



Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, January 17, 2018
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on December 13, 2017.



1. **DEVELOPMENT PERMIT 17-774155**
(REDMS No. 5660408)

APPLICANT: Suncor Energy Inc.

PROPERTY LOCATION: 11991 Steveston Highway

Director's Recommendations

That a Development Permit be issued which would permit the modification of an existing commercial building and drive-through to accommodate a drive-through restaurant establishment as a secondary use to the gas station at 11991 Steveston Highway on a site zoned "Gas Station Commercial (ZC15) – Broadmoor and Ironwood Area".



2. **DEVELOPMENT PERMIT 17-778607**
(REDMS No. 5518855)

APPLICANT: Interface Architecture

PROPERTY LOCATION: 7760 Garden City Road

ITEM

Director's Recommendations

That a Development Permit be issued which would:

1. *permit the construction of four townhouse units at 7760 Garden City Road on a site zoned "Town Housing (ZT49) – Moffatt Road, St. Albans Sub-Area and South McLennan Sub Area (City Centre)"; and*
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum required rear yard setback from 4.57 m to 3.0 m.*



3. **DEVELOPMENT VARIANCE 17-790824**

(REDMS No. 5689809)

APPLICANT: Lafarge Canada Inc.

PROPERTY LOCATION: 7611 No. 9 Road

Director's Recommendations

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to:

1. *increase the maximum height for buildings from 12.0 m to 15.0 m; and*
 2. *increase the maximum height for accessory structures from 20.0 m to 65.0 m;*
- in order to permit the construction of a new storage building and conveyor structure on a site zoned "Industrial (I)".*



4. **New Business**

5. **Date of Next Meeting: January 31, 2018**

ADJOURNMENT



**Development Permit Panel
Wednesday, December 13, 2017**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
Cecilia Achiam, General Manager, Community Safety
Victor Wei, Director, Transportation

The meeting was called to order at 3:30 p.m.

Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on November 29, 2017, be adopted.

CARRIED

**1. Development Variance 15-704583
(REDMS No. 5617123)**

APPLICANT: Matilde Abella

PROPERTY LOCATION: 10455 Bridgeport Road

INTENT OF PERMIT:

1. Permit the retention of an existing non-conforming addition to the single-family dwelling at 10455 Bridgeport Road on a site zoned "Single Detached (RS1/D)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - (a) reduce the minimum required rear yard setback from 6.0 m to 3.85 m; and
 - (b) reduce the requirement for live landscaping in the required front yard from 50% to 36%.

Development Permit Panel

Wednesday, December 13, 2017

Applicant's Comments

Adison Xavier, Kalypso Kreations – Design and Drafting, briefed the Panel on the proposed changes to the landscape plan to address Panel's concerns at the November 29, 2017 meeting of the Panel and highlighted the following:

- the amount of proposed live landscaping coverage in the required front yard setback has been increased from 29 percent to 36 percent;
- one vehicle parking stall has been removed and the remaining three parking stalls have been shifted north to provide greater separation between the parking area and Bridgeport Road;
- the original plant list has been revised and new tree and shrub species such as Western Red Cedar, Pyramid Cedar and Hick's Yew have been introduced to increase the size of planting and provide additional screening of the rear addition and vehicle parking area;
- perennials are proposed to be planted in front of the building; and
- the applicant has maintained the 30 percent live landscaping for the entire lot, which meets the Zoning Bylaw requirement.

In reply to a query from the Panel, Matilde Abella, property owner, acknowledged that the real estate agent who facilitated the sale of the property did not inform her about the non-conforming house addition when she purchased the property. Ms. Abella added that she later tried to contact the real estate agent but was unsuccessful.

Staff Comments

Wayne Craig, Director, Development, advised that staff had explored different parking configurations and noted that the proposed vehicle parking arrangement maximizes the front yard landscaping while still allowing on-site vehicle manoeuvring.

Gallery Comments

None.

Correspondence

None.

Panel Discussion

In reply to a query from the Panel, Ms. Xavier acknowledged that there is an existing hedge on the neighbouring property immediately adjacent to the east property line of the subject site. She further noted that due to this existing condition, no new planting will be introduced at the eastern edge of the site.

Development Permit Panel
Wednesday, December 13, 2017

Panel Decision

It was moved and seconded

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1. reduce the minimum required rear yard setback from 6.0 m to 3.85 m; and*
- 2. reduce the requirement for live landscaping in the required front yard from 50% to 36%; and*

this would permit the retention of an existing non-conforming addition to the single-family dwelling at 10455 Bridgeport Road on a site zoned "Single Detached (RS1/D)".

CARRIED

- 2. Date of Next Meeting: January 17, 2018**

- 3. Adjournment**

It was moved and seconded

That the meeting be adjourned at 3:41 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, December 13, 2017.

Joe Erceg
Chair

Rustico Agawin
Auxiliary Committee Clerk



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 18, 2017

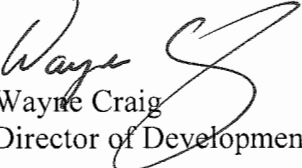
From: Wayne Craig
Director of Development

File: DP 17-774155

Re: Application by Suncor Energy Inc. for a Development Permit at 11991 Steveston Highway

Staff Recommendation

That a Development Permit be issued which would permit the modification of an existing commercial building and drive-through to accommodate a drive-through restaurant establishment as a secondary use to the gas station at 11991 Steveston Highway on a site zoned "Gas Station Commercial (ZC15) – Broadmoor and Ironwood Area".


Wayne Craig
Director of Development

WC:ke
Att. 1

Staff Report

Origin

Suncor Energy Inc. has applied to the City of Richmond for permission to modify the existing commercial building and drive-through on the subject site to accommodate a drive-through restaurant within the building on a site zoned “Gas Station Commercial (ZC15) – Broadmoor and Ironwood Area”. The site currently contains a gas station, accessory retail convenience store and supporting drive-through.

The site is being rezoned to allow “Restaurant, drive-through” as a site-specific use on the property at 11991 Steveston Highway under Bylaw 9698 (ZT 14-656010). A Public Hearing was held and 3rd reading granted on April 18, 2017. Frontage works were identified through the rezoning application to complete a sidewalk and landscaped boulevard on No. 5 Road and Steveston Highway and add an accessible concrete pad and bus shelter area for an existing bus stop along Steveston Highway. These works are required to be completed through a City work order process with all design drawings approval and fees for construction to be paid prior to Building Permit issuance. Through the rezoning, a voluntary cash contribution (\$30,000) was secured for the future installation of a bus shelter on the bus pad referenced above.

Development Information

Please refer to attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, A property zoned “Single-Detached RS1/E” that contains a single family dwelling;
- To the east, Across No. 5 Road, “The Gardens” mixed use development zoned “Commercial Mixed Use – The Gardens (Shellmont) (ZMU18)”;
- To the south, Across Steveston Highway, a gas station zoned “Gas Station Commercial (ZC15) – Broadmoor and Ironwood” and Ironwood Shopping Centre zoned “Community Commercial (CC)”;
- To the west, A townhouse development zoned “Low Density Townhouses (RTL3)”.

Rezoning and Public Hearing Results

During the rezoning process, staff identified the following design issues to be resolved at the Development Permit stage:

- Ensure all existing and new heating, ventilation and air conditioning (HVAC) equipment is properly screened from neighbouring sites.

In response to this item, solid screening (1.3 m or 4.3 ft. in height) is proposed around the perimeter of all rooftop mechanical equipment and is consistent with the existing design of the building.

- Measures to control and limit odours, light overspill and noise.

In response to the above noted items, an acoustical engineer was engaged to assess the proposed development and all drive-through operations in conjunction with the City's Noise Regulation Bylaw 8856. The consultant's examination determined that the anticipated noise generated from the operations would be in compliance with the Bylaw. The applicant has confirmed that the volume for the speaker boxes for the drive-through service are automatically adjusted to take into account surrounding ambient noise levels to minimize any disturbance to neighbours. Speaker box volume levels can also be manually adjusted by staff.

New mechanical units will be installed on the building to support the new drive-through restaurant to address ventilation and manage odour generated from the cooking activities. The cooking ventilation units are equipped with filters to capture smoke and grease particles and minimize odours.

Lighting on the building and for the drive-through is recessed and shielded to prevent light overspill and glare to surrounding properties.

- Implement landscaping to accommodate for any modifications resulting from the project.

In response, a landscape plan has been provided that covers the implementation and replacement of landscaping on areas of the site that are impacted by the proposal.

The Public Hearing for the rezoning of this site was held on April 18, 2017. At the Public Hearing, no concerns were noted.

Staff Comments

The proposal involves minor exterior modifications to the existing commercial building to relocate an existing drive-through window along the north elevation of the building. When the gas station redeveloped approximately 10 year ago, the drive-through window and drive-aisle intended to service the retail store has never been operational. On-site modifications are proposed to accommodate the required number of vehicle queue spaces (8 minimum) for the drive-through and ensure all on-site vehicle maneuvering and circulation can be accommodated. The proposed Development Permit drawings have addressed the site planning and design issues specific to the proposal, including applicable design guidelines and policies contained in the Official Community Plan (OCP). The proposal also complies with the existing "Gas Station Commercial (ZC15) – Broadmoor and Ironwood" zoning district. No variances are being requested.

Advisory Design Panel Comments

Due to the relative minor changes to the existing building and reconfiguration to the drive-through, the project was not presented to the Advisory Design Panel.

Analysis

Conditions of Adjacency

- The existing commercial building, situated along the north portion of the site, is one storey and setback approximately 6 m (20 ft.) from the north property line providing for suitable building massing adjacent to the surrounding residential context.

- Reconfiguration of the existing drive-through aisle to accommodate the required minimum 8 vehicle queue spaces occurs mainly along the east portion of the site adjacent to No. 5 Road, with the main drive-through aisle running along the north edge of the site (between the building and property line) being maintained in its present configuration.
- Order menu boards and intercoms for the drive-through are located east of the building near the entrance of the drive-through and oriented towards No. 5 Road and away from the neighbouring residential property to the north.

Urban Design and Site Planning

- With the exception of modifications at the north east portion of the site to accommodate changes to the drive-through, other minor changes are proposed for the building to accommodate the following:
 - Ensure all on-site vehicle maneuvering and circulation for the site operations (gas station, convenience store, drive-through) are accommodated without any conflicts.
 - Right-in/out driveway entrance along No. 5 Road remains clear to avoid vehicle queuing onto the public road.
 - Maintain a pedestrian connection from the sidewalk along No. 5 Road to the entrance of the commercial building, taking into account the modifications to the drive-through.
- Driveway access to the site will remain in its current configuration with one right-in/out driveway access/exit on No. 5 Road and Steveston Highway respectively.
- A total of 11 off-street parking spaces is being provided, which meets zoning bylaw requirements.

Architectural Form and Character

- The existing commercial building's cladding consists of textured concrete block, smooth texture stucco, and cultured stone with decorative metal awnings. Proposed exterior modifications will be to accommodate the relocation of the drive-through pick-up window along the north elevation to the centre of the building. The new drive-through pick-up window proposes materials consistent with existing cladding and non-illuminated identification signage. The existing pick-up window being removed will be replaced with cultured stone, consistent with existing cladding.
- An overall update to the project's corporate branding is also being undertaken with the addition of the drive-through establishment to implement new signage on the building and new graphics/signage incorporated into the existing monument sign at the corner of the site. Any signage with illumination is restricted to portions of the building fronting the public streets only to minimize impacts to neighbouring residential land uses.
- There is an existing screened enclosure (metal solid screen 1.3 m or 4.3 ft. in height) on the rooftop of the building that will be expanded to screen all mechanical equipment required for the commercial building. An existing 0.75 m (2.5 ft.) height parapet also helps to minimize the visibility of the screened mechanical enclosure from surrounding areas.
- As recommended by the applicant's acoustical consultant, the above referenced screened enclosure for the rooftop mechanical equipment has been designed to mitigate and buffer noise. Confirmation of the screened enclosure being designed and installed in accordance with the acoustical consultant's recommendations will be secured through the building permit process.

Landscape Design and Open Space Design

- The site has established landscaping and perimeter fencing to the north and west adjacent to the neighbouring residential land uses:
 - To the north, the drive-through aisle is buffered by an existing mature hedge and fence, which will remain. Where the drive-through is reconfigured, cedar hedging is proposed to replace the existing hedging to be removed to maintain the solid landscape screen.
 - To the west (adjacent to the low-density townhouses) is existing landscaping consisting of a wooden fence, mature evergreen hedging and equally spaced medium sized deciduous trees that will remain and provides for an effective landscaped buffer.
- Replacement landscaping will also be implemented around the north east portion of the site in response to the reconfiguration of the drive-through to add plantings to border the drive-aisles and help define the proposed outdoor courtyard/seating area located to the east of the building. Proposed plantings are consistent with the existing on-site plant and tree species and help buffer the drive-through aisle from the neighbouring property to the north and the fronting road (No. 5 Road).
- The paved/stamped concrete areas existing at the north east corner of the site will be modified to accommodate the changes to the drive-through, with appropriate pavement markings and stamped concrete to be reinstated where removed.
- In order to ensure the proposed revisions to the on-site landscaping are completed, a landscape security of \$10,803.10 will be submitted prior to issuance of the Development Permit by Council.

Crime Prevention Through Environmental Design

- Illumination at the rear of the existing building along the drive-through aisle is provided by existing on-site light standards and building mounted lights. To minimize light overspill and glare, the light standards have downward oriented recessed lighting and building mounted lighting is shielded and incorporated into the design of the building.
- Active and passive surveillance of the rear of the building will be facilitated with drive-through operations.

Conclusions

The proposed development addresses conditions of adjacency to minimize any potential impacts to the neighbouring residential land uses and the changes to the existing commercial building are consistent with the form and character of the overall site. On this basis, staff recommend support of this Development Permit application.



Kevin Eng
Planner 2

KE:le

The following are to be met prior to forwarding this application to Council for approval:

- Receipt of a Letter-of-Credit for landscaping in the amount of \$10,803.10.

Prior to future Building Permit issuance, the developer is required to complete the following:

- The following frontage works are required to be completed through a City work order process:

- Along No. 5 Road – 1.5 m wide sidewalk and 1.5 m wide boulevard.
- Along Steveston Highway:
 - 1.5 m wide sidewalk and 1.5 m wide boulevard.
 - 3.0 m wide by 9 m in length concrete landing pad for accessible bus stop requirements, including the necessary on-site statutory right-of-way (SRW) (approximately 1.5 m wide by 5 m in length) for a concrete pad for the placement of a bus shelter.
- Address all site service connections to City water (including metering) and storm systems to the satisfaction of Engineering staff.
- City approval of design drawings and payment of fees for the construction of the off-site works is required prior to the issuance of any building permit.
- Prior to issuance of the Building Permit, the applicant's professional consultant (acoustical/mechanical engineer) is required to provide confirmation through a letter of assurance or other acceptable document that the entire rooftop mechanical screened enclosure area (existing and area to be expanded) design is consistent with the recommendations in the acoustical consultant's report to confirm screen panels weigh at least 2lbs/ft² and no air gaps exist between roof screen panels and posts, adjoining panels and between the bottom of the panels and the roof. Final inspection/occupancy of the building permit will not be granted until the professional consultant provides confirmation that the screened enclosure has been installed in accordance with the appropriate specifications.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).
- If applicable, payment of latecomer agreement charges, plus applicable interest associated with eligible latecomer works.



DP 17-774155

Attachment 1

Address: 11991 Steveston Highway

Applicant: Suncor Energy Inc.

Owner: Suncor Energy Inc.

Planning Area(s): Ironwood Sub Area

	Existing	Proposed
Site Area:	3,042 m ²	No change
Land Uses:	Gas station and accessory retail convenience store	Add a drive-through restaurant to the existing commercial building as a secondary use
OCP Designation:	Neighbourhood Service Centre	No change – complies
Zoning:	Gas Station Commercial (ZC15) – Broadmoor and Ironwood	Add “Restaurant, drive-through” as a site specific secondary use

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.35	0.1	none permitted
Lot Coverage:	Max. 35%	17% (includes existing canopy over gas pump islands)	None
Building Setbacks:	Road: Min. 12 m Rear: Min 3 m Side: Min 3 m	Road: 33 m (Steveston Highway) Road: 18 m (No. 5 Road) Rear: 6.5 m (north) Side: 20 m (west)	None
Height (m):	Max. 9 m	5.2 m	None
Total off-street Spaces:	9 stalls	11 stalls	None



City of Richmond

Development Permit

No. DP 17-774155

To the Holder: Suncor Energy Inc. (c/o Anna Stilwell)
Property Address: 11991 Steveston Highway
Address: 200, 4838 Richard Road SW
Calgary, Alberta
T3E 6L1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #7 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$10,803.10 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 17-774155

To the Holder: Suncor Energy Inc.
Property Address: 11991 Steveston Highway
Address: 200, 4838 Richard Road SW
Calgary, Alberta
T3E 6L1

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

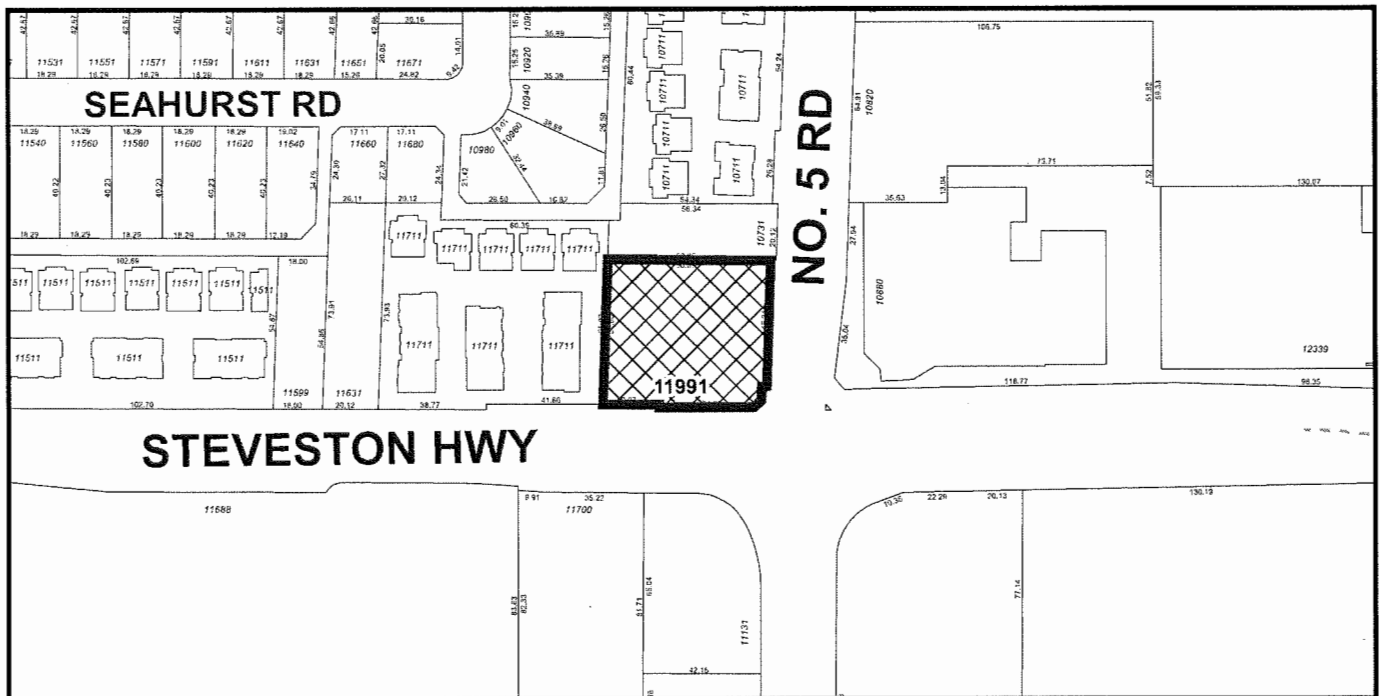
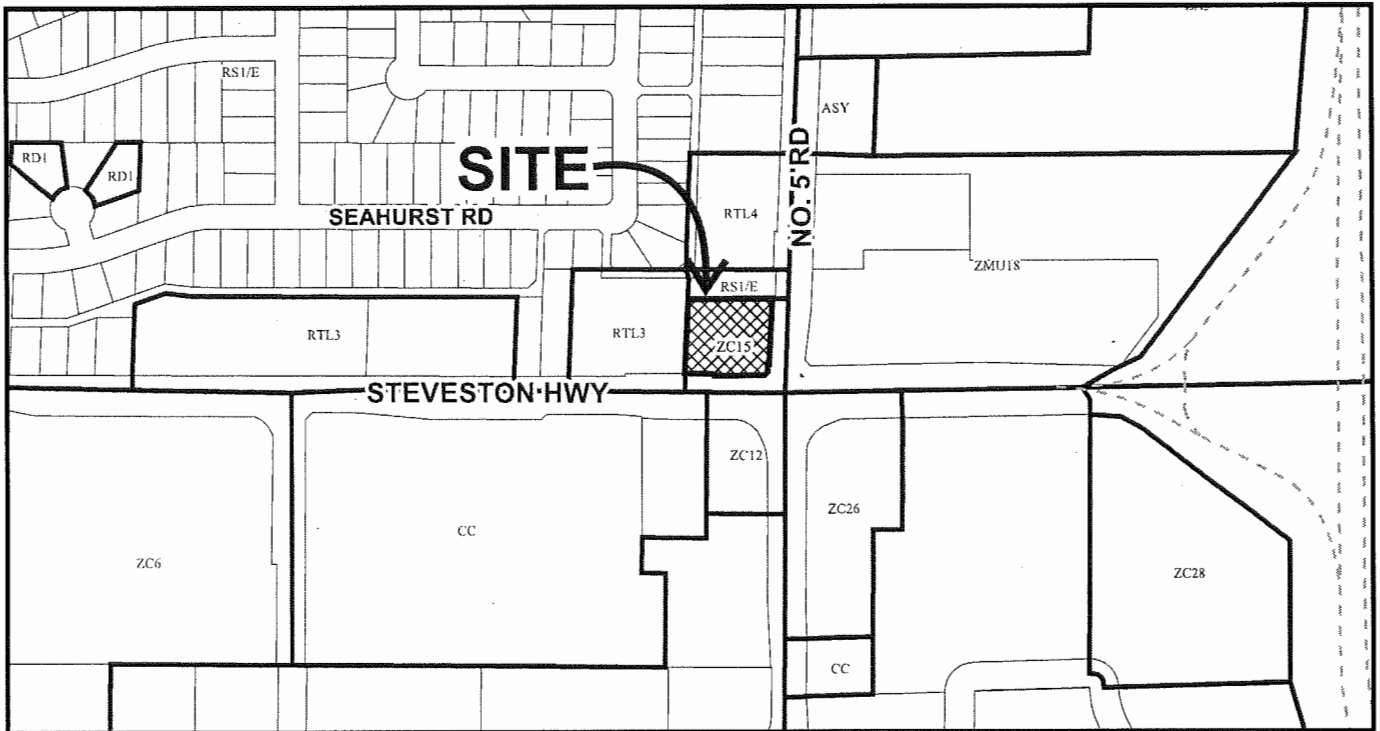
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

