



Development Permit Panel Electronic Meeting

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, October 29, 2025
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on October 16, 2025.



- GENERAL COMPLIANCE - REQUEST BY KADIUM NO. 4 DEVELOPMENT LTD. FOR A GENERAL COMPLIANCE RULING AT 10380 NO. 4 ROAD**
(File Ref. No.: DP 21-936427) (REDMS No. 7778537)

APPLICANT: Kadium No. 4 Development Ltd.

PROPERTY LOCATION: 10380 No. 4 Road

Director's Recommendation

That the attached plans involving changes to the proposed Landscape Plan, Tree Management Plan and Landscape Detail Plan, be considered to be in General Compliance with the approved Development Permit (DP 21-936427).



- DEVELOPMENT PERMIT 22-022003**
(REDMS No. 8173750)

APPLICANT: Hardev S. Chane

PROPERTY LOCATION: 14511 Westminster Highway

Development Permit Panel – Wednesday, October 29, 2025

ITEM

Director's Recommendations

That a Development Permit be issued to permit the construction of a single detached house on a site zoned "Agriculture (AG1)" and designated as an Environmentally Sensitive Area (ESA).



3. New Business

4. Date of Next Meeting: November 13, 2025

ADJOURNMENT



**Development Permit Panel
Thursday, October 16, 2025**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Wayne Craig, General Manager, Planning and Development, Chair
Roeland Zwaag, General Manager, Engineering and Public Works
Milton Chan, Director, Engineering

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on September 10, 2025:

(1) *be amended to read as follows in the second bullet under Item No. 1:*

“in 2024, a Development Permit (DP 24-012258) application proposing changes to the previously approved DP (DP 18-821292) was considered and endorsed by the Development Permit Panel which includes, among others, changing the use and form of Building L from office to hotel use;” and

(2) *be adopted, as amended.*

CARRIED

1. DEVELOPMENT PERMIT 25-007857
(REDMS No. 8142278)

APPLICANT: Pacific West Architecture Inc.

PROPERTY LOCATION: 8251 Alexandra Road

INTENT OF PERMIT:

To permit exterior renovations to the existing building at 8251 Alexandra Road on a site zoned “Auto-Oriented Commercial (CA)”.

Development Permit Panel

Thursday, October 16, 2025

Applicant's Comments

Patrick Yang, of Pacific West Architecture Inc., introduced the project and, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), highlighted the following:

- the proposed exterior renovations of the existing restaurant building and related site improvements are consistent with the City's applicable standards and guidelines;
- the existing driveway entry and overall service parking will remain unchanged, and a new medium sized loading space, proposed waste and recycling area and Class 1 bicycle parking, will be provided at the rear of the building;
- frontage improvements include construction of a new pedestrian sidewalk along Alexandra Road, together with reconstruction of the existing driveway access;
- two accessible vehicle parking spaces located closest to the main entrance of the building have been provided and, to accommodate improvements including the loading space and garbage enclosure, five existing parking spaces will be removed;
- for the architecture form and character, the existing canopy and skylight above the main entry is proposed to be removed and will be replaced by a new metal canopy, and the existing sunscreen into the southern most portion of the building is to be removed and replaced with a new metal canopy, to provide weather protection for the pedestrian walkway along the east side of the building and the main entrance.
- yellow gold composite panels are being proposed at the south side of the building, a charcoal composite panel has been proposed for the backside of the building, the existing white concrete block wall facing west will be repainted to a charcoal colour, and the metal canopy will also be charcoal colour, all keeping with the overall proposed design approach to modernize the building's appearance;
- the building's height, massing and setbacks remain unchanged;
- all exterior lighting will be high performance LED lighting to reduce energy consumption; and
- in conclusion, the design will transform the building into a contemporary, sustainable and functional asset.

Eason Li, of Homing Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the landscape aspect of the project, noting that (i) design focus includes landscape improvements at the building entrance to Alexandra Road, with the overall landscape design at the building entrance to match the architectural form of the building's entrance, (ii) retain most of the overall landscaping including existing planting bed and trees along the east property line to the north and large shrubs along the west property line, creating a green landscape buffer to the neighbouring properties, (iii) proposing two street trees in the City's boulevard, providing a further green buffer on Alexander Road and the property, (iv) will relocate two of the existing trees to the back beside the proposed waste and recycling areas, providing healthy conditions for the trees

Development Permit Panel

Thursday, October 16, 2025

in the long term, (v) the landscape planting plan is a balance between ornamental plants and native plants, with more than half of the shrubs and ground cover to be used on the project to be native species, drought tolerant, providing an ecological benefit to the project and the City, (vi) the overall landscape lighting is designed to comply with the dark sky lighting principles and minimum light pollution, proposing bollard lighting near/on the building and softer lights to ensure the area is safe for pedestrians and vehicle traffic at night, and (vii) high privacy screens along the recycling areas are proposed to ensure there is no visual impact to the neighbours.

Staff Comments

Mr. Reis noted that (i) a servicing agreement is required prior to issuance of the Building Permit for the project, (ii) Servicing Agreement works include a new sidewalk, boulevard with planting and curb and reconstruction of the existing driveway, (iii) there is the relocation of two existing trees to elsewhere on the subject property, (iv) all new landscape areas are proposed to be irrigated using an automatic irrigation system, and (v) the yellow metal composite panels on the building south frontage are proposed to be lit by low voltage LED lighting, and as part of the consideration of this application, the Applicant will be required to register a legal agreement to ensure this feature is installed with a dimmer.

Panel Discussion

In reply to queries from the Panel, the applicant noted (i) they are still working to find the final product for the composite panels and will make sure the panels meet the requirements and standard of longevity, and (ii) with respect to signage, it depends on the design of the sign in the future, the existing signage used a concrete base, however the intent is to create a low planter along the base of the existing sign or the future sign so there will be some ornamental plants inside all the planters.

In reply to queries from the Panel, staff clarified that while the applicant's plans show two trees to be planted within the City's Alexandra Road boulevard, the number and location of trees will be confirmed through the review and coordination of the Servicing Agreement which is required prior to building permit issuance.

The applicant was requested to speak to rooftop mechanical equipment, including where on the building it would be located, and if the intent was specifically to locate on the northern portion within the recessed portion of the roof.

Correspondence

None.

Gallery Comments

None.

Development Permit Panel

Thursday, October 16, 2025

Panel Discussion

Discussion ensued with regard to the rooftop mechanical system and as a result, direction was provided for staff to work with the applicant on any potential screening of the rooftop mechanical system prior to advancing the application for Council consideration.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would permit exterior renovations to the existing building at 8251 Alexandra Road on a site zoned "Auto-Oriented Commercial (CA)".

CARRIED

2. New Business

None.

3. Date of Next Meeting: October 29, 2025

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (3:53 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Thursday, October 16, 2025.

Wayne Craig
Chair

Lorraine Anderson
Legislative Services Associate

DEVELOPMENT PERMIT PANEL

DP 25-007857

October 16, 2025

Schedule 1 to the Minutes of the
Development Permit Panel
meeting held on Thursday,
October 16, 2025



PROPOSED SITE AND BUILDING RENOVATION

CIVIC ADDRESS: 8251 ALEXANDRA RD, RICHMOND BC



1 LOCATION PLAN
Scale: N.T.S.

**SUBJECT PROPERTY:
8251 ALEXANDRA RD.,
RICHMOND, BC**



2 VIEW 1



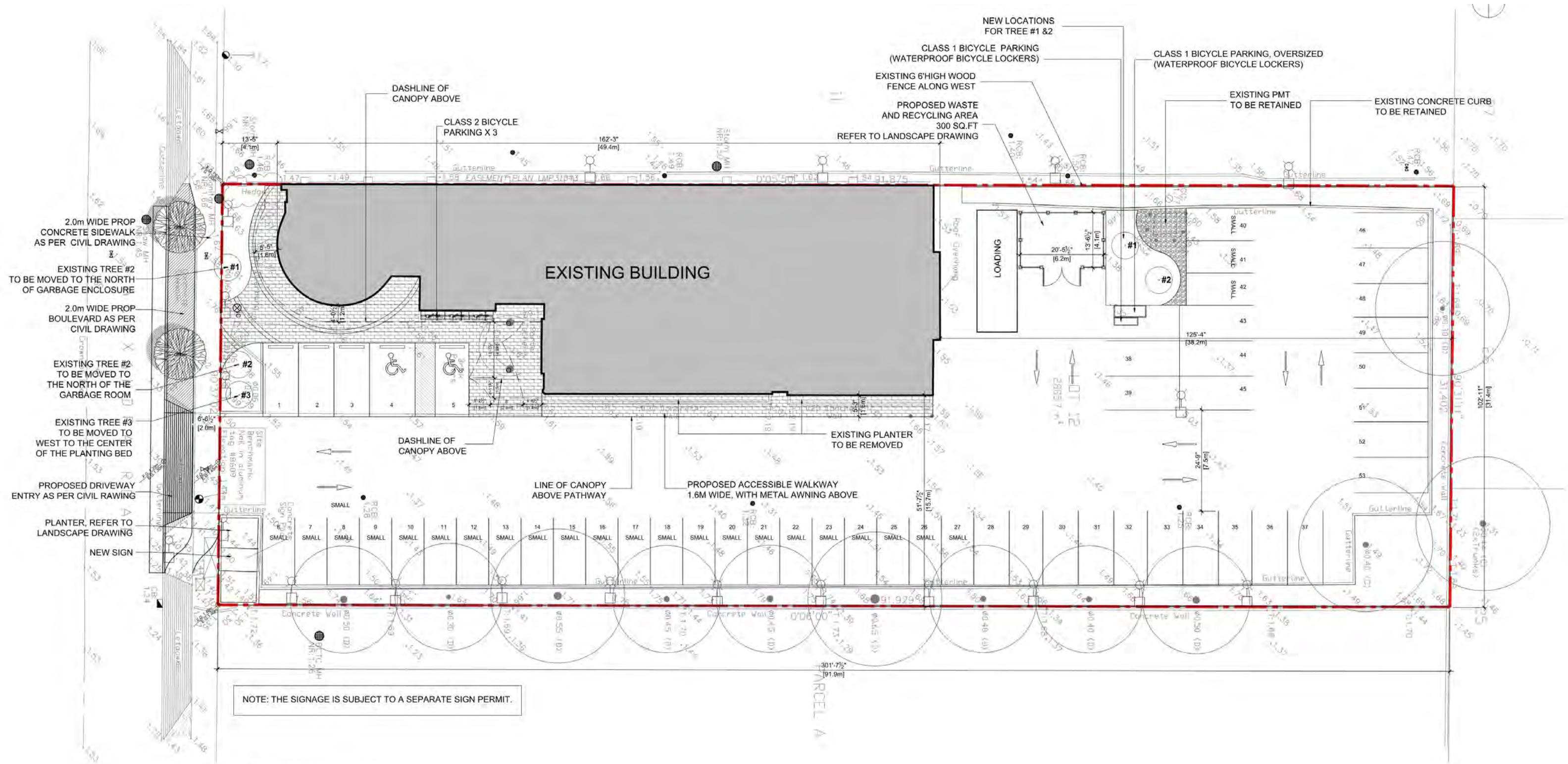
3 VIEW 2



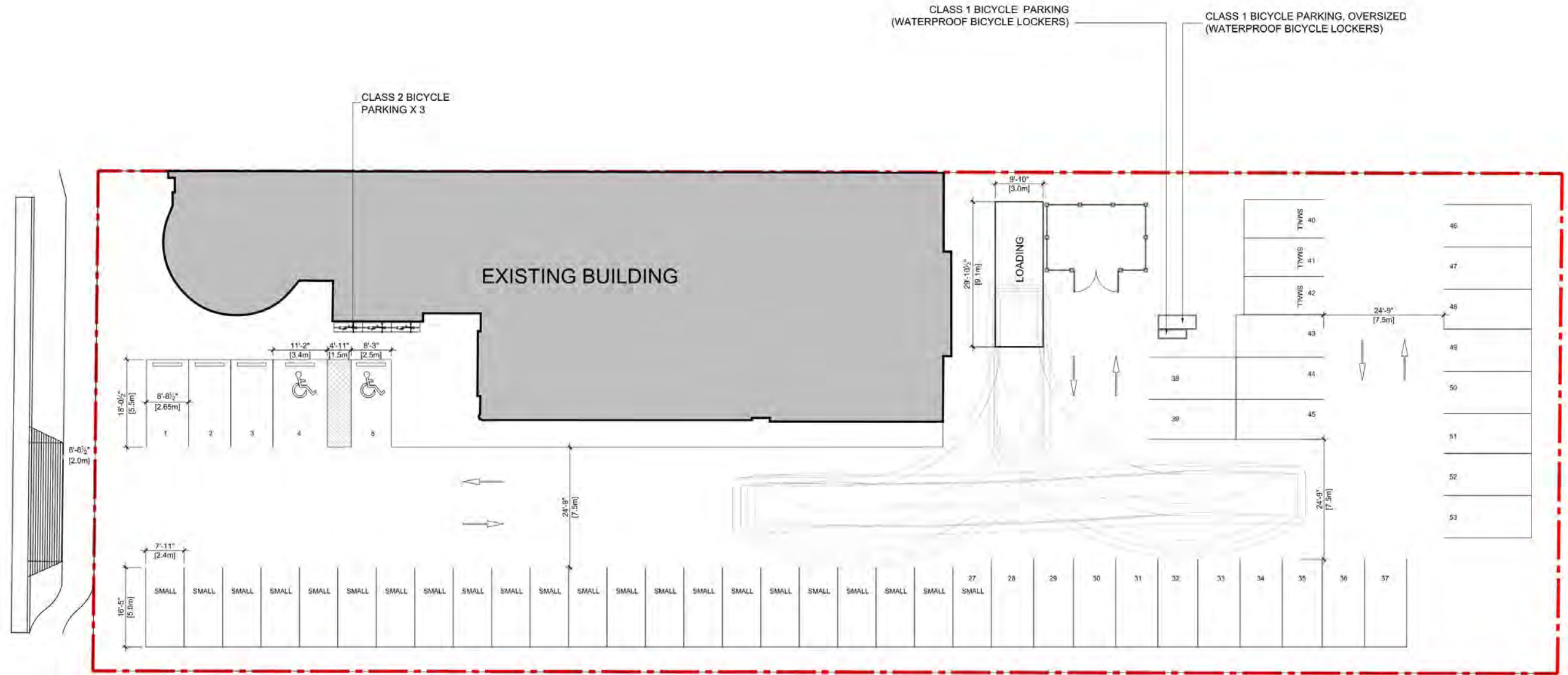
4 VIEW 3



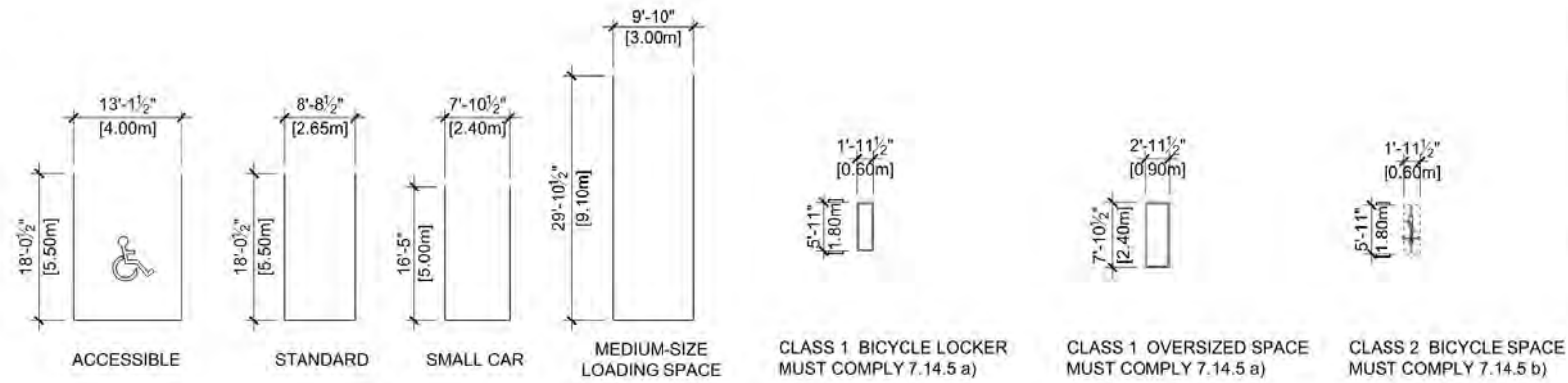
5 VIEW 4



1 PROPOSED SITE PLAN
Scale: 3/32"=1'-0"



1 PARKING PLAN
Scale: 3/32"=1'-0"

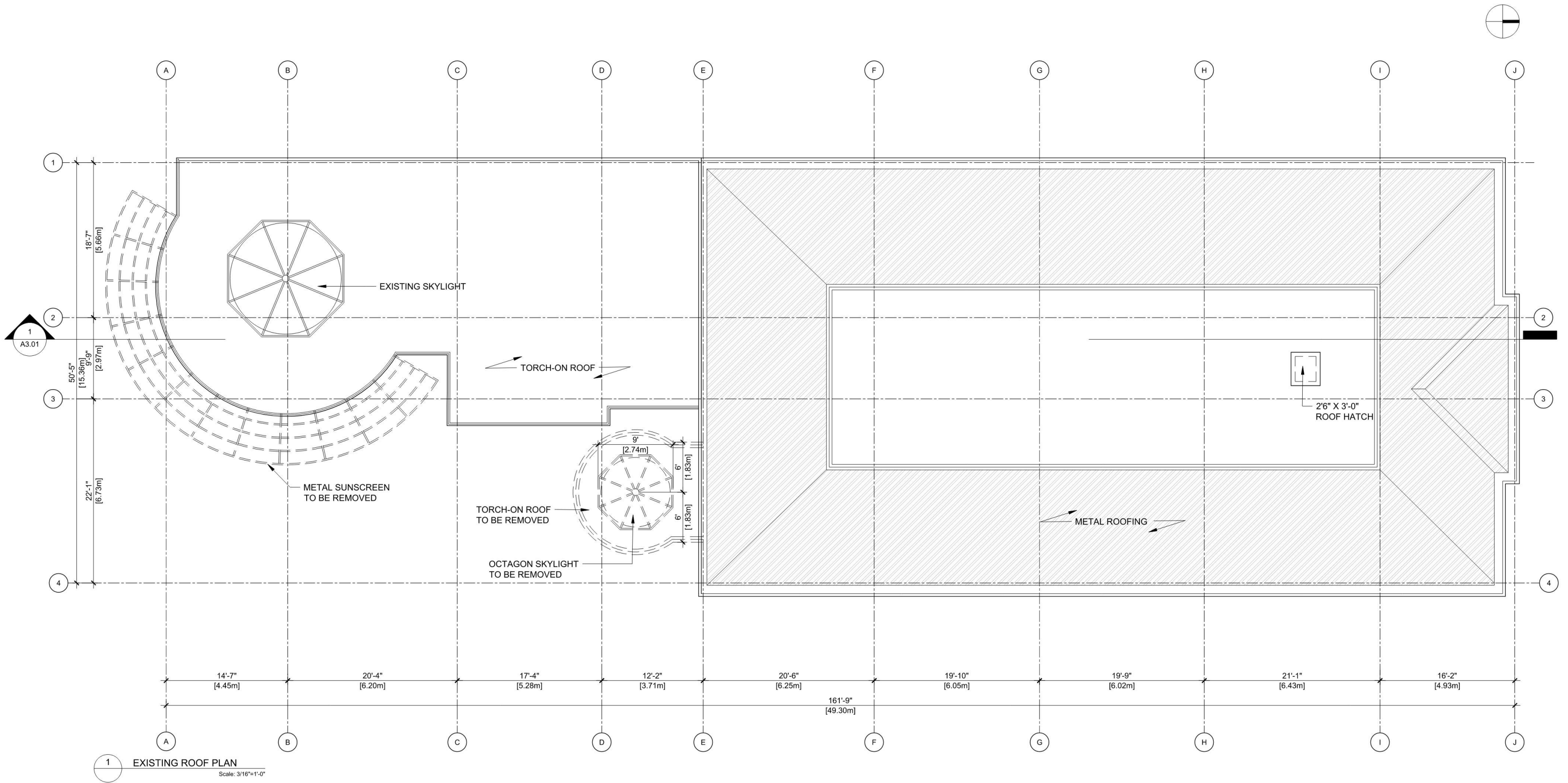


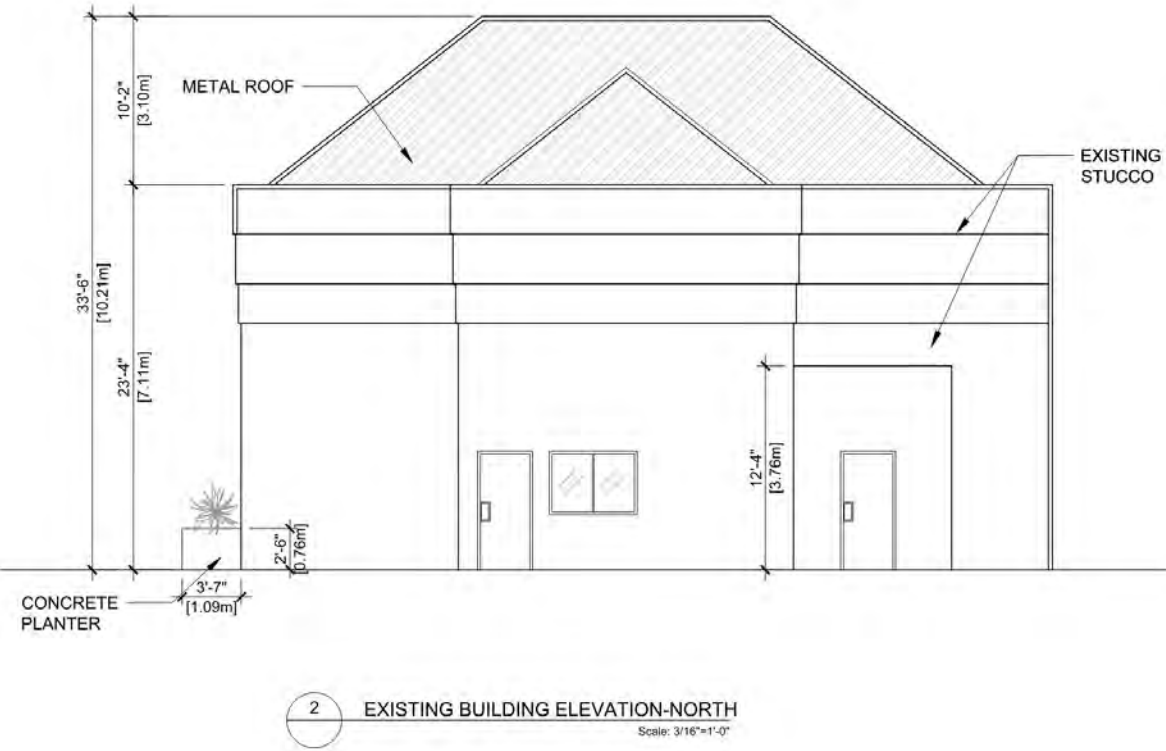
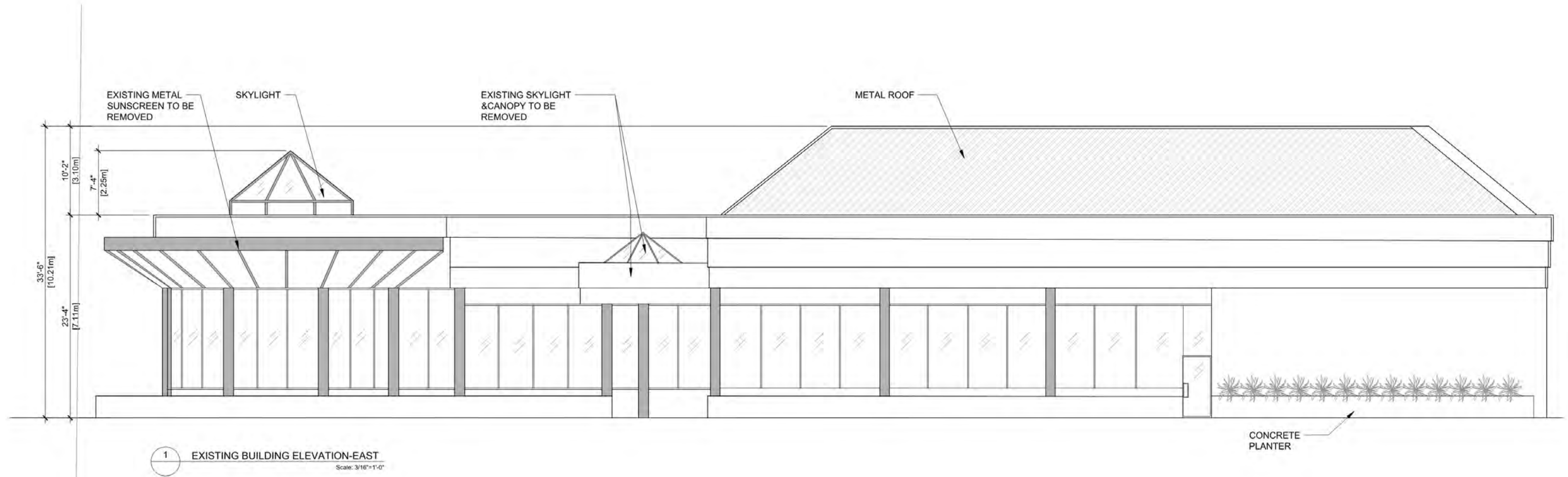
	Off-Street Parking, Bicycle Parking, and Loading Requirements		Provided	VARIANCE
Minimum Parking Requirements (Zone 1, City Centre)	3.75 spaces per 100.0 m2 of gross leasable floor area 3.75 x 569.5m2/100=21.3	Total Required: 22	Regular size: 26 Small car: 25 Accessible: 2 Total: 53	None
Accessible Parking	min. 2% when 11 or more 2% x 55=1.1	2	2	None
Parking Stall Dimension	Standard: 2.65m W x 5.5 m L Small: 2.4m W x 5m L Accessible: 2.5m W x 5.5m L + Shared Aisle: 1.5m	Small : max 50% when 31 or more	Small Car: 25 (49%)	None
Drive Aisle Width	7.5m		7.5m	None
Loading requirement	1 Medium size on-site designated		1 Medium size on-site designated	None
Loading space size	Medium: 9.1m L x 3m W x 3.8m H Large: 18.4m L x 3.5m W x 4.3m H		Medium: 9.1m L x 3m W x 3.8m H	None
Bicycle Parking	Class 1: 0.27 / 100.0 m2 gross leasable area greater than 100 m2 0.27 x 569.5/100=1.5	2	2 (including 1 oversized)	None
	Class 1 bicycle spaces shall include 5% as oversized spaces 5% x 2=0.1	1	1	None
	Class 2: 0.4 / 100.0 m2 gross leasable area greater than 100 m2 0.4 x 569.5/100=2.3	3	3	None
Bicycle Dimension	1.8m (horizontal)/1.0m (vertical) L x 0.6m W x 1.9m H		1.8m (horizontal) L x 0.6m W x 1.9m H.	None

