



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Thursday, October 16, 2025
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on September 10, 2025.*



1. DEVELOPMENT PERMIT DP 25-007857
(REDMS No. 8142278)

APPLICANT: Pacific West Architecture Inc.

PROPERTY LOCATION: 8251 Alexandra Road

Director's Recommendations

That a Development Permit be issued which would permit exterior renovations to the existing building at 8251 Alexandra Road on a site zoned "Auto- Oriented Commercial (CA)".



2. New Business

3. Date of Next Meeting: October 29, 2025

ADJOURNMENT



**Development Permit Panel
Wednesday, September 10, 2025**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Wayne Craig, General Manager, Planning and Development, Chair
Marie Fenwick, Director, Arts, Culture and Heritage
Milton Chan, Director, Engineering

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on August 27, 2025 be adopted.

CARRIED

1. DEVELOPMENT PERMIT 24-012258
(REDMS No. 8078092)

APPLICANT: Jim Ralph

PROPERTY LOCATION: 3200 No. 3 Road

INTENT OF DEVELOPMENT PERMIT:

Permit the construction of a hotel and residential development at 3200 No. 3 Road on a site zoned "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)".

Development Permit Panel

Wednesday, September 10, 2025

Applicant's Comments

Jim Ralph, of Pinnacle International, introduced the project, and Doug Nelson, of Bingham + Hill Architects, and Dylan Chernoff, of Durante Kreuk Ltd., with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the application, highlighting the following:

- in 2022, a Development Permit (DP 18-821292) was issued by Council for Phase 4 (the subject phase, which includes Building K and Building L), the final phase of the multi-phase Pinnacle Centre at Capstan Village and a Building Permit was subsequently issued later that year;
- in 2024, a Development Permit (DP 24-012258) application proposing changes to the previously approved DP (DP 18-821292) was considered and endorsed by the Development Permit Panel which includes, among others, changing the use and form of Building L from residential to hotel use;
- the subject proposal is proposing further changes affecting both Building K and Building L as part of the previously endorsed DP 24-012258;
- proposed architectural changes include, among others, revisions to the façades of Building K and Building L, modifications to the east elevation of the development adjacent to the auto court, revisions to the residential and hotel floor plans, and changing the arrangement of indoor amenity spaces;
- proposed change of material for the exterior wall at the northeast corner of Building L from metal to glass spandrel to deter graffiti and address Panel concerns at the previous consideration of the subject Development Permit application;
- proposed landscape changes include, among others, relocating the swimming pool and outdoor deck from the podium level to the rooftop of Building L and associated changes to the landscaping on the podium, increasing the number of private outdoor residential terraces on the rooftop of Building K, landscape changes at the entrance to and in the auto court, and installing a planter at the base of the wall at the northeast corner of Building L to restrict access to the wall to avoid graffiti; and
- there will be no changes to the proposed use, building height, number of storeys, gross floor area, and materials and colours of Building K and Building L.

Development Permit Panel

Wednesday, September 10, 2025

Staff Comments

Joshua Reis, Director, Development, noted that (i) the construction of Buildings K and L is currently underway, (ii) there is a Servicing Agreement associated with the proposed development including utility works, frontage improvements including the future road improvement between No. 3 Road and Carscallen Road, and construction of adjacent parks, (iii) the proposed hotel use, height and densities are consistent with the zoning of the subject site, (iv) the applicant is required to register a legal agreement to ensure that the rooftop area is used in a manner that is consistent with the Aeronautical Zoning Regulations applicable to the site with respect to height, (v) the applicant has agreed to register a legal agreement regarding the use of the hotel suites and units to ensure that those units will not be stratified, and (vi) the applicant's consultants have confirmed that the relocation of the pool to the upper level of Building L is structurally feasible.

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) a number of residential studio units have been combined to create one-bedroom units, thereby reducing the number of residential units while maintaining their gross floor area, (ii) the relocation of the swimming pool from the podium to the rooftop of Building L is proposed to provide for a bigger pool due to the large number of hotel units proposed, avoid the noise from the Skytrain, and allow more sunlight exposure into the pool and deck area, (iii) the planter along the wall at the northeast corner of Building L is proposed to be installed to limit access to the blank wall to deter graffiti, (iv) the terraces on the rooftop of Building K are private outdoor spaces and are not intended for shared use, and (v) the applicant is applying for air space parcel subdivision to separate the residential units.

Correspondence

None.

Gallery Comments

None.

Panel Discussion

The Panel expressed support for the proposal, noting the applicant's attention to detail. Additionally, the Panel encouraged the applicant to work with staff regarding their application for air space parcel subdivision.

Development Permit Panel

Wednesday, September 10, 2025

Panel Decision

It was moved and seconded

That a Development Permit (DP) be issued which would permit the construction of a hotel and residential development at 3200 No. 3 Road on a site zoned "Residential/Limited Commercial and Artist Residential Tenancy Studio Units (ZMU25) – Capstan Village (City Centre)".

CARRIED

2. DEVELOPMENT VARIANCE PERMIT 25-019257 (REDMS No. 8132067)

APPLICANT: Site Path Consulting Ltd.

PROPERTY LOCATION: 4611 Viking Way

INTENT OF DEVELOPMENT PERMIT:

1. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum permitted height for an accessory structure from 20.0 m to 27.0 m, to facilitate construction of a telecommunication monopole tower on a site zoned "Industrial Business Park (IB1)"; and
2. Grant of concurrence by Richmond City Council to the proposed telecommunication monopole tower at 4611 Viking Way.

Applicant's Comments

Brian Gregg, of Site Path Consulting, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 2), provided background information on the application including the necessity for installing the proposed telecommunication tower, coverage objectives, rationale for selecting the proposed site, and tower design and site plan, highlighting the following:

- there is increasing demand for network connection driven by the rising number of data-intensive devices such as smartphones, tablets and laptops;
- the proposed monopole tower would infill existing coverage gaps in the light industrial and commercial areas including the business parks surrounding the proposed location of the tower;
- the proposed site was selected as the installation of the proposed tower is consistent with the zoning of the site and complies with the requirements of Council Policy 5045 - Telecommunications Antenna Consultation and Siting Protocol;
- the applicant has tried to look for opportunities for co-location on existing towers in nearby areas but was unsuccessful as those towers did not have sufficient space available at the required elevation needed for their infrastructure;

Development Permit Panel

Wednesday, September 10, 2025

- a flush-mounted monopole tower is proposed which provides more visual interest than other tower designs;
- cedar fencing and hedge planting are proposed to provide screening to the tower from the street and enhancements to existing on-site landscaping are also proposed; and
- the proposed tower has been approved by Transport Canada and NAV Canada and had no concerns with regard to its proposed height.

Staff Comments

Mr. Reis noted that (i) cedar fencing and additional landscaping are proposed to further screen the proposed tower at ground level, particularly from Highway 99, (ii) the existing on-site landscaping will be retained and additional planting is proposed, (iii) the proposed tower structure will occupy approximately three parking stalls on the subject site which continues to be compliant with its zoning and required parking under the City 's Zoning Bylaw after the installation of the facility, and (iv) the applicant has confirmed that the proposed tower can support and accommodate future co-location of future antennas.

Panel Discussion

In reply to queries from the Panel, the applicant noted (i) the proposed tower does not require approval from the Canadian Radio-Television and Telecommunications Commission (CRTC), and (ii) should another network provider make a co-location request for the subject tower in the future, they will need to submit a co-location request to the Telus co-location department in accordance with well established procedures, and as per federal tower sharing requirements, Telus would be obligated to respond to a request for co-location and offer a position on the tower.

Correspondence

None.

Gallery Comments

None.

Development Permit Panel
Wednesday, September 10, 2025

Panel Decision

It was moved and seconded

1. *That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum permitted height for an accessory structure from 20.0 m to 27.0 m, to facilitate construction of a telecommunication monopole tower on a site zoned "Industrial Business Park (IB1)"; and*
2. *That Richmond City Council grant concurrence to the proposed telecommunication monopole tower at 4611 Viking Way.*

CARRIED

3. New Business

It was moved and seconded

That the Development Permit Panel meeting tentatively scheduled on Wednesday, September 24, 2025, be cancelled.

4. Date of Next Meeting: October 16, 2025

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (4:14 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, September 10, 2025.

Wayne Craig
Chair

Rustico Agawin
Committee Clerk

**PINNACLE CENTRE
@ CAPSTAN VILLAGE: PHASE 4
PROPOSED MINOR AMENDMENTS**
3200 No. 3 Rd. Richmond BC

**DP 18-821292 & 24-012258
DP Panel Presentation: Sep. 10, 2025**



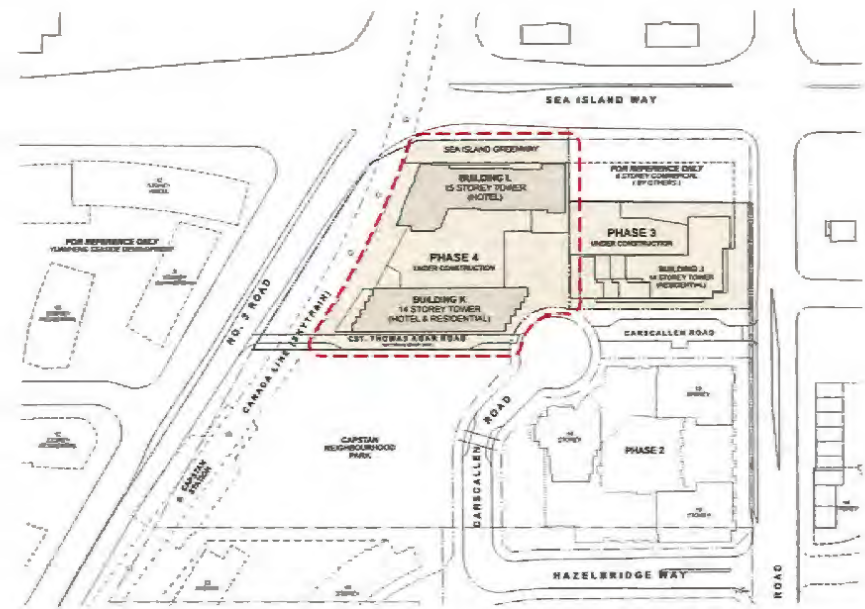
**DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025**

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

bingham hill



LOCATION MAP



CONTEXT PLAN

LOCATION PLAN

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

bingham hill
architects
 100-1000 West 10th Avenue
 Vancouver, British Columbia
 Canada V6H 2A4
 TEL: 604.275.1000
 WWW.BINGHAMHILLARCHITECTS.COM



VIEW FROM SEXSMITH & SEA ISLAND WAY



VIEW FROM NO. 3 ROAD & SEA ISLAND WAY



VIEW FROM NO. 3 ROAD LOOKING NORTH



VIEW FROM NO. 3 ROAD LOOKING SOUTH



VIEW FROM NO. 3 ROAD LOOKING NORTH



VIEW FROM NO. 3 ROAD LOOKING SOUTH

CONTEXT / STREETVIEW

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

bingham-hill
 architects
 111-1124 St. Johns Street
 Vancouver, British Columbia
 Canada V6E 2E8
 Tel: 604.681.0884
 Fax: 604.681.0885



PHASE 4: BUILDING K
September 5, 2025



PHASE 4: BUILDING L
September 5, 2025



PHASE 3
July 10, 2025



PHASE 3
July 10, 2025

CURRENT SITE CONDITION

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

bingham:hill
 architects
 601-750-0700
 3200 No. 3 Road, Richmond BC
 V6X 3E9
 www.binghamhill.ca



APPROVED DP

	BUILDING K	BUILDING L
ZONING BYLAW:	ZMU25	ZMU25
APPROVED USES:	• RESIDENTIAL • HOTEL	• HOTEL
GROSS FLOOR AREA:	26,878.9 m ²	
BUILDING HEIGHT:	47.0m	47.0m
NO. STOREYS:	14	15
NO. RESIDENTIAL UNITS	115	N/A
FAMILY UNITS	41.7% (48)	N/A
NO. HOTEL SUITES	132	315



PROPOSED REVISIONS

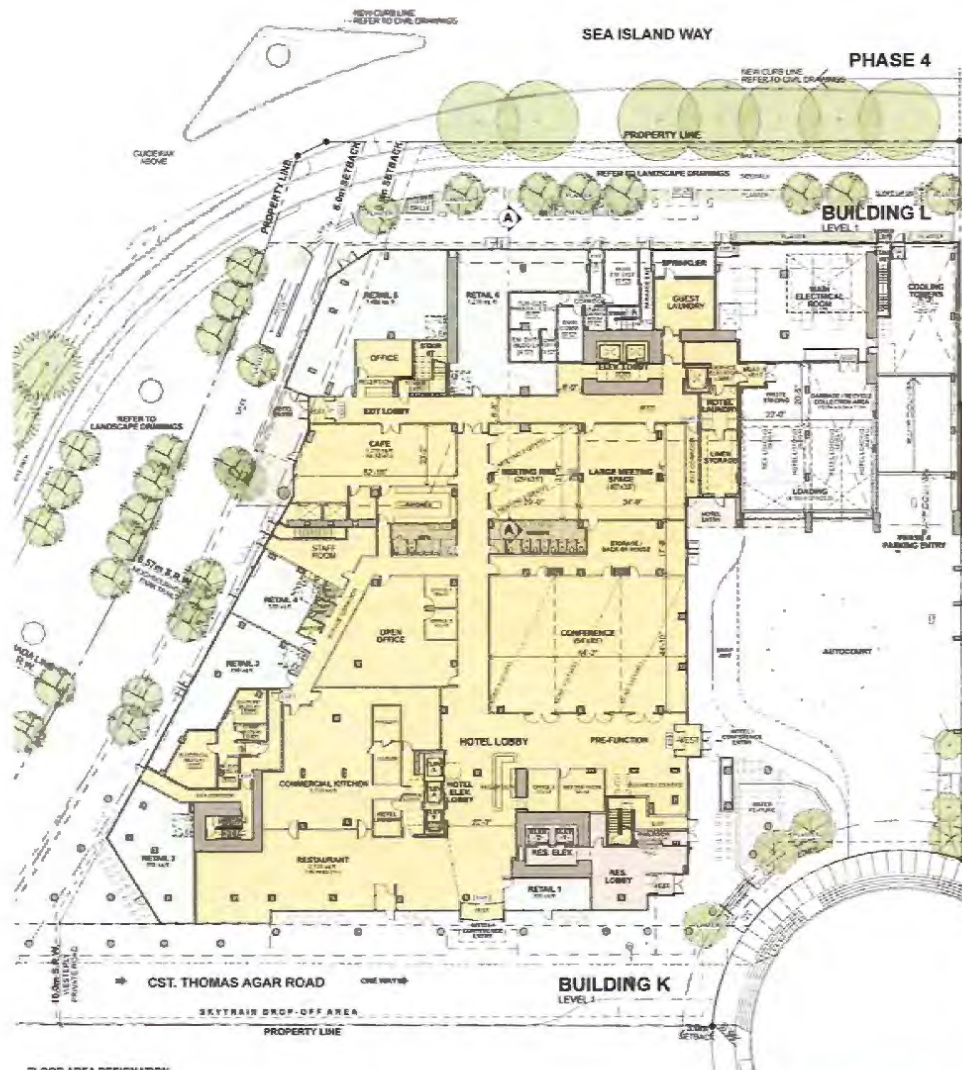
	BUILDING K	BUILDING L
ZONING BYLAW:	ZMU25	ZMU25
PROPOSED USES:	UNCHANGED	UNCHANGED
GROSS FLOOR AREA:	UNCHANGED	
BUILDING HEIGHT:	UNCHANGED	UNCHANGED
NO. STOREYS:	UNCHANGED	UNCHANGED
NO. RESIDENTIAL UNITS	97	N/A
FAMILY UNITS	70.1% (68)	N/A
NO. HOTEL SUITES:	143	351

SUMMARY STATISTICS

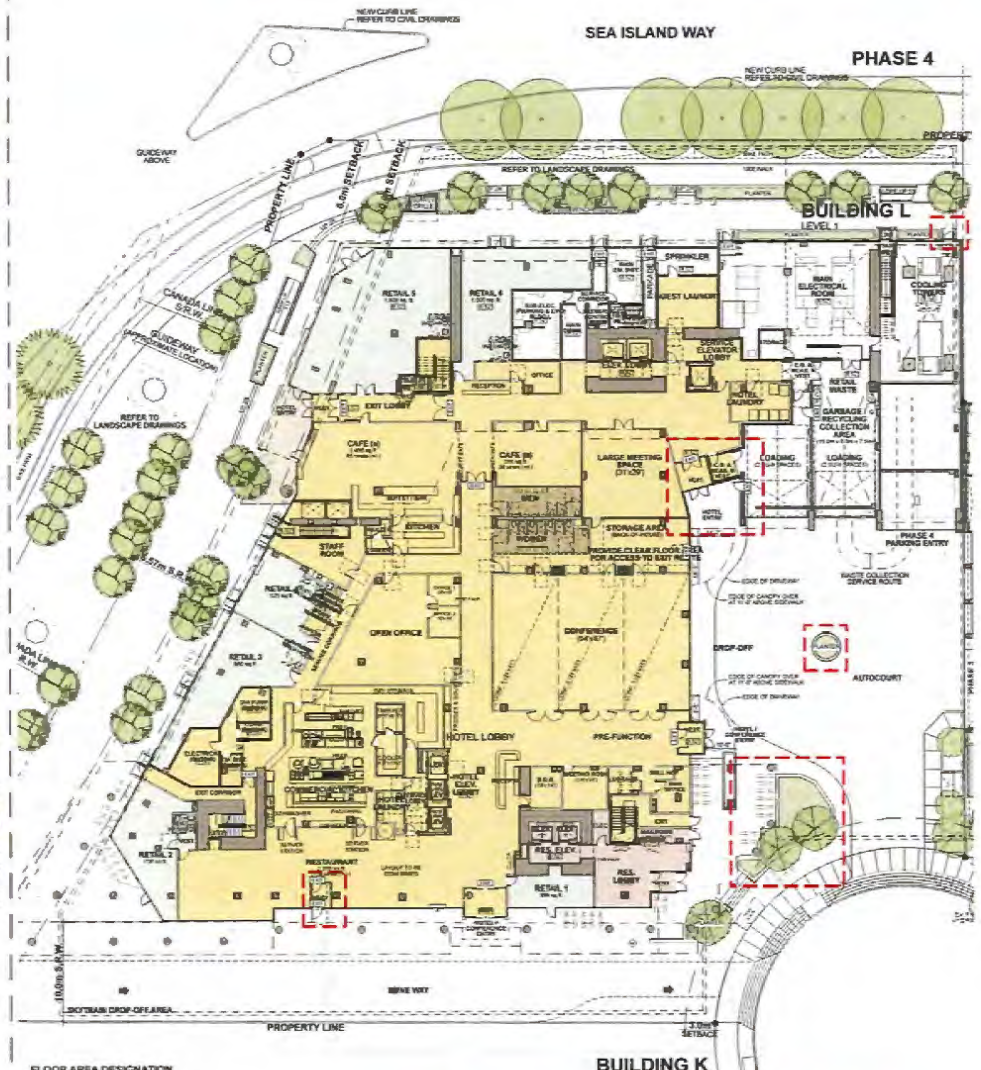
PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

bringham hill



- FLOOR AREA DESIGNATION**
- RESIDENTIAL - MARKET
 - RESIDENTIAL - AFFORDABLE HOUSING
 - RESIDENTIAL - MARKET B.U.H.
 - RESIDENTIAL - INDOOR AMENITY
 - NON-RESIDENTIAL OFFICE/RETAIL
 - NON-RESIDENTIAL INDOOR AMENITY
 - NON-RESIDENTIAL HOTEL
 - NON-RESIDENTIAL INDOOR AMENITY



- FLOOR AREA DESIGNATION**
- RESIDENTIAL - MARKET
 - RESIDENTIAL - AFFORDABLE HOUSING
 - RESIDENTIAL - MARKET B.U.H.
 - RESIDENTIAL - INDOOR AMENITY
 - NON-RESIDENTIAL OFFICE/RETAIL
 - NON-RESIDENTIAL INDOOR AMENITY
 - NON-RESIDENTIAL HOTEL
 - NON-RESIDENTIAL INDOOR AMENITY

INDICATES EXTENT OF PROPOSED REVISIONS

LEVEL 1 PROPOSED REVISION

LEVEL 1

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

bingham hill architects
 100-1000 10th Ave S.W.
 Vancouver, BC V6H 1A1
 Tel: 604-681-1111
 Fax: 604-681-1112
 Email: info@binghamhill.ca

SEA ISLAND WAY

PHASE 4

PROPERTY LINE

BUILDING L
LEVEL 2

CST. THOMAS AGAR ROAD

BUILDING K
LEVEL 2: HOTEL & AMENITY

FLOOR AREA DESIGNATION

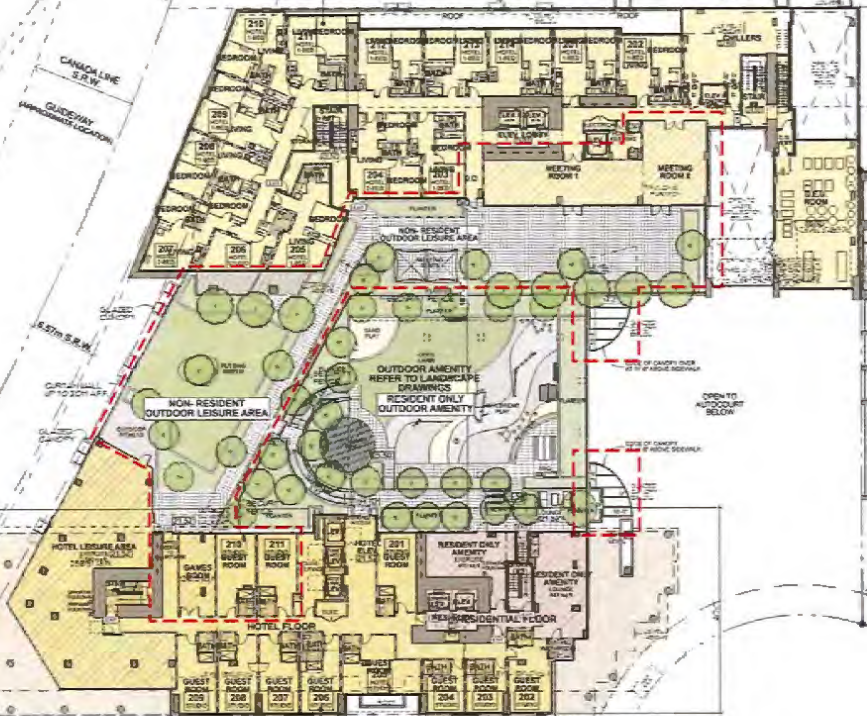
- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET & U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL OFFICE/RETAIL
- NON-RESIDENTIAL INDOOR AMENITY
- NON-RESIDENTIAL HOTEL
- NON-RESIDENTIAL INDOOR AMENITY

