City of Richmond

Agenda

Development Permit Panel

Council Chambers, City Hall
6911 No. 3 Road

Wednesday, January 16, 2019
3:30 p.m.

MINUTES

Motion to adopt the minutes of the Development Permit Panel meeting held on November 28, 2018.

1. DEVELOPMENT PERMIT 16-754761
(REDMS No. 6013813 v. 2)

APPLICANT: Bene (Richmond) Development Ltd.

PROPERTY LOCATION: 6560, 6600, 6640 and 6700 No. 3 Road

Director's Recommendations

That a Development Permit be issued which would:

1. ***Permit the construction of a high-density, mixed-use development consisting of approximately 4,393 m^2 (47,286 ft^2) of commercial and office floor area and approximately 166 residential units, including nine low-end market rental units, at 6560, 6600, 6640 and 6700 No. 3 Road on a site zoned "High Density Mixed Use (ZMU36) – Brighouse Village (City Centre)"; and***
2. ***Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to No. 3 Road for portions of the building above 12.0 m from 0.5 m to 0.385 m.***

ITEM

2. DEVELOPMENT PERMIT 18-832285

(REDMS No. 6031848)

APPLICANT: Aplin & Martin Consultants Inc.

PROPERTY LOCATION: 8140 Garden City Road

Director's Recommendations

That a Development Permit be issued which would permit exterior renovations to the existing drive-through restaurant at 8140 Garden City Road on a site zoned "Community Commercial (CC)."

3. New Business

4. Date of Next Meeting: January 30, 2019

ADJOURNMENT

City of Richmond

Minutes

Development Permit Panel
Wednesday, November 28, 2018

Time:	3:30 p.m.
Place:	Council Chambers Richmond City Hall
Present:	Joe Erceg, General Manager, Planning and Development, Chair Cecilia Achiam, General Manager, Community Safety John Irving, Director, Engineering

The meeting was called to order at 3:30 p.m.

MINUTES

It was moved and seconded
That the minutes of the meeting of the Development Permit Panel held on November 14, 2018, be adopted.

CARRIED

1. DEVELOPMENT PERMIT 15-708092
(REDMS No. 6004857 v. 4)

APPLICANT: 1004732 B.C. Ltd.

PROPERTY LOCATION: 6840 & 6860 No. 3 Road and 8051 Anderson Road

INTENT OF PERMIT:

To permit the construction of an 11-storey mixed commercial and residential building, including 75 dwelling units and 10,943 m^2 (117,791 ft^2) of commercial space, at 6840 & 6860 No. 3 Road and 8051 Anderson Road on a site zoned "City Centre High Density Mixed Use with Office (ZMU31) – Brighouse Village".

Applicant's Comments

Daniel Eisenberg, GBL Architects Inc., spoke on the application noting that a slight modification to the parking structure is proposed since site access through the lane widening across a number of neighbouring properties has not been granted by neighbouring property owners. As a result, Mr. Eisenberg noted that the proposed turnaround of vehicles would happen on-site and would exit on Anderson Road. He added that there will be clearance for trucks in the loading area.

Staff Comments

Wayne Craig, Director, Development, noted that the application was previously endorsed by the Panel in November 2017 and the proposed changes reflect the revised rezoning considerations approved by Council. He added that the proposed project will be built to a LEED Silver equivalency and will be District Energy Utility ready.

Correspondence

Counsel for Chung Kit Fok, property owner of 6820, 6832 and 6838 No. 3 Road (copy on-file, City Clerk's Office).

The counsel for Mr. Fok has expressed concern regarding the negative effects of construction on Mr. Fok's property. Staff noted that the matter between the adjacent property owner and the applicant is civil in nature.

Gallery Comments

None.

Panel Decision

It was moved and seconded
That a Development Permit be issued which would permit the construction of an 11-storey mixed commercial and residential building, including 75 dwelling units and 10,943 m^2 (117,791 ft^2) of commercial space, at 6840 & 6860 No. 3 Road and 8051 Anderson Road on a site zoned "City Centre High Density Mixed Use with Office (ZMU31) – Brighouse Village".

CARRIED

2. DEVELOPMENT PERMIT 18-822484
(REDMS No. 5973074 v. 2)

APPLICANT: Anthem Properties Group Ltd.

PROPERTY LOCATION: 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway

INTENT OF PERMIT:

To permit the construction of 43 townhouse units and four secondary suites at 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway on a site zoned "Town Housing – Steveston Highway (Steveston) (ZT85)".

Applicant's Comments

Nicholas Kasidoulis, Anthem Properties and Shamus Sachs, Integra Architecture Inc., spoke on the proposed project's urban design and architectural form and character, noting that (i) the proposed project will consist of two storey townhomes facing the neighbouring single-family homes and three storey townhomes along Steveston Highway, (ii) the proposed development will include a large indoor amenity area, and (iii) the site will have right-in-right-out vehicle access onto Steveston Highway.

Mary Yip, PMG Landscape Architects, briefed the Panel on the proposed landscape and open space design, noting that (i) buffer landscaping and a six-foot fence is proposed along the north portion of the site, (ii) a retaining wall and plantings of evergreen and deciduous trees along the north portion of the site will provide screening of the adjacent property, and (iii) barbeque and playground areas are incorporated into the proposed outdoor amenities.

Panel Discussion

In reply to queries from the Panel, Mr. Kasidoulis noted that a raised island on Steveston Highway is currently not proposed and that the site will have space for vehicle turnaround.

Staff Comments

In reply to queries from Committee, Mr. Craig noted that (i) the proposed development will provide a Public Art contribution, (ii) the proposed development will include five convertible units, (iii) the proposed development will be built to meet Energuide 82 standards, and (iv) in response to Council direction to not introduce a traffic signal at Swallow Drive, a right-in-right-out access supported by a physical barrier will be incorporated within the boulevard through the Servicing Agreement, and (v) installation of a centre median on Steveston Highway is not proposed due to the existing centre turning lane.

Gallery Comments

Lindsey Lawrence, Richmond resident, commented on the proposed right-in-right-out driveway, emergency vehicle access, and parking during construction.

In reply to queries from the Panel, staff noted that construction of the driveway will be completed through a Servicing Agreement and will be built to City specifications. Also, staff added that emergency vehicles will be able to access the site and that should the application proceed, the applicant would have to submit an access and parking plan prior to construction to address construction parking and site access.

Correspondence

Tom Yeung, 10711 Hollymount Drive (Schedule 1)

In reply to concerns expressed in the letter regarding drainage and privacy screening, staff noted that the installation of perimeter drainage is required and the proposal includes privacy fencing.

Panel Decision

It was moved and seconded
That a Development Permit be issued which would permit the construction of 43 townhouse units and four secondary suites at 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway on a site zoned "Town Housing – Steveston Highway (Steveston) (ZT85)".

CARRIED

3. New Business

It was moved and seconded
That the Wednesday, December 12, 2018 Development Permit Panel meeting be cancelled.

CARRIED

4. Date of Next Meeting : January 16, 2019

ADJOURNMENT

It was moved and seconded
That the meeting adjourn (4:10 p.m.).

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Wednesday, November 28, 2018.

Joe Erceg
Chair

Evangel Biason
Legislative Services Coordinator

Schedule 1 to the Minutes of the Development Permit Panel meeting held on Wednesday, November 28, 2018.

To Development Permit Panel
Date: Nov. 28, 2018
Item # 2
Re: DP 18-822484
5191-5351 Steveston Hwy.

From: tom m.k. yeung <tommkyeung@hotmail.com>
Sent: Thursday, 22 November 2018 20:28
To: CityClerk
Subject: Opinion related to DP 18-822484 : the Development Permit for 5191, 5195, 5211, 5231, 5251, 5271, 5273, 5291, 5331 and 5351 Steveston Highway (for Nov 28, 2018 meeting)

Dear Sir/Madam,

My house is a single detached house located on the north side of the development site. As per the development plan, multiple two-storeys townhouse units will be built next to my existing south backyard. I request the city could consider adding the following conditions before approving the development to go ahead:

1. The demolished old houses used to be at the south side of my backyard was at the same ground level as my backyard and which was lower than the street level of Stevenson Highway, so there was no flooding problem occurred in my backyard even during winter raining season. However, the developer now has filled up the whole site with more soil/earth and raised its level to match the street level of Stevenson Highway, the developer has to ensure that the new development would not create any flooding issue to my backyard and building. The developer and/or future townhouse management needs to ensure that a proper drainage system would be built and well maintained between the north side of the site and my backyard;
2. On the north property line of the new development, a 1.8M height wooden fence proposed to be built is not high enough to protect my usual privacy since the two-storeys townhouse will be built on a higher ground level than before. The difference between the new ground level with my backyard should be considered and added to the requirement for the new fence (at least add another 2 to 3 feet than the proposal);
3. The developer and/or future townhouse management should bear the full responsibility to maintain the wooden fence between our property line in good condition at all time;
4. The developer and/or the future townhouse management should bear the full responsibility to maintain the cleanliness and hygiene of the SRW path, if any, between my backyard and their north property line.

Thank you for your consideration.

Tom Yeung
10711 Hollymount Drive
Richmond BC

City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	December 18, 2018
From:	Wayne Craig Director, Development	**File:**	DP 16-754761
Re:	**Application by Bene (Richmond) Development Ltd. for a Development Permit at 6560, 6600, 6640 and 6700 No. 3 Road**		

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a high-density, mixed-use development consisting of approximately 4,393 m^2 (47,286 ft^2) of commercial and office floor area and approximately 166 residential units, including nine low-end market rental units, at 6560, 6600, 6640 and 6700 No. 3 Road on a site zoned "High Density Mixed Use (ZMU36) – Brighouse Village (City Centre)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to reduce the front yard setback to No. 3 Road for portions of the building above 12.0 m from 0.5 m to 0.385 m.

Wayne Craig
Director, Development
(604-247-4625)

WC: jhd
Att. 6

Staff Report

Origin

Bene (Richmond) Development Ltd. has applied to the City of Richmond for permission to develop a high-density, mixed-use development consisting of approximately 4,393 m^2 (47,286 ft^2) of commercial and office floor area and approximately 166 residential units, including nine low-end market rental units, at 6560, 6600, 6640 and 6700 No. 3 Road.

The proposed podium and tower form of development includes:

- A total floor area of approximately 17,572 m2 (189,142 ft2).
- Four levels of retail, restaurant and office uses combined with four levels of above-grade parking.
- One eleven-storey and one eight-storey residential tower.

The site is being rezoned from "Downtown Commercial (CDT1)" to "High Density Mixed Use (ZMU36) – Brighouse Village (City Centre)", under Richmond Zoning Bylaw 8500, Amendment Bylaw 9855 (RZ 15-694855). Key considerations of rezoning include:

- Design and construction of infrastructure improvements through a Servicing Agreement (SA) including:
    - Upgraded City utilities.
    - Preducting for and/or undergrounding of private utility lines and relocation of all private utility equipment on-site.
    - Road dedications and frontage improvements to provide for an enhanced back-of-curb public realm on No. 3 Road.
    - Road dedications and frontage improvements to provide for extension and widening of the existing north-south lane.
    - Retention of three existing street trees on No. 3 Road and addition of new street trees as determined through the SA process.
- Design, construction and transfer ownership of the on-site energy plant to the City.
- Provision of cash-in-lieu contributions for childcare and community amenity space.
- Provision of a cash contribution to the City's Public Art Program.

Development Information

Please refer to the Development Application Data Sheet (Attachment 1) for a comparison of the proposed development data with the relevant bylaw requirements. Please refer to the Development Permit Conditions of Approval (Attachment 2) for additional Development Permit requirements.

Site and Context

Existing Site and Development: The subject site is located within the City Centre's Brighouse Village. It sits on the east side of No. 3 Road between Cook Road and Park Road and is comprised of four lots. The existing buildings have been demolished.

Surrounding Development: Development surrounding the subject site is as follows:

To the North:	Adjacent, an existing low-scale commercial building with surface parking.
To the East:	Across the north-south City lane, existing, low-scale commercial buildings on sites fronting both Cook Road and Park Road. The site at 8071 and 8091 Park Road is subject to a Rezoning Application [RZ 17-779299], which has received Third Reading, and a Development Permit Application [DP 18-831623], which will be subject to a separate report. The application proposes an approximately 4.0 FAR, 47.0 m high, podium and tower, commercial, office and residential use development.
To the South:	Adjacent, existing low-scale commercial buildings with surface parking.
To the West:	Across No. 3 Road, the Richmond Centre Mall site, which is zoned "Downtown Commercial (CDT1)". The southern portion of this site is subject to an Official Community Plan (OCP) Amendment Application [CP 16-752923], which received Third Reading on December, 17, 2018. The western portion of the Amendment area is subject to a Development Permit Application [DP 17-768248], which will be subject to a separate report. The application proposes a combined FAR of 3.0 and a maximum height of 47.0 m and includes redevelopment of the mall and development of two blocks of mixed commercial and residential use podium and tower developments with a total of seven towers.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 18, 2018. No concerns were expressed about the development.

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the urban and functional design issues identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "High Density Mixed Use (ZMU36) – Brighouse Village (City Centre)" zone except for the zoning variances noted below.

Zoning Compliance/Variances

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500, Amendment Bylaw 9855, to:

1) Reduce the front yard setback to No. 3 Road for portions of the building above 12.0 m from 0.5 m to 0.385 m.

(The proposed variance results in a 0.115 m (4.5 in.) reduction in the front yard for a small portion of the No. 3 Road frontage above 12.0 m. Staff supports the proposed variance as the reduction is not substantive and accommodates increased insulation depth in the façade, contributing to greater energy efficiency.

Prior to rezoning, the tower location was reviewed with TransLink in the context of a possible future extension of the Canada Line. TransLink supported the proposal subject to the lower four stories of the development meeting the Canada Line setback requirement of 6.0 m from the guideway drip line as hypothetically extended through this site. The lower four storeys are consistent with or greater than this requirement. The variance does not impact ground level circulation.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the proposal and was supportive of the proposed form and character subject to Panel comments. The applicant has addressed significant comments including:

- Design development of the central plaza and stair to increase open space and add legibility to the various building accesses.
- Design development of the landscape plans to improve wheelchair access and to better programme the common outdoor amenity area.

A copy of the relevant excerpt from the Advisory Design Panel Minutes from July 18, 2018 is attached for reference (Attachment 3). The applicant's detailed design responses are provided in '***bold italics'*** immediately following each Design Panel comment.

Analysis

Urban Design

Public Realm: The proposed development contributes to urban connectivity and public open space through a combination of off-site and on-site strategies. Included are:

- For No. 3 Road, a 9.0 m wide back-of-curb cross-section with a treed and planted boulevard, an off-street bike lane, a buffer strip and a 3 m wide sidewalk. This wider than typical cross-section, which applies to the east side of No. 3 Road between Granville Avenue and Brighouse Station, has been identified as a "culture/art stroll" in the City Centre Area Plan.
- For the north-south lane, extension of the lane to the north and widening of the lane to provide for a sidewalk and lighting along the property's new east property line.
- On the No. 3 Road frontage, at the ground level, a deeper building setback (4.0 m +/-). The extra depth adds to the potential for street animation via outdoor display and seating.
- Approximately mid-site on No. 3 Road, a central plaza leading to lobbies for multiple functions on the site, as well as into to the parkade.

A preliminary concept plan for the No. 3 Road back-of-curb improvements has been provided for context (Attachment 4) and shows a paving pattern concept that integrates the back-of-curb improvements with the on-site landscape design. In addition to smoothing on- and off-site transitions, the proposed concept will assist with wayfinding. Further development of the off-site design for the subject site will occur through the Servicing Agreement process and minor adjustments of the approved Development Permit landscape plan may be warranted as a result. Any significant changes to on-site works will be subject to a General Compliance application.

Public Art: As a consideration of rezoning, the applicant has offered to make a contribution of $135,463 to the City's Public Art Program. Public Art staff will act as the art consultant for the project and are exploring using the contribution to artistically enhance the pedestrian lighting that will be provided in the buffer strip between the No. 3 Road bike lane and sidewalk. This strategy is consistent with the City Centre Public Art Plan which includes policies related to enhancement of the No. 3 road corridor, including its street furnishings, with art. The lighting concept, if applied to other development sites between Granville Avenue and Brighouse Station, will contribute to the creation of an overall identity for this section of No. 3 Road. The proposed light enhancements will be managed through the Public Art process.

Public Adjacencies: The development concept proposes street-animating commercial uses at the ground level on No. 3 Road. Further, the development has been massed and stepped at the lower levels to physically and visually expand the public realm up and into the site. This stepping, combined with the location of the tower masses, supports good light access for both the site and the No. 3 Road public realm.

Private Adjacencies: The subject site sits mid-block and creates residual lots to its north and south. The applicant was unable to acquire these properties to add to the development site. Viability studies have been provided for these sites (6400 No. 3 Road and 6740 and 6760 No. 3 Road) to demonstrate the properties may be developed in accordance with the Official Community Plan (OCP).

Grade Relationships and Flood Construction Level: The applicant has assessed the requirements of the Flood Plain Designation and Protection Bylaw and has reviewed the circumstances with Building Approvals staff.

Site and Functional Planning

Site Access: Proposed pedestrian access to the site includes storefront entries along No. 3 Road and ground level office and residential lobbies off the central plaza on No. 3 Road. An outdoor stair and elevator leads from the plaza to a publically accessible upper patio area and additional office, restaurant and residential lobbies.

Vehicle and truck access is proposed from the north-south lane with truck spaces located directly off the lane.

Fire Access: Fire access has been accepted by Fire Department and Building Approvals staff based on the fire access plan and code analysis provided by the applicant.

Parking and Loading: The proposed provision of bicycle, vehicle and truck spaces is consistent with the site-specific bylaw (ZMU36) provisions. Class 1 bicycle parking is provided on the first and second storeys of the parkade. Class 2 bicycle spaces are located along the No. 3 Road frontage and within the parkade. Proposed vehicle parking for the residential uses meets the bylaw requirements. Proposed vehicle parking for the commercial and office uses also meets the bylaw requirements. The loading and waste management spaces meet the bylaw: the loading area accommodates three medium-size trucks that will be shared between non-residential, residential and waste management trucks.

Transportation Demand Management (TDM) Measures: As a consideration of rezoning, the parking rates were reduced based on a transportation consultant's assessment of the site specific needs and the provision of Transportation Demand Management measures. The measures include three car share spaces with cars, bicycle end-of-trip facilities for non-residential uses, bicycle repair facilities for residential uses, a Transit Pass program and a contribution for a bus shelter. A draft agreement with a car share company and a Letter of Credit for $75,000.00 to secure the purchase of the car share cars is required prior to Development Permit approval. A Letter of Credit for $148,684.80 is required prior to Development Permit approval to secure the Transit Pass Program.

Waste Management: The waste management facilities include separate non-residential and residential collection rooms that are immediately adjacent to the waste management loading area. A letter explaining how the facilities will function has been provided by the applicant's waste management consultant and the Waste Management Plan has been vetted by staff.

District Energy Utility: The central energy plant required as a consideration of rezoning includes equipment facilities located in the second level parkade and on the roof. The rooftop equipment is screened, positioned as remotely as possible from the adjacent tower and will be required to conform to the Noise Regulation Bylaw maximum noise levels. Sustainability staff have reviewed and accepted the proposed locations and areas reserved for the equipment. Should any changes affecting the form and character of the development be required as a result of more detailed engineering, a General Compliance application will be advanced to the Panel.

Third-party Utilities: All permanent third party utility equipment is required to be located on site. The applicant has stated that none is needed.

Common Indoor Amenity Space: A total of 332 m^2 (3,574 ft^2) of residential common indoor amenity space is proposed. This meets the CCAP objective of 2 m^2/unit (22 ft^2/unit). The area is distributed between a centralized two-story amenity space and a variety of passive communal spaces provided on multiple levels in conjunction with the vertical circulation for the rear building. The main amenity space includes an exercise area and a lounge with kitchen. The lower level of this space opens up to the adjacent residential common outdoor amenity space.

Common Outdoor Amenity Space: A total of approximately 1,975 m^2 (21,259 ft^2) of common outdoor amenity space is proposed. This includes outdoor spaces provided for the public, non-residential users and residential users. It also includes areas of soft landscape used for buffering and environmental enhancement of the project.

- *Public Space:* Secured open space is provided on the ground level of the development in the form of a small central plaza. The area is approximately 204 m^2 (2,896 ft^2). The public space leads to the office and residential lobbies, as well as to the car share spaces located just inside the parkade. The space also extends to the second level where access is provided for users of the restaurant, additional office and residential lobbies, the parkade and a number of small patio areas.
- *Restaurant and Office:* There is no specific requirement for non-residential outdoor space. However, approximately 303 m^2 (3,362 ft^2) of outdoor amenity space is provided for the restaurant and offices on Level 2, Level 3 and Level 4. These spaces combine open air and covered patio areas.

- *Residential:* A total of approximately 1,468 m^2 (15,801 ft^2) of residential common outdoor amenity space is provided on Levels 4 and 5. This area slightly exceeds the minimum requirement of 6 m^2 (65 ft^2) per unit plus 10% of the net development site area. The residential outdoor spaces combine multiple social and recreational functions including a children's play area, various seating areas, BBQ facilities, urban agriculture and east and west facing contemplation areas. The play space is approximately 505 m^2 (5,436 ft^2) and includes active and passive play areas. This slightly exceeds the minimum requirement of 3 m^2 per unit (included within outdoor amenity area). Please see the Landscape and Open Space section of this report for a discussion of the proposed play equipment and other landscape design strategies for the outdoor amenity areas.
- *Natural Landscape:* Calculated separately, the natural landscape component of the outdoor amenity space proposal is approximately 694 m^2 (7,468 ft^2).

Private Outdoor Amenity Space: With the exception of the one-bedroom units overlooking No. 3 Road (which could be impacted by a future Canada Line extension), patios or balconies have been provided for all residential units. The combined area is approximately 1,346 m^2 (14,488 ft^2). This significantly exceeds the CCAP requirement (996 m^2). The patios and balconies include a variety of configurations (inset, partially inset, projecting and/or spanning the whole width of the unit) to address building articulation objectives.

Community Amenities

Affordable Housing: A total of nine Low End Market Rental Housing (LEMR) units are proposed. These are clustered on Levels 5, 6 and 7 of the rear building and include a range of unit types (studio through three bedrooms). Family-friendly units comprise 66% of the total number of units and the combined floor area is 698 m^2 (7,510 ft^2), per the rezoning.

AFFORDABLE HOUSING SUMMARY

Unit Type	Affordable Housing Strategy Requirements			Unit Mix	
	Min. Permitted Unit Area	Max. Monthly Unit Rent*	Total Max. Household Income*	% of Units	# of Units
Studio	37 m^2 (400 ft^2)	$811	$34,650 or less	33%	3
1-Bedroom	50 m^2 (535 ft^2)	$975	$38,250 or less	0%	0
2-Bedroom	69 m^2 (741 ft^2)	$1,218	$46,800 or less	33%	3
3-Bedroom	91 m^2 (980 ft^2)	$1,480	$58,050 or less	33%	3
TOTAL	**698 m2 (7,510 ft2)**	**Varies**	**Varies**	**100%**	**9**

The proposal is supported by Affordable Housing staff and will be subject to a standard Housing Agreement and Covenant, including provision for use of a non-profit housing management model.

Architectural Form and Character

The design team for the proposed development established a number of objectives for the project in addition to addressing the City Centre Development Permit Guidelines. These include:

- Creating a form of development that enhances and extends the public realm into the project.

- Creating a socially cohesive development that supports public, non-residential and residential use interaction.
- Integrating living landscape to create a "natural oasis" within the city.

The proposed massing of the development includes a four-storey podium base containing the commercial and office uses as well as the parkade. The commercial uses include retail located at grade, restaurant located on Level 2 and Level 3 and office located on Level 2, Level 3 and Level 4. Together, they form a three to four-storey podium/streetwall along No. 3 Road that is carved away approximately mid-frontage/mid-block to create an entry plaza at grade and a series of stepped patios, balconies and landscape features above.

The residential uses are situated in two massing components above the podium. The front or streetside component is designed as a standalone vertically-oriented tower. It is square in plan, 11 storeys and cantilevers beyond the podium below. The rear or laneside component is designed as a horizontally-oriented slab building and includes a four-storey lower section, which spans much of the width of the site, and a four-storey upper section, which is setback from the side property lines at the tower level (25 m).

Massing: The proposed massing and distribution of uses address various design objectives of the CCAP Development Permit Guidelines as follows.

- The commercial and office podium/streetwall defines the No. 3 Road street edge and supports continuity with the podia/streetwalls that can be anticipated with redevelopment of abutting sites.
- A deeper front yard setback has been provided along the No. 3 Road frontage which amplifies opportunities for street activation through outdoor seating and display.
- The shared multi-level plaza further activates the street and creates a more porous development at the ground and second levels. It will draw building users and the public into the site as well as draw tenants, residents and patrons out towards the street.
- "Varied and distinctive building forms" are achieved with the use of the two residential massing components. The vertical tower will add to the rhythmical line of towers that is developing up and down the east side of No. 3 Road. The slab will operate as a backdrop to the site's communal activity and provide a secondary enclosing edge for the street.
- With much of the upper level massing located toward the rear of the site, a more intimate, four-storey, "shopping" street scale is established along the No. 3 Road frontage (e.g. "taming tall buildings").
- The two component residential massing solution also supports good street outlook for more of the dwelling units than would occur with a more integrated tower and slab approach.
- The tower and slab components are both set back from the side property lines above 25 m and provide for massing and tower location flexibility on the sites to the north and south.

Articulation: The proposed development is highly articulated and addresses the objectives of the Development Permit Guidelines in a variety of ways.

- Overall strategies include the use of a combination of orthogonal and sinuous forms; large scale framing elements; an alternating grey and white colour scheme; varied use of facade materials; varied balcony styles; and, highly integrated horizontal and vertical soft landscape.

- Large areas of glass on the lower levels facing No. 3 Road extend articulation from the public realm into the commercial and office interiors.
- The contrasting punched window wall and curtain wall finishing of the tower façade marks the development's entrance plaza with a 'signature' building.
- Pop out (indoor amenity space) and punch out (covered outdoor amenity space) building massing helps break up the long facades of the slab component and celebrates the communal aspects of the development.
- A varied skyline is achieved through the significantly different heights of the tower and slab components, the angled plan of the slab building and the stepped massing of the slab building.
- Proposed decorative features supplied by the applicant include the printed graphic screen on the No. 3 Road office façade for both visual interest and heat gain reduction.
- The lane way parkade is enhanced with metal screening and its massing broken down with a planted setback along the lane on the first level. The exposed north and south podium walls are provided with whimsical painted murals for interim visual interest.

Character: The proposed development has incorporated a wide variety of the character features described in the CCAP Development Permit Guidelines.

- "Strong Horizontal Expression" predominates at both the ground level and in the rear slab component of the residential massing.
- "West Coast Lifestyle Expression", including active outdoor living, is supported with the multi-level landscaped open spaces.
- Significant planting on the upper level terraces, much of which is visible from the streets and public areas of the site, supports "Garden City Expression".
- "Green Building Expression" gives rise to the proposed 50/50 window/wall ratio, significant planting and green roofs for storm water management, a combination of deeply recessed and deep cantilevered balconies for solar shading and west-facing balcony screening.

Materials and Colour: The proposed building materials (glass, metal and concrete) and colours (variations on grey and white) are relatively muted and serve to balance the intensity of the highly articulated building forms proposed for the development. They also provide a simple backdrop to the natural colours of the soft landscape.

The curtain and window wall systems have clear glass and utilize different framing systems to express different uses at the development's lower levels as well as to provide contrasting vertical and horizontal façade emphasis. Metal detail elements are used in a variety of ways including: shading for a section of the west-facing office windows; screening for the parkade; guardrails for some of the balconies; and, supports for vertical soft landscape.

Special Design Features: The proposed mid-frontage/mid-block pedestrian plaza, with its roles in creating porosity and bringing tenants, residents, patrons and the public together, is a defining feature of this project. Access to and from the restaurant, office and residential lobbies and vertical circulation, as well as access to and from the various parkade levels, is concentrated through this space at grade and on the second, third and fourth levels of the development. The parkade is designed as an extension of this space so that it will remain easily accessible for all as well as to enhance lighting and safety.

Signage: A signage and wayfinding package has been provided. The package was created to establish a contemporary urban identity for the development in addition to addressing the multiple functional objectives necessitated by a development of this scale. A separate Sign Permit Application is required for the proposed commercial signage.

Landscape and Open Space Design

Ground and Second Level: The proposed on-site ground plane design along the No. 3 Road frontage combines hard and soft landscaping to create the plaza, commercial patios, areas for Class 2 bike parking and a third row of "street" trees. The paving patterns on this frontage are used to highlight the plaza and accesses to retail entries, lobbies and the parkade. The commercial patios are edged with planters to create a comfortable and demarcated relationship with the more active City sidewalk. A sculptural outdoor stairway draws the public up to the second level from the plaza where a dramatic entry to the restaurant is provided through a proposed three storey green wall. Grading has been designed to ensure disabled access to all lobbies, to all commercial units and to and from the parkade.

On the lane frontage, the proposal includes bamboo planted between the new sidewalk and the Level 1 parkade wall in order to enhance the environment for pedestrians and cyclists. At night, light will filter through from the parkade to assist with pedestrian safety.

Upper Level Commercial and Office Open Space: The various open spaces associated with Levels 2 and 4 are finished with unit paving, soft landscape and movable patio furnishing. Beyond the lobby/parkade circulation areas, the degree to which the open spaces will be shared by the tenants in the building will depend on future non-residential tenancies and agreements.

Residential Open Space: The common residential open space is focused on Level 5. It combines child, adult and intergenerational programming as well as more individual and more group oriented spaces. Landscape mounds with trees are used to define the different programmatic areas as well as to screen adjacent private patios. A cantilevered deck is proposed on the fifth level that will project into the trees growing up from the fourth level roof. This will provide an alternate and intimate experience of the natural landscape for both children and adults. A patio directly off the indoor amenity space is sheltered by the cantilevered indoor amenity space on Level 6 and is located adjacent to the child's play area so that weather protection can be provided for watching parents.

Child's Play: The child spaces have been organized into three general categories to meet a variety of developmental stages. The first is an active play area which will include both a larger play structure aimed at children 5-12 years, as well as smaller features to accommodate ages 2-5 years. Having these adjacent to one another allows younger children to learn by watching the activities of their older peers. In close proximity is a second category of child space – an outdoor family oriented space, partially under cover and partially in the open, that is designed to allow for quieter activities such as colouring, reading, and the sharing of meals. The final children's area is located on the north end of Level 5 and has been designed as a passive nature area, set within the natural plantings. This area, along with the cantilever deck, will allow children into close proximity with vegetated landscape, which is especially crucial for children in the city. The conventional play equipment includes a climbing structure that supports different kinds of crawling, climbing and sliding, springers, play tables and varied seating forms. The play structures are set on safety surfacing. These include ground level and elevated activities.

Green Roof: Extensive irrigated green roofs are proposed on Level 9 of the east tower. In addition to contributing to sustainability, the green roofs will enhance the view from future surrounding development.

Tree Retention and Replacement: There were no on-site bylaw-size trees. Off-site trees will be retained or replaced with compensation consistent with the considerations of rezoning, except as further noted. A Tree Protection Plan is provided (Attachment 4). The Plan reflects the current opinion of the arborist, landscape architect and civil engineer that the fourth tree may also be retained. The final circumstances will be established through the Servicing Agreement process.

Landscape Letter of Credit: Completion of the on-site landscaping will be secured with a Letter of Credit for $800,000.00.

Sustainability

LEED: As considerations of rezoning, the development will target LEED Silver. The preliminary scorecard is provided (Attachment 6).

DEU: As a consideration of rezoning the applicant will Design, construction and transfer ownership of the on-site energy plant to the City.

Livability

Accessibility: All units will be provided with Aging-in-Place features (stairwell hand rails; lever-type handles for plumbing fixtures and door handles; and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers). The proposal also includes 24 units that are further enhanced with Basic Universal/Adaptable housing features (per Section 4.16 of the Richmond Zoning Bylaw). These units are permitted a density exclusion of 1.86 m^2 (20 ft^2) per unit.

Basic Universal Housing

Unit Tenure	Unit type	Total Units
Low End Market Rental	ST through 3B+D	9
Market Strata	ST through 3B+D	15

The applicant has also included a description of other accessibility features in the drawing package.

Noise Mitigation: The applicant has provided an acoustic consultant report indicating that the residential component of the development will be designed to incorporate sound mitigation measures as required per the rezoning considerations. The possible need for additional noise mitigation for DEU roof top equipment has also been acknowledged and is expected to be assessed in the Building Approval process, at which time the DEU equipment will be fully specified and sized. Should changes affecting the form and character of the development be required, a General Compliance application will be advanced to the Panel.

Crime Prevention through Environmental Design: The applicant has provided a list of the CPTED features in the DP drawing package. These include: engagement and passive surveillance between the development and the public realm; mix of uses supports day and night activity; careful delineation of public, semi-public and private open space; design of hard and soft landscape to maintain strategic site lines; use of a glass elevator for access to upper level restaurant; design of parkade to avoid entrapment; integration of physical and visual permeability to the parkade to heighten security; and, parkade painting and lighting to assist with wayfinding for the various special areas such as bicycle facilities, car share and EV charging.

Phasing and Subdivision

The proposed development is of a size and design that precludes phasing. A preliminary subdivision strategy has been provided by the applicant and includes the following:

- One air space parcel for commercial and office floor area that will be further stratified within the airspace parcel.
- One air space parcel for Affordable Housing with no further stratification.
- One air space parcel based on the remainder area that will be further stratified in the case of the market residential units within the airspace parcel.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Janet Digby
Planner 3
(705-247-4620)

JD: blg

ATTACHMENTS:

Attachment	1	Development Application Data Sheet
Attachment	2	Development Permit Conditions of Approval
Attachment	3	Advisory Design Panel Minutes (annotated)
Attachment	4	Preliminary Public Realm Plan (for illustrative purposes only)
Attachment	5	Tree Protection Plan
Attachment	6	LEED Checklist

ATTACHMENT 1

City of Richmond

Development Application Data Sheet

Development Applications Department

DP 16-754761	
Address:	6560, 6600, 6640 & 6700 No. 3 Road
Applicant:	Bene (Richmond) Development Ltd.
Owner:	Bene (Richmond) Development Ltd.
Planning Area(s):	City Centre – Brighouse Village

DP 16-754761	Required	Proposed
Site Area:	Min. 4,000 m^2	4,066 m^2
Net Development Site Area:	n/a	4,393 m^2
Land Uses:	Mixed Use	Mixed Use
OCP Designation:	Downtown Mixed Use	Downtown Mixed Use
Area Plan Designation:	Urban Core T6 (45 m)	Urban Core T6 (45 m)
Zoning:	ZMU36	ZMU36
Number of Residential Units:	n/a	166

DP 16-754761	Bylaw Req't	Proposed	Variance
Floor Area Ratio (FAR):	Max. 4.0	4.0	n/a
Floor Area per FAR:	Max. 17,572 m^2	17,572 m^2	n/a
Non-residential Floor Area:	N/A	4,393 m^2	-
Residential Floor Area:	Max. 13,179 m^2	13,179 m^2	-
Lot Coverage:	Max. 90%	85%	-
Lot Size:	Min. 4,000 m^2	4,066 m^2	-
Setback – Front Yard (west):	Min. 0.5/4.0 m	0.5/4.0+ m	Y**
Setback – Side Yard (north):	Min. 0.0/4.0 m	0.0/4.0+ m	-
Setback – Side Yard (south):	Min. 0.0/4.0 m	0.0/4.0+ m	-
Setback – Lane (east):	Min. 0.0/4.0 m	0.0/4.0+ m	-
Height Dimensional (geodetic):	Max. 47.0 m	46.89 m	-
Off-Street Parking Spaces – Residential Unit:*	128	137	-
Off-Street Parking Spaces – Affordable Housing Unit:*	7	8	-
Off-Street Parking Spaces – Visitor (Shared):*	(25)	(25)	-
Off-Street Parking Spaces – L1 and L2:*	40	41	-
Off-Street Parking Spaces – L3+:*	45	45	-
Off-Street Parking Spaces – Car Share Spaces:	3	3	-
Off-Street Parking Spaces – Total:	223	234	-
Off-Street Parking Spaces – Disabled:	5	5	-
EV Charging Residential:	100%	100%	-
EV Charging Car Share:	3	3	-
Loading Space – Large Size:	n/a	n/a	-
Loading Spaces – Medium Size:	3	3	-
Bicycle Parking Spaces – Class 1:	218	222	-
Bicycle Parking Spaces – Class 2:	48	48	-
Indoor Residential Amenity:	332 m^2	332 m^2	-
Outdoor Residential Amenity:	1,423 m^2	1,468 m^2	-
Child's Play Area (included in outdoor amenity area):	498 m^2	505 m^2	-

*Includes TDM Reduction (10%). ** Proposed variance to reduce FY from 0.5 to 0.385 where applicable.

ATTACHMENT 2

City of Richmond

Development Permit Conditions of Approval

Development Applications Department

The following conditions are to be met prior to forwarding this application to Council for approval:

1. Receipt of a Letter-of-Credit for landscaping in the amount of $800,000.00 which includes the cost of construction and a 10% contingency amount for landscape works shown in the Development Permit plans.
2. Provision of a final acoustic report and recommendations by a professional acoustic consultant with respect to sound mitigation measures required as a consideration of rezoning and including a commitment to assess and recommend mitigation measures at the Building Approval stage for any DEU mechanical equipment noise that exceeds the Noise Bylaw limitations.
3. Addition of DEU commentary to applicable Noise Covenants.
4. Provision of a copy of the draft contract between the owner and the car share operator describing the terms of the provision of car sharing services.
5. Receipt of a Letter of Credit in the amount of $148,684.80 to secure the owner's commitment to provide transit passes based on 110% of transit pass costs (including 100% for transit pass purchases and 10% for future transit pass cost increases and administration).
6. Receipt of a Letter of Credit for car share vehicles in the amount of $75,000.00.

Note: Prior to future Building Permit issuance, the developer is required to complete the following:

1. The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.
2. Submission of construction traffic and parking management plan to the satisfaction of the City's Transportation Department (http://www.richmond.ca/services/ttp/special.htm).
3. Provision of recommended noise mitigation measures to be provided for on-site District Energy Utility facilities, as needed.

Annotated Excerpt from the Minutes of

Advisory Design Panel Meeting

Wednesday, July 18, 2018 – 4:00 p.m.

Comments from Panel members were as follows:

- appreciate the comprehensive package and presentation provided by the applicant;
- the project is going in the right direction from a sustainability perspective; the LEED scorecard should have been included in the package provided to the Panel;

  DIALOG (Arch): Noted. The LEED Scorecard was included with the submittal to the city but as identified it was not in the ADP booklet.

- the applicant should have included rooms for the District Energy System (DES) and mechanical units in the plans submitted to Panel; the applicant is also advised of the requirement for vestibules in the entrances of big CRUs;

  DIALOG (Arch): The DEU Room is in the plans package and located in the SE corner of the project on Level 02 (Sheet A201). CRU Units over 3000 sq. ft. will have a vestibule at the entry.

- appreciate the proposed architectural shape and form of the building; however, the slab projections on Levels 5 and 9 where washrooms and bathrooms are located above would pose a challenge in terms of access for service purposes;

  DIALOG (Arch): Noted

- plans on Level 9 roof show no increase in height of residential floor below;

  DIALOG (Arch): Level 8 top of slab to top of slab is at 3230mm which is an increase of 510mm over the typical floor to accommodate structure, unit changes and rooftop insulation/slab steps. See Sheet A501 Section A-A.

- appreciate the applicant's thoughts for public art;
- appreciate the City's plan for a public art walk along the No. 3 Road public realm, between Brighouse Canada Line Station and Granville Avenue; would help delineate and differentiate the area from the rest of the City; consider the impact on public art and the artist's expressive capabilities if it would be restricted by infrastructure elements on the public realm;
- appreciate the mid-block central outdoor courtyard/plaza which is the primary entry point to the project;

- consider differentiating the commercial spaces along No. 3 Road. e.g. different setbacks, material and colour palette and variation in canopy treatment, to enhance its public character as opposed to the residential and office spaces;

  DIALOG (Arch): This was an intentional strategy and we resisted the temptation to overdesign the elevation for what amounts to only 4 small retail frontages ranging in size from 575 sq. ft. to 1,900 sq. ft.). We've tried to maximize the glazing exposure along the ground level retail units to improve visibility into/out of the individual storefronts. The ground level retail has been set back 1.5m to permit small seating areas outside of the circulation areas. The high glazing exposure encourages the interior activity to animate the streetfront. A signage strategy will be further developed to permit tenants to express individuality as well.

- appreciate the language of the central outdoor courtyard which is different from the rest of the building façade on No. 3 Road; however, consider further differentiation in architectural treatment and/or material palette to further emphasize the area and its central connection to various uses in the building;

  DIALOG (Arch): Noted

- consider further breaking down the massing of the commercial and office podiums facing No. 3 Road through introducing different materials and patterns rather than a simple treatment of the façade, e.g. introducing diagonal spandrel glass treatment, in order to create a more pedestrian scale along the No. 3 Road frontage;

  DIALOG (Arch): This was an intentional strategy. With a complex mixed-use building with so many components, we felt it was necessary to be selective with the amount of treatments so not to visually and physically overcomplicate the project. The trees and landscaping will provide dappled light across this elevation with changing effects throughout the day and over the year.

- consider a visible and prominent signage for the commercial spaces along No. 3 Road;

  DIALOG (Arch): A signage strategy will be further developed to permit tenants to express individuality in a controlled manner.

- appreciate the proposed landscaping for the central courtyard; however, consider introducing breaks, e.g. pockets in the regular series of planters to create secondary spaces where people can gather, along the commercial frontage of the building aside from the major plaza; also consider further variation in paving textures to better emphasize the public interface;

  DIALOG (Landscape): We have revised the ground plane to create more secondary spaces for gathering, both in the city boulevard and on the project site. These nodes are differentiated both through an updated sawcut pattern as well as additional unit paving.

- consider greater differentiation on the City's public realm cross section along No. 3 Road in terms of hierarchy of spaces, e.g. different types and widths of spaces;

- consider visually breaking down the massing of the parking garage through variation in colour, material and texture on the façade along the eastern laneway side of the site to provide a better pedestrian interface;

  DIALOG (Arch): We have provided further information on the materiality and intended screening strategy for the lane façade. The interplay of lighting and colour within the parking garage with the screening material should create an interesting response to the lane elevation. Further development of the at-grade lane landscaping has been completed to provide a better pedestrian interface and a nice pedestrian scaled buffer between building and lane.

- appreciate the applicant's presentation of the project and the materials provided to the Panel;

- planting plans are difficult to read; applicant could have enlarged the key spaces in the plans;

  DIALOG (Arch): Noted

- commend the applicant for the design of the building which is organized in an inventive way;

- a public art plan for the proposed public art walk along No. 3 Road between Cook Road and Granville Avenue would provide an opportunity for a cohesive and coherent public art approach along this stretch of No. 3 Road;

- the straight alignment of double row of street trees with trees on private property is not a good idea arboriculturally; consider a staggered placement of the trees to give individual tree canopies more space and provide more continuity to the canopies;

  DIALOG (Landscape): The tree alignment has been revised to stagger the trees.

- does not support the proposed plant graphics/artificial planting; recommend that the applicant install something that is a counterpoint to planting in the stretch that brings the tower to the ground level; look at ASPAC development crosswalk in Oval Village for precedent;

  DIALOG (Arch): We have revised the strategy here where we are proposing an abstracted "nature inspired image pattern" perforated metal screen element on the building. We are proposing an abstracted tree canopy; however the precise image is to be further developed. The logic is that the north tower block and the south 4 storey building need to share in the nature story that is so strongly expressed on the south with the Level 4 tree grove and the plaza recess vine strategy. The perforated metal panel screen is shaped to carry the tower-form and ground the tower and mark the site entry at the plaza. The perforated screen serves as an actual solar shade for the office spaces behind it during the day and in the evening, backlighting will give it a subtle presence on #3 Rd.

- consider installing landings on the grand staircase to provide safety for users;

  DIALOG (Arch): We reviewed the design to see if there was an opportunity to introduce a landing part way up the stair to address the concern for limited mobility access. As the stair shifted to address other comments, it became clear that the addition of a landing elongated the stair and encroached on both the plaza and the level 2 patio. This created a situation that the stair shift was attempting to rectify. We did want to point out that the stair provides access to the level 2 restaurant which is already served by a dedicated elevator to assist anyone with mobility challenges.

- reconsider the green wall façade above the central outdoor courtyard due to concern regarding the long-term survivability of vine planting; applicant could consider other solutions; should the applicant proceed with the proposed approach, ensure that a high quality cable system will be installed by the applicant, e.g. Jakob rope system;

  DIALOG (Landscape): Noted. A high quality cable system will be utilized to ensure the treatment is aesthetically pleasing during all seasons. Hardy vine species and enhanced planting depths will also be incorporated to maximize the success of the scheme.

- the applicant is advised to invest in proper soil depths and volumes on Levels 4 and 5 to install larger trees;

  DIALOG (Landscape): Noted

- concerned about the north garden as it will be in shade in the equinox; ensure that the choice of plant, bench and paving materials will not deteriorate in a shady and wet environment;

  DIALOG (Landscape): Noted. Planting will mimic a shade garden scheme, using species adapted to these light levels. Rougher stone paving will also be used at the ground plane to minimize pedestrian slip hazards.

- applicant is advised to review if there are plantings underneath the grand staircase and other structures as these would be problematic;

  DIALOG (Arch): The stair and entry plaza has been altered to respond to comments and provide better circulation and seating areas in the plaza. Plantings have been adjusted to address comments.

- support the comment to install landings on the grand staircase; also consider installing benches nearby as these safety features will benefit the aging population;

  DIALOG (Arch): Noted and responded to above.

- consider nesting issues related to the pigeon population on Number 3 Road;

  DIALOG (Arch): Noted

- consider diagonal breaks in the direction of pedestrian travel for slabs on the broad walkway on the ground floor to enhance safety of pedestrians in a wheelchair and those using mobility aids;

  DIALOG (Landscape): Noted. The revised streetscape has incorporated diagonals as part of the updated scheme introducing new seating nodes, points of interest, etc.

- consider making the bench (with paving stones separating it from a little curb) in the public space more accessible;

  DIALOG (Landscape): Noted. Level 5 has been revised to allow more accessible space.

- consider the interconnectivity aspect for the design of Basic Universal Housing (BUH) units; also consider maneuverability and safety in confined spaces;

  DIALOG (Arch): Noted

- appreciate the interesting and successful resolution of a twin-tower mid-block effect;
- also appreciate the common courtyard which serves as a common synthesizing connectible space;
- the grand stair provides visual access to the upper level of the podium; consider shifting it to one side of the mid-block break to provide more potential for gathering on one side over the other;

  DIALOG (Arch): Revised as described above.

- the visual porosity of the project will help influence surrounding developments;
- consider more visual porosity for the amenity space on Level 5 facing onto the west deck;

  DIALOG (Arch): Noted

- agree with Panel comments regarding the high quality of presentation of the project;
- commend the applicant for the proposed massing and building typology;
- mid-block break and recessed entry hub works successfully as it does not detract from the nice commercial frontage along No. 3 Road;
- appreciate the strong north-south expression of the building which is helped by the decoupling of tower forms;
- the setbacks on the upper levels will allow for some successful developments to the north and south of the subject development;
- architectural form and character is well-resolved considering the mid-block location of the project;

- some language and expression might conflict with other components, e.g. strong diagonals work well with the commercial frontage and tower form; however, the smaller diagonals on Level 4 (with the parkade screening) could be straightened up as too many diagonals might dilute the strength of the diagonals;

  DIALOG (Arch): Noted

- the proposed material and colour palette is appropriate for the emerging Brighouse Village; naturalized palette works nicely; consider adding a little more lightness on the back side;

  DIALOG (Arch): Revised as above.

- appreciate the tower massing; however, pulling the tower form has negatively impacted some units in the upper level; consider mitigating these negative impacts;

  DIALOG (Arch): Noted

- appreciate the provision of natural daylighting to lobby spaces on the lower levels and the provision of balcony spaces;
- support the location of the west-facing central outdoor amenity space;
- consider enhancing the experience in accessing the entry lobby to the main slab building;

  DIALOG (Arch): We have developed the design further to better represent the thoughts on the parking garage lobby entry. Ground surface treatment, patterns, in-floor lighting, and landscaping have been further developed to make the connection to the central plaza more direct and obvious. The elevator lobby has been further developed to enhance this sense of entry and connect with the tower lobby and outdoor plaza as well.

- the outdoor space above the restaurant could be accessible and occupied as it benefits from the southwest solar orientation;

  DIALOG (Arch): A skylight has been introduced to the restaurant roof to permit dappled light from the tree grove above to be experienced from within the restaurant space. Access has not been granted to this roof area as it would require 2 exits, glass guardrails, and barrier free access to accommodate inhabitants. A generous outdoor patio space has been provided for the restaurant at level 2 which has a greater opportunity to contribute to the public realm and street level activity.

- appreciate the applicant addressing social and environmental sustainability issues;
- notice the high concentration of entry points coming from the indentation; applicant is advised to further clarify the various entry points to guide people to their destination;

  DIALOG (Arch): This will be developed further as the project progresses and signage is explored. The intention is to make access to the various uses as clear and obvious as possible with well-designed and graphically interesting signage.

- consider design development to the entry point to the slab building;

  DIALOG (Arch): Revised as above.

- appreciate the project and the applicant's presentation;
- the applicant should give attention to wayfinding design considering the mixed uses for the proposed development;

  DIALOG (Arch): Revised as above.

- wheelchair access is proposed across the store front where the bistro and café seating is located; should be well thought out by the applicant to avoid potential conflicts;

  DIALOG (Arch): Wheelchair access from the sidewalk has been altered to create multiple access points to the building from the north to the south extents of the project.

- consider design development of the grand staircase, e.g. incorporating lighting, guardrails and landing, or shifting to one side to create a larger gathering space;

  DIALOG (Arch): Revised as above.

- consider constructing a three-meter wide bicycle lane in lieu of the proposed width of two meters;
- support the Panel comment to stagger the planting of trees on the ground plane to create more interest;

  DIALOG (Landscape): Revised as above.

- consider integrating public art into the proposed development in addition to the proposal for a public art walk along No. 3 Road considering the significant size of the site;

  DIALOG (Arch): Noted

- consider screening headlight glares in the parkade;

  DIALOG (Arch): Revised as above.

- tower building separation is tight but successful;
- size of the site works despite being undersized to qualify for the Village Center Bonus (VCB) bonus density;
- plans submitted by the applicant provide for adaptable units; applicant could have provided larger plans to assist Panel members in their review;

  DIALOG (Arch): Noted

- applicant needs to work with City staff to ensure softening and pedestrianization of the lane;

  DIALOG (Landscape): Noted. Enhanced planting including tall screening bamboo is being added to soften the meeting point of the ground plane and the building as well as to screen the lower levels of the parkade. Enhanced connections through the parkade have also been incorporated to increase visibility and access.

- ensure that plans provided to the Panel reflect the façade;

  DIALOG (Arch): Noted

- the adjacent development is dealt with successfully;
- consider better programming in the outdoor amenity area;

  DIALOG (Landscape): Level 5 has been revised to include additional programming including an East facing amenity deck, enhanced BBQ / communal eating area, and lounge seating under the architectural overhang adjacent to the indoor amenity room.

- the southwest corner of the building has the most amount of glazing; consider exterior louvering on that corner, preferably not slab extensions but some kind of shading; and

  DIALOG (Arch): The glazing in the southwest corner was previously window wall system but has been improved to curtain wall which is a higher performing window assembly to address this concern and to align with the clarity of the architectural concept.

- look at the large amount of glazing on the west face of the lower commercial level; consider using a different kind of glass material.

  DIALOG (Arch): The glazing in this area is curtain wall glazing which is a high performing assembly. A large amount of glazing has been introduced to the retail level to increase visibility along #3 Rd and to animate the street. The tree canopy from the 3 rows of street trees will provide dappled shading for much of the year for the lower 2 levels and solar exposure will be desirable for the shorter winter afternoons. We anticipate the office floors will introduce interior shades as the spaces are fit out by tenants.

- *The written comments submitted by Amber Paul were summarized by Sara Badyal as follows:*
- the plaza seems too small for the number of main entries, bike uses and grand staircase; the grand staircase is appreciated but takes away from other ground floor entrances by compressing the entry sequence; if the grand staircase is maintained, consider increasing the scale and size of the plaza to give equal priority to the other entries;

  DIALOG (Arch): Revised as above.

- the project is interesting and eye-catching; concerned that the functioning of the building may seem confusing;
- the inaccessible and unusable roof area of that size is unfortunate; would really contribute to the residential or office uses;

  DIALOG (Arch): Revised as above.

- the area for the outdoor amenity spaces is long and linear and hard to design for quality outdoor rooms; feels more like circulation routes than gathering spaces;

  DIALOG (Landscape): Revised as above.

- the perimeter planting could be reduced; breaking up the runs could provide for a range of spaces of different sizes;

  DIALOG (Landscape): Revised as above.

- in general, the north amenity space needs to be reviewed at a smaller scale to provide interesting dynamic spaces;

  DIALOG (Landscape): The North amenity space has been revised to include more articulation to the planter walls to create additional pocket seating nodes.

- play areas in close proximity to private patios could present problems; consider privacy planting;

  DIALOG (Landscape): The play space has been altered to reduce adjacencies. Planting between the play space and private patios will include hedges and a row of trees to aid in screening.

- further refinement is needed to shape the barbeque area to create better outdoor dining opportunities in more intimate settings; and

  DIALOG (Landscape): Revised as above.

- investigate opportunities for creating spaces for outdoor lounge or seating pockets or planters or overhead trellises to define shapes and rooms.

  DIALOG (Landscape): Revised as above, including the addition of lounge seating beneath the architectural overhang adjacent to the indoor amenity room.

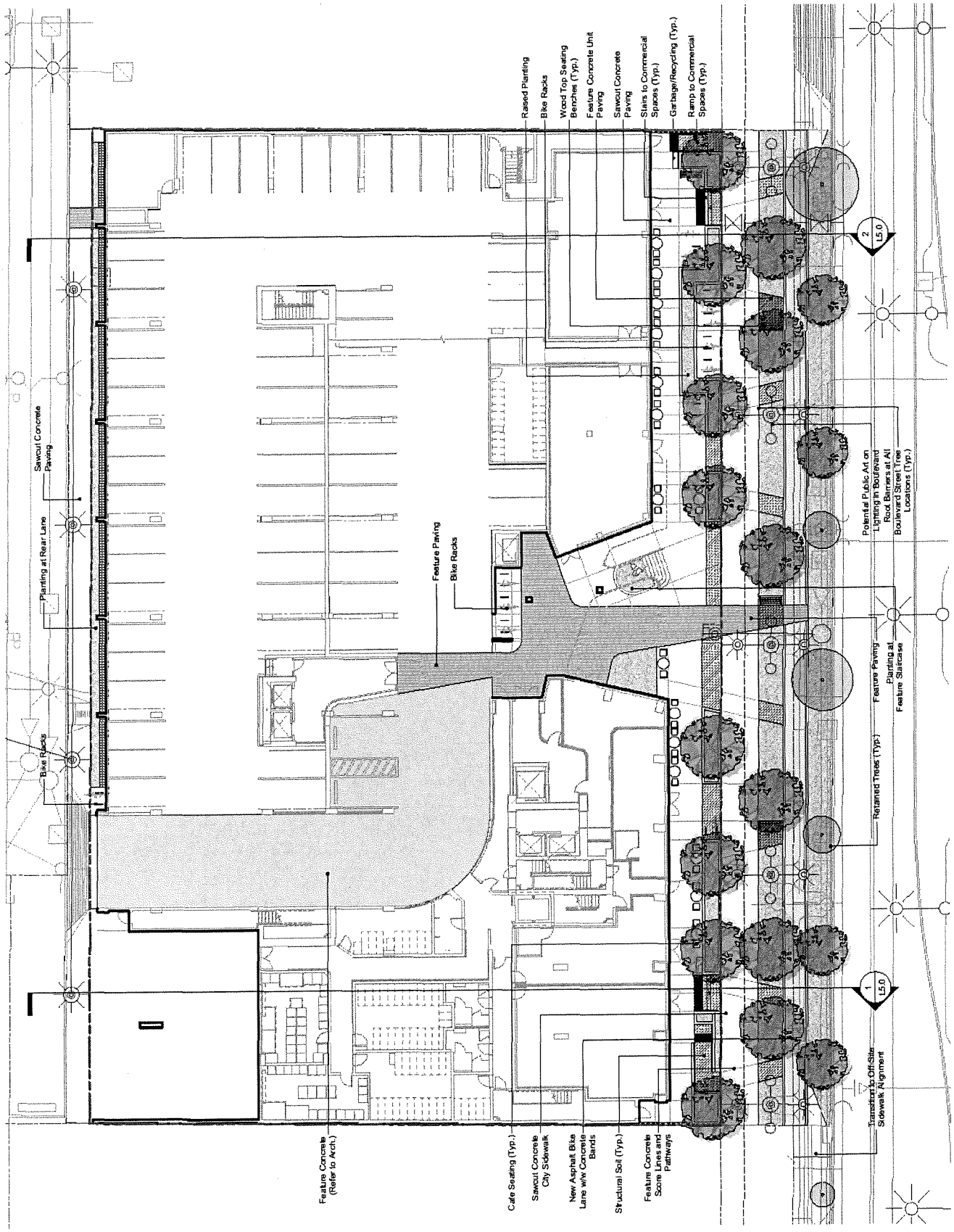
Panel Decision

It was moved and seconded
That DP 16-754761 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Advisory Design Panel.

