



Development Permit Panel

Council Chambers

Wednesday, January 15, 2014

3:30 p.m.

1. Minutes

Motion to adopt the minutes of the meeting of the Development Permit Panel held on Thursday, December 12, 2013.



2. Development Permit 12-617455

(File Ref. No.: DP 12-617455) (REDMS No. 4103774)

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 6511 No. 2 Road (formerly 6471, 6491, 6511 No. 2 Road)

Manager's Recommendations

That a Development Permit be issued which would permit the construction of 15 townhouses at 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road) on a site zoned "Low Density Townhouses (RTL4)".



3. Development Permit DP 13-634111

(File Ref. No.: DP 13-634111) (REDMS No. 4049474 v4)

APPLICANT: Integra Architecture Inc.

PROPERTY LOCATION: 6511 Buswell Street

Manager's Recommendations

That a Development Permit be issued which would:

ITEM

1. *permit the construction of a 15-storey mixed use (residential/commercial) tower at 6511 Buswell Street on a site zoned “Downtown Commercial (CDT1)”;* and
2. *vary the provisions of Richmond Zoning Bylaw 8500 to reduce the residential parking rate from the standard City-wide parking rate to the City Centre Zone 1 parking rate.*



4. Development Permit DP 13-641796
(File Ref. No.: DP 13-641796) (REDMS No. 4013268 v10)

APPLICANT: Townline Gardens Inc.

PROPERTY LOCATION: 10820 No. 5 Road

Manager’s Recommendations

That a Development Permit be issued which would:

1. *permit the construction of a 5-storey, mixed-use commercial and residential building (Building D – ‘The Camellia’) at 10820 No. 5 Road on a site zoned “Commercial Mixed Use (ZMU18) – The Gardens (Shellmont)”;* and
2. *vary the provisions of the Richmond Zoning Bylaw 8500 to reduce the parking rate for rental housing units from 1.7 spaces per residential unit (1.5 spaces for residents plus 0.2 spaces for visitors) to 1.2 spaces per residential unit (1.0 spaces for residents plus 0.2 spaces for visitors).*



5. Development Permit DP 13-642725
(File Ref. No.: DP 13-642725) (REDMS No. 4071535 v1)

APPLICANT: Amela Brudar - GBL Architects

PROPERTY LOCATION: 8888 Patterson Road

Manager’s Recommendations

That a Development Permit be issued which would:

1. *permit the construction of the second phase of a five-phase, residential development at 8888 Patterson Road on a site zoned “High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)” for a high-rise building containing 246 market dwellings and 17 affordable housing units (to be secured via a Housing Agreement), together with publicly-accessible open space and park; and*

ITEM

2. *vary the provisions of Richmond Zoning Bylaw 8500 to:*
- (a) *reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m; and*
 - (b) *increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.*



6. **New Business**

7. **Date Of Next Meeting: Wednesday, January 29, 2014**

8. **Adjournment**



**Development Permit Panel
Thursday, December 12, 2013**

Time: 3:30 p.m.
Place: Council Chambers
Richmond City Hall
Present: Joe Erceg, Chair
John Irving, Director, Engineering
Victor Wei, Director, Transportation

The meeting was called to order at 3:35 p.m.

1. Minutes

It was moved and seconded

That the minutes of the meeting of the Development Permit Panel held on Wednesday, November 27, 2013, be adopted.

CARRIED

2. Development Permit DP 12-617455

(File Ref. No.: DP 12-617455) (REDMS No. 3999647)

APPLICANT: Matthew Cheng Architect Inc.

PROPERTY LOCATION: 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)

INTENT OF PERMIT:

1. Permit the construction of 15 townhouses on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum ratio of tandem parking spaces from 50% to 60% of the total residential parking spaces required.

L.

Development Permit Panel

Thursday, December 12, 2013

Applicant's Comments

Matthew Cheng, Matthew Cheng Architect, Inc., provided the following details on the proposed townhouse development:

- the project is located at No. 2 Road, on the second block north of Granville Avenue;
- 15 townhouse units in two rows are proposed with a total floor area ratio (FAR) of .594;
- the front yard setback is six meters; the rear yard setback is 5.4 meters which is greater than the 4.5 meters minimum requirement as per Arterial Road Guidelines for Townhouses (OCP Bylaw 9000);
- the location of the internal drive aisle responds to the request of the owner of the property to the north of the subject site;
- the end units of the 3-storey townhouse clusters fronting No. 2 Road are stepped down from 3 to 2 ½ storeys;
- the skirt roof at the second floor of the buildings fronting the street echoes the two-storey houses in the neighbourhood;
- hip and gable roofs are also proposed to reflect the rhythm of the neighbouring roofs;
- the three 2-storey duplexes at the rear provide a smooth transition to the adjacent single family houses;
- the three trees along the west property line will be retained and incorporated into the outdoor amenity space;
- garbage and recycling enclosures are located at the driveway entrance; a covered mailbox is located behind the garbage enclosure;
- four visitor parking spaces are proposed including one accessible parking space;
- the accessible parking space is located near the entry to the development and adjacent to the convertible unit;
- a convertible unit is proposed near the amenity space and site entrance and adjacent to the accessible parking space;
- the convertible unit meets all the City requirements including the provision of space for future installation of a vertical lift;
- the proposed building materials include high quality fiber cement board and cultured stone at the base of the buildings; and
- neutral and warm colours are proposed to harmonize with the existing houses in the neighbourhood.

Denitsa Dimitrova, PMG Landscape Architects, provided the following information on the landscaping aspect of the proposed development:

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- the existing grade at the west property line will be maintained;
- each townhouse unit has its own private yard;
- low aluminum fences with gates to individual townhouse unit front doors are provided for units along No. 2 Road;
- the landscape treatment for each unit's private yard includes small shrub and grass planting;
- the children's play area on the outdoor amenity space features a play equipment intended for children two to five years old; a bench is provided for the children's caregivers; a bike rack for three bikes is also proposed;
- permeable pavers are proposed for the internal drive aisle and visitor parking spaces;
- a hedge provides visual screening for the transformer along No. 2 Road; and
- two large trees are proposed along No. 2 Road.

Panel Discussion

In response to a query from the Panel regarding the applicant's non-compliance with the current Arterial Road Guidelines (Official Community Plan Bylaw 9000) which require that end units of street fronting townhouse buildings should be stepped down to two storeys, Mr. Cheng stated that the development permit application for the subject development was submitted prior to the adoption of the current Guidelines and was therefore based on the previous Guidelines (OCP Bylaw 7100) which allowed the end units to be stepped down to 2 ½ storeys.

In response to a query from the Panel, Wayne Craig, Director of Development, advised that the current Guidelines (OCP Bylaw 9000) were adopted in November 2012.

The Chair commented that the applicant should have followed the new Guidelines considering the length of time since its adoption.

In response to a query from the Panel, Ms. Dimitrova stated that (i) a Fibar playground surface is proposed for the children's play area, (ii) the area under the trees in the lower outdoor amenity area is covered with mulch, and (iii) a spider web like climbing equipment is proposed on the children's play area.

Staff Comments

Mr. Craig advised that the applicant is proposing that (i) three trees will be retained and incorporated in the outdoor amenity space, (ii) two specimen trees will be planted along the No. 2 Road frontage, and (iii) a convertible unit will be provided in the proposed townhouse development.

Development Permit Panel

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Also, Mr. Craig commented that the requested variance to increase the maximum ratio of tandem parking spaces from 50% to 60% was submitted prior to the adoption by Council of the Bylaw amendment on tandem parking. The proposed tandem parking variance comes with (i) the proposal to provide an additional visitor parking stall, and (ii) a restrictive covenant prohibiting the conversion of the garage area into habitable space.

Correspondence

Johnny Leung, 6451 No. 2 Road (Schedule 1)

Johnny Leung, 6451 No. 2 Road, dated December 11, 2013 (Schedule 2)

Mr. Craig advised that there were two letters sent by the property owners of 6451 No. 2 Road addressed to the Panel expressing their concerns regarding (i) the requested variance on tandem parking, (ii) the potential conversion of the tandem parking space into habitable area, and (iii) the height of the proposed buildings fronting No. 2 Road, and (iv) the future development of their lot.

Gallery Comments

Amy and Johnny Leung, 6451 No. 2 Road, owners of the property which abuts the subject site to the north, spoke in opposition to the proposed development and expressed concern regarding the requested variance on tandem parking spaces, noting the absence of justification for the proposed variance. The property owners were also concerned regarding the possibility that (i) the garage area might be converted into a habitable space, and (ii) the proposed buildings might cast shadows onto the south side of their property where their landscape plantings and house windows are located.

In response to a query from the Panel, Mr. Craig advised that as a condition for approval of a tandem parking proposal, the City registers a covenant on title of the property indicating that the tandem parking space can only be used exclusively for its intended use and conversion to habitable space is prohibited.

Panel Discussion

The Panel commented about the positive elements of the project such as the retention of some existing trees on-site; however, the Panel noted that (i) the massing of the two buildings fronting No. 2 Road, i.e. Buildings A and B, need further design development, (ii) the design of the buildings is similar to the previous projects of the applicant, (iii) the end units of the two street fronting buildings appear like three storeys and do not comply with the current Guidelines, and (iv) the stairwells should be redesigned and relocated.

Also, the Panel noted the need to review the size and location of the outdoor amenity space and investigate the potential for additional play equipment.

Development Permit Panel
Thursday, December 12, 2013

Panel Decision

As a result of the discussion, the following referral was introduced:

It was moved and seconded

That DP 12-617455 be referred back to staff and staff to undertake the following:

1. *review further the design and massing of the buildings fronting No. 2 Road to ensure compliance with the current Arterial Road Guidelines for Townhouses (OCP Bylaw 9000) relating to the two-storey maximum height of the end units of the buildings;*
2. *examine further the design and location of the stairwells;*
3. *investigate the potential for additional play equipment on the outdoor amenity area; and*
4. *report back on the January 15, 2014 meeting of the Development Permit Panel.*

CARRIED

3. Development Permit 13-643519

(File Ref. No.: DP 13-643519) (REDMS No. 4031367)

APPLICANT: Christopher Bozyk Architects

PROPERTY LOCATION: 11100 Cambie Road

INTENT OF PERMIT:

1. Permit the construction of an automobile repair facility on a lot at 11100 Cambie Road on a site zoned Industrial Retail (IR1); and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) increase the maximum site coverage from 60% to 73%; and,
 - b) reduce the minimum exterior side yard setback from 3.0 metres to 1.5 metres along the Cambie Road frontage.

Applicant's Comments

Laurence Cohen, Wales McLelland Construction, provided the following information regarding the proposed development:

- it is a joint Mercedes Benz and BMW state of the art certified factory repair facility;
- the facility will not do oil changes and heavy engine repair;
- the design of the facility is prescribed by Mercedes Benz and BMW head offices;
- the two repair facilities will share a common roof for parking and storage; and
- no repair work will be done outside of the building.

Development Permit Panel

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Ernst Loots, Christopher Bozyk Architects Ltd, reviewed the design rationale of the proposed facility and provided the following information:

- the design of the building is unique as there are two facilities in one building;
- the proposed development is a basically one-storey building with a two-storey component on the north side of the building;
- it is a modern contemporary industrial building;
- durable, low-maintenance and high-tech building materials are proposed;
- the north side of the building relates to a more urban context;
- the design of the back of the building is toned down;
- the west side of the building features a vegetation wall to break down the monotonous façade and to comply with the Green Roof Bylaw requirements; and
- the location and design of the signage elements relate to the building.

Also, Mr. Loots presented the materials palette board and reviewed the materials used in the building elevations.

Mr. Loots commented that some of the responses made by the applicant in order to comply with the Green Roof Bylaw requirement include the installation of an on-site storm water storage tank system and a vertical green wall on the west side of the building.

In response to queries from the Panel, Mr. Loots advised that (i) the storm water storage tank is still being developed and will be located underground; and (ii) the roof top vehicle parking will be screened by building parapets and will not be significantly visible from Highway 99.

In response to a further query from the Panel, Mr. Loots reviewed the design and materials used in the south side of the building.

In response to a further query from the Panel, Al Tanzer, LandSpace Design, Inc., advised that the applicant's landscaping response to the proposed reduction of the minimum exterior side yard setback along the building frontage with Cambie Road includes planting of low growing plants such as flowering evergreens in order to address CPTED concerns.

Staff Comments

Mr. Craig advised that the proposed development provides substantial dedications along the Cambie Road frontage which consist of a 4.2 meter wide road dedication for future road widening, establishment of a grassed/treed boulevard and a new sidewalk. Also, Mr. Craig noted that there will be improvements along the Vanguard Road frontage.

Mr. Craig also stated that the applicant's response to the Green Roof Bylaw meets the intent of the Bylaw.

Development Permit Panel
Thursday, December 12, 2013

Correspondence

None.

Gallery Comments

Ken Sodhi stated that he has a development project across the subject site. Mr. Sodhi expressed concern regarding the proposed reduction of the exterior side yard setback along the Cambie Road frontage. He also queried about the location of the vehicle entrance to the automobile repair facility and sought clarification regarding the proposed variance on site coverage.

In response to the query of Mr. Sodhi, staff clarified that (i) the exterior side yard setback variance applies only to a portion of the BMW Building along Cambie Road and the variance is a direct result of the road dedication being provided, (ii) the vehicle access to the automobile repair facility is off Vanguard Road, and (iii) the applicant is requesting a variance to the site coverage, not to the density of the proposed development.

Panel Discussion

The Panel expressed support for the proposed development and commended the applicant for a well done project which is expected to transform the neighbourhood. Also, the Panel noted the (i) high quality of materials proposed for the project, (ii) efforts made by the applicant to provide visual screening for the roof top parking and (iii) treatment to all the building elevations, particularly the green wall at the west elevation.

Panel Decision

It was moved and seconded

That a Development Permit be issued which would:

1. *Permit the construction of an automobile repair facility on a lot at 11100 Cambie Road on a site zoned Industrial Retail (IR1); and*
2. *Vary the provisions of Richmond Zoning Bylaw 8500 to:*
 - a) *increase the maximum site coverage from 60% to 73%; and,*
 - b) *reduce the minimum exterior side yard setback from 3.0 metres to 1.5 metres along the Cambie Road frontage.*

CARRIED

4. **New Business**

5. **Date Of Next Meeting: Wednesday, January 15, 2014**

Development Permit Panel
Thursday, December 12, 2013

6. Adjournment

It was moved and seconded

That the meeting be adjourned at 4:45 p.m.

CARRIED

Certified a true and correct copy of the Minutes of the meeting of the Development Permit Panel of the Council of the City of Richmond held on Thursday, December 12, 2013.

Joe Erceg
Chair

Rustico Agawin
Auxiliary Committee Clerk

Schedule 1 to the Minutes of
the Development Permit
Panel Meeting of Thursday,
December 12, 2013.

From: Mr. Johnny Leung

6451 No.2 Road,

Richmond, BC, V7C 3L4

To: Mr. Edwin Lee,

City of Richmond,

6911 No.3 Road,

Richmond, BC, V6Y 2C1.

Date: December 11, 2013

To Development Permit Panel
Date: <u>DEC 12/13</u>
Item # <u>1</u>
Re: <u>6451 No.2 Road</u>
<u>DP 12-617455</u>

RE: Application For a Development Permit #DP 12-617455

Dear Mr. Edwin Lee:

I have looked into the plan of the above proposed development – next to my property lot.

I feel bothered with the plan to increase the maximum ratio of tandem parking spaces from 50% to 60% of the total residential parking spaces required.

Reasons:

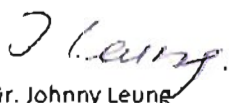
1. If the parking space is increased from 50% to 60%, does it mean the developer has the potential to change the SS parking to tandem parking and then they can at least have one more parking unit, leading the developer to have the potential/variance to convert the increased parking into more habitable space i.e. one more townhouse unit i.e. from 15 units into 16 units? This is unbearable because then more traffic and residences will be involved; more noises for moving cars in and out from tandem parking spaces.

Also, It must be strongly restrictive that no conversion of the garage area into habitable space.

2. At the front row of the townhouses, the end unit next to our property 6451, No.2 Road should not be more than two storey according to the City Planning new guidelines. Our landscape along No.2 Road and on the South side of our house will be shadowed and they will become unhealthy without direct sunlight (please see the attached pictures No.1...2...). We need to have more greens in our neighborhood.

Thanks for your time and please either email us at cecomp@axionet.com or mail us your answers.

Regards,



Mr. Johnny Leung

(Owner of 6451 No.2 Road, Richmond, BC, V7C 3L4)



Schedule 2 to the Minutes of
the Development Permit
Panel Meeting of Thursday,
December 12, 2013.

To Development Permit Panel
Date: DEC. 12/13
Item # 1
Re: 6511 No. 2 ROAD
DP 12-617455

To: Panel Of Richmond City Development,

Re: Complaint about the Townhomes development of #DP 12-617455

As the owner of 6451 No. 2 Road, 1, Johnny Leung, has been watching closely the development of the land use adjacent to my lot.

(i.e. 6511 No. 2 Road : former lots of 6471,6491, and 6511 No. 2 Road).

At first the developer knocked our door claiming to include our lot in his townhomes development. Obviously he is insincere because he has no intention to purchase our lot and then he has asked the City to measure and do the surveying of our lot. The developer has never responded to our offer given to them. Maybe they have told the City they have tried to purchase our lot, but they never show up finally. This has given us the false signal.

We have gone to the City to inquire about the land use. The reply has been positive that the four lots (please see your original city plan) have to be developed together. We assume that our lot is already included in the City Town homes development or at least our lot (6451 No.2 road) can be rezoned in future on our own. This also explains why we did not strongly object to the development of townhomes in our neighborhood at the very early stage of hearing. We were certainly misled by the City response at the City office when we inquired and by the developer verbal indication. We are very disappointed. This has given us the second false signal.

Now, the Panel has decided to exclude our lot in the present development with the grounds that this development is already up to 50m frontage. Well, it seems to be logical according to the City development guidelines.

BUT,

Let us look at the Future development of 6451 No. 2 Road

Has the Panel considered the future development of our lot which is of more or less the same size, same depth and same frontage of our adjacent pre-neighbor house lot? Our latest check with the future development plan from City map gives us a shock. Our lot development has to be combined with our North-bound neighbor with a much smaller lot with less frontage and less depth. (Please see picture No. 3...)

This is unacceptable and it contradicts to our City Development Planning too.

First, the total frontage of 6451 No. 2 road and 6397 No. 2 road (even combined) is under 50m. This is in contrary to the City Guidelines. Second, this is odd to include 6397 No. 2 road (much smaller lot size) in the future Townhome development as that lot can ONLY accommodate Two townhomes in future. That means our lot 6451 No. 2 road has been caught up in the future land development into townhomes on OUR OWN. Ultimately this will lead us to build a single house on 6451 No.2 Road lot and this is again in contrary to the City Planning to make FULL USE OF THE LAND in Richmond City development.

Therefore, we would request the Panel to consider accepting our single lot to be developed into Townhomes in future WITHOUT any conditions added. We have already got the general/common access from the 6511 No. 2 townhomes (PROPOSED) via No. 2 Road and this makes more sense for us to develop our present single lot into townhomes in future.

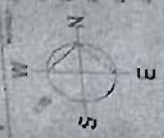
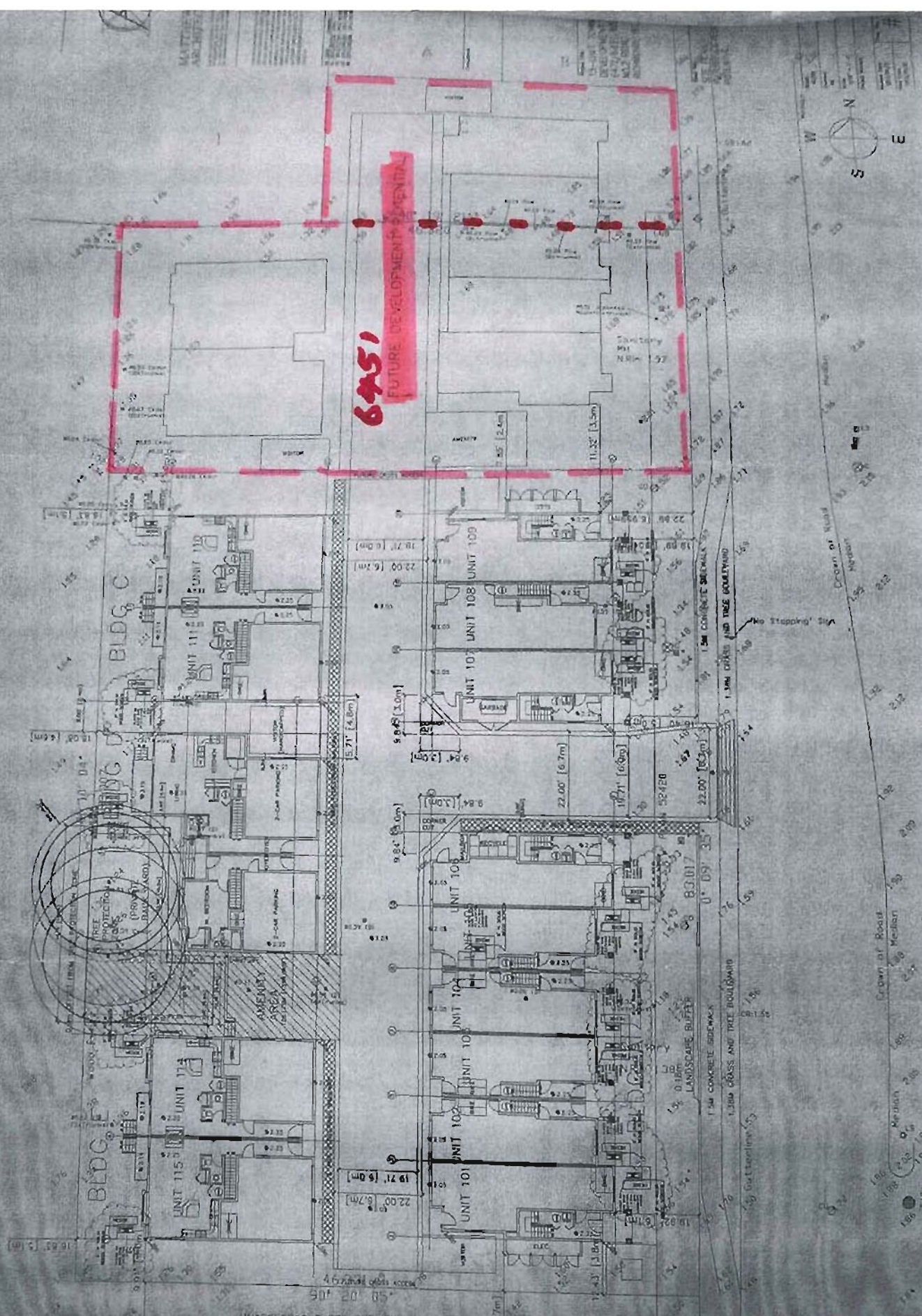
Thanks for your time and please either email us at cecomp@axionet.com or mail us your answers.

Regards,

A handwritten signature in cursive script that reads "J Leung".

Mr. Johnny Leung

(Owner of 6451 No.2 Road, Richmond, BC, V7C 3L4)



6451

FUTURE DEVELOPMENT ESSENTIAL

3



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: January 2, 2014

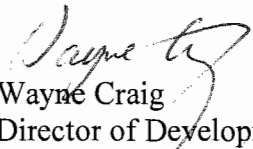
From: Wayne Craig
Director of Development

File: DP 12-617455

Re: Application by Matthew Cheng Architect Inc. for a Development Permit at
6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)

Staff Recommendation

That a Development Permit be issued which would permit the construction of 15 townhouses at 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road) on a site zoned "Low Density Townhouses (RTL4)".


Wayne Craig
Director of Development

EL:kt
Att.

Staff Report

Origin

Matthew Cheng Architect Inc. has applied to the City of Richmond for permission to develop 15 townhouse units at 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road). This site is being rezoned from the “Single Detached (RS1/E)” zone to the “Low Density Townhouses (RTL4)” zone for this project under Bylaw 8890 (RZ 11-586782). The site is currently vacant.

The application was presented to the Development Permit Panel on December 12, 2013. At the meeting, the Panel moved and seconded:

“That DP 12-617455 be referred back to staff and staff to undertake the following:

- 1. review further the design and massing of the buildings fronting No. 2 Road to ensure compliance with the current Arterial Road Guidelines for Townhouses (OCP Bylaw 9000) relating to the two-storey maximum height of the end units of the buildings;*
- 2. examine further the design and location of the stairwells;*
- 3. investigate the potential for additional play equipment on the outdoor amenity area; and*
- 4. report back on the January 15, 2014 meeting of the Development Permit Panel.*

This staff report addresses the Panel referral and responds to concerns expressed by the neighbouring residents in attendance at the December 12, 2013 meeting. The report considered by the Panel on December 12, 2013 is attached for reference (**Attachment A**).

Staff Comments

In response to the Development Permit Panel referral, the applicant has proposed the following changes to the design:

- Reduced massing on the end units of the street facing buildings to comply with the current Arterial Road Guidelines for Townhouses in OCP Bylaw 9000 (i.e., maximum building height of 2 storeys within 7.5 m of the side yard interface with single-family housing). The height of Unit 101 in Building A and Unit 109 in Building B have been reduced from 2½ storeys to 2 storeys; the 3-storey massing of the front buildings will have a setback of approximately 9.0 m from the side property lines.
- Replaced two (2) tandem parking garages with side-by-side parking garages; the overall tandem parking ratio has been reduced to under 50%; this change has removed the requested variance to tandem parking.
- Relocated the stairs in the end units of the street facing buildings to allow additional building articulation on the side elevations.
- Replaced the “Spider Web” play equipment with an Arch Rock Climber, a Vine Climber, and a set of “Mushrooms” outdoor furniture to allow more children to play at the same time and enhance social interaction opportunities.

Other changes to the proposal include:

- Entry driveway shifted south slightly.
- Visitor parking reduced from four (4) stalls to three (3), which still complies with the current parking bylaw requirements.
- Electrical closet moved from the north elevation of Building B to the south elevation of Building E.

Public Input

Further to his presentation at the Development Permit Panel meeting on December 13, 2013, the adjacent property owner, Mr. Leung at 6451 No. 2 Road, submitted a letter to summarize his concerns over the proposed development at 6511 No. 2 Road (**Attachment B**). A list of the concerns is provided below, along with staff responses in *italics*:

1. Concern associated with the proposed development not following the current development permit guidelines; i.e., end units be limited to 2-storeys.
The applicant has revised the design of the end units to 2-storeys; the revised proposal complies with the current development permit guidelines.
2. Concern associated with the height of the new townhouses would reduce amount of sunlight the residents at the adjacent property to the north currently enjoy.
All units along the north property lines are limited to 2-storeys. The street fronting building (Building B) and the rear building (Building C) are set back 3.0 m and 3.5 m from the north property line respectively. The impact of shadowing to the side yard and rear yard of the adjacent property to the north should be minimal. It is also noted that these setbacks are substantially larger than the setback required for a 2½-storey single-family dwelling on this site (i.e., 1.2 m).
3. Concern associated with the proposed deck on the end unit of the townhouse development would affect the privacy of the neighbouring homes.
The decks on the end units have been eliminated.
4. Concern associated with the proposed variance to increase tandem parking garage ratio and its potential conversion into habitable space.
Tandem parking garages in the end units are replaced by side-by-side parking garages, tandem parking variance is no longer being requested. A restrictive covenant to prohibit the conversion of the garage area into habitable space has been secured at rezoning.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment C**) for a comparison of the proposed development data with the relevant bylaw requirements.

Analysis

The revised scheme attached to this report has satisfactorily addressed the concerns raised by Development Permit Panel and the adjacent property owners.

The proposed design changes have also addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, the proposed scheme complies with the intent of the applicable sections of the Official Community Plan including the Arterial Road Guidelines for Townhouse in OCP Bylaw 9000. The proposal is also in compliance with the "Low Density Townhouses (RTL4)" zone.

Conclusions

The applicant has revised the design of the end units of the street fronting buildings to comply with the Arterial Road Guidelines for Townhouse. The street fronting buildings are now stepped down to 2-storeys at the side yard interface with single-family housing. Additional side-by-side double car parking garages are proposed; hence tandem parking variance is no longer being requested. The applicant has also replaced the children's play equipment to enhance social interaction opportunity for kids in the 2-5 year age groups. Furthermore, the applicant has revised the design, including eliminating the proposed decks at the end units and replacing full windows on the side elevations with transom windows, to address concerns expressed by the neighbouring residents. On this basis, staff recommends support of this Development Permit Application.



Edwin Lee
Planning Technician-Design

EL:kt

Attachment A: Report to Development Permit Panel dated November 7, 2013

Attachment B: Letter Received from Neighboring Residents dated December 19, 2013

Attachment C: Development Application Data Sheet



City of
Richmond

Report to Development Permit Panel
Planning and Development Department

To: Development Permit Panel

Date: November 7, 2013

From: Wayne Craig
Director of Development

File: DP 12-617455

Re: **Application by Matthew Cheng Architect Inc. for a Development Permit at 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of 15 townhouses at 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road) on a site zoned "Low Density Townhouses (RTL4)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum ratio of tandem parking spaces from 50% to 60% of the total residential parking spaces required.


Wayne Craig
Director of Development

EL:blg
Att.

Staff Report

Origin

Matthew Cheng Architect Inc. has applied to the City of Richmond for permission to develop 15 townhouse units at 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road). This site is being rezoned from the "Single Detached (RS1/E)" zone to the "Low Density Townhouses (RTL4)" zone for this project under Bylaw 8890 (RZ 11-586782). The site is currently vacant.

A Servicing Agreement for frontage improvements along No. 2 Road is required prior to issuance of a Building Permit for the site. Works include, but are not limited to, removing the existing sidewalk behind the curb and gutter and installing a new 1.5 m concrete sidewalk at the property line; with a 1.38 m grass and treed boulevard up to the curb.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant bylaw requirements.

Background

Development surrounding the subject site is as follows:

To the north, a large, newer, single-family home on a lot zoned "Single Detached (RS1/E)", with future multiple-family development potential through rezoning.

To the east, across No. 2 Road, existing single-family dwellings on lots zoned "Single Detached (RS1/E)", fronting Christina Road and Camsell Crescent.

To the south, older single-family homes on lots zoned "Single Detached (RS1/E)", with multiple-family development potential through rezoning.

To the west, existing single-family dwellings on lots zoned "Single Detached (RS1/B)", fronting Garrison Court.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of this site was held on June 18, 2012. The following concerns were expressed during the Public Hearing. The response to the concern is provided in *italics*.

1. Potential traffic impacts due to the proposed development.

Staff have reviewed the traffic impacts of the proposed development in conjunction with the current traffic capacity of adjacent streets. Staff's findings indicate that the number of trips generated by the development is minimal and can be accommodated on existing adjacent streets.

2. Potential noise pollution during and after construction.

Construction activity noise is governed by the Noise Regulation Bylaw No. 8856. This bylaw prohibits certain construction activity noise prior to 7:00 AM and after 8:00 PM on Monday through Friday, prior to 10:00 AM and after 8:00 PM on Saturday (provided it is not a Statutory Holiday), and prior to 10:00 AM and after 6:00 PM on Sundays and Statutory Holidays.

All the garage doors are designed to face the internal drive aisle; the active children's play area is located in the central part of the site with a large setback to the adjacent existing single-family homes to the west; landscaping is proposed along the site perimeter to provide a buffer to the neighbouring properties.

3. Loss of privacy and overlook.

Two (2) storey units are proposed along the rear property line to minimize overlooking onto the neighbouring single-family properties. The proposed rear yard setbacks of 5.4 m to 6.0 m exceed the minimum 3.0 m rear setback requirement under the RTL4 zone.

Planting of a variety of trees along the rear property line is also proposed to provide a natural screen to protect the privacy of the neighbouring homes to the west.

Staff Comments

The proposed design attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and is generally in compliance with the "Low Density Townhouses (RTL4)" zone except for the zoning variances noted below.

Zoning Compliance/Variances (staff comments in bold)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to increase the maximum ratio of tandem parking spaces from 50% to 60% of the total residential parking spaces required.

(Staff supports the proposed variance to allow a total of 18 tandem parking stalls (9 units) in this 15 townhouse unit development since the proposal was submitted prior to the new direction on tandem parking arrangements was given and the related bylaw amendment was approved by Council in March, 2013.

Staff typically support variances related to tandem parking arrangements on the basis that tandem parking reduces the overall pavement area on site and facilitates a more flexible site layout. In order to address recent concerns related to the potential impact arising from on street parking, the developer is proposing to provide one (1) additional visitor parking stall on-site.

At present, no parking is permitted on both sides of No. 2 Road. One (1) additional visitor parking stall on site should alleviate the demand for street parking from the visitors of the proposed development and minimize impact to the adjacent single-family neighbourhood.

Transportation Division staff have reviewed the proposal and have no concerns. A restrictive covenant to prohibit the conversion of the garage area into habitable space has been secured at rezoning.)

Advisory Design Panel Comments

The Advisory Design Panel (ADP) reviewed the project at the January 23, 2013 meeting of the ADP. Changes have been incorporated to address comments made by Panel members. A copy of the relevant excerpt from the ADP Minutes from January 23, 2012 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '*bold italics*'.

Analysis

The subject Development Permit application was submitted before the adoption of the current Official Community Plan (OCP) Bylaw 9000 (adopted on November 19, 2012) and the design was developed based on the previous Official Community Plan (OCP) Bylaw 7100. While the proposal complies with most of the current Development Permit Guidelines (i.e., Section 14 of OCP Bylaw 9000) there are exceptions as highlighted below.

Conditions of Adjacency

- The current Arterial Road Guidelines for Townhouses (OCP Bylaw 9000) state that building height along the side yards should be stepped down to a maximum building height of two (2) storeys within 7.5 m of the side yard interface with single-family housing. The guidelines in the prior OCP (Bylaw 7100) allowed a height along side yards of a maximum building height of 2½ storeys.
- Three (3) storey townhouse clusters with end units stepped down to 2-½ storey are proposed along No. 2 Road. The third floor of the end units are recessed and have limited windows (i.e., small or high secondary windows) overlooking the side yards.
- While the required side yard setback is 3.0 m, a 3.5 m to 3.8 m setback is provided to the first and second floors, as well as a 5.5 m to 5.9 m setback to the third floor is provided to minimize overlooking opportunity. This is consistent with the guidelines of the current OCP.
- All rear units (along the west property line) will be two (2) storeys; increased rear yard setback is proposed to provide a better interface with the adjacent single-family developments, as per the current OCP.
- A mix of conifer and deciduous trees are to be planted on the north, west, and south property lines (except adjacent to the paved drive aisle and parking stalls) is proposed to provide a natural screen between the proposed development and the adjacent existing single-family homes.
- The minimum Flood Construction Level is 0.3 m above the highest elevation of the crown of No. 2 Road (i.e., 2.25 m geodetic). The applicant is proposing to raise the site grade to 2.05 m geodetic at the front yard and 1.39 m geodetic at the rear. It is anticipated that the site grade of the adjacent sites to the north and south will also be raised through future redevelopments. Perimeter drainage will be installed as part of the Building Permit to ensure the proposed grade change does not adversely impact the surrounding properties.

Urban Design and Site Planning

- The layout of the townhouse units is organized around a single driveway providing access to the site from No. 2 Road and a north-south drive aisle providing access to all unit garages.
- Vehicle access is limited to right-in/right-out to/from No. 2 Road. The long-term objective is for the driveway access established on No. 2 Road to be utilized by adjacent properties if they re-develop. A Public Right-of-Passage (PROP) Right-of-Way (ROW), allowing access to/from the future development sites to the north and south via the subject site, has been secured over the proposed drive aisle at rezoning.
- A total of 15 units in five (5) clusters are proposed. The eastern clusters are oriented towards No. 2 Road while the western ones are oriented towards the internal drive aisle.
- The proposed site layout provides for an attractive pedestrian-oriented streetscape of townhouses fronting No. 2 Road, complete with a landscaped edge, low metal fencing, and gates to individual townhouse unit front doors. All units along No. 2 Road will have direct access from the sidewalk on No. 2 Road to the unit entry.
- All units have two (2) vehicle parking spaces. Tandem parking spaces are proposed in all of the street fronting units (9 out of 15 units in total).
- A total of four (4) visitor parking spaces (including one (1) accessible parking space) are provided throughout the site. The number of visitor parking spaces proposed exceeds the bylaw minimum requirement.
- The outdoor amenity is proposed at a central location in the site adjacent to a tree preservation area. The size and location of the outdoor amenity space provides an effective open landscape and amenity area convenient to all of the units.
- Mailbox and garbage and recycling enclosures are proposed at the entry driveway for delivery and collection convenience. These facilities have been incorporated into the design of the adjacent building to minimize visual impacts.

Architectural Form and Character

- A pedestrian scale is achieved along No. 2 Road and along the internal drive aisle, through variation in building height, projections and recesses, entry porches, varying material combinations, a range of colour finishes, landscape features, and individual design of internal unit entrances.
- Echoing the two-storey houses in this neighbourhood, the architectural design concept of this proposal fosters the perceived horizontal line created by the height of the neighbouring properties. By providing skirt roof at the 2nd floor of the street fronting buildings, the proposed development will continue the horizontality of the streetscape. In addition, the proposed hip and gable roofs gently reflects the rhythm of the neighbouring roofs.
- A neutral colour palette with accents of warm hues is proposed to harmonize with the schemes of the neighbouring properties and recreate a flowing fabric for the streetscape.
- The impact of blank garage doors has been mitigated with panel patterned doors, transom windows, secondary unit entrances, and planting islands.

- The proposed building materials (Hardie-Plank siding/shingle-side/panel, wood trim and fascia board, cultured stone, and asphalt roof shingles) are generally consistent with the Official Community Plan (OCP) Guidelines and compatible with the existing single-family character of the neighbourhood.

Tree Preservation

- Tree preservation was reviewed at rezoning stage; three (3) trees were identified for protection. A Tree Protection Zone (TPZ) based on the trunk diameter ratio method and required permeable root space is established by the project Arborist. Proposed buildings are setback at least 0.9 m from the established TPZ to provide a functional working space buffer, while protecting the trees.
- To ensure the protected trees will not be damaged during construction, tree protection fencing will be installed to City standards prior to any construction activities occurring on-site. A contract with a Certified Arborist to monitor all works to be done near or within the tree protection zone is required prior to Development Permit issuance. A \$7,500.00 Tree Survival Security for the three (3) protected trees on-site is also required prior to Development Permit issuance.
- 13 bylaw-sized trees on-site were identified for removal due to their health and condition and their locations within the proposed building footprint. 26 replacement trees are required, of which, two (2) larger calliper conifers along the No. 2 Road frontage are required to compensate for the loss on two (2) large conifers on-site that are in good condition, but are located within the proposed building footprints.
- The applicant is proposing to plant 31 replacement trees on-site, including two (2) 5.0m Serbian Spruce trees along No. 2 Road, as well as 15 other conifer and 14 deciduous trees throughout the site.

Landscape Design and Open Space Design

- In addition to tree replacement planting, hedges, an assortment of shrubs and ground covers, and perennials and grasses have been selected to ensure the landscape treatment remains interesting throughout the year.
- A low metal fence will be used to demarcate private space and individual grade level unit entrances along the street frontage. Since there is a Statutory Right-of-Way (SRW) for utility purposes on-site located along the No. 2 Road frontage, an encroachment agreement for the fence installation will be required prior to Building Permit issuance.
- Road end trellises are proposed at the ends of internal drive aisle as a terminus of the view.
- The Outdoor Amenity Space is divided into two (2) areas (upper and lower) due to the difference in proposed finished site grade between the required Tree Protection Area (at 1.39 m, no grade changes allowed) and the internal drive aisle (raised to 2.05 m). The two (2) areas are connected by deep steps that extend across the entire width of the amenity area which will facilitate casual seating and children's play.
- The upper outdoor amenity space, where the designated children's play area is located, features a spider web like climbing apparatus.

- The lower outdoor amenity space, located within the required tree protection area, will be covered with mulch (a common playground material), and is designated as a flexible space for active play.
- In order to ensure the landscaping works are undertaken, the applicant is required to provide a landscape security of \$124,830.92 in association with the Development Permit.
- Indoor amenity space is not proposed on-site. A \$15,000 cash-in-lieu contribution has been secured as a condition of rezoning approval, consistent with Council Policy 5041.
- ***Crime Prevention Through Environmental Design***
- The site plan and individual unit design create adequate opportunity for passive surveillance over the common areas on-site, including the outdoor amenity space, mailbox area, and internal drive aisle/walkway.
- Individual unit entrances are visible from either the public street or the internal drive aisle.
- Space differentiation (public, semi public, private) is achieved through the use of fences, gates, and landscape features.
- Low planting is proposed along edges of buildings to keep the unit entires open and visible.

Sustainability

- The developer advises that the following sustainability features will be incorporated into the development:
 - Use of permeable pavers on driveways, walkways, and hard landscaping
 - Use of some native plant species
 - Trees and natural features on-site protected during construction
 - Use of long lifespan exterior cladding
 - Use of rain screen system separating cladding from the wall sheathing with a drainage plane
 - Use of insulated exterior glazing
 - Use of weather sealed doors
 - Use of steel entry and garage doors
 - Insulated garages
 - Programmable thermostats
 - No use of large mechanical air unit
 - Installation of ventilation fans (bath or in-line type) to meet or exceed Energy Star requirements
 - Installation of dual flush or pressure assisted toilets in one or more bathrooms

Accessible Housing

- The proposed development includes one (1) convertible unit that is designed with the potential to be easily renovated to accommodate a future resident in a wheelchair. The potential conversion of these units will require installation of a vertical lift in the stacked storage space (which has been dimensioned to allow this in Unit 112) in the future, if needed.

- All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - Stairwell hand rails
 - Lever-type handles for plumbing fixtures and door handles
 - Solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers

Conclusions

The applicant has satisfactorily addressed staff's comments regarding conditions of adjacency, site planning and urban design, architectural form and character, and landscape design. The applicant has presented a development that fits into the existing context. Therefore, staff recommend support of this Development Permit application.



Edwin Lee
Planning Technician – Design
(604-276-4121)

EL:blg

Attachment 1: Development Application Data Sheet

Attachment 2: Excerpt from the Minutes of the Advisory Design Panel Meeting – January 23, 2013

Attachment 3: Development Permit Considerations



DP 12-617455

Attachment 1

Address: 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)

Applicant: Matthew Cheng Architect Inc.

Owner: Trine Developments Ltd.

Planning Area(s): Thompson

Floor Area Gross: 2,569.59 m²

Floor Area Net: 1,712.55 m²

	Existing	Proposed
Site Area:	2,865.30 m ²	2,865.30 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	3	15

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.60	0.60	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	55.1%	none
Lot Coverage – Landscaping:	Min. 25%	26.3%	none
Setback – Front Yard:	Min. 6.0 m	6.0 m	none
Setback – Side Yard (North):	Min. 3.0 m	3.0 m	none
Setback – Side Yard (South):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard:	Min. 3.0 m	5.4 m	none
Height (m):	Max. 12.0 m	11.65 m	none
Lot Size:	Min. 50 m wide x 35 m deep	61.85 m wide x 46.33 deep	none
Off-street Parking Spaces – Resident (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.267 (V) per unit	none
Off-street Parking Spaces – Total:	Min. 30 (R) and 3 (V)	30 (R) and 4 (V)	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces (30 x Max. 50% = 15)	18	variance requested

Small Car Parking Spaces:	Max. 50% when 31 or more spaces are provided on site (34 x Max. 50% = 17)	4	none
Handicap Parking Spaces:	Min. 2% when 3 or more visitor parking spaces are required (3 x Min. 2% = 1)	1	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.25 (Class 1) and 0.2 (Class 2) per unit	none
Bicycle Parking Spaces – Total:	Min. 19 (Class 1) and 3 (Class 2)	19 (Class 1) and 3 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	\$15,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 15 units = 90 m ²	130 m ²	none

Excerpt from the Minutes from
The Design Panel Meeting

Wednesday, January 23, 2012 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

Comments from the Panel were as follows:

1. buildings integrate well with the residential neighbourhood; massing is broken up with roofs of various types and levels;
Thank you.
2. treatment of the base is weak; applicant is encouraged to explore ways to strengthen the base through the use of bays/projections, etc.;
The use of cultured stone has been extended to the internal drive aisle on the east elevations of building C, D and E.
3. entries are not compelling; although the cultured stone cladding appears to be high quality, it does not work well in the elevation;
The entries enhance the traditional style of the townhouses, which fits into this neighbourhood. The choice of cultured stone in terms of pattern and colour are appropriate in the elevation.
4. deeper setback at the back of the residential units would be welcome both to the residents of the subject development and to the existing residents of the adjacent development;
While a minimum of 3m is required for the setback at the rear yard, we have provided a minimum of 5.4m for the setback, which should be welcome both to the residents of the subject development and to the existing residents of the adjacent development.
5. appreciate the provision of detailed drawings for the convertible unit; suggest that a sliding door be used in the powder room on the main floor to make it more usable; consider removing extra hallway space on the upper floor to create bigger bedrooms and a usable second washroom;
Noted. The convertible unit floor plans have been revised. See attached floor plans.
6. concern on the survivability of the lawn adjacent to the children's play area; would be affected by the tightness of the space, the amount of sun exposure and the canopy of cedar trees; consider swapping the location of the lawn and children's play area;
The Amenity area design has been revised as requested. See L1 and L3 for your reference.

7. amount of trees and shrub materials seems too optimistic; concern on the survivability of plant materials underneath the trees; plant materials close to the trunk of the trees may affect the survivability of the trees; echo the concern about the shady lawn;
Underneath the trees in the tree protection zone, most of the area has been changed from live plant material to mulch. There are some pavers along the building adjacent to the tree protection zone instead of lawn.
8. notice trellis structures on the landscape plan but don't see vines on the plant list;
The vines at the trellis structure have been added. See L1 for your reference.
9. consider splitting the entry walks leading to the front door of the street fronting units and introduce planting materials to provide privacy to individual entries;
Planting materials between the walks leading to the front door of the street units have been added to provide privacy to each entry. See L1 for your reference.
10. no CPTED concerns;
 - *A multitude of windows on the north elevation of Building E, the south elevation of Building D, and the west elevation of Building A look out on to the amenity area increase the level of surveillance.*
 - *There are no sudden changes on pathways that reduce sightlines.*
 - *Orient the main residential entrance towards the street.*
 - *The enclosed garbage and recycling room are designed in a manner which screens containers but avoids creating blind spots or hiding areas.*
 - *The front yard fencing is predominantly open in design.*
11. overall, the project is good; finishing is also good;
Thank you.
12. applicant needs to reconsider the expression of the massing of the ends of the two buildings fronting No. 2 Road to integrate better with adjacent single family homes; also consider introducing windows to mitigate the units' large blank side walls;
The end portions are relatively small and the massing successfully appears to have a two-storey expression.
13. consider design development of units facing the interior driveway;
The north elevation of Building A and the south elevation of Building B have been revised with more windows and articulations.
14. consider opportunities to mitigate the blank garage doors along the internal drive aisle;
Transom windows have been added to garage doors to enrich the architectural aesthetics along the internal drive aisle.
15. look at bringing the materials used in street fronting elevations, e.g. cultured stone cladding, to the other elevations, particularly along the interior drive aisle;
The use of cultured stone has been extended to the internal drive aisle on the east elevations of building C, D and E.

16. elevations of the end units appear a bit austere; applicant could use some more glass;
The north and south elevations of Building A and B have been revised with more windows.
17. massing of the end units of street fronting buildings looks generally successful and appears to have a two-storey expression;
Thank you.
18. concern on the large amount of space devoted to parking spaces resulting in limited residual outdoor space;
The parking spaces are provided to meet the minimum requirements.
19. consider enhancing the treatment of ground floor units along the interior driveway;
The north and south elevations of Building A and B have been revised with more windows.
20. regrettable that ground floor animation is limited to a window introduced into the design of a tandem garage;
Noted.
21. integrate energy conservation in the design process;
 - *The attached garages are fully insulated.*
 - *All exterior doors manufactured from fibreglass.*
 - *All windows in home are Energy Star labelled or equivalent for the climatic zone of home.*
 - *Trees and natural features on site are protected during construction.*
 - *Suppliers and trades recycle their own waste, including leftover material and packaging.*
22. design of the exhaust system of residential units should take into consideration that the development is surrounded by residential neighbours;
The exhaust system includes only kitchen and bathroom fans that will not be direct towards neighbours. The proposed ventilation system does not conflict with the acoustic features in the acoustic report.
23. additional gable windows may be appropriate for units along the internal drive aisle but not for the end units of the street fronting buildings as they are facing other houses;
Gable windows have been added to these elevations: Building A North, Building D East, Building B South and Building B West.

No gable windows are on the neighbour facing faces of the building.
24. traditional style of the townhouse units fits into the neighbourhood;
Thank you.
25. the color palette is very brown and may benefit from the introduction of additional color and hues;
The colour palette we have proposed fits well with the neighbourhood.

26. agree that the applicant is a bit optimistic on the lower lawn area; applicant needs to work with the arborist to shift the retaining wall as far west as possible to maximize the use of the lawn or expand the children's play area;

The retaining wall is located at farthest west possible upon the arborist's recommendation.

27. colour palette and design fits well with the neighbourhood which is transitioning from single family houses to townhouses;

Thank you.

28. slope of the gables is appropriate for the neighbourhood;

Thank you.

29. the north elevation of Building A and south elevation of Building B appear blank; consider adding at least a window near the turn to the internal drive aisle entrance to enhance the visual interest of motorists entering the project; and

The north and south elevations of Building A and B have been revised with more windows.

30. avoid privacy issues on the elevation of end units of street fronting buildings facing future developments.

On Buildings A and B, the balance of utility doors and windows must be maintained in order not to look like a "utility building." On Building A, there are windows that open into the stairwell and face a blank wall; the windows do not reveal the habitable space, but provide ambient light into the interior. There are windows for bathrooms on level 2; these will be frosted/translucent with no visibility, but for light transmittance only. There is a window into the garage which is not a great concern for privacy because it is not a frequently habituated space nor do the activities there generally require much privacy. The clerestory windows in the bedroom are high above the eye level of an average standing person.



Address: 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)

File No.: DP 12-617455

Prior to approval of the Development Permit, the developer is required to complete the following:

1. Final adoption of Zoning Amendment Bylaw 8890.
2. Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of the trees to be retained. The Contract should include the scope of work to be undertaken, including: the proposed number of site monitoring inspections, and a provision for the Arborist to submit a post-construction assessment report to the City for review. Please note that the Arborist must be onsite to during installation of Tree Protection Fencing, root pruning, and placement of lock block for pre-loading (if required).
3. Submission of a Tree Survival Security to the City in the amount of \$7,500.00 for the three (3) trees to be retained. 50% of the security will be released at Final Inspection of the Building Permits of the affected site and the remaining 50% of the security will be released two (2) years after final inspection of the Building Permits in order to ensure that the trees have survived.
4. Submission of a Letter-of-Credit for landscaping in the amount of \$124,830.92.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Enter into a Servicing Agreement* for the design and construction of a new 1.5 m concrete sidewalk installed along the entire frontage, on the west property line of No. 2 Road, including a 1.38 m wide grass and treed boulevard (existing sidewalk to be removed). Design to include water, storm & sanitary connections as required.
2. Registration of an encroachment agreement to allow the proposed 42" high aluminum fence with gate to locate along the No. 2 Road frontage, which will be located within the existing Right of Way (Plan 52420).
3. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Incorporation of accessibility, acoustic, mechanical, and sustainability features/measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
5. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.

All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.

Initial: _____

The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

[signed copy on file]

Signed

Date

Attachment B

From: Mr. Johnny Leung

6451 No.2 Road,

Richmond, BC, V7C 3L4

To: Mr. Edwin Lee

City of Richmond,

6911 No.3 Road,

Richmond, BC, V6Y 2C1.

Date: December 19, 2013

RE: Objection to the Application For a Development Permit #DP 12-617455

1. With further study of DP 12-617455 proposed Reference Plan #5 and Plan # 4B. (Upper Floor with *DECK), the height of the proposed townhome is unacceptable. (Please refer to Page 1 and 2)

I have found out the End Unit of any Townhouse Plan should be of two storey, as #7551 No.2 Road and #7231 No.2 Road. (Please refer to Photos on Page 3 and 4)

The proposed development plan should follow strictly the new guidelines. And, there should be no exception or variance incurred.

2. On the Upper Floor of the Development Permit #DP 12-617455, the End Unit adjacent to my house is blocking sunlight to my Back yard garden, trees, and bushes, and also my side yard. My landscape will be shadowed and our plants will become unhealthy.

(Please refer to Photos on Page 5 and 6)

3. Referring to Plan #5 and 4B, the Upper Floor Deck of the End Unit (i.e. Unit 109 of Building B) will definitely affect our privacy as future residences will overlook into my bedroom (upstairs and downstairs) as well as the bathroom.

(Please refer to Photos on Page 7 and 8)


4. Objection to the increase of the tandem parking space from 50% to 60%.

If the parking space is increased from 50% to 60%, it means the developer has the potential to increase the tandem parking spaces in each unit and then they will convert the increased parking into more habitable space (living space). This is unacceptable because then more traffic and more residences will be involved; also more noises for moving cars in and out from tandem parking spaces.

It must be strongly restrictive that no conversion of the garage area into habitable space.

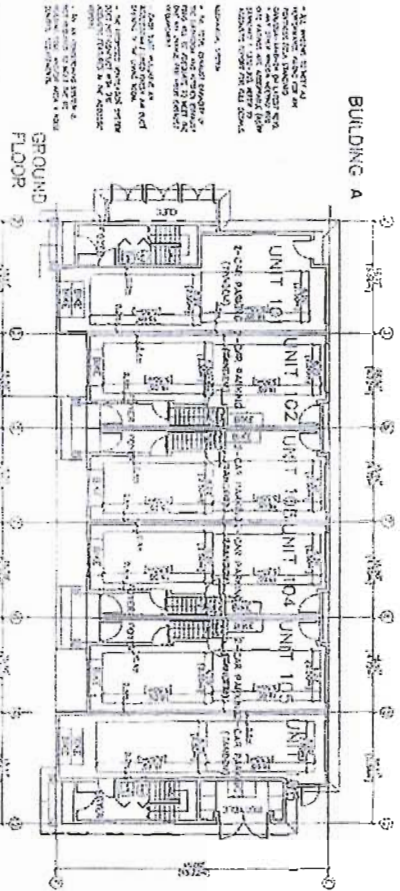
Please consider the above reasons for my objection. Therefore, I have to write you again to express my strong opposition to the proposed plan DP 12-617455.

Regards,

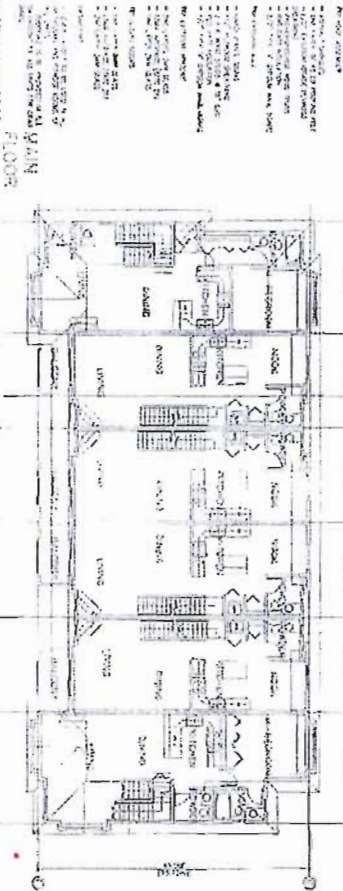


Mr. Johnny Leung (Owner of 6451 No.2 Road, Richmond, BC, V7C 3L4)

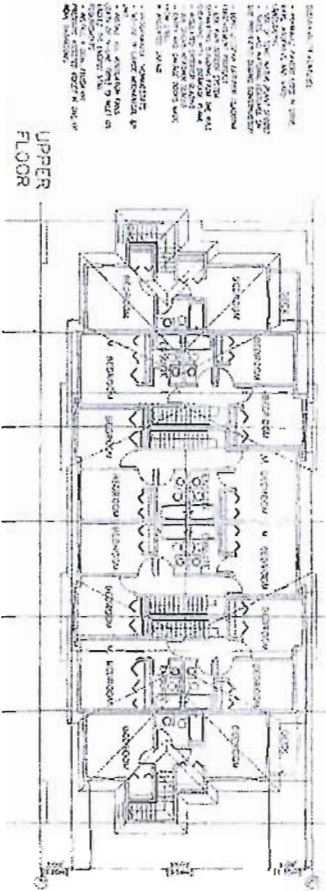
BUILDING A



GROUND FLOOR



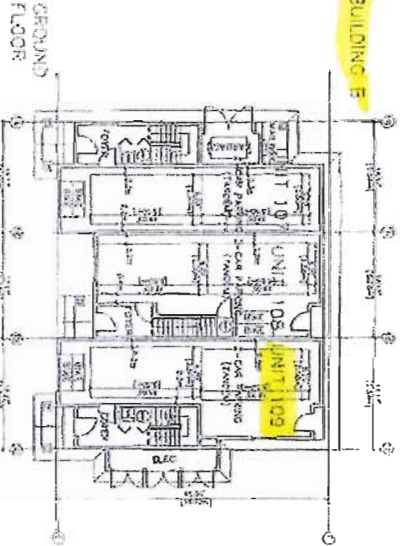
VAN PLAN



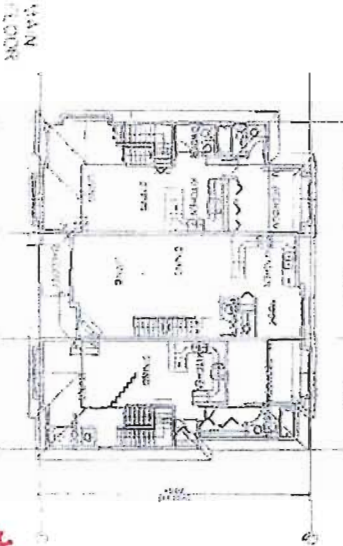
UPPER FLOOR

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
 8. ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORK DAY.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES.

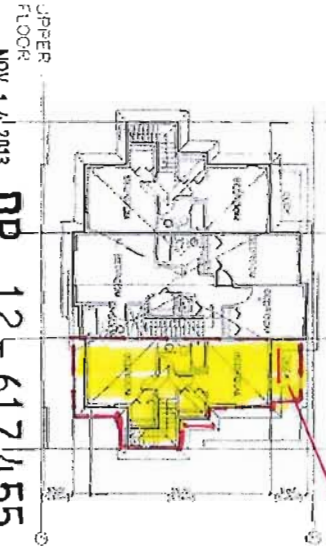
BUILDING B



GROUND FLOOR



VAN PLAN



UPPER FLOOR

NOV 14 2013 DP 12-617455

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	11/14/13
2	ISSUED FOR CONSTRUCTION	11/14/13
3	ISSUED FOR OCCUPANCY	11/14/13

*** DECK**
 SEE THE HATCHED AREA IN THE UPPER FLOOR PLAN OF BUILDING B FOR THE LOCATION OF THE DECK.



MATTHEW CHENG ARCHITECT INC.
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CALIFORNIA 92805
 TEL: 714.771.1111
 FAX: 714.771.1112
 WWW.MATTHEWCHENGARCHITECT.COM

7231 NO. 2 ROAD TOWNHOUSE
LOOK - FINE (2 STOREY)



7231 NO. 2 ROAD TOWNHOUSE
LOOK - FINE (2 STOREY)



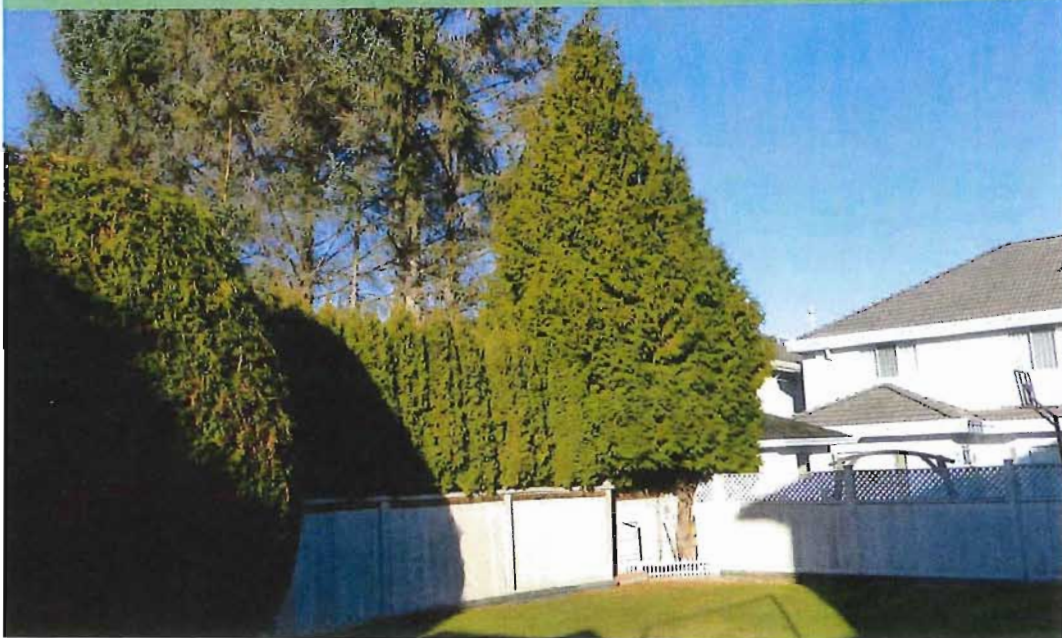
7551 NO. 2 ROAD TOWNHOUSE
WITH 2 STOREY HEIGHT LOOK-FINE



6451 NO. 2 ROAD BACK YARD



WITH DP 12-617455 BUILDING B
UPPER FLOOR BLOCK THE SUNLIGHT
TO THE LAWN & TREES.



DP-12-617455 BUILDING B UNIT 109
UPPER FLOOR BLOCK SUNLIGHT TO THE
PLANTS.



Page

DP12-617455 BUILDING B UNIT 109
WITH 2½ STOREYS WILL BLOCK
SUNLIGHT TO 6451 NO.2 RD. SIDE YARD



6451 NO. 2 RD., UPSTAIRS BED ROOM
WITH DP 12-617455 UNIT 109 DECK
AFFECTING PRIVACY TO MY BED ROOMS



6451 NO. 2 RD., DOWNSTAIRS BED ROOM





14.4.13.E **Design Fronting Local Roads**

- a) **Design the townhouse units fronting onto a local road to look like single-family houses (e.g., 2 storey height)** except that 2½ storeys may be permitted at the corner of the arterial road and local road).

14.4.13.F **Overlook and Privacy**

- a) Locate windows and private outdoor areas carefully to avoid adjacent overlook and privacy concerns.

14.4.13.G **Roof Lines**

- a) Vary roof lines to break down the massing, promote opportunities for sunlight penetration and provide visual interest.

14.4.13.H **Landscaping**

- a) Landscaping for townhouse developments shall:
- meet the City's 2:1 replacement policy where existing trees are being removed;
 - comply with the minimum planting sizes specified in the City's Tree Protection Bylaw where replacement trees are being planted, unless approved otherwise by the Director of Development or designate;
 - have a minimum planting height of 0.3 m–0.45 m (1 ft.–1.48 ft.) for shrubs; shrubs over 1.2 m (3.94 ft.) in height is discouraged;
 - include an appropriate mixture of deciduous and coniferous trees, with the coniferous being sized and spaced appropriately and to address Crime Prevention Through Environmental Design (CPTED) principles.



C. LOW TO MID-RISE HOUSING

The intent is to integrate 4-storey buildings (and up to 6 storeys at some locations) into some areas located in close proximity to future Neighbourhood Centres (e.g., Broadmoor, Blundell and Garden City Shopping Centres), to provide a more urban character to the Neighbourhood Centres and to define a transition between the Neighbourhood Centres and lower density townhouses and single family neighbourhoods.



DP 12-617455

Attachment C

Address: 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)

Applicant: Matthew Cheng Architect Inc.

Owner: Trine Developments Ltd.

