



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, April 27, 2016
3:30 p.m.

Minutes

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on April 13, 2016.*



1. **Development Variance 15-709889**
(REDMS No. 4948229)

APPLICANT: First Richmond North Shopping Centres Limited

PROPERTY LOCATION: 4751 McClelland Road

Director's Recommendations

- That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum permitted height for an accessory structure in the "Neighbourhood Commercial (ZC32) - West Cambie Area" from 12.0 m (39.4 ft.) to 26.0 m (approximately 85.0 ft.) in order to permit the installation of a flag pole in the plaza area at the corner of Garden City Road and Alderbridge Way.*



2. **Development Permit 15-697654**
(REDMS No. 4858900)

APPLICANT: Canada Haotian Investment Ltd.

PROPERTY LOCATION: 8191 Alexandra Road

Director's Recommendations

ITEM

That a Development Permit be issued which would:

1. *Permit the construction of a two-storey commercial building at 8191 Alexandra Road on a site zoned “Auto-Oriented Commercial (CA)”;* and
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum west interior side yard setback from 3.0 m to 0.46 m.*



3. **Development Permit 15-700370**

(REDMS No. 4926276)

APPLICANT: Yamamoto Architecture Inc.

PROPERTY LOCATION: 9560 Alexandra Road

Director’s Recommendations

That a Development Permit be issued which would permit the construction of 20 three-storey townhouse units at 9560 Alexandra Road on a site zoned “Town Housing (ZT67)”.



4. **New Business**

5. **Date of Next Meeting: May 11, 2016**

6. **Adjournment**



**Development Permit Panel
Wednesday, April 13, 2016**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cathryn Volkering Carlile, General Manager, Community Services
John Irving, Director, Engineering

The meeting was called to order at 3:00 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on March 30, 2016, be adopted.

CARRIED

1. Development Permit 14-671945
(File Ref. No.: DP 14-671945) (REDMS No. 4556065)

APPLICANT: Zhao XD Architect Ltd.

PROPERTY LOCATION: 9800, 9820, 9840 and 9860 Granville Avenue

INTENT OF PERMIT:

1. Permit the construction of 18 three-storey townhouse units at 9800, 9820, 9840 and 9860 Granville Avenue on a site zoned "Medium Density Townhouses (RTM2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the rate of tandem parking spaces from 50% to 62%.

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Applicant's Comments

Xuedong Zhao, Zhao XD Architect Ltd., provided background information on the proposed development, noting that (i) the proposal includes four triplex and three duplex buildings, (ii) the design of the townhouses fits well with the neighbourhood, (iii) the proposed massing, upper level setbacks and reduced window openings of townhouses address privacy concerns of the adjacent development to the south, (iv) a private outdoor space for each unit and a common outdoor amenity space are provided, (v) individual entries to the townhouse units along the street are emphasized through installation of gates, fencing and landscaping, and (vi) sustainable building materials include wood and hardie panel.

Mr. Zhao added that the concerns of the adjacent developments to the east and south expressed during the rezoning process have been addressed by the applicant.

Denitsa Dimitrova, PMG Landscape Architects, noted that (i) the landscape design incorporates existing trees on site and the existing grade is maintained to retain existing trees, (ii) each unit has a private yard with landscaping, lawn area and patio, (iii) pedestrian-oriented Granville Avenue streetscape includes low aluminum fencing with concrete columns, (iv) trellis structures with vines are proposed at both ends of the internal driveway, (v) a play area with active and passive components is incorporated in the outdoor amenity area, (vi) a social area is incorporated in the outdoor amenity area where the mail kiosk is located, (vii) wood fencing is proposed along the east, west and south property lines to provide privacy, and (viii) permeable paving is introduced in some areas along the internal drive aisle and visitor parking stalls.

Staff Comments

Wayne Craig, Director, Development, acknowledged support for the proposed tandem parking variance, noting that the additional tandem stalls to be supplied are in excess of the minimum Zoning Bylaw requirement and will increase the residential parking stalls provided on site. He added that six trees will be retained on site and the project has been designed to achieve EnerGuide 82 rating for energy efficiency.

Panel Discussion

In response to a query from the Panel, Ms. Dimitrova, confirmed that the bench at the outdoor play area is proposed to be located between the play equipment and the natural play area for better surveillance of children's activities in the outdoor amenity area.

In response to a query from the Panel regarding the east and west adjacencies of the site, Mr. Craig advised that the two single family lots to the east are currently under a rezoning application to construct a townhouse development, and a cross access agreement has been secured to allow the connection of the subject site to the future development to the east and west.

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Correspondence

Clive Mason, Richmond School District (Schedule 1)

Marci Timmins, A.R. MacNeill Secondary School, 6611 No. 4 Road (Schedule 2)

In response to a query from the Panel, Mr. Craig noted that the two pieces of correspondence on behalf A.R. MacNeill Secondary expressed concern regarding the potential traffic congestion in the area and safety concerns regarding the location and alignment of the subject site's driveway with the school's driveway. He further advised that (i) the anticipated increase in traffic generated by the proposed development would be minimal, (ii) the peak departure and return periods of the townhouse project are dispersed and the school peak traffic volumes are more concentrated, and (iii) the proposed alignment of the driveway of the subject site with the school's driveway addresses safety concerns.

Gallery Comments

None.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of 18 three-storey townhouse units at 9800, 9820, 9840 and 9860 Granville Avenue on a site zoned "Medium Density Townhouses (RTM2)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to increase the rate of tandem parking spaces from 50% to 62%.*

CARRIED

2. Development Permit 15-697654

(File Ref. No.: DP 15-697654) (REDMS No. 4858900)

APPLICANT: Canada Haotian Investment Ltd.

PROPERTY LOCATION: 8191 Alexandra Road

INTENT OF PERMIT:

1. Permit the construction of a two-storey commercial building at 8191 Alexandra Road on a site zoned "Auto-Oriented Commercial (CA)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum west interior side yard setback from 3.0 m to 0.46 m.

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Applicant's Comments

Patrick Xu Yang, Pacific West Architecture, provided background information on the proposed development and noted the following:

- the proposed two-storey commercial building with restaurant uses will provide a new street-oriented commercial building to the block;
- the proposed building presents a coordinated, urban street image characterized by an almost continuous street wall along the street frontage;
- the entry driveway is located on the eastern edge of the site;
- surface parking at the back of the building is screened from the street by the building;
- a covered barrier-free sidewalk along the entry driveway will be provided between the parking area and the main entry of the building;
- the enclosed garbage and recycling facility is located at the back of the building and away from the adjacent residential development to the north;
- a 1.8 meter wood fence and a five foot wide landscaping bed with evergreen hedge and trees is proposed along the north property line to protect the privacy of the adjacent residential development;
- the scale and massing of the proposed two-storey building fits well with the surrounding buildings;
- a pedestrian scale is achieved along Alexandra Road through architectural treatments and landscape features;
- light grey metal panels and two different tones of stucco finishes are used at the back of the building to add visual interest; and
- sustainability features include (i) permeable pavers on the entry driveway and a portion of the parking area, (ii) high Solar Reflectance Index (SRI) material roof, (iii) daylight sensors, (iv) low-consumption flush fixtures and low-flow rate faucets, and (v) high performance glazing.

Lu Xu, Landscape Architect, LUXU Studio, briefed the Panel on the landscaping of the project, noting that (i) pedestrian-friendly permeable pavers are introduced in front of the entry driveway, (ii) a covered pedestrian sidewalk is provided along the eastern side of the building, (iii) layers of different planting are integrated, (iv) appropriate plant species are planted at the front of the building, (v) free standing trellis with vine planting has been added along the east side of the entrance driveway, (vi) red maple, evergreen and deciduous trees will be planted at the parking lot, and (vii) bicycle parking is integrated at the front of the building.

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Panel Discussion

In response to queries from the Panel, Mr. Yang and Ms. Xu confirmed that (i) the proposed bicycle parking at the front of the building will not conflict with the building entrance, (ii) the handicapped parking stall is located adjacent to standard car parking stalls and the loading area, (iii) the garbage and recycling area is enclosed and covered, and (iv) the loading area will not be used during the operating hours of the restaurant and will not conflict with the accessible barrier-free walkway.

In response to a query from the Panel, Mr. Craig advised that tenant signage will be subject to future permits in accordance with the Sign Bylaw.

In response to further queries from the Panel regarding the proposed variance to the minimum west side interior setback, Mr. Yang confirmed that (i) the presence of water pipes on the neighbouring building near the west property line of the subject site necessitated the proposed 0.46 metre setback instead of a zero lot line setback, (ii) the proposed variance would result in a few feet of space between the subject building and the existing adjacent building to the west, (iii) the exact distance of the adjacent building to the west from the west property line of the subject site could not be confirmed, and (iv) the applicant is willing to discuss with the property owner of the adjacent development to the west for the installation of a fence between the two buildings.

Staff Comments

Mr. Craig commented that (i) the associated Servicing Agreement includes frontage improvements along Alexandra Road and (ii) staff will discuss with the applicant appropriate measures to address the narrow gap between the proposed building and the west property line.

In response to a query from the Panel, Mr. Craig confirmed that there is also a slight gap between the existing building to the west and the west property line of the subject site. He added that any proposed screening between the two adjacent buildings would require the cooperation of the property owner of the neighbouring building.

Correspondence

None.

Gallery Comments

None.

Panel Decision

It was moved and seconded

That DP 15-697654 be referred back to staff to:

- 1. investigate the exact distance of the west side of the proposed building in the subject site from its west property line;***

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2. *examine the existing condition of the adjacent building to the west and its exact distance from the subject site's west property line;*
 3. *enable the applicant to hold further discussions with staff and initiate discussion with the property owner of the adjacent building to the west of the subject site regarding appropriate treatment to address the narrow gap between the two buildings; and*
- report back to the April 27, 2016 Development Permit Panel meeting.*

CARRIED

3. Development Permit 15-700370

(File Ref. No.: DP 15-700370) (REDMS No. 4926276)

APPLICANT: Yamamoto Architecture Inc.

PROPERTY LOCATION: 9560 Alexandra Road

INTENT OF PERMIT:

Permit the construction of 20 three-storey townhouse units at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)".

Applicant's Comments

Taizo Yamamoto, Yamamoto Architecture, Inc., provided background information regarding the proposed development and highlighted the following:

- a 20 meter wide area along the northern edge of the subject site will be provided for the east-west greenway which extends to the townhouse development to the east;
- the site lay-out and design of the townhouses were dictated by the narrowness of the site;
- the proposed driveway has been relocated from the western edge to the eastern edge of the site as a result of discussion during the rezoning process;
- the project is designed to achieve EnerGuide 82 rating and pre-ducted for solar hot water;
- one convertible townhouse unit is provided and all townhouse units are provided with aging-in-place features;
- low-pitched roofs with varied forms are consistent with the adjacent developments; and
- proposed materials include, among others, hardiplank siding and vinyl framed windows.

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Denitsa Dimitrova, PMG Landscape Architects, briefed the Panel on the proposed landscaping, noting that (i) a four meter wide ESA strip with native vegetation is proposed along the Alderbridge Way frontage, (ii) existing trees within the 20 meter wide greenway at the north of the site will be retained, (iii) a planting strip is proposed along the eastern side of the internal drive aisle adjacent to the neighbouring property to the east, (iv) the proposed outdoor amenity space includes a children's play area, play equipment, structural and natural play surface areas, a bench and a bicycle rack, (v) a four foot fence is proposed along the north and west property lines and a six foot fence along the east property line, and (vi) unit pavers are introduced in some areas along the internal drive aisle and visitor parking spaces.

Panel Discussion

In response to queries from the Panel regarding the subject development's proposed interface with the adjacent future City-owned park to the west of the subject site, Mr. Yamamoto confirmed that (i) the higher elevation of the western edge of the subject site relative to the existing grade of the adjacent park was necessitated by the provision of a walkway along the western edge with level access to the townhouse units, (ii) the proposed materials for the retaining wall adjacent to the park include lock blocks with varied textures and patterns to provide visual interest, (iii) the design of the future park is still to be determined, and (iv) a four foot wood fence will be installed above the retaining wall.

In reply to further queries from the Panel, Mr. Yamamoto stated that (i) the height of the proposed retaining wall is approximately four feet, (ii) the proposed walkway will improve accessibility to the townhouse units, and (iii) a wood picket fence is proposed on top of the retaining wall but a more transparent material could be considered.

In response to queries from the Panel, Mr. Craig advised that (i) the exact design and grading of the future City park is yet to be determined, (ii) staff has ensured that the height of the proposed fence on top of the proposed retaining wall would be minimized and that the fencing material to be used would be transparent, (iii) the developer of the subject development has agreed to contribute approximately \$13,000 for planting within the park to soften the western edge of the subject site, and (iv) the existing grade of the future park needs to be maintained to retain and preserve existing trees on site.

Staff Comments

Mr. Craig commented that the (i) the proposed development provides a four meter wide vegetated ESA strip planted with native trees and shrubs along the Alderbridge Way frontage similar to the approach taken by adjacent townhouse development applications to the east, and (ii) the proposed development has been designed to achieve the City's aircraft noise mitigation standards and EnerGuide 82 rating for energy efficiency.

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In response to a query from the Panel, Mr. Craig confirmed that Parks Department has reviewed the landscaping proposal for the subject development including the cash contribution agreed to by the developer for planting along the western boundary of the subject site.

Correspondence

None.

Gallery Comments

None.

Panel Discussion

The Panel expressed concern regarding the interface of the subject development's west side with the future City-owned park, noting that (i) more details need to be provided regarding the design of the park, e.g. grade of the park and existing trees to be retained, (ii) the combined height of the proposed retaining wall and the fencing above would be approximately eight feet, and (iii) the proposed cash contribution by the developer of approximately \$13,000 would not be sufficient to cover the high cost of providing landscape screening to the proposed retaining wall.

Panel Decision

It was moved and seconded

That DP 15-70033 be referred back to staff to:

- 1. provide more details on the design of the future City-owned park adjacent to the western property boundary of the subject site;***
- 2. investigate ways to minimize the proposed retaining wall and review the proposed fencing on top of the retaining wall along the western perimeter of the subject development to provide a softer transition to and better interface with the adjacent park;***
- 3. minimize the cost for the City to provide landscape screening within the park and adjacent to the retaining wall along the western property boundary of the subject site; and***

report back to the April 27, 2016 Development Permit Panel meeting.

CARRIED

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4. Development Permit 15-700800

(File Ref. No.: DP 15-700800) (REDMS No. 4881981)

APPLICANT: GBL Architects Inc.

PROPERTY LOCATION: 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road

INTENT OF PERMIT:

1. Permit the construction at 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road of the final two phases of a five-phase, high-rise, multi-family residential development, which two phases shall contain a total of 525 dwellings, including 493 market units and 32 affordable housing units (secured with a Housing Agreement), together with four (4) affordable, work-only, art studios and publicly-accessible open space, on a site zoned “High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)”;
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) Increase the maximum allowable building height for the east building within 50.0 m of a lot line abutting Garden City Road from 28.0 m to 31.5 m for an enclosed stair shaft, elevator penthouse, and guardrail;
 - (b) Reduce the minimum allowable road and park setbacks for the west building from 3.0 m to:
 - (i) 0.0 m from the South Walkway and Art Studio Terrace Statutory Right-of-Way in the vicinity of the art studios; and
 - (ii) 2.82 m from the Hazelbridge Way Sidewalk Widening Statutory Right-of-Way near the building’s northwest corner; and
 - (c) Increase the maximum allowable projections into the required yards:
 - (i) For the east building, from 1.2 m to 1.47 m for a cantilevered roof at the building’s southwest corner; and
 - (ii) For the west building, from 1.0 m to 1.37 m for balconies at the west tower’s south side.

Applicant’s Comments

Amela Brudar, GBL Architects, and Grant Brumpton, PWL Partnership, with the aid of a visual presentation (copy on file, City Clerk’s Office) provided an overview of the proposed development.

Ms. Brudar provided the site context for the proposed development, reviewed the main features of Phases 1, 2, and 3 of Concord Gardens development (which are under construction), provided background information on the subject development, i.e., Phases 4 and 5, and highlighted the following:

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- the larger Concord Gardens development will comprise a total of 1,201 dwelling units including 1,125 market units and 56 affordable units and 20 professional artists (ARTS) units;
- the subject development, i.e. Phases 4 and 5 located in Lot 2 includes 525 dwellings, 493 of which are market units and 32 are affordable units, and four ARTS units along Sexsmith Road;
- the subject development proposal consists of two high-rise buildings over a shared two-storey parking structure;
- the U-shaped east building in Phase 4 is a stepped high and mid-rise building that transitions from 15 storeys to 10 storeys at Garden City Road;
- the west building in Phase 5 is comprised of 16-storey twin towers connected by an 11-storey building and includes four ARTS units along Sexsmith Road;
- a community of buildings is proposed in the larger development; however, each building is unique in terms of materiality and has slight variation in colour schemes compared to other buildings;
- the proposed two-level parking is contiguous underneath the whole Concord Gardens site with four access points, with the main entry for Lot 2 located in the west building off Hazelbridge Road extension; and
- a public walkway Statutory Right-of-Way (SRW) along the south side of Lot 2, an art studio public open space SRW and utility SRW in the west building are provided.

Mr. Brumpton briefed the Panel on the landscaping scheme for the subject development, noting that the proposed landscaping conveys the notion of a carpet and that regional shapes and forms, i.e. the archipelago and pool of water, provide the unifying elements in the overall landscaping.

Mr. Brumpton highlighted that (i) Phase 4 includes the completion of the south side of the Neighbourhood Park, (ii) a community garden is provided along the south side of Phase 4, (iii) an accessible terrace is incorporated along the frontage of the Sexsmith Art Studios, (iv) a landscaped terrace to the south of the ARTS studios provides an inviting entrance to the south walkway, (v) there are shared outdoor amenity spaces at the mid-rise rooftops of Phases 4 and 5, (vi) landscaped seating pavilion and gardens and water garden and terrace are provided in Phases 4 and 5, respectively, (vii) shared outdoor amenity spaces are incorporated at the tower rooftops, and (viii) a private outdoor amenity space is provided for each residential unit.

Staff Comments

Mr. Craig advised that proposed community gardens are subject to an operating agreement in which the City is a part of. Also, Mr. Craig acknowledged staff support for the requested variances for the proposed development.

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Mr. Craig further advised that the proposed development (i) is ready to be connected to a District Energy Utility (DEU) when one becomes available, (ii) has been designed to meet the City's aircraft noise mitigation standards, and (iii) will contribute funding towards the construction of the Capstan Canada Line station.

Also, Mr. Craig noted that the future development to the south of the subject site will have the same elevation to the proposed walkway on the south of the subject development and provides an opportunity to expand the walkway and address wheelchair accessibility. He further noted that the road elevation of Ketcheson Road will be maintained when the future development to the south will extend the road to Capstan Way.

Correspondence

None.

Gallery Comments

None.

Panel Discussion

In response to a query from the Panel, Mr. Craig confirmed that electric vehicle charging receptacles are provided in the subject development's parking stalls with a ratio of 30 percent, which is higher than the requirement of 20 percent under the Official Community Plan. Suzanne Carter-Huffman, Senior Planner, Planning and Development, noted that Phase 2 (Lot 1) of the Concord Gardens development provides quick charging stations for electric vehicles which can be accessed by visitors from Lot 2.

In response to queries from the Panel, Ms. Carter-Huffman confirmed that the operating agreement on the proposed community gardens ensures that (i) the community gardens will be operated consistent with the City's objectives, (ii) the City will provide input on the choice of the operator, and (iii) should the community gardens cease to operate in the future, the City will decide regarding its use, including possible redesign and reconstruction.

In response to a query from the Panel, Ms. Brudar acknowledged that there would be legal agreements in place among different stratas in Concord Gardens development to allow future residents cross access within the various phases of the bigger development. Ms. Carter-Huffman confirmed that the legal agreements registered on title prior to rezoning allow movements of vehicles between various sites and phases within the bigger development.

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Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *Permit the construction at 8800 Hazelbridge Way and 3300 and 3311 Ketcheson Road of the final two phases of a five-phase, high-rise, multi-family residential development, which two phases shall contain a total of 525 dwellings, including 493 market units and 32 affordable housing units (secured with a Housing Agreement), together with four (4) affordable, work-only, art studios and publicly-accessible open space, on a site zoned "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)"; and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *Increase the maximum allowable building height for the east building within 50.0 m of a lot line abutting Garden City Road from 28.0 m to 31.5 m for an enclosed stair shaft, elevator penthouse, and guardrail;*
 - (b) *Reduce the minimum allowable road and park setbacks for the west building from 3.0 m to:*
 - (i) *0.0 m from the South Walkway and Art Studio Terrace Statutory Right-of-Way in the vicinity of the art studios; and*
 - (ii) *2.82 m from the Hazelbridge Way Sidewalk Widening Statutory Right-of-Way near the building's northwest corner; and*
 - (c) *Increase the maximum allowable projections into the required yards:*
 - (i) *For the east building, from 1.2 m to 1.47 m for a cantilevered roof at the building's southwest corner; and*
 - (ii) *For the west building, from 1.0 m to 1.37 m for balconies at the west tower's south side.*

CARRIED

5. Development Permit 15-712474

(File Ref. No.: DP 15-712474) (REDMS No. 4957379)

APPLICANT: Mo Maani

PROPERTY LOCATION: 10231 Ainsworth Crescent

INTENT OF PERMIT:

Permit the construction of a coach house at 10231 Ainsworth Crescent on a site zoned "Single Detached with Granny Flat or Coach House – Edgemere (RE1)".

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Applicant's Comments

Ramon Gonzalez, VictorEric Design Group, provided the site context for the proposed coach house and highlighted the following:

- the proposed coach house has similar character and finishes to the proposed principal single-family dwelling;
- coach house windows are located on the west side facing the lane to provide passive surveillance of the lane and allow maximum light penetration to the coach house;
- primary pedestrian access to the coach house is from the rear lane and has secondary access through a pathway from Ainsworth Crescent;
- the variation of materials and colours on the ground and upper floor is intended to visually break up the massing of the primary façade of the coach house which is facing the lane; and
- sustainability features include provision of Energy Star appliances, thermal efficient doors and windows and an evenly distributed Heat Recovery Ventilation system.

Alina Kouneva, Alina Gardens, Inc., commented that the landscape design of the proposed coach house is intended to provide a welcoming space at the front of the entry way and around the patio. She noted that the main landscaping features include (i) a combination of shrubs, flowering plants, and a deciduous tree to be planted in the area between the main entry to the coach house and the rear lane, (ii) a four foot fence to create privacy between the coach house and the main house, (iii) core grass surface parking with gravel treads, (iv) a shared garbage and recycling enclosure against an existing six foot wood fence, and (v) a custom horizontal slat fencing to separate the coach house from the main house.

Staff Comments

Mr. Craig acknowledged support for the proposed development, noting the proposal's attention to detail and the installation of permeable paving for the single surface parking.

Correspondence

None.

Gallery Comments

None.

Panel Discussion

The Panel expressed appreciation to the quality of design of the proposed coach house and the applicant's presentation of the proposal.

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In response to a query from the Panel, Ms. Kouneva confirmed that the proposed single surface parking stall is intended for the tenant of the coach house and the two parking spaces in the garage off the lane are provided for the principal dwelling.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit the construction of a coach house at 10231 Ainsworth Crescent on a site zoned "Single Detached with Granny Flat or Coach House – Edgemere (RE1)".

CARRIED

6. Date of Next Meeting: April 27, 2016

7. Adjournment

It was moved and seconded

That the meeting be adjourned at 5:21 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, April 13, 2016.

Joe Erceg
Chair

Rustico Agawin
Auxiliary Committee Clerk

CityClerk

Schedule 1 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
April 13, 2016.

To Development Permit Panel
Date: <u>APRIL 13, 2016</u>
Item # <u>1</u>
RE: <u>9800, 9820,</u>
<u>9840, 9860 Granville</u>
<u>Avenue</u>

From: Clive Mason <cmason@sd38.bc.ca>
Sent: Friday, 8 April 2016 11:39 AM
To: Craig, Wayne
Cc: Wanda Plante; Mark De Mello; Marcy Timmins
Subject: SD 38 Staff comments on 9800 to 9860 Granville Avenue Zoning Bylaw Variance
Attachments: Fax 201604021351_page2.pcx

Hi Wayne

Thank you very much for providing the District with an opportunity to comment on the application to modify the zoning to the 18 Unit Townhouse proposal on Granville Avenue, directly opposite the MacNeill parking entry. In addition to the letter attached from the school principal, we have reviewed the proposal at a high level and have the additional comments that focus singularly on the application to increase the tandem parking available on the site from 18 to 22 cars.

Traffic congestion in this location causes significant safety concerns should the additional parking be permitted. Additionally, the location of the driveway access off Granville Avenue is directly aligned with the School's driveway, which is extremely busy during peak hours. Further, a note on the drawings indicates a plan to share this access driveway with the neighbours to the east upon their redevelopment, further increasing child safety concerns at the mouth of the project.

Crosswalks, traffic lights, speed bumps, turning lanes, relocating the driveway access are a few of the options that might be available to mitigate the anticipated additional congestion.

Respectfully,

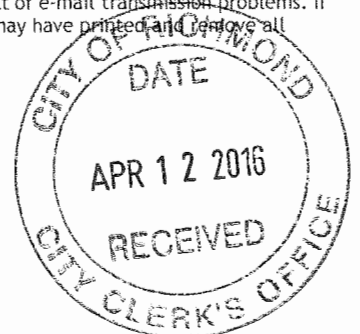
Clive Mason, Architect AIBC, LEED AP
Director of Facilities Planning

School District No. 38 (Richmond)
7811 Granville Avenue,
Richmond V6Y 3E3
Phone: 604.668.6127
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Fax: 604.668.6687



<http://letstalksd38.ca/our-schools-our-students-our-future>

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From: Clive Mason <cmason@sd38.bc.ca>
Sent: Tuesday, 12 April 2016 10:07 AM
To: Craig, Wayne
Subject: Re: SD 38 Staff comments on 9800 to 9860 Granville Avenue Zoning Bylaw Variance
Attachments: Fax 201604021351_page2.pdf

To Development Permit Panel
Date: <u>APRIL 13, 2016</u>
Item # <u>1</u>
Re: <u>DP 14-671945</u>
<u>9800, 9820, 9840,</u>
<u>9860 Granville Avenue</u>

Thanks so much for the reminder. It totally fell off my desk.
I did a file conversion, so I hope this works.
Please let me know if all is ok.
Very much appreciate your diligence Wayne.
Cheer,

Clive Mason, Architect AIBC, LEED AP
Director of Facilities Planning

School District No. 38 (Richmond)
7811 Granville Avenue,
Richmond V6Y 3E3
Phone: 604.668.6127
Cell: 604.626.2087
Fax: 604.668.6687



<http://letstalksd38.ca/our-schools-our-students-our-future>

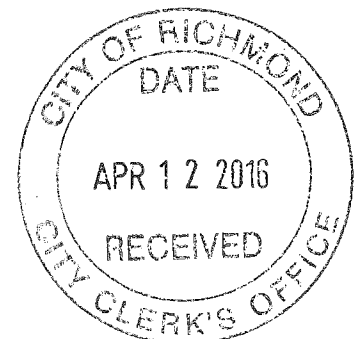
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"Craig, Wayne" <WCraig@richmond.ca> on April 12, 2016 at 9:59 AM -0700 wrote:
Hi Clive,

If you could please send me the information today it would be appreciated as I would like to get both pieces of correspondence to the City Clerk for inclusion in the public record prior to the DP Panel meeting tomorrow afternoon. Thanks

W

From: Clive Mason [mailto:cmason@sd38.bc.ca]
Sent: Friday, 8 April 2016 17:34
To: Craig, Wayne
Cc: wplante@sd38.bc.ca; mdemello@sd38.bc.ca; mtimmins@sd38.bc.ca
Subject: Re: SD 38 Staff comments on 9800 to 9860 Granville Avenue Zoning Bylaw Variance





A.R. MacNeill Secondary

Home of the Ravens

6611 No. 4 Road, Richmond, B.C., V6Y 2T2
Phone: (604) 668-6212 Fax: (604) 668-6202
E-mail: MacNeill@sd38.bc.ca

April 2, 2016

To Wayne Craig
Director of Development
City of Richmond

C/o Mr. Clive Mason
Director of Facilities Planning
Richmond School District

RE: Rezoning Amendment Application 6800 Et al Granville Ave

Hello Mr. Craig,

I am writing to you in response to the rezoning application noted above on behalf of A. R. MacNeill Secondary School. I would like request that consideration be given to the potential congestion at the end of the school driveway through which staff, students, parents, and long school busses enter and exit throughout the day. This driveway is directly across from the land of the proposed townhouses.

Currently this driveway entrance/exit is very busy at the start and the end of the day. It is not uncommon to see long lines of vehicles along Granville waiting to turn into the school driveway. My concern is around student safety (pedestrian and on bikes) as they negotiate the congestion of cars to and from our lot and the general traffic along Granville that is nearest the intersection of No 4 Road and Granville.

It would be important to consider this point of congestion when determining the entry/exit for this new development. Locating it so that the proposed townhouse traffic does not compete with the school driveway entrance/exit would, perhaps, alleviate our student safety concerns.

In addition to this new 4 lot development at the corner of No. 4 Road and Granville Ave there appears to be signage indicating that on the north west corner of this same intersection we will soon have a large daycare complex. Traffic for both the daycare site and the school site will be heavy during drop off and pick up times. This will also be the time that our students who walk or ride their bikes to school will be most vulnerable to increased traffic congestion.

Thank you for your consideration.

Sincerely,

Marcy Timmins
Principal
A.R. MacNeill Secondary School



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: March 22, 2016

From: Wayne Craig
Director of Development

File: DV 15-709889

Re: Application by First Richmond North Shopping Centres Limited for a
Development Variance Permit at 4751 McClelland Road

Staff Recommendation

1. That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum permitted height for an accessory structure in the "Neighbourhood Commercial (ZC32) - West Cambie Area" from 12.0 m (39.4 ft.) to 26.0 m (approximately 85.0 ft.) in order to permit the installation of a flag pole in the plaza area at the corner of Garden City Road and Alderbridge Way.


Wayne Craig
Director of Development

FM:blg

Staff Report

Origin

First Richmond North Shopping Centres Limited has applied to the City of Richmond for permission to vary the maximum height for an accessory structure from 12.0 m (39.4 ft.) to 26.0 m (approximately 85.0 ft.) to install a flag pole in the urban plaza area located on the southwest corner of the site of the neighbourhood commercial centre under development at 4751 McClelland Road.

The subject site of this application is bound by Alderbridge Way to the south, McClelland Road to the east, Alexandra Road to the north, and Garden City Road to the west (see Attachment 1) , and is currently zoned "Neighbourhood Commercial (ZC32) - West Cambie Area". The development site includes six (6) commercial buildings that comprise a medium size format store and five (5) small retail commercial store buildings (see Attachment 2) which form part of the larger Richmond North Shopping Centre being developed by First Richmond North Shopping Centres Limited.

Background

Development immediately surrounding the development site is as follows:

- To the north, across Alexandra Road, is an area of older single-family residential lots; some occupied and others vacant, zoned "Single Detached (RS1/F)" and "Two Unit Dwellings (RD1)", plus one (1) development site recently rezoned to "Residential/Limited Commercial (ZMU16)". The Alexandra Neighbourhood Land Use Map calls for Business/Office with office over retail on the area closer to Garden City Road and Mixed-Uses at medium density residential over retail further to the east.
- To the east, across McClelland Road (High Street), a large format retail store under construction; consisting of a two-storey building over one (1) level of parking on a site zoned "Neighbourhood Commercial (ZC32) - West Cambie Area".
- To the south, across Alderbridge Way, is the City-owned "Garden City Lands" within the Agricultural Land Reserve (ALR) and zoned "Agriculture (AG1)".
- To the west, across Garden City Road, is an area of retail/commercial land uses zoned "Auto-Oriented Commercial (CA)" and "Gas & Service Stations (CG1)".

Project Description

The proposed 26.0 m (approximately 85.0 ft.) flag pole will consists of a variable diameter (12 in. to 4 in.) steel pipe monopole anchored and mounted on a concrete foundation raising approximately 0.45 (1ft. – 6 in.) above the plaza area.

The applicant is proposing to locate the flag pole on the plaza area at the southwest corner of the subject site, which is exposed to views from the Garden City Road and Alderbridge Way intersection. The proposed variance would only apply to the flag pole in the specific location proposed.

Staff Comments

- The applicant proposes to erect the flag pole for the purpose of flying the Canadian flag as a patriotic initiative that SmartReit is currently implementing in all their developments across the country and establish a visual landmark associated with the large commercial node emerging at that location.
- The applicant has indicated that the type, design and size of the pole being proposed on the urban plaza at the pedestrian entry point to the outdoor oriented neighbourhood commercial centre which forms part of the larger Richmond North Shopping Centre development is similar, but lower, than flag poles being installed in all other SmartReit commercial centres across the country.
- The applicant has agreed that the pole will only be used to fly a Canadian flag (of approximately 4.57 m x 9.15 m (15 ft. x 30 ft.) dimensions).
- The applicant has confirmed that the flag pole will not be used to fly any other flag that might have a signage or commercial advertisement character and agreed to a legal agreement being registered on Title for this purpose.
- The applicant has submitted plans for the proposed flag pole to Transport Canada and NAV Canada for their review and requested their Aeronautical Obstruction Clearance. Transport Canada and NAV Canada have no raised objections to the proposed flag pole (see Attachment 3).
- In general, the proposed location and details attached to this report (Attachment 4) have properly addressed the contextual urban design issues and other staff comments identified as part of the review of the subject Development Variance Permit application.

Analysis

Urban Design and Site Planning

- Location chosen for the proposed flag pole facilitates its integration as another structure forming part of the commercial development on the site and the general urban context, becomes a component of the urban plaza on the southwest corner of the development site.
- The small urban plaza space, which is a landmark open space at the corner of Garden City Road and Alderbridge Way (southwest corner of the development site) where the proposed flag pole will be erected, is contained by an 18.0 m (59.0 ft.) high building to the north, and by a 12.50 m (41.0 ft.) high building to the east side.
- Height of the proposed flag pole reflects its landmark role, relates well to the built context around, is proportionate to the size of the flag that will be flown on it, and will positively contribute to signalize and announce the presence of the commercial node and plaza within the larger urban context.

- While the presence of the flag as the visual urban reference/visual landmark is quite clear from the south due to the Garden City open area, the proposed height of the flag pole will also allow the flag to be visible from the north. The proposed flag will fly approximately 6.0 m (19.6 ft.) above the higher building on the north side of the corner urban plaza.
- The thin, vertical characteristics of the flag pole, although 4.0 m (approximately 13.0 ft.) higher than the permitted height of buildings (22.0 m or 72.0 ft.) on the site, does not constitute a visual obstruction toward, or from, any buildings in the immediate context.
- As a reference, the Official Community Plan (OCP) building height recommendations which have been considered in evaluating the proposed flag pole/flag potential impact in the area vs. its intended urban reference role, include:
 - To the west, across Garden City Road from the development site, recommended building heights range from 25.0 m (82.0 ft.) to 35.0 m (115.0 ft.).
 - To the north, across Alexandra Road from the development site, the recommended building height is 25.0 m (82.0 ft.) along Garden City Road.
 - To the east, across McClelland Road from the development site, the height of the Walmart building under construction is 20.0 m (65.6 ft.).
 - OCP guidelines for a Mixed-Use (Retail-Office-Hotel); if it were to be built on the subject site, would allow building heights up to 45.0 m (147.6 ft.).

Staff are of the opinion that given the permitted heights of surrounding buildings the proposed flag pole would be generally acceptable.

Landscape Design and Open Space Design

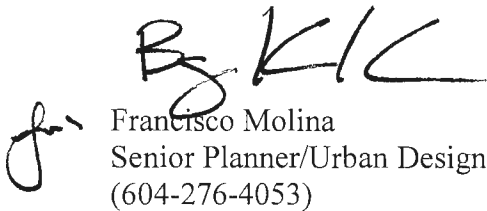
- The proposed location of the flag pole, and the adjustments to the landscaped area and related street furniture being proposed at its base, have been designed to achieve a good relationship/integration with the character of the plaza area at the entry point to the pedestrian corridor into the outdoor oriented neighbourhood commercial centre and adjacent buildings that contain the corner urban plaza space.

Conclusions

The applicant has applied to the City of Richmond for permission to vary the maximum permitted height of an accessory structure in the “Neighbourhood Commercial (ZC32) - West Cambie Area” from 12.0 m (39.4 ft.) to 30.5 m (100 ft.), to erect a flag pole at the southwest corner of the 4751 McClelland Road site.

Specific location, material quality, and design of the proposed flag pole and supporting base, combined with the proposed adjustments to the landscaping design in the plaza area, will achieve a good integration and contextual fit with the developments on the subject site, while also achieving a visual urban reference in the area. The flag pole will highlight the public plaza at the corner of Garden City Road and Alderbridge Way as the pedestrian entrance to the outdoor oriented neighbourhood commercial centre.

On this basis, staff recommends support for the subject Development Variance Permit application.

 Francisco Molina
Senior Planner/Urban Design
(604-276-4053)

FM:blg

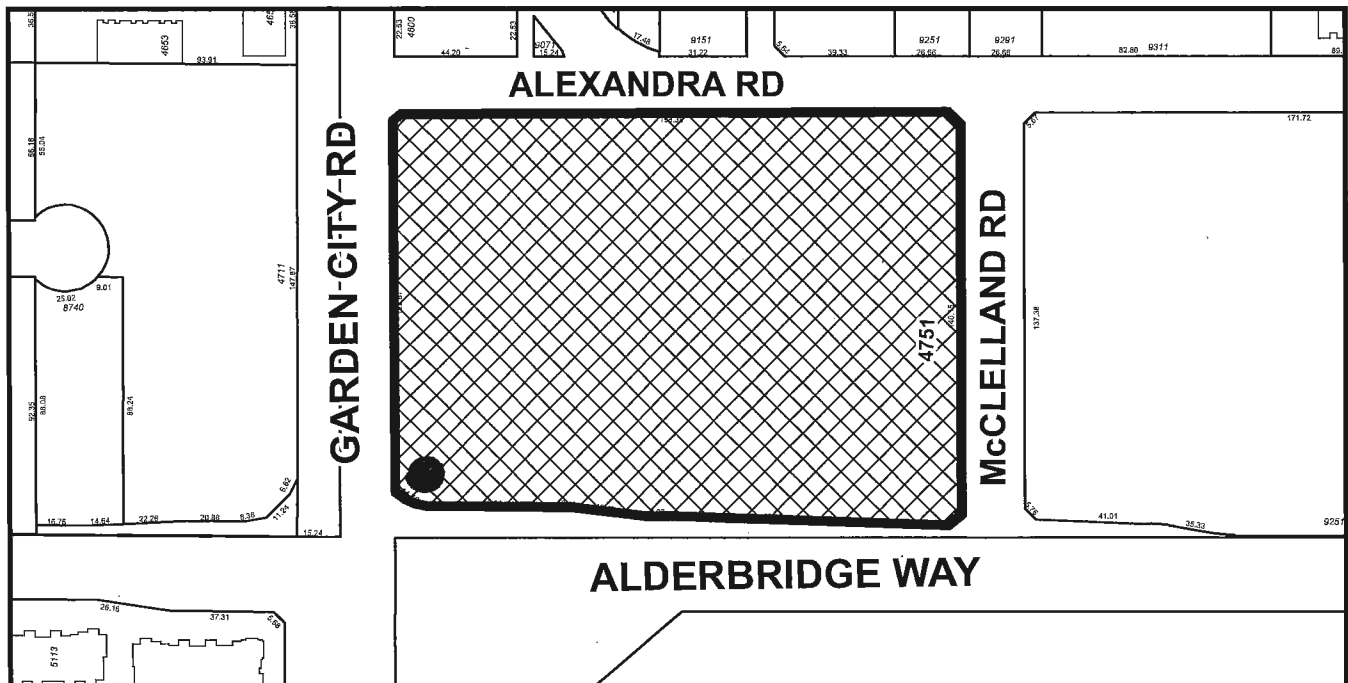
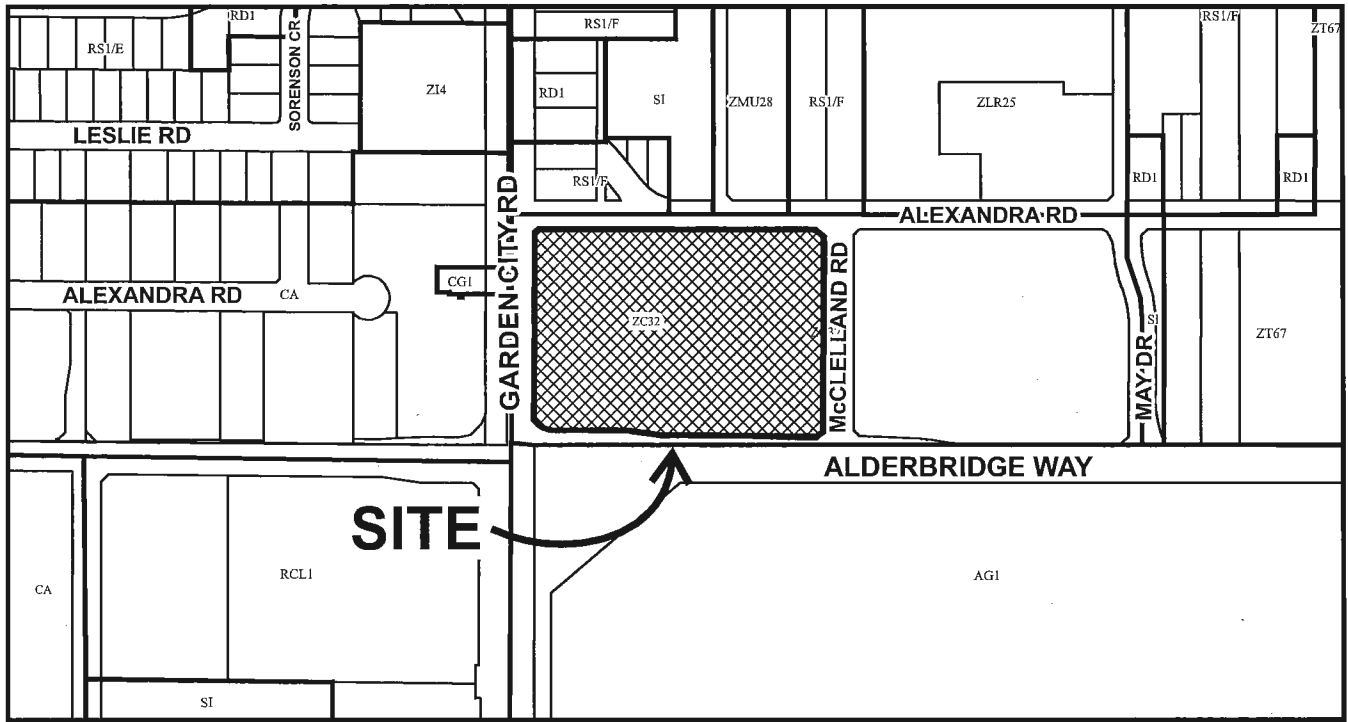
The following are to be met prior to forwarding this application to Council for approval:

Prior to future Building Permit issuance, the developer is required to complete the following:

- Registration of a legal agreement on Title, specifying that the flag pole, which is to be located at the southwest corner of the site, will only be used for the purpose of flying a Canadian flag of approximately 4.57 m (15.0 ft.) by 9.15 m (30.0 ft.) dimensions.



City of Richmond

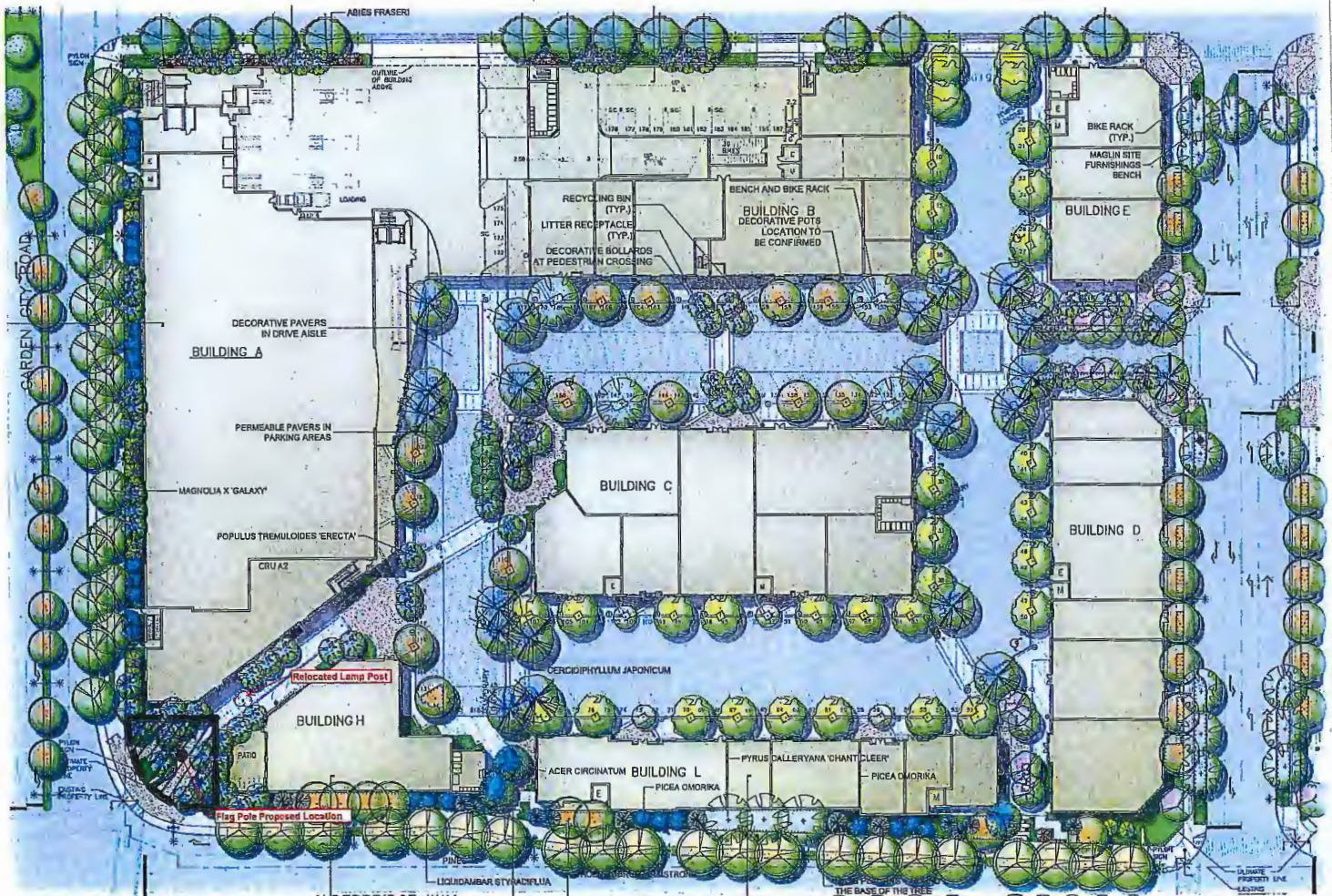


DV 15-709889

Original Date: 09/18/15

Revision Date:

Note: Dimensions are in METRES



From: "Pacific Aeronautical Obstruction Clearance Forms - Pacifique formulaire d'autorisation d'obstacle aérien" <pacAOCF-pacFAOA@tc.gc.ca>
To: 'Cristiana Valero' <CValero@smartreit.com>,
Cc: "'landuse@navcanada.ca'" <landuse@navcanada.ca>
Date: 01/26/2016 04:21 PM
Subject: **ATS-15-16-00045201 APPROVAL** - AERONAUTICAL OBSTRUCTION CLEARANCE - FIRST RICHMOND NORTH SHOPPING CENTRES LIMITED - RICHMOND BC - 100 FEET FLAG POLE - 2016/01/25

The new Aeronautical Obstruction Clearance forms are now available for AOC requests. Please use this form for all future requests.

http://wwwapps.tc.gc.ca/wwwdocs/Forms/26-0427E_1412-05_E_X.pdf

http://wwwapps.tc.gc.ca/wwwdocs/Forms/26-0427F_1412-05_F_X.pdf

Dear Applicant:

Aerodromes & Air Navigation is returning your **accepted Aeronautical Obstruction Clearance Form via email**. Please refer to the TC reference number in the email subject line for any future inquiries.

Please refer to this document for marking requirements.

<http://www.tc.gc.ca/eng/civilaviation/regserv/cars/part6-standards-standard621-3808.htm>

Please ensure that you have met NAV Canada's requirements by going to their website www.navcanada.ca completing their form and submitting it to landuse@navcanada.ca along with a 50k topographic map depicting the location of your project. The Land Use group may be contacted at 1-866-577-0247.

Please send Aeronautical Obstruction Clearance requests to pacAOCF@tc.gc.ca



January 31, 2016

Your file
Garden City - Flag Pole
Our file
15-3183

Ms. Cristiana Valero
SmartREIT
201-11120 Horseshoe Way
Richmond, BC
V7A 5H7

RE: Other Permanent Structure(s): Flag Pole - Richmond, BC
(N49° 10' 41.06" W123° 7' 16.45" / 100.0656' AGL / 108.5958' AMSL)

Ms. Valero,

We have evaluated the captioned proposal and NAV CANADA has no objection to the project as submitted.

In the interest of aviation safety, it is incumbent on NAV CANADA to maintain up-to-date aeronautical publications. To assist us in that end, we ask that you notify us upon completion of construction. This notification requirement can be satisfactorily met by returning a completed, signed copy of the attached form by e-mail at landuse@navcanada.ca or fax at 613-248-4094. In the event that you should decide not to proceed with this project or if the structure is dismantled, please advise us accordingly so that we may formally close the file.

If you have any questions, contact the Land Use Department by telephone at 1-866-577-0247 or e-mail at landuse@navcanada.ca.

NAV CANADA's land use evaluation is valid for a period of 12 months. Our assessment is limited to the impact of the proposed physical structure on the air navigation system and installations; it neither constitutes nor replaces any approvals or permits required by Transport Canada, Industry Canada, other Federal Government departments, Provincial or Municipal land use authorities or any other agency from which approval is required. Industry Canada addresses any spectrum management issues that may arise from your proposal and consults with NAV CANADA engineering as deemed necessary.

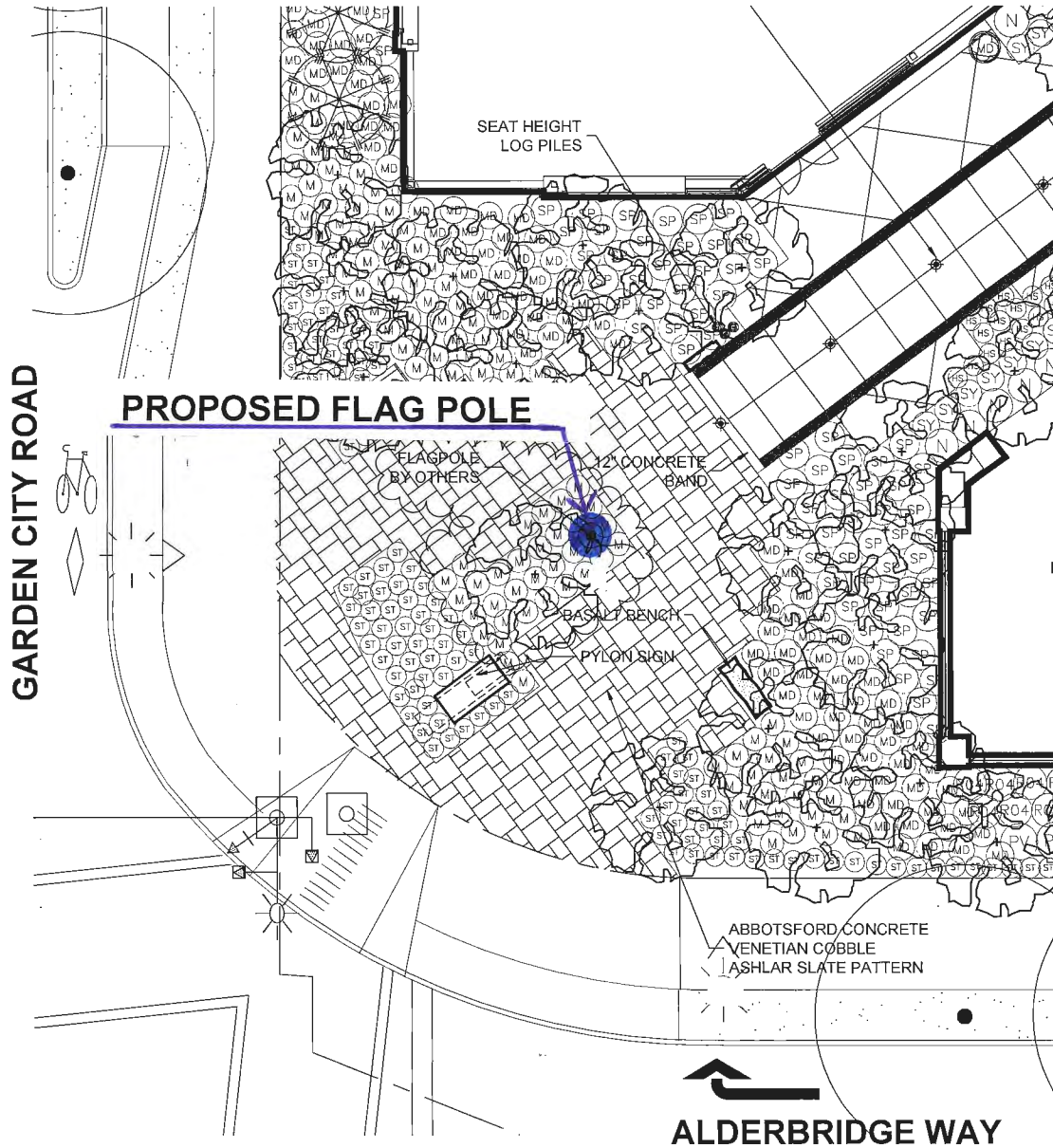
Yours truly,

A handwritten signature in black ink, appearing to be "DL" or similar initials, written over a light blue horizontal line.

