



**Development Permit Panel
Electronic Meeting**

**Council Chambers, City Hall
6911 No. 3 Road**

**Wednesday, January 17, 2024
3:30 p.m.**

MINUTES

*Motion to adopt the **minutes** of the Development Permit Panel meeting held on December 13, 2023.*



1. DEVELOPMENT PERMIT 20-919145
(REDMS No. 7317348)

APPLICANT: Jonathan King

PROPERTY LOCATION: 4571, 4591 and 4611/4631 Steveston Highway

Director's Recommendations

That a Development Permit be issued which would:

- 1. permit the construction of 16 townhouse units at 4571, 4591 and 4611/4631 Steveston Highway on a site zoned "Low Density Townhouses (RTL4)"; and*
- 2. vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback along Steveston Highway from 6.0 m to 4.50 m.*



ITEM

2. **DEVELOPMENT PERMIT 21-943418**

(REDMS No. 7451673)

APPLICANT: Karla Castellanos Architect

PROPERTY LOCATION: 13888 Wireless Way

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of a three-storey light industrial and ancillary office building on a new lot created through subdivision of the west portion (proposed Lot 1) of the subject site at 13888 Wireless Way, on a site zoned "Industrial Business Park (ZI3) – Crestwood Area (East Cambie)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - (a) *reduce the required number of parking spaces from 2.8 spaces to 0.75 spaces for each 100 m² of gross leasable floor area of building on Lot 1;*
 - (b) *reduce the minimum required number of large-sized on-site designated loading spaces on Lot 1 from 1 space to 0 spaces; and*
 - (c) *reduce the minimum percentage of standard parking spaces on Lot 2 from 50 per cent to 30 per cent.*



3. **DEVELOPMENT PERMIT 22-021165**

(REDMS No. 7501936)

APPLICANT: 0853803 BC Ltd. and 1121648 BC Ltd.

PROPERTY LOCATION: 6571 and 6591 No. 1 Road

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of eight townhouse units at 6571 and 6591 No. 1 Road on a site zoned "Low Density Townhouses (RTL4)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum required lot width on major arterial roads from 50.0 m to 40.2 m.*



Development Permit Panel – Wednesday, January 17, 2024

ITEM

4. New Business

5. Date of Next Meeting: January 31, 2024

ADJOURNMENT



**Development Permit Panel
Wednesday, December 13, 2023**

Time: 3:30 p.m.

Place: Remote (Zoom) Meeting

Present: Joe Erceg, General Manager, Planning and Development, Chair
Cecilia Achiam, General Manager, Community Safety
Peter Russell, Director, Sustainability and District Energy

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on November 29, 2023 be adopted.

CARRIED

**1. DEVELOPMENT PERMIT 23-025993
(REDMS No. 7412868)**

APPLICANT: Anthony Boni (Boni Maddison Architects)

PROPERTY LOCATION: 4831 Steveston Highway

INTENT OF PERMIT:

1. Permit the construction of a three-storey 25-unit affordable rental housing building at 4831 Steveston Highway on a site zoned “Low Rise Rental Apartment (ZLR48) – Steveston Highway (Steveston)”; and
2. Vary the provisions of Richmond Zoning Bylaw No 8500 to allow 37 per cent of the required vehicle parking spaces to be small car spaces.

Development Permit Panel

Wednesday, December 13, 2023

Applicant's Comments

Anthony Boni, Boni Maddison Architects, with the aid of a visual presentation (attached to and forming part of these minutes as Schedule 1), provided background information on the proposed development, highlighting the following:

- the proposed supportive housing project includes 25 affordable rental apartment units with 10 two-bedroom units and 15 studio units;
- the building's form and character is consistent with its intended use and residential neighbourhood context;
- the proposed building is sited and designed to provide an appropriate interface with the neighbouring townhouse development to the west and the Railway Greenway to the east and takes into consideration the existing Right-of-Way for the sanitary force main along the east edge of the subject site;
- the subject site grade will be raised above existing grade to comply with the City's Flood Construction Level requirement for the building; the southern portion of the site will require retaining walls to be installed along portions of the west property line and adjacent to the sanitary sewer Right-of-way along the east property line;
- semi-transparent fencing is proposed along the perimeter of the subject site and in order to provide screening to outdoor amenity areas;
- the project includes 14 Basic Universal Housing (BUH) units, two of which are fully accessible;
- common indoor and outdoor amenity areas are proposed to provide opportunities for covered and outdoor seating, relaxing, dining, urban agriculture gardening, and children's play, among others;
- vehicle access is located as far west as possible from the corner of Steveston Highway and Railway Avenue;
- the project includes indoor and outdoor bicycle parking; and
- office, programming amenity spaces will be provided to support the tenants that will be housed in the proposed building.

Kristin Defer, ETA Landscape Architecture, with the aid of the same visual presentation, briefed the Panel on the proposed landscaping for the project, noting that (i) the proposed common amenity spaces are distributed in different areas, (ii) the outdoor amenity deck is located adjacent to the indoor amenity space, (iii) a row of trees will be installed on the west side to provide privacy from neighbours, (iv) a flowering feature tree is proposed at the front of the building entrance, (v) flowering trees are also proposed at the south edge to provide a welcoming experience for people entering the subject site, and (vi) native and low-maintenance species are proposed for planting on-site.

Development Permit Panel

Wednesday, December 13, 2023

Panel Discussion

In reply to queries from the Panel, the applicant noted that (i) there is no retaining wall along the east property line of the development, (ii) the retaining wall along a portion of the west property line has a four-foot fence on top and the height of the retaining wall decreases downward to the south, and (iii) there are two existing trees along the east property line that will be relocated to the adjacent Railway Greenway to provide protection.

Staff Comments

Wayne Craig, Director, Development, noted that (i) the proposed variance associated with the project is a technical variance based on the overall number of required parking stalls provided, (ii) the project is required to provide, i.e. 11 parking stalls, which does not meet the Zoning Bylaw provision that allows small car parking stalls if more than 31 parking stalls are provided, (iii) the proposed variance will allow the project to provide the maximum number of parking stalls and is consistent with the approach of larger developments providing small car parking stalls, (iv) all parking stalls, including the visitor parking stalls, will be provided with Level 2 electric vehicle (EV) charging stations, (v) the building has been designed to achieve Level 4 of the BC Energy Step Code, and (vi) the Servicing Agreement associated with the project includes frontage works and site services.

In reply to a query from the Panel, Mr. Craig noted that the project's target for Energy Step Code Level 4 compliance exceeds the required energy efficiency for the proposed building.

Gallery Comments

None.

Correspondence

None.

Panel Discussion

The Panel expressed support for the project, noting that (i) the project is modest and functional, (ii) attention has been given to the project's interface with the neighbouring townhouse development to the west and the adjacent greenway to the east, and (iii) the project will provide additional housing needed in the City.

Development Permit Panel
Wednesday, December 13, 2023

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *permit the construction of a three-storey 25-unit affordable rental housing building at 4831 Steveston Highway on a site zoned “Low Rise Rental Apartment (ZLR48) – Steveston Highway (Steveston)”;* and
2. *vary the provisions of Richmond Zoning Bylaw No 8500 to allow 37 per cent of the required vehicle parking spaces to be small car spaces.*

CARRIED

2. New Business

None.

3. Date of Next Meeting: January 17, 2024

ADJOURNMENT

It was moved and seconded

That the meeting adjourn (3:58 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, December 13, 2023.

Joe Erceg
Chair

Rustico Agawin
Committee Clerk

Schedule 1 to the Minutes of the
Development Permit Panel
meeting held on Wednesday,
December 13, 2023



Community Garden
North of the site

On-site
Sanitary Force Main
Traversing Through
the Site

Maximize setback to
adjacent buildings

Right of Way for
Sanitary line

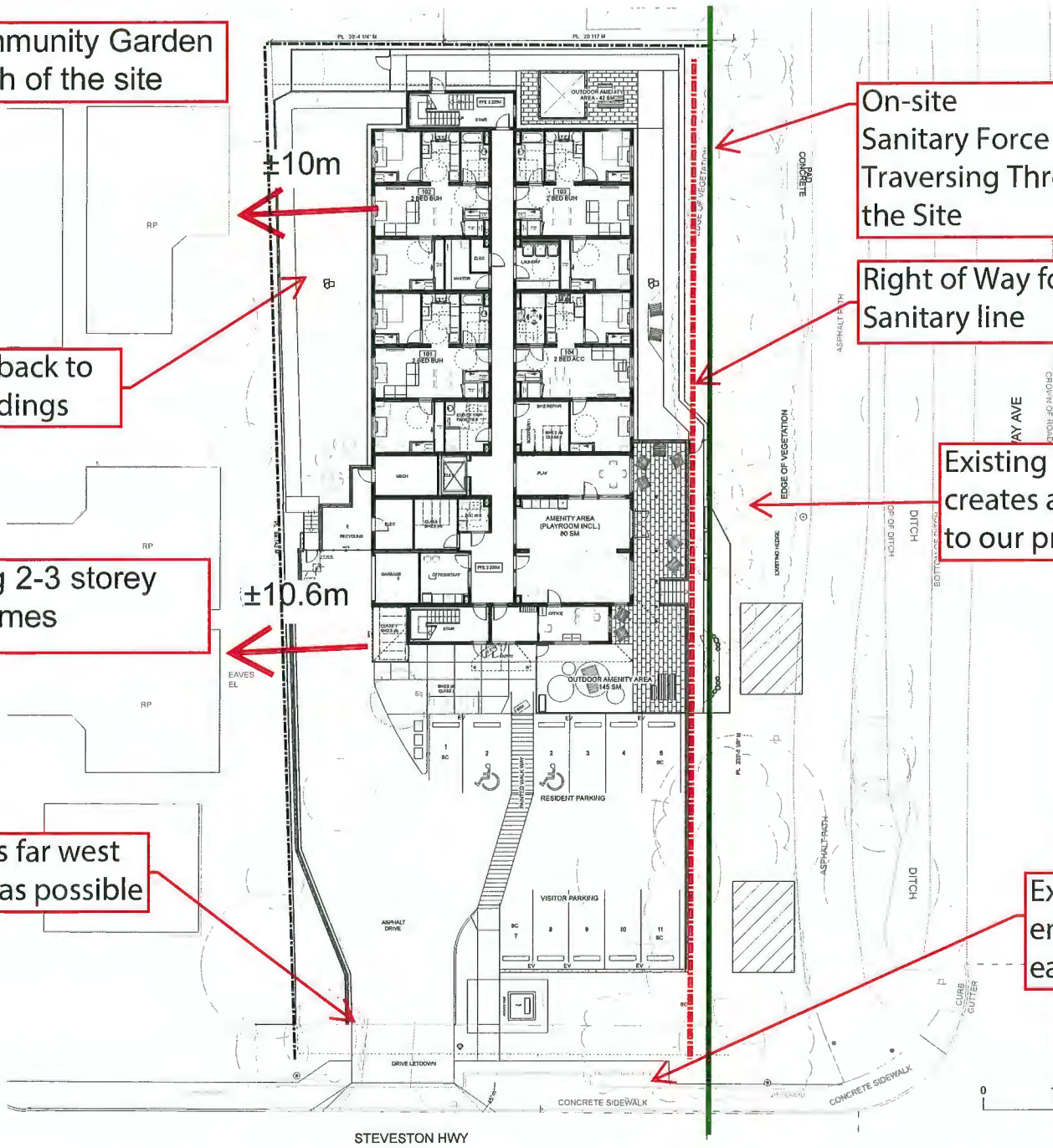
Existing 2-3 storey
townhomes

Existing Greenway lot -
creates a natural buffer
to our project

Access point, as far west
of intersection as possible

Existing Bus stop
enlarged and moved
east

Context



1 Site Plan
A1.3 Scale: 1:130

STEVESTON HWY

0 17 33 49 66 FT



Exit path from north stair

Gazebo, seating

Typical module spans width of the building - defined proportions to the building

East side preferred location for privacy of open space, connected to interior amenity spaces

Staff overview of open spaces and entry

Options for seating, gathering, play

Ensure safe and secure indoor and outdoor spaces. Limit overlook from public or semi-public areas.

Mech/Elect Rooms

Recycling

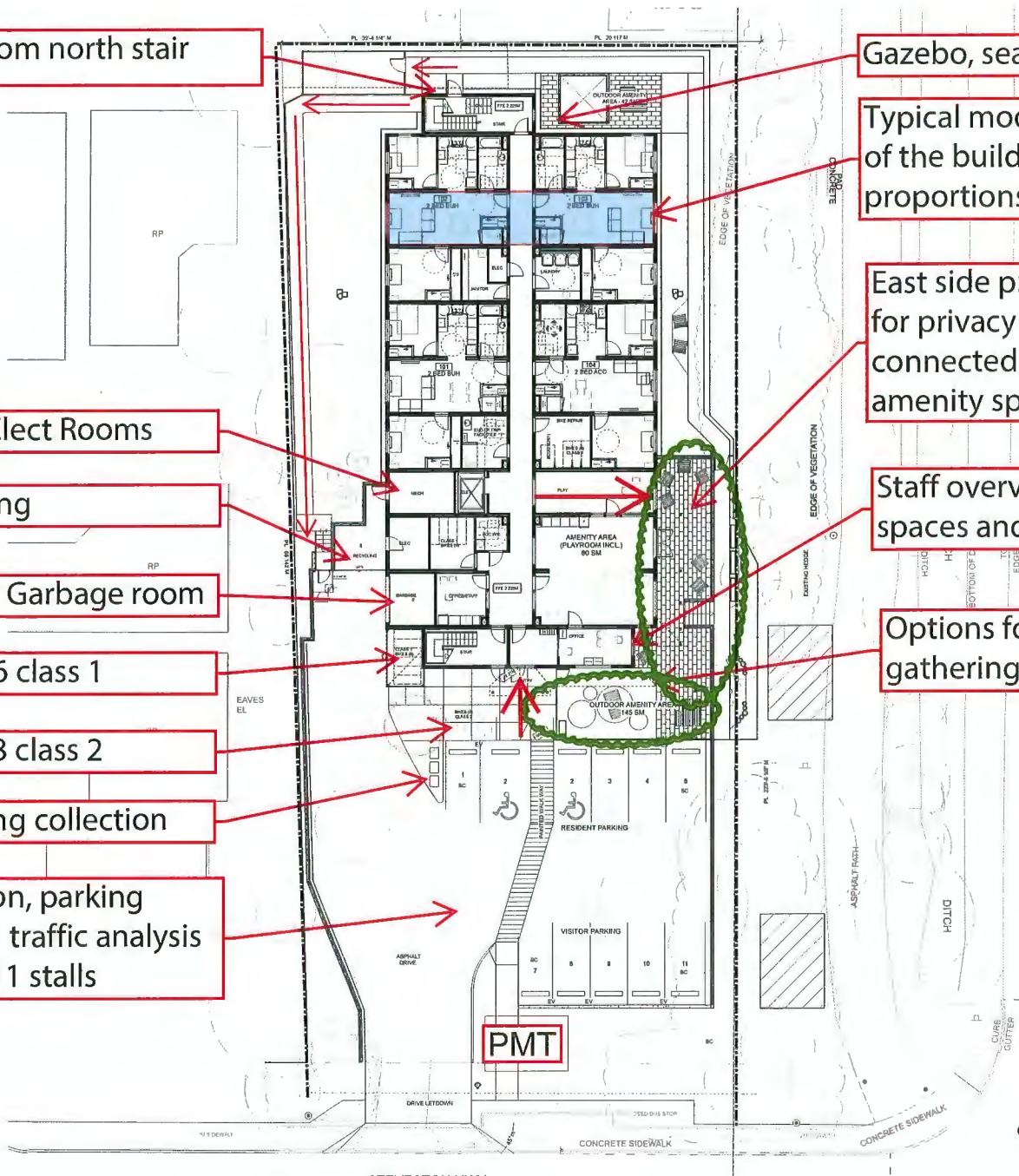
Interior Garbage room

Bikes - 6 class 1

Bikes - 8 class 2

Recycling collection

Circulation, parking based on traffic analysis studies, 11 stalls



Site Layout

1 Site Plan
A1.3 Scale: 1:130



STEVESTON HWY

Lower Grade @ west end of site - mediates with existing sites

Site meets existing grades at property line

Stepping retaining to minimize at property

4 foot fence on retaining

Grade slopes from building to meet elevation at property line, retaining walls follow

Lower Grade @ east & north end of site

Site meets existing grades at property line

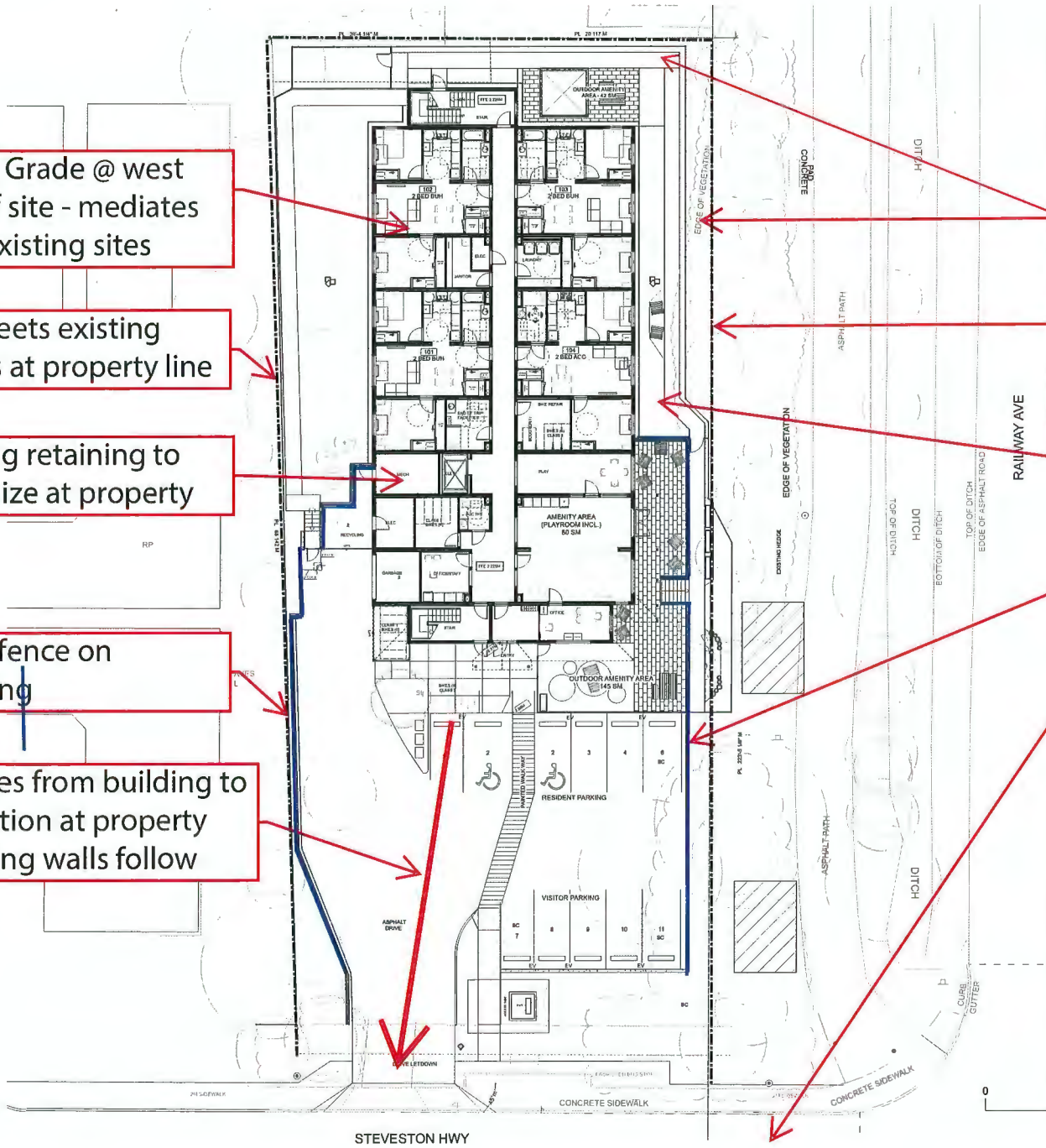
±1.0m difference at north end of retaining wall

Retaining Walls

Flood Control Level in road.

Entry, amenity, garbage all require to be flush with exterior grade

Site Grading



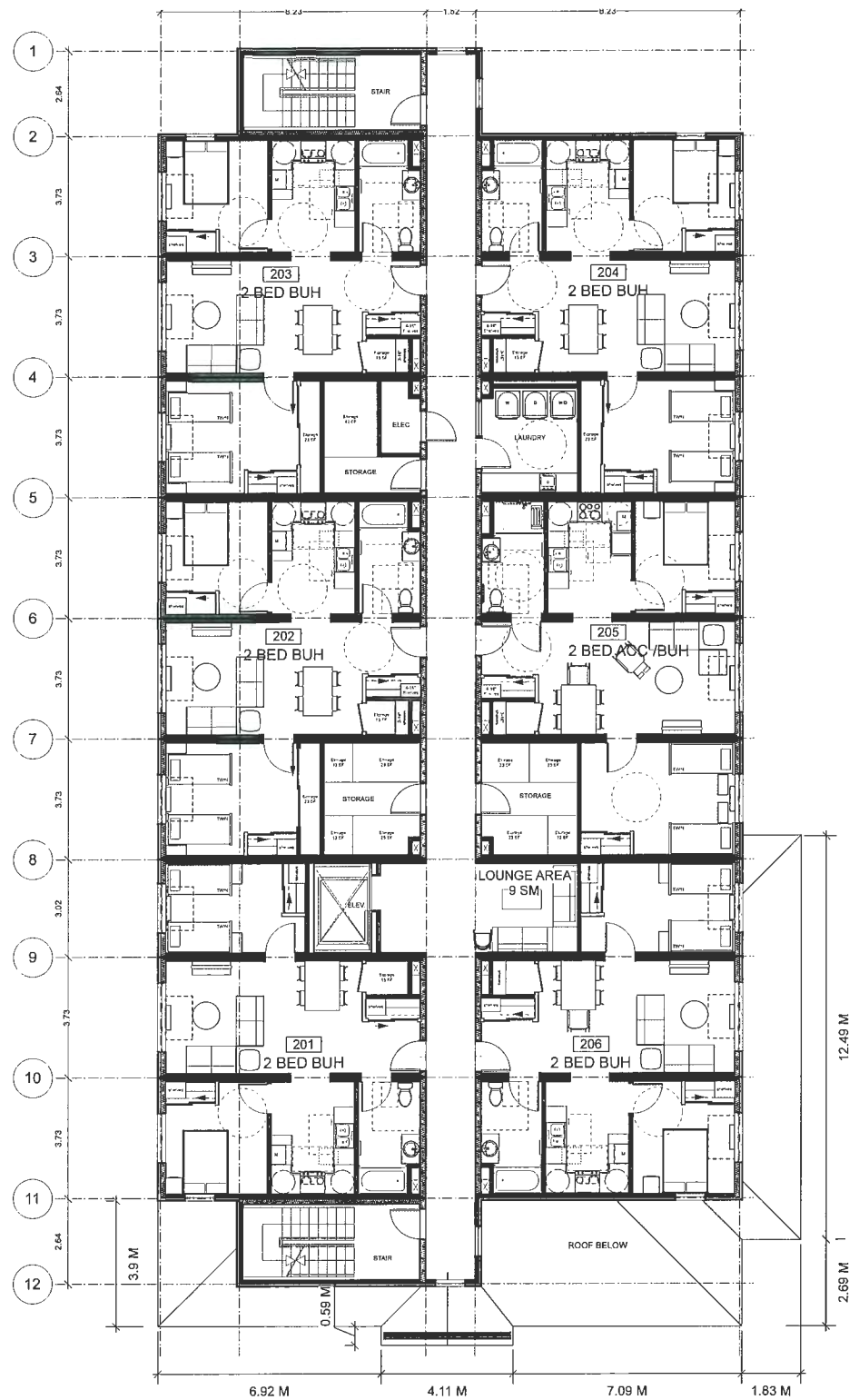
1 Site Plan
A1.3 Scale: 1:130



STEVESTON HWY



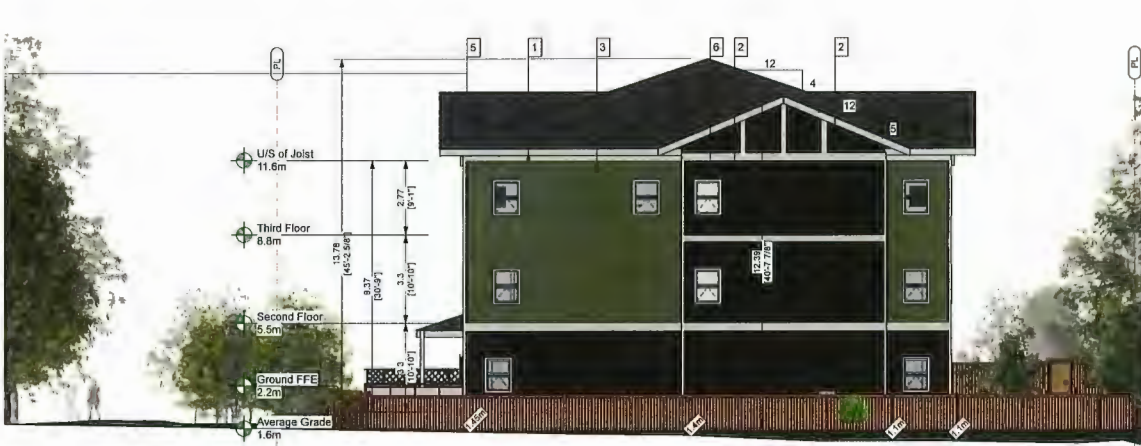
- Ground Floor:**
- 4 2 Bedroom BUH, 1 Accessible
 - Amenity, play
 - Offices
 - Bikes, 10 Class 1 inside 6 Outside. 8 Class 2 outside
 - End of Trip Facility
 - Laundry



Second Floor:
 -6 2 Bedroom BUH, 1 Accessible
 -Laundry
 -Storage
 -Lounge



Third Floor:
 -15 Studios, 4 BUH
 -Laundry
 -Storage



North Elevation 8-8 Scale: 1:96



South Elevation 5-5 Scale: 1:96 [STEVESTON HWY]



West Elevation 7 Scale: 1:96



1. TRIM AT FASCIA, DOORS & WINDOWS

Hardie® Trim

HardieTrim® boards come finished with either the PrimePlus® factory primer and sealer or with ColorPlus® Technology. The ColorPlus® coating is a factory-applied, oven-baked finish available on a variety of James Hardie® siding and trim products. See your local dealer for details and availability of products, colors, and accessories.

5/4, 4/4 HardieTrim® board is a decorative non-load bearing trim product. 5/4 HardieTrim board is 25mm (1 in) thick, 4/4 HardieTrim board is 19mm (¾ in) thick, and both can be purchased in 3,038mm (10 ft) and 3,658mm (12 ft) lengths, based on local availability. In addition to frieze, rake, window, door, and corner details, 5/4, 4/4 HardieTrim boards may be used to construct light blocks, column wraps and decorative scroll work. Available in commonly-used nominal widths from 101mm (4 in) to 304mm (12 in).



2. SHINGLE CLADDING & BOARD AND BATTEN CLADDING

Hardie® Shingle

Hardie Shingle® siding is fiber-cement shingle siding for sidewall applications. HardieShingle siding is available as straight-edge panels or staggered-edge panels 1.2m (48 in) long by 406mm (16 in) high. HardieShingle panels also come as decorative half-round shingles. For smaller coverage areas, individual shingles are also available in 152mm (6 in), 203mm (8 in), and 305mm (12 in) widths. Please see your James Hardie dealer for local availability of these products.

Hardie Shingle® siding is available as a prefinished James Hardie product with ColorPlus® Technology. The ColorPlus coating is a factory applied, oven-baked finish available on a variety of James Hardie siding and trim products.

Hardie® Panel

HardiePanel® vertical siding is factory-primed fiber-cement vertical siding available in a variety of sizes and textures. HardiePanel vertical siding is 7.5mm (5/16 in) thick and is available in 4 ft x 8 ft, 4 ft x 9 ft and 4 ft x 10 ft sizes. Hardie Panel vertical siding is available as a prefinished James Hardie® product with ColorPlus® Technology. The ColorPlus coating is a factory applied, oven baked finish available on a variety of James Hardie siding and trim products.

HardieTrim® Batten Boards are a decorative non-load bearing trim product. HardieTrim® Batten Boards are 19mm (¾ in) thick, 64mm (2½ in) wide, and come on 3,658mm (12 ft) lengths.



NOTE: METAL FLASHING TO MATCH CLADDING

3. HORIZONTAL SIDING

Hardie® Plank

Hardie Plank® lap siding is factory-primed fiber-cement lap siding available in a variety of styles and textures. Please see your local James Hardie® product dealer for product availability. HardiePlank® lap siding comes in 12 ft. lengths. Nominal widths from 5¼ in. to 12 in. create a range of exposures from 4 in. to 10¼ in.



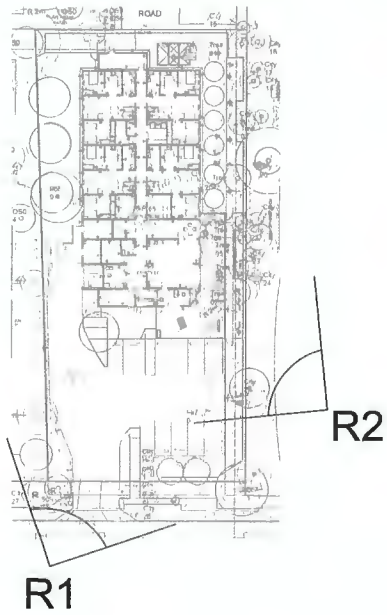
NOTE: METAL FLASHING TO MATCH CLADDING

FENCE STAIN





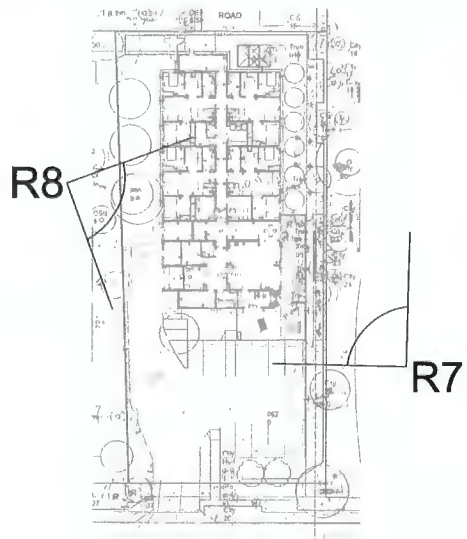
R1: BUILDING FROM ENTRY DRIVEWAY



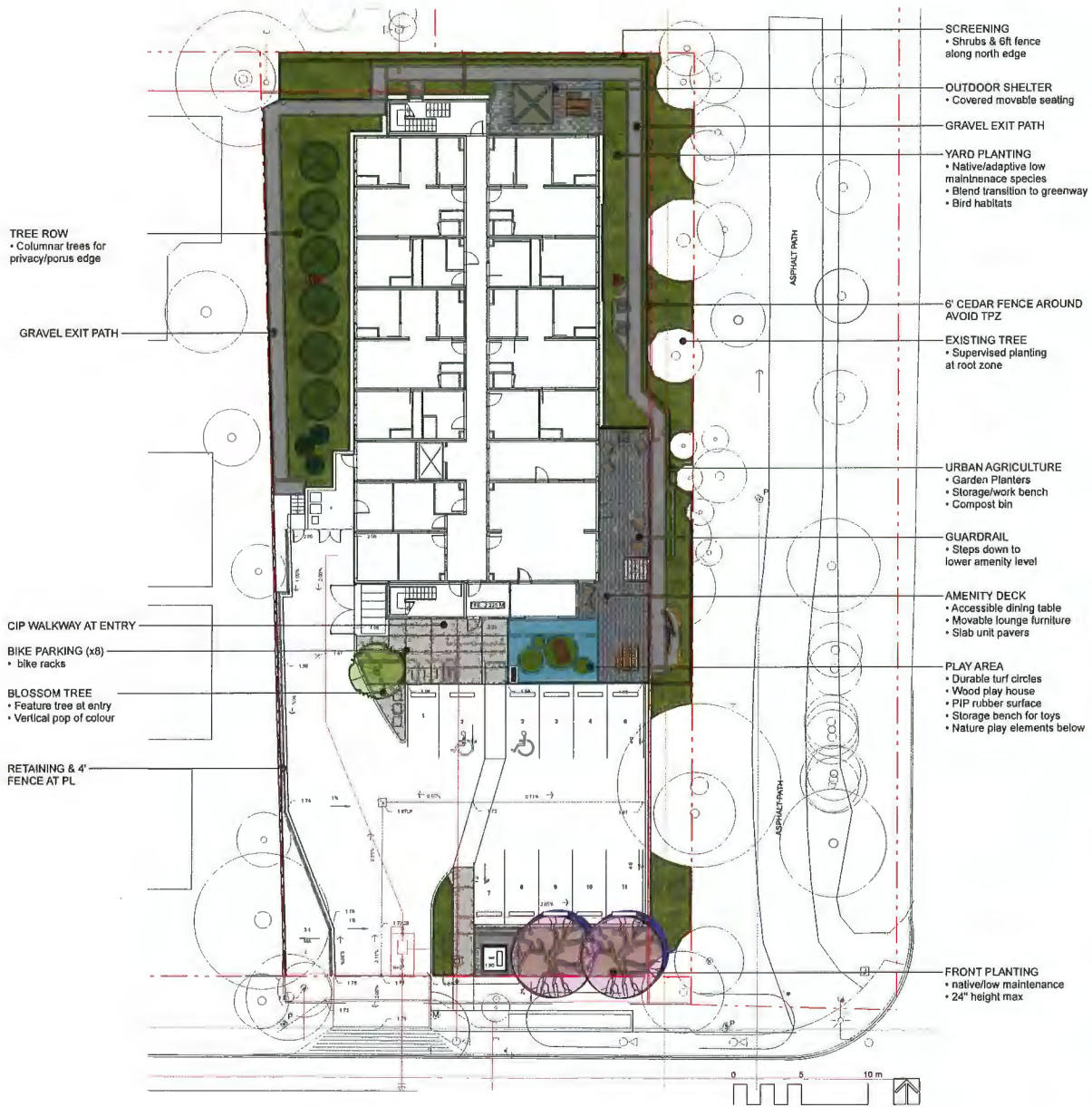
R2: BUILDING AMENITY AREA



R7: EAST FACADE FROM GREENWAY



R8: REAR BUILDING FROM RAILWAY GREENWAY



Revision

No.	Date	Revised Notes
A	2023-09-10	Re-issued for IZ
B	2023-09-23	Re-issued for PZ
C	2023-07-28	Revised for DP
D	2023-09-01	Re-issued for DP
E	2023-08-11	Issued for ADP
F	2023-10-23	Re-issued for DP
G	2023-11-20	Re-issued for DP

Issue

No.	Date	Issue Notes
A	2023-09-10	Re-issued for IZ
B	2023-09-23	Re-issued for PZ
C	2023-07-28	Revised for DP
D	2023-09-01	Re-issued for DP
E	2023-08-11	Issued for ADP
F	2023-10-23	Re-issued for DP
G	2023-11-20	Re-issued for DP

NOT FOR CONSTRUCTION

Professional Seal

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Project
Steveston Highway

4831 Steveston Highway
 Richmond, BC

Drawing Title
**Landscape Illustrative
 Site Plan**

Legal

Project Manager	Project ID
KD	22313
Drawn By	Scale
KD	1:150
Reviewed By	Date
DT	



BLOSSOM TREES



GARDEN PLANTERS



MOVEABLE FURNITURE



TURF PLAY CIRCLES IN PLAY SURFACE



PATIO SLAB PAVERS



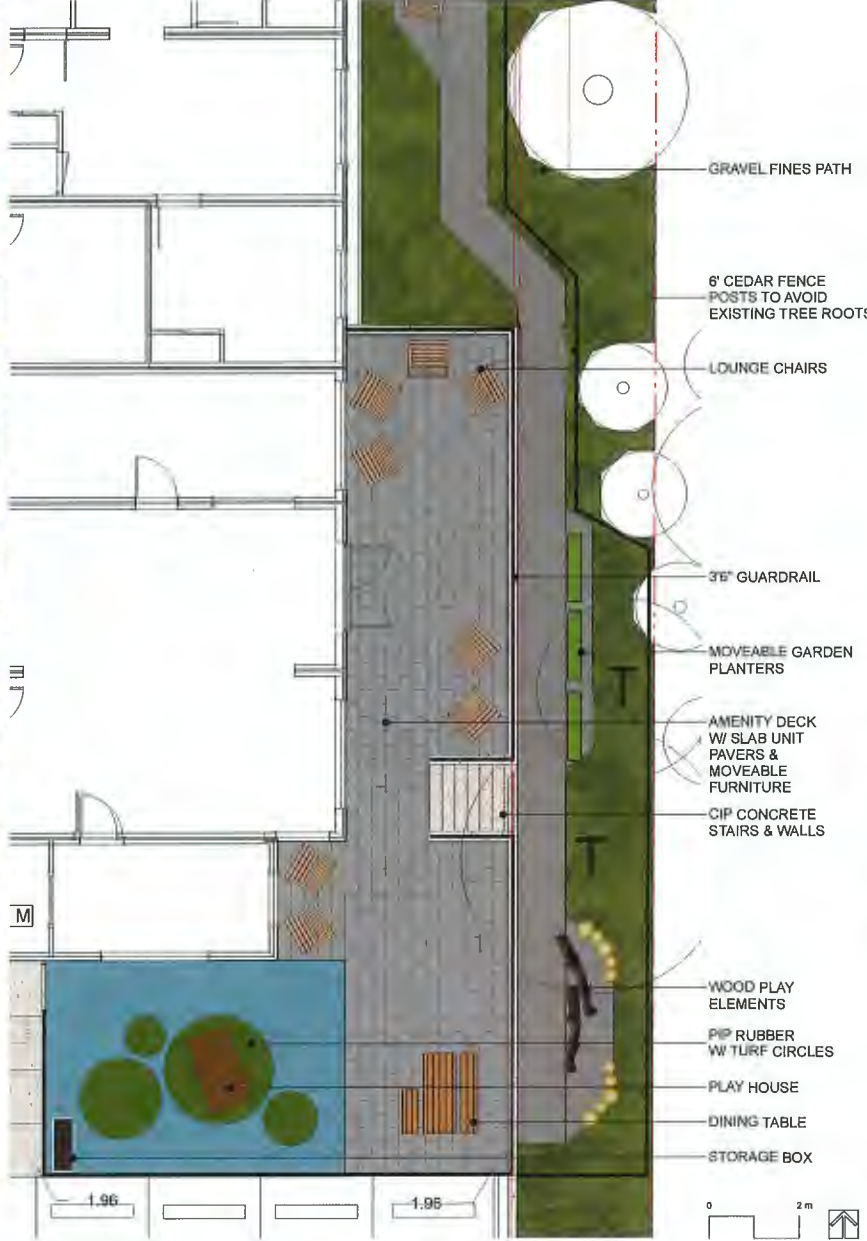
STORAGE BENCHES



PLAY HUT



OUTDOOR SHELTER



GRAVEL FINES PATH

6" CEDAR FENCE POSTS TO AVOID EXISTING TREE ROOTS

LOUNGE CHAIRS

3" GUARDRAIL

MOVEABLE GARDEN PLANTERS

AMENITY DECK W/ SLAB UNIT PAVERS & MOVEABLE FURNITURE

CIP CONCRETE STAIRS & WALLS

WOOD PLAY ELEMENTS

PIP RUBBER W/ TURF CIRCLES

PLAY HOUSE

DINING TABLE

STORAGE BOX

Revisions	No.	Date	Revised Notes

Issue No.	Date	Issue Notes
A	2023-09-19	File Issued for PZ
B	2023-09-23	File Issued for PZ
C	2023-09-28	File Issued for PZ
D	2023-10-01	File Issued for PZ
E	2023-10-11	Issued for ADP
F	2023-10-23	File Issued for PZ
G	2023-11-20	File Issued for PZ

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Project
Steveston Highway

4831 Steveston Highway
Richmond, BC

Drawing Title
**Landscape
Amenity Enlargement**

Project Manager	Project ID
KD	22313
Drawn By	KL
KD	1:50
Reviewed By	
DT	
Date	



NATIVE & LOW MAINTENANCE



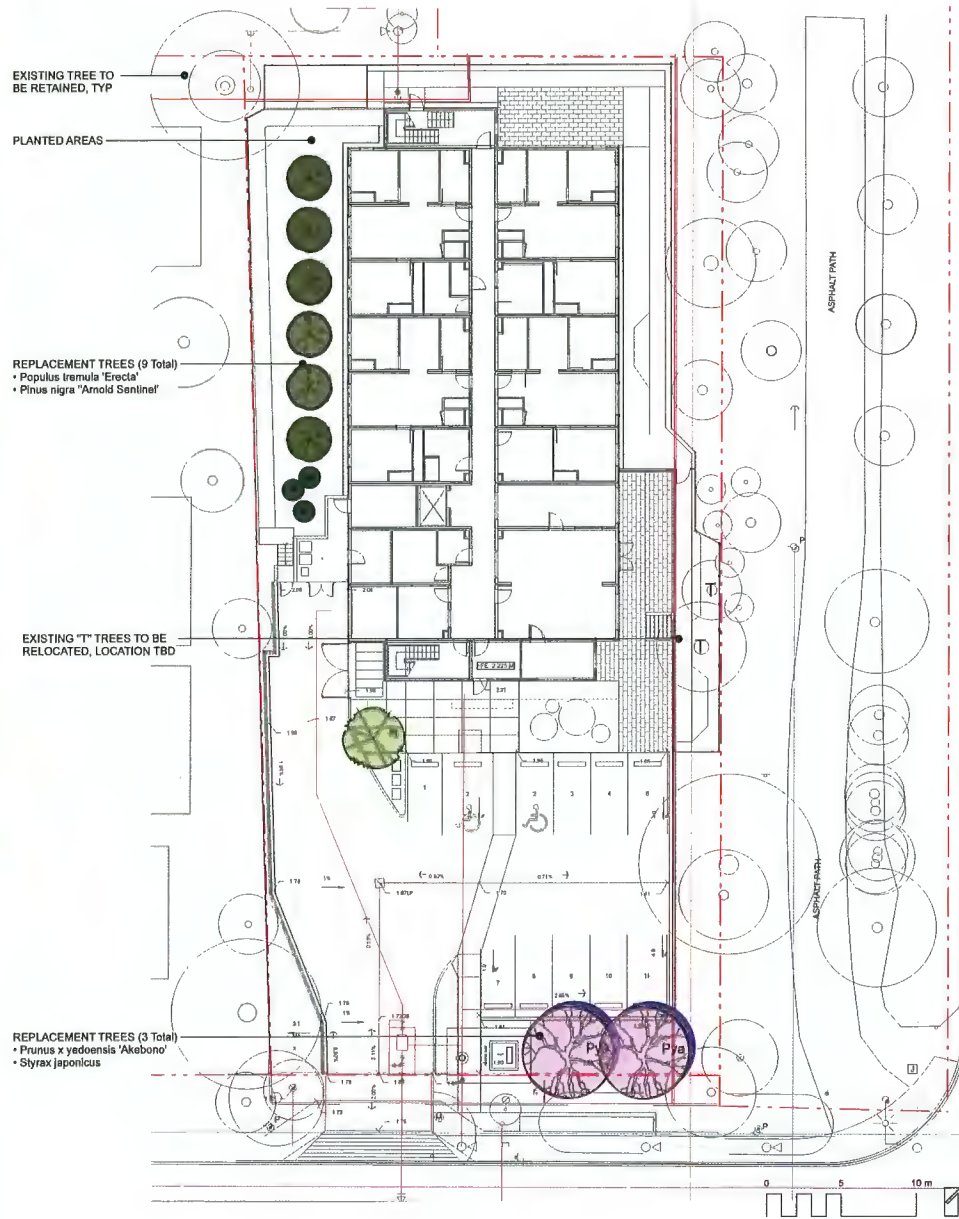
POPS OF COLOUR

TREES

Paa	3	Pinus nigra 'Arnold Sentinel'	Arnold Sentinel Austrian pine
Pte	6	Populus tremula 'Erecta'	Swedish columnar aspen
Pya	2	Prunus x yedoensis 'Akebono'	Akebono cherry
Stj	1	Styrax japonicus	Japanese snowbell

SHRUBS / GROUNDCOVERS / PERENNIALS

Am	166	Achillea millefolium	yarrow
Auu	207	Arctostaphylos uva-ursi	kinnikinnick
Dfo	52	Dicentra formosa	pacific bleeding heart
Gem	53	Geranium macrorrhizum 'Bevan's Variety'	bigroot geranium
Ga	156	Gaultheria shallon	salal
Lm	76	Liriope muscari	blue lily turf
Lp	27	Lonicera pileata	box leaf honeysuckle
Mr	100	Malthonia repens	creeping Oregon grape
Pm	72	Polystichum munitum	sword fern
Pm'	40	Polystichum munitum*	Sword Fern
Pl	458	Pachysandra terminalis	Japanese spurge
Rfg	42	Rudbeckia fulgida 'Goldsturm'	black-eyed Susan
Sh	29	Sarcococca hookeriana	sweet box
Sr	36	Sarcococca ruscifolia	sweet box
Vot	73	Vaccinium ovatum 'Thunderbird'	Thunderbird evergreen huckle



Revisions

No.	Date	Description

Issue

No.	Date	Issue Notes
A	2023-09-10	File Issued for IZ
B	2023-09-22	File Issued for IZ
C	2023-09-28	Issued for IZ
D	2023-09-21	File Issued for IZ
E	2023-09-11	Issued for IZ
F	2023-10-22	File Issued for IZ
G	2023-11-20	File Issued for IZ

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professionals in the design and construction of buildings and
structures to the best of their ability.

Project
Steveston Highway

4831 Steveston Highway
Richmond, BC

Drawing Title
**Landscape
Plant Materials**

Layer

Project Number	22310
Client	KD
Scale	1:50
Drawn by	DT
Checked by	
Date	



To: Development Permit Panel

Date: December 18, 2023

From: Wayne Craig
Director, Development

File: DP 20-919145

Re: **Application by Jonathan King for a Development Permit at 4571, 4591 and 4611/4631 Steveston Highway**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 16 townhouse units at 4571, 4591 and 4611/4631 Steveston Highway on a site zoned “Low Density Townhouses (RTL4)”; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback along Steveston Highway from 6.0 m to 4.50 m.

A handwritten signature in black ink, appearing to read 'Wayne Craig'.

Wayne Craig
Director, Development
(604-247-4625)

WC:el
Att. 3

Staff Report

Origin

Jonathan King (on behalf of Gurpreet Mann, director of 0780012 BC Ltd., Jonathan King and Sandra Rotholc-King, directors of 2517294 Ontario Inc., Azim Bhimani, director of Luxor Homes & Developments Ltd., Gurpreet Mann and Narinder Mann) has applied to the City of Richmond for permission to develop 16 townhouse units at 4571, 4591 and 4611/4631 Steveston Highway. One of the townhouse units is proposed to contain a ground-level secondary suite.

The site is being rezoned from “Single Detached (RS1/E)” and “Two-Unit Dwellings (RD1)” zones to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 10081 (RZ 18-839945), which is currently at third reading.

A Servicing Agreement is required as a condition of Building Permit issuance and includes, but is not limited to, the following improvements:

- Removal of existing sidewalk and replacement with a new 1.5 m concrete sidewalk at the property line and minimum 1.5 m wide landscaped boulevard with street trees behind the existing curb;
- Removal of the existing driveway crossings and replacement with the frontage works described above; and
- Construction of a new driveway crossing designed to provide “right in, right out” access to the site.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: Single-family dwellings fronting Bonavista Drive on lots zoned “Single-Detached (RS1/B).”
- To the south: Across Steveston Highway, single-family dwellings on lots zoned “Single-Detached (RS1/B)”, which are identified for compact lot coach house development under the Arterial Road Land Use Policy.
- To the east and west: Single-family dwellings on a lot zoned “Single Detached (RS1/E)”, which are identified for townhouse development under the Arterial Road Land Use Policy.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on October 21, 2019. No concerns regarding the rezoning application was expressed at the Public Hearing.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the “Low Density Townhouse (RTL4)”, except for the zoning variance noted below.

Zoning Compliance/Variance (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback along Steveston Highway from 6.0 m to 4.50 m.

Staff supports the proposed variance as it is consistent with the Development Permit Guidelines for Townhouses on arterial roads in the OCP, which support front yard setbacks at 4.5 m (14.8 ft.) where a 6 m (19.7 ft.) rear yard setback to both the ground and second floors of the rear units is provided. The result will provide a wider space between the rear units of the subject development and the single-family dwellings that back onto the subject site. It will also provide a larger buffer to accommodate tree retention along the rear property line.

The resulting distance from the back of the curb to the building face would be approximately 8.47 m. The reduced front yard setback does not compromise tree preservation or tree planting opportunities along the site frontage. The proposed architectural design provides appropriate building articulation and interface with neighbouring properties.

To address the road traffic noise from Steveston Highway, the project acoustical engineer confirmed that the proposed development is designed to meet the interior noise limits as per the CMHC standards.

This variance was identified at the rezoning stage, and no concerns were identified at that time.

Advisory Design Panel Comments

The Advisory Design Panel (ADP) has reviewed the project and supports it. A copy of the relevant excerpt from the Advisory Design Panel Minutes from Thursday, July 20, 2023 is attached for reference (Attachment 2). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in ‘**bold italics**’.

Analysis

Conditions of Adjacency

- The proposed form, massing and orientation of the buildings are compatible with the existing adjacent developments on the block.
- While three-storey units are proposed along Steveston Highway, the building height is stepped down to two-storeys along the east property line to provide appropriate transition to the adjacent single-family home. Along the west property line, an entry driveway is being proposed and the three-storey building will be set back 9.42 m from the west property line.
- Two-storey units in duplex form, as well as the outdoor amenity area, are proposed along the rear (north) property line to minimize privacy and overlook concerns.

- Deeper rear yards (minimum of 6.0 m instead of 4.5 m) are proposed to enhance rear yard buffering.
- The existing site grade along the rear (north) property line will be maintained to provide an appropriate transition to the adjacent single-family properties to the north and to accommodate tree retention on the neighbouring properties.
- There is an existing retaining wall along the east property line of the site; the site grade will be raised to match the elevation of the existing retaining wall.
- The site grade along a portion of the west property line will be raised. The maximum height of the proposed retaining wall is approx. 0.89 m.
- A 1.8 m tall wood fence will be installed along the side and rear property lines to protect the privacy of the neighbouring single-family homes.
- Perimeter drainage will be required as part of the Building Permit to ensure stormwater is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The development includes seven two-storey units and nine three-storey units in five building clusters.
- The layout of the townhouse clusters is oriented around a single “ L ” shaped driveway, providing vehicle access to the site from Steveston Highway, and an east-west internal maneuvering drive-aisle, providing access to the unit garages and future access to the neighbouring properties to the east and west, secured by a Statutory Right-of-Way (SRW).
- Vehicle access will be limited to right-in/right-out only. A raised island will be installed as part of the Servicing Agreement to channelize and enforce the no-left turn access restrictions.
- Units along Steveston Highway are designed to have a strong street presence with individual front entrances and yards. All other units will have access from the internal drive-aisle.
- Unit #16 will contain a ground-level, one-bedroom secondary suite of approximately 34.0 m² (368 ft²) in size. No additional parking stall is required for the proposed secondary suites since the required parking spaces for the units containing a secondary suite are provided in a side-by-side arrangement.
- All units will have two-vehicle parking spaces and individual garages. Nine units are proposed to have garages in a side-by-side arrangement and seven units are proposed to have garages in a tandem arrangement.
- A total of four visitor parking spaces, including one accessible visitor parking space, will be provided throughout the site. The number of visitor parking spaces proposed complies with the minimum bylaw requirement.
- Both internal and external bicycle parking spaces have been incorporated into the proposal and comply with the zoning bylaw requirements.
- The provision of private outdoor spaces complies with the Development Permit Guidelines of the OCP.

All units will have private outdoor spaces consisting of a front or a rear yard; the three-storey units will also have deck/balcony spaces on the second/third floor facing the internal drive aisle.

- Outdoor amenity space is proposed opposite the site entry for maximum casual surveillance opportunity. The size and location of the outdoor amenity space are appropriate for providing an open landscape and amenity space convenient to all units.
- No indoor amenity space is proposed on site. A \$25,600.00 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with the OCP.
- One garbage, recycling and organic waste storage room is proposed and is integrated into the design of Building A to minimize the visual impact. The location of the room near the intersection of the internal drive-aisle provides convenient access.
- Adjacent properties to the east and west have future potential for redevelopment as townhouses. A SRW allowing access to/from the adjacent future development sites through the subject site (over the internal drive aisle) has been secured at rezoning.
- Signage indicating that the driveway on the subject site may connect to the future adjacent townhouse developments is proposed to be installed at each end of the drive aisle so that future residents/owners/strata of the subject development are aware that they may be required to provide access to the east and west.

Architectural Form and Character

- Traditional West Coast wood frame residential style with inspiration from Tudor style was used as the main architectural language. Details used in this project such as gable roofs, bay windows, wood battens, brick walls on the lower floor; siding materials on the upper floor; and shingle roofs are all typical treatments that can be found in adjacent developments.
- A pedestrian scale is generally achieved along Steveston Highway and the internal drive aisle through the inclusion of variation in building projections, recesses, varying material/colour combinations, landscape features and the use of individual unit entrances.
- Individuality of units is expressed through main unit entries with either a covered porch or entry canopy and private landscaped patio/yards with gates at front units.
- The impact of blank garage doors has been mitigated with panel patterned doors unit entrances and planting islands/raised planters along the drive aisle.
- The proposed building materials (asphalt roof shingles, Hardie lap siding, wood fascia board and trim, brick cladding, etc.) are generally consistent with the OCP.
- Two colour schemes (cold tone and warm tone) are proposed; each scheme includes light and dark (contracting) colors for lap sliding. Both cold and warm color schemes have the same color treatment for brick veneer, wood trims, window/door frames, glasses and door colors to form a unity for among various townhouse clusters in the same development.

Tree Retention and Replacement

- Tree preservation was reviewed at the rezoning stage, a total of 12 bylaw-sized trees and one hedgerow were accessed:
 - Four bylaw-sized trees (Tag# 927, 928, 929 and 930) located on the development site have either been historically topped or exhibit structural defects such as cavities at the main branch union and co-dominant stems with inclusions. As a result, these trees are in poor condition and are not good candidates for retention. Remove and replace.
 - One cedar hedgerow (Tag# N01) comprised of six trees located on an adjacent property to the north of the development site is to be retained and protected.
 - One Black locust tree (Tag# C01) and one Western red cedar tree (Tag# C02) located on City property are in poor condition and have been topped to accommodate the overhead hydro lines. Removal is recommended. A \$2,600.00 contribution to the City's Tree Compensation Fund has been secured at Rezoning, and replacement boulevard trees are to be planted through the Servicing Agreement for frontage works.
 - A cedar hedge located on a neighbouring property to the west of the subject site will be retained and protected.
- Tree protection fencing is required to be installed as per the Arborist Report recommendations prior to any construction activities (including demolition) occurring on-site.
- A proof of contract with a Certified Arborist for the supervision of all works conducted within or in close proximity to tree protection zones has been secured at Rezoning.
- Based on the 2:1 tree replacement ratio stated in the OCP, 14 replacement trees are required. The applicant is proposing to plant all 14 replacement trees on-site, including five conifers and nine deciduous trees.

Landscape Design and Open Space Design

- The street edge along Steveston Highway will be defined with landscaping including lawn, flower beds, native shrubs and a mix of deciduous and evergreen trees. A low 1.2 m tall transparent aluminum fence with gates will be installed along the road frontage to accommodate visually interesting plant species.
- Each street-fronting unit will have a private front yard with an outdoor patio to generate animation along the streetscape. The front yards will be separated with low aluminum fences, with landscaping to provide privacy for individual units. All units will have a private yard with a patio, shade tree and shrub/groundcover planting.
- Raised planters with wood trellis and vines are provided between garages to maximize the planting opportunities in the limited spaces along the internal drive aisle.
- An on-site irrigation system is proposed to ensure continued maintenance of live landscaping.
- A multi-functional play structure and a sandbox are proposed within the outdoor amenity area. These play structures/elements are chosen to fit into the provided space and to allow multiple children to play at the same time.

The equipment provides different play opportunities for the development of social, imagination, balance and motor skills. A bench is also proposed in the children's play area for caregivers.

- The vehicle entrance, on-site turnaround area, surface parking spaces and designated walkways on-site, will be treated with permeable pavers for better water infiltration and variety in paving surfaces.
- Pavers will also be used to highlight pedestrian routes along the main east-west drive aisle.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$545,003.00 in association with the Development Permit.
- It is expected that, when the adjacent property to the west is redeveloped into a townhouse development, on-site turnaround would be accommodated on the entry driveway and the internal aisle. At that time, the on-site turnaround area located adjacent to the outdoor amenity area will no longer be warranted. To ensure that the on-site turnaround area will be used as an outdoor amenity when the on-site turnaround area becomes unwarranted, a legal document is required to be registered on Title prior to Development Permit issuance to secure this arrangement. A conceptual landscape plan for this area has been included in the landscaping drawings.

Crime Prevention Through Environmental Design

- The site plan and individual unit layout create an opportunity for passive surveillance. Additional windows are provided to side elevations adjacent to the outdoor amenity area and vehicle entry driveway to enhance visual surveillance opportunities.
- The sidewalk and internal drive aisle edges will have well-defined landscaped edges, clearly defining the areas for public pedestrian use.
- Front entries will be well-lit with ceiling lights in the entry porches. Exterior lights will be provided along the internal drive aisle, by the utility building and in outdoor amenity areas, etc. to enhance visual supervision from windows and balconies located along the internal driveway.

Sustainability

- The project will be designed to meet Step Code 3 requirements of the BC Energy Step Code with a low-carbon energy system.
- High efficient air source heat pump system will be provided. Condenser units for the street fronting units will typically be located on the balconies facing the internal drive aisle, and the condenser units for the rear units will be located on the north-facing decks. An Acoustic Report has been submitted to confirm the noise levels from the condensing units will be below the nighttime Noise Bylaw limit of 45 dBA at the nearest point of reception.
- The following features will also be included in the development:
 - HRV/ERV systems to reduce heating/cooling energy for conditioning ventilation air;
 - Energy Star appliances to reduce energy consumption; and
 - Electric hot water tank to reduce the greenhouse gas emission.

- Level 2 EV charging is provided in each garage as per Richmond Zoning Bylaw 8500.

Accessible Housing

- The proposed development includes two convertible units that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require the installation of a vertical lift in the stacked storage space (which has been dimensioned to allow for this in Units #12 and 14) in the future if desired.
- All of the proposed units incorporate aging-in-place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.



Edwin Lee
Planner 2
(604-276-4121)

EL:js

- Att. 1: Development Application Data Sheet
2: Excerpt from Advisory Design Panel Meeting Minutes (July 20, 2023)
3: Development Permit Considerations



DP 20-919145

Attachment 1

Address: 4571, 4591 and 4611/4631 Steveston Highway

Applicant: Jonathan King Owner: 0780012 BC Ltd. / Luxor Homes & Developments Ltd. /
2517294 Ontario Inc. / Gurpreet & Narinder Mann

Planning Area(s): Steveston

Floor Area Gross: 2,691.2 m² Floor Area Net: 1,801.9 m²

	Existing	Proposed
Site Area:	3,002 m ²	No Change
Land Uses:	Single-Family Residential / Two-Family Residential	Multiple-Family Residential
OCP Designation:	Low-Density Residential	No Change
Zoning:	Single Detached (RS1/E) and Two-Unit Dwellings (RD1)	Low Density Townhouses (RTL4)
Number of Units:	2 single-family dwellings and 2 duplex units	16 townhouse units + 1 secondary suite

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	39%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	61%	none
Lot Coverage – Landscaping:	Min. 25%	25%	none
Setback – Front (m):	Min. 6.0 m	4.5 m	Variance Requested
Setback – East Side Yard (m):	Min. 3.0 m	3.0m	none
Setback – West Side Yard (m):	Min. 3.0 m	7.0 m	none
Setback – Rear Yard (m):	Min. 3.0 m	6.0 m	none
Height (m):	Max. 12.0 m (3 storeys)	11.97 m (3 storeys)	none
Lot Width:	Min. 50.0 m	61 m	none
Lot Depth:	Min. 35.0 m	45 m	none
Off-street Parking Spaces – Regular (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	32 (R) and 4 (V)	32 (R) and 4 (V)	none

Tandem Parking Spaces:	Max. 50% of proposed residential spaces in enclosed garages (32 x Max. 50% = 16)	14	none
Small Car Parking Spaces	Max. 50% when 31 or more spaces are provided on-site (36 x Max. 50% = 18)	9	none
Accessible Parking Spaces:	Min. 2% when 11 or more spaces are required (36 x 2% = 1 space)	1 visitor	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.6 (Class 1) and 0.25 (Class 2) per unit	none
Off-street Parking Spaces – Total:	20 (Class 1) and 4 (Class 2)	26 (Class 1) and 4 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 16 units = 96 m ²	210 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, July 20, 2023 – 4:00 p.m.
Remote (WebEx) Meeting

1. **DP 20-919145 – 16-UNIT TOWNHOUSE DEVELOPMENT**

ARCHITECT: Imperial Architecture

LANDSCAPE ARCHITECT: Homing Landscape Architecture

PROPERTY LOCATION: 4571, 4591 and 4611 Steveston Highway

Applicant's Presentation

Architect Jiang Zhu, Imperial Architecture, and Landscape Architect Eason Li, Homing Landscape Architecture, presented the project and answered queries from the Panel.

Panel Discussion

Comments from Panel members were as follows:

- understand the applicant's intention to mirror the end units of Building A and Building B; however, the three-storey end units of Building A (i.e. Units 1 and 2) look heavy considering that they are located at the main entrance to the proposed development and close to neighbouring single-family homes; consider a massing similar to Unit 10 (end unit of Building B) for Units 1 and 2 to create a balanced massing for the two front buildings;
Arch: Building A west portion containing unit 1 and 2 were redesigned. Efforts were put in to reduce the massing by recessing unit 2 south elevation and relocated the massing on the 3rd floor at back facing internal driveway. Level 3 at southwest corner of the building A was further recessed to reduce the massing. The revised design showed that Building A only has one unit (#1) projected put towards south side as same Building B (Unit #10) so the massing of two buildings are more balanced.
- unit entries for Units 2 and 16 are smaller than the entries for the other units; consider enlarging the entries for these units to make them similar to the size of the other units;
Arch: unit 1 and unit 16 were redesigned. Unit 2 has the same entry canopy treatment as unit 3, 4 and 5. Entries to both lock off suite and main suite in unit 16 have larger gables above with same size of ones for other units in back buildings.

- support the proposed colour scheme; however, consider changing the proposed colour for the asphalt roof shingles to a brighter colour to mitigate heat absorption as the proposed dark colour for the asphalt shingles will absorb more heat;
Arch: A lighter color asphalt roof shingle material was proposed in the revised design as shown in the exterior finish material list shown on the digital sample board and color elevations / renderings.
- consider removing the proposed future garbage room to provide a better interface with Unit 16; also, the future strata management may not find the proposed future garbage room necessary and will not be usable;
Arch: Future garbage room was relocated to the northwest corner of building A. The reclaimed space in building E helped the redesign of lock off and main suites in unit 16.
- commend the applicant for the project not only for meeting the aging-in-place and accessibility requirements of the City and the Province but also for incorporating the Safer Home criteria and standards; also appreciate the multi-floor stacked closets to enable the possibility of future installation of an elevator;
Arch: Noted.
- appreciate the applicant for the detailed and comprehensive presentation;
Arch: Noted.
- support the proposed location of the common outdoor amenity area; although it appears isolated at the back, it is a safe location for children, is well-designed, and functional; ensure that CPTED aspects and appropriate screening for neighbours at the back and to the west are incorporated;
Arch: Since we have dense existing trees at northwest corner of the property and large size outdoor amenity area as the buffer, there won't be concerns on overlooking and privacy to the neighboring single-family sites.
- consider introducing subtle variations to the cold colour tones; and ensure the proposal colours are accurately represented on the physical material and colour sample board;
Arch: Benjamin Moore paint color code was provided for different Hardie panel colors in the exterior finish material list shown on the digital sample board.
- consider more thought to the design treatment of the Units 1 and 2 in Building A; the corner treatment could be lighter and more transparent;
Arch: Building A west portion containing unit 1 and 2 were redesigned. See comments above.
- commend the applicant for their very good presentation;
Arch: Noted.

- support staff's comments regarding the interface between the children's play area and private yard of Unit 16 should be revisited, to provide additional separation between the proposed windows of the lock-off unit and the 6 foot tall privacy screen;
Arch: North face of projected portion of building E (unit 16) was pulled back in the revised design to allow more buffer zone between the unit's window and the 6' high fence.
- consider adding a third storey to Unit 16 and cut the projecting portion of the secondary/lock-off suite short; this would make the irregularly shaped privacy outdoor space for Unit 16 regular, provide a better interface with the children's play area, and mirror Building A across the internal drive aisle;
Arch: North face of projected portion of building E (unit 16) was pulled back and massing of the 2nd floor was relocated to the south side to be away from the outdoor amenity area.
- the proposed lawn on the north side of the outdoor amenity area would be shady most of the time and would result in a soggy yard;
Landscape: Most of the proposed lawn area is within the ROW and is about 12 meters away from the Unit 16 building. There are no existing large trees on the south and east side of the lawn, and the lawn should receive enough sunlight most of the day, and it's not a shady area.
- the size of planters along the west property line are too narrow and would significantly impact the survivability of planting; consider removing this planting strip and replace with permeable surface paving treatment as this would be a better approach should the internal drive aisle provide shared access to the properties to the west when they redevelop in the future;
Landscape: the planting area along the west property line is less than 0.2 meter wide and it's changed to be permeable paver area.
- consider relocating the children's play area further north and provide a planting buffer to Unit 16;
Arch: North face of projected portion of building E (unit 16) was pulled back in the revised design to allow more buffer zone between the unit 16 and the outdoor amenity area. Revised design showed the 1 storey massing for the projected area at northwest corner of building E to reduce shadow impact to the outdoor amenity area.
- commend the applicant for a thorough and detailed presentation;
Arch: Noted.
- not concerned about the location of the common outdoor amenity area; however, the Unit 16 lock-off/secondary suite appears to be intruding into the children's play area;
Arch: North face of projected portion of building E (unit 16) was pulled back in the revised design to allow more buffer zone between the unit 16 and the outdoor amenity area. Revised design showed the 1 storey massing for the projected area at northwest corner of building E to reduce shadow impact to the outdoor amenity area.

- the proposed landscaping scheme assumes that there will be shared access for the internal drive aisle to adjacent properties to the west and east should they redevelop in the future;
Arch: Noted.

- appreciate the applicant's efforts to make the children's play area more welcoming; appreciate the addition of extra lighting, use of different textures, and colourful play surface; as the children's play area is north-facing, it will likely be under shade most of the time and the addition of lighting and colours would help lighten up the space; and
Landscape: the children's play area design is adjusted, and more outdoor lightings are added in the play area. Meanwhile, the rubber surface is changed to be two colors - rainbow blue and beige. The selected large play structure will be also colorful.

- the location of the proposed outdoor bicycle parking spaces in the common outdoor amenity area would impede pedestrian circulation; consider relocating to a more appropriate location.
Landscape: bike parking spaces design has been changed.

Virendra Kallianpur, Staff Liaison, read into the record the following comment submitted by Panel member David Semczyszyn:

- no concerns regarding the proposed development; however, recommend that the applicant consider that the picnic tables and benches on page 57 of the package be constructed with composite materials, rather than wood, as it appears in the illustrations.
Landscape: the material of picnic tables and benches is changed to be composite wood.

Panel Decision

It was moved and seconded

That DP 20-919145 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

CARRIED



Address: 4571 4591 4611 Steveston Hwy.

File No.: DP 20-919145

Prior to approval of the Development Permit, the developer is required to complete the following:

1. **(Zoning Amendment)** Final adoption of the Zoning Amendment Bylaw 10081.
2. **(Tree Protection)** Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
3. **(Landscaping Security)** Receipt of a Letter of Credit for landscaping in the amount of \$545,003.00 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.
4. **(Future Outdoor Amenity)** Registration of a legal agreement to ensure that, when the adjacent property to the west is redeveloped into a townhouse development and the on-site turnaround area becomes unwarranted, the on-site turnaround area will be used as additional outdoor amenity space. The improvements to this additional outdoor amenity space must be provided in accordance to conceptual design shown on the Development Permit.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. A Letter of Credit or cash security for the value of the Service Agreement works, as determined by the City, will be required as part of entering into the Servicing Agreement. Works include, but may not be limited to,

Water Works:

 - a) Using the OCP Model, there is 714.0 L/s of water available at a 20 psi residual at the Steveston Highway frontage. Based on your proposed development, your site requires a minimum fire flow of 220 L/s.
 - b) At Developer's cost, the Developer is required to:
 - (1) Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
 - (2) Review hydrant spacing on Steveston Highway frontage and install new fire hydrants as required to meet City spacing requirements for the proposed land use.
 - (3) Provide a right-of-way on site for the water meter. Exact right-of-way dimensions to be finalized via the servicing agreement process.
 - c) At Developer's cost, the City will:
 - (1) Cut, cap, and remove existing water service connections along Steveston Highway frontage.
 - (2) Complete all tie-ins for the proposed works to existing City infrastructure.

Storm Sewer Works:

 - a) At Developer's cost, the City will:
 - (1) Cut, cap, and remove existing storm connections at Steveston Highway frontage.
 - (2) Install a new storm service connection to serve the proposed development.

Sanitary Sewer Works:

 - a) At Developer's cost, the Developer is required to:
 - (1) Not start onsite excavation or foundation construction until completion of rear-yard sanitary works by City crews.
 - (2) Install a new sanitary service connection, location to be determined through the Servicing Agreement review process.

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b) At Developer's cost, the City will:

- (1) Cut and cap at main all existing sanitary connections along property's rear-yard.
- (2) Complete all tie-ins for the proposed works to existing City infrastructure.

Frontage Improvements:

a) At Developer's cost, the Developer is required to:

- (1) Coordinate with BC Hydro, Telus and other private communication service providers:
 - (a) To pre-duct for future hydro, telephone and cable utilities along all road frontages.
 - (b) Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - (c) To underground overhead service lines.
- (2) Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., statutory right-of-way dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the servicing agreement drawings, and registered prior to SA design approval:
 - (a) BC Hydro PMT – 4.0 x 5.0 m
 - (b) BC Hydro LPT – 3.5 x 3.5 m
 - (c) Street light kiosk – 1.5 x 1.5 m
 - (d) Traffic signal kiosk – 2.0 x 1.5 m
 - (e) Traffic signal UPS – 1.0 x 1.0 m
 - (f) Shaw cable kiosk – 1.0 x 1.0 m
 - (g) Telus FDH cabinet – 1.1 x 1.0 m
- (3) Review street lighting levels along all road and lane frontages, and upgrade as required.
- (4) Complete the following frontage improvements as per Transportation's requirements:
 - (a) Remove existing sidewalk and replace with a new 1.5 m wide concrete sidewalk at the property line and a new minimum 1.5 m wide boulevard with street trees;
 - (b) Removal of existing driveways and replacement with concrete barrier curb/gutter and frontage works as described above; and
 - (c) Construct a new driveway crossing to the development site to provide right-in/right-out access only.

General Items:

a) At Developer's cost, the Developer is required to:

- (1) Provide, prior to start of site preparation works or within the first servicing agreement submission, whichever comes first, a preload plan and geotechnical assessment of preload, dewatering, and soil preparation impacts on the existing utilities fronting the development site and provide mitigation recommendations.
- (2) Provide a video inspection report of the adjacent existing storm and sanitary sewers prior to start of site preparation works or within the first servicing agreement submission, whichever comes first. A follow-up video inspection, complete with a civil engineer's signed and sealed recommendation letter, is required after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) to assess the condition of the existing utilities and provide recommendations to retain, replace, or repair. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced or repaired at the Developer's cost.

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- (3) Conduct pre- and post-preload elevation surveys of all surrounding roads, utilities, and structures. Any damage, nuisance, or other impact to be repaired at the developer's cost. The post-preload elevation survey shall be incorporated within the servicing agreement design.
 - (4) Monitor the settlement at the adjacent utilities and structures during pre-loading, dewatering, and soil preparation works per a geotechnical engineer's recommendations, and report the settlement amounts to the City for approval.
 - (5) Submit a proposed strategy at the building permit stage for managing excavation de-watering. Note that the City's preference is to manage construction water onsite or by removing and disposing at an appropriate facility. If this is not feasible due to volume of de-watering, the Developer will be required to apply to Metro Vancouver for a permit to discharge into the sanitary sewer system. If the sanitary sewer does not have adequate capacity to receive the volume of construction water, the Developer will be required to enter into a de-watering agreement with the City to discharge treated construction water to the storm sewer system.
 - (6) Not encroach into City rights-of-ways with any proposed trees, retaining walls, or other non-removable structures.
 - (7) Coordinate the servicing agreement design for this development with the servicing agreement(s) for the adjacent development(s), both existing and in-stream (if applicable). The developer's civil engineer shall submit a signed and sealed letter with each servicing agreement submission confirming that they have coordinated with civil engineer(s) of the adjacent project(s) and that the servicing agreement designs are consistent. The City will not accept the 1st submission if it is not coordinated with the adjacent developments. The coordination letter should cover, but not be limited to, the following:
 - (a) Corridors for City utilities (existing and proposed water, storm sewer, sanitary and DEU) and private utilities.
 - (b) Pipe sizes, material and slopes.
 - (c) Location of manholes and fire hydrants.
 - (d) Road grades, high points and low points.
 - (e) Alignment of ultimate and interim curbs.
 - (f) Proposed street lights design.
 - (8) Enter into, if required, additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
 3. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
 4. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the

Initial: _____

Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 20-919145

To the Holder: Jonathan King
Property Address: 4571, 4591 and 4611/4631 Steveston Highway
Address: 181 Pinewood Avenue
Toronto, Ontario, M6C 2V6

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the front yard setback along Steveston Highway from 6.0 m to 4.50 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #35 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$545,003.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 20-919145

To the Holder: Jonathan King
Property Address: 4571, 4591 and 4611 Steveston Highway
Address: 181 Pinewood Avenue
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8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. _____
DAY OF _____, _____.

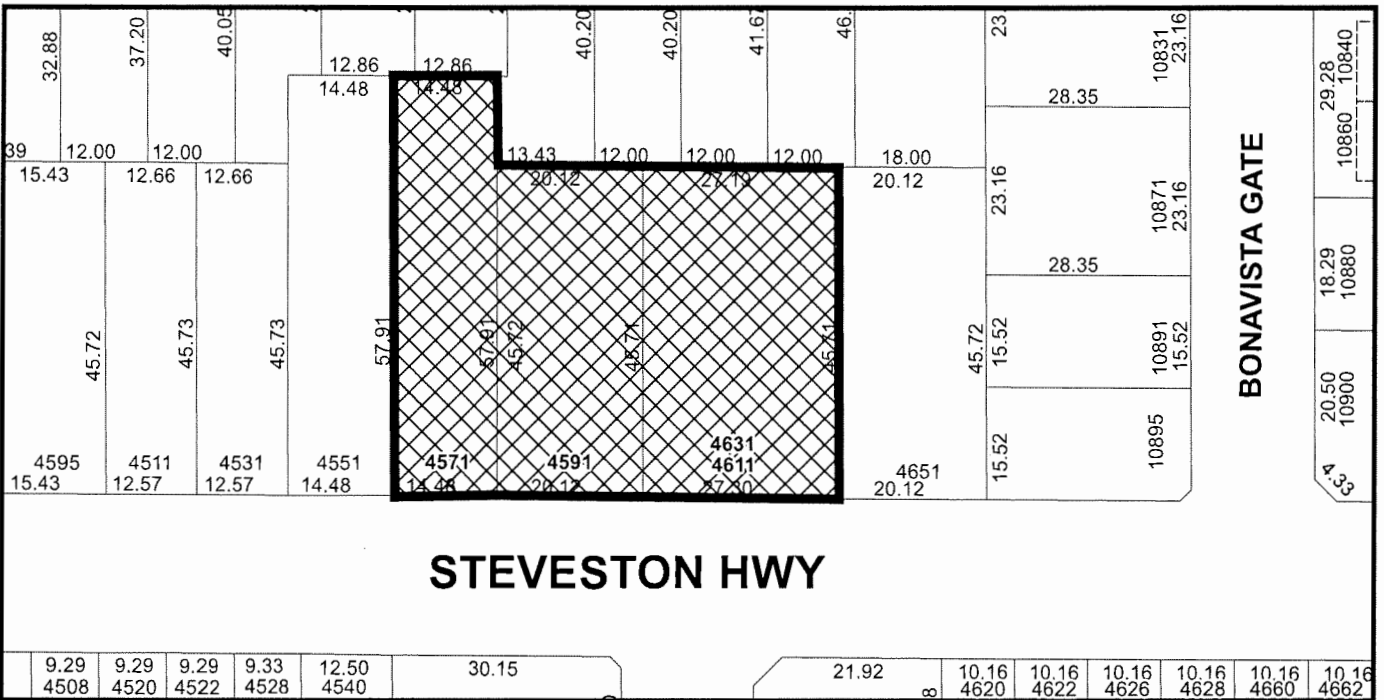
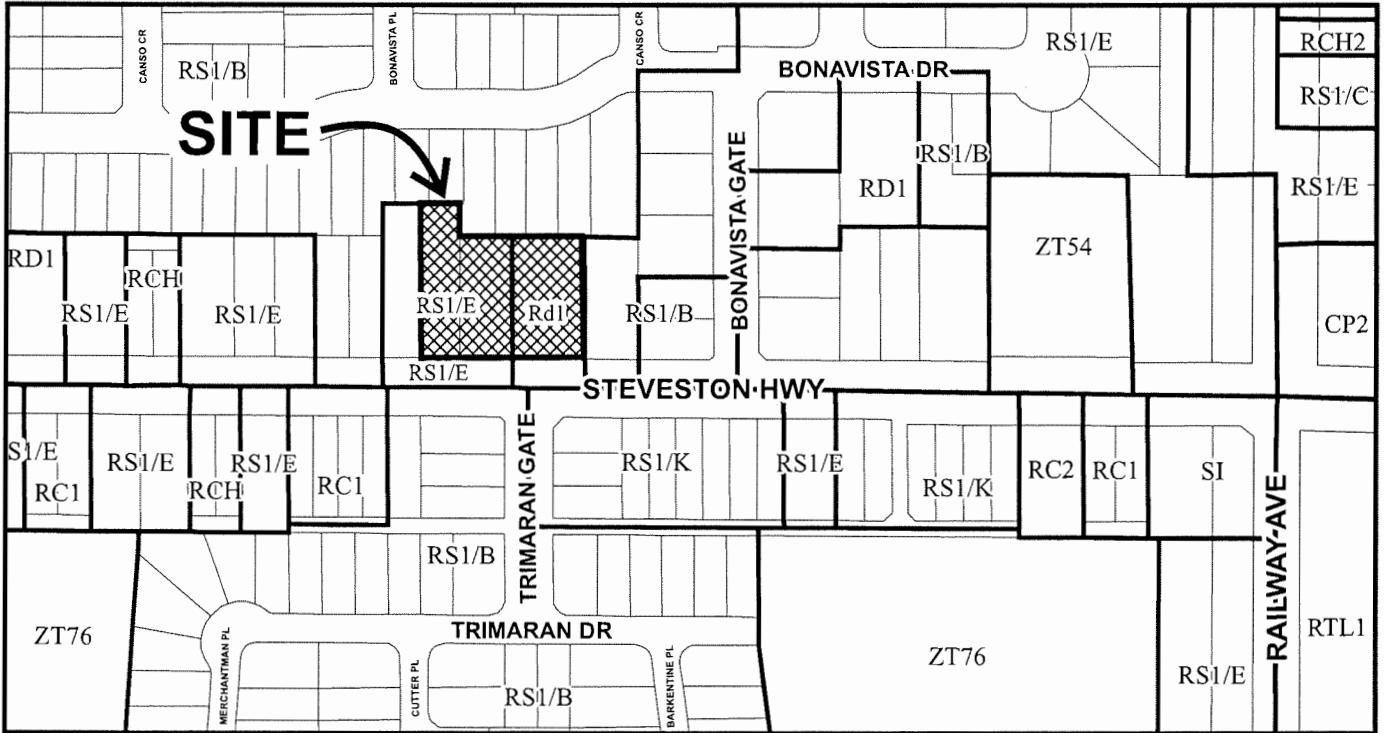
ISSUED BY THE COUNCIL THE

DELIVERED THIS _____ DAY OF _____, _____.