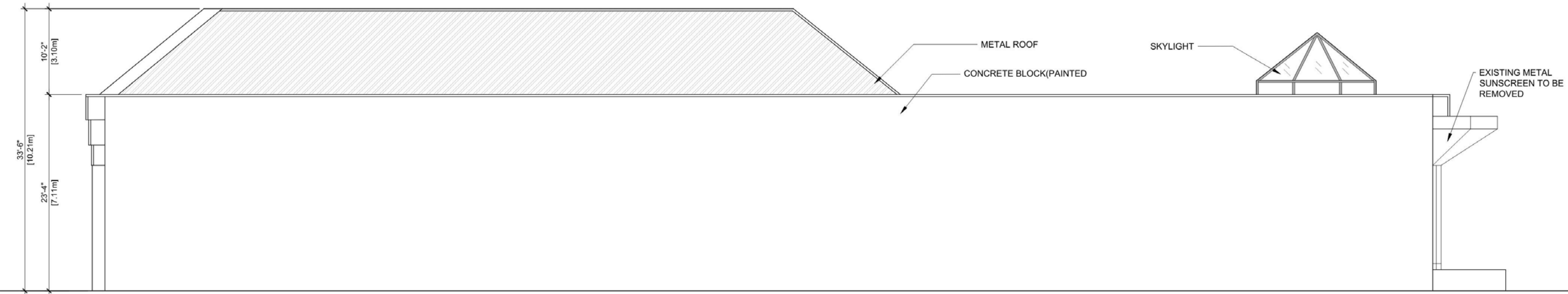


1 EXISTING FLOOR PLAN
Scale: 3/16"=1'-0"

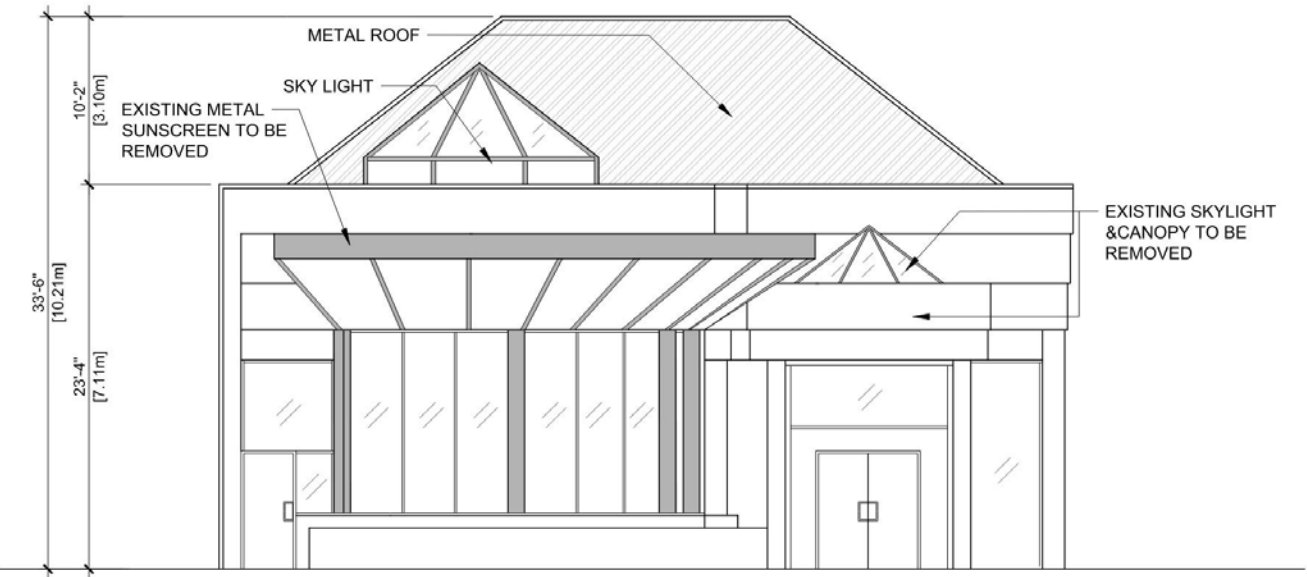
LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING GLAZING PARTITION
	AREA NOT IN SCOPE



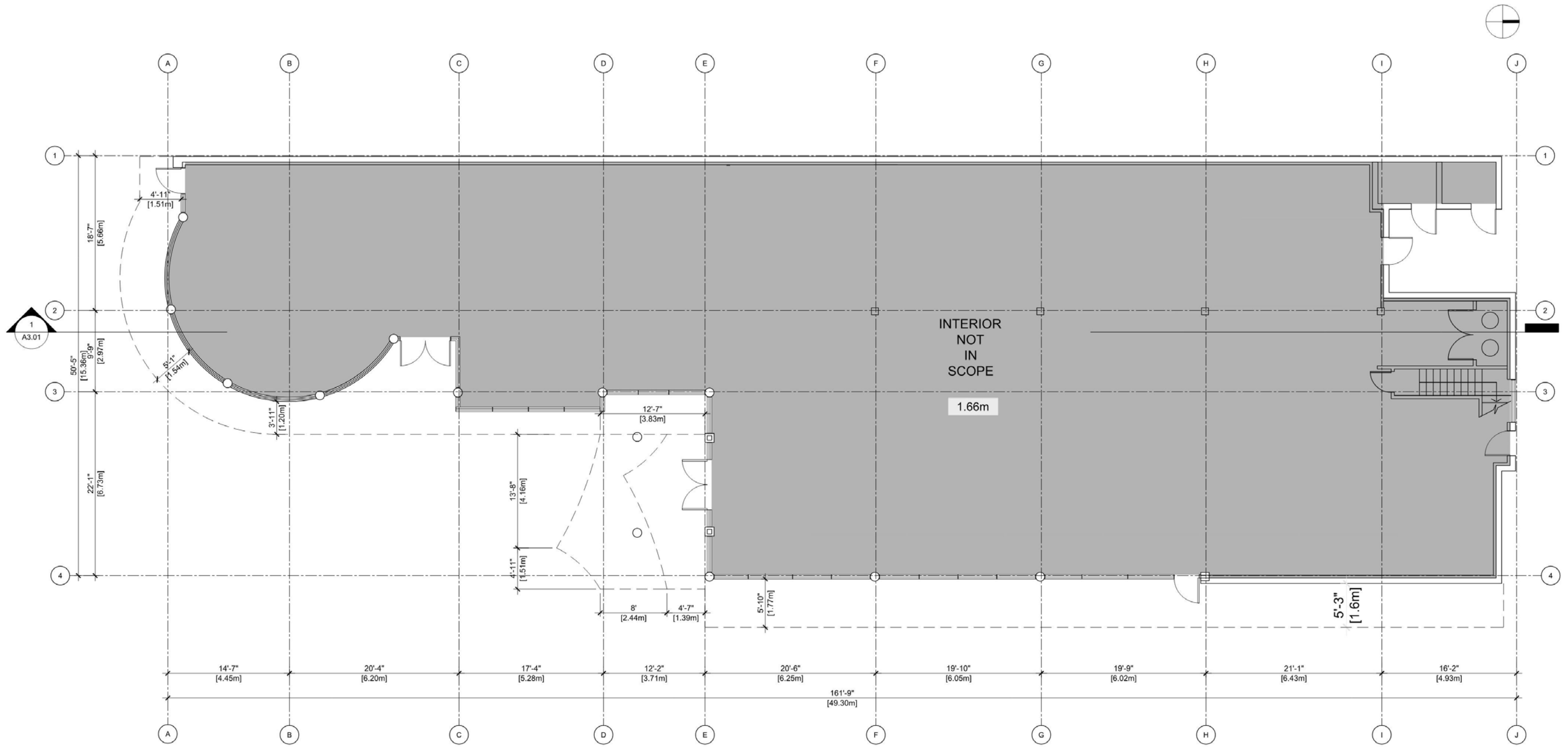




1 EXISTING BUILDING ELEVATION-WEST
Scale: 3/16"=1'-0"

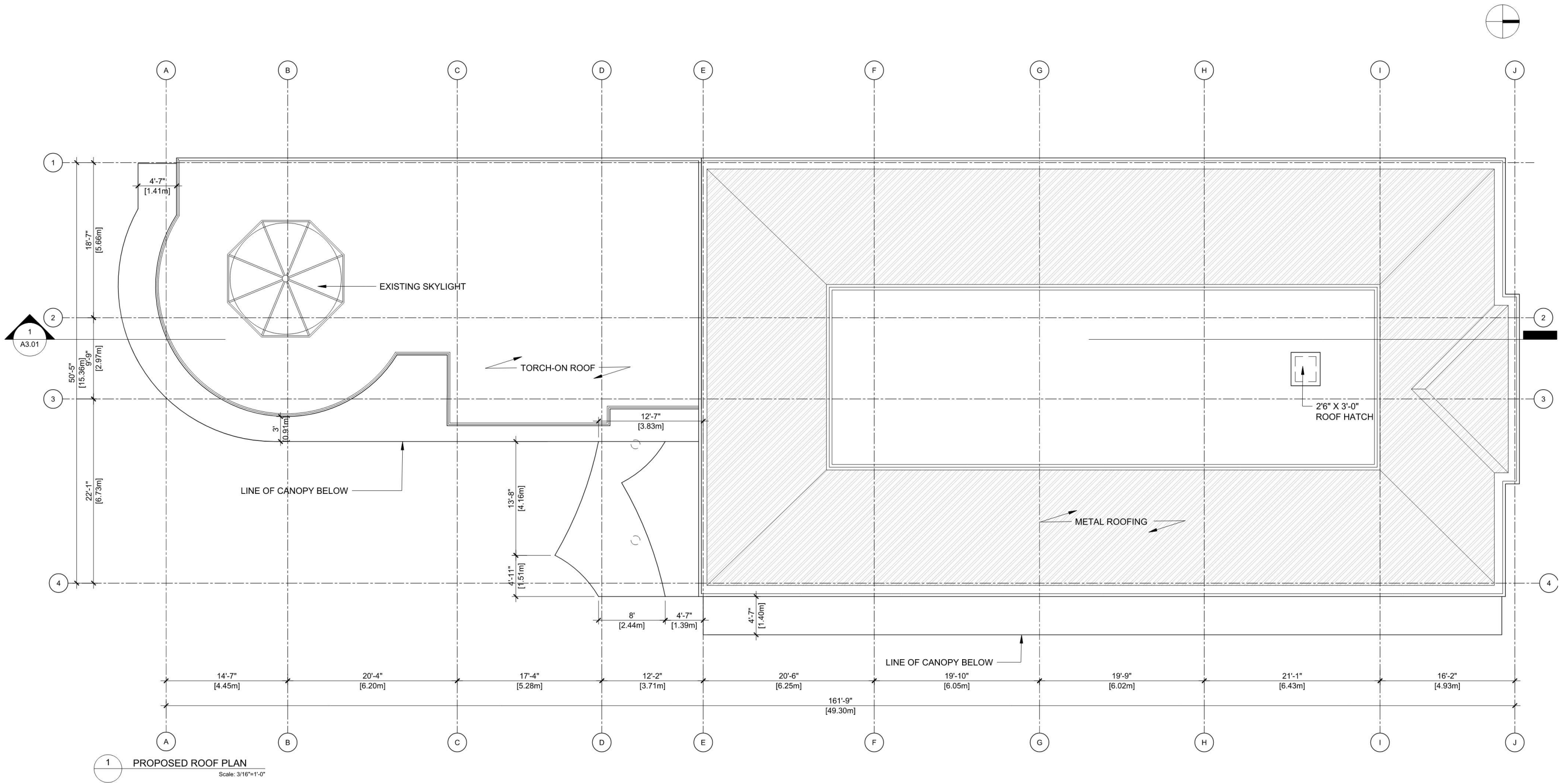


2 EXISTING BUILDING ELEVATION-SOUTH
Scale: 3/16"=1'-0"



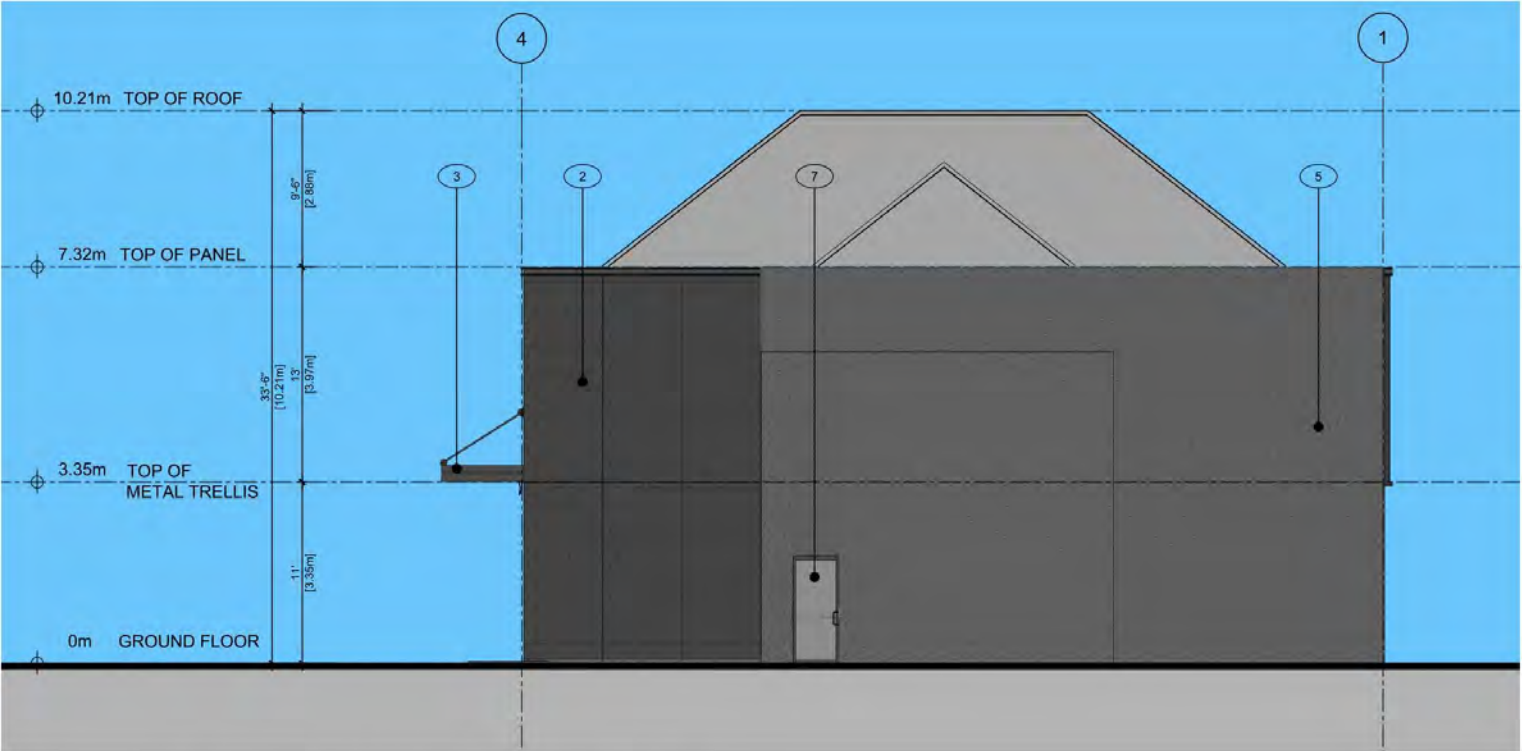
1 PROPOSED FLOOR PLAN
Scale: 3/16"=1'-0"

LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING GLAZING PARTITION
	AREA NOT IN SCOPE



