



## Development Permit Panel

### Council Chambers

Wednesday, October 16, 2013

3:30 p.m.

#### 1. Minutes

*Motion to adopt the minutes of the meeting of the Development Permit Panel held on Wednesday, September 11, 2013.*



#### 2. Development Permit DP 13-631492

(File Ref. No.: DP 13-631492) (REDMS No. 3977245)

APPLICANT: Polygon Development 269 Ltd.

PROPERTY LOCATION: 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road

#### Manager's Recommendations

*That a Development Permit be issued which would:*

1. *Permit the construction of a 547 unit apartment complex and one indoor amenity building at 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road on a site zoned "Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)"; and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum building height from 21.50 metres to a maximum of 22.24 metres to support an architectural pop up roof treatment at the lobby entrance and corners of each building.*



ITEM

**3. Development Permit DP 13-634493**

(File Ref. No.: DP 13-634493) (REDMS No. 3948829)

APPLICANT: Richmond Inn Investments Ltd.

PROPERTY LOCATION: 7551 Westminster Highway

**Manager's Recommendations**

*That a Development Permit be issued which would:*

- 1. Permit the construction of a 1,651 m<sup>2</sup> (17,768 ft<sup>2</sup>) building addition at the south-west corner of the existing hotel for a conference centre and moving the existing liquor store within the building at 7551 Westminster Highway on a site zoned Downtown Commercial (CDT1); and*
- 2. Vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) reduce required off-street parking from 439 to 412 parking spaces.*



**4. New Business**

**5. Date Of Next Meeting: Wednesday, October 30, 2013**

**6. Adjournment**



**Development Permit Panel  
Wednesday, September 11, 2013**

Time: 3:30 p.m.  
Place: Council Chambers  
Richmond City Hall  
Present: Joe Erceg, Chair  
Robert Gonzalez, General Manager, Engineering and Public Works  
Victor Wei, Director, Transportation

The meeting was called to order at 3:30 p.m.

**1. Minutes**

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on Wednesday, August 28, 2013, be adopted.*

**CARRIED**

**2. Development Permit DP 10-557521**

(File Ref. No.: DP 10-557521) (REDMS No. 3839254)

APPLICANT: GBL Architects Group Inc.

PROPERTY LOCATION: 9500 Cambie Road

INTENT OF PERMIT:

1. To permit the construction of a 135-unit mid rise apartment complex at 9500 Cambie Road on a site zoned "Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)"; and
2. To vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) increase maximum lot coverage from 45% to 46%;
  - b) reduce the minimum side yard from 6.0 m to 5.6 m for limited portions of the southwest corner of the building; and

1.

## **Development Permit Panel**

### **Wednesday, September 11, 2013**

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- c) reduce the minimum width of limited portions of the manoeuvring aisles from 6.7 m to 6.1 m.

#### **Applicant's Comments**

Paul Goodwin, GBL Architects Group Inc., and David Rose, PD Group Landscape Architecture Ltd., gave a brief overview of the proposed townhouse development with respect to (i) urban design, (ii) architectural form and character, (iii) landscaping and open space design, and (iv) aircraft noise sensitivity.

#### **Panel Discussion**

In reply to queries from the Panel the following additional information was provided:

- that the 1,127 ft<sup>2</sup> indoor amenity space is located on the ground floor adjacent to the main lobby;
- that the outdoor amenity space includes children's play equipment in two separate play stations, and lawn and seating areas with overhead trellises;
- that the building massing is articulated with projecting and recessing bays and balconies; as well, the rooflines are articulated with tower elements;
- that a diverse streetscape will be created with the use of grass boulevard, street trees, landscaping, and patio pedestrian entries; and
- that the accessible pedestrian access to the site is from the main lobby off of May Drive.

#### **Staff Comments**

Wayne Craig, Director of Development, advised that the development includes six (6) affordable housing units and 122 basic universal housing units in accordance with the zoning bylaw. The Transportation Demand Management package provided with the development includes a cash contribution for a special crosswalk upgrade at the intersection of Stolberg Street and Cambie Road. The building has been designed to comply with the City's Aircraft Noise Sensitive Development policy and will include acoustical measures to ensure CMHC guidelines are achieved. The project will connect into the Alexandra District Utility and the applicant is working co-operatively with the adjacent application to the east on the construction of May Drive. The applicant has satisfactorily addressed the concerns raised by the Advisory Design Panel.

#### **Correspondence**

None.

#### **Gallery Comments**

None.



**Development Permit Panel**  
**Wednesday, September 11, 2013**

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**Panel Decision**

It was moved and seconded

*That a Development Permit be issued which would:*

1. *Permit the construction of a 135-unit mid rise apartment complex at 9500 Cambie Road on a site zoned "Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)"; and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - a) *increase maximum lot coverage from 45% to 46%;*
  - b) *reduce the minimum side yard from 6.0 m to 5.6 m for limited portions of the southwest corner of the building; and*
  - c) *reduce the minimum width of limited portions of the manoeuvring aisles from 6.7 m to 6.1 m.*

**CARRIED**

**3. Development Permit 12-624891**

(File Ref. No.: DP 12-624891) (REDMS No. 3913699)

APPLICANT: Western Maple Lane Holdings Ltd.

PROPERTY LOCATION: 9160 No. 2 Road

INTENT OF PERMIT:

1. To permit the construction of 15 three-storey townhouse units at 9160 No. 2 Road on a site zoned Medium Density Townhouses (RTM3).

**Applicant's Comments**

Wayne Fougere, Fougere Architecture Inc., and Masa Ito, Landscape Architect, ITO & Associates, gave a brief overview of the proposed townhouse development with respect to (i) urban design, (ii) architectural form and character, and (iii) landscaping and open space design. Design changes implemented after public input through the rezoning process included a reduction in the number of units proposed from 18 to 15, one additional accessible unit was added, and five (5) additional residential and two (2) additional visitor parking spaces were provided.

**Panel Discussion**

In reply to queries from the Panel the following additional information was provided:

- that the scale of the development is in keeping with the larger scale two storey single-family dwellings in the neighbourhood;

## Development Permit Panel

### Wednesday, September 11, 2013

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- to address safety concerns related to the outdoor amenity space adjacent to No. 2 Road the existing trees have been retained and additional concrete columns for the metal fence have been provided;
- that vehicular access from No. 2 Road has been investigated; however, due to (i) the larger volume of traffic along No. 2 Road, (ii) the steeper grade for vehicular access from No. 2 Road, and (iii) the significant impact on trees to be retained on the site, access for the site has been provided from Maple Road; and
- that a retaining wall and 3.5 foot fence with a landscape filter is proposed along the western property line.

#### Staff Comments

Wayne Craig, Director of Development, commended the applicant and his design team for the revisions made to the project subsequent to the public hearing. As part of the revisions (i) additional residential and visitor parking spaces were added, and (ii) one additional convertible unit was added bringing the total to 2 convertible units. Aging-in-place features are included in all of the units. Staff thoroughly investigated alternative driveway access to the site; however, the driveway access has been retained off of Maple Road, but relocated further west to provide greater separation from the existing single family home to the east. Staff appreciated the efforts made to retain the grove of maple and fir trees along No. 2 Road.

#### Correspondence

None.

#### Gallery Comments

None.

#### Panel Discussion

The Panel appreciated the changes made to the project, the challenges in providing access from No. 2 Road, and was in support of the development.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would permit the construction of 15 three-storey townhouse units at 9160 No. 2 Road on a site zoned Medium Density Townhouses (RTM3).*

**CARRIED**

**Development Permit Panel**  
**Wednesday, September 11, 2013**

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**4. New Business**

It was moved and seconded

*That the September 25, 2013 meeting of the Development Permit Panel be cancelled due to lack of agenda items.*

**CARRIED**

**5. Date Of Next Meeting: Wednesday, October 16, 2013**

**6. Adjournment**

It was moved and seconded

*That the meeting be adjourned at 4:05 p.m.*

**CARRIED**

Certified a true and correct copy of the  
Minutes of the meeting of the  
Development Permit Panel of the Council  
of the City of Richmond held on  
Wednesday, September 11, 2013.

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Joe Erceg  
Chair

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Heather Howey  
Committee Clerk



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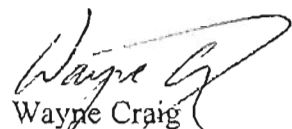
To: Development Permit Panel  
From: Wayne Craig  
Director of Development  
Date: September 26, 2013  
File: DP 13-631492  
Re: Application by Polygon Development 269 Ltd. for a Development Permit at 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road

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**Staff Recommendation**

That a Development Permit be issued which would:

1. Permit the construction of a 547 unit apartment complex and one indoor amenity building at 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road on a site zoned "Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)".
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum building height from 21.50 metres to a maximum of 22.24 metres to support an architectural pop up roof treatment at the lobby entrance and corners of each building.



Wayne Craig  
Director of Development

WC:dj

Attachment 1	Development Application Data Sheet
Attachment 2	Advisory Design Panel response
Attachment 3	Public Hearing Submission Letters

## Staff Report

### Origin

Polygon Development 269 Ltd. has applied to the City of Richmond for permission to develop a 547 unit apartment complex consisting of four (4) residential buildings, each being five (5) and six (6) storeys high, with a separate indoor amenity building, all over one level of parking at 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road on a site zoned “Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)”. The site is currently vacant.

The site is being rezoned from “Single Detached (RS1/F)” and “Residential/Limited Commercial (ZMU16) – Alexandra Neighbourhood (West Cambie)” to “Low Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)” under Bylaw 9017 (RZ 12-598503).

The proposal requires amendments to the OCP 2041 map and to the West Cambie Area Plan to support an increase to both building height and density. This is being addressed as through the rezoning application process (RZ 12-598503) under Bylaw 9016 and Bylaw 9021. The rezoning and the OCP amendment Bylaws received third reading on May 21, 2013.

As a condition of rezoning, a separate Servicing Agreement (SA 13-634677) has been entered into for utility upgrades as determined by the capacity analysis, road construction and frontage improvement requirements to Alexandra Road, McKim Way, Tomicki Avenue and the interim design of the Alexandra Way multi-use corridor.

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

### Background

Development surrounding the subject site is as follows:

To the North: (Across Tomicki Avenue):

- At 9288 Odlin Road, 9199 and 9299 Tomicki Avenue, a 259 unit, 4-storey apartment complex over one level of parking, on a property zoned “Low Rise Apartment (ZLR20) – Alexandra Neighbourhood (West Cambie)”;
- At 9388 Odlin Road (under construction), a 245 unit 4-storey apartment complex over one level of parking, on a property zoned “Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)”;
- At 9500 Odlin Road and 9399 Tomicki Avenue, a 228 unit, 4-storey apartment complex over one level of parking, on a property zoned “Low Rise Apartment (ZLR24) – Alexandra Neighbourhood (West Cambie)”.

To the South: Across Alexandra Road the proposed Smartcentres retail complex. Currently under rezoning review (RZ 10-528877).

To the East: Across the future May Drive, existing Single Family lots, however the City has received a rezoning application (RZ 12-598506) for a low-rise apartment complex

consisting of approximately 280 units, in a 4-storey apartment complex over one level of parking. This application is currently under rezoning review.

To the West: A proposed 132 unit, 4-storey apartment complex over one level of parking, fronted by a small footprint commercial retail unit that has been reviewed and approved by the Development Permit Panel. The developer is undertaking the completion of their Rezoning considerations.

### Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage. Staff have worked with the applicant to address these issues. Steps taken on this regard are included in *bold italics*.

1. Final design of the Alexandra Way Greenway. The design is to include:
  - a) Connection with the units fronting the greenway;  
*The applicant is proposing that all ground floor units fronting the Alexandra Way Greenway will provide access to and from the greenway.*
  - b) Intersection design at both Alexandra Road and Tomicki Avenue; and  
*The applicant has worked with staff in their proposal to construct an interim walkway along the west property line of the subject property to introduce the Alexandra Way Greenway. The developer has agreed to construct this interim design and provide a full width design of the final greenway to be constructed by the developers of properties to the west that would include 9291 Alexandra Road. The construction of the interim design is intended to facilitate the final design of the intersection, which will feature pavers arranged in a circular pattern with concrete borders in addition to the adjacent landscaping.*
  - c) Frontage improvements to and from the intersection to the crosswalk.  
*The northern end of the proposed Alexandra Way Greenway at Tomicki Avenue will not line up with the connecting greenway extending to the north of Tomicki Avenue. To help with this off-set, the applicant is proposing to continue the minimum 3.5 metre wide paved path of the greenway from the northern edge of the pathway, turning it east and extending it along the street frontage to the crosswalk crossing Tomicki Avenue, where it will connect with the greenway heading north to Odlin Road. The paved path extension is intended to act as a way finding feature to help guide users of the greenway at road intersections, and is consistent with the treatment done for Polygon's Mayfair Place project (DP 10-551711) where the same pavement treatment was done along the frontage of McKim Way to connect the north intersection of Alexandra Way to connect with Stolberg Street.*
2. Overall appropriateness of the landscaping plan – in particular the central amenity area and courtyard; and  
*The applicant is proposing a multi-use interior courtyard that will not only house the indoor amenity building but include a child's play area, picnic area, open lawn space and a paved flex space for activities such as Tai-Chi. A more detailed description of the central courtyard and landscaping is provided in the Landscaping section of this report.*

3. Overall appropriateness to the form and character of the buildings and the interaction to the street.

*The applicant has worked to achieve the requirements of the Character Area within the West Cambie Area Plan (Alexandra Neighbourhood). As part of the rezoning of these properties, an amendment to the Area Plan was required to support the consideration of five (5) and six (6) storey buildings. The appearance of the proposed buildings is in keeping with the intent of the character area through the use of brick cladding on the lower levels with hardi board panels on the upper levels. More information on the application of these materials is found in the Architectural Form and Character section of this report.*

The Public Hearing for the rezoning bylaw for this site was held on May 21, 2013. At the Public Hearing, the following concerns about rezoning these properties were expressed (**Attachment 3**):

1. Zhe Wang of 408 – 9299 Tomicki Avenue (directly north of the subject site) does not agree with the plan as the area is getting too large and is a constant construction site. The area contains too many people for the local amenities and wonders if there are other areas of Richmond that has such a high density.

Staff worked with the applicant to address these issues in the following ways:

*Staff responded by sending a letter to outline that the proposed development is within the projected population targets of the West Cambie Area Plan, and this subject site has been designated for multi-family since 2006. The City's Parks department is working on developing a neighbourhood park just east of May Drive that will provide additional local amenities to the area.*

2. Alvina Lee of 202 – 9299 Tomicki Avenue (directly north of the subject site) expresses concern that the area is becoming too densely populated and identifies other apartment complexes in the area. A further comment of widening Dubbert Road and Tomicki Avenue needs to be widened.

Staff worked with the applicant to address these issues in the following ways:

*Staff responded by sending a letter to convey that the area is being redeveloped in accordance with the West Cambie Area Plan that was initially approved in 2006. The road network will improve as development of the area continues, and that road work is constructed when these properties are developed. The proposed development will see a widening of Tomicki Avenue to the extent of the developer's property and Dubbert Street will be widened when an application is submitted and approved by Council to rezone the properties to the west, including 9180 Odlin Road.*

### **Staff Comments**

The proposed design scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is in compliance with Zoning Bylaw 8500.

**Zoning Compliance/Variations (staff comments in bold)**

Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum building height from 21.50 metres to a maximum of 22.24 metres to support an architectural pop up roof treatment at the lobby entrance and corners of each building.

*(Staff supports the proposed variance as the pop ups provide vertical articulation that adds interest to the buildings, and avoids a singular roof line.)*

**Advisory Design Panel Comments**

The meeting of Advisory Design Panel was held on May 23, 2013 where the proposal received a favourable response from the Panel. A copy of the relevant excerpt from the Advisory Design Panel Minutes from that meeting is attached for reference (**Attachment 2**).

**Analysis*****Conditions of Adjacency***

- The West Cambie Area Plan – Alexandra Neighbourhood Development Permit Guidelines, identifies the subject site as Character Area 4 – Medium Density Housing, which includes Low-Rise Apartments. The proposed development will exceed the height and massing of recent apartment developments, but the applicant has maintained the overall character of the proposal to the guidelines regardless of the increased height set out in Bylaws 9016 and 9021.
- The proposal will be implementing the continued development of the Alexandra Way Greenway by constructing an interim pathway along the western edge of the subject properties. The pathway will provide the desired pedestrian connection to adjacent developments taking place to the south of Alexandra Road and to the north of Tomicki Avenue. The proposed four-storey development proposal to the west of the subject properties at 9251 and 9291 Alexandra Road (DP 12-613923) was approved by the Development Permit Panel at the February 27, 2013 meeting, but has not proceeded with obtaining final approval. As the applicant of the subject properties appears to be proceeding ahead of the adjacent development proposal. The applicant of the subject properties have agreed to start the development of its portion of Alexandra Way through the interim design and construction of the walkway, as well as providing a design for the full completion of the greenway to be completed by the developer to the west.
- In accordance with the West Cambie Area Plan – Alexandra Neighbourhood, the first level units fronting the streets are to establish a continuous street orientated building character through direct connections to the sidewalk.
- The proposed five (5) and six (6) storey buildings is intended to provide a greater urban context in conjunction with the proposed Smart Centre project to the south of the subject property. The applicant has addressed this in the form and character of the proposal that is in keeping with the character guidelines of the area plan.

***Urban Design and Site Planning***

- The proposal is a 547 unit apartment complex consisting of four (4) L-shaped residential buildings, each of them five (5) and six (6) stories in height, are to be located at each corner of the subject property, with each L-shaped building turning the corner of the site, including the Alexandra Way Greenway.



- Each of these proposed buildings will feature a separate entrance lobby. The applicant is proposing direct access to ground level units along all street frontages, and the proposed Alexandra Way Greenway pedestrian corridor.
- The outdoor amenity area is proposed to be centrally located within the site, behind the proposed apartment buildings. This area will house the proposed indoor amenity building, which is a one-storey multi-functional building consisting of common gathering space, exercise areas, a media room and a concierge and guest suite. It will also provide access to the outdoor swimming pool and hot tub. The outdoor area proposes a children's play area, picnic spaces, open lawn areas, an orchard, and a flex space for various outdoor activity..
- The proposed indoor amenity building is intended to provide a range of uses, as well as provide space for the District Energy Utility (DEU) room, to service the heating and cooling provisions for the entire complex. Connecting to the City operated DEU is secured through rezoning.
- The project is proposed to be built in four (4) phases with each of the residential buildings consisting of one phase. The proposed first phase will consist of the south east building, the indoor amenity building and the southern half of the underground parkade. The second phase will consist of the south west building, with the third phase providing the north west building and the northern half of the underground parkade with the final phase consisting of the north east building. The construction of Alexandra Way will take place during the third phase of development.
- As part of the rezoning considerations, the applicant is to dedicate land to facilitate the construction of new roads. In accordance with the West Cambie Area Plan, the developer will be dedicating land to the City for the purpose of constructing a new section of May Drive and the continued development of Tomicki Avenue. No land dedication is required for Alexandra Road. Through the separate Servicing Agreement, the developer is to construct the road and frontage improvements for all street frontages (Alexandra Road, May Drive and Tomicki Avenue), which is secured through rezoning.
- Underground vehicle parking for this development is proposed via two entrances. One off of May Drive along the east and the other off of Tomicki Avenue to the north. Access to both resident and visitor parking is proposed to be accessed off of these entrances.
- Two (2) loading bays are proposed to be located adjacent to each parkade access point for a total of four (4) loading bays. The area will be a shared space for a recycling and garbage holding area on the day of pick up service. The size of each proposed loading bay meets the requirements set out in the Zoning Bylaw and the applicant is proposing to screen the area through the use of a two (2) metre high metal screen fence. A landscaped band separating the loading bay and public sidewalk is also proposed.
- The main recycling and garbage containers are located within the parkade, at the base of each entry ramp off of May Drive and Tomicki Avenue. Each location is to supply garbage compactors and recycling bins. Access to pickup is proposed to be located to the side of the parkade entry, in the area shared by the loading bays. This arrangement has the support of Solid Waste Services.
- Secured, long term bicycle parking is proposed to be located in several areas of the parkade level. Short term bicycle parking is proposed to be located directly outside of each building lobby along the street front, as well as by the entry to the outdoor amenity building and the mid-block area of Alexandra Way. The number of bike parking stalls for both short and long term parking meet the number required in the parking provisions of the Zoning Bylaw.

- A key element to this development and an important connection to the community is the Alexandra Way greenway, a pedestrian-orientated thoroughway in the heart of the Alexandra neighbourhood. A section of Alexandra Way is proposed to run along the western edge of the subject properties and connect Alexandra Road to the south and Tomicki Avenue to the north. To facilitate this thoroughway, a five (5) metre wide pedestrian corridor right-of-way (ROW) will be registered on title prior to the adoption of the rezoning application to allow public access to the greenway. The developer is proposing to construct an interim path along the western edge of the subject property, and provide a final design for the developer of the properties to the west to use when constructing the final greenway. The proposed greenway will provide access to the central courtyard at the midpoint between Alexandra Road and Tomicki Avenue. The proposed greenway is discussed in greater detail in the Landscape Design section of this report.

#### *Architectural Form and Character*

- The proposed main buildings are a combination of five (5) and six (6) storey buildings with the six (6) storey sections located at each corner of the L-shaped buildings. The applicant proposes to step the building down one floor at the end of each building to highlight the midpoint of each block. The proposed building footprint steps back from the property line the near the midpoint of each building.
- Overall, the proposal meets the intended massing as outlined in the amendments to the Design Guidelines of the Neighbourhood Plan to support the five (5) and six (6) storey proposal. The design does propose facade design elements to help break down the massing of the building frontage through the use of different façade materials and colours. The proposed elevations on the submitted architectural plans show a use of brick cladding on the lower floors of the building with hardi board panels on the upper floors. The application proposes a variation of application of these materials to add visual variety and interest, and a break in the vertical articulation of the building.
- Each lobby entrance is easily identified though the use of extended height of glass to highlight transparency, separating itself from the main body of each building.
- The residential units themselves propose to provide private outdoor space in the form of balconies or ground level patio space. All ground level units have patio space with those along the outside perimeter having direct access to either the street or Alexandra Way. The proposed recessed balconies are stacked on top of each other and provide a strong vertical elements to the proposed buildings.
- The main level of the proposal is approximately two (2) metres above the street but the height above grade is treated through planters stepping down between the building face and sidewalk. Staff worked with the applicant to find options to lower this height difference, however the mechanical system needed to service the proposed buildings need to extend to the perimeter walls of the parkade, and any lowering of the ceiling results in the reduced headroom and loss of parking stalls. Lowering the parkade was not an option due to the elevation of the water table.
- The difference in grade elevation between the street level and the main floor level is lessened along Alexandra Way where the greenway slopes upward toward the mid-point access where the grade will meet the access point of the proposed central courtyard.
- The flat roof-line provides a strong horizontal element to the proposal. Roof pop ups at the corner of each building and lobby entrances helps identify different sections of the building elevation.

- Proposed colour choices conform to the area design guidelines and consist of classic brick colours of reds and light browns, to be applied in blocks on the buildings. The hardiboard colour choices for the upper floors consist of warmer greys in both standard tone and off-white tones. The applicant has provided coloured renderings with the drawing submission.

#### *Landscape Design and Open Space Design*

- The applicant has addressed the landscaping comments and recommendations made by the Advisory Design Panel (ADP) contained in **Attachment 2**, and improved the usability of the outdoor amenity area and the options offered by the centrally located child's play area.
- As the underground parkade proposes to protrude above the finished street grade by approximately two (2) meters, the interface area between this structure and the street and the Alexandra Way greenway will be fully landscaped and terraced to soften the edges of the parkade along the three street frontages of the site. This treatment will ease the grade transition toward the street.
- The treatment of the perimeter wall will consist of a minimum 0.5 metre wide landscape strip from the sidewalk edge to a brick clad finished wall 1.1 metre in height. A gently sloped landscaped area consisting a mixture of shrubs and trees is about 2.0 to 2.5 metres in width is proposed before the second terraced wall 0.9 metres high will be screened by the vegetation described above.
- The proposed guard and handrail fencing for the street front patios and stairways is metal mesh to maximize the viewing transparency to and from the street. The mesh fencing will be provided in appropriate locations, and intermixed with landscaped areas to soften the street front.

#### *Alexandra Way Greenway*

- As mentioned previously, the applicant will be constructing the interim design of Alexandra Way along the western edge of the subject property as an introduction to the greenway. The proposed project to the west at 9251 and 9291 Alexandra Road will be constructing the final design and the developer is to construct the final and completed design for the full 10 metre right-of-way width.
- The proposed final design will include land within the five (5) metre wide ROW from the subject property as well as the five (5) metre wide ROW from eastern edge of the property to the west. The paved pathway consist of a 3.5 metre wide concrete pathway gently winding along the block with brick pavers along the pavement edge and crossing perpendicular to the direction of the path at regular intervals. The intersections at each street will provide a paved design to help identify the greenway and guide users along the path.
- To provide a place of rest for users, an additional PROP ROW has been defined at the mid-point of the greenway. This paved area/node contains benches that will provide a place for people to rest and gather. This mid-point also provides residents of the proposed complex with direct access from the greenway to their private central courtyard/outdoor amenity area. The proposed interim and final midpoint for this proposal will match the grade of their central courtyard.
- As mentioned earlier in this report, the intersection of the greenway on the south side of Tomicki Avenue will not line up with the entrance of the greenway to the north of Tomicki Avenue. The applicant is proposing a way finding pathway design along the south street frontage of Tomicki Avenue from the intersection of Alexandra Way, to the street crosswalk. The proposed design will maintain the 3.5 metre wide pathway where it

will connect with the crosswalk location. This treatment is consistent with the connection used on Polygon's Mayfair Place project to connect the greenway with Stolberg Street.

- Plantings along the greenway will primarily be close to the building structure to screen the parkade wall, and will consist of a mixture of trees and shrubs, separated from the paved path by a grassed lawn.
- Maintenance of the greenway will be shared with the respective strata corporations for the soft landscaping with the City maintaining the hard surfacing.

#### *Central Courtyard – Outdoor Amenity Area*

- The proposed central courtyard is the main outdoor amenity area of the complex. It not only houses the single storey indoor amenity building, but it also proposes other recreational uses and opportunities for neighbour gathering and interaction. Such as:
  - Outdoor pool and hot tub;
  - Open lawn space;
  - Child's play area consisting of a grass berm with tubular slides and other play structures on a rubberised surface;
  - Picnic area;
  - A fruit tree orchard; and
  - A rock garden and plaza for activities such as Tai Chi.
- Access to the courtyard is on the ground level and accessed off of the main lobby of each of the main buildings. Access is also provided at the midpoint of Alexandra Way and other mid-block locations of each street. The mid-block access off of Alexandra Road will feature a cascading water feature and well treed landscaping, guiding people to the entrance of the indoor amenity building. Private patios fronting the central courtyard will be able to directly access the internal path network to the common areas of the courtyard.
- A main attraction of the courtyard is the separate indoor amenity building. This building provides various meeting and gathering rooms as well as exercise areas, a media room and concierge and guest suites. The building has a direct connection to the outdoor swimming pool and hot tub as well as the outdoor children's play area.
- A variety of native tree species such as maple, katsura, spruce, pine and cherry trees are provided in the courtyard and should enhance the area.

#### *Tree Management*

- During the rezoning process, the applicant submitted an Arborist Report and survey plan where it was reviewed by the City's Tree Preservation Coordinator and the Parks Department. In the submitted report, the Arborist could not identify any on-site trees that are in good enough condition to enable retention or relocation.
- The submitted landscape plans identified the number of new tree plantings to be done on-site. The following chart identifies the numbers provided compared to the required in accordance with policy.

Number of on-site trees to be removed	Required number of trees to be replaced	Proposed number of trees to be planted	Surplus/Deficit
49	98	278	180 (surplus)

#### *Public Art*

- The applicant has agreed to make a voluntary contribution to the public art fund through the rezoning process. The applicant is also considering the option of integrating a piece of public

art with their proposed development and has agreed to contact the City's Public Art coordinator for further consultation.

### ***Affordable Housing***

- At the Public Hearing meeting for the rezoning of this project, Council supported this proposal under the Affordable Housing Transfer approach where the developer agreed to a cash-in-lieu contribution to the Kiwanis Seniors Housing project on Minoru Boulevard.

### ***Accessible Housing***

- The proposed development includes 46 basic universal housing units that are designed to be easily renovated to accommodate wheelchair access. The applicant has provided information that satisfies the accessibility provisions listed in the Basic Universal Housing Features section of the City's Zoning Bylaw. The proposed units are located on the submitted drawings with an asterix (\*) in the unit floor plan.
- The remaining units are to incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - stairwell hand rails;
  - lever-type handles for plumbing fixtures and door handles; and
  - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

### ***Crime Prevention Through Environmental Design***

- The proposed plan provides good edge features along the site to separate public and private space, giving the site a good sense of territoriality to residents and visitors. Some of the features include:
  - Grade changes with the supply of stairway, ramps and terraced landscaping;
  - Use of different paving materials and patterns to identify private and public walkways; and
  - Lighting of the site that differs from the public realm.
- The submitted lighting plan should provide good illumination to the complex and to the Alexandra Way pathway while ensuring that no unwanted light spills onto adjacent properties.
- First level units along all four (4) frontages, including Alexandra Way, include individual patios and street level access via staircases integrated into the terraced landscaped planters, which establish a visual relationship with the street and increase casual surveillance to the street as well as over the central courtyard and outdoor amenity area .
- The common areas such as the parkade, lobby areas and amenity spaces are designed with open viewing in mind to allow for good surveillance throughout.

### ***Aircraft Noise Mitigation***

- As per the Aircraft Noise Sensitive Development policy (ANSDD), an acoustical report was submitted and provided information to achieve the policy standard noise levels (with windows and doors closed):

Bedrooms	35 dB
Living, dining, and recreation rooms	40 dB
Kitchen, bath, hallways and utility rooms	45 dB

- The report provides an outline to help the architect design and select appropriate building materials and methods of installation such as higher thickness of glass for windows for units

with two or more exterior facades, and additional drywall layers and furring details to provide additional wall thickness to units exposed to two or more sides with a non-brick finish.

- The applicant will be connecting to the City's District Energy Utility (DEU) system that will provide heating and cooling to the complex to aid in maintaining indoor comfort levels to reduce the need to open windows and/or doors to keep aircraft noise levels out of the apartment units.

#### ***Sustainability***

- The proposed plan is reusing existing single-family sites to increase living density within the neighbourhood, utilizing existing and proposed infrastructure more efficiently.
- The applicant has agreed to provide design drawings at the Building Permit stage that will facilitate the connection to the City operated District Energy System that is being developed within the Alexandra Neighbourhood of West Cambie.
- The residential units will provide energy efficient appliances and water saving appliances and faucets.
- The site is close to a main transit corridor and bus stops along Garden City Road for convenient use.
- As part of the Transportation Demand Management Plan, the applicant is to provide:
  - 120V electric plug-ins for 20% of all parking stalls for the provision of electric vehicles; and
  - 120V electric plug-ins for electric bikes, one for every 40 bicycle storage racks.

#### ***Floodplain Management and Implementation Strategy***

- The applicant is required to comply with the Flood Plain Designation and Protection Bylaw No. 8204. In accordance with the Flood Management Strategy, a Flood Plain restrictive covenant, specifying the minimum flood construction level is secured through as a condition of rezoning.

#### **Conclusions**

The proposed development responds well to the West Cambie Area plan – Alexandra Neighbourhood amended guidelines and to the Character Area Neighbourhood Guidelines in particular. The proposal responds well to creating a strong, street oriented building frontage character and the continued development of the pedestrian Alexandra Way corridor through the neighbourhood. The applicant has adequately resolved staff comments identified during the rezoning phase as well as the staff and Advisory Design Panel comments. Staff recommend approval of this Development Permit application.



David Johnson  
Planner 2

DJ:cas

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$460,189.00.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Division at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).



**DP 13-631492**

**Attachment 1**

Address: 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road

Applicant: Polygon Development 269 Ltd. Owner: Polygon Development 269 Ltd.

Planning Area(s): West Cambie Area Plan – Alexandra Neighbourhood (Schedule 2.11A)

	Existing	Proposed
Site Area:	2.838 Ha (28,376.46 m <sup>2</sup> )	2.51 Ha (25,060.78 m <sup>2</sup> )
Land Uses:	Single Detached	Apartment Residential
OCP Designation:	Apartment Residential, Mixed Use	Apartment Residential
Zoning:	Single Detached (RS1/F)	Low-Rise Apartment (ZLR25) – Alexandra Neighbourhood (West Cambie)
Number of Units:	1 dwelling per lot	547 Apartment units on a consolidated lot

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	25,060.78 m <sup>2</sup> x1.88 FAR = 47,114.26 m <sup>2</sup>	46,912.89 m <sup>2</sup> / 25,060.78 m <sup>2</sup> = 1.872 FAR	None permitted
Lot Coverage:	Max. 45%	39.9%	None
Setback – Alexandra Road Street Parkade	4.0 m Min. 3.0 m Min.	4.0 m 3.0 m	None
Setback – May Drive Street Parkade	4.0 m Min. 3.0 m Min.	4.0 m 3.0 m	None
Setback – Tomicki Avenue Street Parkade	6.0 m Min. 3.0 m Min.	6.0 m 3.0 m	None
Setback – Alexandra Way Street Parkade	7.5 m Min. 5.0 m Min.	7.5 m 5.0 m	None
Height (m):	Max. 21.5 m	22.24 m	0.74 m
Lot Size:	No lot size requirements	N/A	None
Off-street Parking Requirements:	Resident – 670 Visitor – 99 769 Spaces required (min.)	788 spaces	None
Assessable Parking Spaces:	16 spaces	16 spaces	None



	<b>Bylaw Requirement</b>	<b>Proposed</b>	<b>Variance</b>
Small car ratio:	50% (min.)	50.3% standard size spaces	None
Amenity Space – Indoor:	Min. 100 m <sup>2</sup>	1,195.90 m <sup>2</sup>	None
Amenity Space – Outdoor:	6 m <sup>2</sup> minimum per unit x 547 units = 3,282 m <sup>2</sup>	Approximately 8,710 m <sup>2</sup> (15.9 m <sup>2</sup> per unit)	None



July 26, 2013

**BY EMAIL**

David Johnson  
Policy Planning Division  
City of Richmond  
6911 No.3 Road  
Richmond BC

David,

**RE: Alexandra Court (DP 13-631492): ADP Response**

The following is a response to the comments from the ADP Panel on May 23, 2013. Please refer also to the attached revised drawings as referenced below. For brevity, we have omitted comments from the Panel which are generally supportive and require no action or comment.

Comments from the Panel are listed below, followed by our response:

1. strong/simple framework/layout; could have some counter through "softer" and more informal planting – *Large beds of planting at major entries (of varying height, color and seasonal interest) will soften the these spaces.*
2. consider another level of canopy structure in the pool area to provide a sense of enclosure and comfort; consider some trellis/arbour around the pool deck – *See attached revised amenity plan; trellis structure has been added to the pool deck to provide visual screening and shade. An additional set of trellises have been added north of the pool deck to create a seating area. Rows of trees continue the alignment of these trellises to the north.*
3. pedestrian access/route to the amenity area from the street and building entrances are not clear in the drawings provided by the applicant – *notes added to site plan; accessible routes to courtyard are at all 4 building lobbies and via greenway at west.*
4. consider providing ramp access to the amenity area from the east entrance of the development subject to future grade change on May Drive – *planning to advise if engineering is considering additional road grading to accomplish accessible ramp.*
5. consider showers without curb in the change rooms in the amenity building to enhance the safety of users – *we confirm that the shower in the amenity building is fully accessible, including flush finish to floor (drain will be recessed and floor sloped to drain with no curb), grab bars, flip down seat and all required clearances.*

6. consider increasing the size of the bathroom in B2 and B5 type units – *units are not targeted as adaptable; bathroom is an acceptable size (larger than a minimum standard bath) for a small 2 bedroom/1 bath unit. There is a range of size within the unit plans which reflects a mix of affordability for the project.*
7. look at using pocket doors for B3 type units; will create more floor space and provide more room for furniture – *pocket doors have both acoustic and maintenance issues; polygon does not install them as a general policy based on customer service follow-up. Homeowners can retrofit them if they prefer them.*
8. universal design is generally good in most units; consider showers without curb in said units – *flush curb showers are not feasible in individual residential suites as they would require dropped framing.*
9. consider relocating elevators to decrease the travel distance to end units, some of which are universal design; 3 to 4 units passing from the nearest elevator is preferable – *elevators have been situated in corners of buildings to reduce the depth from exterior for the inside corner units (refer to item 19) and enhance the livability of those units. We have reoriented the elevator doors to reduce distance to end units to the extent possible (see plans); however relocating elevators would further compromise inside corner units.*
10. agree with the move to make the building corners strong; however, curved project sign is not well resolved; make it more urban – *curved sign has been redesigned (see attached plan, elevation and view) to eliminate the curve and make the architectural language more consistent with the building.*
11. consider a better pool configuration; size of the pool necessitates an overhead structure to break down its scale and provide overlook privacy to users – *see revised amenity plan and item 2 above; trellis has been added to enhance privacy.*
12. consider better integration of the pool and hot tub – *see revised amenity plan; hot tub has been shifted closer to pool (separation is a health requirement).*
13. consider integrating/tying together the bosque of trees with other elements in the amenity area, e.g. with the amenity rooms and barbeque area – *eating area within tree bosque has been designed as a separate and second (more casual) outdoor dining area. It is deliberately a separate amenity from the bbq area; duplicate outdoor dining areas are appropriate given the number of units proposed.*
14. consider a pure array of bosque of trees in the amenity area to strengthen this landscape feature – *trees have been added to complete the array to the extent possible considering program elements within this area. The parkade exit stair has been moved out of this area to allow for a more complete array.*
15. provide appropriate termination of views of pedestrian corridors – *pedestrian corridors have been reworked to provide direct links to entries where possible; in some cases, plan alignments do not permit direct lines and the paths shift. View corridor through the amenity and north over a new reflecting pool strengthens the view north/south through the courtyard.*
16. value of bike racks at the top of the stairs is questionable – *bike racks in courtyard reflect the number of visitor racks required by bylaw (not possible to situate the full number at entrance lobbies).*
17. amenity building has low roof; future design of the mechanical equipment should not create visual impact as it is a focal point of the surrounding four buildings – *noted, we will work with mechanical to take advantage of changes in roof levels to screen any rooftop units. Most mechanical equipment will be inside the building.*

18. consider a high performance glazing system at the south side to mitigate solar heat gain – *windows will be low-e glazing throughout to minimize solar heat gain; coloured or reflective coatings on the south elevation only are not desirable architecturally. Windows require acoustic improvements that limit other options for thermal performance (eg triple glazing would not meet acoustic requirements).*
19. deeply recessed inside corners of the L-shaped buildings lack daylight and views – *we have redesigned the inside corner unit to improve access to light (particularly at the bottom level) – see units a1/a6 -- and have kept elevators in these corners to reduce the depth of these units. Inside corner units are unavoidable in L-shaped buildings.*
20. consider bringing the roof line in front of the fire wall to tie in with the architecture of the building – *the roof line cannot come forward of the firewall. Projection of the firewall beyond all building features and faces is a code requirement. We will ensure the projection of the firewall is kept to within the minimum required by code at the roof overhang.*
21. applicant has made good improvements on the amenity building; consider more translucency on the south side of the amenity building to allow more daylight – *see updated amenity plan; we have relocated the exercise room to the south side which can have larger expanses of glass than could the gym. Elevations and views are updated to show the increased windows.*

I trust you will find the above is in order.

Yours truly,

POLGYON ALEXANDRA COURT HOMES LTD



Robin Glover  
Vice President Development

**ATTACHMENT 3**

Schedule 13 to the Minutes of the  
Council Meeting for Public  
Hearings held on Monday, May  
21, 2013.

**Mayor and Councillors**

From: City of Richmond Website (webgraphics@richmond.ca)  
Sent: Monday, 13 May 2013 9:24 PM  
To: Mayor and Councillors  
Subject: Send a Submission Online (response #733)

Categories: 12-8060-20-9016 & 9021 - 9311 to 9471 Alexandra Rd

To Public Hearing  
Date: May 21, 2013  
Item # 6  
Re: Dep Bylaw 9000, Amendment  
Bylaw 9016 & 9021  
Zoning Bylaw 8500, Amendment  
Bylaw 9017 and Termination  
of Housing Agreement @  
9313 Alexandra Rd  
Bylaw 9022

**Send a Submission Online (response #733)****Survey Information**

Site:	City Website
Page Title:	Send a Submission Online
URL:	<a href="http://cms.richmond.ca/Page1793.aspx">http://cms.richmond.ca/Page1793.aspx</a>
Submission Time/Date:	5/13/2013 9:32:03 PM

**Survey Response**

Your Name	ZHE WANG
Your Address	408-9299 Tomicki Ave, Richmond
Subject Property Address OR Bylaw Number	RW: 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Rd

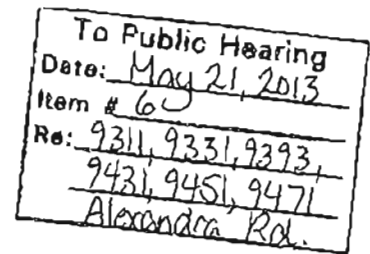
**Comments**

As a local resident, I do not agree with this plan. Now I really feel inconvenience living in this community. The whole community is like a big construction site, dirty and noisy. The population of the Community are too much now, while the relevant supporting facilities is not enough. This plan will have 546 units, that means at least 1600 people will move in. Throughout Richmond, is there any communities have such a large population density? With the increase of population, the security situation is getting worse, the crime rate is also increased. I think that the city hall should not approve more project for tax purpose, you should think about how to make our communities more livable. Urban planning should be visionary, rather than the pursuit of short-term economic benefits.

Schedule 14 to the Minutes of the  
Council Meeting for Public  
Hearings held on Monday, May  
21, 2013.