MAYOR



City of Richmond

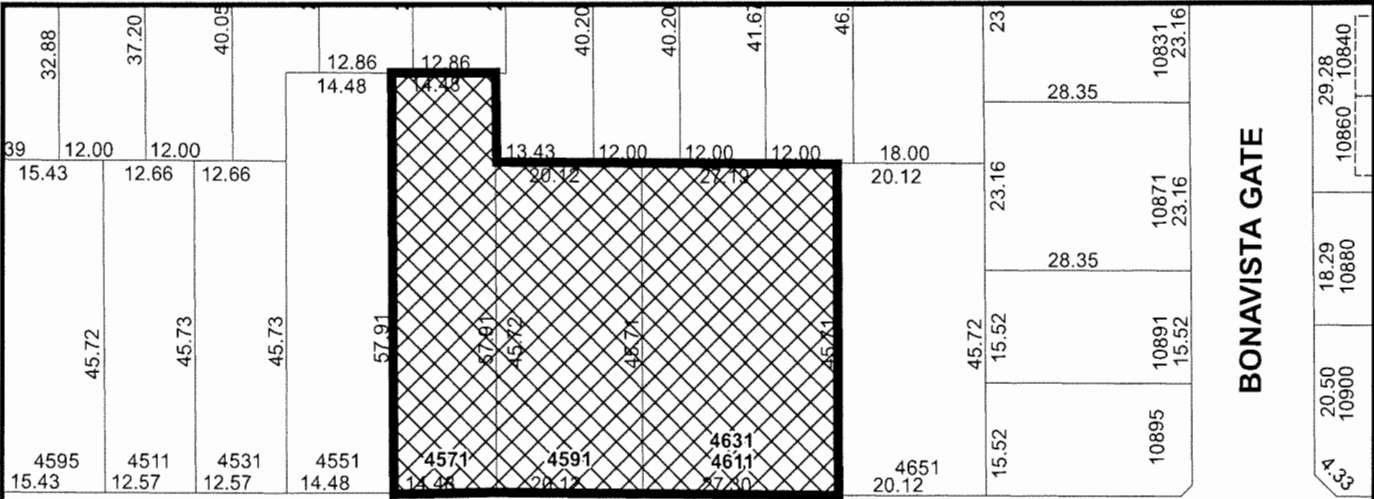
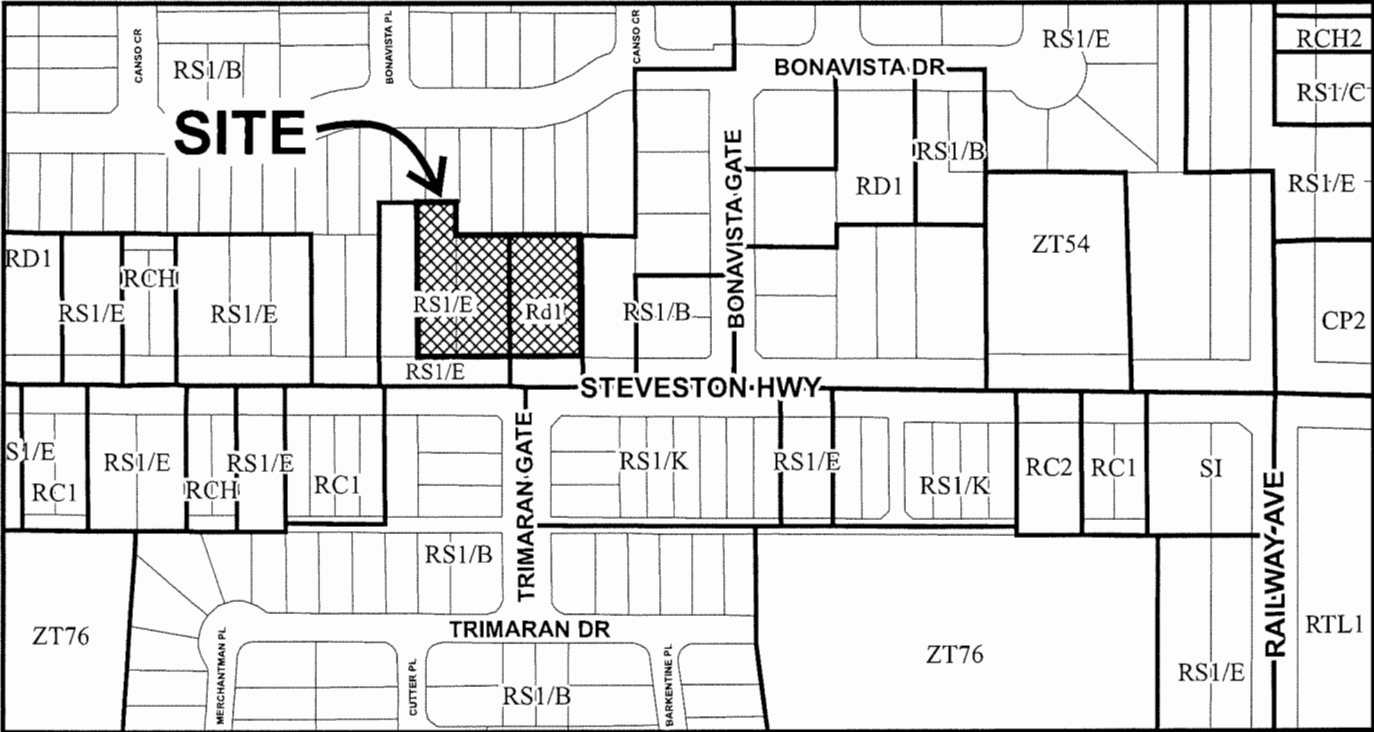


DP 20-919145
SCHEDULE "A"

Original Date: 12/09/20
 Revision Date:
 Note: Dimensions are in METRES



City of Richmond



STEVESTON HWY

9.29 4508	9.29 4520	9.29 4522	9.33 4528	12.50 4540	30.15	21.92	10.16 4620	10.16 4622	10.16 4626	10.16 4628	10.16 4660	10.16 4662
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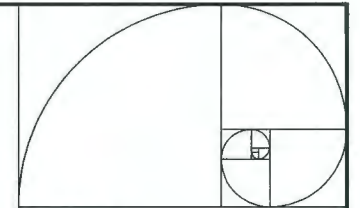


DP 20-919145

Original Date: 12/09/20

Revision Date:

Note: Dimensions are in METRES



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Issued	By	Appd.	(1) MM/00

TOWNHOUSE DEVELOPMENT (DP 20-919145)
4571, 4591, 4611 STEVESTON HIGHWAY, RICHMOND, BC
 ISSUED FOR DP RESUBMISSION 2023-12-12

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 HOMING LANDSCAPE ARCHITECTURE
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 ACL GROUP ARBORTECH CONSULTING
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 J.C.TAM & ASSOCIATES
 PROFESSIONAL LAND SURVEYORS
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 CONTACT: JOHNSON TAM, B.C.L.S.
 TEL: 604-214-8928
 E-MAIL: OFFICE@JCTAM.COM

DRAWING LIST

ARCHITECTURAL:

A0.0 COVER SHEET	A1.1 SITE SURVEY PLAN	A3.0 COLOR SCHEME DESIGN RATIONALE
A0.11 COLOR RENDERING - BIRD-EYE VIEWS	A1.2 SITE PLAN	A3.1 CONTEXT / RUNNING ELEVATIONS
A0.12 COLOR RENDERING - BIRD-EYE VIEWS	A1.3 FIRE FIGHTING PLAN	A3.2 BUILDING A ELEVATIONS
A0.13 COLOR RENDERING - BIRD-EYE VIEWS	A1.4 PARKING PLAN	A3.3 BUILDING B ELEVATIONS
A0.21 COLOR RENDERING - EYE LEVEL VIEWS	A1.5 PRIVATE OUTDOOR ARE & OUTDOOR AMENITY AREA OVERLAY	A3.4 BUILDING C ELEVATIONS
A0.22 COLOR RENDERING - EYE LEVEL VIEWS	A1.6 SITE COVERAGE AREA OVERLAY (BUILDING & PORCH)	A3.5 BUILDING D ELEVATIONS
A0.23 COLOR RENDERING - EYE LEVEL VIEWS	A1.7 DEVELOPMENT POTENTIAL PLAN	A3.6 BUILDING E ELEVATIONS
A0.3 PROJECT DATA & STATISTICS	A1.8 DRAFT S.R.W. PLAN	A4.1 BUILDING SECTIONS
A0.4 SITE CONTEXT AERIAL IMAGE		
A0.5 SITE CONTEXT IMAGES	A2.1 BLDG A FLOOR PLANS	A5.1 CONVERTIBLE UNIT 12 & 14 PLANS
A0.6 SITE CONTEXT PLAN/STREESCAPE ELEVATION	A2.1A BLDG A AREA OVERLAY	
A0.7 SHADOW ANALYSIS	A2.2 BLDG B FLOOR PLANS	
A0.8 SHADOW ANALYSIS	A2.2A BLDG B AREA OVERLAY	
A0.9 COLOR SAMPLE MATERIAL BOARD	A2.3 BLDG C ,D & E FLOOR PLANS	
	A2.3A BLDG C ,D & E AREA OVERLAY	



Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY,
 RICHMOND, BC (DP 20-919145)

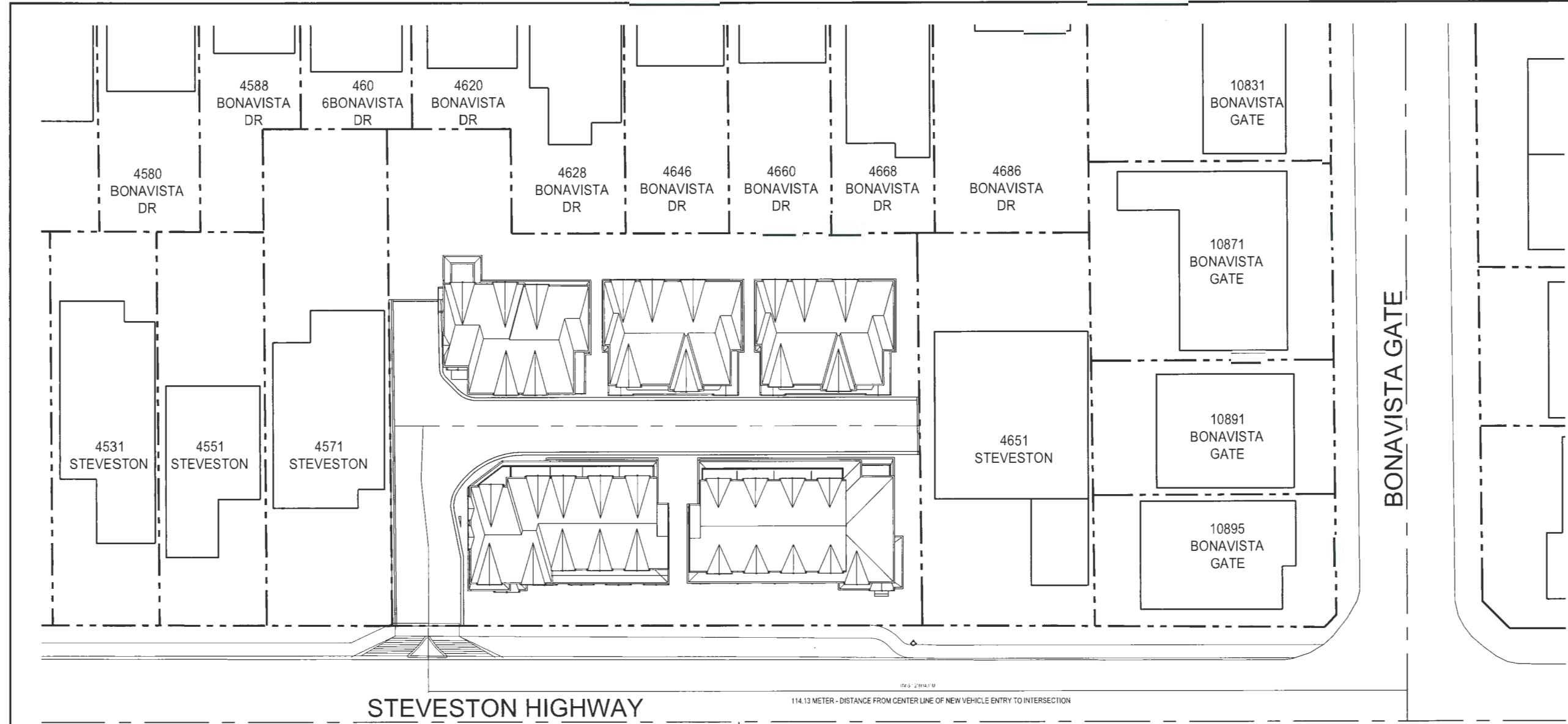
Title
COVER PAGE

Project No. Scale
#8217 N.T.S.

Drawing No. Sheet of Revision
A 0.0

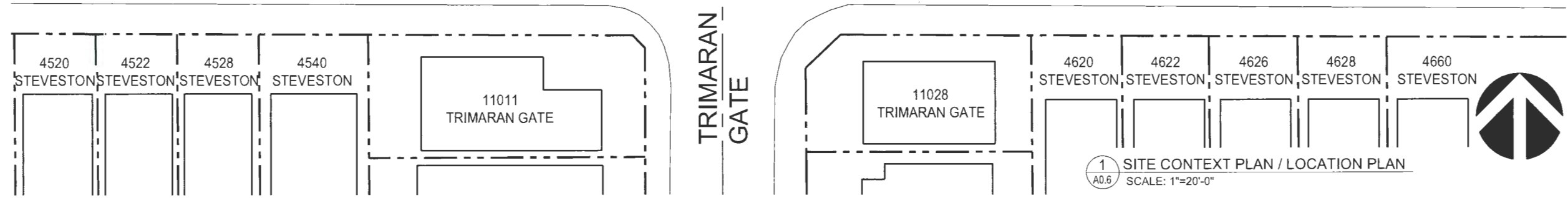
DP 20-919145 PLAN #1

December 18, 2023



STEVESTON HIGHWAY

114.13 METER - DISTANCE FROM CENTER LINE OF NEW VEHICLE ENTRY TO INTERSECTION



1 SITE CONTEXT PLAN / LOCATION PLAN
SCALE: 1"=20'-0"



2 STEVESTON HIGHWAY STREETScape ELEVATION
SCALE: 1"=20'-0"

DP 20-919145

PLAN #3

December 18, 2023

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Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
SITE CONTEXT PLAN
STREETScape ELEVATION

Project No. #8217 Scale 1"=20'-0"

Drawing No. Sheet Revision

A 0.6



BUILDING A
SOUTH ELEVATION

BUILDING B
SOUTH ELEVATION



BUILDING B
NORTH ELEVATION

BUILDING A
NORTH ELEVATION



BUILDING E
SOUTH ELEVATION

BUILDING D
SOUTH ELEVATION

BUILDING C
SOUTH ELEVATION



BUILDING C
NORTH ELEVATION

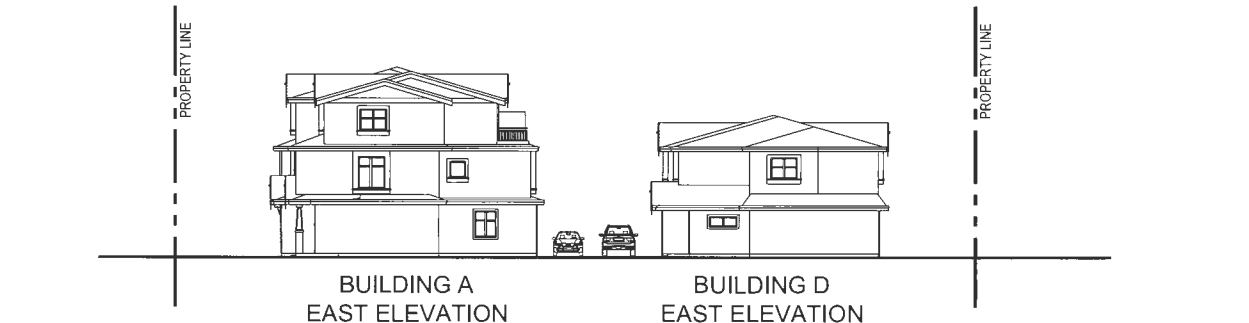
BUILDING D
NORTH ELEVATION

BUILDING E
NORTH ELEVATION



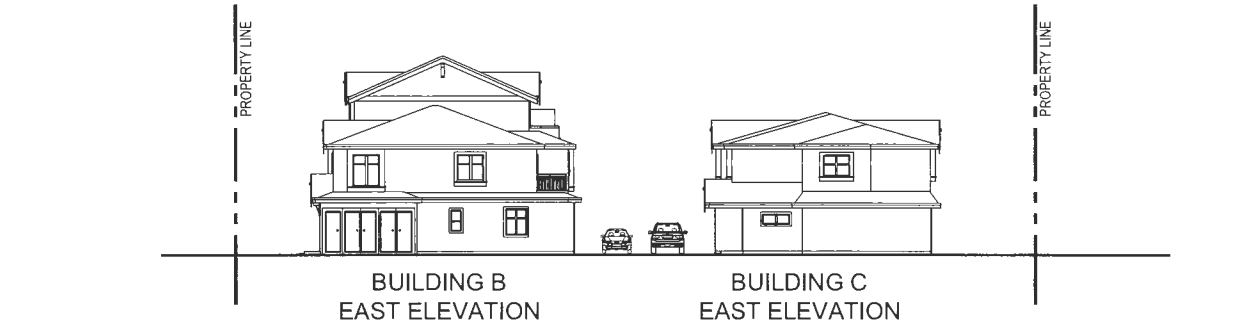
BUILDING E
WEST ELEVATION

BUILDING A
WEST ELEVATION



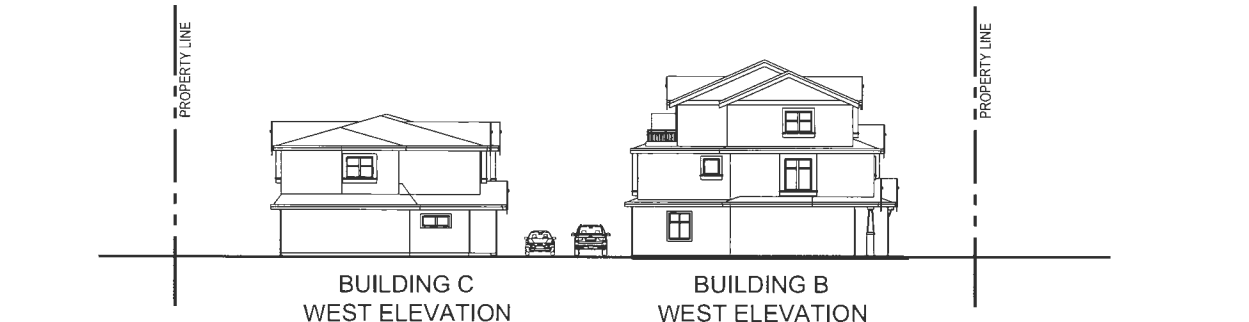
BUILDING A
EAST ELEVATION

BUILDING D
EAST ELEVATION



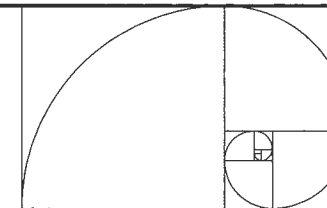
BUILDING B
EAST ELEVATION

BUILDING C
EAST ELEVATION



BUILDING C
WEST ELEVATION

BUILDING B
WEST ELEVATION



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Issued	By	Appr	MM/EE



Client/Project
STEVESTON HWY TOWNHOUSE
DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY,
RICHMOND, BC (DP 20-919145)

Title
CONTEXT / RUNNING ELEVATIONS

Project No. #8217 Scale 1/16"=1'-0"
Drawing No. Sheet of Revision

A 3.0 of

Average Grading Calculation

Points	Location	Existing Grade	Proposed Grade
1	at Southeast	1.80 Meter	1.66 Meter
2	at Southeast	1.58 Meter	1.58 Meter
3	at North East	1.07 Meter	1.07 Meter
4	at North East	0.95 Meter	0.95 Meter
5	at North East 2	1.04 Meter	1.04 Meter
6	at North East 3	0.92 Meter	0.92 Meter
7	at Building A Southeast	1.97 Meter	1.97 Meter
8	at Building A North East	1.97 Meter	1.97 Meter
9	at Building A North East	1.97 Meter	1.97 Meter
10	at Building A Southeast	1.97 Meter	1.97 Meter
11	at Building B Southeast	1.97 Meter	1.97 Meter
12	at Building B North East	1.97 Meter	1.97 Meter
13	at Building B North East	1.97 Meter	1.97 Meter
14	at Building B Southeast	1.97 Meter	1.97 Meter
15	at Building C Southeast	1.97 Meter	1.97 Meter
16	at Building C North East	1.97 Meter	1.97 Meter
17	at Building C North East	1.97 Meter	1.97 Meter
18	at Building C Southeast	1.97 Meter	1.97 Meter
19	at Building 3 Southeast	1.97 Meter	1.97 Meter
20	at Building 3 North East	1.97 Meter	1.97 Meter
21	at Building 3 North East	1.97 Meter	1.97 Meter
22	at Building 3 Southeast	1.97 Meter	1.97 Meter
23	at Building E Southeast	1.97 Meter	1.97 Meter
24	at Building E North East	1.97 Meter	1.97 Meter
25	at Building E North East	1.97 Meter	1.97 Meter
26	at Building E North East	4.32 Meter	4.32 Meter
27	at Building E North East	3.81 Meter	3.81 Meter

A STATUARY RIGHT-OF-WAY OVER THE ENTIRE VEHICLE DRIVE AISLE IS TO BE REGISTERED FOR PUBLIC RIGHT-OF-PASSAGE. INTERNAL DRIVEWAY INCLUDING PAVED SHARED PEDESTRIAN WALKWAY TO BE ENGINEERED TO SUPPORT 80000 LB OF LOAD

LANDSCAPE BUFFER

TWO LEVEL 2 EV CHARGER PER UNIT, CHARGING METHOD IS DEFINED AS: VOLTAGE OF 208V TO 240V AC; AND CURRENT OF 16A TO 80A, SEE ELECT.

Ground Floor Interior Elevation Calculation

Highest Point of Crown of adjacent Street	1.87 Meter
Flood Protection Requirements for L1 Living Space	0.3 Meter
Established L1 Interior elevation for Living Space	2.17 Meter

VARIANCE REQUIRED:

TO ALLOW 4.57 M FRONT YARD SETBACK TO COMPLY WITH RECOMMENDATION IN OCP DESIGN GUIDELINE

GENERAL NOTES:

- AGING IN PLACE FEATURES SUCH AS 'STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER' AND 'LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES' WILL BE PROVIDED IN ALL UNITS.
- UNIT 12 & 14 ARE CONVERTIBLE UNITS.
- UNIT 16 CONTAINS A LOCK-OFF UNIT.
- THE PROJECT WILL COMPLY WITH STEP CODE 3 REQUIREMENTS FOR ENERGY EFFICIENCY. REFER TO ENERGY REPORT DATED JANUARY 17, 2022 ISSUED BY JRS ENGINEERING FOR MORE INFORMATION. BELOW ARE SOME ENERGY EFFICIENCY FEATURES TO BE PROVIDED IN THIS PROJECT:
 (A): AIR SOURCE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM
 (B): SOLAR HOT WATER READY REQUIREMENT
 (C): ENERGY STAR APPLIANCES AND LIGHT BULBS
 (D): LOW E DOUBLE GLAZING WINDOWS
 (E): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
 5. AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

TIMBER RETAINING WALL & STEPS OUTSIDE OF SRW AND TPZ. SEE LANDSCAPE (TYP.)

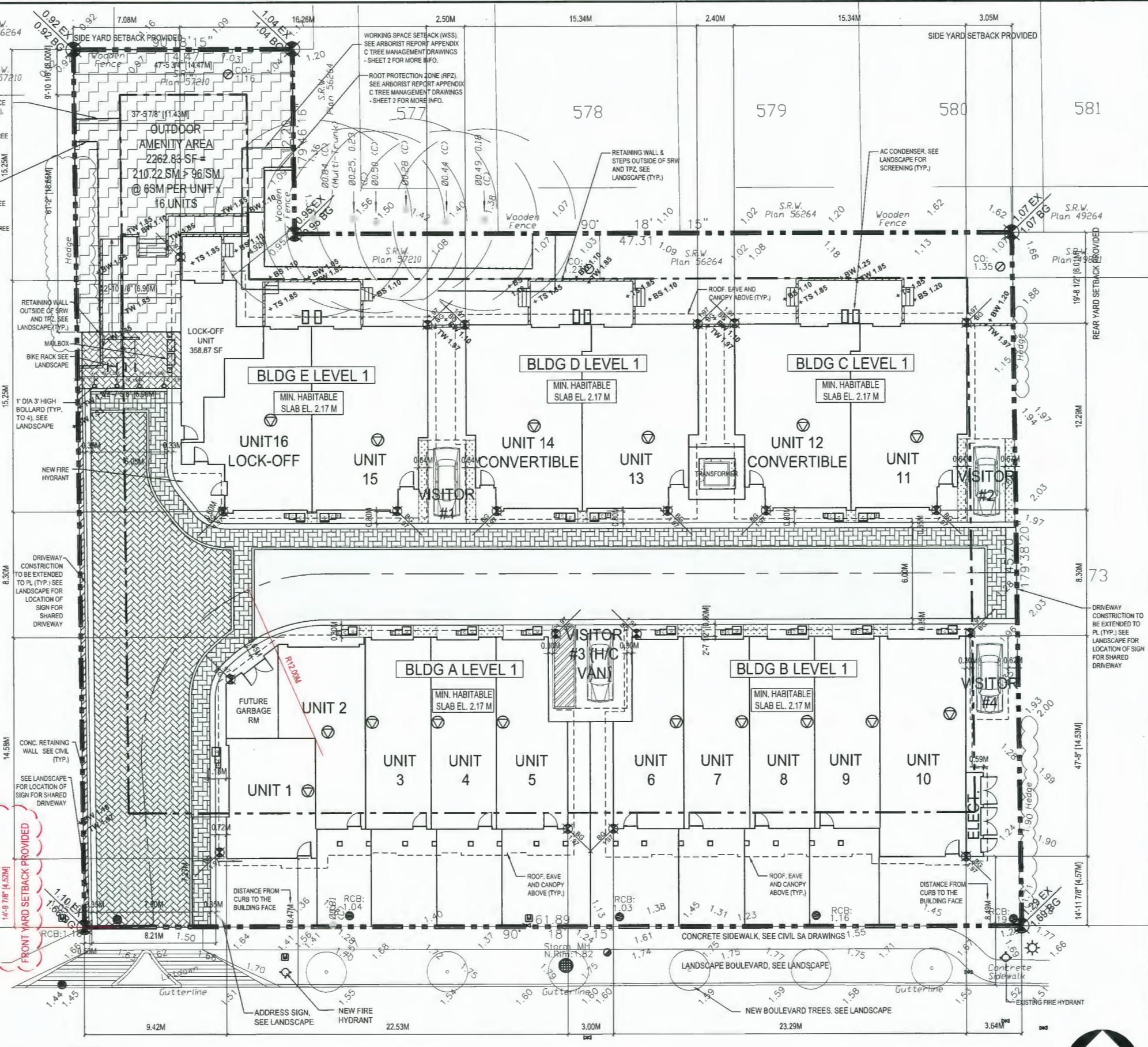
CONDENSER W/ PHYSICAL SCREENS SEE LANDSCAPE (TYP.)

CONDENSER LOCATION NOTES: BUILDINGS A & B: TO BE LOCATED ON OPEN BALCONIES BUILDINGS C, D & E: TO BE LOCATED IN PRIVATE YARDS OUTSIDE OF THE REAR SETBACKS

CONC. RETAINING WALL SEE CIVIL (TYP.)

SEE LANDSCAPE FOR LOCATION OF SIGN FOR SHARED DRIVEWAY

- 120L GARBAGE CART 21.16"D X 19.13"W X 37.63"H (OR POTENTIALLY 22.30"D X 22.80"W X 38.20"H)
- 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.28MW
- BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
- GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
- YELLOW PAPER BAG CART 0.66MH X 0.46MD



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Issued By: J.Z. / J.K. / K.L. / J.M. / D.C.

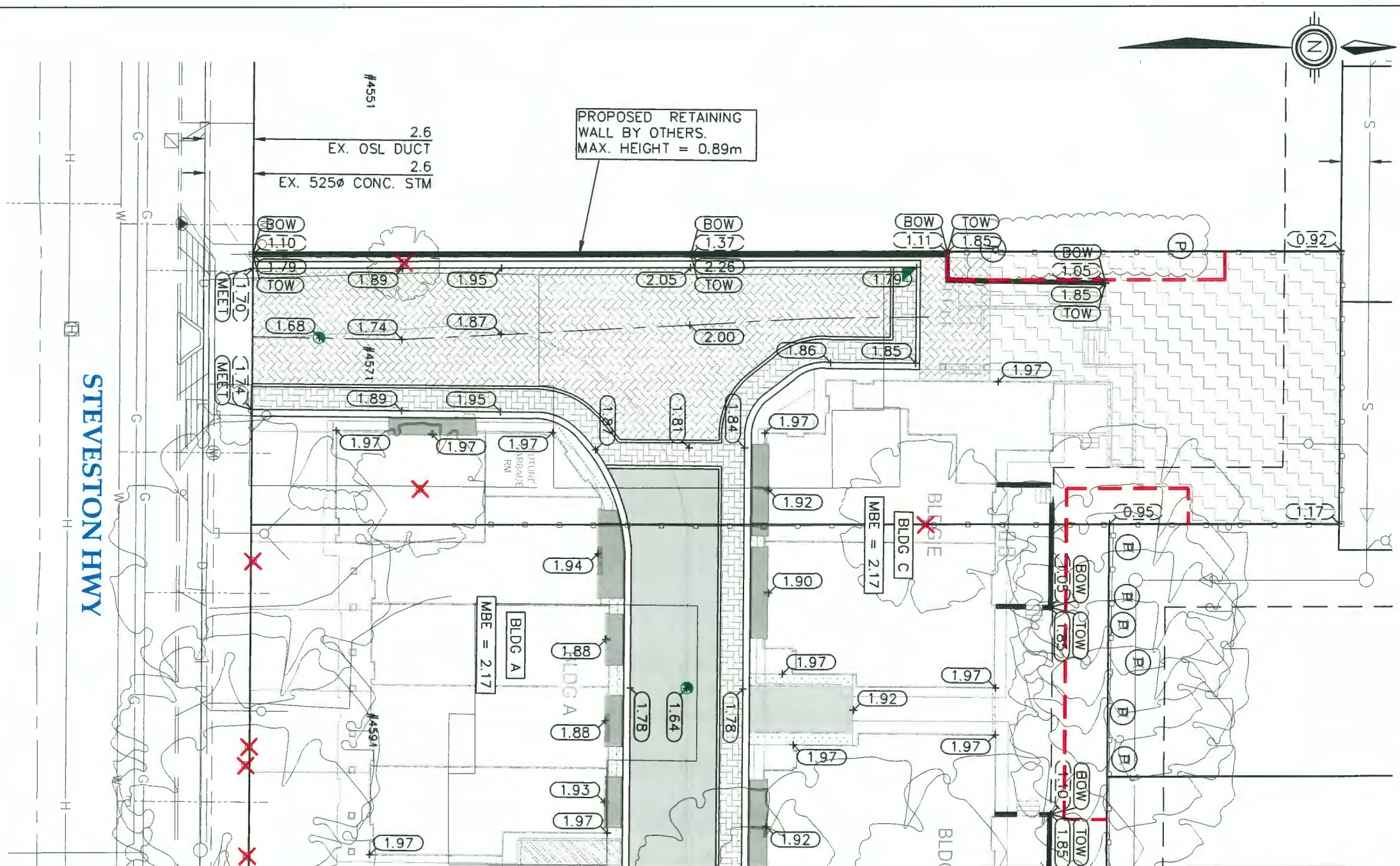
REGISTERED ARCHITECT
 JIANG ZHU
 2023-12-12
 BRITISH COLUMBIA

Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
SITE PLAN

Project No. #8217 Scale 3/32"=1'-0"

Drawing No. A 1.2 Sheet Revision



LEGEND	
	TREE TO BE REMOVED
	TREE TO BE PRESERVED
	TREE PROTECTION FENCE

PLAN
SCALE: 1:250

City of Richmond
6911 No. 3 ROAD RICHMOND B.C. V6Y 2C1

CoreConcept CONSULTING LTD.
tel : 604.249.5040
fax: 604.249.5041
#220-2639 Viking Way, Richmond, BC, V6V 3B7
www.coreconcept.com

JONATHAN KING

DP 20-919145
DWG. 101-2

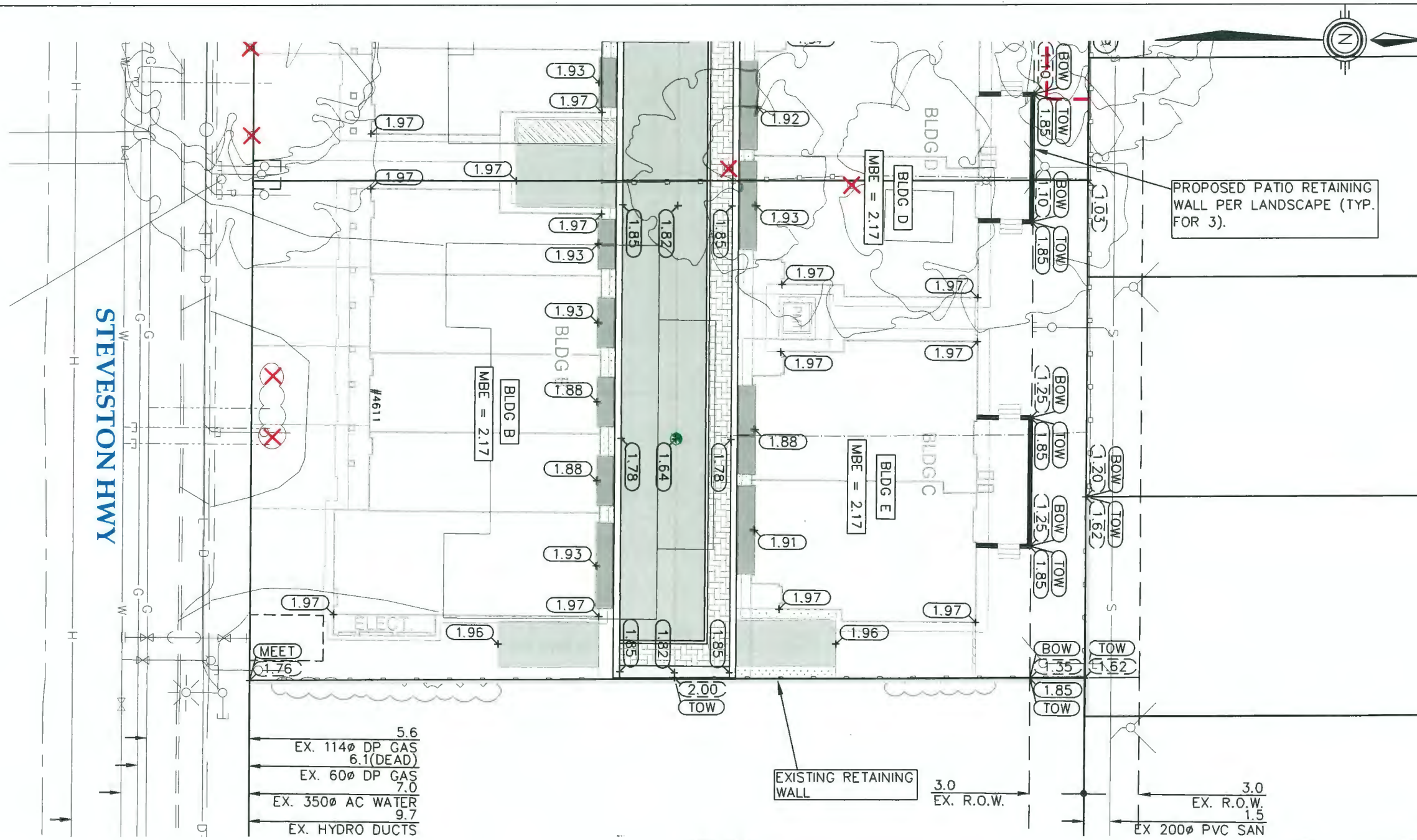
NO.	DATE	BY	CHK.	DESCRIPTION
2.	01 DEC 2023	JMB	TS	ISSUED FOR DP RE-SUBMISSION
1.	26 AUG 2022	AR	TS	ISSUED FOR DP RE-SUBMISSION
0.	21 JAN 2022	AR	TS	ISSUED FOR DP RE-SUBMISSION

REVISIONS

PLAN #6

December 18, 2023

TITLE: LOT GRADING PLAN	
4571, 4591, 4611 STEVESTON HWY	
CITY FILE:	
DESIGN: AR	DWG. No.:
DRAWN: GG	SCALE: 1 : 250
ENGINEER: RF	DATE: JAN 2019
SEC. No.: 35-4-7	SHT No.: 1 OF 2



PLAN
SCALE: 1:250

LEGEND	
	TREE TO BE REMOVED
	TREE TO BE PRESERVED
	TREE PROTECTION FENCE



CoreConcept CONSULTING LTD.
 tel : 604.249.5040
 fax : 604.249.5041
 #220-2639 Viking Way, Richmond, BC, V6V 3B7
 www.coreconcept.com

JONATHAN KING

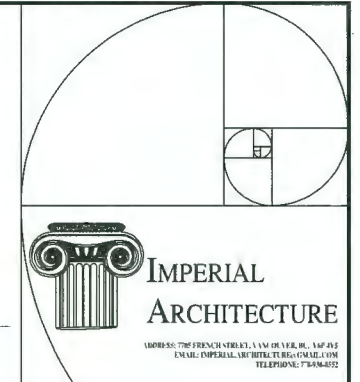
DP 20-919145

NO.	DATE	BY	CHK.	DESCRIPTION
2.	01 DEC 2023	JMB	TS	ISSUED FOR DP RE-SUBMISSION
1.	26 AUG 2022	AR	TS	ISSUED FOR DP RE-SUBMISSION
0.	21 JAN 2022	AR	TS	ISSUED FOR DP RE-SUBMISSION
REVISIONS				

PLAN #7

December 18, 2023

TITLE:		LOT GRADING PLAN	
		4571, 4591, 4611 STEVESTON HWY	
		CITY FILE:	
DESIGN:	AR	DWG. No.:	
DRAWN:	GG	SCALE:	1 : 250
ENGINEER:	RF	DATE:	JAN 2019
		SEC. No.:	35-4-7
		SHT No.:	2 OF 2



ARCHITECTURE
 INTERIOR
 DESIGN
 PLANNING

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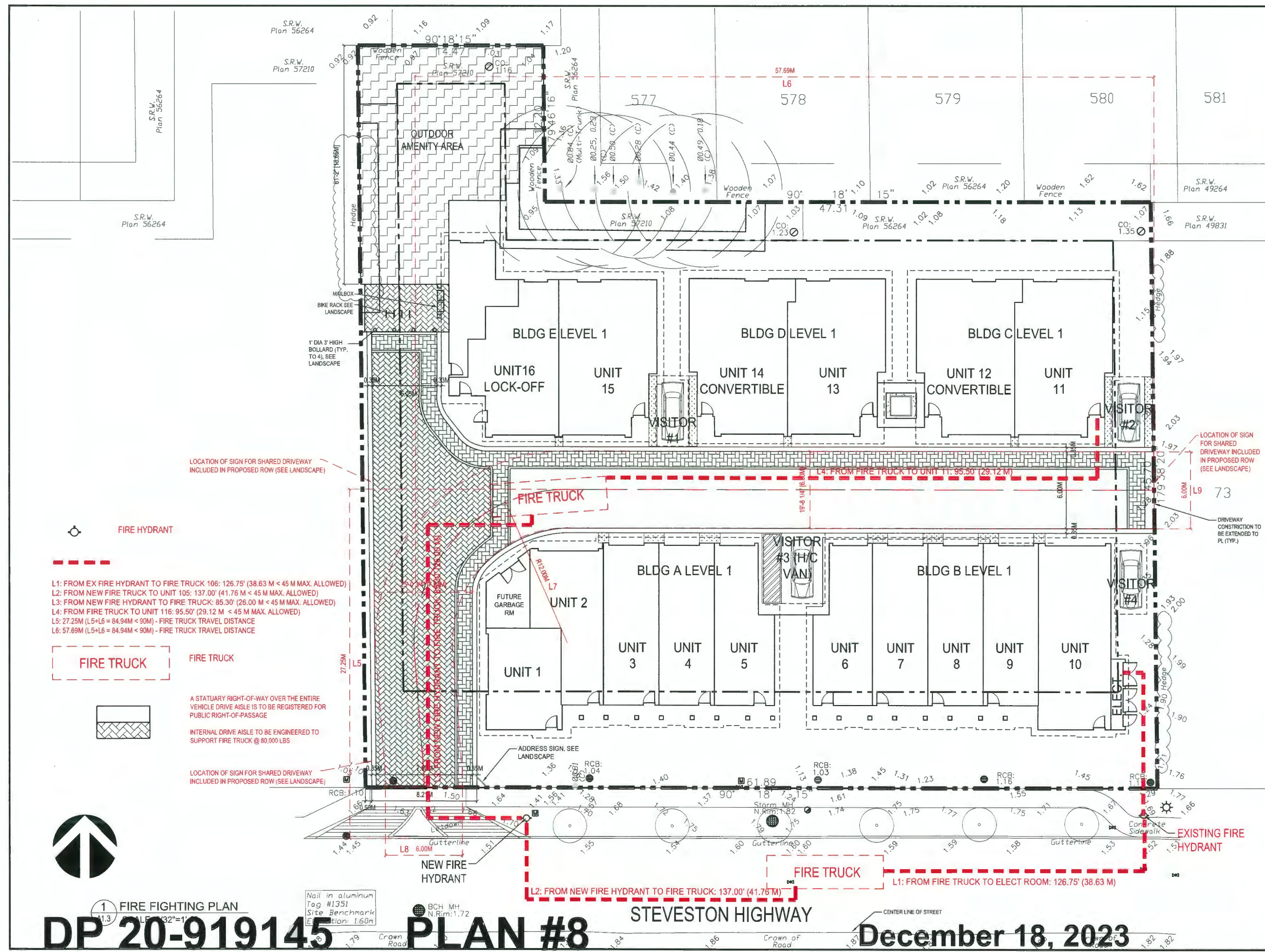
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ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.12.05
ISSUED FOR DP REVIEW	J.Z.	J.K.	23.09.29
ISSUED FOR DP REVIEW	J.Z.	J.K.	23.07.10
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.03.03
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.01.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.09.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.01.21
ISSUED FOR DP APPLICATION	J.Z.	J.K.	20.11.23
ISSUED FOR REDDING RESUBMISSION	J.Z.	K.L.	19.08.16
ISSUED FOR REDDING RESUBMISSION	J.Z.	K.L.	19.07.17
ISSUED FOR REDDING APPLICATION	J.Z.	K.L.	18.10.22
Issued	By	Appd.	(1) MM/CC



Client/Project
 STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY,
 RICHMOND, BC (DP 20-919145)

Title
 FIRE FIGHTING PLAN

Project No. #8217 Scale 3/32"=1'-0"
 Drawing No. A 1.3 Sheet of Revision



- L1: FROM EX FIRE HYDRANT TO FIRE TRUCK 106: 126.75' (38.63 M < 45 M MAX. ALLOWED)
- L2: FROM NEW FIRE TRUCK TO UNIT 105: 137.00' (41.76 M < 45 M MAX. ALLOWED)
- L3: FROM NEW FIRE HYDRANT TO FIRE TRUCK: 85.30' (26.00 M < 45 M MAX. ALLOWED)
- L4: FROM FIRE TRUCK TO UNIT 116: 95.50' (29.12 M < 45 M MAX. ALLOWED)
- L5: 27.25M (L5+L6 = 84.94M < 90M) - FIRE TRUCK TRAVEL DISTANCE
- L6: 57.69M (L5+L6 = 84.94M < 90M) - FIRE TRUCK TRAVEL DISTANCE

FIRE TRUCK

FIRE TRUCK

A STATUARY RIGHT-OF-WAY OVER THE ENTIRE VEHICLE DRIVE AISLE IS TO BE REGISTERED FOR PUBLIC RIGHT-OF-PASSAGE

INTERNAL DRIVE AISLE TO BE ENGINEERED TO SUPPORT FIRE TRUCK @ 80,000 LBS

LOCATION OF SIGN FOR SHARED DRIVEWAY INCLUDED IN PROPOSED ROW (SEE LANDSCAPE)



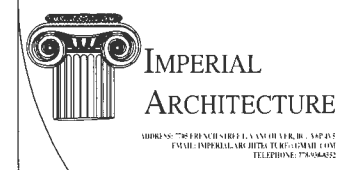
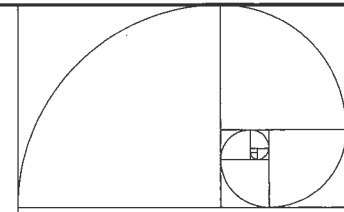
1 FIRE FIGHTING PLAN
 DP 20-919145

Nail in aluminum tag #1351
 Site Benchmark
 Elevation: 1.60M

PLAN #8

STEVESTON HIGHWAY

December 18, 2023



ARCHITECTURE
INTERIOR
DESIGN
PLANNING

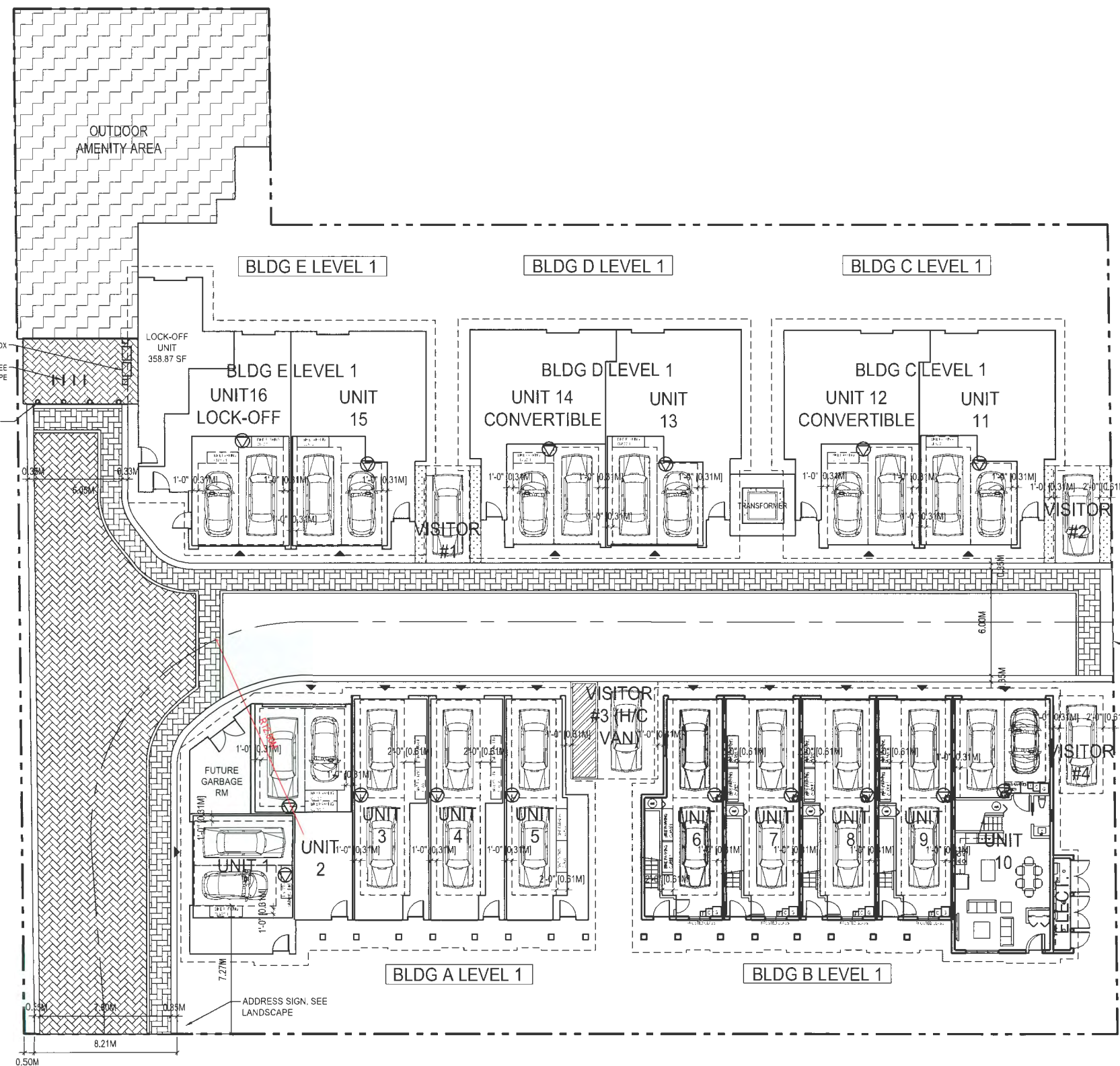
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Dimensions

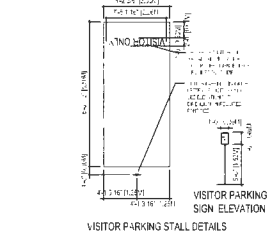
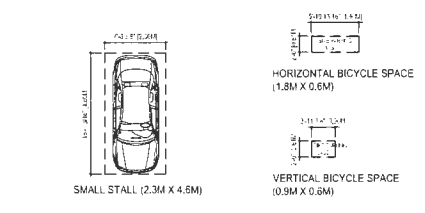
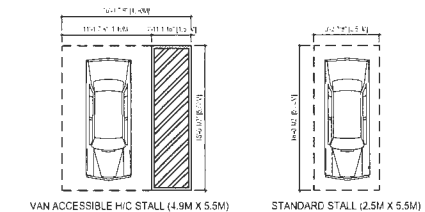
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ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.12.12
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.12.11
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.12.09
ISSUED FOR DP REVIEW	J.Z.	J.K.	23.09.29
ISSUED FOR ADP REVIEW	J.Z.	J.K.	23.07.10
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.03.03
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.01.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.09.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.07.21
ISSUED FOR DP APPLICATION	J.Z.	J.P.	20.11.23
ISSUED FOR NEEDING RE-SUBMISSION	J.Z.	P.L.	18.08.16
ISSUED FOR NEEDING RE-SUBMISSION	J.Z.	P.L.	18.07.17
ISSUED FOR NEEDING APPLICATION	J.Z.	P.L.	18.10.22
Issued	By	Appr	11 MM CC



LEGEND

- A STATUARY RIGHT-OF-WAY OVER THE ENTIRE VEHICLE DRIVE AISLE IS TO BE REGISTERED FOR PUBLIC RIGHT-OF-PASSAGE
- LANDSCAPE BUFFER



TWO LEVEL 2 EV CHARGER PER UNIT
CHARGING METHOD IS DEFINED AS:
VOLTAGE OF 208V TO 240V AC; AND
CURRENT OF 16A TO 80A. SEE ELECT.



DP 20-919145

1 PARKING PLAN
A1.4 SCALE: 3/32"=1'-0"

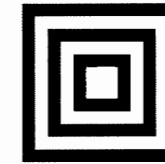
PLAN #9

December 18, 2023

Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY,
RICHMOND, BC (DP 20-919145)

Title
PARKING PLAN

Project No. #8217
Scale 3/32"=1'-0"
Drawing No. A 1.4
Sheet of
Revision



HOMING LANDSCAPE ARCHITECTURE

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CELL: 778-323-3536
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STEVESTON HWY TOWNHOUSE DEVELOPMENT

LANDSCAPE SET: ISSUED FOR ADP COMMENTS

DECEMBER 3, 2023

LANDSCAPE DRAWING INDEX

DRAWING INDEX	
SHEET No.	SHEET NAME
L 0.0	LANDSCAPE COVER SHEET AND DESIGN RATIONALE
L 0.1	LANDSCAPE TREE MANAGEMENT PLAN
L 0.2	LANDSCAPE REPLACEMENT TREE PLAN
L 1.0	LANDSCAPE LAYOUT AND MATERIALS PLAN
L 1.1	LANDSCAPE GRADING PLAN
L 1.2	POROUS SURFACE DIAGRAM
L 1.3	OUTDOOR AMENITY AREA ENLARGEMENT PLAN
L 1.4	LANDSCAPE SECTIONS
L 1.5	FUTURE OUTDOOR AMENITY & TURNAROUND AREA PLAN
L 2.0	LANDSCAPE PLANTING PLAN - NORTH AREA
L 2.1	LANDSCAPE PLANTING PLAN - SOUTH AREA
L 2.2	LANDSCAPE PLANT LIST
L 2.3	DESIGN-BUILD IRRIGATION PLAN
L 3.0	HARDSCAPE DETAILS
L 3.1	FURNISHING DETAILS
L 3.2	FURNISHING DETAILS
L 3.3	FURNISHING DETAILS
L 3.4	SOFTSCAPE DETAILS

GENERAL NOTES

ALL LANDSCAPE ARCHITECTURAL DRAWINGS IN THIS PACKAGE SHALL BE READ IN CONJUNCTION WITH ALL OTHER LANDSCAPE ARCHITECTURAL DRAWINGS, DETAILS, SPECIFICATIONS, AND OTHER CORRESPONDANCE THAT MAY BE ISSUED DURING THE COURSE OF THE CONTRACT.

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THE CONTRACTOR SHALL VISIT THE SITE TO VERIFY THE TRUE EXISTING CONDITIONS. ANY UNCLEAR ISSUES SHALL BE CLARIFIED WITH THE LANDSCAPE ARCHITECT. NO CLAIM SHALL BE ALLOWED FOR EXTRAS WHICH MAY ARISE THROUGH NEGLIGENCE OF THIS ADVICE.

ALL EXISTING INFORMATION IS BASED ON AVAILABLE RECORDS AND SHALL NOT BE CONSTRUED TO BE COMPLETE OR ACCURATE.

LAYOUT OF HARDSCAPE, SITE FURNITURE, SOIL, PLANTING, AND ALL OTHER MATERIALS IS TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

ALL PLANTING SHALL BE IN ACCORDANCE WITH CSLA LANDSCAPE STANDARD, LATEST EDITION.

THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.

HOMING LANDSCAPE ARCHITECTURE INC. DOES NOT GUARANTEE THE EXISTENCE, LOCATION, AND ELEVATION OF UTILITIES OR CONCEALED STRUCTURES AT THE PROJECT SITE.

FINAL SELECTION AND APPROVAL OF ALL STREET TREES TO BE DONE BY THE CITY OF RICHMOND.

LANDSCAPE DESIGN RATIONALE

The site is surrounded by single family houses on the north, west and east sides, and the landscape design intends to ensure the privacy of the adjacent neighbors. Existing hedges along the east property line will be retained and evergreen trees are proposed there to create a dense landscape buffer which addresses any potential privacy and overlook concerns. Evergreen hedges are proposed along the north property line, and a solid 6' high privacy fence with vines is proposed along the west property line. All the landscape elements and design strategies mentioned above will help to protect the privacy of adjacent neighbors.

The landscape design intends to bring nature close to the local residents. Lawn, flower beds, native shrubs, and a mixed of deciduous and evergreen trees are proposed in the front yards along the Steveston Highway, which creates a green buffer between the private houses and the public sidewalk. The raised planters with wood trellis and vines are provided to maximize the planting opportunities in the limited spaces along the internal drive aisle. The raised planters also work as green dividers between the adjacent garages. There are large patios, lawn, planting beds and trees in the backyards of the Units 11 to 16, and the existing trees behind the Units 14 to 16 are also to be retained as the important landscape features and the green background of the houses.

A large outdoor amenity space is located at the northwestern corner of the site which is highly visible from the driveway entry. Three removable bollards are designed at the entry of the outdoor amenity area to stop vehicles and ensure pedestrian's safety. Bike racks and mailbox are also located there for easy access for everyone including the disable. The key program of the outdoor amenity space is a playground with various play elements for children at various ages. A large play structure is proposed in the center of playground to provide active play opportunities such as climbing, jumping, running and sliding for older kids. Stepping stones in planting bed creates a nature play zone where children at various ages can access nature to improve their creativity. Sandbox and mud kitchen are provided to help the children to develop their social and communication skills while they are playing. An existing evergreen hedge is retained on the west and a couple of large trees will be planted on the west and south sides of the playground to provide enough shade for the children and their parents. Two benches are provided for parents to sit and observe their children play. A 6' high privacy fence will be installed around the playground to ensure the children's safety. A multi-functional lawn is provided at the north end of the outdoor amenity space for flexible programs. The playground is designed at the existing grades, and a maximum 10% slope ramp and stair are used to connect the playground with the amenity space entrance. A pedestrian path in different color of pavers is proposed along the north side of internal drive aisle to provide a safe pedestrian access to the outdoor amenity entrance.

Revisions

NO.	Date	Note
1	2022-01-21	ISSUED FOR DP
2	2022-08-19	ISSUED FOR DP
3	2023-01-24	ISSUED FOR DP
4	2023-02-25	ISSUED FOR DP
5	2023-08-23	ISSUED FOR ADP COMMENTS
6	2023-12-03	ISSUED FOR DP

STEVESTON HWY TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: 3/32"=1'0"(1:128)

DRAWN BY: EL

REVIEWED BY: EL

Landscape Cover Sheet & Design Rationale





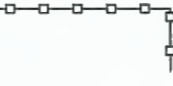
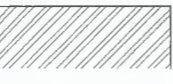

L0.0

DP 20-919145

PLAN #10

December 18, 2023

TREE MANAGEMENT LEGEND

-  EXISTING TREE TO BE RETAINED, REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST
-  EXISTING TREE AND TREE STUMP TO BE REMOVED, REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST, TO BE CONFIRMED PER ARBORIST ON-SITE WITH CITY OF RICHMOND ARBORIST PRIOR TO REMOVAL
-  EXISTING HEDGE TO BE REMOVED REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST, TO BE CONFIRMED PER ARBORIST ON-SITE WITH CITY OF RICHMOND ARBORIST PRIOR TO REMOVAL
-  EXISTING HEDGE TO BE RETAINED, REFER TO ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST
-  TREE PROTECTION FENCING TREE PROTECTION FENCING TO BE INSTALLED PER CITY OF RICHMOND STANDARDS AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST
-  ROOT PROTECTION ZONE, PER CITY OF RICHMOND STANDARDS AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST
-  WORKING SPACE SETBACK - WSS, PER ARBORIST REPORT AND TREE MANAGEMENT PLAN PREPARED BY ARBORIST

TREE MANAGEMENT NOTES

1. DO NOT REMOVE OR RELOCATE ANY TREE, EXCEPT AS INDICATED ON PLANS.
2. DO NOT ALTER EXISTING GRADE OR STORE MATERIALS UNDER THE DRIP LINE OR WITHIN TREE PROTECTION ZONE. EXCAVATION WITHIN DRIP LINES OF TREES ONLY WHERE INDICATED ON PLANS.
3. INFORM ARBORIST WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS AND SUBMIT INSPECTION REPORT TO CITY OF RICHMOND STAFF FOR REVIEW AND APPROVAL PRIOR TO DEMOLITION / MOBILIZATION CONSTRUCTION ACTIVITY.
4. CONTRACTOR TO CONTACT CITY ARBORIST, PROJECT ARBORIST AND LANDSCAPE ARCHITECT 48 HOURS PRIOR TO ANY CONSTRUCTION WORK AFFECTING THE DRIP LINE OF TREES.
5. CONSTRUCTION WORK WITHIN THE DRIP LINES OF TREES SHALL MINIMIZE DISTURBANCE TO TREES AND ROOTS.
6. ALL ROOTS GREATER THAN 2cm IN DIAMETER SHOULD BE HAND PRUNED.
7. ADEQUATELY CARE FOR TREES THROUGHOUT CONSTRUCTION, WATER THE RETAINED TREES REGULARLY.
8. STUMPS TO BE CUT FLUSH TO GRADE AND DUG OUT IF NOTED TO BE REMOVED FROM SITE.

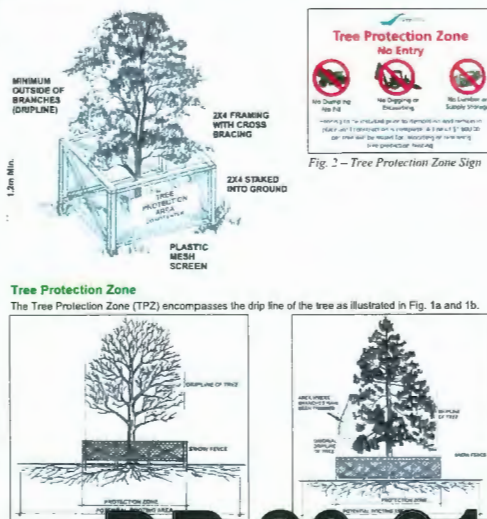
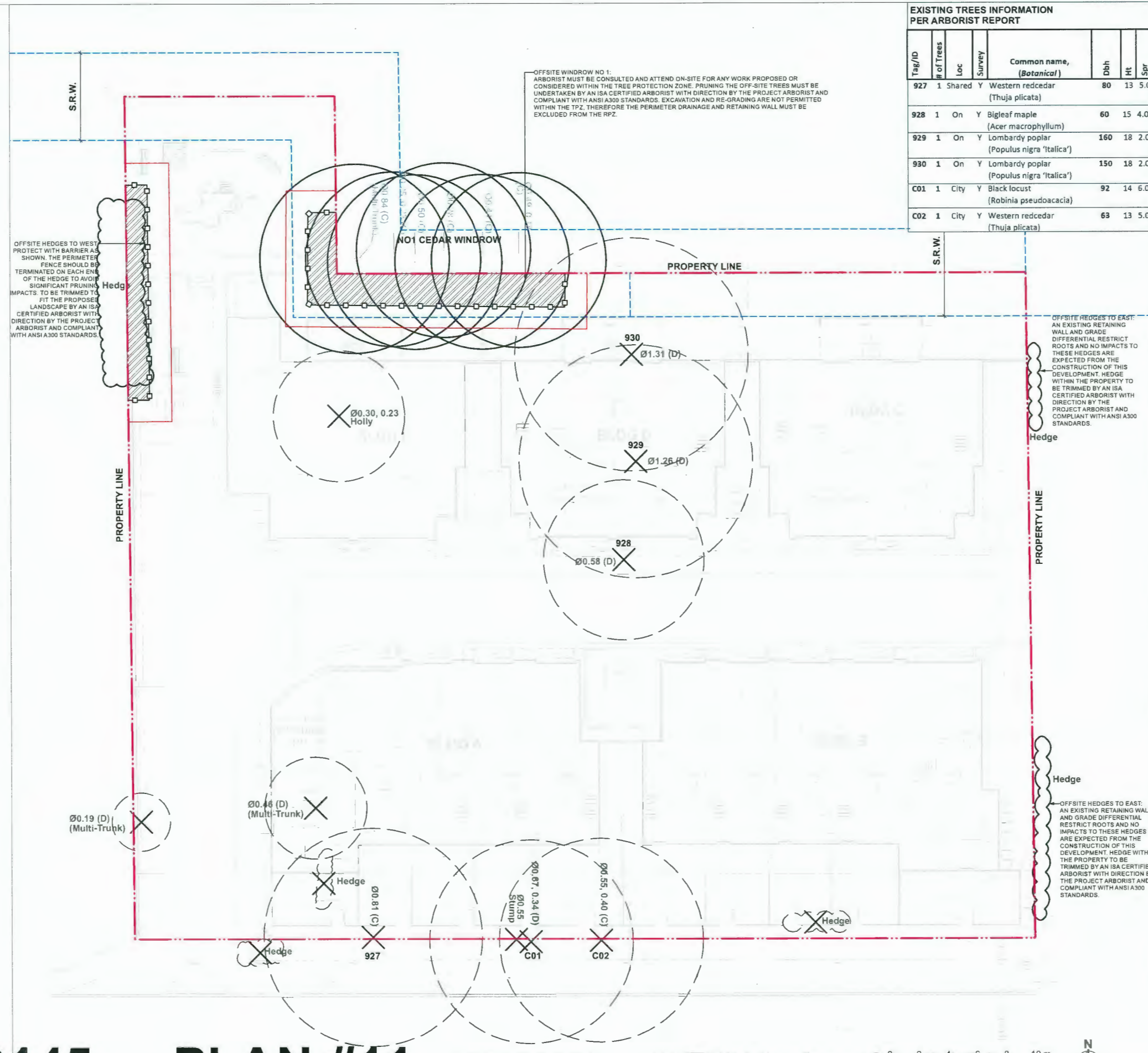


Fig. 1a - Example of...
Fig. 1b - Example of...
Note: If the tree is on the property, the drip line...
Note: If the tree is on the property, the drip line...



EXISTING TREES INFORMATION PER ARBORIST REPORT

Tag/ID	# of Trees	Loc	Survey	Common name, (Botanical)	Dbh	Ht	Spr
927	1	Shared	Y	Western redcedar (Thuja plicata)	80	13	5.0
928	1	On	Y	Bigleaf maple (Acer macrophyllum)	60	15	4.0
929	1	On	Y	Lombardy poplar (Populus nigra 'Italica')	160	18	2.0
930	1	On	Y	Lombardy poplar (Populus nigra 'Italica')	150	18	2.0
C01	1	City	Y	Black locust (Robinia pseudoacacia)	92	14	6.0
C02	1	City	Y	Western redcedar (Thuja plicata)	63	13	5.0



HOMING LANDSCAPE ARCHITECTURE
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Revisions

NO.	Date	Note
1	2022-01-21	ISSUED FOR DP
2	2022-08-19	ISSUED FOR DP
3	2023-01-24	ISSUED FOR DP
4	2023-02-25	ISSUED FOR DP
5	2023-08-23	ISSUED FOR ADP COMMENTS
6	2023-12-03	ISSUED FOR DP

STEVESTON HWY TOWNHOUSE DEVELOPMENT
PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14
SCALE: 3/32"=1'0"(1:128)
DRAWN BY: EL
REVIEWED BY: EL

Landscape Tree Management Plan

DP 20-919145

PLAN #11

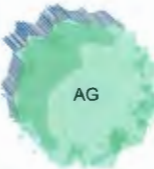
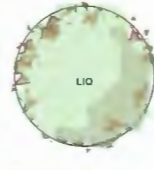

December 18, 2023

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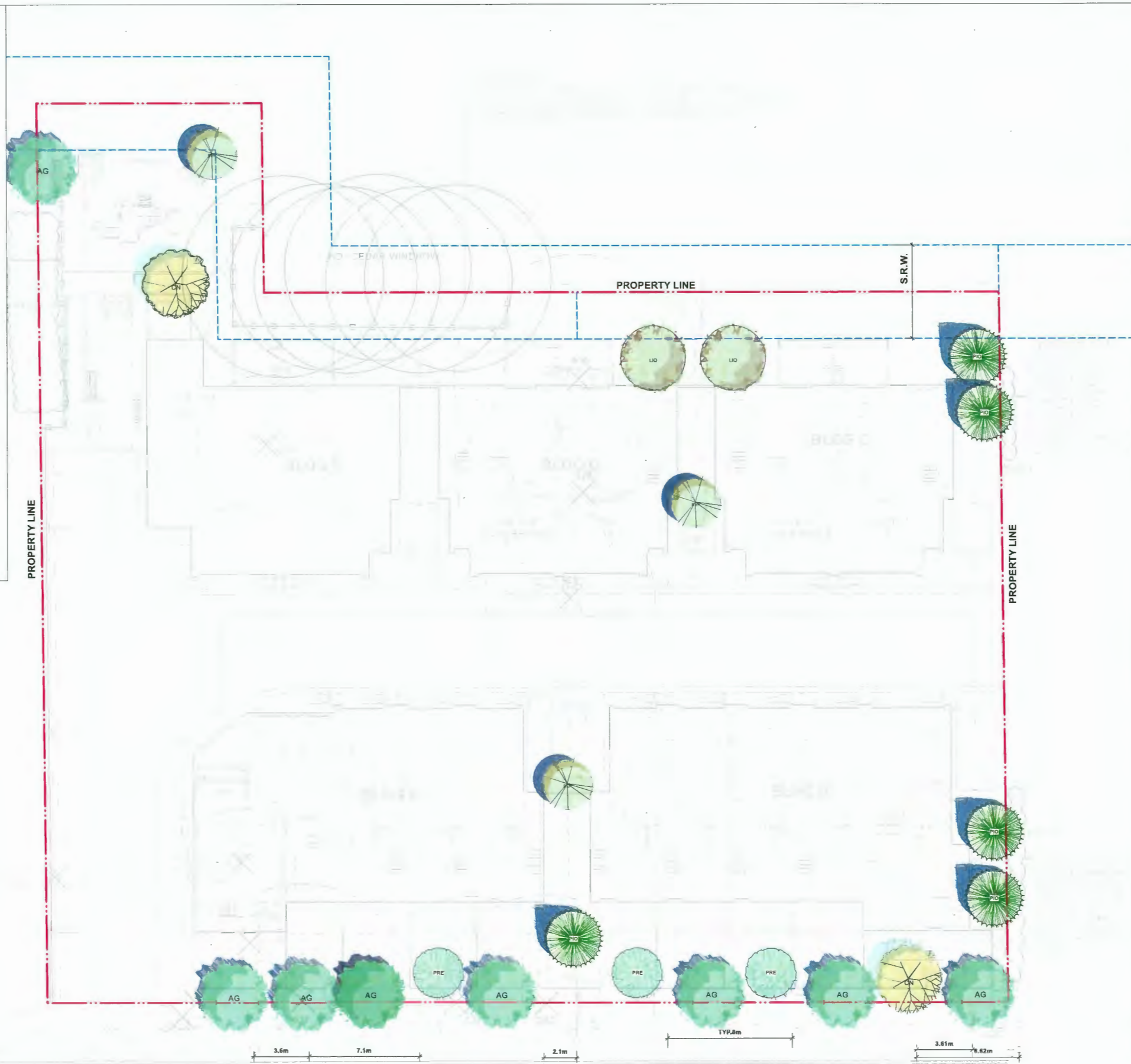
REPLACEMENT TREES SUMMARY

TOTAL 6 TREES MEASURING 20 CENTIMETERS DBH TO BE REMOVED, WHICH REQUIRES 12 REPLACEMENT TREES.

REPLACEMENT TREES LEGEND

	LATIN NAME	COMMON NAME	QUALITY	SIZE
	<i>Acer griseum</i>	Paperbark Maple	7	8cm CAL.
	<i>Liquidambar styraciflua</i>	American Sweetgum	2	8cm CAL.
	<i>Pinus contorta var. contorta</i>	Shore pine	5	4 meters High

TOTAL 14 REPLACEMENT TREES TO BE INSTALLED ON SITE.