David Legault | NAV CANADA

Manager, AIM Data Validation and Publishing

cc PACR - Pacific Region, Transport Canada (ATS-15-16-00045201)
 CAM9 - VANCOUVER INTL (WATER)
 CYVR - VANCOUVER INTL
 CAK7 - VANCOUVER (CHILDREN & WOMEN'S HEALTH CENTRE)(HELI)
 CBD2 - DELTA (NORTH) (HELI)
 CSE7 - DELTA (SEI) (HELI)
 CBK4 - VANCOUVER (GEN HOSPITAL) (HELI)



pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

PROJECT:

**CENTRAL AT GARDEN CITY
WEST PARCEL**

TITLE:

PARTIAL LANDSCAPE PLAN

DATE: 16.MAR.01

SCALE: 1:200

JOBS NO: 13-117

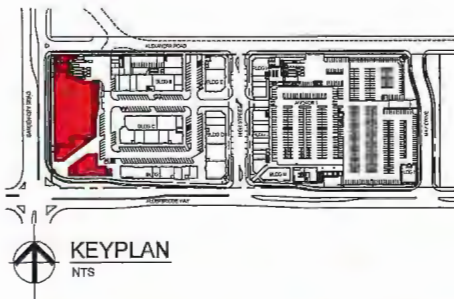
SHEET NO: 1 OF 1



SOUTH ELEVATION - ALONG ALDERBRIDGE WAY
SCALE: 1:150



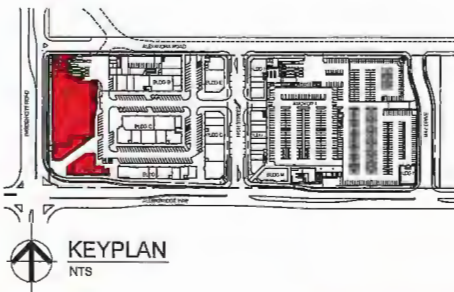
WEST ELEVATION - ALONG GARDEN CITY ROAD
SCALE: 1:150



PROPOSED FLAG POLE ELEVATIONS
CENTRAL AT GARDEN CITY
RICHMOND, BC



PERSPECTIVE - LOOKING NORTH-EAST
SCALE: NTS



PROPOSED FLAG POLE ELEVATIONS

CENTRAL AT GARDEN CITY

RICHMOND, BC



City of Richmond

Development Variance Permit

No. DV 15-709889

To the Holder: FIRST RICHMOND NORTH SHOPPING CENTRES LIMITED

Property Address: 4751 MCCLELLAND ROAD

Address: C/O MICHAEL GILMAN
SMARTCENTRES MANAGEMENT INC.
201 -11120 HORSESHOE WAY
RICHMOND, BC V7A 5H7

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and not to any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to increase the maximum accessory structure height of the Neighbourhood Commercial (ZC32) - West Cambie Area from 12.0 m (39.4 ft.) to 30.5 m (100 ft.) in order to permit the installation of a flag pole on the urban plaza area located on the southwest corner of the site as shown on follows Plan #1 to # 7, attached hereto.
4. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

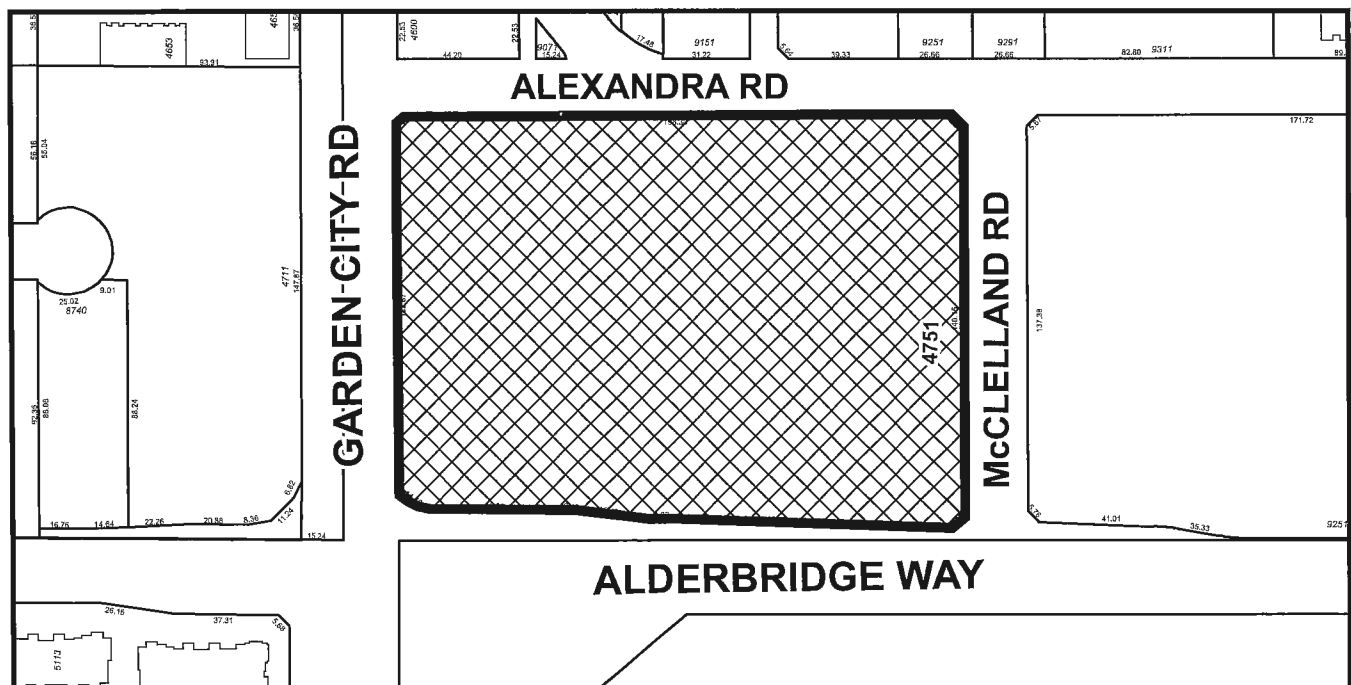
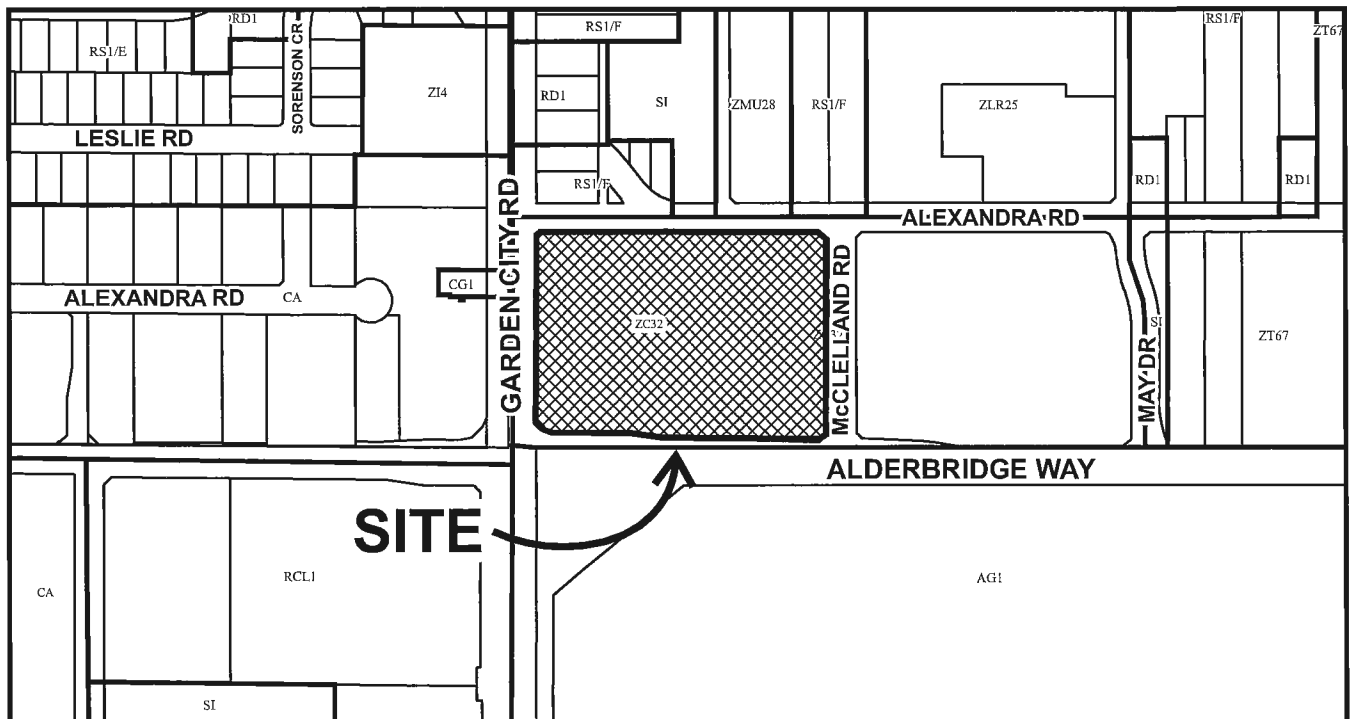
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

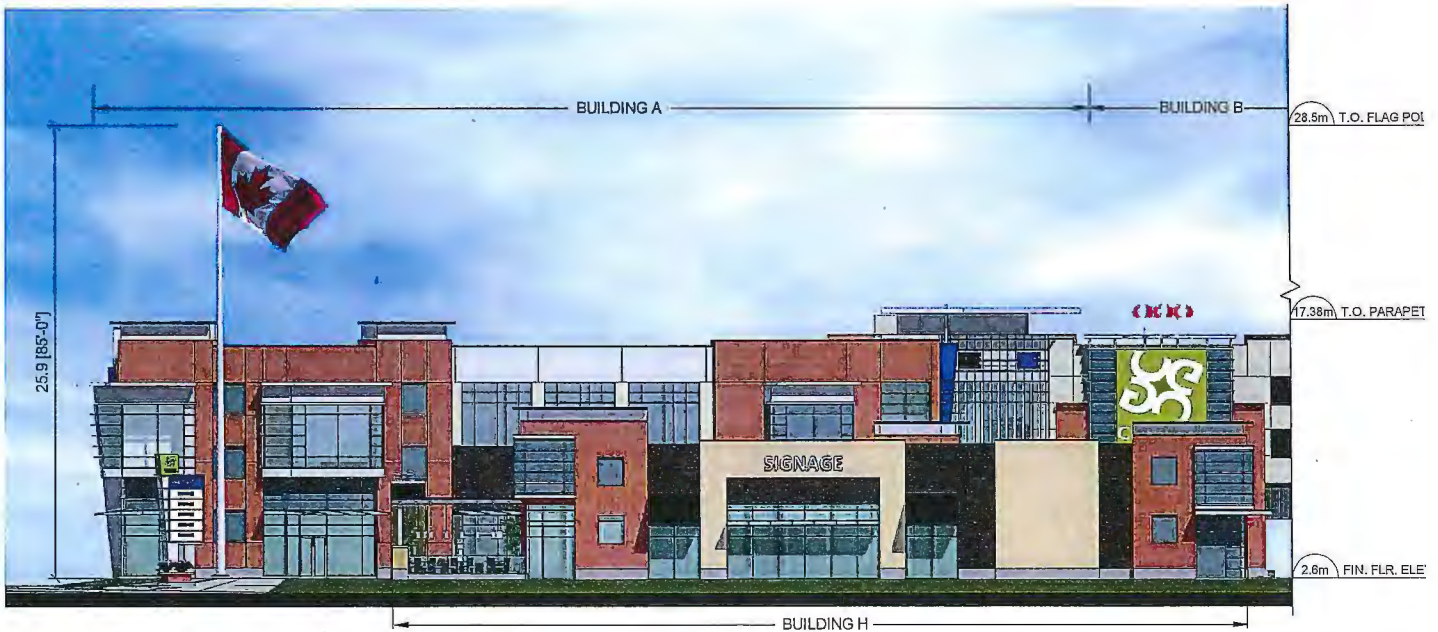


DV 15-709889
SCHEDULE "A"

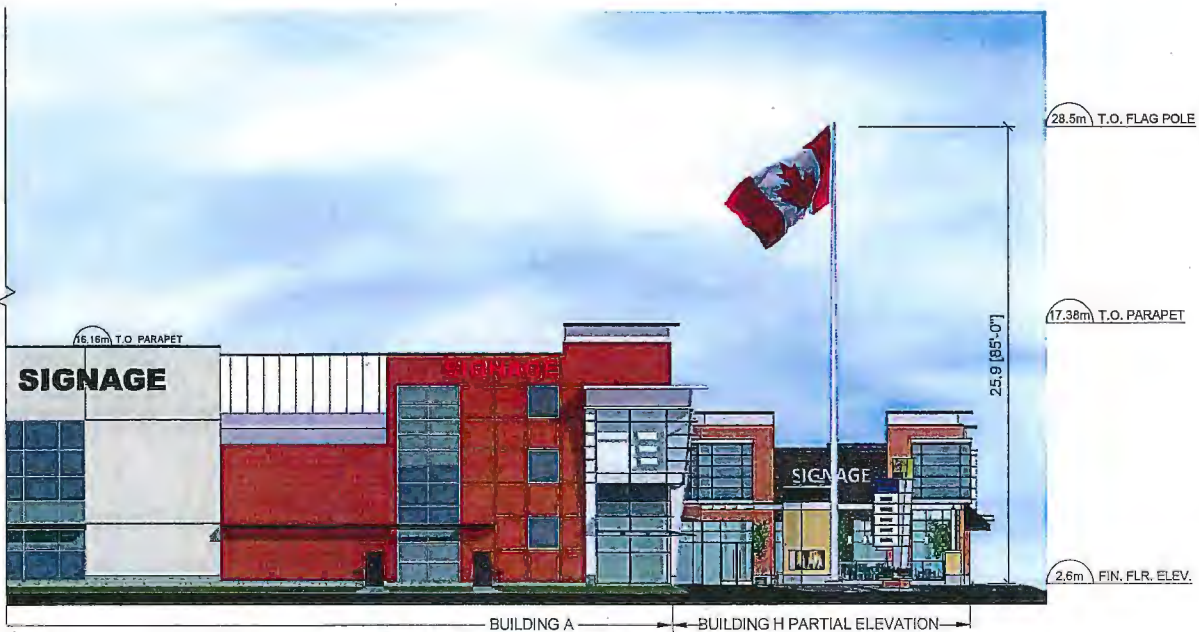
Original Date: 09/18/15

Revision Date:

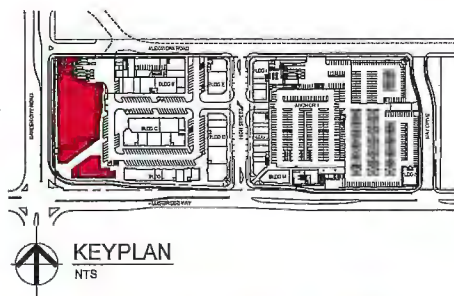
Note: Dimensions are in METRES



SOUTH ELEVATION - ALONG ALDERBRIDGE WAY
SCALE: 1:150



WEST ELEVATION - ALONG GARDEN CITY ROAD
SCALE: 1:150

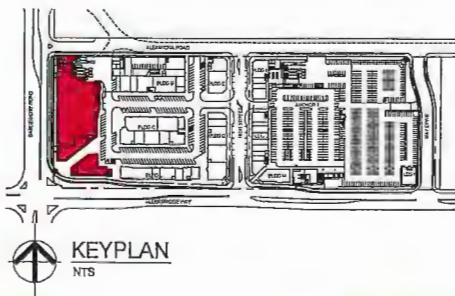


PLAN ② DV 15-709889

PROPOSED FLAG POLE ELEVATIONS
CENTRAL AT GARDEN CITY
RICHMOND, BC



PERSPECTIVE - LOOKING NORTH-EAST
SCALE: NTS



PLAN ③ DV 15-709889

PROPOSED FLAG POLE ELEVATIONS

CENTRAL AT GARDEN CITY

RICHMOND, BC

EWING FLAGPOLE CO. INC.

1445 HOPKINS STREET
WHITBY, ONTARIO
L1N 2C2

TEL: (905) 666-5600
800-663-7653
FAX: (905) 666-5646

April 4, 2016

To Whom It May Concern;

Pole Information:

Pole Type	Length (ft)	Tapered Length (ft)	Butt Dia. (in)	Top Dia. (in)	Straight Thick (in)	Tapered Thick (in)	Flag Size (H'xW')	Wind Speed (M/H)
A	85	60	12	4	0.50	0.50	15' x 30'	90

Calculation Results:

Pole Weight (lbf)	1529.17		
Total Wf without Flag (lbf)	1238.73	Total Mp (lbf ft)	54691.04
Wind Force due to Flag (lbf)	170.21	Bending M due to Flag (lbf ft)	13191.43
Total Shear F on Pole (lbf)	1408.94	Total Bending M (lbf ft)	67882.46
1 Compressive Stress (psi)	84.65	Allowable C. Stress (psi)	16000.00
Tensile Stress (psi)	16336.03	Allowable T. Stress (psi)	22400.00
Shear Stress (psi)	155.99	Allowable S. Stress (psi)	10500.00

Compressive Ratio = 0.872

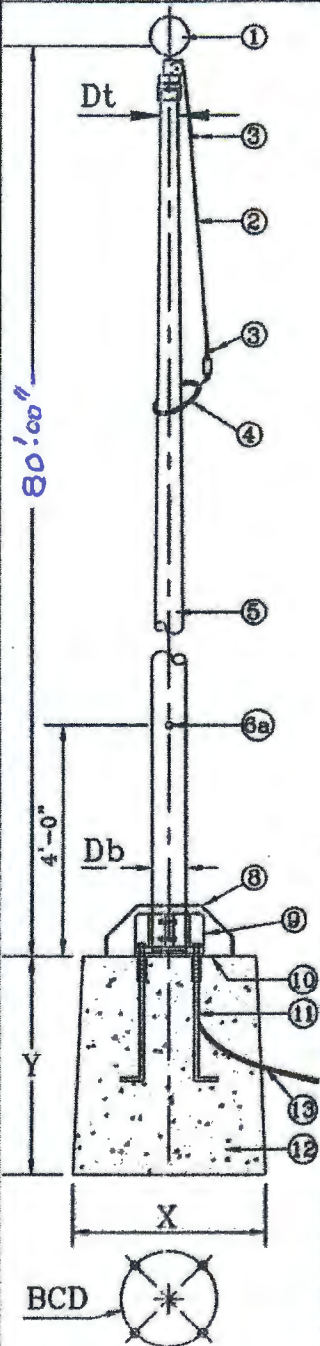
PLAN

④

DV 15-709889

EWING ARCHITECTURAL FLAGPOLES

FLAGPOLE DESIGN REFERENCE



MODEL

SCANW3
(Cone Tapered Aluminum)

BASE

TYPE "B-5" FIXED

HALYARD

INTERNAL WINCH SYSTEM

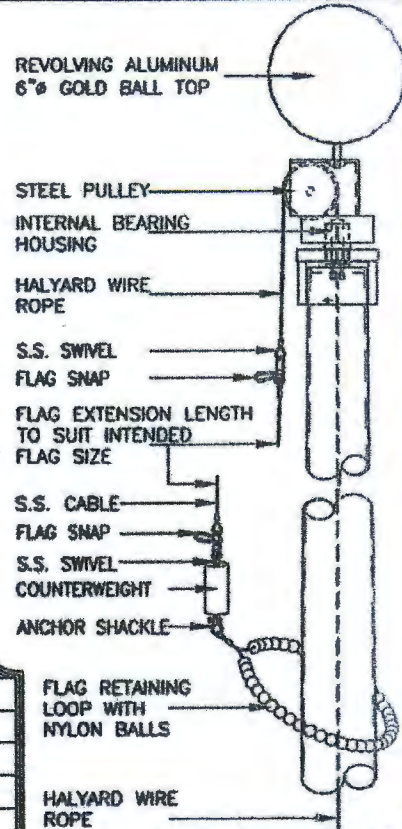
MATERIAL LIST

No	DESCRIPTION	MAT'L	Qty
1	REVOLVING BALL	ALUM	1
2	HALYARD LINE	S.S.	1
3	FLAG SNAP	S.S.	2
4	CABLE LOOP	NYLON	1
5	TAPERED POLE	ALUM	1
6a	WINCH ACCESS	N/A	1
6b	REM CRANK HANDLE	STEEL	1
8	BASE COVER	ALUM	1
9	FIXED BASE	STEEL	1
10	TEMPLATE	STEEL	1
11	ANCHOR BOLTS	STEEL	4
12	FOUNDATION	R.CONC.	1
13	LIGHTNING CABLE	STEEL	1

POLE FINISH

- ☐ SATIN BRUSHED
- ☐ CLEAR ANODIZED
- ☐ LIGHT BRONZE ANODIZED
- ☐ STANDARD BRONZE ANODIZED
- ☐ PAINT FINISH

HALYARD FITTINGS



DIMENSIONS

MODEL W/WINCH	POLE				BASE	
	H	Db	Dt	Wall	BCD	Bolts
SCA60NW3	60'-0"	12"	4"	.250"	17.75"Ø	1.5"Ø
SCA70NW3	70'-0"	12"	4"	.375"	17.75"Ø	1.5"Ø
SCA80NW3	80'-0"	12"	4"	.375"	17.75"Ø	1.5"Ø
SCA85NW3	80'-0"	12"	4"	.500"	17.75"Ø	1.5"Ø

NOTES

POLE MATERIAL:

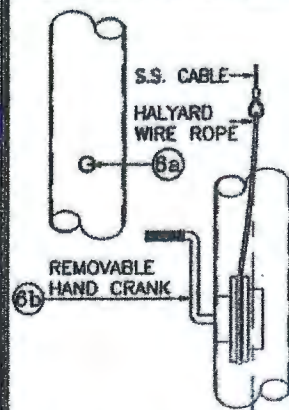
6063-T6 ALLOY SEAMLESS EXTRUDED ALUMINUM TUBING

FOUNDATION NOTE:

EWING IS NOT RESPONSIBLE FOR THE REINFORCED CONCRETE FOUNDATION. CONSULT A CIVIL OR SOIL ENGINEER REGARDING LOCAL SOIL CONDITIONS PRIOR TO SPECIFYING OVERALL FOUNDATION DIMENSIONS.

ACCESS DOOR & HALYARD ARRANGEMENT

ACCESS DOOR & HALYARD ARRANGEMENT



TITLE ARCHITECTURAL CONE TAPERED POLES - DIMENSIONAL REFERENCE SKETCH

SHIP TO:

CUSTOMER:

EWING W.O. No.:

SCALE: NTS

DRAWN BY: EFPC

DRAWING: SCANW3-BALL

No REQ'D

DATE: MAY 15

FILE LOC.: C:\EGFP\DWG

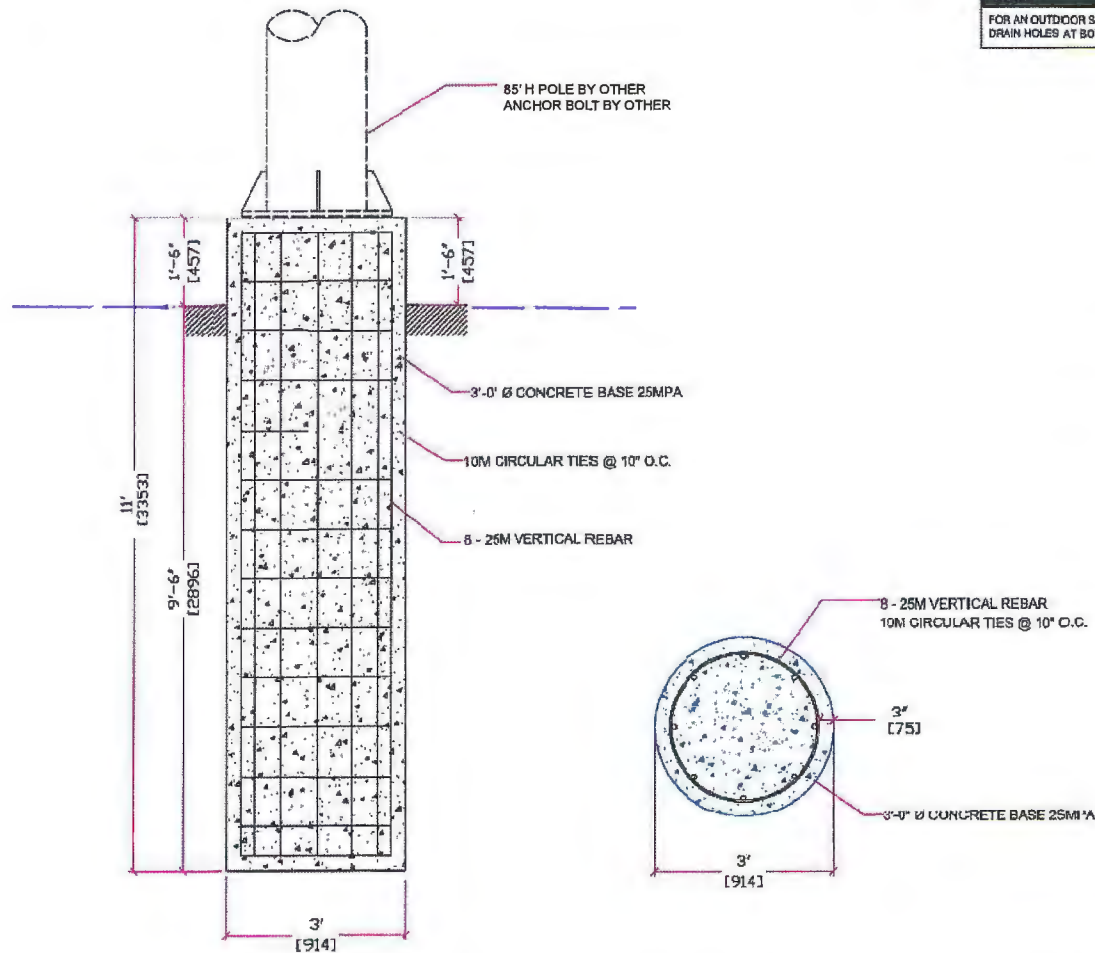
REV.: 0

PLAN 5 DV 15-709889

EWING FLAGPOLE CO. INC.

PENG SEAL

**FLAG POLE -- 85 FEET
(FOUNDATION ONLY)**



PLAN ⑥ DV 15-709889

ELECTRICAL REQUIREMENT	
120	VOLT.
WEIGHT OF SIGN (if applicable)	
NOTE:	
FOR AN OUTDOOR SIGN, MAKE 1/4" Ø DRAIN HOLES AT BOTTOM OF SIGN.	

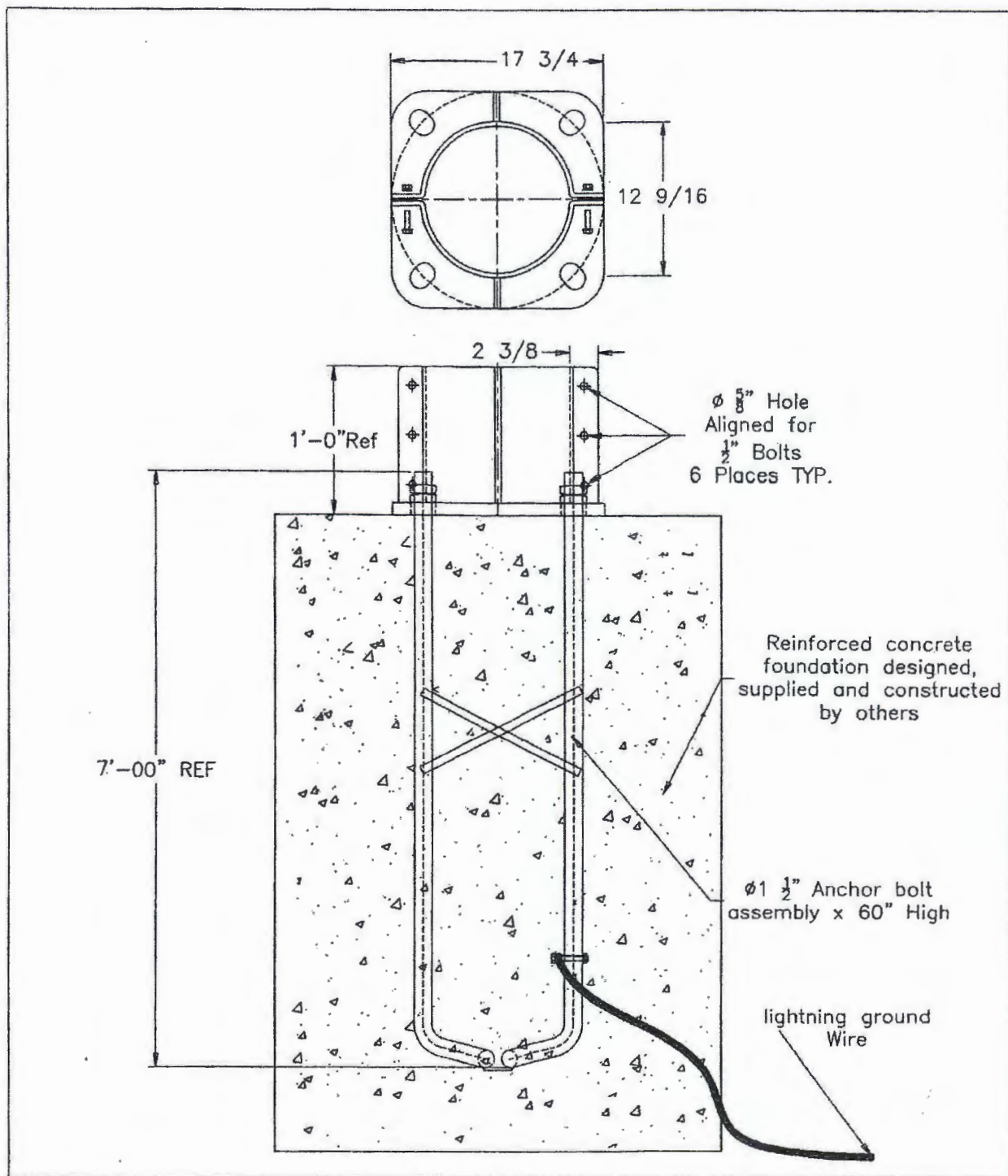
FORWARD SIGNS INC.
4144 Midland Avenue, Scarborough,
Ontario, M1V 4S7
Tel: (416) 291-4477
Fax: (416) 291-4878
E-mail: info@forwardsign.com

CLIENT
SMART CENTER
LOCATION
PROJECT
FLAG POLE
DRAWN BY
JACK
FILE NAME
85 FEET FLAGPOLE S
DATE OF DRAWING
JUNE 01, 2012
SCALE
SALESPERSON
FREDA
REMARKS



CLIENT APPROVED / DATE
ART DEPT. APPROVED / DATE
DRAWING NO.
01



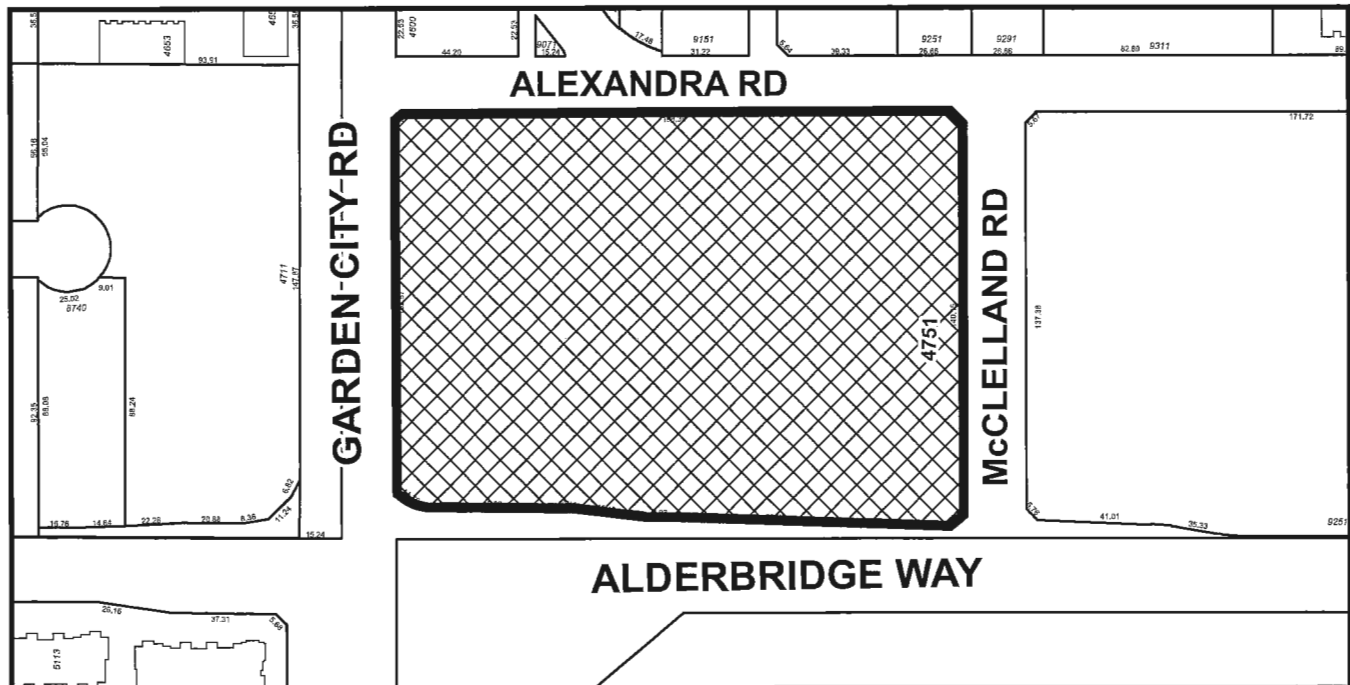
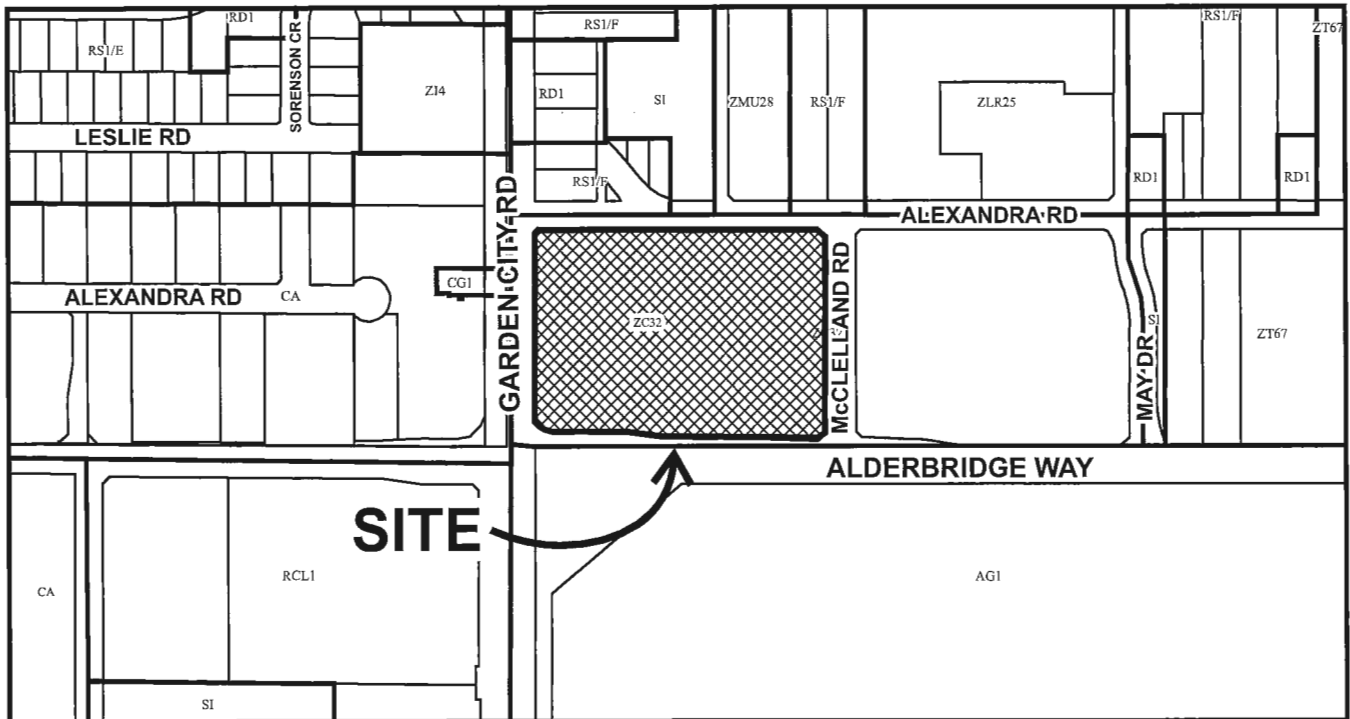


TITLE		Pole Base-Plate			
CUSTOMER					
SHIP TO:	SCALE: NTS	DRAWN BY: S.S	Dwg No.	No REQ'D	
	DATE : April 13	FILE No. C:\dwg\FP	Rev. 0		
EWING FLAGPOLE CO. INC.				EWING W.O. No.	

PLAN ⑦ DV 15-709889



City of Richmond



DV 15-709889

Original Date: 09/18/15

Revision Date:

Note: Dimensions are in METRES



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 19, 2016

From: Wayne Craig
Director of Development

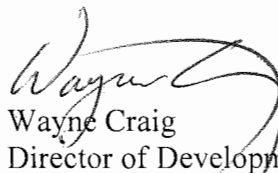
File: DP 15-697654

Re: Application by Canada Haotian Investment Ltd. for a Development Permit at
8191 Alexandra Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a two-storey commercial building at 8191 Alexandra Road on a site zoned "Auto-Oriented Commercial (CA)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum west interior side yard setback from 3.0 m to 0.46 m.


Wayne Craig
Director of Development

EL:blg
Att.

April 19, 2016

DP 15-697654

Staff Report

Origin

This staff report addresses the referral from the April 13, 2016 Development Permit Panel meeting regarding the Development Permit application by Canada Haotian Investment Ltd. at 8191 Alexandra Road. Specifically, the Panel made the following recommendation:

"That DP 15-697654 be referred back to staff to:

- 1. investigate the exact distance of the west side of the proposed building in the subject site from its west property line;*
- 2. examine the existing condition of the adjacent building to the west and its exact distance from the subject site's west property line;*
- 3. enable the applicant to hold further discussions with staff and initiate discussion with the property owner of the adjacent building to the west of the subject site regarding appropriate treatment to address the narrow gap between the two buildings; and*

report back to the April 27, 2016 Development Permit Panel meeting."

This staff report provides the requested information on the separation between the two (2) buildings, and summarizes the revisions made to the application in response to the Panel's referral. The report also presents the amended proposal for consideration by the Development Permit Panel and Council.

Development Information

Please refer to the original staff report submitted to the April 13, 2016 Development Permit Panel meeting in Attachment A for information pertaining to the background, site context, development data, related policies, tree retention and replacement, site servicing, frontage improvements, and aspects of the proposal that have not been revised.

Building Separation

In response to the Development Permit Panel's referral, the applicant confirmed that the proposed building will be set back 0.46 m from the west property line. The applicant decided to set the building back from the west property line as there are existing mechanical ducts on the east wall of the building to the west at 8171 Alexandra Road and the lack of clearance make it more challenging to build the proposed building at zero lot line. In addition, the applicant's engineer suggested that the proposed setback will have benefits for the construction of the foundation and enhance the opportunity for perimeter drainage.

The applicant also confirmed that the adjacent building to the west is set back 0.44 m from the common property line, and the gap building the two (2) buildings will be 0.9 m wide.

April 19, 2016

DP 15-697654

Proposed Revisions

To address the narrow gap between the two (2) buildings, the applicant is proposing to add an architectural feature wall at the west side of the proposed building that will match the height of the adjacent building to the west and will align with that building's facade. This architectural feature will be cantilevered from the proposed restaurant building and clad with light weight metal panels. These metal panels could be removed or modified in the future when the neighboring site to the west is redeveloped. An exit door will be constructed under the cantilevered wall to meet Building Code requirements.

The applicant is also proposing to construct a wall at the rear of the proposed building, adjacent to the garbage enclosure, to close the gap between the buildings for security reasons. The height of the wall will match the height of the garbage enclosure and will appear as an extension of the building. An exit door will be installed to meet Building Code requirements.

As the proposed architectural feature walls will be extended to the neighbouring building and will cross the property line into neighbouring property to the west, an easement to accommodate the proposal granted by the neighbouring property owner is required prior to Development Permit issuance. The Development Permit Considerations have been revised and can be found in Attachment B.

Conclusions

The applicant has revised the Development Permit application to address the concerns expressed by the Development Permit Panel at the meeting held April 13, 2016 regarding the separation of buildings and façade treatment. The revised plans include additions of two (2) architectural feature walls; at the front façade and at the back of the garbage enclosure, to fill the space between the proposed restaurant building and the existing building to the west. The revised concept provides for upgrades to streetscape and the public realm with a continuous street wall along Alexandra Road.

On this basis, staff recommends support for the revised Development Permit application at 8191 Alexandra Road.



Edwin Lee
Planner 1
(604-276-4121)

EL:blg



City of
Richmond

Attachment A

Report to Development Permit Panel

To: Development Permit Panel

Date: March 14, 2016

From: Wayne Craig
Director of Development

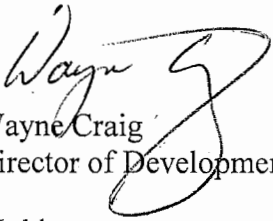
File: DP 15-697654

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2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum west interior side yard setback from 3.0 m to 0.46 m.


Wayne Craig
Director of Development

EL:blg
Att.

Staff Report

Origin

Canada Haotian Investment Ltd. has applied to the City of Richmond for permission to develop a two-storey commercial building with restaurant uses at 8191 Alexandra Road on a site zoned "Auto-Oriented Commercial (CA)". The site is currently vacant.

The applicant proposes to develop the site in accordance with the site's existing zoning. A Servicing Agreement for frontage improvements is required prior to issuance of a Building Permit (see Attachment 1 for details).

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, existing single-family lots on Leslie Road zoned "Single Detached (RS1/E)" and designated General Urban T4 (25 m) in the City Centre Area Plan (CCAP Aberdeen Village Specific Land Use Map);
- To the south, across Alexandra Road, three (3) vacant lots zoned "Auto-Oriented Commercial (CA)", as well as restaurants, a hotel, and commercial complex on lots zoned "Auto-Oriented Commercial (CA)", "Pub & Sales (CP1)", and on Land Use Contract (LUC079); all designated Urban Centre T5 (35 m) in the CCAP (Aberdeen Village Specific Land Use Map).
- To the east and west, a restaurant and retail commercial complexes fronting Alexandra Road; all zoned "Auto-Oriented Commercial (CA)" and designated General Urban T4 (25 m) in the CCAP (Aberdeen Village Specific Land Use Map);

Related Policies & Studies

Official Community Plan (OCP)

The subject property is designated "Mixed Employment" in the Official Community Plan (OCP). This land use designation allows industrial and stand-alone office development with a limited range of support services, including commercial and restaurant uses in certain areas. This proposal is considered consistent with the OCP.

City Centre Area Plan (CCAP)

The site is designated "Urban Centre T4 (25 m)" in the CCAP as shown on the Aberdeen Village Specific Land Use Map, and is located within a designated "Industrial Reserve – Limited Commercial" area (Sub-Area A.2). This sub-area is intended for urban business park purposes; including light industrial uses contained within a building, together with office and, along designated frontages, retail, hotel, and related uses, provided that the floor area of non-industrial

uses on a development site does not exceed that of industrial uses supported. The maximum density floor area ratio (FAR) is 1.2, provided that non-industrial uses does not exceed 50% of total floor area (excluding parking) and retail uses are limited to the street frontage.

The development proposes an interim commercial use of the site, which complies with the site's existing CA zoning. The proposed density of 0.5 floor area ratio (FAR) is significantly less than the 1.2 FAR supported on the site by the CCAP. The applicant proposes to develop a two-storey commercial building and associated surface parking, which does respond to the objective of the CCAP to encourage pedestrian activity along Alexandra Road, which is also designated as a secondary retail street and linkage as part of the pedestrian-oriented retail precincts in the City Center Area Plan.

Floodplain Management Implementation Strategy

The applicant is required to comply with the Flood Plain Designation and Protection Bylaw (No. 8204). In accordance with the Flood Management Strategy, a Flood Indemnity Restrictive Covenant is required prior to Development Permit issuance.

OCP Aircraft Noise Sensitive Development (ANSND) Policy

The subject site is designated as "Area 1A - New Aircraft Noise Sensitive Land Use Prohibited". In Area 1A, aircraft noise sensitive land uses such as residential (including residential security/operator unit), school, daycare and hospital are not permitted. The proposed development does not include any of the prohibited uses. Registration of a Restrictive Covenant on Title, including information to address aircraft noise mitigation and public awareness, is required prior to Development Permit issuance.

Staff Comments

Tree Preservation

A Tree Survey and a Certified Arborist's Report were submitted in support of the application. The City's Tree Preservation Coordinator has reviewed the Arborist Report and has provided the following comments:

- Two (2) Cherry trees (tag# 001 & 002) located on the development site are in very poor condition and are not good candidates for retention. In addition, these trees are in conflict with the proposed parking layout.
- One (1) tree (tag# A) located on City property to be retained (no impact from construction).
- Four (4) trees on neighbouring property (tag# D, E, F and G) are to be retained and protected as per Arborist Report recommendations.

The applicant is proposing to remove two (2) trees located on neighbouring property to the west (tag# B & C) due to the conflict with the proposed development. The applicant has obtained written permission from the adjacent property owner and a Tree Permit (2016-724362) to remove the two (2) trees. One (1) replacement tree will be required to be planted on the adjacent site to the west (8171 Alexandra Road) as a condition to the Tree Permit.

Tree Replacement

Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), four (4) replacement trees are required. The applicant is proposing to plant eight (8) deciduous trees on-site within the surface parking area.

Tree Protection

Tree protection fencing is required to be installed as per the Arborist Report recommendations and the Tree Preservation Plan, prior to any construction activities occurring on-site. In addition, proof that the owner has entered into a contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone will be required prior to Development Permit issuance.

Site Servicing and Frontage Improvements

Prior to Building Permit issuance, the developer is required to enter into a standard Servicing Agreement for the design and construction of frontage improvements; including, but not limited to a 0.15 m wide road curb, a minimum 1.5 m wide landscaped and treed boulevard, and a 2.0 m wide sidewalk, as well as service connections. All works are at the developer's sole cost (i.e., no credits apply).

Development Proposal

The development proposal consists of a two-storey commercial building with surface parking at the back and a vehicle access from Alexandra Road. The design scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified during the review of the subject Development Permit application. In addition, it responds to the intention of applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP) and is generally in compliance with the "Auto-Oriented Commercial (CA)" zone except for the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to vary the minimum west interior side yard setback from 3.0 m to 0.46 m.

(Staff support the reduced interior side yard setback in keeping with the CCAP Development Permit Guidelines for "Sub-Area A.2 – Industrial Reserve – Limited Commercial", where no interior side setback is required to the side property line. The requested variance allows for retail continuity along Alexandra Road, which is encouraged along this secondary retail street within the pedestrian-oriented retail precincts of the CCAP.)

Advisory Design Panel Comments

The Advisory Design Panel supported the design of the project and the Design Panel's suggested design changes have been incorporated into the proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Wednesday, November 4, 2015 is attached for reference (Attachment 3). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '**bold italics**'.

Analysis

Conditions of Adjacency

- The massing of the proposed commercial building responds to the future urban context and fits into a transitional area between future “Industrial Reserve – Limited Commercial” use to the north and “Commercial Reserve – Mid-Rise” use to the south.
- Although the proposed development does not maximize the development potential of the site as supported by its Urban Centre T4 (25 m) designation in the Aberdeen Village, it will introduce an updated commercial character to this portion of the block.
- The existing commercial developments on Alexandra Road are primarily auto-oriented; with an inward orientation and surface parking adjacent to the road. The proposed development will provide new street oriented commercials to the block.
- The proposed building will be located adjacent to Alexandra Road and present a coordinated, urban image characterized by a largely continuous street wall along the street frontages and achieved the visions for “Pedestrian-Oriented Retail Precincts – Secondary Retail Streets & Linkages” in the CCAP. The proposed development will contribute toward the process of incremental change that is underway within the immediate neighbourhood.
- A 1.8 m tall wood fence, 5 ft. wide Evergreen hedge and trees are proposed along the north property line to protect the privacy of the neighbouring single-family homes.
- Light from the anti-glare lighting fixtures in the surface parking lot will be directed away from the adjacent properties. The luminosity on the property line will not exceed 3 foot candles.
- The garbage and recycling storage facility is proposed to be attached to the building and will be located approximately 48 m from the northern lot line which abuts residential use.

Urban Design and Site Planning

- The subject application proposes to introduce a more urban character to this block. The proposed building design will introduce a level of street animation and pedestrian interest along the public edge that is desirable.
- The entry driveway is located on the eastern edge of the site; surface parking is located internally on the lot and is screened from the street by the building.
- A covered sidewalk along the entry driveway will be provided between the parking area and the main entry of the building.
- The location and distribution of regular and small car parking stalls have been considered in order to maximize opportunities to introduce planting islands within the surface parking lot.
- Private utility kiosks are to be located within proposed internal planting area to minimize the impact of private utility structures on the street frontage.
- The development proposal provides 45 vehicle parking spaces; including one (1) accessible parking space, four (4) Class 1 and five (5) Class-2 bicycle parking spaces and

one (1) medium sized loading space are to be provided on-site, all in accordance with the Zoning Bylaw.

- Garbage, recycling and organic waste storage facilities are enclosed and located on the back (north side) of the building.

Architectural Form and Character

- The proposed two-storey commercial building is of appropriate scale and massing in relationship to the surrounding buildings.
- A pedestrian scale is achieved along the Alexandra Road; with the inclusion of building projections, recesses, entry canopy, varying material combinations, and landscape features. Architectural elements; such as wrap-around windows along the street and at the building entry area, as well as a cantilever roof at the top of the northeast corner of the building are incorporated into the design to reflect the site's urban setting and distinguish the building from others commercial developments in the area. Canopies are provided at the restaurant fronts to offer weather protection.
- The proposed building materials (metal wall cladding, curtain wall, wood veneer panel, and stucco) are generally consistent with the Official Community Plan (OCP) Guidelines and are compatible with the existing character of the neighbourhood.
- The palette of colors; including light grey metal panels, earth tone colour stucco finishes, wood slat, and dark colour window mullion, enhances the building appearance.
- The location of the kitchen exhaust and mechanical equipment will be screened by the 5 foot parapet wall on the roof.

Landscape Design and Open Space Design

- The landscape design responds to the site conditions and architectural design and supports sustainability principles.
- Permeable pavers are proposed on the entry driveway and a portion of the surface parking lot.
- The soft landscaping proposed will feature a variety of tree and shrub plantings; which will provide a softening of the buildings, allow for easy maintenance and maintain the privacy of the adjacent developments.
- Low- to mid-height shrubs and groundcovers are planted at the street front to expose the most building character. The texture and seasonal effects of the plants would increase the attractiveness of the streetscape. The openness of the landscaping scheme also provides better indoor-outdoor visual connection.
- Along the east side of the entry driveway, fence and trellis with clematis vine will be planted to break the blank wall of the adjacent building to the east and to provide an attractive feature with seasonal effects within a limited space.
- At the northwestern corner of parking lot, a Pacific Dogwood tree and a Western Red Cedar tree will be planted to provide visual interest in the parking lot.

- Inside the parking lot, a row of Bowhall Red Maple will be planted. Their columnar habit will not interfere with the vehicular operation and will maintain unobstructed view within the parking lot.
- In order to ensure the landscaping works are undertaken, the applicant is required to provide a landscape security of \$114,555.10 with the Development Permit.

Crime Prevention Through Environmental Design

- The site plan minimizes potential entrapment areas and the landscape plan maintains visual permeability.
- Public entrances to the building are visible from the street. Large glazing area along the street front offers opportunities for passive surveillance. Glazing at the north and east elevations provides unobstructed views over the parking lot and entry driveway.
- Parking lighting will provide adequate illumination without spilling onto adjacent properties in the parking area.
- The proposed landscaping and fencing will provide a good separation from the public and adjacent properties.

Accessibility

- An accessible parking space will be provided at a location closest to the building.
- A barrier free circulation path, with a clear width of 1.5 m from the parking area, as well as from the City side walk to the main entrance of the building, will be provided.
- Wheelchair access to the second level restaurant will be provided by an elevator.
- The buildings will comply with all Building Code accessibility conditions.

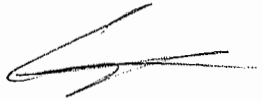
Sustainability

- Use of permeable paving for the entry driveway and portion of the parking area to improve the permeability of the site and reduce volume of storm water discharge to the utility services.
- Use of high Solar Reflectance Index (SRI) material roof (light colour) to reduce heat island effect in order to decrease the amount of heat transferred into the building.
- Use of daylight sensors that respond to weather to control exterior lighting fixtures in order to achieve best energy efficiency.
- Use of low-consumption flush fixtures and low-flow rate faucets to reduce potable water consumption.
- Drought-tolerant species are proposed throughout the site.
- Use of high performance glazing to minimize heat gain or loss.

Conclusions

Staff support the proposed development scheme. Although the development proposal does not maximize the site's development potential at this time, the long-term, interim use that is proposed does support the changing character of the area and the City Centre Area Plan (CCAP) by introducing a more urban commercial development that is characterized by a building design intended to encourage pedestrian activity along Alexandra Road.

Based on the proposal's design response to the objectives of the CCAP, general compliance with the site's existing "Auto-Oriented Commercial (CA)" zone and recognition of the long-term, interim use of the site, staff support the proposed development.



Edwin Lee
Planner 1
(604-276-4121)

EL:blg



**City of
Richmond**

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8191 Alexandra Road

File No.: DP 15-697654

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Receipt of a Letter of Credit for landscaping in the amount of \$114,555.10 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
2. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
3. Registration of an aircraft noise indemnity covenant on title.
4. Registration of a flood indemnity covenant on title.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of frontage improvements along entire frontage on Alexandra Road as well as the design and construction of Water, Storm, and Sanitary service connections. Works include, but may not be limited to:
 - a) Alexandra Road Frontage Improvements (from existing road pavement): 0.15m wide road curb, minimum 1.5 m wide landscaped and treed boulevard and 2.0 m wide sidewalk. A functional plan is required to confirm whether road dedication is required to facilitate the prescribed frontage improvements.
 - b) The Developer is required to coordinate with BC Hydro, Telus and other private communication service providers:
 - i. To underground Hydro service lines when relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - ii. To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). All above ground structures are to be located within the development site.
 - c) Water Works:
 - i. Using the OCP Model, there is 212.0 L/s of water available at a 20 psi residual at the Alexandra Rd frontage. Based on your proposed development, your site requires a minimum fire flow of 200 L/s.
 - ii. The Developer is required to submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs. If adequate flow is not available, the Developer shall be required to upgrade the existing water system that may extend beyond the development site frontage.
 - iii. At the Developers cost, the City is to install a new water service connection complete with meter and meter box along Alexander Road frontage.
 - d) Storm Sewer Works:
 - i. The Developer is required to retain the existing storm service connection and IC along Alexandra Road.
 - ii. At the Developers cost, the City is to:
 - Cut and cap the existing storm service connection at the southwest corner of the development site along the Alexandra Road frontage.

Initial: _____

- Cut and cap the existing storm service connection and remove the existing IC at the southeast corner of the development site.
 - Upgrade the existing storm service connection and IC as required to City standards.
- e) Sanitary Sewer Works: The Developer is required to utilize the existing sanitary service connection.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
 3. Incorporation of accessibility, CPTED, and sustainability measures in Building Permit (BP) plans as determined via the Development Permit process.
 4. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
 5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



DP 15-697654

Attachment 2

Address: 8191 Alexandra Road

Applicant: Canada Haotian Investment Ltd.

Owner: Canada Haotian Investment Ltd.

Planning Area(s): City Center - Aberdeen Village

Floor Area Gross: 1,438 m²

Leasable Area Gross: 1,200 m²

	Existing	Proposed
Site Area:	2,885 m ²	No Change
Land Uses:	Vacant	One (1) commercial building
OCP Designation:	Mixed Employment	No Change
Zoning:	Auto Oriented Commercial (CA)	No Change
Number of Units:	0	2 units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.5	0.5	none permitted
Lot Coverage:	Max. 50%	30.7%	none
Setback – Front Yard:	Min. 3.0 m	3.19 m	none
Setback – Side Yard (East):	Min. 3.0 m	8.08 m	none
Setback – Side Yard (west):	Min. 3.0 m	0.46 m	Variance Requested
Setback – Rear Yard:	Min. 3.0 m	48.23 m	none
Setback to Residential Zone:	Min. 7.5 m for a 2 storey building	48.23 m	none
Height (m):	Max. 12.0 m	12.0 m	none
Off-street Parking Spaces:	3.75 spaces per 100 m ² of gross leasable floor area on the first 2 floors of a building (1,200 m ²) = 45	45	none
Off-street Parking Spaces – Accessible:	Min. 2% when 3 or more visitor parking spaces are required (45 x Min. 2% = 1)	1	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on site (45 x Max. 50% = 22)	21	none
Loading:	1 medium size designated space	1 medium size designated space	none
Bicycle Parking – Class 1:	0.27 spaces per 100 m ² of gross leasable floor area on the first 2 floors of a building (1,200 m ²) = 4	4	none

Bicycle Parking – Class 2:	0.4 spaces per 100 m ² of gross leasable floor area on the first 2 floors of a building (1,200 m ²) = 5	5	none
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Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, November 4, 2015 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Panel Discussion

Comments from the Panel were as follows:

- project is well-designed;
Acknowledged.
- cantilevered piece at the top of the northeast corner of the building is attractive and distinguishes the building in the area;
Acknowledged.
- landscape plan looks good; however, there are too many trees planted in the northwest corner; consider retaining only either grand fir or western red cedar trees;
Acknowledged, the grand fir has been removed and the western red cedar and pacific dogwood to be retained.
- consider replacing the western sword fern in the planter at the front of the building with another species more appropriate for full southern sun exposure;
Acknowledged, the western sword fern has been replaced by Choisya Ternata, which is appropriate for full southern sun exposure. See landscape plan.
- concerned on the health of red maples in the median at the outdoor parking area; consider introducing wheel stops to protect the trees from vehicles; also ensure adequate soil volume for the red maples;
Acknowledged, the wheel stops will be introduced to protect the trees from vehicles. The adequate soil volume will be ensured in construction drawing phase to comply min. 6 cubic soil per tree. See landscape plan.
- applicant has adequately addressed the pedestrian scale on the main street; appreciate the front of the building and the overhang; however, the back of the building appears neglected in terms of material treatment;
The metal panels have been extend to the north and west elevations to give additional articulation and interest. Additional wood slats are proposed at back elevations to give a warmer presence to contrast the proposed glass and stucco of the building. The north half of the elevation has been given additional articulation and interest by these material treatments. See architectural elevation drawings.

- appreciate the overhang at the top of the building which provides weather protection for restaurant customers; consider a different material for the lower portion that extends all the way around the building; consider further treatment to the eaves, e.g. by introducing a metal lattice, to enhance visual interest;
Acknowledged. Metal canopy and horizontal window mullions at lower floor will add articulation all the way around the front part building. For the eaves, additional treatments will be added to enhance visual interest in detail design phase.
- big eaves element above the garbage area appears heavy and does not tie-in with the modern design of the restaurant; consider de-emphasizing the storage area;
The eaves have been removed and the storage area has been de-emphasized.
- noted the sustainability features of the project; overhang at the east side will have minimum impact from a sustainability perspective; would reduce solar heat gain if located in the south side of the building; there is a potential thermal comfort issue due to the large expanse of glass at the south side of the building;
The high-performance glazing (low-e coating) will be utilized at east and south façade to allow the sunlight for interior lighting and also to minimize unwanted heat gain or loss. The roof overhang has been expanded to 5 feet on the south elevation to minimize unwanted heat gain. Together, the thermal comfort will be improved.
- review the location of the kitchen exhaust to avoid adversely affecting the operations of the adjacent property;
The location of the kitchen exhaust has been reviewed to avoid adversely affecting the operation of the adjacent property. See preliminary layout in roof plan.
- great potential to use heat recovery in the kitchen;
Heat recovery in kitchen has been included into in the list of proposed sustainability features and will be considered in the next design phase.
- interesting addition to the area; appreciate the provision of accessible parking; ensure accessibility for pedestrians from the parking area to the main entrance slab via the pedestrian walkway along the east side of the restaurant building;
Acknowledged. The accessibility for pedestrians has been ensured by providing 5 feet wide pedestrian walkway along the east side of the restaurant building.
- appreciate the design of the building; soffit materials are effective; like the general massing;
Acknowledged.
- noticed the lack of programming in seating relative to the kitchen; difficult to determine whether the proposed location of the elevator and stairs are appropriate; the elevator could be relocated to the back of the building to enliven the parking area;
The actual programming in seating relative to the kitchen will be based on future restaurant operators' practical requirements. The current location of elevator and stairs are based on some previous seating layout studies. Because a lot of customers will come by public transit, there will be more convenient for them if the elevator is located in the front.

- the restaurant building could be pushed back to create a patio/outdoor dining area adjacent to the sidewalk and a south-facing outdoor dining deck at the second floor to enliven the street and mitigate solar heat gain from the south side;

There are not too many restaurants along Alexandra Road with outdoor dining deck. To respect the context, and also based on the owner's business mode, second floor patio hasn't been adopted. However, the ground floor windows could be easily modified to patio doors. The patio doors could be opened during the summer time to create semi-outdoor dining experience and also to enliven the street.

- support the previous comments from the Panel regarding the project's plant material; also, the applicant should expect that a street tree will be required for the project as per the City's regulations;

Acknowledged.

- ensure adequate soil volume for the red maple trees in the parking area; spacing between trees appears too close; applicant needs to demonstrate compliance with applicable regulations; structural soil might be required; curb stops would be necessary to keep vehicles off the tree trunks;

Acknowledged, the wheel stops will be introduced to protect the trees from vehicles. The adequate soil volume will be ensured in construction drawing phase to comply min. 6 cubic soils per tree. See landscape plan. The typical spacing between trees is 18'-8" (5.6m).

- proposed vine planting at the east side of the subject site could grow vigorously and present a potential issue with the adjacent development; consider a free standing trellis/green screen product and an appropriate type of vines;

The free standing trellis has been added along the east side of the entrance driveway. The proposed vine planting has been changed to Clematis the president, which is better flowering looking less aggressive. See landscape plan.

- consider introducing some patterning to the large permeable unit paver paving at the entrance driveway; and

Acknowledged. The stripe pattern has been added on entrance driveway. see landscape plan.

- noticed the hose bibs in the parking islands; not sure if the applicant is introducing irrigation.

Yes, hose bibs for irrigation systems.



Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 8191 Alexandra Road

File No.: DP 15-697654

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Receipt of a Letter of Credit for landscaping in the amount of \$114,555.10 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).
2. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
3. Registration of an aircraft noise indemnity covenant on title.
4. Registration of a flood indemnity covenant on title.
5. Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City, securing permission from the owners of 8171 Alexandra Road to allow the proposed architectural features to extend to the existing adjacent building to the west at 8171 Alexandra Road and encroach into the said property.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of frontage improvements along entire frontage on Alexandra Road as well as the design and construction of Water, Storm, and Sanitary service connections. Works include, but may not be limited to:
 - a) Alexandra Road Frontage Improvements (from existing road pavement): 0.15m wide road curb, minimum 1.5 m wide landscaped and treed boulevard and 2.0 m wide sidewalk. A functional plan is required to confirm whether road dedication is required to facilitate the prescribed frontage improvements.
 - b) The Developer is required to coordinate with BC Hydro, Telus and other private communication service providers:
 - i. To underground Hydro service lines when relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - ii. To determine if above ground structures are required and coordinate their locations (e.g. Vista, PMT, LPT, Shaw cabinets, Telus Kiosks, etc). All above ground structures are to be located within the development site.
 - c) Water Works:
 - i. Using the OCP Model, there is 212.0 L/s of water available at a 20 psi residual at the Alexandra Rd frontage. Based on your proposed development, your site requires a minimum fire flow of 200 L/s.
 - ii. The Developer is required to submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs. If adequate flow is not available, the Developer shall be required to upgrade the existing water system that may extend beyond the development site frontage.
 - iii. At the Developers cost, the City is to install a new water service connection complete with meter and meter box along Alexander Road frontage.
 - d) Storm Sewer Works:
 - i. The Developer is required to retain the existing storm service connection and IC along Alexandra Road.

Initial: _____

ii. At the Developers cost, the City is to:

- Cut and cap the existing storm service connection at the southwest corner of the development site along the Alexandra Road frontage.
- Cut and cap the existing storm service connection and remove the existing IC at the southeast corner of the development site.
- Upgrade the existing storm service connection and IC as required to City standards.

e) Sanitary Sewer Works: The Developer is required to utilize the existing sanitary service connection.

2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of accessibility, CPTED, and sustainability measures in Building Permit (BP) plans as determined via the Development Permit process.
4. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

* This requires a separate application.

- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 15-697654

To the Holder: CANADA HAOTIAN INVESTMENT LTD.
Property Address: 8191 ALEXANDRA ROAD
Address: C/O PATRICK XU YANG
PACIFIC WEST ARCHITECTURE INC.
1120 - 1200 WEST 73RD AVENUE
VANCOUVER, BC V6P 6G5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum west interior side yard setback from 3.0 m to 0.46 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$114,555.10 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 15-697654

To the Holder: CANADA HAOTIAN INVESTMENT LTD.