CityClerk

From: Alvina L [alvinapoly@hotmail.com]  
Sent: Tuesday, 21 May 2013 1:57 PM  
To: CityClerk  
Subject: Submissions of Public Hearing on 5/21/2013



To: Mr. David Weber  
Director, City Clerk's Office

Dear Mr. Weber,

Re: RZ 12-598503

I refer to the above application and wish to raise my concern that the whole area has become densely populated, namely: Meridian Gate ZLR20 (250 units), Cambridge Park ZLR24 (approx. 200 units), Omega Living between ZLR20 and ZLR24 (245 units). I think the City of Richmond should plan and construct better road networks to serve the huge population if approval will be made for the RZ 12-598503 project which will bring a total of 546 apartment units to the area.

I also wish to comment that the Dubbert Road and Tomicki Avenue have to be widened in future.

Thank you for your kind attention.

Regards,  
Alvina Lee  
202-9299 Tomicki Ave.  
Richmond, B.C.  
V6X 0C5





No. DP 13-631492

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To the Holder: Polygon Development 269 Ltd.

Property Address: 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road

Address: 900 - 1333 West Broadway  
Vancouver, BC V6H 4C2

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1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum building height from 21.50 metres to a maximum of 22.24 metres to support an architectural pop up roof treatment at the lobby entrance and corners of each building.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #76 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$460,189.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

To the Holder: Polygon Development 269 Ltd.  
Property Address: 9311, 9331, 9393, 9431, 9451 and 9471 Alexandra Road  
Address: 900 - 1333 West Broadway  
Vancouver, BC V6H 4C2

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE  
DAY OF , .

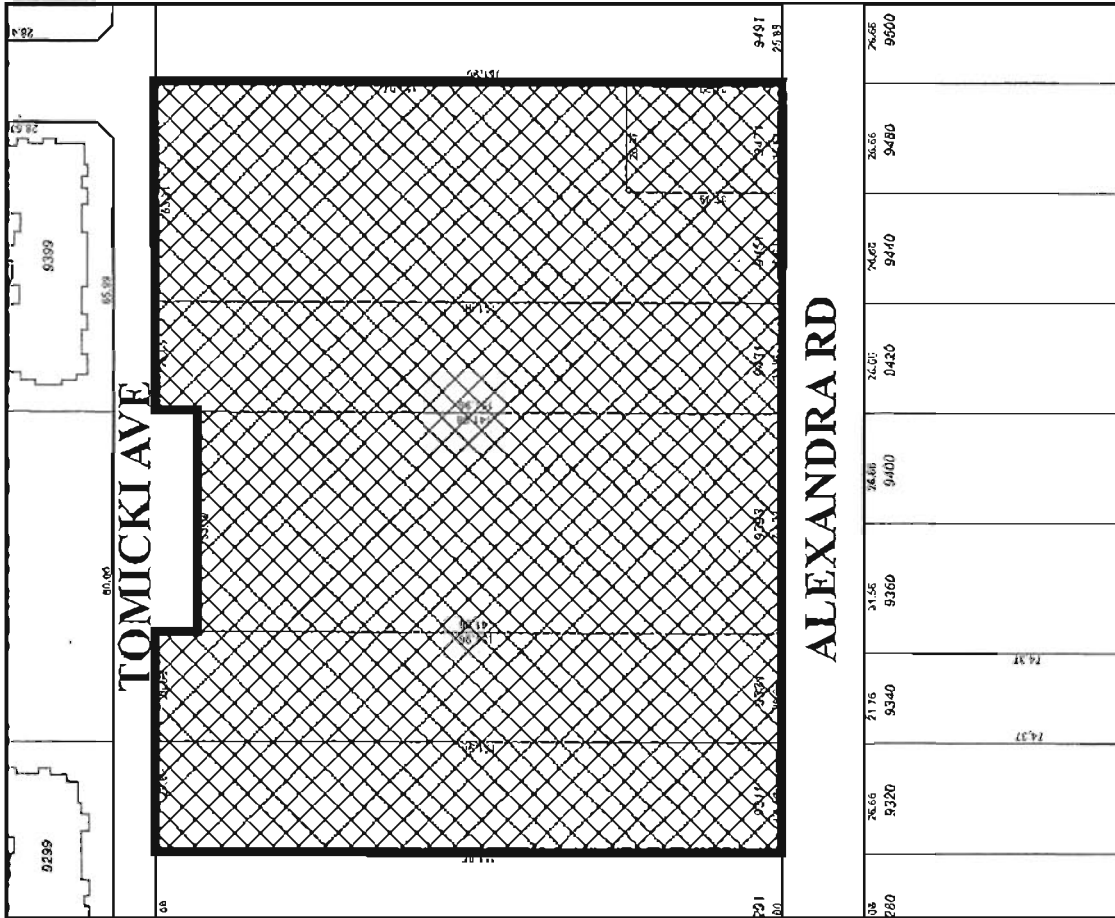
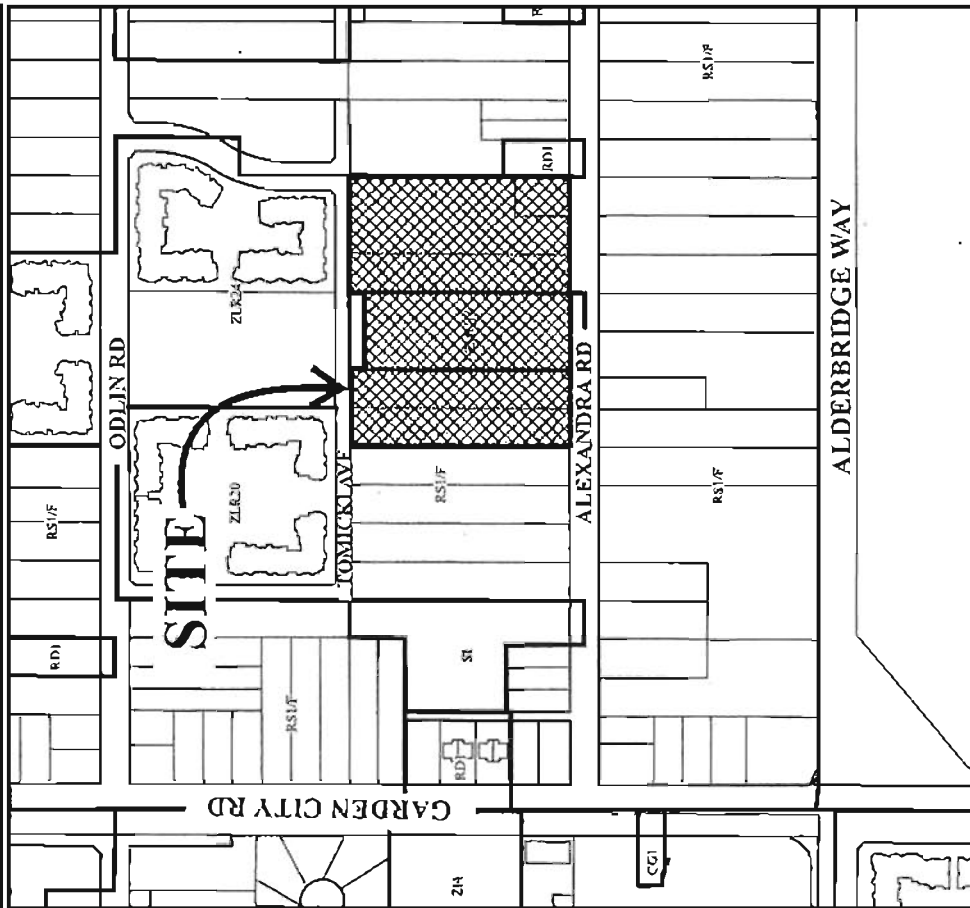
DELIVERED THIS DAY OF , .

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MAYOR





# City of Richmond



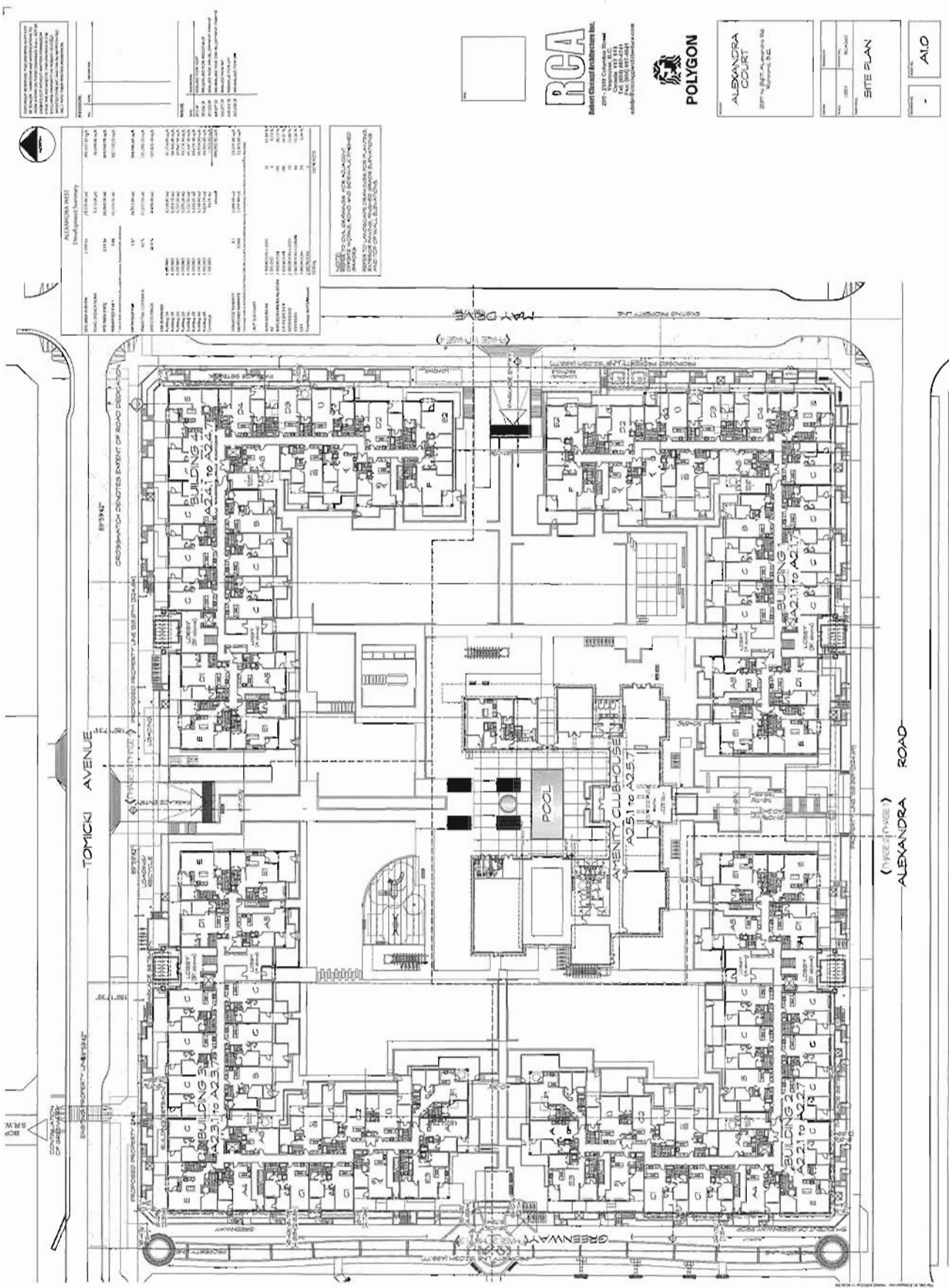
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Original Date: 03/19/13

Revision Date:

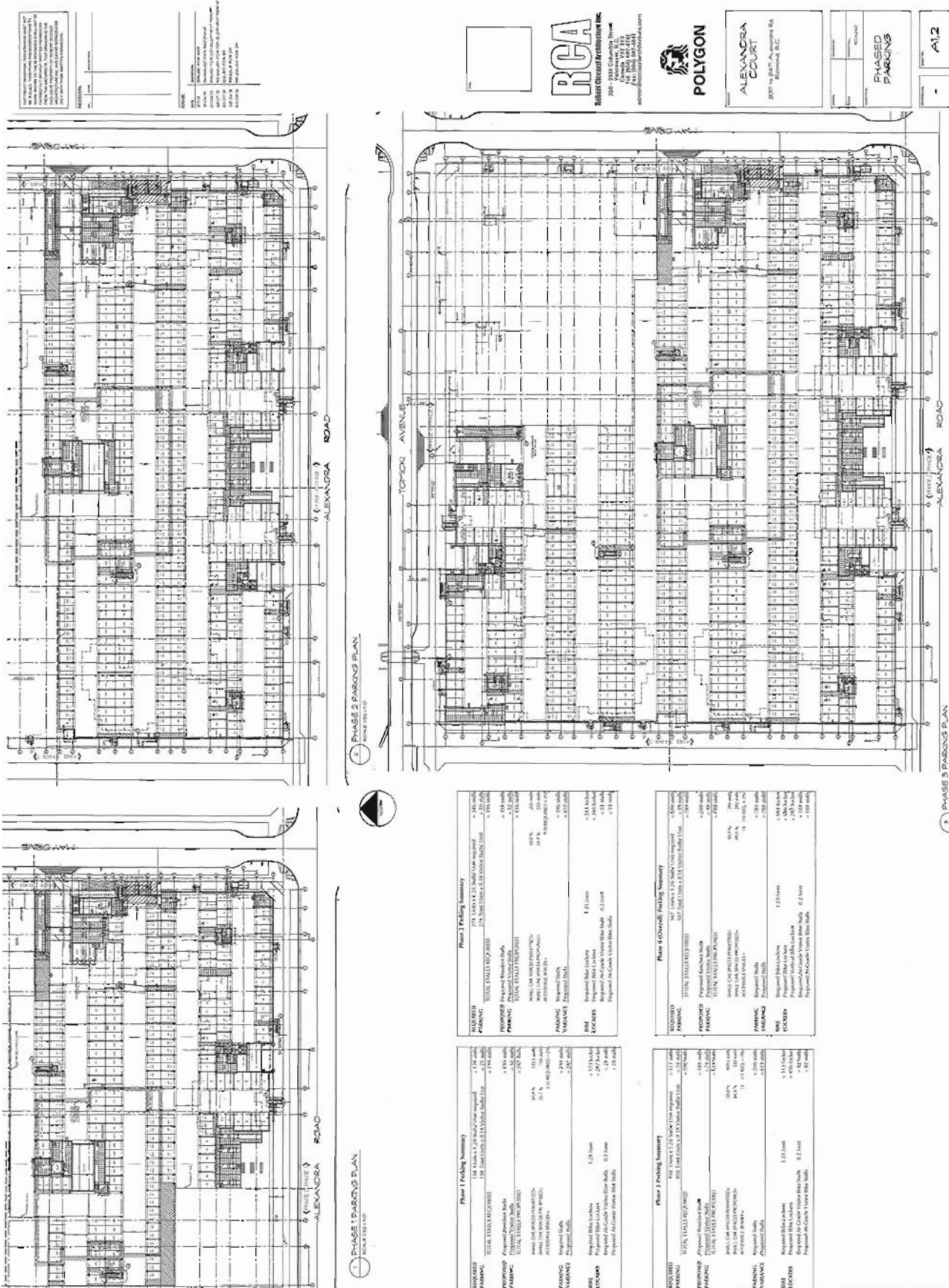
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DP 13-631492 2. #1

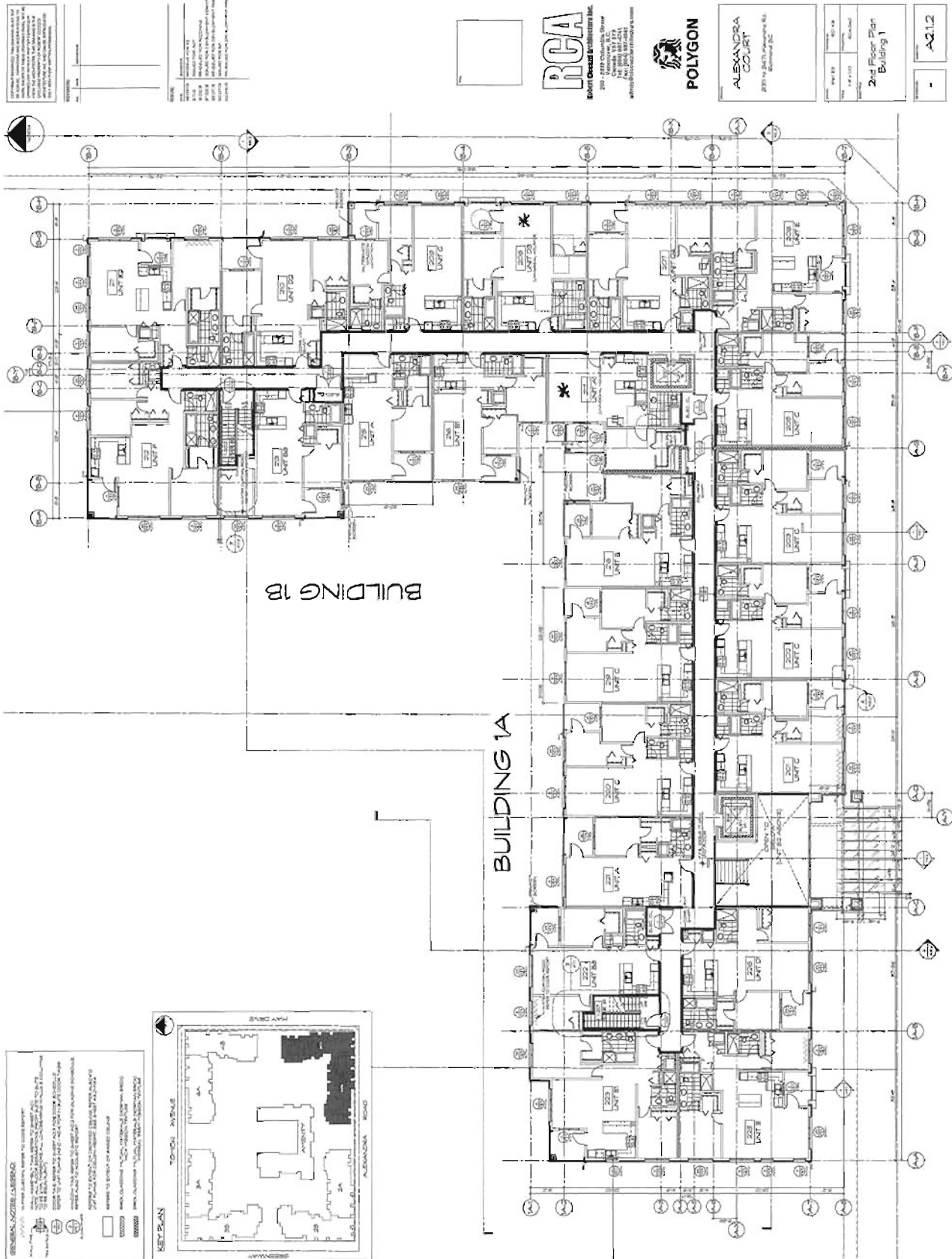


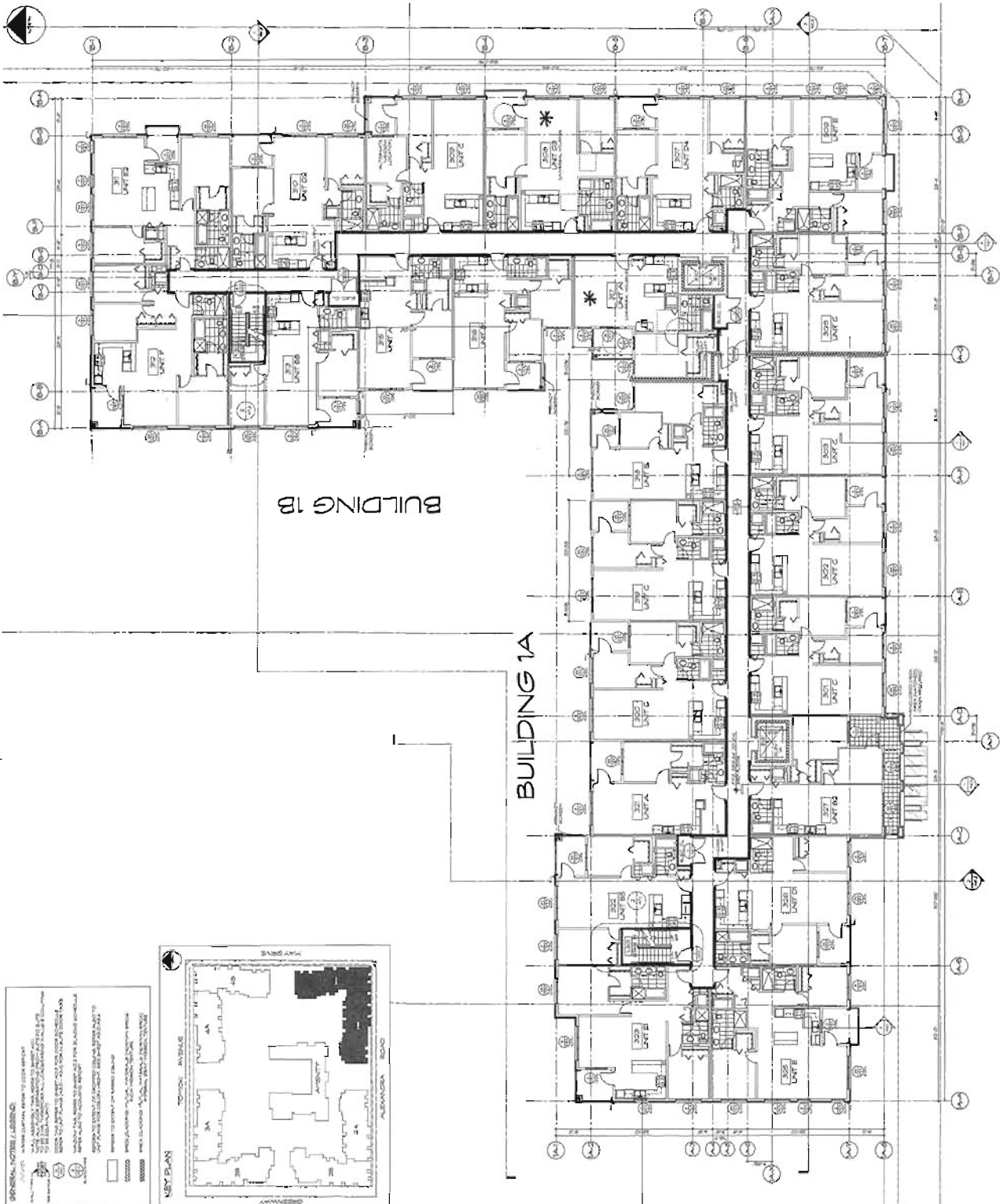




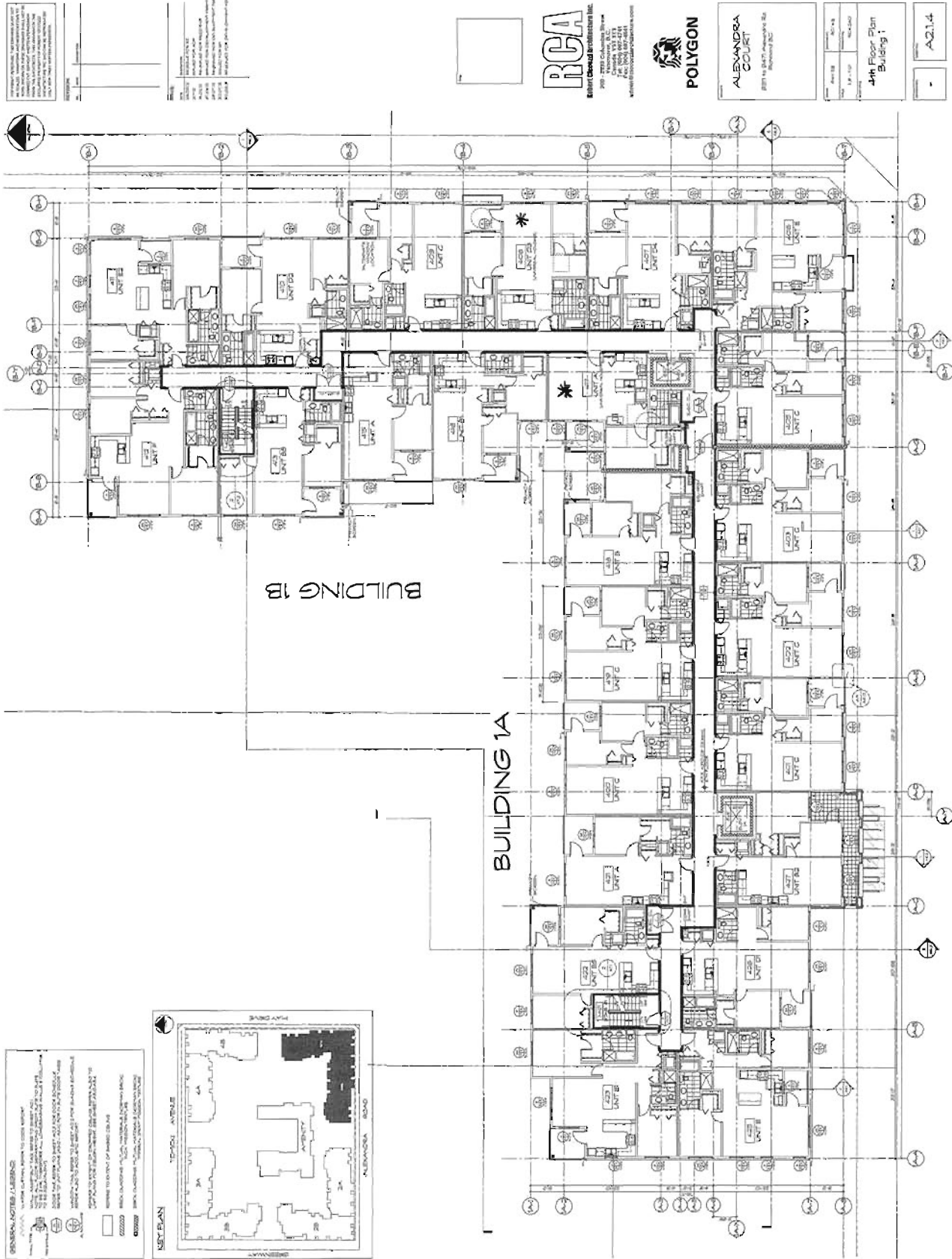


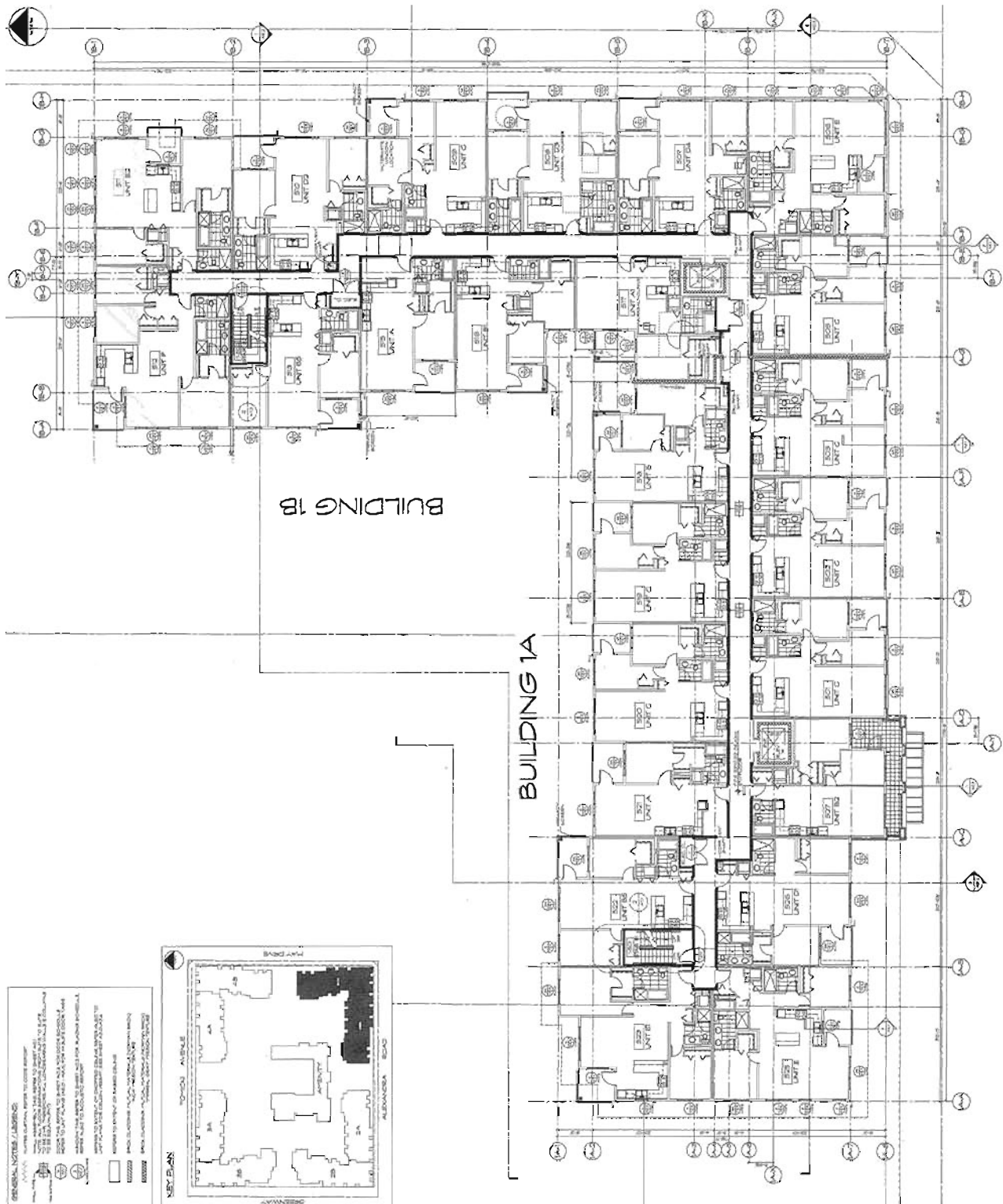
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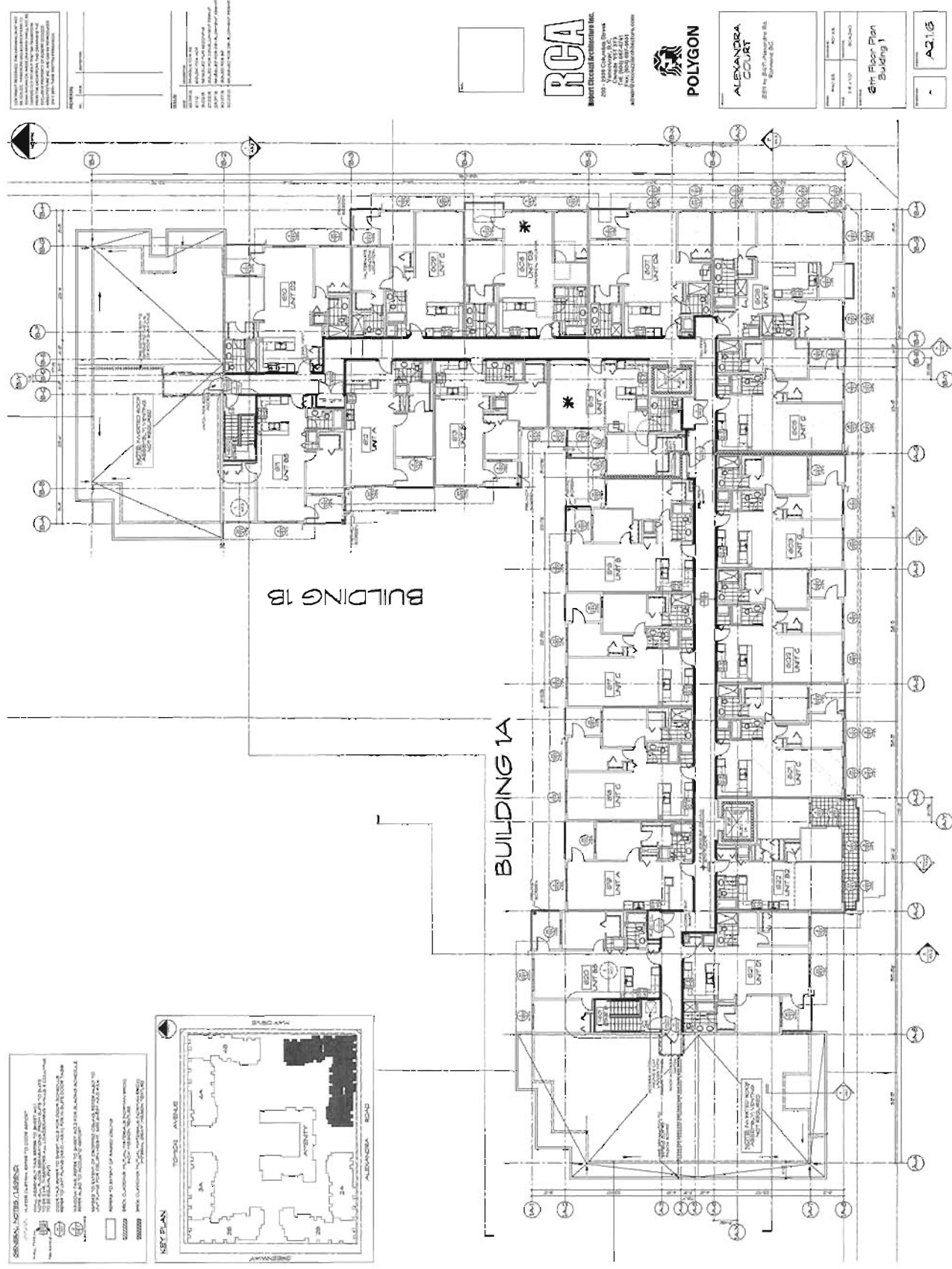


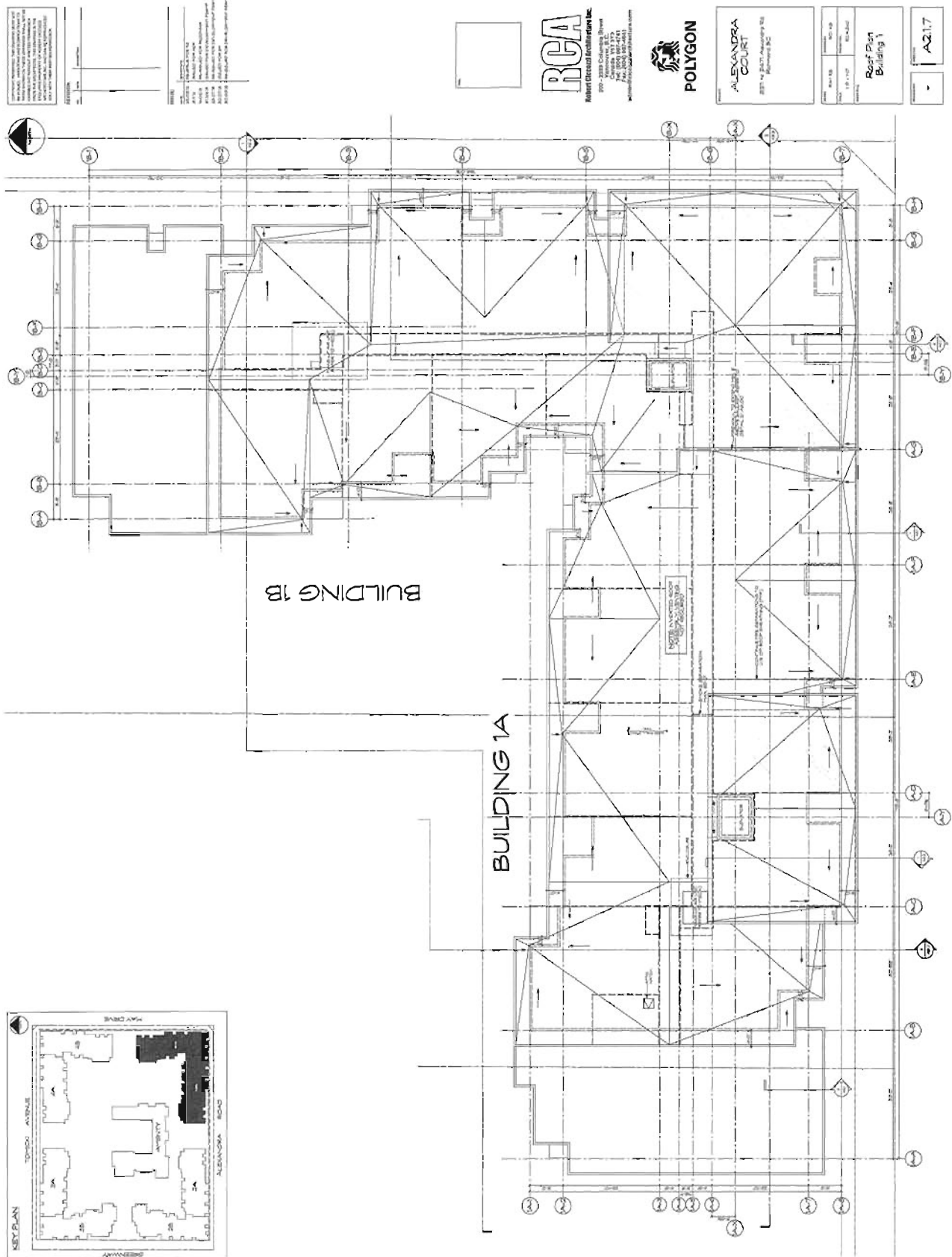
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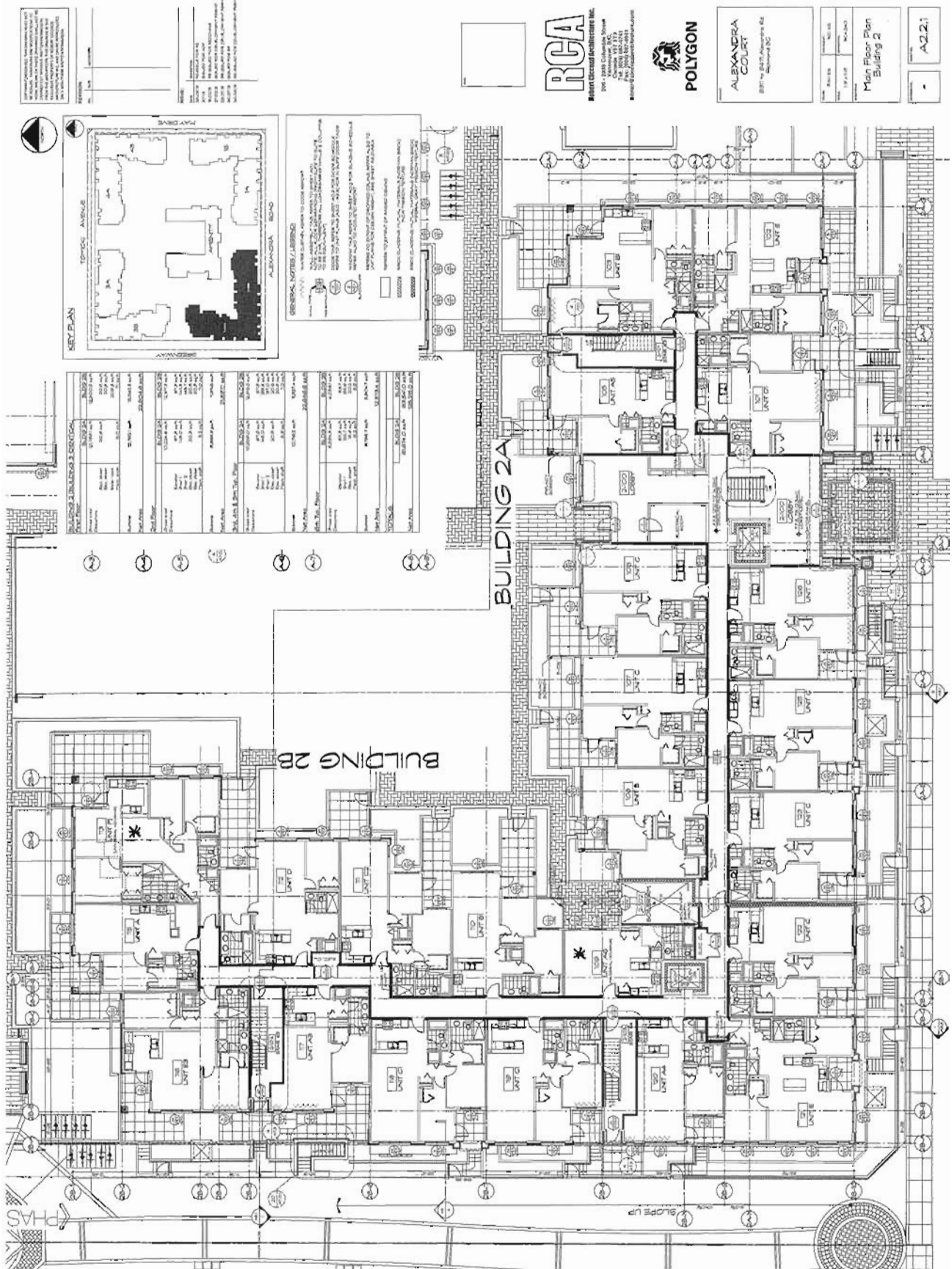


