



## Development Permit Panel

Council Chambers, City Hall  
6911 No. 3 Road

Wednesday, October 12, 2016  
3:30 p.m.

### Minutes

*Motion to adopt the minutes of the Development Permit Panel meeting held on August 24, 2016.*



1. **Development Permit 11-564405 - General Compliance Ruling**  
(REDMS No. 5159724 v. 2)

APPLICANT: Dava Development Ltd.

PROPERTY LOCATION: Portions of 10111, 10197 & 10199 River Drive (formerly  
Portions of 10111 & 10199 River Drive)

### Director's Recommendations

- That the attached plans involving changes to the design of building "G" (addressed as 10177 River Drive), drive aisle and parkade entry be considered in General Compliance with the approved Development Permit (DP 11-564405).*



2. **Development Permit 13-633035**  
(REDMS No. 4741465)

APPLICANT: Gerry Blonski

PROPERTY LOCATION: 7088 Heather Street

ITEM

**Director's Recommendations**

*That a Development Permit be issued which would:*

1. *Permit the construction of four (4) three-storey townhouse units at 7088 Heather Street on a site zoned "High Density Townhouses (RTH2)"; and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area in the "High Density Townhouse (RTH2)" zone from 1,800 m<sup>2</sup> to 1,000 m<sup>2</sup>.*



**3. Development Permit 15-708644**

(REDMS No. 5129866 v. 2)

APPLICANT: Yamamoto Architecture Inc.

PROPERTY LOCATION: 7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue

**Director's Recommendations**

*That a Development Permit be issued which would:*

1. *Permit the construction of 43 townhouse units at 7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue on a site zoned "Medium Density Townhouses (RTM3)"; and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
  - (a) *Reduce the exterior side yard setback from 6 m to 5.2 m for the northeast building.*
  - (b) *Reduce the front yard setback from 6 m to 4.5 m along the south side of the new east west road.*



**4. New Business**

**5. Date of Next Meeting: October 26, 2016**

**6. Adjournment**



**Development Permit Panel  
Wednesday, August 24, 2016**

Time: 3:30 p.m.  
Place: Council Chambers  
Richmond City Hall  
Present: Catherine Volkering Carlile, Chair  
Serena Lusk, Senior Manager, Recreation and Sports Services  
Peter Russell, Senior Manager, Sustainability and District Energy

The meeting was called to order at 3:30 p.m.

**Minutes**

It was moved and seconded

*That the minutes of the meeting of the Development Permit Panel held on July 13, 2016, be adopted.*

**CARRIED**

**1. Development Permit 10-521415**  
(REDMS No. 4707564)

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 6551 Williams Road (formerly 6511/6531 and 6551/6553 Williams Road)

**INTENT OF PERMIT:**

1. Permit the construction of 13 townhouse units at 6551 Williams Road (formerly 6511/6531 and 6551/6553 Williams Road) on a site zoned "Low Density Townhouses (RTL3)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to permit seven (7) small car parking spaces.

## **Development Permit Panel**

### **Wednesday, August 24, 2016**

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#### **Applicant's Comments**

Matthew Cheng, Matthew Cheng Architect Inc., provided background information on the proposed development and highlighted the following:

- the proposed 13-unit townhouse development consists of two buildings at the front (along Williams Road) and three pairs of two-storey duplexes at the rear;
- the end unit of the east building (Building B) along Williams Road adjacent to the single-family homes to the east is stepped down from three to two storeys;
- the proposed development is designed to match the scale of its single-family neighbourhood;
- the proposed heritage colours and exterior cladding materials such as fiber cement siding, shingles and bricks are consistent with the character of the existing neighbourhood;
- the increased 6-meter rear yard setback provides a generous outdoor space for the rear units;
- two trees in the front yard and one tree located on the adjacent property to the north are proposed to be retained; a portion of the rear yard of two units fronting the retained tree, on the neighbouring property to the north, will be stepped down by approximately two feet to provide usable outdoor space and protection to the tree's root system;
- a parking variance is requested by the applicant to allow one small car stall in each of the seven side-by-side double car garages;
- all indoor residential garages are provided with electric vehicle charging receptacles;
- the project is designed to achieve EnerGuide 82 rating and includes pre-ducting for solar hot water heating;
- sustainability and aging-in-place features are incorporated into the project; and
- one convertible unit is provided for the townhouse development.

David Rose, PD Group Landscape Architecture Ltd., briefed the Panel on the proposed landscaping, noting that (i) a 12-inch high retaining wall and two landscape steps are provided to create a sunken area to protect the tree located on the adjacent property to the north, (ii) columnar trees will be planted along the side property lines, (iii) the front yards of front units and the rear yards of the back units are fully landscaped, (iv) permeable paving surface treatment is introduced on the entrance driveway, internal drive aisle and visitor parking, (v) compacted gravel pathway is provided between buildings, (vi) landscaping is incorporated on the internal drive aisle, (vii) the proposed entrance to the driveway is skewed to provide a small landscape area for soft entry into the townhouse development, and (viii) the outdoor amenity space provides for play equipment for toddlers, resilient surface paving, seating, and lawn areas.



## Development Permit Panel

### Wednesday, August 24, 2016

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#### Staff Comments

Wayne Craig, Director, Development, advised that there will be a Servicing Agreement for frontage improvements along Williams Road including storm sewer upgrades and site service connections.

#### Panel Discussion

In response to queries from the Panel, Mr. Cheng acknowledged that the project's target of a minimum of 15 percent weight of construction waste materials to be diverted from waste stream was referenced from Build Green Canada standards.

In response to queries from the Panel, Mr. Rose and Mr. Cheng noted that (i) columnar trees will be planted in the outdoor play area and (ii) aging-in-place features will be incorporated in all townhouse units.

In response to a query from the Panel, Mr. Craig confirmed that (i) the subject development's internal drive aisle provides for future connections to the neighbouring properties to the east and west secured by statutory right-of-way (SRW), and (ii) three properties have direct interface with the north property line of the subject development.

#### Correspondence

Jinhe Pan, 6470 Sheridan Road (Schedule 1)

In response to the concerns expressed by the residents of 6470 Sheridan Road, Mr. Craig commented that (i) the proposed 6-meter rear yard setback to the duplex buildings meets the site's zoning requirements and Arterial Road Guidelines for Townhouses in the Official Community Plan, and (ii) the architectural drawings submitted by the applicant show that the heights of the majority of the roof forms of the duplex buildings are significantly lower than a three storey building.

#### Gallery Comments

None.

#### Panel Decision

It was moved and seconded

*That a Development Permit be issued which would:*

1. *Permit the construction of 13 townhouse units at 6551 Williams Road (formerly 6511/6531 and 6551/6553 Williams Road) on a site zoned "Low Density Townhouses (RTL3)"; and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to permit seven (7) small car parking spaces.*

**CARRIED**

**Development Permit Panel**  
**Wednesday, August 24, 2016**

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**2. Development Variance 15-718208**  
(REDMS No. 5089208)

APPLICANT: James and Sonal Leung

PROPERTY LOCATION: 11400 Kingfisher Drive

INTENT OF PERMIT:

Vary the maximum lot coverage permitted under "Land Use Contract (006) Bylaw No. 2938" from 33% to 40% to permit the construction of a new two-storey single detached dwelling at 11400 Kingfisher Drive.

**Applicant's Comments**

Jim Toy, False Creek Design Group, with the aid of a visual presentation (attached to and forming part of these Minutes as Schedule 2), provided background information on the proposed development, noting that (i) the proposed single family home is designed to minimize the impact to its surrounding single-family neighbourhood, (ii) the massing is broken down through using varied materials and colours and altering the setbacks, (ii) the proposed height of the single-detached dwelling is 7.5 meters, which is lower than the permitted height under the Land Use Contract for the subject site and RS1/E zoning, and (iii) window openings are designed to minimize overlook into the adjacent side yards.

Keith Ross, K.R. Ross and Associates Landscape Architects, noted that (i) the proposed contemporary style of landscaping of the front yard matches the architecture of the proposed single-family dwelling, (ii) the front yard is landscaped with a mixture of materials, (iii) two new trees will be added in the front yard, (iii) existing trees in the rear yard are proposed to be retained and protected, (iv) the existing 6-foot high cedar fences are proposed to be retained in the rear and replaced in the north and south sides, (v) a 4-foot Hicks Yew hedging will replace the existing hedges in the front yard, and (vi) a concrete walkway at the south side connects the front yard to the rear yard of the proposed development.

**Staff Comments**

Mr. Craig clarified that the 9 meters maximum building height for RS1/E zoning only applies to buildings with a sloped roof while for buildings with a flat roof, the maximum permitted height is 7.5 meters. Mr. Craig further noted that the proposed single family dwelling has a flat roof and its proposed height is consistent with RS1/E zoning regulations.

Also, Mr. Craig noted the applicant's willingness to work with staff in the design review process and discuss the project's design with immediate neighbours.

In response to a query from the Panel, Mr. Craig confirmed that the applicant's neighbours have signified support to the proposed development.

## Development Permit Panel

### Wednesday, August 24, 2016

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#### Panel Discussion

In response to a query from the Panel, Mr. Toy acknowledged that energy efficiency will be incorporated into the design of the proposed development.

#### Correspondence

██████████, ██████████ (Schedule 3)

In response to the concerns expressed by ██████████ in her letter to the Panel, Mr. Toy and Mr. Ross noted that (i) subject to verification, the proposed replacement fencing along the north property line appears to extend up to the last six feet of the existing cedar hedge as suggested by ██████████, and (ii) the project's contractor had advised that there is a possibility that the replacement fencing along the north property line will be damaged if installed prior to the demolition of existing structures and site preparation for the proposed development.

In response to ██████████ correspondence, Mr. Craig advised that (i) the applicant has confirmed in writing that the replacement fencing along the north property line will extend up to garden gate of ██████████, (ii) the applicant has expressed willingness to discuss with ██████████ regarding the timing of the installation of the replacement fencing at the north property line, and (iii) the proposed 4 feet high Hicks Yew hedging is consistent with the City's regulations on maximum fence height within the front yard.

#### Gallery Comments

None.

#### Panel Decision

It was moved and seconded

*That a Development Variance Permit be issued that would vary the maximum lot coverage permitted under "Land Use Contract (006) Bylaw No. 2938" from 33% to 40% to permit the construction of a new two-storey single detached dwelling at 11400 Kingfisher Drive.*

**CARRIED**

#### 3. Development Variance 16-732402 (REDMS No. 5059809)

APPLICANT: Jasbir Dhaliwal

PROPERTY LOCATION: 11871 Pintail Drive

## Development Permit Panel

### Wednesday, August 24, 2016

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#### INTENT OF PERMIT:

Vary the maximum lot coverage permitted under “Land Use Contract (036) Bylaw No. 3173” from 33% to 40% to permit construction of a new two-storey single detached dwelling at 11871 Pintail Drive.

#### Applicant's Comments

Aman Dhaliwal, husband and representative of property owner Jasbir Dhaliwal, noted that the requested variance to allow a maximum lot coverage from 33 percent to 40 percent will enable their family of five to build a two-storey single-family home appropriate to their needs.

Jossy Sandjaja, Joss Design Inc., stated that a 40 percent lot coverage is necessary to build a two-storey single family dwelling with the design proposed by the applicant and to accommodate the number of rooms required by the applicant.

Keith Ross, K.R. Ross and Associates Landscape Architects, briefed the Panel on the proposed landscaping, noting that (i) additional trees are proposed to be planted for ornamental and screening purposes, (ii) low-lying mixed planting will be introduced at the southern edge of the driveway, (iii) a four-foot Yew hedge is proposed on the east side of the front yard, (iv) the existing hedges on the west side of the front yard and on the three sides of the rear yard are proposed to be retained, (v) existing trees in the rear yard are proposed to be retained and two trees will be added, (vi) existing cedar fencing along the rear and interior side yards are proposed to be retained, and (vii) the proposed concrete paving treatment of the driveway is consistent with the design of the proposed single-family dwelling.

#### Staff Comments

Mr. Craig commended the applicant for (i) working with City staff in coming up with a design for the proposed single-family dwelling that responds to RS1/E zoning requirements and (ii) working with their neighbours with regard to the design of the proposal. Also, Mr. Craig noted the letters of support submitted by all of the applicant's immediate neighbours.

#### Correspondence

Sonoko Takasaki (dated August 15, 2016), 11880 Pintail Drive ([Schedule 4](#))

Sonoko Takasaki, (dated June 13, 2016), 11880 Pintail Drive ([Schedule 5](#))

Albert Yap, 11851 Pintail Drive ([Schedule 6](#))

Peter Ozorio, 5660 Plover Court ([Schedule 7](#))

Ronald Bowers, 11891 Pintail Drive ([Schedule 8](#))

Kwok Chiu Simon Chan, 11860 Pintail Drive ([Schedule 9](#))

Michael Bradley, 5640 Plover Court ([Schedule 10](#))

## Development Permit Panel

Wednesday, August 24, 2016

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### Gallery Comments

None.

### Panel Decision

It was moved and seconded

*That a Development Variance Permit be issued that would vary the maximum lot coverage permitted under "Land Use Contract (036) Bylaw No. 3173" from 33% to 40% to permit construction of a new two-storey single detached dwelling at 11871 Pintail Drive.*

**CARRIED**

### 4. New Business

It was moved and seconded

*That the Development Permit Panel meeting scheduled on Wednesday, September 14, 2016, be cancelled.*

**CARRIED**

### 5. Date of Next Meeting: September 28, 2016

### 6. Adjournment

It was moved and seconded

*That the meeting be adjourned at 4:20 p.m.*

**CARRIED**

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, August 24, 2016.

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Catherine Volkering Carlile  
Chair

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Rustico Agawin  
Auxiliary Committee Clerk

Schedule 1 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

**CityClerk**

**From:** Jinhe Pan <jinhe.pan@gmail.com>  
**Sent:** Tuesday, 23 August 2016 11:32 PM  
**To:** CityClerk  
**Subject:** RE: Notice of Application For a Development Permit DP 10-521415

<b>To Development Permit Panel</b>	
Date:	Aug 24, 2016
Item #	1
Re:	DP 10-521415
	6551 Williams Rd

Dear City Clerk's Office,

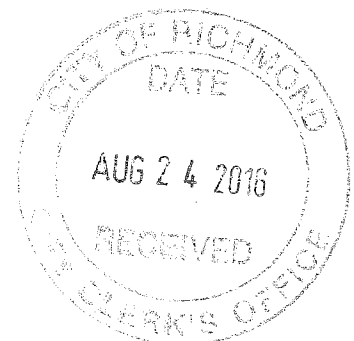
We are the residents of 6470 Sheridan road. We are writing in response to the development permit DP 10-521415 at 6551 Williams Road.

We would like to request that consideration be given to the height of the three pairs of two-storey duplexes. The proposed height of the two-storey buildings is equivalent to the three-storey buildings due to the design of very high roofs. This does not flow well with the adjacent houses, and significantly impacts the sun exposure to our property, including the back yard, front yard, and all south-facing windows of our house. Reducing the height of the roofs and increasing the setback to the north will reduce this problem and the privacy concerns.

Thank you for your consideration!

Best regards,

Pan's family

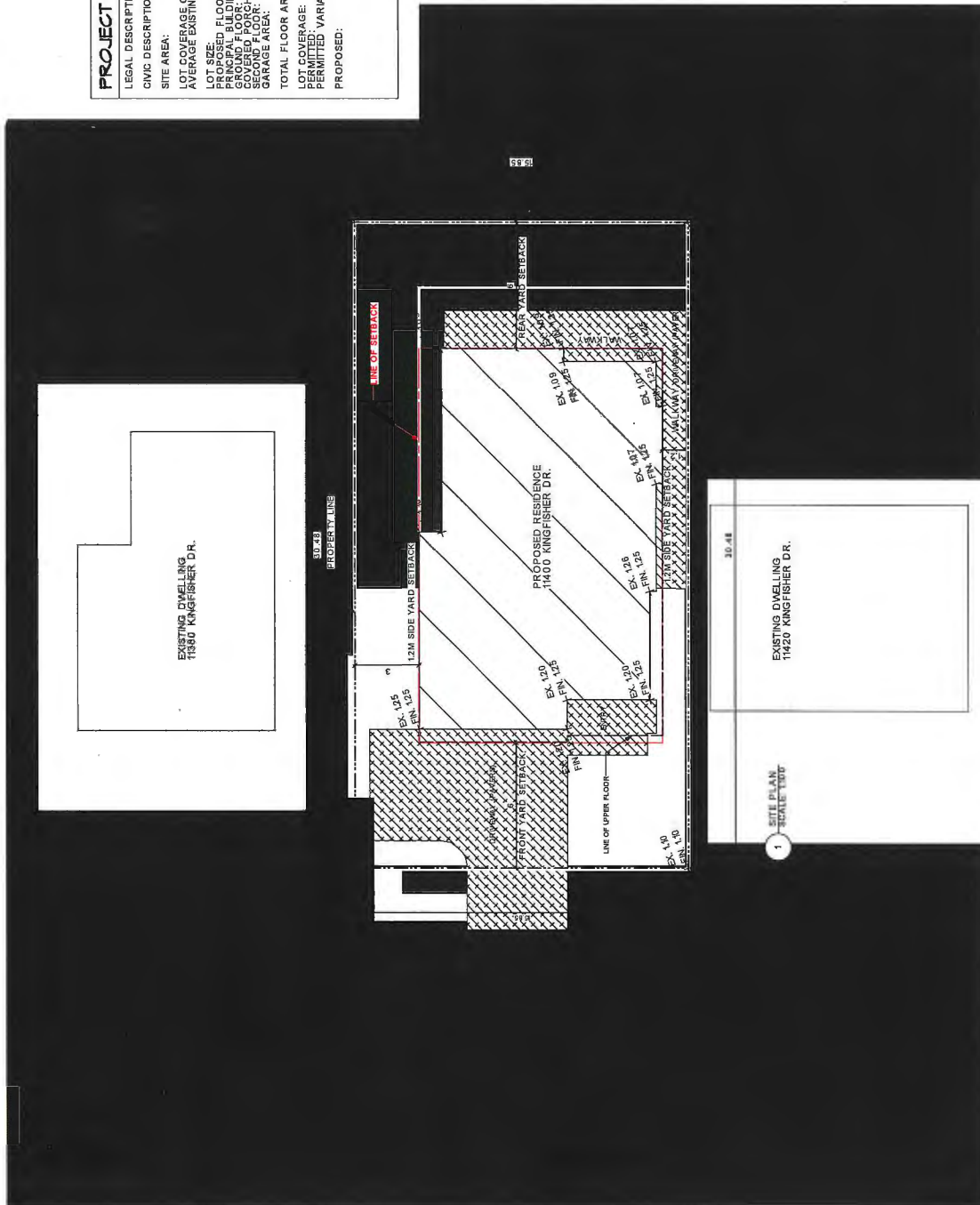


# 11400 KINGFISHER DRIVE

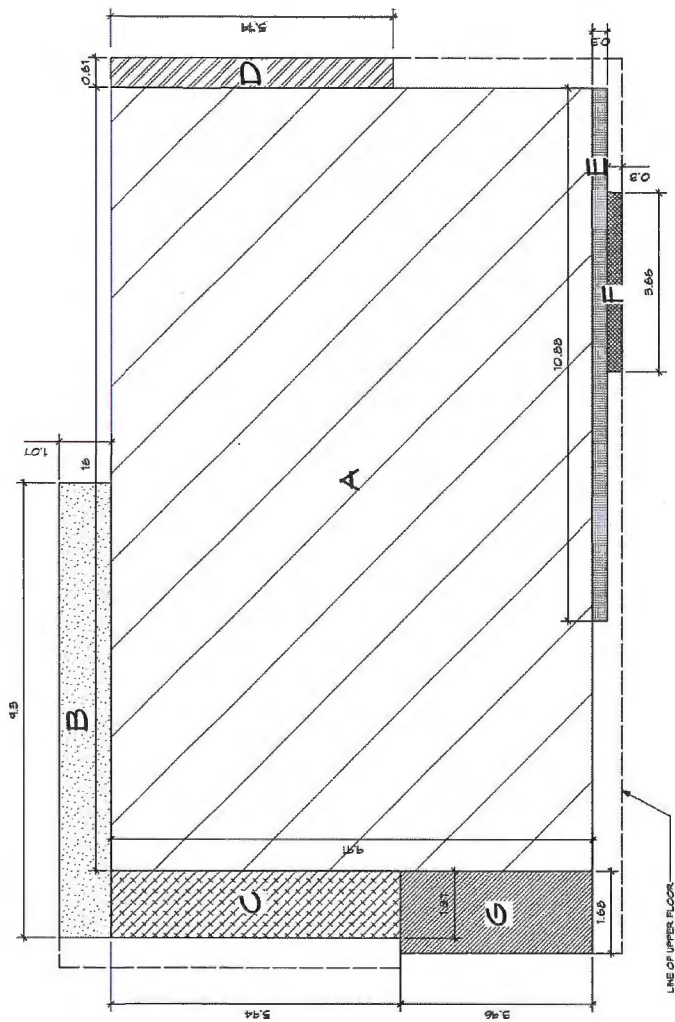
## DV 15-718208

PROJECT DATA

LEGAL DESCRIPTION: LOT 238, SEC 1 BLK 3 NORTH RANGE 7 WEST NMD PLAN 44568  
CIVIC DESCRIPTION: 1400 KINGFISHER DRIVE, RICHMOND, BC  
SITE AREA: 483.00 SQ.M (5200 SQ FT)  
LOT COVERAGE CALCULATION:  
AVERAGE EXISTING LOT GRADE: 10.4M  
REFER TO A1  
LOT SIZE: 483.00 SQ.M (5200 SQ FT)  
PROPOSED FLOOR AREAS:  
PRINCIPAL BUILDING:  
GROUND FLOOR: 135.00 SQ M (1456 SQ FT)  
SECOND FLOOR: 202.34 SQ M (2178 SQ FT)  
GARAGE AREA: 46.4 SQ M (501 SQ FT)  
TOTAL FLOOR AREA: 394.5 SQM (4246 SQ FT)  
LOT COVERAGE:  
PERMITTED: 33% = 159.42 SQ M (1716 SQ FT)  
PERMITTED VARIANCE: 40% = 193.23 SQ M (2086 SQ FT)  
PROPOSED: 39.57% = 191.18 SQ M (2069 SQ FT)





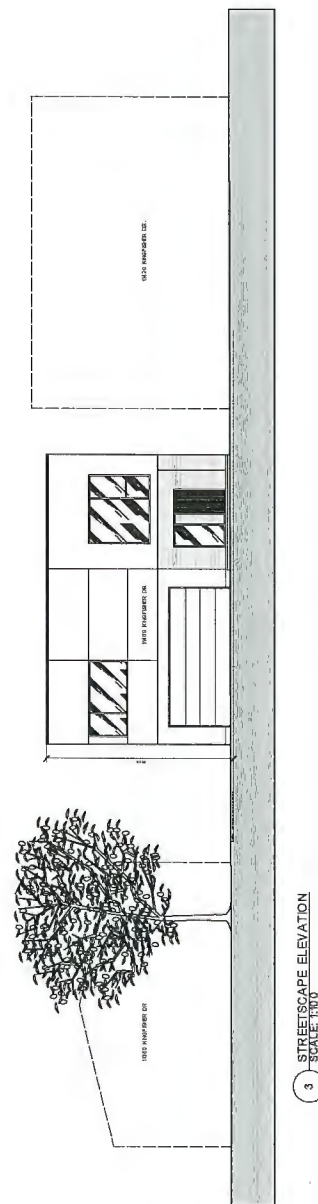
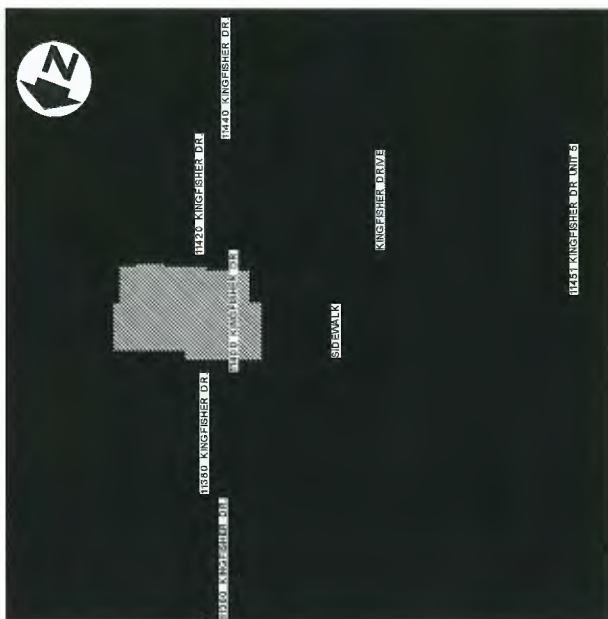


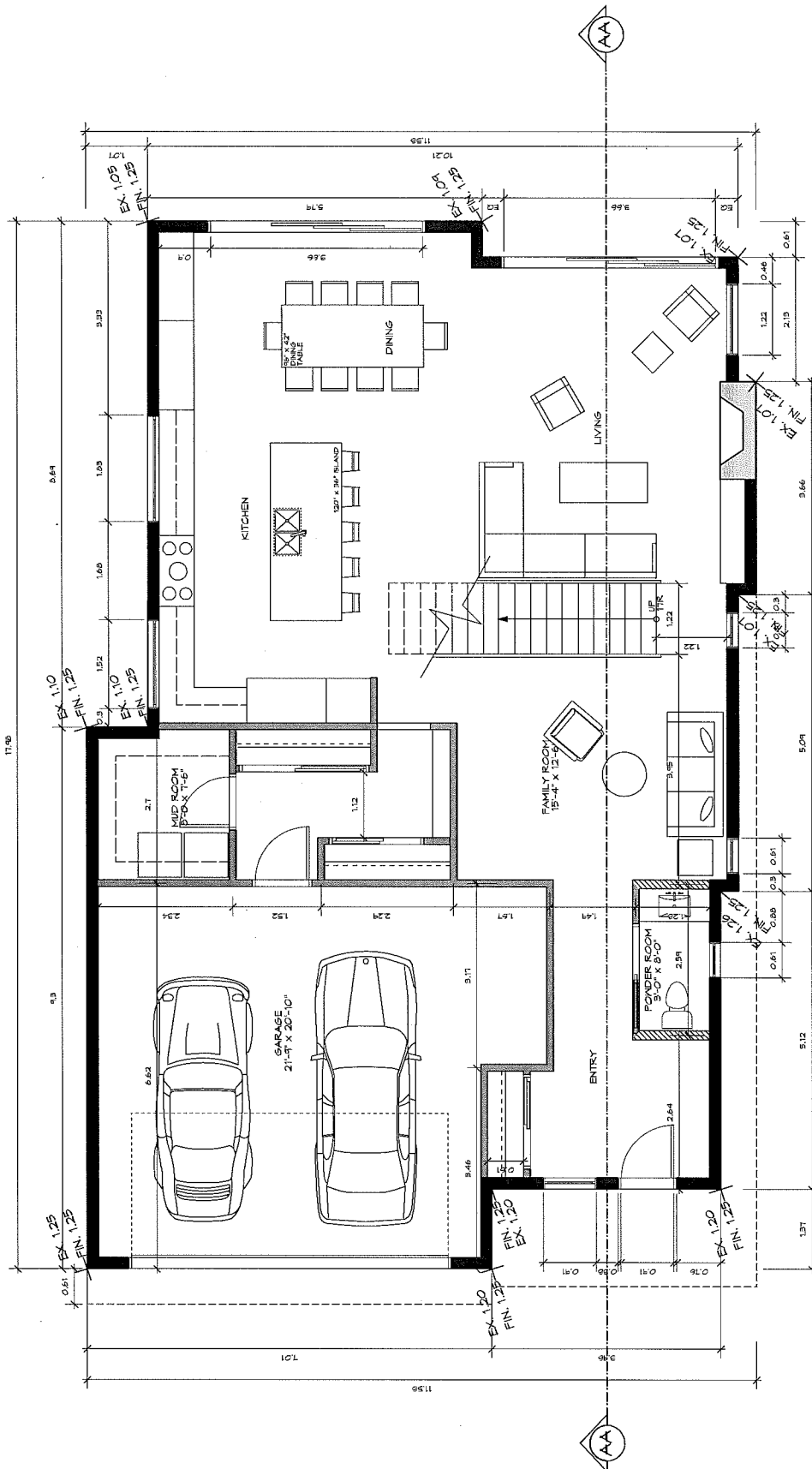
LOT COVERAGE CALCULATIONS		
A	16M X 9.91M	159.56 SQM
B	1.07M X 9.3M	9.95 SQM
C	1.37M X 5.44M	7.44 SQM
D	5.19M X 0.61M	3.17 SQM
E	10.68M X 0.34M	3.63 SQM
F	5.66M X 0.3M	1.69 SQM
G	3.96M X 1.69M	6.69 SQM
TOTAL AREA		191.15 SQM

1 LOT COVERAGE PLAN  
SCALE 1:50



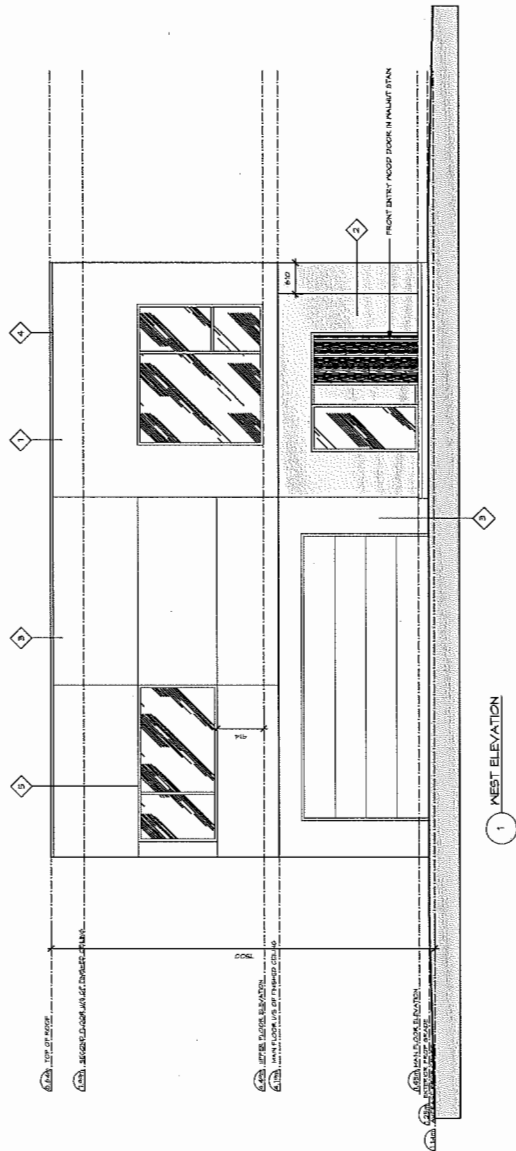
2 WEST ELEVATION - RENDERING  
SCALE 1:50





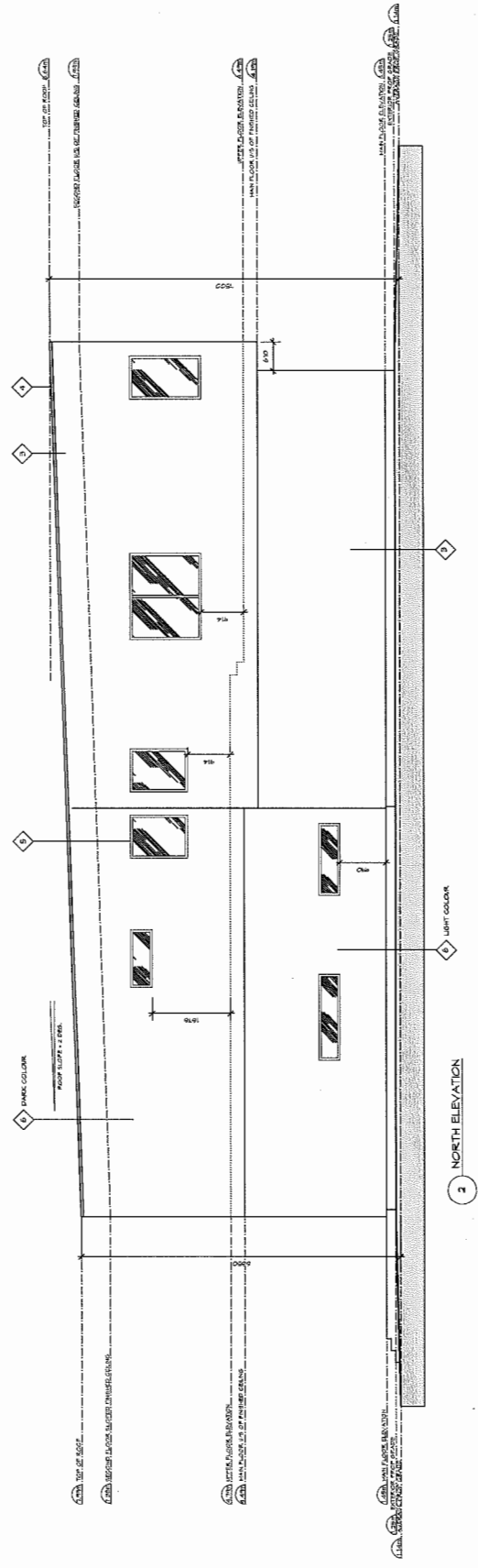
1 GROUND LEVEL  
SCALE: 1/8" = 1'-0"





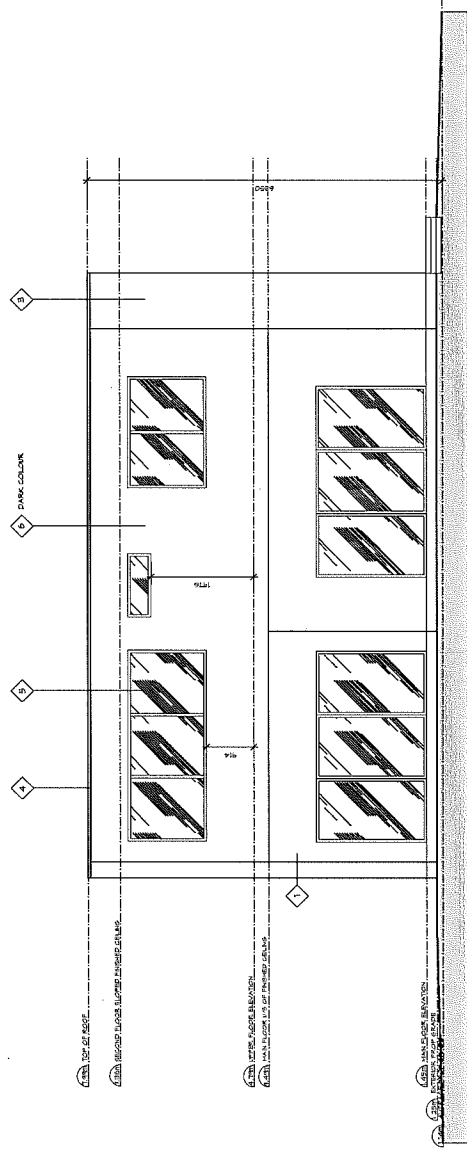
1 WEST ELEVATION

MATERIALS LIST	
1	ALUMINUM SIDING
2	PORCELAIN TILE
3	FIBRE CEMENT PANEL
4	ANODIZED METAL DRIP CAP
5	VINYL WINDOW
6	ACRYLIC STEGGO



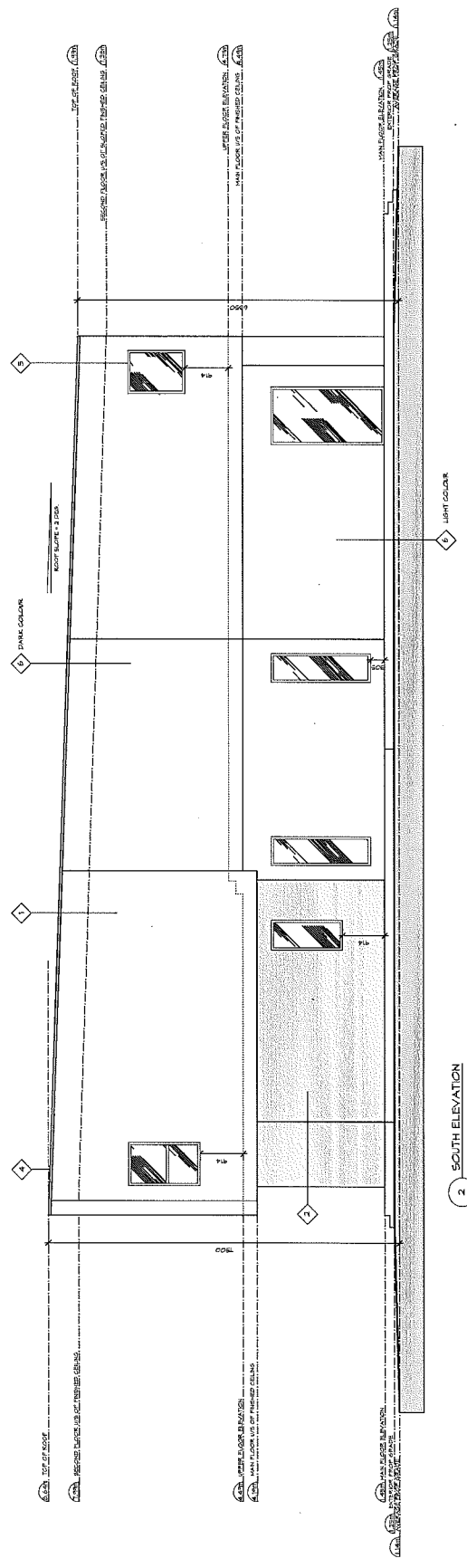
2 NORTH ELEVATION

SPATIAL CALCULATIONS  
 WALL AREA 129.65 SQM  
 LIMITING DISTANCE 122m  
 PERMITTED OPENINGS 9.08 SQM (7%)  
 PROPOSED OPENINGS 8.50 SQM



1 EAST ELEVATION

MATERIALS LIST	
1	ALUMINUM SIDING
2	PORCELAIN TILE
3	FIBRE CEMENT PANEL
4	ANODIZED METAL DRIP CAP
5	VINYL WINDOW
6	ACRYLIC STUCCO

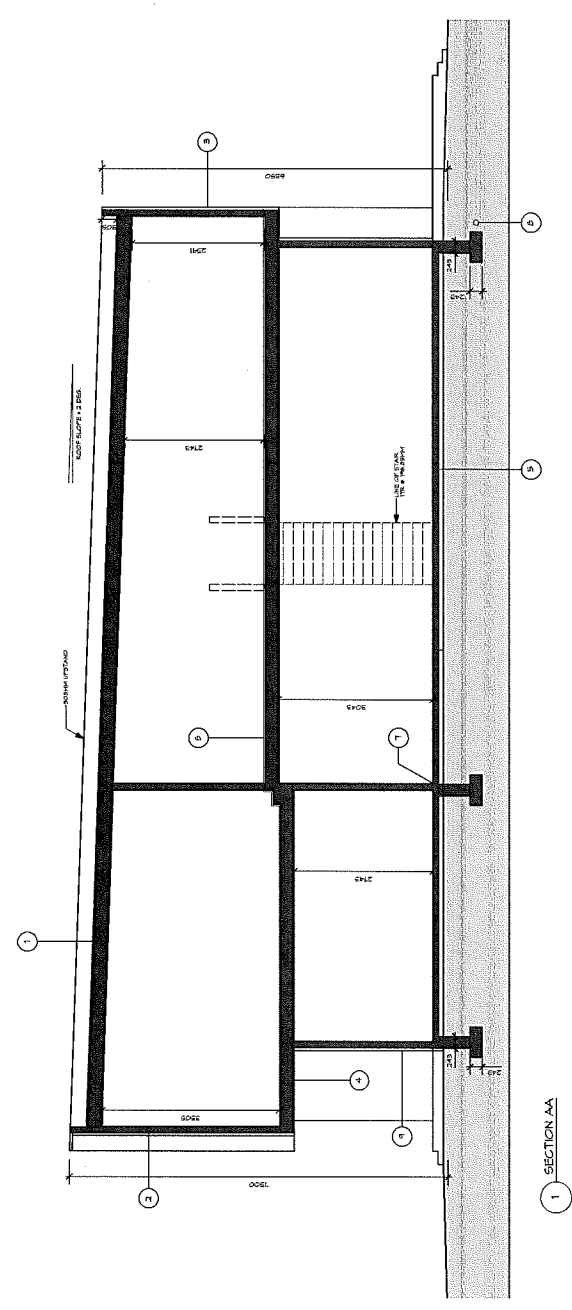


2 SOUTH ELEVATION

SPATIAL CALCULATIONS  
 WALL AREA 129.65 SQM  
 LIMITING DISTANCE 3.60m  
 PERMITTED OPENINGS 9.02 SQM (7%)  
 PROPOSED OPENINGS 9.04 SQM

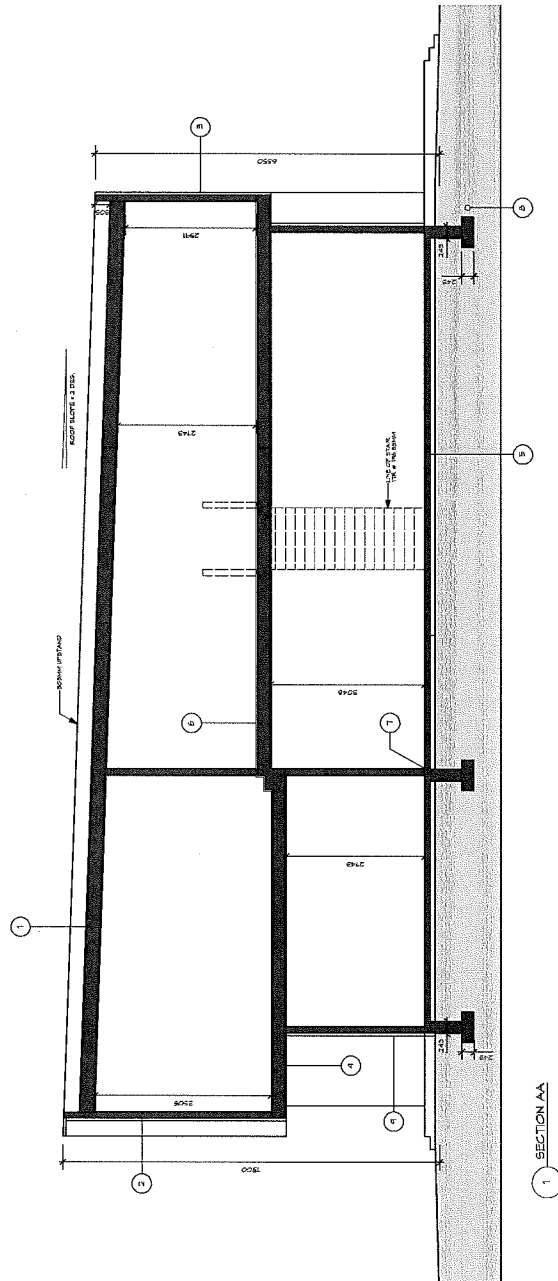
# ASSEMBLIES

1. 2x6 STUDS ON ROOFING MEMBRANE  
- 2x6 STUDS ON ROOFING MEMBRANE  
- 1/2" TYP. 6" ON CENTER  
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## ASSEMBLIES

- [illegible]

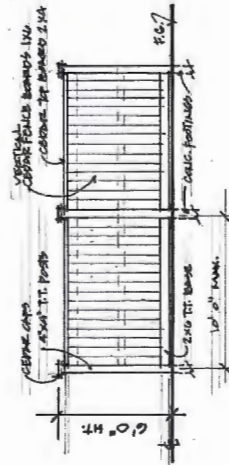




Key	Scientific Name	Common Name	Qty	Size / Notes
AP	<b>TREES:</b> Acer palmatum "Bloodgood"	Bloodgood Japanese Maple	1	8 cm cal. BAB Multi-stem Multi-trunk
	CK	Coronilla varia chamaejas "Stonor"	1	8 cm cal. BAB standard
<b>SHRUBS &amp; GRASSES</b>				
EO	Erica carnea Springwood White	White Winter Flowering Heather	13	82 pot
BO	Blueberry sensiphiens	Blue Cloud Blue Cloud	6	82 pot 45cm o.c.
La	Laricina angustifolia "Hidcote"	English Lavender	15	82 pot
Sj	Spiraea bumalda	Goldflame Spiraea	3	82 pot
Tx	Taxus x media "Hicksii"	Hicks Yew Hedge	21	1.3M tall. BABS
<b>GROUND COVERS:</b>				
Ja	Podalyria terminalis	Japanese Spurge	70	10cm pot 30cm DC

Total Site Area	5,200 sq. ft.
Total Hard Surfaces Proposed (incl. house, driveway, walkways, patio)	3,315 sq. ft.
Total Live Plants Area Proposed	1,885 sq. ft. = 36 %
Minimum Allowable Live Plants Area	30% = 1,560 sq. ft.

<b>GENERAL:</b>	<ul style="list-style-type: none"> <li>• Locate all underground and overhead utilities on site prior to start of work.</li> <li>• Refer to Architectural and Civil plans to confirm final grades and site drainage requirements.</li> </ul> <p><b>EXISTING CONDITIONS:</b></p> <ul style="list-style-type: none"> <li>• Retain and protect all existing trees to remain on this site and adjacent properties during construction (to City of Richmond standards).</li> </ul> <p><b>PLANTING AREAS:</b></p> <ul style="list-style-type: none"> <li>• All landscape materials, products, and installation to conform to the standards of the BCSCA, A.W.C. &amp; S.W.A.</li> <li>• Contractor to provide one year warranty on all plant material and leaved plants.</li> <li>• All planting beds to have a 2" deep mulch layer of Hemlock/Douglas fir mulch on 18" deep approved topsoil growing medium. Provide approved edge material for beds adjacent to lawn areas.</li> <li>• All trees to be planted and installed in 2" deep approved topsoil.</li> </ul> <p><b>PAVING AREAS:</b></p> <ul style="list-style-type: none"> <li>• Concrete parking areas for driveway, walkways, and patios to be cast in place concrete – natural color with broom finish.</li> <li>• Concrete driveway slopes to be approved percent slopes, or CIP concrete driveway to be approved with 4" spacing between slabs.</li> </ul> <p><b>RIVER ROCK BORDERS:</b></p> <ul style="list-style-type: none"> <li>• River rock border to be 1' 1/2" x 3" diameter smooth, round, river stones to approved. Install 6" deep on approved weed barrier fabric. Install T.T.</li> <li>• Landscape fabric to be 30" x 36" diameter, rounded black granule only.</li> <li>• No sharp edges or split faces; place 1/3 to 1/2 mass below grade.</li> </ul> <p><b>FENCES:</b></p> <ul style="list-style-type: none"> <li>• All wood fence and gates to be cedar wood with 2 coats of approved stain.</li> <li>• Use galvanized and/or stainless steel hardware (nails, screws, brackets, hinges, fittings, etc.) to provide rust proof connections.</li> <li>• Wood fence posts to be preservative treated and installed in concrete footing.</li> </ul>
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**Fence Detail – Vertical**  
(N.T.S.)

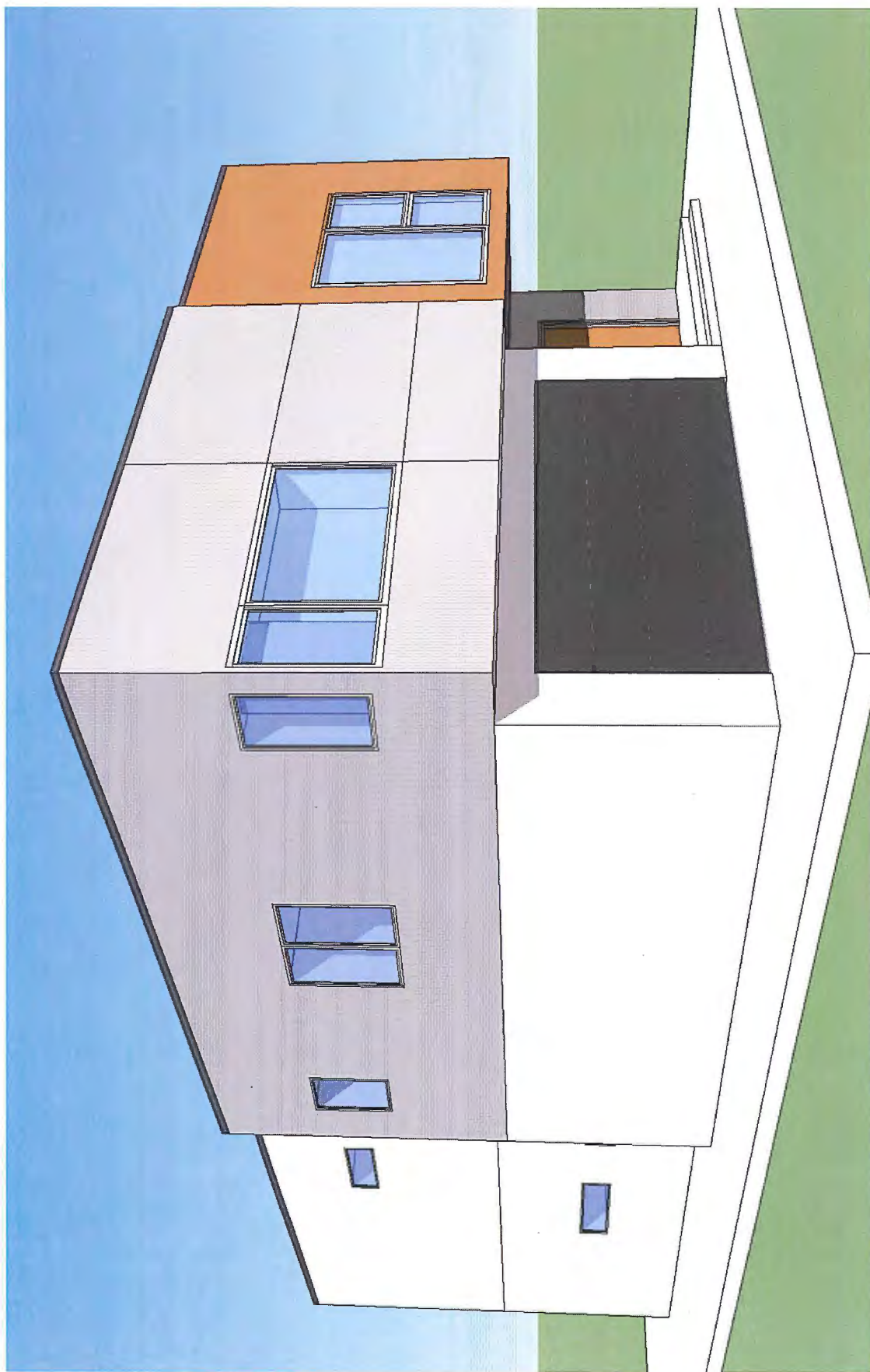


PERSPECTIVE VIEW – LOOKING EAST



PERSPECTIVE VIEW – LOOKING NORTH EAST





PERSPECTIVE VIEW – LOOKING SOUTH EAST

Schedule 3 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

18<sup>th</sup> August, 2016

To Development Permit Panel	
Date:	Aug 24, 2016
Item #	2
Re:	DV 15-718208
	11400 Kingfisher Dr

Honorable Members of the Development Variance panel,

I am writing to you about DV15-718208 . I live in [REDACTED] which is to the immediate north side of the lot where a variance has been requested.. I have met with the applicants Sonal and James Leung and also had a chance to look at the plans for the proposed new home on 11400 Kingfisher Drive with Ms Lussier, the city planner in charge of reviewing the application. Overall I am in favor of granting the applicants the variance to increase the lot coverage to 40% in order to built a 2-storey home.

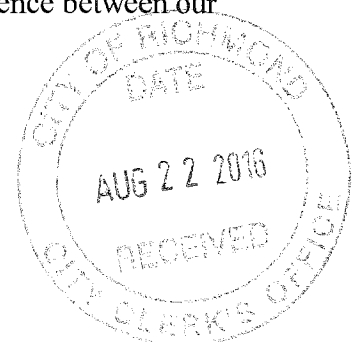
I would like to thank the applicants for considering the neighboring properties (including mine) and choosing not to build a 3-storey home. I know that the city staff as well as the applicants have spent a lot of effort, resources and good will into keeping the maximum height of their home in line with the height of the existing homes around them.

The one aspect of the new construction that I have some lingering concerns about is the removal of the existing Cedar hedge on the north side of 11400 Kingfisher drive (shared as a boundary between my home and the proposed new home). The applicants have proposed to replace the tall cedar hedge with Hicks Yew and let it grow to four feet as four feet is the permitted height of the barrier (fence or hedge) between properties in the front yard . I just want to bring to the notice of the variance panel members that the existing cedar hedge runs 39/40 feet along the boundaries of our homes and hence it runs much deeper than the front yard setback which is 20 feet on our lots.

I am requesting that the last six feet of the existing Cedar hedge (upto my red garden gate from the back of the property), be replaced by a fence panel instead of being re-planted with Hicks Yew (the proposed hedge plant in the applicants' landscaping plan). Currently the last six feet or so of the existing cedar hedge functions as the main barrier between our properties and is part of my side yard/ garden . **Please see the attached picture for details.**

Replacing the entire length of the existing cedar hedge with Hicks yew will negatively impact the level of noise and privacy in my garden as the current length of the hedge runs much beyond the front yard and into my side yard . Hicks Yew is a slow growing material and will likely take a long time to grow even to its maximum four feet height. Kingfisher drive is a busy street with Westwind elementary school right opposite our homes. A shorter and slow growing hedge will allow a lot more unwanted noise and visual access into my side yard and garden.

By extending the length of the backyard fence by one panel, I will still have a privacy barrier between our properties and my side yard and garden will be impacted less during the 4-6 months of construction and demolition. Also I would like that part of my side yard to have a 6 foot barrier rather than a short 4 foot hedge as it is not part of the front yard in my home and is set much further than the 20 foot front yard setback stipulated by city bylaws. I would be willing to pay for this additional cost. I am also willing to share the cost of replacing the fence between our properties as it is a shared fence.



My second request is that the fence that needs to be replaced should be one of the first things to be put up between the properties so that my house and garden can have some separation and privacy during the 4-6 months of demolition and construction.

My last request is that if possible the new plant material for the hedge be fast growing. I went to a local nursery for some advice about a fast growing hedge material and have communicated to the applicants via e-mail some suggestions for a faster growing hedge material.

Thank you.

Sincerely,

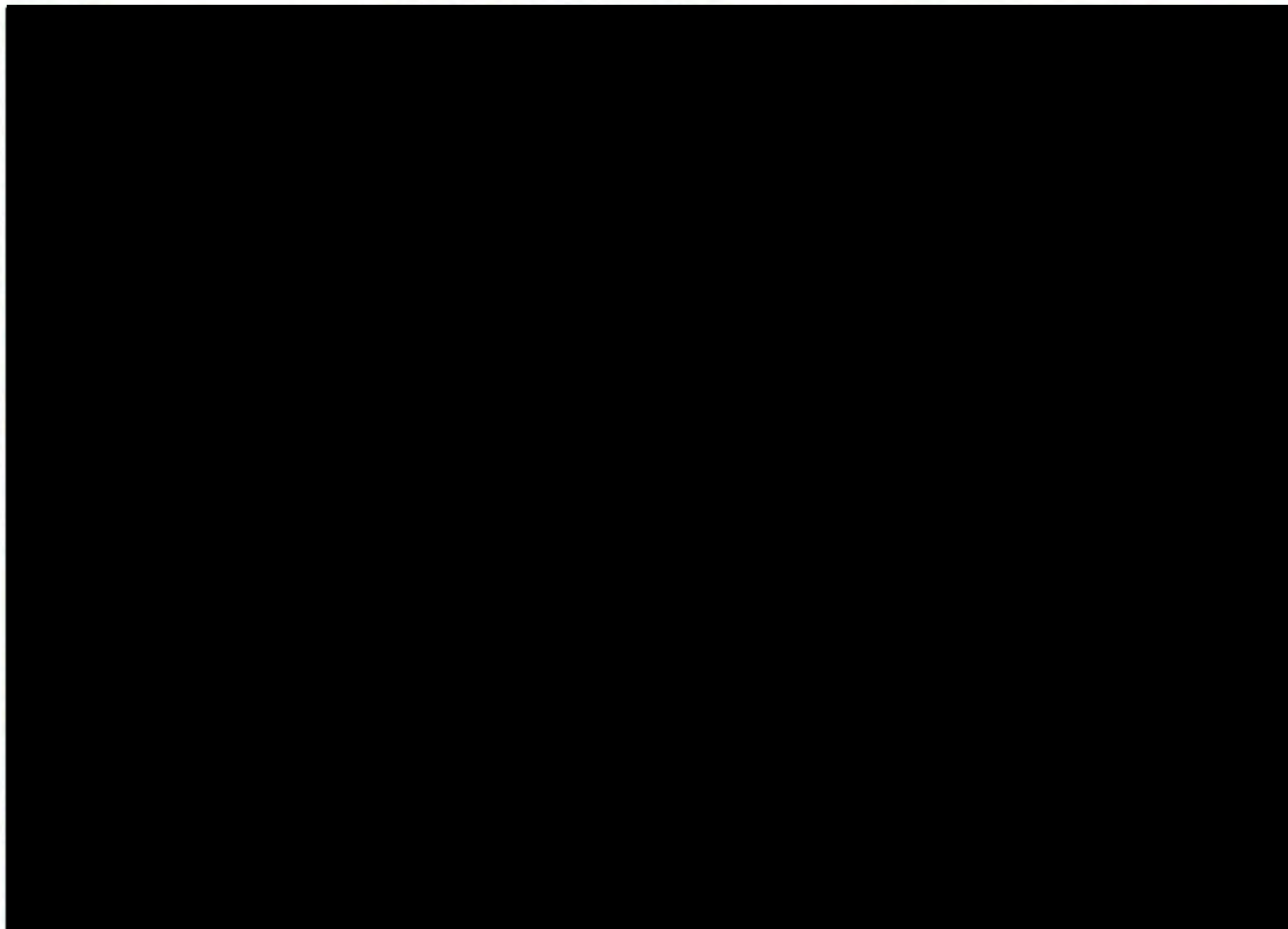
[Redacted signature]

[Redacted line]

[Redacted line]



SIDEYARD [REDACTED] [REDACTED] [REDACTED] ; LAST SIX FEET OF THE  
CEDAR HEDGE FROM INSIDE THE SIDE-YARD



CEDAR HEDGE FROM THE FRONT YARD :





To Development Permit Panel	
Date:	Aug 24, 2016
Item #	3
Re:	DV 16-732402 11871 Pintail Dr.