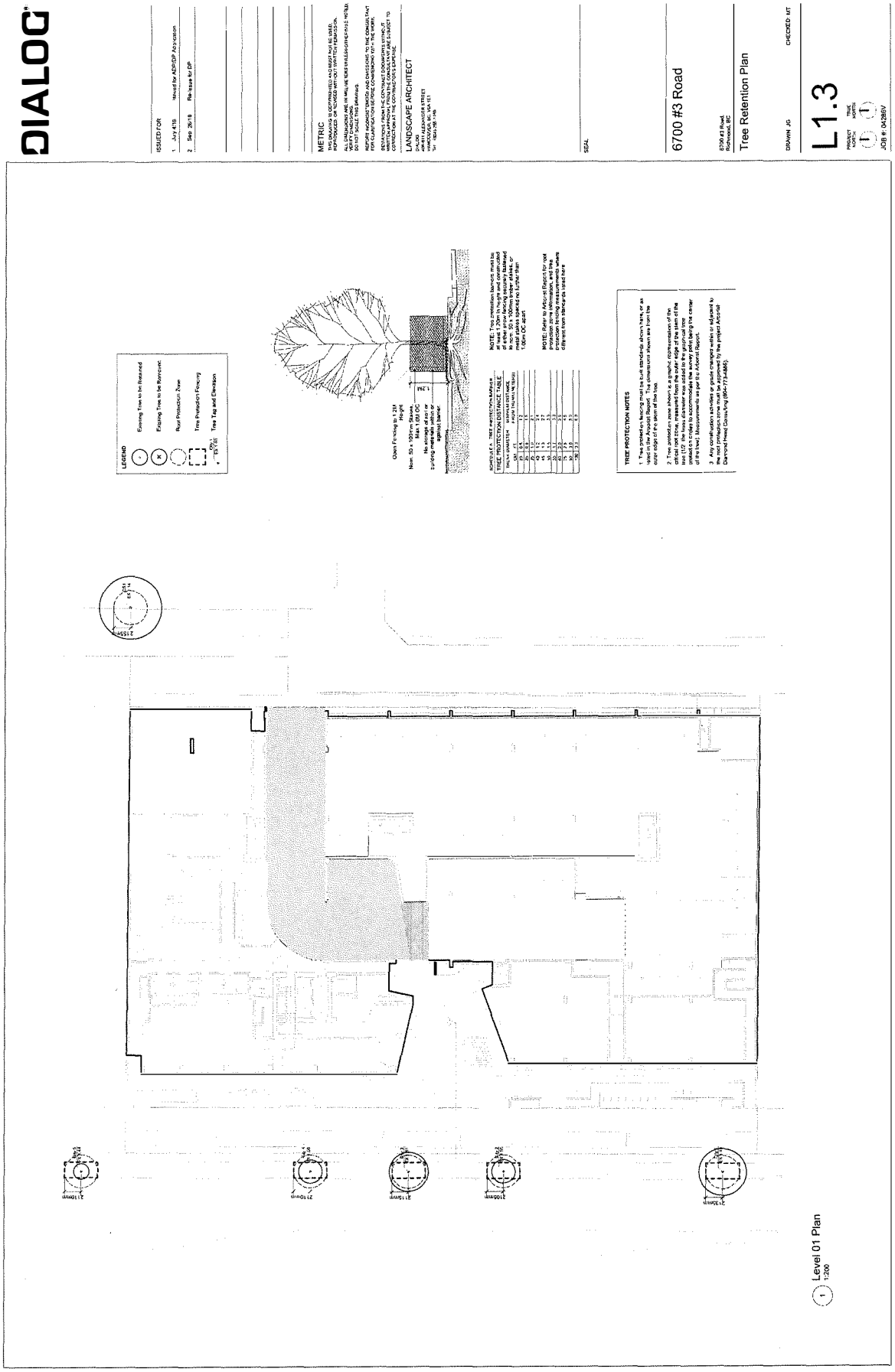
CARRIED

ATTACHMENT 4

Preliminary Public Realm Plan
(for illustration only)



Tree Protection Plan



6700 No. 3 Road, Richmond, BC

Sustainability Progress Report

Last update: June 27th, 2018

KANECONSULTING

Y	Y?	N?	N			
53	5	7	45	**Total Project Score & Rating**	**SILVER**	Possible Points 110

Certified 40 to 49 points Silver 50 to 59 points Gold 60 to 79 points Platinum 80 or more points

Y	Y?	N?	N			
20	1	2	3	**Sustainable Sites**	Possible Points	26
Y				Prerequ 1	Construction Activity Pollution Prevention	
1				Credit 1	Site Selection	1
5				Credit 2	Development Density and Community Connectivity	3,5
			1	Credit 3	Brownfield Redevelopment	1
6				Credit 4.1	Alternative Transportation, Public Transportation Access	3,6
1				Credit 4.2	Alternative Transportation, Bicycle Storage & Changing Rooms	1
3				Credit 4.3	Alternative Transportation, Low-Emitting and Fuel-Efficient Vehicles	3
2				Credit 4.4	Alternative Transportation, Parking Capacity	2
			1	Credit 5.1	Site Development, Protect and Restore Habitat	1
1				Credit 5.2	Site Development, Maximize Open Space	1
		1		Credit 6.1	Stormwater Design, Quantity Control.	1
		1		Credit 6.2	Stormwater Design, Quality Control.	1
1				Credit 7.1	Heat Island Effect, Non-Roof	1
			1	Credit 7.2	Heat Island Effect, Roof	1
	1			Credit 8	Light Pollution Reduction	1

Y	Y?	N?	N			
4			6	**Water Efficiency**	Possible Points	10
Y				Prerequ 1	Water Use Reduction	
2			2	Credit 1	Water Efficient Landscaping, Reduce by 50% , No Potable Water Use	2,4
			2	Credit 2	Innovative Wastewater Technologies	2
2			2	Credit 3	Water Use Reduction, 30%, 35%, 40% Reduction.	2-4

Y	Y?	N?	N			
10	2		23	**Energy and Atmosphere**	Possible Points	35
Y				Prerequ 1	Fundamental Commissioning of Building Energy Systems	
Y				Prerequ 2	Minimum Energy Performance	
Y				Prerequ 3	Fundamental Refrigerant Management	
4	2		13	Credit 1	Optimize Energy Performance	1-19
			7	Credit 2	On-site Renewable Energy	1-7
2				Credit 3	Enhanced Commissioning	2
2				Credit 4	Enhanced Refrigerant Management	2
			3	Credit 5	Measurement & Verification	3
2				Credit 6	Green Power	2

Y	Y?	N?	N			
4		2	8	**Materials and Resources**	Possible Points	14
Y				Prerequ 1	Storage and Collection of Recyclables	
			3	Credit 1.1	Building Reuse, Maintain Existing Walls, Floor and Roof	1-3
			1	Credit 1.2	Building Reuse, Maintain Interior Non-Structural Elements	1
2				Credit 2	Construction Waste Management, Divert 50% , 75%	1-2
			2	Credit 3	Materials Reuse, 5%, 10%	1-2
1		1		Credit 4	Recycled Content, 10%, 20%	1-2
1		1		Credit 5	Regional Materials, 20%, 30%	1-2
			1	Credit 6	Rapidly Renewable Materials	1
			1	Credit 7	Certified Wood	1

Y	Y?	N?	N			
7	2	1	5	**Indoor Environmental Quality**	Possible Points	15
Y				Prerequ 1	Minimum IAQ Performance	
Y				Prerequ 2	Environmental Tobacco Smoke (ETS) Control	
			1	Credit 1	Outdoor Air Delivery Monitoring	1
			1	Credit 2	Increased Ventilation	1
1				Credit 3.1	Construction IAQ Management Plan, During Construction	1
1				Credit 3.2	Construction IAQ Management Plan, Before Occupancy	1
1				Credit 4.1	Low-Emitting Materials, Adhesives & Sealants	1
1				Credit 4.2	Low-Emitting Materials, Paints and Coatings	1
1				Credit 4.3	Low-Emitting Materials, Flooring Systems	1
		1		Credit 4.4	Low-Emitting Materials, Composite Wood and Agrifiber	1
	1			Credit 5	Indoor Chemical & Pollutant Source Control	1
1				Credit 6.1	Controllability of Systems, Lighting	1
			1	Credit 6.2	Controllability of Systems, Thermal Comfort	1
	1			Credit 7.1	Thermal Comfort, Design	1
			1	Credit 7.2	Thermal Comfort, Verification	1
			1	Credit 8.1	Daylight & Views, Daylight 75% of Spaces	1
1				Credit 8.2	Daylight & Views, Views for 90% of Spaces	1

Y	Y?	N?	N			
6				**Innovation & Design Process**	Possible Points	6
1				Credit 1.1	Innovation in Design: Exemp SSc7.1 - 100% U/G Parl	1
1				Credit 1.2	Innovation in Design: Exemp SSc4.1 - Public Transpor	1
1				Credit 1.3	Innovation in Design: Exemp EAc6 - Green Power	1
1				Credit 1.4	Innovation in Design: Low Mercury Lighting	1
1				Credit 1.5	Innovation in Design: IPMP or other	1
1				Credit 2	LEED™ Accredited Professional	1

Y	Y?	N?	N			
2		2		**Regional Priority**	Possible Points	4
		1		Credit 1.1	Durable Building	1
1				Credit 1.2	Regional Priority:SSc2	1
1				Credit 1.3	Regional Priority: MRc2	1
		1		Credit 1.4	Regional Priority: RPc1	1

Legend

- Credit Complete
- Credit Incomplete
- Not Attempting
- Y Prerequisite (Must Achieve)

Sustainability Analysis by Kane Consulting

City of Richmond

Development Permit

No. DP 16-754761

To the Holder:	BENE (RICHMOND) DEVELOPMENT LTD.
Property Address:	6560, 6600, 6640 AND 6700 NO. 3 ROAD
Address:	C/O AWM-ALLIANCE REAL ESTATE G 401 – 958 8TH AVENUE VANCOUVER, BC V5Z 1E5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #65 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of $800,000.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 16-754761

To the Holder:	BENE (RICHMOND) DEVELOPMENT LTD.
Property Address:	6560, 6600, 6640 AND 6700 NO. 3 ROAD
Address:	C/O AWM-ALLIANCE REAL ESTATE G 401-958 8th AVENUE VANCOUVER, BC V5Z 1E5

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

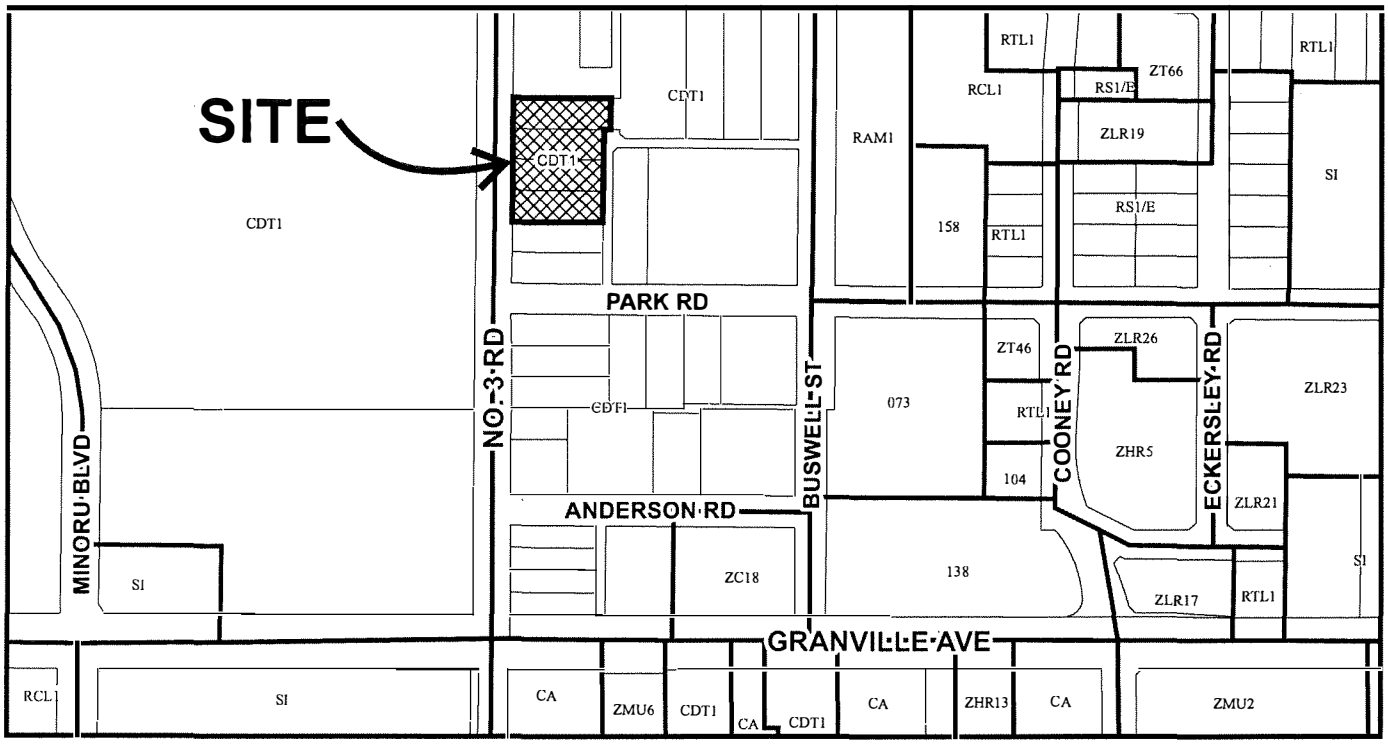
   This Permit is not a Building Permit.

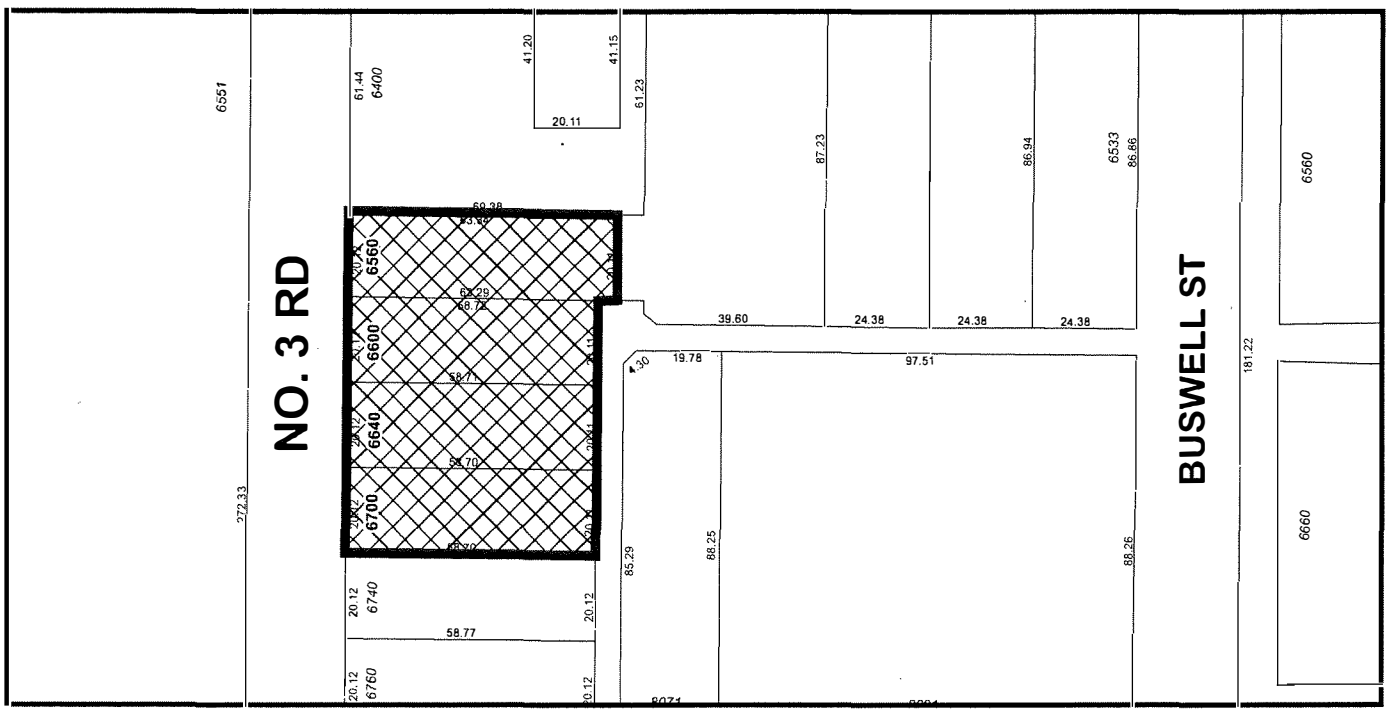
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

City of Richmond





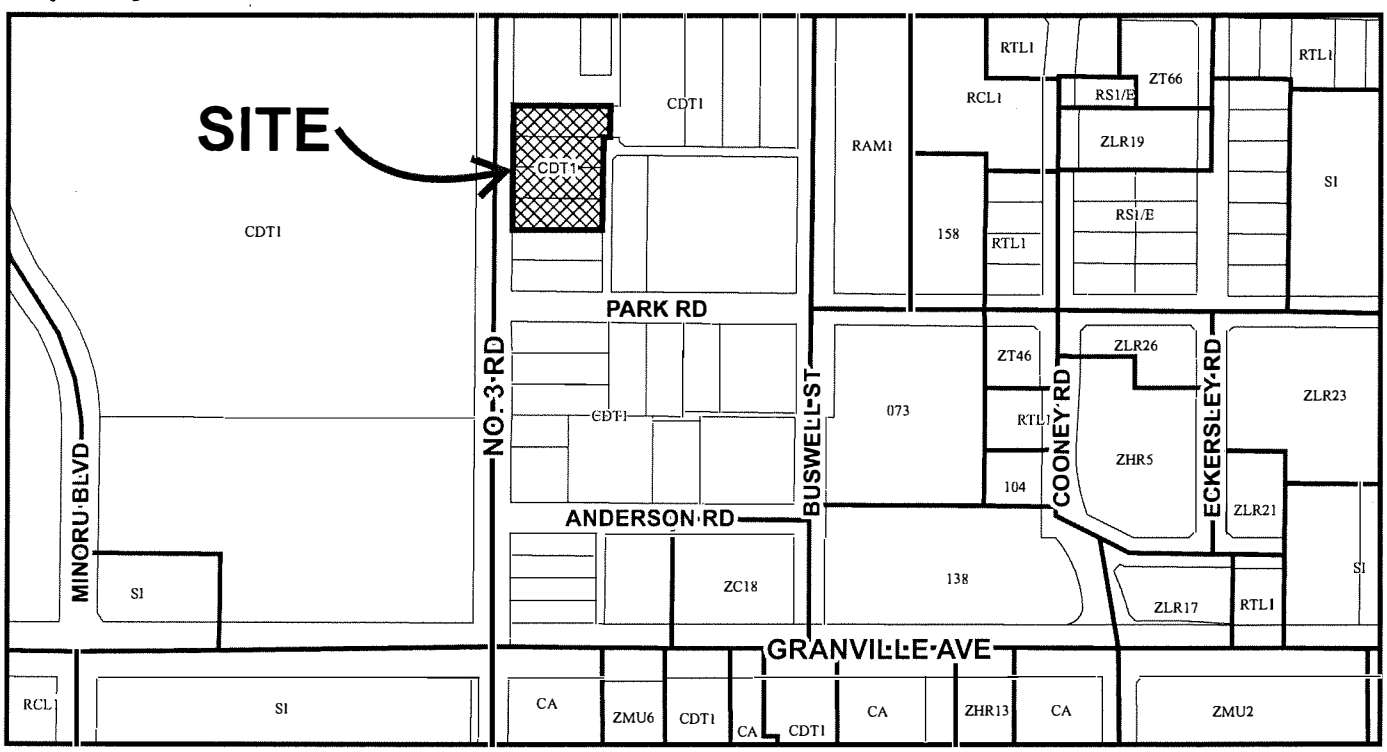
DP 16-754761
SCHEDULE "A"

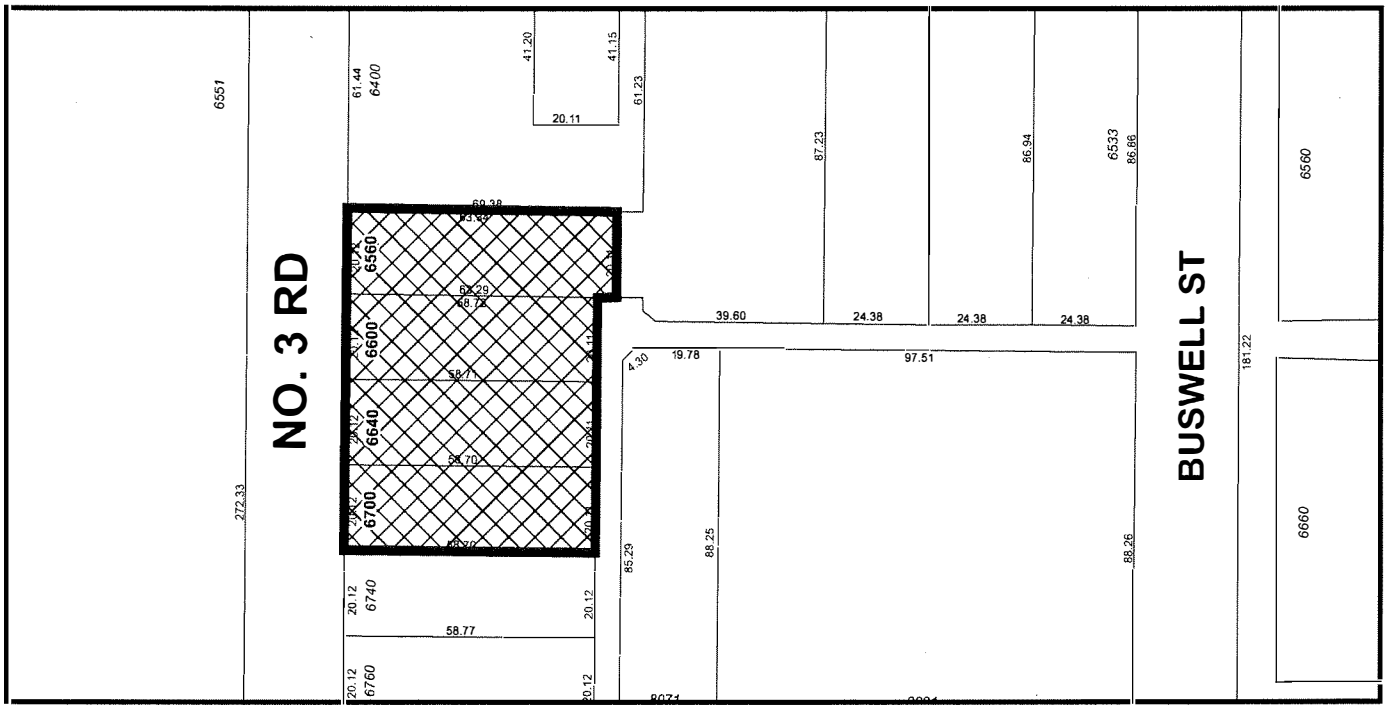
Original Date: 01/06/17

Revision Date:

Note: Dimensions are in METRES

City of Richmond





DP 16-754761

Original Date: 01/06/17

Revision Date:

Note: Dimensions are in METRES

Site Information

LEGAL ADDRESS: Lot 4 Section 9 Block 4 North Range West NWD Plan 7312 (PID 003-433-005)
Lot 129 Section 9 Block 4 North Range 6 West NWD Plan 25835 (PID 003-420-418)
Lot 128 Section 9 Block 4 North Range 6 West NWD Plan 25835 (PID 003-420-370)
Lot 127 Section 9 Block 4 North Range 6 West NWD Plan 25685 (PID 001-468-375)

ADDRESS: 6680/6700 NO. 3 ROAD (Previously 6560, 6600, 6640, 6700 NO. 3 ROAD), RICHMOND, B.C.

ZONE: ZMU36 HIGH DENSITY MIXED USE- BRIGHOUSE VILLAGE (CITY CENTRE)
CITY CENTRE AREA PLAN, BRIGHOUSE VILLAGE LAND USE MAP (2031)
SUB-AREA B.4, URBAN CORE T6

EXISTING USE: COMMERCIAL

PROPOSED USES: MULTI-FAMILY RESIDENTIAL/COMMERCIAL MIXED-USE

EXISTING SITE AREA: 4,819.00 sq m (51,871 sq ft)
PREV. NET DEVELOPABLE AREA: 4,272.15 sq m (45,985 sq ft)
NEW NET DEVELOPABLE AREA: 4,393.00 sq m (47,286 sq ft)
NEW SITE AREA : 4,065.90 sq m (43,765 sq ft)
(After Dedications)
SITE COVERAGE: 85% (3,450 sq m/4,066 sq m)

Height

MIN. PERMITTED
HABITABLE ELEVATION: .3m ABOVE Highest Street Curb (1.59m + .3m)= 1.89m
SERVICE EQUIPMENT: 2.9m
MAX. HT PERMITTED: 45m (Sub Area B.4)
47m YVR ht (CDT-1 Zoning)-.11 (conversion factor)= 46.89 HPN Geodetic
46.89m-1.89m (L1 Elevation)= 45.00m Height

Density

DENSITY PERMITTED: 4 FAR(3 FAR PLUS 1 FAR VILLAGE CENTRE BONUS)
3 FAR RESIDENTIAL 13,179 sq m (141,857 sq ft)
1 FAR COMMERICAL 4,393 sq m (47,286 sq ft)

TOTAL = 4 FAR 17,572 sq m (189,143 sq ft)

	PERMITTED/REQUIRED	PROVIDED
AFFORDABLE RES. (LEMR=5% Of Res. Area Req'd)	658.95 sq m (7,093 sq ft)	697.74 sq m (7,510 sq ft)
MARKET RES.	12,520.05 sq m (134,759 sq ft)	12,481.26 sq m (134,342 sq ft)
SUBTOTAL		*13,179.0 sqm (141,856 sq ft)*
COMMERCIAL	% of 4,393 sq m (47,286 sq ft)	1,326.5 sq m (14,278 sq ft)
OFFICE	% of 4,393 sq m (47,286 sq ft)	3,066.5 sq m (33,008 sq ft)
SUBTOTAL		*4,393.0 sqm (47,286 sq ft)*
NET FLOOR AREA (FAR)	**17,572 sq m (189,136 sq ft)**	**17,572 sq m (189,142 sq ft)**
AMENITY AREA (Indoor - 2 sm/ Suite)	332 sq m (3,574 qs ft)	332 sq m (3,574sq ft)
EXCLUSIONS (Stairs, Bike/Service Rooms, Elev Shafts Above L01)		1,837.63 sq m (19,780 sq ft)
ADAPTABLE SUITE EXCLUSIONS	1.86 sq m (20 sq ft) x 24 uinits	44.64 sq m (480 sq ft)
GROSS FLOOR AREA		**19,786.27 sq m (212,978 sq ft)**
OUTDOOR AMENITY AREA (6sm / Unit + 10% Net Dev. Site Area)	1,423.22 sq m (15,319 sq ft	1,905.62 sq m (20,512 sq ft)

Setbacks

FRONT YARD

Note: New Property Line is 1.89m From Future Guideway Edge

Below 12m	4m	4.11m (1.89m + 4.11m=Translink 6m Setback)
Above 12m	Front Yard may be Reduced to .5m for a Max. of 33.3% of	.33m

Building Code Summary

BCBC 2012 | Part 3

BUILDING AREA: Permitted to be Any Area per Subsection 3.2.2
BUILDING HEIGHT: 15 Storeys

BUILDING OCCUPANCY: Group A2 [Assembly] / Group D [Offices] / Group C [Residential] / Group E [Mercantile] / Group F3 [Parking Garage] (No Underground Parking)

CLASSIFICATION:
3.2.2.23 - Group A2, Any Height, Any Area, Sprinklered
3.2.2.47 - Group C, Any Height, Any Area, Sprinklered
3.2.2.54 - Group D, Any Height, Any Area, Sprinklered
3.2.2.62 - Group E, Any Height, Any Area, Sprinklered
3.2.2.78 - Group F3, up to 6 Storeys, Sprinklered

STREETS FACING: One, No. 3 Road

CONSTRUCTION: Non-Combustible

FIRE ALARM SYSTEM: Yes, Modified Single Stage Alarm System
SPRINKLERED: Yes, NFPA 13 2013 Edition

Parking

Bylaw Parking Requirement						
Residential Requirements	**Suites**	**Existing Bylaw Parking Ratio**	**Site Specific Parking Ratio**	**Propsed Bylaw Parking Requirement**	**Possible TDM Reduction (10%) & Shared Stalls**	**Stalls Provided**
Market Residential	157	1 Spaces per Unit	.9 Spaces per Unit	142	12	137
LEMR Residential Unit	9	.9 Spaces per Unit	.8 Spaces per Unit	8	1	8
Total Residential	166			150	13	145
Visitor Stalls	**Area**	**Area**	**Area**	**# Stalls**		
Visitor Stalls	166 Suites	Spaces per Unit Suites	.15 Spaces per Unit Suites	25		Shared
Commercial	**Area**	**Area**	**Area**	**# Stalls**		
L01 Commercial	517 m2	3.75 Stalls per 100m2of GLA	3.75 Stalls per 100m2 of GLA	20	18	
L01-L02 Restaurant	321m2	3.75 Stalls per 100m2 of GLA	3.75 Stalls per 100m2 of GLA	13	11	
L02 Office	318m2	3.75 Stalls per 100m2of GLA	3.75 Stalls per 100m2of GLA	12	11	86
L03 Restaurant	277 m2	15% Reduction from 8 Spaces per 100m2 of GLA up to 350m2	15% Reduction from 8 Spaces per 100m2 of GLA up to 350m2	19	17	
L03-L04 Office	2,394 m2	15% Reduction from 1.5 Spacesper 100m2 of GLA	15% Reduction from 1.5 Spaces per 100m2 of GLA	31	28	
Total Commercial & Visitor	3,827 m2			95	85	86
TOTAL STALLS				245	220	231
TOTAL STALL + CARSHARE				248	223	234
STALL BREAKDOWN						
EV Charging Stations		100% of Residential				145
Car Share (EV)						3
Disabled Stalls		2% of Total Stalls		5		(2%) 5
Small Car (Max 50%)		Max. 50% of Stalls		50%		(48%) 111
Regular Stalls				50%		(50%) 115

Bylaw Loading Requirement						
Use	**Suites / Area**	**Stall Size**	**Future Bylaw Loading Ratio**	**Site Specific Loading Stall Requirements**	**Stalls Provided (Proposed)**
Residential (Bylaw 7.13.6.1)	166 Suites	Medium Size	81 to 241 Units	1	1
		Large Size	81 to 241 Units	Not Required	
Retail / Commercial Etc. (Bylaw 7.13.6.2)	3827 m2	Medium Size	501-1860 m2	1	2
			1860or more	1	
		Large Size	501-1860 m2	Not Required	
TOTAL LOADING STALLS				3 Medium Loading Stalls	3 Medium Loading Stalls

Bicycle Parking

Bylaw Bicycle Parking Requirement	**Suites / Area**	**Area per Bicycle**	**Exising Bylaw Bicycle Stall Ratio**	**Existing Bylaw Bicycle Stalls Required**	**Stalls Provided**
Class 1 - Long Term Bicycle Parking					
Residential 1 Bed or Less	90 Suites		1.25 Stalls/Suite	113	115
Residential 2 Bedor More	76 Suites		1.25 Stalls/Suite	95	95
Total Residential	166 Suites			208	210
Commercial Uses	3,827 m2		.27 Stalls per 100 m2 of CLA after 100m2	10	10
TOTAL CLASS 1				218 Stalls	220 Stalls
Horizontal Stalls		1.8sm	Min. 67%	146	210 (95%)
Vertical Stalls		1.14 sm	Max. 33%	72	10 (5%)
Bike Lockers		2.16 sm			
Class 2 - Short Term Bicycle Parking					Provided
Residential - Up to 30 Suites	30 Suites		.2 Stalls/Suite	6	48
Residential - More than 30 Suites	136 Suites		.2 Stalls/Suite	27	
Commercial Uses			.4 Stalls per 100 m2 of CLA after 100m2	15	
TOTAL CLASS 2				48 Stalls	48 Stalls
TOTAL = Class 1 + Class 2				266 Stalls	268 Stalls

Unit Summary

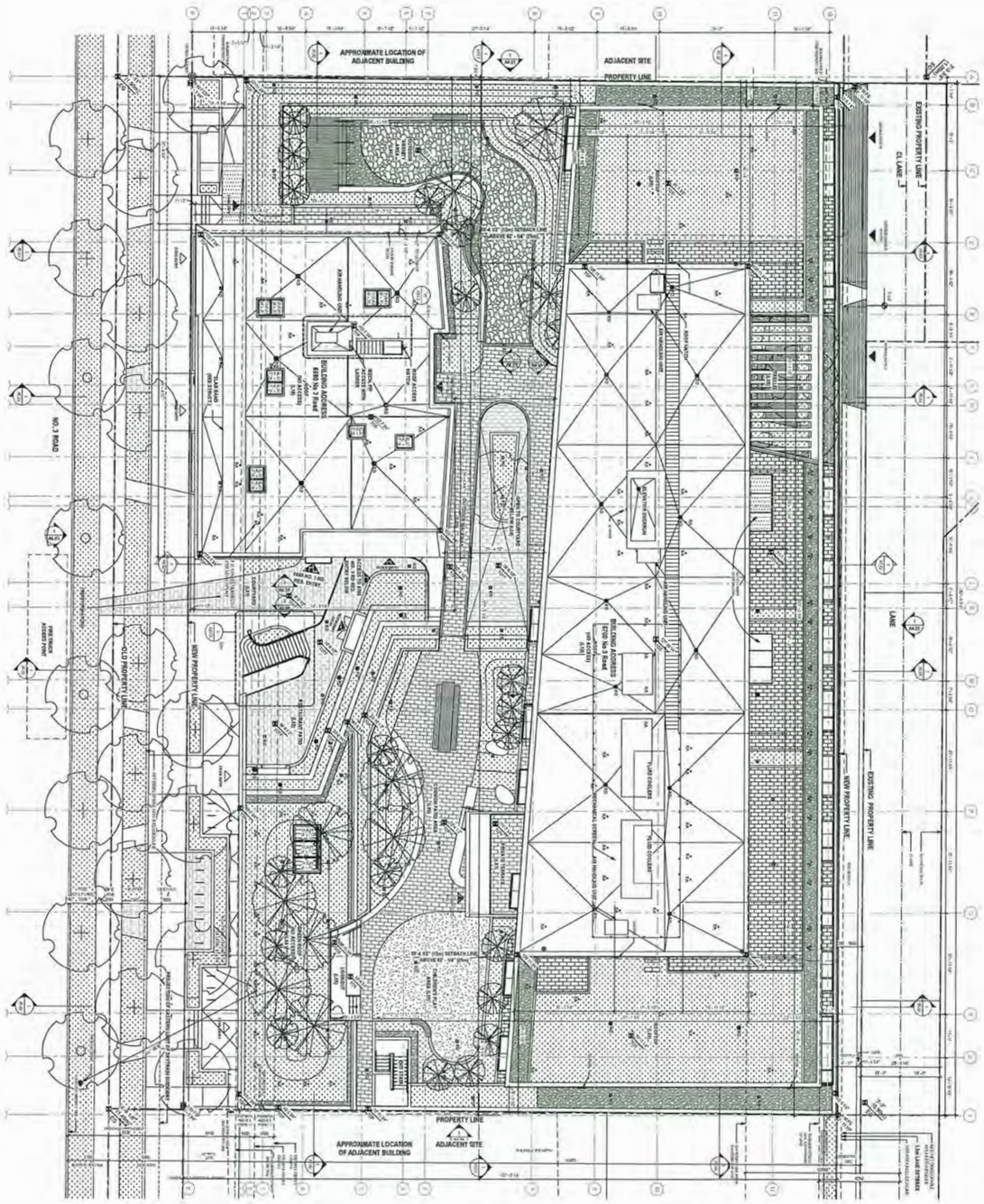
Proposed Unit Type Summary											
	LEMR					MARKET					
Level	**Studio** (Min 50 sm Req't Relaxed)	**2 Bdrm** (Min 80 sm)	**3 Bdrm** (Min 91 sm)	**Subtotal**	**Studio**	**1 Bdrm - small**	**1 Bdrm**	**2 Bdrm**	**3 Bdrm**	**Subtotal**	**Total Units**
Level 05	1	1	1			9	6	5			23
Level 06	1	1	1			9	5	6			23
Level 07	1	1	1			9	5	7			24
Level 08					1	9	5	8	1		24
Level09						2	4	9			15
Level 10						2	4	9			15
Level 11						2	4	9			15
Level12						2	4	9			15
Level 13						1	3	2			6
Level 14								4	2		6
Level15											
Totals	3	3	3		1	45	40	68	3		166
Sub Total				9						157	
Percentage Market Units					0.6% MRKT	28.7% MRKT	25.5% MRKT	43.3% MRKT	1.9% MRKT		

Garbage & Recycling

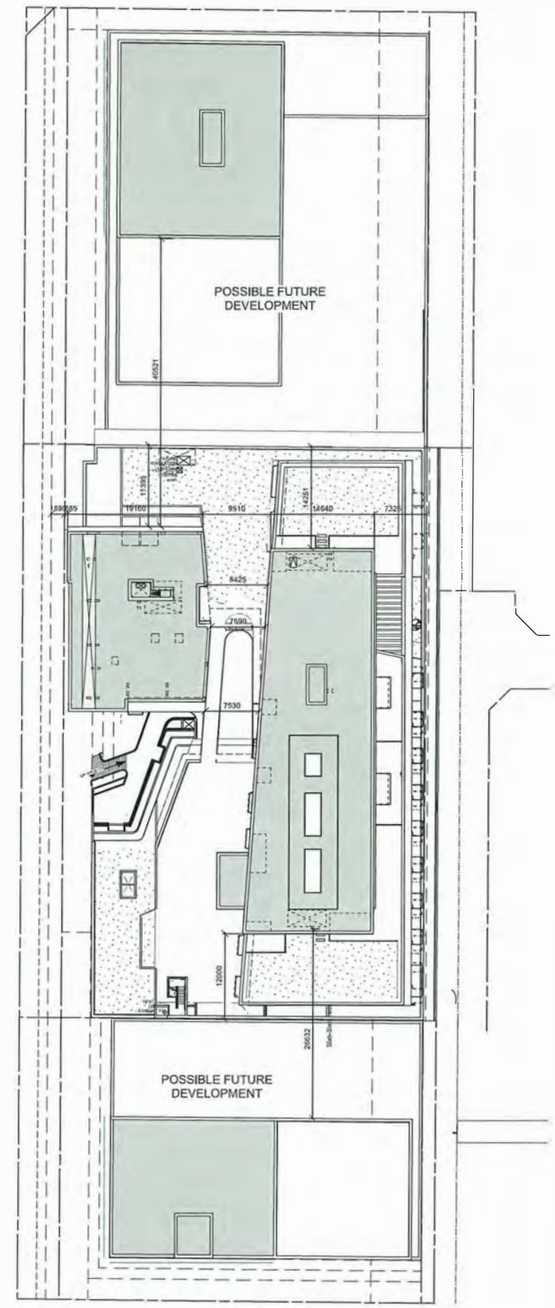
Garbage & Recycling Storage Requirements					
* Based on the Proposed Study by Target Zero Waste (April 2018)					
Residential Bin Requirements	# of Res. Units	Container Choice	Litres Generated per week	Pickup Frequency per week	# of Bins Required
Garbage	166	3 Cu.Yd. Bin	53.0	2	2
Recycling - Cardboard	166	3 Cu.Yd. Bin	27.5	3	1
Recycling - Mixed Paper & Newsprint	166	360L Cart	15	2	7
Recycling - Mixed Containers	166	360L Cart	18.5	1	9
Recycling - Glass	166	242L Cart	2.1	1	2
Compostables	166	242L Cart	14.0	2	4
Residential Bins Required					**25 Bins**
Bins for Future Use					
Styrofoam		96G Tote			1
Soft Plastics		96G Tote			1
Electronics/ Small Appliances		96G Tote			1
Refundable Containers		96G Tote			1
Batteries		5G Pail			1
Residential Bins for Future Use					**5 Bins**
Total Residential Bins Provided					**30 Bins**
Residential Room Area Requirement	# of Containers Required on Site	Container Choice	Container Footprint (m2)	Manoever Factor	Space Required m2
Garbage	2	3 Cu.Yd. Bin	2.9	2.25	11.25
Recycling - Cardboard	1	3 Cu.Yd. Bin	2.9	2.25	5.63
Recycling - Mixed Paper & Newsprint	7	360L Cart	0.56	2.25	8.82
Recycling - Mixed Containers	9	360L Cart	0.56	2.25	11.34
Recycling - Glass	2	242L Cart	0.43	2.25	1.94
Compostables	4	242L Cart	0.43	2.25	3.87
Future Use Bins	4	96G Pail	0.56	2.25	5.04
Total Area Required - Residential	**30 Bins**				**48 sqm**
Total Area Provided - Residential					**40 sqm**
Commercial Bin Requirements	Total Area	Container Choice	Litres Generated per week	Pickup Frequency per week	# of Bins Required
Combined Office + Restaurant Bins					
Garbage	4,393 sm	3 Cu.Yd. Bin	By Use	3	1
Recycling - Cardboard	4,393 sm	4 Cu.Yd. Bin	By Use	2	1
Recycling - Mixed Paper & Newsprint	4,393 sm	360L Cart	By Use	2	3
Recycling - Mixed Containers	4,393 sm	360L Cart	By Use	2	5
Compostables	4,393 sm	240L Cart	By Use	2	8
Tallow/Grease	4,393 sm	170L Cart	By Use	1	1
Commercial Bins Required				**13 Bins**	**19 Bins**
Bins for Future Use					
Styrofoam		96G Tote			1
Soft Plastics		96G Tote			1
Electronics/ Small Appliances		96G Tote			1
Refundable Containers		96G Tote			1
Batteries		5G Pail			1
Commercial Bins for Future Use					**5 Bins**
Total Commercial Bins Provided					**24 Bins**
Commercial Room Area Requirement	# of Containers Required on Site	Container Choice	Container Footprint (m2)	Manoever Factor	Space Required m2
Garbage	1	3 Cu.Yd. Bin	2.9	2.25	5.63
Recyling - Cardboard	1	4 Cu.Yd. Bin	3.07	2.25	6.91
Recycling - Mixed Paper & Newsprint	3	360L Cart	0.56	2.25	3.78
Recycling - Mixed Containers	5	360L Cart	0.56	2.25	6.30
Compostables	8	242L Cart	0.43	2.25	7.74
Tallow/Grease	1	170L Drum	0.43	2.25	0.97
Total Area Required - Commercial					**31 sqm**
Total Area Provided - Commercial					**34 sqm**
*Note: Commercial Calculation Assumes All Non-Office CRU Area Could Be Food Services					

DP 16-754761

Plan #1 - 2018.12.18



Site Plan
Scale 1:200



Proximity Diagram
Scale 1:500

DP 16-754761

BENE GROUP DIALOG

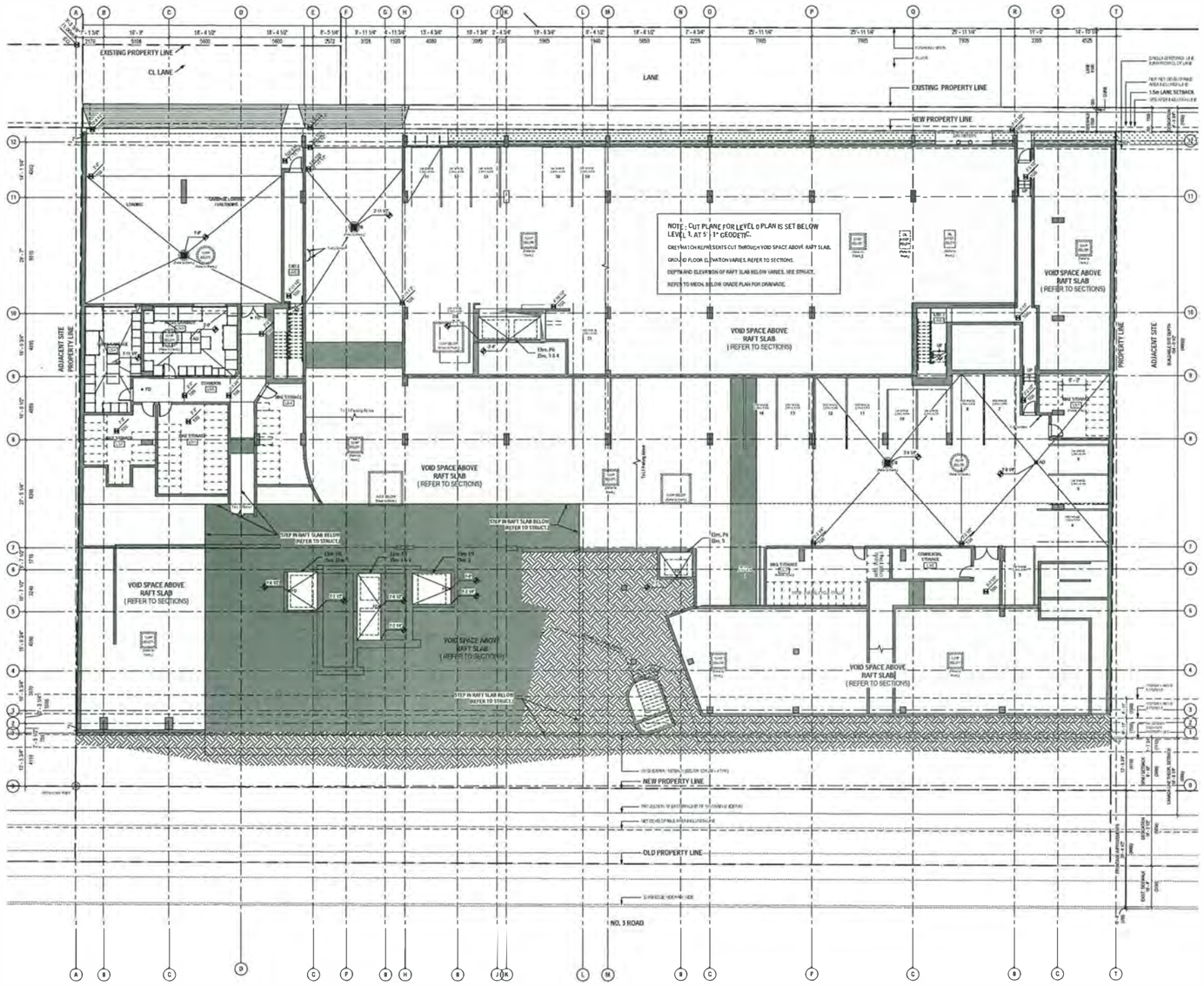
Times Square
6680 / 6700 No. 3 Rd, Richmond

Site Plan & Proximity Diagram

N Scale NTS

A015 Dec 14, 2018

Plan #2 - 2018.12.18



DP 16-754761

Plan #3 - 2018.12.18

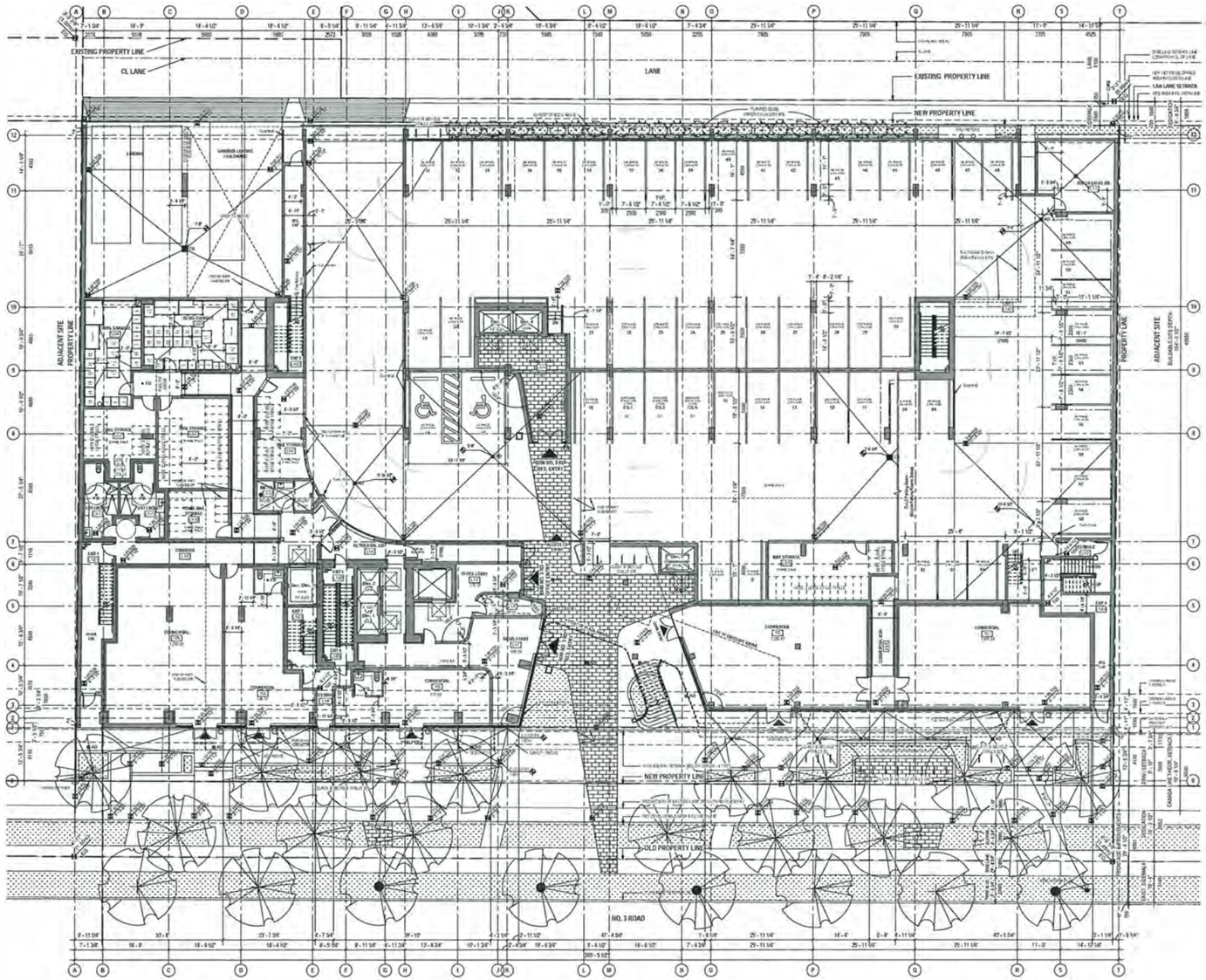
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

Level 0 Plan

Scale 1:200

A200 Dec 14, 2018



DP 16-754761

Plan #4 - 2018.12.18

BENE GROUP DIALOG

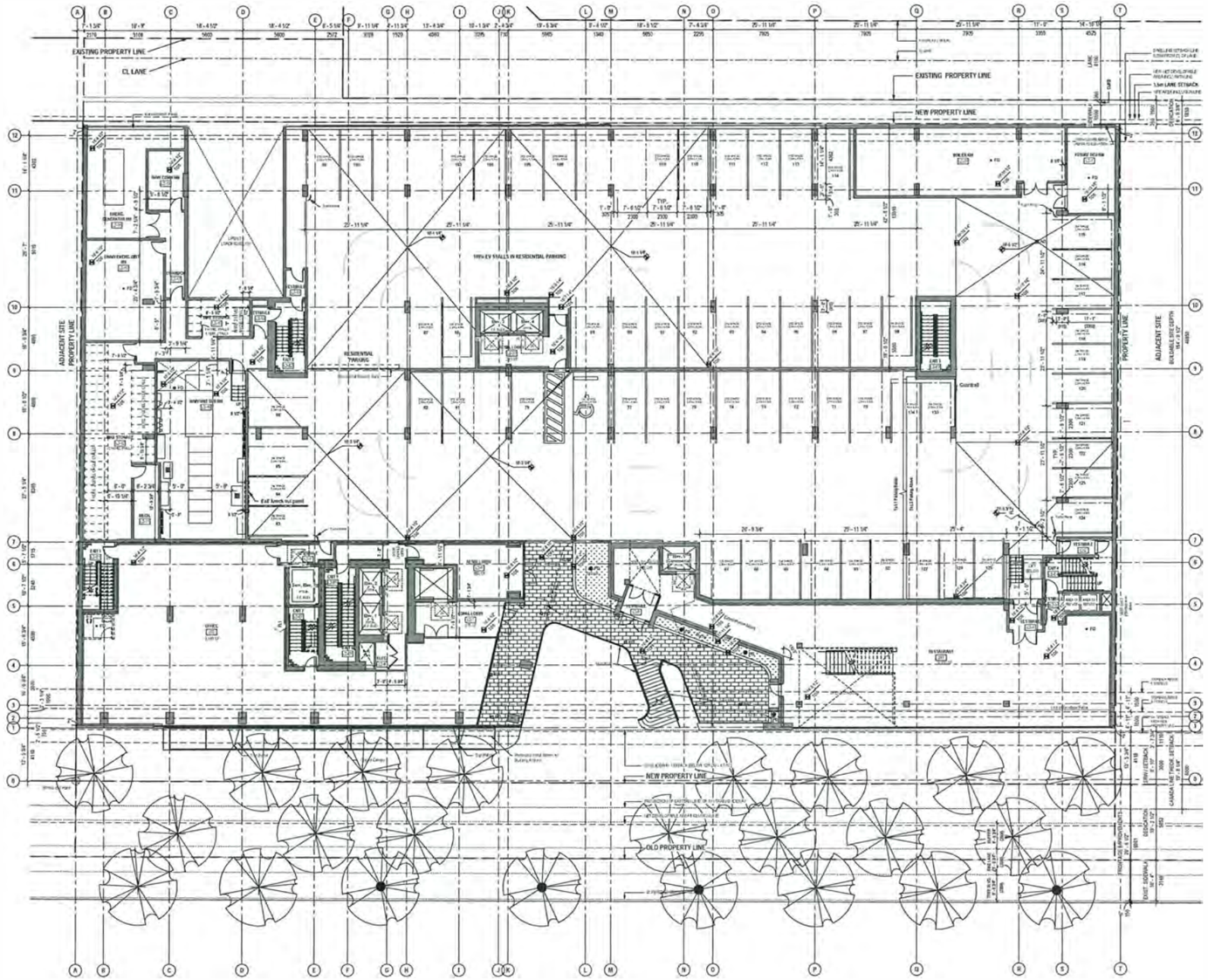
Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 1 Plan

Scale 1:200

A201

Dec 14, 2018



DP 16-754761

Plan #5 - 2018.12.18

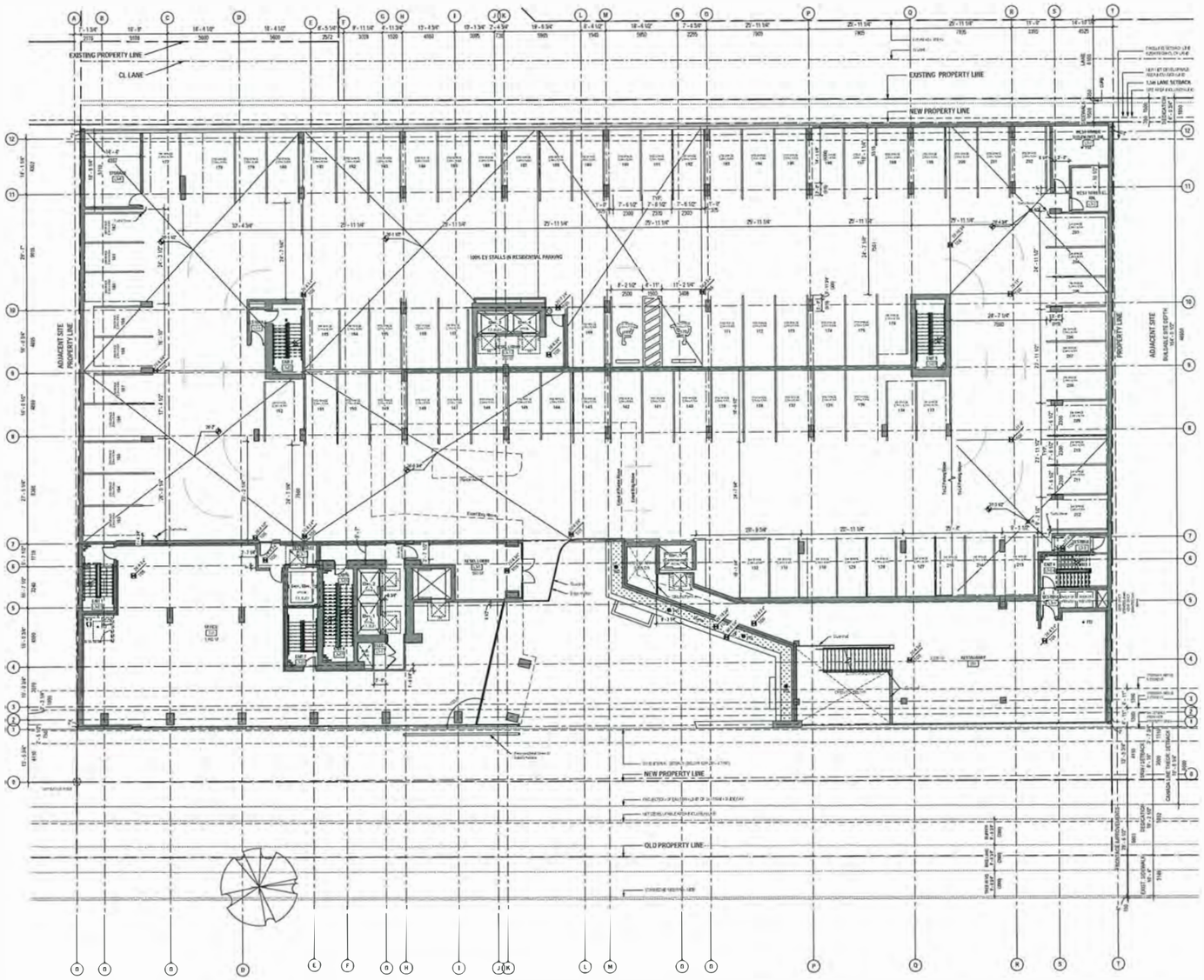
BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 2 Plan

Scale 1:200

A202 Dec 14, 2018



Plan #6 - 2018.12.18

DP 16-754761

BENE GROUP DIALOG

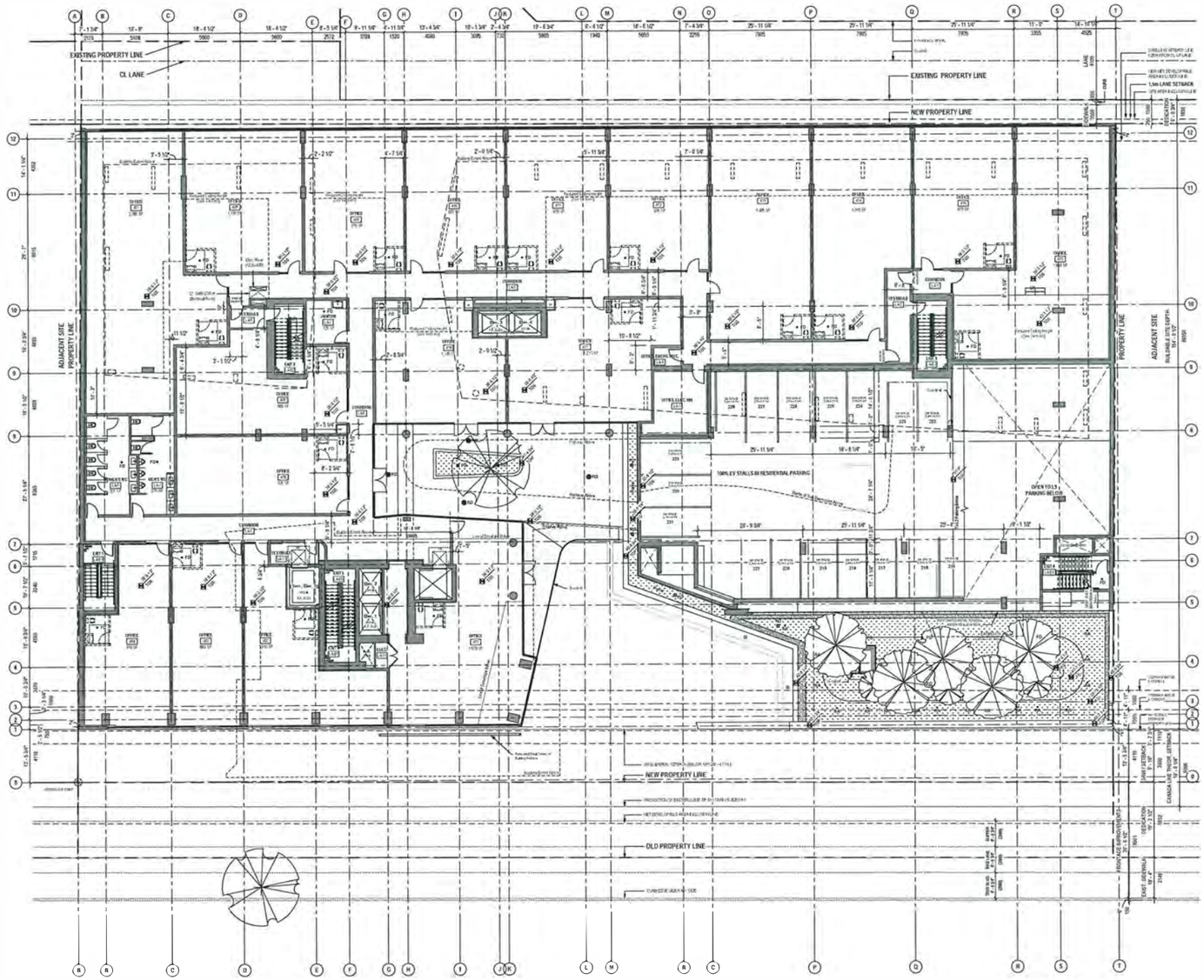
Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 3 Plan

