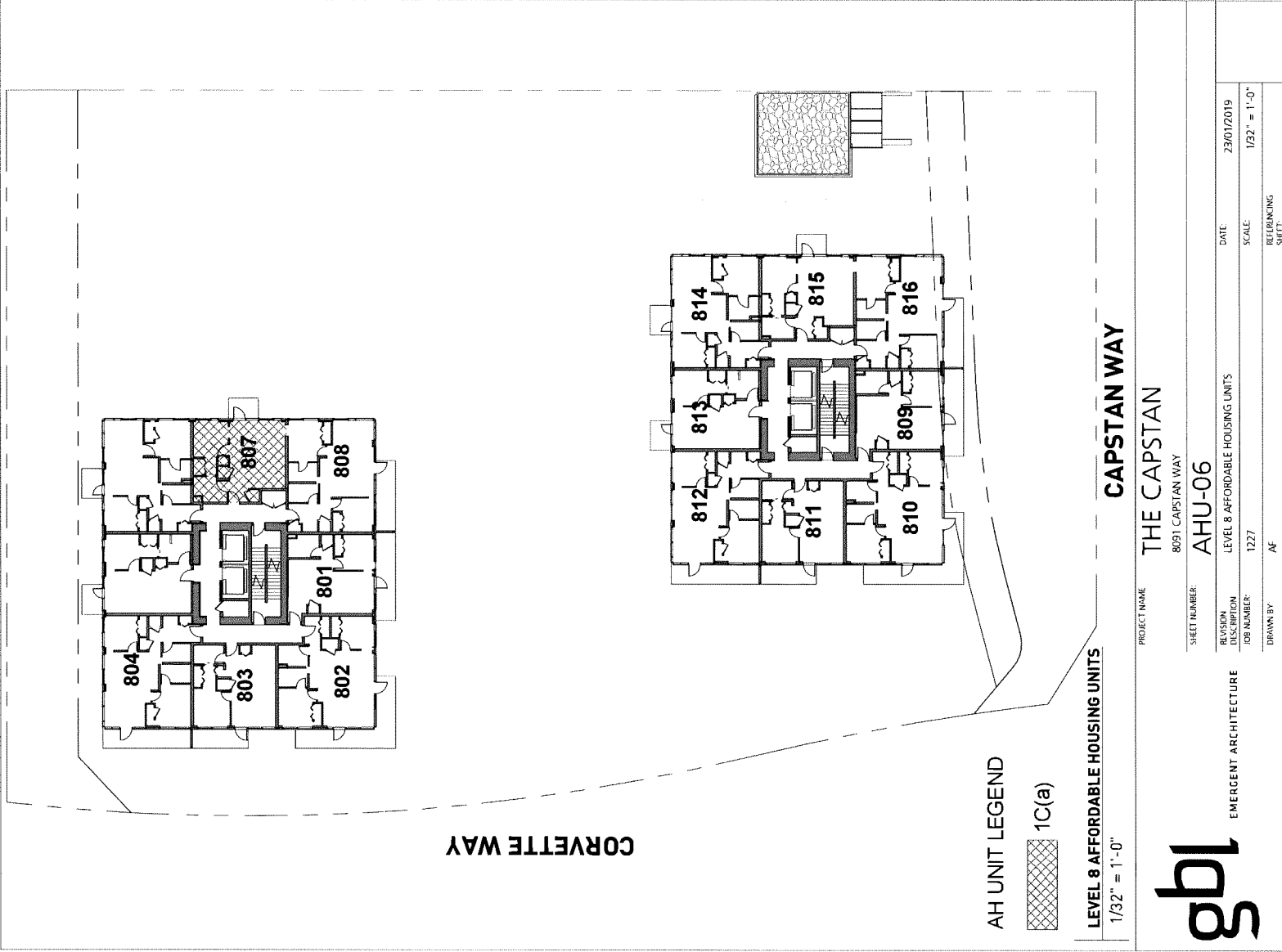




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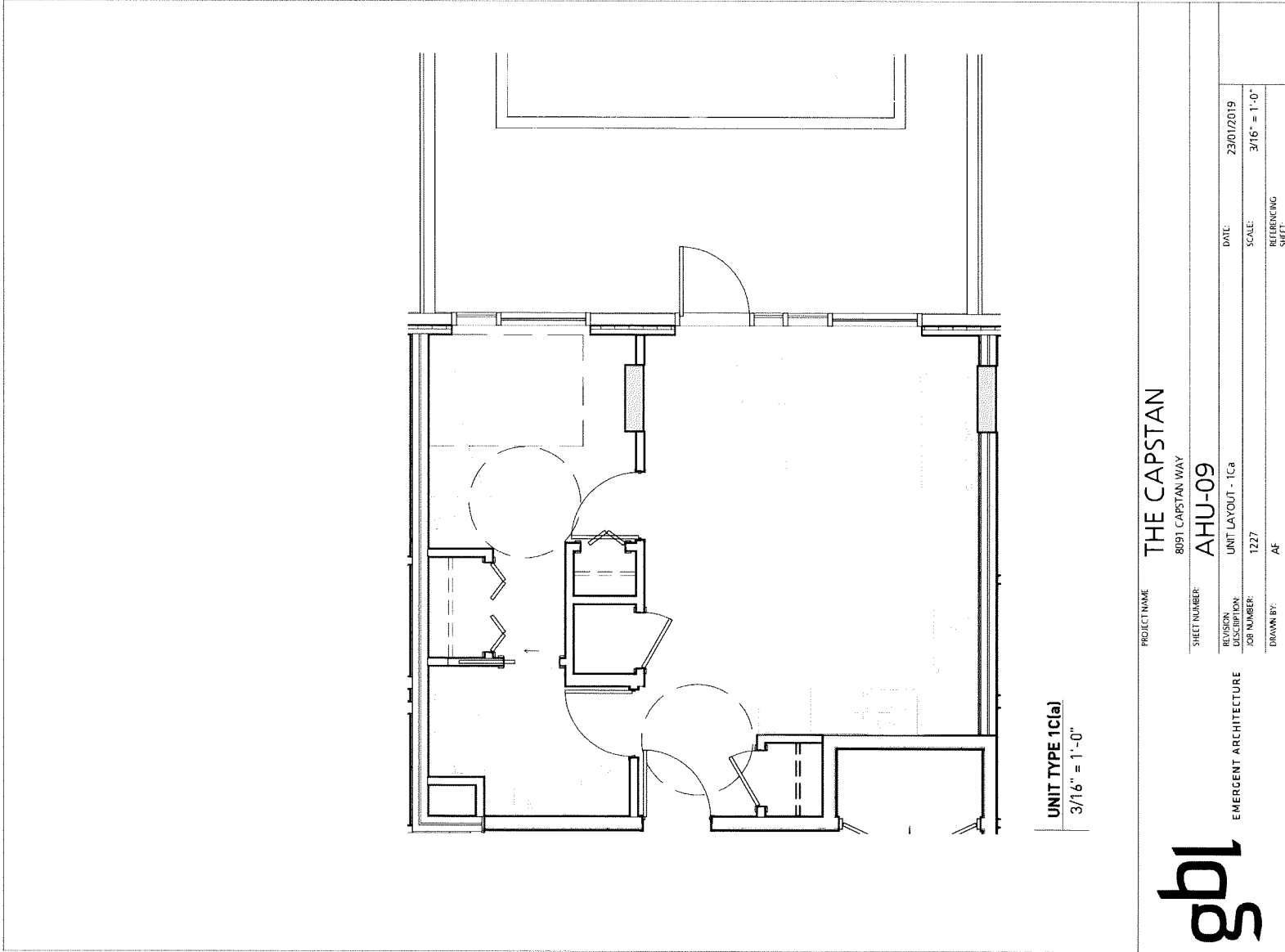
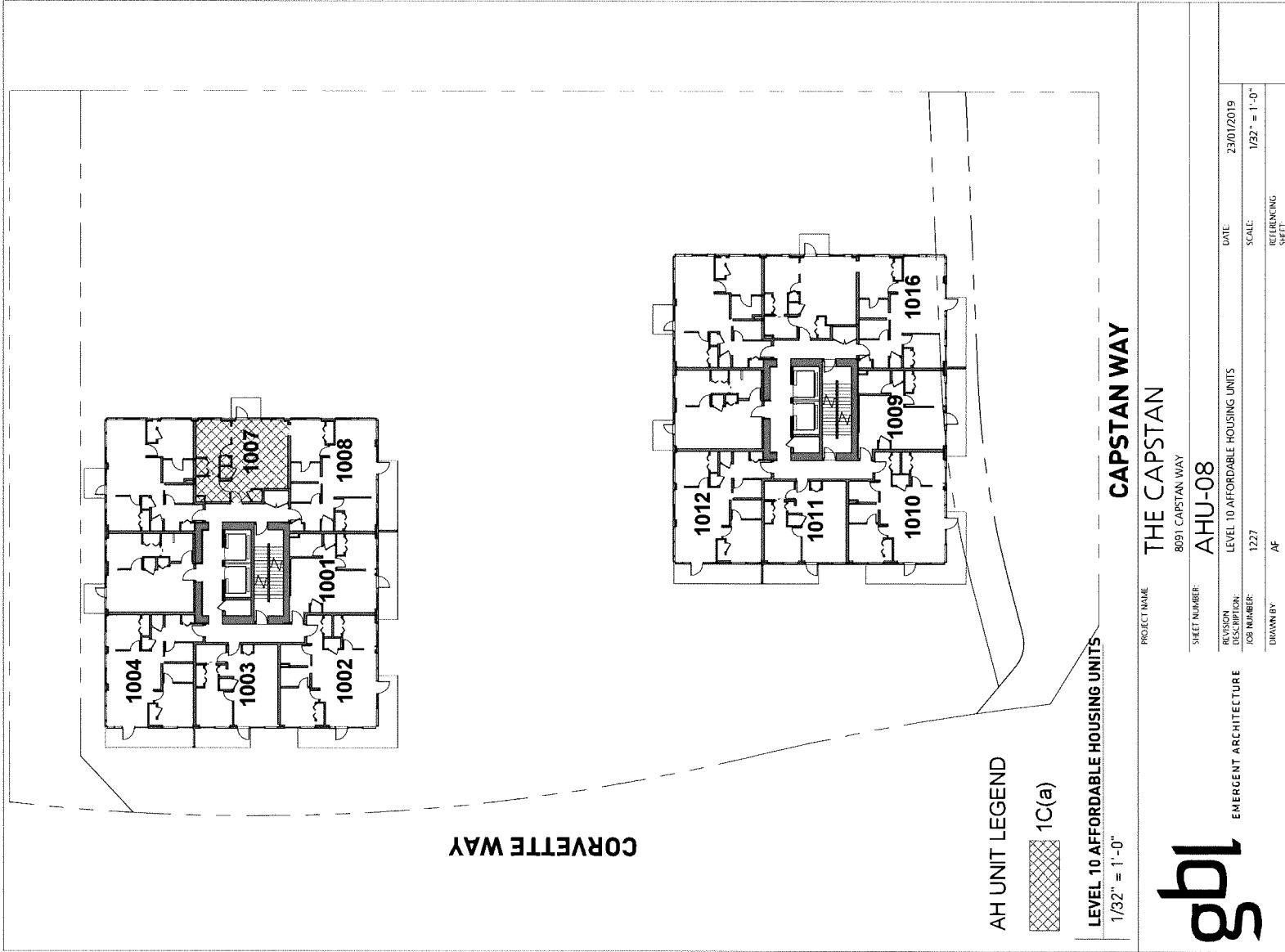
PLAN # 11d