LEVEL 2
APPROVED DP

SEA ISLAND WAY

PHASE 4

PROPERTY LINE

BUILDING L
LEVEL 2

CST. THOMAS AGAR ROAD

BUILDING K
LEVEL 2

FLOOR AREA DESIGNATION

- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET & U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL OFFICE/RETAIL
- NON-RESIDENTIAL INDOOR AMENITY
- NON-RESIDENTIAL HOTEL
- NON-RESIDENTIAL INDOOR AMENITY

INDICATES EXTENT OF
PROPOSED REVISIONSLEVEL 2
PROPOSED REVISION

LEVEL 2

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

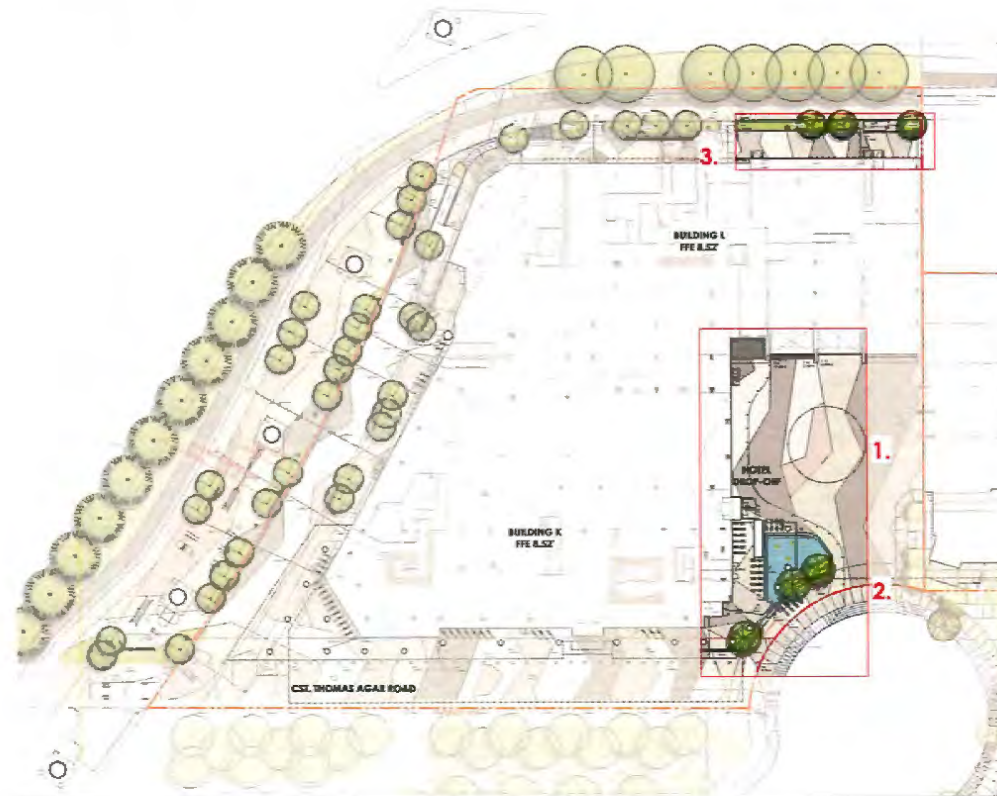
bingham-hill
 architects
 1000 14th Avenue
 Richmond, BC V6V 1A1
 Tel: 604-271-1111
 Fax: 604-271-1112
 Email: info@bingham-hill.com

7

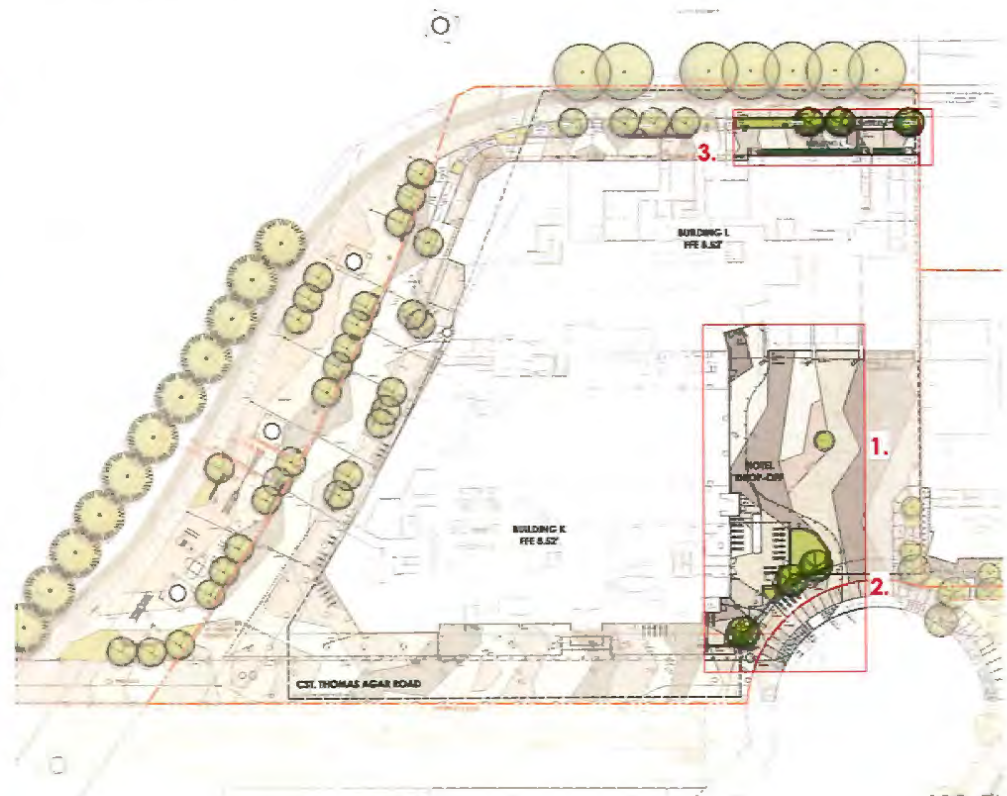
CAPSTAN VILLAGE PHASE 4 - GROUND LEVEL



APPROVED
DP APPLICATION 2024



NEW
DP APPLICATION 2025



PROPOSED REVISIONS:

1. A PLANTER HAS BEEN ADDED TO THE AUTO-COURT.
2. WATER FEATURE CHANGED TO PLANTER WITH SEASONAL PLANTING.
3. A PLANTER HAS BEEN ADDED TO LIMIT ACCESS TO THE BLANK WALL.

SOFTSCAPE LEGEND

-  LAYERED SHRUB PLANTING
-  OFFSITE LAWN BOULEVARDS
-  WATER FEATURE

CAPSTAN VILLAGE PHASE 4 - LEVEL 2



APPROVED DP APPLICATION 2024



SEPARATE AMENITY SPACES FOR HOTEL GUESTS AND RESIDENTS

NEW DP APPLICATION 2025



PROPOSED REVISIONS:

1. EXPANDED AMENITY RE-PROGRAMMED TO ALLOW FOR FLEXIBLE USE.
2. SWIMMING POOL FOR THE NON-RESIDENTIAL AMENITY (HOTEL) RELOCATED TO THE ROOFTOP. OUTDOOR FITNESS EXTENDING FROM THE INDOOR FITNESS ADDED ALONG WITH A PUTTING GREEN.

SOFTSCAPE LEGEND	
	SHRUB PLANTING
	HEDGE PLANTING
	ARTIFICIAL TURF
	OPEN LAWN
	SAND

SEA ISLAND WAY

PHASE 4

SEA ISLAND WAY

NO. 3 ROAD

BUILDING L
LEVEL 4

BUILDING L
LEVEL 5-7

LOT 5
CITY OF RICHMOND

ROAD

T.S.
RICHMOND

CANADA LINE
P.R.W.

CST. THOMAS AGAR ROAD

BUILDING K
LEVEL 6: HOTEL

CST. THOMAS AGAR ROAD

BUILDING K
LEVEL 6: HOTEL

FLOOR AREA DESIGNATION

- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET & U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL OFFICE/RETAIL
- NON-RESIDENTIAL INDOOR AMENITY
- NON-RESIDENTIAL HOTEL
- NON-RESIDENTIAL INDOOR AMENITY

LEVEL 6
APPROVED DP

FLOOR AREA DESIGNATION

- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET & U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL OFFICE/RETAIL
- NON-RESIDENTIAL INDOOR AMENITY
- NON-RESIDENTIAL HOTEL
- NON-RESIDENTIAL INDOOR AMENITY

INDICATES EXTENT OF
PROPOSED REVISIONS

LEVEL 6
PROPOSED REVISION

LEVEL 6

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

bingham-hill
 architects

10

SEA ISLAND WAY

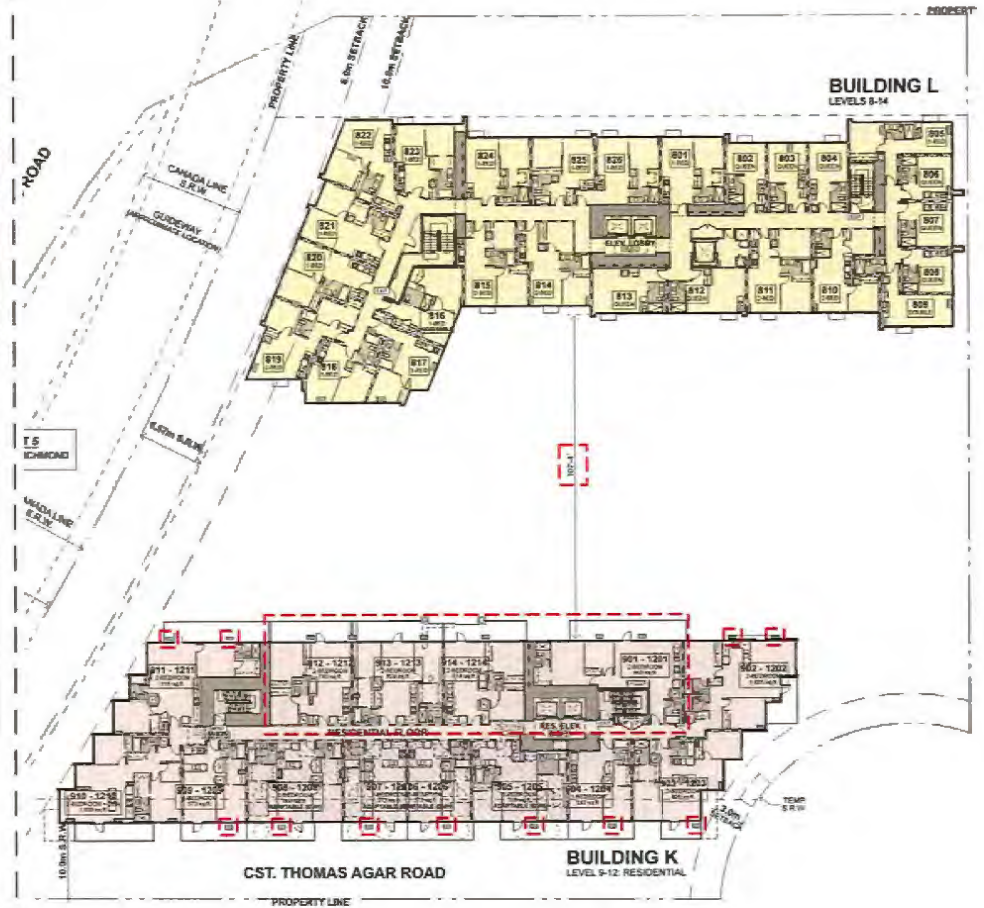
SEA ISLAND WAY



FLOOR AREA DESIGNATION

- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET B.U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL OFFICE/RETAIL
- NON-RESIDENTIAL INDOOR AMENITY
- NON-RESIDENTIAL HOTEL
- NON-RESIDENTIAL INDOOR AMENITY

LEVEL 9 & 10
APPROVED DP



FLOOR AREA DESIGNATION

- RESIDENTIAL - MARKET
- RESIDENTIAL - AFFORDABLE HOUSING
- RESIDENTIAL - MARKET B.U.H.
- RESIDENTIAL - INDOOR AMENITY
- NON-RESIDENTIAL OFFICE/RETAIL
- NON-RESIDENTIAL INDOOR AMENITY
- NON-RESIDENTIAL HOTEL
- NON-RESIDENTIAL INDOOR AMENITY

INDICATES EXTENT OF PROPOSED REVISIONS

LEVEL 9 & 10
PROPOSED REVISION

LEVEL 9 / 10

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

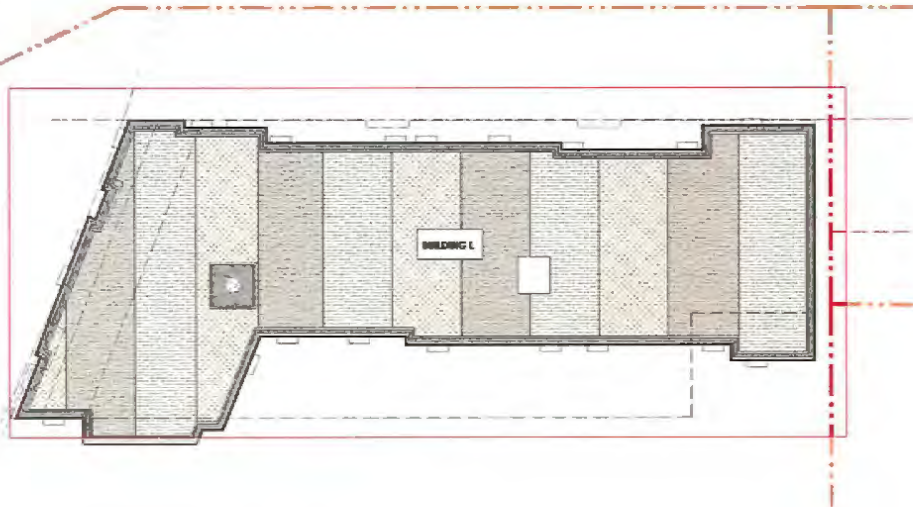
bingham-hill architects
200-1111-1111
200-1111-1111
200-1111-1111
200-1111-1111



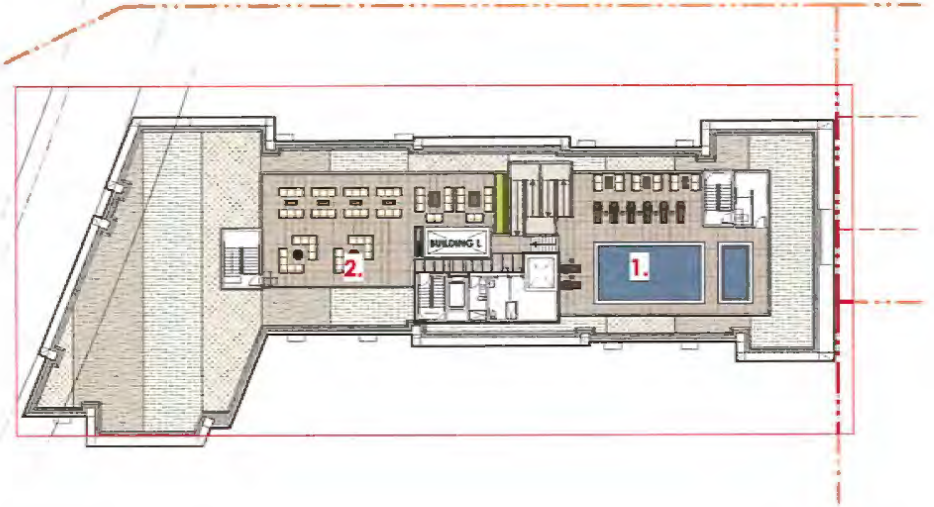
CAPSTAN VILLAGE PHASE 4 - BUILDING L ROOF



APPROVED
DP APPLICATION 2024



NEW
DP APPLICATION 2025



PROPOSED REVISIONS:

1. SWIMMING POOL FOR THE NON-RESIDENTIAL AMENITY (HOTEL) RELOCATED TO THE ROOFTOP.
2. LOUNGING SPACE ADDED TO THE LOWER AMENITY DECK.

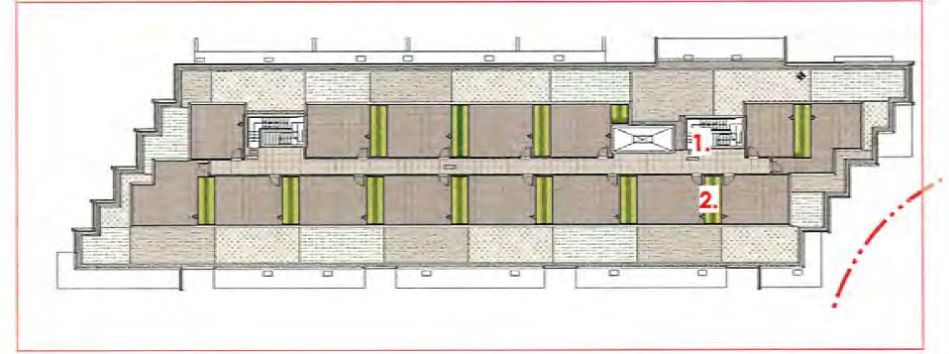
SOFTSCAPE LEGEND	
	SHRUB PLANTING
	HEDGE PLANTING
	SWIMMING POOL
	EXTENSIVE GREEN ROOF

CAPSTAN VILLAGE PHASE 4 - BUILDING K ROOF

APPROVED
DP APPLICATION 2024



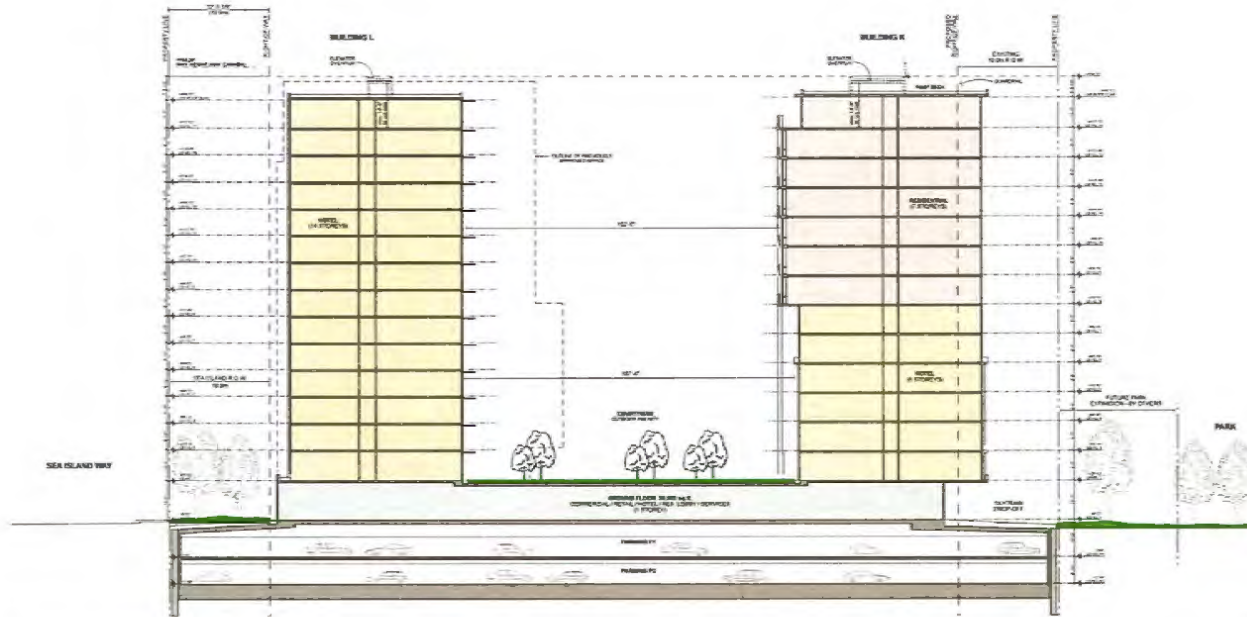
NEW
DP APPLICATION 2025



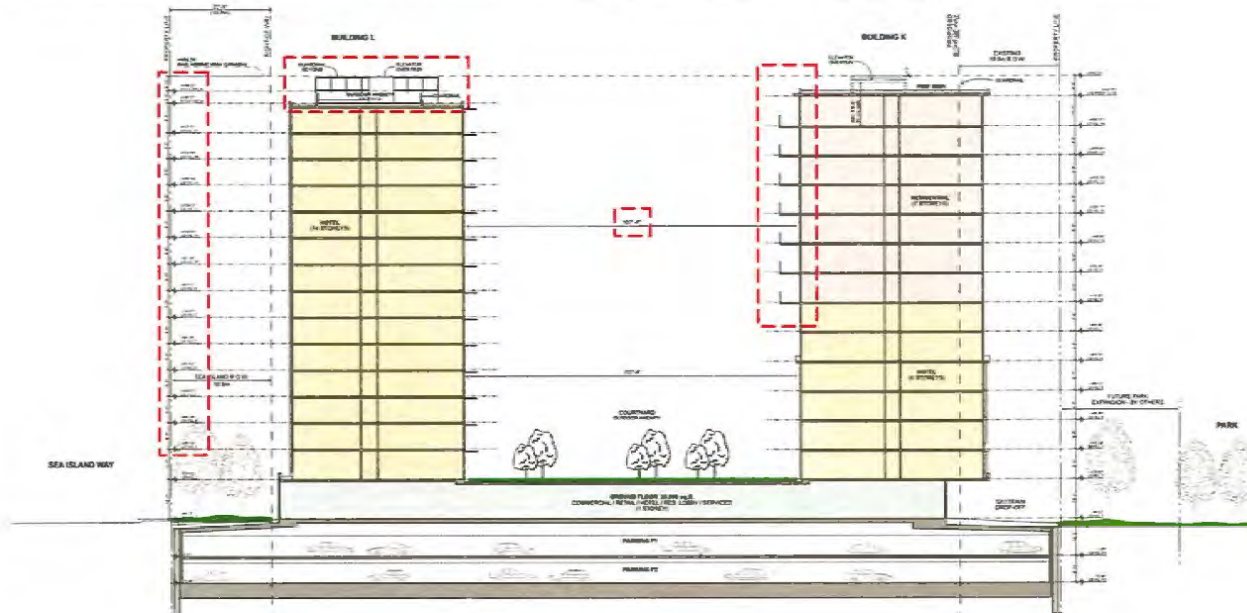
PROPOSED REVISIONS:

1. PATIOS UPDATED TO REFLECT UPDATED COMMON ARCHITECTURAL STAIRCASES.
2. TREES REMOVED FROM THE ROOFTOP AS PER NAVCAN RESTRICTION.