Property Address: 8191 ALEXANDRA ROAD

Address: C/O PATRICK XU YANG
PACIFIC WEST ARCHITECTURE INC.
1120 - 1200 WEST 73RD AVENUE
VANCOUVER, BC V6P 6G5

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

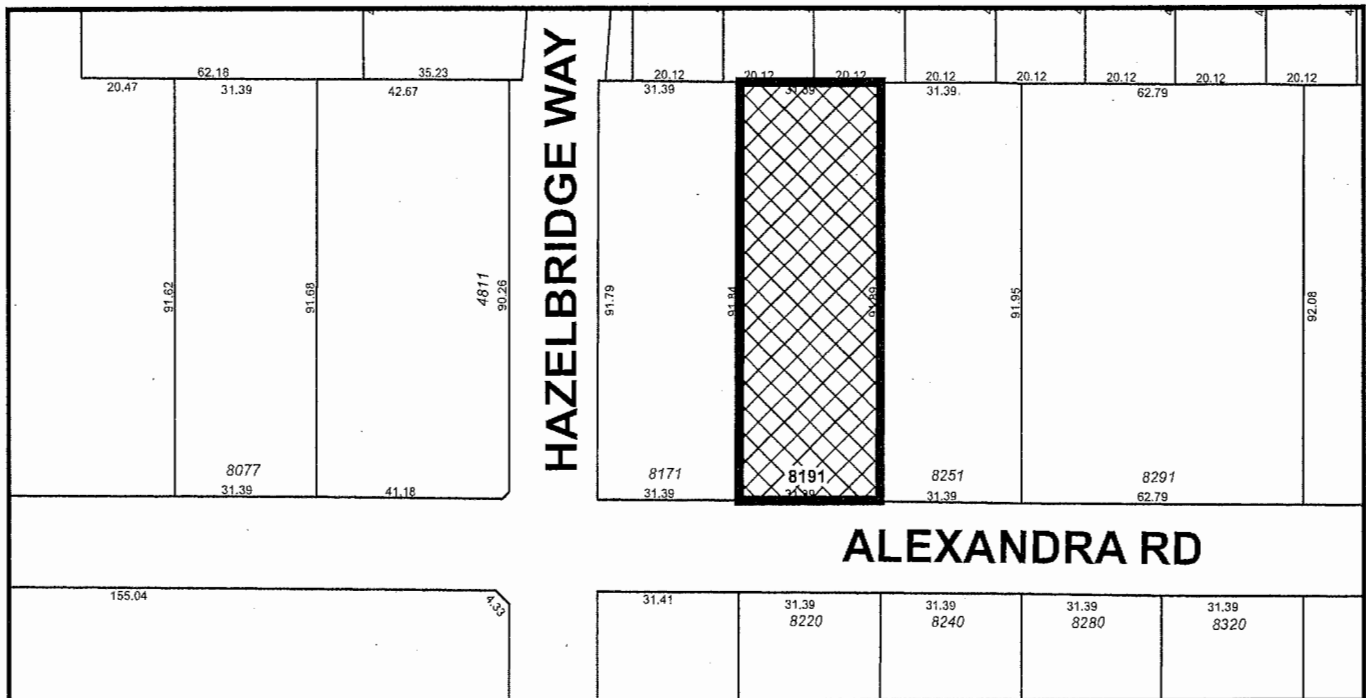
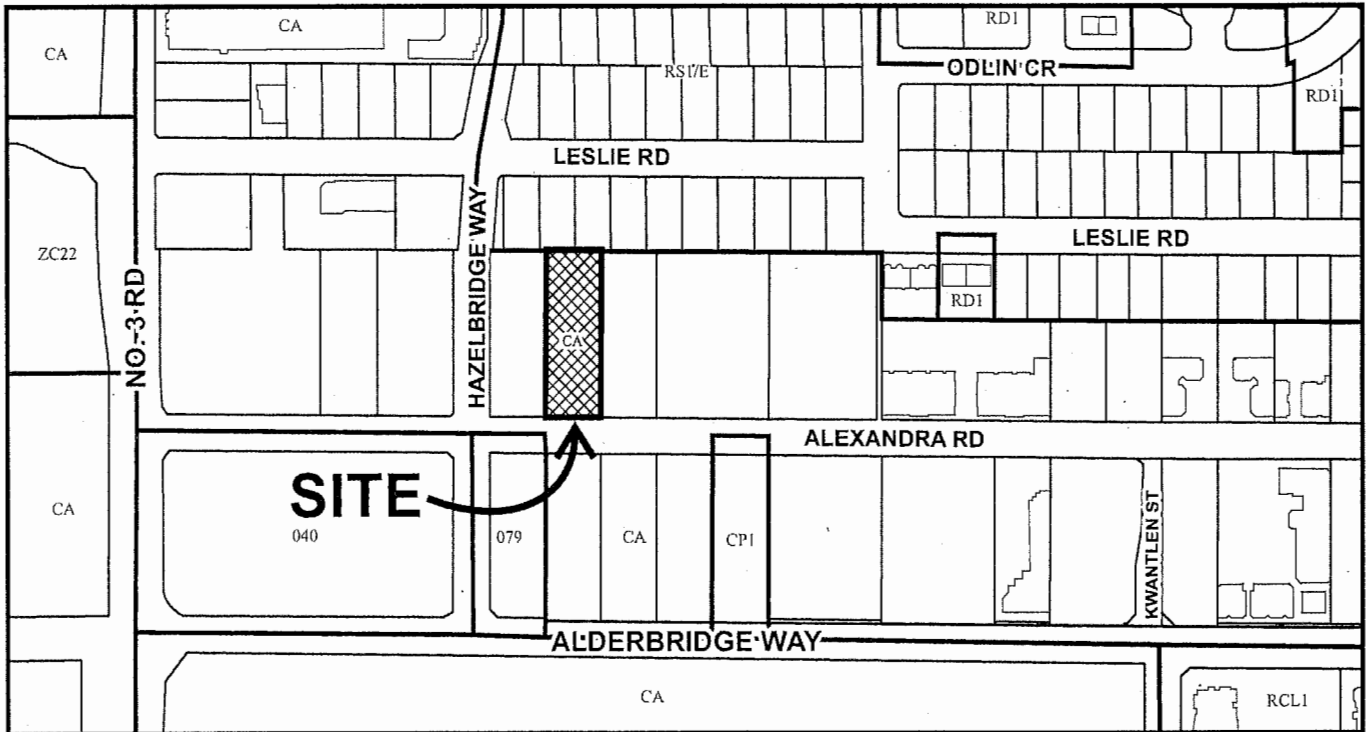
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 15-697654
SCHEDULE "A"

Original Date: 06/29/15

Revision Date:

Note: Dimensions are in METRES

GENERAL NOTE:
BOUNDARIES SHOWN HEREON ARE DERIVED FROM EXISTING RECORDS AND MUST BE CONFIRMED BY SURVEY PRIOR TO THE DETERMINATION OF DIMENSIONS OR AREAS FOR DEVELOPMENT PURPOSES.

SITE INFORMATION
LEGAL ADDRESS: LOT 11 SECTIONS 33 AND 34 BLOCK 5 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT PLAN 6579
CIVIC ADDRESS: 8191 ALEXANDRA ROAD, RICHMOND, BC
ZONE: CA
OVERALL SITE AREA: 2,885m² (31,058 SQ.FT.)
LOT COVERAGE: 30.71%
FSR: 0.5
BUILDING AREA: 1,438 M² (15,478 SQ.FT.)

GROSS FLOOR AREAS
1ST FLOOR RESTAURANT #1 LEASEABLE AREA: 530 m² (5,705 SQ.FT.)
2ND FLOOR RESTAURANT #2 LEASEABLE AREA: 870 m² (9,312 SQ.FT.)
PUBLIC CIRCULATION AND SERVICE: 238 m² (2,562 SQ.FT.)
TOTAL GROSS FLOOR AREAS: 1,438 m² (15,478 SQ.FT.)
GROSS LEASEABLE FLOOR AREA: 1,200 m² (12,917 SQ.FT.)

PERMITTED USES IN CA (T5) ZONE:
OFFICE
HOTEL
RETAIL TRADE & SERVICES
RESTAURANT
ENTERTAINMENT
EDUCATION
NEIGHBORHOOD PUB
INSTITUTIONAL USE
RECREATION
STUDIO
COMMUNITY USE
ACCESSORY USE

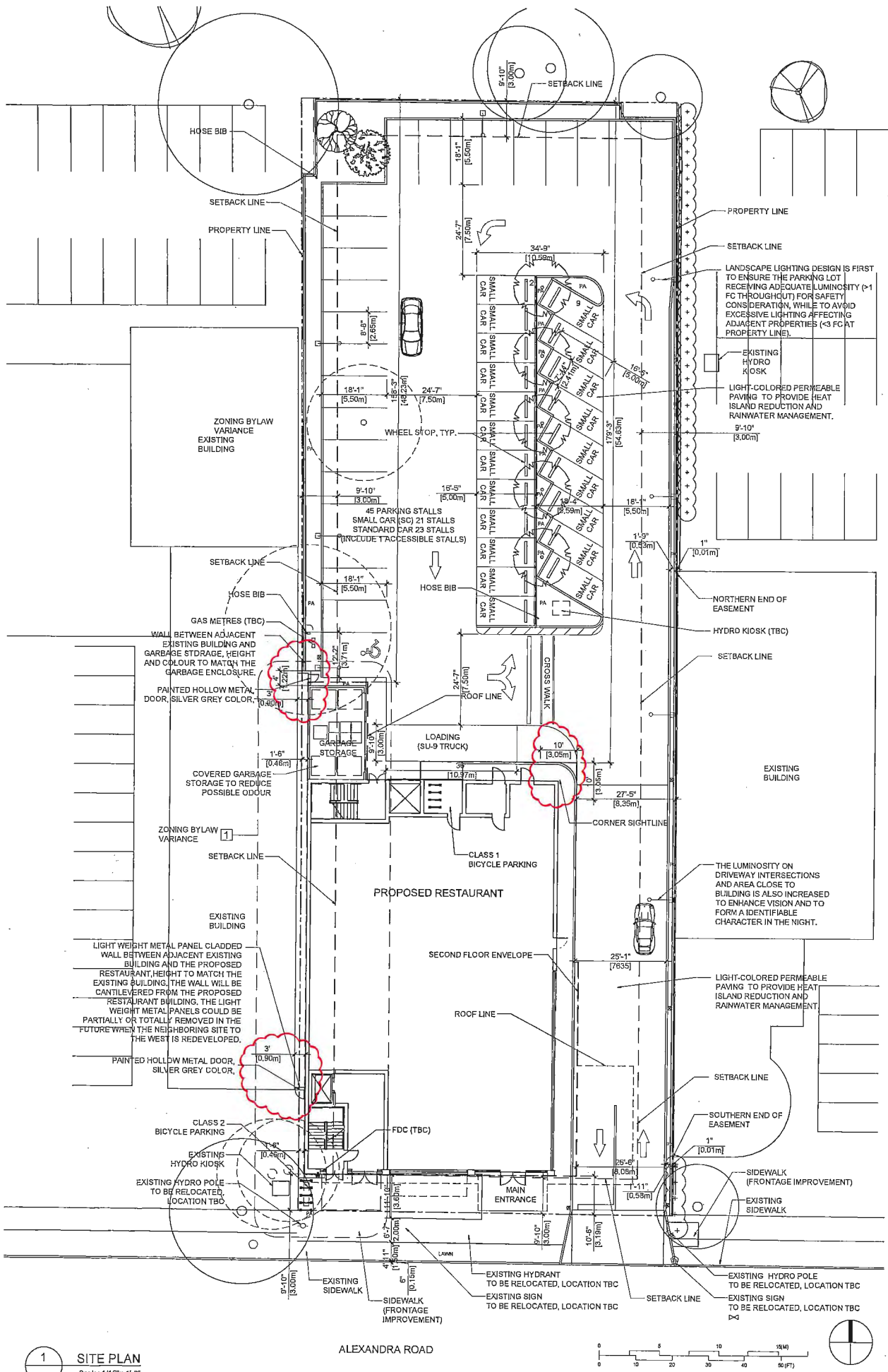
PARKING REQUIREMENTS:
7.9.4 RESTAURANT: 3.75 SPACES PER 100.0M² OF GROSS LEASEABLE FLOOR AREA ON THE FIRST 2 FLOORS OF A BUILDING
GROSS LEASEABLE FLOOR AREA: 1,200 m²
PARKING SPACES REQUIRED: 45
PARKING SPACES PROVIDED: 45
INCLUDING:
STANDARD SPACE: 23
SMALL SPACE: 21
DESIGNATED SPACE: 1

LOADING REQUIREMENTS:
ON-SITE LOADING SPACE REQUIRED: 1 MEDIUM SIZE LOADING SPACE
ON-SITE LOADING SPACE PROVIDED: 1 MEDIUM SIZE LOADING SPACE

BICYCLE PARKING REQUIREMENTS:
ON-SITE BICYCLE PARKING SPACES REQUIRED:
CLASS 1: 4
CLASS 2: 5
ON-SITE BICYCLE PARKING SPACES PROVIDED:
CLASS 1: 4
CLASS 2: 5

PARKING SIZES:
REGULAR CAR STALL: 8'-5" (2.65m) x 18'-0" (5.5m)
SMALL CAR STALL: 7'-11" (2.4m) x 18'-0" (5.5m)
HANDICAP CAR STALL: 12'-2" (3.70m) x 18'-0" (5.5m)
MANEUVERING AISLE WIDTH(80"): 24'-7" (7.5m)
MANEUVERING AISLE WIDTH(60"): 14'-0" (4.3m)
MANEUVERING AISLE WIDTH(45"): 13'-1" (4.0m)
LOADING SPACE (MEDIUM SIZE): 9'-10" (3.00m) x 29'-10" (9.1m)
LOADING SPACE (LARGE SIZE): 11'-0" (3.35m) x 30'-4" (9.3m)
BICYCLE PARKING (CLASS 1): 5'-11" (1.8m) x 2'-0" (0.6m)

ZONING BYLAW VARIANCE				
NO.	BYLAW	DESC	REQUIRED	PROPOSED
1	10.3.6.2	MIN. SIDE YARD	3.0M	0.5M @ WEST



1 SITE PLAN
Scale: 1/16" = 1'-0"

PWA

pacific west architecture

1200 West 73rd Ave (Airport Square)
Suite 1120
Vancouver B.C. V6P 6G5
Office: 604 267 7072
Fax: 604 267 7056
Email: info@pwaarchitecture.com
www.pwaarchitecture.com

REVISIONS

ISSUES	DATE
8	
7	
6	
5	REISSUED FOR DPP
4	ISSUED FOR DPP
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS
2	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS
1	DEVELOPMENT PERMIT REVISIONS

PROJECT

8191 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE

SITE PLAN

DRAWING No.

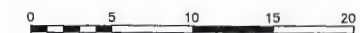
PLAN #1A
DP 15-697654

APR 19 2016
PLAN #1A
DP 15-697654



INF PLANNING AND DESIGN
CORPORATION
602-7888 SABA RD
RICHMOND, BC V6Y 0A2
778 788 5899

SCALE 1 : 200



ALL DISTANCES ARE IN METRES AND DECIMALS THEREOF

NOTES:

BENCHMARK
ELEVATIONS ARE BASED ON:
CITY OF RICHMOND SECONDARY
BENCH MARK #1659
ELEVATION = 1.702 METER
GEODETIC DATUM = CVD28GVRD

LEGEND:

- GROUND ELEVATION
- TREE WITH DRIPLINE
(TIED AT POINT OF ENTRY INTO THE
GROUND)
- MANHOLE
- HYDRO POLE
- WATER VALVE
- SIGNAGE
- RETAINING WALL
- FIRE HYDRANT
- LAMP STANDARD - POST
- EXISTING
- MANHOLE
- FIRE HYDRANT
- FINISHED GRADE ELEVATION
- EXISTING GRADE ELEVATION
- CUT AREA

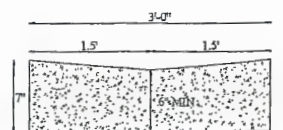
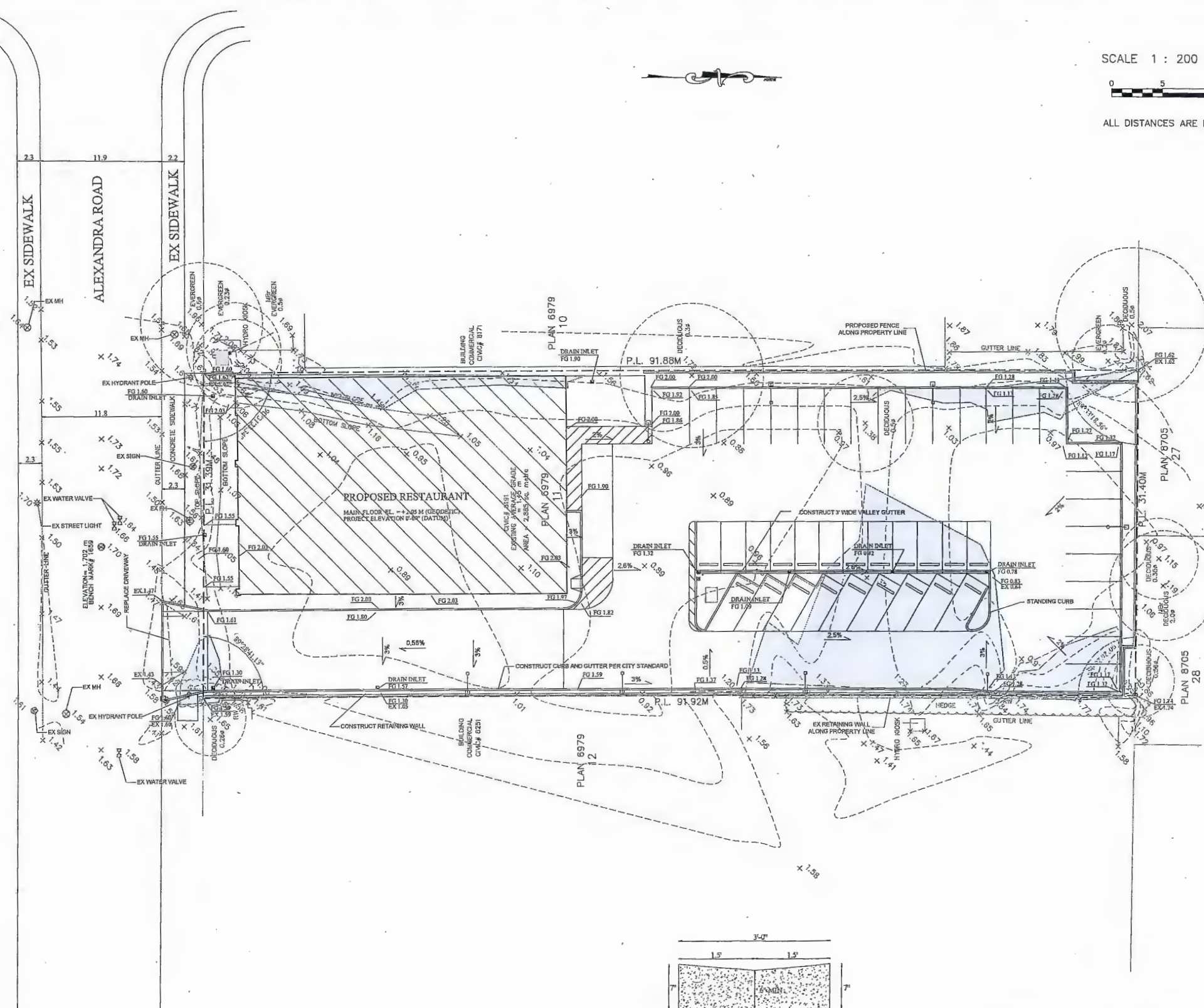
REVIEWS:

PROJECT:

8191 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE:

SITE GRADING PLAN



VALLEY GUTTER DETAIL

ESTIMATED CUT VOLUME = 70 CUBIC METERS
ESTIMATED FILL VOLUME = 964 CUBIC METERS

MAR 14 2016

PLAN 118

DP 15-697654

7.9.4 RESTAURANT: 3.75 SPACES PER 100.0M2 OF GROSS LEASABLE FLOOR AREA ON THE FIRST 2 FLOORS OF A BUILDING

GROSS LEASABLE FLOOR AREA: 1,200 m²

PARKING SPACES REQUIRED: 45

PARKING SPACES PROVIDED: 45

INCLUDING:

STANDARD SPACE: 23

SMALL SPACE: 21

DESIGNATED SPACE: 1

ON-SITE LOADING SPACE PROVIDED: 1 MEDIUM SIZE LOADING SPACE

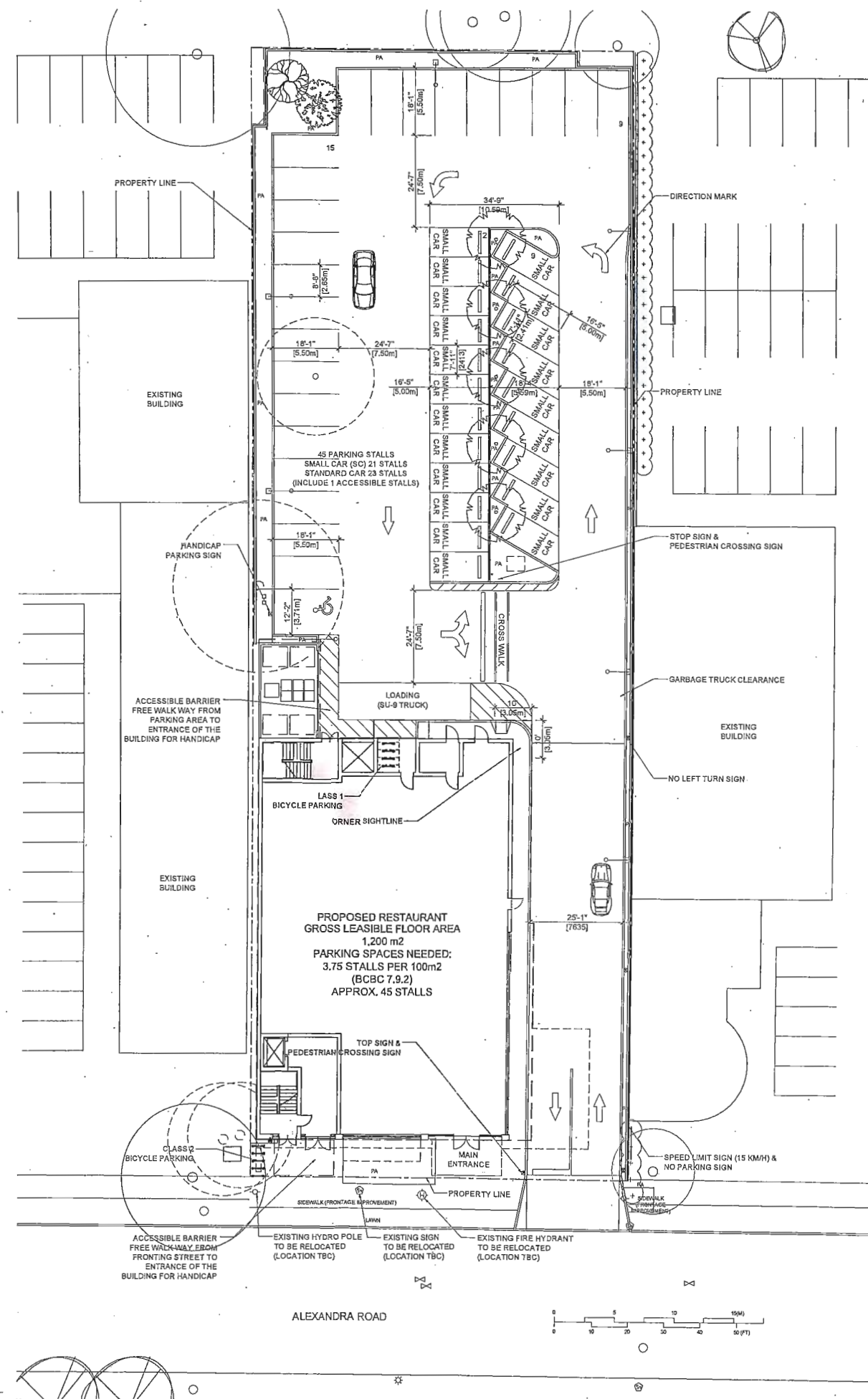
ON-SITE BICYCLE PARKING SPACES REQUIRED:

CLASS 1: 4
CLASS 2: 5

ON-SITE BICYCLE PARKING SPACES PROVIDED:

CLASS 1: 4
CLASS 2: 5

REGULAR CAR STALL:	8'-8" (2.65m) x 15'-0" (5.5m)
SMALL CAR STALL:	7'-11" (2.4m) x 15'-5" (5.0m)
HANDICAP CAR STALL:	12'-2" (3.70m) x 18'-0" (5.5m)
MANEUVERING AISLE WIDTH(90°):	24'-7" (7.5m)
MANEUVERING AISLE WIDTH(40°):	14'-0" (5.5m)
MANEUVERING AISLE WIDTH(45°):	13'-1" (4.0m)
LOADING SPACE (MEDIUM SIZE):	9'-10" (3.00m) X 29'-10" (9.1m)
LOADING SPACE (LARGE SIZE):	11'-6" (3.50m) X 60'-4" (18.4m)
BICYCLE PARKING (CLASS 1):	5'-1" (1.5m) X 2'-0" (0.6M)



REVISIONS	
1	
ISSUES	DATE
8	
7	
6	
5	
4	ISSUED FOR DPP 2016-MAR-18
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS 2015-DEC-15
2	ISSUED FOR ADVISORY DESIGN PANEL 2015-OCT-13
1	DEVELOPMENT PERMIT REVISIONS 2015-SEP-29

PROJECT NUMBER	A016
DRAWN BY	SL
CHECKED BY	PI
DATE CHECKED	
CONSULTANT	

PROJECT

8191 ALEXANDRA ROAD

RICHMOND, BC

DRAWING TITLE

PARKING PLAN

DRAWING No. _____

PLAN #2a

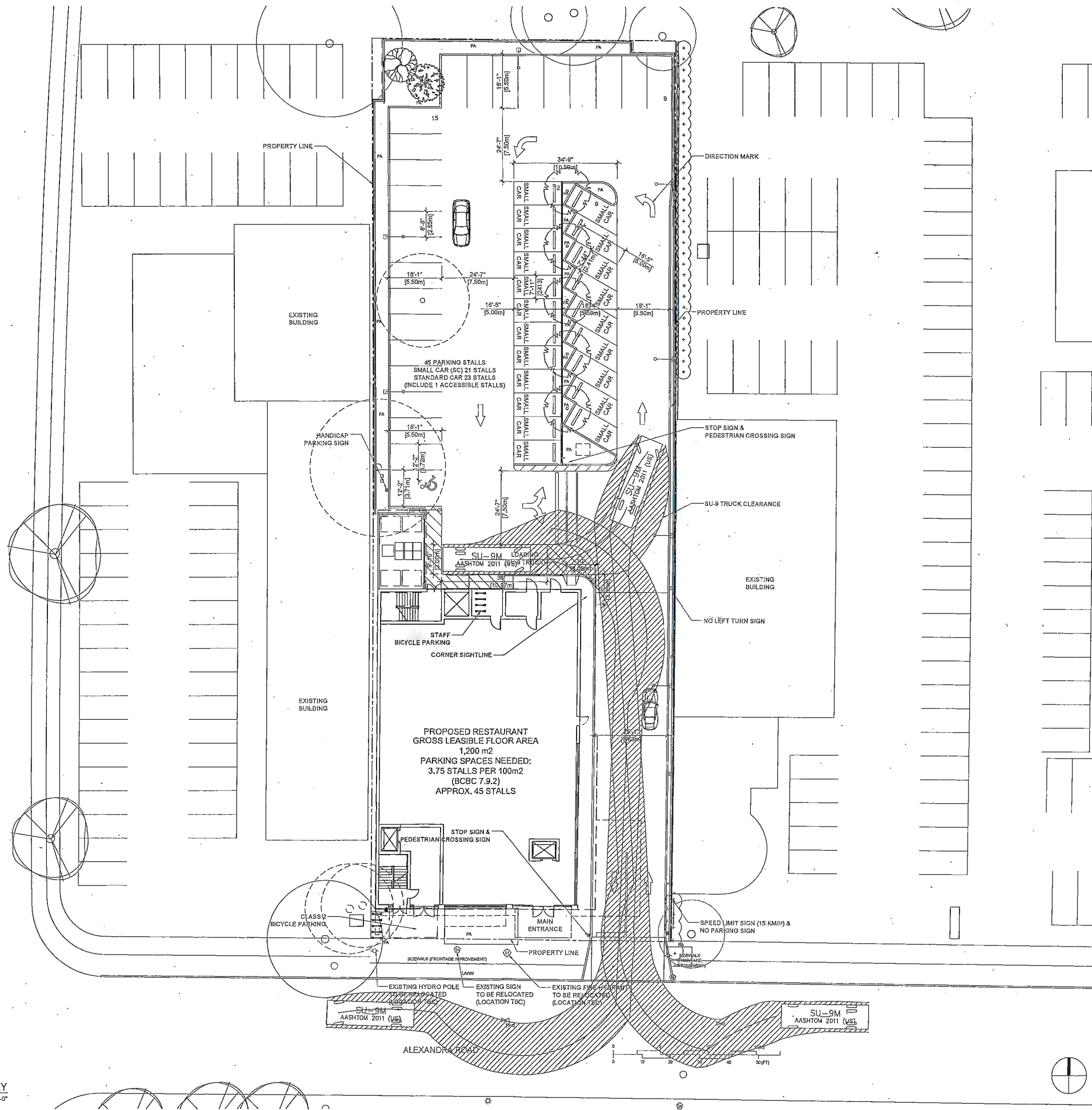
DP 15-697654

MAR 14 2018

PLAN # 2A

15-697654

HAZELBRIDGE WAY



1 SU-9 TRUCK PATH OVERLAY
Scale: 1/16" = 1'-0"

pacific west architecture

1200 West 73rd Ave (Airport Square)
Suite 1120
Vancouver B.C. V6P 6G5

Office: 604 267 7072
Fax: 604 267 7056
Email: info@pwestarchitecture.com
www.pwestarchitecture.com

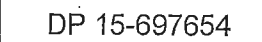
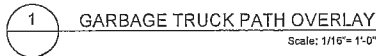
REVISIONS	DATE
1	

ISSUES	DATE
8	
7	
6	
5	
4	ISSUED FOR DPP
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS
2	ISSUED FOR ADVISORY DESIGN PANEL
1	DEVELOPMENT PERMIT REVISIONS

PROJECT NUMBER	A015
DRAWN BY	SL
CHECKED BY	PY
DATE CHECKED	
CONSULTANT	

PROJECT	8191 ALEXANDRA ROAD
	RICHMOND, BC
DRAWING TITLE	SU-9 TRUCK PATH OVERLAY
DRAWING No.	PLAN #2b
	DP 15-697654

DP 15-697654 PLAN #2b MAR 14 2016



DP 15-697654 PLAN #2C



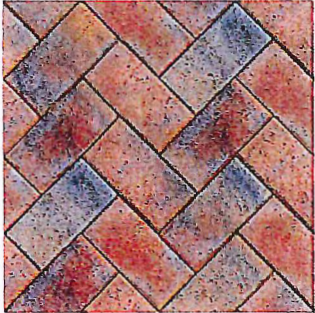
DP 15-697654 PLAN # 2D APR 19 2016

MATERIAL KEY

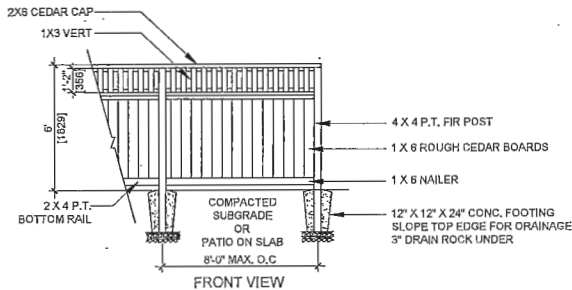
SYM	NAME	REMARK
	Blacktop Asphalt	
	Concrete	
	Unit Paver	Permeable Paving: Abbotsford Concrete Products, Aqua Paver, Desert Sand



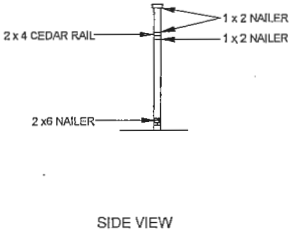
Bike Rack



Unit Paver



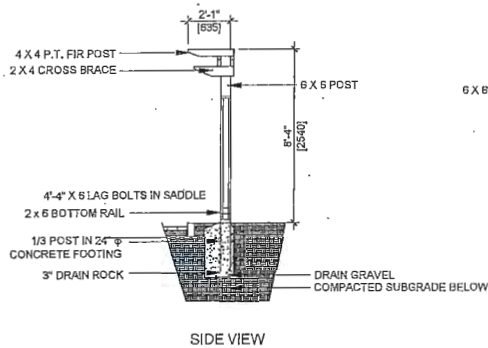
NOTE:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR, #2(CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION.
MATCH TRIM COLOR PER ARCH SPEC, CONFIRM WITH ARCHITECT
5. ALL FENCES TO BE LEVEL CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.)
GAPS TO GRADE TO FOLLOW FINISH GRADE. CAP TO BE 3/4".



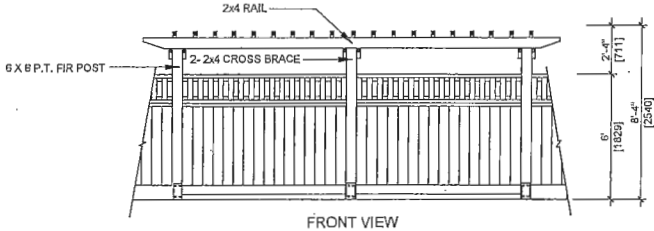
SIDE VIEW



PLAN VIEW



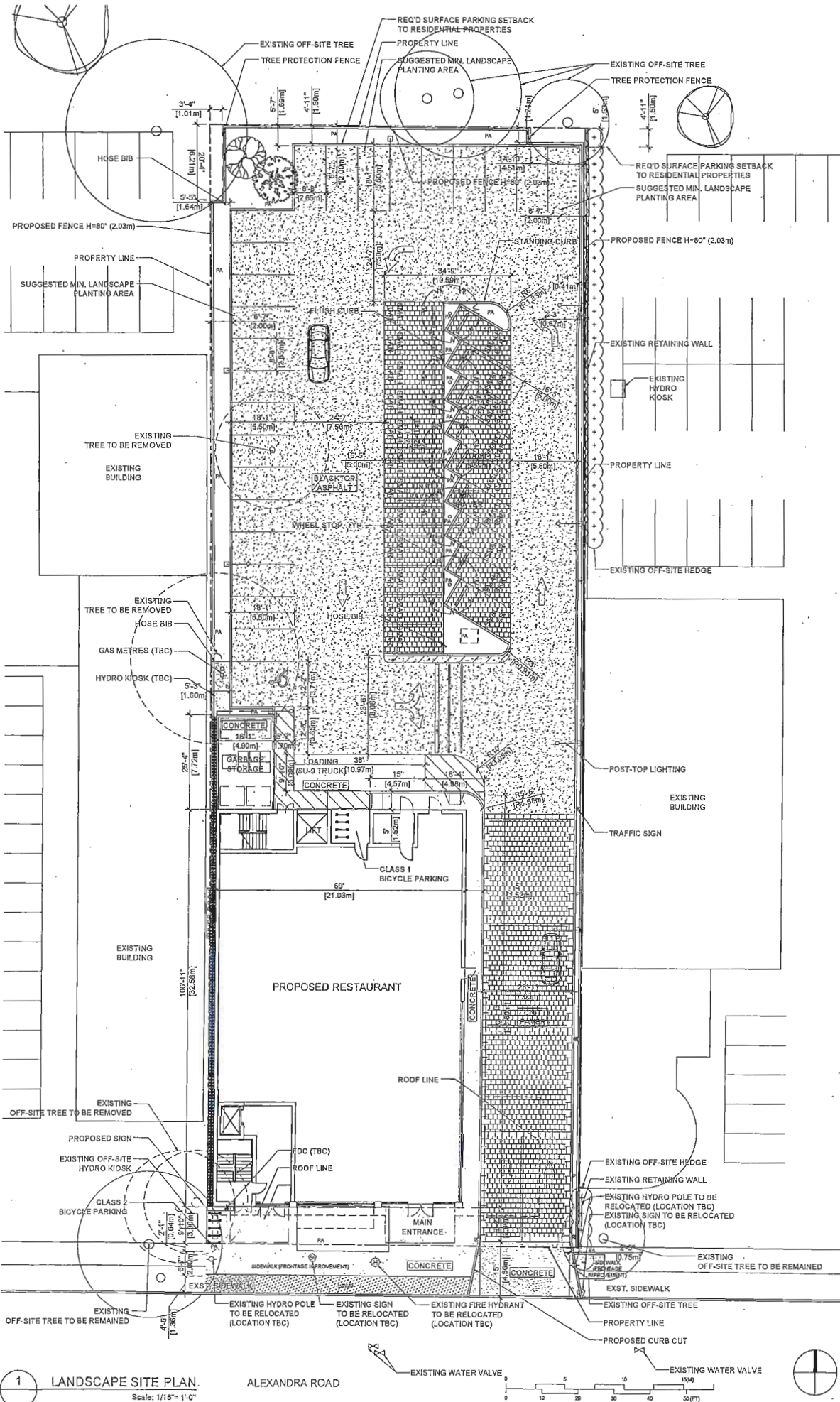
SIDE VIEW



FRONT VIEW

NOTE:
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND CUTS TREATED WITH PRESERVATIVE.
2. ALL OTHER MEMBERS TO BE CEDAR, #2(CONSTRUCTION) GRADE MINIMUM.
3. ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION.
MATCH TRIM COLOR PER ARCH SPEC, CONFIRM WITH ARCHITECT
5. COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE

2 FENCE DETAIL
Scale: 1/4" = 1'-0"



1 LANDSCAPE SITE PLAN
Scale: 1/16" = 1'-0"

PWA

pacific west architecture

1200 West 73rd Ave (Airport Square)
Suite 1120
Vancouver B.C. V6P 6G5
Office: 604 287 7072
Fax: 604 287 7055
Email: info@pwaarchitecture.com
www.pwaarchitecture.com

LUXU STUDI
LANDSCAPE ARCHITECTURE
12 688 RIVERVIEW BLVD UNIT 112, CANADA
VANCOUVER, BC V6N 1X4
TEL: 604 287 7055

REVISIONS	
1	

ISSUES	DATE
8	
7	
6	
5	
4	ISSUED FOR DPP
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS
2	ISSUED FOR ADVISORY DESIGN PANEL
1	DEVELOPMENT PERMIT REVISIONS

PROJECT NUMBER	AD15
DRAWN BY	SL
CHECKED BY	LX
DATE CHECKED	
CONSULTANT	

PROJECT
8191 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING NO.
PLAN #3a

PROJECT NUMBER
AD15

DRAWN BY
SL

CHECKED BY
LX

DATE CHECKED

CONSULTANT

PROJECT
8191 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING NO.
PLAN #3a

PROJECT NUMBER
AD15

DRAWN BY
SL

CHECKED BY
LX

DATE CHECKED

CONSULTANT

PROJECT
8191 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
LANDSCAPE SITE PLAN

DRAWING NO.
PLAN #3a

PROJECT NUMBER
AD15

DRAWN BY
SL

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DATE CHECKED

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REVISIONS

ISSUES	DATE
8	
7	
6	
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4	ISSUED FOR DPP 2015-MAR-18
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS 2015-DEC-15
2	ISSUED FOR ADVISORY DESIGN PANEL 2015-OCT-13
1	DEVELOPMENT PERMIT REVISIONS 2015-SEP-29

PROJECT NUMBER	A015
DRAWN BY	SL
CHECKED BY	LX
DATE CHECKED	
CONSULTANT	

PROJECT

8191 ALEXANDRA ROAD

RICHMOND, BC

DRAWING TITLE

LANDSCAPE
LIGHTING PLAN

DRAWING No.

PLAN #3b

DP 15-697654

MAR 14 2016

PLAN #3B

DP 15-697654

DP

LANDSCAPE LIGHTING DESIGN RATIONALE

LANDSCAPE LIGHTING DESIGN IS FIRST TO ENSURE THE PARKING LOT RECEIVING ADEQUATE LUMINOSITY (1 FC THROUGHOUT) FOR SAFETY CONSIDERATION, WHILE TO AVOID EXCESSIVE LIGHTING AFFECTING ADJACENT PROPERTIES (<3 FC AT PROPERTY LINE). SECONDLY, THE LUMINOSITY ON DRIVEWAY INTERSECTIONS AND AREA CLOSE TO BUILDING IS ALSO INCREASED TO ENHANCE VISION AND TO FORM A IDENTIFIABLE CHARACTER IN THE NIGHT.

LANDSCAPE LIGHTING LEGEND

- 3.1 LUMINOSITY VALUE (FOOT-CANDLE)
3.0 LUMINOSITY CONTOUR (FOOT-CANDLE)

LIGHTING FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	QNTY
○—□	POST-TOP LIGHT	10

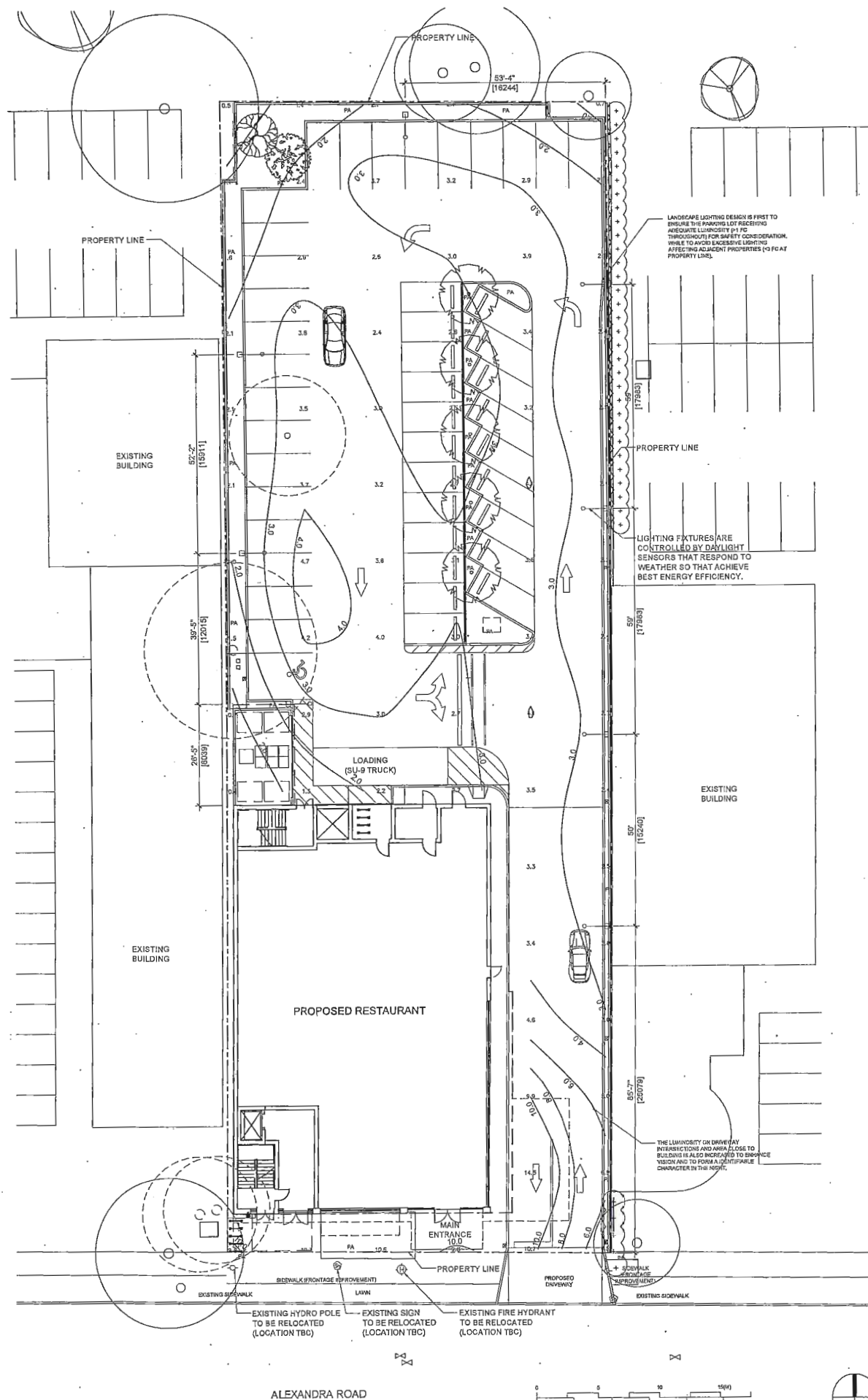
REMARK

THE PHOTOMETRIC ANALYSIS IS CALCULATED USING SOFTWARE "DESIGN MASTER PHOTOMETRICS", BASED ON FOLLOWING LIGHTING FIXTURES:

TYPE: POST-TOP LIGHT W/ ANTI-GLARE SHIELD.
MODEL: PHILIPS AVALUME AVA-1-3-150MH-120
LAMP HEIGHT 30 FT,
TILT 30 DEGREE (TOWARD PARKING LOT),
ARM LENGTH 6 FT,
LOSS FACTOR = 1

TYPE: CEILING MOUNT RECESSED POT LIGHT
MODEL: PHILIPS GARDCO DESIGNER CANOPY
220P-150-MH
LAMP HEIGHT 30-33 FT,
LOSS FACTOR = 1

CHANGES IN LIGHTING FIXTURES REQUIRE
RE-CALCULATION



1 LANDSCAPE LIGHTING PLAN
Scale: 1/16" = 1'-0"



Acer rubrum 'Bowhall'



Cornus nuttallii



Thuja plicata



Arbutus unedo



Sarcococca hookeriana
var. humilis



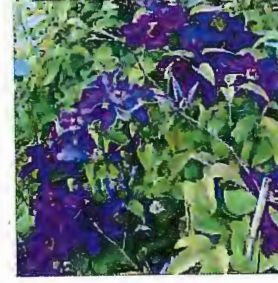
Buxus sempervirens



Choisya Ternata



Carex caryophyllaea
'The Beatles'



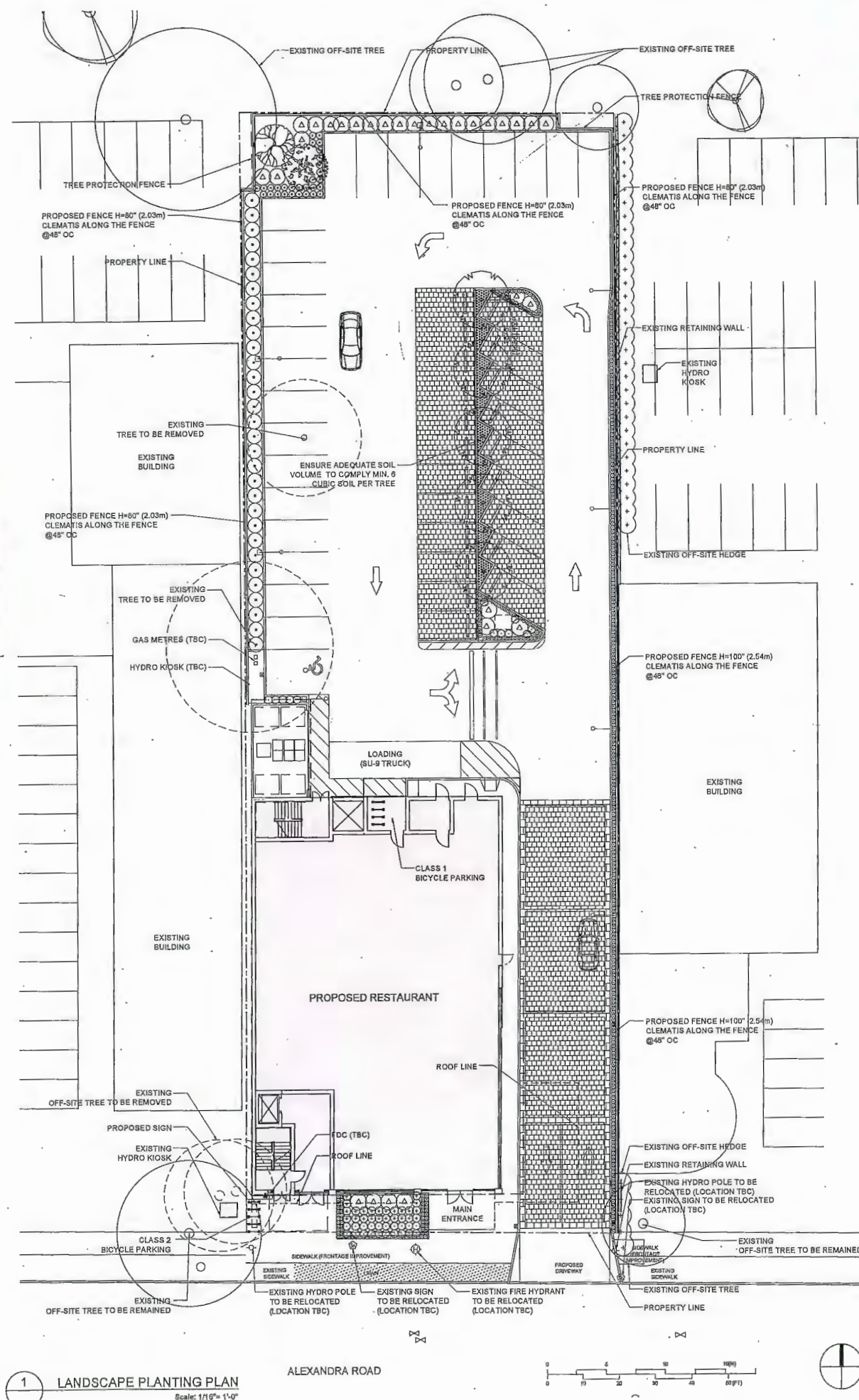
Clematis 'The President'



Arctostaphylos uva-ursi

PLANT LIST

SYM	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
TREES						
	1	Cornus Nuttallii	Pacific Dogwood	AS SHOWN	6 cm cal.	
	5	Acer Rubrum 'Bowhall'	Bowhall Red Maple	AS SHOWN	6 cm cal.	
	8	Thuja plicata	Western Red Cedar	AS SHOWN	8 cm cal.	
SHRUBS						
	30	Arbutus unedo	Strawberry Tree	AS SHOWN	#3 POT	FULL, BUSHY PLANTS
	31	Sarcococca hookeriana var. humilis	Sweet Box	AS SHOWN	#2 POT	FULL, BUSHY PLANTS
	38	Buxus sempervirens	Boxwood	AS SHOWN	#2 POT	FULL, BUSHY PLANTS
	30	Choisya Ternata	Mock Orange	AS SHOWN	#2 POT	FULL, BUSHY PLANTS
GROUNDCOVERS / VINE / GRASSES						
	427	Carex caryophyllaea 'The Beatles'	Beatles Sedge	AS SHOWN	#1 POT	
	118	Clematis 'The President'	Clematis	48" OC	#2 POT, 60CM, STAKED	
		Arctostaphylos uva-ursi	Kinnikinnick	18" OC		
			Sod			



1 LANDSCAPE PLANTING PLAN
Scale: 1/16\"/>

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1

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ISSUED FOR ADVISORY DESIGN PANEL COMMENTS

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DEVELOPMENT PERMIT REVISIONS

2016-MAR-18

2015-DEC-15

2015-OCT-13

2015-SEP-29

DATE

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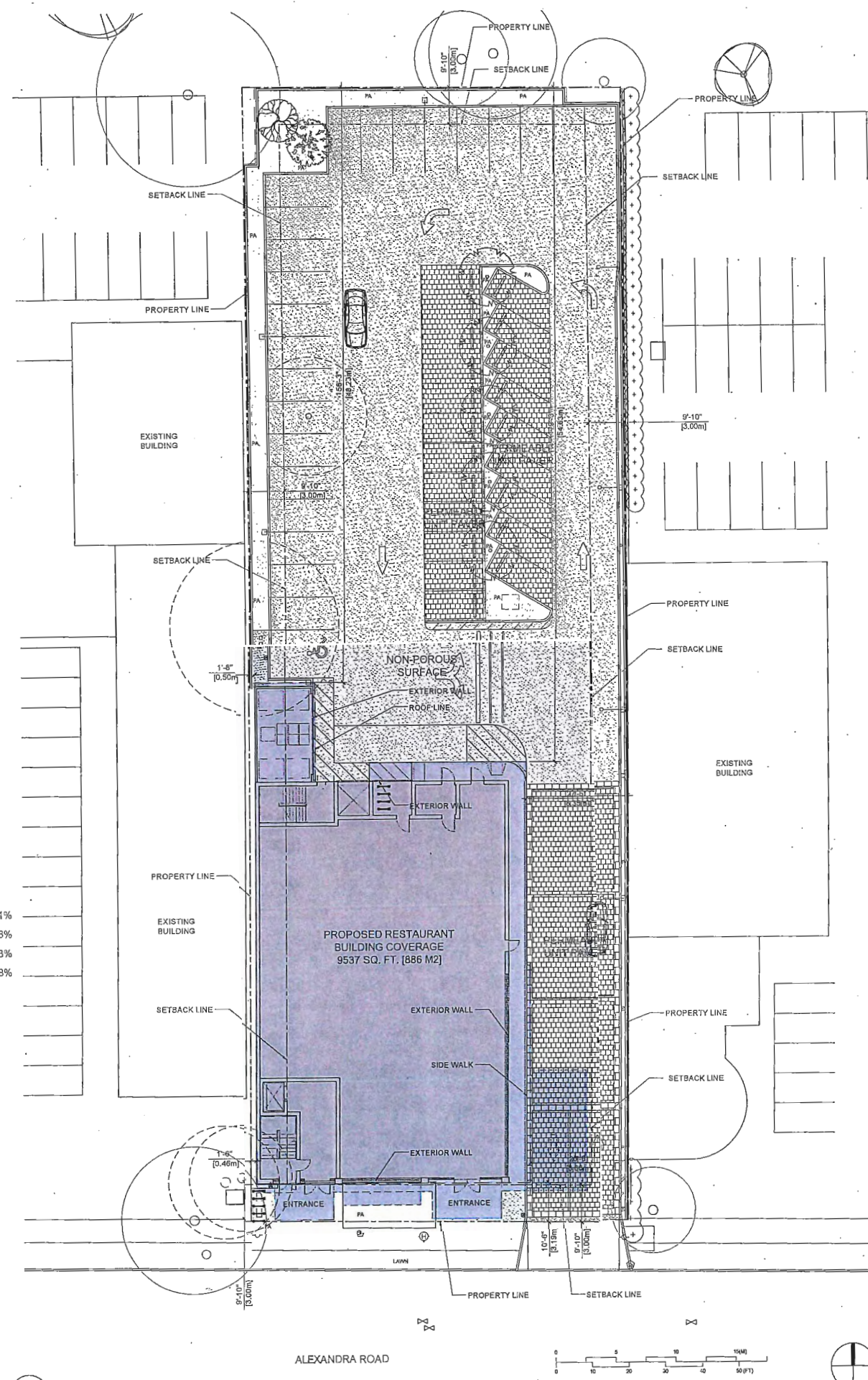
LANDSCAPE
PLANTING PLAN

DRAWING No.

PLAN #3c

DP 15-697654

MAR 14 2016
PLAN #3c
DP 15-697654



LOT COVERAGE DATA

LOT AREA:	2,885 M2 (31,054 SQ. FT.)	
BUILDING COVERAGE:	886 M2 (9,537 SQ. FT.)	- 30.71%
NON-POROUS SURFACE:	1,263 M2 (13,594 SQ. FT.)	- 44.58%
PERMEABLE PAVING:	477 M2 (5,135 SQ. FT.)	- 16.53%
LANDSCAPING AREA:	259 M2 (2,788 SQ. FT.)	- 8.18%

LOT COVERAGE PLAN KEY

	BUILDING COVERAGE
	NON-POROUS SURFACE
	PERMEABLE PAVING
	LANDSCAPING AREA

1 LOT COVERAGE OVERLAY
Scale: 1/16" = 1'-0"

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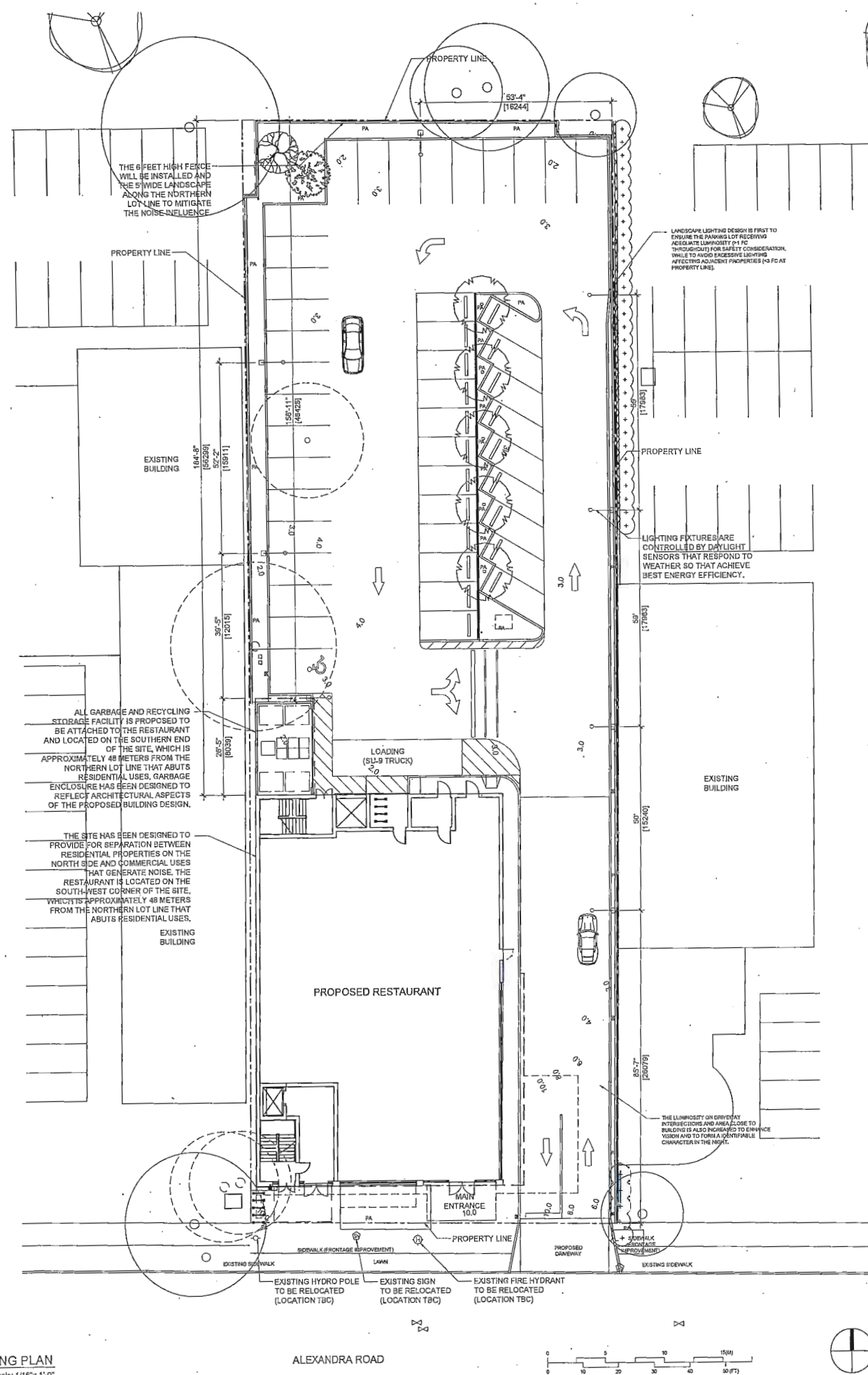
LOT COVERAGE OVERLAY

DRAWING No.

PLAN #3d

DP 15-697654

MAR 14 2016
 PLAN # 3d
 DP 15-697654



1 NOISE, ODOUR & ILLUMINATION MITIGATING PLAN
Scale: 1/16" = 1'-0"

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PROJECT	8191 ALEXANDRA ROAD
	RICHMOND, BC
DRAWING TITLE	NOISE, ODOUR & ILLUMINATION PLAN
DRAWING No.	PLAN #3e DP 15-697654

DP 15-697654 PLAN #3E MAR 14 2016

- Tag # denotes the tag affixed to the tree for reference in report and on drawings.
- Dbh denotes the diameter of the trunk measured at 1.4 m above grade or as per arboricultural standards (i.e. for multi stem trees).
- Cond denotes health and structural rating using Visual Tree Assessment (VTA) procedures.
- U denotes Unsuitable = a tree in very poor condition that is deemed not viable for retention in active land use areas due to pre-existing advanced health decline or significant structural defects.
- M denotes Marginal = a tree in poor to fair condition that has a pre-existing moderate rated defect that may affect its viability considering the proposed land use but is considered for retention conditional to certain special measures.
- S denotes Suitable = a tree in good or excellent condition with no overt or identifiable significant defects, and is well suited for consideration of retention if the project design can accommodate it.

Tag #	Dbh (cm)	Tree Type	Cond	Observations	Action
1	40	Cherry	U	<ul style="list-style-type: none"> Growing directly adjacent to the existing building on the adjacent neighbouring property. Narrowly bifurcated at 2.0m above grade with a long bark inclusion and forming ribs. The union is extremely weak and risk of failure is high, however there is not target in the current land use. Severe sweep from base corrected at 2.5m above grade and heavily asymmetrical crown biased to the east due to proximity of adjacent building, compounding the risk of failure. The proposed construction is in direct conflict with the tree, but it is in such poor condition that it does not warrant that the design is altered to accommodate its protection setbacks. 	Remove
2	60	Cherry	U	<ul style="list-style-type: none"> Necrotic and missing bark on the stem at base, consisting of 70% circumference. Narrowly bifurcated at 2.0m above grade with a long bark inclusion. A large decaying subordinate scaffold limb is weakly attached at the base of the tree with included bark in the union. Epicormic growth from root crown. Dieback in the upper crown (40%). The proposed construction is in direct conflict with the tree, but it is in such poor condition that it does not warrant that the design is altered to accommodate its protection setbacks. 	Remove
A	64	Austrian pine	U	<ul style="list-style-type: none"> Historically topped at 4.0m above grade and pruned via heading cuts for BC Hydro safety setback; resulting in an asymmetrical crown and a poor structure. Not within influencing distance of the project. 	None
B	23	Western hemlock	M	<ul style="list-style-type: none"> This off-site tree grows in close proximity from the adjacent curb and its roots are restricted by limited growing space. Outside of influencing distance from the subject site. Asymmetrical crown biased to the west due to the proximity of adjacent tree. This tree may be impacted by the removal of the adjacent tree and is desired by the neighbouring owner for retention. At the time that tree treatments are underway, the condition and viability should be reviewed in context to risk assessment. 	Remove
C	61	Western hemlock	M	<ul style="list-style-type: none"> Two co-dominant stems weakly attach at the base with a bark inclusion; One of which has been historically topped at 3.0 above grade. Replacement leaders attach at the historic topping site and have developed a weak structural form prone to failure. The proposed construction is within 0.9m from the trunk which could result in excessive root loss. It has been reported that this tree has been approved by the neighbouring owner for removal and a permit is in progress. 	Remove
D	20	Western hemlock	M	<ul style="list-style-type: none"> Embedded in the crown of adjacent trees, resulting in an asymmetrical crown and suppressed form dependant on the adjacent trees for stability. The roots are expected to extend into the subject site, therefore protection measures are recommended within the site for the duration of construction. 	Protect
E	55	Norway maple	S	<ul style="list-style-type: none"> This off-site tree is in good condition. Root zone is not in influencing distance of the project. Protection measures within the site are recommended to protect the crown. 	Protect
F	30 (est.)	Horsechestnut	S	<ul style="list-style-type: none"> This off-site tree is in good condition. Not in influencing distance of the project. 	None
G	35	Crabapple	U	<ul style="list-style-type: none"> Multiple co-dominant stems weakly attach at 2.0m above grade with a bark inclusion. While it is in poor condition, it can be protected. Since the roots are expected to extend into the subject site, protection measures within the project are recommended. 	Protect

1. **TREE PROTECTION ZONE SETBACKS:**
The Tree Protection Zone (TPZ) alignments are established as directed by this office to provide a suitable setback to ensure adequate root protection to maintain tree health and tree stability. These alignments are based on site and tree conditions as determined by the project arborist, and they supersede any other tree protection setbacks provided by others (including setbacks derived from municipal guidelines), and may be conditional to certain mitigation measures being undertaken (i.e., root pruning, compensatory treatment to remaining root zone). The tree protection guidelines also apply to the overhead portions of the tree (limbs, branches and foliage), even if those tree parts extend outside of the TPZ setback.