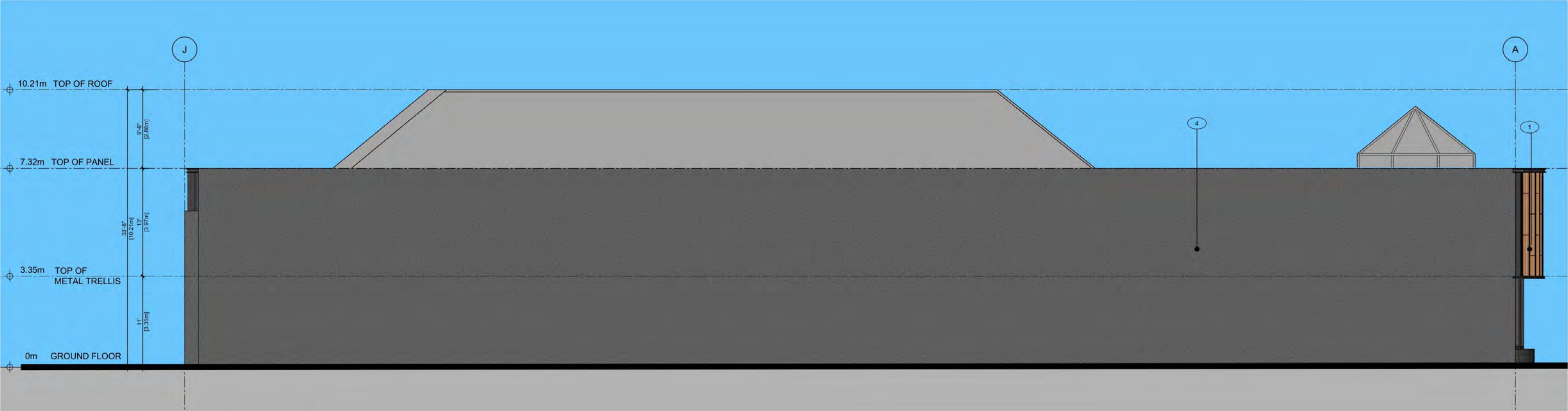


1 PROPOSED BUILDING ELEVATION-EAST
Scale: 3/16"=1'-0"

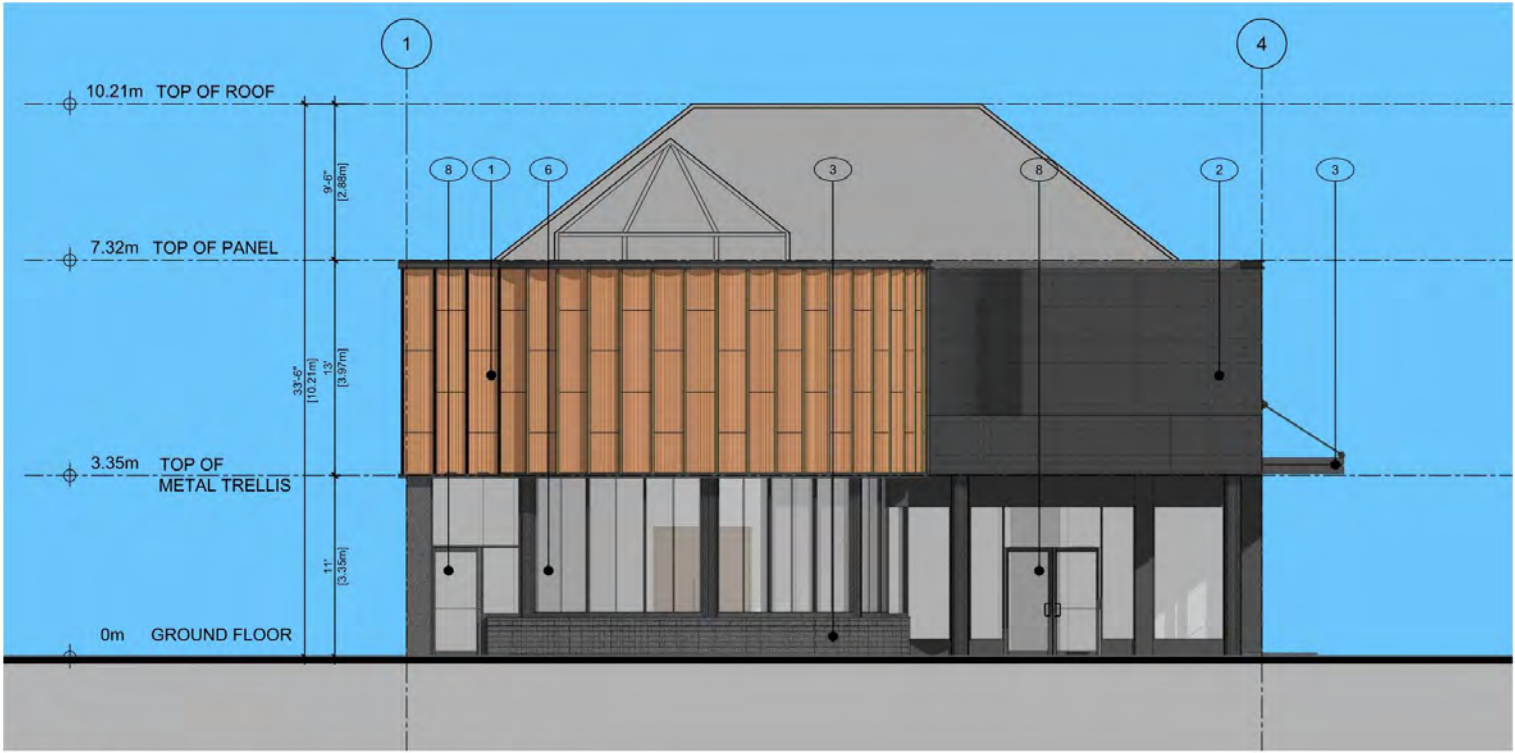


2 PROPOSED BUILDING ELEVATION-NORTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



1 PROPOSED BUILDING ELEVATION-WEST
Scale: 3/16"=1'-0"



2 PROPOSED BUILDING ELEVATION-SOUTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



1 3D PERSPECTIVE
NTS





EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



LED STRIP LIGHT

1 MATERIAL BOARD
NTS



METAL COMPOSITE PANEL -
COLOR:CHARCOAL



STUCCO
COLOR:DARK GREY



METAL PANEL
COLOR:YELLOW

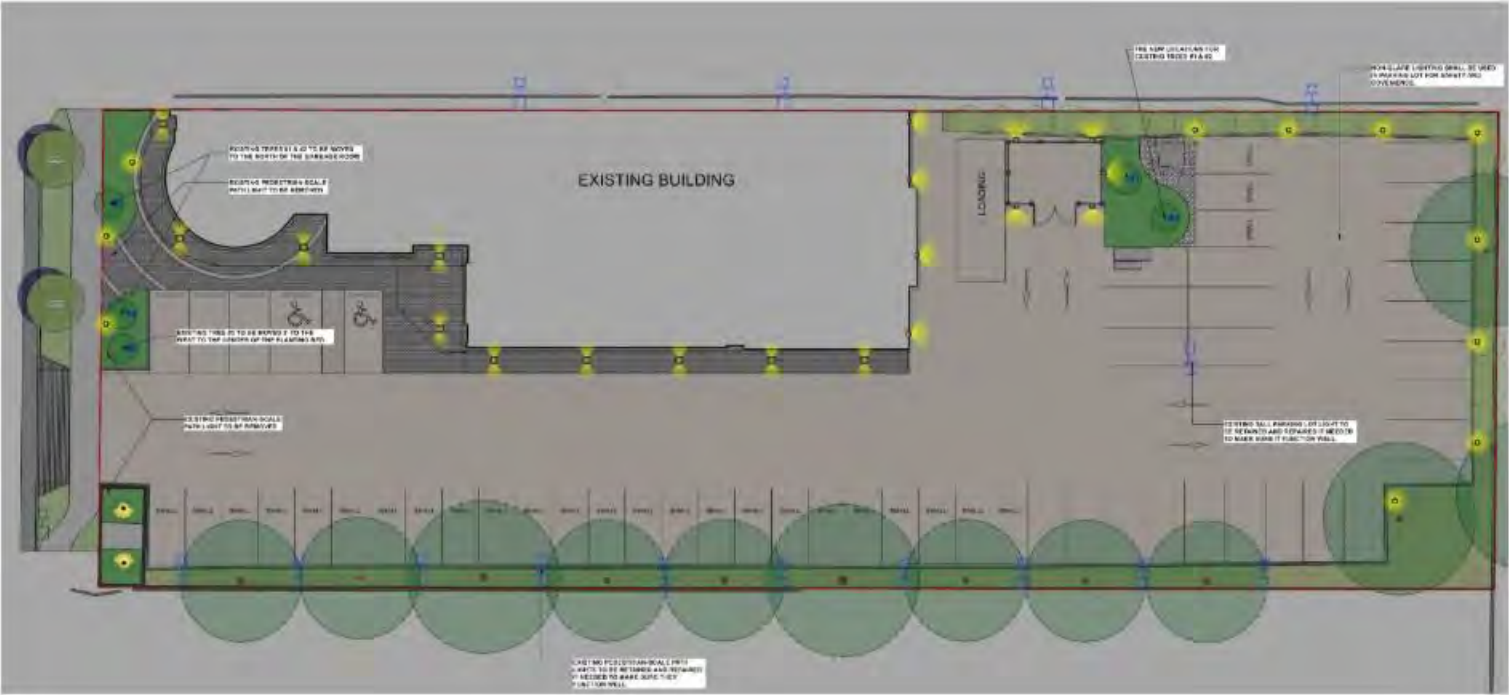


METAL CANOPY
COLOR:CHARCOAL

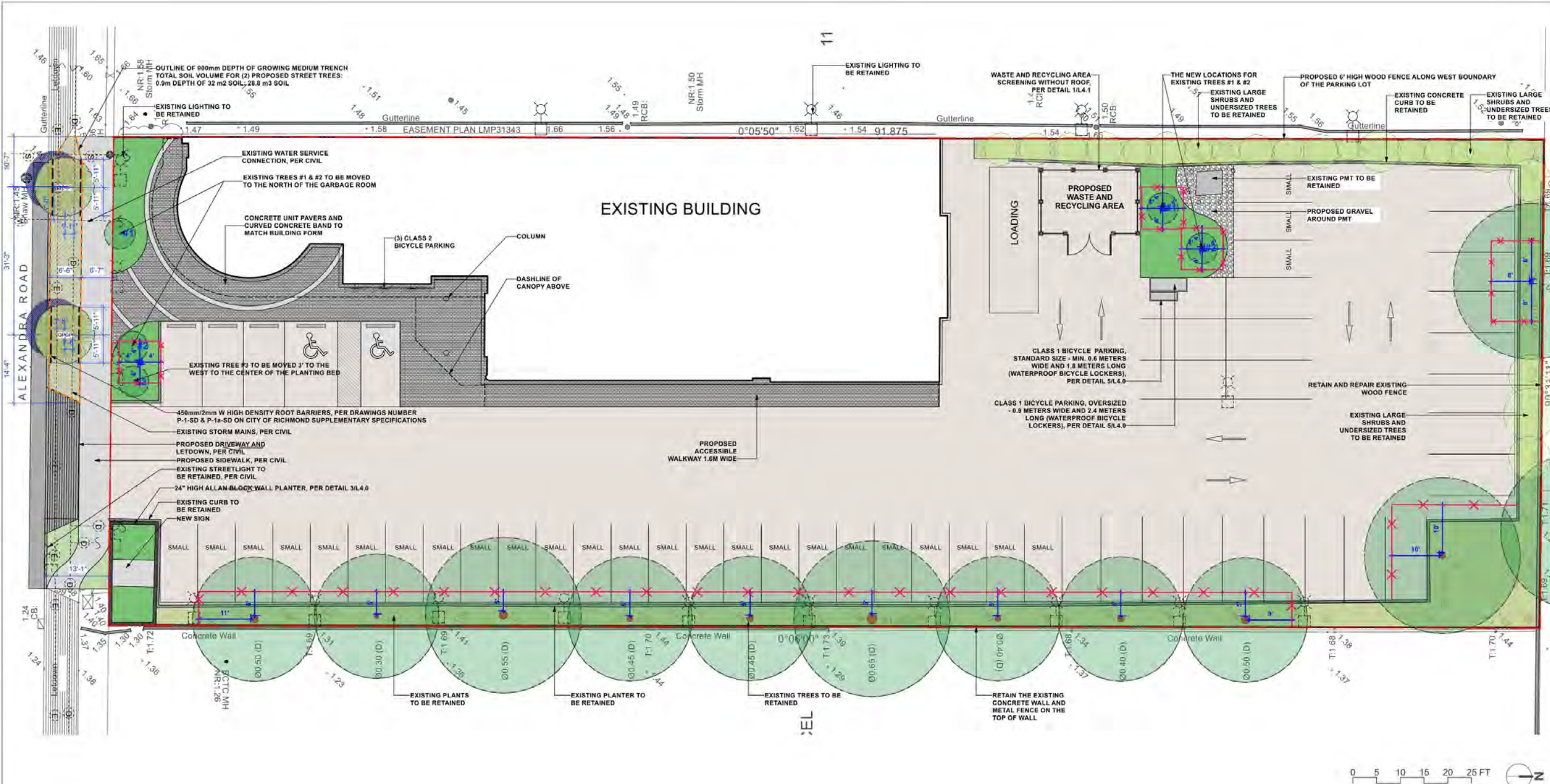
Sustainability

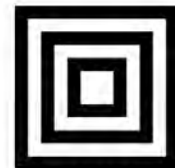
The sustainability measures proposed for this project include:

- Use high quality and durable building materials, this will keep the look of the building in the long term with minimum future maintenance costs.
- The project will use high-performance LED lighting at exterior locations to reduce energy consumption.
- landscaped area near parking lot. Trees and shrubs will be helpful in mitigating noise and CO2 from car exhaust, and improving air quality. The automatic irrigation system will also be provided.



SYMBOL MATERIALS		LIGHTING NOTES	
		1. LIGHTING PLAN PROVIDED FOR INFORMATION ONLY. ALL EXISTING LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.	2. CONTRACTOR TO COORDINATE, REQUIRED FORMING, ELECTRICAL, CONCRETE, AND LOCATION LOCUSTS WITH OTHER TRADES AS REQUIRED. 3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION. 4. ALL EXISTING LIGHT FIXTURES LOCATIONS TO BE APPROVED BY CONTRACTOR AND APPROVED BY THE CLIENTS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. 5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MEET OR EXCEED THE LOCAL ELECTRICAL, REGULATIONS AND SAFETY REQUIREMENTS.
		EXISTING LIGHT TO BE RETAINED	
		EXISTING LIGHT TO BE REMOVED	
		EXISTING LIGHT TO BE REMOVED	





HOMING

LANDSCAPE

ARCHITECTURE

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
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EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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Revisions		
NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

8251 ALEXANDRA ROAD

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

Landscape Site Plan

PLAN # 3.a
L1.0

LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS
	PEDESTRIAN CONCRETE UNIT PAVERS	1/L4.0		PROPOSED TREES	1&5 /L4.2		EXTENT OF CONTINUOUS 900MM GROWING MEDIUM TRENCH	
	CIP CONCRETE PAVING	2/L4.0		EXISTING TREES TO BE RETAINED	N/A		ROOT BARRIER	
	ASPHALT PAVING	PER CIVIL		PROPOSED BIKE RACKS	4/L4.0		EXISTING LARGE SHRUBS AND UNDERSIZED TREES TO BE RETAINED	
	PROPOSED LAWN	4/L4.2		TREE PROTECTION FENCING TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF RICHMOND STANDARDS AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST				
	PROPOSED PLANTING BED	3/L4.2						
	EXISTING PLANS IN THE PLANTING AREA TO BE RETAINED	N/A						
	PROPOSED ALLAN BLOCK WALL PLANTER	3/L4.0						

LANDSCAPE NOTES

- DO NOT SCALE DRAWINGS.
- LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
- ALL EXISTING INFORMATION APPROXIMATE ONLY, VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.



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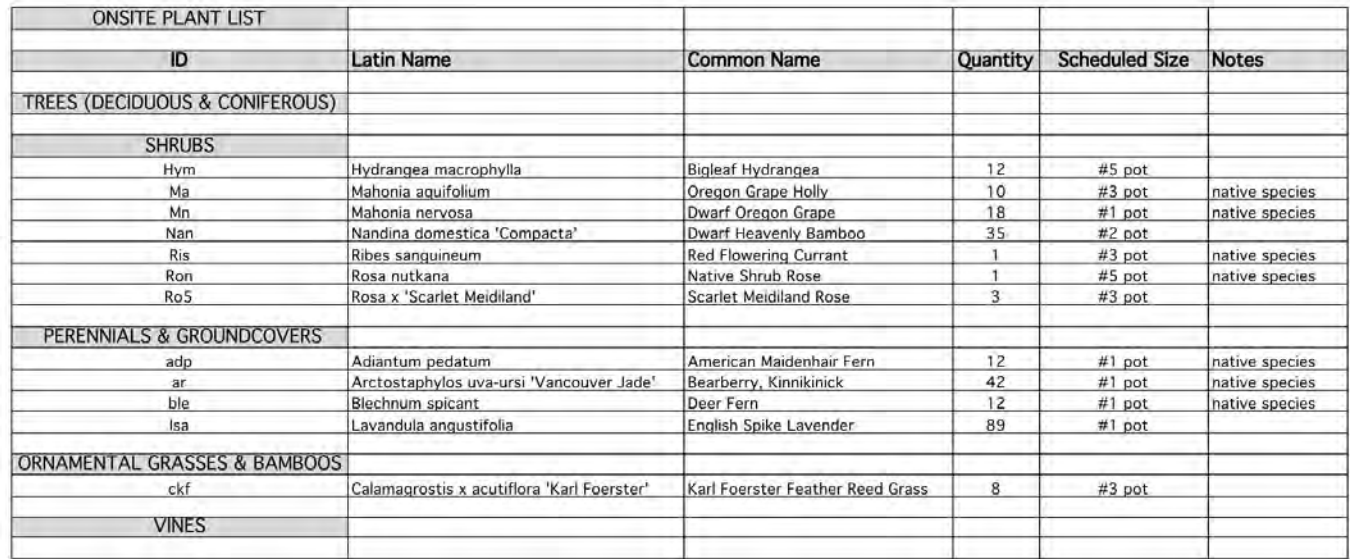
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BC, CANADA

REVIEWED BY: EL

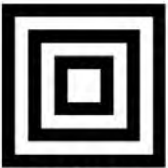
Landscape Planting Plan

PLAN # 3.b
L2.0



		OFFSITE PLANT LIST			
Latin Name	Common Name	ID	Quantity	Scheduled Size	Notes
		TREES (DECIDUOUS & CONIFEROUS)			
Quercus palustris 'Green Pillar'	Green Pillar Oak	QPGP	2	6cm cal.	Street trees to be confirmed by the City

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with CSLA Canadian Landscape Standard, latest edition.
- 3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- 4) All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora Ramorum Certification Program.



**HOMING
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PROCEEDING WITH WORKS.

Revisions

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**8251 ALEXANDRA
ROAD**

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PROJECT NUMBER: 25-23

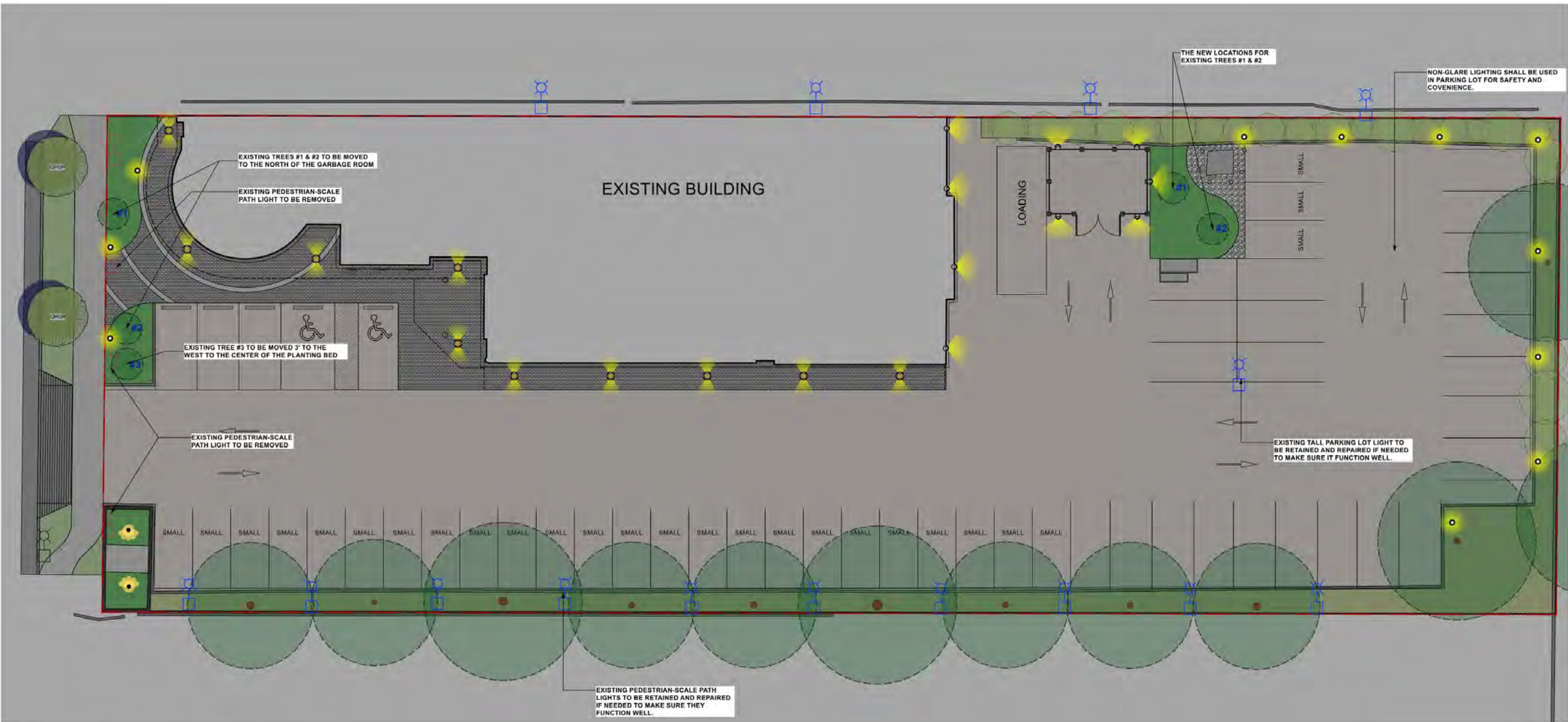
SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Conceptual
Landscape
Lighting Plan**

PLAN # 3.c
L3.0



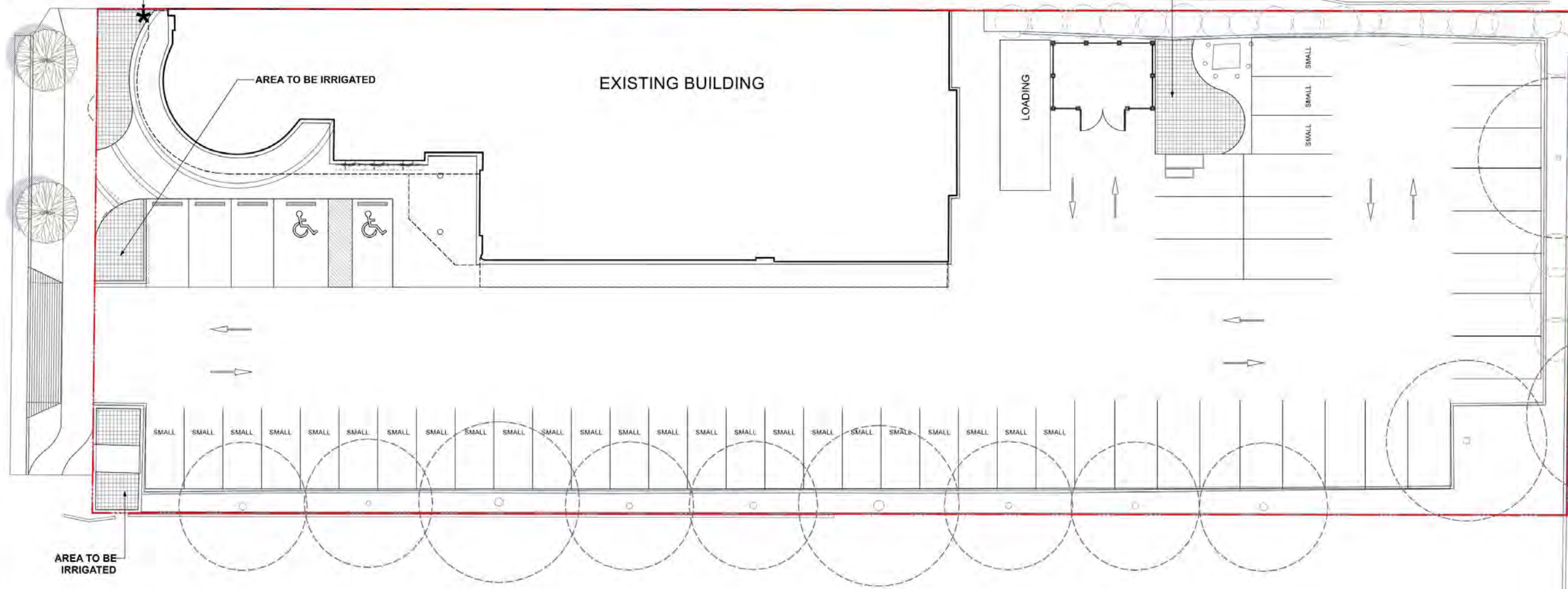
LANDSCAPE LIGHTING LEGENDS

SYMBOL	MATERIALS
	PROPOSED UPLIGHT
	BOLLARD LIGHT
	WALL MOUNTED DOWNLIGHT
	SOFFIT LIGHT
	EXISTING LIGHT TO BE RETAINED
	EXISTING LIGHT TO BE REMOVED

LIGHTING NOTES

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. ALL EXTERIOR LIGHT FIXTURE LOCATIONS TO BE STAKED BY CONTRACTOR AND APPROVED BY THE CLIENTS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.

IRRIGATION STUB-OUT
2" DIAMETER @ 50 GPM



AREA TO BE IRRIGATED

AREA TO BE IRRIGATED

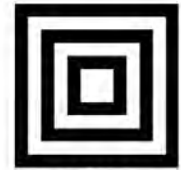
EXISTING BUILDING

LOADING

AREA TO BE IRRIGATED

IRRIGATION LEGENDS

KEY	DESCRIPTION
*	WATER STUB-OUT SCHEMATIC ONLY. REFER TO MECHANICAL
	IRRIGATION AREA



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**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

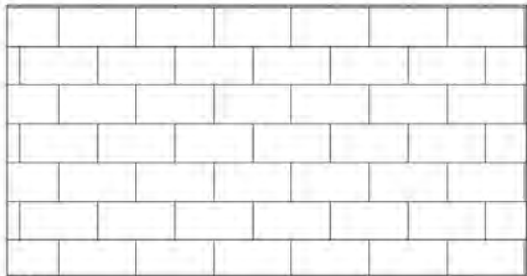
SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

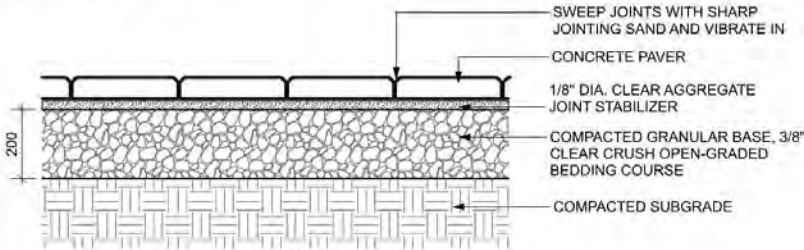
REVIEWED BY: EL

**Design-Build
Irrigation Plan**

PLAN # 3.d
L3.1

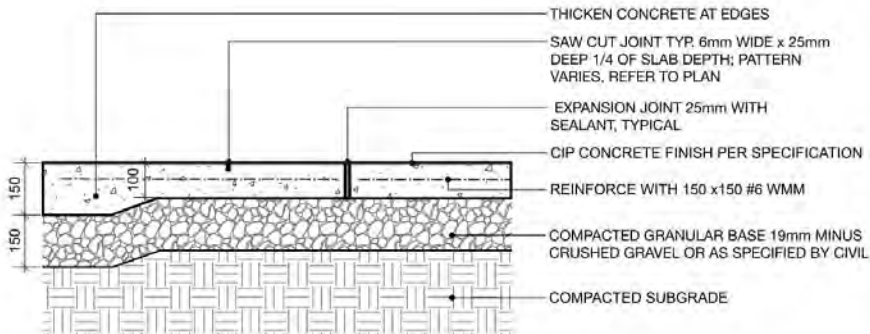


PLAN
CLASSIC STANDARD PAVERS - STANDARD SIZE BY BELGARD (877-235-4273)
DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x 4-7/16" x 2-3/8")
PATTERN: RUNNING BOND
COLOUR: NATURAL



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

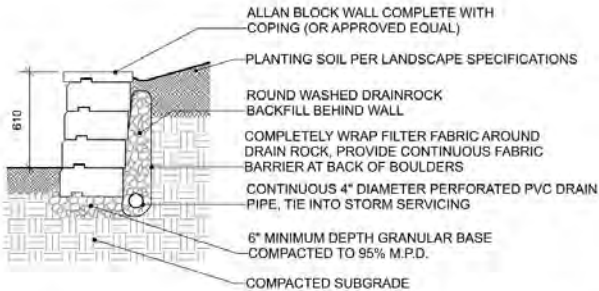
1 CONCRETE UNIT PAVING ON GRADE
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

2 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10

NOTES:
1 - INSTALL WALLS PER MANUFACTURER SPECIFICATIONS.
2 - GLUE CAPS DOWN WITH ADHESIVE RECOMMENDED BY WALL MANUFACTURER.



3 ALLAN BLOCK WALL PLANTER AROUND THE PROJECT SIGN
Scale: 1:25

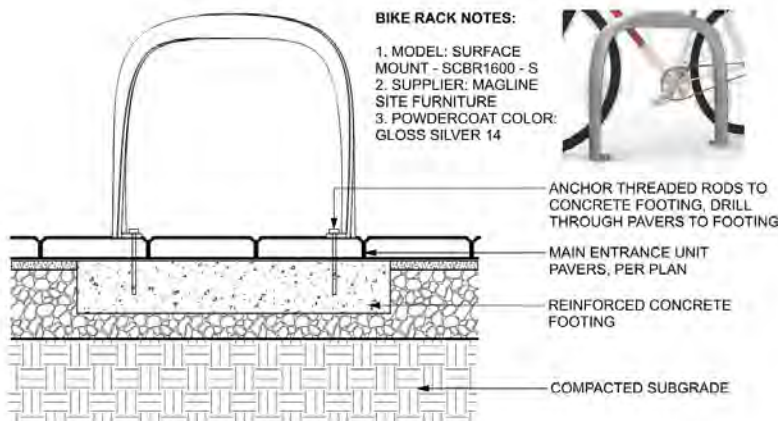


PRECEDENT

NOTES:

1. STANDARD SIZE MODEL: MIN. 0.6 METERS WIDE AND 1.8 METERS LONG
2. OVERSIZED MODEL: 0.9 METERS WIDE AND 2.4 METERS LONG
3. SUPPLIER: CYCLESafe OR APPROVED ALTERNATIVE SUPPLIER

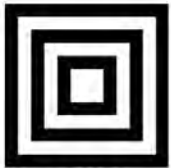
5 OUTDOOR BIKE LOCKER - STANDARD SIZE & OVERSIZED MODELS
Scale: N/A



BIKE RACK NOTES:
1. MODEL: SURFACE MOUNT - SCBR1600 - S
2. SUPPLIER: MAGLINE SITE FURNITURE
3. POWDERCOAT COLOR: GLOSS SILVER 14

NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

4 BIKE RACK
Scale: 1:10



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND ,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: AS SHOWN

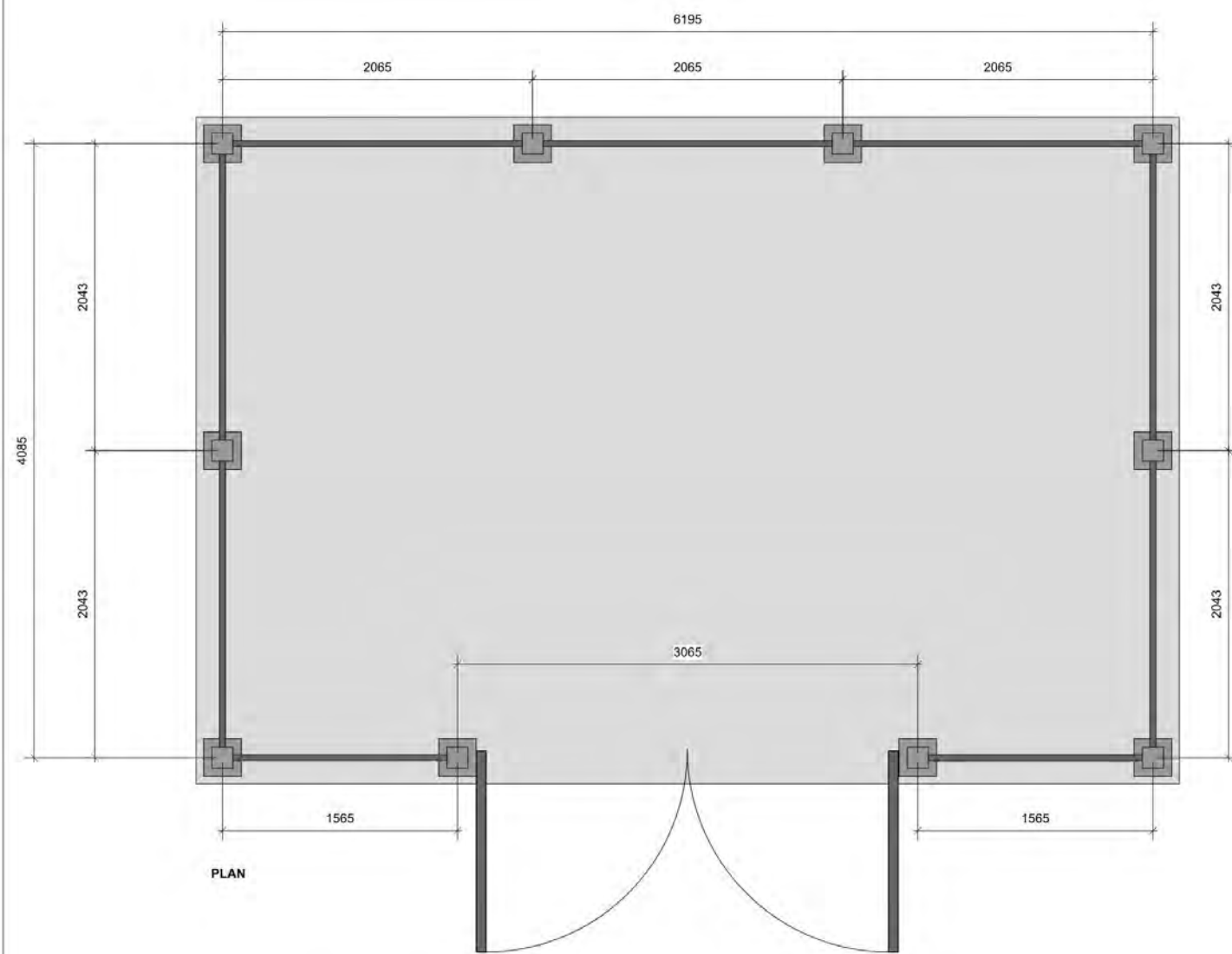
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REVIEWED BY: EL