DP 15-699652

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PLAN # 11e



THE CAPSTAN

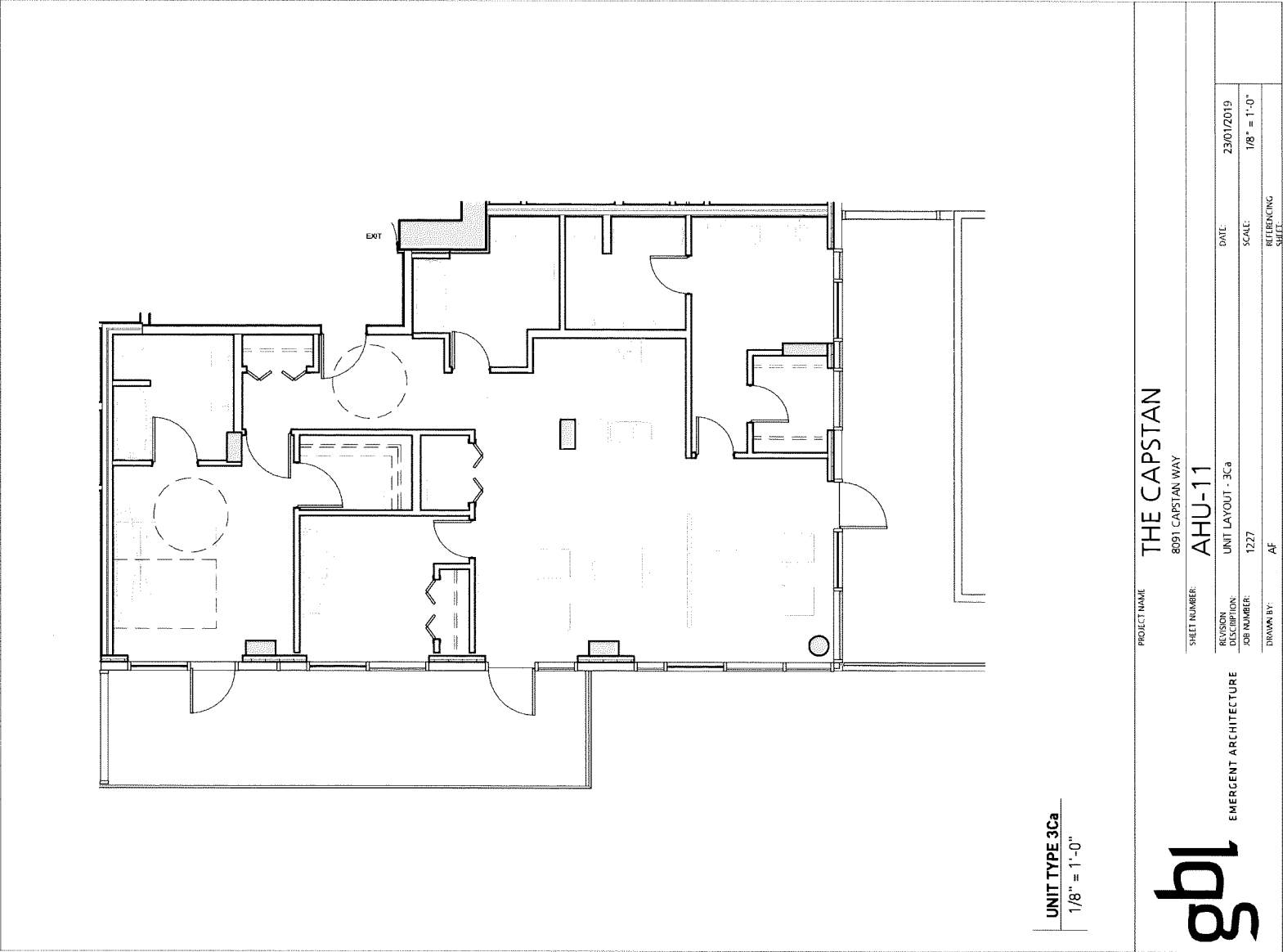
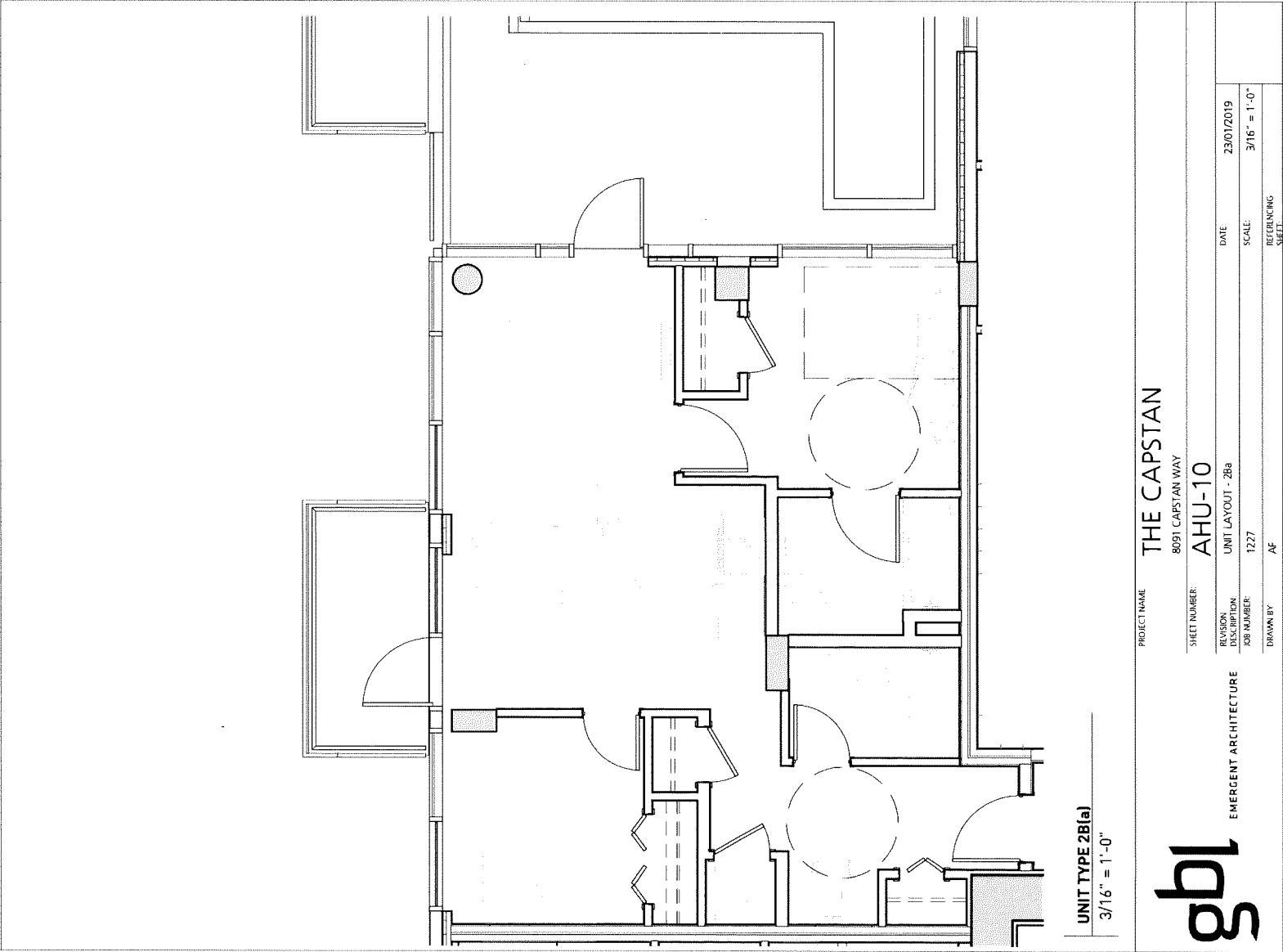
GBL ARCHITECTS



DP 15-699652

April 28, 2021

PLAN # 11f



DP 15-699652

April 28, 2021

PLAN # 12

**Bathrooms**

4.16.23 At least one bathroom shall:

- a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall and a shower pan or tub pan at least 150.0 mm from a side wall, and no obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and [Bylaw 8736, Sep 5/12]
- b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.

**Aging-in-Place:**

- All BUH units shall include aging-in-place features:
- lever handles and blocking in bathroom walls for future grab bar installation

All affordable units are BUH.

Market units complying to BUH guidelines are marked with "BUH" on floor plans.

**Doors and Doorways**

4.16.8 The minimum clear openings for all entry doors to every dwelling unit and doors in common areas shall be no less than 850.0 mm (which will be provided by a swing door). [Bylaw 8736, Sep 5/12]

4.16.9 The minimum clear opening for the interior doors to at least one bedroom, one accessible bathroom and to common living space in every dwelling unit shall be no less than 800.0 mm (which will be provided by a swing door). [Bylaw 8736, Sep 5/12]

Section 4: General Development Regulations 4-10

2/07/66 v3

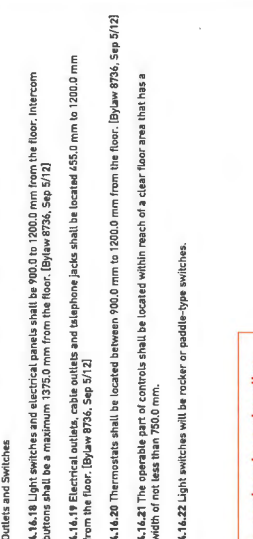
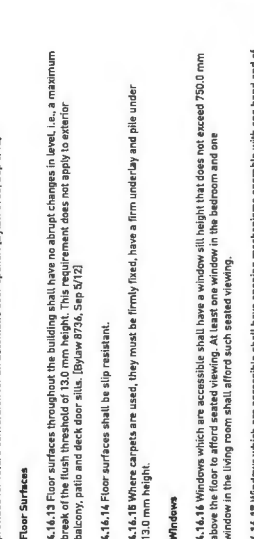
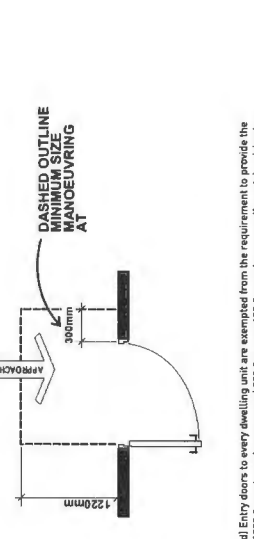
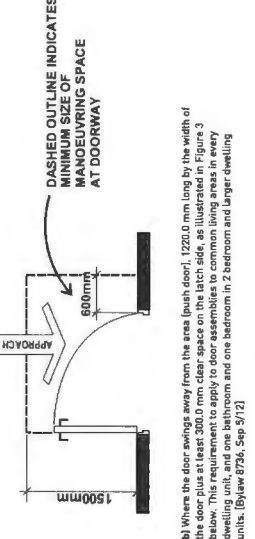
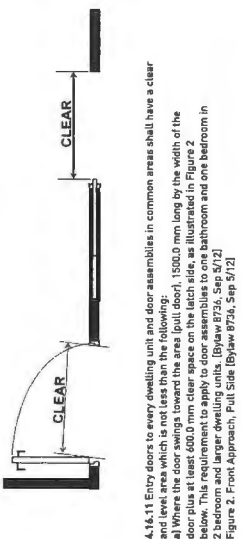
4.16.7 Doors in every dwelling unit and common areas shall be operable by devices that do not require tight grasping or twisting of wrist.

4.16.8 Flush thresholds throughout the building shall be a maximum of 13.0 mm in height.

4.16.9 The above-sited requirements for doors do not apply to mechanical rooms, service areas, closets, etc. where through access is not required and access to a person with a disability is not anticipated.

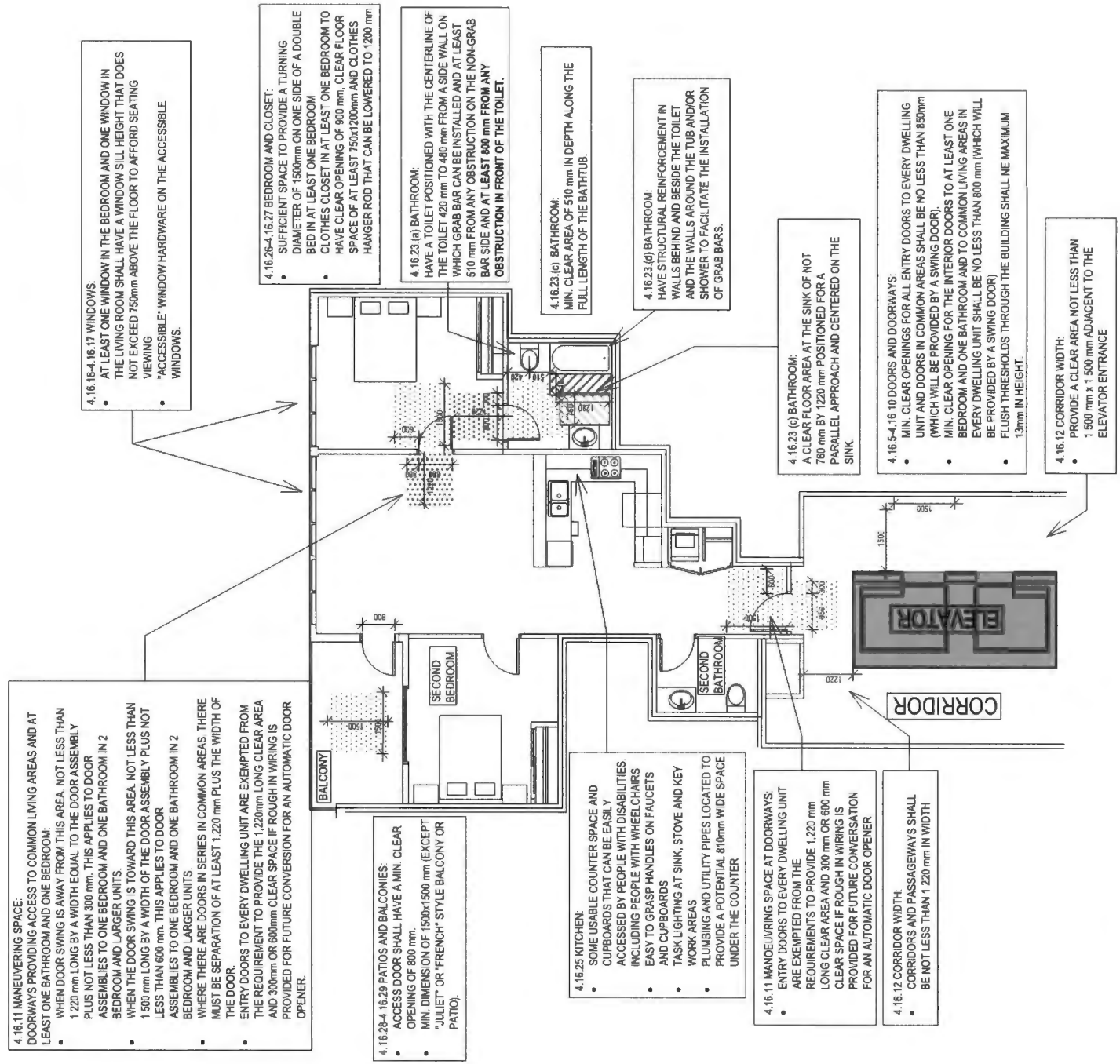
4.16.10 Clear openings shall be measured as illustrated in Figure 1 below.