Aug 15, 2016

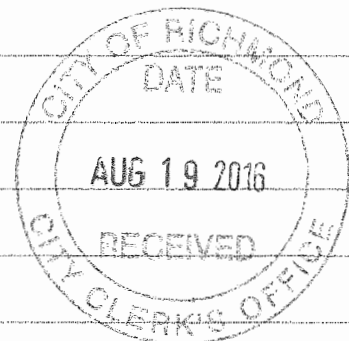
City of Richmond  
Development Variance Permit,

In answer to the letter I received  
I, Sonoka Takasaki of 11880 Pintail  
Dr, in question of a two storey  
single dwelling using 40% of the  
property 11871 Pintail Dr.

I have talked with the builder  
Jasbir Dhalival and okayed for  
him to build.

Sorry unable to attend at the meeting.

S. Takasaki



Schedule 5 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

<b>To Development Permit Panel</b>
Date: <u>Aug 24, 2016</u>
Item # <u>3</u>
Re: <u>DV 16-732402</u>
<u>11871 Pintail Dr.</u>

Development Variance Application Letter

I, SONOKO TAKASAKI, owner of 11880 PINTAIL DR. am  
writing to confirm my support of the variance application that has been applied for  
by Jas and Aman Dhaliwal at 11871 Pintail Drive. Our house is  
OKAY. We understand that the Dhaliwal family is planning  
to have a two story house with the maximum height to be at 9.0M. changing coverage  
to 33% to 40%

Additional comments:

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S. TAKASAKI  
Name

S. Takasaki  
Signature

JUNE 13/2016.  
Date



778-323-5860

Schedule 6 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

<b>To Development Permit Panel</b>
Date: <u>Aug 24, 2016</u>
Item # <u>3</u>
Re: <u>DV 16-732402</u>
<u>11871 Pintail Dr.</u>

Development Variance Application Letter

I, Albert Yap (11851 PINTAIL DR.)  
Have reviewed the proposed house plan for 11871 Pintail Drive presented by Aman  
and Jas Dhaliwal. I acknowledge that the house requires a Development Variance  
Permit for site coverage from 33% to 40%.

I have no concerns with the proposed house design or site coverage.

Name Albert Yap  
Signature [Signature]  
Date June 28, 2016



Schedule 7 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

<b>To Development Permit Panel</b>
Date: <u>Aug 24, 2016</u>
Item # <u>3</u>
Re: <u>DV 16-432402</u>
<u>11871 Pintail Dr.</u>

Development Variance Application Letter

I, PETER OZORIO, 5660 Plover Court,

Have reviewed the proposed house plan for 11871 Pintail Drive presented by Aman and Jas Dhaliwal. I acknowledge that the house requires a Development Variance Permit for site coverage from 33% to 40%.

I have no concerns with the proposed house design or site coverage.

Name PETER OZORIO  
Signature [Signature]  
Date JUNE 11, 2016



Schedule 8 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

To Development Permit Panel	
Date:	Aug 24, 2016
Item #	3
Re:	DV 16-732402
	11871 Pintail Dr.

Development Variance Application Letter

I, RONALD BOWERS / 11871 PINTAIL DR

Have reviewed the proposed house plan for 11871 Pintail Drive presented by Aman and Jas Dhaliwal. I acknowledge that the house requires a Development Variance Permit for site coverage from 33% to 40%.

I have no concerns with the proposed house design or site coverage.

Name RONALD BOWERS  
Signature [Signature]  
Date JUNE 15 / 2016



Schedule 9 to the Minutes of the  
Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

<b>To Development Permit Panel</b>
Date: <u>Aug 24, 2016</u>
Item # <u>3</u>
Re: <u>DV 16-732402.</u>
<u>11871 Pintail Dr.</u>

Development Variance Application Letter

I, Kwok Chiu Simon Chan (11860 Pintail Dr.)  
Have reviewed the proposed house plan for 11871 Pintail Drive presented by Aman  
and Jas Dhaliwal. I acknowledge that the house requires a Development Variance  
Permit for site coverage from 33% to 40%.

I have no concerns with the proposed house design or site coverage.

Name \_\_\_\_\_  
Signature [Signature] (Agent: 778-877-0878)  
Date June 16, 2016

Aman Dhaliwal  
a.dhaliwal@me.com



Schedule 10 to the Minutes of  
the Development Permit Panel  
meeting held on Wednesday,  
August 24, 2016.

**To Development Permit Panel**

Date: Aug 24, 2016

Item # 3

Re: DV 16-732402

11871 Pintail Dr.

Development Variance Application Letter

I, MICHAEL BRADLEY (15640 Plank Ct)

Have reviewed the proposed house plan for 11871 Pintail Drive presented by Aman  
and Jas Dhaliwal. I acknowledge that the house requires a Development Variance  
Permit for site coverage from 33% to 40%.

I have no concerns with the proposed house design or site coverage.

Name MICHAEL BRADLEY

Signature [Signature]

Date 06-17-16



Aman

778-323-5866



# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** September 21, 2016

**From:** Wayne Craig  
Director, Development

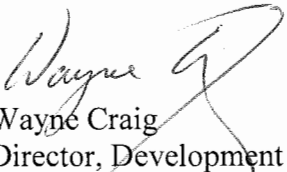
**File:** DP 11-564405

**Re:** Application by Dava Development Ltd. for a General Compliance Ruling at Portions of 10111, 10197 & 10199 River Drive (formerly Portions of 10111 & 10199 River Drive)

---

### Staff Recommendation

1. That the attached plans involving changes to the design of building "G" (addressed as 10177 River Drive), drive aisle and parkade entry be considered in General Compliance with the approved Development Permit (DP 11-564405).

  
Wayne Craig  
Director, Development

SB:blg  
Att. 3



## **Staff Report**

### **Origin**

Dava Development Ltd. has requested a General Compliance Ruling regarding a portion of the previously issued Development Permit (DP 11-564405) for proposed development on a portion of 10111, 10197 and 10199 River Drive (formerly portions of 10111 & 10199 River Drive) (Attachment 1), which was endorsed by the Development Permit Panel at its meeting held on April 11, 2012 and approved by Council on July 24, 2012. The approved Development Permit was for the first phase of the overall Parc Riviera development.

The proposed changes to the approved Development Permit include modifications to building "G" (addressed as 10177 River Drive) and proposed localized changes to the landscaping design in the area surrounding the building, drive aisle and parkade entry. Copies of the relevant approved plans (Attachment 2) and the plans outlining proposed changes (Attachment 3) are attached to this report.

### **Background**

Development surrounding the subject site is as follows:

- To the North and West, are City park and City dike along the north arm of the Fraser River; which are being developed as part of the overall Parc Riviera development.
- To the East, is the next phase of the overall development; also zoned "Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)". A Development Permit Application (DP 15-694616) is currently under review for a proposed townhouse development located at 10199 River Drive.
- To the South, across River Drive, are single-family homes on lots zoned "Single Detached (RS1/B, RS1/C and RS1/D)".

### **Staff Comments**

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is in compliance with the "Residential Mixed Use Commercial (ZMU17) – River Drive/No. 4 Road (Bridgeport)" zone and side yard variance approved through the approved Development Permit.

## **Analysis**

The proposed changes to the mixed-use building are within the scope of the General Compliance Guidelines as adopted by Council.

### ***Form and Character***

The proposed changes are consistent with the overall architectural form and character approach of the approved Development Permit (DP 11-564405). These include the following proposed design modifications at building “G”, drive aisle and parkade entry:

- The architectural design is proposed to be revised to enhance the building’s individual character. The approved material and colour palette remains the same to provide continuity in character with the constructed apartment buildings “E” & “F”, but the colour arrangement and framing details are proposed to be revised to provide building “G” with individuality for visual interest and wayfinding.
- The building articulation is proposed to be revised to enhance views, enhance privacy, accommodate unit layout revisions and incorporate weather protection consistent with building envelope best practices. The elevator overrun roof element has been reduced to the required size and a second roof element has been added for the required mechanical room. Some building bays, columns and fin walls have been reduced or relocated to maximize views to the river. Some building bays facing west have been adjusted to separate balconies to increase privacy of outdoor balconies. Design details are proposed to be revised to ensure good weather protection of building projections, including adjustments to projecting balconies and floor projections.
- The landscape design is revised to provide an appropriate interface from the approved design for Phase 1 over an underground parkade to the future Phase 2; which is under application for townhouses at grade and was originally anticipated in the rezoning to also be developed over an underground parkade. The north-south drive aisle ramps up from the lower River Drive elevation to the building “G” entry lobby elevation and adjacent loading bay, and then descends back down to the proposed loading area for the neighbouring future Phase 2. The grade transition at the north and south ends of building “G” is accommodated with tiered planters separating the semi-private outdoor decks from the shared pedestrian route and drive aisle.
- The pedestrian route and drive aisle paving treatment is proposed to be revised to enhance the building’s individual character and provide an appropriate transition to the neighbouring future Phase 2. Decorative pavers will continue to be used, but with different patterning.

### ***Parking Layout***

- The parkade entry ramp located between building “G” and building “C5” and the parking layout inside the underground parkade have been revised to locate the resident parking for building “C5” underneath building “C5” and to provide a setback to accommodate an appropriate grade transition to the neighbouring future Phase 2 development. A required pedestrian exit has also been added at the northeast corner of the parkade.

- The revised parking layout for building “C5” includes six (6) tandem parking spaces. Registration of a legal agreement requiring tandem parking spaces to be assigned to the same unit is a consideration of the General Compliance approval.

### ***Accessible Housing***

- The approved development includes two (2) basic universal housing units in building “G” that are designed to be easily renovated to accommodate a future resident in a wheelchair. These two (2) units are now proposed to be located on floors 1 & 2 as identified on the replacement floor plans. These single-storey units are required to incorporate all of the accessibility provisions listed in the Basic Universal Housing Features section of the City’s Zoning Bylaw, and are permitted a density exclusion of  $1.86 \text{ m}^2$  ( $20 \text{ ft}^2$ ) per unit.
- In addition to the two (2) basic universal housing units noted above, the proposed development also includes three (3) adaptable units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. These three (3) units are proposed to be located on floors 3, 4 & 5 as identified on the replacement floor plans. These single-storey units are required to comply with the BC Building Code requirements for adaptable housing. These units do not include all of the features identified in the Basic Universal Housing Features section of the City’s Zoning Bylaw and therefore, do not qualify for the Zoning Bylaw density exclusion of  $1.86 \text{ m}^2$  ( $20 \text{ ft}^2$ ) per unit.

### **Conclusions**

Dava Development Ltd. has requested a General Compliance ruling on the approved mixed-use development project for portions of 10111, 10197 and 10199 River Drive (formerly portions of 10111 and 10199 River Drive) to modify the architectural plans for building “G” (building addressed as 10177 River Drive). The proposed modification is within the scope of the General Compliance Guidelines as adopted by Council. Staff have no objection to the proposed revisions. Staff recommend support of this General Compliance request for the proposed changes to the approved Development Permit.

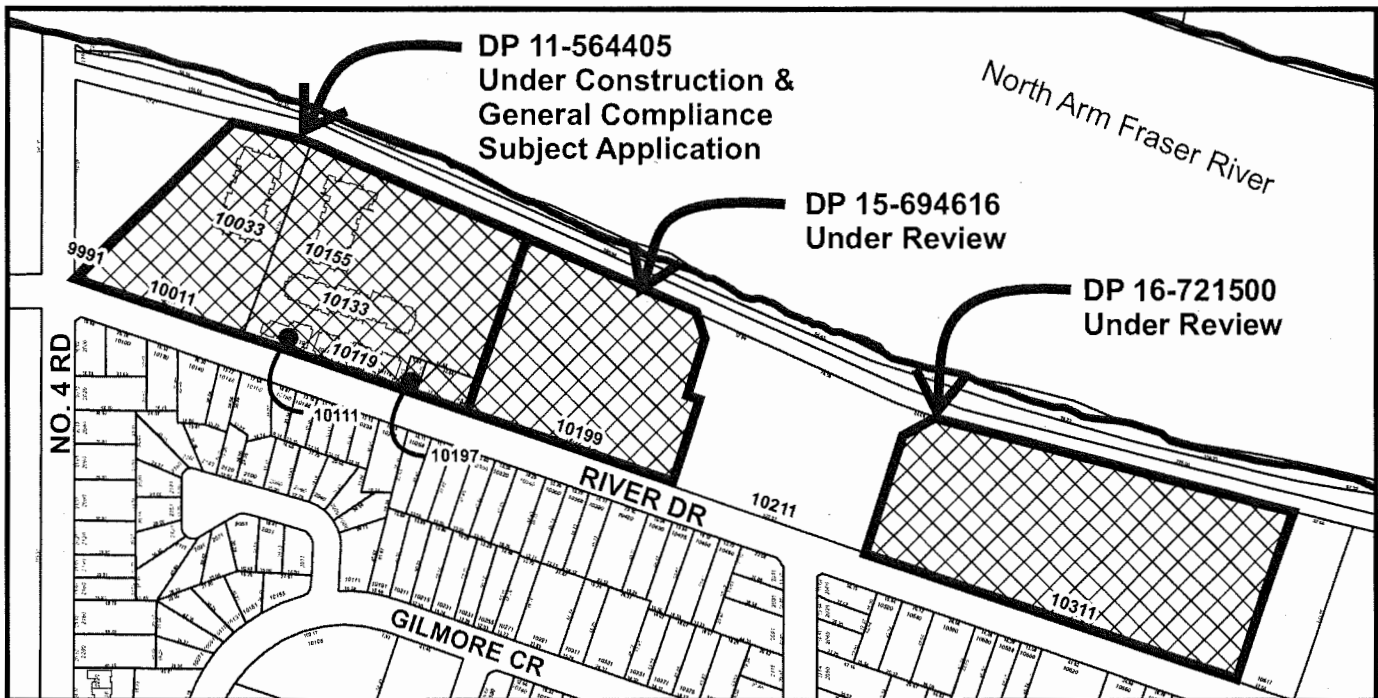
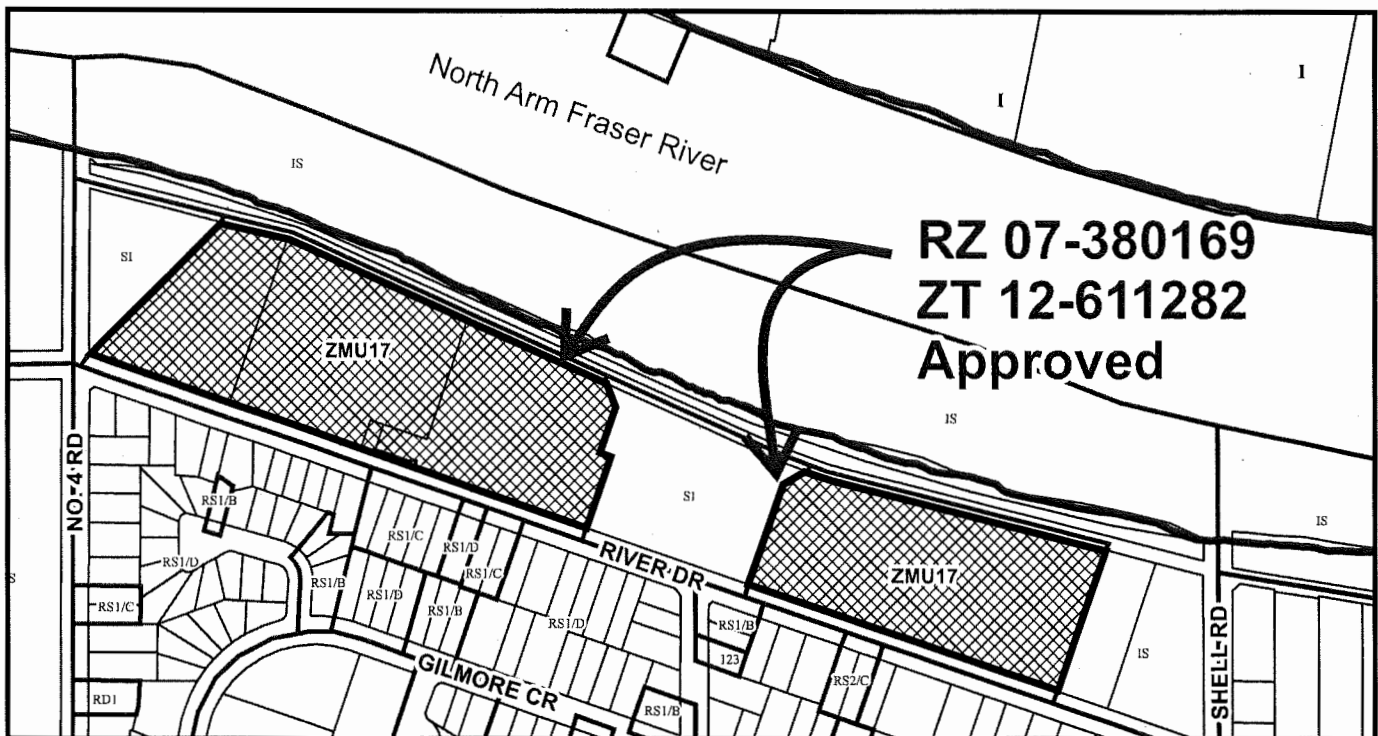


Sara Badyal  
Planner 2  
(604-276-4282)

SB:blg

Prior to forwarding this application to Council for consideration of approval, the developer is required to complete registration of a legal agreement on Title; ensuring that where two (2) parking spaces are provided in a tandem arrangement both parking spaces must be assigned to the same dwelling unit.

Attachment 1: Parc Riviera Context Map – Development Application History  
Attachment 2: Copies of relevant approved Development Permit Plans and  
Attachment 3: Proposed new Development Permit Plan



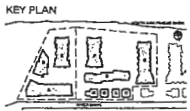
Parc Riviera Context Map  
Development Application History  
General Compliance Request to  
DP 11-564405

Original Date: 06/16/15

Revision Date: 09/21/16

Note: Dimensions are in METRES





- CEPT PRINCIPLES**
- light coloured painted finish to walls, columns, etc.
  - avoid hidden corners and metal corners
  - provide views from all levels, leading to a clearly accessible area.
  - provide grating to elevator shafts.
  - ensure adequate lighting throughout underground parking area.
  - install hand rails along stairwells and equipment in parking areas.
  - provide rough surface finish to ramps to clear skid/obscure.

- LEGEND**
- AREA OF BUILDING FOOTPRINT WITHIN SETBACK
  - AREA OF ROOF OVERHANG & BAY PROJECTIONS WITHIN SETBACK

**SETBACK NOTES**

**BUILDING A**  
NONE

**BUILDING B**  
PRINCIPAL BUILDING FOOTPRINT DOES NOT ENCRUSH INTO SETBACK. ROOF OVERHANG AND SUPPORTING COLUMNS DOES PROJECT INTO SETBACK SPACE TO PROVIDE SHEDS FOR GATHERING SPACE AS A PUBLIC AMENITY FRONTING THE PARK.

**BUILDING C**  
TYPICALLY AT SECOND FLOOR BEDROOMS ALONG RIVER DRIVE, A BAY AND THE ROOF OVERHANG PROJECTS APPROXIMATELY 0.8 METERS INTO FRONT SETBACK.

**BUILDING D**  
NONE

**BUILDING E**  
BALCONIES AT NORTH FACE ABOVE GROUND ARE CANTILEVERED INTO THE SETBACK ZONE.

**BUILDING G**  
AS INDICATED ON ROOF PLAN, THE SOUTH END OF THE SIX STOREY PORTION OF BUILDING G PARTIALLY EXTENDS INTO THE ZONED HEIGHT LIMIT AREA OF 15M. REQUIRING A VARIANCE.

3

Annotated Approved DP Plan 3

MAR 12 2012



P-11564405

**cotter**  
ARCHITECTS  
4235 - 13800 NO. 5 ROAD, RICHMOND, BC V6X 5J7  
TEL: 604 272 2007 FAX: 604 272 0075 Email: info@cotterarchitects.com  
WWW.COTTERARCHITECTS.COM

**PARC RIVIERA**  
A DAVA DEVELOPMENT  
Mixed-Use Development  
10071-10311 River Drive &  
1880 No. 4 Road  
Richmond, B.C.  
DAVA Development Ltd.  
(River Drive) Corp.  
Oris Consulting  
(River Drive) Corp.

**ROOF PLAN**  
W/ SETBACKS



**A-110** **F**

REDUCED SETBACK VARIANCE  
FROM 6m TO 2.7m.

NORTH ARM FRASER RIVER

REDUCED SETBACK VARIANCE  
FROM 6m TO 0.6m.

REDUCED SETBACK VARIANCE  
FROM 6m TO 4m

INCREASED HEIGHT VARIANCE  
FROM 15m TO 26m.

BUILDING G  
AREA OF  
GENERAL COMPLIANCE

PHASE 2  
AREA OF FUTURE  
DEVELOPMENT  
T.B.D.

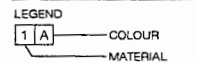
RIVER DRIVE

NO. 4 ROAD

GILMORE CRT.







**NOTE**  
All colours and materials indicated are  
representative of design intent. However final  
colour and material selection may vary.

## MATERIAL LIST

- 1 FIBER GEMENT BOARD / SING /
- 2 SINGLES WITH METAL TRIM / REVEAL
- 3 ARCHITECTURAL CONCRETE
- 4 GALVALUME METAL SING
- 5 STOREFRONT GLAZING
- 6 ALUMINUM FRAMED GLAZING
- 7 METAL GLAD VINYL WINDOWS
- 8 ARCHITECTURAL ASPHALT SHINGLES
- 9 STANDING SEAM METAL ROOF/PANEL
- 10 STAINED CEDAR WOOD
- 11 PAINTED WOOD
- 12 BREAK METAL PANEL
- 13 PHENOLIC RESIN PANEL
- 14 GLAZED RAILING
- 15 SPLIT FACE CONCRETE BLOCK
- 16 METAL CANOPY
- 17 HIGH DENSITY POLYETHYLENE PIPE
- 18 PAINTED METAL FASCIA
- 19 ALUMINUM RAILING
- 20 PAINTED STRUCTURE
- 21 SPLIT FACES CONCRETE BLOCK
- 22 PAINTED WOOD FASCIA
- 23 SOFFIT

## COLOUR LIST

- |   |   |
|---|---|
| A | WHITE<br>R MOORE 00-04 PINE WHITE                                 |
| B | BLACK<br>R MOORE 3736-12 BLACK #6027                              |
| C | BEIGE (MANY VARIANTS)<br>R MOORE HC-80 BLACK BEIGE                |
| D | RED<br>R MOORE 3002-10 VERMILION                                  |
| E | DAIRY GRAY<br>R MOORE 3335-29 STONE COTTON                        |
| F | BEIGE (FISHER CEMENT CLADDING)<br>R MOORE HC-09 EXLARS WHITE      |
| G | TAUPE (FISHER CEMENT CLADDING)<br>R MOORE HC-108 SAND "WOOD GRAY" |
| H | DAIRY GRAY (RALPHS LINE)<br>R MOORE 3133-26 RACONIN FUR           |
| J | NATURAL CEDAR FINISH  |
| K | GALLIVALLINE METAL FINISH<br>R MOORE 3717-50 CEDAR GRAY SILVER    |
| L | RED<br>R MOORE 2008-10 MARLOT RED                                 |
| M | BLUE<br>R MOORE 3432-25 DUNE DUNE BLUE                            |
| N | BEIGE<br>R MOORE HC-08 HONEY BEE                                  |
| O | BEIGE<br>R MOORE 00-04 MEITY AR                                   |
| Q | BLUE<br>R MOORE 3432-25 DUNE BLUE                                 |
| R | BEIGE<br>R MOORE HC-106 SANDY FOG GRAY                            |
| S | GREEN<br>R MOORE HC-127 FAUNTING GREEN                            |
| T | BEIGE<br>R MOORE HC-159 PHEASANT BLUE                             |
| U | CREAM<br>R MOORE HC-83 CAMPHENITE BEIGE                           |
| V |   |
| W |   |

REV	DATE	DESCRIPTION
A	2007 08 29	RECEIVING APPLICATION
B	2008 02 04	RECEIVED APPLICATION RE-SUBMISSION
C	2009 04 17	RECEIVING APPLICATION RE-SUBMISSION
D	2011 08 04	DEVELOPMENT RESULT APP. RE-SUBMISSION
E	2012 11 12	DEVELOPMENT RESULT APP. RE-SUBMISSION
F	2012 08 28	DEVELOPMENT RESULT APP. RE-SUBMISSION

cotter  
ARCHITECTS

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TEL: 604-272-1677 FAX: 604-272-1675 Email: [info@seminolehvac.com](mailto:info@seminolehvac.com)  
Web: [www.seminolehvac.com](http://www.seminolehvac.com)

PARC RIVIERA

**A RIVER-BASED COMMUNITY**  
Mixed-use Development  
10071-10311 River Drive &  
1880 No. 4 Road  
Richmond, B.C.

DAVA Development Ltd.  
(River Drive) Corp.

Oris Consulting  
(River Drive) Corp.

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0-ED-ED. 1A, 8H

2015年 12月 25日

**BUILDING G  
ELEVATIONS**

**A-316**



1 BUILDING G EAST ELEVATION



2 BUILDING G WEST ELEVATION



3 BUILDING G NORTH ELEVATION  
A-316



4 BUILDING G SOUTH ELEVATION  
A-316

19

## Plan 19

Approved DP

MAR 12 2012

1040501





1 BUILDING G EAST ELEVATION  
A-316



2 BUILDING G WEST ELEVATION  
A-316



3 BUILDING G NORTH ELEVATION  
A-316



4 BUILDING G SOUTH ELEVATION  
A-316

KEY PLAN

LEGEND

1 A COLOUR MATERIAL

NOTE

All colors and materials indicated are representative of design intent. However, final color and material selection may vary.

MATERIAL LIST

- 1 FIBER CEMENT BOARD / SIDING / SHINGLES WITH METAL TRIM / PEYAL
- 2 ARCHITECTURAL CONCRETE
- 3 GALVALUME METAL SIDING
- 4 STOREFRONT GLAZING
- 5 ALUMINUM FRAMED GLAZING
- 6 METAL CLAD VINYL WINDOWS
- 7 ARCHITECTURAL ASPHALT SHINGLES
- 8 STANDING SEAM METAL ROOF PANEL
- 9 STAINED CEDAR WOOD
- 10 PAINTED WOOD
- 11 BREAK METAL PANEL
- 12 FIBROGLASS RESIN PANEL
- 13 GLAZED RAILING
- 14 SPLIT FACE CONCRETE BLOCK
- 15 METAL CANOPY
- 16 HIGH DENSITY POLYETHYLENE PIPE
- 17 PAINTED METAL FASCIA
- 18 ALUMINUM RAILING
- 19 PAINTED STRUCTURE
- 20 SPLIT FACED CONCRETE BLOCK
- 21 PAINTED WOOD FASCIA
- 22 SOFFIT

COLOUR LIST

A WHITE  
B BLACK  
C RED  
D DARK GRAY  
E LIGHT GRAY  
F TAN  
G LIGHT BLUE  
H DARK BLUE  
I LIGHT GREEN  
J DARK GREEN  
K LIGHT BROWN  
L DARK BROWN  
M LIGHT TAN  
N DARK TAN  
O LIGHT GRAY  
P DARK GRAY  
Q LIGHT BLUE  
R DARK BLUE  
S LIGHT GREEN  
T DARK GREEN  
U LIGHT BROWN  
V DARK BROWN  
W LIGHT TAN  
X DARK TAN  
Y LIGHT GRAY  
Z DARK GRAY

DATE: 10/18/18  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES  
DATE: 10/18/18  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES  
DATE: 10/18/18  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES

Reference Plan DP 11-564405  
Supplements Plan 19 with  
coloured Building G elevation

cotter  
ARCHITECTS

8235 - 13600 NO. 5 ROAD, RICHMOND, BC V6X 5J7  
TEL: 604-271-1111 FAX: 604-271-1112  
WWW.COTTERARCHITECTS.COM

PROJECT

PARC RIVIERA  
A HIGH-RISE RESIDENTIAL  
Mixed-use Development  
10071-10311 River Drive &  
1860 No. 4 Road  
Richmond, B.C.

CLIENT

DAVA Development Ltd.  
(River Drive) Corp.  
Oris Consulting  
(River Drive) Corp.

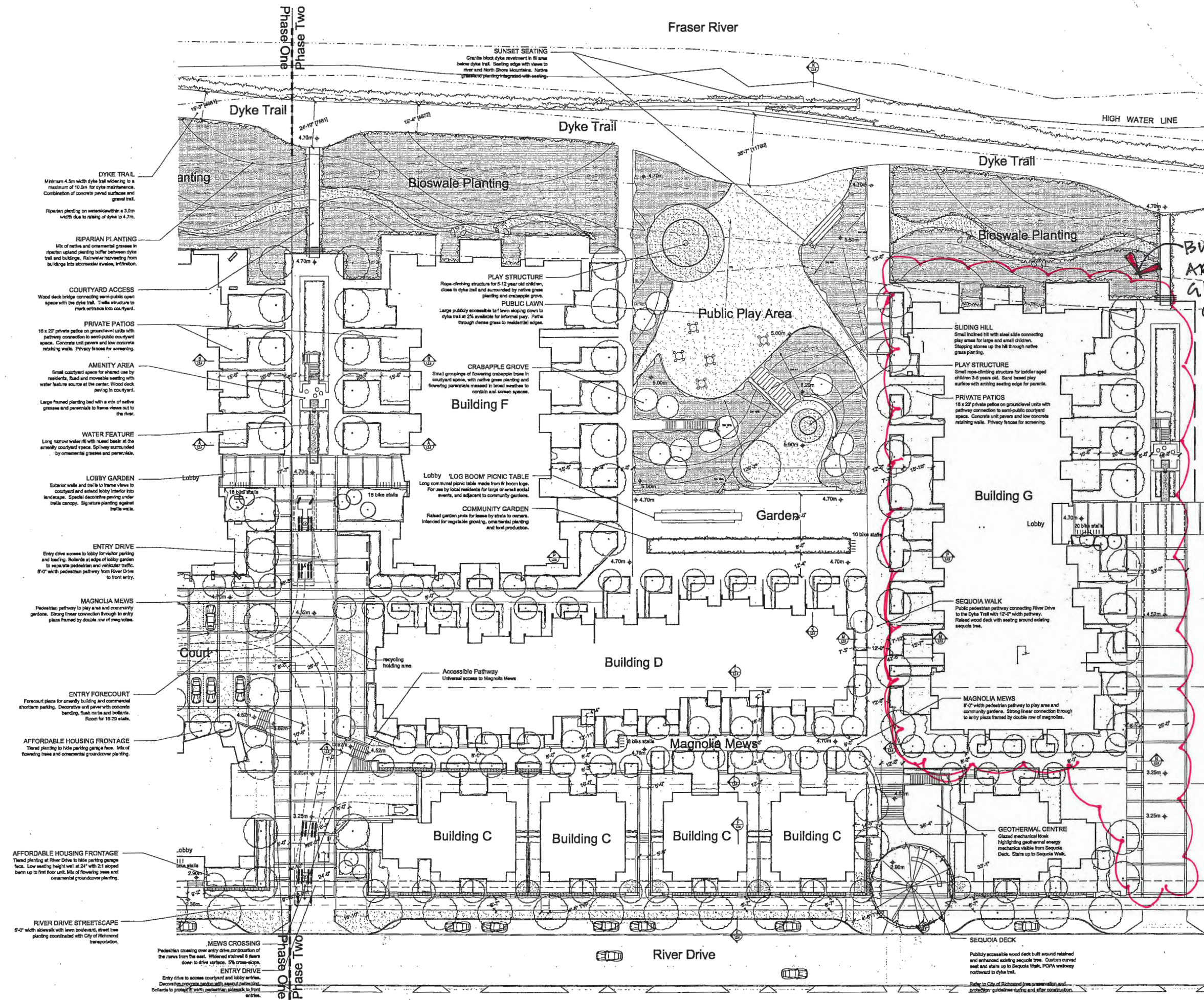
DATE: 10/18/18  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES  
DATE: 10/18/18  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES

PROJECT

BUILDING G  
ELEVATIONS

DATE: 10/18/18  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES  
DATE: 10/18/18  
DRAWN BY: J. J. JONES  
CHECKED BY: J. J. JONES





**hapa**  
COLLABORATIVE

landscape architecture  
environmental design  
210 - 118 West Hastings Street  
Vancouver BC V6E 1B6  
604 683 4150 | www.hapacollab.com

**BUILDING G  
AREA OF  
GENERAL  
COMPLIANCE**

ANNOTATED  
Approved DP Plan 24

MAR 12 2012



PARC RIVIERA  
A RIVERFRONT COMMUNITY

Mixed-use Development  
10071-10311 River Drive &  
1680 No. 4 Road  
Richmond, B.C.

DAVA Development Ltd.  
(River Drive) Corp.  
Oris Consulting  
(River Drive) Corp.

No.	Description	Date
3	Revised for DP	Feb. 29/12
2	Revised for DP	Jan. 13/12
1	Issued for DP	Feb. 09/11

Parc Riviera  
Multi-Use Development  
Richmond BC

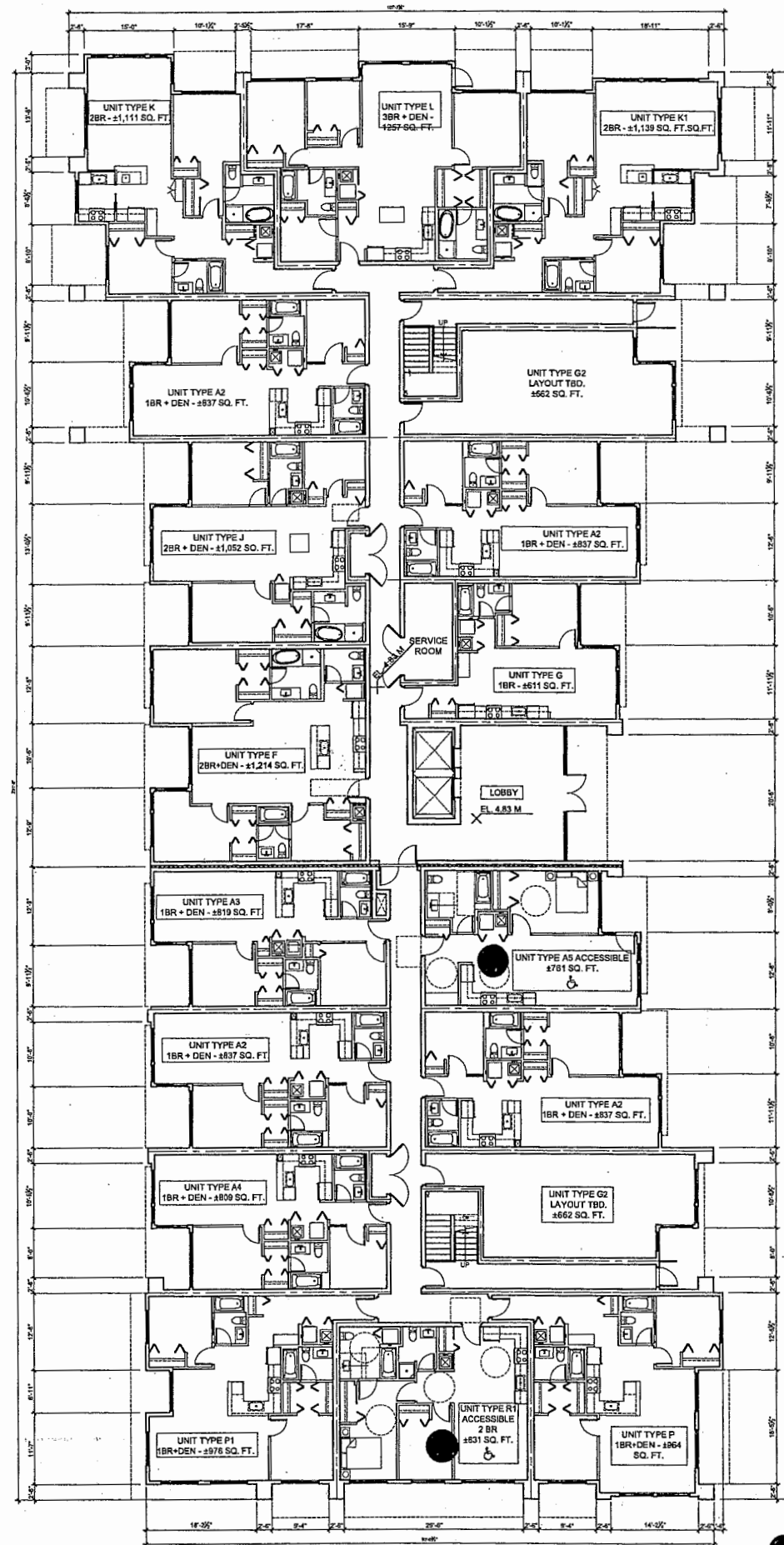
Landscape  
Detail Plan  
Phase Two

Rev.	Jan. 28/11	Drawing Number
Project	PARC RIVIERA	
Date	04/03/12	L2.2
Drawn/Checked	JF/JF	

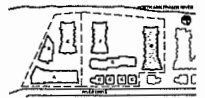
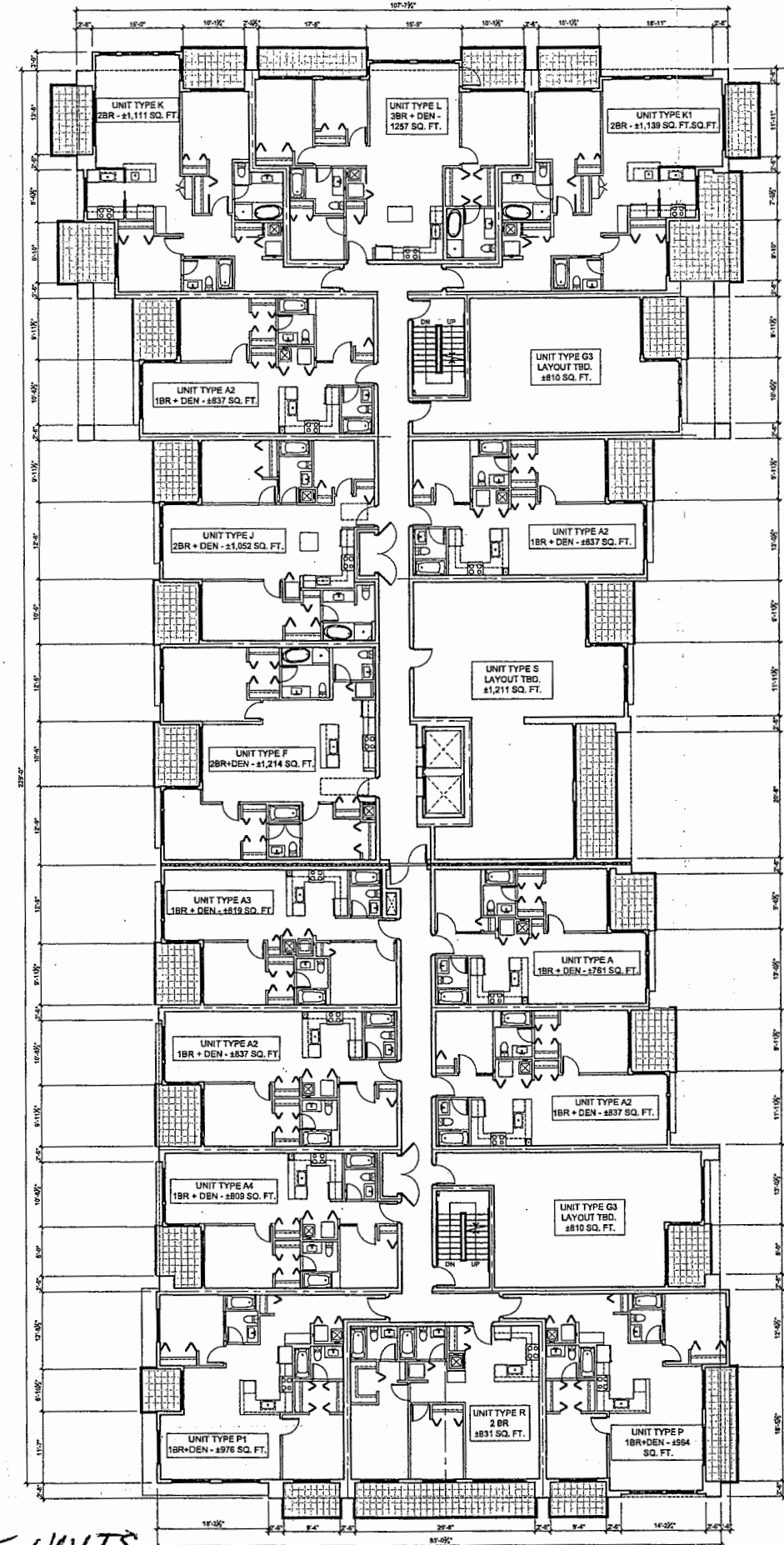
24

DP-11564405





● ACCESSIBLE UNITS



**CEPT PRINCIPLES**

- Light colored painted finish to walls, columns, doors and trim.
- Provide vision panels in doors leading to publicly accessible areas.
- Provide glazing to elevator lobbies.
- Provide adequate lighting throughout underground parking area.
- Provide hand held video surveillance equipment to parking area.
- Provide rough surface finish to ramps to clear walkways.

**AGING IN PLACE PRINCIPLES**

**GENERAL NOTES**

- Minimum clear opening width of unit entry door to be min. 2' - 0".
- Minimum clear opening of double privacy doors to be 2' - 0".
- Balcony/entry doors shall have a minimum clear opening width of 2' - 0".
- All suite door sets shall be 16" or less in height.
- All door hardware easily articulated by the user (i.e. with minimum physical effort).

**Windows**

- Windows to be accessible (i.e. 1 per bedroom and living room shall be provided with a minimum sill height of 2' - 0" low track glazing and easy to articulate window hardware).

**Bathrooms**

Provide one bathroom with the following requirements:

- 6' - 0" x 2' - 0" clear area adjacent the sink.
- Provide secure placement of walls (i.e. plywood immediately adjacent the toilet and bath tub in anticipation of the installation of grab bars).
- Bathroom fixtures to be easily articulated (i.e. lever type).
- Ceramic tile of wall shall be min. 1' - 0" from exterior face of doorway.
- Provide 2' - 0" clear for the full length of the bathtub.

**Kitchen**

- Provide allowance for 2' - 0" clear vertical height underneath kitchen sink in anticipation of future access under sink for workspace.
- Kitchen fixtures to be easily articulated (i.e. lever type).

**Bedrooms**

- Provide one bedroom with the following requirements:
- Provide a minimum 6' - 0" clear turning radius on one side of a standard wood double bed.
- Provide a closet with a minimum clear opening of 2' - 0" and a minimum internal space of 4' - 0" x 2' - 0" and depth for a rod 10' - 0" in height.

**Electrical / Accessories**

- Rough-in wiring to be provided in anticipation of automatic door opener at unit entry door.
- Thermostats to be mounted at 2' - 0" to 4' - 0" AFF.
- Intermittent and Electrical Panels to be mounted maximum 4' - 0" AFF.
- Light switches and light switches to be type and mounted maximum 4' - 0" AFF.

**ACCESSIBILITY NOTES**

In addition to applying aging-in-place principles to all residential units, a minimum of two (2) units within Building G shall be accessible to an enhanced accessible unit. The unit will include the provision of at least one wheelchair accessible bathroom. A full listing of accessibility features will be detailed in the Building Permit drawing submission.

REV.	DATE	DESCRIPTION
1	2012.03.12	ISSUED FOR PERMIT
2	2012.03.12	REVISIONS TO ACCESSIBILITY
3	2012.03.12	REVISIONS TO ACCESSIBILITY
4	2012.03.12	REVISIONS TO ACCESSIBILITY
5	2012.03.12	REVISIONS TO ACCESSIBILITY

**cotter**  
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8335 - 11300 RD. 5 ROAD, RICHMOND, BC V6X 5J7  
TEL: 604 273 1177 FAX: 604 273 1171 EMAIL: info@cotterarchitects.com  
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**PARC RIVIERA**  
A RESIDENTIAL COMMUNITY  
Mixed-Use Development  
1007-10311 River Drive &  
1880 No. 4 Road  
Richmond, B.C.

CLIENT  
DAVA Development Ltd.  
(River Drive) Corp.  
Oris Consulting  
(River Drive) Corp.

DESIGNED BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/8" = 1' - 0"  
DATE: 2012.03.12

PROJECT  
BUILDING G  
LEVELS 1-4 FLOOR PLANS

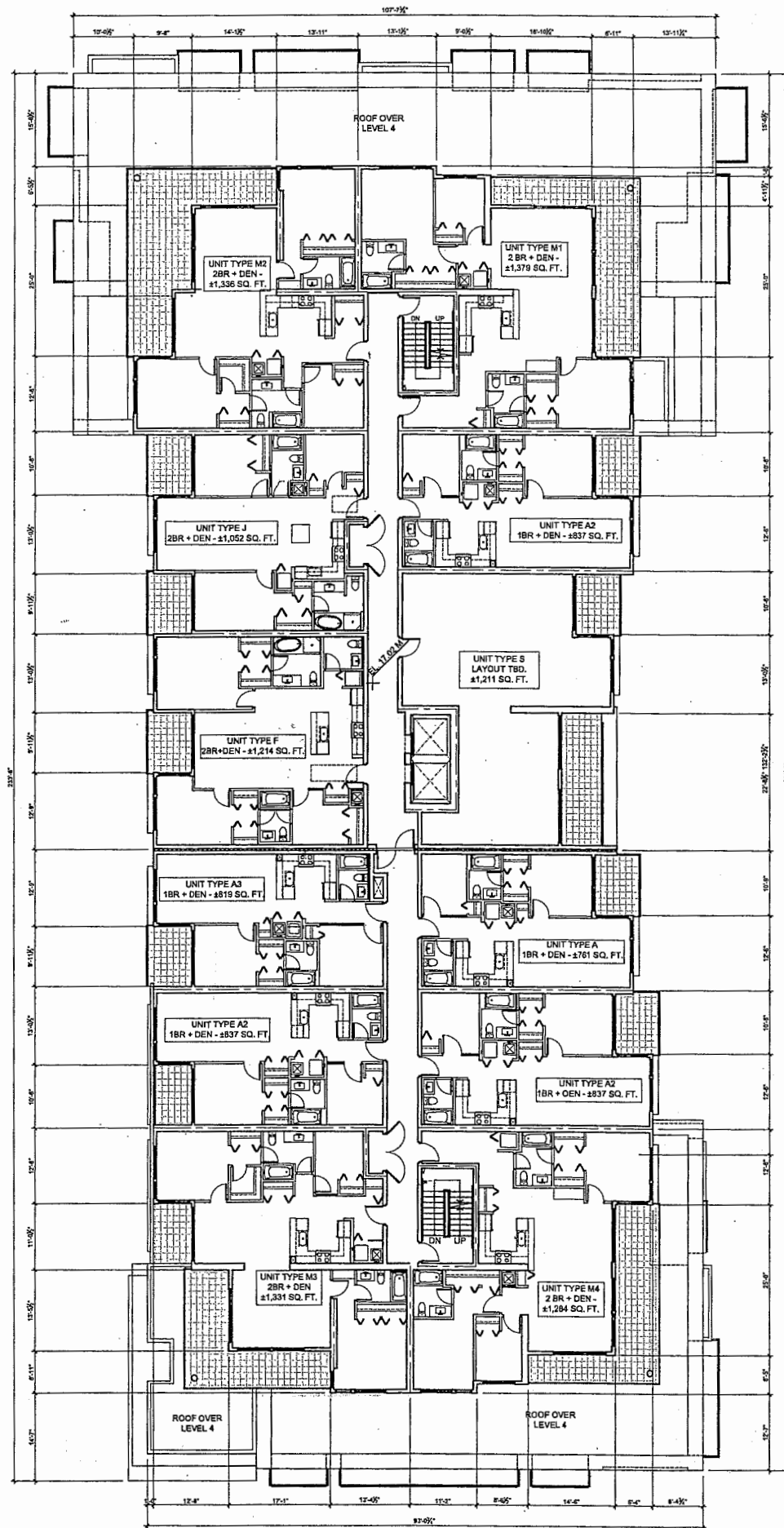


MAR 12 2012

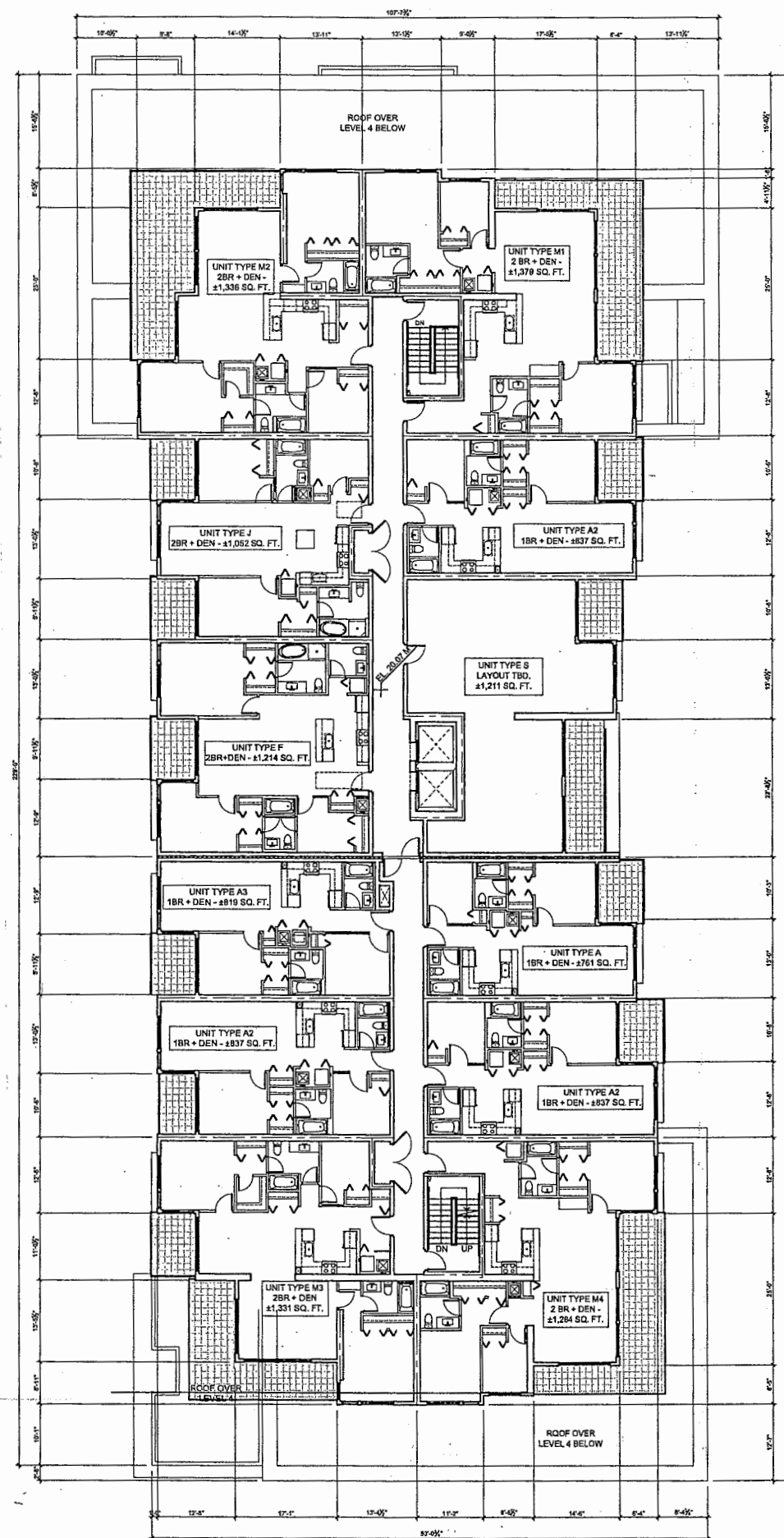
DP-11564405

Approved DP Reference Plan

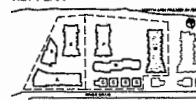
REFERENCE



1 BUILDING G - LEVEL 5 FLOOR PLAN



2 BUILDING G - LEVEL 6 FLOOR PLAN



**AGED PRINCIPLES**

- light coloured painted levels to walls, columns, etc.
- avoid hidden corners and install convex mirrors as needed.
- provide vision panes in doors, leading to publicly accessible areas.
- provide glazing to elevator lobbies.
- ensure adequate lighting throughout underground parking areas.
- install hand held video surveillance equipment to parking areas.
- provide rough surface finish to ramps to deter skateboarders.

**AGING IN PLACE PRINCIPLES**

**GENERAL NOTES**

**Doors**

- Minimum clear opening width of unit entry door to be min. 2' - 10".
- Minimum clear opening of in-suite power doors to be 2' - 10".
- Balcony/Entry doors shall have a minimum clear opening width of 2' - 10".
- All suite door sets shall be 14" or less in height.
- All door hardware easily articulated by the user (i.e. with minimum physical effort).

**Windows**

- Windows to be accessible (i.e. 1 per bedroom and living room shall be provided with a minimum height of 2' - 5" clear height/depth and easy to articulate window hardware).

**Bathrooms**

- Provide one bathroom with the following requirements:
  - 4' - 0" x 2' - 0" clear area adjacent the sink.
  - Provide adequate reinforcement at walls (i.e. plywood immediately adjacent the toilet door and bath tub in anticipation of the installation of grab bars).
  - Bathroom fixtures to be easily articulated (i.e. lever type).
  - Centrelines of water closet to be min. 1' - 5" from exterior face of drywall.
  - Provide 2' - 0" clear for the full length of the bathtub.

**Kitchen**

- Provide allowance for 2' - 0" clear vertical height underneath kitchen sink in anticipation of future access under sink for workspace.
- Kitchen fixtures to be easily articulated (i.e. lever type).

**Bedrooms**

- Provide one bedroom with the following requirements:
  - Provide a minimum 5' - 0" clear turning radius on one side of a standard sized bed.
  - Provide a closet with a minimum clear opening of 2' - 0" and a minimum internal space of 4' - 0" x 2' - 0" and provision for a rod to be lowered to 4' - 0" in height.

**Electrical/Appliances**

- Rough-in wiring to be provided in anticipation of automated door opener at unit entry door.
- Thermostats to be mounted at 2' - 0" or 4' - 0" AFF.
- Intercom and Electrical Panels to be mounted maximum 4' - 0" AFF.
- Light switches shall be paddle type and mounted maximum 4' - 0" AFF.