Scale 1:200

A203

Dec 14, 2018



DP 16-754761

Plan #7 - 2018.12.18

BENE GROUP DIALOG

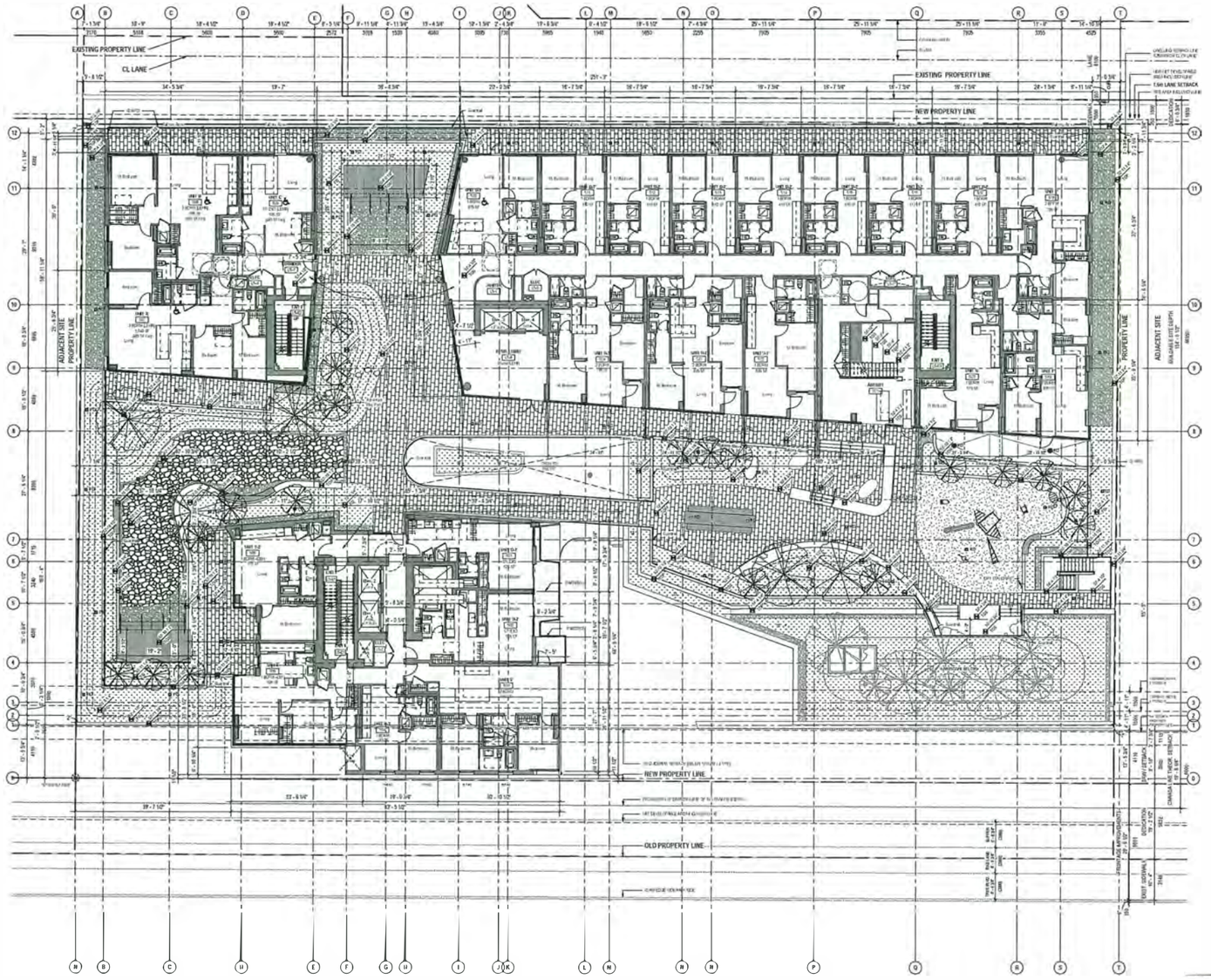
Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 4 Plan

Scale 1:200

A204

Dec 14, 2018



Plan #8 - 2018.12.18

DP 16-754761

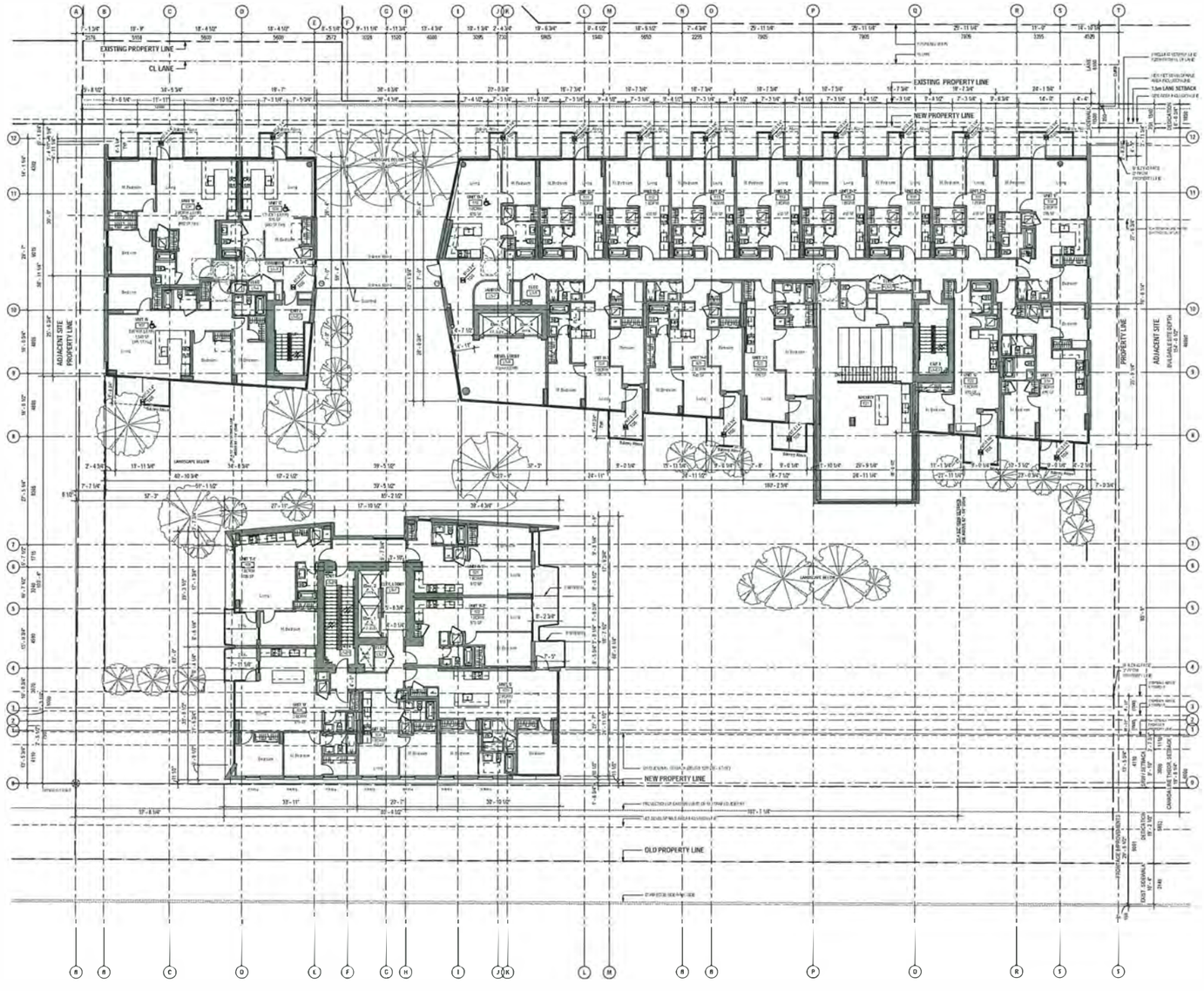
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

Level 5 Plan

Scale 1:200

A205 Dec 14, 2018



DP 16-754761

Plan #9 - 2018.12.18

BENE GROUP DIALOG

Times Square

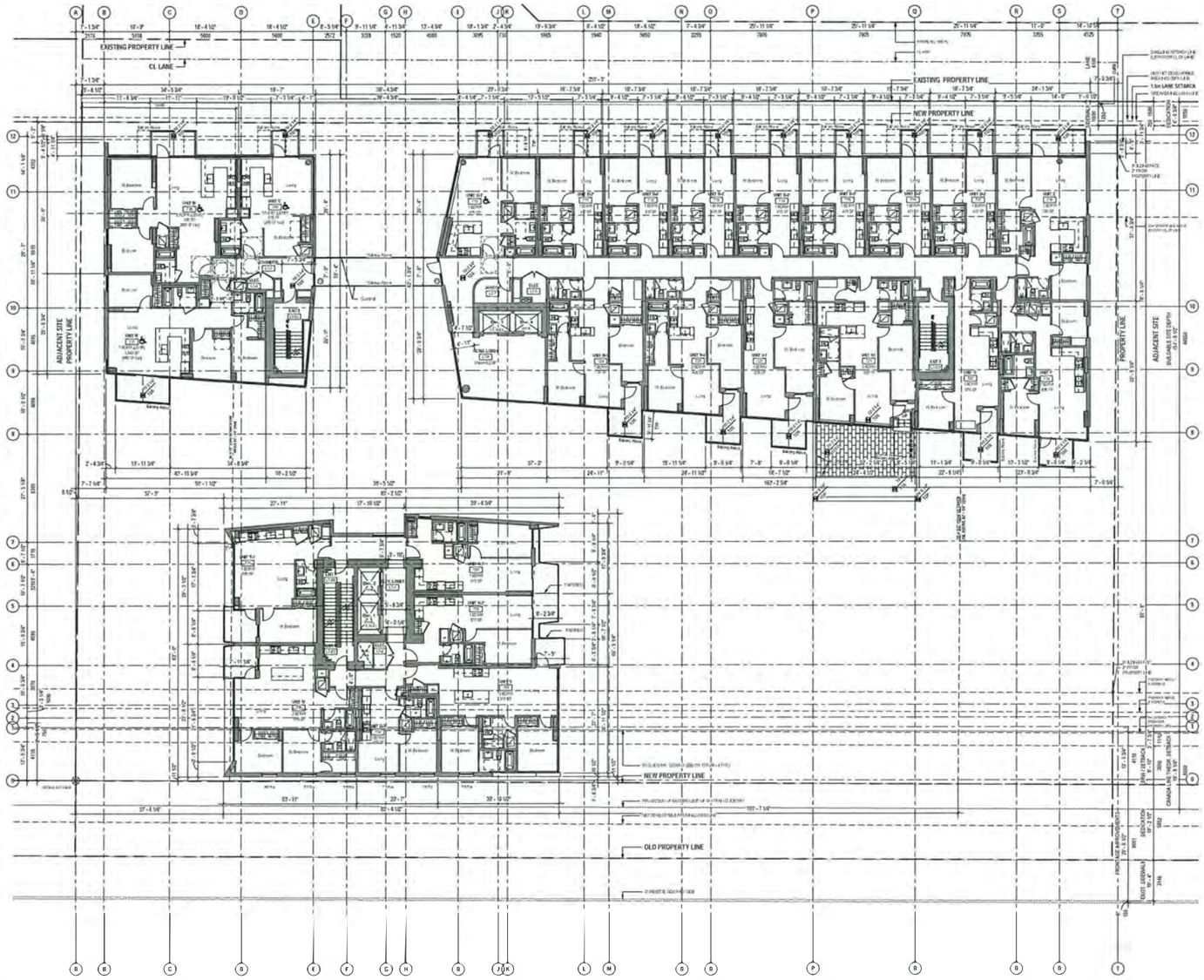
6680 & 6700 No. 3 Rd, Richmond

Level 6 Plan

Scale 1:200

A206

Dec 14, 2018



DP 16-754761

Plan #10 - 2018.12.18

BENE GROUP DIALOG

Times Square

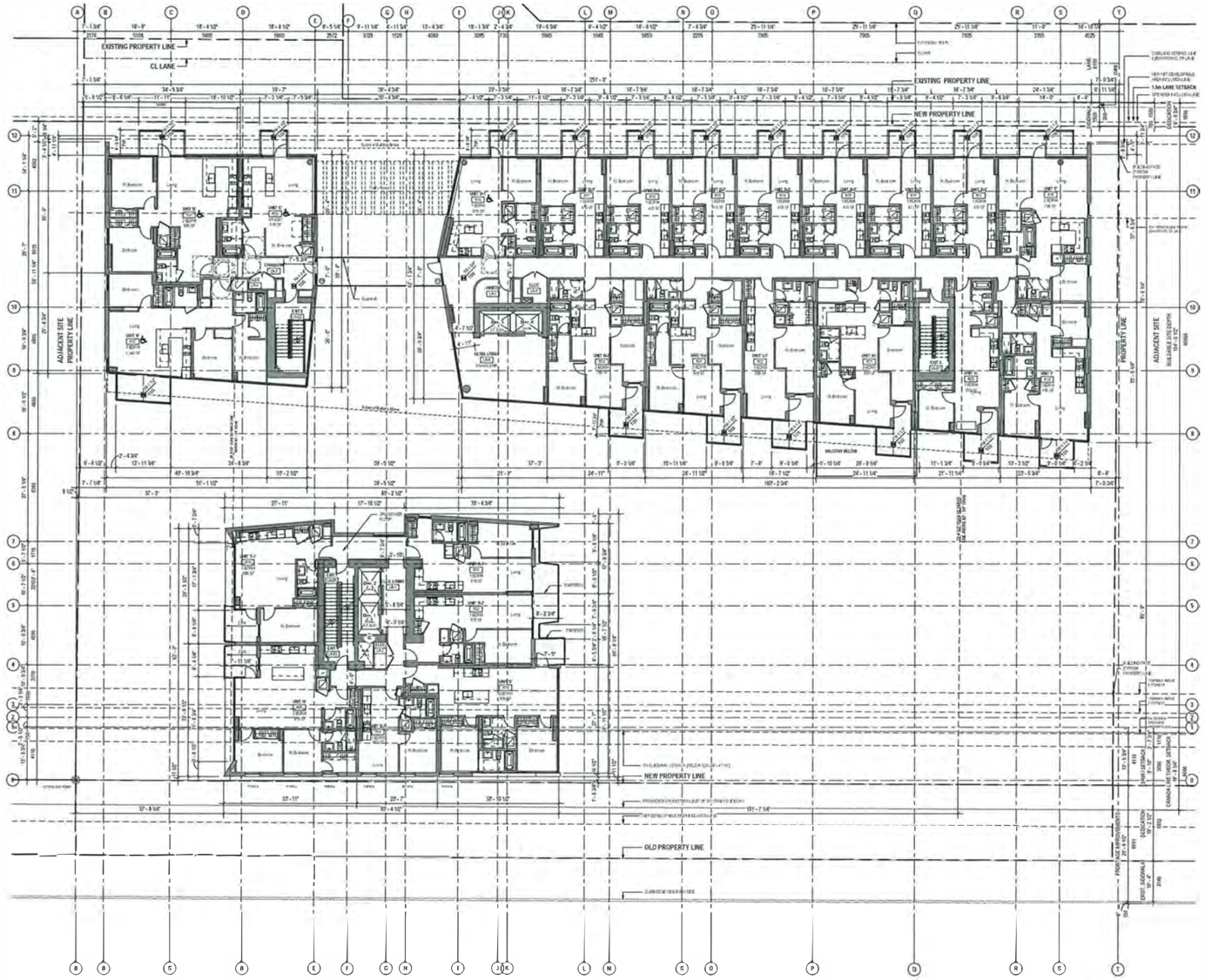
6680 & 6700 No. 3 Rd, Richmond

Level 7 Plan

Scale 1:200

A207

Dec 14, 2018



DP 16-754761

Plan #11 - 2018.12.18

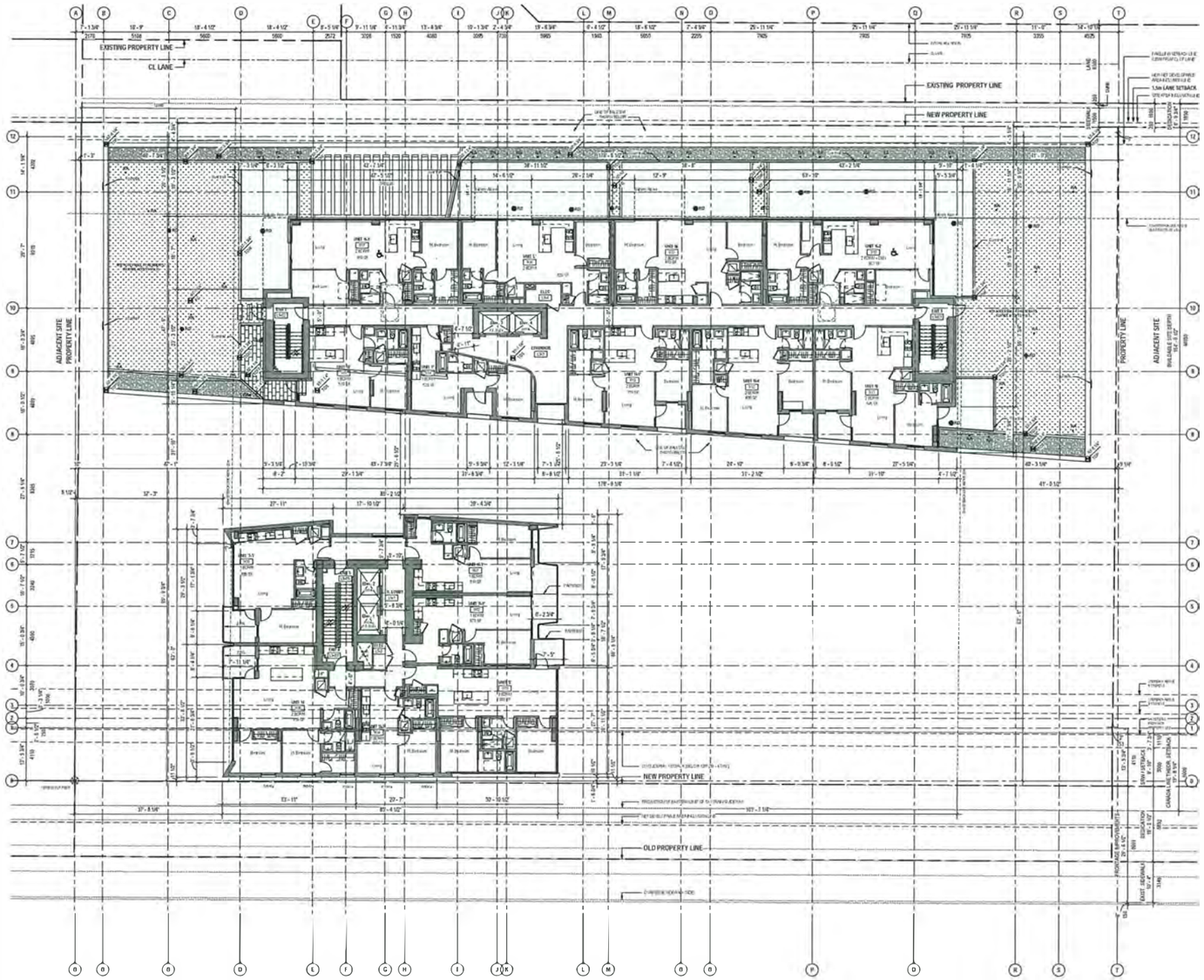
BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 8 Plan

Scale 1:200

A208 Dec 14, 2018



DP 16-754761

Plan #12 - 2018.12.18

BENE GROUP DIALOG

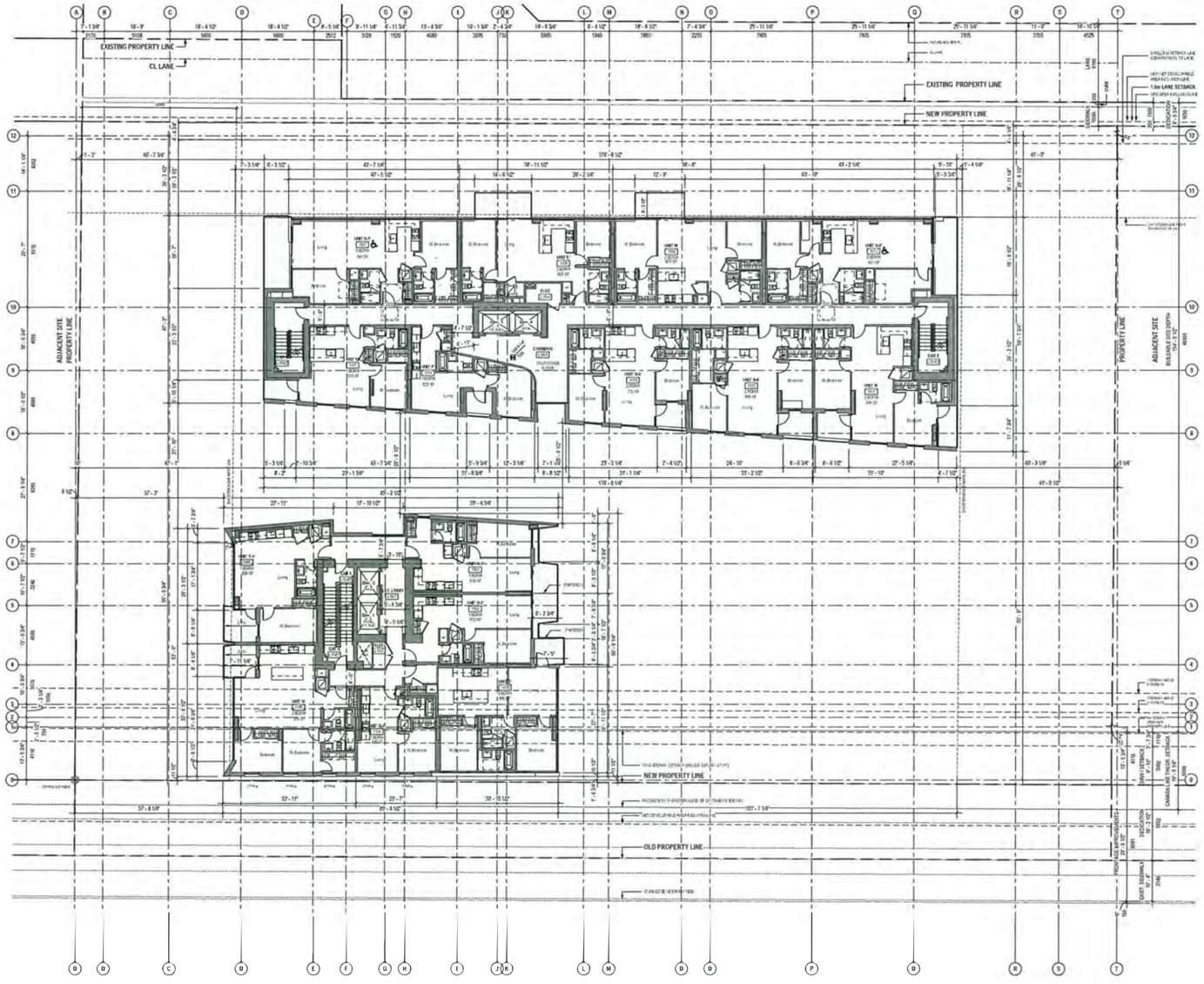
Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 9 Plan

Scale 1:200

A209

Dec 14, 2018



DP 16-754761

Plan #13 - 2018.12.18

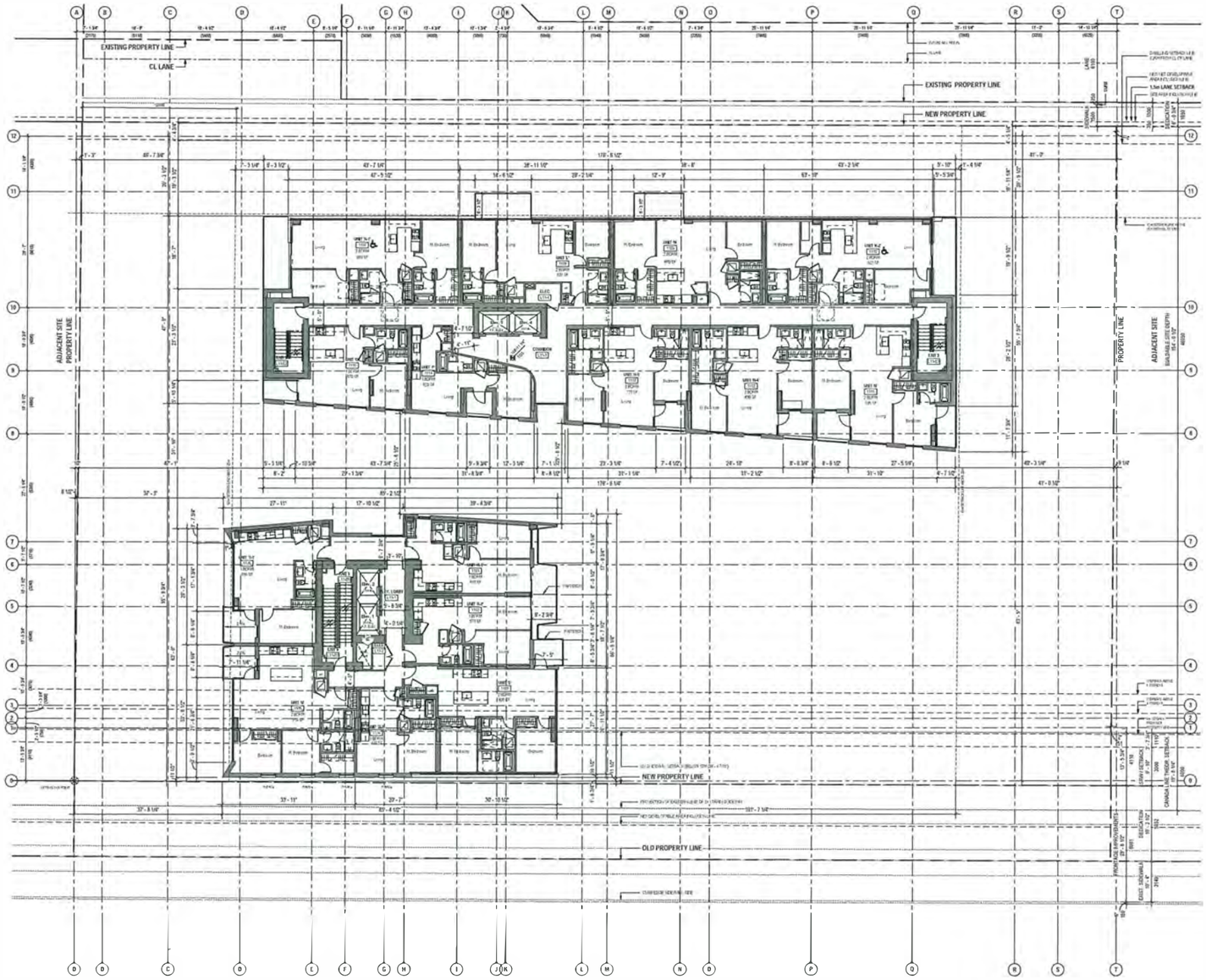
BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 10 Plan

Scale 1:200

A210 Dec 14, 2018



DP 16-754761

Plan #14 - 2018.12.18

BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 11 Plan

Scale 1:200

A211

Dec 14, 2018

DP 16-754761

Plan #15 - 2018.12.18

BENE GROUP DIALOG

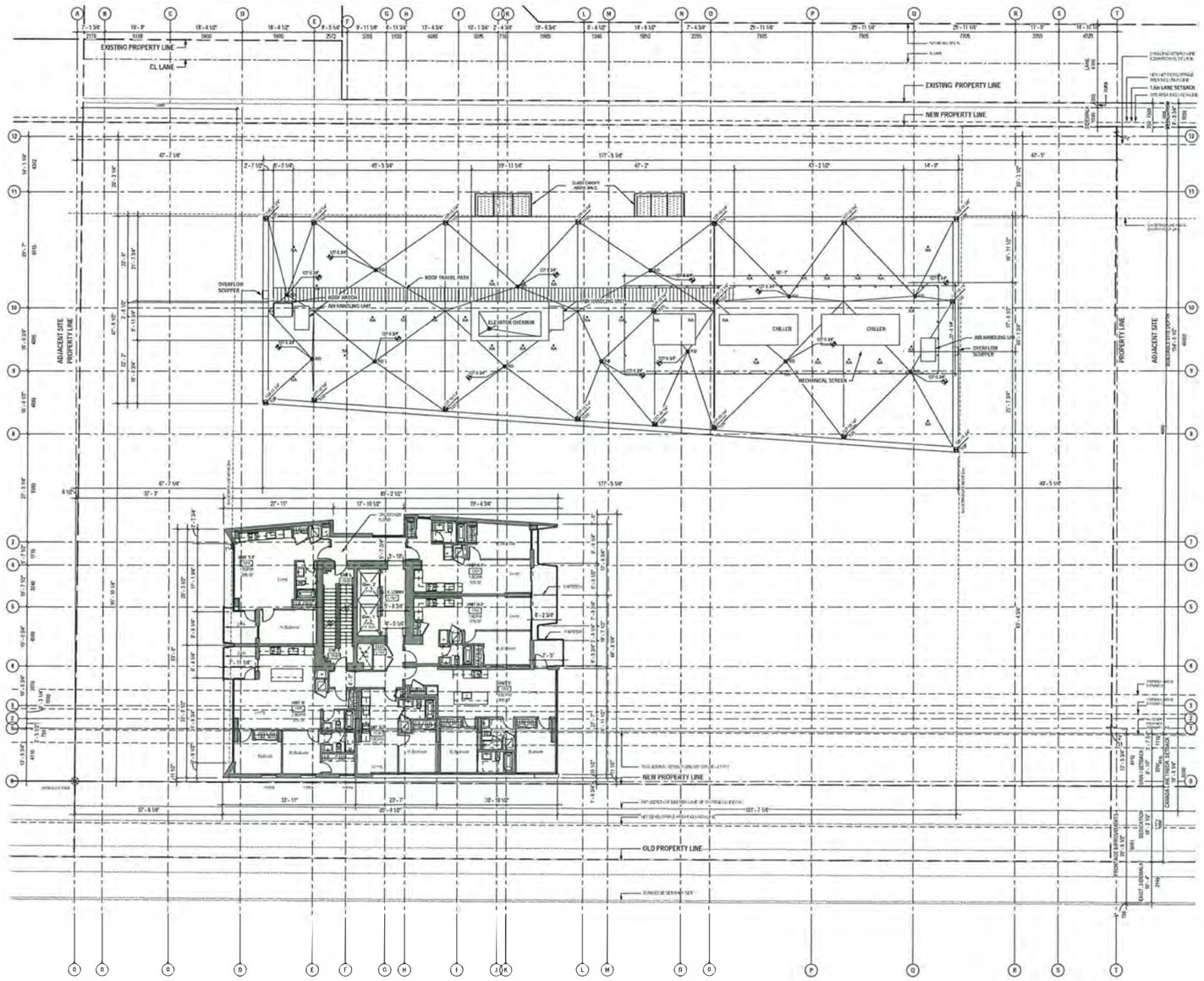
Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 12 Plan

Scale 1:200

A212

Dec 14, 2018



DP 16-754761

Plan #16 - 2018.12.18

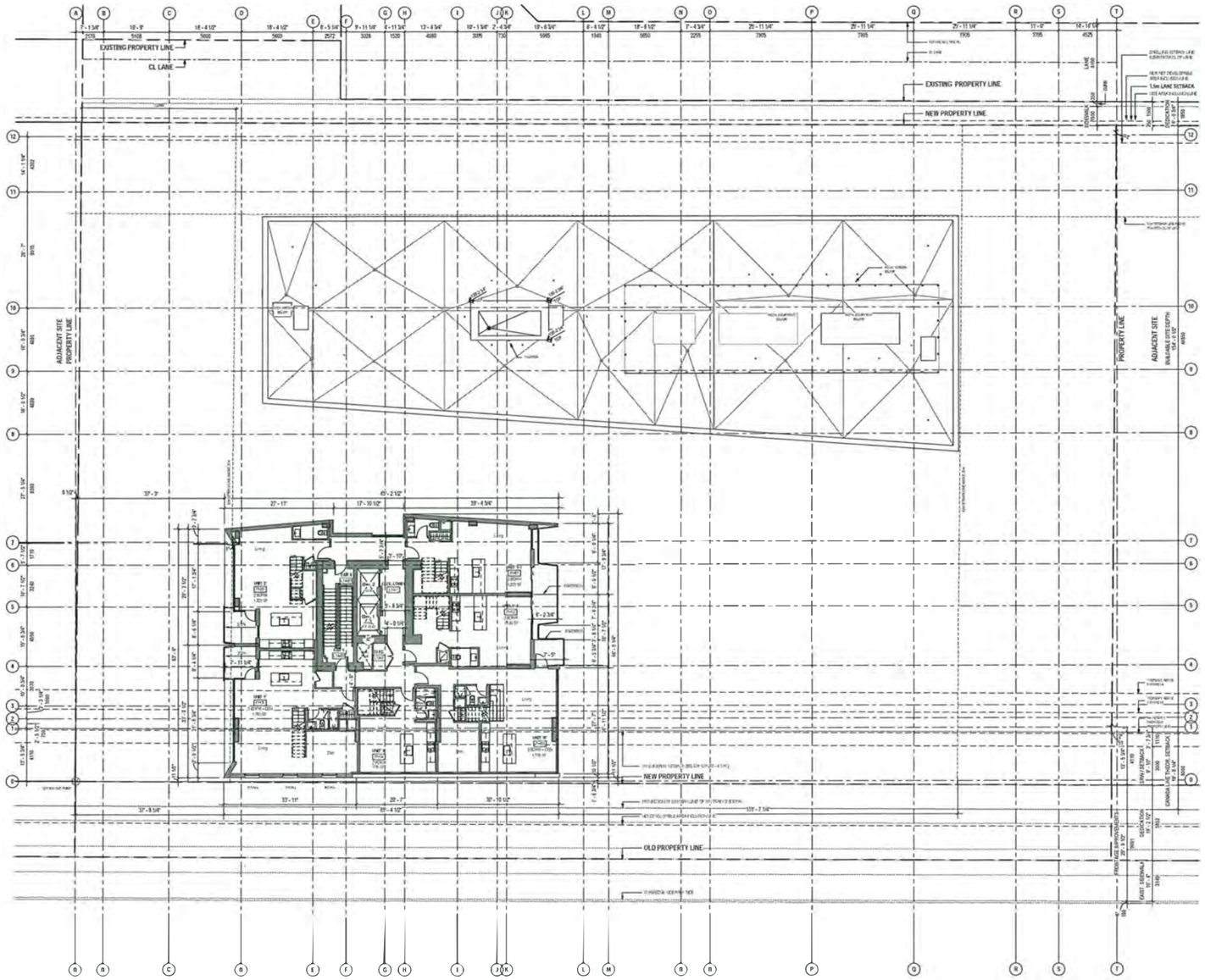
BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 13 Plan

Scale 1:200

A213 Dec 14, 2018



DP 16-754761

Plan #17 - 2018.12.18

BENE GROUP DIALOG

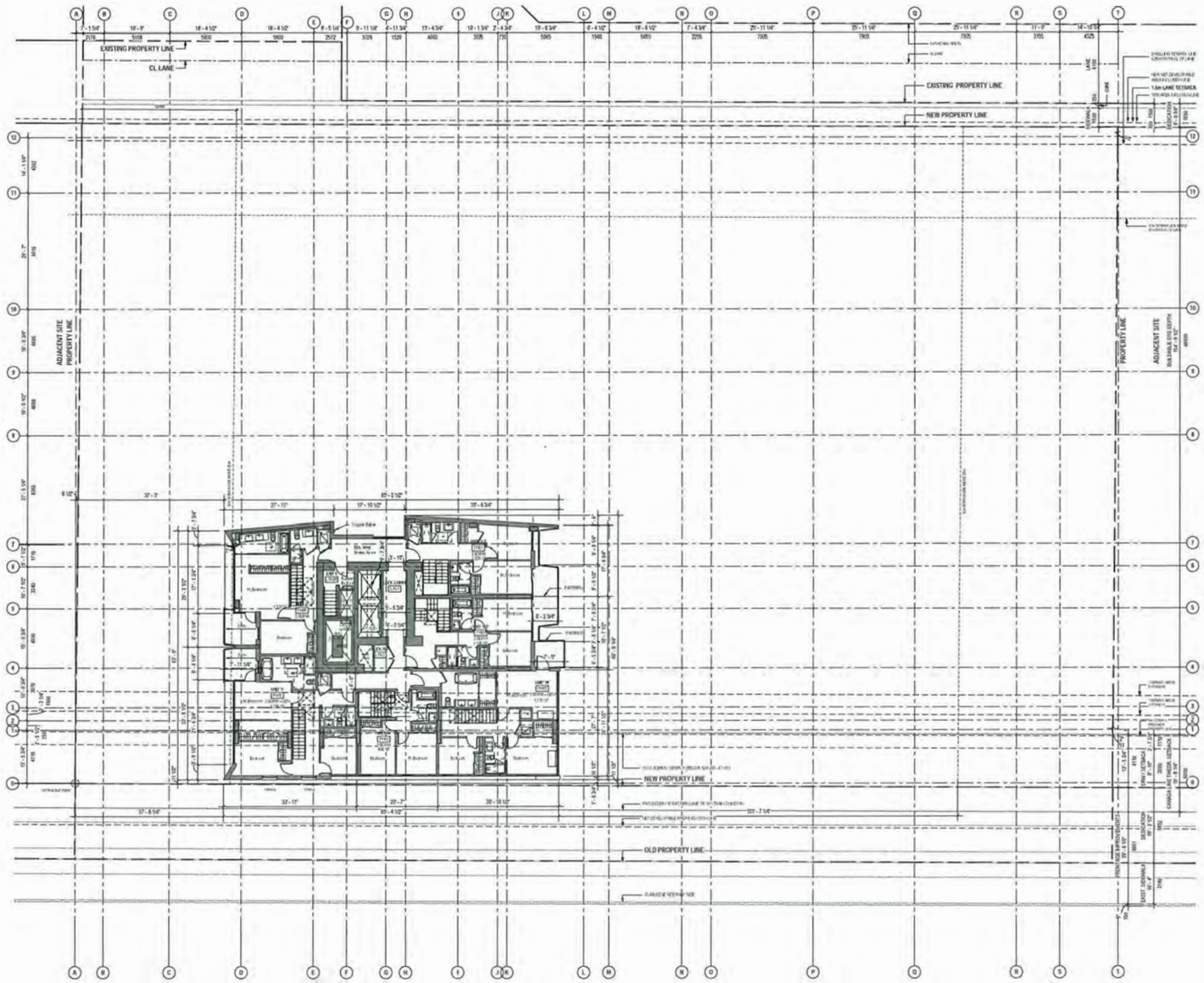
Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 14 Plan

Scale 1:200

A214

Dec 14, 2018



DP 16-754761

Plan #18 - 2018.12.18

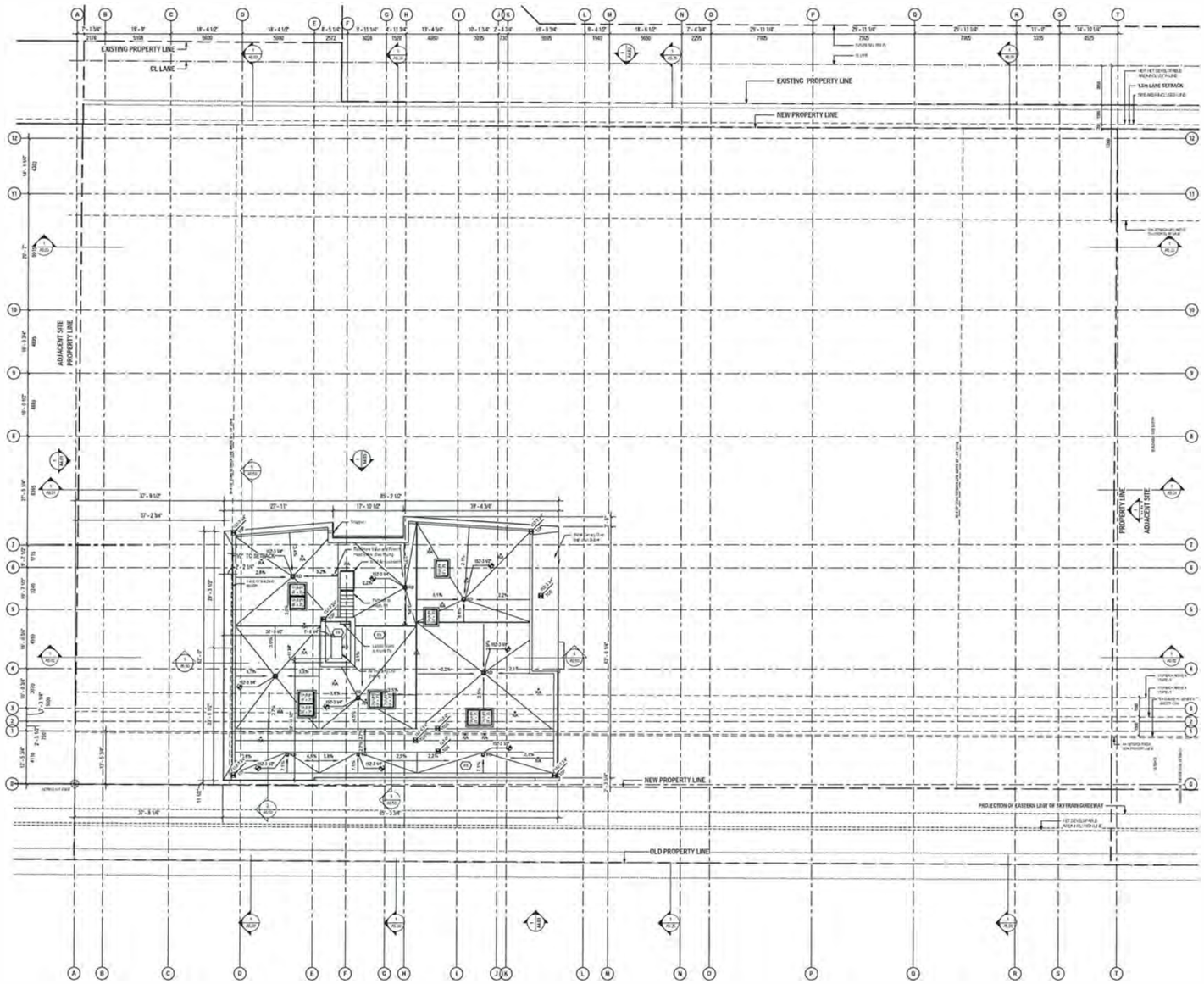
BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Level 15 Plan

Scale 1:200

A215 Dec 14, 2018



DP 16-754761

Plan #19 - 2018.12.18

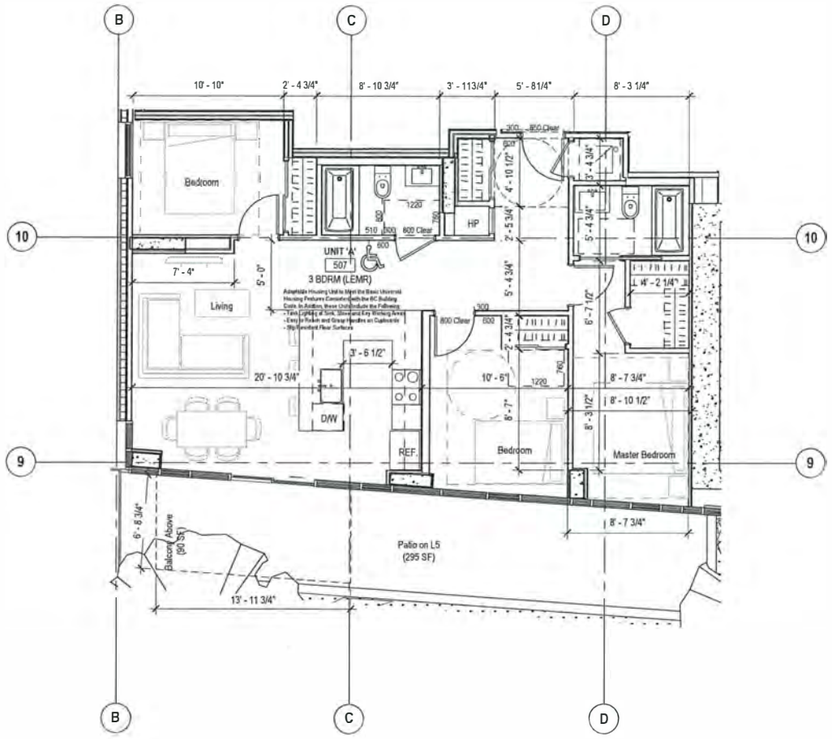
BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

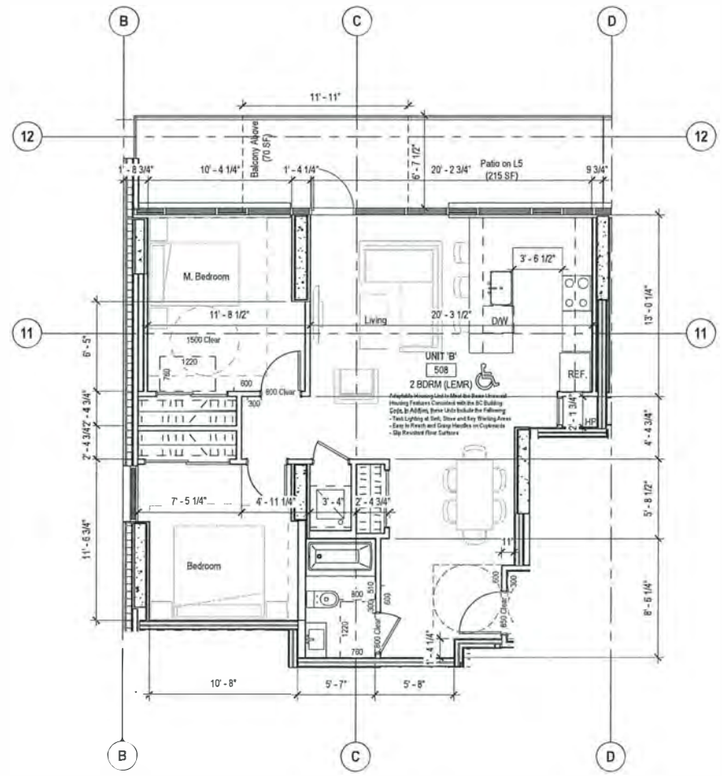
Roof Plan

Scale 1:200

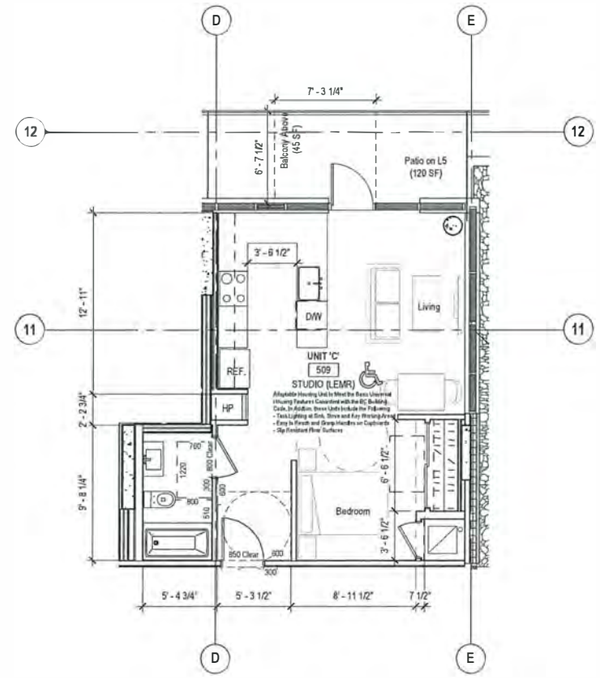
A216 Dec 14, 2018



1 / 7.01 Unit Type A - 1,045 SF (985 SF Net) (LEMR - Adaptable)
SCALE: 3/16" = 1'-0"



2 / 7.01 Unit Type B - 990 SF (905 SF Net) (LEMR - Adaptable)
SCALE: 3/16" = 1'-0"



3 / 7.01 Unit Type C - 570 SF (505 SF Net) (LEMR - Adaptable)
SCALE: 3/16" = 1'-0"

DP 16-754761

Plan #20 - 2018.12.18

BENE GROUP DIALOG

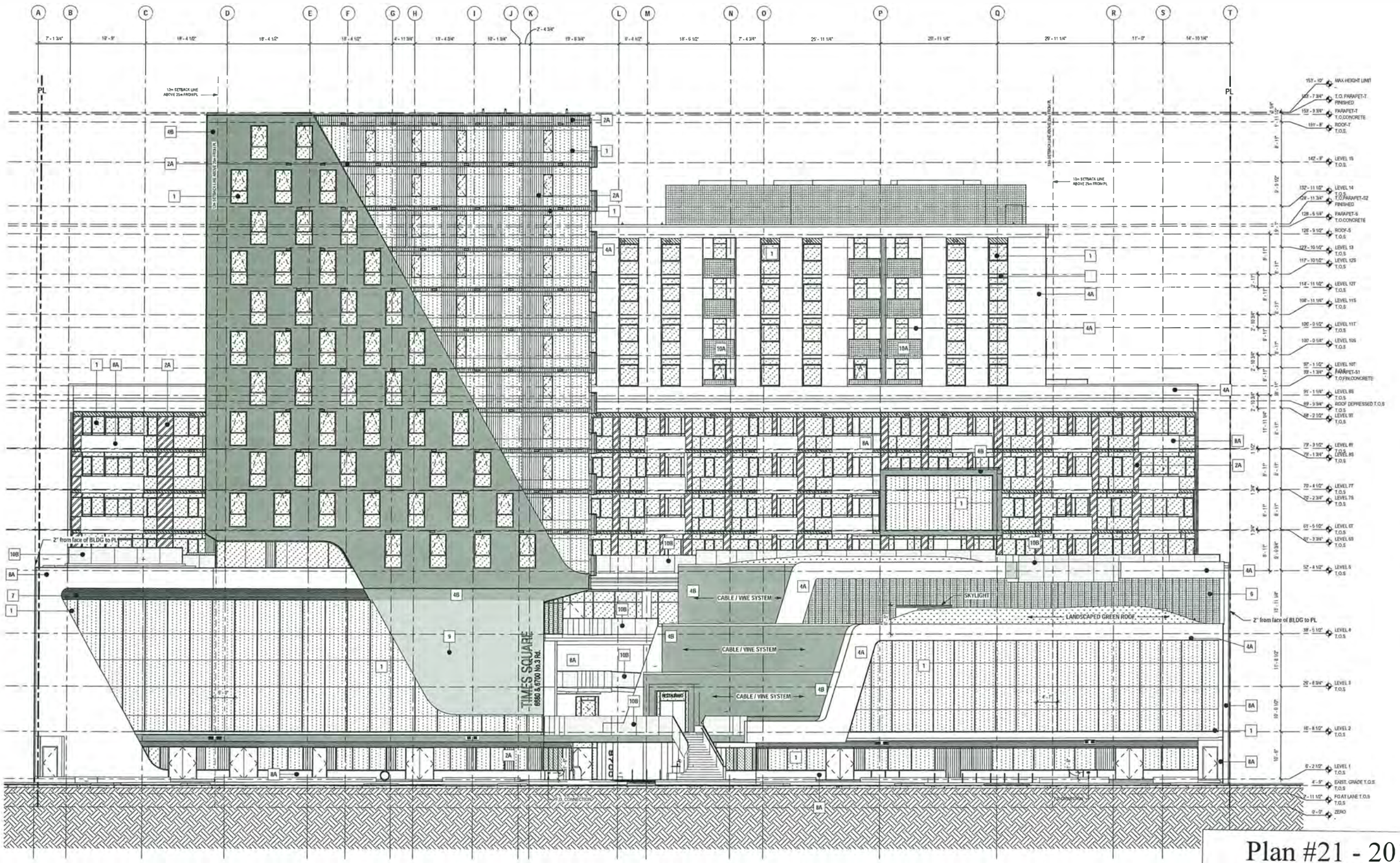
Times Square
6680 / 6700 No. 3 Rd, Richmond

LEMR Unit Plans

Scale NTS

A217

Dec 14, 2018



MATERIAL LEGEND	
1	CLEAR GLAZING
2A	GLASS SPANDREL (WHITE)
3B	RAINSCREEN STANDING SEAM MTL (DARK GREY)
4A	RAINSCREEN COMPOSITE MTL PANEL (WHITE)
4B	RAINSCREEN COMPOSITE MTL PANEL (DARK GREY)
5A	METAL SPANDREL (WHITE)
6	PERFORATED SCREEN
7	METAL VENT
8A	CONCRETE PAINTED (WHITE)
8B	CONCRETE PAINTED (DARK GREY)
9	PERFORATED METAL SCREEN IMAGE
10A	GUARD PERF. AL. SCREEN
10B	GUARD CLEAR GLASS
10D	GUARD METAL PANEL (DARK GREY)

MTL SCREEN GUARD

CURTAIN WALL LEGEND | WINDOW WALL LEGEND

Plan #21 - 2018.12.18

DP 16-754761

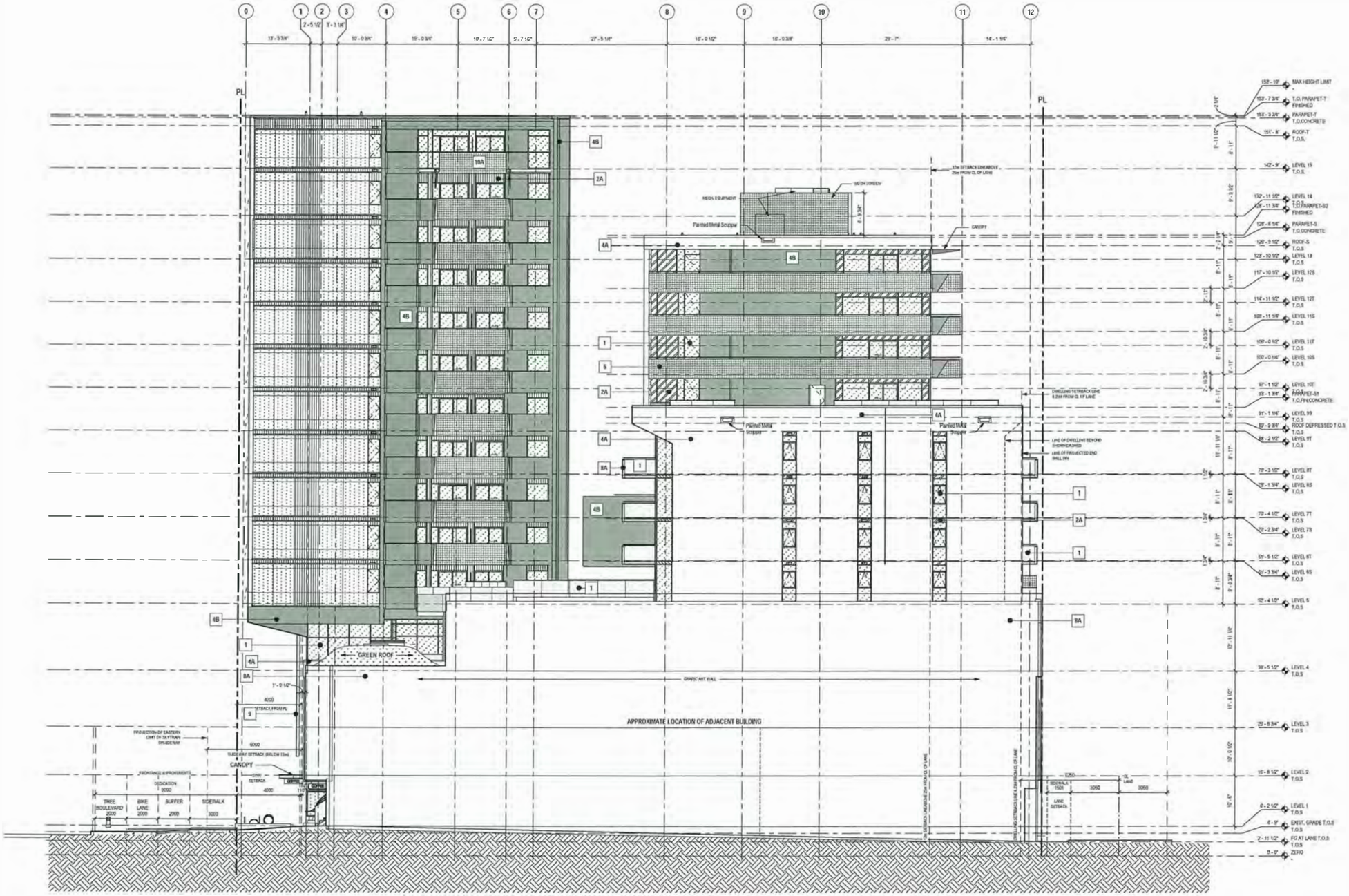
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