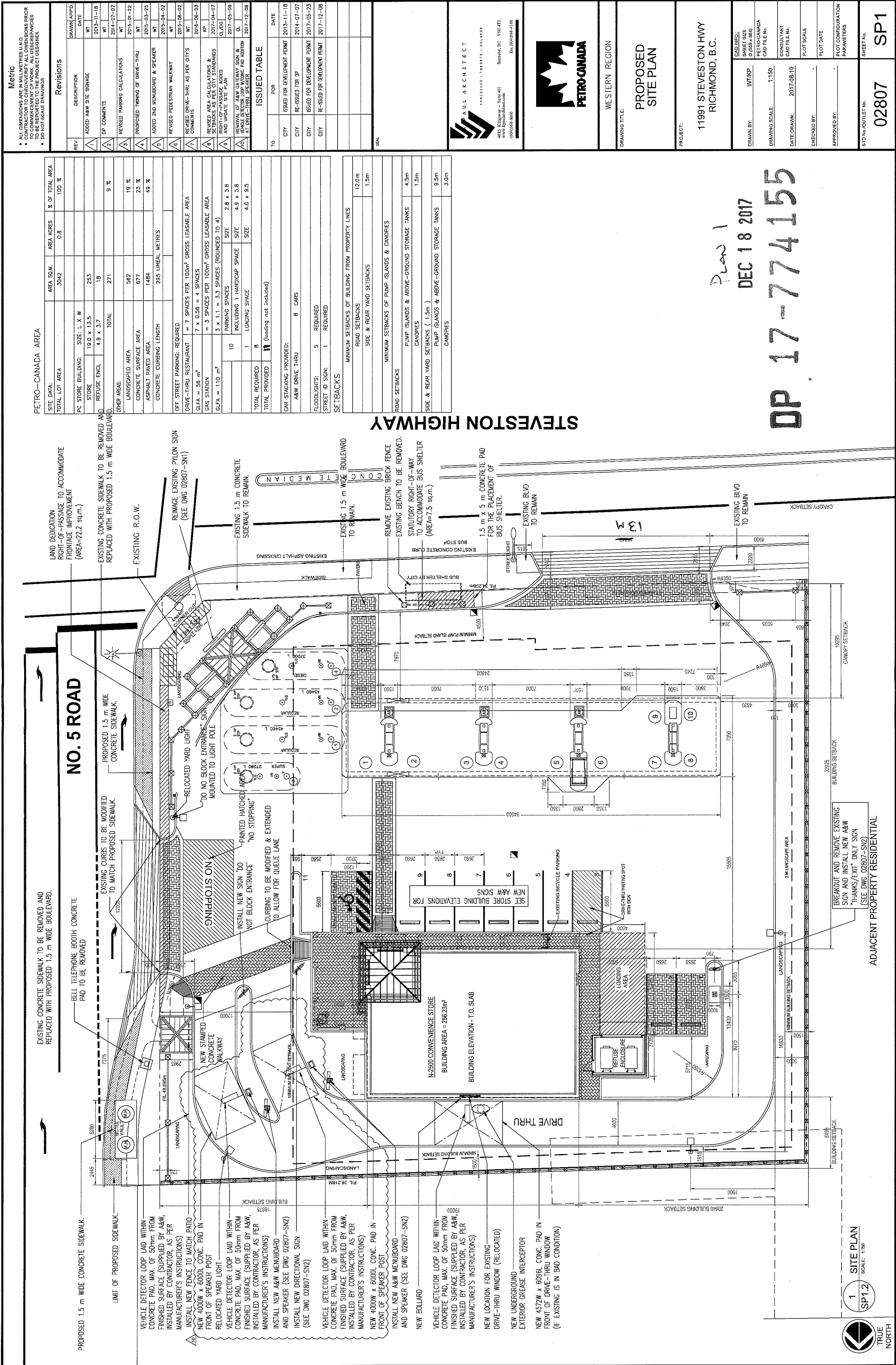


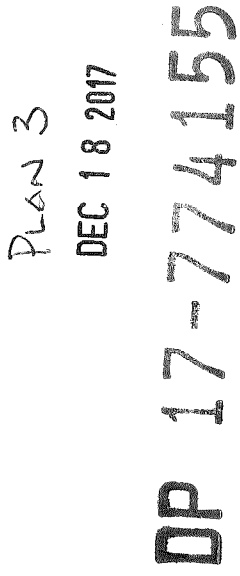
DP 17-774155
SCHEDULE "A"

Original Date: 06/15/17

Revision Date:

Note: Dimensions are in METRES





SCALE: 1:500

SCALE: 1:500

Revisions		DRAWN	APPRO.
REV.	DESCRIPTION	DATE	

Issue Table			
TO	FOR		DATE
CITY	ISSUED FOR DEVELOPMENT PERMIT		13 APR 2017
CITY	RE-ISSUED FOR DEVELOPMENT PERMIT		08 DEC 2017

SEAL

K. PAUL ARCHITECT

VANCOUVER • TORONTO • OTTAWA

4885 Kingsway - Suite 401
www.apundarchitect.com
Burnaby, BC V5H 4T2
(604) 568-6060 fax (604) 568-4160



FLINTCO
A Suncor Energy Business

WESTERN REGION

DRAWING TITLE:

PROPOSED
FLOOR PLAN

PROJECT:

NEIGHBOURS (A&W) REBRANDING

11991 STEVENSTON HWY @ No.5 ROAD

RICHMOND, BRITISH COLUMBIA

DRAWN BY:	C1	CAD INFO.:
		SHEET SIZE D (559 x 864)

DRAWING SCALE: 1:50

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DATE DRAWN: DEC 2017

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REV.	DESCRIPTION	DRAWN/APP'D.	DATE
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City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 19, 2017

From: Wayne Craig
Director, Development

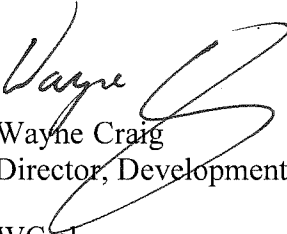
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Re: Application by Interface Architecture for a Development Permit at
7760 Garden City Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of four townhouse units at 7760 Garden City Road on a site zoned "Town Housing (ZT49) – Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the minimum required rear yard setback from 4.57 m to 3.0 m.


Wayne Craig
Director, Development
WC:el
Att.

Staff Report

Origin

Interface Architecture has applied to the City of Richmond for permission to develop four townhouse units at 7760 Garden City Road with vehicle access via a statutory right-of-way from the adjacent property to the south at 7733 Turnill Street. The site is being rezoned from “Single Detached (RS1/F)” zone to “Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)” zone under Bylaw 9682 (RZ 15-701939), which received third reading following the Public Hearing on July 17, 2017. The site currently contains one single family home, which will be demolished. A Servicing Agreement for frontage upgrades and service connections is required prior to Building Permit issuance.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, a townhouse site zoned “Town Housing (ZT33) – South McLennan (City Centre)”.
- To the east and south, a townhouse site zoned “Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)”.
- To the west, across Garden City Road, a low-rise apartment site zoned “Medium Density Low Rise Apartments (RAM1)”.

Rezoning and Public Hearing Results

The first Public Hearing for the rezoning of this site was held on March 20, 2017. At the Public Hearing, concerns related to vehicle access from 7733 Turnill Street were expressed. Three residents at 7733 Turnill Street requested Council to allow direct vehicle access to the development site from Garden City Road. Council referred the project back to staff.

In response to the Council’s referral, Transportation staff reviewed the proposal and advised Council that the preferred access for 7760 Garden City Road is through 7733 Turnill Street, as envisioned and secured through the development approval for 7733 Turnill Street. Granting access from Garden City Road is inconsistent with the access arrangement of previous townhouse developments north and south of the subject site which were required to remove access to Garden City Road in order to create a greenway and bicycle path along the frontage. Introducing a direct access for 7760 Garden City Road would diminish the pedestrian and cycling environment established on this 800 m block of Garden City Road.

In response to the Council's referral, the developer met with the Strata Council of 7733 Turnill Street and reached an agreement on the following terms for access from 7733 Turnill Street:

- provide traffic calming measures and signage on 7733 Turnill Street to the satisfaction of the Strata Council of 7733 Turnill Street;
- pay a one-time lump sum fee of \$10,000 to the Strata Council at 7733 Turnill Road for expenses including, but not limited to, exterior power wash of the buildings at 7733 Turnill Street, easement road maintenance, and landscape upgrades;
- employ a different unit numbering system (i.e., Unit 101 instead of Unit 1) to differentiate the units in the two complexes and to avoid addressing confusion;
- ensure there is no construction access to 7760 Garden City Road from 7733 Turnill Street; and
- establish an easement maintenance cost sharing agreement between the two strata corporations.

The second Public Hearing for the rezoning of this site was held on July 17, 2017. At the Public Hearing, the same concerns related to vehicle access from 7733 Turnill Street were once again expressed by two residents at 7733 Turnill Street. Staff provided Transportation Department's rationale for the use of the access easement on 7733 Turnill Street and advised that commitments have been made by the developer to address the concerns and these will be secured as a consideration to Rezoning. Council concluded the Public Hearing and granted 3rd Reading to the rezoning bylaw with vehicle access to be provided from 7733 Turnill Street.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the "Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)" zone except for the zoning variances noted below.

Zoning Compliance/VariANCES (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to reduce the rear yard setback from 4.57 m to a minimum of 3.0 m.

(Staff supports the proposed variance as it is intended to accommodate a projection on the ground floor and open deck spaces on the second floor of the proposed Building #1. This proposed rear yard (east) setback is similar to the setback provided on the adjacent townhouse units to the east of the subject site (i.e., approximately 3.0 m between the second floor balcony and the common property line). The setbacks to the second and third floor enclosed living space will remain at a minimum of 4.57 m from the east property line. New trees will be planted along the east property to provide privacy screening between the subject site and the adjacent townhouse units. This variance request was identified at Rezoning stage, and no concerns were identified at that time.)

Advisory Design Panel Comments

The subject application was not presented to the Advisory Design Panel on the basis that this small project generally meets all the applicable Development Permit Guidelines, and the overall design and site plan have adequately addressed staff comments.

Analysis***Conditions of Adjacency***

- Both the form and massing of the proposed development are consistent with the existing surrounding townhouse developments.
- The orientations of the proposed units are designed to match those of the existing units to the north, south and east, in order to minimize adjacency concerns.
- Eight new trees are proposed to be planted along the east property line to provide privacy screening at the rear yard interface between the proposed development and the existing townhouse units.
- Perimeter drainage will be secured through the Building Permit to ensure storm water is managed and addressed through the development and will not impact the neighbouring properties.

Urban Design and Site Planning

- The proposal consists of four units provided in two duplex clusters. Two units will have direct pedestrian access from the street and two units will have access from the internal drive aisle.
- Vehicle access will be through the existing access easement registered on the neighbouring townhouse development to the south/east at 7733 Turnill Street. No direct vehicle access to Garden City Road is permitted for the subject site.
- The proposal provides for a pedestrian-oriented streetscape fronting Garden City Road with a landscaped edge treatment, low metal fencing, and metal gates to the two street-fronting units. A separate pedestrian entrance from Garden City Road to the development site is proposed along the south property line to provide a direct access to the internal drive aisle from Garden City Road.
- The number of residential parking spaces proposed for this townhouse development exceeds the minimum parking requirement per unit within the City Centre area, and all units will have two residential vehicle parking spaces.
- Tandem parking is permitted under the ZT49 zone, and 50% of the units will have tandem garages (four tandem spaces in total). A Restrictive Covenant prohibiting the conversion of tandem parking area into habitable area will be secured as a condition of rezoning approval.
- One visitor parking space is proposed, which meets the minimum bylaw requirement.
- Six residential bicycle parking spaces and one visitor bicycle parking are provided, which are in compliance with the zoning bylaw minimum requirements.

- The provision of private outdoor spaces complies with the Development Permit Guidelines (minimum of 30 m² per unit) of the OCP. All units have private outdoor spaces consisting of front or rear yard and balconies on the second floors.
- Outdoor amenity space is proposed at the terminus point of the internal drive aisle to maximize casual surveillance opportunity and sun exposure. The size and location of the outdoor amenity space are appropriate in providing open landscape and amenity space convenient to all units.
- Additional outdoor amenity space (10% of the site area) as per the City Centre Amenity Space Provisions in the City Centre Area Plan is provided as a walkway and landscaped areas throughout the site.
- The required garbage, recycling and organic waste storage enclosures have been incorporated into the design of the west building to minimize the visual impact of these enclosures.

Architectural Form and Character

- The proposed building design is compatible to the adjacent townhouse development to the north and south. The applicant advised that the immediate multiple-family neighbourhood is comprised of a very eclectic mix of residential revival style. The proposed design has adapted an English Colonial Revival style.
- A pedestrian scale is generally achieved along the public streets and internal drive aisle through the inclusion of variation in building projections, recesses, entry porches, varying material/colour combinations, landscape features, and the use of individual unit entrances.
- Individuality of dwelling units is expressed visually by a dominant gable form for each unit's façade, and provided with a clearly separate main entry door/canopy/stoops.
- The overall appearance of the proposal conforms to the Design Permit Guidelines of the South McLennan area and should fit in well with the character of the surrounding area.
- The proposed building materials (Hardie plank cedarmill siding, Hardie shingle siding, fiberglass asphalt roof shingles, and wood trim/braces) are generally consistent with the Official Community Plan (OCP) Design Permit Guidelines and compatible with the character of the surrounding neighbourhood.
- The proposed gray/off-white colour scheme with heavy shingled cladding component will make this project stand out (rather than blend in) from the beige/brown/white trim colour scheme with horizontal siding and limited shingle accent, giving variety to the streetscape.

Landscape Design and Open Space Design

- Tree preservation was reviewed at rezoning stage. Based on the 2:1 tree replacement ratio goal stated in the OCP, 12 replacement trees are required for the removal of six trees. The applicant is proposing to plant 17 new trees on-site, including 9 conifers and 8 deciduous trees.
- Three trees on neighbouring properties are to be retained and protected. The applicant has submitted a tree protection plan showing the trees to be retained and the measures taken to protect them during development stage.

- Along Garden City Road, the front yards will be landscaped with layers of plantings, including flowering trees, shrubs, grasses and ground covers.
- Each unit will have a private yard with landscaping and a patio. The rear units will have rear lawn areas as well.
- The internal drive aisle will be paved in two colours of interlocking pavers, with columnar trees planted between garage doors.
- The outdoor amenity area is designed with a nature theme, incorporating flowering trees, shrubs, and climbing vines as natural features. A cedar pergola feature is also proposed to frame the entry to the children's play area.
- The play apparatus proposed is small in scale and is suitable for children from six months to four years of age. This includes a colorful lady bug, mushroom play pods, and a rustic seat. Soft rubberized paver tiles are proposed for the surfacing of the children's play area.
- Project signage will be provided along the Garden City Road frontage by the entry walkway and a directional sign will be provided at the vehicle entrance of 7733 Turnill Road.
- In order to ensure that the proposed landscaping works are completed, the applicant is required to provide a landscape security of \$36,060 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$1,000 per unit cash-in-lieu contribution (\$4,000 in total) has been secured as a condition of rezoning approval, consistent with the OCP.

Crime Prevention Through Environmental Design

- Unit end wall windows at 2nd floor levels will be provided for passive surveillance, especially at the pedestrian walkway from the internal drive aisle to Garden City, the visitor parking space (along south property line), as well as outdoor amenity area (along north property line).
- Bollard lighting / night sensor lighting are provided along the pedestrian walkway.

Sustainability

- The applicant has committed to achieving an EnerGuide rating of 82 for the proposed townhouses and to pre-ducting all units for solar hot water heating.
- A Certified Energy Advisor has confirmed that the proposed townhouse units will be designed to achieve an EnerGuide rating of 82. The report prepared by the Energy Advisor is on file and will be utilized through the Building Permit review process to ensure these measures are incorporated in the Permit drawings.
- The developer also advises that the following sustainability features will be incorporated into the development:
 - Use of low-flow toilets, showers, and lavatories in all units;
 - Use of Energy Star appliances in all units
 - Use of fibre cement siding as main cladding material

Accessible Housing

- The proposed development includes two convertible units in the west building that are designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space which has been dimensioned to allow for this in both units, if desired.
- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that meets applicable policies and Development Permit Guidelines, and fits into the existing context. The applicant has agreed to the list of Development Permit Considerations (signed concurrence on file) outlined in Attachment 2. On this basis, staff recommend support of this Development Permit application.



Edwin Lee
Planner I

EL:rg

Attachment 1: Development Application Data Sheet
Attachment 2: Development Permit Considerations



DP 17-778607

Attachment 1

Address: 7760 Garden City Road

Applicant: Interface Architecture

Earl Kim Wing Luk
Owner: Queenie Yu Yuk Law

Planning Area(s): South McLennan Sub-Area (City Centre)

Floor Area Gross: 721.1 m²

Floor Area Net: 501.9 m²

	Existing	Proposed
Site Area:	677.3 m ²	644.4 m ² (after road dedication)
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential CCAP: General Urban T4 South McLennan Sub-Area Plan: Residential, Townhouse up to 3 storeys over 1 parking level, Triplex, Duplex, Single-Family, with 0.75 base FAR	No Change
Zoning:	Single Detached (RS1/F)	Town Housing (ZT49) - Moffatt Road, St. Albans Sub-Area and South McLennan Sub-Area (City Centre)
Number of Units:	1	4

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	Max. 0.78	0.78	none permitted
Lot Coverage:	Building: Max. 40%	40%	none
Setback – Front Yard:	Min. 6.0 m	6.04 m	none
Setback – Side Yard (north):	Min. 1.5 m	1.52 m	none
Setback – Side Yard (south):	Min. 1.5 m	1.73 m	none
Setback – Rear Yard (east):	Min. 4.57 m	3.07 m (ground floor) 4.57 m (2 nd and 3 rd floor)	Variance Requested
Height (m):	Max. 12 m or 3 storeys	12.0 m	none
Off-street Parking Spaces – Residential (R) / Visitor (V):	1.4 (R) and 0.2 (V) per unit	2 (R) and 0.25 (V) per unit	none
Off-street Parking Spaces – Total:	6 (R) and 1 (V)	8 (R) and 1 (V)	none
Standard Parking Spaces:	7	7	none

Small Car Parking Spaces:	None when fewer than 31 residential spaces are required on site	2 (surplus stalls)	none
Tandem Parking Spaces:	Permitted	4	none
Handicap Parking Spaces:	None when fewer than 3 visitor parking spaces are required	0	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.5 (Class 1) and 0.25 (Class 2) per unit	none
Off-street Bicycle Parking Spaces – Total:	5 (Class 1) and 1 (Class 2)	6 (Class 1) and 1 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	Cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 4 units = 24 m ²	24 m ² Min.	none



**City of
Richmond**

Development Permit Considerations

Development Applications Department
6911 No. 3 Road, Richmond, BC V6Y 2C1

Address: 7760 Garden City Road

File No.: DP 17-778607

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of the Zoning Amendment Bylaw 9682.
2. Receipt of a Letter of Credit for landscaping in the amount of \$36,060.00 (based on the costs estimate provided by a CSLA registered landscape Architect including 10% contingency).

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Installation of appropriate tree protection fencing around all trees to be retained as part of the development prior to any construction activities, including building demolition, occurring on-site.
Note: Should the applicant wish to begin site preparation work after third reading of the rezoning bylaw, but prior to final adoption of the rezoning bylaw, the applicant will be required to obtain a Tree Permit and submit a landscape security (i.e. \$3,000) to ensure the replacement planting will be provided.
2. Submission of a Construction Parking and Traffic Management Plan to the Transportation Department. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
3. Incorporation of accessibility, CPTED and sustainability measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
4. Enter into a Servicing Agreement* for the design and construction of engineering infrastructure improvements. Works include, but may not be limited to:

Water Works:

- a. Using the OCP Model, there is 746.0 L/s of water available at a 20 psi residual at the Garden City Road frontage. Based on your proposed development, your site requires a minimum fire flow of 220.0 L/s.
- b. The Developer is required to:
 - Submit Fire Underwriter Survey (FUS) or International Organization for Standardization (ISO) fire flow calculations to confirm the development has adequate fire flow for onsite fire protection. Calculations must be signed and sealed by a Professional Engineer and be based on Building Permit Stage and Building designs.
- c. At Developers cost, the City is to:
 - Cut and cap the existing water service connection along the Garden City Road frontage.
 - Install a new water service connection complete with meter and meter box (to be placed on-site).

Storm Sewer Works:

- a. At Developers cost, the City is to:
 - Cut and cap the existing storm service connection at the northwest corner of the development site.
 - Cut and cap the existing storm service connection at the southwest corner of the development site.
 - Upgrade the existing storm service connection and IC, located along the Garden City Rd frontage.

Sanitary Sewer Works:

- a. At Developers cost, the City is to:
 - Cut and cap the existing sanitary service connection and remove the existing IC.
 - Install one new sanitary service connection complete with new IC within the existing SRW.

Initial: _____

Frontage Improvements:

- a. Developer to coordinate with BC Hydro, Telus and other private communication service providers:
 - To underground Hydro service lines.
 - When relocating/modifying any of the existing power poles and/or guy wires within the property frontages.
 - To locate all above ground utility cabinets and kiosks required to service the proposed development within the developments site. Please coordinate with the respective private utility companies and the project's lighting and traffic signal consultants to confirm the requirements and the locations for the above ground structures. If a private utility company does not require an above ground structure, that company shall confirm this via a letter to be submitted to the City.
- b. The Developer is required to:
 - Provide 2.0 m wide concrete sidewalk within the proposed 3 m wide PROP to connect the existing sidewalk both north and south ends.
 - Provide the sidewalk around the existing trees (if they are required to retain).
 - Provide grassed boulevard between existing road curb and the new sidewalk, and between the new sidewalk and east edge of the PROP SRW boundary.