**ACCESSIBILITY NOTES**

In addition to applying aging-in-place principles to all residential units, a minimum of two (2) units within Building G shall be accessible to an enhanced accessible unit. This will include the provision of at least one wheelchair accessible bathroom. A full list of accessibility features will be detailed in the Building Permit drawing submission.

REV	DATE	DESCRIPTION
1	2012-03-12	ISSUED FOR PERMIT
2	2012-03-12	ISSUED FOR PERMIT
3	2012-03-12	ISSUED FOR PERMIT
4	2012-03-12	ISSUED FOR PERMIT

**cotter**  
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**PARC RIVIERA**  
A SUPERFRONT DEVELOPMENT  
Mixed-Use Development  
1007-1031 River Drive &  
1880 No. 4 Road  
Richmond, B.C.  
CLIENT  
DAVA Development Ltd.  
(River Drive) Corp.  
Oris Consulting  
(River Drive) Corp.

PROJECT  
BUILDING G  
LEVEL 5 & 6 FLOOR PLANS



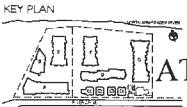
Approved DP Reference Plan

MAR 12 2012

DP-11564405

REFERENCE





- OPTED PRINCIPLES**
- light coloured painted finish to walls, columns, and metal hidden corners and metal corners, mirrors as needed
  - provide vision panels in doors leading to publicly accessible areas
  - provide glazing to elevator lobbies
  - ensure adequate lighting throughout underground parking areas
  - install hard-wired video surveillance equipment in parking areas
  - provide rough surface finish to ramps to deter skateboarding

- LEGEND**
- AREA OF BUILDING FOOTPRINT WITHIN SETBACK
  - AREA OF ROOF OVERHANG & BAY PROJECTIONS WITHIN SETBACK
- SETBACK NOTES**
- BUILDING A**  
NONE
- BUILDING B**  
PRINCIPAL BUILDING FOOTPRINT DOES NOT ENCRUMB INTO SETBACK. ROOF OVERHANG AND DISPORTING COLUMNS DOES PROJECT INTO SETBACK SPACE TO PROVIDE SHELTER FOR GATHERING SPACE AS A PUBLIC AMENITY FRONTING THE PARK
- BUILDING C**  
TYPICALLY AT SECOND FLOOR BEDROOMS ALONG RIVER DRIVE, A BAY AND THE ROOF OVERHANG PROJECTS APPROXIMATELY 6 METERS INTO FRONT SETBACK. DUE TO CONVERTING THE EAST SHADE LINE BETWEEN PHASE 1 & 2 INTO A FORMAL PROPERTY LINE, THE EASTERNMOST BUILDING FOOTPRINT IS NOW ENCRUMBING INTO A SIDE SETBACK AS INDICATED IN DRAWING.
- BUILDING D**  
NONE
- BUILDING E/F/G**  
BALCONIES AT NORTH FACE ABOVE GROUND ARE CANTILEVERED INTO THE ESA SETBACK ZONE.
- BUILDING G**  
AS INDICATED ON ROOF PLAN, THE SOUTH END OF THE SIX STOREY PORTION OF BUILDING G PARTIALLY EXTENDS INTO THE ZONED HEIGHT LIMIT AREA OF 15M, REQUIRING A VARIANCE.

Supplements Plan 3 to identify area of revisions at Building G and drive aisle

Plan 3c Sept 15, 2016  
DP 11-564405

Building G area of general compliance

**ZGF COTTER**

901-838 West Hastings Street, Vancouver, BC V6C 0A5  
TEL: 604-272-1477 FAX: 604-272-1475 EMAIL: info@zgfco.com  
WWW.ZGFCOTTER.COM



**PARC RIVIERA**  
A RIVERFRONT COMMUNITY  
Mixed-Use Development  
10011 River Drive  
Richmond BC

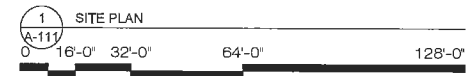
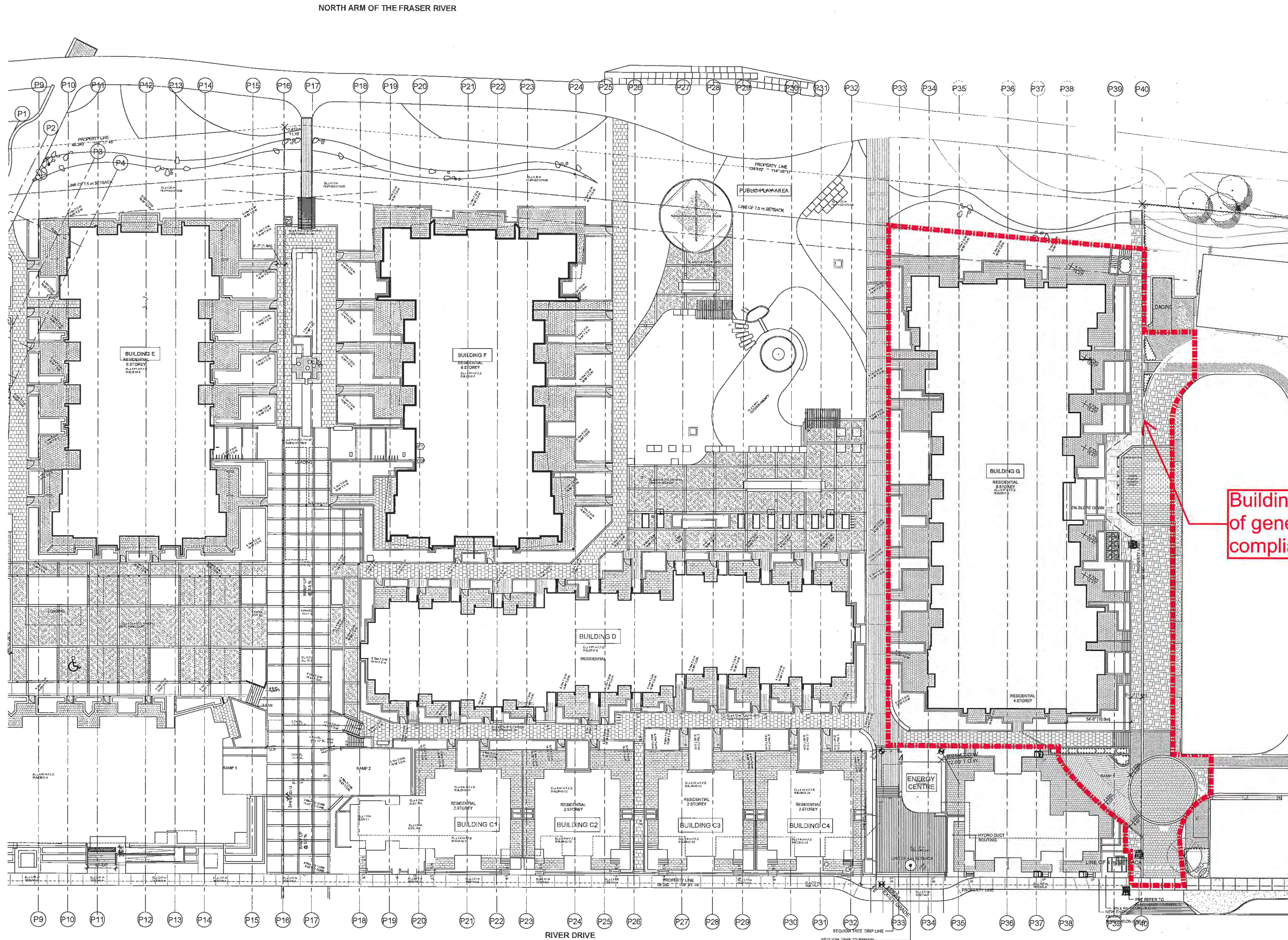
CLIENT: PARC RIVIERA PROJECTS INC.

PROJECT NO.: 1111  
PROPOSED: 10/1/15  
TITLE: SUPP. P-3  
JOB NO.: 810  
DATE: 2015-08-29

PROJECT NO.: 1111  
EAST SITE PLAN W/ SETBACKS



GRAPHIC NUMBER: A-111



1 SITE PLAN  
A-111









LEGEND

- 1A COLOUR  
MATERIAL

MATERIAL LIST

- 1 FIBER CEMENT PANEL SIDING
- 2 WALL/ALUMINUM TRIM REVEALS
- 3 STOREFRONT GLAZING
- 4 VINYL WINDOWS
- 5 PRE-FINISHED METAL RAILING
- 6 CORRUGATED METAL SIDING
- 7 PAINTED WOOD FASCIA
- 8 PRE-FINISHED METAL FLASHING
- 9 FIBER CEMENT SOFFIT

COLOUR LIST

- A WHITE  
B CERTAINTED - VANILLA WHITE/SNOW  
C DARK GREY  
D CERTAINTED - FLAGSTONE  
E GREY  
F CERTAINTED - SILVERPLATE/STERLING GRAY  
G CEDAR  
H CERTAINTED - CEDAR  
I CORRUGATED METAL FINISH  
J CASCADIA METALS - GALVALUME  
K DARK GREY RAILINGS  
L BENJAMIN MOORE COLOUR 2125-20  
M GREY (FLASHING)  
N MARIN METALS - RESIDENT GREY  
O EVENING BLUE  
P JAMES HARDIE A219-30  
Q CEDAR STAIN  
R COLOUR TO MATCH CEDAR SIDING

Revised

ZGF  
COTTER

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PARC RIVIERA  
A COMMUNITY DEVELOPMENT

Mixed-Use Development  
10011 River Drive  
Richmond BC

Drawing Title

BUILDING G  
ELEVATIONS

Date: 09-15-2016

Job No: V23358

Drawn By: MC

Checked By: Checker

Drawing No.

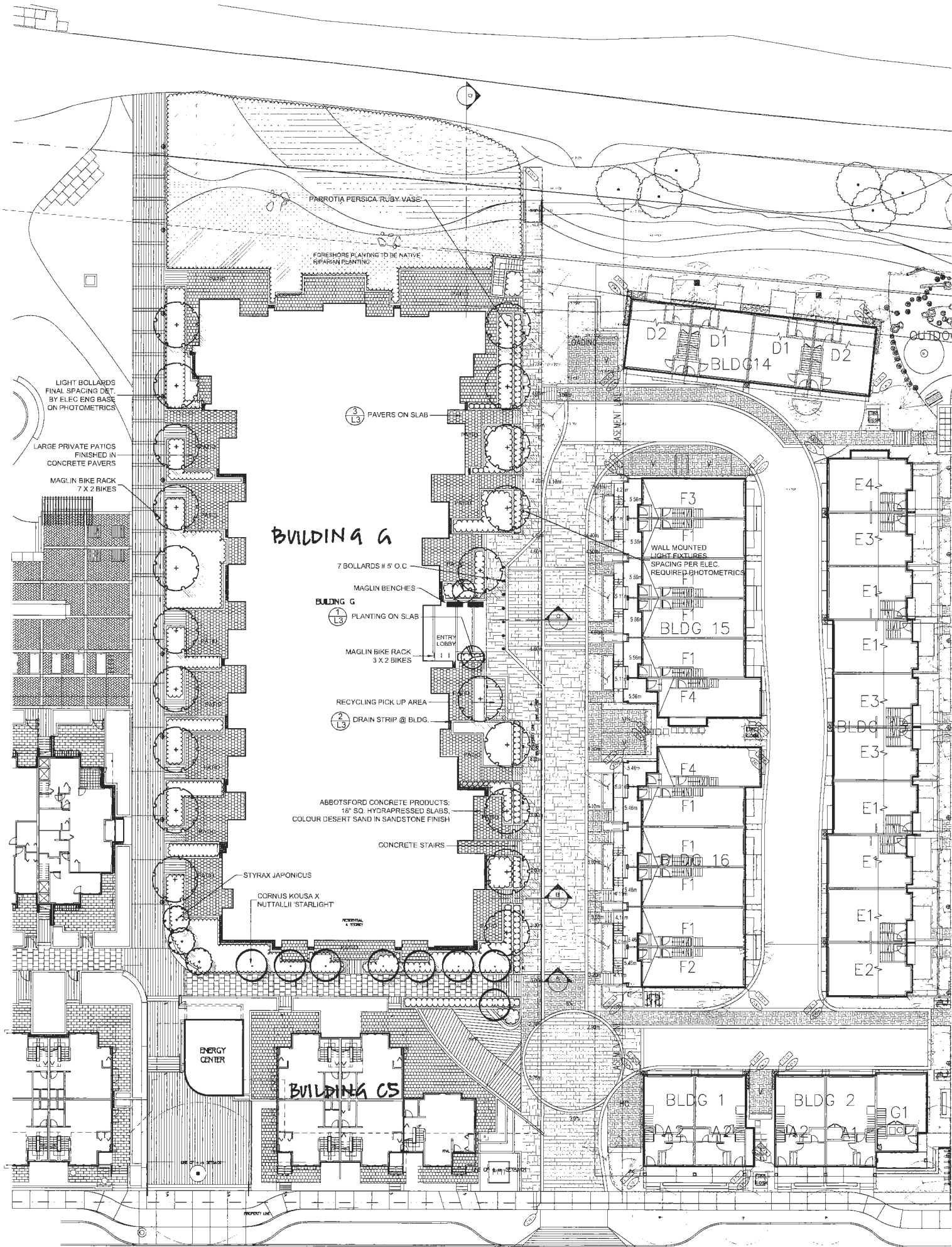
A-301

REVIEW

Replacement for Plan 19 with  
revised elevations for Building  
G

Plan 19 Sept 15, 2016  
DP 11-564405





PLANT SCHEDULE				PMG PROJECT NUMBER: 16-062
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	ACER PALMATUM	JAPANESE MAPLE	5CM CAL; 1.2M STD. MIN. 2.75M HT; B&B
	8	CORNUS KOUSA X NUTTALLII 'STARLIGHT'	STARLIGHT HYBRID DOGWOOD	5CM CAL., 1.5M STD., B&B
	20	PARROTIA PERSICA 'RUBY VASE'	RUBY VASE PERSIAN IRONWOOD	6CM CAL., 1.8M STD., B&B
	3	STYRAX JAPONICUS	JAPANESE SNOWBELL	5CM CAL., 1.5M STD., B&B
SHRUB	148	AZALEA JAPONICA 'HINO WHITE'	AZALEA: HARDY WHITE	#2 POT; 25CM
	17	CEANOTHUS THYRSIFLORUS 'VICTORIA'	CALIFORNIA LILAC	#3 POT; 50CM
	44	DAFNE X BURKWOODII 'CAROL MACKIE'	DAFNE	#2 POT; 25CM
	36	HYDRANGEA MACROPHYLLA 'RED SENSATION'	BIGLEAF HYDRANGEA: RED	#2 POT; 40CM
	2	HYDRANGEA QUERCIFOLIA 'RUBY SLIPPERS'	OAKLEAF HYDRANGEA: PINK	#3 POT; 80CM
	136	ROSA MEIDLAND 'BONICA'	MEIDLAND ROSE: PINK	#2 POT; 40CM
	385	TAXUS X MEDIA 'HICKSII'	HICKS' YEW	1.2M B&B
	4	VACCINIUM OVALIFOLIUM	OVAL-LEAF BLUEBERRY	#3 POT; 60CM
GRASS	1	BROMUS SITCHENSIS	ALASKA BROME	#1 POT
	1	CALAMAGROSTIS NUTKAENSIS	NOOTKA REEDGRASS	#1 POT
	266	CAREX 'THE BEATLES'	THE BEATLES' SPRING SEDGE	#1 POT
	1	CAREX PACHYSTACHYA	CHAMISSO SEDGE	#1 POT
	1	DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	#1 POT
	1	ELYMUS MOLLIIS	COMMON DUNE GRASS	#1 POT
	122	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#1 POT
	1	JUNCUS EFFUSUS	COMMON RUSH	#1 POT
VINE	20	PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	#2 POT; 60CM; STAKED
PERENNIAL	96	HELLEBORUS X 'ROYAL HERITAGE'	LENTEN ROSE	15CM POT
	342	HEMEROCALLIS 'CRIMSON RED'	DAYLILY: RED	#1 POT, 1-2 FAN
	21	SEDUM 'DRAGON'S BLOOD'	DRAGON'S BLOOD STONECROP	9CM POT
	21	SEDUM 'DRAGON'S BLOOD'	DRAGON'S BLOOD STONECROP	9CM POT

NOTES: \* PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. \* REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. \* SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. \* SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD'S LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

SITE FURNITURE:  
BIKE RACKS: MAGLIN MBR 200 SERIES BOLT DOWN  
BENCHES: MAGLIN MLB 870-PCC BOLT DOWN



JAPANESE MAPLE



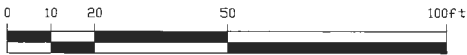
FLOWERING DOGWOOD



IRONWOOD TREE



STYRAX



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**pmg**  
LANDSCAPE  
ARCHITECTS  
Suite C100 - 4185 Still Creek Drive  
Burnaby, British Columbia, V5C 6G9  
p: 604 294-0011 ; f: 604 294-0022

SEAL:

Supplements Plan 24 with  
layout, trees and materials at  
Building G and drive aisle

3	16.AUG.23	NE
2	16.AUG.13	PL
1	15.MAY.18	PA
NO.	DATE	REVISION

CLIENT:

PROJECT:

**MULTI-FAMILY DEV.**

**RIVER DR.  
RICHMOND, B.C.**

DRAWING TITLE:

**LANDSCAPE  
TREE PLAN**

DATE: 16.APR.21

SCALE: 1"=20'-0"

DRAWN: MM

DESIGN: MCY/MM

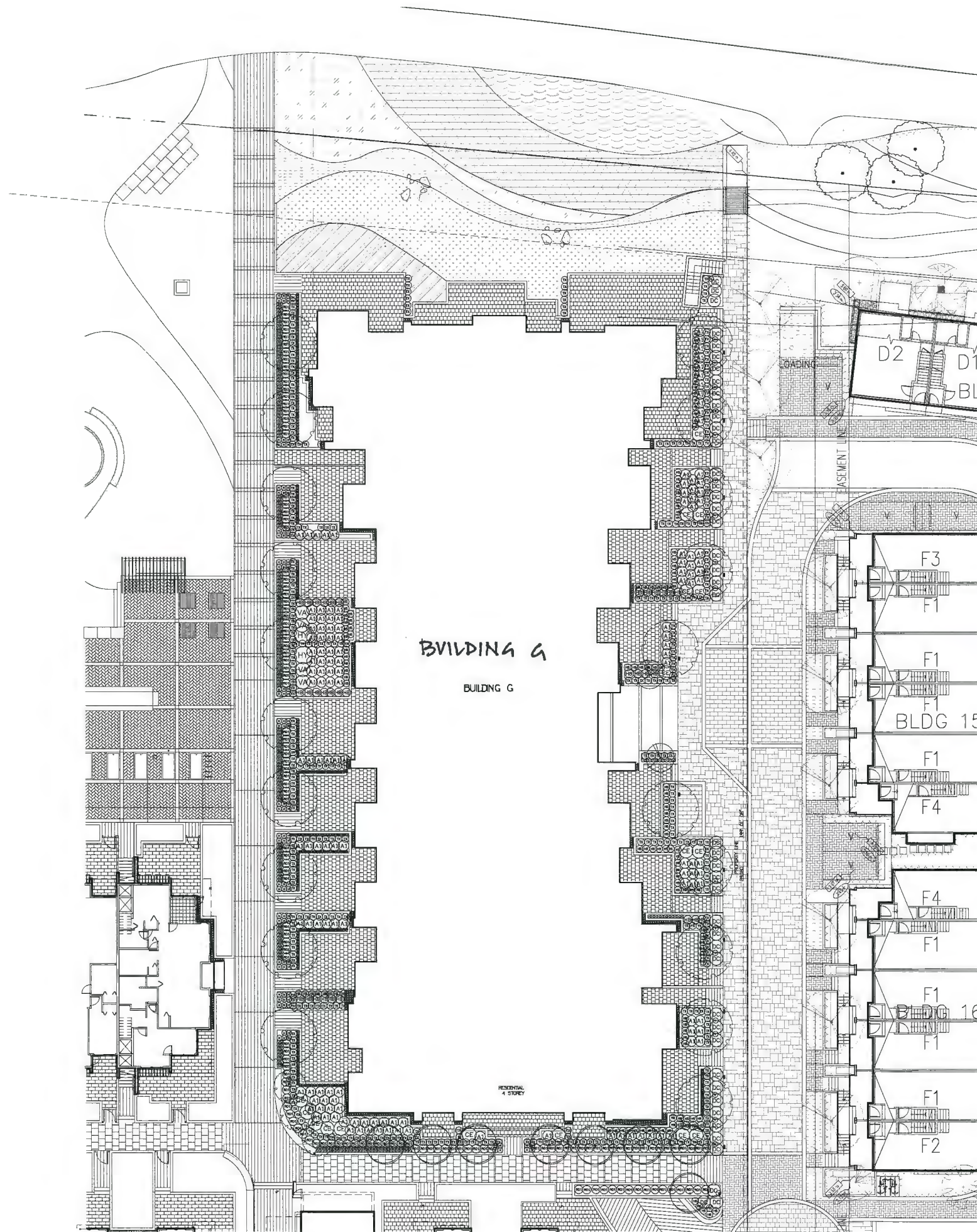
CHKD:

DRAWING NUMBER:

**L1**

OF 5





CEANOTHUS



DAPHNE



FERNS



HYDRANGEA



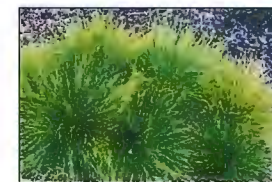
MEDILAND ROSE



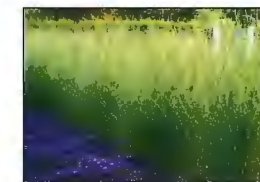
YEW HEDGE



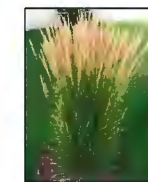
VACCINIUM



BEATLE SEDGE



CHAMISSO SEDGE



FEATHER GRASS



BLUEBERRY



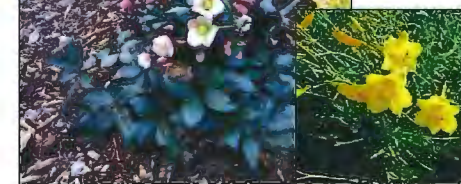
JUNCUS



PENNISETUM



SEDUM



HELLEBORUS



HEMEROCALLIS

SEAL:

Supplements Plan 24 with  
shrub layout at Building G

Plan 24b Sept 15, 2016  
DP 11-564405

NO.	DATE	REVISION
3	16.AUG.23	P
2	16.AUG.11	P
1	16.MAY.18	P

CLIENT:

PROJECT:

**MULTI-FAMILY DEV.**

RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:

**LANDSCAPE  
SHRUB PLAN**

DATE: 16.APR.21

SCALE: 1/16"=1'-0"

DRAWN: MM

DESIGN: MCY/MM

CHKD:

DRAWING NUMBER:

**L2**

OF 5



SEAL:

Supplements Plan 24 with  
details at Building G

Plan 24c Sept 15, 2016  
DP 11-564405

NO.	DATE	REVISION
3	16-AUG-23	HEI
2	16-AUG-11	PLK
1	16-MAY-18	PAR

CLIENT:

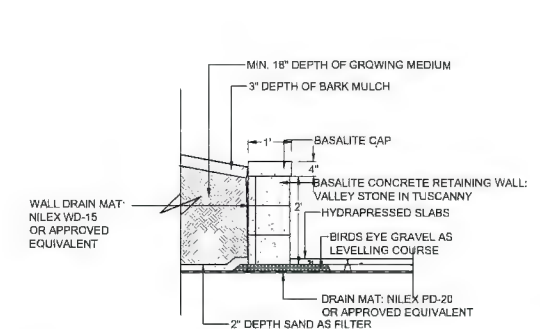
PROJECT:

**MULTI-FAMILY DEV.**  
**RIVER DR.**  
**RICHMOND, B.C.**

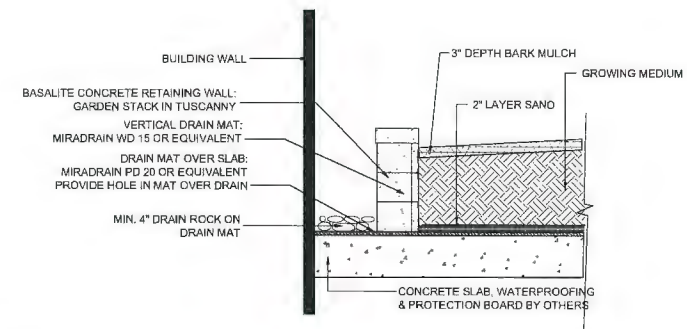
DRAWING TITLE:

**INSPIRATION  
& DETAILS**

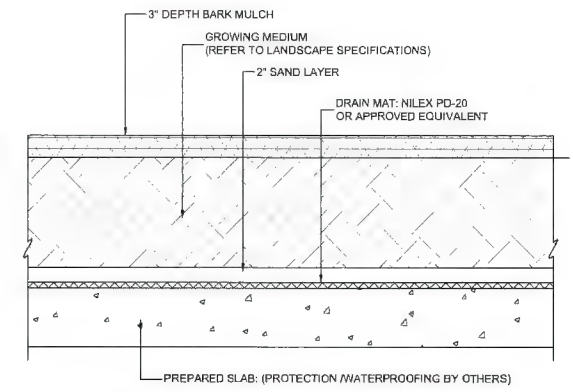
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SCALE: AS SHOWN **L3**  
DRAWN: MM  
DESIGN: MM  
CHK'D: MCY OF 5



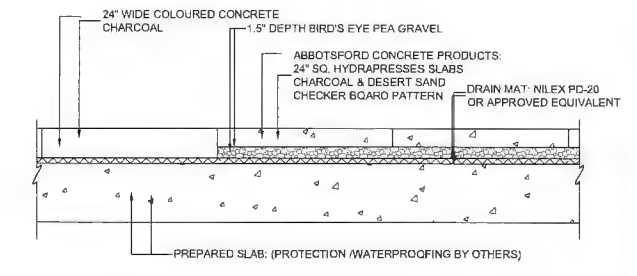
**1**  
**L1**  
**BASALITE: VALLEY STONE RET. WALL ON SLAB**  
1/2"=1'-0"



**2**  
**L1**  
**DRAIN STRIP AT BLDG.**  
1/2"=1'-0"



**3**  
**L1**  
**PLANTING ON SLAB**  
1"=1'-0"



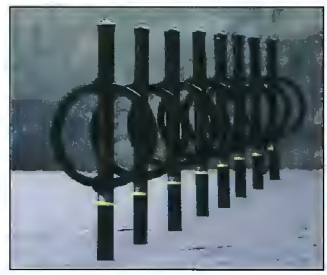
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**L1**  
**HYDRAPRESSED PAVERS ON SLAB**  
1"=1'-0"



LIGHT BOLLARDS



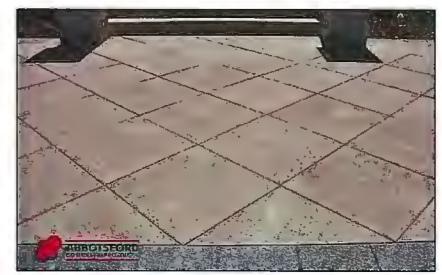
BENCHES



BIKE RACKS



PLANTER WALLS



PAVERS



WOONERF EXAMPLES IN LOWER MAINLAND

SEAL:

### Supplements Plan 24 with sections at Building G

Plan 24d Sept 15, 2016  
DP 11-564405

3	16.AUG.23	N
2	16.AUG.11	P
1	16.MAY.18	P
NO.	DATE	REVISION

CLIENT:

PROJECT:

**MULTI-FAMILY DEV.**

RIVER DR.  
RICHMOND, B.C.

DRAWING TITLE:

## LANDSCAPE SECTIONS

DATE: 16.APR.21

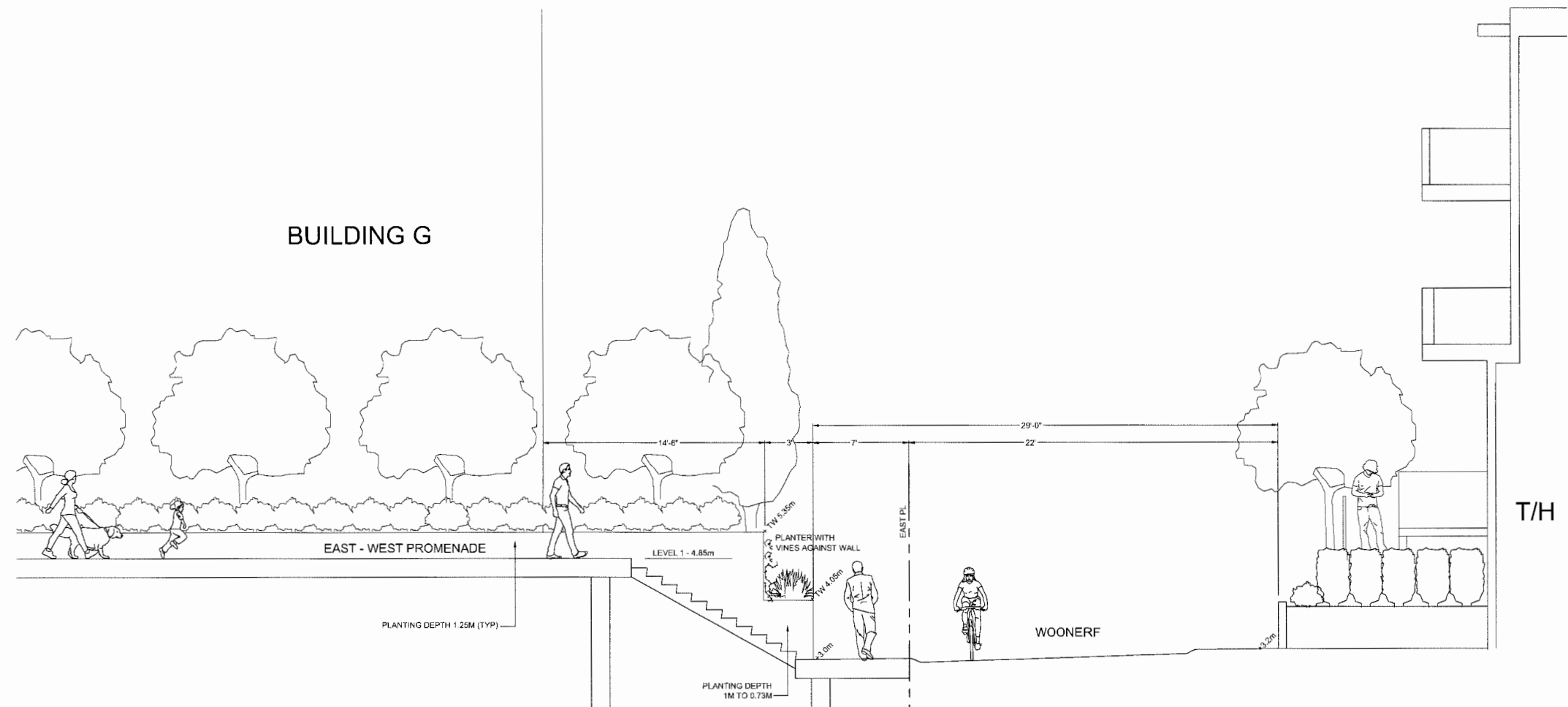
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DRAWN: MM

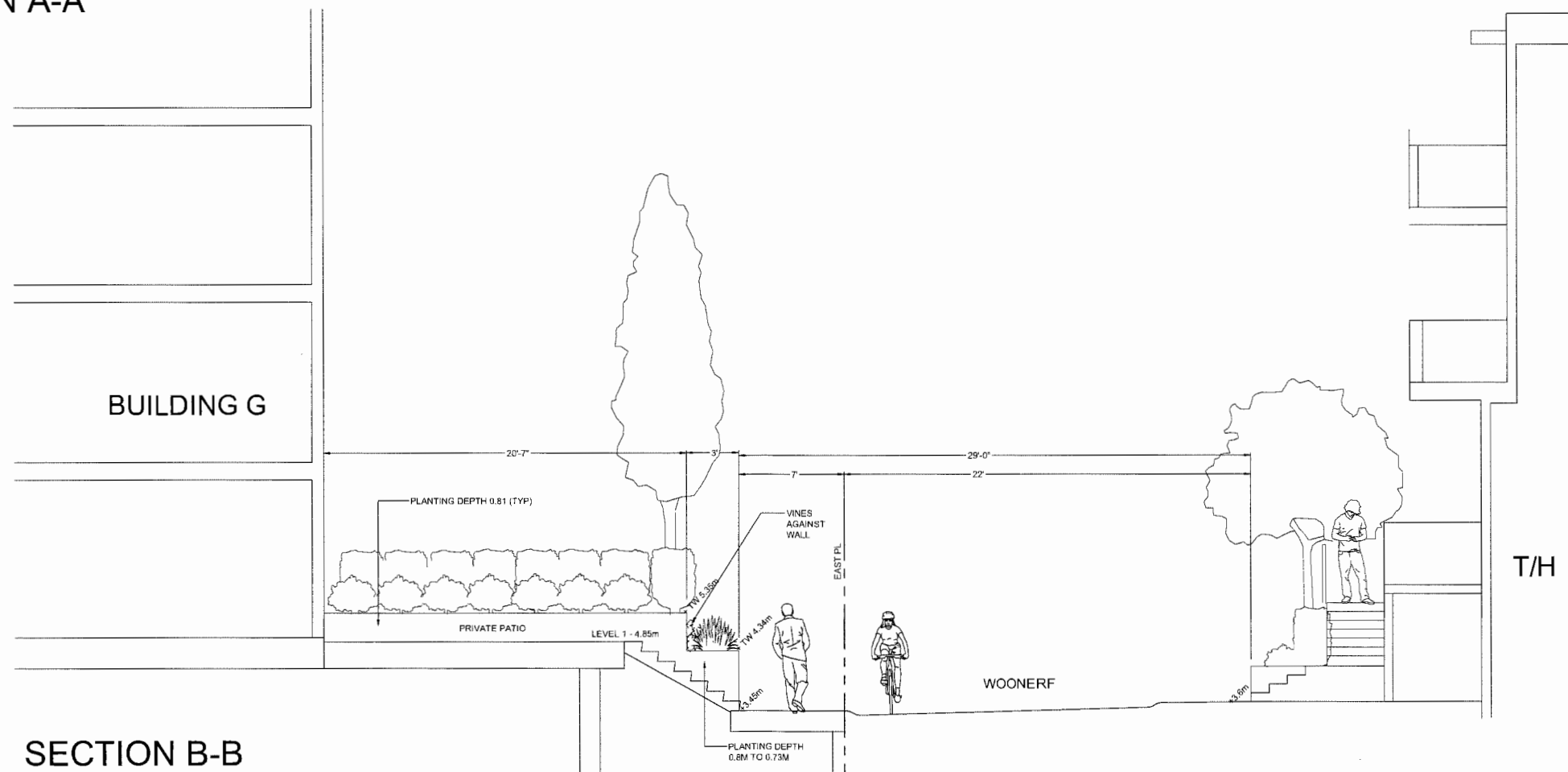
DESIGN: MCY/MM

## L4

OF 5



SECTION A-A



SECTION B-B

SEAL:

Supplements Plan 24 with  
sections at Building G

Plan 24e Sept 15, 2016  
DP 11-564405

NO.	DATE	REVISION
3	16.AUG.23	NE
2	16.AUG.11	PLJ
1	16.MAY.18	PM

CLIENT:

PROJECT:

**MULTI-FAMILY DEV.**

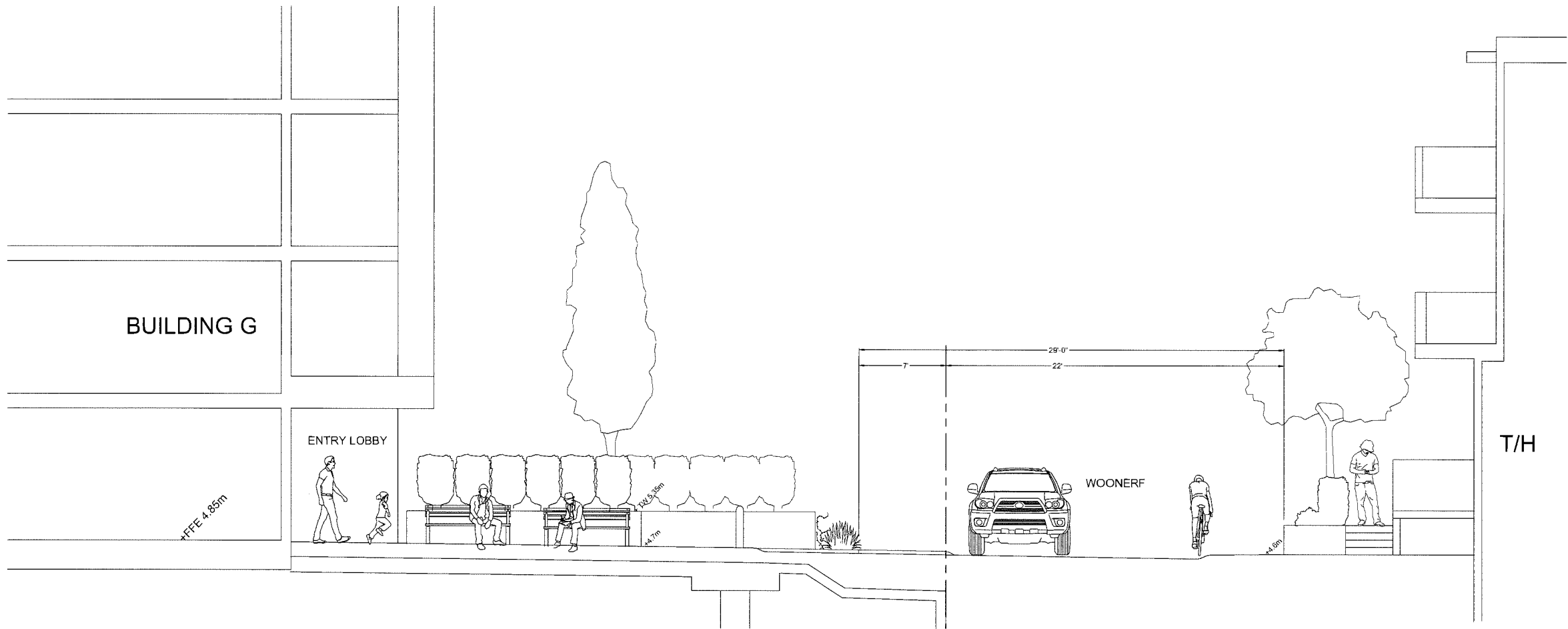
**RIVER DR.  
RICHMOND, B.C.**

DRAWING TITLE:

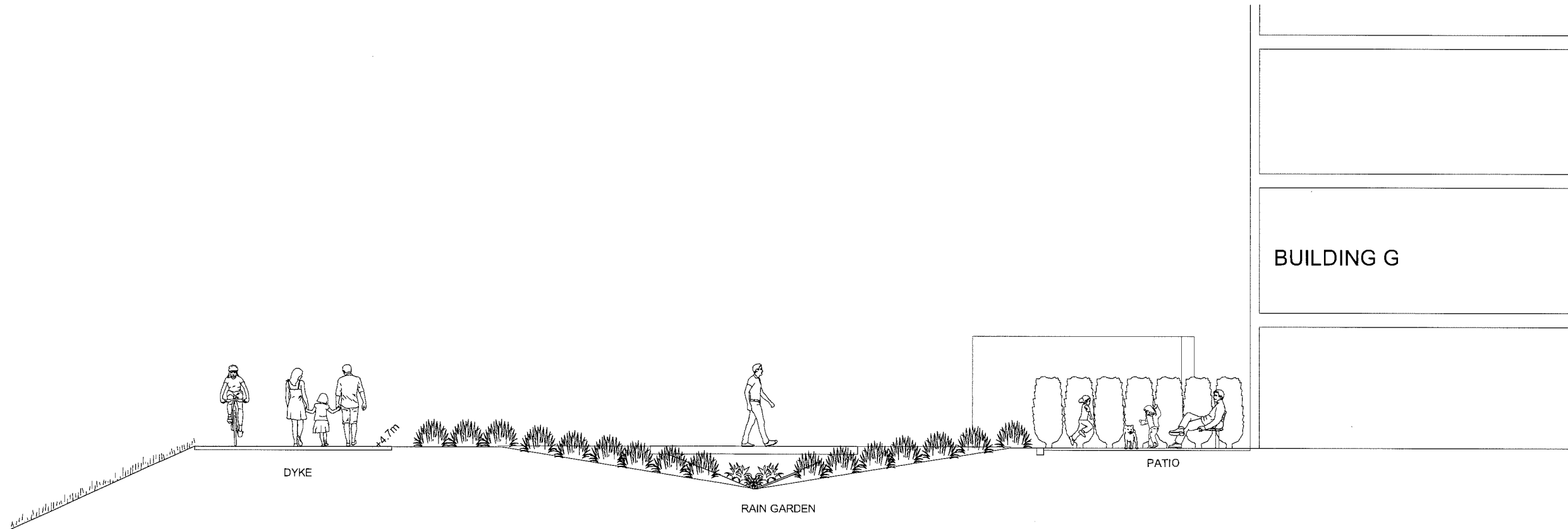
**LANDSCAPE  
SECTIONS**

DATE: 16.APR.21 DRAWING NUMBER:  
SCALE: 1/4"=1'-0"  
DRAWN: MM  
DESIGN: MCY/MM  
CHK'D: OF 5

**L5**

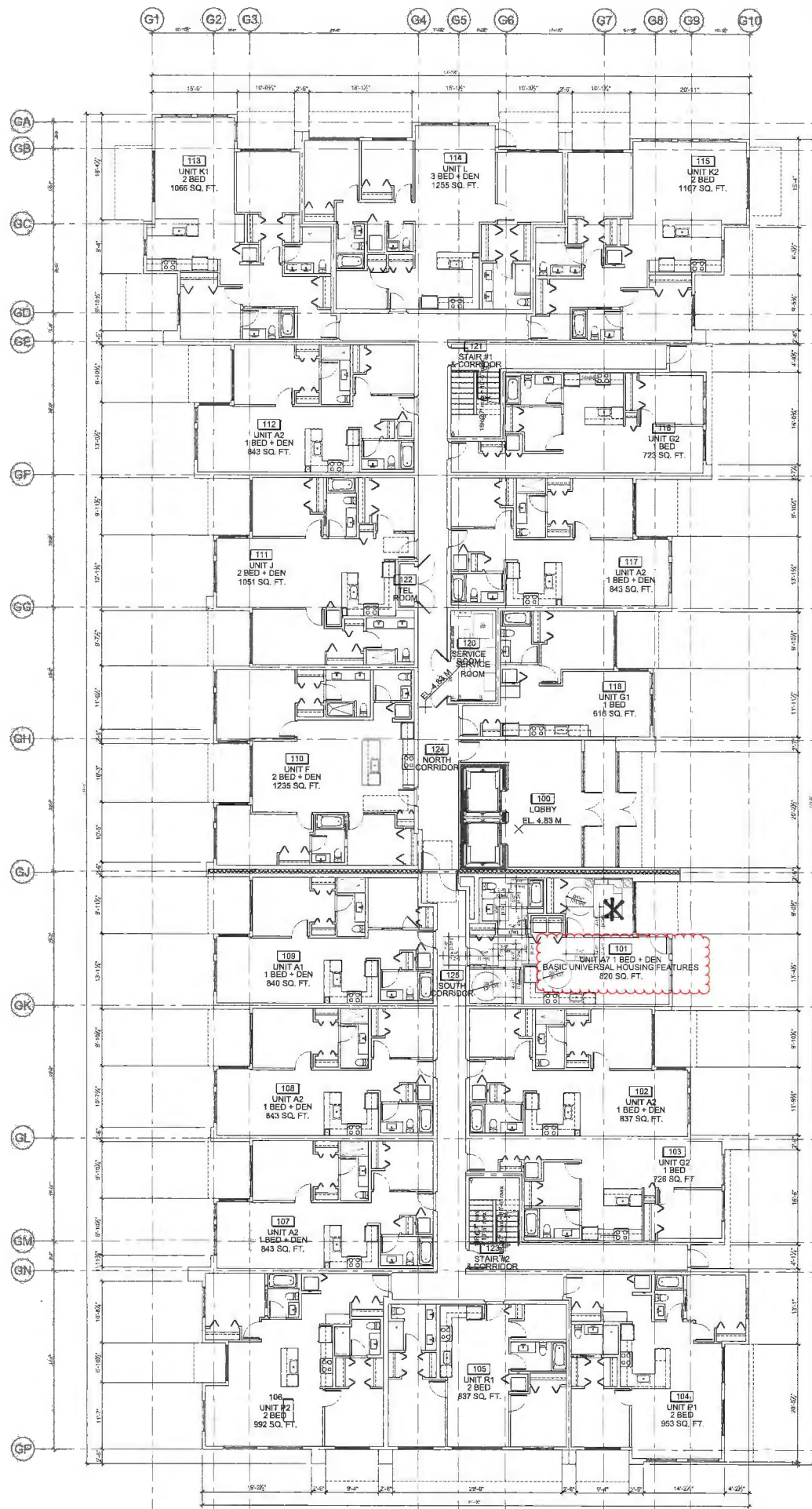


SECTION C-C

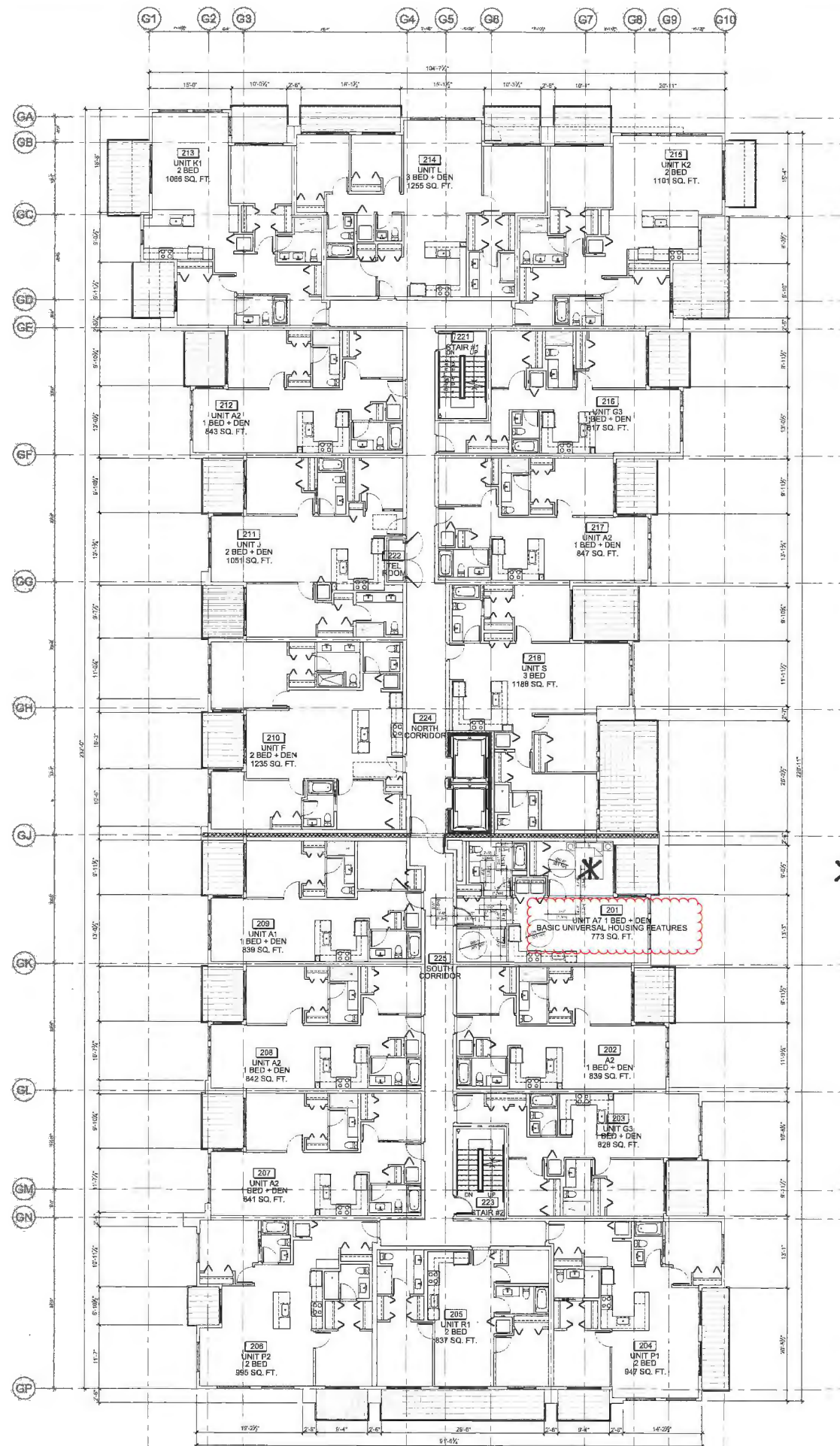


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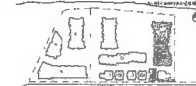




1 BUILDING G - LEVEL 1 FLOOR PLAN  
220



2 BUILDING G - LEVEL 2 FLOOR PLAN  
220



- OPTED PRINCIPLES**
- light-colored carpet floor to walls, reducing noise in common areas and small common areas as needed
  - provide vision panels in doors leading to laundry accessible areas
  - provide shelving to maximize storage
  - provide adjustable lighting in common areas and laundry areas
  - install hand-held vacuum cleaner in laundry area to remove lint
  - provide rough surface finish to walls and ceilings

Replacement reference plan  
with Basic Universal Housing  
Feature Units

Reference Plan Sept 15, 2016  
DP 11-564405

\* BVHF UNITS (2)  
TO COMPLY WITH  
ZONING BYLAW  
SECTION 4.16

**ZGF  
COTTER**

301-454 West Hastings Street, Vancouver, BC V6C 0A6  
TEL: 604 772 1477 FAX: 604 273 1271 Email: info@zgfco.com  
www.zgfco.com



**PARC RIVIERA**  
A RIVERFRONT COMMUNITY  
Mixed-Use Development  
10011 River Drive  
Richmond BC

3461  
PARC RIVIERA  
PROJECTS INC.

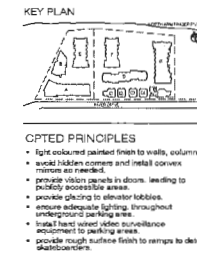
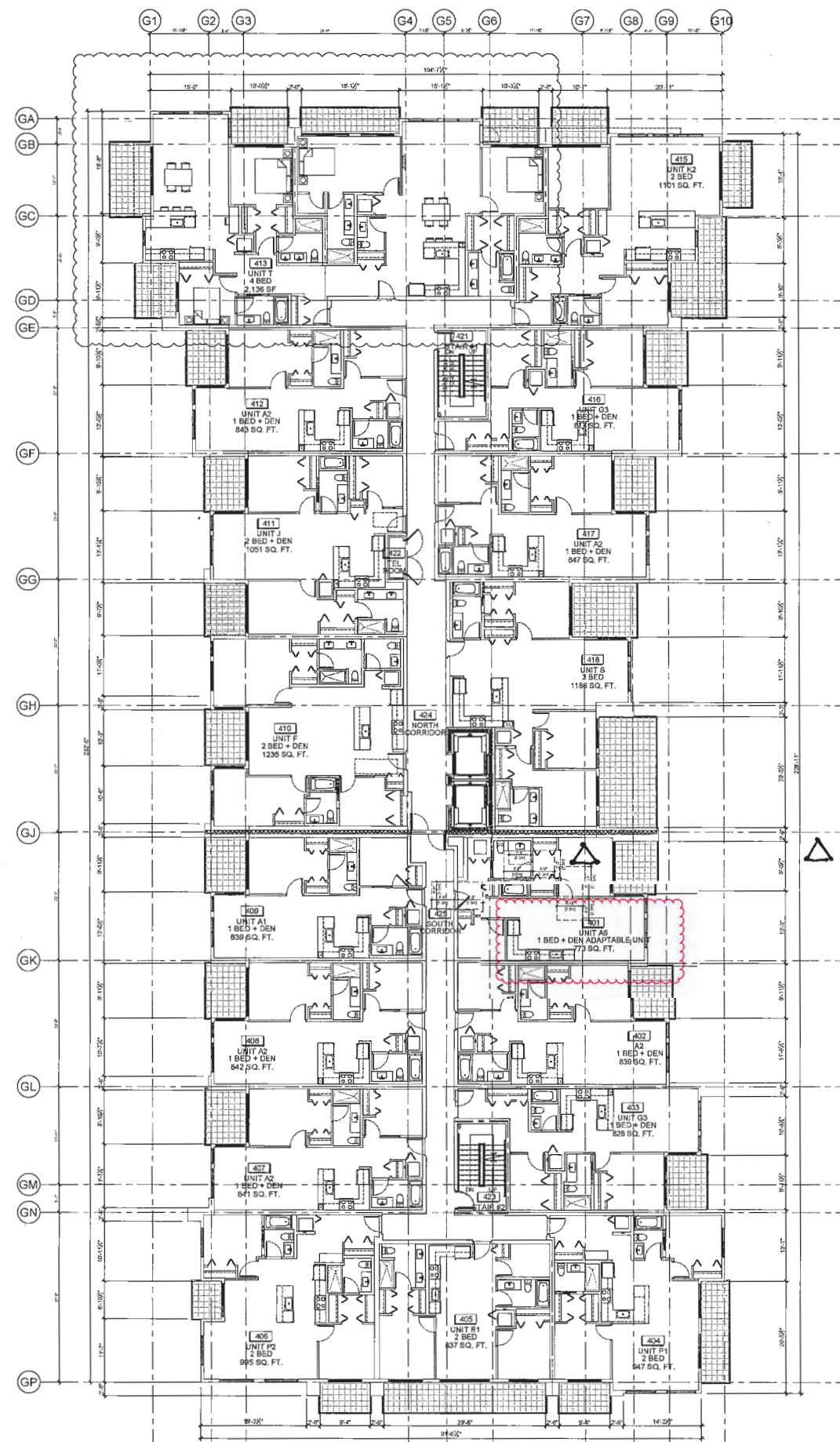
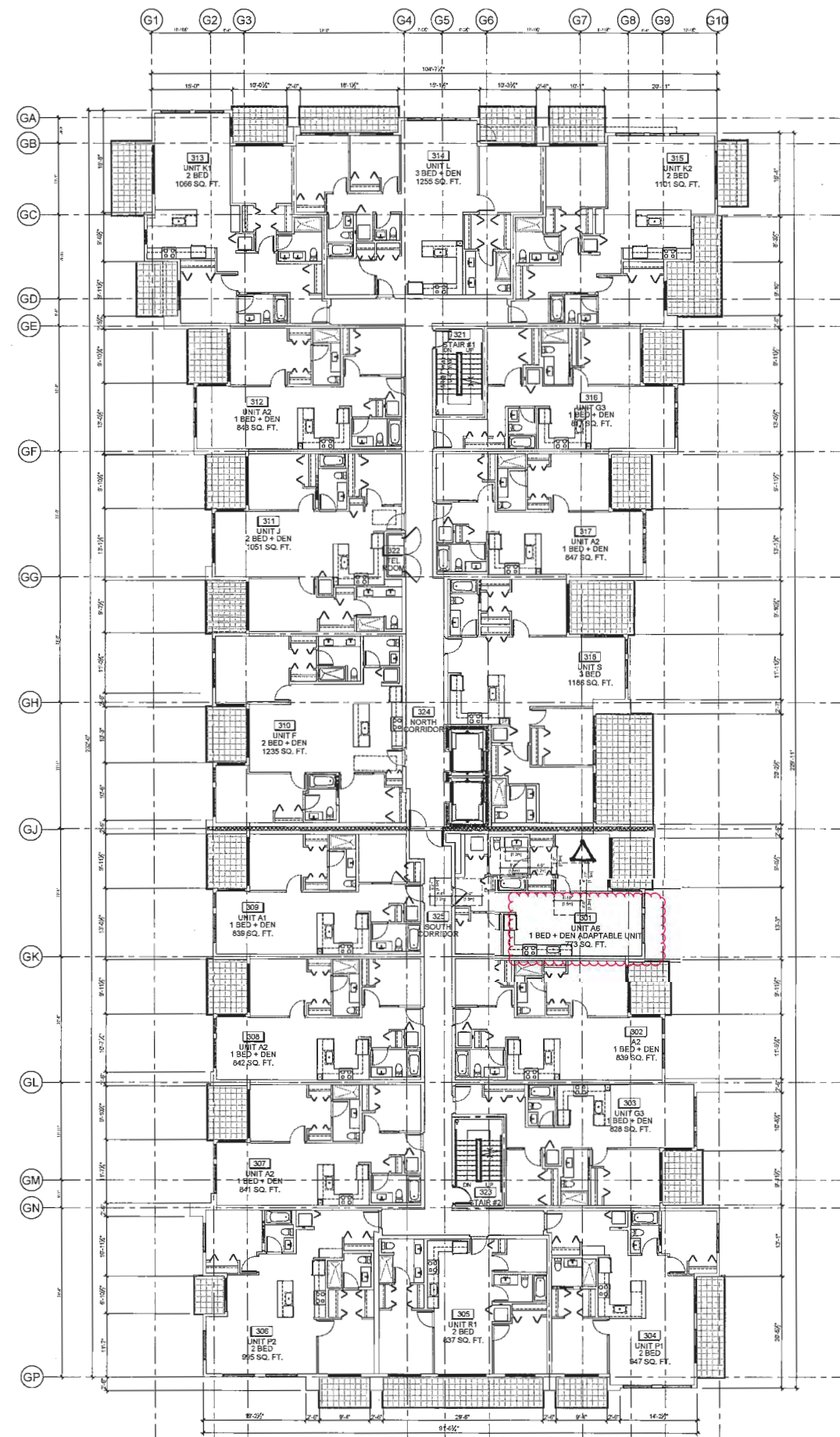
REVISIONS

NO.	DATE	DESCRIPTION
1	11-15-16	ISSUED FOR PERMIT
2	11-15-16	ISSUED FOR PERMIT
3	11-15-16	ISSUED FOR PERMIT
4	11-15-16	ISSUED FOR PERMIT

BUILDING G  
LEVELS 1- 2 FLOOR PLANS







### Replacement reference plan with Adaptable Units in Building G

Reference Plan Sept 15, 2016  
DP 11-564405

Δ ADAPTABLE  
UNITS (3)  
TO COMPLY  
WITH BCBC

ZGF  
COTTER

801-838 West Hastings Street, Vancouver, BC V6C 0A5  
TEL: 604-272-1877 FAX: 604-272-1871 EMAIL: info@igcenter.com  
WEB: www.igcenter.com

\_\_\_\_\_



PAI      SRA

# PARA SU LERA

**A RIVERFRONT COMMUNITY**  
Mixed-use Development

Mixed-use Development  
10011 River Drive

10011 River Drive  
Richmond BC

CLIENT  
PARC RIVIERA  
PROJECTS INC.