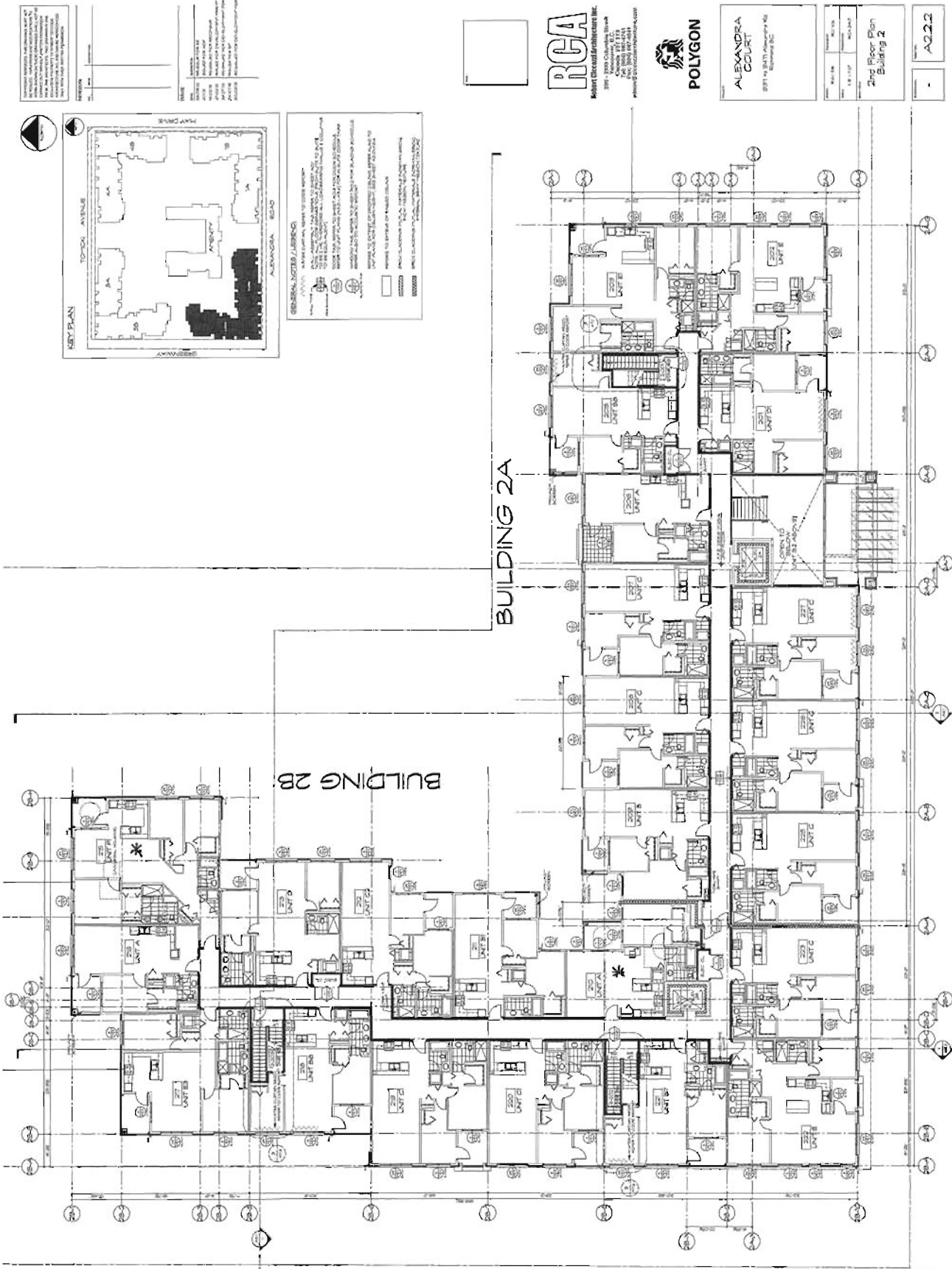


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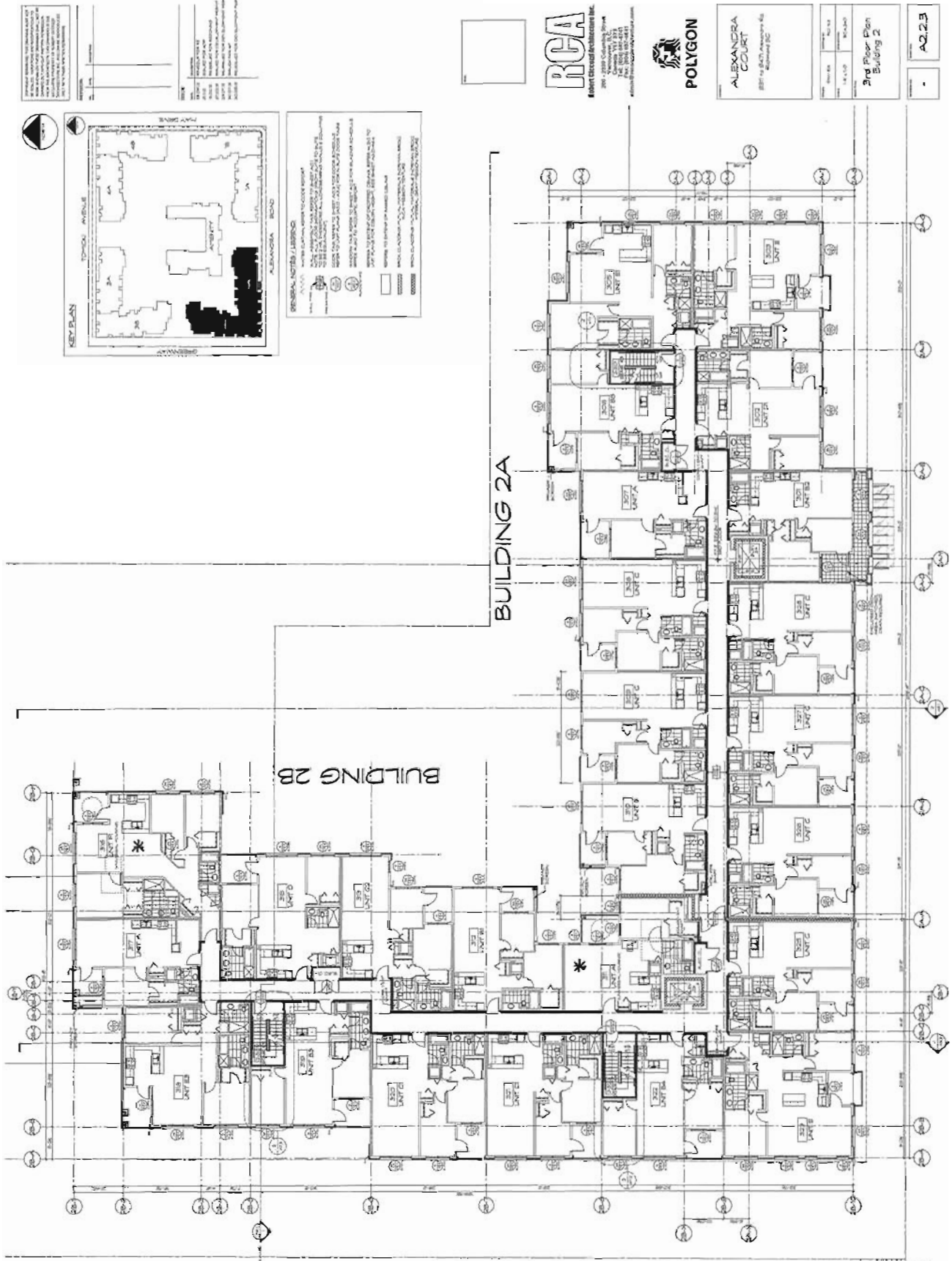












DP 13-631492 Pg. 43

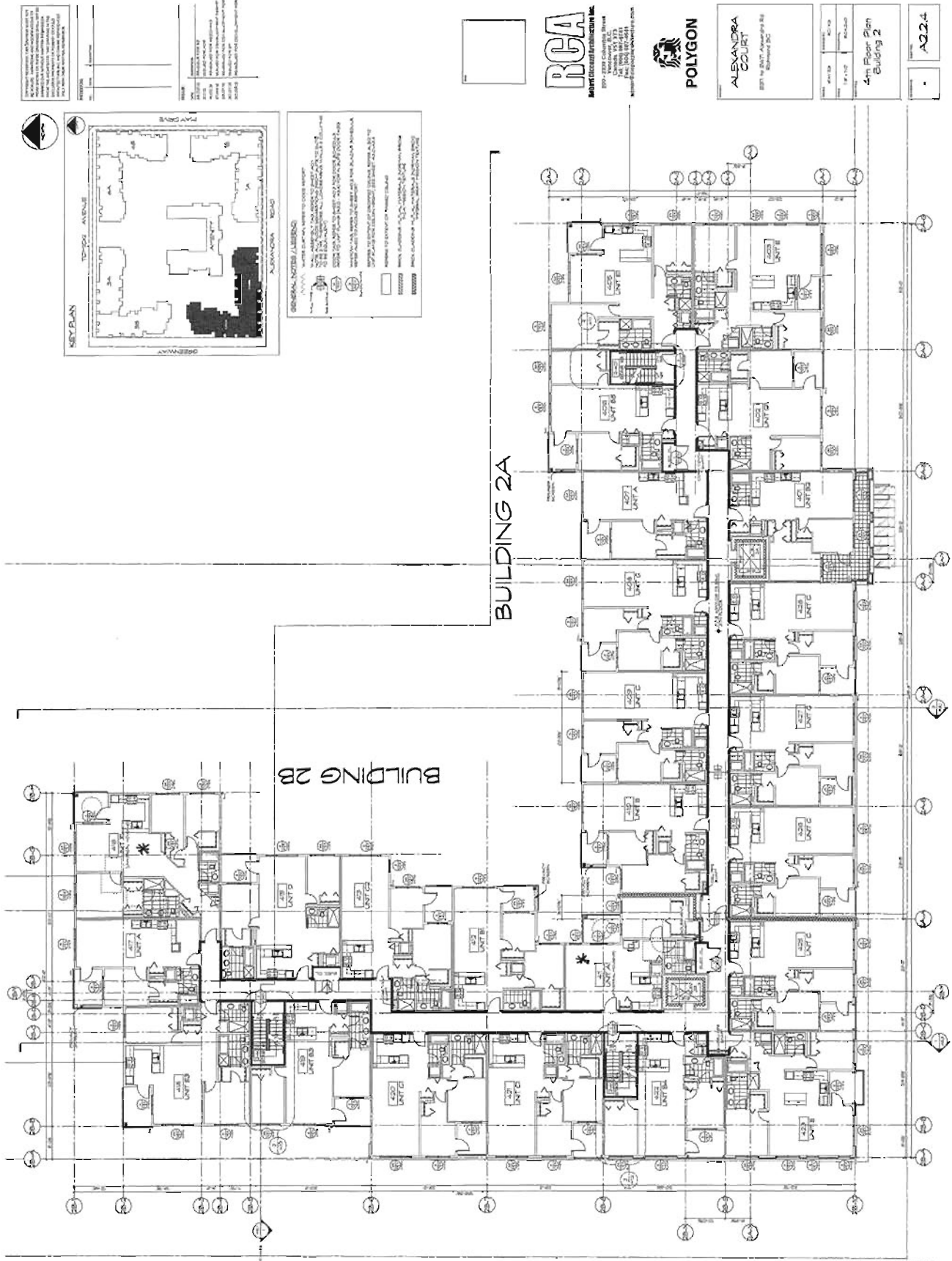
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ALEXANDRA COURT

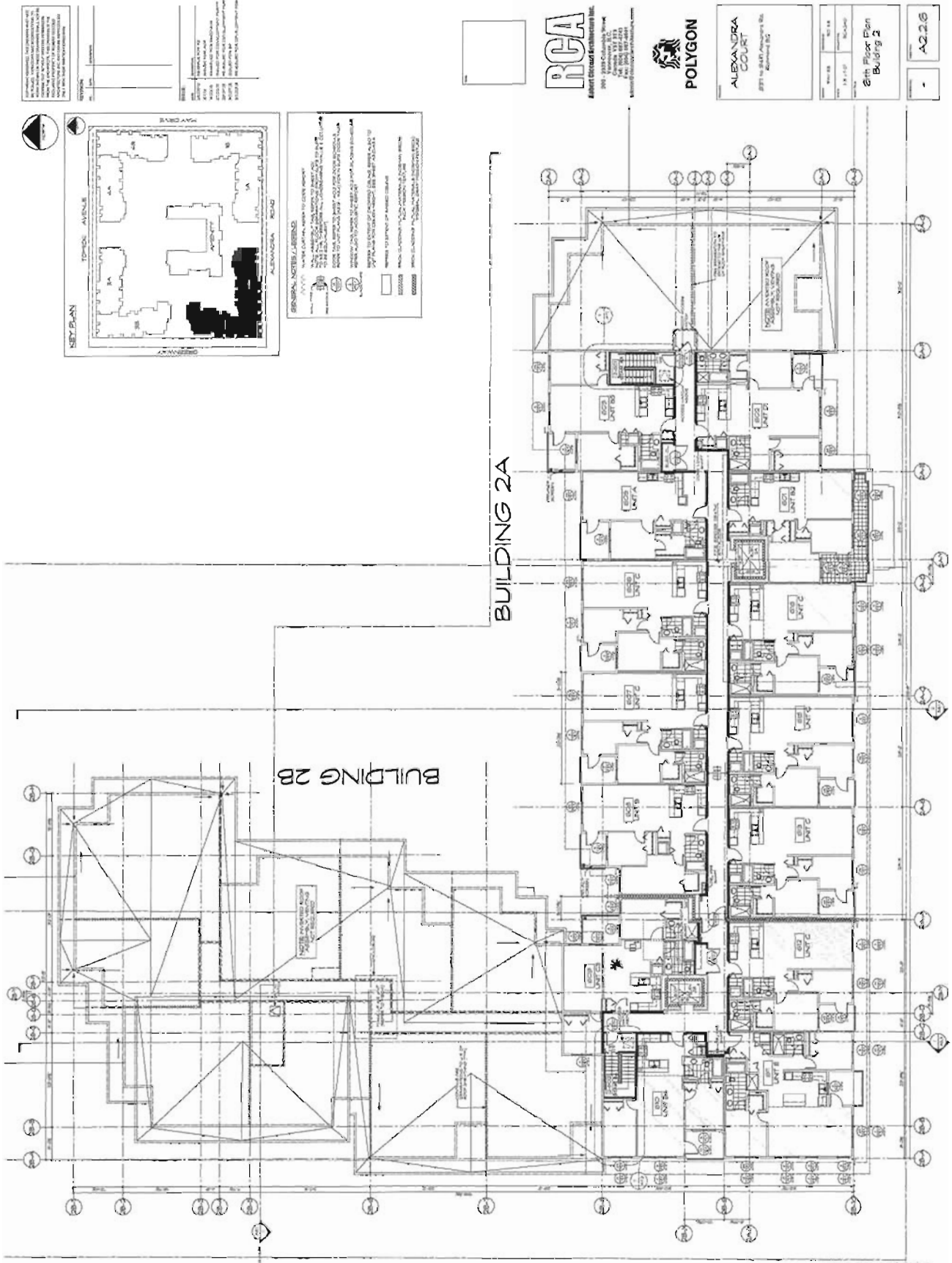
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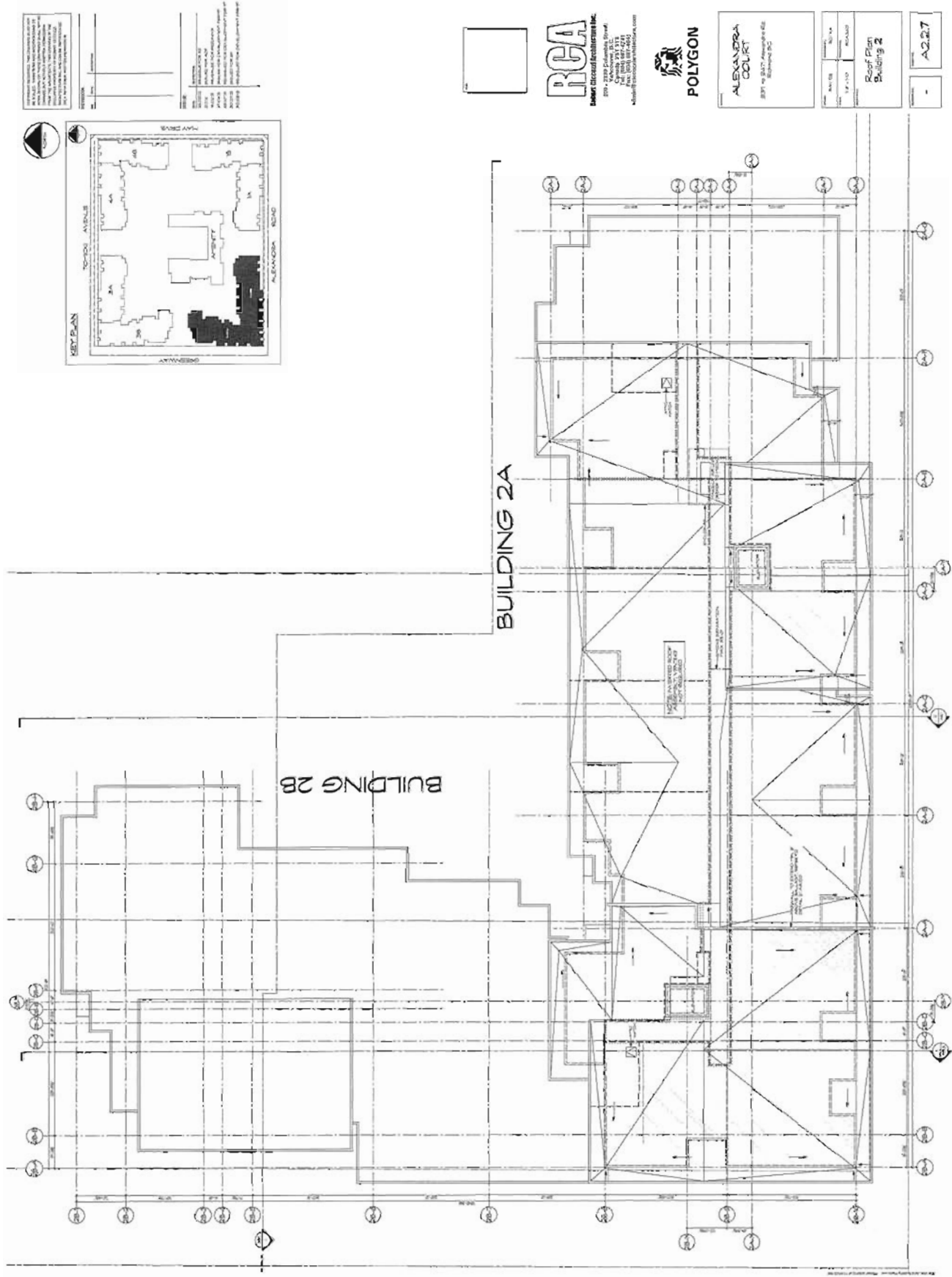
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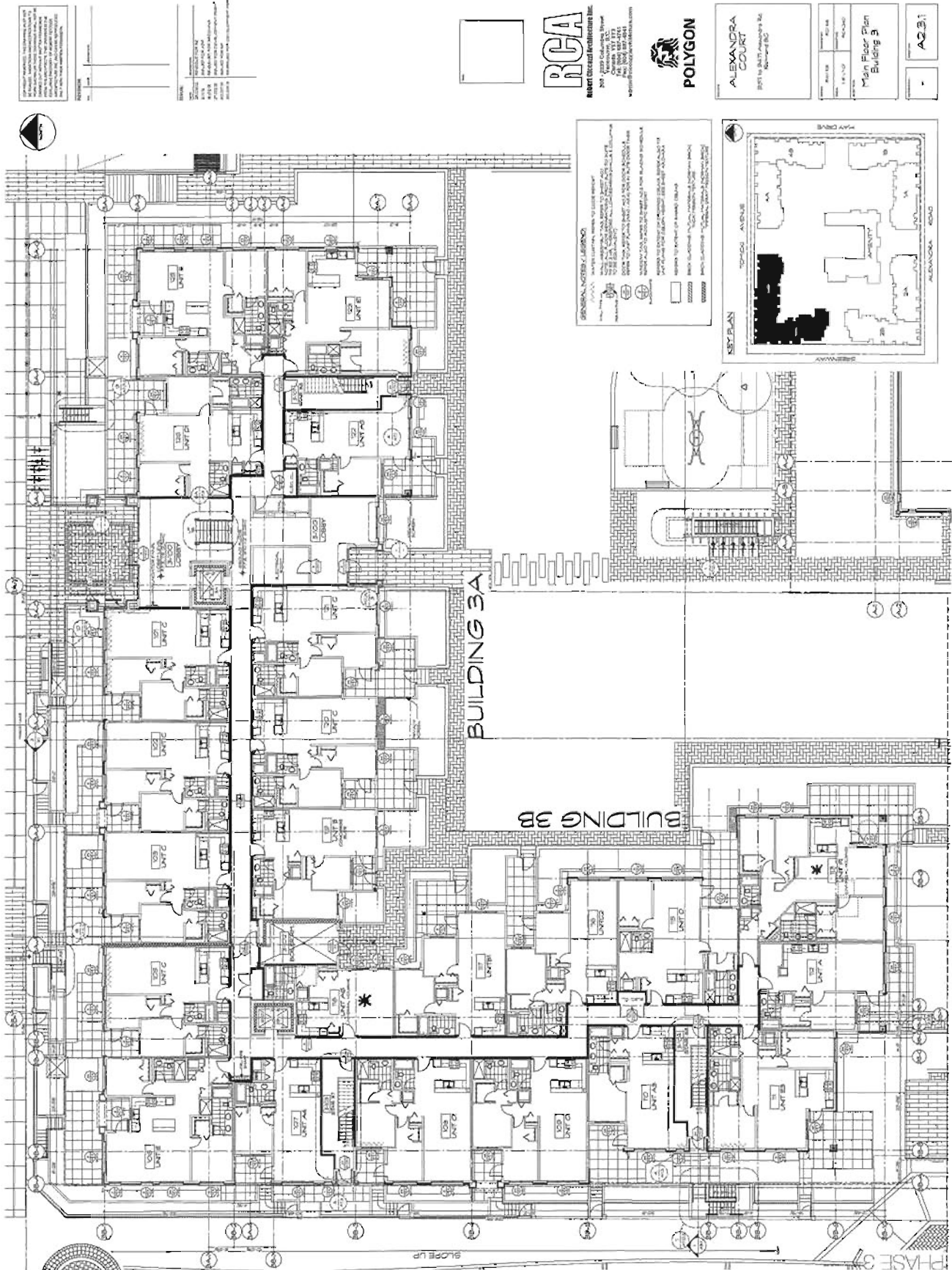




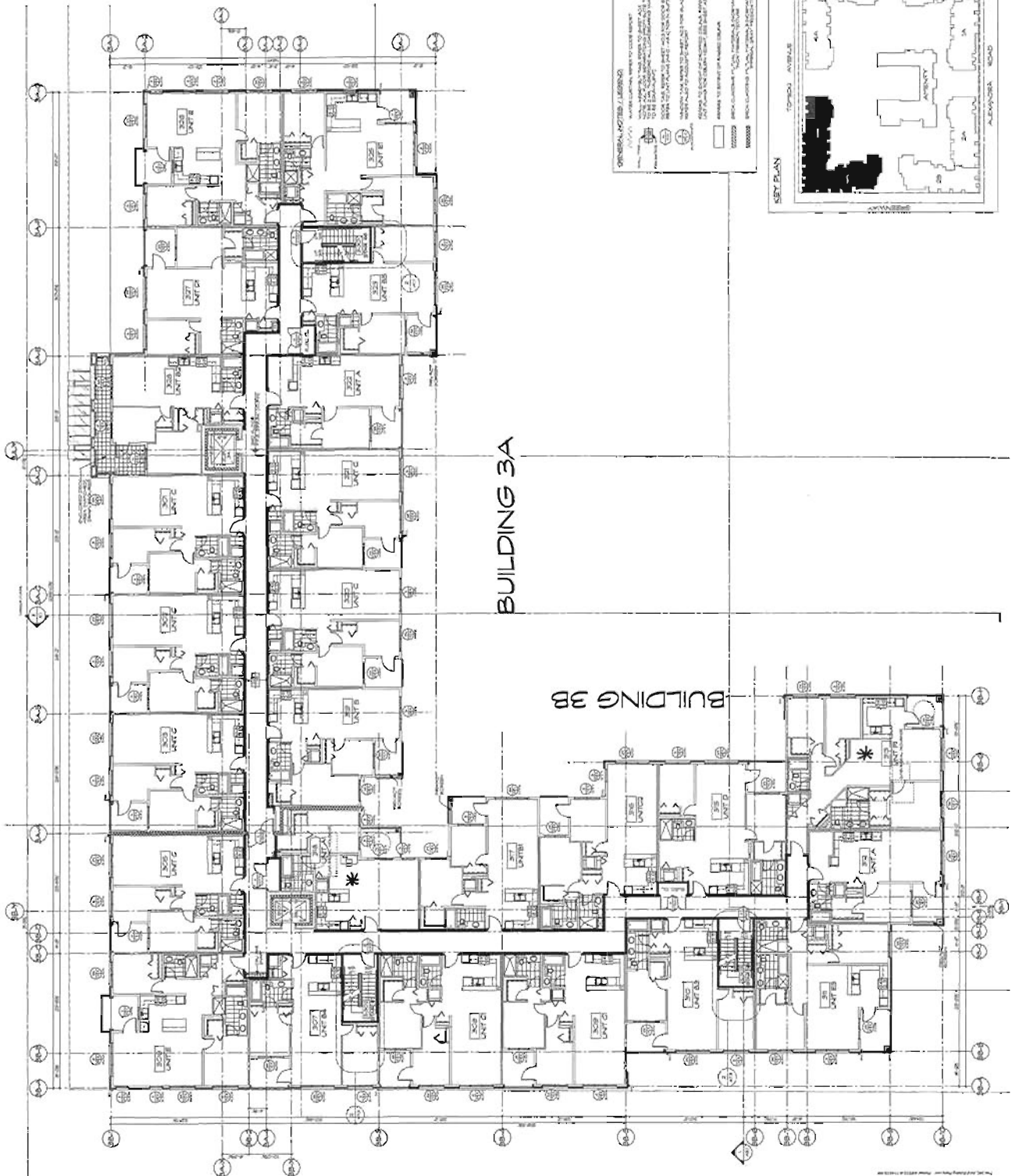




















DATE	10/1/13
BY	10/1/13
PROJECT	10/1/13
CLIENT	10/1/13
DESIGNER	10/1/13
CONTRACTOR	10/1/13
REVISIONS	10/1/13
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BY	10/1/13
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CLIENT	10/1/13
DESIGNER	10/1/13
CONTRACTOR	10/1/13
REVISIONS	10/1/13
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100	10/1/13



**RCA**  
Robert Chaswell Architects Inc.  
2001 - 2002 Columbia Street  
Calgary, Alberta T2C 1P1  
Tel: (403) 243-1111  
Fax: (403) 243-1111  
www.rca.ca

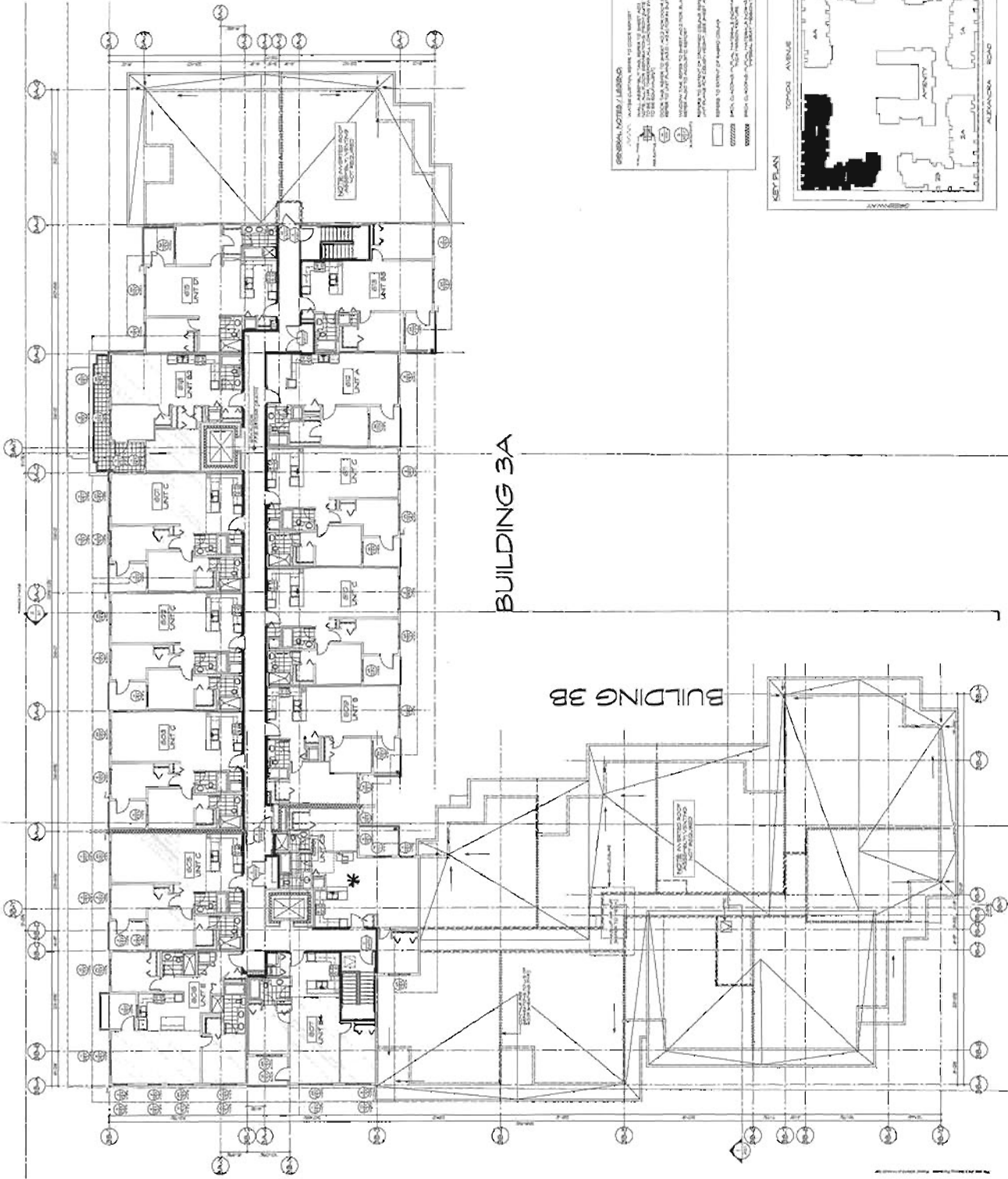


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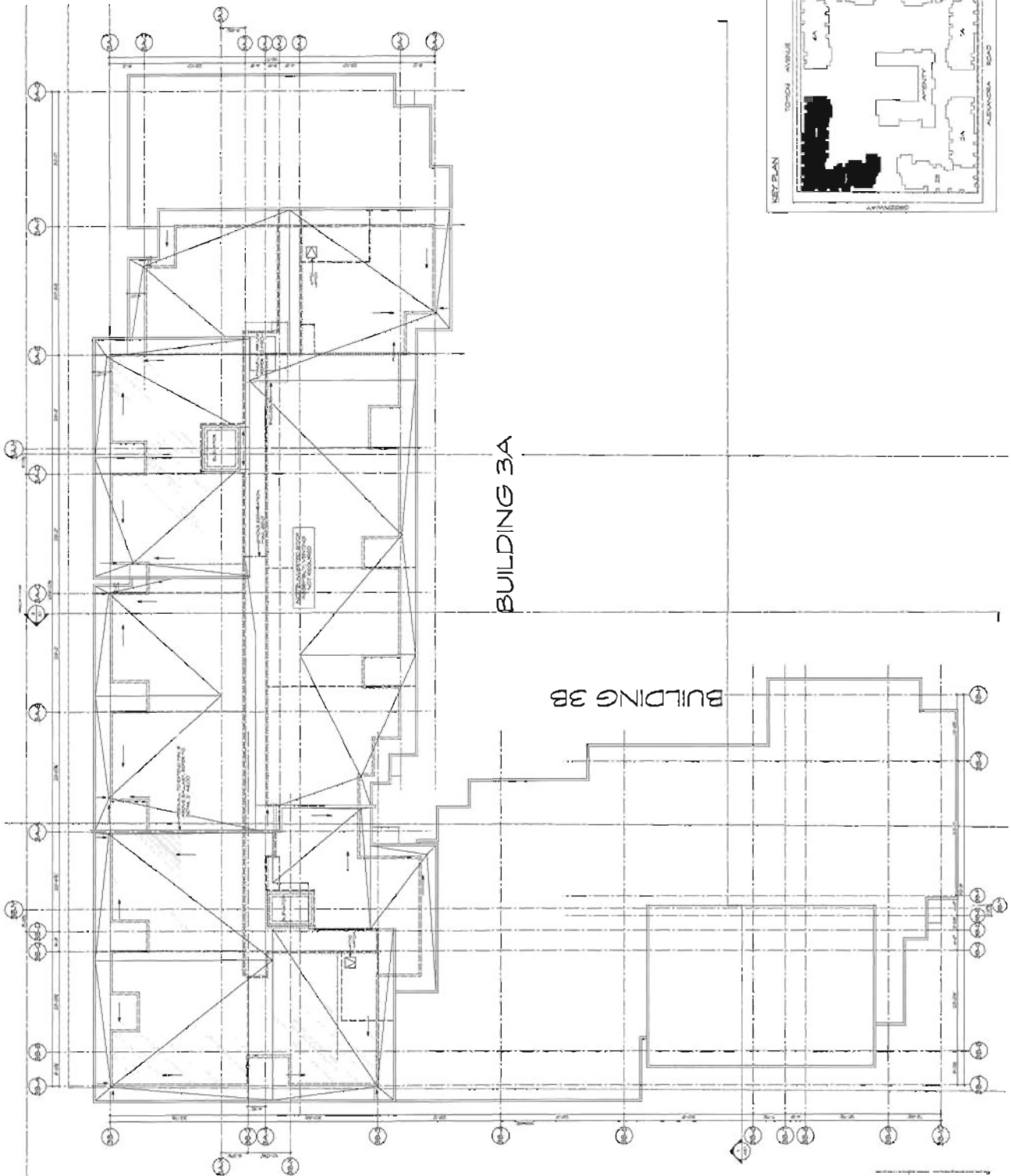
<b>ALEXANDRA COURT</b> 2001 - 2002 Columbia Street Calgary, Alberta T2C 1P1
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<b>6th Floor Plan</b> Building 3
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<b>A236</b>
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<p>Approved: [Signature]</p> <p>Project: [Text]</p> <p>Sheet: [Text]</p>	<p>Client: [Text]</p> <p>Architect: [Text]</p> <p>Engineer: [Text]</p> <p>Inspector: [Text]</p>
--	---



BUILDING 3A

BUILDING 3B



**RCA**

2000 - 2001 Columbia Street  
Arlington, VA 22204  
Tel: 703.241.1234  
Fax: 703.241.1235  
www.rca.com

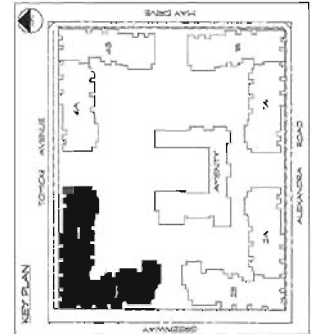


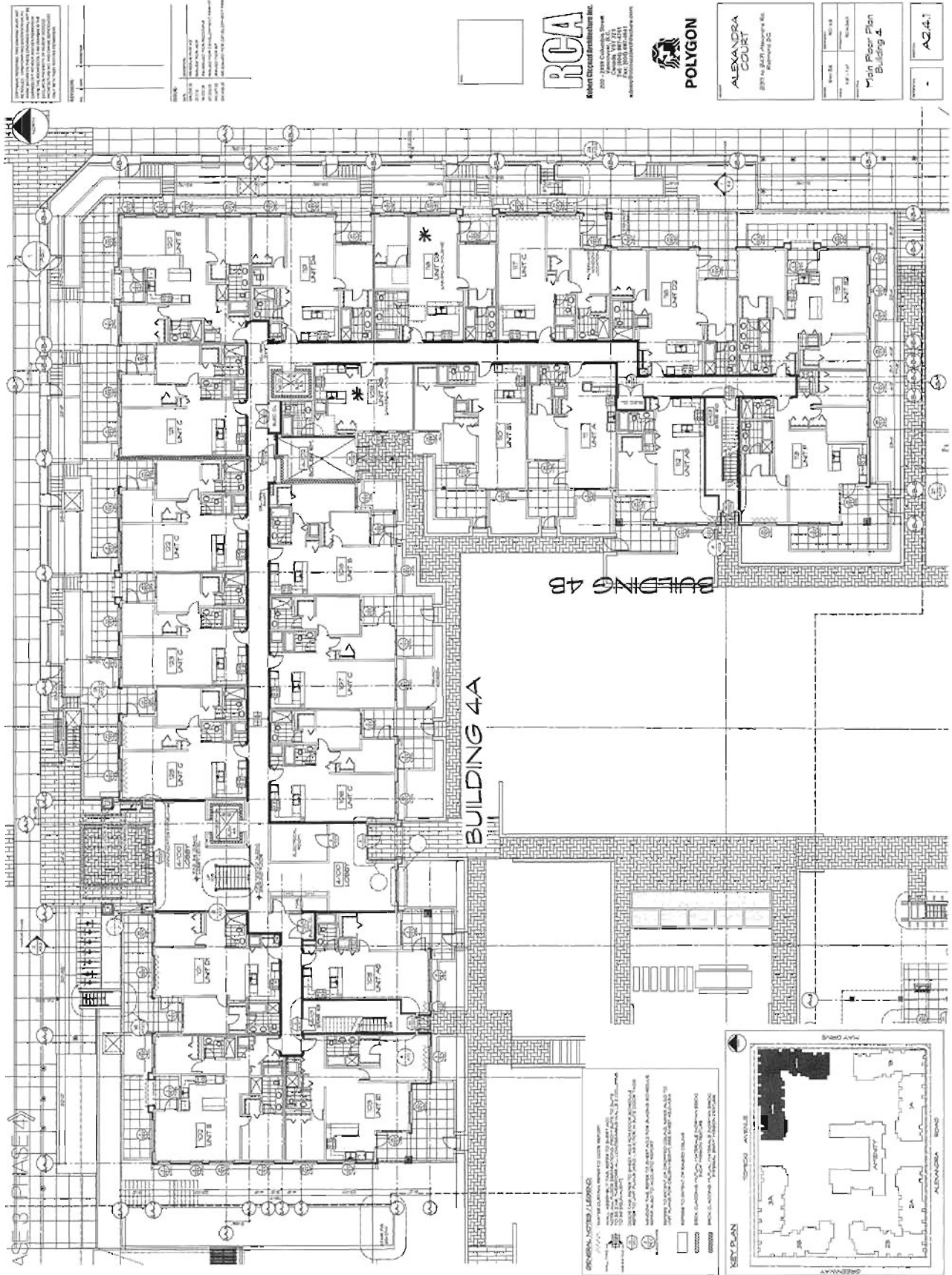
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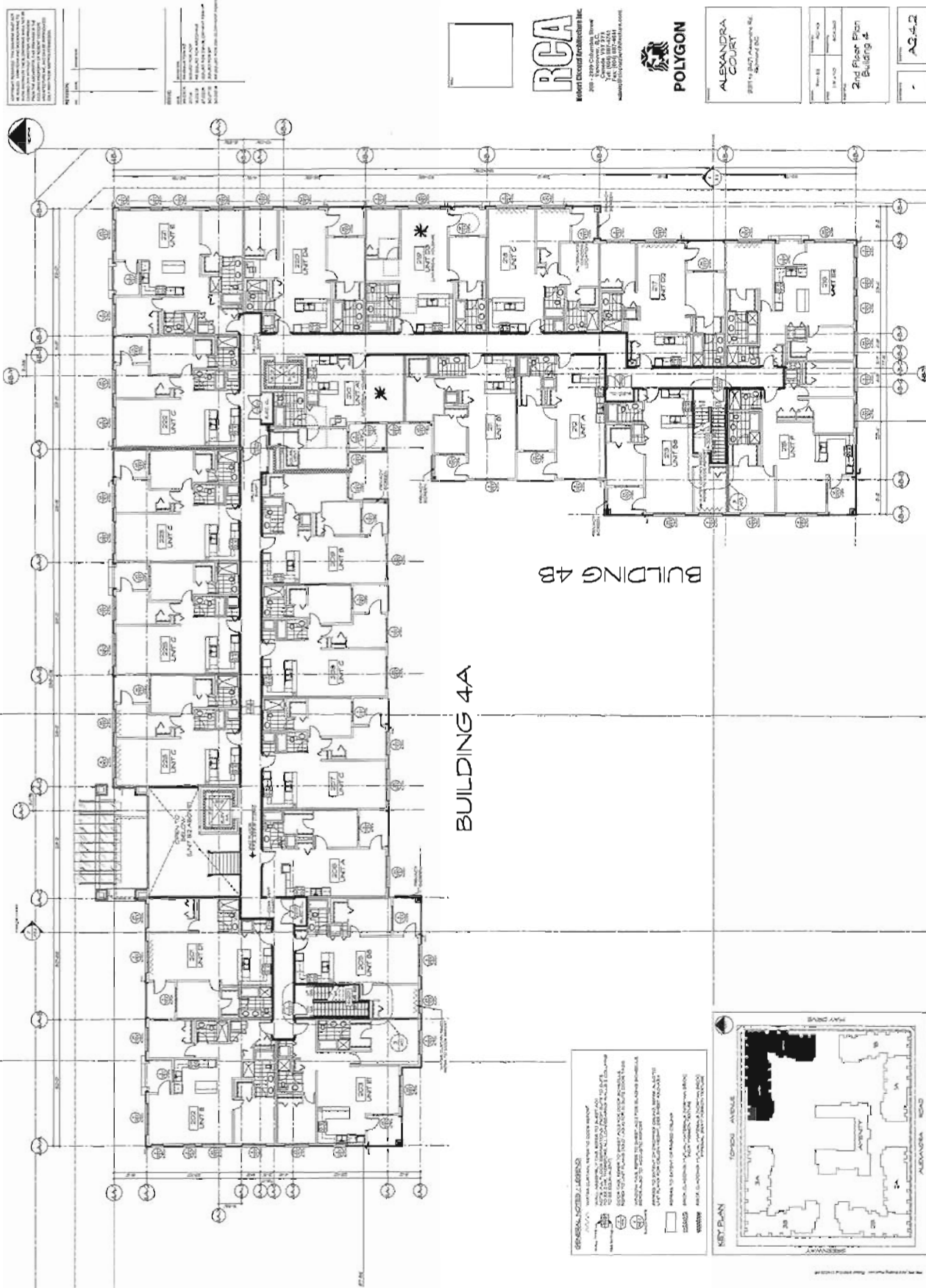
**ALEXANDRA COURT**  
2000 - 2001 Columbia Street  
Arlington, VA 22204  
Tel: 703.241.1234  
Fax: 703.241.1235  
www.rca.com