2. **TREE PROTECTION FENCES (BARRIERS):**
Barriers must be erected at the specified alignments and setbacks, maintained in good condition until the project reaches substantial completion, and the restrictions and guidelines implemented as detailed herein through to the completion of the landscaping phase. The materials and installation of the fence must meet or exceed the municipal standards. Signs stating "TREE PROTECTION ZONE - NO ENTRY" must be placed on the tree protection fence at a suitable frequency at the direction of the project arborist. Arborists will install signs in cases that we are retained to provide field services for compliance during construction. The owner, contractors, sub-contractors and trades should be made aware of the restrictions therein, and consult with this office for any access, if required. Tree protection fencing must be inspected and approved by the municipality and/or the project arborist prior to commencement of any demolition, site preparation or construction work.

3. **SURVEY OF FENCES:**
If any tree protection fences are aligned with or within close proximity to a restrictive covenant, a property line, and/or an environmentally sensitive or protected area, the contractor must undertake a survey of the location of those property lines such that the tree protection fence can be installed and inspected accurately.

4. **TREE PROTECTION AND LAND CLEARING OPERATIONS:**
If large scale land clearing areas contain a TPZ and/or there is windfirming treatments required in new forest edge interfaces along the perimeters of the land clearing areas, and/or when certain trees within a TPZ are specified for removal, it is strongly recommended that the land clearing contractor should coordinate with the project arborist in advance to review their work plan and to identify retained trees and the protection measures for them, as well as during the clearing process to improve compliance and to assess new forest edges and provide tree failure risk mitigation prescriptions.
For tendering purposes, the proponents should be required to provide unit costs for the following treatments (including disposal of waste) in the forest interface zones:

- Removal of defective trees in size categories of small (dbh up to 20 cm dbh), medium (dbh 21 cm to 45 cm), large (dbh 46 to 75 cm) and very large (76 cm dbh and greater), and
- Pruning services (hourly).

Note that approvals for leaving chips or large woody debris created by the waste of these operations on the site will be investigated with affected property owners upon request.
In certain cases, and subject to municipal approval, interim tree protection measures instead of standard tree protection fence installation may be acceptable, such as but not limited to:

- Retaining the services of the project arborist to attend and direct the compliance to protection measures during the clearing scope that is in proximity to the TPZ, or
- Installing alternative, demarcation of the TPZ such as survey stakes, painting lines on the ground, and/or placing rope and flagging.

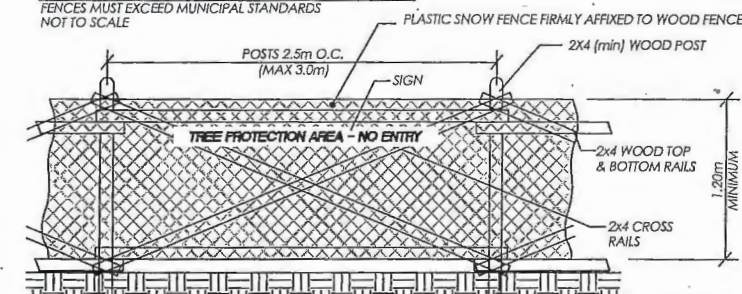
5. **TREE PROTECTION GUIDELINES:**
Any construction related work or activities within or directly adjacent to a TPZ requires advance approval and the on-site direction of the project arborist. The limbs, branches, foliage and roots of retained trees, as well as the soil within the tree protection zones, must not be damaged by construction activities, except as approved and directed by the project arborist. Activities within and access to the TPZ are restricted during the site preparation, construction and landscape installation phases of the project as follows:

- Restricted low impact methods for the removal of trees and stumps within or adjacent to TPZ,
- No soil disturbance, including trenching for underground services or utilities, stumping of organic soil for hard landscape installation, excavation for building foundations, fill placement, or trenching for irrigation or conduit installation,
- No storage or transport of: soil, spoil, construction materials, waste materials, etc.,
- No waste or washing of concrete, stucco, drywall, paint, or other materials that may adversely impact the soil or roots,
- No passage or operation of vehicles or equipment,
- No placement of temporary structures or services,
- No affixing signs, cables or any other device to retained trees,
- No unauthorized pruning or cutting of retained trees. Any pruning or other treatment of a retained tree must be completed by a qualified arborist or tree service firm employing ISA Certified Arborists and in conformance with ANSI A300 Standards, and/or under the direction of the Project Arborist from this office, and.
- Any excavations adjacent to the TPZ will require the attendance of the project arborist and root pruning to be undertaken as necessary,
- The use of aerial lifts, cranes or other overhead equipment is restricted in proximity to retained trees and should be planned with the size and height of the crown of the tree accordingly.

It is recognized that certain unpredictable construction conflicts with a TPZ may arise that could interfere with the protection of the selected trees, however any encroachment into a TPZ and/or changes to the tree retention scheme are subject to approval in advance by the project arborist and the municipality. Certain TPZ restrictions or guidelines noted herein may be waived if they are considered by the project arborist to be tolerable impacts, and/or if the impacts to the trees can be successfully mitigated by implementing special measures, protection systems, compensatory treatments, and/or follow-up works, as specified and directed by this office.

6. **LANDSCAPING:**
The landscaping phase is when retained trees can be severely damaged. The operation of equipment, the placement of growing medium, grading and sub-base preparation for hard landscape features, (i.e., sidewalks and patios), site preparation for retaining walls and footings, excavation for fences, signs and other landscape features, digging of planting holes for new plants and trees, the digging of trenches for irrigation, drainage and lighting, and the placement of turf and other finishing works, all have a very high potential for tree and root damage. It is vital that the landscape works respect the limitations on activities within the TPZ therefore the landscape installation staff should be advised, on-site direction by the project arborist is strongly recommended.

TREE PROTECTION FENCE DETAIL - SAMPLE:
FENCES MUST EXCEED MUNICIPAL STANDARDS
NOT TO SCALE



3	MAR 18, 2016	UPDATED SITE PLAN
0	JUN 25, 2015	INITIAL SUBMISSION
REV #	DATE	COMMENTS

PROJECT:	PROPOSED NEW RESTAURANT	
ADDRESS:	8191 ALEXANDRA RD RICHMOND BC	
CLIENT:	PACIFIC WEST ARCH - HAOTIAN INVEST	
ACL FILE:	15192	SHEET: 1 OF 2

aclgroup.ca

ARBORTECH
CONSULTING

SUITE 145 - 12051 HORSESHOE WAY, RICHMOND, BC V7A 4V4 p 604 275 3484

MAR 14 2016

1242 #3.6

DP 15-697654



**pacific
west
architecture**

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Fax: 604 267 7056
Email: info@pwaarchitecture.com
www.pwaarchitecture.com

REVISIONS

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ISSUES

ISSUES	DATE
8	
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4 ISSUED FOR DPP	2016-MAR-18
3 ISSUED FOR ADVISORY DESIGN PANEL COMMENTS	2015-DEC-15
2 ISSUED FOR ADVISORY DESIGN PANEL	2015-OCT-13
1 - DEVELOPMENT PERMIT REVISIONS	2015-SEP-29

PROJECT NUMBER A015

DRAWN BY SL

CHECKED BY PY

DATE CHECKED

CONSULTANT

PROJECT

8191 ALEXANDRA ROAD

RICHMOND, BC

DRAWING TITLE

PERSPECTIVE
VIEW

DRAWING No.

PLAN :
DP 15-697654

MAR 14 2016

PLAN # 4A

DP 15-697654

REVISIONS

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ISSUES

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PROJECT

8191 ALEXANDRA ROAD

RICHMOND, BC

DRAWING TITLE

ELEVATION 1

DRAWING No.

PLAN #45

APR 19 2016

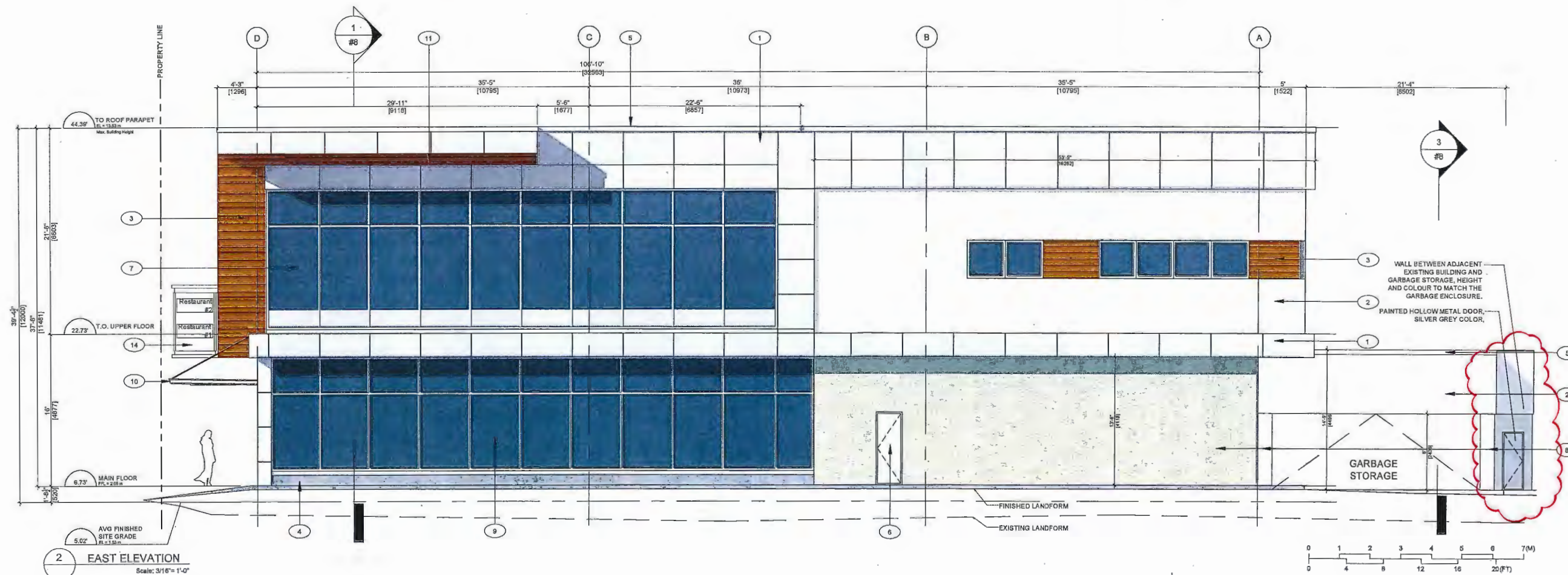
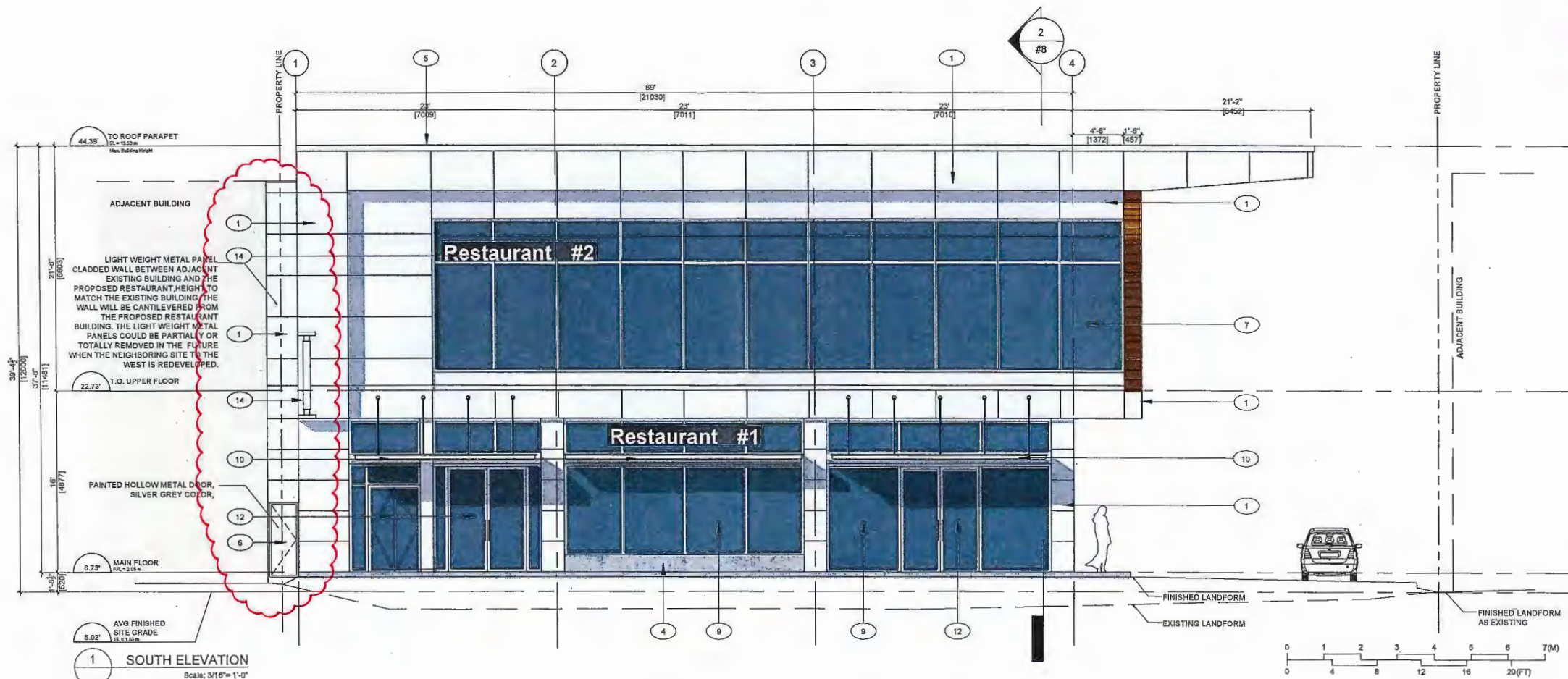
PLAN #4B

DP 15-697654

MATERIAL KEY

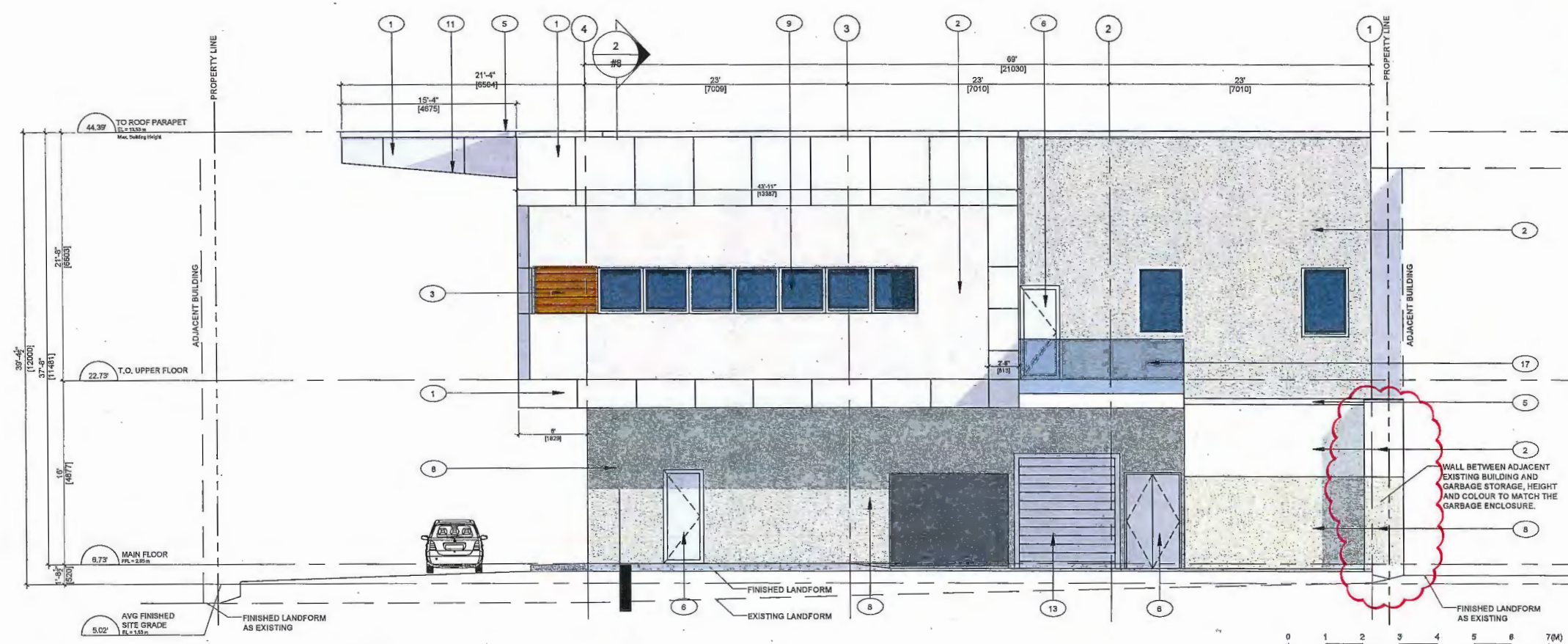
- 1 METAL WALL CLADDING, LIGHT SILVER METALLIC COLOR
- 2 EPS, STUCCO FINISH, SANDCOAT, COLOR: MISTY COVE MS-48
- 3 WOOD VENEER PANEL WALL CLADDING, WOOD COLOR
- 4 EXPOSED CONCRETE, PAINTED, NATURAL COLOR
- 5 METAL FLASHING, LIGHT SILVER METALLIC COLOR
- 6 PAINTED HOLLOW METAL DOOR, SILVER GREY COLOR
- 7 CLEAR ANODIZED HIGH-PERFORMANCE GLAZING WITH PRE FINISHED MEDIUM CHARCOAL COLOR ALUMINUM FRAME
- 8 EPS, STUCCO FINISH, SANDCOAT, COLOR: AUTUMN TAN MS-44
- 9 CLEAR ANODIZED HIGH-PERFORMANCE GLAZING WITH PRE FINISHED LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
- 10 METAL & TINTED GLASS CANOPY, LIGHT SILVER METALLIC COLOR
- 11 WOOD VENEER PANEL SOFFIT, WOOD COLOR
- 12 METAL STOREFRONT DOOR, LIGHT SILVER METALLIC COLOR TO MATCH CURTAIN WALL
- 13 PREFINISHED OVERHEAD METAL DOOR, LIGHT SILVER METALLIC COLOR
- 14 SIGNAGE
- 15 SPLIT-FACE CONC. BLOCK, LIGHT COLOR
- 16 GLASS RAILING, CLEAR GLAZING

NOTE:
ALL SIGNAGE IS SUBJECT TO THE CITY'S SIGN BYLAW

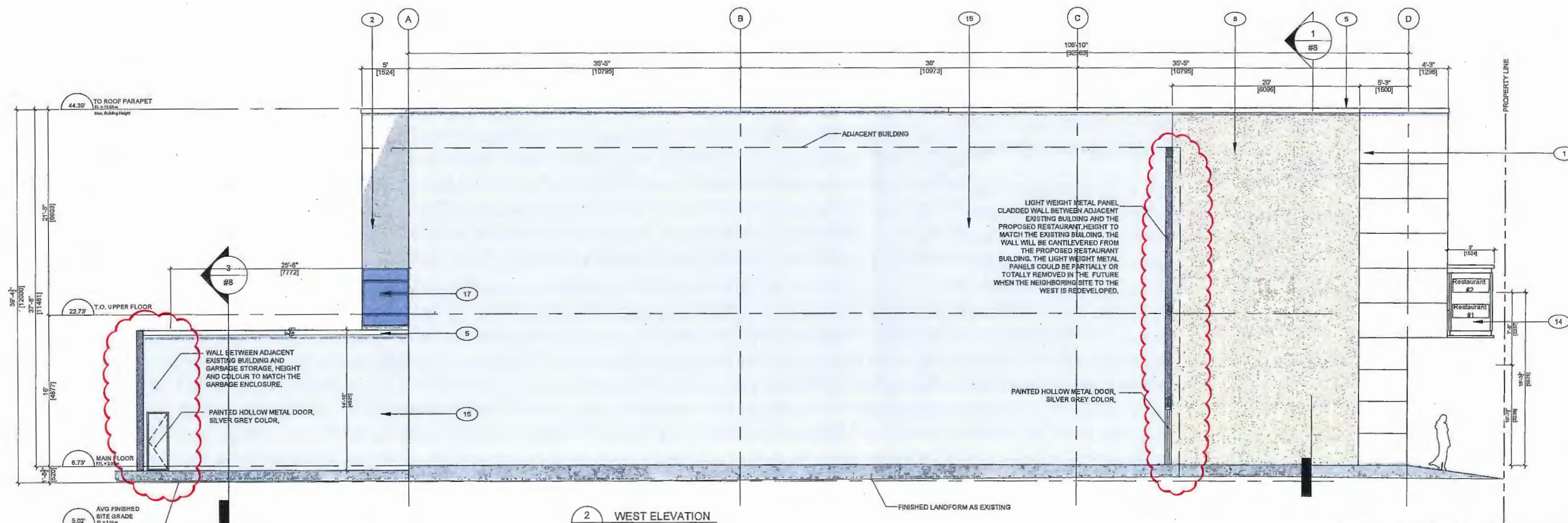


- MATERIAL KEY**
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 - 2 EIFS, STUCCO FINISH, SANDCOAT, COLOR: MISTY COVE MS-48
 - 3 WOOD VENEER PANEL WALL CLADDING, WOOD COLOR
 - 4 EXPOSED CONCRETE, PAINTED, NATURAL COLOR
 - 5 METAL FLASHING, LIGHT SILVER METALLIC COLOR
 - 6 PAINTED HOLLOW METAL DOOR, SILVER GREY COLOR
 - 7 CLEAR ANODIZED HIGH-PERFORMANCE GLAZING WITH PRE FINISHED MEDIUM CHARCOAL COLOR ALUMINUM FRAME
 - 8 EIFS, STUCCO FINISH, SANDCOAT, COLOR: AUTUMN TAN MS-44
 - 9 CLEAR ANODIZED HIGH-PERFORMANCE GLAZING WITH PRE FINISHED LIGHT SILVER METALLIC COLOR ALUMINUM FRAME
 - 10 METAL & TINTED GLASS CANOPY, LIGHT SILVER METALLIC COLOR
 - 11 WOOD VENEER PANEL SOFFIT, WOOD COLOR
 - 12 METAL STOREFRONT DOOR, LIGHT SILVER METALLIC COLOR TO MATCH CURTAIN WALL
 - 13 PREFINISHED OVERHEAD METAL DOOR, LIGHT SILVER METALLIC COLOR
 - 14 SIGNAGE
 - 15 SPLIT-FACE CONC. BLOCK, LIGHT COLOR
 - 16 GLASS RAILING, CLEAR GLAZING

NOTE:
ALL SIGNAGE IS SUBJECT TO THE CITY'S
SIGN BYLAW



1 NORTH ELEVATION
Scale: 3/16" = 1'-0"



2 WEST ELEVATION
Scale: 3/16" = 1'-0"

PWA

pacific west architecture

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Vancouver B.C. V6P 6G5

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Fax: 604 267 7056
Email: info@pwaarchitecture.com
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REVISIONS

ISSUES	DATE
8	
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5	REISSUED FOR DPP 2016-APR-20
4	ISSUED FOR DPP 2016-MAR-18
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS 2015-DEC-15
2	ISSUED FOR ADVISORY DESIGN PANEL 2015-OCT-13
1	DEVELOPMENT PERMIT REVISIONS 2015-SEP-29

PROJECT NUMBER: A015

DRAWN BY: SL

CHECKED BY: PY

DATE CHECKED:

CONSULTANT:

PROJECT:

8191 ALEXANDRA ROAD

RICHMOND, BC

DRAWING TITLE:

ELEVATION 2

DRAWING No.:

PLAN #.

DP 15-697654
 APR 19 2016
 PLAN #42



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REVISIONS	
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ISSUES	DATE
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4	ISSUED FOR DPP
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS
2	ISSUED FOR ADVISORY DESIGN PANEL
1	DEVELOPMENT PERMIT REVISIONS
	2016-MAR-18
	2015-DEC-15
	2015-OCT-13
	2015-SEP-29

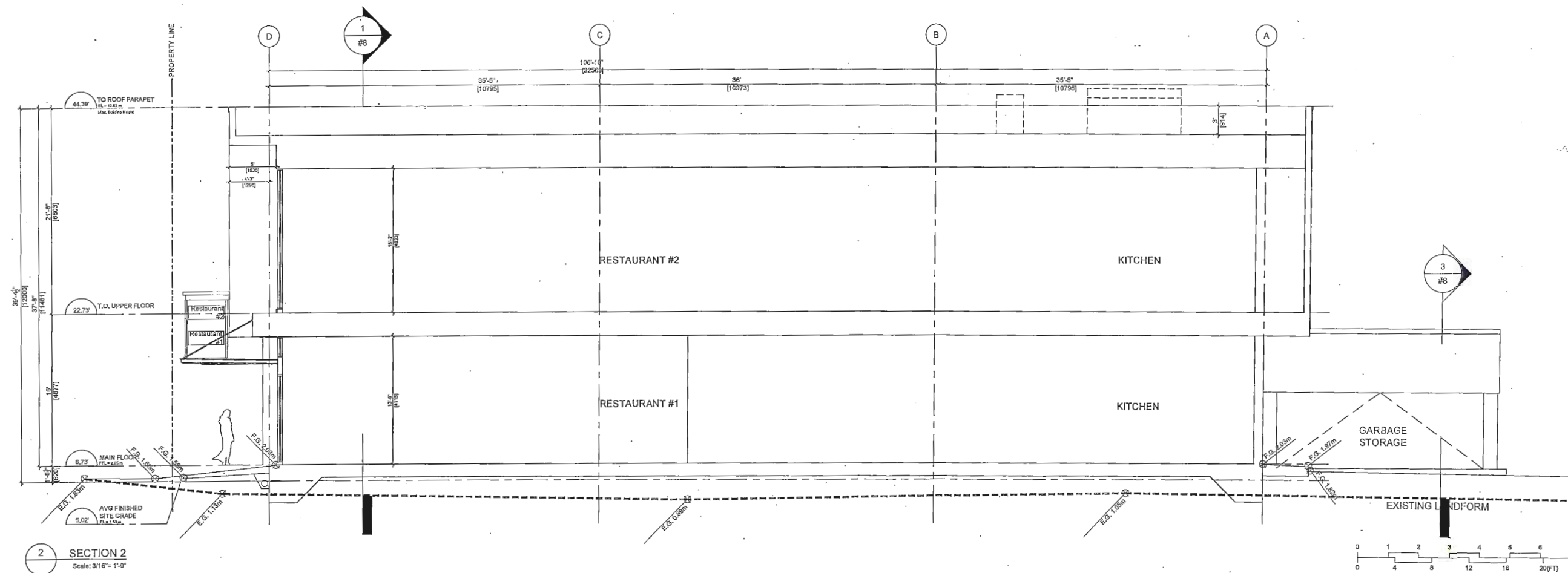
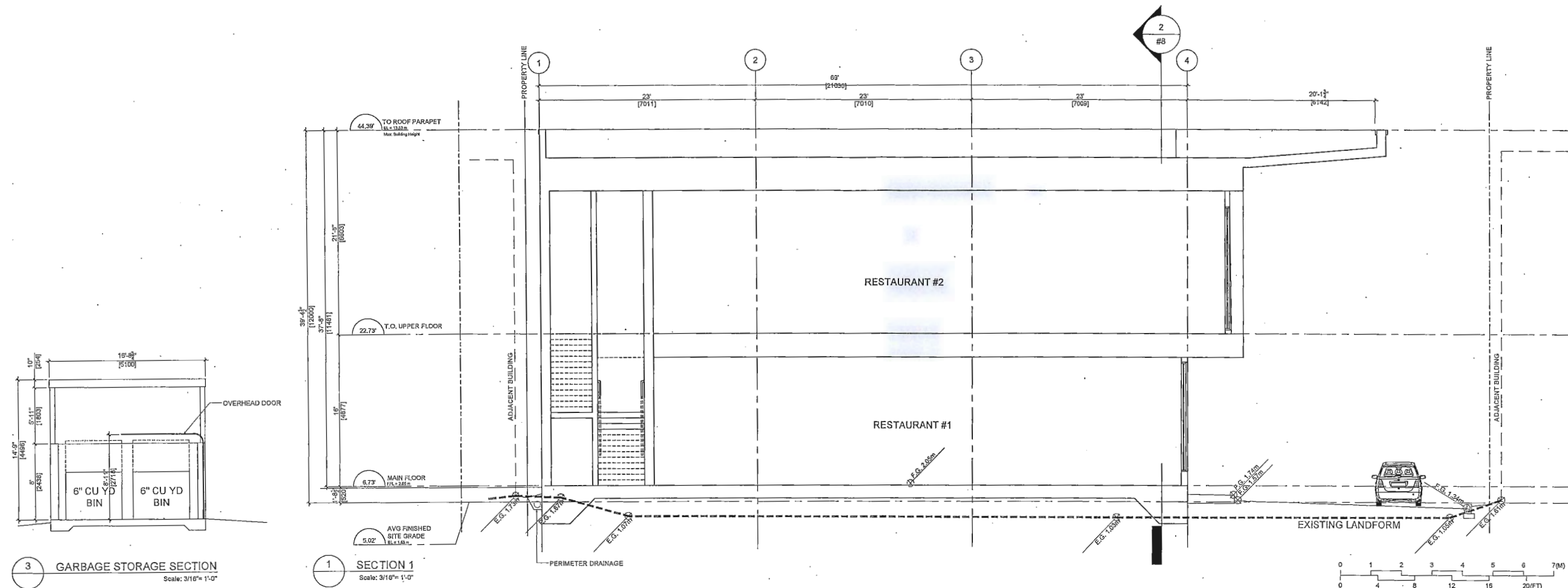
PROJECT NUMBER	A015
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CHECKED BY	PY
DATE CHECKED	
CONSULTANT	

PROJECT
8191 ALEXANDRA ROAD
RICHMOND, BC

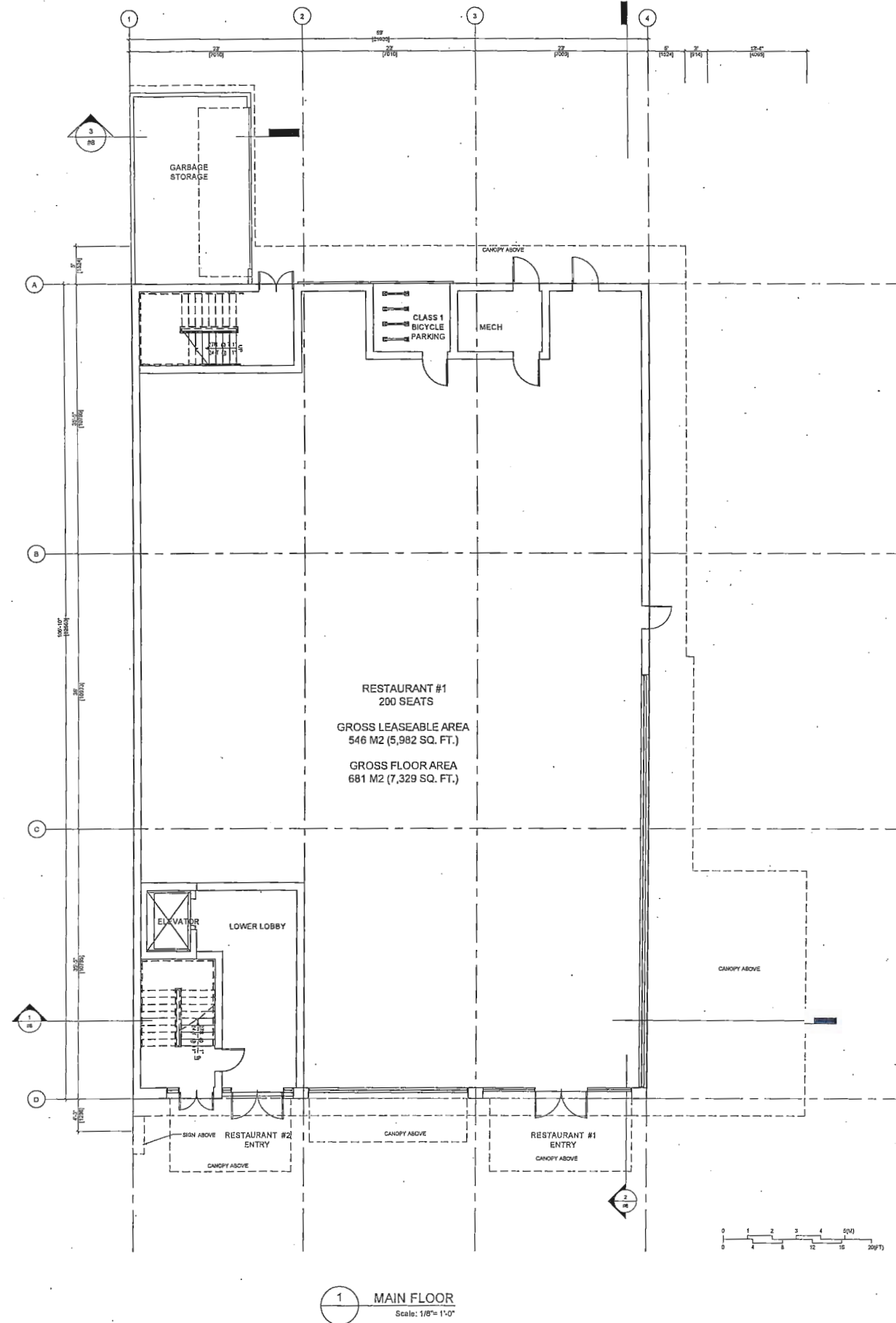
DRAWING TITLE
SECTION

DRAWING No.

PLAN #9



DP 15-697654 PLAN #4D MAR 14 2016



P

W

A

pacific

west

architecture

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REVISIONS

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ISSUES

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4 ISSUED FOR DFP

2016-MAR-18

3 ISSUED FOR ADVISORY DESIGN PANEL COMMENTS

2015-DEC-15

2 ISSUED FOR ADVISORY DESIGN PANEL

2015-OCT-13

1 DEVELOPMENT PERMIT REVISIONS

2015-SEP-29

PROJECT NUMBER

A015

DRAWN BY

SL

CHECKED BY

PY

DATE CHECKED

CONSULTANT

PROJECT

8191 ALEXANDRA ROAD

RICHMOND, BC

DRAWING TITLE

MAIN FLOOR PLAN

DRAWING No.

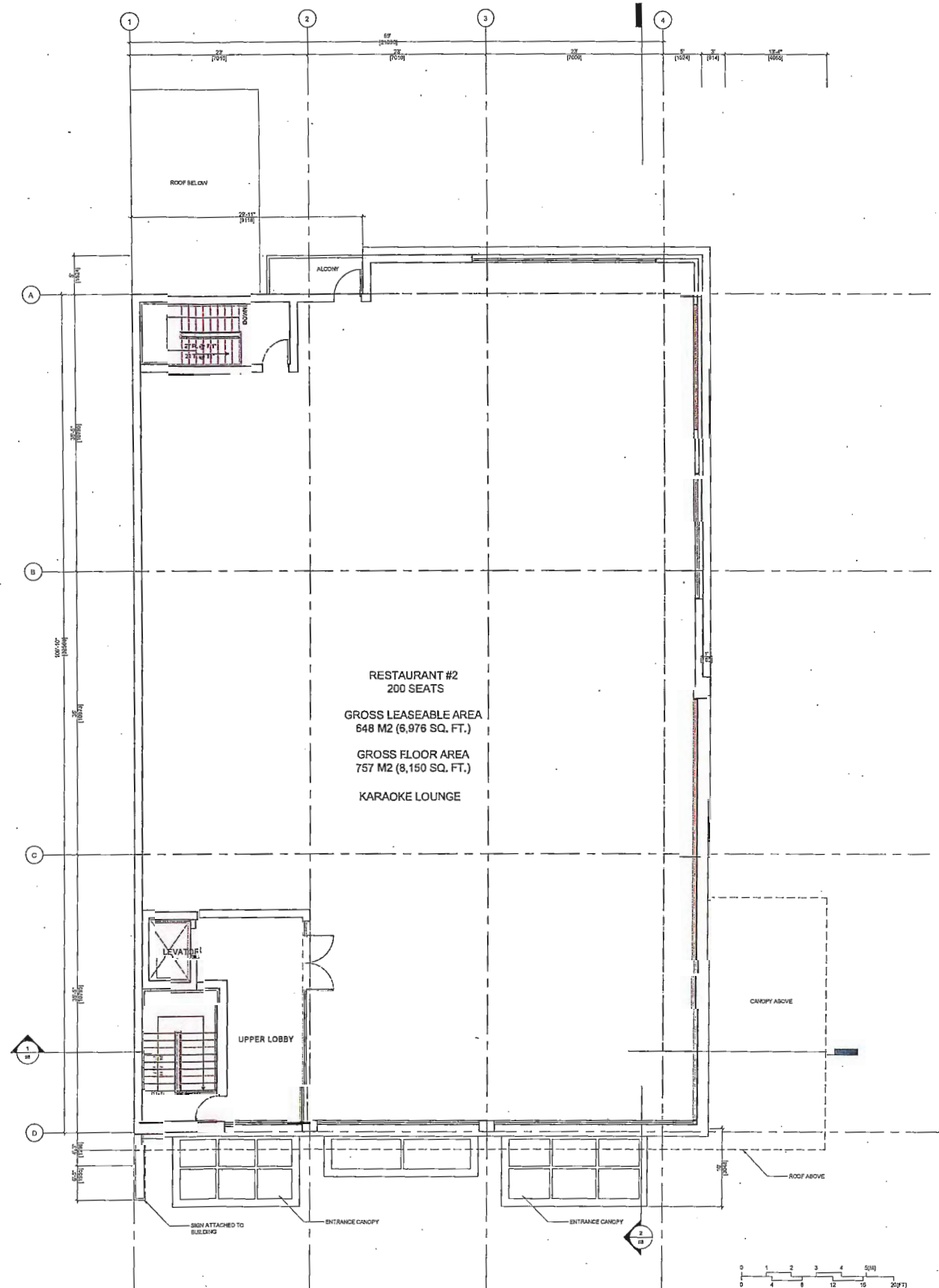
PLAN #10

DP 15-697654


DP 15-697654

REFERENCE PLAN

MAR 14 2016



1 UPPER FLOOR
Scale: 1/8" = 1'-0"



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architecture**

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DP 15-697654

REFERENCE PLAN

MAR 14 2016

REVISIONS	
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ISSUES	DATE
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4	ISSUED FOR DPP 2015-MAR-18
3	ISSUED FOR ADVISORY DESIGN PANEL COMMENTS 2015-DEC-15
2	ISSUED FOR ADVISORY DESIGN PANEL 2015-OCT-13
1	DEVELOPMENT PERMIT REVISIONS 2015-SEP-29

PROJECT NUMBER	A01S
DRAWN BY	SL
CHECKED BY	PY
DATE CHECKED	
CONSULTANT	

PROJECT	8191 ALEXANDRA ROAD
	RICHMOND, BC

DRAWING TITLE	UPPER FLOOR PLAN
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DRAWING NO.	PLAN #11
	DP 15-697654



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REVISIONS	
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ISSUES	DATE
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4 ISSUED FOR OPP	2016-MAR-
3 ISSUED FOR ADVISORY DESIGN PANEL COMMENTS	2015-DEC-
2 ISSUED FOR ADVISORY DESIGN PANEL	2015-OCT-
1 DEVELOPMENT PERMIT REVISIONS	2015-SEP-2

PROJECT NUMBER	A015
DRAWN BY	SL
CHECKED BY	PY
DATE CHECKED	
CONSULTANT	

PROJECT

8191 ALEXANDRA ROAD

RICHMOND, BC

DRAWING TITLE

ROOF PLAN

DRAWING No.

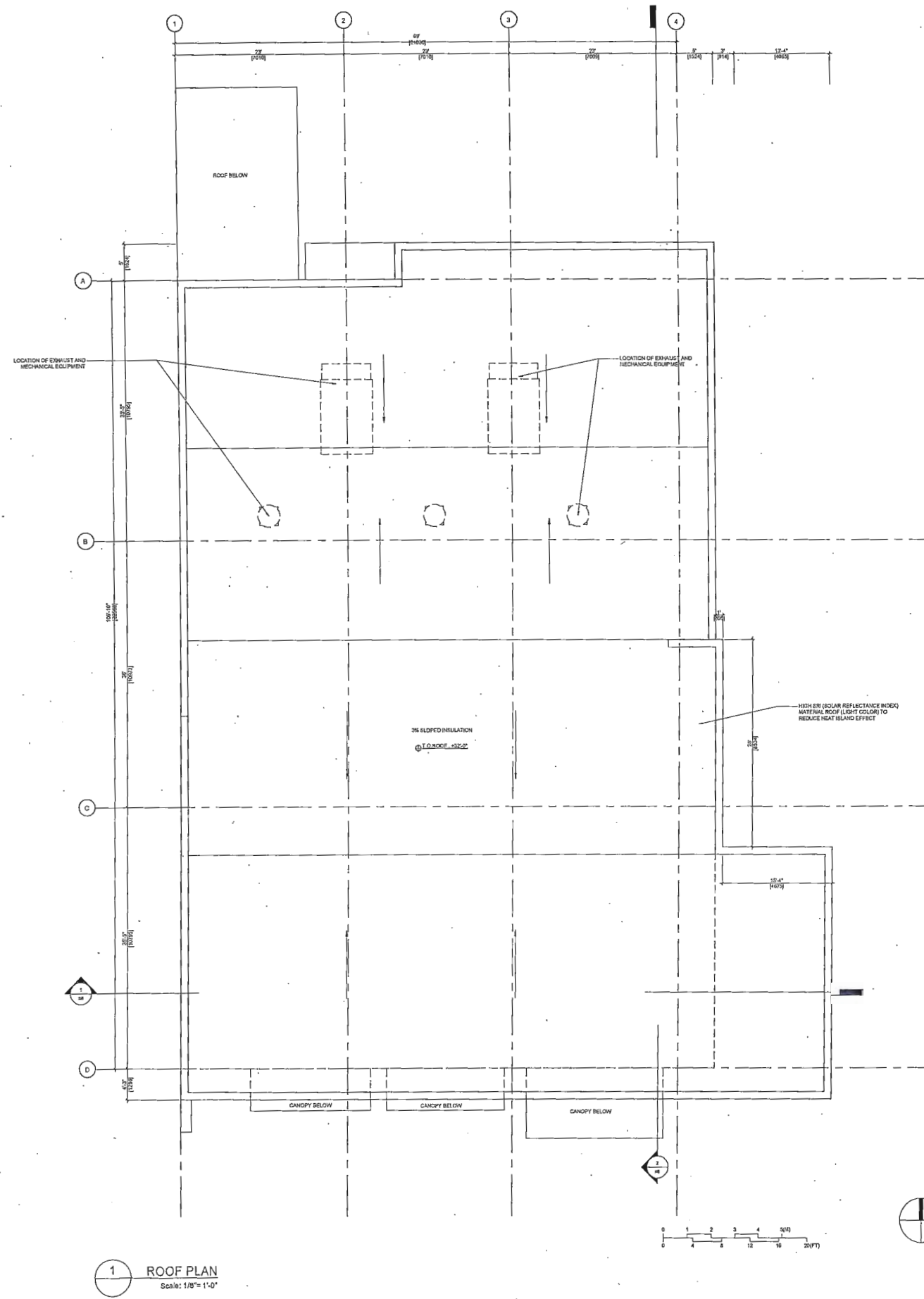
PLAN #12

DP 15-697654

MR 14 216

REFERENCE PLAN

品 15-697654





City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: April 21, 2016

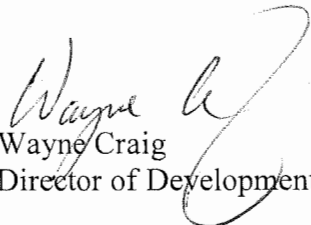
From: Wayne Craig
Director of Development

File: DP 15-700370

Re: Application by Yamamoto Architecture Inc. for a Development Permit at
9560 Alexandra Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 20 three-storey townhouse units at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)".


Wayne Craig
Director of Development

SB:blg
Att.

Staff Report

Origin

Yamamoto Architecture Inc. has applied to the City of Richmond for permission to develop 20 three-storey townhouses at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)". The subject site is currently vacant.

A staff report was reviewed by Development Permit Panel at the meeting on April 13, 2016 (Attachment A), and the application was referred back to staff. In response to the referral, the applicant revised the proposal to address grade transition from the development to the adjacent City-owned park (future greenway) to the north and west through revised grading on the subject site and in the adjacent City-owned park. Revised Development Permit Considerations are listed at the end of this report and revised site plan and landscape plans are provided in the Development Permit Plans that accompany this report.

Background

The following referral motion was carried at the April 13, 2016 Development Permit Panel meeting:

"That DP 15-70033 be referred back to staff to:

- 1. provide more details on the design of the future City-owned park adjacent to the western property boundary of the subject site;*
 - 2. investigate ways to minimize the proposed retaining wall and review the proposed fencing on top of the retaining wall along the western perimeter of the subject development to provide a softer transition to and better interface with the adjacent park;*
 - 3. minimize the cost for the City to provide landscape screening within the park and adjacent to the retaining wall along the western property boundary of the subject site;*
- and report back to the April 27, 2016 Development Permit Panel meeting."*

This supplemental report is being brought forward to provide a response to the referral, to provide a summary of revisions made to the development proposal and grading introduced into the City-owned park, to provide information regarding revised Development Permit considerations, and to present the revised Development Permit for issuance.

Development Information

Please refer to this report and revised Development Permit plans that accompany this report for information regarding the revisions made to the proposal for the subject site and the adjacent future greenway to address the Development Permit Panel referral motion. Please refer to the original Staff Report dated March 11, 2016 (Attachment A) for information pertaining to surrounding development, rezoning and Public Hearing results, Advisory Design Panel review, as well as staff comments on zoning compliance, conditions of adjacency, urban design and site planning, architectural form and character, landscape design and open space design, crime prevention through environmental design, energy and sustainability and accessible housing.

Analysis

This analysis section will discuss each of the referrals made by Development Permit Panel at their April 13, 2016 meeting.

Future City-Owned Park Design

In their referral back to staff, the Development Permit Panel asked staff to provide more details on the design of the future City-owned park adjacent to the western property boundary of the subject site.

In response to the referral, Parks Department staff provided the following information:

- The design project for the neighbourhood park and north-south greenway in the West Cambie Alexandra Neighbourhood is anticipated to start in 2016. Construction is anticipated to start in 2017 and be completed in 2018.
- For the section of future greenway between Alexandra Road and Alderbridge Way, existing grade varies, but is approximately 1 m lower than the May Drive sidewalk elevation. To support retention of existing trees, the existing grade in the future greenway will be retained at the north and south edges (approximately 25 m along the north edge and approximately 50 m along the south edge). Outside of the north and south edges, the grade of the future greenway may be increased in some areas up to the level of the May Drive sidewalk elevation.
- To mitigate the length of retaining wall proposed adjacent to the future greenway, the developer has agreed to construct an elevated 3 m wide planting bed of soil 0.6 m high and gently sloping back down to grade for approximately 73 m along the east edge of the future greenway, in the central area outside of the north and south tree retention areas. The planting bed works will be secured with securities and an agreement prior to Development Permit issuance. The proposal is acceptable to Parks Department staff.

Revisions to Retaining Wall and Fencing Design

In their referral back to staff, Development Permit Panel asked staff to investigate ways to minimize the proposed retaining wall and review the proposed fencing on top of the retaining wall along the western perimeter of the subject development to provide a softer transition to and better interface with the adjacent park.

In response to the referral, the applicant has made the following revisions to the proposal:

- The proposed retaining wall has largely been lowered by 0.4 m and changed to the terraced wood retaining wall style previously only shown at the north end of the site. Lowering the proposed retaining wall was achieved by gently sloping the townhouse yards and introducing steps down to a lowered walkway along the west property line in front of buildings 2 and 3. A 0.6 m high wood retaining wall is proposed along the majority of the west property line and a second 0.6 m high wood retaining wall is proposed to be setback from the west property line and screened with planting in the lower terrace.

- The proposal retains the original vertical retaining wall design at the small portion needed to support the northwest visitor parking space and drive aisle end (approximately 12 m wide retaining wall with mix of stone face lock blocks and utility grade lock blocks). Although this section of retaining wall is not lowered, it will break up the length of retaining wall and provide visual interest with a variety of materials.
- The proposed fencing height has been lowered to the minimum required guardrail height (from 1.2 m height to 1.07 m) adjacent to the walkway in front of the amenity area and buildings 2 and 3. The proposal retains the original visually permeable picket design. The original 1.2 m fencing height has been retained for yard privacy at buildings 1 and 4.

Landscape Screening in the City Park

In their referral back to staff, the Development Permit Panel asked staff to minimize the cost for the City to provide landscape screening within the park and adjacent to the retaining wall along the western property boundary of the subject site.

In response to the referral, Parks Department staff advised that the \$12,660 which the developer has agreed to contribute, will allow for the installation of a tree and shrub vegetation screen to be planted in the east edge of in the City-owned park adjacent to the subject site. Further details regarding proposed grading, pathway locations and landscape design within the City-owned park will be advanced as part of the Parks design project for the neighbourhood park and north-south greenway in the West Cambie Alexandra Neighbourhood, which is anticipated to start this year.

Accessible Housing

As noted in the original Development Permit staff report, the proposed development includes one (1) convertible unit. This unit is now proposed to be accessed from the path through the amenity area, instead of from the path along the west edge of the site. With the proposed lowering of the west edge path, this alternate access arrangement avoids disrupting the access with stairs and ensures level access for people in wheelchairs.

Conclusions

In response to Development Permit Panel's referral, a softer transition and better interface is proposed to be provided from the townhouse development to the adjacent park with a combination of providing a raised soil planting bed in the park, lowering and terracing the majority of the proposed west retaining wall, lowering more than half of the proposed west fencing height, and the introduction of planting in the proposed retaining wall terrace along the west edge of the subject site.

The proposed 20-unit townhouse development is consistent with the intent of the applicable sections of the Official Community Plan (OCP) and meets the zoning requirements set out in the "Town Housing (ZT67)" zone. Staff recommend that the Development Permit be issued.

Sara Badyal

Sara Badyal
Planner 2
(604-276-4282)
SB:blg

The following are to be met prior to forwarding this application to Council for approval:

1. Final adoption of the Zoning Amendment Bylaw No. 9240.
2. Receipt of a cash contribution in the amount of \$12,660.00 to provide landscape screening within the City park and adjacent to the retaining wall along the western property boundary of the subject site. Development Cost Charge (DCC) credits for park development will be provided for this contribution.
3. Receipt of a Letter-of-Credit for landscaping in the amount of \$90,225.55 including a 10% contingency cost.
4. Submission of a representation showing the layout for the mix of utility grade lock blocks and the stone faced lock blocks to be used on the lock block retaining wall along the western side of the development area facing the future park (at the northwest visitor parking space and drive aisle end).
5. Entering into an agreement to the satisfaction of the Director of Development which may include a Servicing Agreement and/or securities for the construction of a raised soil planting bed at the developer's sole cost and located within the City park and adjacent to the retaining wall along the western property boundary of the subject site (3 m wide, 0.6 m high, sloping gently back to existing grade and not to be located within 25 m of Alexandra Road or within 50 m of Alderbridge Way).
6. Registration of a legal agreement on Title; identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise and noise from road traffic on Alderbridge Way within the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- b) The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
7. Registration of a legal agreement on Title that includes a registerable plan prepared by a registered BC Land Surveyor, ensuring that landscaping planted within the Environmentally Sensitive Area (ESA) adjacent to Alderbridge Way is maintained and will not be abandoned or removed. The legal agreement will also include commitment to maintain the ESA vegetation in accordance with the Covenant Buffer Landscape Maintenance report dated March 3, 2016. The agreement will also contain provisions allowing the City to enter the ESA to remediate the vegetation within the ESA should the owners fail to do so.

Prior to future Building Permit issuance, the developer is required to complete the following:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. A Qualified Environmental Professional to undertake a pre-clearing bird nest survey and submit a summary of the findings and recommendations to the City prior to site clearing activities. (Note the report needs to be done within seven days of clearing the site in order to be accurate as the bird nesting season has begun).
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the rezoning and/or Development Permit processes.
4. Payment of the Supplementary Local Area DCC for the Alexandra Neighbourhood.
5. Payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: March 11, 2016

From: Wayne Craig
Director of Development

File: DP 15-700370

Re: Application by Yamamoto Architecture Inc. for a Development Permit at 9560
Alexandra Road

Staff Recommendation

That a Development Permit be issued which would permit the construction of 20 three-storey townhouse units at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)".

A handwritten signature in black ink, appearing to read "Wayne Craig", written over a large, stylized circular flourish.

Wayne Craig

Director of Development

WC:dcb

Staff Report

Origin

Yamamoto Architecture Inc. has applied to the City of Richmond for permission to develop 20 three-storey townhouses at 9560 Alexandra Road on a site zoned "Town Housing (ZT67)". The subject site is currently vacant.

The site is being rezoned from "Single Detached (RS1/F)" to "Town Housing (ZT67)" for this project under Bylaw 9240 (RZ 14-669511). The bylaw received 3rd reading on May 19, 2015.

A Servicing Agreement (SA 14-677906) has been required via the project's Rezoning (RZ 14-669511) to address off-site works that will be required to support this development. Off-site works include, but may not be limited to:

- Construction of a 200 mm diameter watermain along May Drive from Alexandra Road to Tomicki Avenue or from Alexandra Road to Alderbridge Way;
- Replacement of the existing watermain along the development frontage;
- Installation of additional fire hydrants to achieve minimum spacing requirements;
- Construction of a 200 mm diameter gravity sanitary sewer along a portion of Alexandra Road;
- Construction of a 375 mm diameter sanitary sewer along the future May Drive from Alexandra Road to Tomicki Avenue;
- Upgrade the existing storm sewer line from the west property line of 9560 Alexandra Road to the existing box culvert in No 4 Road;
- Undergrounding of existing private utility lines along Alexandra Road frontage;
- Planting and drainage works as necessary and in consultation with Parks staff for the 20 m wide greenway adjacent to Alexandra Road; and
- Pedestrian lighting along the site's Alexandra Road frontage and the frontage of 9540 Alexandra Road extending to the tie in at May Drive.

Development Information

The development proposal will result in a density of 0.65 FAR with a site coverage of 33% which conforms to the proposed "Town Housing (ZT67)" zoning for the site. The development will provide a 20 m wide Statutory Right-of-Way (SRW) across the northern portion of the lot adjacent to Alexandra Road that will contribute to the West Cambie Area Plan's objective of developing a green corridor that will run between Alderbridge Way and the interior of the quarter section. In order to avoid bisecting the future greenway, access to the property will be via Statutory Right of Way (SRW) over the adjacent property to the east (9680 Alexandra Road – RZ13-649999).

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, five lots (9491 – 9591 Alexandra Road) owned by Polygon Development and proposed to be developed into 280 units in a four storey wood frame apartment building (RZ 12-598506 – currently in circulation);
- To the east, a four acre lot under redevelopment to construct 96 three-storey townhouse units on a site zoned “Town Housing (ZT67)” (RZ13-649999 adopted June 22, 2015);
- To the south, Alderbridge Way and the Garden City Lands (55.18 ha zoned “AG1”), and
- To the west, two City-owned park/trail lots (future greenway), the future alignment for the extension of May Drive and a 2.8 ha (7 ac) lot owned by First Richmond North Shopping Centres Ltd. which will include a new Walmart outlet. The shopping centre lot is currently under construction and is zoned “Neighbourhood Commercial (ZC32) – West Cambie Area”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage. The italicized text indicates how each issue has been addressed.

- Confirmation of the site plan in relation to the Zoning Schedule “Town Housing (ZT67) – Alexandra Neighbourhood (West Cambie)” requirements, detailing of building massing and design, provision of parking, loading, pedestrian access, amenity areas, surface permeability, incorporation of play areas (*plans have been adjusted to incorporate these features*);
- Details on the proposed ESA compensation/enhancement and submission of an acceptable long term maintenance plan (*The DP plans show the extent of the ESA and the vegetation planting selections. A long term maintenance plan has been submitted that will be attached to a legal agreement, as required under the DP considerations.*);
- Registration of legal agreements for the protection and maintenance of the ESA vegetation areas (*Included in the DP considerations*);
- Submission of an Ener-Guide 82 assessment based on the building design (*Ener-Guide 82 report (dated November 6, 2015 prepared by Capture Energy has been submitted)*);
- Resolving on-site garbage collection and ensuring that appropriate vehicle movement allowances are provided (*a centralized facility is included for garbage and recycling*);
- Inclusion of the emergency vehicle access in the site plan (*an emergency vehicle access will be provided to Alderbridge Way*);
- Incorporation of appropriate Aircraft Noise Mitigation measures in the building plans (*Report dated October 14, 2015 includes gypsum board ceilings attached to trusses using resilient channels, exterior wall upgrades to several buildings, window upgrades to several units and air tightness and weather stripping to exterior doorways*);
- Addressing accessibility features within the units (*All of the proposed units incorporate aging in place features and a convertible plan is provided for unit “Ab” in the plans*);
- Addressing drainage concerns adjacent to the Alexandra Road greenway (*drainage for the greenway has been addressed in the Servicing Agreement via a connection to the*

City's drainage system and executing the Servicing Agreement is a condition of Building Permit issuance);

- Submission of preliminary plans for planting and drainage measures to be incorporated within the 20 m wide greenway at the north of the site to be reviewed through the Development Permit application (*these measures are addressed through the Servicing Agreement plans. Preservation of six large trees within the greenway are shown in both the DP plans and the SA plans. A drainage connection to the greenway has been incorporated in the SA plans.*); and
- Confirmation that the sustainability and aging in place measures will be built into the units (*aging in place and sustainability features are included in the DP plans*).

The Public Hearing for the rezoning of this site was held on May 19, 2015. At the Public Hearing, there were no submissions to Council. Council raised questions regarding the orientation of the driveway alignment along the western property line. The applicant subsequently worked with staff to revise the site plan and locate the driveway along the eastern property line. The revised driveway location is shown on the accompanying plans.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Town Housing (ZT67)" zoning.

Zoning Compliance/Variations

No variations are being requested.

Advisory Design Panel Comments

The Advisory Design Panel received the project at the meeting of November 4, 2015. A copy of the relevant excerpt from the Advisory Design Panel Minutes from November 4, 2015 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'. Staff are satisfied with the applicant's response to the ADP comments.

Analysis

Conditions of Adjacency

- With the exception of the future 20 m wide greenway which will remain at its current grade, the development site will be raised from an average grade of approximately 0.85 m to approximately 2.3 m GSC in order to meet minimum flood construction elevation requirements. Site grades between the subject site and the townhouse development to the east will be the same. A restrictive covenant has been secured as part of the rezoning application process ensuring habitable space within the development will meet the Flood Plain elevation requirements.
- The developer has designed the west side of the subject site with a retaining wall along the property line in order to feature level back yards to the townhouse units on the west of the

site. Staff support the proposed walkway access to the townhouse units, but this design prevents a gradual sloping of the grade to meet the existing grade of the adjacent park. In order to achieve a satisfactory interface to the park, the applicant will utilize a variety of materials (a mix of stone-face lock blocks and utility grade lock blocks to soften its overall appearance) in the proposed retaining wall. Additionally, the developer has agreed to contribute \$12,660 for the installation of a tree and shrub vegetation screen to be planted in the City-owned park adjacent to the retaining wall. The contribution is included in the Development Permit (DP) considerations. This proposal has been reviewed and endorsed by the Parks Department. Development Cost Charge credits for Park development will be applied for this contribution amount.

- A four foot high wood fencing is provided around the northern and western perimeter of the development (development portion only and does not include the 20 m greenway) allowing views into the adjacent park. A six foot high fence will be installed along the eastern property boundary as part of the adjacent townhouse development at 9680 Alexandra Road.
- The development will be set back 6 m (19.7 ft.) from Alderbridge Way to the south. Four metres of the setback will be planted with native trees and shrubs which, over time, will provide screening for the project. The only interruption to the vegetation planting will be an emergency access connecting the site to Alderbridge Way.