General Items:

- a. Provide, prior to first SA design submission, a geotechnical assessment of preload and soil preparation impacts on the existing utilities fronting or within the development site, proposed utility installations, the adjacent developments and provide mitigation recommendations. The mitigation recommendations (if required) shall be incorporated into the first SA design submission or if necessary prior to pre-load.
 - b. Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
5. If applicable, payment of latecomer agreement charges associated with eligible latecomer works.
 6. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Department at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

Initial: _____

- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contains prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



City of Richmond

Development Permit

No. DP 17-778607

To the Holder: Interface Architecture

Property Address: 7760 Garden City Road

Address: 11590 Cambie Rd Unit 230
Richmond, BC V6X 3Z5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to reduce the rear yard setback from 4.57 m to a minimum of 3.0 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #4 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$36,060.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 17-778607

To the Holder: Interface Architecture
Property Address: 7760 Garden City Road
Address: 11590 Cambie Rd Unit 230
Richmond, BC V6X 3Z5

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

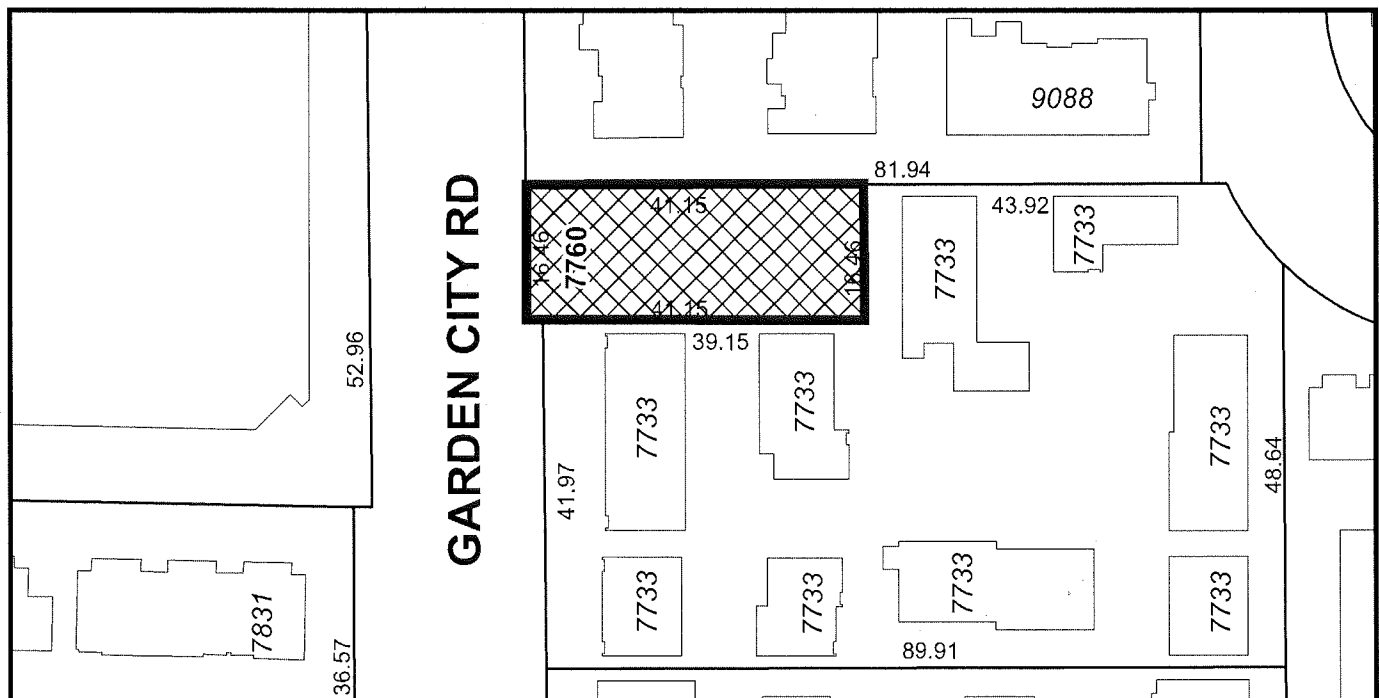
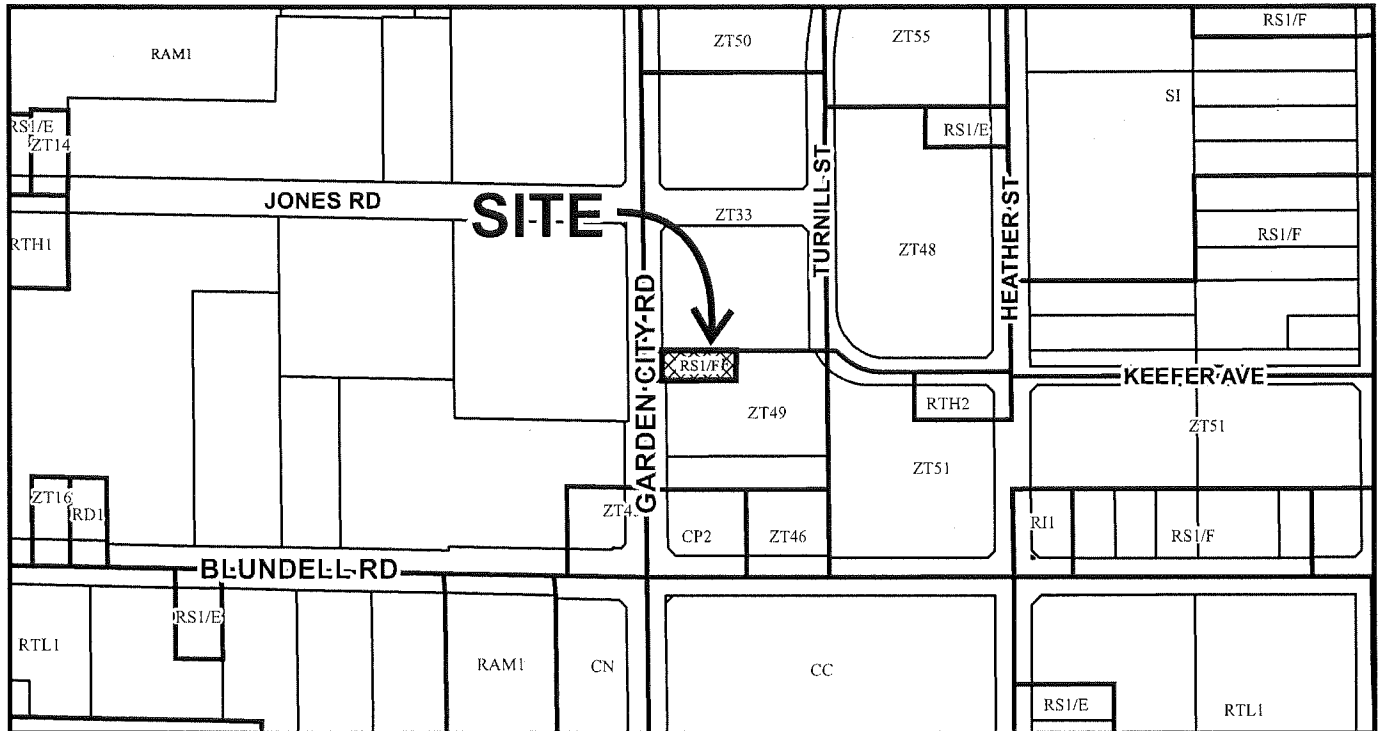
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 17-778607
SCHEDULE "A"

Original Date: 07/25/17

Revision Date:

Note: Dimensions are in METRES

CONTACTS

Architect

INTERFACE ARCHITECTURE INC.
#230 - 11590 Cambie Road
RICHMOND, B.C. V6X 3Z5
Tel: 604-821-1162
Fax: 604-821-1166

Attn: KEN CHOW
Email: ken@interfacedesign.com

Civil Engineer

DS / LE ENGINEERING
8771 COCK ROAD
RICHMOND, BC V6Y 3T8
Tel: 604-275-2555

Attn: DAVE LEE / ALEX SNOPEK
Email: davelee@dsleengineering.com

Surveyor

DHALIYAL AND ASSOCIATES
#216 - 12699 70TH AVENUE
SURREY, BC V3W 1E5
Tel: 604-501-6168
Fax: 604-501-6169

Attn: GLENN MURRAY
Email: glenn_murray@shaw.ca

Landscape Architect

K.R.ROSS & ASSOCIATES
1372 CHARTWELL DRIVE
WEST VANCOUVER, BC V7S 2R5
Tel: 604-418-9917
Fax:

Attn: KEITH ROSS
Email: krr@rsw.ca

Electrical Engineer

SRC ENGINEERING CONSULTANTS LTD.
4180 LOUGHHEAD HWY,
BURNABY, BC V5C 4B3
Tel: 604-288-9691
Fax: 604-288-9692

Attn: BILL KHANGOPA
Email: bill@src-eng.com

Mechanical Engineer

SRC ENGINEERING CONSULTANTS LTD.
4180 LOUGHHEAD HWY,
BURNABY, BC V5C 4B3
Tel: 604-288-9091
Fax: 604-288-9092

Attn: GEORGE GHATTAS
Email: george@src-eng.com

ENERGUIDE 82 COMPLIANCE

1. SOLAR HOT WATER READY REGULATION PER THE REQUIREMENTS OF THE BC SOLAR HOT WATER READY REGULATION.
2. HI VELOCITY SYSTEM INSTANTANEOUS HOT WATER COMBO SYSTEM DF 98.
3. 100% ENERGY STAR LIGHTING.

CONVERTIBLE UNIT FEATURES CHECKLIST

DOORS & DOORWAYS	ENTRY DOORS MIN. 985 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS
	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM LATCH SIDE (NOT NEEDED IF ROUGH-IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER) AUTOMATIC DOOR OPENER
VERTICAL CIRCULATION	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN HALLWAY AND ROOMS AND WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO SECURE ACCESS
	PATIO/BALCONY MIN. 860 MM CLEAR OPENING. NOTE HOW ACCESSED. ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BCBC.
VERTICAL CIRCULATION	STAIR LIFT: STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC.
	VERTICAL LIFT (ELEVATOR): DEPRESSED SLAB AREA AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC. FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
HALLWAYS	SPEC NOTE: ELVORON HOME ELEVATOR BY GARAVENTA (90 ENTRY / EXIT, STYPE 3), MAX. LOAD: 750LBS, SPEED: 40"[12.2M] / MIN. MAX. 6 STOPS, MAX. 50"[15.24M] TRAVEL.
	*** PROVISION FOR - IN UNIT B, B' (BUILDING 2) ***
GARAGE	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2'X12" SOLID LUMBER AT 914 MM TO CENTRE.
	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4M GARAGE WIDTH ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT
BATHROOMS (MIN 1 UNIT)	WALL BLOCKING FOR FUTURE GRAB BARS AT TOILET, TUB, AND SHOWER. REINFORCED WITH 2'X12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.

ZONING SUMMARY

CIVIC ADDRESS: 7760 GARDEN CITY ROAD, RICHMOND BC

LEGAL DESCRIPTION: LOT 72 SECTION 19 BLOCK 4 NORTH MCLENNAN CITY CENTRE

LOT SIZE: NEW WESTMINSTER DISTRICT PLAN 46184
ORIGINAL SITE: 7,230 SF = 0.167 ACRES [877.3 M2]
ROAD DEDICATION: 2.0M DEEP X 16.459M WIDE [32.92 M2]
NET SITE: 6,936 SF = 0.159 ACRES [644.4 M2]
PROP GREENWAY: 3.0M DEEP X 16.459M WIDE [49.4 M2]
HERITAGE/RESERVE: NO / NO / NO / NO
AREA PLAN / OCP: CITY CENTRE 10 / NEIGHBOURHOOD RESIDENTIAL

Zoning Bylaw No. 8500

PERMITTED/REQUIRED	PROJECT SPECIFICS (PROPOSED)
CURRENTLY: Y, R351F	Z149 PROPOSED (SOUTH MCLENNAN CITY CENTRE)
MINIMUM LOT SIZE:	354.0' [16.48M] WIDE X 128' [39.15M] DEEP
DENSITY (MAX):	FAR 0.78 [6.402 SF / 6,936 SF]
LOT COVERAGE:	40.0% [2,773 SF / 6,936 SF]
LOT PERMEABILITY:	34.1% [2,382 SF / 6,936 SF]
YARD SETBACKS:	
FRONT YARD (W)	6.04 M [19.79']
SIDE YARD 1 (N)	1.52 M [5.00']
SIDE YARD 2 (S)	1.73 M [5.67']
REAR YARD (E)	3.07 M [10.07']*
YARD PROJECTIONS:	
PRINCIPAL BLDG	N/A
1.0 M FRONT, 0.6 M REAR/SIDE	
BALCONIES	N/A
PERGOLAS ETC	N/A
ELEC, RM ETC	0.43 M [1.41'] SIDE
FINISH SITE GRADE:	= AVG FINISHED SITE GRADE = 1.17M [3.84']
BUILDING HEIGHT:	12.0 M [39.37'] (3-STORIES)
FLOORPLAN C.L.	1488 FLR 0.3M MIN ABOVE RD CROWN
PARKING REQUIRED:	8 RESIDENT SPACES (2 UNIT) (6 STD, 2 SMALL) 1 VISITOR SPACES (1 STD) 2 SMALL SPACES PROVIDED ABOVE THE 8 REQUIRED 50% (2 UNITS / 4 UNITS)
SMALL CARS	
TANDEM SPACES	
H/C SPACES	
BICYCLE PARKING:	
CLASS 1	5 (1.25 PER UNIT)
CLASS 2	1 (0.2 PER UNIT)
AMENITY SPACE:	
COMMON OUTDR	24 M2 [6 M2/UNIT X 4] + 64.4 M2 [10% OF SITE]
PRIVATE OUTDR	37 M2 [695 SF/UNIT MIN]
INDOOR	70 M2 OR PAX-IN-LEU
GARAGE DEPOT:	CURB SIDE PICK UP REQUESTED
GARBAGE	1 ROLLING CART (95 gal)
RECYCLE PAPER	1 ROLLING CART (95 gal)
RECYCLE CONTN	1 ROLLING CART (95 gal)
RECYCLE GLASS	1 ROLLING CART (95 gal)
FOOD SCRAPS	1 ROLLING CART (95 gal)
CARDBOARD	1 ROLLING CART (95 gal)
NOTE: ★ ZONING VARIANCE REQUIRED	

KITCHEN	CABINETS UNDERNEATH SINK ARE EASILY REMOVED. DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT). CLEAR AREA NEEDED UNDER FUTURE WORKSPACE. PLUMBING AND GAS PIPES (IN-WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORKSPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN NO HIGHER THAN 304 MM TO 395 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL CABINETS IS UNDERNEATH SINK ARE EASILY REMOVED. 1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM LEVER-TYPE HANDLES FOR PLUMBING FIXTURES. MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM) PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF CONTROL CENTRE FOR SMART HOME OPTIONS. UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.
WINDOWS	
OUTLETS & SWITCHES	

AGING-IN-PLACE MEASURES (ALL UNITS)

ALL ROOMS	LEVER TOGGLE-TYPE ELECTRICAL SWITCHES LARGE TOGGLE-TYPE ELECTRICAL SWITCHES MINIMIZE THRESHOLD HEIGHTS (LESS THAN 1/2") WHERE POSSIBLE MINIMIZE CONTRAST IN COLOURS OF FLOOR FINISHES WHERE POSSIBLE WALL BLOCKING FOR FUTURE ADDITIONAL HANDRAIL INSTALLATION INTERMEDIATE STAIR LANDINGS WHENEVER POSSIBLE LESS STEEP RISE/RUN DIMENSIONS WHERE POSSIBLE SOLID WALL BLOCKING FOR FUTURE GRAB BAR INSTALLATION (AT BATHTUB, TOILET) LEVER TYPE HANDLES FOR PLUMBING FIXTURES AND DOOR HANDLES 2-8" SLIDING DOORS WHERE POSSIBLE LEVER HANDLE TAPS AND FAUCETS MIN. 900 MM WIDTH
STAIRS & LANDINGS	
BATHROOMS	
KITCHEN	
HALLWAYS	

LOCATION PLAN

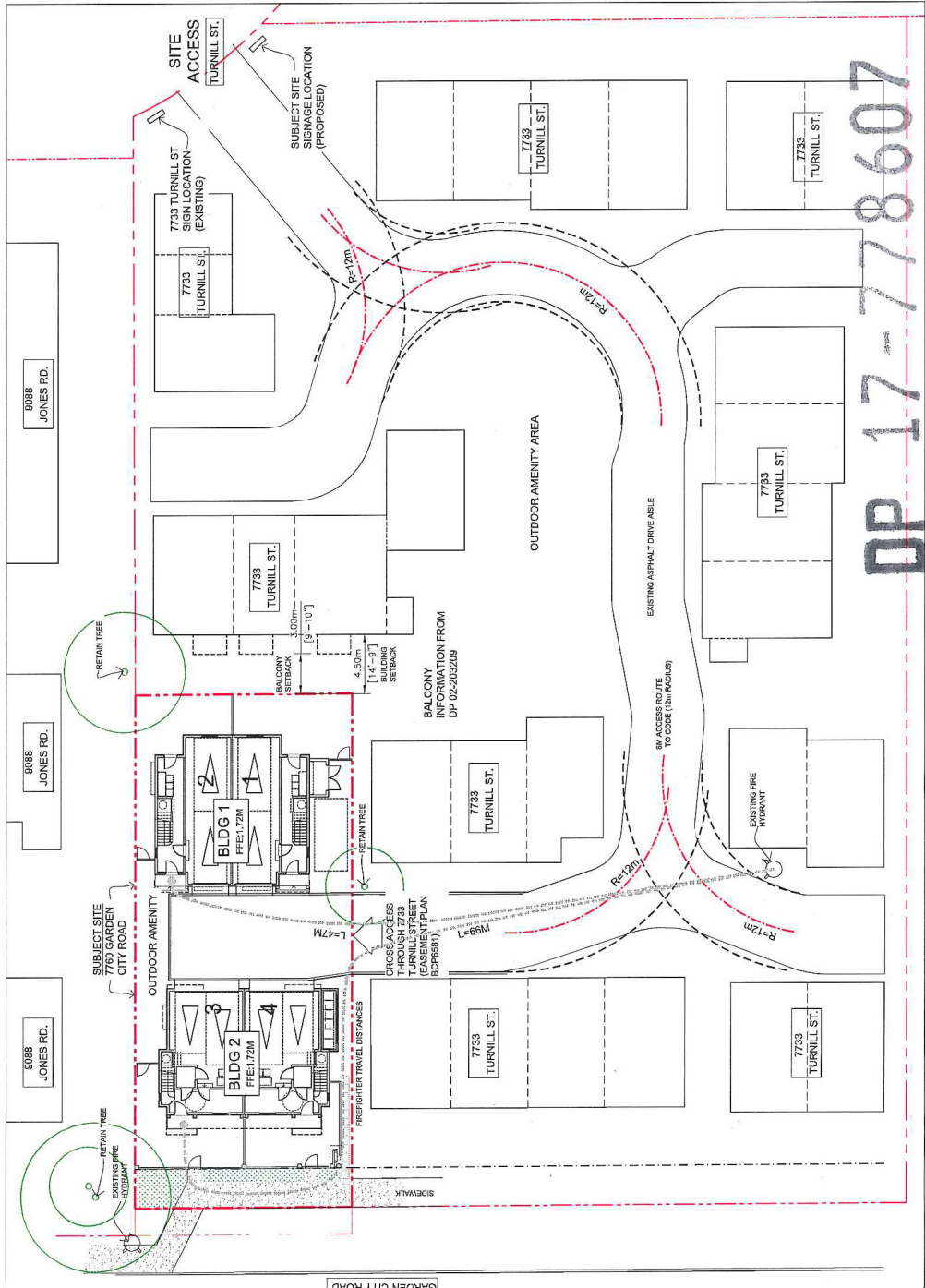


FLOOR AREA BREAKDOWN (UNITS, BLDGS)

UNIT TYPE	FAR AREA UNIT	GROSS AREA UNIT	BLDG 1 (A+A)	BLDG 2 (B+B)	TOTAL	STAIR & EXEMPT	FAR AREA
1 (A)	1293 sf	1,865 sf	3,790sf	892 sf	892 sf	(312 sf)	2,568 sf
2 (A)	1293 sf	1,865 sf	3,972sf	844 sf	844 sf	(312 sf)	2,816 sf
3 (B)	1408 sf	1,986 sf					
4 (B')	1408 sf	1,986 sf					

CITY PERMITS

REZONING PERMIT APPLICATION	BUILDING PERMIT APPLICATION	SITE SERVICING AGREEMENT
RZ 15-701939	DP 17-778607	



PROJECT DESCRIPTION

THIS PROJECT PROPOSES A Z149 REZONING OF THE 677.3 M2 [7,290 SF] SITE IN MCLENNAN SOUTH (OCP 2.100) TO PERMIT THE DEVELOPMENT OF A 4-UNIT TOWNHOUSE PROJECT.

A 2MDEEP DEDICATION IS REQUIRED ACROSS THE FULL GARDEN CITY FRONTAGE. BEHIND THIS PROPERTY LINE, A FURTHER 3MDEEP DEDICATION (PUBLIC-RIGHT-OF-PASSAGE) IS REQUIRED AS A PUBLIC GREENWAY/PEDESTRIAN WALKWAY. THE NET SITE SIZE IS 6,936 SF (34.1% X 3,128.95').

THE INFILL TOWNHOUSE PROJECT (2 DUPLICATIONS) IS READY TO PROCEED AFTER RESOLVING SEVERAL KEY ISSUES: ELECTRICAL TRANSFORMER OFF-SITE: "BC-HYDRO WILL PROCEED WITH A POLE-MOUNTED TRANSFORMER ACROSS THE STREET AND A DIP SERVICE CROSSING GARDEN CITY ROAD TO SERVICE YOUR DEVELOPMENT." (ALEX SNOPEK EMAIL, DS LEE ENGINEERING, MAY 20, 2016).

DENSITY: PLANNING CLARIFIED THAT THE MAX PERMITTED DENSITY IS 0.75 FAR, BUT 0.78 IS POSSIBLE WITH VALID SITE-SPECIFIC BONUSING. THE 0.78 FAR WAS ACHIEVED AFTER THE PROJECT ACCOMMODATED TWO CONVERTIBLE UNITS, EACH WITH PRE-BUILT ELEVATOR SHAFTS ALLOWING FUTURE CONVERSION TO WHEELCHAIR UNITS.

CROSS-ACCESS TO SITE: THE SITE UTILIZES A PRE-EXISTING CROSS-ACCESS EASEMENT REGISTERED ON TITLE OF THE SOUTH NEIGHBOUR FOR A PACKAGE OF TRAFFIC MANAGEMENT MEASURES, SITE SIGNAGE, AND A SHARE OF THE MAINTENANCE COSTS FOR THE EASEMENT ROUTE.

FIRE ACCESS & SIGNAGE: THERE SHALL BE SIGNAGE (TO THE SUBJECT SITE) LOCATED AT THE MAIN SITE ENTRY OF 7733 TURNHILL STREET. THERE SHALL ALSO BE PROJECT SIGNAGE AT THE COMMON CROSS-ACCESS POINT.