**Roof Plan  
Building 3**

**A2.3.7**







<p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704, AND THE NATIONAL ELECTRICAL CODE (NEC).</p> <p>2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704, AND THE NATIONAL ELECTRICAL CODE (NEC).</p> <p>3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704, AND THE NATIONAL ELECTRICAL CODE (NEC).</p>	<p>4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704, AND THE NATIONAL ELECTRICAL CODE (NEC).</p> <p>5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704, AND THE NATIONAL ELECTRICAL CODE (NEC).</p> <p>6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES, THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 704, AND THE NATIONAL ELECTRICAL CODE (NEC).</p>
--	--



**RCA**

ROBERT CHAMBERLAIN ASSOCIATES, INC.  
2001 - 2400 Columbia Street  
Columbia, MD 21046  
Tel: (410) 326-1111  
Fax: (410) 326-1111  
www.rca-architects.com

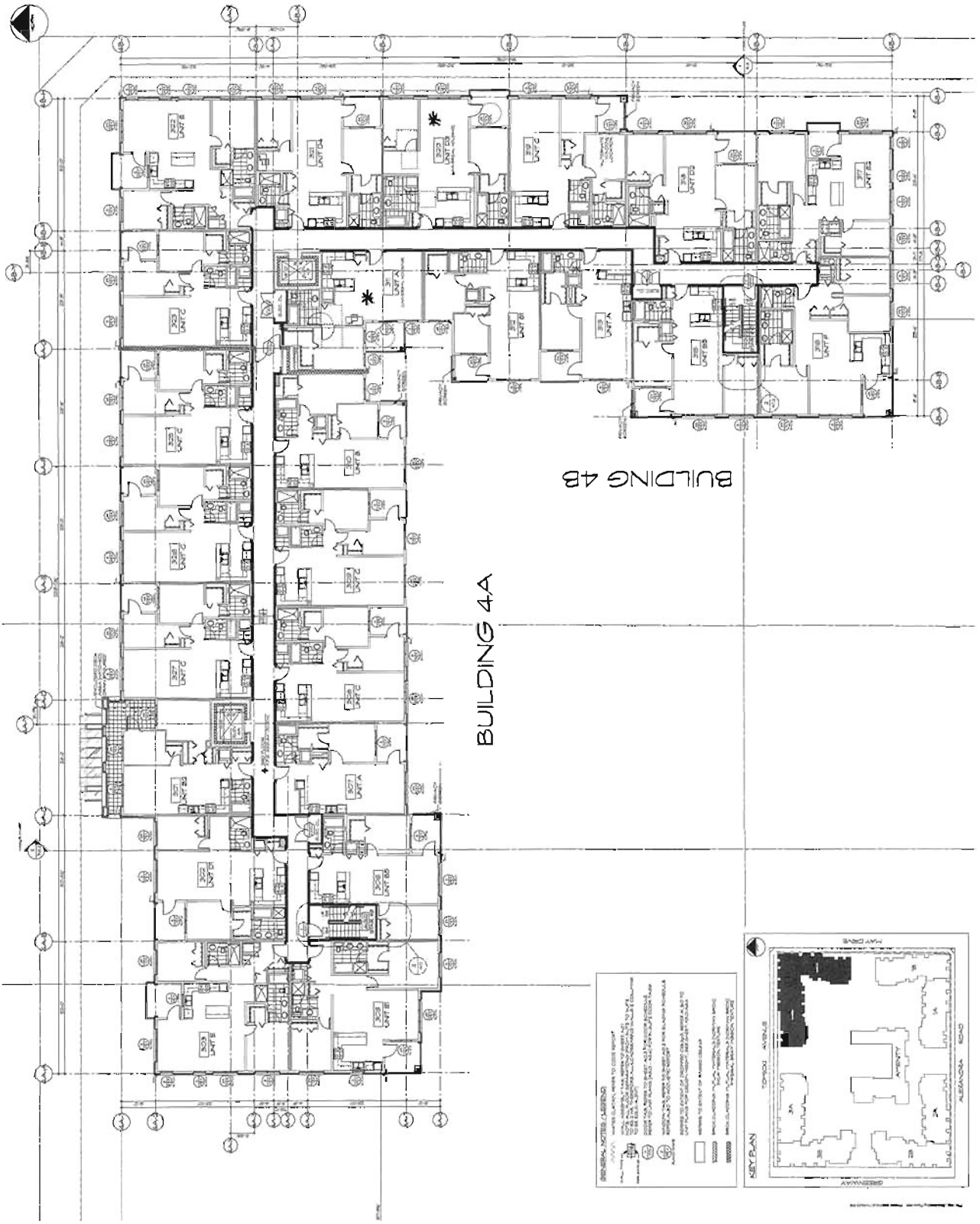


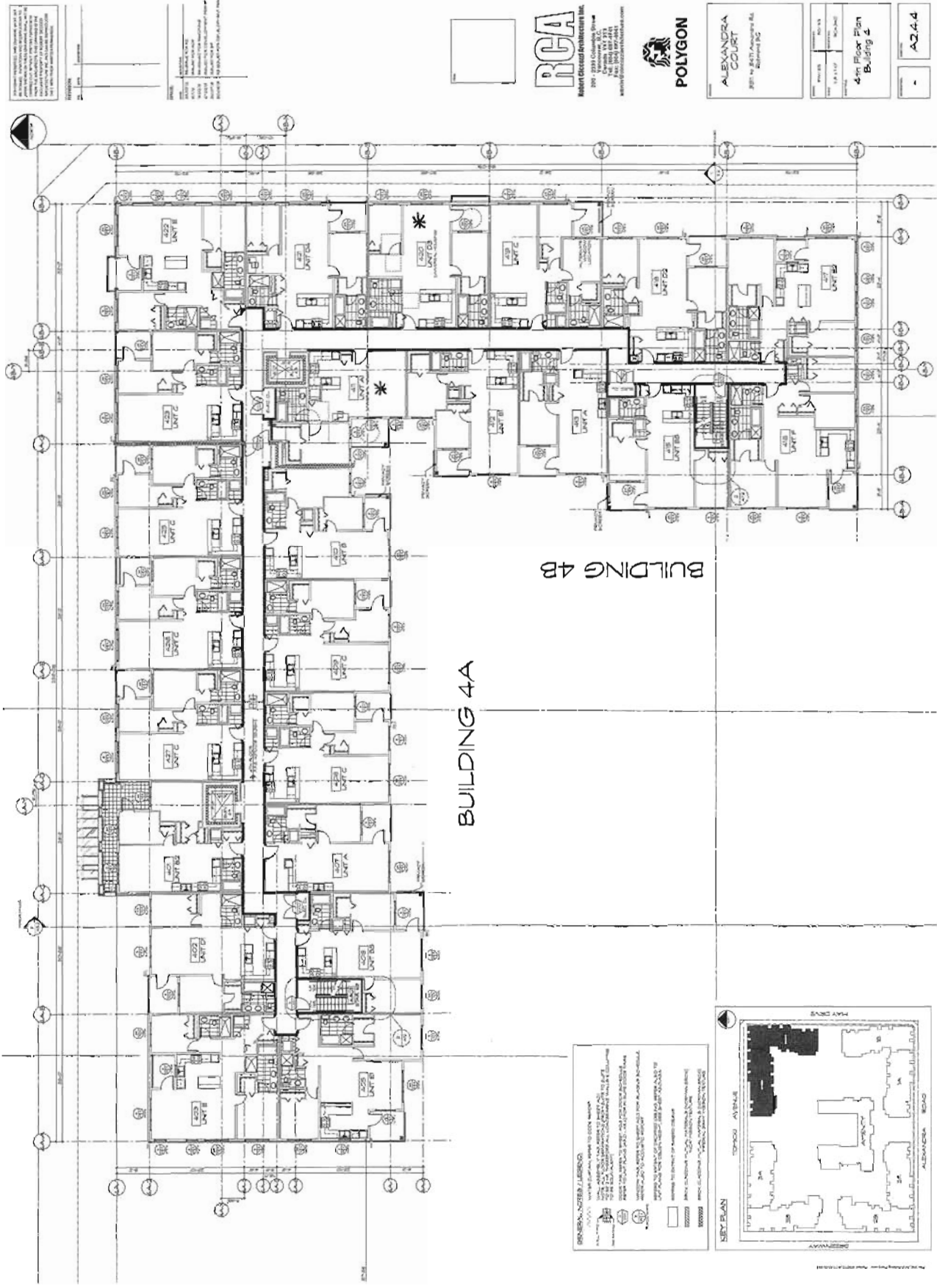
**POLYGON**

**ALEXANDRA COURT**  
2001 to 2400 Alexandra Rd.  
Baltimore, MD

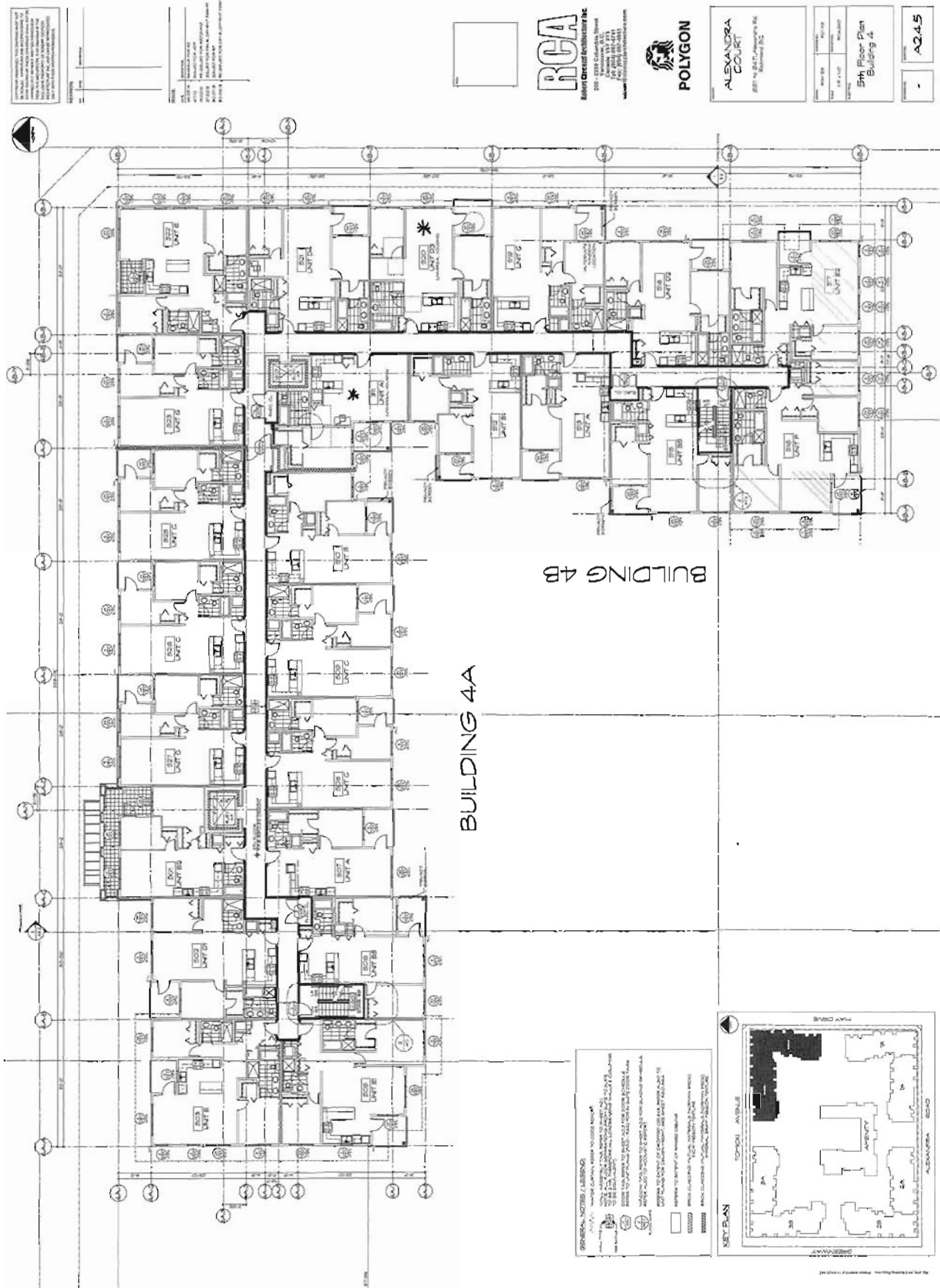
3rd Floor Plan  
Building 4

A2.4.3









## DPP - 60







DP 13-631492 Pg. # 34

NOTES:  
1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.  
4. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.  
5. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.

PROJECT: ALEXANDRA COURT  
SHEET: A252  
DATE: 01/11/13  
DRAWN BY: J. L. LEE  
CHECKED BY: J. L. LEE  
APPROVED BY: J. L. LEE  
REVISIONS:  
1. 01/11/13 - J. L. LEE - 01/11/13 - J. L. LEE  
2. 01/11/13 - J. L. LEE - 01/11/13 - J. L. LEE  
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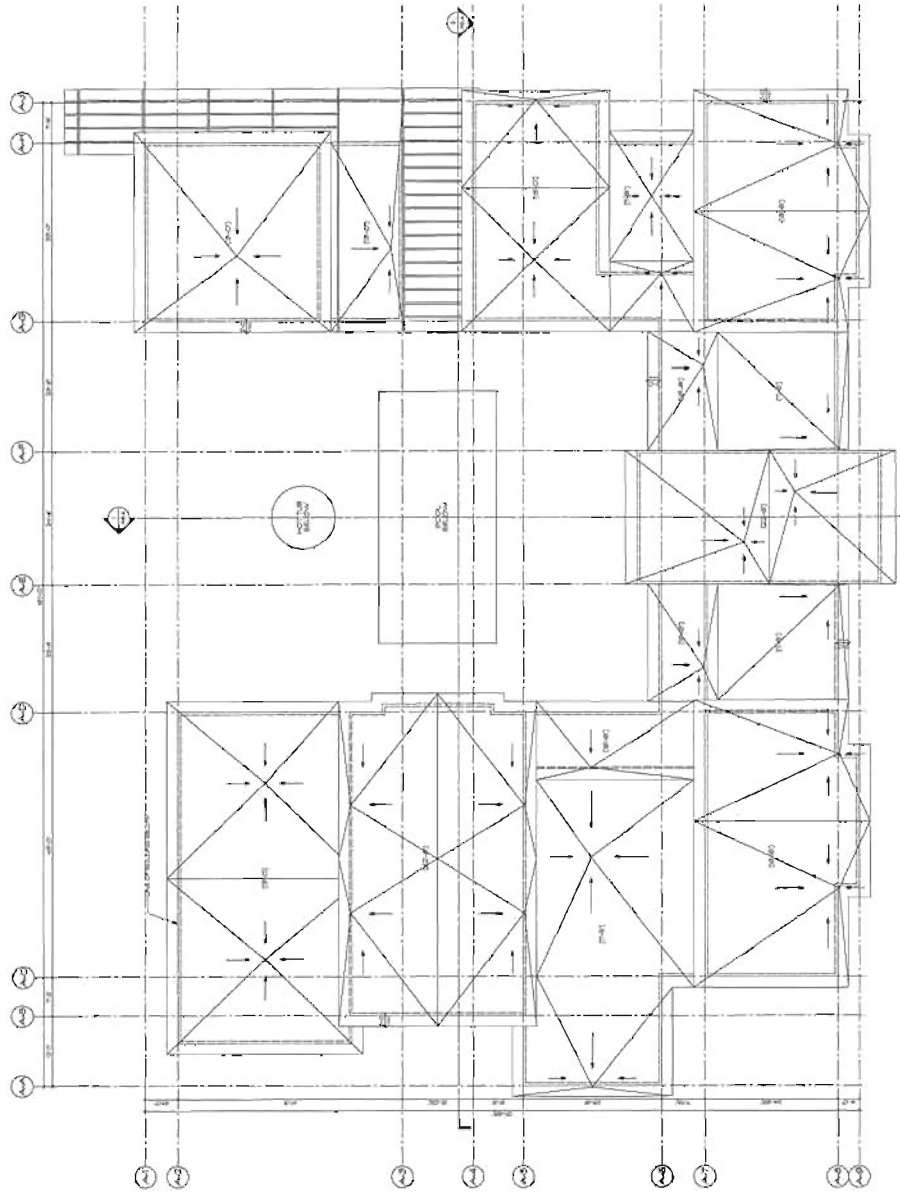
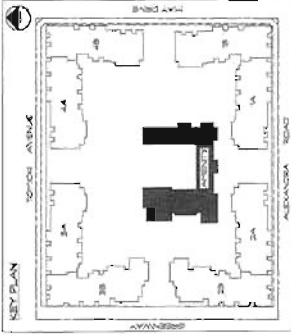
**RCA**  
Robinson Commercial Architecture  
2001 - 2002 Columbus Street  
Columbus, GA 31906  
Tel: (706) 597-2541  
Fax: (706) 597-2541  
www.rcaarchitects.com



**POLYGON**

**ALEXANDRA COURT**  
2001 - 2002 Columbus Street  
Columbus, GA 31906

Project Name	Alexandra Court
Project Number	13-631492
Sheet Number	A252
Sheet Title	Avenity Roof



PROJECT NAME	ALEXANDRA COURT
PROJECT ADDRESS	2001 to 2003 Alexander Rd. Baltimore, MD
ARCHITECT	POLYGON
ENGINEER	RCA
DATE	08/14/2013
DRAWN BY	W. J. HARRIS
CHECKED BY	W. J. HARRIS
APPROVED BY	W. J. HARRIS
SCALE	AS SHOWN



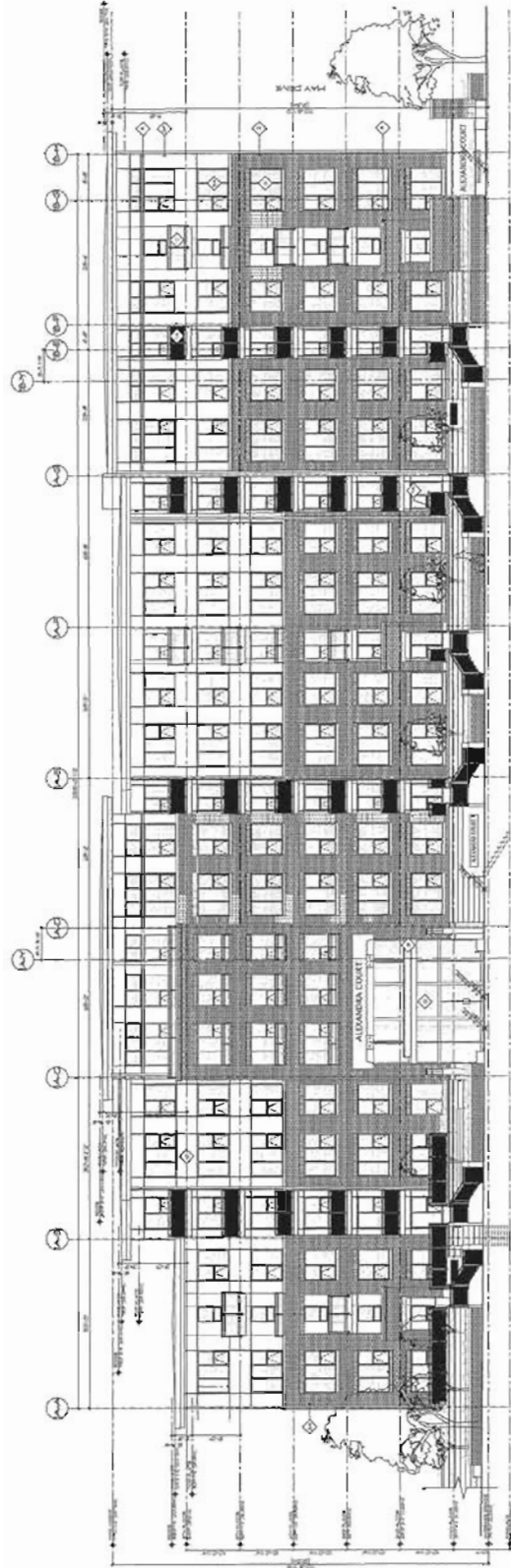
**RCA**  
Robert Conrad Architects Inc.  
200 - 2300 Columbia Road  
Baltimore, MD 21201  
Phone: 410.551.1111  
Fax: 410.551.1144  
www.rcaarchitects.com



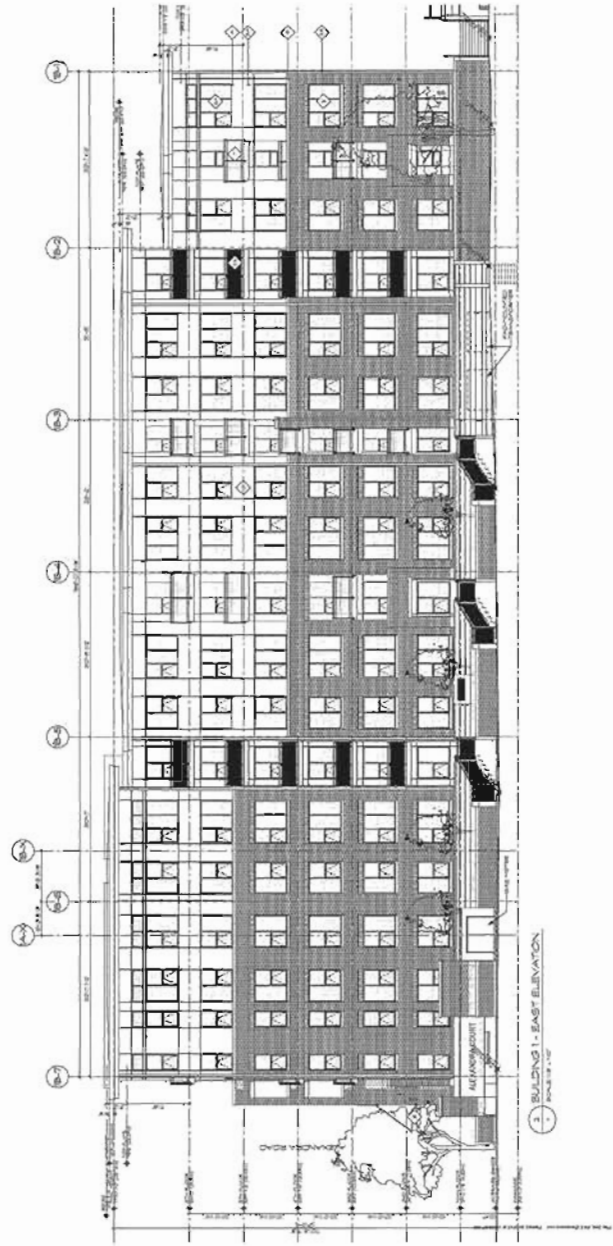
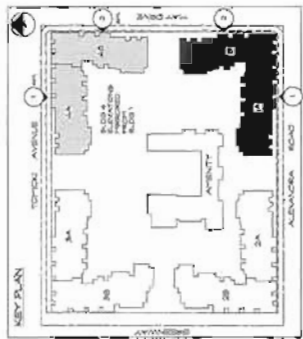
**POLYGON**  
2001 to 2003 Alexander Rd.  
Baltimore, MD

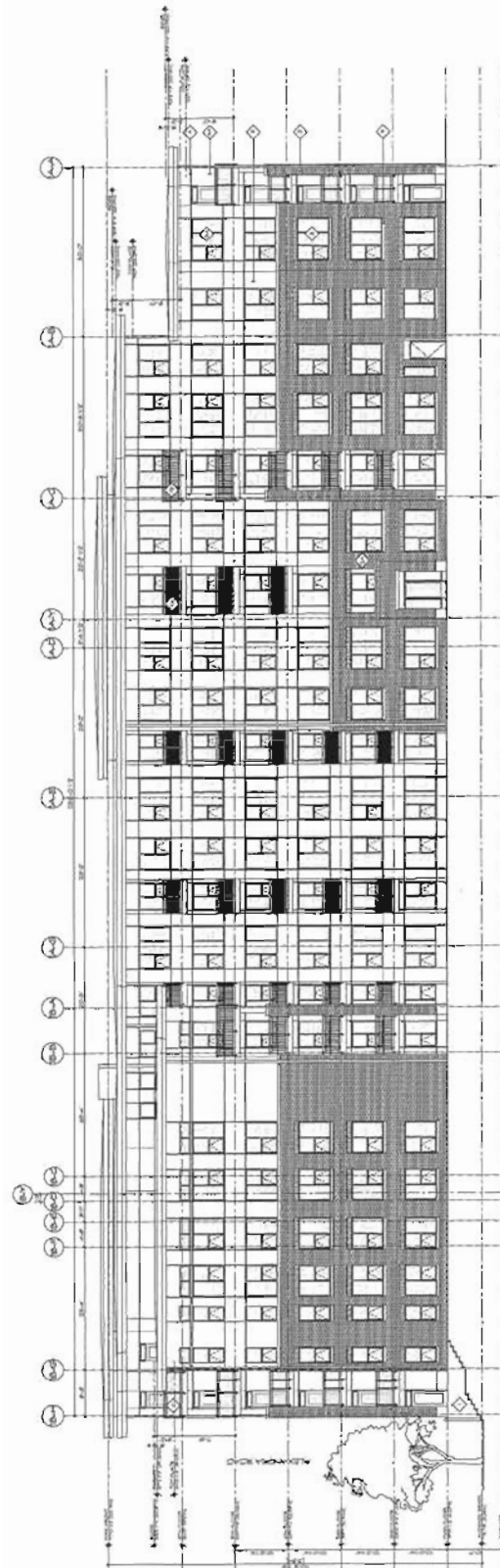
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PROJECT ADDRESS	2001 to 2003 Alexander Rd. Baltimore, MD
ARCHITECT	POLYGON
ENGINEER	RCA
DATE	08/14/2013
DRAWN BY	W. J. HARRIS
CHECKED BY	W. J. HARRIS
APPROVED BY	W. J. HARRIS
SCALE	AS SHOWN

PROJECT NAME	ALEXANDRA COURT
PROJECT ADDRESS	2001 to 2003 Alexander Rd. Baltimore, MD
ARCHITECT	POLYGON
ENGINEER	RCA
DATE	08/14/2013
DRAWN BY	W. J. HARRIS
CHECKED BY	W. J. HARRIS
APPROVED BY	W. J. HARRIS
SCALE	AS SHOWN

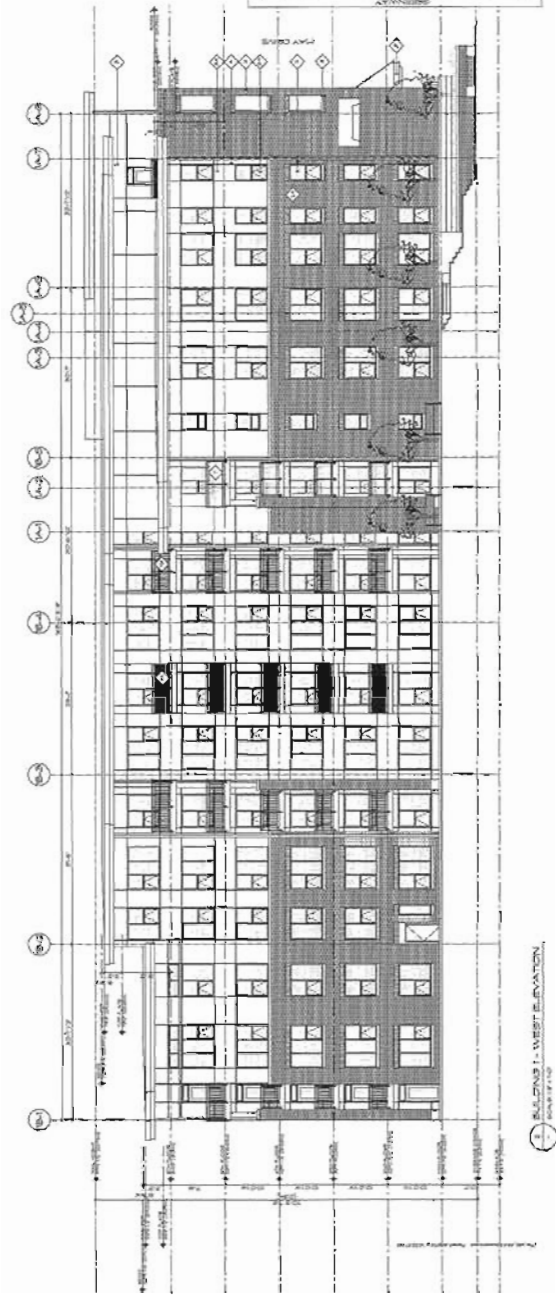


- EXTERIOR LEGEND**
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  - 3 BRICK CLADDING - Darker Shade
  - 4 BRICK CLADDING - Lighter Shade
  - 5 ANTIQUE PANEL PAINTED
  - 6 ANTIQUE PANEL PAINTED - Darker Shade
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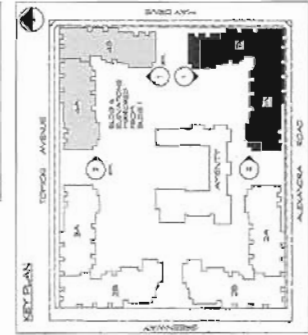




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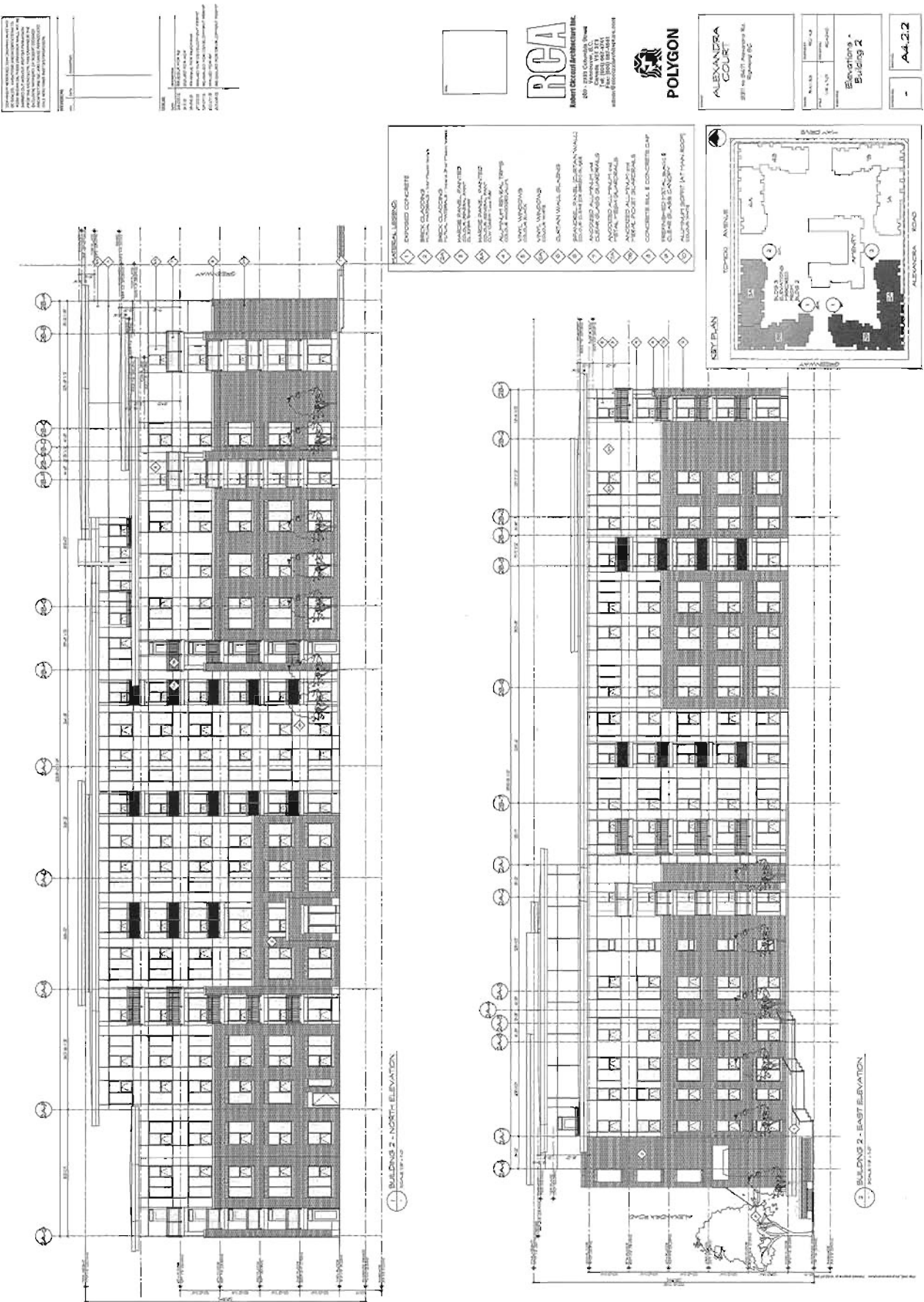
2011年11月11日



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**ALEXANDRA COURT**  
2001 W. 10th Avenue, Suite 100  
Boulder, CO 80502

**Building 2**

**A4.2.2**

**POLYGON**

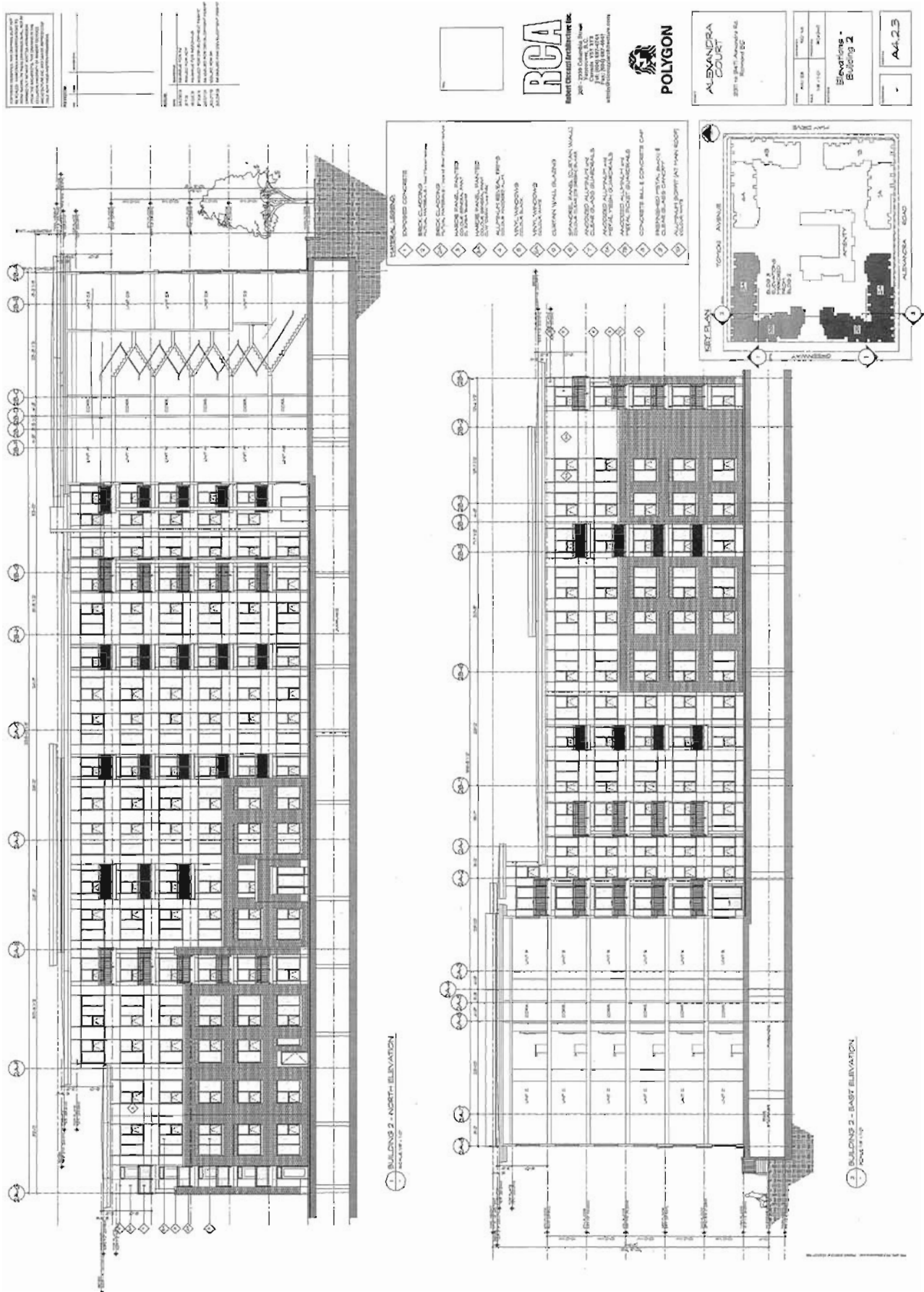
**RCA**  
Robert C. Anderson Architects Inc.  
2001 W. 10th Avenue, Suite 100  
Boulder, CO 80502

**Legend**

**Notes**

**Scale**



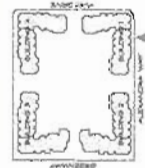


1 BUILDING 2 - NORTH ELEVATION

2 BUILDING 2 - EAST ELEVATION







1 BUILDING ONE FROM ALBANY ROAD  
4.8.22 800-8-1078



Robert Clark Architects Inc.  
300 - 3038 Columbia Street  
Vancouver, B.C.  
Canada V5V 3T9  
Tel (604) 682-0771  
Fax (604) 687-6411

RCA



Wiederholungsfragen helfen, einen Text besser zu verstehen und zu behalten. Sie helfen auch, die Aufmerksamkeit zu konzentrieren und die Lerninhalte zu festigen. Wiederholungsfragen sind eine gute Möglichkeit, das eigene Verständnis zu überprüfen und zu vertiefen. Sie können in verschiedenen Formen gestellt werden, z. B. als Multiple-Choice-Fragen, Ja/Nein-Fragen oder offene Fragen. Wichtig ist, dass die Fragen die wesentlichen Punkte des Textes abdecken und zum Nachdenken anregen. Wiederholungsfragen können auch in Gruppen gestellt werden, um das Verständnis zu vertiefen und die Motivation zu steigern. Es ist wichtig, dass die Fragen nicht nur auf das Gelernte abzielen, sondern auch auf das Verständnis und die Anwendung des Wissens. Wiederholungsfragen sind ein wichtiger Bestandteil des Lernens und können dazu beitragen, das Gelernte langfristig zu verankern.