Urban Design and Site Planning

- At the recommendation of Planning Committee, the site plan was amended to relocate the internal drive aisle to the eastern side of the site to improve the interface to the park.
- The relocation of the drive aisle will allow all of the townhouse units to now back onto either the adjacent park on the west side of the property or the greenway along the northern side of the lot. Thirteen units will have front doors facing the internal drive aisle.
- To avoid bisecting the future greenway, vehicle access to the property will be restricted to a drive aisle access through the adjacent site to the east (9680 Alexandra Road). An access covenant has already been put into place over that property under RZ 13-649999.
- The 20 m wide greenway SRW along the northern portion of the lot will allow for the retention of six bylaw-sized trees plus additional hedging/planting.
- The emergency vehicle access to Alderbridge Way proposed in the plan will serve both the subject site and the neighbouring site (9680 Alexandra Road). This access has been reviewed and endorsed by Richmond Fire Rescue. The access will incorporate removable bollards to prevent non-emergency access, while permitting pedestrian access to Alderbridge Way.
- Provision of on-site vehicle parking spaces and bicycle parking spaces will fully address the requirements under Zoning Bylaw No. 8500.
- Permeable pavers are proposed at the main vehicle entrance, adjacent to the emergency access, adjacent to the outdoor amenity space and at all of the visitor parking spaces allowing for storm water infiltration and reducing site runoff.
- A fire hydrant is located on-site to ensure that all units are within fire protection range.
- A central garbage and recycling facility is located near the "T" intersection on the site providing the adequate turning space for disposal vehicles to access and turn around.
- Seven of the proposed townhouse units (within buildings 2 and 3) are planned to have their primary entry doors accessible only from the rear rather than from the drive aisle. Directional signage will be provided to indicate where the access to these units is located.

Architectural Form and Character

- The townhouses are assembled into four individual buildings: the building proposed on the north side contains four units, the two buildings proposed in the middle of the site contain five units, and the building proposed on the south side contains six units.
- Individual townhouse units are proposed to be three storeys in height – consistent with other recently approved townhouse developments in the area.
- Massing of townhouse cluster has been articulated to provide relief to the visual appearance of the line of units along the central drive aisle.
- Roof lines will be varied to provide visual relief and variety to each building's appearance.
- Gables, bay windows and projections are used on the buildings to add to the architectural design and complement the adjacent townhouse development to the east (9680 Alexandra Road).
- Rectangular and square windows incorporate muntins, mullions and painted wood trim to contribute to the overall appearance and character of the structures.
- Hardiplank siding is used for all buildings providing a consistent appearance and improving the building's performance in terms of acoustic attenuation.
- A band of cultured stone is proposed around the base of each of the buildings.

Landscape Design and Open Space Design

- Fourteen existing trees are to be removed from the site, 12 of these are bylaw sized trees.
- In compensation for the removed trees, 34 trees (maple, katsura, magnolia and spruce) are proposed to be planted on site with another 8 trees (maple, dogwood, fir) to be planted in the native buffer strip adjacent to Alexandra Way.
- A 4 m (13.1 ft) wide vegetated ESA strip planted with native trees and shrubs will be provided along the south property line along Alderbridge Way.
- The proposed replacement trees will exceed the minimum 2:1 tree replacements spelled out in the Official Community Plan.
- Each unit will feature a minimum of 30 m² (98 ft²) of private outdoor space.
- Under the proposed landscape plan trees and shrubs line the majority of the perimeter of the developed portion of the site. Shrubs and picket fencing will be used to differentiate semi-private space between units in the rear yards. Cedar shrubs will also be used to define individual driveway spaces.
- A 128 m² (1,280 ft²) centrally located outdoor amenity space is included in the site's landscaping plan – consistent with the City's outdoor amenity space requirements for a townhouse development.
- A children's play area located in the outdoor amenity space will be equipped with tot's play house and several low climbing elements such as a vertical log and a flat boulder, and a park bench will be provided. The play surface is divided into two parts – one with a fibre or equivalent surface and the other part with a grassed play area.
- An open air centralized mailbox facility with a roof is located at the entrance to the outdoor amenity space.

Crime Prevention Through Environmental Design

- Individual unit entry ways are readily visible either from the internal drive aisle or adjacent units.

- Adjacent units will provide overlook onto both the children's play area and the adjacent park/greenway.
- Low level bollard lighting will be provided along internal walkway to promote safety.

Energy and Sustainability

- The development will be required to achieve Ener-guide 82 and pre-duct all units for solar hot water. Thermal and acoustical studies have been undertaken for this site and submitted as part of this application. This condition was included with the Rezoning Considerations.
- The Capture Energy report (dated March 4, 2016) indicates that the project will achieve the Ener-guide 82 target and notes that one of the initiative incorporated into each townhouse unit to achieve this target will be an air source heat pump backed up by a 92% efficient natural gas forced air furnace.
- Double/triple-glazed vinyl framed windows with low "E" argon filled glass will be used throughout supporting the overall energy efficiency of the development. Window thicknesses will be adjusted for several units to address noise mitigation needs as identified in the acoustic report by BKL (dated October 14, 2015).
- Water efficient toilets will be used in each unit to reduce water use.
- Permeable pavers are proposed for the visitor parking areas to help reduce storm runoff and improve ground infiltration.
- The development considerations include requirements for registration of a legal agreement on title to mitigate noise to the required CMHC guidelines and Thermal efficiency under ASHRAE 55-2004 standards.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of this unit will require conversion of storage spaces on three levels, if a future owner wishes to install an elevator.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The proponents of the proposed development have made extensive changes to the overall project design to address issues identified by the Advisory Design Panel and staff. Based on the revised plans, staff recommend approval of the application to develop 20 three storey townhouses at 9560 Alexandra Road.



David Brownlee
Planner 2
DCB:cas

The following are to be met prior to forwarding this application to Council for approval:

1. Final adoption of the Zoning Amendment Bylaw No. 9240.
2. Receipt of a cash contribution in the amount of \$12,660.00 to provide landscape screening within the City Park and adjacent to the retaining wall along the western property boundary of the subject site. DCC credits for Park development will be provided for this contribution.
3. Receipt of a Letter-of-Credit for landscaping in the amount of \$90,225.55 including a 10% contingency cost.
4. Submission of a representation showing the layout for the mix of utility grade lock blocks and the stone faced lock blocks to be used on the lock block retaining wall along the western side of the development area facing the future park.
5. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft noise and noise from road traffic on Alderbridge Way within the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - a) CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels
 - b) the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
6. Registration of a legal agreement on title that includes a registerable plan prepared by a registered BC Land Surveyor ensuring that landscaping planted within the Environmentally Sensitive Area (ESA) adjacent to Alderbridge Way is maintained and will not be abandoned or removed. The legal agreement will also include commitment to maintain the ESA vegetation in accordance with the Covenant Buffer Landscape Maintenance report dated March 3, 2016. The agreement will also contain provisions allowing the City to enter the ESA to remediate the vegetation within the ESA should the owners fail to do so.

Prior to future Building Permit issuance, the developer is required to complete the following:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. A Qualified Environmental Professional to undertake a pre-clearing bird nest survey and submit a summary of the findings and recommendations to the City prior to site clearing activities. (Note the report needs to be done within seven days of clearing the site in order to be accurate as the bird nesting season has begun).
3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Payment of the Supplementary Local Area DCC for the Alexandra Neighbourhood.
5. Payment of latecomer agreement charges associated with eligible latecomer works.
6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 15-700370

Attachment 1

Address: 9560 Alexandra Road

Applicant: Yamamoto Architecture Inc.

Owner: 0846930 BC Ltd.

Planning Area(s): West Cambie – Alexandra Neighbourhood

Floor Area Gross: 2,615.9 m² (28,157.2 ft²) Floor Area Net: 2,587.8 m² (27,854.5 ft²)

	Existing	Proposed
Site Area:	4,051.3 m ² (43,607.7 ft ²) gross	4,019.3 m ² (43,263.5 ft ²) after road dedications
Land Uses:	Single Family Residential	Multiple Family Residential
OCP Designation:	Neighbourhood Residential and Park	No Change
Zoning:	Single Detached (RS1/F)	Town Housing (ZT67)
Number of Units:	Vacant	20 Townhouses

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.65	0.65	none permitted
Lot Coverage – Building:	Max. 40%	32.8%	none
Setback – Front Yard (m):	Min. 5.0 m	24.5 m	none
Setback – Interior Side & Rear Yards (m):	Min. 3.0 m	Side: Min. 3.0 m Rear: Min. 6.0 m	none
Height (m):	12 m	11.0 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.5/unit (30 R) and 0.2/unit (4 V)	40 (R) and 4 (V) per unit	none
Off-street Parking Spaces – Total:	34	44	none
Tandem Parking Spaces:	Permitted	24 stalls total in 12 units (60%)	none
Accessible Stalls	1	1	none
Bicycle Stalls	Class 1: 25 Class 2: 4	Class 1: 40 Class 2: 5	none
Amenity Space – Indoor:	Min. 70 m ² (753.5 ft ²) or \$1,000/unit for 19 units & \$2,000 / unit over 19 units	\$21,000 cash in lieu (addressed under RZ14-669511)	none
Amenity Space – Outdoor:	120 m ² (1,292 ft ²)	122 m ² (1,321 ft ²)	none

Tree replacement compensation required for loss of significant trees. Based on Arborist report 12 Bylaw sized trees to be removed. 5 Bylaw sized trees to be retained in greenway.

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, November 4, 2015 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Panel Discussion

Comments from the Panel were as follows:

- applicant needs to provide details on (i) how to achieve the project's target for an Energuide 82 rating (*Please see attached EnerGuide 82 report.*) and (ii) specific features of the proposed water efficient toilets; *Please see attached specification sheet for Kohler dual flush toilet model K-372.*
- appreciate the proposed use of double-glazed low-e window glass in the townhouse building; *We appreciate the Panel's comment.*
- recommend that the applicant use true energy star appliances; *All appliances to be energy star appliances.*
- electric baseboard heaters are not energy efficient; consider equipping them with programmable thermostats; *Heating/cooling system to be gas furnace with heat pump, therefore electric baseboard heaters are not required.*
- appreciate the convertible unit design; the applicant meets the required number for the project; however, an additional convertible unit would be appreciated; *We feel that for this development of 20 units, one convertible unit is sufficient. However, all units will have ageing in place features.*
- consider reducing the height of the retaining wall along the west property line; cross sidewalk access from the internal drive aisle to the walkway needs to remain level; *Creating stepped retaining walls will impact the private yard space of the future residents by further reducing their outdoor living area.*
- the internal drive aisle of the proposed development looks better than similar projects; appreciate the row of trees along one side of the internal drive aisle; *We appreciate the Panel's comment.*
- consider extending the west walkway up to Alderbridge Way; *After discussion with staff at City of Richmond, staff confirms that extending the west walkway to Alderbridge Way is not supported as it will further impact the ESA compensation area.*

- look at opportunities for Building No. 4 units with tandem parking to respond better to the extended west walkway; the visitor parking stall should stay up if the west walkway is terraced down; terracing down and berming up of the extended greenway provides a nice edge to the west; *Extending the walkway to Alderbridge Way is not supported by staff. We feel that the space to the west of Building 4 is more suitable as larger rear yards for the future residents than extending the walkway that will cut off at the ESA compensation area.*
- look at the enormous empty space between the living and dining areas on the second floor of type A units; consider design development to address this concern; *Second floor plan of type A units revised to eliminate empty space.*
- general design of the project is good; however, there is a continuous row of double car garages in Building No.3; consider introducing architectural elements and landscaping to visually break down the long row of double car garages; *1.25 m height emerald green cedar shrubs planted between garages to visually break down row.*
- choice of native plant species is generally good; however, consider replacing the pacific crabapple trees with the more ornamental vine maple trees at the northeast corner of the site; *PMG: Pacific Crabapple trees have been replaced with Vine Maple trees at the northeast corner of the site. Please see L1 for your reference.*
- appreciate the planting along the internal drive aisle; however, ensure that there is adequate root barrier between the road curb and gutter for the red maple trees; *PMG: Root barrier has been added between road curb and gutter for the Red maple trees along internal driveway. Please see L1 for your reference.*
- agree with comments regarding lowering the western edge of the site to reduce the height of the retaining walls along the walkway; however, ensure that the accessibility requirements from the garage to the walkway are met; also agree with comments regarding the extension of the walkway up to Alderbridge Way to enhance pedestrian access to the subject site; *Extending the walkway to Alderbridge Way is not supported by staff. We feel that the space to the west of Building 4 is more suitable as larger rear yards for the future residents than extending the walkway that will cut off at the ESA compensation area.*
- no need to provide lawns for units in Building Nos. 2 and 3 as the proposed location is shady; lawn spaces for Building No. 4 units could be better utilized for the walkway extension; *PMG: Lawns for units in Building No.2 and 3 have been reduced. Please see L1 for your reference.*
- red fox katsuras in the unit yards of Building No. 4 are too big and dense for the size of the project; consider smaller species; *PMG: Red Fox Katsuras in the unit yards of Building No4 have been replaced with smaller species-. PINK FLOWERED JAPANESE SNOWBELL. Please see L1 for your reference.*

- the applicant should investigate whether Tree Nos. B and C to the west of Building No. 4 are still existing as they will impact the proposed planting scheme in adjacent areas of the subject site; *Please see attached arborist report. Tree C is in high risk of failure and will be removed, Tree B is located far enough away from the property line that no tree protection zone is required.*
- the play area appears gloomy and lacks sun exposure; the tree is not necessary; *Tree removed from play area.*
- consider replacing the seesaw in the children's play area with a play equipment that can be more easily operated by a single child; *PMG: Tree at West side of the play area have been removed and play equipment have been replaced with another one which can more easily operated by a single child. Please see L1 for your reference.*
- the proposed development is carefully designed; however, it lacks playfulness and architectural interest compared to the adjacent project by the applicant; neutral colours do not fit well with the neighbouring development; consider more variation in the colour scheme; *Colour scheme revised.*
- consider dropping down the architectural element at the top floor of Unit B2a Building No. 1 (west elevation) as it appears heavy on the top; should read like the architectural elements in the upper floors of Building No. 3 units (west elevation); *Elevation revised as per comment.*
- review the need for shrub planting between the walkway and the fence as the space could be utilized to enlarge the unit yards; *PMG: Shrub planting between the walkway and the fence along West P.L. have been removed and the unit yards have been enlarged . Please see L1 for your reference.*
- agree with comments to lower the height of the retaining wall along the pedestrian walkway to better address the future park to the west of the subject property; *Creating stepped retaining walls will impact the private yard space of the future residents by further reducing their outdoor living area.*
- an arborist will be needed should the applicant decide to retain Tree Nos. B and C; the trees will add value to the project in view of their proximity to the future park; *Please see attached arborist report. Tree C is in high risk of failure and will be removed, Tree B is to be retained.*
- consider relocating the play equipment to the west edge of the children's play area for better sun exposure; *PMG: Play equipment have been relocated to the west edge of the children's play area for better sun exposure. Please see L1 for your reference.*
- appreciate the planting in the Alderbridge Way setback; consider adding more conifers such as Douglas firs; *PMG: More Douglas firs have been proposed in the Alderbridge Way setback. Please see L1 for your reference.*

- appreciate the tree planting along the east side of the proposed development; however, ensure adequate soil volume; and *PMG: There is 3' wide landscape strip on the proposed side and there is a landscape area on the neighbour's development. Please see L1 for your reference.*
- consider introducing a single cedar in the planting areas between unit garages along the internal drive aisle. *PMG: Single cedar have been proposed in planting areas between units garages along the internal drive aisle. Please see L1 for your reference.*

Panel Decision

It was moved and seconded

That DP 15-700370 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED



City of Richmond

Development Permit

No. DP 15-700370

To the Holder: Yamamoto Architecture Inc.

Property Address: 9560 Alexandra Road

Address: 202 - 33 East 8th Avenue
Vancouver, B.C. V5T 1R5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #12 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$90,225.55 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 15-700370

To the Holder: Yamamoto Architecture Inc.
Property Address: 9560 Alexandra Road
Address: 202 - 33 East 8th Avenue
Vancouver, B.C. V5T 1R5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

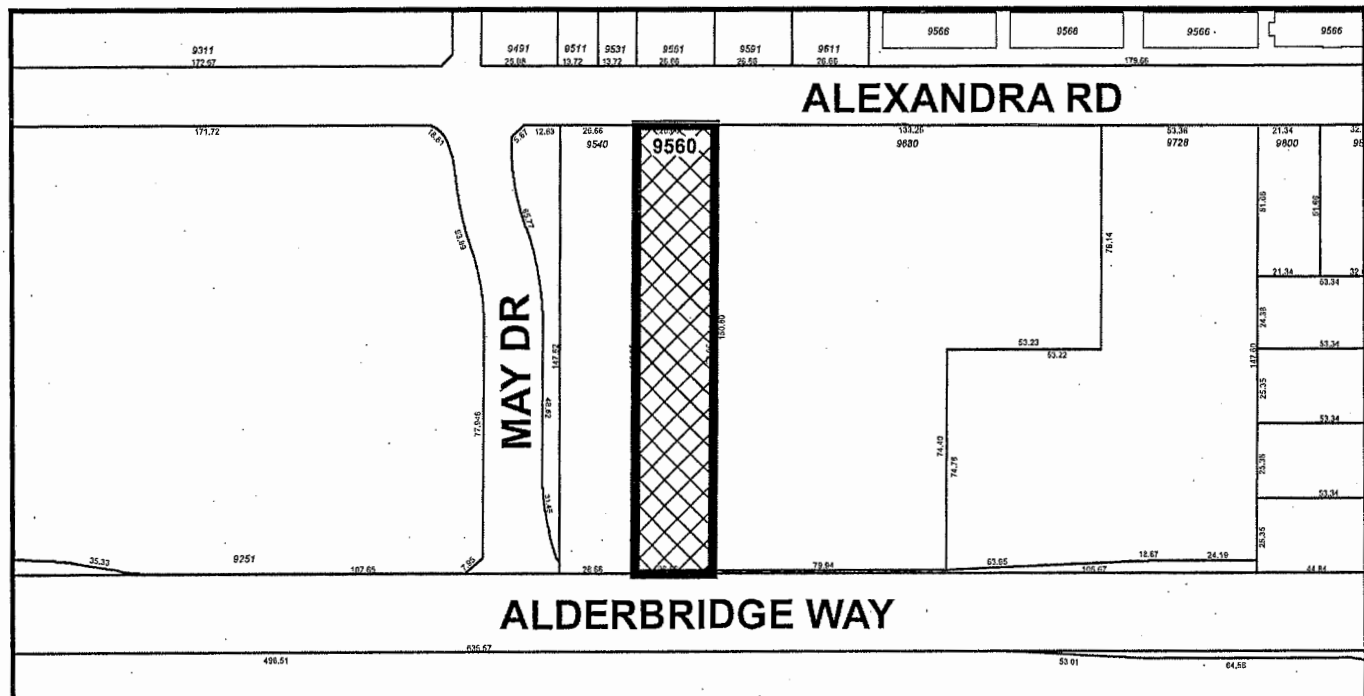
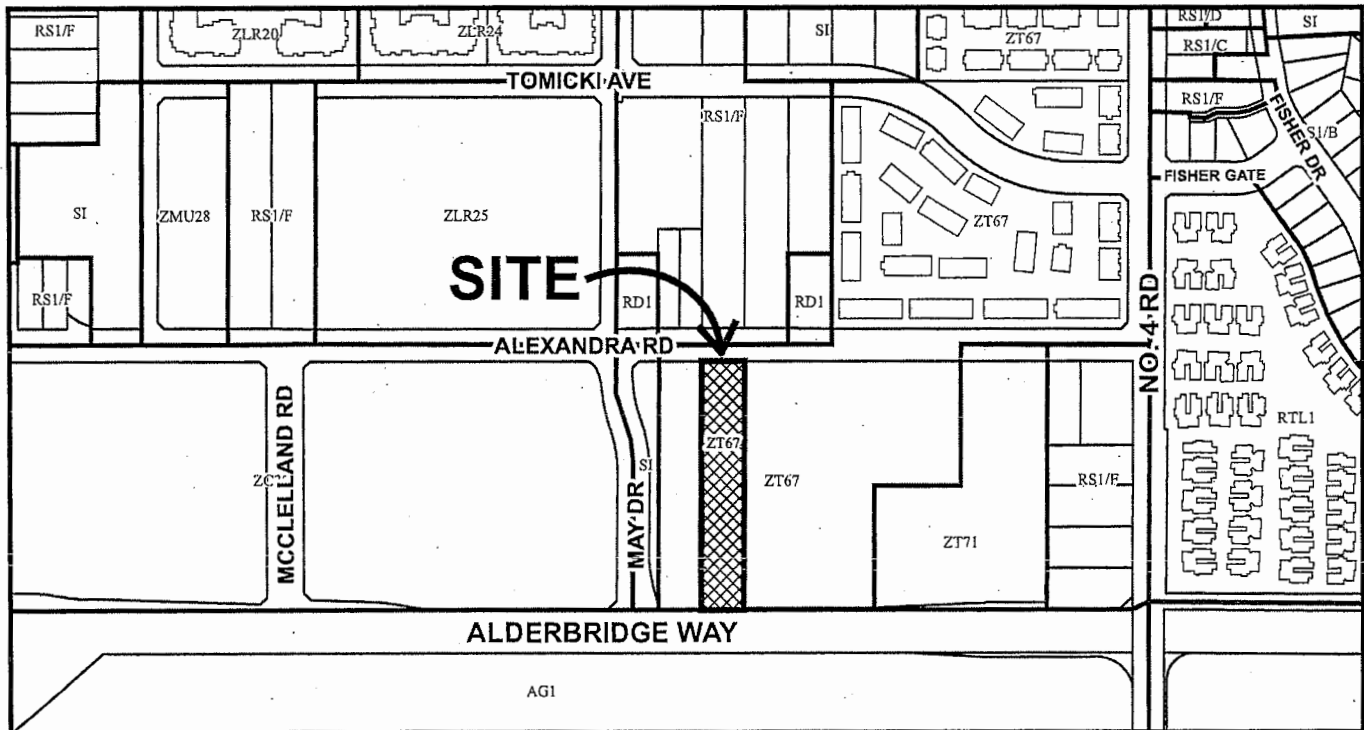
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 15-700370
SCHEDULE "A"

Original Date: 07/13/15

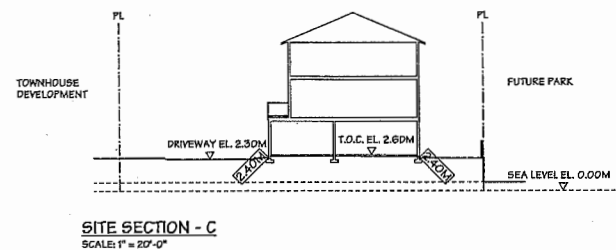
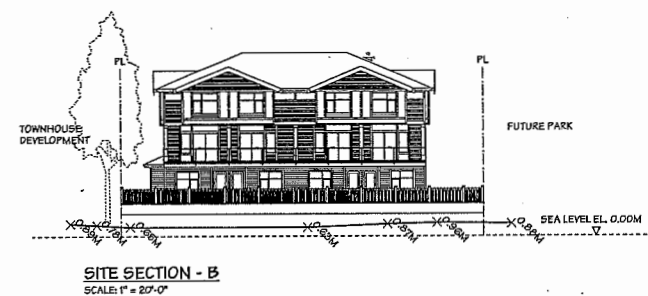
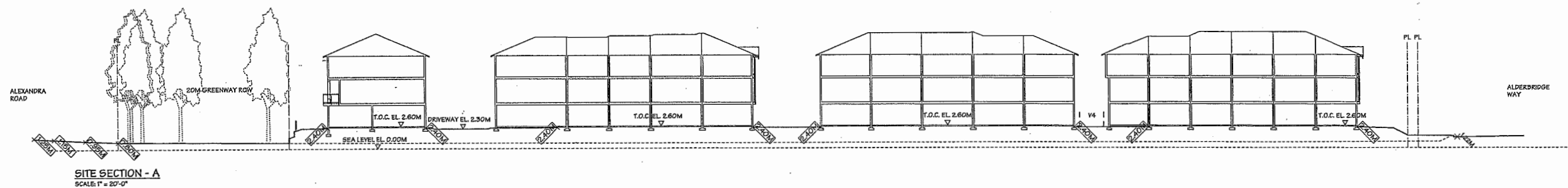
Revision Date:

Note: Dimensions are in METRES

APR 13 2016

DP 15-700370

Plan #2



PLAN #1a

NO.	DATE	REVISIONS
1	MAY 10, 2016	BOLLARD/RETAINING WALL REVISED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAY 25, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	GENERAL REVISIONS
7	JUL. 28, 2014	ISSUED FOR REZONING APPL.

Yamamoto
Architecture Inc.

#202 - 33 East 6th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

PROJECT	TOWNHOUSE DEVELOPMENT	DRAWING TITLE	SITE CROSS SECTION
SCALE	1" = 20'-0"	SHEET NO.	
DATE	NOV. 3, 2014		
DRAWN	YK		DP 15-700370
CHECKED		PROJ. NO.	1413

Site plan of a parking lot with various parking spaces labeled A1, Aa, Ab, A, Ac, B1, B2, B3, B4, B5, B6, B7, B8, B9, B10, B11, B12, B13, B14, B15, B16, B17, B18, B19, B20, B21, B22, B23, B24, B25, B26, B27, B28, B29, B30, B31, B32, B33, B34, B35, B36, B37, B38, B39, B40, B41, B42, B43, B44, B45, B46, B47, B48, B49, B50, B51, B52, B53, B54, B55, B56, B57, B58, B59, B60, B61, B62, B63, B64, B65, B66, B67, B68, B69, B70, B71, B72, B73, B74, B75, B76, B77, B78, B79, B80, B81, B82, B83, B84, B85, B86, B87, B88, B89, B90, B91, B92, B93, B94, B95, B96, B97, B98, B99, B100. The plan includes dimensions, a north arrow, and a scale bar.

PARKING:

2 CAR GARAGES x 20 UNITS	=	40	SPACES (RESIDENTS)
OPEN VISITORS PARKING	=	4	SPACES (VISITORS)
<u>TOTAL</u>	=	<u>44</u>	<u>SPACES</u>

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

PROVIDED BICYCLE:	2 SPACES x 20 GARAGES	=	40 SPACES (CLASS 1)
	BICYCLE RACK	=	5 SPACES (CLASS 2)
	<u>TOTAL</u>	=	<u>45 SPACES</u>

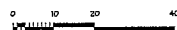
SMALL PARKING SPACE (GARAGE)
2.3M x 4.5M

VERTICAL BICYCLE SPACE (GARAGE)
0.6M x 1.0M

STANDARD PARKING SPACE (GARAGE)
2.5M x 5.5M

**VISITOR PARKING
STANDARD**
2.5M x 5.5M

ACCESSIBLE
3.7M x 5.5M



PLAN #2

Yamamoto
Architecture Inc.

PROJECT TOWNHOUSE DEVELOPMENT 9550 ALEXANDRA ROAD RICHMOND, B.C.	DRAWING TITLE	
	PARKING PLAN	
	SCALE	SHEET NO.
	1/16" = 1'-0"	
	DATE OCT. 24, 2014	
DRAWN TY	DP 15-700370	
CHECKED	PROJ. NO. 1413	

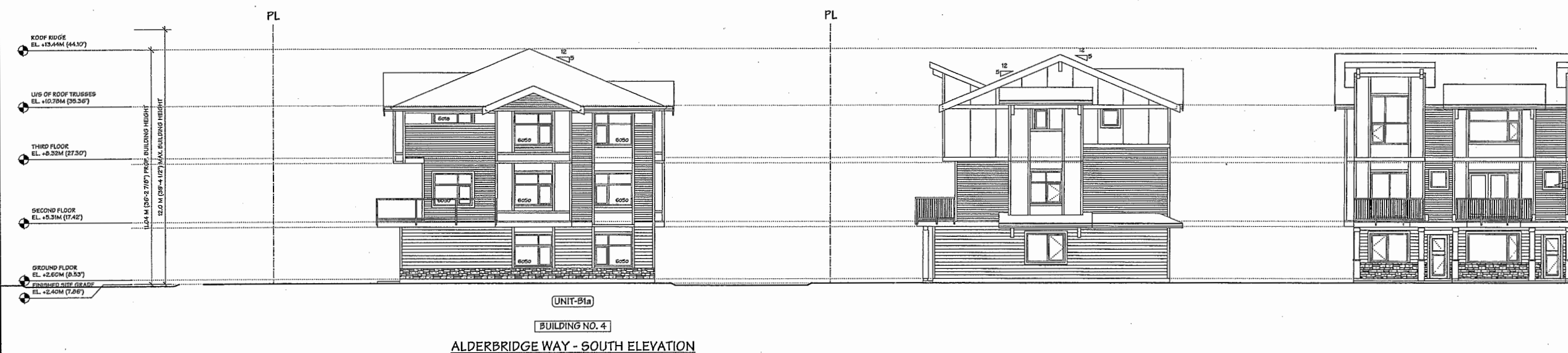
Plan #3

09 1570370

APR 13 2016



NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL KEYSED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 5, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAR. 23, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	ISSUED FOR REZONING
CONSULTANT		



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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5560 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V6T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

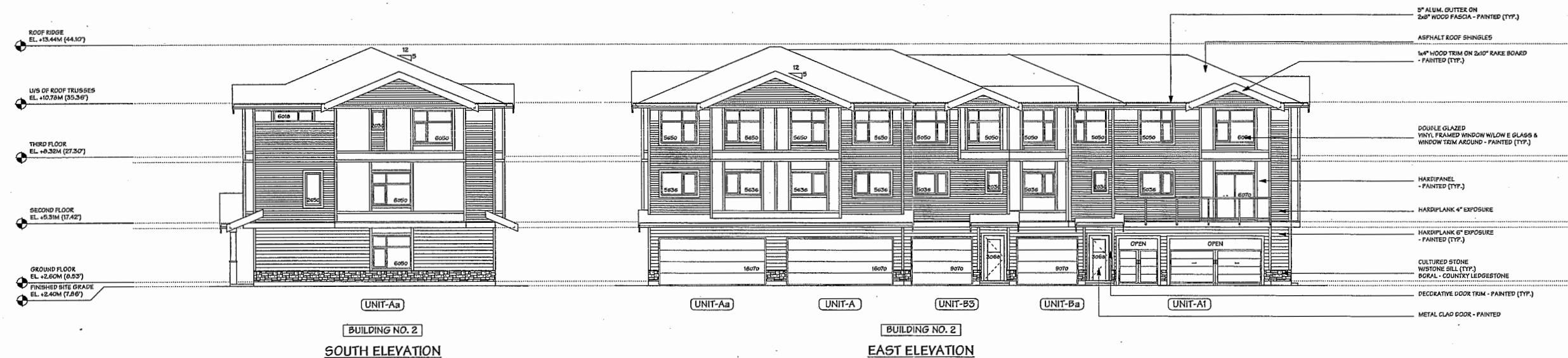
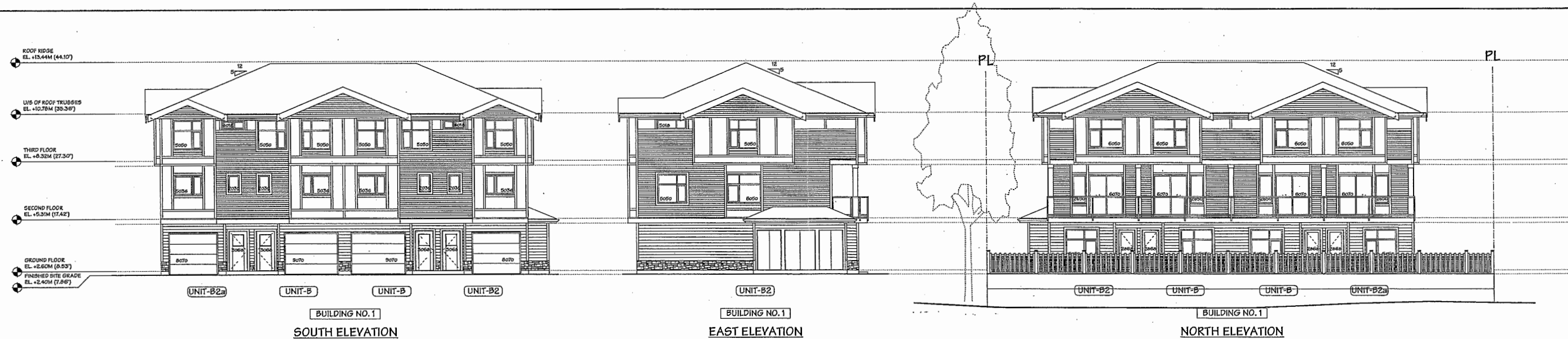
SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #4

Plan #4

APR 13 2016

DP 15-700370



COLOUR SCHEME	
ROOF:	IKO / CAMBRIDGE 30 / CHARCOAL
FASCIA BD. & DOOR/WINDOW TRIM:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
GABLE ACCENT WALL (HARDPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
ACCENT WALL (HARD-PANEL):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
SECOND & UPPER FLOOR WALL (HARDPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
GROUND FLOOR WALL (HARDPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH90-30 (IRON GRAY)
GR. FLOOR ACCENT (CULTURED STONE WISTONE SIL):	BORAL PRO-FIT ALPINE LEDGESTONE (BLACK MOUNTAIN)
MAIN ENTRY DOOR:	BENJAMIN MOORE / OC-32 (TAPESTRY BEIGE)
REAR ENTRY/ELEC. ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARAGE DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARB./RECYCLING ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
FLASHINGS & PORCH POSTS:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
FENCE:	METAL "WHITE"
RAILINGS/GUARDRAILS:	METAL "WHITE"

NO.	DATE	REVISIONS
MAR. 10, 2016	MATERIAL KEY/SED	
FEB. 3, 2016	GENERAL KEYVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR O.P. APPLICATION	
MAR. 23, 2015	GENERAL KEYVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5580 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-721-1127 Fax: 604-721-1327

DRAWING TITLE
ELEVATIONS

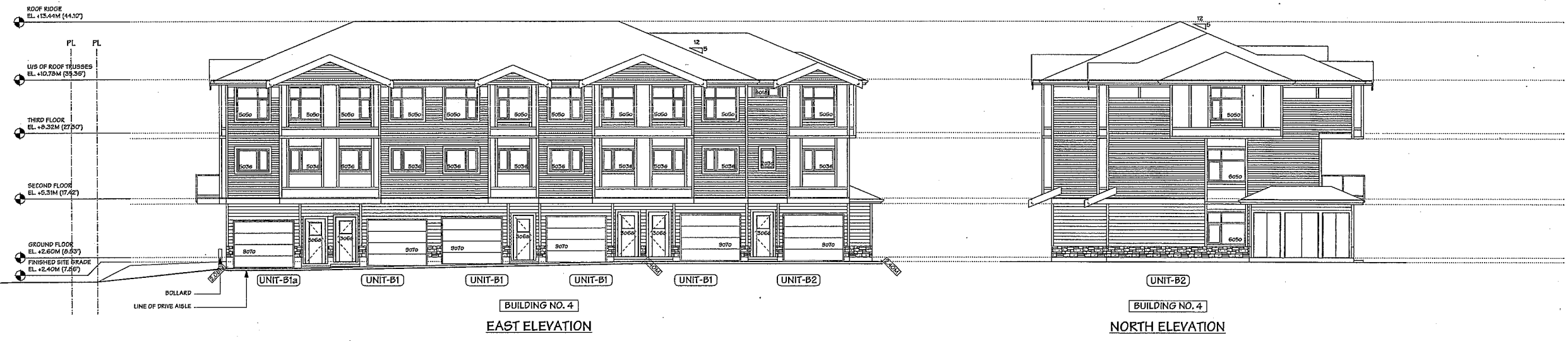
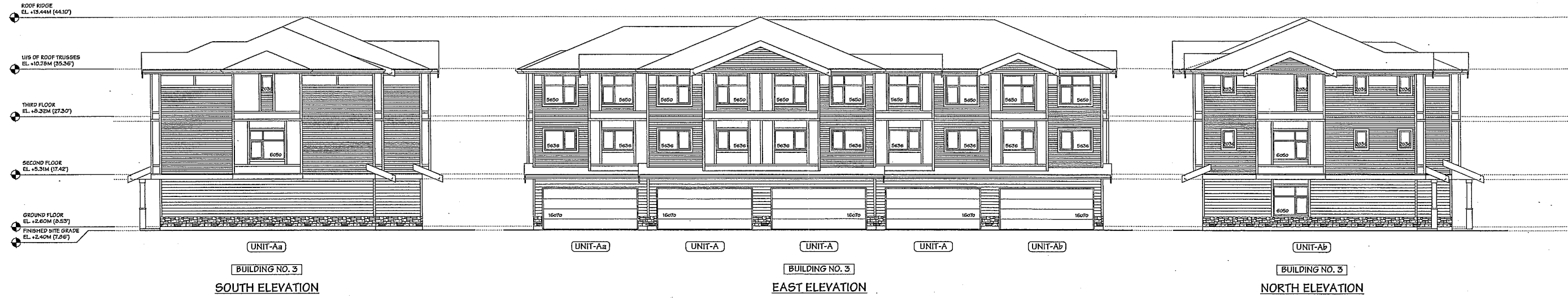
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DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #5

Plan #5

APR 13 2016

DP 15-700370



	MAR. 10, 2016	MATERIAL REVISED
	FEB. 3, 2016	GENERAL REVISIONS
	OCT. 6, 2015	ISSUED FOR A.D.P.
	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
	MAR. 23, 2015	GENERAL REVISIONS
	NOV. 4, 2014	ISSUED FOR REZONING
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT
 20 UNIT TOWNHOUSE
 DEVELOPMENT

9560 ALEXANDRA ROAD
 RICHMOND, B.C.

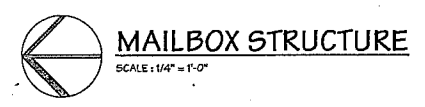
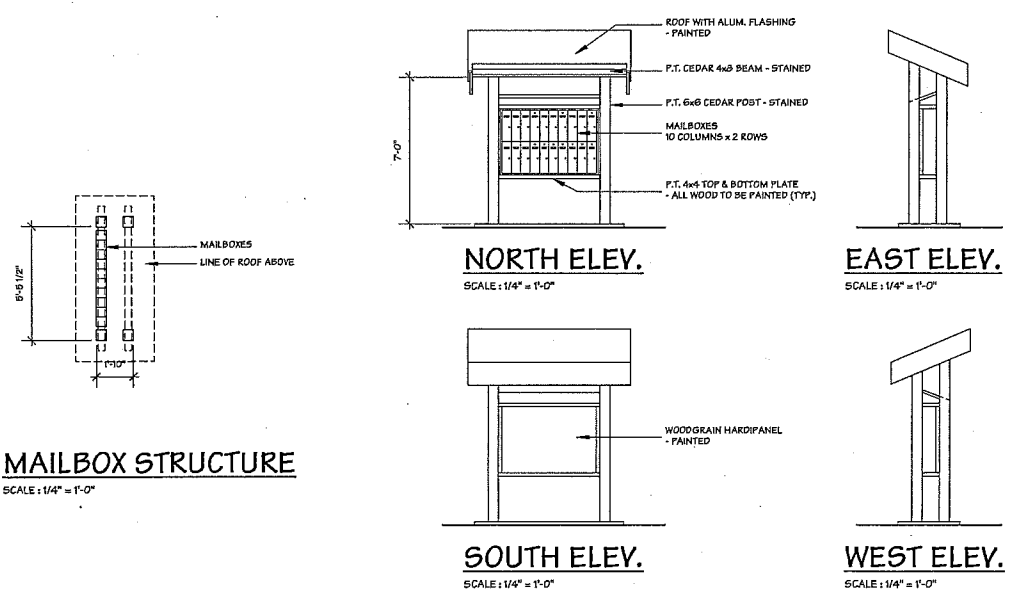
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 Architecture Inc.

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 V6T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
 ELEVATIONS

SCALE	1/8" = 1'-0"	SHEET NO.
DATE	OCT. 2, 2014	
DRAWN	KM	DP 15-700370
CHECKED		PROJ. NO. 1413

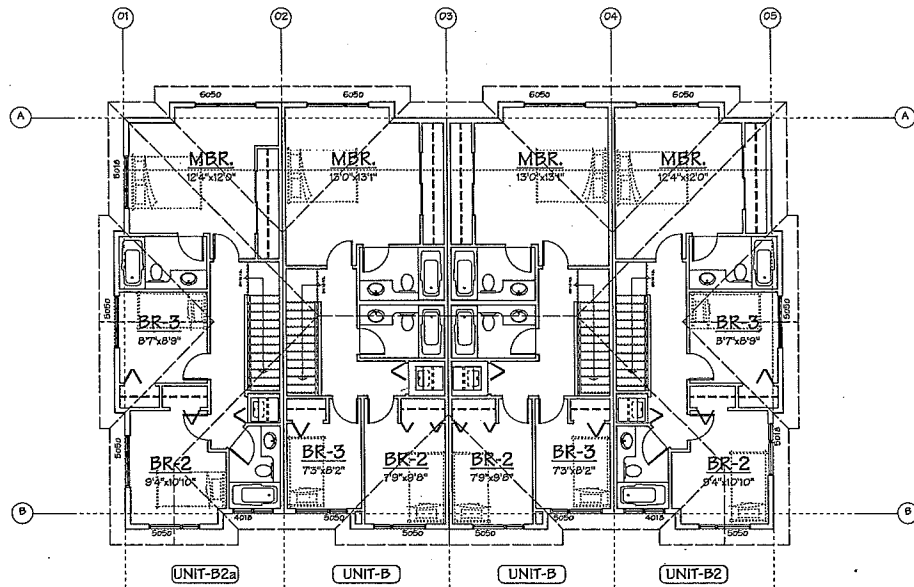
COLOUR SCHEME	
ROOF:	IKO / CAMBRIDGE 30 / CHARCOAL
FASCIA BD. & DOOR/WINDOW TRIM:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
GABLE ACCENT WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
ACCENT WALL (HARDI-PANEL):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
SECOND & UPPER FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
GROUND FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH90-30 (IRON GRAY)
GR. FLOOR ACCENT (CULTURED STONE W/STONE SILL):	BORAL PKO-RT ALPINE LEDGESTONE (BLACK MOUNTAIN)
MAIN ENTRY DOOR:	BENJAMIN MOORE / OC-32 (TAPESTRY BEIGE)
REAR ENTRY/ELEC. ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARAGE DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARS./RECYCLING ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
FLASHINGS & PORCH POSTS:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
FENCE:	METAL "WHITE"
RAILINGS/GUARDRAILS:	METAL "WHITE"



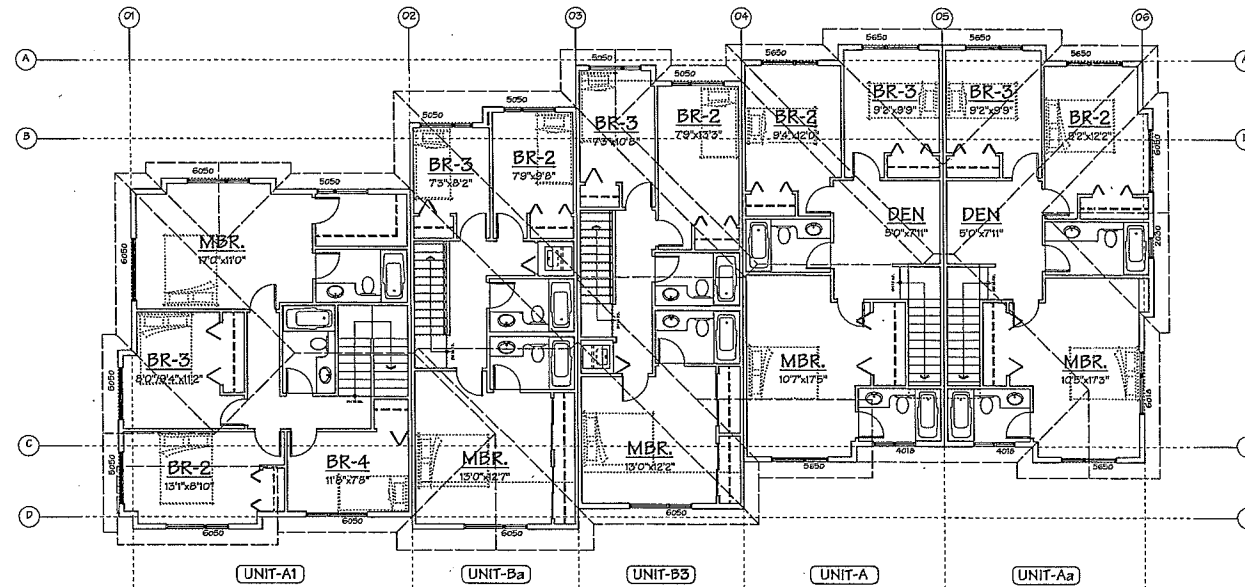
PLAN #6

Plan #6

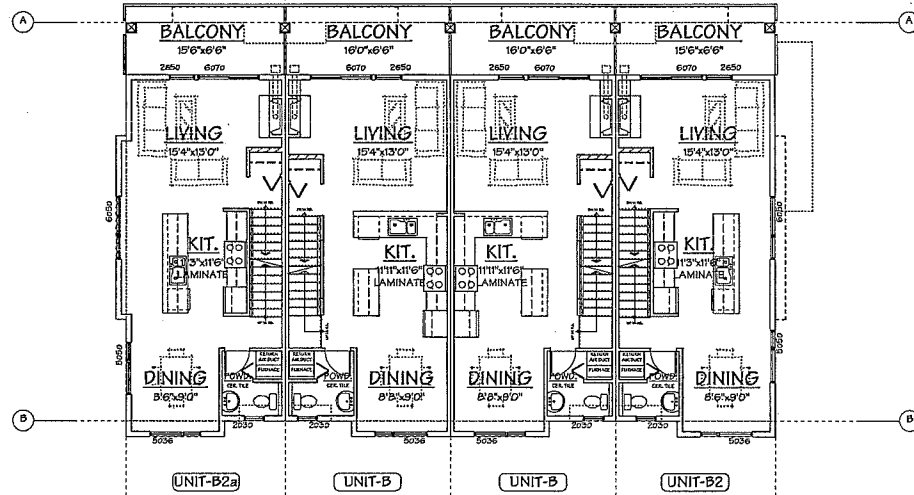
APR 13 2016
 DP 15-700370



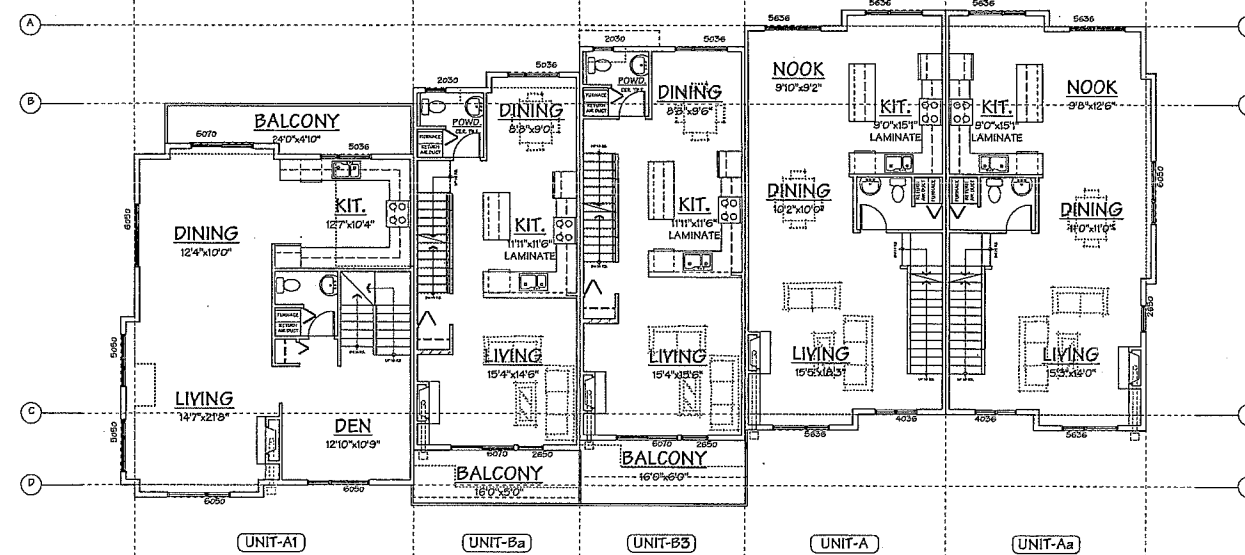
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



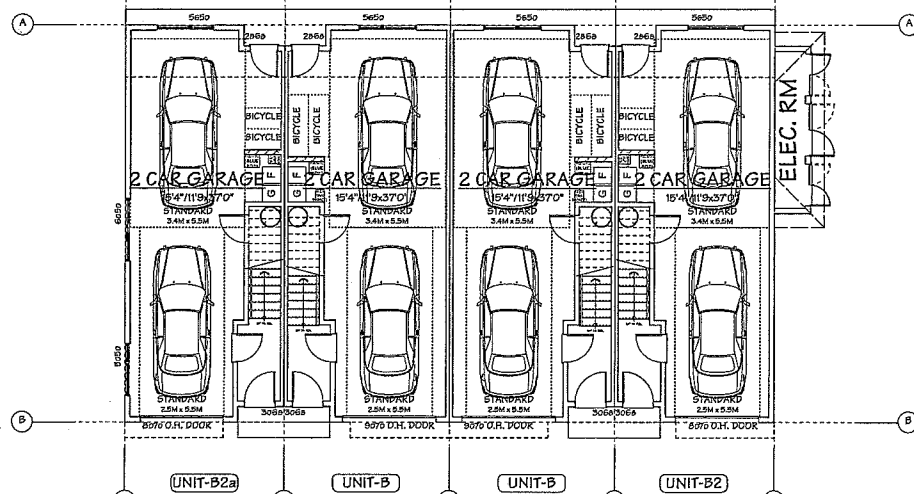
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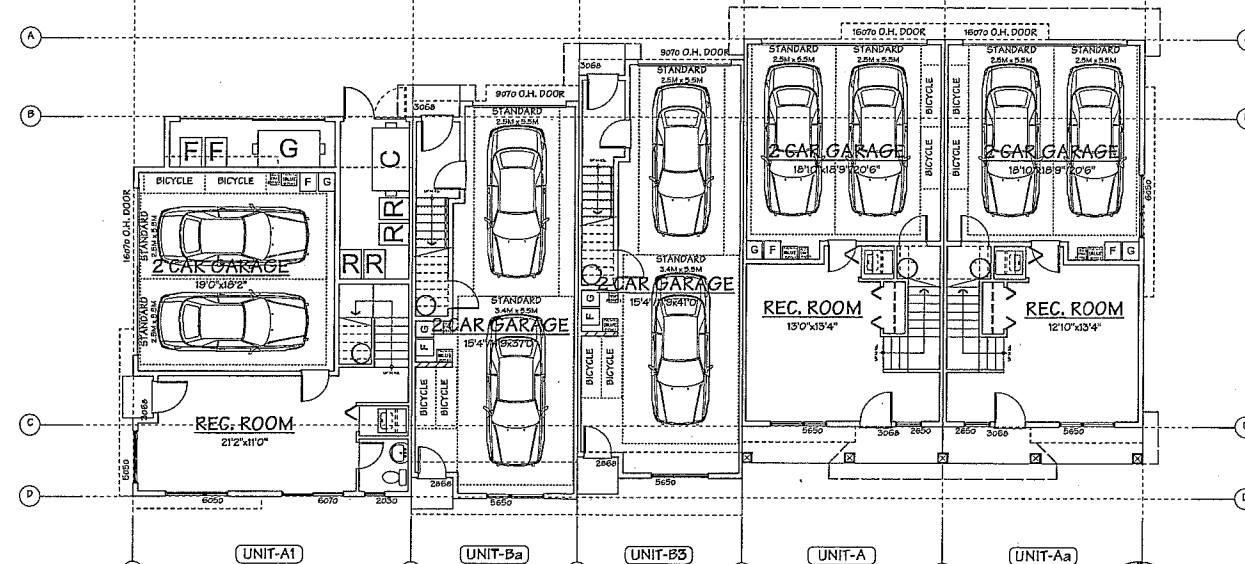
SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

**SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS

NO.	DATE	REVISIONS
MAR. 10, 2016	MATERIAL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

9580 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

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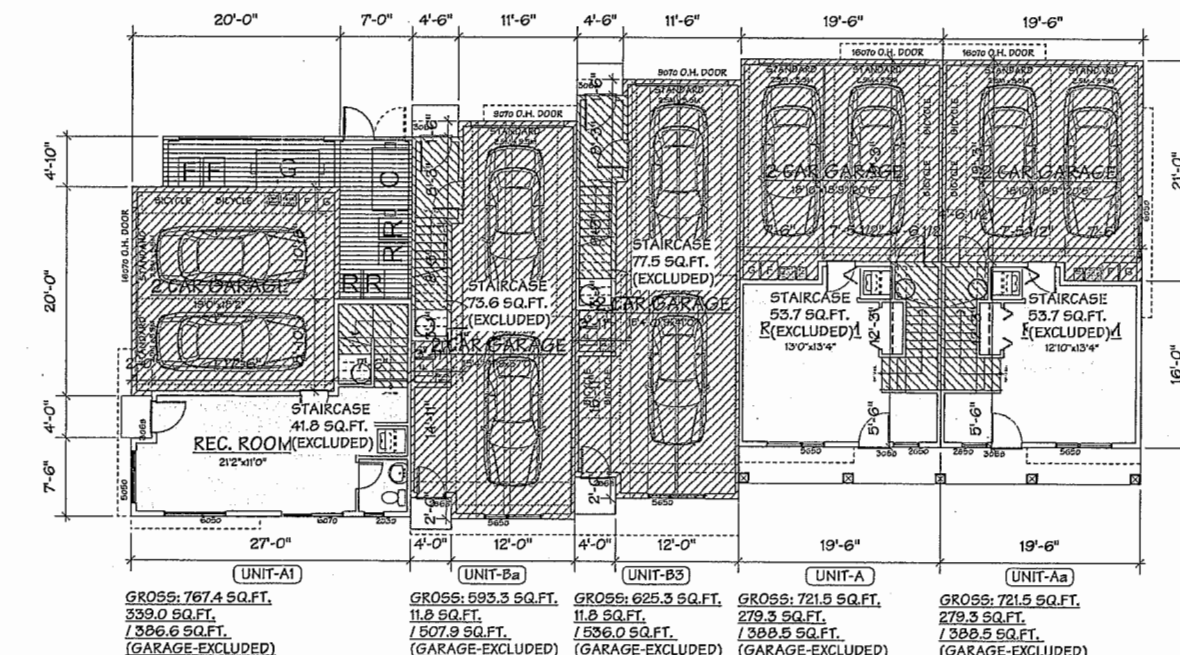
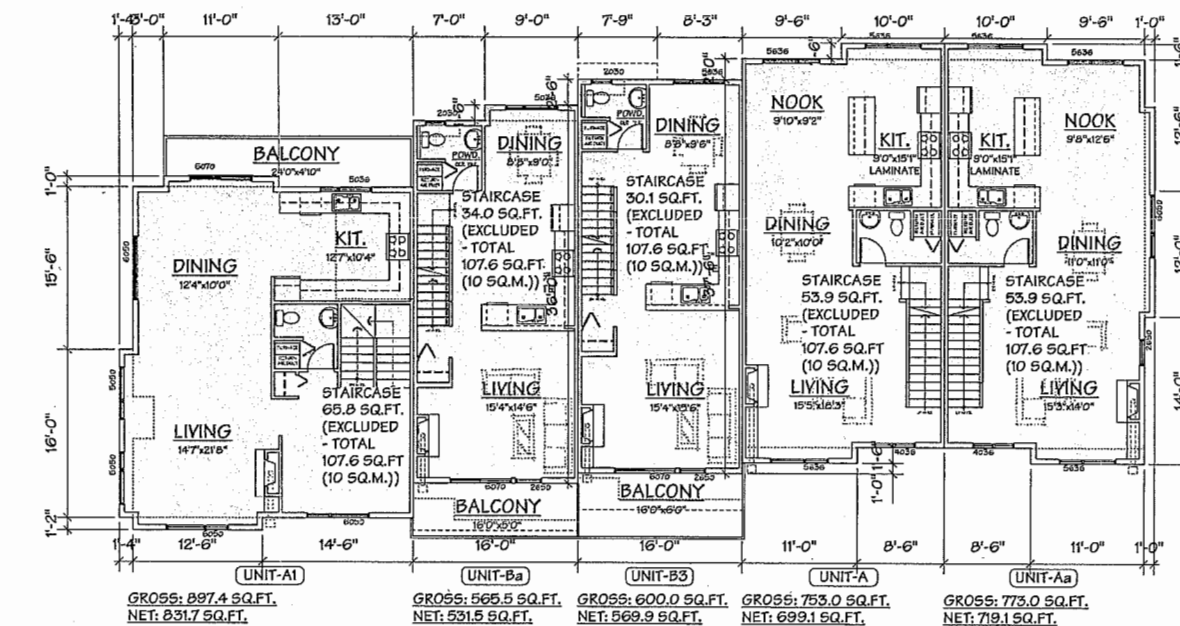
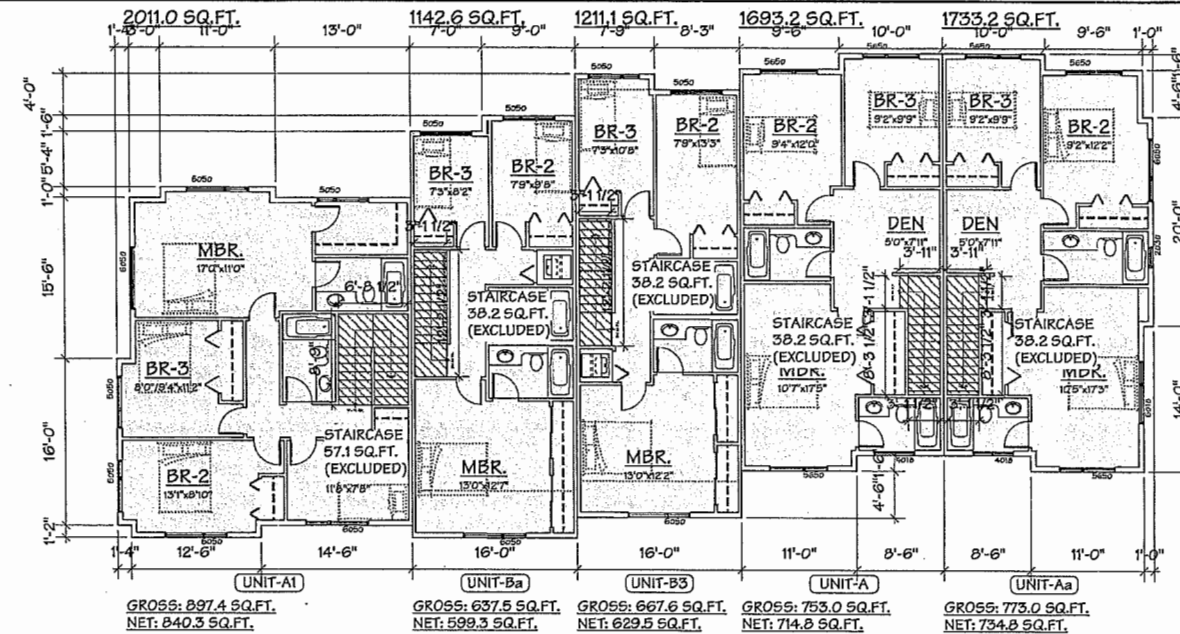
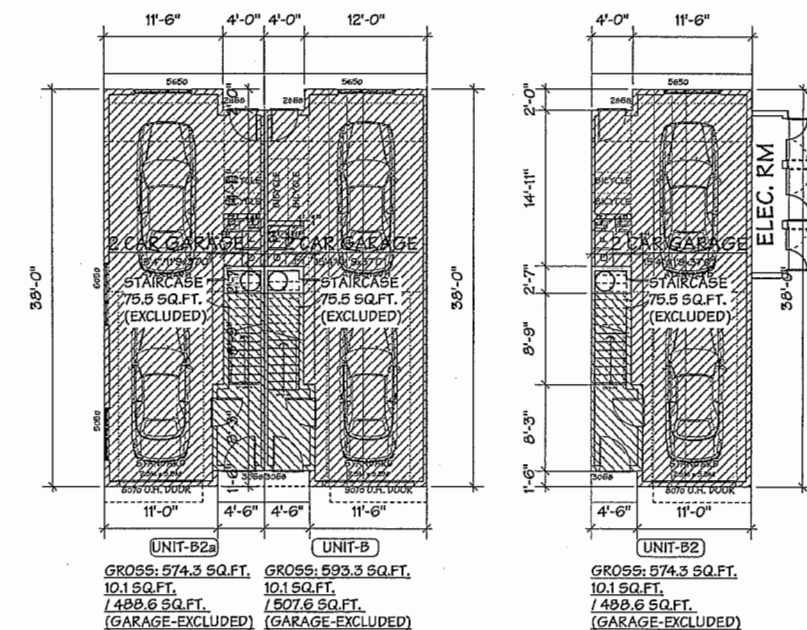
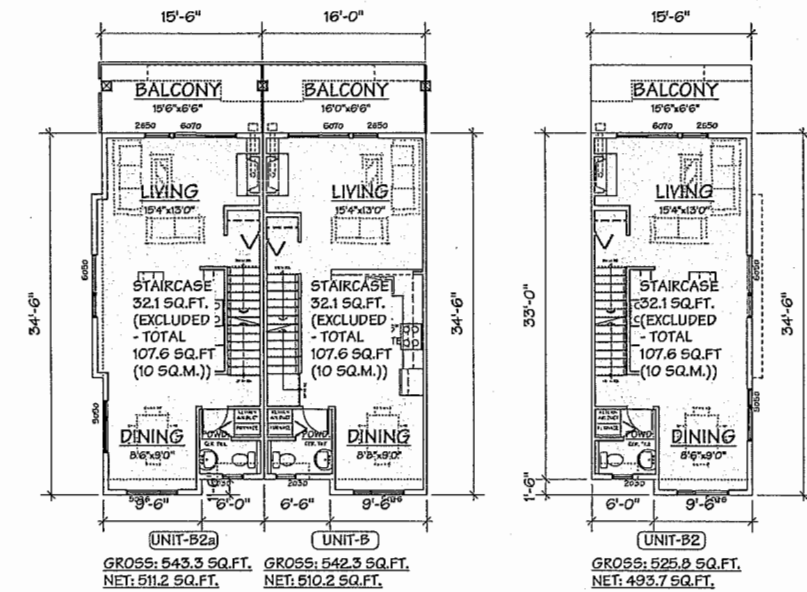
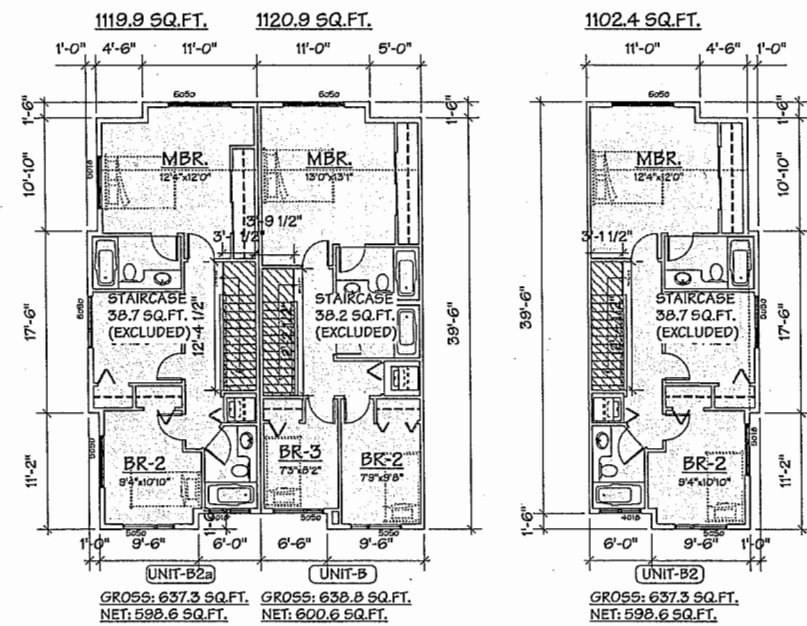
DRAWING TITLE
FLOOR PLANS