SOFTSCAPE LEGEND	
	SHRUB PLANTING
	HEDGE PLANTING
	EXTENSIVE GREEN ROOF



SECTION A
APPROVED DP



**INDICATES EXTENT OF
PROPOSED REVISIONS**

SECTION A
PROPOSED REVISION

SECTION A

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

**bingham-hill
architects**
257-258 B. C. ROAD, RICHMOND, B.C. V6V 2G4
TEL: (604) 273-1111
WWW.BINGHAMHILLARCHITECTS.COM

15

LIST OF MATERIALS

1. ALUMINUM FRAMES (DOOR & WINDOW)
 - 1a - dark grey frame match BM 2133 "Black Jack"
 - 1b - medium grey match BM 2133-50 "Pigeon Grey"
 - 1c - clear glass
 - 1d - white frame
2. GLASS SPANDREL
 - 2a - dark grey frame match BM 2133 "Black Jack"
 - 2b - white
3. METAL SPANDREL
 - 3a - dark grey match BM 2133-50 "Black Jack"
 - 3b - medium grey match BM 2133-50 "Pigeon Grey"
 - 3c - no match BM 2004-10 "Deep River"
4. PAINTED CONCRETE
 - 4a - white
5. ALUMINUM & GLASS CURTAINWALL
 - 5a - dark grey match BM 2133-50 "Black Jack"
 - 5b - medium grey match BM 2133-50 "Pigeon Grey"
 - 5c - double balcony transoms glass mounted on the interior side of the sliding door
 - 5d - white
6. METAL LOUVER
 - 6a - dark grey match BM 2133-50 "Black Jack"
 - 6b - medium grey match BM 2133-50 "Pigeon Grey"
 - 6c - clear glass
 - 6d - white
7. STEEL & GLASS CANOPY
 - 7a - dark grey frame match BM 2133-50 "Black Jack"
8. METAL PANEL
 - 8a - dark grey frame match BM 2133 "Black Jack"
 - 8b - medium grey match BM 2133-50 "Pigeon Grey"
 - 8c - no match BM 2004-10 "Deep River"
 - 8d - white frame
9. SOLAR SCREEN
 - 9a - dark grey frame match BM 2133 "Black Jack"



NORTH ELEVATION
APPROVED DP

LIST OF MATERIALS

1. ALUMINUM FRAMES (DOOR & WINDOW)
 - 1a - dark grey frame match BM 2133 "Black Jack"
 - 1b - medium grey match BM 2133-50 "Pigeon Grey"
 - 1c - clear glass
 - 1d - white frame
2. GLASS SPANDREL
 - 2a - dark grey frame match BM 2133 "Black Jack"
 - 2b - white
3. METAL SPANDREL
 - 3a - dark grey match BM 2133-50 "Black Jack"
 - 3b - medium grey match BM 2133-50 "Pigeon Grey"
 - 3c - no match BM 2004-10 "Deep River"
4. PAINTED CONCRETE
 - 4a - white
5. ALUMINUM & GLASS CURTAINWALL
 - 5a - dark grey match BM 2133-50 "Black Jack"
 - 5b - medium grey match BM 2133-50 "Pigeon Grey"
 - 5c - double balcony transoms glass mounted on the interior side of the sliding door
 - 5d - white
6. METAL LOUVER
 - 6a - dark grey match BM 2133-50 "Black Jack"
 - 6b - medium grey match BM 2133-50 "Pigeon Grey"
 - 6c - clear glass
 - 6d - white
7. STEEL & GLASS CANOPY
 - 7a - dark grey frame match BM 2133-50 "Black Jack"
8. METAL PANEL
 - 8a - dark grey frame match BM 2133 "Black Jack"
 - 8b - medium grey match BM 2133-50 "Pigeon Grey"
 - 8c - no match BM 2004-10 "Deep River"
 - 8d - white frame
9. SOLAR SCREEN
 - 9a - dark grey frame match BM 2133 "Black Jack"



INDICATES EXTENT OF PROPOSED REVISIONS

NORTH ELEVATION
PROPOSED REVISION

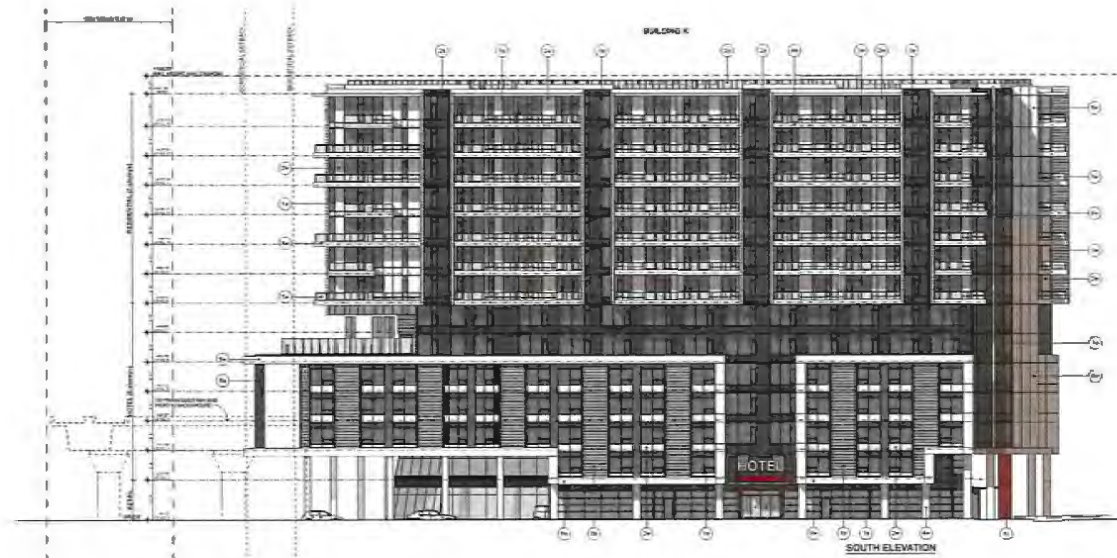
NORTH ELEVATION (BLDG K)

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

LIST OF MATERIALS

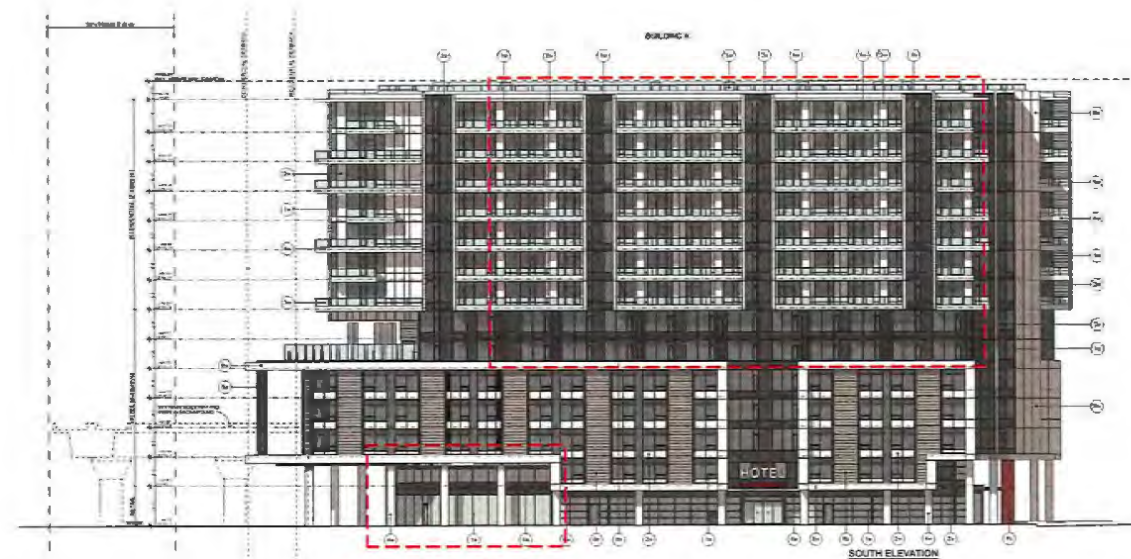
- 1 ALUMINUM FRAMES (profiles & accessories)
1a - dark grey frame match BM 2133 "Black Jack"
1b - medium grey match BM 2133-50 "Popcorn Grey"
1c - clear anodized
1d - white frame
- 2 GLASS SPANDRELS
2a - dark grey frame match BM 2133 "Black Jack"
2b - white
- 3 METAL SPANDREL
3a - dark grey match BM 2133-20 "Black Jack"
3b - medium grey match BM 2133-50 "Popcorn Grey"
3c - red match BM 2004-10 "Deep Rose"
- 4 PAINTED CONCRETE
4a - white
- 5 ALUMINUM & GLASS CURTAINWALLS
5a - dark grey match BM 2133-20 "Black Jack"
5b - medium grey match BM 2133-50 "Popcorn Grey"
5c - yellow lacquer, horizontal glass mounted on the interior side of the sliding door
5d - white
- 6 METAL LOUVER
6a - dark grey match BM 2133-20 "Black Jack"
6b - medium grey match BM 2133-50 "Popcorn Grey"
6c - clear anodized
6d - white
- 7 STEEL & GLASS CANOPY
7a - dark grey frame match BM 2133-20 "Black Jack"
- 8 METAL FRAMES
8a - dark grey frame match BM 2133 "Black Jack"
8b - medium grey match BM 2133-50 "Popcorn Grey"
8c - red match BM 2004-10 "Deep Rose"
8d - white frame
- 9 SOLAR SCREEN
9a - dark grey frame match BM 2133 "Black Jack"



SOUTH ELEVATION
APPROVED DP

LIST OF MATERIALS

- 1 ALUMINUM FRAMES (profiles & accessories)
1a - dark grey frame match BM 2133 "Black Jack"
1b - medium grey match BM 2133-50 "Popcorn Grey"
1c - clear anodized
1d - white frame
- 2 GLASS SPANDRELS
2a - dark grey frame match BM 2133 "Black Jack"
2b - white
- 3 METAL SPANDREL
3a - dark grey match BM 2133-20 "Black Jack"
3b - medium grey match BM 2133-50 "Popcorn Grey"
3c - red match BM 2004-10 "Deep Rose"
- 4 PAINTED CONCRETE
4a - white
- 5 ALUMINUM & GLASS CURTAINWALLS
5a - dark grey match BM 2133-20 "Black Jack"
5b - medium grey match BM 2133-50 "Popcorn Grey"
5c - yellow lacquer, horizontal glass mounted on the interior side of the sliding door
5d - white
- 6 METAL LOUVER
6a - dark grey match BM 2133-20 "Black Jack"
6b - medium grey match BM 2133-50 "Popcorn Grey"
6c - clear anodized
6d - white
- 7 STEEL & GLASS CANOPY
7a - dark grey frame match BM 2133-20 "Black Jack"
- 8 METAL FRAMES
8a - dark grey frame match BM 2133 "Black Jack"
8b - medium grey match BM 2133-50 "Popcorn Grey"
8c - red match BM 2004-10 "Deep Rose"
8d - white frame
- 9 SOLAR SCREEN
9a - dark grey frame match BM 2133 "Black Jack"



INDICATES EXTENT OF PROPOSED REVISIONS

SOUTH ELEVATION
PROPOSED REVISION

SOUTH ELEVATION (BLDG K)

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

LIST OF MATERIALS

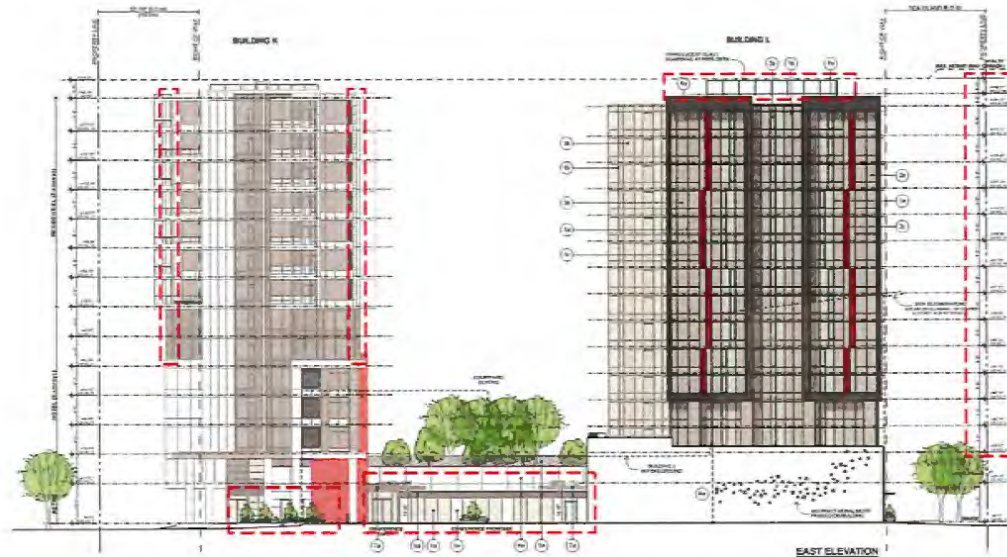
- 1 ALUMINUM FRAMES (doors & windows)
 - 1a - dark grey frame match BM 2133 "Black Jack"
 - 1b - medium grey match BM 2133-06 "Pigeon Grey"
 - 1c - clear anodized
 - 1d - white frame
- 2 GLASS SPANDREL
 - 2a - dark grey frame match BM 2133 "Black Jack"
 - 2b - white
- 3 METAL SPANDREL
 - 3a - dark grey match BM 2133-20 "Black Jack"
 - 3b - medium grey match BM 2133-06 "Pigeon Grey"
 - 3c - red match BM 2204-10 "Deep Rose"
- 4 PAINTED CONCRETE
 - 4a - white
- 5 ALUMINUM & GLASS SPANDRELS
 - 5a - dark grey match BM 2133-20 "Black Jack"
 - 5b - medium grey match BM 2133-06 "Pigeon Grey"
 - 5c - white balcony. Transoms glass mounted on the interior side of the sliding door
 - 5d - white
- 6 METAL LOUVER
 - 6a - dark grey match BM 2133-20 "Black Jack"
 - 6b - medium grey match BM 2133-06 "Pigeon Grey"
 - 6c - clear anodized
 - 6d - white
- 7 STEEL & GLASS CANOPY
 - 7a - dark grey frame match BM 2133-20 "Black Jack"
- 8 METAL PANEL
 - 8a - dark grey frame match BM 2133 "Black Jack"
 - 8b - medium grey match BM 2133-06 "Pigeon Grey"
 - 8c - red match BM 2204-10 "Deep Rose"
 - 8d - white frame
- 9 SOLAR SCREEN
 - 9a - dark grey frame match BM 2133 "Black Jack"



EAST ELEVATION
APPROVED DP

LIST OF MATERIALS

- 1 ALUMINUM FRAMES (doors & windows)
 - 1a - dark grey frame match BM 2133 "Black Jack"
 - 1b - medium grey match BM 2133-06 "Pigeon Grey"
 - 1c - clear anodized
 - 1d - white frame
- 2 GLASS SPANDREL
 - 2a - dark grey frame match BM 2133 "Black Jack"
 - 2b - white
- 3 METAL SPANDREL
 - 3a - dark grey match BM 2133-20 "Black Jack"
 - 3b - medium grey match BM 2133-06 "Pigeon Grey"
 - 3c - red match BM 2204-10 "Deep Rose"
- 4 PAINTED CONCRETE
 - 4a - white
- 5 ALUMINUM & GLASS SPANDRELS
 - 5a - dark grey match BM 2133-20 "Black Jack"
 - 5b - medium grey match BM 2133-06 "Pigeon Grey"
 - 5c - white balcony. Transoms glass mounted on the interior side of the sliding door
 - 5d - white
- 6 METAL LOUVER
 - 6a - dark grey match BM 2133-20 "Black Jack"
 - 6b - medium grey match BM 2133-06 "Pigeon Grey"
 - 6c - clear anodized
 - 6d - white
- 7 STEEL & GLASS CANOPY
 - 7a - dark grey frame match BM 2133-20 "Black Jack"
- 8 METAL PANEL
 - 8a - dark grey frame match BM 2133 "Black Jack"
 - 8b - medium grey match BM 2133-06 "Pigeon Grey"
 - 8c - red match BM 2204-10 "Deep Rose"
 - 8d - white frame
- 9 SOLAR SCREEN
 - 9a - dark grey frame match BM 2133 "Black Jack"



INDICATES EXTENT OF
PROPOSED REVISIONS

EAST ELEVATION
PROPOSED REVISION

EAST ELEVATION

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

bingham hill
architects
2401 1120, 1120 Street West
Vancouver, BC V6H 1A1
Canada 604.681.5241
www.binghamhill.ca

18

1. **ALUMINUM FRAMES** (frames) or windows
 - 1a - *slant grey* match **BB** P203 "Black Jet"
 - 1b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 1c - *white* match **BB** P211 "White"
2. **STEEL SPRINGERS**
 - 2a - *slant grey* match **BB** P203 "Black Jet"
 - 2b - *white*
3. **STEEL SPRINGERS**
 - 3a - *slant grey* match **BB** P203 "Black Jet"
 - 3b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 3c - *white* match **BB** P211 "White"
4. **PAINTED CONCRETE**
 - 4a - *slant grey* match **BB** P203 "Black Jet"
 - 4b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 4c - *white* match **BB** P211 "White"
5. **ALUMINUM & GLASS GUARDRAILS**
 - 5a - *slant grey* match **BB** P203 "Black Jet"
 - 5b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 5c - *white* match **BB** P211 "White"
6. **STEEL LUGGERS**
 - 6a - *slant grey* match **BB** P203 "Black Jet"
 - 6b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 6c - *white* match **BB** P211 "White"
7. **STEEL & GLASS**
 - 7a - *slant grey* match **BB** P203 "Black Jet"
 - 7b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 7c - *white* match **BB** P211 "White"
8. **STEEL SPRINGERS**
 - 8a - *slant grey* match **BB** P203 "Black Jet"
 - 8b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 8c - *white* match **BB** P211 "White"
9. **STEEL SPRINGERS**
 - 9a - *slant grey* match **BB** P203 "Black Jet"
 - 9b - *medium grey* match **BB** P210 "Pigeon Grey"
 - 9c - *white* match **BB** P211 "White"



1. **ALUMINUM FILMS** Joseph A. Maserucci
• *Aluminum films* match BP 7123 "Black Jack"
• *Aluminum grey* match BP 7123-03 "Pagan Gray"
• *Aluminum* match BP 7123-04 "Pagan Gray"
• *White* match BP 7123-05 "Pagan Gray"
2. **GLASS SPHERES**
• *Aluminum films* match BP 7123 "Black Jack"
• *White* match BP 7123-05 "Pagan Gray"
3. **METAL SPHERES**
• *Aluminum grey* match BP 7123-03 "Black Jack"
• *Aluminum* match BP 7123-04 "Pagan Gray"
• *White* match BP 7123-05 "Pagan Gray"
4. **PAINTED CANNONS**
• *Aluminum* match BP 7123-04 "Pagan Gray"
5. **ALUMINUM & GLASS CUBES/SPHERES**
• *Aluminum grey* match BP 7123-03 "Black Jack"
• *Aluminum grey* match BP 7123-03 "Pagan Gray"
• *Aluminum* match BP 7123-04 "Pagan Gray"
• *Aluminum* match BP 7123-05 "Pagan Gray"
• *White* match BP 7123-05 "Pagan Gray"
6. **METAL LENSES**
• *Aluminum grey* match BP 7123-03 "Black Jack"
• *Aluminum grey* match BP 7123-03 "Pagan Gray"
• *Aluminum* match BP 7123-04 "Pagan Gray"
• *Aluminum* match BP 7123-05 "Pagan Gray"
7. **PAINTED & GLASS CANNONS**
• *Aluminum films* match BP 7123 "Black Jack"
8. **METAL PISTOLS**
• *Aluminum grey* match BP 7123 "Black Jack"
• *Aluminum* match BP 7123-04 "Pagan Gray"
• *Aluminum* match BP 7123-05 "Pagan Gray"
9. **SOLAR DISCS**
• *Aluminum films* match BP 7123 "Black Jack"



WEST ELEVATION
PROPOSED REVISION

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

bingham-hill
architects

1001 Main Street, Suite 100
San Francisco, California 94102
415.774.1244

For a complete listing of
services, contact us at 415.774.1244

LIST OF MATERIALS

1. ALUMINUM FINISHES, GLAZES & WINDOW
1a - dark grey frame match BM 2133-20 "Black-Jack"
1b - medium grey match BM 2133-50 "Pigeon Grey"
1c - clear anodized
1d - white frame
2. GLASS SPANDREL
2a - dark grey frame match BM 2133-20 "Black-Jack"
2b - white
3. METAL SPANDREL
3a - dark grey match BM 2133-20 "Black-Jack"
3b - medium grey match BM 2133-50 "Pigeon Grey"
3c - red match BM 2204-10 "Deep Rose"
4. PAINTED CONCRETE
4a - white
5. ALUMINUM & GLASS CURTAINWALLS
5a - dark grey match BM 2133-20 "Black-Jack"
5b - medium grey match BM 2133-50 "Pigeon Grey"
5c - plate tinted; Transpire glass mounted on the interior side of the sliding door
5d - white
6. METAL LOUVER
6a - dark grey match BM 2133-20 "Black-Jack"
6b - medium grey match BM 2133-50 "Pigeon Grey"
6c - clear anodized
6d - white
7. STEEL & GLASS CANOPY
7a - dark grey frame match BM 2133-20 "Black-Jack"
8. METAL PANEL
8a - dark grey frame match BM 2133-20 "Black-Jack"
8b - medium grey match BM 2133-50 "Pigeon Grey"
8c - red match BM 2204-10 "Deep Rose"
8d - white frame
9. SOLAR SCREEN
9a - dark grey frame match BM 2133-20 "Black-Jack"



NORTH ELEVATION
APPROVED DP

LIST OF MATERIALS

1. ALUMINUM FINISHES, GLAZES & WINDOW
1a - dark grey frame match BM 2133-20 "Black-Jack"
1b - medium grey match BM 2133-50 "Pigeon Grey"
1c - clear anodized
1d - white frame
2. GLASS SPANDREL
2a - dark grey frame match BM 2133-20 "Black-Jack"
2b - white
3. METAL SPANDREL
3a - dark grey match BM 2133-20 "Black-Jack"
3b - medium grey match BM 2133-50 "Pigeon Grey"
3c - red match BM 2204-10 "Deep Rose"
4. PAINTED CONCRETE
4a - white
5. ALUMINUM & GLASS CURTAINWALLS
5a - dark grey match BM 2133-20 "Black-Jack"
5b - medium grey match BM 2133-50 "Pigeon Grey"
5c - plate tinted; Transpire glass mounted on the interior side of the sliding door
5d - white
6. METAL LOUVER
6a - dark grey match BM 2133-20 "Black-Jack"
6b - medium grey match BM 2133-50 "Pigeon Grey"
6c - clear anodized
6d - white
7. STEEL & GLASS CANOPY
7a - dark grey frame match BM 2133-20 "Black-Jack"
8. METAL PANEL
8a - dark grey frame match BM 2133-20 "Black-Jack"
8b - medium grey match BM 2133-50 "Pigeon Grey"
8c - red match BM 2204-10 "Deep Rose"
8d - white frame
9. SOLAR SCREEN
9a - dark grey frame match BM 2133-20 "Black-Jack"