Planning Area(s): Thompson

Floor Area Gross: 2,485.72 m²

Floor Area Net: 1,678.66 m²

	Existing	Proposed
Site Area:	2,865.30 m ²	2,865.30 m ²
Land Uses:	Single-Family Residential	Multiple-Family Residential
OCP Designation:	Neighbourhood Residential	No Change
Zoning:	Single Detached (RS1/E)	Low Density Townhouses (RTL4)
Number of Units:	3	15

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	0.60	0.59	none permitted
Lot Coverage – Building:	Max. 40%	40%	none
Lot Coverage – Non-porous Surfaces:	Max. 65%	55.1%	none
Lot Coverage – Landscaping:	Min. 25%	26.3%	none
Setback – Front Yard:	Min. 6.0 m	6.3 m	none
Setback – Side Yard (North):	Min. 3.0 m	3.0 m	none
Setback – Side Yard (South):	Min. 3.0 m	3.0 m	none
Setback – Rear Yard:	Min. 3.0 m	5.4 m	none
Height (m):	Max. 12.0 m	11.65 m	none
Lot Size:	Min. 50 m wide x 35 m deep	61.85 m wide x 46.33 deep	none
Off-street Parking Spaces – Resident (R) / Visitor (V):	2 (R) and 0.2 (V) per unit	2 (R) and 0.2 (V) per unit	none
Off-street Parking Spaces – Total:	Min. 30 (R) and 3 (V)	30 (R) and 3 (V)	none
Tandem Parking Spaces:	Max. 50% of proposed residential spaces (30 x Max. 50% = 15)	14	none

Small Car Parking Spaces:	Max. 50% when 31 or more spaces are provided on site (34 x Max. 50% = 17)	5	none
Handicap Parking Spaces:	Min. 2% when 3 or more visitor parking spaces are required (3 x Min. 2% = 1)	1	none
Bicycle Parking Spaces – Class 1 / Class 2:	1.25 (Class 1) and 0.2 (Class 2) per unit	1.7 (Class 1) and 0.2 (Class 2) per unit	none
Bicycle Parking Spaces – Total:	Min. 19 (Class 1) and 3 (Class 2)	26 (Class 1) and 3 (Class 2)	none
Amenity Space – Indoor:	Min. 70 m ² or Cash-in-lieu	\$15,000 cash-in-lieu	none
Amenity Space – Outdoor:	Min. 6 m ² x 15 units = 90 m ²	129 m ²	none



City of Richmond

Development Permit

No. DP 12-617455

To the Holder: MATTHEW CHENG ARCHITECT INC.
Property Address: 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)
Address: #202 - 670 EVANS AVENUE
VANCOUVER BC V6A 2K9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #0 to #4 attached hereto.
4. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
5. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$124,830.92 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
6. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 12-617455

To the Holder: MATTHEW CHENG ARCHITECT INC.
Property Address: 6511 No. 2 Road (formerly 6471, 6491 and 6511 No. 2 Road)
Address: #202 - 670 EVANS AVENUE
VANCOUVER BC V6A 2K9

7. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

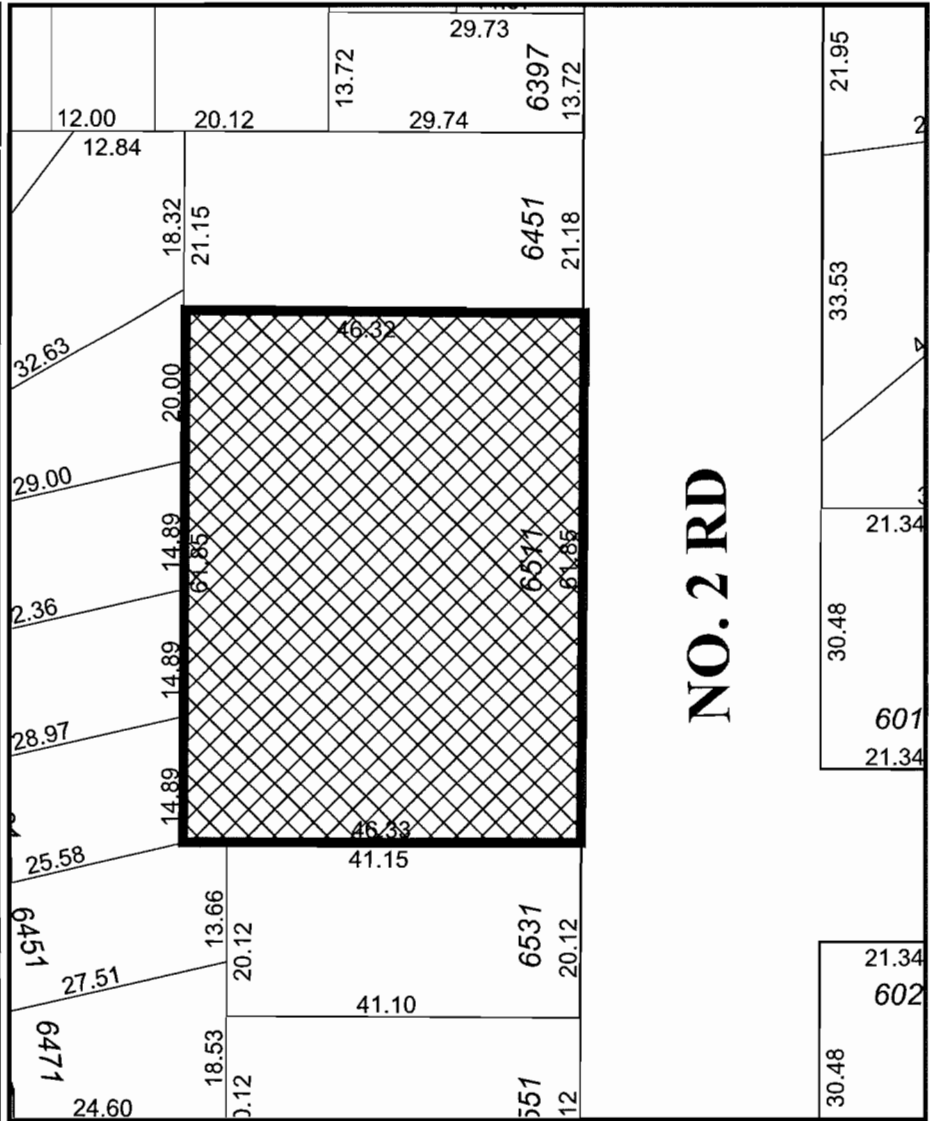
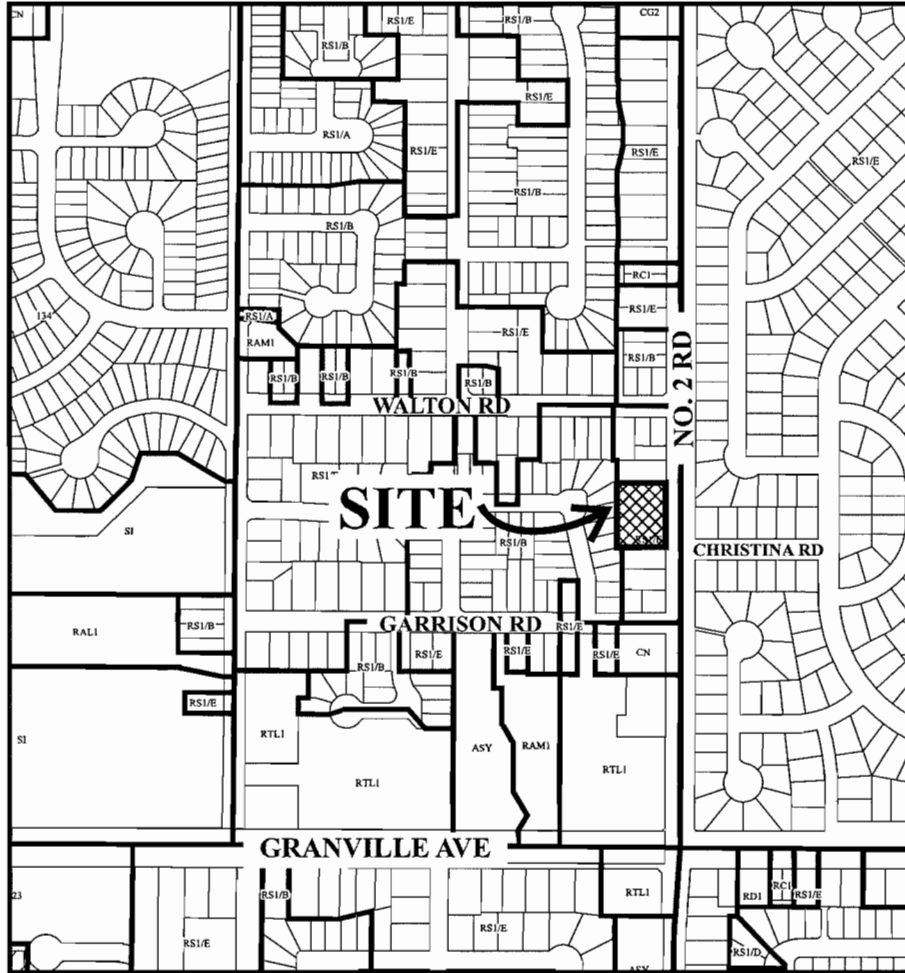
AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



NO. 2 RD



DP 12-617455 SCHEDULE "A"

Original Date: 11/04/13

Revision Date:

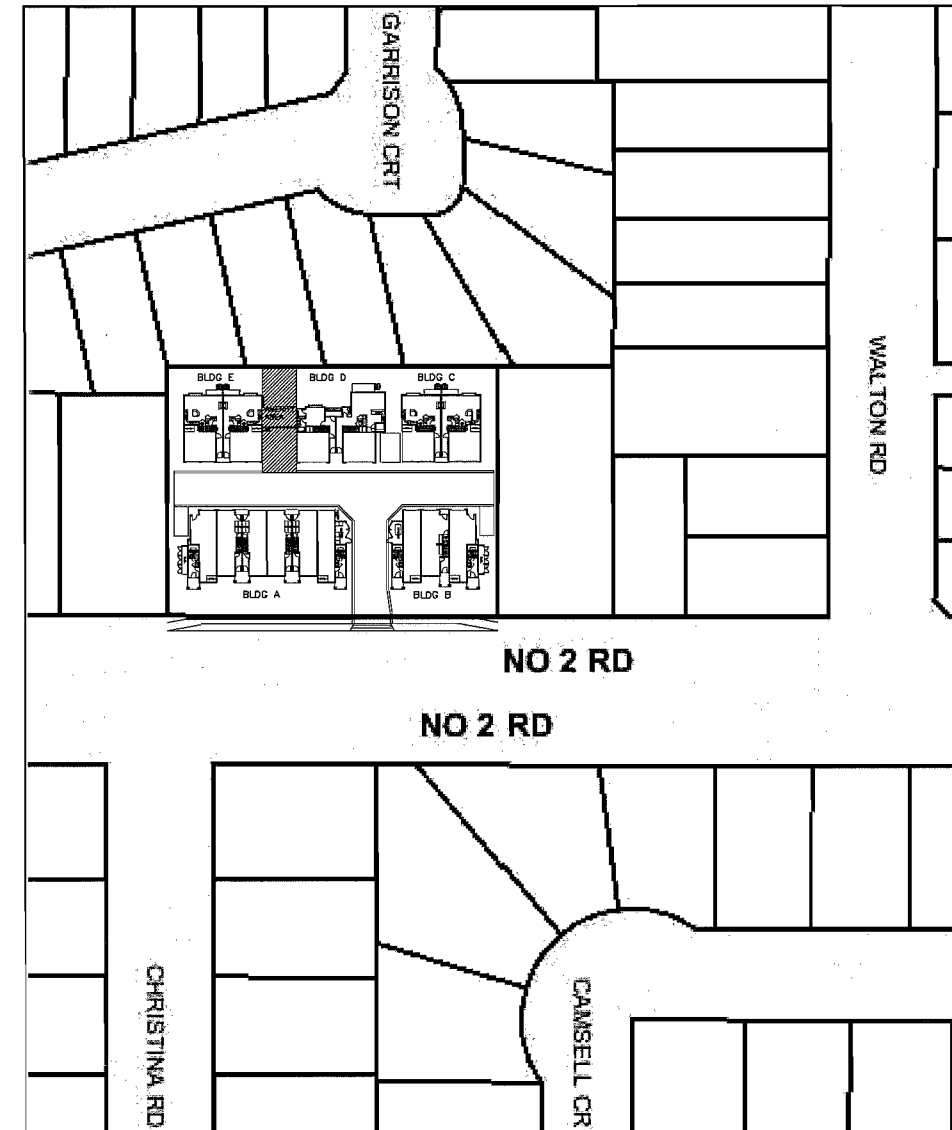
Note: Dimensions are in METRES

	EXISTING:	PROPOSED:
SITE AREA:	30841.80SF (2865.30SM)	30841.80SF (2865.30SM)
LAND USES:	SINGLE DETACHED	TOWNHOUSE
OCP DESIGNATION:	LOW-DENSITY RESI	LOW-DENSITY RESI
ZONING:	RS1/E	RTL4
NUMBER OF UNITS:	3	15
	REQUIRED/ALLOWED:	PROPOSED:
FLOOR AREA RATIO:	0.600 (18505.08SF)	0.586 (18069.50SF)
LOT COVERAGE:	0.400 (12336.72SF)	0.400 (12324.24SF)
SETBACK-FRONT YARD:	MIN. 6m	20.92' (6.37m)
SETBACK-SIDE YARD: (NORTH)	MIN. 3m	11.48' (3.50m)
SETBACK-SIDE YARD: (SOUTH)	MIN. 3m	9.84' (3.00m)
SETBACK-REAR YARD: (WEST)	MIN. 3m	17.72' (5.4m)
HEIGHT: (m)	12.0m	38.22' (11.65m)
LOT SIZE:	30841.80SF (2865.30SM)	
OFF-STREET PARKING RESIDENTIAL/COMMERCIAL:	30 AND 3	30 AND 3
OFF-STREET PARKING ACCESSIBLE:	1	1
OFF-STREET PARKING TOTAL:	33	33
TANDEM PARKING SPACES:	NOT PERMITTED	14
INDOOR AMENITY SPACE:	MIN. 60SM	CASH-IN-LIEU
OUTDOOR AMENITY SPACE:	MIN. 90SM (968.75SF)	129.81SM (1397.21SF)

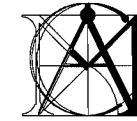
F.A.R. CALCULATION (ALL AREAS IN SQUARE FOOT UNLESS NOTED)

UNIT #	GROUND FLOOR:		SECOND FLOOR:		THIRD FLOOR:		GARAGE: (EXEMPT) (UPTO 50SM)	ENTRY/STAIRS (EXEMPT) (UPTO 10SM)	UPPERMOST STAIRS		TOTAL:	
	(GROSS)	(NET)	(GROSS)	(NET)	(GROSS)	(NET)			2F STAIRS (EXEMPT)	3F STAIRS (EXEMPT)	(GROSS)	(NET)
BUILDING A												
101	824.45	347.07	814.75	782.13			(402.36)	(75.02)	(32.62)		1639.20	1129.20
102	605.71	0.00	611.83	594.97	580.07	531.48	(514.93)	(90.78)	(16.86)	(48.59)	1797.61	1126.45
103	605.71	0.00	611.83	593.24	584.47	535.88	(516.66)	(89.05)	(18.59)	(48.59)	1802.01	1129.12
104	605.71	0.00	611.83	593.24	584.47	535.88	(516.66)	(89.05)	(18.59)	(48.59)	1802.01	1129.12
105	605.71	0.00	611.83	594.97	580.07	531.48	(514.93)	(90.78)	(16.86)	(48.59)	1797.61	1126.45
106	627.82	17.26	744.43	744.43	418.41	371.51	(502.91)	(107.64)		(46.90)	1790.65	1133.20
BUILDING B												
107	631.73	39.73	745.16	745.16	745.16	371.51	(484.36)	(107.64)		(46.89)	1795.30	1154.03
108	641.91	0	639.04	639.04	639.04	610.09	(534.27)	(107.64)		(51.90)	1927.02	1233.21
109	824.45	347.07	815.09	782.47			(402.36)	(75.02)	(32.62)		1639.54	1129.54
BUILDING C												
110	937.16	475.04	860.61	860.61			(396.78)	(107.64)			1797.77	1293.35
111	937.16	475.04	860.61	860.61			(396.78)	(107.64)			1797.77	1293.35
BUILDING D												
112	1090.25	605.66	867.83	867.83			(376.95)	(107.64)			1958.08	1473.49
113	783.14	298.55	833.73	833.73			(376.95)	(107.64)			1616.87	1132.28
BUILDING E												
114	937.16	475.04	860.61	860.61			(396.78)	(107.64)			1797.77	1293.35
115	937.16	475.04	860.61	860.61			(396.78)	(107.64)			1797.77	1293.35
ELC A	45.99	0									45.99	0
ELC E	51.91	0									51.91	0
GRBE	96.56	0									96.56	0
RCYL	60.49	0									60.49	0
TOTAL:											26756.97	18069.50

- NOTES:
- * AGING IN PLACE FEATURES ARE PROPOSED IN ALL UNITS OF THIS PROJECT.
 - * A CONVERTIBLE UNIT IS PROPOSED FOR THIS PROJECT.
 - * BLOCKING TO BE PROVIDED IN ALL BATHROOMS OF ALL UNITS FOR GRAB BARS.
 - * LEVER HANDLE TO BE USED FOR ALL DOORS.
 - * LEVER FAUCET TO BE USED IN ALL BATHROOMS AND POWDER ROOMS OF ALL UNITS.
 - * WINDOWS TO BE DOUBLE-GLAZED 3mm PANES W/ 13mm SPACING, FOR NOISE ISOLATION
 - * SLIDING DOORS TO BE DOUBLE-GLAZED 5mm PANE OUTSIDE, W/ 13mm SPACING AND 3mm PANE INSIDE, FOR NOISE ISOLATION
 - * ROOF ASSEMBLY TO PROVIDE ADEQUATE NOISE ISOLATION TO ALL INTERIOR SPACES BY USING THE INSTALLATION OF ASPHALT SHINGLES, ONE LAYER OF 15LB ROOFING FELT, 1/2" EXTERIOR GRD PLY WOOD SHEATHING, PRE-ENG WD TRS, R40 BATT, 5/8" TYPE-X GYP
 - * EXT WALL ASSEMBLY TO PROVIDE ADEQUATE NOISE ISOLATION TO ALL INTERIOR SPACES BY USING THE INSTALLATION OF HARDI-PNL, 1/2" PLY WD, 2X6 WD STD @ 16" O/C, R20 BATT, 1/2" TYPE-X GYP
 - * MECHANICAL COOLING IS NOT REQUIRED.
 - * EACH SUITE TO HAVE AN ACOUSTICALLY LINED FRESH AIR DUCT OPENING INTO THE LIVING ROOM.
 - * TOTAL EXHAUST CAPACITY OF THE BATHROOM AND KITCHEN EXHAUST FANS PROVIDE ONE AIR CHANGE PER HOUR REQUIREMENT
 - * ATTACHED GARAGES ARE FULLY INSULATED
 - * ALL EXTERIOR DOORS MANUFACTURED FROM STEEL
 - * ALL WINDOWS IN HOME ARE ENERGY STAR LABELED OR EQUIVALENT FOR THE CLIMATIC ZONE OF HOME



CONTEXT PLAN



MATTHEW CHENG ARCHITECT INC.

Unit 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2G9
Tel: (604) 731-9112 / Fax: (604) 731-3908
Cell: (604) 649-8669 / Email: matthew@mcai.ca

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No	Date	Revision
01	2012/07/30	DPA
02	2012/11/26	DPA REVISION
03	2013/01/09	DPA REVISION FOR ADP
04	2013/04/29	DPA REVISION FOR DPP
05	2013/09/16	DPA REVISION FOR DPP
06	2013/10/16	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
PROJECT DATA AND CONTEXT PLAN

Drawn:
HC/DC

Checked:
MC

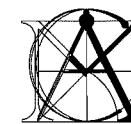
Scale:
1/16" = 1'-0"

Project Number:

Revision Date:
2013/10/16
Print Date:
2013/10/16

Dwg. No.
#0

PLAN #0
JAN 02 2014
DP 12-617455



MATTHEW CHENG ARCHITECT INC.

11411 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2E9
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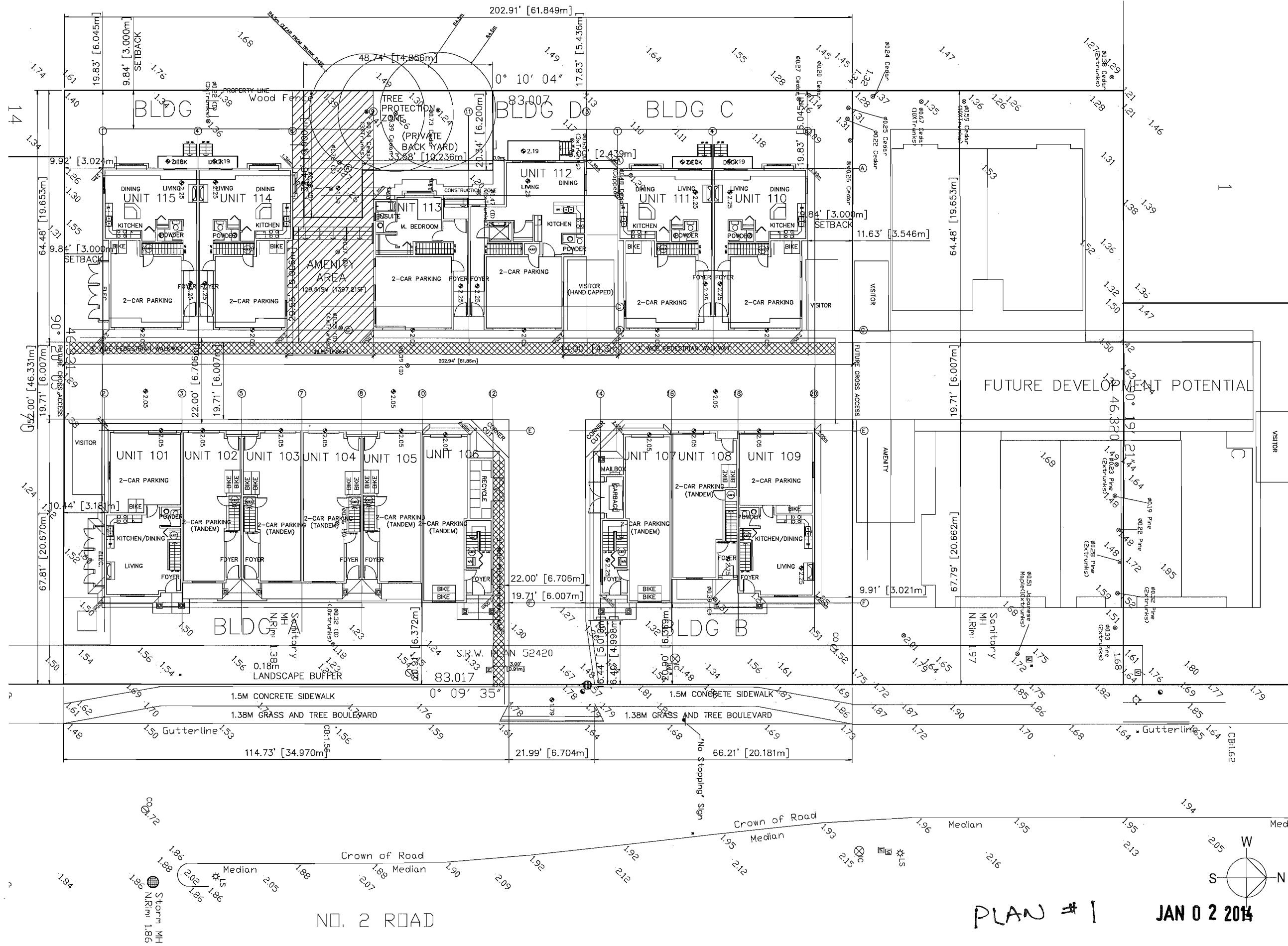
No.	Date	Revision
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02	2012/11/28	DPA REVISION
03	2013/04/29	DPA REVISION FOR DPP
04	2013/05/08	DPA REVISION FOR DPP II
05	2013/07/22	DPA REVISION FOR DPP
06	2013/09/16	DPA REVISION FOR DPP
07	2013/10/07	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

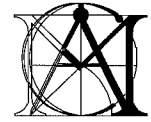
Sheet Title
SITE PLAN,
GROUND FLOOR,
FUTURE DEVELOPMENT
POTENTIAL

Revision Date: 2013/10/07	Dwg. No. #1
Print Date: 2013/10/07	



PLAN # 1 JAN 02 2014

DP 12-617455



MATTHEW CHENG ARCHITECT INC.

1102 202-478 EVANS AVENUE
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04	2013/04/29	DPA REVISION FOR DPP
05	2013/10/07	DPA REVISION FOR OPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
FIRE ACCESS PLAN

Drawn:

HC/DC

Checked:

MC

Scale:

3/32" = 1'-0"

Project Number:

Revision Date:

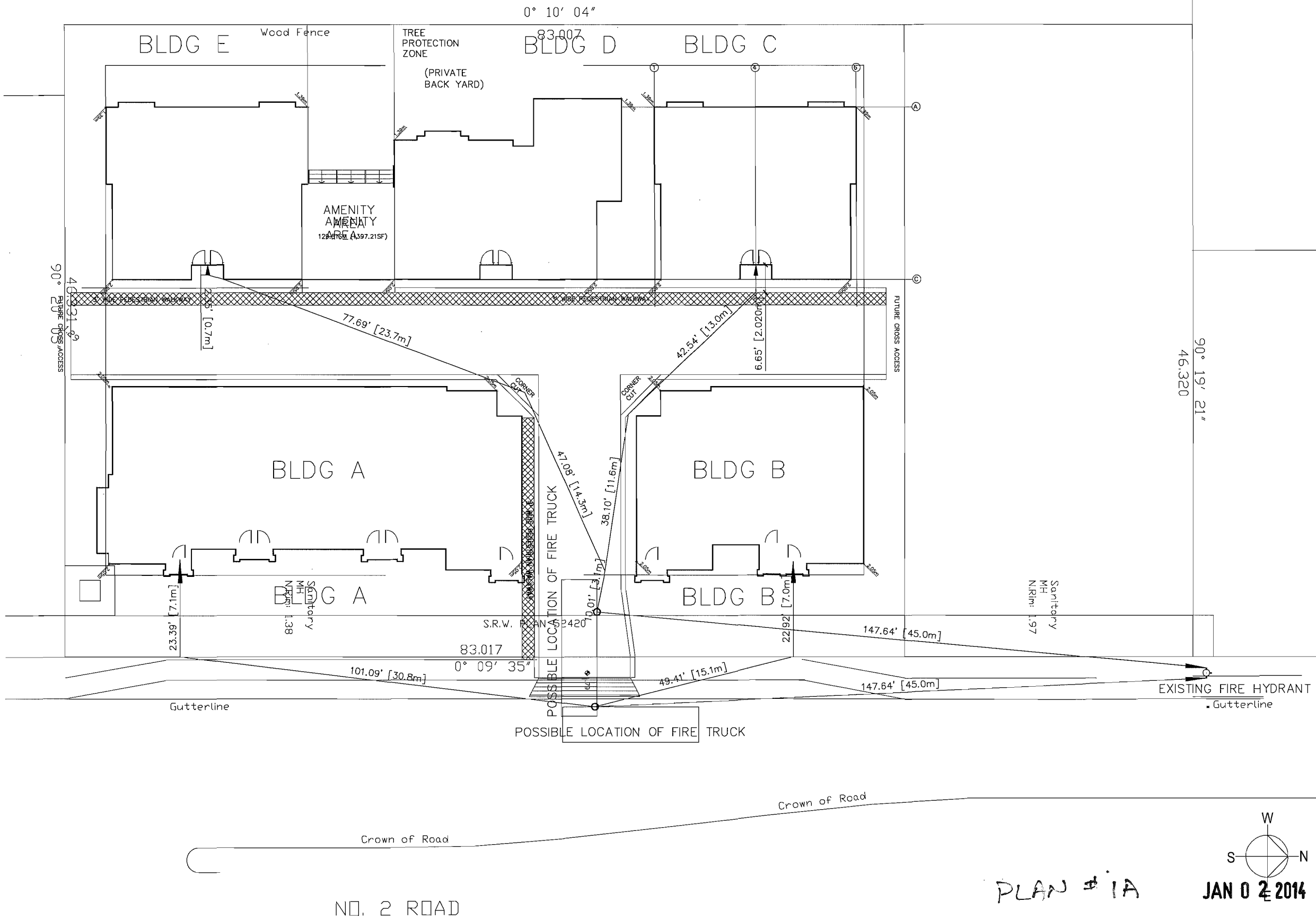
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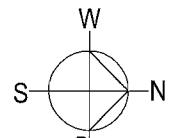
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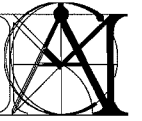
Dwg. No.

#1a



PLAN #1A
JAN 0 2 2014
DF 12-617455





MATTHEW CHENG ARCHITECT INC.

Unit 202 - 678 EVANS AVENUE
VANCOUVER, BC V6A 2K3
Tel: (604) 731-1912 / Fax: (604) 731-3908
Cel: (604) 645-8669 / Email: matthew@matc.ca

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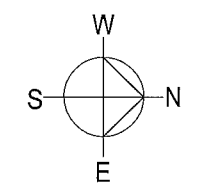
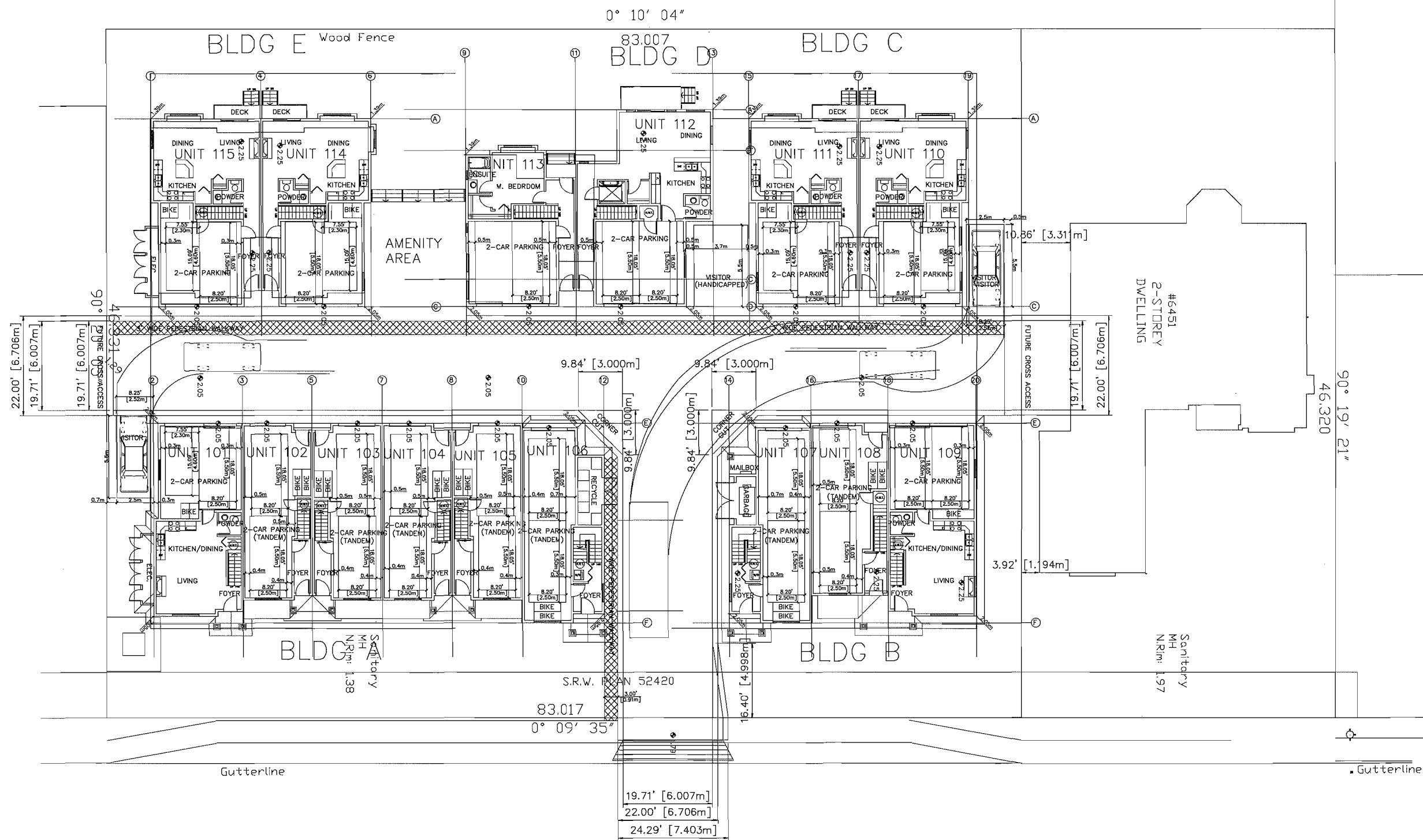
No	Date	Revision
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07	2013/09/16	DPA REVISION FOR DPP
08	2013/10/07	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
PARKING PLAN

Drawn: HC/DC	Revision Date: 2013/10/07	Dwg. No. #2
Checked: MC	Print Date: 2013/10/07	
Scale: 3/32" = 1'-0"	Project Number:	

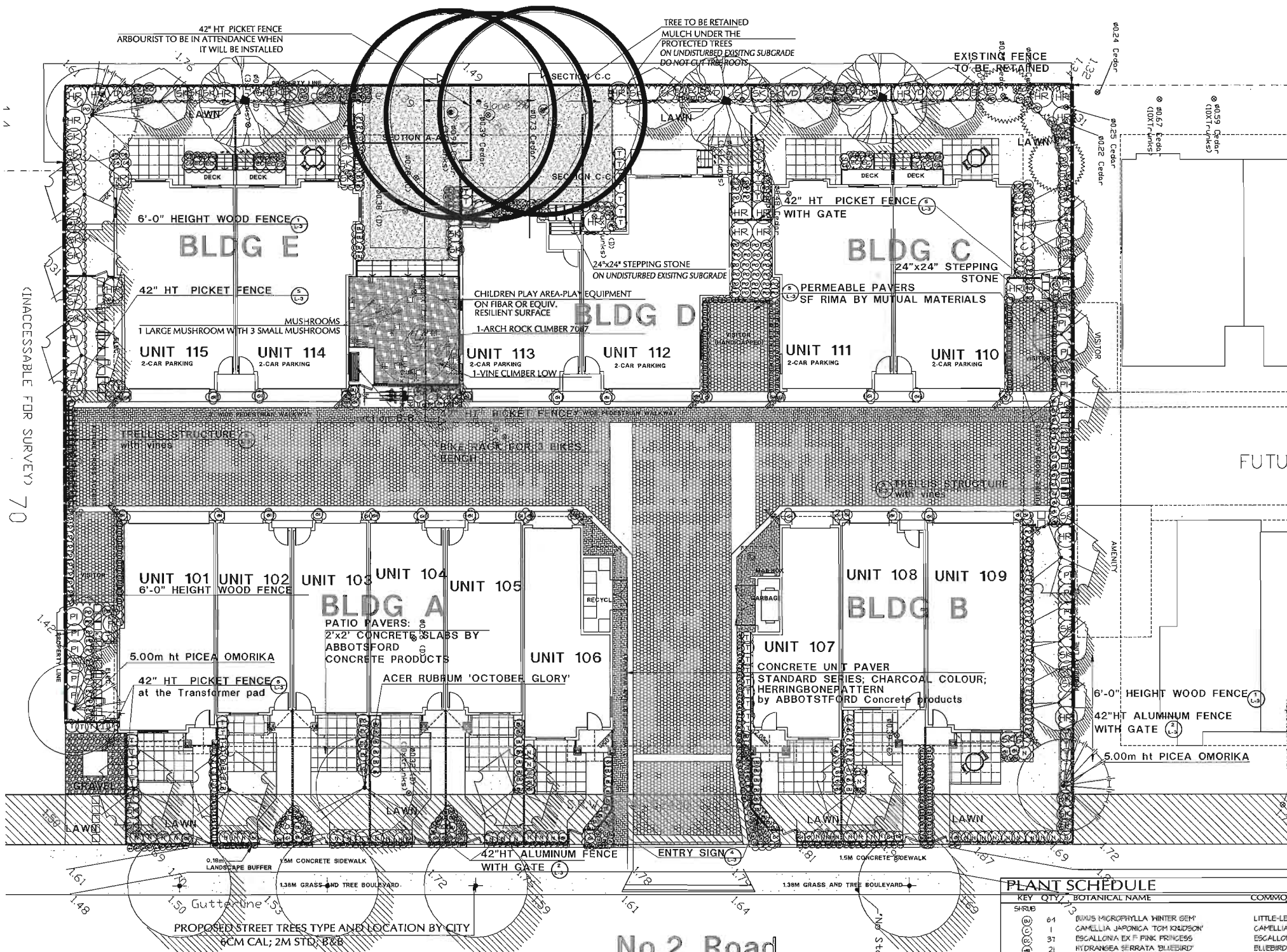


PLAN # 2

DP 12-617455

JAN 02 2014

SEAL:



Product Dimensions

SFBR-3 (1 box)
Accommodates up to 3 Bikes

14" L x 38.5" H 15 lbs / 356mm L x 978mm H
6.8 KG

SFBR-5 (3 box)
Accommodates up to 5 Bikes

38" L x 38.5" H 25 lbs / 965mm L x 978mm H
11.3 KG

SFBR-7 (5 box)
Accommodates up to 7 Bikes



NO.	DATE	REVISION DESCRIPTION	DR.
11	14 JAN 08	NEH SITE PLAN	DD
10	03 DEC 07	NEH SITE PLAN	DD
17	02 DEC 07	DPP SUBMISSION	DD
16	03 NOV 07	AS PER CITY REQUEST	DD
15	02 NOV 07	NEH SITE PLAN	DD
14	03 NOV 07	NEH SITE PLAN	DD
13	03 OCT 07	NEH SITE PLAN	DD
12	03 OCT 07	NEH SITE PLAN	DD
10	03 NOV 07	CITY COMMENTS	DD
9	03 NOV 07	NEH SITE PLAN / CITY COMMENTS	DD
8	03 NOV 07	NEH SITE PLAN	DD
7	03 NOV 07	NEH SITE PLAN / CITY COMMENTS	DD
6	03 NOV 07	NEH SITE PLAN / CITY COMMENTS	DD
5	03 NOV 07	NEH SITE PLAN / CITY COMMENTS	DD
4	02 NOV 07	NEH SITE PLAN / CITY COMMENTS	DD
3	02 NOV 07	NEH SITE PLAN	DD
2	02 FEB 07	NEH SITE PLAN	DD
1	02 FEB 07	NEH SITE PLAN	DD

CLIENT:

PROJECT:
15-UNIT TOWNHOUSE DEVELOPMENT
6471-6511 No 2 Road
RICHMOND, BC

With Matthew Cheng
Architects Inc.

DRAWING TITLE:
LANDSCAPE PLAN

DATE: January 30, 2012
SCALE: 3/32" = 1'-0"
DRAWN: DD
DESIGN: DD
CHKD: PCM

DRAWING NUMBER:
L1
OF 5

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE	1	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	8CM CAL; 2M STD; B4B
	3	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	10CM CAL; 2M STD; B4B
	12	MAGNOLIA KOBUS STELLATA	STAR MAGNOLIA	4H HT; B4B-STD
	3	PICEA OMORIKA	SERBIAN SPRUCE	5M HT; B4B
	3	PINUS FLEXILIS 'VANDERKOLP'S PYRAMID'	VANDERKOLP'S PYRAMID PINE	4H HT; B4B
	4	STREET TREE LOCATION AND TYPE BY CITY		6CM CAL; B4B
	4	STYRAX JAPONICUS 'ROSEA'	JAPANESE SNOBELL	6CM CAL; B4B

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

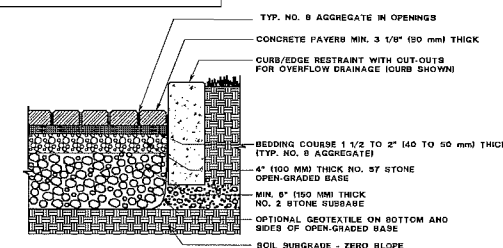
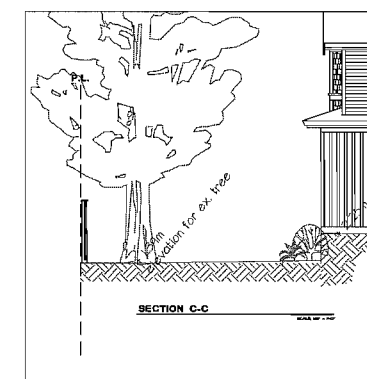
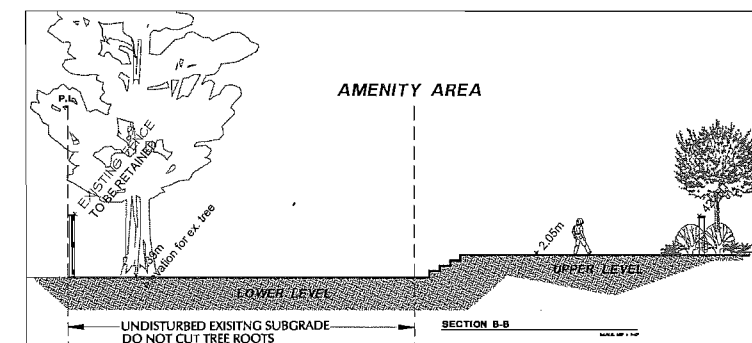
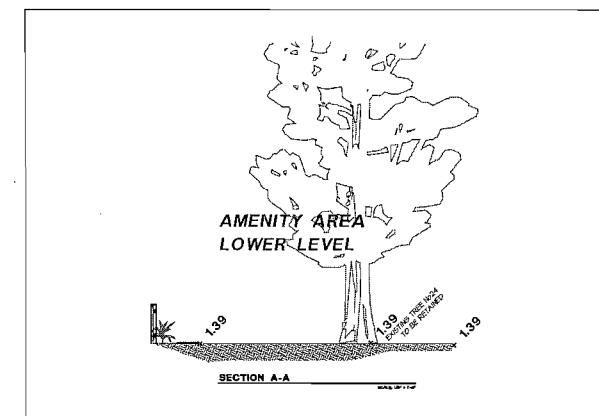
ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
SHRUB	61	BUXUS MICROPHYLLA 'WINTER GEM'	LITTLE-LEAF BOX	#3 POT; 40CM
	1	CAMELLIA JAPONICA 'TOM KNIPSON'	CAMELLIA; DARK RED	#3 POT; 60 CM
	31	ESCALLONIA EX F. PINK PRINCESS	ESCALLONIA; BRIGHT ROSE PINK	#3 POT; 50CM
	21	HYDRANGEA SERRATA 'BLUEBIRD'	BLUEBIRD HYDRANGEA	#2 POT; 30CM
	42	NAVADINA DOMESTICA 'NANA'	DWARF HEAVENLY BAMBOO	#2 POT; 20CM
	30	PIERIS JAPONICA 'MOUNTAIN FIRE'	JAPANESE ANDROMEDA	#3 POT
	5	ROSA EXPLORER 'CHAMPLAIN'	CHAMPLAIN ROSE; DARK RED	#3 POT; 60CM
	49	SKIMPIA REVEJESIANA	DWARF SKIMPIA	#2 POT; 25CM
	8	TARAX X MEDIA 'HICKSIF'	HICKS YEM	#3 POT; 80CM
	2	VIORNIUM DAVIDI	DAVID'S VIORNIUM	#3 POT; 50CM
GRASS	24	CAREX MORROQUI 'VARIEGATA'	VARIEGATED SEDGE	11 CM POT
	126	GHASMANTHUM LATIFOLIUM	RIVER OATS	#1 POT
	102	PENNISETUM ALOPECUROIDES 'HAHELIN'	DWARF FOUNTAIN GRASS	#1 POT; HEAVY
VINE	6	CLEMATIS ARMANII	EVERGREEN CLEMATIS	#2 POT; 60CM STAKED
PERENNIAL	82	SAXIFRAGA X ARENSII PINK	PINK SAXIFRAGE	11 CM POT
	125	PACHYSANDRA TERMINALIS	JAPANESE SPURGE	#1 POT; 15CM
	150	POLYSTICHUM HUNTII	WESTERN SHORR FERN	#1 POT; 25CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANTA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

SEAL:



- NOTES:
- 2 3/8" x 48 NO THICK PAVERS MAY BE USED IN PEDESTRIAN APPLICATIONS.
 - NO. 2 STONE SUBBASE THICKNESS VARIES WITH DESIGN. CONSULT IDPI PERMEABLE INTERLOCKING CONCRETE PAVEMENT MANUAL.
 - INSTALLATION TO MANUFACTURER'S SPECIFICATION.
 - THE CONCRETE PAVERS SHALL BE LAID IN SUCH A MANNER THAT THE DESIRED PATTERN IS MAINTAINED AND WITH NO JOINTS BETWEEN THE UNITS. FULL UNITS SHALL BE LAID FIRST. GIVE PIECES SHALL BE SAW-CUT AND FITTED SUBSEQUENTLY. FRACTURED OR BROKEN PAVERS WILL NOT BE ACCEPTED.
 - THE SURFACE OF THE PAVERS SHALL BE TRUE TO ELEVATION AND SHALL NOT VARY BY MORE THAN 1/4" (6MM) TESTED WITH A 10'-0" (3M) STRAIGHT EDGE AT ANY LOCATION ON THE SURFACE. SURFACES SHALL ABUT FLUSH WITH ADJACENT MATERIALS AS SHOWN.
 - VIBRATE PAVERS AT GRADE LEVELS INTO PLACE USING APPROPRIATE PLATE TYPE VIBRATORS.
 - SPREAD JOINTING SAND OVER THE ENTIRE AREA AT GRADE LEVELS. SWEEP AND VIBRATE INTO JOINTS SUCH THAT JOINTS ARE FILLED TO THEIR FULL DEPTH.

NO.	DATE	REVISION DESCRIPTION	DR.
14	14.JAN.08	NEW SITE PLAN	DD
13	13.DEC.08	NEW SITE PLAN	DD
17	13.DEC.12	DPP SUBMISSION	DD
16	13.OCT.12	AS PER CITY REQUEST	DD
15	13.NOV.06	NEW SITE PLAN	DD
14	13.NOV.05	NEW SITE PLAN	DD
13	13.OCT.14	NEW SITE PLAN	DD
12	13.OCT.08	NEW SITE PLAN	DD
11	13.OCT.08	CITY COMMENTS	DD
10	13.AUG.08	CITY REQUEST	DD
9	13.MAY.10	NEW SITE PLAN / CITY COMMENTS	DD
8	13.APR.10	NEW SITE PLAN	DD
7	13.APR.10	NEW SITE PLAN / CITY COMMENTS	DD
6	13.JAN.08	NEW SITE PLAN / CITY COMMENTS	DD
5	13.JAN.08	NEW SITE PLAN / CITY COMMENTS	DD
4	12.NOV.08	NEW SITE PLAN / CITY COMMENTS	DD
3	12.MAR.08	NEW SITE PLAN	DD
2	12.FEB.08	NEW SITE PLAN	DD
1	12.FEB.07	NEW SITE PLAN	DD

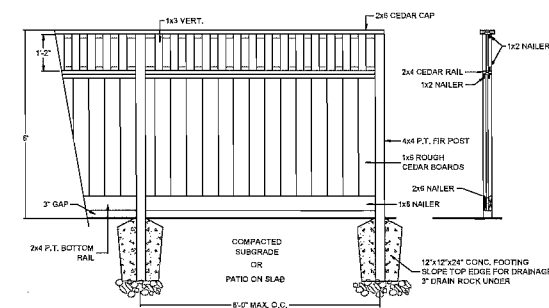
CLIENT:

PROJECT:
15-UNIT TOWNHOUSE DEVELOPMENT
6471-6511 No 2 Road
RICHMOND, BC
With Matthew Cheng Architects Inc.

DRAWING TITLE:

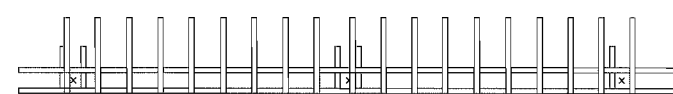
LANDSCAPE DETAILS

DATE: January 30, 2012 DRAWING NUMBER:
SCALE:
DRAWN: DD
DESIGN: DD
CHKD: PCM OF 5
PMG PROJECT NUMBER: 12-025

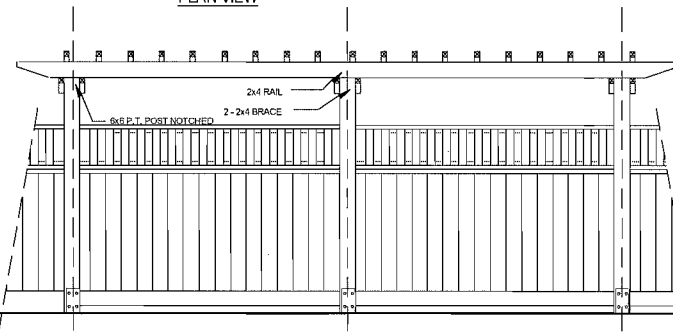


- NOTES:
- ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 - ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 - ALL HARDWARE HOT DIPPED GALVANIZED.
 - APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 - ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4".

1
L-3
6'-0" HEIGHT WOOD FENCE
3/8" = 1'-0"



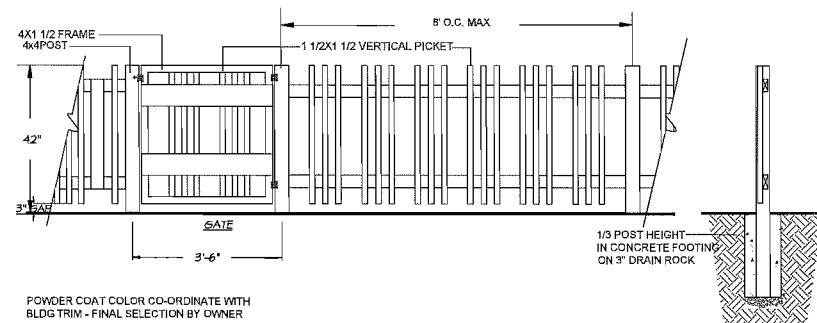
PLAN VIEW



FRONT VIEW

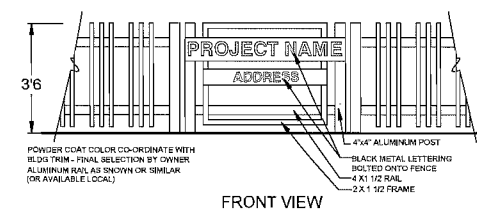
- NOTE:
- ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 - ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 - ALL HARDWARE TO BE HOT-DIPPED GALVANIZED
 - APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. MATCH TRIM COLOUR PER ARCH SPEC, CONFIRM WITH ARCHITECT
 - COAT ALL CUT SURFACES WITH SIMILAR PRESERVATIVE AS ABOVE

3
L-3
TRELLIS STRUCTURE
3/8" = 1'-0"

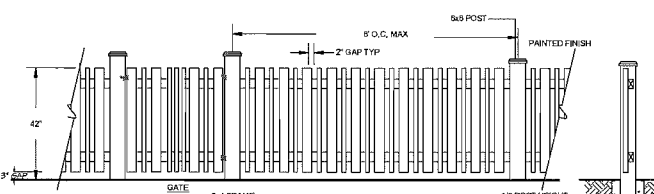


POWDER COAT COLOR CO-ORDINATE WITH BLDG TRIM - FINAL SELECTION BY OWNER ALUMINUM RAIL AS SHOWN OR SIMILAR (OR AVAILABLE LOCAL)

2
L-3
42" HT ALUMINIUM FENCE WITH GATE
1/2" = 1'-0"



4
L-3
ENTRY SIGN
3/8" = 1'-0"

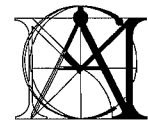


- NOTE FOR ALL WOODWORK:
- ALL POSTS PRESSURE TREATED TO CSA STANDARD AND END CUTS TREATED WITH PRESERVATIVE.
 - ALL OTHER MEMBERS TO BE CEDAR, #2 (CONSTRUCTION) GRADE MINIMUM.
 - ALL HARDWARE HOT DIPPED GALVANIZED.
 - APPLY 2 COATS EXTERIOR STAIN TO MANUFACTURERS SPECIFICATION. FINISH SELECTION AS APPROVED BY PROJECT ARCHITECT.
 - ALL FENCES TO BE LEVEL. CHANGES IN GRADE TO BE IN 12"-18" STEPS (MAX). GAPS TO GRADE TO FOLLOW FINISH GRADE. GAP TO BE 3/4".
 - FENCE POST FOOTING AT S LOCATED ON PRIVATE PROPERTY. MINIMUM 150 MM.

5
L-3
42" HT PICKET FENCE AND GATE
3/8" = 1'-0"

6
L-3
SF RIMA PERMEABLE DRIVEWAY EXFILTRATION TO SOIL SUBGRADE
NOTE: Design to be determined on site. Curb/edge restraint will not interfere with achieving minimum drive aisle widths of 6.1m or 6.71m (flush).

DP 12-617455
PLAN # 3A
JAN 02 2014



MATTHEW CHENG ARCHITECT INC.

1188 202 - 670 EVANS AVENUE
VANCOUVER, BC V5A 2K9
Tel: (604) 751-9012 / Fax: (604) 751-3908
Cell: (604) 949-0609 / Email: matthew@mca.ca

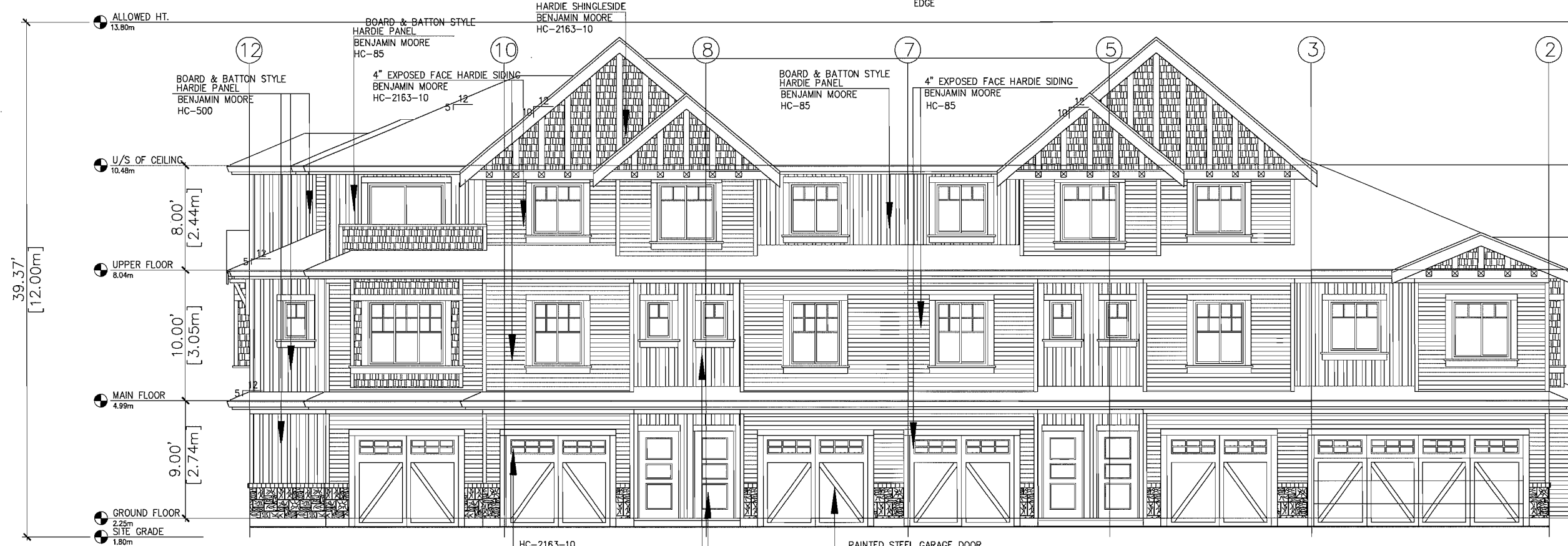
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No	Date	Revision
01	2012/07/30	DPA
02	2012/11/28	DPA REVISION
03	2013/01/09	DPA REVISION FOR ADP
04	2013/04/29	DPA REVISION FOR DPP
05	2013/07/22	DPA REVISION FOR DPP
06	2013/09/16	DPA REVISION FOR DPP
07	2013/10/07	DPA REVISION FOR DPP

Consultants



BUILDING A EAST ELEVATION (NO.2 ROAD)



BUILDING A WEST ELEVATION

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
ELEVATIONS BUILDING A

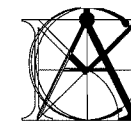
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Scale:
1/4" = 1'-0"
Project Number:

Revision Date:
2013/10/07
Print Date:
2013/10/07

Dwg. No.
#4

JAN 02 2014

DP 12-617455 PLAN #4



MATTHEW CHENG ARCHITECT INC.

Unit 202 - 679 EVANS AVENUE
VANCOUVER, BC V6A 2K9
Tel: (604) 731-3012 / Fax: (604) 731-3908
Cell: (604) 649-6669 / Email: matthew@mca.ca

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No	Date	Revision
01	2012/07/30	DPA
02	2012/11/26	DPA REVISION
03	2013/01/09	DPA REVISION FOR ADP
04	2013/04/29	DPA REVISION FOR DPP
05	2013/05/08	DPA REVISION FOR DPP II
06	2013/09/16	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
ELEVATIONS
BUILDING A

Drawn:
HC/DC/MS/MC

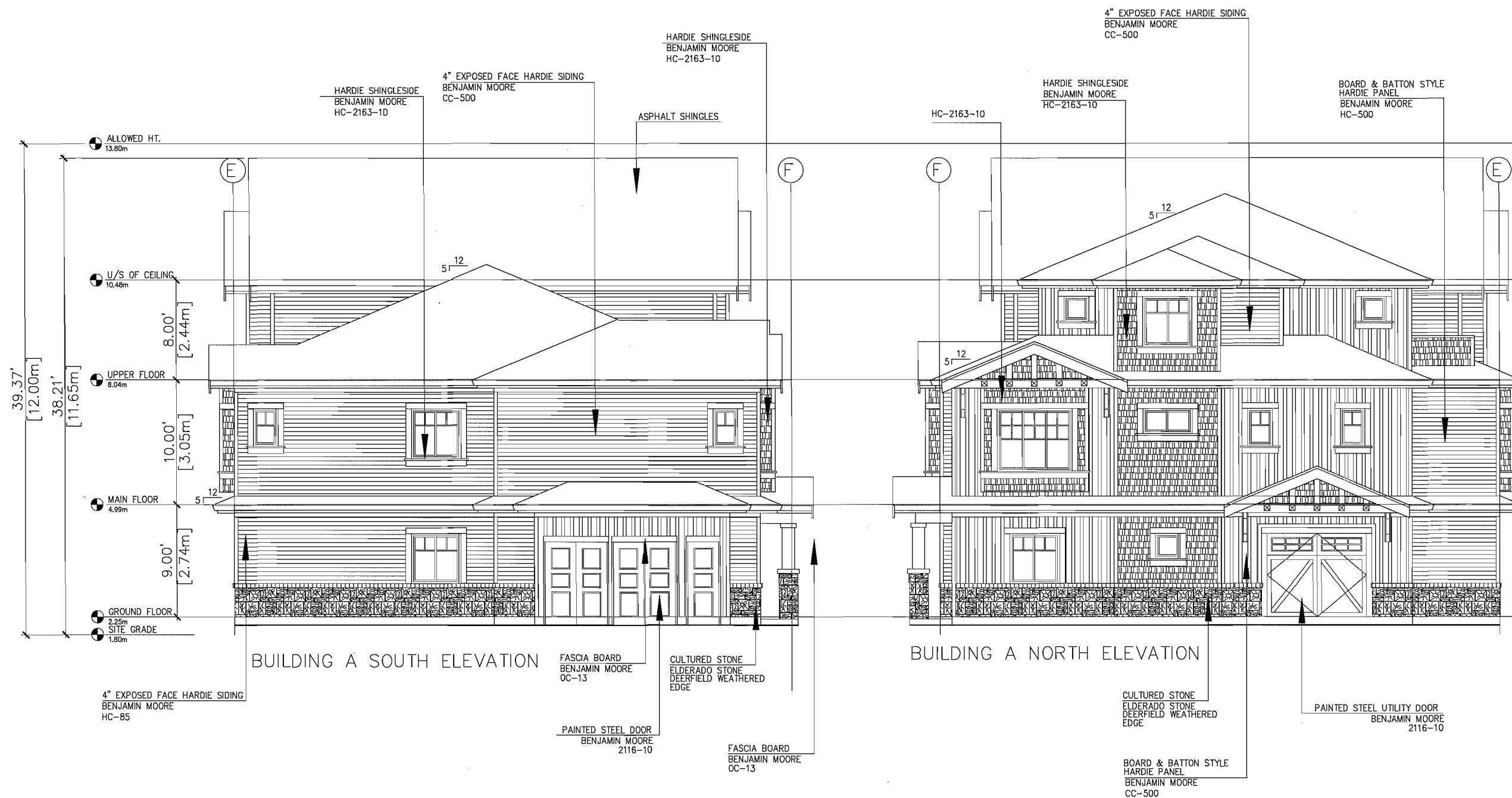
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Revision Date:
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Print Date:
2013/10/16

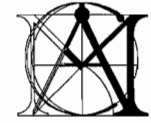
Dwg. No.
#4a



DP 12-617455

PLAN # 4A

JAN 02 2014

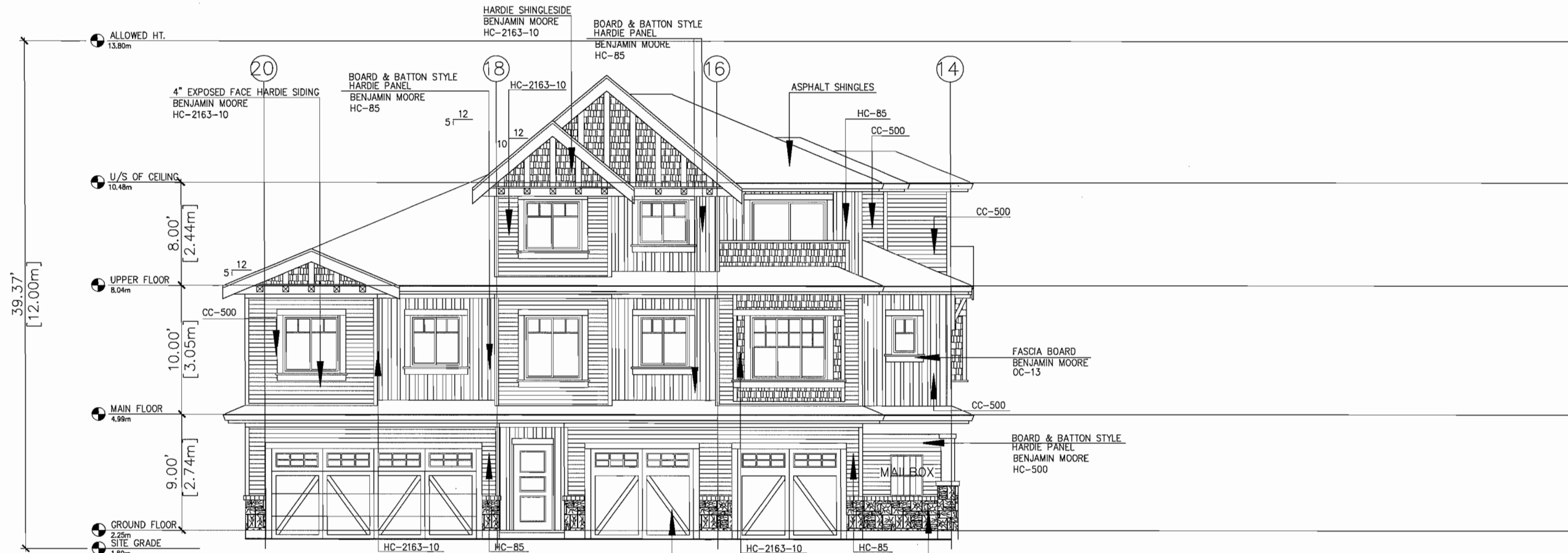


MATTHEW CHENG ARCHITECT INC.

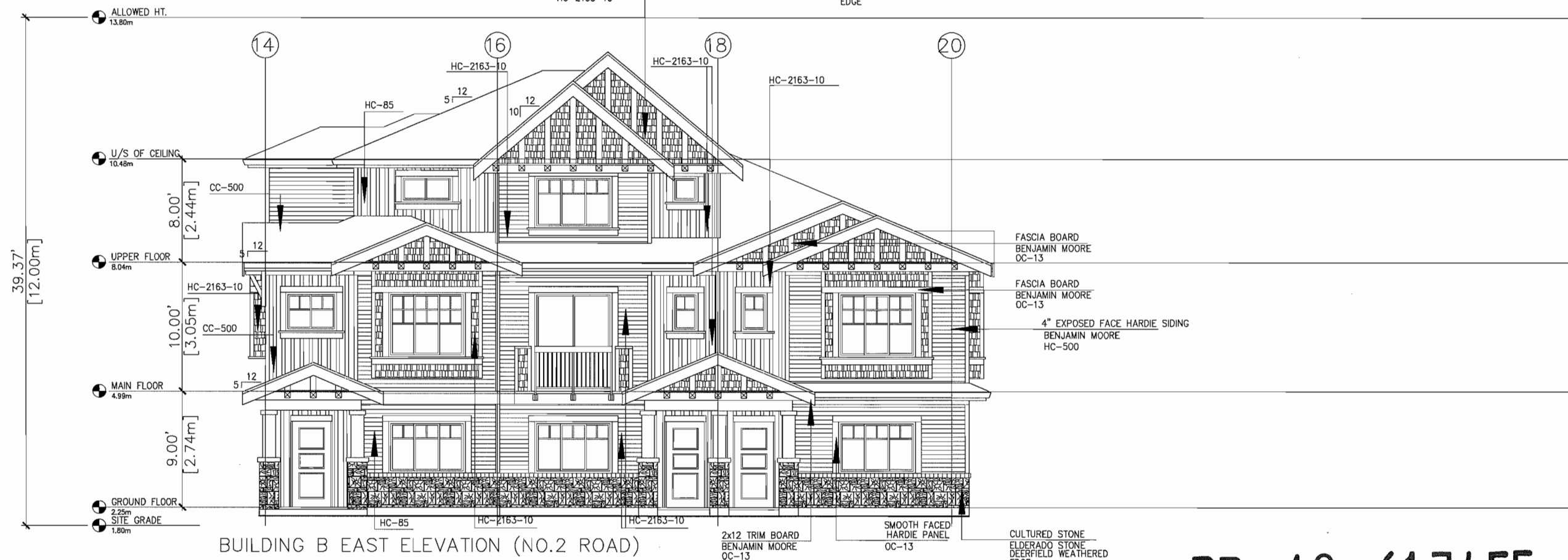
Unit 202 - 678 EVANS AVENUE
VANCOUVER, BC V6A 2K9
Tel: (604) 731-3012 / Fax: (604) 731-3908
Cell: (604) 645-8699 / Email: mch@matarch.ca

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03	2013/01/09	DPA REVISION FOR ADP
04	2013/04/29	DPA REVISION FOR DPP
05	2013/05/16	DPA REVISION FOR DPP
06	2013/10/07	DPA REVISION FOR DPP



BUILDING B WEST ELEVATION



BUILDING B EAST ELEVATION (NO.2 ROAD)

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
ELEVATIONS
BUILDING B

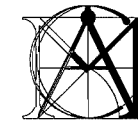
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HC/DC/MS
Checked:
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Scale:
1/4" = 1'-0"
Project Number:

Revision Date:
2013/10/07
Print Date:
2013/10/07
Dwg. No.
#4b

JAN 02 2014

DP 12-617455

PLAN #4B

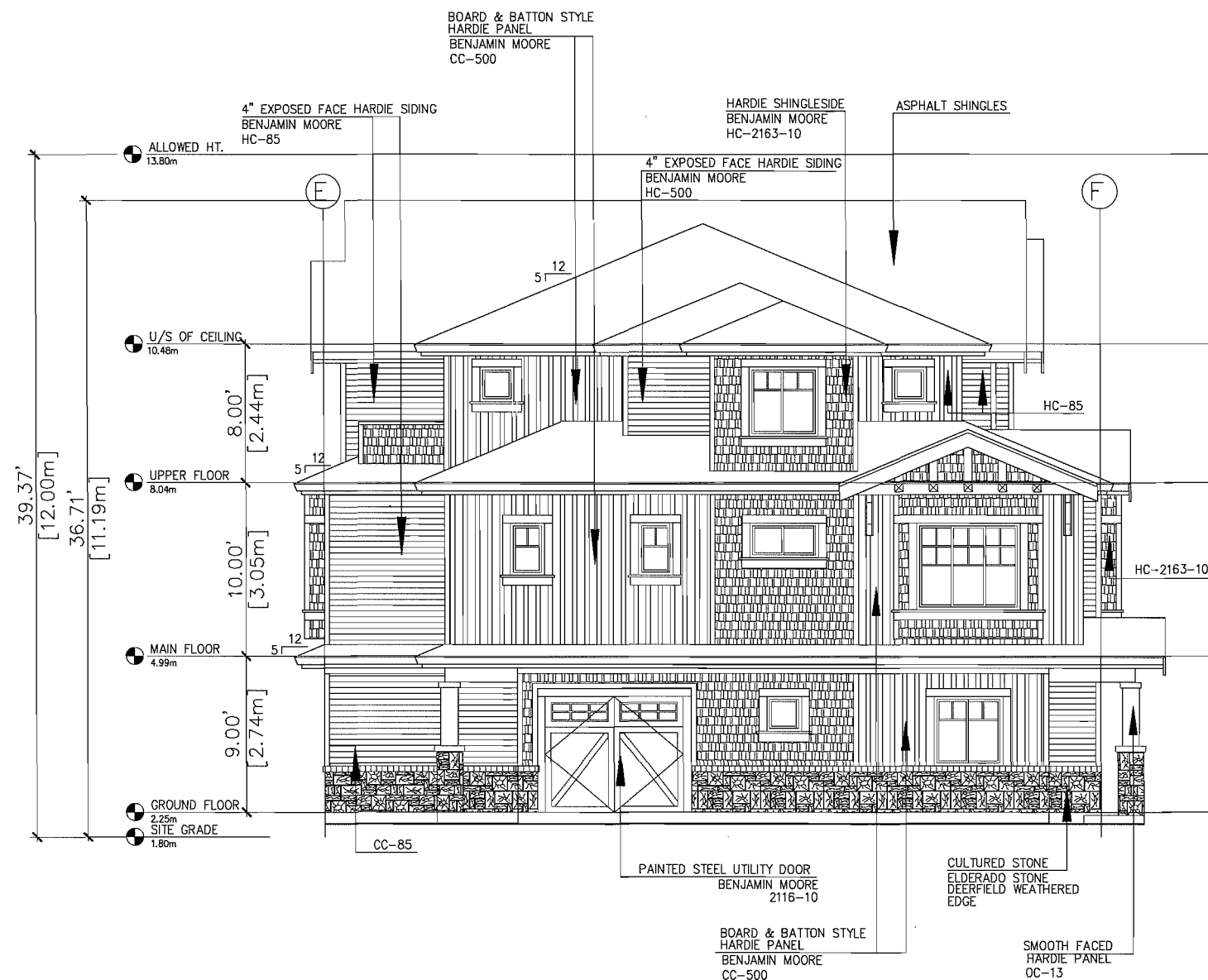


MATTHEW CHENG ARCHITECT INC.

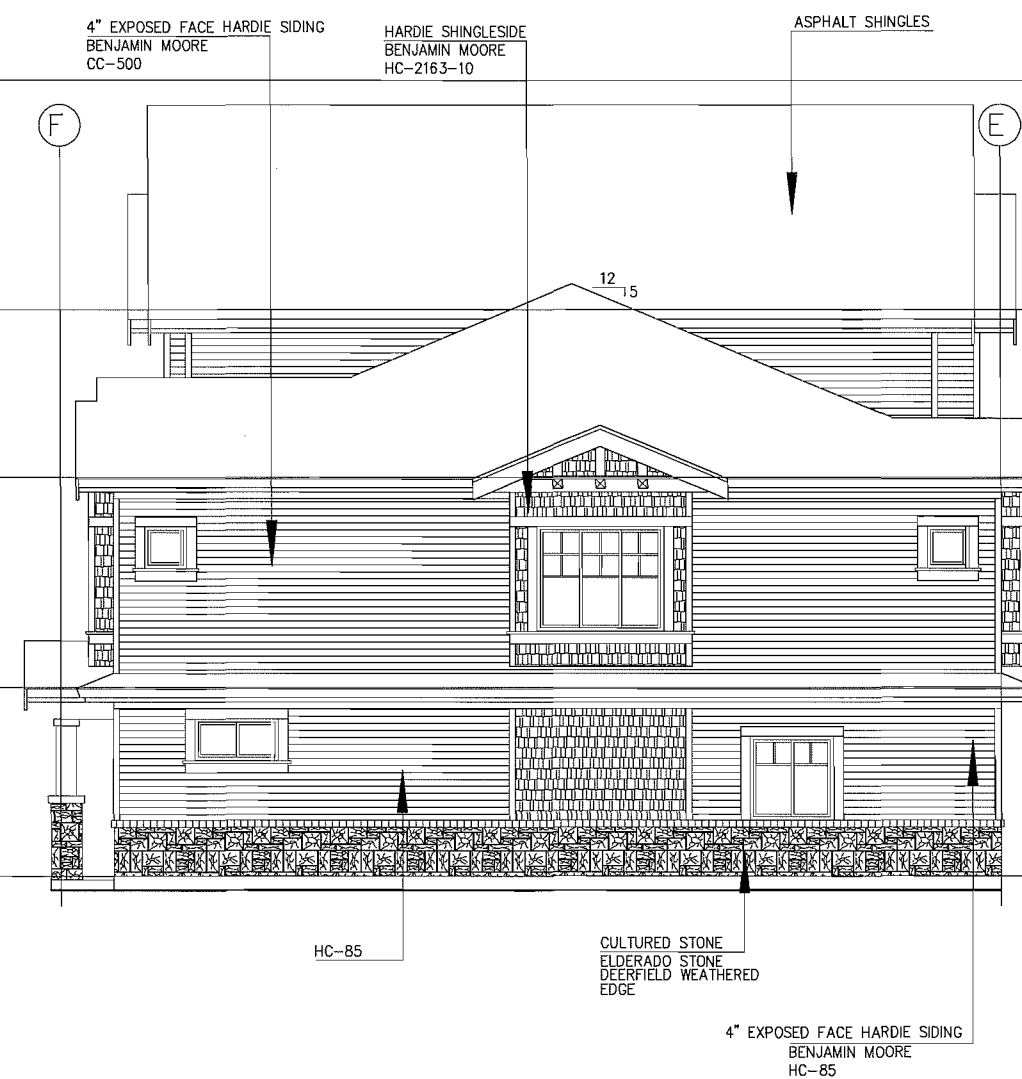
Unit 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2K9
Tel: (604) 731-3012 / Fax: (604) 731-3998
Cell: (604) 640-0669 / Email: matthew@mc.ca

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03	2013/04/29	DPA REVISION FOR DPP
04	2013/05/08	DPA REVISION FOR DPP II
05	2013/09/16	DPA REVISION FOR DPP
06	2013/10/07	DPA REVISION FOR DPP



BUILDING B SOUTH ELEVATION



BUILDING B NORTH ELEVATION

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
ELEVATIONS
BUILDING B

Drawn:
HC/DC/MS/NC

Checked:
MC

Scale:
1/4" = 1'-0"

Project Number:

Revision Date:
2013/10/07
Print Date:
2013/10/07

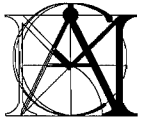
Dwg. No.

#4c

DP 12-617455

PLAN # 4c

JAN 02 2014



MATTHEW CHENG ARCHITECT INC.

Unit 202 - 670 EVANS AVENUE
VANCOUVER, BC V6A 2G9
Tel: (604) 731-3012 Fax: (604) 731-3108
Cell: (604) 649-9669 / Email: matthe@cma.ca

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05	2013/07/22	DPA REVISION FOR DPP
06	2013/09/16	DPA REVISION FOR DPP
07	2013/10/07	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
ELEVATIONS
BUILDING C

Drawn:
DCA/MS/AC

Checked:
MC

Scale:
1/4" = 1'-0"

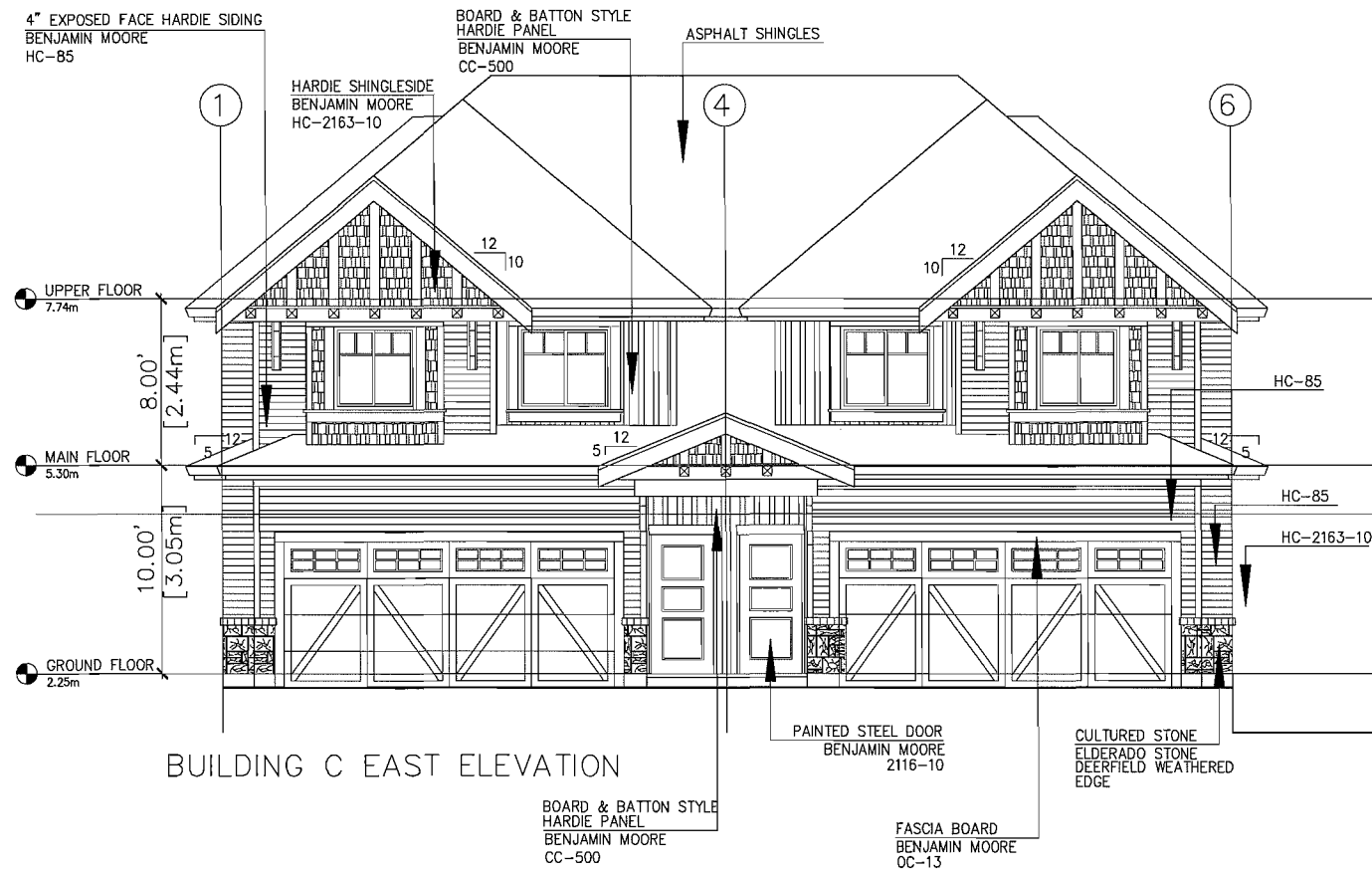
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Revision Date:
2013/10/07

Print Date:
2013/10/07

Dwg. No.

#4d



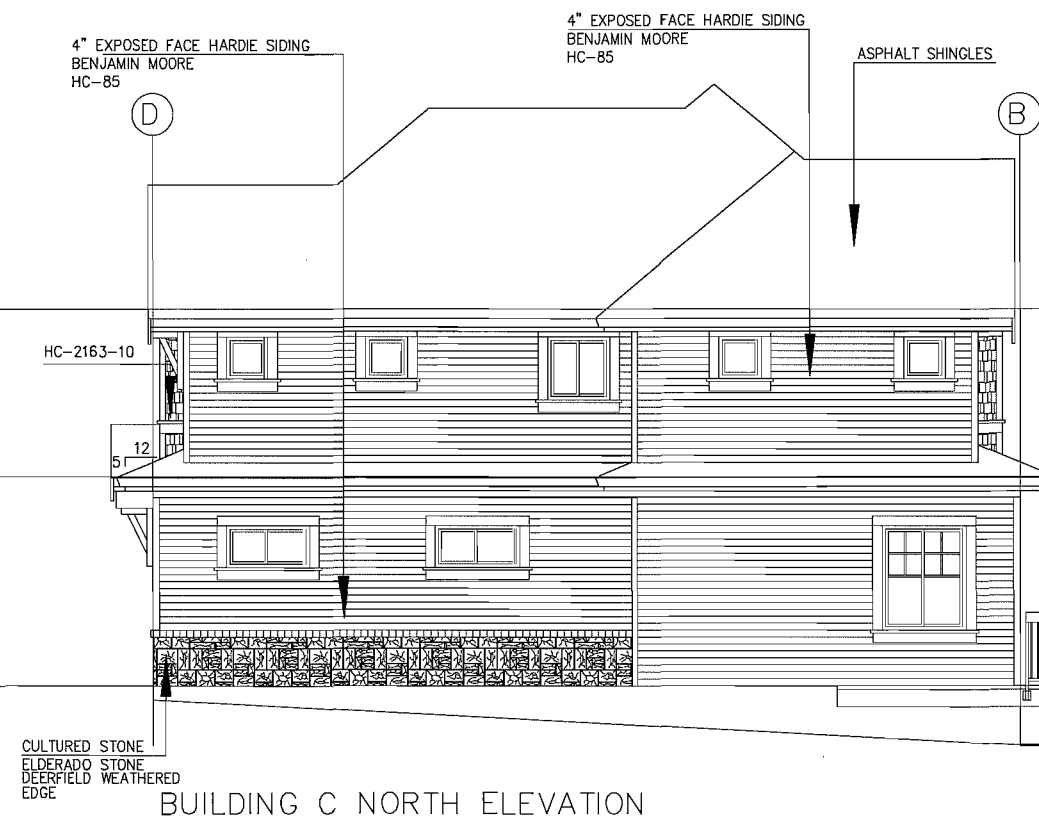
BUILDING C EAST ELEVATION



BUILDING C SOUTH ELEVATION



BUILDING C WEST ELEVATION



BUILDING C NORTH ELEVATION

DP 12-617455
PLAN #4D
JAN 02 2014



MATTHEW CHENG ARCHITECT INC.