Figure 1. Clear Opening Measurement For Doors



All BUH units must have aging in place features, such as lever handles and blocking in walls for the future installation of grab bars by others.

# CITY OF RICHMOND ZONING BYLAW BASIC UNIVERSAL HOUSING GUIDELINES



4.16.2-4.13 4. BUILDING ACCESS:

- DWELLING UNITS AND AMENITIES TO BE ACCESSIBLE FROM A ROAD AND PARKING PROVIDED FROM BOTH THE ROAD AND THE ENTRY TO THE ON-SITE PARKING AREA.
- AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FROM THE MAIN ENTRY

4.16.19-4.16.22 OUTLETS AND SWITCHES:

- LIGHT SWITCHES AND ELECTRICAL PANELS SHALL BE 900 TO 1200 mm FROM THE FLOOR.
- INTERCOM BUTTONS SHALL BE MAX 1375 mm FROM THE FLOOR.
- ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED 455 TO 1200 mm FROM THE FLOOR.
- THERMOSTAT SHALL BE LOCATED BETWEEN 900 TO 1200 mm FROM THE FLOOR.
- THE OPERABLE PART OF THE CONTROLS SHALL BE LOCATED WITHIN REACH OF A CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750mm
- ROCKER OR PADDLE-TYPE LIGHT SWITCHES.

4.16.13-4.16.15 FLOOR SURFACES:

- FLOOR SURFACES THROUGHOUT THE BUILDING, EXCEPT EXTERIOR BALCONY, PATIO AND DECK DOOR SILLS, SHALL HAVE NO ABRUPT CHANGES IN LEVEL (BREAK OF THE FLUSH THRESHOLD OF 13 mm HEIGHT)
- FLOOR SURFACES SHALL BE SLIP RESISTANT.

4.16.12 CORRIDOR WIDTH:

- PROVIDE A CLEAR AREA NOT LESS THAN 1 500 mm x 1 500 mm ADJACENT TO THE ELEVATOR ENTRANCE

4.16.5-4.16.10 DOORS AND DOORWAYS:

- MIN. CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 850mm (WHICH WILL BE PROVIDED BY A SWING DOOR).
- MIN. CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM AND ONE BATHROOM AND TO COMMON LIVING AREAS IN EVERY DWELLING UNIT SHALL BE NO LESS THAN 800 mm (WHICH WILL BE PROVIDED BY A SWING DOOR)
- FLUSH THRESHOLDS THROUGH THE BUILDING SHALL NE MAXIMUM 13mm IN HEIGHT.

4.16.23 (c) BATHROOM:

A CLEAR FLOOR AREA AT THE SINK OF NOT 760 mm BY 1220 mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK

4.16.23 (d) BATHROOM:

HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALLS AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS.

4.16.23 (c) BATHROOM:

MIN. CLEAR AREA OF 510 mm IN DEPTH ALONG THE FULL LENGTH OF THE BATHTUB.

4.16.23 (a) BATHROOM:

HAVE A TOILET POSITIONED WITH THE CENTERLINE OF THE TOILET 420 mm TO 480 mm FROM A SIDE WALL ON WHICH GRAB BAR CAN BE INSTALLED AND AT LEAST 510 mm FROM ANY OBSTRUCTION ON THE NON-GRAB BAR SIDE AND AT LEAST 800 mm FROM ANY OBSTRUCTION IN FRONT OF THE TOILET.

4.16.28-4.16.27 BEDROOM AND CLOSET:

- SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500mm ON ONE SIDE OF A DOUBLE BED IN AT LEAST ONE BEDROOM
- CLOTHES CLOSET IN AT LEAST ONE BEDROOM TO HAVE CLEAR OPENING OF 900 mm. CLEAR FLOOR SPACE OF AT LEAST 750x1200mm AND CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200 mm

4.16.16-4.16.17 WINDOWS:

- AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750mm ABOVE THE FLOOR TO AFFORD SEATING VIEWING
- "ACCESSIBLE" WINDOW HARDWARE ON THE ACCESSIBLE WINDOWS.

4.16.11 MANEUVERING SPACE:

DOORWAYS PROVIDING ACCESS TO COMMON LIVING AREAS AND AT LEAST ONE BATHROOM AND ONE BEDROOM:

- WHEN DOOR SWING IS AWAY FROM THIS AREA, NOT LESS THAN 1 220 mm LONG BY A WIDTH EQUAL TO THE DOOR ASSEMBLY PLUS NOT LESS THAN 300 mm. THIS APPLIES TO DOOR ASSEMBLY AND LARGER UNITS.
- WHEN THE DOOR SWING IS TOWARD THIS AREA, NOT LESS THAN 1 500 mm LONG BY A WIDTH OF THE DOOR ASSEMBLY PLUS NOT LESS THAN 600 mm. THIS APPLIES TO DOOR ASSEMBLY AND LARGER UNITS.
- WHERE THERE ARE DOORS IN SERIES IN COMMON AREAS, THERE MUST BE SEPARATION OF AT LEAST 1 220 mm PLUS THE WIDTH OF THE DOOR.
- ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENT TO PROVIDE THE 1 220mm LONG CLEAR AREA AND 300mm OR 600mm CLEAR SPACE IF ROUGH IN WIRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER.

4.16.28-4.16.29 PATIOS AND BALCONIES:

- ACCESS DOOR SHALL HAVE A MIN. CLEAR OPENING OF 800 mm.
- MIN. DIMENSION OF 1500x1500 mm (EXCEPT "JULIET" OR "FRENCH" STYLE BALCONY OR PATIO).

4.16.25 KITCHEN:

- SOME USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSED BY PEOPLE WITH DISABILITIES, INCLUDING PEOPLE WITH WHEELCHAIRS
- EASY TO GRASP HANDLES ON FAUCETS AND CUPBOARDS
- TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS
- PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE A POTENTIAL 810mm WIDE SPACE UNDER THE COUNTER

4.16.11 MANEUVERING SPACE AT DOORWAYS:

- ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENTS TO PROVIDE 1 220 mm LONG CLEAR AREA AND 300 mm OR 600 mm CLEAR SPACE IF ROUGH IN WIRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER

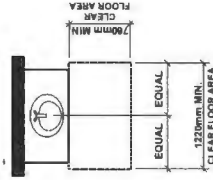
4.16.12 CORRIDOR WIDTH:

- CORRIDORS AND PASSAGEWAYS SHALL BE NOT LESS THAN 1 220 mm IN WIDTH

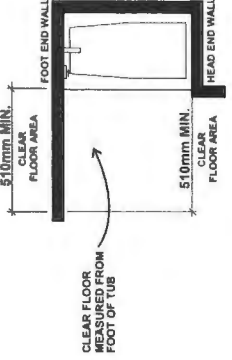
**Bathrooms**

4.16.23 At least one bathroom shall:

- a) have a toilet positioned with the centre line of the toilet 420.0 mm to 480.0 mm from a side wall and a shower pan or tub pan at least 150.0 mm from a side wall, and no obstruction on the non-grab bar side and at least 800.0 mm from any obstruction in front of the toilet; and [Bylaw 8736, Sep 5/12]
- b) have a clear floor area at the sink of 760.0 mm by 1220.0 mm positioned for a parallel approach and centred on the sink, as illustrated in Figure 5 below.



d) have a minimum clear area of 510.0 mm in depth along the full length of the bathtub, as illustrated in Figure 6 below. [Bylaw 8736, Sep 5/12]



d) have structural reinforcement in walls behind and beside the toilet and the walls around the tub and/or shower to facilitate the installation of grab bars, and

e) include easy to grasp handles on faucets, e.g., lever-type faucets.

4.16.24 Where bathrooms are provided to serve a common amenity space, at least one shall be wheelchair accessible as described in the Building Code and the top of the rim of the toilet in that one bathroom shall be 480.0 mm above the floor.

## Kitchens

4.16.25 The kitchen must have:

- a) a continuous counter between the stove and sink; adjustable shelves in all cabinets; pull-out work boards at 810.0 mm height; and pull-out cabinet shelves;
- b) easy to grasp handles on faucets, e.g., lever-type faucets;
- c) task lighting at sink, stove and key work areas; and
- d) plumbing and utility pipes located to provide for a potential 810.0 mm wide under counter workspace so as not to prevent the easy/loose conversion of counter space and sinks to wheelchair accessibility accessible for knee space under the sink and where there is a counter top stove built in.

## Bedroom & Closet

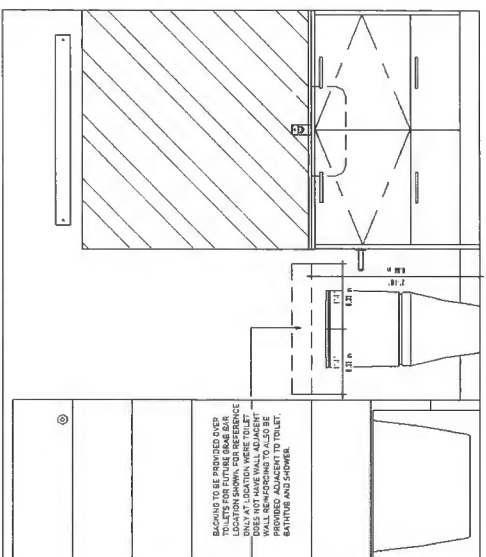
4.16.26 The space around a bed in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear of the bed, and at least 1500.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

4.16.27 The clothes closet in a dwelling unit that consists of a bachelor suite and at least one bedroom in every other dwelling unit shall have a clear opening of at least 900.0 mm, clear of the closet, and at least 1500.0 mm by 1200.0 mm and a clothes hanger rod that can be lowered to 1200.0 mm.

## Patios and Balconies

4.16.28 Access doors shall have a minimum clear opening of 800.0 mm. [Bylaw 8736, Sep 5/12]

4.16.29 Minimum dimensions of any balcony or patio shall be 1500.0 mm by 1500.0 mm. This requirement does not apply to "Juliet" or "French" style of balcony or patio. [Bylaw 8736, Sep 5/12]

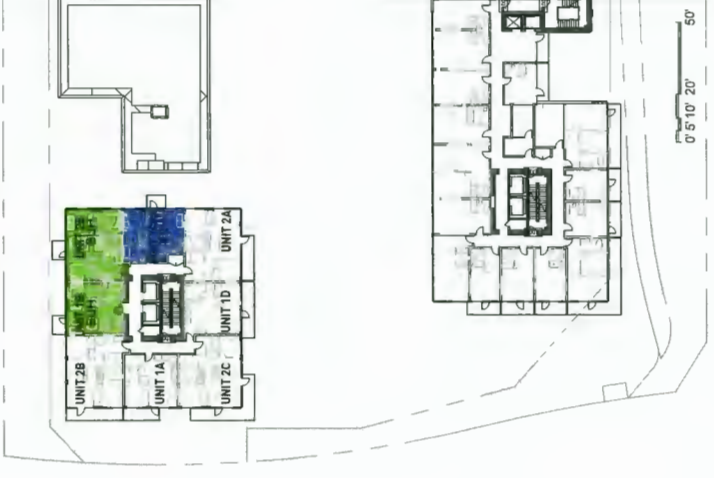
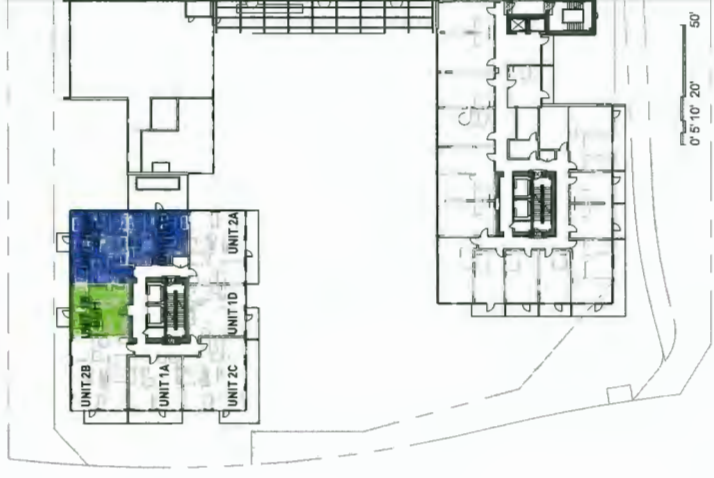


BALCONY TO BE PROVIDED AND LOCATED SHOWN FOR REFERENCE ONLY. THIS SPACE SHALL BE USED FOR FUTURE CONVERSION TO A TOILET, BATHING AND SHOWER.