West Elevation

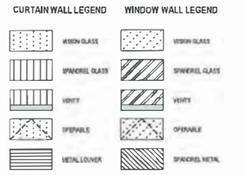
Scale 1:150

A401 Dec 14, 2018



MATERIAL LEGEND	
1	CLEAR GLAZING
2A	GLASS SPANDREL (WHITE)
3B	RAINSCREEN STANDING SEAM MTL (DARK GREY)
4A	RAINSCREEN COMPOSITE MTL PANEL (WHITE)
4B	RAINSCREEN COMPOSITE MTL PANEL (DARK GREY)
5A	METAL SPANDREL (WHITE)
6	PERFORATED SCREEN
7	METAL VENT
8A	CONCRETE PAINTED (WHITE)
8B	CONCRETE PAINTED (DARK GREY)
9	PERFORATED METAL SCREEN IMAGE
10A	GUARD PERF. AL. SCREEN
10B	GUARD CLEAR GLASS
10D	GUARD METAL PANEL (DARK GREY)

MTL SCREEN GUARD



DP 16-754761

Plan #22 - 2018.12.18

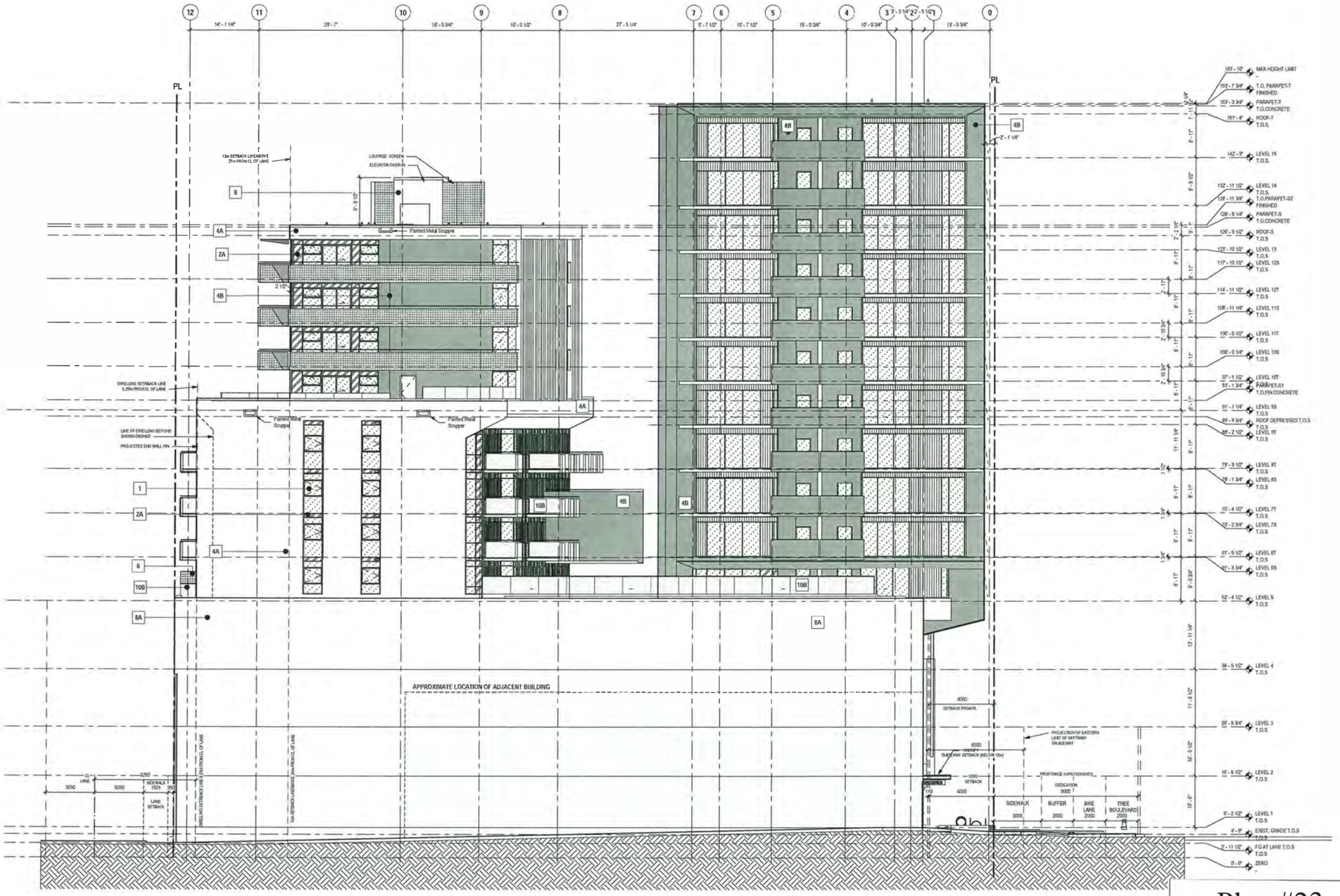
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

South Elevation

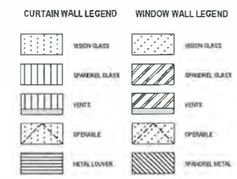
Scale 1:150

A402 Dec 14, 2018



MATERIAL LEGEND	
1	CLEAR GLAZING
2A	GLASS SPANDREL (WHITE)
3B	RAINSCREEN STANDING SEAM MTL (DARK GREY)
4A	RAINSCREEN COMPOSITE MTL PANEL (WHITE)
4B	RAINSCREEN COMPOSITE MTL PANEL (DARK GREY)
5A	METAL SPANDREL (WHITE)
6	PERFORATED SCREEN
7	METAL VENT
8A	CONCRETE PAINTED (WHITE)
8B	CONCRETE PAINTED (DARK GREY)
9	PERFORATED METAL SCREEN IMAGE
10A	GUARD PERF. AL. SCREEN
10B	GUARD CLEAR GLASS
10D	GUARD METAL PANEL (DARK GREY)

MTL SCREEN GUARD



Plan #23 - 2018.12.18

DP 16-754761

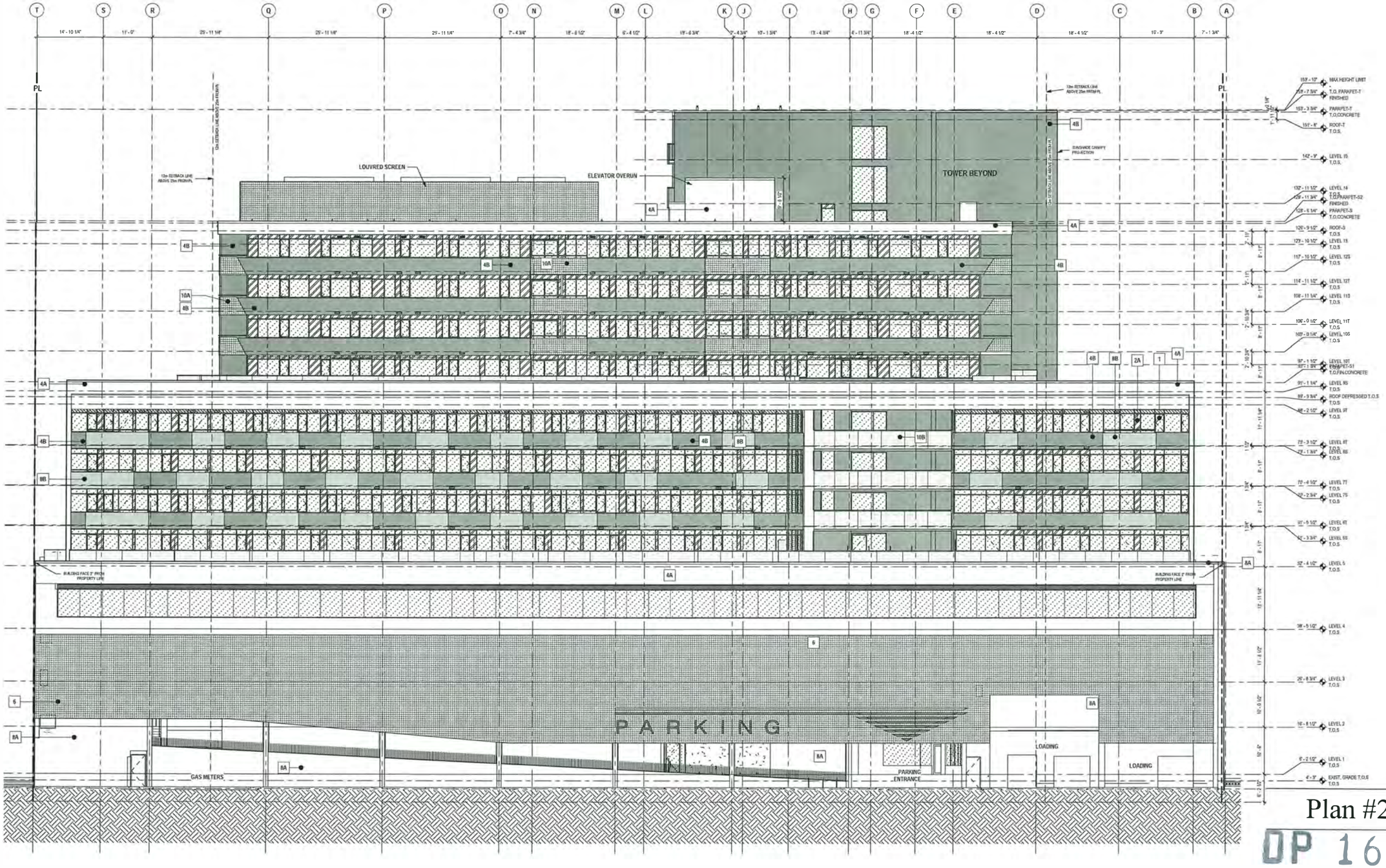
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

North Elevation

Scale 1:150

A403 Dec 14, 2018



MATERIAL LEGEND	
1	CLEAR GLAZING
2A	GLASS SPANDREL (WHITE)
3B	RAINSCREEN STANDING SEAM MTL (DARK GREY)
4A	RAINSCREEN COMPOSITE MTL PANEL (WHITE)
4B	RAINSCREEN COMPOSITE MTL PANEL (DARK GREY)
5A	METAL SPANDREL (WHITE)
6	PERFORATED SCREEN
7	METAL VENT
8A	CONCRETE PAINTED (WHITE)
8B	CONCRETE PAINTED (DARK GREY)
9	PERFORATED METAL SCREEN IMAGE
10A	GUARD PERF. AL. SCREEN
10B	GUARD CLEAR GLASS
10D	GUARD METAL PANEL (DARK GREY)

MTL SCREEN GUARD

CURTAIN WALL LEGEND | WINDOW WALL LEGEND

Plan #24 - 2018.12.18

DP 16-754761

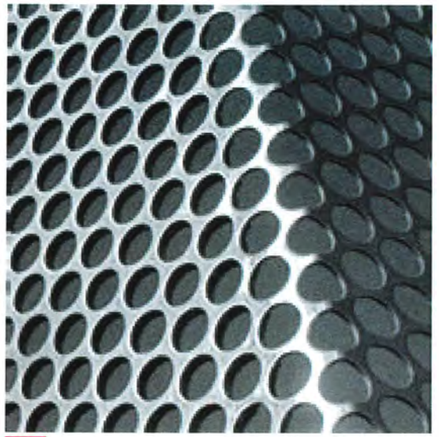
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

East Elevation

Scale 1:150

A404 Dec 14, 2018



1.1
Perforated MTL Screen
(powder coated)

1.2
Glass Guard with MTL-Handrail
w/ cont. Base Shoe
(no verticals)

1.3
Corrugated Perforated MTL Screen

CW
Curtain Wall Glazing w/ Mullion Caps

CW-S
SSG Glazing
w/ Screen
Printed Graphic

WW
Window Wall Bypass Glazing
System.

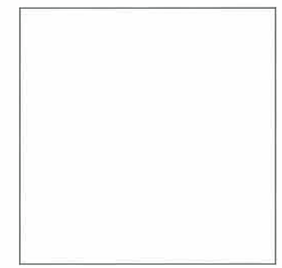
C1
Painted Concrete

R1/2* Extensive Green Roof System (incl. Slopes)

4.1 Tree Grove

4.2

4.2 Vertical Vine System



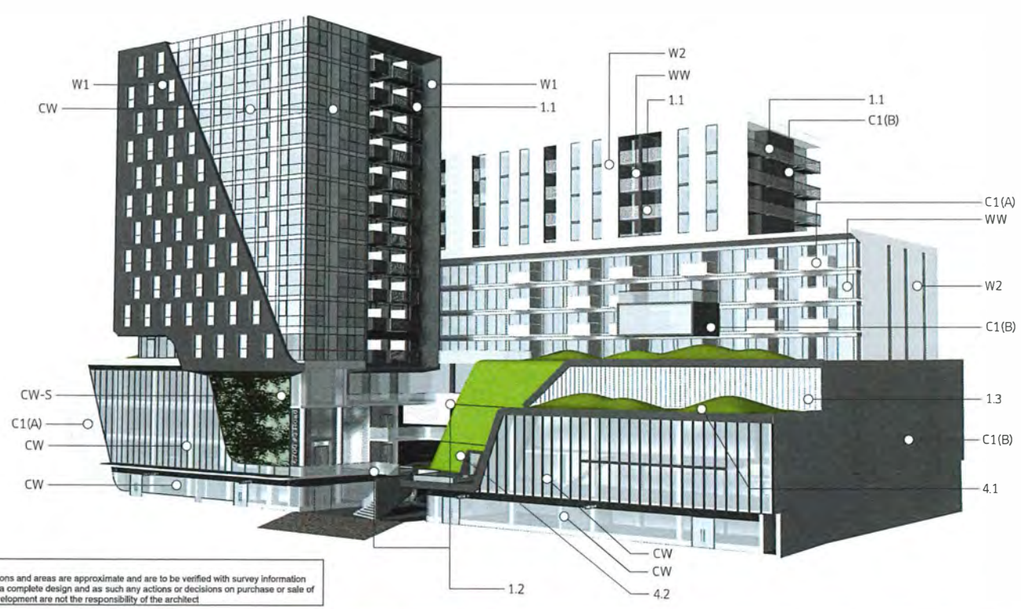
W2/

ALUM. Composite Panel - Pure White
(Rainscreen Assembly)

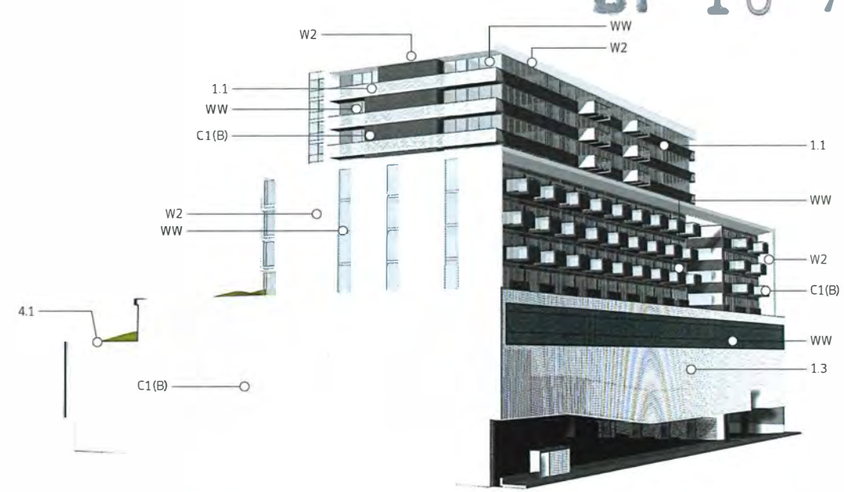
W1
Zinc Panel - Dark Grey
(Rains

Plan #25 - 2018.12.18

DP 16-754761



NOTE:
1.All dimensions and areas are approximate and are to be verified with survey information
2.This is not a complete design and as such any actions or decisions on purchase or sale of land/development are not the responsibility of the architect

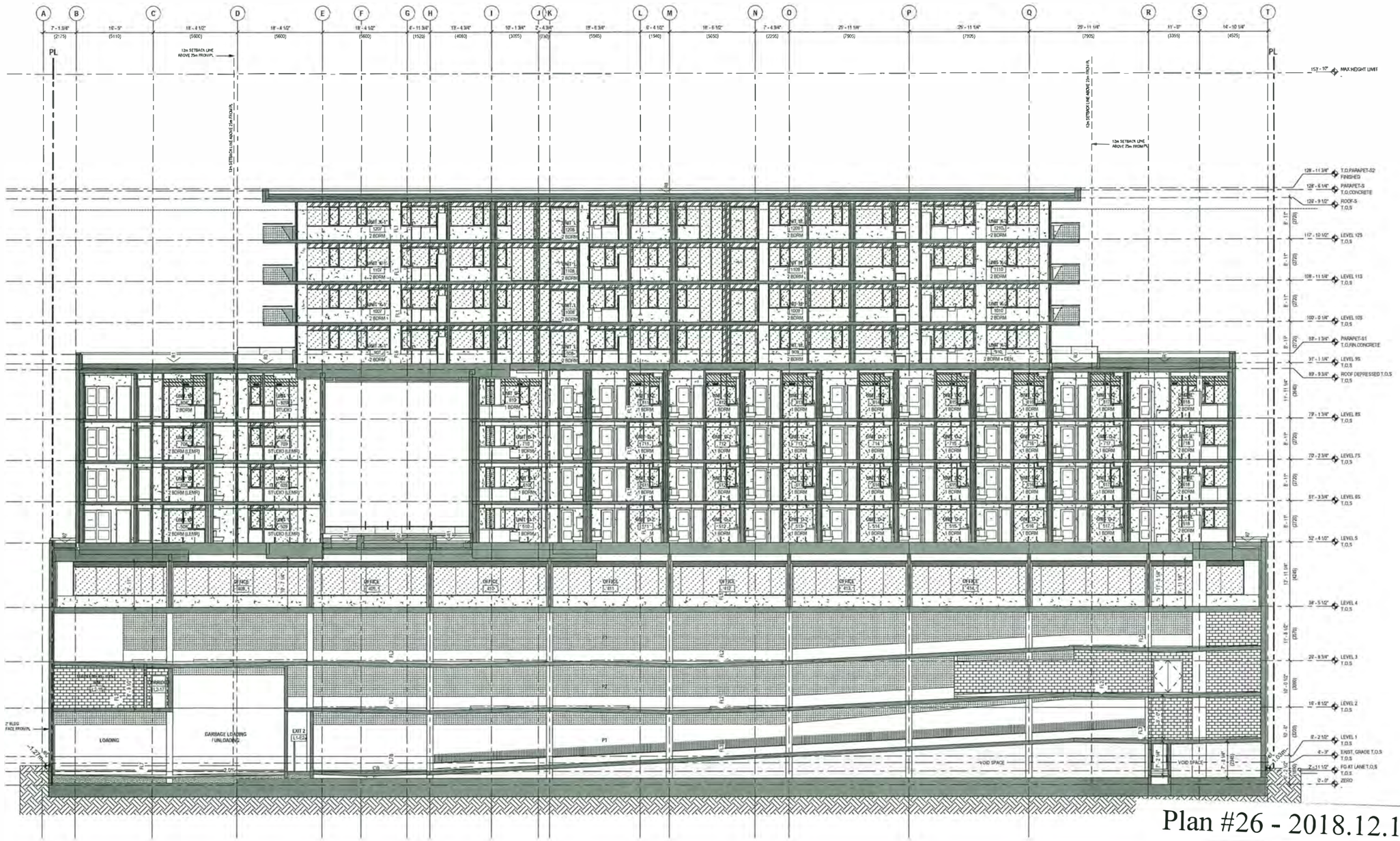


BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Materials

A014 Dec 14, 2018



Plan #26 - 2018.12.18

DP 16-754761

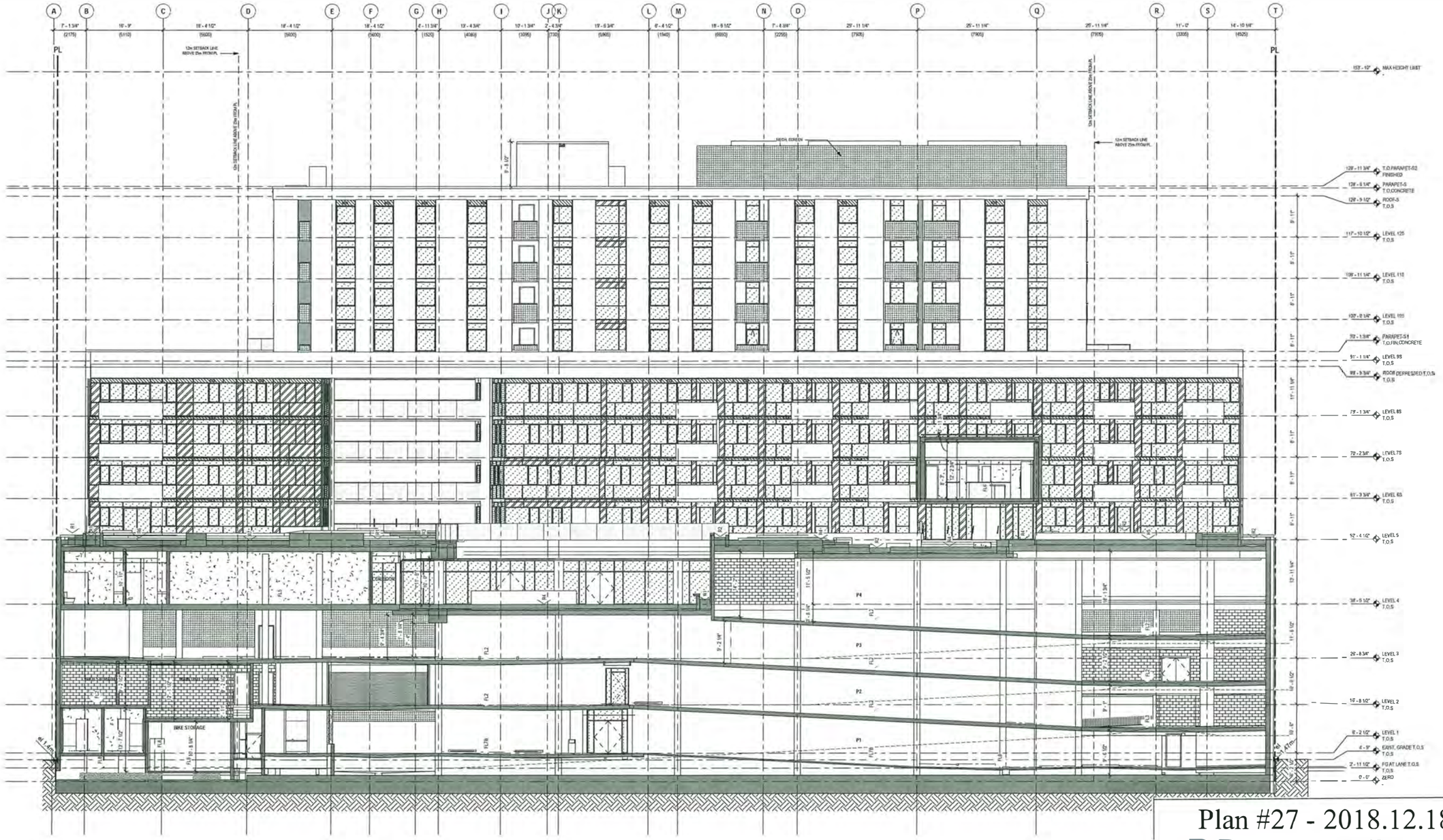
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

Section AA

Scale 1:150

A501 Dec 14, 2018



Plan #27 - 2018.12.18

DP 16-754761

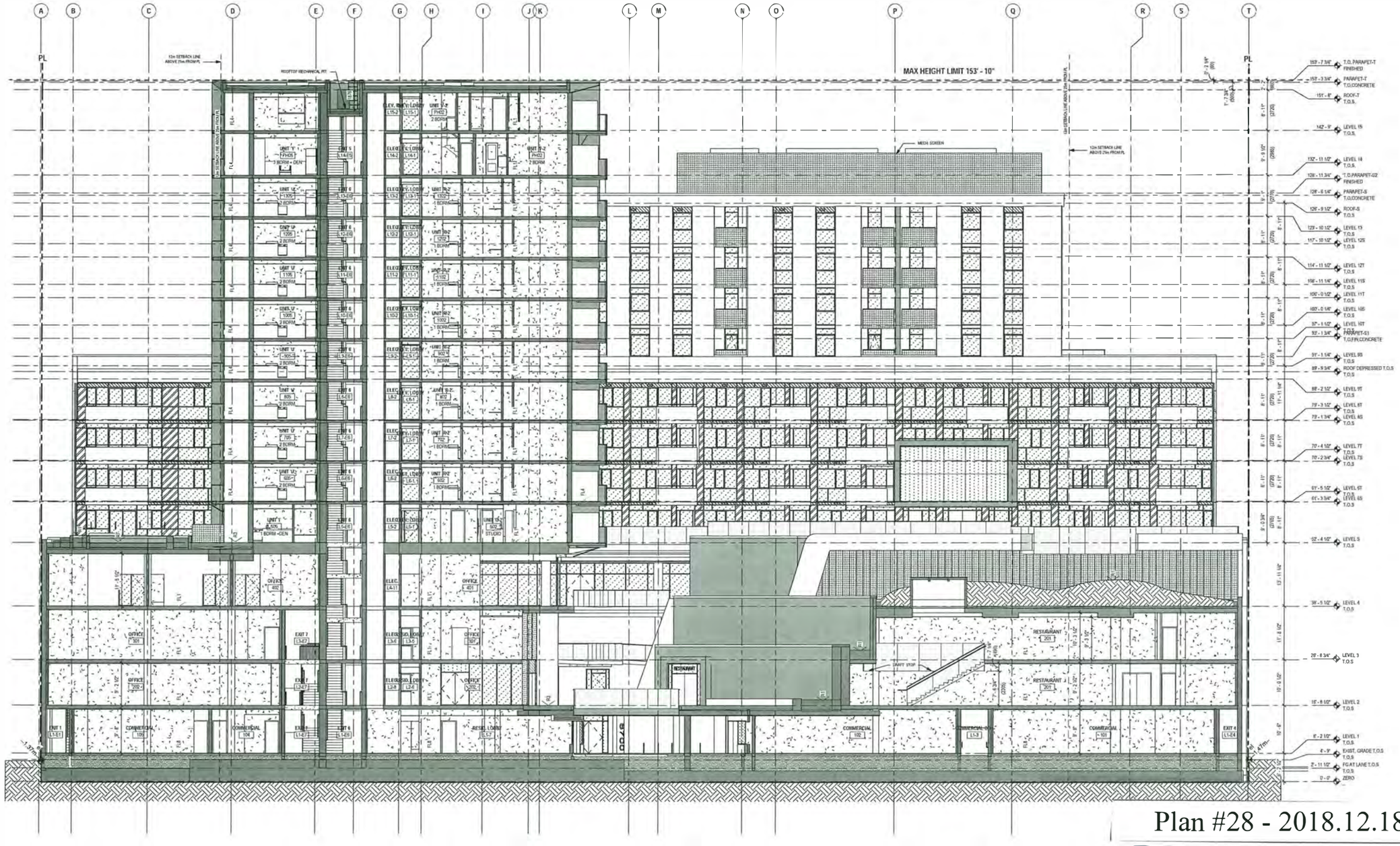
BENE GROUP DIALOG

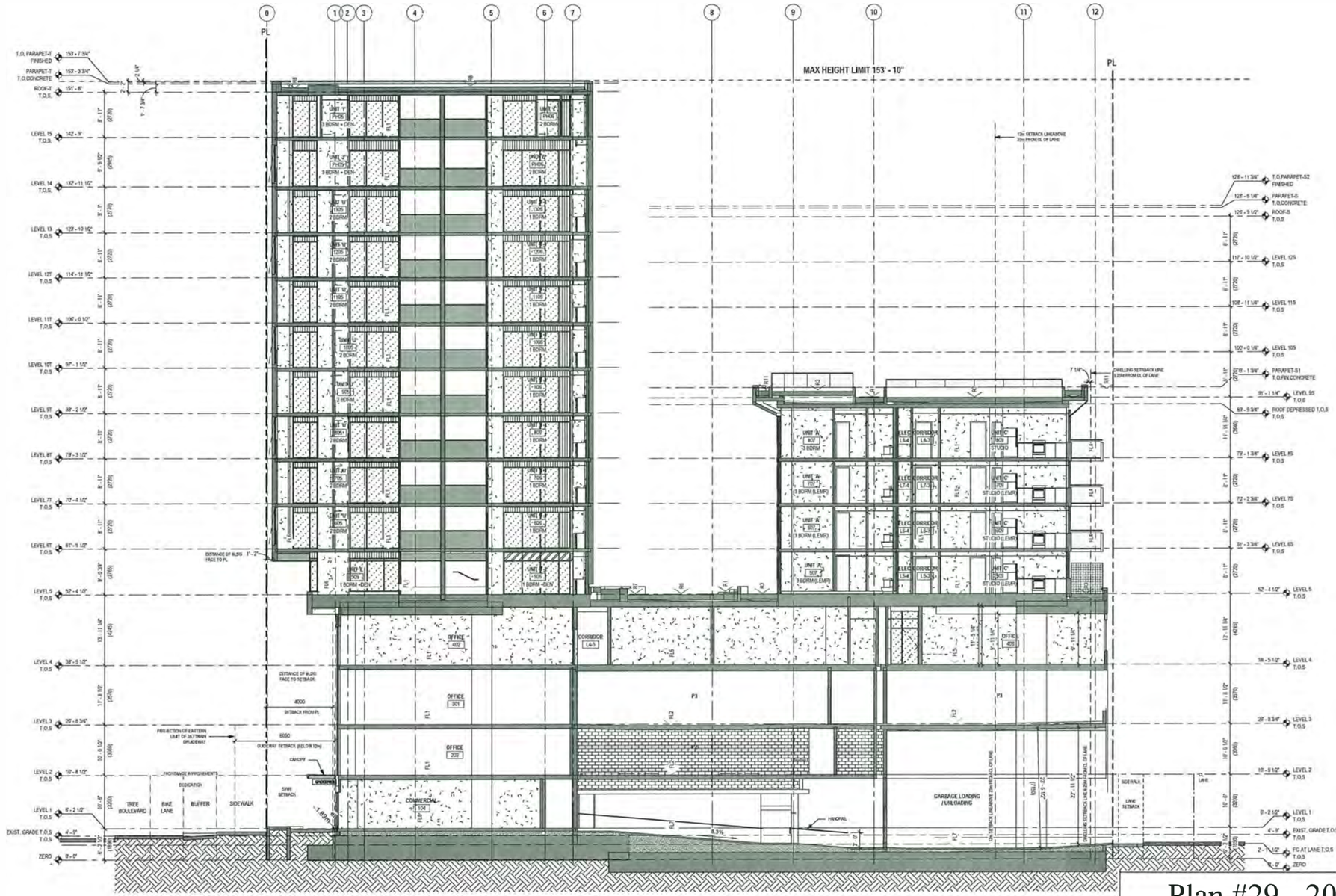
Times Square
6680 / 6700 No. 3 Rd, Richmond

Section BB

Scale 1:150

A502 Dec 14, 2018


MAX HEIGHT LIMIT 153' - 10"
ROOFTOP MECHANICAL PIT
MECH SCREEN
12m SETBACK LINE ABOVE 25m FROM P.L.
T.O. PARAPET-T FINISHED
PARAPET-T T.O.CONCRETE
ROOF-T T.O.S.
LEVEL 15 T.O.S.
LEVEL 14 T.O.S.
T.O.PARAPET-G2 FINISHED
PARAPET-S T.O.CONCRETE
ROOF-S T.O.S
LEVEL 13 T.O.S.
LEVEL 12S T.O.S
LEVEL 12T T.O.S
LEVEL 11S T.O.S.
LEVEL 11T T.O.S.
LEVEL 10S T.O.S
LEVEL 10T T.O.S
PARAPET-G1 T.O.FIN.CONCRETE
LEVEL 9S T.O.S
ROOF DEPRESSED T.O.S
LEVEL 9T T.O.S
LEVEL 8T T.O.S
LEVEL 8S T.O.S
LEVEL 7T T.O.S
LEVEL 7S T.O.S
LEVEL 6T T.O.S
LEVEL 6S T.O.S
LEVEL 5 T.O.S
LEVEL 4 T.O.S
LEVEL 3 T.O.S
LEVEL 2 T.O.S
LEVEL 1 T.O.S
EXIST. GRADE T.O.S
FG AT LANE T.O.S
ZERO
RESTAURANT
CRAFT STOP
COMMERCIAL
OFFICE
EXIT 1
EXIT 2
EXIT 3
EXIT 4
EXIT 5
EXIT 6
EXIT 7
ELEC.
LOBBY
UNIT 1
UNIT 2
UNIT 3
UNIT 4
UNIT 5
UNIT 6
UNIT 7
UNIT 8
UNIT 9
UNIT 10
UNIT 11
UNIT 12
UNIT 13
UNIT 14
UNIT 15
UNIT 16
UNIT 17
UNIT 18
UNIT 19
UNIT 20
UNIT



Plan #29 - 2018.12.18

DP 16-754761

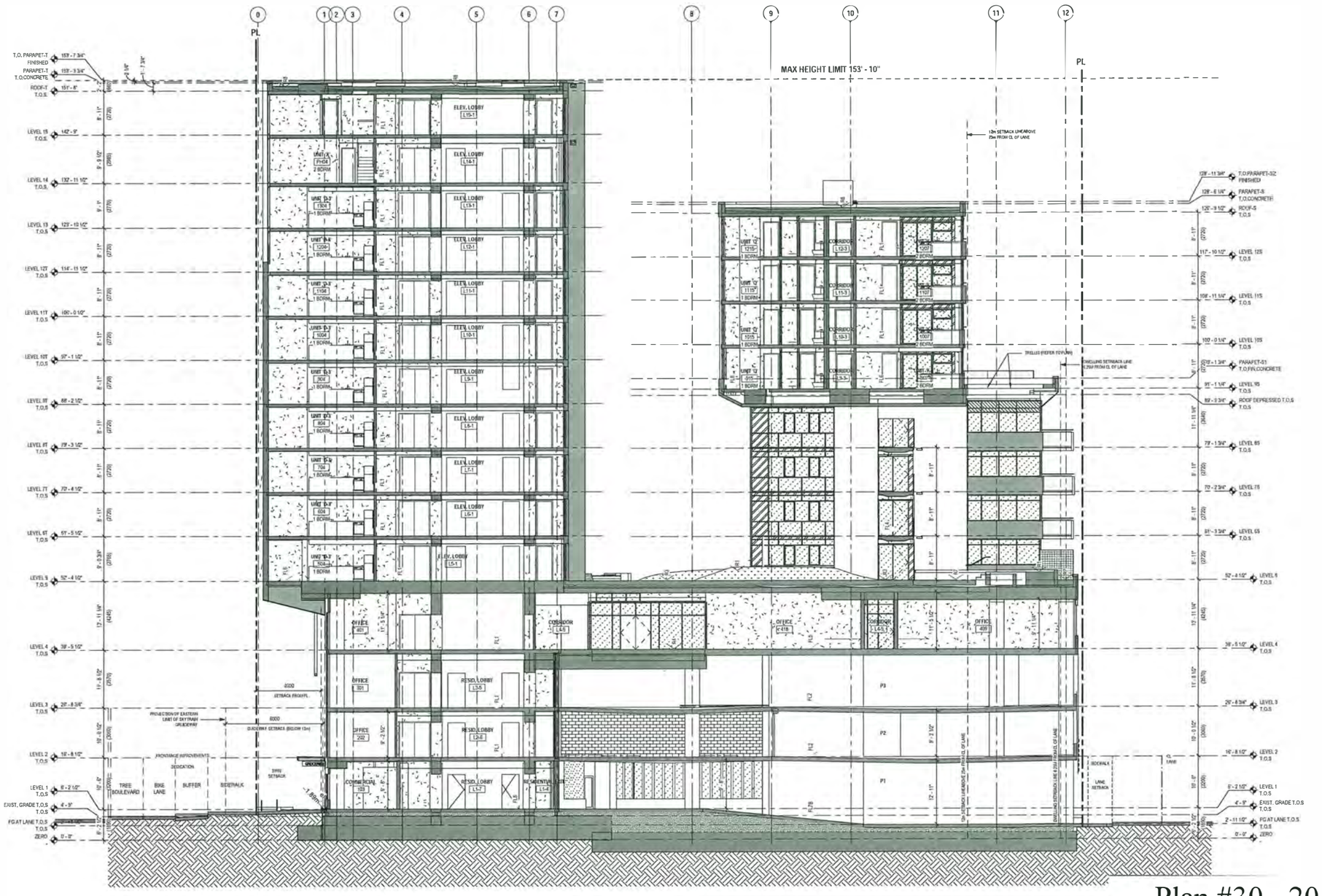
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

Section DD

Scale 1:150

A504 Dec 14, 2018



Plan #30 - 2018.12.18

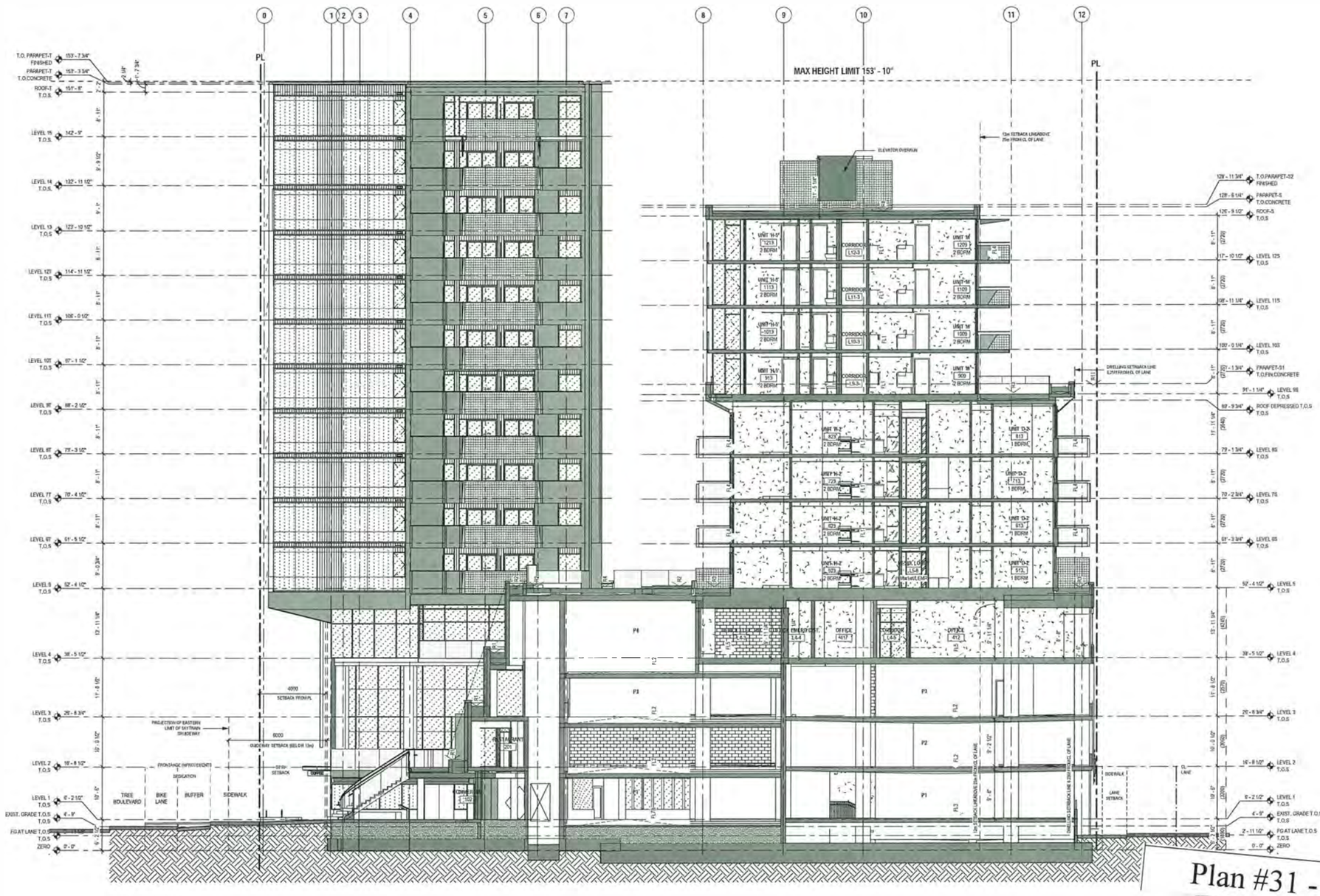
DP 16-754761

BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

Section EE

A505 Dec 14, 2018



Plan #31 - 2018.12.18

DP 16-754761

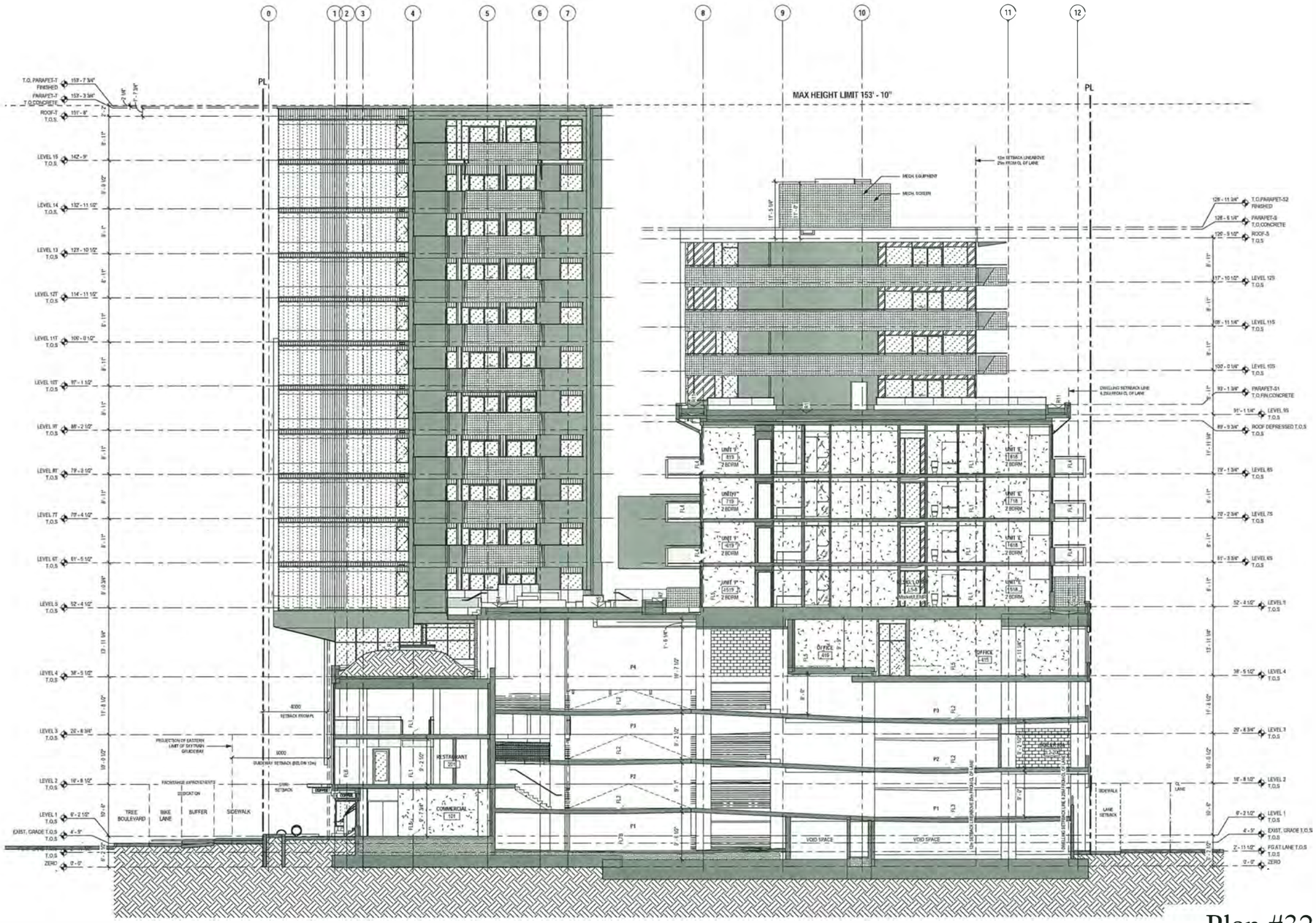
BENE GROUP DIALOG

Times Square
6680 / 6700 No. 3 Rd, Richmond

Section FF

Scale 1:150

A506 Dec 14, 2018



Plan #32 - 2018.12.18

DP 16-754761

BENE GROUP DIALOG

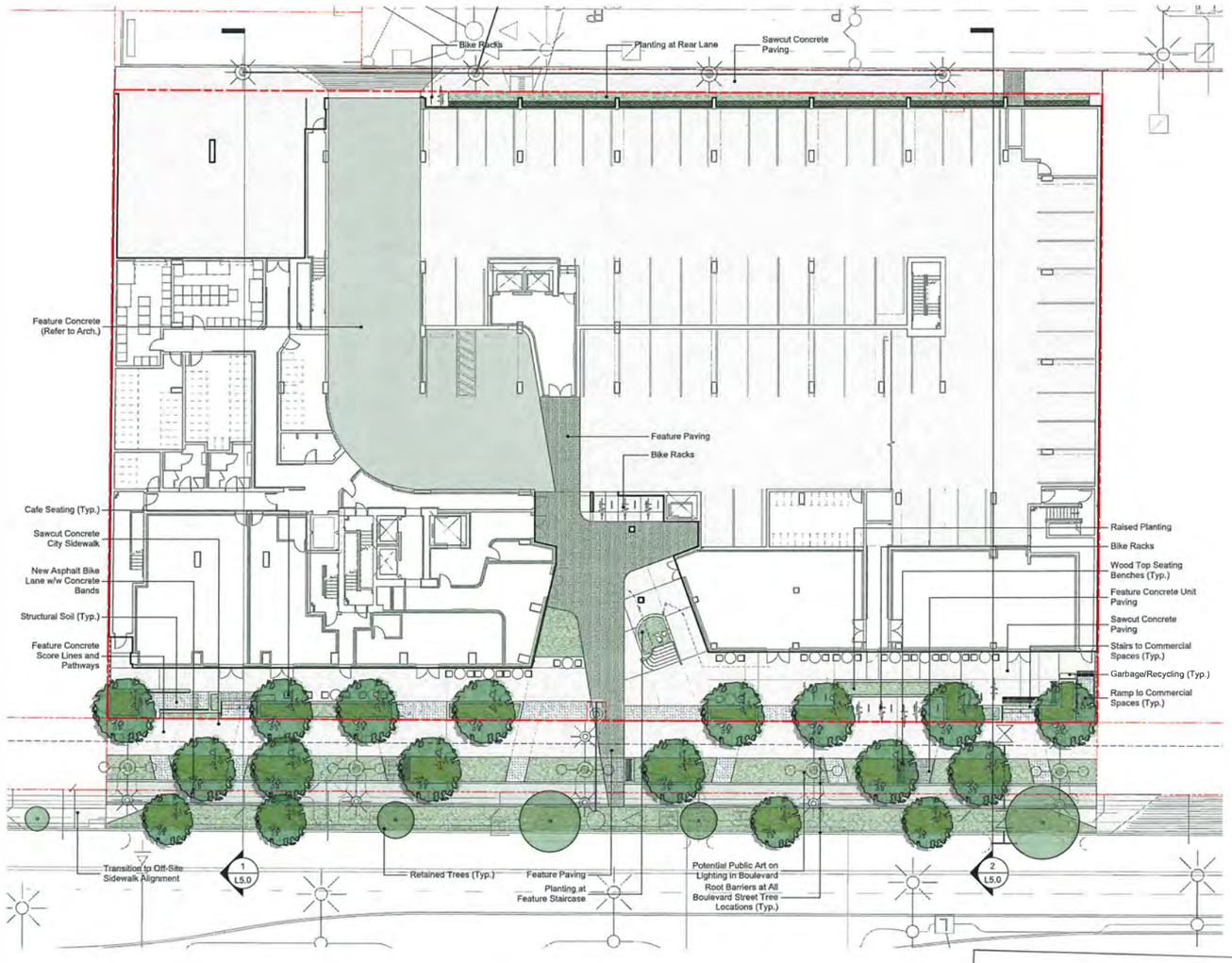
Times Square
6680 / 6700 No. 3 Rd, Richmond

Section GG

Scale 1:150

A507

Dec 14, 2018



Plan #33 - 2018.12.18

DP 16-754761

1 Level 01 Plan
1:200

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BENE GROUP

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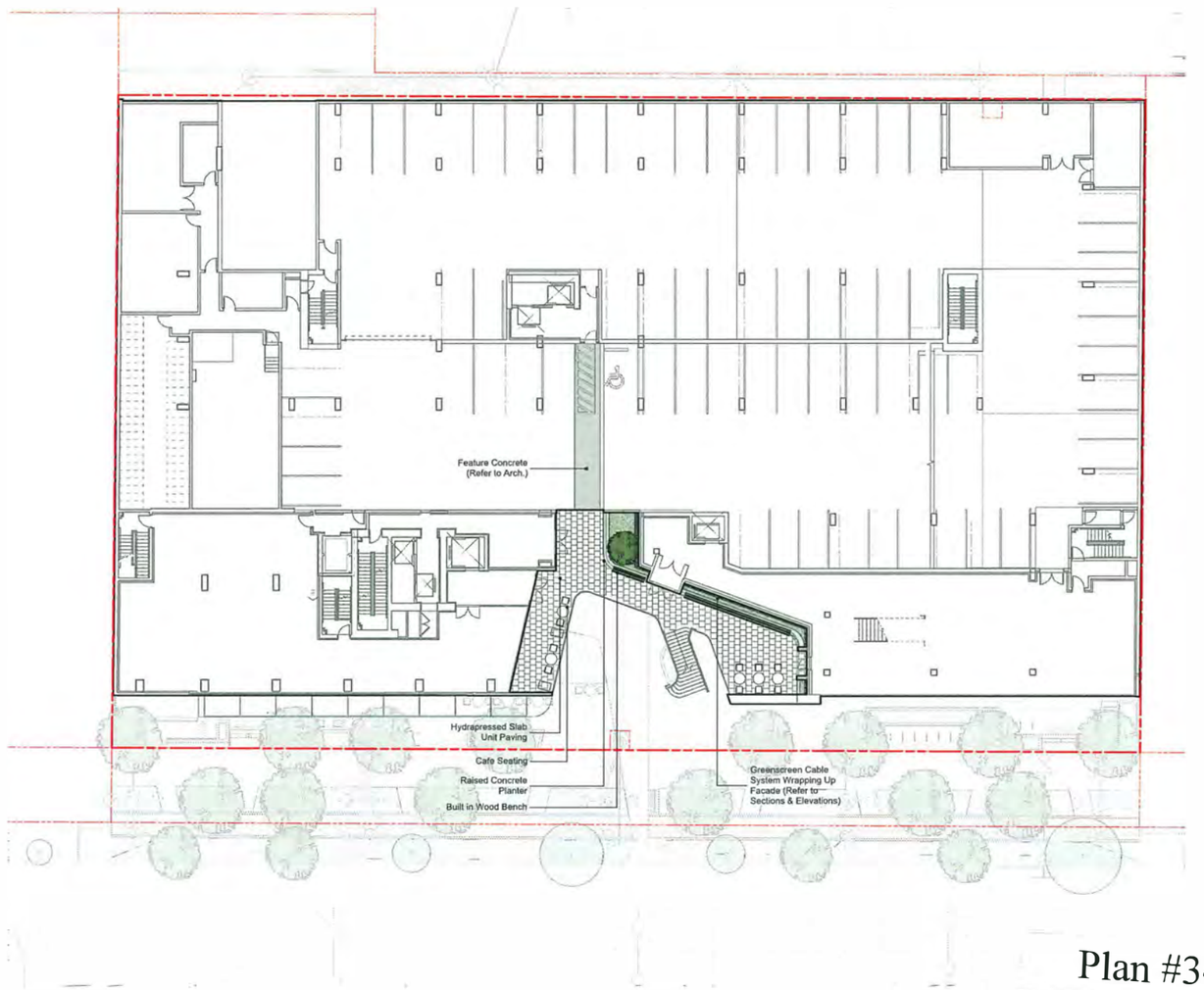
LANDSCAPE PLAN
LEVEL 1

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L1.0

PROJECT NORTH
TRUE NORTH

04286V



Plan #34 - 2018.12.18

DP 16-754761

1 Level 02 Plan
1:200

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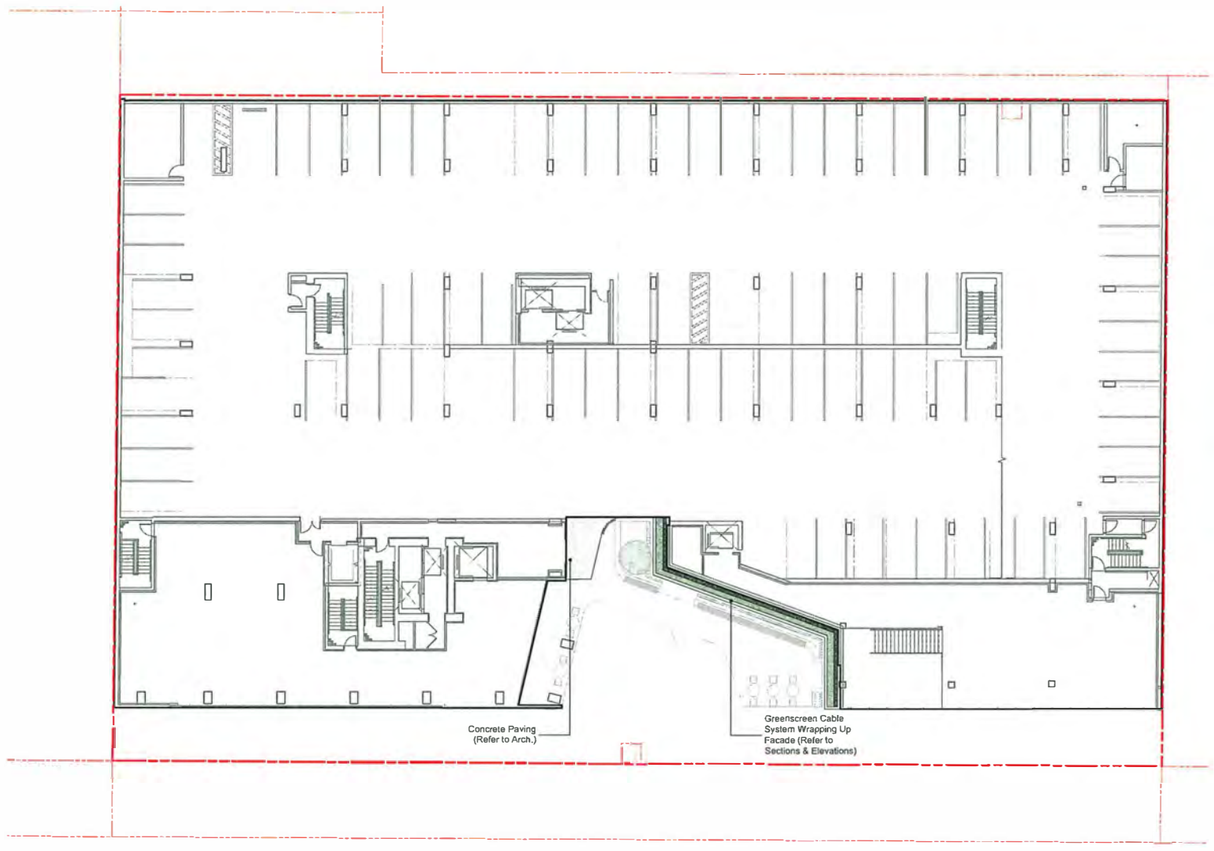
LANDSCAPE PLAN
LEVEL 2

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L1.1

PROJECT NORTH TRUE NORTH

04286V



Plan #35 - 2018.12.18

DP 16-754761

1 Level 03 Plan
1:200

DIALOG

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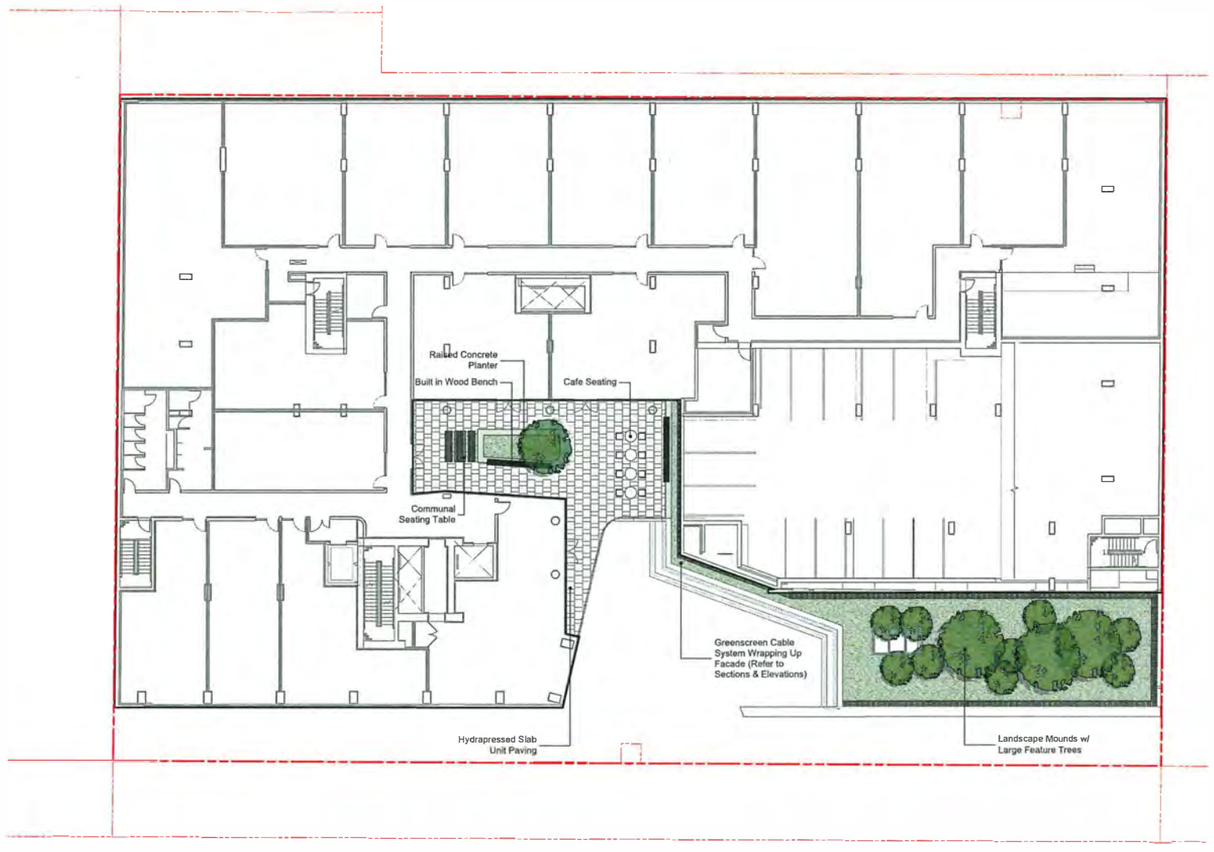
LANDSCAPE PLAN
LEVEL 3

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L1.2

PROJECT NORTH
TRUE NORTH

04286V



1 Level 04 Plan
1:200

DP 16-754761

Plan #36 - 2018.12.18

DIALOG

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LANDSCAPE PLAN
LEVEL 4

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L1.3

PROJECT NORTH TRUE NORTH

04286V

1 Level 05 Plan
1:200

DP 16-754761

Plan #37 - 2018.12.18

DIALOG

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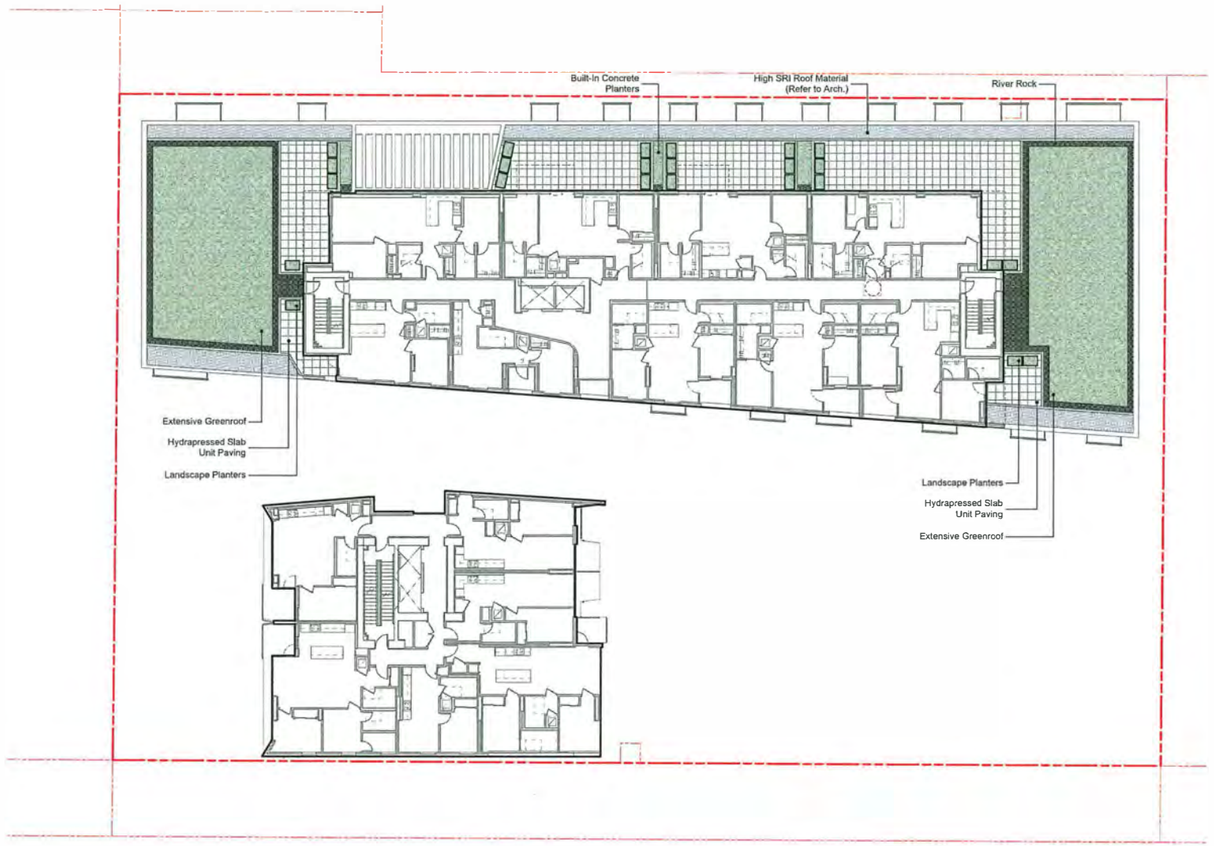
LANDSCAPE PLAN
LEVEL 5

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L1.4

PROJECT NORTH
TRUE NORTH

04286V



DP 16-754761

Plan #38 - 2018.12.18

1 Level 09 Plan
1:200

DIALOG

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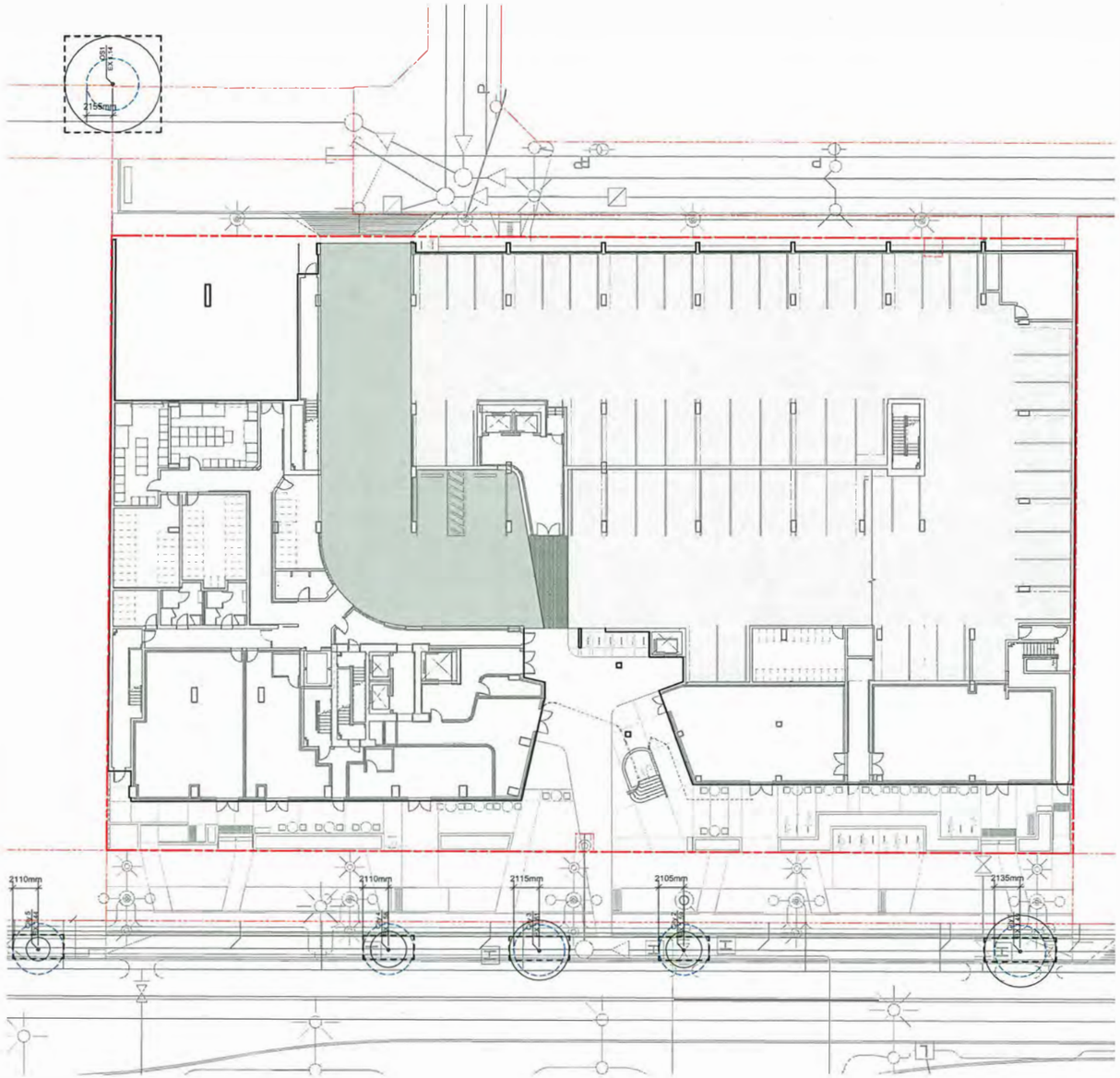
LANDSCAPE PLAN
LEVEL 9

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L1.5

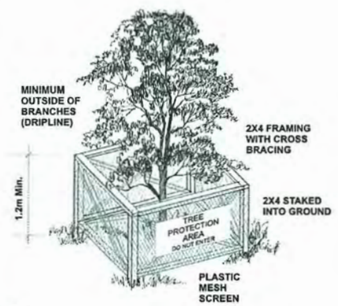
PROJECT NORTH TRUE NORTH

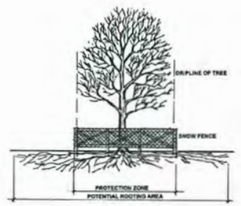
04286V



1 Level 01 Plan
1:200

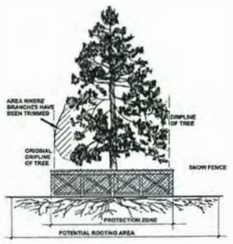
CITY OF RICHMOND STANDARD TREE PROTECTION DETAILS





TYPICAL DRIP LINE ON A TREE

NOTE:
WOOD FRAME CONSTRUCTION STAKED INTO THE GROUND IS REQUIRED.
(METAL FRAMING DOES NOT MEET CITY STANDARDS).