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #7

Plan #7

APR 13 2016
DP 15-700370



NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL REVISED
2	FEB. 3, 2016	GENERAL KEYNOTES
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAR. 23, 2015	GENERAL KEYNOTES
6	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
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DEVELOPMENT

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V6T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
F.A.R. OVERLAY

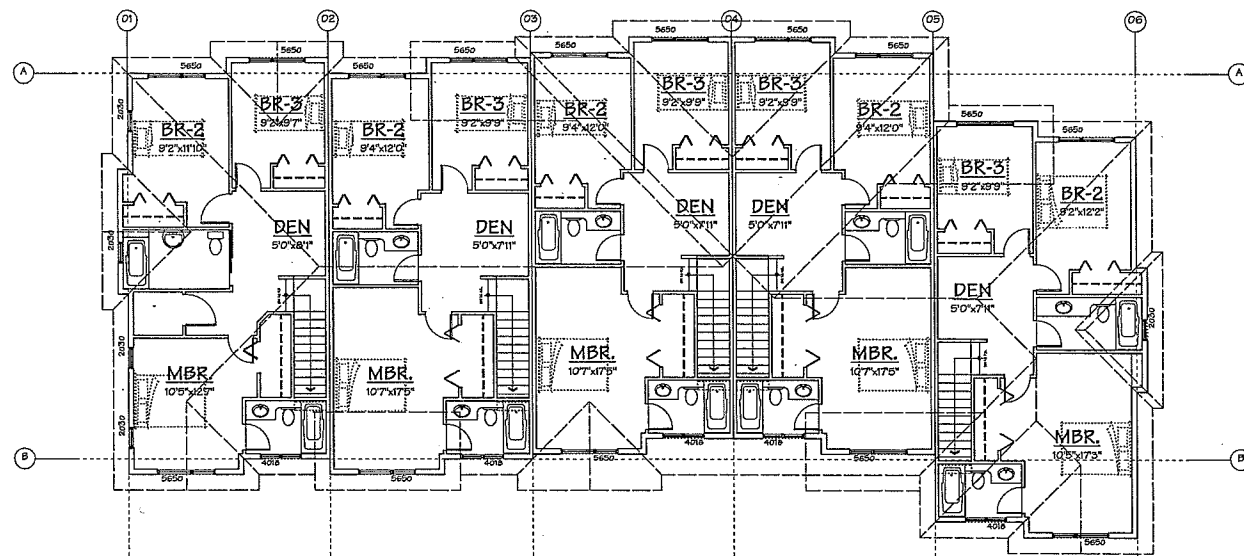
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DATE	OCT. 2, 2014	
DRAWN	KM	DP 15-700370
CHECKED		PROJ. NO. 1413

PLAN #7a

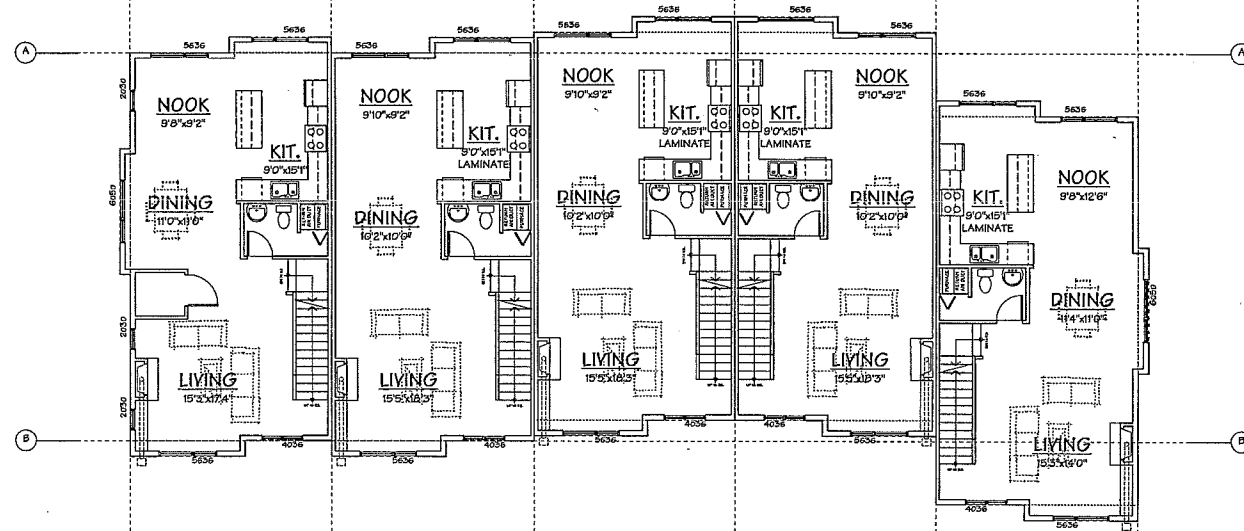
Plan #7a

APR 13 2016

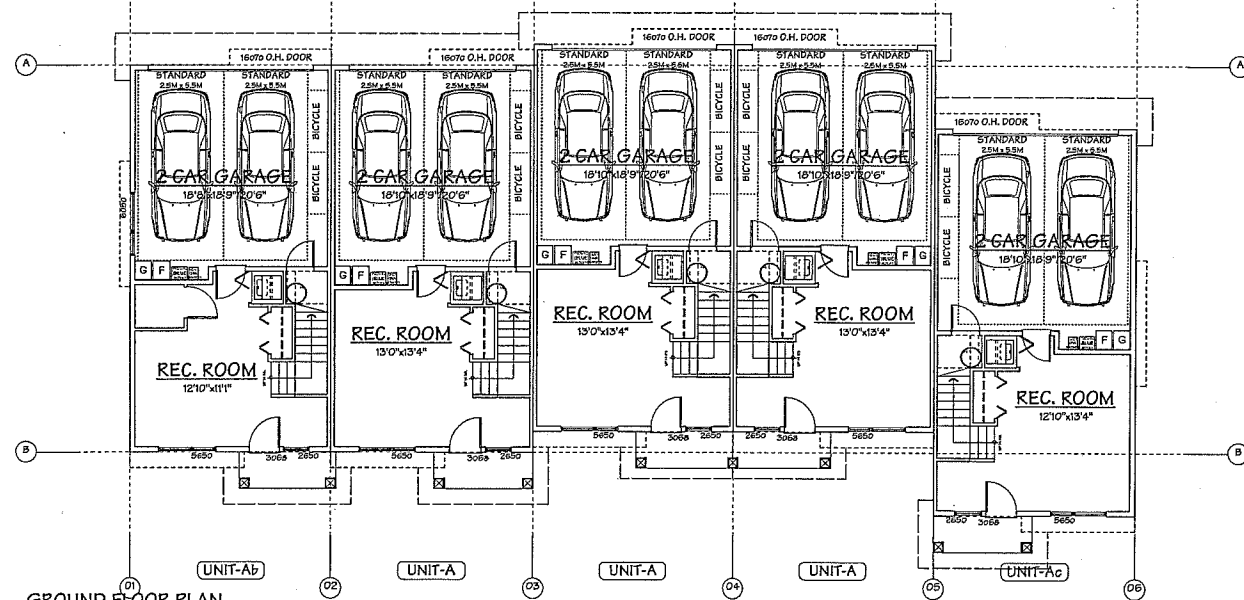
DP 15-700370



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

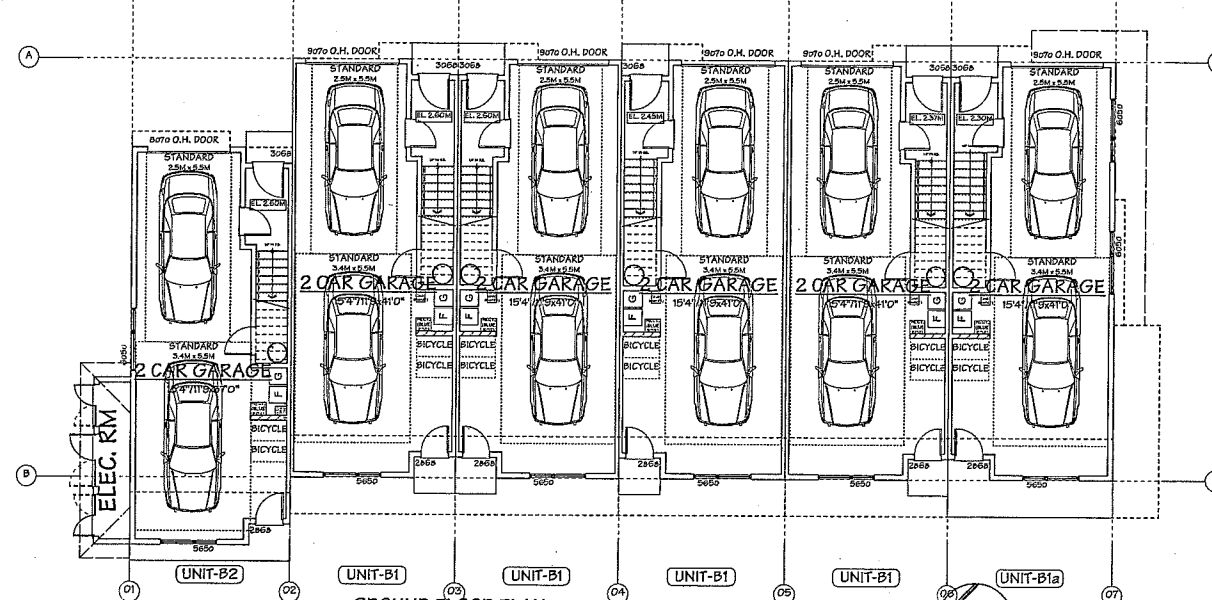
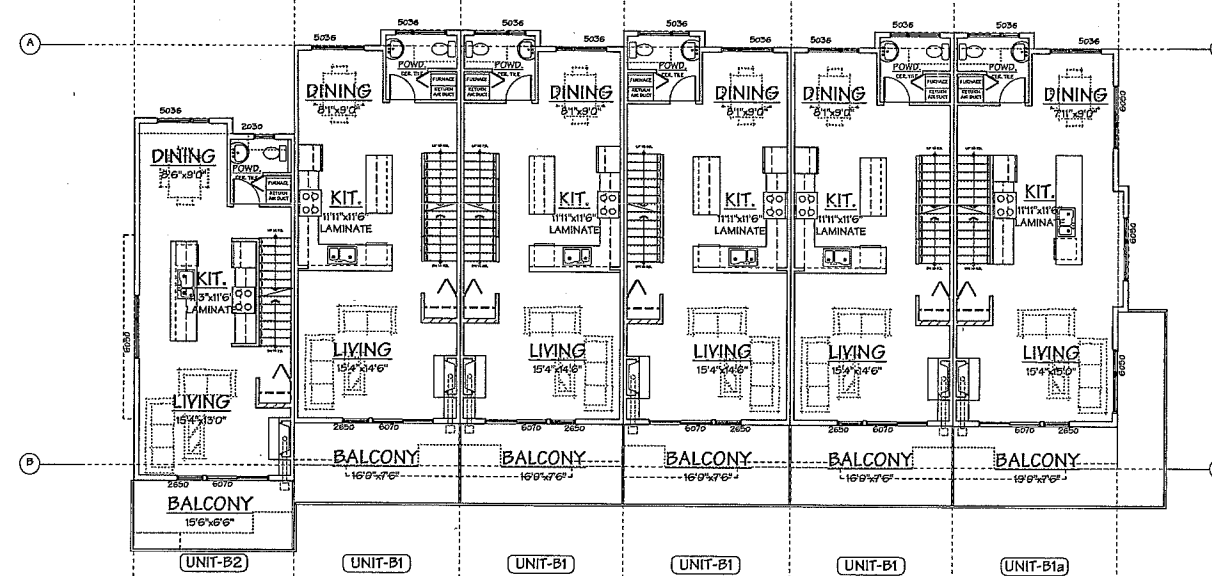
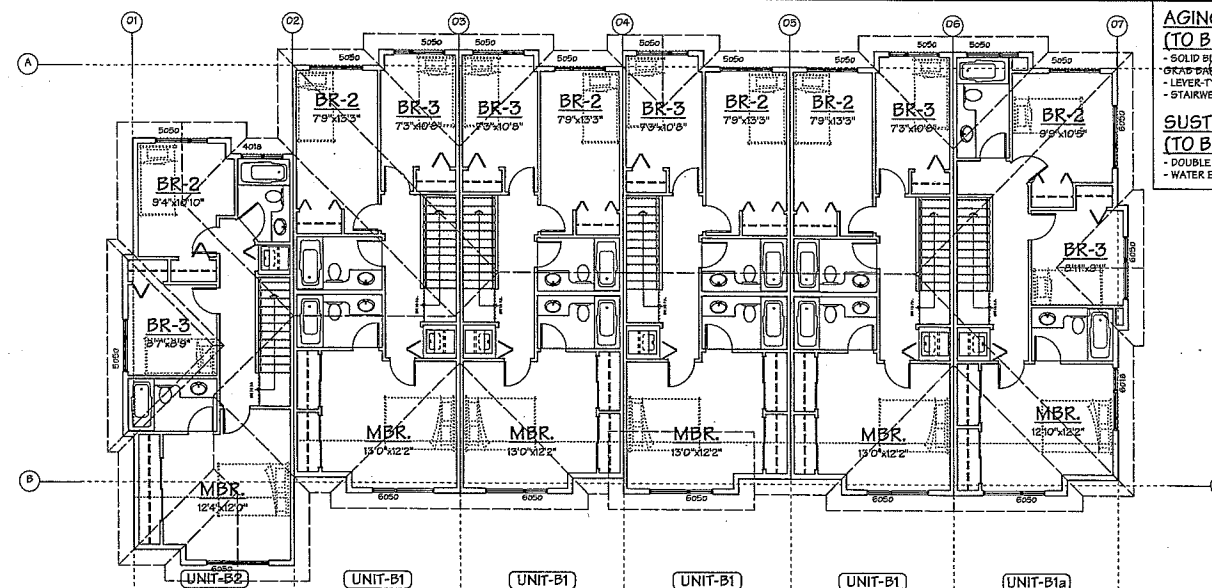


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 3



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 4

PLAN #8

- AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
 - LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
 - STAIRWELL HANDRAILS
- SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
 - WATER EFFICIENT TOILETS

MAR. 10, 2016	MATERIAL REVISED
FEB. 3, 2016	GENERAL REVISIONS
OCT. 6, 2015	ISSUED FOR A.D.P.
MAY 14, 2015	ISSUED FOR D.P. APPLICATION
MAR. 23, 2015	GENERAL REVISIONS
NOV. 4, 2014	ISSUED FOR REZONING
NO. DATE	REVISIONS
CONSULTANT	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

9550 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

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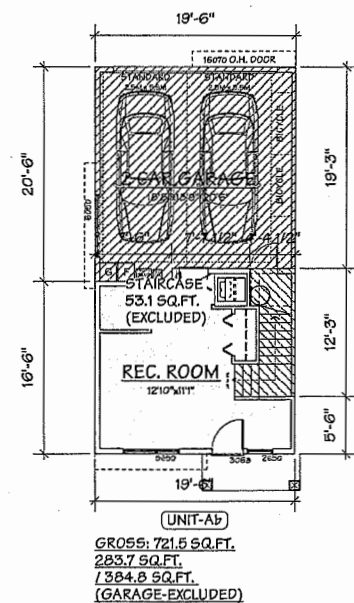
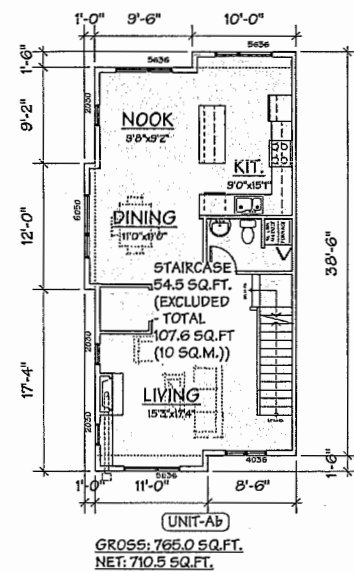
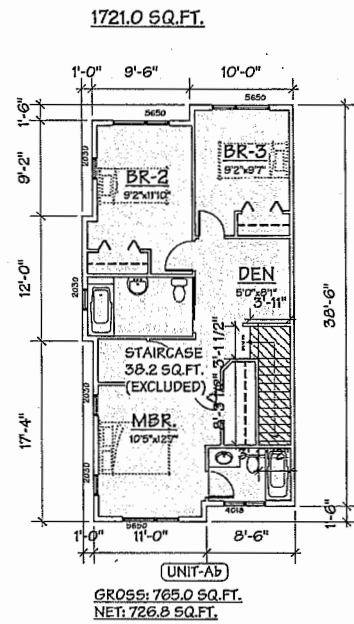
DRAWING TITLE
FLOOR PLANS

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

APR 13 2016

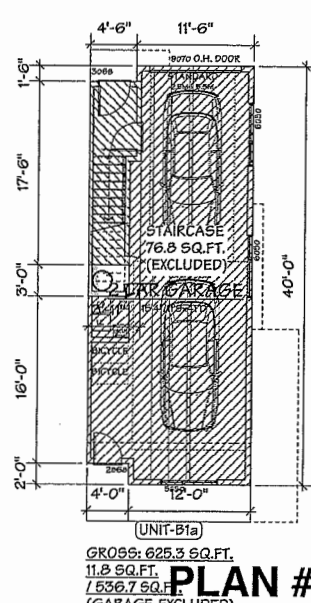
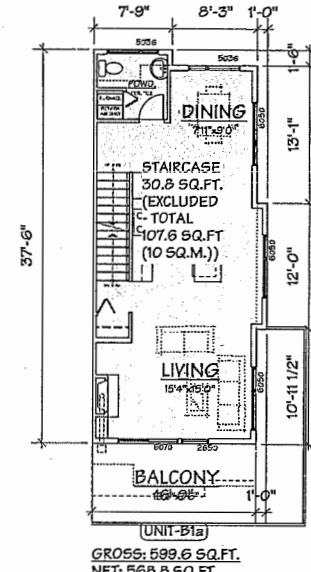
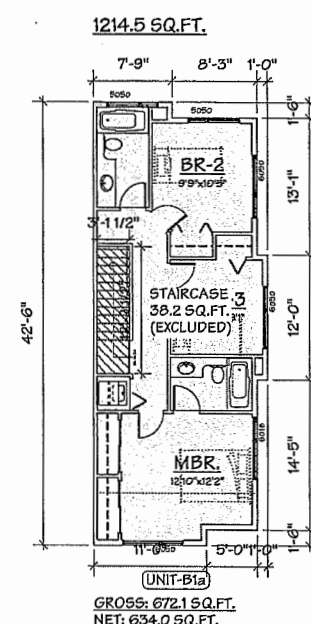
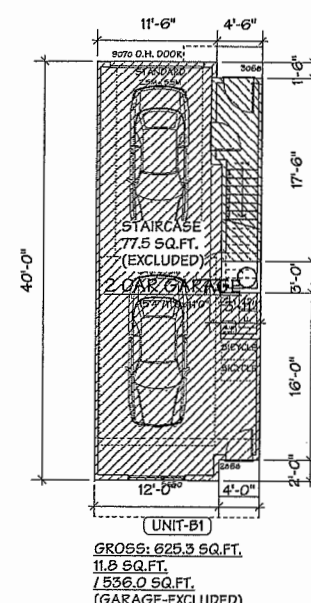
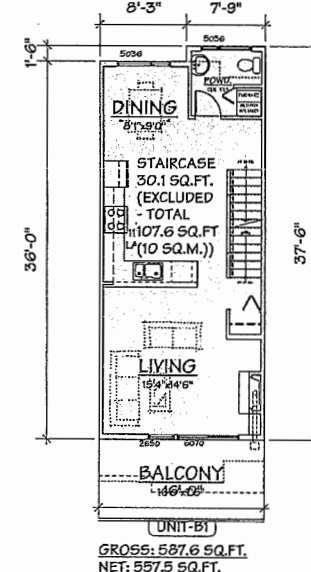
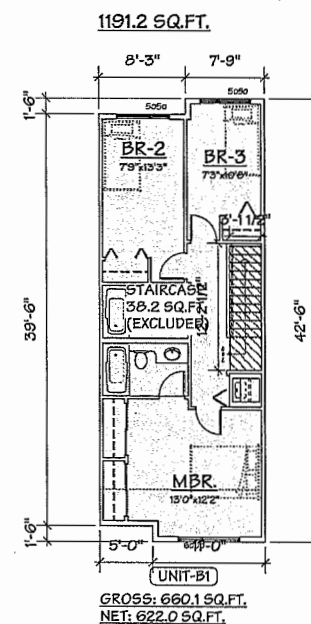
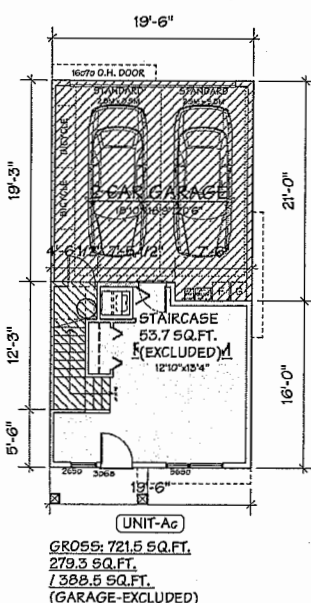
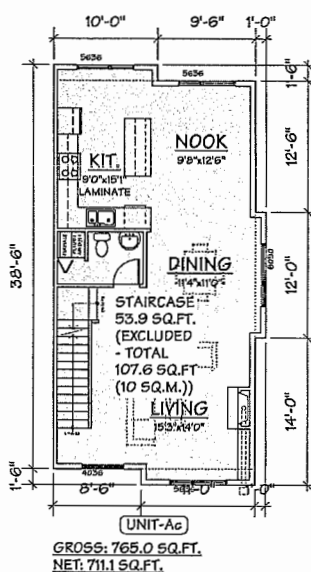
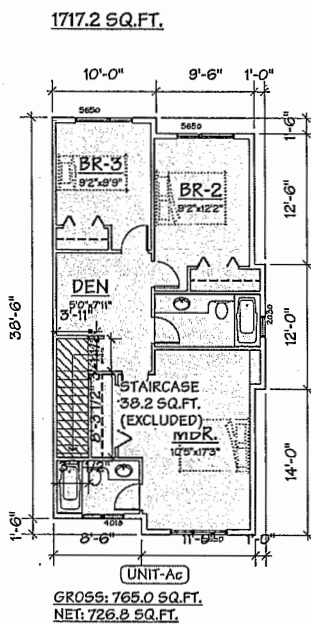
DP 15-700370

Plan #8



F.A.R. CALCULATION :

UNIT:	GROSS AREA:	STAIRS (EXEMPTED AREA):	NET FLOOR AREA:	GARAGE (EXEMPTED AREA):
A-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
A-2F	753.0 SF	53.9 SF	699.1 SF	
A-3F	753.0 SF	38.2 SF	714.8 SF	
Aa-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Aa-2F	773.0 SF	53.9 SF	719.1 SF	
Aa-3F	773.0 SF	38.2 SF	734.8 SF	
Ab-1F	721.5 SF	53.7 SF	283.7 SF	384.8 SF
Ab-2F	765.0 SF	54.5 SF	710.5 SF	
Ab-3F	765.0 SF	38.2 SF	726.8 SF	
Ac-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Ac-2F	765.0 SF	53.9 SF	711.1 SF	
Ac-3F	765.0 SF	38.2 SF	726.8 SF	
At-1F	767.4 SF	41.8 SF	339.0 SF	386.6 SF
At-2F	897.4 SF	65.8 SF	831.7 SF	
At-3F	897.4 SF	57.1 SF	840.3 SF	
	2562.2 SF	164.7 SF	2011.0 SF	
B-1F	593.3 SF	75.5 SF	10.15F	507.6 SF
B-2F	542.3 SF	32.1 SF	510.2 SF	
B-3F	638.8 SF	38.2 SF	600.6 SF	
	1774.3 SF	145.8 SF	1120.9 SF	
Ba-1F	593.3 SF	73.6 SF	11.8 SF	507.9 SF
Ba-2F	565.5 SF	34.0 SF	531.5 SF	
Ba-3F	637.5 SF	38.2 SF	599.3 SF	
	1796.3 SF	145.8 SF	1142.6 SF	
B1-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B1-2F	587.6 SF	30.1 SF	557.5 SF	
B1-3F	660.1 SF	38.2 SF	622.0 SF	
	1873.0 SF	145.8 SF	1191.2 SF	
B1a-1F	625.3 SF	76.8 SF	11.7 SF	536.7 SF
B1a-2F	599.6 SF	50.6 SF	568.6 SF	
B1a-3F	672.1 SF	38.2 SF	634.0 SF	
	1897.0 SF	145.8 SF	1214.5 SF	
B2-1F	574.3 SF	75.5 SF	10.15F	488.6 SF
B2-2F	525.8 SF	32.1 SF	493.7 SF	
B2-3F	637.3 SF	38.7 SF	598.6 SF	
	1737.3 SF	146.3 SF	1102.4 SF	
B2a-1F	574.3 SF	75.5 SF	10.15F	488.6 SF
B2a-2F	543.3 SF	32.1 SF	511.2 SF	
B2a-3F	637.3 SF	38.7 SF	598.6 SF	
	1754.9 SF	146.3 SF	1119.9 SF	
B3-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B3-2F	600.0 SF	30.1 SF	569.9 SF	
B3-3F	667.6 SF	38.2 SF	629.5 SF	
	1892.9 SF	145.8 SF	1211.1 SF	



NO.	DATE	REVISIONS
MAR. 10, 2016	MATERIAL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 8, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5560 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE
F.A.R. OVERLAY

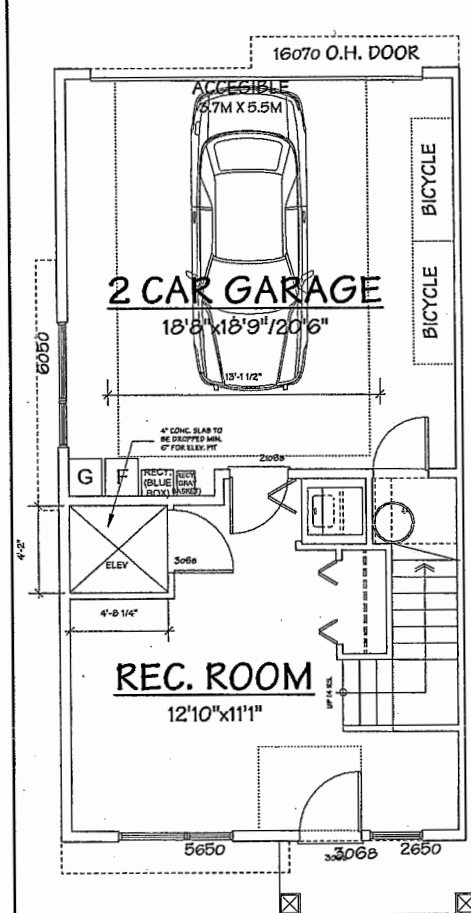
SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

APR 13 2016

DP 15-700370

Plan #8a

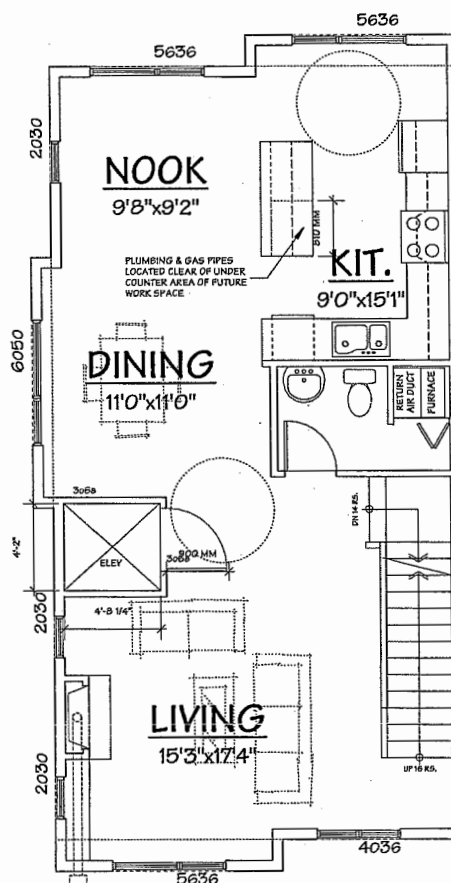
AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS
SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):
- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS



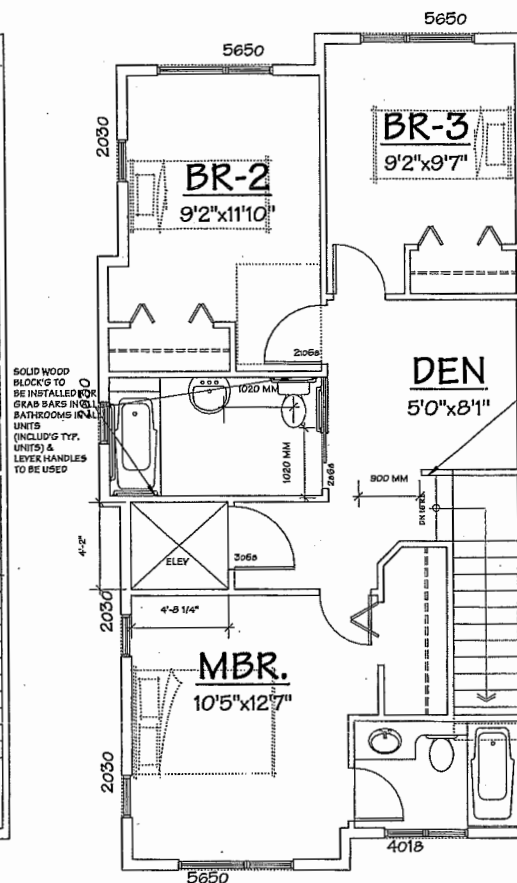
UNIT-A6

ALT. UNIT A6 CONVERTIBLE PLAN

SCALE: 1/4" = 1'-0"



UNIT-A6



UNIT-A6

CHECKLIST - CONVERTIBLE UNIT FEATURES

DOORS & DOORWAYS	ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.	COMPLIES.
	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).	ROUGH IN WIRING PROVIDED.
	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS	COMPLIES.
	PATIO/BALCONY MIN. 800 MM CLEAR OPENING. NOTE HOW ACCESSED.	COMPLIES.
	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.	COMPLIES.
	LEVER-TYPE HANDLES FOR ALL DOORS.	COMPLIES.
VERTICAL CIRCULATION	STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. OR VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS	COMPLIES.
	FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.	COMPLIES.
	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.	COMPLIES.
HALLWAYS	MIN. 900 MM WIDTH.	COMPLIES.
GARAGE	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH. ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.	COMPLIES.
BATHROOM (MIN. 1)	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.	COMPLIES.
	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.	COMPLIES.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	COMPLIES.
	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.	TO BE PROVIDED.
	CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.	COMPLIES.
	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).	COMPLIES.
KITCHEN	CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.	COMPLIES.
	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.	COMPLIES.
	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.	COMPLIES.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.	COMPLIES.
WINDOWS	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)	COMPLIES.
OUTLETS & SWITCHES	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.	TO BE PROVIDED.
	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.	TO BE PROVIDED.

NO.	DATE	REVISIONS
MAR. 10, 2015	MATERIAL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

CONSULTANT

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

9589 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-751-1127 Fax: 604-751-1327

DRAWING TITLE

FLOOR PLANS

SCALE	1/4" = 1'-0"	SHEET NO.
DATE	MAY 4, 2015	
DRAWN	KM	DP 15-700370
CHECKED		PROJ. NO. 1413

PLAN #9

Plan #9

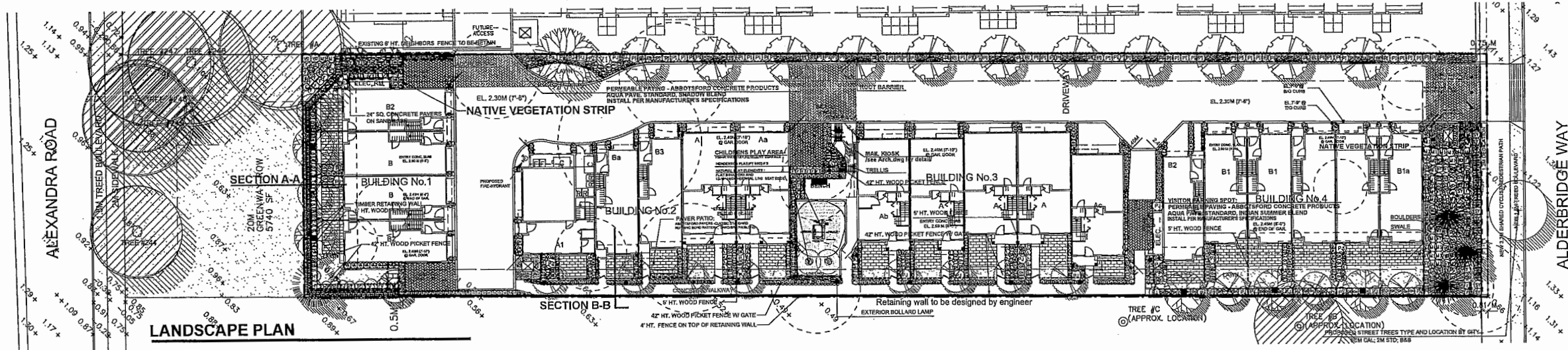
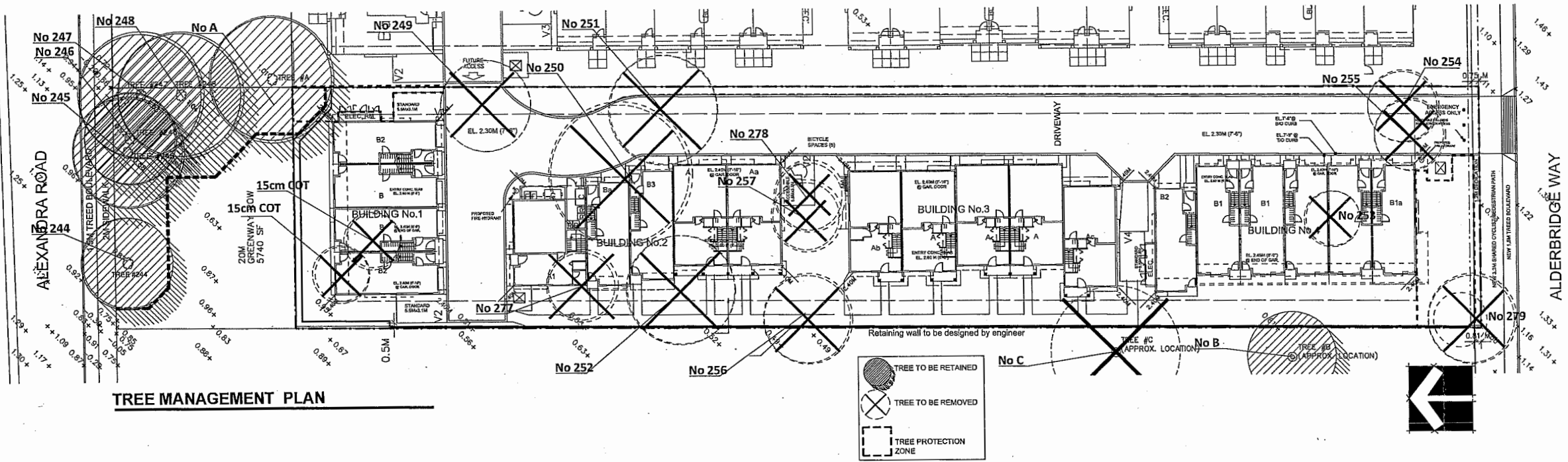
APR 13 2016

DP 15-700370

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LANDSCAPE
ARCHITECTS
Suite C100 - 4185 58th Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0211 ; f: 604 294-0222

SEAL:



PLANT SCHEDULE				PMG PROJECT NUMBER: 14-150	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
11	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	6CM CAL; 2M STD; B&B	
1	1	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	6CM CAL; 2M STD; B&B	
15	1	MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	6CM CAL; 1.2M STD; B&B	
1	1	PICEA OMORICA	SERBIAN SPRUCE	3M HT; B&B	
1	1	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	6CM CAL; B&B	
104	1	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM	
58	1	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#2 POT; 50CM	
8	1	HYDRANGEA MACROPHYLLA 'TELLER RED'	BIGLEAF HYDRANGEA; LACECAP RED	#3 POT; 60CM	
54	1	NANDINA DOMESTICA 'HARBOUR DWARF'	DWARF HEAVENLY BAMBOO	#2 POT; 40CM	
41	1	PIERIS JAPONICA 'FOREST PLANE'	PIERIS; WHITE BLOOMS	#3 POT; 50CM	
71	1	PRUNUS LAURICERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	1M HT	
71	1	ROSA EXPLORER 'SIMON FRASER'	SIMON FRASER ROSE; MED. PINK	#2 POT; 40CM	
105	1	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	#3 POT; 50CM	
110	1	TAXUS BACCATA 'FASTIGIATA'	COLUMNAR IRISH YEW	1.2M B&B	
47	1	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.2M HT; B&B	
23	1	VACCINIUM CORYMBOSUM 'BLUE CROP'	BLUE CROP EDIBLE BLUEBERRY	#2 POT; 60CM	
5	1	VBURNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	#3 POT; 60CM	
GRASS	116	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT	
	6	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	#1 POT	
	136	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT	
PERENNIAL	29	HEMEROCALLIS 'RED MAGIC'	DAYLILY; RED AND YELLOW	15 CM POT	
	3	HOSTA 'RED OCTOBER'	HOSTA; RED STEMS; 12" HT.	15 CM POT	
	55	LAVENDULA ANGSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT	
	67	LONICERA PILEATA	PRIVET HONEYSUCKLE	#1 POT; 25CM	
	26	POLYSTICHUM MUNIUM	WESTERN SWORD FERN	#1 POT; 20CM	
	30	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT; 25CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

PLANT SCHEDULE - NATIVE VEGETATION STRIP ONLY				PMG PROJECT NUMBER: 14-150	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
3	1	ACER CIRCINATUM	VINE MAPLE	3M HT; B&B; 3 STEM CLUMP	
2	1	CORNUS NUTTALLII	PACIFIC DOGWOOD	2M HT; B&B	
1	1	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B	
35	1	MAHONIA AQUIFOLIUM	OREGON GRAPE	#2 POT; 50CM	
3	1	ROSA GYMNOCARPA	BALDIP ROSE	#2 POT; 40CM	
55	1	SPIRAEA DOUGLASII	DOUGLAS SPIREA	#2 POT; 40CM	
34	1	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT	
35	1	GAULTHERIA SHALLON	SALAL	#1 POT; 20CM	
18	1	MAHONIA NERVOSA	LONGLEAF MAHONIA	#2 POT; 25CM	
43	1	POLYSTICHUM MUNIUM	WESTERN SWORD FERN	#1 POT; 20CM	

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

PAVING LEGEND	
	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS
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	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS
	PERMEABLE PAVING - ABBOTSFORD CONCRETE PRODUCTS

NO.	DATE	REVISION DESCRIPTION	DR.
1	18.MAR.11	REVISED RETAINING WALL ALONG WEST P.L.	DS
2	19.FEB.12	CITY COMMENTS	DS
3	15.FEB.12	ADDED REVISED AIRPORT REPORT	DS
4	15.OCT.12	NEW SITE PLAN/CITY COMMENTS	DS
5	15.OCT.12	NEW SITE PLAN	DS
6	15.OCT.12	NEW SITE PLAN	DS
7	15.OCT.12	NEW SITE PLAN/CITY COMMENTS	DS
8	15.OCT.12	NEW SITE PLAN	DS
9	15.OCT.12	NEW SITE PLAN	DS
10	15.OCT.12	NEW SITE PLAN	DS

CLIENT: SIAM GROUP INVESTMENTS INC.

PROJECT:
20 UNIT TOWNHOUSE DEVELOPMENT
9560 ALEXANDRA ROAD
RICHMOND

WITH YAMAMOTO ARCHITECTURE INC.
DRAWING TITLE:
LANDSCAPE PLAN

DATE: November 2, 2014
SCALE: 1/16"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAFTING NUMBER:
L1
OF 3

14150-9-2P PMG PROJECT NUMBER: 14-150

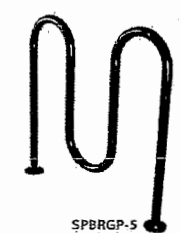
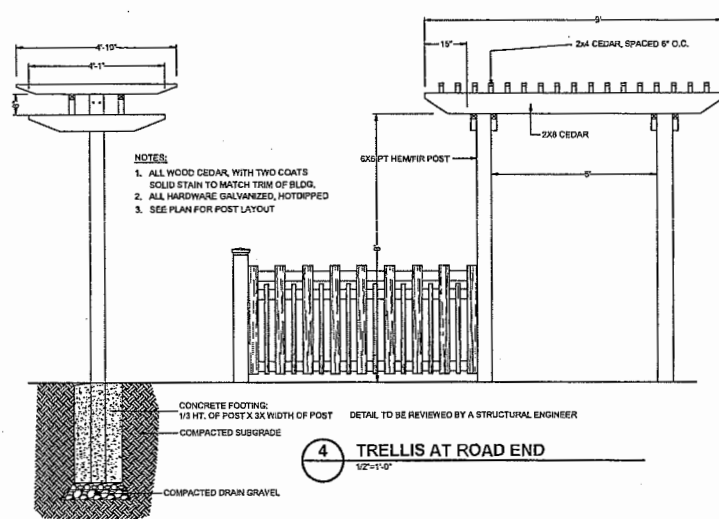
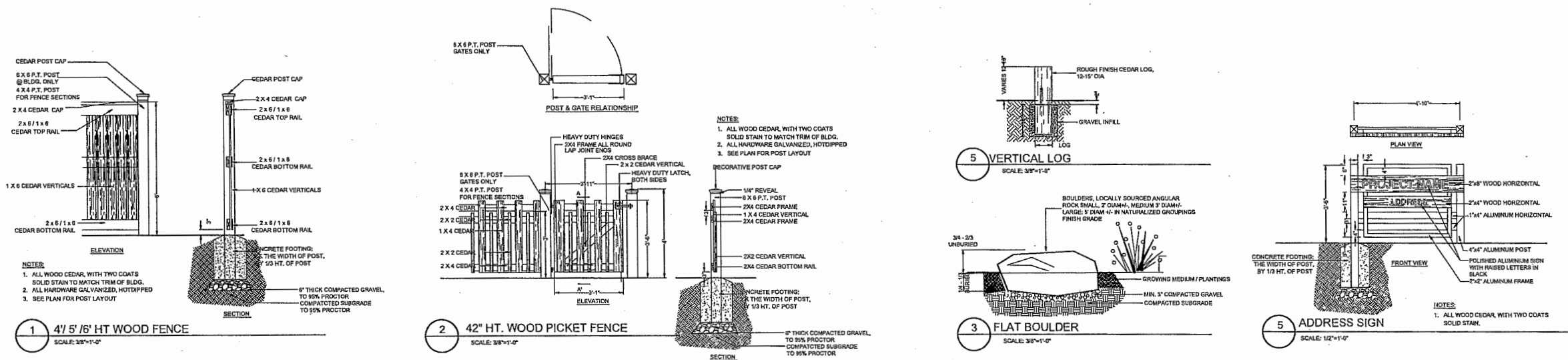
Plan #10

APR 13 2016
DP 15-700370

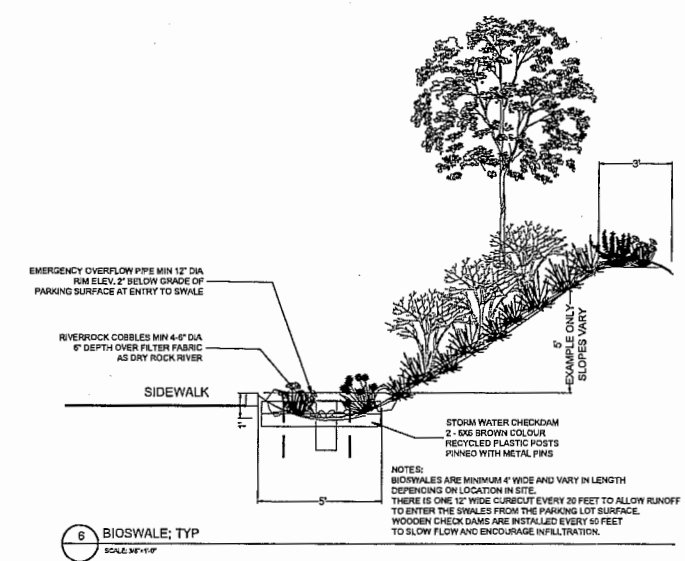
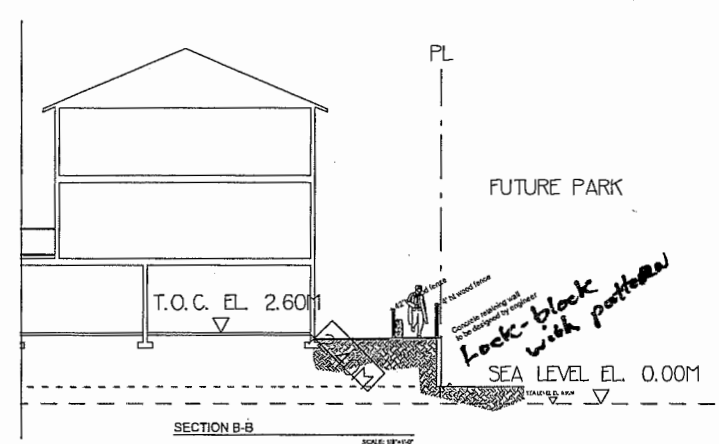
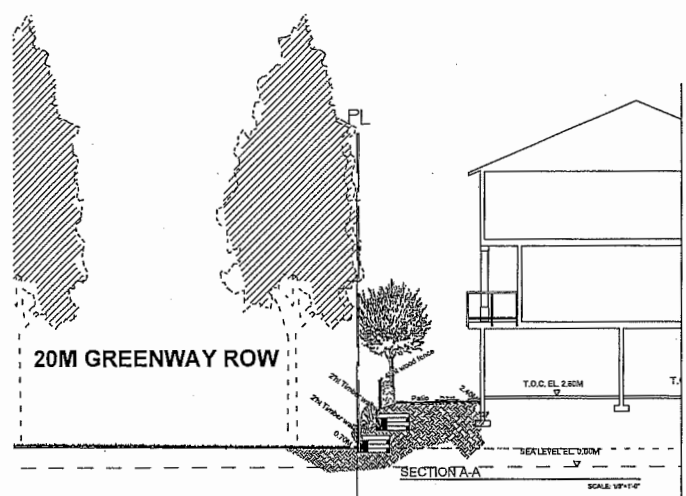
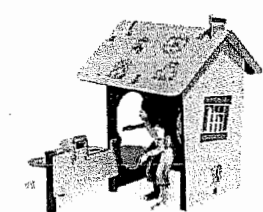
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pmg
LANDSCAPE ARCHITECTS
Suite C100 - 4185 5th Creek Drive
Surrey, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:



SURF BIKE RACK; MODEL SPBRGP-5; BLACK COLOUR
WISHBONE SITE FURNISHINGS Ph.:604 626 0476



NO.	DATE	REVISION DESCRIPTION	DIV.
7	14.FEB.24	CITY COMMENTS	23
6	14.FEB.23	AL PER REVIEWED JARROST REPORT	08
5	15.OCT.18	NEW SITE PLANTING COMMENTS	23
4	13.OCT.24	NEW SITE PLAN	23
3	15.OCT.20	NEW SITE PLAN	23
2	15.MAY.15	NEW SITE PLANTING COMMENTS	08
1	15.AUG.15	NEW SITE PLAN	23

CLIENT: SIAM GROUP INVESTMENTS INC

PROJECT:
20 UNIT TOWNHOUSE DEVELOPMENT
9560 ALEXANDRA ROAD
RICHMOND

WITH YAMAMOTO ARCHITECTURE INC.

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: November 2, 2014
DRAWING NUMBER:
L2
SCALE:
DRAWN: DD
DESIGN: DD
CHKD: PCM
OF 3

14150 & 2P

PMG PROJECT NUMBER:

14-150

Plan #11

APR 13 2016

DP 15-700370



City of Richmond

Development Permit

No. DP 15-700370

To the Holder: YAMAMOTO ARCHITECTURE INC.

Property Address: 9560 ALEXANDRA ROAD

Address: C/O 202 - 33 EAST 8TH AVENUE
VANCOUVER, BC V5T 1R5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #12 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$90,225.55 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 15-700370

To the Holder: YAMAMOTO ARCHITECTURE INC.

Property Address: 9560 ALEXANDRA ROAD

Address: C/O 202 - 33 EAST 8TH AVENUE
VANCOUVER, BC V5T 1R5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

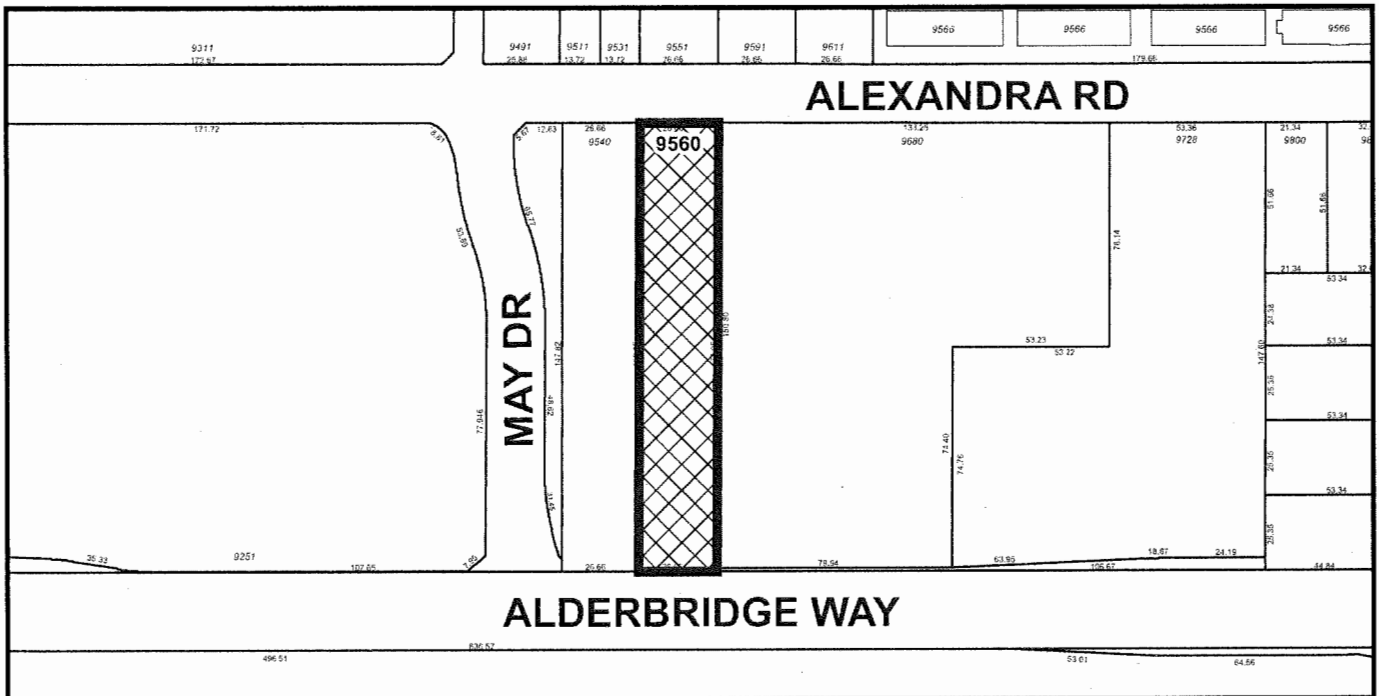
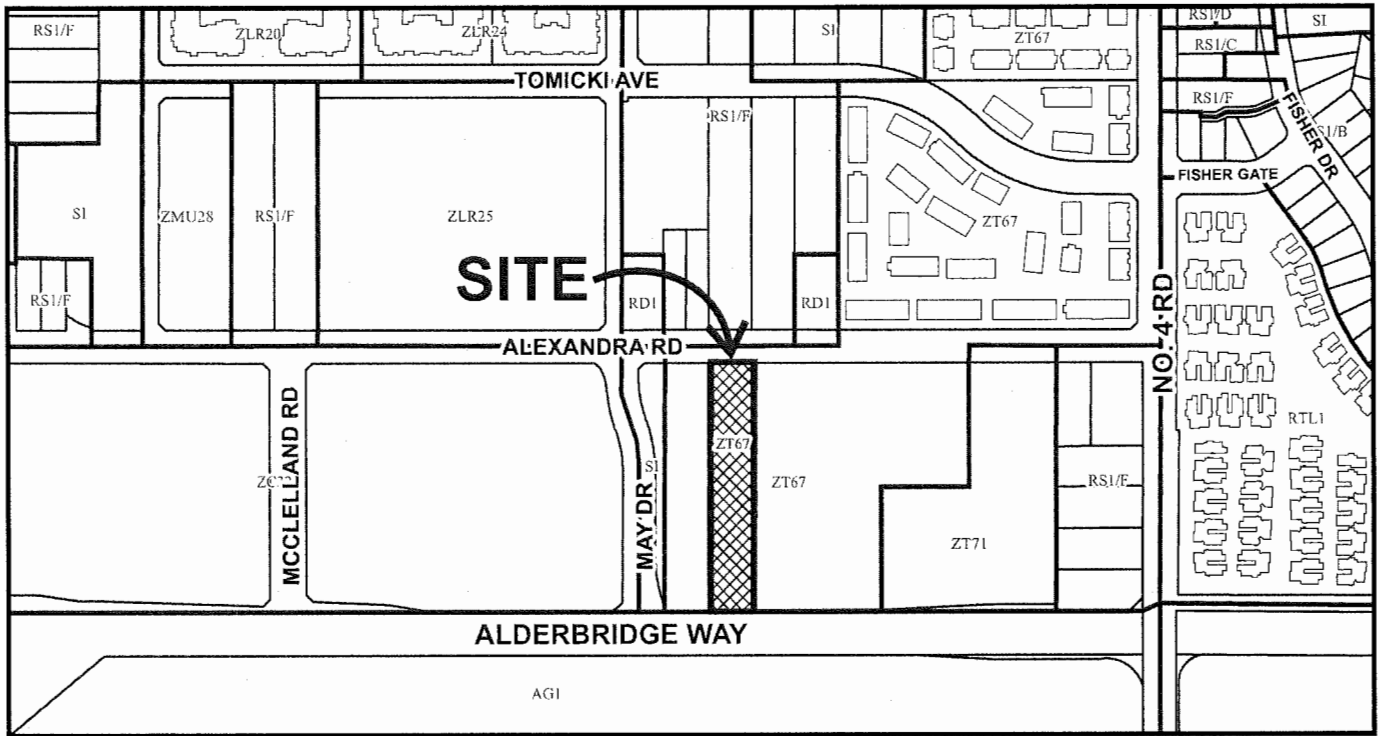
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

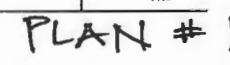


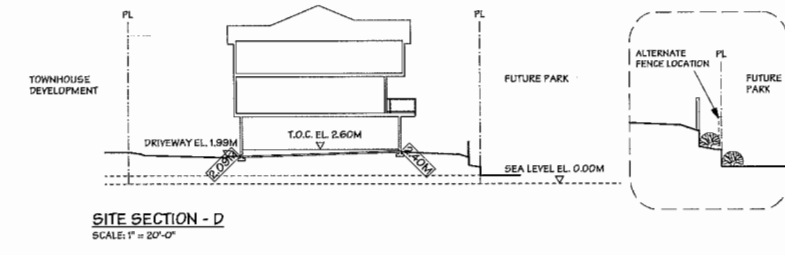
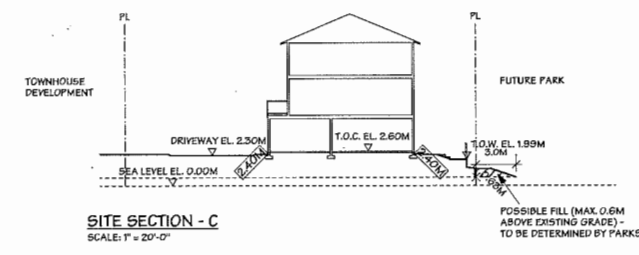
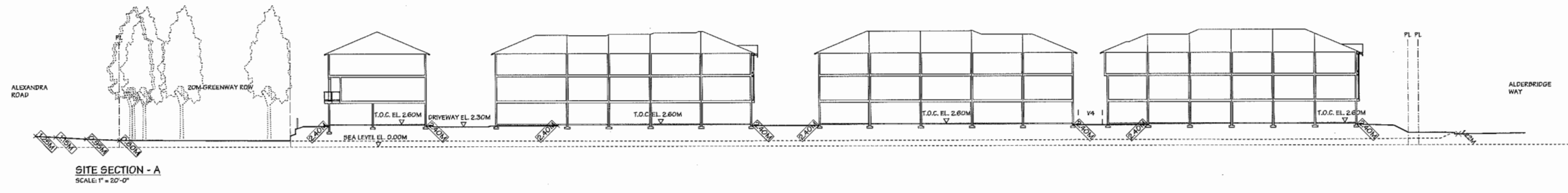
DP 15-700370

Original Date: 07/13/15

Revision Date:

Note: Dimensions are in METRES





PLAN #1a

APR. 19, 2016	WEST RETAINING WALL REVISED	
MAR. 10, 2016	BOLLARD/RETAINING WALL REVISED	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	GENERAL REVISIONS	
JUL. 28, 2014	ISSUED FOR REZONING APPL.	
NO.	DATE	REVISIONS
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**Yamamoto
Architecture Inc.**

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

PROJECT TOWNHOUSE DEVELOPMENT		DRAWING TITLE SITE CROSS SECTION	
SCALE 1" = 20'-0"	SHEET NO.		
DATE NOV. 3, 2014	DP 15-700370		
DRAWN YK	PROJ. NO. 1413		
CHECKED			

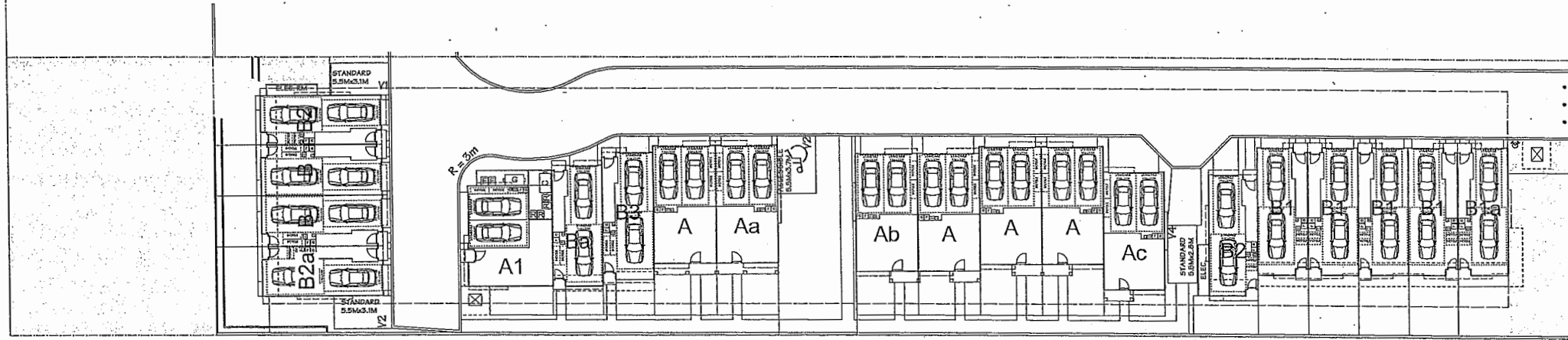
PLAN #2

DP 15-700370

APR 21 2016

ALEXANDRA ROAD

ALDERBRIDGE WAY



PARKING:

REQUIRED:	1.5 SPACES x 20 UNITS	=	30	SPACES (RESIDENTS)
	0.2 SPACES x 20 UNITS	=	4	SPACES (VISITORS)
	TOTAL	=	34	SPACES

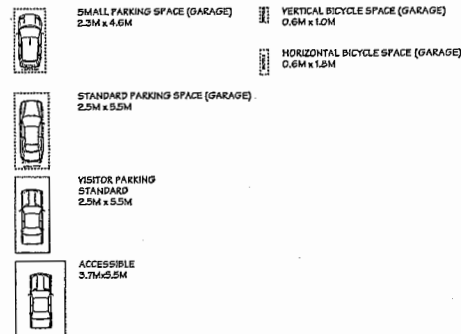
PROVIDED:	2 CAR GARAGES x 20 UNITS	=	40	SPACES (RESIDENTS)
	OPEN VISITOR PARKING	=	4	SPACES (VISITORS)
	TOTAL	=	44	SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

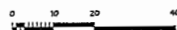
REQUIRED BICYCLE:	1.25 SPACES x 20 UNITS	=	25	SPACES (CLASS 1)
	0.2 SPACES x 20 UNITS	=	4	SPACES (CLASS 2)
	TOTAL	=	29	SPACES

PROVIDED BICYCLE:	2 SPACES x 20 GARAGES	=	40	SPACES (CLASS 1)
	BICYCLE RACK	=	5	SPACES (CLASS 2)
	TOTAL	=	45	SPACES

AS PER THE 2041 OCP REQUIREMENT FOR ELECTRIC VEHICLES:
 - A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT.
 - AN ADDITIONAL 25% OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).