# AH BUH AND AGING IN PLACE

**DP 15-699652**  
April 28, 2021  
**PLAN # 12a**





## PROJECT SPECIFICS - AMENITIES

A.901

**DP 15-699652**

April 28, 2021

# PLAN # 13

# Fitness

Fully equipped gym with view to outdoor space and indoor pool.



## Locker rooms

M/F locker rooms with accessible design are provided.



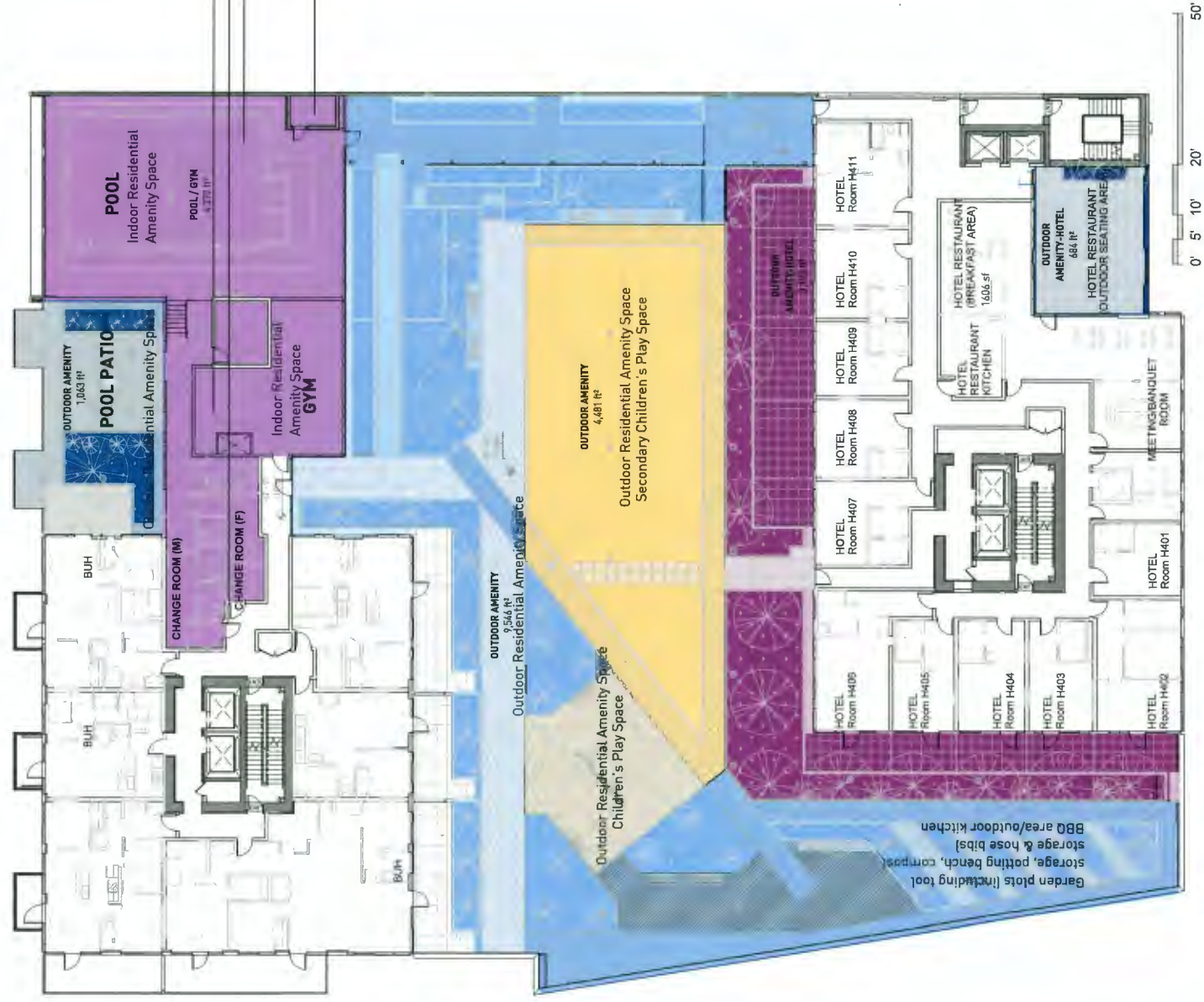
## Indoor swimming pool

With two sides floor-to-ceiling windows, very bright space that overlooks outdoor amenities and the city.

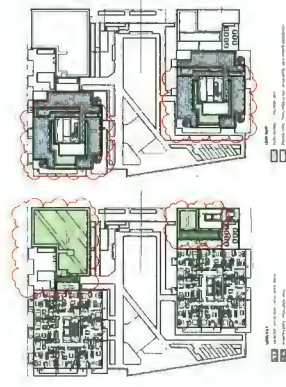


## Sauna

Incorporated within indoor pool area.



AMENITY AREAS CALCULATIONS		
	REQUIRED MINIMUM	PROVIDED
INDOOR	For 40-109 dwellings: 100.0 m <sup>2</sup> (1,076.4 ft <sup>2</sup> )	396.9 m <sup>2</sup> (4,272.0 ft <sup>2</sup> )
OUTDOOR	1,253 m <sup>2</sup> (13,489 ft <sup>2</sup> ), including: -Residential Recreation: 137 units X 6.0 m <sup>2</sup> /unit = 822 m <sup>2</sup> (8,848 ft <sup>2</sup> ) -including at least 90% children's play area -CCAP Additional Landscape: 10% of net site area = 433 m <sup>2</sup> (4,641 ft <sup>2</sup> )	2,358 m <sup>2</sup> (25,384 ft <sup>2</sup> ) including: -Residential Recreation @ podium roof level 4: 1,402.2 m <sup>2</sup> (15,093 ft <sup>2</sup> ) -Includes children play area 416.3 m <sup>2</sup> (4,481 ft <sup>2</sup> ) -Hotel amenity: 338.3 m <sup>2</sup> (3,657 ft <sup>2</sup> ) level 4 -CCAP Additional Landscape: 517 m <sup>2</sup> (5,587.9 ft <sup>2</sup> ) grade level (excluding private patio).
GREEN ROOFS	area = 428m <sup>2</sup> (4,607 ft <sup>2</sup> )	428m <sup>2</sup> (4,607 ft <sup>2</sup> )



## PROPOSED GREEN ROOF LOCATIONS

**GBL**ARCHITECTS

# THE CAPSTAN



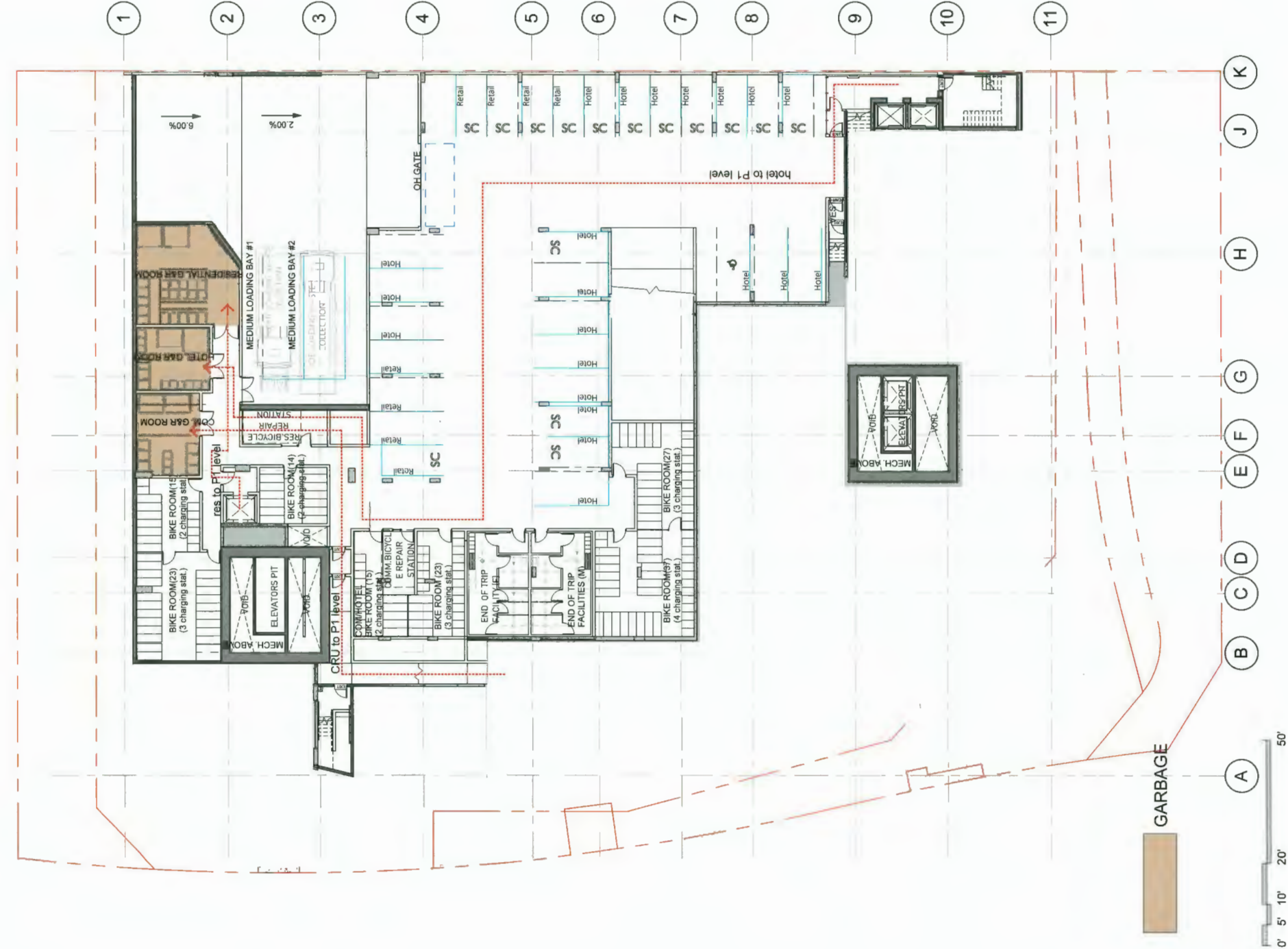
WASTE MANAGEMENT

A.114

DP 15-699652  
April 28, 2021  
PLAN # 14

THE CAPSTAN

GBLARCHITECTS



Hospitality Lodging – 72 rooms

	Number of Bins	Size of Bin	Collection Frequency	
			1x	per Week
Commercial Mixed Containers	1	360L	1x	per Week
Commercial Refundable Beverage Containers	1	240L	1x	per Week
Commercial Mixed Paper (including newspaper)	2	360L	1x	per Week
Commercial Glass	1	240L	1x	per Week
Commercial Food Scraps, and Yard Trimmings	7	240L	1x	per Week
Commercial Cardboard	1	3yd3	1x	per Week
Commercial Garbage	1	4yd3	1x	per Week
Commercial Grease/Tallow	1	18.6L	1x	per Week

Commercial/Retail – 8,703 SF

	Number of Bins	Size of Bin	Collection Frequency	
			1x	per Week
Commercial Mixed Containers	1	360L	1x	per Week
Commercial Mixed Paper	4	360L	1x	per Week
Commercial Corrugated Cardboard	1	3yd3	1x	per Week
Commercial Garbage	1	3yd3	1x	per Week
Commercial Refundable Beverage Containers	1	240L	1x	per Week
Commercial Glass	1	240L	1x	per Week
Commercial Food Scraps, and Yard Trimmings	7	240L	1x	per Week