**HOMING
LANDSCAPE
ARCHITECTURE**

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Revisions

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3	2023-01-24	ISSUED FOR DP
4	2023-02-25	ISSUED FOR DP
5	2023-08-23	ISSUED FOR ADP COMMENTS
6	2023-12-03	ISSUED FOR DP

**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: 3/32"=1'0"(1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Landscape
Replacement Tree
Plan**

L0.2

DP 20-919145

PLAN #12

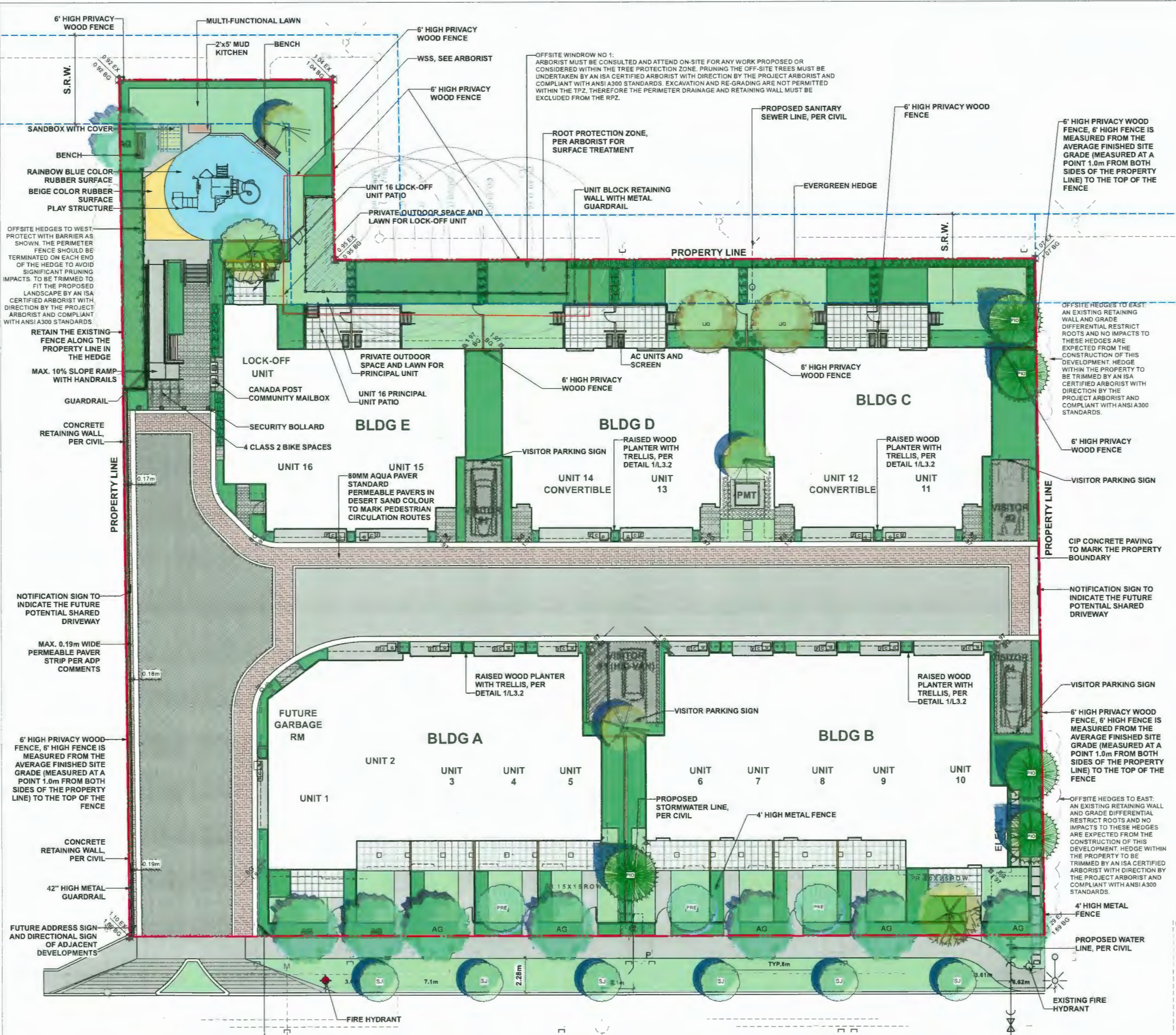
December 18, 2023



LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
[Symbol]	PEDESTRIAN CONCRETE UNIT PAVERS	2/L3.0
[Symbol]	CONCRETE SLAB PAVING	5/L3.0
[Symbol]	CIP CONCRETE PAVING	1/L3.0
[Symbol]	80MM AQUA PAVER STANDARD PERMEABLE PAVERS FOR DRIVEWAY & PARKING	3/L3.0
[Symbol]	80MM AQUA PAVER STANDARD PERMEABLE PAVERS FOR PEDESTRIAN PATH	3/L3.0
[Symbol]	RUBBER PLAYGROUND SURFACE	
[Symbol]	LAWN	4/L3.4
[Symbol]	PLANTING BED	3/L3.4
[Symbol]	GRAVEL	4/L3.0
[Symbol]	BIKE RACKS	2/L3.1
[Symbol]	SANDBOX WITH COVER	3/L3.1
[Symbol]	2'x5' MUD KITCHEN	1/L3.1
[Symbol]	BENCH	5/L3.1
[Symbol]	6'-0" HIGH WOOD FENCE	4/L3.2
[Symbol]	4' HIGH METAL FENCE	3/L3.2
[Symbol]	WOOD SCREEN AROUND A/C UNIT	2/L3.2
[Symbol]	STEPPING STONE PATH	

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5	2023-08-23	ISSUED FOR ADP COMMENTS
6	2023-12-03	ISSUED FOR DP

**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Landscape Layout
and Materials Plan**

DP 20-919145

PLAN #13

December 18, 2023

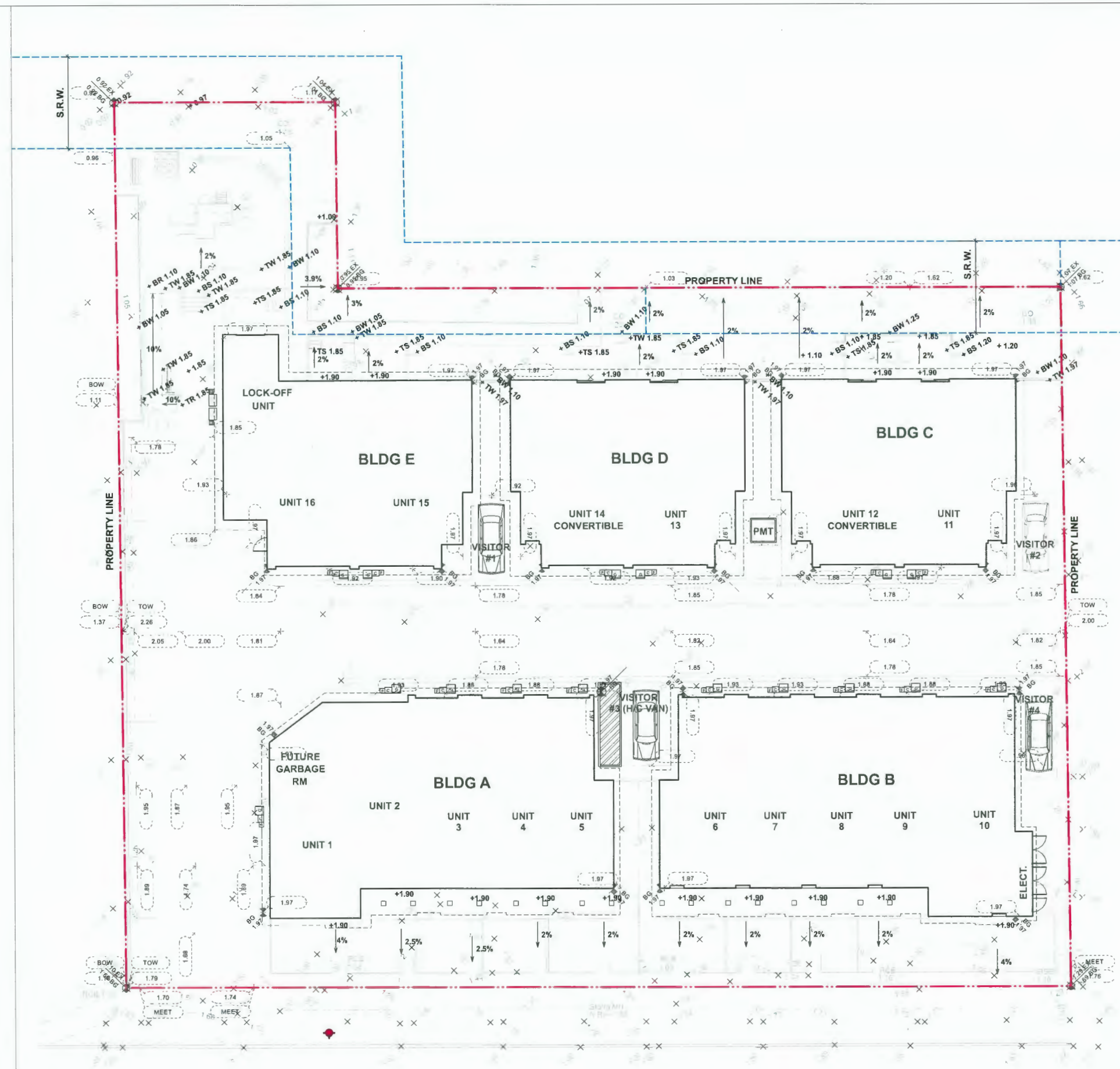
L1.0

GRADING LEGEND

KEY	DESCRIPTION
+1.90	PROPOSED SPOT ELEVATIONS
+ TW 1.85	PROPOSED TOP OF WALL ELEVATION
+ BW 1.08	PROPOSED BOTTOM OF WALL ELEVATION
+ TS 1.85	PROPOSED TOP OF STAIR ELEVATION
+ BS 1.15	PROPOSED BOTTOM OF STAIR ELEVATION
1.81	PROPOSED ELEVATIONS PER CIVIL
2%	SLOPE PERCENTAGE
X 1.40	EXISTING ELEVATIONS, PER SURVEY

GRADING NOTES

1. ALL DIMENSIONS/ELEVATIONS ARE METRIC (METER, UNLESS OTHERWISE NOTED). DO NOT SCALE DRAWINGS.
2. ALL GRADING INFORMATION IS PRELIMINARY ONLY.
3. REFER TO CIVIL DRAWINGS OFF-SITE ROAD GRADING INFORMATION.
4. REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.
5. ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
6. THE CONTRACTOR SHALL IDENTIFY AND PROTECT ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. ANY CONFLICTS FOUND WITH UTILITIES SHALL BE CLARIFIED WITH THE CONSULTANT TEAM PRIOR TO PROCEEDING.
7. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 3:1 SLOPE.



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STEVESTON HWY TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:
 4571/4591/4611 STEVESTON HIGHWAY
 RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14
 SCALE: 3/32"=1'0" (1:128)
 DRAWN BY: EL
 REVIEWED BY: EL

Landscape Grading Plan

DP 20-919145

PLAN #14

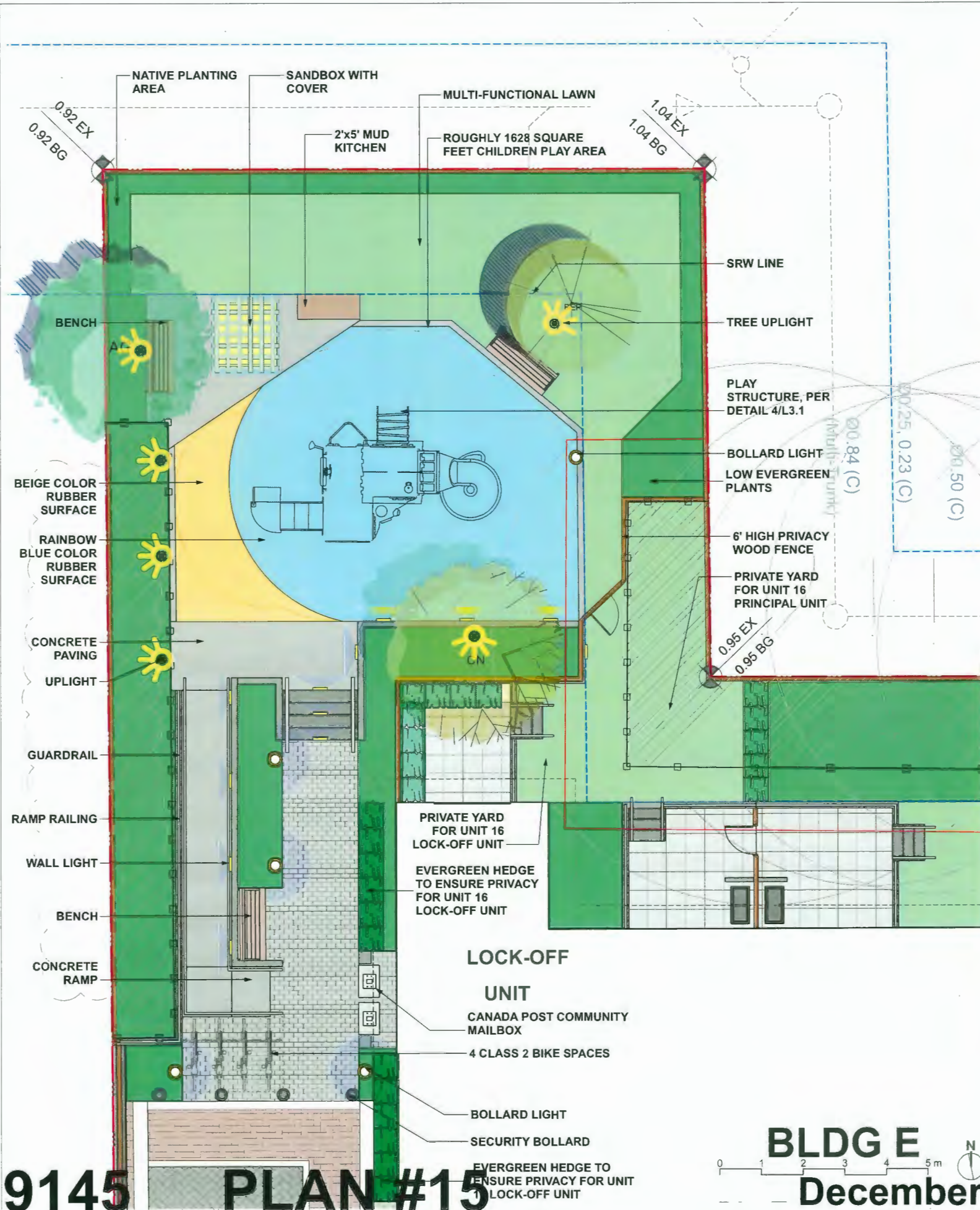
December 18, 2023

L1.1

LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
	PEDESTRIAN CONCRETE UNIT PAVERS	2/L3.0
	CONCRETE SLAB PAVING	5/L3.0
	CIP CONCRETE PAVING	1/L3.0
	80MM AQUA PAVER STANDARD PERMEABLE PAVERS FOR DRIVEWAY & PARKING	3/L3.0
	80MM AQUA PAVER STANDARD PERMEABLE PAVERS FOR PEDESTRIAN PATH	3/L3.0
	RUBBER PLAYGROUND SURFACE	
	LAWN	4/L3.4
	PLANTING BED	3/L3.4
	GRAVEL	4/L3.0
	BIKE RACKS	2/L3.1
	SANDBOX WITH COVER	3/L3.1
	2'x5' MUD KITCHEN	1/L3.1
	BENCH	5/L3.1
	6'-0" HIGH WOOD FENCE	4/L3.2
	4' HIGH METAL FENCE	3/L3.2
	WOOD SCREEN AROUND A/C UNIT	2/L3.2
	STEPPING STONE PATH	

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Stepping stone and nature play



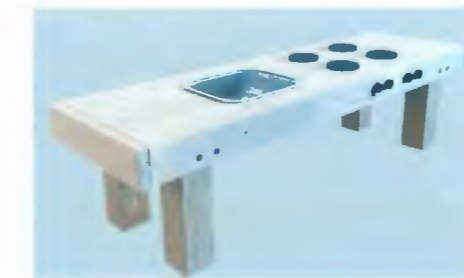
Sand play



Play structure



Mud Kitchen



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STEVESTON HWY TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: 1:50

DRAWN BY: EL

REVIEWED BY: EL

Outdoor Amenity Area Enlargement Plan

L1.3

DP 20-919145

PLAN #15



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**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

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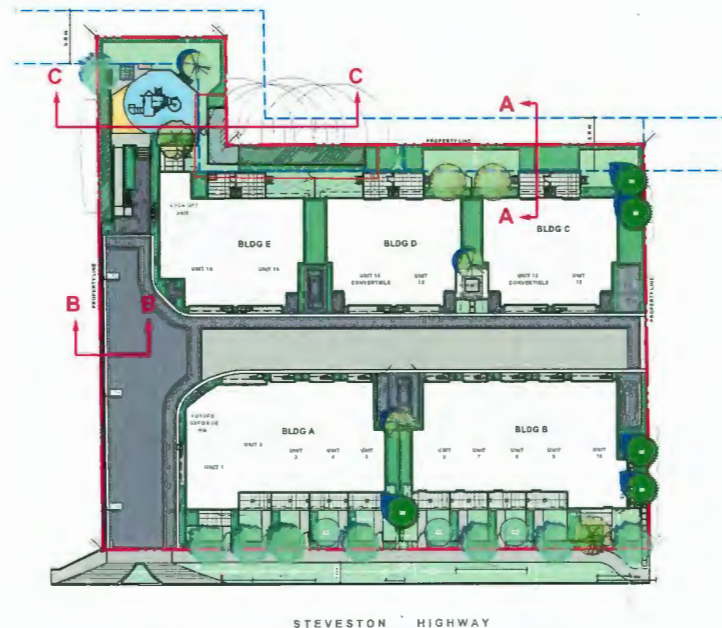
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DRAWN BY: EL

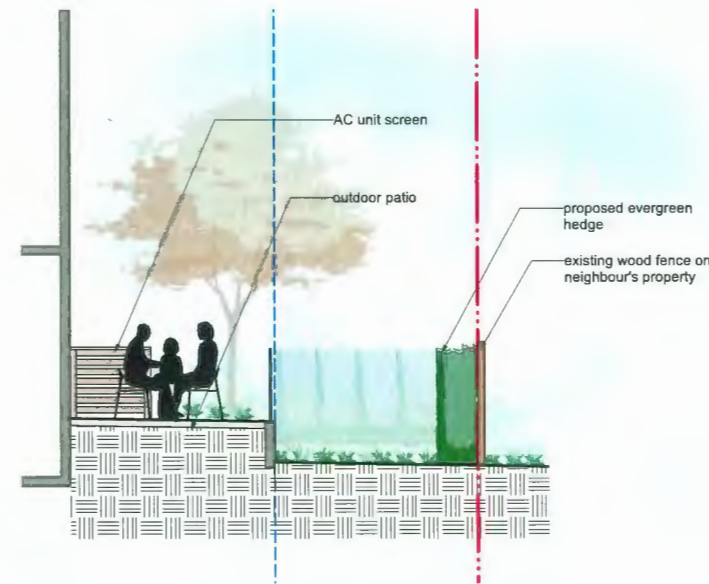
REVIEWED BY: EL

**Landscape
Sections**

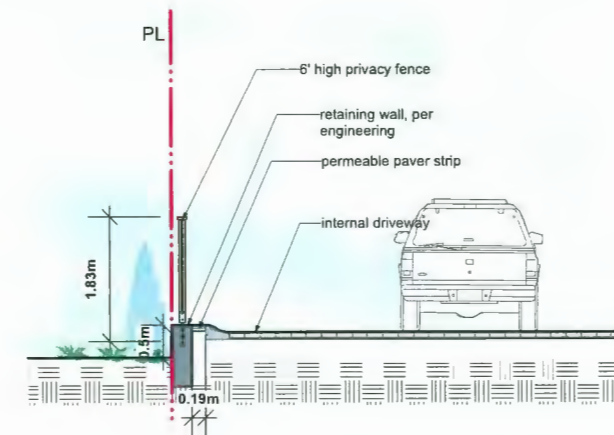
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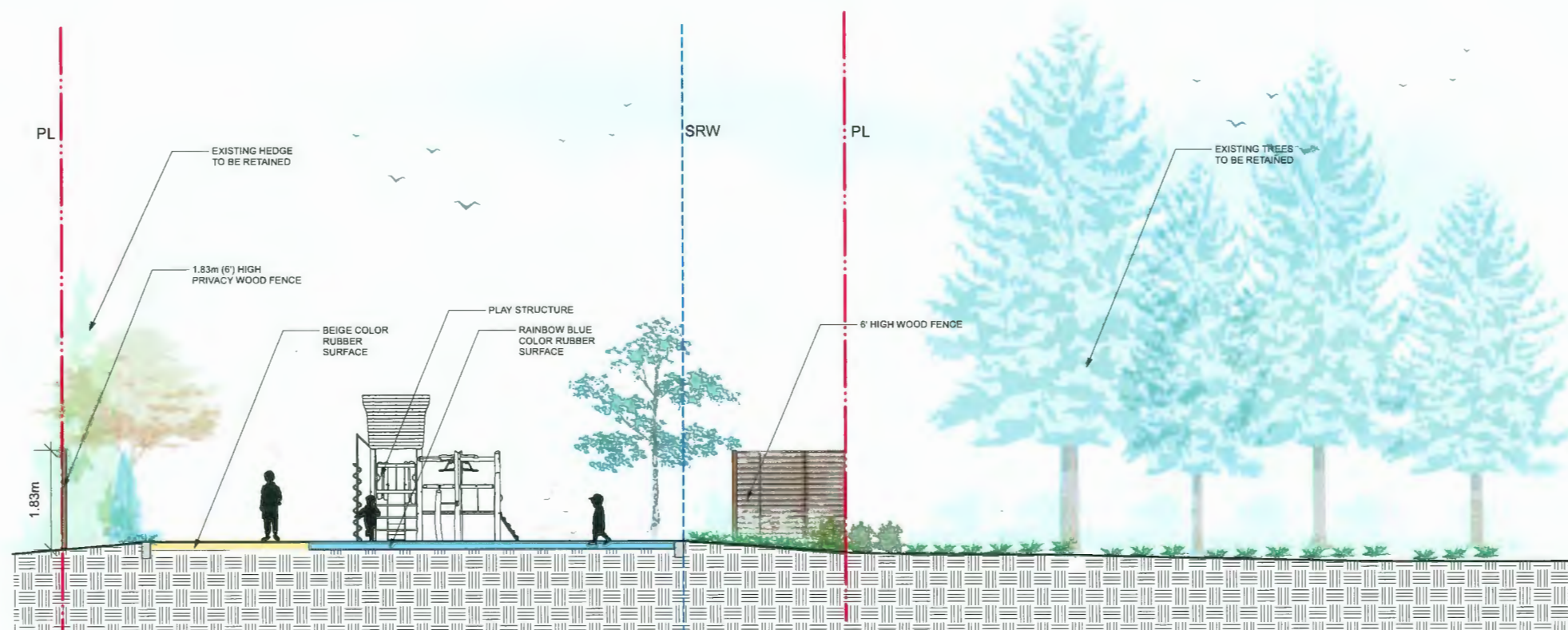
SECTIONS KEY PLAN



1 SECTION A
1:50



2 SECTION B
1:50



3 SECTION C
1:50

DP 20-919145

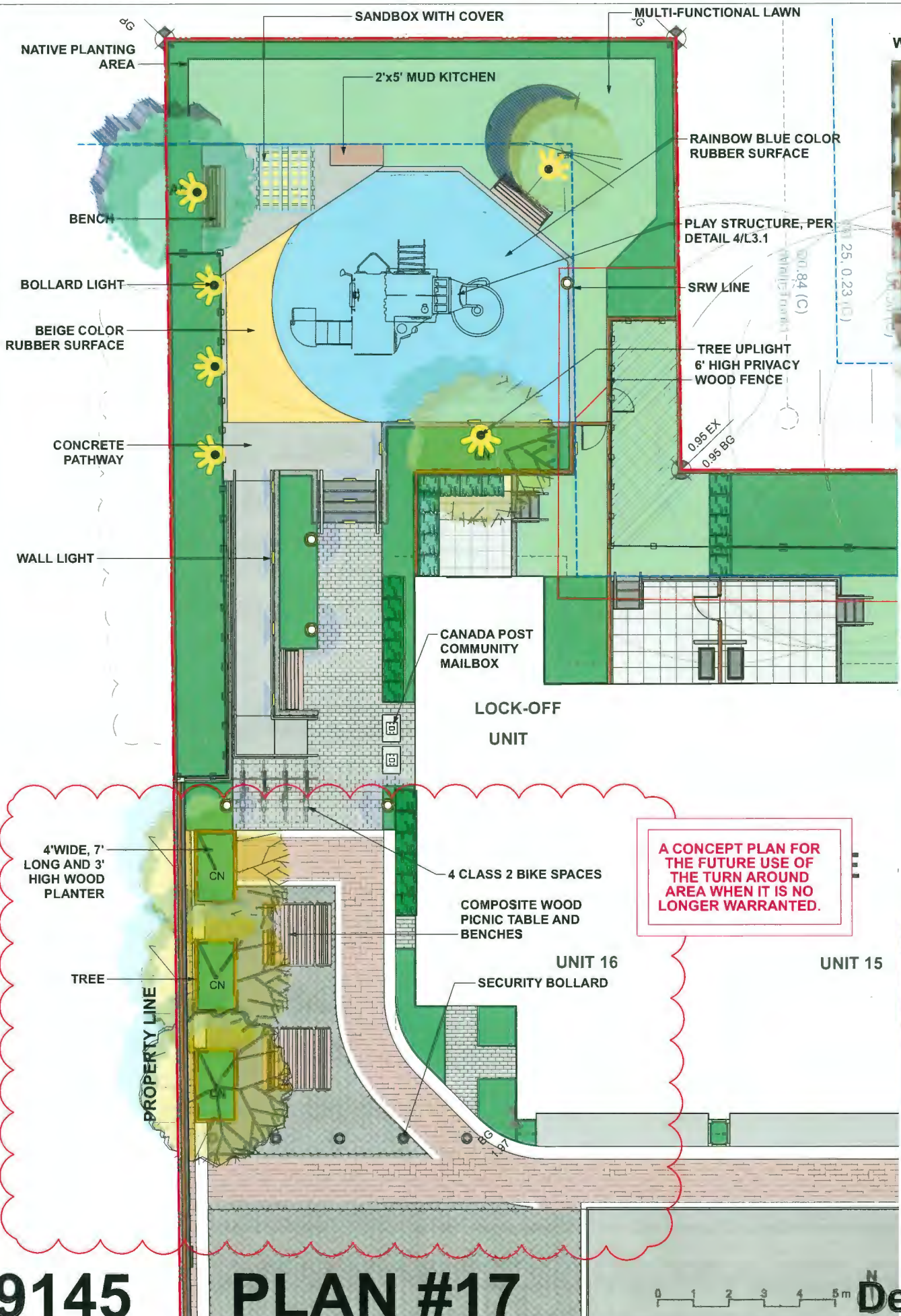
PLAN #16

December 18, 2023

LANDSCAPE LEGENDS

SYMBOL	MATERIALS	DETAILS
	PEDESTRIAN CONCRETE UNIT PAVERS	2/L3.0
	CONCRETE SLAB PAVING	5/L3.0
	CIP CONCRETE PAVING	1/L3.0
	80MM AQUA PAVER STANDARD PERMEABLE PAVERS FOR DRIVEWAY & PARKING	3/L3.0
	80MM AQUA PAVER STANDARD PERMEABLE PAVERS FOR PEDESTRIAN PATH	3/L3.0
	RUBBER PLAYGROUND SURFACE	
	LAWN	4/L3.4
	PLANTING BED	3/L3.4
	GRAVEL	4/L3.0
	BIKE RACKS	2/L3.1
	SANDBOX WITH COVER	3/L3.1
	2'x5' MUD KITCHEN	1/L3.1
	BENCH	5/L3.1
	6'-0" HIGH WOOD FENCE	4/L3.2
	4' HIGH METAL FENCE	3/L3.2
	WOOD SCREEN AROUND A/C UNIT	2/L3.2
	STEPPING STONE PATH	

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A CONCEPT PLAN FOR THE FUTURE USE OF THE TURN AROUND AREA WHEN IT IS NO LONGER WARRANTED.



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STEVESTON HWY TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:
 4571/4591/4611 STEVESTON HIGHWAY
 RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: 1:50

DRAWN BY: EL

REVIEWED BY: EL

Future Outdoor Amenity & Turnaround Area Plan

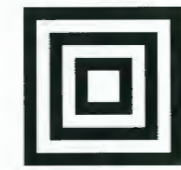
L1.5

DP 20-919145

PLAN #17



December 18, 2023



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ARCHITECTURE**

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**STEVESTON HWY
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PROJECT NUMBER: 21-14

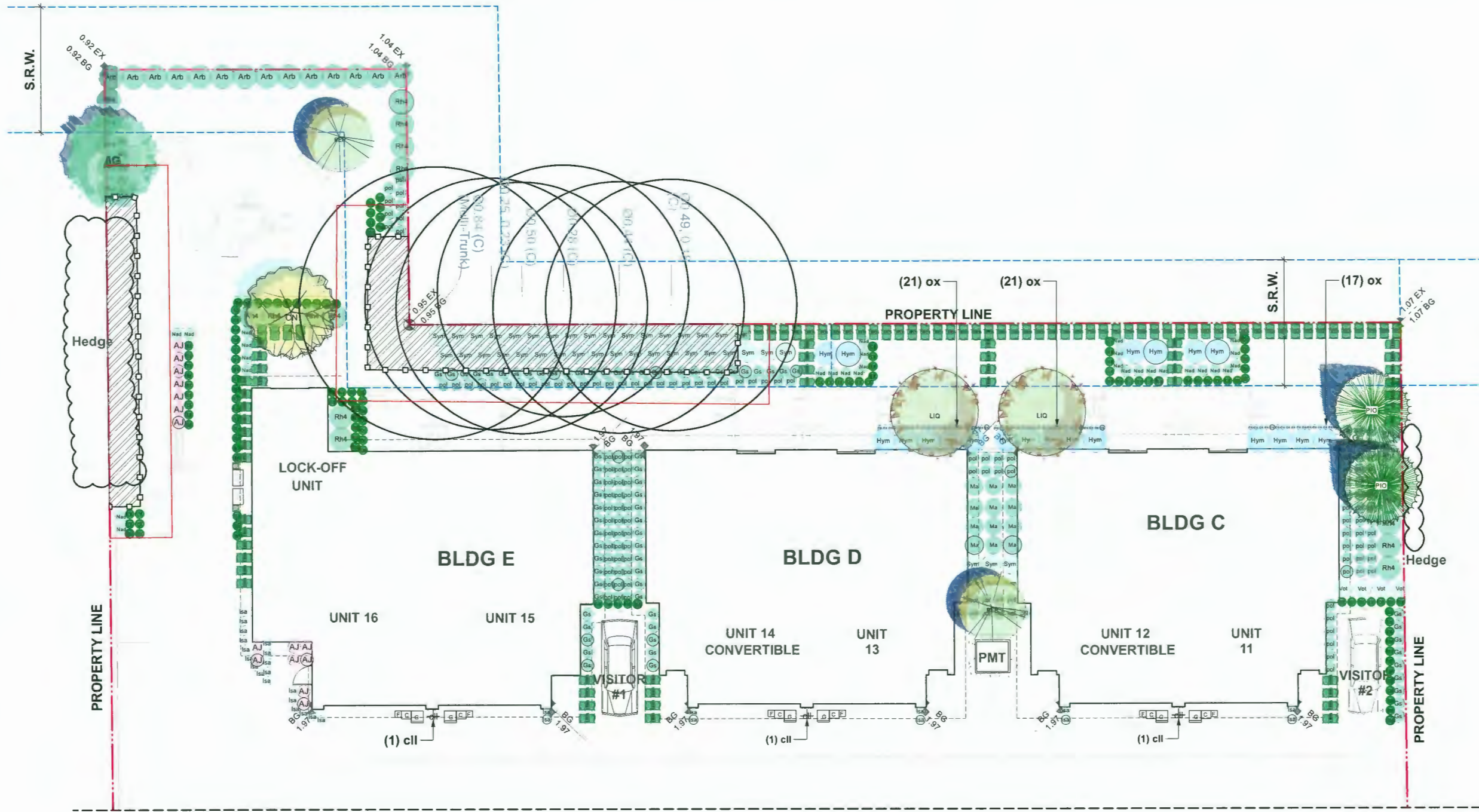
SCALE: 1/8"=1'0"(1:96)

DRAWN BY: EL

REVIEWED BY: EL

**Landscape
Planting Plan -
North Area**

L2.0



SEE PLAN L2.1

DP 20-919145

PLAN #18

December 18, 2023



HOMING LANDSCAPE ARCHITECTURE

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PROJECT NUMBER: 21-14

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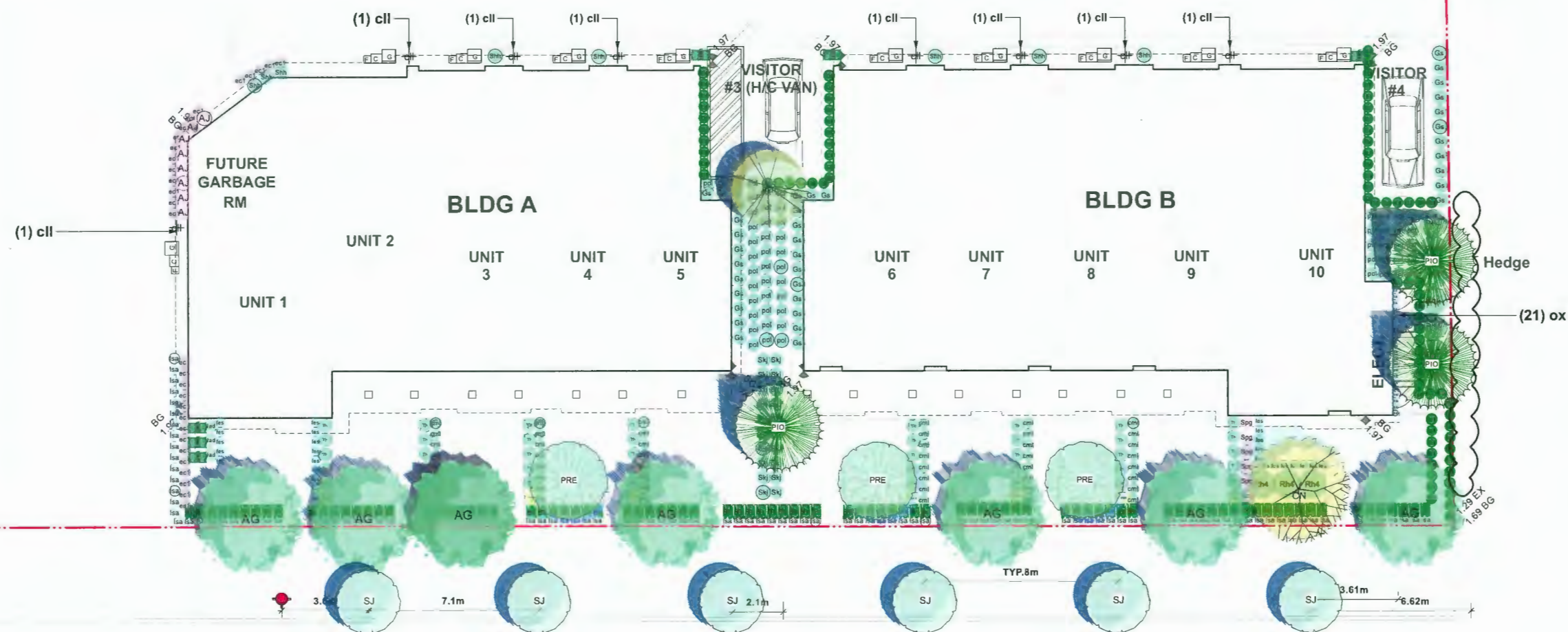
DRAWN BY: EL

REVIEWED BY: EL

Landscape Planting Plan - South Area

L2.1

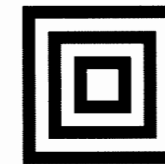
SEE PLAN L2.0



DP 20-919145

PLAN #19

December 18, 2023



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**STEVESTON HWY
TOWNHOUSE
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RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: 3/32"=1'0"(1:128)

DRAWN BY: EL

REVIEWED BY: EL

**Landscape Plant
List**

L2.2

ONSITE PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
AG	Acer griseum	Paperbark Maple	9	8cm cal.	
BEP	Betula papyrifera	Paper Birch	3	6cm cal.	
CN	Cornus nuttallii 'Eddie's White Wonder'	'Eddie's White Wonder' Dogwood	2	6cm cal.	
LIQ	Liquidambar styraciflua	American Sweetgum	2	8cm cal.	
PIO	Pinus contorta var. contorta	Shore Pine	5	4m high.	
PRE	Prunus emarginata	Bitter Cherry	3	6cm cal.	
SHRUBS					
Arb	Arbutus unedo 'Compacta'	Compact Strawberry Bush	14	#3 pot	
AJ	Azalea japonica 'Kent's Pride'	Kent's Pride Azalea	23	#2 pot	
Bx	Buxus microphylla	Littleleaf Boxwood	91	#2 pot	
ec1	Erica carnea	Spring Heath	30	#1 pot	
Gs	Gaultheria shallon	Salal	109	#2 pot	
Hym	Hydrangea macrophylla	Bigleaf Hydrangea	20	#3 pot	
Ma	Mahonia aquifolium	Oregon Grape Holly	12	#2 pot	
Nad	Nandina domestica	Heavenly Bamboo	32	#2 pot	
Rh4	Rhododendron 'PJM'	PJM Rhododendron	32	#3 pot	
Shh	Sarcococca hookeriana var. humilis	Sweet Box	8	#2 pot	
Skj	Skimmia japonica	Japanese Skimmia	25	#3 pot	
Spg	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	6	#2 pot	
Sym	Symphoricarpos alba	Snowberry	42	#2 pot	
Tmh	Taxus x media 'Hicksii'	Hick`s Yew	110	4' High	
Th	Thuja occidentalis 'Smaragd'	Emerald Cedar	40	#2 pot	
Vot	Vaccinium ovatum 'Thunderbird'	Thunderbird Evergreen Huckleberry	4	#3 pot	
PERENNIALS & GROUNDCOVERS					
em	Euphorbia x martinii	Martin's Spurge	8	#1 pot	
lsa	Lavandula angustifolia	English Spike Lavender	136	#2 pot	
ox	Oxalis oregana	Oregon Oxalis	80	#1 pot	
pol	Polystichum munitum	Western sword fern	190	#1 pot	
GRASSES					
cmi	Carex morrowii 'Ice Dance'	Ice Dance Japanese Sedge	48	#1 pot	
fes	Festuca glauca	Boulder Blue Fescue	26	#1 pot	
ha	Hakonechloa macra `Aureola`	Golden Japanese Forest Grass	206	#1 pot	
VINES					
cll	Clematis ligusticifolia	Western White Clematis	11	#1 pot	

OFFSITE PLANT LIST					
ID	Latin Name	Common Name	Quantity	Scheduled Size	Notes
TREES (DECIDUOUS & CONIFEROUS)					
SJ	Styrax japonicus	Japanese Snowbell Tree	6	6cm cal.	

PLANTING NOTES:

1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.

2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.

3) The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification & recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.

4) Minimum planting medium depths:
lawn - 6"/150mm
groundcover - 12"/300 mm
shrubs - 18"/450 mm
trees - 24"/600 mm (around & beneath rootball)





5) All plant material to be supplied on the job site must be obtained from a nursery participating in the BCLNA Phytophthora ramorum Certification Program.

DP 20-919145

PLAN #20

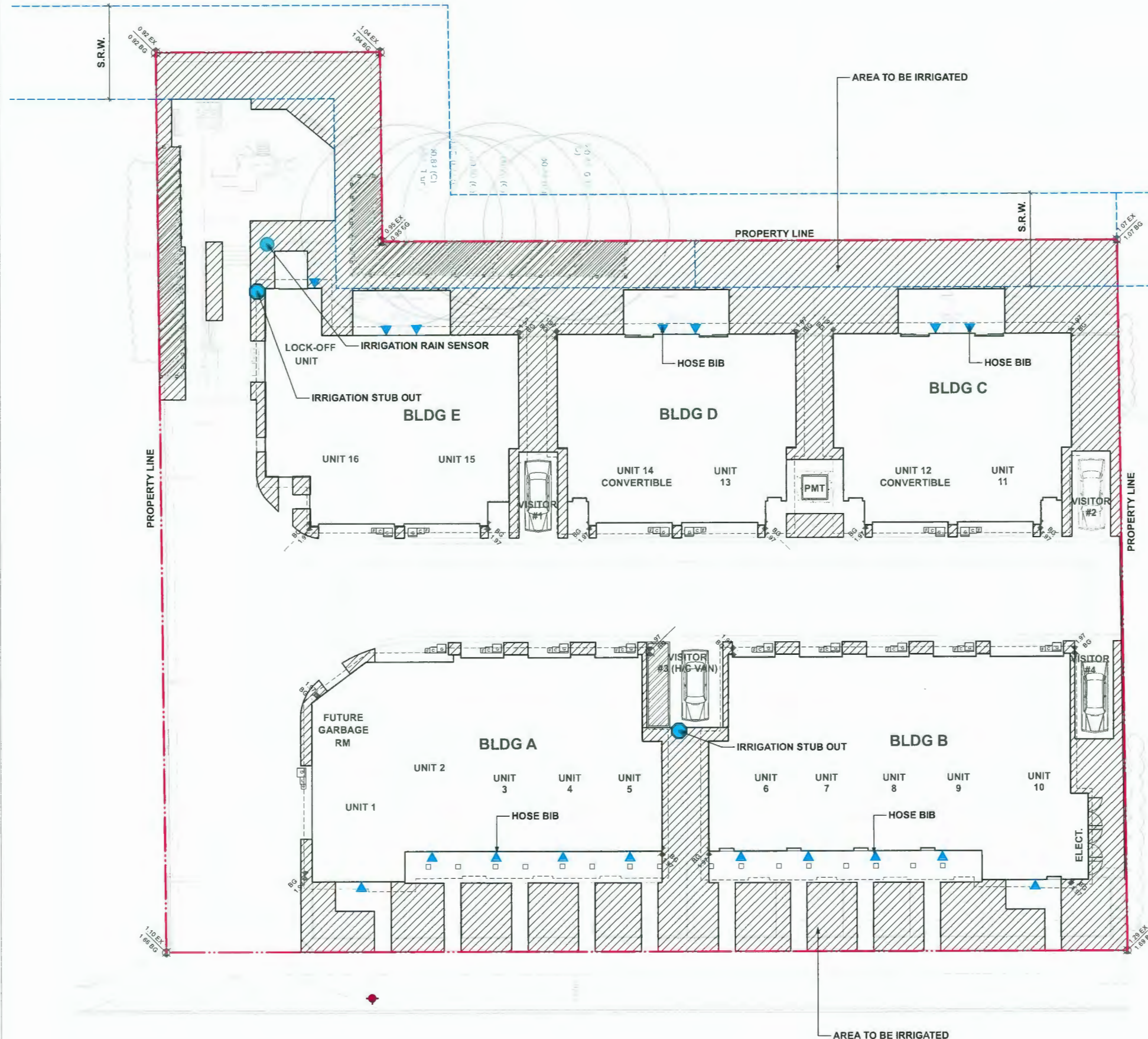
December 18, 2023

IRRIGATION DIAGRAM LEGEND

- KEY**
-  AREA TO BE IRRIGATED
 -  IRRIGATION STUB OUT
 -  RAIN SENSOR
 -  HOSE BIB

DESIGN-BUILD IRRIGATION NOTES:

1. LANDSCAPE CONTRACTOR TO PROVIDE COMPLETE DESIGN-BUILD SERVICES FOR ALL AUTOMATIC SITE IRRIGATION WORKS.
2. IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IIABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
3. IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
4. IRRIGATION TO CONFORM TO ALL IIABC STANDARDS WITH THE FOLLOWING EXCEPTIONS:
 - a. MATERIALS SECTION 8B: ALL PIPE TO BE MINIMUM CLASS 200
 - b. MATERIALS SECTION 5G: NO WIRE SMALLER THAN 14 GAUGE DIRECT BURIAL
5. COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
6. IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
7. PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
8. HIGH EFFICIENCY IRRIGATION TECHNOLOGY TO BE EMPLOYED INCLUDE, BUT ARE NOT LIMITED TO: CENTRAL SHUT-OFF VALVE, HIGH EFFICIENCY DRIP IRRIGATION LINES AND MOTION SENSOR/RAIN DELAY CONTROLLER
9. TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
10. PROVIDE COVERAGE AND CONTROLLER TEST WHEN SYSTEM IS COMPLETE AND MAKE ADJUSTMENTS AS REQUIRED.
11. PROVIDE AS-BUILT RECORD DRAWINGS TO SCALE SHOWING LOCATIONS OF ALL CONCEALED COMPONENTS, PIPING SYSTEM AND CONDUIT.
12. MAINTAIN AND OPERATE IRRIGATION PER MANUFACTURER'S RECOMMENDATIONS THROUGHOUT WARRANTY PERIOD - WINTERIZE AS REQUIRED.
13. PROVIDE (3) COPIES OF INSTRUCTIONS MANUALS FOR OPERATION AND MAINTENANCE OF SYSTEM AND CONTROLS, SEASONAL ACTIVITY AND SHUTDOWN AND MANUFACTURER'S PARTS CATALOGUE.
14. INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.



**HOMING
LANDSCAPE
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE,
VANCOUVER, BC, CANADA V6H 1K9
CELL: 778-323-3536
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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Revisions

NO.	Date	Note
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2	2022-08-19	ISSUED FOR DP
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4	2023-02-25	ISSUED FOR DP
5	2023-08-23	ISSUED FOR ADP COMMENTS
6	2023-12-03	ISSUED FOR DP

**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: 3/32"=1'0"(1:128)

DRAWN BY: EL

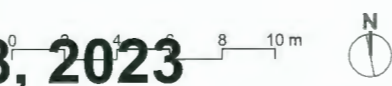
REVIEWED BY: EL

**Design-Build
Irrigation Plan**

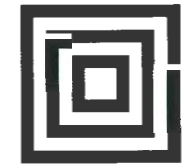
DP 20-919145

PLAN #21

December 18, 2023



L2.3



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ARCHITECTURE**

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6	2023-12-03	ISSUED FOR DP

**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**Hardscape
Details**

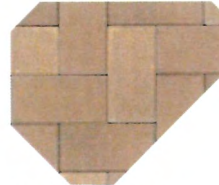
L3.0

**AQUAPAVE STANDARD PAVER
BY ABBOTSFORD CONCRETE PRODUCTS**

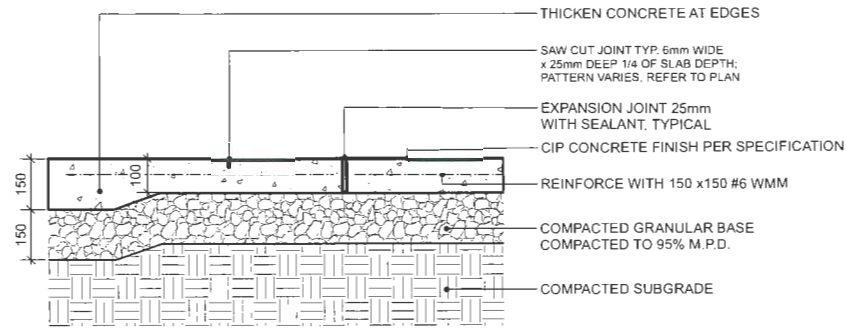
PATTERN: RUNNING BOND
LENGTH: 8-3/8" (221MM)
WIDTH: 4-5/16" (110MM)
THICKNESS: 3-1/8" (80MM)



COLOR: CHARCOAL
DRIVEWAY & VISITOR PARKING

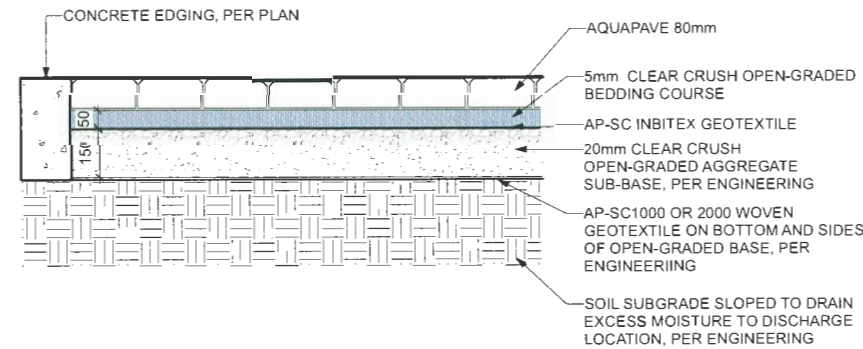


COLOR: DESERT SAND
PEDESTRIAN PATH



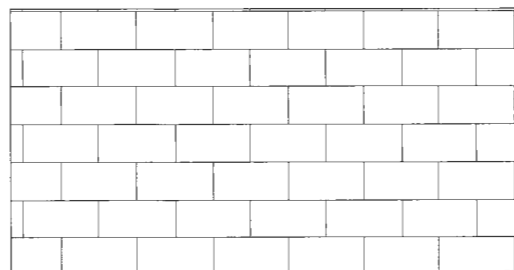
- NOTES:
1. EXPANSION JOINTS 6m O.C. MAX. CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN
2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

1 CIP CONCRETE ON GRADE (TYPICAL)
Scale: 1:10

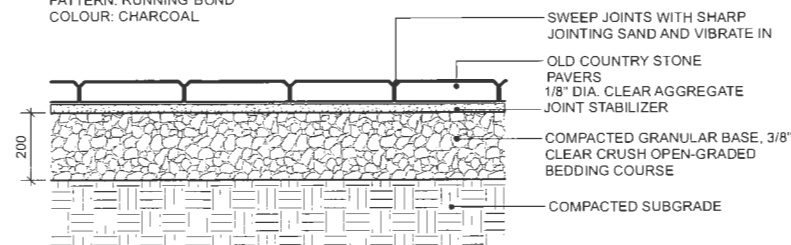


- NOTE:
1. REFER TO ENGINEERING DRAWINGS FOR THE BASE MATERIALS INSTALLED UNDERNEATH THE PAVERS.
2. THE CONDITIONS UNDER THE PAVERS SHALL BE APPROVED BY ENGINEERS BEFORE PAVERS INSTALLATION.

3 AQUAPAVE PERMEABLE PAVER
Scale: 1:10

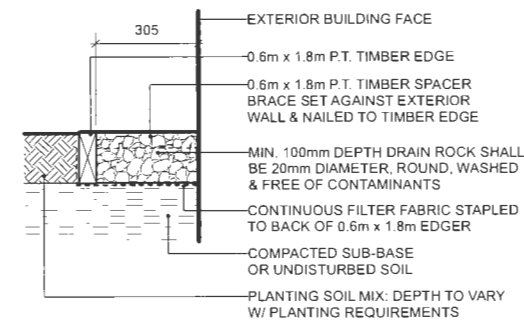


PLAN
CLASSIC STANDARD PAVERS - STANDARD SIZE BY
ABBOTSFORD CONCRETE (1-800-663-4091)
DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x
4-7/16" x 2-3/8")
PATTERN: RUNNING BOND
COLOUR: CHARCOAL



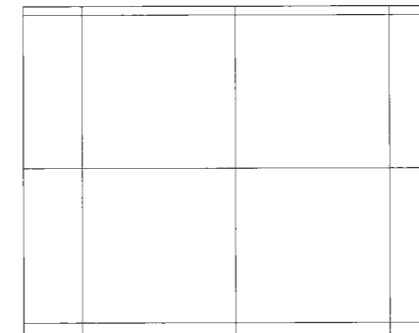
- NOTE:
USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

2 CONCRETE UNIT PAVING ON GRADE
Scale: 1:10

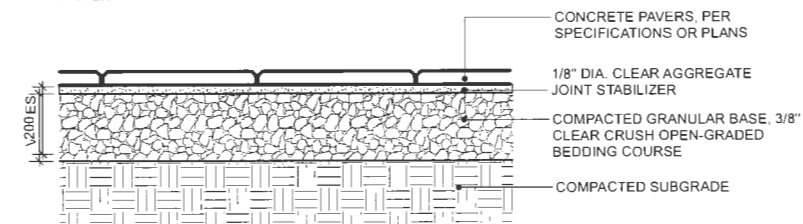


- NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

4 GRAVEL DRAIN STRIP - ON GRADE
Scale: 1:10



PLAN
TEXADA HYDRAPRESSED SLABS BY ABBOTSFORD CONCRETE PRODUCTS (1-800-663-4091)
DIMENSIONS: 457 mm x 457 mm x 40 mm
COLOUR: NATURAL
PATTERN: GRID



- NOTE:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.
2. BLACKJACK PEDESTAL SYSTEM AVAILABLE FROM ABBOTSFORD CONCRETE PRODUCTS. INSTALLATION PER MANUFACTURERS INSTRUCTIONS.

5 CONCRETE SLAB PAVING
Scale: 1:10

DP 20-919145

PLAN #22

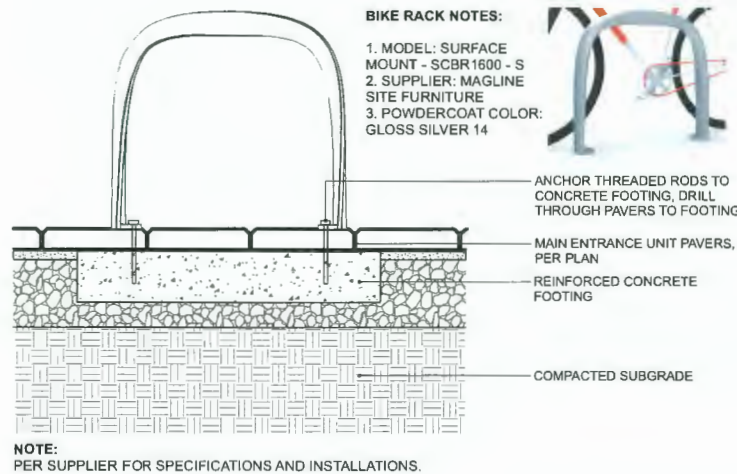
December 18, 2023



1 MUD KITCHEN BY HABITAT SYSTEMS



4 PLAY STRUCTURE BY LANDSCAPE STRUCTURES

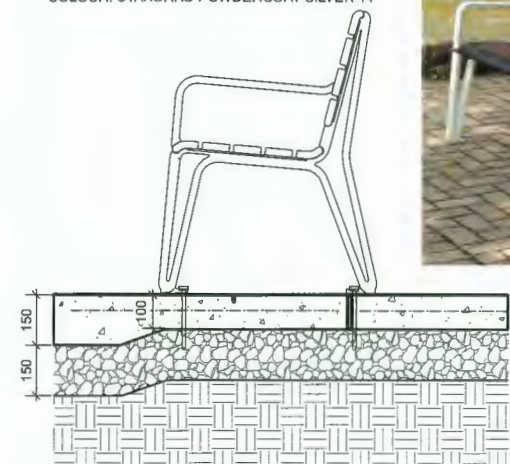


2 BIKE RACK
Scale: 1:10



3 SANDBOX

2300 ICONIC BACKED BENCH BY MAGLIN SITE FURNITURE (1-800-716-5506)
 MODEL: MBE-2300-00017
 LENGTH: 70" (177.8cm)
 HEIGHT: 33.3" (84.5cm)
 DEPTH: 25.5" (64.8cm)
 SEAT HEIGHT: 18" (45.7cm)
 WEIGHT: 122.5lbs (55.6kg)
 COLOUR: STANDARD POWDERCOAT SILVER 14



5 BENCH
1:10



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**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

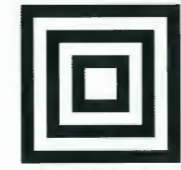
PROJECT NUMBER: 21-14

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**Furnituring
Details**



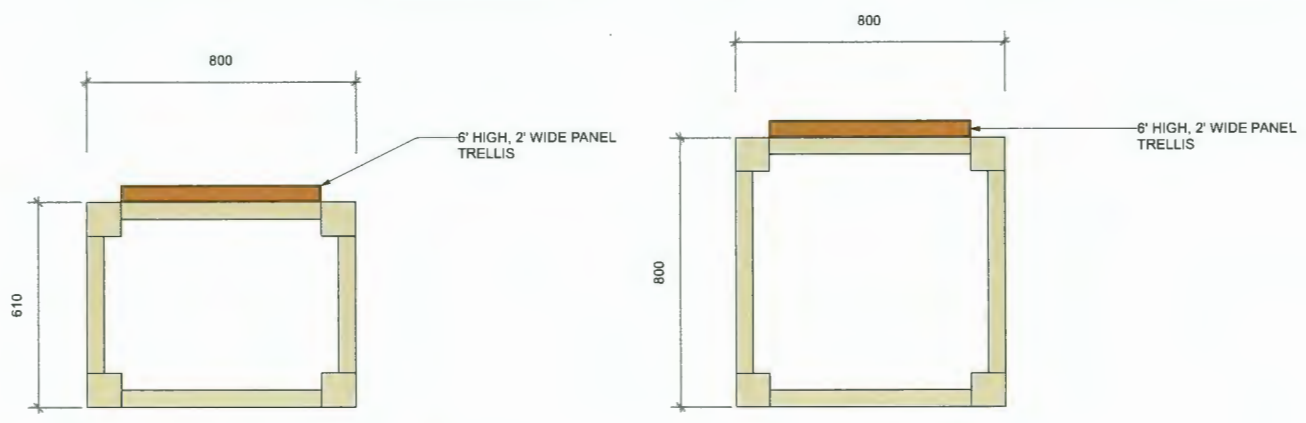
HOMING LANDSCAPE ARCHITECTURE

ADDRESS: 1423 W11TH AVENUE,
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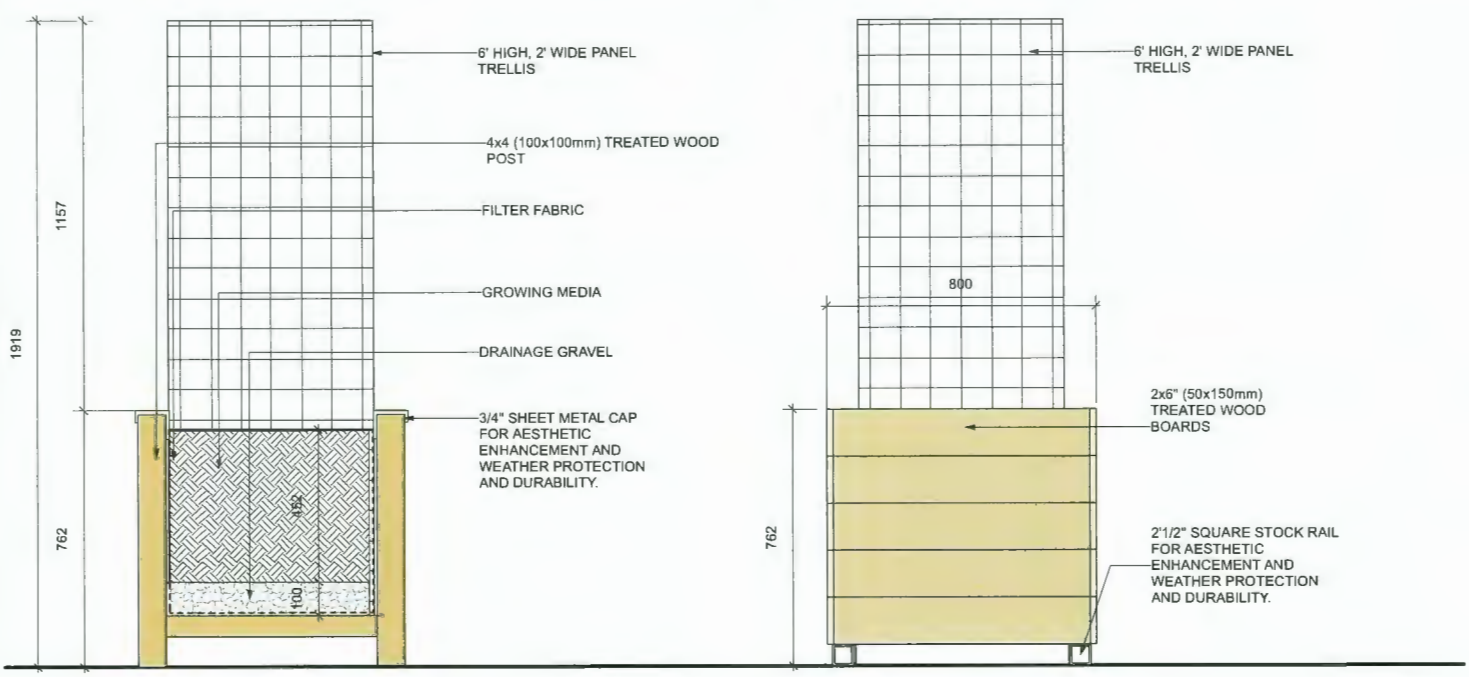
Revisions

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PLAN

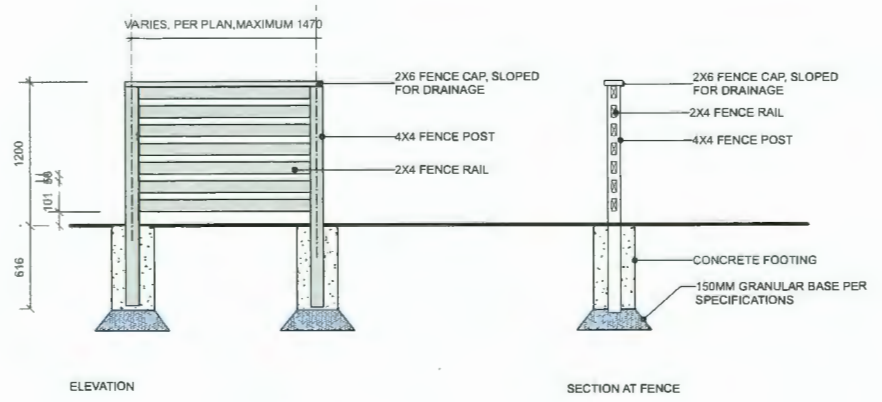
PLAN



SECTION

ELEVATION

1 RAISED WOOD PLANTER WITH TRELLIS
Scale: 1:25



ELEVATION

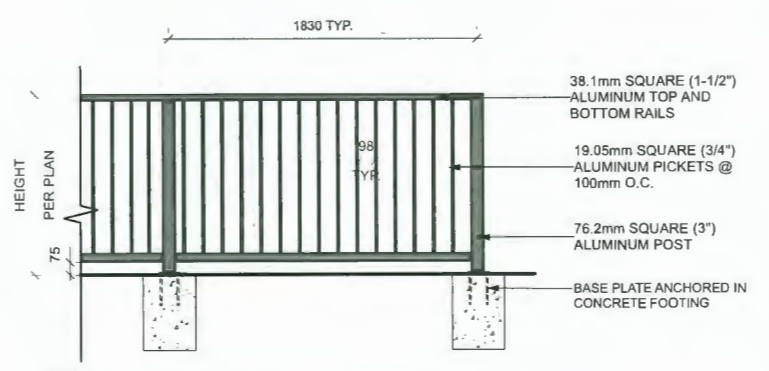
SECTION AT FENCE

2 4' HIGH WOOD SCREEN FOR A/C UNITS

DP 20-919145 PLAN #24



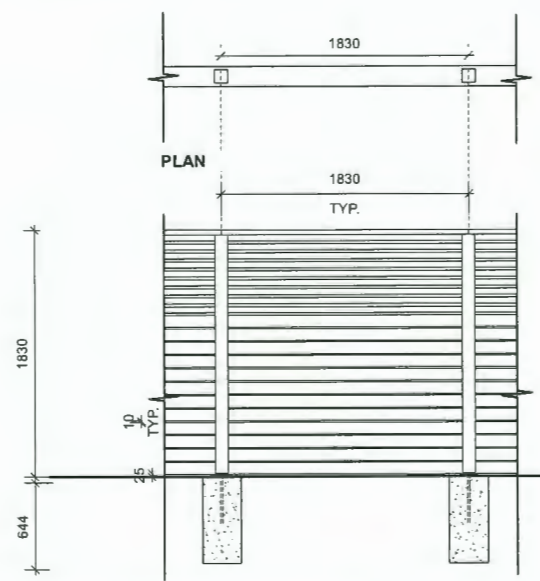
PRECEDENT



- NOTES:
1. ALL METAL ALUMINUM WITH BLACK POWDERCOAT FINISH (TO BE FACTORY APPLIED)
 2. ALL WELDED CONSTRUCTION.
 3. PROVIDE SHOP DRAWINGS FOR APPROVAL.
 4. CONCRETE FOOTING TO BE CONFIRMED BY STRUCTURAL ENGINEER.

3 METAL FENCE
Scale: 1:20

NOTE:
6' HIGH FENCE IS MEASURED FROM THE AVERAGE FINISHED SITE GRADE (MEASURED AT A POINT 1.0m FROM BOTH SIDES OF THE PROPERTY LINE) TO THE TOP OF THE FENCE.



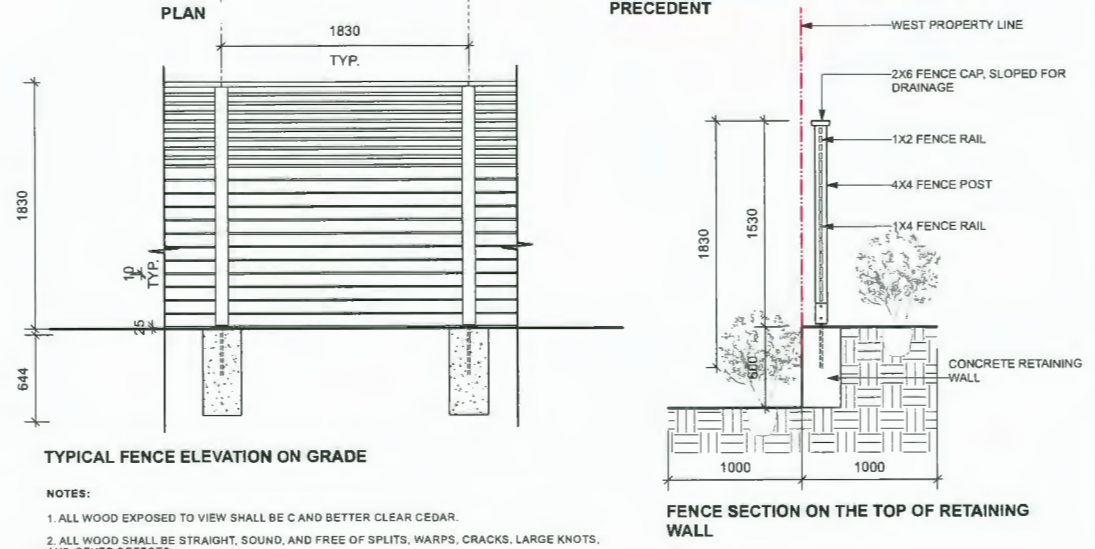
TYPICAL FENCE ELEVATION ON GRADE

- NOTES:
1. ALL WOOD EXPOSED TO VIEW SHALL BE C AND BETTER CLEAR CEDAR.
 2. ALL WOOD SHALL BE STRAIGHT, SOUND, AND FREE OF SPLITS, WARPS, CRACKS, LARGE KNOTS, AND OTHER DEFECTS.
 3. WOOD PRESERVATIVE TO BE USED SHALL BE OLYMPIC MAXIMUM WATERPROOFING SEALANT, "CEDAR TINT".
 4. ALL CUTS TO BE SQUARE AND CLEAN
 5. ALL METAL FIXTURES TO BE GALVANIZED (OR WHERE NOTED - STAINLESS STEEL).
 6. ALL STRUCTURAL FASTENERS TO BE GALVANIZED CARRIAGE BOLTS (IE. TRELLIS, AND GATE)

4 6' HIGH WOOD PRIVACY SCREEN
Scale: 1:25



PRECEDENT



FENCE SECTION ON THE TOP OF RETAINING WALL

STEVESTON HWY TOWNHOUSE DEVELOPMENT

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

SCALE: AS SHOWN

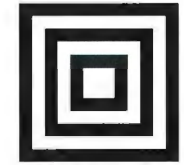
DRAWN BY: EL

REVIEWED BY: EL

Furnituring Details

L3.2

December 18, 2023



**HOMING
LANDSCAPE
ARCHITECTURE**

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EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

PROJECT NUMBER: 21-14

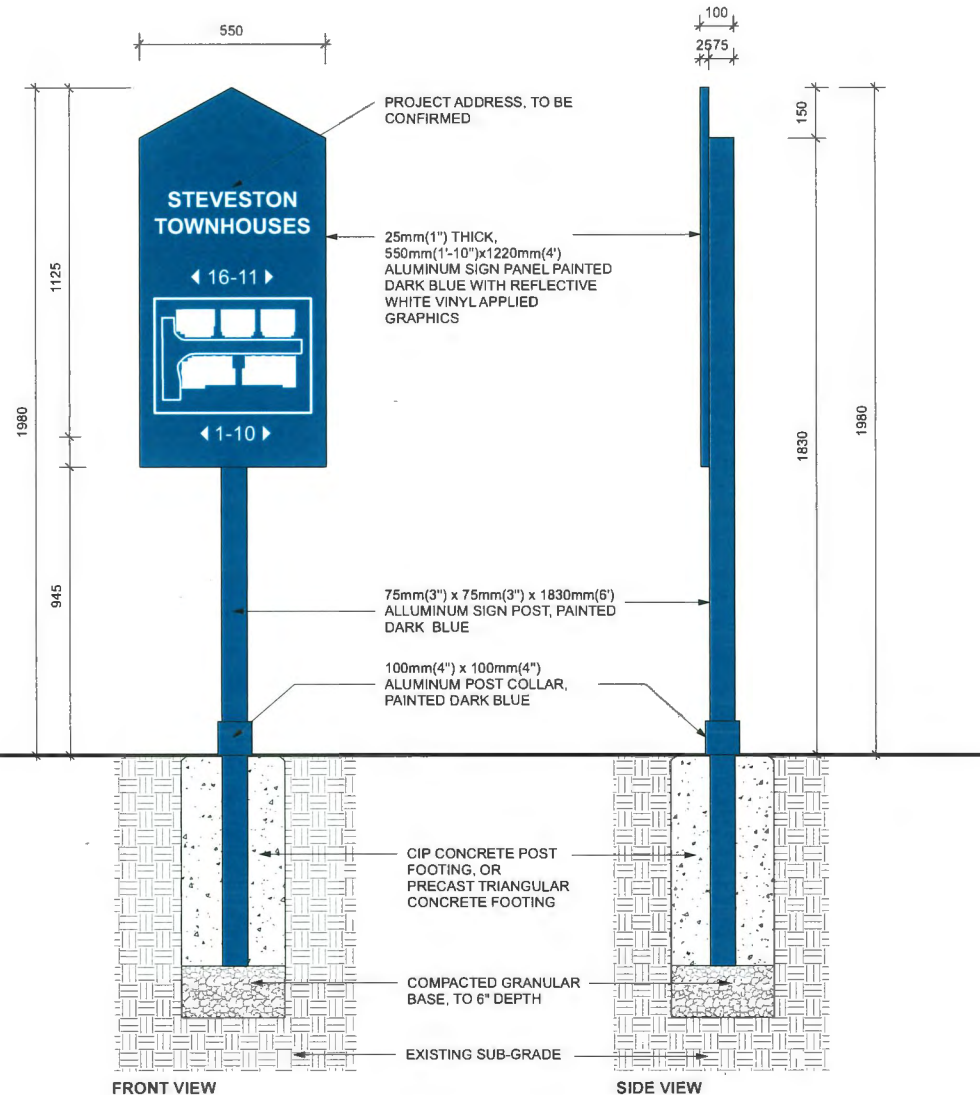
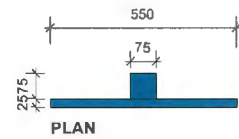
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DRAWN BY: EL

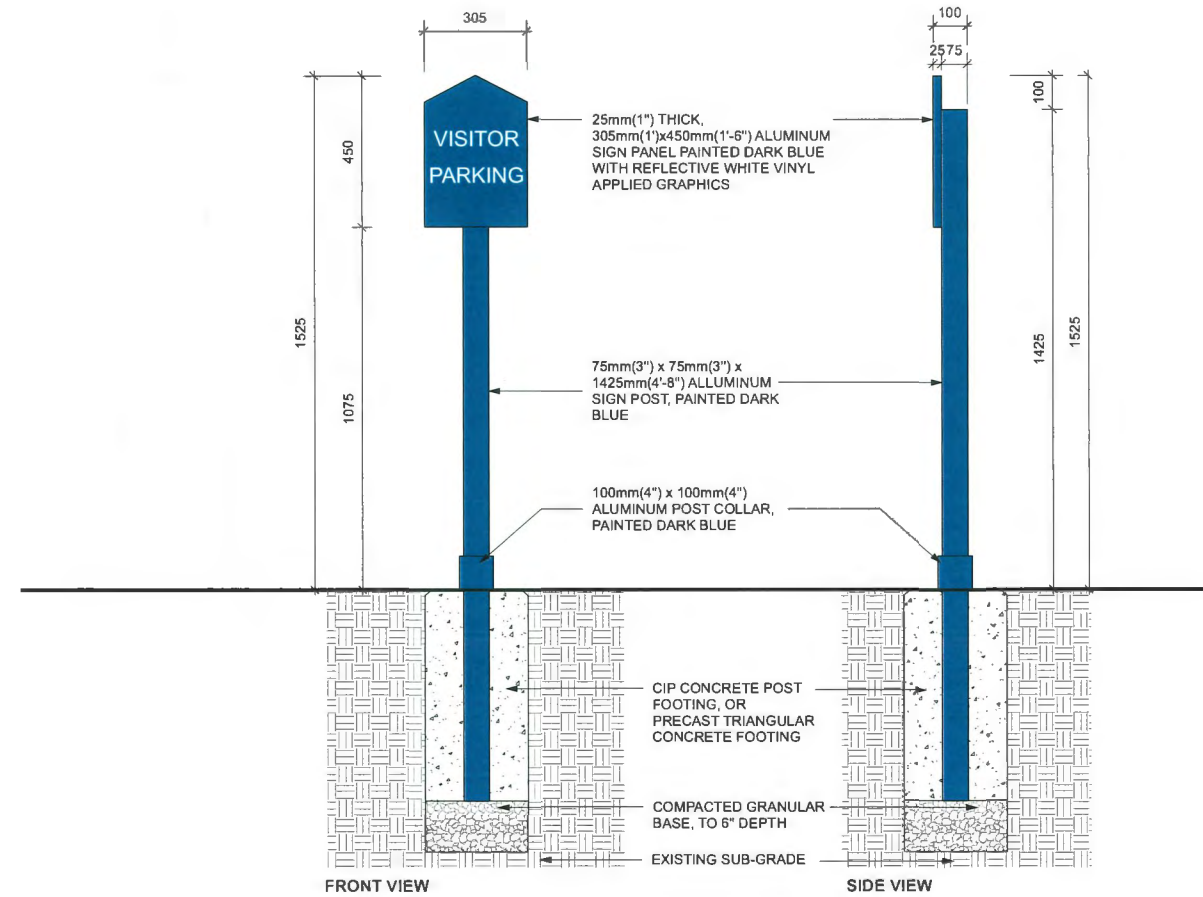
REVIEWED BY: EL

**Furnituring
Details**

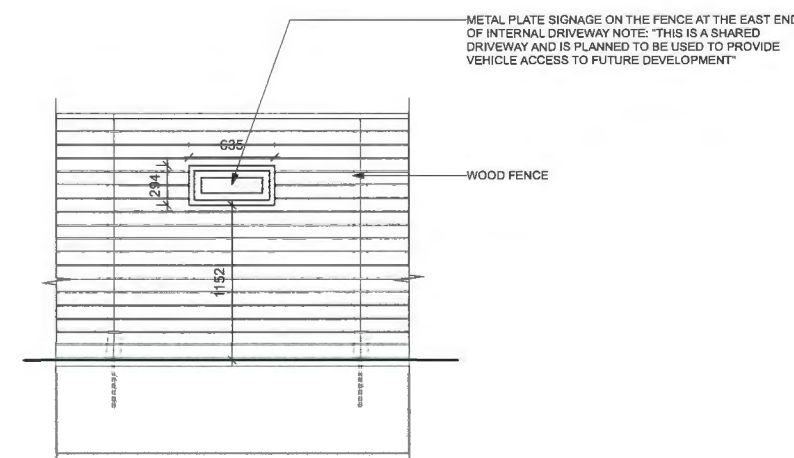
L3.3



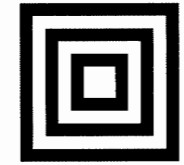
1 ADDRESS SIGN AND FIRE PROTECTION ORIENTATION SIGN
Scale: 1:10



2 VISITOR PARKING SIGN
Scale: 1:10



3 METAL PLATE NOTIFICATION SIGN
Scale: 1:25



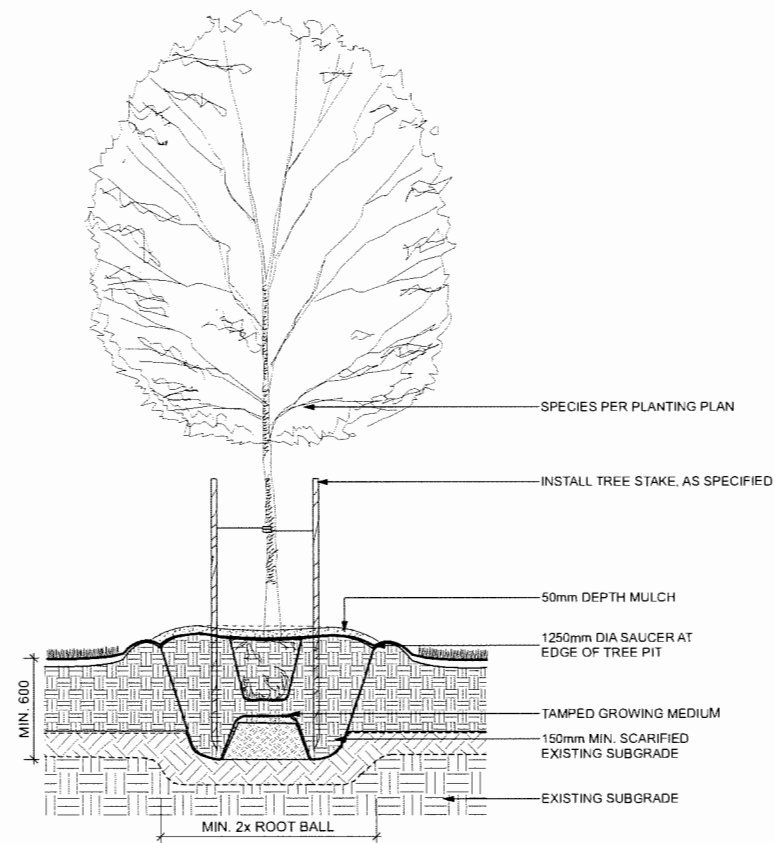
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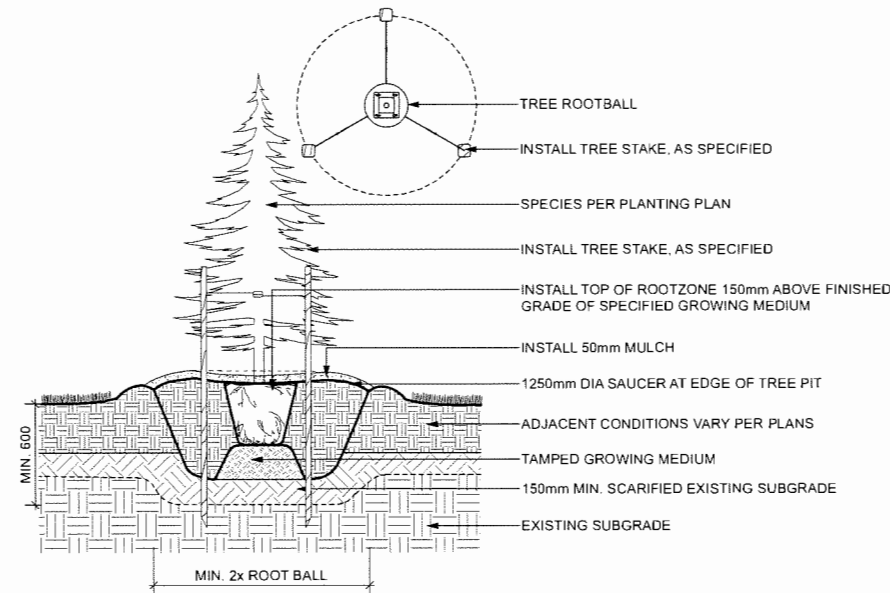
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Revisions

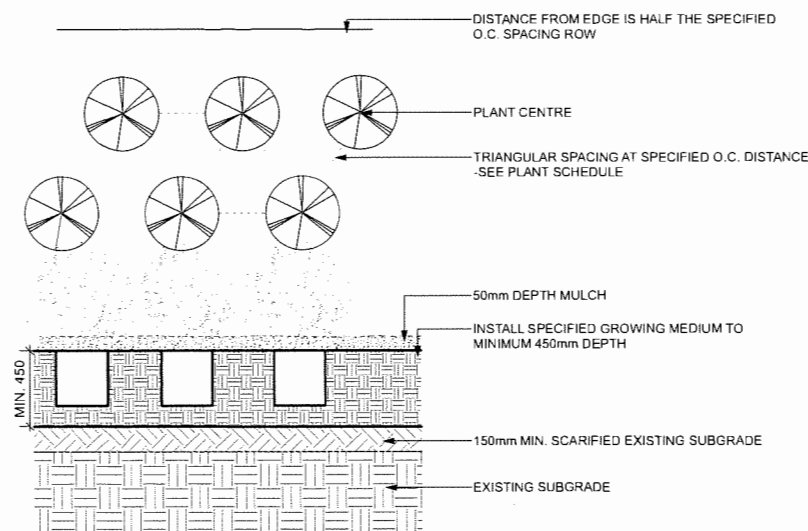
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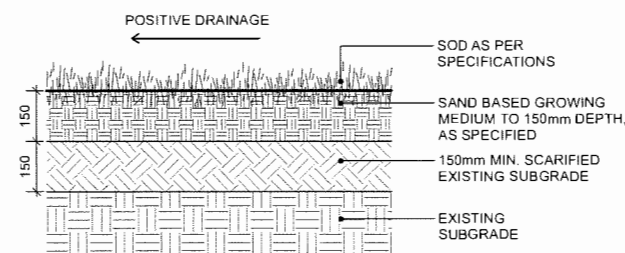
1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



3 CONIFEROUS TREE PLANTING ON GRADE (TYPICAL)
Scale: 1:20



2 PLANTING ON GRADE (TYPICAL)
Scale: 1:20



4 SOD LAWN (TYPICAL)
Scale: 1:10

**STEVESTON HWY
TOWNHOUSE
DEVELOPMENT**

PROJECT ADDRESS:
4571/4591/4611 STEVESTON HIGHWAY
RICHMOND, BC, CANADA

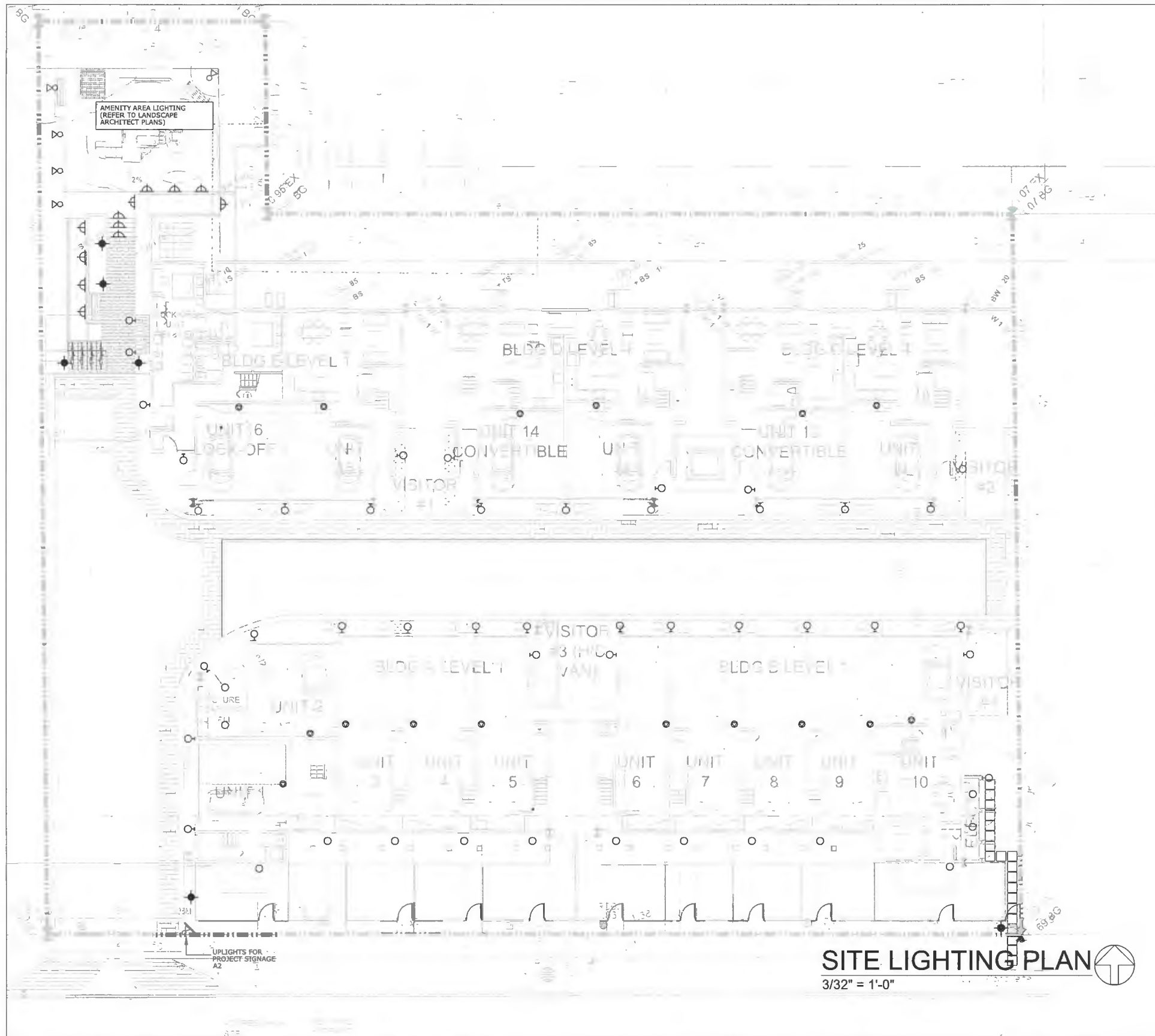
PROJECT NUMBER: 21-14

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**Softscape
Details**



SITE LIGHTING LEGEND		
		WALL MOUNTED COMPACT LED LIGHT. OPAL LENS, SUITABLE FOR EXTERIOR USE.
		42" H LED BOLLARDS, ROUND, DARK BRONZE FINISH, LOUVERED & GLASS LENS. MOUNT ON 9" DIA x 36" DEEP CONCRETE BASE WITH ANCHOR BOLTS.
		STEP LIGHTS: OUTDOOR, LED 120V, APPROVED FOR WET LOCATIONS. SIMILAR TO WAC 3WL-LED100, BLACK FINISH.
		CEILING LIGHTS: SURFACE MOUNTED CEILING LIGHTS. LED 120V, 15W, 11" DIA. SIMILAR TO KUZCO LIGHTING FM2022-BK.
		UP-LIGHT, LED 120V, APPROVED FOR WET LOCATIONS. SIMILAR TO WAC #5012-308BR, BLACK FINISH.
		EV OUTLET: ONE ENERGIZED OUTLET SUPPLYING LEVEL 2, 32A CHARGING FOR ELECTRIC VEHICLE CHARGING. ADDITIONAL OUTLET MUST BE ELECTRIC VEHICLE ENERGY MANAGEMENT SYSTEM (EVEMS)

SITE LIGHTING PLAN
3/32" = 1'-0"

NO: DATE: ISSUED FOR
1 28OCT21 HYDRO

NO: DATE: REVISIONS
1 04JUL2023 SITE PLAN UPDATED, LIGHTING LAYOUT ADJUSTED, EVC NOTE REV.
2 06JUL2023 AMENITY AREA UPDATED
3 22AUG2023 SITE PLAN & LTG UPDATED

ARCHITECTS:



SEAL:

ELECT. CONSULTANT

LIEW ENGINEERING LTD.
Electrical Consulting Engineers
108-11121 Horseshoe Way
Richmond, BC, V7A 5G7
Tel/Fax: 604-277-3157
Email: liew@lieweng.com

PROJECT NAME & ADDRESS:

TOWNHOUSE DEVELOPMENT
4611 STEVESTON HWY
RICHMOND, BC

DRAWING TITLE:

SITE LIGHTING PLAN

PROJECT No. DWG. No.