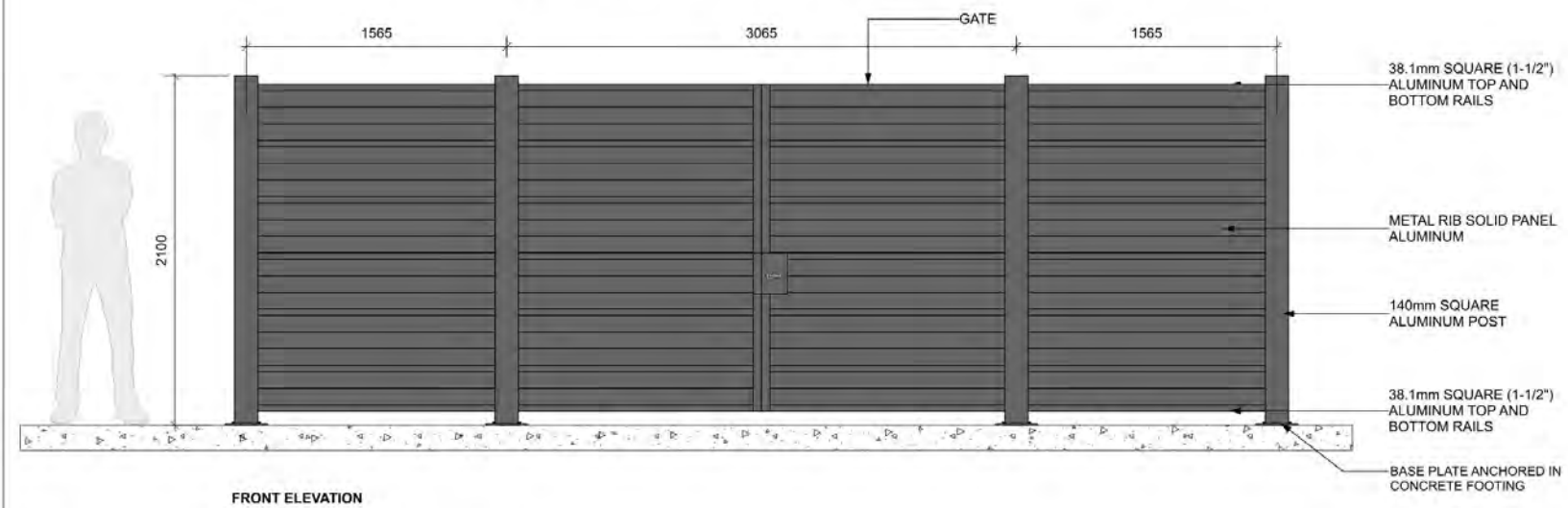
**HARDSCAPE &
FURNITURING
DETILS**

PLAN # 3.e

L4.0



PLAN



FRONT ELEVATION

- NOTES:
1. ALL METAL ALUMINUM WITH BLACK POWDERCOAT FINISH (TO BE FACTORY APPLIED)
 2. ALL WELDED CONSTRUCTION
 3. PROVIDE SHOP DRAWINGS FOR APPROVAL
 4. CONCRETE FOOTING TO BE CONFIRMED BY STRUCTURAL ENGINEER.

1 WASTE AND RECYCLING AREA SCREENING
Scale: 1:20



PRECEDENT

NOTE: THE SCREENING SHALL BE A MINIMUM OF 2.0 METRES IN HEIGHT TO A MAXIMUM HEIGHT THAT IS EQUIVALENT TO THE HEIGHT OF THE REFUSE OR RECYCLING BIN BUT IN NO CASE MORE THAN 2.4 METRES.



**HOMING
LANDSCAPE
ARCHITECTURE**

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Revisions

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2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND ,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: AS SHOWN

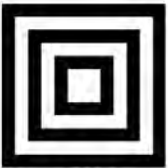
DRAWN BY: EL

REVIEWED BY: EL

**HARDSCAPE &
FURNITURING
DETILS**

PLAN # 3.f

L4.1



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 WHITH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
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Revisions

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**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: AS SHOWN

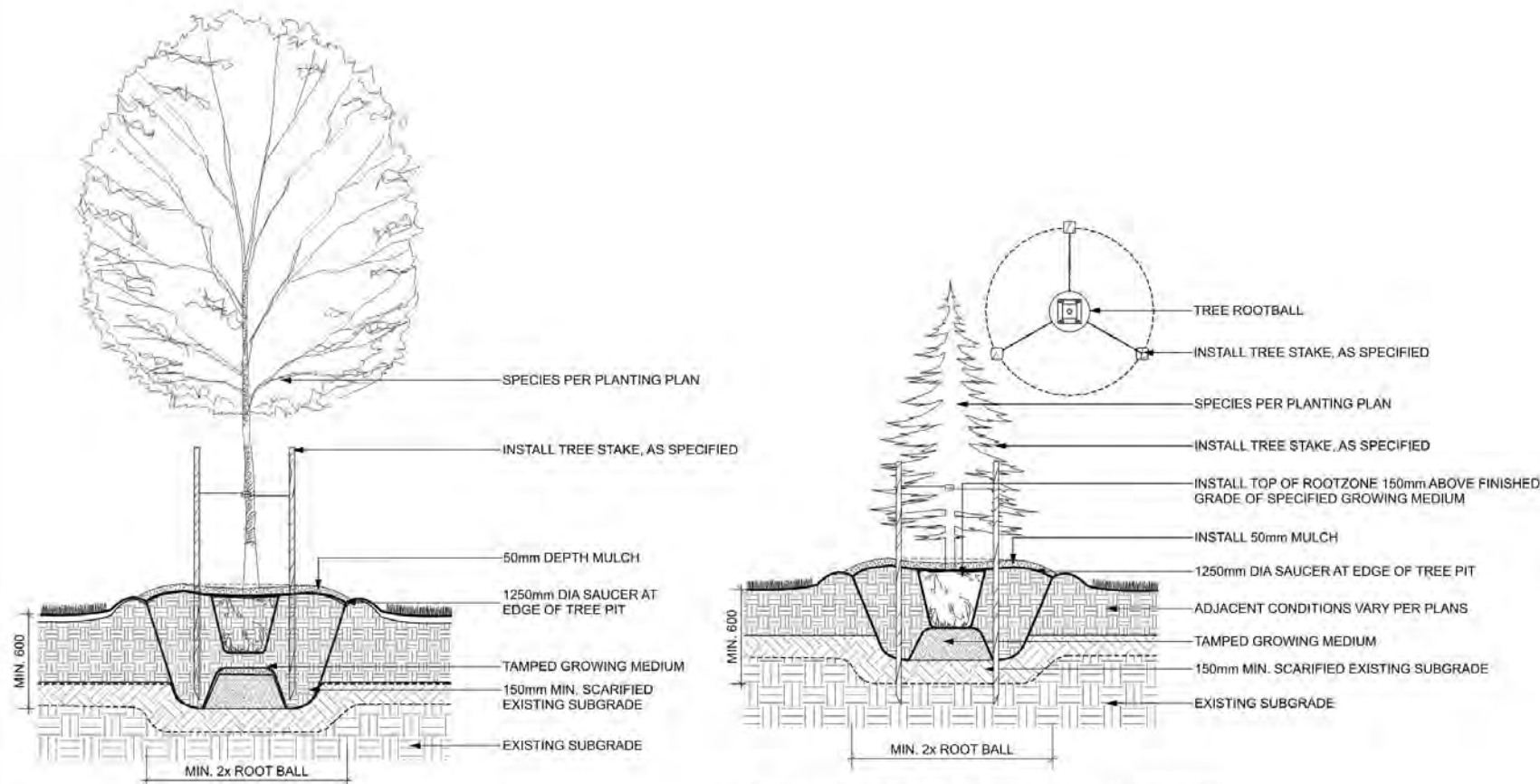
DRAWN BY: EL

REVIEWED BY: EL

**SOFTSCAPE
DETILS**

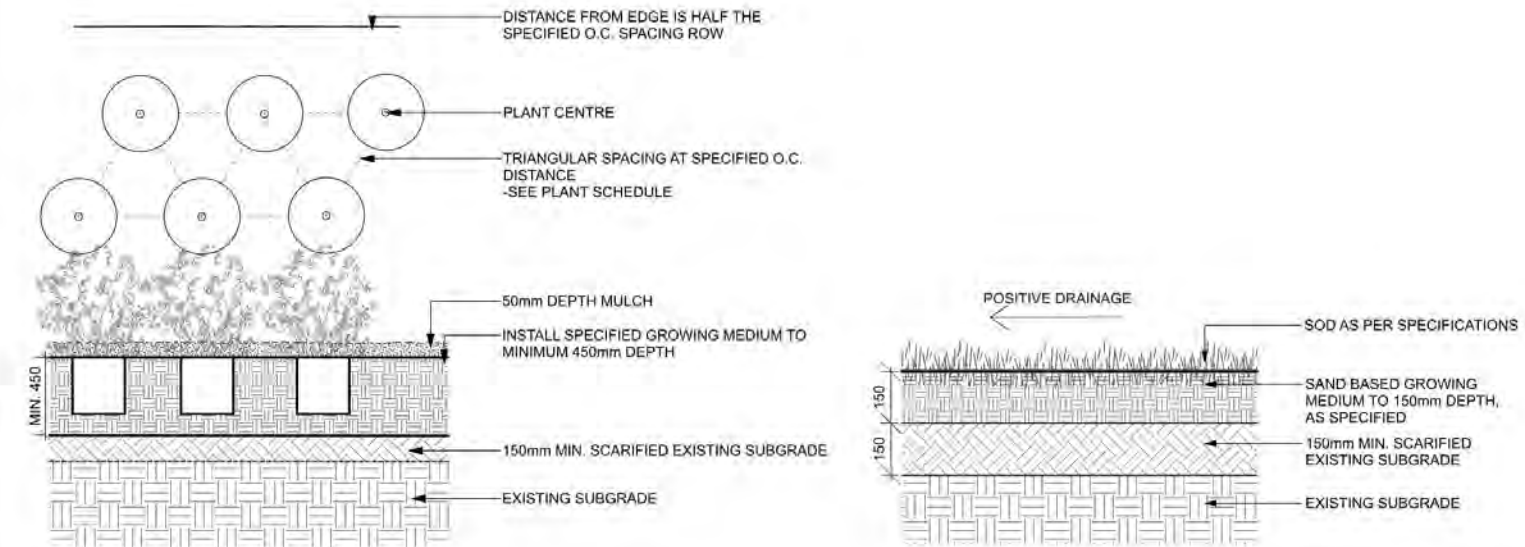
PLAN # 3.g

L4.2



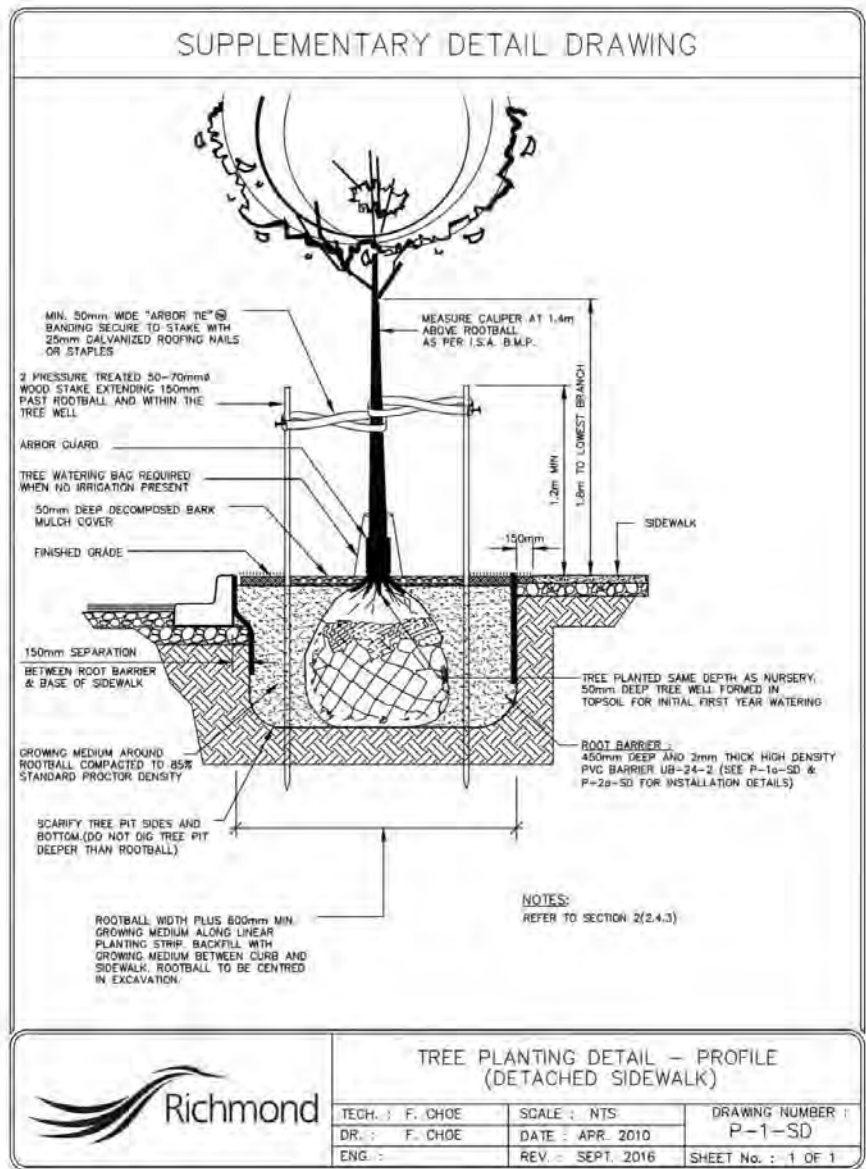
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20

2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 PLANTING ON GRADE (TYPICAL)
Scale: 1:20

4 SOD LAWN (TYPICAL)
Scale: 1:10



5 GRASS BOULEVARD TREE PLANTING DETAIL - CITY OF RICHMOND
SCALE: N/A



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: October 8, 2025

From: Joshua Reis
Director, Development

File: DP 21-936427

Re: **Application by Kadium No. 4 Development Ltd. for a General Compliance Ruling to Development Permit (DP 21-936427) at 10380 No. 4 Road**

Staff Recommendation

That the attached plans involving changes to the proposed Landscape Plan, Tree Management Plan and Landscape Detail Plan, be considered to be in General Compliance with the approved Development Permit (DP 21-936427).

Joshua Reis
Director, Development
(604-247-4625)

JR:mt
Att. 7

Staff Report

Origin

Jason Liang, on behalf of Kadium No. 4 Development Ltd. (Incorporation number: BC1157491), has requested a General Compliance (GC) ruling to modify the Landscape Plan, Tree Management Plan and Landscape Details issued with the Development Permit (DP) (DP 21-936427) at 10380 No. 4 Road.

A rezoning (RZ-18-831725) and development permit were adopted and issued on June 10, 2024 to facilitate the construction of 19 townhouse units, including four secondary suites, on a site zoned “Medium Density Townhouses (RTM2)”. A location map is provided in Attachment 1. Construction is nearly complete, with a targeted start of landscaping work for Fall 2025 and occupancy for early 2026.

The proposed modifications to the issued DP include changes to address the failed relocation and transplanting of Tree #435 and minor changes to an on-site retaining wall and fence.

Background

Development surrounding the subject site is as follows:

To the North and South:	Single detached residential dwellings, zoned “Small-Scale Multi-Unit Housing (RSM/L)” fronting No. 4 Road and designated for townhouses consistent with the Arterial Road Land Use Policy.
To the West:	Across No 4 Road, single detached residential dwellings, zoned “Small-Scale Multi-Unit Housing (RSM/L)” fronting No. 4 Road and designated for townhouses consistent with the Arterial Road Land Use Policy.
To the East:	Single detached dwellings, zoned “Small-Scale Multi-Unit Housing (RSM/L)” fronting Dennis Crescent.

Staff Comments

The proposed scope of the GC ruling request for the subject site is limited to the Landscape Plan, Tree Management Plan and Landscape Details of the project. The requested modifications are consistent with the landscape guidelines in the Official Community Plan (OCP) and compliant with the Zoning Bylaw.

Approved Tree Protection and Replacement Plan

- On-site tree retention and removal was assessed as part of the rezoning application and development permit, at which time it was determined that two trees on the subject site were to be relocated and protected, Tree #422, a Japanese maple, and Tree #435, a Pink snowbell. Four trees were to be protected on the neighbouring property to the east at 10311 Dennis Crescent (Trees #OS1-OS4).

- The Landscape Plan issued with the DP showing the trees identified for removal, retention and relocation is provided in Attachment 2. The previous tree management plan is provided in Attachment 3.
- The Landscape Plan shows that a mix of 33 deciduous and coniferous replacement trees of various sizes were proposed to be planted and maintained on-site (not including the two transplanted trees). This exceeds the 2:1 tree replacement ratio in the OCP which required 32 replacement trees.
- The City is currently holding a Letter of Credit (LoC) valued at \$152,362.15 to ensure that landscaping works are completed in accordance with the approved plans.
- In addition to the landscape security, the City is holding a \$15,000.00 Tree Survival Security to the two trees that were to be relocated (Tree #422 and #435).

Approved Landscape Details – Retaining Wall and Fence

- The issued DP included details for an Allen Block retaining wall running most of the length of the property in the rear yard, north to south, adjacent to the eastern property line and an existing SRW.
- The issued DP includes a 1.2m (4 ft.) tall wooden fence abutting the neighbouring property to the north.
- The location of the retaining wall and fence are visible in the Landscape Plans (Attachment 2), and the details are visible in the Landscape Details (Attachment 4).

Analysis

Tree Relocation and Transplanting

- Consistent with the approved DP, prior to demolition, tree #435 was transplanted by Maple Leaf Tree Movers in July of 2022, to an offsite tree farm facility.
- The transplant was completed as per the specifications of the British Columbia Landscape and Nursery Association (BCLNA). However, the transplant was not successful and tree #435 died post transplant at the tree farm facility.
- The City's Tree Preservation staff have reviewed the submitted documentation from the project arborist in conjunction with records from the transplant contractor. Staff confirmed that the tree died despite the applicant's adherence to best practices.
- Tree #422 was similarly transplanted by the same company, remains in good health and is scheduled for transplant from the tree farm facility back to the subject site.
- To account for the unsuccessful transplant of Tree #435 the applicant proposes to replace Tree #435 with one large tree on-site, a 10cm Dawyck Purple beech, in the same location fronting No. 3 Road as visible in the revised Landscape Plans (Attachment 5 and 6). The City's Tree Preservation Staff have reviewed and approve of this replacement.
- The City currently holds a \$5,000.00 Tree Survival Security for Tree #435. Given that best practices were followed and the tree died of natural causes, the City may release this portion of the security.

Retaining Wall Design Change

- The applicant has requested to replace the approved Allen Block retaining wall with .5m timber retaining wall to provide a smaller footprint and additional open space next to the existing SRW.
- The proposed changes are visible in the Landscape Details drawing (Attachment 7).

- The applicant has advised that the proposed timber retaining wall has similar maintenance responsibilities to the original Allen Block wall.
- In addition to providing a smaller footprint, the use of timber in lieu of Allen Block creates a softer and warmer feel consistent with the overall development design and character.
- The City's Transportation, Engineering and Urban Design staff reviewed and approved the proposed changes as consistent with a GC application.

Fence Height Design Change

- The applicant received a request from the neighbour to the north to increase the height of the fence to provide additional privacy.
- Staff have no objections to the proposed fence height increase from 1.2m to 1.5m (4 ft. to 5 ft.) which remain consistent with the Zoning Bylaw. The fence material and design remain otherwise unchanged. This change only impacts the fence on the northern property line and no other design changes are proposed.

Landscaping Security

- A \$152,326.15 LoC was taken as security for landscaping at the time of the original DP. This LoC will continue to be held as landscaping security until the landscaping has been installed and following a one-year maintenance period.

Conclusions

Jason Liang, on behalf of Kadium No. 4 Development Ltd. (Incorporation number: BC1157491), has requested a GC ruling to modify the Landscaping Plan, Tree Management Plan and Landscape Details issued with the DP (DP 21-936427). The proposed modifications outlined in this report are within the scope of a GC ruling and will apply to the site located at 10380 No. 4 Road.

Staff recommend support of this GC request for the proposed changes to the issued DP.

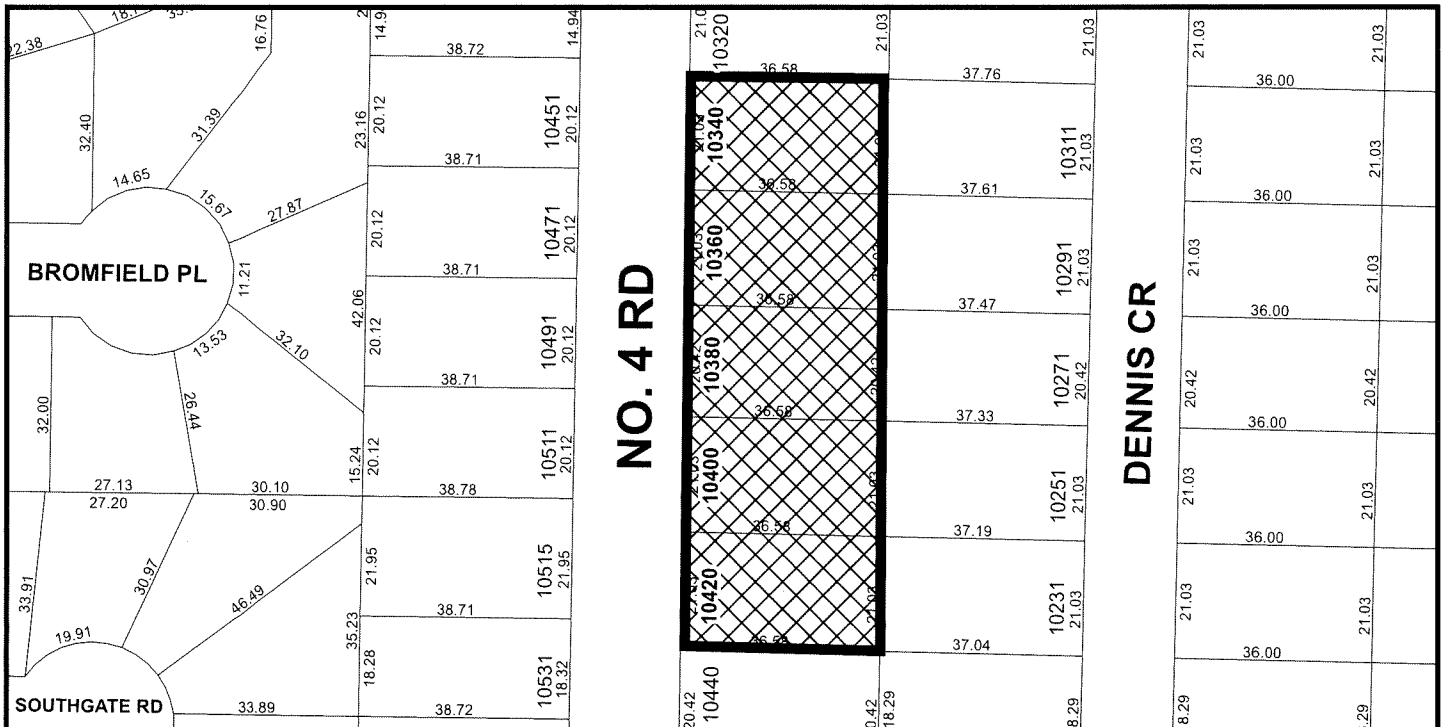


Mark Tennenhouse
Planning Technician
(604-276-4090)

MT:aa

- Att.
- 1: Location Map
 - 2: Landscape Plan issued under DP 21-936427
 - 3: Tree Management Plan issued under DP 21-936427
 - 4: Landscape Details issued under DP 21-936427
 - 5: Proposed Landscape Plan
 - 6: Proposed Tree Management
 - 7: Proposed Landscape Details

City of
Richmond



DP 21-936427
SCHEDULE "A"