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02	2012/11/26	DPA REVISION
03	2013/01/09	DPA REVISION FOR ADP
04	2013/04/29	DPA REVISION FOR DPP
05	2013/09/16	OPA REVISION FOR OPP
06	2013/10/07	OPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
ELEVATIONS
BUILDING E

Drawn:
DC/MC/AVC

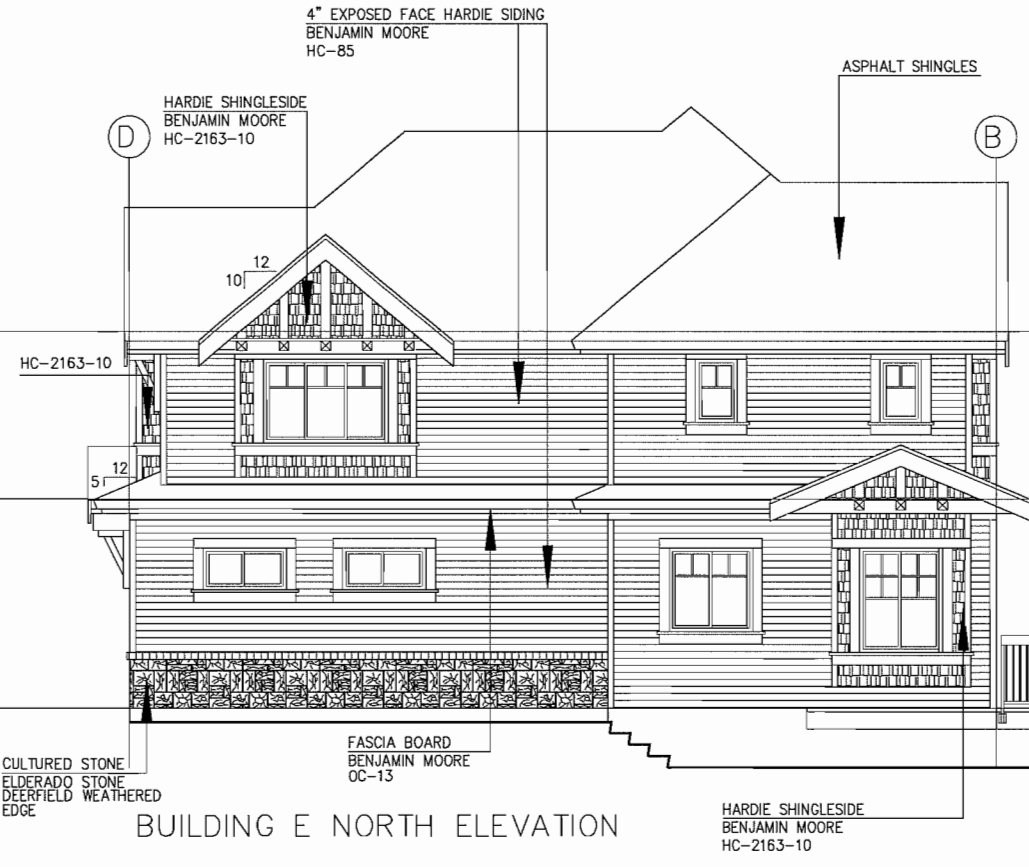
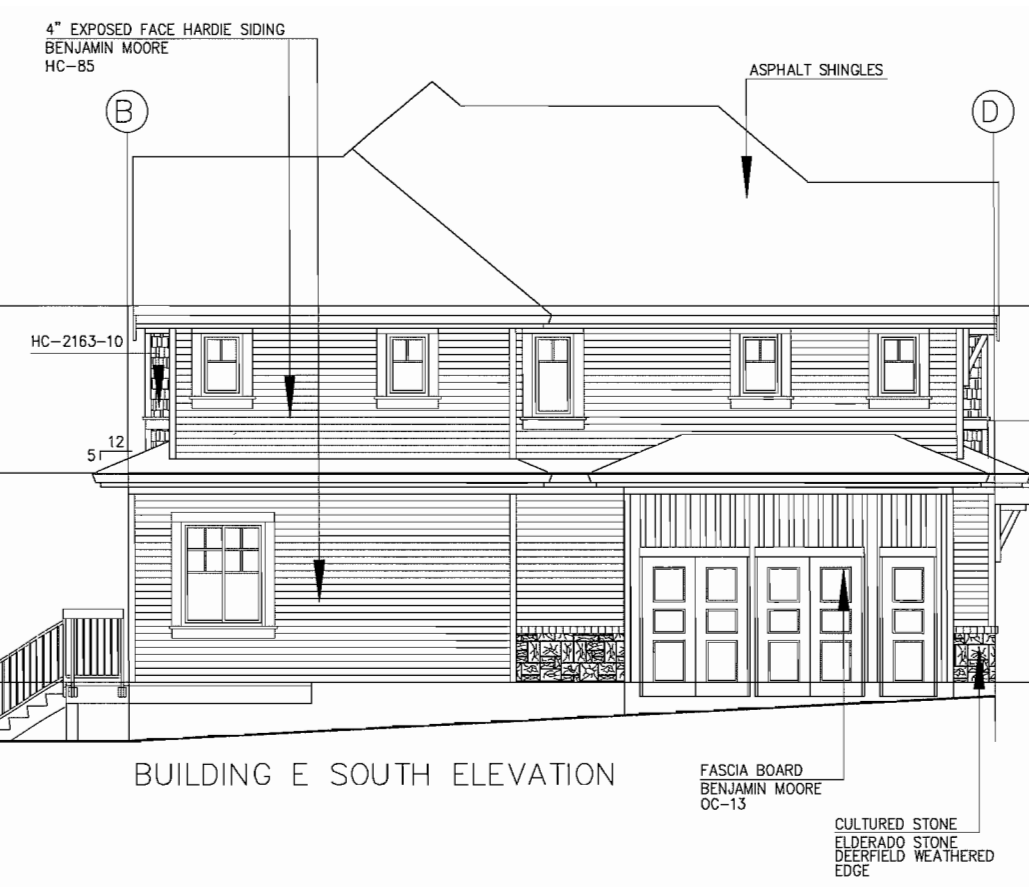
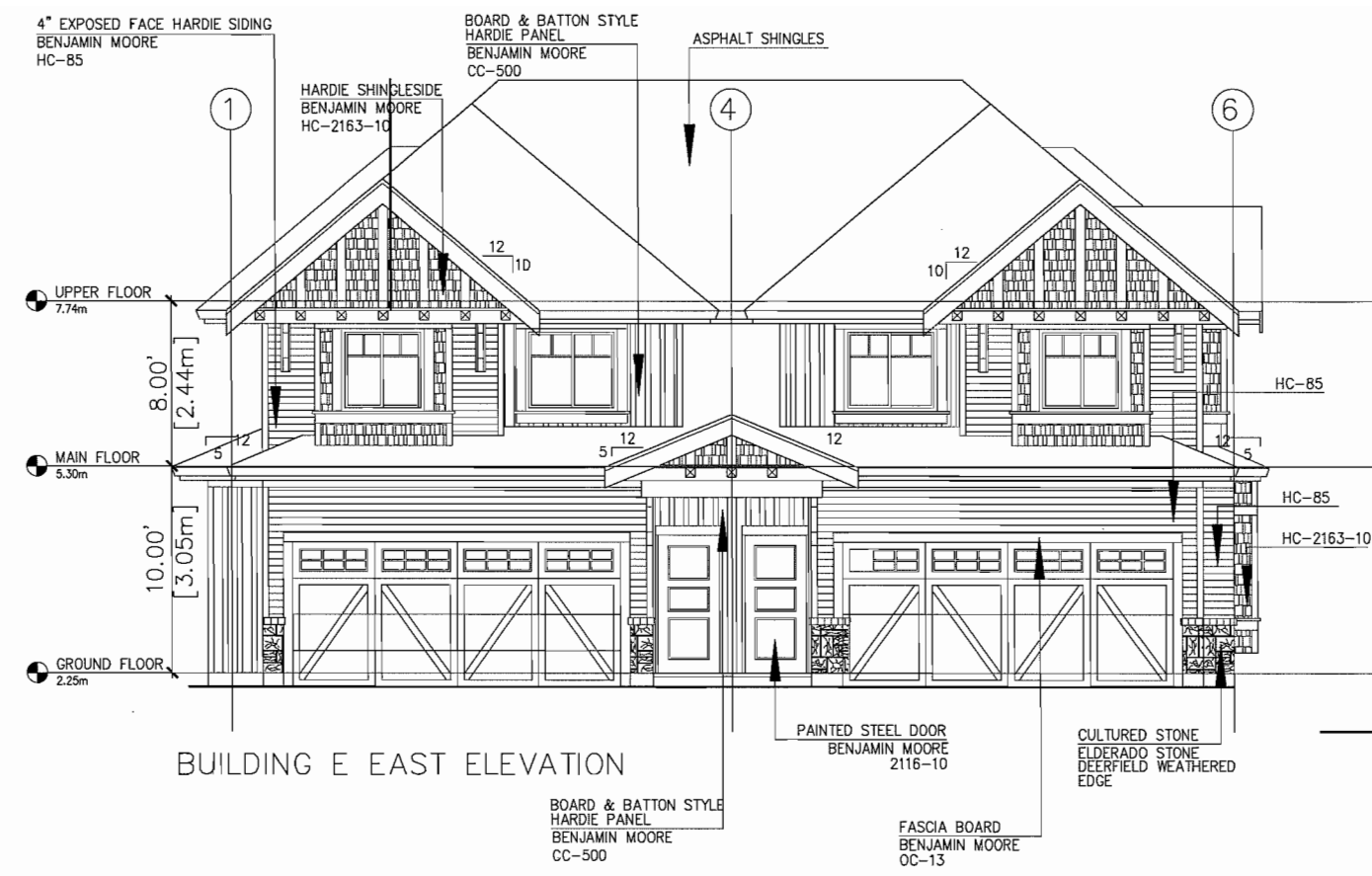
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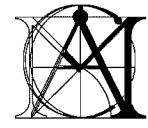
Project Number:

Revision Date:
2013/10/07
Print Date:
2013/10/07

Dwg. No.
#4e



DP 12-617455
PLAN # 4E
JAN 02 2014



MATTHEW CHENG ARCHITECT INC.

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05	2013/07/22	DPA REVISION FOR DPP
06	2013/09/16	DPA REVISION FOR DPP
07	2013/10/07	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
ELEVATIONS BUILDING D

Drawn:
DC/MS/HC

Checked:
MC

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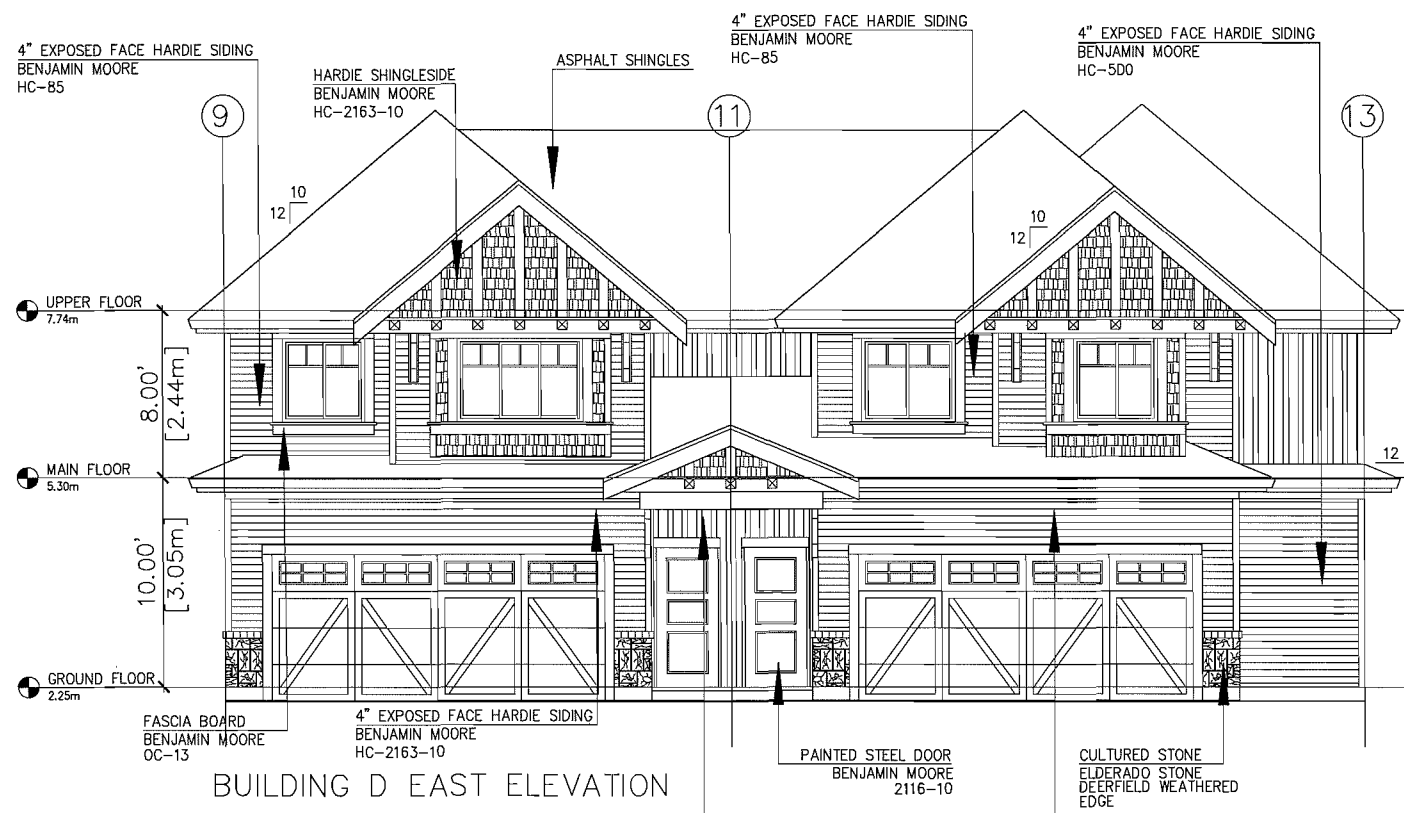
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Revision Date:
2013/10/07

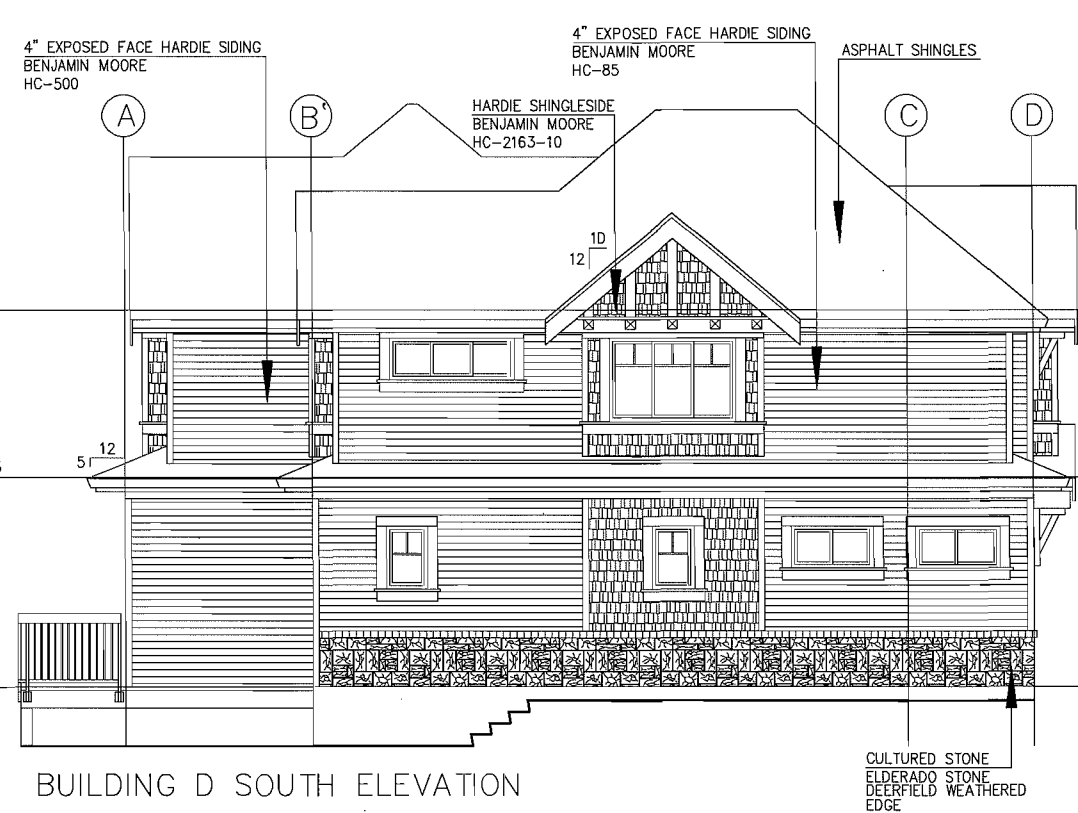
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2013/10/07

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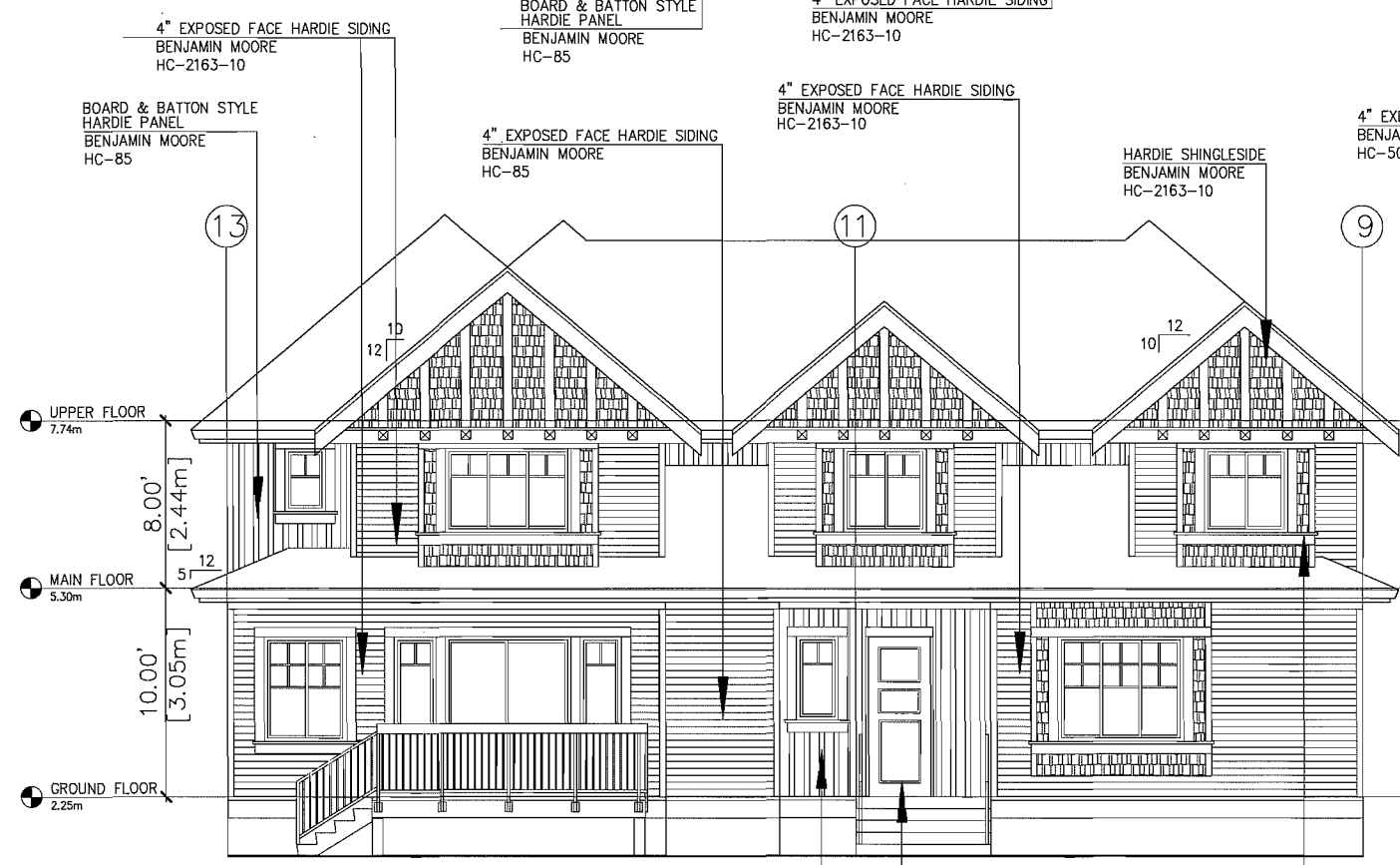
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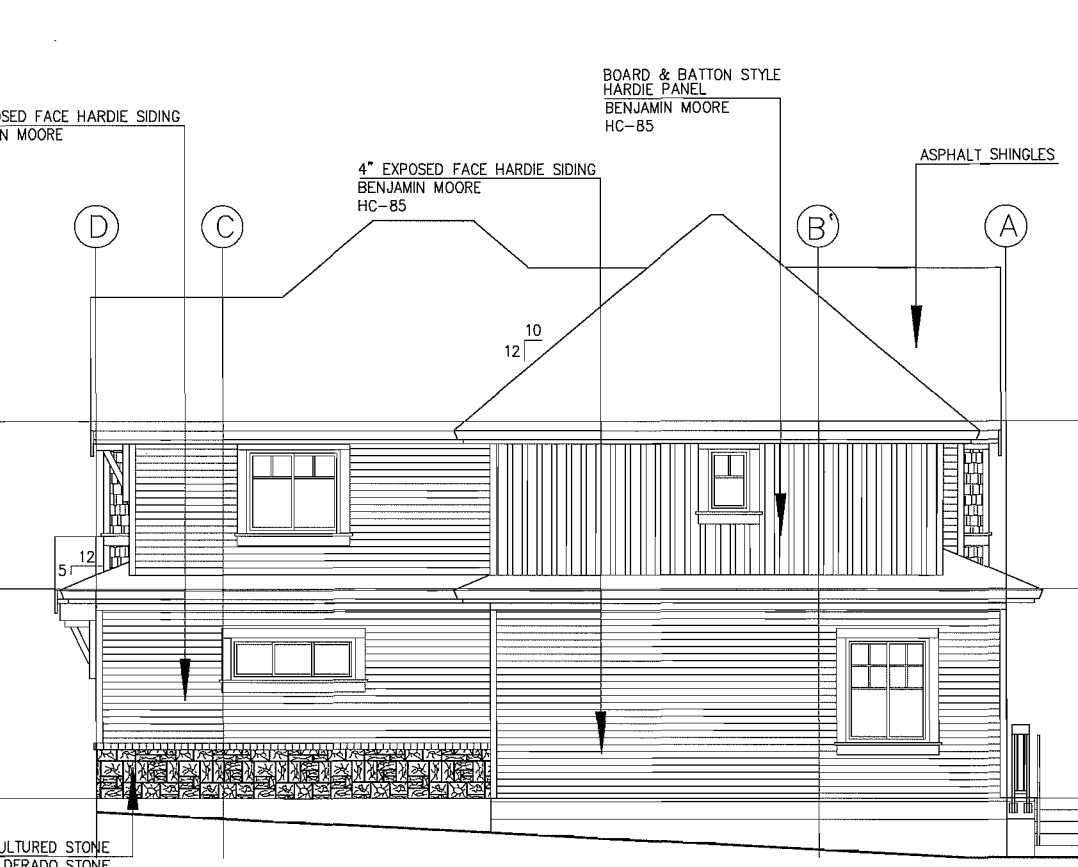
BUILDING D EAST ELEVATION



BUILDING D SOUTH ELEVATION



BUILDING D WEST ELEVATION



BUILDING D NORTH ELEVATION

DP 12-617455

PLAN # 4F

JAN 02 2014



EAST ELEVATION (STREETSCAPE ALONG NO.2 ROAD)



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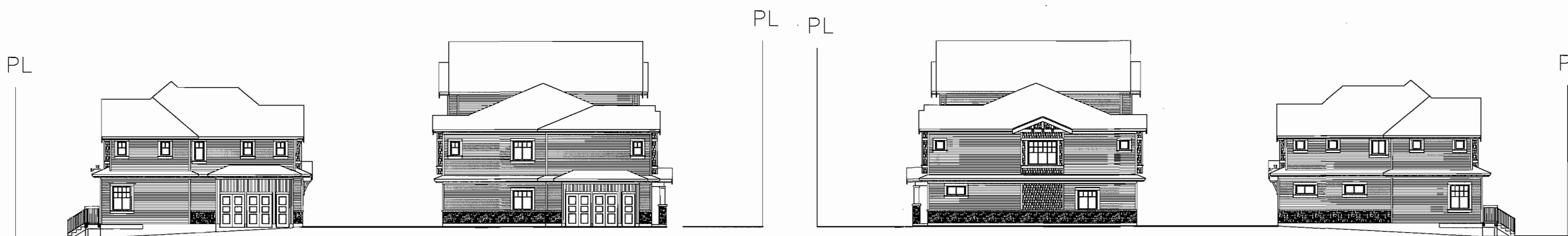
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WEST ELEVATION

Consultants



SOUTH ELEVATION

NORTH ELEVATION

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
STREETSCAPE
SITE ELEVATIONS

Drawn: HC/DC
Checked: MC
Scale: 3/32" = 1'-0"
Project Number:

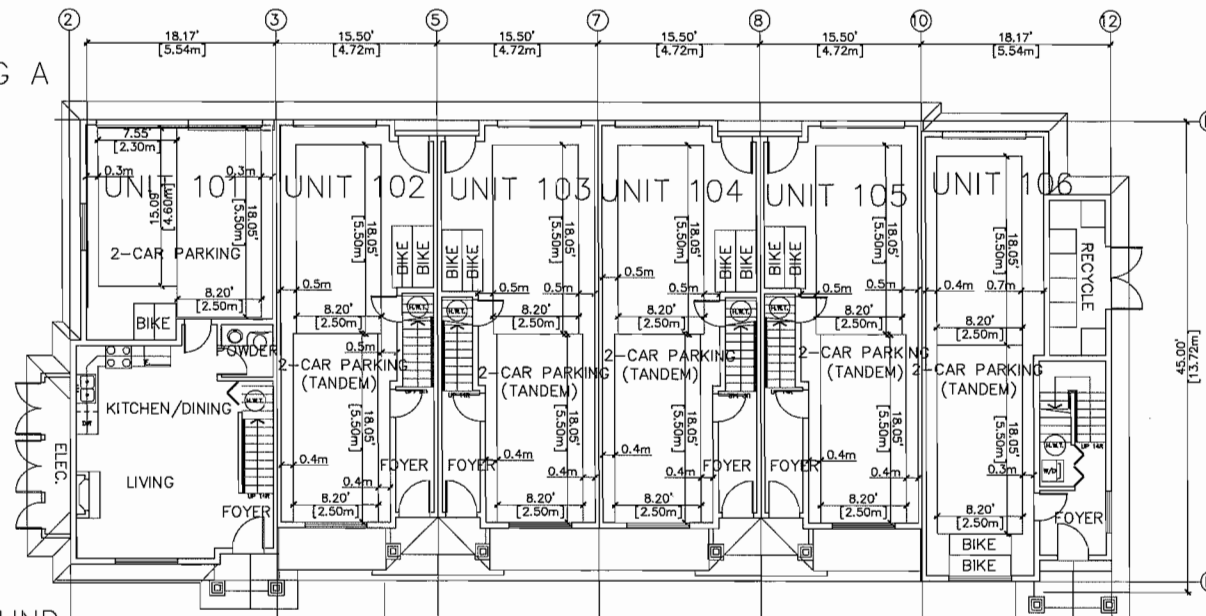
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Dwg. No. #6

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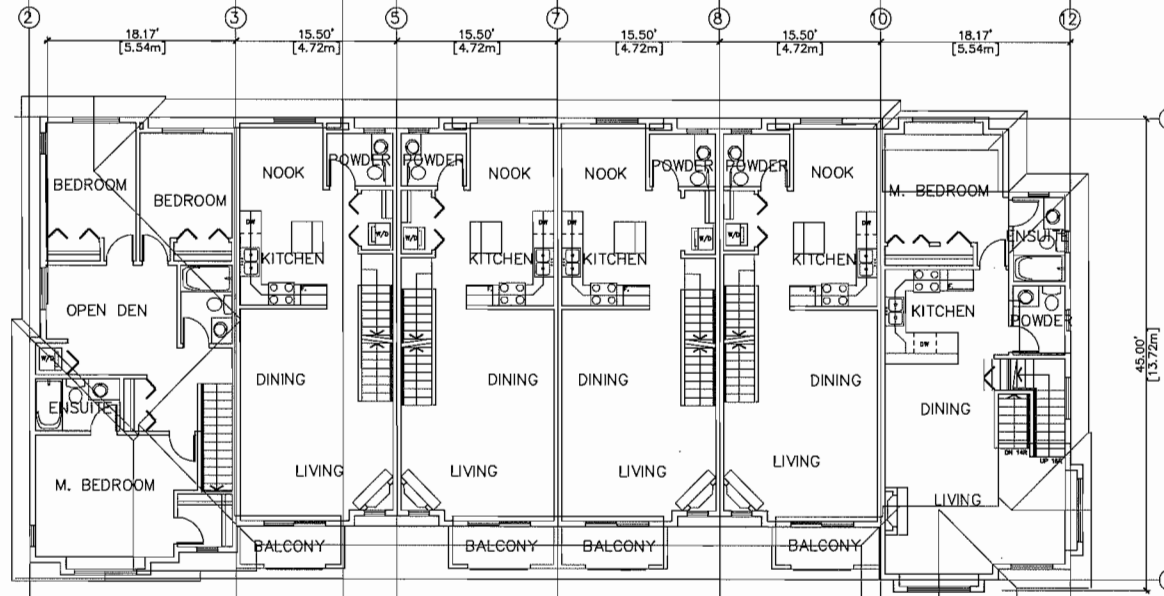
DP 12-617455

PLAN #4G

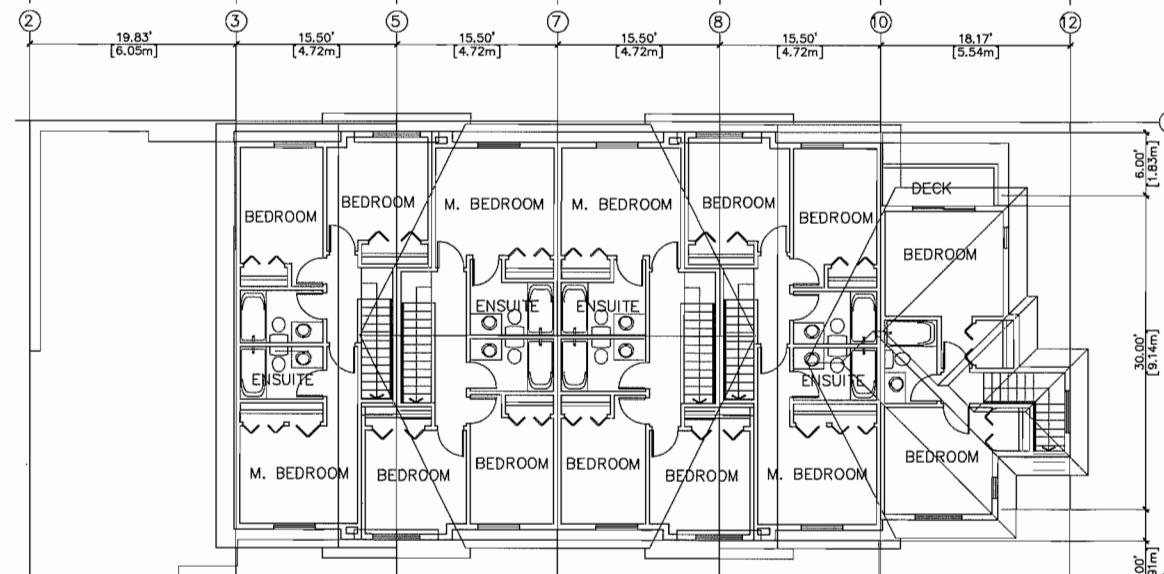
BUILDING A



GROUND FLOOR



MAIN FLOOR



UPPER FLOOR

- * ALL WINDOWS TO MEET A3 PERFORMANCE RATING FOR AIR TIGHTNESS (CSA STANDARD CAN/CSA-A440-08 OR LATEST REV).
- * ANY OTHER WINDOW MEETING REQ OTC RATINGS ARE ACCEPTABLE (ASTM STANDARD E 1332-90). REFER TO ACCUSTIC REPORT FOR FULL DETAILS.

MECHANICAL SYSTEM

- THE TOTAL EXHAUST CAPACITY OF THE BATHROOM AND KITCHEN EXHAUST FANS WILL BE ADEQUATE TO MEET THE ONE AIR CHANGE PER HOUR EXHAUST REQUIREMENT.

- EACH SUITE WILL HAVE AN ACOUSTICALLY LINED FRESH AIR DUCT OPENING IN THE LIVING ROOM.

- THE PROPOSED VENTILATION SYSTEM DOES NOT CONFLICT WITH THE ACOUSTIC FEATURES IN THE ACOUSTIC REPORT.

- AN AIR CONDITIONING SYSTEM IS NOT REQUIRED TO MEET THE BC BUILDING CODE AND/OR AREA 4 NOISE CONTROL REQUIREMENTS.

TYP ROOF ASSEMBLY

- ASPHALT SHINGLES
- ONE LAYER OF 15 LB ROOFING FELT
- 1/2" EXTERIOR GRADE PLYWOOD SHEATHING
- PRE-ENGINEERED WOOD TRUSS
- R40 BATT INSULATION
- 5/8" TYPE 'X' GYPSUM WALL BOARD

TYP EXTERIOR WALL

- HARDI-PANEL SIDING
- 1/2" PLYWOOD SHEATHING
- 2 X 6 WOOD STUDS @ 16" O/C
- R20 BATT INSULATION
- 1/2" TYPE 'X' GYPSUM WALL BOARD

TYP EXTERIOR WINDOWS

- ONE LAYER 3MM GLASS
- 13MM AIRSPACE (OTC 24)
- ONE LAYER 3MM GLASS

TYP SLIDING DOORS

- ONE LAYER 5MM GLASS
- 13MM AIRSPACE (OTC 26)
- ONE LAYER 3MM GLASS

BATHROOMS

- LEVER FAUCET TO BE USED IN ALL BATHROOMS AND POWDER ROOMS OF ALL UNITS.
- BLOCKING TO BE PROVIDED IN ALL BATHROOMS OF ALL UNITS FOR GRAB BARS.

- LEVER HANDLE TO BE USED FOR ALL DOORS.

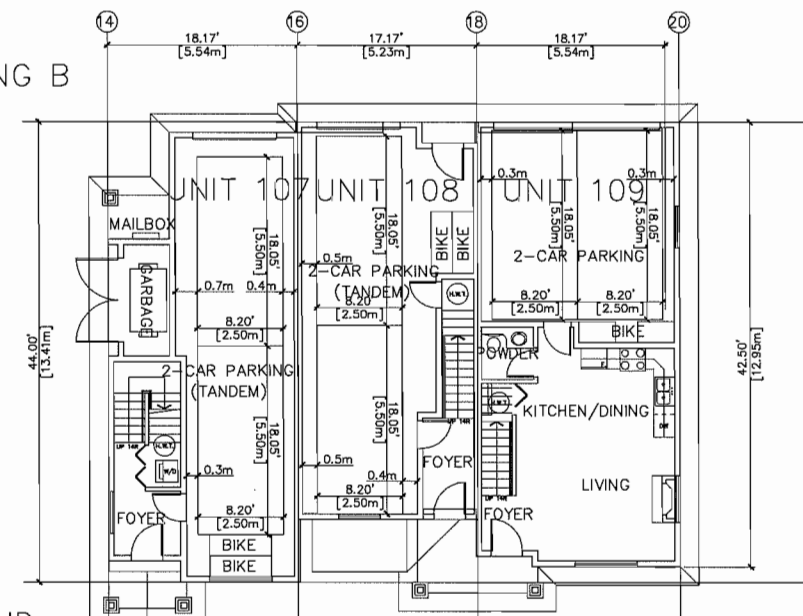
SUSTAINABILITY FEATURES

- PERMIABLE PAVERS USED IN DRIVEWAYS, WALKWAYS AND HARD LANDSCAPING
- USE OF SOME NATIVE PLANT SPECIES
- TREES AND NATURAL FEATURES ON SITE PROTECTED DURING CONSTRUCTION
- LONG LIFESPAN EXTERIOR CLADDING FIBRE-CEMENT PRODUCT
- USE RAIN SCREEN SYSTEM SEPARATING CLADDING FROM THE WALL SHEATHING WITH A DRAINAGE PLANE
- INSULATED EXTERIOR GLAZING
- ALL DOORS WEATHER SEALED
- ENTRY AND GARAGE DOORS MADE FROM STEEL
- INSULATED GARAGE

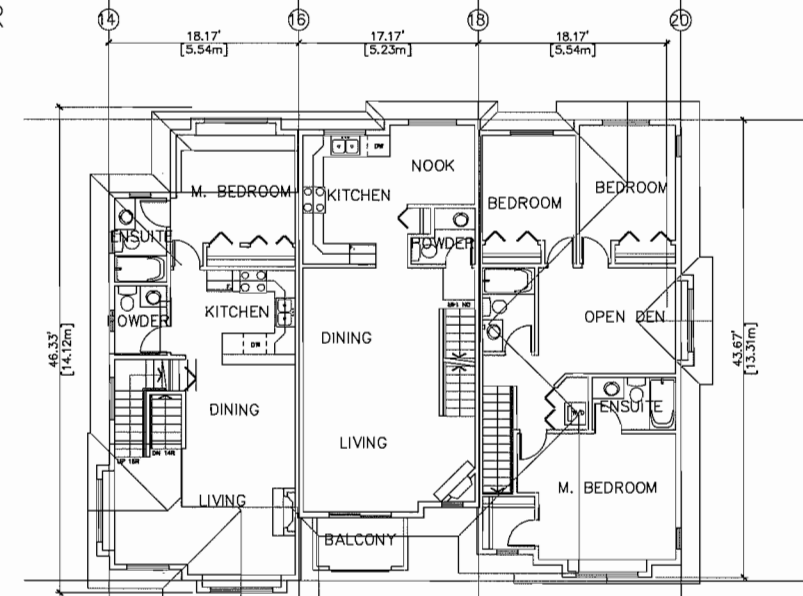
- PROGRAMMABLE THERMALSTATS
- NO USE OF LARGE MECHANICAL AIR UNIT

- INSTALL ALL VENTILATION FANS (BATH OR IN-LINE TYPE) TO MEET OR EXCEED THE ENERGY STAR REQUIREMENTS
- INSTALL A DUAL FLUSH OR PRESSURE ASSISTED TOILET IN ONE OR MORE BATHROOMS

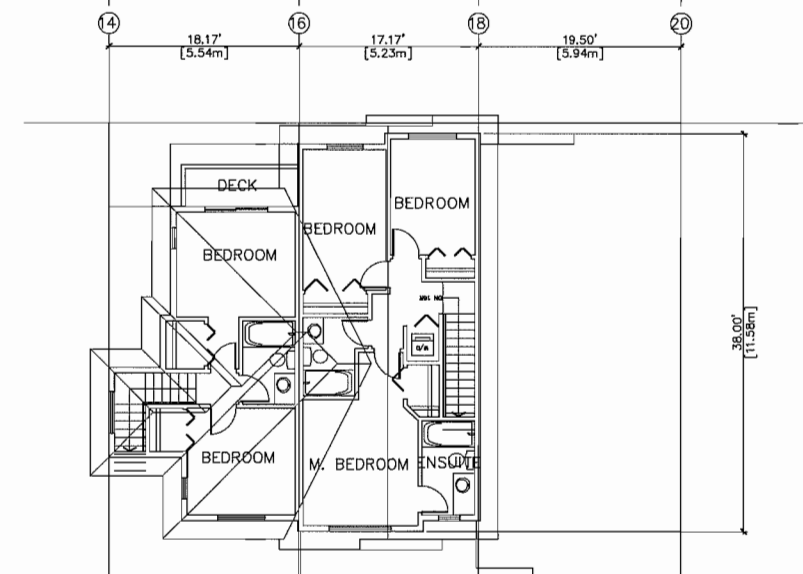
BUILDING B



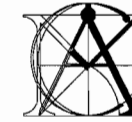
GROUND FLOOR



MAIN FLOOR



UPPER FLOOR



MATTHEW CHENG ARCHITECT INC.

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05	2013/09/16	DPA REVISION FOR DPP
06	2013/10/07	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
FLOOR PLANS
BUILDING A
BUILDING B

Drawn:

DC/MS

Checked:

MC

Scale:

1/8" = 1'-0"

Project Number:

Revision Date:

2013/10/07

Print Date:

2013/10/07

Dwg. No.

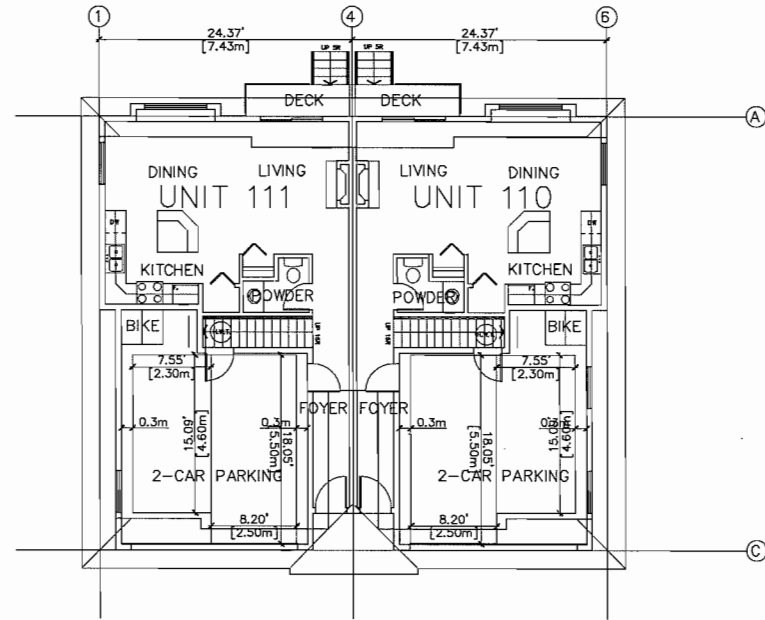
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JAN 02 2014

DP 12-617455

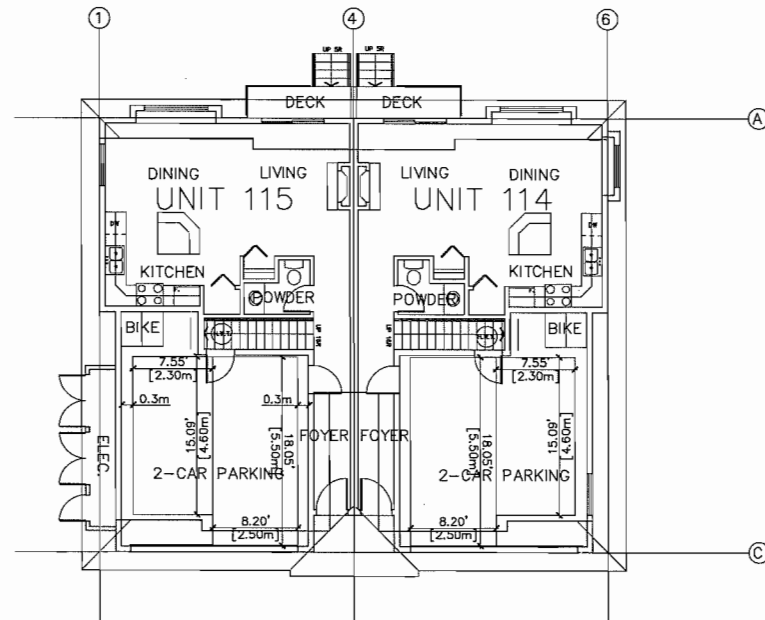
REFERENCE PLAN

BUILDING C



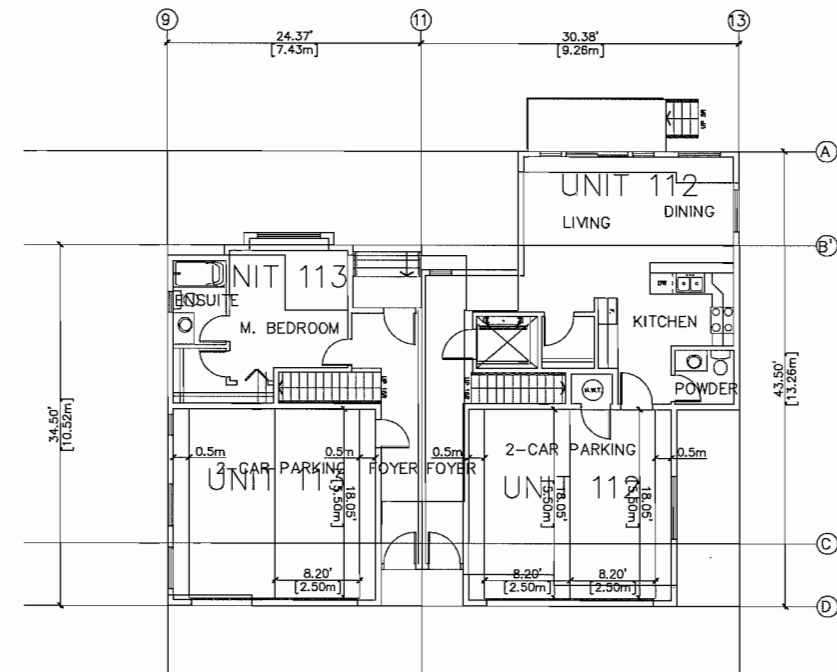
MAIN FLOOR

BUILDING E

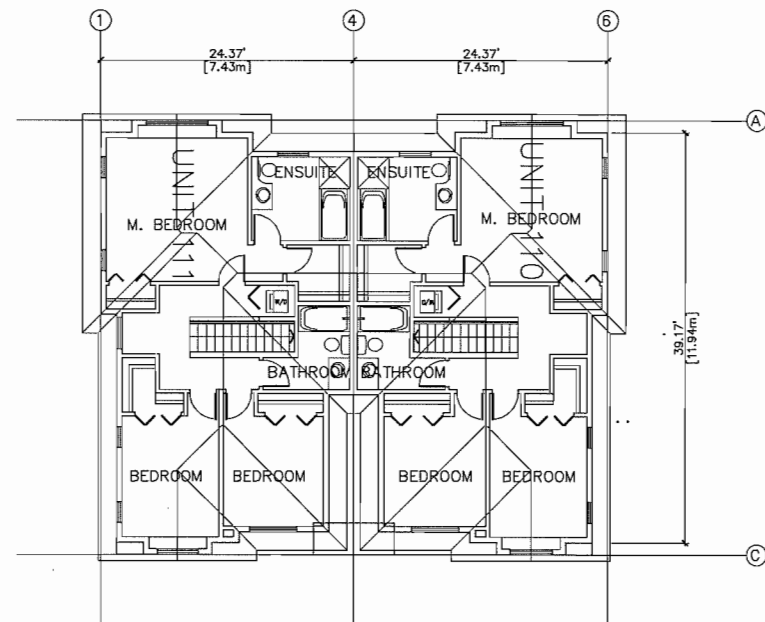


MAIN FLOOR

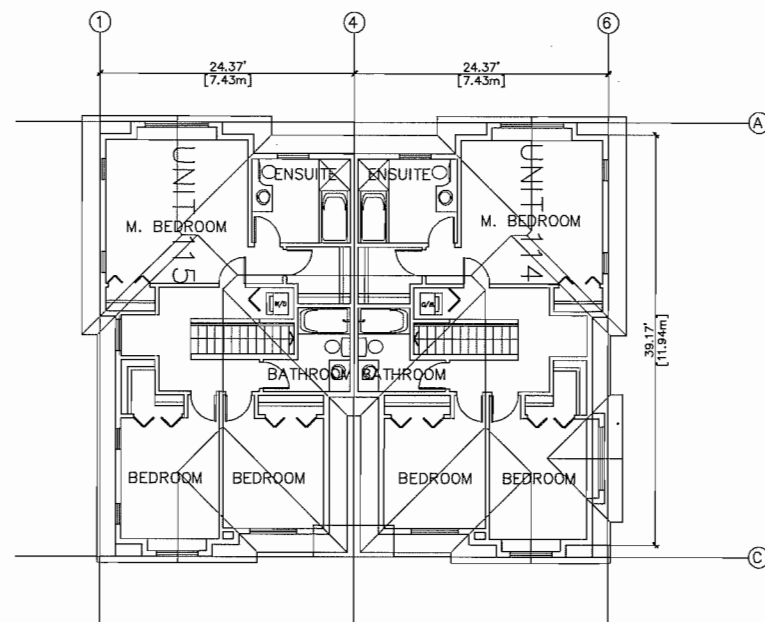
BUILDING D



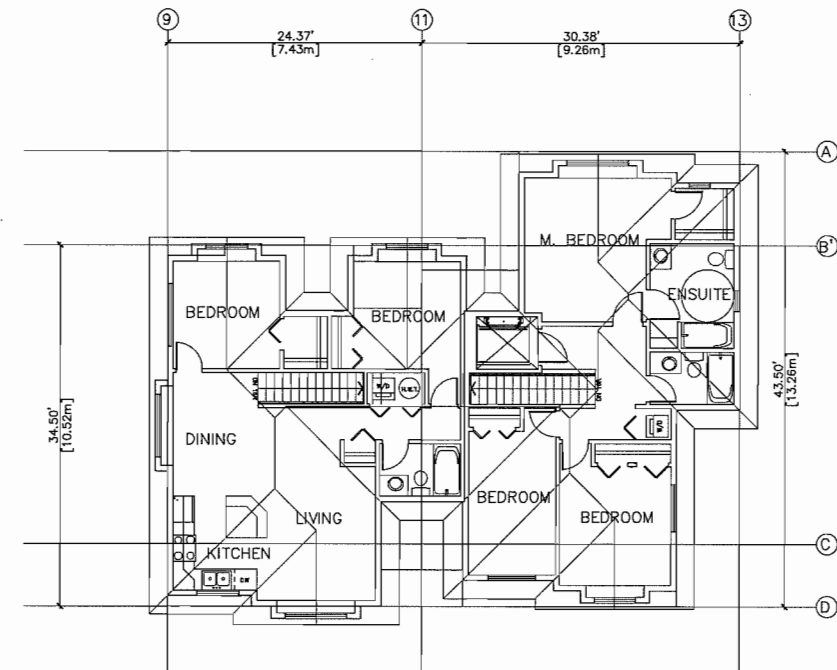
MAIN FLOOR



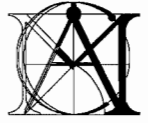
UPPER FLOOR



UPPER FLOOR



UPPER FLOOR



MATTHEW CHENG ARCHITECT INC.

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Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
FLOOR PLANS
BUILDING C
BUILDING D
BUILDING E

Drawn:
DC/MS

Checked:
MC

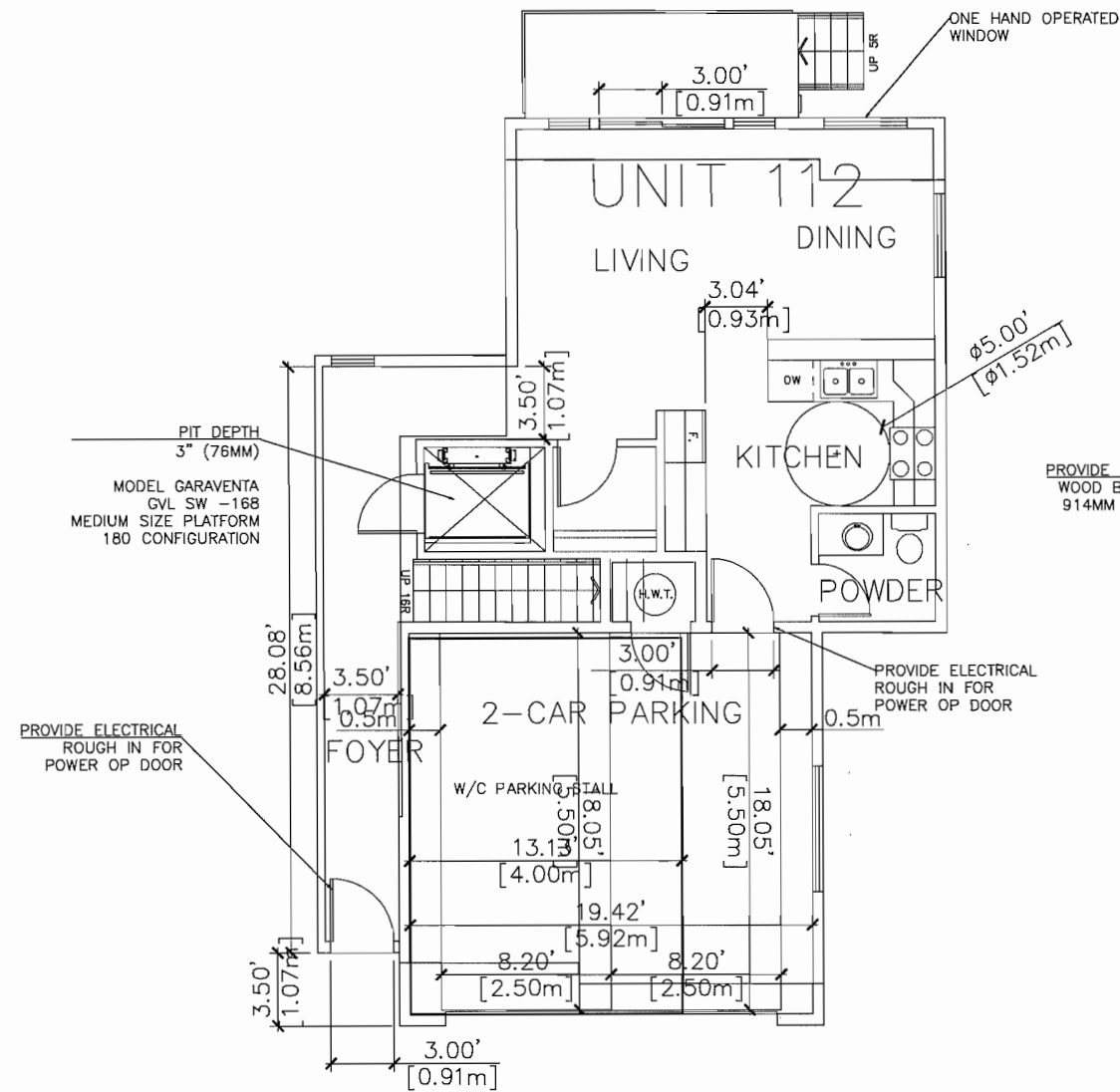
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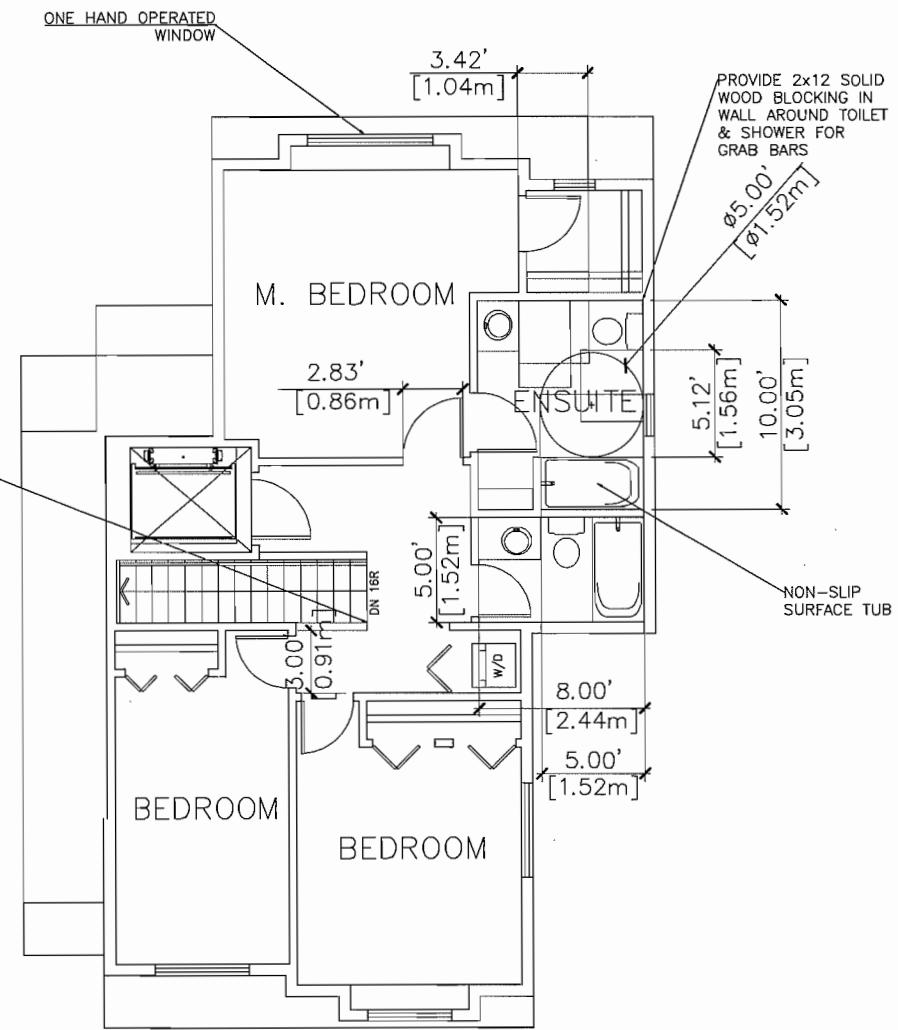
Revision Date:	Dwg. No.
2013/10/29	#5a
2013/10/29	

JAN 02 2014 **DP 12-617455**

REFERENCE PLAN



MAIN FLOOR

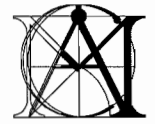


UPPER FLOOR

CONVERTIBLE UNIT CHECKLIST

Doors & Doorways	Entry doors are a minimum 863 mm but ideally 914 mm and have clear access. Entry door clear exterior floor space min. 1220 mm depth by door width plus 600 mm on latch side (not needed if rough in wiring provided for future automatic door opener). Interior doors to main living areas, 1 bathroom and 1 bedroom, min. 800 mm clear opening with flush thresholds max. 13 mm height. Demonstrate wheelchair access between the hallway and rooms and widen hallway and/or doorway(s) if necessary to secure access. Patio/balcony min. 860 mm clear opening. Note how accessed. All interior thresholds within units comply with BC Building Code. Lever-type handles for all doors.
Vertical Circulation	Stair lift, staircase width, framing support, and landings, as noted on floor plans in compliance with manufacturer specifications. OR Vertical lift, depressed slab area, and landings, as noted on floor plans in compliance with manufacturer specifications. Framing to accommodate shaft construction without impact to surrounding structure. At the top of all stairways, walls are reinforced with 2"x 12" solid lumber at 914 mm to centre.
Hallways	Min. 900 mm width.
Garage	Min. 1 accessible parking space with min. 4 m garage width. Access from garage to living area min. 800 mm clear opening.

Bathroom (Min. 1)	Toilet clear floor space min. 1020 mm at side and in front. Wall blocking for future grab bar installation at toilet, tub and shower. Reinforced with 2"x 12" solid lumber in all bathtub, shower, and toilet locations. Lever-type handles for plumbing fixtures. Pressure and temperature control valves are installed on all shower faucets. Cabinets underneath sink(s) are easily removed. Demonstrate bath and shower controls are accessible (layout or fixture placement).
Kitchen	Clear area needed under future work space. Plumbing and gas pipes (in-wall and in-floor) located clear of under counter area of future work space (stove, sink & min. 810 mm wide counter). All pipes are brought in no higher than 304 mm to 355 mm to the centre of the pipe from floor level. Cabinets underneath sink are easily removed. 1500 mm turning diameter or turning path diagram. Lever-type handles for plumbing fixtures.
Windows	Min. 1 window that can be opened with a single hand (bathroom, kitchen, living room)
Outlets & Switches	Placement locations of electrical outlets: beside window, bottom of stairways, beside toilet, above external doors (outside and inside), on front face of kitchen counter, within proximity of control centre for smart home options. Upgrade to four-plex outlets in master bedroom, home office, garage, and recreation room.



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05	2013/10/16	DPA REVISION FOR DPP

Consultants

Project Title
15-UNIT TOWNHOUSE DEVELOPMENT
6471/6491/6511
NO.2 ROAD
RICHMOND, BC

Sheet Title
FLOOR PLAN
BUILDING D
CONVERTIBLE UNIT

Drawn: MS	#5b
Checked: MC	
Scale: 1/4" = 1'-0"	
Project Number:	
Revision Date: 2013/10/29	Dwg. No.
Print Date: 2013/10/29	

JAN 02 2014

DP 12-617455

REFERENCE PLAN



City of
Richmond

Report to Development Permit Panel

To: Development Permit Panel

Date: December 16, 2013

From: Wayne Craig
Director of Development

File: DP 13-634111

**Re: Application by Integra Architecture Inc. for a Development Permit at 6511
Buswell Street**

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of a 15-storey mixed use (residential/commercial) tower at 6511 Buswell Street on a site zoned "Downtown Commercial (CDT1)"; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the residential parking rate from the standard City-wide parking rate to the City Centre Zone 1 parking rate.


Wayne Craig
Director of Development

WC:bg

Staff Report

Origin

Integra Architecture Inc., has applied to the City of Richmond on behalf of Majorca International Investments Ltd., for permission to develop a 15-storey mixed use (residential/commercial) tower at 6511 Buswell Street on a site zoned “Downtown Commercial (CDT1)”. There is an existing 1-storey building with rooftop parking on the site, which includes Legend’s Pub as one of the tenants. No rezoning is required.

A separate Servicing Agreement (SA) is required for utility upgrades, service connections and frontage improvements, which has been agreed to by the owner/developer. See the attached Development Permit Considerations for a general description of the SA scope of work.

Development Information

Please refer to attached Development Application Data Sheet (**Attachment 1**) for a comparison of the proposed development data with the relevant Bylaw requirements.

Background

Development surrounding the subject site is as follows:

- To the north, across Cook Road is a 3-storey commercial building located at 8171 Cook Road with “Downtown Commercial (CDT1)” zoning and designated Urban Core T6 (45m) in the City Centre Area Plan (CCAP) within the Brighthouse Village;
- To the east, across Buswell Street is an older 3-storey apartment building over parking located at 6560 Buswell Street with (RAM1) zoning and designated Urban Centre T5 (25m) according to the CCAP within the Brighthouse Village;
- To the south, across the existing 6 m wide lane is a surface parking lot and a older 2-storey commercial building located at 8091 Park Road with “Downtown Commercial (CDT1)” zoning and designated Urban Core T6 (45m) eligible for the Village Centre bonus according to the CCAP within the Brighthouse Village; and
- To the west, on the adjacent lot is an older 1-storey commercial building located at 8160 Cook Road with “Downtown Commercial (CDT1)” zoning and designated Urban Core T6 (45m) according to the CCAP within the Brighthouse Village.

Staff Comments

The proposed development scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the Development Permit application review process. In addition, it complies with the intent of the applicable sections of the Official Community Plan and is generally in compliance with the policies and design guidelines in the Official Community Plan (OCP) Schedule 2 – City Centre Area Plan (CCAP) – Brighthouse Village. Zoning variances are required as noted below.

Zoning Compliance/Variations (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the residential parking rate from the standard City-wide parking rate to the City Centre Zone 1 parking rate.

Staff supports the proposed parking variance since this site is located within the City Centre Zone 1 area due to proximity to the Canada Line therefore the variance would be consistent with Zone 1 parking rate and as the owner/developer has agreed to provide:

- 1. Five (5) affordable housing units, to the approval of the City; and***
- 2. Various measures that support Transit-Oriented Development (TOD) including:***
 - a) Upgrade of the existing signal at the Cook Road and Buswell Street intersection to include the following:***
 - APS (Accessible Pedestrian Signals) and illuminated street name signs; and***
 - The provision of three (3) benches (one) 1 on Cook Road and two (2) on Buswell Street near existing bus stops).***
 - b) Provision of a continuous canopy attached to building along Buswell Street in lieu of a \$25,000 contribution towards a bus shelter for the bus stop on Buswell Street.***

Advisory Design Panel Comments

The Advisory Design Panel was supportive of this development proposal. A copy of the relevant excerpt from the Advisory Design Panel Minutes from November 6, 2013 is attached for reference (**Attachment 2**). The design response from the applicant has been included immediately following the specific Design Panel comments and is identified in '***bold italics***'.

Analysis

Land Dedications & Statutory Right of Ways (SRW's)

- A. Land Dedications: The owner/developer has agreed to assume all costs associated with the dedication of two City owned lots that will formalize the Buswell Street road right-of-way.
- B. Statutory Right of Ways (SRW's)
 1. This development proposal includes the following SRW's along Cook Road:
 - a. A 4.20m wide Statutory Right of Way (SRW) along the entire Cook Road frontage for road, utility and sidewalk purposes; and
 - b. A 4m x 4m corner cut as a Statutory Right of Way (SRW) at the Cook/Buswell intersection for road, utility and frontage upgrade purposes.
 2. The development proposal also includes the following SRW's along Buswell Street:
 - a. A 1.1m wide Statutory Right of Way (SRW) along the entire Buswell Street frontage for road, utility and frontage upgrade purposes;
 - b. A 3m x 3m corner cut as a Statutory Right of Way (SRW) at the Buswell Street and lane intersection for road, utility frontage upgrade purposes.
 3. The development proposal also includes the following SRW's along the lane:
 - a) A 3.0m wide land dedication along the entire south property line adjacent to the lane for road, utility and frontage upgrades.

Conditions of Adjacency

- To the North: The reduced building setback from 6.0 m to 4.69 m is consistent with the Zoning Bylaw 8500, Section 9.3.6 since an acceptable streetscape interface has been proposed. There are no issues with existing development on the north side of Cook Road.
- To the East: The reduced building setback from 6.0 m to 3.0 m is consistent with the Zoning Bylaw 8500, Section 9.3.6 since an acceptable streetscape interface has been proposed. There are no issues with existing development on the east side of Buswell Street.
- To the South: The owner/developer has agreed to provide the requested SRW noted above to facilitate parallel load operations along the lane. Temporary lane lighting will be provided by private wall mounted lights until the property to the south is redeveloped. This will provide manoeuvring flexibility for loading vehicles servicing the subject site. There are no issues with existing development on the south side of the lane.
- To the West: The owner/developer has provided verification to substantiate the discharge of a legal agreement registered on title requiring the owner/developer of the subject site to provide 16 parking spaces for nearby site. The owner/developer has also submitted proof that the neighbouring 3 properties to the west are controlled by the same owner(s) and has demonstrated with a schematic redevelopment scenario that the proposed development of the subject site does not preclude the future redevelopment of the neighbouring 3 properties. In addition, the applicant proposes interim facade enhancements to the exposed west wall of the parkade, which will improve the visual appearance of the proposed parkade until redevelopment occurs on the neighbouring lots.

Urban Design and Site Planning

1. **Urban Design**: The proposed design responds to the existing and anticipated urban fabric surrounding the site with a continuous streetwall and a slender tower design, which results in a minimal amount of shading and minimal impacts on the views for neighbouring properties. The stepped building massing at the podium level allows flexibility for the adjacent site to redevelop with either a 2 or 3-storey parkade and the terraced rooftop design provides variety for the City skyline.
2. **Site Planning**: The design proposal for this narrow site provides all requested land dedications and SRW's and achieves a streetscape design that incorporates generous sidewalk widths with fronting uses that will help to active the street including appropriate pedestrian amenities. The commercial-retail units (CRU's) at-grade will help to active the street and the streetscape design includes pedestrian and transit amenities.
3. **Public Art**: The owner/developer prefers to make a financial contribution of approximately \$55,902 based on the applicable rates in the Public Art Policy to the City's public art reserve rather than a public art installation integrated with the proposed built form or as a stand-alone public art installation along the street. See the Development Permit considerations for the details.

Architectural Form and Character

1. **Built Form Massing:** The slender tower element represents a unusual built form massing for the City Centre and is a welcome departure from the typical square and squat towers in the City Centre. The tower element is set back from the Cook/Buswell intersection, which provides an opportunity to stagger the placement of future towers along Cook Road. This in turn allows the adjacent consolidated sites to achieve the maximum allowable density outlined in the CCAP and still comply with the minimum required tower separation. This design approach would also preserve maximum views from all towers (existing and future) as well as permit maximum sunlight penetration to the street below.
2. **Architectural Character:**
 - a) **Podium Design:** The proposed white metal banding that frames the podium accentuates the separation between the parking structure and the tower. The cantilevered spandrel elements at the intersection above the corner plaza add visual interest and drama to this relatively small pedestrian space. Facade improvements have been proposed for the west wall of the parking podium including concrete reveals and two different colours of paint.
 - b) **Tower Design:** The design of the tower is a combination of overlapping vertical and horizontal elements consisting of metal fins, louvers, screens and thin concrete slab extensions that create an interesting visual treatment of the tower facades. The elevator core is proposed along the exterior wall facing Buswell Street, which creates a strong vertical element that breaks the expansive glass wall system on this facade and contributes to the streetscape character. Facade enhancements to the previously blank wall of the elevator core along Buswell Street include textured concrete stucco or concrete panels and a coloured dark charcoal consistent with the proposed metal screens. The thin concrete floor slab balcony extensions create a rhythm of contrasting horizontal lines that balance the vertical lines of tower. The proposed clear glass guard railings and metal fins further help to accentuate the contemporary architectural character.
3. **Indoor Amenities:** The proposed design includes approximately 111m² (1,201 ft²) of indoor amenity space, which exceeds the minimum 100m² (1,076 ft²) requirement of the OCP. The indoor amenity space consisting of 2 separate but adjacent common use rooms including a gym room and a lounge/entertainment room. The lounge room incorporates a kitchen area and opens onto the podium roof deck with a complementary outdoor patio and seating area under a trellis structure with an adjacent children's play area.

Landscape Design and Open Space Design

1. **Streetscape Design:** Wide boulevards are proposed despite the narrow site, (i.e., 6.6 m wide along Cook Road and 5.6 m wide along Buswell Street) including the minimum 2.0 m wide sidewalks clear of any obstructions along both road frontages. The design features pedestrian amenities for the adjacent bus stop including weather protection via a continuous building canopy and 2 benches along Buswell Street. The proposal also includes decorative street lighting and boulevard paving that consists of standard City Centre concrete sidewalk panels in combination with exposed aggregate banding. The street tree planting is proposed at larger than the minimum sizes required at the time of planting (10 cm versus 7 cm caliper) and the laneway design incorporates a wider, reinforced concrete sidewalk and shared loading area on the north side of the lane with interim lighting attached to the building.

- 2. At-Grade Pedestrian Plazas: The proposed site plan features two relatively small, pedestrian plaza areas including:
 - a recessed corner plaza with a seating plinth that doubles as a small performance area; and
 - a small recessed space adjacent to the lobby area, which helps to separate the residential and commercial uses, to identify the residential entry and to create a more gracious sequence of arrival and entry to the residential lobby.
- 3. Parkade Rooftop Design: The proposed landscape design of the parking structure roof deck includes private outdoor patio use for the residential units on level 4 as well as two large outdoor patio areas for common use connected via a narrow walkway along the west edge of the roof deck. The outdoor patio area on the north side of the tower is proposed as a complementary space to the adjacent indoor amenity room while the other patio area on the south side of the parkade roof deck proposes raised planting beds for gardening, a fire pit and seating area, a small putting green, a bosque of trees in raised planters as well as a second children’s play area.