**INDICATES EXTENT OF
PROPOSED REVISIONS**

NORTH ELEVATION
PROPOSED REVISION

NORTH ELEVATION (BLDG L)

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

LIST OF MATERIALS

- 1 ALUMINUM FRAMES (DOORS & WINDOWS)
 - 1a - dark grey frame match BM 2133 "Black Jack"
 - 1b - medium grey match BM 2133-50 "Pigeon Grey"
 - 1c - clear anodized
 - 1d - white frame
- 2 GLASS SPANDREL
 - 2a - dark grey frame match BM 2133 "Black Jack"
 - 2b - white
- 3 METAL SPANDREL
 - 3a - dark grey match BM 2133-20 "Black Jack"
 - 3b - medium grey match BM 2133-50 "Pigeon Grey"
 - 3c - red match BM 2004-10 "Deep Rose"
 - 3d - white
- 4 PAINTED CONCRETE
 - 4a - white
- 5 ALUMINUM & GLASS GUARDRAILS
 - 5a - dark grey match BM 2133-20 "Black Jack"
 - 5b - medium grey match BM 2133-50 "Pigeon Grey"
 - 5c - white bottomless frameless glass mounted on the exterior side of the sliding door
 - 5d - white
- 6 METAL LOUVER
 - 6a - dark grey match BM 2133-20 "Black Jack"
 - 6b - medium grey match BM 2133-50 "Pigeon Grey"
 - 6c - clear anodized
 - 6d - white
- 7 STEEL & GLASS CANOPY
 - 7a - dark grey frame match BM 2133-20 "Black Jack"
- 8 METAL PANEL
 - 8a - dark grey frame match BM 2133 "Black Jack"
 - 8b - medium grey match BM 2133-50 "Pigeon Grey"
 - 8c - red match BM 2004-10 "Deep Rose"
 - 8d - white frame
- 9 SOLAR SCREEN
 - 9a - dark grey frame match BM 2133 "Black Jack"



SOUTH ELEVATION
APPROVED DP

LIST OF MATERIALS

- 1 ALUMINUM FRAMES (DOORS & WINDOWS)
 - 1a - dark grey frame match BM 2133 "Black Jack"
 - 1b - medium grey match BM 2133-50 "Pigeon Grey"
 - 1c - clear anodized
 - 1d - white frame
- 2 GLASS SPANDREL
 - 2a - dark grey frame match BM 2133 "Black Jack"
 - 2b - white
- 3 METAL SPANDREL
 - 3a - dark grey match BM 2133-20 "Black Jack"
 - 3b - medium grey match BM 2133-50 "Pigeon Grey"
 - 3c - red match BM 2004-10 "Deep Rose"
 - 3d - white
- 4 PAINTED CONCRETE
 - 4a - white
- 5 ALUMINUM & GLASS GUARDRAILS
 - 5a - dark grey match BM 2133-20 "Black Jack"
 - 5b - medium grey match BM 2133-50 "Pigeon Grey"
 - 5c - white bottomless frameless glass mounted on the exterior side of the sliding door
 - 5d - white
- 6 METAL LOUVER
 - 6a - dark grey match BM 2133-20 "Black Jack"
 - 6b - medium grey match BM 2133-50 "Pigeon Grey"
 - 6c - clear anodized
 - 6d - white
- 7 STEEL & GLASS CANOPY
 - 7a - dark grey frame match BM 2133-20 "Black Jack"
- 8 METAL PANEL
 - 8a - dark grey frame match BM 2133 "Black Jack"
 - 8b - medium grey match BM 2133-50 "Pigeon Grey"
 - 8c - red match BM 2004-10 "Deep Rose"
 - 8d - white frame
- 9 SOLAR SCREEN
 - 9a - dark grey frame match BM 2133 "Black Jack"



INDICATES EXTENT OF PROPOSED REVISIONS

SOUTH ELEVATION
PROPOSED REVISION

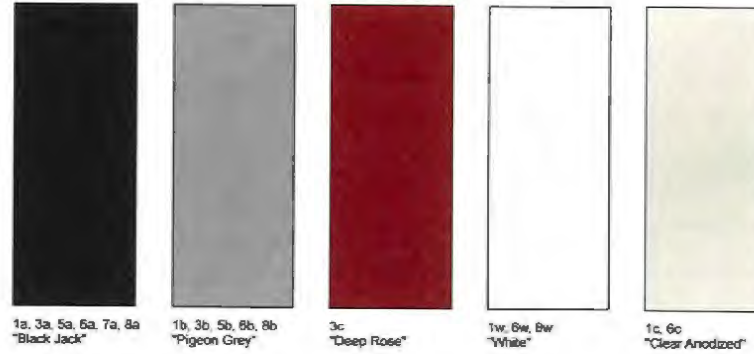
SOUTH ELEVATION (BLDG L)

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

METAL

(Including: door, window & guardrail frames, spandrel panels, metal panels and louvers)



GLASS (spandrel panels)



2w
"White"

PAINTED CONCRETE



4w
"White"

MATERIALS & COLOURS ARE UNCHANGED

LIST OF MATERIALS

- 1 ALUMINUM FINISHES (doors & windows)
 - 1a - dark grey finish match BM 2133 "Black Jack"
 - 1b - medium grey match BM 2133-50 "Pigeon Grey"
 - 1c - clear anodized
 - 1w - white finish
- 2 GLASS SPANDREL
 - 2a - dark grey finish match BM 2133 "Black Jack"
 - 2w - white
- 3 METAL SPANDREL
 - 3a - dark grey finish match BM 2133-50 "Pigeon Grey"
 - 3b - medium grey match BM 2133-50 "Pigeon Grey"
 - 3c - red match BM 255A-10 "Deep Rose"
- 4 PAINTED CONCRETE
 - 4w - white
- 5 ALUMINUM & GLASS GUARDRAILS
 - 5a - dark grey match BM 2133-20 "Black Jack"
 - 5b - medium grey match BM 2133-50 "Pigeon Grey"
 - 5c - white hollow aluminum glass mounted on the interior side of the loading door
 - 5w - white
- 6 METAL LOUVER
 - 6a - dark grey match BM 2133-20 "Black Jack"
 - 6b - medium grey match BM 2133-50 "Pigeon Grey"
 - 6c - clear anodized
 - 6w - white
- 7 STEEL & GLASS CANOPY
 - 7a - dark grey finish match BM 2133-20 "Black Jack"
- 8 METAL PANEL
 - 8a - dark grey finish match BM 2133 "Black Jack"
 - 8b - medium grey match BM 2133-50 "Pigeon Grey"
 - 8c - red match BM 255A-10 "Deep Rose"
 - 8w - white finish
- 9 RESIN FINISHES
 - 9a - dark grey finish match BM 2133 "Black Jack"

MATERIALS & COLOURS

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
 3200 No. 3 Road, Richmond BC
 for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
 DP Panel Presentation: Sep 10, 2025

bingham hill
 architects
 221-1444 Jervis Street
 Vancouver, British Columbia
 Canada, V6C 3E6
 TEL: (604) 681-1114
 WWW.BINGHAMHILLARCH.COM



EXISTING VIEW FROM NORTHWEST



PROPOSED VIEW FROM NORTHWEST



EXISTING VIEW FROM SOUTHWEST



PROPOSED VIEW FROM SOUTHWEST

BUILDING K
APPROVED DP

BUILDING K
PROPOSED REVISION

INDICATES EXTENT OF
PROPOSED REVISIONS

3D VIEW (BLDG K)

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

bingham-hill
ARCHITECTS
1010 UNIVERSITY STREET
VICTORIA, BC V8W 2G2
TEL: 250.363.8888
WWW.BINGHAMHILLARCHITECTS.COM



EXISTING VIEW FROM NORTHWEST

BUILDING L
APPROVED DP



PROPOSED VIEW FROM NORTHWEST

 INDICATES EXTENT OF
PROPOSED REVISIONS

BUILDING L
PROPOSED REVISION

3D VIEW (BLDG L)

PINNACLE CENTRE @ CAPSTAN VILLAGE: PHASE 4
Proposed Minor Amendments
3200 No. 3 Road, Richmond BC
for: Pinnacle Living (Capstan Village) Lands Inc.

DP 18-821292 & 24-012258
DP Panel Presentation: Sep 10, 2025

bingham-hill
architects
1175 AVENUE 100, SUITE 100
VANCOUVER, BC V6P 6P4
TEL: 604.681.1175
WWW.BINGHAM-HILL.COM



Thank you!

Schedule 2 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
September 10, 2025



Development Permit Panel Meeting

Proposed Communication Site
4611 Viking Way, Richmond, BC
(TELUS File: BC113101)

TELUS Communications Inc.

C/O Brian Gregg, RPP, MCIP
SitePath Consulting Ltd.

September 10th, 2025

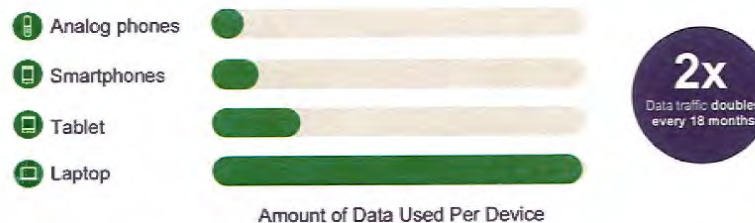


Why is another tower necessary?

The rapidly increasing capabilities of smartphones has changed the way Canadians interact with one another (Statistics Canada).

Mobile data traffic continues to grow

This is driven both by the **rising number of smartphones** and **increasing average data volume** per subscription, fueled primarily by more viewing of video content at higher resolutions.



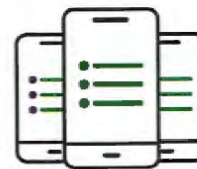
Mobile Phone Subscriptions



33.5+
Million
Subscribers

As the demand for bandwidth continues to grow, more towers are required to deliver high-quality service.

Mobile Phone Usage

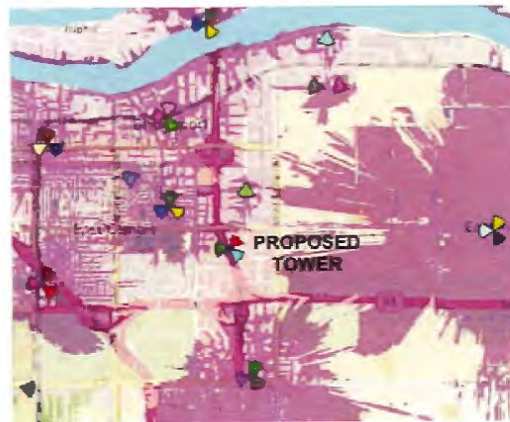


The rapidly increasing capabilities of smartphones has changed the way Canadians interact with one another.

Coverage Objectives

TELUS' primary coverage objective via this proposal is to infill existing coverage gaps in the commercial and light industrial areas on the east and west side of Knight Street to the north of Hwy 91 and south of Bridgeport Rd.

Before



Legend
Purple = Good
Service

After



Note: The above coverage maps are for discussion purposes only. Actual coverage results may vary.

Site Selection Rationale

- The subject property is zoned IB1 – Industrial Business Park.
- The Richmond Zoning Bylaw indicates that "utility, minor" is a permitted use in the IB1 zone and includes unattended equipment needed for the operation of telephone exchange services amongst other utility type services.
- The City of Richmond's *Telecommunication Antenna Consultation and Siting Protocol, Policy No. 5045*, encourages the siting of towers in industrial areas and exempts consultation for towers in industrial zones that are setback greater than 150 meters from residential zoned areas if the towers are less than 30 m tall.
- The tower is proposed to be setback approximately 350 meters from the closest residential uses as depicted in the image below.
- Land Use Context: Knight Street directly to the west and additional light industrial properties to the north, south and east. The subject lot is located within a large light industrial business park.

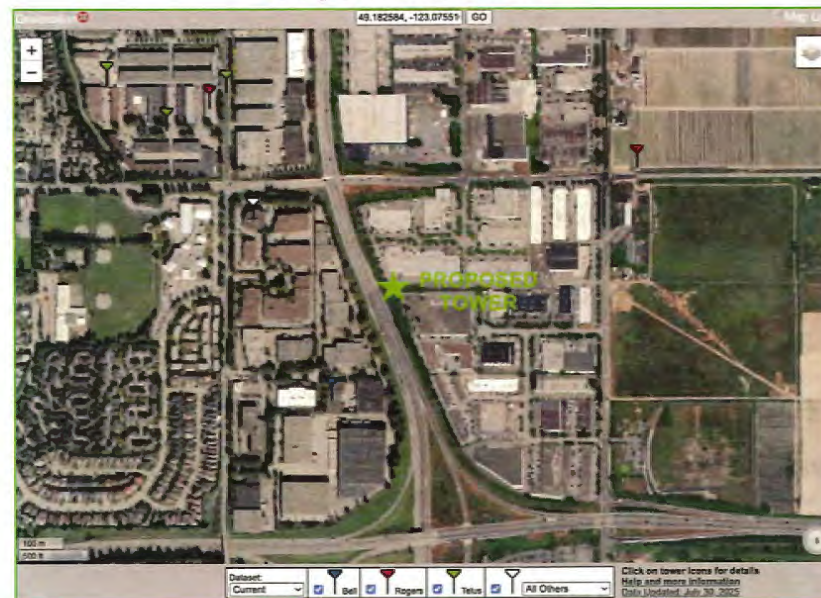
Zoning Map with Measurement to Closest Residential-Zoned Lots



Existing Site Locations

- Prior to proposing any new tower structure, TELUS always prioritizes opportunities for co-location or sharing of existing antenna structures.
- The closest existing tower is a Rogers tower at 3600 No. 6 Road as depicted below in red. The other nearby antenna installations are small cells, omni antennas or other small scale rooftop installations that are not suitable for co-location and that provide minimal coverage in targeted areas only.
- TELUS explored co-locating on the Rogers tower, however TELUS was limited to just 9.0-meters of height on the tower which would be the same level as a hydro pole. This would make Safety Code 6 compliance challenging and would severely limit coverage for TELUS.

Existing Antenna Site Locations



Tower Design and Site Plan



Survey Plan

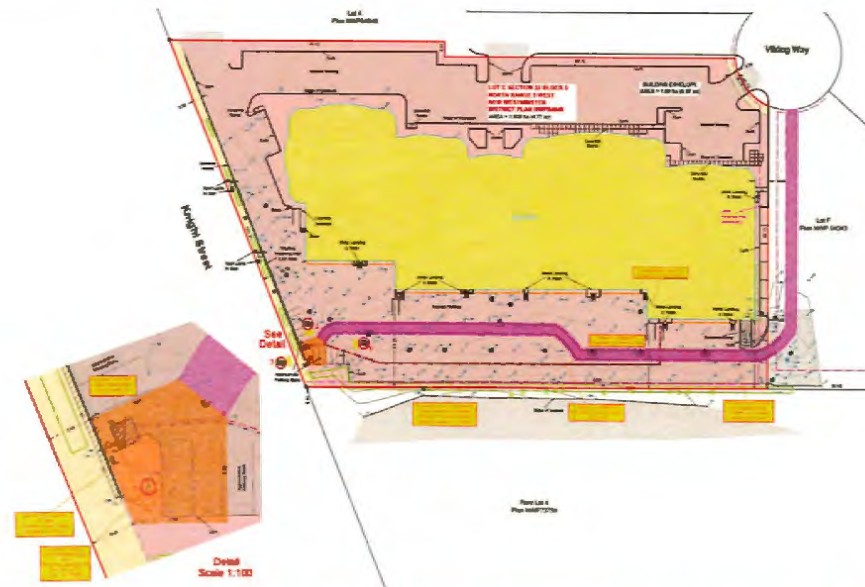


Photo Simulations

View Northeast



View Southeast







City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: September 26, 2025

From: Joshua Reis
Director, Development

File: DP 25-007857

Re: **Application by Pacific West Architecture Inc. for a Development Permit at
8251 Alexandra Road**

Staff Recommendation

That a Development Permit be issued which would permit exterior renovations to the existing building at 8251 Alexandra Road on a site zoned "Auto-Orientated Commercial (CA)".

Joshua Reis
Director, Development
(604-247-4625)

JR:eml
Att. 2

Staff Report

Origin

Pacific West Architecture Inc., on behalf of owner Bingtao Zhou (1149142 BC Ltd), has applied to the City of Richmond for permission to undertake renovations to the existing building at 8251 Alexandra Road on a site zoned “Auto-Oriented Commercial (CA)”. The subject Development Permit (DP) is limited to the update of exterior building finishes, the addition of weather protection canopies along pedestrian walkways, and the improvement of sidewalks and boulevards, and landscaping on the subject site. A location and aerial map of the subject site is provided in Attachment 1.

A Servicing Agreement (SA) is required prior to Building Permit (BP) issuance and includes, but is not limited to, the construction of a new sidewalk, boulevard and curb and gutter along the subject site’s Alexandra Road frontage and the reconstruction of the site’s existing driveway access. No servicing upgrades are proposed.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

The subject site contains an existing restaurant building that is not currently in operation.

Development surrounding the subject site is as follows:

- To the North: Single-family lots fronting Leslie Road zoned “Single-Detached (RS1/E)” and designated “Mixed Employment” in the Official Community Plan (OCP). There is a current rezoning application for the subject sites at 8180, 8200, 8220, 8240, 8260, 8280 and 8300 Leslie Road to permit the development of a mixed commercial, industrial and office development (RZ 20-921503) which was granted third reading at the Public Hearing held on May 21, 2024.
- To the East: A two-storey commercial building on a lot zoned “Auto-Orientated Commercial (CA)” and designated “Mixed Employment” in the OCP.
- To the South: Across Alexandra Road is a vacant lot zoned “Auto-Orientated Commercial (CA)” and designated “Commercial” in the OCP.
- To the West: Fronting Alexandra Road is a two-storey commercial building on a lot zoned “Auto-Orientated Commercial (CA)” and designated “Mixed Employment” in the OCP.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the OCP and City Centre Area Plan (CCAP) DP Guidelines and is in compliance with the “Auto-Oriented Commercial (CA)” zone.

The limited scope of the proposed exterior alterations will neither significantly impact the overall existing form of the building nor result in a change in floor area.

Analysis

Flood Protection

- There is currently no flood indemnity covenant registered on title for the subject site. Prior to issuance of the DP, the applicant shall register a flood indemnity covenant to reflect current flood construction standards as outlined in the Richmond Flood Plain and Designation Protection Bylaw 8402.

Conditions of Adjacency

- Given the limited scope of the proposed improvements, there are no anticipated impacts to adjacent properties resulting from the proposed external building renovations and parking lot alterations. There are no changes proposed to the existing building height, the side and rear yard setbacks remain the same and comply with all zoning setbacks.
- The form of development is generally consistent with the adjacent properties to the east and west. The existing building has been constructed to the west property line and abuts the drive isle which provides access to the parking lot for the adjacent property.
- The subject property is screened from the adjacent site to the east by a series of trees that are to be retained.
- The existing building is well setback from the residential properties to the north.
- There are no additional impacts anticipated to the properties to the south across Alexandra Road.

Urban Design and Site Planning

- The existing restaurant is located within the west portion of the subject site with the main building entrance located on the southeast corner of the building. The main entrance is proposed to remain in place.
- The main entrance will see enhancement through weather protection measures, which will extend along the pedestrian walkway on the east portion of the building.
- No changes to the location of surface parking on the site is proposed, except for the removal of five existing parking spaces to the north of the existing building to accommodate a new medium-sized loading space, garbage and recycling storage, and Class 1 bicycle parking. In addition, two trees are proposed to be relocated from the front of the subject site to the parking area. The removal of five parking spaces does not impact the site's compliance with the minimum parking requirements in the Zoning Bylaw.
- The applicant is proposing to enhance pedestrian safety on site with the installation of vehicle wheel stops on parking stalls adjacent to the building.
- Two new Class 1 bicycle parking lockers are provided near the staff entry for ease of use, and three new Class 2 bicycle parking spots will be provided outside the main entrance, for access and visibility.

- A new garbage and recycling enclosure is proposed to the rear of the existing building. The aluminum enclosure, with a black powder coat finish, will screen the waste and recycling from view.

Architectural Form and Character

- The proposed building cladding materials are comprised of metal composite paneling, with yellow-gold tones along the south and east facades, and charcoal at the rear, and are in general alignment with the OCP and CCAP design guidelines. The new materials will replace the existing orange stucco to modernize the buildings appearance.
- The existing white coloured concrete block wall facing the west interior side lot line will be repainted to a charcoal colour in keeping with the overall proposed design approach.
- The existing skylight at the southern most portion of the building is to remain. The existing skylight above the main entrance is proposed to be removed.
- The existing sun-screen at the southern most portion of the building, fronting Alexandra Road, is to be removed replaced with a new metal canopy to provide weather protection for the pedestrian walkway along the east side of the building and the main entrance.

Landscape Design and Open Space Design

- Three on-site trees have been recommended for relocation within the site by the project arborist:
 - Two cherry trees (tag #1 and #2) are to be relocated from the small tree bed fronting Alexandra Road to the north side of the new garbage enclosure to provide clearance for the new concrete sidewalk.
 - One cherry tree (tag #3) is to be relocated 3.0 ft. west of its current location along the Alexandra Road frontage.
 - Prior to BP issuance, the applicant is required to enter into a contract with a Certified Arborist to supervise all tree relocation works and the subsequent installation of tree protection measures.
- Following tree relocation, Tree Protection Zone fencing is to be installed 4.0 ft. from the base on the tree stems for the duration of site renovation works. Installation of tree protection measures are required prior to BP issuance.
- No existing trees are being removed from the subject site's northern, eastern and western edges. The existing landscaping appears to be in good condition and is proposed to be enhanced with additional plantings including a mix of native and non-native shrubs.
- An automatic irrigation system will be provided for the new landscaping areas and the trees that are to be relocated.
- There is an existing row of nine trees located along the east shared property line with the neighbouring site that provides natural screening between the parking lot of the existing restaurant and the adjacent property. Based on the scope of work proposed, there will be no impact to those trees and these trees are to be retained.
- There are three existing trees located along the shared north property line with the neighbouring residential properties that provide natural screening. Based on the scope of work proposed, there will be no impact on those trees and these trees are to be retained.