2118

E3

DP 20-919145

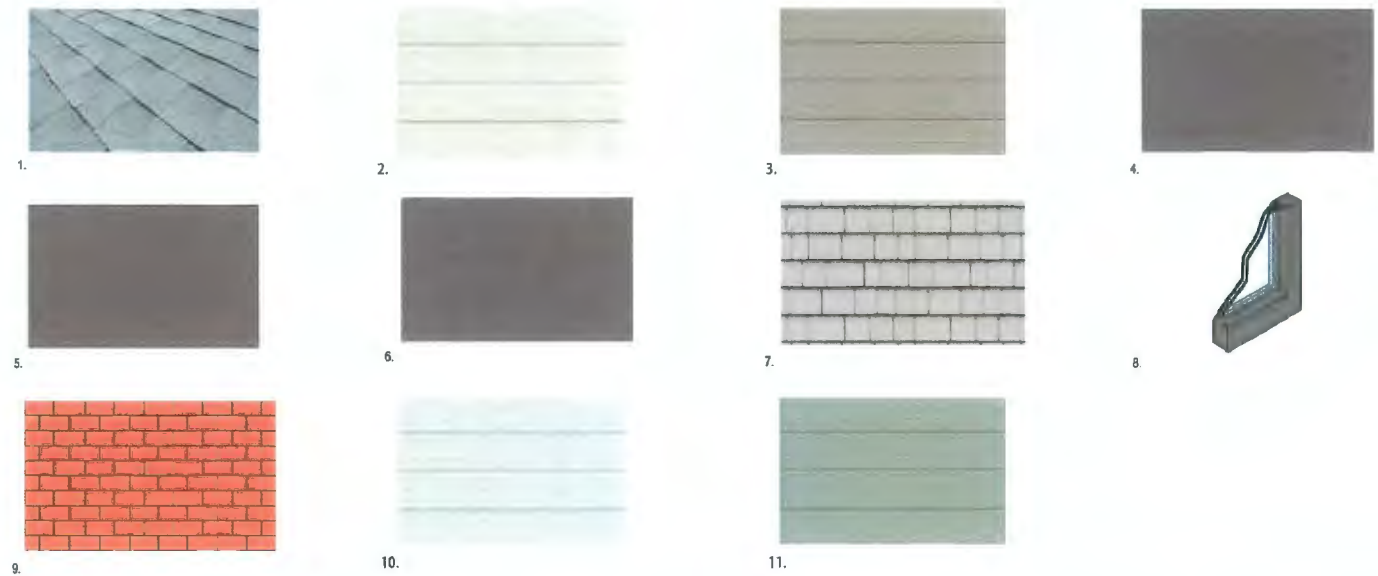
PLAN #27

December 18, 2023

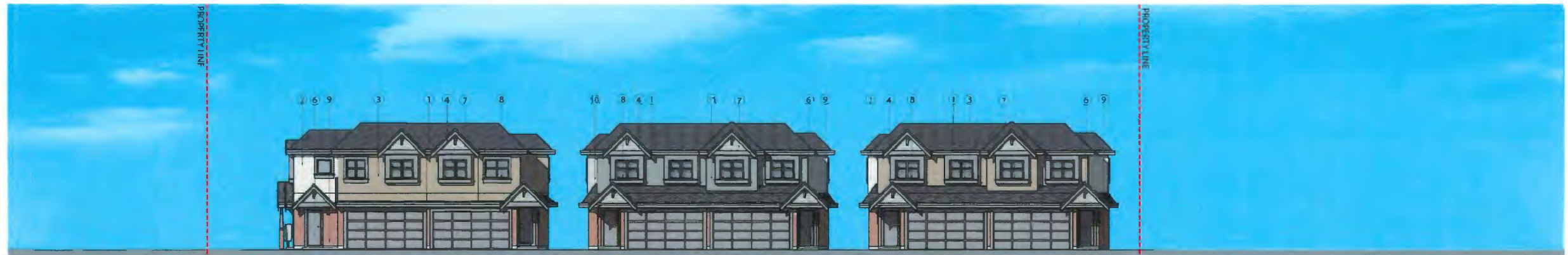
DATE: OCT2021 SCALE: A5 SHOWN
CHECKED: RVL DRAWN:

PERMIT TO PRACTICE #1001540

4611 STEVESTON HWY. RICHMOND, BC



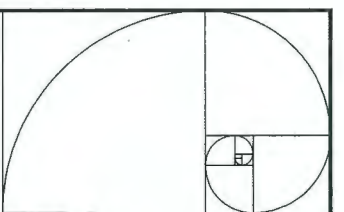
- 1.HIGH PROFILE ASPHALT SHINGLES (LIGHT GREY)
 - 2.COMPOSITE CEMENT-HARDIELAP SIDING (BM PAINT ARCTIC SHADOWS 1559 LRV:32.00)
 - 3.COMPOSITE CEMENT-HARDIELAP SIDING(BM PAINT GREENBROOK 517 LRV:15.00)
 - 4.WOOD FASCIA BOARD & TRIM (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
 - 5.METAL GUARDRAIL (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
 - 6.WOOD AND MEAL DOORS (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
 - 7.COMPOSITE CEMENT - HARDIE SHAKE (BM PAINT BEIGEWOD 1007 LRV:24.00)
 - 8.VINYL WINDOW WI CLEAR DOUBLE GLAZING & DARK BROWN FRAME (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
 - 9.BRICK CLADDING (RED)
 - 10.COMPOSIT IT CEMENT-HARDIELAP SIDING(BM PAINT SABRE GRAY 1482 (LRV:38.00)
 - 11.COMPOSITE CEMENT-HARDIELAP SIDING(BM PAINT SPARROW AF-720 (LRV:20.00)
- * BM PAINT DENOTES BENJAMIN MOORE PAINT. EXTERIOR MATERIALS TO BE PAINTED TO MATCH SPECIFICATION PROVIDED



INSIDE ELEVATION



STEVESTON HWY ELEVATION



IMPERIAL ARCHITECTURE
 ADDRESS: 770 FRENCH STREET, VAN COV, BC, V6P 4P5
 EMAIL: IMPERIAL.ARCHITECTURE@IMPERIALONLINE.COM
 TELEPHONE: 778-333-2222

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ISSUED FOR KDP REVIEW	J.Z.	J.K.	23.07.10
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.03.03
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.01.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.09.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.P.	22.01.21
ISSUED FOR DP APPLICATION	J.Z.	J.K.	20.11.23
ISSUED FOR REDRAWING RE-SUBMISSION	J.Z.	K.L.	19.08.16
ISSUED FOR REDRAWING RE-SUBMISSION	J.Z.	K.L.	19.07.17
ISSUED FOR REDRAWING APPLICATION	J.Z.	K.L.	18.10.22

Issued By: J.Z. Appd: J.K. (1) MM/00



Client/Project
 STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
 COLOR SAMPLE MATERIAL BOARD

Project No. #8217 Scale N.T.S.
 Drawing No. Sheet of Revision

A 0.9 of



BUILDING A
SOUTH ELEVATION

BUILDING B
SOUTH ELEVATION



BUILDING B
NORTH ELEVATION

BUILDING A
NORTH ELEVATION



BUILDING E
SOUTH ELEVATION

BUILDING D
SOUTH ELEVATION

BUILDING C
SOUTH ELEVATION



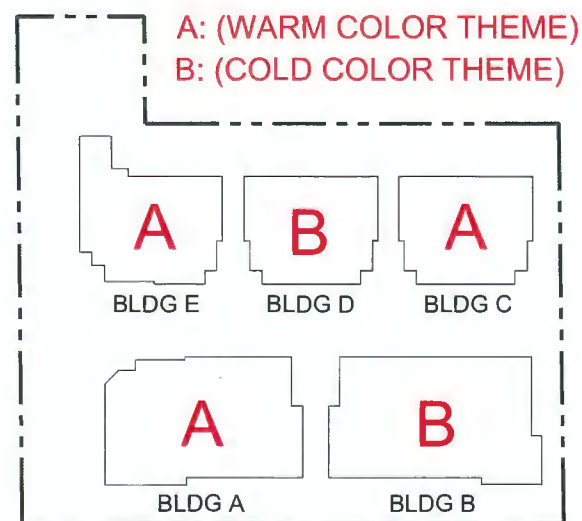
BUILDING C
NORTH ELEVATION

BUILDING D
NORTH ELEVATION

BUILDING E
NORTH ELEVATION

DESIGN RATIONALE FOR COLOR SCHEME

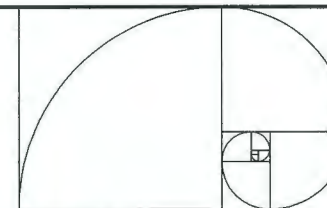
1. TWO COLOR SCHEMES WERE PROPOSED FOR CEMENT PANEL MATERIALS ON UPPER FLOORS OF ALL BUILDINGS AS WARM THEME (A) AND COLD THEME (B)
2. BLDG A IN FRONT BUILDINGS AND BLDG C & E IN BACK BUILDINGS HAVE WARM COLOR THEME (A) WHILE BLDG B IN FRONT BUILDINGS AND BLDG D IN BACK BUILDINGS HAVE COLD COLOR THEME (B). EACH TWO ADJACENT BUILDINGS WILL HAVE DIFFERENT COLOR SCHEMES TO ACHIEVE THE STAGGERED EFFECT.
3. WITHIN EACH COLOR THEME, A DARK AND A LIGHT COLORS WERE USED IN DIFFERENT BUILDING FACES BETWEEN FLOORS OF THREE STOREY BUILDINGS OR BETWEEN PLANES ON 2 STOREY BUILDINGS.
4. RED COLOR BRICK VENEER WILL BE USED ON GROUND FLOORS OF ALL BUILDINGS TO PROVIDE A UNIFIED COLOR DESPITE THE COLOR SCHEMES FOR UPPER LEVELS



DP 20-919145

PLAN #29

December 18, 2023



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ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.01.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.09.25
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ISSUED FOR DP APPLICATION	J.Z.	J.F.	20.11.23
ISSUED FOR REDRAWING RE-SUBMISSION	J.Z.	K.L.	19.08.16
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ISSUED FOR REDRAWING APPLICATION	J.Z.	P.L.	18.10.22

Issued By: J.Z. J.K. Appd: J.Z. J.K.



Client/Project

STEVESTON HWY TOWNHOUSE
DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY,
RICHMOND, BC (DP 20-919145)

Title

COLOR SCHEME
DESIGN RATIONAL

Project No.

#8217

Scale

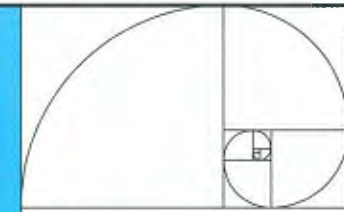
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Drawing No.

Sheet

Revision

A 3.1 of



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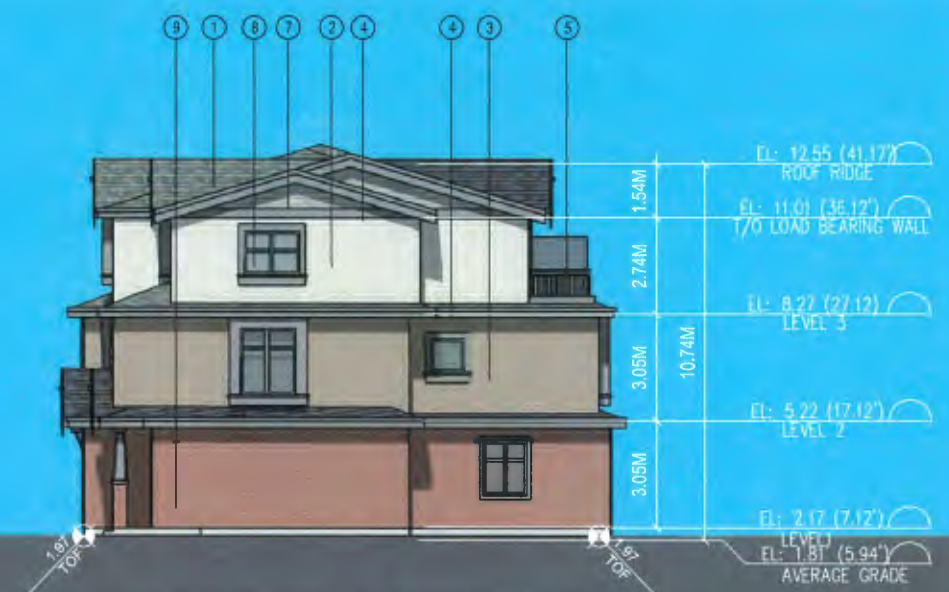
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ISSUED FOR REDWING RE-SUBMISSION	J.Z.	K.L.	19.07.17
ISSUED FOR REDWING APPLICATION	J.Z.	K.L.	18.10.22
Issued	By	Appr.	(1/18/20)



1 BUILDING A SOUTH ELEVATION
SCALE 1/8"=1'-0"



3 BUILDING A WEST ELEVATION
SCALE 1/8"=1'-0"

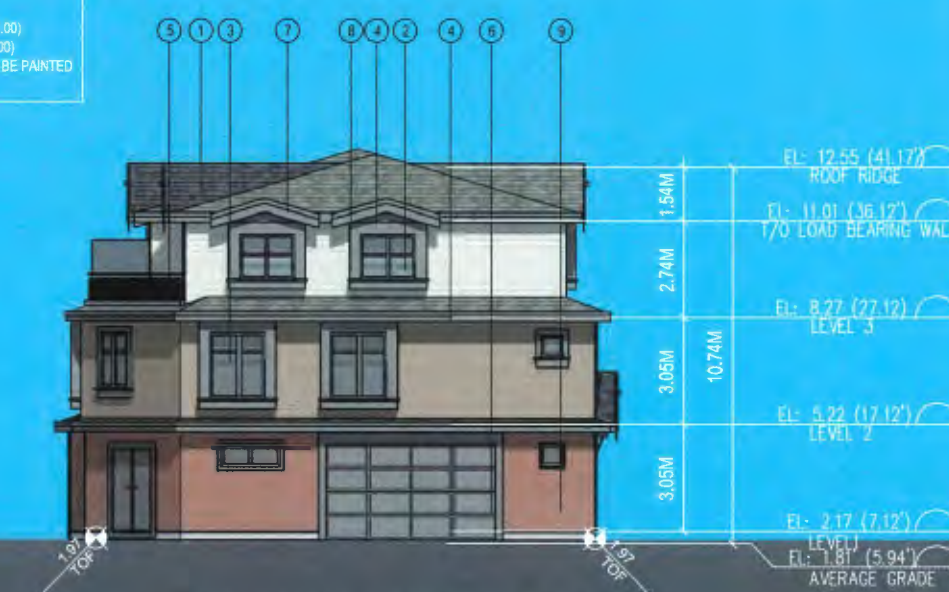
EXTERIOR FINISH MATERIAL SCHEDULE

- HIGH PROFILE ASPHALT SHINGLES (LIGHT GREY)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT ARCTIC SHADOWS 1559 LRV:32.00)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT GREENBROOK 517 LRV:15.00)
- WOOD FASCIA BOARD & TRIM (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- METAL GUARDRAIL (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- WOOD AND MEAL DOORS (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- COMPOSITE CEMENT - HARDIE SHAKE (BM PAINT BEIGEWOOD 1007 LRV:24.00)
- VINYL WINDOW W/ CLEAR DOUBLE GLAZING & DARK BROWN FRAME (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- BRICK CLADDING (RED)
- COMPOSITE CEMENT-HARDIPLAP SIDING/BM PAINT SABRE GRAY 1482 (LRV:36.00)
- COMPOSITE CEMENT-HARDIPLAP SIDING/BM PAINT SPARROW AF-720 (LRV:20.00)

* BM PAINT DENOTES BENJAMIN MOORE PAINT. EXTERIOR MATERIALS TO BE PAINTED TO MATCH SPECIFICATION PROVIDED.



2 BUILDING A NORTH ELEVATION
SCALE 1/8"=1'-0"



4 BUILDING A WEST ELEVATION
SCALE 1/8"=1'-0"



Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY,
RICHMOND, BC (DP 20-919145)

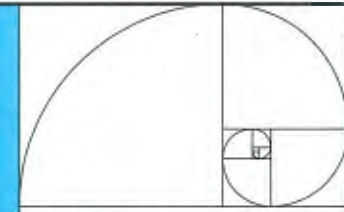
Building A Elevations

Project No. #8217
Scale 1/8"=1'-0"
Drawing No. 3.2
Sheet 3.2 of 3.2

DP 20-919145 PLAN #30

December 18, 2023

A 3.2



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ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.09.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.01.21
ISSUED FOR DP APPLICATION	J.Z.	J.K.	20.11.23
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ISSUED FOR REDWING RE-SUBMISSION	J.Z.	K.L.	18.10.22
ISSUED FOR REDWING APPLICATION	J.Z.	K.L.	18.10.22
Issued	By	Appd.	(S. 188/20)

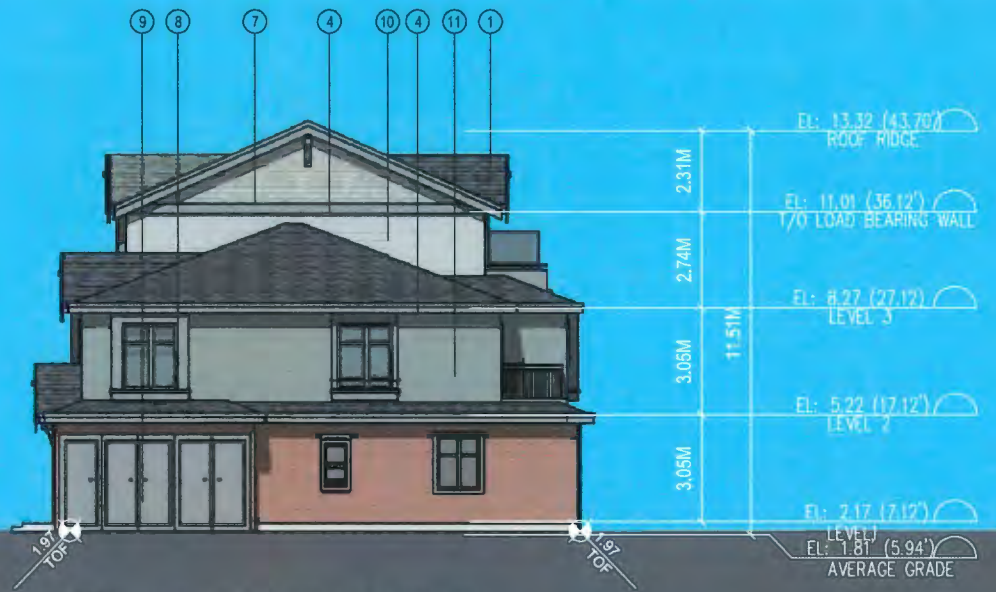


Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
BUILDING B ELEVATIONS

Project No. Scale
#8217 1/8"=1'-0"

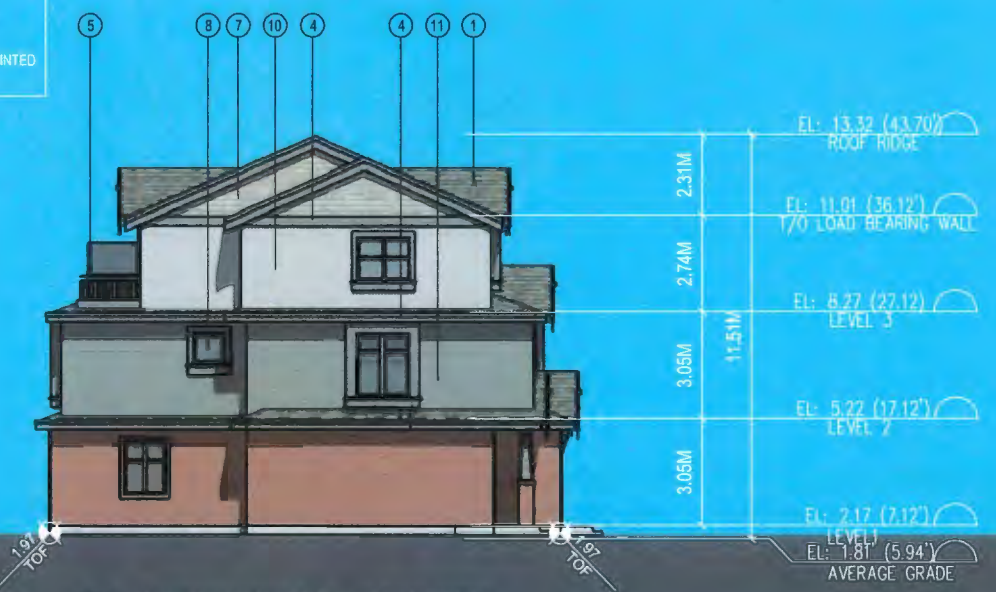
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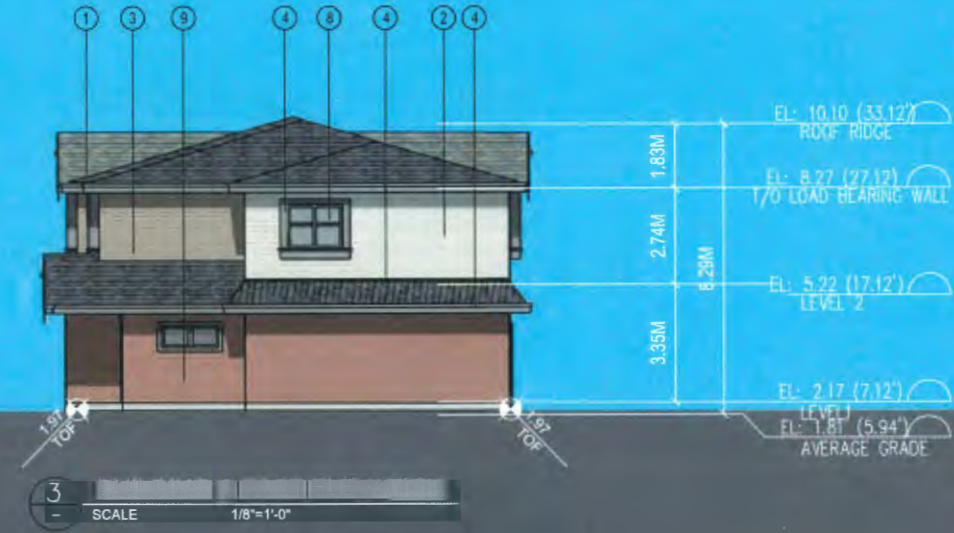
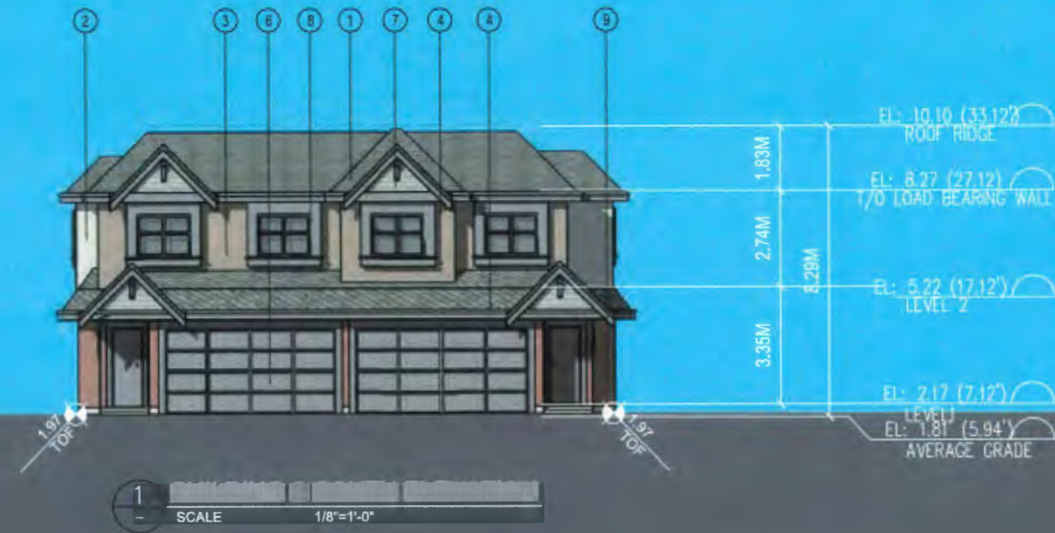


EXTERIOR FINISH MATERIAL SCHEDULE

- HIGH PROFILE ASPHALT SHINGLES (LIGHT GREY)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT ARCTIC SHADOWS 1659 LRV:32.00)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT GREENBROOK 517 LRV:15.00)
- WOOD FASCIA BOARD & TRIM (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- METAL GUARDRAIL (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- WOOD AND MEAL DOORS (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- COMPOSITE CEMENT - HARDIE SHAKE (BM PAINT BEIGEWOOD 1007 LRV:24.00)
- VINYL WINDOW W/ CLEAR DOUBLE GLAZING & DARK BROWN FRAME (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- BRICK CLADDING (RED)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT SABRE GRAY 1482 (LRV:38.00)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT SPARROW AF-720 (LRV:20.00)

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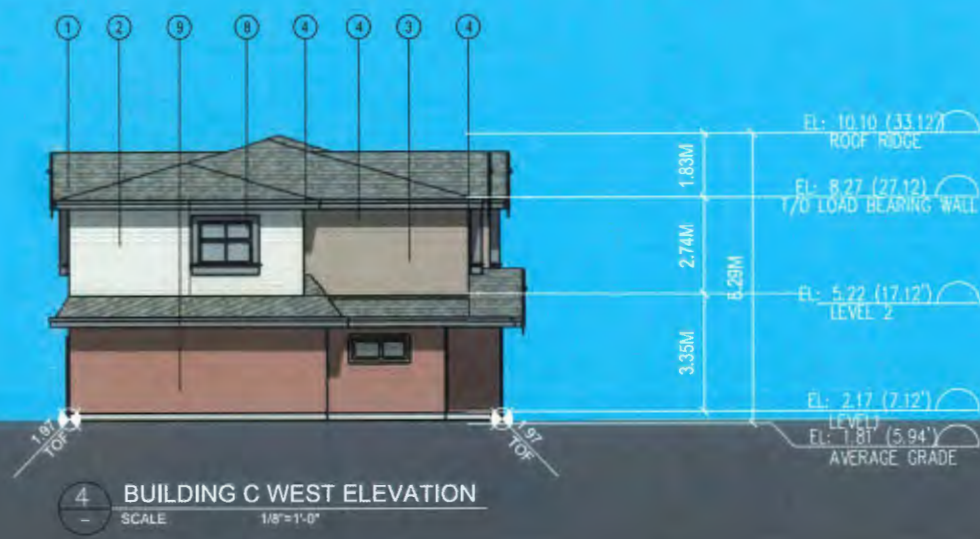
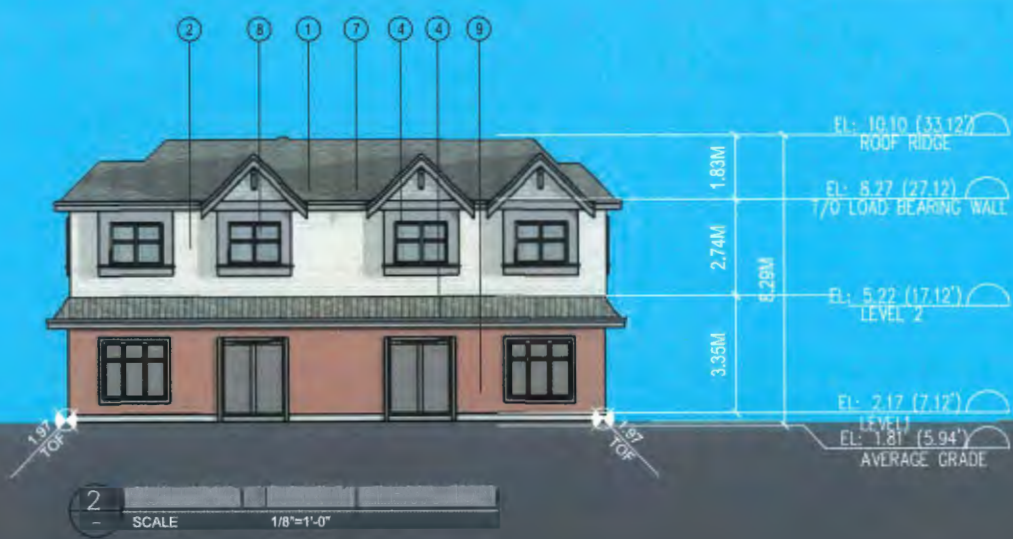




EXTERIOR FINISH MATERIAL SCHEDULE

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- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT ARCTIC SHADOWS 1559 LRV:32.00)
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- WOOD FASCIA BOARD & TRIM (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
- METAL GUARDRAIL (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00)
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- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT SABRE GRAY 1482 (LRV:38.00)
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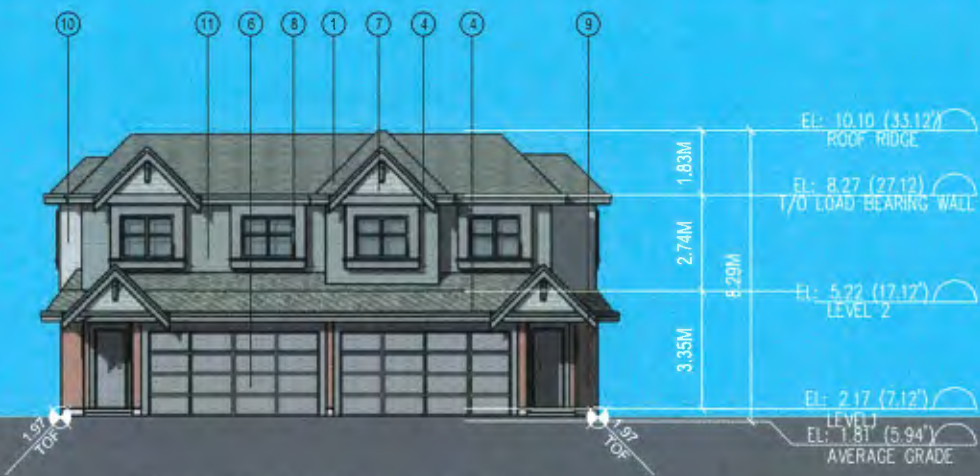
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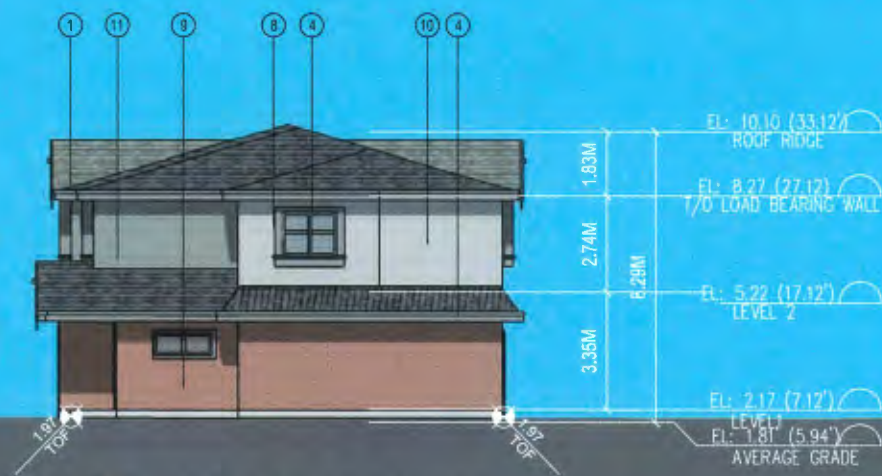
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STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
BUILDING C ELEVATIONS

Project No. #8217 Scale 1/8"=1'-0"
 Drawing No. Sheet 1 of 3
 A 3.4 of



1 BUILDING D SOUTH ELEVATION
SCALE 1/8"=1'-0"

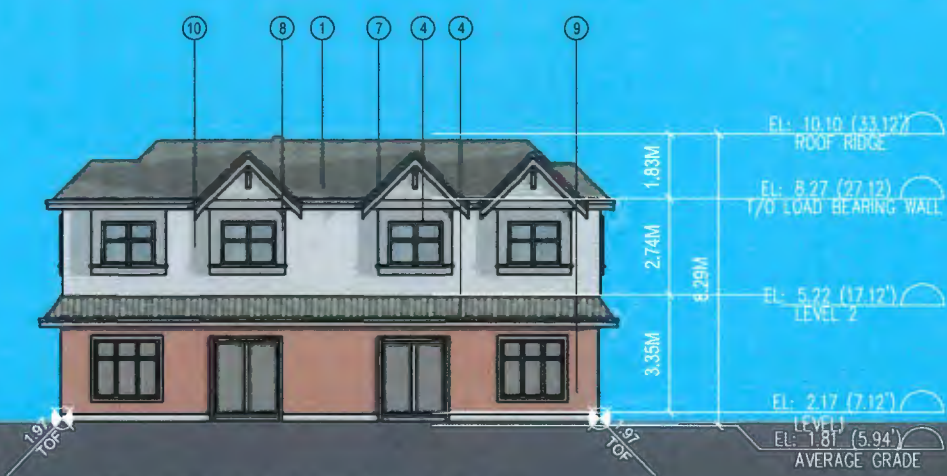


3 BUILDING D WEST ELEVATION
SCALE 1/8"=1'-0"

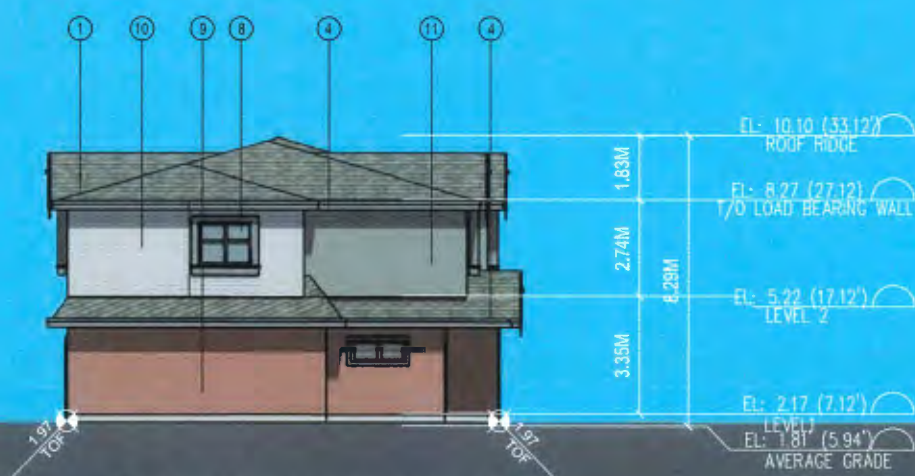
EXTERIOR FINISH MATERIAL SCHEDULE

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2. COMPOSIT CEMENT-HARDIPLAP SIDING (BM PAINT ARCTIC SHADOWS 1859 (LRV:32.00))
3. COMPOSIT CEMENT-HARDIPLAP SIDING (BM PAINT GREENBROOK 517 (LRV:15.00))
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7. COMPOSITE CEMENT - HARDIE SHAKE (BM PAINT BEIGEWOOD 1007 (LRV:24.00))
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10. COMPOSIT CEMENT-HARDIPLAP SIDING (BM PAINT SABRE GRAY 1482 (LRV:38.00))
11. COMPOSIT CEMENT-HARDIPLAP SIDING (BM PAINT SPARROW AF-720 (LRV:20.00))

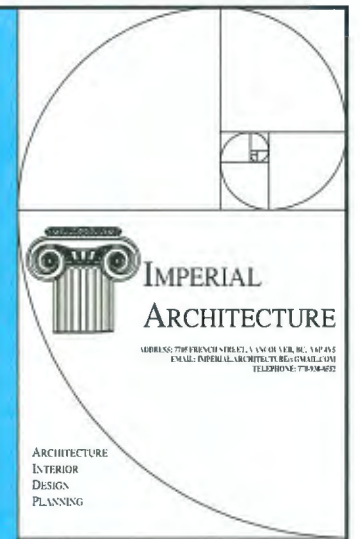
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2 BUILDING D NORTH ELEVATION
SCALE 1/8"=1'-0"



4 BUILDING D EAST ELEVATION
SCALE 1/8"=1'-0"



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ISSUED FOR PERMITS	J.Z.	J.K.	23.07.10
ISSUED FOR PERMITS	J.Z.	J.K.	23.03.03
ISSUED FOR PERMITS	J.Z.	J.K.	23.01.25
ISSUED FOR PERMITS	J.Z.	J.K.	22.09.29
ISSUED FOR PERMITS	J.Z.	J.K.	22.07.11
ISSUED FOR PERMITS	J.Z.	J.K.	20.11.23
ISSUED FOR PERMITS	J.Z.	F.L.	19.08.16
ISSUED FOR PERMITS	J.Z.	F.L.	19.07.17
ISSUED FOR PERMITS	J.Z.	F.L.	18.10.22
Issued	By	Appr.	(1) MM/DC

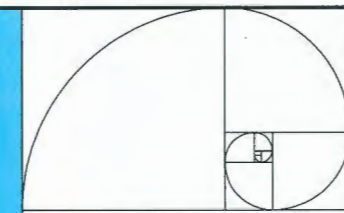


Client/Project:
STEVESTON HWY TOWNHOUSE DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY,
RICHMOND, BC (DP 20-919145)

Title:
BUILDING D ELEVATIONS

Project No. Scale
#8217 1/8"=1'-0"

Sheet Revision
A 3.5 of



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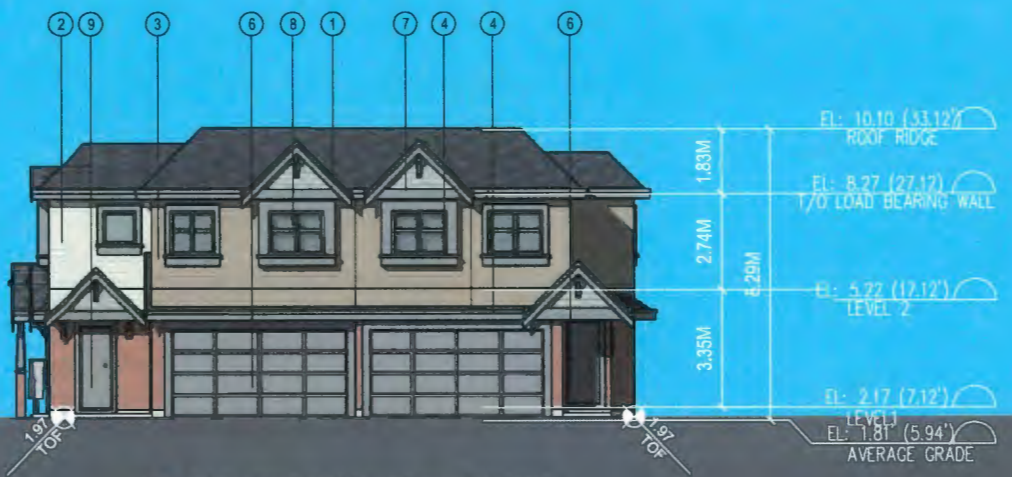
Issued By: J.Z. J.K. J.P. K.L. (1) M.M.D.C.



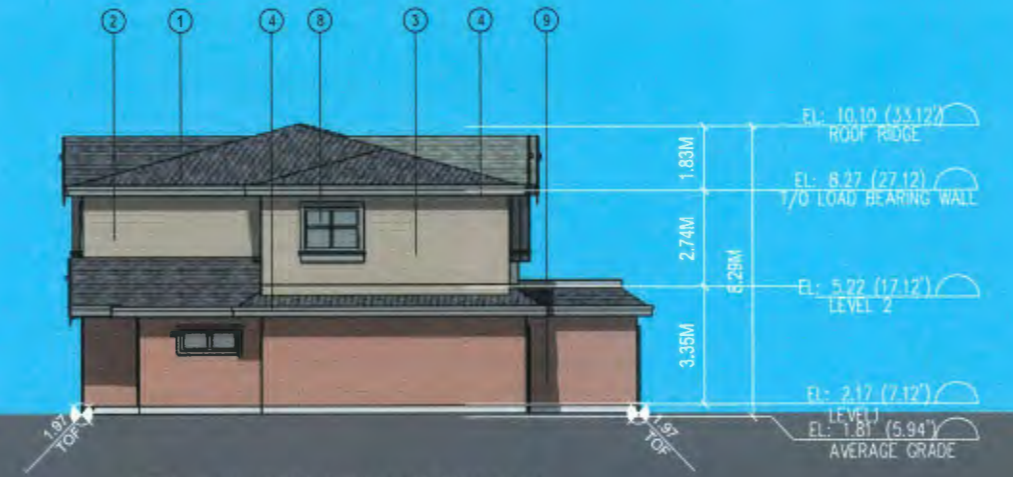
Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY,
RICHMOND, BC (DP 20-919145)

Title
BUILDING E ELEVATIONS

Project No. #8217 Scale 1/8"=1'-0"
Drawing No. Sheet Revision
A 3.6 of



1 SCALE 1/8"=1'-0"

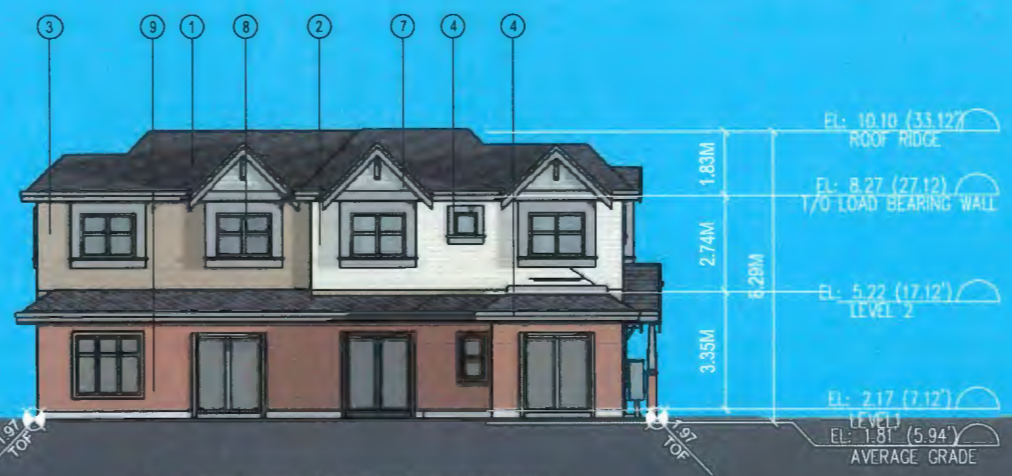


3 BUILDING E EAST ELEVATION SCALE 1/8"=1'-0"

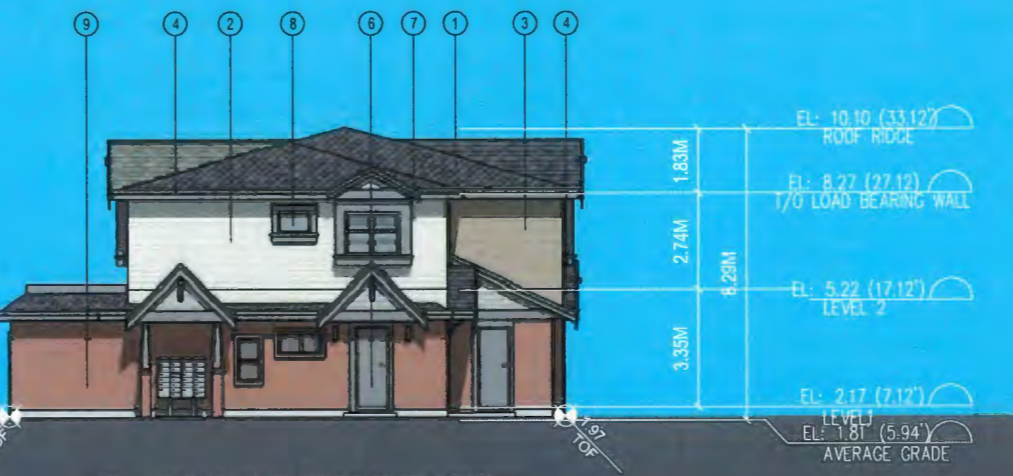
EXTERIOR FINISH MATERIAL SCHEDULE

- HIGH PROFILE ASPHALT SHINGLES (LIGHT GREY)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT ARCTIC SHADOWS 1559 (LRV:32.00))
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT GREENBROOK 517 (LRV:15.00))
- WOOD FASCIA BOARD & TRIM (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00))
- METAL GUARDRAIL (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00))
- WOOD AND MEAL DOORS (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00))
- COMPOSITE CEMENT - HARDIE SHAKE (BM PAINT BEIGEWOOD 1007 (LRV:24.09))
- VINYL WINDOW W/ CLEAR DOUBLE GLAZING & DARK BROWN FRAME (BM PAINT BITTERSWEET CHOCOLATE 2114-10 (LRV:3.00))
- BRICK CLADDING (RED)
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT SABRE GRAY 1482 (LRV:38.00))
- COMPOSITE CEMENT-HARDIPLAP SIDING (BM PAINT SPARROW AF-720 (LRV:20.00))

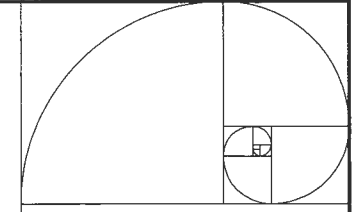
* BM PAINT DENOTES BENJAMIN MOORE PAINT, EXTERIOR MATERIALS TO BE PAINTED TO MATCH SPECIFICATION PROVIDED



2 SCALE 1/8"=1'-0"



4 BUILDING E WEST ELEVATION SCALE 1/8"=1'-0"

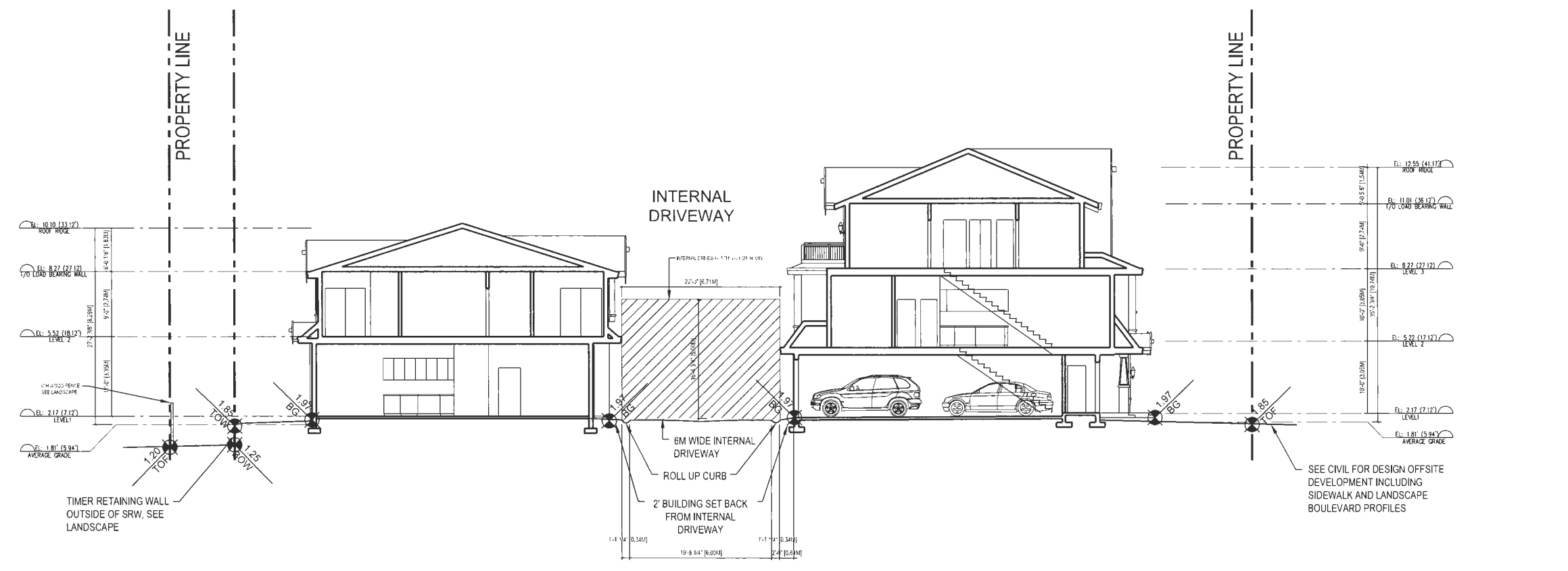


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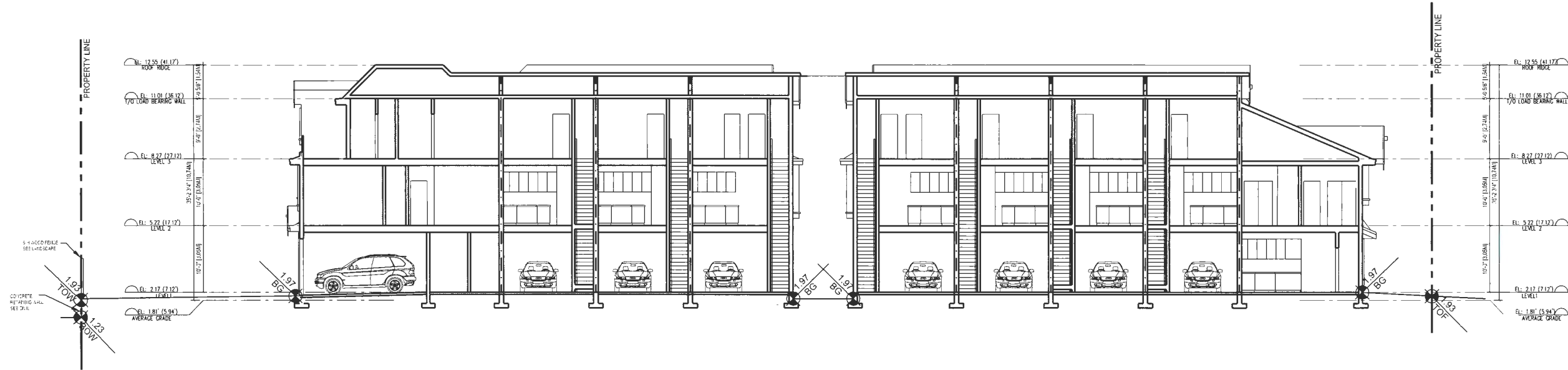
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ISSUED FOR DP SUBMISSION	J.Z.	J.K.	23.12.05
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ISSUED FOR DP PRE-REVIEW	J.Z.	J.K.	23.07.10
ISSUED FOR DP SUBMISSION	J.Z.	J.K.	23.03.03
ISSUED FOR DP SUBMISSION	J.Z.	J.K.	23.01.25
ISSUED FOR DP SUBMISSION	J.Z.	J.K.	22.09.29
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ISSUED FOR DP APPLICATION	J.Z.	J.P.	20.11.23
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ISSUED FOR MEETING PRE-SUBMISSION	J.Z.	F.L.	19.07.17
ISSUED FOR MEETING APPLICATION	J.Z.	F.L.	18.10.22
Issued	By	Appr	M.V.C.



1 BUILDING C SECTION
A4.1 SCALE: 1/8"=1'-0"

2 BUILDING B SECTION #1
A4.1 SCALE: 1/8"=1'-0"



3 BUILDING A SECTION
A4.1 SCALE: 1/8"=1'-0"

4 BUILDING B SECTION #2
A4.1 SCALE: 1/8"=1'-0"

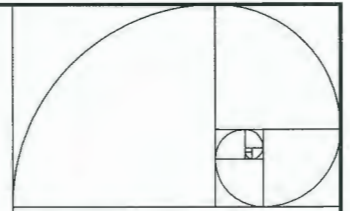
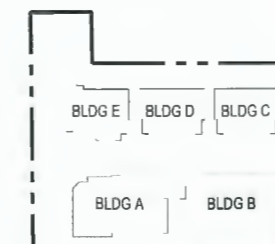
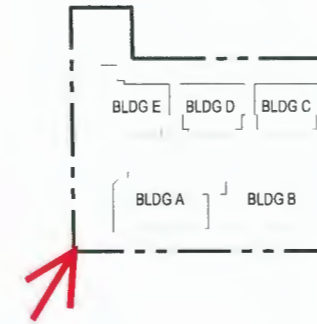


Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
BUILDING SECTIONS

Project No. Scale
#8217 1/8"=1'-0"

Drawing No. Sheet Revision
A 4.1 of



IMPERIAL ARCHITECTURE
 4500 167 STREET, SUITE 101, RICHMOND, BC V6V 1A5
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ISSUED FOR RECORDING APPLICATION	J.Z.	K.L.	18.10.22
Issued	By	Appd.	(i) M.R.D.C.



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STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY,
 RICHMOND, BC (DP 20-919145)

Title

COLOR RENDERING
 (BIRD EYE VIEWS)

Project No.

#8217

Scale

N.T.S.

Drawing No.

A 0.11 of

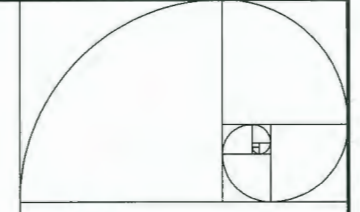
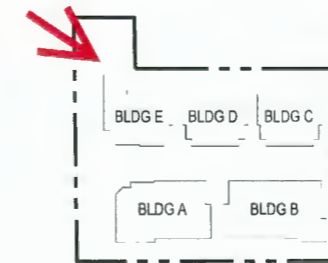
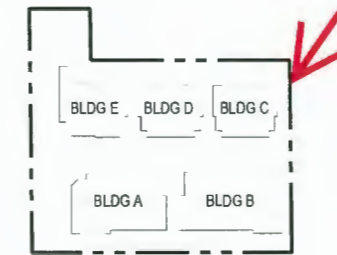
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Revision

DP 20-919145

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December 18, 2023



IMPERIAL ARCHITECTURE
 100-1017 THE FRANCHISE STREET, VANICUEN, BC, V4P 1P4
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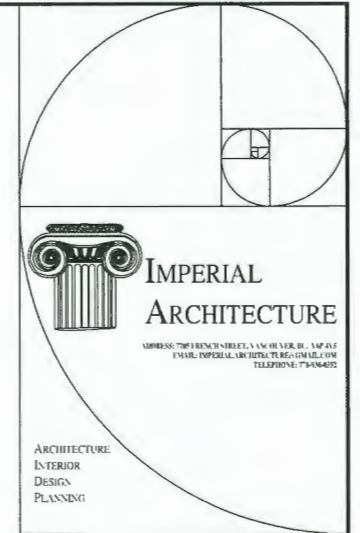
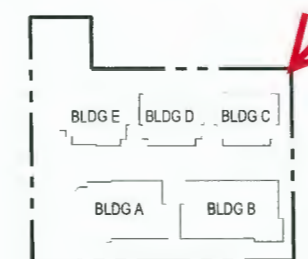
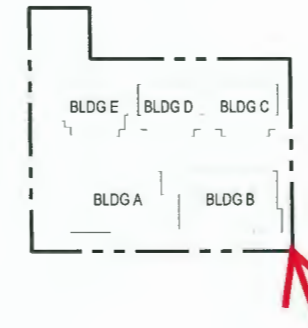
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Title:
COLOR RENDERING (BIRD EYE VIEWS)

Project No. #8217 Scale N.T.S.
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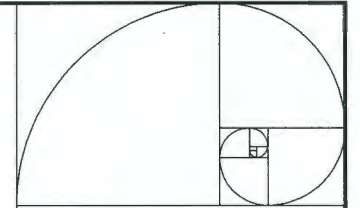
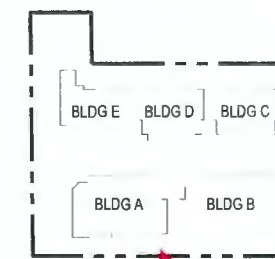
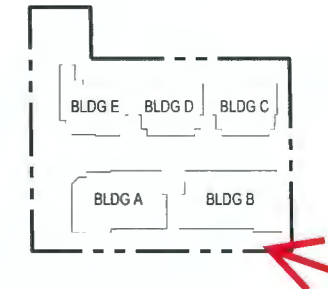
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ISSUED FOR RETOPIING APPLICATION	J.Z.	P.S.	18.10.22
Issued	By	Appd.	15.04.20



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STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY,
 RICHMOND, BC (DP 20-919145)

Title
COLOR RENDERING (BIRD EYE VIEWS)

Project No. #8217 Scale N.T.S.
 Drawing No. A 0.13 of



IMPERIAL ARCHITECTURE
 ADDRESS: 7700 FRASER STREET, VANCOUVER, BC, V6P 4J1
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ISSUED FOR REDWING APPLICATION	J.Z.	P.L.	18.10.22
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 4571, 4591 & 4611 STEVESTON HWY,
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Title

COLOR RENDERING
 (EYE LEVEL VIEWS)

Project No.

#8217

Scale

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Drawing No.

A 0.21

Sheet

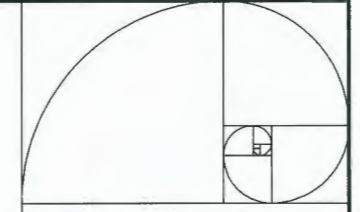
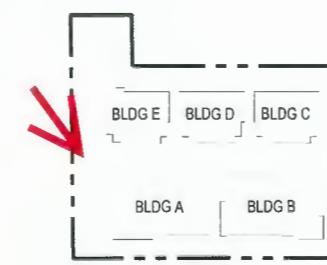
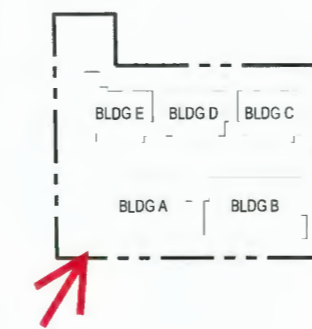
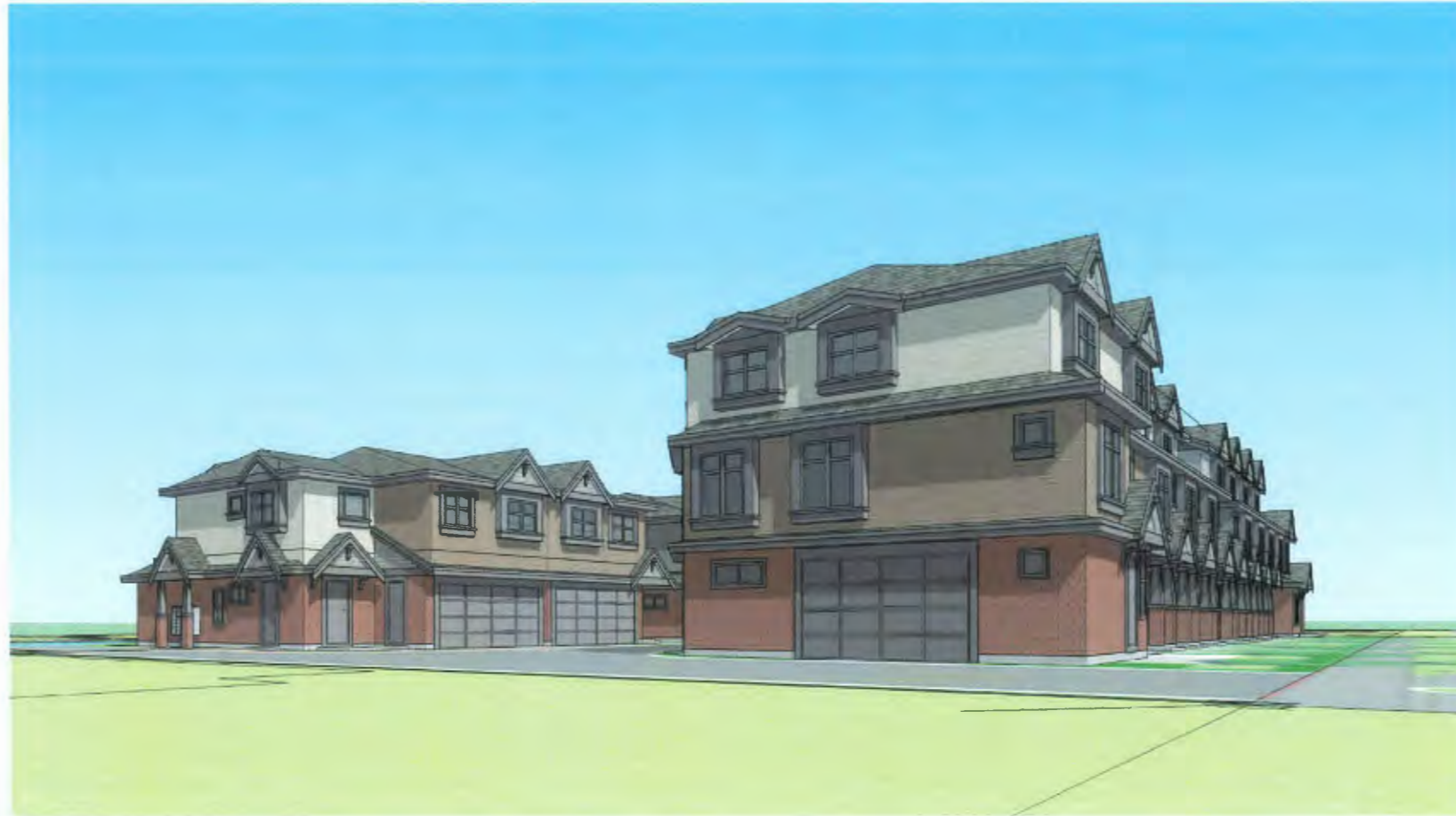
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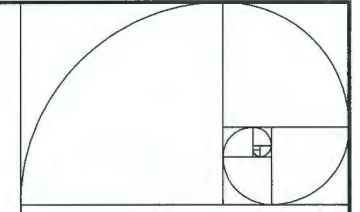
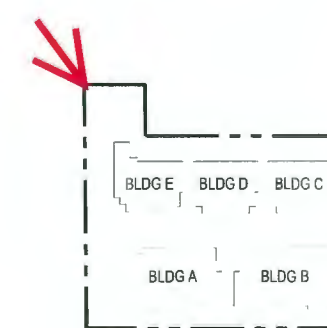
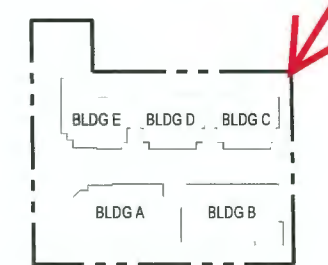
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4571, 4591 & 4611 STEVESTON HWY,
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Title
COLOR RENDERING
(EYE LEVEL VIEWS)

Project No. Scale
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Issued	By	Appd.	11 MAR 09

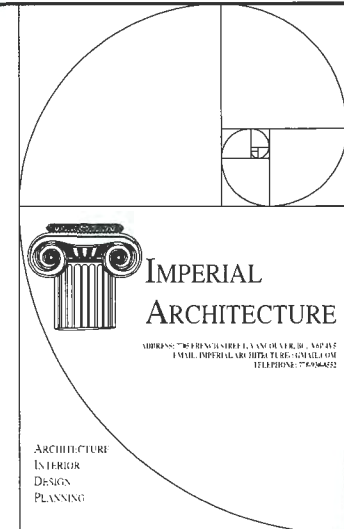


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 4571, 4591 & 4611 STEVESTON HWY,
 RICHMOND, BC (DP 20-919145)

Title
COLOR RENDERING (EYE LEVEL VIEWS)

Project No. Scale
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Drawing No. Sheet Revision
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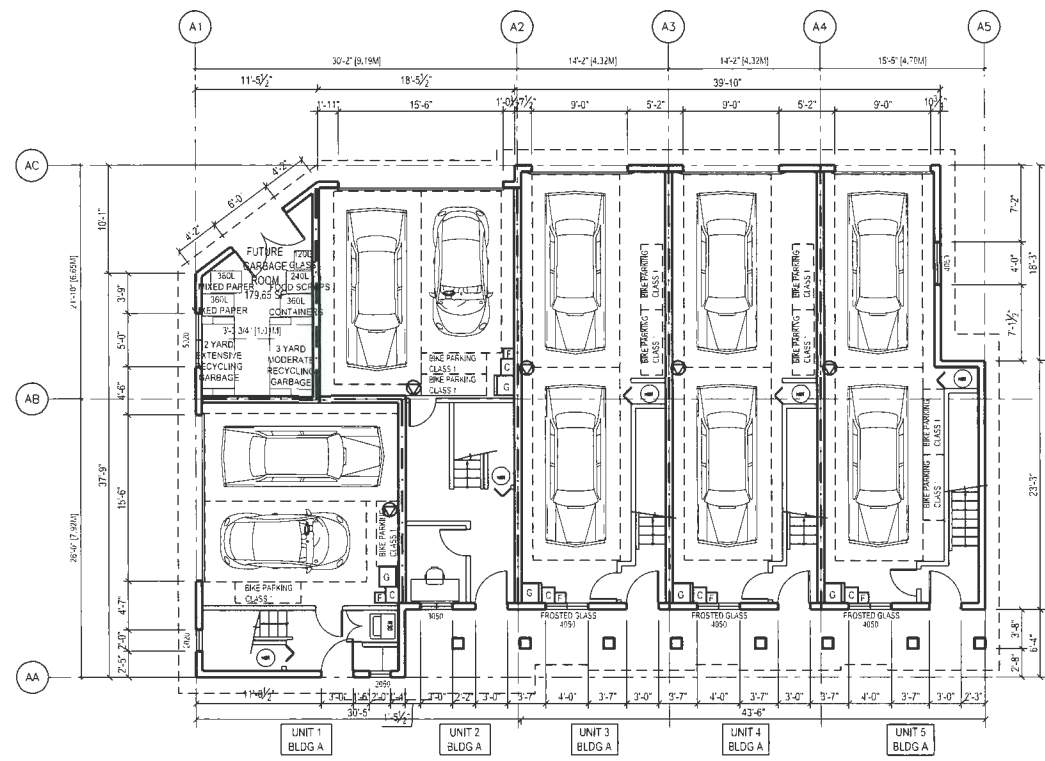
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Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
BUILDING A FLOOR PLANS

Project No. #8217
 Scale 1/8"=1'-0"
 Drawing No. A 2.1
 Sheet 1 of 1
 Revision



1 BUILDING A LEVEL 1 FLOOR PLAN
 A2.1 SCALE: 1/8"=1'-0"



2 BUILDING A LEVEL 2 FLOOR PLAN
 A2.1 SCALE: 1/8"=1'-0"

FUTURE GARBAGE ROOM LEGEND

1 YARD 48'X7'	GARBAGE (MODERATE RECYCLING)	360L MIXED PAPER (WITHOUT CARDBOARD)	2 X
2 YARD 36'X12'	GARBAGE (EXTENSIVE RECYCLING)	360L MIXED PAPER (WITHOUT CARDBOARD)	1 X
240L FOOD SCRAPS & YARD FRIMINGS (HIGH PARTICULATION)	360L RECYCLING	360L MIXED PAPER (WITHOUT CARDBOARD)	2 X
		720L GLASS	

- G 120L GARBAGE CART 0.95MH X 0.55MD X 0.48MW
- E 46.5L FOOD SCRAPS CART 0.69MH X 0.30MD X 0.28MW
- C BLUE CONTAINER BOX 0.37MH X 0.38M X 0.46MW
 GREY GLASS CONTAINER BOX 0.36MH X 0.36MD X 0.27MW
 YELLOW PAPER BAG CART 0.66MH X 0.46MD

BAY WINDOW FRAMING NOTES:
 FRAMING OF BAY WINDOWS SHOULD NOT GO DOWN TO FLOOR BELOW AND HAVE MIN. 18" CLEARANCE FROM THE INTERIOR FLOOR (TYP.)

- GENERAL NOTES:
- AGING IN PLACE FEATURES SUCH AS "STAIRWELL HANDRAILS, SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILET, BATHTUB AND SHOWER" AND "LEVER-TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES" WILL BE PROVIDED IN ALL UNITS.
 - UNIT 12 & 14 ARE CONVERTIBLE UNITS.
 - UNIT 16 CONTAINS A LOCK-OFF UNIT.
 - THE PROJECT WILL COMPLY WITH STEP CODE 3 REQUIREMENTS FOR ENERGY EFFICIENCY. REFER TO ENERGY REPORT DATED JANUARY 17, 2022 ISSUED BY JRS ENGINEERING FOR MORE INFORMATION. BELOW ARE SOME ENERGY EFFICIENCY FEATURES TO BE PROVIDED IN THIS PROJECT:
 (A): AIR SOURCE HEAT PUMP A/C UNIT WITH HRV MECHANICAL VENTILATION SYSTEM
 (B): SOLAR HOT WATER READY REQUIREMENT
 (C): ENERGY STAR APPLIANCES AND LIGHT BULBS
 (D): LOW E DOUBLE GLAZING WINDOWS
 (E): POWER OUTLET IN PRIVATE GARAGE FOR CHARGING ELECTRIC CARS
 - AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE

ACOUSTICAL UPDATE REQUIRED ON EXTERIOR WINDOWS (REFER TO ACOUSTICAL REPORT ISSUED BY BKL DATED SEPT 08, 2023)

A STANDARD GLAZING DETAIL, ASSUMED TO BE TWO LAYERS OF 3 MM GLASS SEPARATED BY A 13 MM AIRSPACE (OITC 24), WILL PROVIDE ADEQUATE NOISE ISOLATION TO ALL INTERIOR SPACES WITH THE EXCEPTION OF EAST-FACING BEDROOM WINDOWS LOCATED ON BUILDING A AND B AS SHOWN IN APPENDIX A: LOCATIONS OF WINDOW AND DOOR UPGRADES REQUIRED.

THE FOLLOWING TABLE SUMMARIZES THE REQUIRED MINIMUM OITC RATINGS, INCLUDING EXAMPLE WINDOW GLAZING, WHICH REQUIRE UPGRADING:

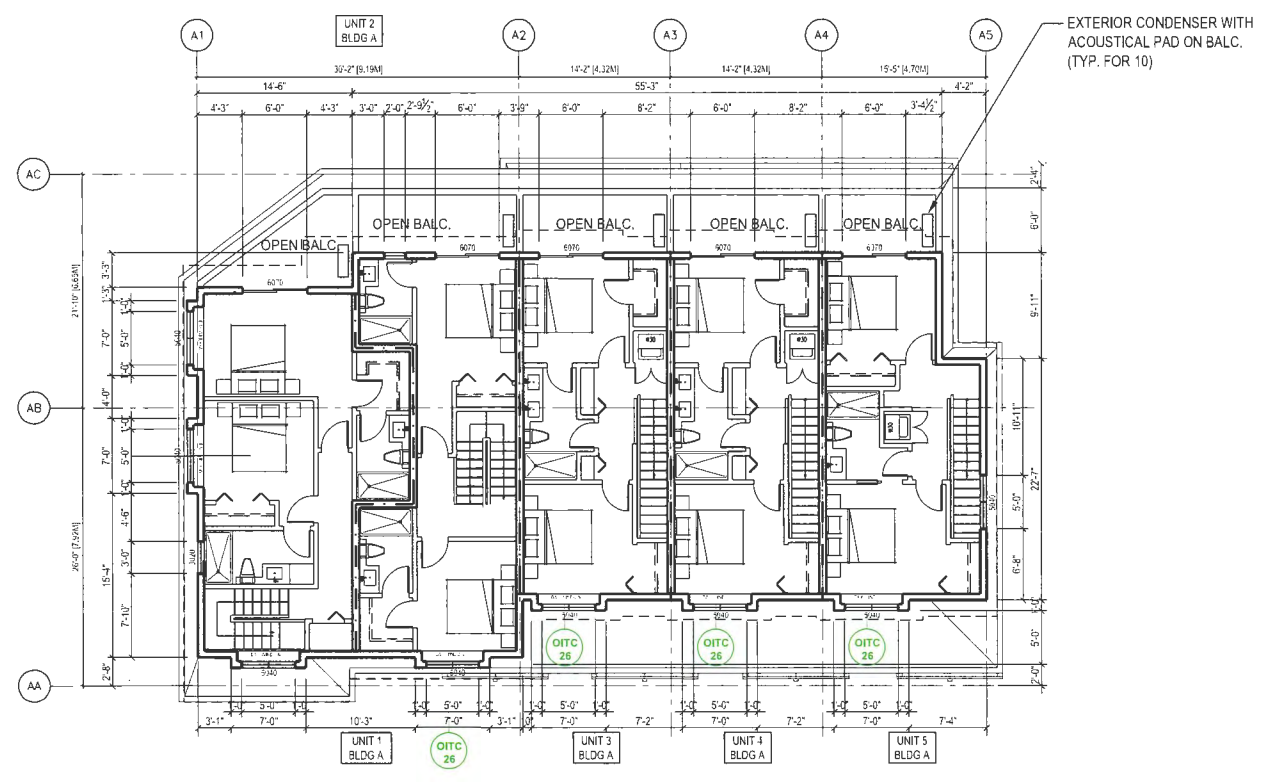
MINIMUM OITC RATING	EXAMPLE WINDOW GLAZING
OITC 26	4-14-4 (ONE PANE OF 4MM GLASS AND ONE PANE OF 4MM GLASS SEPARATED BY A 14MM AIRSPACE)

EXTERIOR CONDENSER ACOUSTICAL NOTES (REFER TO ACOUSTICAL REPORT ISSUED BY BKL DATED SEPT 08, 2023):

HEAT PUMPS CONDENSING UNITS FOR BUILDING A AND B ARE LOCATED ON OPEN BALCONIES (TYP.)