Apartment/Condominium –

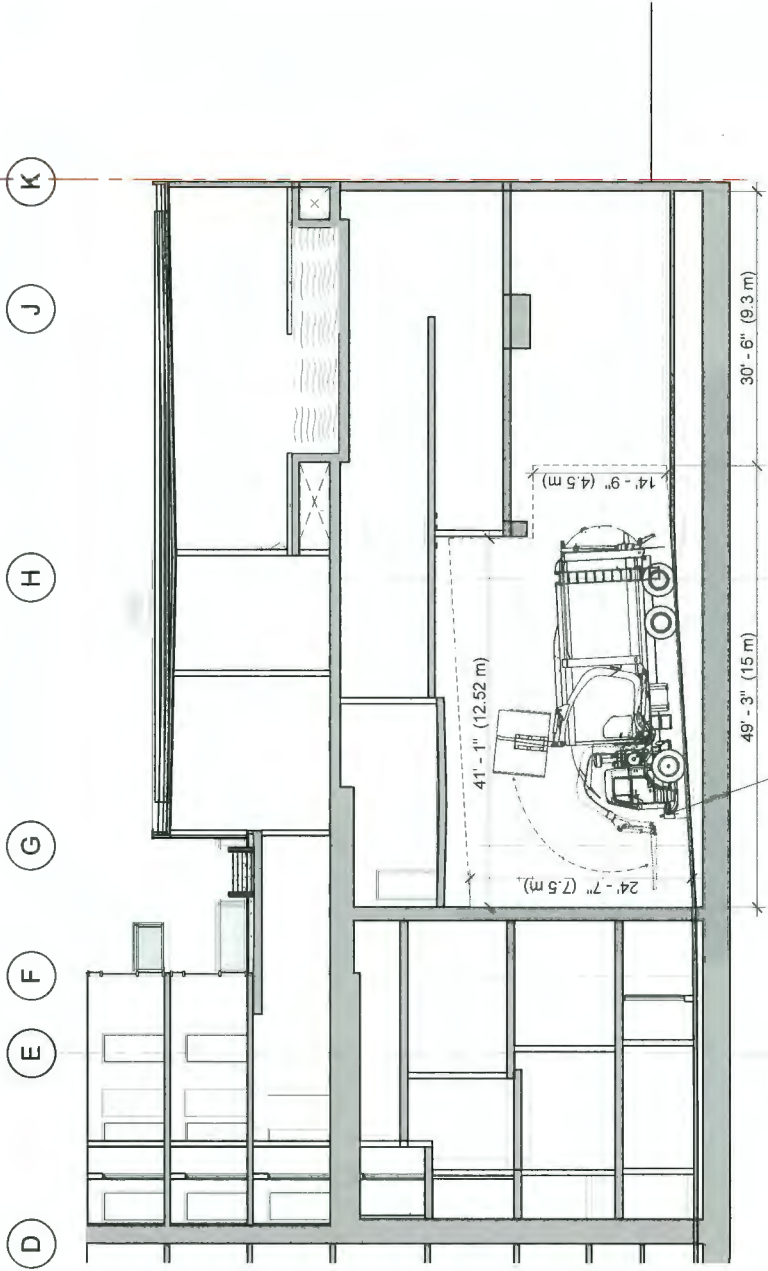
	Number of Bins	Size of Bin	Collection Frequency	
			1x	per Week
Residential Mixed Containers	6	360L	1x	per Week
Residential Refundable Beverage Containers	3	240L	1x	per Week
Residential Mixed Paper	4	360L	1x	per Week
Residential Glass	1	240L	1x	per Week
Residential Food Scraps, and Yard Trimmings	6	240L	1x	per Week
Residential Corrugated Cardboard	1	4yd3	1x	per Week
Residential Garbage	3	8yd3	1x	per Week



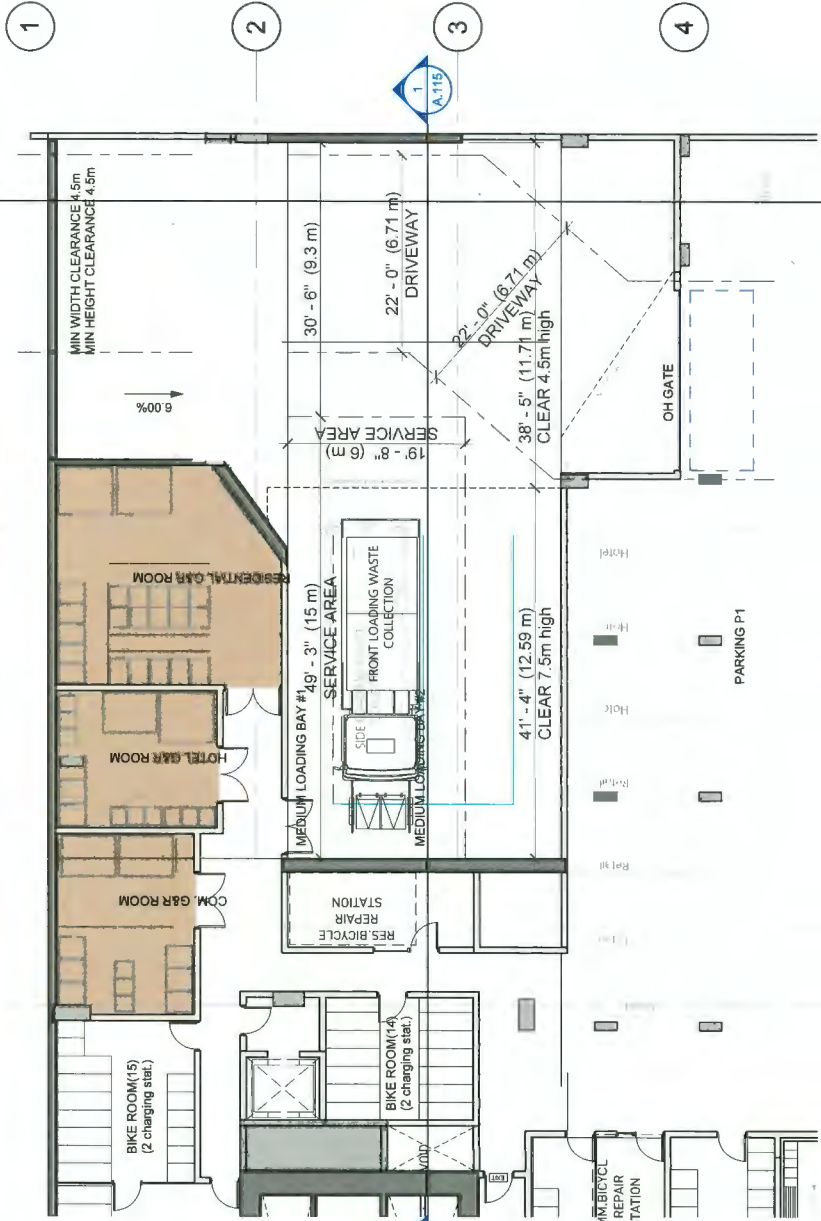
WASTE MANAGEMENT

A.115

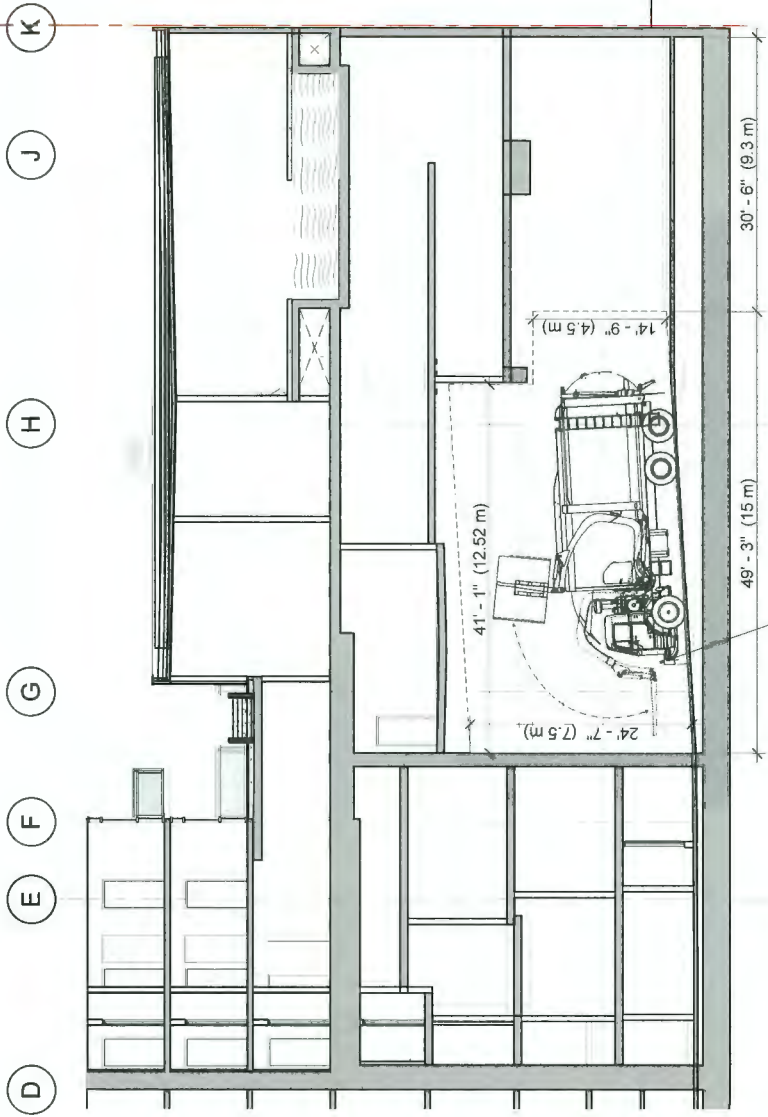
DP 15-699652  
April 28, 2021  
PLAN # 14b



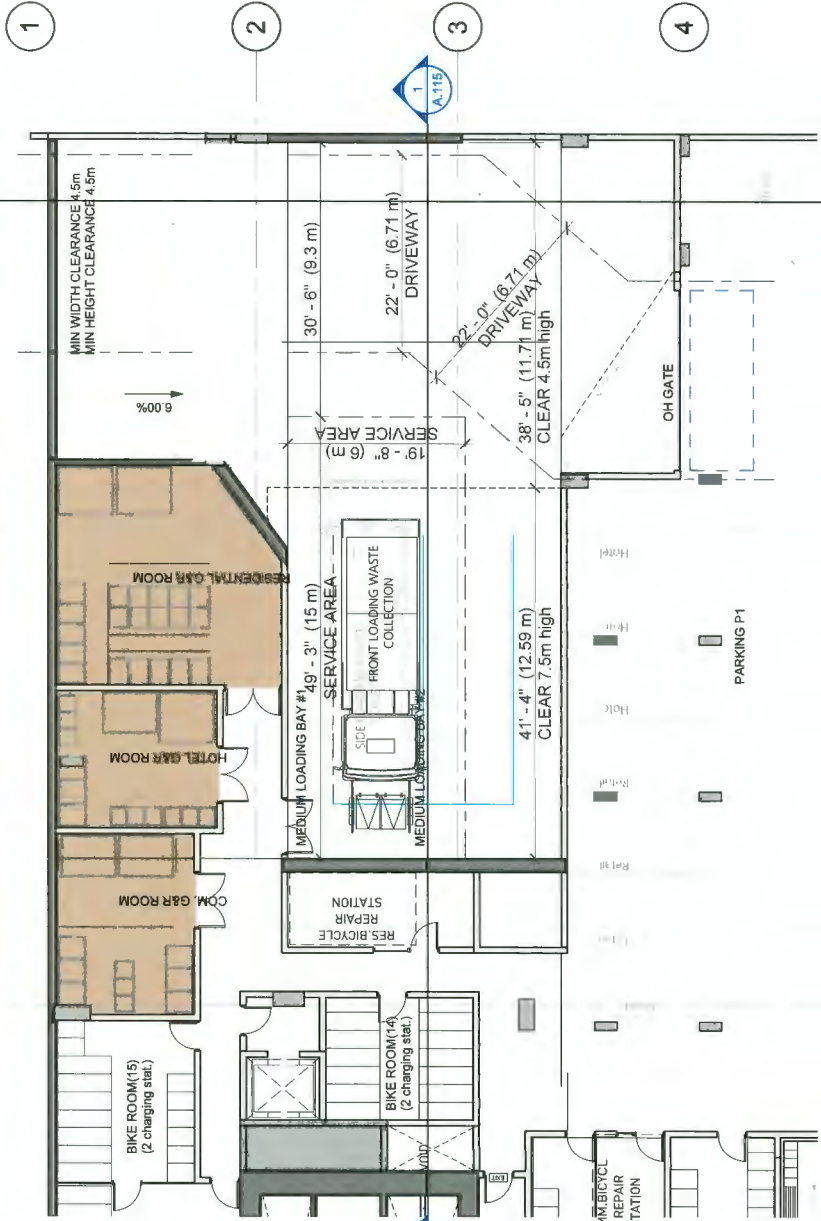
1 BUILDING SECTION "C"  
3/32" = 1'-0"



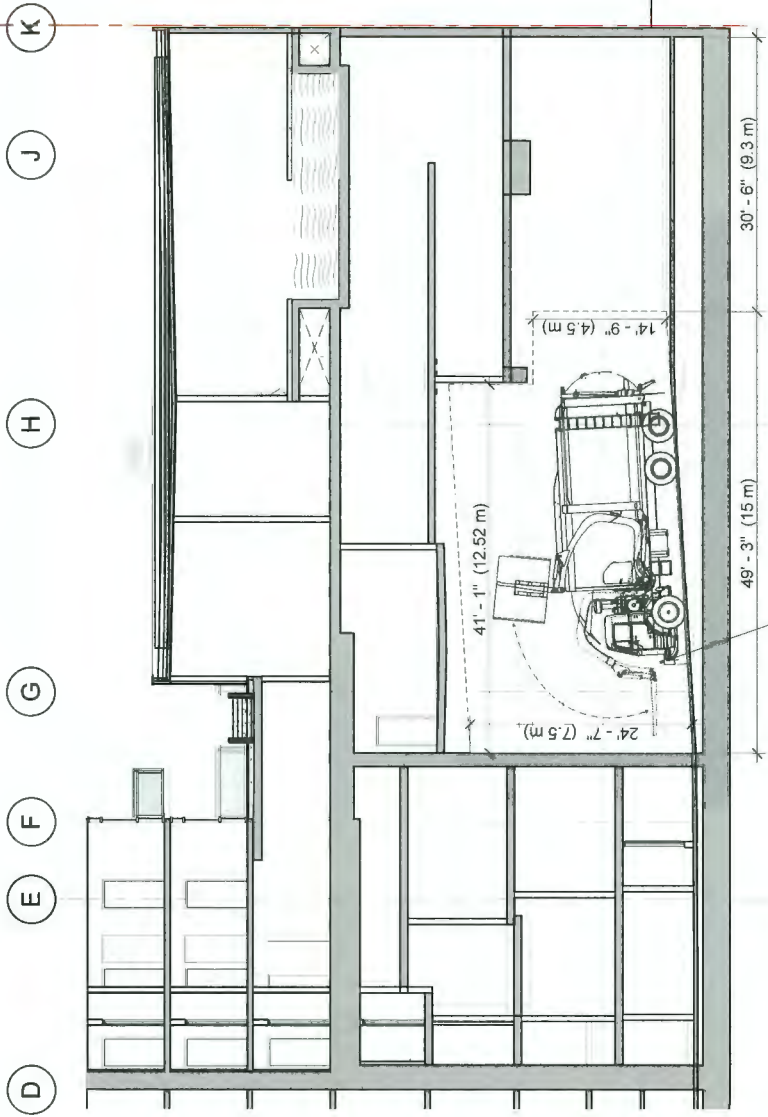
4 P1 - Waste Management  
3/32" = 1'-0"