PARKING PLAN
 SCALE: 1" = 20'-0"



PLAN #2

MAR. 10, 2016	BOLLARD/RETAINING WALL REVISION	
FEB. 3, 2016	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	GENERAL REVISIONS	
JUL. 28, 2014	ISSUED FOR REZONING APPL.	
NO.	DATE	REVISIONS
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Yamamoto
 Architecture Inc.

4202-33 East 8th Avenue, Vancouver, B.C.
 V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1227

PROJECT
 TOWNHOUSE DEVELOPMENT

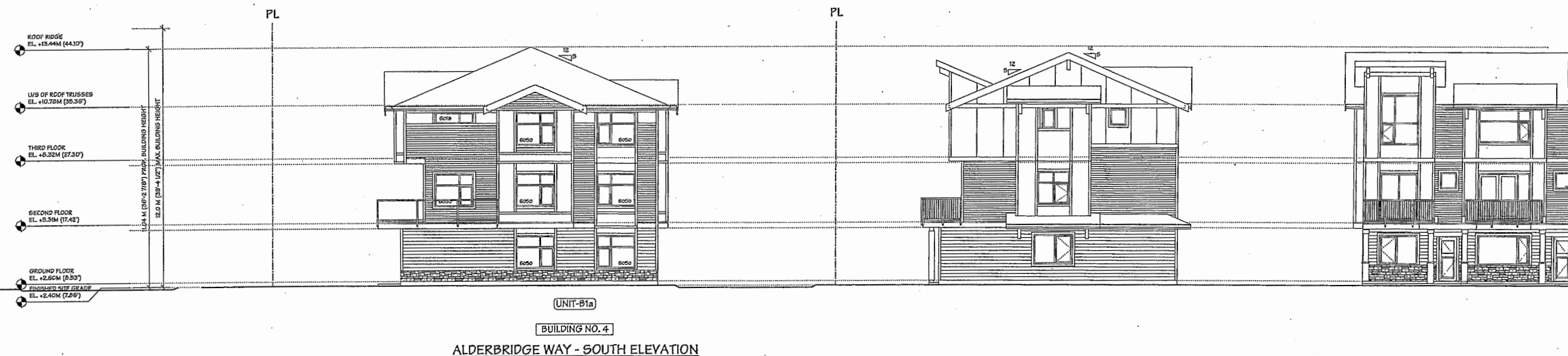
DRAWING TITLE
 PARKING PLAN

SCALE	1/16" = 1'-0"	SHEET NO.
DATE	OCT. 24, 2014	
DRAWN	TY	DP 15-700370
CHECKED		PROJ. NO. 1413

Plan #3

DP 15-700370

APR 13 2016



NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL REVISED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 3, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAR. 23, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
 20 UNIT TOWNHOUSE
 DEVELOPMENT
 950 ALEXANDRA ROAD
 RICHMOND, B.C.

Yamamoto
 Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
 V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

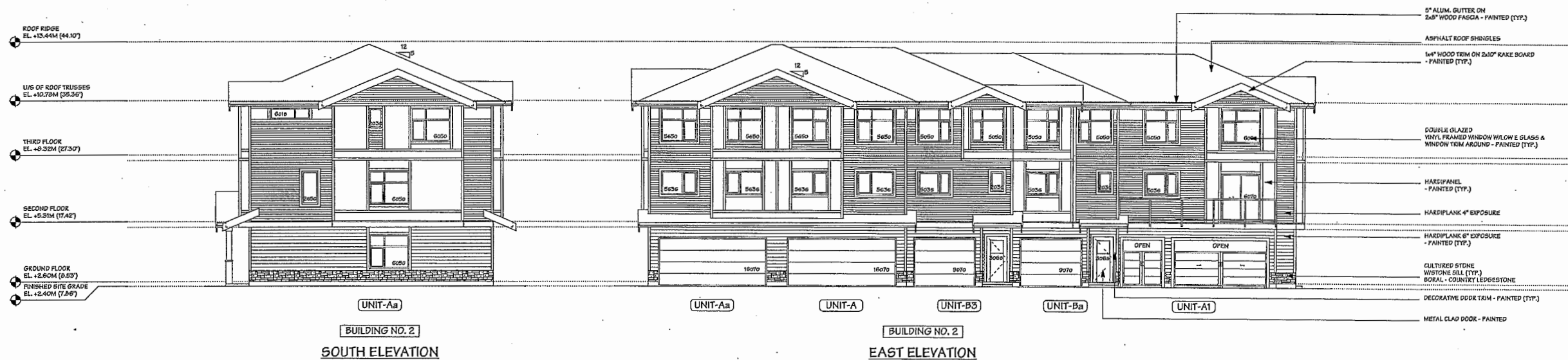
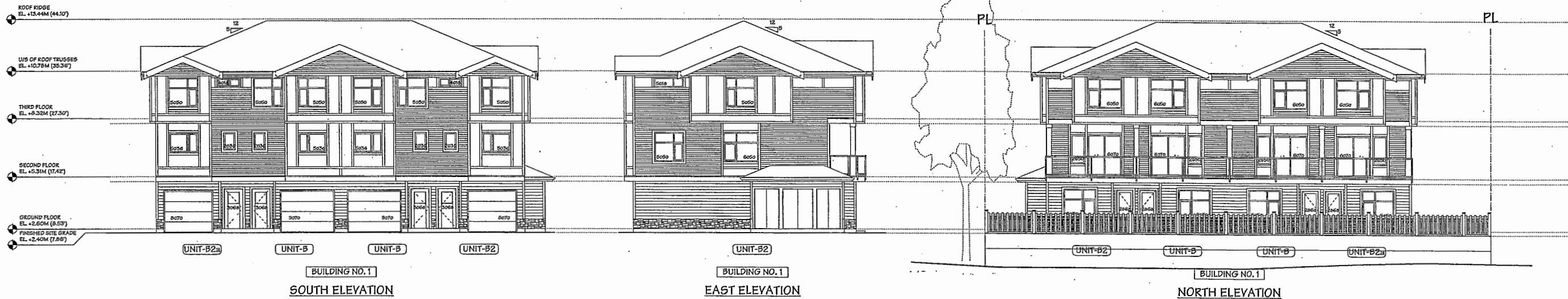
DRAWING TITLE
 ELEVATIONS

SCALE	1/8" = 1'-0"	SHEET NO.
DATE	OCT. 2, 2014	
DRAWN	KM	DP 15-700370
CHECKED		PROJ. NO. 1413

PLAN #4

Plan #4

DP 15-700370 APR 13 2016



COLOUR SCHEME	
ROOF:	IKO / CAMBRIDGE 30 / CHARCOAL
FASCIA BO. & DOOR/WINDOW TRIM:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
GABLE ACCENT WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
ACCENT WALL (HARDI-PANEL):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
SECOND & UPPER FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
GROUND FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (IRON GRAY)
GR. FLOOR ACCENT (CULTURED STONE W/STONE SILL):	BORAL PRO-FIT ALPINE LEDGESTONE (BLACK MOUNTAIN)
MAIN ENTRY DOOR:	BENJAMIN MOORE / OC-32 (TAPESTRY BEIGE)
REAR ENTRY/ELEC. ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARAGE DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GAR./RECYCLING ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
FLASHINGS & PORCH POSTS:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
FENCE:	METAL "WHITE"
RAILINGS/GUARDRAILS:	METAL "WHITE"

NO.	DATE	REVISIONS
	MAR. 10, 2015	MATERIAL REVISED
	FEB. 3, 2015	GENERAL REVISIONS
	OCT. 6, 2015	ISSUED FOR A.D.P.
	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
	MAR. 23, 2015	GENERAL REVISIONS
	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5568 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE
ELEVATIONS

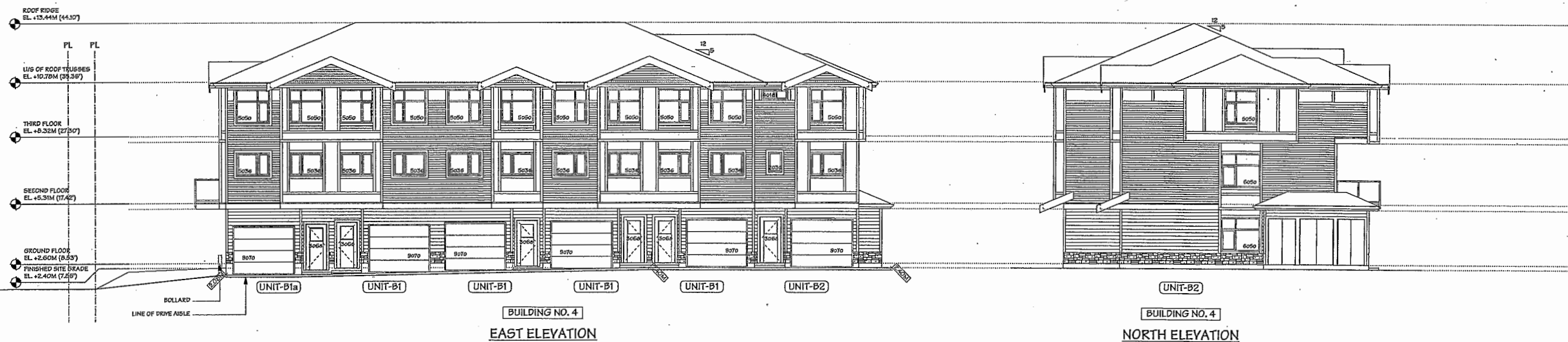
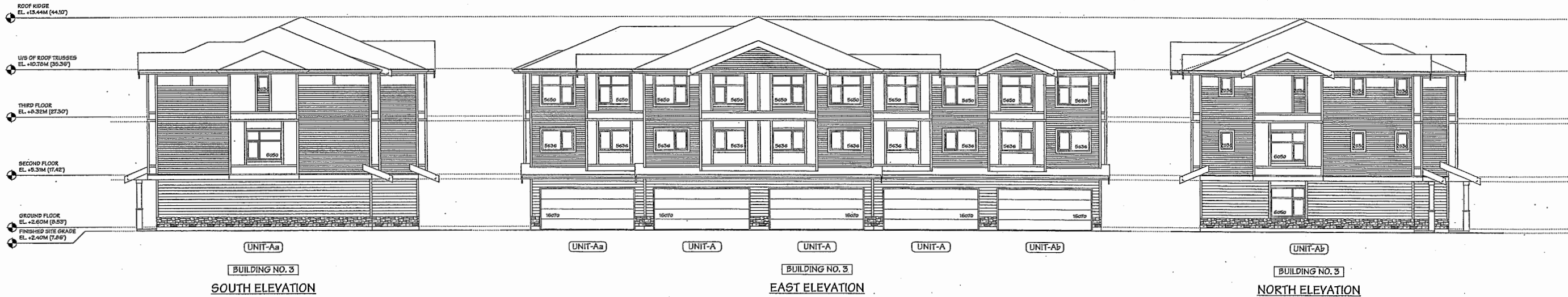
SCALE	1/8" = 1'-0"	SHEET NO.	
DATE	OCT. 2, 2014		
DRAWN	KM	DP 15-700370	
CHECKED		PROJ. NO.	1413

PLAN #5

Plan #5

APR 13 2016

DP 15-700370



NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL REVISED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR P.P. APPLICATION
5	MAR. 25, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

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RICHMOND, B.C.

Yamamoto
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202 - 33 East 8th Avenue, Vancouver, B.C.
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DRAWING TITLE
ELEVATIONS

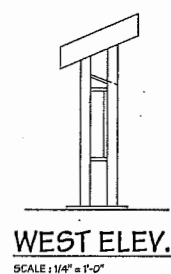
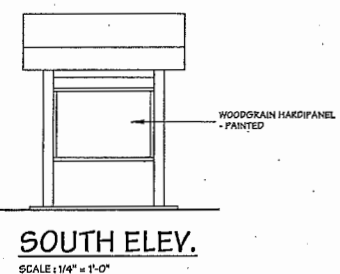
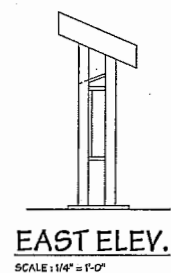
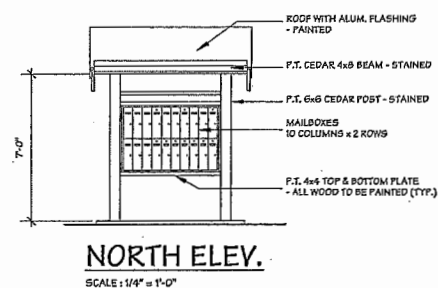
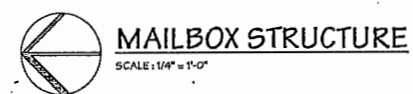
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DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #6

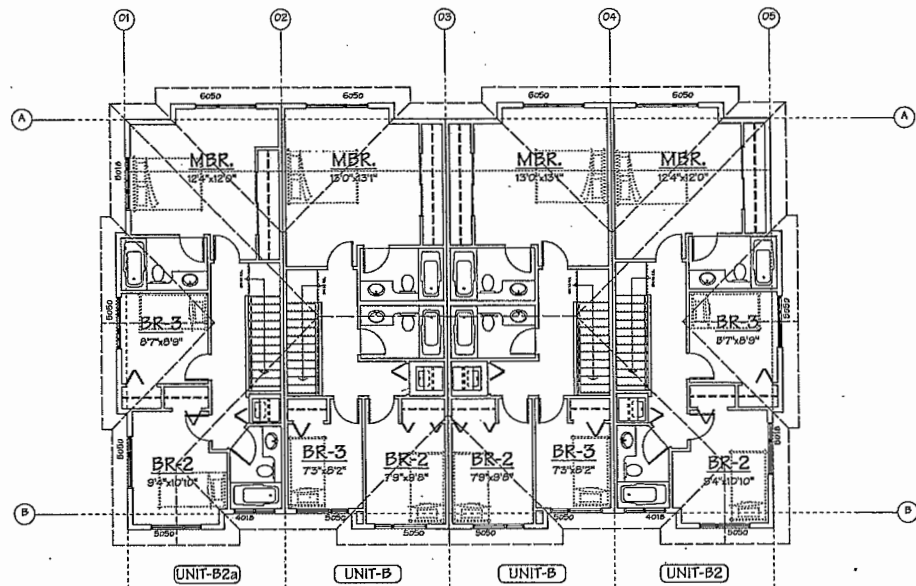
Plan #6

APR 13 2016

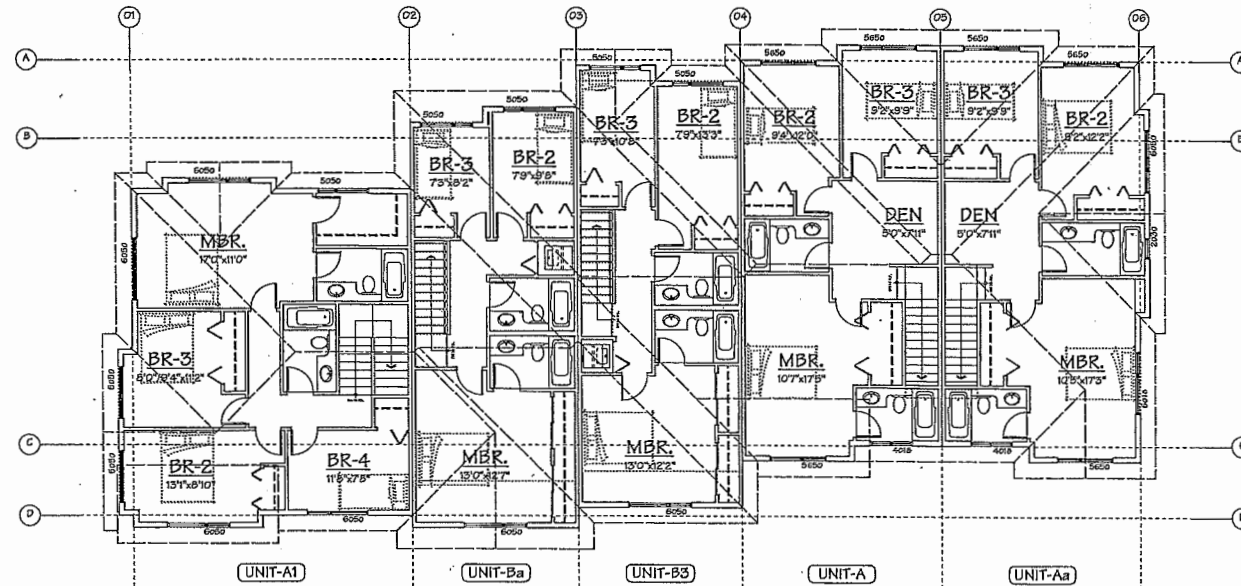
DP 15-700370



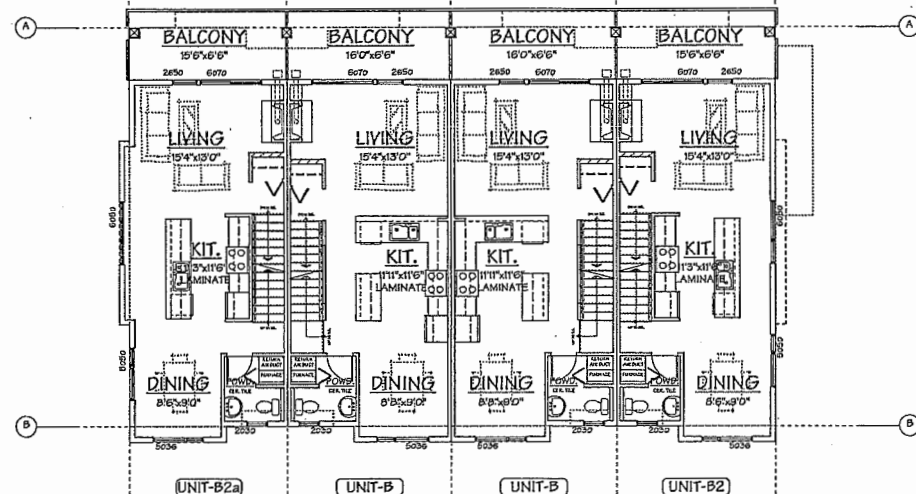
COLOUR SCHEME	
ROOF:	IKO / CAMBRIDGE 50 / CHARCOAL
FASCIA BO. & DOOR/WINDOW TRIM:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
GABLE ACCENT WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
ACCENT WALL (HARDI-PANEL):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
SECOND & UPPER FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-20 (ARCTIC WHITE)
GROUND FLOOR WALL (HARDIPLANK SID'G):	JAMES HARDIE COLOURPLUS / JH10-30 (IRON GRAY)
GR. FLOOR ACCENT (CULTURED STONE W/STONE SILL):	BORAL PRO-FIT ALPINE LEDGESTONE (BLACK MOUNTAIN)
MAIN ENTRY DOOR:	BENJAMIN MOORE / OC-32 (TAPESTRY BEIGE)
REAR ENTRY/ELEC. ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARAGE DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
GARB./RECYCLING ROOM DOOR:	BENJAMIN MOORE / HC-167 (AMHERST GRAY)
FLASHINGS & PORCH POSTS:	BENJAMIN MOORE / HC-169 (COVENTRY GRAY)
FENCE:	METAL "WHITE"
RAILINGS/GUARDRAILS:	METAL "WHITE"



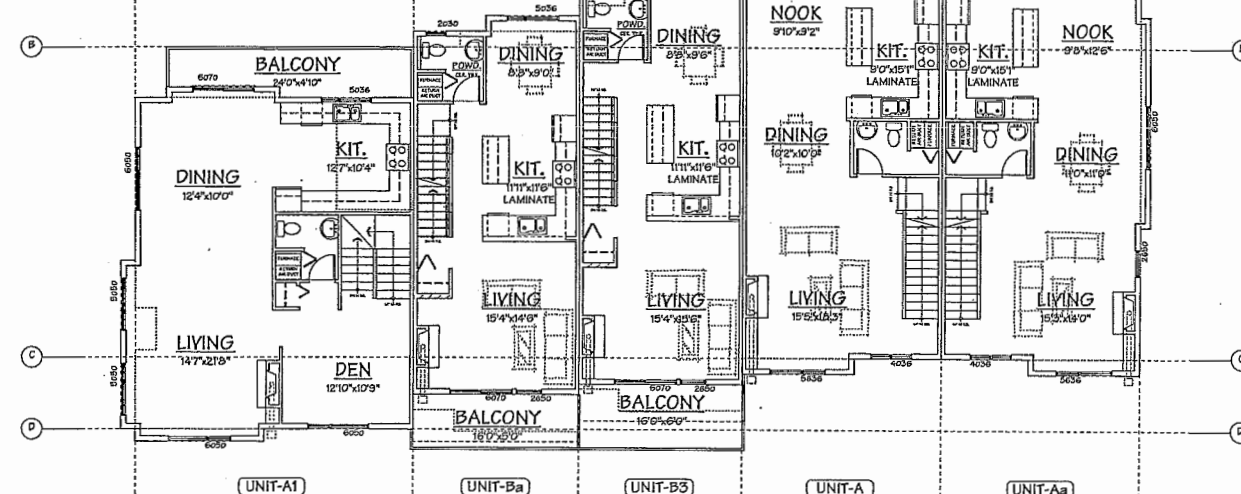
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



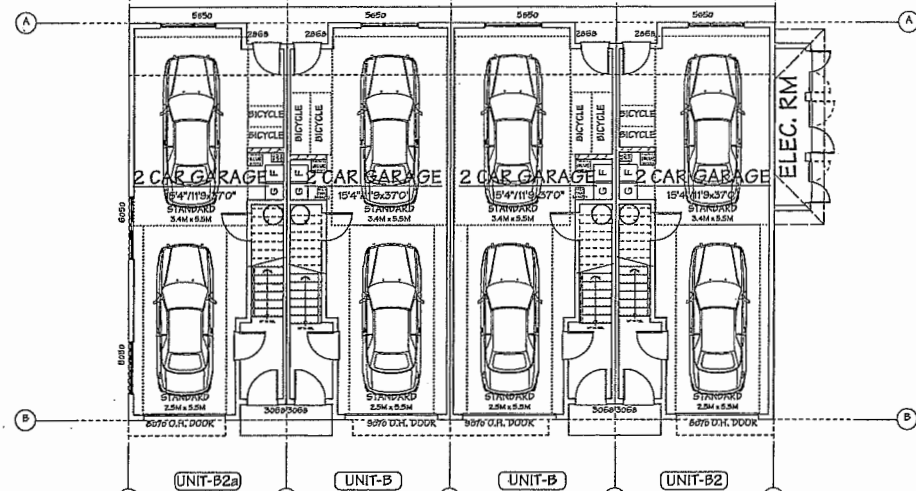
THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

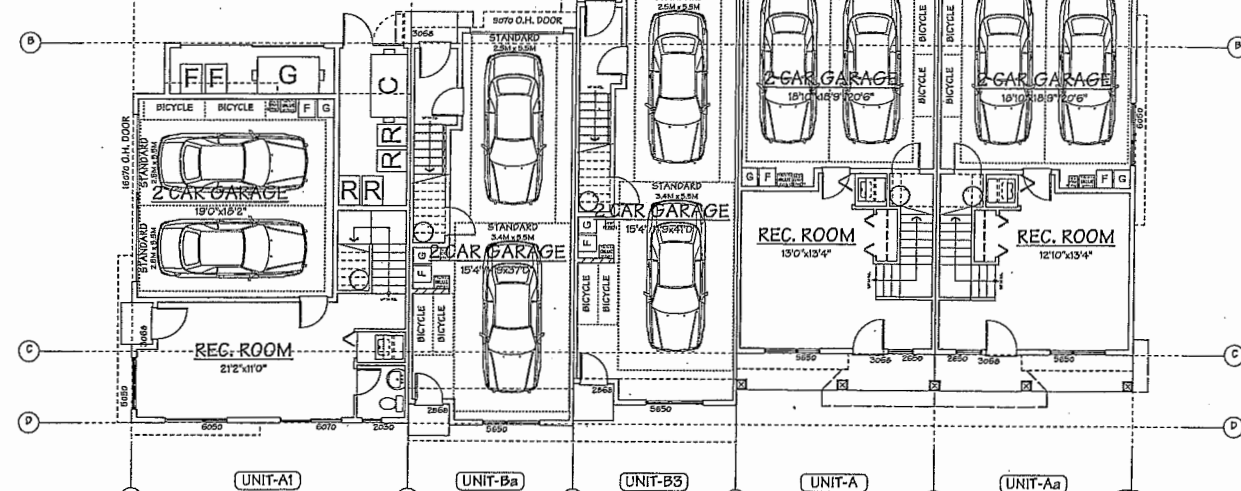


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 1



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 2

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

**SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**
- DOUBLE GLAZED VINYL FRAMED WINDOW W/LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS

	MAR. 10, 2016	MATERIAL REVISED
	FEB. 3, 2016	GENERAL REVISIONS
	OCT. 6, 2015	ISSUED FOR A.D.P.
	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
	MAR. 23, 2015	GENERAL REVISIONS
	NOV. 4, 2014	ISSUED FOR REZONING
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5550 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

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DRAWING TITLE
FLOOR PLANS

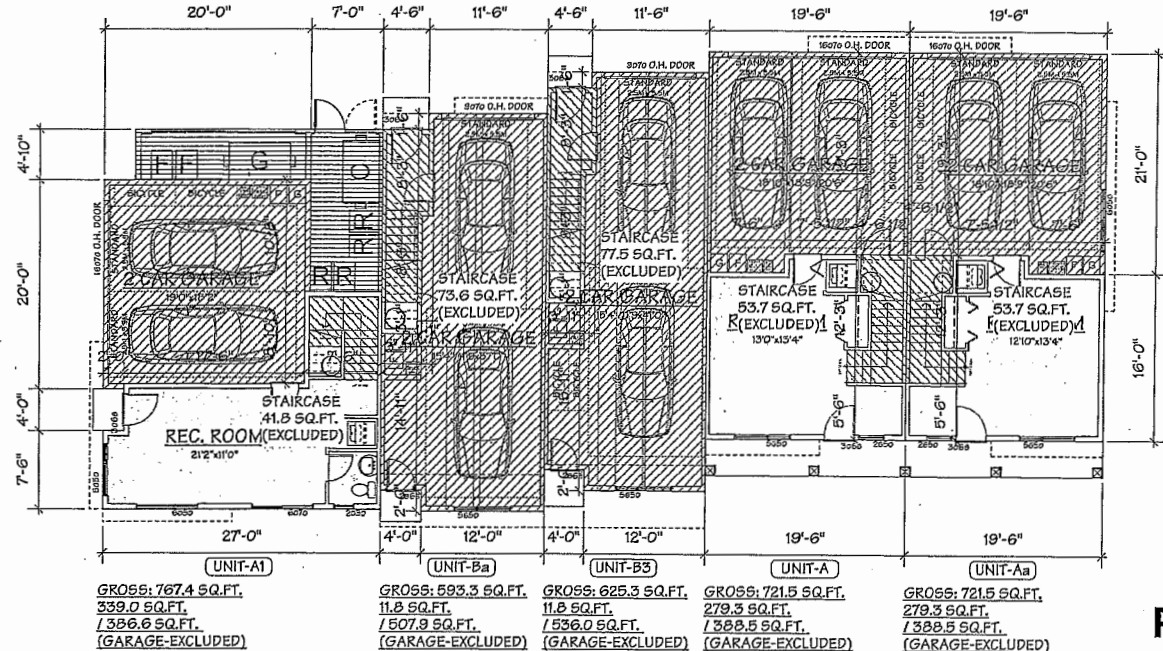
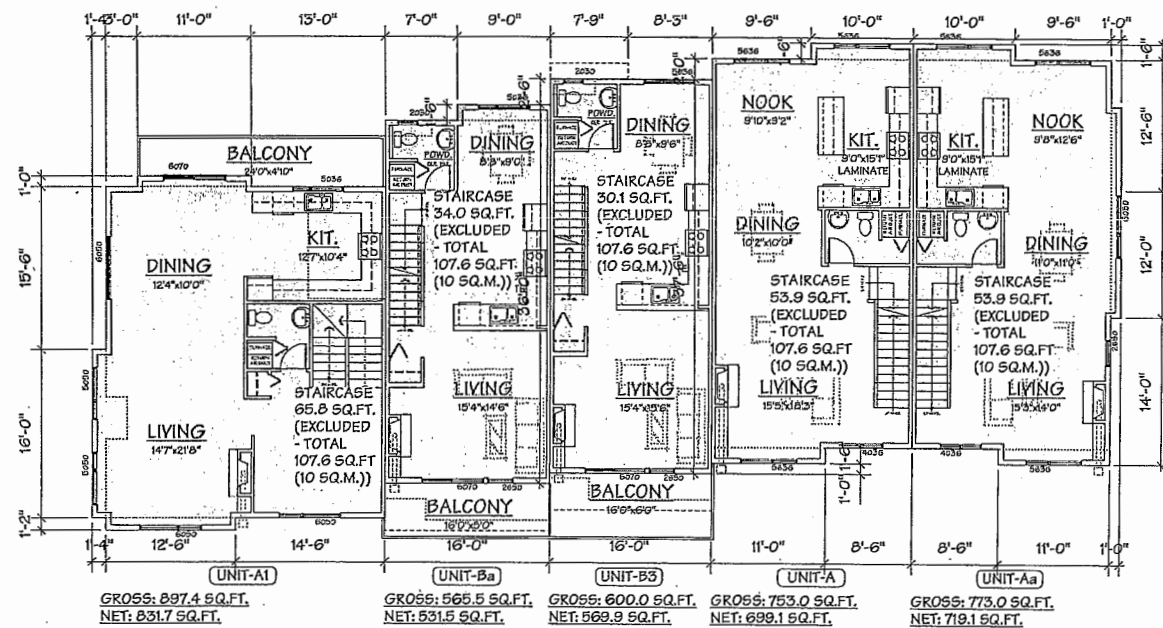
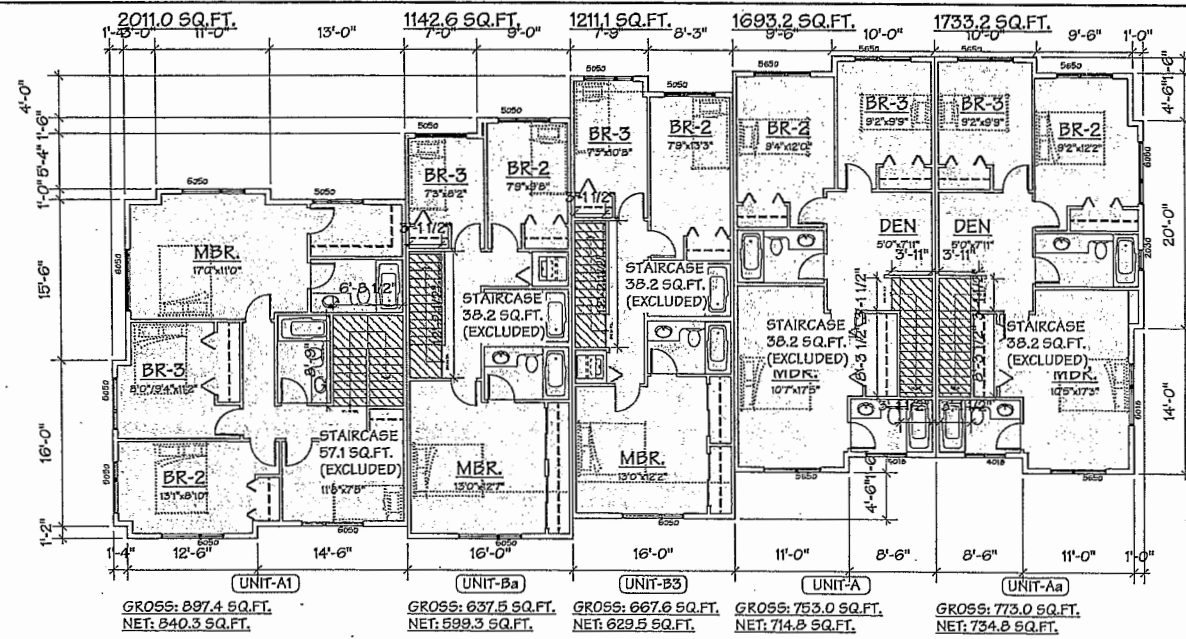
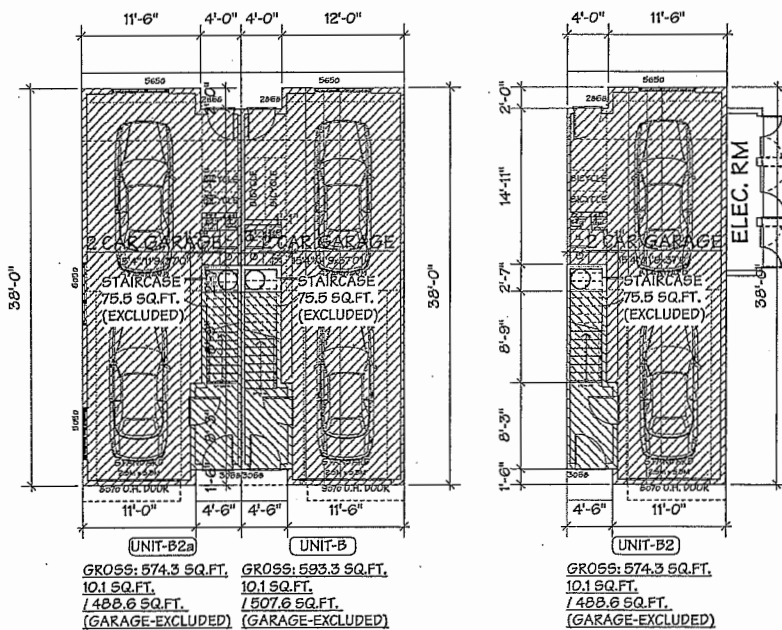
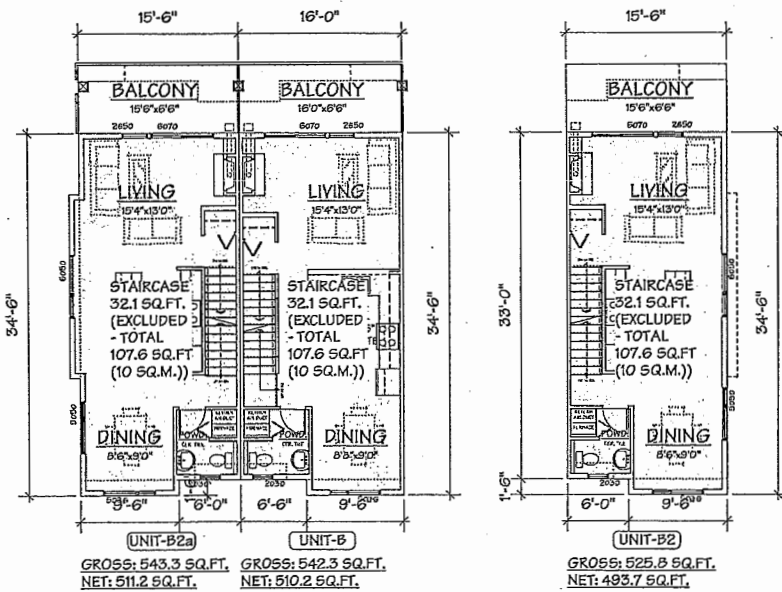
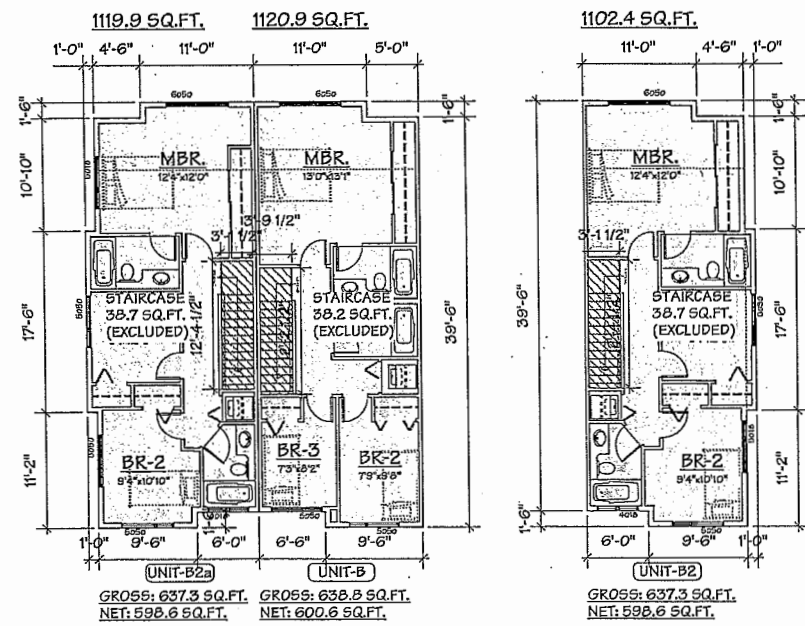
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DATE	OCT. 2, 2014		
DRAWN	KM	DP 15-700370	
CHECKED		PROJ. NO.	1413

PLAN #7

Plan #7

APR 13 2016

DP 15-700370



MAR. 10, 2016	MATERIAL KEYSED
FEB. 3, 2016	GENERAL REVISIONS
OCT. 6, 2015	ISSUED FOR A.D.P.
MAY 16, 2015	ISSUED FOR D.P. APPLICATION
MAR. 23, 2015	GENERAL REVISIONS
NOV. 4, 2014	ISSUED FOR REZONING
NO. DATE	REVISIONS
CONSULTANT	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

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Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

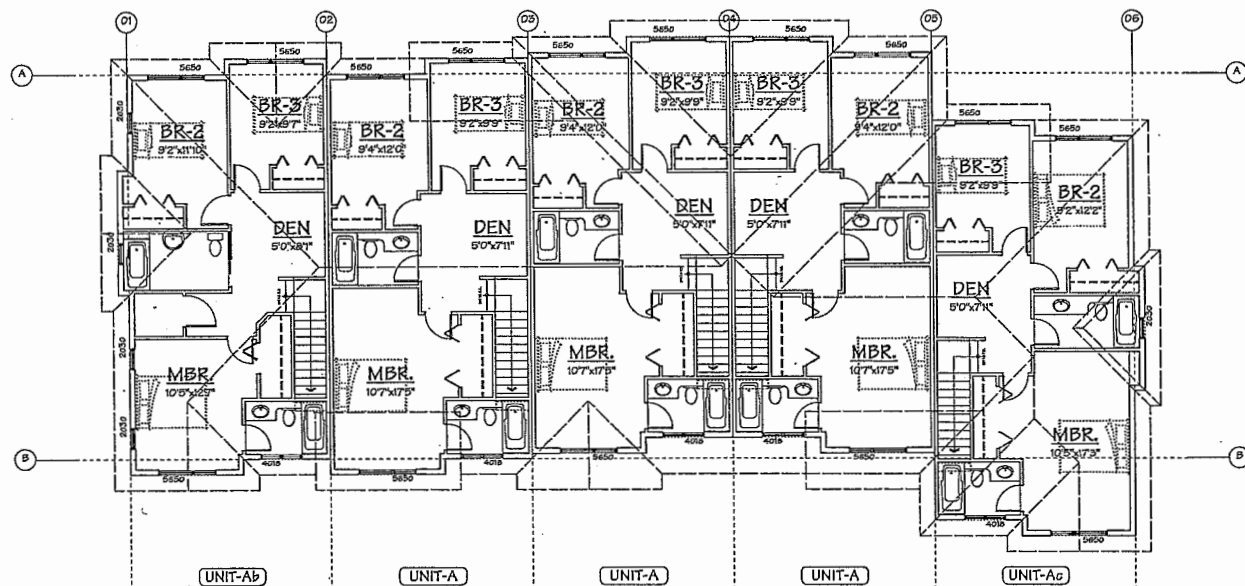
DRAWING TITLE
F.A.R. OVERLAY

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	DP 15-700370
DRAWN KM	PROJ. NO. 1413
CHECKED	

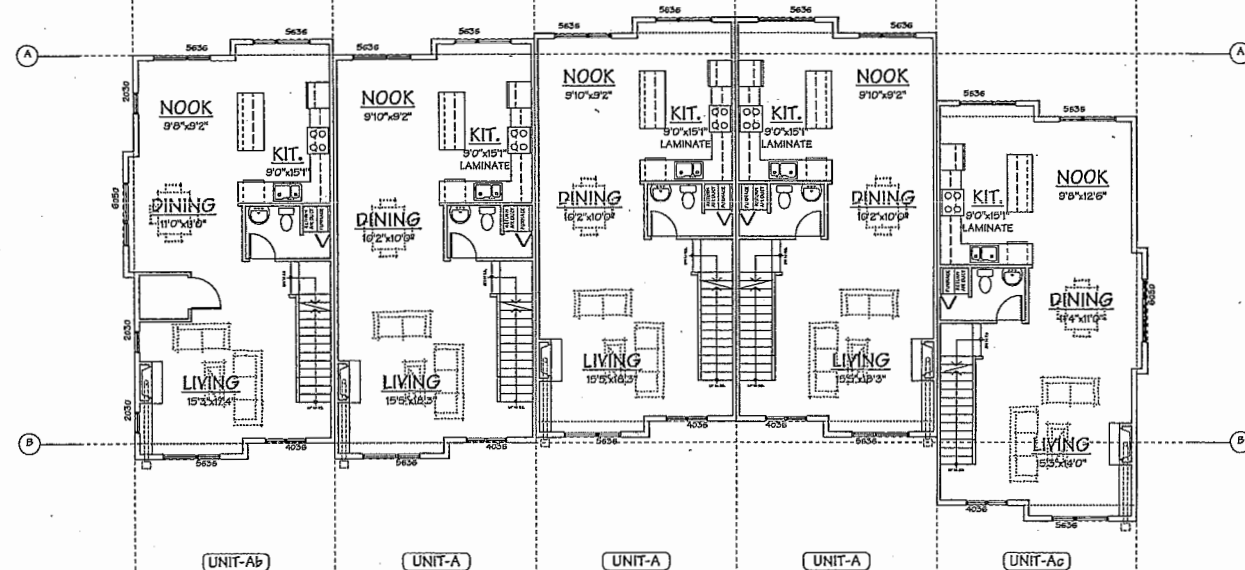
PLAN #7a

Plan #7a

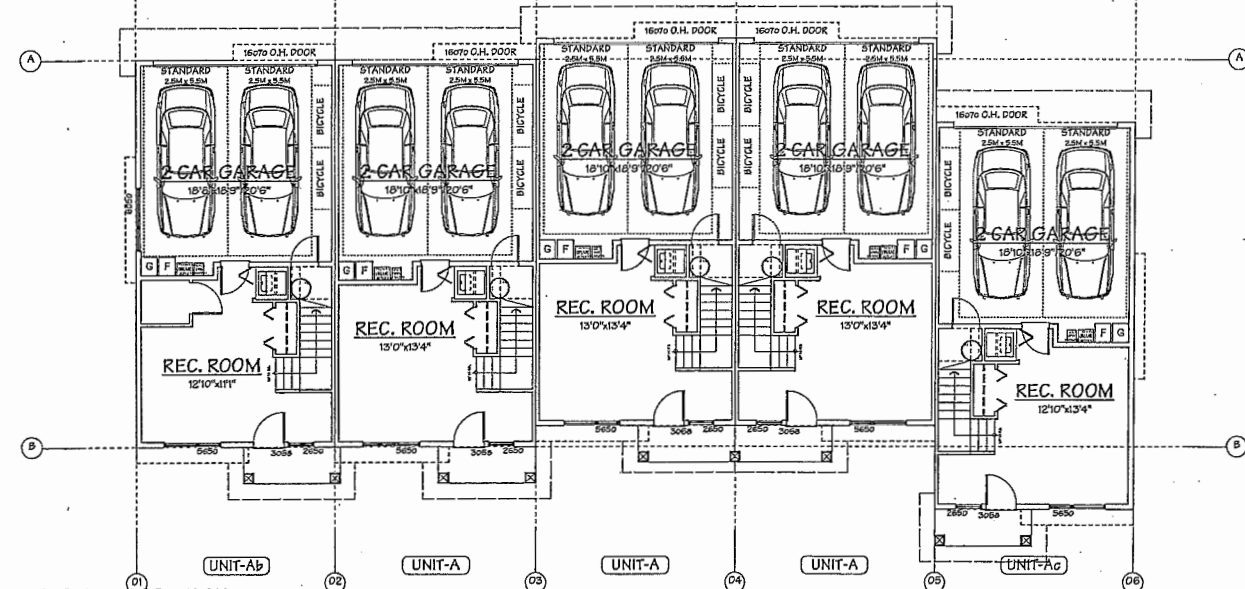
APR 13 2016
DP 15-700370



THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

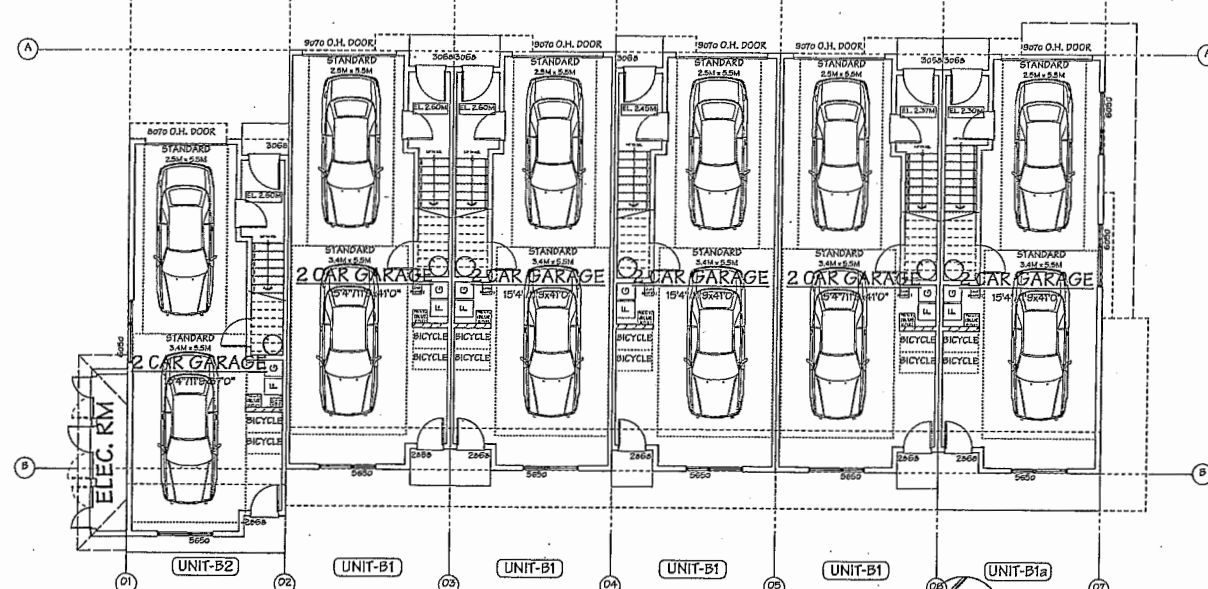
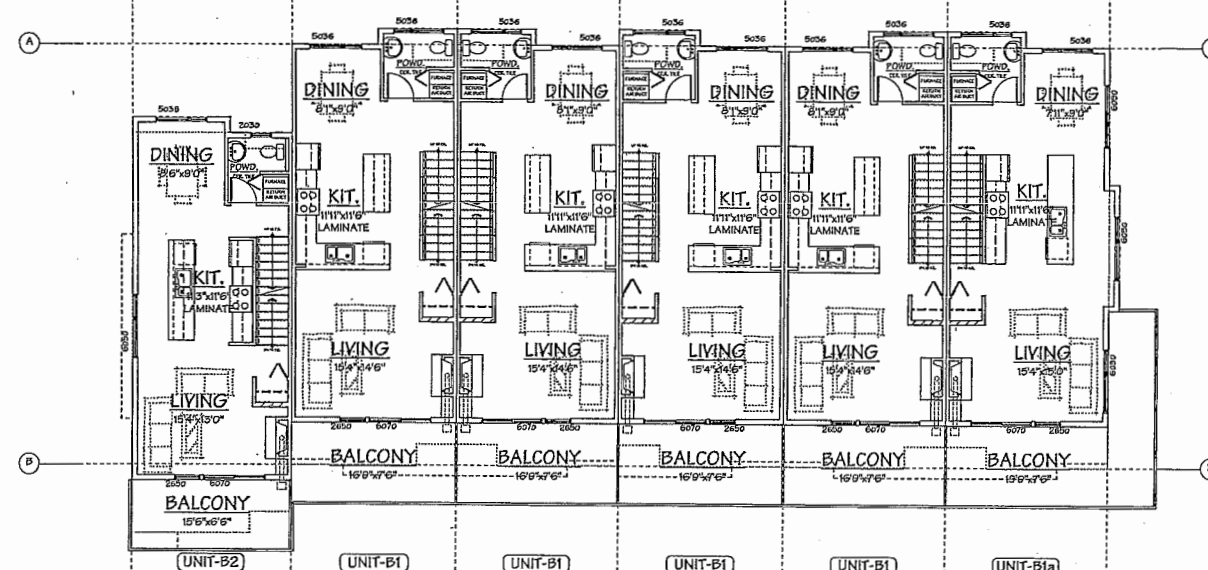
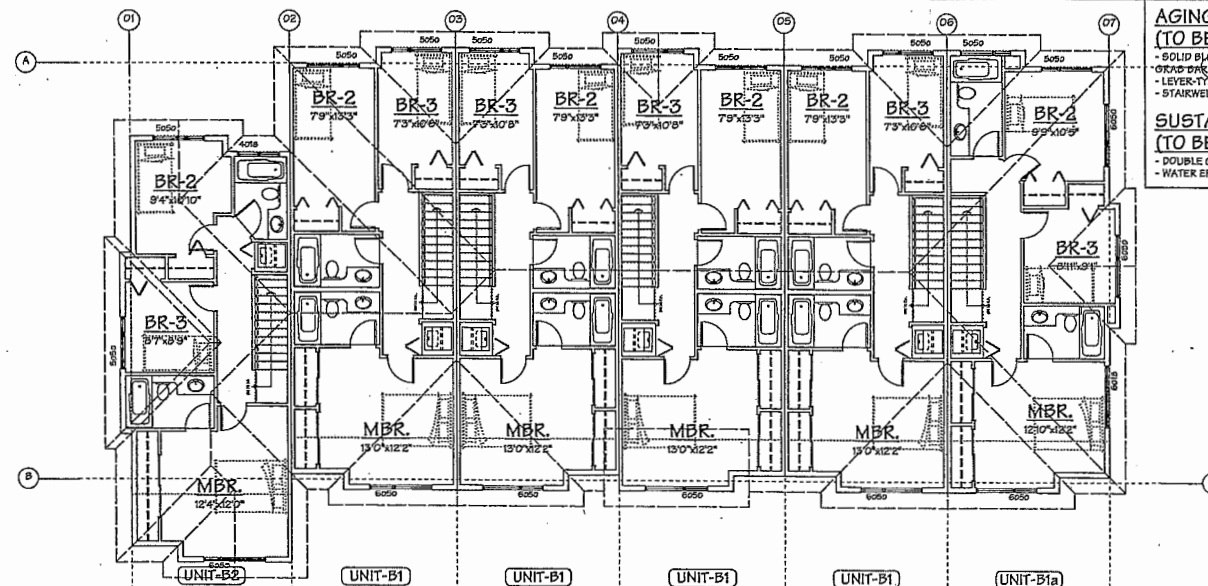


SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 3



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

BUILDING NO. 4

**AGING IN PLACE FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- SOLID BACKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES
- STAIRWELL HANDRAILS

**SUSTAINABILITY FEATURES
(TO BE PROVIDED IN ALL UNITS):**

- DOUBLE GLAZED VINYL FRAMED WINDOW W/ LOW E GLASS (TYP.)
- WATER EFFICIENT TOILETS

NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL KEYSED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAR. 23, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

9580 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

202 - 33 East 8th Avenue, Vancouver, B.C.
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DRAWING TITLE
FLOOR PLANS

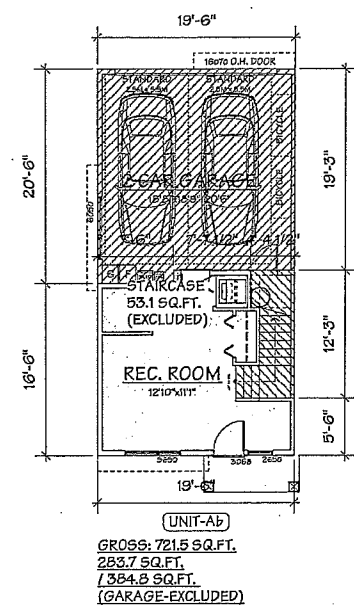
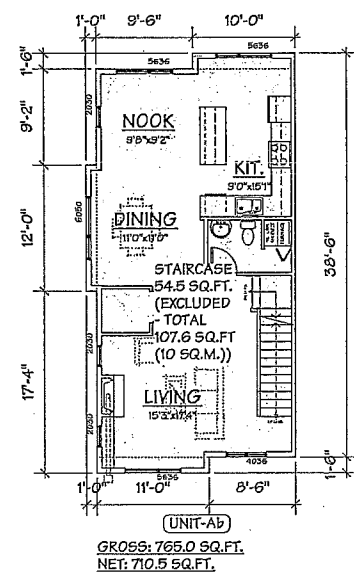
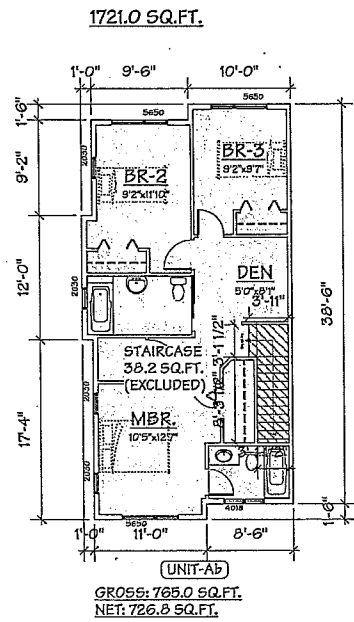
SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

PLAN #8

Plan #8

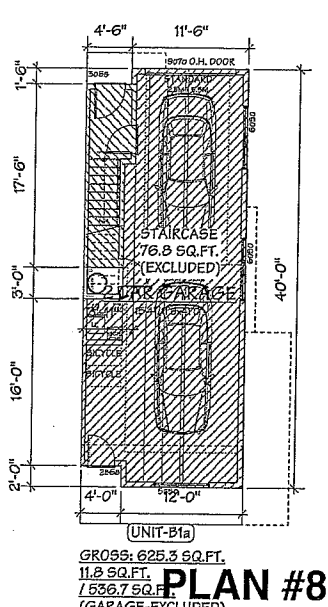
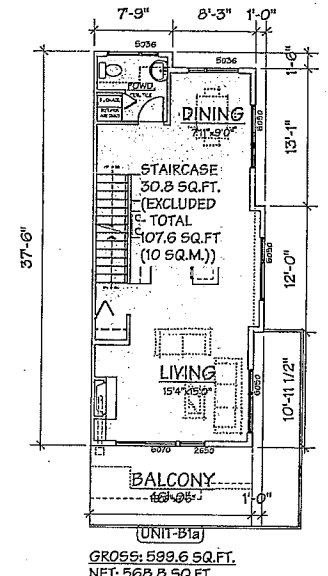
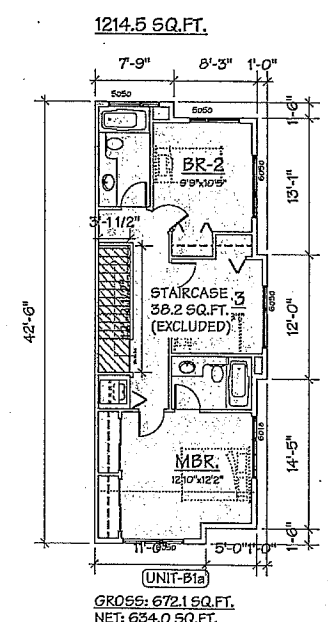
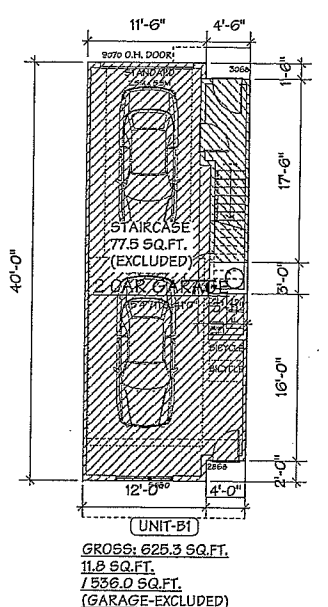
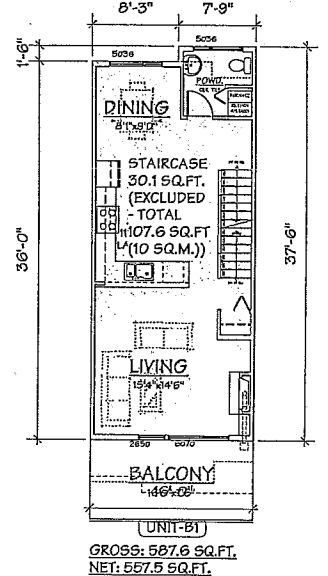
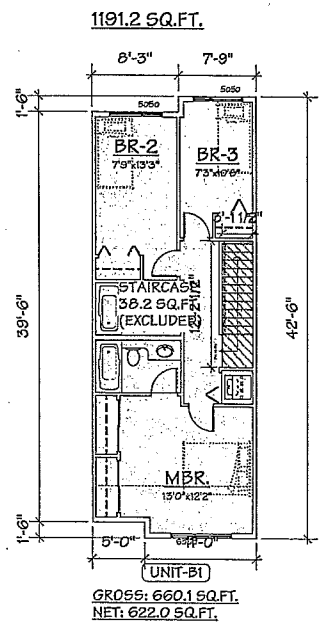
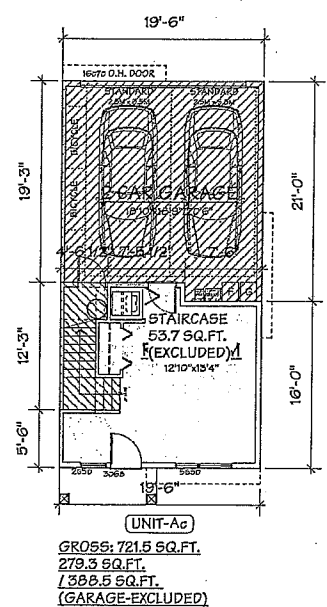
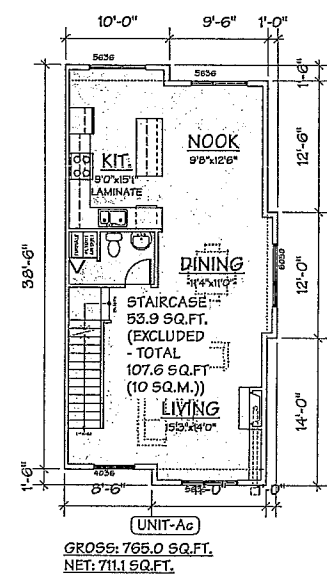
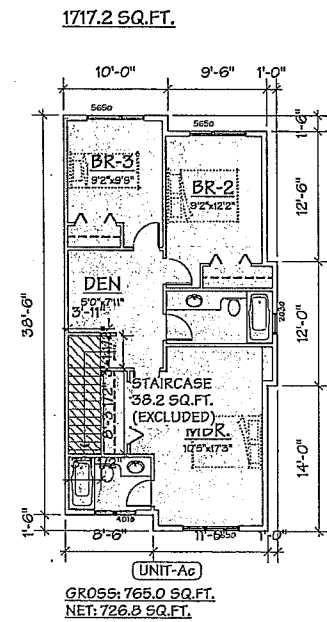
APR 13 2016