Affordable and Accessible Housing

Accessible Housing:

- 1. All of the proposed units incorporate aging in place features to accommodate mobility constraints associated with aging. These features include:
 - stairwell hand rails;
 - lever-type handles for plumbing fixtures and door handles; and
 - solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.
- 2. The proposed development includes the following provision for accessibility:

Accessible Units	Intent	Proposed Unit Accessibility	Notes
Basic Universal Housing Units (BUHU's)	designed to be easily renovated to accommodate a future resident in a wheelchair	70 of 70	Each BUHU is permitted a density exclusion of 1.86 m2 (20 ft2) per unit. Each unit must comply with all Richmond Zoning Bylaw requirements to be eligible for the density exclusion.
Age-in-Place Units (AIPU's)	to accommodate mobility constraints associated with aging	70 of 70 units	Not required but strongly encouraged for all single level apartment units including lever-type handles for plumbing fixtures/door handles and solid blocking in washroom walls to facilitate future grab bar installation beside toilets, bathtubs and showers.

Affordable Housing:

1. The owner/developer has agreed to provide five (5) affordable housing units, to the approval of the City according to the following schedule:

Unit Number	Unit Type	No. of Units	Unit Area	Minimum Unit Area	Maximum Monthly Unit Rent**	Total Maximum Household Income**
AFHU 1 Level 2	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 2	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 1 Level 3	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 3	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU B Level 5	2 Bedroom	1	853 ft ²	860 ft ²	\$1,162.00/month	\$46,500 or less
		5	3,637 ft ²			

2. The proposed affordable housing units on levels 2 and 3 have unusual linear layouts but provide larger than the minimum floor space. There is also parking on levels 2 and 3 but the affordable housing unit are sufficiently separated and buffered from the parking areas. These affordable housing units would be accessed directly from the main elevator core and are supported by staff.

Transportation and Traffic

1. The proposed development includes the requested land dedications, SRW's and frontage improvements. See the Development Permit Considerations for the details.
2. The proposed development incorporates the following Transit-Oriented Development (TOD) measures:
 - a) An upgrade of the existing traffic signals at the Cook Road and Buswell Street intersection including:
 - APS (Accessible Pedestrian Signals) and illuminated street name signs; and
 - A minimum of three (3) benches, one (1) along Cook Road and two (2) along Buswell Street near the bus stop in lieu of three (3) separate SRW's for the placement of benches along the two fronting streets.
 - b) A continuous canopy attached to the building along Buswell Street in lieu of a cash contribution in the amount of \$25,000.00 towards a bus shelter for the bus stop on Buswell Street.
3. Loading: The proposed development includes two shared, medium sized (SU9) loading bays, which meet the minimum requirements with one perpendicular to the lane in the building and one parallel to the lane that would straddle the property line but would permit two standard sized passenger vehicles to pass simultaneously during loading operations.

4. Parking: The proposed development includes the following provisions for parking:

Land Use	Required Parking	Parking Reduction	Proposed Parking Provided
Residential Housing Spaces (65 Units)	65 spaces (1 space/unit)	65 spaces (no reduction)	91 spaces
Residential Housing (5 Affordable Units)	5 spaces (0.9 spaces/unit)	5 spaces (no reduction)	
Residential Visitor Spaces	14 spaces (0.2 spaces/unit)	28 – 7 = 21 spaces (based on shared spaces and provision of a parking covenant)	
Commercial Spaces	14 spaces (3.75 spaces/100m ²)		
Total Spaces	98 spaces	91 spaces	
Small Car Stalls	max. 50%	(max. 45 spaces)	29
Accessible Parking Stalls	min. 2%	(min. 2 spaces)	2
Residential Class 1 Bike Parking	88 (1.25 stalls/resi.unit)	88 (provided in parkade)	88
Residential Class 2 Bike Parking	14 (0.2 stalls/resi. unit)	14 bike racks (provided on-street)	14
Commercial Class 1 Bike Parking	1 (0.27 spaces/100m ²)	1 (provided in parkade)	1
Commercial Class 2 Bike Parking	1 (0.4 space/100m ²)	1 (provided in parkade)	1
Loading Spaces	2 medium (SU9) spaces	-	2 shared medium spaces (SU9)

Note: A parking variance is required but supported based on the provision of affordable housing.

5. The proposed development also includes traffic signal modifications required at the sole cost of the owner/developer including but not limited to:
- Traffic pole/base relocations along the frontage of the development;
 - Junction box/conduit relocations;
 - Associated traffic signal cables/conductors and vehicle detector loops; and
 - Traffic signal modification design drawings if required and identified during the SA process.

Engineering and Servicing

1. All requested frontage improvements and utility upgrades are included in the SA requirements.
2. District Energy Utility (DEU): The owner/developer has agreed to the provision of a DEU-ready building including the registration of appropriate legal agreements in the Land Title Office to the approval of the City. See the Development Permit considerations for the details.
3. Supplemental Work: The owner/developer has also agreed to carry out the necessary survey and legal work to ensure the dedication of two (2) City-owned lots as road right-of-ways that formalize the road corridor for Buswell Street. These road dedications are required to facilitate both City and private utility servicing. All costs associated with these land dedications shall be borne by the owner/developer, including but not limited to survey work, preparation of legal plans and filing at the Land Title Office. See the Development Permit considerations for the details.

Sustainability and Crime Prevention Through Environmental Design (CPTED)**Sustainability**

1. The proposed development includes the following sustainability features:
 - a) The site is close to transit, schools, shopping, and services;
 - b) The use of concrete construction for longer-life span;
 - c) The building would be designed to be DEU-ready;
 - d) Electric vehicle charging stations and preducting to expand the availability of plug-ins;
 - e) An efficient building envelope including entry overhangs improving building durability;
 - f) Both active and passive solar design features including balconies, louvers and roof overhangs to provide solar shading and exterior wall assemblies including low E glass to ensure an energy efficient design;
 - g) A balanced mechanical ventilation system;
 - h) All units provided with operable windows and corner units with windows on two sides to encourage passive cooling through cross ventilation;
 - i) A high albedo roof design with light grey patterned 2 ply SBS material on the upper roof;
 - j) A landscaped podium rooftop with planting beds and with garden plots;
 - k) Rainwater collection for watering on roof deck levels; and
 - l) Sustainable fit and finish of the building including energy star appliances, low flow fixtures, low VOC materials and finishes plus reduced allergen carpeting.

CPTED

1. The proposed development includes the following CPTED features:
 - a) Visible or no dead-end corridors in the parkade;
 - b) Parkade lighting and interior walls painted white;
 - c) Overlook to landscape roof deck areas from adjacent residential units;
 - d) Security features in the building lobby to limit access;
 - e) Retail at-grade with secure rear service entries;
 - f) Secured garbage, storage, and bike storage rooms;
 - g) Access control to the parkade via an overhead gate to the parkade for residents; and
 - h) Glazing to vestibule doors and enclosed corridors.

Conclusions

This development proposal provides an appropriate design response for this narrow site. The slender tower presents a welcome deviation from the usual broad based towers typical in Richmond with minimal view obstruction and over shading for surrounding development sites. The proposed built form responds to the surrounding urban fabric with enhanced facade treatments and an appropriate streetscape design. The tower location, which is set back from the corner, suggest a staggered pattern of tower placement on future development sites along Cook Road, which would allow for these consolidated sites to achieve the maximum allowable density. Staff supports this Development Permit application.



Brian Guzzi, MCIP, MCSLA
Senior Planner - Urban Design

BG:cas

Att:

Attachment 1: Development Application Data Sheet

Attachment 2: Advisory Design Panel Comments and Applicant Responses

Prior to forwarding this application to Council for Development Permit approval, the developer is required to complete the following requirements:

1. Provision of surveys, legal and other work required to dedicate two (2) City-owned lots (identified below) along the Buswell Street for road, utility and frontage upgrade purposes. The dedication of these City-owned lots is required to facilitate City and private utility servicing. All costs associated with these land dedication shall be borne by the owner/developer.
 - a) Northern lot:
PID: 011-212-705
Legal Address: Lot 38, Section 9, Block 4 North, Range 6 West, Plan 7312
 - b) Southern lot:
PID: 010-335-579
Legal Description: Lot 27, Section 9, Block 4 North, Range 6 West, Plan 7312
2. Provision the following Statutory Right of Ways (SRW's) along Cook Road:
 - a) A minimum 4.20m wide Statutory Right-of-Way (SRW) along the entire Cook Road for road, utility and frontage upgrade purposes to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City;
 - b) A minimum 4m x 4m corner cut Statutory Right-of-Way (SRW) for road, utility and frontage upgrade purposes at the Cook Road and Buswell Street intersection to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City; and
3. Provision the following Statutory Right of Ways (SRW's) along Buswell Street:

- a) A minimum 1.1m wide Rights of Passage – Right of Way (PROP-ROW) along the entire Buswell Street frontage for road, utility and frontage upgrade purposes to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City;
 - b) A minimum 3m x 3m corner cut Statutory Right-of-Way (SRW) for road, utility and frontage upgrade purposes at the intersection of Buswell Street and the lane to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City.
4. Provision the following Statutory Right of Ways (SRW's) along the south property line adjacent to the lane:
 - a) A minimum 3.0m wide Statutory Right-of-Way (SRW) along the entire south property line adjacent to the lane for road, utility and frontage upgrade purposes to be designed and constructed by the owner/developer according Road Functional Plan(s) approved by the Director of Development and the Director of Transportation and maintained by the City.
 5. City acceptance of the developer's offer to voluntarily contribute \$55,902.00 to the City's Public Art Reserve (e.g. total residential floor area or 70,551 ft² x \$0.77/ft² plus total commercial floor area or 3,849 ft² x \$0.41/ft²) in lieu of an on-site public art installation.
 6. Receipt of a landscape Letter of Credit. The amount is based on an updated landscape cost estimate from a BC registered Landscape Architect including a 10% contingency.
 7. Submission of an acoustical and mechanical report and recommendations prepared by an appropriate registered professional, which demonstrates that the interior noise levels and noise mitigation standards comply with the City's Official Community Plan and Noise Bylaw requirements. The standard required for air conditioning systems and their alternatives (e.g. ground source heat pumps, heat exchangers and acoustic ducting) is the ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard and subsequent updates as they may occur. Maximum interior noise levels (decibels) within the dwelling units must achieve CMHC standards follows:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

8. Registration of an Aircraft Noise Sensitive Use Covenant on title in the Land Title Office.
 - a. Registration of a legal agreement on title identifying that the proposed development must be designed and constructed in a manner that mitigates potential aircraft and road noise to the proposed dwelling units. Dwelling units must be designed and constructed to achieve:
 - i. CMHC guidelines for interior noise levels as indicated in the chart below:

Portions of Dwelling Units	Noise Levels (decibels)
Bedrooms	35 decibels
Living, dining, recreation rooms	40 decibels
Kitchen, bathrooms, hallways, and utility rooms	45 decibels

- ii. The ASHRAE 55-2004 "Thermal Environmental Conditions for Human Occupancy" standard for interior living spaces.
9. Registration of a flood indemnity covenant on title.
 10. Registration of the City's standard Housing Agreement to secure 5 affordable housing units, the combined habitable floor area of which shall comprise at least 5% of the subject development's total residential building area. Occupants of the affordable housing units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces. The terms of the Housing Agreements shall indicate that they apply in perpetuity and provide for the following:

Unit Number	Unit Type	No. of Units	Unit Area	Minimum Unit Area	Maximum Monthly Unit Rent**	Total Maximum Household Income**
AFHU 1 Level 2	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 2	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 1 Level 3	1 Bedroom	1	707 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU 2 Level 3	1 Bedroom	1	685 ft ²	535 ft ²	\$950.00/month	\$38,000 or less
AFHU B Level 5	2 Bedroom	1	853 ft ²	860 ft ²	\$1,162.00/month	\$46,500 or less
		5	3,637 ft ²			

** May be adjusted periodically as provided for under adopted City policy.

11. Registration of a restrictive covenant and/or alternative legal agreement(s), subject to the approval of the Director of Engineering to secure the owner's/developer's commitment to connect to a District Energy Utility (DEU), which covenant and/or legal agreement(s) will include, at minimum, the following terms and conditions:
 - a) No building permit will be issued for a building on the subject site unless the building is designed with the capability to connect to and be serviced by a DEU and the owner has provided an energy modelling report satisfactory to the Director of Engineering;
 - b) If a DEU is available for connection, no final building inspection permitting occupancy of a building will be granted until the building is connected to the DEU and the owner/developer enters into a Service Provider Agreement on terms and conditions satisfactory to the City and grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying the DEU services to the building;
 - c) If a DEU is not available for connection, no final building inspection permitting occupancy of a building will be granted until:
 - the City receives a professional engineer's certificate stating that the building has the capability to connect to and be serviced by a DEU;
 - the owner/developer enters into a covenant and/or other legal agreement to require that the building connect to a DEU when a DEU is in operation;
 - the owner/developer grants or acquires the Statutory Right-of-Way(s) and/or easements necessary for supplying DEU services to the building; and
 - the owner/developer provides to the City a letter of credit, in an amount satisfactory to the City, for costs associated with acquiring any further Statutory Right of Way(s) and/or easement(s) and preparing and registering legal agreements and other documents required to facilitate the building connecting to a DEU when it is in operation."
12. Registration of an appropriate legal agreement on title in the Land Title Office to ensure that the fourteen (14) shared commercial/residential visitor parking spaces are unassigned. This legal agreement is subject to the approval of the Director of Transportation.
13. Registration of an appropriate legal agreement on title in the Land Title Office to ensure that the two (2) medium sized (SU9) loading spaces are shared between the residential and commercial uses at all times. This legal agreement is subject to the approval of the Director of Transportation.
14. Registration of an appropriate legal agreement on title in the Land Title Office to ensure that the appropriate number of electrical vehicle charging stations are supplied and installed in the proposed parking structure to service the following number of electrical vehicle parking spaces:
 - a) A minimum of 20% of parking stalls to be provided with a 120V receptacle to accommodate electric vehicle charging equipment; and
 - b) An additional 25% of parking stalls to be constructed to accommodate the future installation of electric vehicle charging equipment (e.g. pre-ducted for future wiring).

15. Enter into a Servicing Agreement* for the design and construction of infrastructure upgrades and frontage improvements for the property located at 6511 Buswell Street. Works include, but may not be limited to the following:
- A. Infrastructure Upgrades:
- a) Drainage Works Servicing:
- i. Storm analysis is not required but the lane drainage from existing manhole STMH6237 (approx. 20m west of the west property line of development site) to existing manhole STMH6248 (Buswell Street) with a length of 56m must be upgraded to a min. 300mm by the developer.
 - ii. The development site is to connect to the storm sewer on Cook Road.
 - iii. The existing storm sewer along Cook Road and the rear lane is in close proximity to the development site. A geotechnical assessment is required to determine the impact due to site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities; the developer may be required to repair/relocate the existing storm sewer.
- b) Water Works Servicing:
- i. Using the OCP Model, there is 182.9 L/s available at 20 psi residual on Cook Rd. Based on your zoning, your site requires a minimum fire flow of 220 L/s. The developer must submit fire flow calculations signed and sealed by a professional engineer based on F.U.S or ISO to confirm that there is adequate available flow to service the site; if the site cannot be serviced, upgrades will be required. The developer is responsible for the under-grounding of the existing private utility pole line and/or the installation of pre-ducting along Cook Road and Buswell Street frontage and the lane, subject to concurrence from the private utility companies. Private utility companies will require rights-of-ways for their equipment (i.e. vistas, kiosks, transformers, etc.) and/or to accommodate the future under-grounding of the overhead lines. The developer is required contact the private utility companies to learn of their requirements.
 - ii. The distance from the existing fire hydrant to the southeast corner of the development site is approximately 115m, which exceeds the minimum 75m hydrant spacing required for commercial/industrial/multifamily areas. Since there is no watermain on Buswell Street, the developer's consultant's is responsible to ensure adequate fire hydrants are available. Approval may be required from Richmond Fire Department and the developer's consultant is required to provide written confirmation (signed/sealed).
 - iii. The existing watermain along Cook Road is in close proximity to the development site. A geotechnical assessment is required to determine the impact due to site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities; the developer may be required to repair/relocate the existing watermain.
- c) Sanitary Works Servicing:
- i. Under the OCP scenario the Richmond Centre Pump Station does not have adequate capacity to service the existing catchment area; the City has proposed to modify the catchment area and re-direct flows from several properties to the Buswell Pump Station. This will require construction new a gravity sanitary system. Each development site will be responsible, at a minimum, for their frontage. The developer is required to provide contribution in the amount of \$122,378.00 (to be deposited into to account 2253-10-000-14913) for future sanitary sewer works within the pump station catchment.
 - ii. The development site is to connect to the existing sanitary sewer along the rear lane at the east property line. A new manhole is required on the existing sanitary sewer.
 - iii. The existing sanitary sewer along the lane is in close proximity to the development site. A geotechnical assessment is required to determine the impact due to site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities. The developer may be required to repair and/or relocate the existing sanitary sewer if deemed appropriate by the City.

B. Frontage Improvements:

- a) Provision of the following to support Transit-Oriented Development (TOD) in consideration of a parking variance (applying City Centre Zone 1 parking rates):
 - APS (Accessible Pedestrian Signals) and illuminated street name signs;
 - Three (3) benches (1 along the Cook Road frontage and 2 on Buswell Street near the bus stop) instead of SRW's for benches and a bus shelter pad; and
- b) Intersection Upgrades: The off-site improvements to include the design and construction of traffic signal modifications at the sole cost of the owner/developer including but not limited to:
 - Traffic pole/base relocations along the frontage of the development;
 - Junction box/conduit relocations;
 - Associated traffic signal cables/conductors and vehicle detector loops;
 - Traffic signal modification design drawings if required and identified during the SA process.
- c) Cook Road: Design and construct a new, minimum 2m wide City Centre standard sidewalk from the back of the new SRW with the remaining boulevard width to existing south curb of Cook Road to be hard surfaced to the satisfaction of Transportation staff. See the Servicing Agreement design drawing (SA 09-486006) for the recently constructed frontage improvements associated with the mixed-use, high-rise development located at 8160 Park Road. City infrastructure shall be located in the ultimate location(s).
- d) Buswell Street: Design and construct a new, minimum 2m wide City Centre standard sidewalk from the back of the new SRW with the remaining boulevard width to existing west curb of Buswell Street to be a landscaped boulevard. See also Buswell Street frontage details as part of SA 09-486006 for 8160 Park Road.
- e) Lane: Design and construct lane upgrades to City Centre standard with a new 1.5m wide concrete sidewalk and lighting along the north side of the lane.

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Development Permit process.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner/developer but also as covenants pursuant to Section 219 of the Land Title Act.
- All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
- The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

- Additional legal agreements, as determined via the subject development's Servicing Agreement(s) and/or Development Permit(s), and/or Building Permit(s) to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.
- Applicants for all City Permits are required to comply at all times with the conditions of the Provincial *Wildlife Act* and Federal *Migratory Birds Convention Act*, which contain prohibitions on the removal or disturbance of both birds and their nests. Issuance of Municipal permits does not give an individual authority to contravene these legislations. The City of Richmond recommends that where significant trees or vegetation exists on site, the services of a Qualified Environmental Professional (QEP) be secured to perform a survey and ensure that development activities are in compliance with all relevant legislation.

Signed

Date



**City of
Richmond**

Development Application Data Sheet
Development Applications Division

DP 13-634111

Attachment 1

Address:	6511 Buswell Street		
Applicant:	Integra Architecture Inc.	Owner:	Majorca International Investments Ltd.
Planning Area(s):	City Centre Area Plan – Brighthouse Village		
Floor Area	Gross:	6,912 m ² (74,400 ft ²)	Net: 6,801m ² (73,200 ft ²)

	Existing	Proposed
Site Area	2,117.61 m ² (22,794 ft ²)	same
Land Uses	Commercial	Mixed-Use (commercial/residential)
OCP Designation	Urban Core T6 (45m)	same
Zoning:	Downtown Commercial (CDT1)	same
Number of Units	3 commercial units	6 CRU's & 70 residential units

	Bylaw Requirement	Proposed	Variance
Floor Area Ratio:	max. 3.0 + 0.1 amenity + 0.15 affordable housing = 3.25 FAR	3.21 FAR	None permitted
Lot Coverage:	max. 90%	79 %	None required
Setback – Cook Road:	min. 6.0 m (may be reduced to 3.0 m)	4.69 m	Variance requested
Setback - Buswell	min. 6.0 m (may be reduced to 3.0 m)	3.0 m	Variance requested
Setback – Side Yard:	min. 0.0 m	0.0 m	None required
Setback – Rear (lane) Yard:	min. 0.0 m	1.5 m	None required
Maximum Height (m):	max. 47 m geodetic	46.9 m	None required
CDT1 Required Off-Street Parking Resident/Commercial/Visitor:	R 102+V 14+C 14 = 130	-	Not applicable based on the provision of 5 units of affordable housing
CCAP – Zone 1 Off-Street Parking Spaces Resident/Commercial/Visitor:	R 70 + V 14 + C 14 = 98	R 70 + V 14 + C 7 = 91	Variance requested based on shared visitor & commercial spaces
Small Car Parking Spaces	Max. 50%	29	None required
Off-street Parking Spaces Accessible:	HC stalls min. 2% of total	2	None required
Commercial Loading Spaces:	2 medium (SU9) spaces	2 shared SU9 spaces	No variance required with legal agreement
Common Indoor Amenity Space:	min 100 m ²	111 m ²	None required
Common Outdoor Amenity Space:	min. 10% of net site area	384 m ²	None required

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, November 6, 2013 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall**

Item 2. DP 13-634111 – MIXED-USE - RESIDENTIAL & LIMITED COMMERCIAL (70 UNITS)

APPLICANT: INTEGRA ARCHITECTURE INC.

PROPERTY LOCATION: 6511 BUSWELL STREET

Applicant's Presentation

Duane Siegrist, Integra Architecture Inc., and William Harrison, Forma Design Inc., presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

In reply to the written queries from absent Panel members read by the Chair, Mr. Siegrist advised that (i) the project is not aiming for a Leadership in Energy and Environmental Design (LEED) equivalency, and (ii) all units in the project meet universal design guidelines.

Comments from the Panel were as follows:

- overall, the design is well resolved, especially the tower; *---acknowledged*
- the podium is less well resolved; *---acknowledged – refer to the revised applicant landscape drawings*
- context drawings show that the subject site borders on a residential area; look at opportunities for further planting and landscaping; *---acknowledged – refer to the revised applicant landscape drawings*
- the required Statutory Right of Ways (SRWs) for road purposes, which may reduce the boulevards on the subject site, will negatively impact on the public realm; could potentially reduce the amount of planting on site; *---acknowledged*
- the corner plaza at Buswell Street and Cook Road needs a bigger and bolder gesture; it is a good location for public art which could be incorporated with the architecture of the building; *---acknowledged – refer to the revised applicant landscape drawings for the revised design*
- transition at the podium corners is abrupt; *---note that there is no further ability to provide further setbacks; we do not see this as a negative impact*

- parkade wall on the west side appears blank; consider further treatment to create some liveliness; **---concrete reveals have been indicated (refer also to development application applicant response letter)**
- the narrow building is unique in Richmond; **---acknowledged**
- appreciate the building form and character; **---acknowledged**
- good solar shading; spandrel glass will provide insulation; **---acknowledged**
- agree that the corner plaza at Buswell Street and Cook Road needs further design development; look at the proportion of the concrete circular plinth and the space around it; **---acknowledged –per item addressed above and in the development permit response letter (above)**
- programming of activities at the podium is well organized; **---acknowledged**
- soil volume in pots may not be adequate to enable trees to reach their full growth potential; consider a different solution to avoid future maintenance problems; **— refer to the revised applicant landscape drawings for the revised design**
- consider further design development for the raised urban agricultural plots, i.e. better integration -and arrangement; applicant needs to provide a storage shed for urban agriculture; **— refer to the revised applicant landscape drawings for the revised design**
- vertical screens are innovative and interesting; however, consider more appropriate vine species to be incorporated; **— refer to the revised applicant landscape drawings for the revised design**
- appreciate the appearance of the slender building; fits well into the long and narrow site; **---acknowledged**
- the project works well due to its corner location; appreciate the building setback from Cook Road; good resolution not only for this project but also for the other future developments on the block; **---acknowledged**
- vertical fins enhance the slender appearance of the building; gives a unique shape for the building; a welcome addition to the City Centre Area; **---acknowledged**
- appreciate the white metal ribbon wrapping around the podium; provides a welcoming feel to the podium entries; frames the podium well and enhances the separation of the tower from the podium; **---acknowledged**
- lay-out of the affordable housing units is unusual; concern on solar gain, livability, and privacy of the affordable housing units; **---acknowledged –refer to the revised applicant drawings as the façade has been further refined to indicate locations of spandrel glazing and opacity to address this comment**

- the back of the elevator shaft works in an unusual way as it becomes a central theme on the concrete wall façade; applicant needs to clarify the texture on the concrete wall; and ***---acknowledged -(refer also to development application applicant response letter)***
- the applicant is advised to reconsider contributing to the City's public art fund as there are good potential locations for the public art component of the project, i.e. at the corner plaza, the metal screens, and the concrete wall at the back of the elevator shaft. ***---acknowledged and the owner is to contribute to the Public Art Fund***

The Chair noted that the Panel members present expressed general support for the project.

Due to the absence of a quorum, a Panel recommendation could not be considered.



No. DP 13-634111

To the Holder: Integra Architecture Inc.
Property Address: 6511 Buswell Street
Address: 416 West Pender Street,
Vancouver, BC V6B 1T5

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the residential parking rate from the standard City-wide parking rate to the City Centre Zone 1 parking rate.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #27 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$269,156.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

To the Holder: Integra Architecture Inc.

Property Address: 6511 Buswell Street

Address: 416 West Pender Street,
Vancouver, BC V6B 1T5

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

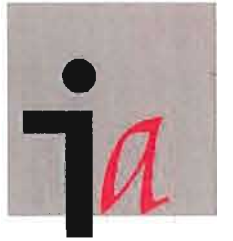
This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF

ISSUED BY THE COUNCIL THE

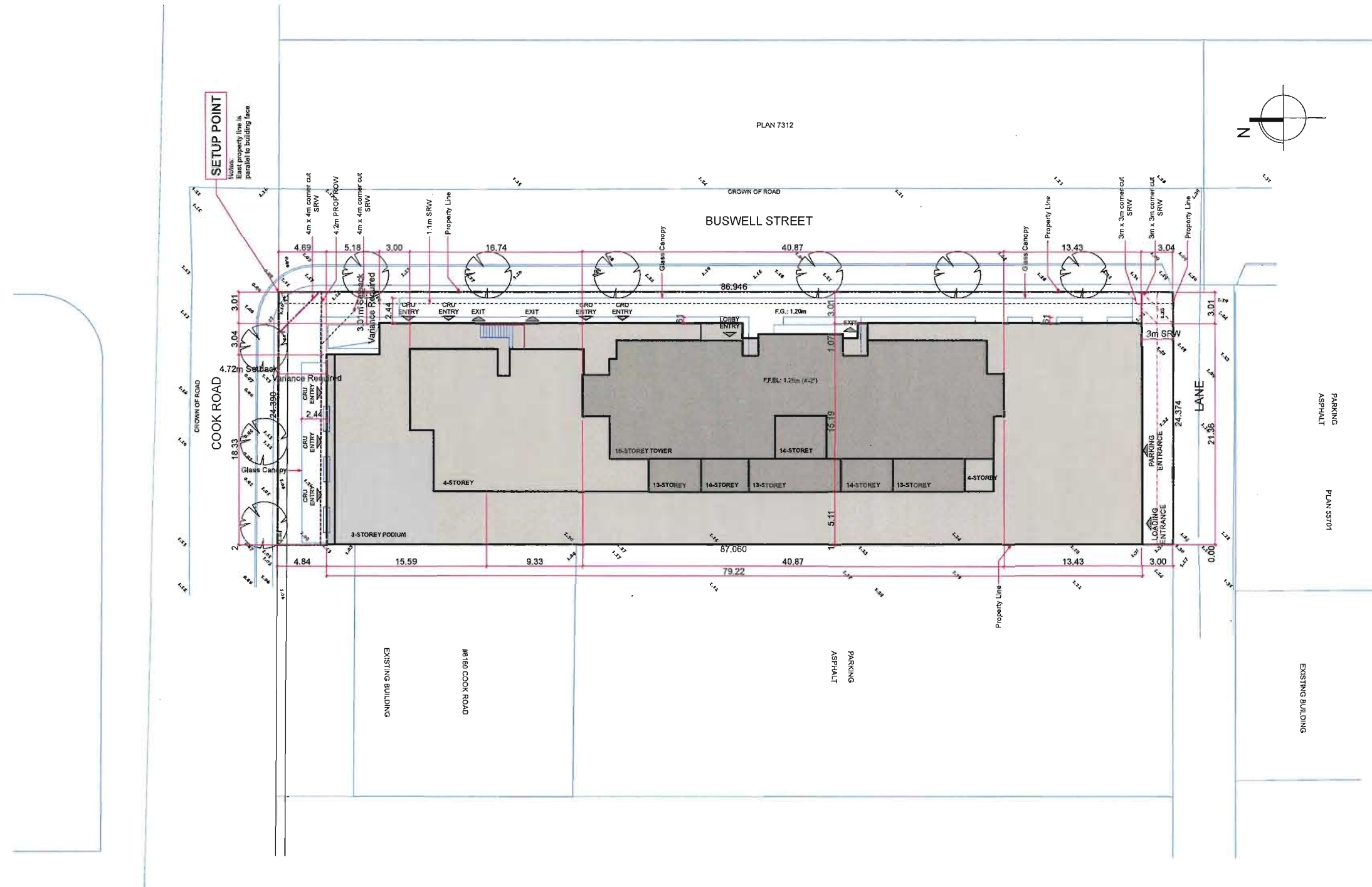
DELIVERED THIS DAY OF

MAYOR



INTEGRA ARCHITECTURE INC.
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 VANCOUVER, BC V6B 1T5
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 info@integra-arch.com
 www.integra-arch.com

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Sheet No. 1
 December 16, 2013
 DP 13-634111

[ARCHITECT SEAL]

[CLIENT]

MAJORCA INTERNATIONAL INVESTMENTS LTD.

[PROJECT]

ELLE

65 11-6531 BUSWELL
 RICHMOND, BC CANADA

[TITLE]

SITE PLAN

10254 [PROJECT]

1:200 [SCALE]

December 13, 2013 [DATE]

8 - DP Resubmission [ISSUE]

[DRAWING]

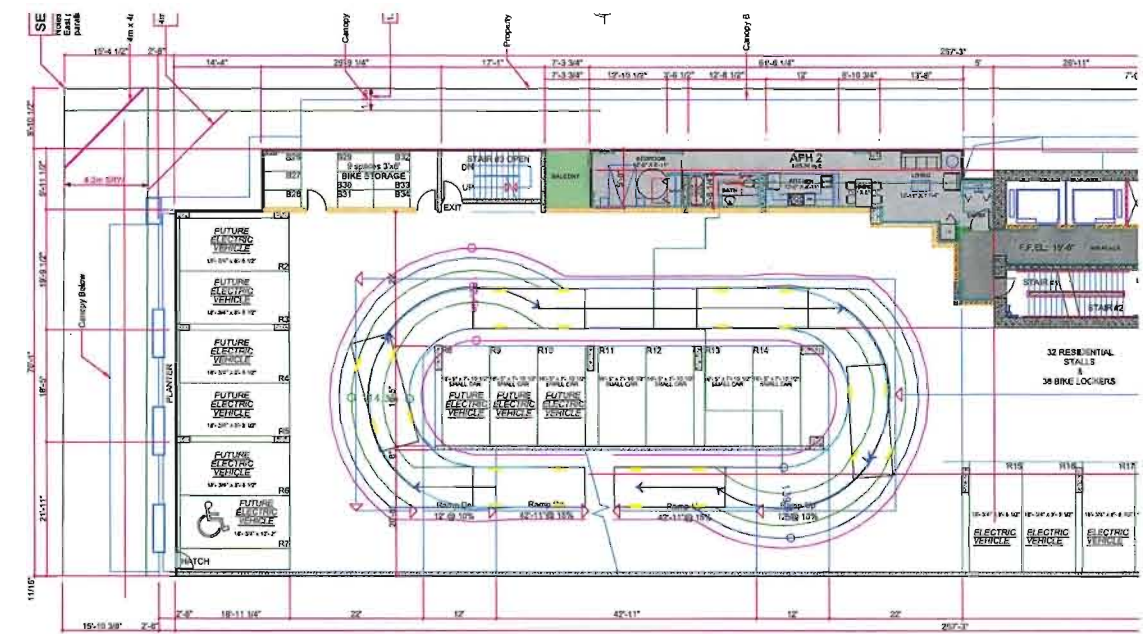
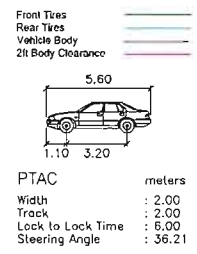
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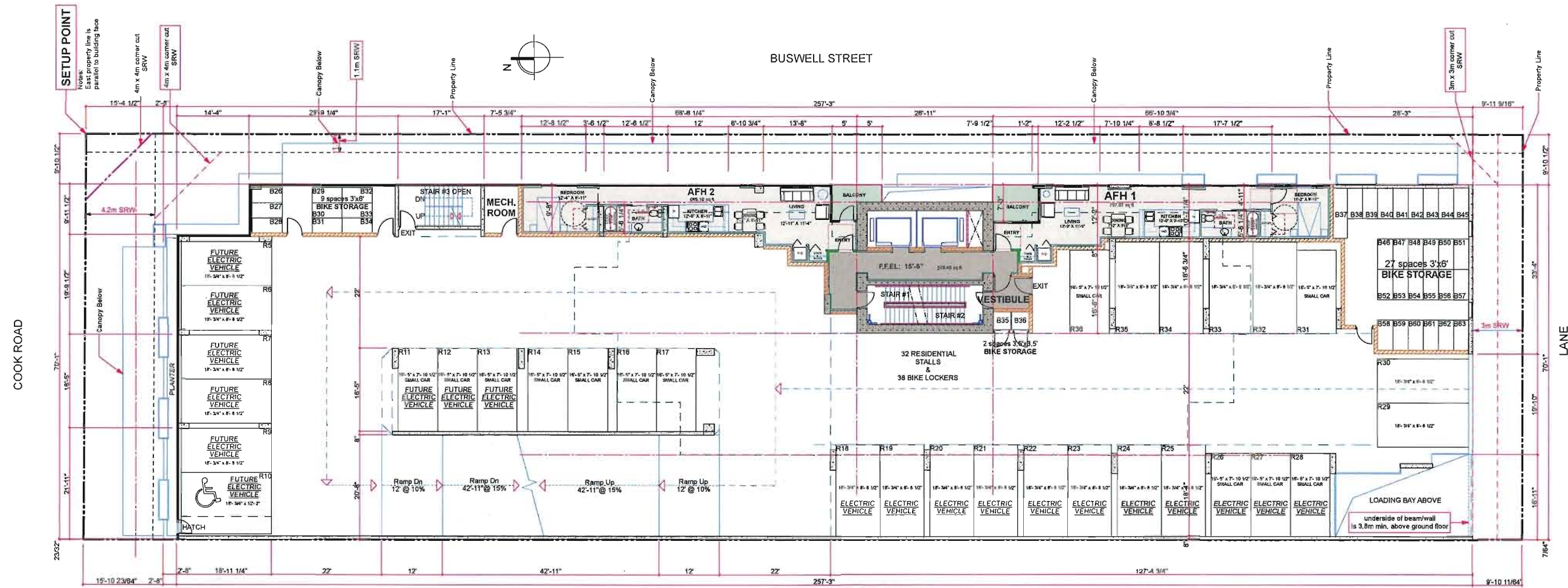
INTEGRA ARCHITECTURE INC.

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VEHICLE TURNING DIAGRAM



2nd FLOOR

Sheet No. 3
December 16, 2013
DP 13-634111

(ARCHITECT SEAL)

(CLIENT)

MAJORCA INTERNATIONAL INVESTMENTS LTD.

(PROJECT)

ELLE

6511-6531 BUSWELL RICHMOND, BC CANADA

(TITLE)

2nd FLOOR PLAN

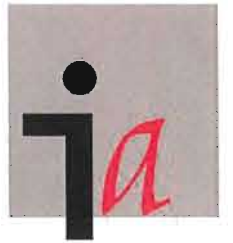
10254 (PROJECT)

1" = 10' (SCALE)

December 13, 2013 (DATE)

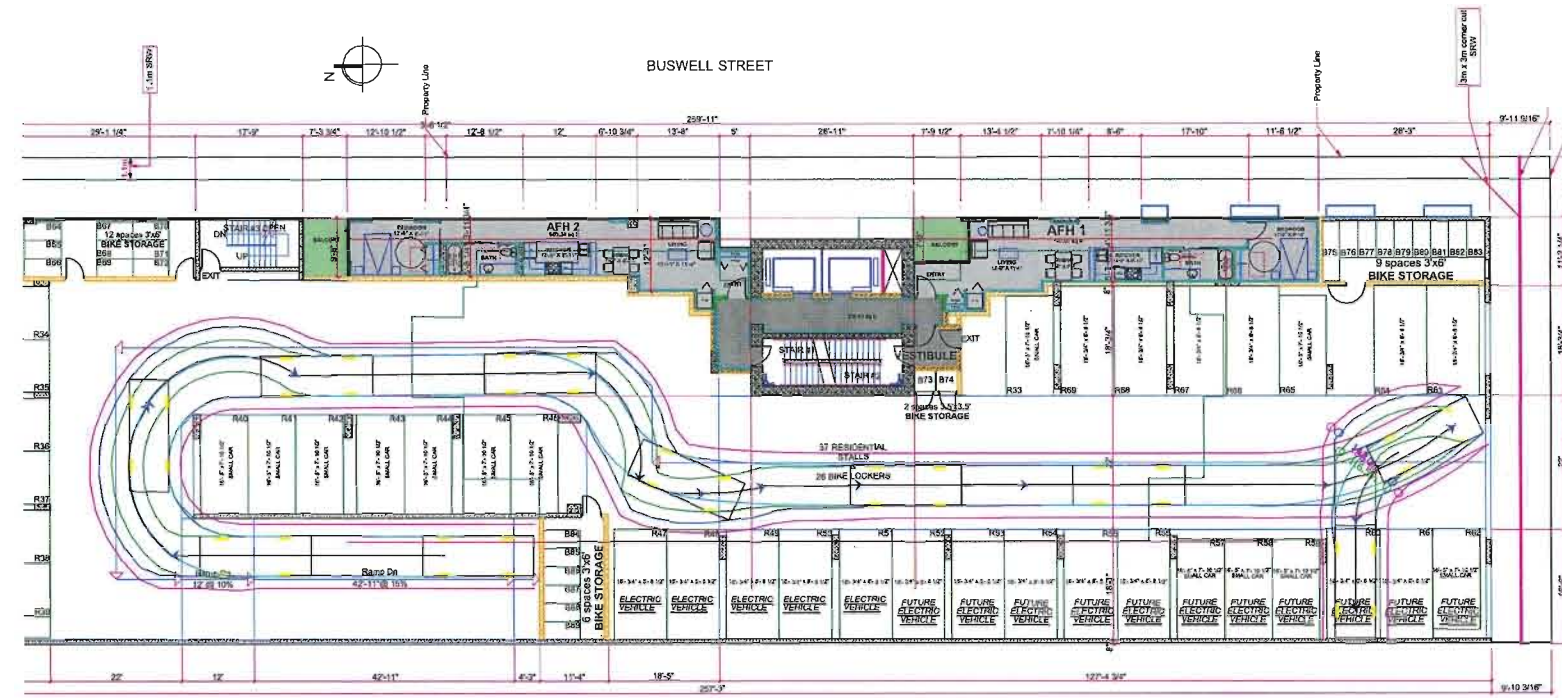
8 - DP Resubmission (ISSUE)

(DRAWING)

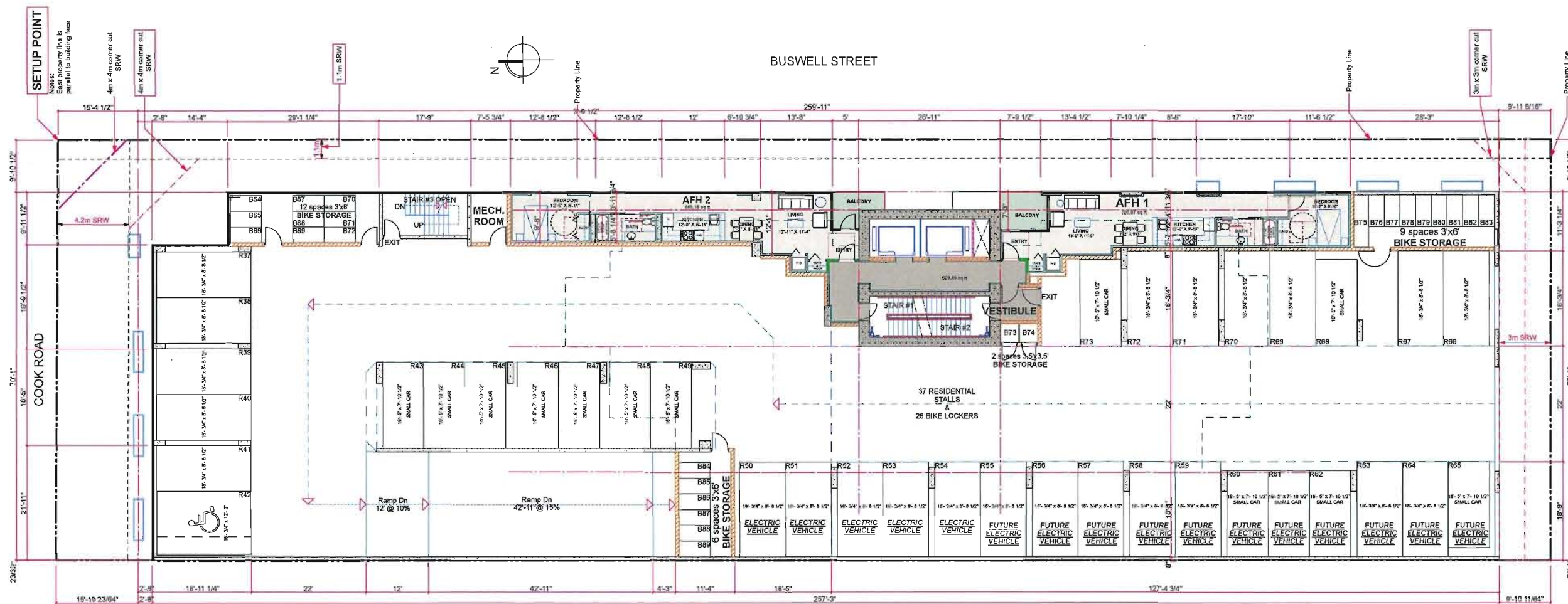


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VEHICLE TURNING DIAGRAM



3rd FLOOR

Sheet No. 4
 December 16, 2013
 DP 13-634111

(ARCHITECT SEAL)

(CLIENT)

MAJORCA INTERNATIONAL INVESTMENTS LTD.

(PROJECT)

ELLE

6511-6531 BUSWELL
 RICHMOND, BC CANADA

(TITLE)

3rd FLOOR PLAN

10254 (PROJECT)

1" = 10' (SCALE)

December 13, 2013 (DATE)

8 - DP Resubmission (ISSUE)

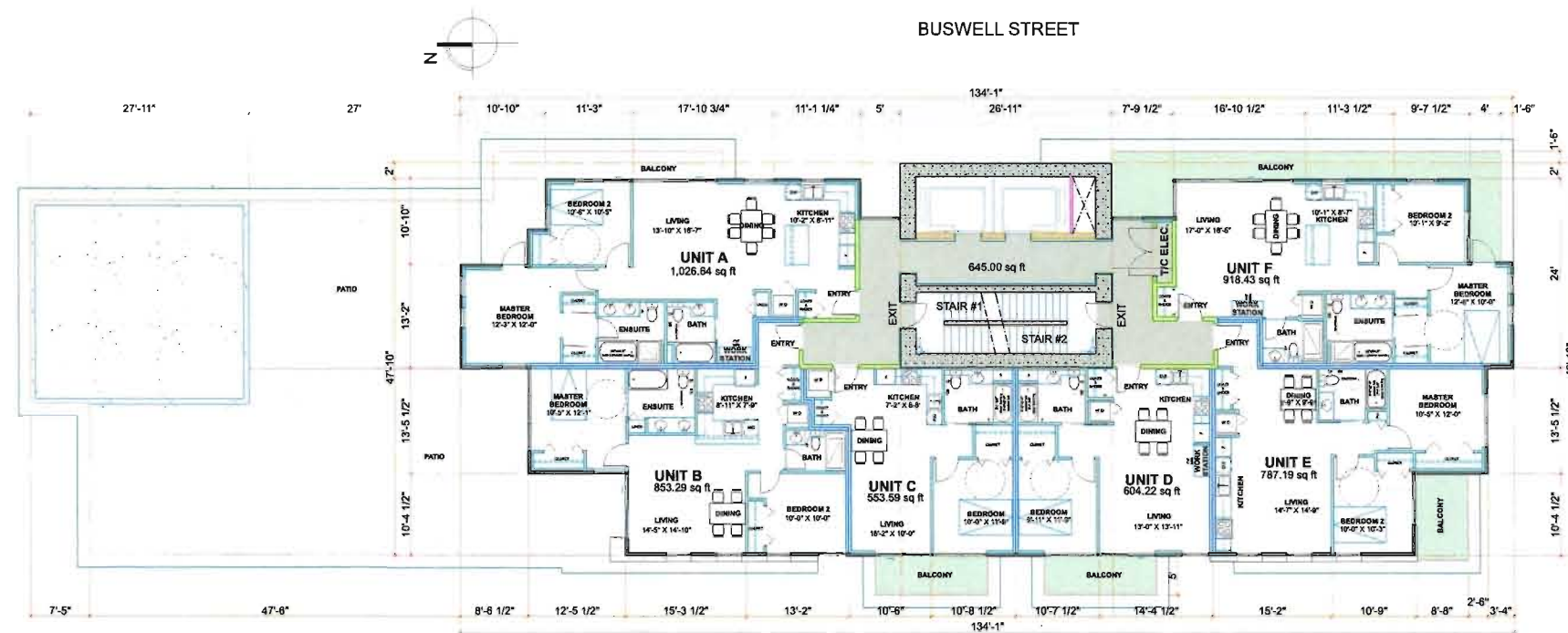
(DRAWING)



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5th FLOOR

Sheet No. 6
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]

MAJORCA INTERNATIONAL INVESTMENTS LTD.

[PROJECT]

ELLE

8511-8531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

5th FLOOR PLAN

10254 [PROJECT]

1" = 10' [SCALE]

December 13, 2013 [DATE]

8 - DP Resubmission [ISSUE]

[DRAWING]

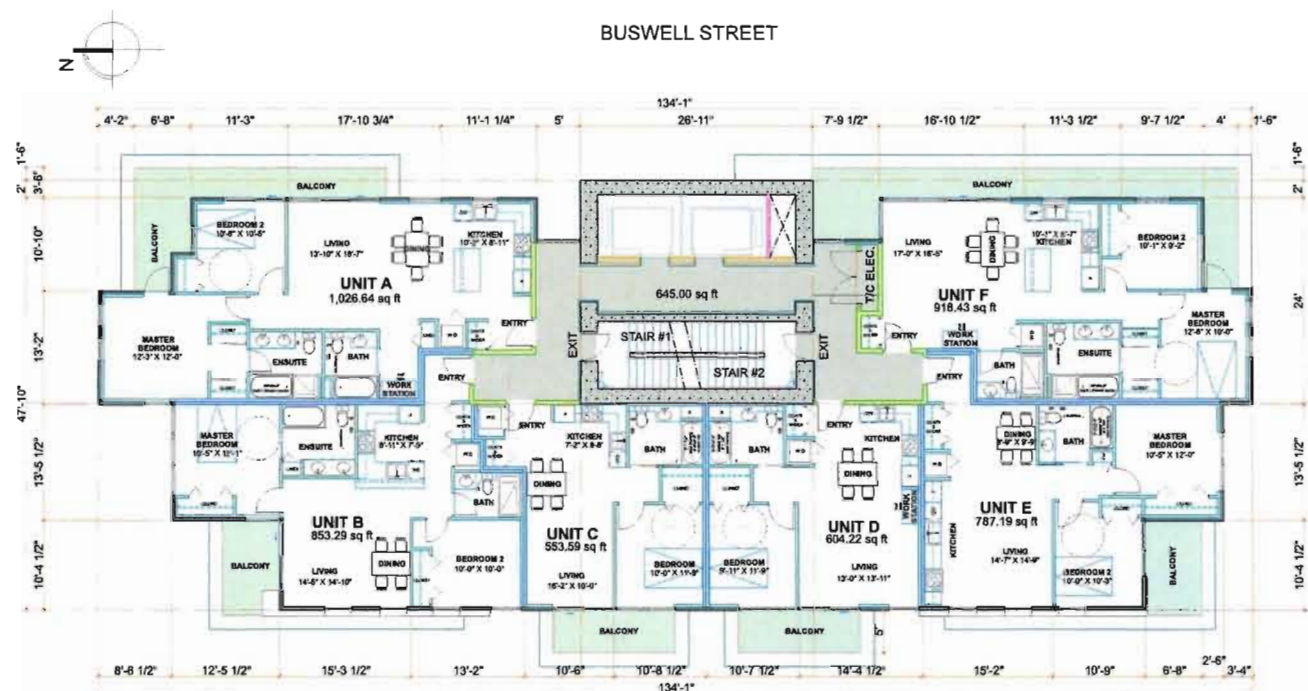
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6th ~ 13rd TYPICAL FLOOR

Sheet No. 7
December 16, 2013
DP 13-634111

ARCHITECT SEAL

CLIENT

MAJORCA INTERNATIONAL
INVESTMENTS LTD.

PROJECT

ELLE

6511-6531 BUSWELL
RICHMOND, BC CANADA

TITLE

TYPICAL
6th~13rd FLOOR
PLAN

10254 PROJECT

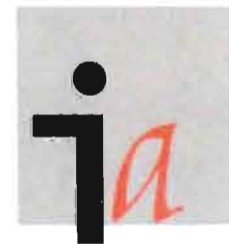
1" = 10" SCALE

December 13, 2013 DATE

8 - DP Resubmission ISSUE

DRAWING

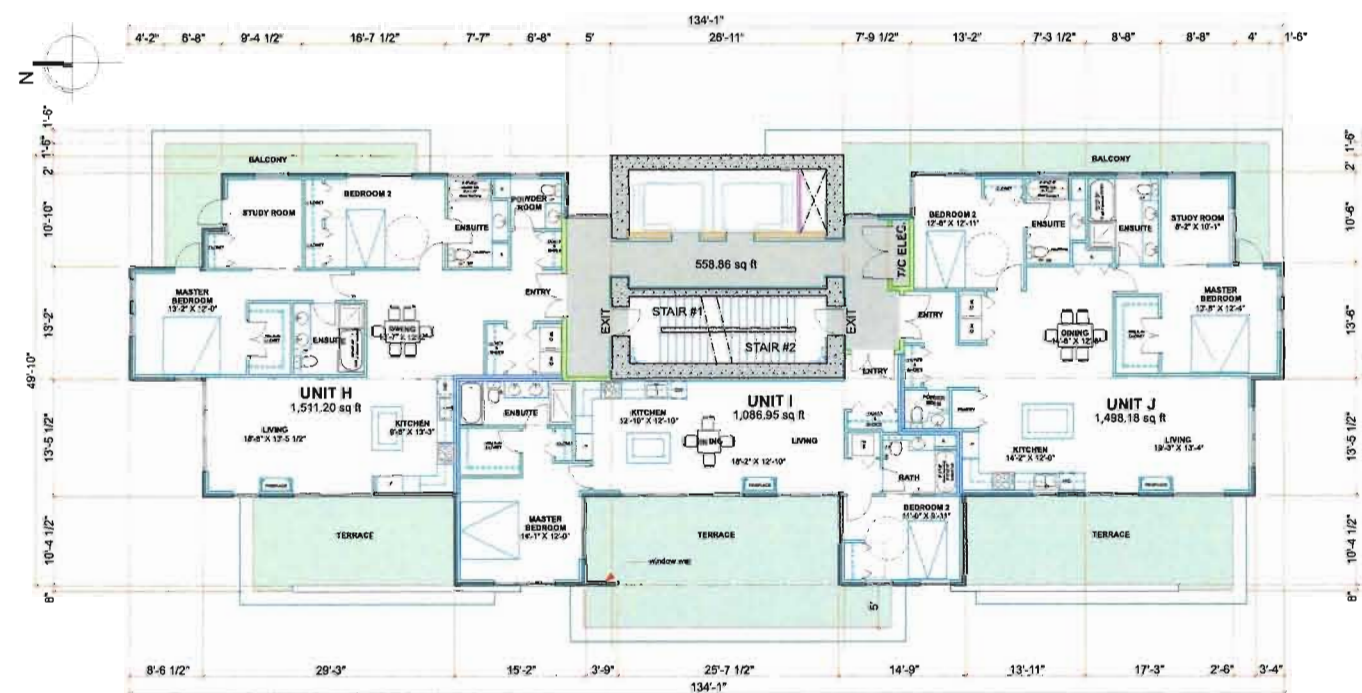
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14th FLOOR (SUB-PENTHOUSE)

Sheet No. 8
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]
**MAJORCA INTERNATIONAL
INVESTMENTS LTD.**

[PROJECT]

ELLE

6511-6531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

**SUB-PENTHOUSE
14th FLOOR
PLAN**

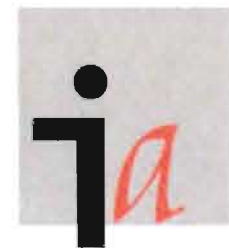
10254 [PROJECT]

1" = 10' [SCALE]

December 13, 2013 [DATE]

8 - DP Resubmission [ISSUE]

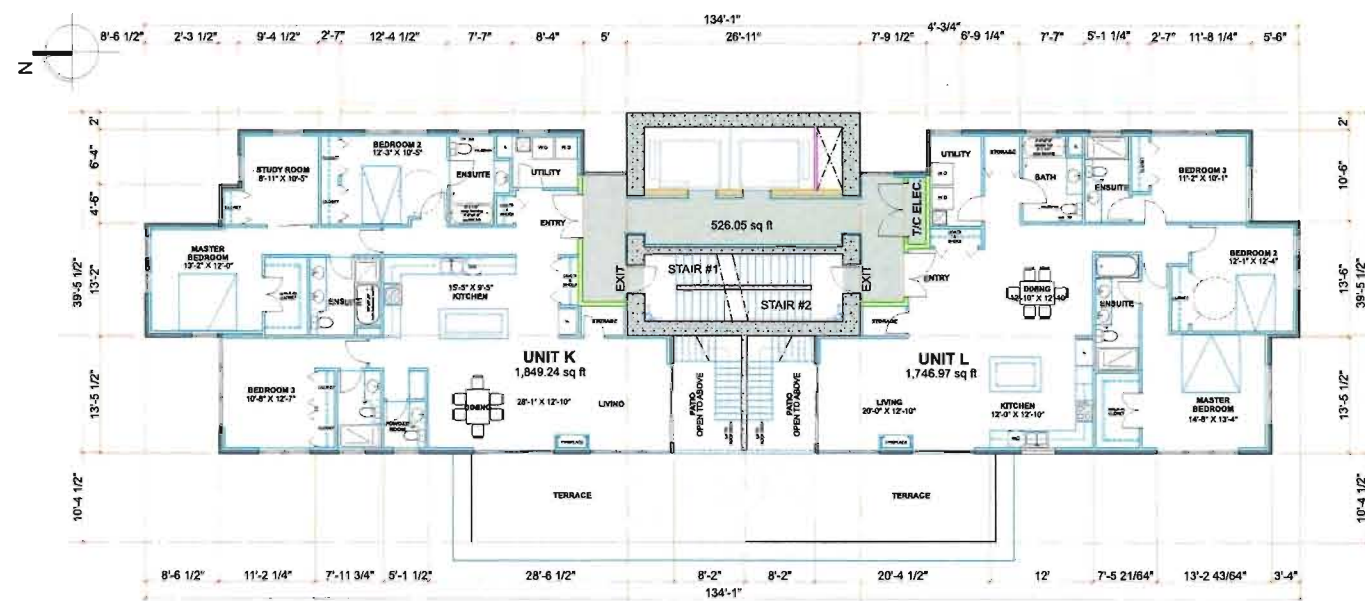
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15th FLOOR (PENTHOUSE)

Sheet No. 9
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]

MAJORCA INTERNATIONAL INVESTMENTS LTD.

[PROJECT]

ELLE

6511-6531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

PENTHOUSE
15th FLOOR
PLAN

10254 [PROJECT]

1" = 10" [SCALE]

December 13, 2013 [DATE]

8 - DP Resubmission [ISSUE]

[DRAWING]

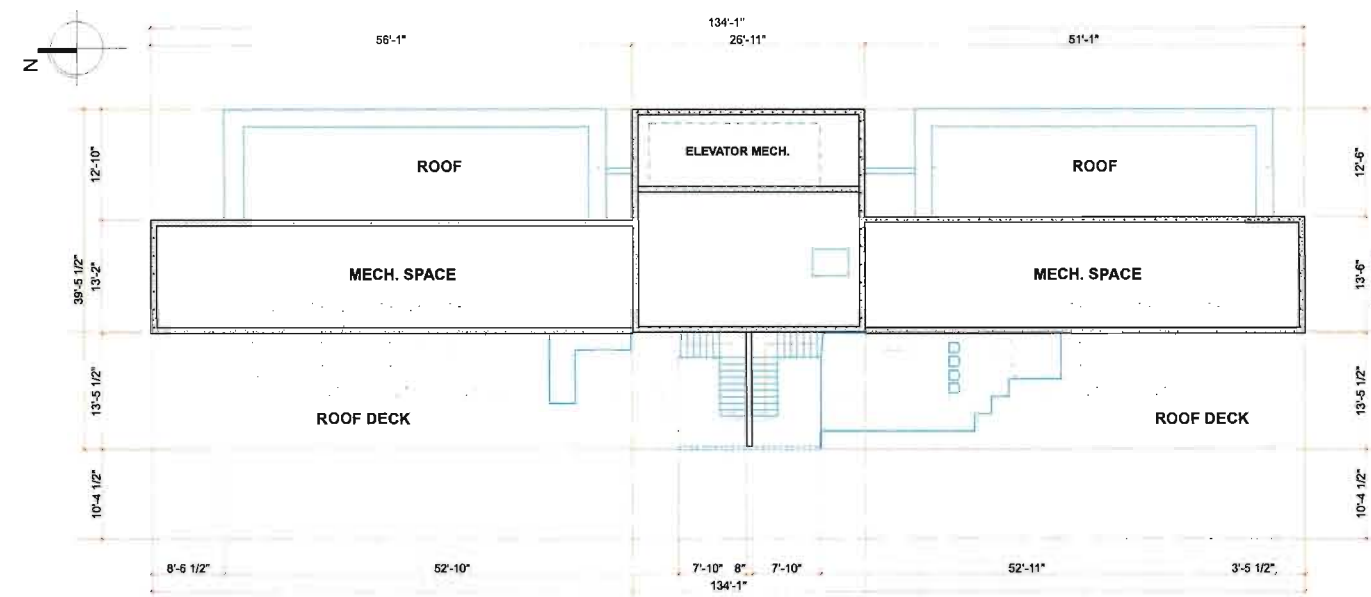
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ROOF PLAN

Sheet No. 10
December 16, 2013
DP 13-641796

[ARCHITECT SEAL]

[CLIENT]

MAJORCA INTERNATIONAL
INVESTMENTS LTD.

[PROJECT]

ELLE

6511-6531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

**ROOF
PLAN**

[PROJECT]

10254

[SCALE]

1" = 10'

[DATE]

December 13, 2013

[ISSUE]

8 - DP Resubmission

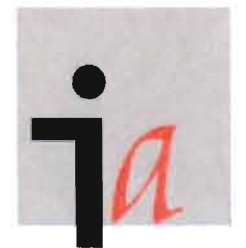
[DRAWING]

A-2.80

MATERIAL & COLOUR LEGEND

A	White	Metal Panel	BM - Cloud white or standard colour (selected by Architect)	Similar to Alucobond (concealed edges no flashing)
B	Charcoal	Cementitious Cladding or Exposed Textured Concrete (form liner)	Charcoal (Colour by Architect)	Synstone Typical back fastened assembly
C	Charcoal + White	Window Wall System /w clear glazing and spandrel glass	Frame colour White to match metal panel colour or Charcoal (Iron moutain)	Allan Windows or Startline 9000
D	Charcoal	Metal Screen (Woven metal in metal angle frames to suit)	Charcoal	Perforated metal mesh screen
E	Clear	Glass Canopy /w steel outrigger supports	Aluminum	Aluminum

F	Clear	Storefront commercial	Aluminum	Kawneer 1600
G	Charcoal	Aluminum Railings /w clear safety glazing security gates	Charcoal BM Iron moutain 2134-30	
H	White	Soffit + Balcony Deck edge membrane	White (standard colour)	
I	Grey	Concrete wall	Grey (colour by Architect)	Elastomeric paint



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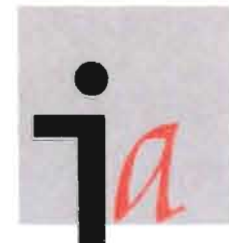
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EAST ELEVATION

Sheet No. 11
 December 16, 2013
 DP 13-634111

[CLIENT]	MAJORCA INTERNATIONAL INVESTMENTS LTD.
[PROJECT]	ELLE
[TITLE]	(COLOUR) EAST ELEVATION
[PROJECT]	10254
[SCALE]	1" = 10'
[DATE]	December 13, 2013
[ISSUE]	8 - DP Resubmission
[DRAWING]	



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MATERIAL & COLOUR LEGEND

A	White	Metal Panel	BM - Cloud white or standard colour (selected by Architect)	Similar to Alucobond (consistently edges no flashing)
B	Charcoal	Cementitious Cladding or Exposed Textured Concrete (form lined)	Charcoal (Colour by Architect)	Symstone Typical back fastened assembly
C	Charcoal + White	Window Wall System w/ clear glazing and spandrel glass	Frame colour: White to match metal panel colour or Charcoal (Iron mountain)	Adan Windows or Startina 900
D	Charcoal	Metal Screen (Woven metal in metal angle frames to suit)	Charcoal	Perforated metal mesh screen
E	Clear	Glass Canopy w/ steel cast-iron supports	Aluminum	Aluminum

F	Clear	Storefront	Aluminum	Kawneer 1600
G	Charcoal	Aluminum Railing w/ clear safety glazing security gate	Charcoal BM Iron mountain 2134-30	
H	White	Scrim + Balcony Deck edge membrane	White (standard colour)	
I	Grey	Concrete wall	Grey (colour by Architect)	Electrowall panel



EAST ELEVATION

Sheet No. 12
 December 16, 2013
 DP 13-634111

(ARCHITECT SEAL)

(CLIENT)
MAJORCA INTERNATIONAL INVESTMENTS LTD.

(PROJECT)

ELLE
 6511-6531 BUSWELL
 RICHMOND, BC CANADA

(TITLE)

EAST ELEVATION

10254 (PROJECT)

1" = 10' (SCALE)

December 13, 2013 (DATE)

8 - DP Resubmission (SUBMIT)

(DRAWING)



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MATERIAL & COLOUR LEGEND

A	White	Metal Panel	BM - Cloud white or standard colour (selected by Architect)	Similar to Alucobond (concealed edges no flashing)
B	Charcoal	Dimensional Cladding or Exposed Textured Concrete (from liner)	Charcoal (Colour by Architect)	Systems Typical Deck fastened assembly
C	Charcoal + White	Window Wall System w/ clear glazing and handrail glass	Frame colour White to match metal panel colour or Charcoal (from metal)	Allen Windows or Starline 9000
D	Charcoal	Metal Screen (Silver metal in metal angle frames to suit)	Charcoal	Perforated metal mesh screen
E	Clear	Glass Canopy w/ steel outdrigger supports	Aluminum	Aluminum

F	Clear	Storefront commercial	Aluminum	Kemper 1600
G	Charcoal	Aluminum Railings w/ clear safety glazing security gate	Charcoal BM Iron mountain 2134-30	
H	White	Soft + Bakery Deck edge membrane	White (standard colour)	
I	Grey	Concrete wall	Grey (colour by Architect)	Phantomic paint



NORTH ELEVATION



SOUTH ELEVATION

Sheet No. 13
December 16, 2013
DP 13-634111

(ARCHITECT SEAL)

(CLIENT)

MAJORCA INTERNATIONAL INVESTMENTS LTD.

(PROJECT)

ELLE

8511-8531 BUSWELL RICHMOND, BC CANADA

(TITLE)

(COLOUR) NORTH & SOUTH ELEVATION

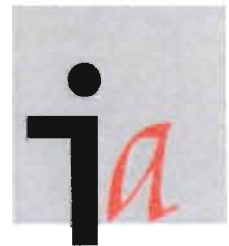
10254 (PROJECT)

1" = 10' (SCALE)

December 13, 2013 (DATE)

8 - DP Resubmission (ISSUE)

(DRAWING)



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MATERIAL & COLOUR LEGEND

A	White	Metal Panel	BM - Cloud white or standard colour (selected by Architect)	3M-Der to Alucobond (concealed edges no flashing)	F	Clear	Storefront commercial	Aluminum	Kawneer 1600
B	Charcoal	Cementitious Cladding or Exposed Textured Concrete (form finish)	Charcoal (Colour by Architect)	Synstone typical back balanced assembly	G	Charcoal	Aluminum Railings for clear entry glazing security gate	Charcoal	Iron mounts 2134-30
C	Charcoal + White	Window Wall System for clear glazing and spandrel glass	Frame colour White to match metal panel colour or Charcoal (Iron mounts)	Allen Windows or Starline 5000	H	White	Soft + Balcony Deck edge membrane	White (standard colour)	
D	Charcoal	Metal Screen (Woven metal to metal angle frames to suit)	Charcoal	Perforated metal mesh screen	I	Grey	Concrete wall	Grey (colour by Architect)	Elastomeric paint
E	Clear	Deck Canopy for steel outgutter supports	Aluminum	Aluminum					



NORTH ELEVATION



SOUTH ELEVATION

Sheet No. 14
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]

MAJORCA INTERNATIONAL INVESTMENTS LTD.

[PROJECT]

ELLE

6511-6531 BUSWELL RICHMOND, BC CANADA

[TITLE]

NORTH & SOUTH ELEVATION

10254 [PROJECT]

1" = 10' [SCALE]

December 13, 2013 [DATE]

8 - DP Resubmission [ISSUE]

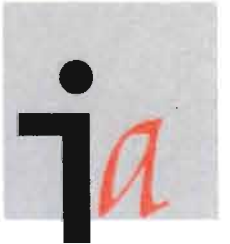
[DRAWING]

A-4.21

MATERIAL & COLOUR LEGEND

A	White Metal Panel	BM - Cloud white or standard colour (selected by Architect)	Similar to Alucobond (concealed edges no flashing)
B	Charcoal Camouflaged Cladding or Exposed Textured Concrete (form liner)	Charcoal (Colour by Architect)	Synstone Typical back fastened assembly
C	Charcoal + White Window Wall System w/ clear glazing and spandrel glass	Frame colour White to match metal panel colour or Charcoal (Iron mountain)	Allan Windows or Starline 9000
D	Charcoal Metal Screen (Woven metal in metal angle frames to suit)	Charcoal	Perforated metal mesh screen
E	Clear Glass Canopy w/ steel outrigger supports	Aluminum	Aluminum

F	Clear Storefront commercial	Aluminum	Kawneer 1600
G	Charcoal Aluminum Railings w/ clear safety glazing security gate	Charcoal BM Iron mountain 2134-30	
H	White Soffit + Balcony Deck edge membrane	White (standard colour)	
I	Grey Concrete wall	Grey (colour by Architect)	Elastomeric paint



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Sheet No. 15
 December 16, 2013
 DP 13-634111

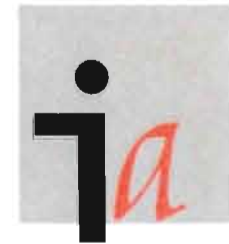
(ARCHITECT SEAL)
 7th FLOOR
 6th FLOOR
 5th FLOOR
 4th FLOOR

(CLIENT)
MAJORCA INTERNATIONAL INVESTMENTS LTD.
 (PROJECT)

ELLE
 6511-6531 BUSWELL
 RICHMOND, BC CANADA
 (TITLE)

(COLOUR) WEST ELEVATION
 10254 (PROJECT)
 1" = 10' (SCALE)
 December 13, 2013 (DATE)
 8 - DP Resubmission (ISSUE)
 (DRAWING)

WEST ELEVATION



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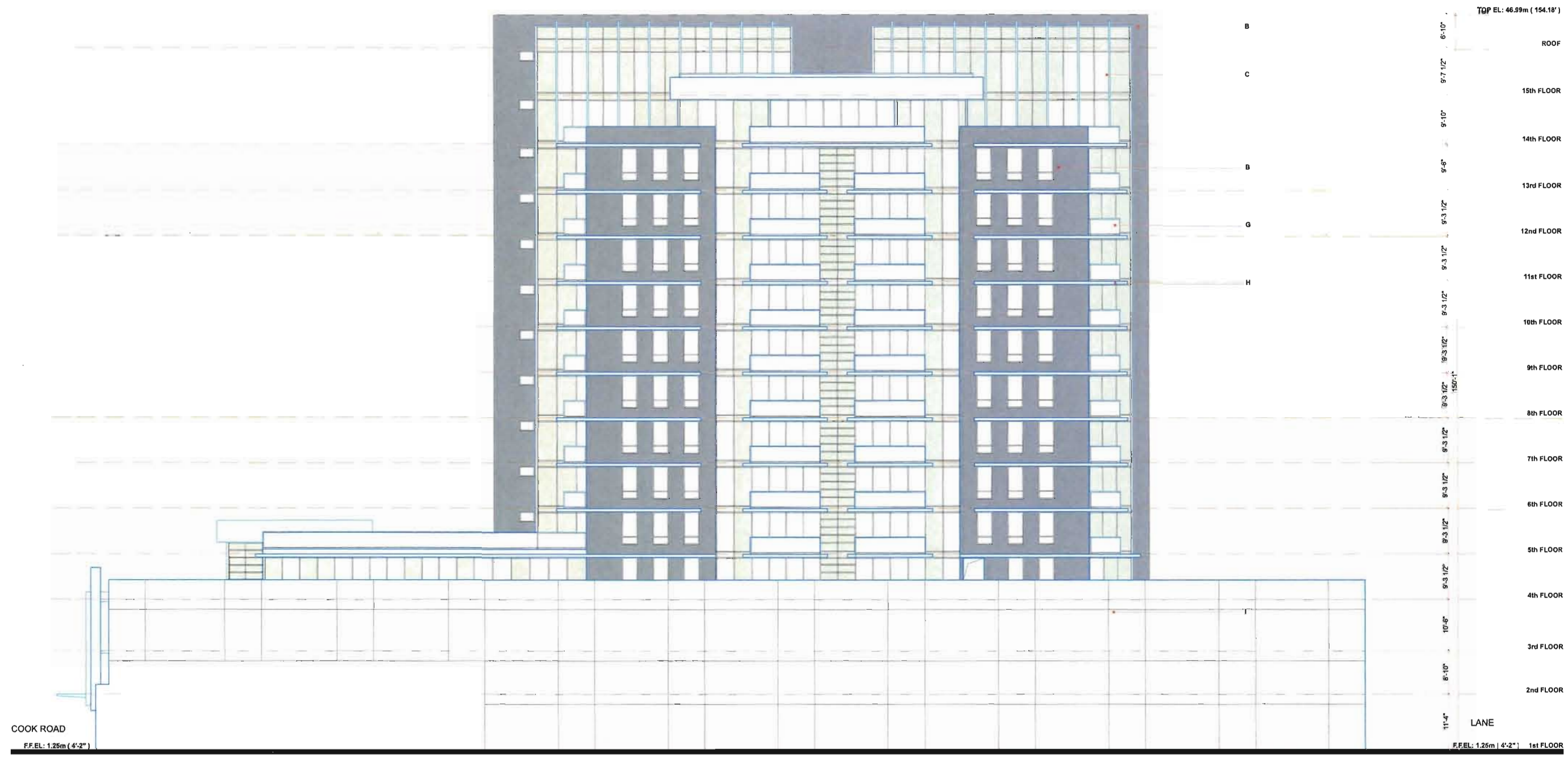
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MATERIAL & COLOUR LEGEND

A	White	Metal Panel	BM - Cloud white or standard colour (selected by Architect)	Similar to Alucobond (concealed edges no flashing)
B	Charcoal	Cementitious Cladding or Exposed Textured Concrete form liner	Charcoal (Colour by Architect)	Synstone Typical back lashed assembly
C	Charcoal + White	Window Wall System for clear glazing and spandrel glass	Frame colour: White to match metal panel colour or Charcoal (from metal in)	Alan Windows or Starline 9000
D	Charcoal	Metal Screen (Match metal to metal spandrel frame to suit)	Charcoal	Perforated metal mesh screen
E	Clear	Glass Canopy for steel outrigger supports	Aluminum	Aluminum

F	Clear	Storefront commercial	Aluminum	Kawneer 1000
G	Charcoal	Aluminum Railings for clear safety glazing security gate	Charcoal BM	Iron mountain 2134-30
H	White	Support + Balcony Deck edge membrane	White (standard colour)	
I	Grey	Concrete wall	Grey (colour by Architect)	Elementeric panel



WEST ELEVATION

Sheet No. 16
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]
MAJORCA INTERNATIONAL INVESTMENTS LTD.