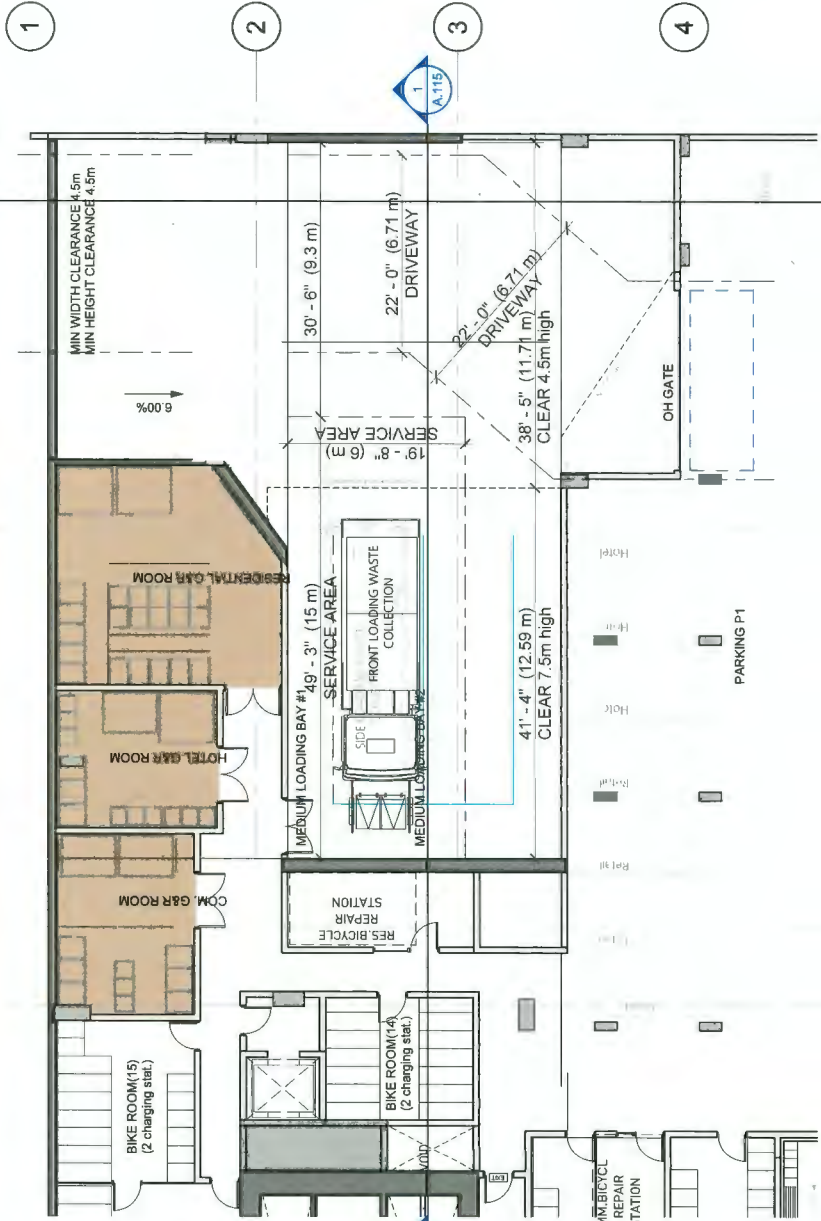
1 BUILDING SECTION "C"  
3/32" = 1'-0"



4 P1 - Waste Management  
3/32" = 1'-0"



1 BUILDING SECTION "C"  
3/32" = 1'-0"



4 P1 - Waste Management  
3/32" = 1'-0"

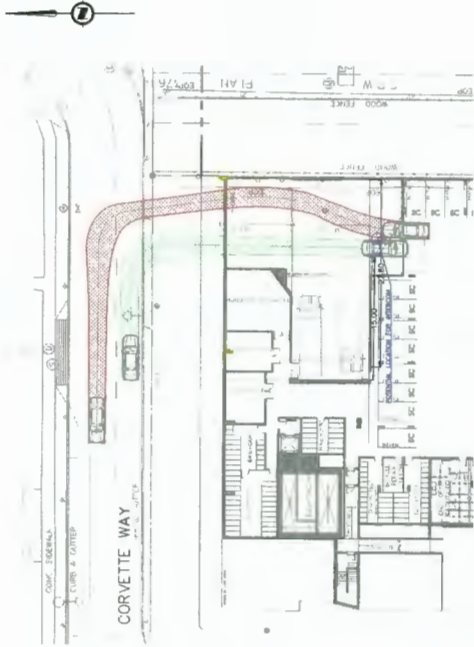
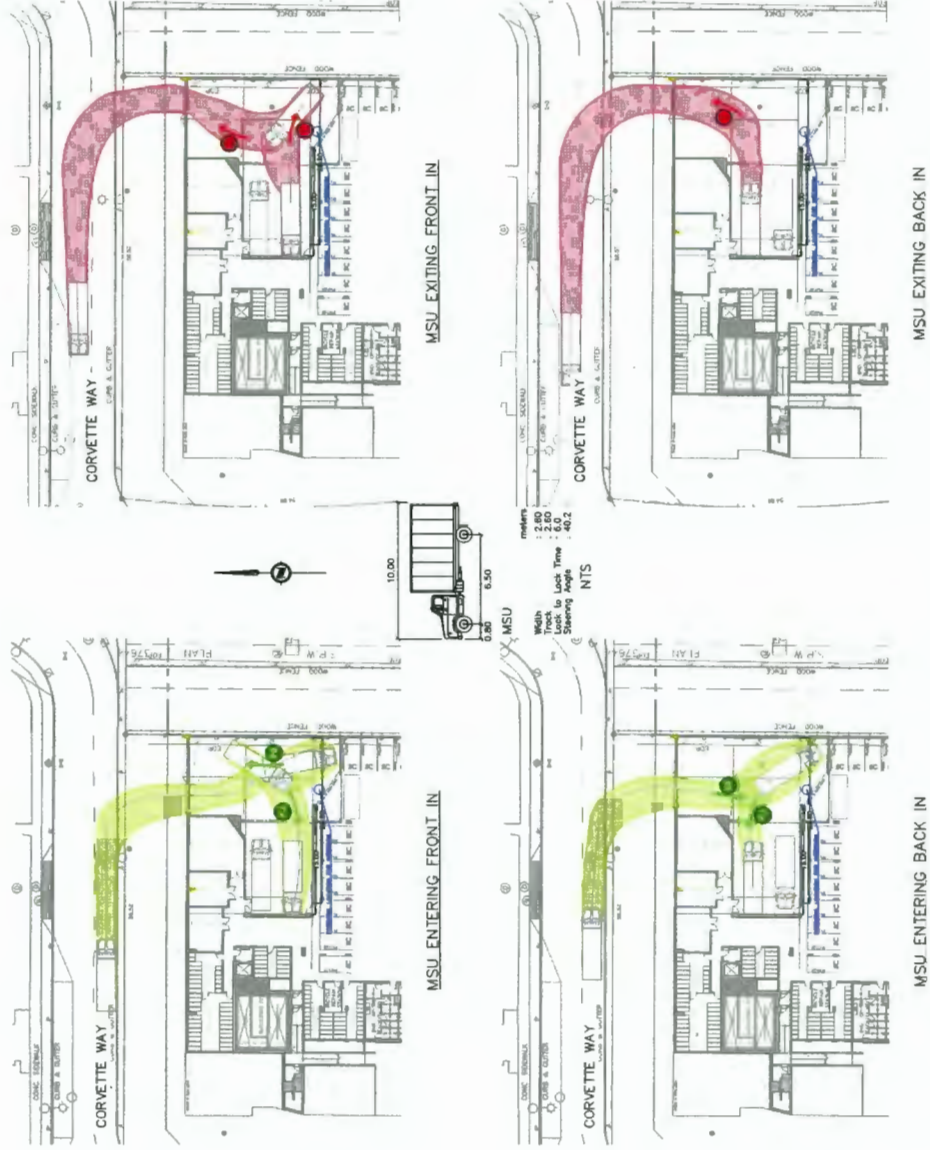
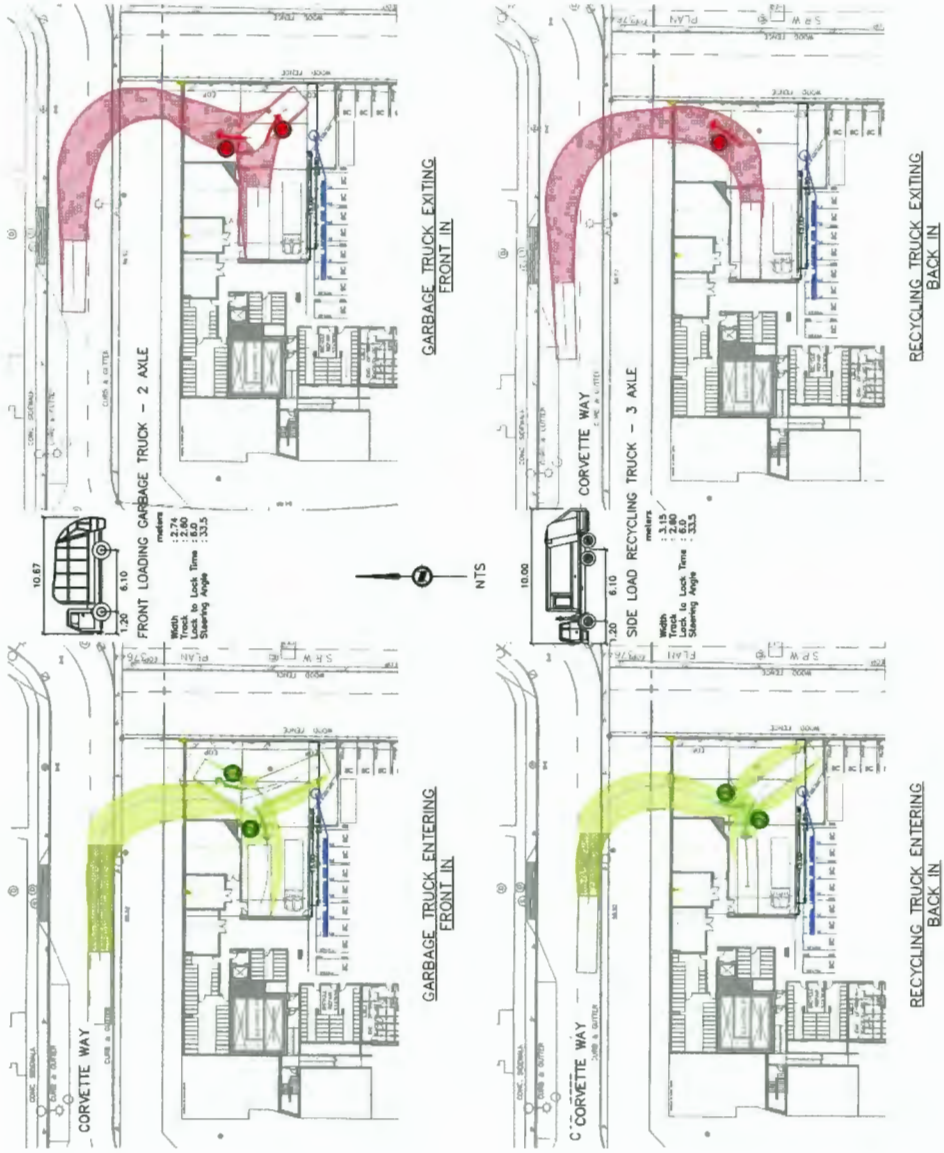