이 글은 2014년 12월 15일 14:00에 작성된 글입니다. 이 글은 2014년 12월 15일 14:00에 작성된 글입니다. 이 글은 2014년 12월 15일 14:00에 작성된 글입니다.

圖 10 係以 1980 年 1 月 1 日為起點，至 1980 年 12 月 31 日止，共計 12 個月，其間之平均月利率為 0.000111，即 0.0111%，其平均月利率之平方為 0.00000123，即 0.000123%，其平均月利率之立方為 0.000000133，即 0.0000133%，其平均月利率之四次方為 0.0000000147，即 0.00000147%，其平均月利率之五次方為 0.00000000163，即 0.000000163%，其平均月利率之六次方為 0.000000000179，即 0.0000000179%，其平均月利率之七次方為 0.0000000000197，即 0.00000000197%，其平均月利率之八次方為 0.00000000000219，即 0.000000000219%，其平均月利率之九次方為 0.00000000000244，即 0.000000000244%，其平均月利率之十次方為 0.00000000000271，即 0.000000000271%，其平均月利率之十一次方為 0.00000000000301，即 0.000000000301%，其平均月利率之十二次方為 0.00000000000334，即 0.000000000334%，其平均月利率之十三次方為 0.00000000000370，即 0.000000000370%，其平均月利率之十四次方為 0.00000000000409，即 0.000000000409%，其平均月利率之十五次方為 0.00000000000451，即 0.000000000451%，其平均月利率之十六次方為 0.00000000000496，即 0.000000000496%，其平均月利率之十七次方為 0.00000000000544，即 0.000000000544%，其平均月利率之十八次方為 0.00000000000595，即 0.000000000595%，其平均月利率之十九次方為 0.00000000000649，即 0.000000000649%，其平均月利率之二十次方為 0.00000000000707，即 0.000000000707%，其平均月利率之二十一次方為 0.00000000000768，即 0.000000000768%，其平均月利率之二十二次方為 0.00000000000832，即 0.000000000832%，其平均月利率之二十三次方為 0.00000000000899，即 0.000000000899%，其平均月利率之二十四次方為 0.00000000000969，即 0.000000000969%，其平均月利率之二十五次方為 0.00000000001043，即 0.000000001043%，其平均月利率之二十六次方為 0.00000000001120，即 0.000000001120%，其平均月利率之二十七次方為 0.00000000001201，即 0.000000001201%，其平均月利率之二十八次方為 0.00000000001286，即 0.000000001286%，其平均月利率之二十九次方為 0.00000000001374，即 0.000000001374%，其平均月利率之三十次方為 0.00000000001466，即 0.000000001466%，其平均月利率之三十一次方為 0.00000000001561，即 0.000000001561%，其平均月利率之三十二次方為 0.00000000001660，即 0.000000001660%，其平均月利率之三十三次方為 0.00000000001763，即 0.000000001763%，其平均月利率之三十四次方為 0.00000000001870，即 0.000000001870%，其平均月利率之三十五次方為 0.00000000001981，即 0.000000001981%，其平均月利率之三十六次方為 0.00000000002096，即 0.000000002096%，其平均月利率之三十七次方為 0.00000000002215，即 0.000000002215%，其平均月利率之三十八次方為 0.00000000002338，即 0.000000002338%，其平均月利率之三十九次方為 0.00000000002465，即 0.000000002465%，其平均月利率之四十次方為 0.00000000002596，即 0.000000002596%，其平均月利率之四十一次方為 0.00000000002731，即 0.000000002731%，其平均月利率之四十二次方為 0.00000000002870，即 0.000000002870%，其平均月利率之四十三次方為 0.00000000003013，即 0.000000003013%，其平均月利率之四十四次方為 0.00000000003160，即 0.000000003160%，其平均月利率之四十五次方為 0.00000000003311，即 0.000000003311%，其平均月利率之四十六次方為 0.00000000003466，即 0.000000003466%，其平均月利率之四十七次方為 0.00000000003625，即 0.000000003625%，其平均月利率之四十八次方為 0.00000000003788，即 0.000000003788%，其平均月利率之四十九次方為 0.00000000003955，即 0.000000003955%，其平均月利率之五十次方為 0.00000000004126，即 0.000000004126%，其平均月利率之五十一次方為 0.00000000004301，即 0.000000004301%，其平均月利率之五十二次方為 0.00000000004480，即 0.000000004480%，其平均月利率之五十三次方為 0.00000000004663，即 0.000000004663%，其平均月利率之五十四次方為 0.00000000004850，即 0.000000004850%，其平均月利率之五十五次方為 0.00000000005041，即 0.000000005041%，其平均月利率之五十六次方為 0.00000000005236，即 0.000000005236%，其平均月利率之五十七次方為 0.00000000005435，即 0.000000005435%，其平均月利率之五十八次方為 0.00000000005638，即 0.000000005638%，其平均月利率之五十九次方為 0.00000000005845，即 0.000000005845%，其平均月利率之六十次方為 0.00000000006056，即 0.000000006056%，其平均月利率之六十一次方為 0.00000000006271，即 0.000000006271%，其平均月利率之六十二次方為 0.00000000006490，即 0.000000006490%，其平均月利率之六十三次方為 0.00000000006713，即 0.000000006713%，其平均月利率之六十四次方為 0.00000000006940，即 0.000000006940%，其平均月利率之六十五次方為 0.00000000007171，即 0.000000007171%，其平均月利率之六十六次方為 0.00000000007406，即 0.000000007406%，其平均月利率之六十七次方為 0.00000000007645，即 0.000000007645%，其平均月利率之六十八次方為 0.00000000007888，即 0.000000007888%，其平均月利率之六十九次方為 0.00000000008135，即 0.000000008135%，其平均月利率之七十次方為 0.00000000008386，即 0.000000008386%，其平均月利率之七十一次方為 0.00000000008641，即 0.000000008641%，其平均月利率之七十二次方為 0.00000000008900，即 0.000000008900%，其平均月利率之七十三次方為 0.00000000009163，即 0.000000009163%，其平均月利率之七十四次方為 0.00000000009430，即 0.000000009430%，其平均月利率之七十五次方為 0.00000000009701，即 0.000000009701%，其平均月利率之七十六次方為 0.00000000009976，即 0.000000009976%，其平均月利率之七十七次方為 0.00000000010255，即 0.000000010255%，其平均月利率之七十八次方為 0.00000000010538，即 0.000000010538%，其平均月利率之七十九次方為 0.00000000010825，即 0.000000010825%，其平均月利率之八十次方為 0.00000000011116，即 0.000000011116%，其平均月利率之八十一次方為 0.00000000011411，即 0.000000011411%，其平均月利率之八十二次方為 0.00000000011710，即 0.000000011710%，其平均月利率之八十三次方為 0.00000000012013，即 0.000000012013%，其平均月利率之八十四次方為 0.00000000012320，即 0.000000012320%，其平均月利率之八十五次方為 0.00000000012631，即 0.000000012631%，其平均月利率之八十六次方為 0.00000000012946，即 0.000000012946%，其平均月利率之八十七次方為 0.00000000013265，即 0.000000013265%，其平均月利率之八十八次方為 0.00000000013588，即 0.000000013588%，其平均月利率之八十九次方為 0.00000000013915，即 0.000000013915%，其平均月利率之九十次方為 0.00000000014246，即 0.000000014246%，其平均月利率之九十一次方為 0.00000000014581，即 0.000000014581%，其平均月利率之九十二次方為 0.00000000014920，即 0.000000014920%，其平均月利率之九十三

Debris	Ta / SdS	FEAL
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Age Group	Percentage
18-24	10%
25-34	20%
35-44	25%
45-54	20%
55-64	15%
65-74	10%
75-84	5%
85+	5%

CH<sub>2</sub>CH<sub>2</sub>CO<sub>2</sub>H - 2A

SCALE 1/4" = 1'-0"

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DATE: 2016-05-23



BUILDING C

LEVELS 3-4 FLOOR PLANS

LEVEL 3-4 / EIGHTH GRADE

## CONCLUSIONS



117

④

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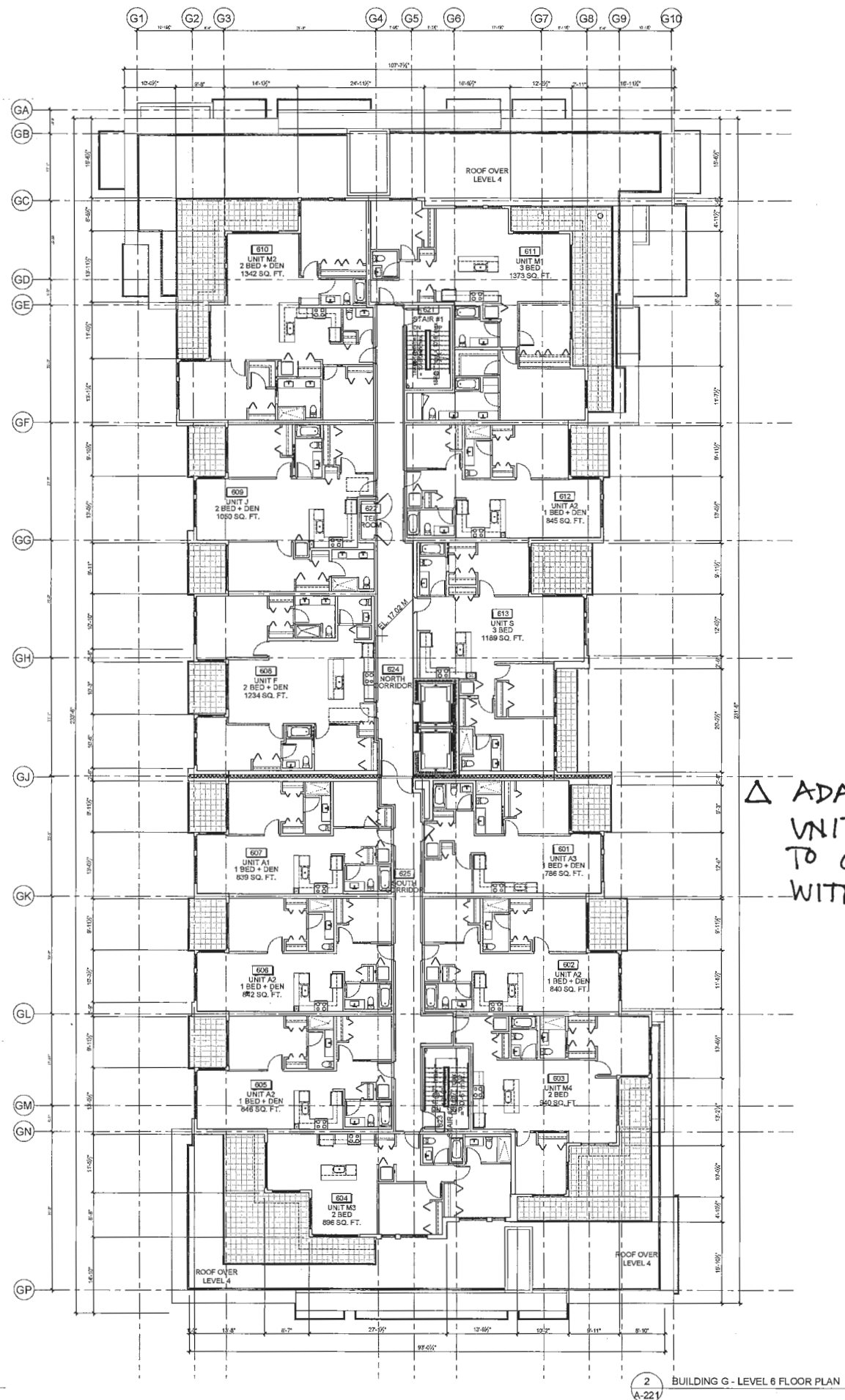
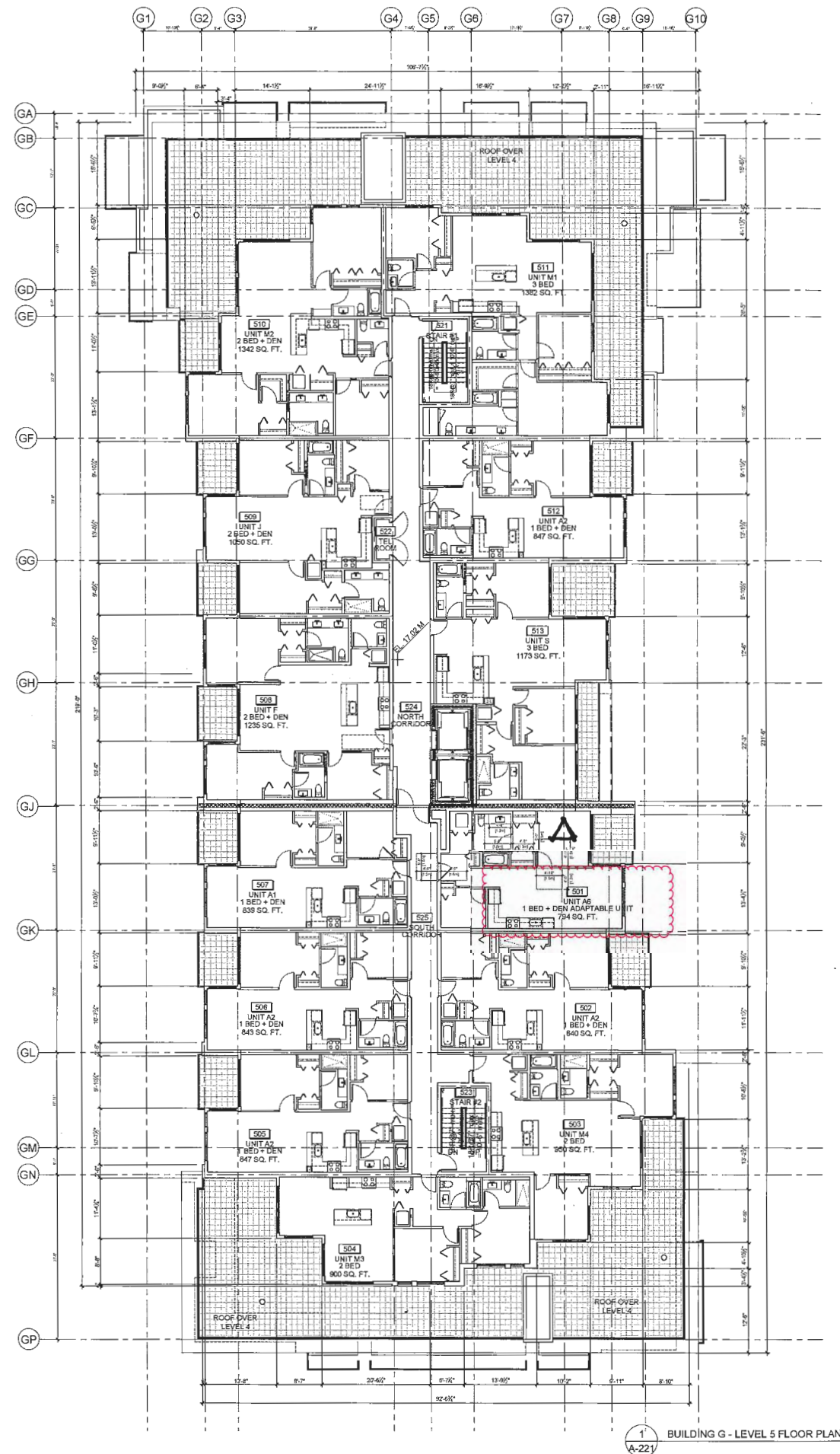
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A 221

A-221

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KEY PLAN



OPTED PRINCIPLES

- light coloured painted finish to walls, columns
- avoid hidden corners and install convex mirrors at re-entrant
- provide vision panels in doors, leading to publicly accessible areas
- provide glazing to elevator lobbies
- ensure adequate lighting throughout underground parking area
- install hand held video surveillance equipment to parking areas
- provide rough surface finish to ramps to deter skateboarders

Replacement reference plan  
with Adaptable Units in  
Building G

Reference Plan Sept 15, 2016  
DP 11-564405

△ ADAPTABLE  
UNITS (3)  
TO COMPLY  
WITH BCBC

ZGF  
COTTER

300-638 West Hastings Street, Vancouver, BC V6C 0H6  
TEL: 604-681-1111 FAX: 604-681-1112 EMAIL: info@zgfco.com

PROJECT



PARC RIVIERA  
A RIVERFRONT COMMUNITY  
Mixed-use Development  
10011 River Drive  
Richmond BC

CLIENT  
PARC RIVIERA  
PROJECTS INC.

DATE: 09/15/2016

BY: [Signature]

SCALE: 1/8" = 1'-0"

DATE: 09/15/2016

BY: [Signature]

SCALE: 1/8" = 1'-0"

DATE: 09/15/2016

BY: [Signature]

SCALE: 1/8" = 1'-0"

DATE: 09/15/2016

BY: [Signature]

SCALE: 1/8" = 1'-0"

DATE: 09/15/2016

BY: [Signature]

SCALE: 1/8" = 1'-0"

DATE: 09/15/2016

BY: [Signature]

SCALE: 1/8" = 1'-0"



# City of Richmond

## Report to Development Permit Panel

---

**To:** Development Permit Panel

**Date:** September 20, 2016

**From:** Wayne Craig  
Director, Development

**File:** DP 13-633035


**Re:** Application by Gerry Blonski for a Development Permit at 7088 Heather Street

---

### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of four (4) three-storey townhouse units at 7088 Heather Street on a site zoned "High Density Townhouses (RTH2)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area in the "High Density Townhouse (RTH2)" zone from 1,800 m<sup>2</sup> to 1,000 m<sup>2</sup>.



Wayne Craig  
Director, Development

EL:blg

Att.

## **Staff Report**

### **Origin**

Gerry Blonski has applied to the City of Richmond for permission to develop four (4) three-storey townhouse units at 7088 Heather Street. The site is being rezoned from the "Single Detached (RS1/F)" zone to "High Density Townhouses (RTH2)" for this project under Bylaw 8928 (RZ 11-595579); which received third reading following the Public Hearing on October 15, 2012. The site is currently vacant.

Frontage improvements and storm sewer upgrades were secured through the rezoning process and will be constructed through a separate Servicing Agreement, which must be entered into prior to final adoption of the rezoning bylaw. Works include, but are not limited to road widening on Granville Avenue, frontage beautification works on both the Heather Street and Granville Avenue frontages, storm sewer upgrades along Heather Street, and service connections.

### **Development Information**

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

To the north, across Granville Avenue: Garden City Park zoned "School and Institutional Use (SI)".

To the south: three-storey townhouse developments on lots zoned "Town Housing (ZT50) – South McLennan (City Centre)".

To the east: A single-family home at 9240 Granville Avenue; zoned "Single Detached (RS1/F)", and then three-storey townhouse developments on lots along the south side of Granville Street; zoned "Town Housing (ZT50) – South McLennan (City Centre)".

To the west, across Heather Street: The North Richmond Alliance Church at 9140 Granville Avenue; zoned "Assembly (ASY)".

### **Rezoning and Public Hearing Results**

The Public Hearing for the rezoning of this site was held on October 15, 2012. A letter outlining a number of concerns from the North Richmond Alliance Church was presented at the Public Hearing. The concerns were traffic safety of motorists and pedestrians, access for emergency vehicles, as well as additional traffic and parking demands due to the proposed development. Staff has also received a similar letter from the North Richmond Alliance Church in April, 2016 regarding the subject Development Permit Application.

In response to the comments, the number of units proposed has been reduced from six (6) to four (4). In addition, the required road widening on Granville Avenue, new sidewalks and treed boulevards, on both Heather Street and Granville Avenue, should address the concerns related to traffic safety and access of emergency vehicles.



Transportation Department staff confirmed that the proposed four (4) unit townhouse development will result in a manageable increase in traffic on Heather Street. It is anticipated this increase will result in two (2) additional vehicles per hour during the morning and afternoon peak period. This translates to one (1) additional vehicle every 30 minutes at peak travel times and staff are of the opinion that this traffic can be accommodated on Heather Street. The City's bylaw requirements for off-street parking have also been met by the application.

### **Staff Comments**

The Official Community Plan (OCP) designates the subject property as "Neighbourhood Residential" (i.e., areas where the principal uses are single-family, two-family and multiple-family housing). The City Centre Area, McLennan South Sub-Area Plan (Schedule 2.10D), designates the property for "Residential, Townhouse up to three (3) storeys over one (1) parking level, Triplex, Duplex, Single-Family 0.75 base FAR". The proposed three-storey townhouse development will comply with both the OCP and the McLennan South Sub-Area Plan land use designations.

The proposed scheme attached to this report has satisfactorily addressed significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposal complies with the intent of the applicable sections of the OCP and is generally in compliance with the "High Density Townhouses (RTH2)", except for the zoning variance noted below.

### **Zoning Compliance/Variations (staff comments in bold)**

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot area from 1,800 m<sup>2</sup> to 1,000 m<sup>2</sup>.

*(The subject property is located at the southeast corner of Heather Street and Granville Avenue and is one (1) of two (2) properties left undeveloped by an adjacent 59-unit townhouse complex located at 9333 Sills Avenue. The applicant of the rezoning application was not successful in acquiring the neighbouring property to the east at 9240 Granville Avenue to participate in redeveloping their lot, but the applicant has provided a conceptual layout of the neighbouring property with vehicle access via the driveway on the subject site.*

*Staff supports the proposed variance as it has been demonstrated that the neighbouring property to the east at 9240 Granville Avenue could be redeveloped as an extension of the subject development in the future. A public right-of-passage (PROP) statutory right-of-way (SRW) on-site, allowing access to/from the adjacent future development sites via the subject site, has been secured at rezoning.)*

### **Advisory Design Panel Comments**

This small, four-unit townhouse development proposal was not presented to the Advisory Design Panel (ADP) on the basis that the project generally met all the applicable Development Permit Guidelines, and the overall design and site plan adequately addressed staff comments.

## Analysis

### *Conditions of Adjacency*

- Both the form and massing of the proposed development are generally consistent with the existing surrounding townhouse development which is comprised of three-storey townhouses.
- The adjacent property to the east has future potential for redevelopment as townhouses, and the proposed development does not reduce this potential.
- Reduced window sizes on the east elevation of the proposed buildings are included in the architectural design to address potential adjacency and privacy issues.
- A natural screen with a line of Skyrocket Oak trees and a 1.8 m tall wood fence is proposed between the subject site and adjacent property to the east for added privacy on both sites. A 2.7 m tall trellis is also proposed at the end of the drive aisle to mitigate potential headlight glare to the neighbouring property.
- The south yard setbacks to the living room windows on the second floor and to the bedroom windows on the third floor range from 5.71 m to 6.35 m, and the south yard setback to the second floor deck is approximately 3.62 m, all of which exceed the minimum rear yard setback requirement of 2.0 m. A mix of Evergreen hedges and Amanagawa Cherry trees, and a 1.8 m tall wood fence are proposed along the rear property line for screening between the subject and the neighbouring property to the south.

### *Urban Design and Site Planning*

- The proposal consists of two (2) duplex buildings, with a total of four (4) units. All units have direct access from the street.
- The proposed site layout provides for a pedestrian-oriented streetscape for townhouses fronting both Granville Avenue and Heather Street. A landscaped edge treatment, low metal fencing, and metal gates to individual townhouse unit front doors serve to clearly define the interface.
- All units have two (2) vehicle parking spaces in a side-by-side double car garage. One (1) standard visitor parking space is provided, which meets the bylaw requirement. Both residential and visitor bicycle parking are provided and are in compliance with the Zoning Bylaw requirements.
- All units have private outdoor spaces consisting of a front or rear yard and decks on the second floor that can be accessed directly from the living space. The provision of private outdoor space for each unit exceeds the minimum Development Permit Guidelines (i.e., 37 m<sup>2</sup> per unit).
- Outdoor amenity space is provided in accordance with the OCP and is designed to promote both active and passive use.
- The outdoor amenity is proposed along the Heather Street frontage. The location of the outdoor amenity space is supportable given the small site area. The location is appropriate in providing open landscape and amenity areas with maximum sun exposure and visual surveillance from the building and local road.

- A covered mailbox kiosk and short-term bicycle parking spaces are provided on the south side of the entrance driveway from Heather Street.
- Additional outdoor amenity space (10% of the site area, i.e., 100.6 m<sup>2</sup>) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as landscaped area throughout the site.
- The required garbage, recycling and organic waste storage enclosure has been incorporated into the design of the proposed Building A in order to minimize visual impacts. The developer has agreed to allow shared use of this storage enclosure with the future development at 9240 Granville Avenue. An easement agreement will be secured as a condition of Development Permit issuance to facilitate this arrangement.

### ***Architectural Form and Character***

- The overall appearance of the proposal conforms to the design guidelines of the South McLennan area and should fit in well to the surrounding area.
- The architectural design assimilates some basic architectural forms of the neighbouring townhouse project; each unit has a portico entrance with gable roof and columns, dominant roof gable, and second floor bay or bay windows.
- A pedestrian scale is generally achieved along the public streets and internal drive aisle through variation in building projections, use of building recesses, entry porches, varying material/colour combinations, landscape features, and individual unit entrances.
- The proposed building materials (asphalt roof shingles, metal panel, hardie panel, wood fascia/trim and building stone) are generally consistent with the Official Community Plan (OCP) Guidelines and are compatible with the existing residential character of the neighbourhood.
- The use of grey metal panels and hardie panels for the main body, with cedar textured metal panel accents and a dark stone base, marks the corner of the block and provides a transition between the neighbouring developments.

### ***Tree Preservation***

- The subject site contains no trees. Neighbouring trees were assessed at rezoning stage and all neighbouring trees are to be retained and protected.
- Two (2) street trees were identified for retention at the rezoning stage. Parks Arboriculture staff re-assessed these trees again in June 2014 and agreed to the removal of a 50 cm caliper Mountain Ash tree located near the northeast corner of the site and an 8 cm caliper Dogwood tree along Heather Street due to their poor condition; a cash compensation in the amount of \$1,300 is required.
- Parks Arboriculture staff also agreed to the removal of a Laurel hedge located near the northwest corner of the site on city's property due to its poor health and condition; no compensation is required.

- Three (3) trees located on the adjacent properties to the east and south will be retained. Proof that the owner has entered into a contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone will be required prior Development Permit issuance.
- Tree protection fencing will be required to be installed as per the Arborist Report recommendations prior to any construction activities occurring on-site. The proposed low retaining wall along the east and south property lines will be diverted outside of the tree protection zone.
- An entry walkway to Unit #3 is proposed along the south property line. In order to protect the 37 cm caliper Western Red Cedar tree located on the adjacent property to the south, timber planks are proposed to be used over the tree well to minimize impact on the protected tree.

### ***Landscape Design and Open Space Design***

- Each unit will have a private yard with landscaping, lawn area and a patio. A mix of trees, broadleaf evergreen materials, ground covers, perennials and grasses has been selected to ensure the landscape treatment remains interesting throughout the year.
- The location of outdoor amenity space provides easy access for the townhouse residents and visual transparency and surveillance in accordance to CPTED principles.
- A children's play area designed for children aged 2 to 5 years old is proposed for the outdoor amenity area. The play equipment includes a number of small children's play apparatus that were chosen to fit into the provided space and to allow multiple children to play at the same time. The equipment provides different play opportunities for the development of social, imagination, balance, and motor skills. Two (2) benches are also provided for caregivers.
- A children's planting garden is also proposed to encourage urban agriculture and provide a gathering place for the residents.
- The entire drive aisle and the surface parking stall will be treated with permeable pavers for better water infiltration and visual variety in paving surfaces.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$66,289.00 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$4,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.

### ***Crime Prevention Through Environmental Design***

- Site lighting and clear sight lines provide unobstructed views of outdoor areas onsite.
- Plantings and fences near residential entries are low to maximize views and casual surveillance opportunities.
- All entrances are visible and overlooked by pedestrians or by neighbour's windows.

***Sustainability***

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- A legal agreement will be registered on Title prior to issuance of the Development Permit to ensure that all units are designed to achieve an EnerGuide rating of 82 (as detailed by the Certified Energy Advisor), and to include pre-ducting for solar hot water heating.

***Accessible Housing***

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident using a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Unit #2) or a chair lift (where the staircase has been dimensioned to accommodate this) in the future, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusions**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Edwin Lee  
Planner 1  
(604-276-4121)

EL:blg

The following are to be met prior to forwarding this application to Council for approval:

- Final adoption of the Zoning Amendment Bylaw 8928.
- Registration of a blanket easement agreement and/or alternative legal agreement(s), to the satisfaction of the City, to allow residents at future residential development at 9240 Granville Avenue to have access to/from the garbage/recycling/organic waste collection facility at this development site. The works are to be built by the owners and are to be maintained by the owners.
- Registration of a restrictive covenant and/or alternative legal agreement(s), to the satisfaction of the City; securing the owner's commitment to have the proposed development achieving Energuide 82 requirements and pre-ducted for solar hot water. This covenant and/or legal agreement(s) will include, at minimum, that no Building Permit will be issued for a building on the subject site unless the building is designed to achieve Energuide 82 requirements and pre-ducted for solar hot water; and that the owner has provided a professional report by a Certified Energy Advisor (CEA), to the satisfactory to the Director of Development.
- Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted near and within the tree protection zone of the trees to be retained on adjacent properties. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
- City acceptance of the developer's offer to voluntarily contribute \$1,300.00 to Parks Division's Tree Compensation Fund for the removal of two (2) trees located on the City boulevard in front of the site.  
Note: Developer/contractor must contact the Parks Division (604-244-1208 ext. 1342) four (4) business days prior to the removal to allow proper signage to be posted. All costs of removal and compensation are the responsibility borne by the applicant.
- Receipt of a Letter-of-Credit for landscaping in the amount of \$66,289.00; Letter-of-Credit will not be released until the Letter of Assurance from the Landscape Architect; confirming that landscaping are installed as per Development Permit, is reviewed by staff.

Prior to future Building Permit issuance, the developer is required to complete the following:

- \* Incorporation of accessibility, CPTED, and sustainability features/measures in Building Permit plans as determined via the Rezoning and/or Development Permit processes.
- \* Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities; including building demolition, occurring on-site.
- \* The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



# City of Richmond

## Development Application Data Sheet

Development Applications Department

**DP 13-633035**

**Attachment 1**

Address: 7088 Heather Street

Applicant: Gerry Blonski

Owner: 1023591 BC LTD.

Planning Area(s): City Centre – McLennan South Sub Area

Floor Area Gross: 1,093.27 m<sup>2</sup>

Floor Area Net: 803.20 m<sup>2</sup>

	Existing	Proposed
<b>Site Area:</b>	1,006 m <sup>2</sup>	No Change
<b>Land Uses:</b>	Single-Family Residential	Multiple-Family Residential
<b>OCP Designation:</b>	Neighbourhood Residential	No Change
<b>Area Plan Designation:</b>	CCAP: General Urban T4 McLennan South Sub Area Plan: Residential, Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family 0.75 base FAR	No Change
<b>Zoning:</b>	Single Detached (RS1/F)	High Density Townhouses (RTH2)
<b>Number of Units:</b>	1	4

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.80 FAR	0.798 FAR	none permitted
Lot Coverage - Building:	Max. 45%	39.6%	none
Lot Coverage – Non-porous Surfaces:	Max. 70%	46.3%	none
Lot Coverage - Landscaping:	Min. 20%	32.7%	none
Setback – Front Yard (Granville Avenue):	Min. 4.5 m	7.28 m	none
Setback – Exterior Side Yard (Heather Street):	Min. 4.5 m	4.51 m	none
Setback – Interior Side Yard:	Min. 2.0 m	2.00 m	none
Setback – Rear Yard:	Min. 2.0 m	6.33 m	none
Height (m):	Max. 12.0 m	11.84 m	none
Lot Depth:	Min. 30.0 m	43.88 m	none
Lot Area:	Min 1,800 m <sup>2</sup>	1,006 m <sup>2</sup>	<b>Variance Requested</b>
Off-street Parking Spaces – Regular (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.25 (V) per unit	none

Off-street Parking Spaces – Total:	6 (R) and 1 (V)	8 (R) and 1 (V)	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (8 x Max. 50% = 4)	0	none
Small Car Parking Spaces	None when fewer than 31 spaces are provided on site	1 extra small car space proposed	none
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.75 (Class 1) and 0.5 (Class 2) per unit	none
Off-street Parking Spaces – Total:	5 (Class 1) and 1 (Class 2)	7 (Class 1) and 2 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m <sup>2</sup> or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m <sup>2</sup> x 4 units = 24 m <sup>2</sup>	52.1 m <sup>2</sup>	none





# City of Richmond

## Development Permit

No. DP 13-633035

To the Holder: GERRY BLONSKI

Property Address: 7088 HEATHER STREET

Address: C/O 12468 82<sup>ND</sup> AVENUE, UNIT 1A  
SURREY, BC V3W 3E9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum lot area in the "High Density Townhouse (RTH2)" zone from 1,800 m<sup>2</sup> to 1,000 m<sup>2</sup>.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$66,289.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

**Development Permit**  
**No. DP 13-633035**

To the Holder:                      GERRY BLONSKI  
Property Address:                  7088 HEATHER STREET  
Address:                              C/O 12468 82<sup>ND</sup> AVENUE, UNIT 1A  
   SURREY, BC V3W 3E9

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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

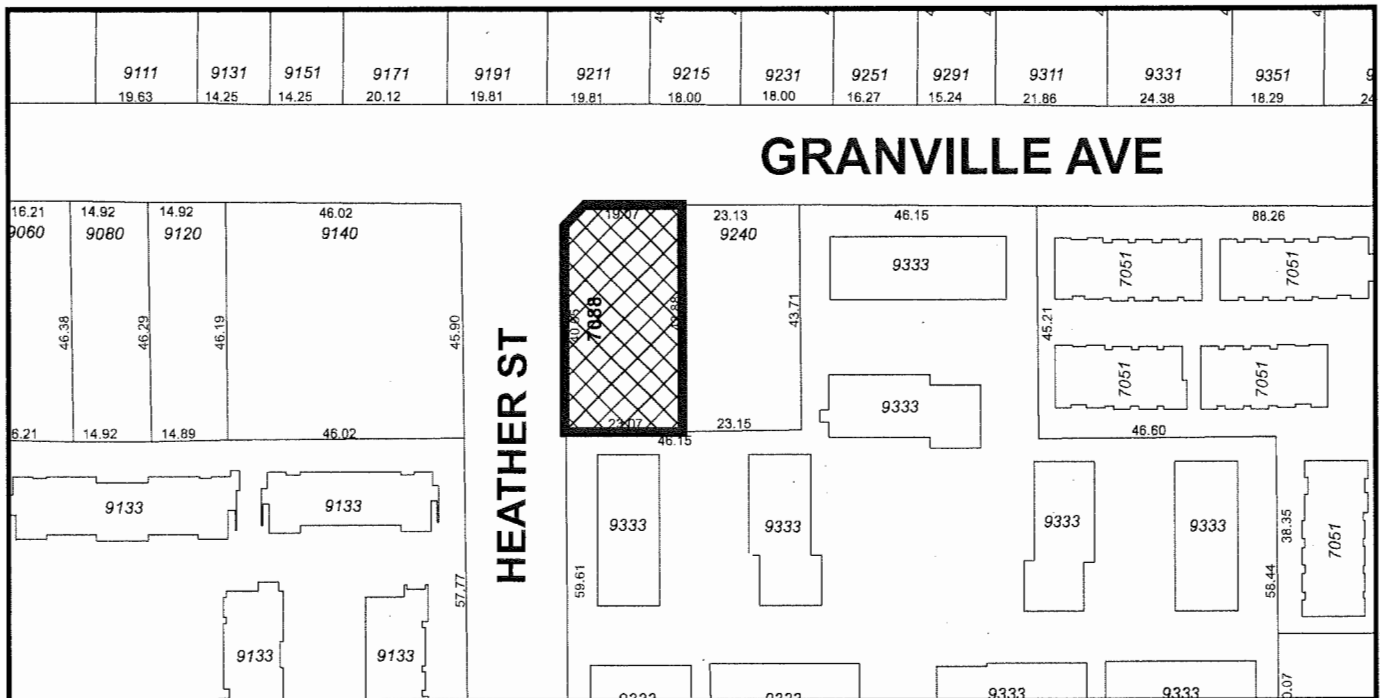
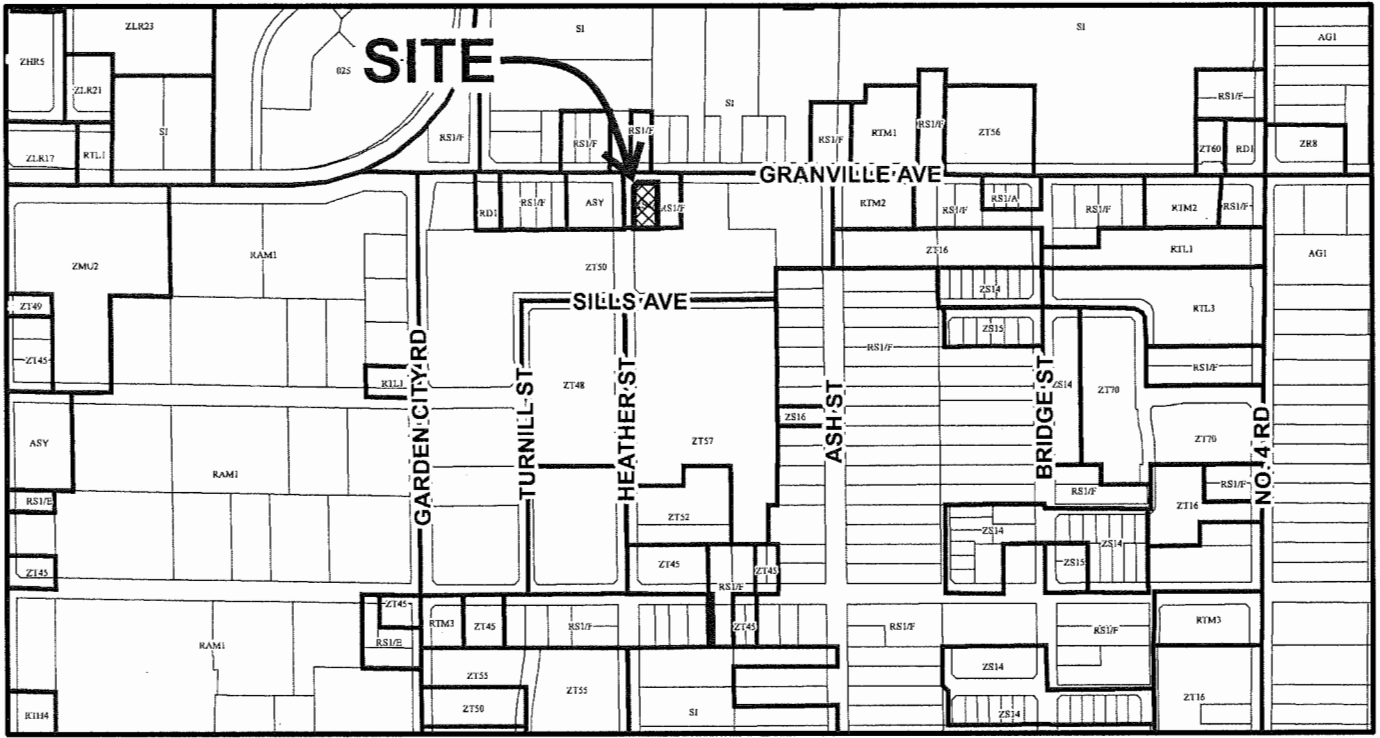
AUTHORIZING RESOLUTION NO.                      ISSUED BY THE COUNCIL THE  
DAY OF                      ,                      .

DELIVERED THIS                      DAY OF                      ,                      .

\_\_\_\_\_  
MAYOR



# City of Richmond

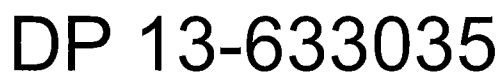
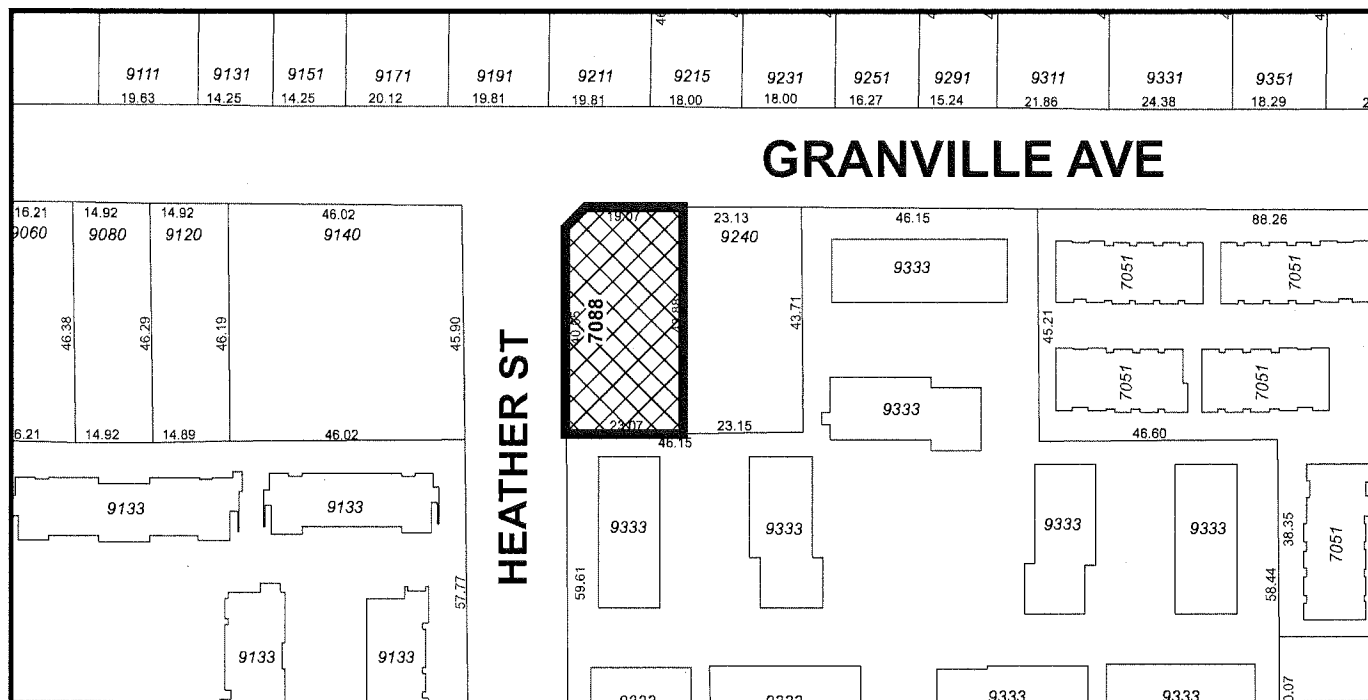


## DP 13-633035 SCHEDULE "A"

Original Date: 09/12/16

Revision Date:

Note: Dimensions are in METRES



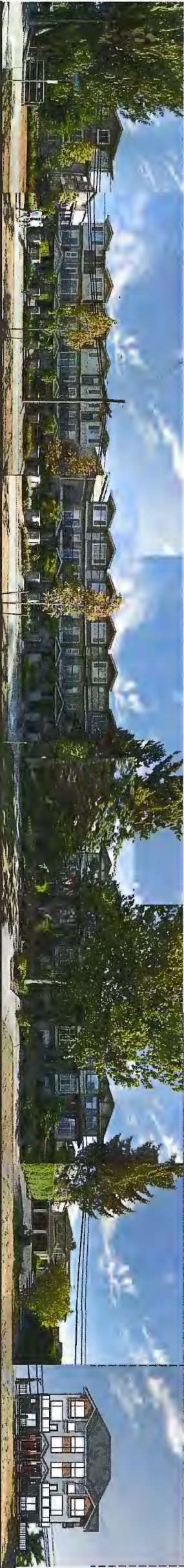
Note: Dimensions are in METRES







ASH ST



HEATHER ST

STREETSCAPE ALONG GRANVILLE AVE

GRANVILLE AVE



SILLS AVE

STREETSCAPE ALONG HEATHER ST

REVISED FOR DP\_13-633035

A0.5

Streetscapes

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE  
DEVELOPMENT  
7088 HEATHER ST, RICHMOND BC

Gerry Blonski  
architect a.i.b.c.

Suite 1A - 12468 - 82nd Ave., Surrey, B.C. V3W 3E9

Ph: 572-3608  
Fax: 572-3760



DP 13-633035

PLAN # 1A

SEP 20 2016

CIVIC ADDRESS

7088 HEATHER STREET  
RICHMOND, B.C.

LEGAL DESCRIPTION

LOT A SECTION 15 BLOCK 4 NORTH RANGE 6  
NEW WESTMINSTER DISTRICT PLAN BCP18787

ZONING SYNOPSIS

1. ZONING:  
EXISTING ZONE: R1  
PROPOSED ZONE: RTH2
2. SITE AREA: 10828.49 SQ.FT. (1006 SQ.M.)
3. SETBACKS  

FRONT	(NORTH)	4.5 M	7.28 M	(COMPLY)
REAR	(SOUTH)	2.0 M	6.33M	(COMPLY)
INTERIOR SIDE	(EAST)	2.0 M	2.00 M	(COMPLY)
EXTERIOR SIDE	(WEST)	4.5 M	4.51 M	(COMPLY)

4. FLOOR AREA:

FLOOR AREA CALCULATION

FIRST FLOOR

	GFA	(EXCLUDE GARAGE)	(EXCLUDE ENTRY & STAIRWAY)	NET FLOOR AREA	
UNIT 1	80.78	43.54	10.00	27.24	SQ.M.
UNIT 2	76.09	39.79	10.00	26.30	SQ.M.
UNIT 3	85.58	49.45	10.00	26.13	SQ.M.
UNIT 4	85.20	47.70	10.00	27.50	SQ.M.
GABAGE ENCLOSURE	11.78			/	SQ.M.
ELEC.	2.00			2.00	SQ.M.
SPRINKLER	2.00			2.00	SQ.M.
TOTAL	343.43			111.17	SQ.M.

COVERED PATIO: 33.02 SQ.M.

SECOND FLOOR

	GFA			NET FLOOR AREA	
UNIT 1	89.92			89.92	SQ.M.
UNIT 2	87.43			87.43	SQ.M.
UNIT 3	89.50			89.50	SQ.M.
UNIT 4	89.50			89.50	SQ.M.
TOTAL	356.35			356.35	SQ.M.

COVERED DECK: 0.00 SQ.M.

THIRD FLOOR

	GFA		(EXCLUDE STAIRWAY)	NET FLOOR AREA	
UNIT 1	88.15		5.32	82.83	SQ.M.
UNIT 2	88.14		3.79	84.35	SQ.M.
UNIT 3	89.49		5.24	84.25	SQ.M.
UNIT 4	89.49		5.24	89.50	SQ.M.
TOTAL	355.27			335.68	SQ.M.

COVERED BALCONY: 5.20 SQ.M.

NET FLOOR AREA  
FIRST FL. 111.17  
SECOND FL. 356.35  
THIRD FL. 335.68  
TOTAL 803.20 SQ.M.

COVERED PATIO/DECK/BALCONY 33.02+5.2 = 38.22  
COVERED PATIO/DECK/BALCONY RATIO 38.22 / 803.20 = 4.75%

5. F.A.R.  
ALLOWED 0.8  
(1006 X 0.8 = 804.8 SQ.M.)  
PROVIDED 803.20 / 1006 = 0.798

6. SITE COVERAGE  
LOT COVERAGE  
ALLOWED 45%  
PROVIDED 398.4 / 1006 = 39.6%

- NON-POROUS AREA  
ALLOWED 70%  
PROVIDED 68 / 1006 = 6.7%

- SOFT LANDSCAPE AREA  
REQUIRED 20%  
PROVIDED 329.4/ 1006 = 32.7%

7. BUILDING HEIGHT  
ALLOWED 12 M  
PROVIDED  
AVERAGR GRADE 1.78 M  
  
BLDG A  
RIDGE 13.62  
LESS AVERAGR GRADE 1.78 11.84 M  
  
BLDG B  
MIDDLE RIDGE 13.62  
LESS AVERAGR GRADE 1.78 11.84 M

8. OUTDOOR AMENITY SPACE  
REQUIRED OUTDOOR AMENITY SPACE 24.0 SQ.M.  
ADDITIONAL OUTDOOR AMENITY SPACE  
REQUIRED:  
10% X 1006 = 100.6 SQ.M  
124.6 SQ.M

- PROVIDED:  
CHILDREN PLAYGROUND 51.2  
CHILDREN'S GARDEN 27.9  
GREEN SPACE 49.1  
128.4 SQ.M

9. RESIDENTIAL PARKING  
VEHICLE PARKING (CITY CENTER)  
REQUIRED:  
RESIDENTIAL 4 UNITS x 1.4 = 5.6 CARS  
VISITORS 4 UNITS x 0.2 = 0.8 (1 CARS)  
  
PROVIDED:  
RESIDENTIAL = 8 CARS (1 SMALL CAR)  
VISITORS = 1 CARS

- BICYCLE PARKING  
REQUIRED:  
CLASS 1 4 UNITS x 1.25 = 5.0  
CLASS 2 4 UNITS x 0.2 = 0.8

- PROVIDED:  
CLASS 1 = 7 (IN EA. GARAGE)  
CLASS 2 = 2

Zoning Synopsis

A0.7

Cerry Blonski  
architect a.i.b.c.

4 UNITS TOWNHOUSE  
DEVELOPMENT  
7088 HEATHER ST. RICHMOND BC

Ph: 572.3806  
Fax: 572.3760  
Suite 1A - 12488 82nd Ave., Surrey, B.C. V3V 3E9

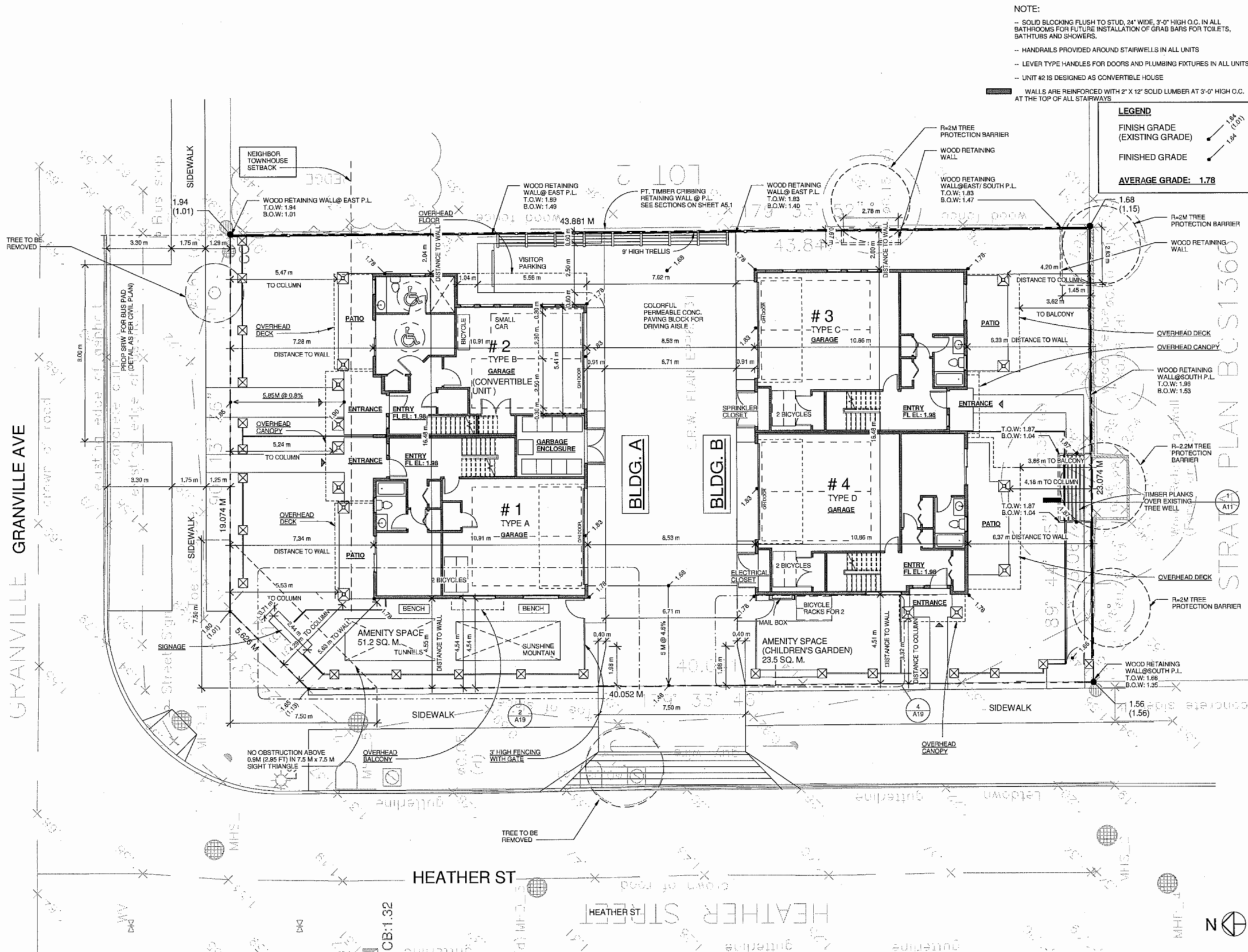
DATE: 18 JUN 2016

JOB NO. 15-10

DP 13-633035

PLAN #1B

SEP 20 2016



NOTE:

- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATHTUBS AND SHOWERS.
- HANDRAILS PROVIDED AROUND STAIRWELLS IN ALL UNITS
- LEVER TYPE HANDLES FOR DOORS AND PLUMBING FIXTURES IN ALL UNITS
- UNIT #2 IS DESIGNED AS CONVERTIBLE HOUSE
- WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 3'-0" HIGH O.C. AT THE TOP OF ALL STAIRWAYS

LEGEND

FINISH GRADE (EXISTING GRADE)

FINISHED GRADE

AVERAGE GRADE: 1.78

① PLAN #1 - Site plan  
1/8" = 1'-0"

REVISED FOR DP\_13-633035

PLAN #1 Site Plan

Gerry Blonski  
architect a.i.b.c.