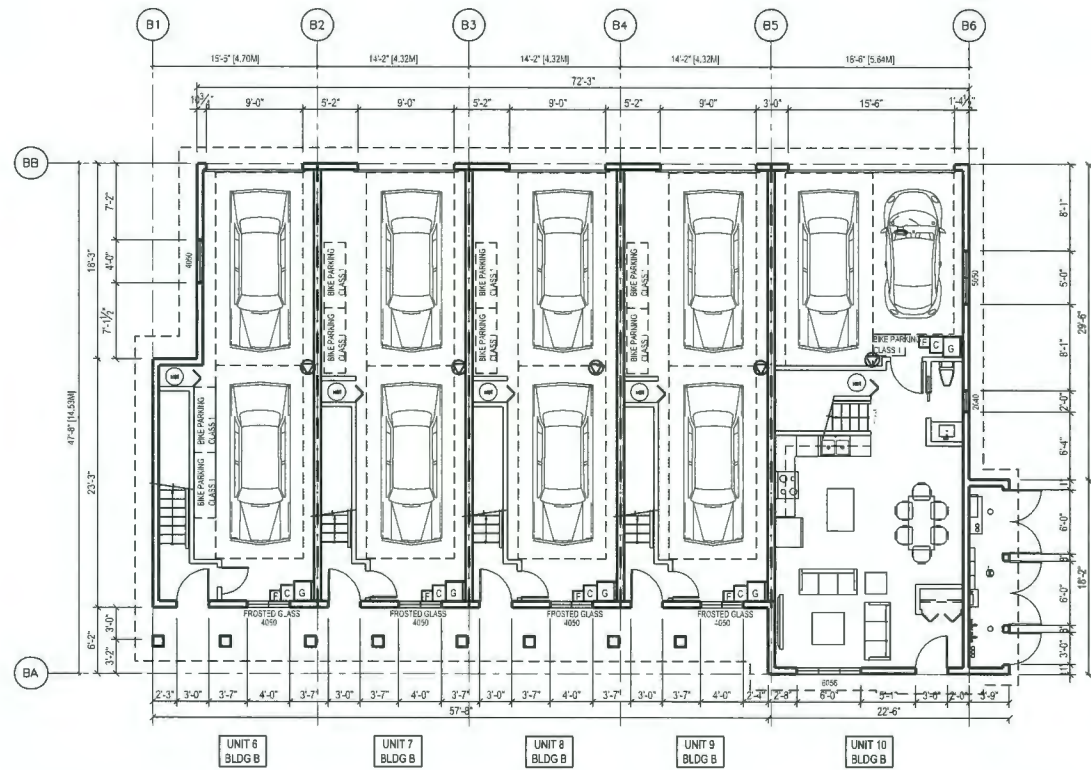
ALL BALCONY CONDENSING UNITS SHOULD BE PROPERLY VIBRATION ISOLATED. WE RECOMMEND MOUNTING THE CONDENSERS ON A NEOPRENE PAD (MASON SW PAD OR SIMILAR) TO MITIGATE VIBRATION TRANSFER TO THE BALCONY FLOORS AND THE OCCUPIED ROOMS BELOW.

--- 1 HR FIRE SEPARATION (WALL AND CEILING)

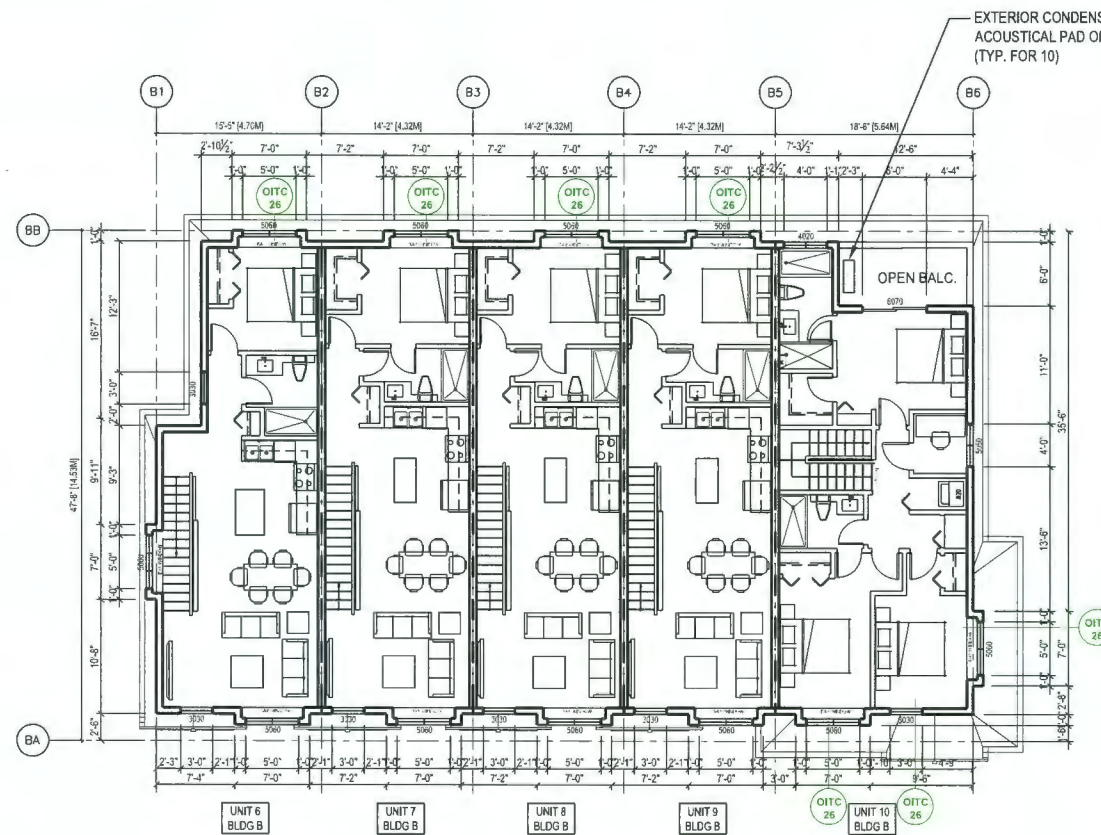


3 BUILDING A LEVEL 3 FLOOR PLAN
 A2.1 SCALE: 1/8"=1'-0"

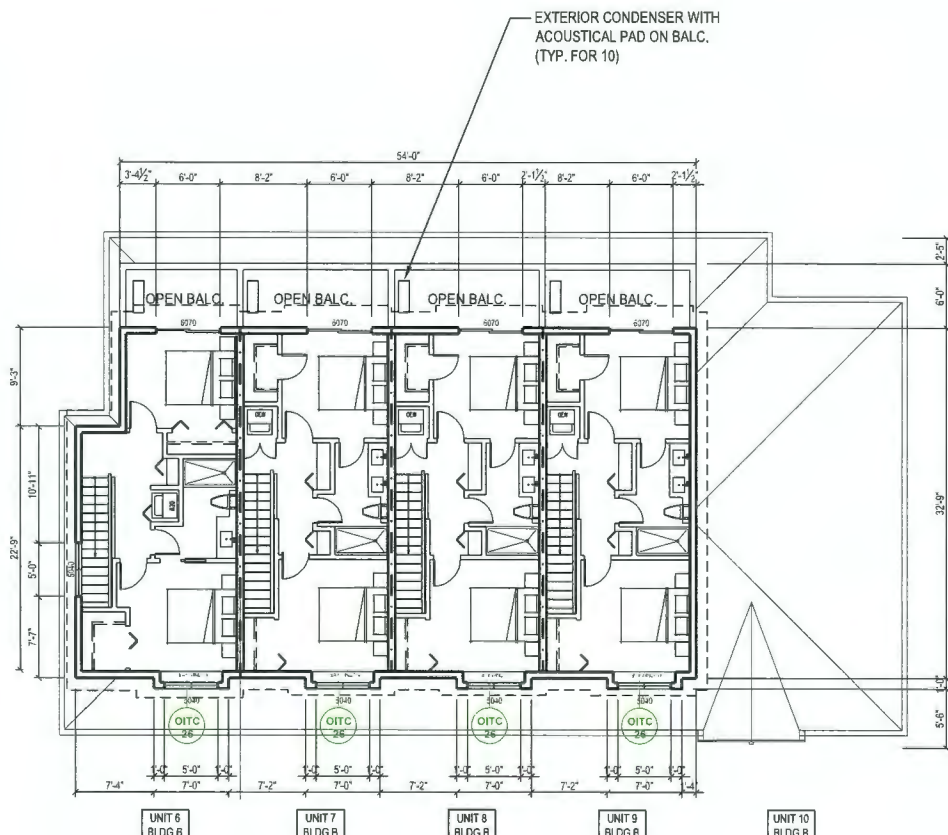




1 BUILDING B LEVEL 1 FLOOR PLAN
A2.2 SCALE: 1/8"=1'-0"



2 BUILDING B LEVEL 2 FLOOR PLAN
A2.2 SCALE: 1/8"=1'-0"



3 BUILDING B LEVEL 3 FLOOR PLAN
A2.2 SCALE: 1/8"=1'-0"

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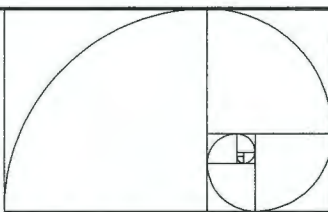
MINIMUM OITC RATING	EXAMPLE WINDOW GLAZING
OITC 26	4-144 (ONE PANE OF 4MM GLASS AND ONE PANE OF 4MM GLASS SEPARATED BY A 14MM AIRSPACE)

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--- 1 HR FIRE SEPARATION (WALL AND CEILING)



IMPERIAL ARCHITECTURE
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TELEPHONE: 778-4646

ARCHITECTURE
INTERIOR
DESIGN
PLANNING

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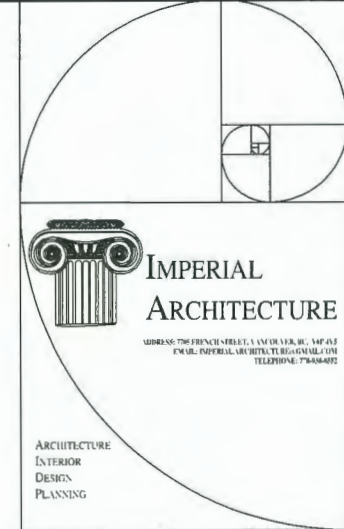
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ISSUED FOR REDRAWING RE-SUBMISSION	J.Z.	J.K.	19.08.18
ISSUED FOR REDRAWING RE-SUBMISSION	J.Z.	J.K.	19.07.17
ISSUED FOR REDRAWING APPLICATION	J.Z.	J.K.	18.10.22
Issued	By	Appd	7/1/00/00



Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
4571, 4591 & 4611 STEVESTON HWY,
RICHMOND, BC (DP 20-919145)

Title
BUILDING B FLOOR PLANS

Project No. #8217
Scale 1/8"=1'-0"
Drawing No. A2.2
Sheet of
Revision



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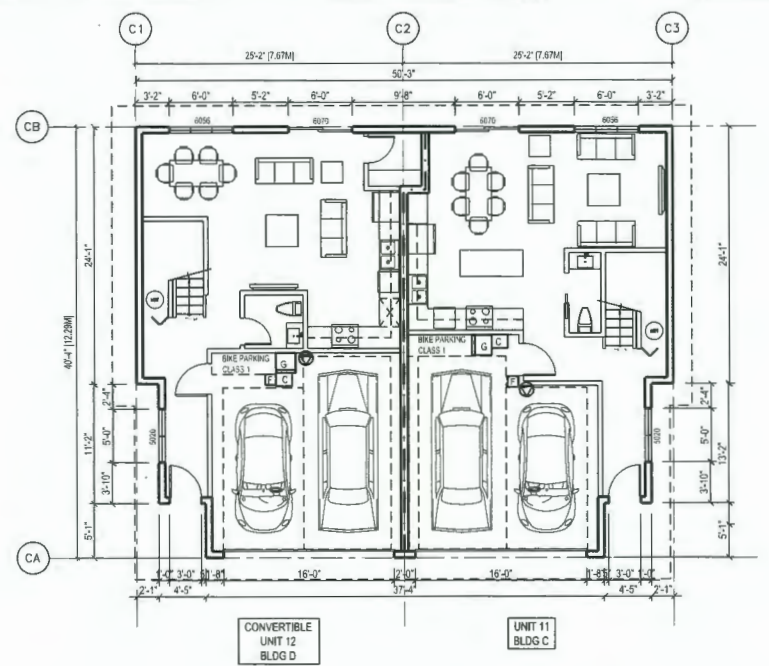
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ISSUED FOR MEETING APPLICATION	J.Z.	P.L.	18.10.22
Issued	By	Appr.	11 MW 00



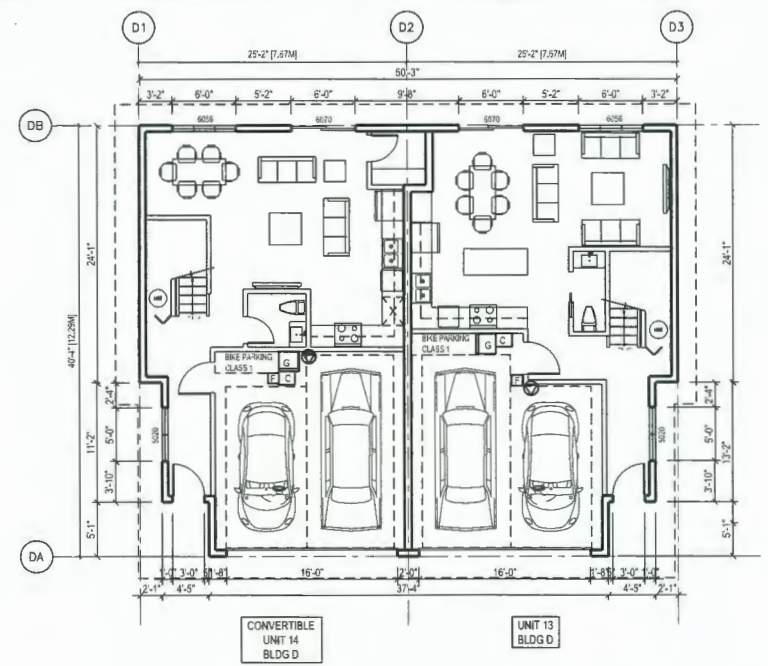
Client/Project
STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY,
 RICHMOND, BC (DP 20-919145)

Title
BUILDING C, D & E FLOOR PLANS

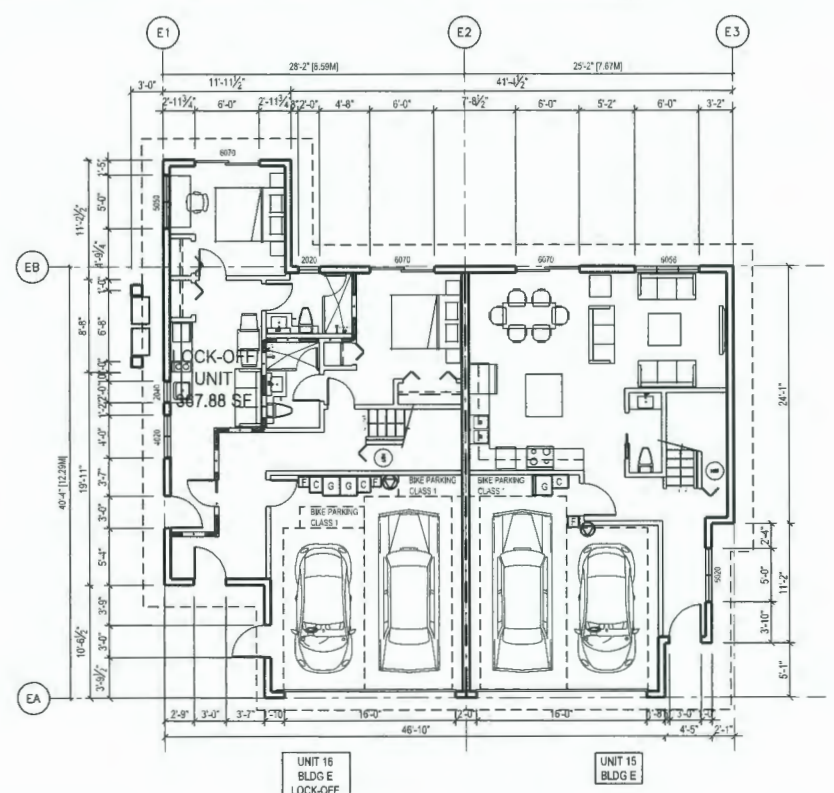
Project No. #8217 Scale 1/8"=1'-0"
 Drawing No. A 2.3 Sheet Revision



1 BUILDING C LEVEL 1 FLOOR PLAN
 A2.3 SCALE: 1/8"=1'-0"



3 BUILDING D LEVEL 1 FLOOR PLAN
 A2.3 SCALE: 1/8"=1'-0"

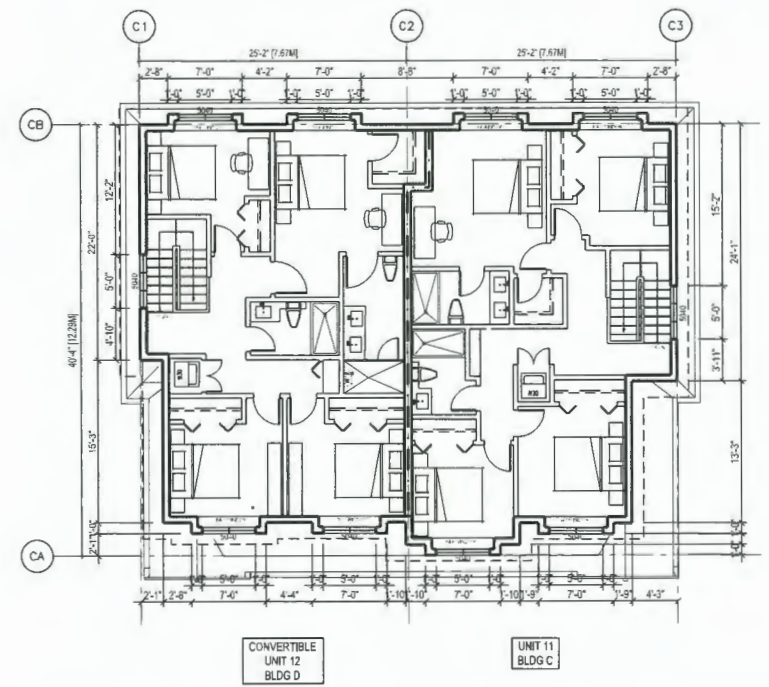


5 BUILDING E LEVEL 1 FLOOR PLAN
 A2.3 SCALE: 1/8"=1'-0"

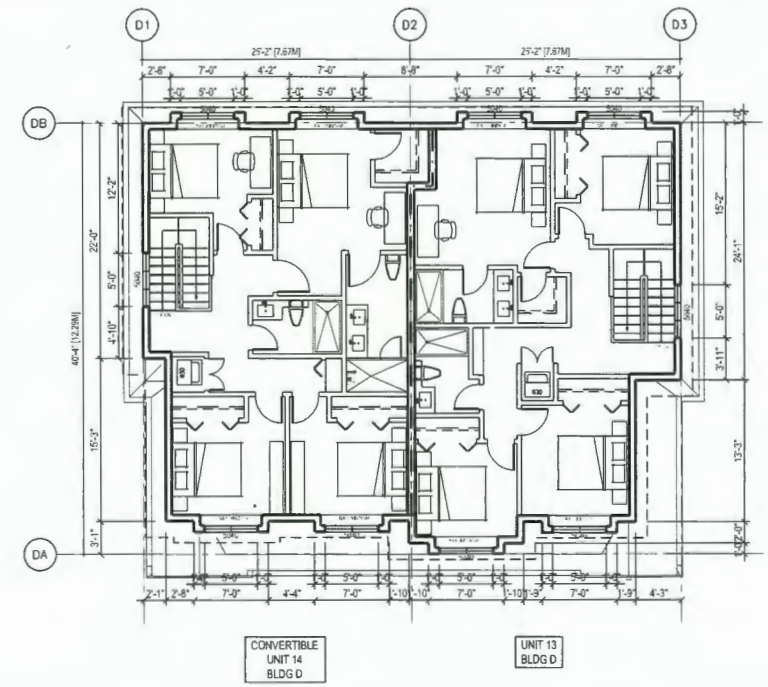
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- 1 HR FIRE SEPARATION (WALL AND CEILING)

GENERAL NOTES:

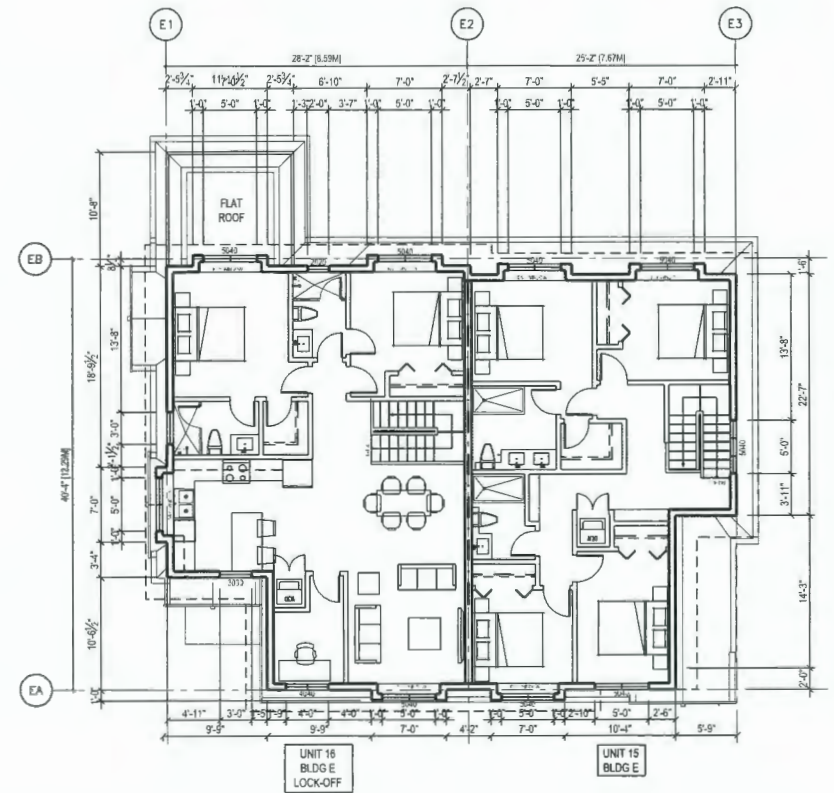
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- 5AN AUTOMATED IRRIGATION SYSTEM FOR FUTURE ON-GOING MAINTENANCE WILL BE INSTALLED. SEE LANDSCAPE



2 BUILDING C LEVEL 2 FLOOR PLAN
 A2.3 SCALE: 1/8"=1'-0"



4 BUILDING D LEVEL 2 FLOOR PLAN
 A2.3 SCALE: 1/8"=1'-0"



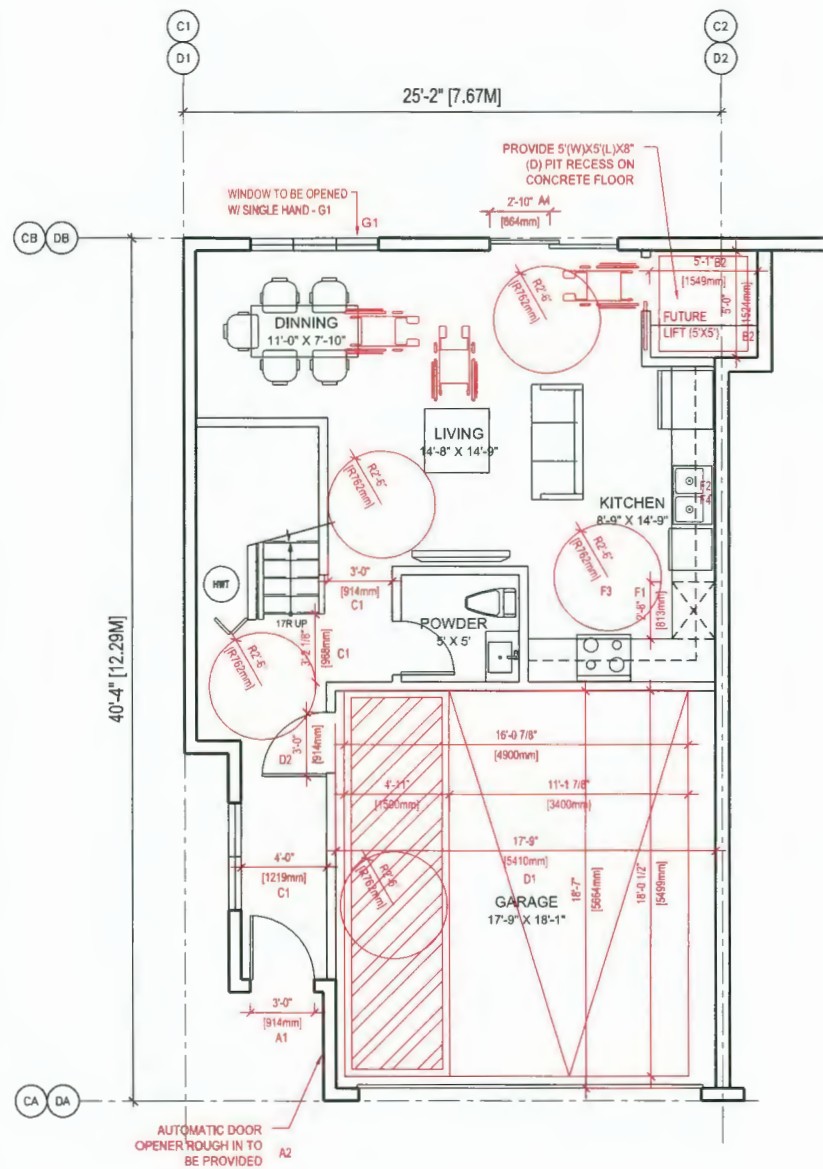
6 BUILDING E LEVEL 2 FLOOR PLAN
 A2.3 SCALE: 1/8"=1'-0"

DP 20-919145

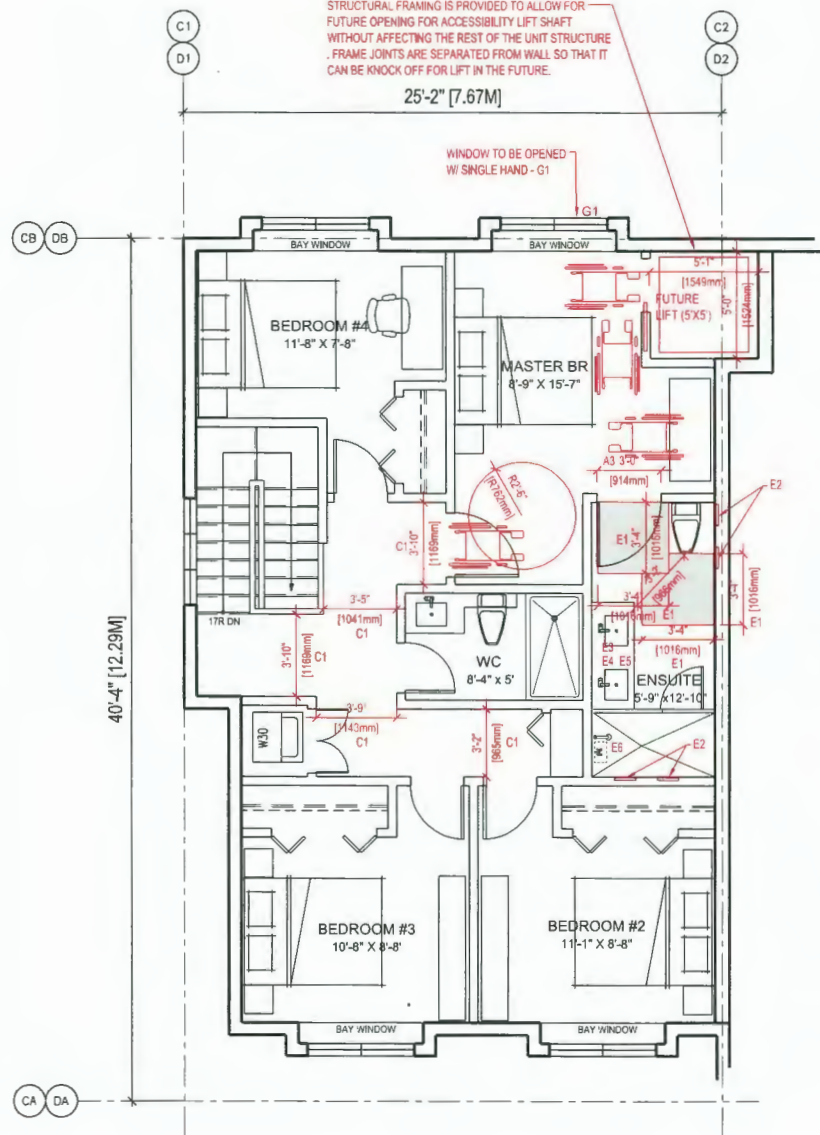
REFERENCE PLAN

December 18, 2023

A 2.3



1 CONVERTIBLE UNIT (12 &14) L1 PLAN
 A5.1 SCALE: 1/4"=1'-0"



2 CONVERTIBLE UNIT (12 &14) L2 PLAN
 A5.1 SCALE: 1/4"=1'-0"

CONVERTIBLE UNIT GUIDELINES
 SAFERHOME CRITERIA PROPOSED FOR INCLUSION ARE SHOWN IN BOLD ITALICS

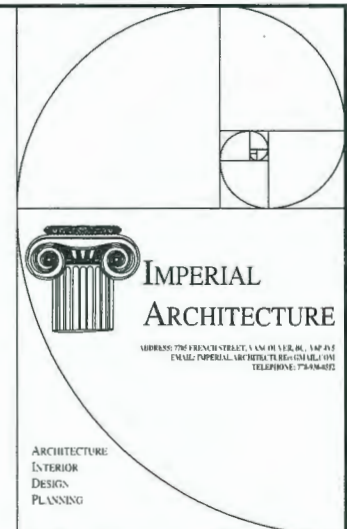
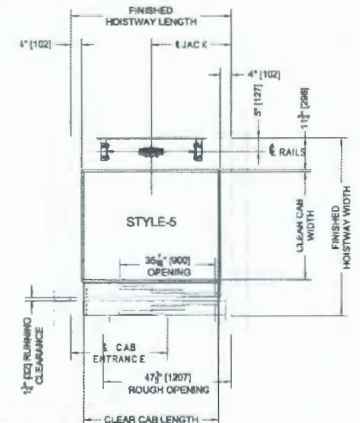
A	DOORS & DOORWAYS	A1	ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS.
		A2	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER).
		A3	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND / OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS.
		A4	PATIO / BALCONY MIN. 880 MM CLEAR OPENING. SMALL REMOVABLE WOOD RAMP WILL BE USED TO ADAPT 2" HEIGHT DIFFERENCE BETWEEN FINISHED SURFACES WHEN THE UNIT IS CONVERTED TO ACCESSIBLE UNIT (I.E. WHEN THE ELEVATOR IS INSTALLED)
		A5	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE.
		A6	LEVER-TYPE HANDLES FOR ALL DOORS
B	VERTICAL CIRCULATION	B2	VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
		B3	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
C	HALLWAYS	C1	MIN. 900 MM WIDTH.
		D1	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH.
D	GARAGE	D2	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
		E1	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT.
E	BATHROOM (MIN.1)	E2	WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
		E3	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
		E4	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
		E5	CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED.
		E6	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT)
		F	KITCHEN
F2	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.		
F3	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM.		
F4	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.		
G	WINDOWS	G1	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN & LIVING ROOM)
		H1	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE SWITCHES TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE) ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS.
H	OUTLETS & SWITCHES	H2	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE AND RECREATION ROOM.

Style 5

clear cab size	hoistway width	hoistway length	jack centerline	entrance centerline
40" x 50"	60-1/2"	59-1/2"	29-3/4"	35-3/4"
40" x 54"	60-1/2"	63-1/2"	31-3/4"	39-3/4"
42" x 60"	62-1/2"	69-1/2"	34-3/4"	45-3/4"
48" x 60"	68-1/2"	69-1/2"	34-3/4"	45-3/4"
minimum*	54-1/2"	59-1/2"		



Garaventa Lift
 7 800 663 6556 (toll free North America)
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ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	23.09.29
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ISSUED FOR DP RESUBMISSION	J.Z.	J.K.	22.09.25
ISSUED FOR DP RESUBMISSION	J.Z.	J.P.	22.01.31
ISSUED FOR APPLICATION	J.Z.	J.P.	20.11.23
ISSUED FOR RECORDING RESUBMISSION	J.Z.	P.L.	19.08.16
ISSUED FOR RECORDING RESUBMISSION	J.Z.	P.L.	19.07.17
ISSUED FOR RECORDING APPLICATION	J.Z.	P.L.	18.10.22

Issued: _____ By: _____ Date: _____



Client/Project
 STEVESTON HWY TOWNHOUSE DEVELOPMENT
 4571, 4591 & 4611 STEVESTON HWY, RICHMOND, BC (DP 20-919145)

Title
 CONVERTIBLE UNIT 12 & 14 PLANS

Project No. #8217 Scale 1/4"=1'-0"
 Drawing No. Sheet Revision

A 5.1 of



To: Development Permit Panel

Date: December 18, 2023

From: Wayne Craig
Director, Development

File: DP 21-943418

Re: **Application by Karla Castellanos Architect for a Development Permit at
13888 Wireless Way**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a three-storey light industrial and ancillary office building on a new lot created through subdivision of the west portion (proposed Lot 1) of the subject site at 13888 Wireless Way, on a site zoned “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)”; and,
2. To vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the required number of parking spaces from 2.8 spaces to 0.75 spaces for each 100 m² of gross leasable floor area of building on Lot 1;
 - b) Reduce the minimum required number of large-sized on-site designated loading spaces on Lot 1 from 1 space to 0 spaces; and,
 - c) Reduce the minimum percentage of standard parking spaces on Lot 2 from 50 per cent to 30 per cent.

Wayne Craig
Director, Development
(604-247-4625)

WC:cl
Att. 4

Staff Report

Origin

Karla Castellanos Architect has applied to the City of Richmond (on behalf of Alan Yong, S-506 Holdings Ltd.) for permission to develop a three-storey light industrial and ancillary office building of approximately 3,748 m² (40,353 ft²) containing 11 strata-titled units on a new lot (Lot 1) created through subdivision on the west portion of the subject site at 13888 Wireless Way, zoned “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)”. The existing office building is to remain on a new lot on the east portion of the subject site (Lot 2). This proposal aligns with the City’s objectives of intensifying existing industrial lands. A location map of the subject site is provided in Attachment 1. A survey of the subject site showing the proposed subdivision plan is provided in Attachment 2.

This proposal also involves landscaped restoration within the existing Riparian Management Area (RMA) along the south side of the existing site, as well as improvements to pedestrian circulation and landscaping within the surface parking area on Lot 2.

Concurrent with this DP application, there is an application to subdivide the subject site into two lots under the existing ZI3 zone, which must be approved prior to DP issuance (SD 22-025862).

A Servicing Agreement (SA) to design and construct the following improvements is required prior to Building Permit issuance, including (but not limited to):

- Upgrading the existing watermain along the Sparwood Place frontage to meet the minimum required fire flow and fulfill the distance requirement between hydrant and the proposed building.
- Upgrading approximately 85 m (278 ft.) of the storm sewer along the Wireless Way frontage.
- The water, storm and sanitary service connections.

Development Information

Please refer to attached Development Application Data Sheet for a comparison of the proposed development data with the relevant Bylaw requirements (Attachment 3).

Existing Site and Surrounding Context

The subject site is located on the south side of Wireless Way between No. 6 Road and Knight Street.

The site is approximately 20,090 m² (216,246 ft²) in area and currently contains an existing office building as well as a large surface parking area, with vehicle access from both Wireless Way and Sparwood Place. The subject site is proposed to be subdivided into two new lots of approximately 3,861 m² (41,548 ft²) in area (Lot 1) and 16,227 m² (174,698 ft²) in area (Lot 2).

Existing development immediately surrounding the subject site is as follows:

- To the North: Immediately across Wireless Way: light industrial and office buildings on lots zoned “Industrial Business Park (IB1)” and “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)” at 13351 and 13353 Commerce Parkway and 13811 and 13911 Wireless Way, respectively.
- To the East: Fronting No. 6 Road: Light industrial and office buildings on lots zoned “Industrial Business Park (IB1)” at 13931 Sparwood Place and 5871 No. 6 Road; Richmond Fire-Rescue’s No. 7 Firehall on a lot zoned “School & Institutional Use (SI)” at 5731 No. 6 Road; and a surface parking lot on a lot zoned “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)” at 5611 No. 6 Road.
- To the South: Single-family dwellings and agricultural uses on lots zoned “Agriculture (AG1)” on the south side of Westminster Highway at 13560 to 13720 Westminster Highway.
- To the West: Light industrial and office buildings on a lot zoned “Industrial Business Park (IB1)” at 13880 Wireless Way.

Public input during the DP Application Review Process

Staff has not received any comments from the public in response to the placement of the DP Application Notification Sign on the subject site.

Staff Comments

The proposed scheme attached to this report (Plans #1 to #4.C and Reference Plans) has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject DP application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the ZI3 zone, with the exception of the zoning variances noted below.

Zoning Compliance/Variiances (staff comments in *bold italics*)

The Applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the required number of parking spaces from 2.8 spaces to 0.75 spaces for each 100.0 m² of gross leasable floor area of building on Lot 1.

The site-specific parking rate of 2.8 spaces per 100.0 m² of gross leasable floor area of building was established with the rezoning of the site to the ZI3 zone in 2004. In 2021, the City’s Zoning Bylaw was amended to include reduced parking requirements for industrial uses of 0.75 spaces per 100 m² of gross leasable floor area. The requested variance to provide 0.75 spaces for each 100.0 m² of gross leasable floor area of building on Lot 1 reflects the intended use of Lot 1 and is consistent with current standard parking requirements for the “Industrial, general” use that specified in the current Zoning Bylaw.

The Applicant has proposed Transportation Demand Management (TDM) measures to support the requested variance, including an employee shuttle service between the subject site and the Bridgeport Canada Line station during peak hours, and a subsidized monthly transit pass program to Lot 1 employees, which will run for three years.

The variance request and proposed TDM measures have been reviewed and are supported by the City's Transportation Department. Prior to DP issuance, the Applicant is required to register a legal agreement on Title to secure these TDM measures.

- 2) Reduce the minimum required number of large-sized on-site designated loading spaces on Lot 1 from 1 space to 0 spaces.

Per the Zoning Bylaw, the development is required to provide one medium-sized loading space and one shared medium and large-sized loading space. A variance is requested to permit the provision of two medium-sized loading spaces in lieu of the above. The Applicant has advised that a large-sized loading space is not needed to support the intended operations anticipated on Lot 1, as the proposed light industrial and ancillary office units consist of small operations which will be primarily serviced by vans and pick-up trucks. Large production, manufacturing, or storage operations requiring a large loading truck are not anticipated on the site. The variance request has been reviewed and is supported by the City's Transportation Department.

- 3) Reduce the minimum percentage of standard parking spaces on Lot 2 from 50 per cent to 30 per cent.

The Applicant has provided a Transportation Impact Assessment (TIA) prepared by a Registered Transportation Engineer to assess existing parking on Lot 2. The TIA indicates that the standard and small parking spaces on Lot 2 are an existing condition, and that the change in the supply ratio of standard to small parking spaces is the result of the proposed subdivision to create Lot 1. The proposed variance is therefore required to legitimize the remaining parking configuration on Lot 2 after subdivision.

The TIA includes a parking utilization study and confirms there is sufficient parking on Lot 2. On this basis, the Applicant expects that the resulting reduction in the standard parking space supply ratio to 30 per cent on Lot 2 after subdivision will not materially change parking operations.

This variance request has been reviewed and is supported by the City's Transportation Department.

Advisory Design Panel Comments

Since this proposal to develop a new building at the subject site is essentially an expansion of the existing light industrial and office complex (which is already governed by the original DP), this DP application was not presented to the Advisory Design Panel for review.

Analysis

Conditions of Adjacency

- The siting of the new building on proposed Lot 1, including the location of the common lobby entrance, is clearly identifiable from the public realm along Wireless Way.
- The building setback from Wireless Way enables partial visibility to the neighbouring building to the west at 13880 Wireless Way at the west end of the street to be maintained, while concealing the side elevation of the neighbouring building.

- Although the new building is positioned at the west lot line (0.0 m/ft.) as permitted in the ZI zone, there is a row of existing trees and a 16.0 m (52.4 ft.) separation to the building on the neighbouring property that act as a buffer along that interface.
- To provide visual interest on the exposed west elevation of the new building, a variety of cladding materials and colours are proposed in a geometric pattern.
- A total of 39 new trees are proposed to be planted on-site to enhance the interface along the south property line of both Lots 1 and 2 and the interface along the east property line of Lot 2.

Site Planning, Access and Parking

- The proposal is to develop a three-storey building on what is currently the west portion of the subject site, with new landscaping to the north of the building along Wireless Way and landscaped restoration along the south side of the entire existing site within the existing RMA.
- The ground floor of the new building on Lot 1 is to contain the common lobby used to access the upper floors, mechanical, electrical, service areas and the proposed 11 units.
- The second floor contains the mezzanine level for 10 of the units (accessible by individual stairways within each unit), common stairways and a common elevator vestibule for access to the complete second level of one of the units.
- The third floor contains common elevator and stairway access to corridors, and the complete third level for all 11 units. The third floor also contains a covered outdoor area for one of the units.
- The Applicant has advised that the building design enables the third level of the units to be demised if desired in the future to create additional single-storey units accessible by the common corridor located on the west side of the third floor.
- Vehicle access to Lot 1 containing the new building is to be from both of the existing driveway crossings on Wireless Way and Sparwood Place, and vehicle access to Lot 2 will continue to be from the existing driveway crossings. Prior to DP issuance, a reciprocal cross-access easement to enable shared access between Lots 1 and 2 is required to be registered on Title of both lots.
- Pedestrian access to Lot 1 is proposed primarily from the public sidewalk along Wireless Way via steps and a hard-surface pathway leading to the common lobby entrance and the individual units.
- A total of 32 vehicle parking spaces are proposed on-site in the surface parking area of Lot 1. A total of 367 vehicle parking spaces will remain on Lot 2 after removing parking spaces to provide landscape restoration within the RMA, improve pedestrian circulation on Lot 2 and to enable development of Lot 1.
- Enclosed waste storage and collection is proposed to be to the south of the new building on Lot 1, and immediately southeast of the existing building on Lot 2.
- Two medium on-site designated loading spaces are also provided to the south of the new building on Lot 1, one of which can also accommodate waste collection trucks as needed.

- On Lot 1, long term employee bike parking is proposed on the ground floor within each of the units, and short-term bike racks for visitors are proposed in front of the building near the lobby entrance and near the entries to the units.

Architectural Form and Character

- The new building includes feature walls to mirror and integrate the design of the existing building to the east.
- The proposed canopies provide strong lines to define the entrance to each unit.
- The use of varied parapet height, reveals, and the combination of cladding materials and accent colours provide for articulation and visual interest throughout the building elevations.
- The proposed glazing is intended to provide an abundance of natural light to interior spaces.
- The proposed exterior colour and material palette is varied to provide visual interest, and consists of a combination of painted concrete and metal cladding in dark grey, light grey and white, with a light green accent colour, as well as black aluminum-framed transparent glazing.
- A conceptual exterior lighting plan is proposed, which includes wall-mounted lighting along the north, east and south facades of the new building, and the existing pole-mounted lighting within the surface parking area is to remain. Proposed lighting fixtures are downward-oriented to avoid light pollution.

Tree Retention/Replacement, and Landscape Design

- The Applicant has submitted a Certified Arborist's Report for the site, which identifies on-site and off-site trees, assesses tree structure and condition, and provides recommendations on tree retention and removal relative to the proposed development. The report assesses:
 - 11 bylaw-sized trees located on the subject site (Trees #190-200).
 - 11 trees located on the neighbouring property to the west at 13880 Wireless Way (Trees #OS1-OS11).
 - 18 trees located on City-owned property in the boulevard along Wireless Way and within the Westminster Highway road allowance south of the subject site (Trees #C1-C24).
- The City's Tree Preservation Coordinator and Parks Department Arborist have reviewed the Certified Arborist's Report and concur with the report recommendations to:
 - Retain and protect eight on-site trees (Trees #190-193, 195, 197, 198, 200).
 - Remove three trees to enable the proposed new development (Trees #194, 196, and 199). Replacement trees are required at a 2:1 ratio as per the OCP and the City's Tree Protection Bylaw 8057.
 - Retain all 11 trees on the neighbouring property to the west and all 18 trees on City-owned property.
- The Applicant has submitted a Tree Management Plan showing the trees to be retained, the required tree protection areas and the measures to be taken to protect them during development stage (Plan #2).

- To ensure survival of the trees to be retained, the Applicant must complete the following requirements prior to DP issuance:
 - Submit a contract with a Certified Arborist for supervision of all works conducted within, or in close proximity (i.e., 1.5 m/4.9 ft.) to, tree protection zones. The contract must include the required scope of work, the number of proposed monitoring inspections at specified stages of construction, any special measures required to ensure tree protection and a provision for the arborist to submit a post-construction impact assessment report to the City for review.
 - Submit a tree survival security in the amount of \$40,000.00 for the on-site trees to be retained (Trees #190-193, 195, 197, 198, 200), and enter into a legal agreement that sets out the terms for use and release of the security.
 - Submit a tree survival security in the amount of \$95,000.00 for the trees on City-owned property to be retained (Trees #C1-24), and enter into a legal agreement that sets out the terms for use and release of the security.
- Prior to any works being undertaken on-site or in close proximity (i.e., 1.5 m/4.9 ft.) to tree protection zones, the Applicant must install tree protection fencing around all on-site and off-site trees to be retained. Tree protection fencing must be installed as per the Arborist’s Report to City satisfaction in accordance with the City’s Tree Protection Information Bulletin (TREE-03), and must remain in place until construction and landscaping is completed.
- Although six replacement trees are required to be planted for the three trees proposed to be removed, the Applicant proposes to enhance both lots by planting a total of 52 new trees across Lots 1 and 2, as illustrated in the Landscape Plan (Plan #2.A):

Location	# Trees to be planted			Species
	Within RMA	Outside RMA	Total	
Lot 1	6	8	14	Katsura, Persian Ironwood, Western Red Cedar
Lot 2	20	18	38	Pacific Dogwood, Paperbark Maple, Bowhall Red Maple, Sunburst Locust, Western Red Cedar
Total	26	26	52	

Note: additional details about tree planting within the RMA are included below in the section of this report entitle “Riparian Management Area”.

- Hard and soft landscape enhancements are also proposed on the lots, as illustrated in the Landscape Plan (Plan #2.A):
 - On Lot 1, terraced landscaping is proposed to address the lot grade transition between the north side of the building (at the new Flood Construction Level) and the public sidewalk along Wireless Way. Pedestrian access between the sidewalk and the building is provided by a set of concrete steps. Planting islands are proposed within the surface parking area along the east side of the building. Landscape enhancements are also proposed within the RMA.
 - On Lot 2, a variety of shrubs and plants are proposed in small planting islands within the surface parking area.

- The proposed species of shrubs and plants on the lots include, Gold Flame Spirea, Dwarf Mugo Pine, Pink Meidiland Rose, Otto Luyken Laurel, Red Osier Dogwood, Red Elderberry, Thimble Berry, Black Twinberry, Salmonberry, and SSalal.

Note: additional details about the landscaping enhancements within the RMA are described below in the section of this report entitled “Riparian Management Area”.

- To ensure that the proposed replacement trees and landscaping located outside of the RMA is planted and maintained on-site in accordance with the Landscape Plan, the Applicant is required to submit a landscaping security prior to DP issuance in the amount of \$19,178.00 (100 per cent of the cost estimate for the works prepared by the Registered Landscape Architect, including installation and a 10 per cent contingency). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.
- The Landscape Plan requires that all soft landscaped areas be maintained consistent with industry standards including through installation of an automatic irrigation system.

Riparian Management Area Restoration

- The subject site contains a 5.0 m wide RMA located along the south edge of the site. Part of the RMA currently contains a hard-surface area with asphalt parking spaces, wheel stops, roll and barrier curbs, gutters and chainlink fencing. Vegetation is also well-developed within the RMA and is comprised of a mix of native, exotic and invasive species of plant material and trees.
- The Applicant submitted a Biophysical Inventory and Construction Environmental Management Plan prepared by a Qualified Environmental Professional (QEP), which describes the proposed restoration within the RMA as illustrated in the Landscape Plan (Plan #2.A), as well as invasive vegetation management within the RMA, and monitoring and maintenance plan. The proposal has been reviewed and is supported by the City’s Sustainability Department.
- The proposal involves the complete restoration of the RMA on Lot 1 (approximately 210 m²) as well as partial restoration of the RMA on Lot 2 (approximately 490 m²), and the resulting net gain of natural habitat associated with asphalt removal within the RMA on both lots is approximately 240 m².
- The Landscape Plan (Plan #2.A) indicates that (of the overall trees and plants proposed on-site) a total of 26 new native trees and a variety of native shrubs and plants are proposed within the RMA on Lots 1 and 2, including Western Red Cedar, Pacific Dogwood, Red Osier Dogwood, Red Elderberry, Black Twinberry, Thimble Berry, Salmonberry, and Salal.
- To ensure that the proposed on-site landscape works located within the RMA are installed and maintained as shown in the Landscape Plan (Plan #2.A), the Applicant is required to submit a landscaping security prior to DP issuance in the amount of \$69,628.00 (100 per cent of the cost estimate for the works prepared by the Registered Landscape Architect, including installation and a 10 per cent contingency). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.

- A three-year monitoring and maintenance plan (with yearly reports) is also proposed to ensure success of the RMA restoration, and is outlined in the QEP's report. Prior to DP issuance, the Applicant is required to submit a separate security associated with the monitoring and maintenance works. The security is to be based on 100 per cent of a cost estimate for the works to be provided by the QEP (including a 10 per cent contingency cost). The Applicant must also enter into a legal agreement to accompany the security, which sets the terms for incremental release of the security (i.e., one-third of the security may be released each year of the three-year period after receipt of an annual monitoring report submitted by the QEP).

Agricultural Land Reserve Buffer Covenant

- Since the subject site is located across an intervening road from land to the south that is in the Agricultural Land Reserve (ALR), the Applicant is required to register an ALR buffer covenant on title for public awareness and to address agricultural-urban interface conflicts.

Accessibility

- The Applicant indicates that the accessible path from the van-accessible parking space to the new building entrance on Lot 1 is provided via the pathway located along the east side of the building, which is also the path of travel to each of the individual units.
- The Applicant proposes improvements on Lot 2 in the form of new curb letdowns on-site and a defined accessible pathway from the sidewalk along Wireless Way to the existing building.
- Consistent with the design guidelines for accessibility in the OCP, the width of on-site pathways are a minimum of 1.5 m (4.9 ft.) wide.

Public Art

- Consistent with the Public Art Program Policy, the Applicant is providing a contribution to the Public Art Reserve for City-wide projects in the amount of \$12,054.83 prior to DP issuance.

Sustainability

- The Applicant indicates that the following features are proposed to optimize the new building's performance on Lot 1 and contribute to environmental sustainability:
 - 209 rooftop solar panels covering approximately 37 per cent of the building roof space, which will produce a total of 109,179 kWh annually (with each unit having its own tie-in to generate roughly 9,000-10,000 kWh annually per unit). To secure the proposed rooftop solar panels, the Applicant is required to enter into a legal agreement on Title prior to DP issuance.
 - Insulated overhead doors, and double-glazed windows with e-coating, low U-factor and moderate solar heat gain coefficient to balance between good thermal properties and high solar heat gains depending on the weather.
 - Canopies to reduce direct sunlight and strategically-located skylights to provide natural light inside the units while reducing energy consumption.

- 10 per cent of parking spaces on Lot 1 are to be equipped with energized outlets to accommodate future electric vehicle charging stations.
- The Applicant also submitted a preliminary report prepared by a qualified energy modeller summarizing the envelope energy upgrades and other energy efficiency measures proposed in the new building on Lot 1, including (but not limited to):
 - Compliance with Step 2 of the NECB¹ for the industrial areas of the building and Step 3 metrics of TEUI² and TEDI³ for the other areas of the building.
 - High efficiency heat recovery ventilation units to improve greenhouse gas consumption.
- Additional modelling is to be undertaken as part of the Building Permit application review process.

Crime Prevention Through Environmental Design (CPTED)

- The Applicant has identified that the proposed design responds to the principles of CPTED as follows:
 - The proposed new development has ensured that natural surveillance is promoted throughout the site with the building's visual permeability through its facades (e.g., the upper windows provide an ample visual frame to the surface parking area at grade). The surface parking area is open with clear sightlines throughout.
 - Public and private spaces are clearly separated through landscaping and there are clear visual cues as to where the main building entrance and individual units are, defining the circulation path and access control.
 - The exterior lighting plan ensures proper illumination and dark corners are avoided.
 - The proposed new development will contribute to a clean and well-maintained site, ensuring territoriality of the neighbourhood is preserved.

Aircraft Noise Sensitive Development Policy

- The OCP's Aircraft Noise Sensitive Development (ANSD) Policy applies to the subject site, which is located within the "Restricted Area (Area 1B)" in which residential development is prohibited. The proposed light industrial and ancillary office building is consistent with the ANSD Policy as it is not a residential use.
- Consistent with the ANSD Policy, registration of an aircraft noise indemnity covenant on Title is required prior to DP issuance.

Flood Management

- The proposed redevelopment must meet the requirements of the Richmond Flood Plain Designation and Protection Bylaw 8204. Registration of a floodplain covenant on Title is required prior to DP issuance. In this location, the required Flood Construction Level is 3.0 m (9.84 ft.) GSC.

¹ National Energy Code of Canada for Buildings

² Total Energy Use Intensity.

³ Thermal Energy Demand Intensity.

Existing Legal Encumbrances

- A Title Summary prepared by the property owner’s lawyer indicates that there a variety of charges registered on Title of the subject site, including (but not limited to) the following to which the City is a chargeholder:
 - Covenants to restrict vehicle access to the site from Wireless Way and Sparwood Place, but not from Westminster Highway (BW70921 and BW70922).
 - Statutory Right-of-Way (SRW) agreements to enable utilities, road and frontage works along portions of the north property line (BW70926) and south property line (BW70924, BW70925). To ensure that the existing portion of the sidewalk located on-site along a portion of the north property line is secured for public-right-of-passage, SRW BW70926 must be reviewed and potentially adjusted as needed prior to DP issuance. To ensure that the existing portion of Sparwood Place on-site along the south property line is secured for public use, the applicant is required to register a SRW on title prior to DP issuance.
 - A covenant granted in favour of the City associated with: a) a bio-swale located immediately to the south of the subject site used for drainage, filtration, remediation and percolation of storm water from the site; and b) road lighting conduits and infrastructure within Sparwood Place (BB640297).

Site Servicing & Off-site Improvements

- A Servicing Agreement (SA) to design and construct the following improvements is required prior to Building Permit issuance, including (but not limited to):
 - Upgrading the existing watermain along the Sparwood Place frontage to meet the minimum required fire flow and fulfill the distance requirement between hydrant and the proposed building.
 - Upgrading approximately 85 m (278 ft.) of the storm sewer along the Wireless Way frontage.
 - The water, storm and sanitary service connections.
- The complete details of the scope of work associated with the SA are included in Attachment 4.

Conclusions

This proposal is to develop a three-storey light industrial and ancillary office building of approximately 3,748 m² (40,353 ft²) in gross floor area on a new lot to be created on the west portion of the subject site at 13888 Wireless Way.

The Applicant has addressed the significant design issues identified through the application review process and generally conforms to the applicable policies and guidelines contained within the Official Community Plan.

The proposed development complies with the requirements of the Zoning Bylaw and the “Industrial Business Park (ZI3) – Crestwood Area (East Cambie)” zone, with the exception of the zoning variances discussed.

The list of DP Considerations are included in Attachment 4, which have been concurred to by the Applicant.

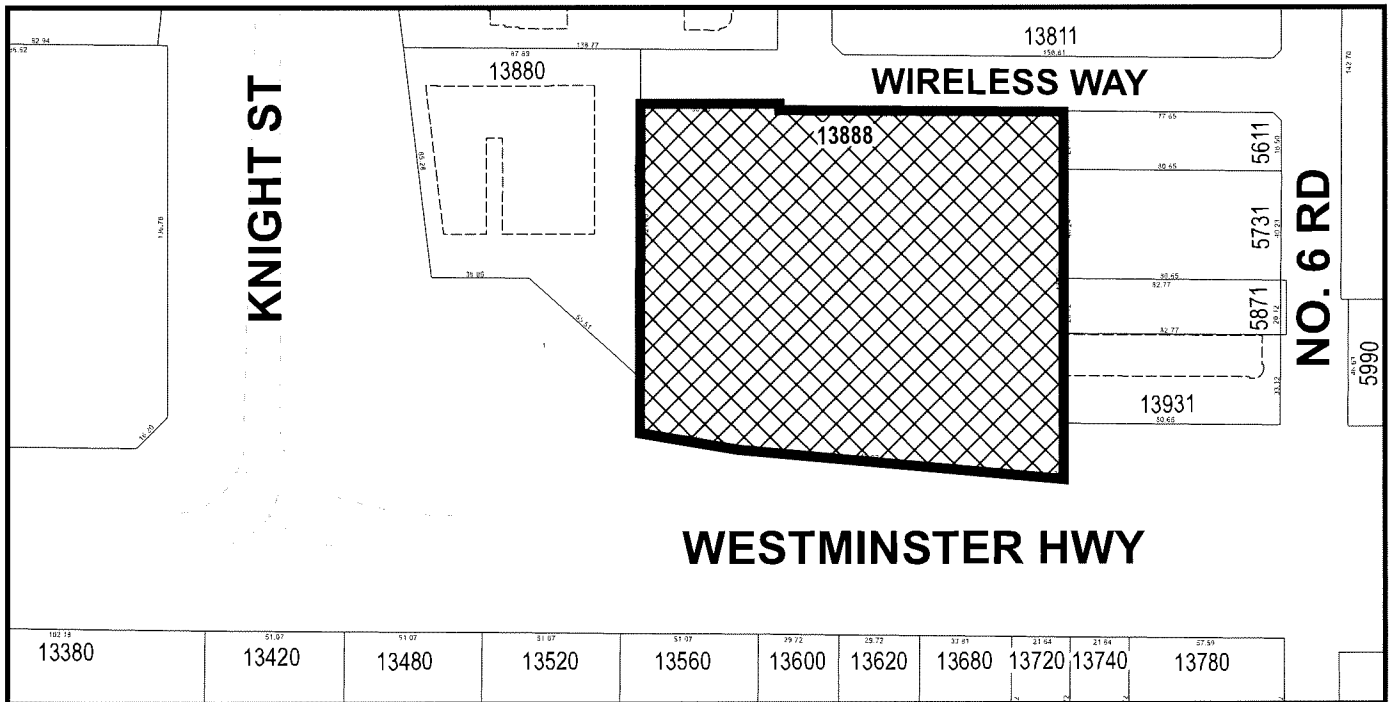
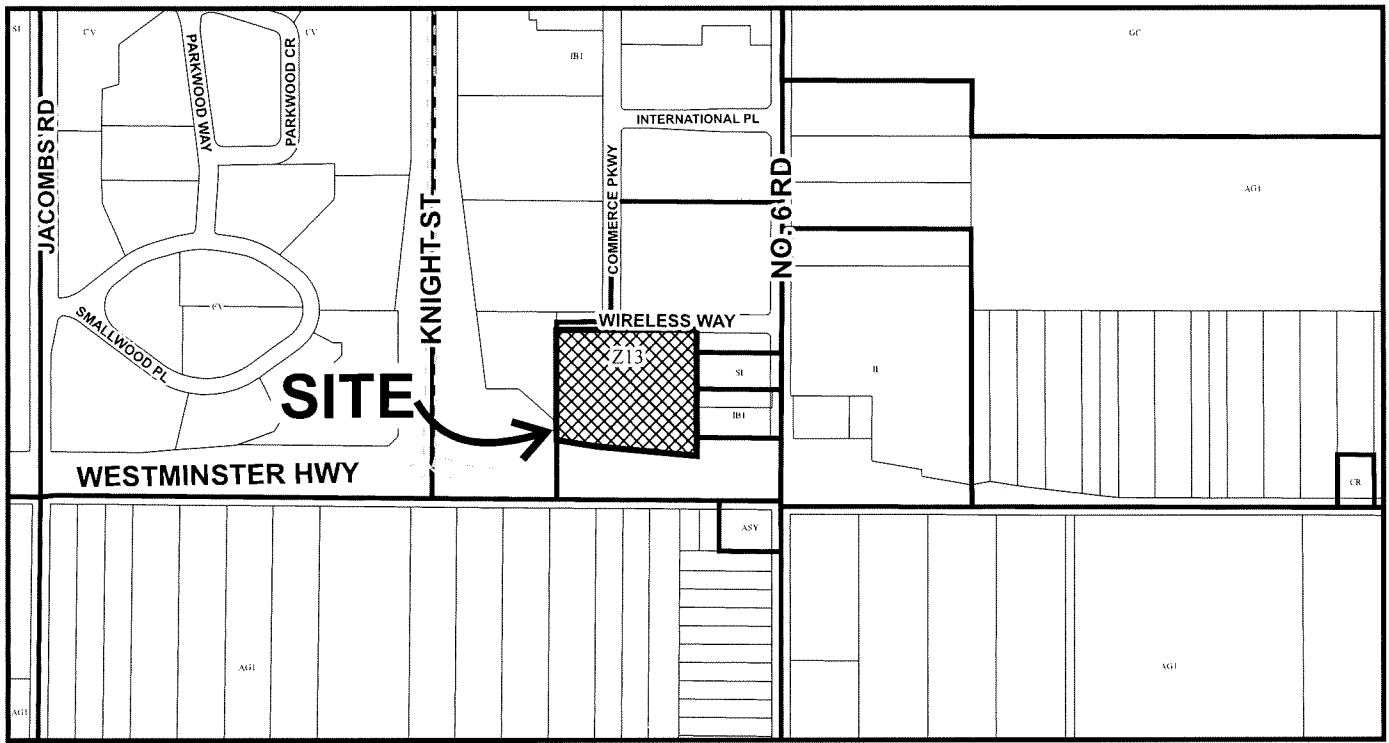
On this basis, staff recommends that the Development Permit be endorsed, and issuance by Council be recommended.



Cynthia Lussier
Planner 2
(604-276-4108)

CL:he

- Att. 1. Location Map
 2: Site Survey with Proposed Subdivision Plan
 3: Development Application Data Sheet
 4: Development Permit Considerations



	DP 21-943418										Original Date: 11/10/21
											Revision Date: 12/01/21
											Note: Dimensions are in METRES

TOPOGRAPHIC SITE PLAN FOR PROPOSED SUBDIVISION OVER LOT B SECTION 5 BLOCK 4 NORTH RANGE 5 WEST NEW WESTMINSTER DISTRICT PLAN BCP24407

DWG ADDRESS: 13568 Wireless Way, Richmond BC: V6V 1Y4-804

SCALE 1 : 200

All DISTANCES ARE IN METERS The standard size of the plan is 1400mm in width and 800mm in height (1:200) when plotted at a scale of 1:200

- LEGEND**
- J — BENCHES SQUARE METERS
 - O — BENCHES PER PERIMETER
 - D — BENCHES CATCH BASIN — ROUND
 - S — BENCHES SLOPE LIGHTS — VERT. TOP
 - W — BENCHES WATER TAP
 - E — BENCHES ELECTRIC
 - S — BENCHES SANITARY MANHOLE
 - C — BENCHES TOP OF CURB
 - M — BENCHES MANHOLE
 - H — BENCHES HOLE AND CAUGHT FLYNET
 - P — BENCHES POND OR SWAMP
 - T — BENCHES TOP OF TANK OR WALL ELEVATION
 - R — BENCHES ROOFLINE
 - C — BENCHES CONTOUR
 - G — BENCHES GROUND
 - R — BENCHES READING WALL
 - S — BENCHES SURFACE ELEVATION
 - C — BENCHES CONTOUR CHANGER
 - E — BENCHES ELEVATION
 - F — BENCHES FENCE
 - T — BENCHES TOP OF HEADING ELEVATION

NOTES

1. All dimensions are vertical from Finish Surface.

2. Measurements shown are to the exterior edges of building.

3. Elevation are assumed (UNLESS OTHERWISE NOTED) to be in METERS above mean sea level (MSL).

4. The plan is based on aerial photos, Topographic Surveying (T/S) data and any relevant information for a particular location shown on original subdivision drawing.

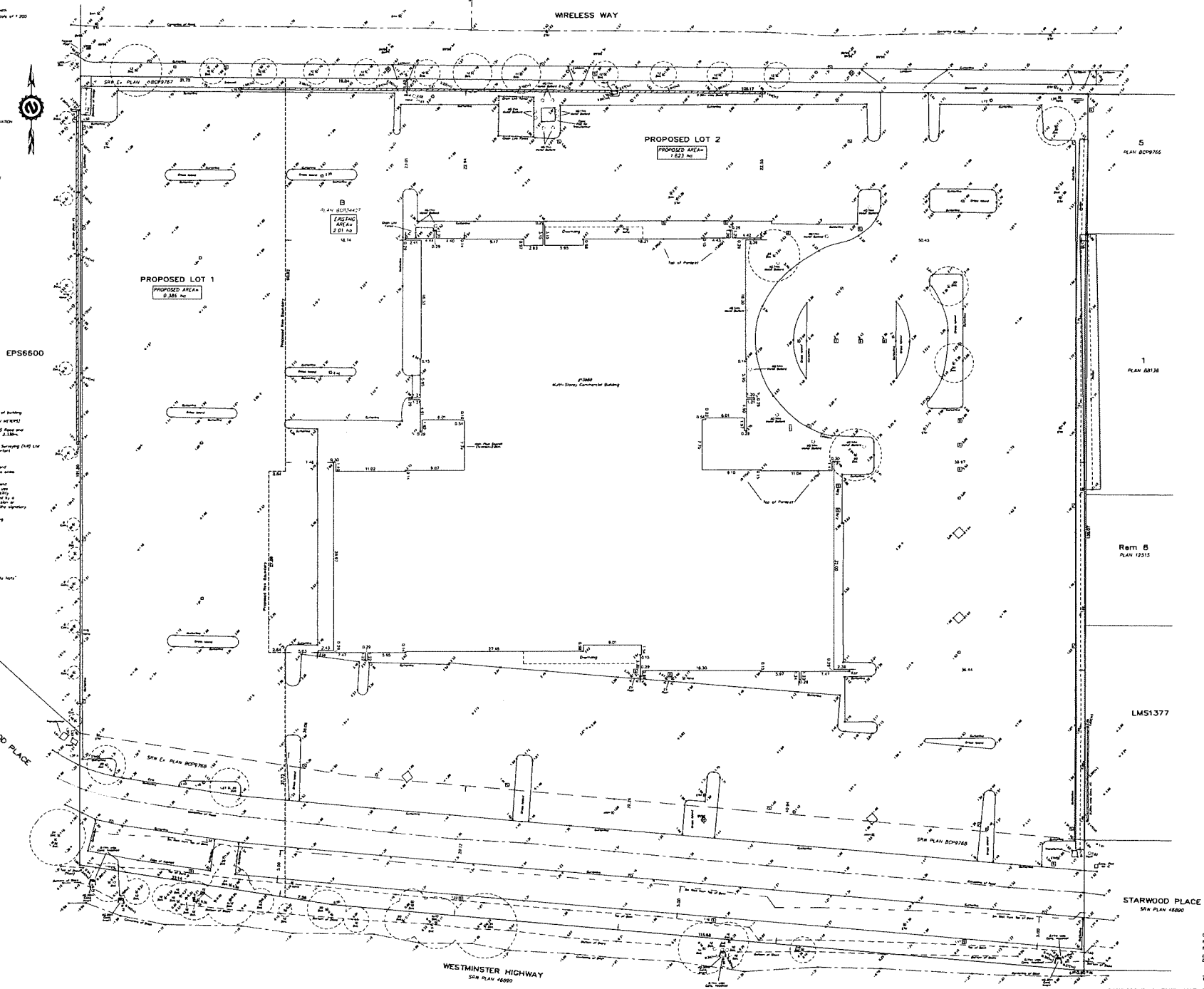
5. The dimensions are shown at 1:200 scale and are shown in millimeters. The symbols are not drawn to scale.

6. This plan was prepared for professional design and use for the purpose of subdivision and for the construction of the subdivision. It is not intended for any other purpose and shall not be used for any other purpose without the written consent of the designer.

7. The plan is based on the following:

- Original plan of lot BCP24407
- Original plan of lot BCP24408
- Original plan of lot BCP24409
- Original plan of lot BCP24410
- Original plan of lot BCP24411
- Original plan of lot BCP24412
- Original plan of lot BCP24413
- Original plan of lot BCP24414
- Original plan of lot BCP24415
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- Original plan of lot BCP24495
- Original plan of lot BCP24496
- Original plan of lot BCP24497
- Original plan of lot BCP24498
- Original plan of lot BCP24499
- Original plan of lot BCP24500

8. This plan is subject to the provisions of the "Act" and the "Regulations".





DP 21-943418

Address: 13888 Wireless Way

Applicant: Karla Castellanos Architect

Owner: S-506 Holdings Ltd.

Planning Area(s): East Cambie

	Existing	Proposed
Site Area:	20,090 m ²	Lot 1 – 3,861.83 m ² Lot 2 – 16,227.54 m ²
Land Uses:	Multi-tenant office building	Lot 1 – New light industrial and ancillary office building Lot 2 – No change
OCP Designation:	Mixed Employment	No change
East Cambie Area Plan Land Use Designation:	Industrial	No change
Zoning:	Industrial Business Park (Z13) – Crestwood Area (East Cambie)	No change

Proposed Lot 1

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.97	None permitted
Lot Coverage - Buildings:	Max. 60 %	38%	None
Setback – Front Yard (North):	Min. 6.0 m	7.3 m	None
Setback – Side Yard (East):	Min. 0.0 m	11.7 m	None
Setback – Side Yard (West):	Min. 0.0 m	0.0 m	None
Setback – Rear Yard (South):	Min. 0.0 m	27.8 m	None
Maximum Building Height (m):	3 storeys to a max. of: a) 13.0 m to top of roof; b) 15.0 m to top of mechanical equipment & architectural features.	3 storeys; 12.8 m to top of roof; 13.9 to top of mechanical equipment & architectural features.	None
Total On-site Parking Spaces:	97 spaces (2.8 spaces/100 m ² GLA ⁴)	32 Spaces (0.75 spaces/100 m ² GLA)	Variance requested to use standard parking rate for "General, industrial" uses (0.75 spaces/100 m ² GLA)

⁴ Gross leasable floor area

Standard Spaces:	Min. 50%	50% (16 spaces)	None	
Small Spaces:	Max. 50%	50% (16 spaces)	None	
Accessible:	2% (1 space)	2% (1 space)	None	
On-site Bike Parking Spaces:	Class 1 (long-term)	10	10	None
	Class 2 (short-term)	10	16	None
On-site Loading Spaces:	2 Medium spaces 1 Large space	2 Medium spaces	Variance requested to reduce the 1 required large loading space to 0 spaces	

Proposed Lot 2			
	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.72	None permitted
Lot Coverage - Buildings:	Max. 60 %	24%	None
Setback – Front Yard (North):	Min. 6.0 m	No change	None
Setback – Side Yard (East):	Min. 0.0 m	No change	None
Setback – Side Yard (West):	Min. 0.0 m	7.5 m	None
Setback – Rear Yard (South):	Min. 0.0 m	No change	None
Maximum Building Height (m):	3 storeys to a max. of: a) 13.0 m to top of roof; b) 15.0 m to top of mechanical equipment & architectural features.	No change	None
Total On-site Parking Spaces:	304 spaces (2.8 spaces/100 m ² GLA)	367 spaces	None
Standard Spaces:	Min. 50%	30% (111 spaces)	Variance requested to reduce the % standard spaces to 30%
Small Spaces:	Max. 50%	70% (256 spaces)	
Accessible:	7	11	None
On-site Bike Parking Spaces:	N/A	No change	None
On-site Loading Spaces:	N/A	No change	None



Address: 13888 Wireless Way

File No.: DP 21-943418

Prior to issuance of the Development Permit, the Applicant is required to complete the following:

1. Subdivision of the subject site to create two lots as shown in the Site Survey and Proposed Subdivision Plan included in Attachment 2 to the Staff Report. Prior to subdivision approval, the applicant is required to complete the following:
 - a) Payment of current years' property taxes. If approval is sought on or after September 1st in any year, payment of the following year's estimates (2024) taxes per City practice;
 - b) Payment of address assignment fee.
2. Submission of a landscaping security in the amount of \$19,178.00 for the on-site landscape works located outside of the RMA boundary as shown in the Landscape Plan (Plan # 2.A). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.
3.
 - a) Submission of a landscaping security in the amount of \$69,628.00 for installation of the on-site landscape works located within the RMA boundary as shown in the Landscape Plan (Plan # 2.A). The Applicant must also enter into a legal agreement to accompany the landscaping security, which sets the terms for use and release of the security.
 - b) Submission of a separate security associated with the three-year monitoring and maintenance plan works identified in the Biophysical Inventory and Construction Environmental Management Plan prepared by Sartori Environmental Inc. to ensure success of the restoration within the RMA. The security is to be based on 100% of a cost estimate for the works associated with the monitoring and maintenance plan to be provided by the Qualified Environmental Professional (including a 10% contingency cost). The Applicant must also enter into a legal agreement to accompany the security, which sets the terms for the incremental release of the security, i.e., 1/3 of the security may be released each year of the three-year period after receipt of an annual monitoring report submitted by the Qualified Environmental Professional.
4. Submission of a Contract entered into between the Applicant and a Certified Arborist for supervision of any on-site works conducted within, or in close proximity (i.e., 1.5 m) to the tree protection zone of the trees to be retained (Trees # 190-193, 195, 197, 198, 200). The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review.
5. Submission of a Tree Survival Security to the City in the amount of \$40,000.00 for the eight trees to be retained on-site (Trees # 190-193, 195, 197, 198, 200). The City may release up to 90 per cent of the security following substantial completion of construction and landscaping on-site (subject to a landscape inspection to the City's satisfaction), and may release the balance of the security following a one-year maintenance period if the trees have survived. The Applicant must also enter into a legal agreement to accompany the tree survival security, which sets the terms for use and release of the security.
6. Submission of a Tree Survival Security to the City in the amount of \$95,000.00 for the trees on City-owned property to be retained (Trees # C1-C24). The City may release up to 90 per cent of the security following substantial completion of construction and landscaping on-site (subject to a landscape inspection to the City's satisfaction), and may release the balance of the security following a one-year maintenance period if the trees have survived. The Applicant must also enter into a legal agreement to accompany the tree survival security, which sets the terms for use and release of the security.
7. City acceptance of the Applicant's voluntary contribution to the Public Art Reserve for City-wide projects in the amount of \$12,054.83 (2023 rate of \$0.29/buildable square foot).

8. Registration of a no-build covenant on Title of Lot 1 after subdivision as a means of notifying future property owners that works and services required for redevelopment of proposed Lot 1 are to be provided through a Servicing Agreement (SA) prior to Building Permit (BP) issuance.
9. Registration of a blanket reciprocal cross-access easement on Title of the lots after subdivision for shared access/circulation/maneuvering between and throughout Lots 1 and Lot 2, including the installation of way-finding signage for Lot 1 on proposed Lot 2.
10. Registration of a Statutory Right-of-Way for public right of passage over the portion of Lots 1 and 2 containing the Sparwood Place roadway to legitimize the existing condition. Maintenance and liability of the SRW is the responsibility of the Lots 1 and 2 owners and maintenance and repair must be coordinated by a single service provider. Maintenance of the SRW must be in accordance with good engineering practice with the objective to optimize public safety.
11. Review and potential adjustment (as needed) of existing SRW BW70926 currently registered on Title to ensure that it provides for public-right-of-passage.
12. Registration of an Agricultural Land Reserve Buffer Covenant on Title of the lots.
13. Registration of an aircraft noise indemnity covenant on Title of the lots (Area 1B).
14. Registration of a flood plain covenant on Title of the lots identifying a minimum habitable elevation of 3.0 m GSC.
15. Registration of a legal agreement on Title of Lot 1 identifying that the proposed development must be designed and constructed with 209 rooftop solar panels covering approximately 37% of the roof space on the new building, to produce a total of 109,179 kWh annually (with each unit having its own tie-in to generate roughly 9,000-10,000 kWh annually per unit).
16. Registration of a legal agreement on Title ensuring the provision of the following Transportation Demand Management (TDM) measures:
 - a) Registration of a legal agreement on Title of Lot 1 to ensure the execution and completion of a subsidized transit pass program, including the following method of administration and terms:
 - i. A monthly subsidy will be provided for each Lot 1 employee that enrolls in the program (up to 50 simultaneous Lot 1 employees on a first-come first-served basis) to be used in Translink's Compass Cards for a period of one year. In the event that all transit pass subsidies are taken, a waiting list will be available for Lot 1 employees to request a transit pass subsidy once one becomes available. If there is a waiting list, Lot 1 employees who have already exhausted the one year transit pass subsidy will no longer be eligible for future subsidies;
 - ii. A Letter of Credit or other form of security acceptable to the City for 100% of the transit pass program value is required. The total contribution shall not exceed \$15,000 per year, and will run for the first three years after Lot 1 construction is completed, up to a total of \$45,000 over three years;
 - iii. Administration of the program is to be by a management company/property owner. The owner is not responsible for the monitoring of use of transit passes but only noting number of subscribed users to the program until the end of the three years;
 - iv. Should not all transit pass subsidies be utilized by the end of the three-year program period, the remaining funds equivalent to the value of the unsubscribed subsidies are to be transferred to the City of Richmond for alternate TDM measures at the City's discretion; and
 - v. The availability and method of accessing the transit pass subsidy is to be clearly explained to Lot 1 employees.
 - b) Registration of a legal agreement on Title to secure the employee shuttle service between the subject site and the Bridgeport Canada Line station, including the following details:
 - i. The shuttle will run for the first three years after Lot 1 construction is completed;
 - ii. The shuttle will operate during the peak hours of 7:30-9:30 am and 4:00-7:00pm;
 - iii. Although the shuttle service will be primarily intended for the use of Lot 1 employees, any spare capacity in the shuttle can be shared with Lot 2 employees;
 - iv. A detailed plan for the shuttle program is to be provided by the Applicant and is to include (but is not limited to) the terms of shuttle service frequency.