[PROJECT]

ELLE
6511-6531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

WEST ELEVATION

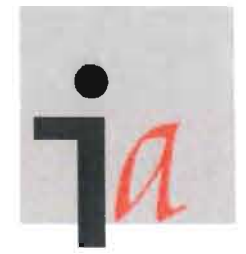
10254 [PROJECT]

1" = 10' [SCALE]

December 13, 2013 [DATE]

8 - DP Resubmission [ISSUE]

[DRAWING]



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WEST ELEVATION WINDOW/WALL RATION DIAGRAM

$$\frac{\text{RESIDENTIAL WINDOW AREA: } 5,595.0 \text{ SFT}}{\text{RESIDENTIAL WALL \& WINDOW AREA: } 15,470.9 \text{ SFT}} = 36.2\%$$



NORTH ELEVATION WINDOW/WALL RATION DIAGRAM

$$\frac{\text{RESIDENTIAL WINDOW AREA: } 2,210.9 \text{ SFT}}{\text{RESIDENTIAL WALL \& WINDOW AREA: } 5,572.6 \text{ SFT}} = 39.7\%$$



SOUTH ELEVATION WINDOW/WALL RATION DIAGRAM

$$\frac{\text{RESIDENTIAL WINDOW AREA: } 2,212.8 \text{ SFT}}{\text{RESIDENTIAL WALL \& WINDOW AREA: } 5,572.6 \text{ SFT}} = 39.7\%$$



EAST ELEVATION WINDOW/WALL RATION DIAGRAM

$$\frac{\text{RESIDENTIAL WINDOW AREA: } 7,206.2 \text{ SFT}}{\text{RESIDENTIAL WALL \& WINDOW AREA: } 19,454.5 \text{ SFT}} = 37.1\%$$

Sheet No. 17
 December 16, 2013
 DP 13-634111

[ARCHITECT SEAL]

[CLIENT]

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[PROJECT]

ELLE

6511-8531 BUSWELL
 RICHMOND, BC CANADA

[TITLE]

WINDOW RATION DIAGRAM

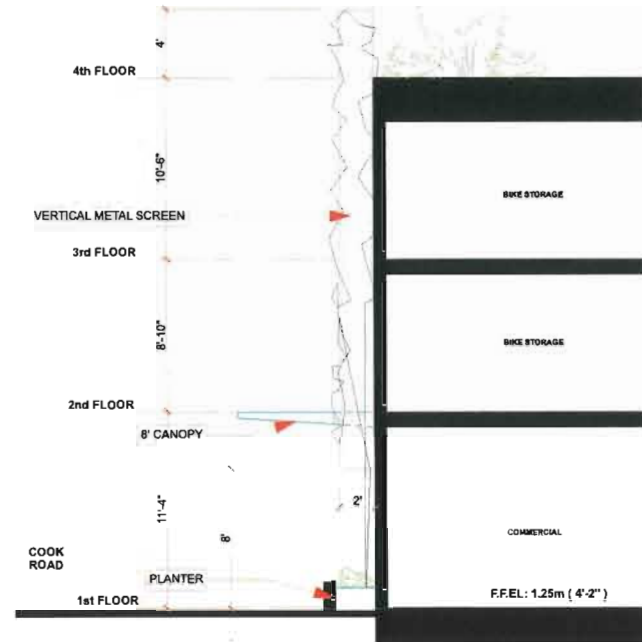
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 December 13, 2013 [DATE]
 8 - DP Resubmission [ISSUE]
 [DRAWING]



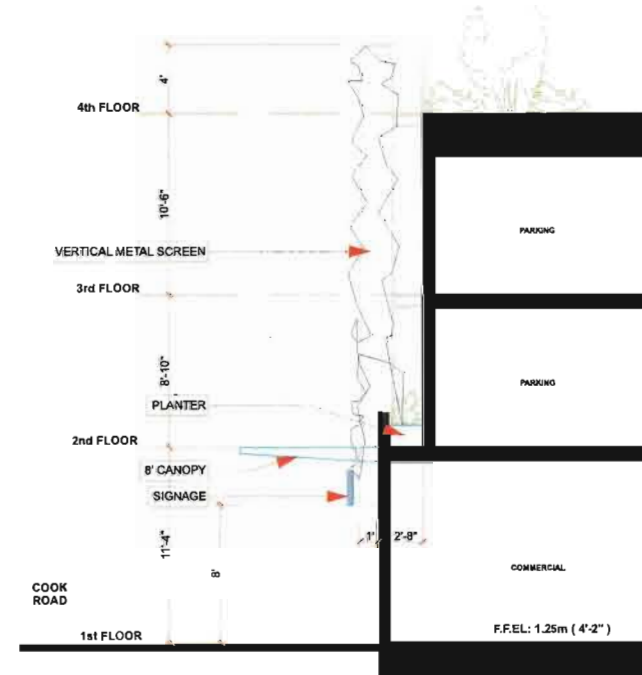
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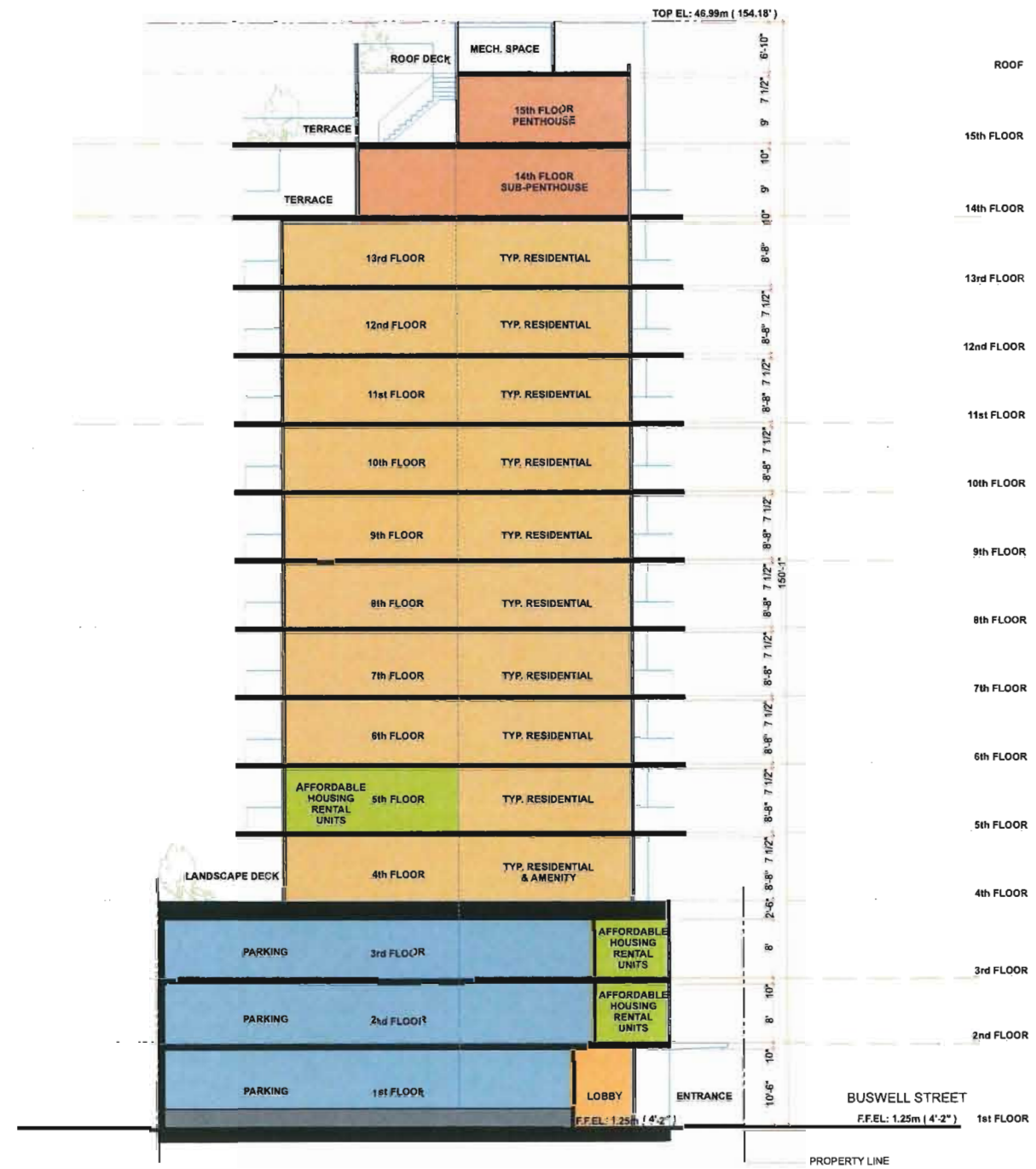
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VERTICAL METAL SCREEN SECTION DIAGRAM (ON BUSWELL ST.)



VERTICAL METAL SCREEN & SIGNAGE SECTION DIAGRAM (ON COOK ROAD)



SECTION DIAGRAM B-B

Sheet No. 19
December 16, 2013
DP 13-634111

(ARCHITECT SEAL)

(CLIENT)

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(PROJECT)

ELLE

6511-6531 BUSWELL RICHMOND, BC CANADA

(TITLE)

SECTION DIAGRAM B-B

10254 (PROJECT)

1" = 10' (SCALE)

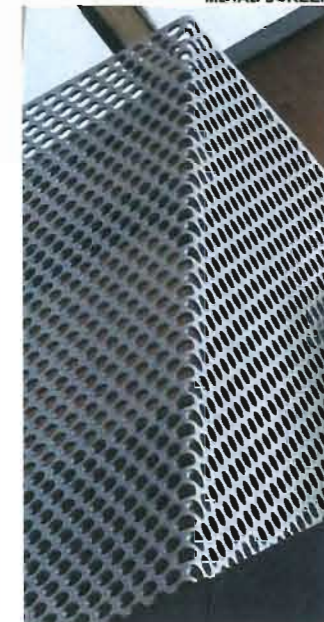
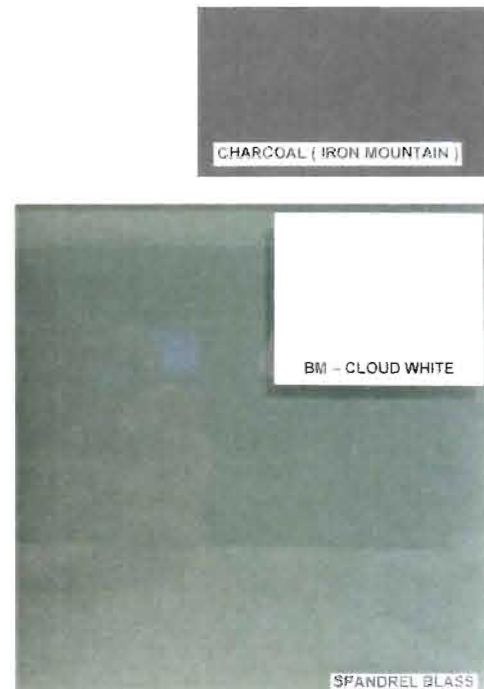
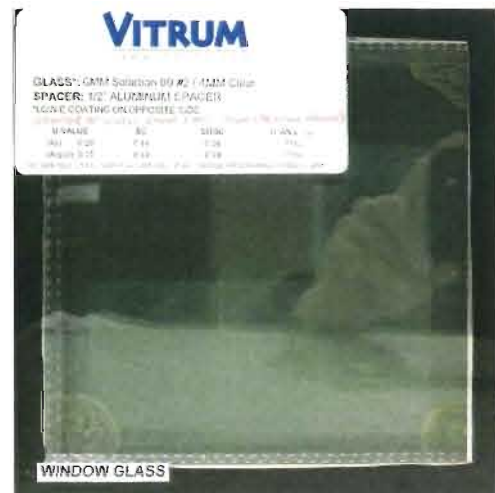
December 13, 2013 (DATE)

8 - DP Resubmission (ISSUE)

(DRAWING)

MATERIAL & COLOUR LEGEND

A	White	Metal Panel	BM - Cloud white or standard colour (selected by Architect)	Similar to Alucobond (concealed edges no flashing)
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C	Charcoal + White	Window Wall System w/ clear glazing and spandrel glass	Frame colour White to match metal panel colour or Charcoal (Iron mountain)	Allan Windows or Starline 9000
D	Charcoal	Metal Screen (Woven metal in metal angle frames to suit)	Charcoal	Perforated metal mesh screen
E	Clear	Glass Canopy w/ steel outrigger supports	Aluminum	Aluminum
F	Clear	Storefront commercial	Aluminum	Kawneer 1800
G	Charcoal	Aluminum Railings w/ clear safety glazing security gate	Charcoal BM Iron mountain 2134-30	
H	White	Soffit + Balcony Deck edge membrane	White (standard colour)	
I	Grey	Concrete wall	Grey (colour by Architect)	Elastomeric paint



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(PROJECT)
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(TITLE)
MATERIAL LEGEND

(PROJECT)
 10254

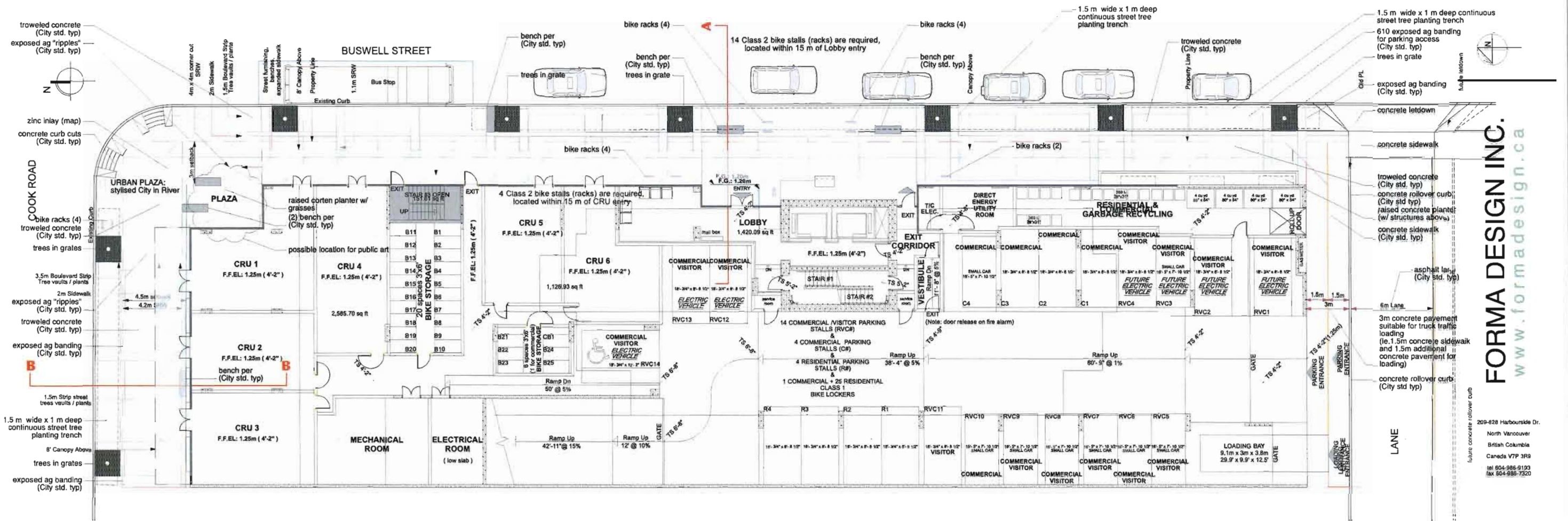
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(DATE)
 December 13, 2013

(ISSUE)
 8 - DP Resubmission

(DRAWING)

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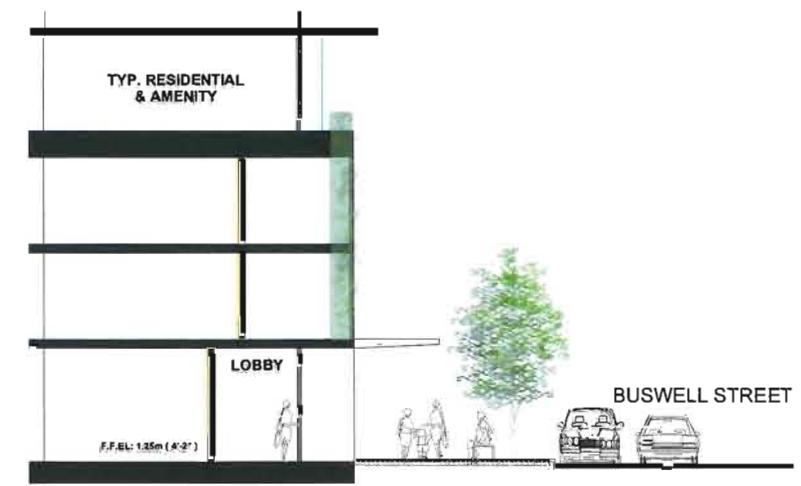
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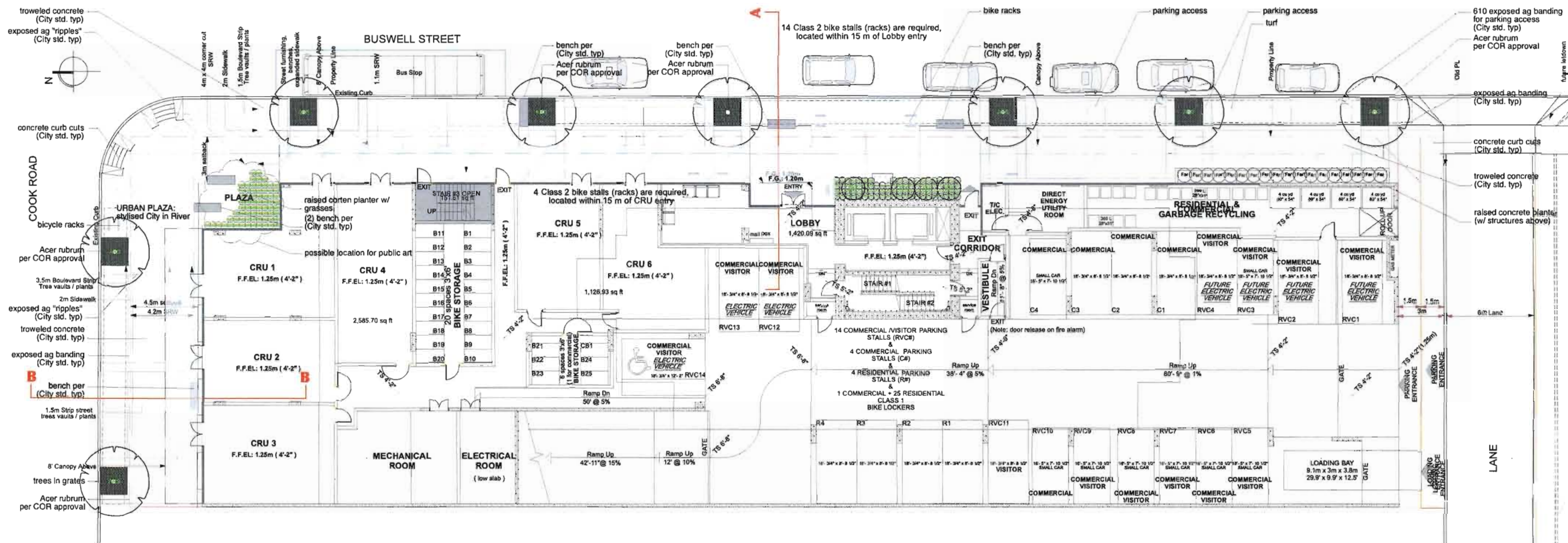
Sheet No. 21
 December 16, 2013
 DP 13-634111

- Revisions:
1. Mar 28 2013 Development Application
 2. Sep 28 2013 ReSubmission DP
 3. Oct 23 2013 ReSubmission ADP
 4. Dec 13 2013 ReSubmission ADP

ELLE
 Buswell Street
 Richmond, BC

Street Level
 LANDSCAPE LAYOUT





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Sheet No. 22
December 16, 2013
DP 13-634111



OFF-SITE PLANT LIST

KEY	QTY	BOTANICAL	COMMON NAME	SIZE	CONDITION/COMMENTS
TREES					
ARS	7	Acer rubrum 'Red Sunset'	Red Sunset Maple	10cm cal	B & B
POP	4	Populus tremuloides	Trembling Aspen	5 cm. cal.	B & B
SHRUBS					
Vot	85	Vaccinium ovatum "Thunderbird"	Evergreen Huckleberry	-	#2 Pot
GROUND COVERS/ANNUALS/FERNS/GRASSES/OTHER					
cab	70	Carex buchananii	Curly Sedge	12"	Sp #3

Planting Notes

- All materials and execution of landscape works shall conform to the BCSLA/BCNTA Landscape standard. Refer to written specifications for complete landscape documentation, if applicable.
- The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification and recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the Municipal authorities.
- Minimum planting medium depths:
lawn - 6" / 150mm
groundcover - 12" / 300 mm
shrubs - 18" / 450 mm
trees - 24" / 600 mm (around and beneath rootball) / 12" / 300 mm on slab
- All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to BCNTA standard for container grown stock.
- Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supercede the list.

- Revisions:
- Mar 28 2013 Development Application
 - Sep 28 2013 Resubmission DP
 - Oct 23 2013 Resubmission ADP
 - Dec 13 2013 Resubmission ADP

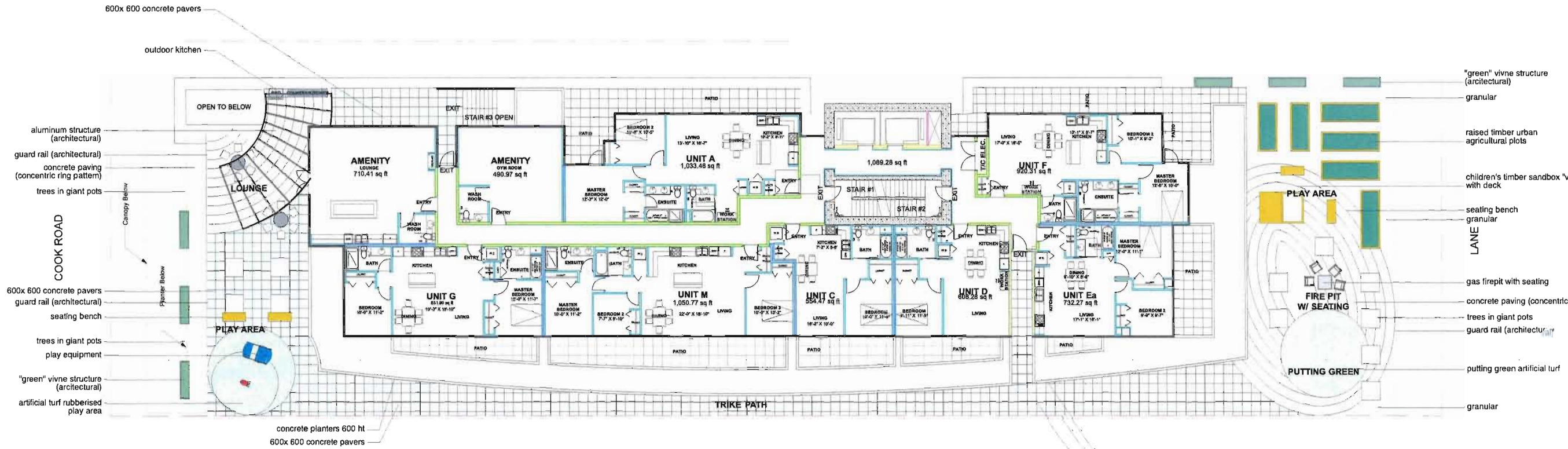
ELLE
Buswell Street
Richmond, BC

Street Level LANDSCAPE PLANTING

Scale: 1:100
Date: 12.16.13
Sheet: 22 of 22



BUSWELL STREET



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Steel Arbour Inspiration



Backless bench: MLB872B-W
 xBench by Maglinx
 (www.maglin.com) or equivalent

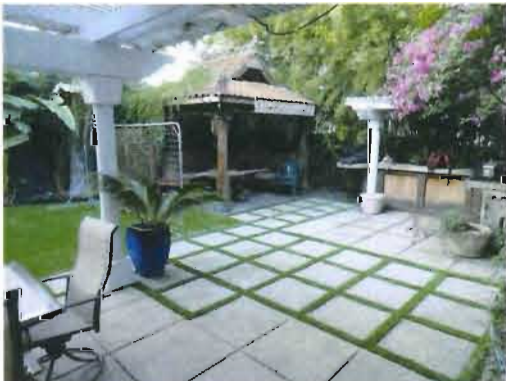


large scaled fibre reinforced concrete pots:



Elevated 36" Halo Fire Pit by
 Solus (www.solusdecor.com)
 or equivalent

24X24 hyrapressed concrete pavers:



granular material between pavers:



Sheet No. 23
 December 16, 2013
 DP 13-634111

- 1. Mar 28 2013 Development Application
- 2. Sep 28 2013 Resubmission DP
- 3. Oct 23 2013 Resubmission ADP
- 4. Dec 13 2013 Resubmission ADP

ELLE
 Buswell Street
 Richmond, BC

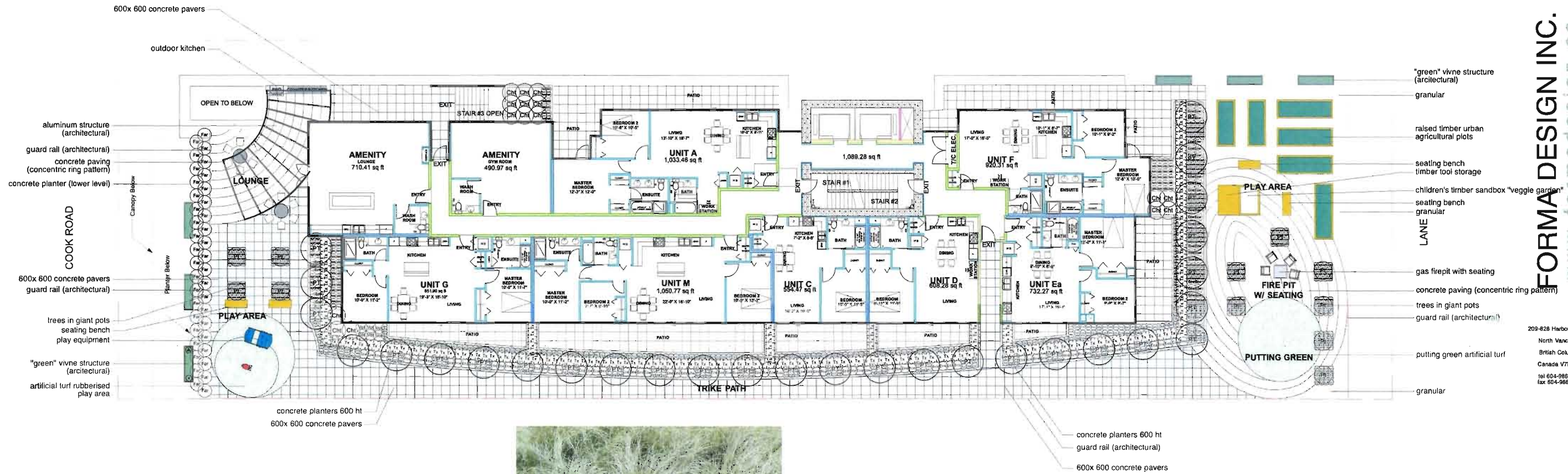
Podium Level
 LANDSCAPE LAYOUT

DATE: 12.16.13
 SCALE: as shown

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PLANT LIST

KEY	QTY	BOTANICAL	COMMON NAME	SIZE	CONDITION	COMMENTS
TREES						
APR2	4	Acer palmatum var.	Red Japanese Maple	3.0m ht.	B & B	
MGG	6	Magnolia grandiflora 'Little Gem'	Southern Magnolia	5 cm. cal.	B & B / 3.0m ht.	
PT	29	Populus tremula 'Erecta'	Columnar Trembling Aspen	5cm cal.	B & B / 2.5m ht.	
SHRUBS						
Chf	16	Cholysa temata	Mexican Orange Blossom	-	#3 Pot	
Plz	11	Topiary treeform Prunus	Topiary	-	#3 Pot	
Tx	180	Taxus X Media 'H.M Eddie'	Yew Hedge	-	8&B / 1.2m ht.	
Tbc	15	Taxus baccata 'cone'	Topiary Yew	-	8&B / 1.2m ht.	
Vot	6	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	-	#2 Pot	
GROUND COVERS						
ha	200	Hakonechloa marca aurea	Hakonechloa	-	#1 Pot	
VINES						
P1	12	Parthenocissus tricuspidata	Boston Ivy	-	#2 Pot	
hh	24	Hedera helix	English Ivy	-	#2 Pot	
PERENNIALS/ANNUALS/FERNS/GRASSES/AQUATIC						
agr	126	Agropyron magellanicum	Blue wheat grass	12"	Sp #3	
ecw	121	Euphorbia characias 'Wulfenii'	Euphorbia 'Wulfenii'	-	#2 Pot	
Far	57	Fargesia rufa	Panda Bamboo	.5m	#10 pot	
hm	141	Heuchera micrantha	Alumroot	-	#1 Pot	
opb	280	Ophiopogon planiscapus 'Ebony Knight'	Black Mondo Grass	12"	#1 Pot	
stc	99	Stipa calamagrostis	Spear Grass	12"	Sp #3	

Planting Notes

- All materials and execution of landscape works shall conform to the BCSLA/BCNTA Landscape standard. Refer to written specifications for complete landscape documentation, if applicable.
- The Landscape Contractor shall ensure that the on-site planting medium/soil meets the specification and recommendations of the soil analysis taken at the time of Substantial Completion. All recommendations of the soil analysis shall be executed prior to Final Acceptance of the landscape works by the Consultant and the municipal authorities.
- Minimum planting medium depths:
lawn - 6"/150mm
groundcover - 12"/300 mm
shrubs - 18"/450 mm
trees - 24"/600 mm (around and beneath rootball)/12"/300 mm on slab
- All plant material shall meet minimum size requirements as indicated on plant list. Quality of plant material and grading of site to conform to BCNTA standard for container grown stock.
- Discrepancies between plant numbers on the plant list and on the plan should be reported to the landscape architect prior to ordering plant material. In the case where there is a discrepancy between plant numbers on the plant list and on the plan, the plan shall supercede the list.

Sheet No. 24
December 16, 2013
DP 13-634111

- Mar 28 2013 Development Application
- Sep 28 2013 Resubmission ADP
- Oct 23 2013 Resubmission AOP
- Dec 13 2013 Resubmission ADP

Buswell Street
Richmond, BC

Podium Level
LANDSCAPE PLANTING

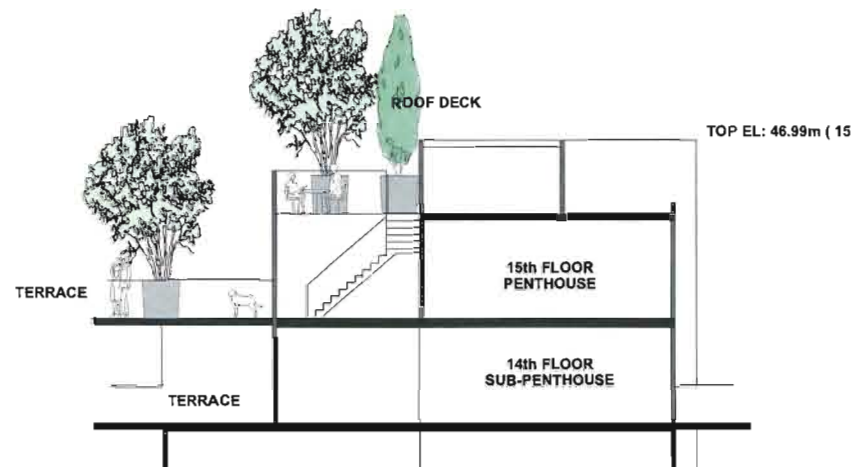


large scaled fibre reinforced concrete pots:

outdoor stainless steel kitchen
Quest Metal or equal:

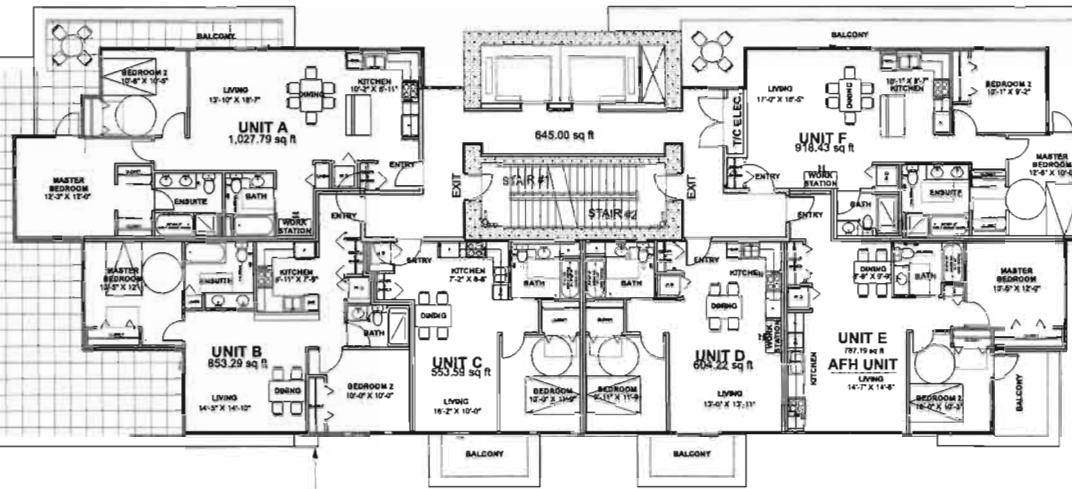


24X24 hyrapressed concrete pavers:

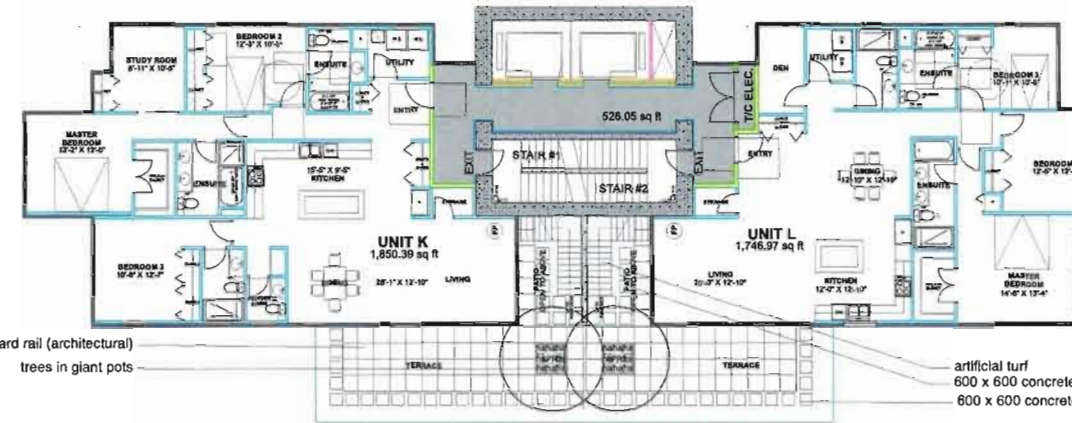


- guard rail (architectural)
- trees in giant pots
- 600 x 600 concrete pavers in gravel
- gravel material boundary
- 600 x 600 concrete pavers in gravel
- trees in giant pots
- gravel material
- guard rail (architectural)

Fifth Floor Private Terraces
scale 3/32" = 10"



5th FLOOR



15th FLOOR (PENTHOUSE)

granular material between pavers:

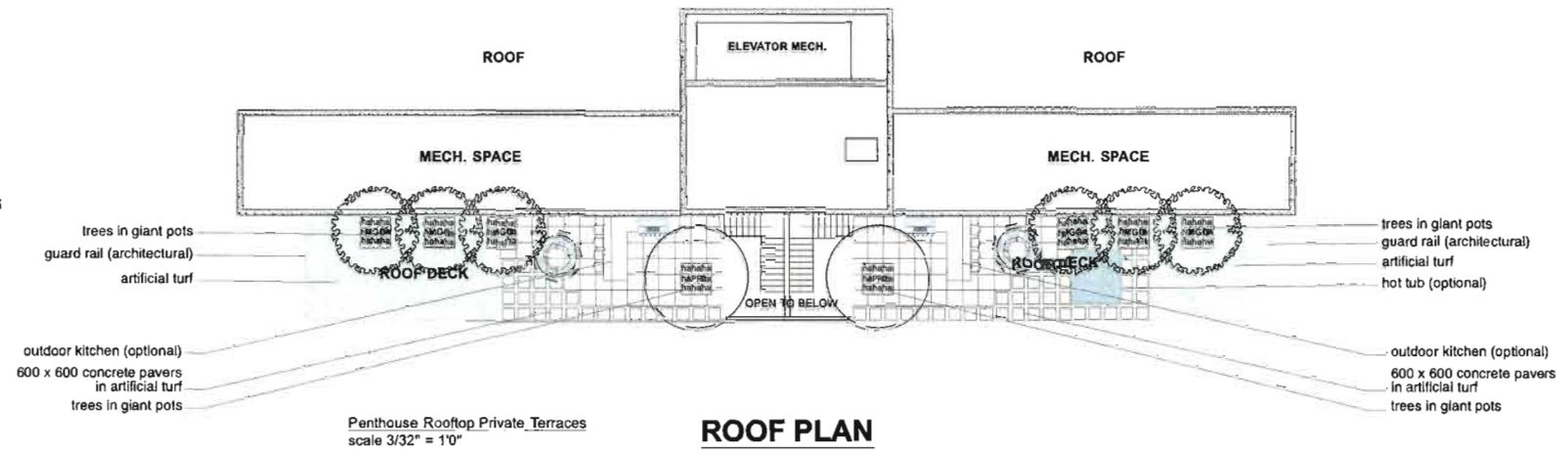


- guard rail (architectural)
- trees in giant pots

- artificial turf
- 600 x 600 concrete pavers in artificial turf
- 600 x 600 concrete pavers in gravel

ROOF

ROOF



Penthouse Rooftop Private Terraces
scale 3/32" = 10"

ROOF PLAN



- REVISIONS:
1. Mar 28 2013 Development Application
 2. Sep 28 2013 Resubmission DP
 3. Oct 23 2013 Resubmission ADP
 4. Dec 13 2013 Resubmission ADP

PART ONE - GENERAL REQUIREMENTS

1.1 REFERENCES

- This section, along with the drawings, forms part of the contract documents and is to be read, interpreted and coordinated with all other parts.
- The intent of this written specification is to complement the drawn information as indicated on the Landscape Plan and used in conjunction with each other to conform to all applicable governing codes and provisions.
- All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the B.C.S.L.A. / B.C.N.T.A. Landscape Standard.
- All landscape works to be performed under this contract to meet the applicable provisions and recommendations set forth in the Master Municipal Specifications & Standards Details and respect all Municipal Bylaws.

1.2 TESTING

- The subcontractor shall furnish from a recognized soil testing laboratory a certified analysis of the planting soil at their expense. A period of 7 days must be allowed for return of analytical data.

1.3 SUBMITTALS

- Any alternate products that differ from those specified in the contract documents, must be pre-approved by the Landscape Architect.
- All submittals are to include a product sample and or specification sheet.

1.4 SITE REVIEW

- The subcontractor shall examine, well in advance of commencing operations, that all rough graded areas are free of large boulders, concrete and other debris, and have been prepared to the required sub-grades and cross sections allowing for the specified depth of planting soil and much before the planting soil is placed. The subcontractor shall remove at their cost any planting soil placed in areas not inspected and approved by the consultant.
- The subcontractor shall report all defects, irregularities, or unacceptable conditions in writing to the consultant. Start of work shall imply acceptance of surfaces and conditions and waive grounds for after claims by the subcontractor.
- All plant material shall be available at one location ten(10) days prior to scheduled planting time for inspection by the consultant prior to delivery to the job site. Notify the consultant when plants are available for inspection and approval by the consultant at any time up to declaration of substantial performance. Rejected plant material shall be removed and replaced at no charge to the contract amount.
- During construction of this Section(02900) it is the subcontractor's responsibility to contact and inform the consultant as to the work in progress and to call for regular inspections. If inspections are not called for by the subcontractor and a portion of the work is completed i.e. site or sub-base preparation, drainage course over slab, which cannot be visually inspected by the consultant, the subcontractor may be requested at their own expense to remove and replace the work, so that the inspection may occur and the work be approved.
- Notify the consultant when planting operations and clean-up have been completed and the substantial performance inspection will be held. Should the work meet the consultant's approval, the 45 day maintenance period begins. Correct all deficiencies as required by the consultant.
- Final inspection will be carried out at least 45 days after the substantial performance inspection. If all deficiencies have not been corrected at that time, the final inspection will take place when all deficiencies have been corrected.

1.5 WORKMANSHIP

- The subcontractor shall identify and become familiar with the location of all new and existing structures, surfaces, structures and fixtures on site which may affect the work prior to commencement of this contract. Any damages shall be repaired by the subcontractor at their own expense to the satisfaction of the consultant.
- The subcontractor shall take all precautionary measures to protect all existing trees and plants to be retained as indicated on the drawings. No trees or plants shall be cut nor their roots or limbs cut unless authorized by the consultant. No roots shall be cut during installation of sidewalks, wall footings, or other underground work where such work passes close to a tree or plant. Tree roots shall be carefully uncovered and the utility passed through or bridged over them. All cut or damaged roots or limbs over 1 1/2" (38mm) in diameter shall be painted with carbolic.
- All existing trees to be saved shall be protected from the following:
 - Stockpiling of earth or materials under spread of tree.
 - Vehicle parking and/or driving under spread of tree.
 - Dumping of refuse or chemically injurious materials or liquids.
 - Continual puddling or running water.
- The subcontractor shall be aware of the structural limitations of the slab and is responsible for the protection of the water proofing membrane.

1.6 WARRANTIES

- Guarantee plants for one year from date of substantial completion of the project. Replacements will be required under this contract until each plant unit is replaced with one successfully established itself to the consultant's satisfaction.
- Guarantee that material and workmanship of this trade found defective will be replaced at no cost to the contract within a period of one year from date of substantial performance of the project.

PART TWO - PRODUCTS

2.1 DESCRIPTION OF WORK AND SCOPE OF WORK

This work includes all labour, materials, equipment, transportation and services necessary for, but not limited to, the following:

- Finish grading of all planted areas to meet flush with all paved surfaces and building elevations as specified on the landscape architectural and engineering drawings.
- Improvement of existing planting-soil and supply and placement of new planting-soil to required depths.
- Planting and maintenance of new shrubs, trees. All substitutions and changes to the original plant list as indicated on the plans must be approved by the consultant prior to shipment of the plant material to the site.
- Supply and installation of drainage course where required. Refer to architectural detail.
- Supply and install bark mulch in shrub beds only.
- Supply A.I. system as a design/build installation to the standard as per the written specification Section # 02970 Irrigation.
- Insert unit prices to the work of this section. Such unit prices to be used in adjusting the contract amount in the event of changes to the scope of work.

2.2 MATERIALS

- Growing Medium:** On-site planting soil to be excavated top layer of a virgin or ungraded source free on any subsoil. Imported planting soil must be submitted to the specified laboratory for analysis. The laboratory will specify any required additions of sand, organic matter, fertilizers and lime to meet specifications. In the event that the laboratory advises that the planting soil displays sufficient undesirable properties the planting-soil may be rejected and must be replaced with a superior preparation.
- Commercial fertilizer shall be selected after soil analysis. It shall be uniform in composition, dry and free-flowing. The fertilizer shall be delivered to the site in the original unopened containers each bearing the manufacturer's guarantee statement of analysis and shall meet the recommendations stipulated in the soil analysis report. No substitutions may be made without the written consent of the consultant. Manure shall be well-rotted mushroom, horse or cattle manure with no greater than an estimated 10% by volume of sawdust, shavings or refuse. Manure soluble levels will not exceed 4 mm/cm on a saturated paste. Any fertilizers shall conform to the N, P, and K requirements set out by the soil analysis.
- Lime shall be ground limestone containing not less than 85% of total carbonate and shall be ground to such a fineness that 50% will pass through a 100-mesh sieve and 90% will pass a 20-mesh sieve. Coarser material will be accepted provided the specified rates of application are increased proportionately.
- Peat (Peat Moss) shall be a domestic product consisting of partially decomposed vegetable matter of natural occurrence. It shall be brown in colour, clean, low in content of mineral and woody material with a pH between 4.0 and 8.0 and may be either granulated or shredded. Peat shall not contain fragments greater than 1" (25mm) in dimension.
- Sand: Clean washed pumped sand to meet requirements of B.C.Landscape Standard.

- Organic mulch shall be maximum size 2" (50mm) in any dimension with written analysis from a recognized lab to the approval of the consultant prior to installation.
- Fertilizers
- Filler Fabric: Woven "Perma Liner", Type 3100, as manufactured by Synflex Industries, or other polypropylene approved by the consultant.
- Drain Pipe
- Washed drain rock 1/4 - 1/2 In. (5-10mm) diameter.
- Plant Material
- Sod
- Miscellaneous

PART THREE - EXECUTION

3.1 SITE CONDITIONS

- The subcontractor shall inspect the site prior to commencement of work and report to the consultant any discrepancies between existing site conditions and conditions shown on the drawings.

3.2 SITE PREPARATION

- Scarcely existing subgrade 24" (600mm) below finish grade at planted areas. Do not scarify within 60" of existing trees. Determine location and depth of existing utilities before scarifying.
- Grades: Establish finished grades in planting areas, to elevations shown on architectural drawings. Upon completion, ensure absence of pockets or other drainage obstructions.
- Layout: Layout work from dimensions on drawings. Verify measurements on the site, report discrepancies to consultant before proceeding with the work.
- Surface Drainage: Slope and pitch grades as shown on plan, drain to gutters and catch basins.
- Clean-up: Remove and dispose of stumps, roots, pieces of wood, bushes, leaves, refuse, concrete rubble and similar debris from site before spreading of planting soil.

3.3 PLANTING-SOIL PREPARATION

- Native planting-soil and/or imported planting-soil, to be amended according to recommendations of the soil analysis. No other additions or amendments shall be made to the planting-soil without prior approval by the consultant.
- Mixing may be done at the job site in an area approved by the consultant.
- Planting-soil depths - off slab:
 - Groundcover - 12"/300mm;
 - Shrub Beds - 18"/460mm;
 - Trees - 127/300mm (around & beneath rootball).
- Planting-soil depths - on slab:
 - Groundcover - 18"/460mm;
 - Shrub Beds - 18"/460mm;
 - Trees - 127/300mm (around & beneath rootball).

3.4 STRUCTURAL SOIL

- Structural soil to be installed to City of North Vancouver standards as approved

3.5 LIME AND FERTILIZER

- Lime: Apply as necessary determined by the soil analysis to raise planting-soil pH to 6.5.
- Fertilizer: Apply fertilizer as determined by the soil analysis and as noted in this section.

- To facilitate watering, form a ridge of planting-soil around the edge of the pit or trench, the diameter of the rootball.
- Secure trees as follows:
 - Stake or guy each tree immediately after planting. Confirm with the consultant which trees are to be guyed or staked.
 - Stake each tree with two stakes. Set each stake vertically a minimum of 24" (600mm) in ground. Guy trees to stakes at top and bottom of stakes with tree-ties composed of wire encased in pieces of rubber hose. Tree-ties shall be large enough to allow for a two year growth, and neatly constructed.
 - Secure trees over 2" (50mm) caliper with 3 guys equally spaced about each tree. Each guy shall consist of two strands of 1/4 gauge wire attached to the tree trunk at an angle of 60 degrees and at 2/3rds the height of the tree, where the wire attaches to the tree it shall be adequately encased in hose as noted in (d) below. Anchor guys at the ground to 3"x3"x3" (64mm x 64mm x 300mm) stakes driven at 45 degree angle away from the tree and a minimum of 24" (600mm) into the ground.
 - Stakes for supporting trees over 2" (50mm) caliper to be #2 D.F.Y. - 2 1/2" x 10'-0" (38mm x 38mm x 3050mm) long; stakes for all other trees to be #2 D.F.Y. - 2 1/2" x 8'-0" (38mm x 38mm x 2400mm) long. The bottom 3/8" (100mm) of the stakes shall be thoroughly dipped and soaked in antichlorophenol preservative before stakes are set in ground. Wire for guys shall be #12 zinc-coated iron of #14 gauge. Hose used for covering wire shall be new or used rubber garden hose at least 1/2" (13mm) I.D. or approved equal.

3.6 CLEAN-UP

- Remove from the site all surplus materials, cans and other debris resulting from the work of this Section 2900. Neatly dress and finish planting areas; flush clean walks and paved areas with water and broom sweep to the satisfaction of the consultant.

3.7 MAINTENANCE

- Protect plants against trespassing and damage at all times. If any plants are injured they shall be treated or replaced as required by the consultant.
- If necessary, surround planted areas with temporary fencing of stakes and twine, stakes at maximum 6'-0" (1800mm) centres. Remove temporary fencing when planting is accepted by consultant.
- Protect plants against damage including orson; if plants are installed subsequent to lawn preparation, provide proper safeguards for protection of lawn areas. Replant damaged plants immediately.
- Upon acceptance of the 45 day maintenance period by the consultant, and after dead and/or dying plants (if any) have been replaced, the subcontractor shall submit a written request to the consultant for a final inspection unless the date has been previously arranged at the time of substantial performance. At this time the subcontractor shall submit a statement that they have carefully inspected all portions of the work and has reached all final drawings and specifications and that, to the best of their knowledge all conditions of the contract have been met.
- It shall be the subcontractor's responsibility and a condition of substantial performance to advise the owner and/or owner's representative in writing as to the recommended fertilizing and liming program as established by the soil analysis with rate of application, type, method, and duration i.e. every 3 months. Copy to be sent to the consultant.
- When substantial performance is made and the work accepted by the consultant, it shall be turned over to the Owner for subsequent maintenance.
- Begin maintenance period immediately after each plant is planted. Continue maintenance to the following requirements:
 - Maintain plants by regular watering (minimum one soaking of all plants every second day during hot weather) cultivating, pruning as directed by the consultant, spraying if necessary, and other necessary operations to ensure healthy plant growth and establishment for a 45 day period after substantial performance is approved by the consultant.
 - Long term maintenance period (2 years) applies to all turf, shrubs and street trees on City property.

PART FOUR - IRRIGATION

1.1 DOCUMENTS

This section, along with the drawings, forms part of the contract documents and is to be read, interpreted and coordinated with all other parts.

1.2 DESCRIPTION

- The intent of this written specification is to act as a guideline and performance specification for the design, supply and installation of A. I. System as per Landscape Plan L-1 of 1 for end used in conjunction with each other to conform to all applicable governing codes and provisions.
- Scope of Work: This work includes supply and installation of all labour, materials, equipment, transportation required to provide a complete and properly operating irrigation system as per the Landscape Plan.
- Related work: refer to Landscape Specification Section 02900 and general architectural specification.

1.3 SUBMITTALS AND INSTRUCTIONS

- Submit (2) bound sets of complete operation and maintenance manuals on all equipment used in the subsystem.
- Record Drawings: Upon completion and acceptance of the work, the irrigation subcontractor shall furnish the owner with three (3) complete sets of As-Built drawings showing the irrigation system as installed.
- Instructions: Instruct a designated representative of the owner in the complete operation and maintenance procedures of the irrigation system.
- Guarantee: Provide a written guarantee for all workmanship and materials for one (1) year from the date of Substantial Performance.

1.4 SITE CONDITIONS

- The irrigation subcontractor shall identify and become familiar with the location of all new and existing utilities, surfaces, structures and fixtures on site which may affect the work prior to commencement of this contract. Any damages shall be repaired by the irrigation subcontractor at their own expense to the satisfaction of the consultant.
- Prior to the start of the irrigation installation, inspect the installed work of other trades and verify with the general contractor that all such work is complete to the extent that this work may commence properly.
- Field Measurements: Make all measurements in the field and adjust the design to meet the on-site conditions. In the event of major discrepancies between the drawing and the actual site conditions notify the consultant before proceeding with the work.
- Sequencing:
 - Ensure the installation of the sleeves and irrigation pipe under paved surfaces and through planter walls as required.
 - Verify the location of the water supply for the irrigation system.
 - Verify the location of the low voltage wire from the irrigation controller to the landscaped areas.

1.5 SITE CONDITIONS

- The irrigation subcontractor shall identify and become familiar with the location of all new and existing utilities, surfaces, structures and fixtures on site which may affect the work prior to commencement of this contract. Any damages shall be repaired by the irrigation subcontractor at their own expense to the satisfaction of the consultant.
- Prior to the start of the irrigation installation, inspect the installed work of other trades and verify with the general contractor that all such work is complete to the extent that this work may commence properly.
- Field Measurements: Make all measurements in the field and adjust the design to meet the on-site conditions. In the event of major discrepancies between the drawing and the actual site conditions notify the consultant before proceeding with the work.
- Sequencing:
 - Ensure the installation of the sleeves and irrigation pipe under paved surfaces and through planter walls as required.
 - Verify the location of the water supply for the irrigation system.
 - Verify the location of the low voltage wire from the irrigation controller to the landscaped areas.

2.3 SPRINKLER HEADS

- First quality of the types indicated on the drawing or pre-approved equivalents by the consultant.

2.4 AUTOMATIC CONTROLLER

- First quality of the types indicated on the drawing or pre-approved equivalents by the consultant.

2.5 CONTROL AND COMMON WIRING

- Insulated single strand copper wire TWU-40 #14 gauge to used where directly buried in the landscape. White to be used as the common wire.
- Wiring from the controller to the landscape may be a minimum of #18 solid wire run in conduit.
- All electrical connections to be made with CSA watertight connectors.

3.0 EXECUTION

3.1 LAYOUT

- The irrigation subcontractor shall inspect the site prior to commencement of work and report to the consultant any discrepancies between existing site conditions and conditions shown on the drawings.
- Coordinate exact locations of lines, valves and heads with plant placement to avoid conflicts and damage to plants during installation. Stake locations and check grades of all components.

3.2 EXCAVATION AND BACKFILLING

- The excavation depths for piping shall be:
 - landscape areas - minimum 12"(300mm) cover.
 - paving - minimum 18"(450mm) cover.
 - concrete slab - place pipe on filter fabric above drain rock if 12" (30mm) cover can not be met.
- Trenches shall be straight with uniform slopes to the bottom of the trenches.
- Place pipe on firm soil at all points of the trench.
- Backfill trenches in 6" (150 mm) layers, tamping to ensure compaction of trench is equal to surrounding undisturbed area.
- Backfill material shall be free from rocks and other unsuitable materials which could damage the pipe or create unusual settling problems.

3.3 INSTALLATION OF PIPING

- Install the piping in accordance with the drawings and with manufacturer's recommendations.
- Where possible, main and lateral lines may occupy the same trench provided a minimum 2" (50 mm) horizontal clearance can be maintained.
- No line may be installed parallel to and directly over another line.
- All piping to run as straight as possible between fittings.
- Remove all excess PVC solvent cement from all solvent weld joints.
- The entire irrigation system shall be thoroughly flushed with water to remove dirt, scale and foreign matter before sprinkler heads are installed.

3.4 INSTALLATION OF SPRINKLERS

- Pop-up sprinklers shall have an adjustable riser assembly (triple swing joint) assembled by using at least three standard PVC street elbows. (NOTE: market street elbows are not allowed).
- Triple swing joint risers shall be of Schedule 80 PVC and fittings of schedule 40 PVC unless otherwise indicated on the drawings.
- The bottom street elbow shall be connected to the side outlet on the lateral line.
- The PVC nipple on a pop-up sprinkler shall be installed on a 45 degree to the lateral line.
- All stationary spray sprinklers shall be installed with two PVC street elbows to connect to the lateral line and a Schedule 80 PVC nipple that is long enough to be four inches (4") or ten centimeters (10 cm) above finished grade.
- All sprinkler heads to be installed a minimum of one inch (1") or two one half centimeters (2.5 cm) away from any hard surface.

3.5 INSTALLATION OF VALVES AND VALVE BOXES

- All valve boxes to be installed flush with finished grade.
- All valve boxes to be installed vertically and centred in the valve box for ease of accessibility for servicing.
- All valve boxes to be blocked so that the valve box does not rest on the piping below.
- Minimum valve box sizes:
 - 910 - one 1.5"(3.8 cm) valve or two 1"(2.5 cm) valves
 - 1419 - two 1.5"(3.8 cm) valve or three 1"(2.5 cm) valves
 - 1320 - three 1.5"(3.8 cm) valve or four 1"(2.5 cm) valves
- All wiring connections in the valve boxes to be sufficient length to permit removal of the top of the valve from the valve box.

3.6 INSTALLATION OF WIRE

- Install low-voltage wire beneath irrigation piping for protection.
- All electrical connections to be made in an accessible valve box.

3.7 OPERATION INSPECTION

- Upon completion of the irrigation system, the entire system shall be tested for proper operation.
- The irrigation subcontractor shall balance and adjust the various components of the irrigation system to ensure the efficient operation of the system. This includes the adjustment of pressure regulators, part circle, sprinklers and individual adjustments of the controllers. Also make minor changes to the sprinkler head locations to provide adequate coverage as part of the work.
- COVERAGE TEST: When the irrigation system has been completed, a coverage test shall be performed in the presence of the consultant to ensure all planting areas are adequately covered.
- CONTROLLER TEST: Prior to substantial performance of the irrigation system, the automatic controllers shall be tested in sequence and through all zones. Any necessary adjustments shall be made to the satisfaction of the consultant.



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Sheet No. 26
 December 16, 2013
 DP 13-634111

- Mar 28 2013 Development Application
- Sep 26 2013 Resubmission DP
- Oct 23 2013 Resubmission ADP
- Dec 13 2013 Resubmission ADP

ELLE
 Buswell Street
 Richmond, BC

LANDSCAPE SPECIFICATIONS

DATE: 12.16.13
 DRAWN BY: as shown



RENDERING NIGHT VIEW



MASSING STUDY VIEWS



INTEGRA ARCHITECTURE INC.

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PERSPECTIVE FROM SOUTH-EAST



SKETCH RENDERING

Sheet No. 27
December 16, 2013
DP 13-634111

[ARCHITECT SEAL]

[CLIENT]
MAJORCA INTERNATIONAL
INVESTMENTS LTD.

[PROJECT]
ELLE

6511-8531 BUSWELL
RICHMOND, BC CANADA

[TITLE]

CONCEPT

10254 [PROJECT]

[SCALE]

December 13, 2013 [DATE]

8 - DP Resubmission [ISSUE]

[DRAWING]

A-0.50



To: Development Permit Panel
From: Wayne Craig
Director of Development
Date: December 16, 2013
File: DP 13-641796
Re: **Application by Townline Gardens Inc. for a Development Permit at
10820 No. 5 Road**

Staff Recommendation

That a Development Permit be issued which would;

1. Permit the construction of a 5-storey, mixed-use commercial and residential building (Building D – ‘The Camellia’) at 10820 No. 5 Road on a site zoned “Commercial Mixed Use (ZMU18) – The Gardens (Shellmont)”; and
2. Vary the provisions of the Richmond Zoning Bylaw 8500 to:
 - a) Reduce the parking rate for rental housing units from 1.7 spaces per residential unit (1.5 spaces for residents plus 0.2 spaces for visitors) to 1.2 spaces per residential unit (1.0 spaces for residents plus 0.2 spaces for visitors).


Wayne Craig,
Director of Development

WC:bg

Attachment 1: Development Application Data Sheet
Attachment 2: Advisory Design Panel Comments and Applicant Responses

Staff Report

Origin

Townline Gardens Inc., has applied to the City of Richmond for permission to develop a 5-storey, mixed-use commercial and residential building (Building D – ‘The Camellia’) with a gross floor area of 10,839.1 m² (116,671 ft²) including 163 apartment units with a floor area of 9,231.8 m² (99,370 ft²) and 1,607.3 m² (17,301 ft²) of commercial floor area located at 10820 No. 5 Road.

‘The Gardens’ project is a master planned, mixed-use development at the northeast corner of Steveston Highway and No. 5 Road. Building D would be Phase 2 of this overall development and the residential component (163 apartment units) of this building is proposed as 144 rental housing units and 19 affordable housing units.

The rezoning (RZ 08-450659) for this overall development was adopted on July 25, 2011. ‘The Gardens’ site was rezoned from “Service Station District (G2)”, “Botanical Garden District 1 (BG1)” and “Botanical Garden District 2 (BG2)” to “Commercial Mixed Use (ZMU18) – The Gardens (Shellmont)” according to Zoning Bylaw 8500 Amendment Bylaw 8532. The vision for this overall development is a ‘Garden City’ characterized by compact, transit-oriented development, pedestrian-friendly streetscapes, small shops and restaurants, and a green, landscaped setting with opportunities for urban agriculture. See sheet 38 for the overall development master plan of ‘The Gardens’ proposed development. Significant requirements and contributions were secured at the time of rezoning included the following:

- 12.2 acre ‘Agricultural-Park’ dedication (north portion of the site) with a master plan and basic park enhancements;
- Agricultural Land Reserve (ALR) setback and landscape buffer;
- City-owned 37 space child care facility;
- 5% of the total market residential floor area as affordable housing;
- Road frontage and infrastructure upgrades;
- Enhancement of an existing Riparian Management Area (RMA); and
- On-site public art installations with a total estimated value of approximately \$364,000.

The ZMU18 zoning for ‘The Gardens’ limits development on the overall site to 1.43 FAR. However, Townline may choose to vary the number of parcels in a phase and/or the order in which the parcels are developed as well as vary the floor area in each phase or parcel and/or the proportion of non-residential and residential uses, provided that the following floor areas are not exceeded:

- Maximum Residential Floor Area: 53,513 m² (576,007 ft²); and
- Maximum Total Floor Area: 56,511 m² (608,279 ft²) (approximately 550+ units).

There are 3 separate Servicing Agreements (SA) for this development (i.e., for infrastructure upgrades, frontage improvements and service connections) and Townline has entered into all 3 SA’s.

The Development Permit for Phase 1 has been issued and is under construction.

A previous Development Permit for Phase 2 (DP 12-599057) was endorsed by Development Permit Panel on August 22, 2012. Townline later elected to pursue a rental housing project and therefore withdrew this application. However, a new housing agreement will be required and the existing housing bylaw will need to be rescinded and simultaneously replaced by a new housing bylaw.

The current development proposal for Phase 2 is generally in keeping with the previous proposal endorsed by the Development Permit Panel on August 22, 2012 but a new Development Permit application was required due to relatively minor changes in the form and character of the current proposal, unit mix adjustments and changes to the parking requirements.

Development Information

Please refer to the Development Application Data Sheet for a statistical summary of this development proposal (**Attachment 1**).

Background

The site for Building D is a portion of the former 'Fantasy Gardens' property situated along the east side of No. 5 Road. The overall development site is located on the north side of Steveston Highway, between Highway 99 and No. 5 Road. The botanical gardens portion (north half) within the ALR was dedicated to the City as an 'Agricultural Park' as part of the rezoning. The development portion (south half) proposes seven (7) buildings ranging in height from 4 to 6-storeys with both underground and podium roof top parking. The immediate context for Building D in Phase 2 is as follows:

- North: The temporary marketing centre for 'The Gardens' (future 37 space child care facility) is located immediately north of Road 'A' and designated Assembly (ASY). The 12.2 acre dedicated 'Agricultural-Park' designated Agriculture and Botanical Show Garden (ZA3) – Fantasy Gardens (Ironwood) is also located on the north side of Road 'A' opposite the proposed Building D. The area beyond the development site and north of the 'Agricultural-Park' is characterized by large properties designated to permit assembly uses fronting No. 5 Road with farming uses in the rear.
- East: Future phases of 'The Gardens' overall development are located on the east side of Road 'A' and beyond the development site is Highway 99, separated from the development site by a tall, evergreen hedge (within the subject site) and a large drainage ditch (within the highway right-of-way). The properties east of Highway 99 are agricultural.
- South: Building A in Phase 1 of 'The Gardens' is located immediately south of proposed Building D, across the auto court at the east end of the internal east-west shopping street. Beyond the overall development site on the south side of Steveston is the Ironwood Shopping Centres, a large business park further south and a mixed-use commercial/business park area east of No. 5 Road. The Ironwood Shopping Centre offers a broad range of convenience retail, restaurants and services, including a branch of the Richmond Public Library.
- West: Across No. 5 Road is an established, single-family residential neighbourhood with lots fronting No. 5 Road designated Single Detached (RS1/E) and a small townhouse project designated Low Density Townhouse (RTL4) that front onto No. 5 Road.

Rezoning and Public Hearing Results

The Public Hearing for the rezoning application was held on October 19, 2009. While no objections to the proposed development were raised, some concerns were expressed regarding the traffic in the immediate area. As a result improvements have been made to the existing Steveston Highway and No. 5 Road intersection and a new signalized intersection will be created along No. 5 Road at the entry to the proposed development.

Staff Comments - Summary

The proposed scheme attached to this report has satisfactorily addressed the urban design issues and other staff comments identified during the review for this Development Permit application. It complies with the intent of the applicable sections of the Official Community Plan (OCP) Bylaw 9000 and Schedule 2.8A - Shellmont Area - Ironwood Sub-Area Plan in OCP Bylaw 7100. In addition, the proposed development is generally in compliance with the relevant design guidelines but a zoning variance is required as noted below.

Zoning Compliance/Variiances (staff comments in **bold**)

The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- a) Reduce the parking rate for rental housing units from 1.7 spaces per residential unit (1.5 spaces for residents plus 0.2 spaces for visitors) to 1.2 spaces per residential unit (1.0 spaces for residents plus 0.2 spaces for visitors).

Staff supports the proposed variance as the applicant has submitted a parking study that justifies the request by demonstrating that the proposed reduction in the parking rate for rental housing will still provide sufficient parking for these dwelling units and is verified based on a detailed analysis of parking utilization in comparable existing rental housing projects in Richmond. Townline has also agreed to provide one (1) BC Transit Compass Card per rental unit (163 in total) for Building D in Phase 2, which shall include the equivalent value of 1 year or 12 monthly 2-zone transit passes. The rental housing tenure will be secured through the registration of a separate housing agreement.

Advisory Design Panel Comments

The Advisory Design Panel was in support of this Development Permit application. See **Attachment 2** for the relevant excerpt from the Advisory Design Panel Minutes of October 23, 2013. The design responses from the applicant have been included immediately following the specific Advisory Design Panel comments and are identified in '**bold italics**'.

Analysis

Conditions of Adjacency

The proposed design of Building D respects adjacent properties and neighbouring land uses to ensure a comfortable urban design fit in the following ways.

- **To the North:** The proposed height of the top floor would be 17.31 m while the maximum height of the building including mechanical equipment and the elevator overrun would be 18.69 m. Both proposed heights are below the maximum 20 m height allowed under the ZMU18 zone thus the apparent height of the building from the 'Agricultural-Park' on the north Road 'A' is approximately 2.7 m (8.9 ft) lower than the maximum height permitted.

- To the East:** Across Road ‘A’ from proposed Building D, the overall development plan anticipates a future building with a similar massing (Building E1) and a mirrored setback and frontage treatment. Any adjacency impacts of the proposed development along the north-south portion of Road ‘A’ would be internal to the development site and only affect future phases of the overall development.
- To the South:** The edge conditions along the south side of Building D are similarly internal to the overall development site and would be compatible with the retail/commercial plaza area and small auto-court between Building A and Building D. The same high-quality landscape treatment and paving materials introduced in Phase 1 for Building A will be extended onto Lot C for Building D in Phase 2.
- To the West:** The transition in building mass to the smaller scale 2 to 3-storey residential townhouse development on the west side of No. 5 Road has been achieved by an increased building setback (from 3.0m to 6.0m). The resulting 6.0m building setback would consist of densely landscaped terraces in combination together with the 6.0 m wide City boulevard and greenway including street trees and grass, sidewalk and parallel off-street bike lane.

Transportation & Traffic

1. Parking: The proposed reduction in the residential parking rate has been justified through a parking study, which is supported by Transportation staff. The proposed number of parking spaces assumes a reduction in residential parking in response to the Transportation Demand Management (TDM) measures proposed by the applicant and supported by Transportation staff. All required commercial parking spaces have been provided in Phase 1 and commercial parking is shared with residential visitor parking. The shared commercial/residential visitor parking stalls are required to be ‘unassigned’. The proposed bike parking meets the bylaw requirements as does the proposed loading arrangement. The table below provides a summary of parking and loading associated with Building D.

Land Use	Required Parking	Parking Reduction (TDM & Overlap)	Proposed Parking Provided	
Residential Rental Housing	216	235 (216+19) -10% = 212	Rental & Affordable = 163	Variance required but supported
Residential Affordable Housing	19			
Visitor	33	visitor overlapping 33-10% = 30	Visitor (overlap with retail) = 33	
Total	268	242	Total = 196	
Small Car Stalls (50% allowed)	134	121	62 (residential only)	
Accessible Parking Stalls	6	5	5 (3 residential 2 retail)	
Shared Commercial & Residential Visitor	Phase 2 = 56 Overall = 351	Phase 2 = 56-10% = 50 Overall = 351-10% = 316	Podium Level = 85 Parkade P1 Level = 266 Total = 351 Phase 2 - Commercial = 56 Total Vehicle Parking = 210 (res.) + 56 (comm.) = 266	Based on shared commercial / residential visitor parking
Phase 2 – Total Vehicle Parking	338	305		
Residential Class 1 Bike Parking	204	n/a	204	0% reduction
Residential Class 2 Bike Parking	33	n/a	33	
Commercial Class 1 Bike Parking	5	n/a	5	0% Reduction
Commercial Class 2 Bike Parking	7	n/a	7	
Loading Spaces	3 medium	n/a	3 shared medium (SU9)	3

2. TDM measures were secured at the time of rezoning and include the following components:
 - 2 co-op parking stalls located on the parking podium near the east end of Building B;
 - 2 transit shelters (1 to be installed northbound on No. 5 Road as part of the Servicing Agreement and cash-in-lieu for 1 to be installed southbound at the intersection between Steveston Highway and Highway 99;
 - End-of-trip bike facilities provided in Building A (Phase 1) with access provided to all residents and commercial-retail unit (CRU) employee use with key fobs; and
 - 15% subsidy for a 2-zone transit pass, with this offer presented to all owners at the time of occupancy but advertised as part of the sales and marketing for the project.

The applicant now proposes the following additional TDM measure in consideration of the reduced residential parking rate for rental housing:

- Provision of one (1) Compass Card per rental unit (163 in total) for Building D in Phase 2, which shall include the equivalent value of 1 year or 12 monthly 2-zone transit passes that would be advertised as part of the sales and marketing for the project and would be presented to the owners (1 Compass Card per unit) at the time of occupancy. Townline indicates there will be no fee, penalty or disincentive to residents of Building D in order to receive a Compass Card.

Urban Design & Site Planning

1. Overall Master Plan: This site is located at an important southern gateway to Richmond from Highway 99 and the proposed 4 to 5-storey built form will provide an appropriate framing element on the north side of Steveston Highway, which will ultimately contribute to the creation of a 'portal experience'. In the overall development master plan, all buildings are located along an internal east-west retail street on top of the parking roof deck with residential apartments above. This internal pedestrian-scale retail street incorporates a variety of shop fronts, a limited amount of surface parking, wide sidewalks, raised crosswalks, plaza areas, decorative paving and other special features that enhance the pedestrian experience and contributes to a vibrant mixed-use community.
2. Site Planning & Building Design: The site plan for Building D closely follows the master plan vision established during the rezoning stage to create a vibrant, mixed-use, urban village. The proposed treatment surrounding Building D would consist of high-quality public, semi-public and private open spaces and complementary landscape plantings that have been appropriately detailed. The scale of Building D in Phase 2 will relate well to Building A in Phase 1 (to the south) but with sufficient variation in the architectural design and character to add visual interest and a separate identity.
3. Access & Circulation: The vehicle and pedestrian access/egress proposed for Phase 2 is consistent with the master plan and well coordinated with Phase 1. There would be multiple vehicle access points into this development from the surrounding streets including a right-in only along Steveston Highway, a direct connection to the underground parking (right-in and out only) to/from No. 5 Road and a new signalized intersection along No. 5 Road at Road 'A' that would provide vehicle access to the interior of the site including the east-west retail street on the parking roof deck as well as to the underground parking area. There would be wide pedestrian sidewalks along both sides of the east-west retail street with walkway connections into the 'Agricultural Park' on the north side of the development site.

4. Height & Massing: The maximum height of Building D in Phase 2 would be 18.69 m (elevator overrun) while the height along No. 5 Road would be 17.31 m, which is lower than the permitted height of 20.0 m in the zoning bylaw.
5. Park Adjacency: The residential uses fronting the south side of Road 'A' are compatible with the proposed 'Agricultural-Park', particularly the ground-oriented units that have been designed with a grade separation between the public realm on the street and the elevated semi-private outdoor walkway adjacent to the unit patios.
6. Interior Site Relationships: The large 'U' shaped recess along the south side of Building D would enclose and complete the auto-court at the west end of the east-west retail street. A future residential building on the east side of Road 'A' in a later phase would create a compatible built form massing and use relationship for the Building D residential lobby.