- There are existing shrubs located along the shared west property line with the neighbouring site between the parking lot and the adjacent property. Based on the scope of work proposed, there will be no impact to those shrubs and these shrubs are to be retained.
- Soffit lighting is proposed within the canopy and along the exterior of the existing building. The applicant proposes spotlighting to highlight the future business signage which is proposed to be located in the southeast corner of the property.
- Bollard lighting is to be located along the front, west exterior and rear lot lines of the subject site. Wall-mounted down-lighting is proposed along the exterior of the rear of the building and on the proposed garbage and recycling structure. Non-glare lighting is proposed to be used in the parking lot. The applicant has confirmed that this proposed lighting will have no spillover onto adjacent properties.
- Low voltage, LED lighting is proposed to be added to the yellow-gold metal composite at the front of the building. The applicant has agreed to register a legal agreement to ensure this lighting feature is installed with a dimmer to control the brightness of the light in the event that there are any concerns or issues arising because of this building element.
- To ensure that the Landscape Plan is adhered to, the applicant is required to submit a Landscape Security in the amount of \$106,414.00 (based on a cost estimate prepared by the Landscape Architect including all materials, installation and a 10 per cent contingency) prior to DP issuance.

Crime Prevention Through Environmental Design

- The building has a single entrance for customers, which is located at the southeast corner of the building and is visible from Alexandra Road.
- Additional site lighting and natural surveillance opportunities are provided in the main parking area of the site, staff areas and the main building entrance.

Accessibility

- Two accessible parking spaces will be provided at a location closest to the main entrance of the building.
- A barrier free path, with a clear width of 1.6 m from the parking area, as well as a pedestrian path from the City sidewalk to the main entrance of the building, will be provided.

Site Servicing and Road Frontage Improvements

The applicant is required to enter into a SA prior to BP issuance for the design and construction of identified frontage improvements on Alexandra Road, which would include, but are not limited to:

- 2.0 m sidewalk;
- Grassed/hardscaped boulevard;
- 0.15 m curb and gutter to be in alignment with the existing; and
- Reconstruction of the site access driveway in its current location.

Conclusions

As the proposed development would meet applicable policies and DP Guidelines, staff recommend that the DP be endorsed, and issuance by Council be recommended.



Emma Lovas
Planning Technician – Design
(604-276-4262)

EML:aa

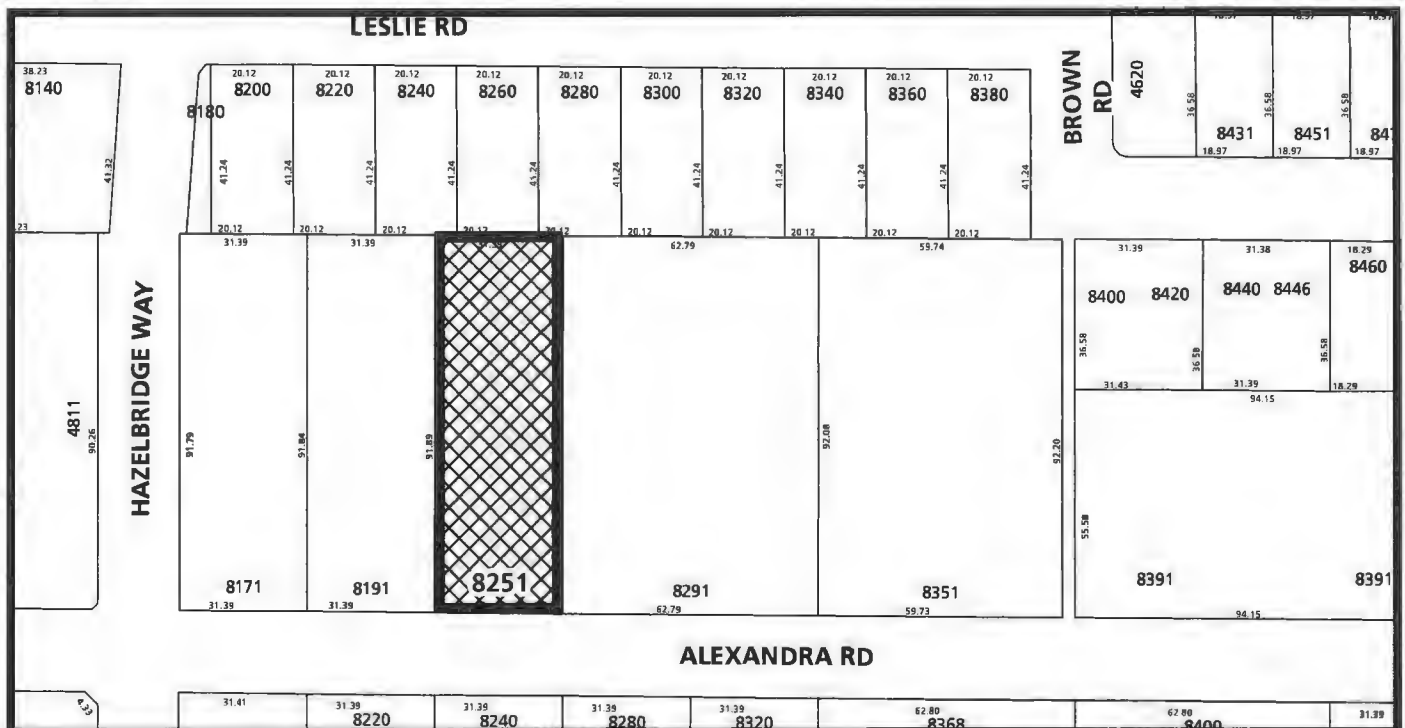
Att. 1: Location Map
2: Development Application Data Sheet

The following are to be met prior to forwarding this application to Council for approval:

1. Receipt of a Letter-of-Credit for landscaping in the amount of \$106,414.00 (based on the cost estimate provided by a Registered Landscape Architect, including installation costs and 10% contingency), to the satisfaction of the Director of Development.
2. Payment of all fees in full for costs associated with Public Notices
3. Registration of a flood indemnity covenant on title.
4. Registration of a legal agreement on title to ensure that no final Building Permit inspection is granted until a dimming mechanism is incorporated into the lighted curved panel façade.

Prior to future Building Permit issuance, the developer is required to complete the following:

1. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
2. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities occurring on-site.
3. Submission of a contract entered into between the applicant and a Certified Arborist supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the arborist to submit a post-construction assessment report for City review.
4. A Servicing Agreement is required for the design and construction of road frontage improvement works. The applicant is required to construct the following along the full frontage of the subject site, at the applicant's cost:
 - a. Alexandra Road from north to south, starting at the property's south property line:
 - i. 2.0 metre sidewalk
 - ii. Grassed/hardscaped boulevard
 - iii. 0.15 metre curb and gutter to be in alignment with the existing
 - b. The new frontage improvements are to be transitioned to meet the existing treatments surrounding the site. Pedestrian access will be provided from the sidewalk.
5. Reconstruction of the site access driveway in its current location is required.
6. Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department.
7. Submission of a contract and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/tp/special.htm>).



DP 25-007857

Note: Dimensions are in METRES



DP 25-007857

Attachment 2

Address: 8251 Alexandra Road

Applicant: Pacific West Architecture Inc.

Owner: Bingtao Zhou

Planning Area(s): Aberdeen Village, City Centre Area Plan

	Existing	Proposed
Site Area:	2,885.7m ²	No Change
Land Uses:	Restaurant	No Change
OCP Designation:	Mixed Use Employment	No Change
Zoning:	Auto- Orientated Commercial (CA)	No Change

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.5	0.228	None
Lot Coverage:	Max. 50%	22.8%	None
Setback – Front Yard:	Min. 3.0 m	4.1 m (existing)	None
Setback – East Side Yard:	Min. 3.0 m	15.7 m (existing)	None
Setback – West Side Yard:	Min. 3.0 m	0 m (existing)	None*
Setback – Rear Yard:	Min. 3.0 m	38.2 m (existing)	None
Height (m):	Max. 45.0 m	10.2 (existing)	None
Off-Street Parking Spaces - Commercial	22	54	None
Off-street Parking Spaces – Accessible:	2	2	None
Bicycle Parking Spaces:	Class 1: 2 Class 2: 3	Class 1: 2 Class 2: 3	None

*The zoning in place at the time of the original building construction permitted a side yard setback of 0m.



City of
Richmond



DP 25-007857

Original Date: 02/26/25
Revision Date:

Note: Dimensions are in METRES



No. DP 25-007857

To the Holder: Patrick Yang

Property Address: 8251 Alexandra Road

Address: Pacific West Architecture Inc.
Unit #940 - 1200 - W 73rd Avenue
Vancouver, BC V6P 6G5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #15 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$106,414.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 25-007857

To the Holder: Patrick Yang

Property Address: 8251 Alexandra Road
Address: Pacific West Architecture Inc.
Unit #940 - 1200 - W 73rd Avenue
Vancouver, BC V6P 6G5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

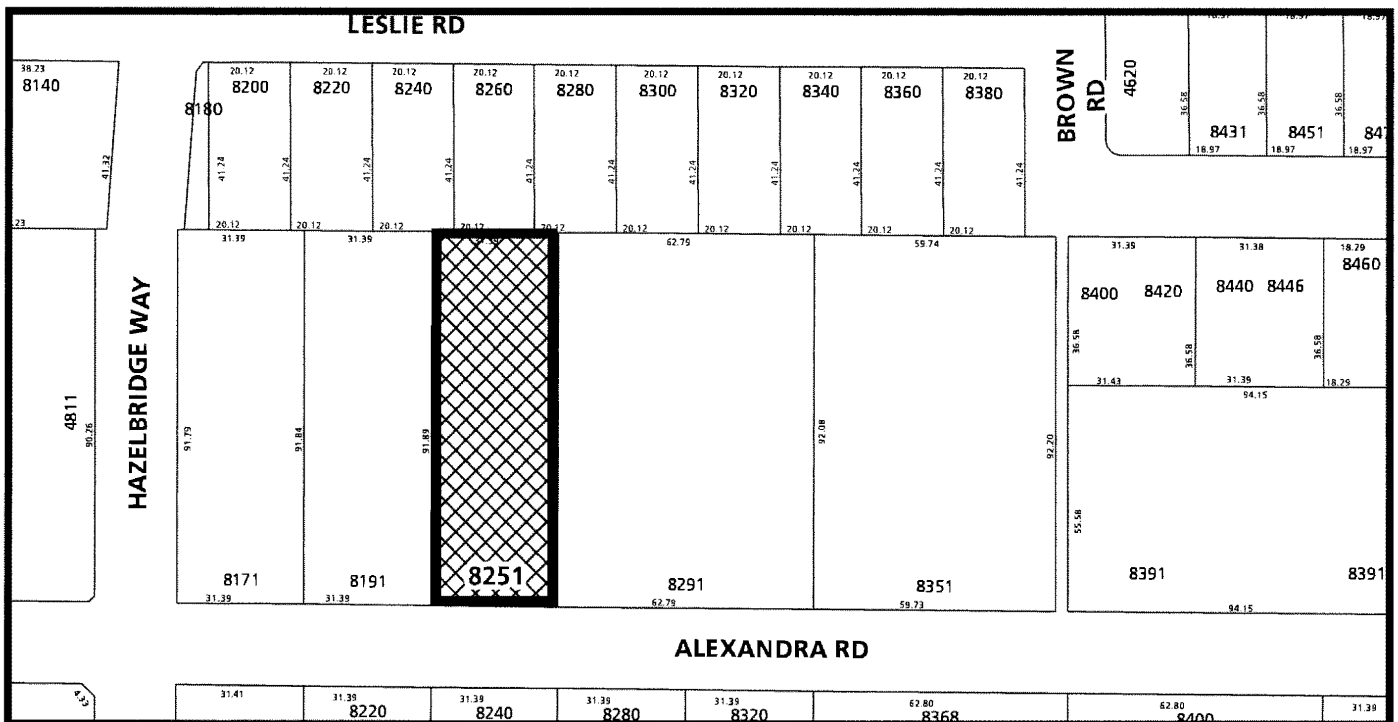
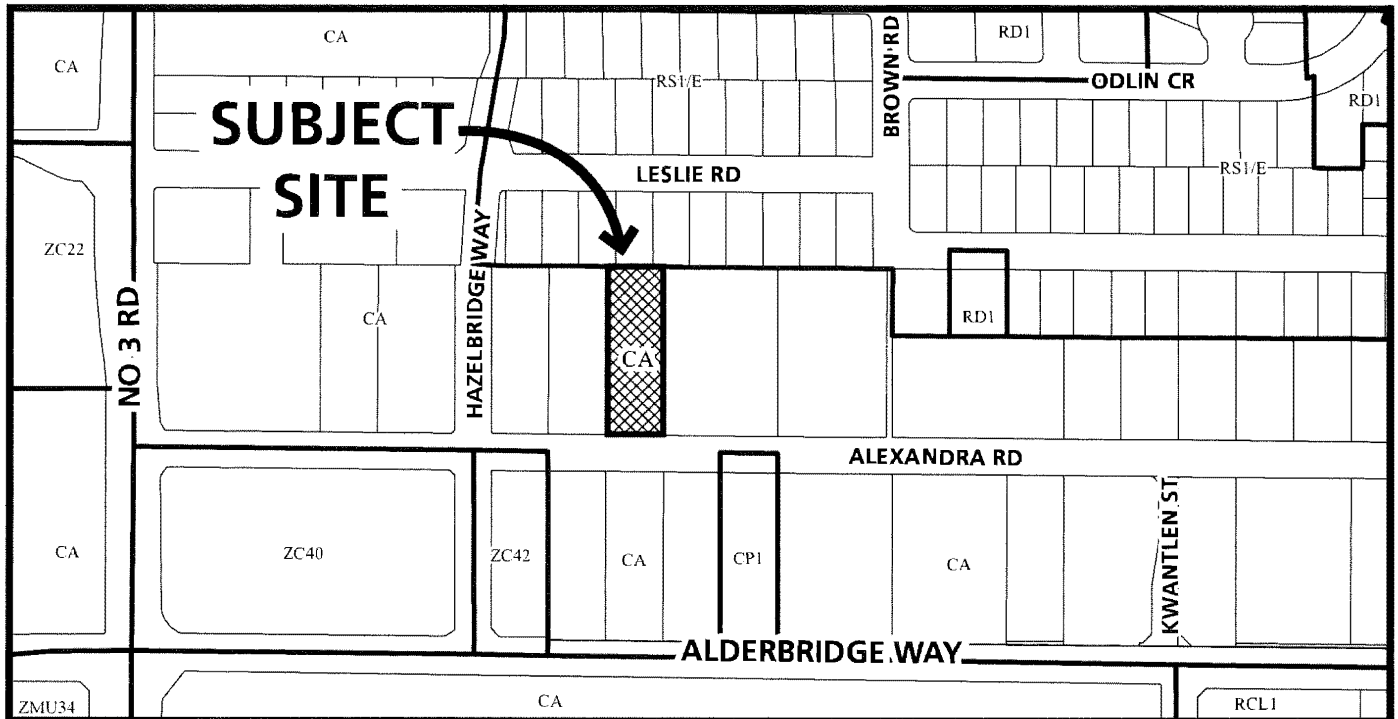
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 25-007857
SCHEDULE "A"

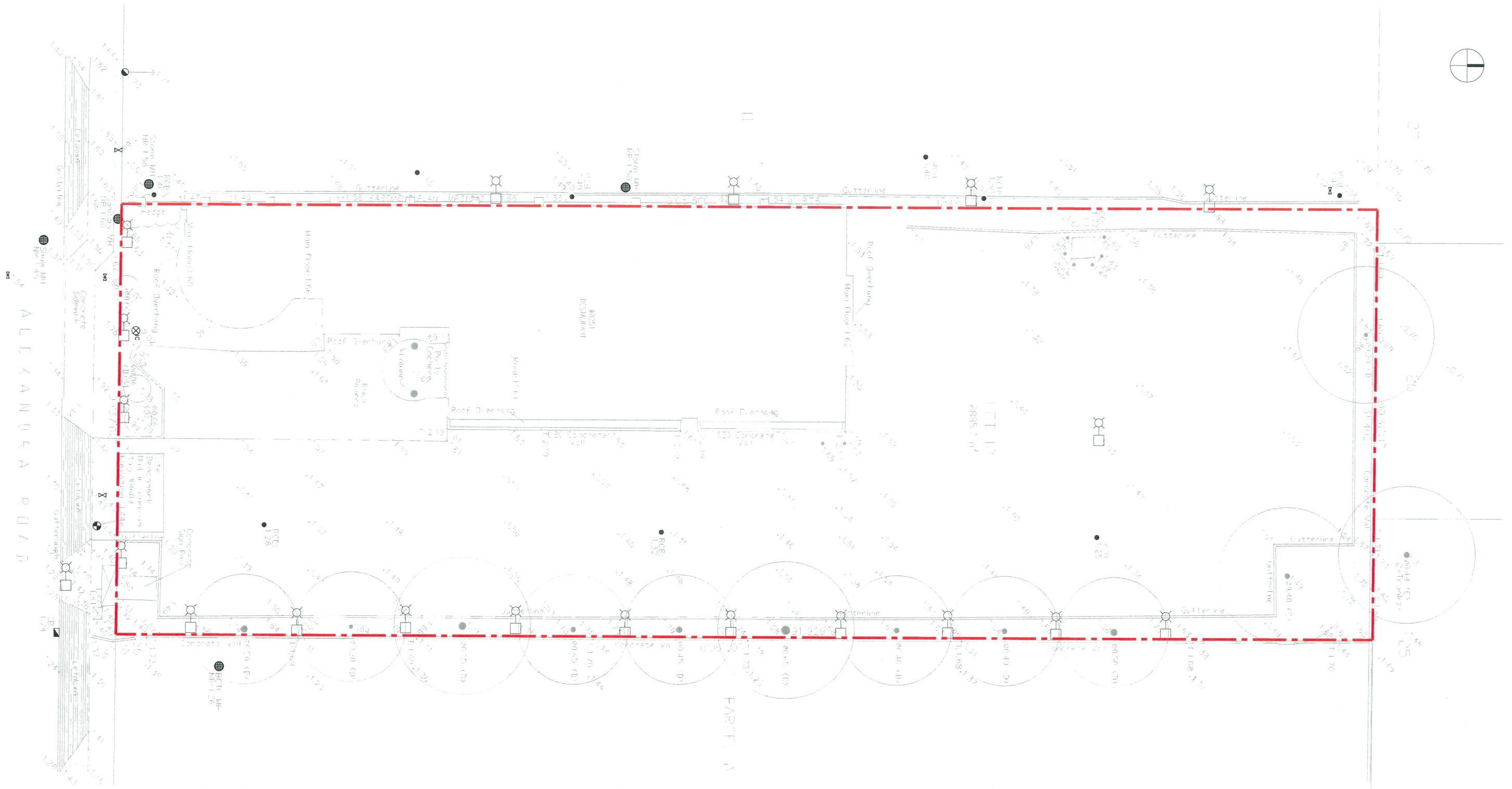
Original Date: 02/25/25

Revision Date:

Note: Dimensions are in METRES

CIVIC ADDRESS: 8251 ALEXANDRA RD, RICHMOND BC





1 SITE SURVEY
Scale: 3/32"=1'-0"



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



September 25, 2025
DP 25-007857
Plan #2

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

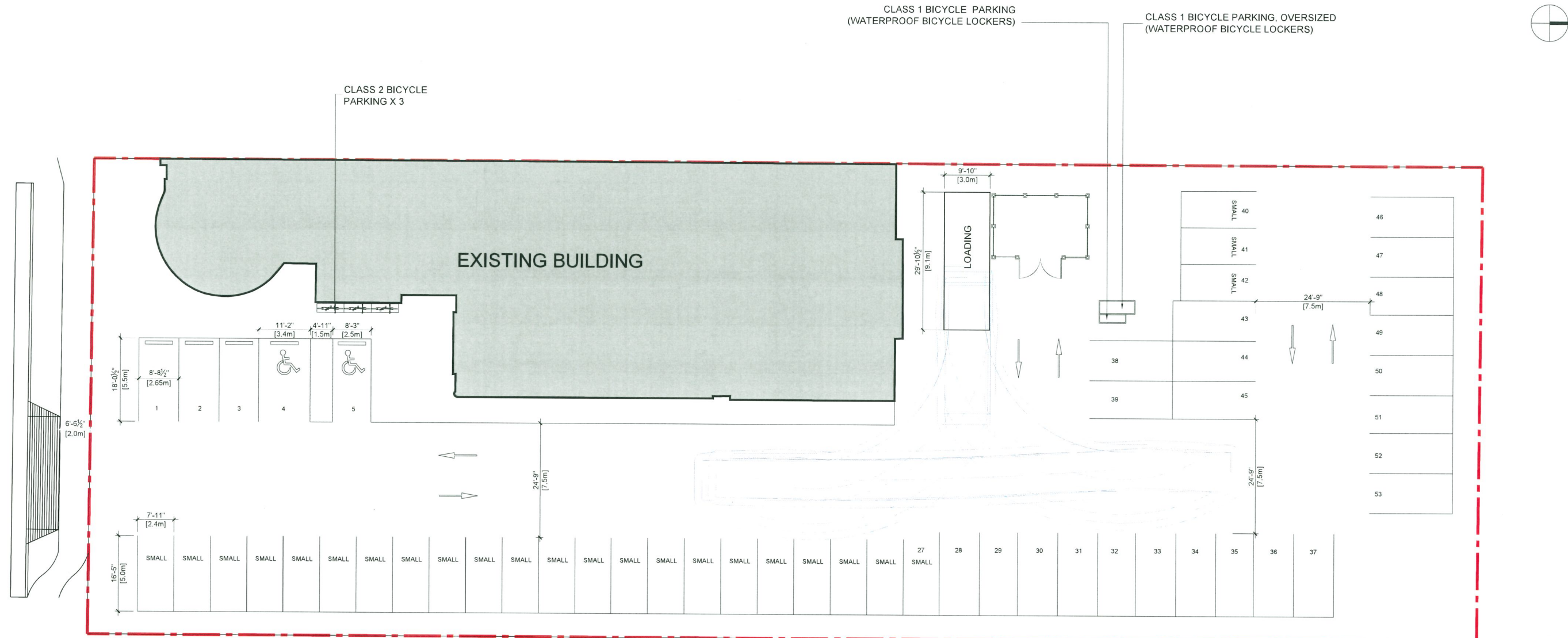
PROJECT NUMBER	A545
DRAWN BY	FC
CHECKED BY	PY

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE
AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY
OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE
USED OR REPRODUCED WITHOUT THE ARCHITECT'S
WRITTEN CONSENT.