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

PH: 572-3608  
Fax: 572-3750

Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3W 3E9

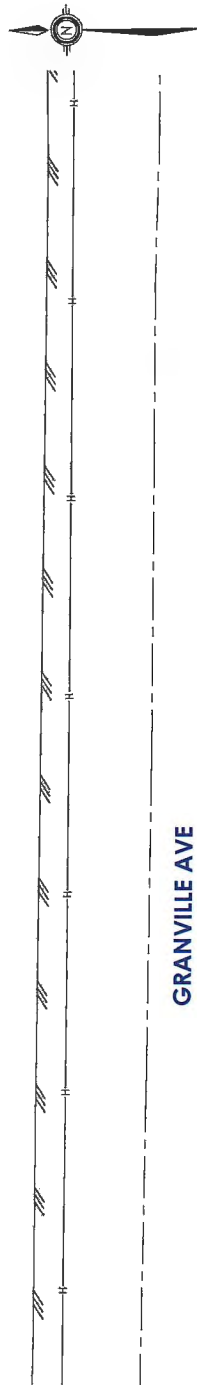
DP 13-633035

PLAN #1C

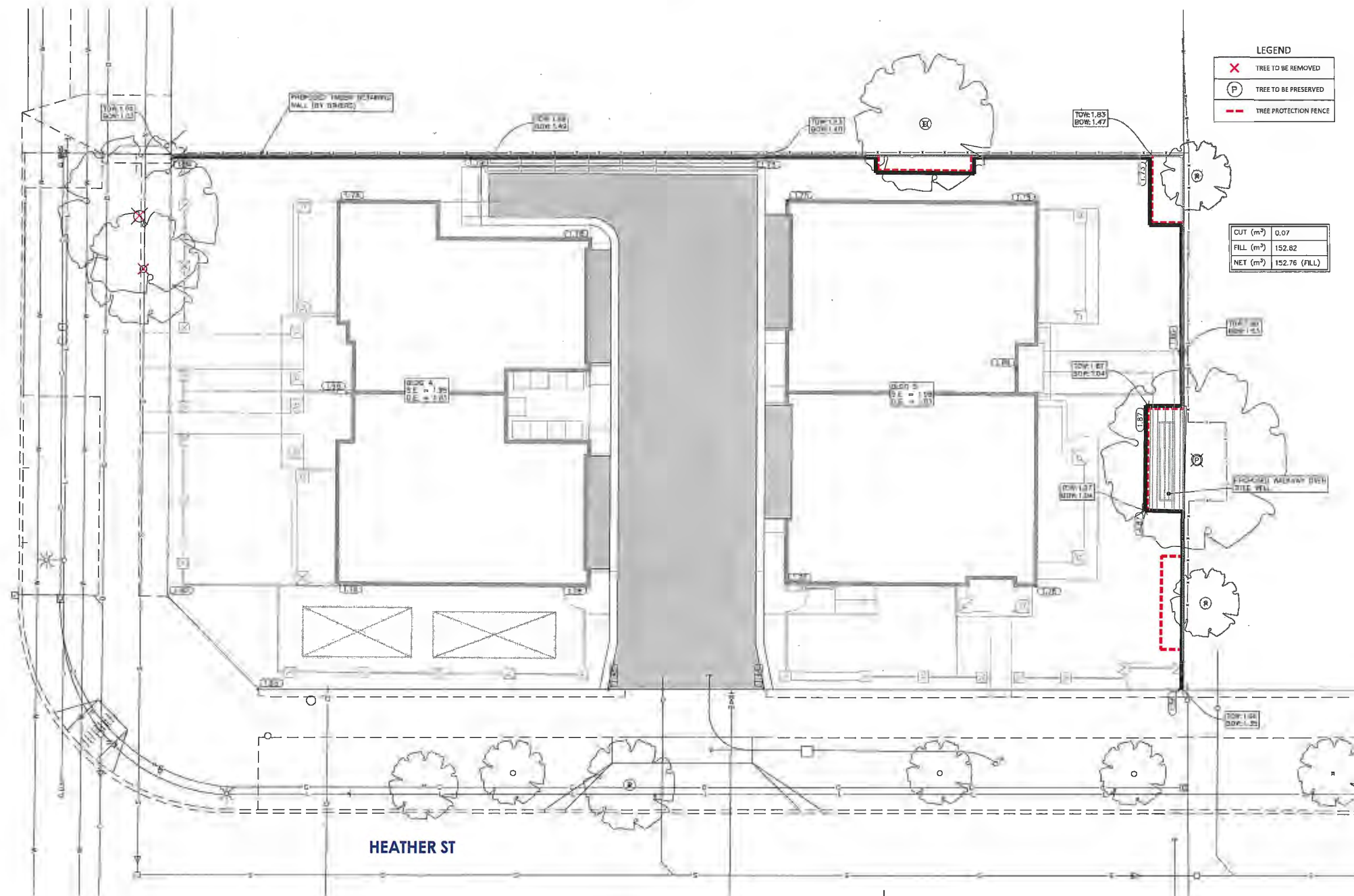
SEP 20 2016

A1





GRANVILLE AVE



HEATHER ST

PLAN  
SCALE: 1/8"=1'-0"

LEGEND	
X	TREE TO BE REMOVED
P	TREE TO BE PRESERVED
- - -	TREE PROTECTION FENCE

CUT (m³)	0.07
FILL (m³)	152.82
NET (m³)	152.76 (FILL)

SEP 20 2016 DP 13-633035  
PLAN # 1D

City of Richmond  
6011 NO. 3 ROAD RICHMOND B.C. V6V 2C1

**FORTIS BC SERVICES**  
THE DEVELOPER OR CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING LOCATION OF GAS SERVICE LINES, AND WHERE NECESSARY, ARRANGE FOR THEIR RELOCATION IN ORDER TO FACILITATE INSTALLATION OF THE WORKS SHOWN ON THESE PLANS. A LIST OF SERVICE LINE LOCATIONS MAY BE OBTAINED FROM:  
BC ONE CALL SERVICE RECORDS DEPARTMENT  
TELEPHONE: (604) 297-1900  
FORTIS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

**NOTES:**  
ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER.  
ELEVATIONS SHOWN ARE BASED UPON THE CITY OF RICHMOND HPN BENCHMARK NETWORK.  
HPN # 202 CONTROL MONUMENT 77H4623 LOCATED AT CL S BOUND L TURN LANE AT NO. 3 ROAD AND BENNETT ROAD  
ELEVATION ELEVATION = 1.452  
ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MPCD) AND THE CURRENT CITY OF RICHMOND SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS, UNLESS OTHERWISE NOTED.

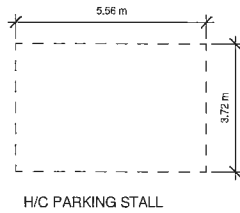
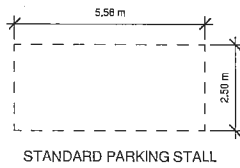
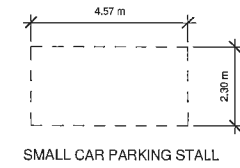
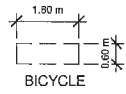
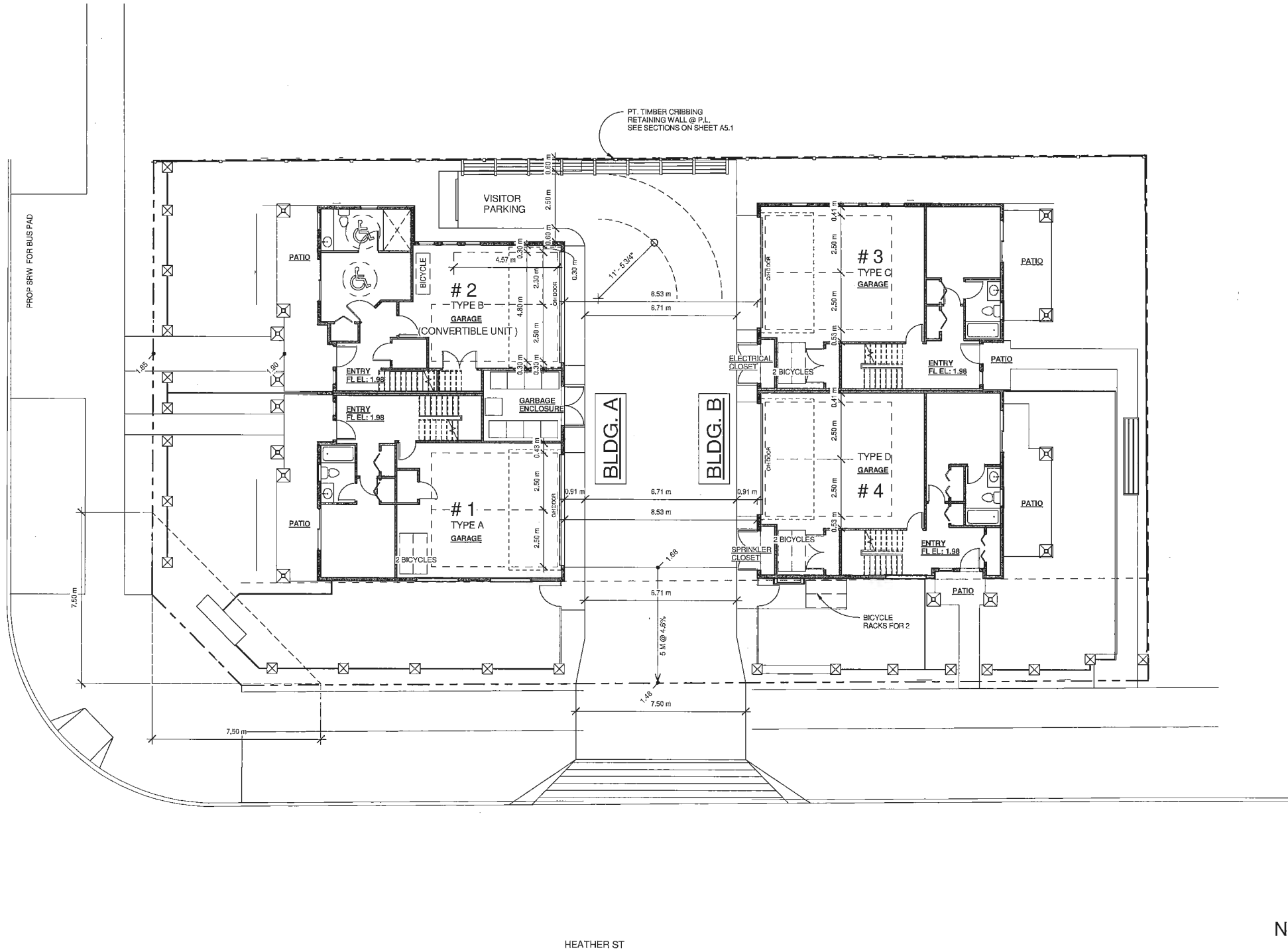
**CoreConcept CONSULTING LTD.**  
tel: 604.249.5040 fax: 604.249.5041  
#220-2639 Viking Way, Richmond, BC, V6V 3B7  
www.coreconceptconsulting.com  
**BILL LIN**  
Core Concept Consulting Project No. 15140  
DWG. 1 OF 1

REV	DATE	BY	CHK	DESCRIPTION
1.	17 JUN 2016	BTR	RF	ISSUED FOR REVIEW
0.	08 MAR 2016	BTR	RF	ISSUED FOR REVIEW

17 JUN 2016

TITLE: LOT GRADING			
7088 HEATHER STREET CITY FILE:			
DESIGN: BTR			
DRAWN: HH		DWG. No.:	
CHECKED: DRK		SCALE: 1/8"=1'-0"	DATE: JAN 2016
ENGINEER: RF		SEC. No.: 15-4-6	SHT No.: 1 OF 1

① PLAN #2 - Parking plan  
1/8" = 1'-0"



REVISED FOR DP\_13-633035

PLAN #2 Parking Plan

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Gerry Blonski  
architect a.i.b.c.

Suite 1A - 12408 - 82nd Ave., Surrey, B.C. V3W 3E9

Ph: 572-3808

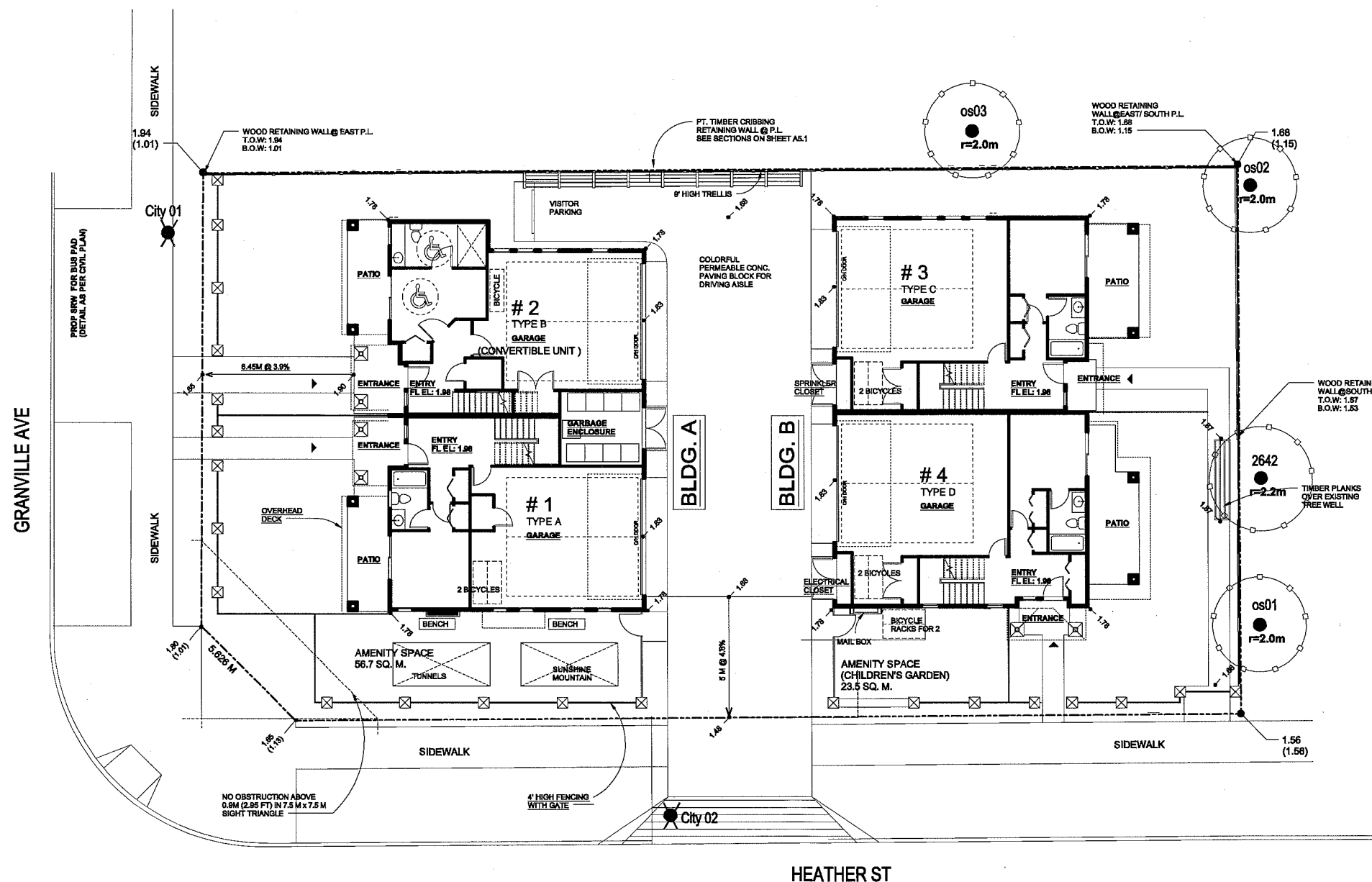
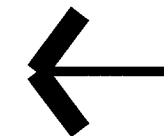
Fax: 572-3760

DP 13-633035

PLAN #2

SEP 20 2016

A2



- LEGEND
- = TREES TO BE RETAINED
  - ✕ = TREES TO BE REMOVED
  - = PROTECTION BARRIER

DATE	REVISIONS	NO.
JUN/16	CITY COMMENTS	2
FEB/16	REVISED SITE PLAN	1

D. KAVOLINAS & ASSOCIATES INC.  
BCSLA CSLA  
2462 JONQUIL COURT  
ABBOTSFORD, B.C.  
V3G 3E8  
PHONE (604) 857-2376

CLIENT  
1023501 B.C. LTD.  
C/O GRAEME LIU  
REMAX CREST REALTY WESTSIDE  
3215 McDONALD STREET  
VANCOUVER, B.C.  
V6L 2N2  
604-779-5885

TITLE  
PLAN VIEW  
TREE LOCATION PLAN  
TREE RETENTION PLAN  
TOWNHOUSE DEVELOPMENT  
7088 HEATHER STREET  
RICHMOND, B.C.

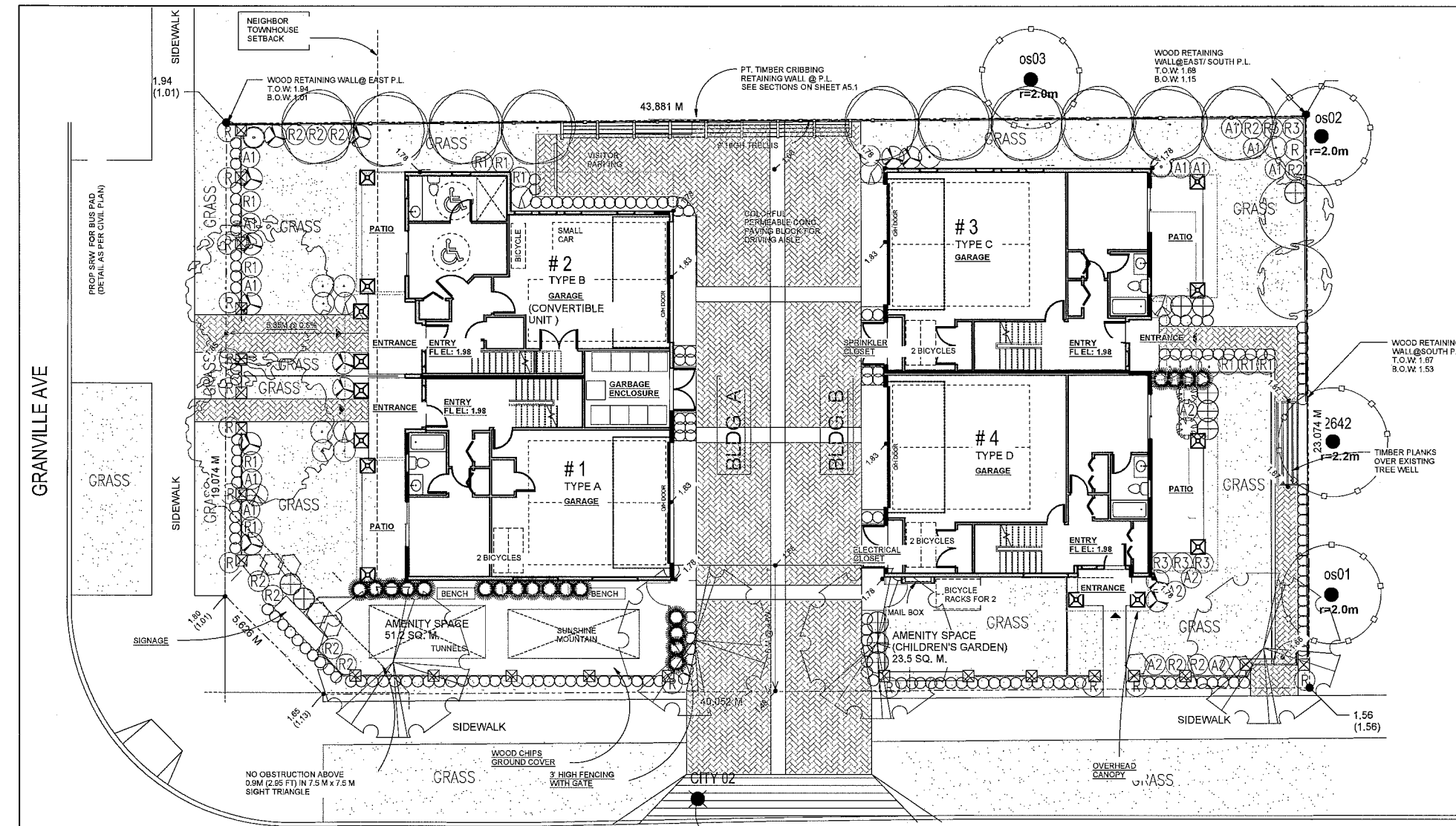
SCALE 1:100	DATE NOV/15
DRAFT	CHKD
ENG	CHKD
APPRD	AS BUILT

PRINTED	JOB No.
	DRAWING No.
	TR-1

DP 13-633 035

PLAN # 3

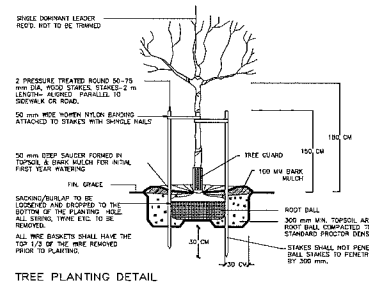
SEP 20 2016



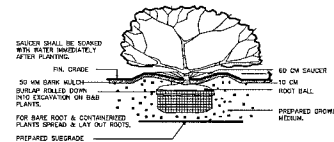
# NOTES / GENERAL

- PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO BC LANDSCAPE STANDARD "LATEST EDITION". CONTAINER SIZES ARE SPECIFIED AS PER "TOWN STANDARDS" BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. DEMONSTRATE PLANT MATERIAL AVAILABLE FOR OPTIMAL REVIEW BY "LANDSCAPE ARCHITECT" AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. "SUBSTITUTIONS" MUST OBTAIN WRITTEN APPROVAL FROM THE "LANDSCAPE ARCHITECT" PRIOR TO MAKING ANY SUBSTITUTIONS TO SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE WORKING DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO "B.C. LANDSCAPE STANDARD".
- ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED "TREE NURSERY". ALL PLANT MATERIAL MUST CONFORM TO THE LATEST EDITION OF THE "BC LANDSCAPE STANDARD". FROM CERTIFICATION UPON REQUEST, ALL LANDSCAPING AND LANDSCAPE MATERIALS TO CONFORM TO THE LATEST EDITION OF THE BCMA/BCCLA "LANDSCAPE STANDARD".
- MIN. CHROMING MEDIUM DEPTHS OVER PREPARED SUBGRADE SHALL BE:
 

LAWN AREAS	450 mm
GROUND COVER AREAS	450 mm
SHRUB AREAS	450 mm
TREE PITS	300 mm AROUND ROOT BALL
- GROWING MEDIUM SHALL HAVE PHYSICAL AND CHEMICAL PROPERTIES AS DESCRIBED IN THE STANDARDS FOR LEVEL 2 AND LEVEL 3 AREAS EXCEPT FOR AREAS OVER STRUCTURES WHERE THE MEDIUM SHALL CONFORM TO THE REQUIREMENTS FOR LEVEL 1 APPLICATIONS. PROCESSING AND MIXING OF GROWING MEDIUM COMPONENTS SHALL BE DONE OFF-SITE USING A MECHANIZED SCREENING PROCESS. PROVIDED GROWING MEDIUM SHALL BE TESTED BY A RECOGNIZED LABORATORY. THE CONTRACTOR SHALL GUARANTEE THAT THE SOIL SUBMITTED FOR TESTING IS A REPRESENTATIVE SAMPLE TAKEN FROM THE SOIL THAT WILL BE USED AT THE SITE.
- ON-SITE OR IMPORTED SOILS SHALL SATISFY THE REQUIREMENTS OF THE STANDARDS FOR GROWING MEDIUM. SOILS SHALL BE FREE FROM SALINITY, NOOD, NOOD, NOODY PLANT PARTS, WEED OR REPRODUCTIVE PARTS OF WEEDS, PLANT PATHOGENIC ORGANISMS, TOXIC MATERIALS, STONES OVER 50 MM AND FOREIGN OBJECTS.
- ALL PLANTING BEDS SHALL RECEIVE MIN. 50 MM BARK MULCH.
- PLANT SPECIES AND VARIETIES MAY NOT BE SUBSTITUTED WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE, UNLESS OTHERWISE SPECIFIED. ALL PLANT MATERIAL NOT SURVIVING, OR IN POOR CONDITION DURING THE GUARANTEE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO EXTRA COST TO THE OWNER.
- THE CONTRACTOR SHALL CLEAR AWAY FROM THE SITE ALL RUBBISH AS IT ACCUMULATES, AND SHALL, AT THE COMPLETION OF THE WORK, LEAVE THE WORK AND THE SITE THEREOF IN A CLEAN AND PRESENTABLE CONDITION FREE FROM ALL OBSTRUCTIONS.



TREE PLANTING DETAIL



PLANTING DETAIL - SHRUBS & GRD. COVER PLANTS

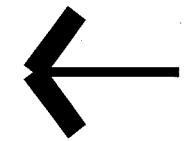
KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	SPACING	REMARKS
	PRUNUS SERRULATTA 'AMANAGAWA'	AMANAGAWA CHERRY	2	6 CM. CAL.	AS SHOWN	B. & B.
	SYRINGA RETICULATA 'IVORY SILK'	LILAC TREE	4	8 CM. CAL.	AS SHOWN	B. & B.
	CORNUS FLORIDA 'RUBRUM'	RED FLOWERING DOGWOOD	2	8 CM. CAL.	AS SHOWN	B. & B.
	QUERCUS ROBUR SKYROCKET	SKYROCKET OAK	10	6 CM. CAL.	AS SHOWN	B. & B.
⊕	AZALEA JAPONICA 'HINO CRIMSON'	CRIMSON AZALEA	9	#2 POT	85 CM. O.C.	
A1	AZALEA NORTHERN LIGHTS 'MANDARIN LIGHTS'	NORTHERN LIGHTS AZALEA	9	#3 POT	90 CM. O.C.	
A2	AZALEA NORTHERN LIGHTS 'ORCHID LIGHTS'	NORTHERN LIGHTS AZALEA	5	#3 POT	90 CM. O.C.	
⬢	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	7	#3 POT	90 CM. O.C.	
○	BUXUS MACROPHYLLA 'WINTER GEM'	ASIAN BOXWOOD	227	#3 POT	45 CM. O.C.	
⊙	HYDRANGEA MACROPHYLLA 'NIKKO BLUE'	HYDRANGEA	2	#3 POT	90 CM. O.C.	
⊙	SPIRAEA NIPPONICA SNOWMOUND	SNOWMOUND SPIRAEA	3	#2 POT	90 CM. O.C.	
⊙	RHODODENDRON YAKUSHIMANUM 'CRETE'	YAK. RHODODENDRON	12	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON FINNISH 'ELVIRA'	FINNISH RHODODENDRON	10	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON YAKUSHIMANUM 'TEDDY BEAR'	YAK. RHODODENDRON	2	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON YAKUSHIMANUM 'MARDI GRAS'	YAK. RHODODENDRON	13	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON RAMPO	RHODODENDRON	11	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON ELIZABETH	RHODODENDRON	15	#3 POT	90 CM. O.C.	
⊙	RHODODENDRON P.J.M.	RHODODENDRON	5	#3 POT	90 CM. O.C.	
⊙	SYRINGA VULGARIS 'MICHEL BUCHNER'	LILAC	2	#3 POT	90 CM. O.C.	
⊙	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD ARBORVITAE	21	1.80 METERS	65 M. O.C.	
	GRASS		250m2			

NOTE: REFER TO ARCHITECT'S DRAWINGS FOR ALL FENCE DETAILS AND LOCATIONS.

PLAN #3A

DP 13-633035

SEP 20 2016



## LEGEND

- = TREES TO BE RETAINED
- ⊙ = TREES TO BE REMOVED
- = PROTECTION BARRIER

JUN/16	CITY COMMENTS	2
FEB/16	REVISED SITE PLAN	1
DATE	REMARKS	NO.
	REVISIONS	

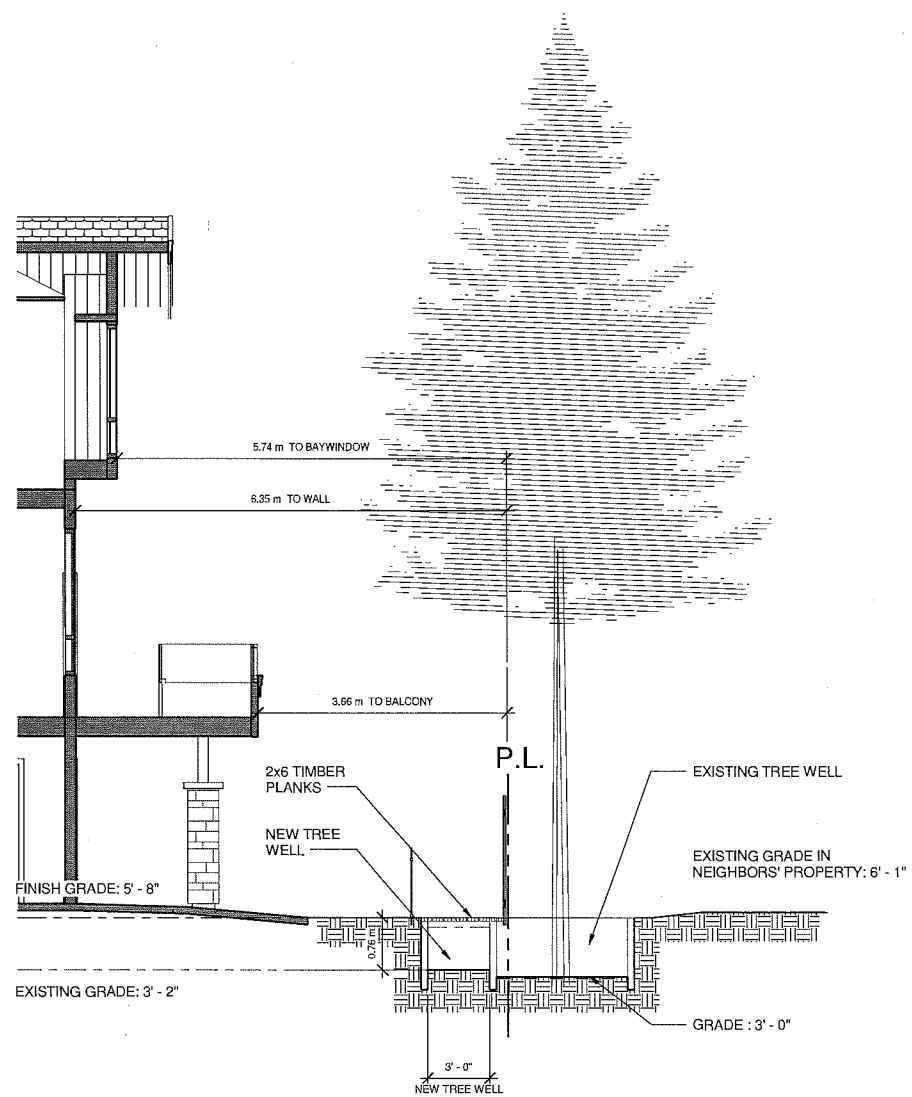
C. KAVOLINAS & ASSOCIATES INC.  
BCSLA CSLA  
2462 JONQUIL COURT  
ABBOTSFORD, B.C.  
V3G 3E8  
PHONE (604) 857-2376

CLIENT  
1023591 B.C. LTD.  
c/o GRAEME LIU  
REMAX CREST REALTY WESTSIDE  
3215 McDONALD STREET  
VANCOUVER, B.C.  
V6L 2N2  
604-779-5885

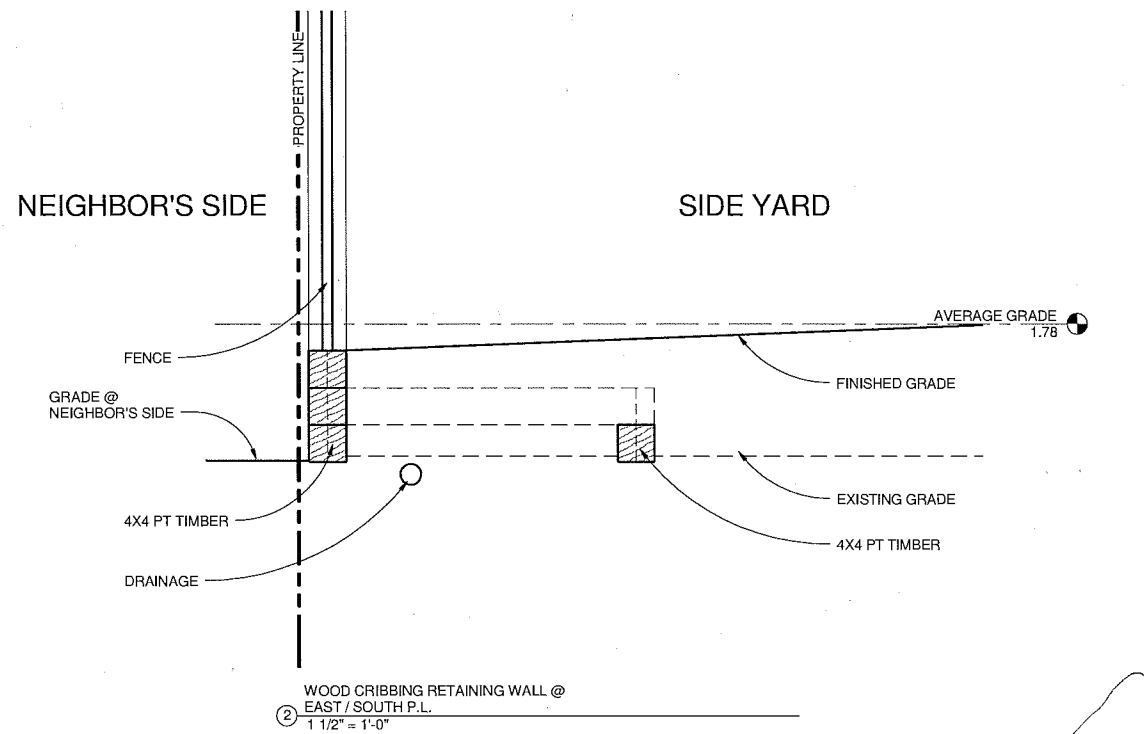
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LANDSCAPE PLAN  
PROPOSED  
TOWNHOUSE DEVELOPMENT  
7088 HEATHER STREET  
RICHMOND, B.C.

SCALE	1:100	DATE	SEP/15
DRAFT	CHK'D		
ENC.	CHK'D		
APPROV.	AS BUILT		

PRINTED	JOB NO.	
	DRAWING NO.	L-1



① Tree Protection  
1/4" = 1'-0"



DP 13-633035

PLAN #3B

SEP 20 2016

REVISED FOR DP 13-633035

TREE WELL / WOOD  
RETAINING WALL

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski  
architect a.t.b.c.

Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3W 3E5

Ph: 572-3808

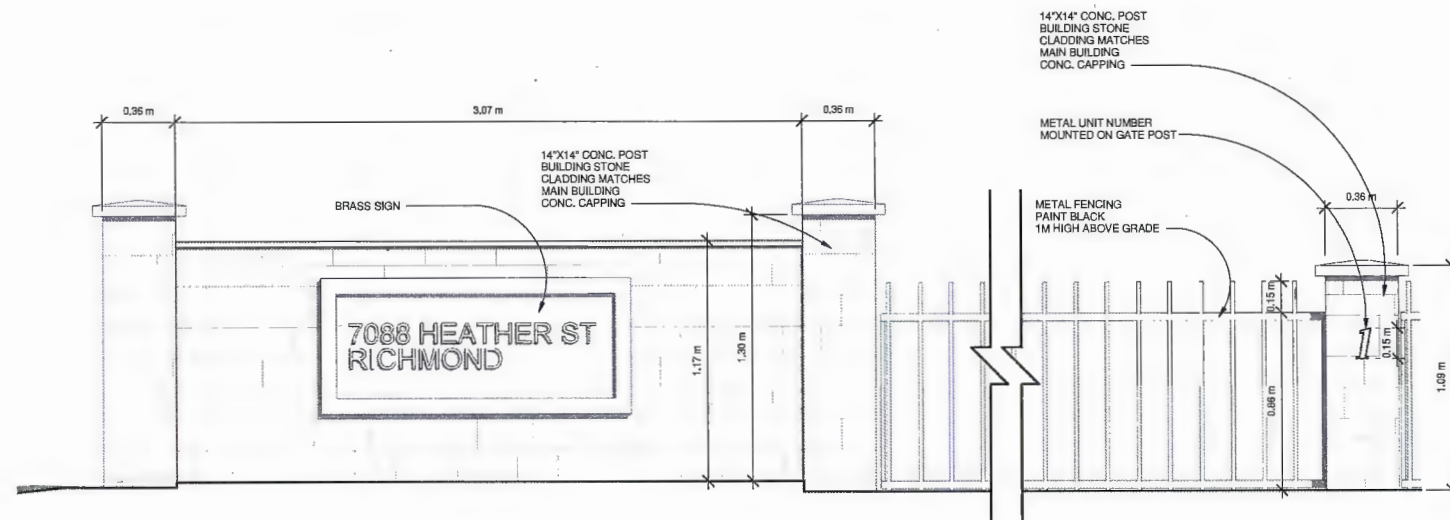
Fax: 572-3760

DATE: 18 JUN 2016

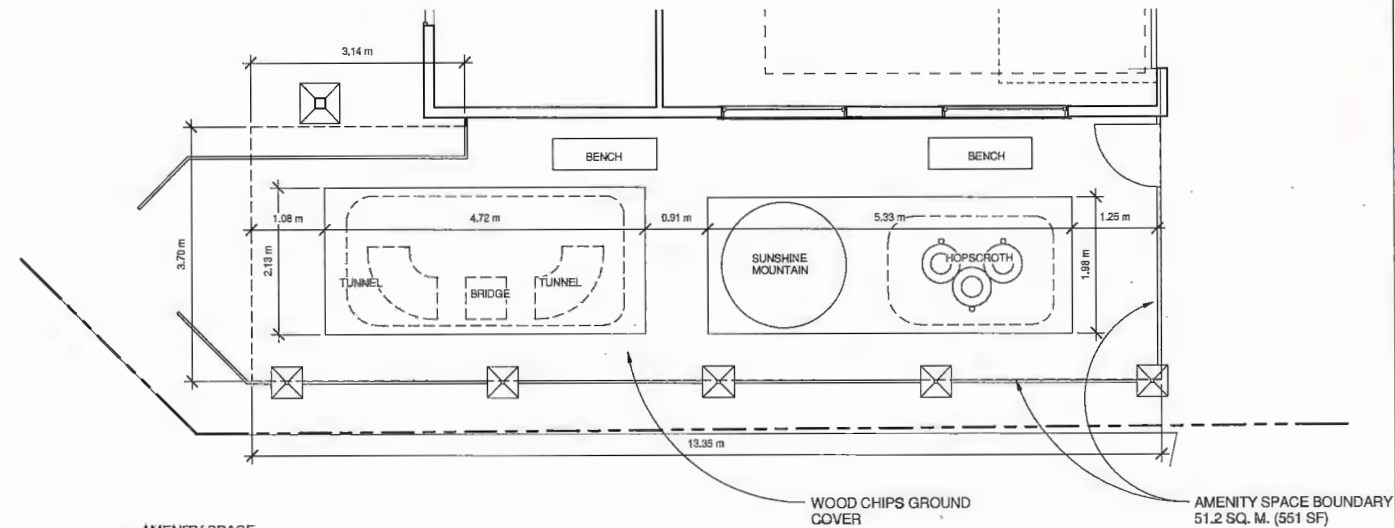
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FAX: 572-3760

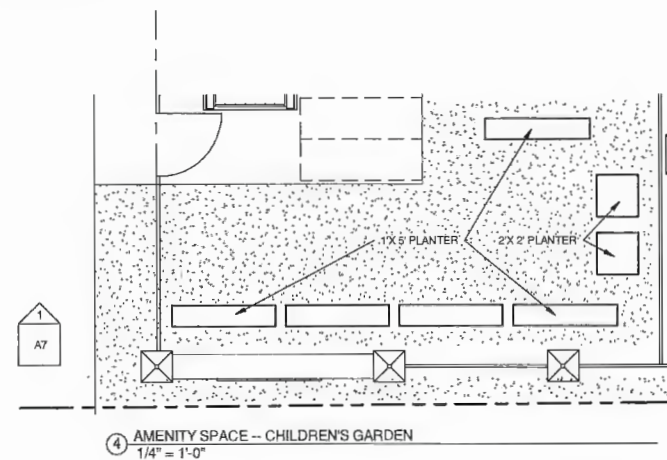




① SIGNAGE & FENCE  
3/4" = 1'-0"



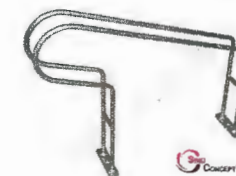
② AMENITY SPACE  
1/4" = 1'-0"



④ AMENITY SPACE -- CHILDREN'S GARDEN  
1/4" = 1'-0"



Loop Style  
Bike Rack by **DRAPER**  
OUTDOOR BICYCLE RACK



INDOOR BICYCLE RACK



TUNNEL



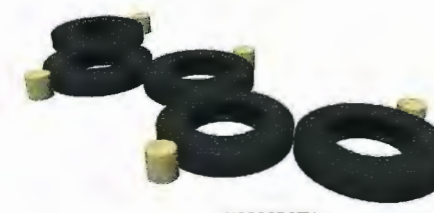
SUNSHINE MOUNTAIN



BENCH



BRIDGE



HOPSCROTH



CHILDREN'S PLANTER

Amenity Space, Signage,  
Fence & Furniture Details

A19

REVISED FOR DP\_13-633035

JOB NO. 15-10 DATE: 18 JUN 2016

4 UNITS TOWNHOUSE  
DEVELOPMENT  
7088 HEATHER ST. RICHMOND BC

Gerry Blonski  
architect a.i.b.c.

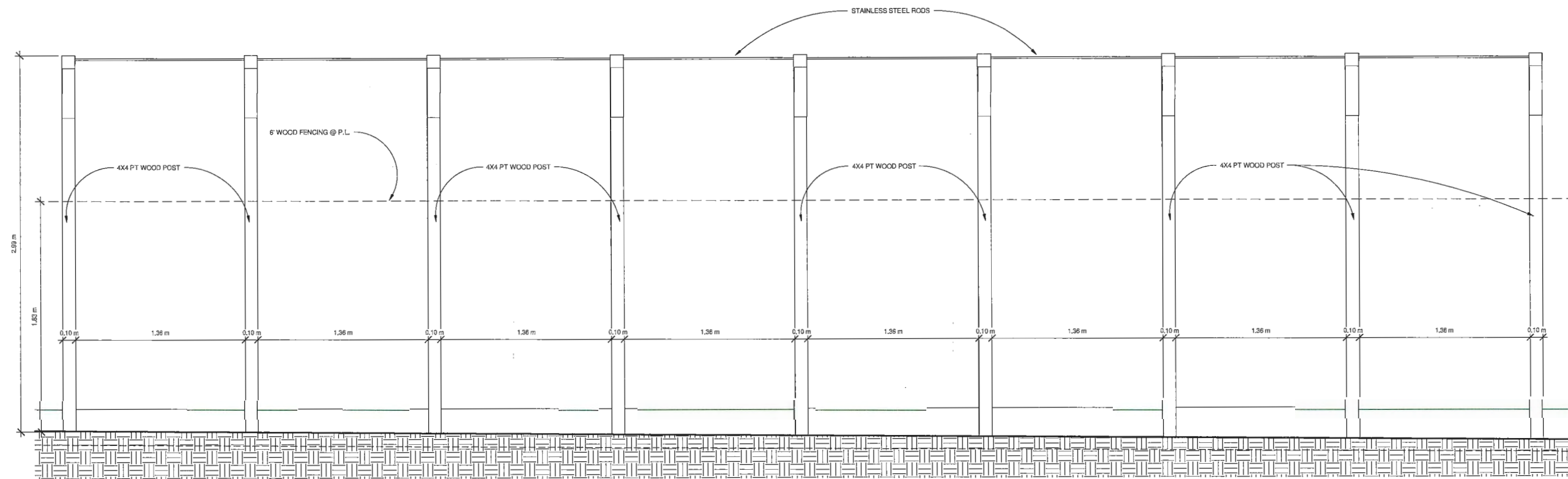
PH: 572 3606  
FAX: 572 3760

Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3V 3E9

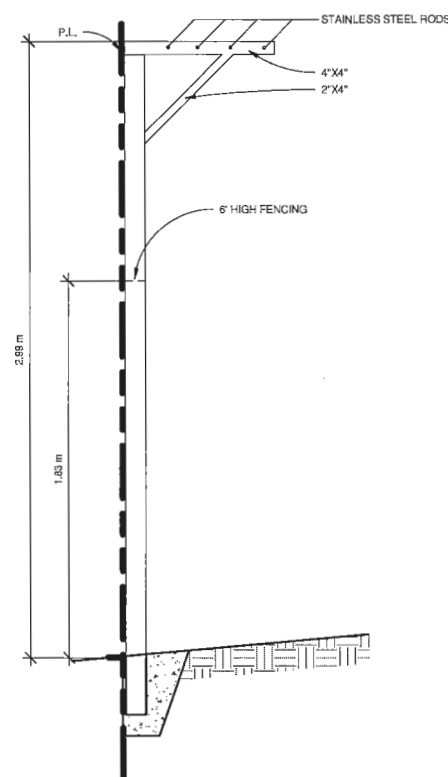
DP 13-633035

PLAN #3C

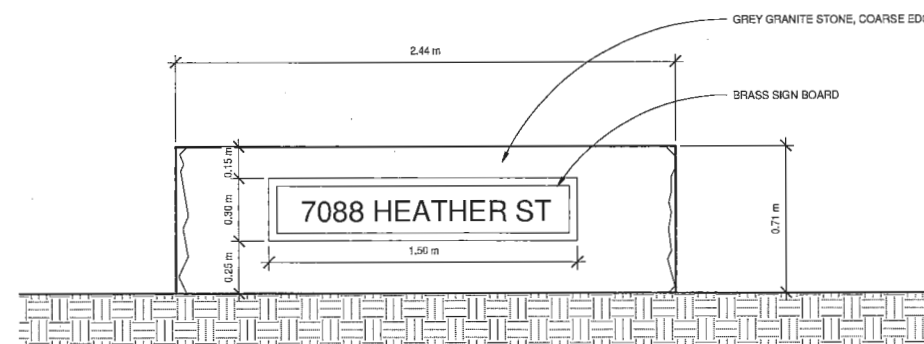
SEP 20 2016



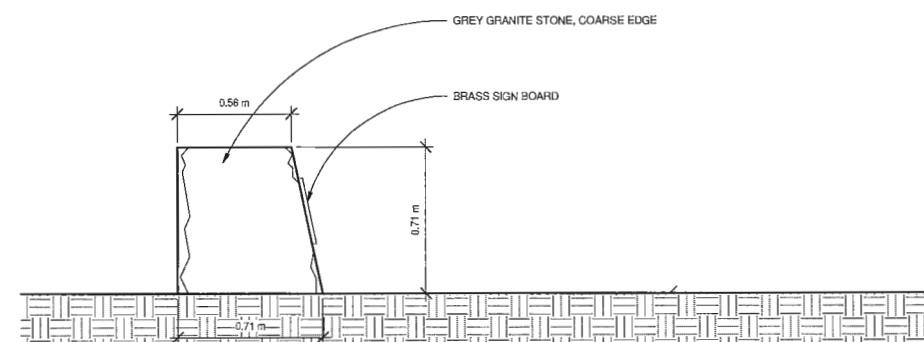
① TRELLIS ELEVATION  
3/4" = 1'-0"



② TRELLIS ELEVATION 2  
3/4" = 1'-0"



CORNER SIGNAGE FRONT ELEVATION 3/4" = 1'-0"



CORNER SIGNAGE SIDE ELEVATION 3/4" = 1'-0"

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TRELLIS & SIGNAGE

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski  
architect a.i.b.c.

PH: 572-3808  
FAX: 572-3750  
Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V2W 3E9

DATE: 18 JUN 2016

JOB NO. 15-10

A20

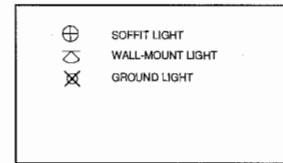
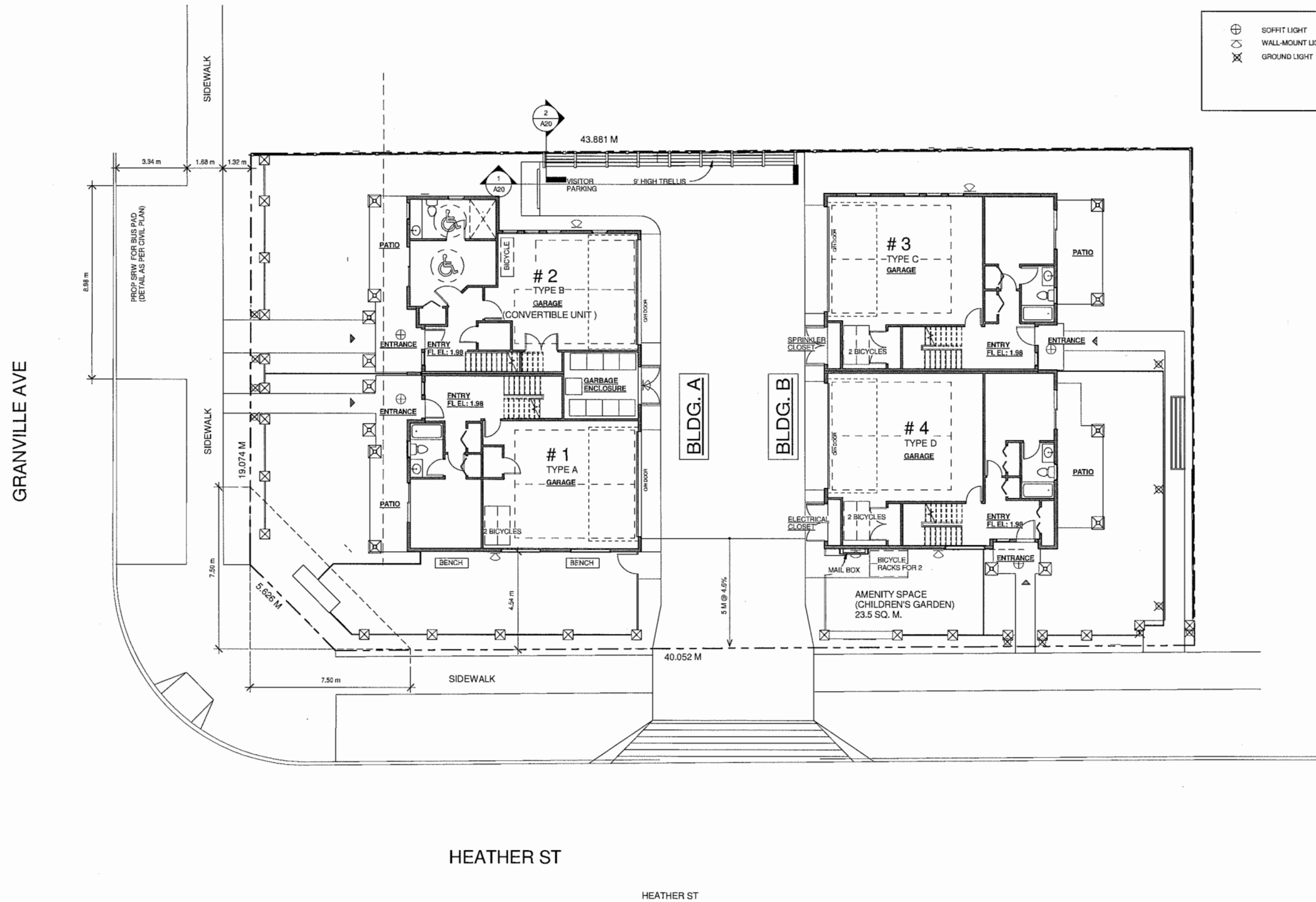
DP 13-633035

PLAN # 3D

SEP 20 2016



① LIGHTING PLAN FOR OPTED  
1/8" = 1'-0"



REVISED FOR DP\_13-633035

LIGHTING PLAN FOR OPTED

4 UNITS TOWNHOUSE  
DEVELOPMENT

Gerry Blonski  
architect a.i.b.c.

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Ph: 572-9008  
Fax: 572-5760

Suite 1A - 12488 - 85th Ave., Surrey, B.C. V3W 2E9

DP 13-633035

PLAN #3E

SEP 20 2016

A21



① NORTH CORNER VIEW



② DRIVING AISLE

REVISED FOR DP\_13-633035

Perspective View

A0.6

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski  
architect a.i.b.c.

Suite 1A - 12468 - 82nd Ave., Surrey, B.C. V3W 3E9

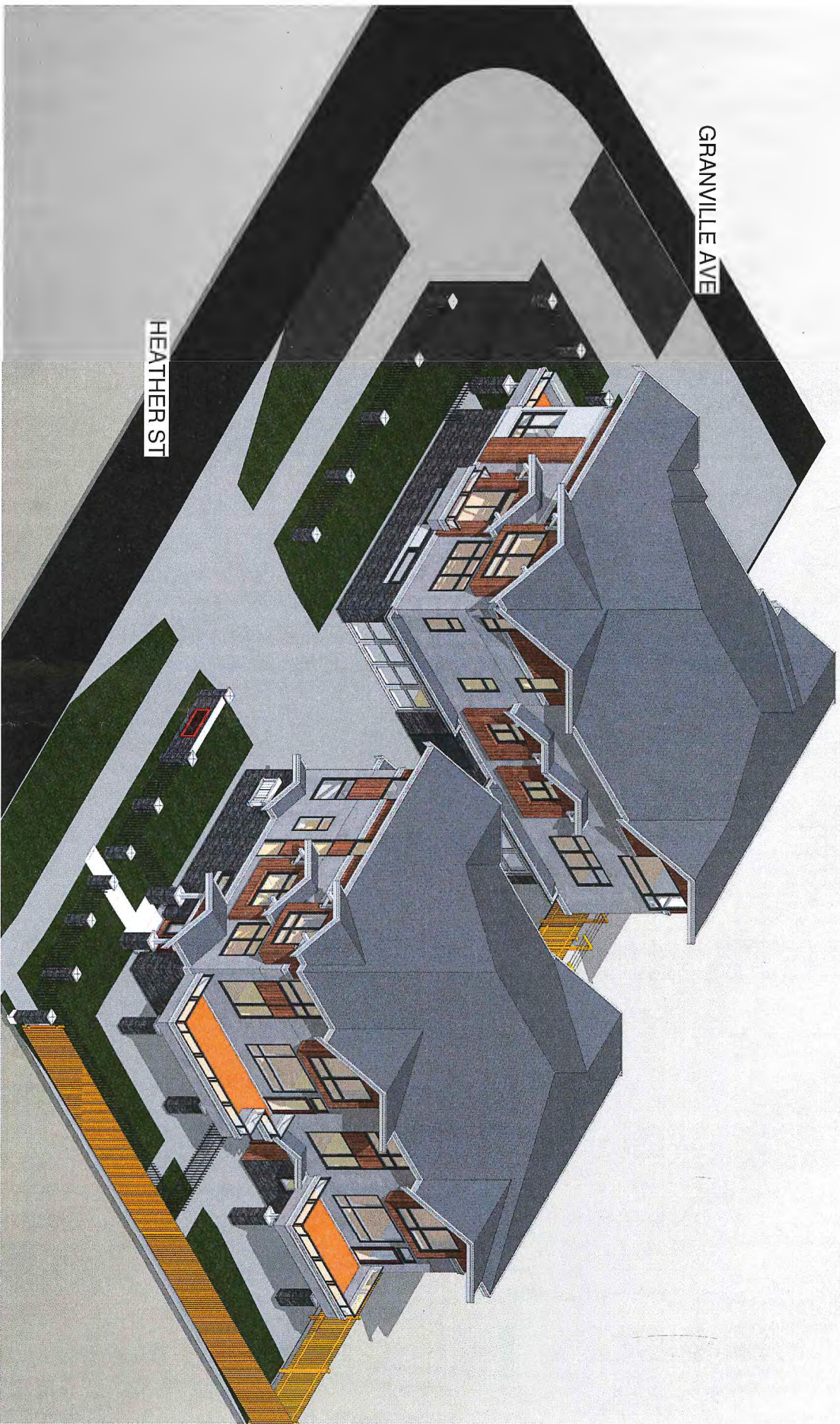
Ph: 572-3608 Fax: 572-3780

DP 13-633035

PLAN #4

SEP 20 2016





② BIRD VIEW 2

DP 13-633035

PLAN # 4A

SEP 20 2016

REVISED FOR DP\_13-633035

A0.3

Bird View

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

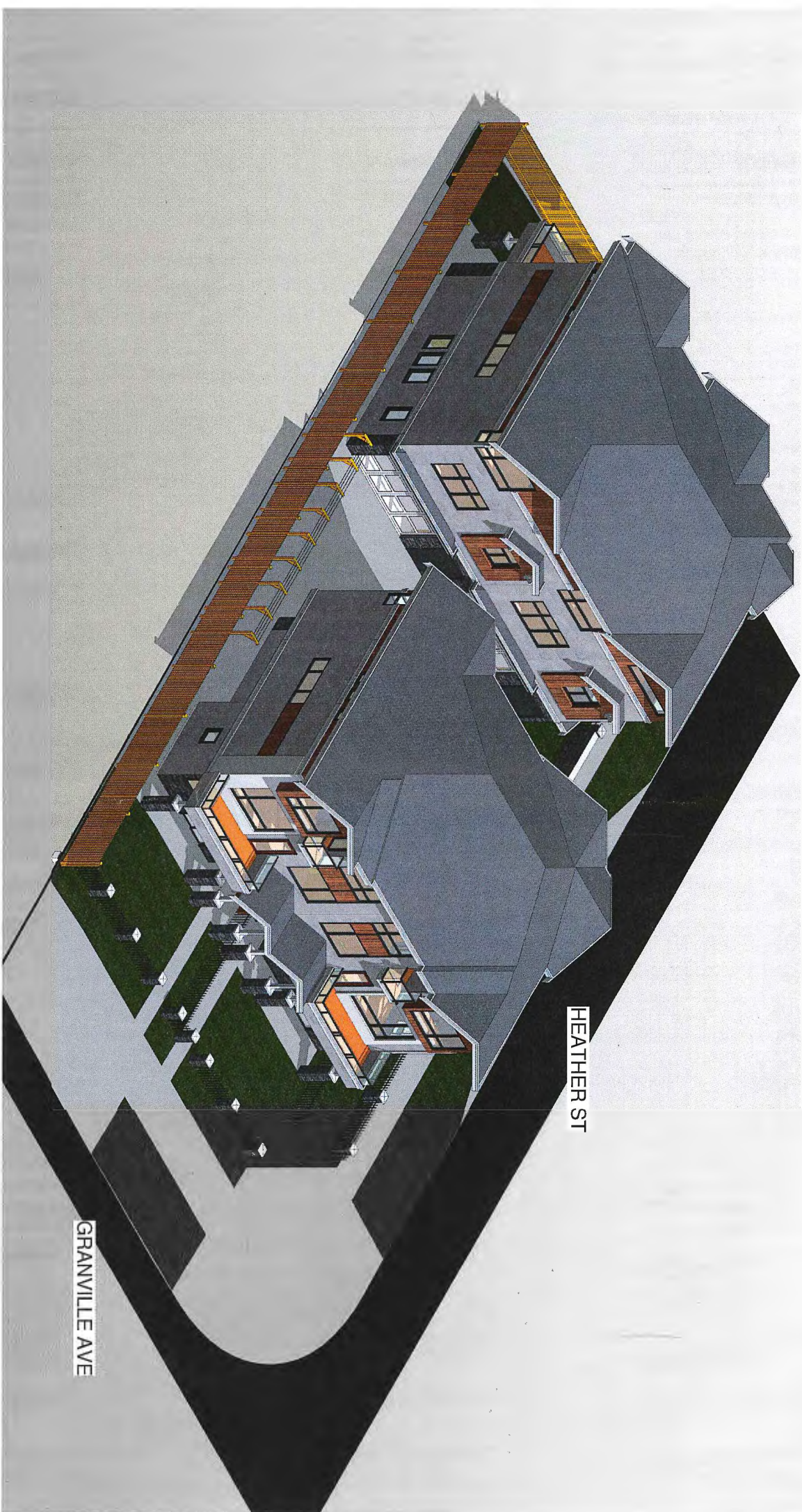
Gerry Blonski  
architect a.i.b.c.