TYPICAL DRIP LINE ON A TREE WITH ONE SIDE PRUNED.

TREE TRUNK DIAMETER			DISTANCE FROM TRUNK		TOTAL DIAMETER	
cm	inches	feet	m	feet	m	feet
20	8	0.6	1.2	3.9	2.60	8.5
25	10	0.8	1.5	4.9	3.25	10.7
30	12	1.0	1.8	5.9	3.90	12.8
35	14	1.2	2.1	6.9	4.55	14.9
40	16	1.3	2.4	7.9	5.20	17.1
45	18	1.5	2.7	8.9	5.85	19.2
50	20	1.7	3.0	9.8	6.50	21.3
55	22	1.8	3.3	10.8	7.15	23.5
60	24	2.0	3.6	11.8	7.80	25.6
75	26	2.5	4.5	14.8	9.75	32.0
90	32	3.0	5.0	16.4	10.90	35.8
100	36	3.3	6.0	19.7	13.00	42.7

TREE PROTECTION TABLE
MINIMUM PROTECTION REQUIRED AROUND TREE

LEGEND

- Existing Tree to be Retained
- Existing Tree to be Removed
- Root Protection Zone
- Tree Protection Fencing
- City 1 / EX 1.00 — Tree Tag and Elevation

TREE PROTECTION NOTES

1. Tree protection fencing must be built standards shown here, or as listed in the Arborist Report. The dimensions shown are from the outer edge of the stem of the tree.

2. Tree protection zone shown is a graphic representation of the critical root zone, measured from the outer edge of the stem of the tree (1/2 the trees diameter was added to the graphical tree protection circles to accommodate the survey point being the center of the tree). Measurements as per the Arborist Report.

3. Any construction activities or grade changes within or adjacent to the root protection zone must be approved by the project Arborist: Diamond Head Consulting (604-773-4886).

DP 16-754761

Plan #39 - 2018.12.18

DIALOG

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TREE RETENTION PLAN

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L1.6

PROJECT NORTH TRUE NORTH

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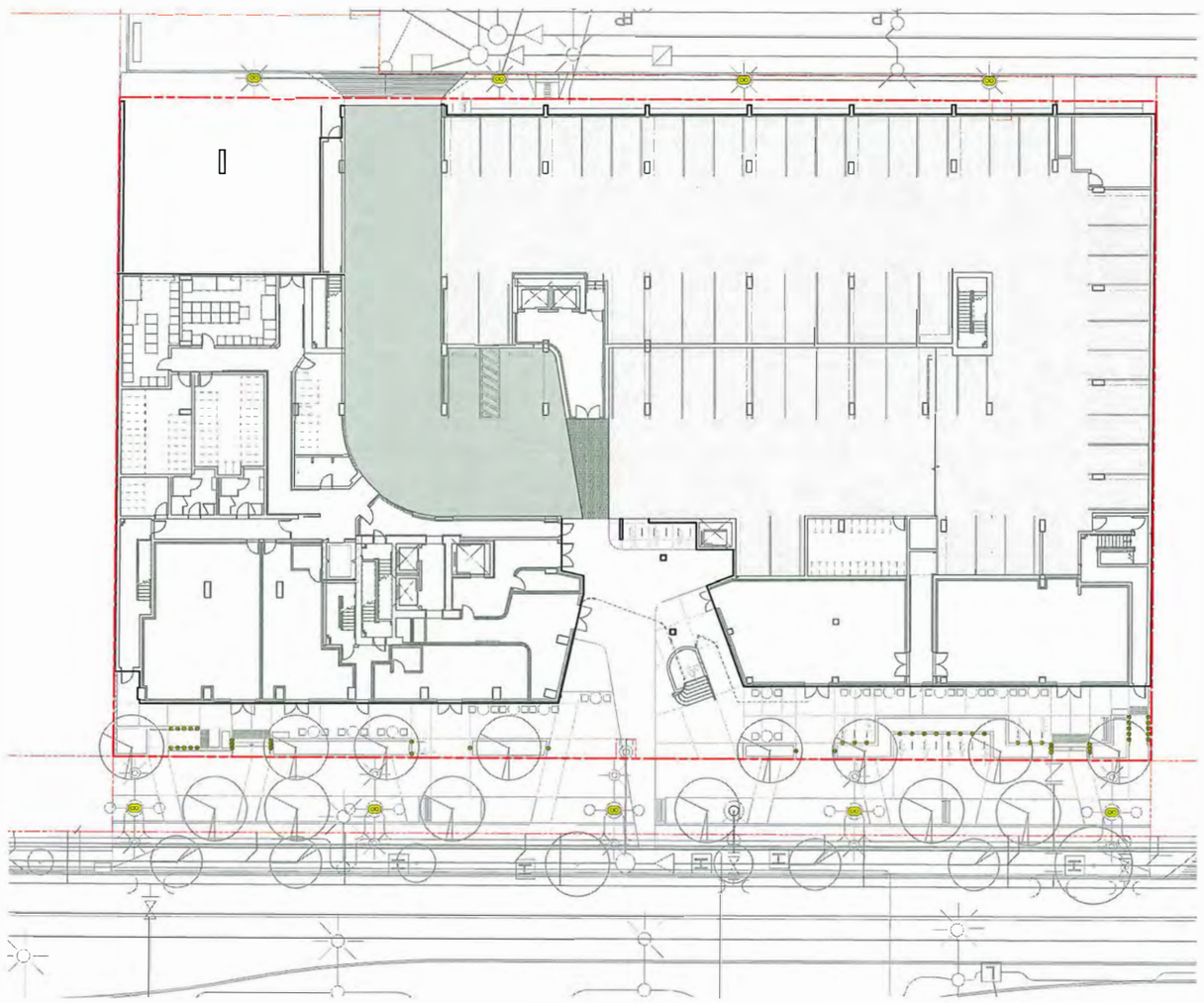

LIGHTING STRATEGY

The landscape lighting strategy for level 1 has been designed to compliment the urban design moves to date, as well as to allow for safety and CPTED requirements. Lighting in the public boulevard will be handled by Civil installed pedestrian lighting poles. These will both light the new bikelane and sidewalk, as well as provide a potential home for public art along No. 3 Road. On-site, low level landscape lights have been located at all stairs and ramps to allow for safe egress into and out of the building. Lighting is also proposed as a feature to highlight all bike rack locations, further strengthening the new moves along No. 3 road to encourage and build-out cycling infrastructure. These lights will all be coordinated in both style and materials with the building's lighting, and will complement the larger architectural lighting strategy.

ELECTRICAL EXTERIOR LIGHTING STRATEGY

Exterior lighting design will take into careful consideration factors that impact occupants, such as visual comfort, safety and security. Lighting will be coordinated with the Architect and Landscape Consultant to meet ASHRAE 90.1-2010 lighting power densities and comply with the project's lighting zone requirements. Exterior lighting is to be controlled by photocell and astronomical timeclock combination and will have the option to be regulated at night time to be either off or at a reduced level to increase energy savings. This can be achieved by incorporating lighting zones into the design. Full cut-off luminaires with efficient light sources and direct light downward where needed, e.g., pedestrian pathways, sidewalks and landscaped areas, are to be used.

LEGEND

- Step/Wall Light
- Linear LED Light
- Feature Light
- Pole Light (Refer to Civil)

NOTE: Refer to Architecture for all building lighting. Refer to Civil for all street lighting. This plan to be read as a concept lighting planonly; refer to Electrical for Lighting Plan. See Landscape Architectural details for information on integrating lighting into Landscape feature elements.

1 Level 01 Plan
1:200

Plan #40 - 2018.12.18

DIALOG

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CONCEPT LIGHTING PLAN LEVELS 1

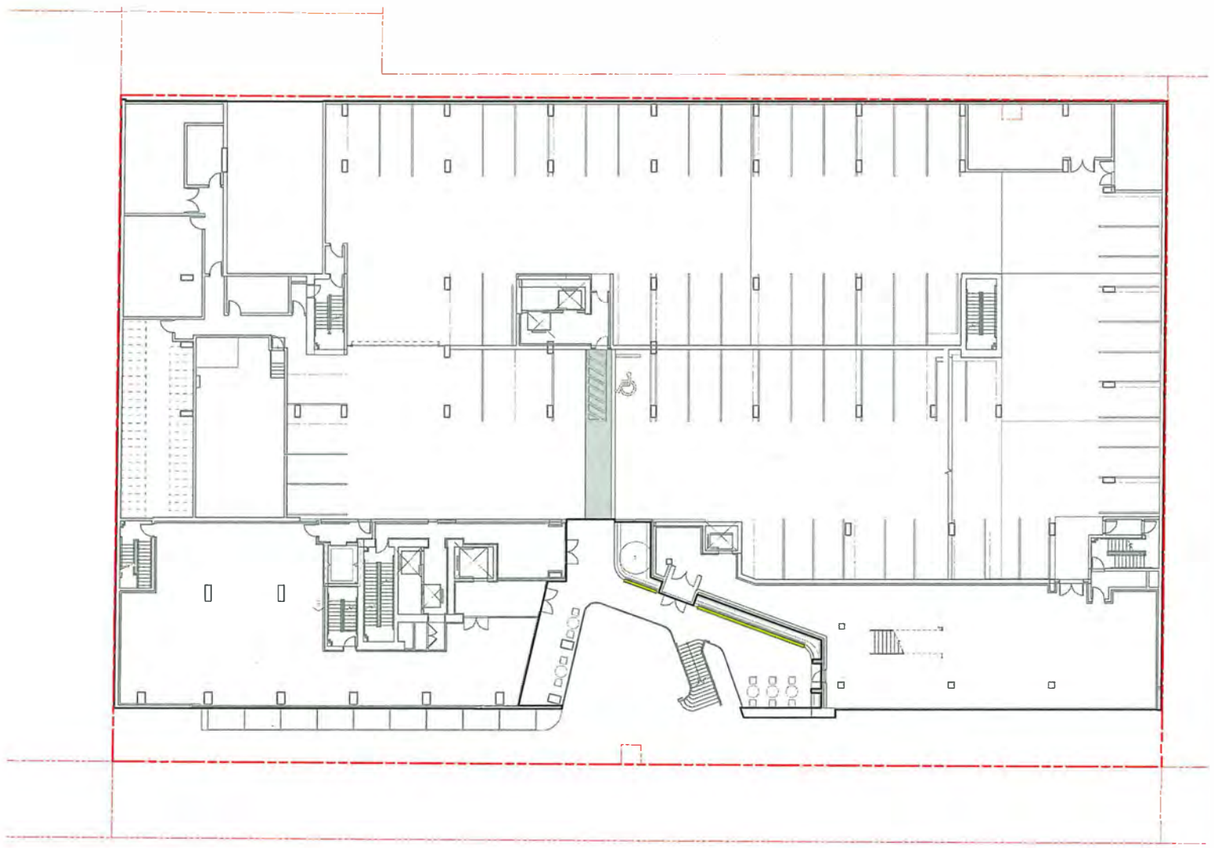
DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L1.7

PROJECT NORTH TRUE NORTH

04286V

DP 16-754761



DP 16-754761

Plan #41 - 2018.12.18

LEGEND

- Step/Wall Light
- Linear LED Light
- Feature Light
- Pole Light (Refer to Civil)

NOTE: Refer to Architecture for all building lighting. Refer to Civil for all street lighting. This plan to be read as a concept lighting plan only; refer to Electrical for Lighting Plan. See Landscape Architectural details for information on integrating lighting into Landscape feature elements.

1 Level 02 Plan
1:200

DIALOG

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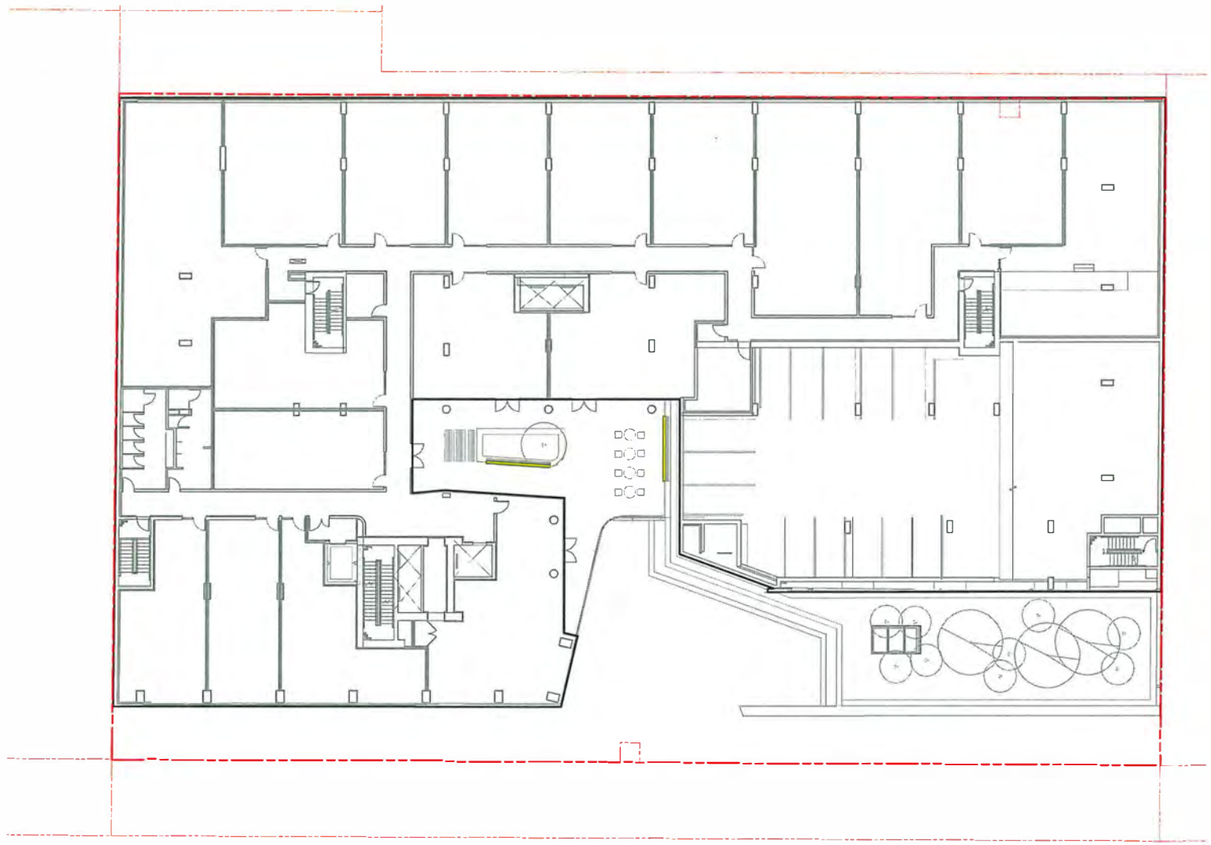
CONCEPT LIGHTING PLAN LEVEL 2

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L1.8

PROJECT NORTH
TRUE NORTH

04286V



DP 16-754761

LEGEND

- Step/Wall Light
- Linear LED Light
- Feature Light
- Pole Light (Refer to 6)-4)

NOTE: Refer to Architecture for all building lighting. Refer to Civil for all street lighting. This plan to be read as a concept lighting plan only; refer to Electrical for Lighting Plan. See Landscape Architectural details for information on integrating lighting into Landscape feature elements.

Plan #42 - 2018.12.18

1 Level 04 Plan
1:200

DIALOG

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CONCEPT LIGHTING PLAN LEVEL 4

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L1.9

PROJECT NORTH
TRUE NORTH

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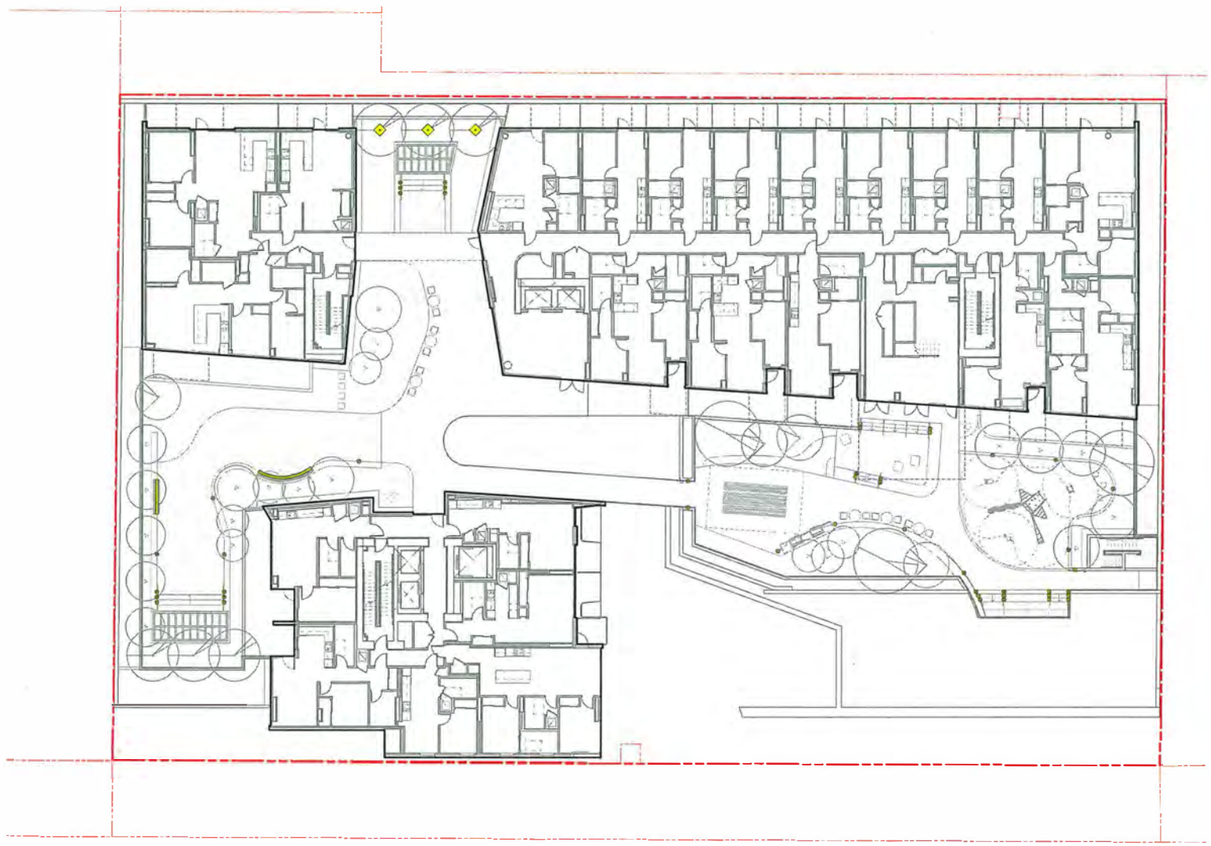

DP 16-754761

Plan #43 - 2018.12.18

LEGEND

- Step/Wall Light
- Linear LED Light
- Feature Light
- Pole Light (Refer to Civil)

NOTE: Refer to Architecture for all building lighting. Refer to Civil for all street lighting. This plan to be read as a concept lighting plan only; refer to Electrical for Lighting Plan. See Landscape Architectural details for information on integrating lighting into Landscape feature elements.

1 Level 05 Plan
1:200

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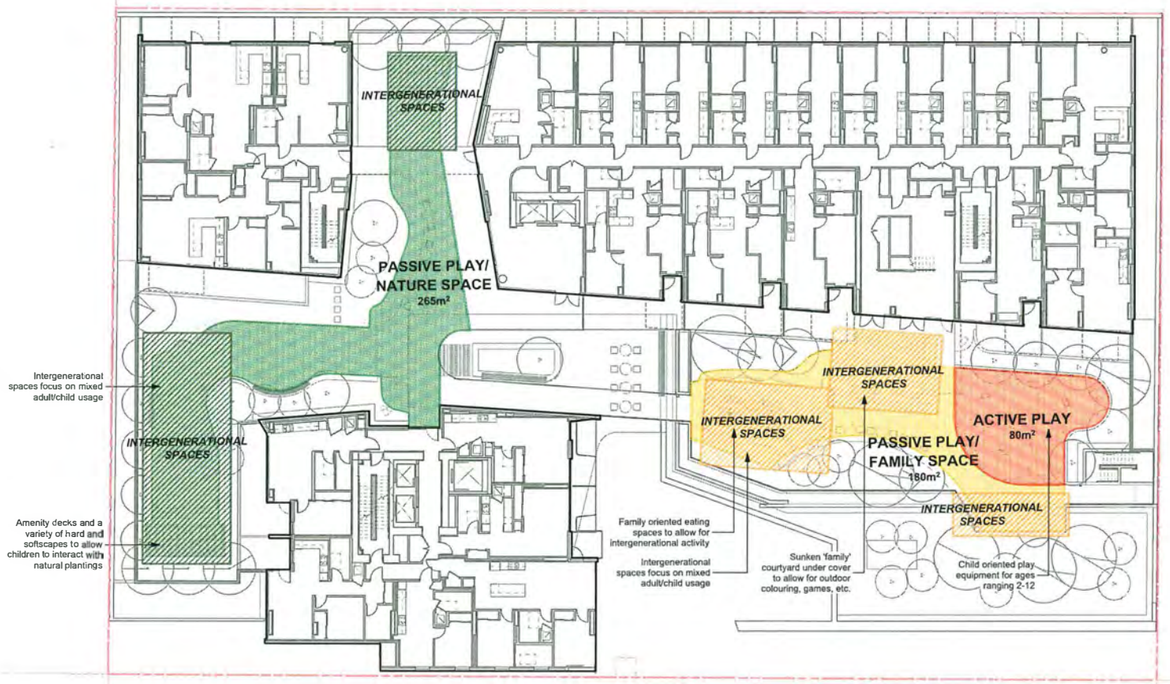
CONCEPT LIGHTING PLAN LEVEL 5

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L1.10

PROJECT NORTH TRUE NORTH

04286V



TOTAL CHILD SPACE - 525m²

ROOFTOP PLAY AREAS W/ SAFETY PLAY SURFACING

ACTIVE PLAY EQUIPMENT

FEATURES FOR YOUNGER CHILDREN

SEATING FOR FAMILIES & TEENS

INFORMAL SEATING OPTIONS

CLOSE PROXIMITY TO NATURE

PLAY STRATEGY

The play strategy for the project is focused on providing a variety of conventional play equipment for a range of age groups. The active play area on the fifth floor will include both a larger play structure aimed at children 5-12, as well as smaller features to accommodate ages 2-5. Having these adjacent to one another allows younger children to learn by watching the activities of their older peers. A space at the rear of the zone will include a table for younger children quieter use. The safety play surfacing will be a recycled rubber surface, to allow for proper fall requirements as well as to meet project sustainability goals.

In close proximity is also a second category of child space an outdoor family oriented space both under cover and out in the open to allow for quieter activities such as colouring, reading, and the sharing of meals. A series of seating options will allow for a variety of ways to inhabit the space. Lastly, the planting and use throughout the fifth floor amenity has been designed as a passive nature area. This will allow children into close proximity with a variety of vegetation, especially crucial for children in the city.

DP 16-754761

Plan #44 - 2018.12.18

1 Level 05 Childrens' Play Spaces
1:200

DIALOG

BENE GROUP

ISSUED FOR

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4	Dec. 14/18	Re-Issued for DP Application

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CONCEPT CHILDRENS' PLAY SPACE PLAN LEVEL 5

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L1.11

PROJECT NORTH TRUE NORTH

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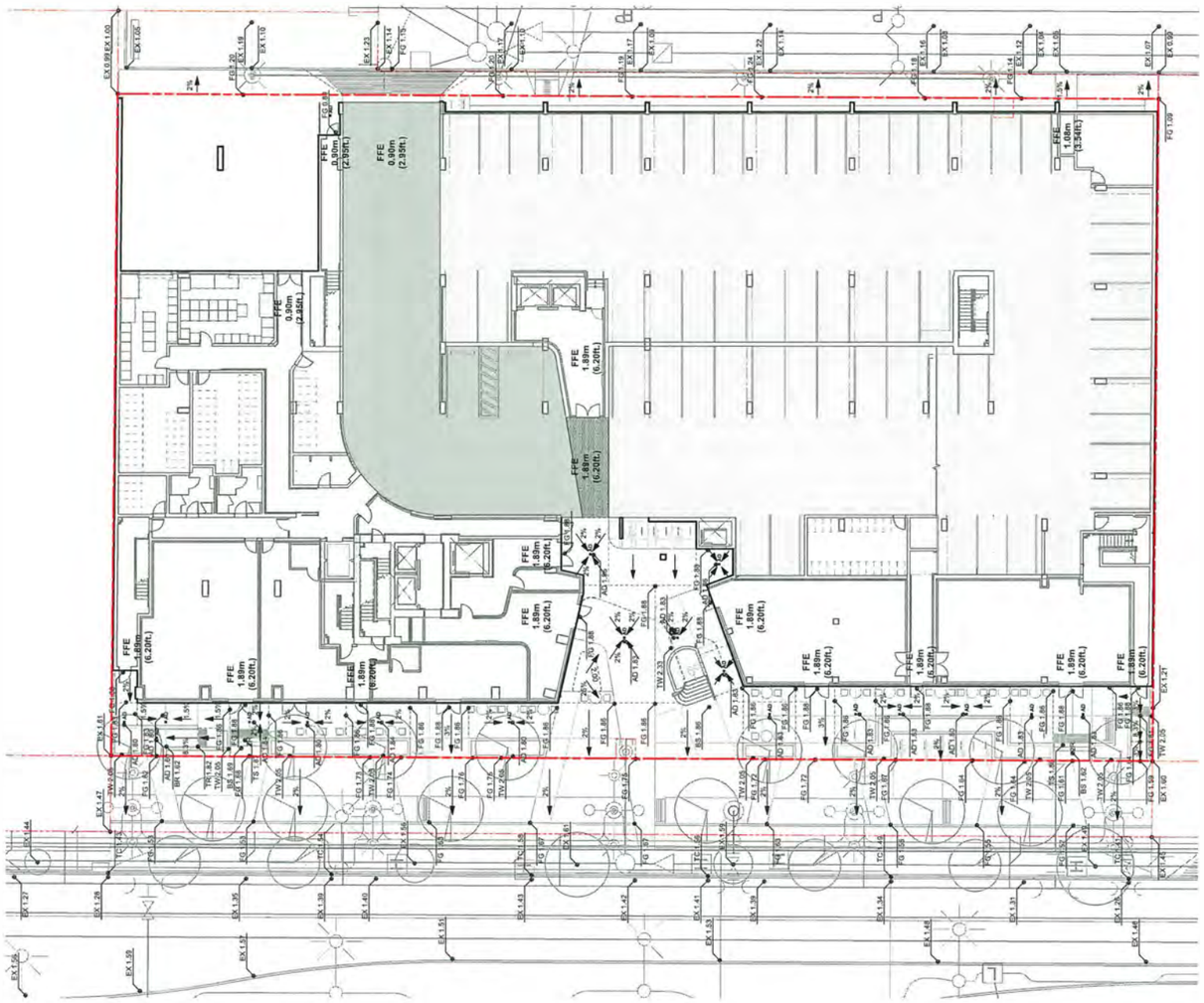

LEGEND

EX 1.00	Existing Grade	BS 1.00	Bottom of Stairs
FG 1.20	Proposed Grade	2%	Slope
TC 1.15	Top of Curb	FFE 1.89	Finished Floor Elevation
TW 1.45	Top of Wall	AD	Area Drain
BW 1.00	Bottom of Wall	PD	Planter Drain
TS 1.30	Top of Stairs		

1 Level 01 Plan
1:200

NOTE: Grading elevations shown in meters (metric format) for interface between first floor and civil works.

DP 16-754761

DIALOG

BENE GROUP

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GRADING PLAN
LEVEL 1

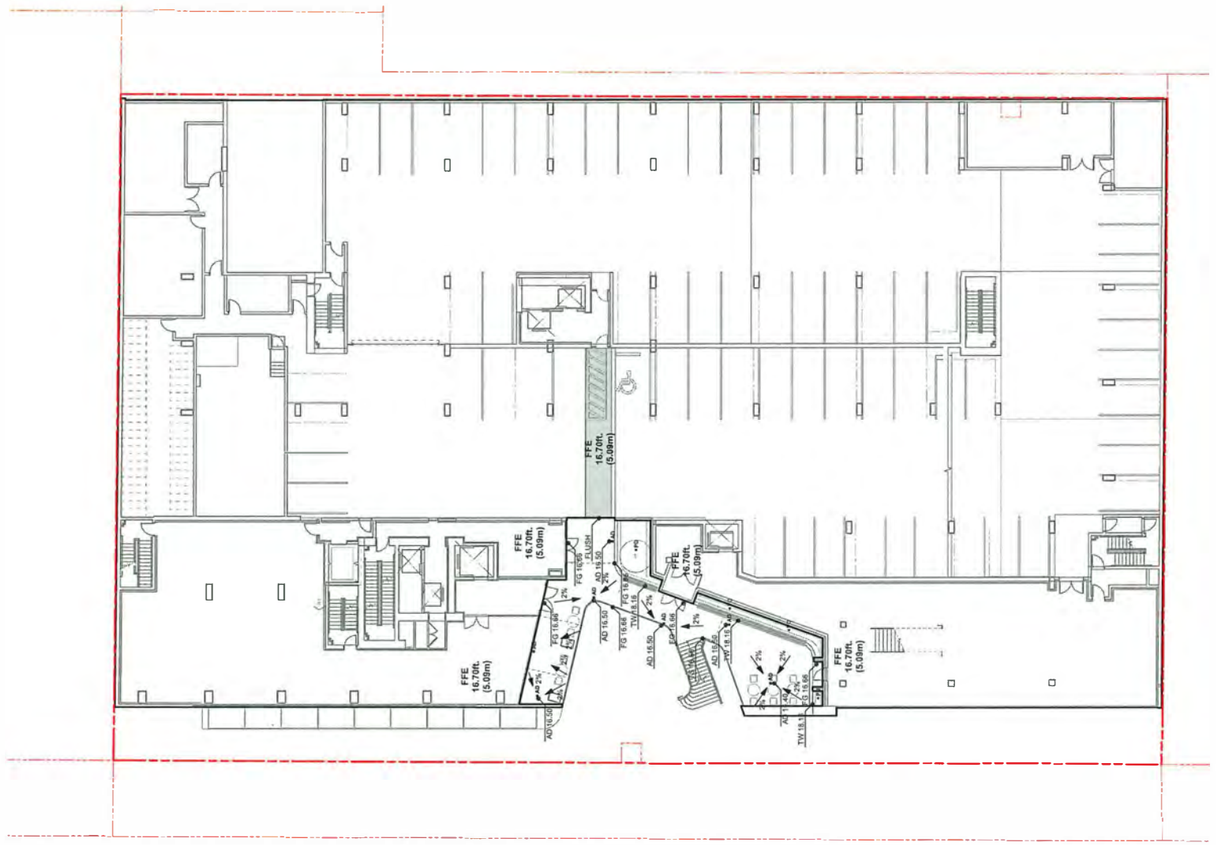
DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L2.0

PROJECT NORTH TRUE NORTH

04286V

Plan #45 - 2018.12.18



DP 16-754761

Plan #46 - 2018.12.18

LEGEND

EX 1.00	Existing Grade	BS 1.00	Bottom of Stairs
FG 1.20	Proposed Grade	2%	Slope
TC 1.15	Top of Curb	FFE 1.89	Finished Floor Elevation
TW 1.45	Top of Wall	AD	Area Drain
BW 1.00	Bottom of Wall	PD	Planter Drain
TS 1.30	Top of Stairs		

1 Level 02 Plan
1:200

NOTE: Grading elevations shown in feet (imperial format).

DIALOG

BENE GROUP

ISSUED FOR

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3	Dec. 5/18	Issued for BP Application
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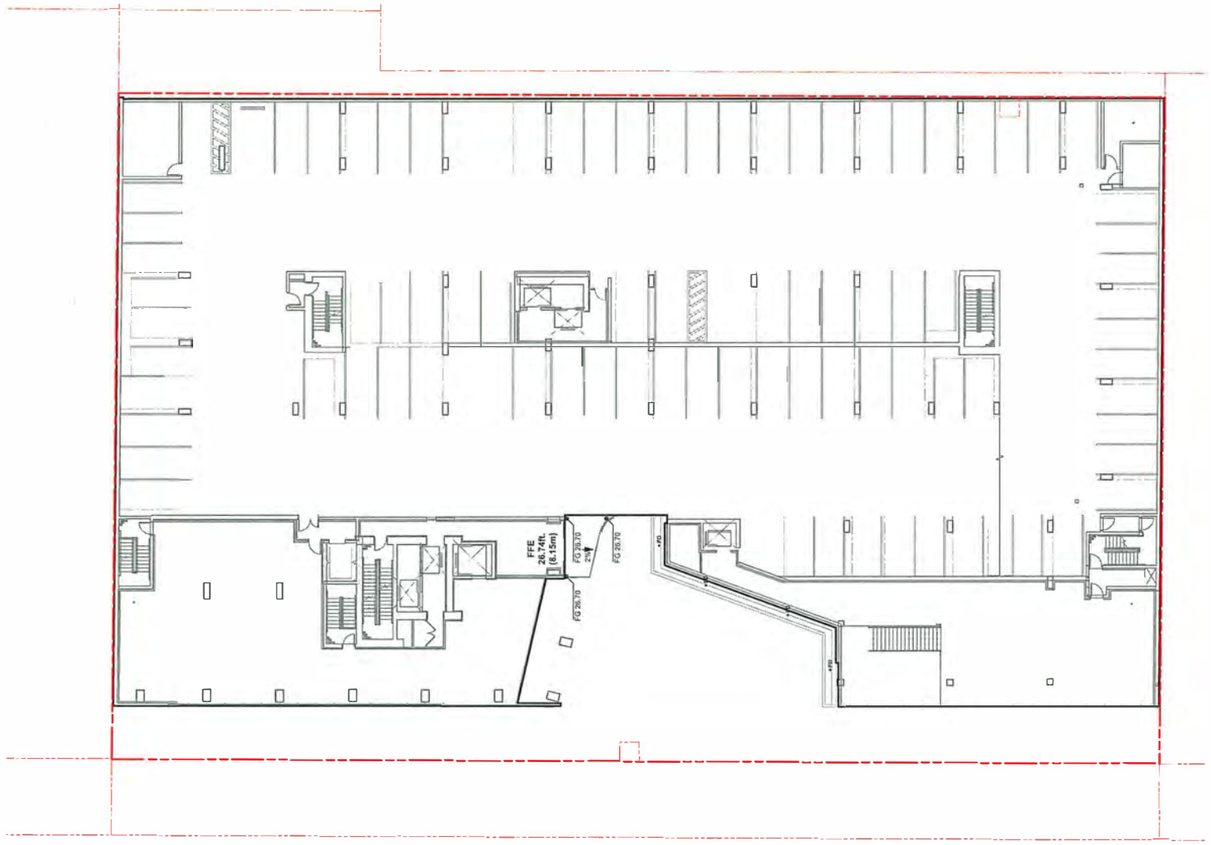
GRADING PLAN
LEVEL 2

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L2.1

PROJECT NORTH TRUE NORTH

04286V



DP 16-754761

Plan #47 - 2018.12.18

LEGEND

EX 1.00	Existing Grade	BS 1.00	Bottom of Stairs
FG 1.20	Proposed Grade	2%	Slope
TC 1.15	Top of Curb	FFE 1.89	Finished Floor Elevation
TW 1.45	Top of Wall	AD	Area Drain
BW 1.00	Bottom of Wall	PD	Planter Drain
TS 1.30	Top of Stairs		

1 Level 03 Plan
1:200

NOTE: Grading elevations shown in feet (imperial format).

DIALOG

BENE GROUP

ISSUED FOR

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4	Dec. 14/18	Re-Issued for DP Application

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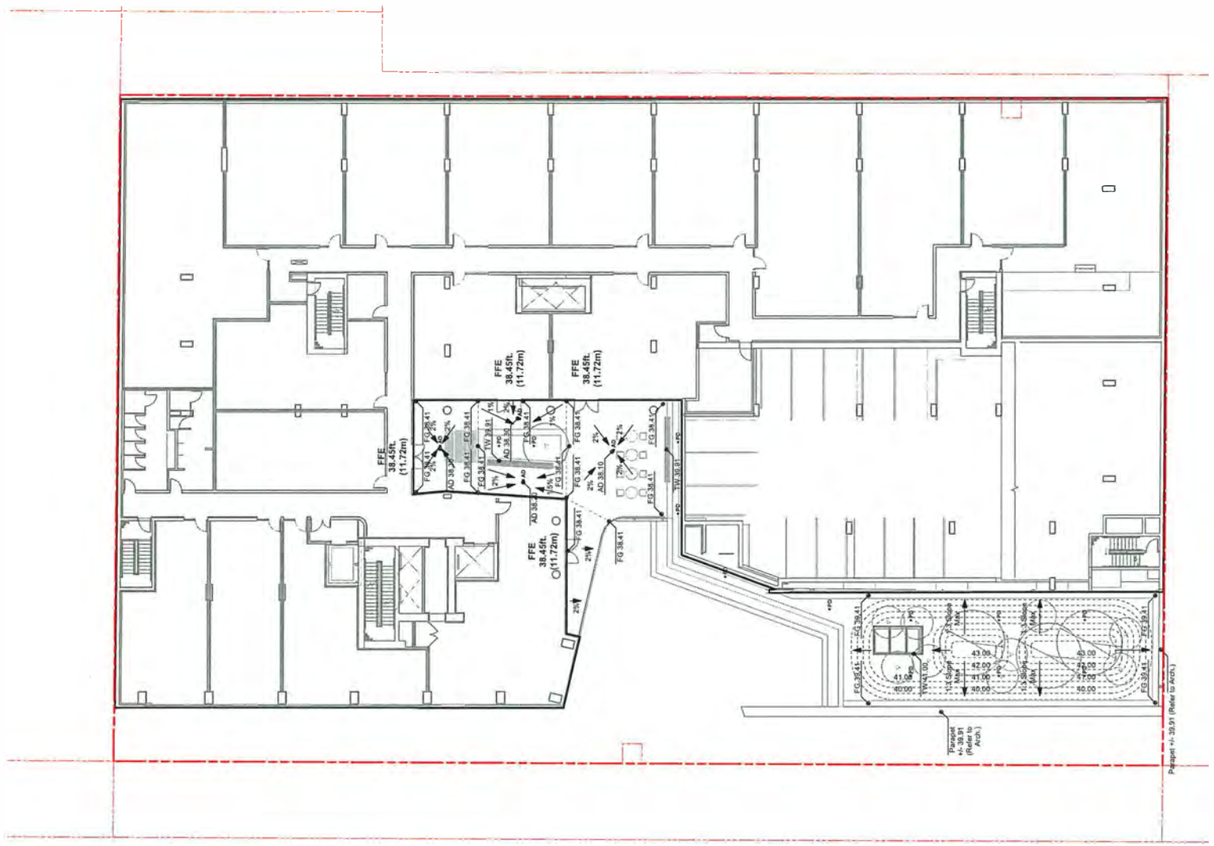
GRADING PLAN
LEVEL 3

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L2.2

PROJECT NORTH
TRUE NORTH

04286V



DP 16-754761

Plan #48 - 2018.12.18

LEGEND

EX 1.00	Existing Grade	BS 1.00	Bottom of Stairs
FG 1.20	Proposed Grade	2%	Slope
TC 1.15	Top of Curb	FFE 1.89	Finished Floor Elevation
TW 1.45	Top of Wall	AD	Area Drain
BW 1.00	Bottom of Wall	PD	Planter Drain
TS 1.30	Top of Stairs		

1 Level 04 Plan
1:200

NOTE: Grading elevations shown in feet (imperial format).

DIALOG

BENE GROUP

ISSUED FOR

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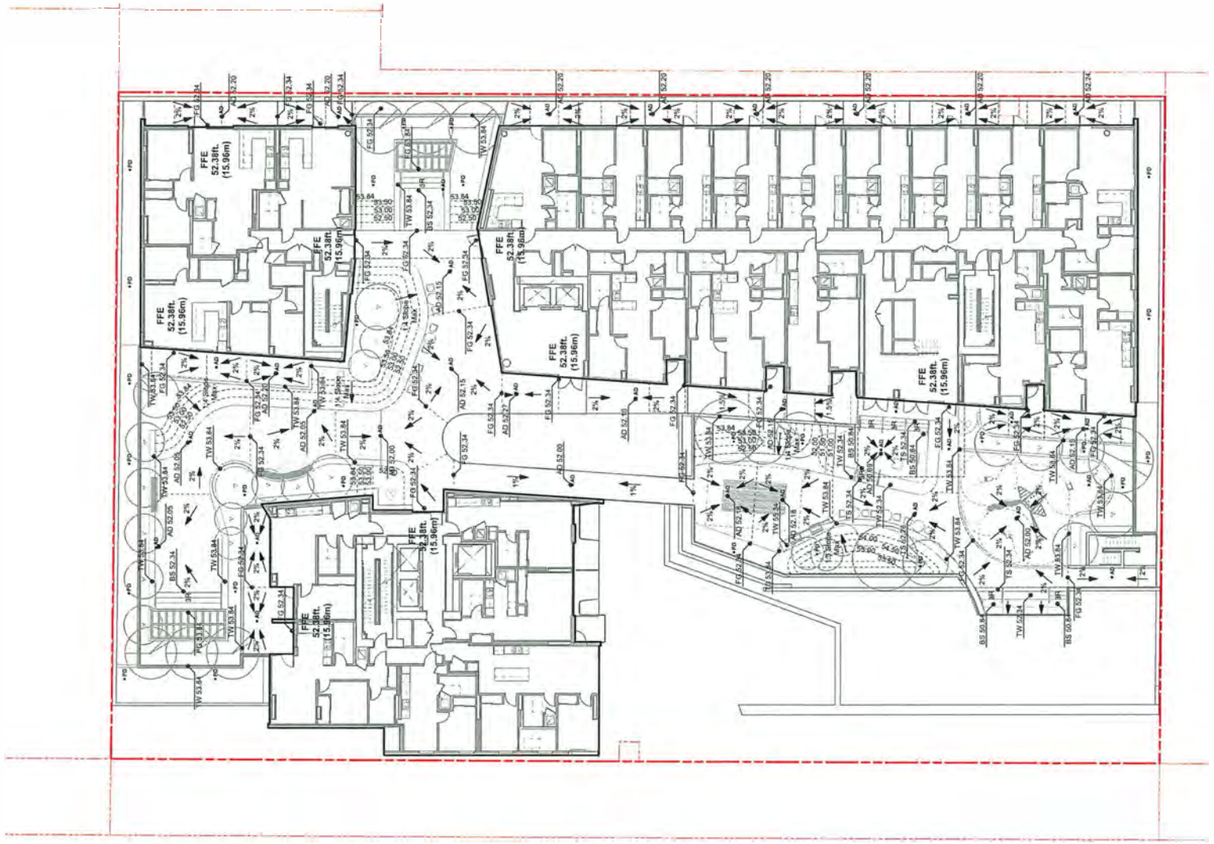
GRADING PLAN
LEVEL 4

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L2.3

PROJECT NORTH TRUE NORTH

04286V



DP 16-754761

Plan #49 - 2018.12.18

LEGEND

EX 1.00	Existing Grade	BS 1.00	Bottom of Stairs
FG 1.20	Proposed Grade	2%	Slope
TC 1.15	Top of Curb	FFE 1.89	Finished Floor Elevation
TW 1.45	Top of Wall	AD	Area Drain
BW 1.00	Bottom of Wall	PD	Planter Drain
TS 1.30	Top of Stairs		

1 Level 05 Plan
1:200

NOTE: Grading elevations shown in feet (imperial format).

DIALOG

BENE GROUP

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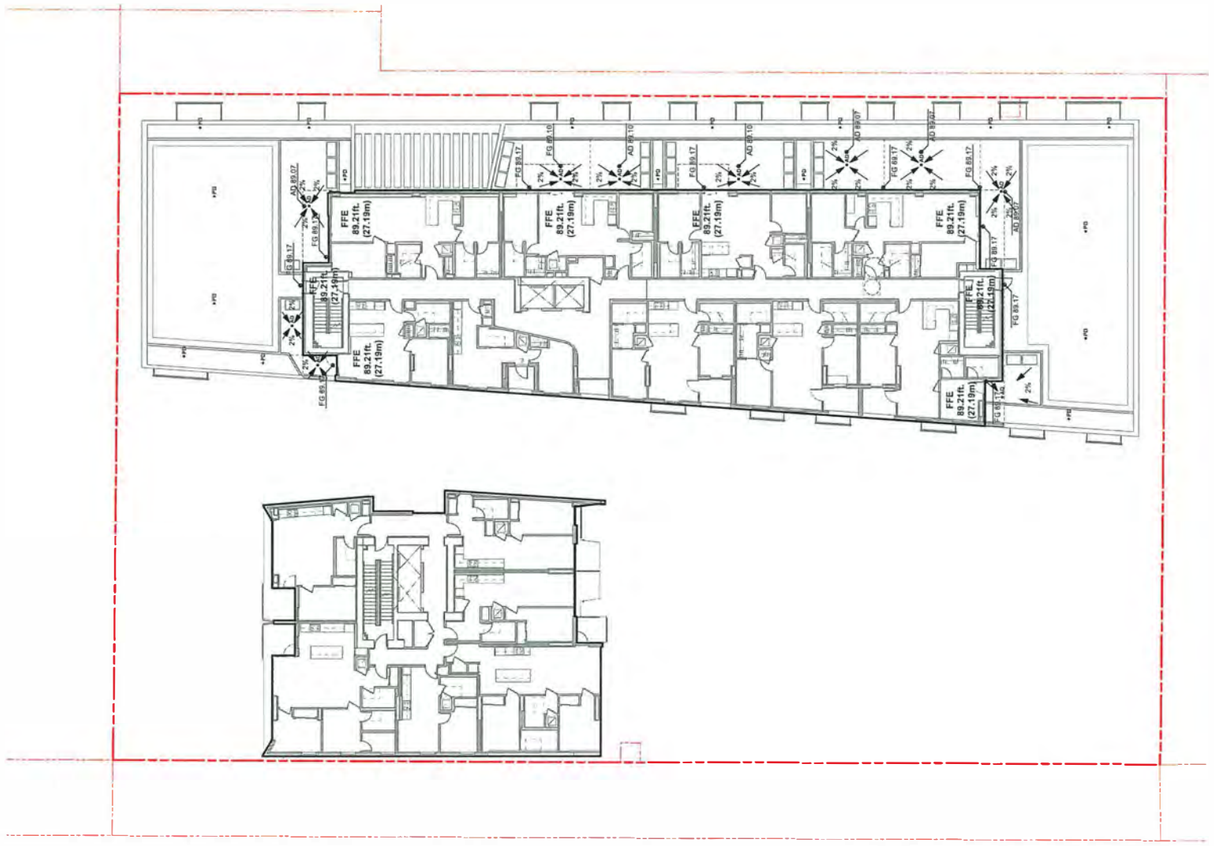
GRADING PLAN
LEVEL 5

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L2.4

PROJECT NORTH TRUE NORTH

04286V



DP 16-754761

Plan #50 - 2018.12.18

LEGEND

EX 1.00	Existing Grade	BS 1.00	Bottom of Stairs
FG 1.20	Proposed Grade	2%	Slope
TC 1.15	Top of Curb	FFE 1.89	Finished Floor Elevation
TW 1.45	Top of Wall	AD	Area Drain
BW 1.00	Bottom of Wall	PD	Planter Drain
TS 1.30	Top of Stairs		

1 Level 09 Plan
1:200

NOTE: Grading elevations shown in feet (imperial format).