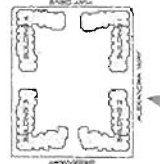
Year	Population (1990-2000)
1990	1,100,000
1995	1,200,000
2000	1,300,000

## PERSPECTIVE

Agg. 2

**ALEXANDRA  
COURT**  
3030 TO 3470 COLUMBIA  
SUMMIT, NC

1. BUILDING TWO ELEVATION BUILDING FROM ALEXANDRA ROAD  
Scale: 1/8" = 1'-0"



- A4.3.3

PERSPECTIVE

ALEXANDRA COURT  
400 TO 500 C&D RD  
BIRMINGHAM, AL



RCA  
1000 10th Avenue North  
Birmingham, AL 35203  
Phone: (205) 988-1000  
Fax: (205) 988-1001  
www.rca.com



DP 13-631492 Pg. #43

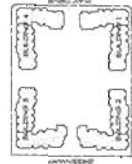
1. BUILDING TWO ELEVATION BUILDING FROM ALEXANDRA ROAD  
Scale: 1/8" = 1'-0"











1. BUILDING TWO FROM GREENWAY  
300' SCALE

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DATE: 10/1/2019  
BY: [Signature]

DATE: 10/1/2019  
BY: [Signature]

DATE: 10/1/2019  
BY: [Signature]

Pg. #46

DP 13-631492



**RCA**

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Boulder, CO 80502  
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Fax: 303.440.1235  
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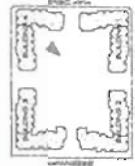
**POLYGON**

**ALEXANDRA COURT**  
200 10th Avenue, Suite 100  
Boulder, CO 80502

**PERSPECTIVE**

**A4.3.6**





1. BUILDING TWO FRONT COURTYARD  
DATE: 10/1/2017

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Project Name	Project Number
Project Location	Project Date
Project Manager	Project Engineer
Project Architect	Project Designer
Project Contractor	Project Consultant
Project Owner	Project Stakeholder
Project Budget	Project Schedule
Project Risk	Project Status
Project Impact	Project Outcome
Project Feedback	Project Review
Project Conclusion	Project Summary



**POLYGON**  
1000 Capital Blvd.  
Suite 100  
Baltimore, MD 21202  
Phone: 410.550.1000  
Fax: 410.550.1001  
www.polygon.com

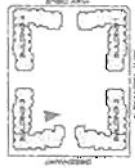


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Suite 100  
Baltimore, MD 21202  
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1 BUILDING TWO FROM COURTYARD  
4.3.2 810-8 129

Downloaded from <http://www.sagepub.com> at 00:00 01 January 2015

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DP 13-631492 RA #49

PROJECT: ALEXANDRA COURT, 1000 EAST OGDEN RD, NORTON, MA 01944  
OWNER: POLYGON, 1000 EAST OGDEN RD, NORTON, MA 01944  
ARCHITECT: RGA, 1000 EAST OGDEN RD, NORTON, MA 01944  
DATE: 01/15/2019  
SCALE: 1/8" = 1'-0"

**RGA**  
Robert G. Anderson Inc.  
1000 East Ogdén Road  
Norton, MA 01944  
Tel: 508.883.8844  
Fax: 508.883.8844  
www.rgaarchitect.com

**POLYGON**

**ALEXANDRA COURT**  
1000 EAST OGDEN RD  
NORTON, MA 01944

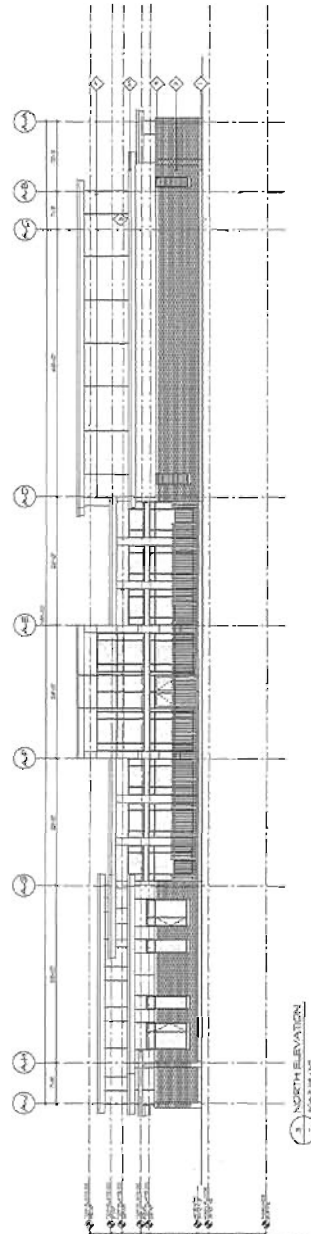
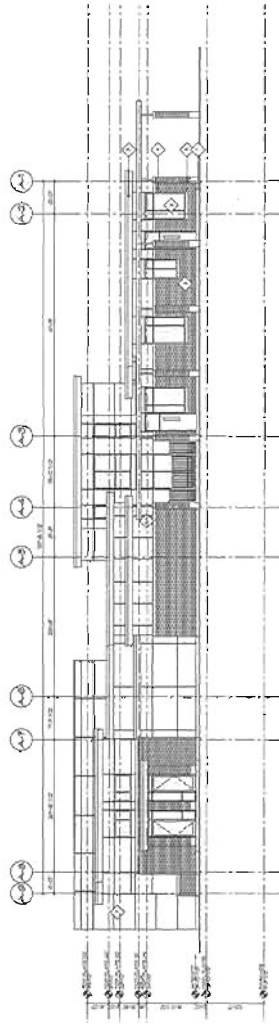
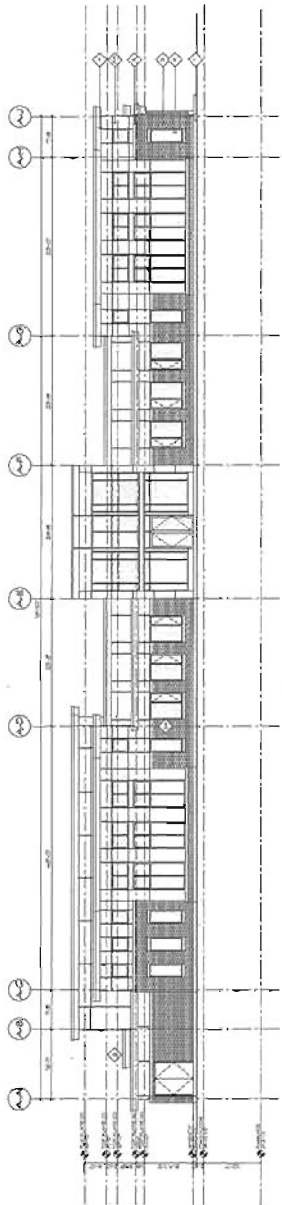
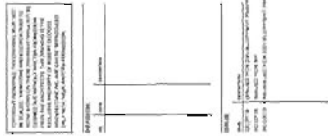
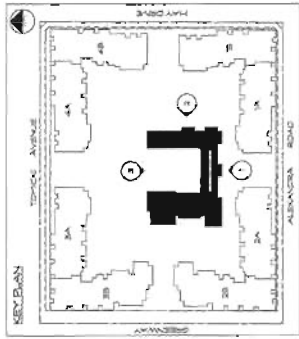
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BY	RA
CHKD	RA
APP'D	RA

PERSPECTIVE

DATE	01/15/2019
BY	RA
CHKD	RA
APP'D	RA

A4.4.1





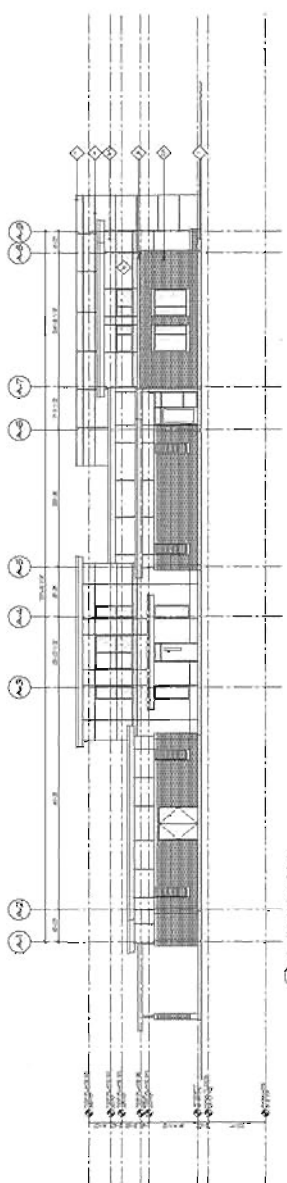
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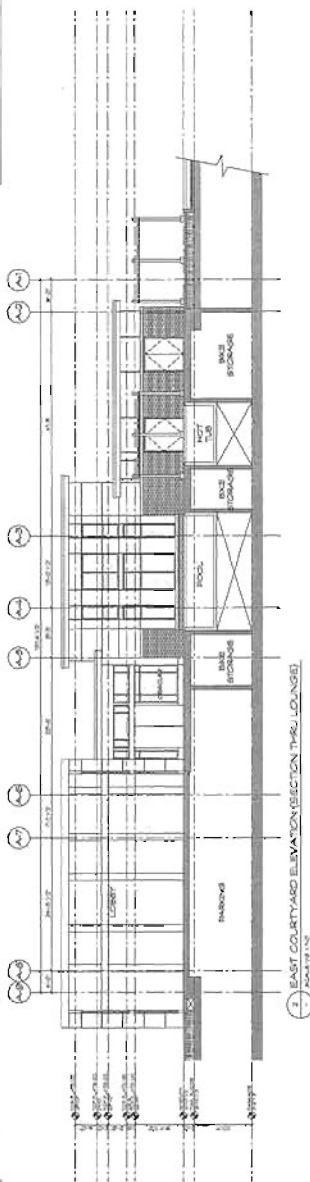
**POLYGON**

**ALEXANDRA COURT**  
887-10 24th Avenue SE  
Richmond BC

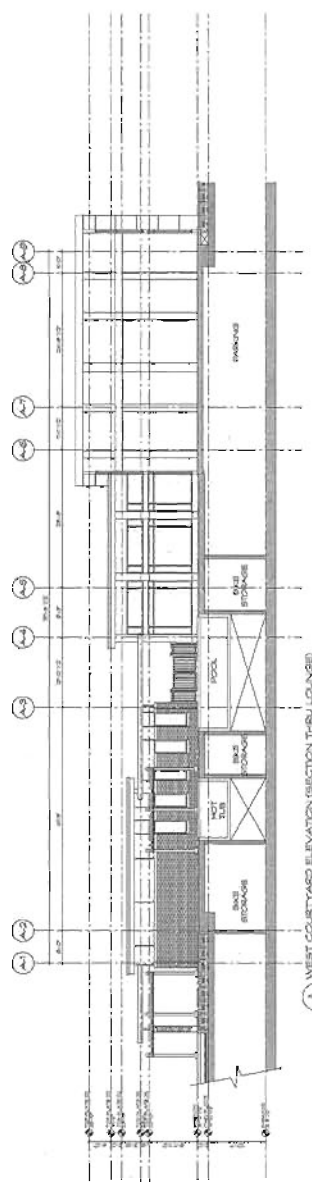
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Date: 10/10/10  
Sheet: A-5.1



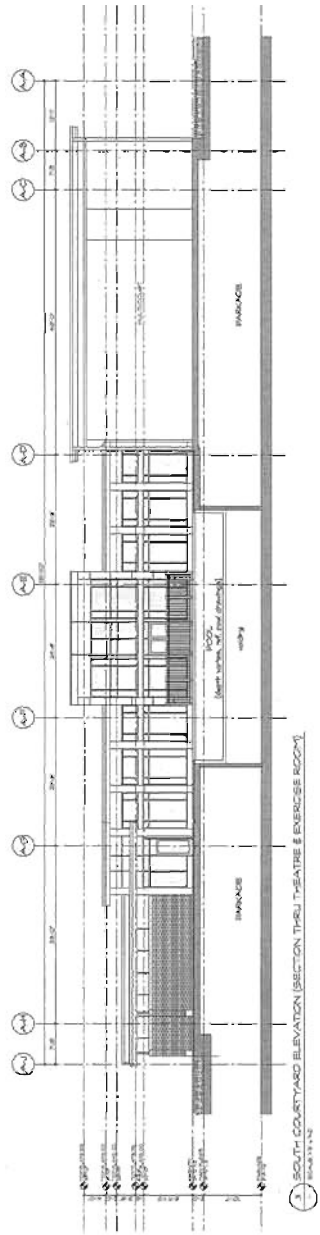
WEST ELEVATION  
SCALE 1/8" = 1'-0"



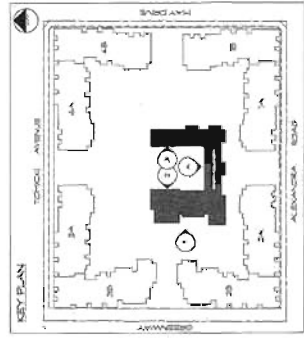
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SCALE 1/8" = 1'-0"



WEST COURTYARD ELEVATION (SECTION THRU LOUNGE)  
SCALE 1/8" = 1'-0"



SOUTH COURTYARD ELEVATION (SECTION THRU THEATRE & EXERCISE ROOM)  
SCALE 1/8" = 1'-0"



DATE	10/1/2011
BY	10/1/2011
CHECKED	10/1/2011
APPROVED	10/1/2011
PROJECT	10/1/2011
CLIENT	10/1/2011
DESIGNER	10/1/2011
CONTRACTOR	10/1/2011
OWNER	10/1/2011

DP 13-631492

Pg. # 51



**RCA**  
Robert C. Anderson Architects Inc.  
200 - 22nd Avenue, Suite 200  
Calgary, Alberta T2C 1Y1  
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www.rcaarchitects.com



**POLYGON**

**ALEXANDRA COURT**  
220 to 240 Alexandra Rd.  
Edmonton, AB T6A 1A1

Project	13-631492
Client	13-631492
Design	13-631492
Contract	13-631492
Owner	13-631492

Sheet	A4.5.2
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**PROJECT INFORMATION**

PROJECT: ALEXANDRA COURT  
 1000 W. 10th Avenue, Suite 100  
 Denver, CO 80202  
 OWNER: POLYGON  
 ARCHITECT: POLYGON  
 ENGINEER: POLYGON

**PROJECT INFORMATION**

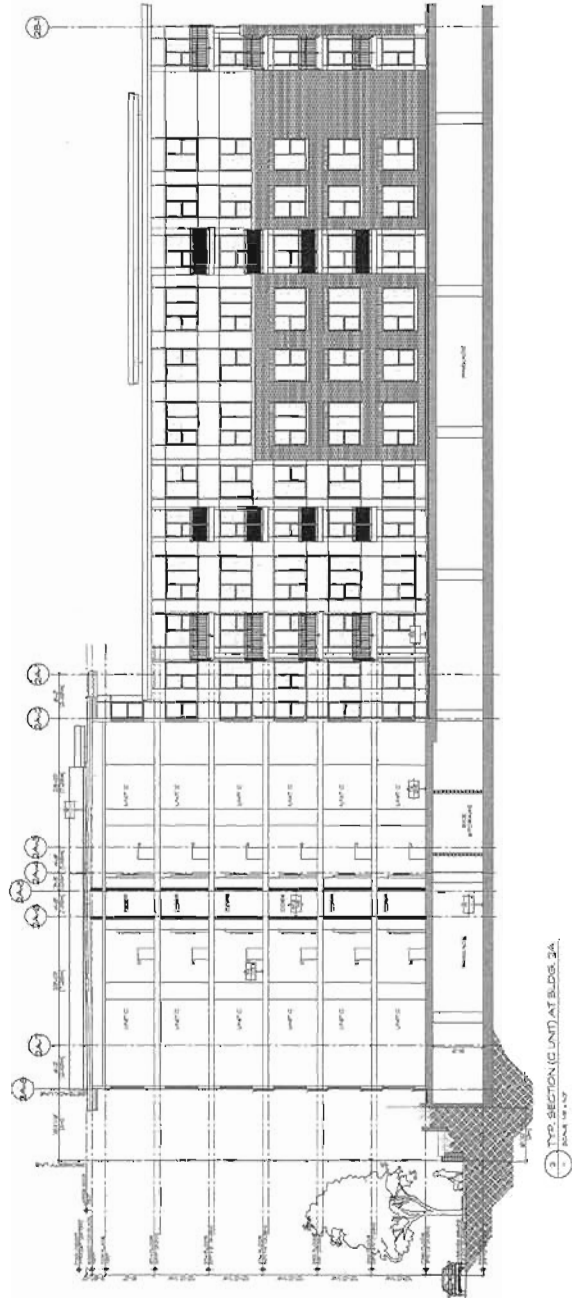
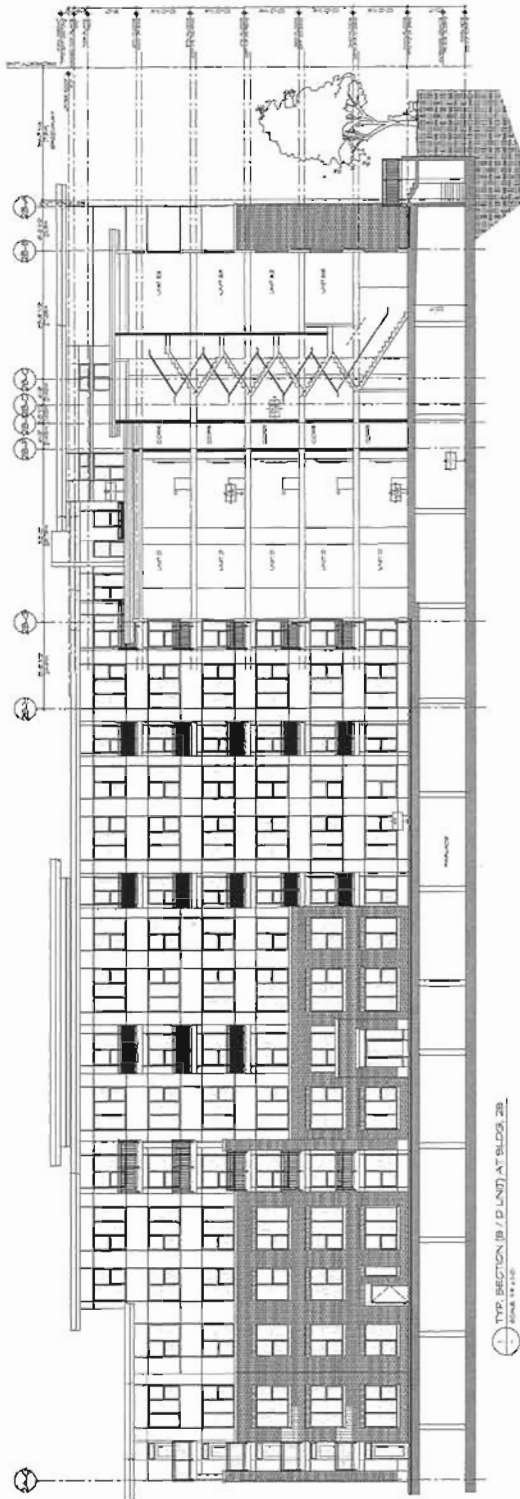
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 1000 W. 10th Avenue, Suite 100  
 Denver, CO 80202  
 OWNER: POLYGON  
 ARCHITECT: POLYGON  
 ENGINEER: POLYGON

**PROJECT INFORMATION**

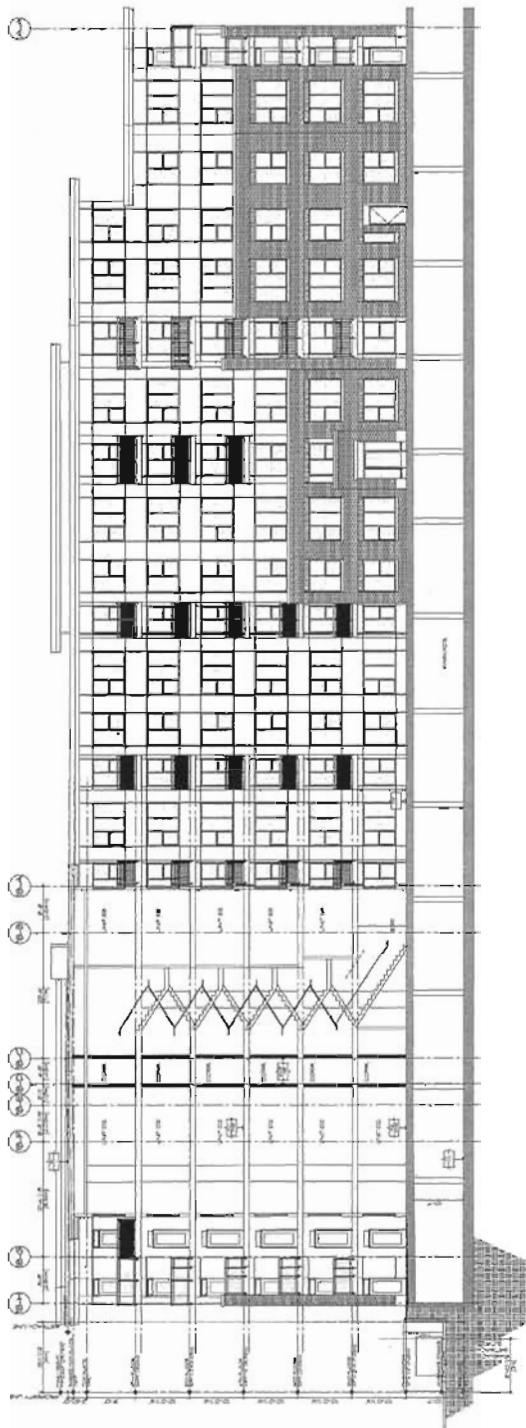
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 1000 W. 10th Avenue, Suite 100  
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 OWNER: POLYGON  
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**PROJECT INFORMATION**

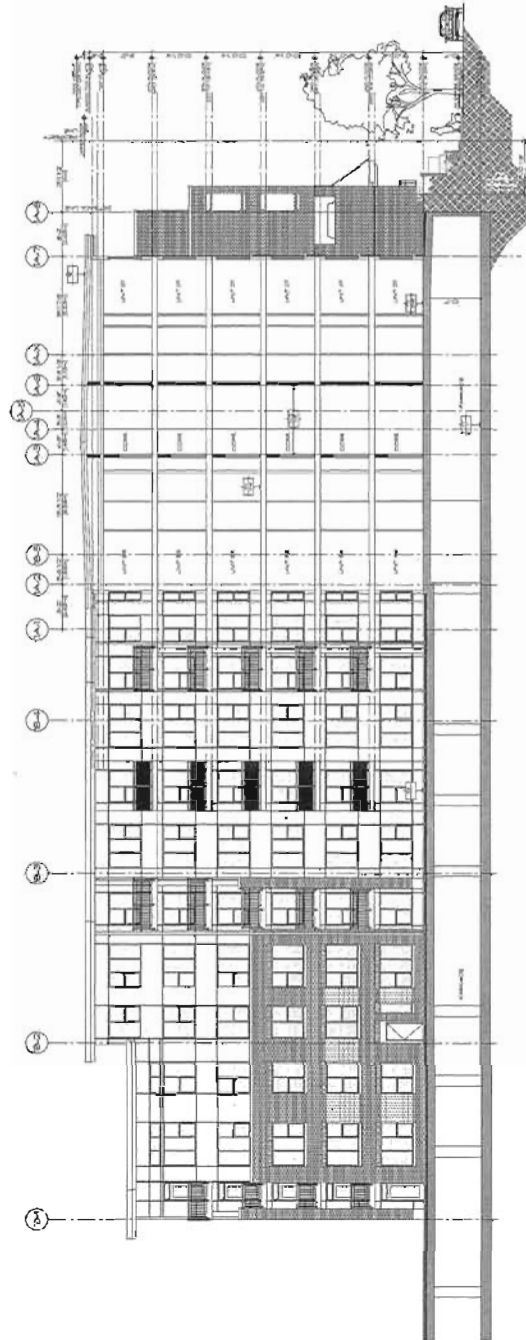
PROJECT: ALEXANDRA COURT  
 1000 W. 10th Avenue, Suite 100  
 Denver, CO 80202  
 OWNER: POLYGON  
 ARCHITECT: POLYGON  
 ENGINEER: POLYGON



DP 13-631492 PC. # 52



1 SECTION UNIT B5 / D2 AT BLOC B  
SCALE 1/8" = 1'-0"



2 TYP. SECTION B08 / D1 UNIT AT BLOC A  
SCALE 1/8" = 1'-0"

PROJECT: ALEXANDRA COURT SHEET: A5.2 DATE: 01/15/2014 DRAWN BY: J. H. HARRIS CHECKED BY: J. H. HARRIS APPROVED BY: J. H. HARRIS	REVISIONS: 1. 01/15/2014 2. 01/15/2014 3. 01/15/2014 4. 01/15/2014 5. 01/15/2014 6. 01/15/2014 7. 01/15/2014 8. 01/15/2014 9. 01/15/2014 10. 01/15/2014
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Vancouver, BC V6C 3K1  
Tel: 604.681.1111  
Fax: 604.681.1112  
www.rcaarchitects.com



**POLYGON**

**ALEXANDRA COURT**  
8771 to 8773 Alexandra Rd.  
Richmond BC

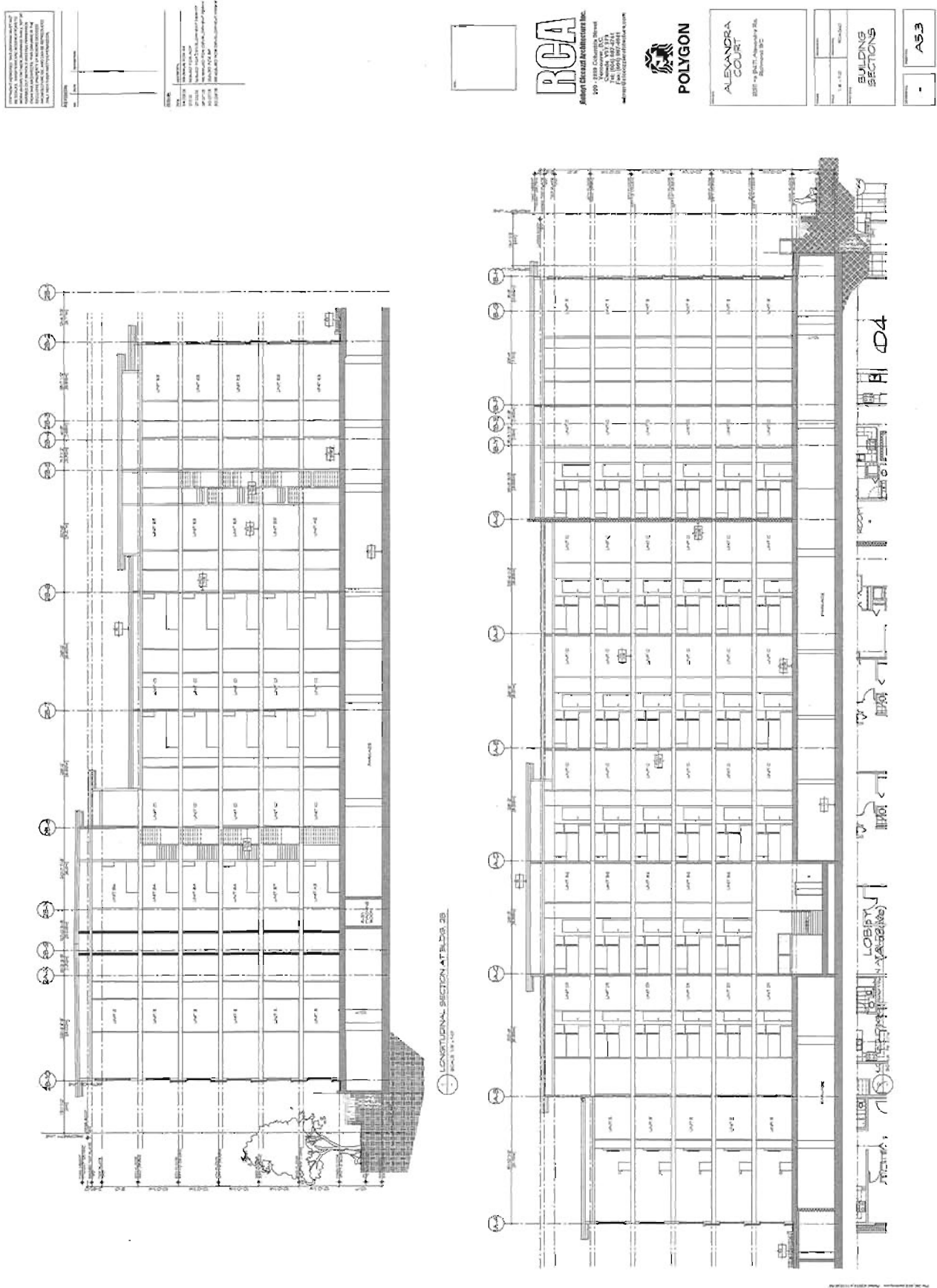
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Project Number	13-631492
Sheet Number	A5.2
Sheet Title	BUILDING SECTIONS

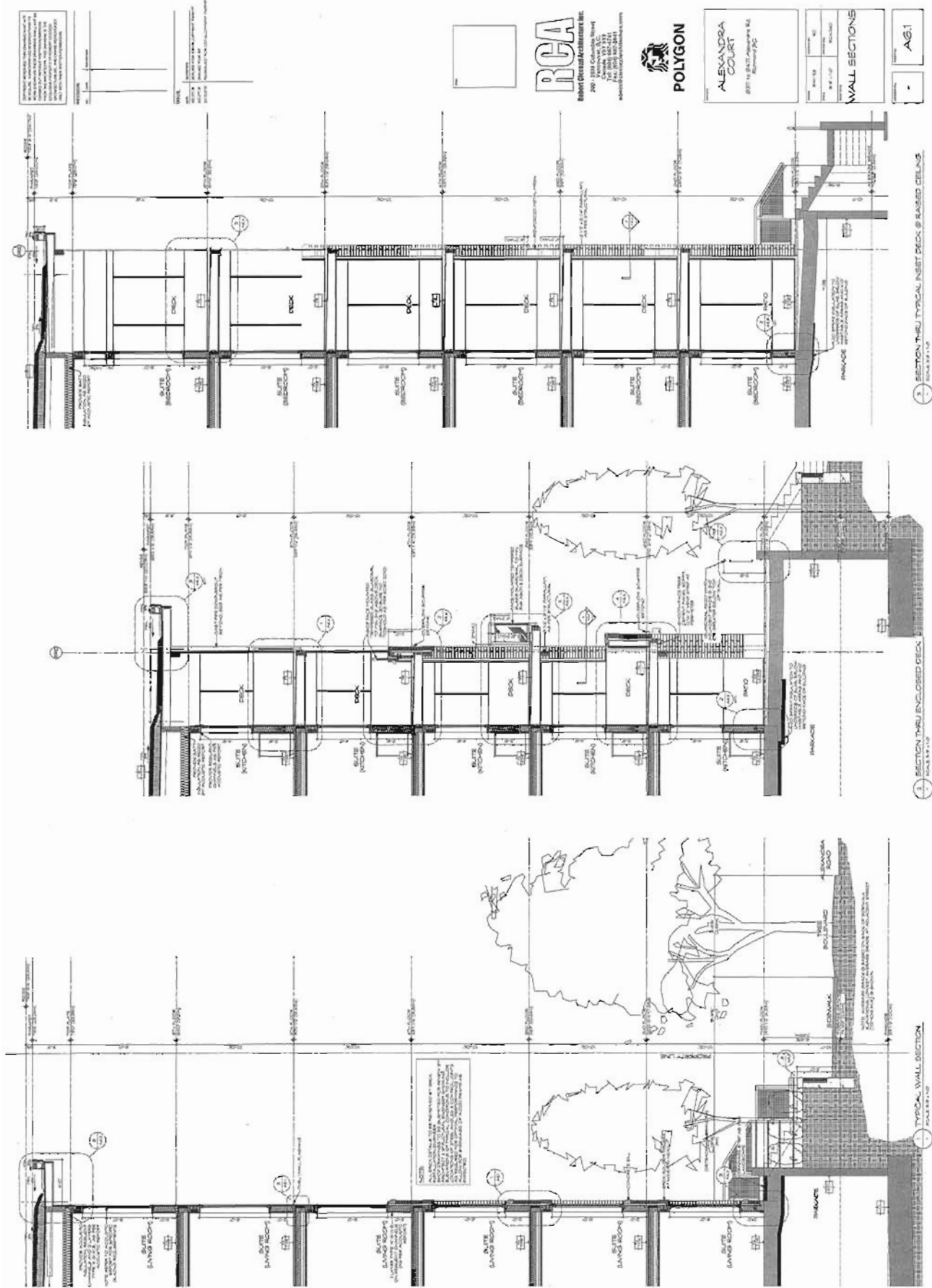
Scale	1/8" = 1'-0"
Author	J. H. HARRIS
Checker	J. H. HARRIS
Approver	J. H. HARRIS

DP 13-631492

Pg. #53





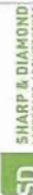






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6	10/10/18	REVISIONS
7	10/10/18	REVISIONS
8	10/10/18	REVISIONS
9	10/10/18	REVISIONS
10	10/10/18	REVISIONS



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**ALEXANDRA WEST**  
RICHMOND, BC

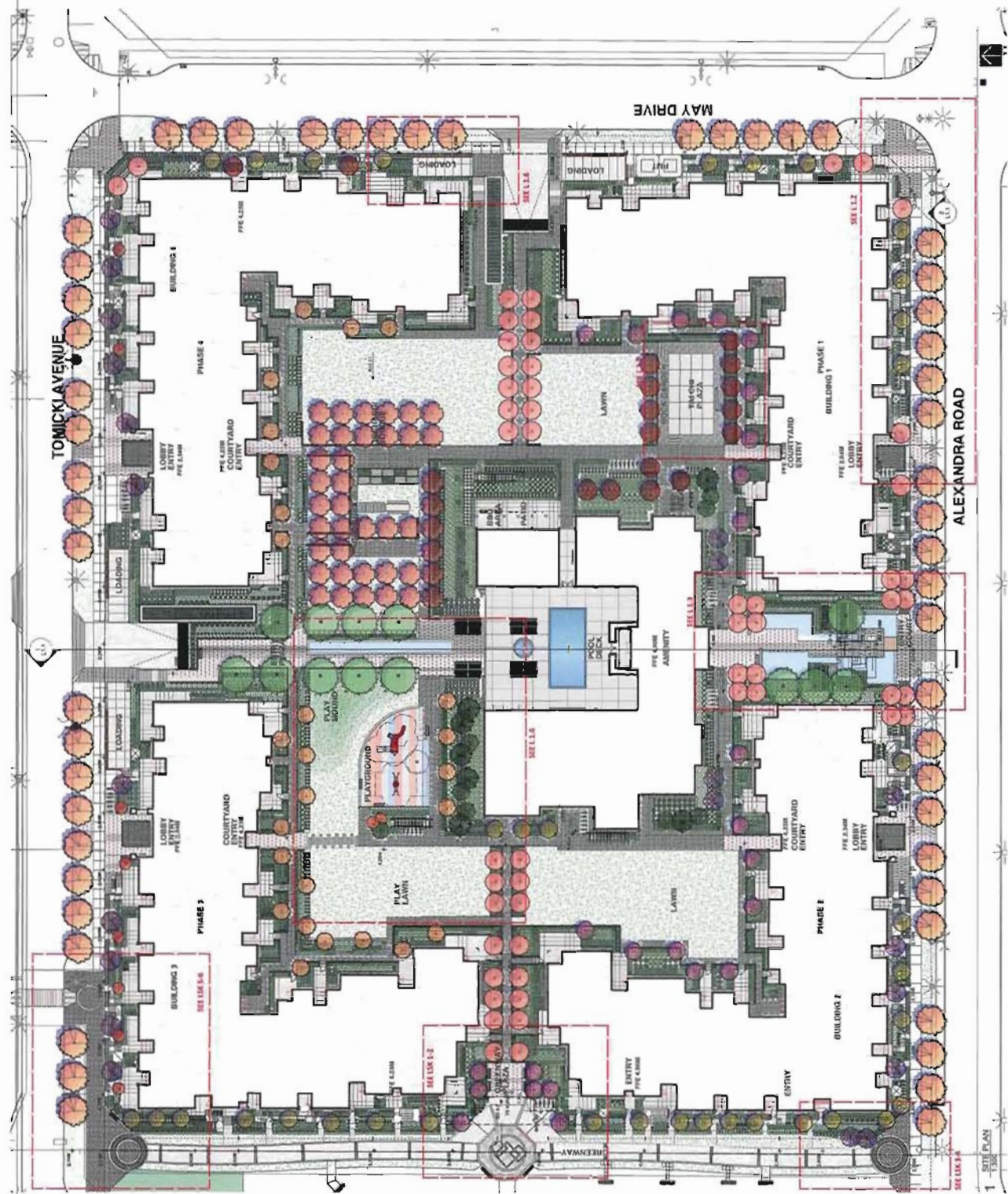


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**LANDSCAPE SITE PLAN**  
SCHEMATIC DESIGN

L1.0

DP 13-631492  
PC. #57






$$2 \quad \frac{\text{ELEVATION TWO}}{1200}$$
[illegible]

**SD** **SHARP & DIAMOND**  
LANDSCAPE ARCHITECTURE  
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P 508 881 3200 F 508 881 3207  
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Canada V5V 3Y3  
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Fax: (604) 637-4541  
www.chevroletcanada.com

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WILKINSON, 1917

[illegible]

## TYPICAL SECTIONS

## L1.1

NOTES:

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2	REVISIONS	DATE	BY	APP'D
3	REVISIONS	DATE	BY	APP'D
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10	REVISIONS	DATE	BY	APP'D

**SD SHARP & DIAMOND**  
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1225 HUNTERS LANE, SUITE 201  
RICHMOND, VA 23131  
TEL: (804) 353-1234 FAX: (804) 353-1237  
WWW.SHARPD.COM

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Robert C. Alexander  
2001 - 2010 Columbia Street  
COLUMBIA, SC 29201  
TEL: (803) 887-4441  
WWW.RCA-SC.COM

**ALEXANDRA WEST**  
RICHMOND, VA

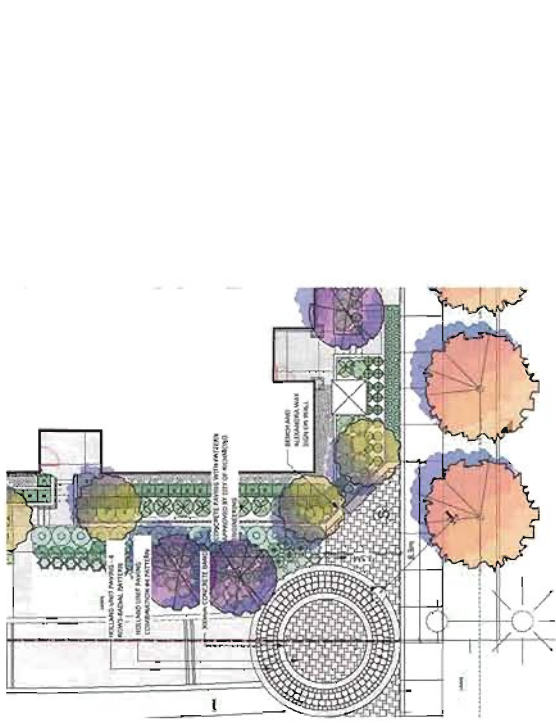
**POLYGON**  
POLYMER CONCRETE  
10000 WOODBRIDGE BLVD  
VALENTIA, CA 94026  
TEL: (415) 435-1122

DATE	11/11/10
SCALE	AS SHOWN
PROJECT	ALEXANDRA WEST
LOCATION	RICHMOND, VA
CLIENT	ALCOHOL & TOBACCO TAX & TRADE BUREAU
DESIGNER	SHARP & DIAMOND
CONTRACTOR	POLYGON
PHASE	PHASE 3
DATE	11/11/10

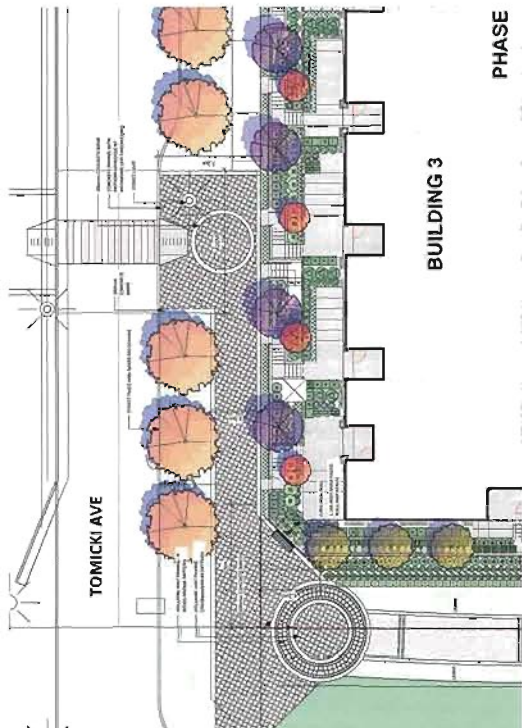
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GREENWAY

L1.10

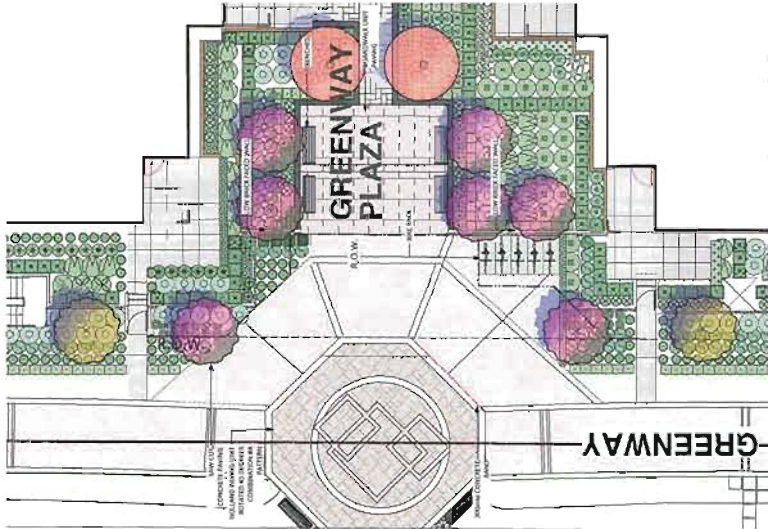
DP 13-631492 Pa. # 59



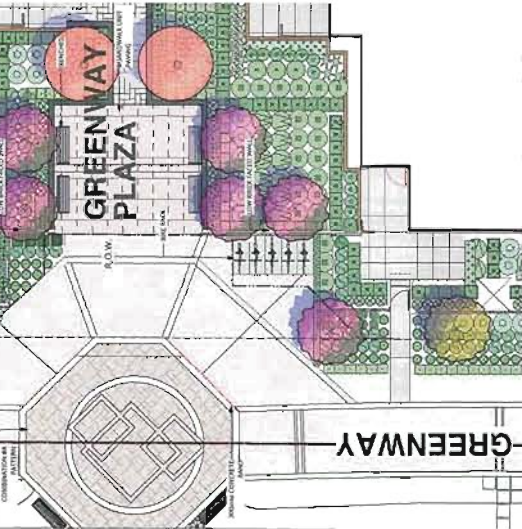
A GREENWAY ENTRY AT ALEXANDRA  
1:100



B GREENWAY PLAZA  
1:100



C GREENWAY ROW AND CONNECTION TO PLAZA  
1:100



D GREENWAY ROW AND CONNECTION TO PLAZA  
1:100

NOTES:

1. SEE SHEET L1.10 FOR GRADING PLAN GREENWAY

2. SEE SHEET L1.12 FOR GRADING PLAN GREENWAY

3. SEE SHEET L1.13 FOR GRADING PLAN GREENWAY

4. SEE SHEET L1.14 FOR GRADING PLAN GREENWAY

5. SEE SHEET L1.15 FOR GRADING PLAN GREENWAY

6. SEE SHEET L1.16 FOR GRADING PLAN GREENWAY

7. SEE SHEET L1.17 FOR GRADING PLAN GREENWAY

8. SEE SHEET L1.18 FOR GRADING PLAN GREENWAY

9. SEE SHEET L1.19 FOR GRADING PLAN GREENWAY

10. SEE SHEET L1.20 FOR GRADING PLAN GREENWAY

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LANDSCAPE ARCHITECTURE  
2225 HUNTER ST., VANCOUVER, BC, V6K 1P1  
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WWW.SHARPDANDIAMOND.COM