Suite 1A - 12468 - 82nd Ave., Surrey, B.C. V3W 3E9

Ph: 672-3608 Fax: 672-3760



① BIRD VIEW



REVISED FOR DP\_13-633035

Bird View

A0.4

JOB NO. 15-10

DATE: 18 JUN 2016

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

Gerry Blonski  
architect a.i.b.c.

Suite 1A - 1246B - 82nd Ave., Surrey, B.C. V3W 3E9

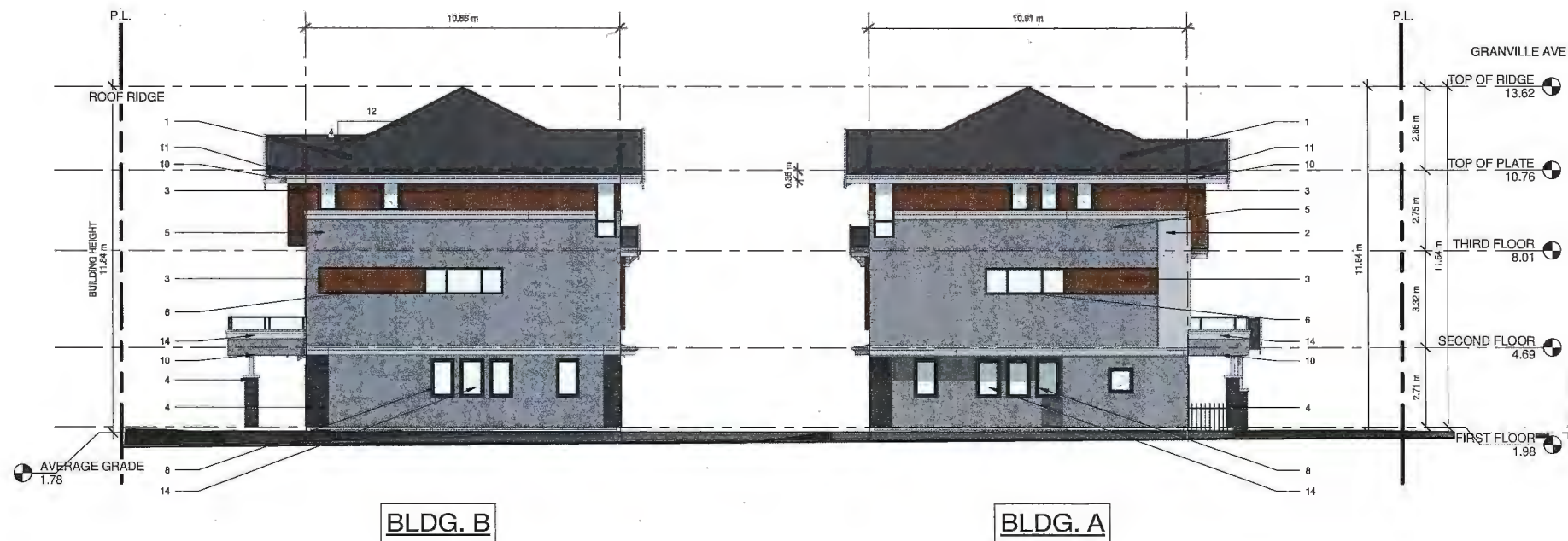
Ph: 572-3608 Fax: 572-3760

DP 13-633035

PLAN # 4B

SEP 20 2016





① Colorful East Elevation BLDG. B, A  
1/8" = 1'-0"

COLOR SCHEDULE

- |   |   |
|---|---|
| 1 ASPHALT ROOFING SHINGLE BLACK (MAIN ROOFS, PORCH ROOFS)                       | 2 METAL LIGHT GREY (2ND, 3RD FLOOR EXTERIOR WALLS)        |
| 3 6" GROOVE METAL SIDING DARK CHERRY WOOD GRAIN (2ND, 3RD FLOOR EXTERIOR WALLS) | 4 BUILDING STONE (1ST, 2ND FLOOR COLUMNS, FENCING POSTS)  |
| 5 HARDIE PANEL LIGHT GREY JAMESHARDIE (2ND, 3RD FLOOR EXTERIOR WALLS)           | 6 VINYL WINDOW FRAME BLACK (WINDOWS)                      |
| 7 WOOD DOOR (ENTRY DOORS)   | 8 WOOD TRIM BLACK PAINT (TRIMS, WALL SWEEPS)              |
| 9 METAL RAILING BLACK PAINT (RAILINGS, HANDRAILS)                               | 10 METAL LIGHT GREY (FASCIAS)                             |
| 11 METAL LIGHT GREY (GUTTERS)   | 12 STEEL PAINT FINISH GREY MATT (GARAGE DOORS)            |
| 13 METAL PAINT BLACK (SERVICE ROOM DOORS)                                       | 14 CLEAR GLAZING (WINDOW GLAZING, BALCONY RAILING PANELS) |



② Colorful North Elevation BLDG. A  
1/8" = 1'-0"



③ Colorful North Elevation BLDG. B  
1/8" = 1'-0"

REVISED FOR DP\_13-633035

PLAN #4 Colorful Elevations

4 UNITS TOWNHOUSE DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Gerry Blonski  
architect a.i.b.c.

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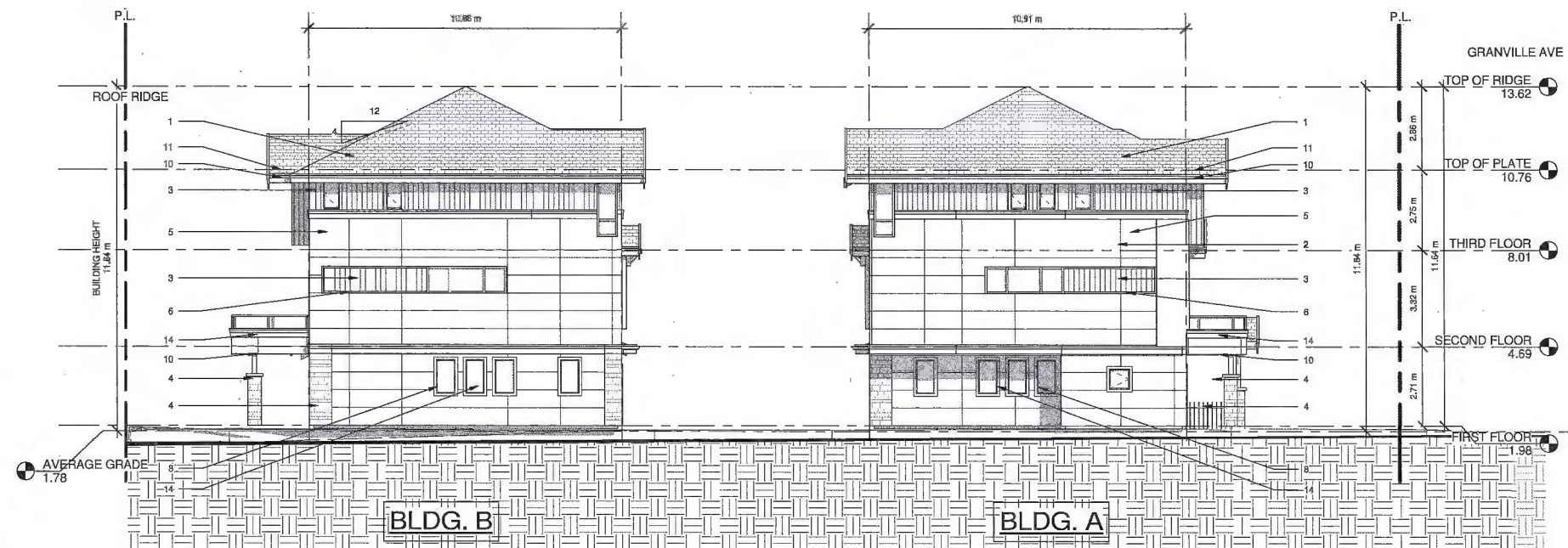
DP 13-633035

PLAN #4C

SEP 20 2016

A4

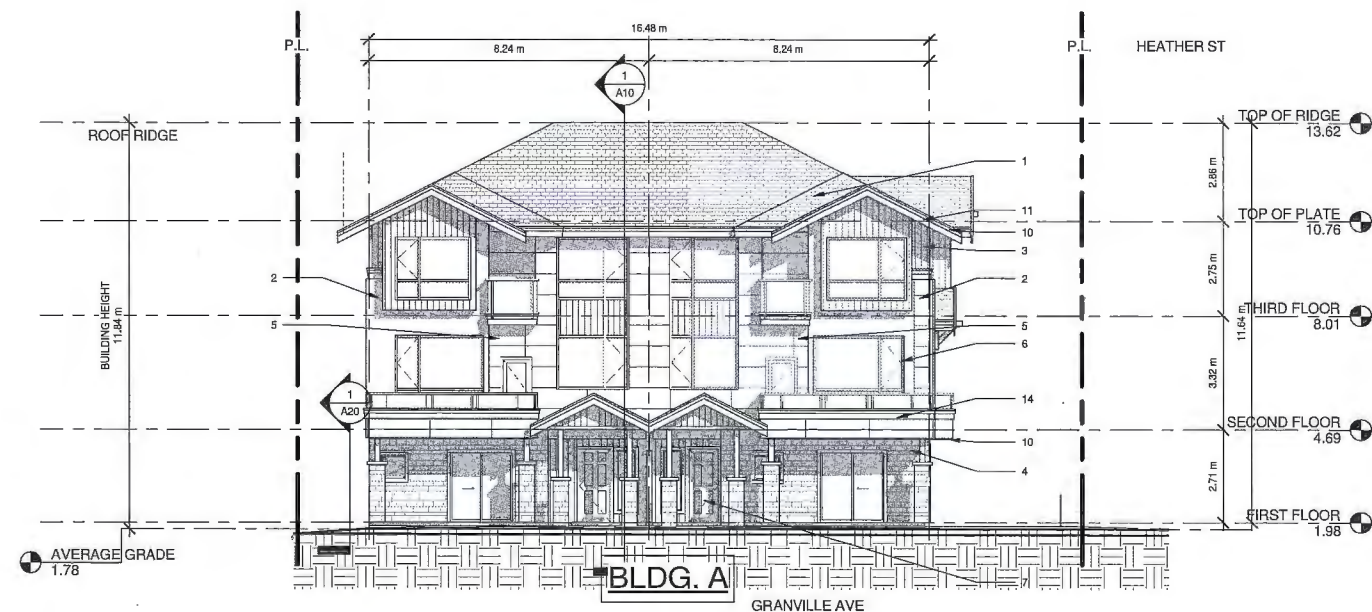




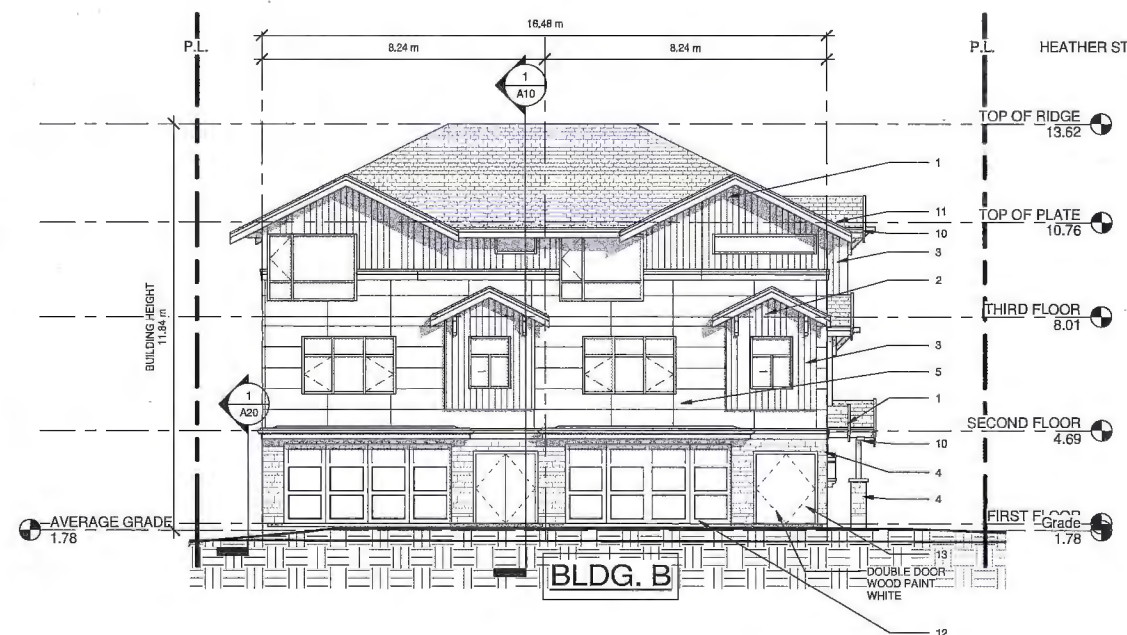
# COLOR SCHEDULE

1 ASPHALT ROOFING SHINGLE BLACK (MAIN ROOFS, PORCH ROOFS)	2 METAL LIGHT GREY (2ND, 3RD FLOOR EXTERIOR WALLS)
3 6" GROOVE METAL SIDING DARK CHERRY WOOD GRAIN (2ND, 3RD FLOOR EXTERIOR WALLS)	4 BUILDING STONE (1ST, 2ND FLOOR COLUMNS, FENCING POSTS)
5 HARDIE PANEL LIGHT GREY JAMESHARDIE (2ND, 3RD FLOOR EXTERIOR WALLS)	6 VINYL WINDOW FRAME BLACK (WINDOWS)
7 WOOD DOOR (ENTRY DOORS)	8 WOOD TRIM BLACK PAINT (TRIMS, WALL SWEEPS)
9 METAL RAILING BLACK PAINT (RAILINGS, HANDRAILS)	10 METAL LIGHT GREY (FASCIAS)
11 METAL LIGHT GREY (GUTTERS)	12 STEEL PAINT FINISH GREY MATT (GARAGE DOORS)
13 METAL PAINT BLACK (SERVICE ROOM DOORS)	14 CLEAR GLAZING (WINDOW GLAZING BALCONY RAILING PANELS)

1 East Elevation BLDG. B, A  
1/8" = 1'-0"



2 North Elevation BLDG. A  
1/8" = 1'-0"



3 North Elevation BLDG. B  
1/8" = 1'-0"

REVISED FOR DP 13-633035

PLAN #4 Elevations

4 UNITS TOWNHOUSE DEVELOPMENT  
7088 HEATHER ST. RICHMOND BC

Gerry Blonski  
architect a.i.b.c.

PH: 572-3600  
FAX: 572-3760  
Suite 1A - 1248B - 82nd Ave. Surrey, B.C. V3W 3E9

DATE: 18 JUN 2016

JOB NO. 15-10

DP 13-633035

PLAN #4D

SEP 20 2016

A5





① Colorful West Elevation BLDG. A, B  
1/8" = 1'-0"



② Colorful South Elevation BLDG. A  
1/8" = 1'-0"



③ Colorful South Elevation BLDG. B  
1/8" = 1'-0"

REVISED FOR DP\_13-633035

PLAN #4 Colorful Elevations

4 UNITS TOWNHOUSE DEVELOPMENT

JOB NO. 15-10 DATE: 18 JUN 2016

7088 HEATHER ST. RICHMOND BC

Gerry Blonski  
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Fax: 572-5790

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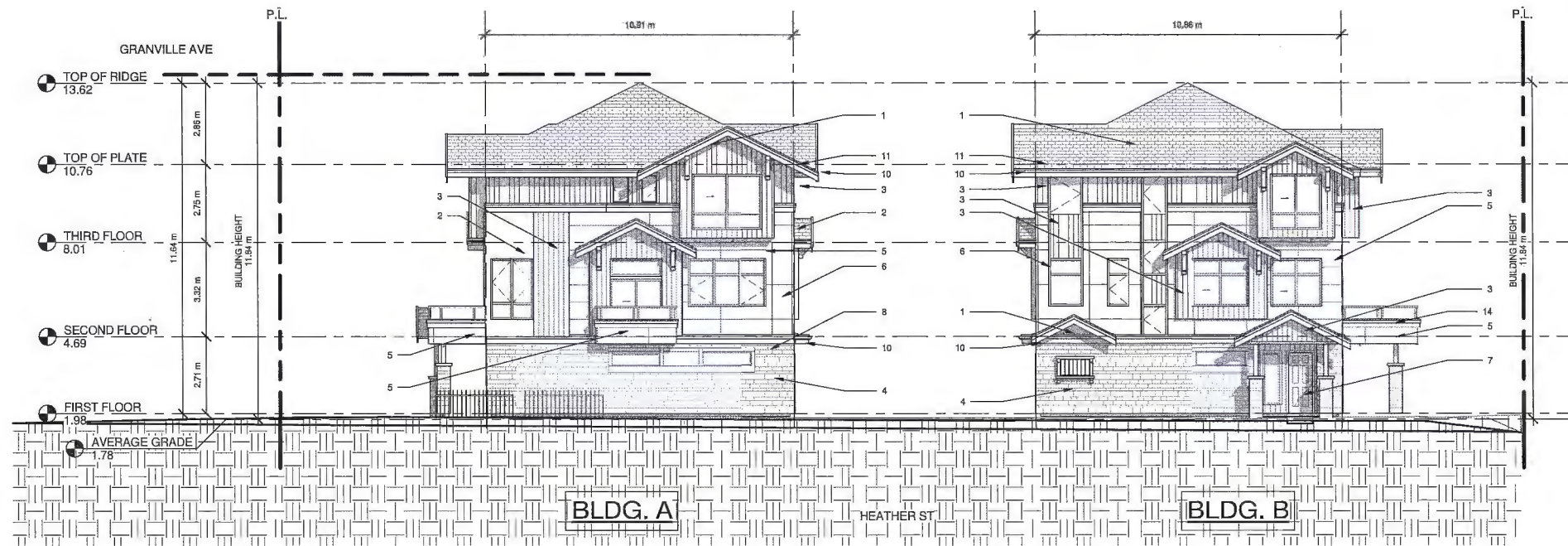
DP 13-633035

PLAN # 4E

SEP 20 2016

A6

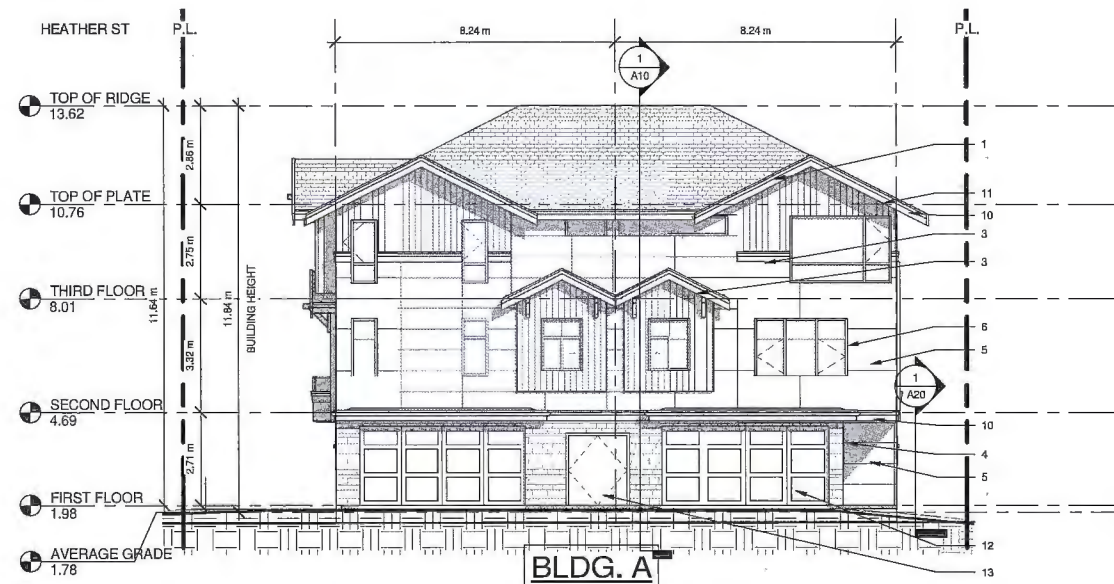




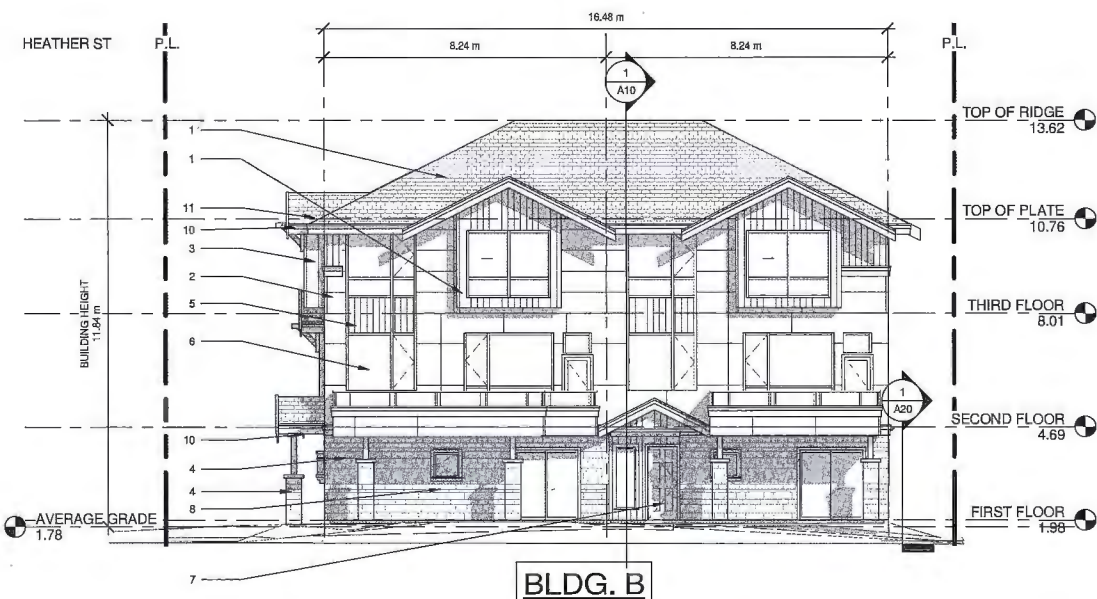
#### COLOR SCHEDULE

- |  |   |
|--|---|
| 1 ASPHALT ROOFING SHINGLE BLACK<br>(MAIN ROOFS, PORCH ROOFS)                       | 2 METAL LIGHT GREY<br>(2ND, 3RD FLOOR EXTERIOR WALLS)       |
| 3 6" GROOVE METAL SIDING DARK CHERRY WOOD GRAIN<br>(2ND, 3RD FLOOR EXTERIOR WALLS) | 4 BUILDING STONE<br>(1ST, 2ND FLOOR COLUMNS, FENCING POSTS) |
| 5 HARDIE PANEL LIGHT GREY JAMES HARTDIE<br>(2ND, 3RD FLOOR EXTERIOR WALLS)         | 6 VINYL WINDOW FRAME BLACK<br>(WINDOWS)                     |
| 7 WOOD DOOR<br>(ENTRY DOORS)   | 8 WOOD TRIM BLACK PAINT<br>(TRIMS, WALL SWEEPS)             |
| 9 METAL RAILING BLACK PAINT<br>(RAILINGS, HANDRAILS)                               | 10 METAL LIGHT GREY<br>(FASCIAS)                            |
| 11 METAL LIGHT GREY<br>(GUTTERS)   | 12 STEEL PAINT FINISH GREY MATT<br>(GARAGE DOORS)           |
| 13 METAL PAINT BLACK<br>(SERVICE ROOM DOORS)                                       | 14 CLEAR GLAZING<br>(WINDOW GLAZING BALCONY RAILING PANELS) |

1 West Elevation BLDG. A, B  
1/8" = 1'-0"



3 South Elevation BLDG. A  
1/8" = 1'-0"



2 South Elevation BLDG. B  
1/8" = 1'-0"

REVISED FOR DP 13-633035

PLAN #4 Elevations

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Gerry Blonski  
architect a.i.b.c.

Ph: 572-3608

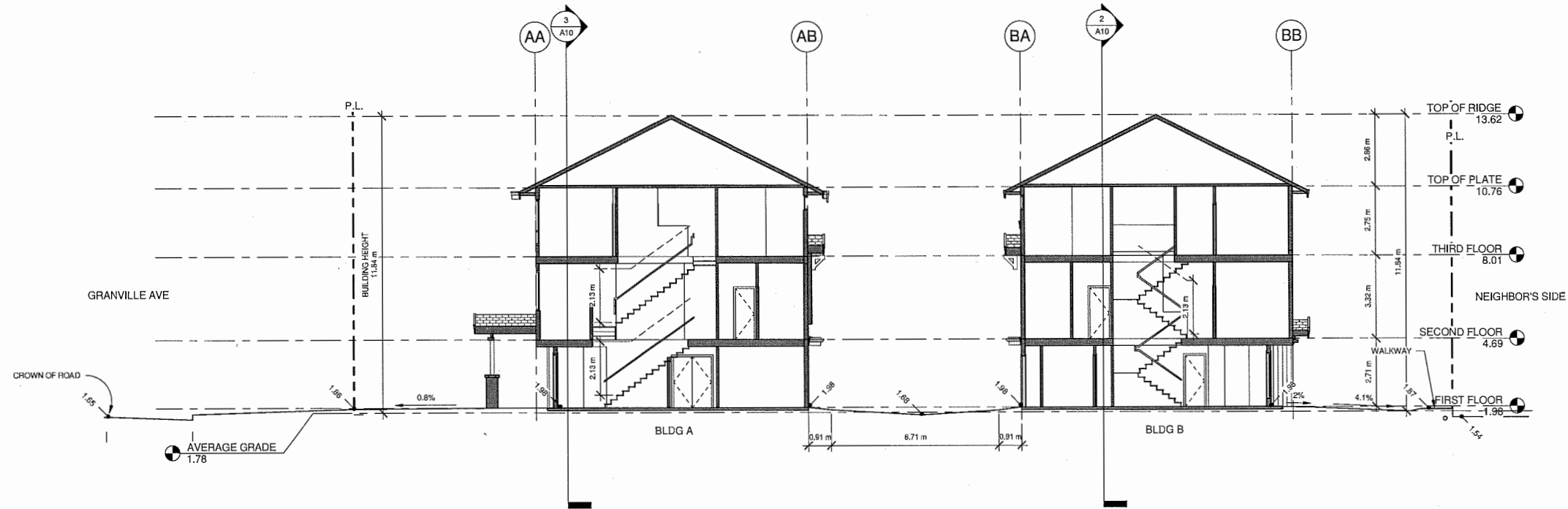
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Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3W 3E9

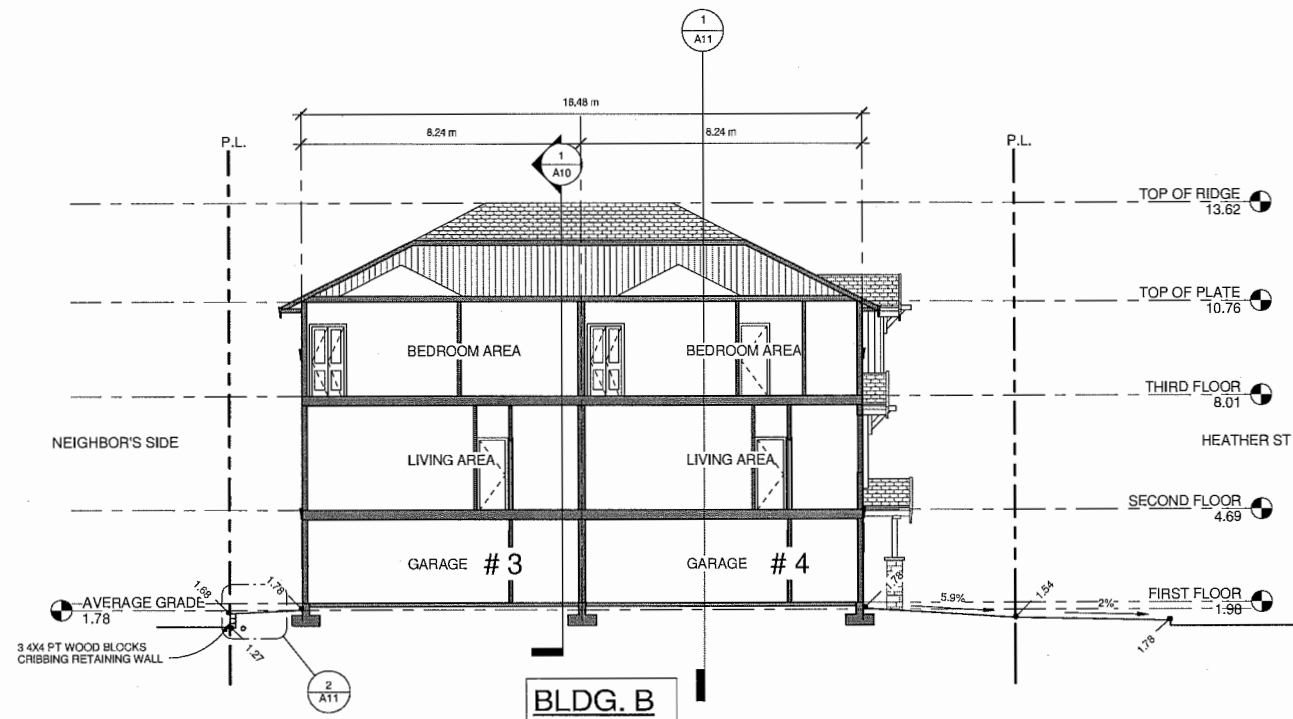
DP 13-633035

PLAN #4F

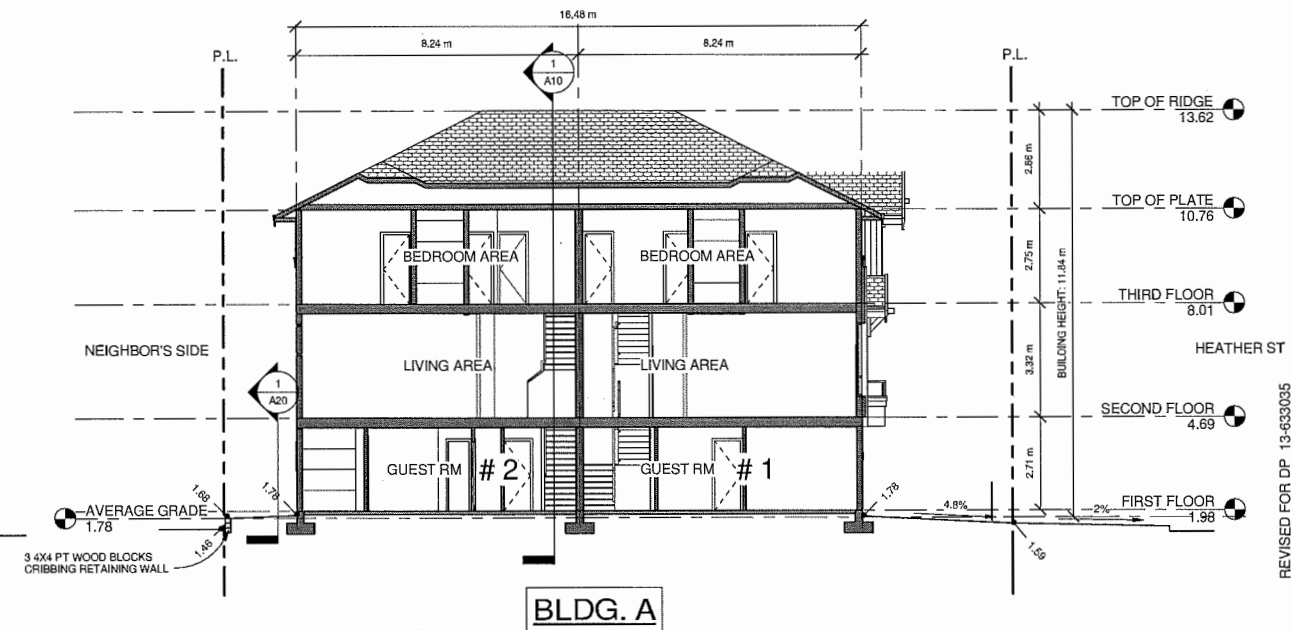
SEP 20 2016



① Cross Section 01  
1/8" = 1'-0"



② Cross Section 02  
1/8" = 1'-0"



③ Cross Section 03  
1/8" = 1'-0"

REVISED FOR DP 13-633035

Building Sections

4 UNITS TOWNHOUSE  
DEVELOPMENT

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Gerry Blonski  
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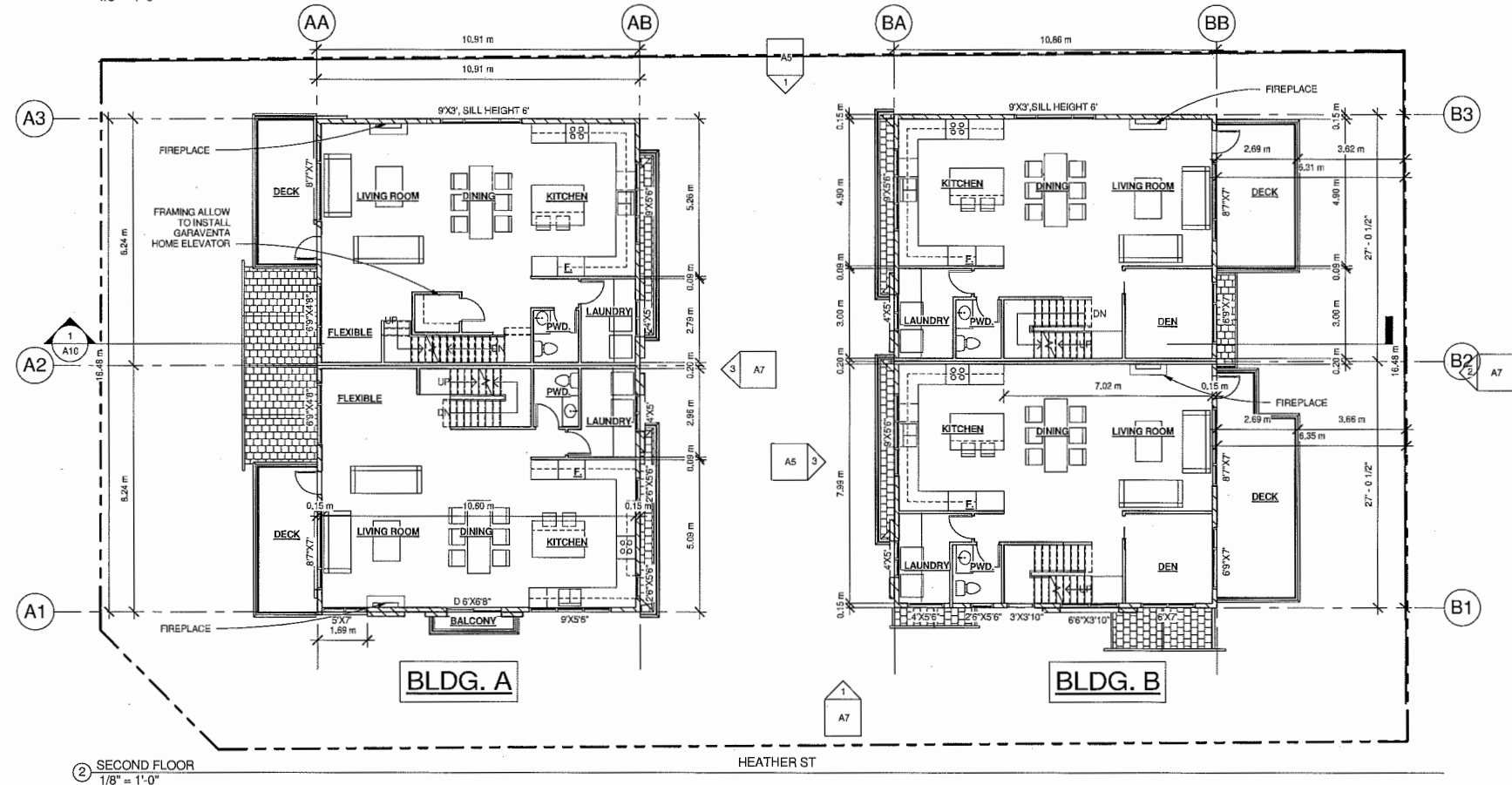
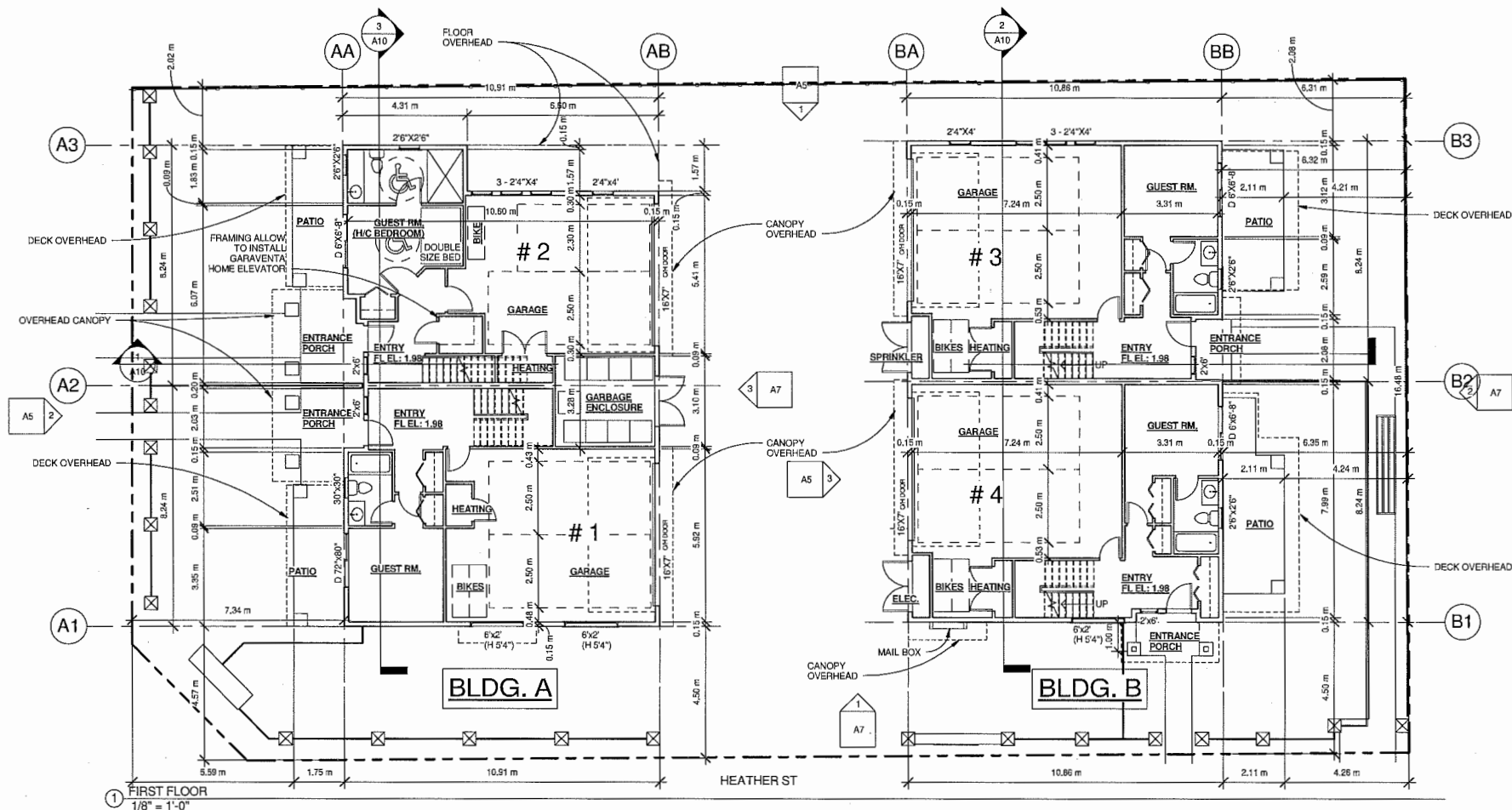
Suite 1A, 12468 - 124th Ave, Surrey, B.C. V3W 2E9

DP 13-633035

PLAN #4G

SEP 20 2016





NOTE:

- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATHTUBS AND SHOWERS.
- HANDRAILS PROVIDED AROUND STAIRWELLS IN ALL UNITS
- LEVER TYPE HANDLES FOR DOORS AND PLUMBING FIXTURES IN ALL UNITS
- UNIT #2 IS DESIGNED AS CONVERTIBLE HOUSE
- WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 3'-0" HIGH O.C. AT THE TOP OF ALL STAIRWAYS

DP 13-633035



REFERENCE PLAN

SEP 20 2016

REVISED FOR DP 13-633035

Floor Plans

A8

4 UNITS TOWNHOUSE  
DEVELOPMENT

Gerry Blonski  
architect a.i.b.c.

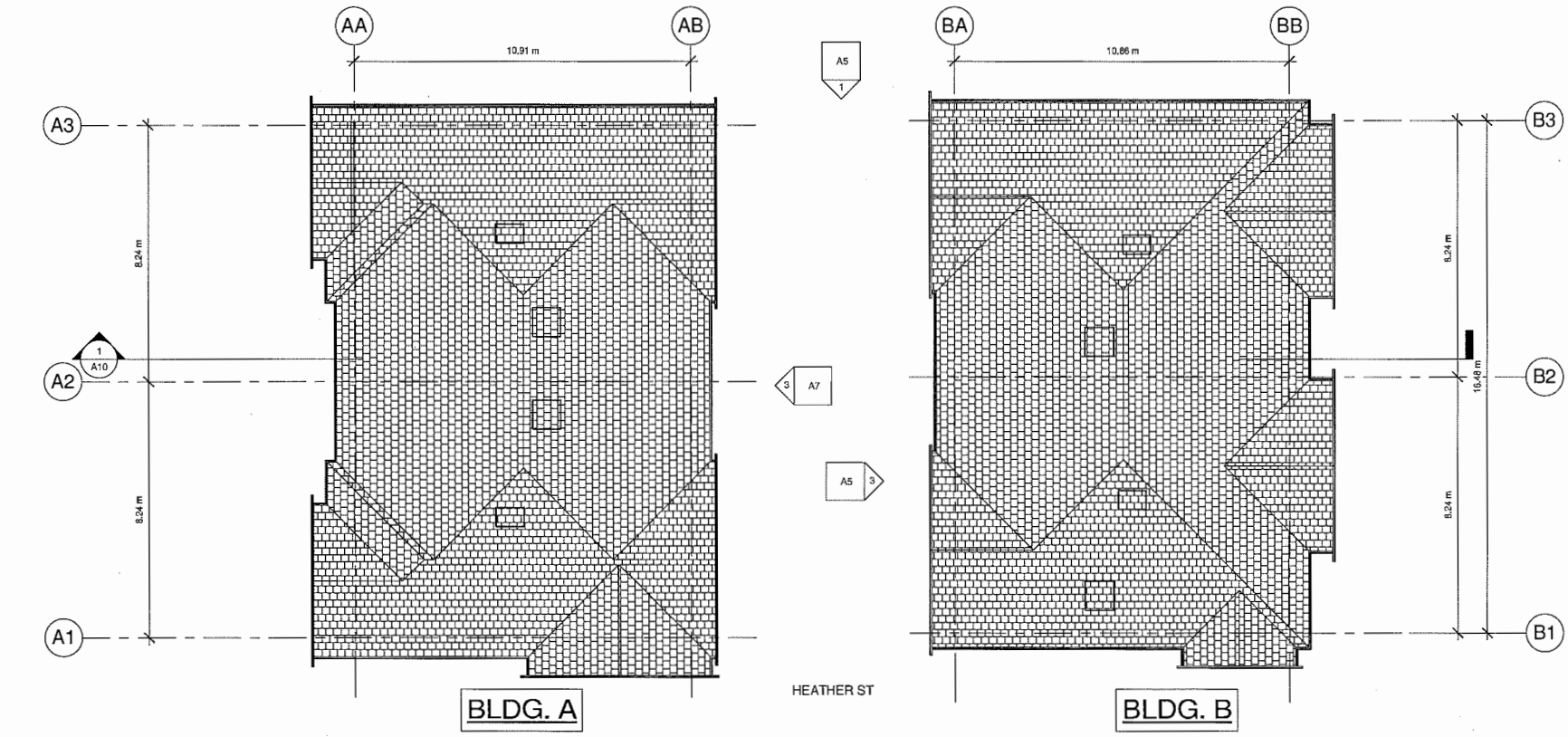
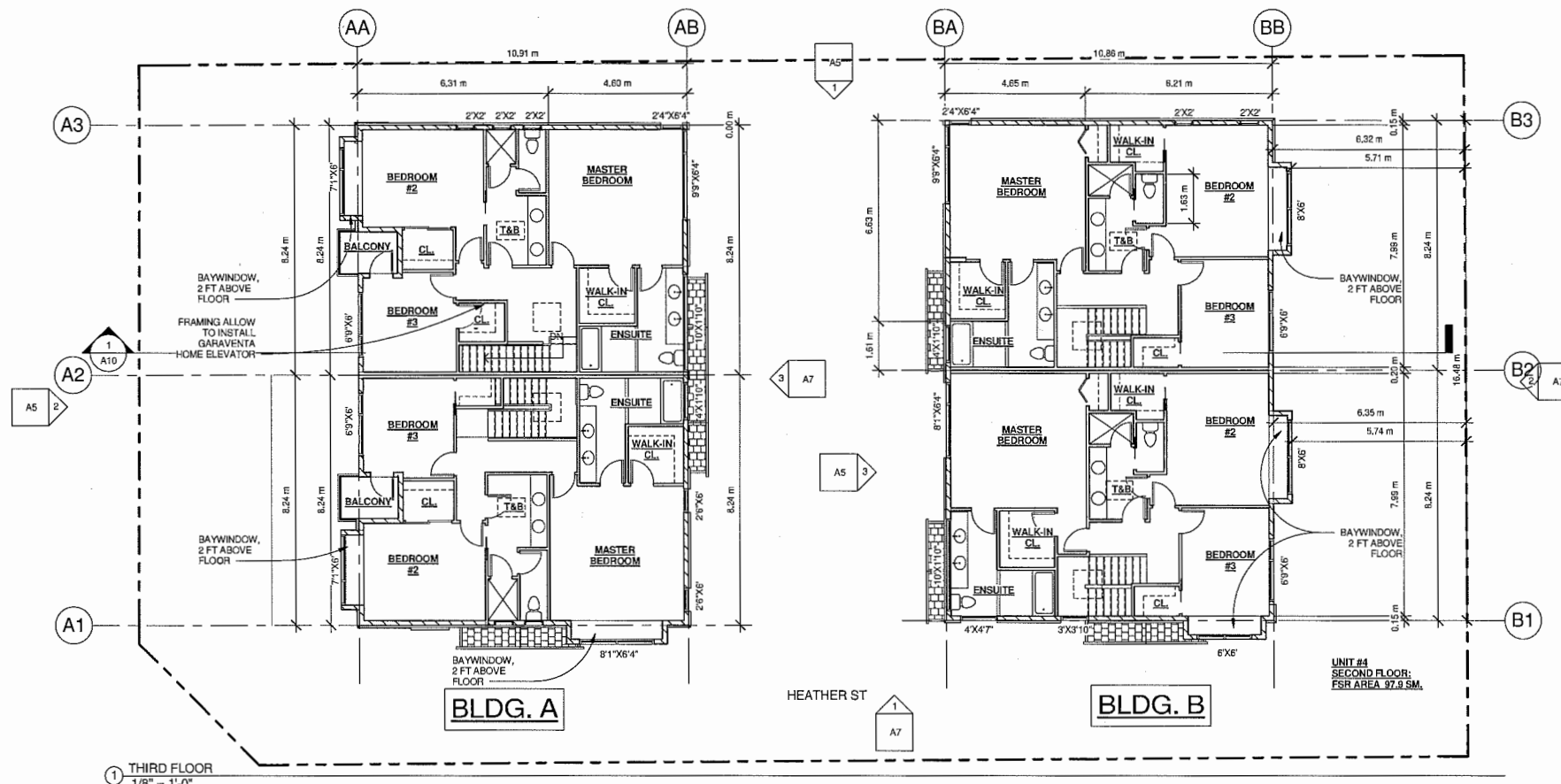
DATE: 18 JUN 2016

JOB NO. 15-10

7088 HEATHER ST. RICHMOND BC

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Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3W 3E9



NOTE:

- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATH-TUBS AND SHOWERS.
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REVISED FOR DP\_13-633035

Floor Plans

Gerry Blonski  
architect a.i.b.c.