Architectural Form & Character

1. Architectural Design: The facade design of the south building elevation creates a distinction between the residential and commercial uses by stepping the residential units back from the retail frontages located below and by the change in facade materials with the use of brick cladding (warm grey) on the ground level. The north building elevation has been improved by the addition of brick cladding on the lower level and balcony projections, which will improve the architectural character of this rental building and not differentiate this building from adjacent market residential buildings. In addition, a similar brick cladding has been added to the lower terrace walls. The retail uses within the building extend partially along No. 5 Road, which adds design variety and visual interest to the east building façade however there would be no direct access to any CRU from No. 5 Road. The retail frontage along this building façade is well screened from the residential buildings across No. 5 Road with a dense and layered landscape screening strategy and the proposed commercial signage is limited in size. The design of the parkade entry incorporates an overhead metal trellis, which appropriately announces the shared residential/commercial vehicle entry from No. 5 Road.
2. Building Materials: The façade materials include concrete, brick, metal panels and glazing. The amount of brick cladding has been increased along the base of the building on the north elevation to improve the character and apparent quality of this building.

Landscape Design & Open Space Design

1. As part of the rezoning, the applicant was required to dedicate approximately 12.2 acres as an 'Agricultural Park' that will include trails, play areas, ponds, community gardens, horticultural and agricultural interpretive facilities in the various garden areas.
2. There are no existing trees within the Phase 2 development site.
3. The Public Right of Passage – Statutory Right of Ways (PROP ROW's) secured over Phase 1 through the rezoning will provide public pedestrian access to all common amenity facilities provided within Building A through a series of internal streets and walkways. The frontage improvements of the overall development will extend the combined pedestrian/bike greenway along the No. 5 Road in front of Building D.
4. The indoor amenities for Building D will be provided in Building A and access to these facilities will be provided by a key fob system.

5. The proposed landscape treatment along Road 'A' in Phase 1 includes 1.5 m wide boulevard planting strips including street trees and grass in combination with 2.0 m wide sidewalks on both sides, which also provide improve pedestrian access to the 'Agricultural-Park'. The terraced retaining walls along the north side of Building D have been set back slightly from the sidewalk to create the appearance of a wider public boulevard and a more comfortable transition between the public and private realms.
6. The perimeter landscape around the west, north and east sides of Building D is generally terraced up to the ground level of the building and designed as a lush green pediment that completely screens the parking structure under the building. The hard landscape perimeter treatment on the south side of the building would consist of a minimum 2.0 m wide sidewalk with decorative paving along the retail frontages and a wider pedestrian plaza adjacent to the residential lobby. Decorative paving materials include concrete unit pavers, wood decking and stone slab paving. The walkway and plaza are flanked by raised planting areas for tree and shrub plantings that also provide seating areas.
7. The quality and character of the hard and soft landscape design, materials, detailing, furnishings and appointments established in Phase 1 would continue throughout Phase 2 adding continuity to the overall development at ground level within the public and semi-public realms. All soft landscape areas will include an automatic irrigation system. The freestanding walls and arbours proposed at the northwest and northeast corners of the site have been set back to allow adequate sight lines.

Accessible, Affordable & Rental Housing

1. Aging-in-place features incorporated into all 163 units include the following:
 - a) Weather protection at the main entrance with highly visible waiting area;
 - b) Level access into the main lobby from the street;
 - c) Main unit entry doors with a minimum 0.9m (3ft) clear opening;
 - d) No balcony smaller than 1.5m x 1.5m (5 ft x 5 ft);
 - e) One elevator sized to accommodate a stretcher in a prone position;
 - f) An electrical box rough in above the unit entrance to provide wiring for potential future installation of a power door opener;
 - g) Lever type handles on all doors, window openers and plumbing fixtures;
 - h) Solid blocking in main bathroom walls to facilitate the installation of future grab bars;
 - i) Electrical outlets at 0.45m (18") above the floor;
 - j) Switches and thermostats located 1.07m (3.5 ft) above the floor; and
 - k) Rocker type light switches.
2. Three (3) accessible or barrier free housing units (Unit Type H) are proposed in Building D, which are located on levels 3, 4 and 5. These units are designed to be fully accessible at the time of construction for a resident in a wheelchair and meet the basic universal housing unit requirements in the zoning bylaw, which qualifies these units for the allowable 1.86m² (20ft²) floor area exemption. In addition to the aging-in-place features these units incorporate the following supplemental features:
 - a) Wider (2'8" clear) door openings at the master bedroom and bathroom;
 - b) Additional clear door area at bathrooms, bedrooms and kitchen for wheelchairs;

- c) Accessible bathroom shower complete with telephone style shower head, grab bars and folding modular seat;
 - d) Wall mounted grab bars behind the toilet and wall mounted accessible bathroom sink; and
 - e) Accessible kitchen design including areas of lower counter height, easy grasp cabinet hardware and provision for under sink knee space.
3. Townline previously elected to defer 726.25 m² (7,817.29 ft²) or 100% of the Affordable Housing (AH) component attributable to Phase 1 (i.e., Buildings A and B) to subsequent development phases. Townline now proposes to provide all AH attributable to Phase 1 in the current phase (Phase 2). Accordingly, Townline proposes 19 AH units in Building D - Phase 2 consisting of a total floor area of 744.4 m² (8,013 ft²) as follows:

Unit Number ³	Unit Type	No. of Units	Unit Area	Minimum Unit Area	Maximum Monthly Unit Rent*	Total Maximum Household Income ²
202	Studio	1	406 ft ²	400 ft ²	\$850.00	\$34,000 or less
203	Studio	1	401 ft ²	400 ft ²	\$850.00	\$34,000 or less
302	Studio	1	410 ft ²	400 ft ²	\$850.00	\$34,000 or less
306	Studio	1	400 ft ²	400 ft ²	\$850.00	\$34,000 or less
308	Studio	1	406 ft ²	400 ft ²	\$850.00	\$34,000 or less
309	Studio	1	401 ft ²	400 ft ²	\$850.00	\$34,000 or less
313	Studio	1	409 ft ²	400 ft ²	\$850.00	\$34,000 or less
320	Studio	1	406 ft ²	400 ft ²	\$850.00	\$34,000 or less
333	Studio	1	409 ft ²	400 ft ²	\$850.00	\$34,000 or less
337	Studio	1	411 ft ²	400 ft ²	\$850.00	\$34,000 or less
402	Studio	1	410 ft ²	400 ft ²	\$850.00	\$34,000 or less
406	Studio	1	400 ft ²	400 ft ²	\$850.00	\$34,000 or less
409	Studio	1	401 ft ²	400 ft ²	\$850.00	\$34,000 or less
413	Studio	1	409 ft ²	400 ft ²	\$850.00	\$34,000 or less
420	Studio	1	406 ft ²	400 ft ²	\$850.00	\$34,000 or less
433	Studio	1	409 ft ²	400 ft ²	\$850.00	\$34,000 or less
437	Studio	1	411 ft ²	400 ft ²	\$850.00	\$34,000 or less
441	1 Bedroom	1	555 ft ²	535 ft ²	\$950.00	\$38,000 or less
442	1 Bedroom	1	553 ft ²	535 ft ²	\$950.00	\$38,000 or less
		19	8,013 ft ²	7,870 ft ²		

Notes:

¹ Denotes 2013 amounts adopted by Council on March 11, 2013.

² Household income may be increased annually by the Consumer Price Index.

³ Unit numbers are for reference to the Development Permit Drawings only.

4. A new affordable housing (AH) agreement and a replacement housing bylaw together with a housing covenant registered on title will be required to ensure the provision of the proposed 19 AH units in Phase 2. The previous housing bylaw will be rescinded as part of the new housing bylaw process.
5. A No Development Covenant (NDC) is required to be registered on the title of the remaining development parcels within the overall development to ensure the future provision of a minimum 5% of the total residential floor area within the subsequent development phases as AH units that is outlined in the Affordable Housing Strategy.
6. In order to address the provision of all studio and 1-bedroom affordable housing units in Phase 2, staff worked with Townline to ensure larger units are provided in the later phases.

The following table is a projected breakdown of affordable housing by phase for the overall development.

Phase	Unit Type	No. of Units	%	Average Unit Size	Total Amount (ft ²)
Phase 1 Buildings A & B	Townline deferred Phase 1 affordable housing to later phases	0	-	-	(7,817.29)
Phase 2 (Lot C) Building D (Note: Rental Buildings have no Affordable Housing requirements)	Studio	17	89%	406	4,055
	1 Bedroom	2	11%	554	1,661
	Sub-Total	19	100%	-	8,013
Phase 3 (Parcel D) Buildings E1 & E2	1 Bedroom	0	0%	-	-
	1 Bedroom + Storage/Den	0	0%	-	-
	Accessible 1 Bedroom	0	0%	-	-
	2 Bedroom	4	50%	867	3,468
	3 Bedroom	4	50%	1000	4,000
Sub-Total	8	100%	-	7,468	
Phase 4 (Parcel E) Building F	1 Bedroom	0	0%	-	-
	1 Bedroom + Storage/Den	0	0%	-	-
	Accessible 1 Bedroom	1	13%	650	650
	2 Bedroom	4	50%	880	3,520
	3 Bedroom	3	38%	1001	3,003
Sub-Total	8	100%	-	7,173	
The Gardens Affordable Housing Overall Summary	Studio	17	49%		
	1 Bedroom	2	6%		
	1 Bedroom + Storage/Den	0	0%		
	Accessible 1 Bedroom	1	3%		
	2 Bedroom	8	23%		
	3 Bedroom	7	20%		
Total	35	100%		Provided 22,654 Required 22,456	

7. Consistent with other rental housing projects that have been approved since Council adopted the Affordable Housing Strategy, no AH units are required.
8. A separate Rental Housing (RH) agreement registered on title for Phase 2 (Lot C) stipulating that all the proposed rental housing units provided in Building D will remain rental housing units in perpetuity.

Security & Sustainability

1. The following Crime Prevention Through Environmental Design (CPTED) features have been addressed in the proposed design:
 - a) The landscape design allows clear views of surrounding pedestrian areas on the podium level including both the retail/commercial plaza and the residential entry lobby with proposed tree and shrub plantings that do not block views.

- b) The proposed development will be well lit at access points, along streets, commercial frontages, in public open spaces and along all publicly accessible walkways.
 - c) The design incorporates vision glass along commercial frontages, significant overlook areas from the residential units above and glazed doors in stairwells and parkade lobbies.
 - d) The parking structure will be well lit and painted white to enhance visibility.
 - e) A clear delineation of public, semi-public and private spaces has been incorporated into the design to reinforce the sense of territoriality and perceived ownership of these areas.
 - f) The building interiors will be well lit and the design calls for non-glare, vandal resistant light fixtures that incorporate both motion-sensors and daylight-sensors.
2. The proposed sustainability and environmental design components of Building D include:
- a) meet or exceed LEED Silver equivalency standards;
 - b) storm water generated from the development site will be channelled into the future park;
 - c) cleaned and stored for re-use in the community gardens;
 - d) incorporate low emission materials, and operable windows;
 - e) use energy star appliances and windows, low flow fixtures and energy efficient lighting;
 - f) use motion sensor and timers where possible;
 - g) provide recessed balconies and shading of the building where possible;
 - h) grind and reuse existing asphalt, concrete and pavers;
 - i) include fly-ash in the locally produced concrete;
 - j) use various recycled materials in the construction process, where possible;
 - k) purchase locally for building materials where possible;
 - l) follow appropriate recycling practices in the construction process; and
 - m) drought-resistant, native plant material.

Public Art

The Public Art Plan was presented to and supported by the Richmond Public Art Advisory Committee on March 15, 2011. This plan calls for a total contribution of approximately \$364,000.00. The Phase 1 contribution was \$125,725.00 (60% of this amount for the Steveston/No. 5 Road pedestrian plaza and 40% for public art along Steveston Highway). The Phase 2 contribution will be approximately \$60,460.00 (i.e., 105,176 ft² - 4,410 ft² for affordable housing = 100,766 ft² net buildable floor area x 0.60/ft²) for benches predominantly made of glass designed by Joel Berman and wayfinding signage that reinforces the public art theme of the overall development.

Noise & CMHC Standards

A legal agreement will be required to ensure that the proposed residential units meet the CMHC noise standards and requirements prior to issuance of the Development Permit, which will identify any special construction measures that are required to be included in the building design. Submission of an Acoustical Report and a Mechanical Report that confirms the proposed residential units will meet CMHC and ASHRAE standards is also required prior to issuance of the Development Permit.

Refuse & Recycling

The owner/developer has confirmed that the design satisfies the following refuse and recycling requirements:

1. Residential Component:
 - 2 x 4 cu yd garbage container with wheels,
 - 1 x 4 cu yd corrugated cardboard recycling container with wheels,
 - 10 recycling carts and 5 food scraps carts.
2. Commercial Component
 - 1 x 4 cu yd garbage container with wheels emptied daily or 3 times a week,
 - 1 x 4 cu yd corrugated cardboard recycling container with wheels,
 - 2 paper products recycling carts plus 2 container recycling carts,
 - 2 food scraps recycling cart, and
 - 1 grease collection container from West Coast Reduction if one of the CRU's is a restaurant or grocery store serving food.
3. Townline confirms that ample enclosed storage space has been provided to allow for containers to be brought in and out during pick up so as to not negatively impact the commercial sidewalk or residential drive aisles.
4. Litter/recycling containers for the any public spaces will as required by Environmental Programs staff.

Conclusions

Building D in Phase 2 of the overall development by Townline will continue the high quality standard of mixed-use development from Phase 1 (Buildings A and B). There are many public benefits associated with this overall development including the provision of a 12.2-acre ALR 'Agricultural Park', a 37-space child care facility, the provision of affordable housing, road and other infrastructure up-grades as well as publicly accessible walkways and plaza areas within the development. Staff supports the proposed design of Building D in Phase 2 of 'The Gardens' by Townline.



Brian Guzzi, MCIP, MCSLA
Senior Planner - Urban Design

BG:cas

Att:

- Attachment 1: Development Application Data Sheet
Attachment 2: Advisory Design Panel Comments and Applicant Responses

The following are to be met prior to forwarding this Development Permit application to Council for approval:

1. Registration of the City's standard Housing Agreement to secure 19 affordable housing units. Occupants of the affordable housing units subject to the Housing Agreement shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces. The terms of the Housing Agreement shall indicate that they apply in perpetuity and provide for the following:

Unit Number ³	Unit Type	No. of Units	Unit Area	Minimum Unit Area	Maximum Monthly Unit Rent*	Total Maximum Household Income ²
202	Studio	1	406 ft ²	400 ft ²	\$850.00	\$34,000 or less
203	Studio	1	401 ft ²	400 ft ²	\$850.00	\$34,000 or less
302	Studio	1	410 ft ²	400 ft ²	\$850.00	\$34,000 or less
306	Studio	1	400 ft ²	400 ft ²	\$850.00	\$34,000 or less
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441	1 Bedroom	1	555 ft ²	535 ft ²	\$950.00	\$38,000 or less
442	1 Bedroom	1	553 ft ²	535 ft ²	\$950.00	\$38,000 or less
		19	8,013 ft ²	7,870 ft ²		

Notes:

¹ Denotes 2013 amounts adopted by Council on March 11, 2013.

² Household income may be increased annually by the Consumer Price Index.

³ Unit numbers are for reference to the Development Permit drawings only.

2. Registration of a housing agreement on title ensuring that all residential units with the exception of the 19 affordable housing units proposed in Building D on Lot C (10820 No. 5 Road) as rental units will remain as market rental units in perpetuity.
3. Discharge of the existing No Development Covenant (NDC) for affordable housing (Charge Number CA2088657) on Lot C as well as Parcels D and E in the Land Title Office subject to the simultaneous registration of a new NDC for affordable housing on Parcels D and E as indicated below.
 - a) No development of subsequent development phases (Parcels D and E) until the owner/developer makes appropriate provisions for a minimum of 5% of the residential total floor area (no exceptions) as projected in Table 1 below; at the sole cost of the developer, completed to a turnkey level of finish on Parcels D and E, and secured via the City's standard Housing Agreement registered on title on Parcels D and E.

The form of the Housing Agreement is to be agreed to by the developer and the City, and registered on title, prior to Development Permit approval on Parcels D and E. The terms of the Housing Agreement shall indicate that they apply in perpetuity and provide for, but are not limited to, the following:

- occupants of the affordable housing units shall, to the satisfaction of the City shall enjoy full and unlimited access to and use of all on-site indoor and outdoor amenity spaces;

- the required minimum floor area of the affordable housing units shall be a minimum of 5% of the residential gross floor area (no exceptions) as projected in Table 1 below;
- all affordable housing units shall be built to the City’s Basic Universal Housing guidelines;
- the number of affordable housing units, together with their types, sizes (averages in Table 1; minimums in Table 2), and unit mix shall be provided to the satisfaction of the City according to the following schedule:

Table 1

Phase	Unit Type	No. of Units	%	Average Unit Size	Total Amount (ft ²)
Phase 3 (Parcel D) Buildings E1 & E2	1 Bedroom	0	0%	-	-
	1 Bedroom + Storage/Den	0	0%	-	-
	Accessible 1 Bedroom	0	0%	-	-
	2 Bedroom	4	50%	867	3,468
	3 Bedroom	4	50%	1000	4,000
	Sub-Total	8	100%	-	7,468
Phase 4 (Parcel E) Building F	1 Bedroom	0	0%	-	-
	1 Bedroom + Storage/Den	0	0%	-	-
	Accessible 1 Bedroom	1	13%	650	650
	2 Bedroom	4	50%	880	3,520
	3 Bedroom	3	38%	1001	3,003
	Sub-Total	8	100%	-	7,173

- rental rates and occupant income restrictions shall be in accordance with the City’s Affordable Housing Strategy and guidelines for Low End Market Rental housing, according to the following schedule:

Table 2

Unit Type	Minimum Unit Sizes	Maximum Monthly Rent	Total Household Annual Income ^{1,2}
Bachelor	37 m2 (400 ft ²)	\$850	\$34,000 or less
One bedroom	50 m2 (535 ft ²)	\$950	\$38,000 or less
Two bedroom	80 m2 (860 ft ²)	\$1,162	\$46,500 or less
Three bedroom	91 m2 (980 ft ²)	\$1,437	\$57,500 or less

Notes:

¹ Denotes 2013 amounts adopted by Council on March 11, 2013 .

² Household income may be increased annually by the Consumer Price Index.

4. Discharge of the No Development Covenant (NDC) on Lot C (Charge Number CA2088662) regarding public art subject to confirmation that the owner/developer has submitted the required LOC for public art in the amount of \$65,304 (i.e., 99,370 ft² total residential floor area minus affordable housing 7,831 ft² = 91,539 ft² residential floor area plus 17,301 ft² commercial floor area x 0.60/ft² = \$65,304) that will be returned to the owner/developer after installation of the public art to the satisfaction of the Director of Development.
5. Discharge of the No Development Covenant (NDC) related to the provision of a child care facility on Parcel C (Charge Numbers CA2088652) as the requirement for the owner/developer to deliver of the child care facility has not been reaching in Phase 2 (Building D) on Parcel C.
6. A legal agreement stating that commercial and visitor parking provided on Lot 1 and Lot C cannot be assigned for exclusive use.
7. Confirmation that all the underground parking on Lot C is solely for the benefit of Lot C or registration of appropriate easement agreements for lots and/or parcels to be provided for access to these parking stalls.

8. Provision of acoustical and mechanical report(s) to confirm the CMHC and ASHRAE standards have been met.
9. Provision of a letter of credit by the owner/developer for supply and installation of landscape site improvements in the amount of \$142,521.00 (based on the landscape cost estimated prepared by a registered landscape architect).

Prior to Building Permit Issuance, the developer must complete the following requirements:

1. Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
2. Incorporation of accessibility measures in Building Permit (BP) plans as determined via the Rezoning and/or Development Permit processes.
3. Obtain a Building Permit (BP) for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * This requires a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
- All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
- The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.

Signed

Date



DP 12-599057

Attachment 1

Address: 10820 No. 5 Road

Applicant: Townline Gardens Inc. Owner: Townline Gardens Inc.

Planning Area(s): Shellmont Planning Area – Area C – The Gardens

Floor Area Gross: 10,839.1 m² (116,671 ft²) Floor Area Net: 10,467.1 m² (112,667 ft²)

Criteria	Existing	Proposed
Site Area (no dedications in Phase 2)	6,040 m ² (65,014 ft ²)	No Change
Land Uses	Vacant	Mixed Use - Commercial / Residential
OCP Designation - Generalized Land Use	Mixed Use	No Change
OCP Designation - Specific Land Use	Limited Mixed Use	No Change
Zoning	"Commercial Mixed Use (ZMU18) – The Gardens (Shellmont)"	No Change
Number of Units	Nil	163 units including 19 affordable units

Criteria	Bylaw Requirement	Proposed	Variance
Gross Floor Area	-	10,839.1 m ² (116,671 ft ²)	-
Net Floor Area (minus FAR exclusions)	-	10,467.1 m ² (112,667 ft ²)	-
Lot Size	no minimum	6,040 m ² (65,014 ft ²)	-
Floor Area Ratio	1.43 FAR (on overall site)	1.73 FAR (Phase 2)	-
Gross Floor Area (commercial / residential)	-	17,301ft ² com. + 99,370ft ² res.	-
Lot Coverage	50%	43%	-
Setback - No. 5 Road	6.0 m	6.0 m	-
Setback - Road 'A' (north side)	3.0 m	4.44 m	-
Setback - Road 'A' (east side)	3.0 m	4.15 m	-
Setback - Internal Lane (south side)	3.0 m	4.33 m	-
Height	20.0 m	18.69 m	-
Off-street Parking Spaces – Resident/Commercial	Residential spaces 163 Commercial spaces 56 Total Phase 2 spaces 219	163 Residential (134 in Phase 2 plus 29 spaces in Phase 1) 56 commercial (all provided for in Phase 1)	Variance Requested & Supported
Parking – Commercial (overall estimated)	305 stalls	266 stalls	-
Parking Stalls - small / accessible	maximum 50% small stalls	62 small / 5 accessible	-
Loading Stalls	3 loading stalls	3 loading stalls	-
Bicycle Parking (Class 1 & Class 2)	Commercial - 5 CI-1 + 7 CI-2 Residential - 204 CI-1 + 33 CI-2 Total - 249	Commercial - 7 CI-1 + 6 CI-2 Residential - 204 CI-1 + 33 CI-2 Total - 249	-
Amenity Space (Indoor)	70 m ² minimum indoor	provided in Phase 1	-

Excerpt from the Minutes from
The Design Panel Meeting

Thursday, October 23, 2013 – 4:00 p.m.
Rm. M.1.003
Richmond City Hall

3. **DP 12-599057 – 5-STOREY MIXED-USE BUILDING WITH 98 APARTMENTS & 1,329M² COMMERCIAL SPACE**

APPLICANT: Townline Gardens Ltd.

PROPERTY LOCATION: 10820 No. 5 Road

Applicant's Presentation

Tiffany Duzita, Townline Group of Companies, Architect Al Johnson, DA Architects + Planners, and Landscape Architect Daryl Tyacke, Eckford Tyacke + Associates, presented the project on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- concern on the north side of the development, in particular the proximity of the walkway to the rental units on the ground floor; consider increasing the planting in front of the units to provide more separation and privacy;
The walkway cannot be moved further away from the building face as it would negate any of the street side planting and present a higher wall at the sidewalk.
- the scale of the signage on the corners appears dominant;
On the model, the scale actually looked diminutive. The height of the monuments is necessary to appear in scale with the height of the landscaping behind. The intent is that they dominate the corners- these announce the project.
- consider planting in front of the stairs;
Done. Refer to pages DP L2 and DP L3
- location of the elevator at one end of the building creates a very long corridor;
The building is only required to have one set of elevators. They were located in proximity to the front entrance of the building. Stairways to the exterior and parking are located throughout the building.

- access to the ground floor units appears brutal; north façade appears relentless and needs further articulation;

Individual exterior unit entry doors are being painted a rich rust colour to better articulate the sense of entry. Deep second floor cantilevered concrete balconies with coloured glass located immediately above the entries further define these recessed porches.

The paired horizontal coloured blue glass balconies at gridlines 4 and 13 are now cantilevered out 2 feet from the building face. This will add depth and additional coloured glass to the elevation as it wraps around three sides of the balconies.

Refer to plans A2.04-06, Elevation A.4.02 and Perspectives A7.01 and A7.03

- appreciate the wood frame of the building; however, the building appears relentless; the top floor needs to be differentiated from the rest of the building to achieve a more humane scale;

This building is characterized by its 2 storey base both on the residential elevations as well as the commercial elevations. It intentionally does not include a top floor loggia treatment that is found first two buildings in the development. Changes of colour and materials, and use of deep thin cantilevered concrete eyebrows and coloured glass balconies define these lower two floors.

The upper three floors have strong horizontal banding and staggered accent coloured glass balconies designed to create a visually distinct contemporary building for this urban village that is different from yet compliments the first two buildings.

Refer to Elevations A.4.02 and perspectives A7.01 and A7.03

- look at the accessibility of the ground floor units;

All ground floor units on the east and north elevations are accessible via the elevator from the parkade, which connects to the lobby and exterior pathway. Only 3 units on the west elevations are not accessible via an elevator and exterior walkway.

- there is lack of continuity in the four elevations of the building;

Coloured accent glass balconies in a random pattern have been added throughout the elevations that surround the commercial courtyard and east facades to better integrate with the previously more colourful north and west facades.

Refer to Elevations A4.02, A4.03, A4.04 and perspectives A7.01, A7.02 and A7.03

- the south side is more successful than the north side as it brings down the scale of the building; consider bringing down the scale of the north side through changes in colour and texture in the lower floors;

See above.

- materials palette on the north and east sides are very simple; consider opportunities for using additional materials;

There are three colours of cementitious cladding being used including large format panels and horizontal patterned siding. In addition, painted concrete eyebrows, metal panels and two different colours of balcony glass are being proposed. Brick is also being added to feature landscape walls such as at the stairs.

Coloured balconies have been added to the east elevation while additional orange rust coloured metal has been added at the northwest corner.

Refer to Elevations A4.02, A4.03 and perspectives A.7.02 and A7.03

- agree with comments regarding the stair entry to the townhouse units on the north side; consider design development of the ground plane in front of the townhouse units;

See comments below regarding changes to the western staircase on the north elevation.

- elevations need more design development;

See above.

- elevators are located far from the majority of the residential units, particularly from the accessible units; consider a more appropriate location;

The stairs were located in proximity to the front entrance of the building and to be separate from the retail component on the main floor.

- appreciate the aging-in-place features in all of the residential units; consider providing pocket doors in washroom entries to create more usable floor space and facilitate the movement of residents with disabilities;

If required, residents can install pocket doors at a later date. Pocket doors often have maintenance and warranty issues and typical swings doors are referred with lever type handles that are an accessible feature.

- walkway on the north side needs more lighting in addition to the ambient lighting coming from the recessed patios;

Done. Refer to page DP L8

- consider adding dividers between the individual patios of residential units to provide separation and privacy;

Ground floor patios are recessed, similar to balconies above and have private divisions between the units. Screening in front from the exterior pathway would make the patios more enclosed and dark also they would block views to the north of the park and mountains.

- north side stairs should be twinned with ramp for emergency and wheelchair access;

Twinning of the north side staircases would decrease the amount the landscaping on the north elevation and increase the amount of concrete creating a colder feel to the public realm. In addition the space required for ramps in relation to the building and parking footprint, would encroach into the public realm along Road 'A'.

- there is potential that the future Road A will be used by motorists to avoid traffic at the intersection of No. 5 Road and Steveston Highway; consider installing traffic calming devices on Road A;

The traffic congestion at No. 5 Road and Steveston Hwy is the east bound traffic to go over the overpass or merge into the tunnel traffic. There is no way to cut through the development to avoid this traffic due to the permitted accesses and turning movements that have already been approved and under construction. The twinning of the westbound left turn lane and westbound right turn lane only lane on Steveston Hwy have significantly improved the current westbound traffic to little or no congestion at this intersection.

- note dangerous crossing for pedestrians travelling south at No. 5 Road and Steveston Highway intersection;

The offsite improvements, including pedestrian crossing have been reviewed and improved by the City as part of the rezoning. These improvements have been installed at No.5 Rd and Steveston Hwy.

- consider opportunities for further design development of the stairs on the north side of the proposed development to recess them farther from the sidewalk, e.g. make them lighter;

Done. Refer to pages DP L2 and DP L3

- glass accents help the north elevation;

See above.

- angle in the ground plane is a good device to provide animation; however, there is concern on how it ends;

The angle continues through the parking lot and all the way out to the the pedestrian access off No. 5 Rd, but this is part of the approved and under construction Phase 1. Same materials are being used for both phases.

- concern on the durability of camellas;
Varieties selected are of a single flower type that drop rather than hang onto the plant when flowering has stopped
- appreciate the simplicity of the north elevation; good articulation of the flat wall;
- cross sections are good; high quality of architecture; and
- northwest corner needs further articulation to break up its flatness and turn the corner in a less severe manner similar to the southeast corner treatment.

Additional rust orange coloured metal panels have been added at level three in combination with the blue horizontal siding and the deep cantilevered slab to accentuate the northwest corner.

Refer to Elevations A4.02 and perspectives A7.01 and A7.03

Panel Decision

It was moved and seconded

That DP 13-641796 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED

Opposed: Jim Hancock



No. DP 13-641796

To the Holder: TOWNLINE GARDENS INC.
Property Address: 10820 NO. 5 ROAD
Address: 120 - 13575 COMMERCE PARKWAY,
RICHMOND, BC V6V 2L1

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the parking rate for rental housing units from 1.7 spaces per residential unit (1.5 spaces for residents plus 0.2 spaces for visitors) to 1.2 spaces per residential unit (1.0 spaces for residents plus 0.2 spaces for visitors).
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #38 attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$142,521.00 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit

No. DP 13-641796

To the Holder: TOWNLIN GARDENS INC.
Property Address: 10820 NO. 5 ROAD
Address: 120 - 13575 COMMERCE PARKWAY,
RICHMOND, BC V6V 2L1

8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit, which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO.
DAY OF , .

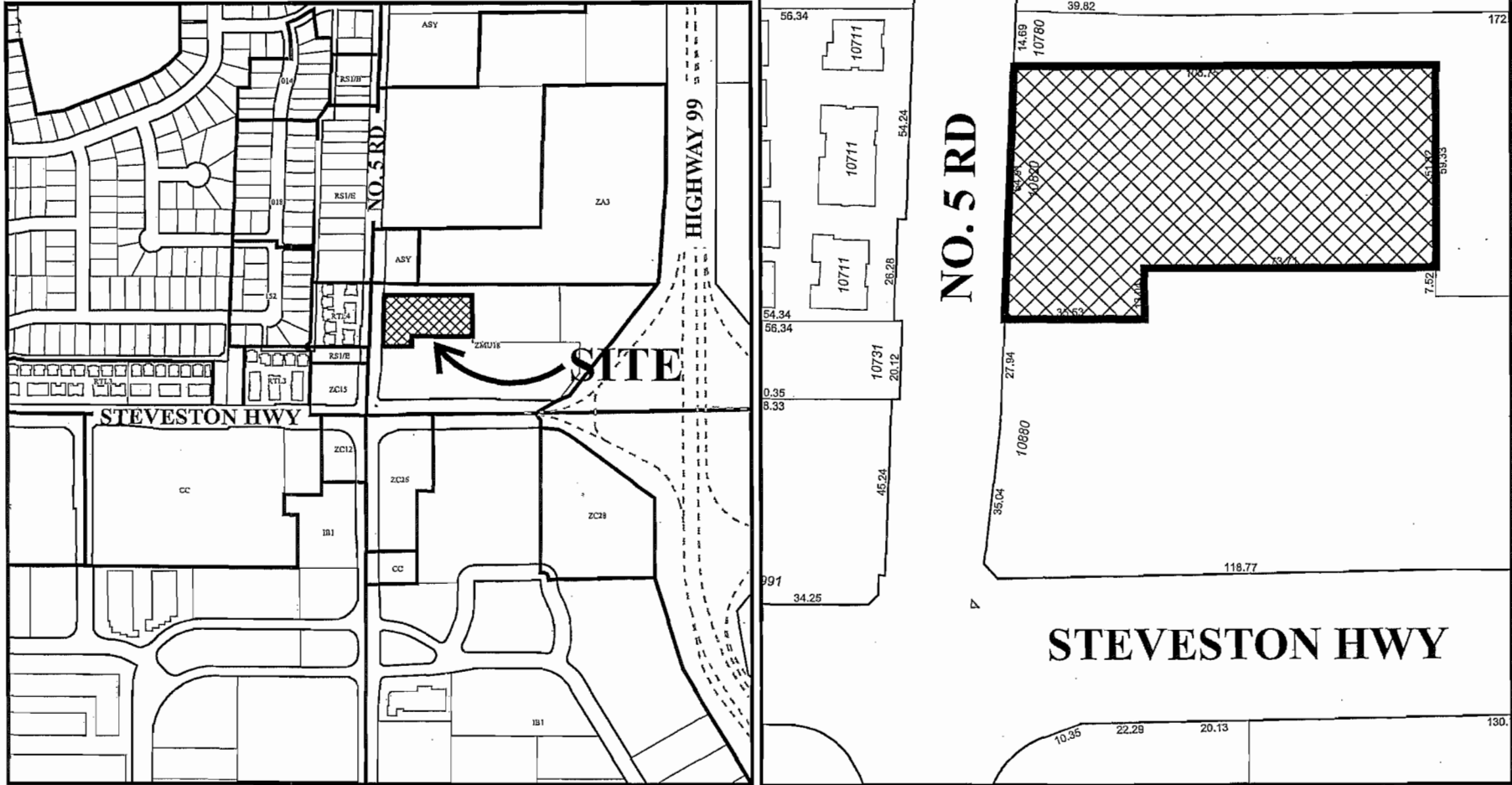
ISSUED BY THE COUNCIL THE

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond

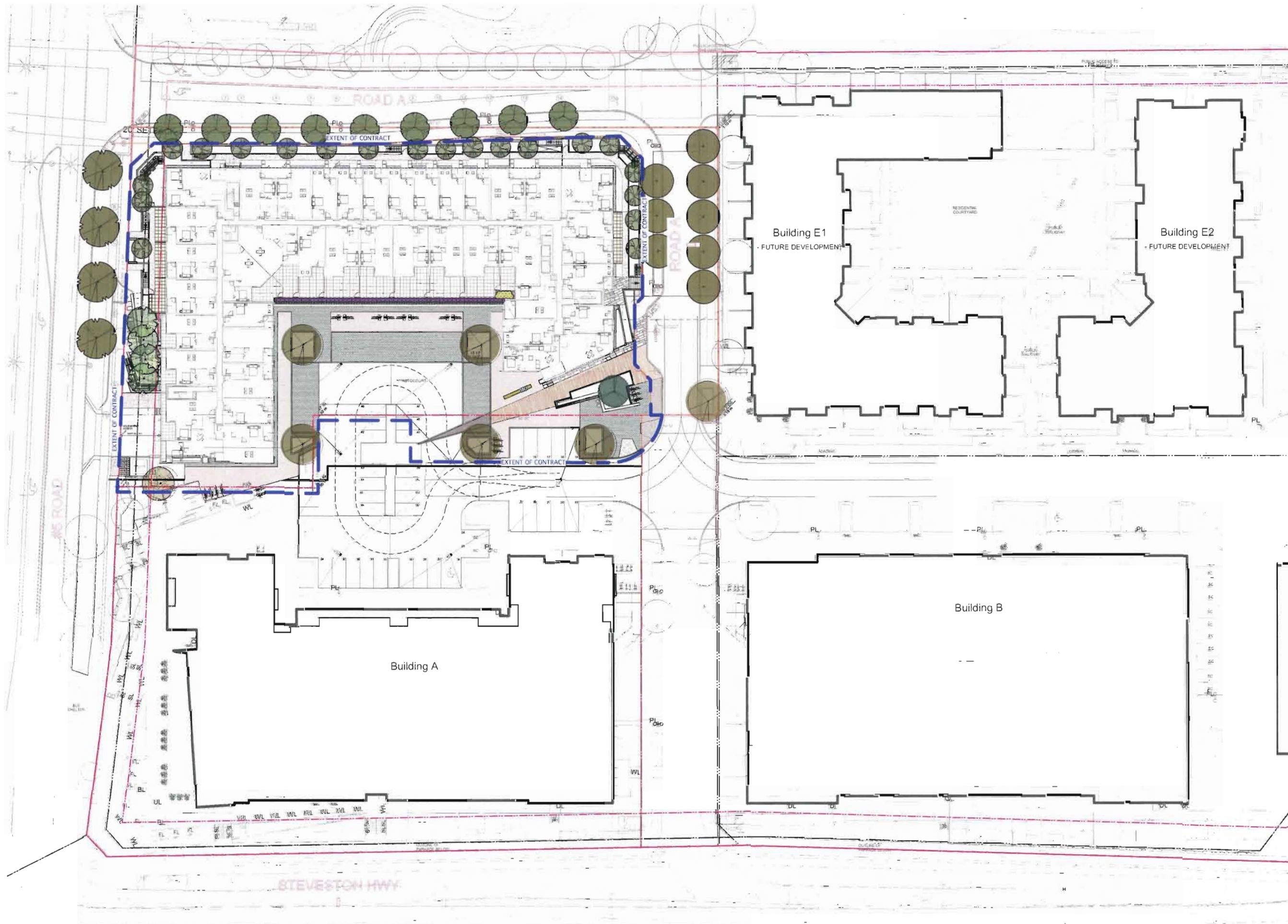


DP 13-641796 SCHEDULE "A"

Original Date: 08/15/13

Revision Date:

Note: Dimensions are in METRES



Revision No. Date Revision Notes

Issue No.	Date	Issue Name
A	1/5/12	Issued for DP Decision
B	1/16/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/6/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Reissued for Client Review Permit
L	11/6/13	Issued for ADP Revisions

Professional Seal

Sheet No. 1
December 16, 2013
DP 13-641796

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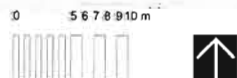
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#5 Rd Richmond, BC

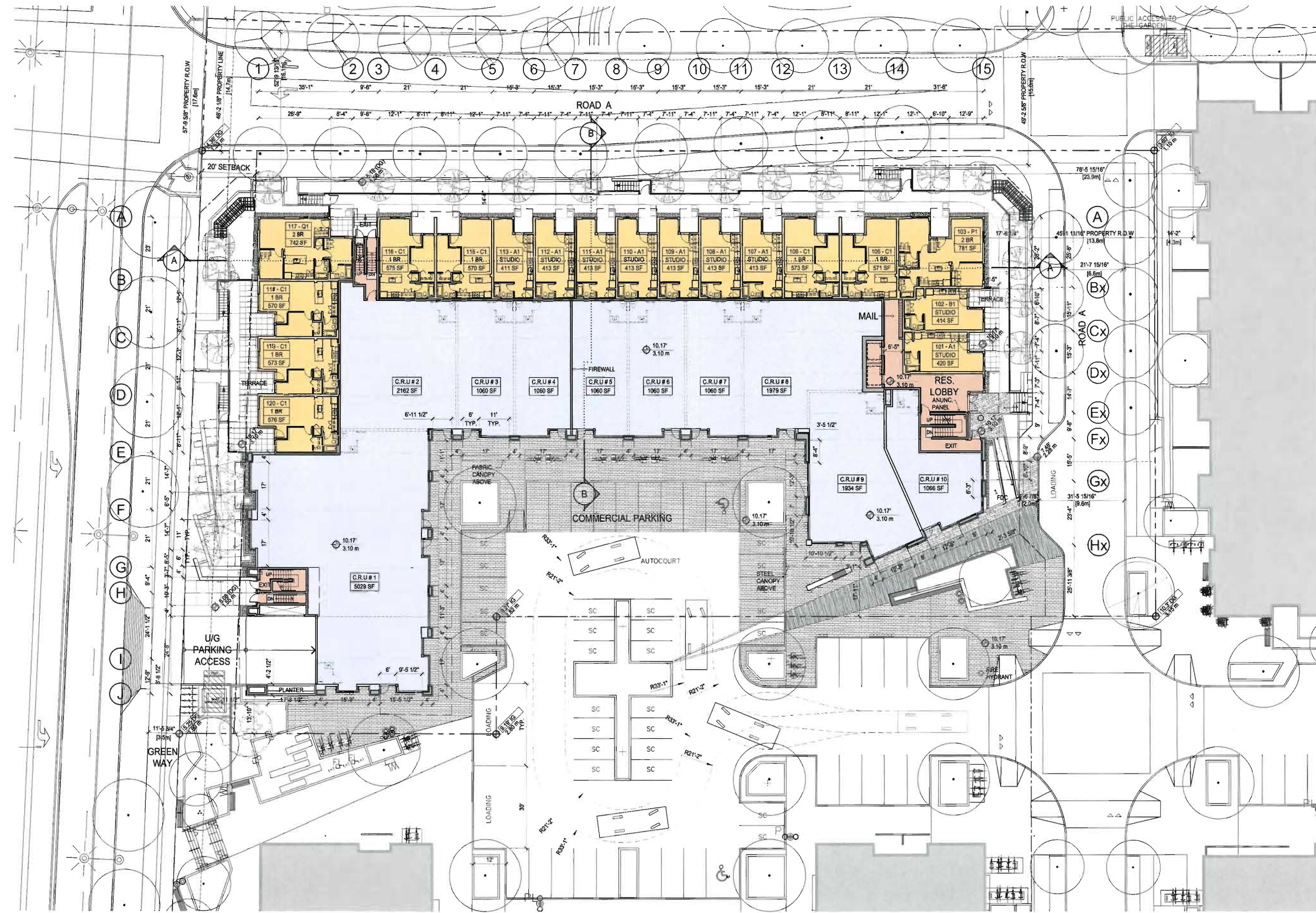
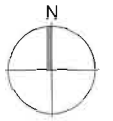
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Site Plan

Legal

Project Manager	2-11-12
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Scale	1:300
Reviewed By	DP L1
Date	Dec 14, 11
Page	12



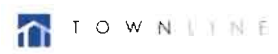
KEY PLAN



No.	Description	Date	Dr.
5	ADP Revisions	NOV 06 2013	
4	Advisory Design Panel	OCT 23 2013	
3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 2
December 16, 2013
DP 13-641796



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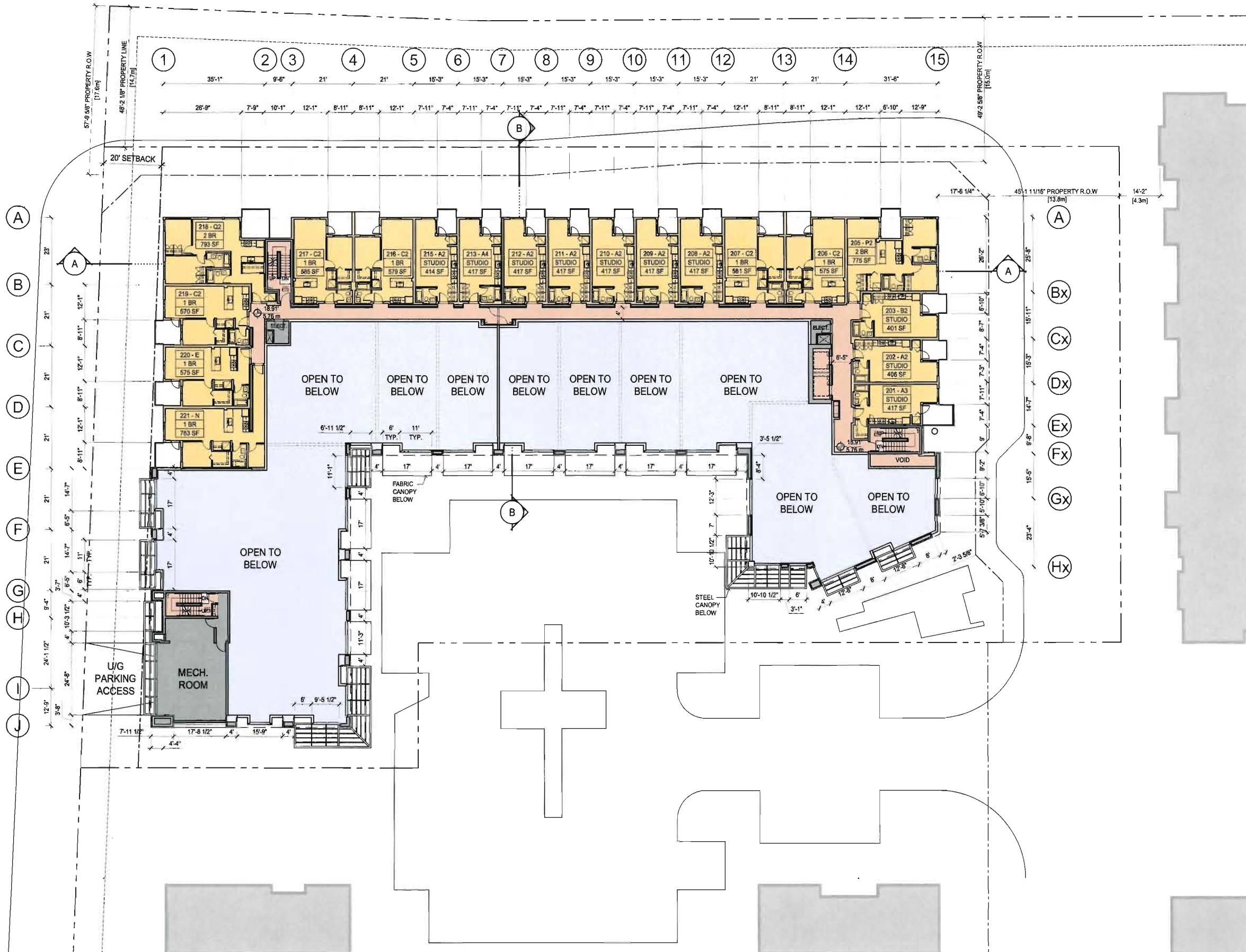
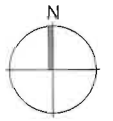
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Sheet Title
**FLOOR PLAN
LEVEL 1**

Job No.	1115-100	Sheet No.	
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Checked	AJ		A2.02
Approved	RK		
Date	2013.07.02	Revision	

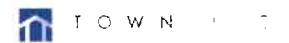
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3	Re-issued for Development Permit	OCT 08 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

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Sheet No. 3
December 16, 2013
DP 13-641796



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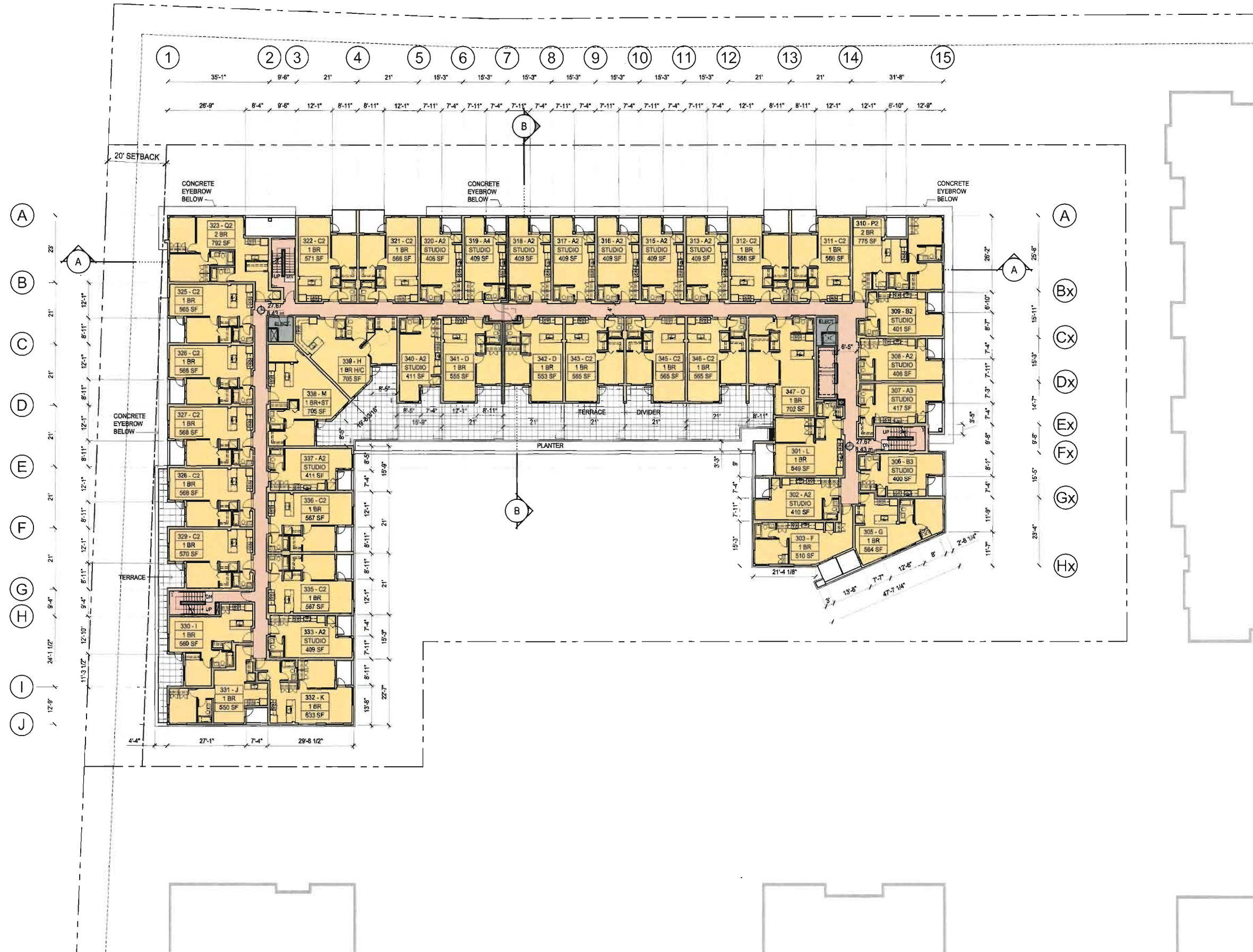
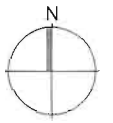
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Sheet Title
FLOOR PLAN
LEVEL 2

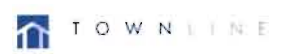
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Approved	RK		
Date	2013.07.02	Revision	5

KEY PLAN



No.	Description	Date	Dr.
5	ADP Revisions	NOV 06 2013	
4	Advisory Design Panel	OCT 23 2013	
3	Re-issued for Development Permit	OCT 06 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	
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Sheet No. 4
December 16, 2013
DP 13-641796



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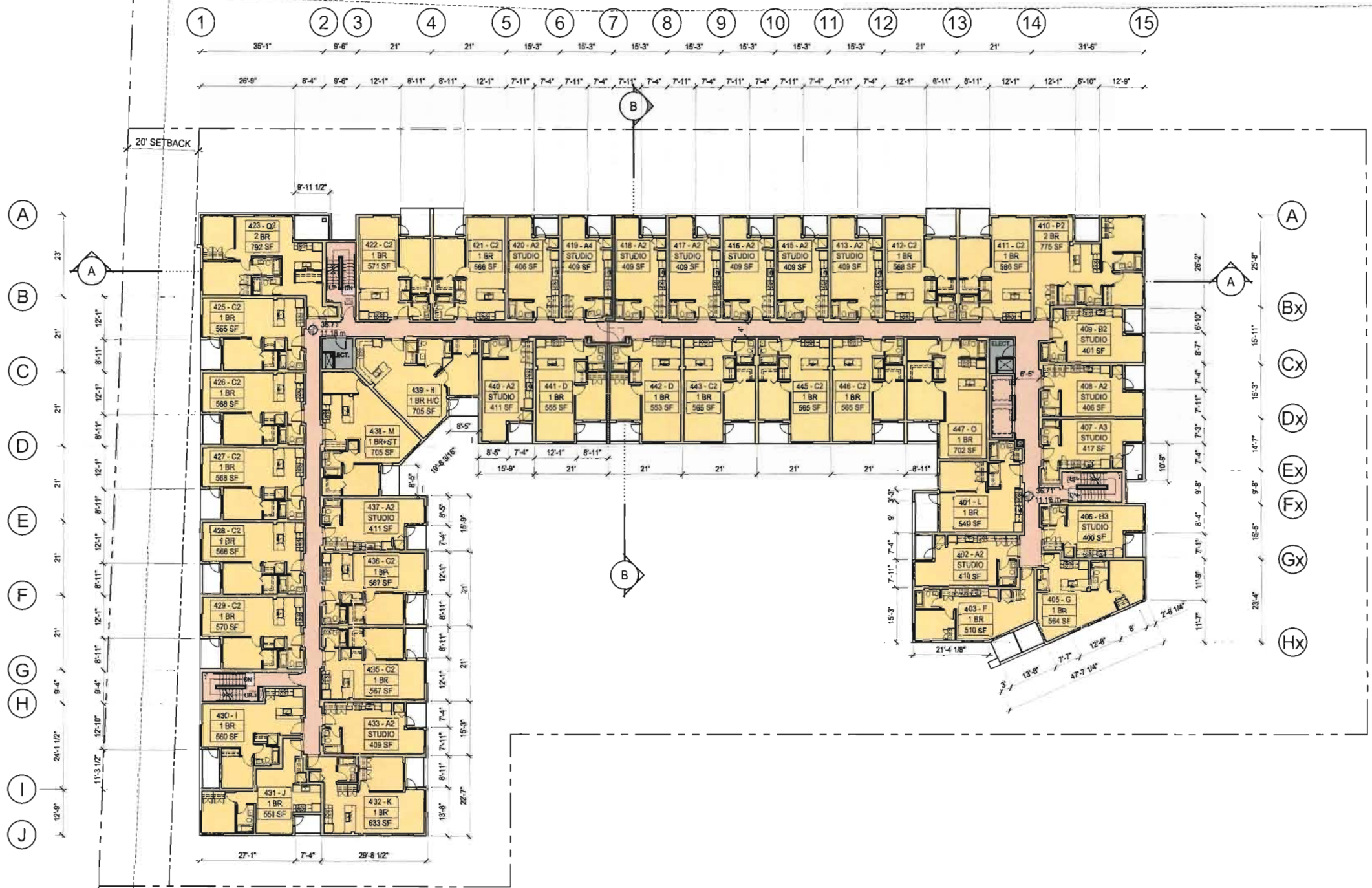
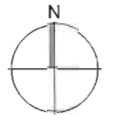
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Sheet Title
FLOOR PLAN
LEVEL 3

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Checked	AJ		
Approved	RK		
Date	2013.07.02	Revision	5

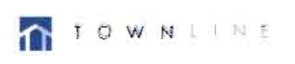
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2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	AUG 19 2013	
No.	Description	Date	By

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Sheet No. 5
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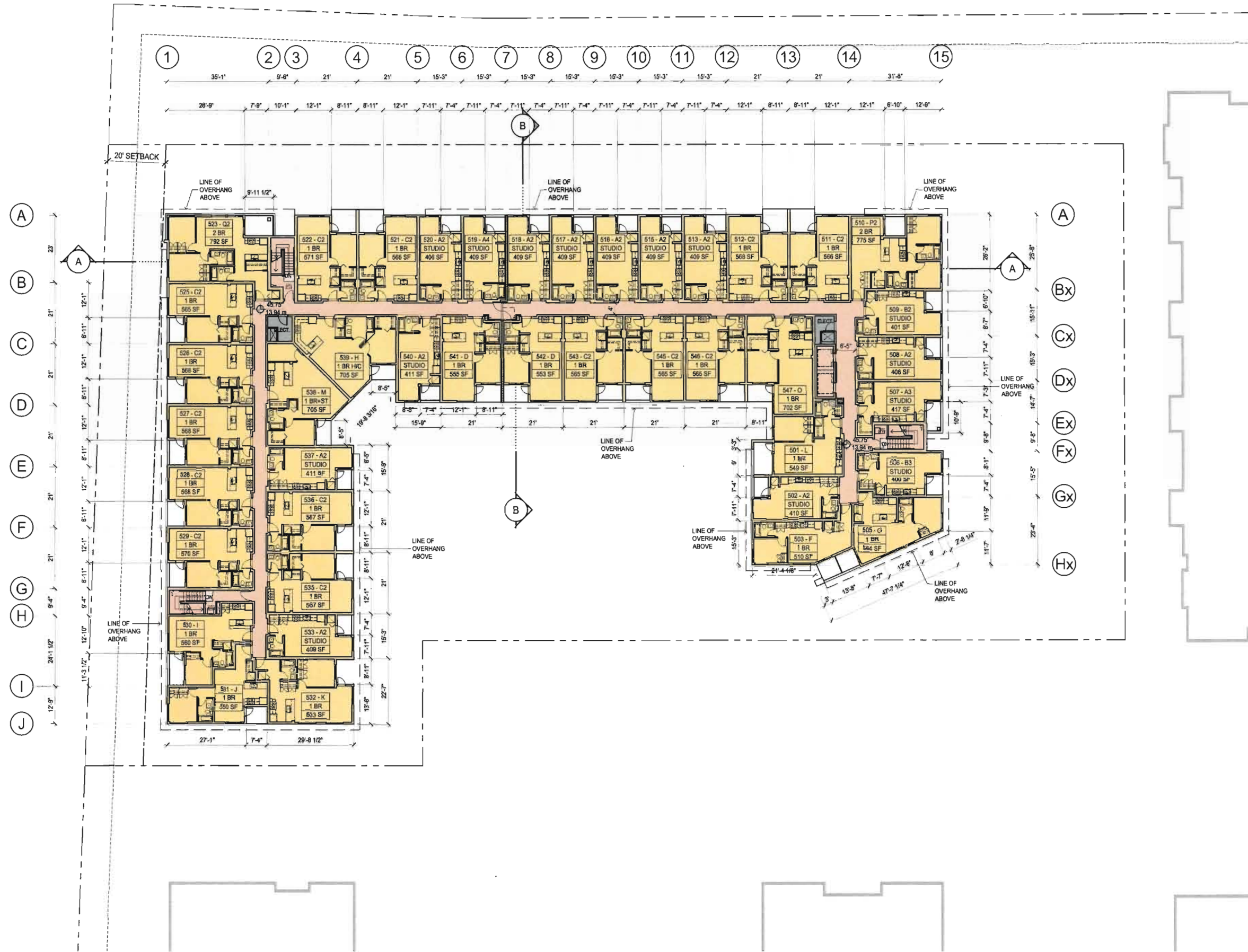
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Sheet Title
**FLOOR PLAN
LEVEL 4**

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Checked	AJ		
Approved	RK		
Date	2013.07.02		Revision

KEY PLAN



No.	Description	Date	Dr.
4	ADP Revisions	NOV 06 2013	
3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
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Sheet No. 6
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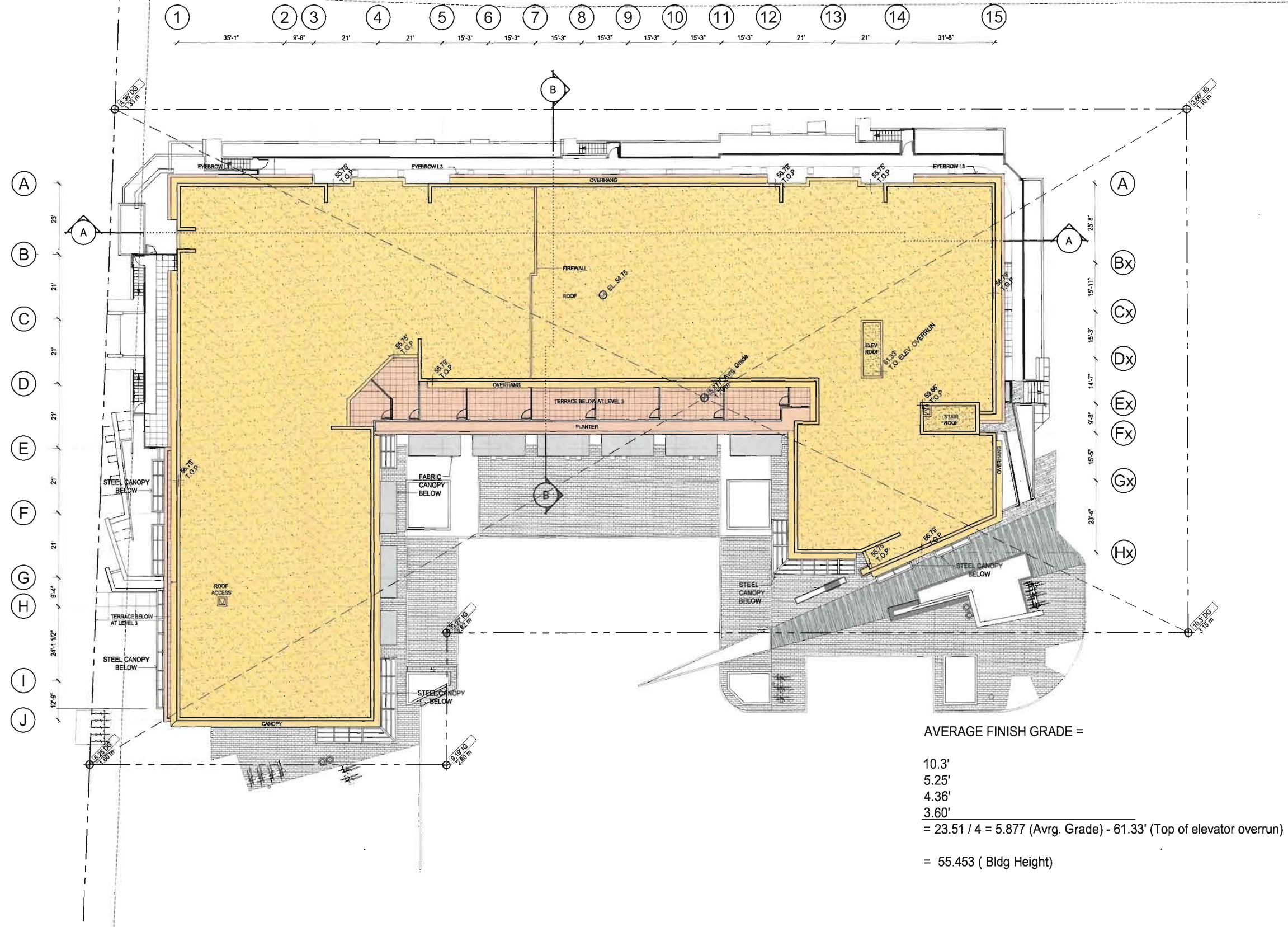
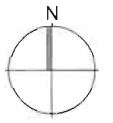
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Sheet Title
FLOOR PLAN
LEVEL 5

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Checked	AJ		
Approved	RK		
Date	2013.07.02	Revision	5

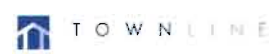
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2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

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Sheet No. 7
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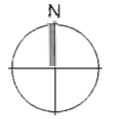
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Sheet Title
ROOF PLAN

Job No.	1115-100	Sheet No.	
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Checked	AJ		A2.07
Approved	RK		
Date	2013.07.16	Revision	

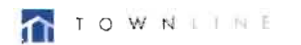
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1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 8
December 16, 2013
DP 13-641796



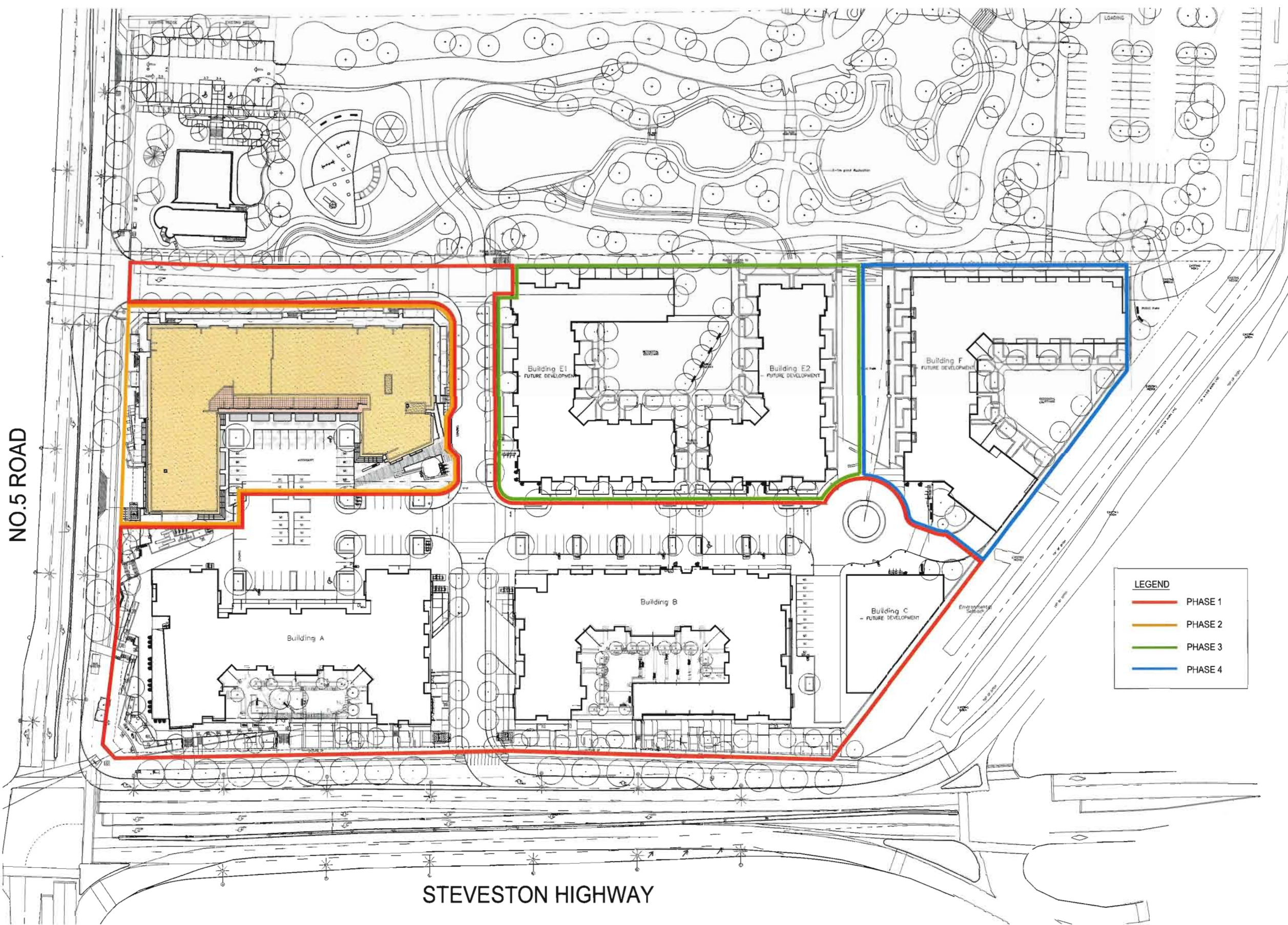
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Sheet Title
SITE PLAN / PHASING PLAN

Job No.	1115-100	Sheet No.
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Drawn	MC	A1.01
Checked	AJ	
Approved	FK	
Date	2013.07.02	
		Revision



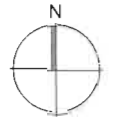
LEGEND

- PHASE 1
- PHASE 2
- PHASE 3
- PHASE 4

NO.5 ROAD

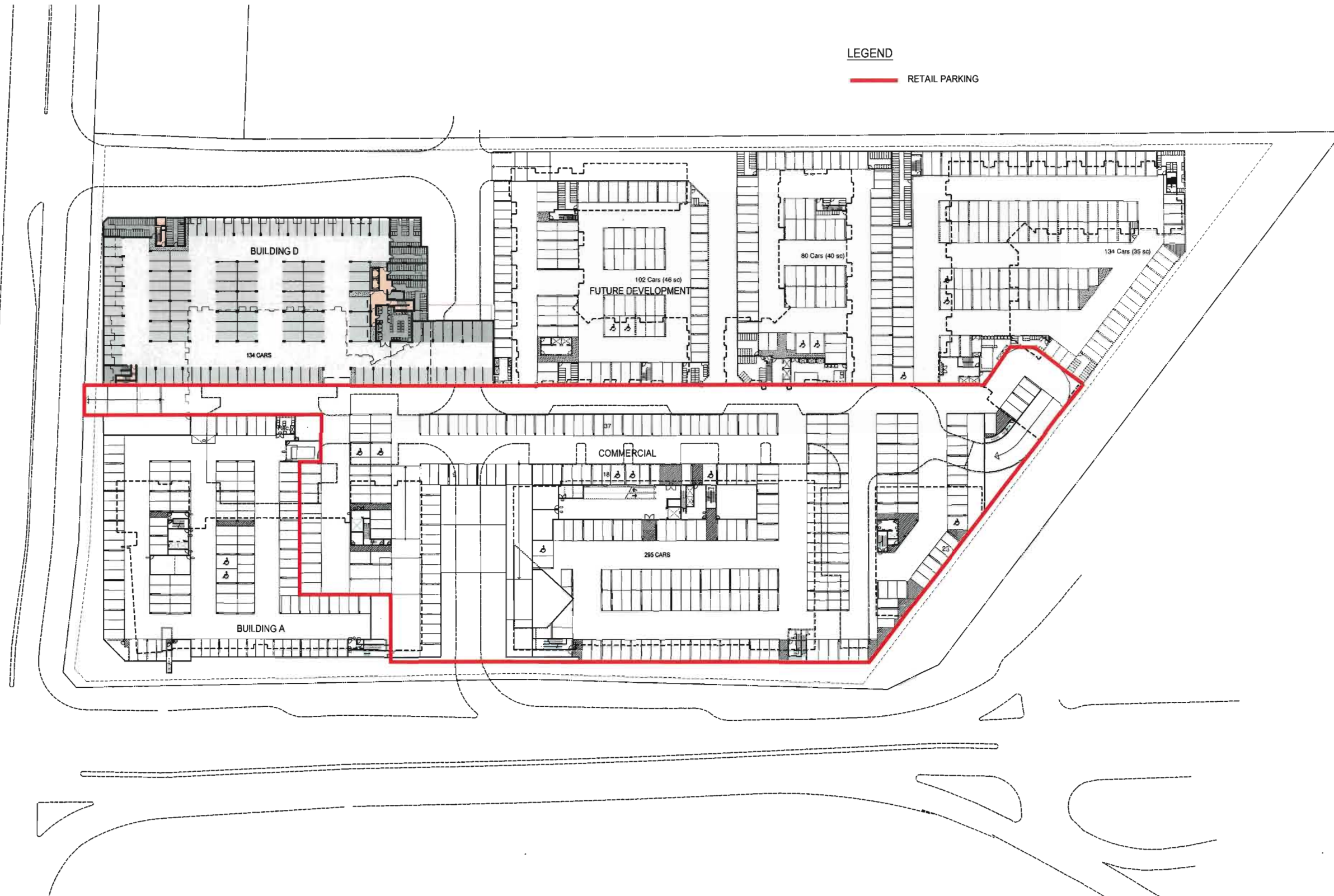
STEVESTON HIGHWAY

KEY PLAN



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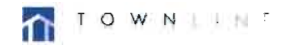
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No.	Description	Date	Dr.
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3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 9
December 16, 2013
DP 13-641796



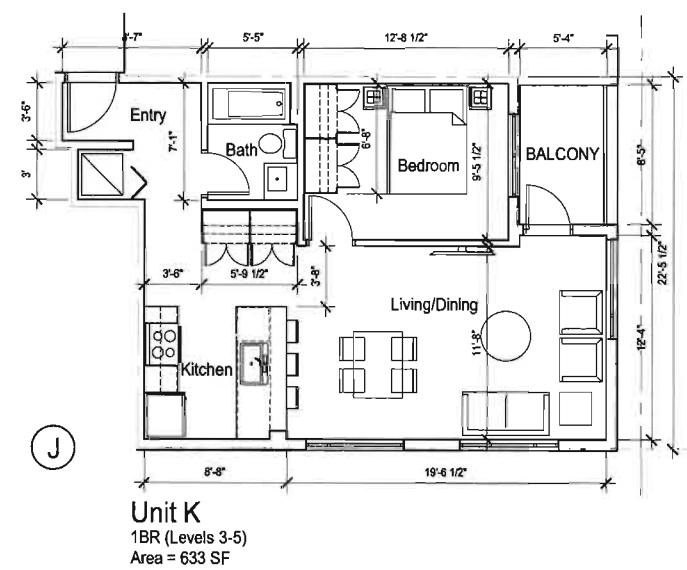
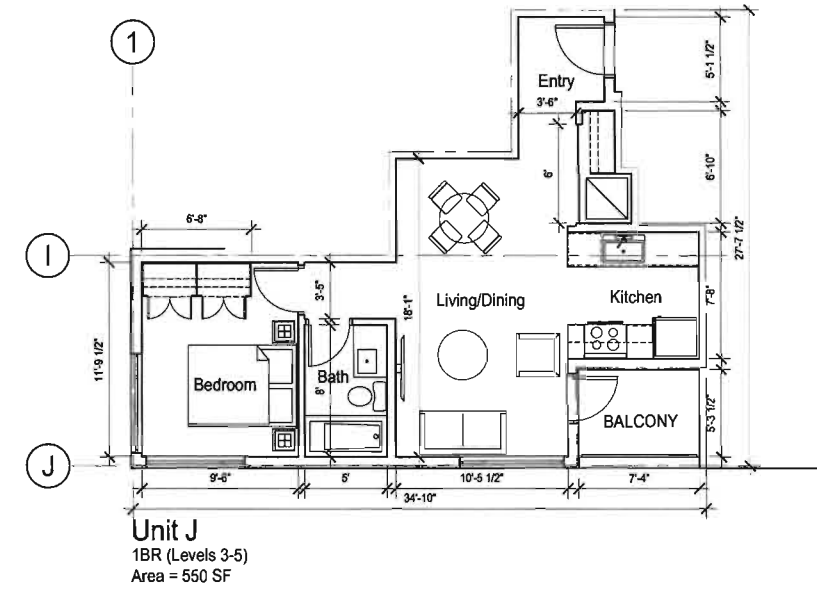
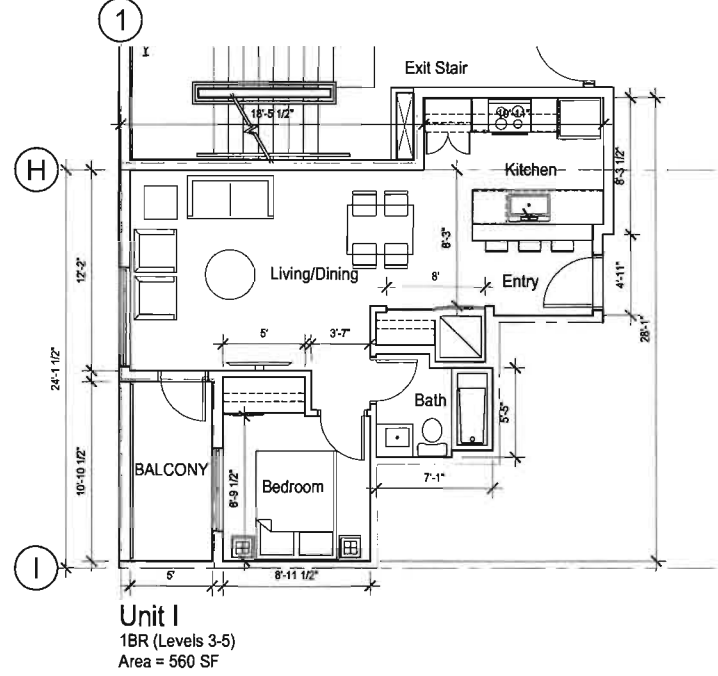
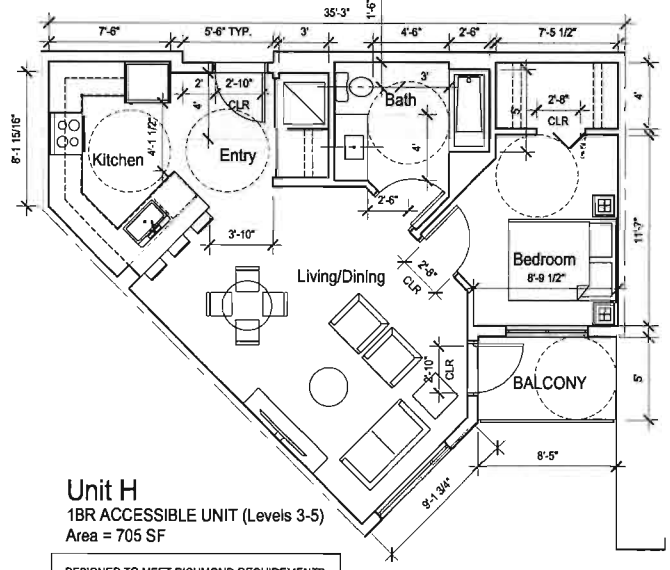
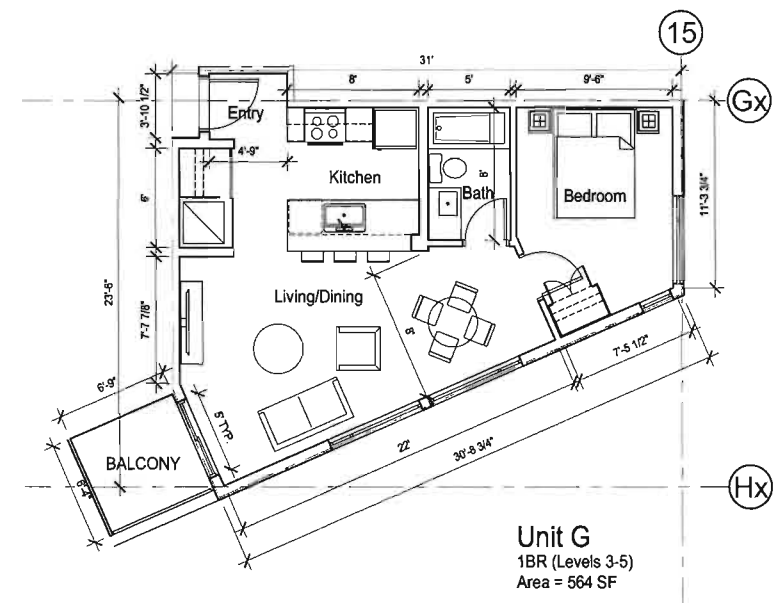
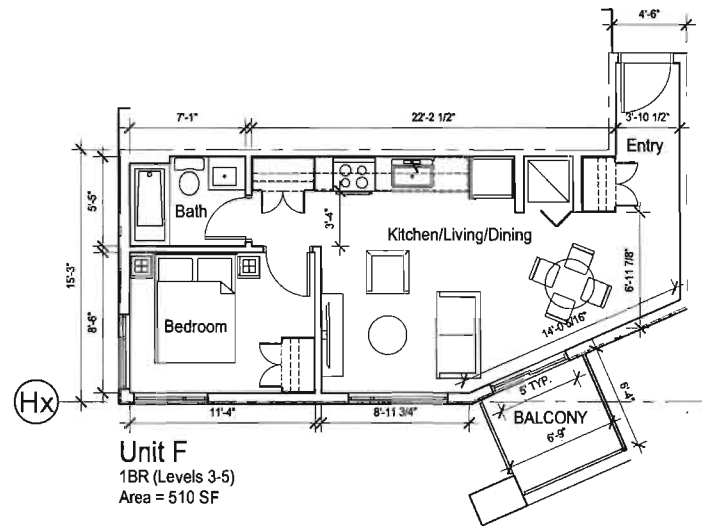
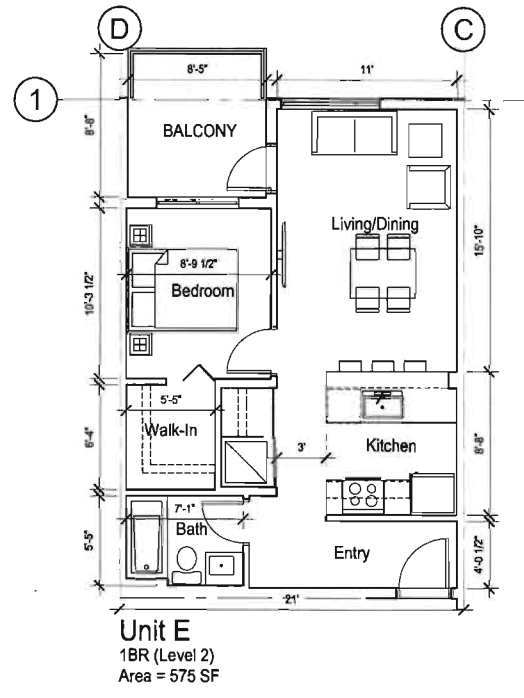
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Sheet Title
PHASE 1 PARKING PLAN

Job No.	1115-100	Sheet No.
Scale	-	A1.02
Drawn	KT	
Checked	AJ	
Approved	RK	
Date	2013.07.02	
Revision	-	



GENERAL NOTES:

AGING IN PLACE ITEMS

1. WEATHER PROTECTION AT THE MAIN ENTRANCE WITH HIGHLY VISIBLE WAITING AREA
2. MAIN LOBBY FULLY ACCESSIBLE FROM THE STREET
3. MAIN ENTRY DOORS WITH 3FT (915MM) CLEAR OPENING
4. NO BALCONY SMALLER THAN 5FT X 5FT (1500MM X 1500MM)
5. ONE ELEVATOR TO ACCOMMODATE A STRETCHER IN A PRONE POSITION
6. AN ELECTRICAL BOX ROUGH - IN ABOVE THE UNIT ENTRANCE TO PROVIDE WIRING FOR POTENTIAL FUTURE INSTALLATION OF A POWER DOOR OPENER
7. LEVER HANDLES ON ALL DOORS
8. WINDOW HARDWARE THAT IS OF THE LEVER TYPE
9. SOLID BLOCKING IN WASHROOM WALLS TO FACILITATE THE INSTALLATION OF FUTURE GRAB BARS
10. LEVER TYPE HANDLES FOR PLUMBING FIXTURES
11. ELECTRICAL OUTLETS AT 18" ABOVE THE FLOOR
12. SWITCHES AND THERMOSTATS LOCATED 3'-6" ABOVE THE FLOOR
13. LIGHT SWITCHES TO BE ROCKER TYPE

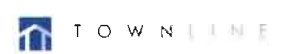
IN ADDITION TO THE AGING IN PLACE ITEMS SPECIFIED AS PART OF THE GENERAL NOTES, UNIT H (ACCESSIBLE UNIT) OFFERS THE FOLLOWING FEATURES;

- WIDER (2'-8" CLEAR) DOORS AT THE MASTER BEDROOM AND BATHROOM.
- ADDITIONAL CLEAR FLOOR AREA IN THE BATHROOM, BEDROOM, AND KITCHEN TO ACCOMMODATE WHEELCHAIR BOUND PERSONS.
- ACCESSIBLE BATHROOM SHOWER COMPLETE WITH TELEPHONE STYLE SHOWER HEAD, GRAB BARS, AND FOLDING MODULAR SEAT.
- WALL MOUNTED GRAB BARS BEHIND TOILET AND WALL MOUNTED ACCESSIBLE BATHROOM SINK.
- ACCESSIBLE KITCHEN DESIGN, INCLUDING AREAS OF LOWER COUNTER HEIGHT, EASY GRASP CABINET HARDWARE, AND PROVISION FOR UNDER SINK KNEE SPACE.