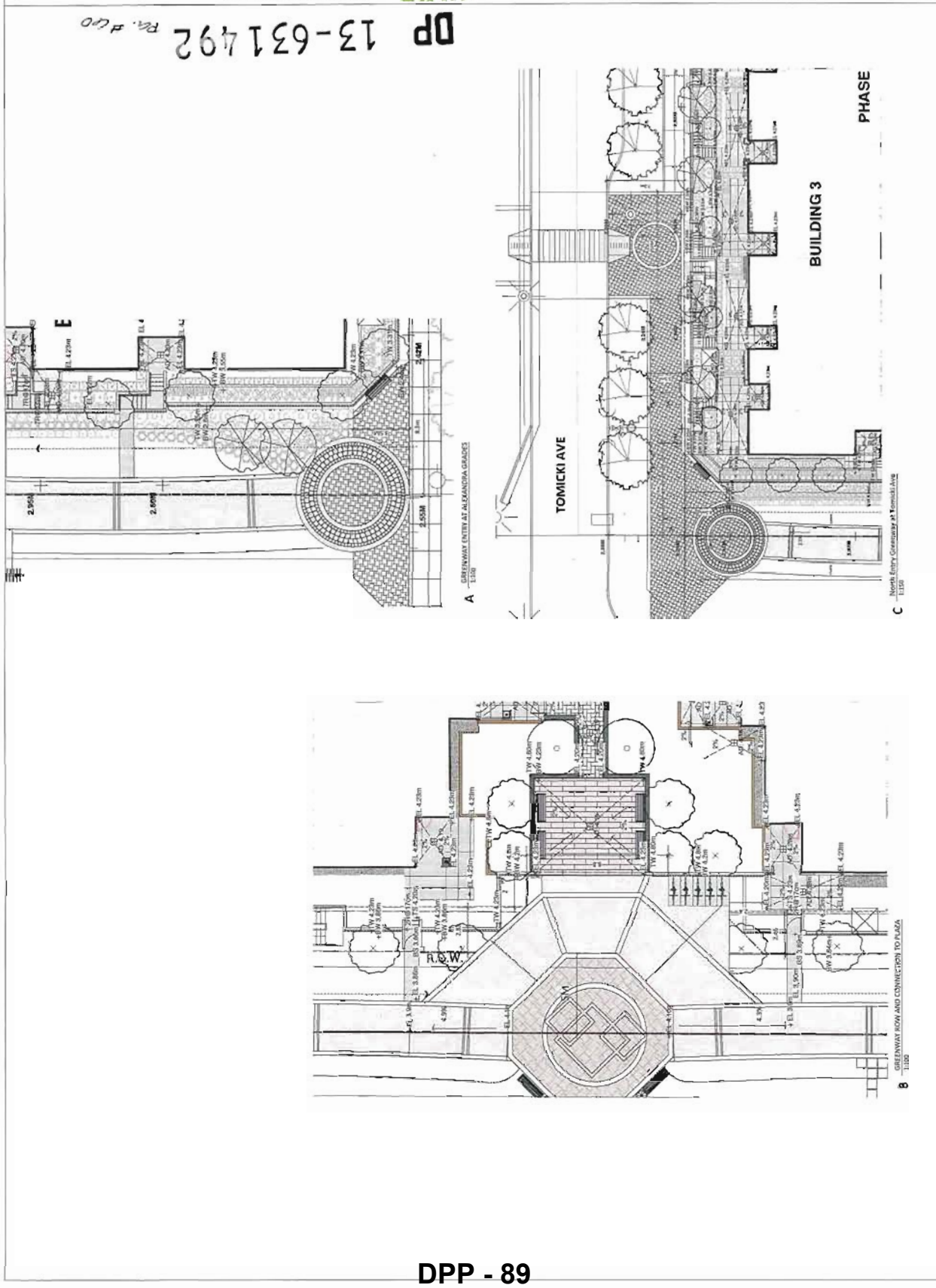
**RCA**  
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Vancouver, BC, V6K 1P1  
TEL: (604) 681-4441  
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RICHMOND, BC

**POLYGON**  
POLYMER WALL SYSTEMS  
VANCOUVER, BC, V6K 1P1  
TEL: (604) 681-1237

**GRADING PLANS GREENWAY**

**L1.11**









Index	Author	Year	Journal
1	Smith, J. D.	1995	Journal of Management Education
2	Johnson, M. A.	1998	Journal of Management Education
3	Williams, K. L.	2001	Journal of Management Education
4	Miller, R. S.	2003	Journal of Management Education
5	Clark, P. H.	2005	Journal of Management Education
6	Green, E. J.	2007	Journal of Management Education
7	White, L. A.	2009	Journal of Management Education
8	Black, D. C.	2011	Journal of Management Education
9	Gray, C. R.	2013	Journal of Management Education
10	King, N. B.	2015	Journal of Management Education
11	Lee, S. H.	2017	Journal of Management Education
12	Kim, J. H.	2019	Journal of Management Education
13	Chen, Y. L.	2021	Journal of Management Education
14	Wang, X. M.	2023	Journal of Management Education
15	Li, Z. Q.	2025	Journal of Management Education

**D** SHARP & DIAMOND  
LANDSCAPE ARCHITECTURE  
1155 Hamilton St., Vancouver BC, V6M 2V3  
604.681.2328 / 604.681.3307

PCA

**Robert Eccleson Architecture Inc.**  
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Vancouver, B.C.  
Canada V5V 3T3  
Tel: (604) 687-4748  
Fax: (604) 687-4663  
admin@robteccolarchitects.com

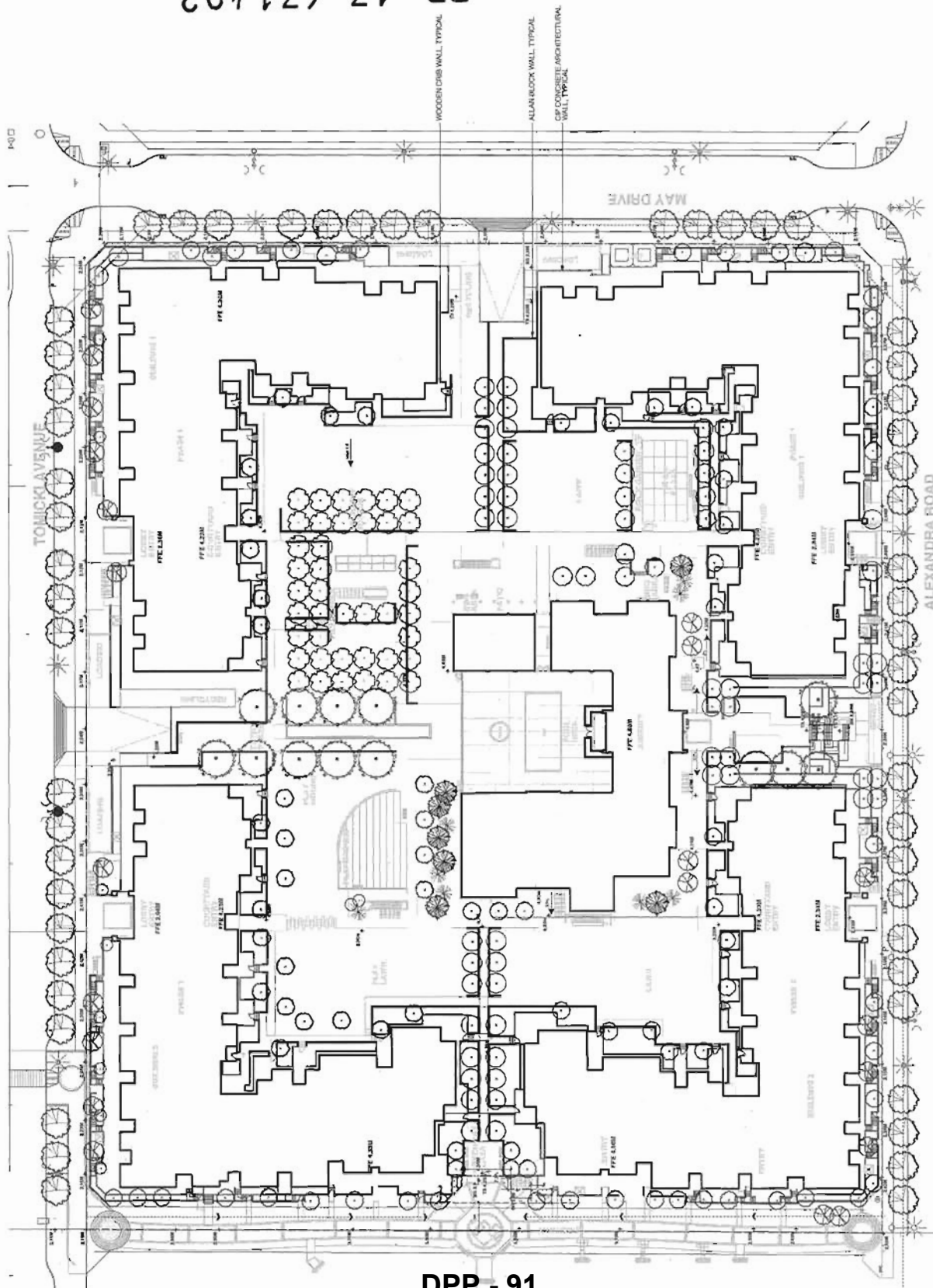
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VICTORIA, BC

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# PRELIMINARY GRADING AND WALL PLAN

## L1.13

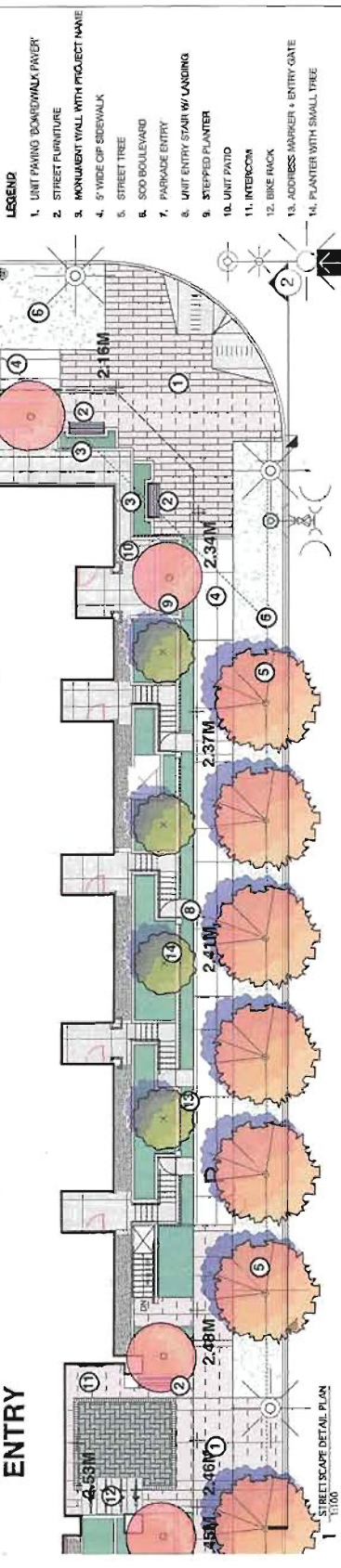
DP 13-631492 PC #62



## DPP - 91



NOTES:



DP 13-631492



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Robert C. Anderson  
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RICHMOND BC

**POLYGON**  
POLYGONALITY LANDSCAPE ARCHITECTS  
VANCOUVER BC V6V 1K2

NO.	DATE	DESCRIPTION
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20	2017.07.12	ISSUED FOR PERMIT

LOBBY + STREETSCAPE  
TYPICAL

L1.2





NOTES:

1	ENTRY PLAZA	10	BENCH
2	FEATURE WALL	11	ALLAN BLOCK WALL
3	REFLECTING POOL	12	CRIB WALLS
4	WATERFALL	13	CIP CONCRETE EDGE
5	ENTRY STAIR		
6	STONE ENTRY BRIDGE		
7	ENTRY COURT		
8	PLAZA TREES		
9	FEATURE PLANTER WALL		

**SD SHARP & DIAMOND**  
LANDSCAPE ARCHITECTS  
2220 Burnside St., Vancouver BC V6H 7Y1  
Tel: (604) 681-1887  
www.sharpdiamond.com

**RCA**  
Robert Choe Architect Inc.  
200 - 2330 Columbia Street  
Vancouver BC V6H 3Y3  
Tel: (604) 681-1887  
www.rca-architect.com

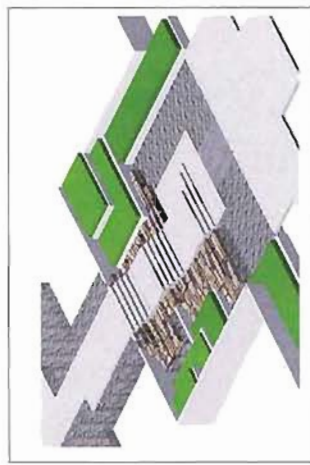
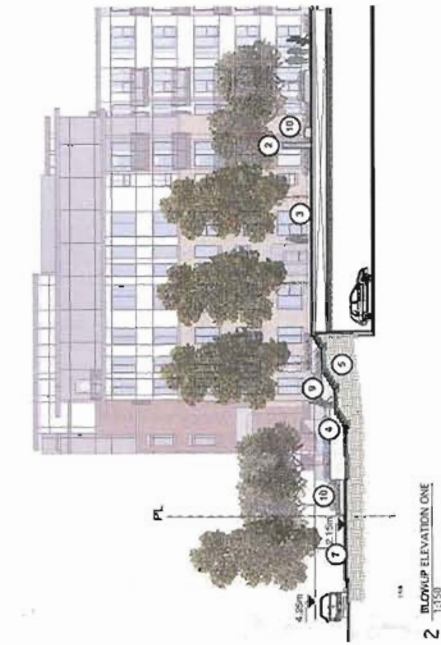
**ALEXANDRA WEST**  
RICHMOND, BC

**POLYGON**  
PRELIMINARY ENTRY  
COURT / PLAZA DETAIL  
ENTRY PLAZA PLAN

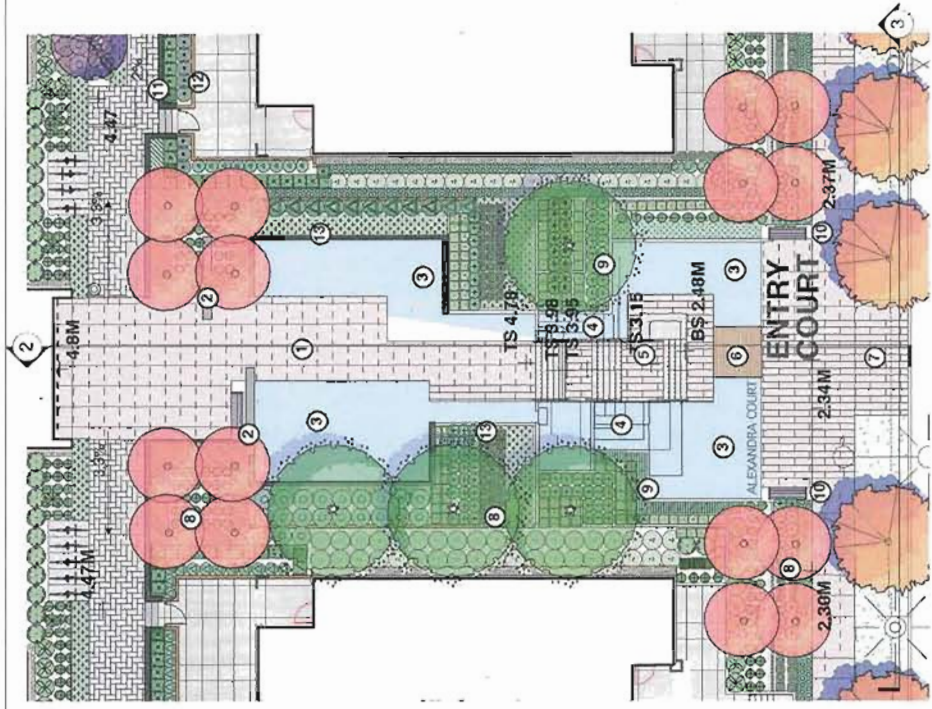
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BY	SD
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DATE	11/10
BY	SD
CHECKED	SD

L1.3

DP 13-631492 PL.#CS



- LEGEND**
1. ENTRY PLAZA
  2. FEATURE WALL
  3. REFLECTING POOL
  4. WATERFALL
  5. ENTRY STAIR
  6. STONE ENTRY BRIDGE
  7. ENTRY COURT
  8. PLAZA TREES
  9. FEATURE PLANTER WALL
  10. BENCH
  11. ALLAN BLOCK WALL
  12. CRIB WALLS
  13. CIP CONCRETE EDGE



NOTES:

1	GRASS PLAY BERM
2	DOODLE SWING
3	MULTICOLOUR FALL PROTECTION SURFACING
4	PLAY STRUCTURE
5	UNIT PAVING PLAZA
6	SPRINKLER
7	BENCHES
8	FLUSH CONCRETE EDGE
9	WATER FEATURE
10	FEATURE PLANTING
11	PARADE ENTRY WITH TRELLIS
12	UNIT ENTRY & PATIO
13	AUXILIARY ENTRY
14	TRELLIS AND BENCHES
15	LAWN
16	BUFFER PLANTING
17	CIP CONCRETE POOL DECK WITH PERIM. FENCE
18	RAISED PLANTER
19	ALLAN BLOCK WALLS
20	CHSB WALLS
21	47' FENCE
22	SLAB STEPPING STONES

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2007 - 2038 Columbia Street  
Richmond, BC V6V 1Y1  
Tel: (604) 273-4411  
www.sharpsdiamond.com

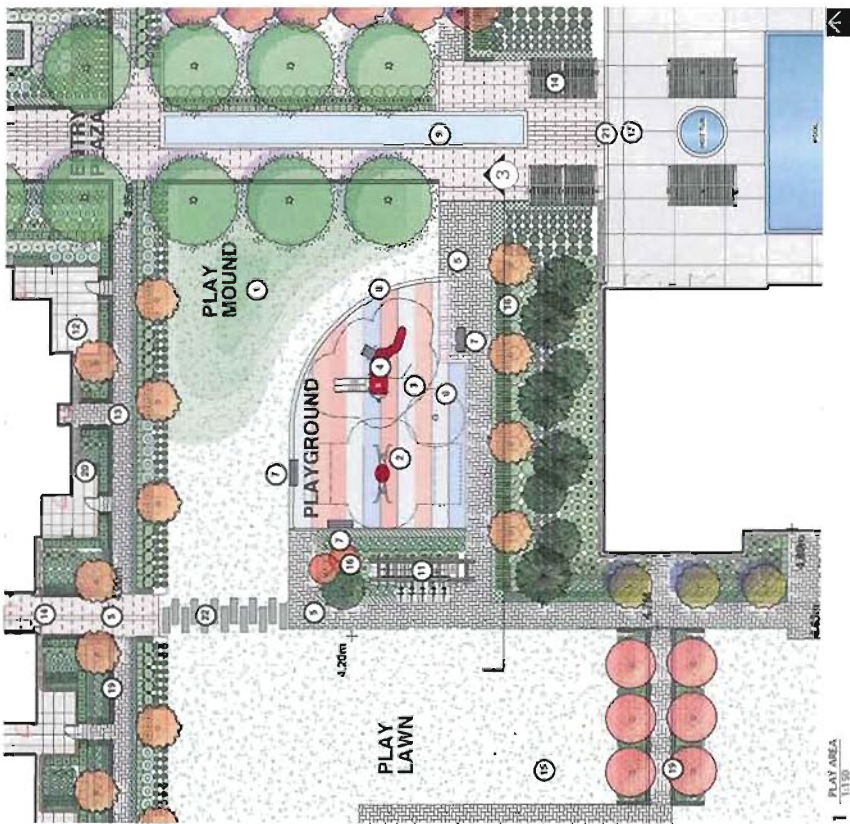
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Richmond, BC V6V 1Y1  
Tel: (604) 273-4411  
www.rcaarchitects.com

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**POLYGON**  
Paving & Concrete Solutions  
2007 - 2038 Columbia Street  
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Tel: (604) 273-4411  
www.polygonpaving.com

**PLAY AREA PLAN**

**L1.4**



**DPP - 95**

DP 13-631492



**3 BLOWUP ELEVATION TWO**  
1/150

**LEGEND**

- 1. GRASS PLAY BERM
- 2. DOODLE SWING
- 3. MULTICOLOUR FALL PROTECTION SURFACING
- 4. PLAY STRUCTURE
- 5. UNIT PAVING PLAZA
- 6. SPRINKLER
- 7. BENCHES
- 8. FLUSH CONCRETE EDGE
- 9. WATER FEATURE
- 10. FEATURE PLANTING
- 11. PARADE ENTRY WITH TRELLIS
- 12. UNIT ENTRY & PATIO
- 13. AUXILIARY ENTRY
- 14. TRELLIS AND BENCHES
- 15. LAWN
- 16. BUFFER PLANTING
- 17. CIP CONCRETE POOL DECK WITH PERIM. FENCE
- 18. RAISED PLANTER
- 19. ALLAN BLOCK WALLS
- 20. CHSB WALLS
- 21. 47' FENCE
- 22. SLAB STEPPING STONES



**Landscape Structures Play Structure**  
with slides and climber



**Landscape Structures**  
Oodles Swing





NOTES:

1	ENTRY PLAZA	4.35M
2	WATER FEATURE	4.20M
3	ORCHARD / BOSQUE	4.20M
4	PICNIC AREA	4.20M
5	UNIT PATIO	4.20M
6	UNIT PATIO	4.20M
7	UNIT PATIO	4.20M
8	UNIT PATIO	4.20M
9	UNIT PATIO	4.20M
10	UNIT PATIO	4.20M
11	UNIT PATIO	4.20M
12	UNIT PATIO	4.20M
13	UNIT PATIO	4.20M
14	UNIT PATIO	4.20M

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2500 Bayview Ave., Suite 200, Richmond, BC V6X 2E1  
Tel: (604) 271-1111  
www.sharpanddiamond.com

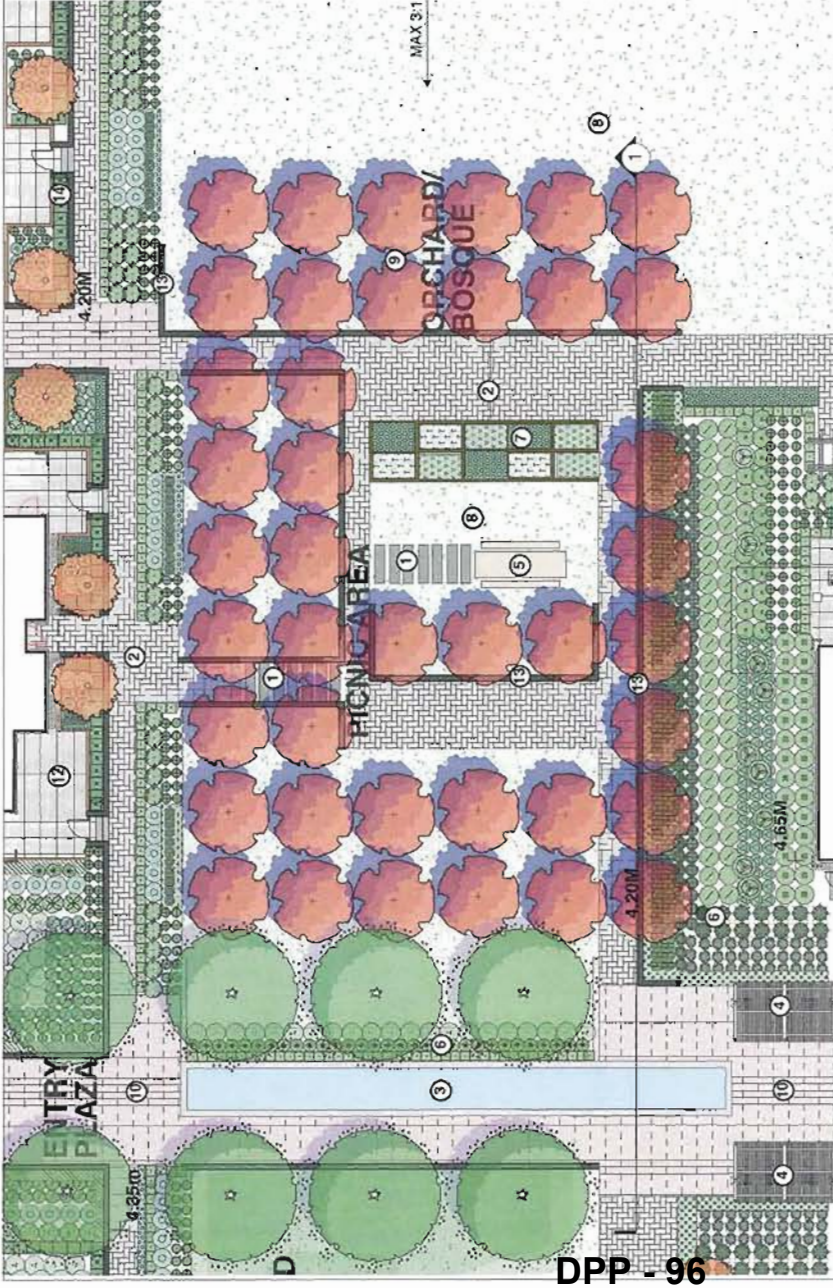
**RCA**  
Robert Carroll Architects Inc.  
200 - 2390 Columbia Street  
Vancouver, BC V6J 1Y7  
Canada Tel: (604) 271-1111  
Fax: (604) 271-1111  
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**POLYGON**  
POLYMER CONCRETE SLABS  
VANCOUVER, BC  
Tel: (604) 271-1111  
www.polygon-slabs.com

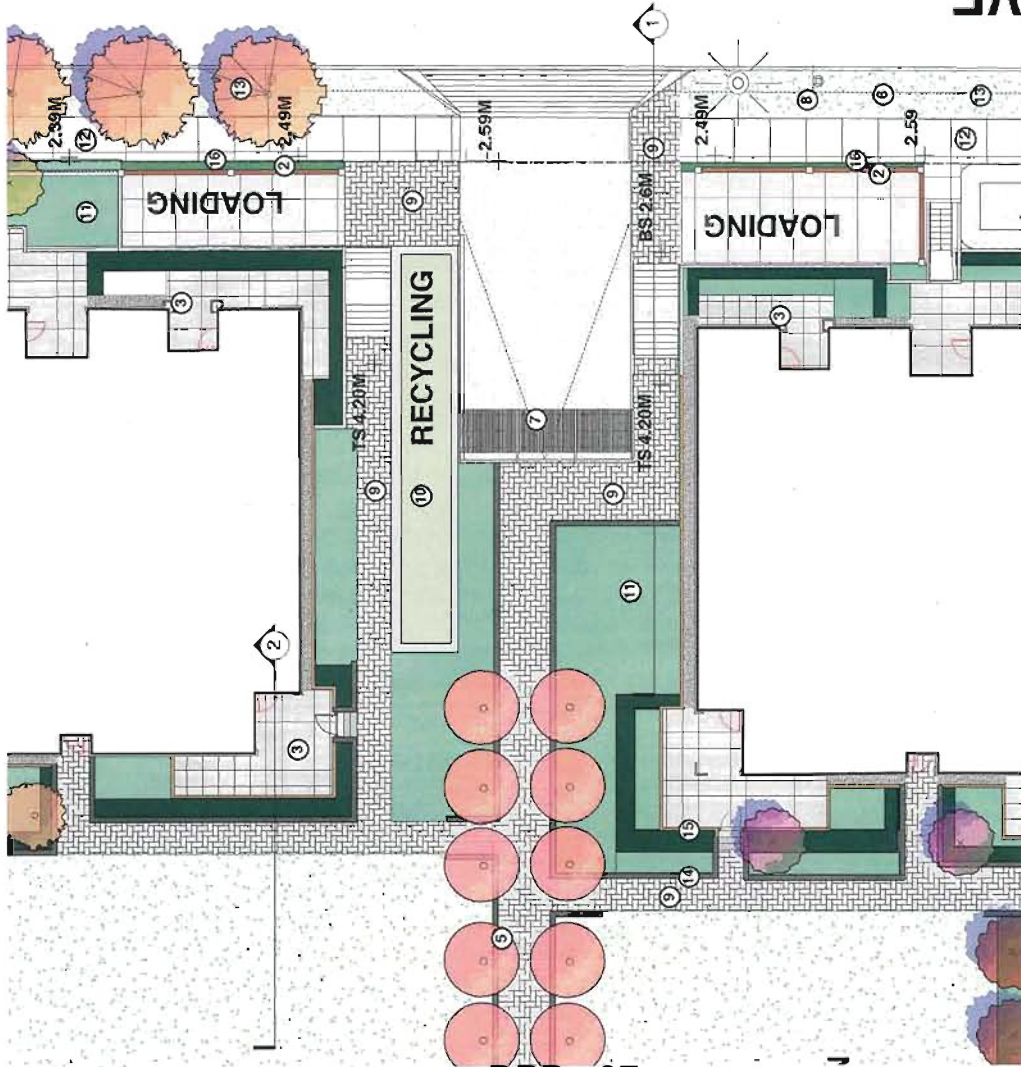
**ORCHARD / PICNIC PLAN**

**L1.5**

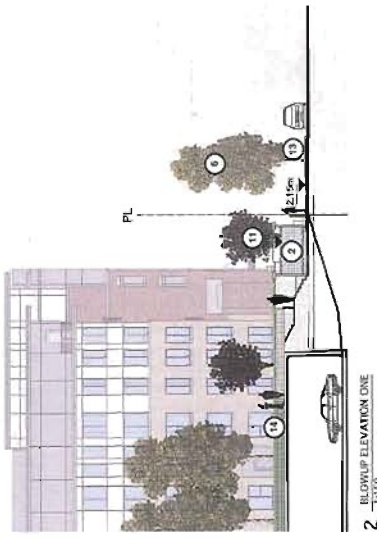


- LEGEND:**
1. PRECAST CONCRETE SLABS
  2. UNIT PAVEMENT
  3. REFLECTION POOL
  4. TRELLIS AND BENCHES
  5. BANQUET TABLE
  6. BUFFER PLANTING
  7. URBAN AGRICULTURE PLANTERS
  8. LAWN
  9. FRUIT TREE BOSQUE
  10. UNIT PAVING BOARDWALK PAVEMENT
  11. LOBBY
  12. UNIT PATIO
  13. ALLIUM BLOCK WALLS
  14. CRIB WALLS

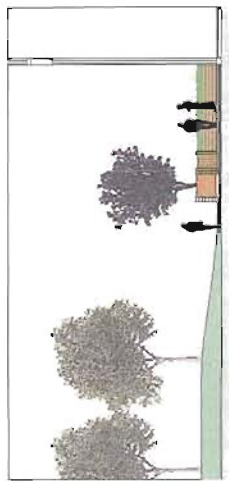




1 TYPICAL LOADING BAY  
1/100



2 BLOWUP ELEVATION ONE  
1/150



2 TYPICAL PATIO ENTRIES  
1/100

- LEGEND**
- 1. LOADING ZONE
  - 2. LOADING SCREEN
  - 3. UNIT PATIO
  - 4. SITE FURNISHINGS
  - 5. ALLIÉ
  - 6. STREET TREE
  - 7. PARKADE ENTRY WITH TRELLIS
  - 8. LAWN
  - 9. UNIT PAVEMENT
  - 10. RECYCLING WITH GREEN ROOF
  - 11. PLANTERS
  - 12. 5' SIDEWALK
  - 13. BOULEVARD STRIP
  - 14. ALLAN BLOCK WALLS
  - 15. CRIB WALLS
  - 16. PLANTING STRIP

TYPICAL PATIOLOADING

L1.6

NOTES:



1	LOADING ZONE	16	PLANTING STRIP
2	LOADING SCREEN	17	
3	UNIT PATIO	18	
4	SITE FURNISHINGS	19	
5	ALLIÉ	20	
6	STREET TREE	21	
7	PARKADE ENTRY WITH TRELLIS	22	
8	LAWN	23	
9	UNIT PAVEMENT	24	
10	RECYCLING WITH GREEN ROOF	25	
11	PLANTERS	26	
12	5' SIDEWALK	27	
13	BOULEVARD STRIP	28	
14	ALLAN BLOCK WALLS	29	
15	CRIB WALLS	30	

**SD SHARP & DIAMOND**  
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200-2005 Columbia Street  
Vancouver BC V6J 1Y1  
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Fax: (604) 682-2444  
admin@robertcarrollarchitects.com

**ALEXANDRA WEST**  
RICHMOND BC

**POLYGON**  
PRECAST/CAST IN PLACE CONCRETE  
VOLUME 1 OF 1  
DATE: 10/11/2010

DATE	10/11/2010
BY	AL
CHECKED	AL
DATE	10/11/2010
BY	AL
CHECKED	AL
DATE	10/11/2010
BY	AL
CHECKED	AL

NOTES:

1	PRECAST CONCRETE SLABS
2	UNIT PAVEMENT
3	CONCRETE PAD
4	ROCK SLAB
5	ROCK GARDEN
6	LAWN
7	BOARDWALK UNIT PAVING
8	UNIT PATIOS
9	ORNAMENTAL BOSCUE
10	ALLIAN BLOCK WALLS
11	CHIB WALLS

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LANDSCAPE ARCHITECTURE  
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V6V 1Y3  
Vancouver, BC  
Tel: (604) 271-1111  
Fax: (604) 271-1112  
www.sharpanddiamond.com

**RCA**  
Robert C. Anderson  
2000 - 2030 Columbia Street  
Vancouver, BC V6J 1A1  
Canada  
Tel: (604) 681-1111  
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www.rca-landscape.com

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RICHMOND, BC

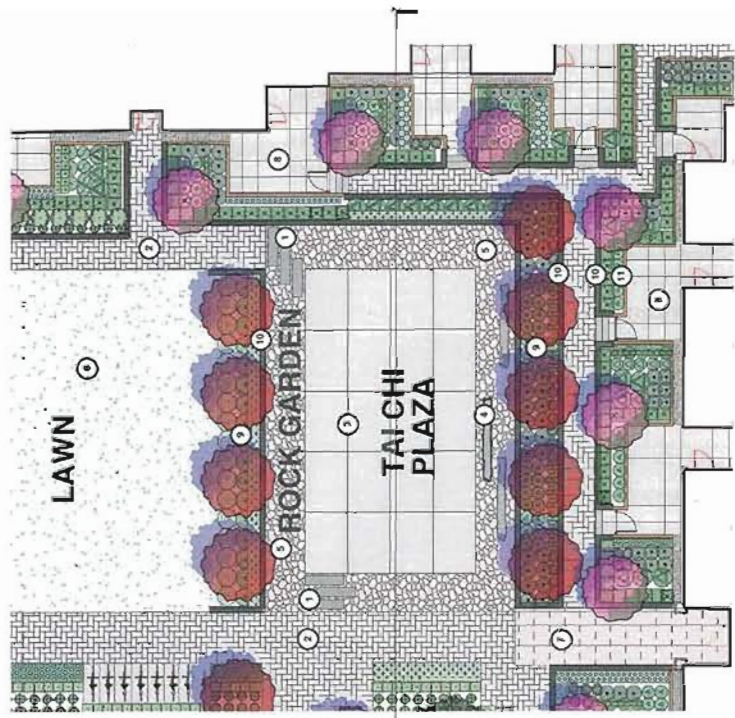
**POLYGON**  
POLYMER CONCRETE  
1000 - 10000  
Tel: (604) 271-1111  
Fax: (604) 271-1112  
www.polygon-polymer.com

TAI CHI

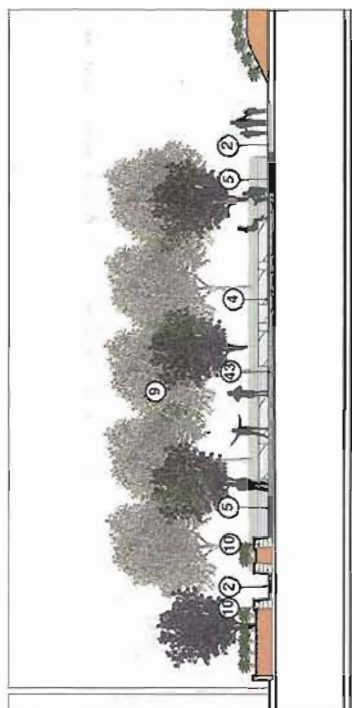
L1.7



- LEGEND**
- 1. PRECAST CONCRETE SLABS
  - 2. UNIT PAVEMENT
  - 3. CONCRETE PAD
  - 4. ROCK SLAB
  - 5. ROCK GARDEN
  - 6. LAWN
  - 7. BOARDWALK UNIT PAVING
  - 8. UNIT PATIOS
  - 9. ORNAMENTAL BOSCUE
  - 10. ALLIAN BLOCK WALLS
  - 11. CHIB WALLS



1 BOSQUE AND ORCHARD PLANTING AREA  
1:100



2 TAI CHI PLAZA ELEVATIONS  
1:100



[illegible]

**SHARP & DIAMOND**  
LANDSCAPE ARCHITECTURE

3250 Hambrick St., Vancouver BC, V6M 2V3  
T 604 682 3205 F 604 681 3207

RCA

**Robert Duncan Architecture Inc.**  
200 - 2039 Columbia Street  
Vancouver, B.C.  
Canada V6J 3Y3  
Tel: (604) 687-4741  
Fax: (604) 687-4941  
edwin@robertduncanarchitect.com

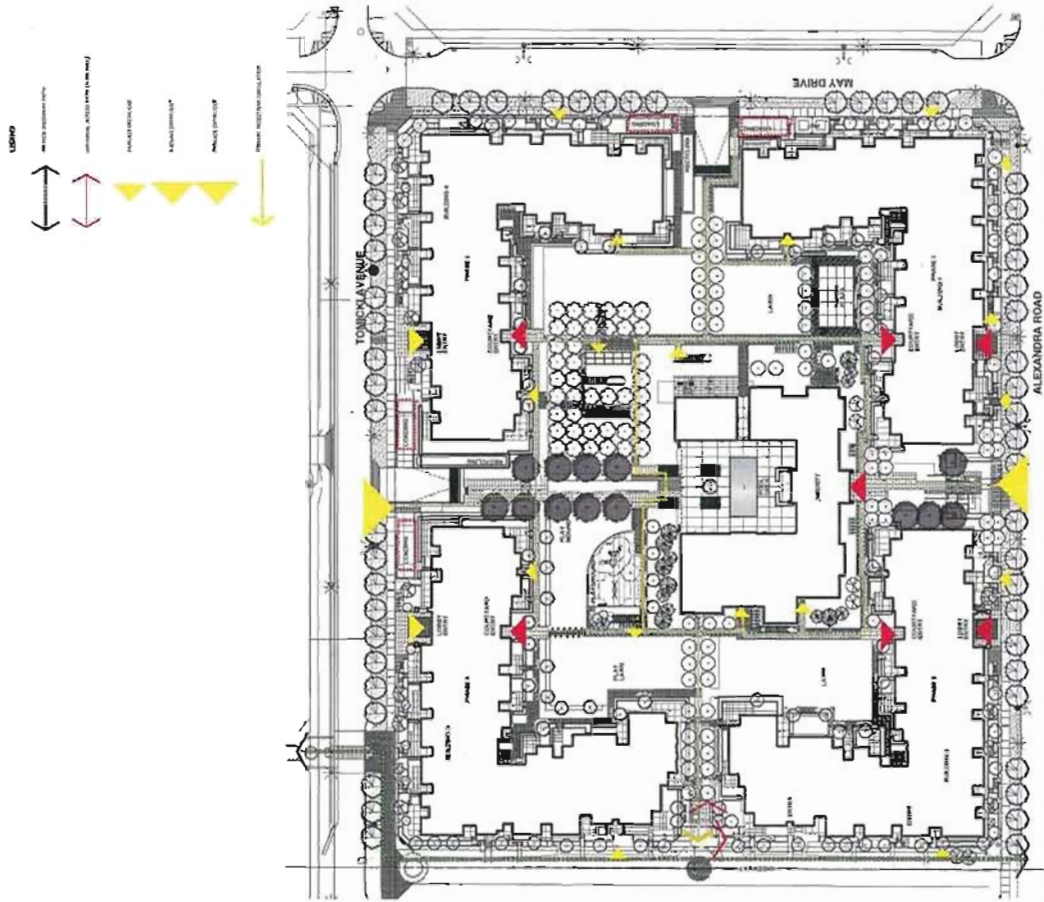
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**POLYGON**  
POLYMER DEVELOPMENT, INC. LTD.  
800-430-9333 WEST HARTFORD, CT

## CPTED + OPEN SPACE DIAGRAMS

## L1.8





NOTES:

1	PRECAST CONCRETE SLAB
2	PEDESTRIAN PAVEMENT (TYPE 2 - FEATURE WALKS)
3	CIP CONCRETE SIDEWALK
4	PATIO SLAB PAVEMENT
5	PEDESTRIAN UNIT PAVEMENT (TYPE 1 - WALKWAYS)
6	TRELLIS AND SCREEN WITH PLANTING STRIP
7	BACKLESS BENCH - MAGLIN
8	BIKE RACK - MAGLIN

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2280 FRENCH BLVD. VANCOUVER, BC, V6M 2P5  
TEL: (604) 681-1887  
WWW.SHARPDANDIAMOND.COM

**RCA**  
RICHMOND CONCRETE ASSOCIATION  
200 - 2120 COLUMBIA STREET  
RICHMOND, BC, V6V 1K5  
TEL: (604) 271-4444  
WWW.RCA-BC.COM

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RICHMOND, BC



DATE	10/10/2018
BY	ALW
CHKD	ALW
APPD	ALW
DATE	10/10/2018
BY	ALW
CHKD	ALW
APPD	ALW

HARDSCAPE IMAGES

L1.9



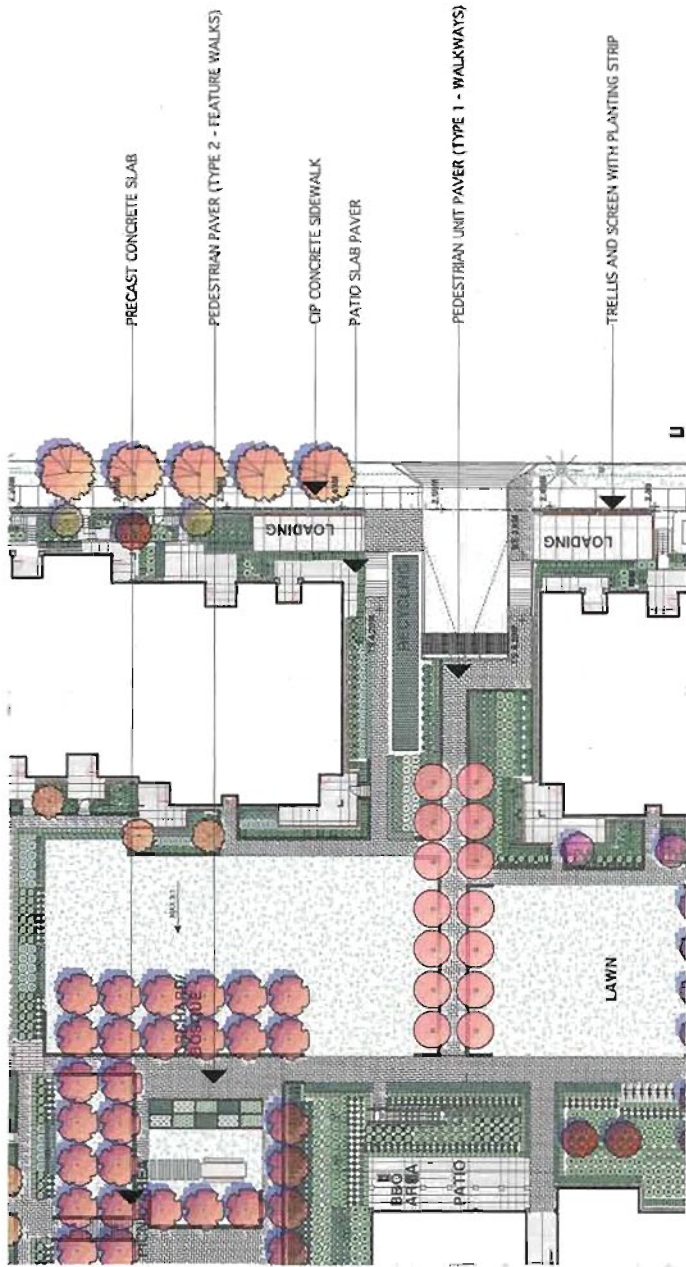
CONCRETE SEATWALL WITH TIMBER BENCH



BACKLESS BENCH - MAGLIN



BIKE RACK - MAGLIN



1 - 10/10/2018



PRECAST CONCRETE SLAB



PATIO SLAB PAVERS  
12" X 12" GRID PATTERN



PEDESTRIAN PAVEMENT TYPE 2  
BARKMAN BOARDWALK PAVEMENT  
RUNNING BOND PATTERN



PEDESTRIAN PAVEMENT TYPE 1  
BARKMAN HOLLAND PAVEMENT  
HERRINGBONE PATTERN

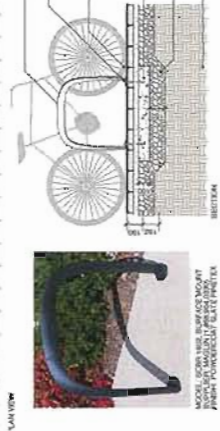
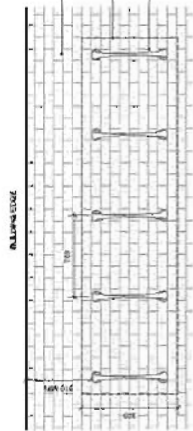








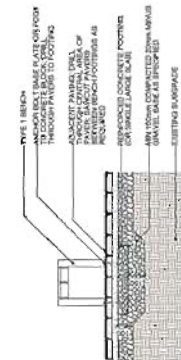
1 BENCH TYPE 1, TYPICAL  
SCALE 1:20



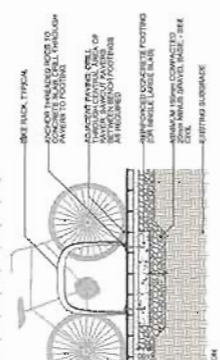
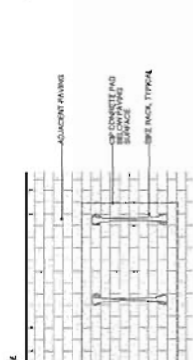
2 BIKE RACK, TYPICAL  
SCALE 1:20



3 TRASH RECEPTACLE, TYPICAL  
SCALE 1:20



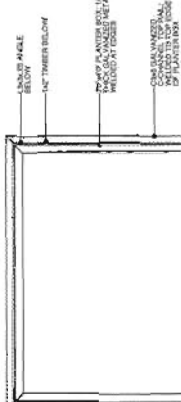
4 BENCH TYPE 1, TYPICAL  
SCALE 1:20



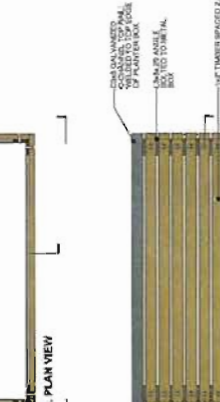
5 CIP CONCRETE STAIR WITH HANDRAIL  
SCALE 1:20



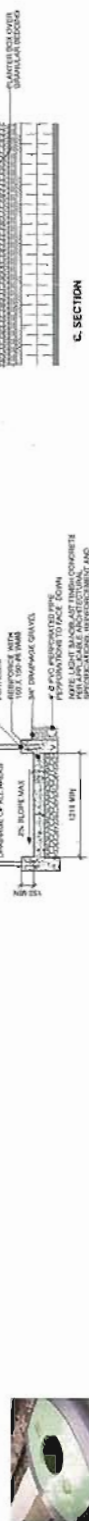
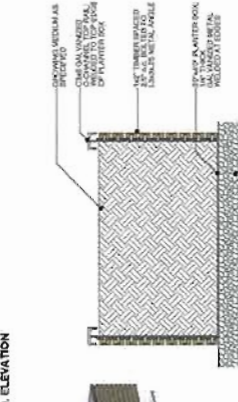
6 CIP CONCRETE RAMP  
SCALE 1:20



7 GARDEN PLANTER / COMPOST  
SCALE 1:10



8 BIKE RACK, TYPICAL  
SCALE 1:20



9 CIP CONCRETE RAMP  
SCALE 1:20

NOTES:

1. ALL DIMENSIONS ARE IN FEET AND INCHES.
2. ALL MATERIALS ARE TO BE SUPPLIED BY THE CONTRACTOR.
3. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF RICHMOND SPECIFICATIONS.
4. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF RICHMOND SPECIFICATIONS.
5. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF RICHMOND SPECIFICATIONS.
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10. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE CITY OF RICHMOND SPECIFICATIONS.