TRUCK TURNING RADIUS

A.116

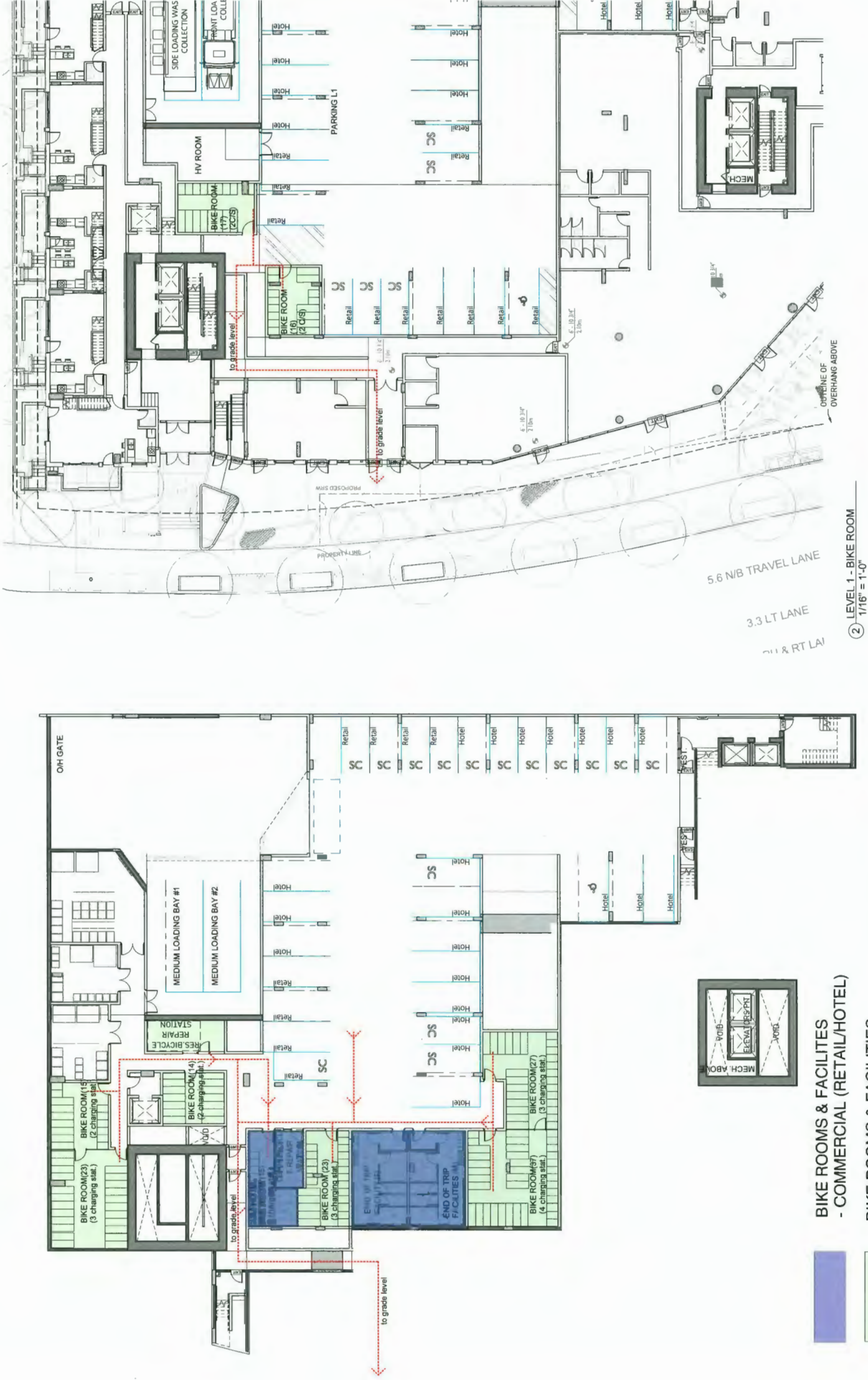
DP 15-699652  
April 28, 2021  
PLAN # 14c



THE CAPSTAN

GBL ARCHITECTS





BIKE PARKING - CLASS 1

L1 (parking) BICYCLE - HOR.

L1 (parking) BICYCLE - VERT.

BICYCLE: 33

P1 BICYCLE - HOR.

P1 BICYCLE - VERT.

BICYCLE: 154

TOTAL:

14

19

33

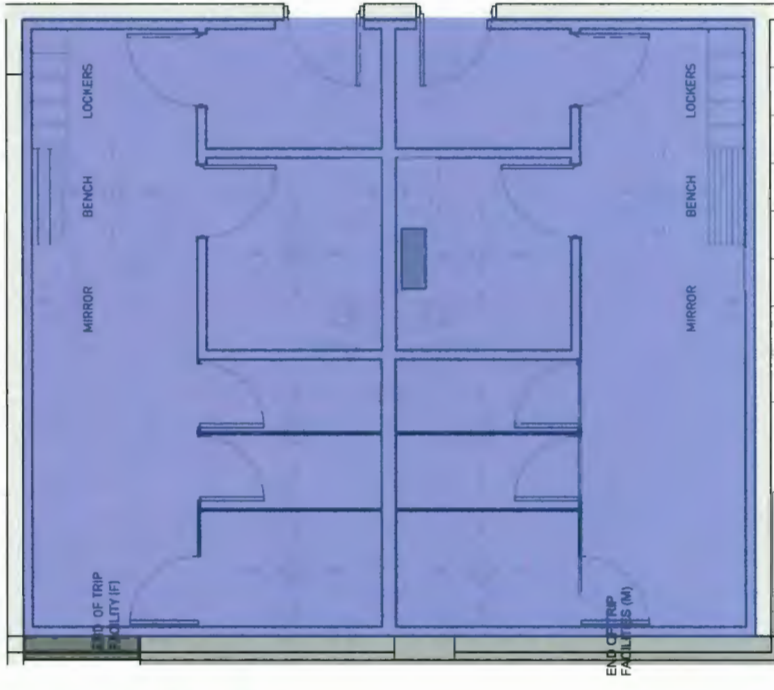
90

64

154

187

BIKE STORAGE - CLASS 1				
	REQUIRED:	PROPOSED:	E-BIKE CHARGING STATIONS:	REPAIR/ MAINTENANCE ROOM:
RESIDENTIAL: CALCULATION: 197 UNITS @ 1.250 UNIT = 172	172	172	21	1
RETAIL/HOTEL: CALCULATION: 100 @ 1.250 UNIT = 125 @ 1.277/100 m <sup>2</sup> = 13	13	15	2	1



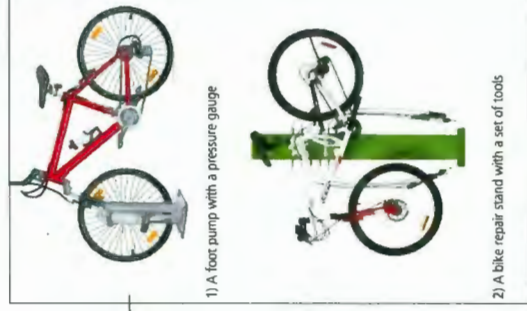
End-of-trip cycling facility shall be handicapped-accessible suite of rooms containing a change room, toilet, wash basin, shower, lockers, and grooming station (i.e. mirror, counter, and electrical outlets) designed to accommodate use by two or more people at one time

③ P1 - END OF TRIP FACILITY  
1/4" = 1'-0"



**Bike repair/maintenance stations** shall include a foot-activated pump a repair stand with integrated tools.

4 BIKE REPAIR STATION  
1 1/4" = 1'-0"



EQUIPMENT LOCATED IN  
THE BIKE REPAIR STATION

1) A foot pump with a pressure gauge

2) A bike repair stand with a set of tools

' **ELECTRIC BICYCLE CHARGING STATION** ' MEANS A 120-VOLT DUPLEX RECEPTACLE, INCLUDING ALL WIRING AND ELECTRICAL EQUIPMENT NECESSARY TO SUPPLY THE REQUIRED ELECTRICITY FOR SUCH DUPLEX RECEPTACLE; LOCATED IN CLASS 1 BICYCLE STORAGE (ROOM OR LOCKER) TO ACCOMMODATE THE CHARGING OF ELECTRIC BICYCLES AND SIMILAR EQUIPMENT IN THE ROOM OR LOCKER ON A SHARED BASIS



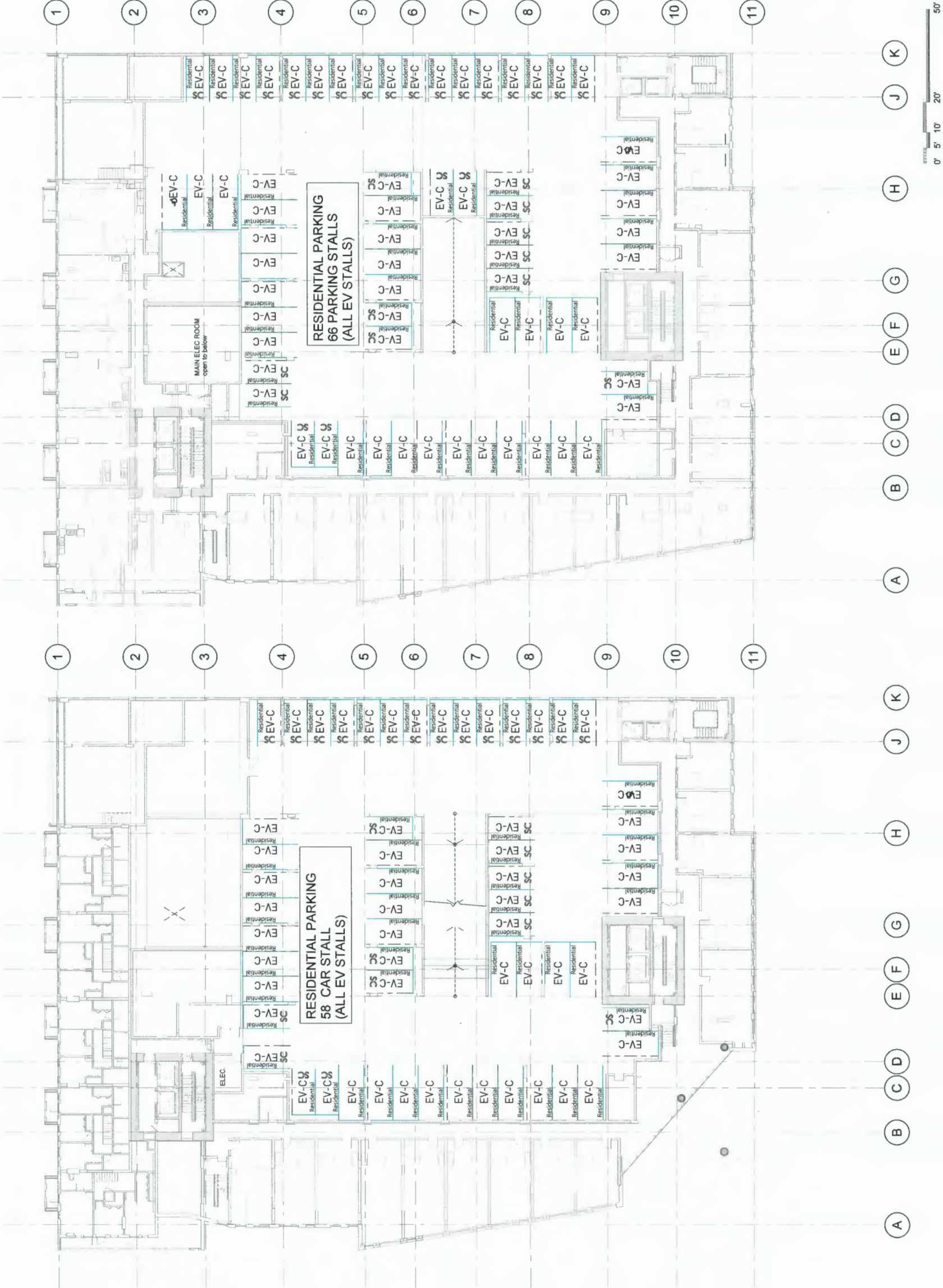




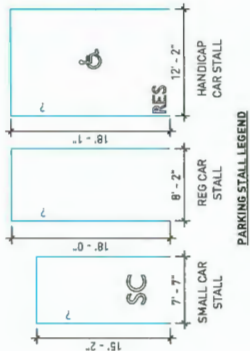
RESIDENTIAL EV PARKING - LEVEL 2 & 3

A.192

DP 15-699652  
April 28, 2021  
PLAN # 16a



EV PARKING		EV CAR STALLS:
REQUIRED:	PROPOSED:	
RESIDENTIAL 124 CAR STALLS (after 10% TDM reduction)	RESIDENTIAL 124 STALLS (after 10% TDM reduction)	124 EV STALLS (100% of residential to be equipped with energized 240V level 2 charging equipment in the form of a "Charging Station")
RETAIL/HOTEL 64 CAR STALLS (after 10% TDM reduction)	RETAIL/HOTEL 64 CAR STALLS (after 10% TDM reduction)	4 EV ASSIGNABLE STALLS ON LEVEL P1 (5% of Commercial/Hotel Parking to be equipped with energized 240V level 2 charging equipment in the form of a "Charging Station")



**‘ELECTRIC VEHICLE CHARGING 240V STATION’**  
MEANS AN ELECTRIC OUTLET DEDICATED FOR  
ELECTRIC VEHICLE CHARGING, AND CAPABLE OF  
SUPPLYING AC LEVEL 2 CHARGING AS DEFINED  
BY THE SAE J1772 STANDARD (E.G. NOMINAL  
SUPPLY VOLTAGE OF 208 TO 240 VAC, 1-PHASE)  
AND INCLUDING ALL WIRING AND ELECTRICAL  
EQUIPMENT NECESSARY TO SUPPLY THE  
REQUIRED ELECTRICITY FOR SUCH OUTLET AND  
PERMANENT SIGNAGE IN ACCORDANCE WITH THE  
TERMS OF THE ELECTRIC VEHICLE CHARGE  
EQUIPMENT FOR VEHICLES AND BICYCLES  
COVENANT;