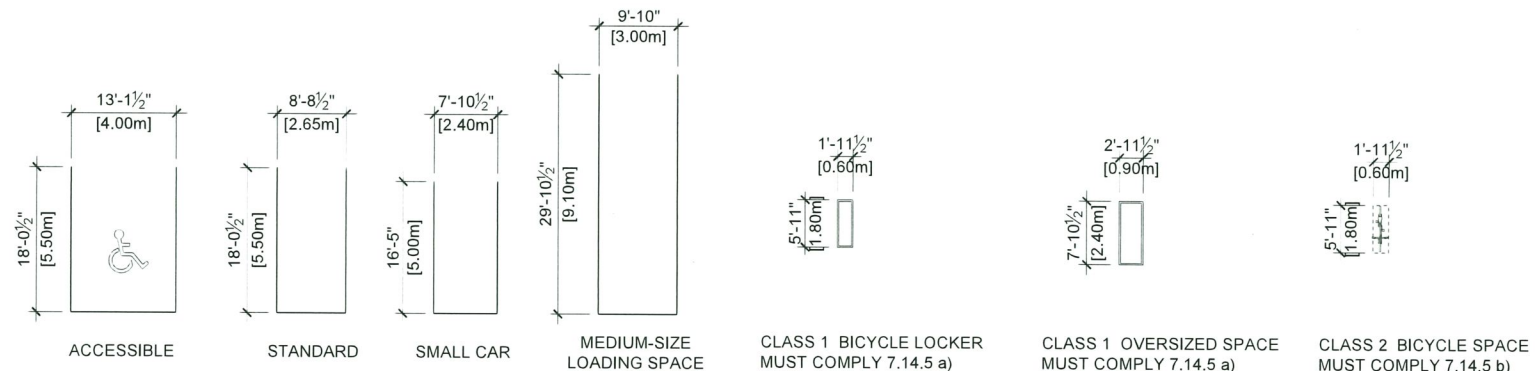
PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
EXISTING SITE SURVEY

DRAWING No.



1 PARKING PLAN
Scale: 3/32" = 1'-0"



	Off-Street Parking, Bicycle Parking, and Loading Requirements		Provided	VARIANCE
Minimum Parking Requirements (Zone 1, City Centre)	3.75 spaces per 100.0 m2 of gross leasable floor area 3.75 x 569.5m2/100=21.3	Total Required: 22	Regular size: 26 Small car: 25 Accessible: 2 Total: 53	None
Accessible Parking	min. 2% when 11 or more 2% x 55=1.1	2	2	None
Parking Stall Dimension	Standard: 2.65m W x 5.5 m L Small: 2.4m W x 5m L Accessible: 2.5m W x 5.5m L + Shared Aisle: 1.5m	Small: max 50% when 31 or more	Small Car: 25 (49%)	None
Drive Aisle Width	7.5m		7.5m	None
Loading requirement	1 Medium size on-site designated		1 Medium size on-site designated	None
Loading space size	Medium: 9.1m L x 3m W x 3.8m H Large: 18.4m L x 3.5m W x 4.3m H		Medium: 9.1m L x 3m W x 3.8m H	None
Bicycle Parking	Class 1: 0.27 / 100.0 m2 gross leasable area greater than 100 m2 0.27 x 569.5/100=1.5	2	2 (including 1 oversized)	None
	Class 1 bicycle spaces shall include 5% as oversized spaces 5% x 2=0.1	1	1	None
	Class 2: 0.4 / 100.0 m2 gross leasable area greater than 100 m2 0.4 x 569.5/100=2.3	3	3	None
Bicycle Dimension	1.8m (horizontal)/1.0m (vertical) L x 0.6m W x 1.9m H		1.8m (horizontal) L x 0.6m W x 1.9m H	None



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5
Office: 604 558 3064
www.pwaarchitecture.com



September 25, 2025
DP 25-007857
Plan #3

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

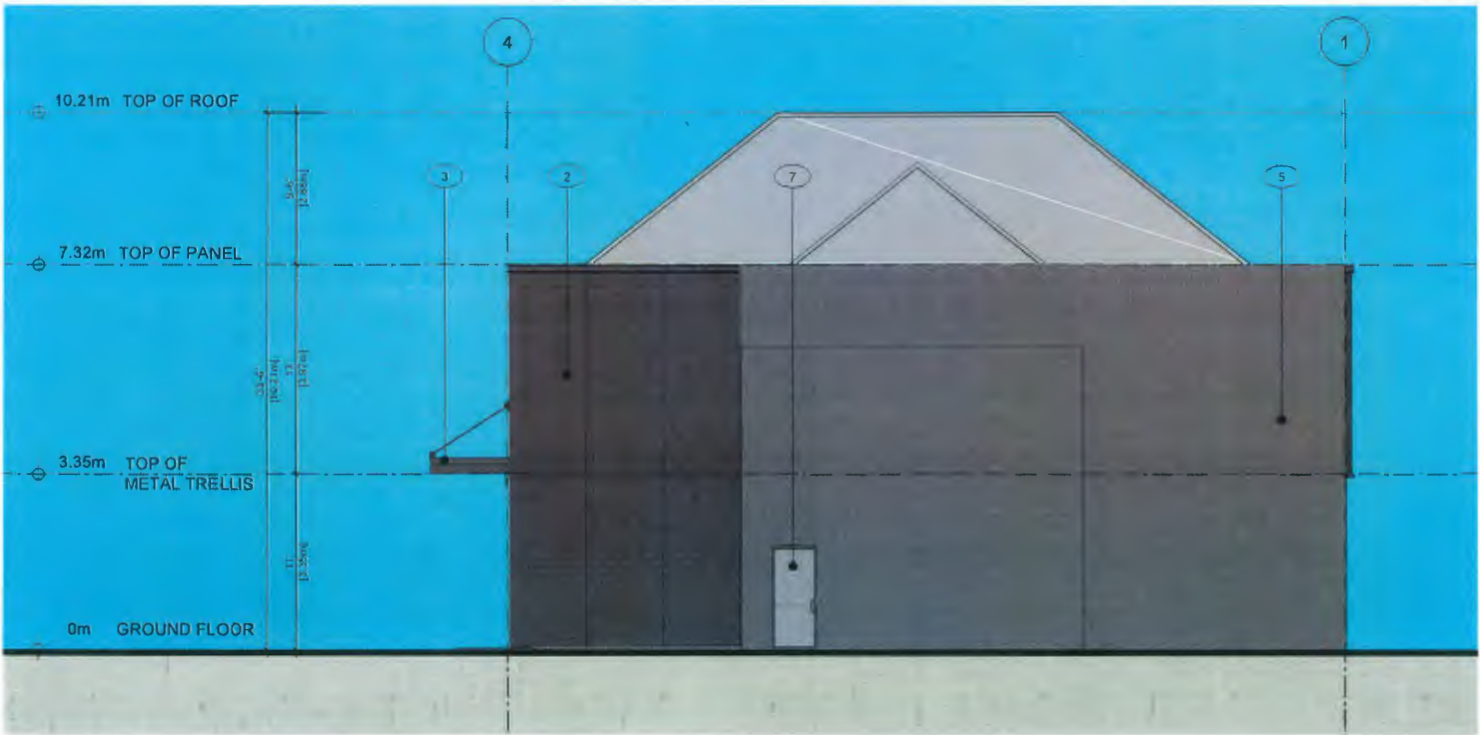
PROJECT NUMBER	A545
DRAWN BY	FC
CHECKED BY	PY
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.	

PROJECT	8251 ALEXANDRA ROAD RICHMOND, BC
DRAWING TITLE	PROPOSED PARKING PLAN

DRAWING No.	
-------------	--



1 PROPOSED BUILDING ELEVATION-EAST
Scale: 3/16"=1'-0"



2 PROPOSED BUILDING ELEVATION-NORTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND

- 1 METAL COMPOSITE PANEL - COLOR: YELLOW
- 2 METAL COMPOSITE PANEL - COLOR: CHARCOAL
- 3 METAL CANOPY
- 4 EXISTING CONCRETE BLOCK, PAINTED
- 5 STUCCO, EXISTING - COLOR: DARK GRAY
- 6 GLAZED WINDOW
- 7 HOLLOW METAL DOOR
- 8 STOREFRONT DOOR



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



September 25, 2025
DP 25-007857
Plan #4

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	A545
DRAWN BY	FC
CHECKED BY	PY

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE
AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY
OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE
USED OR REPRODUCED WITHOUT THE ARCHITECT'S
WRITTEN CONSENT.

PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING No.

DRAWING TITLE
PROPOSED ELEVATIONS



1 PROPOSED BUILDING ELEVATION-WEST
Scale: 3/16"=1'-0"



2 PROPOSED BUILDING ELEVATION-SOUTH
Scale: 3/16"=1'-0"

EXTERIOR MATERIAL LEGEND

- 1 METAL COMPOSITE PANEL - COLOR: YELLOW
- 2 METAL COMPOSITE PANEL - COLOR: CHARCOAL
- 3 METAL CANOPY
- 4 EXISTING CONCRETE BLOCK, PAINTED
- 5 STUCCO, EXISTING - COLOR: DARK GRAY
- 6 GLAZED WINDOW
- 7 HOLLOW METAL DOOR
- 8 STOREFRONT DOOR



**pacific
west
architecture**

1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



2025-09-24

September 25, 2025
DP 25-007857
Plan #5

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

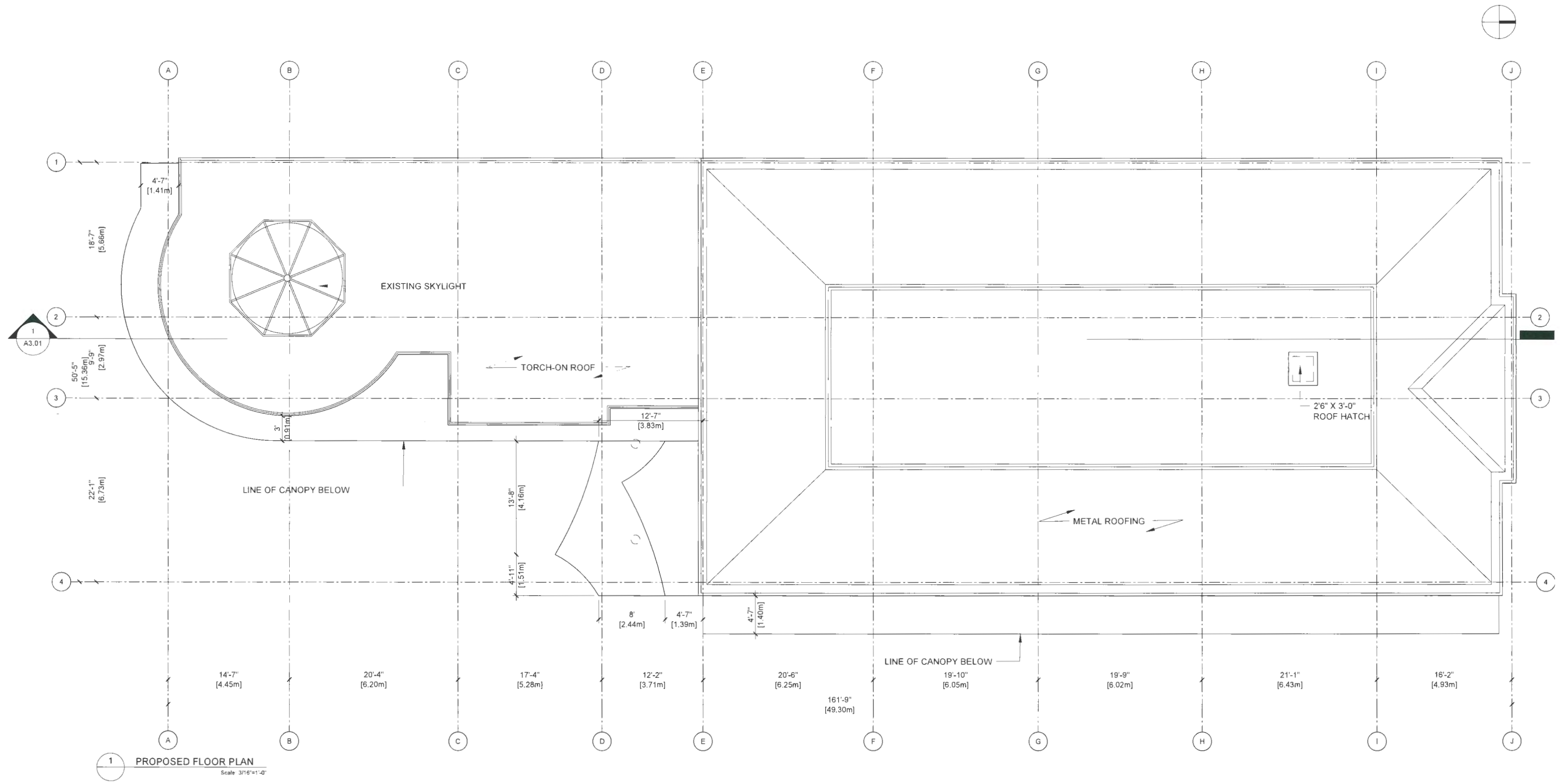
PROJECT NUMBER	A545
DRAWN BY	FC
CHECKED BY	PT

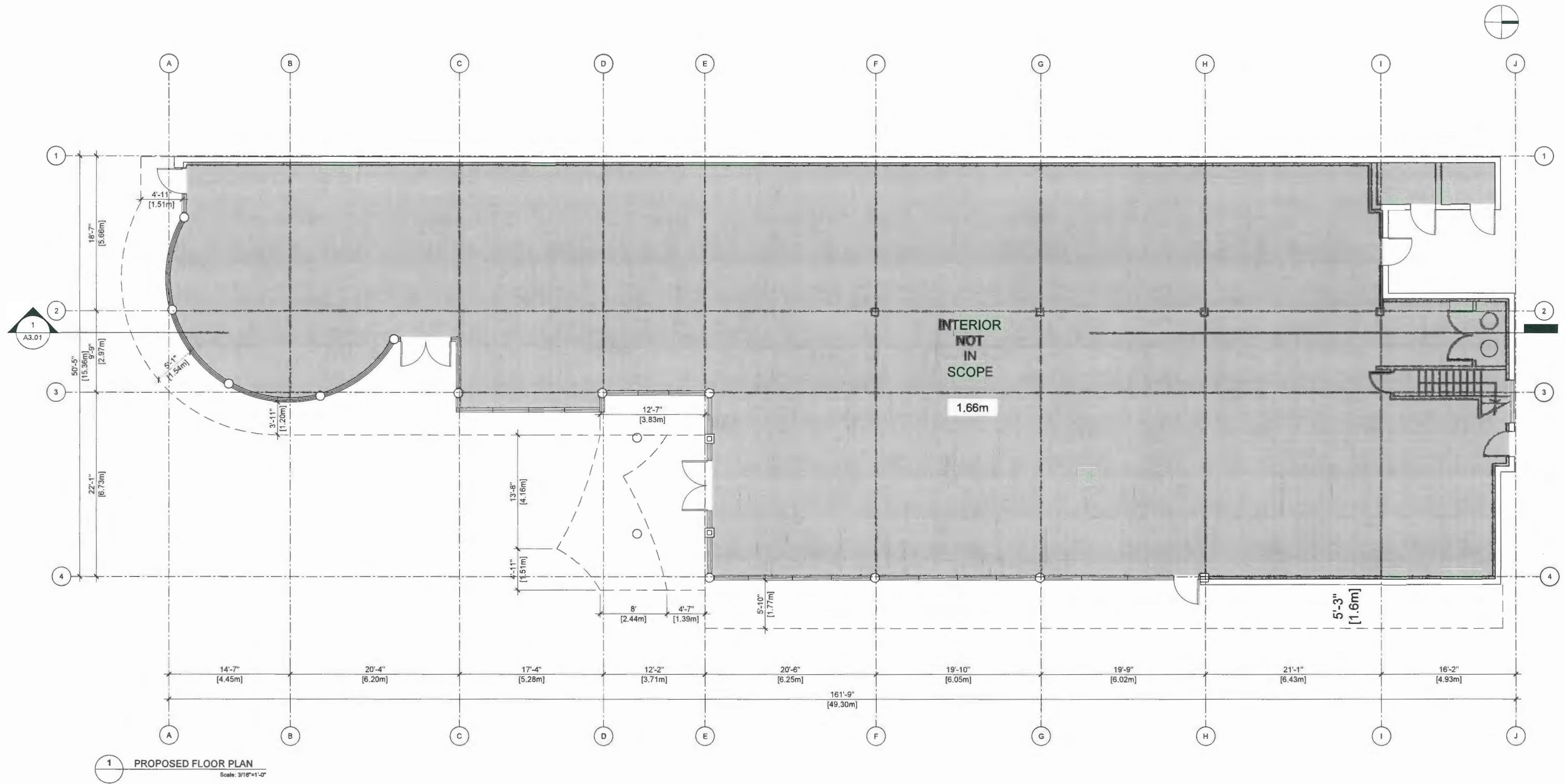
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
PROPOSED ELEVATIONS

DRAWING No.





LEGEND	
	EXISTING EXTERIOR WALL
	EXISTING GLAZING PARTITION
	AREA NOT IN SCOPE



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



September 25, 2025
DP 25-007857
Plan #7

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 16 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	A545
DRAWN BY	FC
CHECKED BY	PY

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE
AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY
OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE
USED OR REPRODUCED WITHOUT THE ARCHITECT'S
WRITTEN CONSENT.

PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
PROPOSED FLOOR PLAN

DRAWING No.



EXTERIOR MATERIAL LEGEND	
1	METAL COMPOSITE PANEL - COLOR: YELLOW
2	METAL COMPOSITE PANEL - COLOR: CHARCOAL
3	METAL CANOPY
4	EXISTING CONCRETE BLOCK, PAINTED
5	STUCCO, EXISTING - COLOR: DARK GRAY
6	GLAZED WINDOW
7	HOLLOW METAL DOOR
8	STOREFRONT DOOR



LED STRIP LIGHT

1 MATERIAL BOARD
NTS



METAL COMPOSITE PANEL -
COLOR:CHARCOAL



STUCCO
COLOR:DARK GREY



METAL PANEL
COLOR:YELLOW



METAL CANOPY
COLOR:CHARCOAL



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3054
www.pwaarchitecture.com



September 25, 2025
DP 25-007857
Plan #8

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	AS45
DRAWN BY	FC
CHECKED BY	PF
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.	