Prior to any construction or landscape works being undertaken on-site or in close proximity (i.e., 1.5 m/ 4.9 ft) to tree protection zones, the Applicant is required to complete the following:

- Install tree protection fencing around all on-site and off-site trees to be retained (Trees # 190-193, 195, 197, 198, 200; OS1-OS11; C1-C24). Tree protection fencing must be installed as per the Arborist's Report to City satisfaction in accordance with the City's Tree Protection Information Bulletin (TREE-03), and must remain in place until construction and landscaping is completed.

Prior to Building Permit* (BP) issuance for the new building on Lot 1, the Applicant is required to complete the following:

- Enter into a Servicing Agreement* (SA) for the design and construction of the following works (including, but not limited to):

Water works:

- Using the OCP Model, there is 532L/s of water available at a 20 psi residual at the Wireless Way frontage and there is 126L/s of water available at a 20 psi residual at the Sparwood Place frontage. Based on your proposed development, your site requires a minimum fire flow of 250 L/s.
- At the Applicant's cost, the Applicant is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on BP Stage building designs.
 - Upgrade the existing 150 mm water main along Sparwood Place to meet the minimum required fire flow of 250L/s and to fulfill the distance requirement between hydrant and the proposed building. The upgraded water main shall be aligned with the existing water main to the east.
 - Install a new water service connection to service the proposed new building, and provide a SRW for the water meter. Minimum SRW dimensions to be the size of the meter box (from the City of Richmond supplementary specifications) + any appurtenances (for example, the bypass on W2n-SD) + 0.5 m on all sides. Exact SRW dimensions to be finalized during the SA design process.
- At the Applicant's cost, the City will complete all tie-ins for the proposed works to existing City infrastructure.

Storm Sewer Works:

- At the Applicant's cost, the Applicant is required to:
 - Install approximately 85 m of new 600 mm storm sewer from STMH118406 to the east property line of the existing 13888 Wireless Way connecting with a new manhole to existing storm sewer on Wireless Way.
 - Inspect the existing storm service connection located on the southwest of the proposed new lot fronting Sparwood Place. If in good condition, reuse the service connection, complete with inspection chamber to service the proposed new lot as per standard City drawings.
- At the Applicant's cost, the City will complete all tie-ins for the proposed works to existing City infrastructure.

Sanitary Sewer Works:

- At the Applicant's cost, the City will:
 - complete all tie-ins for the proposed works to existing City infrastructure.
 - install a new sanitary service connection to service the proposed new lot c/w inspection chamber. The new service connection shall tie-in to the existing 200 mm sanitary sewer located north of the proposed new lot fronting Wireless Way.

Street Lighting:

- At the Applicant's cost, the Applicant is required to review street lighting levels along all road frontages, and upgrade as required.

General Items:

- At the Applicant's cost, the Applicant is required to:
 - Complete other frontage improvements as per the City's Transportation department requirements.
 - Coordinate with BC Hydro, Telus and other private communication service providers:

- To pre-duct for future hydro, telephone and cable utilities along all road frontages (if applicable).
- Before relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
- To underground overhead service lines for Lot 1 (if applicable).
- Locate/relocate all above ground utility cabinets and kiosks required to service the proposed development and proposed undergrounding works, and all above ground utility cabinets and kiosks located along the development's frontages, within the development's site (see list below for examples). A functional plan showing conceptual locations for such infrastructure shall be included in the development design review process. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements (e.g., SRW dimensions) and the locations for the aboveground structures. If a private utility company does not require an aboveground structure, that company shall confirm this via a letter to be submitted to the City. The following are examples of statutory right-of-ways that shall be shown on the architectural plans/functional plan, the SA drawings, and registered prior to SA design approval:
 - BC Hydro PMT – 4.0 x 5.0 m
 - BC Hydro LPT – 3.5 x 3.5 m
 - Street light kiosk – 1.5 x 1.5 m
 - Traffic signal kiosk – 2.0 x 1.5 m
 - Traffic signal UPS – 1.0 x 1.0 m
 - Shaw cable kiosk – 1.0 x 1.0 m
 - Telus FDH cabinet – 1.1 x 1.0 m
- Provide a video inspection report of the existing utilities along the road frontages prior to start of site preparation works or within the first SA submission, whichever comes first. A follow-up video inspection, complete with a civil engineer's signed and sealed recommendation letter, is required after site preparation works are complete (i.e. pre-load removal, completion of dewatering, etc.) to assess the condition of the existing utilities and provide recommendations to retain, replace, or repair. Any utilities damaged by the pre-load, de-watering, or other ground preparation shall be replaced or repaired at the Applicant's cost.
- Not encroach into City SRWs with any proposed trees, retaining walls, or other non-removable structures. Retaining walls proposed to encroach into SRWs must be reviewed by the City's Engineering Department.
- Enter into, if required, additional legal agreements, as determined via the subject development's SAs and/or DPs, and/or BPs to the satisfaction of the Director of Engineering, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- The Applicant is required to obtain a BP for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<https://www.richmond.ca/services/transportation/special.htm#TrafficPlan>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

(signed concurrence on file)

Signed

Date



No. DP 21-943418

To the Holder: S-506 Holdings Ltd.
C/O Karla Castellanos Architect

Property Address: 13888 Wireless Way

Address: #300-15300 Croydon Drive
Surrey BC V3Z 0Z5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the required number of parking spaces from 2.8 spaces to 0.75 spaces for each 100 m² of gross leasable floor area of building of Lot 1;
 - b) Reduce the minimum required number of large-sized on-site designated loading spaces on Lot 1 from 1 space to 0 spaces; and,
 - c) Reduce the minimum percentage of standard parking spaces on Lot 2 from 50% to 30%.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans # 1 to # 4.C attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding securities in the amount of:
 - \$19,178.00 for the on-site landscape works outside of the Riparian Management Area; and
 - \$69,628.00 for the on-site landscape works within the Riparian Management Area;

to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the

security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.

7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

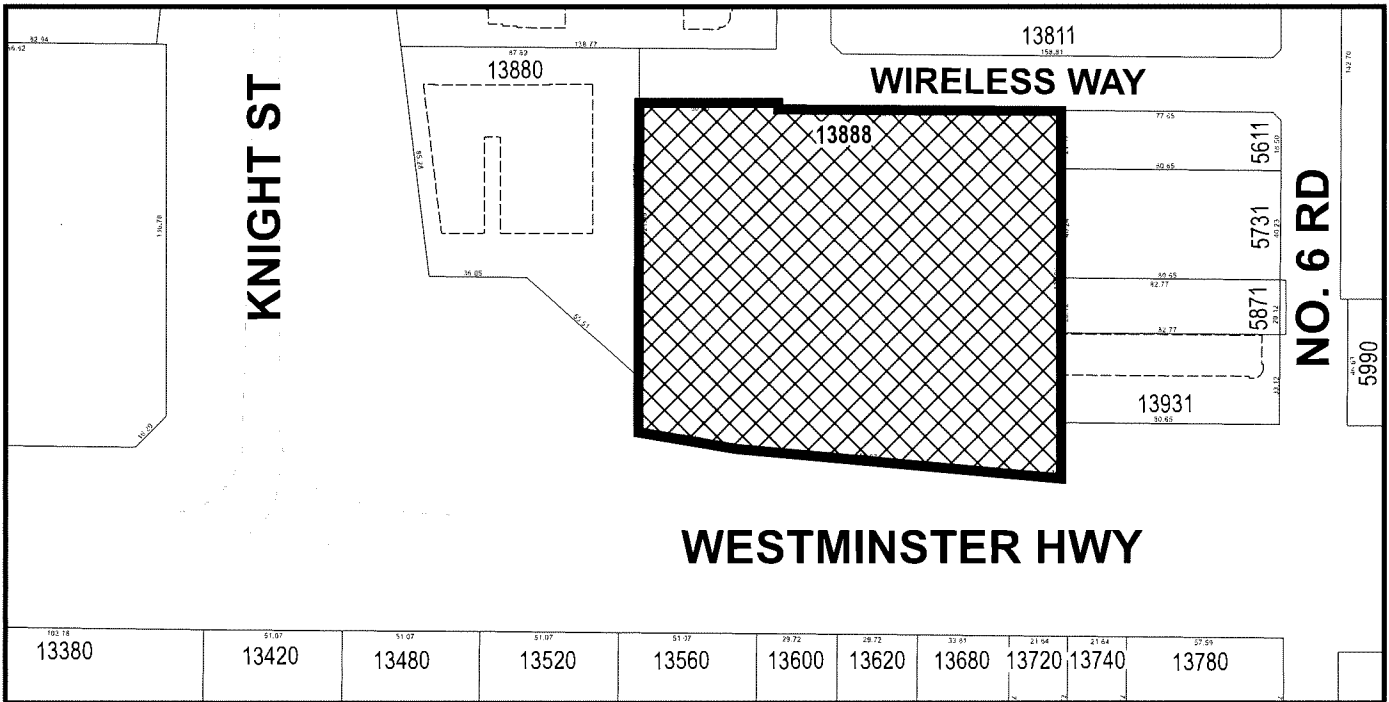
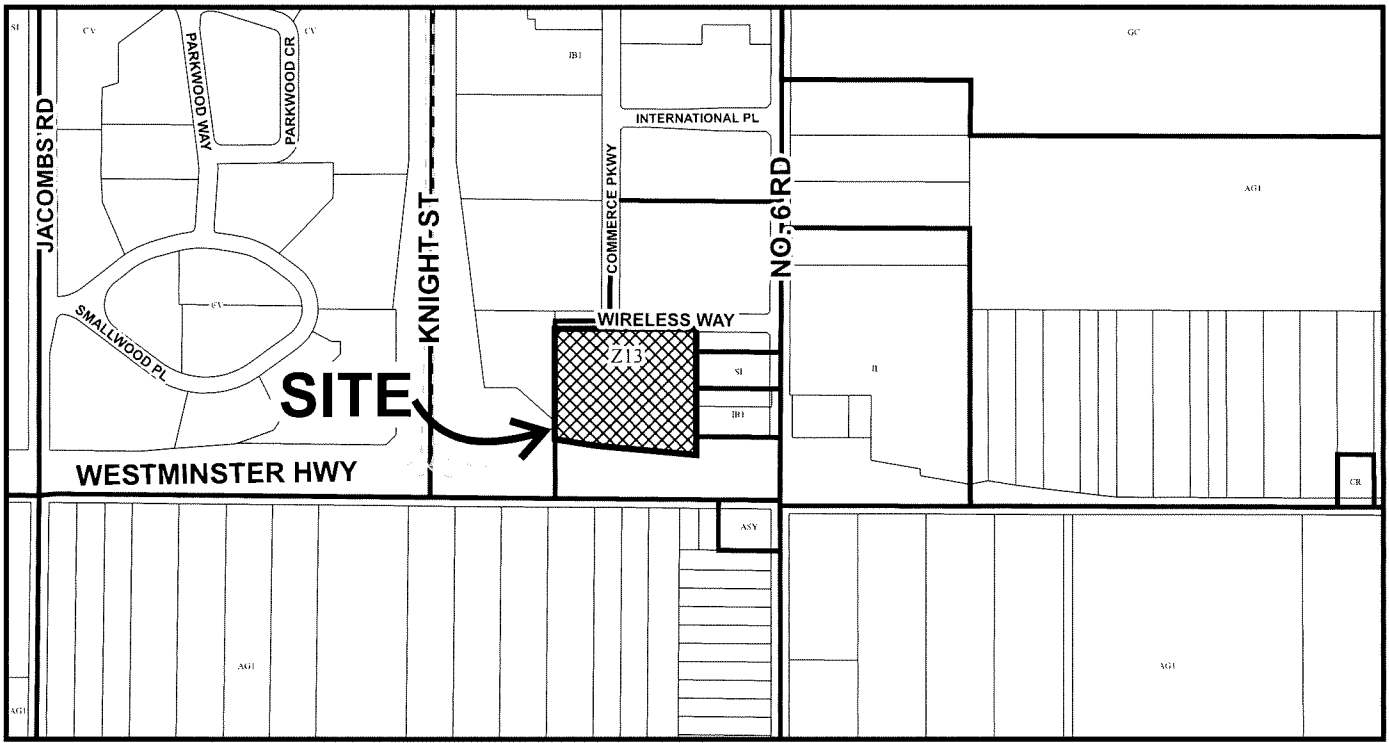
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of Richmond



DP 21-943418 SCHEDULE "A"

Original Date: 11/10/21

Revision Date: 12/01/21

Note: Dimensions are in METRES



KCC Architecture & Design Ltd.
 Unit 603 1225 W. Broadway Vancouver BC V6H 2A8
 kccarchitecture.com
 Tel: 604 691 2367

New Development for Symphony Hill Tech Centre 2 Richmond BC Development Permit Application

SURVEYOR CONSULTANT
 CRAIG NAKAMURA
 TARGET LAND SURVEYING
 Office: 604 936 6151
 Email: Craig@targetlandsurveying.ca

LANDSCAPE CONSULTANT
 C. KAVOLINAS
 C.KAVOLINAS & ASSOCIATES
 Office: 604 857 2376
 Email: kavolina@shaw.ca

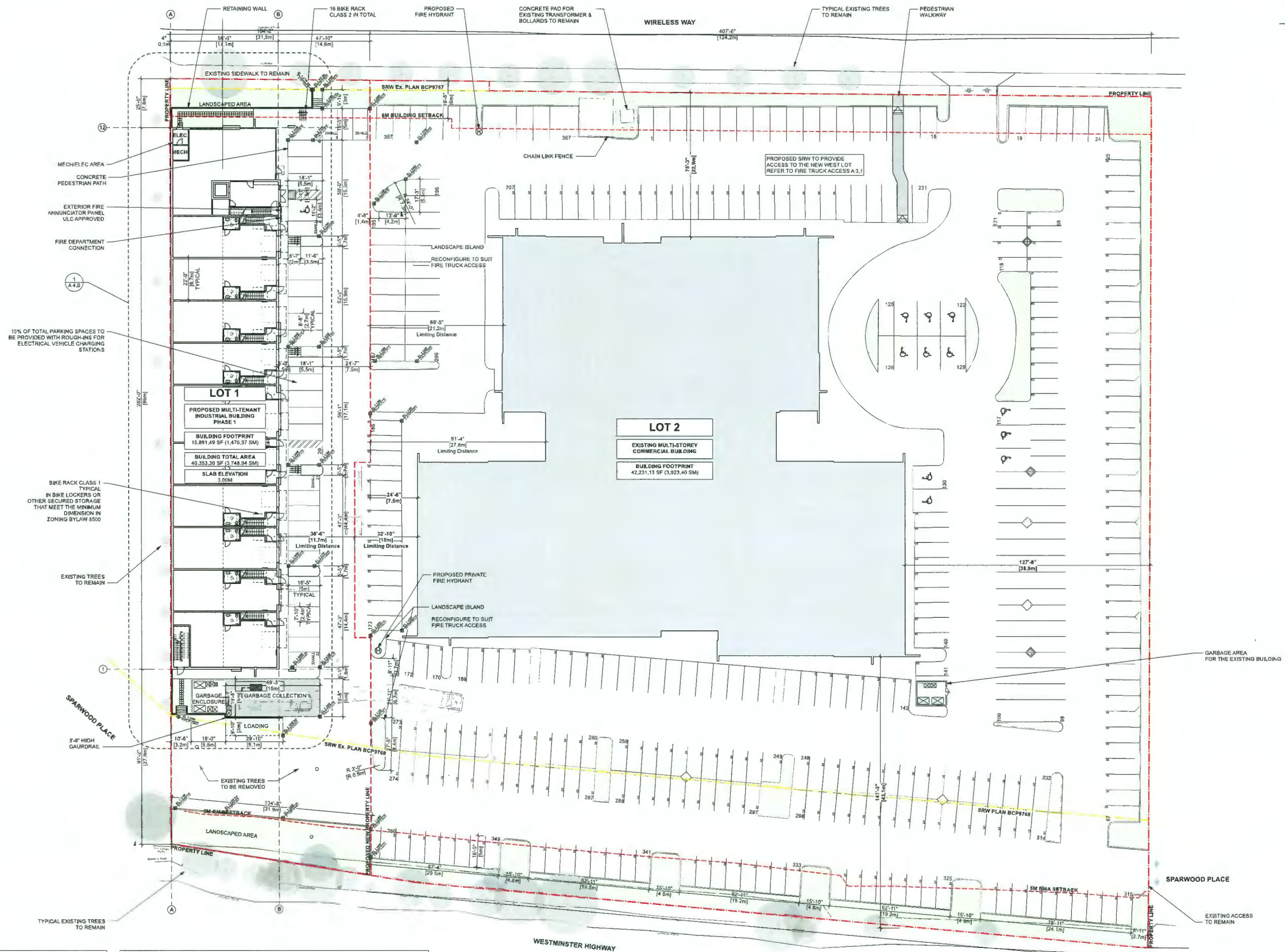
CIVIL CONSULTANT
 STEVE VERKAIK P.Eng.
 ISL ENGINEERING AND LAND SERVICES
 Office: 604 371 0091
 Email: sverkaik@islengeering.com

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CLIENT
 MUN WAI LAI
 SYMPHONY HILL PROPERTIES
 Office: 778 710 3311
 Email: lai@symphonyhill.ca

**DP 21-943418
 DECEMBER 18, 2023
 PLAN # 1**



MECH/ELEC AREA
 CONCRETE PEDESTRIAN PATH
 EXTERIOR FIRE ANNUNCIATOR PANEL ULC APPROVED
 FIRE DEPARTMENT CONNECTION

10% OF TOTAL PARKING SPACES TO BE PROVIDED WITH ROUGH-INS FOR ELECTRICAL VEHICLE CHARGING STATIONS

BIKE RACK CLASS 1 TYPICAL IN BIKE LOCKERS OR OTHER SECURED STORAGE THAT MEET THE MINIMUM DIMENSION IN ZONING BYLAW 8500

EXISTING TREES TO REMAIN

SPARWOOD PLACE
 3'-6" HIGH GAUDDRAIL

TYPICAL EXISTING TREES TO REMAIN

GENERAL NOTES

- SURVEY INFORMATION AND ELEVATIONS GRADES ARE BASED ON THE SURVEY DRAWING PREPARED BY TARGET LAND SURVEYING FILE H4243-TOPO-R1

NOTES

- ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO CONSTRUCTION
- PROVIDE ROUGH-INS FOR EXTERNAL BY CHARGERS

LEGEND

[Solid Grey Box]	- EXISTING BUILDING	[Dashed Line Box]	- LOADING ZONE AND GARBAGE STAGING AREA
[Dotted Line Box]	- EXISTING TO REMAIN	[Hatched Box]	- PAINTED STRIP SIGN ON FLOOR
[Thin Solid Line Box]	- PROPOSED BUILDING	[White Box]	- CONCRETE SIDEWALK
[Thick Solid Line Box]	- PROPOSED NEW LANDSCAPE		

PROFESSIONAL SEAL
 CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2

LIGHT INDUSTRIAL MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 04 18	ISSUED FOR REVIEW
3	2023 04 21	ISSUED FOR COORDINATION
4	2023 05 15	REISSUED FOR DP
5	2023 10 16	ISSUED FOR COORDINATION
6	2023 10 17	ISSUED FOR COORDINATION
7	2023 11 07	ISSUED FOR COORDINATION
8	2023 11 09	REISSUED FOR DP
9	2023 11 22	REISSUED FOR DP
10	2023 12 01	REISSUED FOR DP

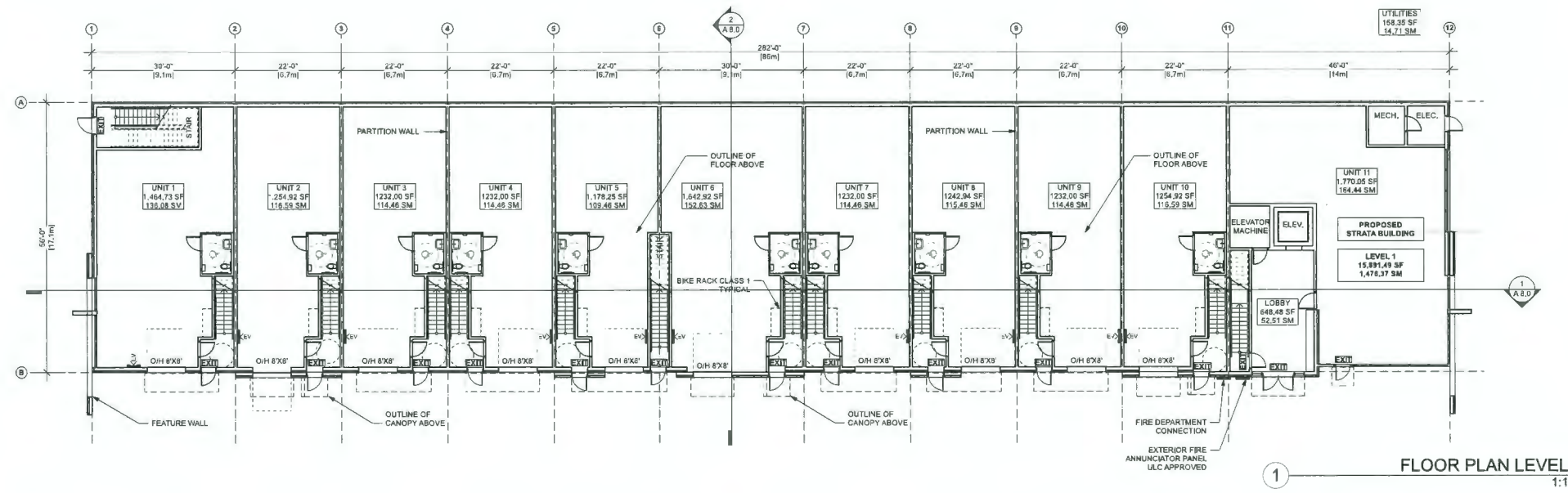
1 SITE PLAN 1:300

DP 21-943418
DECEMBER 18, 2023
PLAN # 1.B

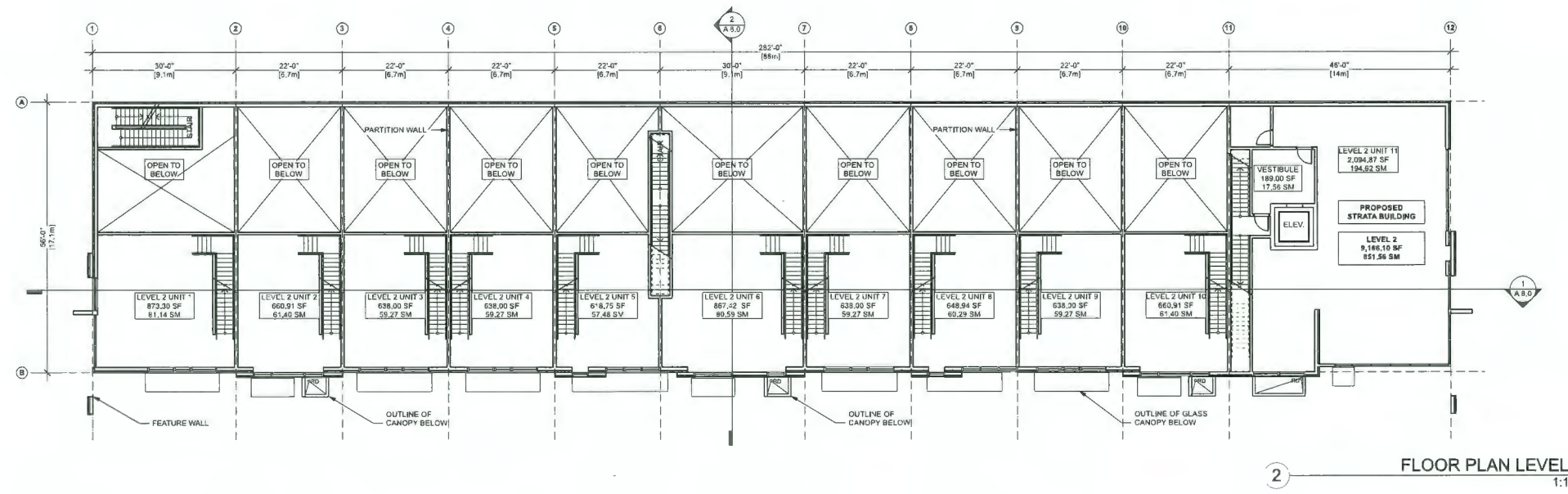
SITE PLAN A3.0

DRAWN: ES
 CHECKED: EC
 SCALE: 1:300
 FILE: 2103

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FLOOR PLAN LEVEL 1
1:170



FLOOR PLAN LEVEL 2
1:170

NOTES
 -ALL DIMENSIONS SHALL BE VERIFIED ON SITE
 PRIOR TO CONSTRUCTION

PROFESSIONAL SEAL
 CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2
 LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 05 15	REISSUED FOR DP
3	2023 10 18	ISSUED FOR COORDINATION
4	2023 11 09	REISSUED FOR DP
5	2023 12 01	REISSUED FOR DP

LEVEL 1 & 2 **A4.0**

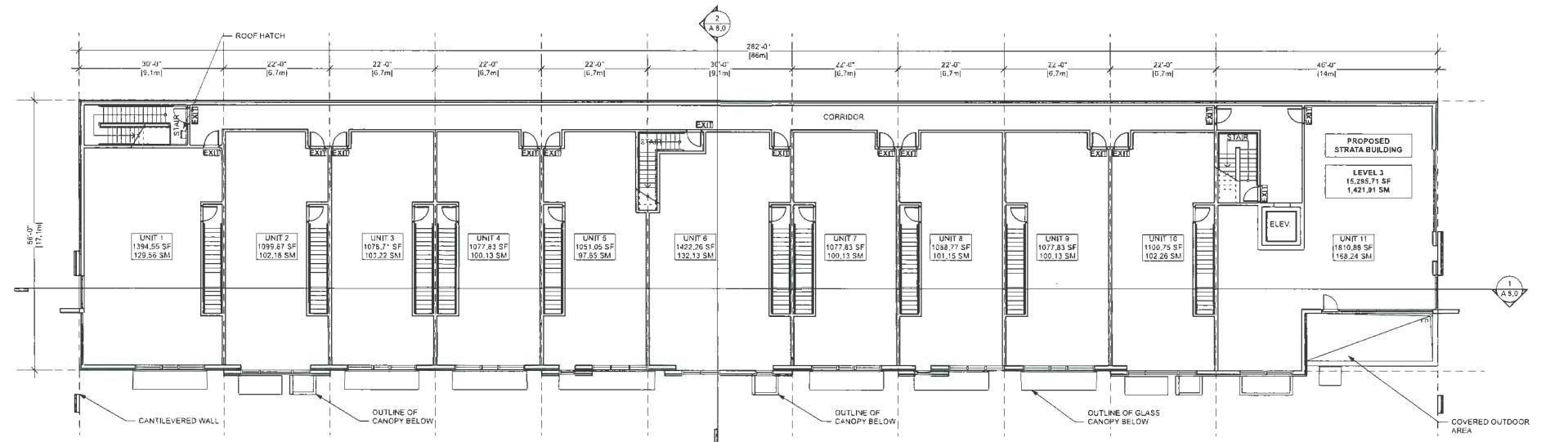
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DP 21-943418
DECEMBER 18, 2023
PLAN # 1.C

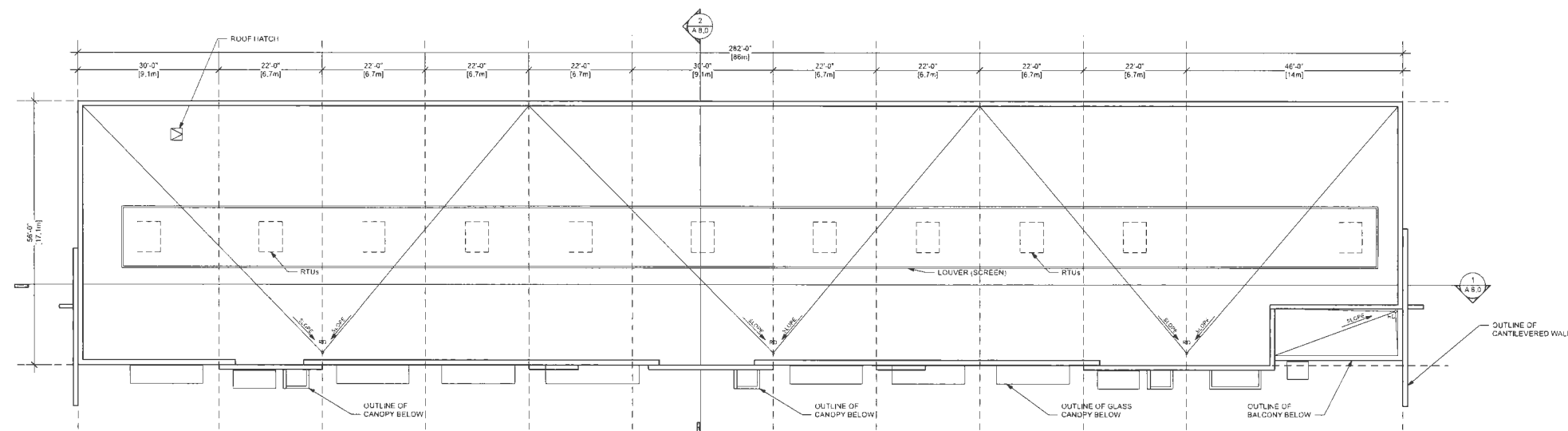
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KCC Architecture & Design Ltd.
 Ux: 80935-091, Vancouver, B.C. | 604-273-1213
 kccarchitecture.com | 604-273-1972



1 FLOOR PLAN LEVEL 3
1:170



2 ROOF PLAN
1:170

PROFESSIONAL SEAL
CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2
 LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 05 15	REISSUED FOR DP
3	2023 10 16	ISSUED FOR COORDINATION
4	2023 11 03	REISSUED FOR DP
5	2023 12 01	REISSUED FOR DP

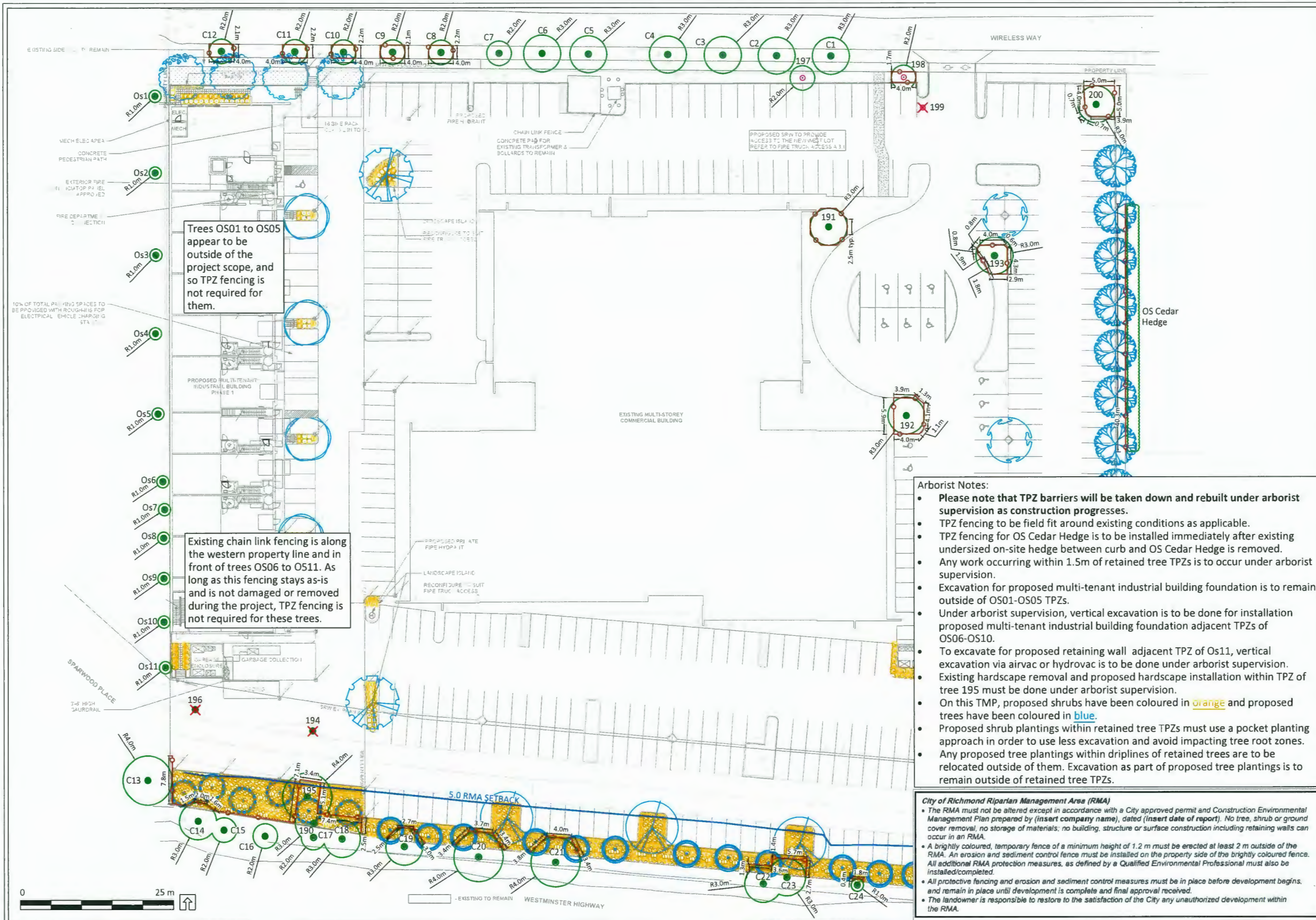
NOTES
 -ALL DIMENSIONS SHALL BE VERIFIED ON SITE
 PRIOR TO CONSTRUCTION

LEVEL 3 & ROOF A4.1

DRAWN ES
 CHECKED PC
 SCALE 1/170
 FILE 2103

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DP 21-943418
DECEMBER 18, 2023
PLAN # 1.D



Trees OS01 to OS05 appear to be outside of the project scope, and so TPZ fencing is not required for them.

Existing chain link fencing is along the western property line and in front of trees OS06 to OS11. As long as this fencing stays as-is and is not damaged or removed during the project, TPZ fencing is not required for these trees.

Arborist Notes:

- Please note that TPZ barriers will be taken down and rebuilt under arborist supervision as construction progresses.
- TPZ fencing to be field fit around existing conditions as applicable.
- TPZ fencing for OS Cedar Hedge is to be installed immediately after existing undersized on-site hedge between curb and OS Cedar Hedge is removed.
- Any work occurring within 1.5m of retained tree TPZs is to occur under arborist supervision.
- Excavation for proposed multi-tenant industrial building foundation is to remain outside of OS01-OS05 TPZs.
- Under arborist supervision, vertical excavation is to be done for installation proposed multi-tenant industrial building foundation adjacent TPZs of OS06-OS10.
- To excavate for proposed retaining wall adjacent TPZ of Os11, vertical excavation via airvac or hydrovac is to be done under arborist supervision.
- Existing hardscape removal and proposed hardscape installation within TPZ of tree 195 must be done under arborist supervision.
- On this TMP, proposed shrubs have been coloured in orange and proposed trees have been coloured in blue.
- Proposed shrub plantings within retained tree TPZs must use a pocket planting approach in order to use less excavation and avoid impacting tree root zones.
- Any proposed tree plantings within driplines of retained trees are to be relocated outside of them. Excavation as part of proposed tree plantings is to remain outside of retained tree TPZs.

City of Richmond Riparian Management Area (RMA)

- The RMA must not be altered except in accordance with a City approved permit and Construction Environmental Management Plan prepared by (insert company name), dated (insert date of report). No tree, shrub or ground cover removal, no storage of materials; no building, structure or surface construction including retaining walls can occur in an RMA.
- A brightly coloured, temporary fence of a minimum height of 1.2 m must be erected at least 2 m outside of the RMA. An erosion and sediment control fence must be installed on the property side of the brightly coloured fence. All additional RMA protection measures, as defined by a Qualified Environmental Professional must also be installed/completed.
- All protective fencing and erosion and sediment control measures must be in place before development begins, and remain in place until development is complete and final approval received.
- The landowner is responsible to restore to the satisfaction of the City any unauthorized development within the RMA.

LEGEND

	CRITICAL ROOT ZONE
	TREE PROTECTION FENCING
	SURVEYED TREE TO BE RETAINED
	UN-SURVEYED TREE TO BE RETAINED
	SURVEYED TREE TO BE REMOVED
	UN-SURVEYED TREE TO BE REMOVED

- NOTES**
- The location of un-surveyed trees on this plan is approximate. Their location and ownership cannot be confirmed without being surveyed by a Registered BC Land Surveyor.
 - All tree protection fencing must be built to the relevant municipal bylaw specifications.
 - The tree protection zone shown is a graphical representation of the critical root zone, measured from the center of the tree.
 - Any construction activities or grade changes within the Root Protection Zone must be approved by the project arborist.
 - This plan is based on a topographic and tree location survey provided by the owners' Registered British Columbia Land Surveyor (BCLS) and design drawings provided to Diamond Head Consulting.
 - This plan is provided for context only, and is not certified as to the accuracy of the location of features or dimensions that are shown on this plan. Please refer to the original survey plan and design drawings.

- REFERENCE DRAWINGS**
- Topographic Survey provided by the client, prepared by Target Land Surveying Ltd. (March 1st, 2021).
 - Site Plan by KCC Architecture & Design Ltd. dated 2023-11-07.
 - L-1 Landscape Plan (Rev No. 4) by C. Kavolinas & Associates Inc. dated Nov/23.



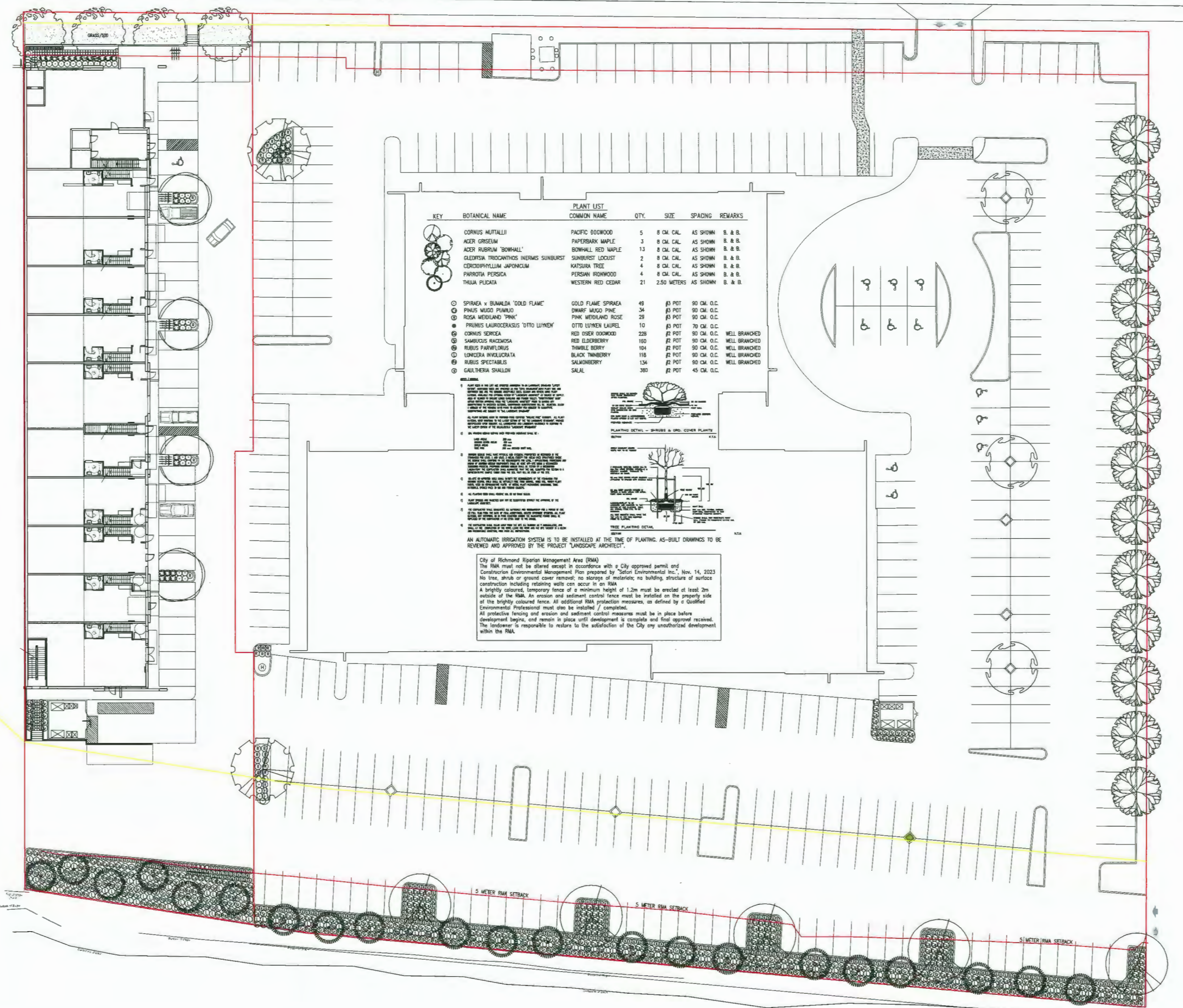
3559 COMMERCIAL STREET
VANCOUVER BC | V5N 4E8
T 604.733.4886

Drawing title: Tree Management Plan
Project address: 13888 Wireless Way, Richmond
Client: Titan Construction

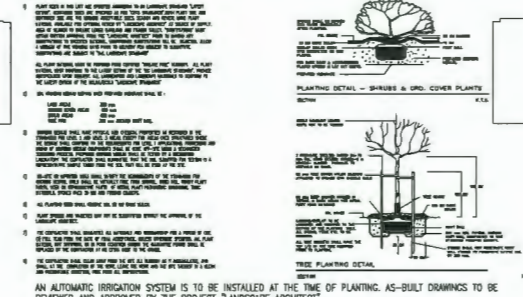
DP 21-943418
DECEMBER 18, 2023
PLAN # 2

Drawing No: 002
Date: 2023/11/24
Drawn by: DBE
Page Size: TABLOID 11"x17"

Page #
1 of 1



KEY	BOTANICAL NAME	PLANT LIST COMMON NAME	QTY.	SIZE	SPACING	REMARKS
○	CORNUS MUTALLII	PACIFIC DOGWOOD	5	8 CM. CAL.	AS SHOWN	B. & B.
○	ACER GRISSELM	PAPERBARK MAPLE	3	8 CM. CAL.	AS SHOWN	B. & B.
○	ACER RUBRUM 'BONHALL'	BONHALL RED MAPLE	13	8 CM. CAL.	AS SHOWN	B. & B.
○	GLEDITSIA TRICANTHOS INERMIS SUNBURST	SUNBURST LOCUST	2	8 CM. CAL.	AS SHOWN	B. & B.
○	CECROPIYFOLIUM JAPONICUM	WATSONIA TREE	4	8 CM. CAL.	AS SHOWN	B. & B.
○	PARROTIA PERSEA	PERSEAN IRONWOOD	4	8 CM. CAL.	AS SHOWN	B. & B.
○	THUJA PLICATA	WESTERN RED CEDAR	21	2.50 METERS	AS SHOWN	B. & B.
○	SPRUEA x BUNBLEA 'GOLD FLAME'	GOLD FLAME SPRUEA	48	Ø3 POT	90 CM. O.C.	
○	PRUNUS MEXICO PUMILO	DWARF MEXICO PINE	34	Ø3 POT	90 CM. O.C.	
○	ROSA MERIDIAN 'PINK'	PINK MERIDIAN ROSE	29	Ø3 POT	90 CM. O.C.	
○	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN LAUREL	10	Ø3 POT	70 CM. O.C.	
○	CORNUS SERICEA	RED OSER DOGWOOD	228	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	SAMBUCUS RACEMOSA	RED ELDERBERRY	160	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	RUBUS PARVIFLORUS	THIMBLE BERRY	104	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	LONGICERA INVOLUCRATA	BLACK THIMBERRY	118	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	RUBUS SPECTABILIS	SALMONBERRY	134	Ø2 POT	90 CM. O.C.	WELL BRANCHED
○	GALTHERIA SHALLOW	SALAL	380	Ø2 POT	45 CM. O.C.	



AN AUTOMATIC IRRIGATION SYSTEM IS TO BE INSTALLED AT THE TIME OF PLANTING. AS-BUILT DRAWINGS TO BE REVIEWED AND APPROVED BY THE PROJECT 'LANDSCAPE ARCHITECT'.

City of Richmond Riparian Management Area (RMA)
 The RMA must not be altered except in accordance with a City approved permit, and Construction Environmental Management Plan prepared by 'Astori Environmental Inc.', Nov. 14, 2023
 No tree, shrub or ground cover removal; no storage of materials; no building, structure or surface construction including retaining walls can occur in an RMA
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DATE	REVISIONS	NO.
DEC/23	RICHMOND COMMENTS	5
NOV/23	RICHMOND COMMENTS	4
NOV/23	REVISED SITE PLAN	3
APR/23	REVISED SITE PLAN	2
FEB/23	REVISED SITE PLAN	1

C.KAVOLINAS & ASSOCIATES INC.
 BCSLA CSLA
 2462 JONGUIL COURT
 ABBOTSFORD, B.C.
 V3G 3E8
 PHONE (604) 857-2376

CLIENT
 TITAN CONSTRUCTION COMPANY LTD.
 ATTENTION: RICHARD COLEMAN
 UNIT 1A
 27355 GLOUCESTER WAY
 LANGLEY, B.C.
 V4W 3Z9
DP 21-943418
DECEMBER 18, 2023
PLAN# 2.A

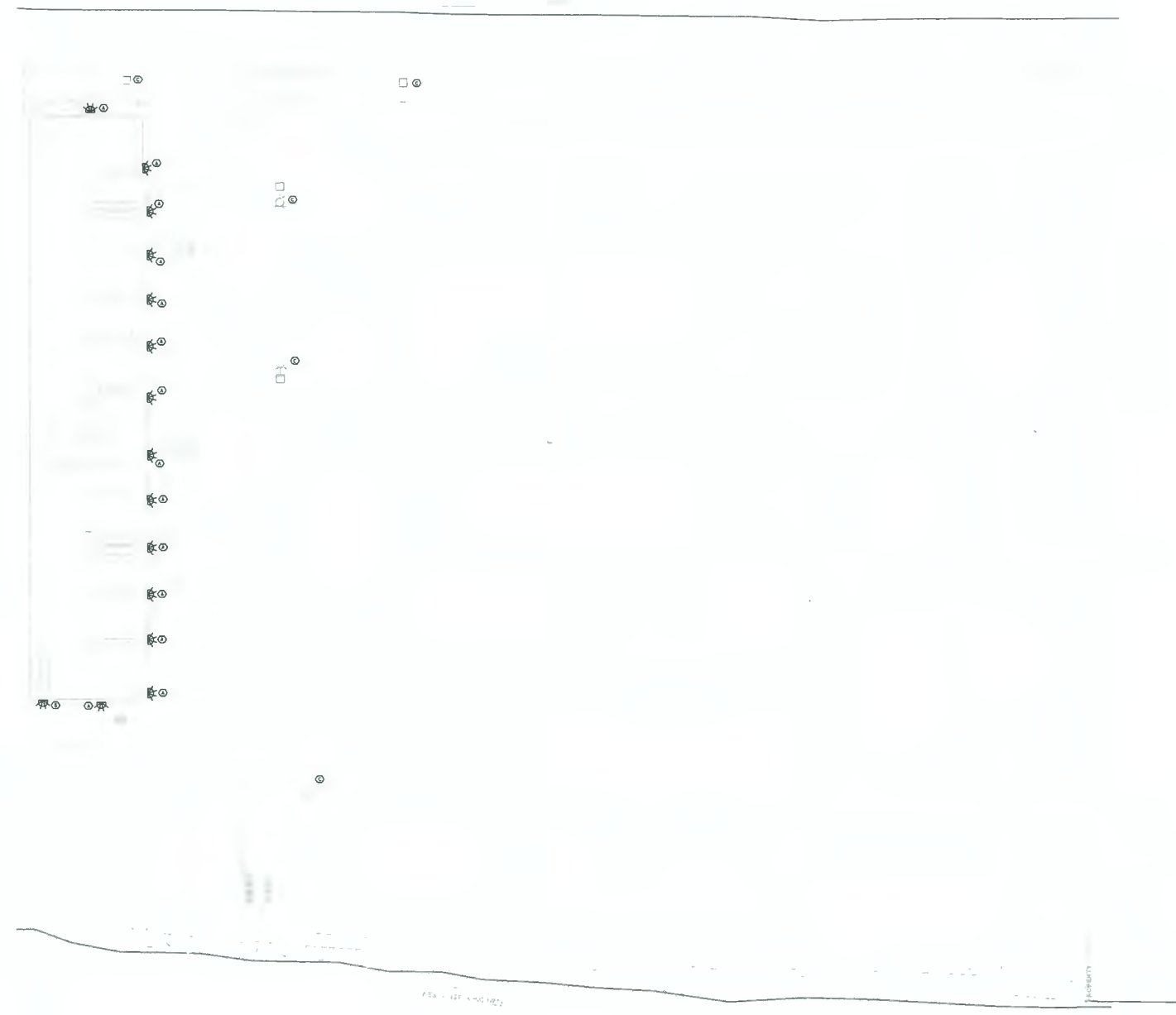
TITLE
 PLAN VIEW
 LANDSCAPE PLAN
 LIGHT INDUSTRIAL
 MULT-TENANT BLDG
 13888 WIRELESS WAY
 RICHMOND, B.C.

SCALE	DATE
1:250	SEP/21
DRAFT	CHK'D
ENG.	CHK'D
APPRO'D	AS BUILT

PRINTED
 JOB No.
 DRAWING No.
 L-1

LIGHTING FIXTURE SCHEDULE		
FIXTURE TYPE	LAMP	MOUNTING
① LITHONIA #WSR LED P2 SR4 40K MVOLT	29.2W LED, 4000K	SURFACE WALL +13'AFF
② LITHONIA #WSR LED P1 SR4 40K MVOLT	20W LED, 4000K	SURFACE WALL +8'AFF
③ E. EXISTING POLE MOUNT LIGHT TO REMAIN	- - -	- - -

NOTES:
 FIXTURES TO BE AS SPECIFIED OR APPROVED EQUAL



SITE PLAN - ELECTRICAL
 SCALE: 1:400

DP 21-943418
DECEMBER 18, 2023
PLAN# 3

NO.	DATE	ISSUED FOR	DESCRIPTION
1	05/02/2023	ISSUED FOR SITE LIGHTING	

ISSUES & REVISIONS:

SEAL:

PROJECT NAME:
 SYMPHONY HILL CORPORATE
 CENTRE 2

PROJECT #: 1072-23

PROJECT ADDRESS:
 13388 WIRELESS WAY,
 RICHMOND, BC

DATE: MAY-01-2023

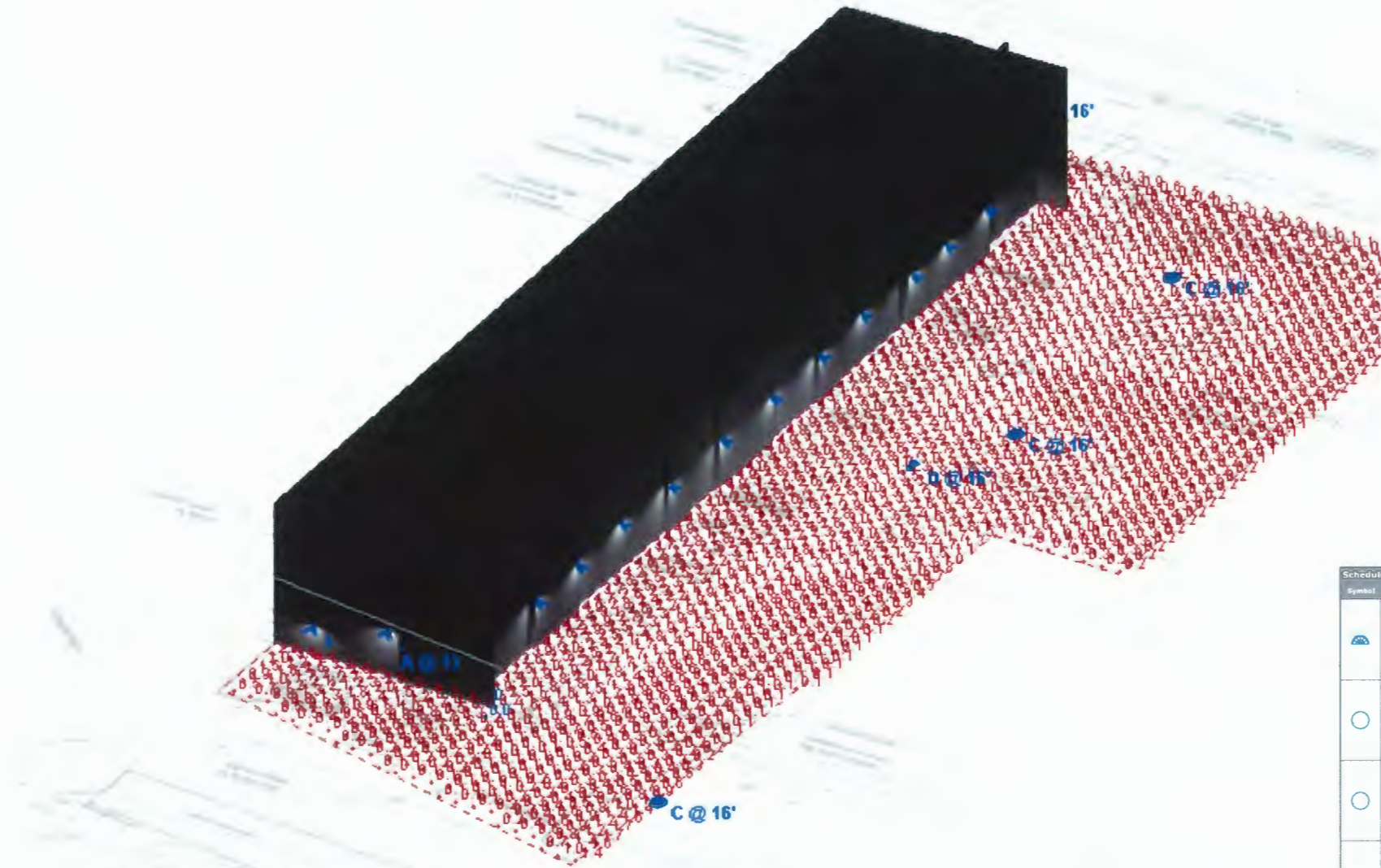
DSN: JK CHK: JK

SCALE: AS NOTED

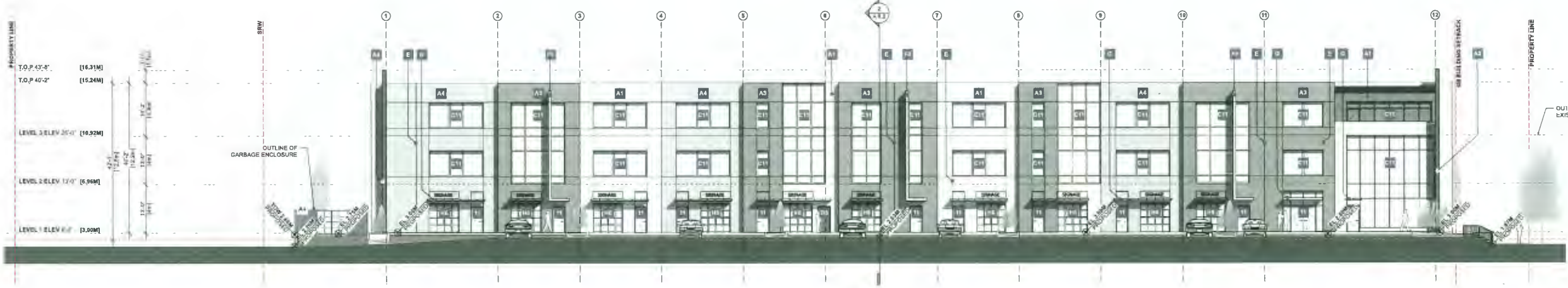
DRAWING TITLE:
 SITE PLAN - ELECTRICAL

DRAWING #: E-1.1

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Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Foot Candle
	A		13	Lithonia Lighting	WSQ LED P2 SR4 40K HVOLT	WSQ LED WITH P2-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	1	3053	0.9	28.17	Max: 1997cd
	D		2	Lithonia Lighting	RADPT P4 40K PATH HS	RADCAN Post-Top with P4 4000K Pathway distribution with house-side shield	1	8240	0.9	85.5782	Max: 3763cd
	C		3	Lithonia Lighting	RADPT P3 40K SYN	RADCAN Post-Top with P3 4000K Symmetric distribution	1	7303	0.9	53.5184	Max: 2010cd
	B		1	Lithonia Lighting	WSQ LED P1 SR4 40K HVOLT	WSQ LED WITH P1-PERFORMANCE PACKAGE, 4000K, AND SR4 OPTIC TYPE	1	2190	1	19.56	Max: 1432cd



1 EAST BUILDING ELEVATION
1:170

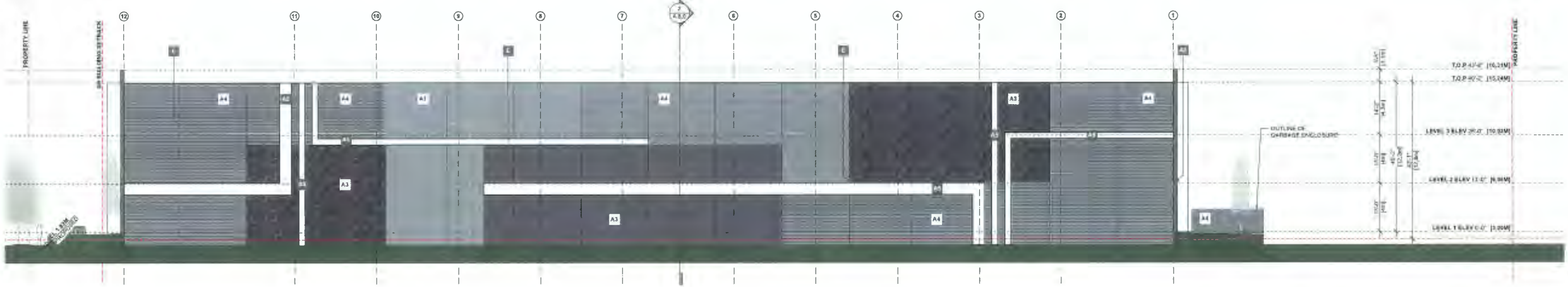
PROFESSIONAL SEAL
CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2

LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 04 18	ISSUED FOR REVIEW
3	2023 05 15	REISSUED FOR DP
4	2023 10 18	ISSUED FOR COORDINATION
5	2023 11 09	REISSUED FOR DP
6	2023 12 01	REISSUED FOR DP



2 WEST BUILDING ELEVATION
1:170

NOTES

- ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO CONSTRUCTION
- FOR CANOPIES DIMENSIONS REFER TO FLOOR PLANS

MATERIAL LEGEND

A INSULATED TILT-UP CONCRETE PANEL PAINTED	E PANEL JOINT
B CANTILEVERED WALL	F FEATURED CANOPY
C CURTAIN WALL	G LAMINATED TEMPERED GLASS CANOPY
D STEEL FRAME HOLLOW METAL DOOR	H INSULATED GLASS OVERHEAD DOOR

COLOUR LEGEND

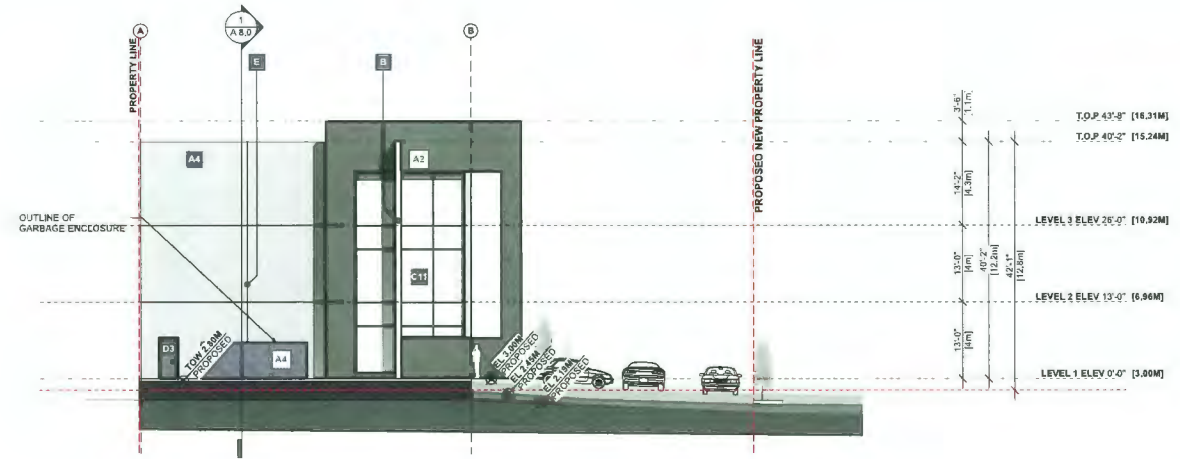
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2 BENJAMIN MOORE JALAPENO PEPPER 2147-30	6 DELETED	10 VICWESTDEEP METAL CLADDING VIEWWEST DRY OYSTER 3-DRY-50
3 BENJAMIN MOORE ASHWOOD MOSS 1484	7 DELETED	11 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
4 BENJAMIN MOORE SABLE GRAY 1482	8 VICWEST METAL CLADDING EWH WHITE 3-EWH-70	

ELEVATIONS A7.0

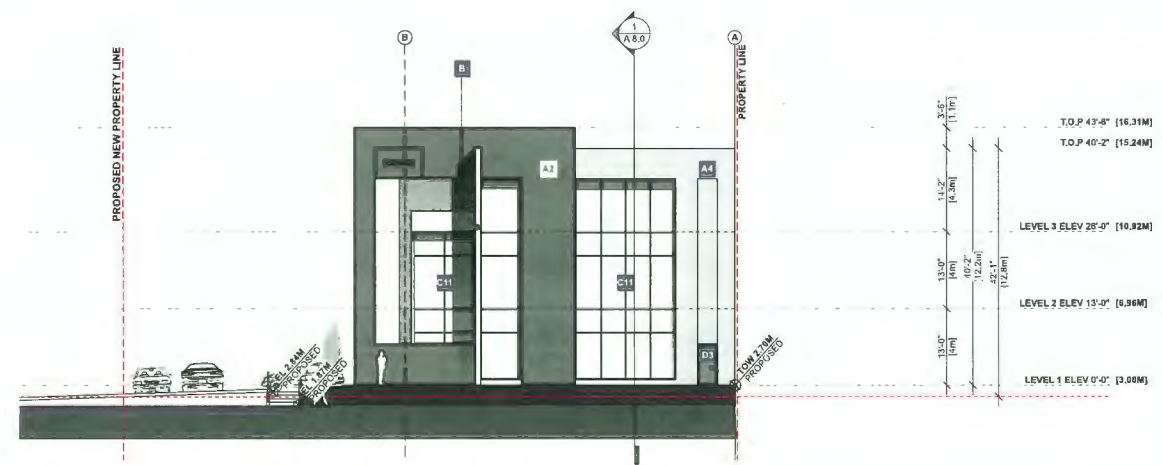
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DP 21-943418
DECEMBER 18, 2023
PLAN # 4

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1 SOUTH BUILDING ELEVATION
 1:170



2 NORTH BUILDING ELEVATION
 1:170

PROFESSIONAL SEAL
 CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2
 LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 04 18	ISSUED FOR REVIEW
3	2023 05 15	REISSUED FOR DP
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5	2023 11 09	REISSUED FOR DP
6	2023 12 01	REISSUED FOR DP

NOTES
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MATERIAL LEGEND

A INSULATED TILT-UP CONCRETE PANEL PAINTED	E PANEL JOINT
B CANTILEVERED WALL	F FEATURED CANOPY
C CURTAIN WALL	G LAMINATED TEMPERED GLASS CANOPY
D STEEL FRAME HOLLOW METAL DOOR	H INSULATED GLASS OVERHEAD DOOR

COLOUR LEGEND

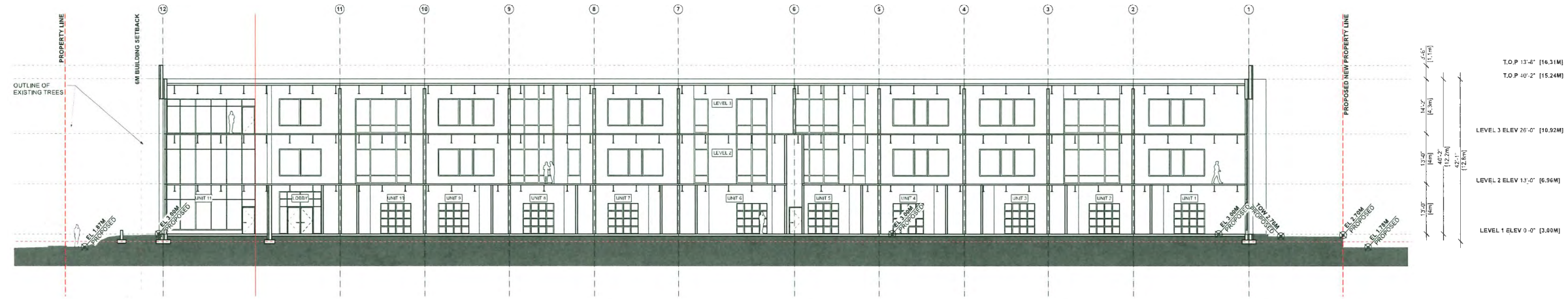
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2 BENJAMIN MOORE BLACK JACK 2133-20	6 BENJAMIN MOORE STORMY MONDAY 2112-50	10 VICWESTDEEP METAL CLADDING VICWEST CRY OYSTER 3-C-RY-50
3 BENJAMIN MOORE BABY SEAL BLACK 2119-30	7 BENJAMIN MOORE RUBY RED 2001-10	11 BLACK ALUMINUM FRAME & TRANSPARENT DOUBLE GLASS UNIT
4 BENJAMIN MOORE DIOR GRAY 2-33-40	8 VICWEST METAL CLADDING EWH WHITE 3-EWH-70	

ELEVATIONS A7.1

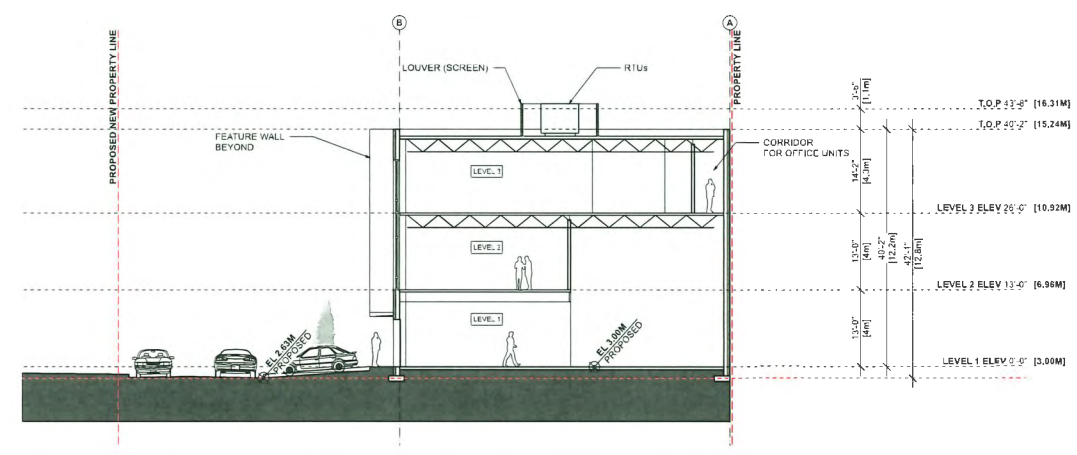
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DP 21-943418
DECEMBER 18, 2023
PLAN # 4.A

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1 SECTION 1
1:170



2 SECTION 2
1:170

NOTES
 - ALL DIMENSIONS SHALL BE VERIFIED ON SITE PRIOR TO CONSTRUCTION

PROFESSIONAL SEAL
 CLIENT



PROJECT 2103
 NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2
 LIGHT INDUSTRIAL MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 05 15	REISSUED FOR DP
3	2023 10 16	ISSUED FOR COORDINATION
4	2023 10 17	ISSUED FOR COORDINATION
5	2023 11 09	REISSUED FOR LP
6	2023 12 01	REISSUED FOR DP

SECTIONS A8.0

DP 21-943418
 DECEMBER 18, 2023
 PLAN # 4.B

DRAWN BY: [Name] DATE: 12/18/23 FILE: 2103
 SHEET NO. 10 OF 10
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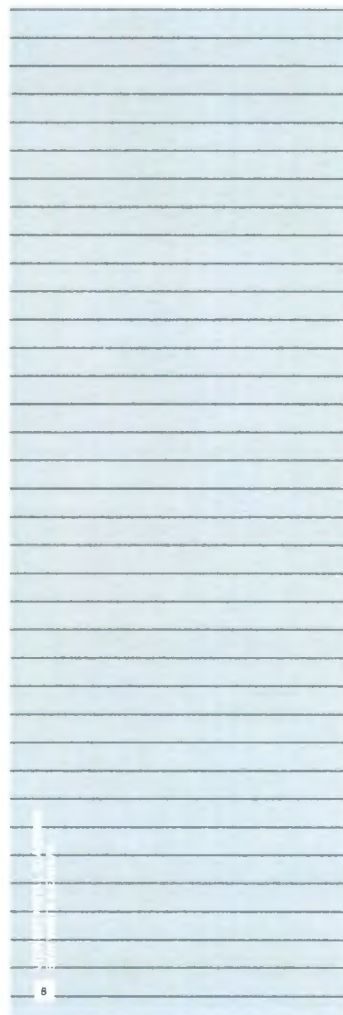
9
ADVANCED DEEP METAL CLADDING
CNC FINISHED (KCCS)



10
HIGHER TOWER METAL CLADDING
HIGHER TOWER SYSTEM (KCCS)



1



6
HIGHER TOWER METAL CLADDING
HIGHER TOWER SYSTEM (KCCS)



5
BENJAMIN MOORE
ASHWOOD MOSS 1484



5
BENJAMIN MOORE
WHITCOPULL INC CC-89



11
BLACK ALUMINUM FRAME



11
TRANSPARENT DOUBLE GLASS UNIT



4
BENJAMIN MOORE
SABRE GRAY 1482



2
BENJAMIN MOORE
JALAPENO PEPPER 2142-30

PROFESSIONAL SEAL
CLIENT



PROJECT 2103
NEW DEVELOPMENT FOR
Symphony Hill Corporate Center 2

LIGHT INDUSTRIAL
MULTI-TENANT
13888 WIRELESS WAY
RICHMOND BC

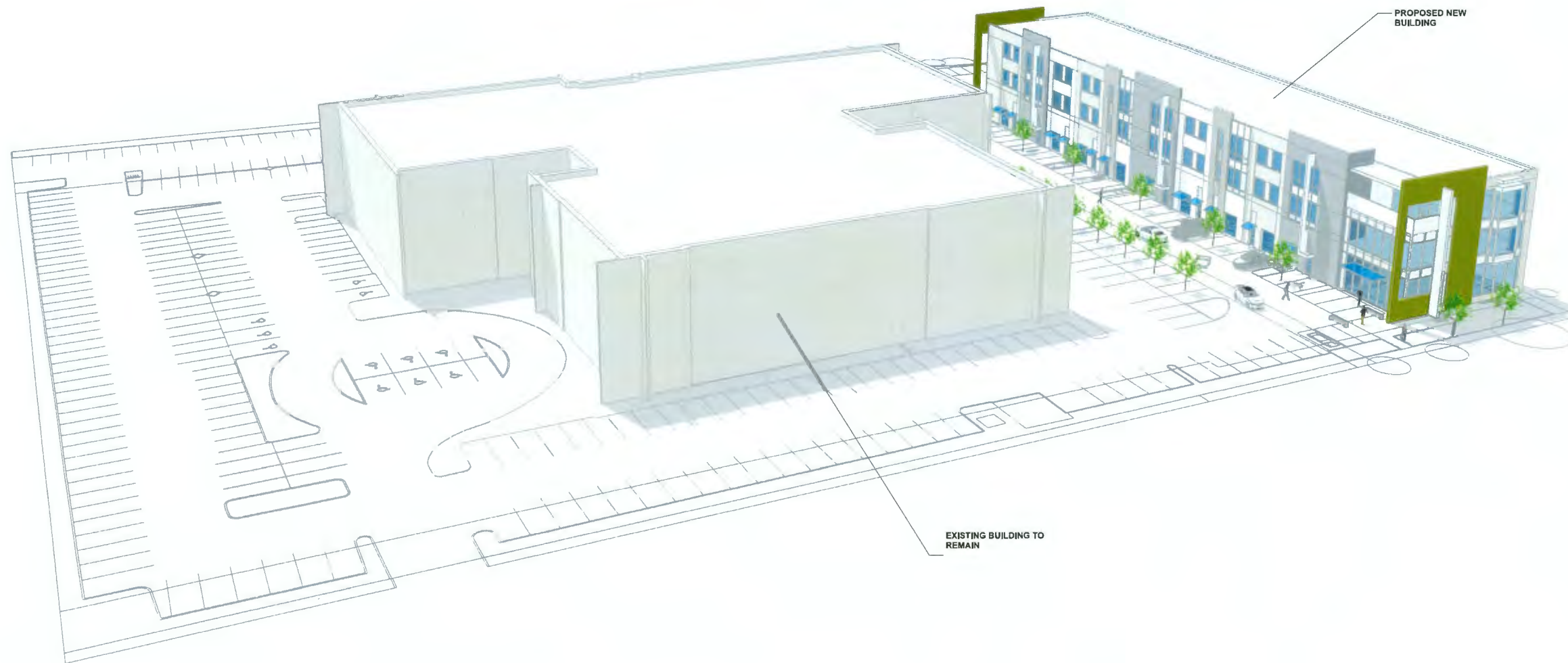
NO.	DATE	ISSUANCE
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5	2023 12 01	REISSUED FOR DP

FINISHES BOARD A10.1

DRAWN ES
CHECKED KC
SCALE NTS
FILE 2103

DP 21-943418
DECEMBER 18, 2023
PLAN # 4.C

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PROFESSIONAL SEAL
 CLIENT



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4	2023 11 09	REISSUED FOR DP
5	2023 12 01	REISSUED FOR DP

ISO VIEWS A9.0

DRAWN ES SCALE NTS FILE 2103
 CHECKED KC

DP 21-943418
DECEMBER 18, 2023
REFERENCE PLANS

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PROFESSIONAL SEAL
 CLIENT



PROJECT 2103

NEW DEVELOPMENT FOR

Symphony Hill Corporate Center 2

LIGHT INDUSTRIAL
 MULTI-TENANT
 13888 WIRELESS WAY
 RICHMOND BC

NO.	DATE	ISSUANCE
1	2021 10 15	ISSUED FOR DP
2	2023 05 15	REISSUED FOR DP
3	2023 10 10	ISSUED FOR COORDINATION
4	2023 11 09	REISSUED FOR DP
5	2023 12 01	REISSUED FOR DP

ISO VIEWS A9.1

DRAWN ES SCALE NTS FILE 2103
 CHECKED PC
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DP 21-943418
DECEMBER 18, 2023
REFERENCE PLANS



Solar Panels



SUMMER SOLSTICE JUNE 20 2021 10:00 AM



SUMMER SOLSTICE JUNE 20 2021 2:00 PM



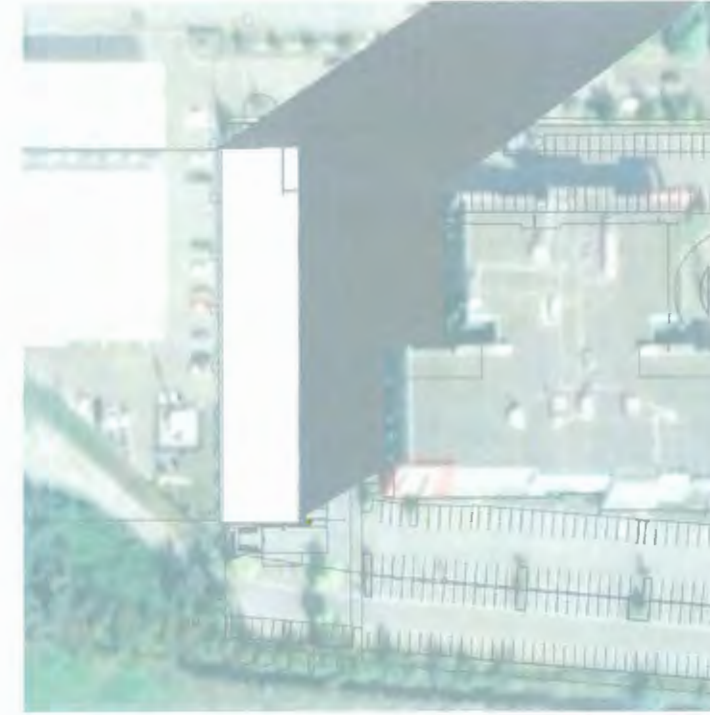
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WINTER SOLSTICE DEC 21 2021 10:00 AM



WINTER SOLSTICE DEC 21 2021 2:00 PM



WINTER SOLSTICE DEC 21 2021 4:00 PM

PROFESSIONAL SEAL
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SHADOW ANALYSIS A10.0

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DP 21-943418
DECEMBER 18, 2023
REFERENCE PLANS



To: Development Permit Panel

Date: December 18, 2023

From: Wayne Craig
Director, Development

File: DP 22-021165

Re: Application by 0853803 BC Ltd. and 1121648 BC Ltd. for a Development Permit at
6571 and 6591 No. 1 Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of eight townhouse units at 6571 and 6591 No. 1 Road on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum required lot width on major arterial roads from 50.0 m to 40.2 m.