PARKING: THIS CITY CENTRE SITE PERMITS DWELLING UNITS WITH TANDEM PARKING AND A RESIDENTIAL PARKING RATIO OF 1.4 SPACES PER UNIT (I.E. 6 SPACES TOTAL), PLUS 1 VISITOR SPACE. THE PROJECT MEETS THIS REQUIREMENT AND PROVIDES AN ADDITIONAL 2 SMALL CAR SPACES (I.E. 8 ENCLOSED RESIDENT SPACES AND 1 OUTDOOR VISITOR SPACE).

OUTDOOR AMENITY: THE REQUIREMENT OF 6M2 UNIT FOR THE COMMON OUTDOOR AMENITY SPACE IS MET (24 M2). IT IS LOCATED AT THE END OF THE DRIVE ASLE TO SERVE AS A VISUAL TERMINUS. THE COAP GUIDELINE FOR ADDITIONAL LANDSCAPED AREA (10% OF SITE AREA) WAS ALMOST ACHIEVED (6.7%).

GARAGE/RECYCLE MAIL BOXES: ONE COMMON DEPOT AREA AND A GROUP MAIL BOX WILL BE PROVIDED AT THE SW CORNER OF THE SITE, ACCESSED VIA COMMON WALKWAY TO GARDEN CITY ROAD (BY UNIT #4). THE GARAGE ENCLOSURE ENCOMPASSES OVER THE SIDEYARD SETBACK BY LESS THAN 0.2 M (0.2 M).

LANDSCAPING: (1) REAR YARD SETBACK IS REQUIRED TO BE 4.3M, BUT WE ARE REQUESTING A SETBACK FOR THE EXISTING TREES, WHICH ARE 3.0M TO 3.5M (1.5 M [5'-11"] ENVOUCHMENT) - THE UPPER LEVELS ARE SET BACK TO THE ZONING REQUIREMENT.

DRAWING LIST

Architectural	Survey
A1.1 PROJECT DATA AND SITE ACCESS PLAN	SURVEY DATED APRIL 13, 2015
A1.2 SITE, PARKING, FIRE PROTECTION PLANS	
A1.3 SITE PERMEABILITY / LOT COVERAGE / OUTDOOR SPACE OVERLAYS	
A1.4 FAR OVERLAY	
A2.1 FLOOR PLANS: UNITS A, B	
A2.2 ELEVATIONS: BUILDINGS 1, 2	
A3.1 SITE SECTIONS: S1, S2, S3	
A3.2 SITE SECTIONS: S4, S5, S6, S7	
Landscape Plan	
L-1 LANDSCAPE PLAN	
L-2 DETAILS	

INTERFACE:

Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1162
F 604 821 1166
www.interfacearchitecture.com

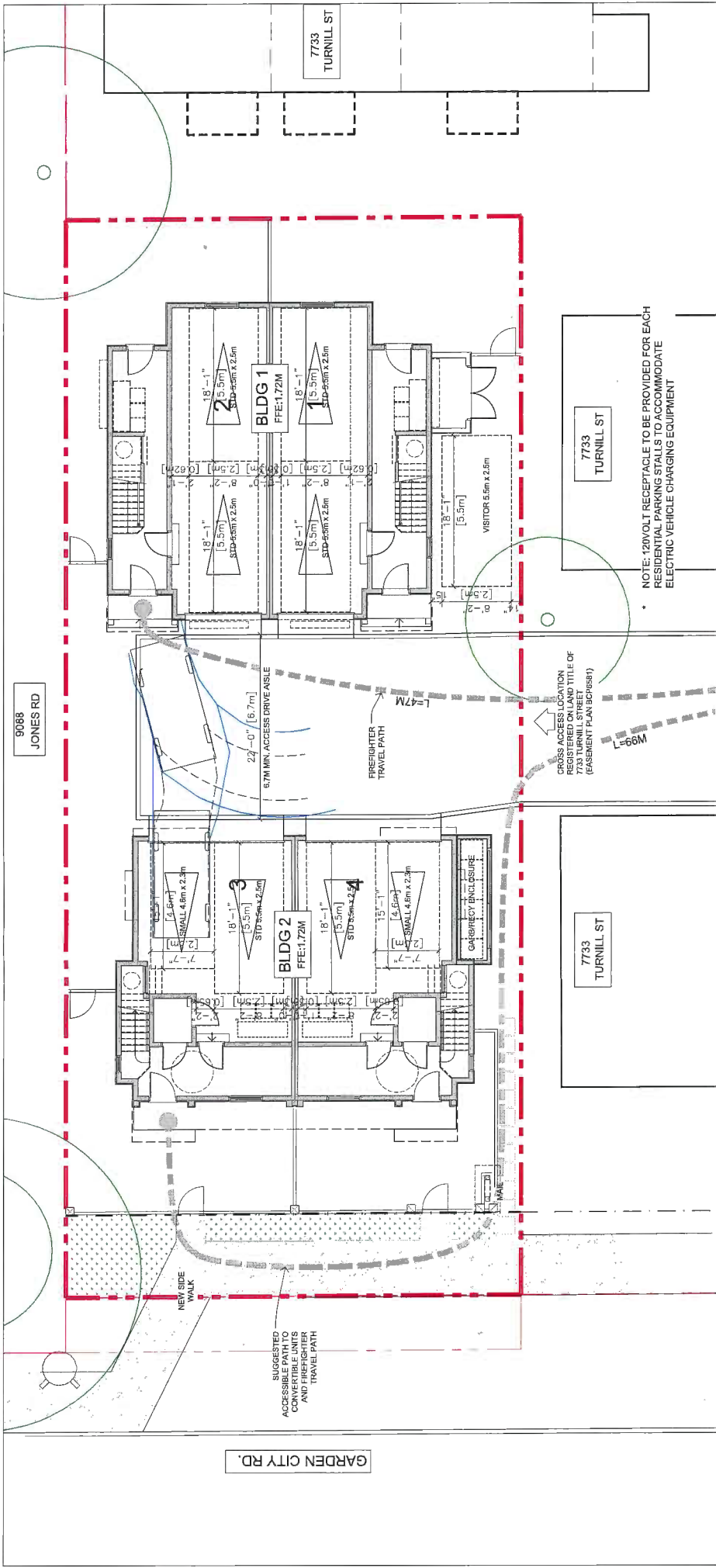
PROJECT	Proposed 4-Unit Townhouse Development 7760 Garden City Road Richmond, B.C.
PROJECT NO.	1511
SCALE	As Noted
DATE	May, 05, 2014
DRAWN BY	KYC, SRS, AL
CHECKED BY	KYC
SHEET TITLE	PROJECT INFORMATION AND SITE ACCESS CONTEXT PLAN
DRAWING	

REVISIONS	
DEC 13, 2017	DP Resubmission
NOV 16, 2017	DP Resubmission
OCT 19, 2017	DP Resubmission
JUL 14, 2017	DP Application
JAN 25, 2017	R2 Resubmission
MAY 29, 2015	Issued for R2 Application
CONSULTANTS	
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SEAL	

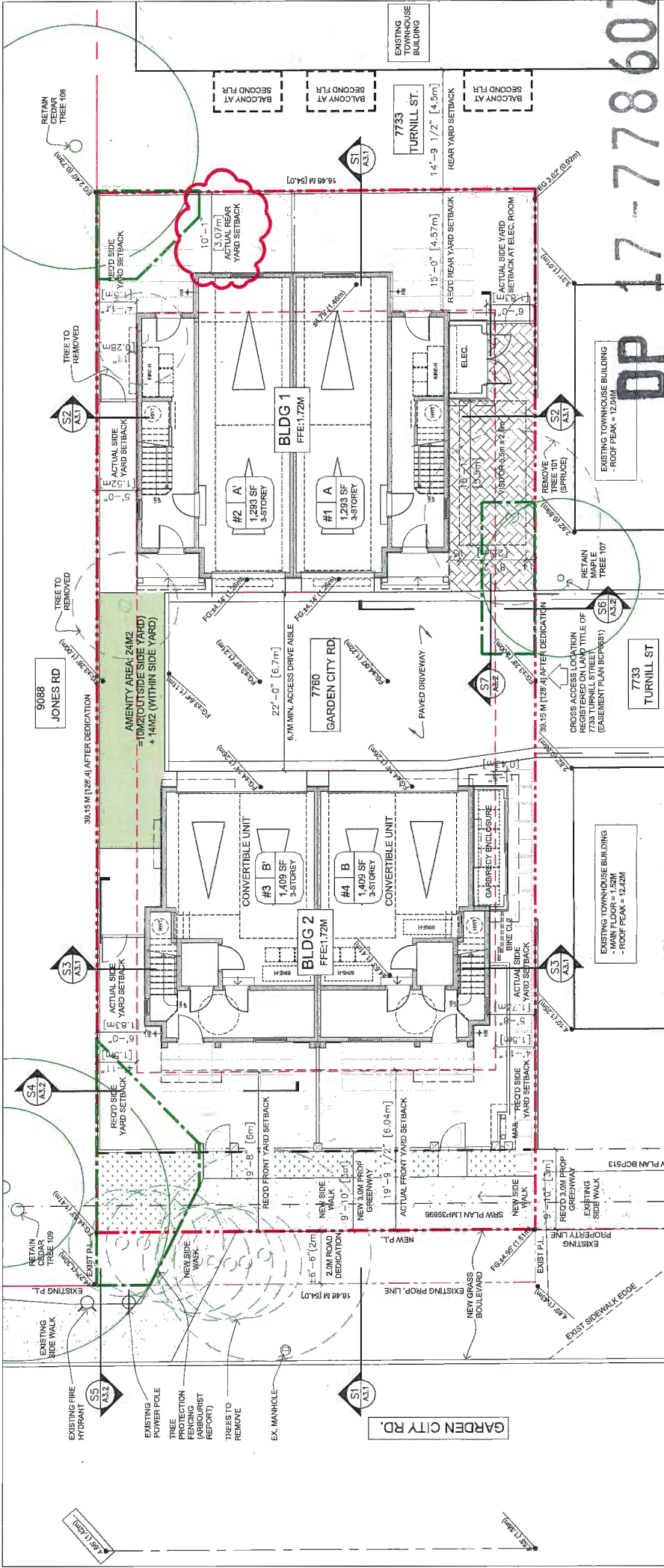
INTERFACE:
Suite 230
11590 Cambie Road
Richmond, B.C. V6V 1K2
Canada V6X 3Z5
T 604 821 1162
F 604 821 1146
www.interfacearchitecture.com

PROJECT	Proposed 4-Unit Townhouse Development 7789 Garden City Road Richmond, B.C.
PROJECT NO.	1811
SCALE	As Noted
DATE	May, 05, 2014
DRAWN BY	KYC, SRS, AL
CHECKED BY	KYC
SHEET TITLE	SITE PLAN AND FIRE PROTECTION AND PARKING PLAN
DRAWING	

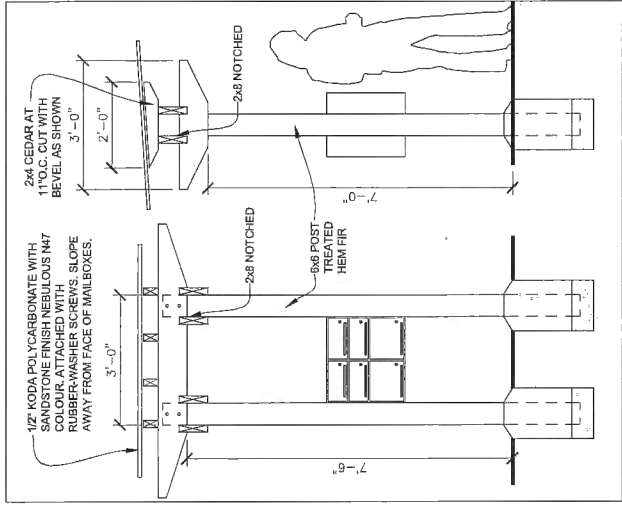
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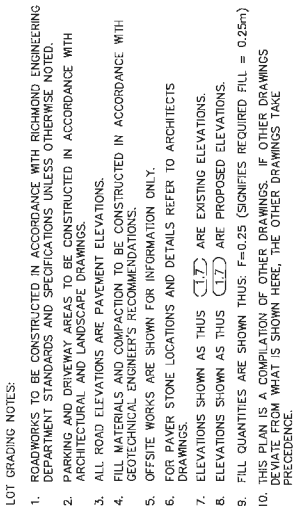
FIRE PROTECTION AND PARKING PLAN
SCALE: 1/8"=1'-0"



PROPOSED SITE PLAN
PLAN #2
DEC 19 2017
SCALE: 1/8"=1'-0"



MAIL KIOSK DETAIL
SCALE: 1/2"=1'-0"



BC GAS SERVICES

NOTE: BC GAS REQUIRES 10 DAYS NOTICE PRIOR TO THE COMMENCEMENT OF ANY WORK.

ALL ELEVATIONS ARE TO GEODETIC DATUM AND REFER TO RICHMOND BENCHMARK NUMBER.

OCM 77H4492

ALL MATERIALS AND CONSTRUCTION TO BE IN ACCORDANCE WITH THE CURRENT "MASTER MUNICIPAL CONSTRUCTION DOCUMENTS (MMCD)" ARE THE CURRENT CITY OF RICHMOND "SUPPLEMENTARY SPECIFICATIONS AND DETAIL DRAWINGS", UNLESS OTHERWISE NOTED.

100 - 21320 GORDON WAY, RICHMOND, BC 604-276-2555

DS Lee Project No. 980-2
DWG. No. 1 OF 1

[illegible]

6911 No. 3 ROAD RICHMOND B.C. V5Y 2C1

7760 Garden City Road

CITY FILE: SA - - - - -

[illegible]

DWG. No.: —

SFC. No.: 15-4-6	SHT. No.: 1 of 1
------------------	------------------

- MAIN FLOOR = 3,79M
- ROOF PEAK = 13,31M


~~SCALED TO FIT~~



~~ALL DISTANCES ARE IN METRES~~



ALL DISTANCES ARE IN METRES



APPENDIX 3

TREE PROTECTION PLAN

TREE PROTECTION FENCING

Minimum Radial Distance from trunk

#	Type	DBH	Metres	Feet
107	Maple	20cm	3.0m	9.8ft
108	Western Redcedar	45/30cm	4.0m	13.1ft
109	Deodar Cedar	85/39cm	7.0m	23.0ft

TREE INVENTORY

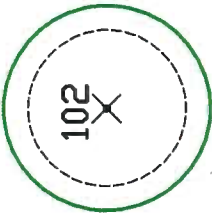
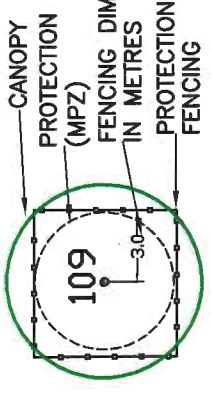
#	Type	Action	DBH	MPZ
101	Spruce	Remove	50cm	3.0m
102	Ginkgo	Remove	32cm	1.9m
103	Plum	Remove	45cm	2.7m
104	Excelsa	Remove	30/20cm	2.4m
105	Excelsa	Remove	20cm	1.2m
106	Excelsa	Remove	22cm	1.3m
107	Maple	Retain	20cm	1.2m
108	Redcedar	Retain	45/30cm	3.2m
109	Deodar Cedar	Retain	85/39cm	5.4m
DBH- trunk diameter, MPZ- protection zone				

DBH- trunk diameter, MPZ- protection zone

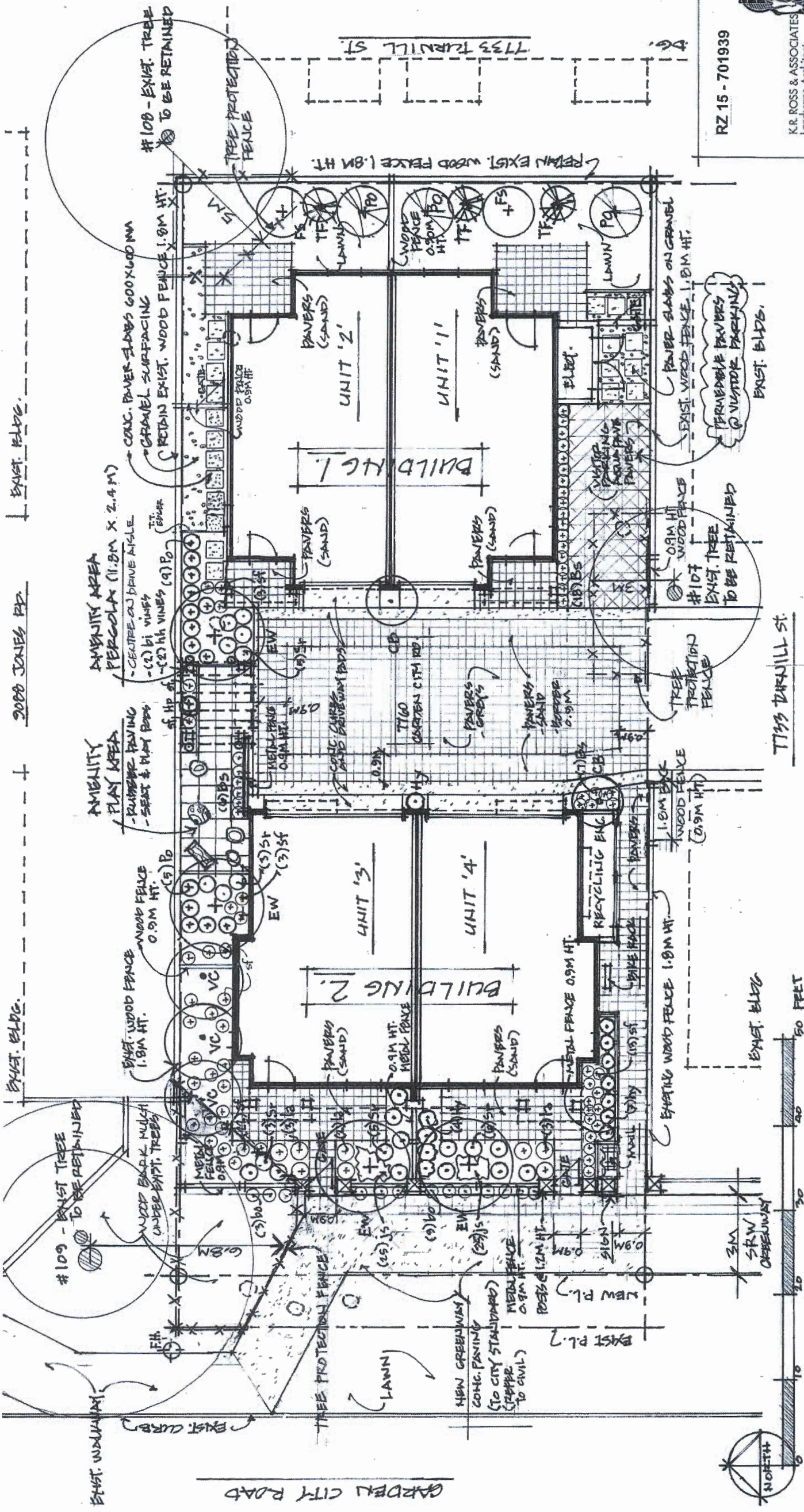
NOTES:

1. SITE LAYOUT INFORMATION AND TREE SURVEY DATA PER SUPPLIED DRAWING
2. REFER TO ATTACHED TREE PROTECTION REPORT FOR INFORMATION CONCERNING TREE SPECIES, STEM DIAMETER, HEIGHT, CANOPY SPREAD AND CONDITION.
3. ALL MEASUREMENTS ARE METRIC.