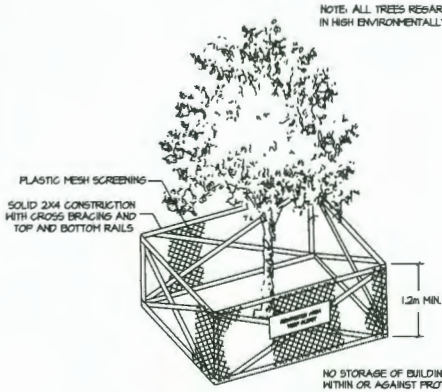
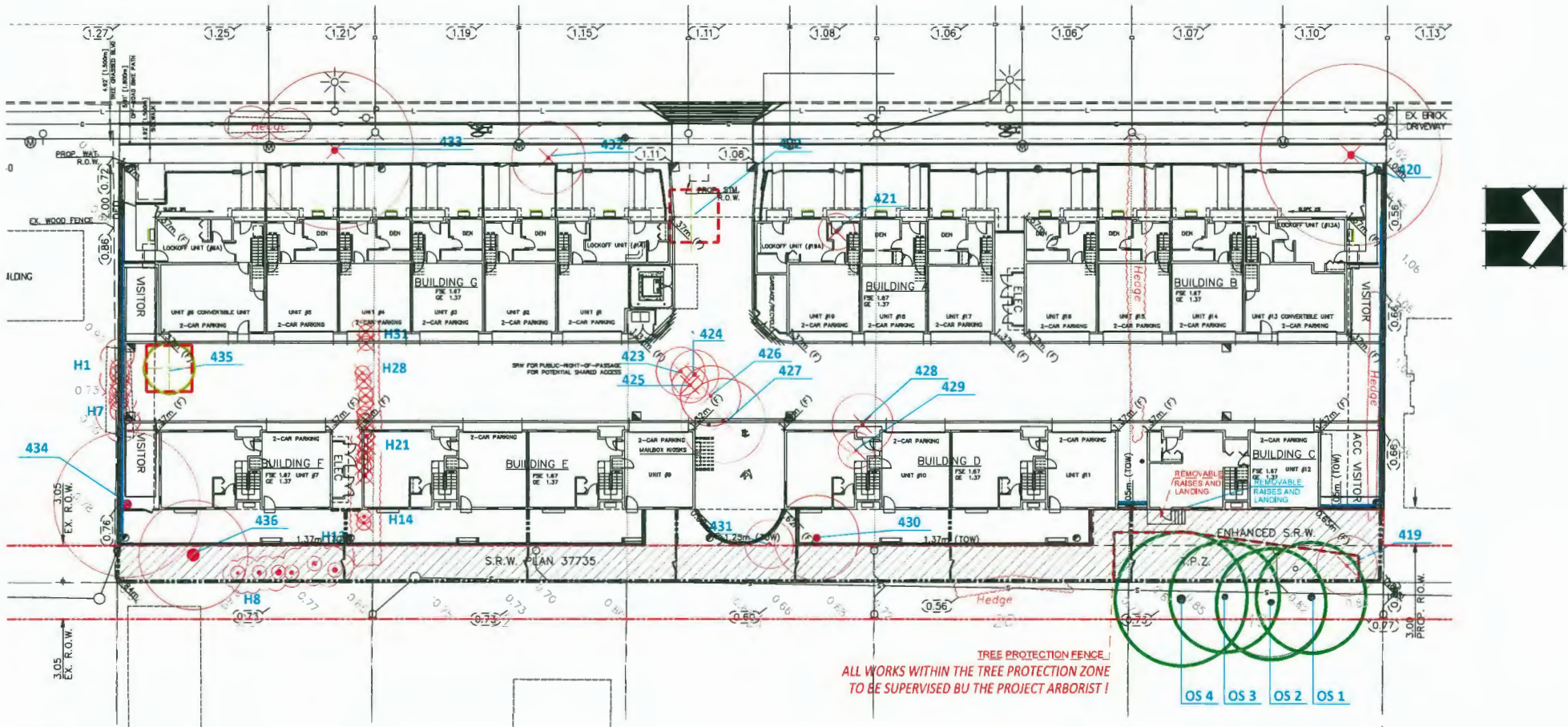
Note: Dimensions are in METRES



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pmg
LANDSCAPE
ARCHITECTS
Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6S9
p: 604 294-0011 f: 604 294-0022

SEAL



NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE	
TRUNK DIAMETER in cm. @ 1.3m	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
65	3.9
70	4.2
75	4.5
80	4.8
85	5.1
90	5.4
95	5.7
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM DBH. MEASURED AT BREAST HEIGHT OR 1.4M FROM GRADE.

1A TREE PROTECTION BARRIER
L-3

Tree Inventory			
Tag	Species	DBH (cm)	TPZ (m)
419	Fig	40	2.40
420	Deodar cedar	73	4.38
421	Fig	39	2.34
422	Japanese maple	30	1.80
423	Smaragd cedar	36	2.16
424	Smaragd cedar	40	2.40
425	Smaragd cedar	28	1.68
426	Oyama magnolia	24	1.44
427	Japanese maple	36	2.16
428	Himalayan birch	48	2.88
429	Elderberry	24	1.44
430	Apple	43	2.58

431	Apple	21	1.26
432	Cherry	39	2.34
433	Norway maple	57	3.42
434	Flowering cherry	82	4.92
435	Pink snowbell	27	1.62
436	Hazelnut	30	1.80
H1-	Western red cedar	30	1.80
H7	Western red cedar	30	1.80
H8-	Western red cedar	30	1.80
H13	Western red cedar	30	1.80
H14-	Western red cedar	30	1.80
H31	Western red cedar	30	1.80
os1	Hemlock	60	3.60
os2	Hemlock	60	3.60
os3	Hemlock	60	3.60
os4	Western red cedar	85	5.10

NO.	DATE	REVISION DESCRIPTION	DR.
1	2019.07.22	ISSUED FOR DP	DP
2	2019.07.27	ISSUED FOR DP	DP
3	2019.08.06	REVISIONS FOR CITY COMMENTS	DP
4	2019.08.06	REVISIONS FOR CITY COMMENTS	DP
5	2019.08.06	REVISIONS FOR CITY COMMENTS	DP
6	2019.08.06	REVISIONS FOR CITY COMMENTS	DP
7	2019.08.06	REVISIONS FOR CITY COMMENTS	DP
8	2019.08.06	REVISIONS FOR CITY COMMENTS	DP
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100	2019.08.06	REVISIONS FOR CITY COMMENTS	DP

CLIENT KADIUM NO.4 DEVELOPMENT LTD.
WITH MATTHEW CHENG ARCHITECT INC.

PROJECT

19 UNIT TOWNHOUSE
DEVELOPMENT
10340 - 10420 NO. 4 ROAD
RICHMOND
RZ 18-831725 DP 21-936427
JUNE 15 2023
PLAN# 5.e

DRAWING TITLE

TREE MANAGEMENT
PLAN

DATE July 22 2019 DRAWING NUMBER

SCALE 1/16"=1'-0"

DRAWN DO

DESIGN DO

CHKD PCM

OF 7

L5

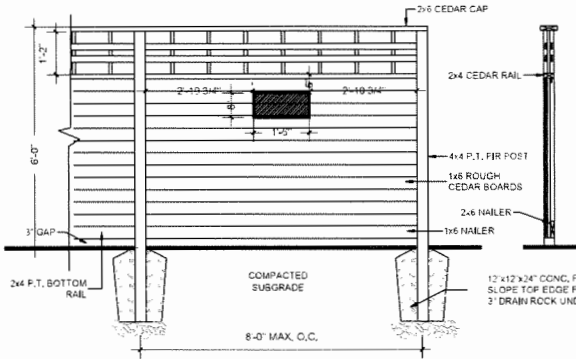
19093-118P.ZIP

PMG PROJECT NUMBER

19-093

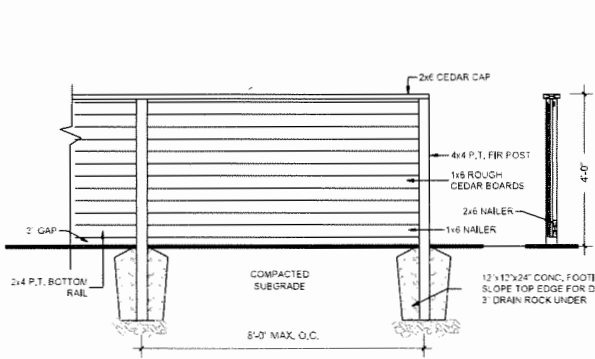
Notification sign to be placed at the north end of the drive aisle.
This is a shared driveway and may be used to provide vehicle access to future development.

- NOTES
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



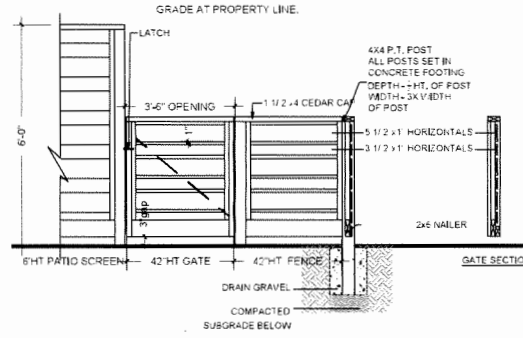
1a 6'-0" HEIGHT WOOD FENCE WITH LATTICE
1/2" = 1'-0"

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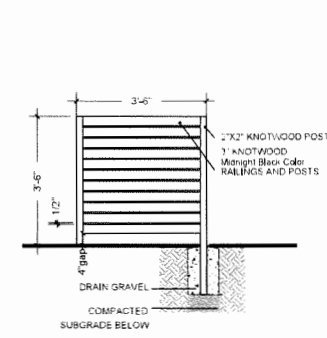


1b 4'-0" HEIGHT WOOD FENCE WITH LATTICE
1/2" = 1'-0"

- NOTES
1. ALL WOOD P.T. HEM/FIR
 2. ALL FASTENERS HOTDIPPED GALVANIZED
 3. STAIN ALL EXPOSED SURFACES WITH TWO COATS PREMIUM WEATHERPROOFING STAIN. COLOUR TO MATCH ARCH. PROVIDE SAMPLE TO OWNER FOR PREAPPROVAL PRIOR TO APPLICATION
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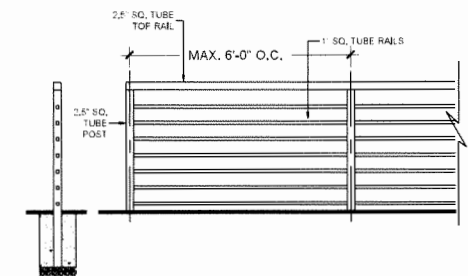


2 6' HT PATIO SCREEN AND 42' HT WOOD FENCE WITH GATE
1/2" = 1'-0"

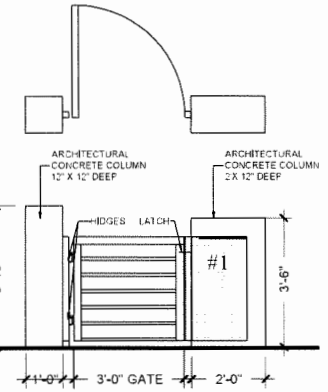


9 3'-6" HT KNOTWOOD AC SCREENING
1/2" = 1'-0"

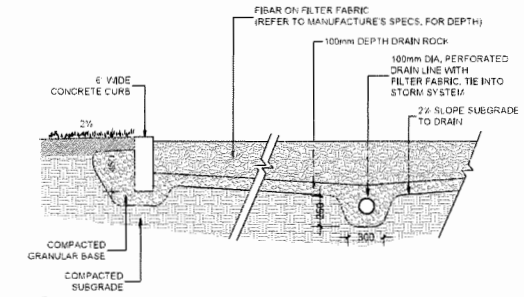
- NOTES
1. METAL GALVANIZED ALUMINUM PICKETS
 2. SMOOTH WELD ALL JOINTS
 3. GALVANIZED METAL AND POWDER COATED WITH BLACK FINISH
 4. ALL HARDWARE HOT DIPPED GALVANIZED



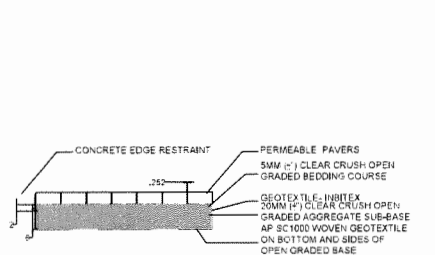
3 42' HT ALUMINUM FENCE AND GATE WITH TWO COLUMNS
1/2" = 1'-0"



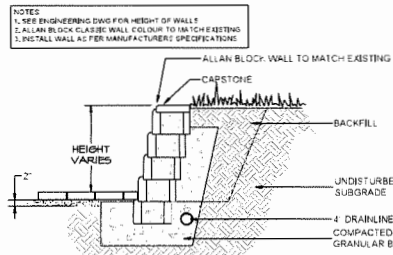
4 42' HT SIGN WALL
1/2" = 1'-0"



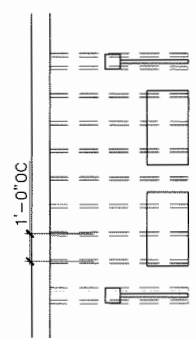
5 PLAYGROUND SAFETY SURFACE
1/2" = 1'-0"



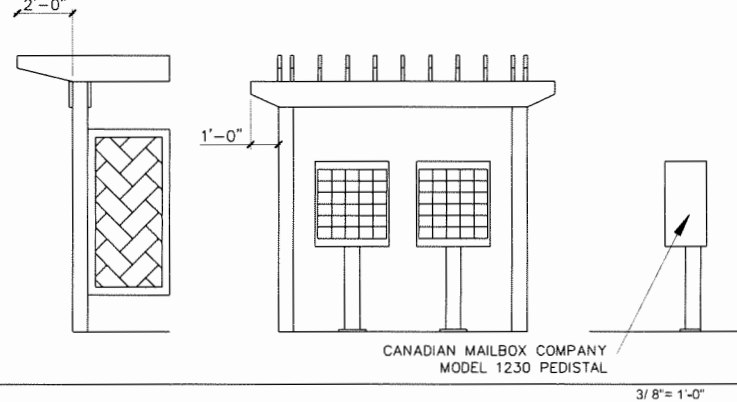
6 PERMEABLE PAVERS
1/2" = 1'-0"



7 PROPOSED ALLAN BLOCK WALL AND STAIRS
1/2" = 1'-0"



8 MAIL KIOSK
1/2" = 1'-0"



5 CANADIAN MAILBOX COMPANY MODEL 1230 PEDISTAL
3/8" = 1'-0"

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Burnaby, British Columbia, V5C 5G9
p: 604.294.0011 f: 604.294.0022

SEAL

NO.	DATE	REVISION DESCRIPTION	DR.
1	21 JUN 22	ISSUED FOR PERMITS	02
2	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
3	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
4	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
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18	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
19	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
20	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
21	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
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29	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02
30	28 JUN 22	REV. (GENERAL) 2700P PERMITS	02

CLIENT: KADIUM NO.4 DEVELOPMENT LTD.
WITH: MATTHEW CHENG ARCHITECT INC.

PROJECT

**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 - 10420 NO. 4 ROAD
RICHMOND
R2 18-831725

DP 21-936427
JUNE 15 2023
PLAN# 5.d

DRAWING TITLE

LANDSCAPE DETAILS

DATE: July 22 2018 DRAWING NUMBER

SCALE

DRAWN: DD

DESIGN: DD

CHK'D: PCM

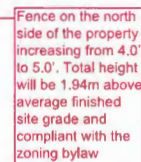
L4

OF 7

19069-11B7.2P

PMG PROJECT NUMBER

19-093



NO.	DATE	REVISION DESCRIPTION	DR
-	25.SEP.25	DP Amendment	DO
16	25.SEP.25	REVISION AS PER CITY COMMENTS	DO
13	25.AUG.25	DP Amendment	DO
12	24.JUN.27	REVISED TMP & TREE REPLACEMENT PLAN	DO
-	23.JUN.28	ISSUED FOR DP	DO
-	23.JUN.12	ISSUED FOR BP	DO
11	23.JAN.09	REVISION AS PER CITY COMMENTS	DO
10	23.MAR.06	NEW SITE PLANNING COMMENTS	DO
9	22.FEB.23	REVISION AS PER ADP CITY COMMENTS	DO
8	22.APR.1	REVISED PLAT AREA	DO
7	22.MAR.22	NEW SITE PLANNING COMMENTS	DO
6	21.JAN.14	NEW SITE PLANNING CITY COMMENTS	DO
5	20.JUL.03	REVISION AS PER ARCHITECT COMMENTS	DO
4	20.JUN.23	NEW CIVIL PLAN	DO
3	20.JUN.22	NEW SITE PLAN/ CITY COMMENTS	DO
2	19.NOV.28	NEW SITE PLAN	DO
1	15.OCT.27	NEW SITE PLAN	DO

**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 - 10420 NO. 4 ROAD
RICHMOND
RZ 18-831725

LANDSCAPE
PLAN

SCALE: 1/16"=1'-0"

DRAWN: DD

DESIGN: DD

CHK'D: PGM

L1

OF 7

19093-15DP Amendment.ZIP

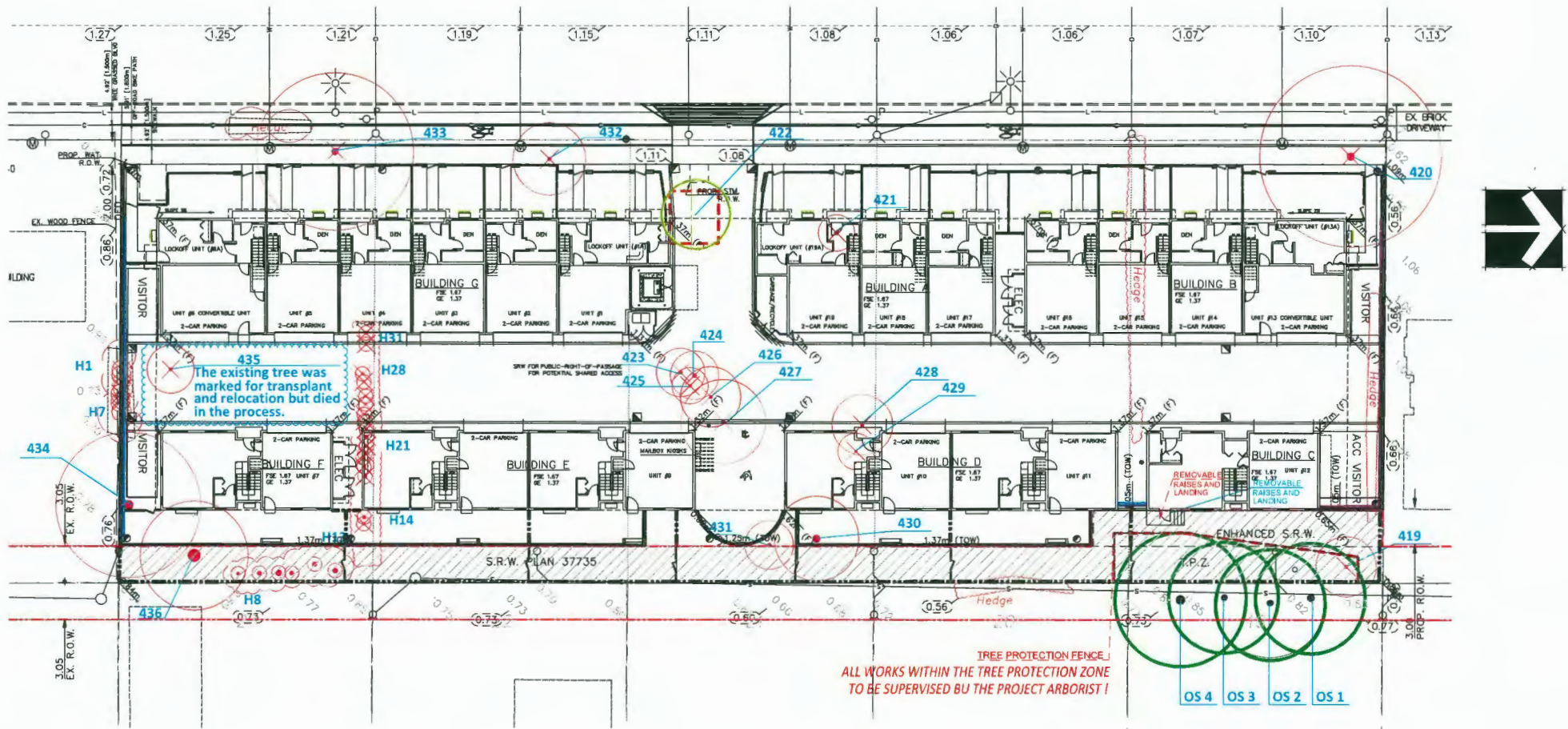
PMG PROJECT NUMBER:

19-093

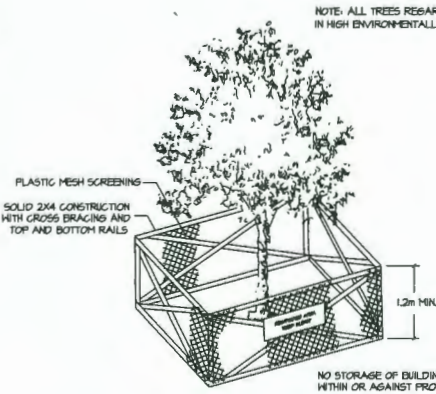
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SEAL



- TREE TO RETAIN
- TREE TO REMOVE
- TREE PROTECTION FENCE
- TREE TO BE RELOCATED



1A TREE PROTECTION BARRIER
L-3

NOTE: ALL TREES REGARDLESS OF SIZE ARE PROTECTED IN HIGH ENVIRONMENTALLY SENSITIVE AREAS

TREE PROTECTION DISTANCE TABLE	
TRUNK DIAMETER IN CM @ 1.37m	MINIMUM REQUIRED PROTECTION RADIUS (DISTANCE FROM TRUNK IN METRES)
20	1.2
25	1.5
30	1.8
35	2.1
40	2.4
45	2.7
50	3
55	3.3
60	3.6
75	4.5
90	5
100	6.0

EXTRAPOLATE PROTECTION RADIUS FOR TREES LARGER THAN 100CM DBH (DIAMETER AT BREAST HEIGHT OR 1.4M FROM GRADE).

Tree Inventory			
Tag	Species	DBH (cm)	TPZ (m)
419	Fig	40	2.40
420	Deodar cedar	73	4.38
421	Fig	39	2.34
422	Japanese maple	30	1.80
423	Smaragd cedar	36	2.16
424	Smaragd cedar	40	2.40
425	Smaragd cedar	28	1.68
426	Oyama magnolia	24	1.44
427	Japanese maple	36	2.16
428	Himalayan birch	48	2.88
429	Elderberry	24	1.44
430	Apple	43	2.58

431	Apple	21	1.26
432	Cherry	39	2.34
433	Norway maple	57	3.42
434	Flowering cherry	82	4.92
435	Pink snowbell	27	1.62
436	Hazelnut	30	1.80
H1-H7	Western red cedar	30	1.80
H8-H13	Western red cedar	30	1.80
H14-H31	Western red cedar	30	1.80
os1	Hemlock	60	3.60
os2	Hemlock	60	3.60
os3	Hemlock	60	3.60
os4	Western red cedar	85	5.10

NO.	DATE	REVISION DESCRIPTION	DR.
1	2019-07-22	NEW SITE PLAN	DD
2	2019-07-22	NEW SITE PLAN	DD
3	2019-07-22	NEW SITE PLAN	DD
4	2019-07-22	NEW SITE PLAN	DD
5	2019-07-22	NEW SITE PLAN	DD
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98	2019-07-22	NEW SITE PLAN	DD
99	2019-07-22	NEW SITE PLAN	DD
100	2019-07-22	NEW SITE PLAN	DD

CLIENT: KADUM NO.4 DEVELOPMENT LTD.
WITH: MATTHEW CHENG ARCHITECT INC.

PROJECT

**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 - 10420 NO. 4 ROAD
RICHMOND
R2 18-831725

DRAWING TITLE

**TREE MANAGEMENT
PLAN**

DATE: July 22, 2019 DRAWING NUMBER

SCALE: 1/16"=1'-0"

DRAWN: DD

DESIGN: DD

CHKD: PCM

PMG PROJECT NUMBER

L5

OF 7

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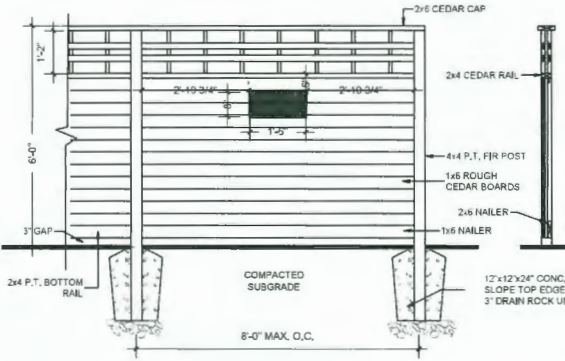
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ARCHITECTS
Suite C100 - 4185 SMI Creek Drive
Burnaby, British Columbia, V5C 5G9
p: 604 294-0011 : f: 604 294-0022

SEAL

Notification sign to be placed at the north end of the drive aisle.
This is a shared driveway and may be used to provide vehicle access to future development.