DIALOG

BENE GROUP

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GRADING PLAN
LEVEL 9

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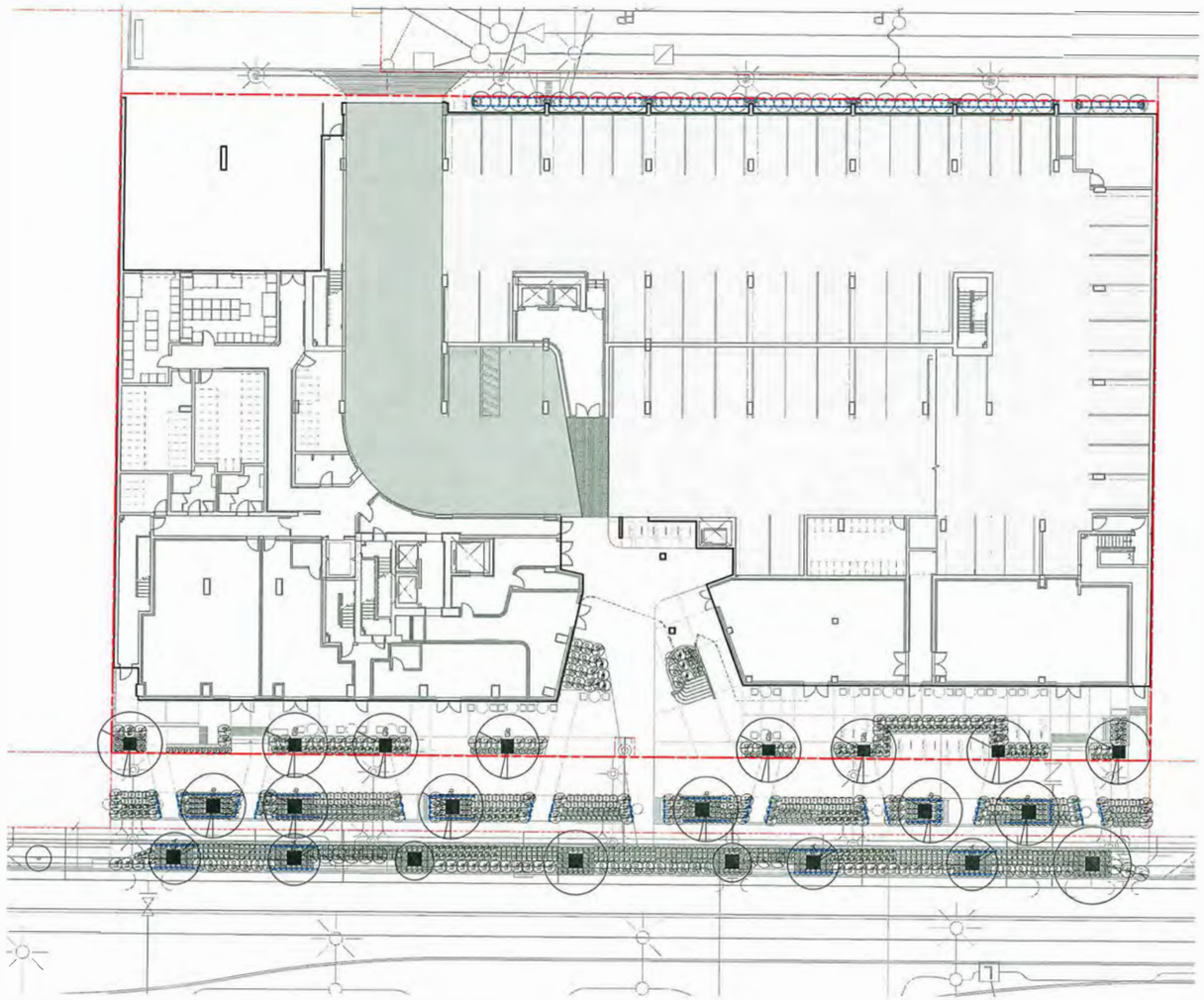
PLOT DATE: 12/14/2018

L2.5

PROJECT NORTH TRUE NORTH

04286V



DP 16-754761

Plan #51 - 2018.12.18

1 Level 01 Plan
1:200

DIALOG®

BENE® GROUP

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PLANTING PLAN
LEVEL 1

DRAWN: JG
PLOT DATE: 12/14/2018
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L3.0

PROJECT NORTH
TRUE NORTH

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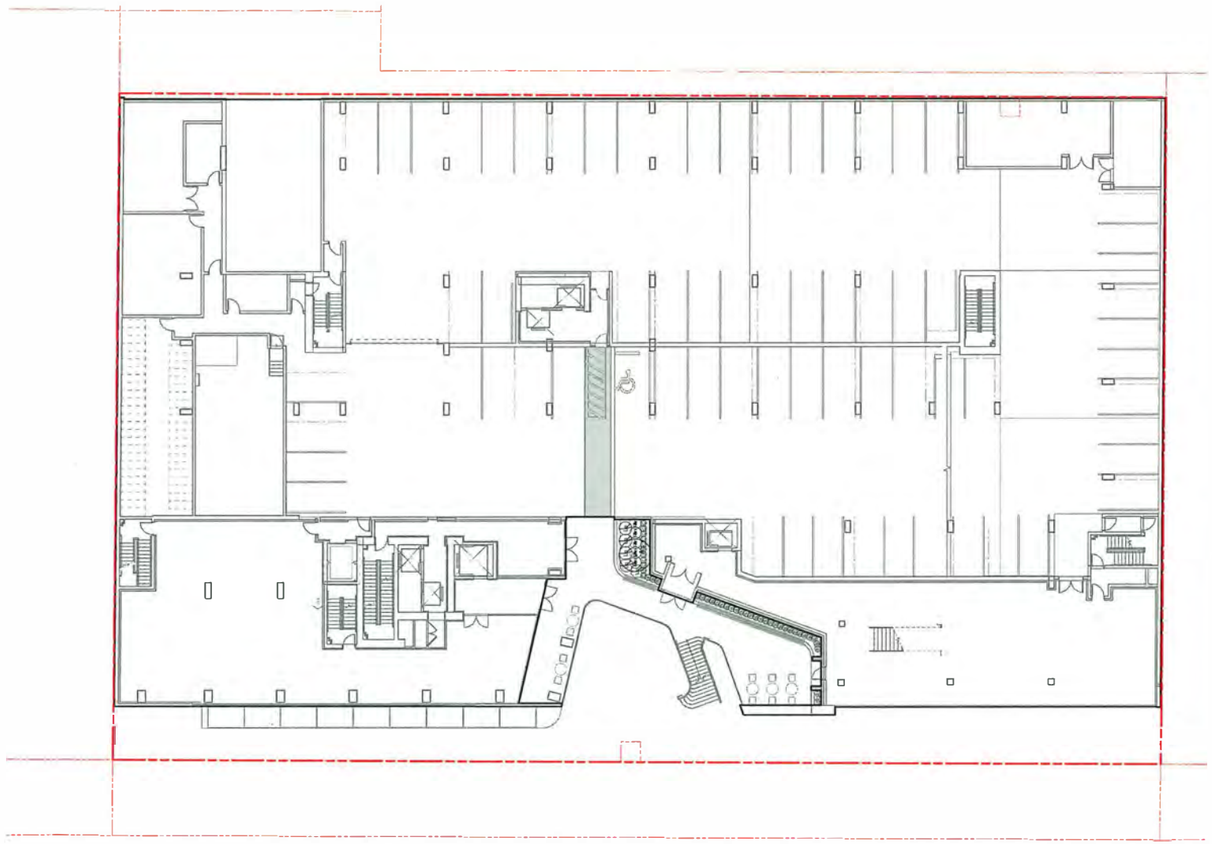

1 Level 02 Plan
1:200

DP 16-754761

Plan #52 - 2018.12.18

DIALOG

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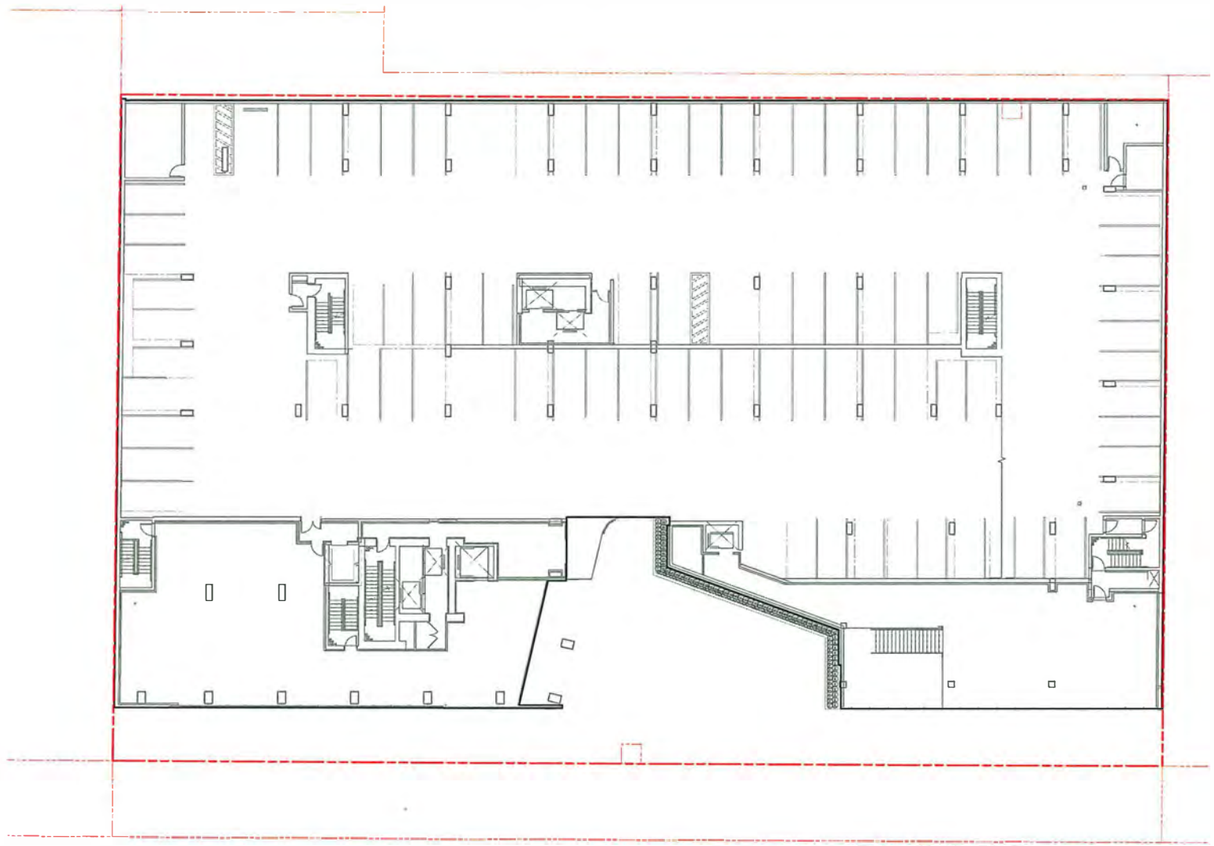
PLANTING PLAN
LEVEL 2

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L3.1

PROJECT NORTH
TRUE NORTH

04286V



DP 16-754761

Plan #53 - 2018.12.18

1 Level 03 Plan
1:200

DIALOG

BENE GROUP

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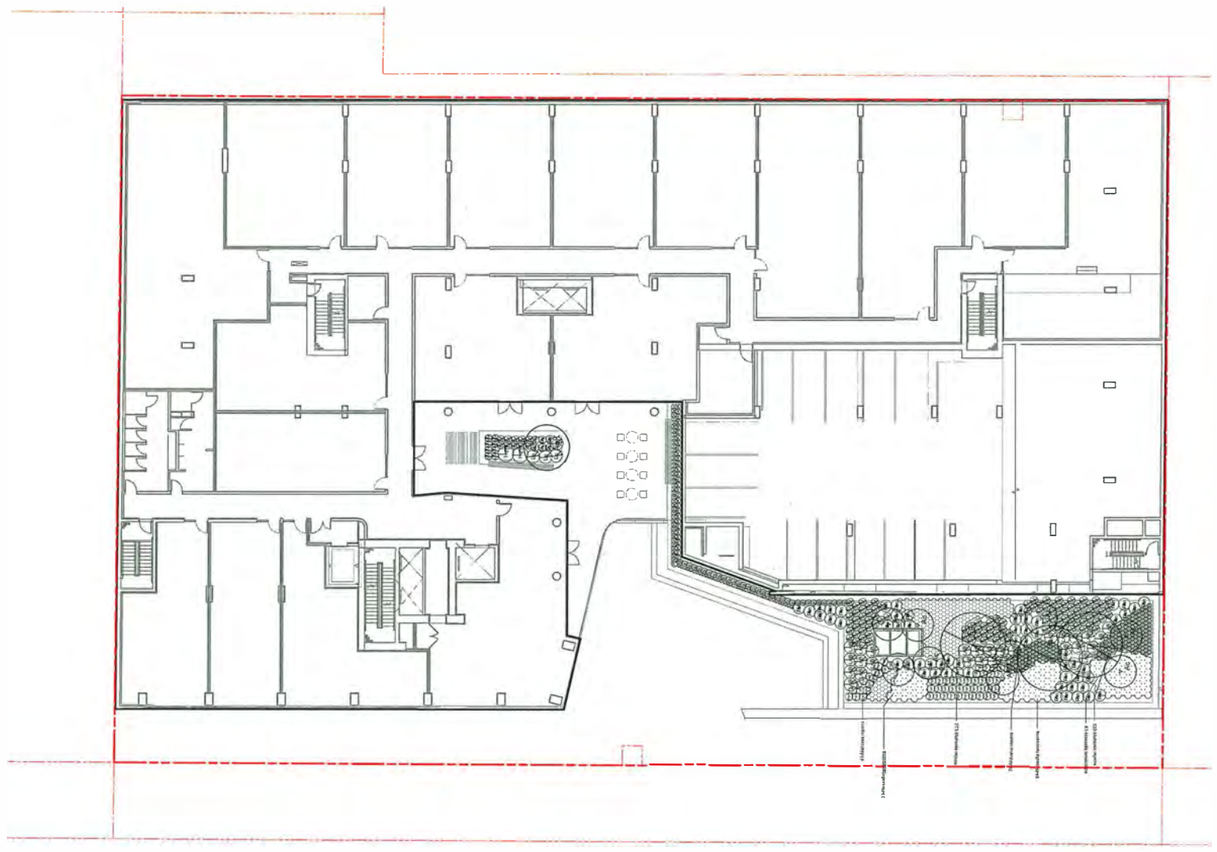
PLANTING PLAN
LEVEL 3

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L3.2

PROJECT NORTH
TRUE NORTH

04286V



DP 16-754761

Plan #54 - 2018.12.18

1 Level 04 Plan
1:200

DIALOG

BENE GROUP

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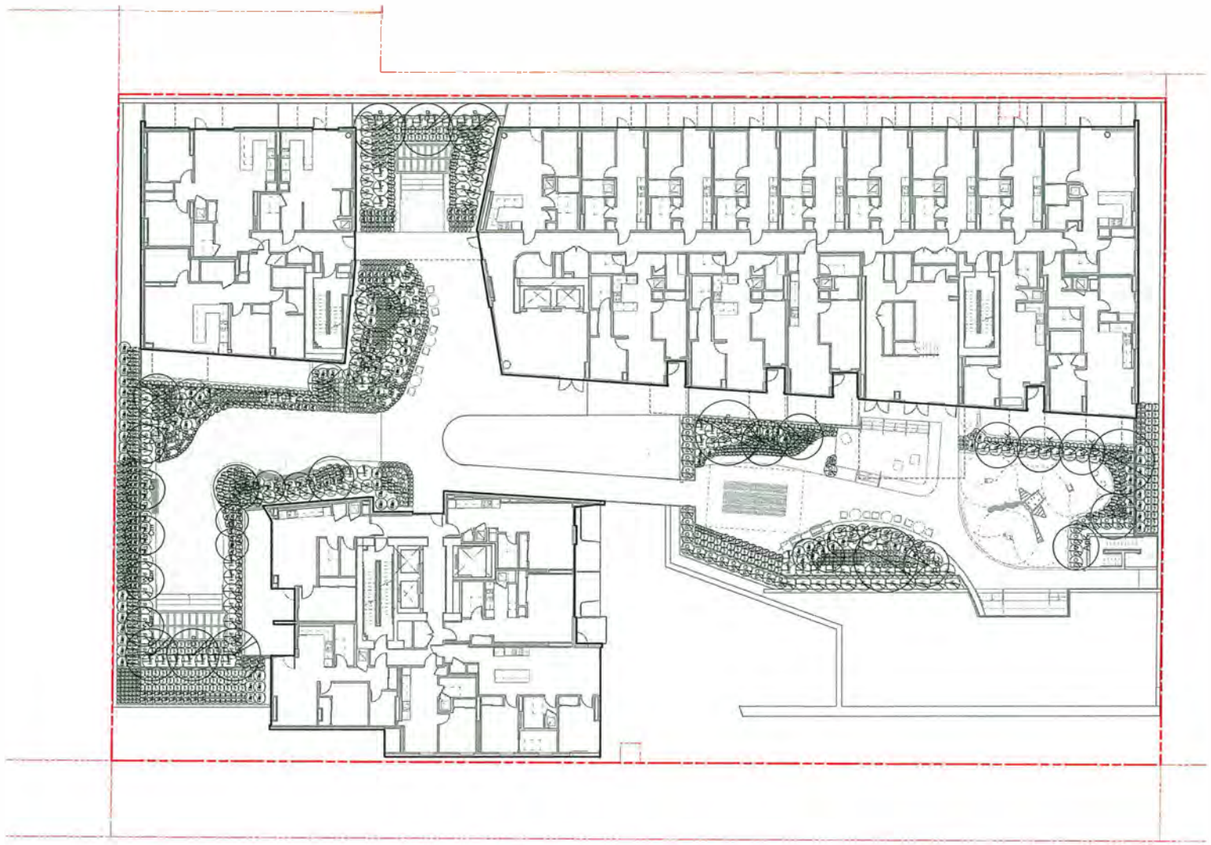
PLANTING PLAN
LEVEL 4

DRAWN: JG
PLOT DATE: 12/14/2018
CHECKED: MT

L3.3

PROJECT NORTH
TRUE NORTH

04286V



DP 16-754761

Plan #55 - 2018.12.18

1 Level 05 Plan
1:200

DIALOG

BENE GROUP

ISSUED FOR

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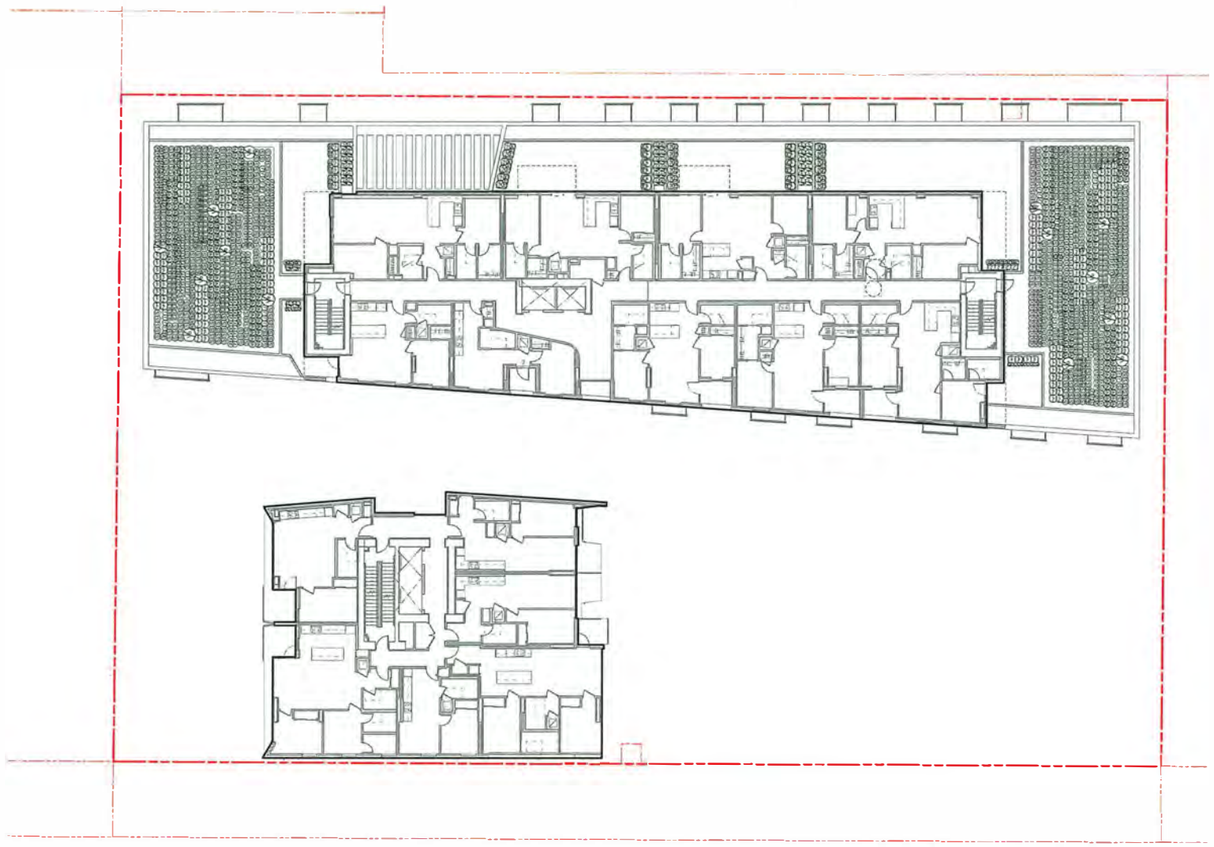
PLANTING PLAN
LEVEL 5

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L3.4

PROJECT NORTH TRUE NORTH

04286V



1 Level 09 Plan
1:200

DP 16-754761

Plan #56 - 2018.12.18

DIALOG

BENE GROUP

ISSUED FOR

1	July 4/18	Issued for ADP/DP Application
2	Sep. 26/18	Re-Issued for DP Application
3	Dec. 5/18	Issued for BP Application
4	Dec. 14/18	Re-Issued for DP Application

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DIALOG BC ARCHITECTURE ENGINEERING INTERIOR DESIGN PLANNING INC.
406 - 611 ALEXANDER STREET,
VANCOUVER, BC. V6A 1E1
Tel: (604) 255-1169 Fax: (604) 255-1790

SEAL

Times Square -
6680/6700 No. 3 Rd

6680 & 6700 No. 3 Road, Richmond, BC, V6Y 2C3

PLANTING PLAN
LEVEL 9

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L3.5

PROJECT NORTH TRUE NORTH

04286V

Plant List (On-Site & Off-Site)

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Trees					
ArA	4	*Acer × freemanii 'Armstrong'*	Armstrong maple	8cm Cal.	Syn. Acer rubrum 'Armstrong'
Ac	19	*Acer circinatum*	Vine maple	6cm Cal. (Multi-Stem)	
ApK	9	*Acer palmatum 'Katsura'*	'Katsura' Japanese maple	6cm Cal. (Multi-Stem)	
Cjp	6	*Carpinus japonica*	Japanese hornbeam	6cm Cal.	
Cm	5	*Cornus mas*	Cornelian Cherry	6cm Cal. (Multi-Stem)	
Gb	14	*Ginkgo biloba 'Autumn Gold'*	'Autumn Gold' Maidenhair Tree	8cm Cal.	
PcC	4	*Pinus contorta var. contorta*	Shore Pine	2m Height	
Zs	6	*Zelkova serrata 'Green Vase'*	'Green Vase' Zelkova	8cm Cal.	
Shrubs					
Ct	3	*Choisya ternata*	Mexican mock orange	#5	
Gs	93	*Gaultheria shallon*	Salal	#3	
Hm	2	*Hamamelis x intermedia 'Arnold Promise'*	'Arnold Promise' Witch hazel	#5	
Hq	39	*Hydrangea quercifolia 'Snow Queen'*	'Snow Queen' Oakleaf hydrangea	#5	
IcC	63	*Ilex crenata 'Convexa'*	'Convexa' Japanese holly	#5	Keep clipped to a low hedge
La	145	*Lavandula angustifolia 'Munstead'*	'Munstead' lavender	#3	
LnB	106	*Lonicera nitida 'Baggesen's Gold'*	Golden boxleaf honeysuckle	#5	
Lp	45	*Lonicera pileata*	Boxleaf honeysuckle	#5	
Mn	9	*Mahonia nervosa*	Cascade Oregon grape	#5	
M	708	*Mahonia repens*	Creeping mahonia	#1	
Pi	33	*Pinus mugo var. pumilio*	Dwarf mugo pine	#5	
PlO	62	*Prunus laurocerasus 'Otto Luyken'*	'Otto Luyken' English laurel	#5	
RG	25	*Rhododendron 'Gumpo White'*	'Gumpo White' Azalea	#5	
Sr	196	*Sarcococca ruscifolia*	Fragrant sweet box	#5	
Vo	56	*Vaccinium ovatum*	Evergreen Huckleberry	#5	
Vd	21	*Viburnum davidii*	David's viburnum	#5	
Perennial, Grasses, Groundcovers, Ferns					
Y	132	*Achillea x 'Moonshine'*	'Moonshine' yarrow	#1	
Ao	276	*Acorus gramineus 'Ogon'*	Golden variegated sweet flag	#3	
C	11	*Clematis armandii 'Snowdrift'*	'Snowdrift' evergreen clematis	#5	
E	333	*Echinacea purpurea 'Magnus'*	'Magnus' purple coneflower	#1	
U	81	*Euphorbia characias ssp. characias 'Humpty Dumpty'*	'Humpty Dumpty' blue spurge	#1	
FdR	33	*Fargesia dracocephala 'Rufa'*	Dragon's head bamboo	#10	
HmA	144	*Hakonechloa macra 'Aureola'*	Golden Japanese forest grass	#3	
H	47	*Hydrangea anomala subsp petiolaris*	Climbing hydrangea	#5	
Nt	629	*Nassella tenuissima*	Mexican Feather grass	#3	
Pt	455	*Pachysandra terminalis*	Japanese spurge	#1	
B	109	*Parthenocissus tricuspidata 'Veitchii'*	Boston ivy	#1	
PaH	523	*Pennisetum alopecuroides 'Hameln'*	Dwarf fountain grass	#3	
V	247	*Perovskia atriplicifolia 'Little Spire'*	Little spire Russian sage	#1	
J	125	*Phlomis russelliana*	Sticky Jerusalem sage	#1	
Pm	159	*Polystichum munitum*	Sword fern	#3	
Ps	104	*Polystichum setiferum Divisilobum Group*	Soft shield fern	#3	
R	102	*Rudbeckia fulgida var. sullivantii 'Goldsturm'*	'Goldsturm' Black-eyed Susan	#1	
S	726	*Sesleria autumnalis*	Autumn Moor Grass	#3	
TmH	134	*Taxus x media 'Hicksii'*	Hick's yew	#5	

PLANTING NOTES

1) Final location and species selection for Off-Site planting will be to the satisfaction of the City of Richmond.

2) Contractor to organize a project pre-construction meeting prior to any landscape construction work. Meeting to include the project Landscape Contractor, the project Landscape Architect, and if desired a City of Richmond (Parks) representative for any off-site planting.

3) All plant material used in this project must first be inspected/approved by the project Landscape Architect at the nursery, and (if desired) by a representative of the City of Richmond (Parks) for off-site material before installation.

4) Contact project Landscape Architect to confirm tree types prior to purchase.

5) Minimum depth for all shrub beds to be 450mm, groundcover areas to be 300mm, and trees to be 600mm larger than rootball.

6) All planting to be done to CSLA/BCSLA/BCLNA standards, latest edition. The project Landscape Architect and the City of Richmond have the right to refuse any or all of the selected plant material if it does not meet current CSLA/BCSLA/BCLNA standards.

7) All planting beds to have 50mm mulch as specified.

8) Contractor to submit a representative sample of the proposed topsoil for testing to Pacific Soil Analysis. Contractor is responsible for arranging and payment of soil analysis and amendments to growing medium as determined. Contractor shall instruct soil testing lab to submit results directly to the consultant for approval prior to commencement of work. Generic Analysis is not acceptable.

9) Contractor is responsible to obtain and be familiar with the relevant project specifications.

10) As a minimal acceptable standard:
   a) Sizes on the plant list shall be considered minimum sizes.
   b) Root balls to be free of pernicious weeds.

11) Contractor to ensure all plant material delivered to site is from nurseries certified to be free from the phytophthora ramorum virus (sudden oak death); removal and replacement of plant material found to contain the virus to be at the contractor's expense.

12) The contractor shall supply all plant materials shown on all drawings.

13) No container grown stock will be accepted if it is root bound. All root wrapping material made of synthetics or plastics shall be removed at time of planting.

14) Container grown stock shall have the container removed and the rootball be cleanly scored in two vertical locations.

15) New top soil should be incorporated by mixing into top 300mm of native soil where appropriate.

16) Contractor to provide Landscape Architect a copy of all packing slips received from nursery listing names and quantities of all plant stock supplied.

17) The contractor shall locate and verify the existence of all utilities prior to starting work.

18) All plants shall be watered thoroughly twice during the first 24-hour period after planting. All plants shall then be watered as necessary.

19) All off-site tree trunks to be provided with 'Arbour Guards' for protection.

20) The landscape contractor shall refer to the contract specifications for additional requirements prior to and during establishment maintenance period.

21) Plant Search area to include BC, WA, OR, & CA as appropriate.

DP 16-754761

Plan #57 - 2018.12.18

DIALOG

BENE GROUP

ISSUED FOR

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SEAL

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6680 & 6700 No. 3 Road, Richmond, BC, V6Y 2C3

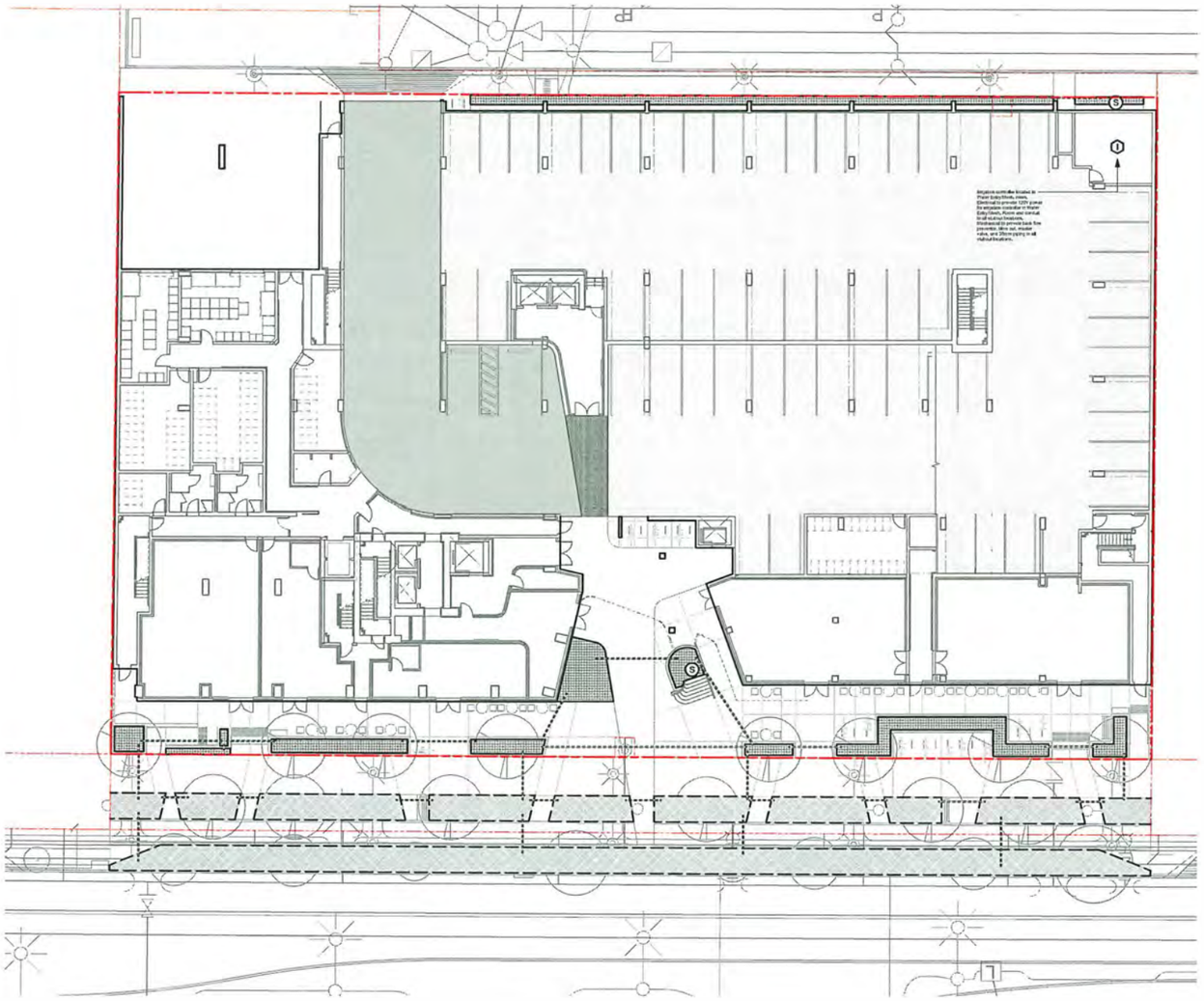
PLANTING PLAN
LIST & NOTES

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L3.6

PROJECT NORTH TRUE NORTH

04286V



1 Level 01 Plan
1:200

LEGEND

- Irrigation Controller
- 38mm Stub Out
  Minimum 50GPM @ 70PSI
- 100mm Irrigation Sleeve
  Traffic Rated (Typ.)
- On-Site Planted Areas Proposed to Be Irrigated w/ High Efficiency Irrigation System
- Off-Site Irrigation for Planted Areas in Boulevard per City Standards

IRRIGATION NOTES

1) On-site and off-site irrigation systems to be on separate circuits.
2) The Irrigation Contractor shall confirm on site the locations of the stub-outs provided by the Mechanical contractor. See plans.
3) The Electrical contractor shall supply 120v outlets for the controllers and run 38mm conduits with pull strings to all stub-out locations. See plans.
4) The Irrigation Contractor shall supply and install the irrigation controllers and run all low voltage wires to the solenoid valves.
5) The Irrigation Contractor shall coordinate all sleeves, conduits, and locations of sensors with the general contractor.
6) The Irrigation system shall be installed as per BABC standards or better.
7) Double check valves, back flow preventers, filter, and a blow-out connection in water entry room, and the running of a 38mm supply line to all stub out locations, by Mechanical. See plans.
8) Irrigation Contractor to supply rain sensors, solar strength, and temperature collectors, and determine locations on site. Use in conjunction with a soil water sensor located in a full sun roof area.
9) No drip irrigation unless otherwise indicated.
10) Irrigation valves to be located in planting beds. Each to have a flow sensor for proper zone flows.
11) The Irrigation Contractor to submit shop drawings for approval prior to installation.
12) The Irrigation Contractor to provide submittals for all irrigation components for approval prior to installation.
13) The Irrigation Contractor to provide as-built drawings following construction.
14) Keep all irrigation piping out of tree rooting zones.
15) All on-site irrigation components to be manufactured by Rain bird or equivalent. Pop up spray bodies to be minimum Rainbird 1800-PRS series or equivalent with high efficiency rotary nozzles to apply water at or less than 13mm per hour. Valves to be minimum Rain bird PEB series or equivalent. Controllers to be minimum Rain bird ESP-LXD series or equivalent.
16) All off-site irrigation components to be manufactured by Rain Bird, Toro, or equivalent. All fixed spray heads to be Toro 570's w/ MPR nozzles or equivalent, mid sized rotors to be Rain Bird 5004's or equivalent, and large rotors to be Rain Bird 6005's or equivalent. All to have high efficiency nozzles to apply water at or less than 13mm per hour. Valves to be minimum Rain Bird PEB series or equivalent. Controllers to be minimum Toro Central Control system compatible or equivalent. Refer to City of Richmond Engineering Department Supplementary Specifications and Detail Drawings.
17) If required, drip irrigation areas to be on separate coverage from other areas. Use risers in shrub areas and direct spray away from hardsurfaces and lamnadgas.
18) All irrigation areas to be head to head coverage.
19) Irrigation coverage to be broken out into separate zones for each major area allowing for individual control as necessary.
20) Irrigation system to be blown-out in winter months.

DP 16-754761

Plan #58 - 2018.12.18

DIALOG

BENE GROUP

ISSUED FOR

1	July 4/18	Issued for ADP/DP Application
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Times Square -
6680/6700 No. 3 Rd

6680 & 6700 No. 3 Road, Richmond, BC, V6Y 2C3

IRRIGATION PLAN
LEVEL 1

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L4.0

PROJECT NORTH TRUE NORTH

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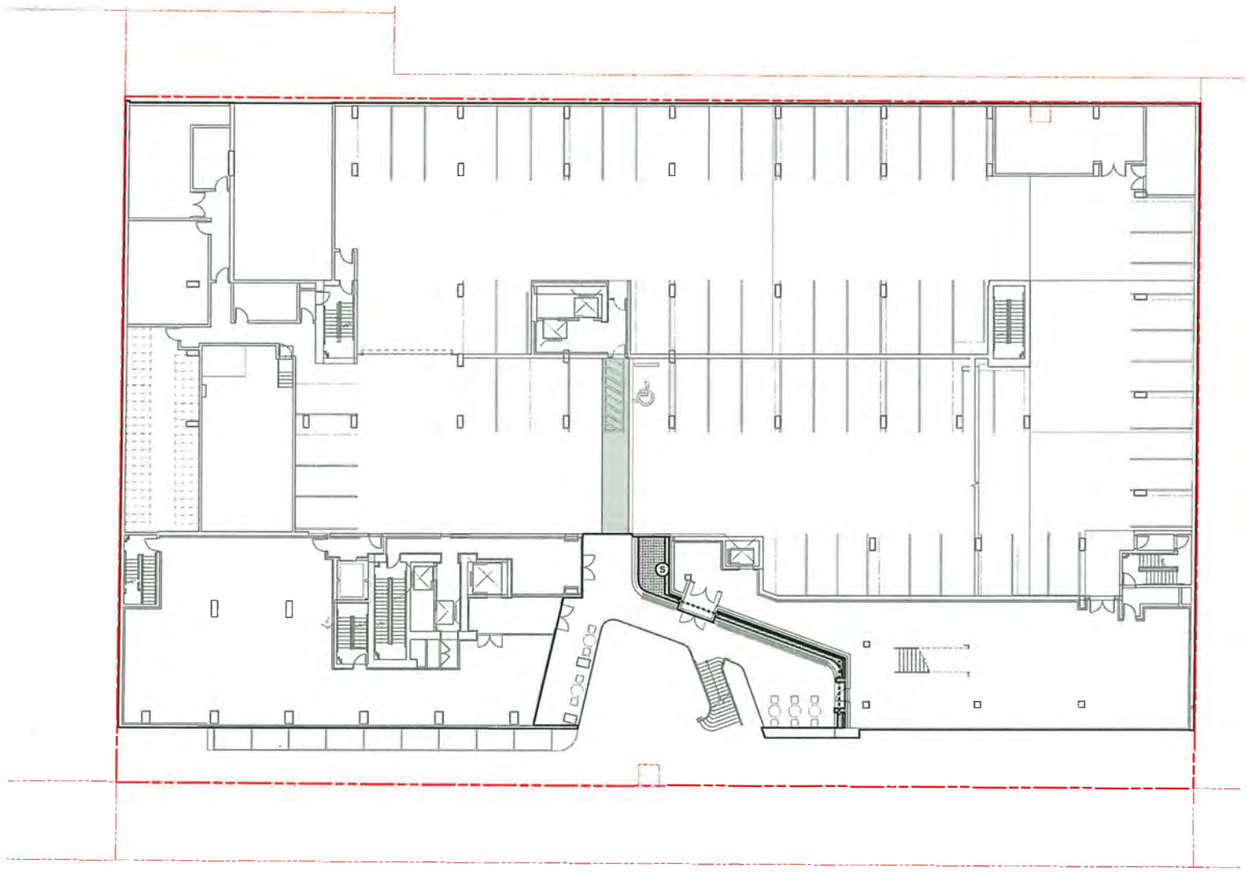

1 Level 02 Plan
1:200

LEGEND

- Irrigation Controller
- 38mm Stub Out — Minimum 50GPM @ 70PSI
- 100mm Irrigation Sleeve Traffic Rated (Typ.)
- On-Site Planted Areas Proposed to Be Irrigated w/ High Efficiency Irrigation System
- Off-Site Irrigation for Planted Areas in Boulevard per City Standards

IRRIGATION NOTES

1) On-site and off-site irrigation systems to be on separate circuits.
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6) The irrigation system shall be installed as per IIABC standards or better.
7) Double check valves, back flow preventers, filter, and a blow out connection in water entry room, and the running of a 38mm supply line to all stub out locations, by Mechanical. See plans.
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12) The Irrigation Contractor to provide submittals for all irrigation components for approval prior to installation.
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18) All irrigation areas to be head to head coverage.
19) Irrigation coverage to be broken out into separate zones for each major area allowing for individual control as necessary.
20) Irrigation system to be blown out in winter months.

DP 16-754761

Plan #59 - 2018.12.18

DIALOG

BENE GROUP

ISSUED FOR

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IRRIGATION PLAN
LEVEL 2

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L4.1

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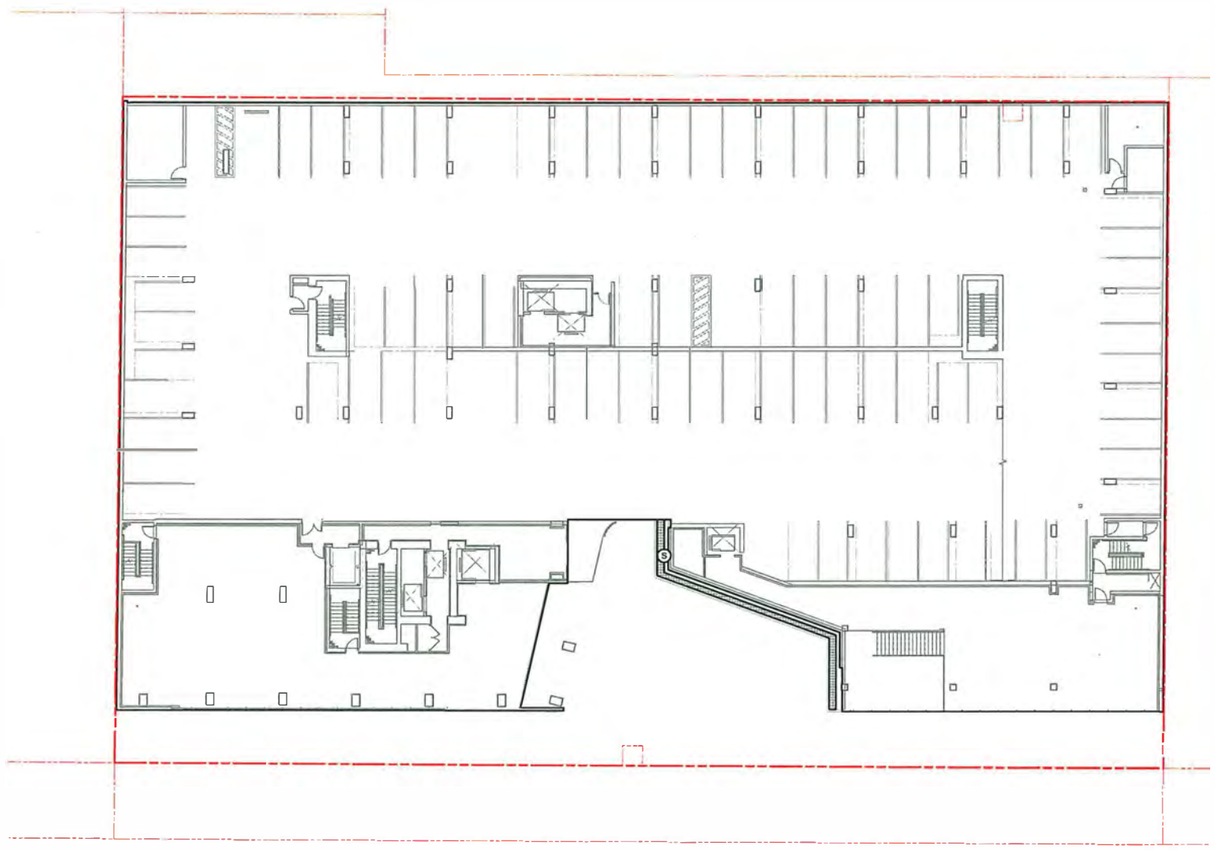

1 Level 03 Plan
1:200

LEGEND

- Irrigation Controller
- 38mm Stub Out — Minimum 50GPM @ 70PSI
- 100mm Irrigation Sleeve Traffic Rated (Typ.)
- On-Site Planted Areas Proposed to Be Irrigated w/ High Efficiency Irrigation System
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19) Irrigation coverage to be broken out into separate zones for each major area allowing for individual control as necessary.
20) Irrigation system to be blown-out in winter months.

DP 16-754761

Plan #60 - 2018.12.18

DIALOG

BENE GROUP

ISSUED FOR

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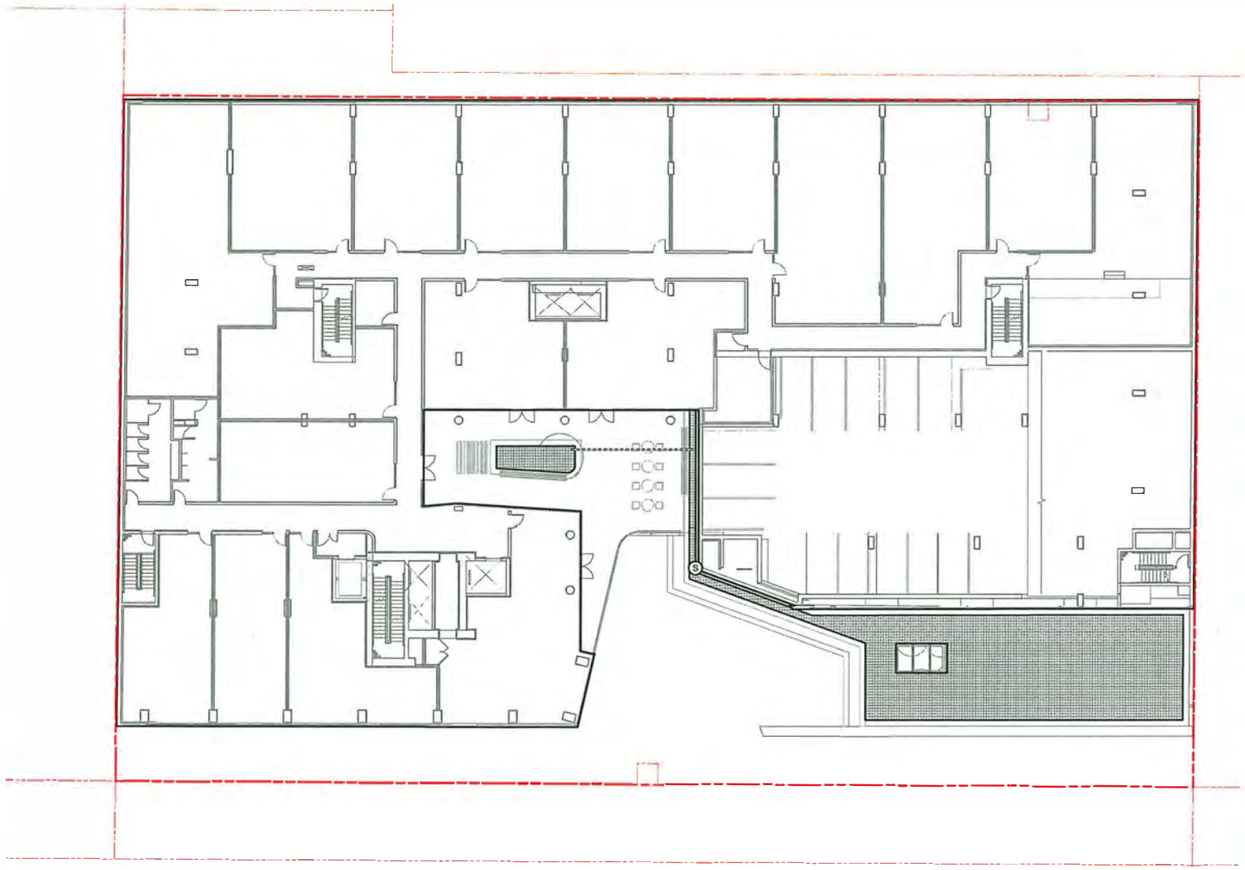
IRRIGATION PLAN
LEVEL 3

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L4.2

PROJECT NORTH TRUE NORTH

04286V



LEGEND

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20) Irrigation system to be blown-out in winter months.

DP 16-754761

Plan #61 - 2018.12.18

1 Level 04 Plan
1:200

DIALOG

BENE GROUP

ISSUED FOR

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DIALOG BC ARCHITECTURE ENGINEERING INTERIOR DESIGN PLANNING INC.
406 - 611 ALEXANDER STREET,
VANCOUVER, BC, V6A 1E1
Tel: (604) 255-1189 Fax: (604) 255-1790

SEAL

Times Square - 6680/6700 No. 3 Rd

6680 & 6700 No. 3 Road, Richmond, BC, V6Y 2C3

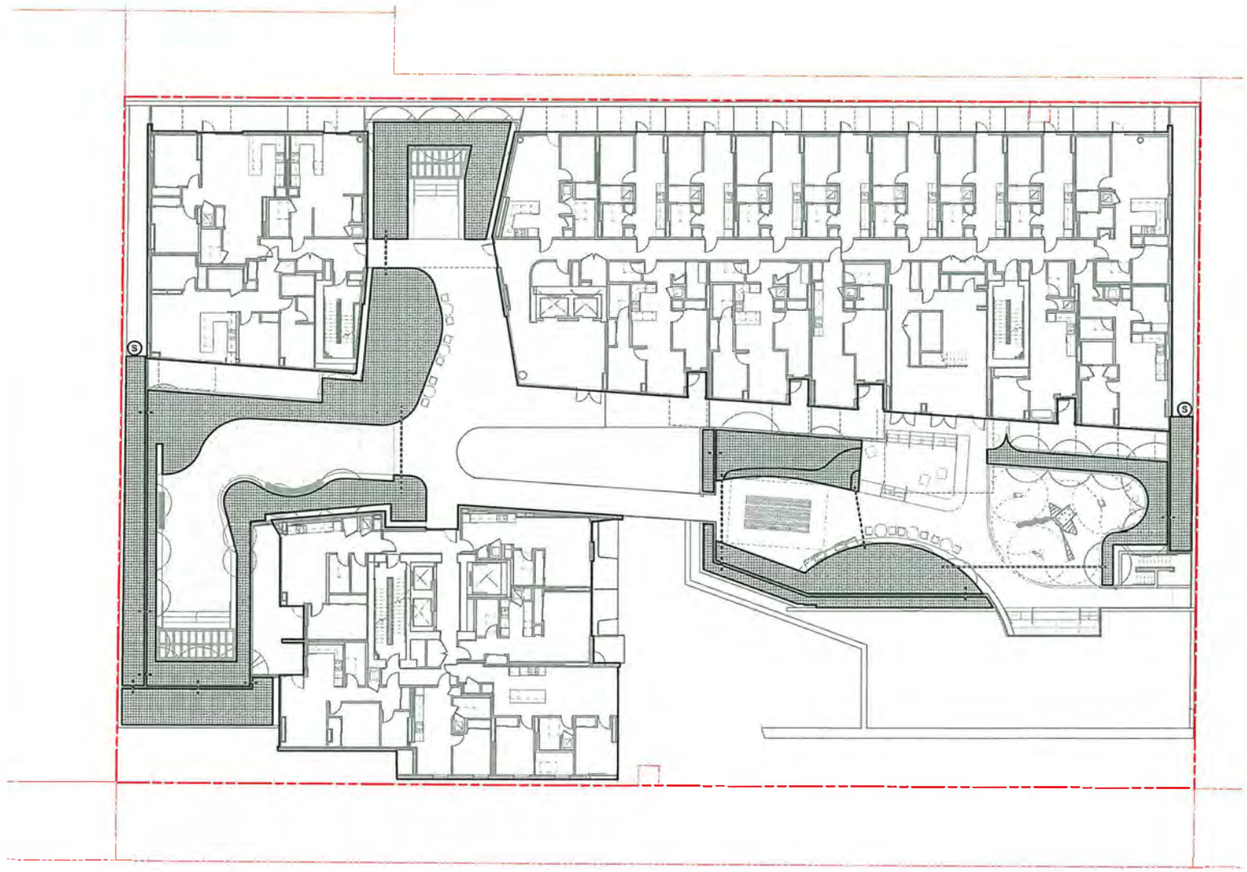
IRRIGATION PLAN
LEVEL 4

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L4.3

PROJECT NORTH TRUE NORTH

04286V



1 Level 05 Plan
1:200

LEGEND

- Irrigation Controller
- 38mm Stub Out
  Minimum 50GPM @ 70PSI
- 100mm Irrigation Sleeve Traffic Rated (Typ.)
- On-Site Planted Areas Proposed to Be Irrigated w/ High Efficiency Irrigation System
- Off-Site Irrigation for Planted Areas in Boulevard per City Standards

IRRIGATION NOTES

1) On-site and off-site irrigation systems to be on separate circuits.
2) The Irrigation Contractor shall confirm on site the locations of the stub-outs provided by the Mechanical contractor. See plans.
3) The Electrical contractor shall supply 120v outlets for the controllers and run 38mm conduits with pull strings to all stub-out locations. See plans.
4) The Irrigation Contractor shall supply and install the irrigation controllers and run all low voltage wires to the solenoid valves.
5) The Irrigation Contractor shall coordinate all sleeves, conduits, and locations of sensors with the general contractor.
6) The irrigation system shall be installed as per IIABC standards or better.
7) Double check valves, back flow preventers, filter, and a blow-out connection in water entry room, and the running of a 38mm supply line to all stub out locations, by Mechanical. See plans.
8) Irrigation Contractor to supply rain sensors, solar strength, and temperature collectors, and determine locations on site. Use in conjunction with a soil water sensor located in a full sun roof area.
9) No drip irrigation unless otherwise indicated.
10) Irrigation valves to be located in planting beds. Each to have a flow sensor for proper zone flows.
11) The Irrigation Contractor to submit shop drawings for approval prior to installation.
12) The Irrigation Contractor to provide submittals for all irrigation components for approval prior to installation.
13) The Irrigation Contractor to provide as-built drawings following construction.
14) Keep all irrigation piping out of tree rooting zones.
15) All on-site irrigation components to be manufactured by Rainbird or equivalent. Pop up spray bodies to be minimum Rain bird 1800-PRS series or equivalent with high efficiency rotary nozzles to apply water at or less than 13mm per hour. Valves to be minimum Rainbird PEB series or equivalent. Controllers to be minimum Rainbird ESP-LXD series or equivalent.
16) All off-site irrigation components to be manufactured by Rain Bird, Toro, or equivalant. All fixed spray heads to be Toro 570's w/ MPR nozzles or equivalent, mid sized rotors to be Rain Bird 5004's or equivalent, and large rotors to be Rain Bird 8005's or equivalent. All to have high efficiency nozzles to apply waterat or less than 13mm per hour. Valves to be minimum Rain Bird PEB series or equivalent. Controllers to be minimum Toro Central Control system compatible or equivalent. Refer to City of Richmond Engineering Department Supplemantary Specifications and Detail Drawings.
17) If required, drip irrigation areas to be on separate coverage from other areas. Use risers in shrub areas and direct spray away from hard surfaces and lawn edges.
18) All irrigation areas to be head to head coverage.
19) Irrigation coverage to be broken out into separate zones for each major area allowing for individual control as necessary.
20) Irrigation system to be blown-out in winter months.

DP 18-754761

Plan #62 - 2018.12.18

DIALOG

BENE GROUP

ISSUED FOR

1	July 4/18	Issued for ADP/DP Application
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SEAL

Times Square -
6680/6700 No. 3 Rd

6680 & 6700 No. 3 Road, Richmond, BC, V6Y 2C3

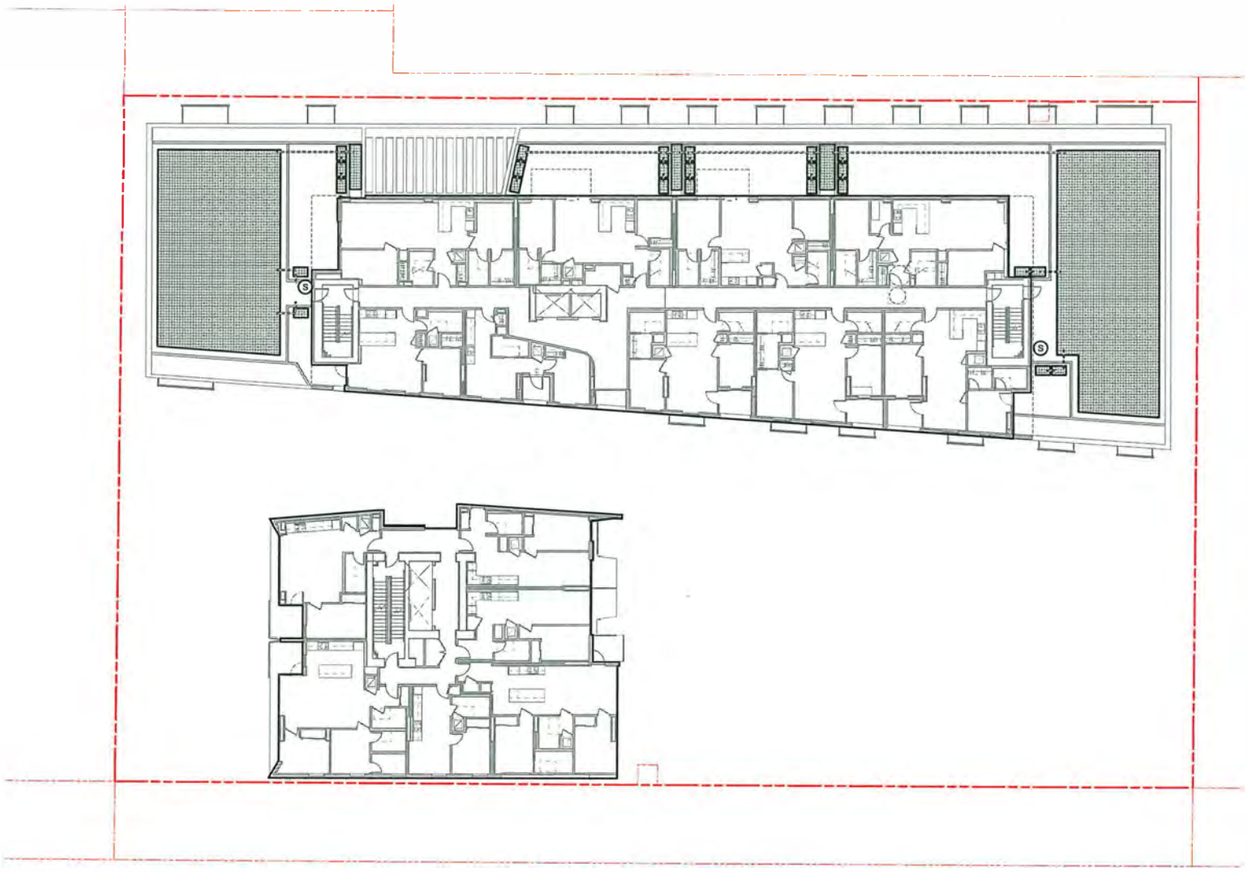
IRRIGATION PLAN
LEVEL 5

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L4.4

PROJECT NORTH TRUE NORTH

04286V



1 Level 09 Plan
1:200

LEGEND

- Irrigation Controller
- 38mm Stub Out — Minimum 50GPM @ 70PSI
- 100mm Irrigation Sleeve Traffic Rated (Typ.)
- On-Site Planted Areas Proposed to Be Irrigated w/ High Efficiency Irrigation System
- Off-Site Irrigation for Planted Areas in Boulevard per City Standards

IRRIGATION NOTES

1) On-siteand off-siteirrigation systems to be on separate circuits.
2) The Irrigation Contractor shall confirm onsite thelocationsof the stub-outs providedby the Mechanical contractor. See plans.
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4) The Irrigation Contractor shall supply and install the irrigation controllers and run 24Vac voltage wiring to the solenoid valves.
5) The Irrigation Contractorshall coordinate all sleeves, conduits, and locations of sensors withthe generalcontractor.
6) The Irrigation system shall be installed as per IIABC standards or better.
7) Double check valves, back flow preventers, filter, and a blow-out connection in water entry room, and the running of a 38mm supply line to all stub out locations, by Mechanical, See plans.
8) Irrigation Contractor to supply rain sensors, solar strength, and temperature collectors, and determine locations on site. Use in conjunction with a soilwater sensorlocated in a fullsun roof area.
9) No dripirrigationunless otherwiseindicated.
10) Irrigation valves to be located in planting beds. Each to have a flow sensor for proper zone flows.
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12) The Irrigation Contractor to provide submittals for all irrigation components for approval prior to installation.
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18) All irrigation areas to be headto headcoverage.
19) Irrigation coverage to be brokenout into separate zones for each major area allowing for individual control as necessary.
20) Irrigation system to be blown-out in winter months.