PROJECT	8251 ALEXANDRA ROAD RICHMOND, BC
DRAWING TITLE	MATERIAL BOARD

DRAWING No.	
-------------	--



HOMING LANDSCAPE ARCHITECTURE

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

8251 ALEXANDRA
ROAD

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

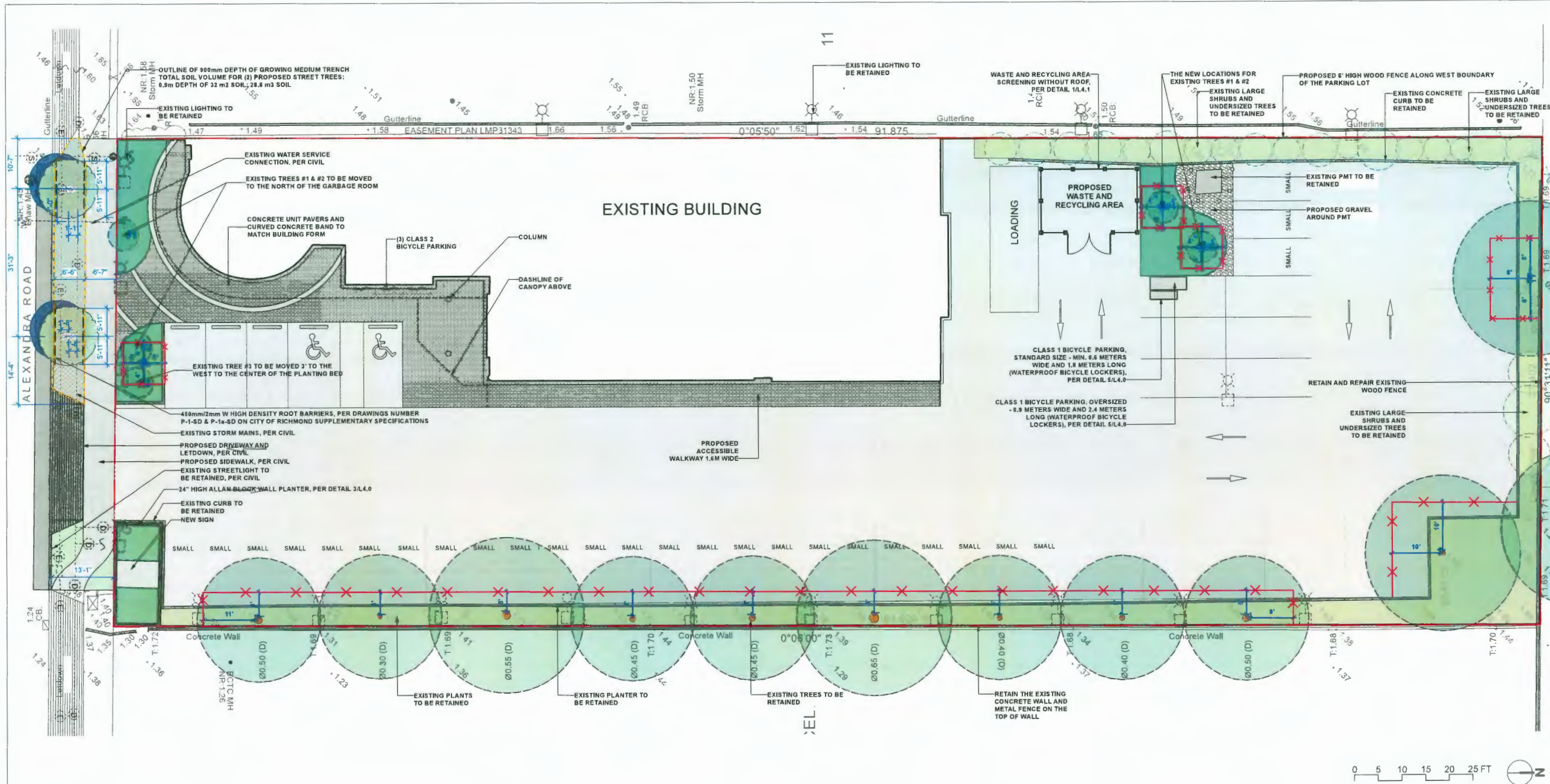
PROJECT NUMBER: 25-23

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

September 25,
2025
DP 25-007857
Plan #9

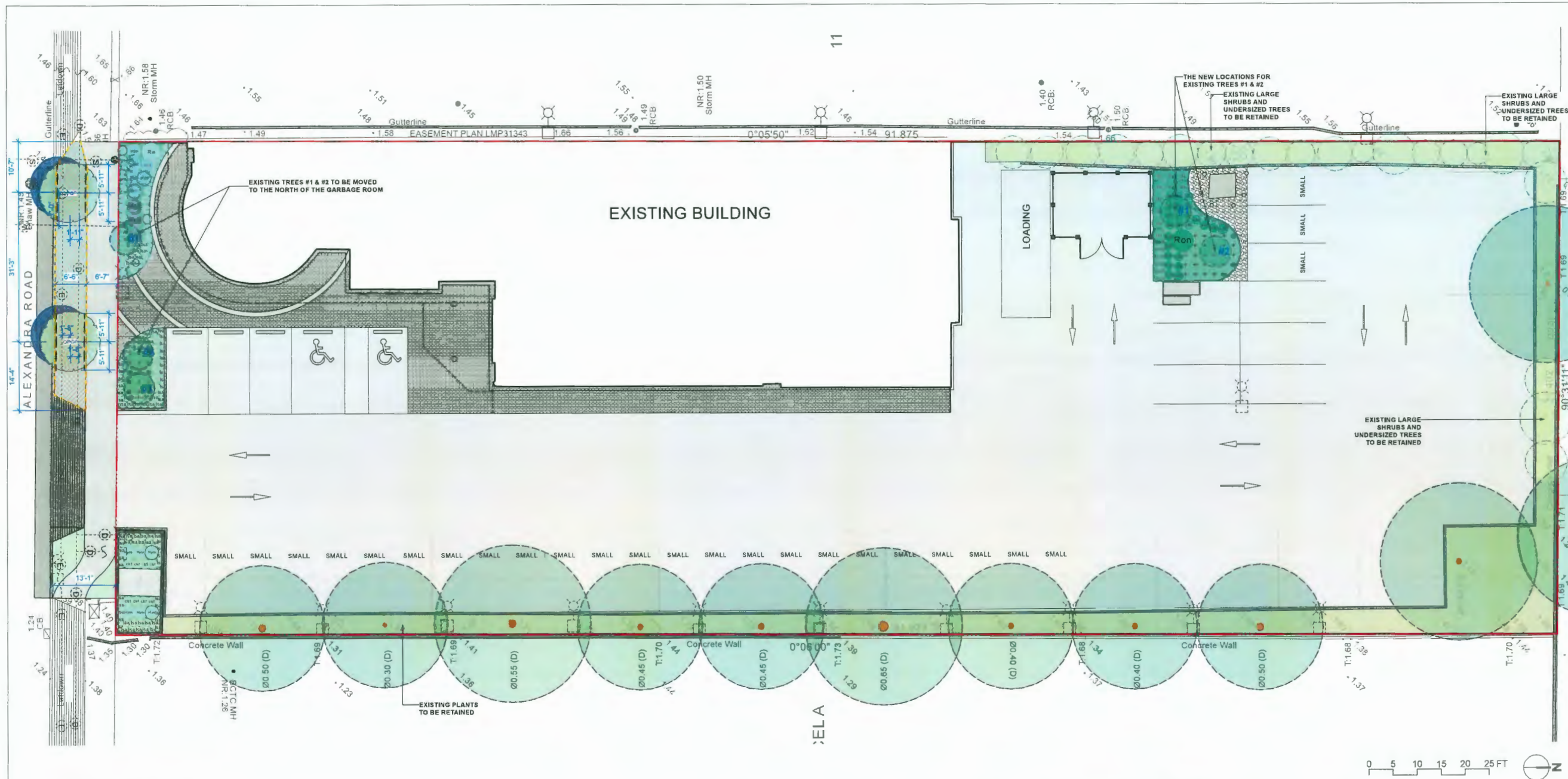


LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS	SYMBOL	MATERIALS	DETAILS
	PEDESTRIAN CONCRETE UNIT PAVERS	1/L4.0		PROPOSED TREES	1&5 /L4.2		EXTENT OF CONTINUOUS 900MM GROWING MEDIUM TRENCH	
	CIP CONCRETE PAVING	2/L4.0		EXISTING TREES TO BE RETAINED	N/A		ROOT BARRIER	
	ASPHALT PAVING	PER CIVIL		PROPOSED BIKE RACKS	4/L4.0		EXISTING LARGE SHRUBS AND UNDERSIZED TREES TO BE RETAINED	
	PROPOSED LAWN	4/L4.2		TREE PROTECTION FENCING	3/L4.0			
	PROPOSED PLANTING BED	3/L4.2						
	EXISTING PLANS IN THE PLANTING AREA TO BE RETAINED	N/A						
	PROPOSED ALLAN BLOCK WALL PLANTER	3/L4.0						

LANDSCAPE NOTES

- DO NOT SCALE DRAWINGS.
- LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
- ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
- THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
- THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL OFF-SITE WORKS TO CONFORM TO CITY OF RICHMOND STANDARDS.
- LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF RICHMOND PRIOR TO INSTALLATION.





**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions		
NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND ,
BC, CANADA

PROJECT NUMBER: 25-23
SCALE: 3/32"=1'0" (1:128)
DRAWN BY: EL
REVIEWED BY: EL

**September 25,
2025**
DP 25-007857
Plan #10

ONSITE PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
SHRUBS					
Hym	Hydrangea macrophylla	Bigleaf Hydrangea	12	#5 pot	
Ma	Mahonia aquifolium	Oregon Grape Holly	10	#3 pot	native species
Mn	Mahonia nervosa	Dwarf Oregon Grape	18	#1 pot	native species
Nan	Nandina domestica 'Compacta'	Dwarf Heavenly Bamboo	35	#2 pot	
Ris	Ribes sanguineum	Red Flowering Currant	1	#3 pot	native species
Ron	Rosa nutkana	Native Shrub Rose	1	#5 pot	native species
Ro5	Rosa x 'Scarlet Meidiland'	Scarlet Meidiland Rose	3	#3 pot	
PERENNIALS & GROUNDCOVERS					
adp	Adiantum pedatum	American Maidenhair Fern	12	#1 pot	native species
ar	Arctostaphylos uva-ursi 'Vancouver Jade'	Bearberry, Kinnikinnick	42	#1 pot	native species
ble	Blechnum spicant	Deer Fern	12	#1 pot	native species
lsa	Lavandula angustifolia	English Spike Lavender	89	#1 pot	
ORNAMENTAL GRASSES & BAMBOOS					
ckf	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	8	#3 pot	
VINES					

OFFSITE PLANT LIST					
Latin Name	Common Name	ID	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
Quercus palustris 'Green Pillar'	Green Pillar Oak	QPGP	2	6cm cal.	Street trees to be confirmed by the City

Planting Notes:

1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.

2) All planting shall be in accordance with CSLA Canadian Landscape Standard, latest edition.

3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.

4) All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program.



HOMING LANDSCAPE ARCHITECTURE

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

8251 ALEXANDRA
ROAD

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND ,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: 3/32"=1'0" (1:128)

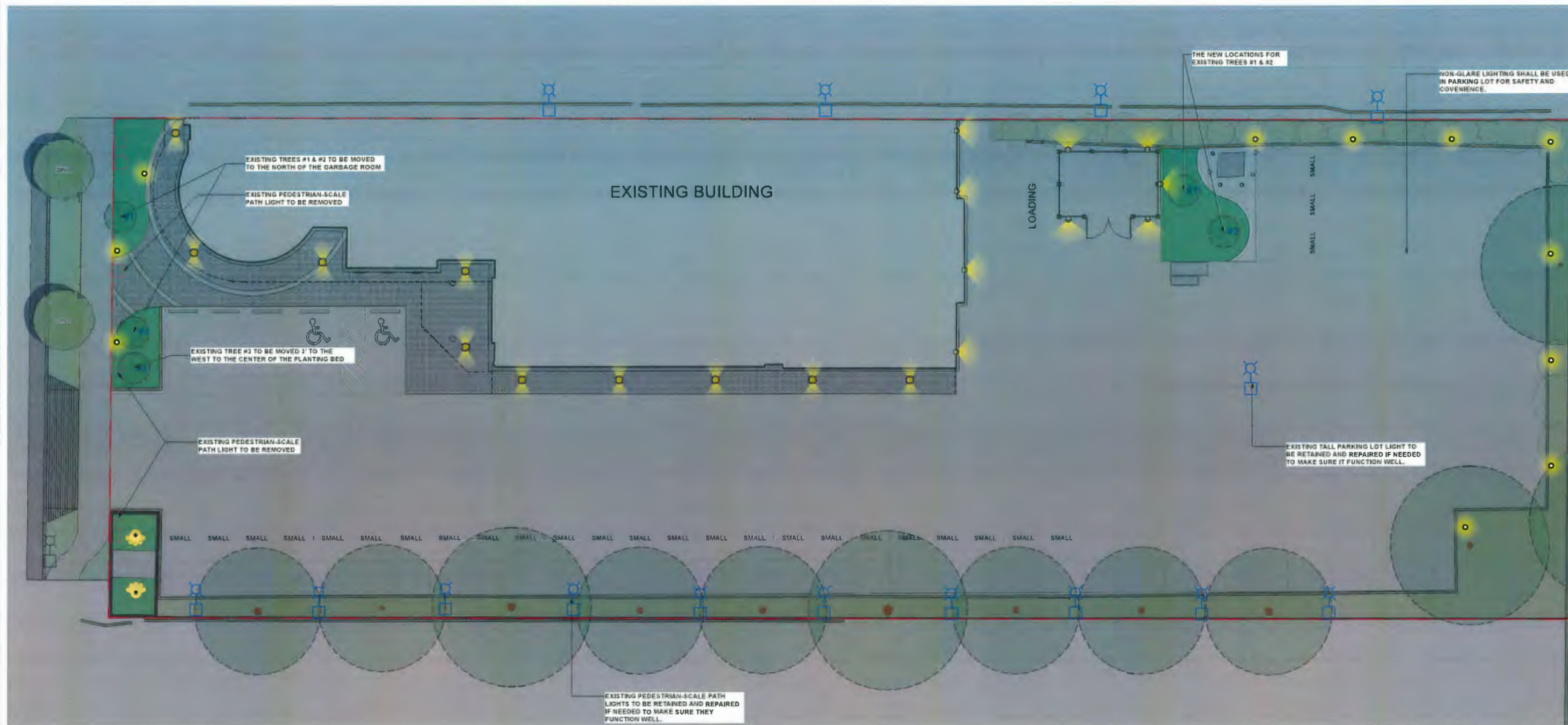
DRAWN BY: EL

REVIEWED BY: EL

September 25,
2025

DP 25-007857

Plan #11



LANDSCAPE LIGHTING LEGENDS

SYMBOL	MATERIALS
	PROPOSED UPLIGHT
	BOLLARD LIGHT
	WALL MOUNTED DOWNLIGHT
	SOFFIT LIGHT
	EXISTING LIGHT TO BE RETAINED
	EXISTING LIGHT TO BE REMOVED

LIGHTING NOTES

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT, AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. ALL EXTERIOR LIGHT FIXTURE LOCATIONS TO BE STAKED BY CONTRACTOR AND APPROVED BY THE CLIENTS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

**September 25,
2025**
DP 25-007857
Plan #12

IRRIGATION STUB-OUT
2" DIAMETER @ 50 GPM

AREA TO BE IRRIGATED

AREA TO BE IRRIGATED

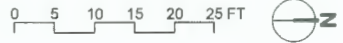
EXISTING BUILDING

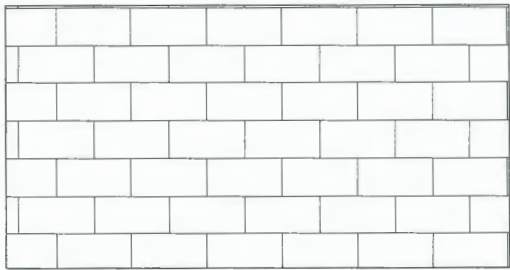
LOADING

AREA TO BE IRRIGATED

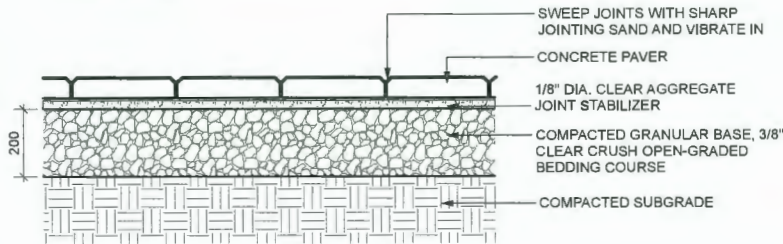
IRRIGATION LEGENDS

KEY	DESCRIPTION
*	WATER STUB-OUT SCHEMATIC ONLY. REFER TO MECHANICAL
	IRRIGATION AREA



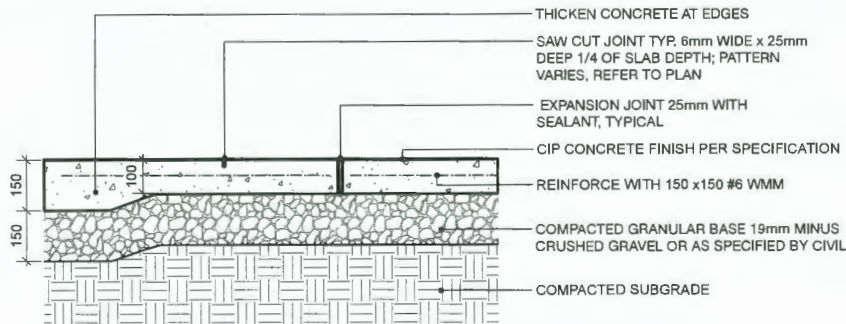


PLAN
CLASSIC STANDARD PAVERS - STANDARD SIZE BY BELGARD (877-235-4273)
DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x 4-7/16" x 2-3/8")
PATTERN: RUNNING BOND
COLOUR: NATURAL



NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

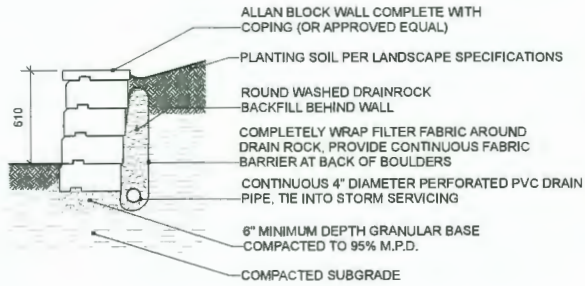
1 CONCRETE UNIT PAVING ON GRADE
Scale: 1:10



NOTES:
1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

2 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10

NOTES:
1 - INSTALL WALLS PER MANUFACTURER SPECIFICATIONS.
2 - GLUE CAPS DOWN WITH ADHESIVE RECOMMENDED BY WALL MANUFACTURER.



3 ALLAN BLOCK WALL PLANTER AROUND THE PROJECT SIGN
Scale: 1:25

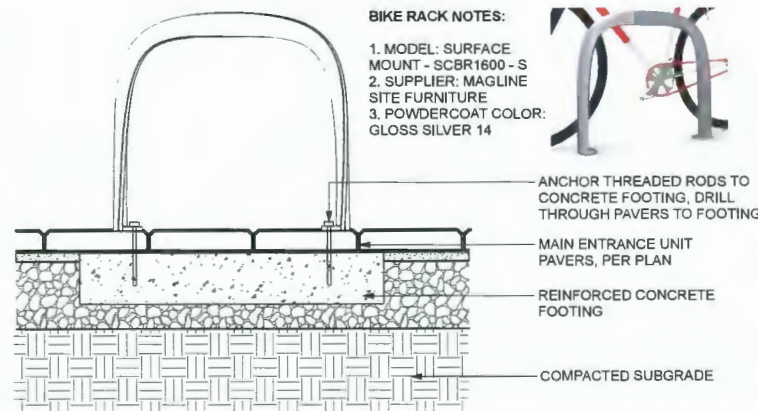


PRECEDENT

NOTES:

1. STANDARD SIZE MODEL: MIN. 0.6 METERS WIDE AND 1.8 METERS LONG
2. OVERSIZED MODEL: 0.9 METERS WIDE AND 2.4 METERS LONG
3. SUPPLIER: CYCLESAFE OR APPROVED ALTERNATIVE SUPPLIER

5 OUTDOOR BIKE LOCKER - STANDARD SIZE & OVERSIZED MODELS
Scale: N/A



BIKE RACK NOTES:

1. MODEL: SURFACE MOUNT - SCBR1600 - S
2. SUPPLIER: MAGLINE SITE FURNITURE
3. POWDERCOAT COLOR: GLOSS SILVER 14

NOTE:
PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

4 BIKE RACK
Scale: 1:10



HOMING LANDSCAPE ARCHITECTURE

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

8251 ALEXANDRA ROAD

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: AS SHOWN

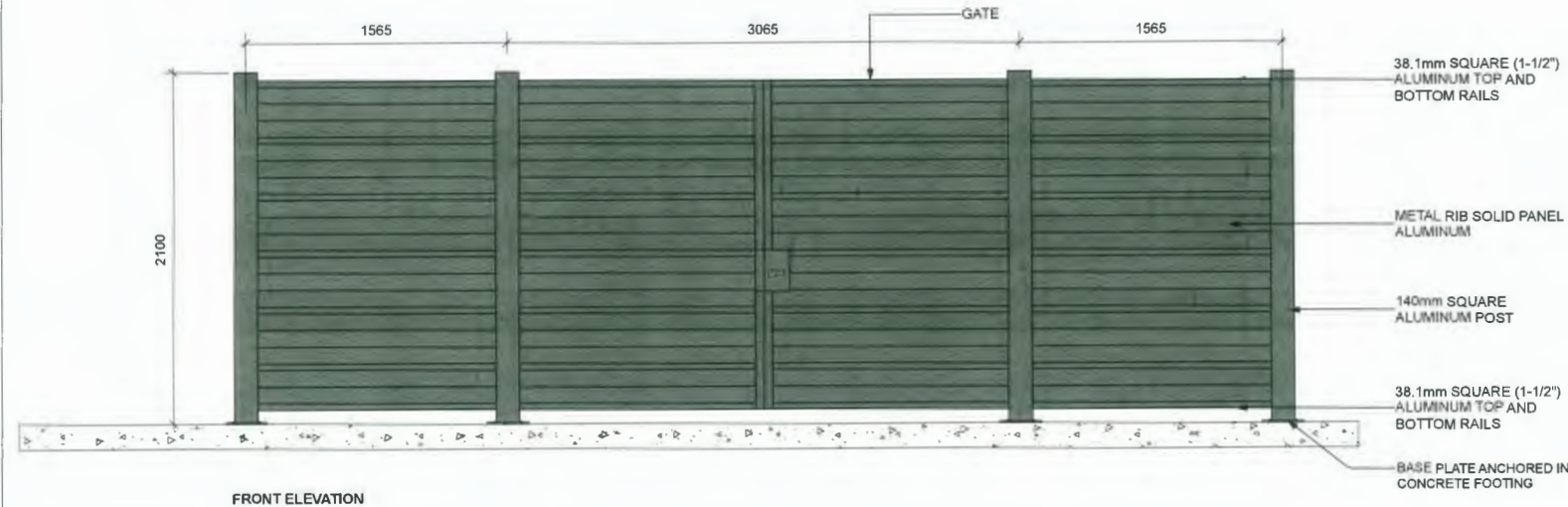
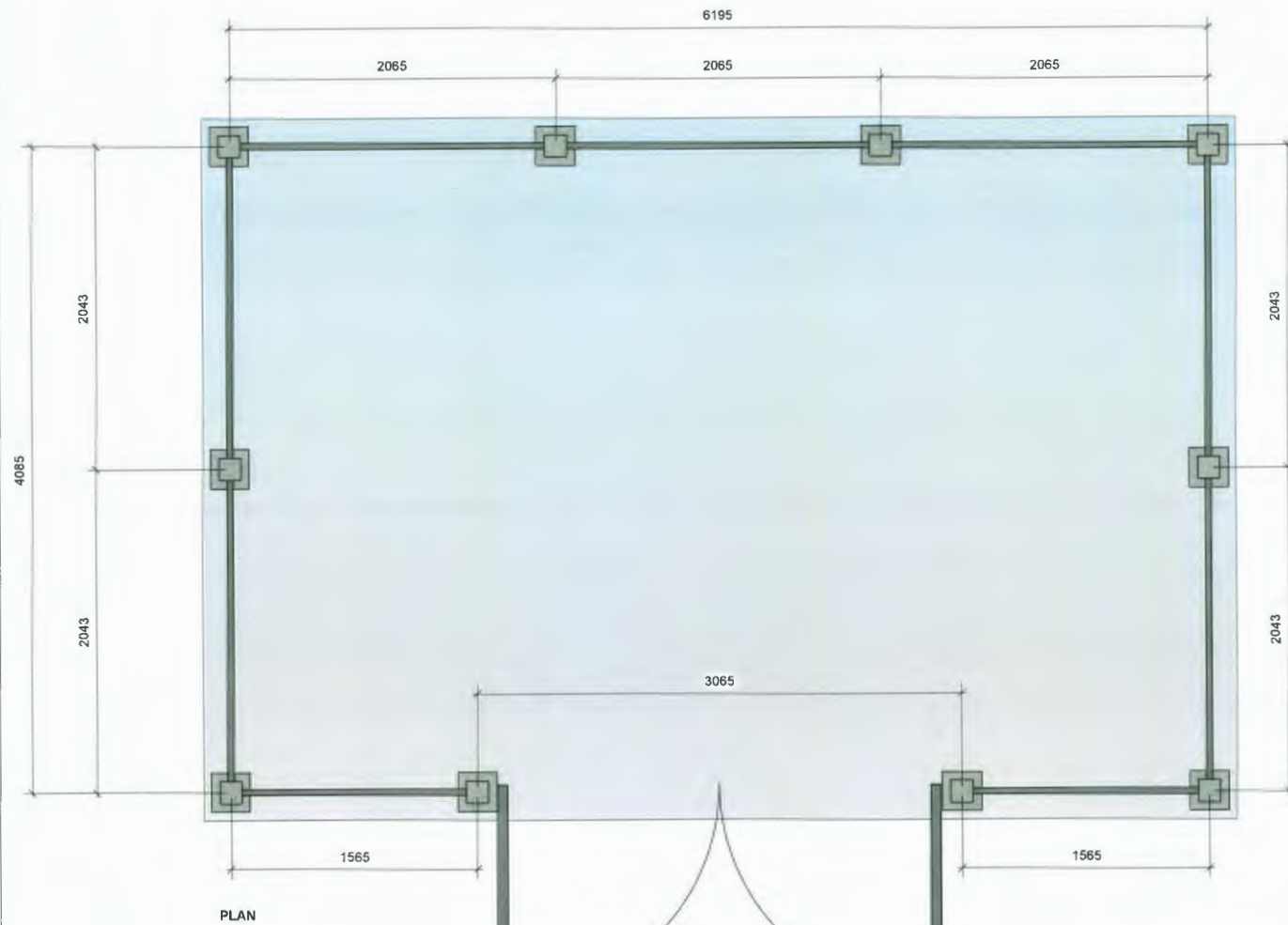
DRAWN BY: EL

REVIEWED BY: EL

September 25,
2025

DP 25-007857

Plan #13



- NOTES:
1. ALL METAL ALUMINUM WITH BLACK POWDERCOAT FINISH (TO BE FACTORY APPLIED)
 2. ALL WELDED CONSTRUCTION.
 3. PROVIDE SHOP DRAWINGS FOR APPROVAL.
 4. CONCRETE FOOTING TO BE CONFIRMED BY STRUCTURAL ENGINEER.