NOTES

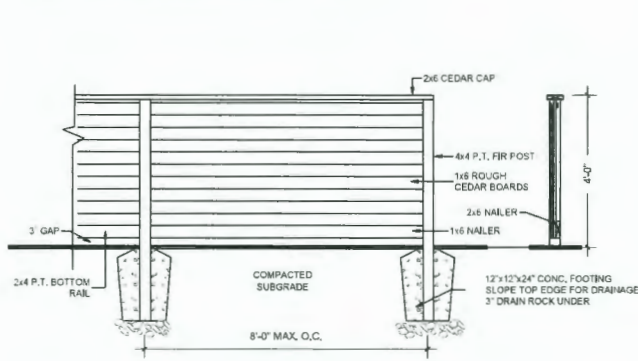
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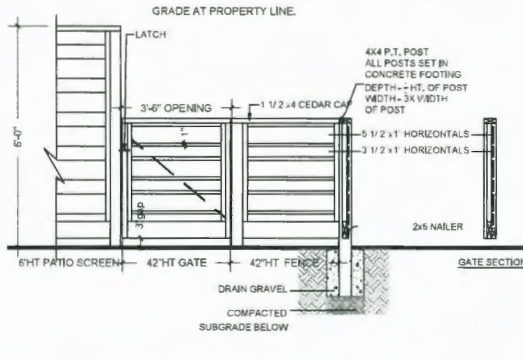
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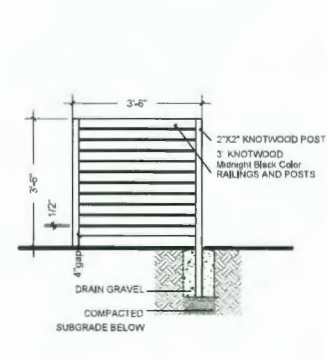
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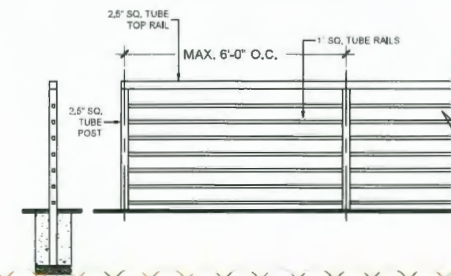
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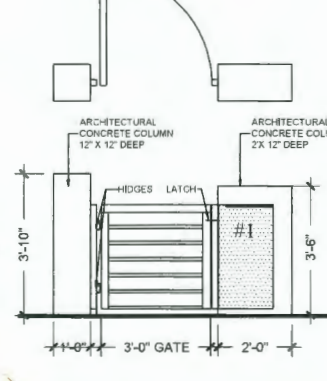
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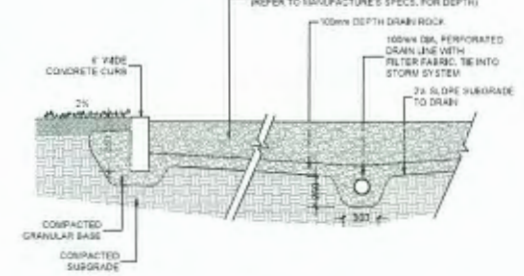
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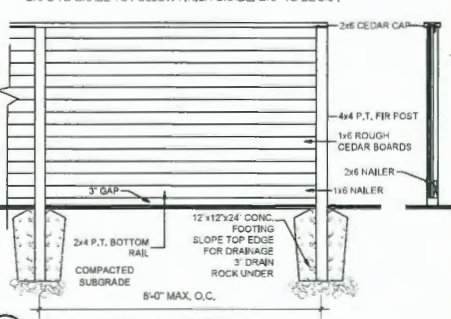


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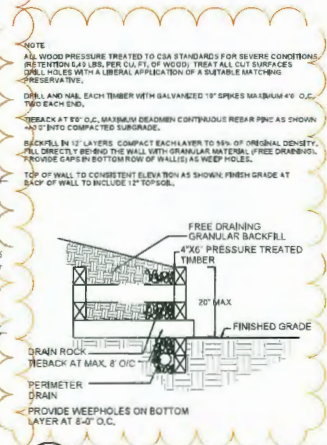


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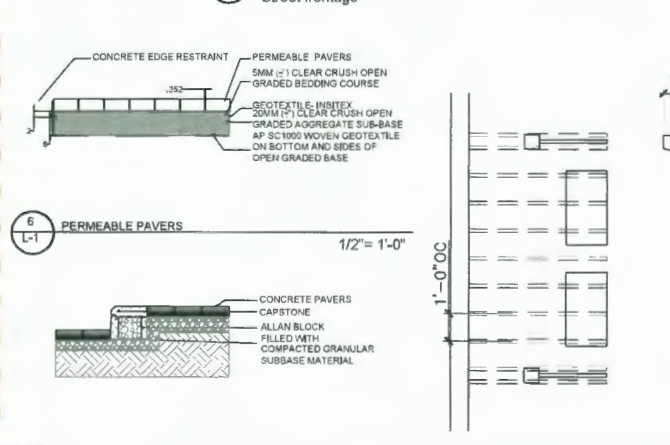
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4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



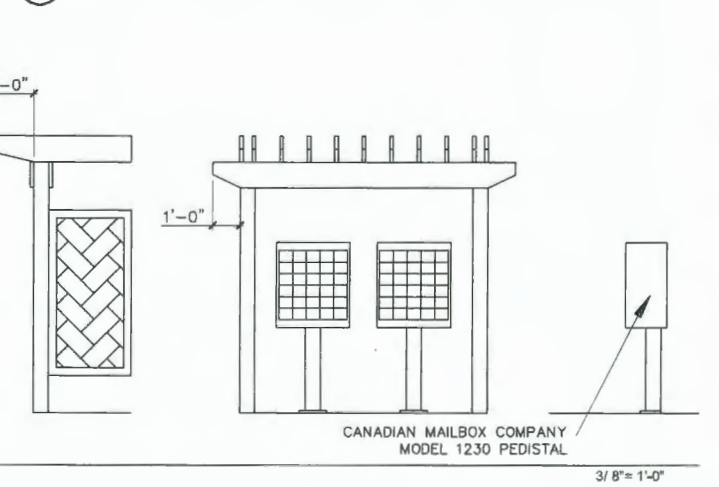
9 5'-0" HEIGHT WOOD FENCE
1/2" = 1'-0"



7 TIMBER RETAINING WALL ON GRADE AND STAIRS
1/2" = 1'-0"



6 PERMEABLE PAVERS
1/2" = 1'-0"



8 MAIL KIOSK
1/2" = 1'-0"

NO.	DATE	REVISION DESCRIPTION	DR.
1	10 SEP 21	NEW SITE PLAN	DR.
2	10 NOV 20	NEW SITE PLAN	DR.
3	10 NOV 20	NEW SITE PLAN	DR.
4	10 NOV 20	NEW SITE PLAN	DR.
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50	10 NOV 20	NEW SITE PLAN	DR.

CLIENT: KADUM NO.4 DEVELOPMENT LTD.
WITH: MATTHEW CHENG ARCHITECT INC.

PROJECT
**19 UNIT TOWNHOUSE
DEVELOPMENT**
10340 - 10420 NO. 4 ROAD
RICHMOND
R2 18-831725

DRAWING TITLE
LANDSCAPE DETAILS

DATE: July 22 '20
SCALE:
DRAWN: DD
DESIGN: DD
CHKD: PCM
DRAWING NUMBER
L4
OF 7

19093-150P Amendment ZIP

PMG PROJECT NUMBER
19-093



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: October 10, 2025

From: Joshua Reis
Director, Development

File: DP 22-022003

Re: Application by Hardev S. Chane for a Development Permit at
14511 Westminster Highway

Staff Recommendation

That an Development Permit be issued to permit the construction of a single detached house on a site zoned "Agriculture (AG1)" and designated as an Environmentally Sensitive Area (ESA).

A handwritten signature in black ink, appearing to read 'Joshua Reis'.

Joshua Reis, MCIP, RPP, AICP
Director, Development
(604-247-4625)

BB:bb

Att. 4

Staff Report

Origin

Hardev S. Chane, the owner, has applied to the City of Richmond for a Development Permit (DP) to facilitate the construction of a single detached house at 14511 Westminster Highway on a site zoned “Agriculture (AG1)” and designated as an Environmentally Sensitive Area (ESA). Location and aerial maps of the subject site are provided in Attachment 1.

The following servicing and utility connections will be addressed at the Building Permit (BP) stage:

- Water and storm system connections; and
- Street lighting review and installation of lighting, if required.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site is zoned “Agriculture (AG1)” and is designated in the Official Community Plan (OCP) as “Agriculture (AGR)”. Additionally, the site is located within the Agricultural Land Reserve (ALR). The subject site is currently vacant and with the exception of a temporary container and other removable equipment associated with farm related preparation north of the proposed farm home plate.

Development surrounding the subject site is as follows:

- To the North: A site zoned “Agriculture (AG1)” and designated as “Agriculture (AGR)” in the OCP. The property is located in the ALR and contains an agricultural operation.
- To the East: A property zoned “Agriculture (AG1)” and designated as “Agriculture (AGR)” in the OCP. The property contains a single detached house and a barn building. The property is located in the ALR.
- To the South: Across Westminster Highway, a site zoned “Agriculture (AG1)” and designated as “Agriculture (AGR)” in the OCP. The site is located in the ALR and contains an agricultural operation including several greenhouse buildings situated along the southwest corner of the property.
- To the West: A property zoned “Agriculture (AG1)” and designated “Agriculture (AGR)” in the OCP. The site is located in the ALR and contains a single detached house.

Staff Comments

The proposed development scheme attached to this report has addressed the environmental concerns and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the OCP and is generally in compliance with the “Agriculture (AG1)” zone.

Analysis

Conditions of Adjacency

- The proposed single-family dwelling would have a height of 9.0 m as permitted in the “Agriculture (AG1)” zone and would be compatible with the height of the single detached houses on the adjacent properties on the east and west of the lot.
- The proposed single-family dwelling would be situated 3 m from the east property line and would be located approximately 5.0 m away from the immediately adjacent single detached house located on 14531 Westminster Highway. The proposed house would be buffered from the neighbouring lot by landscaping proposed on the farm home plate along the east property line.
- The proposed house would be buffered from the house on the property to the west by a proposed farm access road. The proposed house would be approximately 20.0 m from the single detached house the western property at 14451 Westminster Highway. The proposed house would be set back approximately 165.0 m from the north property line and the agricultural operation on the neighbouring property north of the site at 14791 Westminster Highway.
- The applicant proposes to maintain the natural vegetation of the site along the north, east and west property lines, adjacent to the area of the property to be farmed. This vegetation is comprised of a mix of native and invasive shrubs and plants and the vegetation provide a natural buffer between the subject site and the neighbouring lots. The vegetation areas are also at a lower average elevation than the proposed farm area and the proposed farm home plate and would function as natural drainage for storm runoff. The applicant proposes to install fencing around these areas to further delineate them from the farming activity.
- The proposed farm home plate is situated approximately 14.0 m north of the front property line and as there is existing vegetation in the form of trees and low-lying vegetation along the front property line, the proposed single-family house would be buffered from the street (Westminster Highway).

Site Planning and Design, Parking and Access

- The proposed development includes a new single-family dwelling located on a farm home plate situated at the southeast section of the site. The proposed farm home plate and single family dwelling is located within an area designated as ESA. Residential uses on agricultural lands are subject to the City’s ESA Development Permit requirements.
- The property is currently accessible via an existing 4.5 m wide driveway. The Driveway crosses the area of the site which is designated as Riparian Management Area (RMA). The RMA includes a roadside watercourse which runs along the north side of Westminster Highway, including the frontage of the subject site. The RMA is comprised of a 5 m buffer measured from the top of the watercourse bank northward onto the subject site. The owner proposes to widen the existing driveway over the watercourse and the associated RMA from 4.5 m to 7.0 m to accommodate access to the farm home plate as well as to facilitate a gravel farm road to the farm area north of the farm home plate. Widening the existing driveway, which crosses over the RMA (and the watercourse therein) would be addressed as a component of the required Watercourse Crossing Permit application which is currently under review by City staff.

- The farm home plate is required to be contiguous and rectangular in shape, comprising of one side being on the front property line or the delineation of a Riparian Management Area (RMA) and on one side property line or the delineation of a RMA.
- The proposed farm home plate does not abut the RMA and is a non-rectangular shape. This arrangement is proposed by the owner in response to the need to maintain a level access for farm vehicles while also accommodating the raising of the farm home plate area to meet the required flood construction level.
- The application was referred to the City's Food and Agricultural Advisory Committee (FSAAC) for consideration and endorsement of the alternative location and shape of the farm home plate. The alternative farm home plate location and shape was presented to the Food FSAAC on September 11, 2025, and was supported. A copy of the minutes from the FSAAC meeting are attached (Attachment 3).

Floodplain Management

- The proposed development must meet the requirements of the Flood Plain Designation and Protection Bylaw 8204. The subject site is located in an area with a designated Flood Construction Level (FCL) of 3.0 m GSC. A flood plain covenant is required to be registered against the title prior to the issuance of the DP.

Environmentally Sensitive Area Assessment

- Approximately 0.8 Ha of the subject site is identified as "Old Fields and Shrublands" ESA, which are typically found in sites that have historically been farmed and left fallow.
- An Environmental Impact Assessment (EIA) prepared by a qualified environmental professional (QEP) was submitted by the owner, which states that the ESA designated lands had been previously disturbed by human actions such as an abandoned concrete slab and attempt at farming prior to the current owner taking ownership of the site. The EIA noted that no critical habitats or federally and provincially protected species were observed on-site and that the ESA is primarily a greenfield comprised of reed canary grass and patches of hardhack vegetation. Invasive species such as Himalayan blackberry and English Ivy were observed on-site, including within the ESA.
- The site includes a strip of existing vegetation, approximately 2.0 m in width, along the east and west property lines approximately 200 m north of the street frontage. This vegetation buffer is made up of a mix of native and invasive vegetation and is not proposed to be removed or enhanced as part of this ESA DP.
- The proposed farm home plate, which includes the proposed single-family dwelling and all non-farm use components within the farm home plate, would occur within an area of 1,000 m² of the ESA.
- The owner has provided a farm plan proposing to farm and cultivate the rear of the property north of the proposed farm home plate. Farming activities are not subject to an ESA DP and associated requirements as per Provincial right to farm legislation. In order to prepare the farm area, the owner has obtained a Notice of Intent (NOI) from the Agricultural Land Commission (ALC) to place fill on the lands for farming purposes.

Tree Inventory

- The owner has submitted a survey plan prepared by a Registered Surveyor, identifying a cluster of on-site bylaw-sized trees within the RMA along the Westminster Highway frontage (a mix of coniferous and deciduous species on both the neighbouring lot and the RMA) as well as one on-site bylaw-sized Red alder tree within the ESA, inside the proposed farm home plate area, and 12 bylaw-sized trees on the neighbouring property to the west.

Tree Retention

- The trees on the neighbouring property to the west are outside the proposed scope of the works pertaining to this development application and are to be retained.
- The cluster of trees within the RMA are proposed to be retained and are not impacted by the proposed widening of the existing driveway from 4.5 m to 7.0 m.

Tree Replacement

- A 39 cm Red alder tree is located within the proposed farm home plate, is in fair condition but in conflict with the required vehicular parking and circulation area in front of the proposed single detached house inside the farm home plate.
- As per the Tree Protection Bylaw No. 8057, a total of two (2) replacement trees are required on-site (2:1 replacement ratio). The owner is proposing to provide the replacement trees on-site as part of the ESA compensation package, which will be discussed further below.

Proposed ESA Compensation and Landscape Improvements

- The owner proposes to provide approximately 135 m² of landscaping area within the proposed farm home plate. This landscape package would be primarily comprised of 45 deciduous and coniferous tree species (Douglas fir, Paper birch, and Western red cedar), at a density of 1 tree per 3 m², as well native shrubs and vegetation which would be suitable for this site. Landscaping would be provided within a continuous 2 m wide strip of land along the northern, eastern and southern boundaries of the farm home plate.
- To account for the widening of the driveway crossing through the RMA, the owner proposes an ecological management within the RMA, as recommended by the owner's QEP. This management would be comprised of installation of tree protection fencing around the existing trees within the RMA, removal of invasive shrubs and plants from the RMA, and reseeding the RMA with native vegetation to enhance ecological health of the RMA.
- The RMA is approximately 176 m² and the proposed widening of the driveway crossing would necessitate encroachment into the RMA by approximately 14 m², resulting in a net RMA of approximately 162 m² which would be protected from further encroachment as well as be subject to invasive species removal and revegetation with native planting.
- Prior to issuance of the Development Permit, the applicant is required to submit a Landscaping Security in the amount of 100 per cent of the cost estimate provided by the QEP, including all materials, installation, and a 10 per cent contingency, for the proposed ecological restoration and overall site landscaping.

Site Servicing and Road Frontage Improvements

A Servicing Agreement will not be required for this development. Utility connections and any frontage improvements will be addressed at the Building Permit stage. These improvements are detailed in the Development Permit Considerations and would include but not be limited to the submission of a Fire Underwriter Survey (FUS), review of hydrant spacing on road frontage, an Erosion and Sediment control Plan for all on-site and off-site works if required at the building permit review stage (Attachment 4)

Financial Impact

This development application results in an insignificant Operational Budget Impact (OBI) for the off-site City infrastructure (items such as roadworks, waterworks, storm sewers, streetlights, and traffic lights).

Conclusion

As the proposed development would meet applicable policies and guidelines, staff recommend that the ESA DP be endorsed, and issuance by Council be recommended. A full list of the conditions and considerations which must be completed prior to council issuance are attached (Attachment 4).



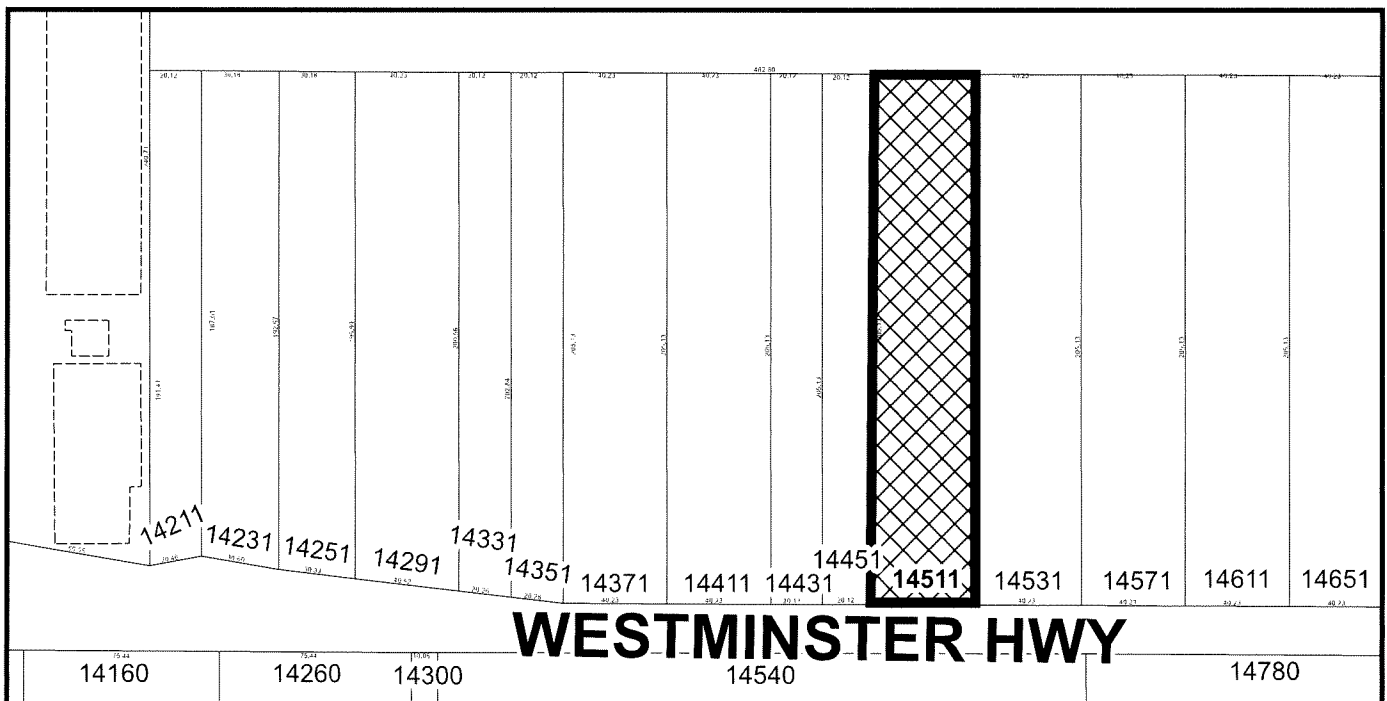
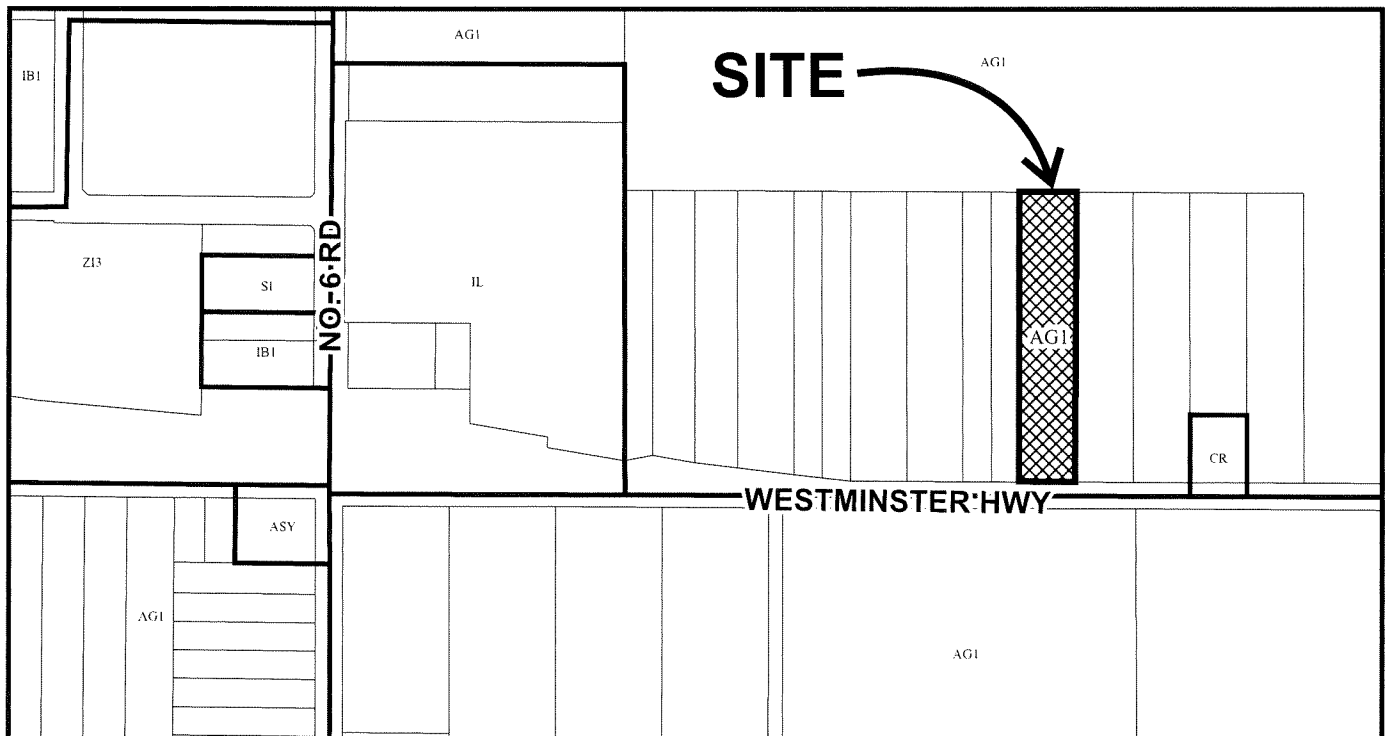
Babak Behnia
Planner 2
(604-204-8639)

BB:cas

- Att. 1: Location Map
 2: Development Application Data Sheet
 3: Excerpt from the Meeting minutes of the FSAAC (September 11, 2025)
 4: Development Permit Considerations



City of
Richmond



DP 22-022003

Original Date: 10/18/22

Revision Date:

Note: Dimensions are in METRES



City of
Richmond



DP 22-022003

Original Date: 09/22/25
Revision Date:

Note: Dimensions are in METRES



City of Richmond

Development Application Data Sheet

Development Applications Department

DP 22-0022003

Attachment 2

Address: 14511 Westminster Highway

Applicant: Hardev S. Chane Owner: Hardev S. Chane

Planning Area(s): East Richmond

	Existing	Proposed
Owner:	Hardev S. Chane	No Change
Site area (m²):	8,247 m ²	No Change
OCP Designation:	Agriculture (AGR)	No Change
Zoning:	Agriculture (AG1)	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 400 m ² (4,306 ft ²)	400 m ² (4,306 ft ²)	None permitted
Farm Home Plate Area:	Max. 1,000 m ² (10,764 ft ²)	1,000 m ² (10,764 ft ²)	None
Farm House Footprint:	Max. 60%	60%	None
Setback – to rear of Farm Home Plate:	Max. 75 m	51.0 m	None
Setback – Any portion of a Single Detached Housing	Max. 50 m	38.0 m	None
Setback – Front Yard	Min. 6.0 m	22.9 m	None
Setback – Side Yard [East]:	Min. 1.2 m	3.0 m	None
Setback – side Yard [West]:	Min. 6.0 m	15.7 m	None
Setback – Rear Yard:	Min. 10.0 m	170.0 m	None
Height (m):	Max. 9.0 m (2 storeys)	8.9 m	None

Excerpt from the Meeting Minutes of the
Food Security and Agricultural Advisory Committee (FSAAC)

Thursday, September 11, 2025 – 7:00 p.m.
Webex

Alternative Farm Home Plate Location (14511 Westminster Highway DP 22-012203)

Babak Behnia, Policy Planning, introduced the proposal and provided the following comments:

- Farm home plate refers to the portion of the lot that permits residential development. The farm home plate is required to be contiguous and rectangular in shape with one of its sides along the front property line or the delineation of a Riparian Management Area (RMA), and another of its sides along a side property line.
- Alternative locations for the farm home play may be considered but only for reasons that support active farming operations.
- In the case of the subject application, an alternative farm home plate location would allow for a less impactful degree of land raising. If not relocated and, thus, required to be contiguous and adjacent to the RMA boundary, the required raising would necessitate modification of the existing vegetation in the RMA or more complex ecological restoration after construction.