DP 15-700370



F.A.R. CALCULATION:

UNIT:	GROSS AREA:	STAIRS (EXEMPTED AREA):	NET FLOOR AREA:	GARAGE (EXEMPTED AREA):
A-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
A-2F	753.0 SF	53.9 SF	699.1 SF	
A-3F	753.0 SF	38.2 SF	714.8 SF	
	2227.5 SF	145.8 SF	1693.2 SF	
Aa-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Aa-2F	773.0 SF	53.9 SF	719.1 SF	
Aa-3F	773.0 SF	38.2 SF	734.8 SF	
	2267.5 SF	145.8 SF	1733.2 SF	
Ab-1F	721.5 SF	53.1 SF	283.7 SF	384.8 SF
Ab-2F	765.0 SF	54.5 SF	710.5 SF	
Ab-3F	765.0 SF	38.2 SF	726.8 SF	
	2251.5 SF	145.8 SF	1721.0 SF	
Ac-1F	721.5 SF	53.7 SF	279.3 SF	388.5 SF
Ac-2F	765.0 SF	53.9 SF	711.1 SF	
Ac-3F	765.0 SF	38.2 SF	726.8 SF	
	2251.5 SF	145.8 SF	1717.2 SF	
At-1F	767.4 SF	41.8 SF	339.0 SF	386.6 SF
At-2F	897.4 SF	65.8 SF	831.7 SF	
At-3F	897.4 SF	57.1 SF	840.3 SF	
	2562.2 SF	164.7 SF	2011.0 SF	
B-1F	593.3 SF	75.5 SF	10.1 SF	507.6 SF
B-2F	542.3 SF	32.1 SF	510.2 SF	
B-3F	638.8 SF	38.2 SF	600.6 SF	
	1774.3 SF	145.8 SF	1120.9 SF	
Ba-1F	593.3 SF	73.6 SF	11.8 SF	507.9 SF
Ba-2F	565.5 SF	34.0 SF	531.5 SF	
Ba-3F	637.5 SF	38.2 SF	599.3 SF	
	1796.3 SF	145.8 SF	1142.6 SF	
B1-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B1-2F	587.6 SF	30.1 SF	567.5 SF	
B1-3F	660.1 SF	38.2 SF	622.0 SF	
	1873.0 SF	145.8 SF	1191.2 SF	
B1a-1F	625.3 SF	76.8 SF	11.7 SF	536.7 SF
B1a-2F	599.6 SF	30.8 SF	568.8 SF	
B1a-3F	672.1 SF	38.2 SF	634.0 SF	
	1897.0 SF	145.8 SF	1214.5 SF	
B2-1F	574.3 SF	75.5 SF	10.1 SF	488.6 SF
B2-2F	525.8 SF	32.1 SF	493.7 SF	
B2-3F	637.3 SF	38.7 SF	598.6 SF	
	1737.3 SF	146.3 SF	1102.4 SF	
B2a-1F	574.3 SF	75.5 SF	10.1 SF	488.6 SF
B2a-2F	543.3 SF	32.1 SF	511.2 SF	
B2a-3F	637.3 SF	38.7 SF	598.6 SF	
	1754.8 SF	146.3 SF	1119.9 SF	
B3-1F	625.3 SF	77.5 SF	11.8 SF	536.0 SF
B3-2F	600.0 SF	30.1 SF	569.9 SF	
B3-3F	667.6 SF	38.2 SF	629.5 SF	
	1892.9 SF	145.8 SF	1211.1 SF	



NO.	DATE	REVISIONS
1	MAR. 10, 2016	MATERIAL REVISED
2	FEB. 3, 2016	GENERAL REVISIONS
3	OCT. 6, 2015	ISSUED FOR A.D.P.
4	MAY 14, 2015	ISSUED FOR D.P. APPLICATION
5	MAR. 23, 2015	GENERAL REVISIONS
6	NOV. 4, 2014	ISSUED FOR REZONING

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

9569 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

232 - 23 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

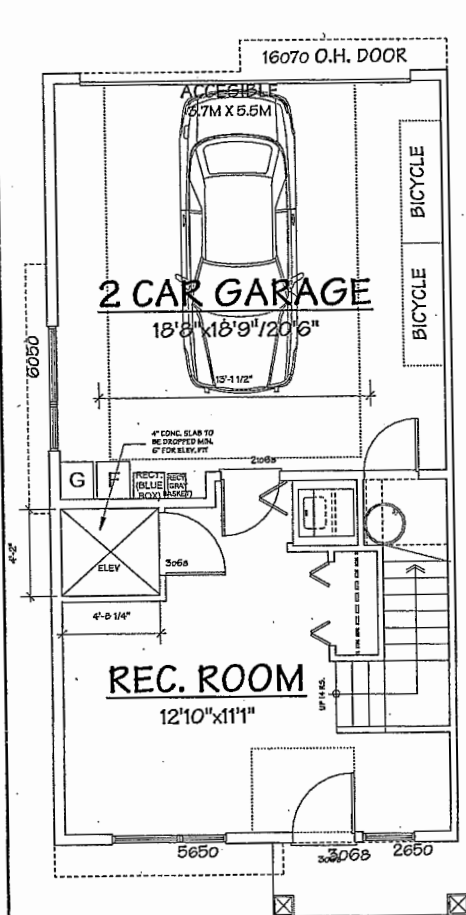
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F.A.R. OVERLAY

SCALE 1/8" = 1'-0"	SHEET NO.
DATE OCT. 2, 2014	
DRAWN KM	DP 15-700370
CHECKED	PROJ. NO. 1413

APR 13 2016

DP 15-700370

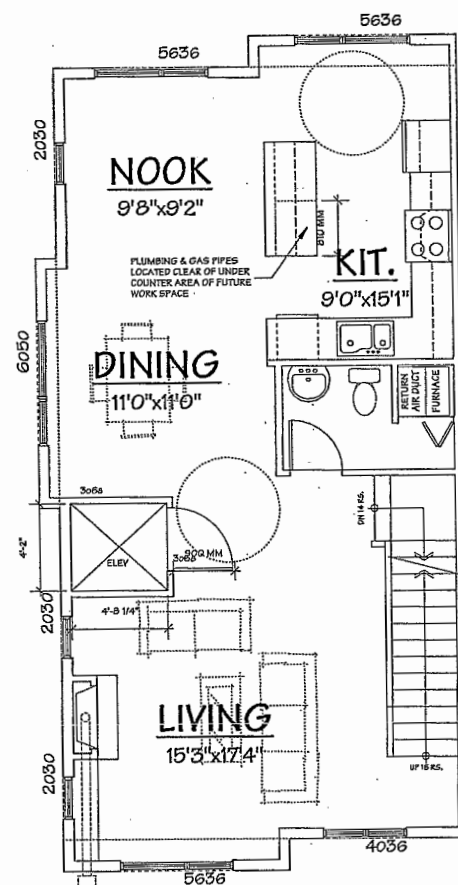
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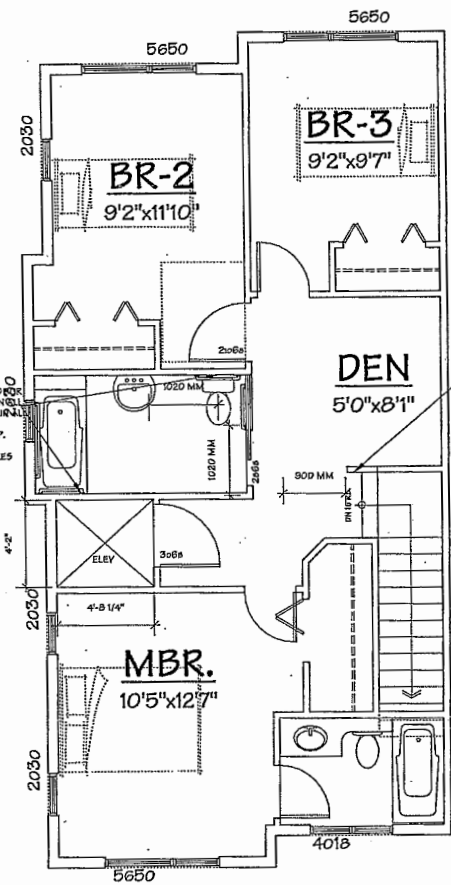
UNIT-Ab

ALT. UNIT Ab CONVERTIBLE PLAN

SCALE: 1/4" = 1'-0"



UNIT-Ab



UNIT-Ab

CHECKLIST - CONVERTIBLE UNIT FEATURES		
DOORS & DOORWAYS	ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.	COMPLIES.
	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).	ROUGH IN WIRING PROVIDED.
	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS	COMPLIES.
	PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED.	COMPLIES.
	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.	COMPLIES.
VERTICAL CIRCULATION	LEVER-TYPE HANDLES FOR ALL DOORS.	COMPLIES.
	STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS, OR VERTICAL LIFT, DEPRESSIONED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS	COMPLIES.
	FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.	COMPLIES.
	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2"x12" SOLID LUMBER AT 914 MM TO CENTRE.	COMPLIES.
	HALLWAYS	MIN. 900 MM WIDTH.
HALLWAYS	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH. ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.	COMPLIES.
	BATHROOM (MIN. 1)	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
		WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2"x12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
		LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
		PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
KITCHEN		CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
		DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
		CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
		CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
		1600 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
WINDOWS		LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
		MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
		PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
		UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.
		TO BE PROVIDED.

PLAN #9

NO.	DATE	REVISIONS
MAR. 10, 2015	MATERIAL REVISED	
FEB. 3, 2015	GENERAL REVISIONS	
OCT. 6, 2015	ISSUED FOR A.D.P.	
MAY 14, 2015	ISSUED FOR D.P. APPLICATION	
MAR. 23, 2015	GENERAL REVISIONS	
NOV. 4, 2014	ISSUED FOR REZONING	

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PROJECT
20 UNIT TOWNHOUSE
DEVELOPMENT

5550 ALEXANDRA ROAD
RICHMOND, B.C.

Yamamoto
Architecture Inc.

232 - 33 East 8th Avenue, Vancouver, B.C.
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

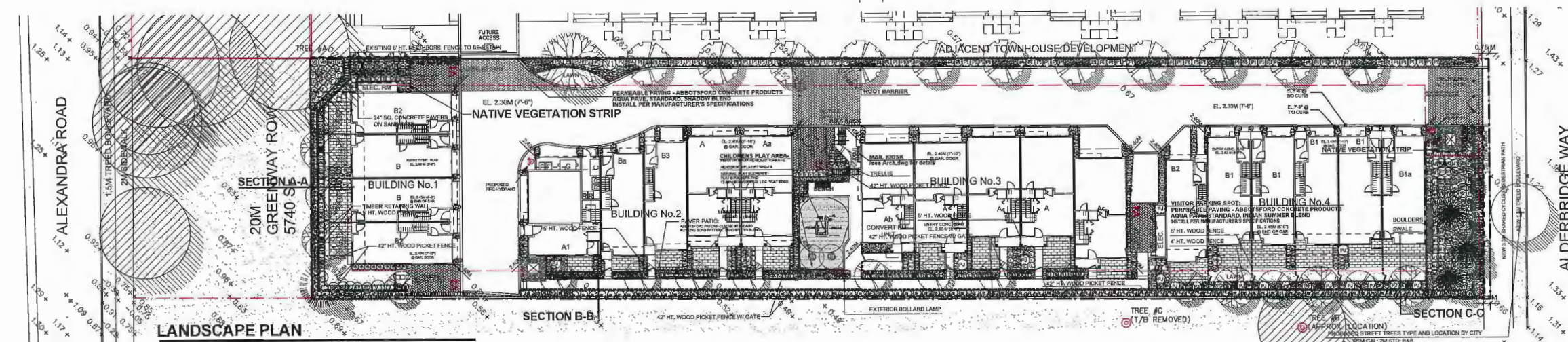
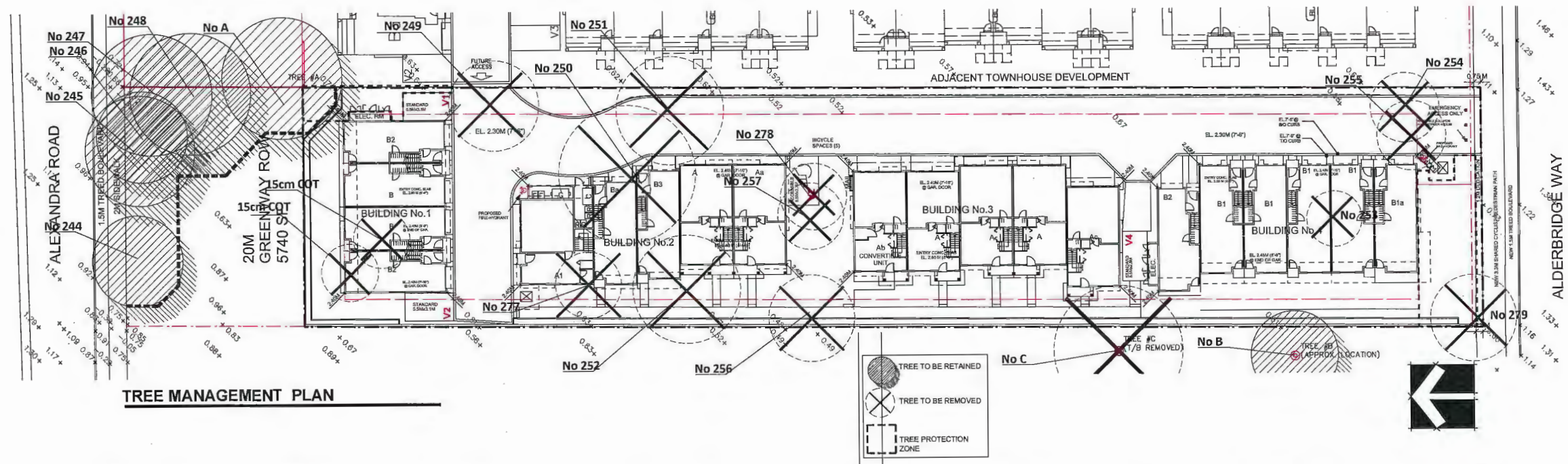
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FLOOR PLANS

SCALE	1/4" = 1'-0"	SHEET NO.	
DATE	MAY 4, 2015		
DRAWN	KM	DP 15-700370	
CHECKED		PROJ. NO.	1413

Plan #9

APR 13 2016

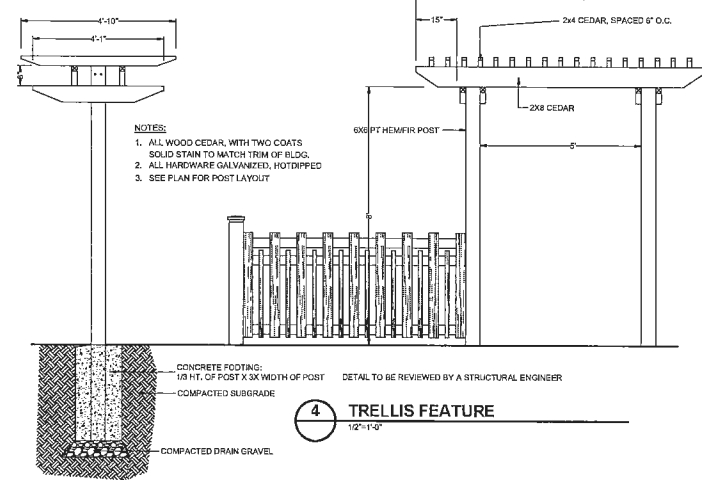
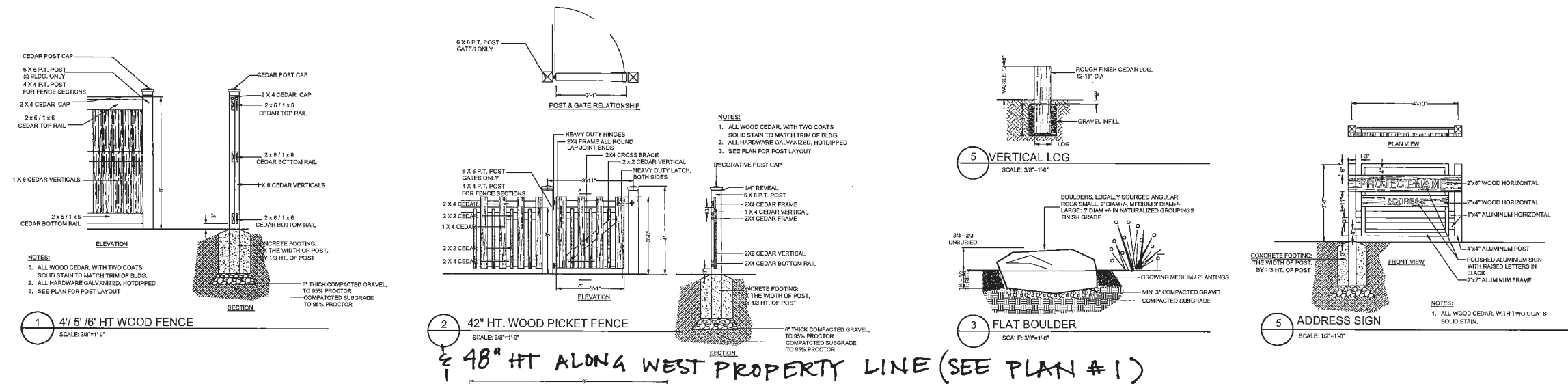
DP 15-700370



PLANT SCHEDULE				PMG PROJECT NUMBER: 14-150	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREE	11	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	60M CAL; 2M STD; B&B	
	1	CERCIDIPHYLLUM JAPONICUM	KATSURRA TREE	60M CAL; 2M STD; B&B	
	15	MAGNOLIA SOULANGIANA 'RUSTICA RUBRA'	RUSTICA RED MAGNOLIA	60M CAL; 1.2M STD; B&B	
	1	PRINCEA OMINICA	SERBIAN SPRUCE	3M HT; B&B	
	1	STREET TREE LOCATION AND TYPE BY CITY		60M CAL; B&B	
SHRUB	5	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	3M; B&B	
	150	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM	
	128	CHOISYA TERNATA SUNDANCE	MEXICAN MOCK ORANGE	#3 POT; 50CM	
	16	CORNUS SERICEA 'KELSEY'	DWARF KELSEY DOGWOOD	#3 POT; 60CM	
	8	HYDRANGEA MACROPHYLLA 'TELLER RED'	BIG-LEAF HYDRANGEA; LACECAP RED	#3 POT; 80CM	
GRASS	36	NANDINA DOMESTICA 'HARBOR DWARF'	DWARF HEAVENLY BAMBOO	#2 POT; 40CM	
	35	PIERIS JAPONICA 'FOREST FLAME'	PIERIS; WHITE BLOOMS	#3 POT; 50CM	
	71	PRUNUS LAUROCESTRUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	#2 POT; 40CM	
	24	ROSA EXPLORER 'SIMON FRASER'	SIMON FRASER ROSE; MED. PINK	#3 POT; 50CM	
	96	SKIMMIA JAPONICA (10% MALE)	JAPANESE SKIMMIA	1.2M B&B	
PERENNIAL	90	TAXUS BACCATA 'FASTIGIATA'	COLUMNAR IRISH YEW	1.2M HT; B&B	
	47	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN CEDAR	1.2M HT; B&B	
	24	VACCINIUM CORYMBOSUM 'BLUE CROP'	BLUE CROP EDIBLE BLUEBERRY	#2 POT; 50CM	
	4	VIBURNUM P.T. 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	#3 POT; 60CM	
	116	HELIOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT	
TREES	146	OPHIOPOGON PLANISCAPUS 'NIGRESCENS'	BLACK MONDO GRASS	#1 POT	
	5	PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	#1 POT	
	176	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	#1 POT	
	23	HEMEROCALLIS 'RED MAGIC'	DAYLILY; RED AND YELLOW	15 CM POT	
	5	HOSTA 'RED OCTOBER'	HOSTA; RED STEMS, 12" HT.	15 CM POT	
TREES	114	LAVENDULA ANGUSTIFOLIA 'HIDCOTE BLUE'	ENGLISH LAVENDER	#1 POT	
	148	LONICERA PLEATA	PRIVET HONEYSUCKLE	#1 POT; 25CM	
	25	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM	
	53	VACCINIUM VITIS-IDAEA	LINGONBERRY	#1 POT; 25CM	

PLANT SCHEDULE - NATIVE VEGETATION STRIP ONLY				PMG PROJECT NUMBER: 14-150	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	
TREE	3	ACER CIRCINATUM	VINE MAPLE	3M HT; B&B; 3 STEM CLUMP	
	2	CORNUS NUTTALLII	PACIFIC DOGWOOD	2M HT; B&B	
	3	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	3M HT; B&B	
	35	MAHONIA AQUIFOLIUM	OREGON GRAPE	#2 POT; 50CM	
	3	ROSA GYMNOCARPA	BALDIP ROSE	#2 POT; 40CM	
SHRUB	53	SPIRAEA DOUGLASII	DOUGLAS SPIREA	#2 POT; 40CM	
	31	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#3 POT	
	95	GAULTHERIA SHALLOON	SALAL	#1 POT; 20CM	
	18	MAHONIA NERVOZA	LONGLEAF MAHONIA	#2 POT; 25CM	
	46	POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT; 20CM	

PAVING LEGEND	
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SURF BIKE RACK; MODEL SPBRGP-5; BLACK COLOUR
WISHBONE SITE FURNISHINGS Ph.:604 626 0476



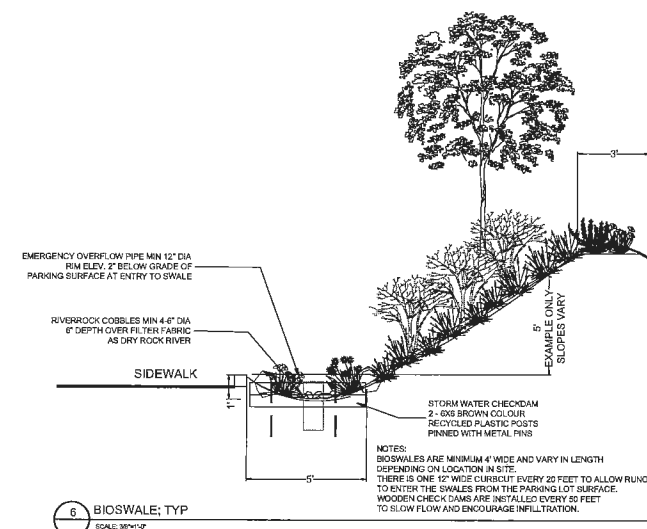
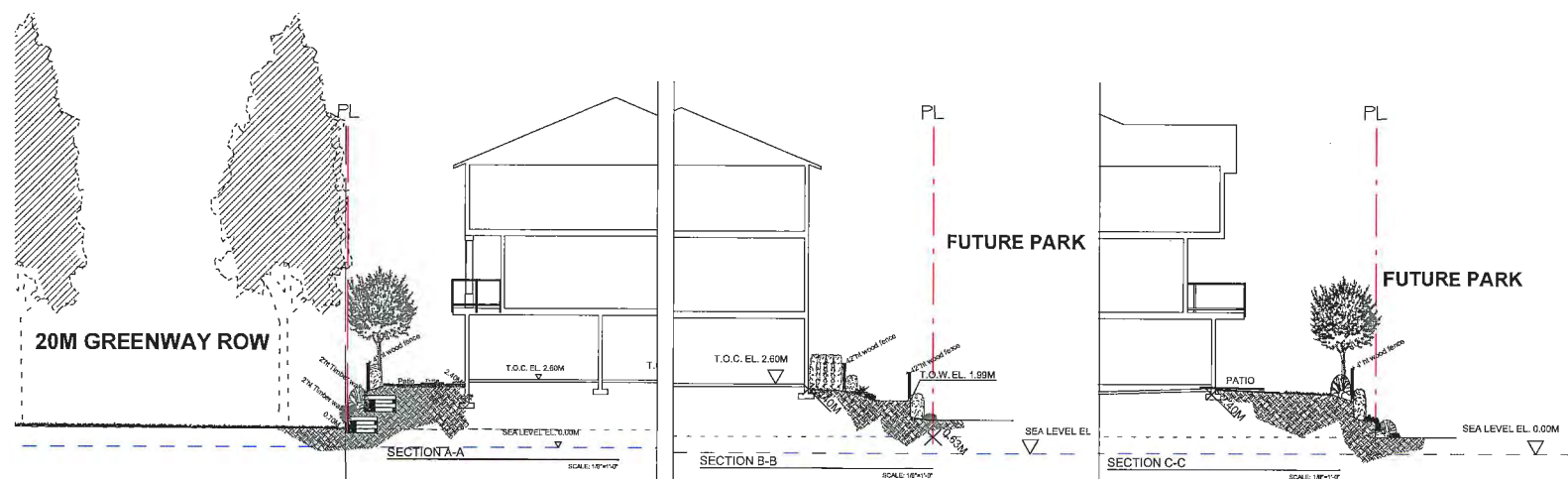
PARKER BENCH PKB-6;
REDWOOD COLOR RECYCLED PLASTIC SLATS;
WISHBONE SITE FURNISHINGS Ph.:604 626 0476
BLACK FRAME



Henderson Protecting Playground Fun
PlayTots; Model PT5002
Ph.: 1-800-265-5462 ext.302



HADCO ALUMINIUM BOLLARD LIGHT
DB30, BLACK COLOUR



NO.	DATE	REVISION DESCRIPTION	DR.
10	15.APR.20	NEW SITE PLANTING ADDRESS	ED
9	15.APR.20	NEW SITE PLANTING ADDRESS	ED
8	15.MAR.11	REVISED RETAINING WALL ALONG WEST P.L.	ED
7	15.FEB.20	CITY COMMENTS	ED
6	15.FEB.20	AS PER REVISED ADDRESS ADDRESS	ED
5	15.DEC.18	NEW SITE PLANTING COMMENTS	ED
4	15.OCT.18	NEW SITE PLAN	ED
3	15.SEP.18	NEW SITE PLAN	ED
2	15.AUG.18	NEW SITE PLANTING COMMENTS	ED
1	15.AUG.18	NEW SITE PLAN	ED

CLIENT: SIAM GROUP INVESTMENTS INC.

PROJECT:
**20 UNIT TOWNHOUSE
DEVELOPMENT**
**9560 ALEXANDRA ROAD
RICHMOND**

WITH YAMAMOTO ARCHITECTURE INC.

DRAWING TITLE:

LANDSCAPE DETAILS

DATE: November 2, 2014 DRAWING NUMBER:

SCALE:

DRAWN: DD

DESIGN: DD

CHECK: PCM

L2

OF 3

14150-11.DP

PMG PROJECT NUMBER:

14-150

PLAN # 11

APR 21 2016

DP 15-700 370

SCALE:

PART ONE GENERAL REQUIREMENTS

1.1 REFERENCES

- 1.1.1 CCDC Doc 22066
Comply with all articles in the General Conditions of Contract in conjunction with this section unless superseded by other Contract Documents.
- 1.1.2 B.C. Landscape Standard, 2002 edition, prepared by the B.C. Society of Landscape Architects and the B.C. Landscape & Nursery Association, jointly. All work and materials shall meet standards as set out in the B.C. Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instructions.
- 1.1.3 MASTER PRINCIPAL SPECIFICATIONS & STANDARD DETAILS, 2006 edition, prepared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction Association, and the Municipal Engineers Division
- 1.1.4 STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, 2004 Prepared by the Irrigation Industry Association of British Columbia.
- 1.1.5 MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED.

1.2 TESTING

- 1.2.1 A current test more than one month prior to all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility approved by the Landscape Architect. Before growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 3.1 Growing Medium Testing for procedure.
- 1.2.2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specifications.

1.3 SUBMITTALS

- 1.3.1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.
- 1.3.2 Submittals to consist of product sample or manufacturer's product description.

1.4 SITE REVIEW

- 1.4.1 Under the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction as it is necessary in their opinion to confirm conformance to the plans and specifications. Contact Owners Representative to arrange for site observation at the appropriate times. Allow two days notice. Observation schedule may include but will not be limited to the following:
- 1.4.2 Start up Site Meeting, General Contract Prior to any site disturbance, a meeting with the general contractor to review tree preservation issues, general landscape issues and municipal requirements.
- 1.4.3 Start up Site Meeting, Landscape Contract If separated At the start of work with Owner's Representative, Site Superintendent and Landscape Contractor; a meeting to be held to review expected work and to verify the acceptability of the substrate and general site conditions for the Landscape Contractor. Provide growing medium test results for this meeting.
- 1.4.4 Progress Site Visits: To observe materials as necessary through the course of the work. Review of different aspects of the work may be dealt with on any single visit. Such elements may include Site Layout, Rough Grading, Growing Medium - quality, depths, finish grading, drainage and drainage materials, Lawn or Grass areas, Planting - plant material including expectations with suppliers, nursery inspections, plant size, quality, quantity, planting practices and layout, the support: Pests, Irrigation Systems, Play Equipment, Site Furniture, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Paving, Fencing, Non-structural walls and stairs, Soil Paving.
- 1.4.5 Substantial Performance Review of all work, accounting of all submittals, details, plant counts, preparers of deficiency list, and recommendations for completion.
- 1.4.6 Certificate of Completion upon the declaration of Substantial Performance, a recommendation for the issuance of the Certificate of Completion will be made to the Payment Certificate as defined in the contract.
- 1.4.7 Deficiency Review Prior to the completion of the holdback period, check for completion of deficiencies. Once completed, a Schedule 'C' will be issued where required.
- 1.4.8 Warranty Review Prior to the completion of the warranty period (i.e. 12 months after issuance of the Certificate of Completion), review all warranty material and repeat recommendations for warranty replacement.

1.5 WORKMANSHIP

- 1.5.1 Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the substrate by the Landscape Contractor. Any subsequent corrections to the substrate required are the responsibility of the Landscape Contractor.
- 1.5.2 All work and support evidence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.
- 1.5.3 A site visit is required to become familiar with site conditions before bidding and before start of work.
- 1.5.4 Confirm location of all services before proceeding with any work.
- 1.5.5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.
- 1.5.6 Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Conform with all federal, provincial and local statutes and guidelines.
- 1.5.7 Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.
- 1.5.8 Where new work connects with existing, and where existing work is altered, note good to match existing undisturbed condition.

1.6 WARRANTIES

- 1.6.1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.
- 1.6.2 Refer to individual sections for specific warranties.

PART TWO SCOPE OF WORK

2.1 SCOPE OF WORK

- 2.1.1 Other conditions of Contract may apply. Confirm Scope of Work at time of tender.
- 2.1.2 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:
- 2.1.3 Relocation of Existing Trees where shown on drawings.
- 2.1.4 Finish Grading and Landscape Drainage.
- 2.1.5 Supply and placement of growing medium.
- 2.1.6 Testing of imported growing medium and/or site layout.
- 2.1.7 Supply and incorporation of additives to meet requirements of soil test and Table One.
- 2.1.8 Preparation of planting beds, supply of plant material and planting.
- 2.1.9 Preparation of rough grass areas, supply of materials and seeding.
- 2.1.10 Preparation of lawn areas, supply of materials and sodding.
- 2.1.11 Supply and placement of bark mulch.
- 2.1.12 Maintenance of planted and seeded/seeded areas until accepted by Owner.
- 2.1.13 SEPARATE PRICE: Establishment Maintenance, Section 3.11.
- 2.1.14 Other work shown other than this list, as specified by Landscape Architect.

2.2 MATERIALS

- 2.2.1 Growing Medium: Conform to B.C. Landscape Standard for definitions of imported and on-site inputs. Refer to Table One below.
- | TABLE ONE: PROPERTIES OF GROWING MEDIUM FOR LEVEL 1 (MODIFIED) AND LEVEL 3 (MODIFIED) AREAS | | | |
|---|--|--------------------|-----------------------------|
| Canadian System of Soil Classification Technical Class: "Sandy Loam" to "Sandy Clay" | | | |
| Applications | Low Traffic Areas | High Traffic Areas | Planting Areas and Planters |
| Growing Medium Types | TL | TH | TP |
| Texture | | | |
| Coarse Gravel: larger than 25mm | 0 - 10% | 0 - 10% | 0 - 10% |
| All Gravel: larger than 25mm | 0 - 5% | 0 - 5% | 0 - 5% |
| Percent CI Dry Weight of Growing Medium Excluding Gravel | | | |
| Sand: larger than 60mm smaller than 2.0mm | 50 - 60% | 70 - 90% | 40 - 60% |
| Silt: larger than 0.075mm smaller than 60mm | 10 - 25% | 0 - 15% | 10 - 25% |
| Clay: smaller than 0.075mm | 0 - 25% | 0 - 15% | 0 - 25% |
| Clay and Silt Combined | maximum 25% | maximum 15% | maximum 25% |
| Organic Content (soils) | 3 - 10% | 3 - 5% | 10 - 20% |
| Organic Content (fertilizer) | 3 - 5% | 3 - 5% | 15 - 20% |
| Acidity (pH) | 6.0 - 7.0 | 6.0 - 7.0 | 6.5 - 6.5 |
| Drainage | Permeability shall be such that no standing water is visible 60 minutes after at least 18 minutes of material to heavy rain or irrigation. | | |
- 2.2.2 Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (K) in proportions required by soil test.
- 2.2.3 Lime: Ground agricultural limestone. Meet requirements of the B.C. Landscape Standard.
- 2.2.4 Organic Additive: Commercial compost product to the requirements of the B.C. Landscape Standard, 10th edition and pre-approved by the Landscape Architect. Recommended suppliers: The Active Gardener Products, Farrow Natural Soils & Fibre, Stream Organics Management.
- 2.2.5 Sand: Clean, washed pump sand to meet requirements of the B.C. Landscape Standard.
- 2.2.6 Composted Bark Mulch: 10mm (3/16") minus Fir/Manhask bark chips and fines, free of chunks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous matter. Fresh orange or colour bark will be rejected.
- 2.2.7 Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes. Applies must hold current licenses issued by the appropriate authorities in the area.
- 2.2.8 Filter Fabric: A non biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as IMPAR 100 N, GEOLON 100 or ARMO 150S or alternate product pre-approved by the Landscape Architect.)
- 2.2.9 Drainage Piping: If required, Schedule 40 PVC, nominal sizes.
- 2.2.10 Drain Rock: Clean, washed, inert, durable, and free a maximum size of 10mm and containing no material smaller than 2mm.
- 2.2.11 Plant Material: To the requirements of the B.C. Landscape Standard. Refer to 3.10 Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification.
- 2.2.12 Sod: Refer to individual sections in this specification.
- 2.2.13 Supplier and installers of segmental block walls to provide engineering drawings for all walls signed and sealed drawings for all walls, individually, in areas of 12m, or combinations of walls collectively in excess of 12m. Installations must be reviewed and signed off by Certified Professional Engineer; situate cost of engineering services in Tender price.
- 2.2.14 Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

3.1 RETENTION OF EXISTING TREES

- 3.1.1 Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as vegetation retention areas.
- 3.1.2 In some instances the Landscape Architect will tag trees or areas to remain. Discuss tree retention areas at a start-up meeting with the Landscape Architect.
- 3.1.3 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If not set out provided, comply with local municipal requirements.
- 3.1.4 No machine travel through or within vegetation retention areas or under canopies of trees to be retained is allowed.
- 3.1.5 Do not staple soil, construction materials, or excavated materials within vegetation retention areas.
- 3.1.6 Do not park, fuel or service vehicles within vegetation retention areas.
- 3.1.7 No debris fires, clearing fires or trash burning that be permitted within vegetation retention areas.
- 3.1.8 No excavations, drains or service trenches nor any other disruption shall be permitted within vegetation retention areas without a review of the proposed encroachment by the Landscape Architect.
- 3.1.9 Do not cut branches or roots of retained trees without the approval of the Landscape Architect.
- 3.1.10 Any damage to existing vegetation intended for preservation will be subject to evaluation by a U.S.A. Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition, 1992.
- 3.1.11 Supplemental planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and/or the personal responsibility for the disturbance.
- 3.1.12 In municipalities with specific tree retention/replacement bylaws ensure compliance to bylaws.
- 3.1.13 In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.

3.2 GRADES

- 3.2.1 Ensure substrate is prepared to conform to depths specified in Section 3.5, Growing Medium Supply, below. Where planting is indicated close to existing trees, prepare subgrade planting pockets for material located on the planting plan. Shape substrate to minimize free standing water and conform to the site grading and drainage plan.
- 3.2.2 On slopes in excess of 3:1 trench subgrade across slope to 150mm (6") minimum at 15m (50') intervals minimum.
- 3.2.3 Scarify the entire subgrade immediately prior to placing growing medium. Re-define where vehicular traffic results in compaction during the construction procedures. Ensure that all planting areas are smoothly contoured after light compaction to finished grade.
- 3.2.4 Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum gradients defined by the B.C. Landscape Standard.
- 3.2.5 Construct swales two to four and grade, smooth and free of rags or high points. Minimum slope 2%, maximum side slopes 10%. Assume positive drainage to collection points.
- 3.2.6 Slope not to exceed the following maximums: Rough Grass 3:1, Lawn 4:1, Landscape plantings 2:1.
- 3.2.7 Finished subgrade elevation at building to comply with municipal requirements.
- 3.2.8 Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch.

3.3 LANDSCAPE DRAINAGE

- 3.3.1 Related Work: Grading medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, Oak Walls.
- 3.3.2 Work Included: Site finish grading and surface drainage. Installation of any drainage systems detailed on landscape plans. Note: Catch basins shown on landscape plans for coordination only, confirm scope of work prior to bid.
- 3.3.3 Conduct all landscape drainage work with rest of site drainage. Refer to engineering drawings and specifications for connections and other drainage work.
- 3.3.4 Determine exact location of all existing utilities and structures and underground utilities prior to commencing work, which may not be located on drawings and conduct work so as to prevent interruption of service or damage to them. Protect existing structures and utility services and be responsible for damage caused.
- 3.3.5 Planter drains on site. Refer to Section 3.10, Installing Landscapes on Structures.
- 3.3.6 Details:
- 3.3.7 Do trenching and backfilling in accordance with engineering details and specifications.
- 3.3.8 Lay drains on prepared bed, free to line and grade with inverts smooth and free of rags or high points. Ensure barrel of each pipe is in contact with bed throughout full length.
- 3.3.9 Connects laying pipe at outlet and proceed in upstream direction.
- 3.3.10 Lay perforated pipes with perforations 4" apart and open positions.
- 3.3.11 Make joints tight in accordance with manufacturer's directions.
- 3.3.12 Do not allow water to flow through the pipes during construction except as approved by Engineer.
- 3.3.13 Make watertight connections in existing drains, new or existing manholes or catchpools where indicated or as directed by Landscape Architect.
- 3.3.14 Plug upstream ends of pipe with water-tight closed end caps.
- 3.3.15 Surround and cover pipe with drain rock in uniform 150mm layers to various depths as shown in details, minimum 100mm.
- 3.3.16 Cover drain rock with non-woven filter cloth top all edges and seams minimum 150mm.
- 3.3.17 Assume positive drainage.
- 3.3.18 Back fill remainder of trench as indicated.
- 3.3.19 Protect sub-drains from localized during installation.

3.4 GROWING MEDIUM TESTING

- 3.4.1 Submit representative sample of growing medium proposed for use on this project to an independent laboratory. Provide test results to Landscape Architect prior to planting. Test results to include:
- 3.4.2 Physical properties, % content of gravel, sand, silt, clay and organic.
- 3.4.3 Acidity (pH) and quantities of law or supplier required to bring within specified range.
- 3.4.4 Nutrient levels of groups and trace elements and recommendations for required soil amendments.
- 3.4.5 Carbon/Nitrogen level.

3.5 GROWING MEDIUM SUPPLY AND PLACEMENT

- 3.5.1 Supply all growing medium required for the performance of the Contract. Do not lead, transport or spread growing medium when it is so wet that its structure is likely to be damaged.
- 3.5.2 Supply all growing medium addititives as required by the soil test. Amended growing medium must meet the specification for growing medium as defined in Table One for the various areas.
- 3.5.3 Thoroughly mix required amendments into the full depth of the growing medium.
- 3.5.4 Spread rates may be required for various situations. Refer to drawing notes for instructions.
- 3.5.5 Place the amended growing medium in all grass and planting areas. Spread growing medium in uniform layers not exceeding 6" (150mm), over uniform subgrade free of standing water.
- 3.5.6 Minimum depths of growing medium placed and compacted to 80%:
- 3.5.7 1. On-grade
- 3.5.8 2. Seeded and sodded lawns - 6" (150mm)
- 3.5.9 3. Grass planted shrubs & groundcovers - 15" (380mm)
- 3.5.10 4. Groundcover only areas, if defined on plan - 6" (150mm)
- 3.5.11 5. Trees & large shrub pits - depth to conform to depth of rootball - width shall be at least twice the width of the root ball with square shaped sides.
- 3.5.12 6. On-Slab
- 3.5.13 1. Irrigated lawns - 6" (150mm)
- 3.5.14 2. Groundcover areas - 6" (150mm)
- 3.5.15 3. Lawns without automatic irrigation - 2" (50mm)
- 3.5.16 4. Shrubs & groundcover areas - 6" (150mm)
- 3.5.17 5. Trees and specimen shrubs - 38" (965mm) over columns and/or edge of slab (verify column locations on-site for tree locations)
- 3.5.18 6. Depth of medium 17" (430mm) above over filter fabric
- 3.5.19 7. Maximum 18" depth growing medium except where required for trees over column pockets.
- 3.5.20 Manually spread growing medium/planting soil around existing trees, shrubs and structures.
- 3.5.21 In perimeter seeded grass areas, feather growing medium out to meeting of edges and blend into existing grades.
- 3.5.22 Finished grades shall conform to the elevations shown on landscape and site plans.

3.6 ROUGH GRASS AREA - SEEDING

- 3.6.1 General: Rough grass areas are noted on the drawings as "Rough Grass". Treat all areas defined as rough grass between all property lines of the project including all boulevards to edge of roads and lanes.
- 3.6.2 Preparation of Surfaces: To B.C. Landscape Standard Class 3 Areas Rough grass Section 7.1.1.3.
- 3.6.3 Clean existing soil by mechanical means of debris less than 50mm in any dimension.
- 3.6.4 Rough grade surfaces to allow for maintenance specified and for positive drainage.
- 3.6.5 Time of Seeding: Seed from early spring (generally April) till late fall (September 30th) of each year. Further extensions may be obtained on concurrence of the Landscape Architect.
- 3.6.6 Seed Supply & Testing: All seed must be obtained from a recognized seed supplier and shall be No. 1 grade material delivered in containers bearing the following information:
- 3.6.7 1. Analysis of the seed mixture
- 3.6.8 2. Percentage of each seed type
- 3.6.9 Seed Mixture: All species shall be rated as strong performers in the Pacific Northwest and are subject to client approval.
- 3.6.10 70% Annual Ryegrass
- 3.6.11 30% Perennial Ryegrass
- 3.6.12 For Midwestern Areas use a mixture of Midwestern with hard fescue (terrific Central Midwestern) with hard fescue or pre-approved alternate.
- 3.6.13 Fertilizer: Mechanical seeding. Apply a complete synthetic slow-release fertilizer with maximum 35% water soluble nitrogen and a formulation ratio of 10-10-10 - 55% water soluble, 100 kg/ha (1000 lbs/acre) using a mechanical spreader.
- 3.6.14 Seeding: Apply seed at a rate of 100 lb/ha (1000 lbs/acre) with a mechanical spreader. Incorporate seed into the top 1/4" (6mm) of soil and lightly compact.
- 3.6.15 Acceptance: Provide adequate protection of the seeded areas until conditions of acceptance have been met. Comply with Section 2.2 Hydroseeding.

3.7 HYDROSEEDING

- 3.7.1 May be used as an alternate to mechanical seeding in rough grass areas.
- 3.7.2 May not be used in a rough grass area unless pre-approved by the Landscape Architect prior to bidding.
- 3.7.3 Preparation and Growing Medium:
- 3.7.4 In areas of Rough Grass Comply with Section 2.2 Rough Grass.
- 3.7.5 Where approved for use in areas of lawns, comply with Section 3.8 Lawn Areas Seeding.
- 3.7.6 Protection: Ensure that fertilizer in solution does not come in contact with foliage of any trees, shrubs, or other susceptible vegetation. Do not spray seed or mulch adjacent and expected to grow grass. Protect existing site equipment, roadways, utility lines, reference points, monuments, markers and structures from damage. Where contamination occurs, remove seeding slurry by application of water and by means approved by the Landscape Architect.
- 3.7.7 Mulch shall consist of virgin wood fibre or recycled paper fibre designed for hydro-seeding and used in the manner of mulching application. If using recycled paper material for wood fibre substitute use 150% by weight. Conforms to B.C. Landscape Standard for mulch requirements.
- 3.7.8 Water: Shall be free of any impurities that may have an inhibitory effect on the success of seeding or may be harmful to the environment.
- 3.7.9 Equipment: Use industry standard hydro-seed/mulch equipment with the tank volume certified by an identification plate or sticker attached to the side of the equipment. The hydro-seed/mulch equipment shall be capable of sufficient application to mix the material into a homogeneous slurry and to maintain the slurry in a homogeneous state until it is applied. The discharge pumps and nozzles shall be capable of applying the materials uniformly over the designated area.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

3.8 APPLICATION RATE

- 3.8.1 Seed Mixture: 100 kg/ha (1000 lbs/acre)
- 3.8.2 Fertilizer: 100 kg/ha (1000 lbs/acre)
- 3.8.3 Mulch: 100 kg/ha (1000 lbs/acre). Where specified, apply (1) lbs/acre (1/4 cu. ft.) of grass seed
- 3.8.4 Water:
- 3.8.5 All the time of Tender period, a complete chart of all components of the mix prepared including mulch, fertilizer, water etc. Slipped sites require mulch.
- 3.8.6 Fertilizer:
- 3.8.7 Rough Grass if a soil analysis is available, comply with results.
- 3.8.8 Lawn Where hydroseeding is approved, comply with soil analysis recommendations.
- 3.8.9 Accuracy: measure the quantities of each of the materials to be charged into the tank either by mass or by a computerized system of mass-calibrated volume measurements. The materials shall be added to the tank while it is being filled with water in the following sequence: seed, fertilizer. Thoroughly mix into a homogeneous slurry. After charging, add water or other material to the mixture. Do not leave slurry in the tank for more than four (4) hours.
- 3.8.10 Distribute slurry uniformly over the surface of the area to be hydroseeded. Blend application into previous applications and existing grass areas to form uniform surface.
- 3.8.11 Clean up: Remove all materials and other debris resulting from seeding operations from the job site.
- 3.8.12 Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Re-seed at three week intervals where germination has failed. Protect seeded areas from damage with temporary wire or fence lines complete with signage until grass area is 10mm over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain species growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contractor.
- 3.8.13 Acceptance of the Rough Grass Area: Proper preparation of all specified grass species is the responsibility of the Landscape Contractor. The grass shall be reasonably well established, with no apparent dead or bare spots and shall be reasonably free of weeds by B.C. Landscape Standard, Section 10 Maintenance Level 4 (Hydroseeded). Seedy days after substantial completion, areas meeting the conditions above will be taken over by the Owner. Areas seeded in Fall will be accepted in Spring the month after the start of growing season, provided that the above conditions for acceptance are fulfilled.

3.9 LAWN AREAS - SEEDING

- 3.9.1 General: Treat all areas defined as lawn areas on the landscape plan with all property lines of the project including all boulevards to edge of roads and lanes.
- 3.9.2 Growing Medium: Comply with Section 2.2, Growing Medium. Prior to seeding, request an inspection of the finished grade, and depth and condition of growing medium by the Landscape Architect.
- 3.9.3 Time of Seeding: Sod from April 1st to October 1st. Further extensions may be obtained on concurrence of the Landscape Architect.
- 3.9.4 Sod Supply: Conforms to all conditions of B.C. Landscape Standard, Section 8.6, Standard for Turfgrass Sod.
- 3.9.5 Specified Turfgrass by area: Refer to Table 2 below.

TABLE 2 SPECIFIED TURFGRASS BY AREA			
Area	Description	Quality Grade	Major Species
CLASS 1	Lawn, all areas noted on drawings as lawn in urban development sites including boulevard grass	No. 1 Premium	Kentucky Blue for sun, Fescues for shade
CLASS 2	Grass - public parks, industrial and institutional sites	No. 2 Standard	same
CLASS 3	Rough Grass	See Hydroseeding	
SPECIAL			

- 3.9.6 Lawn: The time shall be as defined in Section 2.2.3, Materials. Apply at rates recommended in required soil test. Refer to Section 3.1 for method.
- 3.9.7 Fertilizer: Refer to Section 2.2.2 Materials. Apply specified fertilizer at rates shown in the required soil test. Apply with a mechanical spreader. Cultivate into growing medium 48 hours prior to seeding. Apply separately from lime.
- 3.9.8 Seeding: Prepare a month, firm, even surface for laying sod. Lay sod slugged with sections closely butted, without overlapping or gaps, smooth and even with adjoining areas and roll lightly. Water to obtain moisture penetration of 3" to 4" (75 - 100mm). Comply with requirements of B.C. Landscape Standard, Section 8, B.C. Standard for Turfgrass Sod.
- 3.9.9 Maintenance: Begin maintenance immediately after seeding and continue for 60 days after Substantial Completion and until accepted by the Owner. Protect seeded areas from damage with temporary wire or fence lines complete with signage until lawn is taken over by the Owner. Water in sufficient quantities to ensure deep penetration and at frequent intervals to maintain species growth until grass is taken over by the Owner. It is the Owner's responsibility to supply water at no extra cost to the Contractor.
- 3.9.10 Acceptance of Lawn Areas: The turf shall be reasonably well established, with no apparent dead spots or bare spots and shall be reasonably free of weeds by the B.C. Landscape Standard, Section 10 Maintenance Level 1 (Unseeded). Where necessary for weed removal other conditions of contract forbid this work. After the lawn has been cut at least twice, areas meeting the conditions above will be taken over by the Owner.

3.10 PLANTS AND PLANTING

- 3.10.1 Confirm to planting layout as shown on Landscape Plans.
- 3.10.2 Obtain approval of Landscape Architect for layout and preparation of planting prior to commencement of planting operations.
- 3.10.3 Make edge of beds with smooth clear defined lines.
- 3.10.4 Time of Planting:
- 3.10.5 Plant trees, shrubs and groundcovers only during periods that are normal for such work as determined by local weather conditions when seasonal conditions are likely to ensure successful adaptation of plants to their new location.
- 3.10.6 Using According to soil analysis.
- 3.10.7 Mowing and Trimming - All areas: The first four cuts shall be a sharp rotary type mower. Excess grass clippings with a sharp rake or rotary mower when the grass reaches a height of 40mm. How to a height of 40mm. Edge with a Reverse all grass clippings after each cut.
- 3.10.8 Aeration: Aeration not required in the first growing season. If necessary, in the second growing season, aerate depth of 100mm (4") and remove cores.
- 3.10.9 Repairs: Re-grade, re-seed or re-sod when necessary to restore damaged or failing grass areas. Patch the re-grassed areas. Re-seed between April 1st and April 15th or between September 1st and September 1st mowing.
- 3.10.10 Availability:
- 3.10.11 Area of work includes the Lower Mainland and Fraser Valley. Refer to Plant Schedule for any extension of area.
- 3.10.12 Supply proof of the availability of the specified plant material within 30 days of the start of the Contract.
- 3.10.13 Substitution:
- 3.10.14 Obtain written approval of the Landscape Architect prior to making any substitutions to the specified material. Non-approved substitutions will be rejected.
- 3.10.15 Allow a minimum of 5 days prior to delivery for request to substitute.
- 3.10.16 Substitutions are subject to B.C. Landscape Standard - Definition of Conditions of Availability.
- 3.10.17 Plant Species & Location:
- 3.10.18 Plants shall be true to name and of the height, caliper and size of root ball as shown on the landscape/planting plan schedule. Caliper of trees is to be taken 6" (150mm) above grade.
- 3.10.19 Plant all specified species in the location as shown on the landscape drawings. Notify Landscape Architect if conflicting rock or underground/overhead services are encountered.
- 3.10.20 Deviation of green planting location will only be allowed after review of the proposed deviation by the Landscape Architect.
- 3.10.21 Evaluation:
- 3.10.22 Trees and large shrubs: Excavate a square shaped tree pit to the depth of the rootball and to at least twice the width of the rootball. Ensure that finished grade is at the original grade the tree was grown at.
- 3.10.23 Drainage of Planting Holes:
- 3.10.24 Provide drainage of planting holes where required, in a sloped condition, break out the side of the planting pit to allow drainage down slope, and in flat conditions, mound to raise the rootball above previous level. Notify the Landscape Architect where the drainage of planting holes is limited.
- 3.10.25 Planting and Fertilizing Procedures:
- 3.10.26 Plant all trees and shrubs with the roots placed in their natural growing position. If burlapped, loosen around the top of the ball and cut away or fold under. Do not pull burlap free under the soil. Carefully remove containers without injuring the rootballs. After settled place top ball. For air baskets, clip and remove top layer roots of wire.
- 3.10.27 Fill the planting holes by gently firming the growing medium around the root system in 6" (150mm) layers. Settle the soil with water. Add soil as required to meet finish grade. Leave air voids. When 75% of the liquid has been placed, apply fertilizer as recommended by the required soil test and the specified rates.
- 3.10.28 Where planting is indicated adjacent to existing trees, use special care to avoid disturbance of the root system or natural grades of such trees.
- 3.10.29 Where trees are in lawn areas, provide a clear cut mulched 900mm (30") diameter circle centered on the tree.
- 3.10.30 Staking of Trees:
- 3.10.31 Use two 2"x12"x45' stakes, unless superseded by municipal requirements. Set stakes minimum 2 ft. in soil. Do not drive stake through rootball.
- 3.10.32 Leave the tree carefully vertical.
- 3.10.33 The tree with pre-approved commercial, flat screen polypropylene fabric bell, minimum width 10mm (3/8"). Approved product: Arbo-Tec - available from Douglas.
- 3.10.34 Confine trees over 6 ft. height. Guy with three 2-strand wires (1/4" gage). Drive three stakes equidistant around the tree completely below grade.
- 3.10.35 Trees 6 ft. or less and 2-strand wires. Guy on above using three standard 1/4" 2"x4"x4' barked to the maximum possible depth instead of stakes.
- 3.10.36 Mark all guy wires with visible flagging material.
- 3.10.37 Pruning:
- 3.10.38 Limit pruning to the minimum necessary to remove dead or injured branches. Preserve the natural character of the plants, do not cut the leader. Use only clean, sharp tools. Make all cuts clean and cut to the branch collar leaving no stubs. Shape affected areas so as not to retain water. Remove damaged material.
- 3.10.39 Mulching:
- 3.10.40 Mulch all planting areas with an even layer of mulch to 2-1/2" - 3" (65 - 75mm) depth. Confirm placement of mulch in areas labeled "mulch-over Area" on drawings. Mulch a 3 ft. (900mm) diameter circle around trees in lawn areas, leave a clear edge.
- 3.10.41 Acceptance:
- 3.10.42 The establishment of all plant material is the responsibility of the Landscape Contractor.
- 3.10.43 Plant Material Maintenance:
- 3.10.44 Maintain all plant material for 60 days after the landscape work has received a Certificate of Completion.
- 3.10.45 Watering: Conforms to B.C. Landscape Standard, Section 10.12 - Watering and generally as follows:
- 3.10.46 Water to keep soil moist, but not saturated. The soil moisture content shall be 50% to 100% of field capacity. Water to the full depth of the root zone each time. The Owner is responsible to supply water at no extra cost to the Contractor. Confirm source of water prior to beginning work.
- 3.10.47 Use appropriate measures to control weeds or diseases damaging plant material. Comply with all local governing statutes and guidelines for chemical control.
- 3.10.48 Plant material which fails to survive shall be replaced in the next appropriate season as determined by the Landscape Architect.
- 3.10.49 Repair trees, stakes, wires, and guy wires, when necessary.
- 3.10.50 Maintain areas relatively weed free. Appearance level 2, B.C. Landscape Standard, Chapter 10.
- 3.10.51 Maintain plants to specified depths.
- 3.10.52 Plant Warranty:
- 3.10.53 Replace all unsatisfactory plant material except those designated "Specimen" for a period of one (1) year after the Certificate of Completion. Replace all unsatisfactory plant material designated "Specimen" for a period of two (2) years after the Certificate of Completion. Replace all unsatisfactory trees and shrubs and continue to replace until the specified material is complete and satisfactory to the Landscape Architect. Such replacement shall be subject to the notification, inspection and approval as specified for the original planting, and shall not constitute an extra to the Contract.
- 3.10.54 These Plants, identified as Hardy within one zone of the Canada Department of Agriculture hardiness zone data, specified by the Landscape Architect and installed by the Landscape Contractor which are killed through below normal temperatures below the average of the extreme minimum temperatures of officially recorded in the area concerned, in the last 10 years, will not be replaced without cost of replacement borne by the Owner.
- 3.10.55 A review may be requested during the latter part of the warranty growing season. All plant material showing well developed foliage, healthy growth and bud forming, will then be taken over.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.10.56 For all plant material, the Landscape Architect reserves the right to extend the Contractor's responsibility for and growth is not sufficient to ensure future satisfactory growth.
- 3.10.57 Where the Owner is responsible for plant maintenance and has not provided adequate maintenance, the plant or the Landscape Architect shall determine whether maintenance has been satisfactory using the B.C. Landscape Standard maintenance standard is a minimum of Level Three - Medium. Refer to Section 10.12, Establishment Maintenance.
- 3.10.58 The Landscape Contractor is responsible to replace any plant material or repair any construction included in the Certificate of Completion.
- 3.10.59 Deviation from the specifications may require extension of the Warranty Period as determined by the Landscaping.
- 3.10.60 INSTALLING LANDSCAPE ON STRUCTURES:
- 3.10.61 Verify that drainage and protection material is completely installed and acceptable before beginning work. Contact:
- 3.10.62 Coordinate work with construction of gutters and planter drainage.
- 3.10.63 Verify that planter drains are in place and positive drainage to roof drains is present prior to placing any drain the drainage.
- 3.10.64 Provide clean mulch at all through-slab drain locations. Use 200mm (8") dia. PVC Pipe filled with drain rock unless s.
- 3.10.65 Install drain rock evenly in a minimum depth of 4" (100mm) alternate sheet drain specified. Install sheet drain the 50mm (2") diameter drain rock shaped to provide smooth surface transition at edges. Buff each piece lightly if required.
- 3.10.66 Place an event layer of 25 - 50mm clean washed pump sand over filter fabric.
- 3.10.67 Place growing medium to depths specified in Section 3.5 above for various surface treatments. Refer to Drawing the 50mm (2") diameter drain rock shaped to provide smooth surface transition at edges. Buff each piece lightly if required.

3.11 ESTABLISHMENT MAINTENANCE (Provide a separate price for this section)

- 3.11.1 Intent: The intent of "establishment" maintenance is to provide sufficient care to newly installed plant material if the long term success of the planting. The objective is the adaptation of plants to a new site or where in relation to the failure and unnecessary work associated with improper establishment. Establishment of maintenance provides an early turfgrass and new trees and shrubs.
- 3.11.2 Maintenance Period: Provide maintenance of installed landscaping for 12 months following substantial completion.
- 3.11.3 Related Standards and Legislation: B.C. Landscape Standard, latest edition, Fertilizer Code, B.C. Pesticide Control.
- 3.11.4 Site Review: In addition to the inspections of substantial completion, at first progress draw completion, and at 12 months during the 12 months attended by the Contractor and a designated representative of the Owner. Maintain a designated representative.
- 3.11.5 Scheduling: Prepare a schedule of anticipated visits and submit to designated representative at start-up. Make the growing season between March 1st and November 30th, however visits at other times of the year may be required.
- 3.11.6 Maintenance Level: Comply with B.C. Landscape Standard, Section 10, Table 10.2, Maintenance Level 2 "Common".
- 3.11.7 Materials: Comply with Part Two of this specification.