4 UNITS TOWNHOUSE  
DEVELOPMENT  
7088 HEATHER ST. RICHMOND BC

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Suite 1A - 12488 - 82nd Ave., Surrey, B.C. V3W 2E9

JOB NO. 15-10  
DATE: 18 JUN 2016

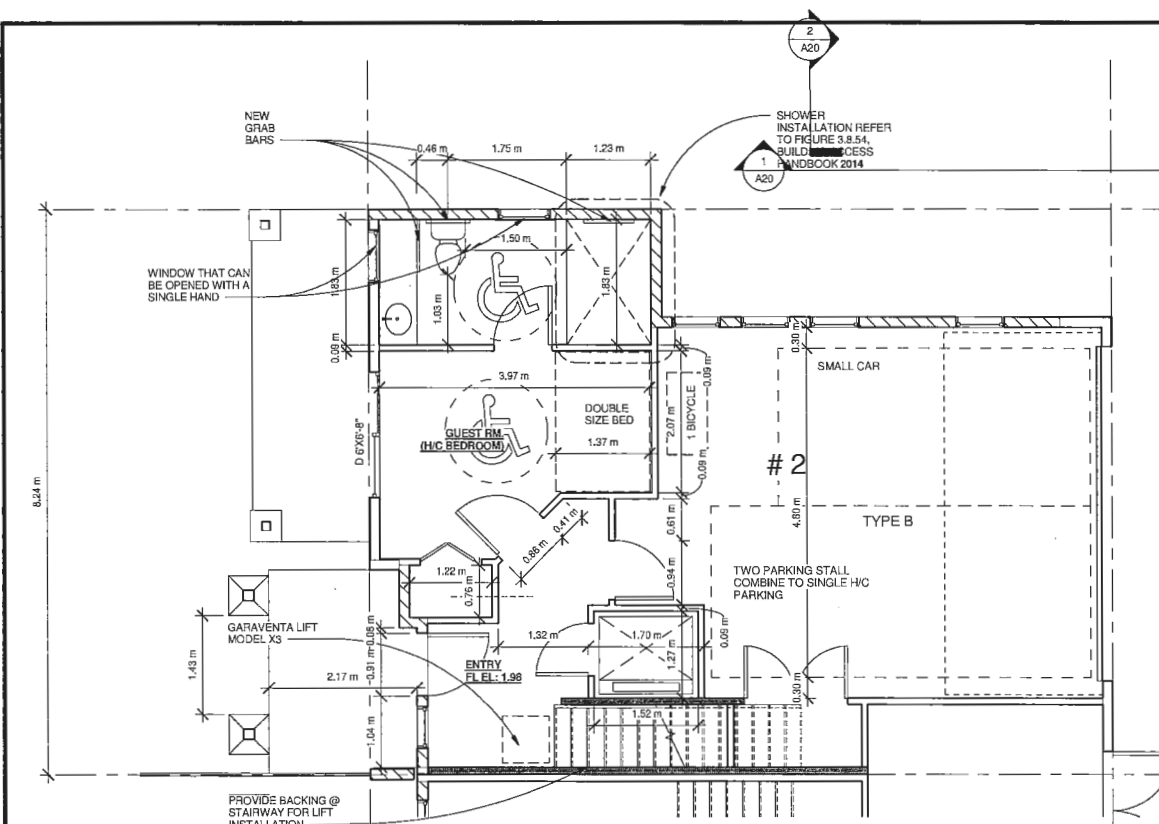
DP 13-633035



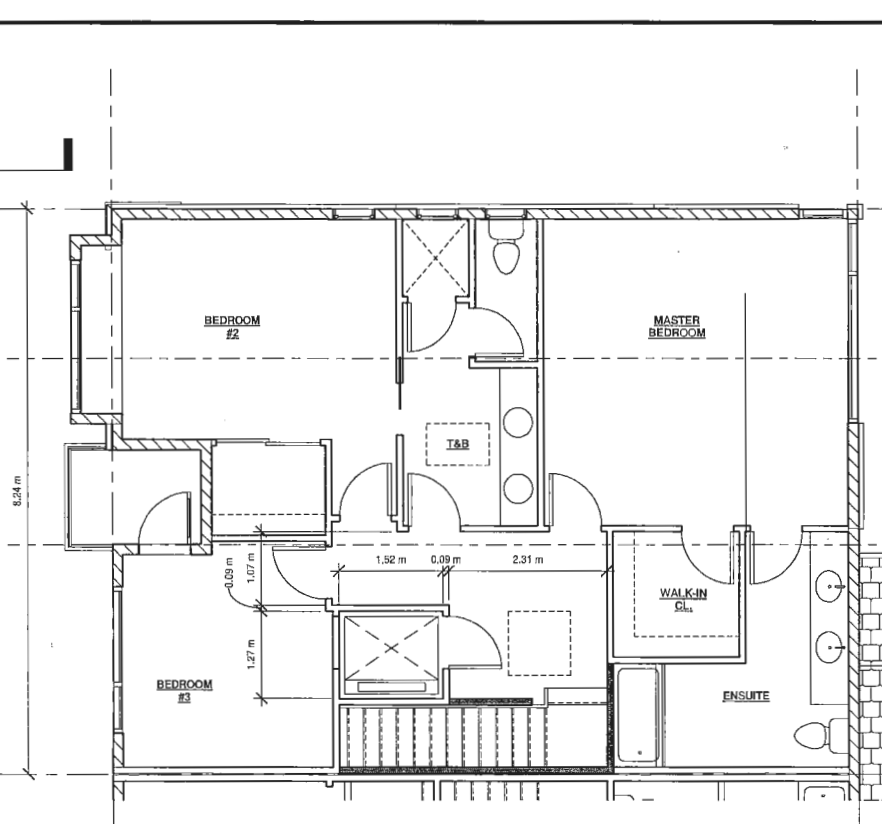
REFERENCE PLAN

SEP 20 2016

A9

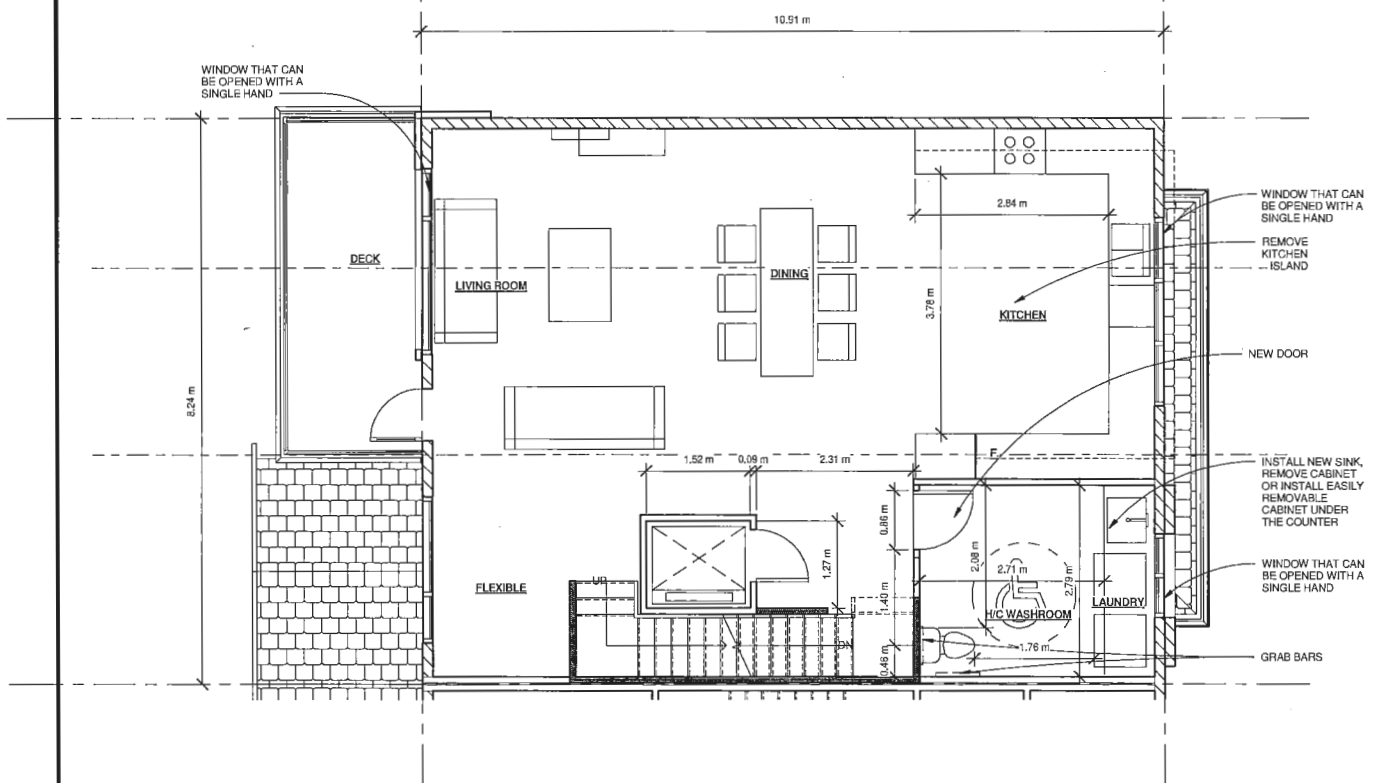


1 First Floor - Convertible Option  
1/4" = 1'-0"



3 Third Floor - Convertible Option  
1/4" = 1'-0"

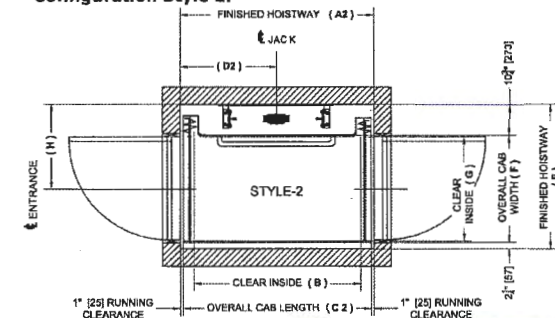
NOTE:  
 -- SOLID BLOCKING FLUSH TO STUD, 24" WIDE, 3'-0" HIGH O.C. IN ALL BATHROOMS FOR FUTURE INSTALLATION OF GRAB BARS FOR TOILETS, BATHTUBS AND SHOWERS.  
 -- HANDRAILS PROVIDED AROUND STAIRWELLS IN ALL UNITS  
 -- LEVER TYPE HANDLES FOR DOORS AND PLUMBING FIXTURES IN ALL UNITS  
 -- UNIT #2 IS DESIGNED AS CONVERTIBLE HOUSE  
 -- WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 3'-0" HIGH O.C. AT THE TOP OF ALL STAIRWAYS



2 Second Floor - Convertible Option  
1/4" = 1'-0"

**GARAVENTA LIFT  
ELVORON HOME ELEVATOR**

**Straight Through  
Configuration Style 2:**



Cab Size	A2	B	C2	D2	E	F	G	H"
36" x 48"	54 3/4"	48"	52 3/4"	27 3/8"	50"	37"	36"	29 1/4"

DEPRESSED SLAB IS NOT REQUIRED

**CONVERTIBLE UNIT**

**DOORS & DOORWAYS**

- ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
- ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE.
- INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT.
- PATIO/BALCONY MIN. 860 MM CLEAR OPENING.
- ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
- LEVER-TYPE HANDLES FOR ALL DOORS.

**VERTICAL CIRCULATION**

- STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS.
- AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.

**HALLWAYS**

- MIN. 900 MM WIDTH.

**GARAGE**

- 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
- ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.

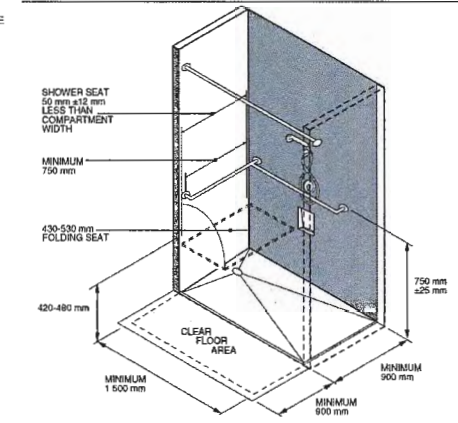


FIGURE 3.8.54. - Shower Compartment

**BATHROOM (MIN. 1)**

- TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
- WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
- PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
- CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
- BATH AND SHOWER CONTROLS ARE ACCESSIBLE

**KITCHEN**

- CLEAR AREA NEEDED UNDER FUTURE WORK SPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 804 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
- CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
- 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.

**WINDOWS**

- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)

**OUTLETS & SWITCHES**

- PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERIOR DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
- UPGRADE TO FOUR-POLE OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

REVISED FOR DP\_13-633035

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SUITE 1A - 12408 82nd Ave. Surrey, B.C. V3W 3E9

**4 UNITS TOWNHOUSE  
DEVELOPMENT**

7088 HEATHER ST. RICHMOND BC

DATE: 18 JUN 2016

JOB NO. 15-10

Convertible Unit

**A12**

SEP 20 2016





# City of Richmond

## Report to Development Permit Panel

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**To:** Development Permit Panel

**Date:** September 20, 2016

**From:** Wayne Craig  
Director, Development

**File:** DP 15-708644

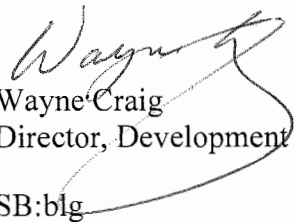
**Re:** Application by Yamamoto Architecture Inc. for a Development Permit at  
7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue

---

### Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 43 townhouse units at 7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue on a site zoned "Medium Density Townhouses (RTM3)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
  - a) Reduce the exterior side yard setback from 6 m to 5.2 m for the northeast building.
  - b) Reduce the front yard setback from 6 m to 4.5 m along the south side of the new east-west road.

  
Wayne Craig  
Director, Development

SB:blg

Att.

## **Staff Report**

### **Origin**

Yamamoto Architecture Inc. has applied to the City of Richmond for permission to develop 43 townhouses at 7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue on a site zoned “Medium Density Townhouses (RTM3)”.

The site is being rezoned from the “Single Detached (RS1/E)” zone to the “Medium Density Townhouses (RTM3)” zone for this project under Bylaw 9115 (RZ 12-610630).

A Servicing Agreement (SA 15-699302) was secured through the rezoning for the design and construction of:

- Road Improvements: two (2) new road extensions to connect to Lynas Lane and Lynnwood Drive; frontage improvements along Granville Avenue; new crosswalk to McKay neighbourhood park; and improvements to the Granville Avenue and Lynas Lane intersection, including full traffic signalization.
- Engineering Improvements: storm, sanitary and water infrastructure.
- Park Improvements: the 9 m wide addition to the McKay neighbourhood park; tree planting, improvements to the existing park pathway system; streetscape fencing; and service vehicle access.

### **Development Information**

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

### **Background**

Development surrounding the subject site is as follows:

- To the north, across Granville Avenue, are Thompson Community Centre and City park zoned “School & Institutional Use (SI)”.
- To the east, is a single-family dwelling on a lot zoned “Single Detached (RS1/E)” fronting onto Granville Avenue and under a separate rezoning application (RZ 13-644678) for a subdivision of new RS1/B lots that would front onto the new north-south road provided through the subject development.
- To the south, is McKay neighbourhood park zoned “School & Institutional Use (SI)”.
- To the west, is a single-family dwelling on a lot zoned “Single Detached (RS1/E)” fronting onto Granville Avenue. Further to the west, is a 155-unit townhouse development on a lot zoned “Town Housing (ZT23) – Laurelwood” fronting onto Lynnwood Drive cul-de-sac and Granville Avenue.

## Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on April 20, 2015. At the Public Hearing, no concerns about the architectural form and character were expressed. Concerns were expressed regarding construction traffic and safety. Submission of a traffic parking and management plan is required as part of the Building Permit process for the proposed townhouse development and as part of the required Servicing Agreement process for the off-site park, road and infrastructure construction. Through both processes, construction access will be limited to Granville Avenue only, and not be permitted from Lynnwood Drive.

## Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Medium Density Townhouses (RTM3)” zone except for the zoning variances noted below.

## Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the exterior side yard setback from 6 m to 5.2 m for the north-east building.

*(Staff supports the proposed variance, as it is a direct result of road dedication for a new required north-south road and only impacts a small corner portion of the building at the intersection of Granville Avenue and the new north-south road. The variance request was identified in the rezoning staff report).*

- 2) Reduce the front yard setback from 6 m to 4.5 m along the south side of the new east-west road.

*(Staff supports the proposed variance, as it is a direct result of road dedication for a new required east-west road and only impacts the two (2) buildings proposed on the south side of the new road. The variance request is consistent with the setbacks for the existing multi-family development to the west. The variance request was identified in the rezoning staff report).*

## Advisory Design Panel Comments

The Advisory Design Panel supported the design of the project and the Design Panel’s suggested design changes have been incorporated into the proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Thursday, December 17, 2015 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘**bold italics**’.



## **Analysis**

### ***Conditions of Adjacency***

- The proposed height, siting and orientation of the buildings generally address the massing of the surrounding residential developments.
- Two (2) townhouse buildings are proposed along Granville Avenue. The end unit adjacent to the west side yard is stepped down from three (3) storeys to two (2) storeys to transition to the adjacent single-family home.
- Two (2) townhouse buildings and the south lot outdoor amenity space are proposed along the McKay park interface. The proposed rear yard setback of 4.5 m to these buildings exceeds the minimum rear yard setback of 3.0 m specified in the "Medium Density Townhouses (RTM3)".
- 10 trees located on the adjacent property to the west are to be protected with tree protection areas on the subject site and 1.8 m height solid wood fencing will be provided along the west property line to provide screening between the development and the adjacent single-family home.
- A small landscape area and pedestrian entry will be provided along Granville Avenue at the west property line; providing a buffer between the proposed development and the front yard of the adjacent single-family property.

### ***Urban Design and Site Planning***

- The proposed site layout provides for pedestrian-oriented streetscapes of townhouses fronting Granville Avenue, new north-south road and new east-west road; complete with landscaped treatment, low lattice fencing with gates to individual townhouse front doors.
- The development proposal includes two (2) driveways from the new east-west road. A public rights-of-passage (PROP) statutory right-of-way (SRW) on the subject site was secured as a condition of rezoning to provide vehicle access to future development to the west.
- All units have two (2) vehicle parking spaces in enclosed garages. A total of nine (9) visitor parking spaces; including two (2) accessible visitor parking spaces, are proposed; which meet the minimum bylaw requirements. Both residential and visitor bicycle parking are provided and are also in compliance with the Zoning Bylaw requirements.
- Outdoor amenity spaces for both the north and south lots benefit from casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity spaces is appropriate in providing open landscape and amenity space convenient to all of the units.
- Garbage, recycling and organic waste will be collected door to door; with storage space provided in the individual unit garages.

### ***Architectural Form and Character***

- The architectural style of the proposed townhouse will provide a transition between the existing townhouses to the west and the residential character of the neighbourhood to the east and south.
- The street fronting buildings along Granville Avenue and the new east-west street are designed with low slope roof dormer elements at the third floor to complement the existing townhouse design to the west and to provide a contemporary character.

- The street fronting buildings along the new north-south street are designed to present end units with a more traditional residential gable roof character to minimize the apparent height of the buildings and as a transition to future single-family development to the east.
- The proposed mix of materials, colour palette and combination of building projections and recesses integrated into the design, provide visual interest and character for the proposal.
- The internal drive aisle character has been enhanced with a mix of single and double width doors, transom windows, as well as unit entries with hip roof, and planting islands.
- The proposed building materials (asphalt roof shingles, lap siding, board and batten siding, panel siding, stone veneer, wood trim/post/band/bracket/doors, and metal guard rail) are generally consistent with the Official Community Plan (OCP) Guidelines and are generally compatible with the existing multi-family and single-family character of the neighbourhood.

### ***Landscape Design and Open Space Design***

- Tree preservation was reviewed at rezoning stage; all seven (7) trees on site are identified for removal.
- Based on the 2:1 tree replacement ratio goal stated in the Official Community Plan (OCP), 14 replacement trees are required. The applicant is proposing to plant 94 replacement trees on-site.
- 10 trees located on the adjacent property to the west are to be protected with tree protection areas on the subject site. In order to protect these trees and create a functional outdoor amenity area adjacent to the drive aisle, the tree protection area will be covered with a permeable wood deck surface at the same elevation as the drive aisle. The proposed low retaining wall along the rear property line will be located outside of the tree protection zone to the edges of the outdoor amenity area.
- Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities occurring on-site.
- Pedestrian-oriented streetscapes are proposed along Granville Avenue, new north-south road and new east-west road; with landscaped edge treatment, low lattice fencing with gates and walkways to individual townhouse unit front doors.
- Each unit will have a private yard with landscaping, lawn area and an area of patio pavers. Various hedges, shrubs and ground covers, as well as perennials and grasses, have been selected to ensure the landscape treatment remains interesting throughout the year.
- The outdoor amenity areas include young children play features; including fence enclosed play equipment with resilient safety surfacing, seating for parents, interlocking paved areas, wood deck tree protection area, and landscaped areas that allow for flexible use by children or adults.
- The entrance driveway, areas of drive aisle and drive aisle ends will be treated with interlocking pavers for visual interest.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a Landscape Security of \$193,050.00 as a condition of the Development Permit.
- Indoor amenity space is not proposed on-site. A \$71,000 cash-in-lieu contribution was secured as a condition of rezoning, consistent with the OCP.

***Crime Prevention Through Environmental Design***

- The driveway entry is treated with interlocking pavers; differentiating the private site from the City's sidewalk public space.
- Each street-facing unit has a front yard space with planting areas and is separated from neighbouring yards and the City's sidewalk by low fencing; identifying the boundaries of the private yard spaces.
- Unit entries are clearly visible and not deeply recessed. Windows provide natural surveillance from units to public streets, on-site drive aisles and outdoor amenity areas.

***Sustainability***

- The applicant agreed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating. Registration of a legal agreement was secured as a condition of rezoning.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.

***Accessible Housing***

- The proposed development includes two (2) convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
  - Stairwell hand rails.
  - Lever-type handles for plumbing fixtures and door handles.
  - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

**Conclusions**

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. On this basis, staff recommend support of this Development Permit application.



Sara Badyal  
Planner 2  
(604-276-4282)

SB:blg

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$193,050.00.



Prior to future Building Permit issuance, the developer is required to complete the following:

- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges associated with eligible latecomer works.



# City of Richmond

## Development Application Data Sheet

Development Applications Department

**DP 15-708644**

**Attachment 1**

Address: 7260 Lynnwood Drive and 5320, 5340 & 5360 Granville Avenue

Applicant: Yamamoto Architecture Inc.

Owner: Grandsun Investment & Trading Inc.

Planning Area(s): Laurelwood Sub-Area (Blundell)

	Existing	Proposed
Site Area	Previously 12,090 m <sup>2</sup>	Existing North lot 4,400.3 m <sup>2</sup> Existing South lot 3,471.4 m <sup>2</sup>
Land Uses	Previously Residential (Single Detached) And vacant land	Residential (Townhouses)
OCP Designation	Neighbourhood Residential	Complies
Sub-Area Plan Designation	Residential (Townhouses)	Complies
Zoning	Medium Density Townhouses (RTM3)	Requested variances noted below
Number of Units	2 houses & vacant lot	43 Townhouses (North lot 26 & South lot 17)

	Bylaw Requirement	Proposed North Lot	Proposed South Lot	Variance
Floor Area Ratio	Max. 0.7	0.7	0.7	None permitted
Lot Coverage	Max. 40%	36.2%	35.9%	None
Lot Size: Depth Width	Min. 35 m Min. 50 m	77 m 56 m to 61 m	71 m 56 m	None
Setbacks: Granville Avenue North-South road East-West road McKay park Interior Side Yard	Min. 6 m Min. 6 m Min. 6 m Min. 3 m Min. 3 m	6 m 5.2 m to 6 m 6 m n/a Min. 4 m	n/a 6 m 4.5 m 4.5 m Min. 3.44 m	None 0.8 m Reduction 1.5 m Reduction None None
Building Height	Max. 12 m & three-storey	10.96 m & three-storey	11.18 m & three-storey	None
Parking Spaces:	(43 units)	(26 units)	(17 units)	
Resident	86	52	34	
Visitor	9	5	4	
Accessible	(2)	(1)	(1)	
Total	95	57	38	None
Small Car Parking	Max. 50%	(1 space in 1 unit)	5	None
Tandem Parking	Max. 50%	28 spaces	12 spaces	None
Indoor Amenity Space	Min. 70 m <sup>2</sup>	Cash-in-lieu	Cash-in-lieu	None
Outdoor Amenity Space	Min. 258 m <sup>2</sup>	168.5 m <sup>2</sup>	153 m <sup>2</sup>	None

**Annotated Excerpt from the Minutes from  
Advisory Design Panel Meeting  
Wednesday, December 17, 2015**

Application DP 15-708644 – 43 two and three-storey townhouse units  
Location 7260 Lynnwood Drive, 5320, 5340 and 5360 Granville Avenue

**Panel Discussion**

*Comments from the Panel were as follows:*

- project design fits well with the neighbourhood context; applicant is encouraged to identify public art opportunities for the project – *Noted.*
- appreciate the choice of small tree species for the tight site – *Noted.*
- the northern outdoor amenity area is quite linear broken into separate areas; consider consolidating the two separate areas due to the small size of this amenity area – *Although a consolidated amenity area adjacent to the townhouse buildings would be ideal, the amenity area has been broken into two areas to protect existing trees on the neighbouring property.*
- the southern outdoor amenity area appears closed off to the park; design development is needed to open it up visually to the park – *The south amenity area has been opened up visually to provide open views to the park. Tree planting is pulled to the drive aisle edge and low planting and a 1.2 m lattice fence separates the site from the park.*
- encourage providing patios to provide private outdoor space for each unit in view of the absence of balconies – *Revised to provide either a rear yard or front patio for each unit.*
- different paving treatment for pedestrian sidewalk on the internal drive aisles is unnecessary – *Revised and pavers provided at driveways, intersection areas, and drive aisle ends.*
- scale and lay-out of the project addresses its context – *Noted.*
- appreciate the use of natural stone in the base of townhouse buildings; ensure that scale of natural stone is appropriate for the size of the buildings; consider a darker colour than for the hardie panel above the natural stone to provide more contrast against the skyline –
- appreciate the massing and design of the project – *Noted.*
- consider decreasing the amount of vinyl materials [siding] in the building – *Removed.*
- consider integrating the more modern detailing in the upper areas of the buildings down in lower areas to provide more interest at the pedestrian level; also integrate the detailing with other elements, e.g. fences, mailboxes – *More modern detailing added to streetscape end units & more modern lattice fencing design used.*
- appreciate the pocket doors for the washrooms – *Noted.*
- review the kitchen work surface lay-out for the convertible unit; consider locating the sink between the stove and refrigerator for a more efficient work area – *Done.*



- D, Db and Da-type units have a family room on the third floor; the layout is problematic for accessibility, i.e., the kitchen is located two floors below and a powder room is not provided on the third floor – ***Full bathroom added.***
- the main living space in Unit C is located on the ground floor but a powder room is not provided on the same floor for accessibility – ***Due to space constraint in the two-storey Unit C, a washroom is provided on the second floor.***
- attractive project; challenging to have a road going through the proposed development which makes the project appear like two small-sized projects – ***Noted.***
- appreciate the articulation and choice of materials; amount of vinyl used is appropriate; good transition from the use of high-quality to lower-quality materials – ***Noted.***
- agree with comments to introduce patios to units along the street; provision of a private outdoor space is necessary as balconies are not provided – ***Refer to comment above.***
- the proposed pedestrian route paving treatment in the internal drive aisles is unnecessary in view of the small size of the project; encourage providing paver accent to the vehicular entries off the street – ***Refer to comment above.***
- the two outdoor amenity areas are appropriate for the size of the development – ***Noted.***
- consider relocating the handicapped parking stalls closer to the convertible units in the north and south sides of the proposed development – ***The convertible units have side by side garages, which could be used for accessible parking. In the south lot, the accessible visitor parking space is next to the building. In the north lot, there is not enough room.***
- agree with comments regarding the need to provide an outdoor patio to townhouse units along Granville Avenue – ***Refer to comment above.***
- agree with comments to consolidate the spaces in the northern outdoor amenity area; bicycle parking could be rotated around to provide a bigger and more flexible amenity space – ***Bicycle parking relocated to improve amenity space layout.***
- provide details on the arbor structure; should be consistent with the architecture of the project – ***The arbor ties into the architecture with the same column base as the buildings.***
- there is no formal play equipment in the outdoor amenity areas – ***Added.***
- agree with comments that the pedestrian route paving treatment is unnecessary and would have more value if relocated to accent the intersections and vehicular entries – ***Refer to comment above.***
- conifers at the pedestrian access from the driveway to Lynwood Drive may pose a potential CPTED issue; consider introducing an arbor to celebrate the entry to the site – ***Visibility addressed with arbors added at all communal pedestrian entries & conifer only provided on one side of arbor.***
- tree planting between garage entries may not be feasible due to lack of required soil volume; consider replacing low shrubs with pyramidal cedar shrubs to increase green impact – ***Done.***
- agree with comments regarding the need for stronger visual connection of the southern outdoor amenity area to the park – ***Refer to comment above.***



# City of Richmond

## Development Permit

**No. DP 15-708644**

To the Holder: YAMAMOTO ARCHITECTURE INC.

Property Address: 7260 LYNNWOOD DRIVE AND  
5320, 5340 & 5360 GRANVILLE AVENUE

Address: C/O TAIZO YAMAMOTO  
YAMAMOTO ARCHITECTURE INC.  
33 EAST 8<sup>TH</sup> AVENUE, UNIT 202  
VANCOUVER, BC V5T 1R5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
  - a) Reduce the exterior side yard setback from 6 m to 5.2 m for the northeast building.
  - b) Reduce the front yard setback from 6 m to 4.5 m along the south side of the new east-west road.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #17 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$193,050.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

## Development Permit

No. DP 15-708644

To the Holder: YAMAMOTO ARCHITECTURE INC.  
Property Address: 7260 LYNNWOOD DRIVE AND  
5320, 5340 & 5360 GRANVILLE AVENUE  
Address: C/O TAIZO YAMAMOTO  
YAMAMOTO ARCHITECTURE INC.  
33 EAST 8<sup>TH</sup> AVENUE, UNIT 202  
VANCOUVER, BC V5T 1R5

---

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

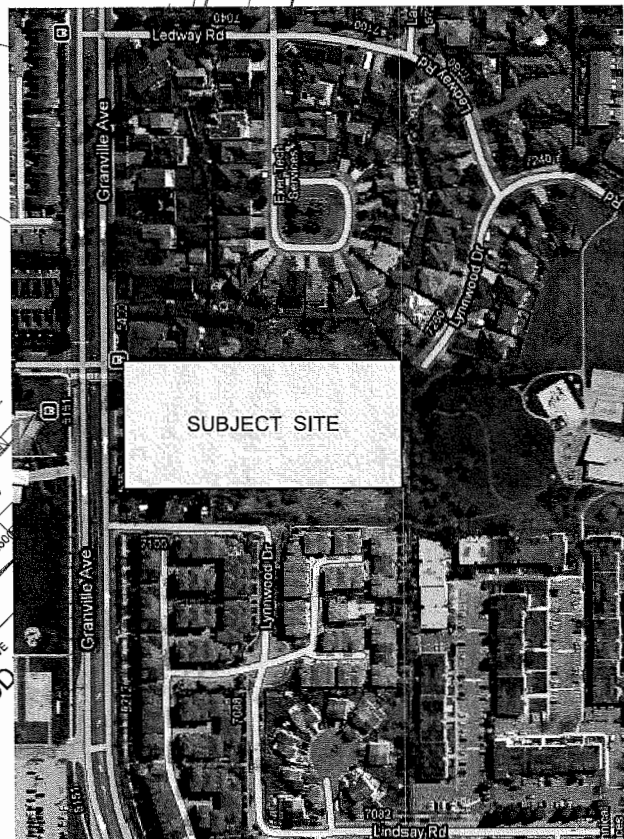
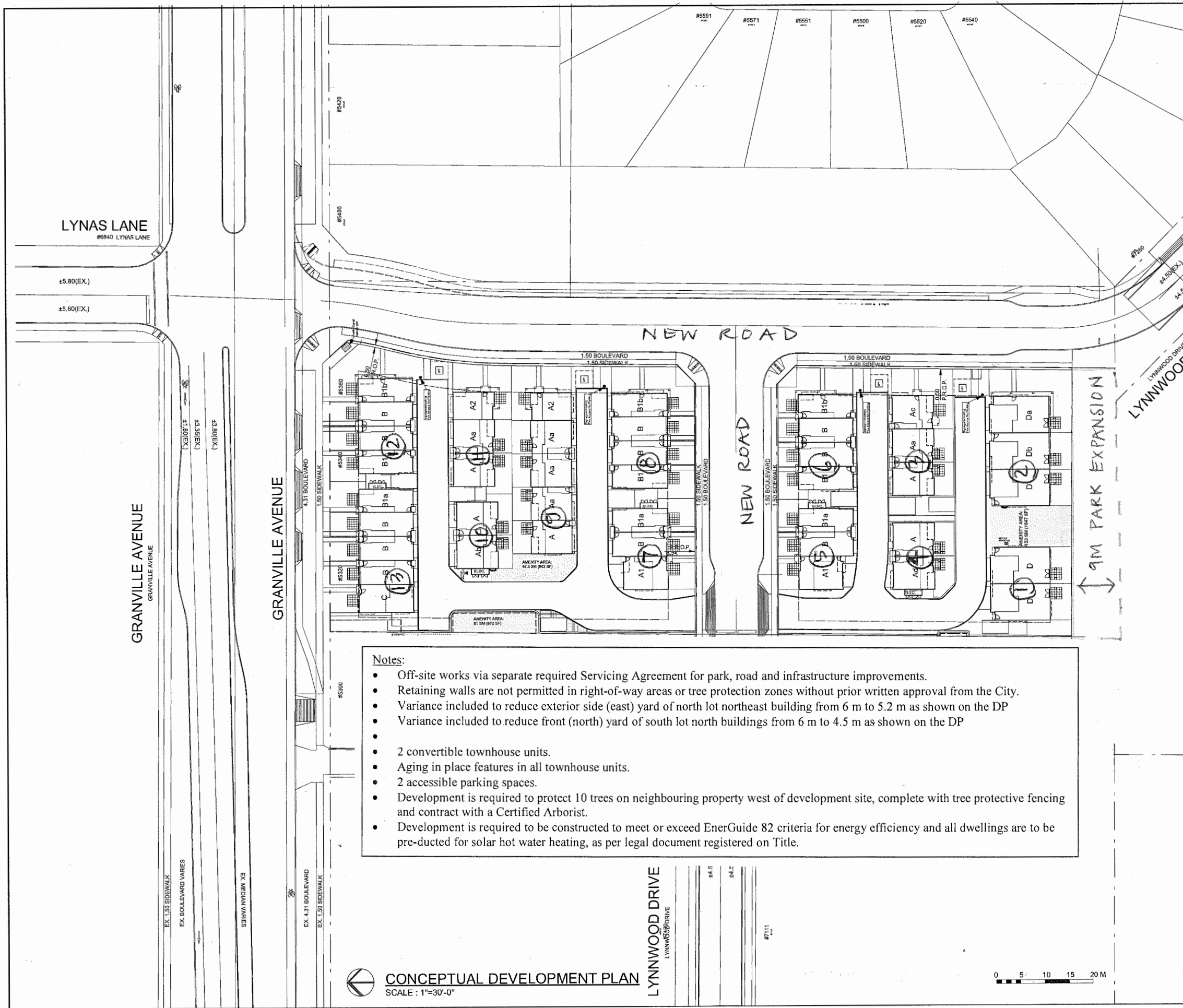
AUTHORIZING RESOLUTION NO.  
DAY OF , .

ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

---

MAYOR



CONTEXT PLAN  
SCALE : N.T.S

MAR. 03, 2016	ISSUED FOR DCP
DEC. 04, 2015	ISSUED FOR ADP
AUG. 14, 2015	ISSUED FOR D.P. APPL
FEB. 25, 2015	GENERAL REVISIONS
JUL. 02, 2013	GENERAL REVISIONS
AUG. 30, 2012	LOT 2 REVISED
MAY 8, 2012	ISSUED FOR REZONING APPL.

NO.	DATE	R
CONSULTANT		

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this drawing as an instrument of  
work shall be void in any way without  
written consent.

PROJECT  
TOWNHOUSE DEVI

5320, 5340, 5360/538  
7260 LYNNWOOD DR

Yamamoto  
Architecture Inc.

#202 - 33 west 8th avenue, vancouver, bc  
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE  
CONCEPTUAL DEVELOPMENT PLAN  
& CONTEXT PLAN

SCALE 1" = 30'-0"	SHEET NO. 0.1
DATE FEBRUARY 22, 2016	RZ
DRAWN TY	PROJ. NO. 1010A
CHECKED	

- Notes:
- Off-site works via separate required Servicing Agreement for park, road and infrastructure improvements.
  - Retaining walls are not permitted in right-of-way areas or tree protection zones without prior written approval from the City.
  - Variance included to reduce exterior side (east) yard of north lot northeast building from 6 m to 5.2 m as shown on the DP
  - Variance included to reduce front (north) yard of south lot north buildings from 6 m to 4.5 m as shown on the DP
  - 2 convertible townhouse units.
  - Aging in place features in all townhouse units.
  - 2 accessible parking spaces.
  - Development is required to protect 10 trees on neighbouring property west of development site, complete with tree protective fencing and contract with a Certified Arborist.
  - Development is required to be constructed to meet or exceed EnerGuide 82 criteria for energy efficiency and all dwellings are to be pre-ducted for solar hot water heating, as per legal document registered on Title.



CONCEPTUAL DEVELOPMENT PLAN  
SCALE : 1"=30'-0"

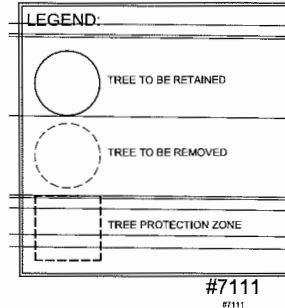
LYNNWOOD DRIVE  
LYNNWOOD DRIVE

0 5 10 15 20 M



ALL PATIOS TO BE  
REMOVABLE PAVERS  
(NOT CAST IN PLACE)

FINISHED SLAB GRADE: 1.40M



**VARIANCES REQUESTED:**

- 0.32M BUILDING ROOM PROJECTION INTO EXIST. SETBACK  
- 1.08M ELECTRICAL ROOM PROJECTION INTO SIDE YARD SETBACK

**±4.50(EX.)**

**SITE PLAN**  
SCALE: 1/16"=1'-0"

AVERAGE EXIST. SITE GRADE: 0.96 M  
AVERAGE FINISH SITE GRADE: 1.20 M

**STATISTICS:**

CIVIC ADDRESS: 5320, 5340, 5360, GRANVILLE AVE & 7260 LYNNWOOD DRIVE  
LEGAL DESCRIPTION:

ZONING: RTM3

GROSS SITE AREA: 12,090.1 SQ.M. (130,136.75 SQ.FT.)  
NET SITE AREA: 3,471.4 SQ.M. (37,365.8 SQ.FT.)

MAX. LOT COVERAGE: 37,365.8 SQ.FT. x 40% = 14,946.3 SQ.FT. (1,388.6 SQ.M.)

PROPOSED: 12541.6 SQ.FT. (BUILDINGS)  
867.6 SQ.FT. (PORCHES)

TOTAL 13409.2 SQ.FT. (35.9%)

**F.A.R.:**

MAX. ALLOWED FLOOR AREA (0.70): 37,365.8 SQ.FT. x 70% = 26,156 SQ.FT. (2,430 SQ.M.)

**PROPOSED FLOOR AREA:**

UNIT	AREA (SQ.FT.)	UNITS	TOTAL AREA (SQ.FT.)	GARAGE AREA (SQ.FT.)
UNIT-A (3 BRS)	1441.3	2	2882.6	370.4
UNIT-Ac (3 BRS)	1448.1	1	1448.1	370.4
UNIT-Aa (3 BRS)	1426.1	1	1426.1	370.4
UNIT-Ad (3 BRS)	1447.1	1	1447.1	370.4
UNIT-A1 (3 BRS)	1610.3	1	1610.3	405.8
UNIT-B (3 BRS)	1194.6	3	3583.8	520.1
UNIT-B1/B1a (3 BRS)	1184.5	2	2369.0	500.9
UNIT-B1b (3 BRS)	1210.7	1	1210.7	500.9
UNIT-D/Da (3 BRS)	2042.6	4	8170.4	338.9
UNIT-Db (3 BRS)	2006.1	1	2006.1	338.9
SUBTOTAL		17	26154.2	5289.3

**PARKING:**

REQUIRED:	2.0 SPACES x 17 UNITS	=	34 SPACES (RESIDENTS)
	0.2 SPACES x 17 UNITS	=	3.4 SPACES (VISITORS)
TOTAL		=	37.4 SPACES

PROVIDED:	2 CAR GARAGES x 11 UNITS	=	22 SPACES (RESIDENTS)
	2 CAR TANDUM GARAGES x 6 UNITS	=	12 SPACES (RESIDENTS)
	OPEN VISITORS PARKING	=	4 SPACES (VISITORS)
TOTAL		=	38 SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE:	1.25 SPACES x 17 UNITS	=	21.3 SPACES (CLASS 1)
	0.2 SPACES x 17 UNITS	=	3.4 SPACES (CLASS 2)
TOTAL		=	24.7 SPACES

PROVIDED BICYCLE:	2 SPACES x 7 GARAGES	=	14 SPACES (CLASS 1)
	1 SPACE x 10 GARAGES	=	10 SPACES (CLASS 1)
	BICYCLE RACK	=	4 SPACES (CLASS 2)
TOTAL		=	28 SPACES

**AMENITY AREA:**

REQUIRED	INDOOR	: MIN. 70 SQ.M. (753 SQ.FT.)
	OUTDOOR	: 102 SQ.M. (1098 SQ.FT.)
PROVIDED	INDOOR	: PAYMENT IN LIEU
	OUTDOOR	: 153 SQ.M. (1647 SQ.FT.)

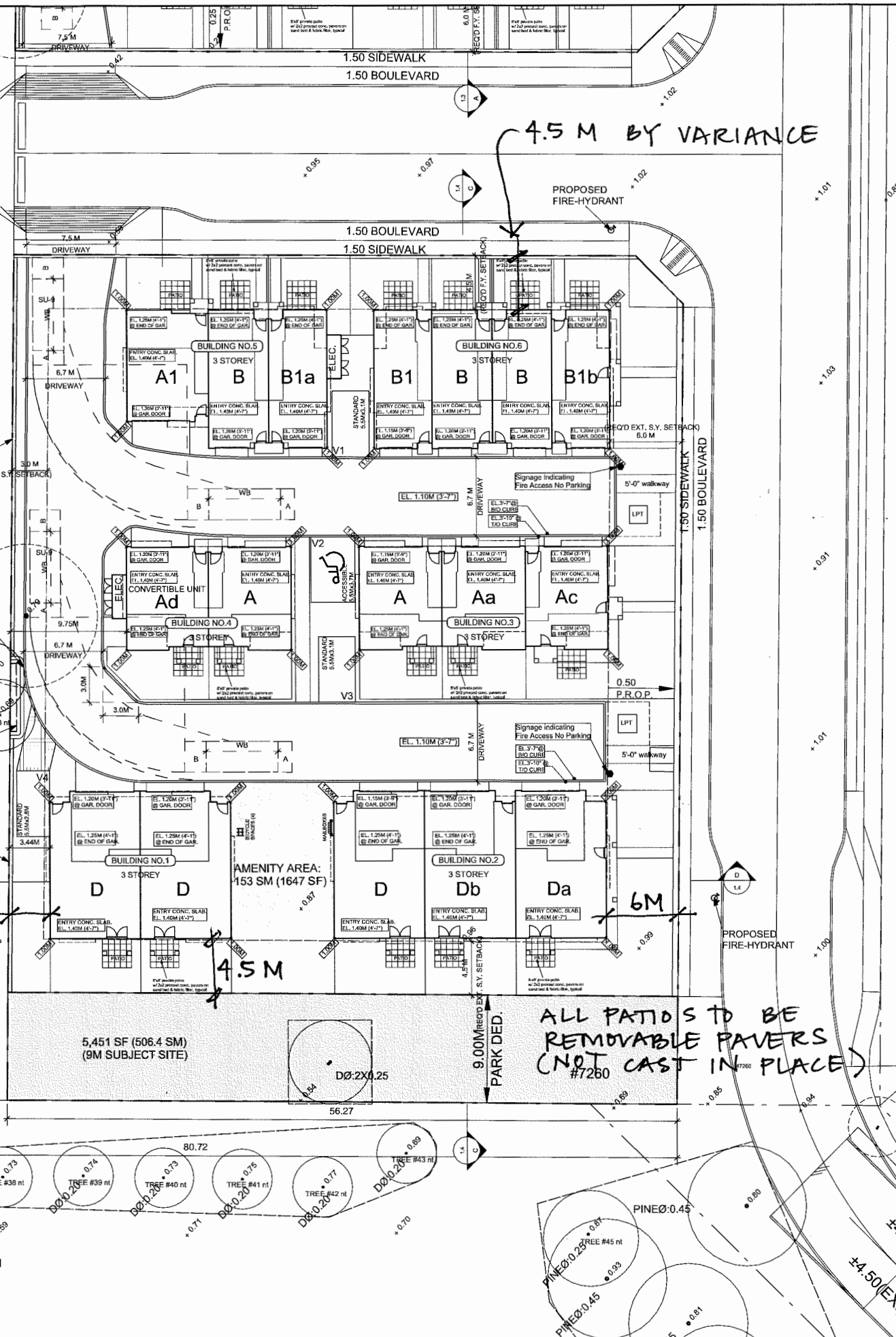
FCL: AREA A - HIGHEST CROWN OF ROAD: 1.10M  
FINISHED SLAB GRADE: 1.40M

**ADDITIONAL NOTES:**

ONE CONVERTIBLE UNIT PROVIDED - UNIT Ad IN BUILDING 4

AGING IN PLACE FEATURES (TO BE PROVIDED IN ALL UNITS):  
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION  
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

0 5 10 15 20 M



JUL. 19, 2016	GENERAL REVISIONS
MAR. 03, 2016	ISSUED FOR DDP
DEC. 04, 2015	ISSUED FOR ADP
AUG. 14, 2015	ISSUED FOR D.P. APPL.
FEB. 25, 2015	GENERAL REVISIONS
JUL. 02, 2013	GENERAL REVISIONS
AUG. 30, 2012	LOT 2 REVISED
MAY 8, 2012	ISSUED FOR SETBACK APP.

NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE AVE & 7260 LYNNWOOD DRIVE, RIC

Yamamoto Architecture Inc.

#202 - 33 east 8th avenue, Vancouver, BC  
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1127

DRAWING TITLE

SITE PLAN (SOUTH AREA)

**SOUTH LOT**

SCALE	1/16" = 1'-0"	SHEET NO.	1.1
DATE	APRIL 28, 2016		
DRAWN	TY		RZ
CHECKED		PROJ. NO.	1010A

Plan 3 Sept 21, 2016  
DP 15-708644

EX. 4.31 BOULEVARD

EX. 1.50 SIDEWALK

**PARKING:**

REQUIRED: 2.0 SPACES x 26 UNITS = 52 SPACES (RESIDENTS)  
0.2 SPACES x 26 UNITS = 5.2 SPACES (VISITORS)  
TOTAL = 57.2 SPACES

PROVIDED: 2 CAR GARAGES x 12 UNITS = 24 SPACES (RESIDENTS)  
2 CAR TANDEM GARAGES x 14 UNITS = 28 SPACES (RESIDENTS)  
OPEN VISITORS PARKING = 5 SPACES (VISITORS)  
TOTAL = 57 SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE: 1.25 SPACES x 26 UNITS = 32.5 SPACES (CLASS 1)  
0.2 SPACES x 26 UNITS = 5.2 SPACES (CLASS 2)  
TOTAL = 37.7 SPACES

PROVIDED BICYCLE: 2 SPACES x 9 GARAGES = 18 SPACES (CLASS 1)  
1 SPACE x 17 GARAGES = 17 SPACES (CLASS 1)  
BICYCLE RACK = 5 SPACES (CLASS 2)  
TOTAL = 40 SPACES

SMALL PARKING SPACE (GARAGE)  
2.3M x 4.6M

STANDARD PARKING SPACE (GARAGE)  
2.5M x 5.5M

VISITOR PARKING  
STANDARD  
2.8M x 5.5M

STANDARD PARKING SPACE (GARAGE)  
WITH A 120V RECEPTACLE TO ACCOMMODATE  
ELECTRIC VEHICLE CHARGING EQUIPMENT  
2.5M x 5.5M

VERTICAL BICYCLE SPACE (GARAGE)  
0.6M x 1.0M

HORIZONTAL BICYCLE SPACE (GARAGE)  
0.6M x 1.8M

LYNNWOOD DRIVE  
LYNNWOOD DRIVE

AS PER THE 2041 OCP REQUIREMENT FOR ELECTRIC VEHICLES:  
- A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A  
120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE  
CHARGING EQUIPMENT.  
- AN ADDITIONAL 25% OF PARKING STALLS TO BE CONSTRUCTED TO  
ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE  
CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).

±4.50(EX.)

±4.50(EX.)

#7111

#5300

#5320

#5340

#5360

2'-0" high retaining wall

Signage Indicating  
Fire Access No Parking

Signage Indicating  
Fire Access No Parking

1.50 SIDEWALK  
1.50 BOULEVARD

1.50 SIDEWALK  
1.50 BOULEVARD

JUL. 19, 2016	GENERAL REVISIONS
MAR. 03, 2016	ISSUED FOR DDP
DEC. 04, 2015	ISSUED FOR ADP
AUG. 14, 2015	ISSUED FOR D.P. APPL.
FEB. 25, 2015	GENERAL REVISIONS
JUL. 02, 2013	GENERAL REVISIONS
AUG. 30, 2012	LOT 2 REVISED
MAY 8, 2012	ISSUED FOR REZONING APPL.

NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, Vancouver, BC  
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE

PARKING PLAN  
(NORTH AREA)

NORTH LOT

SCALE	1/16" = 1'-0"	SHEET NO.	
DATE	FEBRUARY 22, 2016	2.0	
DRAWN	CW	RZ	
CHECKED		PROJ. NO.	1018A

Plan 4 Sept 21, 2016  
DP 15-708644

AS PER THE 2041 OCP REQUIREMENT FOR ELECTRIC VEHICLES:  
- A MINIMUM OF 20% OF PARKING STALLS TO BE PROVIDED WITH A 120V RECEPTACLE TO ACCOMMODATE ELECTRIC VEHICLE CHARGING EQUIPMENT  
- AN ADDITIONAL 25% OF PARKING STALLS TO BE CONSTRUCTED TO ACCOMMODATE THE FUTURE INSTALLATION OF ELECTRIC VEHICLE CHARGING EQUIPMENT (E.G. PRE-DUCTED FOR FUTURE WIRING).

±4.50(EX.)

±4.50(EX.)

#7111  
#7111

## PARKING PLAN

SCALE: 1/16"=1'-0"

### PARKING:

REQUIRED:

2.0 SPACES x 17 UNITS	=	34 SPACES (RESIDENTS)
0.2 SPACES x 17 UNITS	=	3.4 SPACES (VISITORS)
TOTAL	=	37.4 SPACES

PROVIDED:

2 CAR GARAGES x 11 UNITS	=	22 SPACES (RESIDENTS)
2 CAR TANDEM GARAGES x 6 UNITS	=	12 SPACES (RESIDENTS)
OPEN VISITORS PARKING	=	4 SPACES (VISITORS)
TOTAL	=	38 SPACES

NOTE: 1 ACCESSIBLE PARKING SPACE IS PROVIDED.

REQUIRED BICYCLE:

1.25 SPACES x 17 UNITS	=	21.3 SPACES (CLASS 1)
0.2 SPACES x 17 UNITS	=	3.4 SPACES (CLASS 2)
TOTAL	=	24.7 SPACES

PROVIDED BICYCLE:

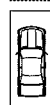
2 SPACES x 7 GARAGES	=	14 SPACES (CLASS 1)
1 SPACE x 10 GARAGES	=	10 SPACES (CLASS 1)
BICYCLE RACK	=	4 SPACES (CLASS 2)
TOTAL	=	28 SPACES



SMALL PARKING SPACE (GARAGE)  
2.3M x 4.6M



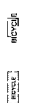
STANDARD PARKING SPACE (GARAGE)  
2.5M x 5.5M



VISITOR PARKING  
STANDARD  
2.8M x 5.5M



STANDARD PARKING SPACE (GARAGE)  
WITH A 120V RECEPTACLE TO ACCOMMODATE  
ELECTRIC VEHICLE CHARGING EQUIPMENT  
2.5M x 5.5M

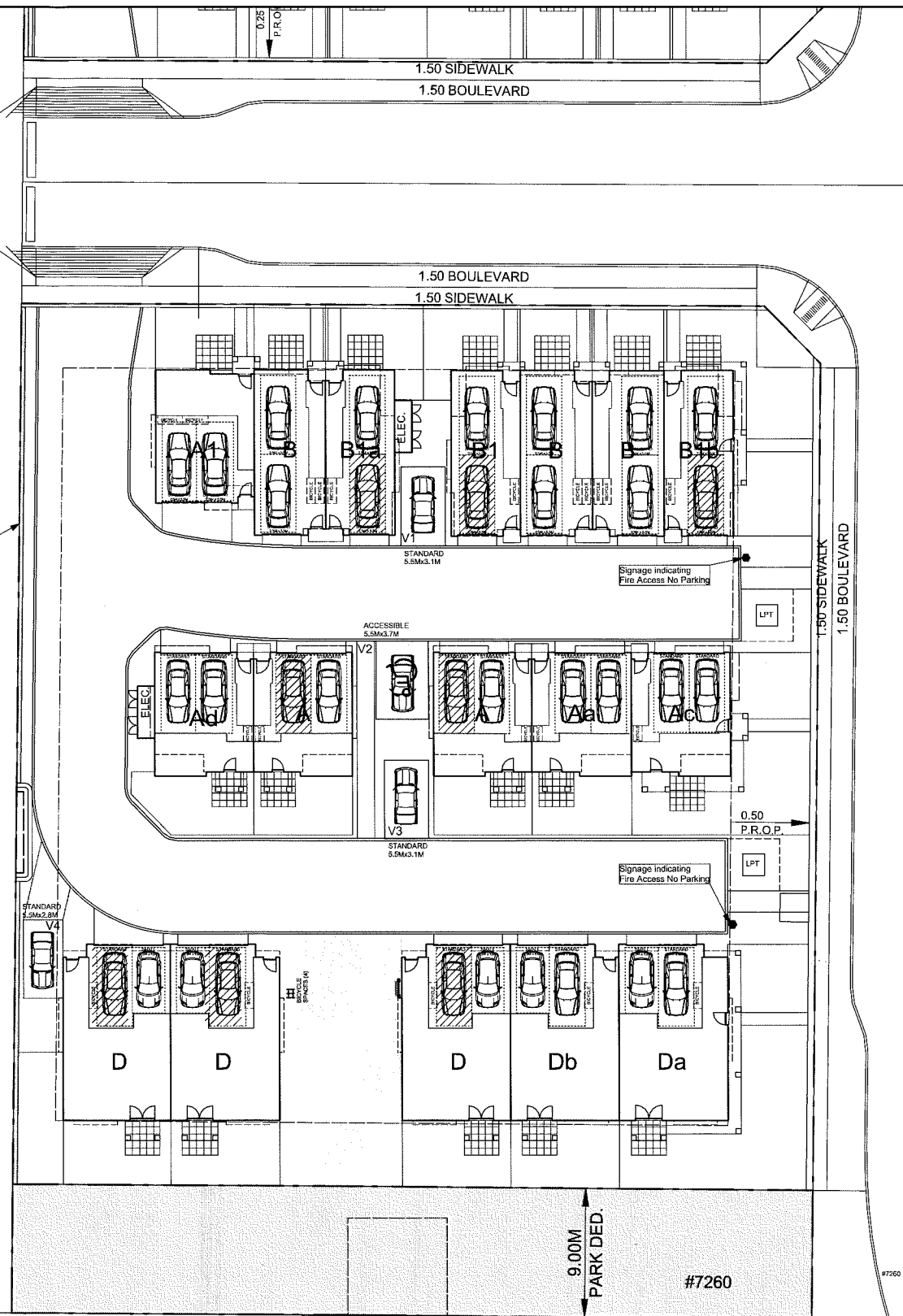


VERTICAL BICYCLE SPACE (GARAGE)  
0.6M x 1.0M



HORIZONTAL BICYCLE SPACE (GARAGE)  
0.6M x 1.8M

2'-0" high retaining wall



NO.	DATE	REVISIONS
	JUL. 19, 2016	GENERAL REVISIONS
	MAR. 03, 2016	ISSUED FOR DDP
	DEC. 04, 2015	ISSUED FOR ADP
	AUG. 14, 2015	ISSUED FOR D.P. APPL.
	FEB. 25, 2015	GENERAL REVISIONS
	JUL. 02, 2013	GENERAL REVISIONS
	AUG. 30, 2012	LOT 2 REVISED
	MAY 8, 2012	ISSUED FOR DETAILING

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PROJECT  
TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, vancouver, bc  
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE

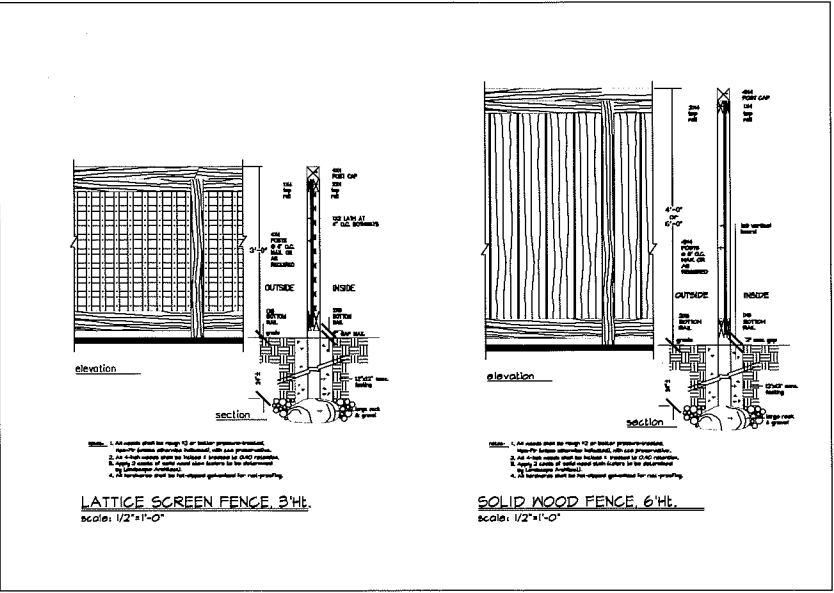
PARKING PLAN  
(SOUTH AREA)

SOUTH LOT

SCALE	1/16" = 1'-0"	SHEET NO.	2.1
DATE	FEBRUARY 22, 2016		
DRAWN	CW		RZ
CHECKED		PROJ. NO.	1019A

Plan 5 Sept 21, 2016  
DP 15-708644





**NOTE:**

1. All plant materials shall meet or exceed BCSLA/BCLNA Standard.
2. All grass areas shall be sodded unless otherwise indicated.
3. "Hyb. TBD" denotes hybrids to be determined at the nursery during plant material inspection.
4. For all other requirements, see Landscape Specifications & Details on B5"x11" sheets.  
(Spec. is to be included for tendering & construction use.)

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FRED LIU & ASSOCIATES, INC.  
BCSLA CSLA ASLA  
2080 Scarborough Avenue Vancouver BC V5P 2L3  
FAX: 321-9150 TEL: (604) 321-7541

NO.	DATE	REVISIONS
CONSULTANT		

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**PROJECT**

## TOWNHOUSE DEVELOPMENT

5320 to 5380 Granville Ave  
7260 Lynnwood Drive, Richn

Yamamoto  
Architecture Inc.