TREE PROPOSED
FOR REMOVAL



<p>Froggers Creek Tree Consultants Ltd</p>	<p>7763 McGregor Avenue Burnaby BC V5J 4H4 Telephone: 604-721-6002 Fax: 604-437-0970</p>	<p>DRAWN BY: GM</p>
	<p>7760 Garden City Road Richmond</p>	<p>October 12, 2017</p>



Landscape Plan
3/16" = 1'-0"

DP 17-778607
PLAN #3A

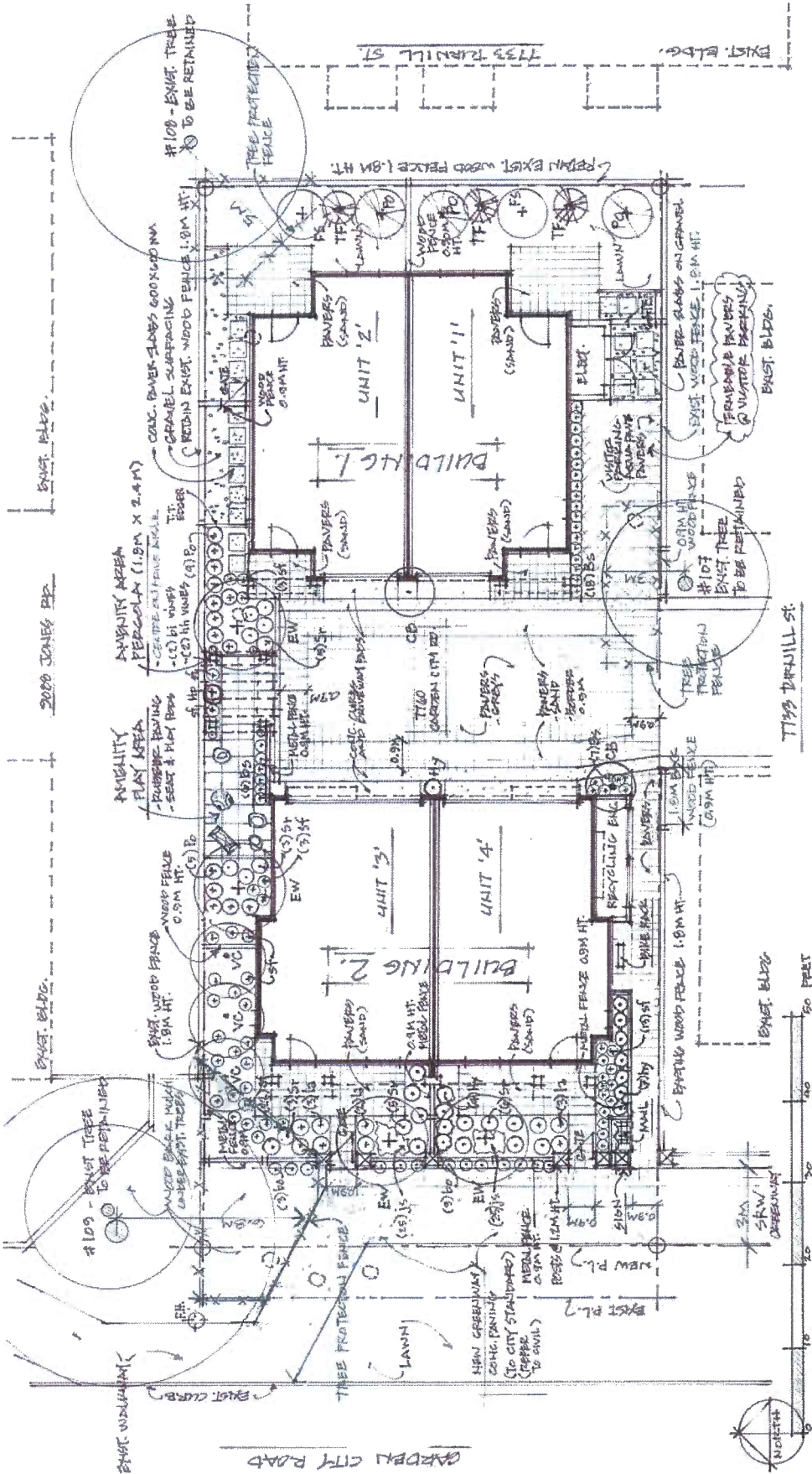
DEC 19 2017

RZ 15 - 701939



7760 GARDEN CITY ROAD
4-UNIT RESIDENTIAL DEVELOPMENT
Richmond, B.C.

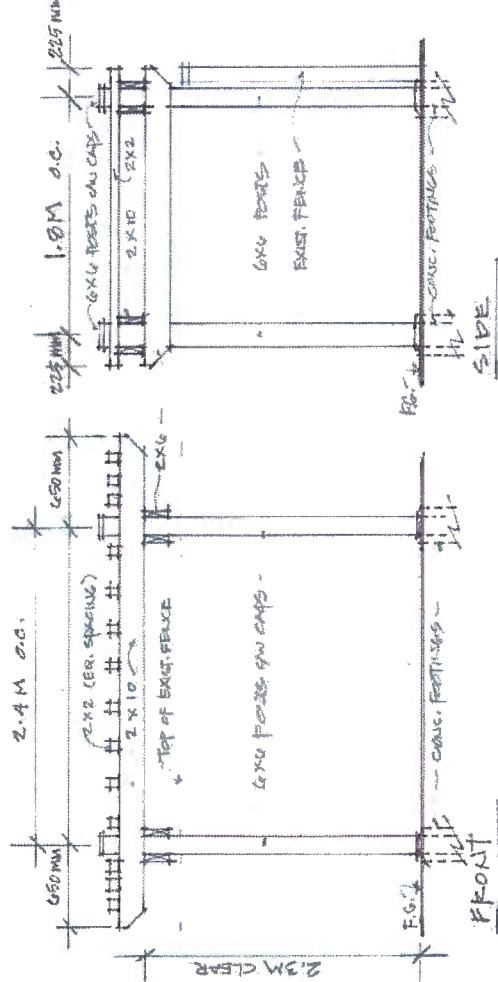
DESIGNED	FR	DRAWN	FR
SCALE	AS SHOWN	DATE	13 DEC 2017
DRAWING NO.			L-1



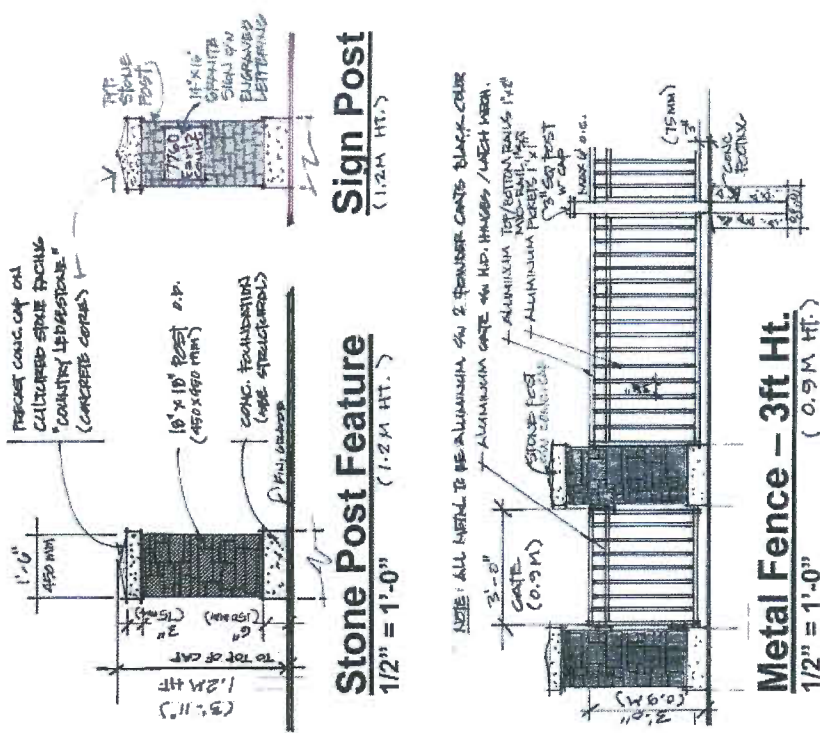
Landscape Plan
1/8" = 1'-0"

REPLACEMENT TREES TABLE

Existing Trees to be Removed =	6 trees
Required Replacement Trees =	12 trees
(Including 50% of replacement trees to be removed)	
(a minimum size of 4 m high / 8 cm caliper)	
Proposed Replacement Trees =	12 trees



Pergola Feature at Amenity
1/2" = 1'-0"



Stone Post Feature
1/2" = 1'-0"

Sign Post
(1.2 M HT.)

Metal Fence - 3ft Ht.
1/2" = 1'-0"

PROJECT NOTES

- GENERAL:**
- Locate all underground and overhead utilities on site prior to start of work.
 - Refer to Architectural/Civil plans to confirm final grades and site drainage.
 - Provide underground ducts under paved areas for irrigation as required.
- PLANTING AREAS:**
- All landscape materials, products, and installation to conform to the latest edition of the "BC Landscape Standard".
 - Contractor to provide one year warranty on all plant material and lawns.
 - All planting beds to have 2" deep mulch layer of Hemlock/Douglas Fir mulch on 18" deep approved topsoil growing medium.
 - All lawn areas to be nursery sod on 6" deep approved topsoil.
- PROTECTION OF EXISTING TREES:**
- Refer to Arborist Report for existing trees to be protected and required tree protection measures.
 - Tree Protection Fencing to be installed prior to construction and maintained until project completion.
 - No work shall be carried out within the root protection zone except under the direct supervision and control of the Project Arborist.
- PAVING AREAS:**
- Concrete Unit Pavers: to be "Old Country Stone" supplied by Abbotsford Concrete Products (or approved equal).
 - For all vehicular areas use 80mm depth pavers, "Gray Blend" and "Desert Sand Blends" colours - as per landscape plan layout.
 - Pattern: "Random Offset Runner". For edge borders use single colour standard pavers in soldier course. Install as per manufacturer's specifications - complete with invisible edge restraints to approval.
 - Permeable Concrete Unit Pavers, "AQUA-Pave" supplied by Abbotsford Concrete Products (or approved equal) "Grays Blend" colours. Install as per manufacturer's specifications - complete with invisible edge restraints.
 - Precast Concrete Slabs: 24" x 24" x 2" hydra-pressed slabs by Abbotsford Concrete Products (or approved equal). Natural colour.
 - Gravel Areas: to be 3/4" diameter crushed granite stone to approval.
 - Install 4" deep on approved weed barrier fabric. Install treated timber wood edgers (2 x 6") as required - to approval.
 - Roburized Play Surfacing: 24" x 24" tiles product by "Dynoflex" (or approved equal). Colours: brown "Stone Beige" with green "Forest Green" in checkerboard pattern at amenity area. Install as per manufacturer's specifications - complete with invisible edge restraints, drainage, granular base, and sand layer to approval. Perimeter edgers to be 2x6" treated timber edgers flush to grade with stakes at 30" o.c. minimum.
- WOOD STRUCTURES:**
- All wood fences, gates and pergolas to be cedar with 2 coats of approved wood stain. Colour to match architectural - to approval.
 - Use galvanized and/or stainless steel hardware (nails, screws, latches, hinges, fittings, etc.) to provide rust proof connections.
 - Wood fence posts and pergola posts to be preservative treated and installed in concrete footings - or approved metal anchor systems.
- SITE FURNISHINGS:**
- Bike Rack: Blue Imp "CAAT Rack" Model BR-141/141B (1 required).
 - Bench: Blue Imp "Log Bench" Model PK-201201B (4ft long), 1 required.
 - Play Toy: Blue Imp "Ladybug" Model CN-918 (1 required).
 - Play Toy: Blue Imp "Mushroom Pods" Model PH-111.
 - Mixed sizes (3 required).
 - Supplier: Blue Imp Playground products supplied by Swing Time Distributors, North Vancouver, BC Ph. 604-990-9167.
 - Install all site furnishings per manufacturer's specifications.

PLANT LIST

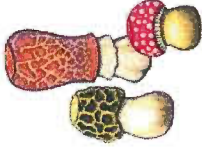
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
TREES				
AC	3	Acer circinatum	Vine Maple	1.8M Ht.
CB	2	Carpinus betulus 'Frans Fontaine'	Frans Fontaine	Multi-stem 5.0m cal
EW	4	Cornus 'Eddie's White Wonder'	Edible White Wonder	Columnar 6cm cal.
FS	2	Fagus sylvatica 'Dawyckii'	Dawyck Beech - Green	8m cal. B&B
PO	3	Picea omorika	Serbian Spruce	3.5M Ht. B&B
TF	3	Thuja occidentalis 'Fastigata'	Pyramidal Cedar	2.0M Ht. B&B
SHRUBS				
Bs	31	Buxus sempervirens	Common Boxwood	#2 pot 30cm o.c.
Hp	1	Hydrangea petiolaris	Climbing Hydrangea	#3 pot
PO	14	Prunus laurocerasus 'Otto Luyken'	Otto Luyken	#3 pot
Sr	22	Spiraea bumalda 'Goldflame'	Goldflame Spiraea	#3 pot
Hy	12	Taxus x media 'Hicksii'	Hick's Yew	1.2M Ht. B&B
PERENNIALS				
Bo	13	Heliotropium	Blue Out Grass	#3 pot
Js	50	Pachysandra terminalis	Japanese Spurge	10cm pot 30cm o.c.
La	8	Lavandula angustifolia 'Hidcot'	English Lavender	#3 pot
Sf	43	Polystichum munifolium	Sword Fern	#2 pot 45cm o.c.
hh	2	Conocarpus japonica	Hall's Honeysuckle	#3 pot
bi	2	Parthenocissus tricuspidata	Boston Ivy	#3 pot



Seat



Play - Ladybug



Play - Pods



Bike Rack

RZ 15 - 701939



K.R. ROSS & ASSOCIATES
Landscape Architects

7760 GARDEN CITY ROAD
4-UNIT RESIDENTIAL DEVELOPMENT
Richmond, B.C.

DRAWING TITLE	PLAN # 3a
LANDSCAPE PLAN & DETAILS	
DESIGNED	KRL
CHECKED	KRL
SCALE	As Shown
DATE	13 DEC 2017
DRAWING NO.	L-2

PLAN # 3B
DEC 19 2017

DP 17-778607

REVISIONS	
DEC 13, 2017	DP Resubmission
NOV 16, 2017	DP Resubmission
OCT 19, 2017	DP Resubmission
JUL 14, 2017	DP Application
JAN 25, 2017	RZ Resubmission
MAY 28, 2015	Issued for RZ Application
CONSULTANTS	

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INTERFACE

Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5

T 604 821 1162
F 604 821 1146
www.interfacearchitect.com

PROJECT

**Proposed 4-Unit
Townhouse Development**
7760 Garden City Road
Richmond, B.C.

PROJECT NO.

SCALE

DATE _____

May. 0

DRAWN BY

KYC, S	
--------	--

100

ELEVATIONS:
BUILDINGS 1, 2

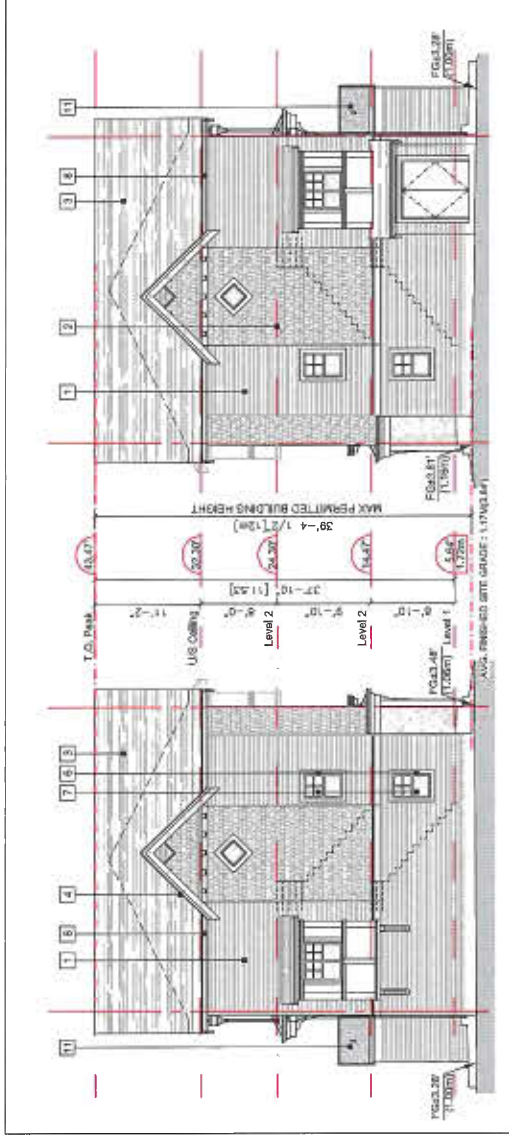
DRAFTING

A2.3



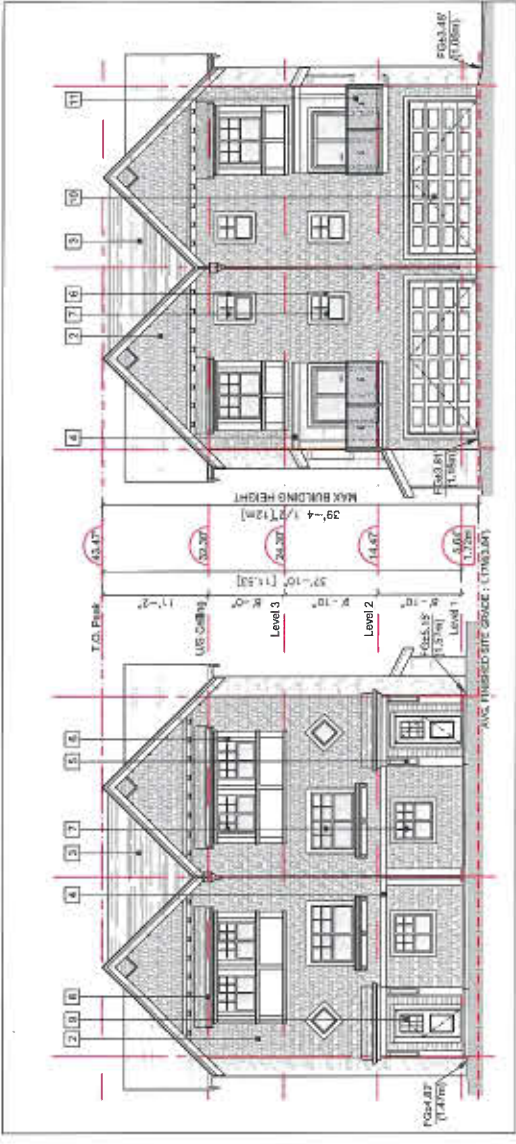
ELEVATION: BUILDING 1 - DRIVE AISLE (WEST)

ELEVATION: BUILDING 1 - REAR (EAST)
SCALE: 1/8"=1'-0"



ELEVATION: BUILDING 1 (NORTH)
SCALE: 1/8"=1'-0"

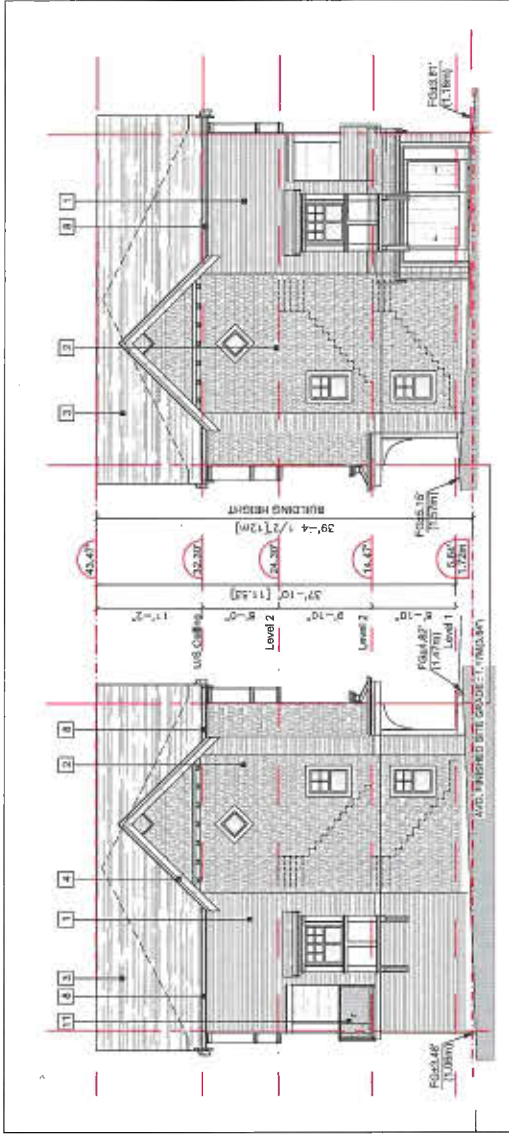
ELEVATION: BUILDING 1 (SOUTH)
SCALE: 1/8"=1'-0"



ELEVATION: BUILDING 2 - GARDEN CITY RD. (WEST)

SCALE: 1/8"=1'-0"

ELEVATION: BUILDING 2 - DRIVE AISLE (EAST)



ELEVATION: BUILDING 2 (NORTH)

SCALE: 1/8"=1'-0"

ELEVATION: BUILDING 2 (SOUTH)

- 1 HORIZONTAL HARDIE PLANK CEDARWALL SIDING
Colour: BM HC-167 (Antique Gray)
 - 2 CEDAR OR HARDIE SHINGLE SIDING
Straight Edge Panels
Colour: BM CC-80 (Gray Mist)
 - 3 FIBERGLASS ASPHALT ROOF SHINGLES
Colour: Charcoal (Mullicolour, Textured)
 - 4 2x4 WOOD TRIM BOARD - PAINTED
Colour: BM CC-40 (Cloud White)
 - 5 8" DEBORATIVE WOOD BRACES
Colour: BM CC-40 (Cloud White)
 - 6 2x6 WINDOW TRIM BOARD - PAINTED
Colour: BM CC-40 (Cloud White)
 - 7 VINYL-FRAMED DOUBLE-GLAZED WINDOWS
Vinytek or Equivalent, Colour: Strand Ivory
 - 8 ALUMINUM FASCIA GUTTER
Colour: BM HC-166 (Kendal Charcoal)
 - 9 ENTRY SOLID WOOD DOOR WITH SLEIGHT
Door Colour: BM CC-124/9 (Snow White)
 - 10 OVERHEAD WOOD PANEL GARAGE DOOR
Colour: BM CC-122/7 (Snow White)
 - 11 METAL & GLASS GUARDRAIL
Colour: Black Metal and Frosted glass



PLAN #4

REVISIONS	
DEC 13, 2017	DP Resubmission
NOV 16, 2017	DP Resubmission
OCT 18, 2017	DP Resubmission
JUL 14, 2017	DP Application
JAN 25, 2017	FZ Resubmission
MAY 28, 2015	Issued for FZ Application
CONSULTANTS	

All findings and related information should be made available to the specified project only and not be used elsewhere without written permission of the office.

This finding must not be considered without further consultation from the office and should be reviewed and closed by another office member.

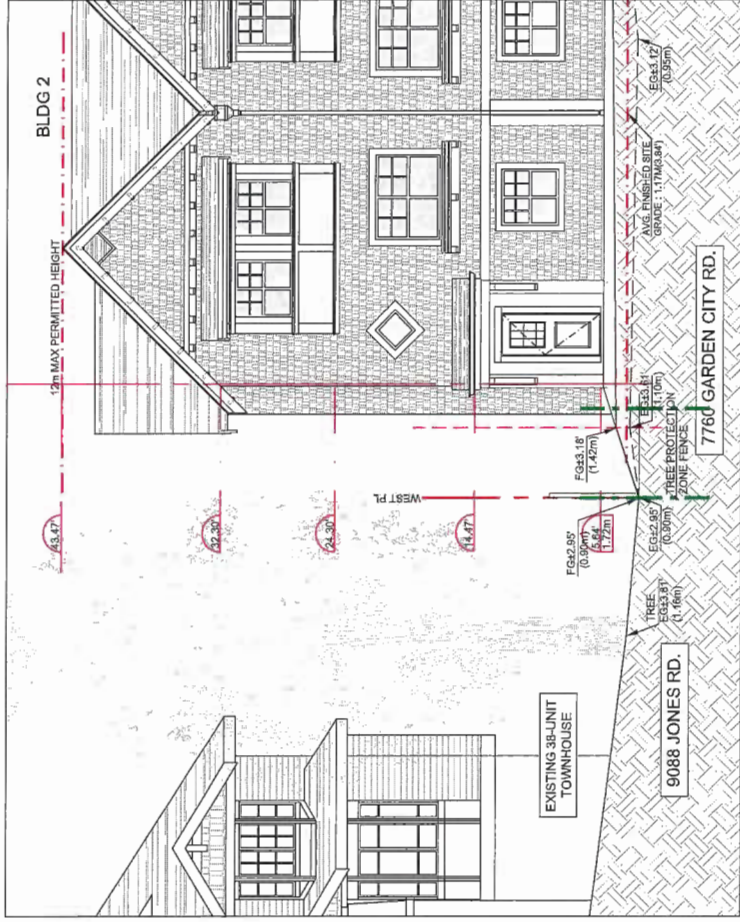
Constructors shall notify and be responsible for all alterations and any claims on the life and this office will be informed if they originate from the design and construction phase or the drawing.