NO.	DESCRIPTION	DATE
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2	REVISION	01/15/18
3	REVISION	01/15/18
4	REVISION	01/15/18
5	REVISION	01/15/18
6	REVISION	01/15/18
7	REVISION	01/15/18
8	REVISION	01/15/18
9	REVISION	01/15/18
10	REVISION	01/15/18

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LANDSCAPE ARCHITECTS

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RICHMOND, BC V6V 1Y1  
TEL: (604) 271-1187  
WWW.SHARPDANDI.COM

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Robert Chouh & Associates Inc.  
2000-2000 Squamish Street  
Vancouver, B.C.  
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DETAILS

SCALE 1:10

SCALE 1:10

SCALE 1:10

SCALE 1:10

SCALE 1:10

SCALE 1:10



[illegible]

**SD**  
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604.681.8100 F 604.681.8107  
[www.sharpdiamond.com](http://www.sharpdiamond.com)

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Canada M5V 3T5  
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**POLYGON**  
POLYMER DEVELOPMENT  
80-110 WEST BROADWAY  
NEW YORK, NY 10003  
TEL: 212 410 1111

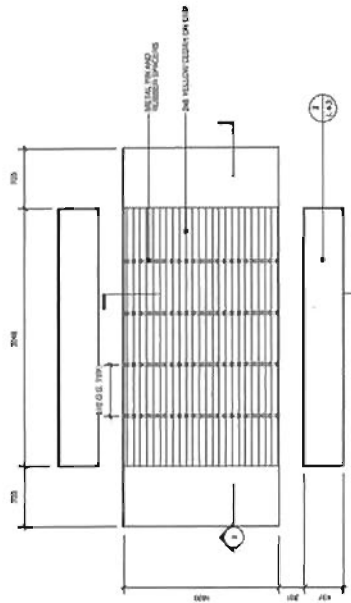
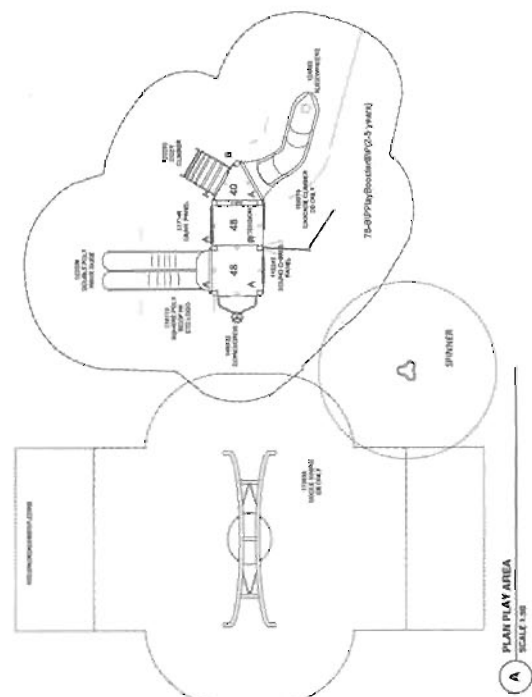
1. The first step in the process is to identify the problem or issue that needs to be addressed. This involves gathering information and understanding the context of the problem.

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1991	1992	1993	1994	1995	1996	1997	1998	1999	2000	2001	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022	2023	2024	2025	2026	2027	2028	2029	2030	2031	2032	2033	2034	2035	2036	2037	2038	2039	2040	2041	2042	2043	2044	2045	2046	2047	2048	2049	2050	2051	2052	2053	2054	2055	2056	2057	2058	2059	2060	2061	2062	2063	2064	2065	2066	2067	2068	2069	2070	2071	2072	2073	2074	2075	2076	2077	2078	2079	2080	2081	2082	2083	2084	2085	2086	2087	2088	2089	2090	2091	2092	2093	2094	2095	2096	2097	2098	2099	2100	

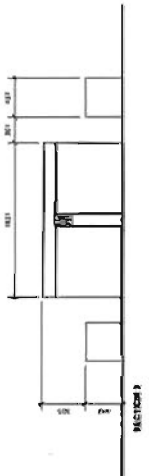
## DETAILS

### L2.3

**NOTE:**  
REFER TO MANUFACTURER'S  
SPECIFICATIONS FOR  
INSTALLATION OF ALL PLAY  
EQUIPMENT



- 2.5. WALK-ON FORM WORK (BISCUE CONCRETE IS Poured TO PROVIDE SMOOTH, SHINY FINISH.)
- STRUCTURAL ENGINEER TO REVIEW ALL DRAWINGS FOR CONCRETE STRENGTH, CURING, AND FINISHING LOAD CALCULATIONS ON ROOF DECK.
- APPLY CONCRETE SEALER ONCE CONCRETE HAS CURED.
- LEAVE ALL SNAP TIES EXPOSED, NOT FILLED.
- MINIMIZE JOINTS/AR SPACES ON ALL EXPOSED SURFACES.
- NO VOID AREAS/AR SPACES ON ROOF SURFACE AREA.
- USE LIGHTWEIGHT CONCRETE MIX.



**1** CUSTOM TABLE  
SCALE 1:20



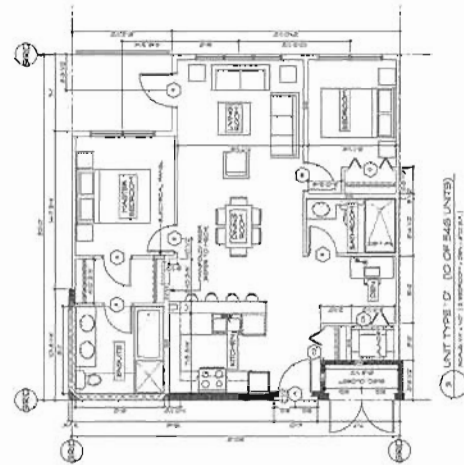
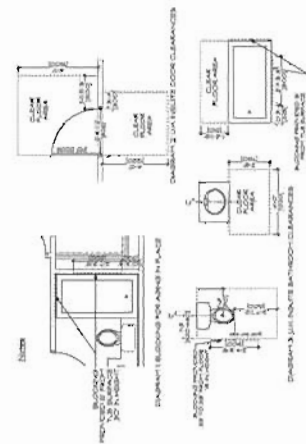
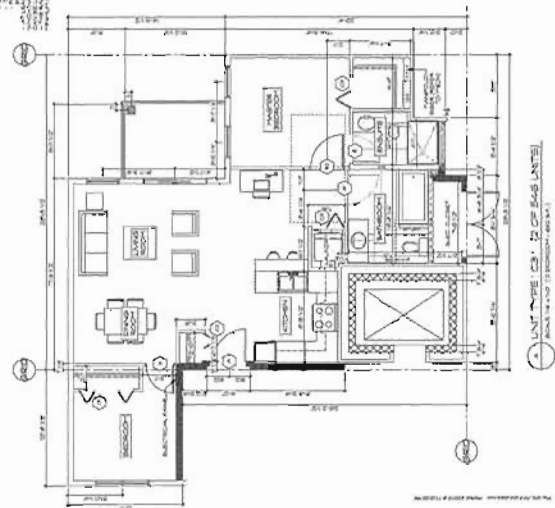
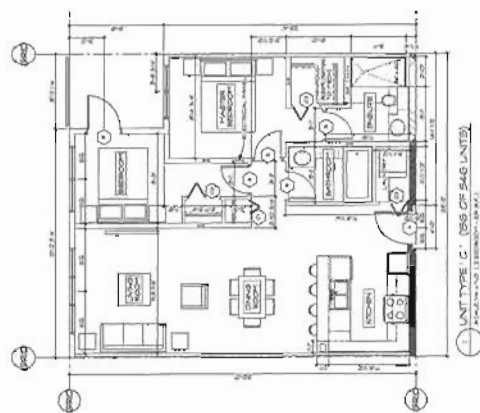
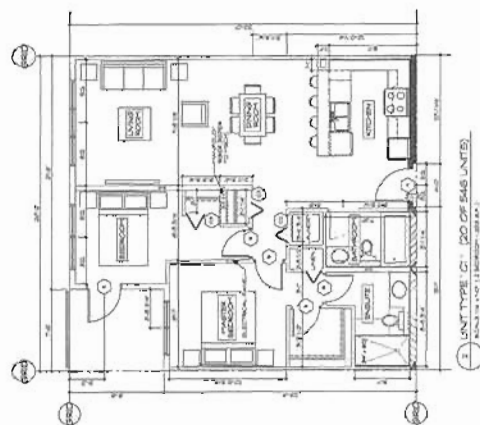
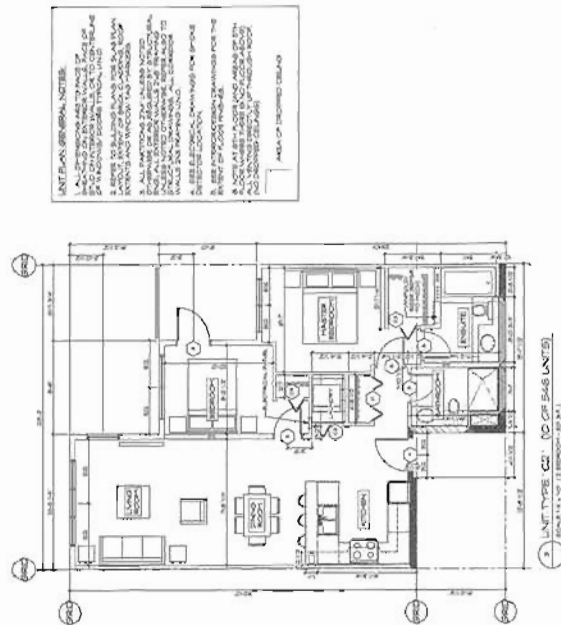
**PLAY SURFACING**  
SCALE 1/10







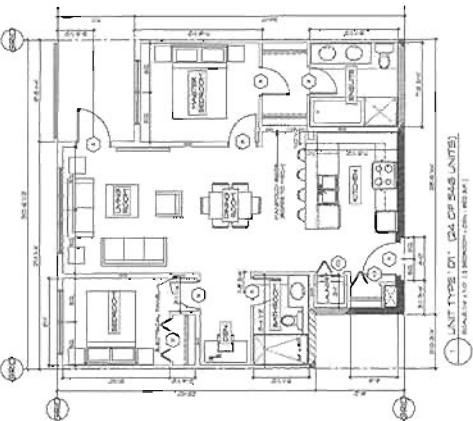
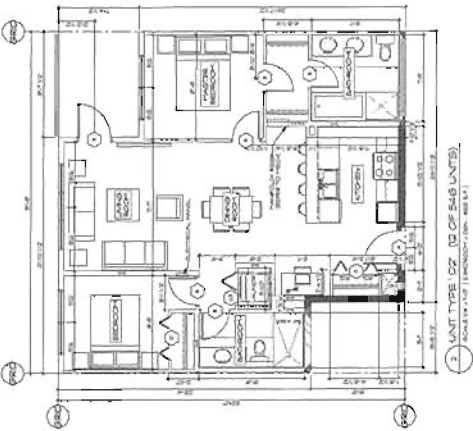
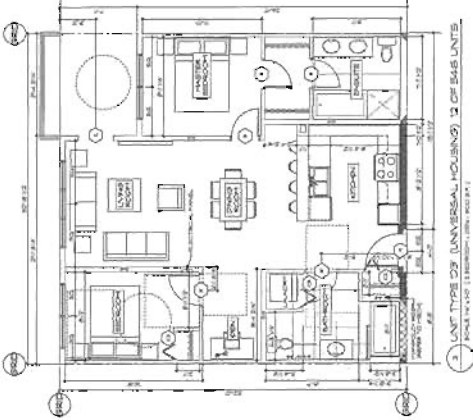




DATE	10/10/2017
BY	10/10/2017
REVISION	10/10/2017
DESCRIPTION	10/10/2017

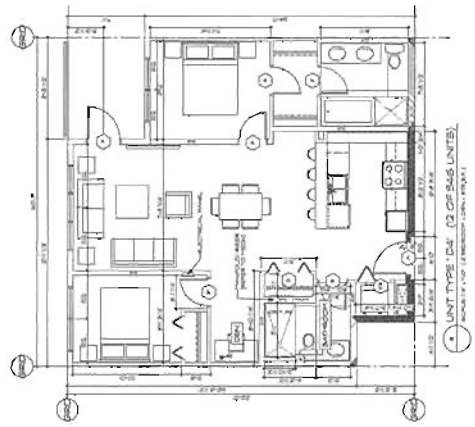
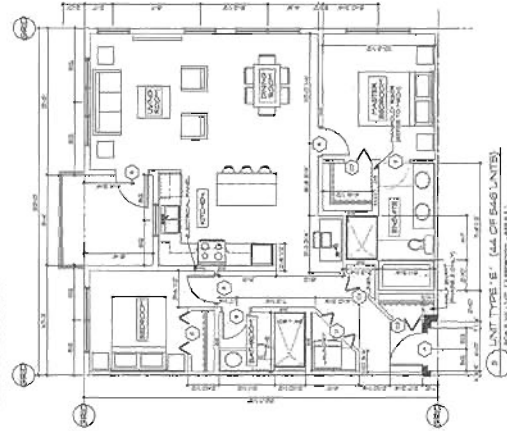
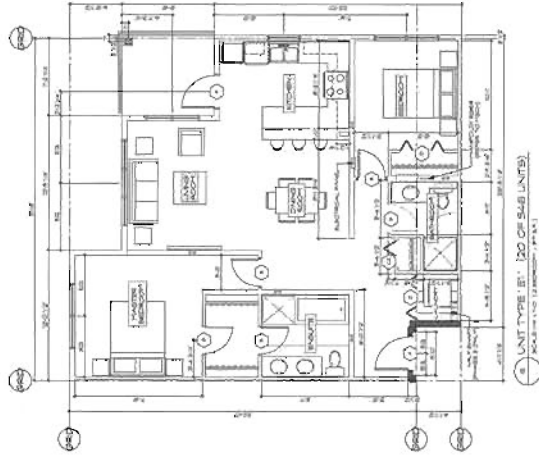
**UNIT PLAN GENERAL NOTES:**

1. All dimensions are to face of wall or partition unless otherwise noted.
2. All dimensions are to face of wall or partition unless otherwise noted.
3. All dimensions are to face of wall or partition unless otherwise noted.
4. All dimensions are to face of wall or partition unless otherwise noted.
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10. All dimensions are to face of wall or partition unless otherwise noted.



**REVISIONS:**

1. REVISION 1: ADDITION OF UNIT TYPE D1 (24 OF 546 UNITS)
2. REVISION 2: ADDITION OF UNIT TYPE D2 (12 OF 546 UNITS)
3. REVISION 3: ADDITION OF UNIT TYPE D3 (12 OF 546 UNITS)
4. REVISION 4: ADDITION OF UNIT TYPE D4 (12 OF 546 UNITS)
5. REVISION 5: ADDITION OF UNIT TYPE D5 (12 OF 546 UNITS)
6. REVISION 6: ADDITION OF UNIT TYPE D6 (12 OF 546 UNITS)
7. REVISION 7: ADDITION OF UNIT TYPE D7 (12 OF 546 UNITS)
8. REVISION 8: ADDITION OF UNIT TYPE D8 (12 OF 546 UNITS)
9. REVISION 9: ADDITION OF UNIT TYPE D9 (12 OF 546 UNITS)
10. REVISION 10: ADDITION OF UNIT TYPE D10 (12 OF 546 UNITS)





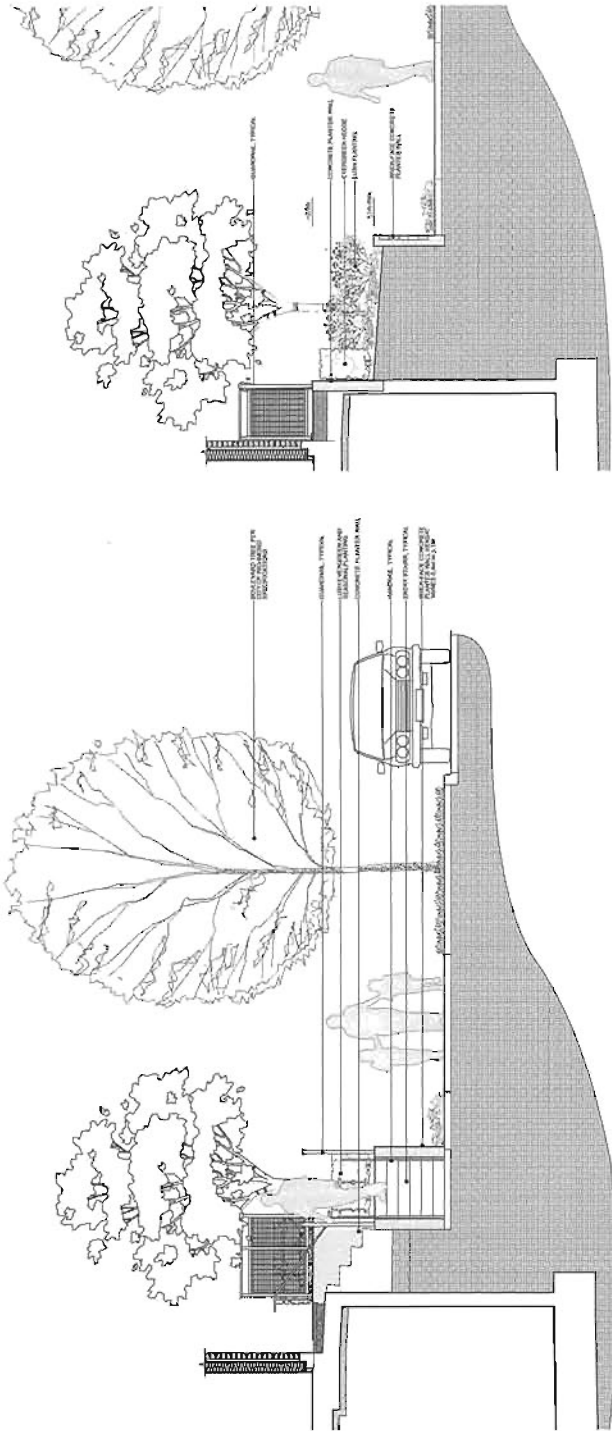


**SD** SHARP & DIAMOND  
LANDSCAPE ARCHITECTS  
1000 W. 10th Street, Suite 100  
Portland, OR 97204  
Phone: 503.228.1111  
Fax: 503.228.1112  
www.sharpanddiamond.com

SHARP & DIAMOND LANDSCAPE ARCHITECTS AND ASSOCIATES, INC. HAS BEEN AWARDED THE DESIGN AND CONSTRUCTION OF THE EXTERIOR AND INTERIOR LANDSCAPE ARCHITECTURE FOR THE PROJECT. THE CLIENTS REQUESTED THAT THE DESIGN AND CONSTRUCTION OF THE EXTERIOR AND INTERIOR LANDSCAPE ARCHITECTURE BE COMPLETED BY THE SAME FIRM. SHARP & DIAMOND LANDSCAPE ARCHITECTS AND ASSOCIATES, INC. HAS BEEN AWARDED THE DESIGN AND CONSTRUCTION OF THE EXTERIOR AND INTERIOR LANDSCAPE ARCHITECTURE FOR THE PROJECT.

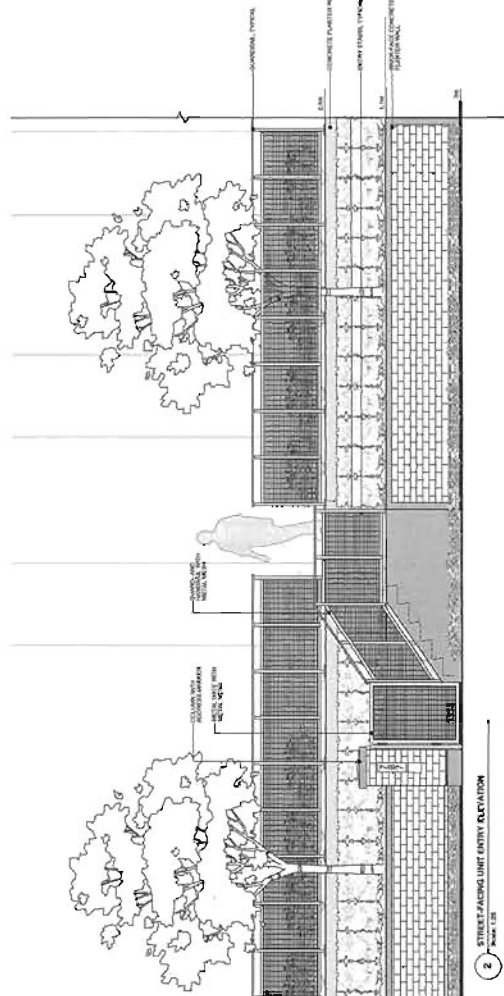
**RCA**  
Robert C. Anderson  
1000 W. 10th Street, Suite 100  
Portland, OR 97204  
Phone: 503.228.1111  
Fax: 503.228.1112  
www.rca-landscapes.com

**POLYCON**  
POLYCON CONSTRUCTION  
1000 W. 10th Street, Suite 100  
Portland, OR 97204  
Phone: 503.228.1111  
Fax: 503.228.1112  
www.polyconconstruction.com

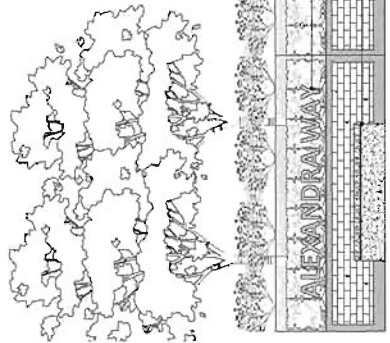


1 STREET-FACING UNIT ENTRY SECTION  
Scale: 1/8"

3 UNIT ENTRY PLANTER WALL AND SIDEWALK SECTION  
Scale: 1/8"



2 STREET-FACING UNIT ENTRY ELEVATION  
Scale: 1/8"



4 ALEXANDRA WAY ENTRANCE ELEVATION  
Scale: 1/8"

ALEXANDRA WEST

Address: 1000 W. 10th Street, Suite 100  
City: Portland, OR 97204  
County: Multnomah  
Project No.: 00-277

STREET EDGE  
SECTIONS AND  
ELEVATIONS

L3.1

DPP 13-631492  
R. #70



# City of Richmond

## Report to Development Permit Panel Planning and Development Department

**To:** Development Permit Panel

**Date:** September 18, 2013

**From:** Wayne Craig  
Director of Development

**File:** DP 13-634493

**Re:** Application by Richmond Inn Investments Ltd. for a Development Permit at  
7551 Westminster Highway

### Staff Recommendations

That a Development Permit be issued which would:

1. Permit the construction of a 1,651 m<sup>2</sup> (17,768 ft<sup>2</sup>) building addition at the south-west corner of the existing hotel for a conference centre and moving the existing liquor store within the building at 7551 Westminster Highway on a site zoned Downtown Commercial (CDT1); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Reduce required off-street parking from 439 to 412 parking spaces.

Wayne Craig  
Director of Development

SB:blg  
Att.

## Staff Report

### Origin

Richmond Inn Investments Ltd. has applied to the City of Richmond for permission to develop a 1,651 m<sup>2</sup> (17,768 ft<sup>2</sup>) addition at the south-west corner of the Sheraton Hotel building for a conference hall with ancillary spaces and to relocate the existing liquor store to a new location within the building at 7551 Westminster Highway on a site zoned Downtown Commercial (CDT1).

There is no rezoning application associated with the subject Development Permit application. The site currently contains an older hotel complex; originally built in approximately 1972, with the existing three (3) towers added in three (3) phases between 1977 and 1986. The complex includes a hotel, restaurant, lounge, liquor store, retail stores, meeting facilities and surface parking areas on both Elmbridge Way and Westminster Highway. This older hotel property was not developed through a Development Permit process, however a number of Development Variance Permits and Development Permits have been issued over the years for signage and renovation work.

There are two (2) approved Development Variance Permits (DVP 94-000206 and DVP 98-143147) noted on title, for on-site signage. A Development Permit (DP 08-438237) was issued in 2008 for renovations to the eastern portion of the ground floor façade fronting onto Westminster Highway, including pedestrian circulation routes to Westminster Highway and landscaping in the surface parking lots fronting onto Westminster Highway and Elmbridge Way. A Development Permit (DP 08-448057) was issued in 2009 for minor renovations to the west tower ground floor façades fronting onto Westminster Highway.

### Development Information

Please refer to the attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

### Background

The subject site is located in the City Centre planning area, in the Lansdowne Village area. Development surrounding the subject site is as follows:

- To the north, the hotel complex extends from Westminster Highway northward to Elmbridge Way, zoned Downtown Commercial (CDT1).
- To the east, are the Vancouver Airport Marriot Hotel and Hilton Vancouver Airport Hotel, which share parking areas with the subject hotel and are also zoned Downtown Commercial (CDT1).
- To the south, across Westminster Highway, are two (2) older existing non-conforming single-family homes, zoned Auto-Oriented Commercial (CA), and smaller properties with one-storey and two-storey commercial buildings, zoned Auto-Oriented Commercial (CA), Retail Commercial (ZC4) – Brighthouse Village (City Centre), Personal Services Commercial (ZC5) – Brighthouse Village (City Centre).

- To the west, is a newer three-tower 14-storey residential development with 286 units fronting onto Westminster Highway and Alderbridge Way, zoned Downtown Commercial (CDT1), and a single-tower 15-storey residential development with 138 units fronting onto Elmbridge Way, also zoned Downtown Commercial (CDT1).

### Staff Comments

The proposed design scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the Richmond Zoning Bylaw except for the zoning variance noted below.

### Zoning Compliance/Variations (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce required off-street parking from 439 to 412 parking spaces.

*(Staff supports the proposed variance as a detailed Parking Impact Assessment prepared by Bunt & Associates Transportation Planners and Engineers dated April 30, 2013 has been submitted, which demonstrates that the proposed parking facilities which are shared between the three (3) neighbouring hotels, with a total of 702 parking spaces, will exceed the demand for the complementary uses of hotel and conference facilities for all three (3) hotels, including the proposed conference space expansion on the subject property. The proposal includes Transportation Demand Management measures to enhance pedestrian and bicycle facilities and to accommodate electric vehicles.)*

### Advisory Design Panel Comments

The proposed addition was not presented to the Advisory Design Panel, as the proposal is an infill addition to an existing hotel complex with an established architectural form, character, massing and site plan.

### Analysis

#### Urban Design and Site Planning

- The applicant is proposing a single-storey 1,651 m<sup>2</sup> (17,768 ft<sup>2</sup>) addition to be constructed on an existing open surface parking area between two (2) mid-rise wings at the south-west corner of the existing hotel building. The addition will accommodate a new 929 m<sup>2</sup> (10,000 ft<sup>2</sup>) conference hall with ancillary spaces. The addition fronts onto Westminster Highway and brings a portion of the hotel's facade closer to the road, reinforcing a more urban character of the City Centre public realm. The existing liquor store fronting onto the surface parking area along Westminster Highway is proposed to be relocated within the building to a new central location, still facing Westminster Highway.



- The proposed addition would be located on an existing parking area, and as a result of the development, the surrounding parking areas have been reconfigured to provide new pedestrian accesses from proposed building entries to Westminster Highway, maintain existing driveway locations and vehicle circulation around the perimeter of the site, and to maximize parking spaces.
- The proposal includes sidewalk widening to provide a new 2 m wide sidewalk along the Westminster Highway frontage of the subject site.

#### ***Architectural Form and Character***

- The building addition is a simple and clean contemporary designed one-storey volume appropriately inserted into the existing geometry of the hotel site and its built environment. The Westminster Highway facade would be improved by pulling the building closer to the sidewalk, incorporating a glazed curtain wall, and introducing red Cedar in the new substantial overhang soffits. The glazing and two (2) new pedestrian entries will provide animation to the site frontage along Westminster Highway, into what is currently a surface parking area.
- The proposed building materials include stucco painted and scored to match the existing materials used on the hotel, clear anodized aluminum flashing, clear stained Cedar soffits, and black anodized aluminum frame low “e” double pane glazing and skylights. These materials complement the existing hotel and are generally consistent with the Official Community Plan (OCP) Guidelines.

#### ***Tree Management***

In Development Area	Existing	Proposed	Compensation
On-site bylaw sized trees	3	2 relocated on-site 1 removed	19 new trees
On-site under-sized trees	27	1 retained 9 relocated on-site 17 removed	None required
City street trees	5	Protect	Not applicable

- The applicant has submitted an Arborist Report and associated tree management plan, which have been reviewed and are supported by City Tree Preservation staff.
- Two bylaw sized existing trees and nine under-sized existing trees will be retained and relocated into raised planting islands in the east parking lot, including two (2) Japanese Maple trees (tag# 35 and 38), two (2) under-sized Dogwood trees (tag# 36 & 37), six (6) under-sized Beech trees (tag#29-34) and an undersized Japanese Maple tree.
- One (1) bylaw-sized existing Red Maple tree is proposed to be removed. The arborist has reviewed the potential to relocate this tree and has determined that it is too large to be relocated on-site and conflicts with the proposed addition.
- 17 under-sized Sweet Gum and Serbian Spruce trees (including tag# 20-28) located adjacent to the Westminster City sidewalk are proposed to be removed. These are both large growing species that have now grown large enough to conflict with the canopy of the City street trees.

- 19 new trees are proposed to be planted along the Westminster Highway streetscape and marking the new pedestrian accesses to the site. Smaller growing Japanese Snowbell trees are proposed along the Westminster Highway streetscape to safely complement the street tree canopy into the future.
- The nine (9) existing City street trees along Westminster Highway are required to be protected during construction.
- The applicant has agreed to enter into a Contract with a Certified Arborist for the protection of neighbouring trees, and the protection of existing trees to be retained and relocated. This is a requirement of the Development Permit.
- Installation of appropriate tree protection fencing is required prior to any construction activities taking place on-site.

### ***Landscape Design and Open Space Design***

- The landscape design includes the planting of 6 new Maple trees along the Westminster Highway frontage to mark three (3) pedestrian entries to the site and 13 Japanese Snowbell trees to replace existing under-sized trees that are experiencing canopy crowding.
- The landscape plan also includes relocating existing trees from the area that will be occupied by the building addition into raised planting islands in the east parking lot.
- Three (3) pedestrian accesses will be provided from Westminster Highway to the hotel property and will be: marked with new Maple tree planting and treated with concrete sidewalks, stamped asphalt crosswalks, and landscaping beds. Two (2) new accesses would be aligned with pedestrian entries to the proposed conference centre addition, and the one (1) existing access is aligned with the proposed liquor store location and main lobby entry.

### ***Sustainability Features***

- Passive solar heating in the south facing window wall. In the winter, solar heated air is distributed throughout the space. In the summer, the large overhang will provide shade at the south facade, and automatically-controlled opening windows will provide cooling ventilation.
- Concrete topped insulated roof panels with a mix of medium grey and lighter grey solar reflective finishing. The product includes insulation and a light colour finish, minimizing the "heat island effect" (absorbing and radiating solar heat gain), and providing the associated benefits of reduced energy use for heating and cooling, and longer lifespan for the roofing membrane associated with maintaining a stable roof temperature. The product is manufactured in British Columbia, reducing the energy associated with product transport.
- Natural day lighting is provided in the south lobby through the window wall, and in the north and east lobby areas with skylights.
- "Power smart" light fixtures and the extensive use of CFL and LED lighting.
- Low flow plumbing fixtures.
- Low emissions paint and floor coverings for improved air quality. The conference room's carpeting will have the Environmental Product Declaration, Sustainable Carpet Assessment Standard and CRI Green Label Plus.
- Emphasis will be placed on specifying BC and Canadian products. Locally produced Cedar finish is proposed for the large soffit overhangs.
- Structural soil systems will be incorporated to support tree planting at the new pedestrian accesses.

**Transportation**

- A detailed Parking Impact Assessment was prepared for the applicant by Bunt & Associates Transportation Planners and Engineers. The report demonstrates that the existing parking facilities shared between the three (3) neighbouring hotels will exceed the demand for all three (3) hotels and conference facilities, including the proposed conference space expansion. The report was reviewed and is acceptable to Transportation Division staff.

	Existing	Bylaw Requirement	Proposed	Peak Demand
Shared Parking for: <ul style="list-style-type: none"> <li>• Vancouver Sheraton Airport Hotel</li> <li>• Vancouver Airport Marriott Hotel</li> <li>• Hilton Vancouver Airport Hotel</li> </ul>	746 spaces	729 spaces	702 spaces (27 space variance)	690 spaces (12 extra)

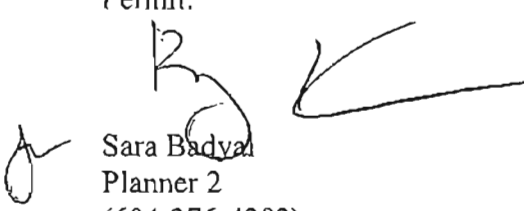
- The report advises that hotel and conference uses are complementary, with peak use at different times of year, and in the unlikely event that both coincided, the potential peak parking demand of 690 spaces would still be less than the proposed supply of 702 spaces.
- Bicycle use is being encouraged. Bicycle storage is provided inside the building for staff, along with lockers and showers as end of trip facilities. New bicycle racks will be provided at the conference centre entry for patrons.
- The three (3) hotels are located in relatively close proximity to the Canada Line, are serviced by transit buses, and provide shuttle bus service to Vancouver International Airport for hotel guests.
- The applicant has agreed to provide the following Transportation Demand Management measures to enhance pedestrian facilities and to accommodate electric vehicles as a requirement of the Development Permit:
  - Registration of a legal agreement, ensuring the provision of 120V electric outlets in at least five (5) parking spaces.
  - Registration of a public-rights-of-passage (PROP) Statutory Right-of-Way (SRW) along the Westminster Highway property line for a new 2.0 m wide sidewalk (approximately 0.5 m wide SRW with City responsible for maintenance and liability).
- The applicant has agreed to provide further Transportation Demand Management measures by entering into a Servicing Agreement as a requirement of the Building Permit for design and construction to:
  - Provide a new 2 m wide sidewalk along the site's entire Westminster Highway frontage.
  - Upgrade the existing crosswalk at Elmbridge Way/Cedarbridge Way to a special crosswalk with overhead downward lighting and associated equipment.
  - Upgrade the traffic signal at Alderbridge Way/Westminster Highway to include Accessible Pedestrian Signals (APS) and illuminated street name sign(s).

**Existing Easements**

- There are currently three (3) blanket easements registered on title to the subject site providing the following benefits to the two (2) adjacent hotel properties: pedestrian/driveway/loading area access (BL205518); general access (BM81932); and utilities access (BM145472). The blanket easement areas are not materially affected by the proposed addition. No amendments to the easements are required as part of the Development Permit.

**Conclusions**

The applicant has addressed the technical issues associated with the proposed building addition and parking needs. The proposed addition fits well into the existing hotel complex and will improve the Westminster Highway streetscape. Staff recommend support for this Development Permit.



Sara Badyal  
Planner 2  
(604-276-4282)

SB:blg

The following are to be met prior to forwarding this application to Council for approval:

- Registration of a public-rights-of-passage right-of-way along the Westminster property line for a new 2.0 m wide sidewalk (approximately 0.5 m wide SRW with City responsible for maintenance and liability).
- Registration of a legal agreement ensuring the provision of 120V electric outlets for at least five (5) parking spaces.
- Entering into a Contract with a Certified Arborist for the protection of existing trees to be retained and relocated, including a post-construction assessment report for City review.
- Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
- Receipt of a Letter-of-Credit for landscaping in the amount of \$69,482.00.

Prior to future Building Permit issuance, the developer is required to complete the following:

- Enter into a Servicing Agreement for the design and construction of:
  - A new 2.0 m wide sidewalk along the entire Westminster Highway frontage.
  - Upgrade crosswalk at Elmbridge Way/Cedarbridge Way to a special crosswalk with overhead downward lighting and associated equipment.
  - Upgrade traffic signal at Alderbridge Way/Westminster Highway to include APS (Accessible Pedestrian Signals) and illuminated street name sign(s).
- Apply for and obtain signage permit for new/revised signage.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit.
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Division (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.





**DP 13-634493**

**Attachment 1**

Address: 7551 Westminster Highway

Applicant: Richmond Inn Investments Ltd.

Owner: Richmond Inn Investments Ltd.