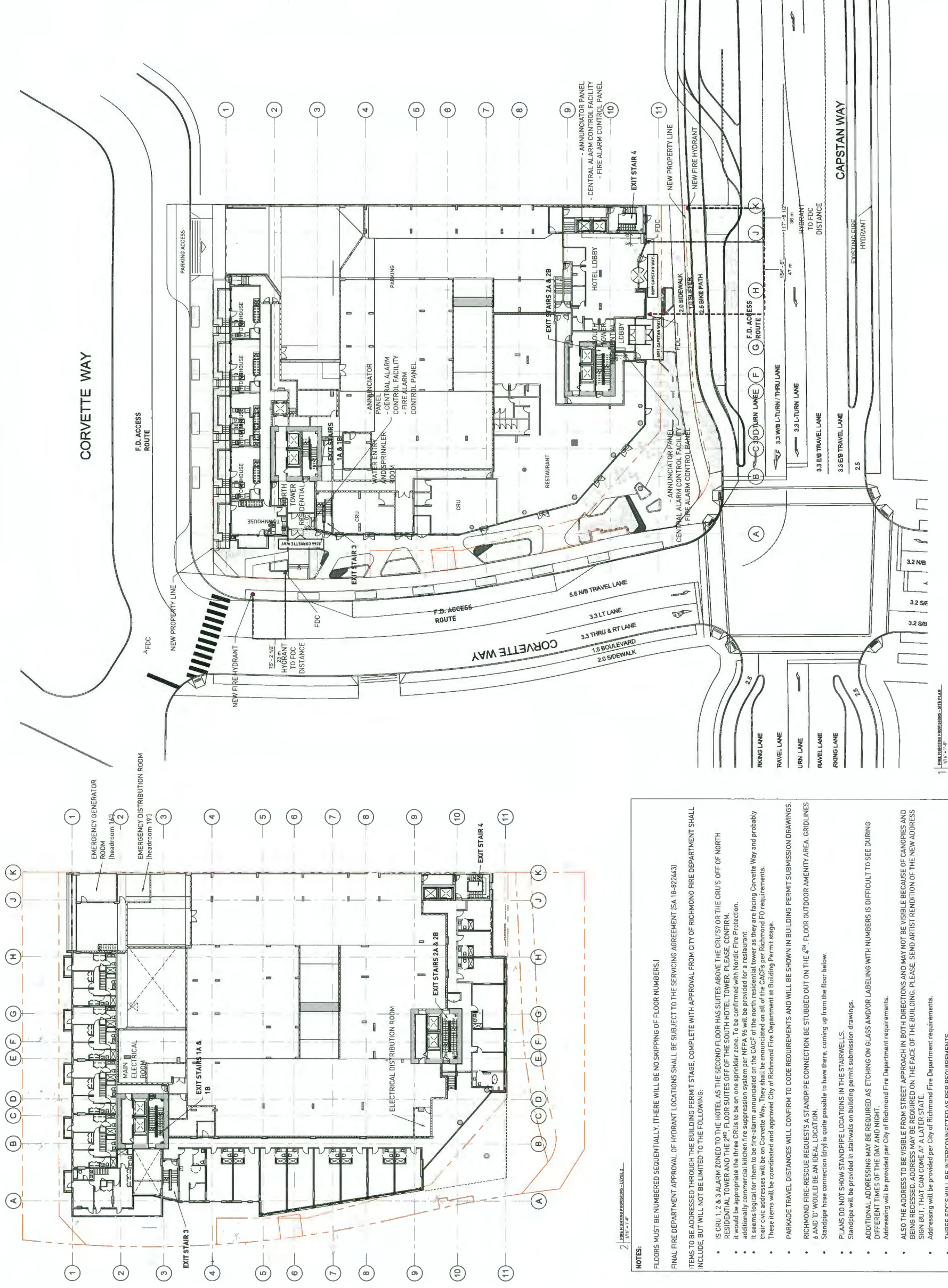
**‘ELECTRIC VEHICLE 240V CHARGER’** MEANS AN  
ELECTRIC VEHICLE CHARGING 240V STATION AND  
PERMANENT CHARGER, CAPABLE OF SUPPLYING  
ELECTRICITY TO ELECTRIC VEHICLES, INCLUDING  
PERMANENT SIGNAGE IN ACCORDANCE WITH THE  
TERMS OF THE ELECTRIC VEHICLE CHARGING  
EQUIPMENT FOR VEHICLES AND BICYCLES  
COVENANT;



# FIRE FIGHTING PROVISIONS

**DP 15-699652**  
April 28, 2021  
**PLAN # 17**

# THE CAPSTAN



**NOTES:**

FLOORS MUST BE NUMBERED SEQUENTIALLY. (THERE WILL BE NO SKIPPING OF FLOOR NUMBERS.)

FINAL FIRE DEPARTMENT APPROVAL OF HYDRANT LOCATIONS SHALL BE SUBJECT TO THE SERVING AGREEMENT (SA 18-822443)

ITEMS TO BE ADDRESSED THROUGH THE BUILDING PERMIT STAGE, COMPLETE WITH APPROVAL FROM CITY OF RICHMOND FIRE DEPARTMENT SHALL INCLUDE, BUT WILL NOT BE LIMITED TO THE FOLLOWING:

- IS CRU 1, 2 & 3 ALARM ZONED TO THE HOTEL AS THE SECOND FLOOR HAS SUITES ABOVE THE CRU'S/OT OR THE CRU'S OFF OF NORTH RESIDENTIAL TOWER AND THE 2<sup>ND</sup> FLOOR SUITES OFF OF THE SOUTH HOTEL TOWER. PLEASE, CONFIRM, it would be appropriate the three CRUs to be on one sprinkler zone. To be confirmed with Nordic Fire Protection,
- additionally commercial kitchen fire suppression system per NFPA 96 will be provided for a restaurant
- it seems logical for them to be fire-alarm annunciated on the CACF of the north residential tower as they are facing Corvette Way and probably their civic addresses will be on Corvette Way. They shall be annunciated on all of the CACFs per Richmond FO requirements.
- These items will be coordinated and approved City of Richmond Fire Department at Building Permit stage.
- PARADE TRAVEL DISTANCES WILL CONFIRM TO CODE REQUIREMENTS AND WILL BE SHOWN IN BUILDING PERMIT SUBMISSION DRAWINGS.
- RICHMOND FIRE-RESCUE REQUESTS A STANDPIPE CONNECTION BE STUBBED OUT ON THE 4<sup>TH</sup> FLOOR OUTDOOR AMENITY AREA. GROUND LINES 6 AND 'D' WOULD BE AN IDEAL LOCATION.
- Standpipe hose connection (dry) is quite possible to have there, coming up from the floor below.
- PLANS DO NOT SHOW STANDPIPE LOCATIONS IN THE STAIRWELLS.
- Standpipe will be provided in stairwells on building permit submission drawings.
- ADDITIONAL ADDRESSING MAY BE REQUIRED AS ETCHING ON GLASS AND/OR LABELING WITH NUMBERS IS DIFFICULT TO SEE DURING DIFFERENT TIMES OF THE DAY AND NIGHT.
- Addressing will be provided per City of Richmond Fire Department requirements.
- ALSO THE ADDRESS TO BE VISIBLE FROM STREET APPROACH IN BOTH DIRECTIONS AND MAY NOT BE VISIBLE BECAUSE OF CANOPIES AND BEING RECESSED. ADDRESS MAY BE REQUIRED ON THE FACE OF THE BUILDING. PLEASE, SEND ARTIST RENDERING OF THE NEW ADDRESS SIGN BUT, THAT CAN COME AT A LATER STATE.
- Addressing will be provided per City of Richmond Fire Department requirements.
- THREE FDC'S WILL BE INTERCONNECTED AS PER REQUIREMENTS
- RFR WILL BE CONTACTED FOR LOCKBOX INFORMATION.
- CONSTRUCTION FIRE SAFETY PLAN TO BE SENT IN FOR REVIEW TO EIRSAFETY@LANRICHMOND.CA AT A LATER STAGE.

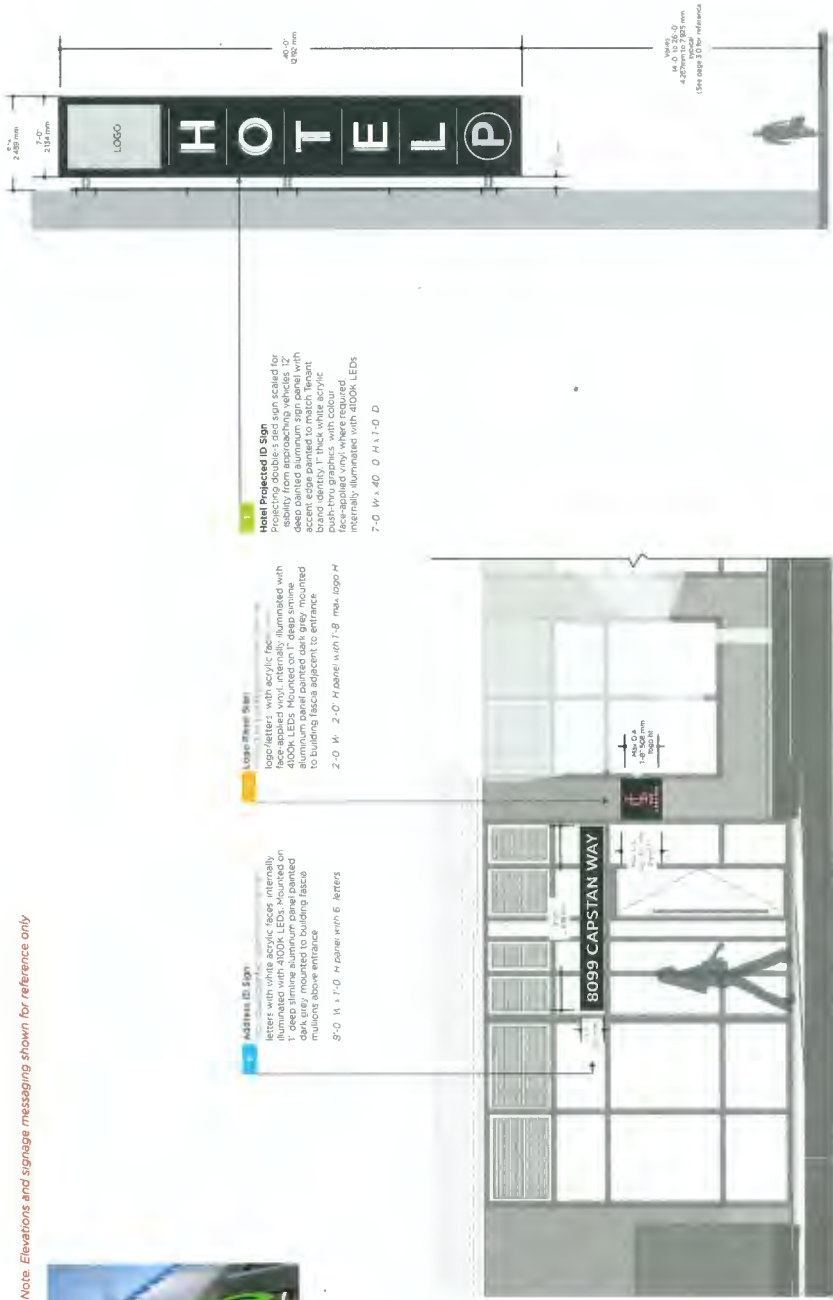


SIGNAGE AND WAYFINDING

DP 15-699652  
April 28, 2021  
PLAN # 18

REFERENCE PLAN

THE CAPSTAN



1 SIGN TYPE OVERVIEW  
SCALE: 1:50

2 SIGN TYPE OVERVIEW  
SCALE: 1:100

3.2 SIGN TYPE 3: TENANT FASCIA SIGN

Individual painted aluminum channel letters with acrylic faces and face-applied vinyl, internally illuminated with 4000K LEDs. Mounted to 3" square aluminum raceway and suspension frame painted to match architectural finishes, attached under building overhang (details 1 BD).

Max. O.A. 2'-6" H with max. 2'-0" H letters.

EXAMPLE OF ACCEPTABLE FASCIA SIGNS



Note: Elevations and signage messaging shown for reference only.

SIGN NO.	DESCRIPTION
1	Hotel Projected ID Sign
2	Tenant Canopy Sign
3	Tenant Fascia Sign
4	Tenant Blade Sign
5	Address Identification Sign
6	Payable/Loading Entrance Sign
7	Logo Panel Sign
8	Address Sign
9	North Tower
10	South Tower

0.4 RESEARCH & SIGNAGE PRECEDENTS

Signage should integrate well with the architectural design of the building and complement the modern/contemporary style at the development. The exterior sign program should optimize a "community feel" for both first-time and occasional visitors, to contribute to both a rewarding visit experience and increased awareness/interest and resulting traffic to the commercial component of the new development. The design intent is that the new sign program is to appear as a unified "family" of Sign Types. The Capstan is intended to provide an arrival experience supported by distinctive signage, signalling a friendly yet contemporary atmosphere provided by the new residences and supporting retail and commercial services.