SEAL

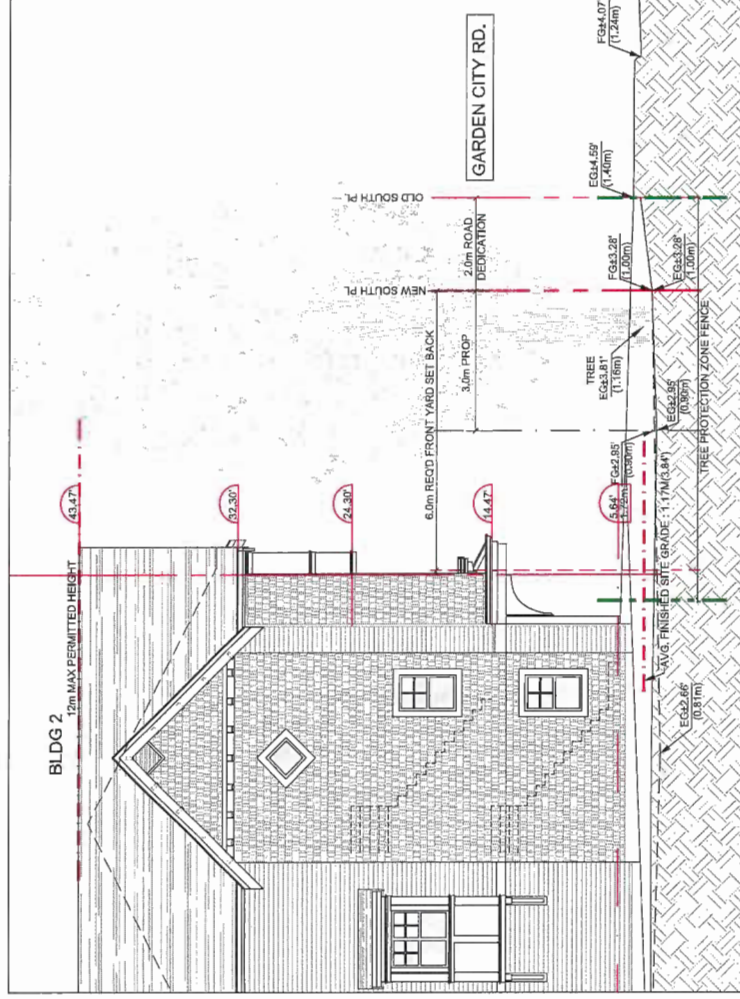
INTERFACE:
Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1162
F 604 821 1146
www.interfacearchitecture.com

PROJECT	Proposed 4-Unit Townhouse Development 7765 Garden City Road Richmond, B.C.
PROJECT NO.	1611
SCALE	As Noted
DATE	May, 05, 2014
DRAWN BY	KYC, SRS, AL
CHECKED BY	KYC
SHEET TITLE	SITE SECTIONS - S4, S5, S6, S7
DRAWING	

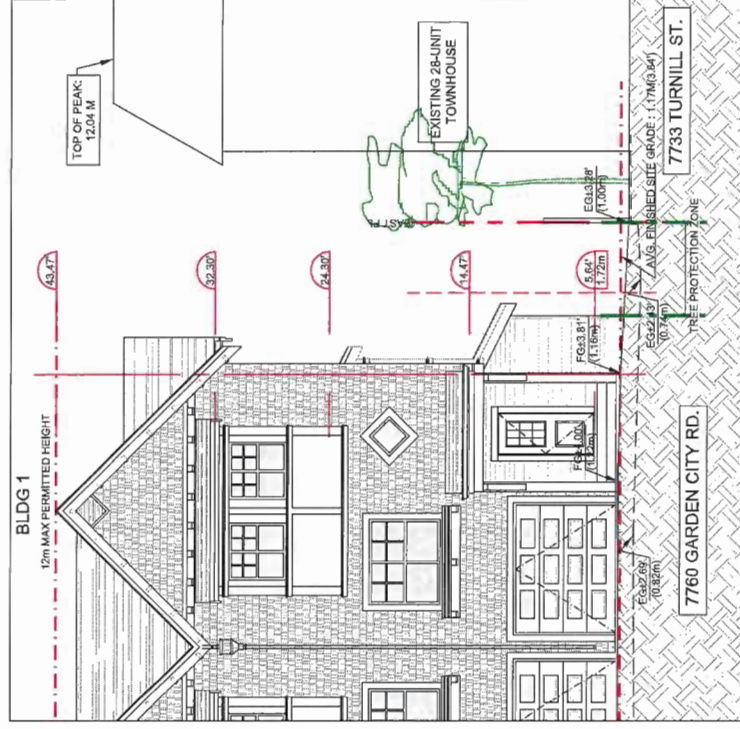
A3.2



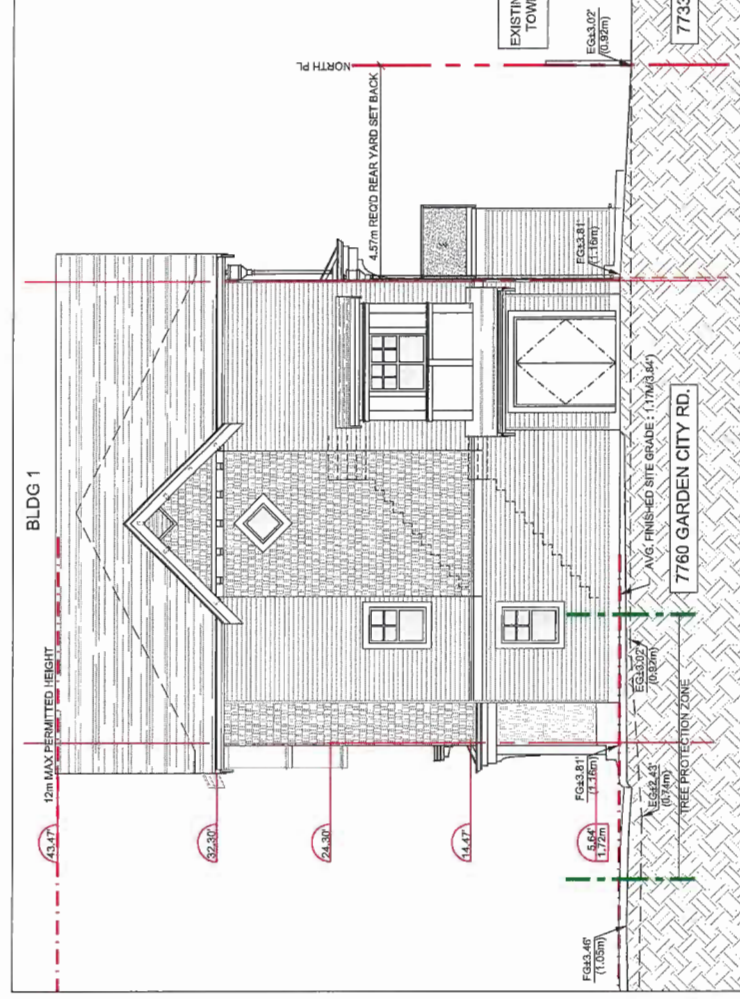
SITE SECTION S4
SCALE: 3/16"=1'-0"



SITE SECTION S5
SCALE: 3/16"=1'-0"

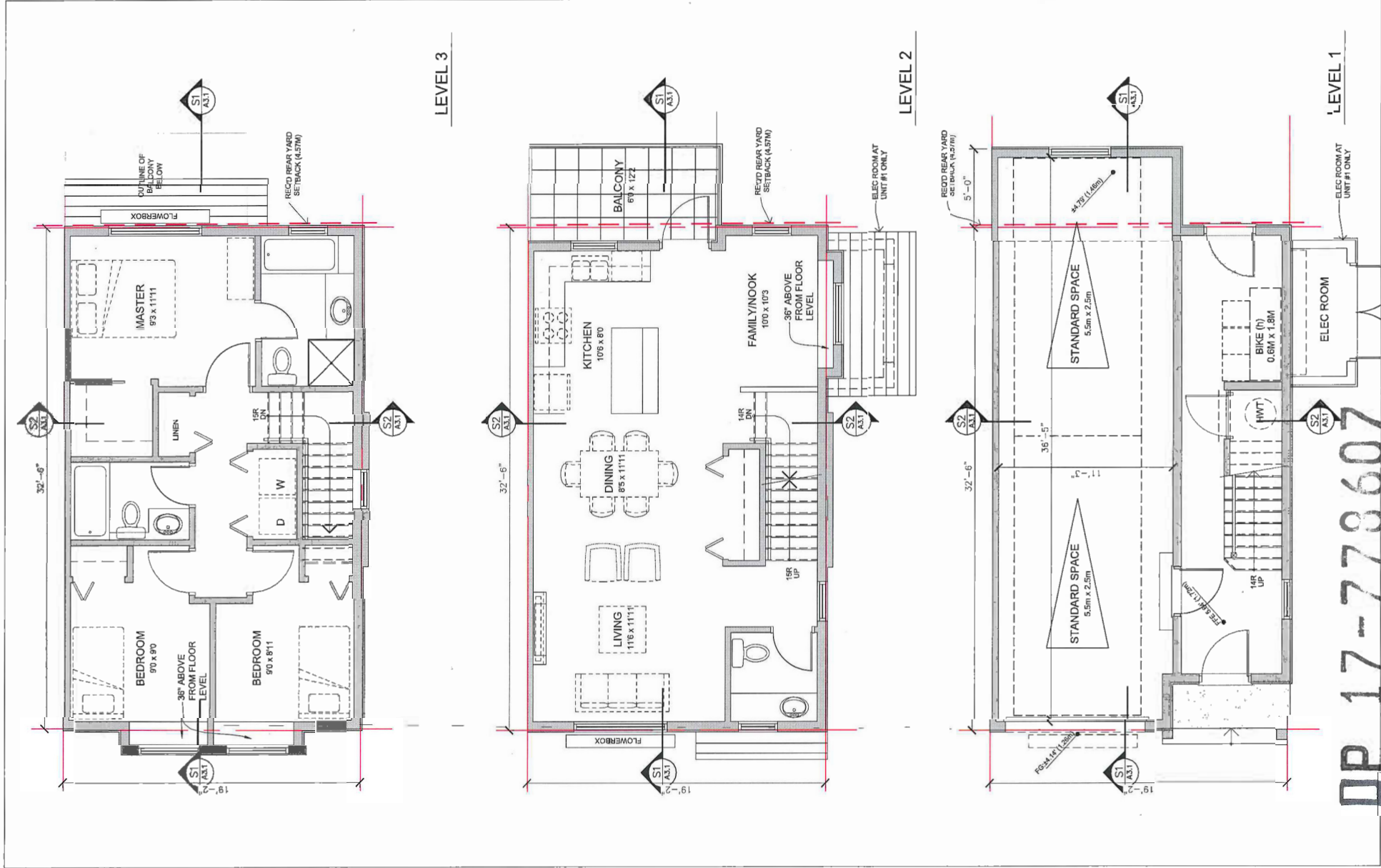


SITE SECTION S6
SCALE: 3/16"=1'-0"



SITE SECTION S7
SCALE: 1/8"=1'-0"

Lot	1.51	0.92	0.71	1.41	4.55 m
BLDG 1	1.16	1.00	1.00	1.06	4.22 m
BLDG 2	1.57	1.16	1.06	1.47	5.26 m
					14.03 m
AVERAGE FINISHED SITE GRADE					
CALCULATION					1.17 m
					[3.84']

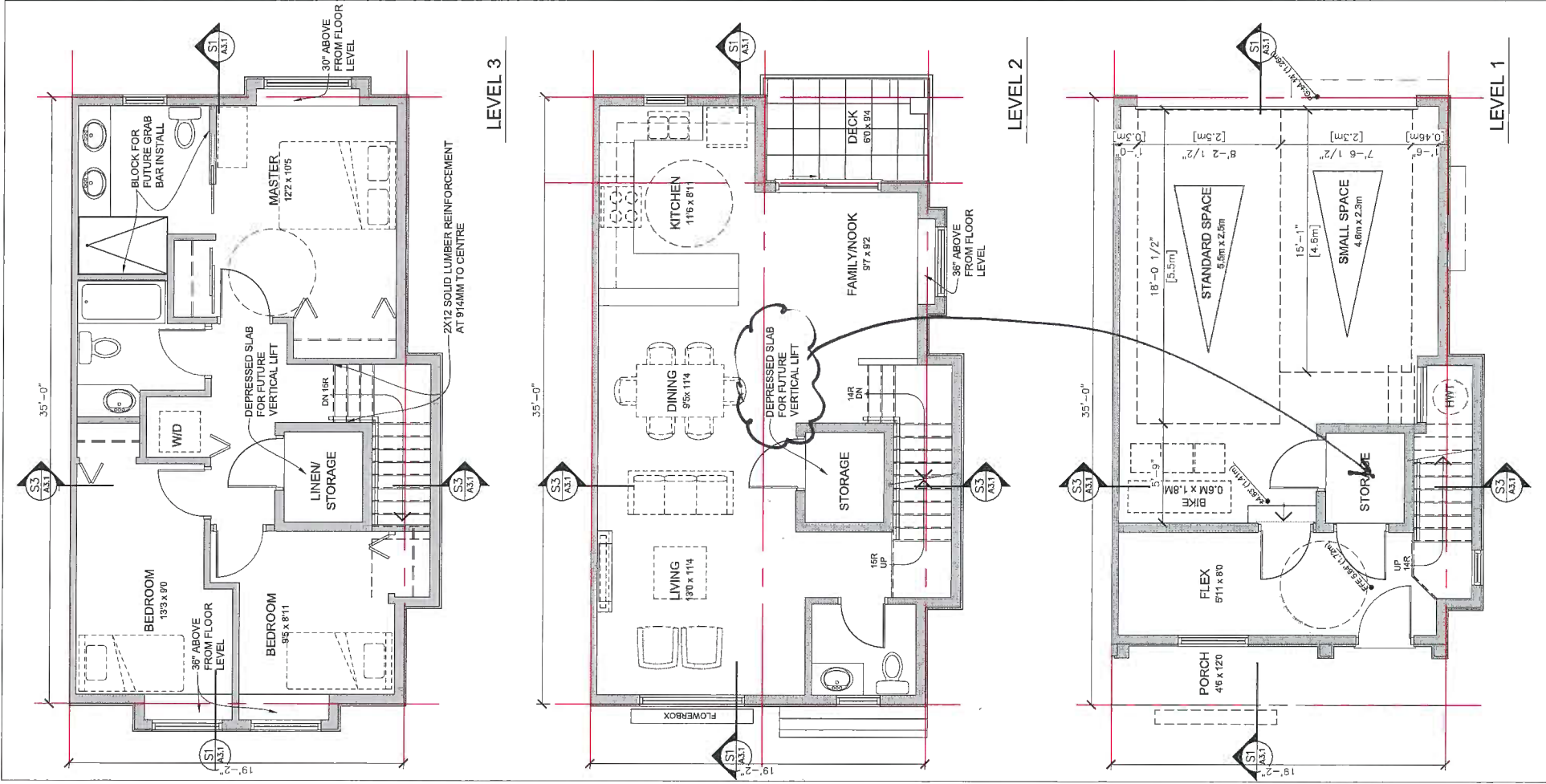


REVISIONS
DEC 13, 2017 DP Resubmission
NOV 16, 2017 DP Resubmission
OCT 19, 2017 DP Resubmission
JUL 14, 2017 DP Application
JAN 26, 2017 RZ Resubmission
MAY 29, 2015 Issued for RZ Application
CONSULTANTS
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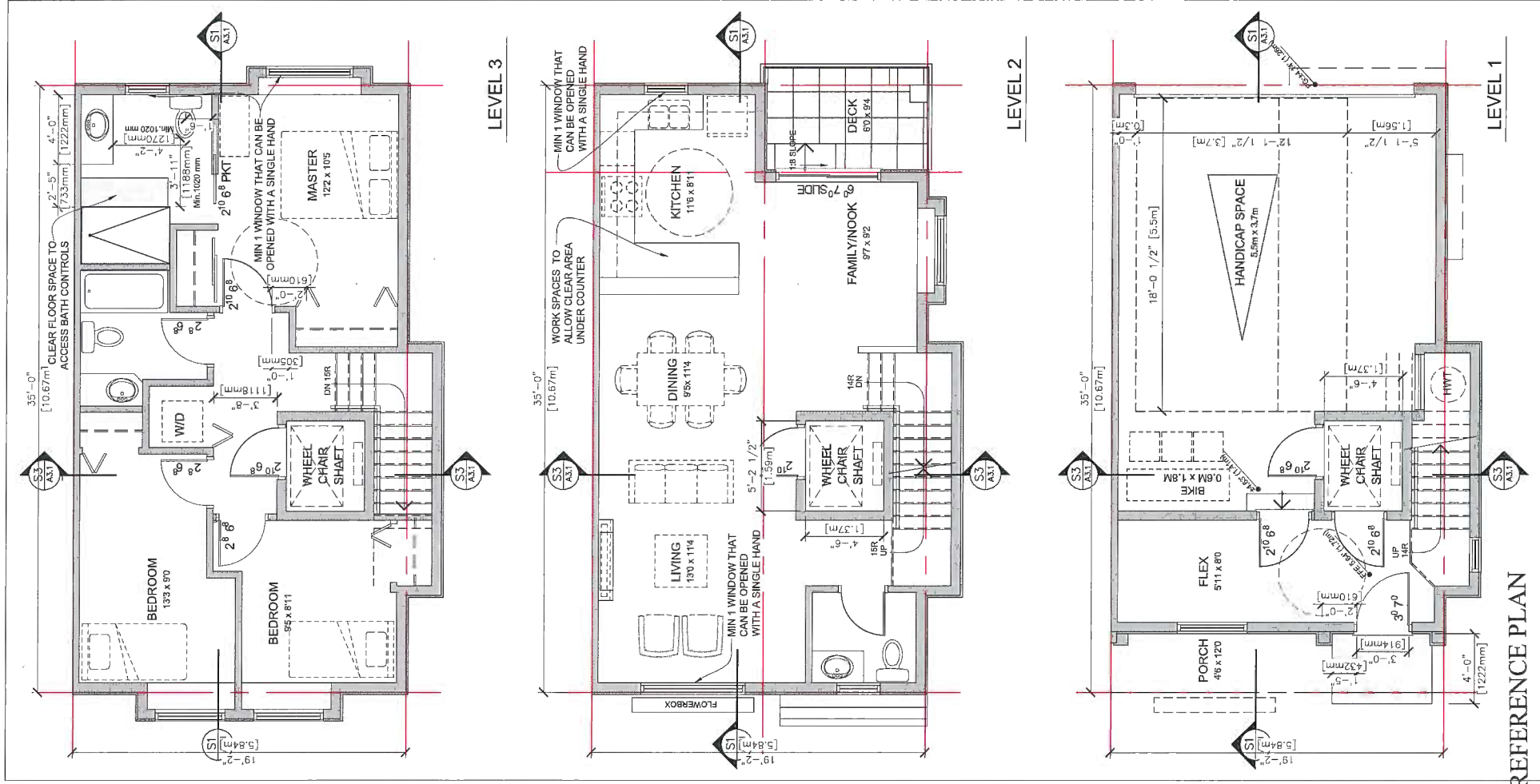
INTERFACE:
Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1162
F 604 821 1146
www.interfacearchitecture.com

PROJECT
Proposed 4-Unit Townhouse Development 7760 Garden City Road Richmond, B.C.
PROJECT NO.
1511
SCALE
As Noted
DATE
May 05, 2014
DRAWN BY
KYC, SRS
CHECKED BY
KYC
SHEET TITLE
FLOOR PLANS: UNIT A
DRAWING
A2.1

CONVERTIBLE UNIT FEATURES CHECKLIST	
DOORS & DOORWAYS	ENTRY DOORS MIN. 663 MM BUT IDEALLY 914MM AND HAVE CLEAR ACCESS
	ENTRY DOOR CLEAR EXTERIOR FLOOR SPACE MIN 1220 MM DEPTH BY DOOR WIDTH PLUS 600 MM LATCH SIDE (NOT NEEDED IF ROUGH-IN WIRING PROVIDED FOR FUTURE AUTOMATIC DOOR OPENER) AUTOMATIC DOOR OPENER
	INTERIOR DOORS TO MAIN LIVING AREAS, 1 BATHROOM AND 1 BEDROOM, MIN. 800 MM CLEAR OPENING WITH FLUSH THRESHOLDS MAX 13 MM HEIGHT. DEMONSTRATE WHEELCHAIR ACCESS BETWEEN HALLWAY AND DOORS AND WIDEN HALLWAY AND/OR DOORWAYS IF NECESSARY TO SECURE ACCESS
VERTICAL CIRCULATION	PATIO/BALCONY MIN. 880 MM CLEAR OPENING. NOTE HOW ACCESSED.
	ALL INTERIOR THRESHOLDS WITHIN UNITS COMPLY WITH BCBC.
	LEVER-TYPE HANDLES FOR ALL DOORS
	STAIR LIFT: STAIRCASE WIDTH, FRAMING SUPPORT, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC.
	VERTICAL LIFT (FUTURE); DEPRESSED SLAB AREA, AND LANDINGS, AS NOTED ON FLOOR PLANS IN COMPLIANCE WITH MANUFACTURER SPEC.
	FRAMING TO ACCOMMODATE SHAFT CONSTRUCTION WITHOUT IMPACT TO SURROUNDING STRUCTURE.
HALLWAYS	SEE NOTE: ELVORON HOME ELEVATOR BY GARAVENTA, 60 ENTRY / EXIT, STYLE 91, MAX LOAD: 750 LBS, SPEED: 40(12.2M) / MIN. MAX. 6 STOPS, MAX. 60(18.24M) TRAVEL.
	*** PROVISION FOR - IN UNIT B, E (BUILDING 2) ***
	AT THE TOP OF ALL STAIRWAYS, WALLS ARE REINFORCED WITH 2'X12" SOLID LUMBER AT 914 MM TO CENTRE.
GARAGE	MIN. 900 MM WIDTH
	MIN. 1 ACCESSIBLE PARKING SPACE WITH MIN. 4M GARAGE WIDTH
	ACCESS FROM GARAGE TO LIVING AREA MIN. 800 MM CLEAR OPENING
BATHROOMS (MIN 1/UNIT)	TOILET CLEAR FLOOR SPACE MIN. 1020 MM AT SIDE AND IN FRONT
	WALL BLOCKING FOR FUTURE GRAB BARS AT TOILET, TUB, AND SHOWER. REINFORCED WITH 2'X12" SOLID LUMBER IN ALL BATHTUB, SHOWER, AND TOILET LOCATIONS.
	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
	PRESSURE AND TEMPERATURE CONTROL VALVES ARE INSTALLED ON ALL SHOWER FAUCETS.
	CABINET IS UNDERNEATH SINK ARE EASILY REMOVED.
	DEMONSTRATE BATH AND SHOWER CONTROLS ARE ACCESSIBLE (LAYOUT OR FIXTURE PLACEMENT).
KITCHEN	CLEAR AREA NEEDED UNDER FUTURE WORKSPACE, PLUMBING AND GAS PIPES (IN-WALL AND IN FLOOR) LOCATED CLEAR OF UNDER COUNTER AREA OF FUTURE WORKSPACE (STOVE, SINK & MIN. 810 MM WIDE COUNTER). ALL PIPES ARE BROUGHT IN, NO HIGHER THAN 304 MM TO 365 MM TO THE CENTRE OF THE PIPE FROM FLOOR LEVEL.
	CABINETS UNDERNEATH SINK ARE EASILY REMOVED.
	1500 MM TURNING DIAMETER OR TURNING PATH DIAGRAM
WINDOWS	LEVER-TYPE HANDLES FOR PLUMBING FIXTURES.
	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND (BATHROOM, KITCHEN, LIVING ROOM)
	MIN. 1 WINDOW THAT CAN BE OPENED WITH A SINGLE HAND
OUTLETS & SWITCHES	PLACEMENT LOCATIONS OF ELECTRICAL OUTLETS: BESIDE WINDOW, BOTTOM OF STAIRWAYS, BESIDE TOILET, ABOVE EXTERNAL DOORS (OUTSIDE AND INSIDE), ON FRONT FACE OF KITCHEN COUNTER, WITHIN PROXIMITY OF TOILET CENTRE FOR SMART HOME OPTIONS.
	UPGRADE TO FOUR-PLEX OUTLETS IN MASTER BEDROOM, HOME OFFICE, GARAGE, AND RECREATION ROOM.