DP 16-754761

Plan #63 - 2018.12.18

DIALOG

BENE GROUP

ISSUED FOR

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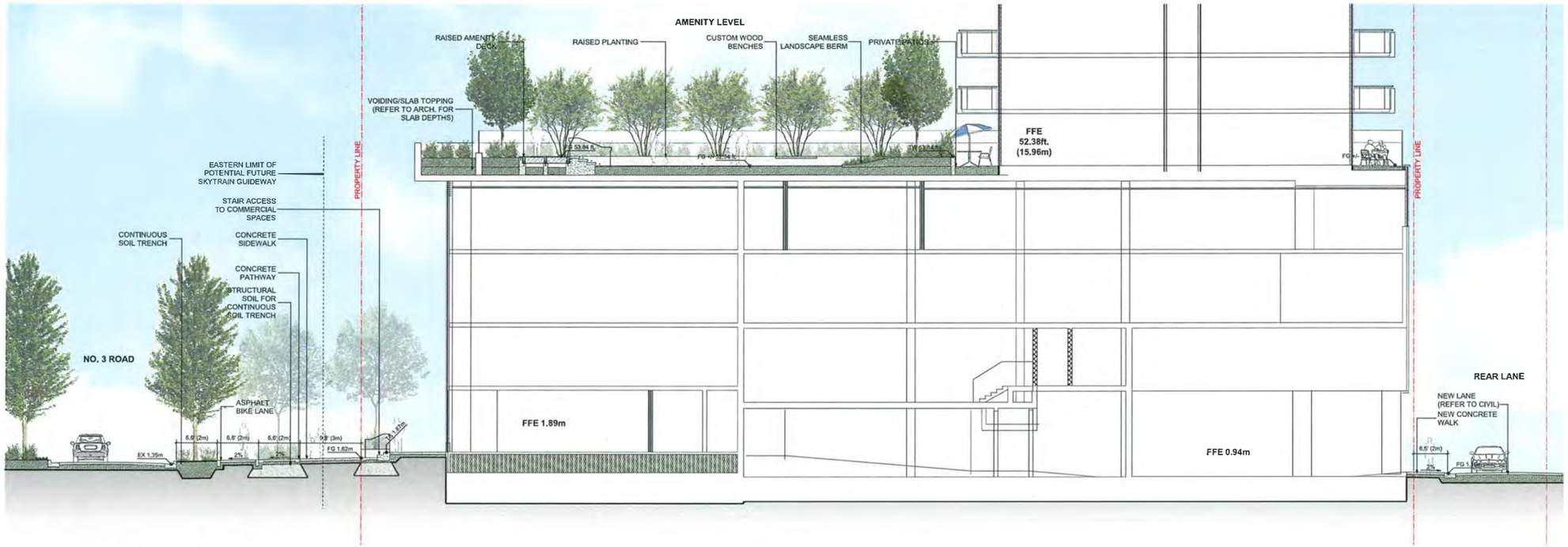
IRRIGATION PLAN
LEVEL 9

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

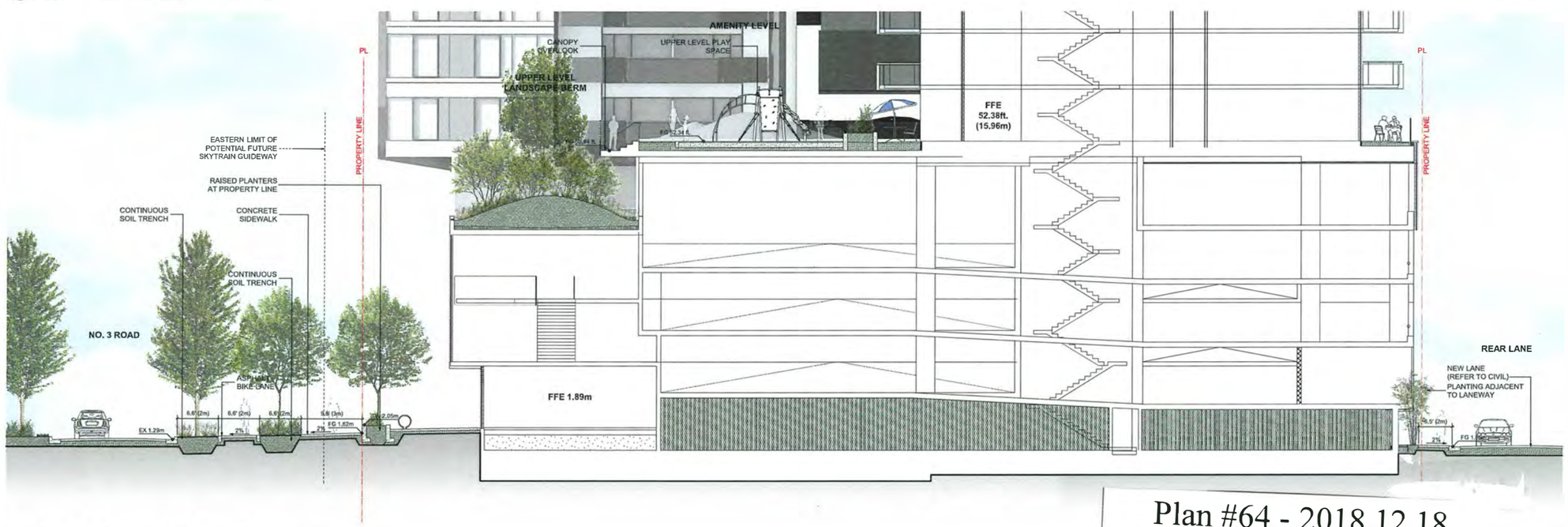
L4.5

PROJECT NORTH TRUE NORTH

04286V



1 Northern Streetscape & Upper Terraces
1:100



Plan #64 - 2018.12.18

2 Southern Streetscape & Upper Terraces
1:100

DIALOG

BENE GROUP

ISSUED FOR

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SEAL

Times Square - 6680/6700 No. 3 Rd

6680 & 6700 No. 3 Road, Richmond, BC, V6Y 2C3

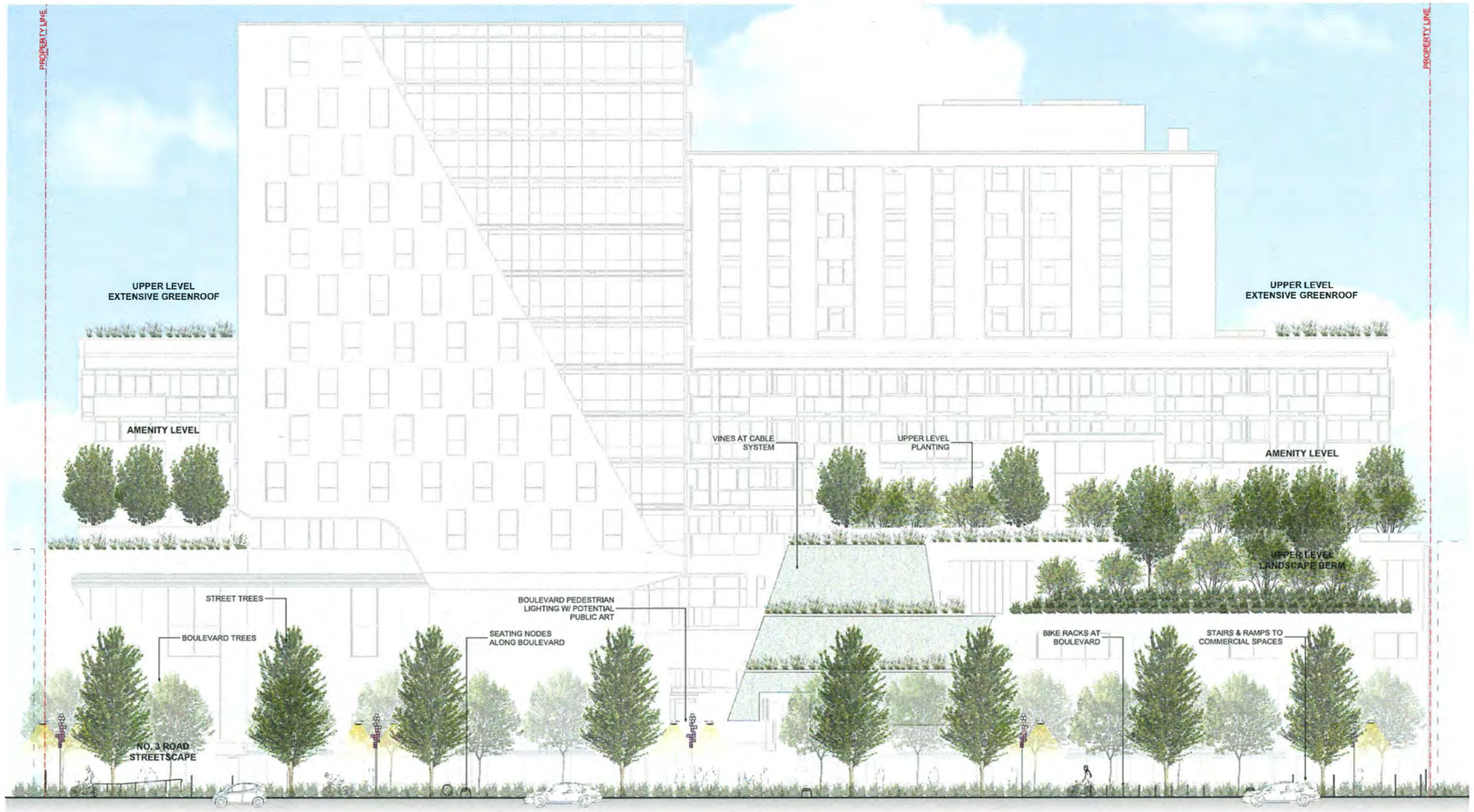
ILLUSTRATIVE LANDSCAPE SECTIONS

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L5.0

04286V

DP 16-754761



1 No. 3 Road Streetscape Elevation
1:125

Plan #65 - 2018.12.18

DP 16-754761

DIALOG

BENE GROUP

ISSUED FOR

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ILLUSTRATIVE LANDSCAPE ELEVATION

DRAWN: JG CHECKED: MT
PLOT DATE: 12/14/2018

L5.1

04286V

Reference Plan - DP 16-754761
2018.12.18

Times Square

Revised Development Permit

DP 16-754761

6680 / 6700 No. 3 Road, Richmond, BC, V6Y 2C3

BENE GROUP

DIALOG

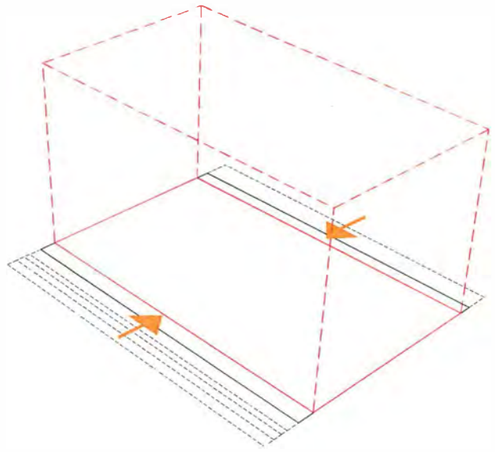
Dec 14, 2018

Development Rationale

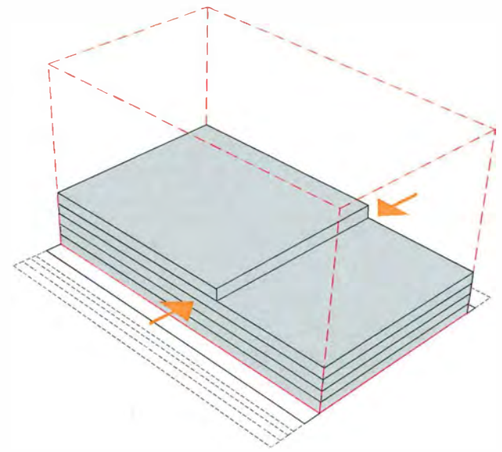
The proposal follows the guidelines established in the City Centre Area Plan and provides a strong streetwall along No. 3 Road with smaller ground level dominated commercial spaces fronting the expanded public realm and multi-modal pedestrian/cycle zone.

Specific masses are arranged on the site to create a hierarchy of forms that reinforce the public realm streetscape and the identity of the building at an urban scale, while others step away from the No. 3 Road street edge to provide some relief and to improve solar access to the elevated outdoor spaces.

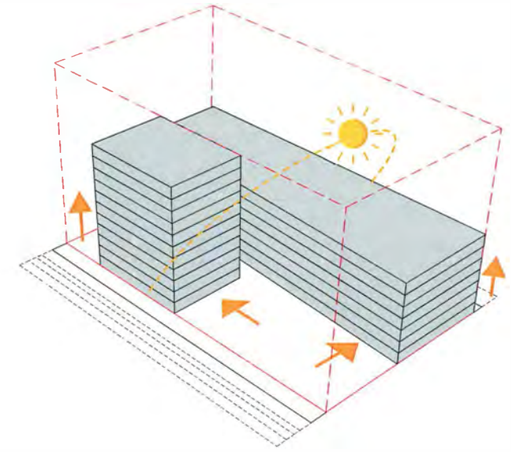
The project proposes a mix of 157 Market Residential units, 9 Affordable Residential units, Office, Commercial uses and an above grade parking garage with access from the lane. A diverse residential unit mix has been proposed which includes one, two and three bedroom suites to permit varying demographics to live in the transit oriented neighbourhood.



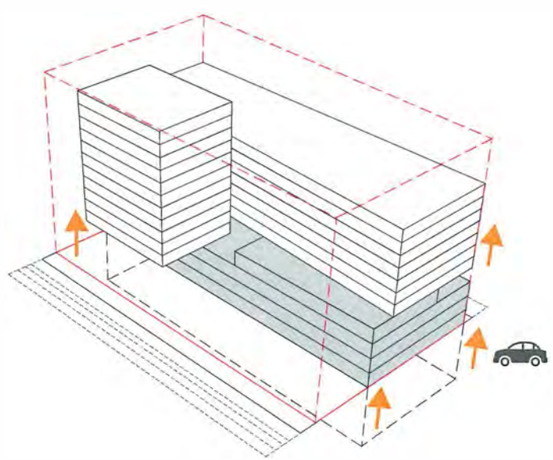
1 New Property line (red) has been set back to accomodate City SRW's. Richmond's proximity to YVR has resulted in a height limitation of 47m (dashed red).



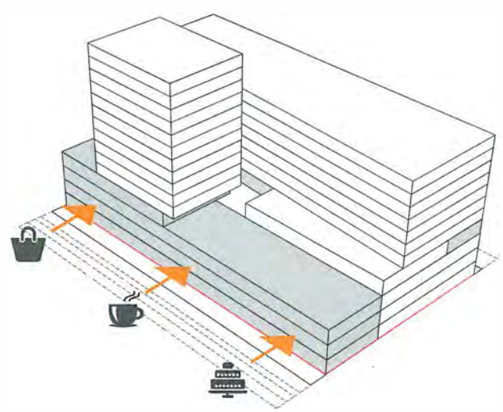
2 The buildable FAR on this site is 3.0 +1.0 city centre bonus. The grey massing represents the 4.0 FAR massed on the reduced site area.



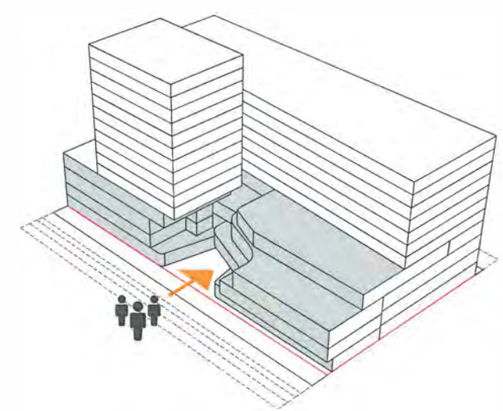
3 The residential area has been broken up into two masses. The long, lower mass along the lane is set back from No. 3 Road and the slim tower is located at the North of the site. The massing opens up towards the public realm on No. 3 road, enhances sun exposure on the site and reduces shading over the street.



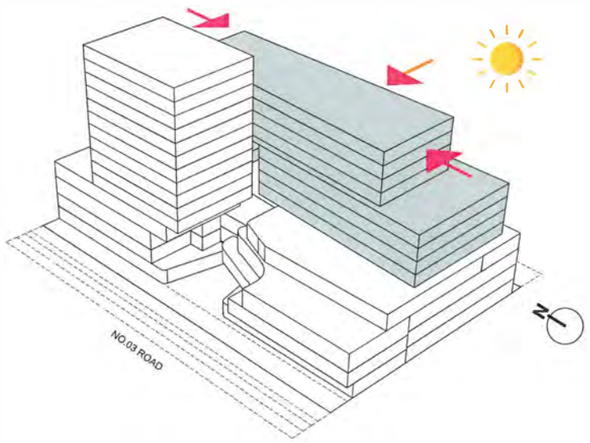
4 Due to Richmond's high water table, all parking has been accomodated above grade. This raises the residential buildings up by four storeys.



5 The resultant void along No. 3 Road provides an opportunity for pedestrian oriented retail, as well as elevated restauarant and office spaces that front No. 3 Road. Layering this program along the streetfront also helps to reduce the scale and conceal the above grade parking garage.

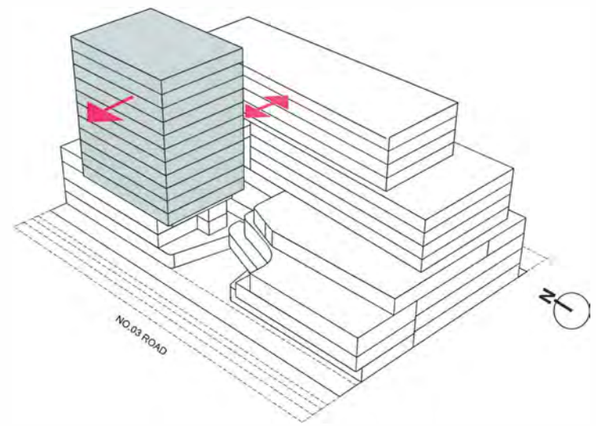


6 In an effort to activate the variety of uses on this site, the massing has been eroded mid-block to create a common courtyard that invites people in from the street. All entrances for residential, office and commercial are located off the courtyard which acts as a catalyst for social interaction and builds a sense of community.



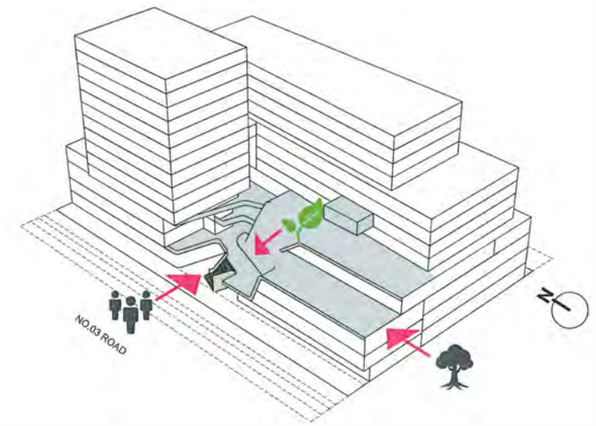
7 Slab Building Massing

The residential building along the lane has been set back from the adjacent properties and to increase sun exposure on the site as well as the neighbouring sites. A segment of the lower portion has been removed, creating a visual connection down the back lane resulting in a covered outdoor area for the residents.



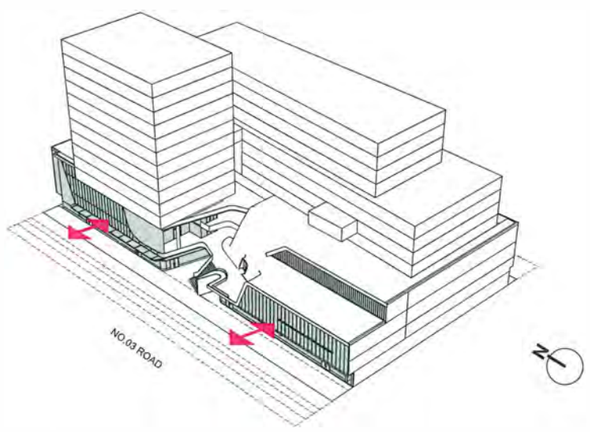
8 Tower Shaping

To reinforce the No. 3 Road street edge, and increase the distance in between the two residential buildings, the tower has been shifted 3m West where it now projects over the sidewalk, giving it more presence on the street.



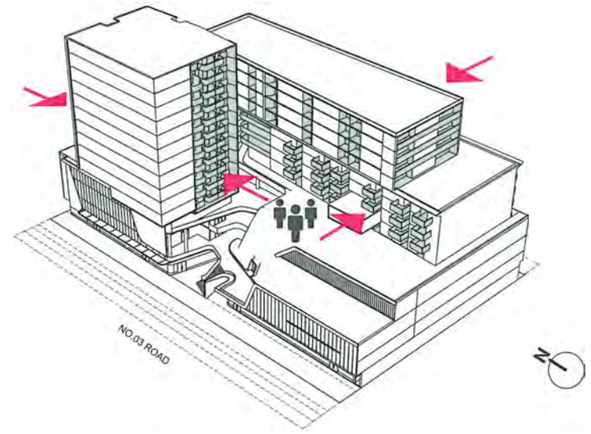
9 Outdoor Spaces to Link Varied Uses.

The resultant rooftops have been sculpted into common outdoor amenityspaces. The central courtyard at the main level and the second level patio provide public access to retail, office, restaurants and residential lobbies. The fourth level has a shared patio for the office tenants and the fifth floor is a landscaped roof for the residents. The rooftop is further activated by a two-storey amenity cube that both visually and physically connects to the outdoors.



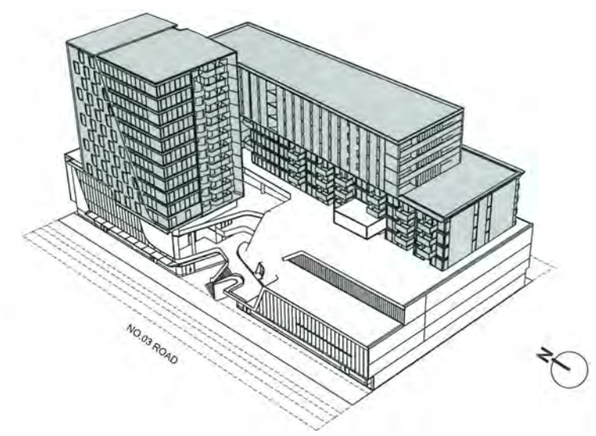
10 Public Realm & Ground Level Development

The lower levels of the commercial spaces along No. 3 road are designed to be curtain wall, flooding the interior with light and emphasizing the connection to the busy street below. The parkade will be open air with louvers along the West and East face. The fourth floor office space will be window wall bringing in morning light from the East.



11 Enhanced Exposure of Outdoor Patios

The residential tower and slab building are activated by private patios from each suite. The balconies face North and South on the tower and East and West on the slab building.



12 Material & Glazing Development

The dark coloured metal panel shrouds the tower. The West elevation peels back to allow the glazing system to be exposed at the prominent Southwest corner marking the site entry. There is a sense of motion in this elevation, as it addresses the No.3 Rd activity, the Canada Line and the influence the airport has on shaping Richmond.

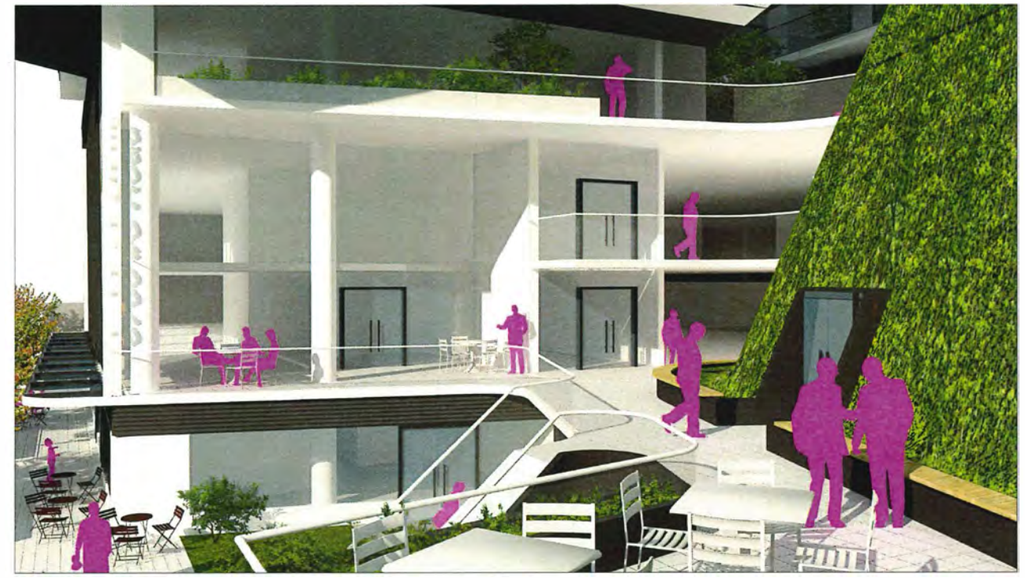
The lower and upper slab buildings are largely clad in light and dark metal cladding and are composed of solids and voids in the facade, each articulated differently to distingusish the two masses from one another.

SW Corner

South End

North End

Walking South on No. 3 Road



Looking into the Courtyard from Level 2

Outdoor Walkways

Looking North on 5th Floor Outdoor Amenity

Reference Plan - DP 16-754761
2018.12.18

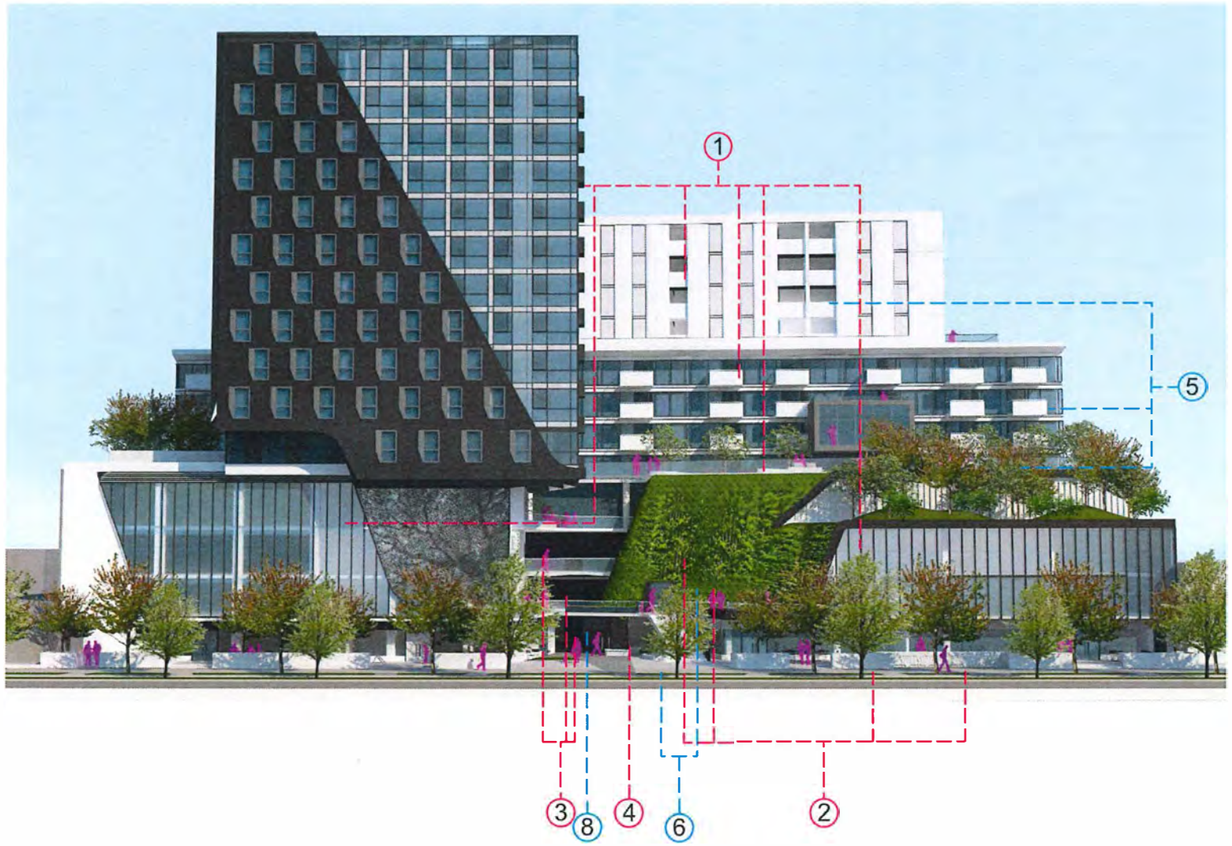
View North Along No. 3 Rd

View South Along No. 3 Rd

View North At Lane

View South At Lane

Reference Plan - DP 16-754761
2018.12.18



Accessibility Features

5 One of the key concepts of this development is inclusion and social interaction. All public areas have been designed to be accessible. All balconies overlook common areas creating visual connections whether you're on your private terrace, the common amenity space or the public courtyard below.

6 At the street level, there will be a change of pavement/ texture and a low shallow slope to brings you to the entry plaza. The glass elevatorup to the 2nd level restaurant provides access for people that are less mobile and also ensures that everyone has the same experience when using the space.

7 The suites are designed so that 14% of the overall count are adaptable, meaning that they have larger clearances, and have been set up for easy conversion in the event a wheelchair user moves in at a later date.

8 There are 2 residential lobbies in the project that are available to all residents. The parkade has been designed with a 5% slope that ramps up on the south ends, and plateaus at the junctions for residential elevator access which allows wheelchairs to move with ease. Each accessible parking stall is located on a flat surface near the elevator lobbies to facilitate parking and unloading.

CPTED Design Features

1 This project is situated along, the busy No. 3 Road. The way in which the building's design opens up and overlooks No. 3 Road was intentional to both engage the street and promote a safer community within. The Building's orientation means that there will be passive surveillance on both sides of the property from No. 3 Road and the lane, and eyes down onto the streets. The mix of uses on the site ensures that there will be pedestrian traffic at all hours of the day, as the residents and restaurants will be more active in the evening and the office and retail spaces will be busy during the day.

2 The property boundary will have a series of planters, with low vegetation that delineates private vs public space. Additionally there will be a change of paving material at the property edge to reinforce the notion that you're crossing into a private area.The planting in the public spaces around the central courtyad will be landscaped in a way that maximizes sight lines and minimizes any oppotunity to hide. The restaurant elevator that connects the main level up to levels 2 and 3 will be glass, both for aesthetic purposes as well as to ensure a feeling of safety as you exit into the courtyard.

3 The parking garage is designed to flow through from the lane to No. 3 Road. This allows for convenient access and also avoids the sense of being cornered or trapped inside. The facade has

4 openings on all floors along the East side and on the 4th floor of the West facade for natural ventilation, natural daylight and to increase security within.

The Development will be adequately lit to provide a sense of comfort and activity after hours, particularily in the parkade, courtyard and public areas.

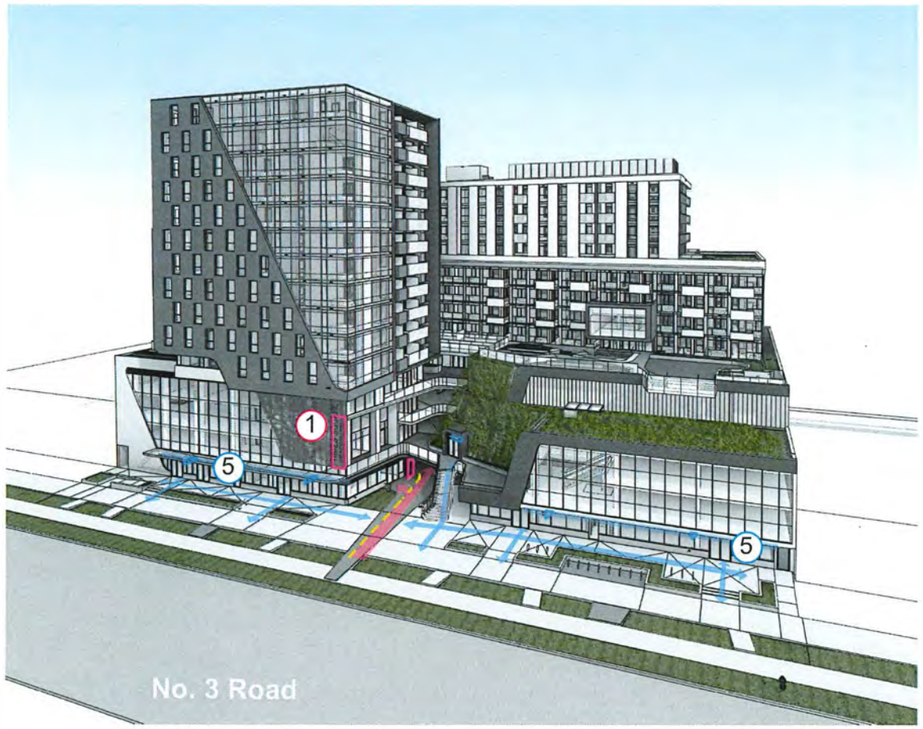
NOTE:
1.All dimensions and areas are approximate and are to be verified with survey information
2.This is not a complete design and as such any actions or decisions on purchase or sale of land/development are not the responsibility of the architect

Reference Plan - DP 16-754761
2018.12.18

Concept Signage & Wayfinding

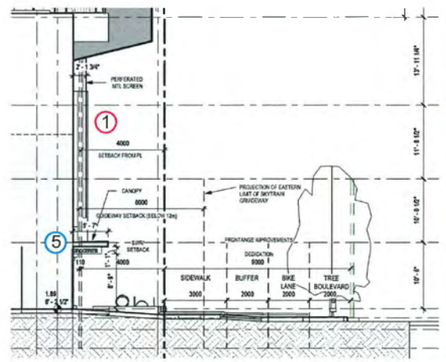
Primary addressing is centrally located adjacent to the open courtyard in the centre of the site in a prominant location visisble from No. 3 Road and unobstructed by the tree canopy. Addressing for 6680 and 6700 is further announced in the court space with backlit illuminated text for each entry. Ground texture and illumination aids wayfinding to primary entry areas as well as through the parkade. Exterior bicycle parking is located in prominent and visible areas of the project away from entries and primary paths of travel.

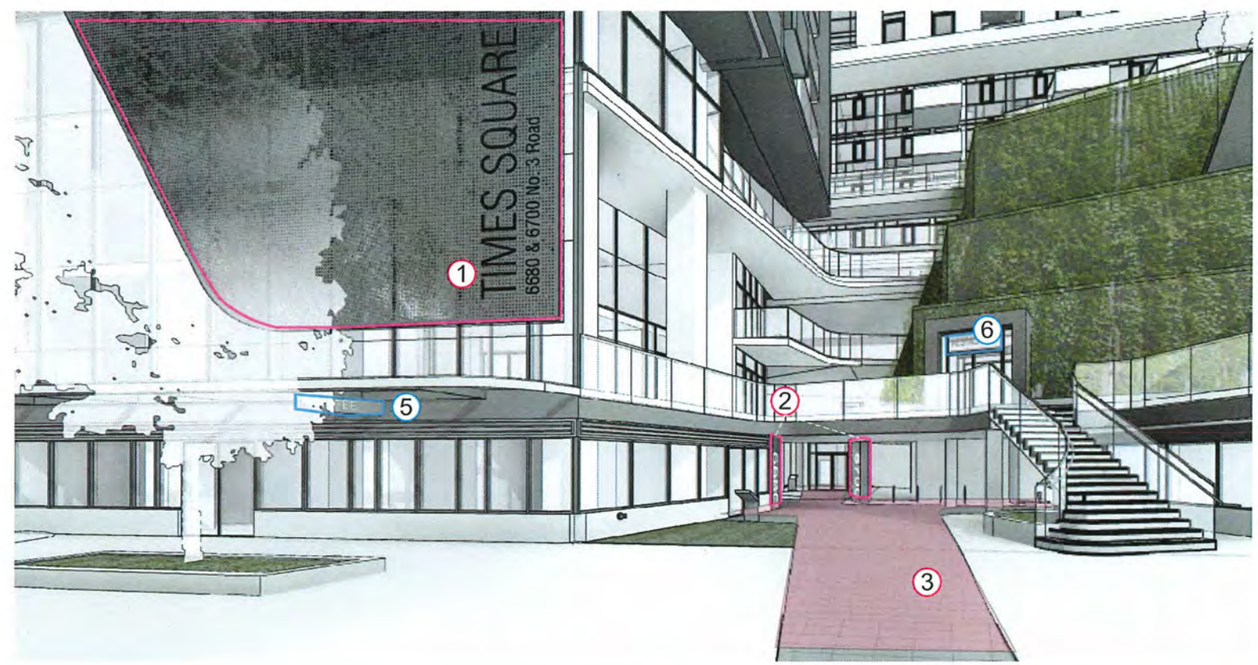
A commercial signage band under canopy runs along No. 3 Road providing signage area for CRU's below and signalling entries ways.



Signage & Wayfinding

1. Situated along Number 3 Road, primary address signage for the project is integrated into the perforated metal screen. Prominent placement provides clear visual access from No. 3 road while also aiding in wayfinding for entry areas into the project including residential entries, office entries, and commercial entries. The signage is backlit to be visible in evenings.
2. 6680 and 6700 addressing is clearly demarked with signage and supergraphics. This signage is intended to be clearly visible from within the entry courtyard from all times of the day and in evenings via backlighting. Security intercoms and pushbottons are positioned immediately adjacent to entry paths to provide clear visual cues to entryways.
3. Ground paving is designed to supports the primary path of travel into residential and commercial entries. The change of material serves as a wayfinding device leading to primary circulation pathways. This path includes lighting bollards to enhance visibility, wayfinding, and offer visual cues into entries.
4. A perforated metal screen minimizes and filters light pollution from the parkade. Integrated into the screen is entry signage to pronounce the entry and exit from parkade to the lane.
5. A signage strip for Commercial CRUs is offered along the fascia of CRU's along number 3 road under provided canopy. Perpendicular projections signal CRU entries and provide ease of visual reading while moving along number 3 Road.
6. A portico vestibule positioned near the landing of the 2nd level commercial space, signals a primary entry into commercial space along with lit signage integrated into the fascia.

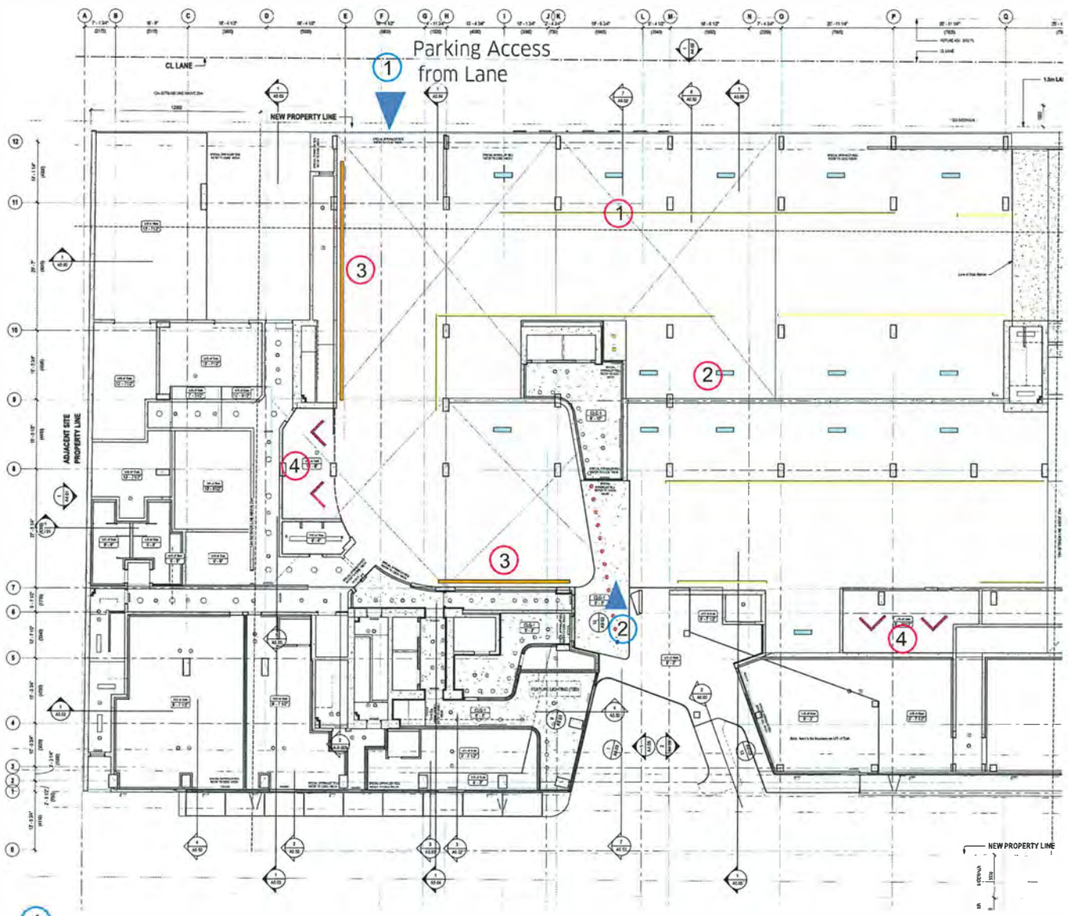




Reference Plan - DP 16-754761
2018.12.18

Exterior Lighting Strategy

Exterior lighting design will take into careful consideration factors that impact occupants, such as visual comfort, safety and security. Lighting will be coordinated with the Architect and Landscape Consultant to meet ASHRAE 90.1-2010 lighting power densities and comply with the project's lighting zone requirements. Exterior lighting is to be controlled by photocell and astronomical timeclock combination and will have the option to be regulated at night time to be either off or at a reduced level to increase energy savings. This can be achieved by incorporating lighting zones into the design. Full cut-off luminaires with efficient light sources and direct light downward where needed, e.g. pedestrian pathways, sidewalks and landscaped areas, are to be used.



1

2

Entry Strategy and Lightling

1 Vehicular access to the parkade occurs from the Lane side - A wall feature and wall wash immediately welcomes users into the parkade. Linear LED lights highlight the path leading to residential and commercial parking above. The entry is clearly demarcated with visible signage from the lane. To limit light pollution towards the lane, lights are design to illuminate the direct spaces and not scatter towards the lane.

2 The Pedestrian Access Route serves as the primary route to one of the towers from No.3 Road, this area is treated with higher finishes and provides a well lit area. Wall washes at the entry locations signal the entry spaces from within the parkade while a drop ceiling with pot lights direct the flow of moment from lobby to No.3 Road and vise versa. This area is brightly lit throughout the day and evening. Additionally full glazed walls open up into the parkade offering visual connection and illumination into the spaces.

Lighting Design Features

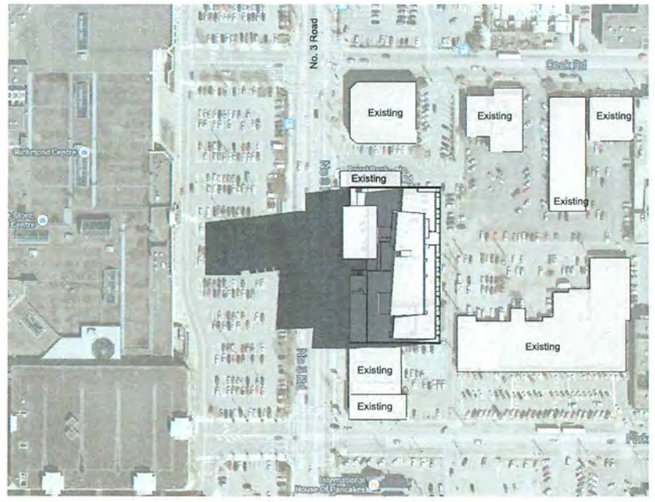
1 Linear LED lighting is the primary artificial illumination to the drive isles, acting both as a wayfinding device as well as providing ambient illumination to the parkade area. While the lane side exposure allows natural light to filter through a perforated metal screen, this lighting acts as the primary light source from L1 to L4 in the parkade.

2 Secondary LED lighting is provided to illuminate the areas directly above car parking to support tasks related to car entry, unloading, and accessing EV connetions. This secondary lighting is diffuse enough to ensure limited light pollution is cast onto into the lane.

3 A primary wall wash as well as wall puck lighting serves to signal both the Parking Access lane as well as the Pedestrian access to the parkade. This provides greater illumination and visibility to these transition areas, so they are well lit and appropriately signalled through lighting.

4 Bike storage is visible from the parkade and illuminated with a playful light arrangements and bright color as an integrated part of the garage. This places bicybles in prime locations to be seen from movement cooridors and aids in providing visual access to foster bike use and improve security.

Reference Plan - DP 16-754761
2018.12.18



June 22nd | 07:00 am

June 22nd | 08:00 am

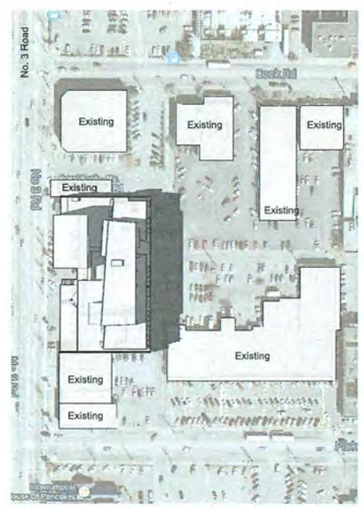
June 22nd | 09:00 am

June 22nd | 10:00 am

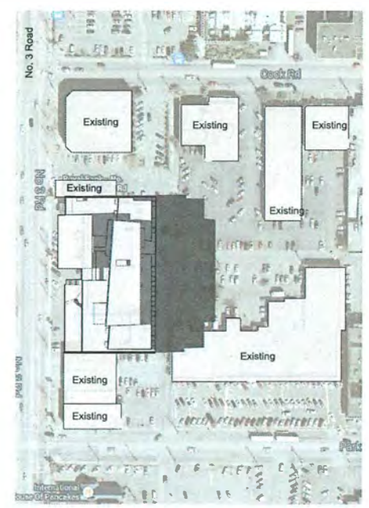
June 22nd | 11:00 am

June 22nd | 12:00 pm

June 22nd | 1:00 pm

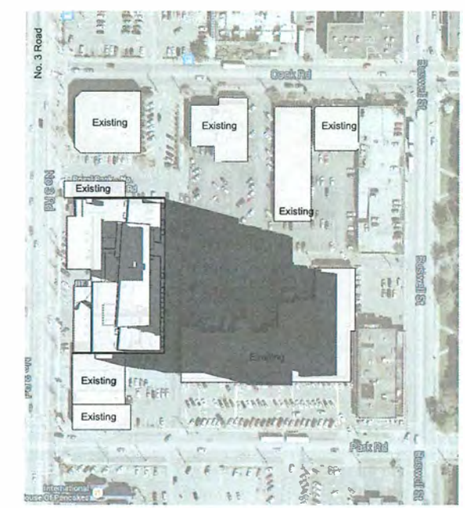


June 22nd | 2:00 pm



June 22nd | 3:00 pm

June 22nd | 4:00 pm



June 22nd | 5:00 pm

BENE GROUP DIALOG

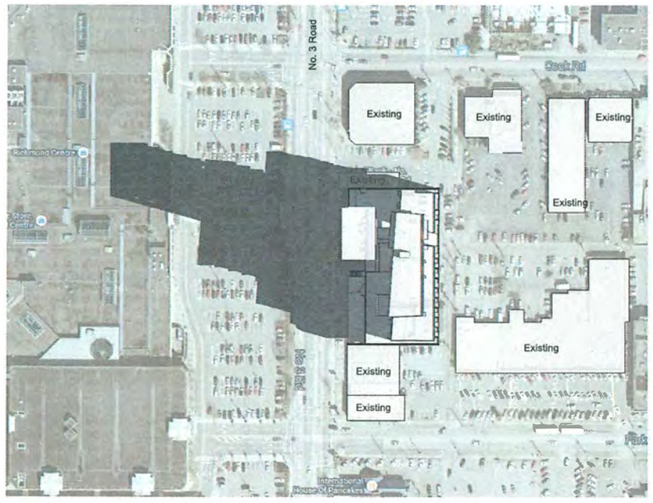
Times Square
6680 & 6700 No. 3 Rd, Richmond

Solar Studies - June

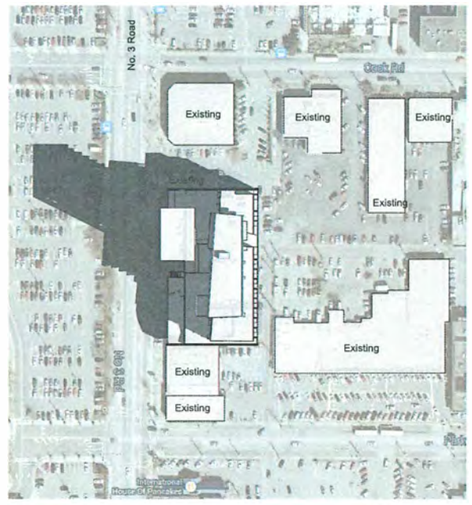
N
Scale
N.T.S.

A020
Dec 14, 2018

Reference Plan - DP 16-754761
2018.12.18



September 22nd | 07:00 am



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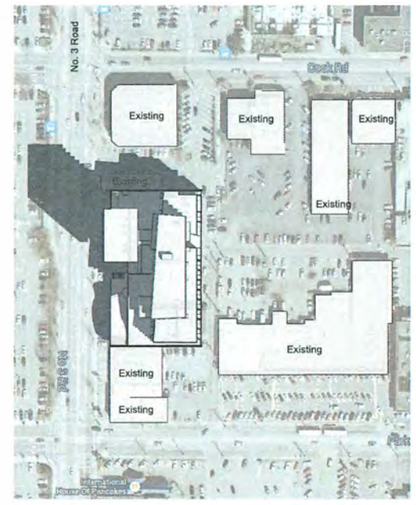

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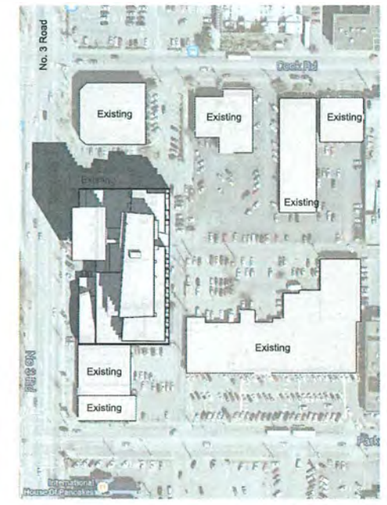

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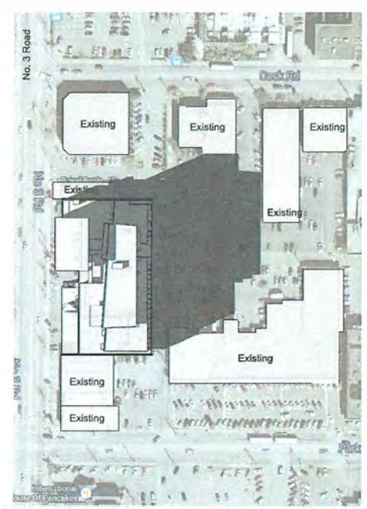
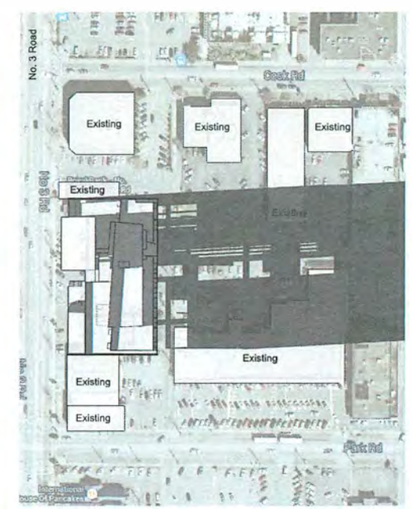


September 22nd | 3:00 pm

September 22nd | 4:00 pm



September 22nd | 5:00 pm

BENE GROUP DIALOG

Times Square
6680 & 6700 No. 3 Rd, Richmond

Solar Studies - Sept

N Scale N.T.S.

A021 Dec 14, 2018

Reference Plan - DP 16-754761
2018.12.18

Energy Conservation Strategies

The 6700 #3 Rd project features the following details in order to deliver a sustainable building. The project considers energy performance & the needs of its inhabitants in order to provide a healthy and sustainable living environment.

ENERGY PERFORMANCE _This project will demonstrate LEED SILVER Equivalent according to LEED-Canada NC 2009. The building must meet at least 15% annual energy savings over ASHARE 90.1 2007. We have provided a draft Sustainability Scorecard. The Scorecard shows the project is incorporating numerous sustainable strategies currently targeting 53 points (50 points are required for Silver). Several more points are potentially available and will be confirmed as the design is refined. These strategies are consistent with the City of Richmond requirements.

GREENHOUSE GAS EMISSIONS _The project utilizes several strategies to reduce greenhouse gas emissions:
IMPROVED BUILDING ENVELOPE- High performing building envelope with increased insulation, heat recovery ventilation and hybrid heat pumps will reduce heating energy and associated greenhouse gas emissions.
EQUIPMENT SELECTION- High efficiency condensing boiler and low flow plumbing fixtures will reduce hot water production and associated greenhouse gas emissions. The building is designed to be connected to the District Energy Utility as it comes online.
NATURAL GAS- The building does not propose any natural gas hookups for the balconies, gas fireplaces, ornamental fireplaces or cooktops.
CONSTRUCTION WASTE MANAGEMENT- The minimum waste diversion goal is 75% which will limit the negative environmental impact of greenhouse gas emissions associated with landfills.
RECYCLING/WASTE MANAGEMENT- The project proposes an occupant storage and collection of paper, cardboard, glass, plastic, metals and household organics which will aid in reducing the ongoing greenhouse gas emissions associated with landfills throughout the operation of the building.
PROJECT LOCATION- The site is located in the city centre in close proximity to the Canada Line Brighouse Station with multiple bus lines in the area, coupled with ease of access to services and activities thereby reducing the dependency on automobiles and vehicle trips.
MATERIAL SELECTION- A preference will be given to building materials with recycled /regional content which will reduce the embodied energy and greenhouse gas emissions associated with their manufacturing and transportation.

(1) BUILDING ORIENTATION _The long sides of the slab buildings are arranged in the north/south direction limiting the impact of southern sun exposure. The tower is positioned at the north-west corner of the property to reduce site shadowing onto the No. 3 Rd sidewalk and the 16,600 sq ft elevated Level 5 common outdoor areas. With this configuration the Level 5 outdoor area receives considerable solar access for a significant part of the day year round. This ensures the common area remains an inviting destination for residents.

(5) FACADE STRATEGY _The envelope response varies between north, south, east and west orientations for the building. Each exposure aims to address solar considerations individually within the 50:50 window to wall ratio. Deep recessed balconies, and large projecting balconies limit solar impact within the units along with the high performing envelope.

(8) FACADE MATERIALS _The material palette proposes robust materials with a high life expectancy, the ability to age, a considerably low cost of maintenance and locally appropriate in terms of weather and context.

(10) RESIDENTIAL UNIT CONDITIONING _All residential units are equipped with high performing heat pumps (heating + cooling), as well as manually operable windows, allowing the owner to manipulate the room climate + fresh air, according to their personal needs.

(12) TRANSPORTATION/BUILDING ACCESS _The project is situated 1 block south of the Brighouse Station on No. 3 Rd. A strong emphasis has been placed on the design to encourage residents and workers to limit the reliance on the automobile. The majority of the bicycle rooms have been located on level 1 and form part of the building entry sequence. Portions of the rooms are proposed to be fully visible with glazed walls and are to be highly secure along with bike repair areas and end of trip facilities for the office and retail workers. Three car share spaces have been provided along with a discounted Transit Pass program for residents. Parking ratios have been reduced according to the city proposed reductions and Residential Visitor and Commercial spaces are shared between the two uses. The project includes 20% of parking to be equipped with charging stations.

(2) FLOODPLAIN LEVEL _ The site falls into Area "A" of the Flood Construction Level Designation and requires that liveable areas be constructed to a 2.9m elevation level. The ground level retail uses are to be constructed at an elevation .3m above the highest curb level which is set at 1.89m. All mechanical service rooms and residential units are proposed to be above the minimum 2.9m elevation.

(11) (OUTDOOR COMMON AREA _The 16,600 sq ft common area on level 5 is key to the project as it provides an elevated ground plane that connects all aspects of the project together. All residents have access to this multi-programmed area which offers wide open gathering areas, children's play areas, quiet contemplative areas, sheltered seasonal areas and serves to connect the tower building to the eastern slab building. While inaccessible to residents, a level 4 "tree grove" compliments the level 5 outdoor area and buffers the noise generated on No. 3 Rd while providing screening from the future elevated Canada Line guideway if that ever proceeds.

(13) WATER MANAGEMENT _A significant portion of the site is covered by landscaped roofs and planted areas. These planted areas retain rainwater thereby delaying the flow and quantity of water runoff that would otherwise be directed to the municipal storm system. A high efficiency irrigation system is being proposed for planted areas.

(4) WINDOW TO WALL RATIO _The overall window to wall ratio is targeting a 50:50 ratio. Each elevation varies to address views and solar considerations with the intent to improve livability and reduce the reliance on the mechanical systems.

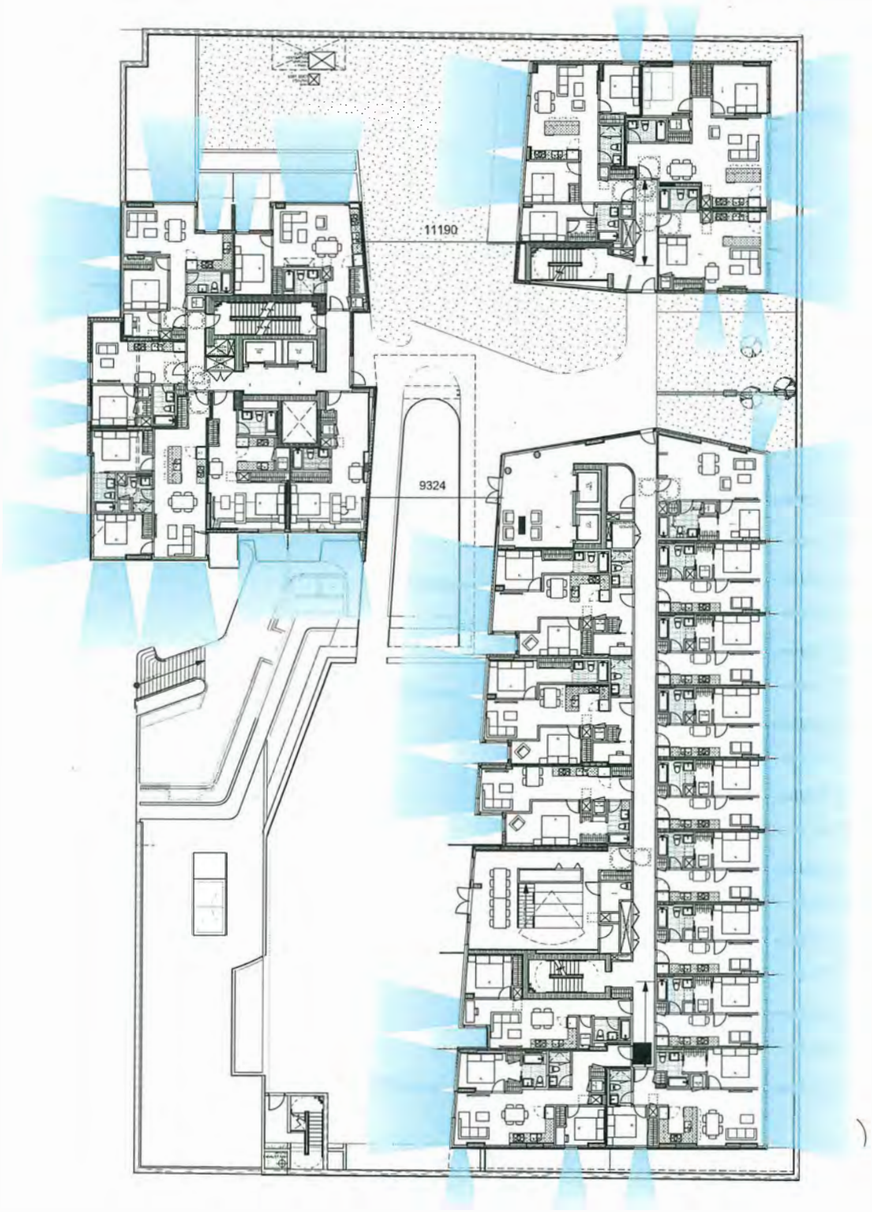
(6) ENVELOPE _The envelope of the entire building is designed to provide an airtight building envelope with improved insulation, double glazed windows and comfort levels compliant with ASHRAE 55-2004.