The applicant Hardev Chane provided a presentation on the application identifying:

- The intent is to have a residential structure on the property and farm the north part of the parcel.
- As part of development for the residential structure, the application includes Environmentally Sensitive Area (ESA) compensation and enhancing the RMA.
- The ALC has issued approval of a Notice of Intent to place fill on the parcel.
- The applicant looks forward to the opportunity to farm.

In response to questions from FSAAC members, the applicant provided the following comments:

- The applicant's family has some experience farming, but this will be a new experience for himself, and something he is excited to undertake.
- The applicant intends to build a farm building for drying and processing of produce.
- There is no expansion to either the farm home plate or the residential structure. The application for review from FSAAC is only for the alternative farm home plate location.

The Committee passed the following motion:

That the Food Security and Agricultural Advisory Committee endorse the Alternative Farm Home Plate Location application at 14511 Westminster Highway

Carried Unanimously



City of
Richmond

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 14511 Westminster Highway

File No.: DP 22-022003

Prior to approval of the Development Permit, the developer is required to complete the following:

1. **(Ecological Restoration and Landscaping Security)** Receipt of a Letter of Credit for Ecological Restoration and Landscaping in the amount of 100 per cent of the cost estimate provided by the Qualified Environmental Professional, including all materials, installation and a 10 per cent contingency.
2. **(Landscaping Agreement)** Registration of a legal agreement on Title to identify the proposed RMA enhancement and provide ESA landscaping within the proposed farm home plate as identified and recommended by Madrone Environmental Services Ltd. in their report dated June 24, 2025, The Agreement would also require a monitoring and annual reporting period of 3 years on the status of the landscaping and ecological enhancement by a QEP to be submitted to the City.
3. **(QEP Contract)** Submission of a Contract entered into between the applicant and a Qualified Environmental Professional (QEP) to monitor and provide annual reporting to the City on the ESA and RMA enhancement for three years following City approval of substantial completion.
4. **(Flood Covenant)** Registration of a flood plain covenant on title identifying a minimum habitable elevation of 3.0 m GSC.
5. **(Notice Fees)** Payment of all fees in full for the cost associated with the Development Permit Panel Meeting Notices, consistent with the City's Consolidated Fees Bylaw No. 8636, as amended.

Prior to Issuance of the Watercourse Crossing Permit the applicant will be required to:

1. Provide confirmation that the proposed Watercourse Crossing Permit is consistent with the Development Permit (DP 22-022003).

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. **[Site Servicing]** At the Developer's cost via City Work Order*, design and construct/install utility connections and frontage improvements, works include, but may not be limited to the following:

Water Works:

- a. Using the OCP Model, there is 490 L/s of water available at a 20 psi residual at the Westminster Hwy frontage. Based on your proposed development, your site requires a minimum fire flow of 95 L/s.
- b. At Developer's cost, the Developer is required to:
 - i. Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - ii. Review hydrant spacing on all road frontages and install new fire hydrants as required to meet City spacing requirements for the proposed land use.
 - iii. Provide a right-of-way for the water meter. Minimum right-of-way dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on

W2o-SD) + 0.5 m on all sides. Exact right-of-way dimensions to be finalized during the building permit process.

- iv. Cut and cap all existing water service connections and remove all water meters.
- c. At Developer's cost, the City will:
 - i. Complete all tie-ins for the proposed works to existing City infrastructure.
 - ii. Install a new 25mm diameter water service connection, complete with water meter and water meter box as per City of Richmond's specifications to service the proposed lot.

Storm Sewer Works:

- a. At Developer's cost, the Developer is required to:
 - i. Provide an erosion and sediment control plan for all on-site and off-site works, to be reviewed as part of the servicing agreement design.
 - ii. If the storm service connection IC is installed within the property line, a 3m Row will be required.
- b. At Developer's cost, the City will:
 - iii. Complete all tie-ins for the proposed works to existing City infrastructure.
 - iv. Install a new 100mm diameter storm service connection complete with inspection chamber as per City specifications for the proposed lot.

Sanitary Sewer Works:

- a. At Developer's cost, the Developer is required to:
 - i. Install a septic field to manage the proposed sites sanitary. The septic field must be reviewed by the City's building approval department.

Street Lighting:

- a. At Developer's cost, the Developer is required to:
 - i. Review street lighting levels along all road and lane frontages, and upgrade as required.

General Items:

- a. At Developer's cost, the Developer is required to:
 - i. Complete other frontage improvements as per Transportation requirements.
 - ii. Coordinate with BC Hydro, Telus and other private communication service providers:
 - To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To underground overhead service lines.
 - iii. Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
 - iv. Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into rights-of-ways must be reviewed by the City's Engineering Department.
 - v. Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other

Initial: _____

activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

2. **[Construction Parking and Traffic Management Plan]** Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. **[RMA Protection Fencing]** Installation of appropriate tree protection fencing around all vegetated areas and general RMA designated lands that are to be ecologically restored and remediated as part of the development prior to any construction activities, including building demolition, occurring on-site. The RMA protected areas would have to conform with areas outside the proposed watercrossing (7 m proposed driveway).
4. **[Construction Hoarding]** Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
5. **[Ecological Protection Fencing]** The owner is required to install and maintain protection fencing along the RMA, post driveway upgrade and RMA enhancement schemes as described in the report to the Development Permit Panel, as recommended by the Owner's QEP, and as per the requirements of the Watercourse Crossing Permit.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

[Signed copy on file]

Signed

Date



City of Richmond

Development Permit

No. DP 22-22003

To the Holder: Hardev S. Chane and Gurmeet K. Chane
9100 GLENDOWER DR
RICHMOND, BC
V7A 2Y3

Property Address: 14511 Westminster Highway
Richmond, BC V6V 1A4

Address: 14511 Westminster Highway
Richmond, BC V6V 1A4

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #3, attached hereto.
4. As a condition of the issuance of the Permit, the City is holding a security in the amount of 100 per cent of the cost estimate provided by the QEP, including all materials, installation, and a 10 per cent contingency, to ensure the ecological restoration and enhancement as well as landscaping within the farm home plate on the site is in accordance with the terms and conditions of this Permit. the condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

No. DP 22-022003

To the Holder: Hardev S. Chane and Gumreet K. Chane
9100 Glendower Dr Richmond, BC V7A 2Y3

Property Address: 14511 Westminster Highway
Richmond, BC V6V 1A4

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Richmond, BC V6V 1A4

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

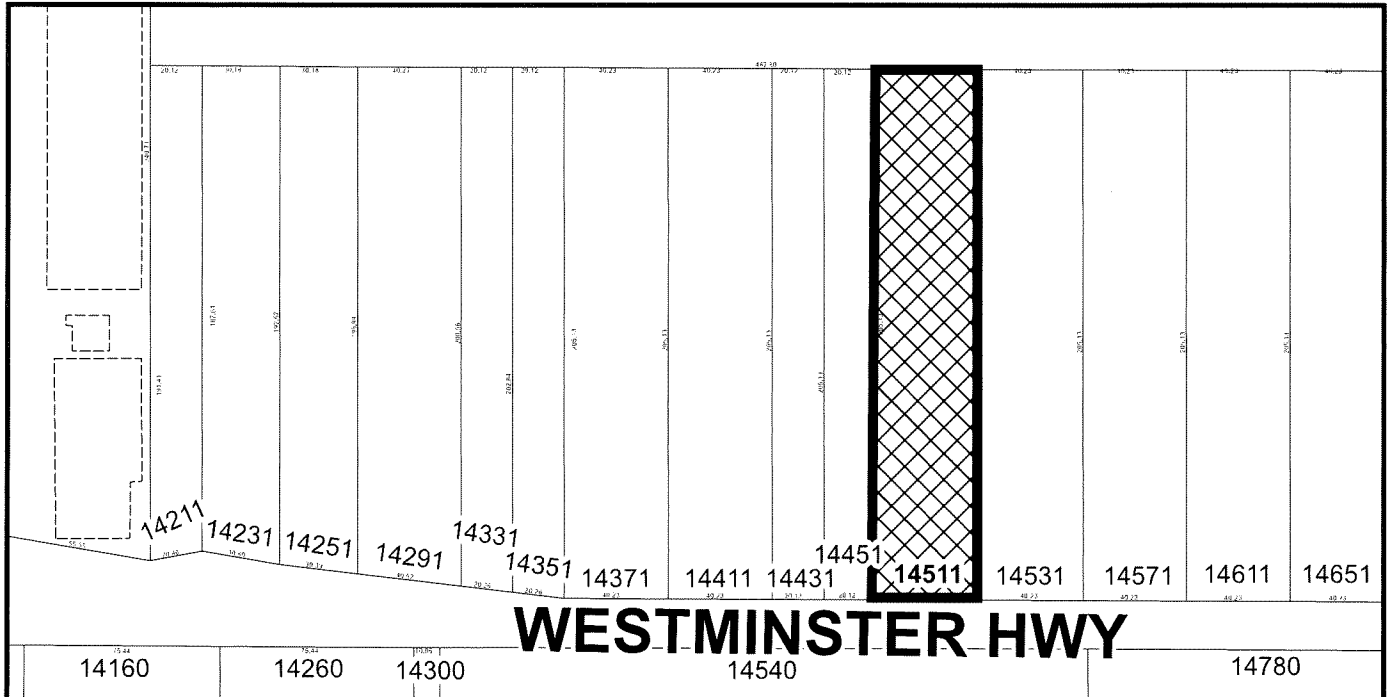
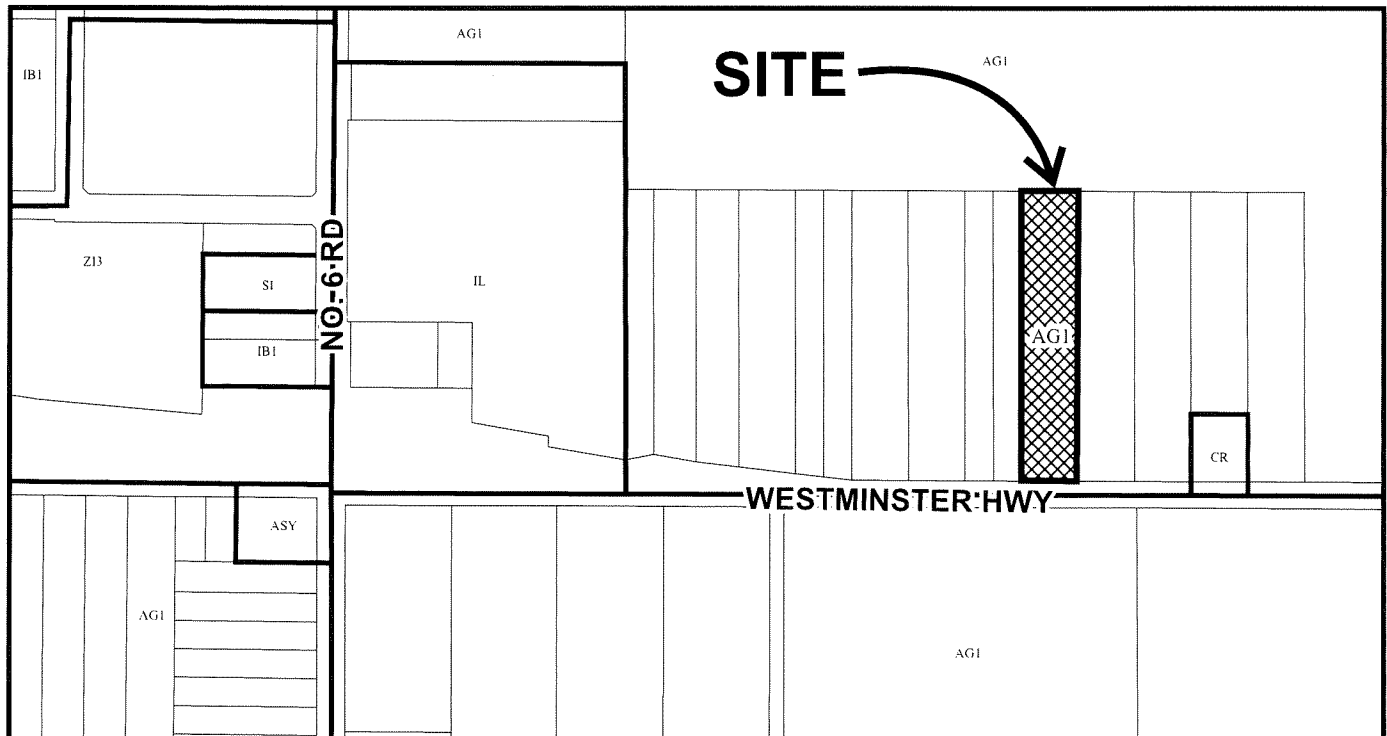
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

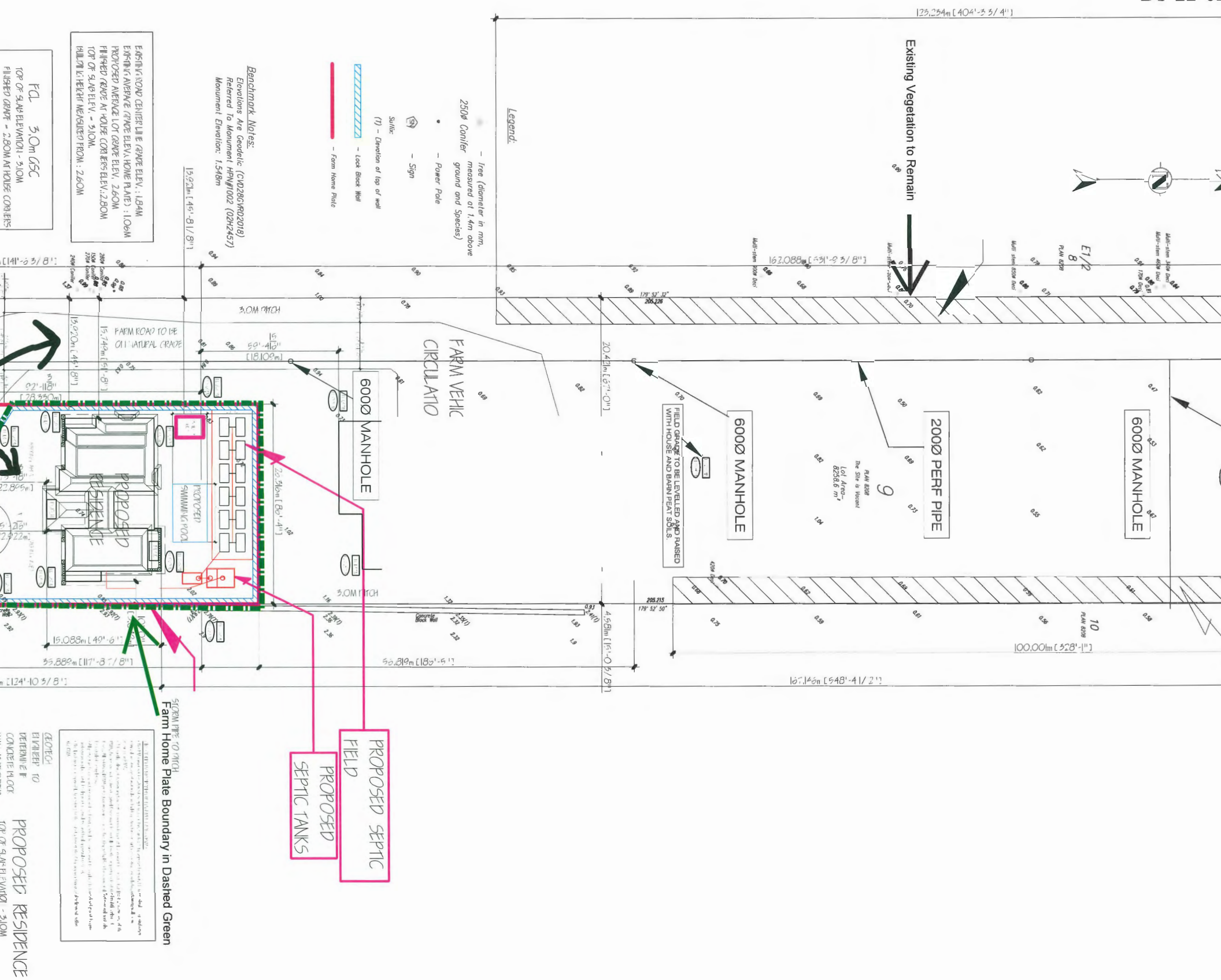


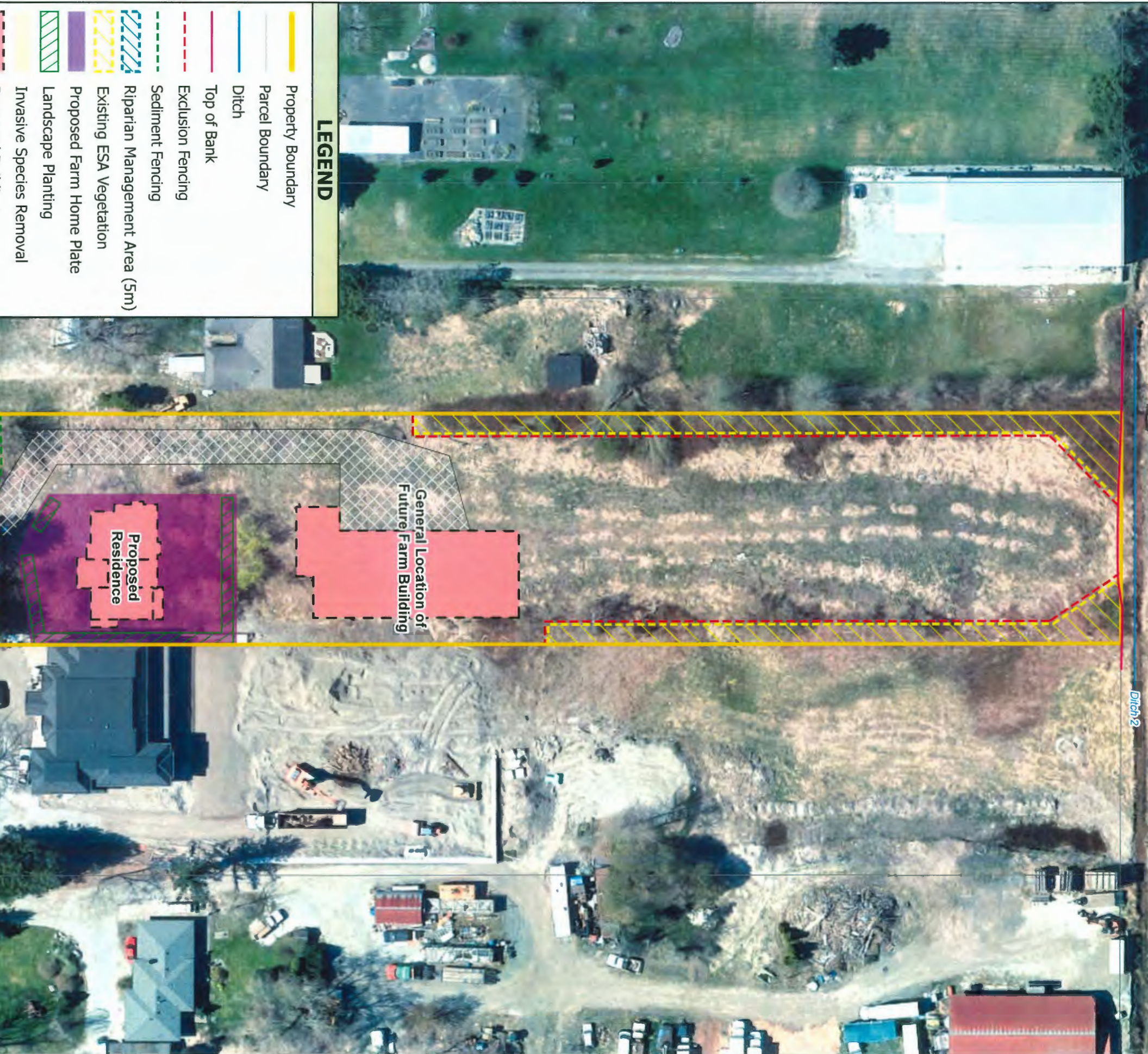
DP 22-022003
SCHEDULE "A"

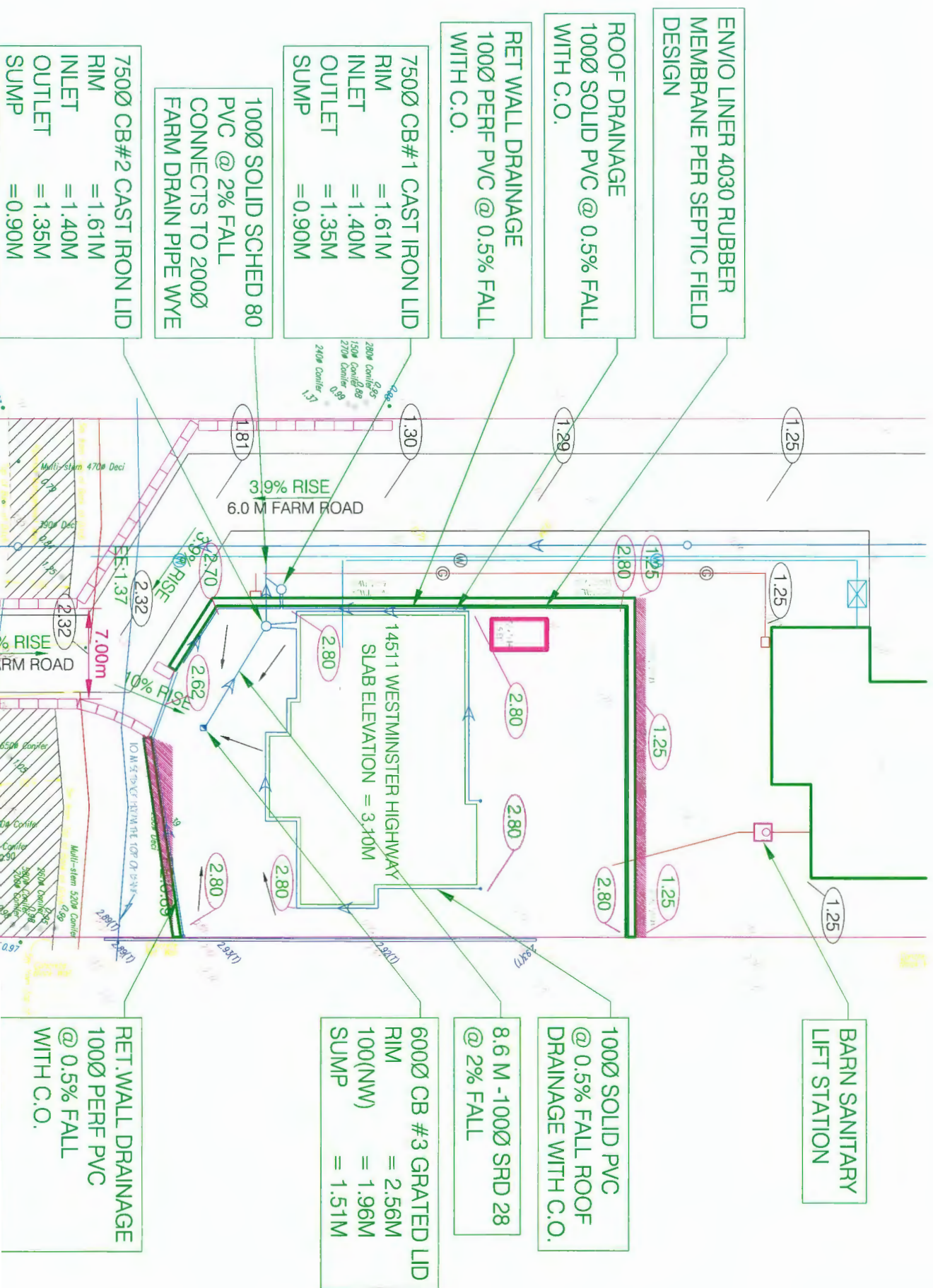
Original Date: 10/18/22

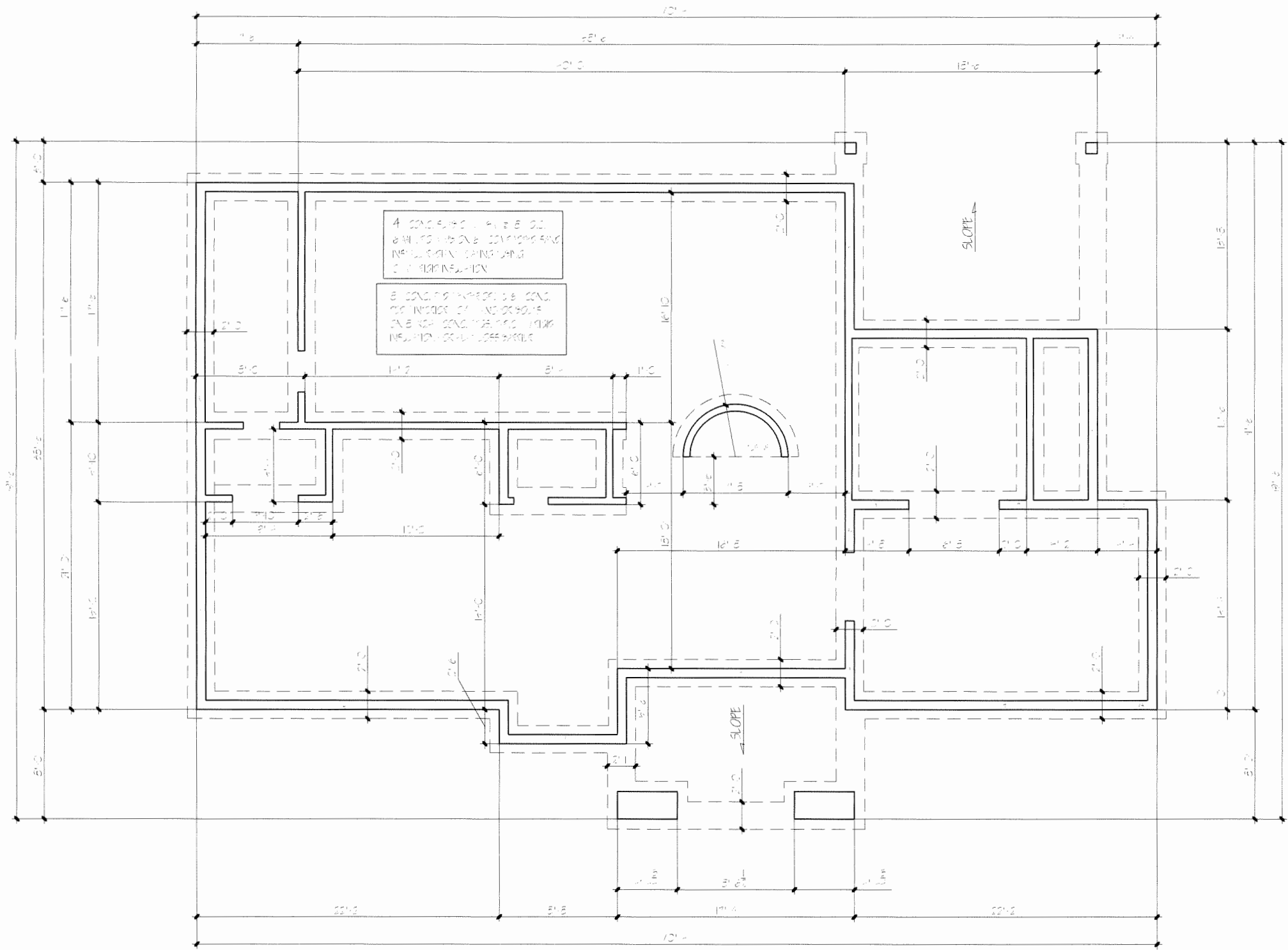
Revision Date:

Note: Dimensions are in METRES









REFER TO STRUCTURAL DRAWINGS FOR ACCURACY

FOUNDATION PLAN

SCALE 1/4" = 1'-0"

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NOTE: TO INSTALL A FAN FOR THE FUTURE ACTIVE DEPRESSURIZATION SYSTEM TO HAVE ACCESSIBLE SPACE 1.2m X 0.5m AROUND THE VENT STACK OR SPACE INCLUDING A PREWIRED ELECTRICAL OUTLET (7.2.5.1 Document-CAN/CGSB-149.11-2019 of CGSB)

12" (0.30m) VERTICAL CLEARANCE ABOVE THE ROOF AT THE POINT OF PENETRATION

24" (0.60m) VERTICAL CLEARANCE ABOVE WINDOWS OR DOORS

36" (0.90m) VERTICAL CLEARANCE ABOVE MECH. AIR SUPPLY INLET(AIR INTAKE)

9.84' (3.00m) HORIZONTAL CLEARANCE FROM WINDOWS, DOORS OR MECH. AIR SUPPLY INLET

9.84' (3.00m) HORIZONTAL CLEARANCE FROM A VERTICAL WALL THAT EXTENDS ABOVE THE ROOF PENETRATED

NOTE: MIN. LENGTH OF BURIED PIPE BE 10 FEET FOR EVERY 492 sqft. OF BUILDING FOOTPRINT (section # 7.1.2.6.2 of Document-CAN/CGSB-149.11-2019 of CGSB)

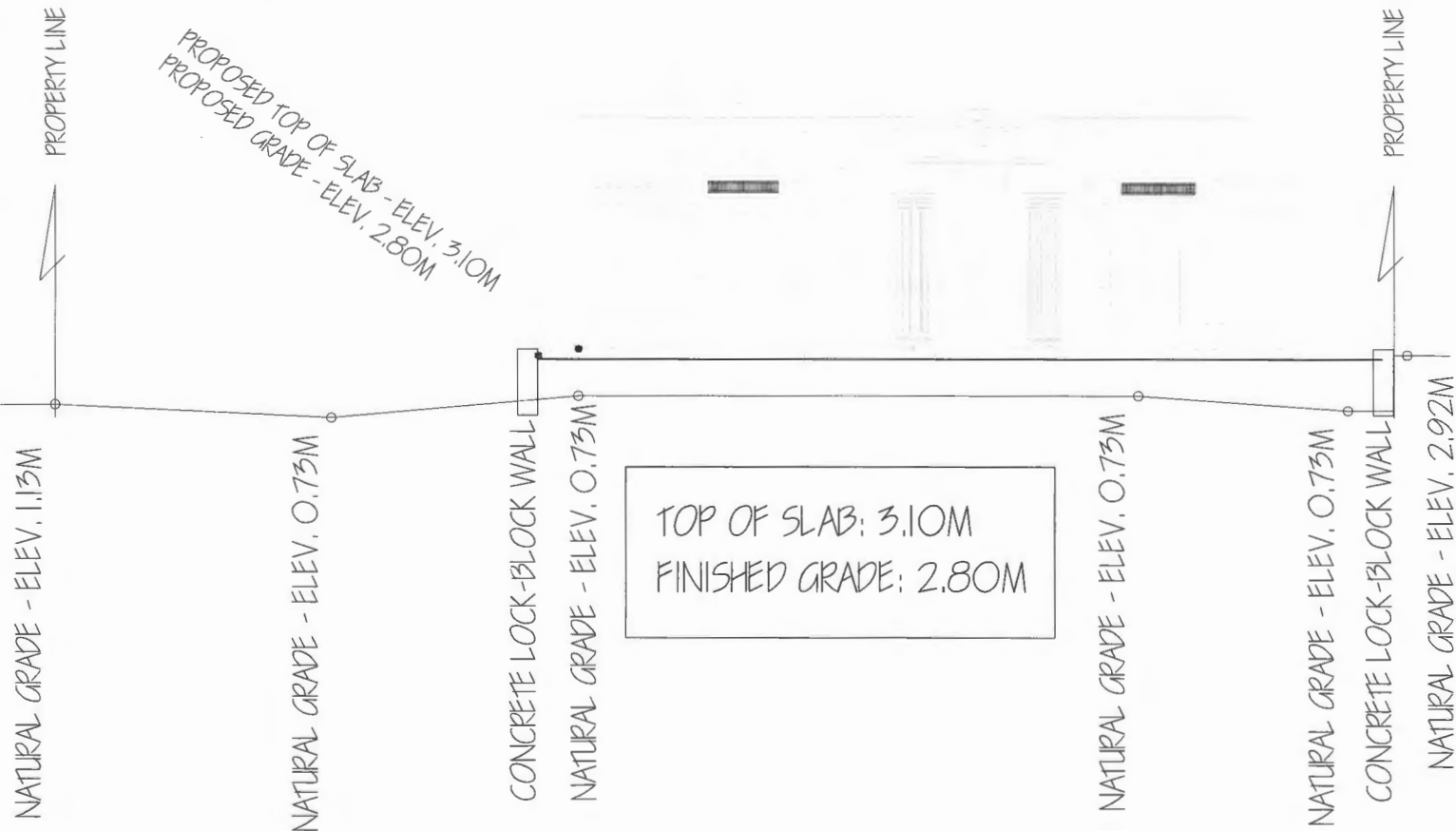
BURIED PIPES BE INSTALLED AT LEAST 1% SLOPE TO RETURN WATER TO SOIL (section # 7.1.3.1.9 of Document-CAN/CGSB-149.11-2019 of CGSB)

CROSS-SECTION

SCALE 1/4" = 1'-0"

GAS PERMEABLE LAYER
4" (100mm) COURSE CLEAN GRANULAR MATERIAL
NOT CONTAINING MORE THAN 10% OF MATERIAL
PASSING THROUGH 4mm SIEVE
9.13.4.3(1) & 9.16.2.1(1).

BUILDING HEIGHT MEASURED FROM ELEV.: 2.80M



SITE PROFILE

SCALE 1/8" = 1'-0"

BUILDING SPECIFICATIONS:

ROOFING: ASPHALT SHINGLES ON 1"x4" STRAPPING / 1"x2" CROSS-STRAPPING UNDERLAY, 1/2" OSB ON PRE-ENGINEERED TRUSSES @ 24" O.C. R-60 BLOWN INSULATION ON 6 MIL POLY VB ON 5/8" DRYWALL. FLAT DECK ROOF: TJI/ TRUSS @ 16" O.C. W/ R28 BATT VENT 1/300. PROVIDE MINIMUM 22"x28" ATTIC ACCESS C/ W WEATHER STRIP.

EAVES: 2"x6" OVER 2"x10" FASCIA BOARD, HIDDEN GLITTERS, VENTED ALUM. OR WOOD SOFFITS

EXTERIOR WALLS: HARDI-BOARD OR STUCCO ON LATH, ON PAPER-BACK STUCCO WIRE ON MIN. 3/8" PRESSURE TREATED STRAPPING @ 16 O.C. MECHANICALLY FASTENED ON SHEATHING

MEMBRANE ON 1/2" PLYWOOD SHEATHING ON 2X8@24" O.C. R34 SPRAY FOAM ON 6 MIL POLY VB ON 1/2" DRYWALL. HEADER: RIM BOARD, R24 INSULATION

FOR RAIN SCREEN DETAIL SEE SHEET 3.

INTERIOR WALLS: 2"x4" OR 2"x6" STUDS @ 16" O.C., 1/2" DRYWALL (BOTH SIDES)

FLOORING: FINISHED FLOORING ON 5/8" T&G PLYWOOD, 1/2" CONCRETE TOPPING, 12" JOISTS @ 16" O.C. C/ W 2"x2" CROSS-BRIDGING @ 6'-6" O.C. MIN. R-12 INSULATION (OPTIONAL) ON 1/2" PLYWOOD. INSTALL RADIANT HEATING TUBING C/ W/ SUPERLITE CONCRETE FLOORING. 11-7/8" TJI@16" O.C. W/ R28 INSULATION.

STAIRS: 10" TREAD C/ W 1" NOSING, ± 7/4" RISER, HANDRAILS TO CODE

FOUNDATION: 4" CONC. SLAB IN LIVING AREA, 6 MIL POLY VB - R24 RIGID INSULATION, BELOW THE ENTIRE SLAB AND R3 SLAB EDGE/ END INSTALL RADIANT HEATING TUBING.

FOOTINGS: 8" CONCRETE PEDESTAL COMPLETE WITH ANCHOR BOLTS ON 8"x24" CONCRETE FOOTINGS. REBAR TO ENGINEERS SPECS. NO CALCULATE FOR VENTILATION. 2"x18" FASCIA BOARD

WINDOWS: TRIPLE GLAZE, CASEMENT, LOWE, ARGON GAS.

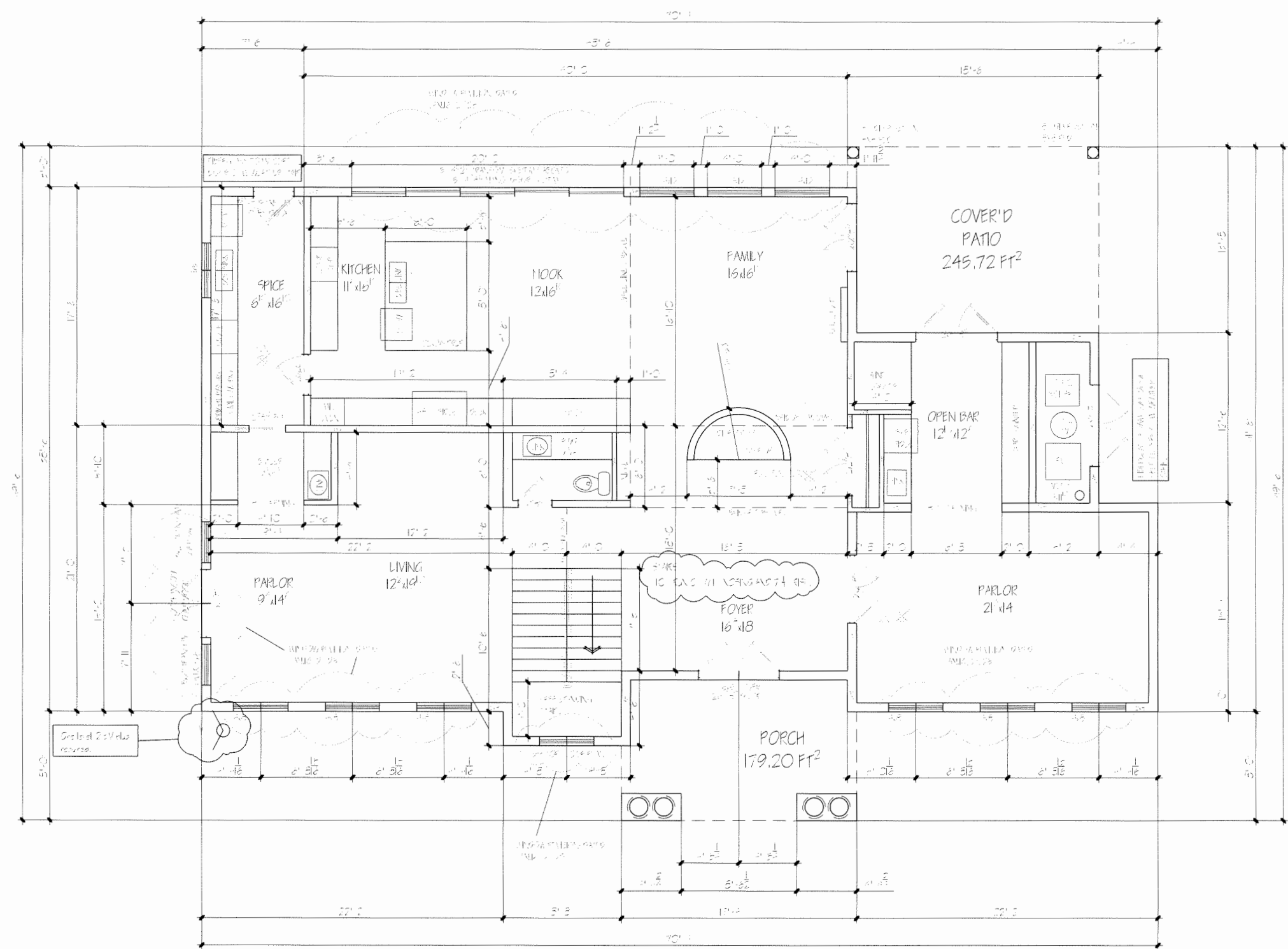
DOORS: TRIPLE GLAZE, CASEMENT, LOWE, ARGON GAS.

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LOT AREA: 88,897.74 Ft² (8,258.6 M²)
 ALLOWABLE FAR: 4,305.71 Ft² (400 M²)
 ACTUAL FAR: 4,305.20 Ft² (399.96 M²)

BREAKDOWN:
 MAX. FAR PERMITTED ON MAIN FLOOR (60%) : 2,583.42 Ft² (240 M²)
 PROPOSED FAR ON MAIN FLOOR : 2,397.87 Ft² (222.76 M²)
 PROPOSED FAR ON TOP FLOOR : 1,905.76 Ft² (177.05 M²)
 PROPOSED FAR (TOTAL) : 4,303.63 Ft² (399.81 M²)

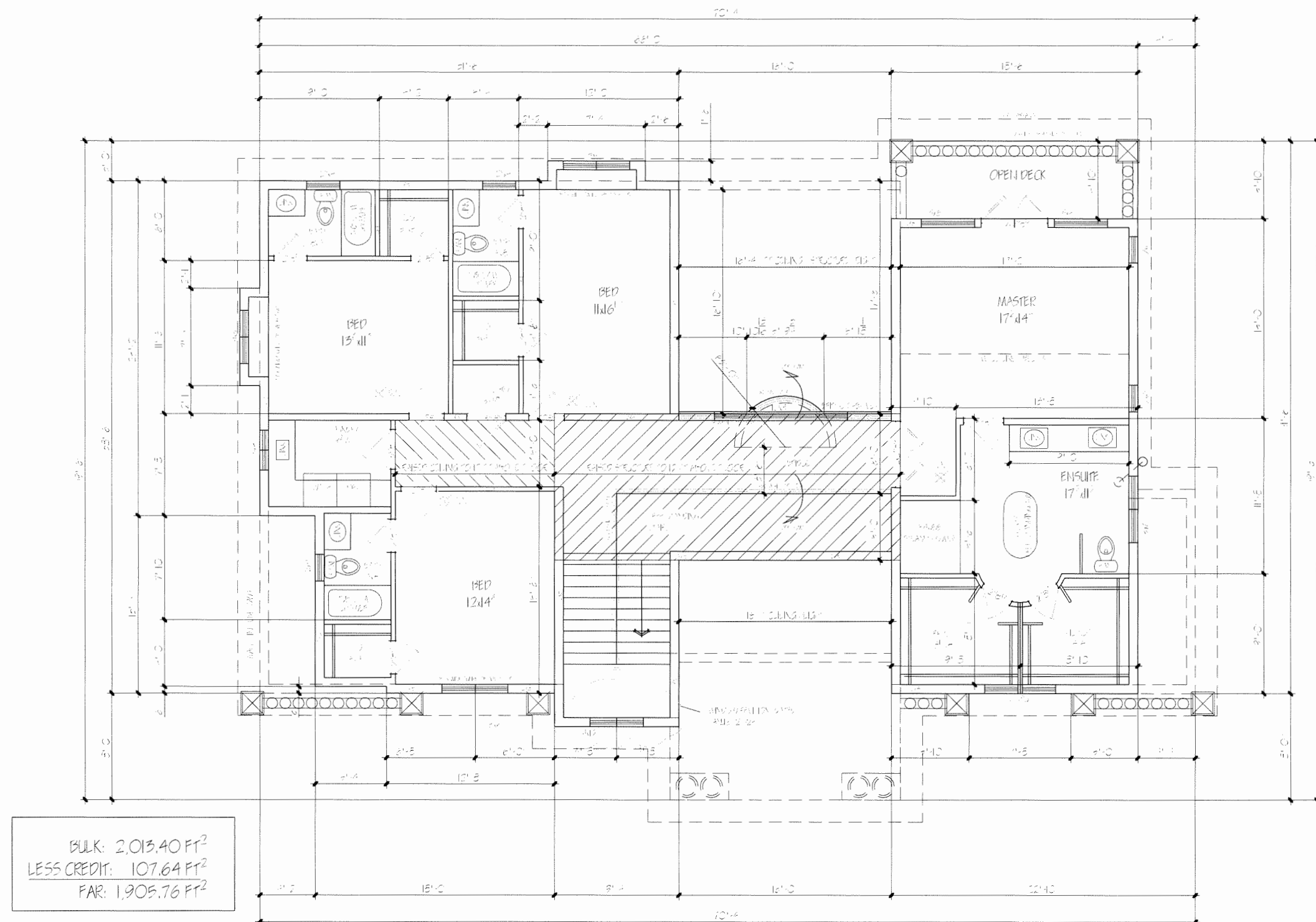
FAR: 2,397.87 Ft²
 PORCH: 179.20 Ft²
 COVERED PATIO: 245.72 Ft²
 SITE COVERAGE : 2,822.79 Ft²



GROUND FLOOR PLAN (12'-0" CEILING)

SCALE 1/4" = 1'-0"

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 14511 Westminster Hwy - Sh. 6



TOP FLOOR PLAN (10' - 0" CEILING)

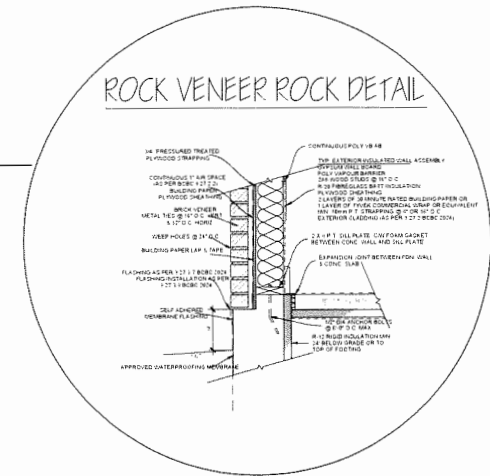
SCALE 1/4" = 1' - 0"

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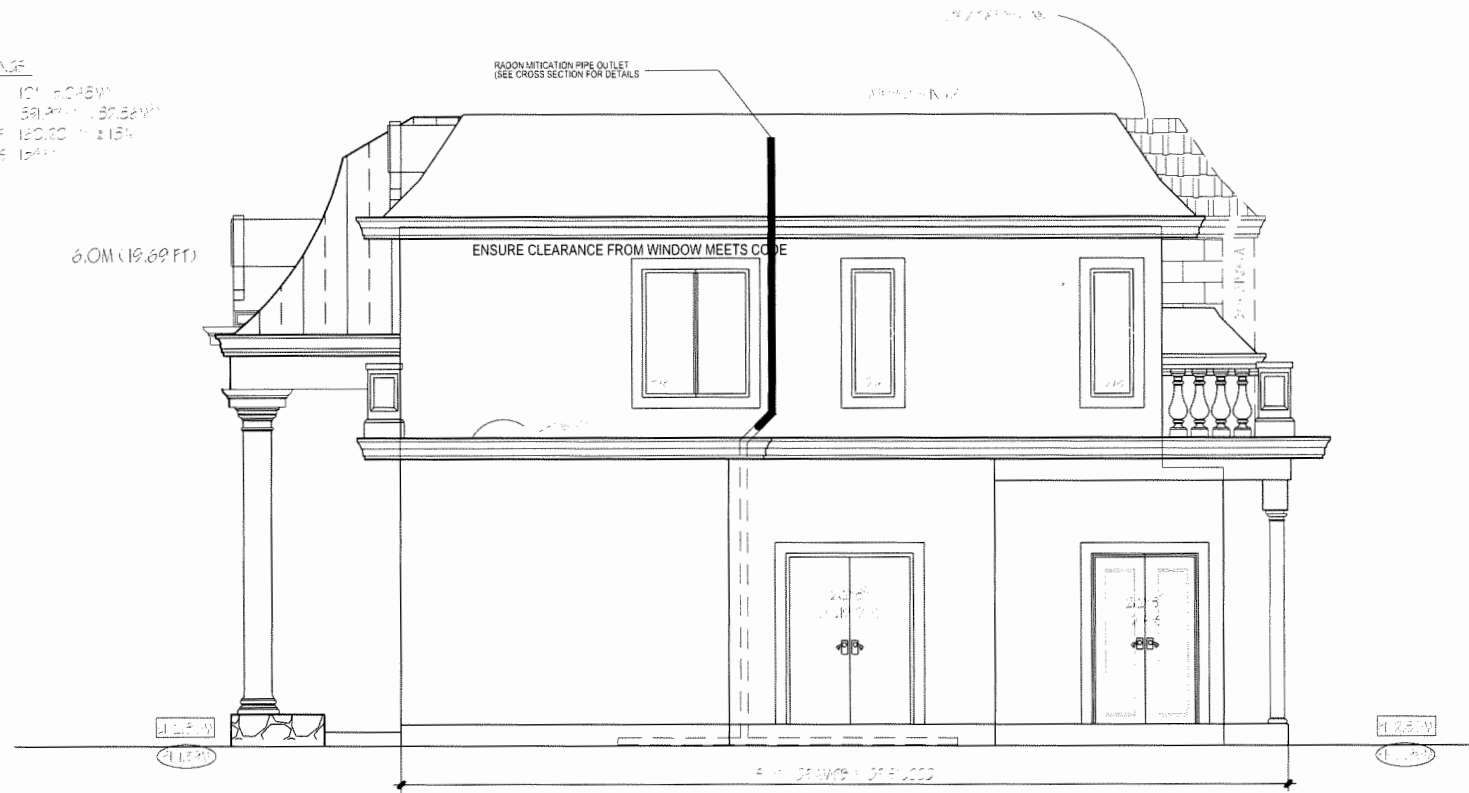


FRONT VIEW (SOUTH)

SCALE 1/4" = 1'-0"



ARCHITECT'S CHANGE
 WINDOW FRAME 10' 10.45M
 WALL 58' 1.70M
 ROOF 12' 3.66M
 ROOF 12' 3.66M

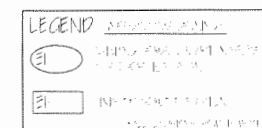
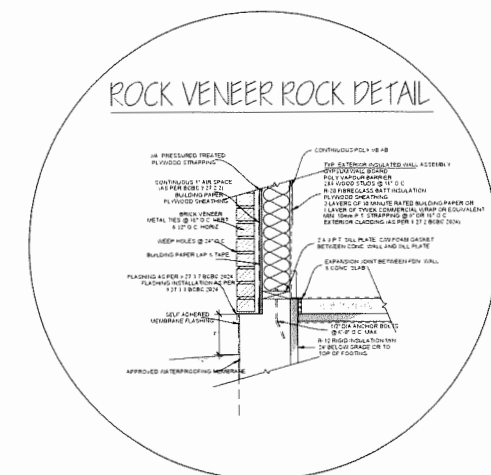


SIDE VIEW (EAST)

SCALE 1/4" = 1'-0"

LEGEND	ARCHITECT'S CHANGE
11.5	11.5' 11.5' 11.5'
11.5	11.5' 11.5' 11.5'

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 14511 Westminster Hwy - Sk. 8



Ventura design
14511 Westminster Hwy - Sh. 9