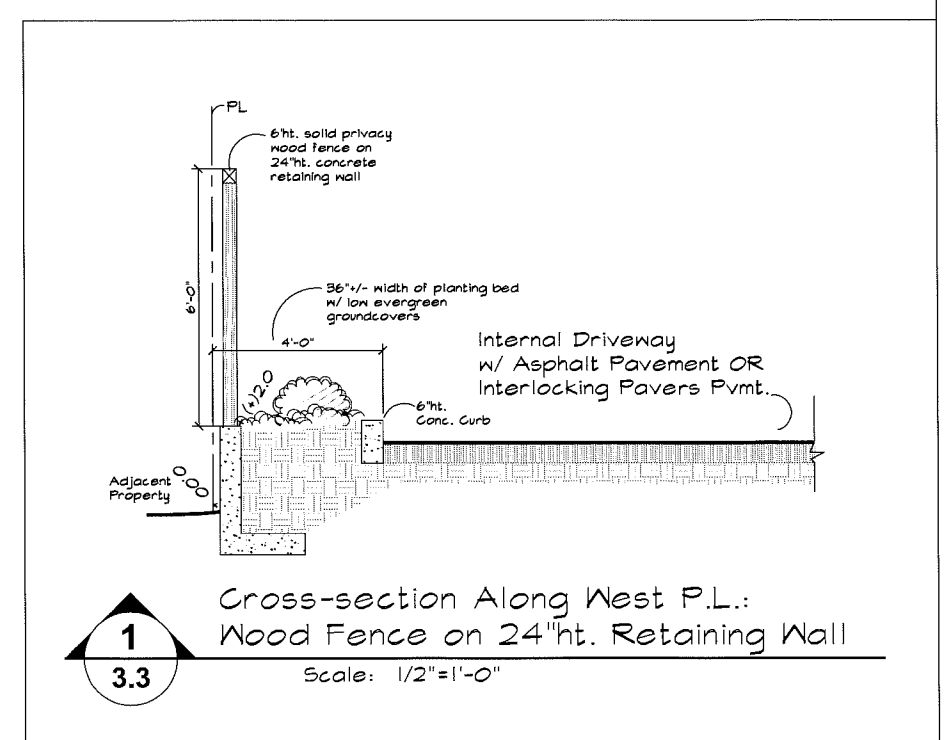
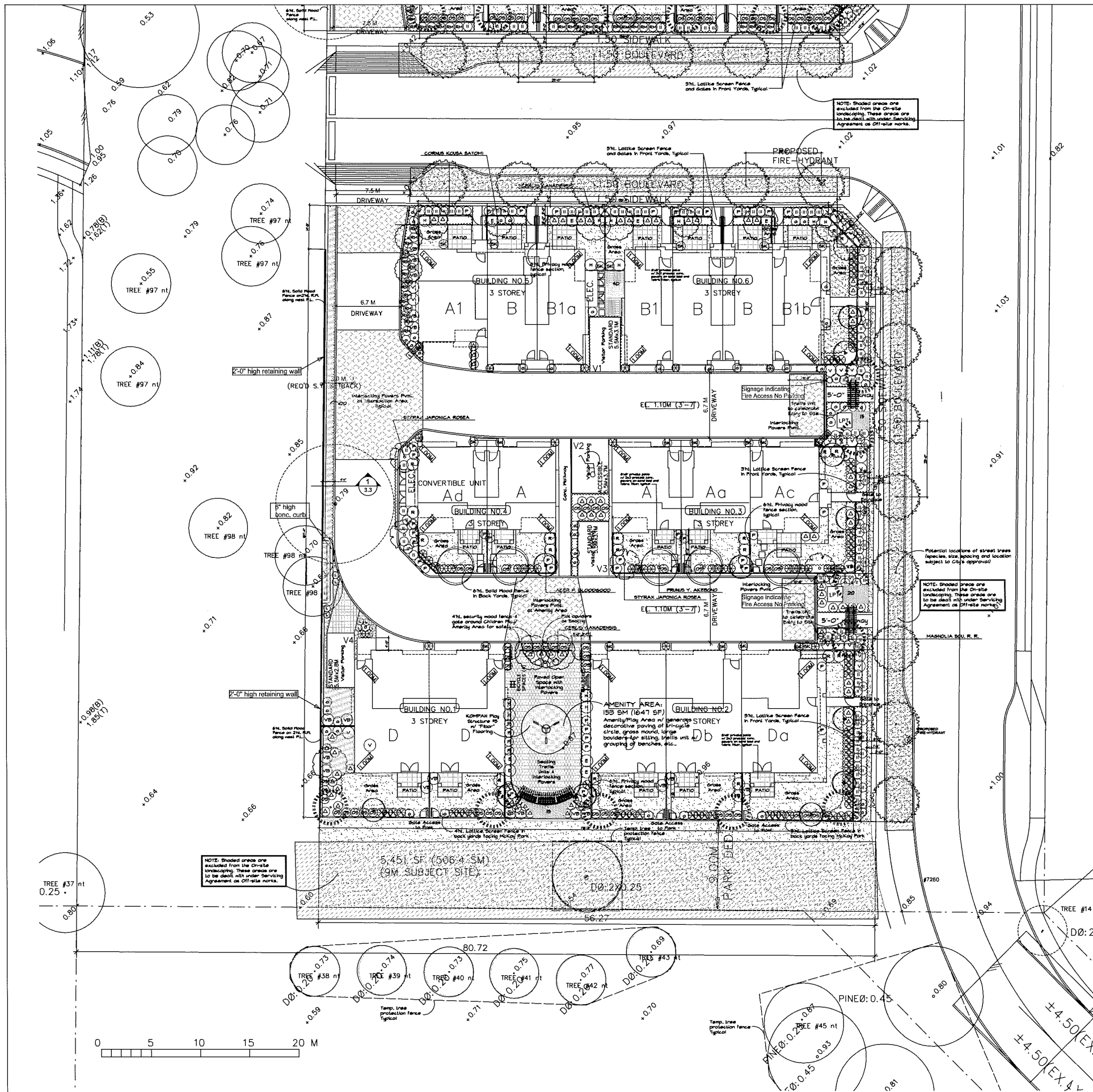
#202 • 33 East 8th Avenue, Vancouver, B.C. V5T 1R6  
Tel: 604-731-1127 Fax: 604-731-1327

LANDSCAPE SITE PLAN  
- KEY PLAN & DETAILS

SCALE 1/32" = 1' - 0"	SHEET NO.  <b>3.1</b>  OF 3
DATE October 2010	
DRAWN M.S.	
CHECKED FML	PROJ. NO. 101028.YAM

Plan 6      Sept 21, 2016  
DP 15-708644





NO.	DATE	REVISIONS
1	2016-07-20	Overall minor adjustments as per architect's input.
2	2016-04-28	Minor revision, added play structures.
3	2016-05-05	Revised as per ADP comments.
4	2016-12-17	Updated for ADP Review and submission.
5	2016-12-04	Overall planting, patio and driveway adjustments, Amenity Area upgrading as per Architect's new site plan Plant List.
6	2016-08-18	Overall planting, patio and driveway adjustments as per Architect's new site plan.
7	2016-02-25	Revision of Plant Dedication, road easement and all other info from client, retained existing trees to remain as is in relation to the West.



Kompan #5 Play Structure

Yamamoto  
Architecture Inc.

#202 - 33 East 8th Avenue, Vancouver, B.C. V5T 1R5  
Tel: 604-731-1127 Fax: 604-731-1327

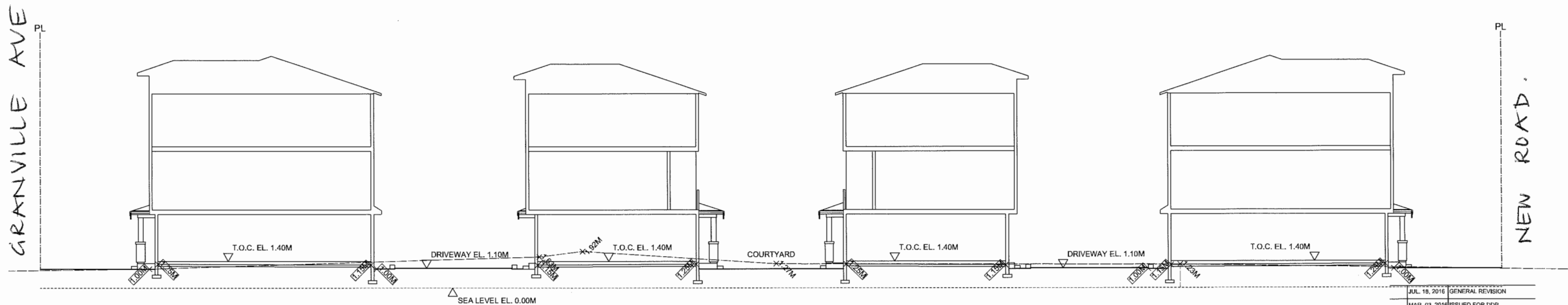
DRAWING TITLE  
LANDSCAPE SITE /  
PLANTING PLAN - South

SOUTH LOT

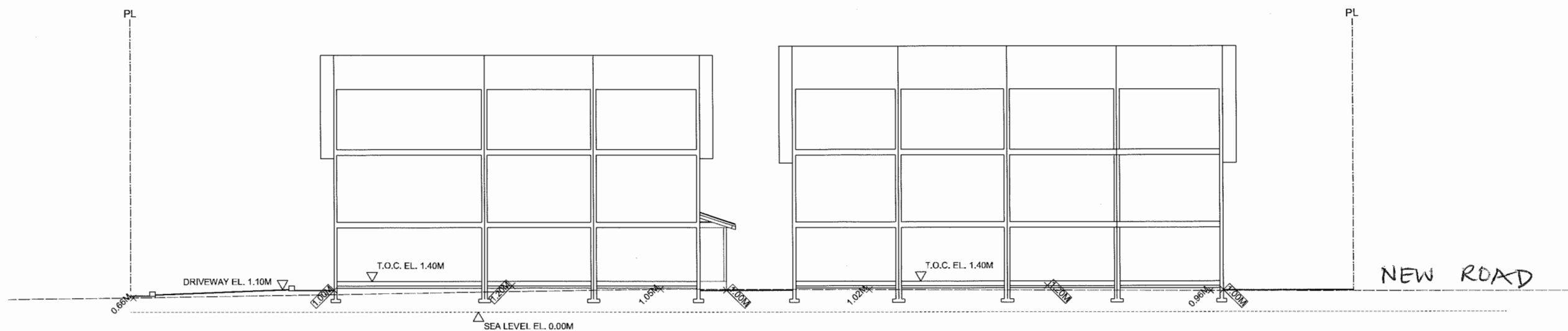
SCALE 1/16" = 1'-0"	SHEET NO. <b>3.3</b>
DATE October 2016	OF 3
DRAWN MS	PROJ. NO. 101028.YAM
CHECKED FML	

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BCSLA CSLA ASLA  
2080 Scarboro Avenue Vancouver BC V3P 2L3  
FAX: 327-9150 TEL: (604) 327-7541

Plan 8 Sept 21, 2016  
DP 15-708644



**SITE SECTION - A**  
SCALE: 1/8"=1'-0"



**SITE SECTION - B**  
SCALE: 1/8"=1'-0"

JUL. 15, 2016	GENERAL REVISION	
MAR. 03, 2016	ISSUED FOR DDP	
DEC. 04, 2015	ISSUED FOR ADP	
AUG. 14, 2015	ISSUED FOR D.P. APPL	
FEB. 25, 2015	GENERAL REVISIONS	
JUL. 02, 2013	GENERAL REVISIONS	
AUG. 30, 2012	LOT 2 REVISED	
MAY 8, 2012	ISSUED FOR REFINING ADP	
NO.	DATE	REVISIONS
CONSIDER TANT		

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PROJECT

TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
7260 LYNNWOOD DRIVE, RICHM

Yamamoto  
Architecture Inc.

#202-33 east 8th avenue, vancouver, bc.  
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE

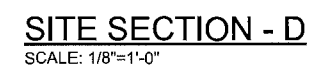
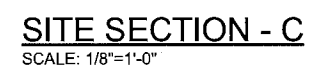
SITE SECTIONS

NORTH LOT

SCALE	1/8" = 1'-0"	SHEET NO.	1.3
DATE	APRIL 28, 2016		
DRAWN	TY		
CHECKED		PROJ. NO.	1010A

Plan 9 Sept 21, 2016  
DP 15-708644





SCALE 1/8" = 1'-0"	SHEET NO.  1.4
DATE APRIL 28, 2016	
DRAWN TY	
CHECKED	PROJ. NO. 1010A

Plan 10    Sept 21, 2016  
 DP 15-708644

PL

12.0M (39'-4 1/2") MAX. BUILDING HEIGHT  
10.95M (35'-7 1/2") PROP. BUILDING HEIGHT



UNIT-A1

UNIT-B

UNIT-B1

BUILDING NO.7

BOARD & BATTEN  
- PAINTED (TYP.)



UNIT-B1

UNIT-B

UNIT-B

UNIT-B1

BUILDING NO.8

ASPHALT ROOF SHINGLES (TYP.)

5" ALUM. GUTTER ON  
2x6" WOOD FASCIA - PAINTED (TYP.)

DOUBLE GLAZED  
VINYL FRAMED WINDOW W/  
WINDOW TRIM AROUND - PAINTED (TYP.)

HARDIPANEL BD. - PAINTED (TYP.)

HARDIPANEL SIDING (4" EXPOSURE)  
- PAINTED (TYP., 2ND FLOOR)

HARDIPANEL SIDING  
(6" EXPOSURE)  
- PAINTED (TYP.)

DOUBLE GLAZED  
VINYL FRAMED WINDOW

STONE VENEER

PL

SOUTH ELEVATION - NEW ROAD

PL

12.0M (39'-4 1/2") MAX. BUILDING HEIGHT  
10.95M (35'-11 1/2") PROP. BUILDING HEIGHT



UNIT-B1

BUILDING NO.8



UNIT-A2

BUILDING NO.9



UNIT-A2

BUILDING NO.11



UNIT-B1

BUILDING NO.12

EAST ELEVATION - NEW ROAD

PL

JUL. 18, 2016	GENERAL REVISION	
MAR. 03, 2016	ISSUED FOR DDP	
DEC. 04, 2015	ISSUED FOR ADP	
AUG. 14, 2015	ISSUED FOR D.F. APPL.	
FEB. 25, 2015	GENERAL REVISIONS	
JUL. 02, 2013	GENERAL REVISIONS	
AUG. 30, 2012	LOT 2 REVISED	
MAY 8, 2012	ISSUED FOR REZONING APPL	
NO.	DATE	REVISION:
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PROJECT  
TOWNHOUSE DEVELOPM

5320, 5340, 5360/5380 GRANV  
7260 LYNNWOOD DRIVE, R/C

Yamamoto  
Architecture Inc.

#102 - 33 east 8th avenue, Vancouver, bc.  
V6T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE

ELEVATIONS

STREET SCAPE

SCALE 1/8" = 1'-0"

DATE APRIL 28, 2016

DRAWN TY

CHECKED

SHEET NO.

4.0

PROJ. NO. 1010A

Plan 11 Sept 21, 2016  
DP 15-708644

PL

12.0M (39'-4 1/2") MAX. BUILDING HEIGHT  
10.95M (35'-11 1/2") PROP. BUILDING HEIGHT



UNIT-B1

UNIT-B

UNIT-B

UNIT-B1

BUILDING NO.12



UNIT-B1

UNIT-B

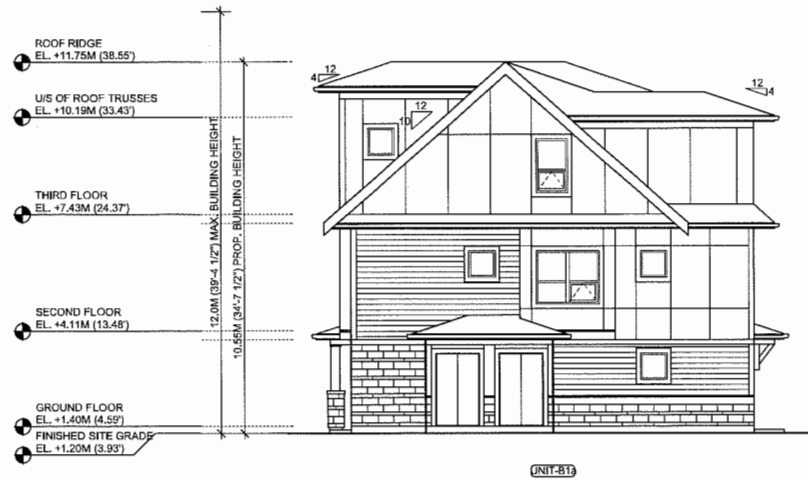
UNIT-B

UNIT-B

UNIT-C

BUILDING NO.13

NORTH ELEVATION - GRANVILLE AVENUE



BUILDING NO.7  
EAST ELEVATION



BUILDING NO.7  
NORTH ELEVATION



BUILDING NO.7  
WEST ELEVATION



BUILDING NO.8  
WEST ELEVATION



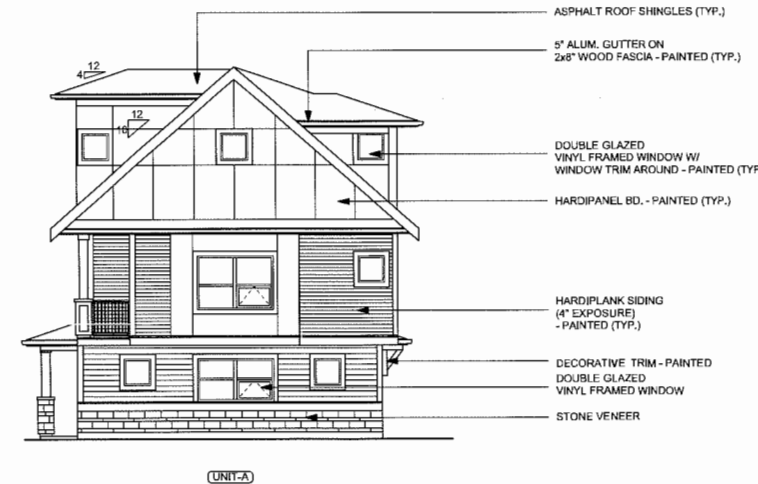
BUILDING NO.8  
NORTH ELEVATION



BUILDING NO.8  
SOUTH ELEVATION



BUILDING NO.9  
NORTH ELEVATION



BUILDING NO.9  
WEST ELEVATION

JUL. 18, 2016	GENERAL REVISION	
MAR. 03, 2016	ISSUED FOR DDP	
DEC. 04, 2015	ISSUED FOR ADP	
AUG. 14, 2015	ISSUED FOR D.P. APPL.	
FEB. 25, 2015	GENERAL REVISIONS	
JUL. 02, 2013	GENERAL REVISIONS	
AUG. 30, 2012	LOT 2 REVISED	
MAY 8, 2012	ISSUED FOR REZONING APPL.	
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
TOWNHOUSE DEVELOPMENT

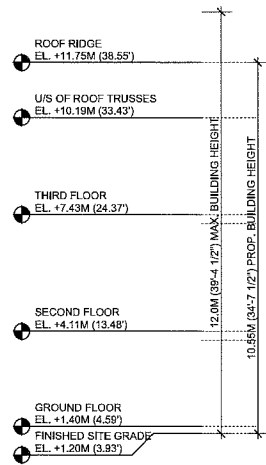
5320, 5340, 5360/5380 GRANVILLE  
7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, Vancouver, BC.  
V5T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE	ELEVATIONS	N LOT
BUDA 789		
SCALE	1/8" = 1'-0"	SHEET NO.
DATE	APRIL 28, 2016	5.0
DRAWN	TY	
CHECKED		PROJ. NO. 1016A

Plan 12 Sept 21, 2016  
DP 15-708644



UNIT-A2  
BUILDING NO.10  
WEST ELEVATION



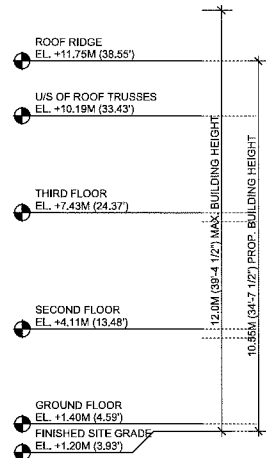
UNIT-A2  
BUILDING NO.10  
SOUTH ELEVATION



UNIT-A  
BUILDING NO.10  
EAST ELEVATION



UNIT-A2  
BUILDING NO.10  
NORTH ELEVATION



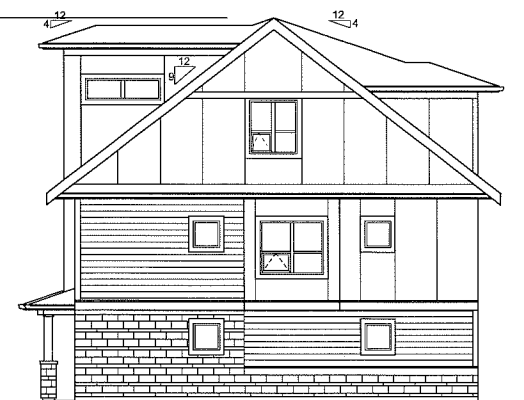
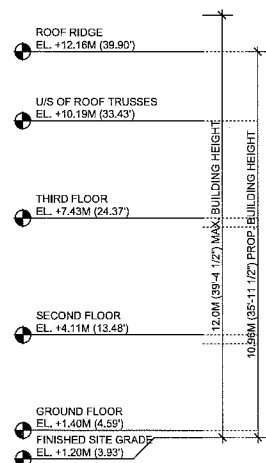
UNIT-A2  
BUILDING NO.11  
NORTH ELEVATION



UNIT-A  
BUILDING NO.11  
WEST ELEVATION



UNIT-A2  
BUILDING NO.11  
SOUTH ELEVATION



UNIT-B1  
BUILDING NO.12  
WEST ELEVATION



UNIT-B1  
BUILDING NO.12  
SOUTH ELEVATION

- ASPHALT ROOF SHINGLES (TYP.)
- 5" ALUM. GUTTER ON 2x8" WOOD FASCIA - PAINTED (TYP.)
- DOUBLE GLAZED VINYL FRAMED WINDOW W/ WINDOW TRIM AROUND - PAINTED (TYP.)
- HARDIPANEL BD. - PAINTED (TYP.)
- HARDIPANEL SIDING (6" EXPOSURE) - PAINTED (TYP.)
- HARDIPANEL SIDING (8" EXPOSURE) - PAINTED (TYP.)
- METAL CLAD OVERHEAD DR. W/ GLAZED PANELS - PRE-FINISHED (TYP.)
- DECORATIVE DOOR TRIM - PAINTED
- METAL CLAD DOOR - PAINTED

NO.	DATE	REVISIONS
	JUL. 18, 2016	GENERAL REVISION
	MAR. 03, 2016	ISSUED FOR DDP
	DEC. 04, 2015	ISSUED FOR ADP
	AUG. 14, 2015	ISSUED FOR D.P. APPL.
	FEB. 25, 2015	GENERAL REVISIONS
	JUL. 02, 2013	GENERAL REVISIONS
	AUG. 30, 2012	LOT 2 REVISED
	MAY 8, 2012	ISSUED FOR REZONING APPL.

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PROJECT

TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE /  
7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, vancouver, bc.  
V6T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE

ELEVATIONS

Bldg 10 11 12

SCALE

1/8" = 1'-0"

DATE

APRIL 28, 2016

DRAWN

TY

CHECKED

SHEET NO.

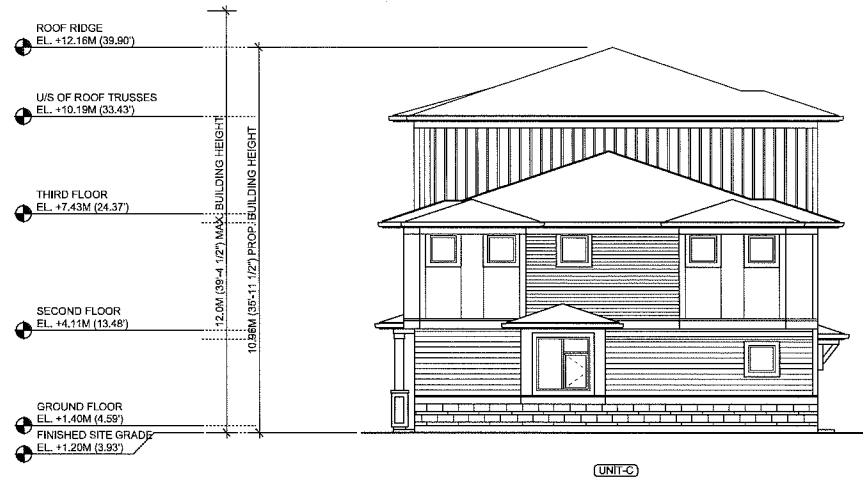
6.0

PROJ. NO.

1016A

Plan 13 Sept 21, 2016  
DP 15-708644





UNIT-C  
BUILDING NO.13  
WEST ELEVATION



UNIT-C UNIT-B UNIT-B UNIT-B UNIT-B13  
BUILDING NO.13  
SOUTH ELEVATION



UNIT-B13  
BUILDING NO.13  
EAST ELEVATION

NO.	DATE	REVISIONS
	JUL. 18, 2016	GENERAL REVISION
	MAR. 03, 2016	ISSUED FOR DDP
	DEC. 04, 2015	ISSUED FOR ADP
	AUG. 14, 2015	ISSUED FOR D.P. APPL.
	FEB. 25, 2015	GENERAL REVISIONS
	JUL. 02, 2013	GENERAL REVISIONS
	AUG. 30, 2012	LOT 2 REVISED
	MAY 8, 2012	ISSUED FOR REZONING APPL.

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PROJECT

TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, Vancouver, BC  
V6T 1R5 Tel: 604-731-1127 Fax: 604-731-1327

DRAWING TITLE

ELEVATIONS

BLDG 13

SCALE 1/8" = 1'-0"

DATE APRIL 28, 2016

DRAWN TY

CHECKED

SHEET NO.

7.0

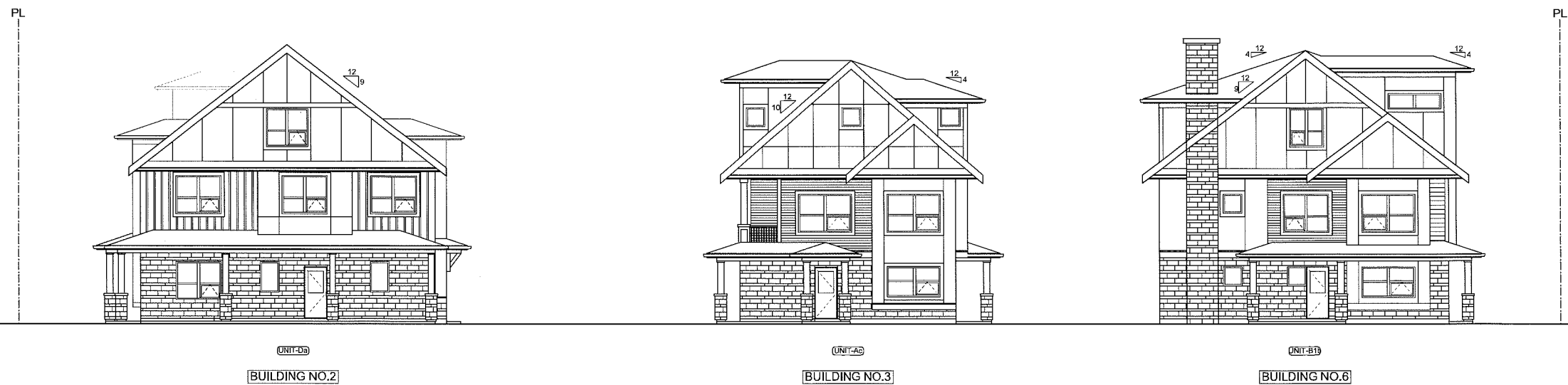
PROJ. NO.

1010A

Plan 14 Sept 21, 2016  
DP 15-708644



**NORTH ELEVATION - NEW ROAD**



**EAST ELEVATION - NEW ROAD**



**SOUTH ELEVATION - MCKAY PARK - SOUTH ELEVATION**

NO.	DATE	REVISIONS
	JUL. 19, 2016	GENERAL REVISION
	MAR. 03, 2016	ISSUED FOR DDP
	DEC. 04, 2015	ISSUED FOR ADP
	AUG. 14, 2015	ISSUED FOR D.P. APPL.
	FEB. 25, 2015	GENERAL REVISIONS
	JUL. 02, 2013	GENERAL REVISIONS
	AUG. 30, 2012	LOT 2 REVISED
	MAY 8, 2012	ISSUED FOR REZONING APPL.

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PROJECT

TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILL  
7280 LYNNWOOD DRIVE, RICHMOND

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Architecture Inc.

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DRAWING TITLE

ELEVATIONS

STREET SCAPE

SCALE	SHEET NO.
1/8" = 1'-0"	8.0
DATE	PROJ. NO.
APRIL 25, 2016	1010A
DRAWN	CHECKED
TY	

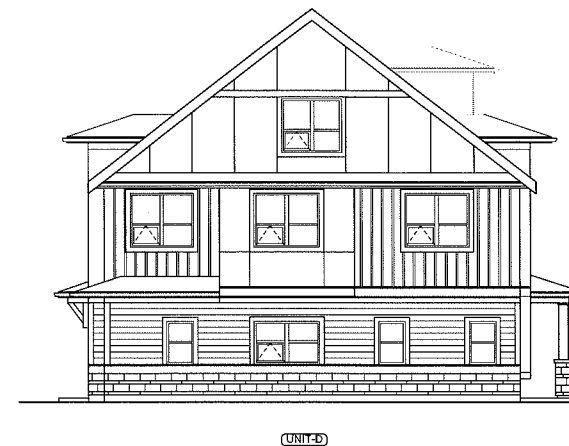
Plan 15 Sept 21, 2016  
DP 15-708644



(UNIT-D)  
BUILDING NO.1  
EAST ELEVATION



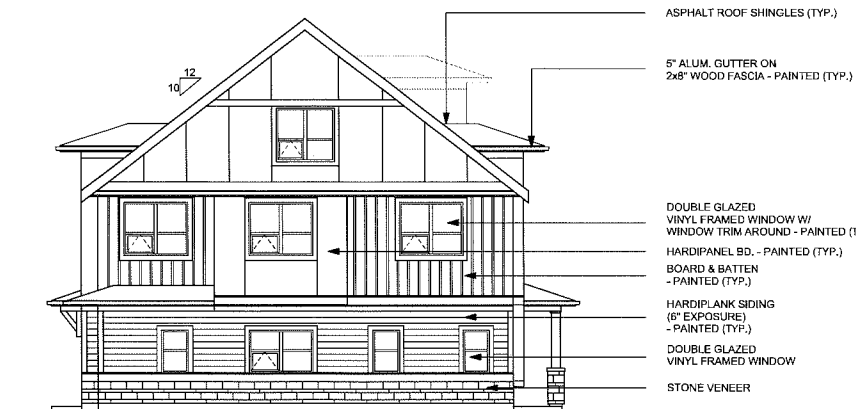
(UNIT-D) (UNIT-D)  
BUILDING NO.1  
NORTH ELEVATION



(UNIT-D)  
BUILDING NO.1  
WEST ELEVATION



(UNIT-D) (UNIT-D) (UNIT-D)  
BUILDING NO.2  
NORTH ELEVATION



(UNIT-D)  
BUILDING NO.2  
WEST ELEVATION

ASPHALT ROOF SHINGLES (TYP.)  
5\" ALUM. GUTTER ON  
2x6\" WOOD FASCIA - PAINTED (TYP.)

DOUBLE GLAZED  
VINYL FRAMED WINDOW W/  
WINDOW TRIM AROUND - PAINTED (TYP.)  
HARDIPANEL BD. - PAINTED (TYP.)  
BOARD & BATTEN  
- PAINTED (TYP.)  
HARDIPLANK SIDING  
(6\" EXPOSURE)  
- PAINTED (TYP.)  
DOUBLE GLAZED  
VINYL FRAMED WINDOW  
STONE VENEER



(UNIT-A) (UNIT-A) (UNIT-A)  
BUILDING NO.3  
NORTH ELEVATION



(UNIT-A)  
BUILDING NO.3  
WEST ELEVATION



(UNIT-A) (UNIT-A) (UNIT-A)  
BUILDING NO.3  
SOUTH ELEVATION

NO.	DATE	REVISIONS
	JUL. 18, 2016	GENERAL REVISION
	MAR. 03, 2016	ISSUED FOR DDP
	DEC. 04, 2015	ISSUED FOR ADP
	AUG. 14, 2015	ISSUED FOR D.P. APPL.
	FEB. 25, 2015	GENERAL REVISIONS
	JUL. 02, 2013	GENERAL REVISIONS
	AUG. 30, 2012	LOT 2 REVISED
	MAY 8, 2012	ISSUED FOR REZONING APPL.

CONSULTANT  
PROJECT  
TOWNHOUSE DEVELOPMENT

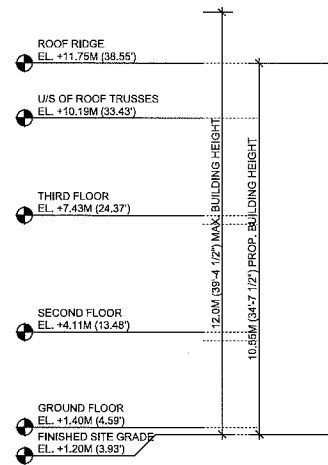
5340, 5340, 5350/5380 GRANVILLI  
7260 LYNNWOOD DRIVE, RICHMC

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, vancouver, bc.  
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE	ELEVATIONS	S LOT
DRAWN	TY	
CHECKED		
SCALE	1/8\" = 1'-0\"	SHEET NO.
DATE	APRIL 28, 2016	9.0
PROJ. NO.	1010A	

Plan 16 Sept 21, 2016  
DP 15-708644



(UNIT-A0)  
[BUILDING NO.4]  
**WEST ELEVATION**



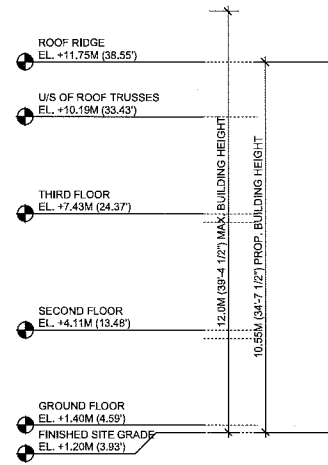
(UNIT-A0) (UNIT-A)  
[BUILDING NO.4]  
**SOUTH ELEVATION**



(UNIT-A)  
[BUILDING NO.4]  
**EAST ELEVATION**



(UNIT-A) (UNIT-A0)  
[BUILDING NO.4]  
**NORTH ELEVATION**



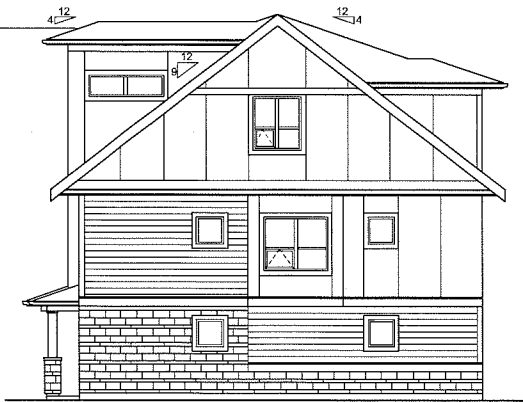
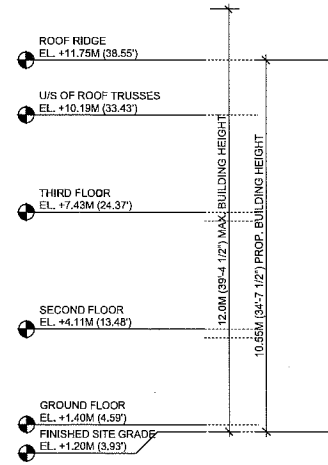
(UNIT-A1)  
[BUILDING NO.5]  
**WEST ELEVATION**



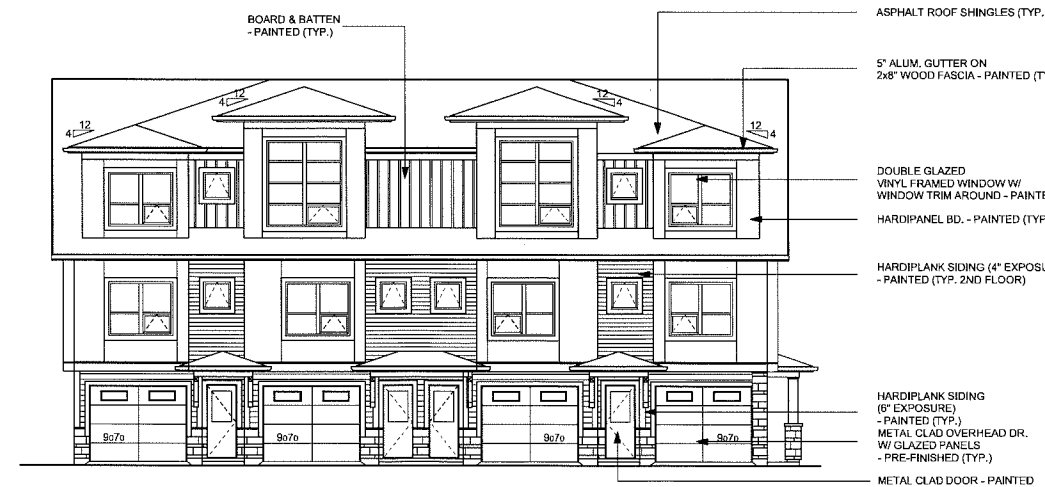
(UNIT-A1) (UNIT-B) (UNIT-B1)  
[BUILDING NO.5]  
**SOUTH ELEVATION**



(UNIT-B1)  
[BUILDING NO.5]  
**EAST ELEVATION**



(UNIT-B1)  
[BUILDING NO.6]  
**WEST ELEVATION**



(UNIT-B1) (UNIT-B) (UNIT-B) (UNIT-B1)  
[BUILDING NO.6]  
**SOUTH ELEVATION**

JUL. 18, 2016	GENERAL REVISION	
MAR. 03, 2016	ISSUED FOR DDP	
DEC. 04, 2015	ISSUED FOR ADP	
AUG. 14, 2015	ISSUED FOR D.P. APPL.	
FEB. 25, 2015	GENERAL REVISIONS	
JUL. 02, 2013	GENERAL REVISIONS	
AUG. 30, 2012	LOT 2 REVISED	
MAY 8, 2012	ISSUED FOR	
NO.	DATE	REVISIONS
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PROJECT  
TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, vancouver, bc.  
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

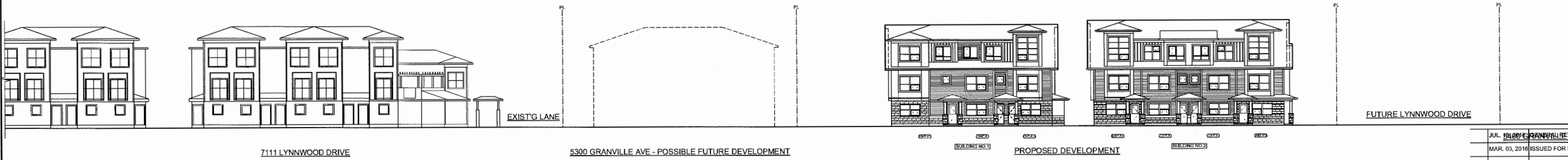
DRAWING TITLE	S LOT
ELEVATIONS	BLDA 456
SCALE	1/8" = 1'-0"
DATE	APRIL 28, 2016
DRAWN	TY
CHECKED	
SHEET NO.	10.0
PROJ. NO.	1010A

Plan 17 Sept 21, 2016  
DP 15-708644





GRANVILLE AVENUE STREETSCAPE



FUTURE NEW ROAD STREETSCAPE

JUL. 2012	GENERAL REVISION
MAR. 03, 2016	ISSUED FOR DDP
DEC. 04, 2015	ISSUED FOR ADP
AUG. 14, 2015	ISSUED FOR D.P. APPL.
FEB. 25, 2015	GENERAL REVISIONS
JUL. 02, 2013	GENERAL REVISIONS
AUG. 30, 2012	LOT 2 REVISED
MAY 8, 2012	ISSUED FOR RE-APPLYING APPL.

NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
 TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
 7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
 Architecture Inc.

#202 - 33 east 8th avenue, Vancouver, bc.  
 V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE  
 STREETSCAPE N LOT

SCALE 1/16" = 1'-0"	SHEET NO. 1.2
DATE APRIL 28, 2016	RZ
DRAWN TY	PROJ. NO. 1016A
CHECKED	

Reference Plan Sept 21, 2016  
 DP 15-708644

TYPICAL CORNER MASSING



	SEPT 20, 2016	ISSUED FOR GENERAL UPDATE
	MAR 3, 2016	ISSUED FOR DDP
	DEC 4, 2015	ISSUED FOR AI
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
7200 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

4302 - 23 East 8th Avenue, Vancouver, BC  
V6T 1R8 Tel: 604-731-1127 Fax: 604-731-1327

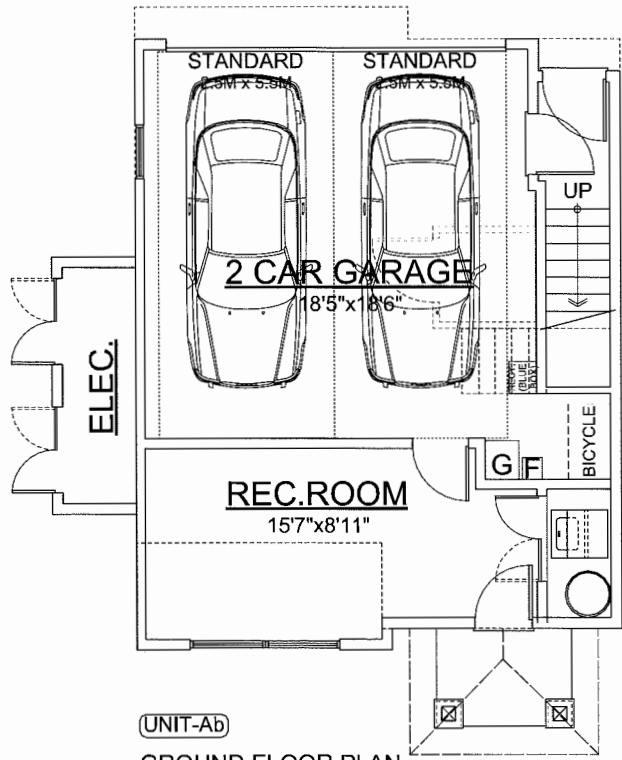
DRAWING TITLE  
PERSPECTIVE VIEWS N LOT

BLDG 12

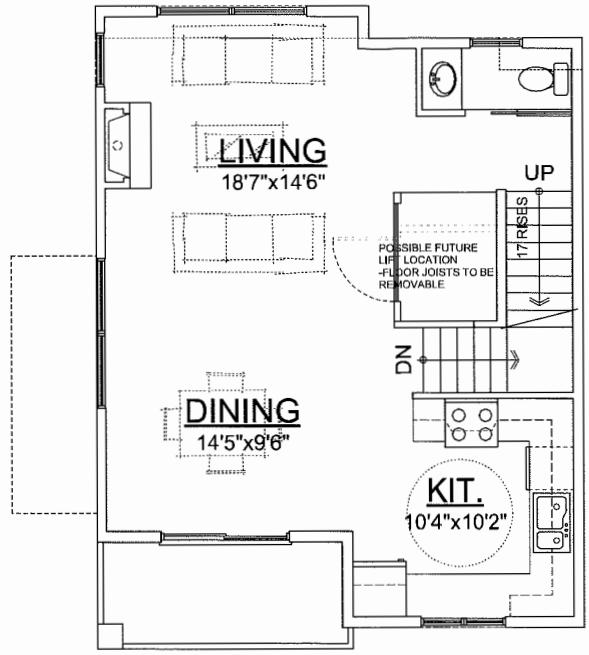
SCALE	N.T.S.	SHEET NO.
DATE	FEBRUARY 22, 2016	A-3D
DRAWN	CW	RZ
CHECKED		PROJ. NO. 1010A

Reference Plan Sept 21, 2016  
DP 15-708644

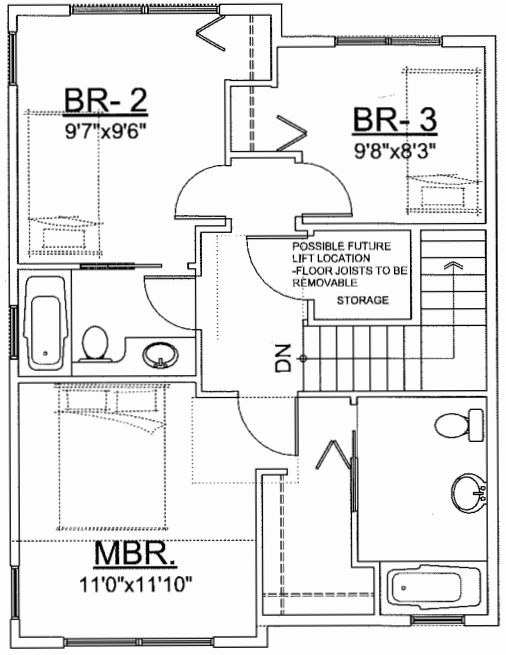
BEFORE:



UNIT-Ab  
GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
CEIL. HT.: 8'-0"



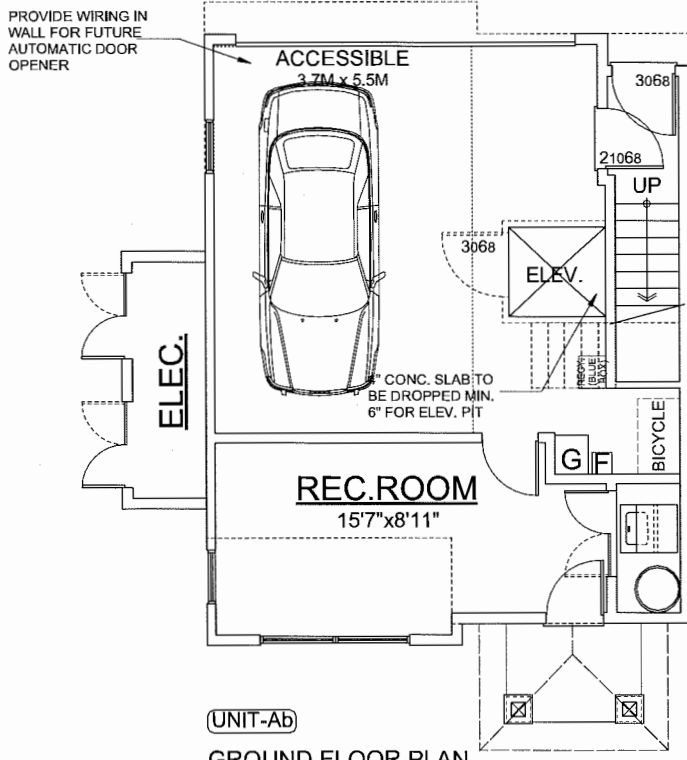
UNIT-Ab  
SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
CEIL. HT.: 9'-0"



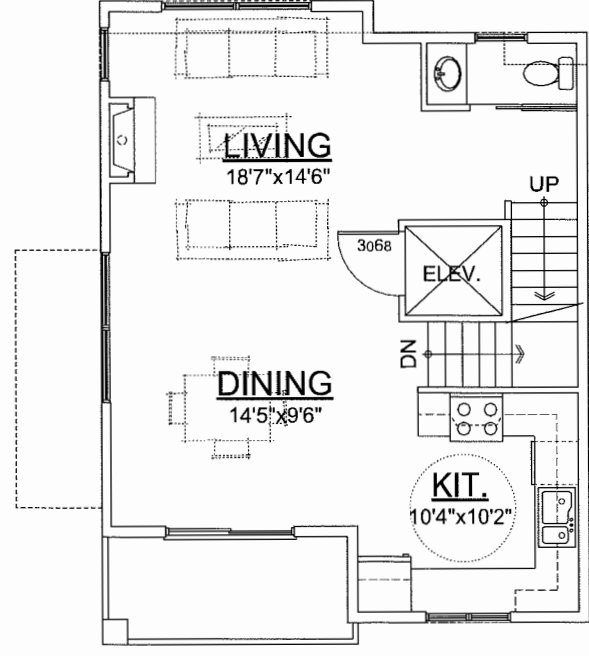
UNIT-Ab  
THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
CEIL. HT.: 9'-0"

AGING IN PLACE FEATURES  
(TO BE PROVIDED IN ALL UNITS):  
- SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION  
- LEVER-TYPE HANDLES FOR PLUMBING AND DOOR HANDLES

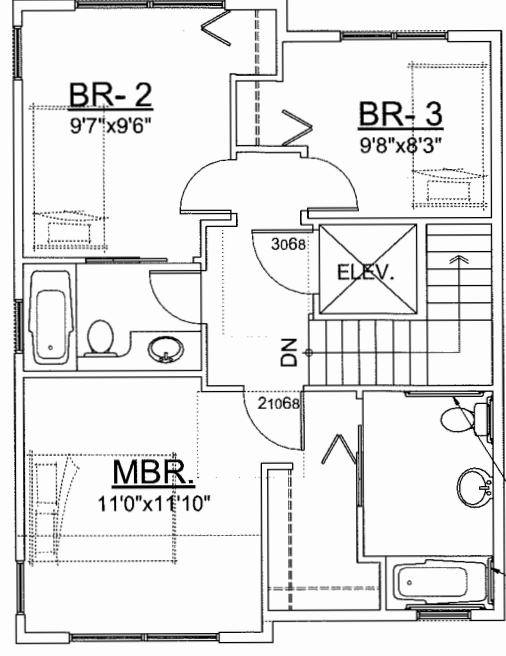
AFTER:



UNIT-Ab  
GROUND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
CEIL. HT.: 8'-0"  
CONVERTIBLE UNIT PLAN



UNIT-Ab  
SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
CEIL. HT.: 9'-0"



UNIT-Ab  
THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
CEIL. HT.: 9'-0"

SOLID WOOD BLOCKING  
TO BE INSTALLED FOR  
GRAB BARS IN ALL  
BATHROOMS (INCL. ALL UNITS)  
& LEVER HANDLES TO BE USED  
FOR ALL DOORS & FIXTURES

JUL. 18, 2016	GENERAL REVISION	
MAR. 03, 2016	ISSUED FOR DDP	
DEC. 04, 2015	ISSUED FOR ADP	
AUG. 14, 2015	ISSUED FOR D.P. APPL.	
FEB. 25, 2015	GENERAL REVISIONS	
JUL. 02, 2013	GENERAL REVISIONS	
AUG. 30, 2012	LOT 2 REVISED	
MAY 8, 2012	ISSUED FOR R	
NO.	DATE	REVISIONS
CONSULTANT		

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PROJECT  
TOWNHOUSE DEVELOPMENT

5320, 5340, 5360/5380 GRANVILLE  
7260 LYNNWOOD DRIVE, RICHMOND

Yamamoto  
Architecture Inc.

#202 - 33 east 8th avenue, vancouver, bc  
V5T 1R5 tel: 604-731-1127 fax: 604-731-1327

DRAWING TITLE  
FLOOR PLANS N LOT

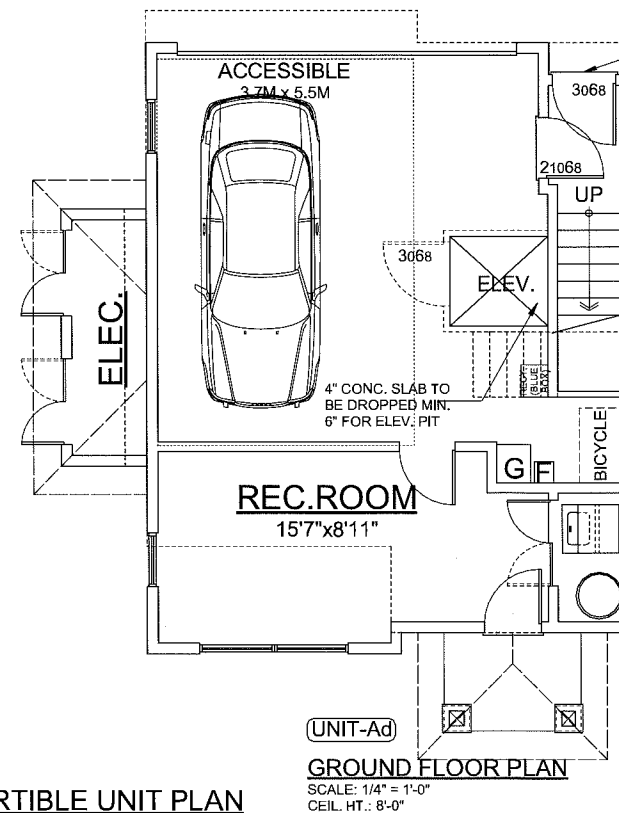
CONVERTIBLE

SCALE	1/8" = 1'-0"	SHEET NO.	15.0
DATE	APRIL 28, 2016	DRAWN	TY
CHECKED		PROJ. NO.	1019A

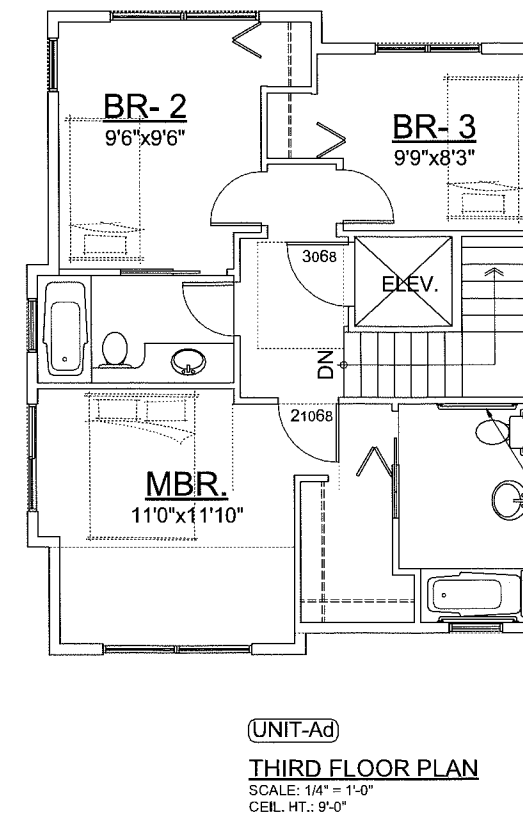
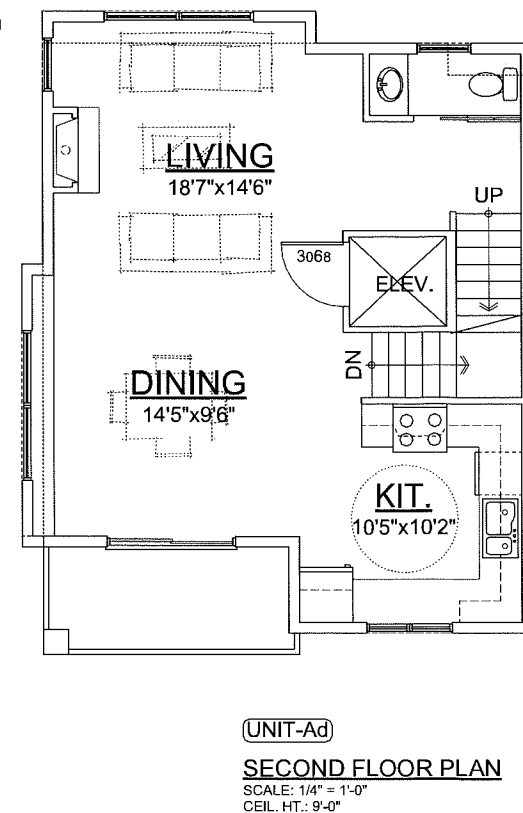
Reference Plan Sept 21, 2016  
DP 15-708644



AFTER:



### CONVERTIBLE UNIT PLAN



SOLID WOOD BLOCKING  
TO BE INSTALLED FOR  
GRAB BARS IN ALL  
BATHROOMS (INCL. ALL UNITS)  
& LEVER HANDLES TO BE USED  
FOR ALL DOORS & FIXTURES

SCALE 1/8" = 1'-0"	SHEET NO.  <b>19.0</b>
DATE APRIL 28, 2016	
DRAWN TY	
CHECKED	PROJ. NO. 1010A

Reference Plan Sept 21, 2016  
IDP 15-708644



Karry Davie  
17-7100 Lynnwood Drive  
Richmond, BC, V7C 5S8

City of Richmond  
Director, City Clerk's Office  
6911 No 3 Road  
Richmond, BC  
V6Y 2C1

Regarding DP-15-708644

Upon review the proposal I would like to request that a portion of the area in discuss remain green space, possible the west side of address 5320. As currently children walk along a path to the school. It would be nice to see this as a similar green walk way as the one that is south of McCallum road from Westminster Hwy to Granville, that is again used the majority of the time for students. The development of the pathway was increase the amount of Richmond Citizen getting outdoors.

Thank you for review my submission request.

Sincerely

Karry Davie

<b>To Development Permit Panel</b>
Date: <u>OCTOBER 12, 2016</u>
Item # <u>3</u>
Re: <u>7620 LYNNWOOD DRIVE AND</u> <u>5320, 5340, AND 5360</u> <u>GRANVILLE AVENUE</u>