Wayne Craig
Director, Development
(604-247-4625)

WC:ak
Att. 3

Staff Report

Origin

0853803 BC Ltd. (Director: Simerjit and Gurjit Malhi) and 1121648 BC Ltd. (Director: Ajit Thaliwal) has applied to the City of Richmond for permission to develop eight townhouse units at 6571 and 6591 No. 1 Road on a site zoned “Low Density Townhouses (RTL4)”. The site currently contains one single-family dwelling (on 6591 No 1 Road).

The site is being rezoned from “Single Detached (RS1/F)” to “Low Density Townhouses (RTL4)” for this project under Bylaw 10288 (RZ 16-731275).

A Servicing Agreement is required as a condition of rezoning and includes, but is not limited to, the following improvements:

- Permanent closure of the existing southerly driveway (at 6591 No. 1 Road); and
- Installation of new water, storm and sanitary service connections.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north: A single detached dwelling on property designated for arterial road townhouse development in the Official Community Plan (OCP) and zoned “Single Detached (RS1/F)”.
- To the east: Across from No. 1 Road, single detached dwellings, designated for single detached development in the OCP and zoned “Single Detached (RS2/C)”.
- To the south: A three-storey townhouse complex zoned “Town Housing (ZT27) – Robson Drive/Court (Terra Nova)”.
- To the west: A three-storey townhouse complex zoned “Town Housing (ZT27) – Robson Drive/Court (Terra Nova)”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Compliance with Development Permit Guidelines for the form and character of multiple-family projects provided in the OCP.
- Refinement of landscape design, fencing and interface with abutting lots.
- Review of retaining wall heights and requirements for guardrails.
- Further assessment of the potential relocation of the front yard hedge.
- Refinement of the outdoor amenity area design, including the choice of play equipment.

- Review of relevant accessibility features for the proposed convertible unit and aging-in-place design features in all units.
- Review of a sustainability strategy for the development proposal and ensuring that the development meets or exceeds the City's required Energy Step Code for Part 9 construction applicable at time of construction.

The Public Hearing for the rezoning of this site was held on March 21, 2022. No public correspondence was received at the Public Hearing.

Staff worked with the applicant to address the above issues in the following ways:

- Detailed architectural and landscape plans have been provided to demonstrate that the proposed development is generally consistent with the Development Permit guidelines for multi-family projects and Arterial Road Guidelines for Townhouses in the OCP.
- Detailed landscape plans have been submitted and provides a mix of coniferous and deciduous replacement trees, which meet the bylaw size requirements.
- The applicant has refined the design of the retaining wall and has provided handrails for the proposed steps by the southwest corner of the site as per BC Building Code requirements.
- The hedge on-site is proposed to be relocated to the rear of the site and integrated as part of the landscaping.
- The design of the outdoor amenity area for this townhouse development includes a children's play structure and a bench for parental interaction and to promote social interaction surrounded by landscaping.
- The proposed accessibility features include aging-in-place features in all units and one convertible unit.
- The applicant has provided a sustainability strategy and a letter from a Certified Energy Advisor indicating that the project will achieve Step 3 of the BC Energy Step Code with Low Carbon Emission Systems, consistent with current City regulations.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application (Plans #1 to #20). In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Low Density Townhouses (RTL4)" zone, except for the zoning variance noted below.

Zoning Compliance/Variance (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum lot width from 50.0 m to 40.2 m.

Staff supports the proposed variance as the proposal is generally consistent with the guiding principles of the Arterial Road Land Use Policy and guidelines. The need for this variance was identified in the rezoning staff report and no concerns were raised during the Public Hearing at rezoning stage. The applicant was unable to acquire the adjacent site to the north to increase the lot width as the owner advised they were not interested in selling.

A development concept plan for the adjacent site to confirm its development potential has been provided on file. In addition, the applicant has been able to demonstrate compliance with all remaining zoning bylaw and design guidelines on the smaller sized site.

Analysis

Conditions of Adjacency

- The proposed townhouses have been designed with consideration of the existing surrounding context. All of the units are three-storeys which interface with adjacent townhouse developments. The outdoor amenity space and a visitor parking spot are located to the south. The local drive aisle is located along the north, providing a larger setback of 7.61 m on the north side adjacent to the existing single-family house.
- A Statutory Right-of-Way (SRW) allowing vehicle access to the subject site as well as to and from the adjacent future development site to the north at 6551 No. 1 Road has been secured at rezoning. Signage indicating that the driveway on the subject site will be connected to and serve the adjacent site to the north when it redevelops will be installed at the north end of the site adjacent the drive aisle.
- Due to the existing sanitary sewer line along the west side of the rear property line, there is a retaining wall on the adjacent townhouse site to the west at 6888 Robson Court. This retaining wall results in a tiered yard with its lower portion abutting the shared lot line. As the majority of this sanitary sewer line will be removed as part of the site development, the applicant proposes to raise the grade of this depressed area to approximately 2.22 m, matching the adjacent grade at the west property line (Plan #15). A new retaining wall at the north and south ends of the proposed off site backfill area will be provided by the applicant. A letter from Strata LMS3191 (governing 3711 Robson Court and 3888 Robson Drive) approving installation of the fencing along the shared property line has been provided (Attachment 2).
- No retaining walls are being proposed on site along the north property line of the development site. There is an existing retaining wall on site along the south property line to be retained.

Urban Design and Site Planning

- The proposed development general complies with the Terra Nova Sub-Area Plan Development Permit Guidelines.
- The proposed development consists of eight townhouse dwellings in one four-unit cluster to the west and two two-unit clusters to the east, arranged on either side of a central north-south drive aisle.
- Vehicular access to the proposed development is to be from No. 1 Road through a new driveway, with future connection enabled to the neighbouring property to the north (6551 No. 1 Road), which was secured by an SRW at the time of rezoning.
- Four units in the front building along No. 1 Road are proposed to have direct pedestrian access from the street through landscaped front yards. The four units at the rear of the property have pedestrian access from the drive aisle.
- All units are three-storeys, with living space primarily located on the second and third storeys, and with private outdoor space at grade in the form of a landscape front or rear yard.

For the four units fronting No. 1 Road, balconies facing the interior drive aisle are provided in addition to the front yards facing No. 1 Road. The four units at the rear of the site also have balconies facing the drive aisle in addition to rear yards.

- All townhouse units are proposed to have two enclosed vehicle parking spaces in a side-by-side arrangement. Level 2 EV charging is accommodated in each garage in accordance with City requirements. Class 1 bicycle parking spaces are accommodated in the garages.
- Two visitor parking spaces are provided. One is located at the southwest end of the drive aisle and one is located at the northwest corner of the site. Visitor bicycle parking is provided between Buildings B and C.
- The common outdoor amenity area is proposed at the southeast corner of the site, benefiting from sun exposure and includes a play structure for young children and bench seating.
- Cash-in-lieu of indoor amenity space was secured through rezoning (\$14,440.00) consistent with OCP policy.
- The garbage and recycling room is located at the site entrance and is to be shared with the future development to the north at 6551 No. 1 Road as secured at rezoning.

Architectural Form and Character

- The proposed development presents a traditional architectural approach with the use of brick and a neutral colour scheme. The apparent mass of the buildings is reduced through the use of projections, recesses, materials, colours and windows.
- Pitch roofs are proposed with varied gables to provide for a residential home character consistent with the surrounding developments.
- Individuality of each unit is expressed through private landscape yards with gates, covered entry porches for the street-fronting units and material and colour changes.
- The proposed main building materials include Hardie panel in grey taupe and white, facing brick to provide a distinct first-storey and shingle roofing.
- The proposed colour palette consists of a combination of grey taupe and black with white colour for accent walls, alternating dark grey and dark brown front door and facing brick to add warmth and visual interest.

Landscape Design and Open Space Design

- On-site tree removal was assessed as part of the rezoning application, at which point it was determined that two trees, one tree on-site and one tree on neighbouring property to the west, both in poor condition, are to be removed (with a letter of permission).
- Two trees on City property and 11 neighbouring trees are to be retained and protected as indicated on Plan #20, consistent with the rezoning staff report.
- At rezoning, the applicant indicated a willingness to relocate the on-site hedge located along a portion of the east property line. The cedar hedge proposed is to be relocated to the rear yard along the west property line as indicated on Plan #18.
- Consistent with the 2:1 tree replacement ratio in the OCP, four replacement trees are proposed on the Landscape Plans in addition to five new trees. A mix of deciduous and coniferous trees are proposed in addition to a variety of shrubs, grass, perennials and ground cover.
- The Landscape Plan notes that high-efficiency automatic irrigation, as per industry standards, will be provided to all soft landscape areas.

- The shared outdoor space is located at the southeast corner of the site, ideal for solar exposure. The space contains children's play structure and bench seating. Bollards are proposed to separate the outdoor amenity space from the drive aisle to help ensure pedestrian safety.
- To define the street edge along No. 1 Rd, a 1.1 m (3.5 ft.) high fencing with gates for pedestrian entry is proposed. A 0.41 m wide SRW for Public Right of Passage (PROP) along the east property line has been secured as part of the rezoning for future upgrades to the City boulevard.
- With authorization from the Strata LMS3191 (governing 3711 Robson Court and 3888 Robson Drive), new retaining walls at the north and south ends of the proposed backfill area (off-site) will be provided by the applicant. No retaining walls are being proposed on site along the north property line. There is an existing retaining wall along the south property line to be retained.
- A landscape security in the amount of \$94,956.09 is required in order to ensure that the proposed landscaping works are completed.

Crime Prevention Through Environmental Design

- A 1.8 m (6 ft.) wood fence is proposed along the side and rear property lines for privacy and security. The fence along the front property line will be 1.1 m (3.5 ft.) tall to provide clear sightlines from the units to the sidewalk while maintaining separation of the public and private realms.
- Pedestrian site access is controlled by gates at each of the walkways to the unit entries.
- The mailbox kiosk is located near the site entrance by the southeast unit (Unit 1) and is covered, but not enclosed. Landscaping around the mailbox provides separation between the mail area and the entrance of the townhouse unit.
- Building-mounted lighting is proposed beside each garage door and unit entrance. Building-mounted lighting is also provided along the common areas including visitor parking, bicycle racks, mail kiosk and outdoor amenity space. The proposed lighting is designed to be low glare and limit any light spillover onto adjacent properties.

Sustainability

- The applicant has submitted written confirmation from their Certified Energy Advisor indicating that the project will achieve Step 3 of the BC Energy Step Code with Low Carbon Emission Systems, consistent with current City regulations. The air source heat pumps are proposed to be located in the rear and side yards. Prior to Building Permit issuance, the applicant is required to provide a report from an Acoustical Engineer confirming that the heat pumps will comply with the City's Noise Regulation Bylaw.
- Level 2 EV Charging will be provided in each garage as per Richmond Zoning Bylaw 8500.
- High-efficiency automatic irrigation system will be provided for all soft-landscaped areas of the development.

Accessible Housing

- The proposed development includes one convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair (Unit 1). The potential conversion of this unit will require the installation of an elevator.

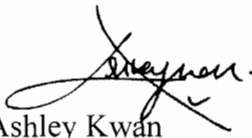
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Site Servicing

- The applicant has entered into a Servicing Agreement (SA 22-025267) for the design and construction of the required site servicing and frontage works including:
 - Installation of a new water, sanitary and storm service connections;
 - Removal of approximately 37 m of the existing sanitary main , existing manhole SMH7218, service connection, and related inspection chamber located to the west of the subject site;
 - Permanent closure of the existing south driveway and letdown at 6591 No. 1 Road and reinstate the barrier curb/gutter, boulevard and concrete sidewalk; and
 - Design and construct the north driveway letdown at 6571 No 1 Road, which is to be shared with the adjacent property at 6551 No. 1 Road.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.


Ashley Kwan
Planner 1
(604-276-4713)

AK:js

- Att. 1. Development Application Data Sheet
 2. Letter from Neighbouring Strata LMS3191 on 6888 Robson Drive
 3. Development Permit Considerations



DP 22-021165

Attachment 1

Address: 6571 & 6591 No 1 Road

Applicant: 0853803 BC Ltd. and 1121648 BC Ltd. Owner: 0853803 BC Ltd. and 1121648 BC Ltd.

Planning Area(s): Thompson (Terra Nova Sub-Area)

Floor Area Gross: 1,402.10 m² (15,092 ft²) Floor Area Net: 970.84 m² (10,450 ft²)

	Existing	Proposed
Site Area:	1,618 m ²	1,618 m ²
Land Uses:	Single Detached	Townhouses
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/F)	Low Density Townhouses (RTL4)
Number of Units:	1	8

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.6	0.6	none permitted
Lot Coverage:	Building: Max. 40% Non-porous surfaces: 65% Live plant material: 25%	Building: 31.7% Non-porous surfaces: 63.5% Live plant material: 25.0%	None
Setback – Front Yard:	Min. 6.0 m	6.11 m	None
Setback – Side Yard (North):	Min. 3.0 m	7.61 m	None
Setback – Side Yard (South):	Min. 3.0 m	3.84 m	None
Setback – Rear Yard:	Min. 3.0 m	4.36 m	None
Height (m):	Max. 12.0 m, 3 storeys	11.3 m	None
Lot Size:	Width: Min. 50.0 m Depth: Min. 35.0 m	Width: 40.2 Depth: 40.2	Variance required to Lot Width
Off-street Parking Spaces – Regular (R) / Visitor (V)	2 (R) and 0.2 (V) per unit	16 (R) and 2 (V)	None
Off-Street Parking Spaces – Total:	18	18	None
Bicycle Parking Spaces:	Class 1: 1.25 per unit Class 2: 0.2 per unit	Class: 16 Class 2: 2	None
Amenity Space – Indoor:	Min. 70 m ² or Cash in-lieu	Cash in-lieu	None
Amenity Space – Outdoor:	Min. 6 m ² per unit (48 m ²)	59.3 m ²	None

Date: 16 June 2020

Attn: **Strata LMS3191**

6888 Robson Dr, Richmond

6571 No 1 Road – Restating the Fence to Legal Property Lines

We confirm that **1121648 BC LTD & 0853803 BC LTD** are the Developers & Legal Owners of 6571 & 6591 No 1 Road, Richmond

Scope of Work: **To Reinstate the legal property lines.**

As per the illustrated drawings provided to the strata the developer agrees to reinstate the property line to its original line.

New wood fence panels and posts will be installed to move the fence to its legal boundary approx. 10ft. All new wood panels will look the same or similar to the existing fence panels.

The lands will be back filled to the existing grade of the townhomes at Robson Drive, new turf/sod materials will be applied to the 10 feet to match the existing rears yards of the owner's townhomes.

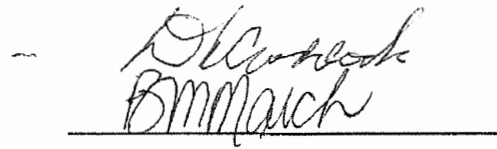
Any owners with artificial turf, the developer agrees to match the existing turf shade if it is not possible, the developer will replace the whole turf with new artificial turf.

Best Regards,



1121648 BC LTD

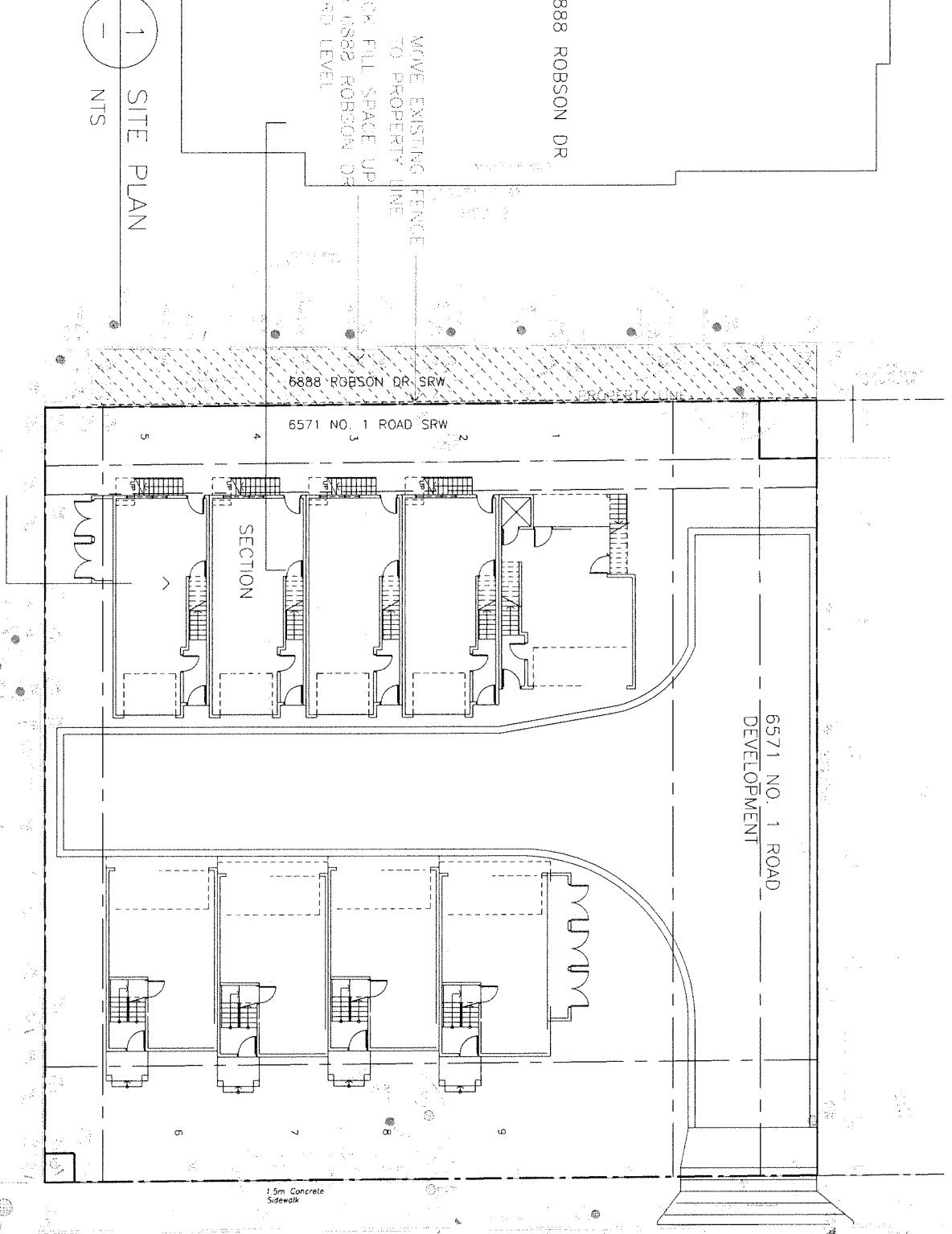
0853803 BC LTD



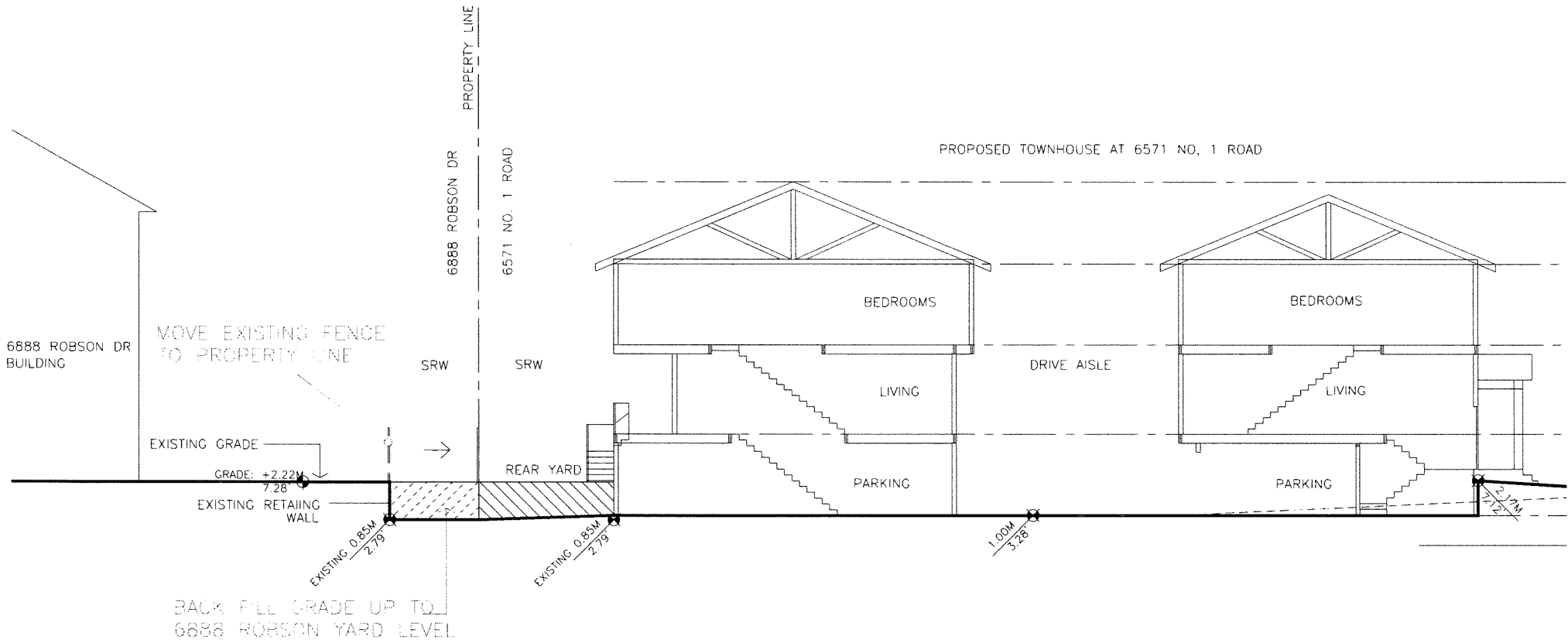
Strata Council Representative

Strata LMS3191

1 SITE PLAN
NTS



6/8/2



2 SECTION
 — NTS

6/8/2020



Address: 6571/6591 No. 1 Road

File No.: DP 22-021165

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Submission of a Landscape Security in the amount of \$94,956.09 (based on the costs estimate provided by a CSLA registered Landscape Architect including 10% contingency). A legal agreement is required to accompany the Landscape Security to set the terms for its use and release.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and Development Permit processes.
2. Provide a report from a Registered Professional confirming that the heat pumps will comply with the City's Noise Regulation Bylaw.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.
4. Submission of a Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage building designs.
5. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



No. DP 22-021165

To the Holder: 0853803 BC Ltd. and 1121648 BC Ltd.
Property Address: 6571 & 6591 No 1 Road
Address: C/O: Eric Law
216-288 W 8th Avenue,
Vancouver, BC, V5Y 1N5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the minimum lot width on major arterial roads from 50.0 m to 40.2 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #20 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$94,956.09 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 22-021165

To the Holder: 0853803 BC Ltd. and 1121648 BC Ltd.

Property Address: 6571 & 6591 No 1 Road

Address: C/O: C/O: Eric Law
216-288 W 8th Avenue,
Vancouver, BC, V5Y 1N5

- 8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.
- 9. This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

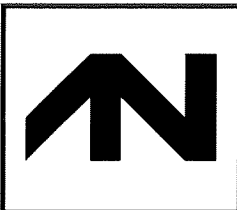
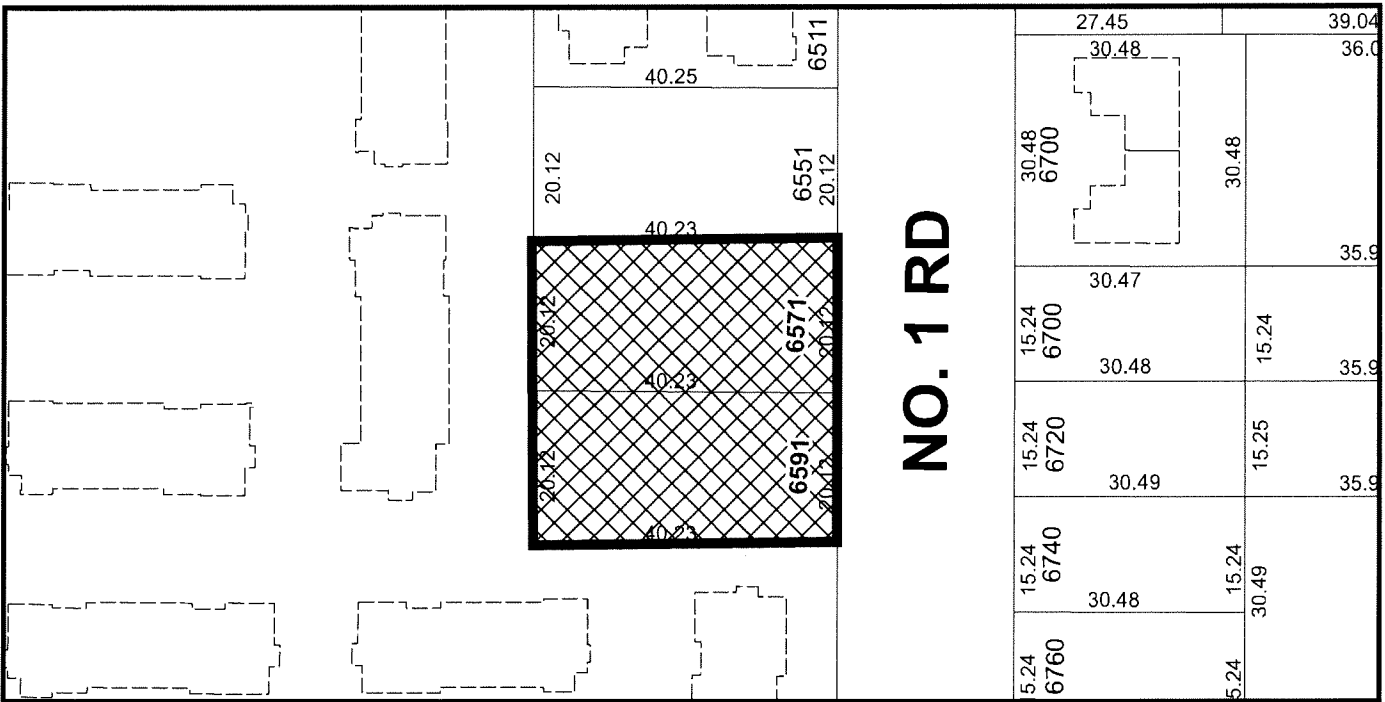
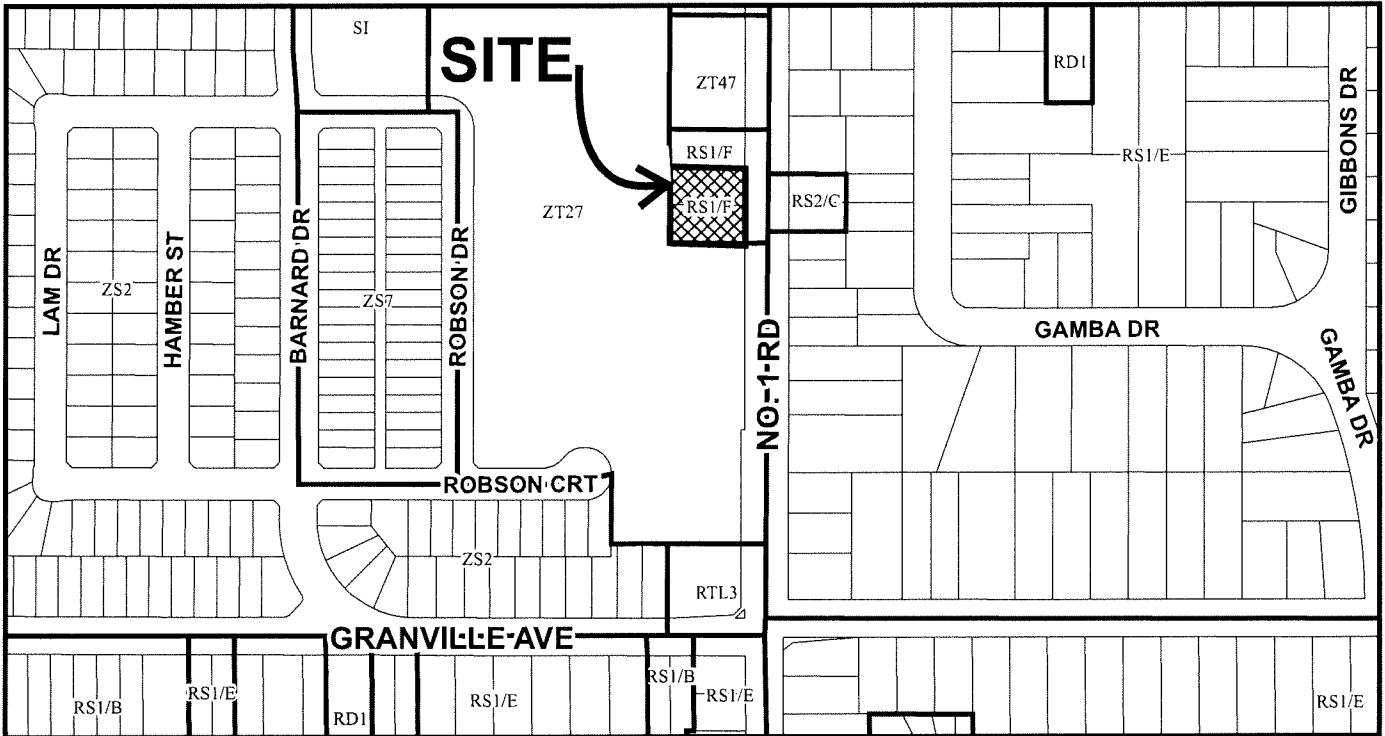
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 22-021165
SCHEDULE "A"

Original Date: 09/27/22

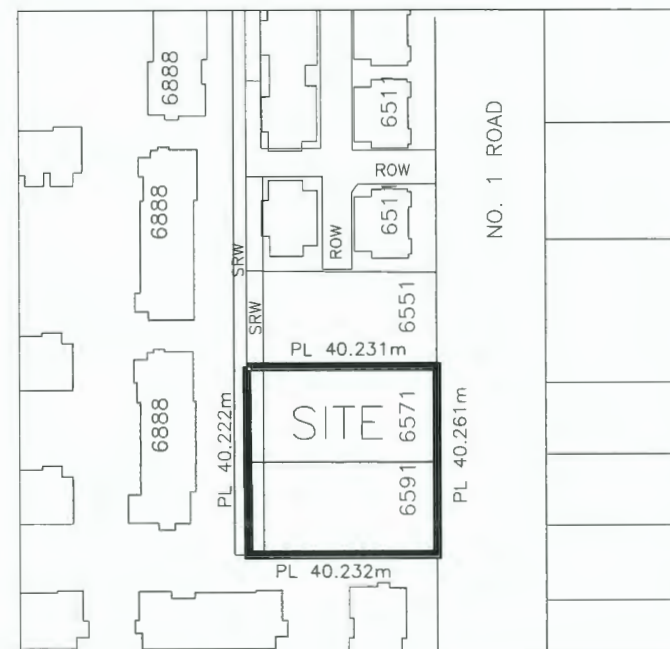
Revision Date: 04/03/23

Note: Dimensions are in METRES

PROPOSED TOWNHOUSE DEVELOPMENT AT 6571-6591 NO. 1 ROAD, RICHMOND, BC

DEVELOPMENT DATA

(A) CIVIC ADDRESS:	6571 & 6591 NO 1 ROAD, RICHMOND, BC		
(B) LEGAL DESCRIPTION:	LOT 15 & 16, SECTION 10, BLOCK 4 NORTH, RANGE 7 WEST, NWD PLAN 33370		
(C) LOT AREA:	1,618 SM (17,416 SF),		
(D) ZONING USE	CURRENT: RS1/F,	PROPOSED: RTL4	
	CURRENT ZONING (UNDER RS1/F ZONING)	PROPOSED REZONING (RTL4)	PROPOSED DEVELOPMENT
(E) FLOOR AREA RATIO	0.55 TO 454.5 SM 0.3 TO REST OF SITE AREA	0.60 TOTAL FAR FLOOR AREA 0.60 X1618 SM = 970.8 SM (10,450 SF)	0.60 970.8 SM (10,450 SF) FAR FLOOR AREA
(F) LOT SIZE		MINIMUM 50M WIDE	40.22M (VARIANCE REQUIRED)
(G) NUMBER OF UNIT:	1 PER LOT	8 UNITS	8 UNITS
(H) BUILDING COVERAGE:	MAX - 45%	MAX - 40% (6966 SF)	31.6% (512SM 5514 SQ. FT.) 25.0% FOR LIVE PLANT MATERIALS (SEE LANDSCAPE) 36.5% FOR LIVE PLANT AND PERMEABLE SURFACES (SEE LANDSCAPE)
(I) BUILDING HEIGHT:	MAX HEIGHT - 9M	MAX MAIN BUILDING HEIGHT - 12M	BUILDING HEIGHT - 10.43M
(J) SETBACK:	FRONT YARD - 6M SIDE YARD - 2M REAR YARD - 6M	FRONT YARD FACING NO. 1 - 6M SIDE YARD - 3M REAR YARD - 3M	FRONT YARD FACING NO.1 RD - 6.11M (20'0") NORTH SIDE YARD - 7.61M (24'11") SOUTH SIDE YARD - 3.84M (12'7") WEST REAR YARD - 4.36M (14'4")
(K) PARKING:	2 PER DWELLING UNIT	2 PER DWELLING UNITS X8 = 16 0.2 VISITOR PARKING / UNIT X8 = 2 TOTAL = 18 REQUIRE	RESIDENTIAL PARKING: 16 REGULAR VISITOR PARKING: 2 REGULAR (ALL PARKING EXCEPT VISITOR SPACE SHALL HAVE LEVEL 2 EV CHARGING OUTLETS)
(L) BICYCLE		1.25 PER DWELLING UNIT X8=10 0.2 PER DWELLING UNIT X8= 2 VISITOR	BICYCLE 16 VISITOR BIKE RACK 2
(M) OPEN SPACE		OPEN AMENITY SPACE= 6 SM PER UNIT X8= 48 SM (516 SF)	OUTDOOR AMENITY PROVIDED: 59.35M (639 SQ. FT.)



ONE CONVERTIBLE UNIT (UNIT #1) IS PROVIDED IN THIS DEVELOPMENT

ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE UNITS

(1) PROJECT SHALL MEET BCBC STEP CODE 3 WITH LOW CARBON BUILDING ENERGY SYSTEM (LCES)

(2) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS:

(a) STAIRWELL HANDRAILS

(b) LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES

(c) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS AND SHOWERS

REFER TO BKL ACOUSTIC REPORT DATED JULY 7, 2023 FOR THIS PROJECT. CONSTRUCTION TO FOLLOW ACOUSTIC REPORT RECOMMENDATION



Plan #1
DP 22-021165
December 18, 2023



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ISSUED
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2 2023.04.28 FOR CITY DP REVIEW
3 2023.08.08 FOR CITY DP REVIEW
4 2023.10.03 FOR CITY DP REVIEW
5 2023.11.23 FOR CITY DP REVIEW
6 2023.12.14 FOR CITY DP REVIEW

REVISION
5 2023.12.14 REVISED PER CITY EMAIL COMMENTS
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2 2023.08.08 REVISED PER CITY COMMENTS
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PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC

DEVELOPMENT SUMMARY

PROJECT NUMBER: 16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16-04_SNO_231214-DP.DWG

A1

DP 22-021165

DEVELOPMENT PERMIT

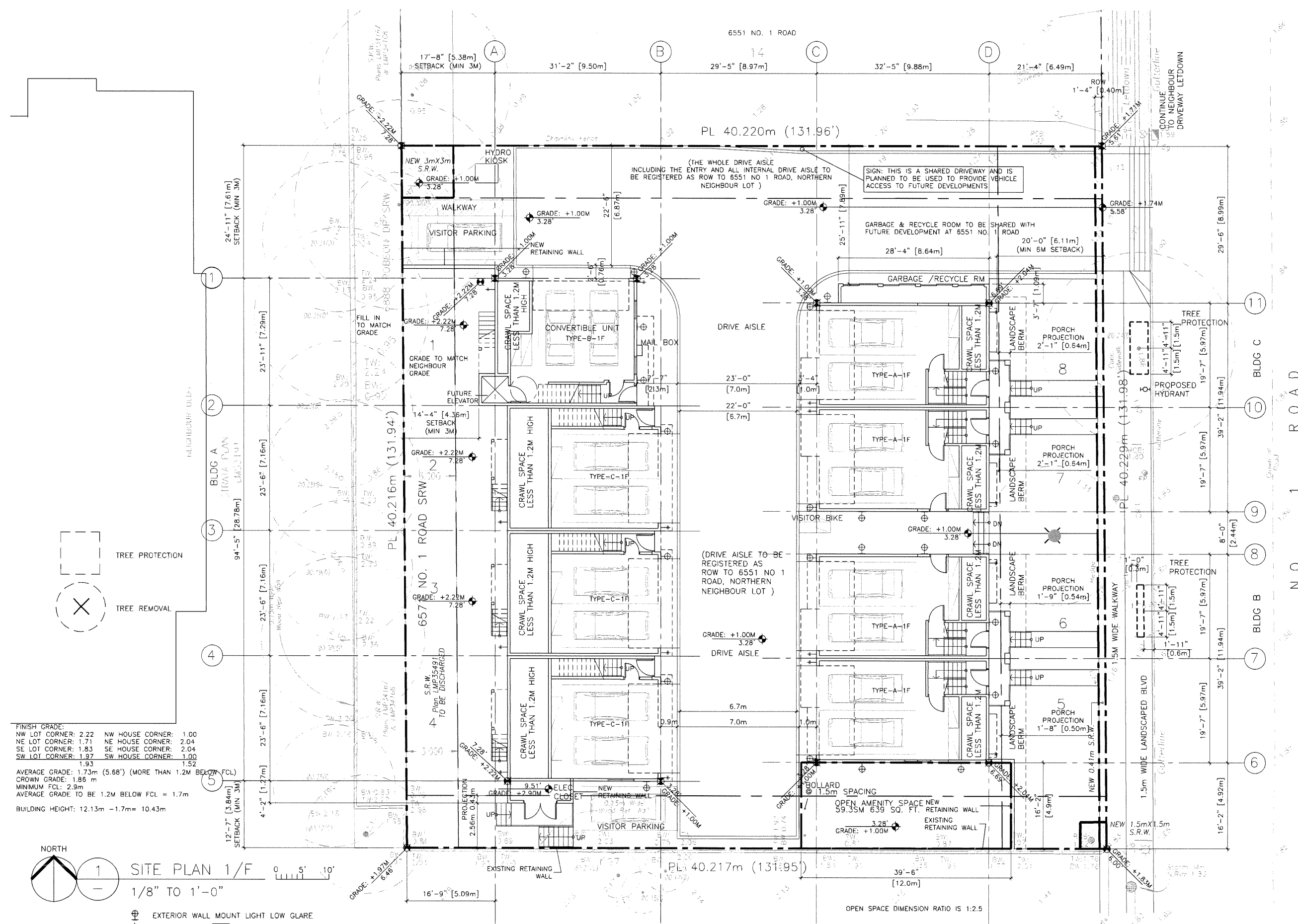
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**PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC**

SITE PLAN (1F)

PROJECT NUMBER: 16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16-04_SNO_231214-DP.DWG



FINISH GRADE:
NW LOT CORNER: 2.22 NW HOUSE CORNER: 1.00
NE LOT CORNER: 1.71 NE HOUSE CORNER: 2.04
SE LOT CORNER: 1.83 SE HOUSE CORNER: 2.04
SW LOT CORNER: 1.97 SW HOUSE CORNER: 1.00
1.93
1.52
AVERAGE GRADE: 1.73m (5.68') (MORE THAN 1.2M BELOW FCL)
CROWN GRADE: 1.86 m
MINIMUM FCL: 2.9m
AVERAGE GRADE TO BE 1.2M BELOW FCL = 1.7m
BUILDING HEIGHT: 12.13m - 1.7m = 10.43m

1 NORTH
1 SITE PLAN 1/F
1/8" TO 1'-0"
 ⊕ EXTERIOR WALL MOUNT LIGHT LOW GLARE
 † HOSE BIB
 [Symbol] HEAT PUMP

**Plan #2
DP 22-021165
December 18, 2023**

DP 22-021165

DEVELOPMENT PERMIT

A2

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**PROPOSED TOWNHOUSE
 6571-6591 NO, 1 ROAD
 RICHMOND BC**

PARKING PLAN

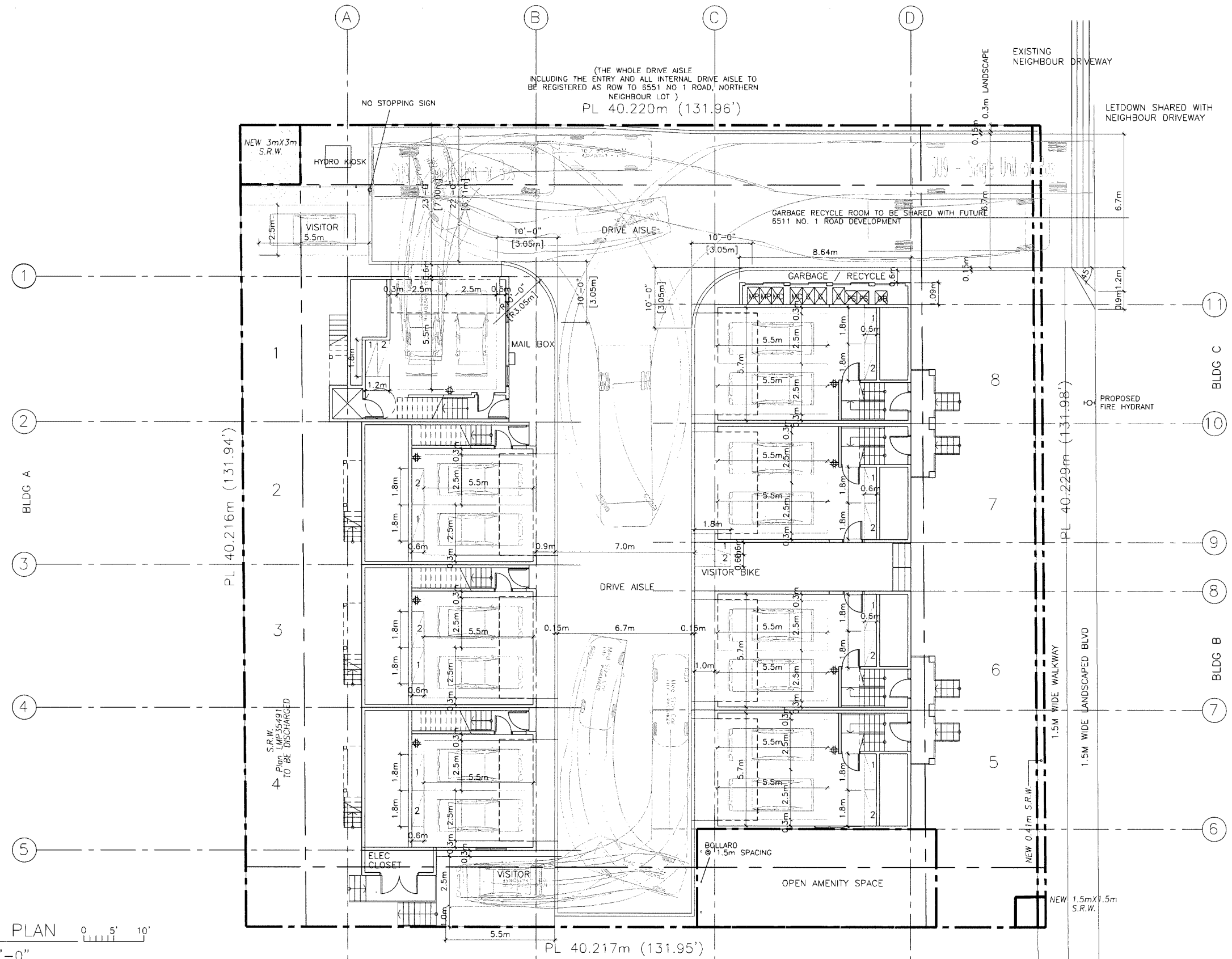
PROJECT NUMBER: 16-03
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 CHECKED BY: EL
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A2A

DEVELOPMENT PERMIT

6551 NO. 1 ROAD

(THE WHOLE DRIVE AISLE INCLUDING THE ENTRY AND ALL INTERNAL DRIVE AISLE TO BE REGISTERED AS ROW TO 6551 NO 1 ROAD, NORTHERN NEIGHBOUR LOT)
 PL 40.220m (131.96')



- GARBAGE NOTES**
- G= GARBAGE
 - FS= FOOD SCARPS
 - GB= GLASS JARS & BOTTLES
 - MC= MIXED CONTAINER
 - MP= MIXED PAPER



ALL RESIDENTIAL PARKING (EXCLUDING VISITOR) SHALL HAVE LEVEL 2 EV CHARGING OUTLETS Level 2 EV charging (208V TO 240V AC AND CURRENT OF 16A TO 80A)

EV CHARGER

**Plan #3
 DP 22-021165
 December 18, 2023**

DP 22-021165

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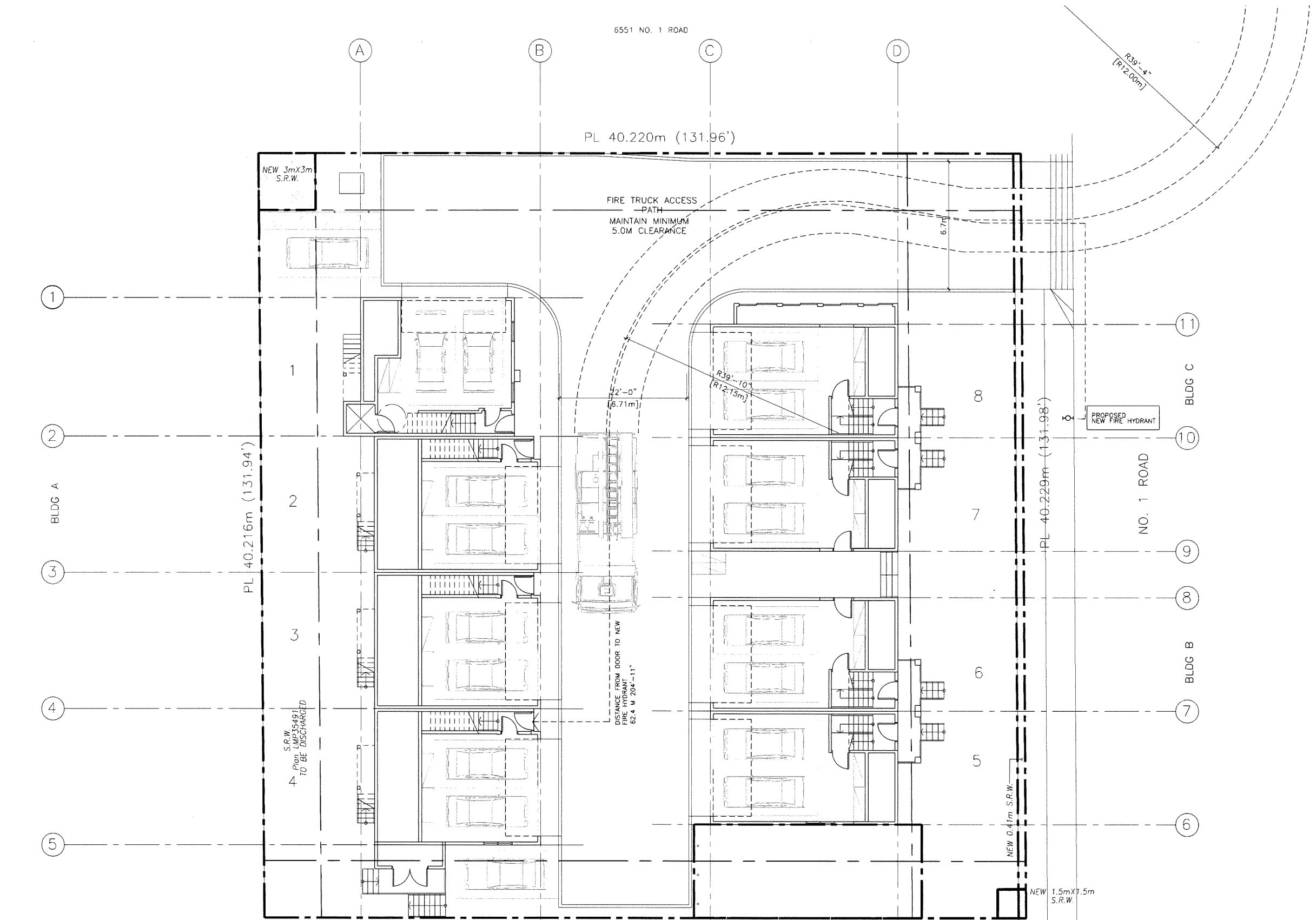
**PROPOSED TOWNHOUSE
 6571-6591 NO. 1 ROAD
 RICHMOND BC**

FIRE ACCESS PLAN

PROJECT NUMBER: 16-03
 ISSUED: 12/14/2023
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 16-04_SNO_231214-DP.DWG

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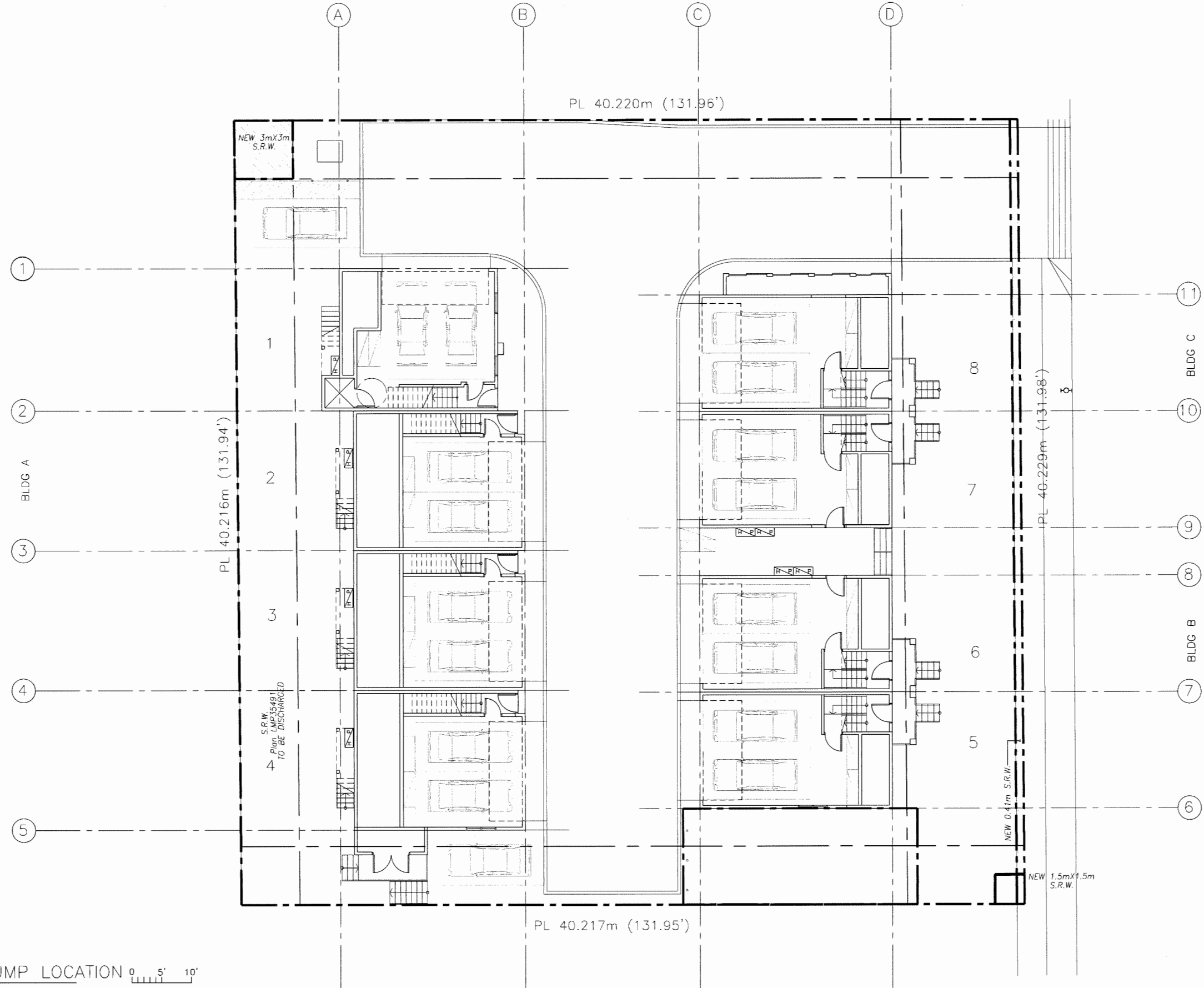
DEVELOPMENT PERMIT



**Plan #4
 DP 22-021165
 December 18, 2023**

DP 22-021165

6551 NO. 1 ROAD



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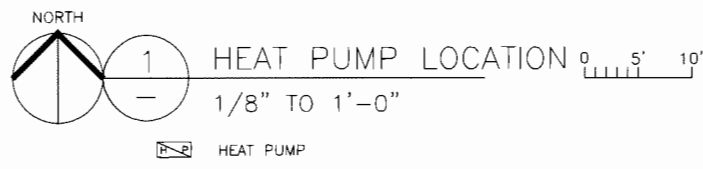
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**PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC**

HEAT PUMP LOCATION

PROJECT NUMBER: 16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16-04_SMO_231214-DP.DWG

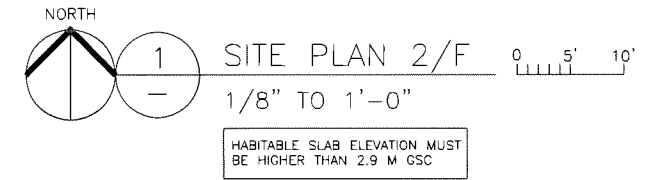
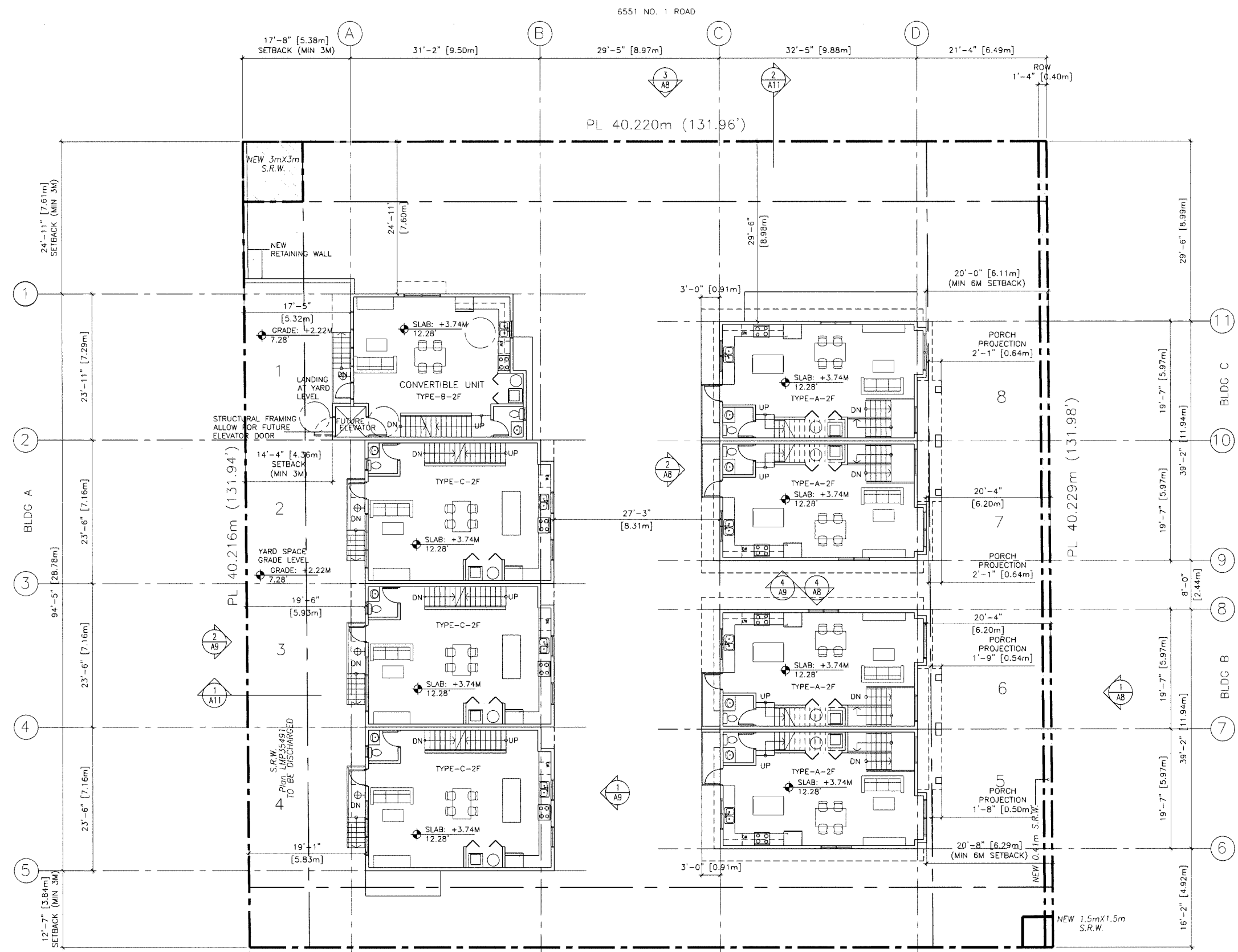


**Plan #5
DP 22-021165
December 18, 2023**

DP 22-021165

A2C

DEVELOPMENT PERMIT



HABITABLE SLAB ELEVATION MUST BE HIGHER THAN 2.9 M G.S.C.

Plan #6
DP 22-021165
December 18, 2023

DP 22-021165

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1	2023.04.28	REVISED PER CITY EMAIL COMMENTS
		REVISION

PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC

SITE PLAN (2F)

PROJECT NUMBER: 16-03
 ISSUED: 12/14/2023
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 16-04_SNO_231214-DP.DWG

A3

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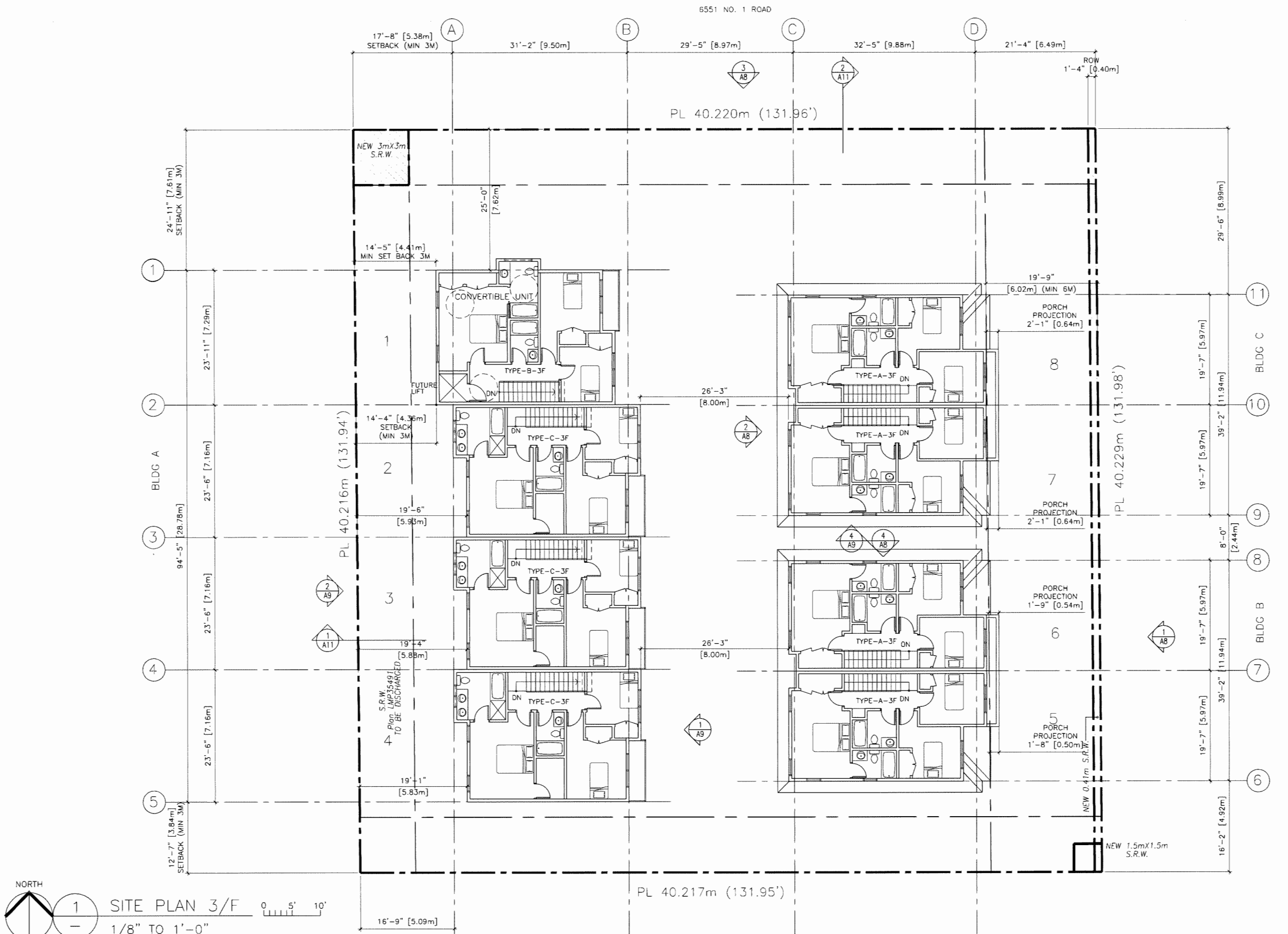
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REVISION

PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC

SITE PLAN (3F)

PROJECT NUMBER: 16-03
 ISSUED: 12/14/2023
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 16-04_SNO_231214-DP.DWG



Plan #7

DP 22-021165

December 18, 2023

DP 22-021165

A4

DEVELOPMENT PERMIT

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REVISION

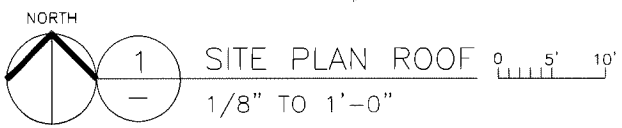
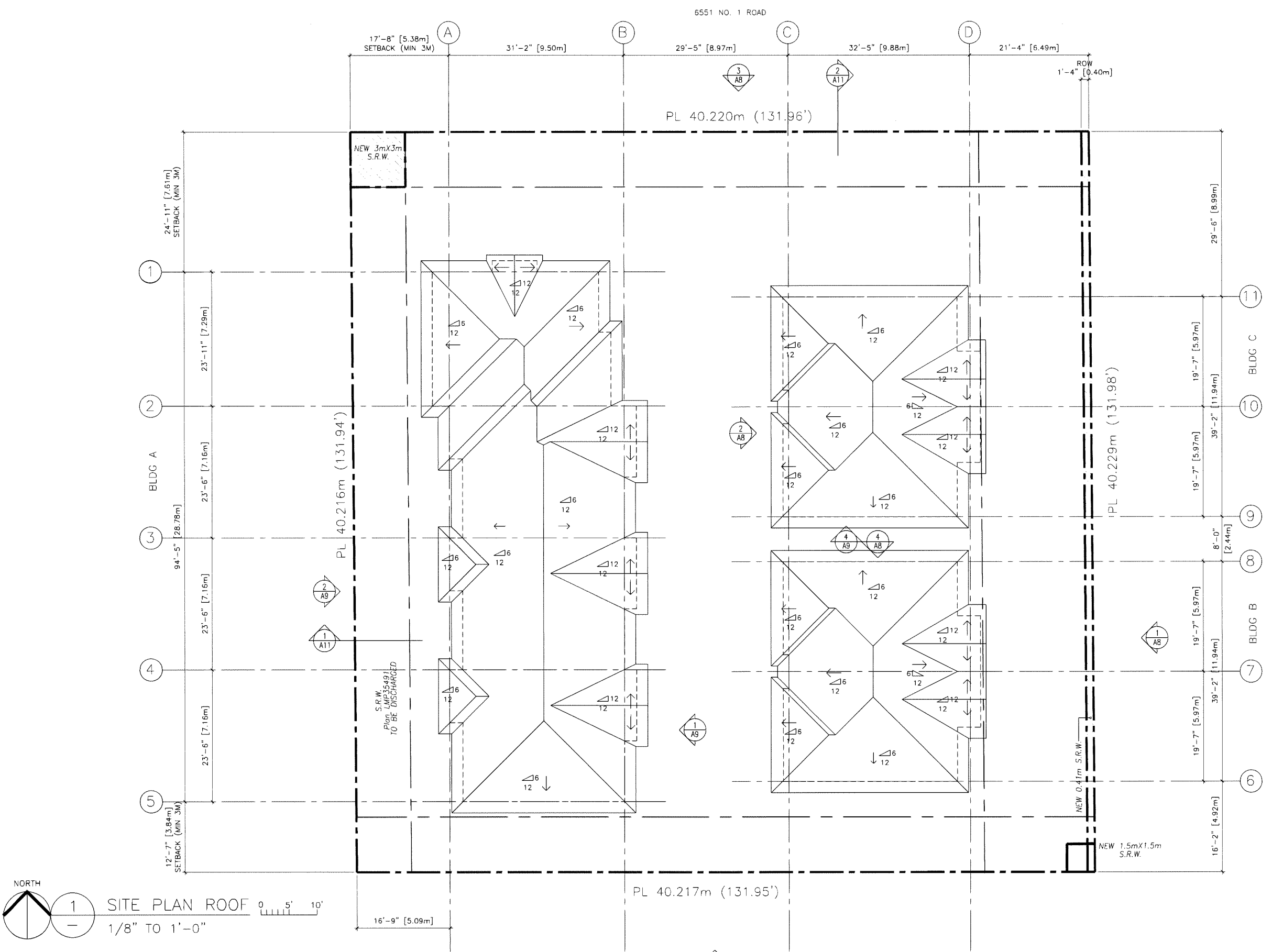
PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC

SITE PLAN (ROOF)

PROJECT NUMBER: 16-03
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 CHECKED BY: EL
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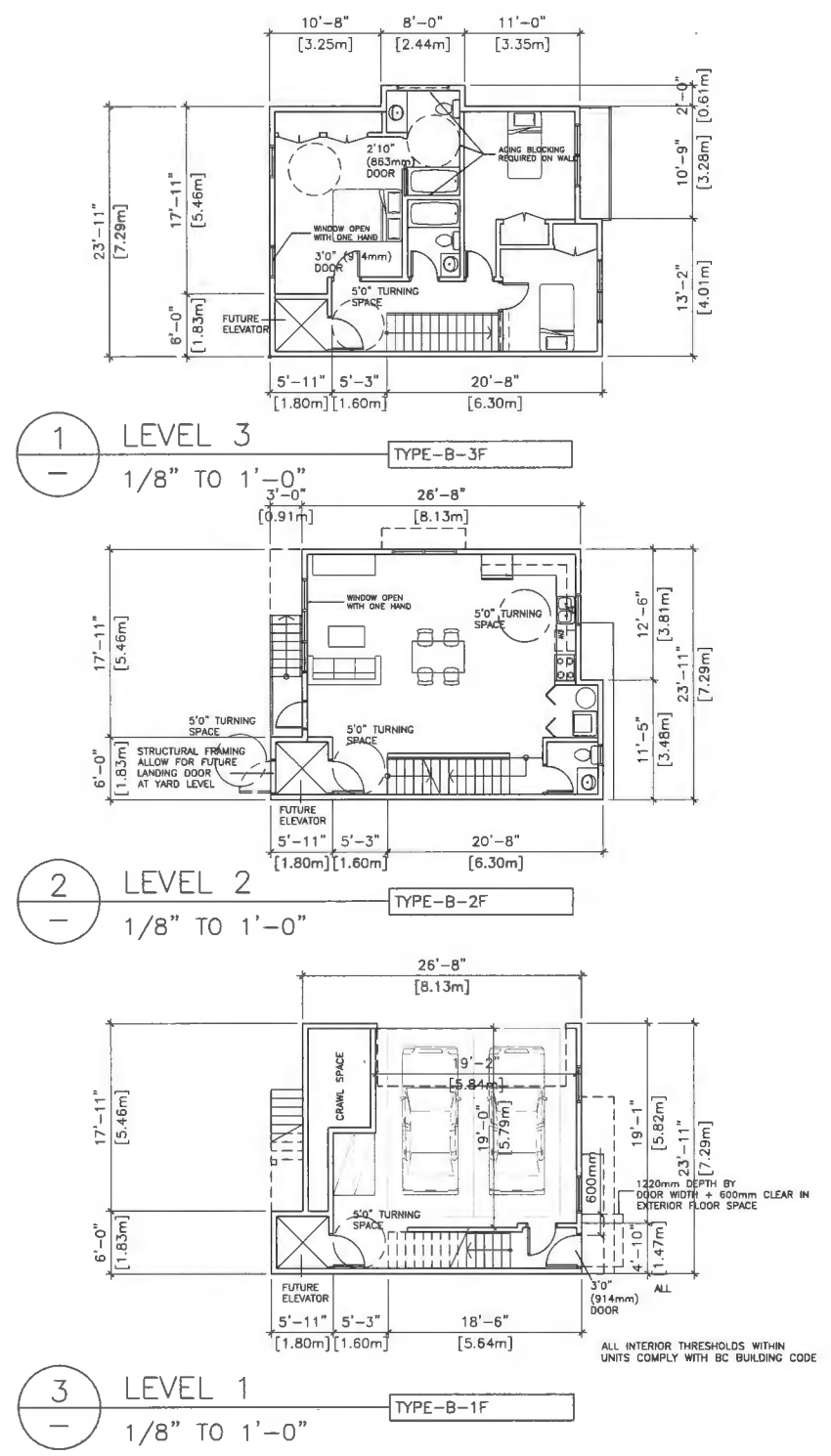
DEVELOPMENT PERMIT



Plan #
DP 22-021165
December 18, 2023

DP 22-021165

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TYPE B UNIT PLAN (CONVERTIBLE)
3 BEDROOM

ALL THE UNITS IN THIS PROJECT SHALL INCORPORATE THE FOLLOWING FEATURES IN THE UNITS

- (1) AGING IN PLACE FEATURES SHALL BE PROVIDED TO ALL UNITS:
 - (a) STAIRWELL HANDRAILS
 - (b) LEVER TYPE HANDLES FOR PLUMBING FIXTURE AND DOOR HANDLES
 - (c) SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE FUTURE GRAB BAR INSTALLATION BESIDE TOILETS, BATHTUBS AND SHOWERS

CONVERTIBLE UNIT GUIDELINES	
DOORS & DOORWAYS	<ul style="list-style-type: none"> - ENTRY DOORS ARE A MINIMUM 863 MM BUT IDEALLY 914 MM AND HAVE CLEAR ACCESS. - ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN. 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM ON LATCH SIDE (NOT NEEDED IF ROUGH IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER). - INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX. 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN THE HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAY(S) IF NECESSARY TO SECURE ACCESS. - PATIO/BALCONY MIN. 860 MM CLEAR OPENING. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BC BUILDING CODE. - LEVER-TYPE HANDLES FOR ALL DOORS.
VERTICAL CIRCULATION	<ul style="list-style-type: none"> - STAIR LIFT, STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. OR - VERTICAL LIFT, DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPECIFICATIONS. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE. - AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2" X 12" SOLID LUMBER AT 914 MM TO CENTRE.
HALLWAYS	- MIN. 900 MM WIDTH.
GARAGE	<ul style="list-style-type: none"> - MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4 M GARAGE WIDTH. - ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING.
BATHROOM (MIN. 1)	<ul style="list-style-type: none"> - TOILET CLEAR FLOOR SPACE MIN. 1020 MM IN FRONT. - WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION AT TOILET, TUB AND SHOWER. REINFORCED WITH 2" X 12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS. - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. - PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS. - CABINETS UNDERNEATH SINK(S) ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
KITCHEN	<ul style="list-style-type: none"> - CLEAR AREA FOR UNDER COUNTER FUTURE WORK SPACE TO BE ALLOWED. - PLUMBING AND GAS PIPES (IN-WALL AND IN-FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORK SPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 355 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL. - CABINETS UNDERNEATH SINK TO BE EASILY REMOVED. - 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM. - LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
WINDOWS	- MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
OUTLETS & SWITCHES	<ul style="list-style-type: none"> - PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. - UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.