FLOOR PLAN: UNIT B (BLDG 2) - BEFORE CONVERSION
SCALE: 1/4"=1'-0"



REFERENCE PLAN

FLOOR PLAN: UNIT B (BLDG 2) - AFTER CONVERSION
SCALE: 1/4"=1'-0"

REVISIONS	
DEC 13, 2017	DP Resubmission
NOV 16, 2017	DP Resubmission
OCT 19, 2017	DP Resubmission
JUL 14, 2017	DP Application
JAN 25, 2017	PZ Resubmission
MAY 28, 2015	Issued for PZ Application
CONSULTANTS	

All design and construction information shown herein is for use as a guide only. It is the responsibility of the user to verify the accuracy of the information and to ensure that it is used in accordance with the applicable building codes and standards. The design team is not responsible for any errors or omissions in the information shown herein. The design team is not responsible for any errors or omissions in the information shown herein. The design team is not responsible for any errors or omissions in the information shown herein.

INTERFACE:
Suite 230
11590 Cambie Road
Richmond BC
Canada V6X 3Z5
T 604 821 1162
F 604 821 1146
www.interfacearchitecture.com

PROJECT	
Proposed 4-Unit Townhouse Development 7760 Garden City Road Richmond, B.C.	
PROJECT NO.	1511
SCALE	As Noted
DATE	May, 05, 2014
DRAWN BY	KYC, SRS
CHECKED BY	KYC
SHEET TITLE	FLOOR PLANS: UNIT B - CONVERTIBLE
DRAWING	

A2.2



City of Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 21, 2017

From: Wayne Craig
Director, Development

File: DV 17-790824

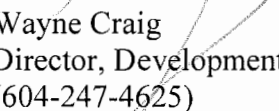
Re: Application by Lafarge Canada Inc. for a Development Variance Permit at
7611 No. 9 Road

Staff Recommendation

That a Development Variance Permit be issued which would vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Increase the maximum height for buildings from 12.0 m to 15.0 m; and
2. Increase the maximum height for accessory structures from 20.0 m to 65.0 m;

in order to permit the construction of a new storage building and conveyor structure on a site zoned "Industrial (I)".


Wayne Craig
Director, Development
(604-247-4625)

WC:sds
Att. 5

Staff Report

Origin

Lafarge Canada Inc. has applied to the City of Richmond for permission to vary the maximum height of a building and the maximum height of an accessory structure within the “Industrial (I)” zone:

1. From 12 m to 15 m for buildings to accommodate the construction of a new storage building; and
2. From 20 m to 65 m for accessory structures to accommodate the construction of a new conveyor structure.

The subject property is occupied by an existing cement plant (Attachment 1), owned and operated by the applicant.

Development Information

Please refer to the attached Development Application Data Sheet (Attachment 2) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, across a rail corridor, additional area zoned “Industrial (I)” owned by Lafarge Canada Inc. used for commercial vehicle parking and storage. Beyond that, agricultural lots zoned “Agriculture (AG1)” located in the Agricultural Land Reserve (ALR).
- To the east, across No. 9 Road, commercial vehicle parking and storage on a lot zoned “Light Industrial (IL)”.
- To the south, the Fraser River.
- To the west, additional industrial sites zoned “Industrial (I)”.

Staff Comments

The proposal is part of the applicant’s Alternative Fuel Project, supported by a program administered by the Climate Action Secretariat of the Province of British Columbia’s Ministry of Environment & Climate Change Strategy. The primary objective of this program (Cement Low Carbon Fuel Program) is to reduce greenhouse gas emissions from cement operations through the transition from fossil fuels to low carbon fuels. A letter of support from the Office of the Deputy Minister of Climate Change is provided in Attachment 3, which includes further details of the Alternative Fuel Project and how it supports the objectives of the Provincial program. The Alternative Fuel Project is also supported by Natural Resource Canada’s Clean Energy Innovation Program, which supports the transition towards a low carbon economy.

The Alternative Fuel Project involves increasing the re-use of waste materials that result from cement production processes (from 25% to 50%) as a low carbon fuel source. In order to accomplish this goal, the project includes installing a new alternative fuel handling system (the proposed conveyor structure) to feed calciners (burners) in the preheater tower and main burner. The project also includes additional storage capacity (the proposed storage building) to allow stockpiling of preferred alternative fuels during major maintenance shutdowns. The project will result in a reduction of greenhouse gas emissions (approximately 50,000 tonnes CO₂e (carbon dioxide equivalent)) and reduce the amount of waste placed into local landfills (approximately 100,000 tonnes per year of waste).

The proposed development plans attached to this report (Plans #1 & #2) have addressed the planning issues identified as part of the review of the subject Development Variance Permit application. In addition, the proposal complies with the applicable policies of the Official Community Plan (OCP) and is generally in compliance with the "Industrial (I)" zone with the exception of the zoning variances noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

1. Increase the maximum height for buildings from 12.0 m to 15.0 m; and
2. Increase the maximum height for accessory structures from 20.0 m to 65.0 m.

Staff recommend support for the proposed variances for the following reasons:

- a) ***The proposal is part of the applicant's Alternative Fuel Project at the subject site, which would result in a 20% reduction of stationary combustion emissions, approximately 50,000 tonnes of CO₂e, making the Richmond Plant the most carbon efficient cement plant in Canada. The project supports the City's greenhouse gas emission reduction targets identified in the OCP and the City's Community Energy and Emissions Plan.***
- b) ***The completion of the Alternative Fuel Project would also result in significant waste reduction. The existing cement plant currently co-processes (utilization of waste) up to 25% of low carbon fuels (primarily fuels of non-recyclable waste by-products bound for the landfill). The project is designed to increase co-processing of waste to 50%; which would result in the diversion of approximately 100,000 tonnes per year of waste from local landfills.***
- c) ***The proposed height of the storage building (15 m) and the conveyor structure (65 m) is not impacted by aircraft height restrictions. A signed and sealed letter from a registered land surveyor is provided in Attachment 4, confirming compliance to the aeronautical zoning regulations.***
- d) ***The proposed additions to the existing cement plant have been appropriately designed to match the existing buildings on-site.***

- e) The proposed additions are not expected to significantly affect the view lines from adjacent properties. There are existing buildings on-site that are greater in height than the proposed additions.*

Analysis

Conditions of Adjacency

- The subject site is located in the Fraser Lands industrial area and surrounded by industrial and light industrial sites to the east and west.
- Agricultural lots to the north are located over 200 m from the proposed additions and separated by a rail corridor.
- The subject site is bounded by the Fraser River to the south.
- The proposed storage building will be approximately 3,759 m² (40,461 ft²) in area and located in the middle of the site, rather than adjacent to neighbouring lots. The proposed conveyor structure will be attached to the existing main tower, connecting the proposed storage building.

Site Planning

- The design of the storage building is consistent with the existing buildings on-site, including a matching blue colour scheme.
- The location of the proposed additions is influenced by the internal layout needed in the cement production processes.
- The applicant has made adjustments to the site's parking arrangements and truck loading maneuvering to respond to Transportation staff's requests, consistent with Zoning Bylaw 8500 requirements, including adding bicycle parking stalls.
- Proposed parking and loading conform to the City's Zoning Bylaw.
- The City's Engineering and Fire Departments have no concerns with the proposed Development Variance Permit.

Sustainability Measures

- The proposed storage building will be constructed using recycled concrete.
- The proposal is part of the Alternative Fuel Project, which is a project to reduce the carbon footprint of the cement plant operations by increasing the co-processing potential of the existing cement plant from 25% to 50%. Co-processing refers to the utilization of waste as a thermal energy source or raw material.
- Achieving a 50% substitution rate of alternative fuels will result in a 20% reduction of stationary combustion emissions, which is approximately 50,000 tonnes of CO₂e.
- Fulfillment of the project will result in a diversion of approximately 100,000 tonnes per year of waste from local landfills.
- All alternative fuels used in this process undergo a rigorous screening process prior to being approved as a fuel in cement production.
- The Alternative Fuel Project is supported by the Ministry of Environment and Climate Change Strategy and Natural Resource Canada's Clean Energy Innovation Program.
- A letter has been provided by the applicant quantifying and confirming the major sustainability benefits (Attachment 5).

- The City's Sustainability Department has no concerns with the proposed Development Variance Permit.

Conclusions

The applicant has applied to the City of Richmond for permission to increase the maximum permitted height for buildings from 12.0 m to 15.0 m and increase the maximum permitted height for accessory structures from 20.0 m to 65.0 m, to permit the construction of a new storage building and conveyor structure on a site zoned "Industrial (I)".

The proposed development would meet applicable policies in the OCP and would generally comply with all aspects of the "Industrial (I)" zone, with the exception of the two variances discussed. On this basis, staff recommend support for this application.



Steven De Sousa
Planning Technician – Design
(604-204-8529)

SDS:blg

Attachment 1: Location Map

Attachment 2: Development Application Data Sheet

Attachment 3: Letter of Support from the Ministry of Environment & Climate Change Strategy

Attachment 4: Letter Regarding Compliance to Aeronautical Zoning

Attachment 5: Letter Regarding Sustainability Benefits

The following are to be met prior to forwarding this application to Council for approval:

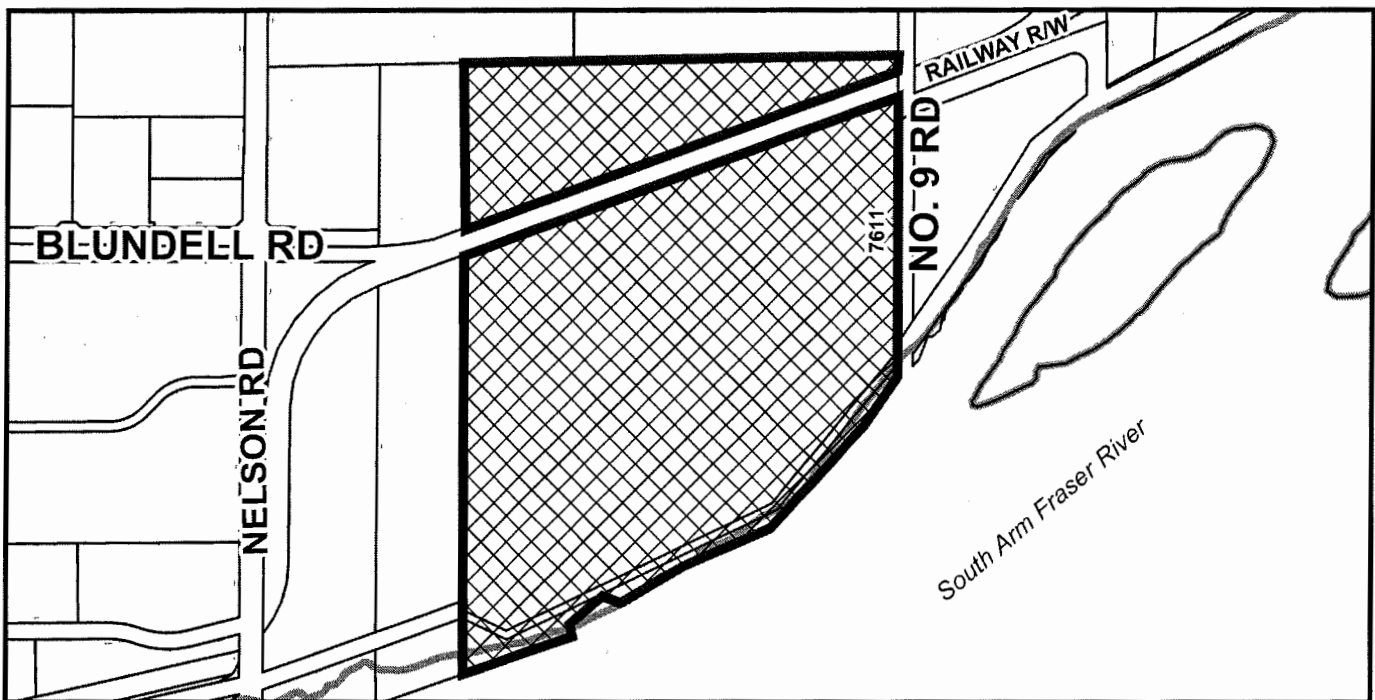
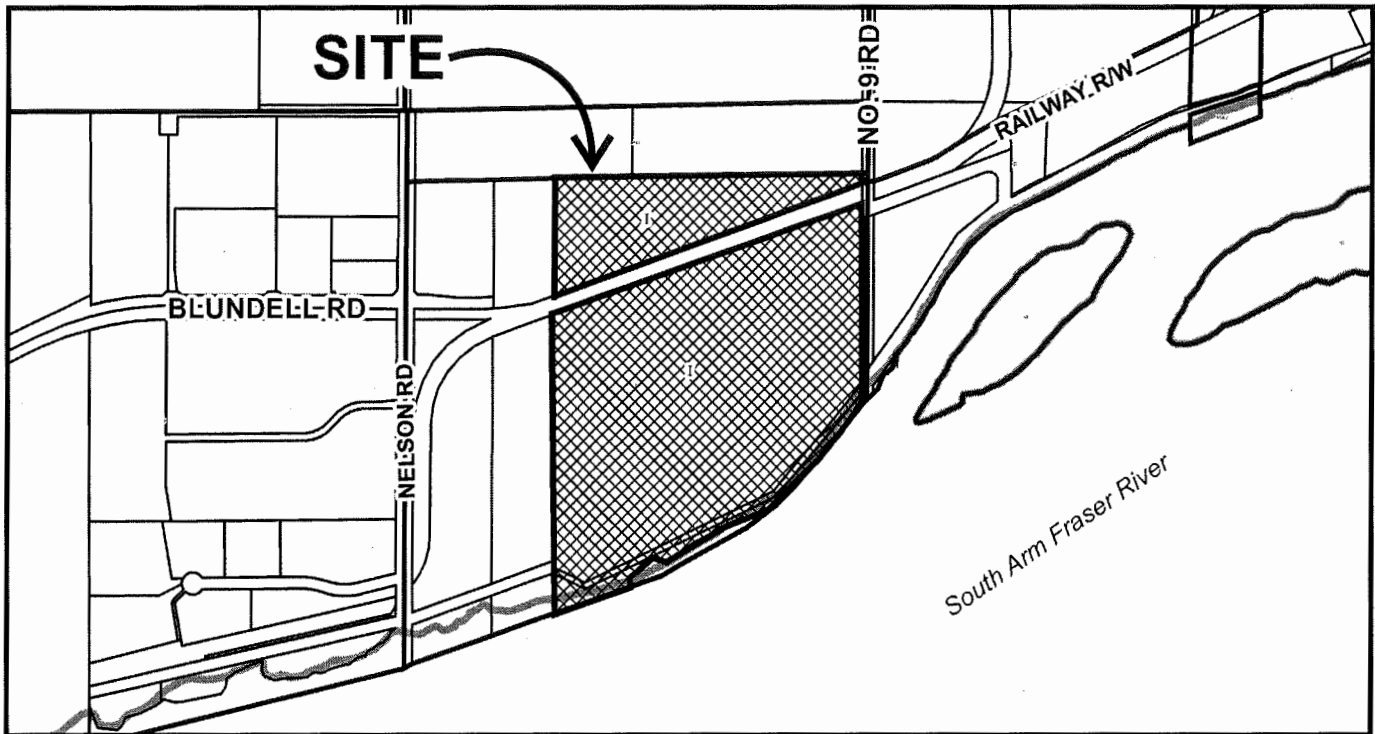
- N/A

Prior to future Building Permit issuance, the developer is required to complete the following:

- Submit Building Permit plans consistent with Plan #1 and Plan #2.
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (<http://www.richmond.ca/services/ttp/special.htm>).



City of
Richmond



DV 17-790824

Original Date: 11/16/17

Revision Date:

Note: Dimensions are in METRES



DV 17-790824

Attachment 2

Address: 7611 No. 9 Road

Applicant: Lafarge Canada Inc.

Owner: Lafarge Canada Inc.

Planning Area(s): Fraser Lands

	Existing	Proposed
Site Area:	304,680 m ²	No change
Land Uses:	Heavy industrial	No change
OCP Designation:	Industrial	Complies
Zoning:	Industrial (I)	Complies

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	1.0	0.1	None permitted
Lot Coverage - Buildings	Max. 60%	8%	None
Setback – Front Yard:	Min. 3.0 m	Conforms	None
Setback – Side Yard:	N/A	Conforms	None
Setback – Rear Yard:	N/A	Conforms	None
Height - Buildings:	Max. 12.0 m	15.0 m	Variance requested
Height – Accessory Structures:	Max. 20.0 m	65.0 m	Variance requested
Lot Size:	N/A	304,680 m ²	None
Off-street Parking Spaces – Regular:	38	44	None
Off-street Parking Spaces – Accessible:	1	1	None
Total off-street Spaces:	39	45	None
Loading Spaces:	2 Medium 1 Large	2 Medium 1 Large	None
Bicycle Spaces:	10 Class 1 10 Class 2	10 Class 1 10 Class 2	None



Reference: 312398

November 15, 2017

George Duncan
Chief Administrative Officer
City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1

Wayne Craig

RE: IMPROVEMENTS TO LAFARGE CEMENT PLANT IN RICHMOND

Dear Mr. Duncan:

It has come to my attention that the Lafarge Richmond Cement Plant is in the process of seeking a development permit from the City of Richmond for their Alternative Fuel Injection project. This letter is to affirm that the proposed project is an approved project under the Cement Low Carbon Fuel Program and the Climate Action Secretariat, BC Ministry of Environment and Climate Change Strategy, is fully supportive of this project. The proposed project represents a concrete opportunity to significantly reduce greenhouse gas emissions in British Columbia.

Manufacturing cement results in the release of carbon dioxide and other greenhouse gases from the combustion of fossil fuels necessary to carry out the chemical processes involved. Given the ongoing demand for this critical building material and the desire to ensure British Columbia cement manufacturing remains competitive under the province's carbon tax regime, the Climate Action Secretariat has developed a landmark 5-year initiative to enable cleaner cement production. The objectives of the Cement Low Carbon Fuel Program are to lower the cement industry's greenhouse gas emissions by supporting a transition from coal to low carbon fuels. We believe the program will also provide the ancillary benefit of supporting development of a low carbon fuel industry in the Lower Mainland.

Lafarge's proposed project will go a long way toward meeting these objectives, and the company is keen to resolve any development permit issues as expeditiously as possible in order to ensure they have access to the Cement Low Carbon Fuel Program funding and can achieve the desired reduction in emissions.

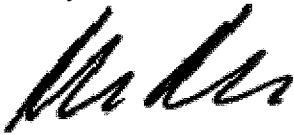
To date, Lafarge has achieved year-over-year greenhouse gas reductions in the first two years of the Program. The proposed Alternative Fuel Injection project will enable the plant to reduce its future use of coal by up to 50%. These improvements will also enhance Lafarge's capacity to

.../ 2

receive low carbon fuel from a broader range of fuel providers. This sourcing of low carbon fuels has important knock-on environmental benefits including waste reduction and local job creation.

In conclusion, I offer my support for Lafarge's Alternative Fuel Injection project as a key component of the Cement Low Carbon Fuel Program and hope you and the City of Richmond will recognize and support their efforts to contribute to reducing greenhouse gas emissions in British Columbia. Please do not hesitate to contact me if I can answer any questions about the Cement Low Carbon Fuel Program, or otherwise be of assistance.

Sincerely,

A handwritten signature in black ink, appearing to read 'Bobbi Plecas', written in a cursive style.

Bobbi Plecas
Deputy Minister, Climate Change

ARCS: 280-30

ORCS:

DAVID H. BURNETT & ASSOCIATES

A Division of Papove Professional Land Surveying Inc.

December 12, 2017

File: B1207

Lafarge Canada Inc.
7611 No. 9 Road
Richmond, B.C.
V6W 1H4

Attention: **Martin Spiekermann**
Technical Manager

Dear Mr. Spiekermann:

Re: Alternative Fuel Storage & Conveying Project
Richmond Plant, No. 9 Road, Richmond, B.C.

Further to your request, we have reviewed Plan 61216 filed under the Aeronautics Act (Canada), which establishes the height restriction of structures on Parcel A, Sections 17 and 20, Block 4 North, Range 4 West, New Westminster District, Plan LMP24356.

From the information you provided, the height of the proposed new equipment is to be constructed to an elevation of 73 metres geodetic. The maximum allowable height in the vicinity of the project according to Plan 61216 is 221.4 metres geodetic, as shown on the attached copy of a part of Plan 61216. Therefore, the top of the new equipment is below the height restriction.