(7) PLANTING _The landscape strategy thoughtfully considers planting native pollinator friendly species and drought resistant plants. Landscaping is carried throughout the project to unify the outdoor areas of the building. Cascading landscaped planters and a cable vine structure line the entry plaza and extend from level 2 to level 4.

(3) BALCONIES _Large 2m deep balconies are proposed. Some balconies are projecting from the façade while others are recessed to help to define different areas of the building and to aid in the solar shading strategy for the project. The lower 4 stories of the slab building uses projecting balconies to engage the Level 5 outdoor areas and street level activities while the upper residential block relies on more sheltered recessed balconies.

(9) SOCIAL SUSTAINABILTY _The primary organizing element of the building complex is the arrangement of uses around the No. 3 Rd plaza and main lobby areas in order to encourage social opportunities within the building. The lobby is positioned central to the site long No. 3 Rd and becomes a place where the distinct office, residential (rental and market), and parking uses collect and enter/exit the building. This is core to the project as it creates a great deal of activity and energy about this point. The level 2 restaurant patio and entry are accessed here with the level 4 office patio and level 5 residential outdoor amenity overlooking this space. This area is demarcated by the deep recess in the No. 3 Rd façade with the planted wall and level 4 tree grove linking these areas to one another and back to the street level.
The 2 storey indoor amenity area is situated adjacent to the 16,600 sq ft level 5 outdoor amenity and is central to creating opportunities for residents to cross paths and engage with their neighbours. Elevator lobbies, exit stairs and common corridors feature glazing and views to provide additional moments for resident interactions. Overall we are building a community, encouraging residents to meet and have casual conversations.

Reference Plan - DP 16-754761
2018.12.18



Privacy Analysis

The residential units have been designed to maximize solar exposure, while maintaining a 50/50 window to wall ratio. The orientation of the suites aims to minimze any chance of overlook or privacy issues between neighbours.

The tower is North - South oriented, with additional Western exposure. The Northern suites have the advantage of mountain views, while the Southern Units look onto the outdoor shared green space and tree grove. The East side of the tower is intentionally solid to allow privacy for the suites in the adjacent building.

The midrise building focuses it's openings in the East-West direction. This both maximizes sun exposure and reduces privacy conflicts with the tower.

City of Richmond

Report to Development Permit Panel

To:	Development Permit Panel	**Date:**	December 18, 2018
From:	Wayne Craig Director, Development	**File:**	DP 18-832285
Re:	**Application by Aplin & Martin Consultants Inc. for a Development Permit at 8140 Garden City Road**		

Staff Recommendation

That a Development Permit be issued which would permit exterior renovations to the existing drive-through restaurant at 8140 Garden City Road on a site zoned "Community Commercial (CC)."

Wayne Craig
Director, Development
(604-247-4625)

WC:jr
Att. 2

Staff Report

Origin

Aplin & Martin Consultants Ltd., on behalf of Farrell Estates Ltd., has applied to the City of Richmond for permission to undertake exterior renovations to the existing drive-through restaurant at 8140 Garden City Road on a site zoned "Community Commercial (CC)." The proposed renovation would affect the building located on the southwest corner of the property. A location map is provided in Attachment 1.

There is no rezoning application associated with this Development Permit application.

Development Information

The subject site is Garden City Shopping Centre, a 32,575 m^2 property which contains several commercial buildings and surface parking. The applicant proposes to undertake renovations to the exterior of one building, which is located on the southwest corner of the site. The renovations reflect a new corporate brand standard. No changes to other buildings on the site are proposed.

The existing single-storey commercial building contains two commercial retail units (CRU); one of which is the subject drive-through restaurant (Attachment 2). The original Development Permit for this building was issued by Council on June 22, 2009 (DP 08-429636). The applicant proposes exterior changes only, with no changes to the existing landscaping, site circulation, or parking arrangement. No changes to the adjoining CRU are proposed.

Background

Development surrounding the subject site is generally as follows:

- To the north, across Blundell Road: A pub on a property zoned "Pub & Sales (CP2)," and townhouses on lots zoned "Town Housing (ZT46) – South McLennan and Brighouse Village (City Centre)" and "Town Housing (ZT51) – South McLennan Sub-Area (City Centre)."
- To the east, across Heather Street: Townhouses on a lot zoned "Low Density Townhouses (RTL1)," and single-family dwellings on lots zoned "Single Detached (RS1/E)" and "Single Detached (RS2/A)."
- To the south, across Dixon Avenue: Townhouses on lots zoned "Town Housing (ZT20) – Granville Avenue (Terra Nova) and Dixon Avenue (Ash Street Sub-Area)," "Low Density Townhouses (RTL1)," and "Low Density Townhouses (RTL2);" and single-family dwellings on lots zoned "Single Detached (RS1/B)" and "Single Detached (RS1/C)."
- To the west, across Garden City Road: A commercial building on a lot zoned "Neighbourhood Commercial (CN);" townhouses on lots zoned "Low Density Townhouses (RTL1);" and a single-family dwelling on a lot zoned "Single Detached (RS1/E)."

Staff Comments

The limited scope of the proposed exterior alterations will neither significantly impact the overall existing form of the Garden City Shopping Centre, nor result in an increase in net floor area. Further, the proposed exterior alterations will not introduce any variances to the existing zoning.

Advisory Design Panel Comments

The proposed exterior alterations are limited in scope and will not impact the overall form, massing or site plan of the existing building. Therefore, it was not presented to the Advisory Design Panel for review and comment.

Analysis

Conditions of Adjacency

- The existing building is located in the southwest corner of the site, across the street from residential uses.
- The existing perimeter landscaping has been maintained at a sufficient height to block vehicle headlights as they circulate on site. No changes to the landscaping are proposed.
- The rooftop mechanical equipment and existing screens will be retained in place. The screens will be repainted to match the proposed colour scheme of the building.
- The proposed white colour scheme with brown and orange trim is more consistent with the surrounding commercial centre than the existing yellow and orange design.

Urban Design and Site Planning

- Site planning, pedestrian movement through the site, and vehicle circulation were reviewed and approved through the Development Permit issued in 2009. Staff are satisfied that the existing condition remains consistent with current urban design guidelines. No changes are proposed.

Architectural Form and Character

- The existing building is clad primarily in stucco painted yellow and brown. Architectural projections above the roofline highlight the building entrances and drive-through pick-up window.
- The proposed renovations would remove the architectural projections and add new fibre cement cladding over top of the existing stucco.
- In areas without new cladding, the existing stucco will be repainted white.
- A signature "boomerang" feature will be added to highlight the roof line. This feature is proposed to be backlit by indirect light. Light fixtures pointed at the building face will provide illumination.
- Changes to the business signage, including both building-mounted signs and a free-standing pylon sign, are proposed, and will be subject to separate permits under Richmond Sign Regulation Bylaw 9700.

Landscape Design and Open Space Design

- Staff conducted a site visit and have determined that the landscaping approved through the previous Development Permit has been maintained in good condition. Therefore, no changes to the landscaping or outdoor spaces are proposed.

Crime Prevention Through Environmental Design

- The proposed exterior renovations will have a limited impact on CPTED principles. Exterior lighting and building glazing will be maintained to provide adequate visibility of the site.

Conclusions

As the proposed development would meet applicable policies and Development Permit Guidelines, staff recommend that the Development Permit be endorsed, and issuance by Council be recommended.

Jordan Rockerbie
Planning Technician
(604-276-4092)

JR:blg

Prior to future Building Permit issuance, the developer is required to complete the following:

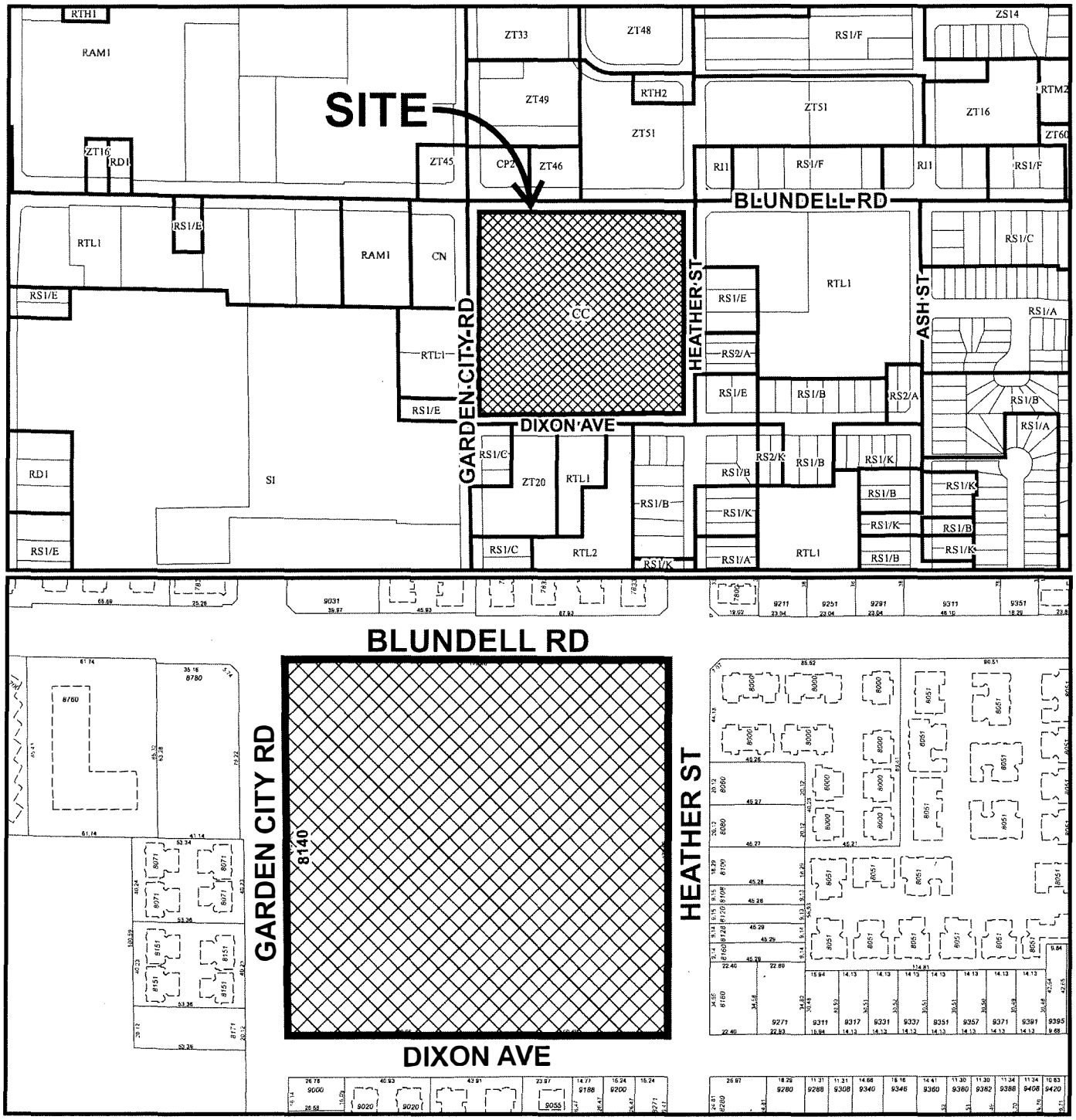
- The applicant is required to obtain a Building Permit for any construction hoarding associated with the proposed development. If construction hoarding is required to temporarily occupy a street, or any part thereof, or occupy the air space above a street or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. *For further information on the Building Permit, please contact Building Approvals Department at 604-276-4285.*
- Submission of a construction traffic and parking management plan to the satisfaction of the City's Transportation Department (http://www.richmond.ca/services/ttp/special.htm).

Attachments:

Attachment 1: Location Map and Aerial Photo
Attachment 2: Existing Condition

ATTACHMENT 1

City of Richmond



DP 18-832285

Original Date: 09/13/18

Revision Date:

Note: Dimensions are in METRES

City of
Richmond

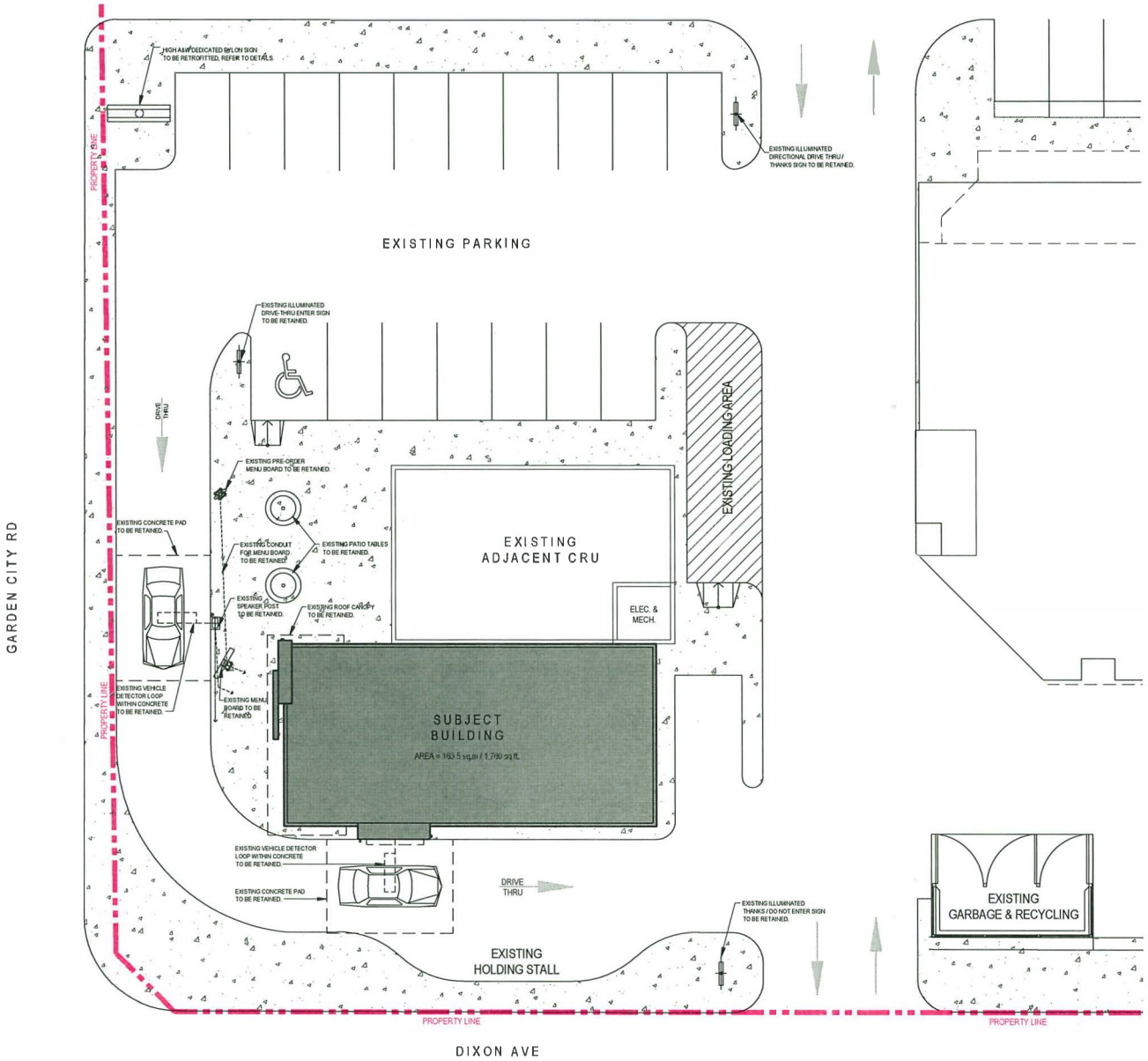
DP 18-832285

Original Date: 12/12/18

Revision Date:

Note: Dimensions are in METRES

ATTACHMENT 2



TRUE NORTH

PROJECT NORTH

1 A1.1 SITE PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. ARCHITECTURAL DRAWINGS SHALL NOT BE SCALED.
2. THE CONTRACTOR SHALL VERIFY / CONFIRM ALL DIMENSIONS, DATUMS, LEVELS AND REQUIRED CLEARANCES. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
3. VARIATIONS AND / OR MODIFICATIONS OF INFORMATION INDICATED ON THESE DRAWINGS SHALL NOT PROCEED WITHOUT WRITTEN PERMISSION / AUTHORIZATION BY THE ARCHITECT.
4. EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DRAWINGS AND / OR ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.
6. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
7. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING / FACE OF CONCRETE / MASONRY OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
8. ALL DOORS AND WINDOWS IN WOOD STUD WALL SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING. ALL WINDOWS IN CONCRETE / MASONRY WALL SHALL BE DIMENSIONS TO EDGE OF ROUGH OPENING.

APLIN MARTIN

Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9
Tel: (604) 597-9058, Fax: (604) 597-9061
Email: general@aplinmartin.com

REV	DATE	DESCRIPTION	DR	RV
1	APR 27 18	ISSUED FOR BUILDING PERMIT	AGRS	AI

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THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH CONDITIONS ON THE SITE AND IS HELD RESPONSIBLE FOR REPORTING DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT

PROJECT

A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2N9

SHEET TITLE

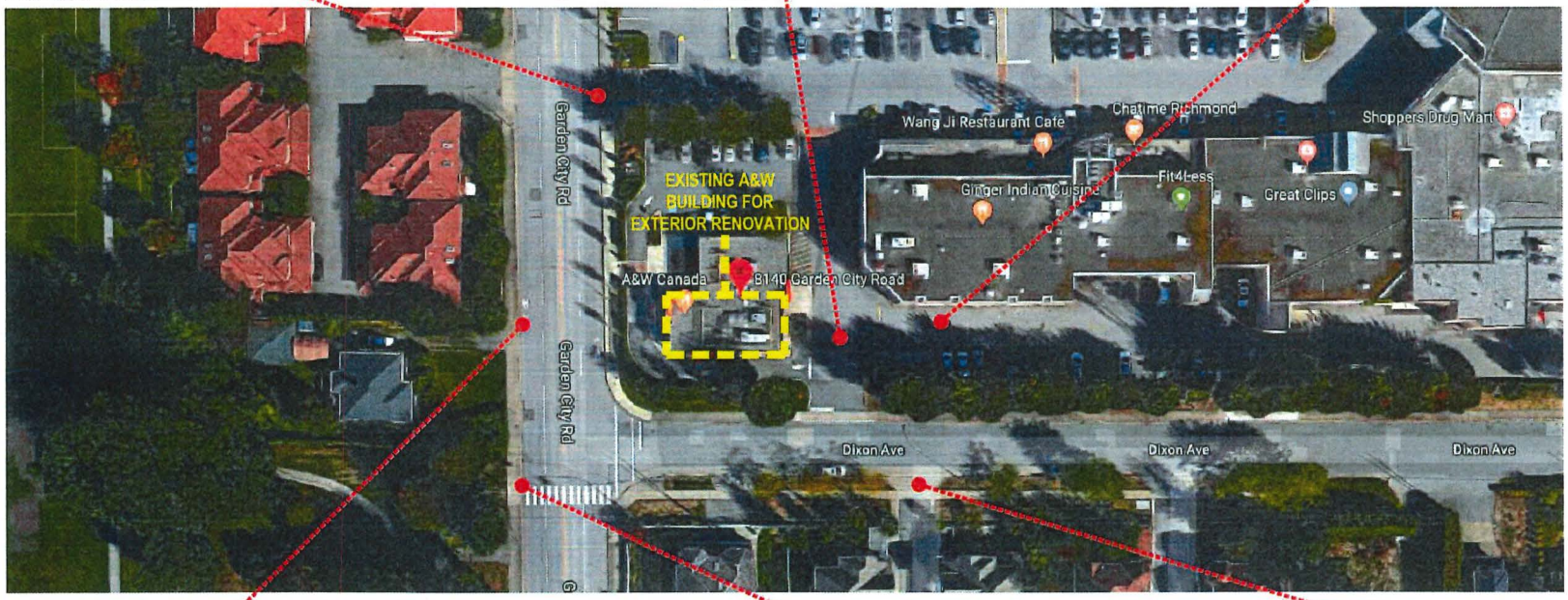
SITE PLAN

SCALE	REVISION
AS NOTED	1
DRAWING NO	PROJECT NO
A1.1	18-2008

COMMERCIAL COMPLEX (NORTH)

DRIVEWAY FROM DIXON AVENUE (EAST)

COMMERCIAL COMPLEX (EAST)



RESIDENTIAL TO THE WEST (GARDEN CITY ROAD)

SCHOOL YARD (SOUTH WEST)

RESIDENTIAL TO THE SOUTH (DIXON AVE)

APLIN MARTIN

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Tel: (604) 597-9058, Fax: (604) 597-9061
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NO	DATE	DESCRIPTION	DR	REV

A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

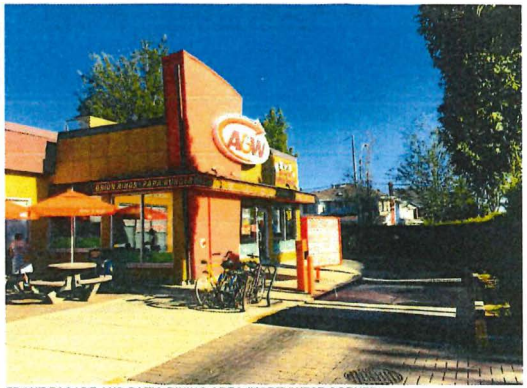
8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2K9

SITE CONTEXT PHOTOGRAPHS

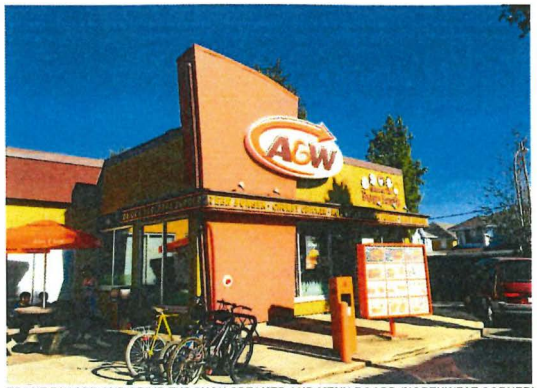
SCALE	REVISION
NTS	1
DRAWING NO	PROJECT NO
A1.2	18-2008

U:\2018\18-2008\ARCHITECTURAL\2 Production\Current Drawings\18-2008 A1.2 SITE CONTEXT PHOTOS.dwg, 07/08/2019 2:48:18 PM, AJ Cosco

ADJACENT CRU & PATIO DINING AREA (NORTHWEST CORNER)



FRONT FACADE AND PATIO DINING AREA (NORTHWEST CORNER)



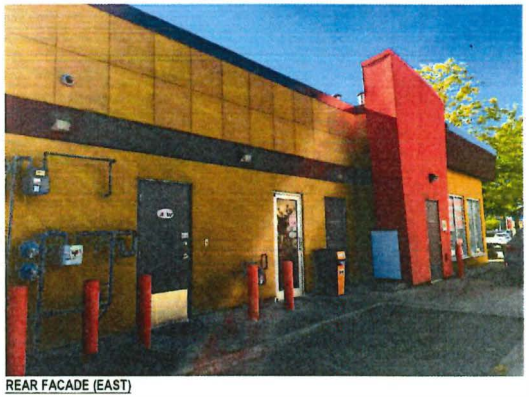
FRONT FACADE AND DRIVE-THROUGH SPEAKER AND MENU BOARD (NORTHWEST CORNER)

FRONT FACADE (SOUTHWEST CORNER)

DRIVE-THROUGH ORDER PICK-UP (SOUTHWEST CORNER)

SOUTH FACADE VIEW FROM DIXON AVE (SOUTH)

DRIVE-THROUGH EXIT AND EAST FACADE (SOUTHEAST CORNER)



REAR FACADE (EAST)

PYLON SIGN ALONG GARDEN CITY ROAD ENTRANCE (NORTHWEST)

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NO.	DATE	DESCRIPTION	DR.	RV.
1	AUG-07-18	PRICE-CHECK/REPRESENTATION	AC	AJ

PROJECT

A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

6149 GARDEN CITY RD
RICHMOND, BC
V6Y 2N5

SHEET TITLE

EXISTING CONDITIONS PHOTOGRAPHS

SCALE: NTS	REVISION: 1
DRAWING NO: A1.3	PROJECT NO: 18-2006

M:\2018\18-2006\AA ARCHITEC DRAWS\Drawings\18-2006 A1.1 EXISTING CONDITION PHOTOS.dwg, 07/08/2018 03:08 PM, ADriver

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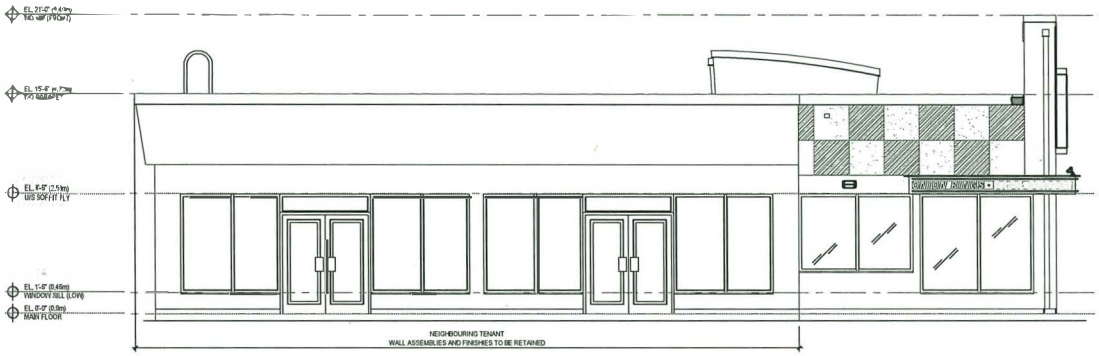
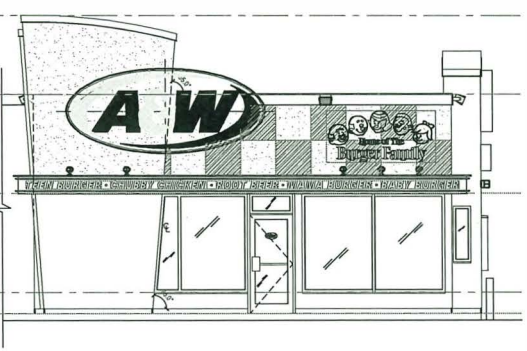
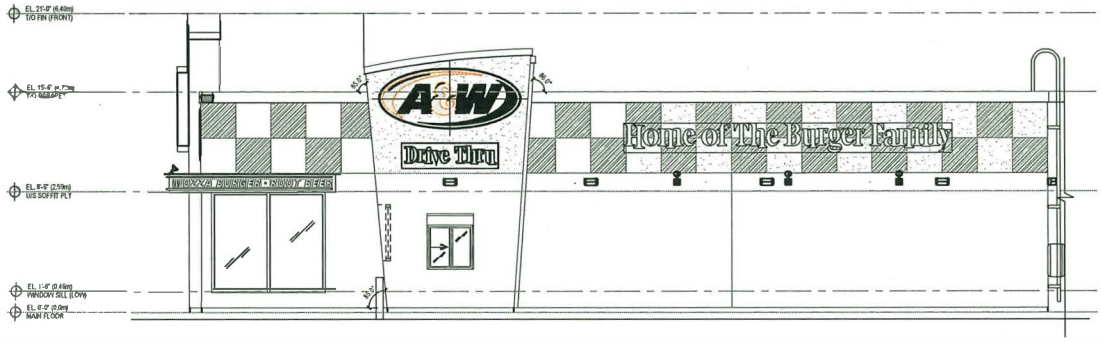


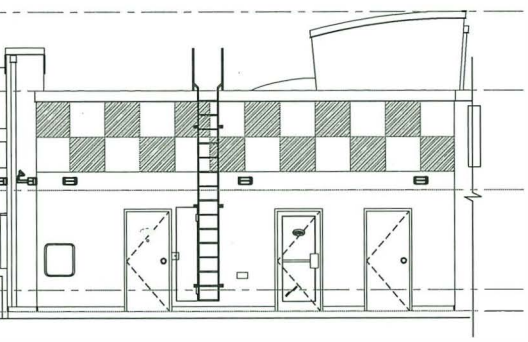
1 A4.1 EXISTING EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



2 A4.1 EXISTING EXTERIOR ELEVATION - WEST
SCALE: 1/4" = 1'-0"



3 A4.1 EXISTING EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"



4 A4.1 EXISTING EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. ARCHITECTURAL DRAWINGS SHALL NOT BE SCALED.
2. THE CONTRACTOR SHALL VERIFY / CONFIRM ALL DIMENSIONS, DATUMS, LEVELS AND REQUIRED CLEARANCES. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
3. VARIATIONS AND / OR MODIFICATIONS OF INFORMATION INDICATED ON THESE DRAWINGS SHALL NOT PROCEED WITHOUT WRITTEN PERMISSION / AUTHORIZATION BY THE ARCHITECT.
4. EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DRAWINGS AND / OR ORIGINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
5. ALL CONSTRUCTION SHALL COMPLY WITH THE APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.
6. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
7. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING / FACE OF CONCRETE / MASONRY OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION, UNLESS NOTED OTHERWISE.
8. ALL DOORS AND WINDOWS IN WOOD STUD WALL SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING. ALL WINDOWS IN CONCRETE / MASONRY WALL SHALL BE DIMENSIONS TO EDGE OF ROUGH OPENING.

REV	DATE	DESCRIPTION	DR	RV
1	APR 27 18	ISSUED FOR REZONING REVIEW	AGRS	AI

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THIS DRAWING MUST NOT BE SCALED. THE CONTRACTOR IS TO VERIFY ALL DRAWING DIMENSIONS AND DATA NOTED HEREIN WITH THE ACTUAL SITE CONDITIONS AND REPORT ANY ERRORS OR REPORTED DISCREPANCIES TO APLIN & MARTIN CONSULTANTS LTD. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNTIL SIGNED BY THE CONSULTANT

PROJECT

A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2N8

SHEET TITLE

EXISTING EXTERIOR ELEVATIONS

SCALE	REVISION
1/4" = 1'-0"	1
DRAWING NO	PROJECT NO
A4.1	18-2008

A4 (218 18-2008\AM ARCHITECTURAL\2 Production\1 Current Drawings\18-2008 A4.1 EXTERIOR ELEVATIONS - EXISTING.dwg, 27\04\2018 11:17:33 AM, AGonzalo

APLIN MARTIN

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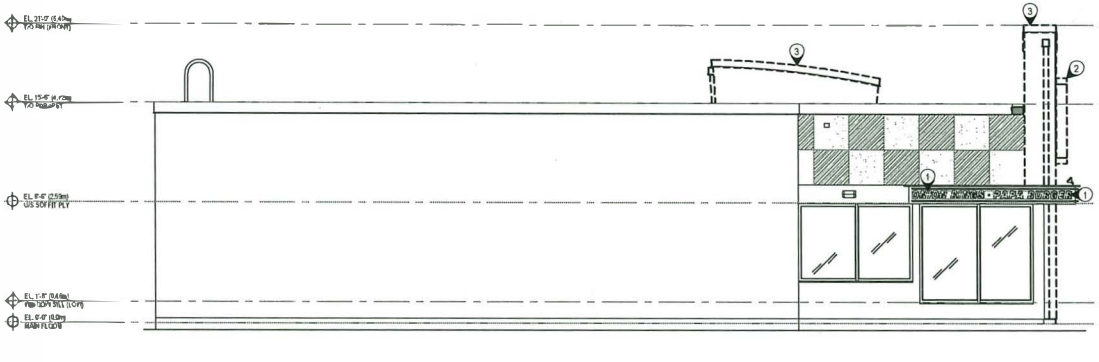
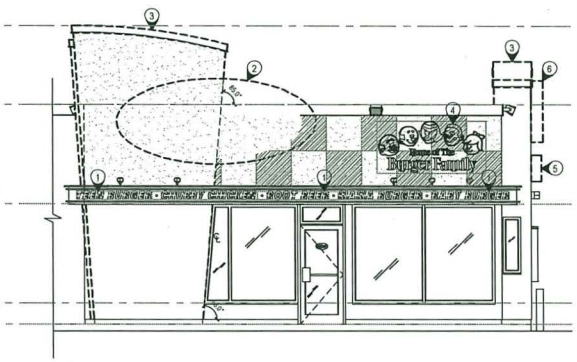
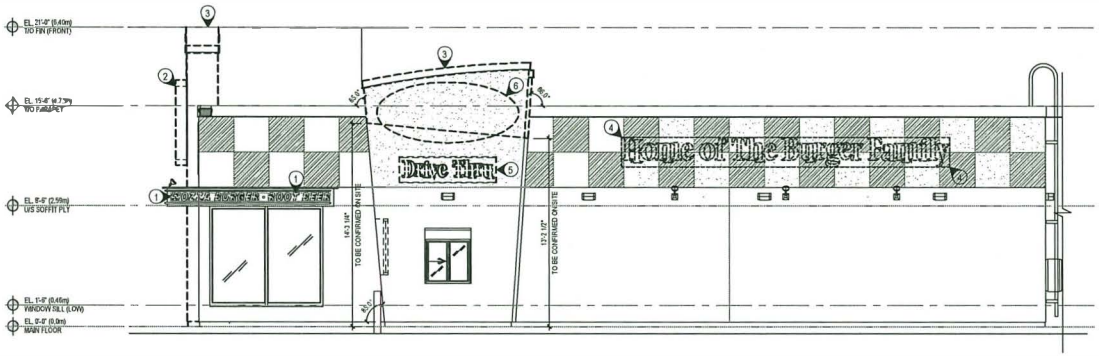


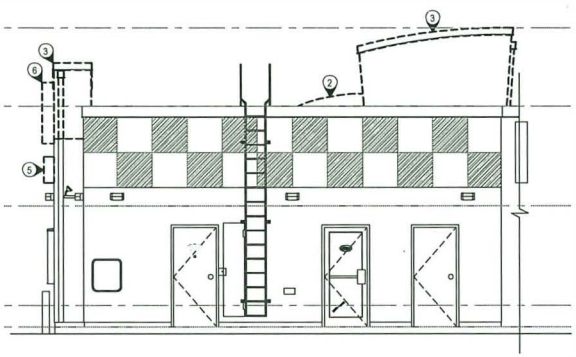
1 A4.2 EXTERIOR ELEVATION - DEMOLITION (NORTH)
SCALE: 1/4" = 1'-0"



2 A4.2 EXTERIOR ELEVATION - DEMOLITON (WEST)
SCALE: 1/4" = 1'-0"



3 A4.2 EXTERIOR ELEVATION - DEMOLITION (SOUTH)
SCALE: 1/4" = 1'-0"



4 A4.2 EXTERIOR ELEVATION - DEMOLITION (EAST)
SCALE: 1/4" = 1'-0"

DEMOLITION NOTES:

1. EXISTING SIGNS AND LIGHTS TO BE REMOVED. INSTALL NEW FLASHING, REFER TO EXTERIOR ELEVATIONS AND WALL SECTIONS.
2. EXISTING 14'-0" A&W SIGN, TO BE REMOVED AND RELOCATED. REFER TO EXTERIOR ELEVATIONS AND WALL SECTIONS.
3. EXISTING STUCCO FINISH, FLASHING AND PARAPET / WALL ASSEMBLY, TO BE REMOVED. MATCH HEIGHT OF EXISTING LOW PARAPET. PATCH AND REPAIR REMAINING SURFACES AS NECESSARY.
4. EXISTING 'HOME OF THE BURGER FAMILY' SIGN, TO BE REMOVED.
5. EXISTING DRIVE THRU SIGN, TO BE REMOVED.
6. EXISTING 10'-0" A&W LOGO, TO BE REMOVED AND RELOCATED. REFER TO EXISTING ELEVATIONS AND WALL SECTIONS

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8. ALL DOORS AND WINDOWS IN WOOD STUD WALL SHALL BE DIMENSIONED TO CENTRE OF ROUGH OPENING. ALL WINDOWS IN CONCRETE / MASONRY WALL SHALL BE DIMENSIONS TO EDGE OF ROUGH OPENING.

REV	DATE	DESCRIPTION	DR	RV
1	APR 27 18	ISSUED FOR BUILDING PERMIT	AG/RS	AI

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PROJECT

A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2N9

SHEET TITLE

EXTERIOR ELEVATIONS DEMOLITION

SCALE	REVISION
1/4" = 1'-0"	1
DRAWING NO	PROJECT NO
A4.2	18-2008

M:\2018\18-2008\AM\ARCHITECT\RUN\2 Production\1 Current Drawings\18-2008 A4.2 EXTERIOR ELEVATIONS - DEMOLITION.dwg, 27/04/2018 11:24:59 AM, AGassoso

City of Richmond

Development Permit

No. DP 18-832285

To the Holder:	APLIN & MARTIN CONSULTANTS INC.
Property Address:	8140 GARDEN CITY ROAD
Address:	1680 - 13450 102 AVENUE SURREY, BC V3T 5X3

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #2 attached hereto.
4. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse.
5. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

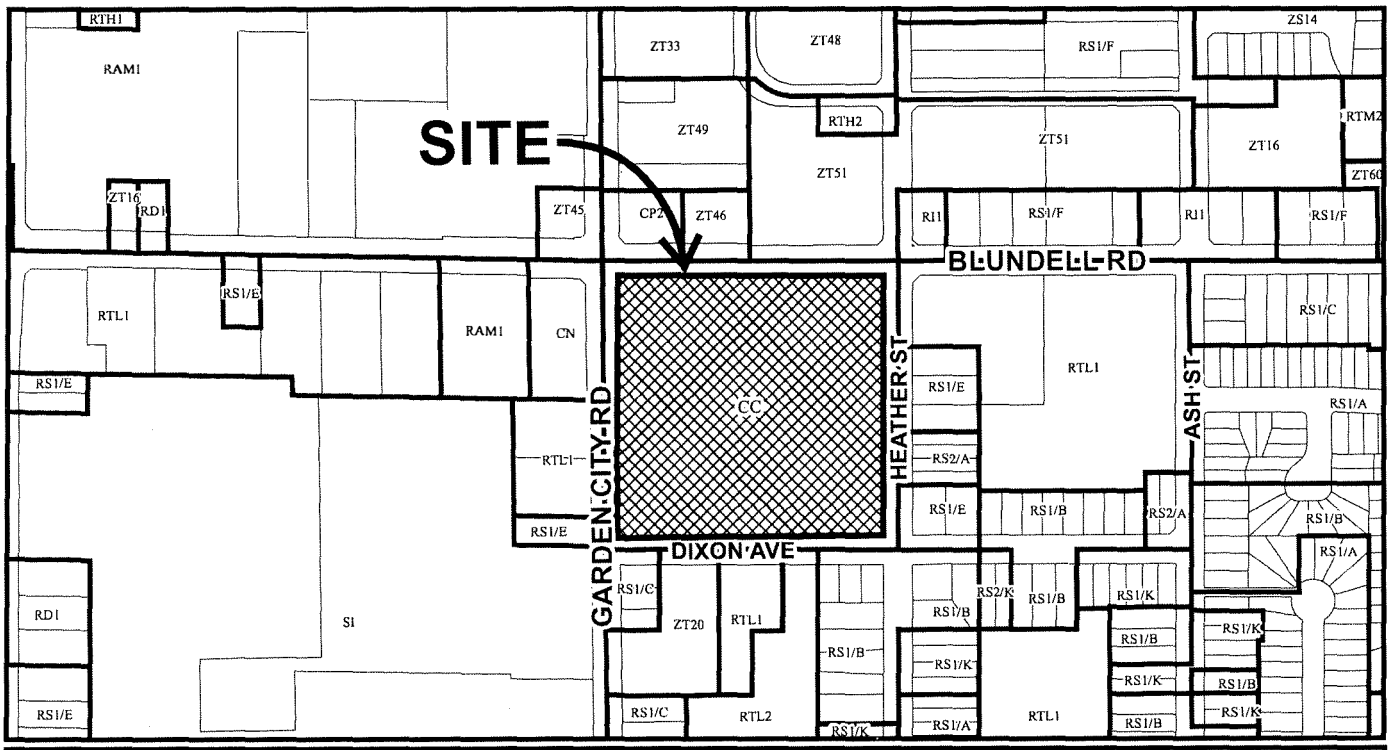
   This Permit is not a Building Permit.

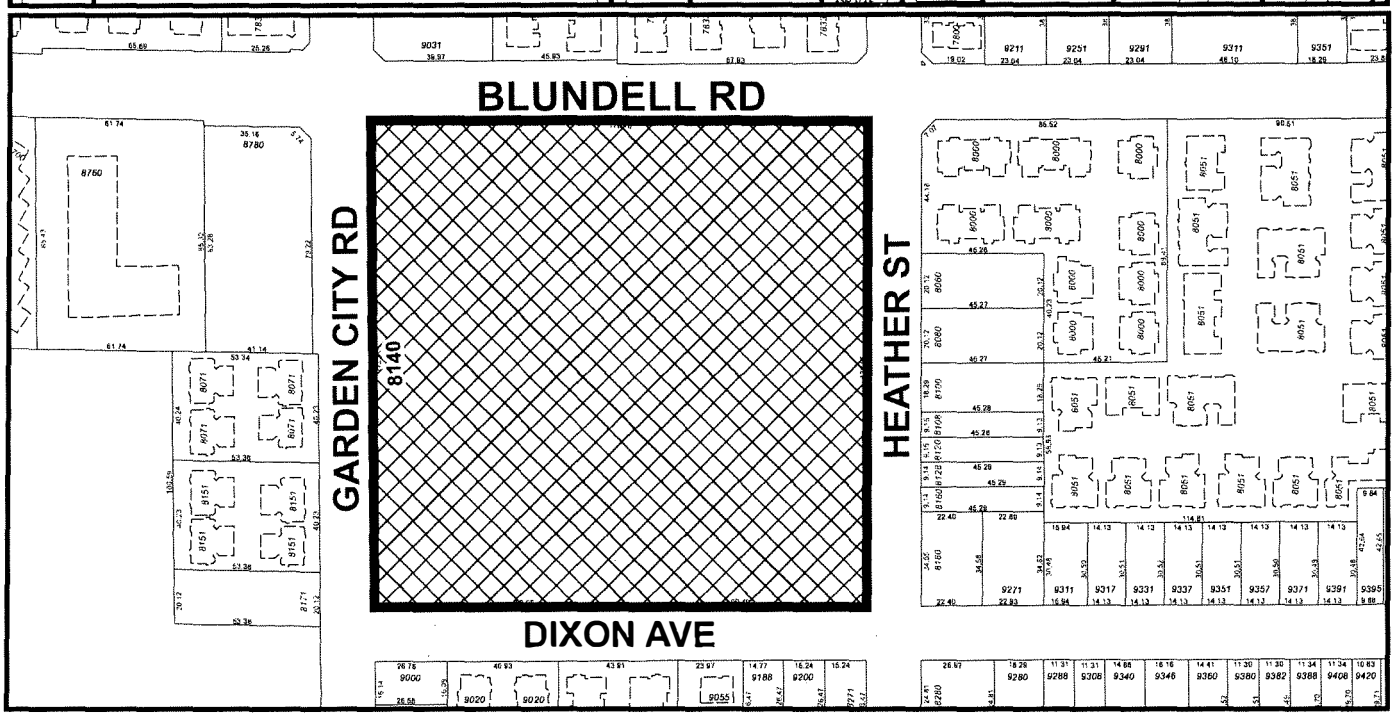
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR

City of Richmond





DP 18-832285
SCHEDULE "A"

Original Date: 09/13/18

Revision Date:

Note: Dimensions are in METRES

APLIN MARTIN
Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9
Tel: (604) 597-9058, Fax: (604) 597-9061
Email: general@aplinmartin.com

A&W RESTAURANT GARDEN CITY

8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2N9

GENERAL NOTES

ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE CODES AS ADOPTED AND AMENDED BY THE AUTHORITY HAVING JURISDICTION.

THESE DRAWINGS ARE SUPPLIED TO THE CONTRACTOR AND OTHERS FOR THEIR USE FOR THIS SPECIFIC PROJECT. ALL COPIES OF THESE DRAWINGS SHALL REMAIN THE PROPERTY OF APLIN & MARTIN AND SHALL NOT BE REUSED OR REPRODUCED WITHOUT PERMISSION OF APLIN & MARTIN.

THE ORGANIZATION OF DOCUMENTS ARE NOT INTENDED TO CONTROL THE DIVISION OF WORK. DIVISION OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

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DIMENSIONS ARE TO FACE OF STUD, FACE OF MASONRY, FACE OF CONCRETE OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION UNLESS OTHERWISE NOTED.

CONTRACTOR SHALL VERIFY DIMENSIONS, REQUIRED CLEARANCES, AND POWER AND PLUMBING REQUIREMENTS FOR ALL OWNER AND NIC ITEMS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK

EXISTING CONDITIONS SHOWN ARE BASED ON RECORD DRAWINGS AND /OR OR GINAL CONSTRUCTION DRAWINGS. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.

ALL CONSULTANTS' AND ARCHITECT'S DRAWINGS AND SPECIFICATIONS ARE TO BE READ IN CONJUNCTION WITH EACH OTHER.

CONTRACTOR TO KEEP AS-BUILT RECORDS OF CONSTRUCTION AND MAKE AVAILABLE TO THE ARCHITECT AT PROJECT CLOSE.

PROJECT DEVELOPER /GENERAL CONTRACTOR

INTERNATIONAL INVESTMENTS INC.
6 - 2054WHATCOMROAD
ABBOTSFORD, BC V3G 2K8
CONTACT: AHSAN SADEALI
604 451-0797
ahsan@prudentmanagement.ca

ARCHITECTURAL:

APLIN & MARTIN LTD.
SUITE 1680- 13450 102 AVENUE
SURREY, BC V3T 5X3
CONTACT: ANDY IGEL, ARCHITECT AIBC
604-639-3456 x107
aigel@aplinmartin.com

SHEET DIRECTORY

ARCHITECTURAL:

A0.0 COVER SHEET
A1.1 SITE PLAN
A2.1 EXISTING FLOOR PLAN
A4.1 EXTERIOR ELEVATIONS - EXISTING
A4.2 EXTERIOR ELEVATIONS - DEMOLITION
A4.3 EXTERIOR ELEVATIONS - PROPOSED
A4.4 EXTERIOR ELEVATIONS - PROPOSED
A4.5 EXTERIOR ELEVATIONS - COLOURED
A4.6 PYLON SIGN ELEVATIONS
A6.1 WALL SECTIONS
A6.2 WALL SECTIONS

CONTRACT REQUIREMENTS

CORRESPONDENCE:
ALL CORRESPONDENCE MUST GO THROUGH THE ARCHITECT SO THAT ALL INFORMATION RELATIVE TO THE PROJECT CAN BE PROPERLY DOCUMENTED, COORDINATED AND TRACKED. ANY PERTINENT CORRESPONDENCE NOT INCLUDING THE ARCHITECT SHALL BE SUBMITTED TO THE ARCHITECT IN THE FORM OF WRITTEN MEETING MINUTES.
RFI'S (REQUEST FOR INFORMATION)
ANY QUESTIONS / CLARIFICATIONS REQUIRED BY THE CONTRACTOR SHALL BE SUBMITTED IN WRITING (EMAIL) TO THE ARCHITECT IN THE FORM OF A RFI (REQUEST FOR INFORMATION).
CONTRACTOR SHALL NUMBER HISHER RFI'S SEQUENTIALLY AND INCLUDE ANY SUB-CONTRACTOR RFI'S WITHIN THEIR NUMBERING SYSTEM. SEPARATE SUB-CONTRACTOR RFI'S FORWARDED DIRECTLY TO THE ARCHITECT WILL NOT BE ACCEPTED. THE ARCHITECT MAY ALSO ASK QUESTIONS/CLARIFICATIONS FROM THE CONTRACTOR IN THE FORM OF A RFI
ASI'S (ARCHITECTURAL SUPPLEMENTAL INFORMATION)
THE ARCHITECT MAY SUBMIT ADDITIONAL DESIGN INFORMATION DURING THE COURSE OF CONSTRUCTION IN THE FORM OF AN ASI. IF THE CONTRACTOR BELIEVES THE ADDITIONAL INFORMATION CONSTITUTES A CHANGE IN PROJECT COST OR TIME, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.
ASK'S (ARCHITECTURAL SKETCHES)
ARCHITECTURAL SKETCHES MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION. THEY WILL ACCOMPANY RFI'S, ASI'S, PCO'S OR CO'S (CHANGE ORDERS) BUT WILL NOT BE ISSUED ON THEIR OWN. SIMILARLY STRUCTURAL SSK, MECHANICAL MSK OR ELECTRICAL ESK... MAY BE ISSUED.

PROGRESS DRAWS:
PROGRESS DRAW APPLICATIONS SHALL BE SUBMITTED TO THE ARCHITECT PER THE REQUIREMENTS OF THE CCDC2 CONTRACT.

CHANGES:
CHANGES IN THE PROJECT WILL BE ISSUED AS A:
CO (CHANGE ORDER)
CD (CHANGE DIRECTIVE)
PROPOSED CHANGES WILL BE INITIATED BY THE ARCHITECT FOR THE CONTRACTOR TO PRICE AND WILL BE ISSUED AS A:
PCO (PROPOSED CHANGE ORDER)

SUBMITTALS:
EMAIL SUBMITTALS ARE ACCEPTABLE AND ENCOURAGED. CONTRACTOR TO IDENTIFY LONG LEAD ITEMS AT START OF PROJECT. TURN AROUND TIME FOR SUBMITTAL REVIEWS BY THE ARCHITECT SHALL BE MAXIMUM 5 DAYS UNLESS OTHERWISE AGREED. ARCHITECT WILL SUPPLY THE CONTRACTOR WITH A LIST OF SUBMITTALS AT THE CONSTRUCTION KICK-OFF MEETING

SCHEDULES:
CONTRACTOR TO KEEP A CURRENT CONSTRUCTION SCHEDULE AND MAKE AVAILABLE TO THE ARCHITECT...GANTT CHARTS ARE PREFERRED

MEETING MINUTES:
CONTRACTOR TO KEEP MEETING MINUTES OF ALL CONSTRUCTION MEETINGS INCLUDING MEETINGS WHERE THE ARCHITECT IS NOT PRESENT. MINUTES TO BE EMAILED TO PROJECT TEAM WITHIN 3 DAYS.
RECORD DWGS (AS-BUILTS):
THE CONTRACTOR SHALL KEEP A RECORD OF ALL AS-BUILT CONDITIONS AND MAKE AVAILABLE TO THE CONSULTANT AT PROJECT CLOSE. ALL UNDERGROUND PIPING, CONDUITS... SHALL BE DIMENSIONED TO GRIDLINES OR SUITABLE REFERENCE POINTS.

INSPECTIONS:
AT CONSTRUCTION COMMENCEMENT THE CONTRACTOR SHALL CONTACT THE CITY INSPECTOR TO DETERMINE WHAT INSPECTIONS HE/SHE WILL REQUIRE TO PERFORM DURING THE COURSE OF THE PROJECT (REQUIREMENTS DIFFER FROM JURISDICTION TO JURISDICTION).
THE CONTRACTOR SHALL THEN BE RESPONSIBLE FOR NOTIFYING THE CITY INSPECTOR WHEN THE WORK IS READY TO BE INSPECTED (USUALLY ONE DAY BEFORE THE REQUIRED INSPECTION – CONFIRM WITH JURISDICTION). THE CONSULTANT SHALL ALSO BE NOTIFIED AT SUCH TIMES (IN WRITING / EMAIL). ALL INSPECTOR CERTIFICATES SHALL BE FILED BY THE CONTRACTOR AND HANDED OVER TO THE CONSULTANT AT SUBSTANTIAL COMPLETION.

SUBSTANTIAL COMPLETION:
SUBSTANTIAL COMPLETION WALK-THRU SHALL BE SCHEDULED MINIMUM 1 WK PRIOR TO PROJECT COMPLETION/CLIENT MOVE-IN. THIS WILL ALLOW ADEQUATE TIME TO CORRECT ALL DEFICIENCIES. ARCHITECT WILL PREPARE A DEFICIENCY LIST AT TIME OF FINAL WALK-THRU AND DISTRIBUTE.
CONTRACTOR TO HAND OVER ALL REQUIRED FINAL DOCUMENTATION TO THE ARCHITECT AT FINAL WALK-THRU

LOCATION PLAN

PROPERTY INFORMATION

ADDRESS: 8140 GARDEN CITY RD
RICHMOND, BC

LEGAL DESCRIPTION: LOT B SECTION 22
BLK 4N RG5W
PL BCP41215

PID: 027-939-553

REV	DATE	DESCRIPTION	DR	RV
1	APR.27.18	ISSUED FOR BUILDING PERMIT	AGRS	AI

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PROJECT:
A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2N9

SHEET TITLE:
COVER SHEET

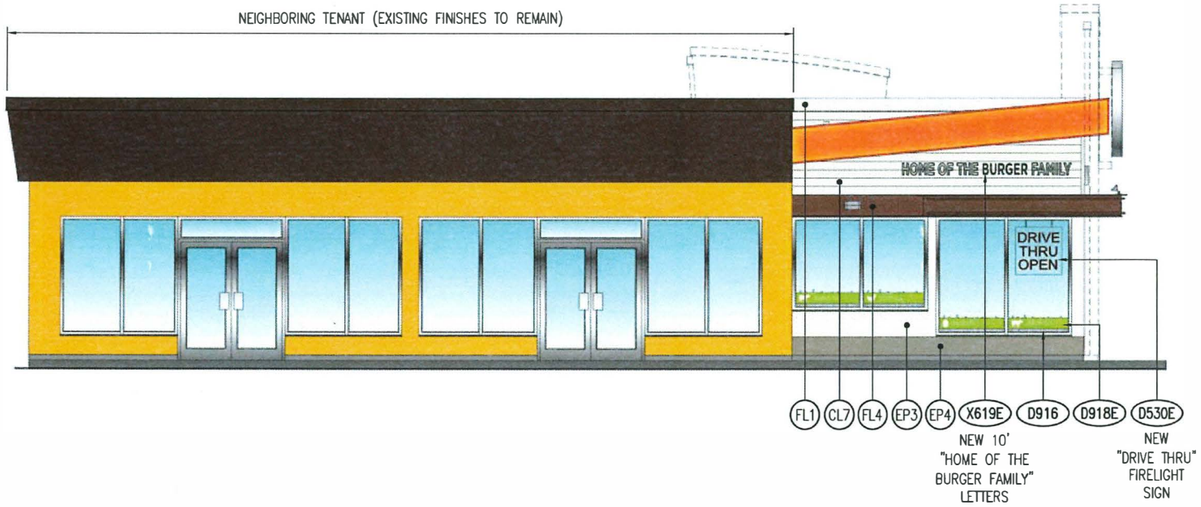
SCALE	REVISION
AS NOTED	1
DRAWING NO.	PROJECT NO.
A0.0	18-2008

M:\2018\18-2008\AM ARCHITECTURAL\2 Production\1 Current Drawings\18-2008 A0.0 COVER SHEET.dwg, 27/04/2018 11:14:10 AM, AGscosso

DP 18-832285

PLAN 1A

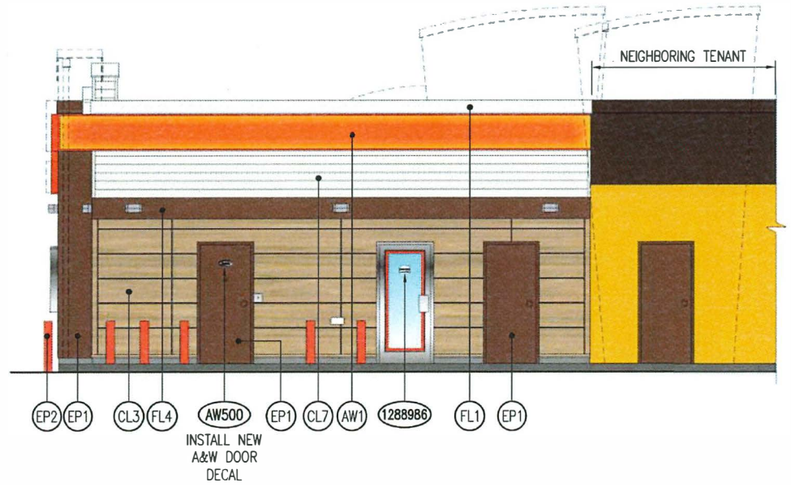
APLIN MARTIN
Aplin & Martin Consultants Ltd.
201 - 12448 82 Avenue, Surrey, B.C. V3W 3E9
Tel: (604) 597-9058, Fax: (604) 597-9061
Email: general@aplinmartin.com



1 A4.5 PROPOSED EXTERIOR ELEVATION - NORTH
SCALE: NTS

2 A4.5 PROPOSED EXTERIOR ELEVATION - WEST
SCALE: NTS

3 A4.5 PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE: NTS



4 A4.5 PROPOSED EXTERIOR ELEVATION - EAST
SCALE: NTS

REV	DATE	DESCRIPTION	DR	RV
2	AUG 07, 18	ISSUED FOR DEVELOPMENT PERMIT	RS/AG	AI
1	APR. 27, 18	ISSUED FOR BUILDING PERMIT	RS/AG	AI

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PROJECT:
A&W RESTAURANT
GARDEN CITY
EXTERIOR RENOVATION

8140 GARDEN CITY RD
RICHMOND, BC
V6Y 2N9

SHEET TITLE:
COLOURED EXTERIOR ELEVATIONS

SCALE	REVISION
NTS	1
DRAWING NO.	PROJECT NO.
A4.5	18-2008

M:\2018\18-2008\AH ARCHITECTURAL\2 Production\1 Current Drawings\18-2008 A4.5 EXTERIOR ELEVATION - COLOURED.dwg, 07/08/2018 4:44:18 PM, AGososso

DP 18-832285

PLAN 2C