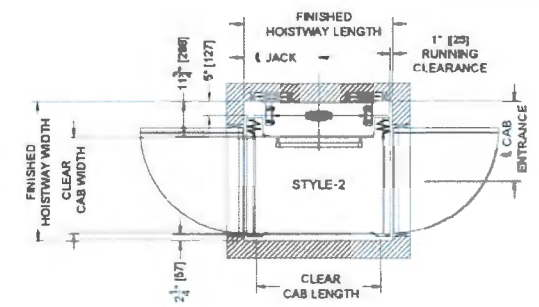
FUTURE ELEVATOR

Dimensions

Standard Door Package - swinging hall door with accordion car gate

Style 2	clear cab size	hoistway width	hoistway length	jack centerline	entrance centerline
	36" x 48"	51"	54-3/4"	27-3/8"	30-1/4"

Standard Door Package - swinging hall door with accordion car gate



Plan #9
DP 22-021165
December 18, 2023

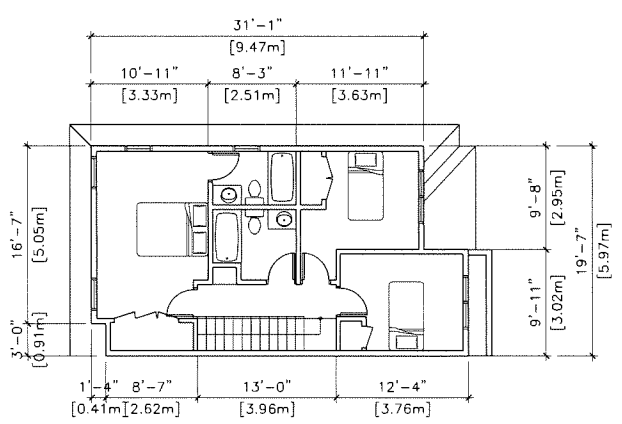
DP 22-021165

PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC

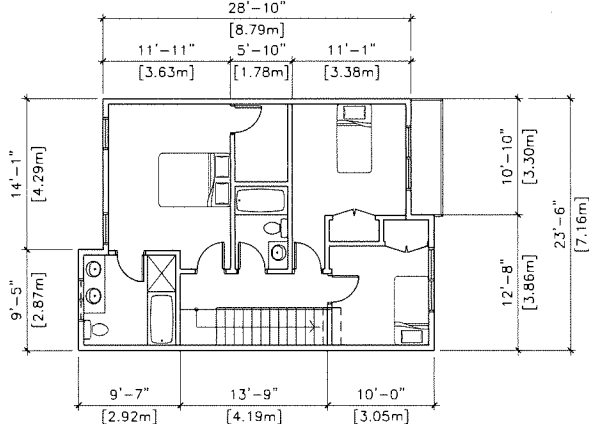
UNIT PLANS

PROJECT NUMBER: 16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16-04_SNO_231214-DP.DWG

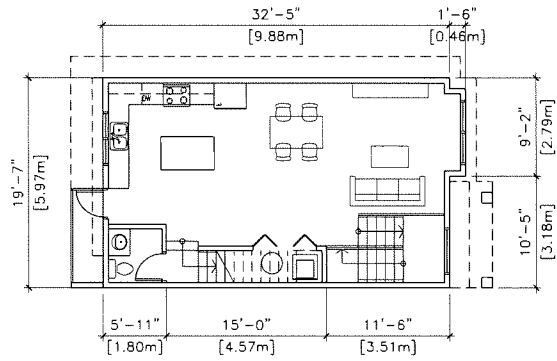
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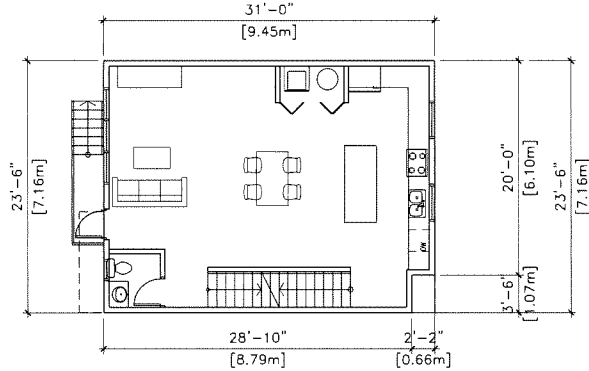
1 LEVEL 3
1/8" TO 1'-0" TYPE-A-3F



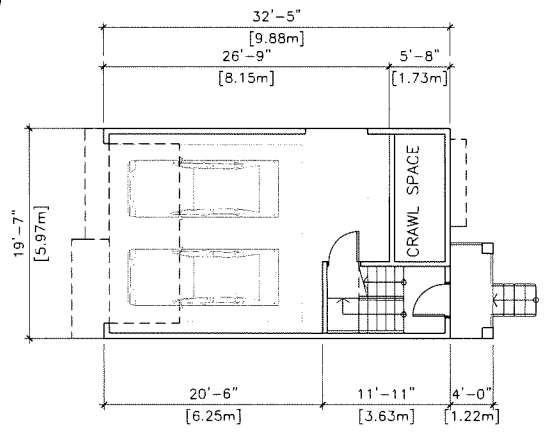
4 LEVEL 3
1/8" TO 1'-0" TYPE-C-3F



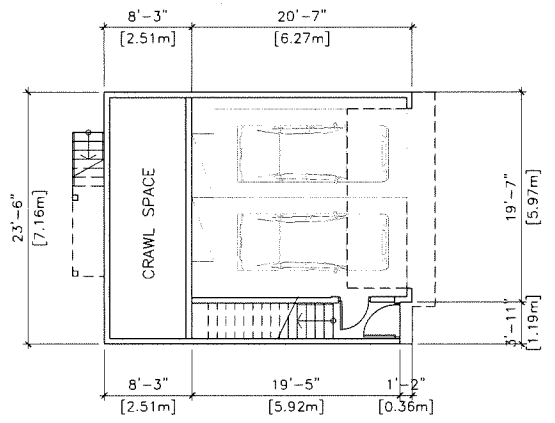
2 LEVEL 2
1/8" TO 1'-0" TYPE-A-2F



5 LEVEL 2
1/8" TO 1'-0" TYPE-C-2F



3 LEVEL 1
1/8" TO 1'-0" TYPE-A-1F



6 LEVEL 1
1/8" TO 1'-0" TYPE-C-1F

TYPE A UNIT PLAN
3 BEDROOM

TYPE C UNIT PLAN
3 BEDROOM

ERIC LAW ARCHITECT

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3	2023.08.08 FOR CITY DP REVIEW
4	2023.10.03 FOR CITY DP REVIEW
5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW

5	2023.12.14 REVISED PER CITY EMAIL COMMENTS
4	2023.11.23 REVISED PER CITY EMAIL COMMENTS
3	2023.10.03 REVISED PER CITY EMAIL COMMENTS
2	2023.08.08 REVISED PER CITY COMMENTS
1	2023.04.28 REVISED PER CITY EMAIL COMMENTS

PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC

UNIT PLANS

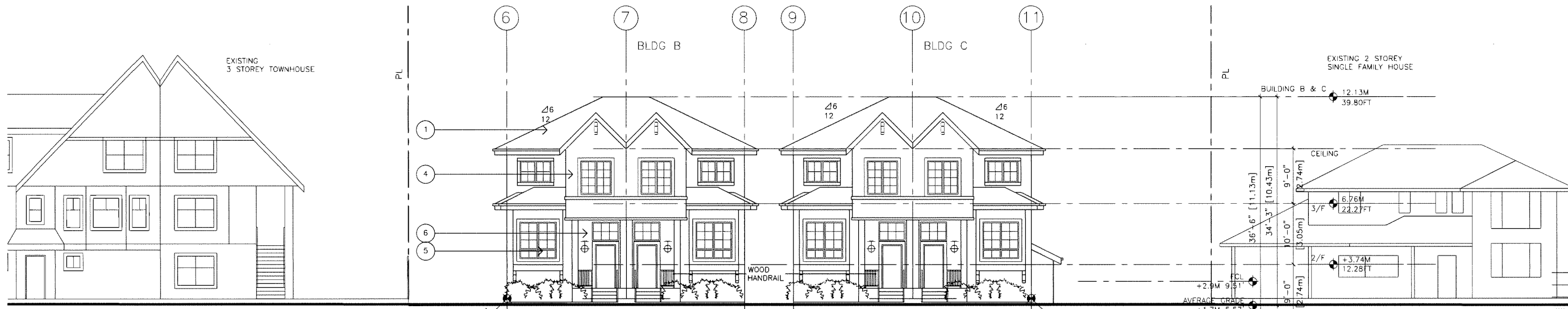
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ISSUED:	12/14/2023
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-04_SNO_231214-DP.DWG

Plan #10
DP 22-021165
December 18, 2023

DP 22-021165

A7

DEVELOPMENT PERMIT



1 EAST ELEVATION (NO, 1 ROAD)
A8 1/8" TO 1'-0"

ERIC LAW ARCHITECT

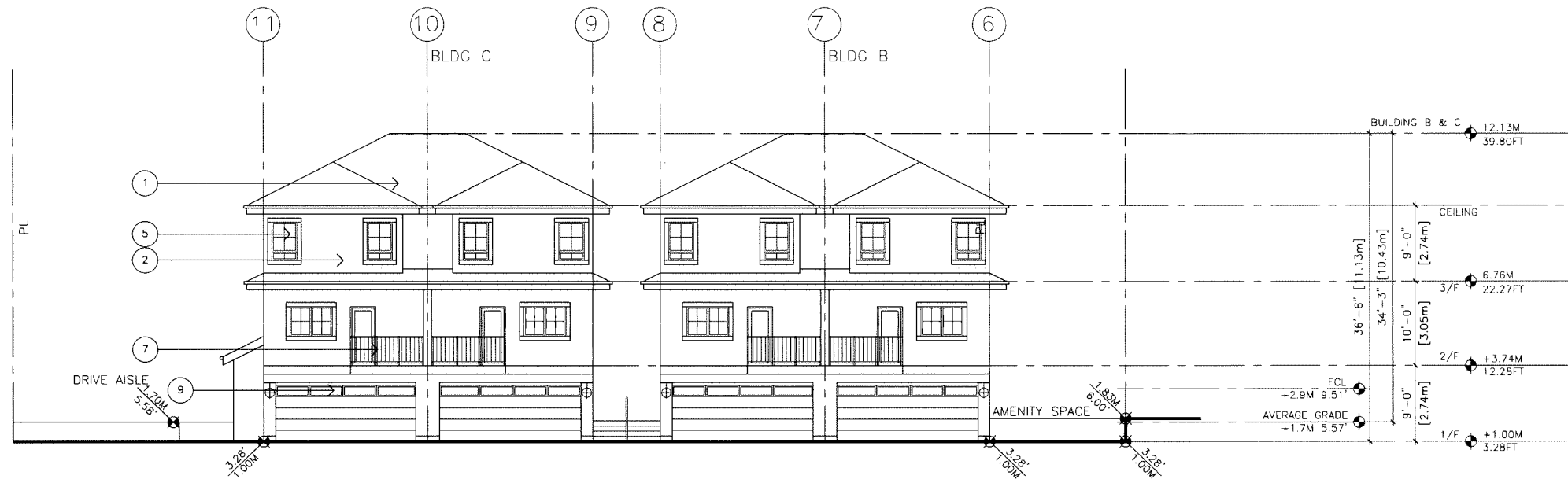
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1	2022.08.30	FOR DEVELOPMENT PERMIT APPLICATION
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3	2023.08.08	FOR CITY DP REVIEW
4	2023.10.03	FOR CITY DP REVIEW
5	2023.11.23	FOR CITY DP REVIEW
6	2023.12.14	FOR CITY DP REVIEW

- EXTERIOR FINISH LEGEND**
- 1 → BLACK ASPHALT SHINGLE ROOFING
 - 2 → HARDI SIDING (8") WITH TRIMS
 - 3 → HARDI SIDING (6") WITH TRIM
 - 4 → HARDI PANEL WITH TRIM
 - 5 → VINYL WINDOW WITH 6" TRIM
 - 6 → FACING BRICK
 - 7 → ALUMINUM PICKET HANDRAIL
 - 8 → WOOD TRIM
 - 9 → OVERHEAD GARAGE DOOR
 - 10 → WOOD FENCE - SEE LANDSCAPE
- ⊕ EXTERIOR LIGHT (WALL MOUNT LOW GLARE LED FILAMENT LIGHT)



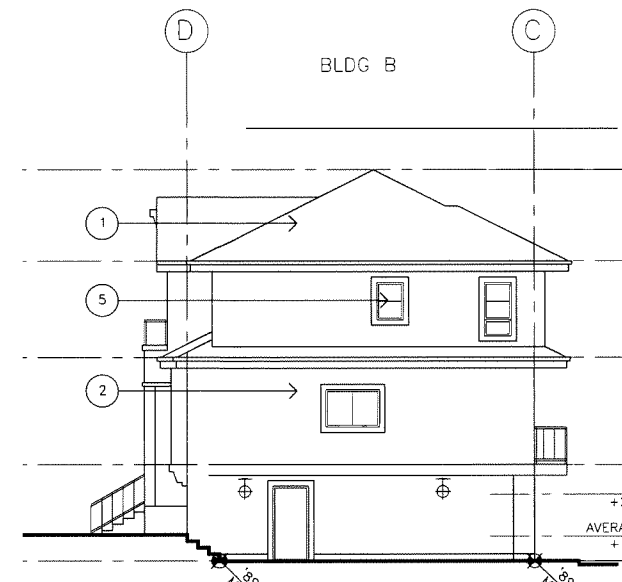
2 BLDG- B C WEST ELEVATION (INTERNAL)
A8 1/8" TO 1'-0"

5	2023.12.14	REVISED PER CITY EMAIL COMMENTS
4	2023.11.23	REVISED PER CITY EMAIL COMMENTS
3	2023.10.03	REVISED PER CITY EMAIL COMMENTS
2	2023.08.08	REVISED PER CITY COMMENTS
1	2023.04.28	REVISED PER CITY EMAIL COMMENTS
REVISION		

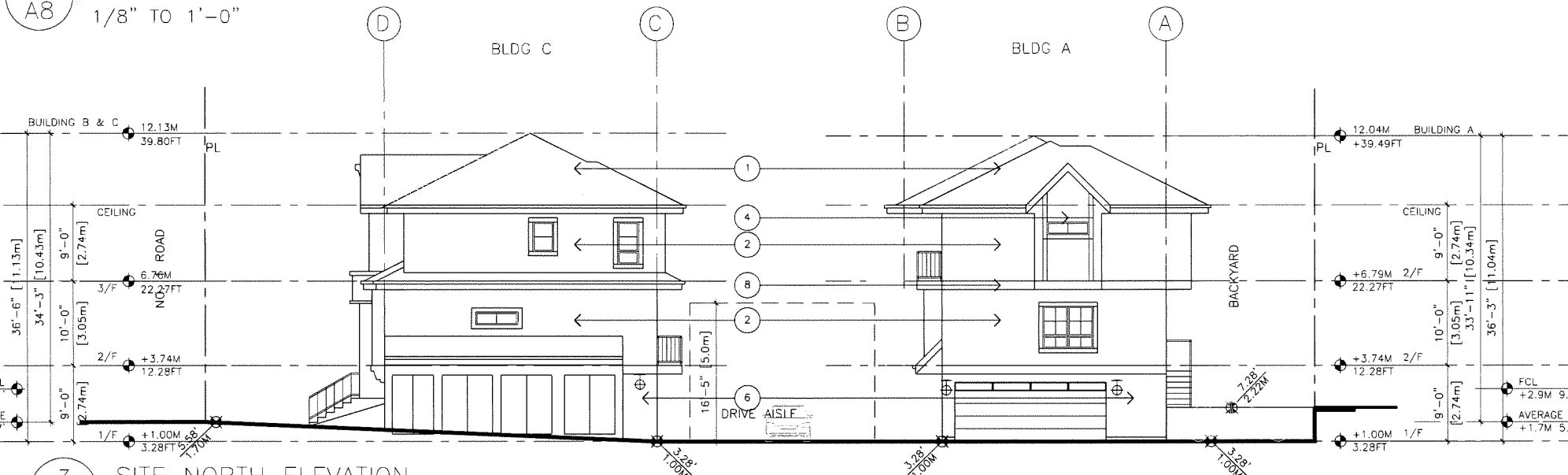
**PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC**

ELEVATIONS

PROJECT NUMBER: 16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16-04_SNO_231214-DP.DWG



4 NORTH ELEV BLDG B
A8 1/8" TO 1'-0"



3 SITE NORTH ELEVATION
A8 1/8" TO 1'-0"

⊕ EXTERIOR WALL LIGHT WITH LED FILAMENT LIGHT

**Plan #11
DP 22-021165
December 18, 2023**

DP 22-021165

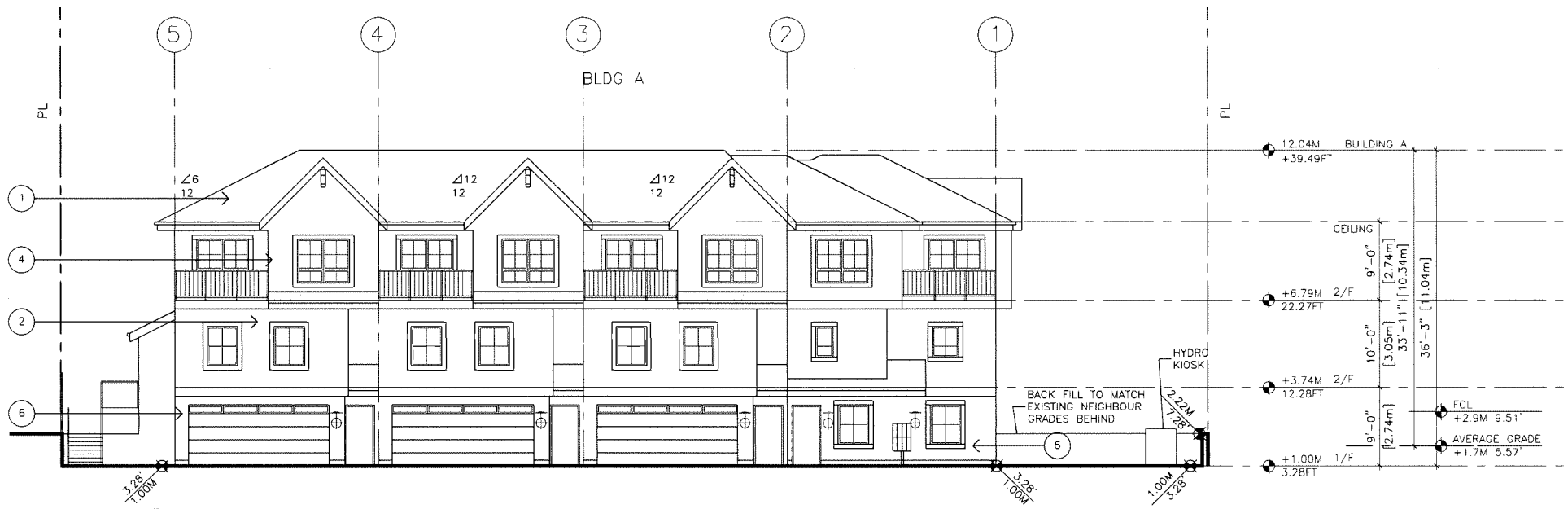
A8

DEVELOPMENT PERMIT

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ISSUED

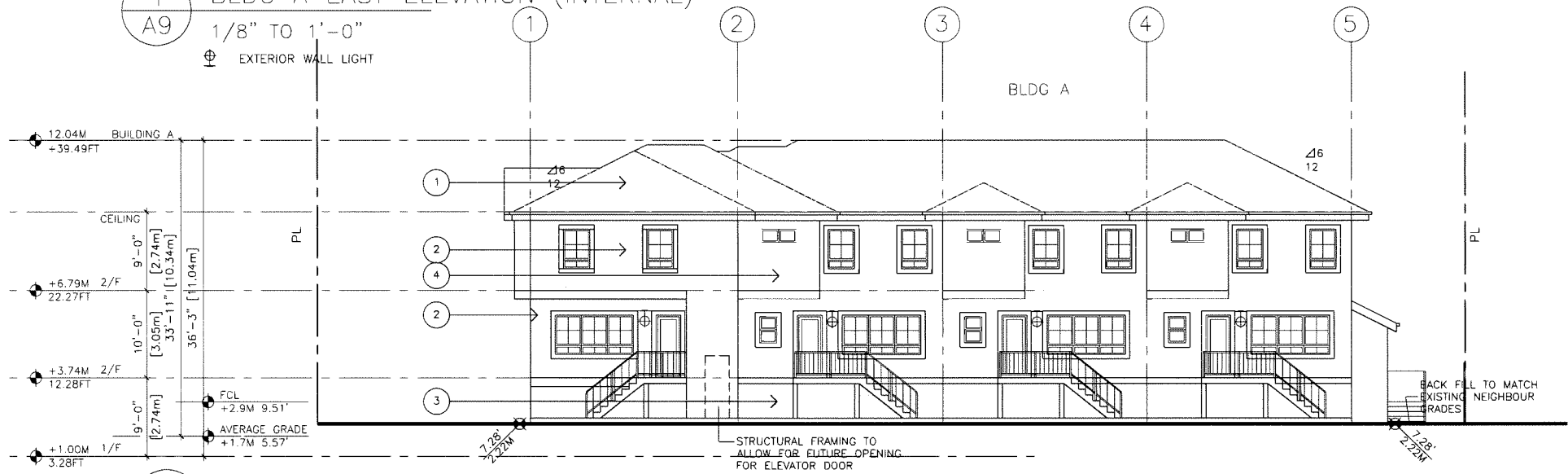
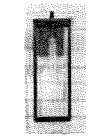
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3	2023.08.08 FOR CITY DP REVIEW
4	2023.10.03 FOR CITY DP REVIEW
5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW



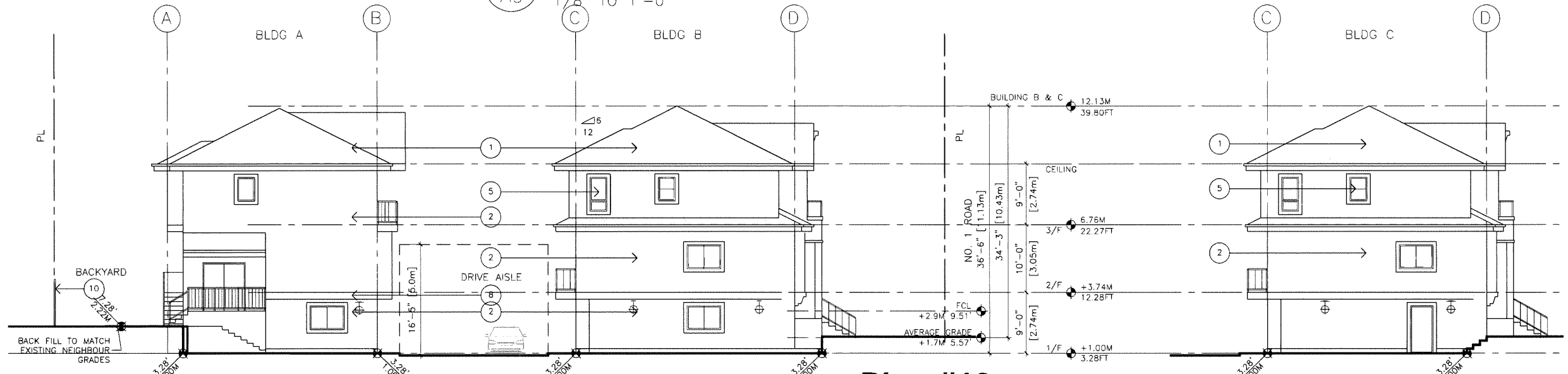
1 BLDG A EAST ELEVATION (INTERNAL)
 A9 1/8" TO 1'-0"
 EXTERIOR WALL LIGHT

- EXTERIOR FINISH LEGEND**
- 1 → BLACK ASPHALT SHINGLE ROOFING
 - 2 → HARDI SIDING (8") WITH TRIMS
 - 3 → HARDI SIDING (6") WITH TRIM
 - 4 → HARDI PANEL WITH TRIM
 - 5 → VINYL WINDOW WITH 6" TRIM
 - 6 → FACING BRICK
 - 7 → ALUMINUM PICKET HANDRAIL
 - 8 → WOOD TRIM
 - 9 → OVERHEAD GARAGE DOOR
 - 10 → WOOD FENCE - SEE LANDSCAPE

EXTERIOR LIGHT (WALL MOUNT LOW GLARE LED FILAMENT LIGHT)



2 BLDG A WEST ELEVATION
 A9 1/8" TO 1'-0"



3 SITE SOUTH ELEVATION
 A9 1/8" TO 1'-0"

4 SOUTH ELEVATION BLDG C DP 22-021165
 A9 1/8" TO 1'-0"

Plan #12
DP 22-021165
December 18, 2023

PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC

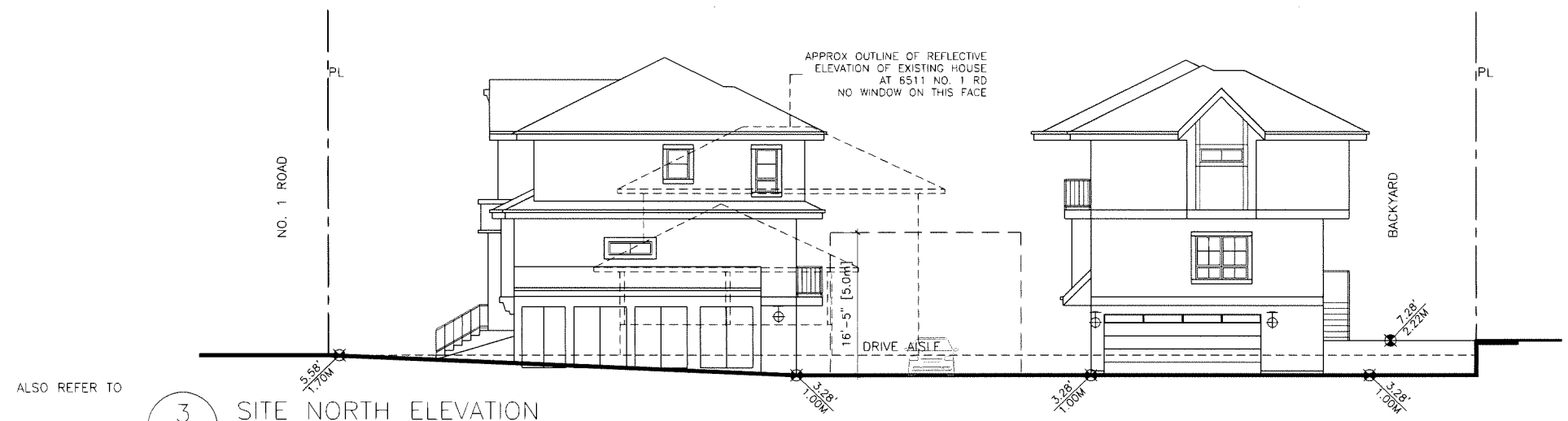
ELEVATIONS

PROJECT NUMBER: 16-03
 ISSUED: 12/14/2023
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 16-04_SNO_231214-DP.DWG

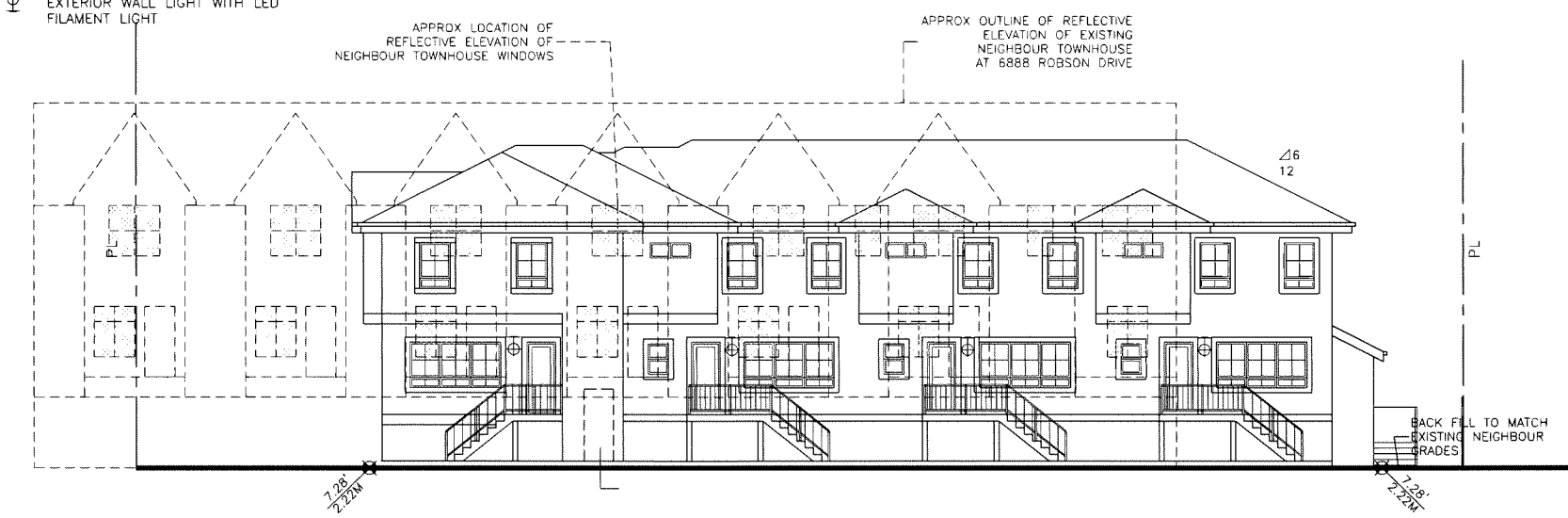
A9

DEVELOPMENT PERMIT

ISSUED
1 2022.08.30 FOR DEVELOPMENT PERMIT APPLICATION
2 2023.04.28 FOR CITY DP REVIEW
3 2023.08.08 FOR CITY DP REVIEW
4 2023.10.03 FOR CITY DP REVIEW
5 2023.11.23 FOR CITY DP REVIEW
6 2023.12.14 FOR CITY DP REVIEW

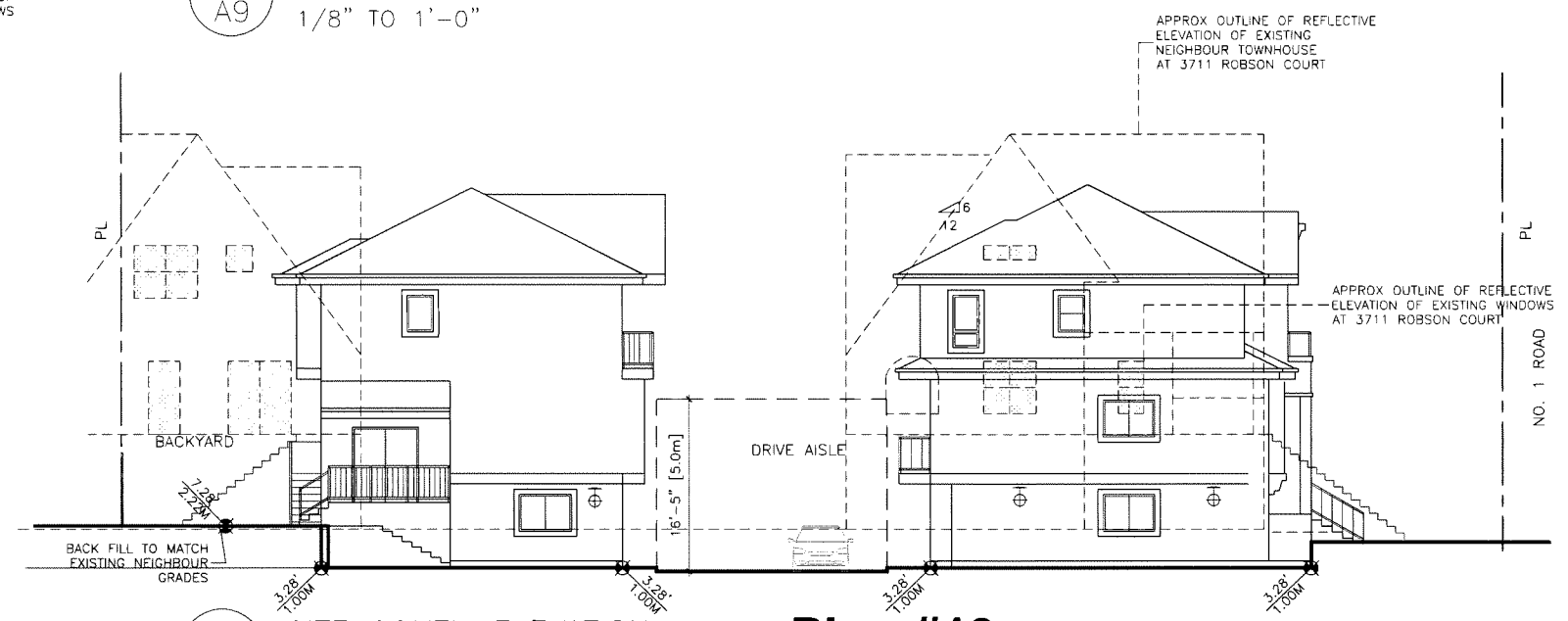


ALSO REFER TO **3** SITE NORTH ELEVATION
 A8 1/8" TO 1'-0"
 EXTERIOR WALL LIGHT WITH LED FILAMENT LIGHT



ALSO REFER TO **2** BLDG A WEST ELEVATION
 A9 1/8" TO 1'-0"

APPROX LOCATION OF NEIGHBOUR WINDOWS



ALSO REFER TO **3** SITE SOUTH ELEVATION
 A9 1/8" TO 1'-0"

REVISION
5 2023.12.14 REVISED PER CITY EMAIL COMMENTS
4 2023.11.23 REVISED PER CITY EMAIL COMMENTS
3 2023.10.03 REVISED PER CITY EMAIL COMMENTS
2 2023.08.08 REVISED PER CITY COMMENTS
1 2023.04.28 REVISED PER CITY EMAIL COMMENTS

**PROPOSED TOWNHOUSE
 6571-6591 NO. 1 ROAD
 RICHMOND BC**

REFLECTIVE ELEVATIONS

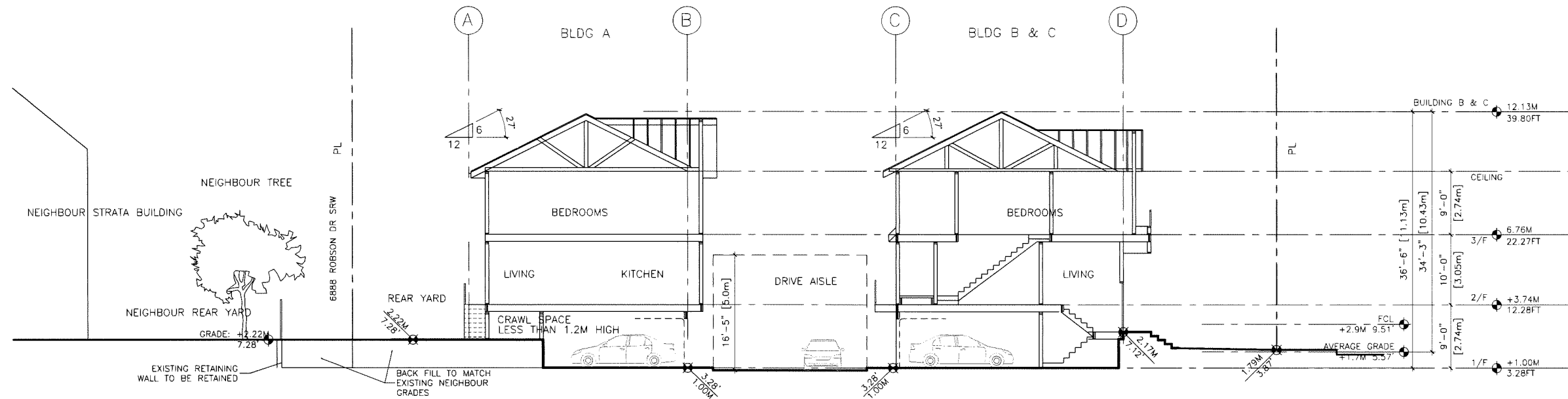
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ISSUED:	12/14/2023
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-04_SNO_231214-DP.DWG

**Plan #13
 DP 22-021165
 December 18, 2023**

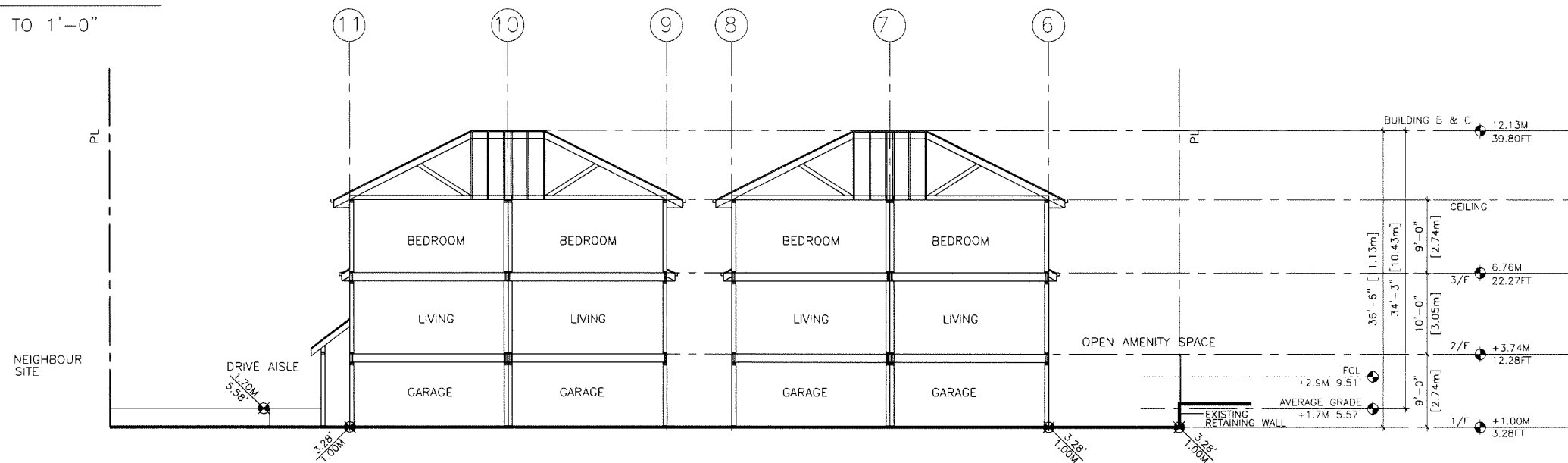
DP 22-021165

A10

DEVELOPMENT PERMIT



1 SITE SECTION
A11 1/8" TO 1'-0"



2 BLDG A SECTION
A11 1/8" TO 1'-0"

ISSUED

1	2022.08.30 FOR DEVELOPMENT PERMIT APPLICATION
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4	2023.10.03 FOR CITY DP REVIEW
5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW

5	2023.12.14 REVISED PER CITY EMAIL COMMENTS
4	2023.11.23 REVISED PER CITY EMAIL COMMENTS
3	2023.10.03 REVISED PER CITY EMAIL COMMENTS
2	2023.08.08 REVISED PER CITY COMMENTS
1	2023.04.28 REVISED PER CITY EMAIL COMMENTS

PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC

SECTIONS

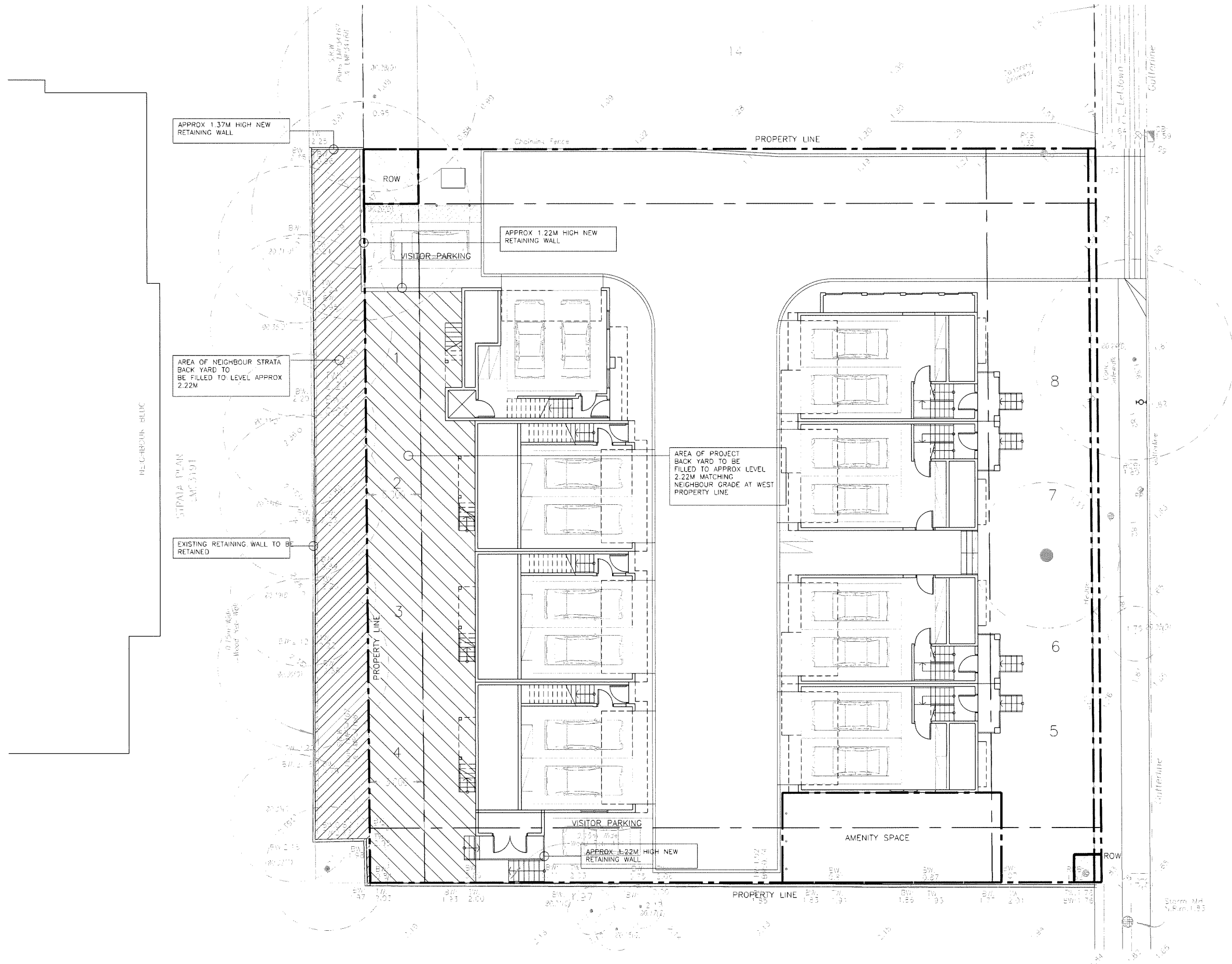
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ISSUED:	12/14/2023
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-04_SNO_231214-DP.DWG

A11

Plan #14
DP 22-021165
December 18, 2023

DP 22-021165

DEVELOPMENT PERMIT



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4	2023.10.03 FOR CITY DP REVIEW
5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW

2	2023.12.14 REVISED PER CITY EMAIL COMMENTS
4	2023.11.23 REVISED PER CITY EMAIL COMMENTS
3	2023.10.03 REVISED PER CITY EMAIL COMMENTS
2	2023.08.08 REVISED PER CITY COMMENTS
1	2023.04.28 REVISED PER CITY EMAIL COMMENTS

PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC

ADJACENT GRADING

PROJECT NUMBER: 16-03
 ISSUED: 12/14/2023
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 16-04_SNO_231214-DP.DWG

Plan #15
DP 22-021165
December 18, 2023

DP 22-021165

A15

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ISSUED

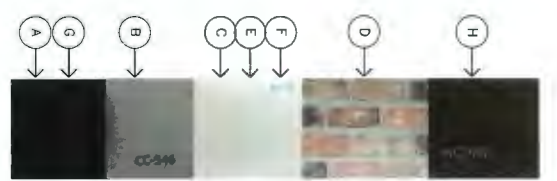
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3	2023.08.08 FOR CITY DP REVIEW
4	2023.10.03 FOR CITY DP REVIEW
5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW



REFER TO **1** EAST ELEVATION (NO. 1 ROAD)
 A8 1/8" TO 1'-0"

- A → FASCIA & TRIM BENJAMIN MOORE 2126-20
- B → HARDI PANEL - BENJAMIN MOORE CC546
- C → HARDI BOARD - BENJAMIN MOORE AF20
- D → BRICK - HIGH DESERT
- E → WINDOW TRIM - BENJAMIN MOORE AF20
- F → GARAGE DOOR - BENJAMIN MOORE AF20
- G → DOOR BENJAMIN MOORE 2062-20
- H → DOOR BENJAMIN MOORE HC185

COLOUR LEGEND ALL WINDOW FRAME BLACK
 ALL ALUMINUM RAILING FRAME BLACK
 ALL SOFFIT AND GUTTER BLACK



REFER TO **2** BLDG- B C WEST ELEVATION (INTERNAL)
 A8 1/8" TO 1'-0"



REFER TO **4** NORTH ELEV BLDG B
 A8 1/8" TO 1'-0"

REFER TO **3** SITE NORTH ELEVATION
 A8 1/8" TO 1'-0"

5	2023.12.14 REVISED PER CITY EMAIL COMMENTS
4	2023.11.23 REVISED PER CITY EMAIL COMMENTS
3	2023.10.03 REVISED PER CITY EMAIL COMMENTS
2	2023.08.08 REVISED PER CITY COMMENTS
1	2023.04.28 REVISED PER CITY EMAIL COMMENTS

PROPOSED TOWNHOUSE
 6571-6591 NO. 1 ROAD
 RICHMOND BC

COLOURS

PROJECT NUMBER: 16-03
 ISSUED: 12/14/2023
 DRAWN BY: EL
 CHECKED BY: EL
 AVERAGE GRADE/FILENAME: 16-04_SNO_231214-DP.DWG

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5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW



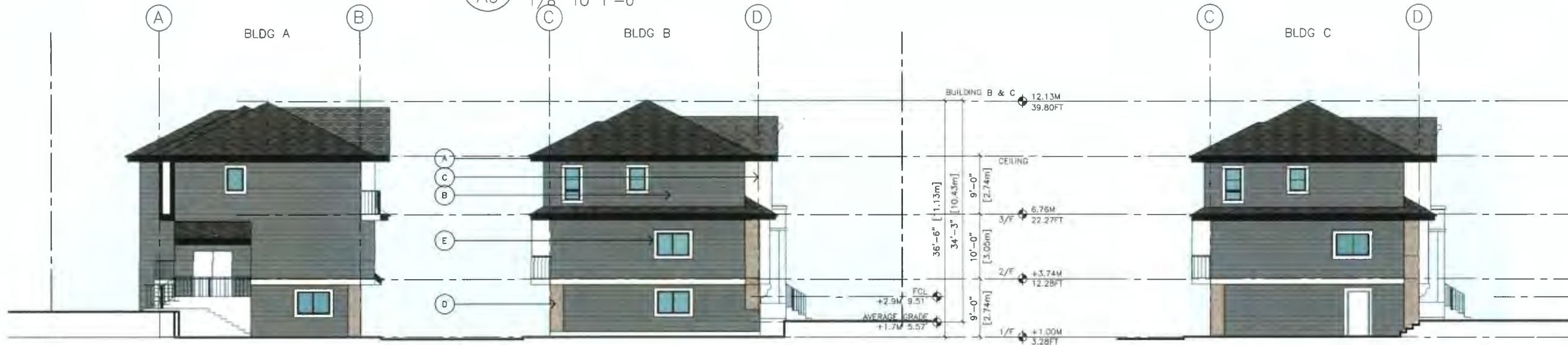
- (A) → FASCIA & TRIM BENJAMIN MOORE 2126-20
- (B) → HARDI PANEL – BENJAMIN MOORE CC546
- (C) → HARDI BOARD – BENJAMIN MOORE AF20
- (D) → BRICK – HIGH DESERT
- (E) → WINDOW TRIM – BENJAMIN MOORE AF20
- (F) → GARAGE DOOR – BENJAMIN MOORE AF20
- (G) → DOOR BENJAMIN MOORE 2062-20
- (H) → DOOR BENJAMIN MOORE HC185

COLOUR LEGEND

ALL WINDOW FRAME BLACK
 ALL ALUMINUM RAILING FRAME BLACK
 ALL SOFFIT AND GUTTER BLACK



REFER TO **2** BLDG A WEST ELEVATION
 A9 1/8" TO 1'-0"



REFER TO **3** SITE SOUTH ELEVATION
 A9 1/8" TO 1'-0"

REFER TO **4** SOUTH ELEVATION BLDG C DP 22-021165
 A9 1/8" TO 1'-0"

Plan #17
DP 22-021165
December 18, 2023

PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC

COLOURS

PROJECT NUMBER: 16-03
 ISSUED: 12/14/2023
 DRAWN BY: EL
 CHECKED BY: EL
 FILENAME: 16-04_SNO_231214-DP.DWG

A17

DEVELOPMENT PERMIT

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
9	23 DEC.12	REVISED LIVE PLANT AREA	DD
8	23 NOV.17	NEW SITE PLANS/CITY COMMENTS	DD
7	23 JUL.28	NEW SITE PLAN	DD
6	23 APR.12	NEW SITE PLAN	DD
5	23 MAR.20	REVISION AS PER CITY COMMENTS	DD
4	22 JAN.20	REVISION AS PER CITY REQUEST	DD
3	22 JAN.14	NEW SITE PLAN & CITY COMMENTS	DD
2	21 NOV.23	NEW SITE PLAN & CITY COMMENTS	DD
1	21 MAR.15	UPDATED ARBORIST REPORT	DD

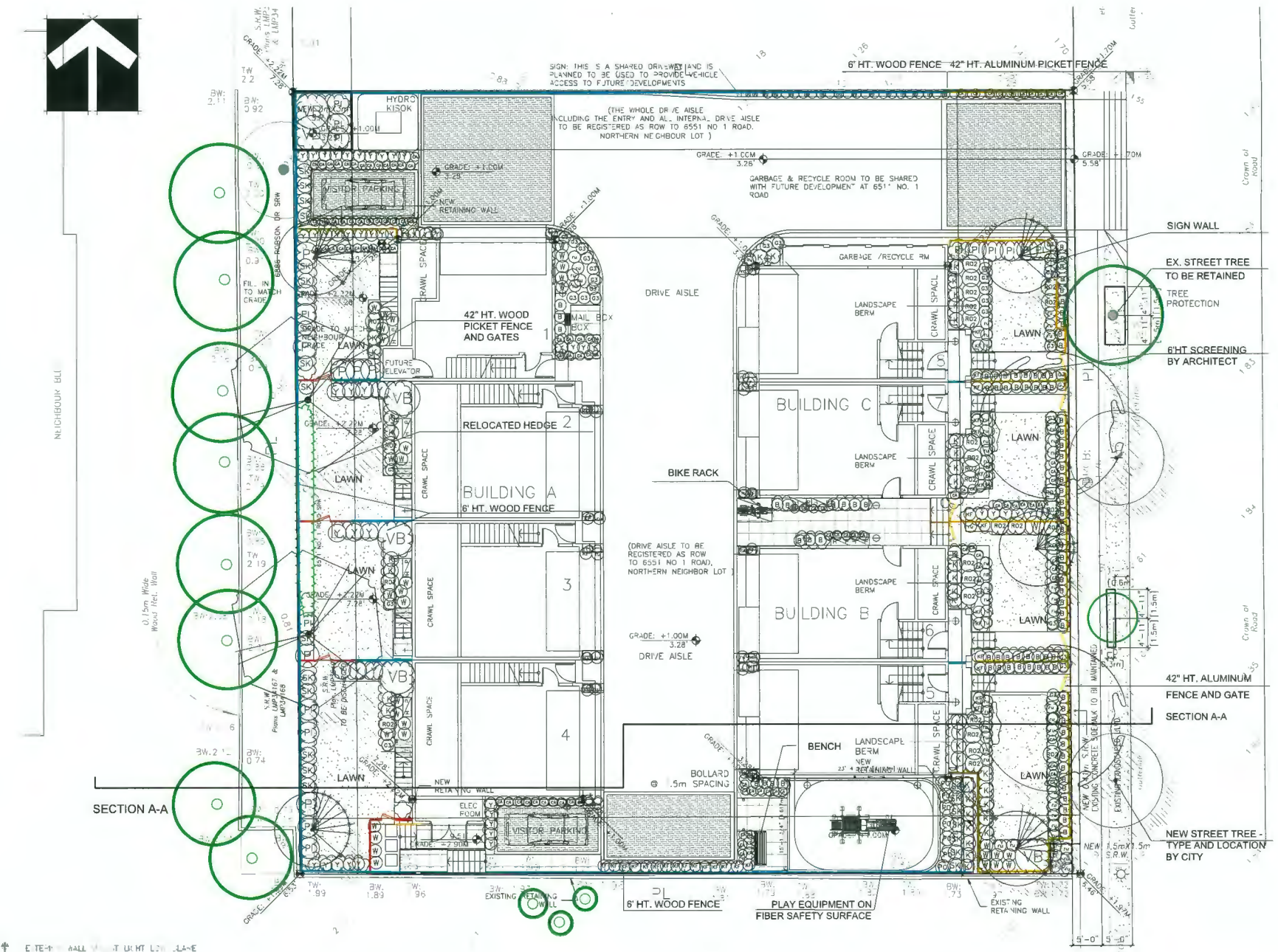
CLIENT: SUTTON GROUP - SEAFAIR REALTY
WITH: ERIC LAW ARCHITECT

PROJECT:
8 UNIT TOWNHOUSE DEVELOPMENT

6571 - 6591 NO. 1 ROAD
RICHMOND

DRAWING TITLE:
LANDSCAPE PLAN

DATE: February 01, 2021 DRAWING NUMBER:
SCALE: 3/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHK'D: PCM OF 4



HARDSCAPE LEGEND

- ECO-PRIORA PERMEABLE PAVERS BY MUTUAL MATERIALS HERRINGBONE PATTERN; HARVEST BLEND INSTALLED PER MANUFACTURER SPECIFICATIONS
- 2'x2' 2'x1' Vancouver Bay Architectural Slabs COLOR: GREY; BY MUTUAL MATERIALS
- FIBER SAFETY SURFACE ON PLAYGROUND

FENCE LEGEND

- 42" HT. ALUMINUM PICKET FENCE AND GATES
- 42" HT. WOOD PICKET FENCE AND GATES
- 6' HT. WOOD FENCE
- RETAINING AWALL

FURNITURE LEGEND

- JAMBETTE 3' LUX FREE STANDING SLIDE L-22042, BY Parkworks
- VictorStanley bench Stel
- VictorStanley bike rack BRWA-101_black

PLANT SCHEDULE PMG PROJECT NUMBER: 21-014

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	8CM CAL: 1.8M STD. B&B
TREE	5	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMIDAL LIMBER PINE	4M HT. B&B
TREE	2	STYRAX JAPONICUS 'PINK CHIMES'	PINK FLOWERED JAPANESE SNOWBELL	8CM CAL: 1.8M STD. B&B
SHRUB	7	* CORNUS SERICEA	RED OSIER DOGWOOD	#3 POT: 80CM
SHRUB	40	* KALMIA MICROPHYLLA	BOG LAUREL	#3 POT: 30CM
SHRUB	34	* MAHONIA NERVOSA	LONGLEAF MAHONIA	#2 POT: 40CM
SHRUB	89	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#2 POT: 25CM
SHRUB	16	PIERIS JAPONICA 'FOREST FLAME'	PIERIS, WHITE BLOOMS	#3 POT: 50CM
SHRUB	29	ROSA 'SCARLET MEIDLAND'	SCARLET MEIDLAND ROSE	#2 POT: 40CM
SHRUB	22	SKOPIA REVESIANA	DWARF SKIMMIA	#2 POT
SHRUB	54	TAXUS X MEDIA 'HICKS'	HICKS' YEW	1.2M HT. B&B
SHRUB	54	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	1.0M HT. B&B
GRASS	6			
GRASS	49	CALAMAGROSTIS X A. 'KARL FOERSTER'	KARL FOERSTER FEATHERED GRASS	#2 POT, HEAVY
GRASS	117	CAREX 'ICE DANCE'	FROSTED SEDGE	#1 POT
GRASS	31	HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	#2 POT
VINE	15	CLEMATIS ARMANDII	EVERGREEN CLEMATIS	#2 POT: 60CM; STAKED
PERENNIAL	61	RUDBECKIA FULGIDA VAR SULLIVANTII 'GOLDBLOCK'	RUDBECKIA; YELLOW-ORANGE	15CM POT
GC	7	* POLYSTICHUM MUNITUM	WESTERN SWORD FERN	#1 POT: 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

PLANT SCHEDULE-STREET TREE PMG PROJECT NUMBER: 21-014

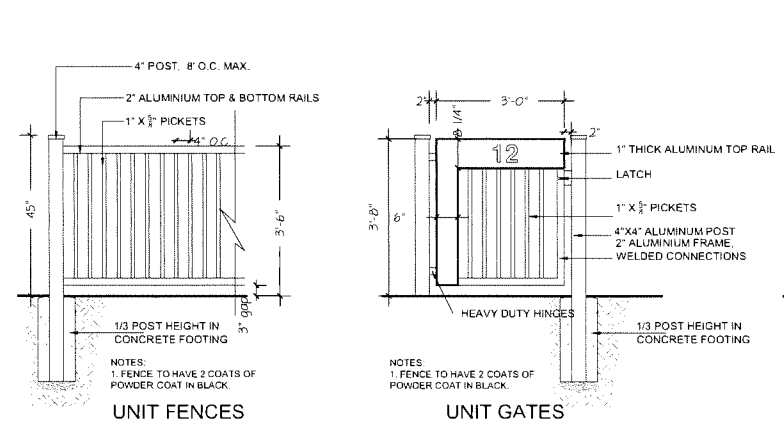
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	2	STREET TREE	TYPE AND LOCATION BY CITY	7CM CAL: 1.8M STD. B&B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. * ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. * ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. * BIO-SOLIDS NOT PERMITTED IN GROWING MEDIUM UNLESS AUTHORIZED BY LANDSCAPE ARCHITECT.

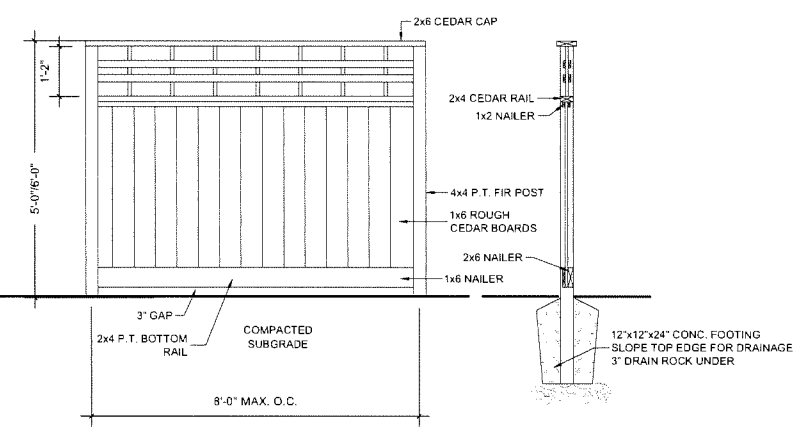
Plan #18
DP 22-021165
December 18, 2023

SEAL:

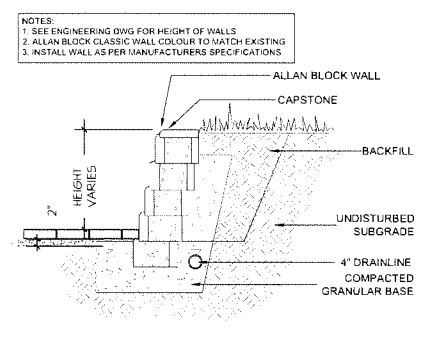
- NOTES:**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



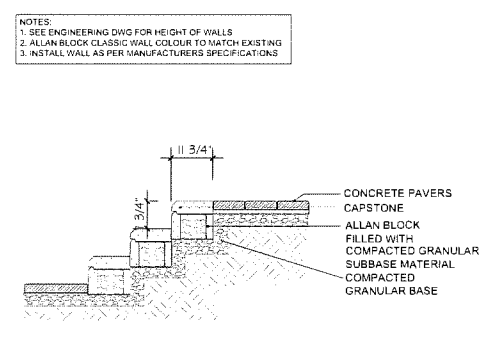
1 UNIT FENCES
42" HT ALUMINUM FENCE AND GATE
1/2" = 1'-0"



2 6' HT WOOD FENCE
1/2" = 1'-0"

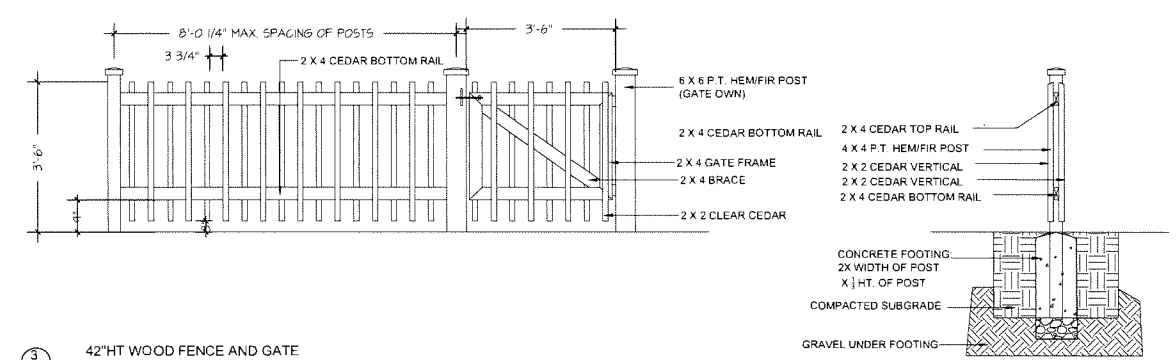


7 PROPOSED ALLAN BLOCK WALL
1/2" = 1'-0"

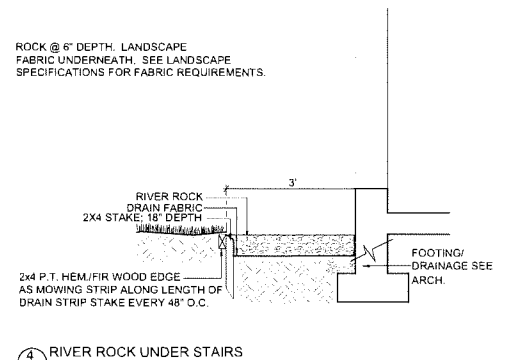


8 PROPOSED ALLAN BLOCK STAIRS
1/2" = 1'-0"

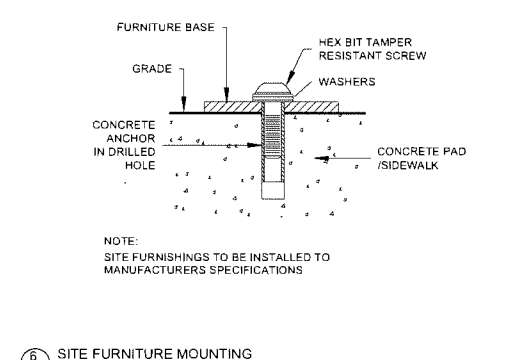
- NOTE:**
1. ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 2. ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 3. ALL HARDWARE HOT DIPPED GALVANIZED.
 4. APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 5. ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX.). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3-6".



3 42" HT WOOD FENCE AND GATE
1/2" = 1'-0"



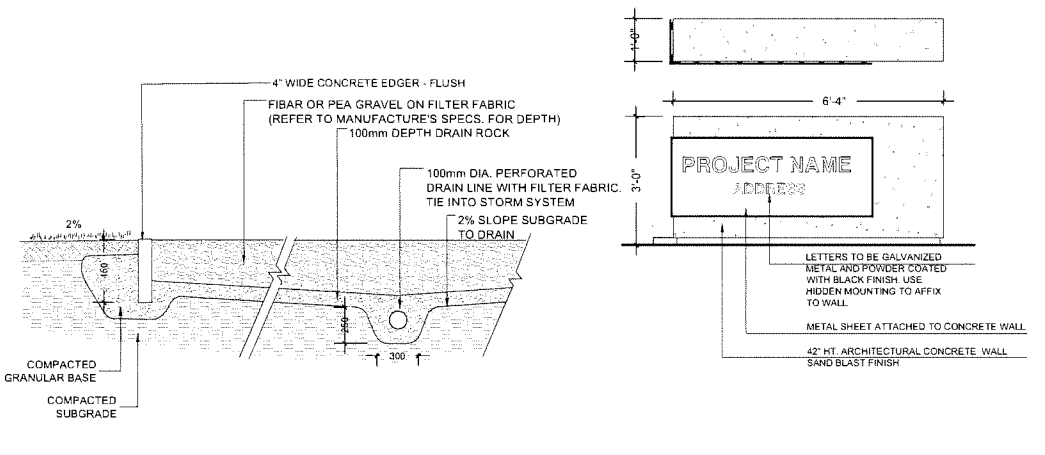
4 RIVER ROCK UNDER STAIRS
1/2" = 1'-0"



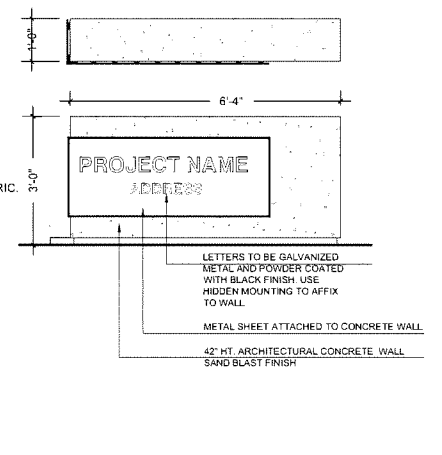
6 SITE FURNITURE MOUNTING
NOS

NO.	DATE	REVISION DESCRIPTION	DR.
9	23 DEC.12	REVISED LIVE PLANT AREA	DD
8	23 NOV.17	NEW SITE PLANS/CITY COMMENTS	DD
7	23 JUL.28	NEW SITE PLAN	DD
6	23 APR.12	NEW SITE PLAN	DD
5	23 MAR.20	REVISION AS PER CITY COMMENTS	DD
4	22 JAN.20	REVISION AS PER CITY REQUEST	DD
3	22 JAN.14	NEW SITE PLAN/CITY COMMENTS	DD
2	21 NOV.23	NEW SITE PLAN/CITY COMMENTS	DD
1	21 MAR.15	UPDATED ARBORIST REPORT	DD

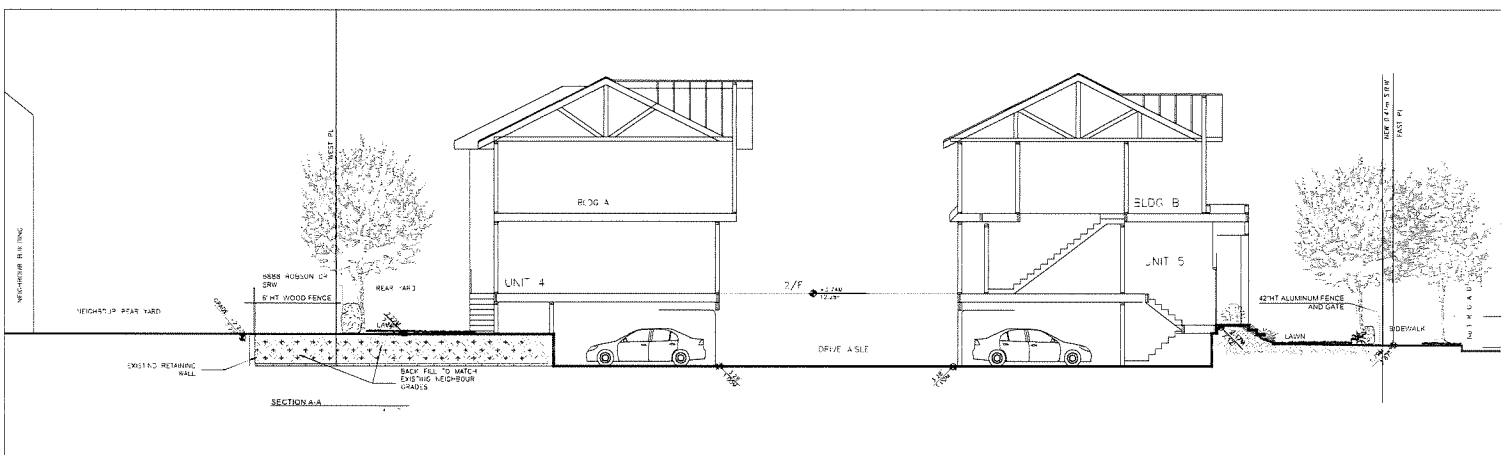
CLIENT: SUTTON GROUP - SEAFAIR REALTY
WITH: ERIC LAW ARCHITECT



5 PLAYGROUND SAFETY SURFACE
1/2" = 1'-0"



6 DEVELOPMENT SIGNAGE
1/2" = 1'-0"



Plan #19
DP 22-021165
December 18, 2023

PROJECT:
8 UNIT TOWNHOUSE DEVELOPMENT

6571 - 6591 NO. 1 ROAD RICHMOND

DRAWING TITLE:
LANDSCAPE DETAILS

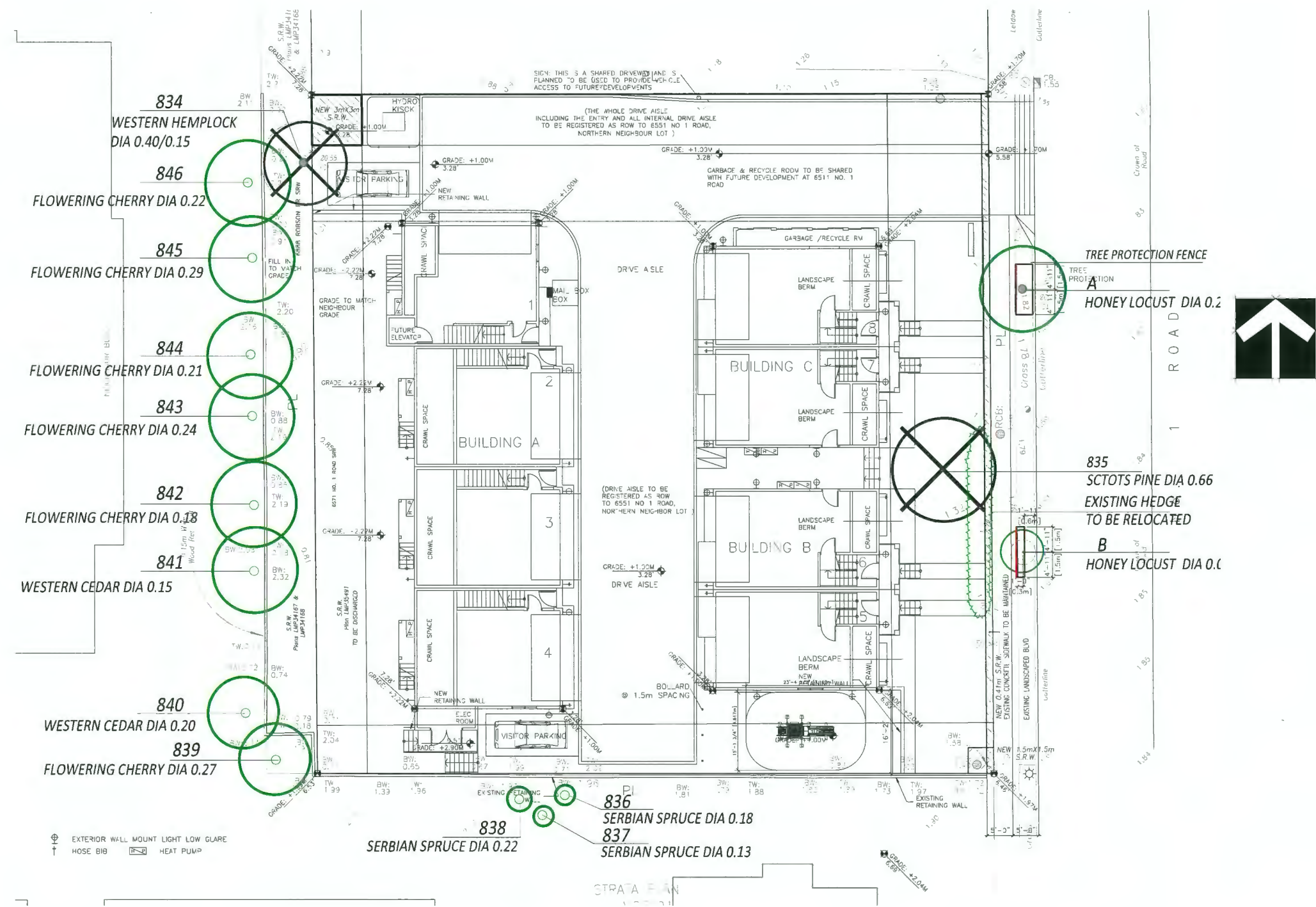
DATE: February 01, 2021 DRAWING NUMBER:

SCALE:
DRAWN: DD
DESIGN: DD
CHKD: PCM

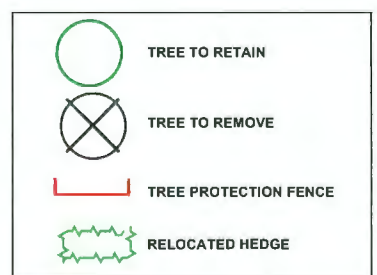
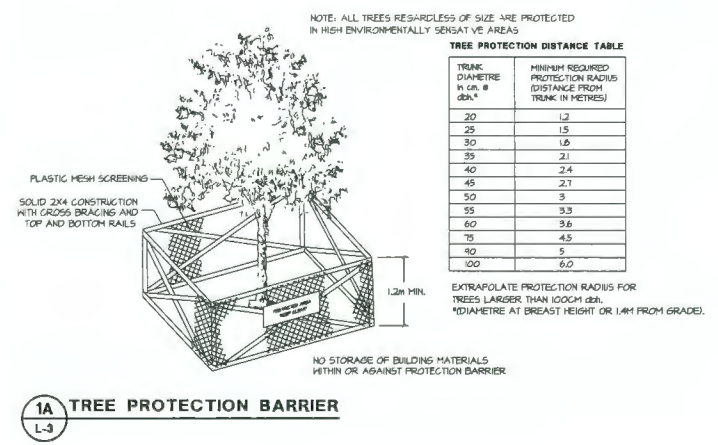
L2

OF 4

SEAL:



⊕ EXTERIOR WALL MOUNT LIGHT LOW GLARE
↑ HOSE BIB



Plan #20
DP 22-021165
December 18, 2023

NO.	DATE	REVISION DESCRIPTION	DR.
9	23 DEC.12	REVISED LIVE PLANT AREA	DD
8	23 NOV.17	NEW SITE PLAN/CITY COMMENTS	DD
7	23 JUL.28	NEW SITE PLAN	DD
6	23 APR.12	NEW SITE PLAN	DD
5	23 MAR.20	REVISION AS PER CITY COMMENTS	DD
4	22 JAN.20	REVISION AS PER CITY REQUEST	DD
3	22 JAN.14	NEW SITE PLAN & CITY COMMENTS	DD
2	21 NOV.23	NEW SITE PLAN & CITY COMMENTS	DD
1	21 MAR.15	UPDATED ARBORIST REPORT	DD

CLIENT: SUTTON GROUP - SEAFAIR REALTY
WITH: ERIC LAW ARCHITECT

PROJECT:
8 UNIT TOWNHOUSE DEVELOPMENT

6571 – 6591 NO. 1 ROAD
RICHMOND

DRAWING TITLE:
TREE MANAGEMENT PLAN

DATE: February 01, 2021
SCALE: 3/32"=1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM

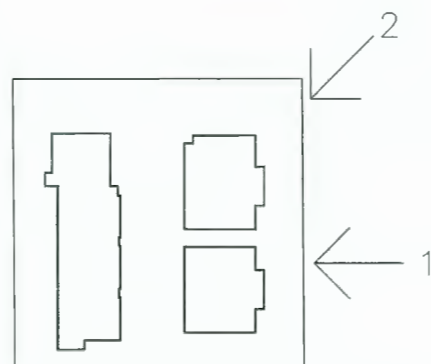
DRAWING NUMBER:
L3
OF 4

ISSUED

1	2022.08.30 FOR DEVELOPMENT PERMIT APPLICATION
2	2023.04.28 FOR CITY DP REVIEW
3	2023.08.08 FOR CITY DP REVIEW
4	2023.10.03 FOR CITY DP REVIEW
5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW



1. VIEW ALONG NO 1 ROAD



2. VIEW ALONG NO 1 ROAD SIDEWALK

5	2023.12.14 REVISED PER CITY EMAIL COMMENTS
4	2023.11.23 REVISED PER CITY EMAIL COMMENTS
3	2023.10.03 REVISED PER CITY EMAIL COMMENTS
2	2023.08.08 REVISED PER CITY COMMENTS
1	2023.04.28 REVISED PER CITY EMAIL COMMENTS
	REVISION

**PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC**

ILLUSTRATIVE IMAGES

PROJECT NUMBER:	16-03
ISSUED:	12/14/2023
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-04_SNO_231214-DP.DWG

IMAGE (1)

DEVELOPMENT PERMIT

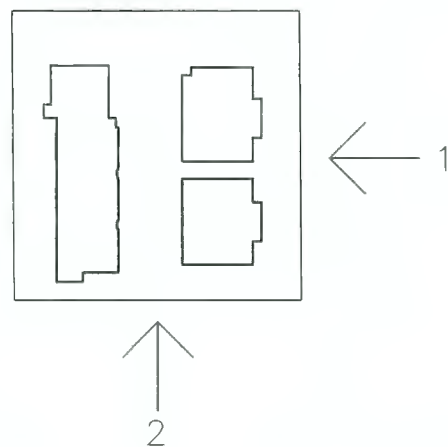
**Reference
DP 22-021165
December 18, 2023**

DP 22-021165

ISSUED
1 2022.06.30 FOR DEVELOPMENT PERMIT APPLICATION
2 2023.04.28 FOR CITY DP REVIEW
3 2023.08.08 FOR CITY DP REVIEW
4 2023.10.03 FOR CITY DP REVIEW
5 2023.11.23 FOR CITY DP REVIEW
6 2023.12.14 FOR CITY DP REVIEW



1. AERIAL VIEW ALONG NO 1 ROAD



2. AERIAL SOUTH VIEW

Reference
DP 22-021165
December 18, 2023

5 2023.12.14 REVISED PER CITY EMAIL COMMENTS
4 2023.11.23 REVISED PER CITY EMAIL COMMENTS
3 2023.10.03 REVISED PER CITY EMAIL COMMENTS
2 2023.08.08 REVISED PER CITY COMMENTS
1 2023.04.28 REVISED PER CITY EMAIL COMMENTS

PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC

ILLUSTRATIVE IMAGES

PROJECT NUMBER: 16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16-04_SNO_231214-DP.DWG

IMAGE (2)

DP 22-021165

DEVELOPMENT PERMIT

**ERIC LAW
ARCHITECT**

eric.law.architect@gmail.com
216 288 WETH AVENUE VANCOUVER BC
V6Y1N5
TEL: (604) 505-2099
FAX: (604) 909-2697

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ISSUED	
1	2022.08.30 FOR DEVELOPMENT PERMIT APPLICATION
2	2023.04.28 FOR CITY DP REVIEW
3	2023.08.08 FOR CITY DP REVIEW
4	2023.10.03 FOR CITY DP REVIEW
5	2023.11.23 FOR CITY DP REVIEW
6	2023.12.14 FOR CITY DP REVIEW

3	2022.12.14 REVISED PER CITY EMAIL COMMENTS
4	2023.11.23 REVISED PER CITY EMAIL COMMENTS
3	2023.10.03 REVISED PER CITY EMAIL COMMENTS
2	2023.08.08 REVISED PER CITY COMMENTS
1	2022.04.29 REVISED PER CITY EMAIL COMMENTS

**PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC**

ILLUSTRATIVE IMAGES

PROJECT NUMBER:	16-03
ISSUED:	12/14/2023
DRAWN BY:	EL
CHECKED BY:	EL
FILENAME:	16-04_SNO_231214-DP.DWG

IMAGE (3)

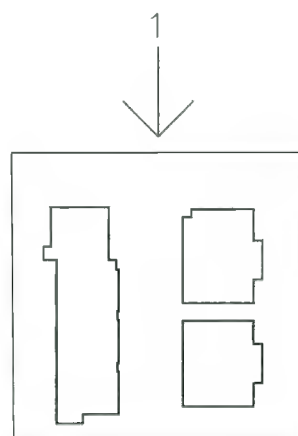
DEVELOPMENT PERMIT



1. AERIAL NORTH VIEW



2. AERIAL WEST VIEW



**Reference
DP 22-021165
December 18, 2023**

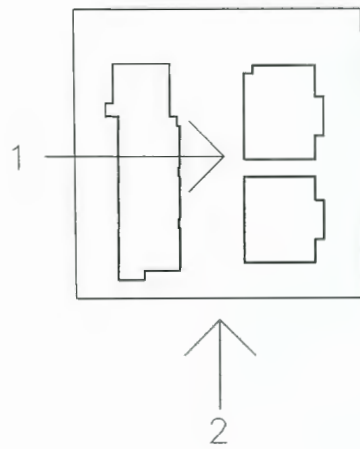
DP 22-021165



1. VIEW ALONG DRIVE AISLE



2. AERIAL VIEW OVER AMENITY SPACE



ERIC LAW ARCHITECT

eric.law.architect@gmail.com
 215 288 WETH AVENUE VANCOUVER BC
 V6Y1N5
 TEL: (604) 505-2099
 FAX: (604) 509-2597

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6 2023.12.14 FOR CITY DP REVIEW

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2 2023.08.08 REVISED PER CITY COMMENTS
1 2023.04.28 REVISED PER CITY EMAIL COMMENTS
REVISION

PROPOSED TOWNHOUSE
6571-6591 NO. 1 ROAD
RICHMOND BC

ILLUSTRATIVE IMAGES

PROJECT NUMBER:16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
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IMAGE (4)

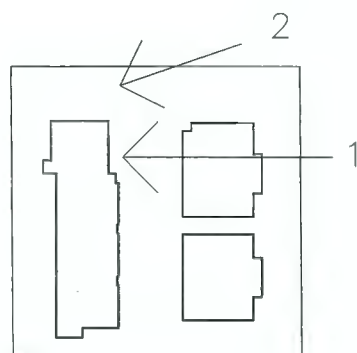
DEVELOPMENT PERMIT

Reference
DP 22-021165
December 18, 2023

DP 22-021165



1. VIEW ALONG MAIL BOX



2. VIEW ALONG VISITOR PARKING

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6	2023.12.14 FOR CITY DP REVIEW

5	2023.12.14 REVISED PER CITY EMAIL COMMENTS
4	2023.11.23 REVISED PER CITY EMAIL COMMENTS
3	2023.10.03 REVISED PER CITY EMAIL COMMENTS
2	2023.08.08 REVISED PER CITY COMMENTS
1	2023.04.28 REVISED PER CITY EMAIL COMMENTS

**PROPOSED TOWNHOUSE
6571-6591 NO, 1 ROAD
RICHMOND BC**

ILLUSTRATIVE IMAGES

PROJECT NUMBER: 16-03
ISSUED: 12/14/2023
DRAWN BY: EL
CHECKED BY: EL
FILENAME: 16-04_SNO_231214-DP.DWG

IMAGE (5)

DEVELOPMENT PERMIT

**Reference
DP 22-021165
December 18, 2023**

DP 22-021165