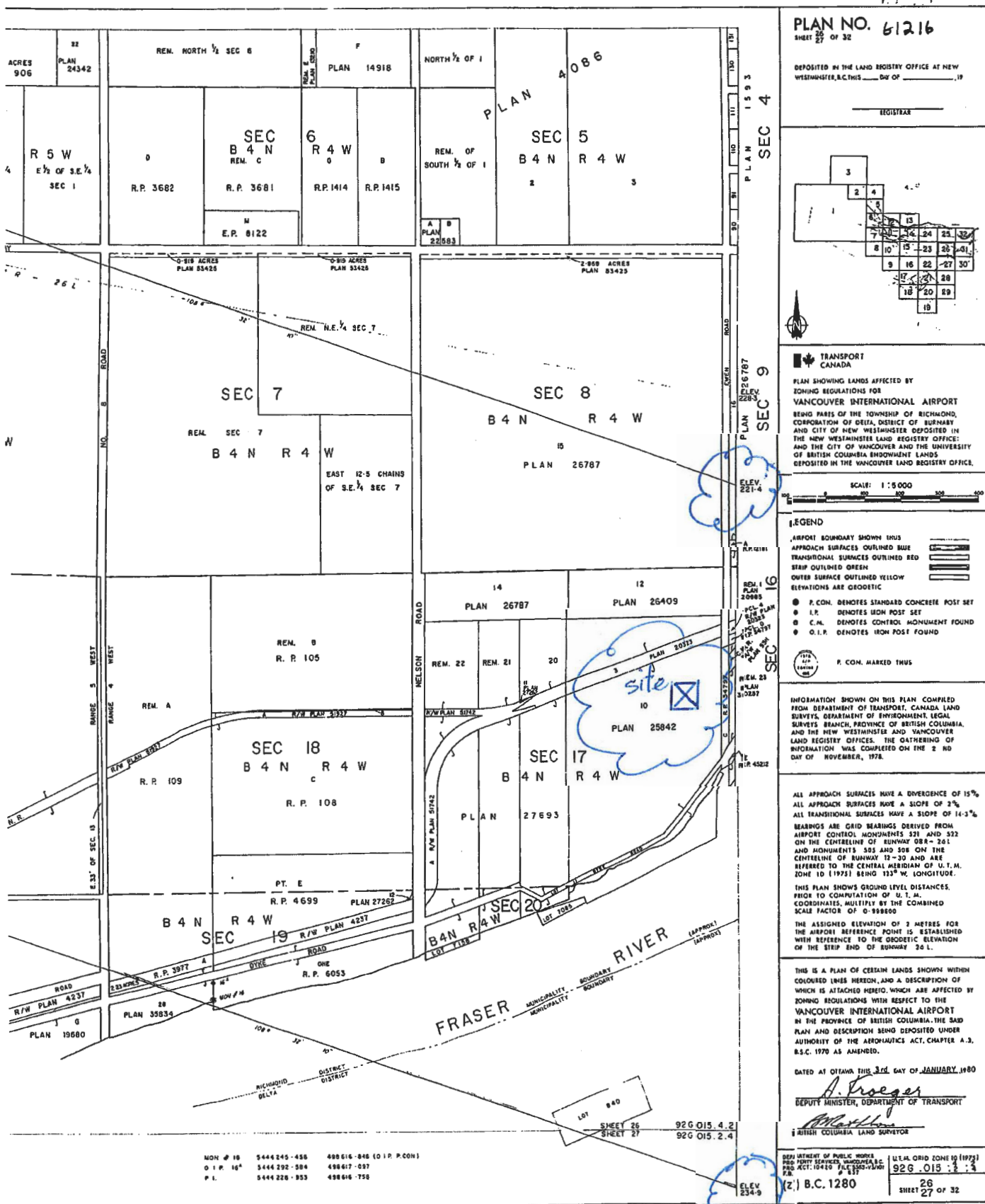
We trust this satisfies your requirements. Should you have any questions or require additional information, please do not hesitate to call.

Yours truly,

DAVID H. BURNETT & ASSOCIATES


William Papove, B.C.L.S.
WP/hr







November 22, 2017

City of Richmond
6911 No. 3 Road
Richmond BC V6Y 2C1
Canada

RE: Lafarge Development Variance Permit – DV 17-790824

Attention: Development Applications Department – Steven De Sousa

Good Day Sir,

Greenhouse gas (GHG) emissions from cement manufacturing come from the combustion of fuels to heat up the kiln and calcining, the process of liberating carbon dioxide (CO₂) from the limestone feed into the kiln. Emissions from calcining make up 60% of the total GHG emissions from cement manufacturing and are unavoidable; however the emissions from combustion can be mitigated through co-processing. Co-processing refers to the utilization of waste as a thermal energy source and/or raw material.

The primary objective of the Richmond Cement Plant Alternative Fuel (AF) project is to reduce the carbon footprint of the cement plant operations by increasing the co-processing potential of the cement plant to 50%. Achieving a 50% substitution rate of AF will result in a 20% reduction of stationary combustion emissions, approximately 50,000 tonnes of CO₂e, making the Richmond Plant the most carbon efficient plant in Canada.

The AF Project is an approved project under the Cement Low Carbon Fuel (LCF) Program supported by the BC Ministry of Environment Climate Action Secretariat because of the project's ability to significantly reduce GHG emissions in BC. The provincial government is in full support of a project that transitions the plant from coal, while also supporting the development of a LCF industry in the lower mainland. The AF project is also supported by the Clean Energy Fund, a program run by the Government of Canada to support clean energy research, development and demonstration projects, including carbon capture and storage.

Lafarge respects the regional waste hierarchy and seeks to use its assets to be a part of the solution. The plant can currently co-process up to 25% LCF, including fuels such as construction and demolition waste, non-recyclable plastic, shredded carpet, asphalt shingles, nylon fibre (from tire recycling), and waste wood from industrial processes. This LCF is comprised primarily of non-recyclable waste byproducts; waste that does

LAFARGE CANADA INC.

7611 No. 9 Road, Richmond, BC V6W 1H4
Office: (604)-244-4300 Fax: (604)-244-4301
Web: www.lafarge.ca



not have an existing or economically viable recycling outlet and is bound for landfills. Achieving a LCF substitution of 50% will allow Lafarge to divert approximately 100,000 tonnes per year of waste from local landfills. With an ever growing population, co-processing of waste is the future to waste management and waste disposal because the direct benefits can be seen in the reduced need for incineration or landfilling of waste.

Lafarge works together with Metro Vancouver to permit all fuels used in the kiln. All AF undergo a rigorous screening process prior to being approved as a fuel in the cement kiln, and are subject to a series of tests and analysis to determine its suitability, msds or material handling procedures are also reviewed. Hazardous material as per the BC Environmental Management Act do not qualify as potential AF. After the screening material is reviewed and approved by Metro Vancouver, industrial trials are arranged including stack tests to determine how the material reacts with the process and the emissions from combustion. Results after the trials are submitted to Metro Vancouver for review and approval.

We hope that the City of Richmond recognizes Lafarge's efforts to reduce GHG emissions and supports it's application for a development permit. If you have any questions, I can be reached at 6046909950.

Sincerely,

Stephanie Voysey, P.Eng, EP
Environment and Public Affairs Manager, BC

cc. Pascal Bouchard, Plant Manager, Lafarge Richmond Cement Plant

LAFARGE CANADA INC.
7611 No. 9 Road, Richmond, BC V6W 1H4
Office: (604)-244-4300 Fax: (604)-244-4301
Web: www.lafarge.ca



City of Richmond

Development Variance Permit

No. DV 17-790824

To the Holder: LAFARGE CANADA INC.
Property Address: 7611 NO. 9 ROAD
Address: C/O MARTIN SPIEKERMANN
7611 NO. 9 ROAD
RICHMOND, BC V6W 1H4

1. This Development Variance Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied by this Permit.
2. This Development Variance Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied as follows:
 - a) Increase the maximum height for buildings from 12.0 m to 15.0 m; and
 - b) Increase the maximum height for accessory structures from 20.0 m to 65.0 m.
4. The land described herein, and any buildings, structures, off-street parking facilities, landscaping and screening shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof (Plan #1 & Plan #2).
5. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

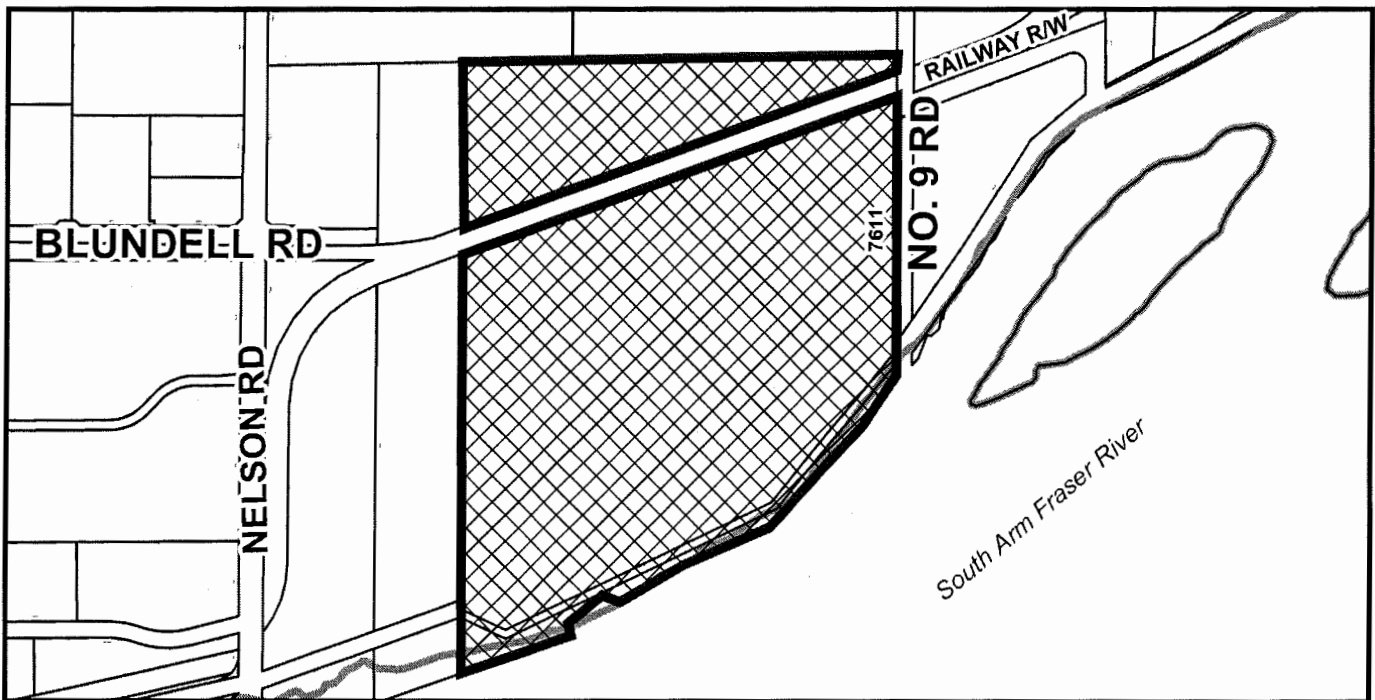
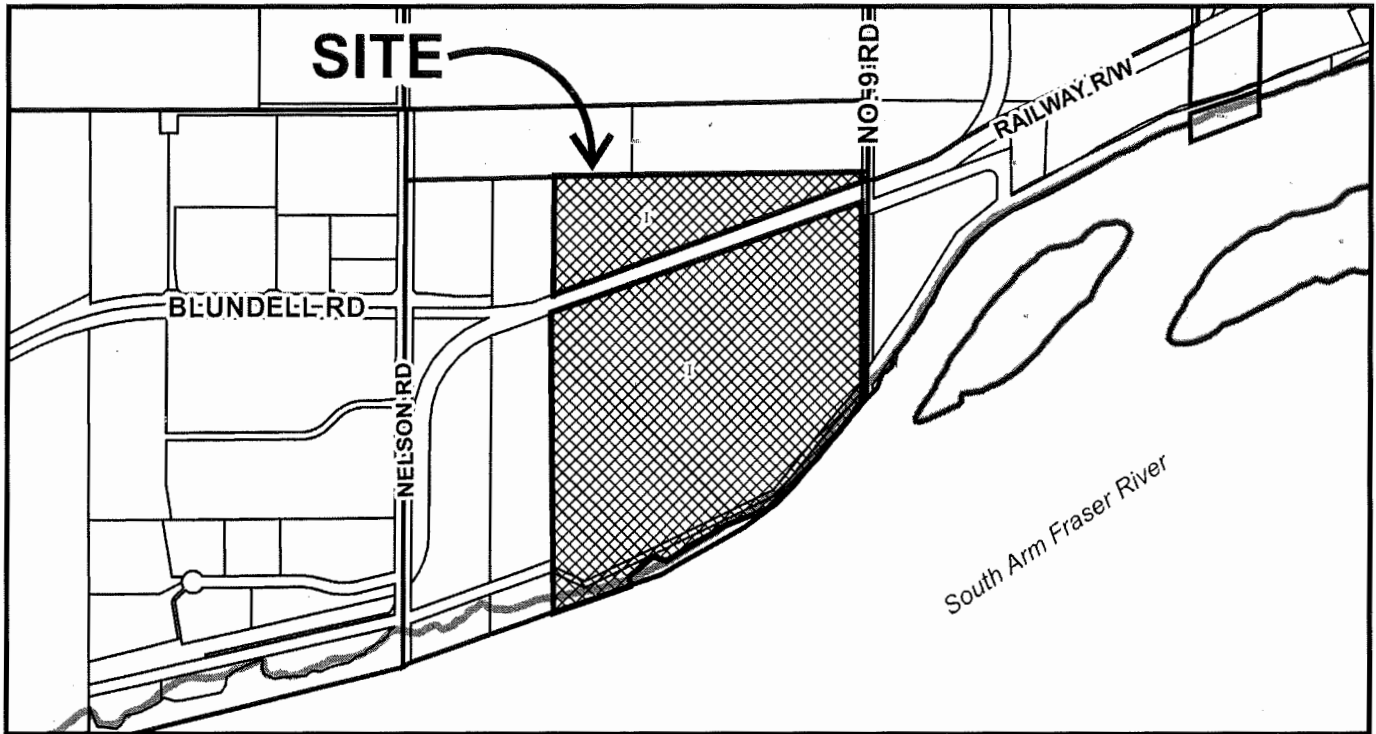
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF

MAYOR



City of
Richmond

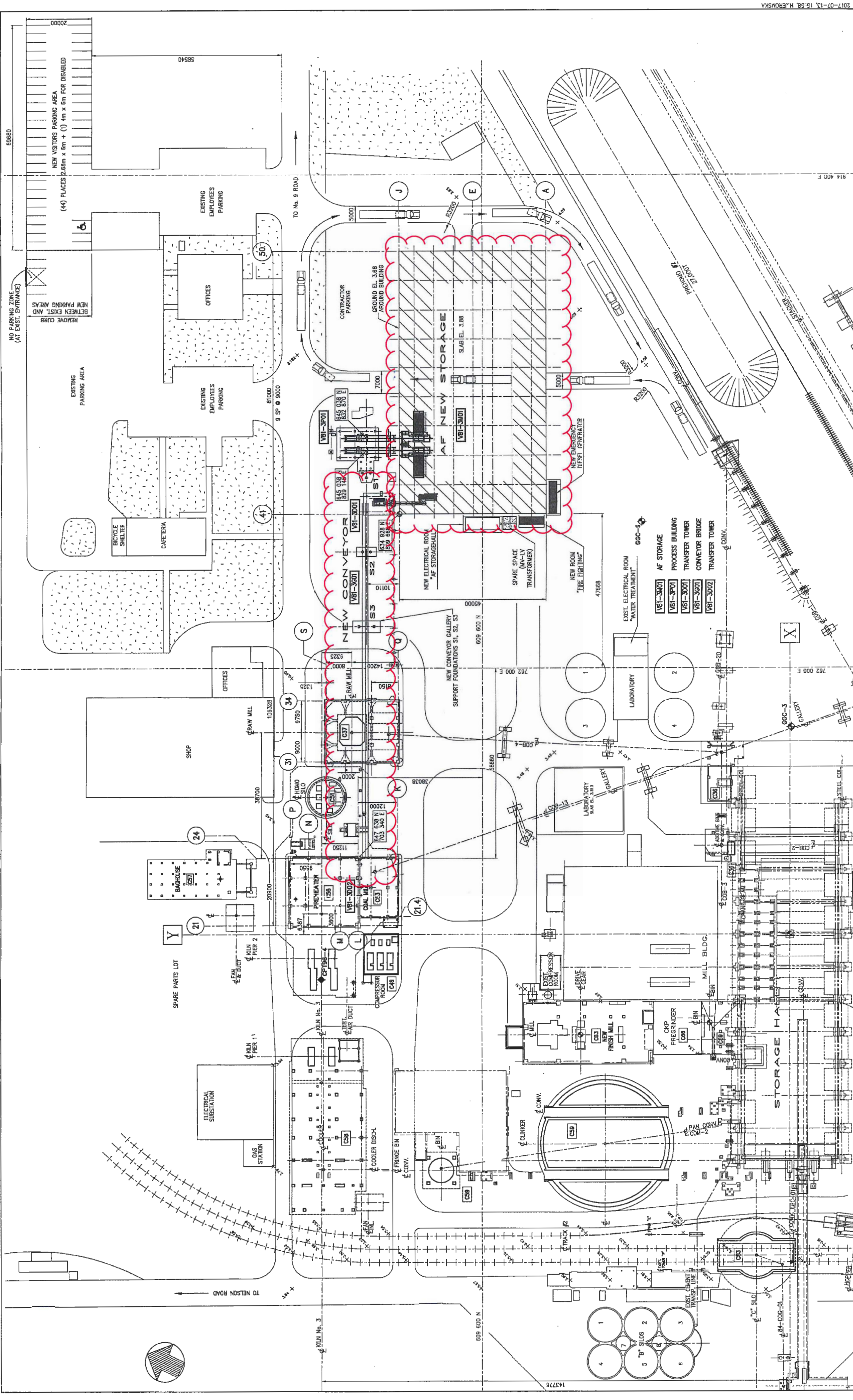


DV 17-790824
SCHEDULE "A"

Original Date: 11/16/17

Revision Date:

Note: Dimensions are in METRES



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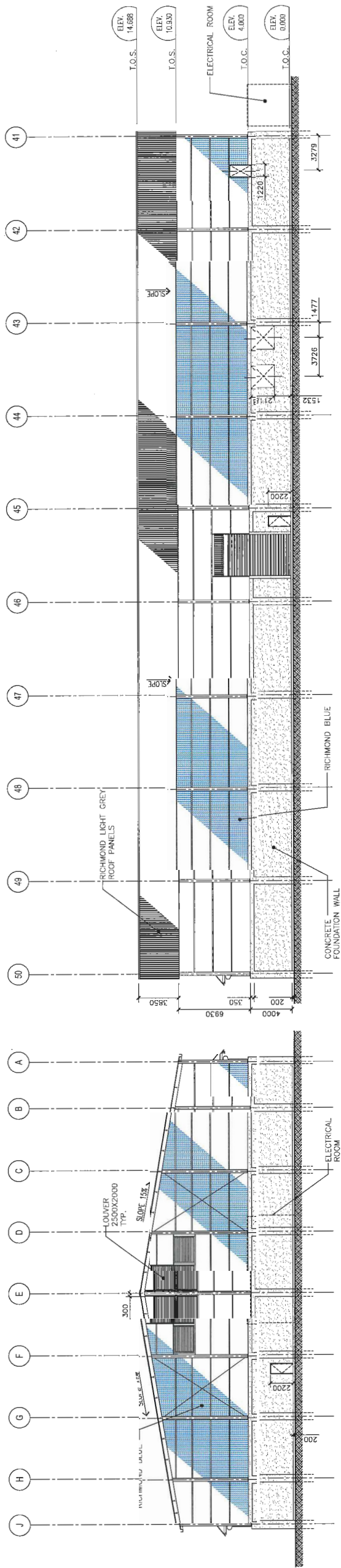
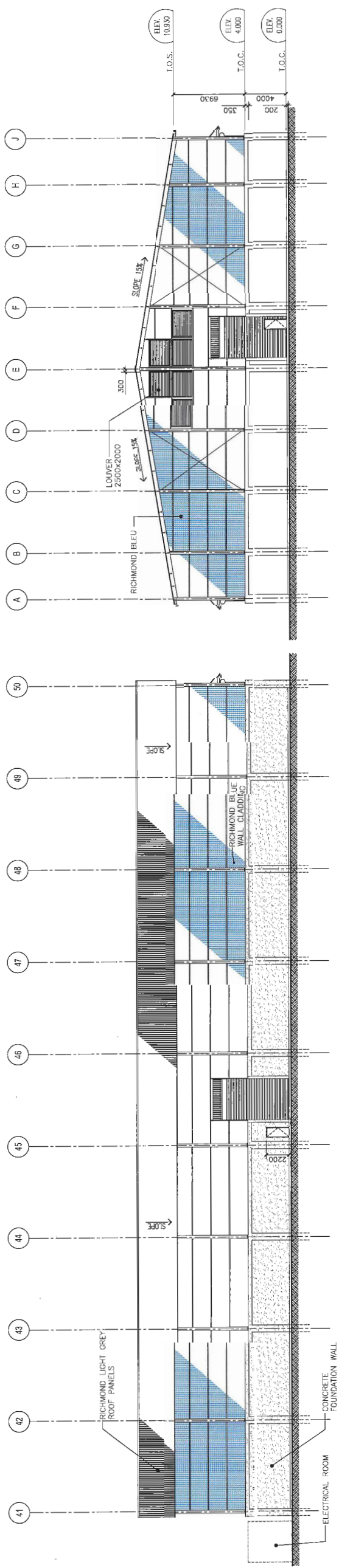
SITE PLAN
1:500

REVISIONS		DATE	BY	CHKD	DESCRIPTION
5	E	20/12/2017			ISSUED FOR REVIEW
4	D	30/11/2017			ISSUED FOR REVIEW
3	C	24/10/2017			ISSUED FOR COMMENTS
2	B	11/08/2017			ISSUED FOR BID
1	A	13/07/2017			ISSUED FOR COMMENTS

NO.	REV.	DATE	ISSUE
1			
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DATE	BY	CHKD	DESCRIPTION
20/12/2017			
30/11/2017			
24/10/2017			
11/08/2017			
13/07/2017			

STEVENS INC. 1440, St-James St. Suite 403 Montreal, Quebec H3B 1Y8	PROJECT NO. RMD01-STRU-GA01-V810000-0001	SCALE 1:500	DATE 11/08/2017	BY R.P.	CHKD R.P.	DATE 11/08/2017
LafargeHolcim			RICHMOND			B.C.
ALTERNATIVE FUEL STORAGE AND CONVEYING			AF STORAGE AND CONVEYING			SITE PLAN
RMD01-STRU-GA01-V810000-0001_E						

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<div>SEAL OF THE CITY OF MONTREAL 100, RUE D'ALGER MONTREAL, QUEBEC H2Z 1G6 TEL: 514 393-1555 FAX: 514 393-1556 E: INFO@IAAINTERNET.CA</div>										<div>IAA INTERNATIONAL ASSOCIATION OF ARCHITECTS 372 RUE, BUNDAU 19 Montreal, Quebec, Canada H3T 1M5 TEL: (514) 393-1555 FAX: (514) 393-1556 E: INFO@IAAINTERNET.CA</div>										<div>7611 No. 9 Rd. RICHMOND, BC.V6W 1H4 ALTERNATIVE FUEL STORAGE AND CONVEYING STORAGE BUILDING GROUND FLOOR</div>									
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