Planning Area(s): Lansdowne Village (City Centre)

	Existing	Proposed
Site Area	24,099 m <sup>2</sup>	No change
Land Uses	Commercial (Hotel)	No change
OCP Designation	Downtown Mixed-Use	No change
CCAP Designation	Urban Core T6 (45m) & Proposed Street	No change
Zoning	Downtown Commercial (CDT1)	No change
Number of Units	Hotel, including: 390 guest rooms (21,483 ft <sup>2</sup> ) meeting area rooms, restaurant, lounge, retail and liquor stores	Conference hall addition

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio	Max. 3.0	1.11	None permitted
Lot Coverage	Max. 90%	40%	None
Setbacks: Elmbridge Way Westminster Highway West Side Yard East Side Yard	Min. 6 m Min. 6 m None None	11.4 m existing 16.6 m to addition 13.1 m existing 0 m existing	None
Height	Max. 47 m geodetic	seven-storey & 30 m existing	None
Off-street Parking	729 spaces for all 3 hotels	702 spaces for all 3 hotels	27 space reduction
Tandem Parking Spaces	Not permitted	None	None



No. DP 13-634493

To the Holder: RICHMOND INN INVESTMENTS LTD.  
Property Address: 7551 WESTMINSTER HIGHWAY  
Address: C/O ART PHILLIPS  
LARCO INVESTMENTS LTD.  
#300 - 100 PARK ROYAL  
WEST VANCOUVER, BC V7T 1A2

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce required off-street parking from 439 to 412 parking spaces.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #8 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$69,482.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

## Development Permit

No. DP 13-634493

To the Holder: RICHMOND INN INVESTMENTS LTD.

Property Address: 7551 WESTMINSTER HIGHWAY

Address: C/O ART PHILLIPS  
LARCO INVESTMENTS LTD.  
#300 - 100 PARK ROYAL  
WEST VANCOUVER, BC V7T 1A2

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

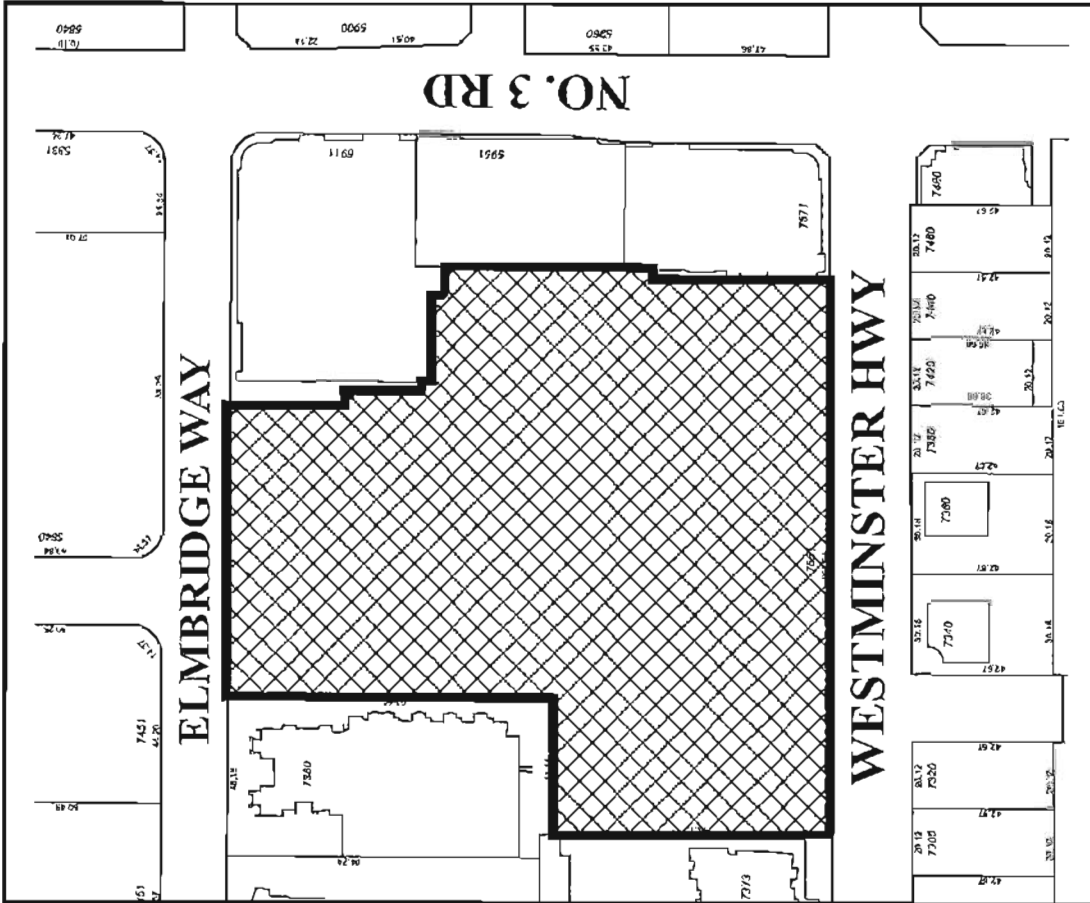
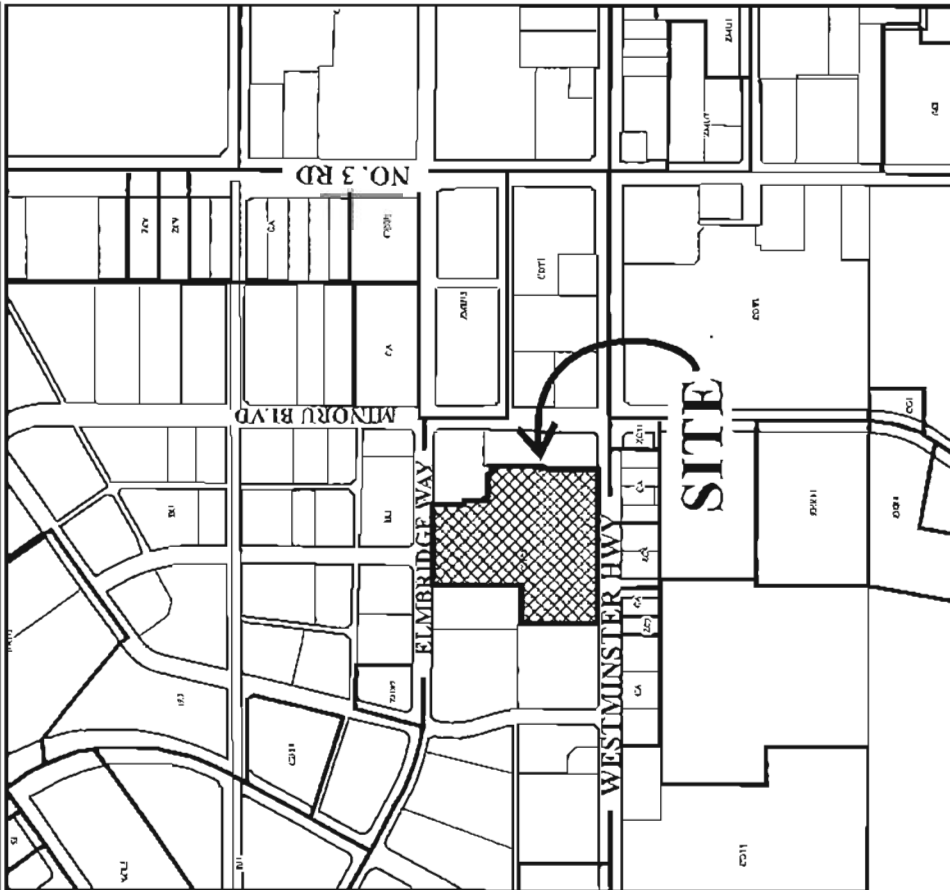
DELIVERED THIS DAY OF , .

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MAYOR



City of Richmond



# DP 13-634493 SCHEDULE "A"

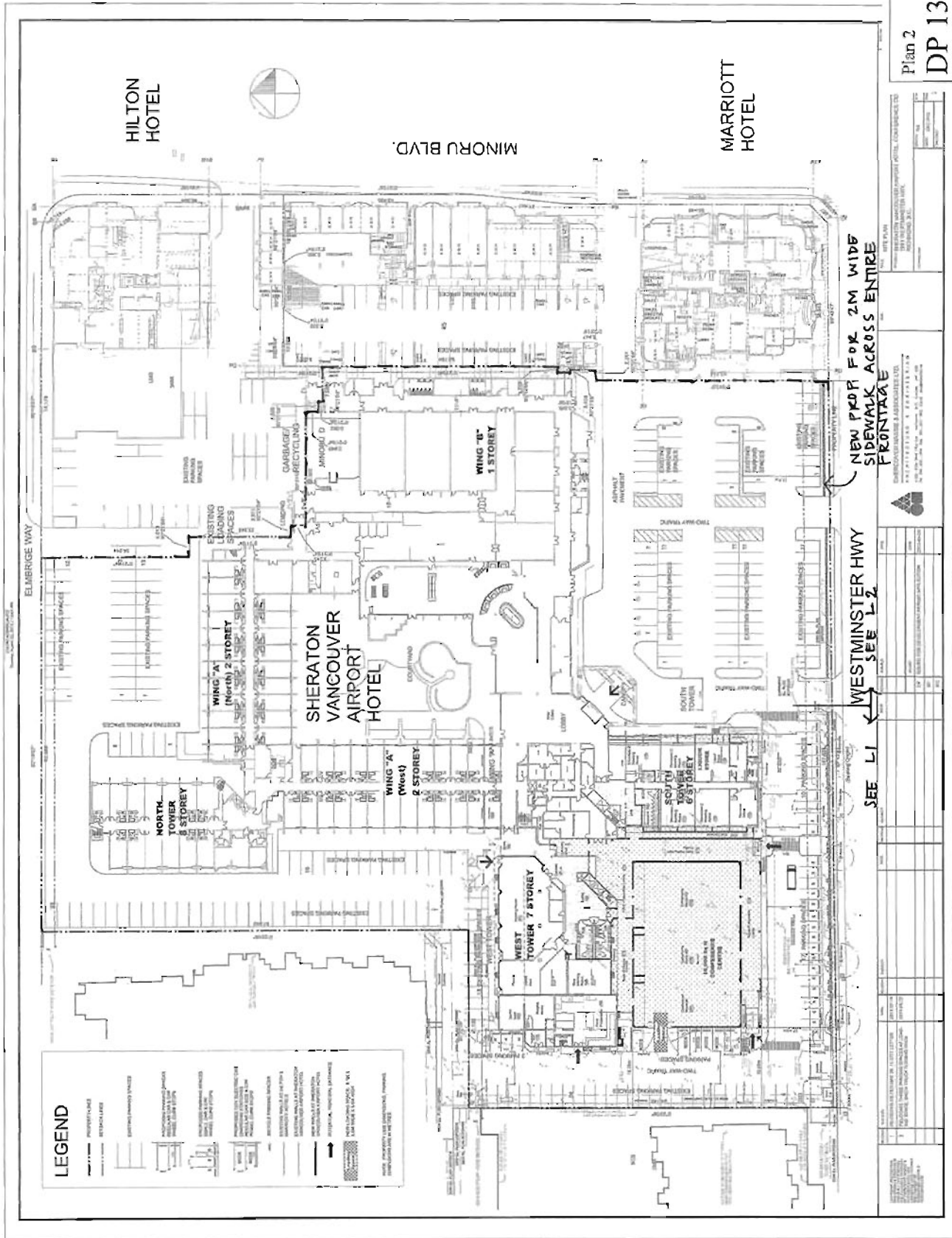
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Revision Date:

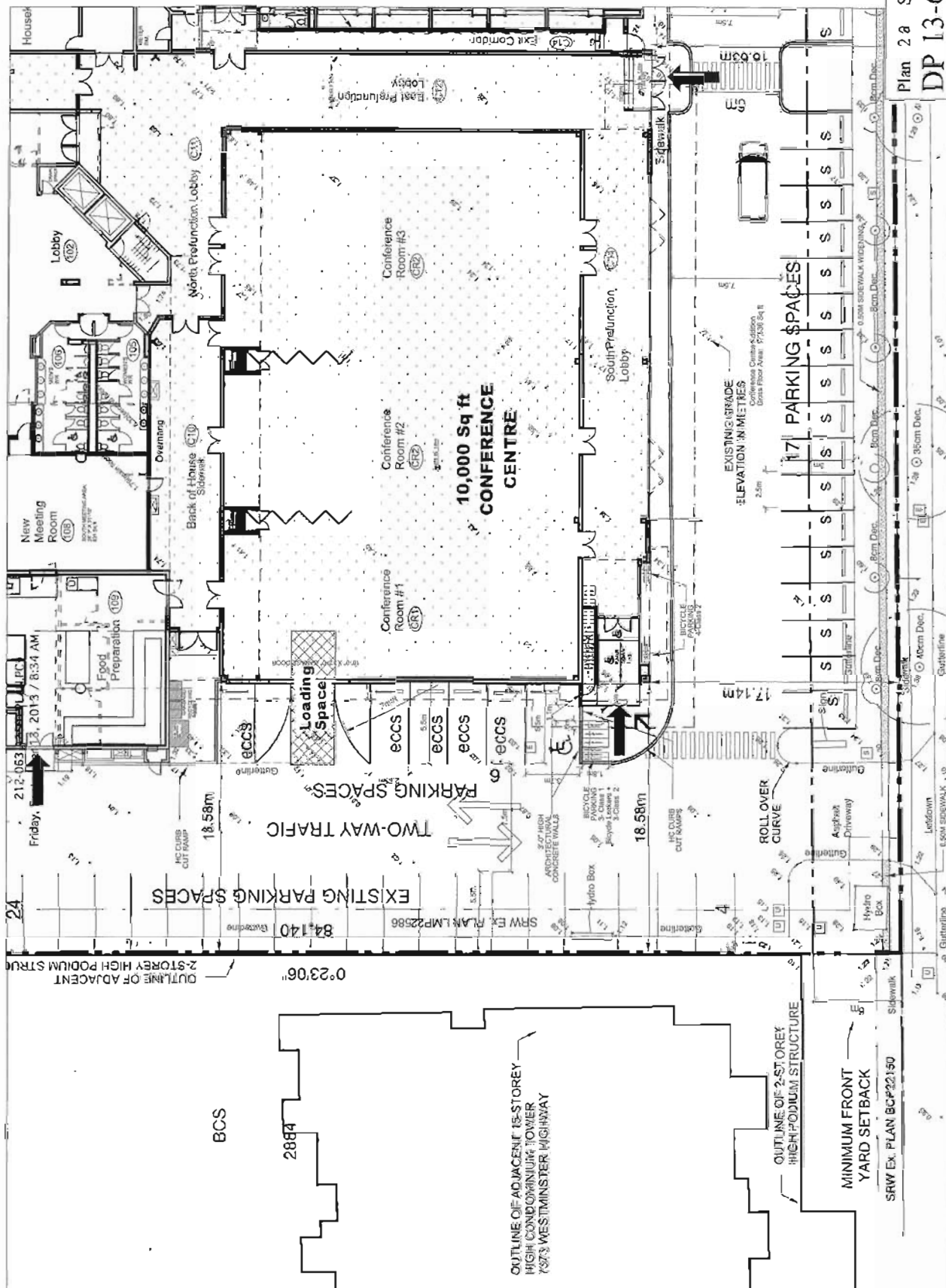
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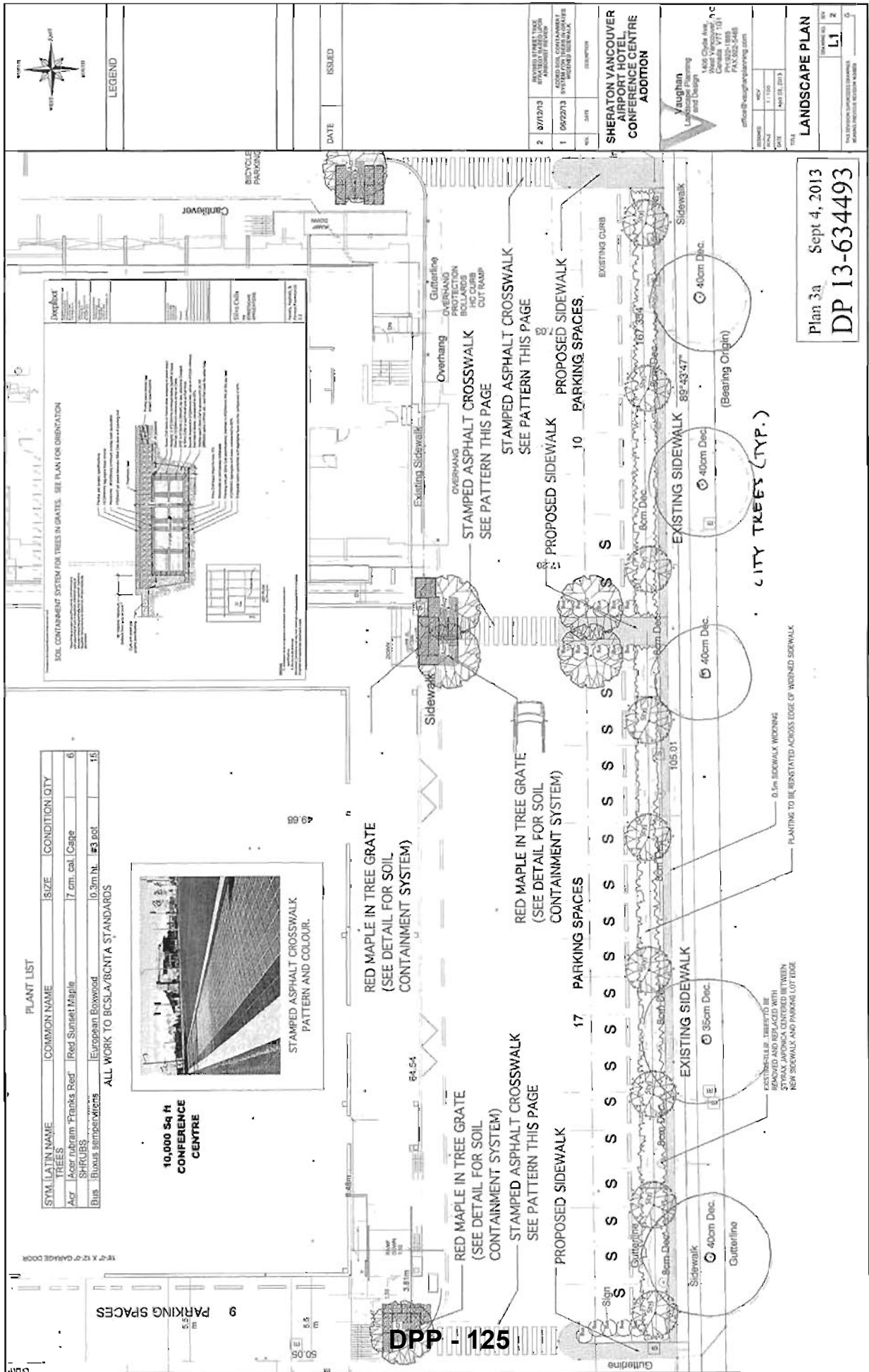
## Notes:





Plan 2 Sept 4, 2013  
 DP 13-634493





PLANT LIST

SYM.	LATIN NAME	COMMON NAME	SIZE	CONDITION	QTY
TREES					
Ac	Acacia rubra	Franks Red	7 cm cal. Cage		6
SHRUBS					
Bu	Buxus sempervirens	European Boxwood	10.3m N. #3 pot		16

ALL WORK TO BC S.L.A./BCNTA STANDARDS



10,000 Sq ft  
CONFERENCE  
CENTRE

RED MAPLE IN TREE GRATE  
(SEE DETAIL FOR SOIL  
CONTAINMENT SYSTEM)

RED MAPLE IN TREE GRATE  
(SEE DETAIL FOR SOIL  
CONTAINMENT SYSTEM)

STAMPED ASPHALT CROSSWALK  
SEE PATTERN THIS PAGE

RED MAPLE IN TREE GRATE  
(SEE DETAIL FOR SOIL  
CONTAINMENT SYSTEM)

PROPOSED SIDEWALK

17 PARKING SPACES

PROPOSED SIDEWALK

PROPOSED SIDEWALK

10 PARKING SPACES

STAMPED ASPHALT CROSSWALK  
SEE PATTERN THIS PAGE

STAMPED ASPHALT CROSSWALK  
SEE PATTERN THIS PAGE

EXISTING SIDEWALK

EXISTING SIDEWALK

EXISTING SIDEWALK

EXISTING SIDEWALK

EXISTING SIDEWALK  
BRANCHED AND REPLACED WITH  
STRAK JAPONICA CENTERED BETWEEN  
NEW SIDEWALK AND PARKING LOT EDGE

EXISTING SIDEWALK  
BRANCHED AND REPLACED WITH  
STRAK JAPONICA CENTERED BETWEEN  
NEW SIDEWALK AND PARKING LOT EDGE

EXISTING SIDEWALK  
BRANCHED AND REPLACED WITH  
STRAK JAPONICA CENTERED BETWEEN  
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EXISTING SIDEWALK  
BRANCHED AND REPLACED WITH  
STRAK JAPONICA CENTERED BETWEEN  
NEW SIDEWALK AND PARKING LOT EDGE

CITY TREES (TYP.)

PLANTING TO BE REINSTATED ACROSS EDGE OF ADJACENT SIDEWALK

PLANTING TO BE REINSTATED ACROSS EDGE OF ADJACENT SIDEWALK

PLANTING TO BE REINSTATED ACROSS EDGE OF ADJACENT SIDEWALK

PLANTING TO BE REINSTATED ACROSS EDGE OF ADJACENT SIDEWALK

Plan 3a Sept 4, 2013  
DP 13-634493

LANDSCAPE PLAN

NO.	REV.	DATE	DESCRIPTION
1	1	11/10/13	ISSUED FOR PERMIT REVIEW
2	1	11/10/13	ISSUED FOR PERMIT REVIEW

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1405 OLYMPIA AVE.  
VANCOUVER, BC V6Z 1Y1  
TEL: 604-277-1111  
FAX: 604-277-1112  
office@vaughanlandscape.com

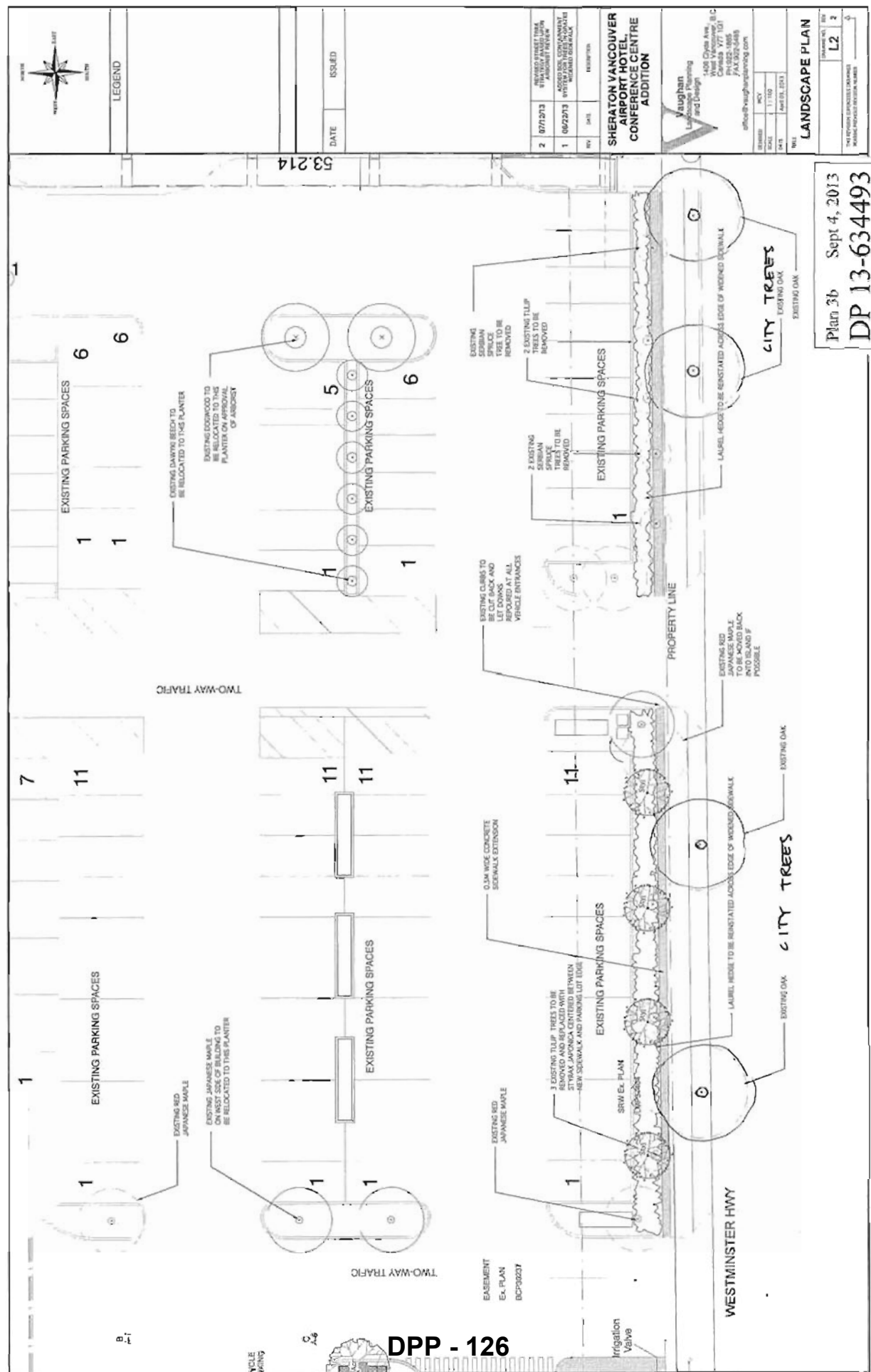
SHERATON VANCOUVER  
AIRPORT HOTEL  
CONFERENCE CENTRE  
ADDITION

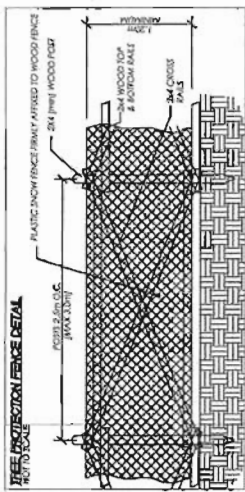
DATE

ISSUED



LEGEND





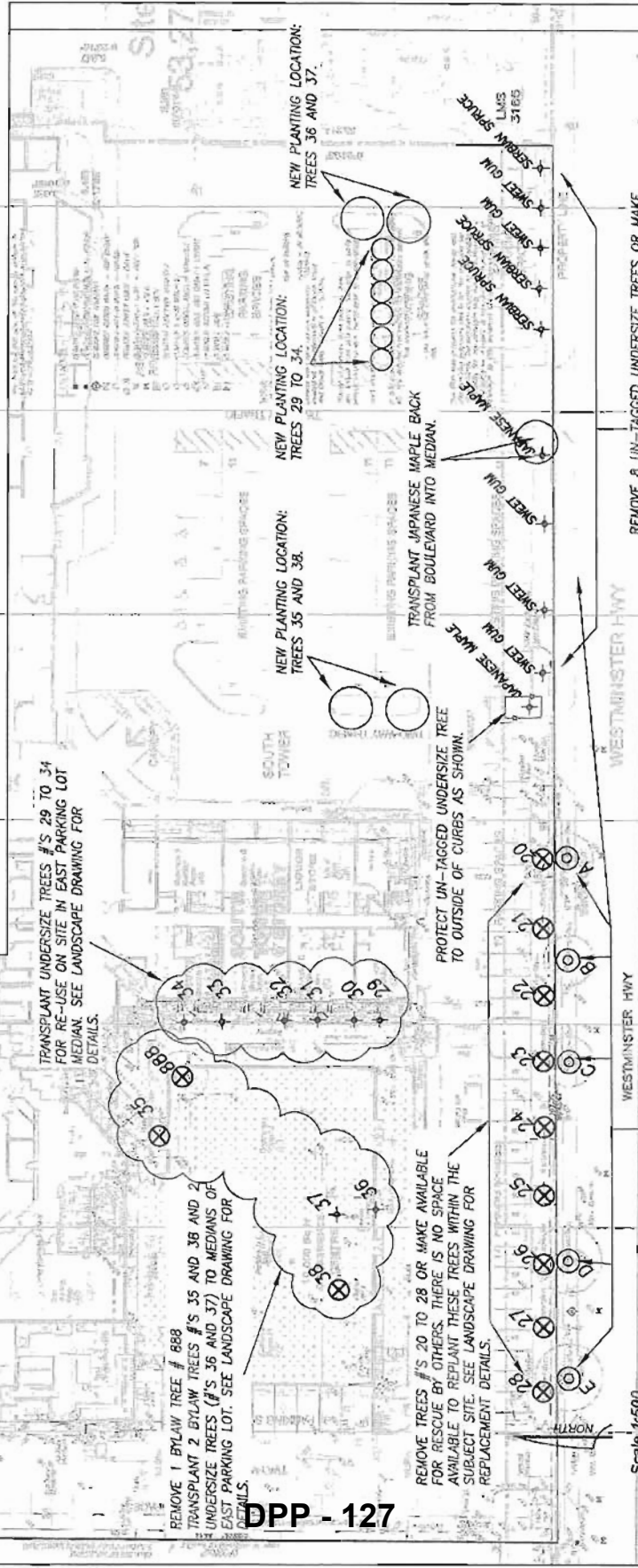
**LEGEND**

DEMOTES TREE LIMITS  
 DEMOTES TREE NUMBER. REFER TO TRUE INVENTORY FOR TYPE.  
 DEMOTES TREE LOCATION DATA.  
 DEMOTES TREE TO BE REMOVED  
 DEMOTES TREE TO BE REPAIRED  
 DEMOTES TREE TO BE REMOVED FOR MITIGATION OF HIGH RISK (TRAG)  
 DEMOTES UNDERSIZE TREE PER MUNICIPAL BYLAW. SPECIES AND SIZE AS NOTED.  
 DEMOTES OFFSITE TREE. REFER TO REPORT FOR RECOMMENDED TREATMENT. OWNERS APPROVAL FOR ANY PROPOSED ACTION/TREATMENT TO OFFSITE TREES WOULD BE REQUIRED.  
 DEMOTES TREE PROTECTION DOME (TPD) ALIGNMENT. FENCE TO BE INSTALLED TO MEET CANADIAN STANDARDS FOR TREE PROTECTION. NOTES FOR RESTRICTIONS ON ACTIVITIES WITHIN OR CLOSE PROXIMITY TO TREE.

PROTECT TWO UNDERSIZE TREES TO OUTSIDE OF CURBS AS SHOWN.

PROTECT CITY STREET TREES A TO E AND TREES IN EASTERN PARKING LOT FRONTAGE TO PARKS DEPARTMENT STANDARDS.

Scale 1:500  
 0 5 10 20  
 ALL DISTANCES ARE IN METRES

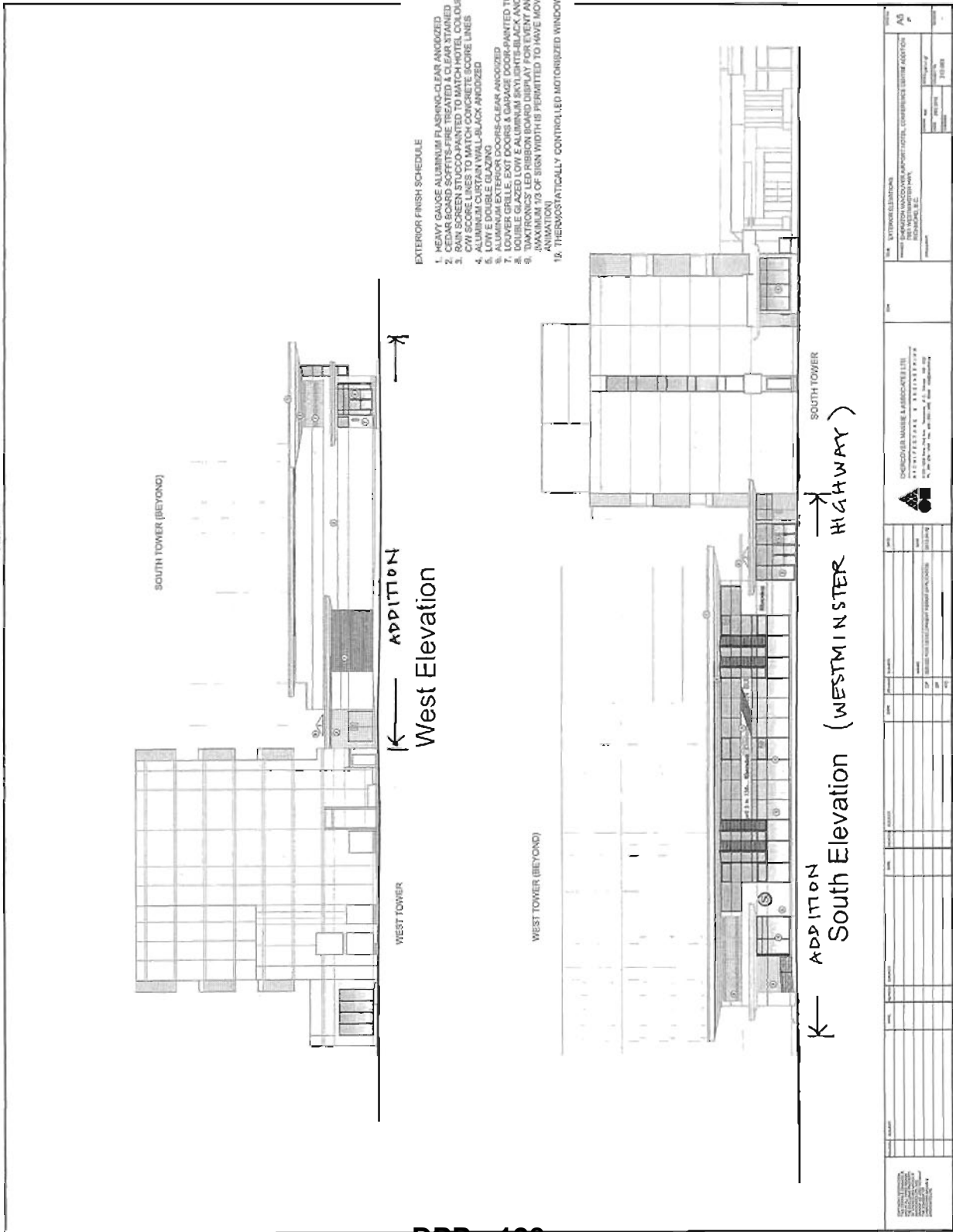


Plan 3c Sept 4, 2013  
 DP 13-634493

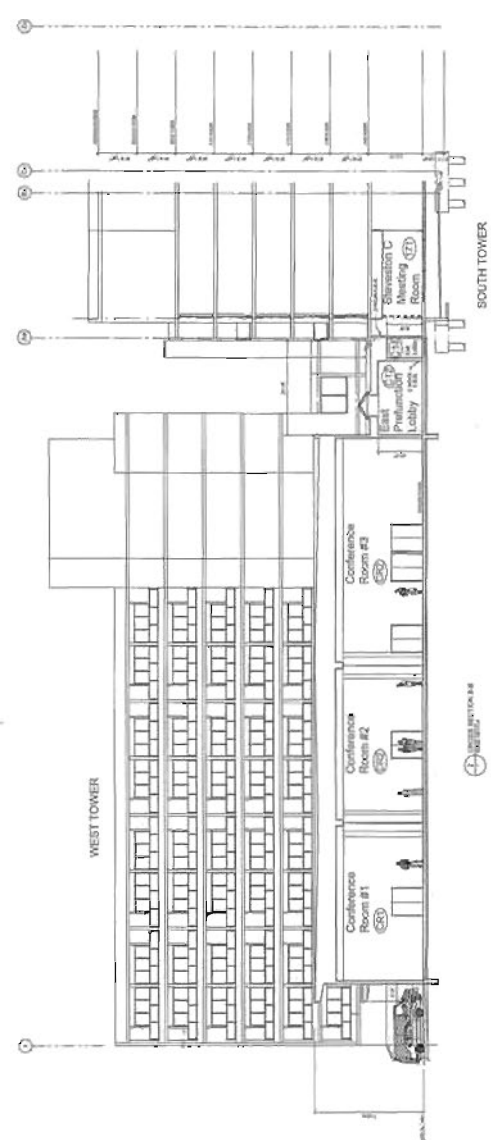
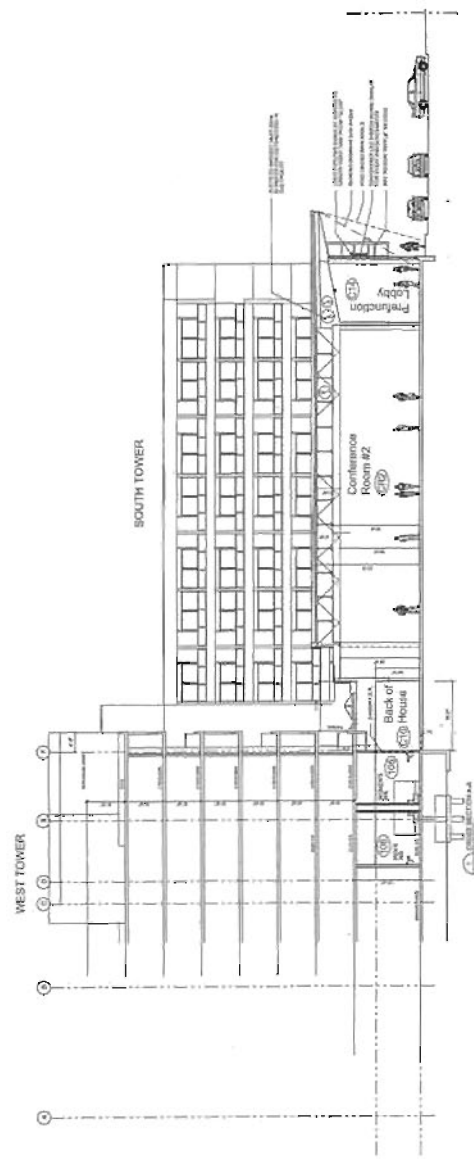
ccgroup.ca		ARBORTECH CONSULTING		TREE MANAGEMENT DRAWING	
GREATER VANCOUVER OFFICE: SUITE 200 - 3740 CHATHAM STREET, RICHMOND, BC CANADA V6E 2E3		PROJECT: VANCOUVER SHERATON AIRPORT HOTEL		PROJECT: VANCOUVER SHERATON AIRPORT HOTEL	
SUITE 101 - 1528 MCCALLUM ROAD, ABBOTSFORD, BC CANADA V2S 8A3		ADDRESS: 7551 WESTMINSTER HIGHWAY RICHMOND BC		ADDRESS: 7551 WESTMINSTER HIGHWAY RICHMOND BC	
REV #		DATE		CLIENT: LARCO	
1		JUL 22, 2013		ACI FILE: 13170	
2		JUN 25, 2013		SHEET: 1 OF 1	
COMMENTS					

THIS PLAN IS BASED ON A TOPOGRAPHIC AND TREE LOCATION SURVEY PROVIDED BY THE OWNER'S REGISTERED LANDSCAPE ARCHITECT (L.A.) AND LAYOUT DRAWINGS PROVIDED BY THE OWNER'S ENGINEER (P. ENG). THIS PLAN IS PROVIDED FOR CONCEPT ONLY, AND IS NOT CERTIFIED AS TO THE ACCURACY OF THE LOCATION OF FEATURES OR DIMENSIONS THAT ARE SHOWN ON THIS PLAN. PLEASE REFER TO THE ORIGINAL PLANS FOR THOSE PURPOSES.



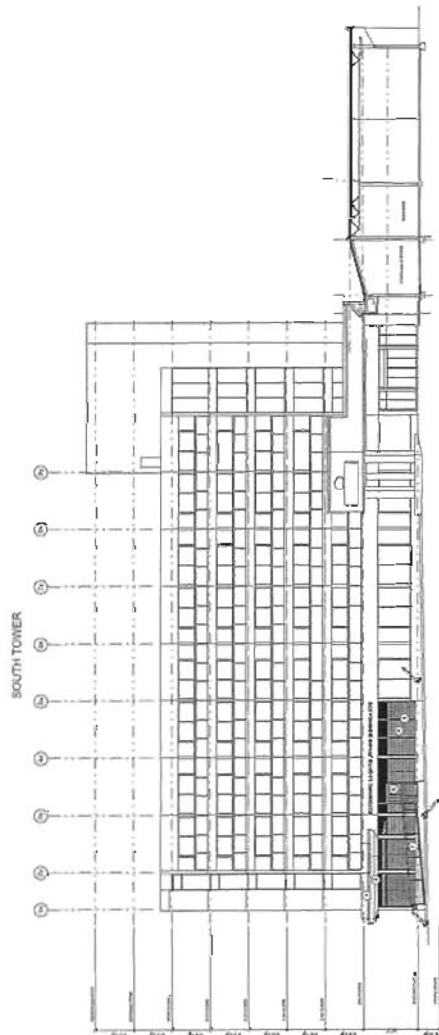
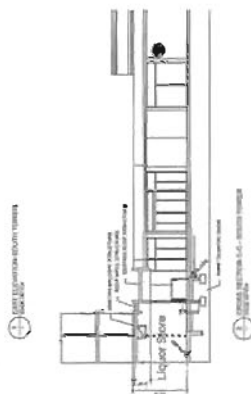


SECTION A-A



PROJECT	NAME	DATE	SCALE	BY	CHECKED	APPROVED	DATE
WEST TOWER	CONFERENCE ROOM #1	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
SOUTH TOWER	CONFERENCE ROOM #2	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
WEST TOWER	CONFERENCE ROOM #3	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
SOUTH TOWER	CONFERENCE ROOM #4	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
WEST TOWER	CONFERENCE ROOM #5	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
SOUTH TOWER	CONFERENCE ROOM #6	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
WEST TOWER	CONFERENCE ROOM #7	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
SOUTH TOWER	CONFERENCE ROOM #8	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
WEST TOWER	CONFERENCE ROOM #9	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013
SOUTH TOWER	CONFERENCE ROOM #10	2013	1/8" = 1'-0"	J. L. LEE	J. L. LEE	J. L. LEE	09/04/2013

Plan 5 Sept 4, 2013  
DP 13-634493

[illegible]

UNIVERSITY OF CALIFORNIA LIBRARY 100 S. PUEBLO BLVD. ANIMAS CAMPUS SAN JOSE, CA 95128-0001 TEL: (415) 925-2100 FAX: (415) 925-2101		DATE 11/11/81		TIME 11:00 AM		NAME JAMES A. HARRIS		ADDRESS 100 S. PUEBLO BLVD. ANIMAS CAMPUS SAN JOSE, CA 95128-0001		PHONE (415) 925-2100		FAX (415) 925-2101		COMMENTS 100 S. PUEBLO BLVD. ANIMAS CAMPUS SAN JOSE, CA 95128-0001	
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