1 WASTE AND RECYCLING AREA SCREENING
Scale: 1:20



PRECEDENT

NOTE: THE SCREENING SHALL BE A MINIMUM OF 2.0 METRES IN HEIGHT TO A MAXIMUM HEIGHT THAT IS EQUIVALENT TO THE HEIGHT OF THE REFUSE OR RECYCLING BIN BUT IN NO CASE MORE THAN 2.4 METRES.



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V8H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: AS SHOWN

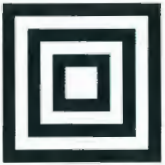
DRAWN BY: EL

REVIEWED BY: EL

**September 25,
2025**

DP 25-007857

Plan #14



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT
RESERVED. IF A DISCREPANCY OCCURS
BETWEEN THE DRAWINGS AND THE
SPECIFICATIONS OR ANY OTHER DOCUMENT
ASSOCIATED WITH THE PROJECT, THE CONFLICT
SHALL BE REPORTED IN WRITING TO THE
LANDSCAPE ARCHITECT TO OBTAIN
CLARIFICATION AND APPROVAL BEFORE
PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
1	2025-07-16	ISSUED FOR DP
2	2025-09-10	ISSUED FOR DP
3	2025-09-23	ISSUED FOR DP

**8251 ALEXANDRA
ROAD**

PROJECT ADDRESS:
8251 ALEXANDRA RD, RICHMOND,
BC, CANADA

PROJECT NUMBER: 25-23

SCALE: AS SHOWN

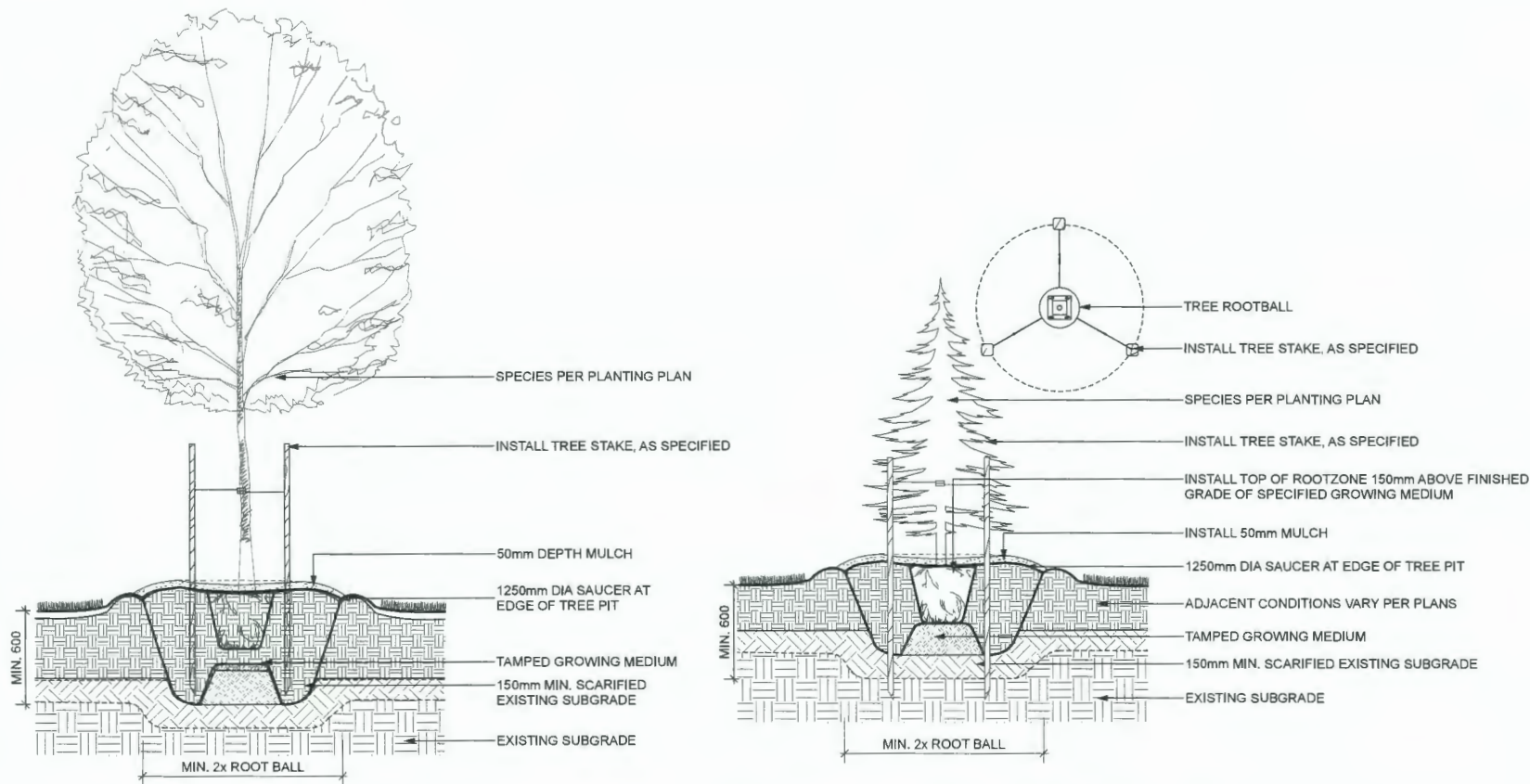
DRAWN BY: EL

REVIEWED BY: EL

**September 25,
2025**

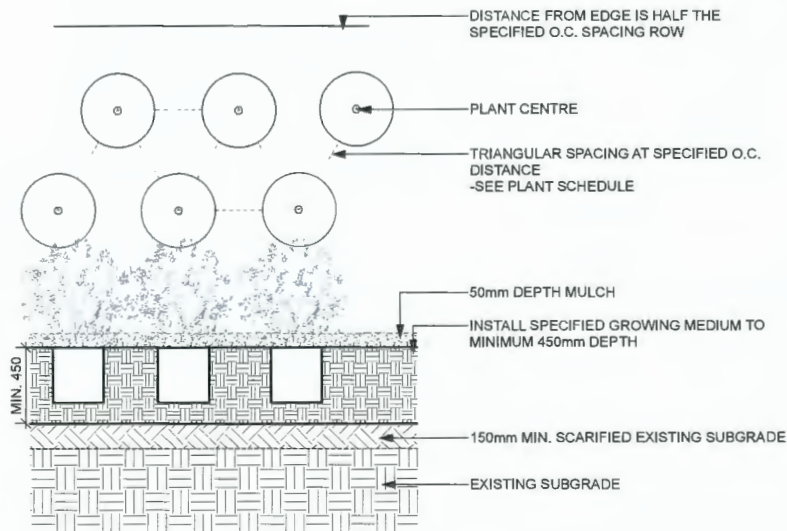
DP 25-007857

Plan #15

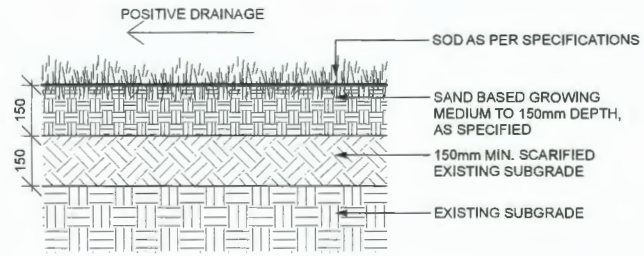


1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20

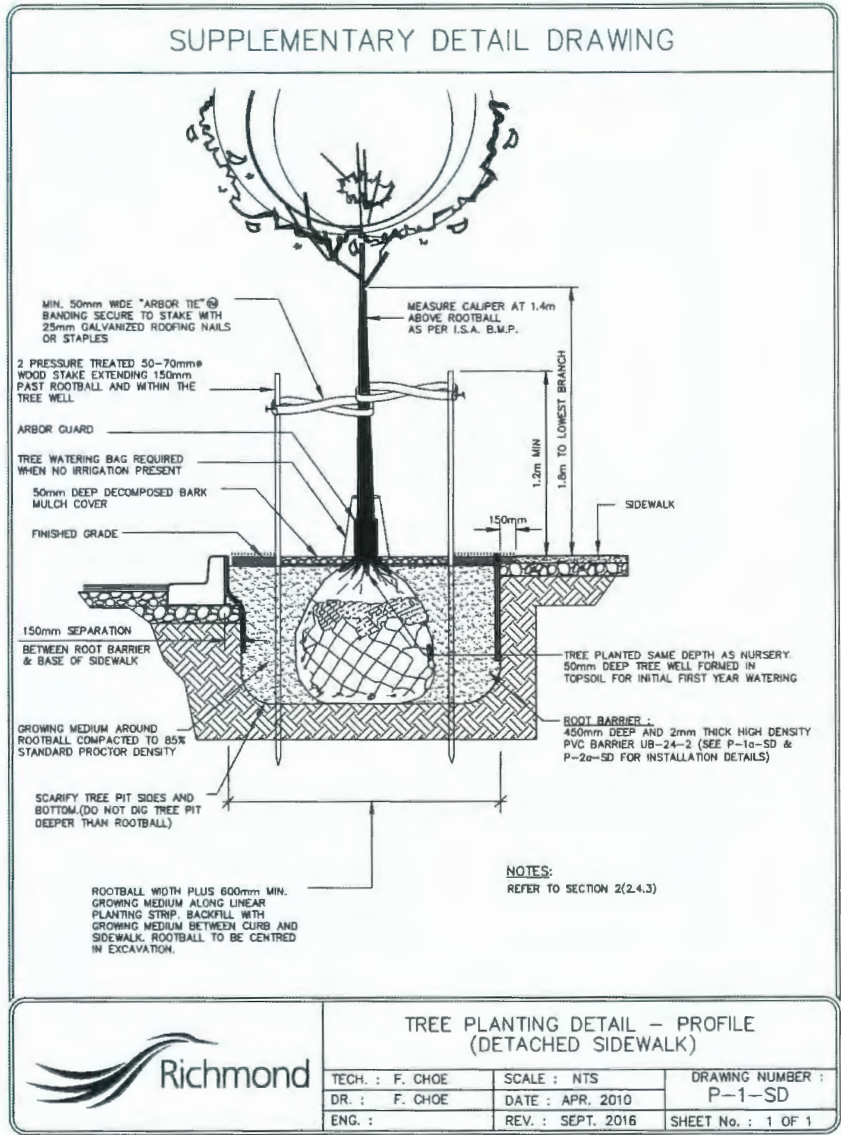
2 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 PLANTING ON GRADE (TYPICAL)
Scale: 1:20



4 SOD LAWN (TYPICAL)
Scale: 1:10



5 GRASS BOULEVARD TREE PLANTING DETAIL - CITY OF RICHMOND
SCALE: N/A



1 3D PERSPECTIVE
NTS



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



DP 25-007857

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	A545
DRAWN BY	FC
CHECKED BY	PY
COPYRIGHT RESERVED, THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.	

PROJECT	8251 ALEXANDRA ROAD RICHMOND, BC
DRAWING TITLE	3D PERSPECTIVE 1

DRAWING No.	Reference Plan
-------------	-------------------



1 3D PERSPECTIVE
NTS



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



DP 25-007857

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	A545
DRAWN BY	FC
CHECKED BY	PY

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE
AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY
OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE
USED OR REPRODUCED WITHOUT THE ARCHITECT'S
WRITTEN CONSENT.

PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
3D PERSPECTIVE 2

DRAWING No.
**Reference
Plan**



1 LOCATION PLAN
Scale: N.T.S.

SUBJECT PROPERTY:
8251 ALEXANDRA RD.,
RICHMOND, BC



2 VIEW 1



3 VIEW 2



4 VIEW 3



5 VIEW 4



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3054
www.pwaarchitecture.com



DP 25-007857

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	AS48
DRAWN BY	PC
CHECKED BY	PF

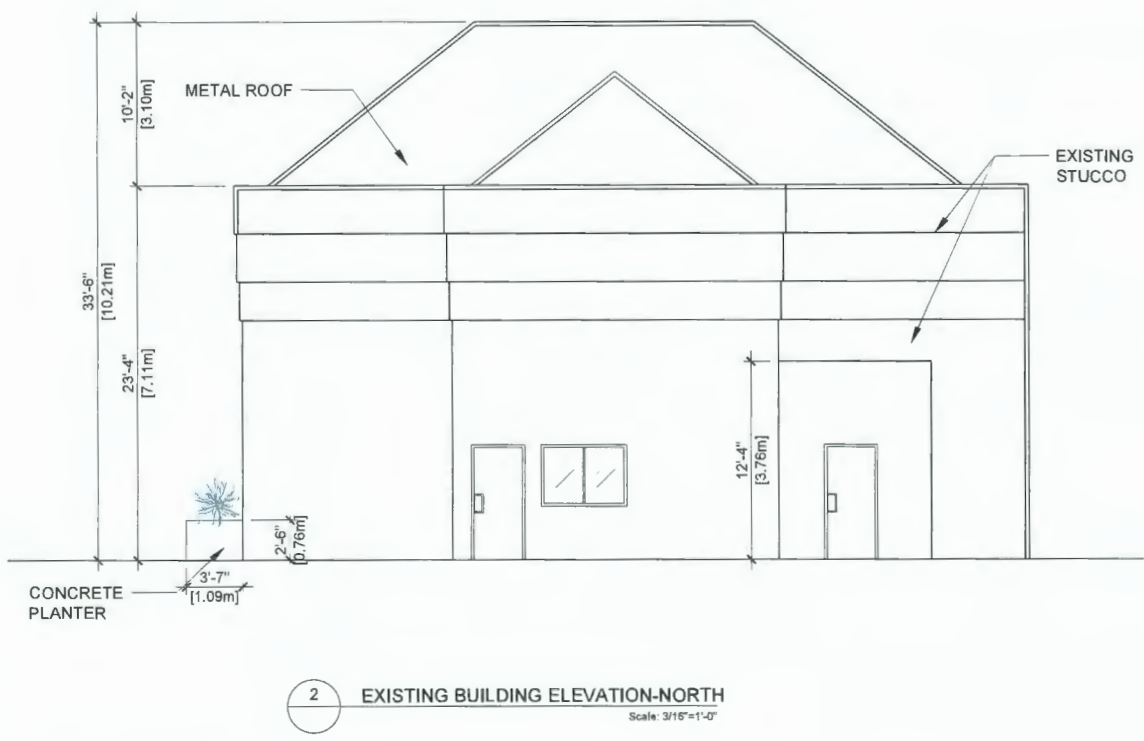
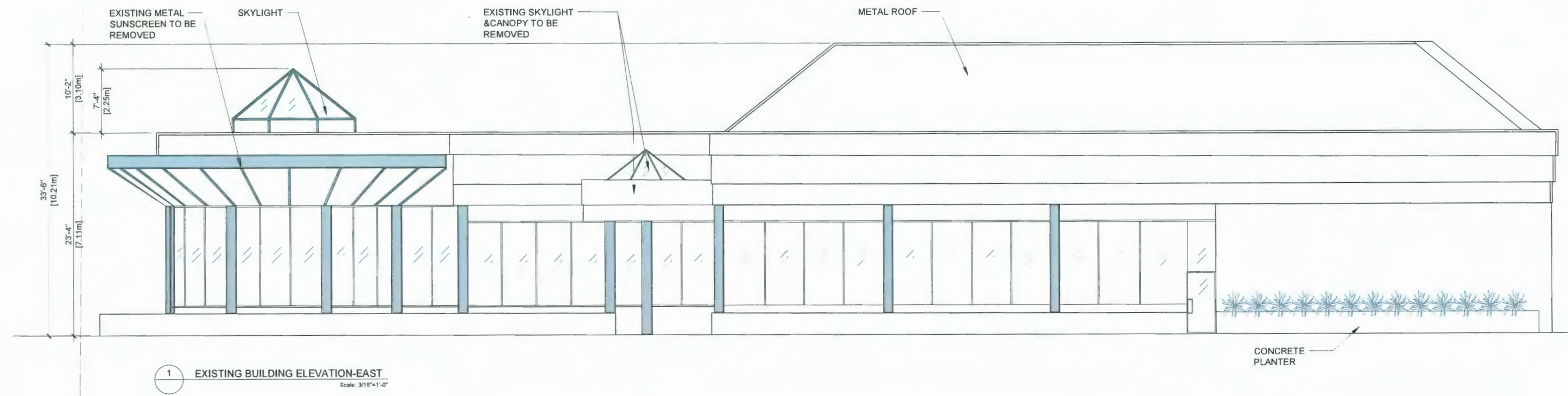
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE
AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY
OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE
USED OR REPRODUCED WITHOUT THE ARCHITECT'S
WRITTEN CONSENT.

PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
SITE CONTEXT

DRAWING No.

**Reference
Plan**



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



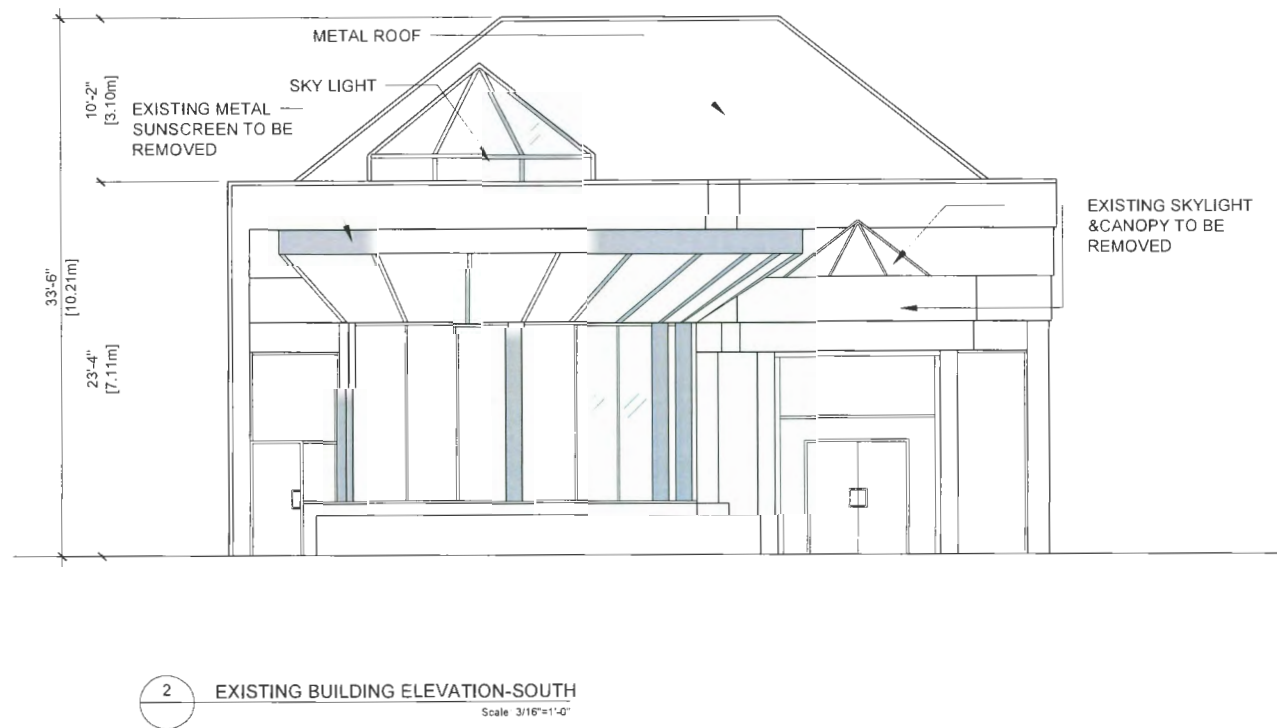
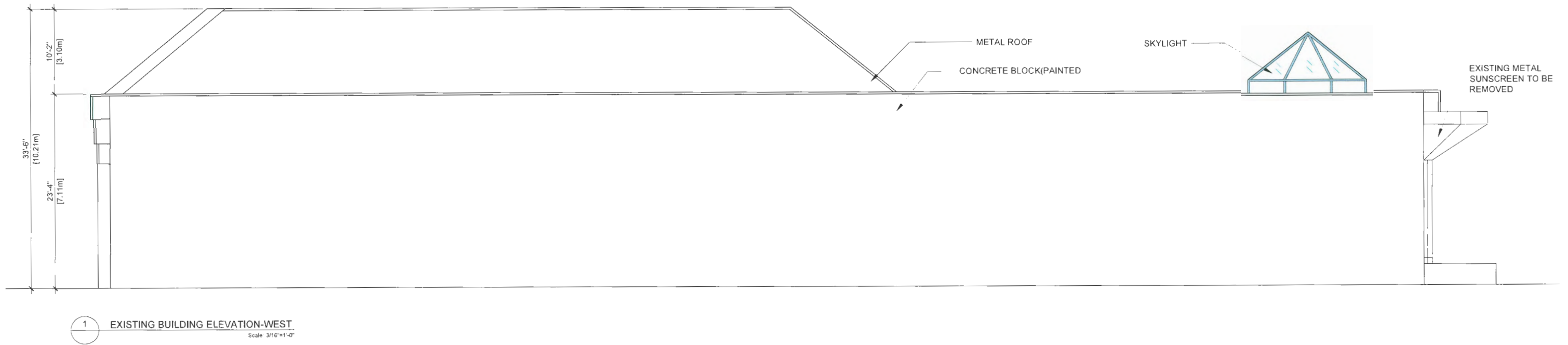
DP 25-007857

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 18 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	AS46
DRAWN BY	FC
CHECKED BY	PR
COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE USED OR REPRODUCED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.	

PROJECT	8251 ALEXANDRA ROAD RICHMOND, BC
DRAWING TITLE	EXISTING ELEVATIONS

DRAWING No. **Reference Plan**



1200 West 73rd Ave (Airport Square)
Suite 940
Vancouver B.C. V6P 6G5

Office: 604 558 3064
www.pwaarchitecture.com



DP 25-007857

ISSUES	DATE
4 REISSUED FOR DP APPLICATION	SEP 23 2025
3 REISSUED FOR DP APPLICATION	SEP 11 2025
2 REISSUED FOR DP APPLICATION	JUL 19 2025
1 ISSUED FOR DP APPLICATION	FEB 11 2025

PROJECT NUMBER	AS45
DRAWN BY	FG
CHECKED BY	PV

COPYRIGHT RESERVED. THIS PLAN AND DESIGN ARE
AND AT ALL TIMES REMAIN THE EXCLUSIVE PROPERTY
OF PACIFIC WEST ARCHITECTURE INC. AND CANNOT BE
USED OR REPRODUCED WITHOUT THE ARCHITECT'S
WRITTEN CONSENT

PROJECT
8251 ALEXANDRA ROAD
RICHMOND, BC

DRAWING TITLE
EXISTING ELEVATIONS

DRAWING No.
**Reference
Plan**