No.	Description	Date	Dk.
3	Re-issued for Development Permit	OCT 08 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 13
December 16, 2013
DP 13-641796



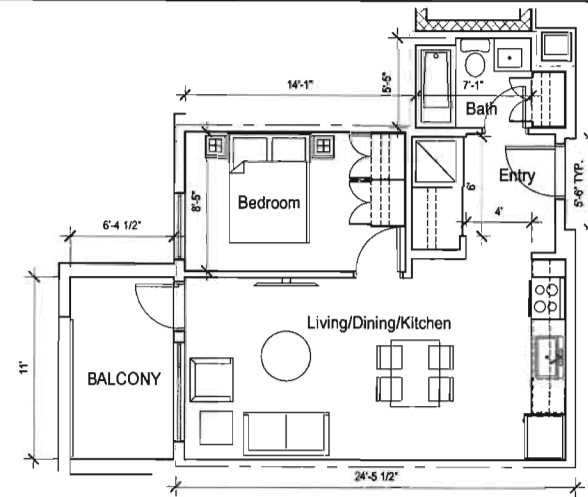
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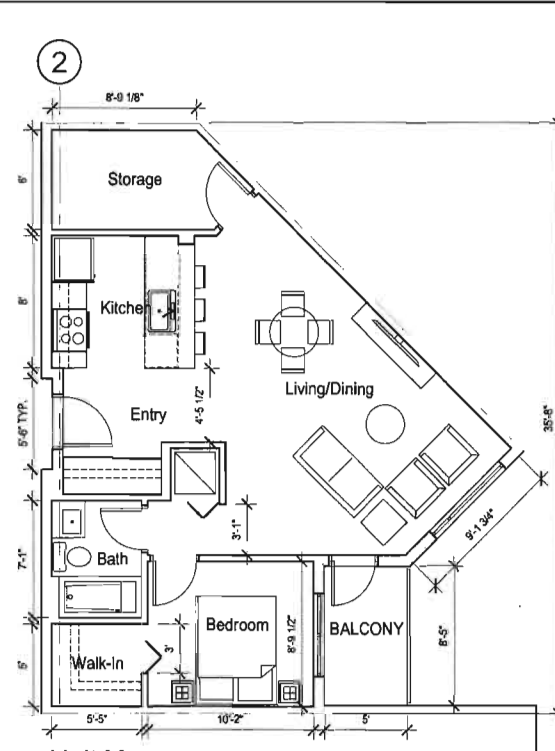
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Sheet Title: UNIT PLANS

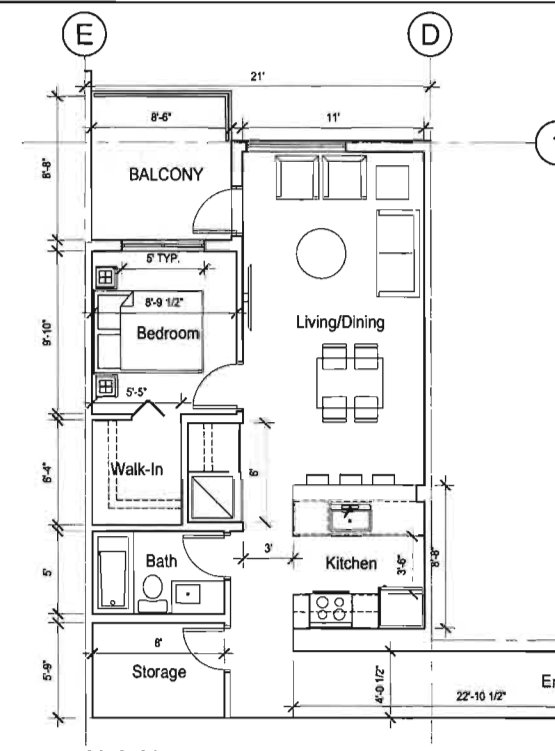
Job No. 1115-100	Sheet No.
Scale 3/16" = 1'-0"	A2.11
Drawn MC	
Checked AJ	
Approved RK	
Date 2013.07.12	Revision



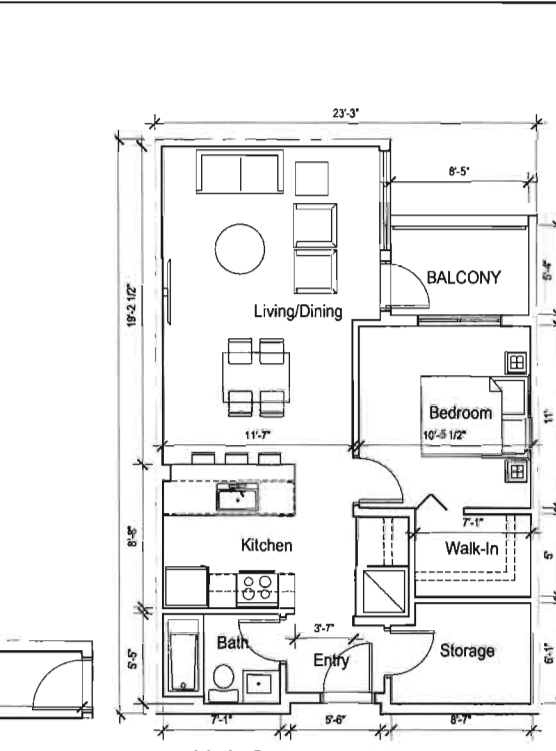
Unit L
1BR (Levels 3-5)
Area = 549 SF



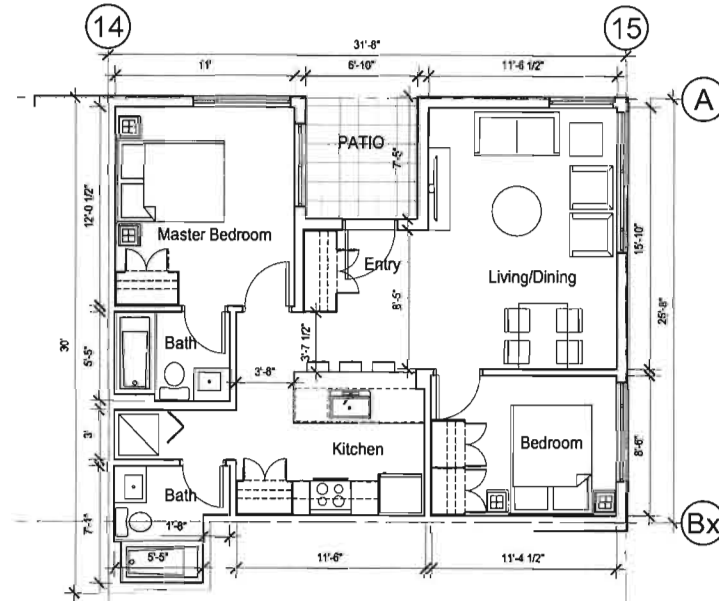
Unit M
1BR + STORAGE (Levels 3-5)
Area = 705 SF



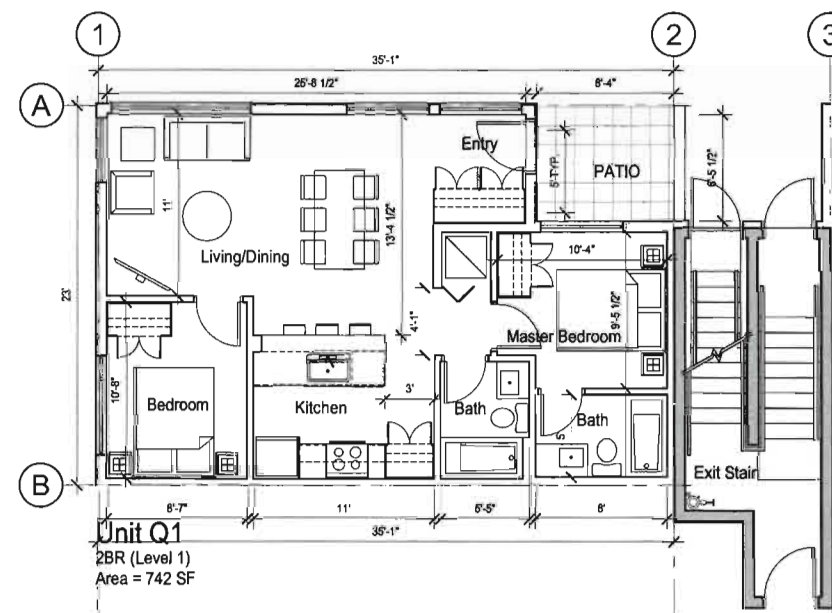
Unit N
1BR + STORAGE (Level 2)
Area = 763 SF



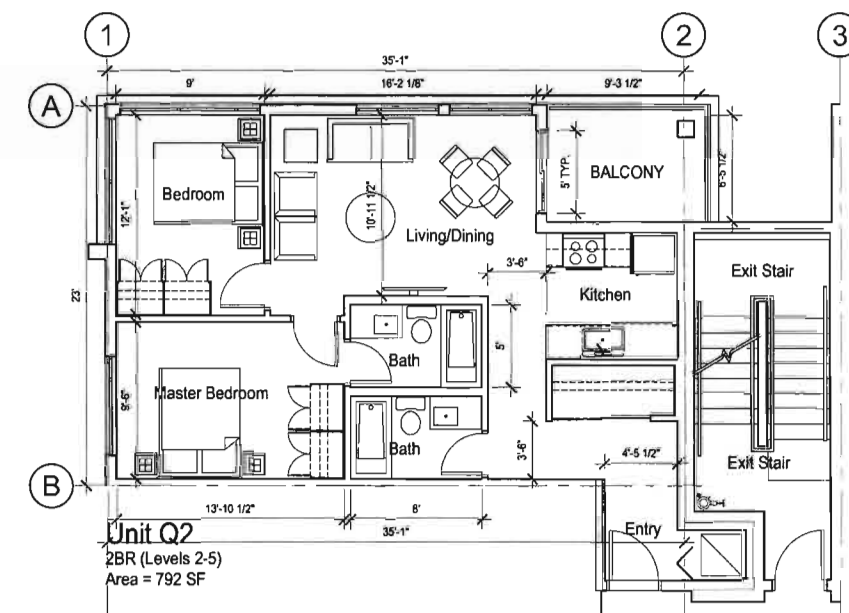
Unit O
1BR + STORAGE (Levels 3-5)
Area = 702 SF



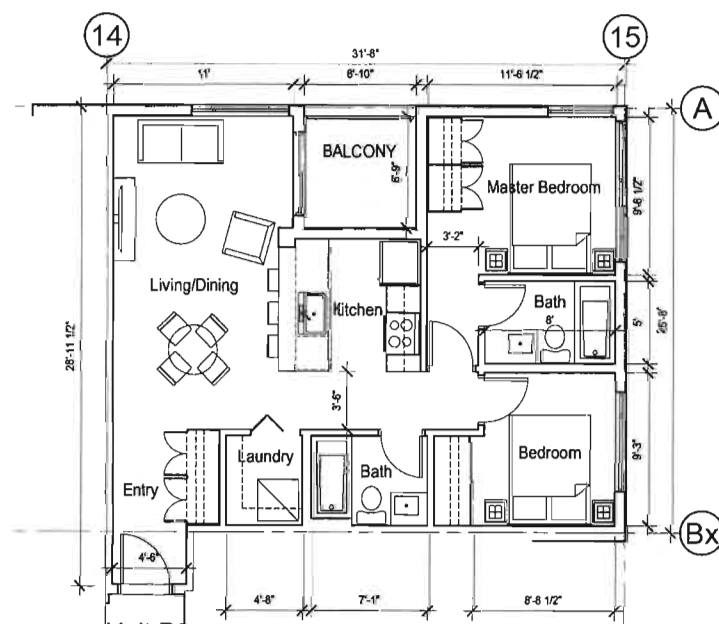
Unit P1
2BR (Level 1)
Area = 781 SF



Unit Q1
2BR (Level 1)
Area = 742 SF



Unit Q2
2BR (Levels 2-5)
Area = 792 SF



Unit P2
2BR (Levels 2-5)
Area = 775 SF

No.	Description	Date	Dr.
3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 14
December 16, 2013
DP 13-641796



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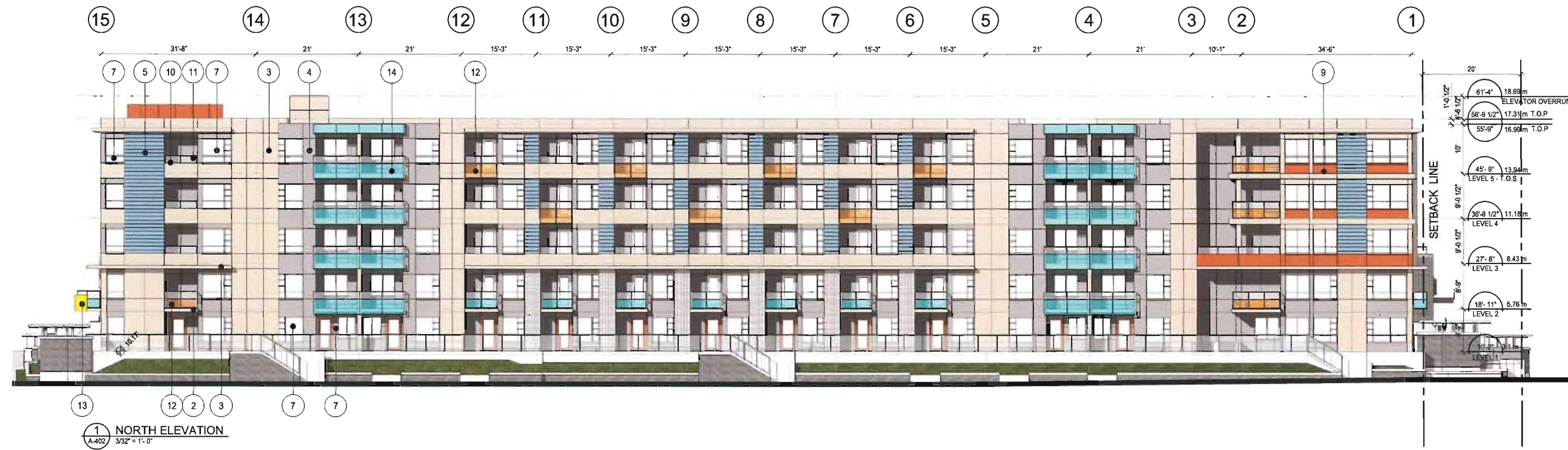
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Sheet Title
UNIT PLANS

Job No. 1115-100	Sheet No.
Scale 3/16" = 1'-0"	
Drawn MC	A2.12
Checked AJ	
Approved RK	
Date 2013.07.12	Revision

- GENERAL NOTES:**
- AGING IN PLACE ITEMS**
1. WEATHER PROTECTION AT THE MAIN ENTRANCE WITH HIGHLY VISIBLE WAITING AREA
 2. MAIN LOBBY FULLY ACCESSIBLE FROM THE STREET
 3. MAIN ENTRY DOORS WITH 3FT (915MM) CLEAR OPENING
 4. NO BALCONY SMALLER THAN 5FT X 5FT (1500MM X 1500MM)
 5. ONE ELEVATOR TO ACCOMMODATE A STRETCHER IN A PRONE POSITION
 6. AN ELECTRICAL BOX ROUGH - IN ABOVE THE UNIT ENTRANCE TO PROVIDE WIRING FOR POTENTIAL FUTURE INSTALLATION OF A POWER DOOR OPENER
 7. LEVER HANDLES ON ALL DOORS
 8. WINDOW HARDWARE THAT IS OF THE LEVER TYPE
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 - WALL MOUNTED GRAB BARS BEHIND TOILET AND WALL MOUNTED ACCESSIBLE BATHROOM SINK.
 - ACCESSIBLE KITCHEN DESIGN, INCLUDING AREAS OF LOWER COUNTER HEIGHT, EASY GRASP CABINET HARDWARE, AND PROVISION FOR UNDER SINK KNEE SPACE.

KEY PLAN



1 NORTH ELEVATION
A-402 3/32" = 1'-0"

No.	Description	Date	Dr.
6	DP Revisions	DEC 12 2013	
5	ADP Revisions	NOV 06 2013	
4	Advisory Design Panel	OCT 23 2013	
3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

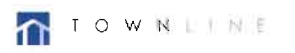


2 WEST ELEVATION
A-402 3/32" = 1'-0"

MATERIALS LEGEND

- Architectural Concrete (exposed): Colour: Natural
- Architectural Concrete (painted): Colour: Tan
- Fibre Cement Panel A: Colour: Light Tan
- Fibre Cement Panel B: Colour: Taupe
- Fibre Cement Lap Siding: Colour: Blue-grey
- Brick Cladding: Colour: Warm Grey
- Vinyl Window frames (residential): Colour: Light bronze - Glazing : Clear Low E
- Aluminum Window Frames (commercial) Colour: Medium Charcoal - Storefront Glazing : Clear Low E
- Metal Panel: Colour: Medium Charcoal
Colour 2: Orange
- Painted Aluminum Railing: Colour: Light bronze
- Guardrail Glass: Clear
- Guardrail back-painted glass A: Colour: Orange
- Guardrail back-painted glass B: Colour: Yellow
- Guardrail back-painted glass C: Colour: Blue
- Mechanical Louvres: Colour: Medium Charcoal
- Painted Misc Steel: Colour: Medium Charcoal
- Commercial Awnings: Fabric on metal frames (fabric colour varies)
- Commercial Canopy: Painted steel and glass panels. Colour: Medium charcoal

Sheet No. 16
December 16, 2013
DP 13-641796



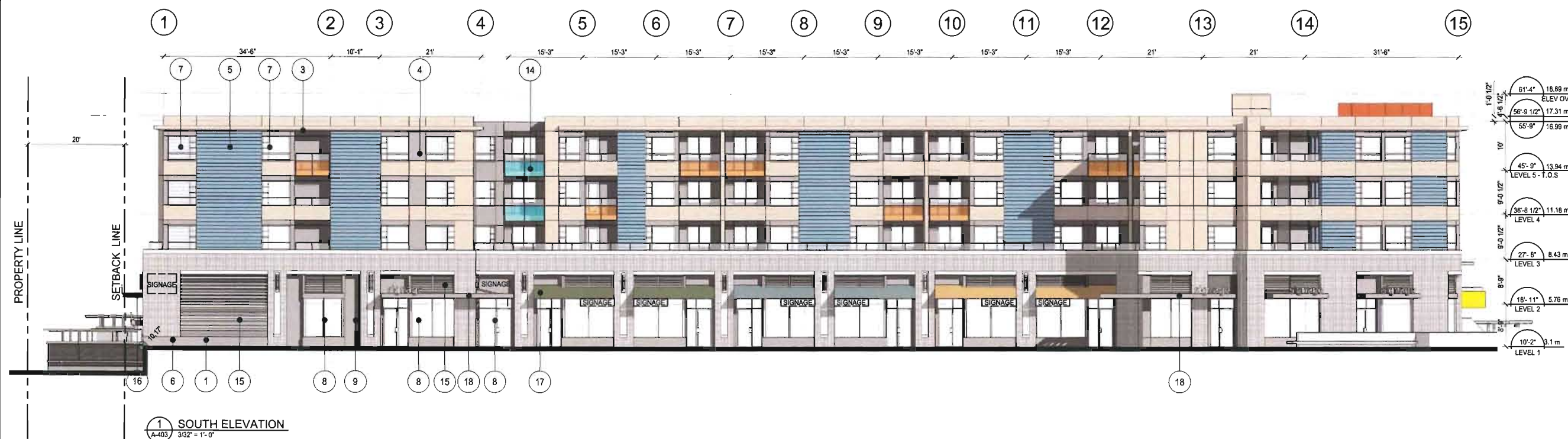
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Sheet Title
ELEVATIONS

Job No. 1115-100	Sheet No.
Scale 3/32" = 1'-0"	A4.02
Drawn MC/KT	
Checked AJ	
Approved RK	
Date 2012.01.25	Revision



1 SOUTH ELEVATION
A-403 3/32" = 1'-0"



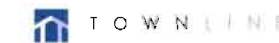
2 EAST ELEVATION
A-403 3/32" = 1'-0"

- MATERIALS LEGEND**
- 1 Architectural Concrete (exposed): Colour: Natural
 - 2 Architectural Concrete (painted): Colour: Tan
 - 3 Fibre Cement Panel A: Colour: Light Tan
 - 4 Fibre Cement Panel B: Colour: Taupe
 - 5 Fibre Cement Lap Siding: Colour: Blue-grey
 - 6 Brick Cladding: Colour: Warm Grey
 - 7 Vinyl Window frames (residential): Colour: Light bronze - Glazing: Clear Low E
 - 8 Aluminum Window Frames (commercial) Colour: Medium Charcoal - Storefront Glazing: Clear Low E
 - 9 Metal Panel: Colour: Medium Charcoal Colour 2: Orange
 - 10 Painted Aluminum Railing: Colour: Light bronze
 - 11 Guardrail Glass: Clear
 - 12 Guardrail back-painted glass A: Colour: Orange
 - 13 Guardrail back-painted glass B: Colour: Yellow
 - 14 Guardrail back-painted glass C: Colour: Blue
 - 15 Mechanical Louvres: Colour: Medium Charcoal
 - 16 Painted Misc Steel: Colour: Medium Charcoal
 - 17 Commercial Awnings: Fabric on metal frames (fabric colour varies)
 - 18 Commercial Canopy: Painted steel and glass panels. Colour: Medium charcoal

No.	Description	Date	Dr.
6	DP Revisions	DEC 12 2013	
5	ADP Revisions	NOV 06 2013	
4	Advisory Design Panel	OCT 23 2013	
3	Re-Issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 17
December 16, 2013
DP 13-641796



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Sheet Title
SOUTH ELEVATION

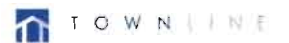
Job No.	1115-100	Sheet No.	
Scale	3/32" = 1'-0"		
Drawn	MCRT		
Checked	AJ		
Approved	RK		
Date	2012.06.07	Revision	

A4.03

No.	Description	Date	Dr.
6	DP Revisions	DEC 12 2013	
5	ADP Revisions	NOV 06 2013	
4	Advisory Design Panel	OCT 23 2013	
3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	APR 19 2013	

Revisions: Read Up

Sheet No. 18
December 16, 2013
DP 13-641796



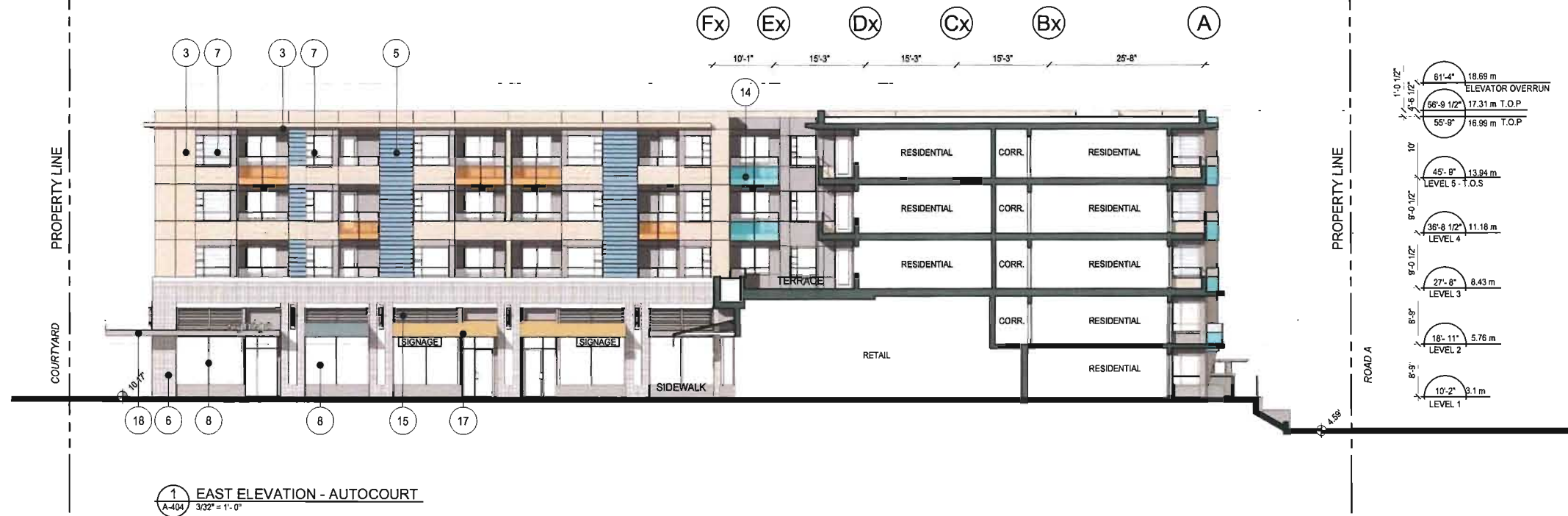
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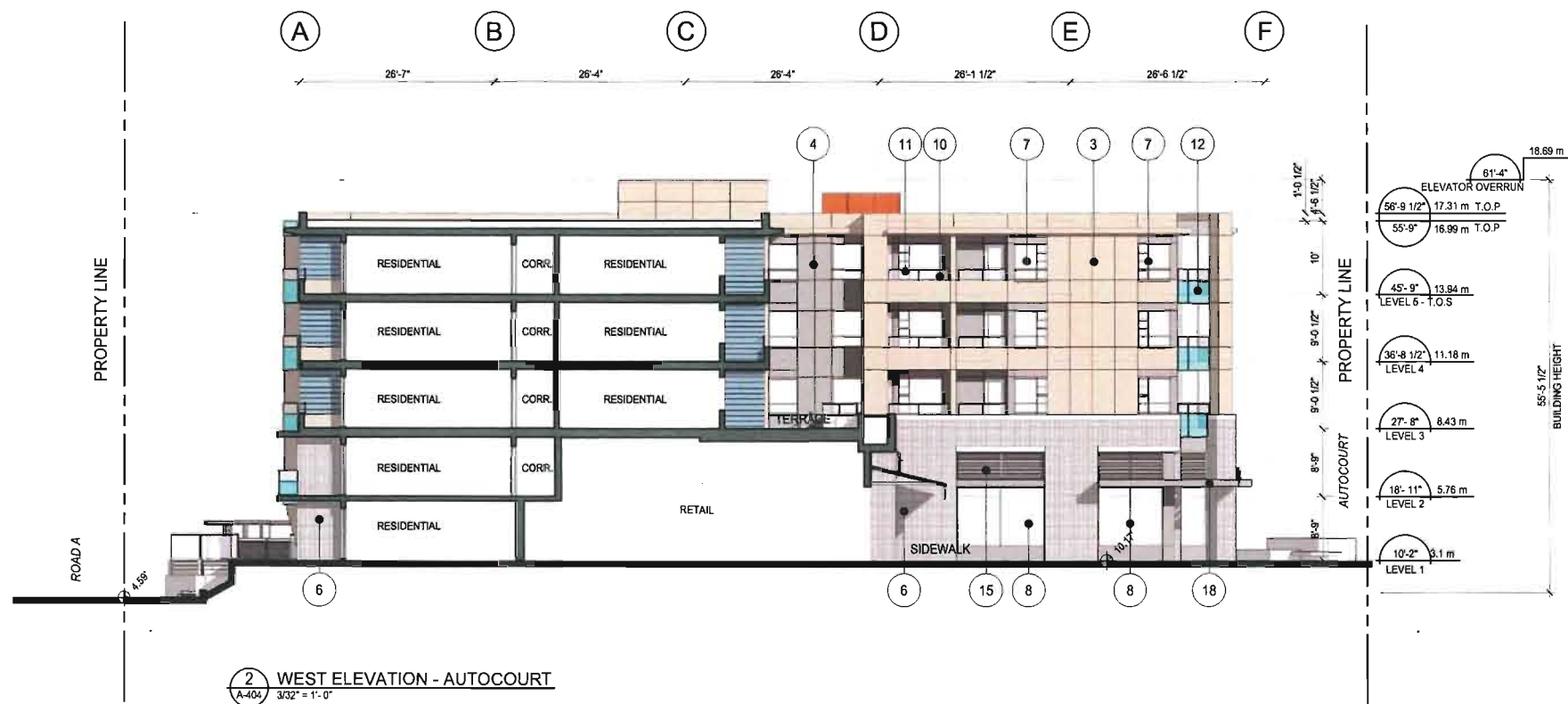
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Sheet Title
ELEVATIONS

Job No.	1115-100	Sheet No.	
Scale	3/32" = 1'-0"		
Drawn	MC/KT		
Checked	AJ		
Approved	RK		
Date	2013.07.11	Revision	



1 EAST ELEVATION - AUTOCOURT
A-404 3/32" = 1'-0"



2 WEST ELEVATION - AUTOCOURT
A-404 3/32" = 1'-0"

MATERIALS LEGEND

- 1 Architectural Concrete (exposed): Colour: Natural
- 2 Architectural Concrete (painted): Colour: Tan
- 3 Fibre Cement Panel A: Colour: Light Tan
- 4 Fibre Cement Panel B: Colour: Taupe
- 5 Fibre Cement Lap Siding: Colour: Blue-grey
- 6 Brick Cladding: Colour: Warm Grey
- 7 Vinyl Window frames (residential): Colour: Light bronze - Glazing : Clear Low E
- 8 Aluminum Window Frames (commercial): Colour: Medium Charcoal - Storefront Glazing : Clear Low E
- 9 Metal Panel: Colour: Medium Charcoal Colour 2: Orange
- 10 Painted Aluminum Railing: Colour: Light bronze
- 11 Guardrail Glass: Clear
- 12 Guardrail back-painted glass A: Colour: Orange
- 13 Guardrail back-painted glass B: Colour: Yellow
- 14 Guardrail back-painted glass C: Colour: Blue
- 15 Mechanical Louvres: Colour: Medium Charcoal
- 16 Painted Misc Steel: Colour: Medium Charcoal
- 17 Commercial Awnings: Fabric on metal frames (fabric colour varies)
- 18 Commercial Canopy: Painted steel and glass panels. Colour: Medium charcoal



1 NORTH ELEVATION
A-405 3/32" = 1'-0"



2 WEST ELEVATION
A-405 3/32" = 1'-0"



3 WEST ELEVATION - AUTOCOURT
A-405 3/32" = 1'-0"

No.	Description	Date	Dr.
3	DP Revisions	DEC 12 2013	
2	ADP Revisions	NOV 06 2013	
1	Re-issued for Development Permit	OCT 09 2013	
Revisions: Read Up			

Sheet No. 19
December 16, 2013
DP 13-641796



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Sheet Title
LANDSCAPED
ELEVATIONS

Job No.	1115-100	Sheet No.	A4.05
Scale	3/32" = 1'-0"		
Drawn	MC		
Checked	AJ		
Approved	RK		
Date	2013.10.09	Revision	



1 SOUTH ELEVATION
A-406 3/32" = 1'-0"



2 EAST ELEVATION
A-406 3/32" = 1'-0"

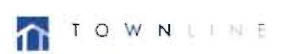


3 EAST ELEVATION - AUTOCOURT
A-406 3/32" = 1'-0"

No.	Description	Date	Dr.
3	DP Revisions	DEC 12 2013	
2	ADP Revisions	NOV 06 2013	
1	Re-issued for Development Permit	OCT 09 2013	

Revisions: Read Up

Sheet No. 20
December 16, 2013
DP 13-641796



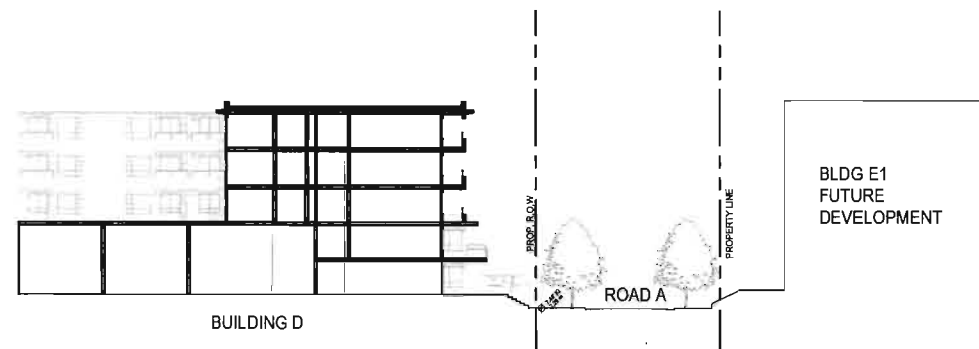
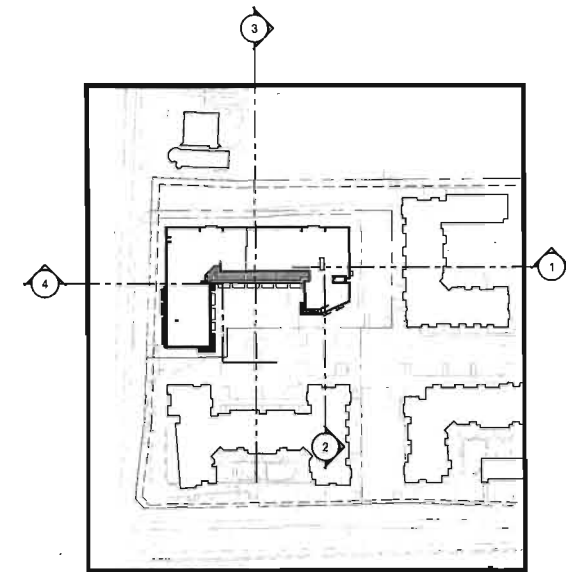
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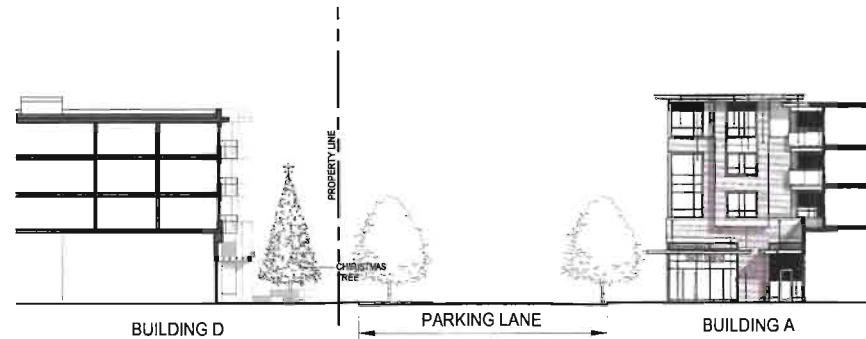
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Sheer Title
LANDSCAPED
ELEVATIONS

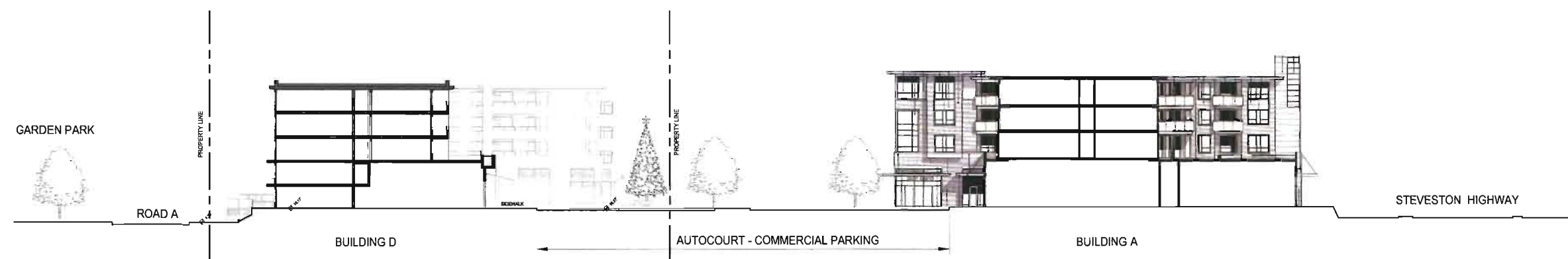
Job No.	1115-100	Sheet No.	
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Drawn	MC	A4.06	
Checked	AJ		
Approved	RK		
Date	2013.10.09		



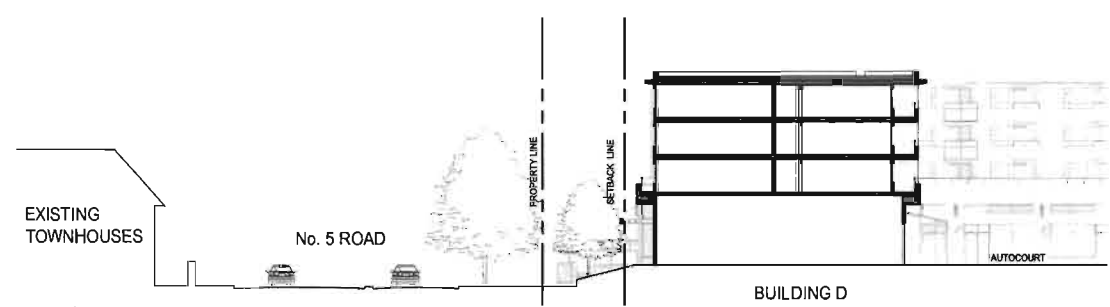
1 SECTIONAL ELEVATION ACROSS ROAD A
A-501 3/8" = 1'-0"



2 SECTIONAL ELEVATION THRU LANE
3/8" = 1'-0"



3 SECTIONAL ELEVATION ACROSS AUTOCOURT
3/8" = 1'-0"

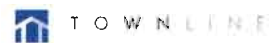


4 SECTIONAL ELEVATION THRU No. 5 ROAD
A-501 3/8" = 1'-0"

No.	Description	Date	Dr.
3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 21
December 16, 2013
DP 13-641796



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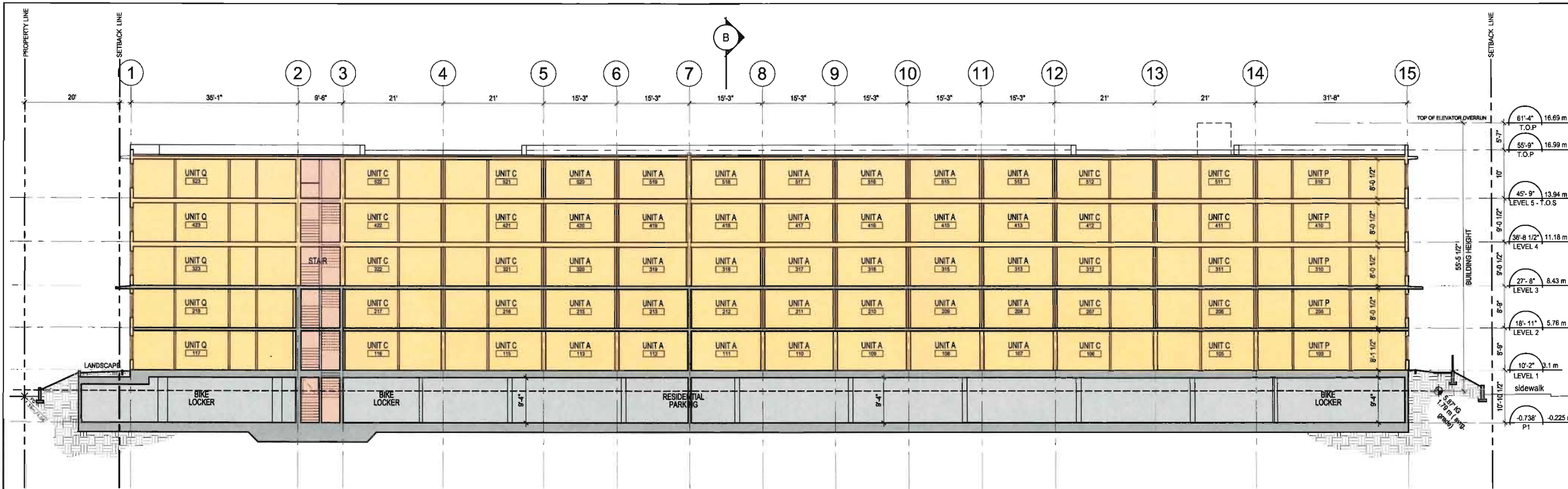
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Sheet Title
CONTEXT SECTIONAL ELEVATIONS

Job No.	1115-100	Sheet No.	
Scale	3/8" = 1'-0"		
Drawn	MC/KT		A5.01
Checked	AJ		
Approved	RK		
Date	2013.07.11	Revision	

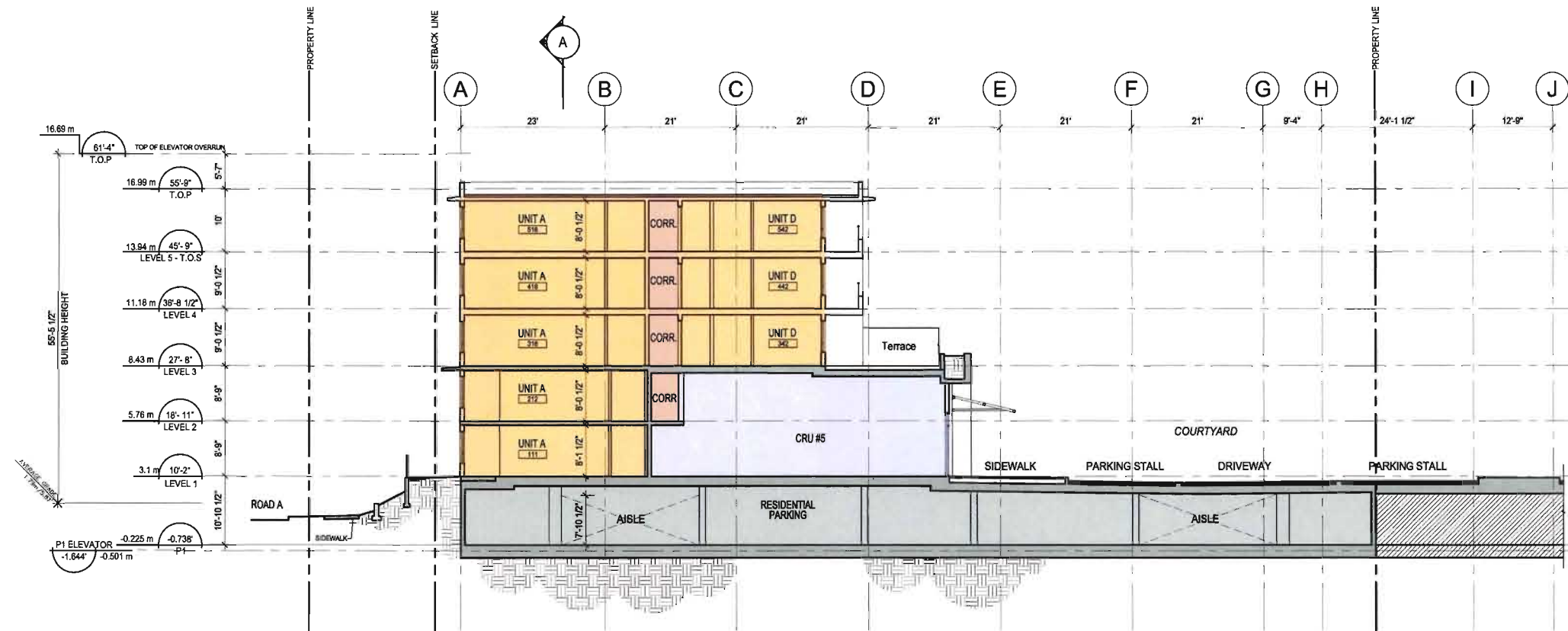
KEY PLAN



61'-4"	16.69 m	TOP OF ELEVATOR OVERRUN T.O.P.
55'-9"	16.99 m	T.O.P.
45'-9"	13.94 m	LEVEL 5 - T.O.S.
38'-8 1/2"	11.18 m	LEVEL 4
27'-8"	8.43 m	LEVEL 3
18'-11"	5.76 m	LEVEL 2
10'-2"	3.1 m	LEVEL 1
10'-10 1/2"		sidewalk
-0.738'	-0.225 m	P1

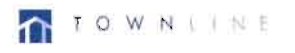
3	Re-issued for Development Permit	OCT 09 2013
2	Issued for Development Permit	JUL 25 2013
1	Pre-Application / Review Set	JUL 19 2013
No.	Description	Date
Revisions: Read Up		

1 BUILDING SECTION A
AS.01 1/8" = 1'-0"



2 BUILDING SECTION B
AS.01 1/8" = 1'-0"

Sheet No. 22
December 16, 2013
DP 13-641796



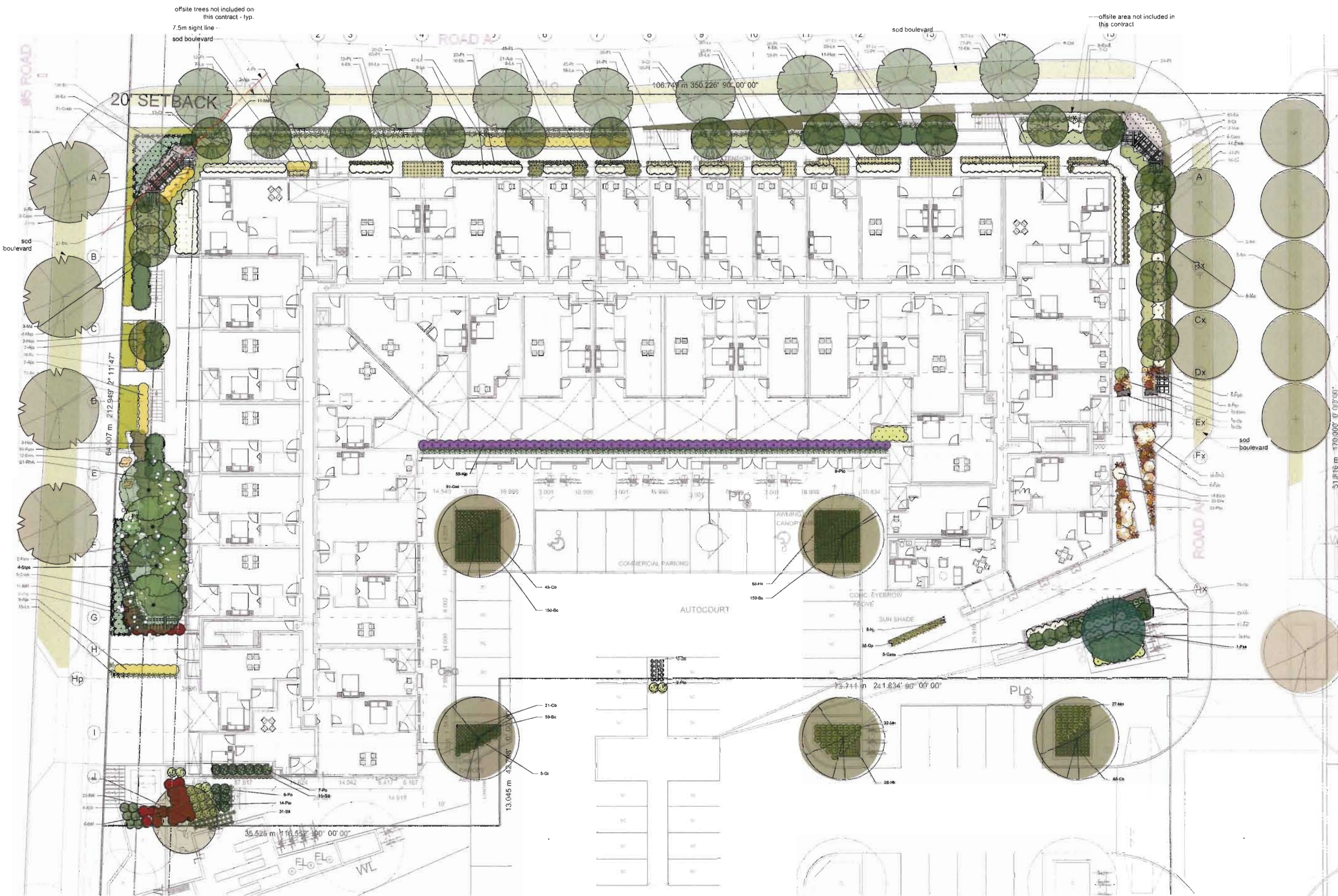
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Sheet Title: SECTIONS

Job No.	1115-100	Sheet No.	
Scale	3/32" = 1'-0"		
Drawn	AY		A5.02
Checked	AJ		
Approved	RK		
Date	2012.01.25	Revision	



offsite trees not included on this contract - typ.

off-site area not included in this contract

Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	8/8/12	Issued for review
G	8/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Released for Development Permit
L	11/8/13	Issued for ADP Revisions

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	8/8/12	Issued for review
G	8/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Released for Development Permit
L	11/8/13	Issued for ADP Revisions

Professional Seal

Sheet No. 23
December 16, 2013
DP 13-641796



Project
The Gardens Building D
#5 Rd Richmond, BC

Drawing Title
Planting Plan

Project No.	21132
Scale	1:150
Reviewed By	DP L3
Date	Dec 14, 11
Page	12

ALL PLANTS TO BE NURSERY GROWN
ALL PLANT MATERIALS AND LABOUR TO CONFORM
TO BC SLA/BC LNA STANDARDS (2008 ED).

ALL PLANT MATERIAL TO BE INSPECTED PRIOR TO DELIVERY ON SITE.
CONTRACTOR TO ARRANGE FOR INSPECTION AND MATERIAL TO
ASSEMBLED IN ONE LOCATION FOR REVIEW.

IMPORTED SOIL SHALL BE A SANDY LOAM OR LOAMY
SAND TEXTURE (NO LESS THAN 50% SAND BY WEIGHT)
CONTAINING 4 AND 15% ORGANIC MATTER (DRY WEIGHT
BASIS). SOIL SHALL VIRTUALLY FREE FROM SUBSOIL,
WOOD, INCLUDING WOODY PLANT PARTS, WEEDS, TOXIC
MATERIALS, STONES OVER 30MM, AND FOREIGN OBJECTS.
SOIL SHALL BE FREE FROM COUCHGRASS, EQUISETUM, CONVULVULUS AND
OTHER NOXIOUS WEEDS OR SEEDS OR PARTS THEREOF.

IMPORTED TOPSOIL SHALL CONFORM TO
AND BE TREATED AS PER SECTION 6.2.3 TO
6.2.7 INCLUSIVE OF THE 2008 BCLNA STANDARDS.

GROWING MEDIUM SHALL CONFORM TO LEVEL 1
LOW TRAFFIC LAWN AREAS, TREES AND LARGE
SHRUBS (2L IN TABLE 6-3 OF THE 2008 BCLNA
STANDARDS).
IT SHALL POSSESS THE FOLLOWING QUALITIES:

TEXTURE-

- *COARSE GRAVEL (LARGER THAN 25MM): 0-1%
- *ALL GRAVEL (LARGER THAN 2MM): 0-5%
- *SAND (LARGER THAN .05MM AND SMALLER
THAN 2MM): 50-70%
- *SILT (LARGER THAN .002MM AND SMALLER
THAN .05MM): 10-25%
- *CLAY (SMALLER THAN .002MM): 0-20%
- *CLAY AND SILT COMBINED: MAXIMUM 25%

ORGANIC CONTENT: 3-10%

Acidity: 6.0-7.0

DRAINAGE: PERCOLATION SHALL BE SUCH THAT
NO STANDING WATER IS VISIBLE 60 MINUTES
AFTER AT LEAST 10 MINUTES OF MODERATE TO
HEAVY RAIN OR IRRIGATION.

MINIMUM SOIL DEPTH TO BE AS PER
TABLE 6-5 OF THE 2008 BCLNA STANDARDS:

Over prepared subgrade	Over structure
TREES (10m ² PER TREE) 24"	30"
SHRUBS 18"	24"
GROUNDCOVERS 6"	9"

SOIL DEPTHS WILL BE CHECKED AT TIME OF SUBSTANTIAL COMPLETION
REVIEW

BEDS TO HAVE 2" MULCH LAYER CONSISTING OF
ORGANIC COMPOSTED BARK APPLIED.

PLANTED AREAS TO HAVE PERMANENT HIGH EFFICIENCY
IRRIGATION SYSTEM

CONTRACTOR TO PROVIDE MAINTENANCE FOR PERIOD OF 45
DAYS FOLLOWING SUBSTANTIAL COMPLETION.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON
PLANT MATERIAL

CONTRACTOR TO PROVIDE COPY OF SOIL TEST TO LANDSCAPE
CONSULTANT 3 WEEKS PRIOR TO DELIVERY ON-SITE. TEST TO
BE PERFORMED BY AN INDEPENDANT LAB AND IS TO INCLUDE
RECOMMENDATIONS FOR BOTH LAWN AND PLANTING BEDS.
CONSULTANT TO APPROVE SOIL BEFORE INSTALLATION. THIS
DOES NOT PRECLUDE THE CONSULTANT FROM PERFORMING AN
INDEPENDANT SOIL ANALYSIS
AT TIME OF SUBSTANTIAL COMPLETION. CONTRACTOR WILL BE
RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF SOIL THAT
DOES NOT MEET SPECIFICATIONS AT NO EXTRA COST TO CLIENT.

CONTRACTOR TO PROVIDE WRITTEN 1 YEAR WARRANTY ON SOIL
SPECIFICATIONS.

AN INDEPENDANT SOIL TEST TO BE PROVIDED 1 WEEK PRIOR TO
END OF 1 YEAR WARRANTY PERIOD
CONTRACTOR TO PROVIDE SOIL AMMENDMENTS TO BRING SOIL
UP TO QUALITY RECOMMENDED IN
SOILS REPORT.

SITE INSPECTION

EXAMINE EXISTING SUBGRADE CONDITIONS AND SIGNIFY
ACCEPTANCE IN WRITING TO THE CONSULTANT.

ASCERTAIN THE SIZE AND LOCATION OF ALL EXISTING
SERVICES AND SUBGRADES PRIOR TO THE WORK.

IMMEDIATELY REPAIR DAMAGE RESULTING FROM FAILURE TO
EXERCISE SUCH PRECAUTIONS AT NO COST TO THE OWNER.

ALL PRUNING TO BE IN ACCORDANCE WITH THE BCLNA/BCSLA
STANDARDS 2008 EDITION.

PLANT COUNTS

IN THE CASE OF ANY DISCREPENCY BETWEEN PLANT COUNTS ON
PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS
TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT
COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPENCY.

PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
TREES						
	5	31		5	5	5
Gt	5	Gleditsia triacanthos Skyline	Skyline Honey Locust	as shown	8cm/b&b	full, bushy plants
Md	20	Magnolia denudata	Yulan Magnolia	as shown	7cm cal/ B&B	2m standard/ full crown/ matched
Mk	1	Magnolia kobus	Kobus Magnolia	as shown	6cm cal	2m standard
Pse	1	Pseudotsuga menziesii	Douglas Fir	as shown	6.0m h/ B&B	full/ bushy canopies:
Stps	4	Stewartia pseudocamellia	Japanese Stewartia	as shown	4m h/ B&B	multistemmed

PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SCHEDULED SIZE	NOTES
SHRUBS						
	33	3925		33	32	32
Aja	47	Azalea japonica 'Hino White'	'Hino White' Azalea	#5 cont.		full/ bushy plants
Ajp	55	Azalea japonica 'purple splendor'	Evergreen Azalea	#2 cont.		full/ bushy plants
Bc	615	Bergenia cordifolia Bressingham White	Heartleaf Bergenia	#1 cont.		full/ bushy plants/ heavy
BIR	38	Berberis thunbergii 'Rose Glow'	Rose Glow Japanese barberry	#3 cont.		Full, bushy plants
Cass	11	Camellia sasanqua 'setsugekka'	White Camellia	#15 cont.		specimen quality
Cb	134	Carex buchanii	Leather leaf sedge	#1 cont.		full/ bushy plants
Cod	91	Cotoneaster dammeri	bearberry cotoneaster	#2 cont.		full/ bushy plants
Ct	66	Choisya ternata	Mexican Mock Orange	#5 cont.		full/ bushy plants
Cveb	156	Calluna vulgaris 'Eden's Beauty'	Eden's Beauty Scotch Heather			
Dre	23	Dryopteris erythrosora	Autumn Fern	#1 cont.		full/ bushy plants
Ea	99	Euphorbia var 'Robbiae'	Spurge	#2 cont.		full, bushy plants
Efc	178	Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	#2 cont.		full/ bushy plants
Ehm	24	Echinacea 'Harvest Moon'	Harvest Moon Coneflower	#2 cont.		full/ bushy plants
EwS	40	Euphorbia wulfenii 'Shorty'	Evergreen Spurge	#5 cont.		
Hk	94	Hakonechloa aureola	Japanese Forest grass	#1 cont.		full/ bushy plants
Hp	8	Hesperaloe parviflora	Red Yucca	#2 cont.		full, bushy plants
Hqs	25	Hydrangea quercifolia 'snow queen'	Oakleaf Hydrangea	#3 cont.		full/ bushy plants
ID	0	Latin Name	Common Name		Scheduled Size	Notes
Ls	1043	Liriope spicata	Lily turf	#2 cont.		
Mn	82	Mahonia nervosa	Longleaf mahonia	#2 cont.		full/ bushy plants
Op	136	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	#1 cont.		full/ bushy plants
Pam	62	Pennisetum alopecuroides 'Moudry'	Black Fountain Grass	#2 cont.		full/ bushy plants
Plo	43	Prunus laurocerasus 'Otto Luyken'	Otto Luyken English Laurel	#3 cont.		full/ bushy plants
Po	13	Physocarpus opulifolius	Ninebark	#5 cont.		full/bushy
Ppb	9	Phormium 'Platt's Black'	Platt's Black New Zealand Flax	#7 cont.		full, bushy plants
Pt	644	Pachysandra terminalis 'Green Sheen'	Green Sheen Japanese Spurge	#1 cont.		full/ bushy plants/ heavy
Ptjs	31	Phormium tenax 'Jack Spratt'	Jack Spratt New Zealand Flax	#1 cont.		full/ bushy plants
RhA	61	Rhododendron 'Alena'	Alena Rhododendron	#7 cont.		full/ bushy plants
RhG	18	Rubecia "Goldstrum"	Golden Coneflower	#2 cont.		full/ bushy plants
Rr	5	Rosa rugosa 'Frau Dagmar Hastrup'	Frau Dagmar Hastrup rose	#2 cont.		full/ bushy plants
SjG	6	Spiraea japonica 'Goldmound'	Goldmound Spirea	#3 cont.		full/ bushy plants
St	61	Stipa tenuissima	Mexican feather grass	#1 cont.		full/ bushy plants
Vva	7	Vitis vinifera atropurpurea	Purple Leaf Grape	#2 cont/ staked		full/ bushy plants

Revision

No.	Date	Revision Notes

Issue No.	Date	Issue Notes
A	1/8/12	Issued for Designation
B	1/18/12	Issued for DP Review (client)
C	12/4/12	Issued for DP
D	3/28/12	Issued for client review
E	4/2/12	Issued for review
F	8/8/12	Issued for Review
G	8/15/12	re-issued for DP
H	7/13/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Requested for Development Permit
L	11/8/13	Issued for ADP Revisions

PROFESSIONAL SEAL

Sheet No. 24
December 16, 2013
DP 13-641796



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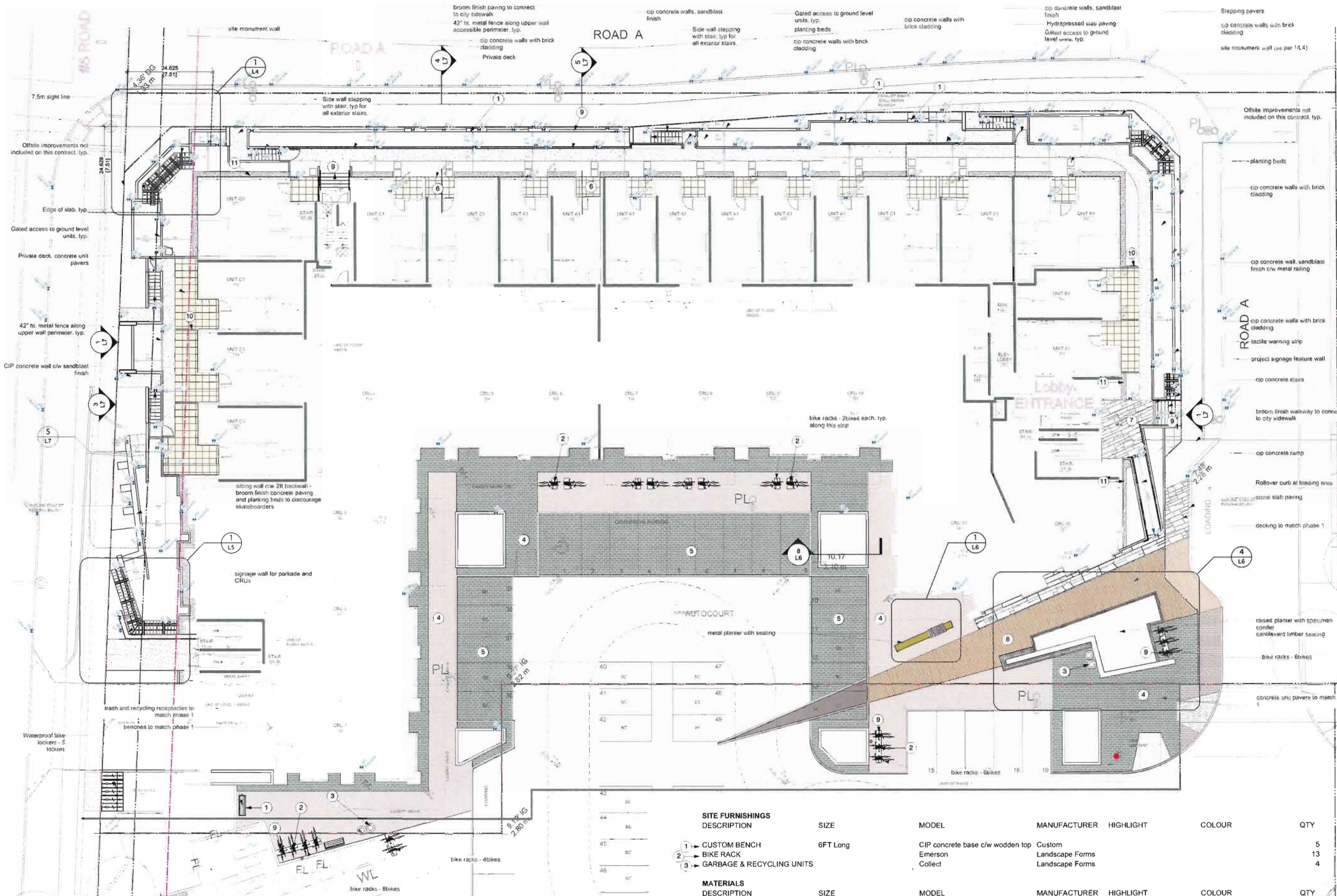
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Project
The Gardens
Building D
#5 Rd Richmond, BC

Drawing Title

Plant list
Notes

Project Manager	Drawn By
dl	21132
Checked By	Scale
dl	1:150
Approved By	Drawing No.
Reviewed By	DP L3.1
dl	
Dec 14, 11	12
Plot Date:	
11/8/13	
Working File Name: 2013.11.16	



Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Released for Development Permit
L	11/6/13	Issued for ADP Review

Sheet No. 25
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DP 13-641796



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Project
The Gardens Building D
#5 Rd Richmond, BC

Drawing Title
Hard Landscape, Site Furnishings & Material Schedule

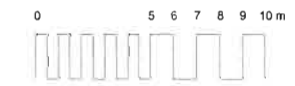
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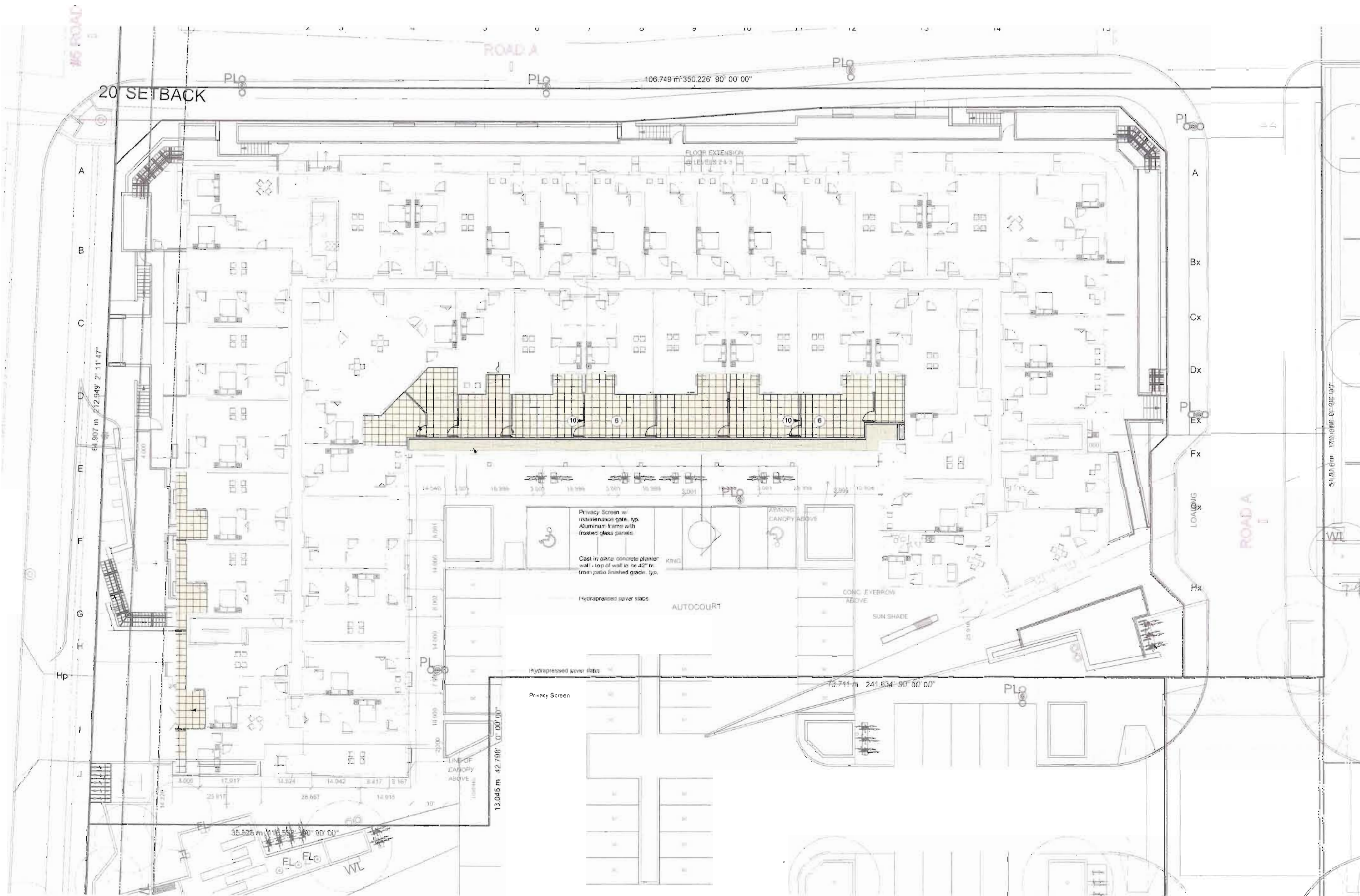
Project Manager	Project ID
dl	21132
Designer	Scale
dl	1:150
Reviewed By	Stamp No
dl	DP L2
Dec 14, 11	
	12

Plot Date: 11/6/13
G:\Projects\BP AS\Plot\04 2013.mxd

SITE FURNISHINGS DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
1 CUSTOM BENCH	6FT Long	CIP concrete base c/w woden top	Custom			5
2 BIKE RACK		Emerson	Landscape Forms			13
3 GARBAGE & RECYCLING UNITS		Collect	Landscape Forms			4
MATERIALS DESCRIPTION	SIZE	MODEL	MANUFACTURER	HIGHLIGHT	COLOUR	QTY
4 PEDESTRIAN UNIT PAVERS	225 x 112.5 x 60mm thick	standard - regular finish	Abbotsford Concrete	running bond & banding	natural (charcoal for banding)	
5 VEHICULAR UNIT PAVERS	225 x 112.5 x 80mm thick	standard - regular finish	Abbotsford Concrete	herringbone	natural	
6 PATIO	600 x 600 x 50mm	hydrapressed slab - texada finish	Abbotsford Concrete	stack bond	natural	
7 BASALT STONE SLABS	varies	as per phase 1				
8 WOOD DECKING	as per phase 1					
9 BROOM FINISH CONCRETE						
10 PRIVACY SCREEN	varies	Aluminum frame w/frosted glass	custom	saw cut joints	to match architectural exterior framing	
11 GRAVEL MAINTENANCE STRIP	varies					

Plan- Hard Landscape @ Grade
Scale: 1:150





Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/15/12	Issued for DP Review (client)
C	1/24/12	Issued for DP
D	3/5/12	Issued for client review
E	4/12/12	Issued for review
F	6/5/12	Issued for review
G	8/12/12	Re-issued for DP
H	7/12/12	Issued for Client Review
I	7/17/12	Issued for Client Review
J	7/25/12	Issued for DP
K	10/9/12	Re-issued for Development Permit
L	11/8/12	Issued for ADP Revisions

Sheet No. 26
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 DP 13-641796



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Project
**The Gardens
 Building D**
 #5 Rd Richmond, BC

Drawing Title
**Hard Landscape
 3rd Level**

Author	Drawn
dt	21132
checked by	dt
date checked	1:150
Reviewed By	DP L2.1
date	12

Plan- Hard Landscape Above Grade
 Scale: 1:150



Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Reissued for Development Permit
L	11/6/13	Issued for ADP Revisions

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Reissued for Development Permit
L	11/6/13	Issued for ADP Revisions

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Sheet No. 27
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DP 13-641796



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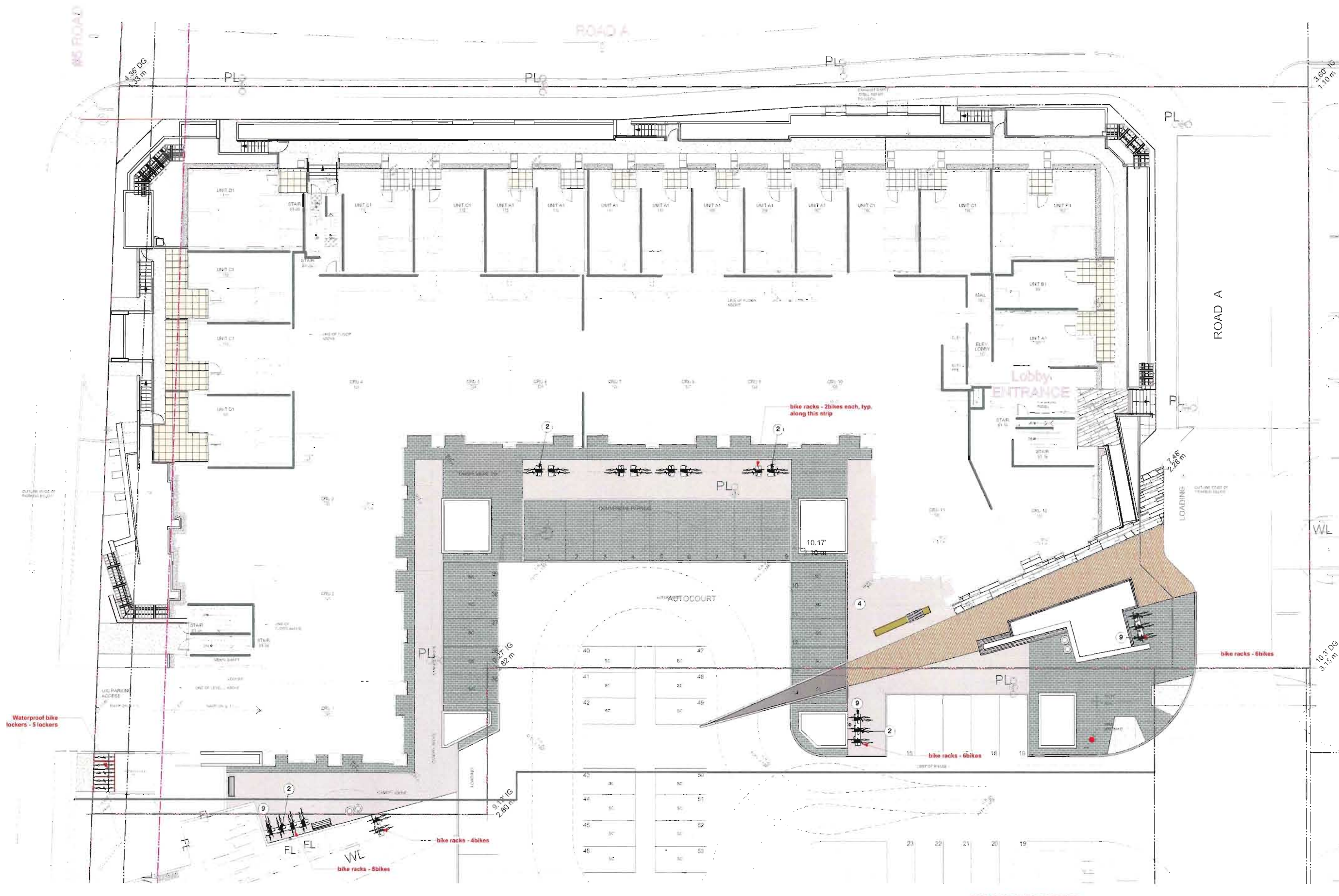
Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title
**Bike Parking
Layout Plan**

Legal

Project Manager dt	Project ID 21132
Drawn By dt	Scale 1:150
Reviewed By dtw	Drawing No. DP L2.2
Dec 14, 11	12

Plot Date:
11/6/13
Gardens BP November 04 2013.vwx



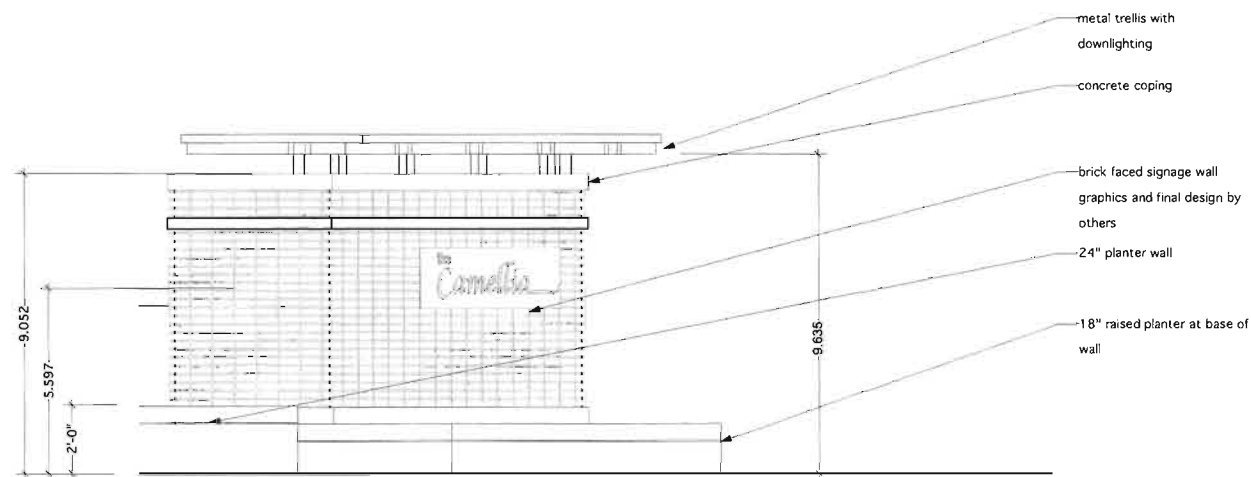
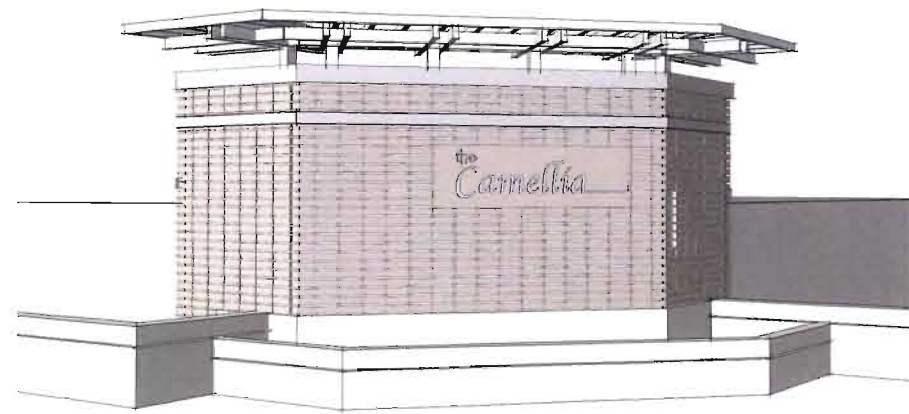
Plan- Bike parking at grade
Scale: 1:150



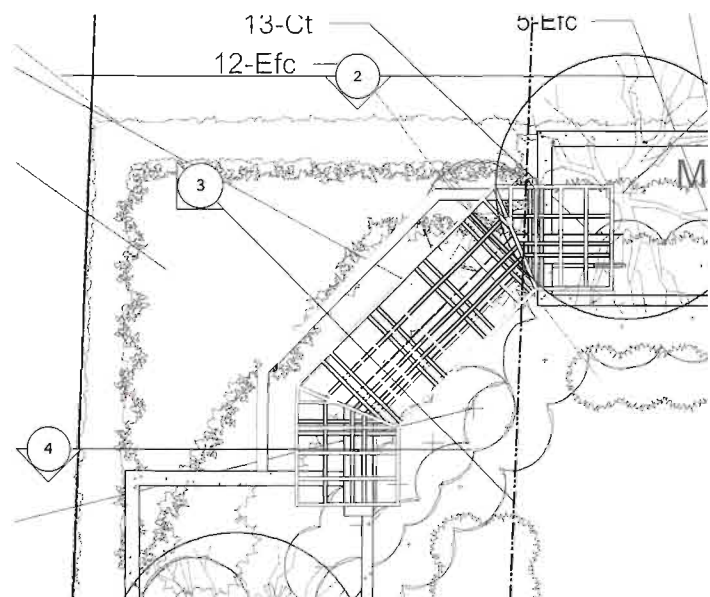
BIKE PARKING SCHEDULE:

WATERPROOF BIKE LOCKERS: TOTAL BICYCLES: 05
BIKE RACK FIXTURES (EACH WITH A 2 BICYCLES CAPACITY): 20 (40 BICYCLE PARKING)

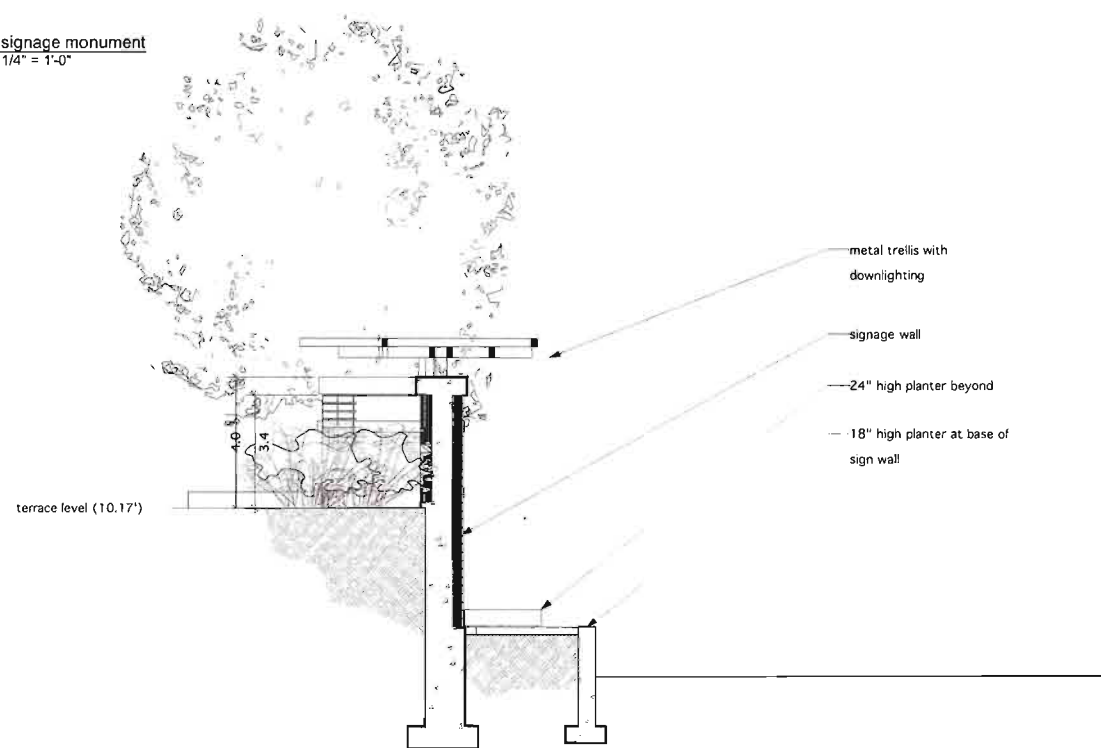
NOTE: SEE SITE FURNISHINGS L2.0 FOR FIXTURE SPECIFICATIONS



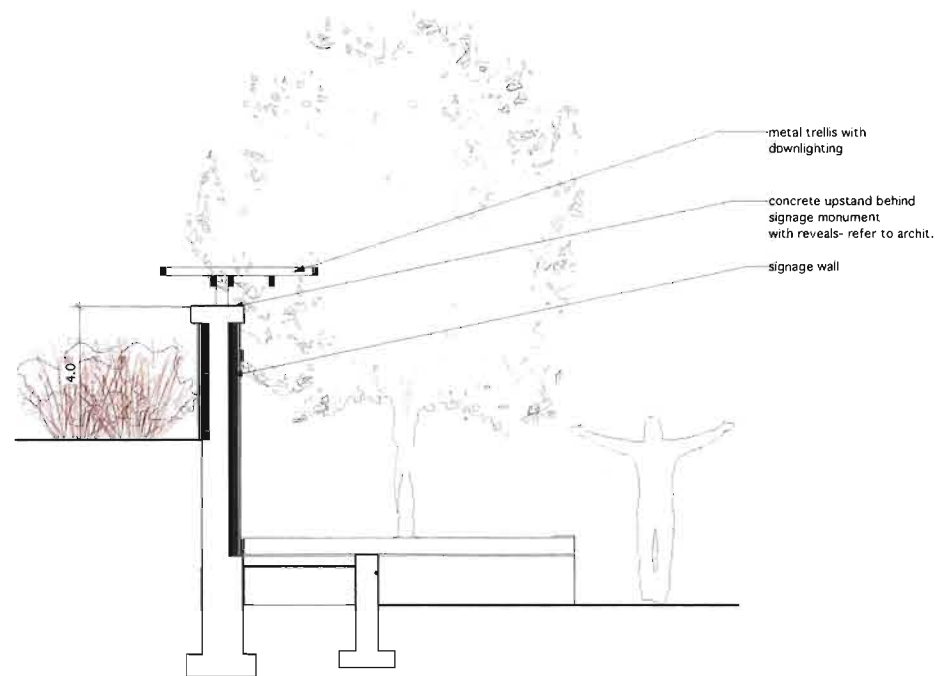
2 Elevation- signage monument
 L4 3/8" = 1'-0"



1 Plan- signage monument
 Scale: 1/4" = 1'-0"



3 Section- corner monument
 Scale: 3/8" = 1'-0"



4 Section- corner monument/ terrace
 Scale: 3/8" = 1'-0"

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Reissued for Development Permit
L	11/6/13	Issued for ADP Revisions

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Sheet No. 28
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Project
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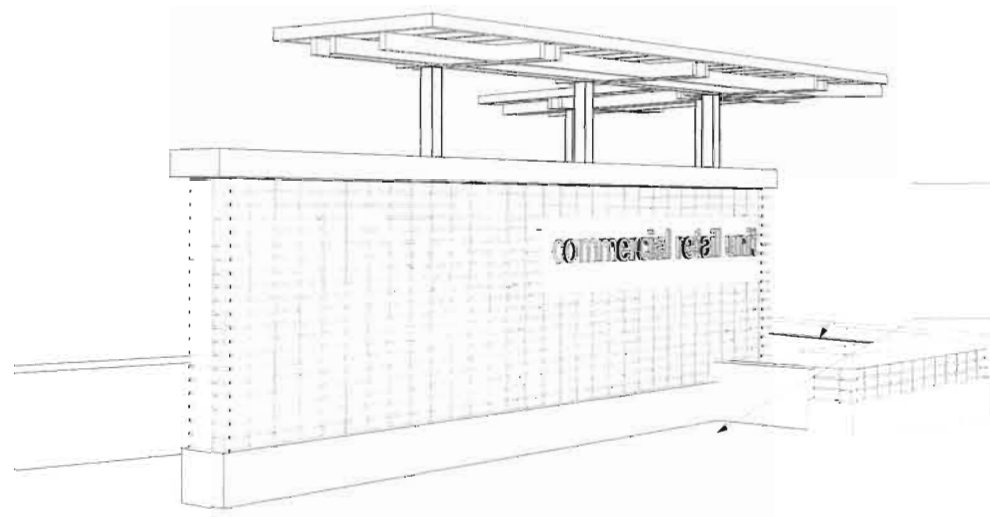
Drawing Title

Corner Monuments

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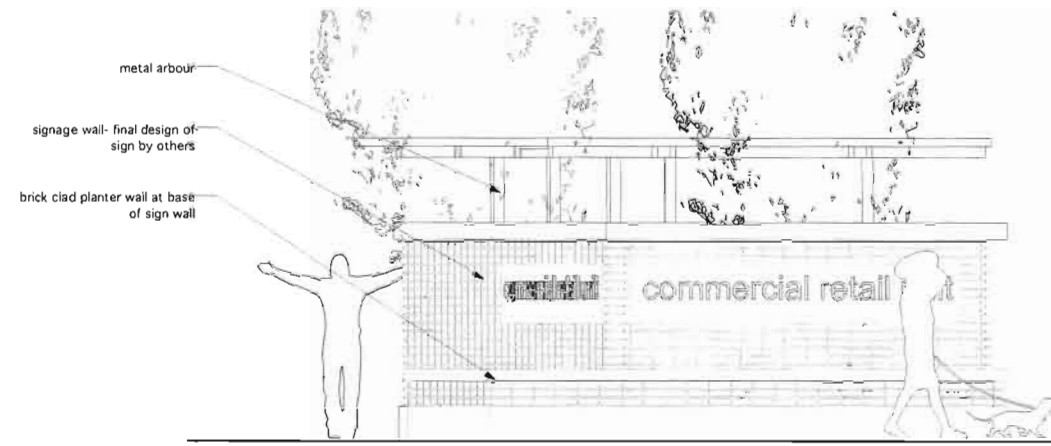
Project Manager dt	Project ID 21132
Drawn By dt	Scale as noted
Reviewed By	Drawing No DP L4
Date Dec 14, 11	of 12

Plot Date:
 11/6/13
 Gardens EP November 04 2013.vox

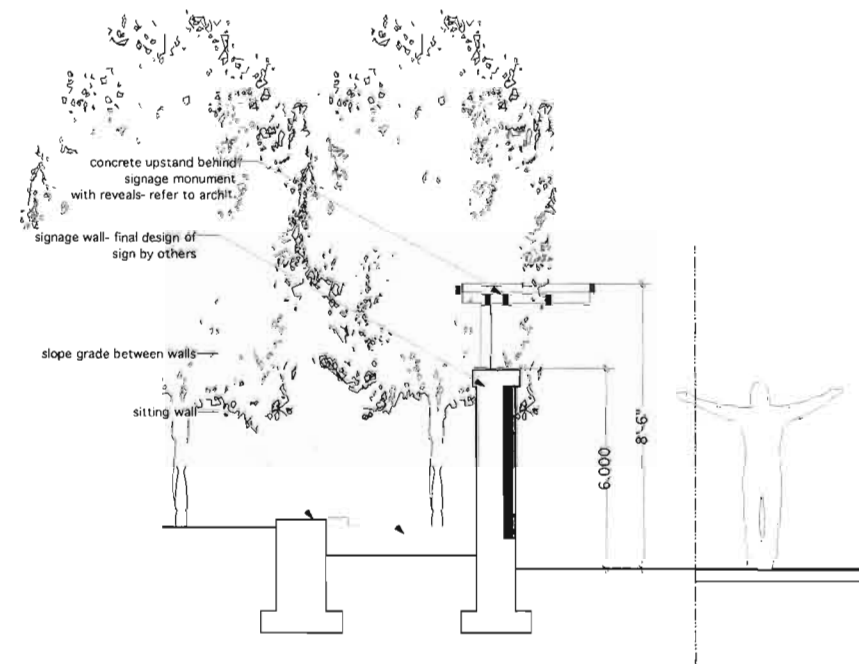


raised planter at base/
sitting wall

planting at grade



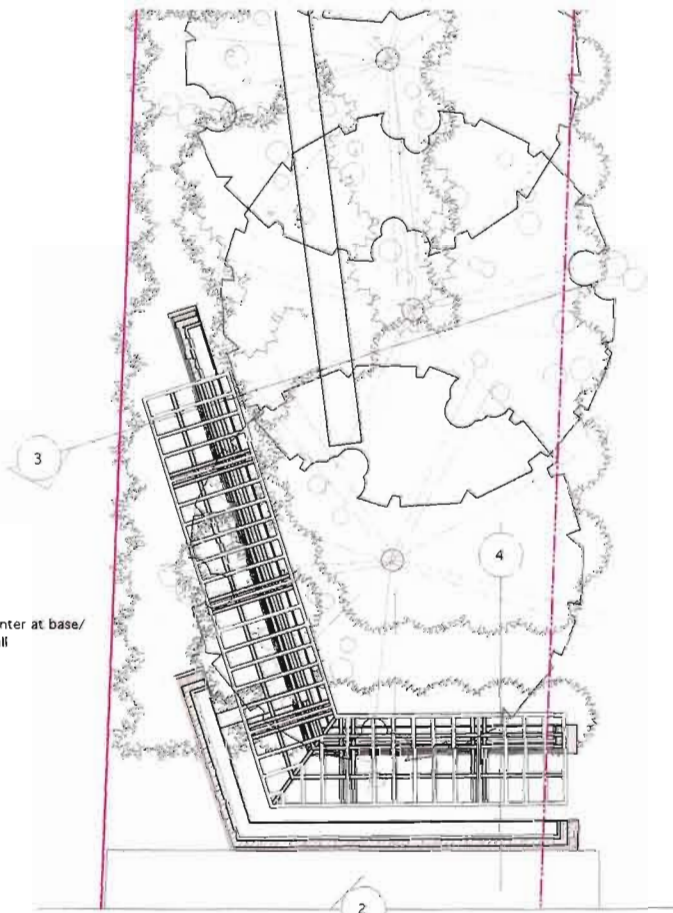
2 Elevation- CRU parkade entrance sign wall
Scale: 3/8" = 1'-0"



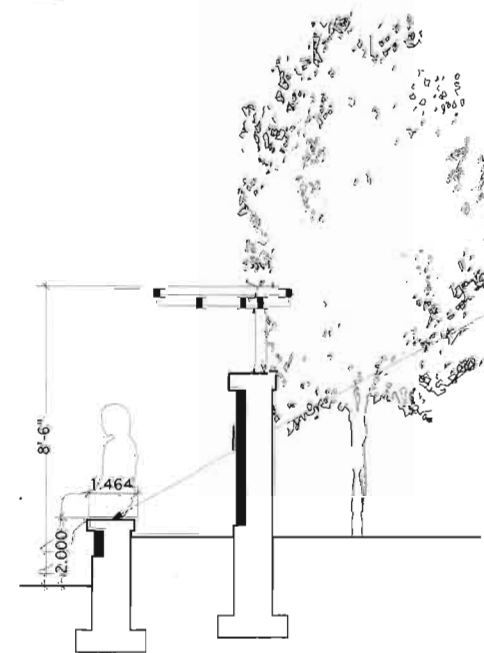
3 Section- CRU sign wall
Scale: 3/8" = 1'-0"



raised planter at base/
sitting wall



1 Plan- CRU parkade entrance sign wall
Scale: 1/4" = 1'-0"



4 Section- CRU sign wall
Scale: 3/8" = 1'-0"

Revision
No. Date Revision Notes

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP Review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	8/15/12	Revised for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Revised for Development Permit
L	11/6/13	Issued for ADP applications

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Sheet No. 29
December 16, 2013
DP 13-641796

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Project
The Gardens
Building D
#5 Rd Richmond, BC

Drawing Title
Commercial Parkade
Signage Wall

Legal

Project Manager	Page 15
dt	21-132
et	Sign
dt	NTS
Reviewed By	Signature
Dec 14, 11	DP L5
	f2

For more information
contact us at December 04 2013.wkx

Revision No.	Date	Revision Notes
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Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP Review (client)
C	1/24/12	Issued for DP
D	2/20/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	6/15/12	Re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Released for Development Permit
L	11/6/13	Issued for ADP Revisions

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Sheet No. 30
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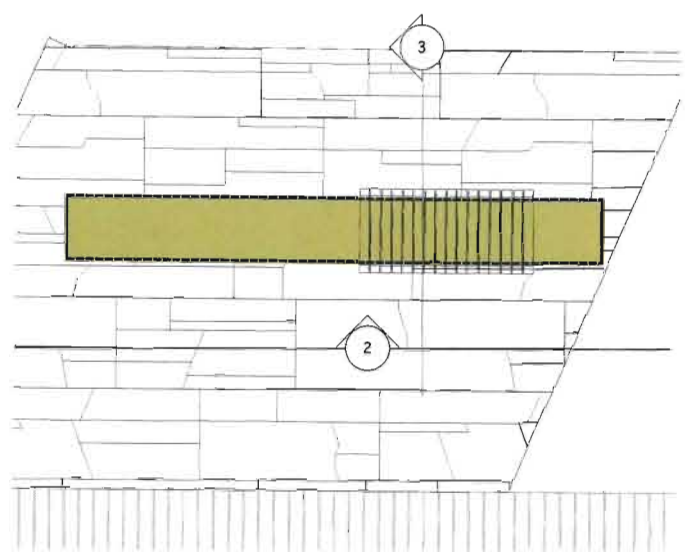
Project
The Gardens
Building D
#5 Rd Richmond, BC

Drawing Title
Metal Planters &
Christmas Tree Planter

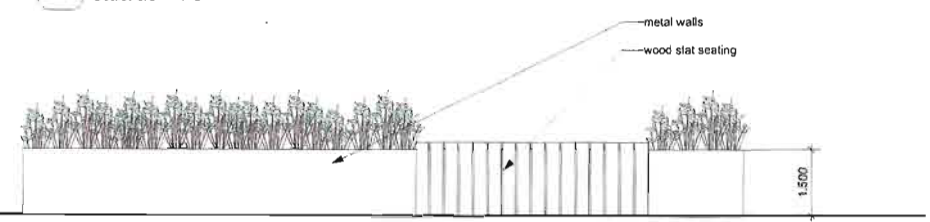
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Project Manager	Project No.
dt	21132
Drawn By	Scale
dt	NTS
Reviewed By	Drawn No.
dt	DP L6
Dec 14, 11	12

Plot Date:
11/6/13
Filename: 40 November 04 2013.dwg



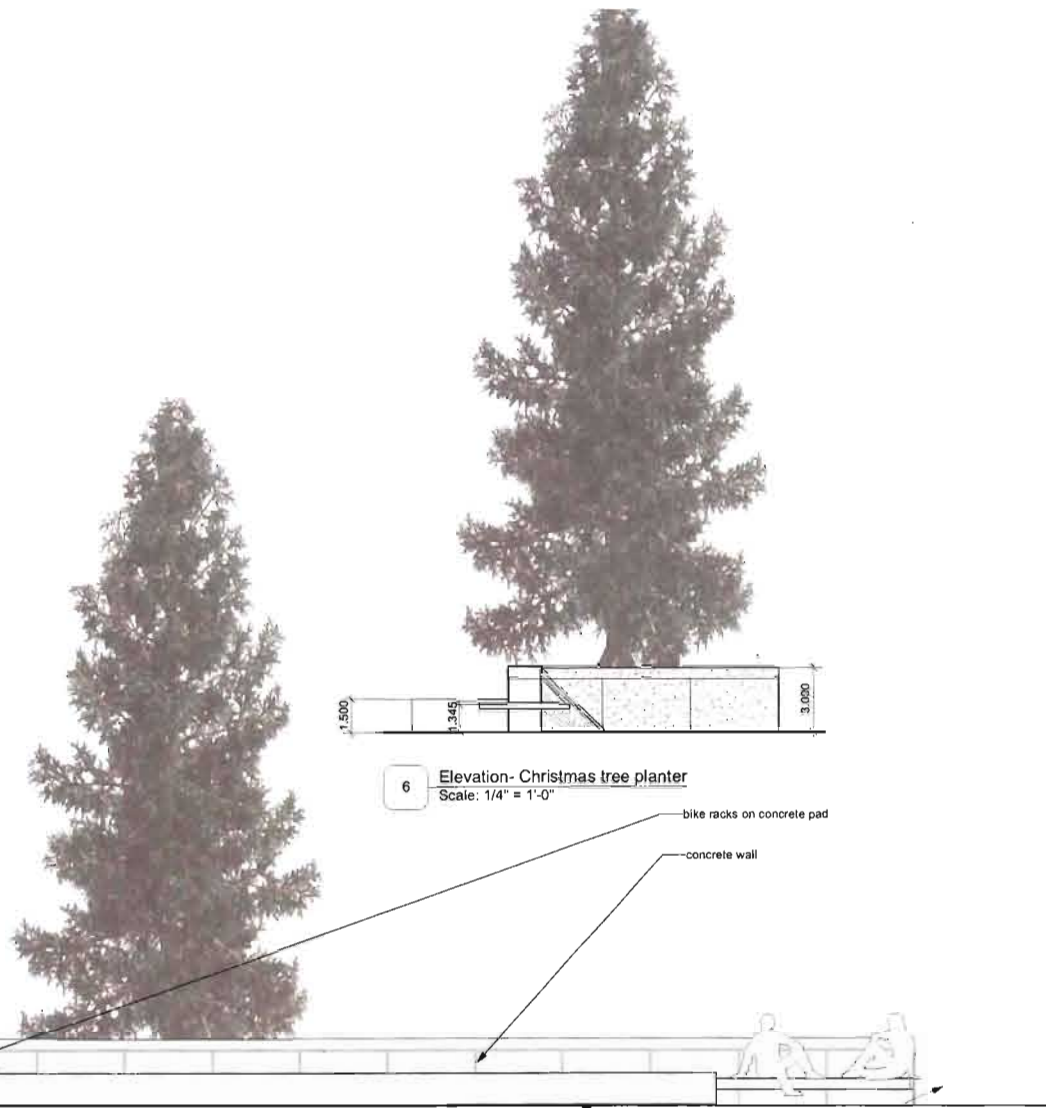
1 Plan- typical metal planter at residential entry
Scale: 3/8" = 1'-0"



2 Elevation- metal planter
Scale: 1/2" = 1'-0"

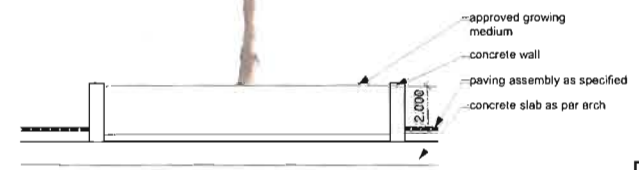


3 Section- Metal planters/ slat seating
Scale: 1/2" = 1'-0"

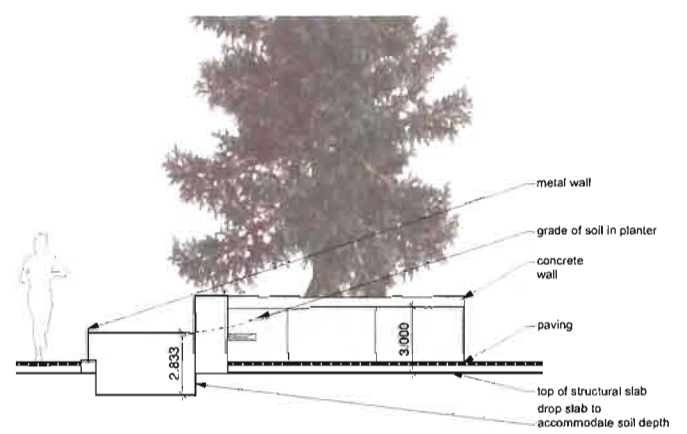


6 Elevation- Christmas tree planter
Scale: 1/4" = 1'-0"

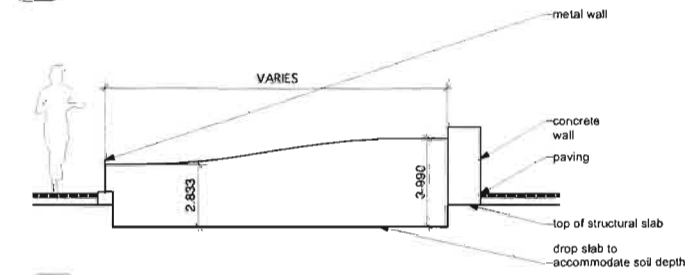
5 Elevation- Christmas tree planter
Scale: 1/4" = 1'-0"



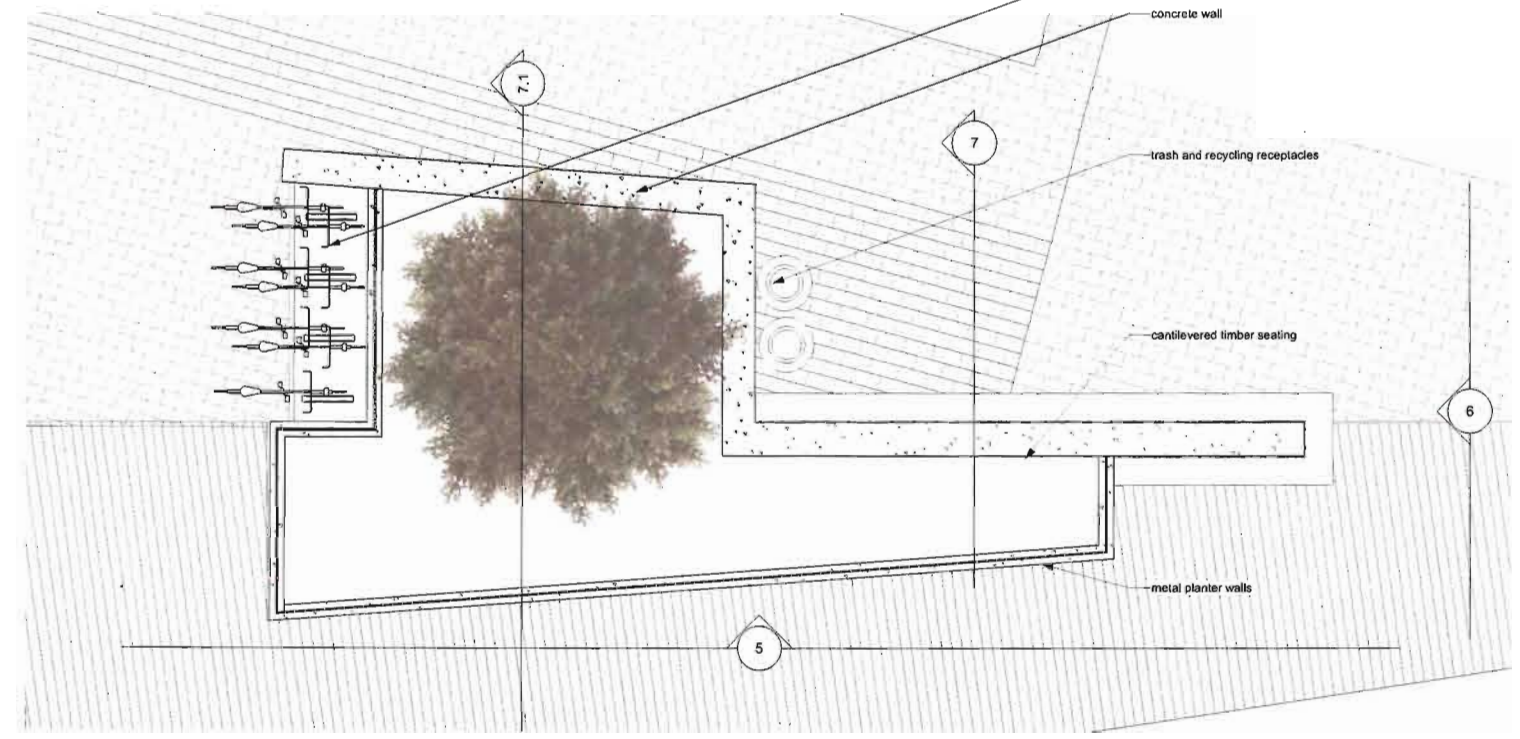
8 Section- Planter in Parking Area
Scale: 1/4" = 1'-0"



7 Section- Christmas tree planter
Scale: 1/4" = 1'-0"



7.1 Section- Christmas tree planter
Scale: 1/4" = 1'-0"

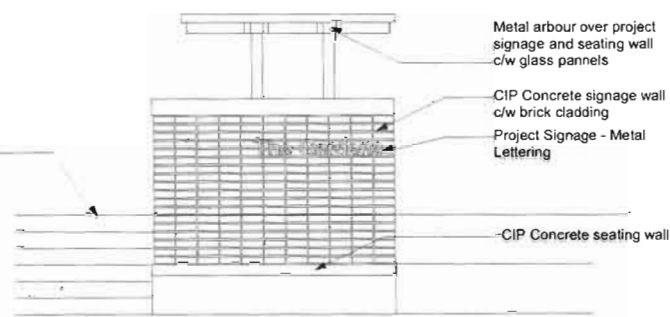


4 Plan- Christmas tree planter
Scale: 1/4" = 1'-0"

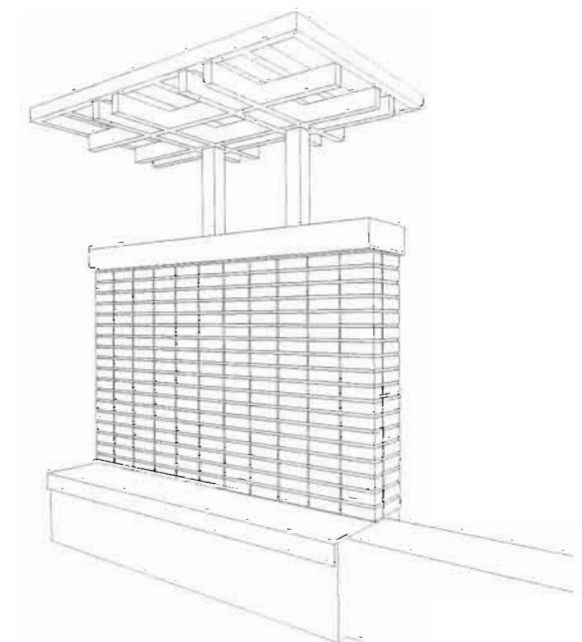


- Metal arbour c/w glass panels
- Privacy Screen
- Project Signage - Cast in place concrete wall with brick cladding and metal letters.
- Private Deck
- Cast in Place Concrete wall

CIP Concrete stair access to residential entry



- Metal arbour over project signage and seating wall c/w glass panels
- CIP Concrete signage wall c/w brick cladding
- Project Signage - Metal Lettering
- CIP Concrete seating wall



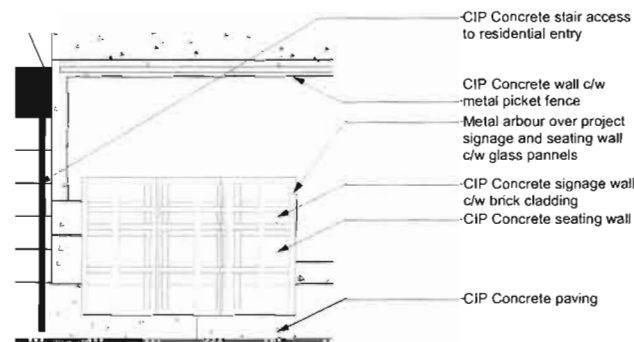
Revision No. Date Revision Notes

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/16/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for Client review
E	4/12/12	Issued for DP review
F	6/8/12	Issued for DP review
G	6/15/12	Issued for DP review
H	7/12/13	Issued for Client Review
J	7/17/13	Issued for Client Review
K	7/22/13	Issued for DP
L	11/6/13	Released for DP, subsequent Permits Issued for ADP Review

1 Elevation - Residential Lobby Entry
Scale: 1/4" = 1'-0"

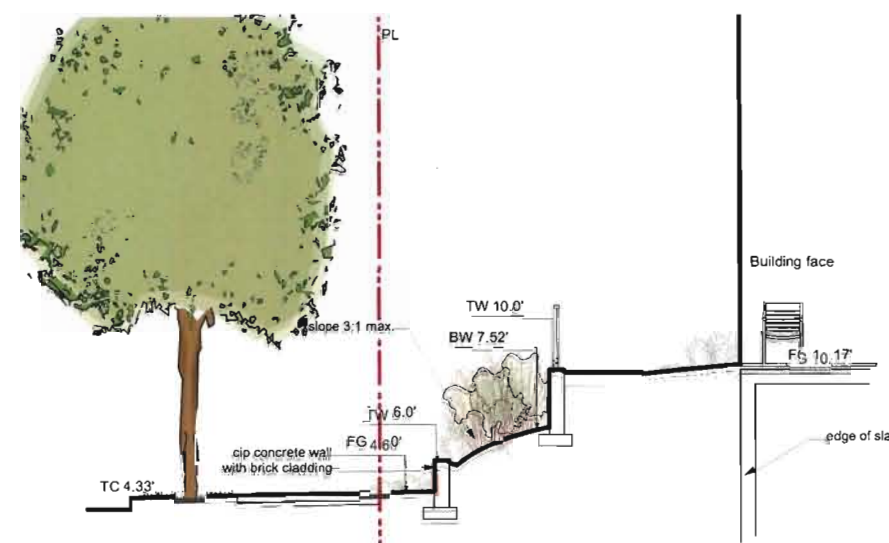
1.2 Elevation- Residential Lobby Entry Covered Seating area
Scale: 3/8" = 1'-0"

1.3 Isometric view- Residential Lobby Entry Covered Seating area
Scale: 3/32" = 1'-0"

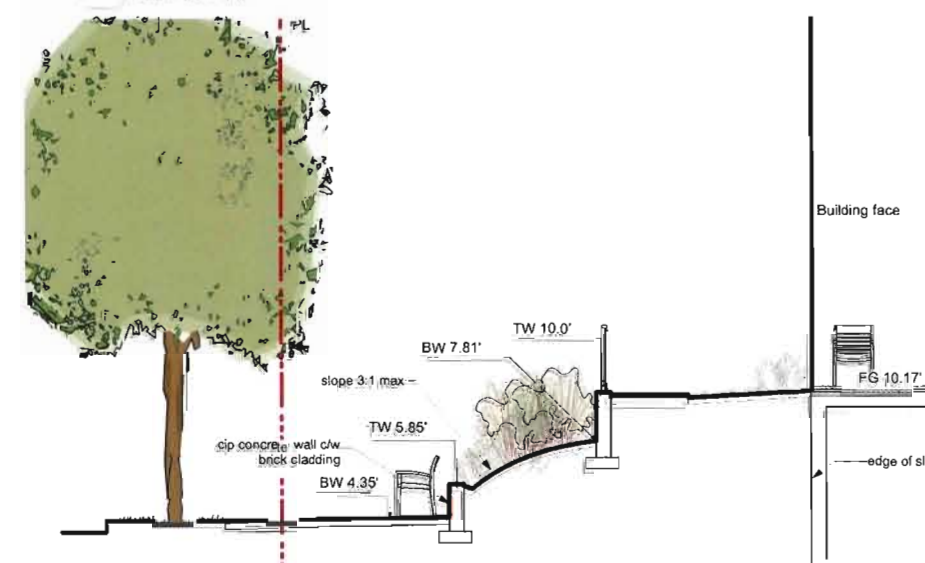


- CIP Concrete stair access to residential entry
- CIP Concrete wall c/w metal picket fence
- Metal arbour over project signage and seating wall c/w glass panels
- CIP Concrete signage wall c/w brick cladding
- CIP Concrete seating wall
- CIP Concrete paving

1.1 Plan- Residential Lobby Entry Covered Seating area
Scale: 3/8" = 1'-0"



4 Section- Typical terrace to curb at extended wall
Scale: 1/4" = 1'-0"



5 Section- Typical terrace to curb at recessed wall with seating area
Scale: 1/4" = 1'-0"

Professional Seal

Sheet No. 31
December 16, 2013
DP 13-641796



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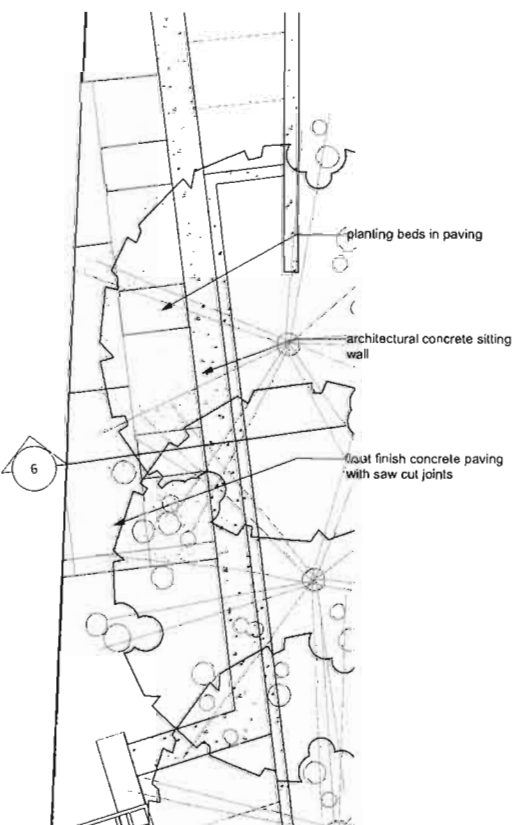
Project:
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title:
**Residential Lobby Entry,
Sitting area at #5 Rd. &
Terrace Typical Sections**

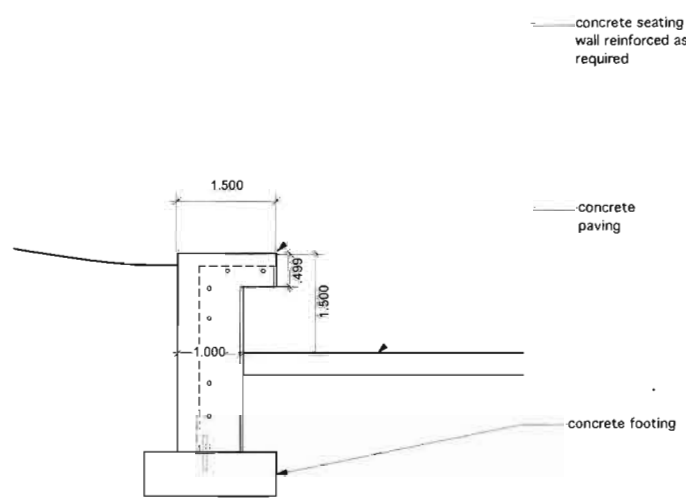
Legal

Project No.	21132
Drawn By	as noted
Reviewed By	DP L7
Date	Dec 14, 11

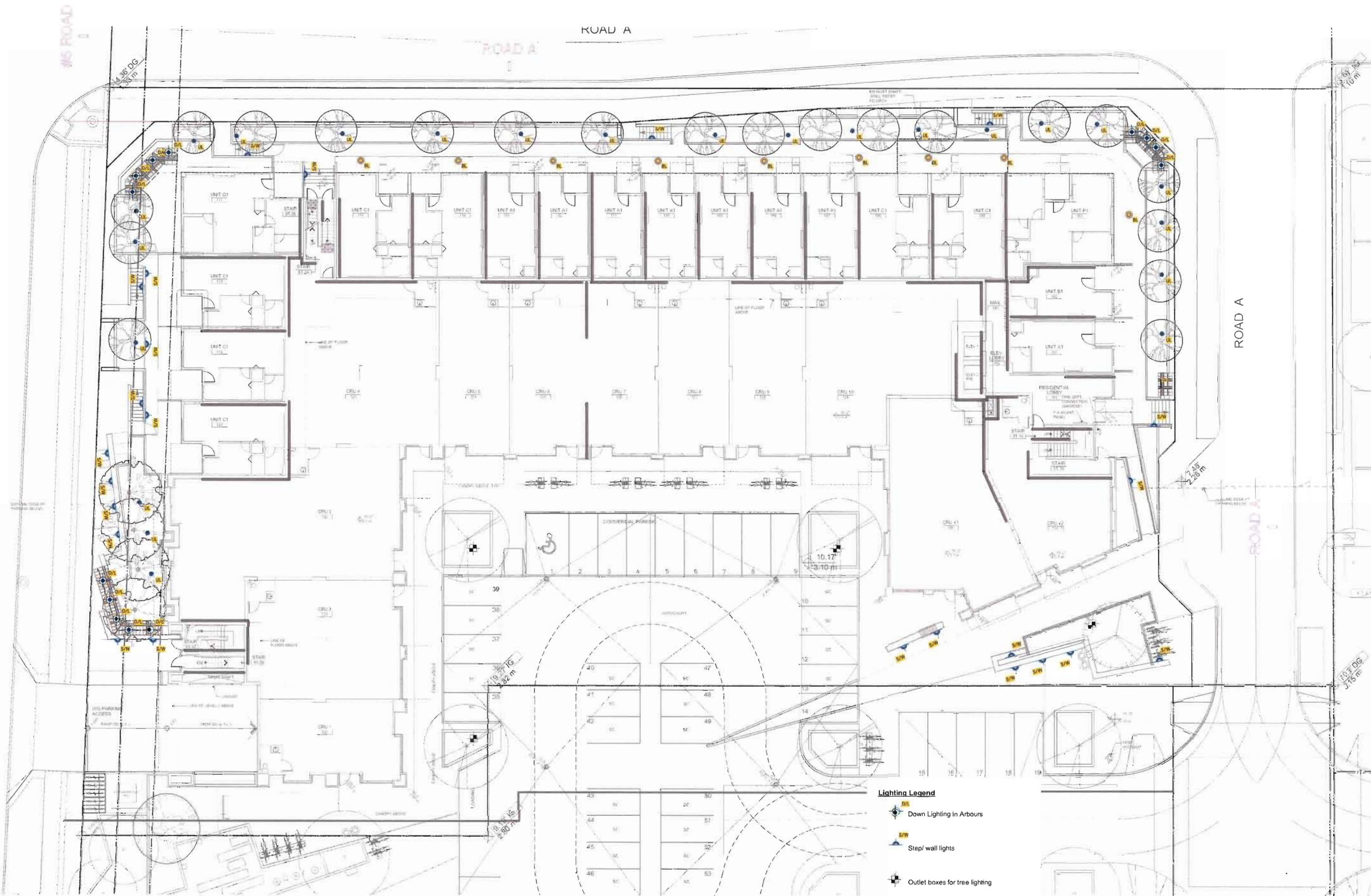
1/24/13



2 Plan- Sitting area on #5 Rd
Scale: 1/4" = 1'-0"



3 Detail: Seat Wall along No. 5 Rd.
Scale: 3/4" = 1'-0"



- Lighting Legend**
- Down Lighting in Arbours
 - Step/wall lights
 - Outlet boxes for tree lighting
 - Strip signage light
 - Up light
 - Bollard

Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (stair)
C	1/24/12	Issued for DP
D	3/20/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	8/15/12	re-issued for DP
H	7/12/13	Issued for CIPM Review
I	7/17/13	Issued for CIPM Review
J	7/25/13	Issued for DP
K	10/9/13	Reissued for Development Permit
L	11/6/13	Issued for ADP Revisions

Professional Seal

Sheet No. 32
December 16, 2013
DP 13-641796

eta
eckford tyacke + associates
architects & landscape architects

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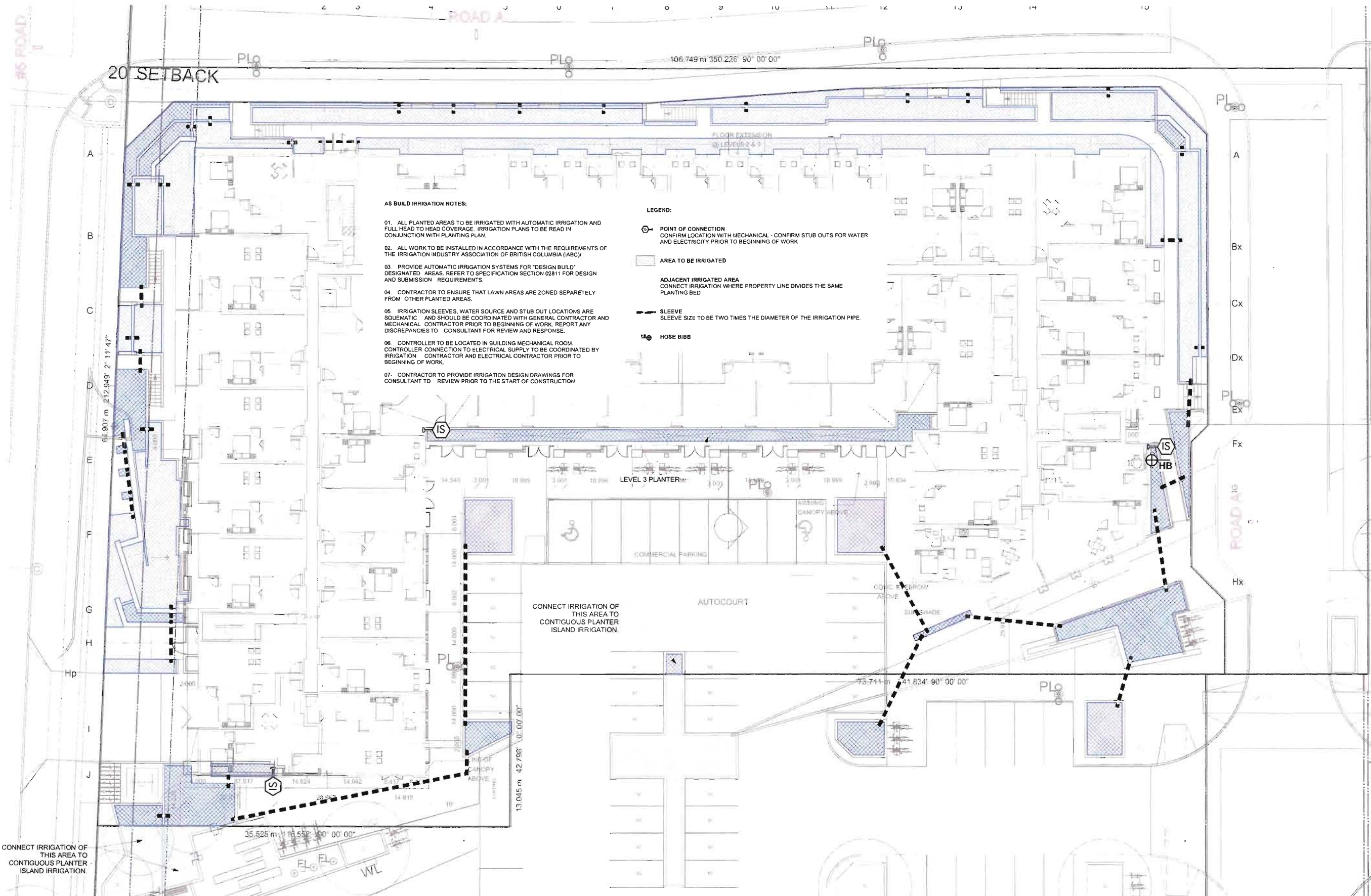
Project
The Gardens Building D
#5 Rd Richmond, BC

Drawing Title
Lighting

Legend	
Project Manager	Project ID
DL	21132
Client Ref	DATE
DL	1:150
Scale	Drawing ID
Reviewed By	DP L8
DATE	
Dec 14, 11	12
Plot Date: 11/6/13 G:\plans\DP\NS\DP-04-2013.wrk	

Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Released for Development Permit
L	11/6/13	Issued for ADP Revisions

Issue No.	Date	Issue Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/8/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Released for Development Permit
L	11/6/13	Issued for ADP Revisions



AS BUILD IRRIGATION NOTES:

01. ALL PLANTED AREAS TO BE IRRIGATED WITH AUTOMATIC IRRIGATION AND FULL HEAD TO HEAD COVERAGE. IRRIGATION PLANS TO BE READ IN CONJUNCTION WITH PLANTING PLAN.
02. ALL WORK TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE IRRIGATION INDUSTRY ASSOCIATION OF BRITISH COLUMBIA (IABC)
03. PROVIDE AUTOMATIC IRRIGATION SYSTEMS FOR 'DESIGN BUILD' DESIGNATED AREAS. REFER TO SPECIFICATION SECTION 02811 FOR DESIGN AND SUBMISSION REQUIREMENTS.
04. CONTRACTOR TO ENSURE THAT LAWN AREAS ARE ZONED SEPARATELY FROM OTHER PLANTED AREAS.
05. IRRIGATION SLEEVES, WATER SOURCE AND STUB OUT LOCATIONS ARE SCHEMATIC AND SHOULD BE COORDINATED WITH GENERAL CONTRACTOR AND MECHANICAL CONTRACTOR PRIOR TO BEGINNING OF WORK. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
06. CONTROLLER TO BE LOCATED IN BUILDING MECHANICAL ROOM. CONTROLLER CONNECTION TO ELECTRICAL SUPPLY TO BE COORDINATED BY IRRIGATION CONTRACTOR AND ELECTRICAL CONTRACTOR PRIOR TO BEGINNING OF WORK.
07. CONTRACTOR TO PROVIDE IRRIGATION DESIGN DRAWINGS FOR CONSULTANT TO REVIEW PRIOR TO THE START OF CONSTRUCTION

LEGEND:

- POINT OF CONNECTION
CONFIRM LOCATION WITH MECHANICAL - CONFIRM STUB OUTS FOR WATER AND ELECTRICITY PRIOR TO BEGINNING OF WORK
- AREA TO BE IRRIGATED
- ADJACENT IRRIGATED AREA
CONNECT IRRIGATION WHERE PROPERTY LINE DIVIDES THE SAME PLANTING BED
- SLEEVE
SLEEVE SIZE TO BE TWO TIMES THE DIAMETER OF THE IRRIGATION PIPE
- HOSE BIBB

Professional Seal

Sheet No. 33
December 16, 2013
DP 13-641796



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Project
**The Gardens
Building D**
#5 Rd Richmond, BC

Drawing Title
Irrigation Plan

Legal

Project Manager	Project ID
dt	21132
Drawn By	dt
Scale	1:150
Reviewed By	dt
Date	Dec 14, 11
Drawing No.	DP L9
	12

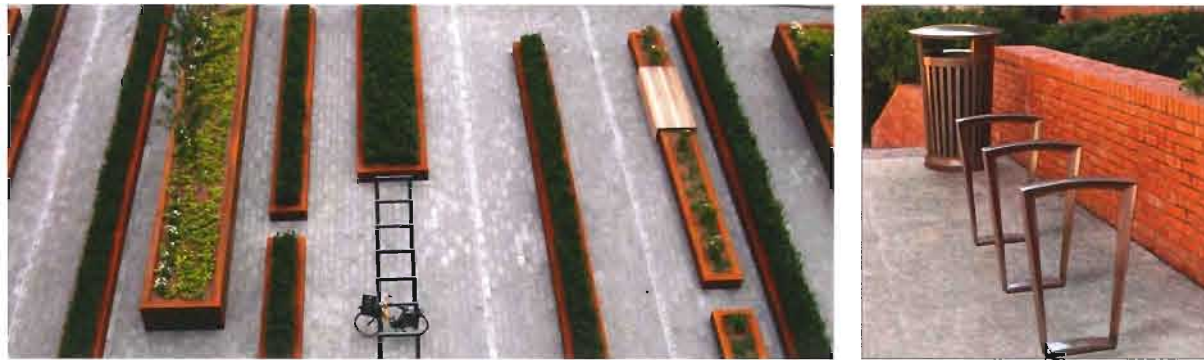
TREES



SHRUBS AND GROUNDCOVERS



SITE FURNISHINGS



bike racks
Landscape Forms 'Emerson'



benches
Maglin 'MLB970W'

Revision No.	Date	Revision Notes
A	1/5/12	Issued for Discussion
B	1/18/12	Issued for DP review (client)
C	1/24/12	Issued for DP
D	3/30/12	Issued for client review
E	4/12/12	Issued for review
F	6/6/12	Issued for review
G	6/15/12	re-issued for DP
H	7/12/13	Issued for Client Review
I	7/17/13	Issued for Client Review
J	7/25/13	Issued for DP
K	10/9/13	Reissued for Development Permit
L	11/6/13	Issued for ADP Revisions

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Sheet No. 34
December 16, 2013
DP 13-641796

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Project
The Gardens
Building D
#5 Rd Richmond, BC

Drawing Title
Precedent Images

Legal

Project Manager dt	Project ID 21132
Drawn By dt	Scale
Reviewed By Date Dec 14, 11	Drawing No. DP L10 at 12

Plot Date:
11/07/13
Gardens_DP November 04 2013.vwx

KEY PLAN



1 EAST



2 NORTH EAST



3 NORTH WEST

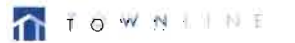


4 NORTH

No.	Description	Date	Dr.
6	Revision	NOV 20 2013	
5	ADP Revisions	NOV 05 2013	
4	Advisory Design Pkg#1	OCT 23 2013	
3	Re-Issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application/Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 35
December 16, 2013
DP 13-641796



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Sheet Title
PERSPECTIVES

Job No.	1115-100	Sheet No.	
Scale	-		
Drawn	MC		A7.01
Checked	AJ		
Approved	RK		
Date	2013.07.12	Revision	-



1 NORTH WEST



2 SOUTH



3 SOUTH - VIEW WEST



4 SOUTH - VIEW EAST

No.	Description	Date	Dr.
6	Revision	NOV 20 2013	
5	ADP Revisions	NOV 06 2013	
4	Advisory Design Panel	OCT 23 2013	
3	Re-issued for Development Permit	OCT 09 2013	
2	Issued for Development Permit	JUL 25 2013	
1	Pre-Application / Review Set	JUL 19 2013	

Revisions: Read Up

Sheet No. 36
December 16, 2013
DP 13-641796



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Sheet Title
PERSPECTIVES

Job No.	1115-100	Sheet No.	
Scale	-		
Drawn	MC		A7.02
Checked	AJ		
Approved	RK		
Date	2013.07.12	Revision	-



① ENTRY



② BALCONY VARIATION



③ NORTH FACADE ARTICULATION



④ L1 RESIDENTIAL SUITE ENTRIES



⑤ RESIDENTIAL TO COMMERCIAL



⑥ COMMERCIAL FRONTAGE

No.	Description	Date	Dr.
2	Revision	NOV 20 2013	
1	ADP Revisions	NOV 06 2013	
Revisions: Read Up			

Sheet No. 37
December 16, 2013
DP 13-641796



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Sheet Title
 PERSPECTIVES

Job No.	1115-100	Sheet No.
Scale	-	
Drawn	MC	A7.03
Checked	AJ	
Approved	RK	
Date	2013.11.06	
	Revision	-



To: Development Permit Panel

Date: December 16, 2013

From: Wayne Craig
Director of Development

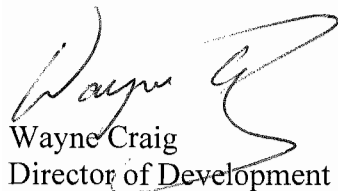
File: DP 13-642725

Re: Application by Amela Brudar - GBL Architects for a Development Permit at 8888
Patterson Road

Staff Recommendation

That a Development Permit be issued which would:

1. Permit the construction of the second phase of a five-phase, residential development at 8888 Patterson Road on a site zoned "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)" for a high-rise building containing 246 market dwellings and 17 affordable housing units (to be secured via a Housing Agreement), together with publicly-accessible open space and park; and
2. Vary the provisions of Richmond Zoning Bylaw 8500 to:
 - a) Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m; and
 - b) Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.



Wayne Craig
Director of Development

WC:spc
Att.

Staff Report

Origin

Amela Brudar – GBL Architects, on behalf of Concord Pacific, has applied to the City of Richmond for permission to construct Phase 2 of “Concord Gardens”, a five-phase, 97,704 m² (1 million ft²), multi-family residential development containing approximately 1,245 dwellings on a 3.05 ha (7.55 ac) site zoned “High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)” (**Attachment 1 & 2**). Phase 2 is the second of three phases planned for the developer’s north lot at 8888 Patterson Road (Lot 1), which phase includes 20,758.9 m² (223,454 ft²) of multi-family housing (263 dwellings, including 246 market dwellings and 17 affordable housing dwellings secured via a Housing Agreement), a large, indoor amenity facility with a pool, gymnasium, banquet hall, and bowling alley for the shared use of all “Concord Gardens” residents, and a 0.51 ha (1.27 ac) publicly-accessible open space (i.e. privately owned and maintained), all of which is to be constructed over a two-level parking structure concealed below finished grade.

Rezoning of “Concord Gardens” (RZ 06-349722) was adopted in January 2013, and is notable for, among other things:

- Being one of the first developments to voluntarily commit to funding the future construction of the Capstan Canada Line station, which contribution is payable on a phase-by-phase basis prior to Building Permit issuance, as per the City Centre Area Plan (CCAP) and Zoning Bylaw;
- Supporting the City Centre’s emerging “arts district” by providing 20 subsidized affordable housing units for professional artists in Phase 1 (over and above the City’s standard (5%) affordable housing developer contribution);
- Constructing various road improvements, including the extension of Hazelbridge Way in Phase 1 and bike network improvements in Phase 2;
- Providing for the phased construction of 9,220 m² (2.28 ac) of on-site, privately-owned, publicly-accessible open space, together with a 0.12 ha (0.30 ac) City-owned park within an unopened portion of Patterson Road (i.e. Patterson Street-End Park); and
- Contributing towards the construction of a new Capstan Village sanitary pump station.

Background

“Concord Gardens” is situated in a transitional, single-family area of Capstan Village that is characterized by older homes on large lots and expansive areas of vacant land. Existing development surrounding the “Concord Gardens” five-phase site includes, to the:

- North: Patterson Road, across which is a row of “Single Detached (RS1/F)” zoned lots (the north side of which backs on to Sea Island Way) designated under the CCAP for a maximum of 3.5 FAR, of which up to 2.5 FAR may be residential and the remainder shall be commercial (e.g., office).
- East: Garden City Road, across which is “The Oaks”, a predominantly “Single Detached (RS1/B and E)” zoned neighbourhood, together with Talmey Elementary School, which will in part serve the public school needs of the future residents of Capstan Village.

South: The former TransLink park-and-ride site, the Richmond Capstan Alliance Church, and three “Single Detached (RS1/F)” lots, which are designated under the CCAP for similar uses and densities to those proposed for the subject site.

West: Sexsmith Road, across which is a large area of predominantly vacant land zoned “Single Detached (RS1/F)” that is owned in part by the subject developer and in part by Pinnacle International, which has recently received approval for the development of 200 high-rise dwellings on a portion of its lands (RZ 10-544729, DP 12-604012) and is pursuing rezoning to permit an additional +/-1,000 dwellings, together with park and commercial uses, on its remaining property (RZ 12-610011).

Rezoning and Public Hearing Results

The Public Hearing for the rezoning of the subject site was held on February 20, 2012. During the rezoning process, issues were identified to be resolved at Development Permit (DP) stage, on a phase-by-phase basis, as follows:

Design Issues: Staff and the developer have worked together to address the following form and character issues. The developer’s response to each issue is described in ***bold italics***.

- 1) Variation in tower height, floorplate shape, and orientation are encouraged to provide for an interesting skyline.
 - ***Phase 2 is comprised of a slab-type building that steps down in height from west to east (i.e. from 47 m geodetic to 29.4 m and 24.5 m geodetic) and is arranged in a courtyard-like manner around a one-storey indoor/outdoor amenity facility oriented south towards the proposed Neighbourhood Park. Together, the proposed changes in building heights, massing, and park setbacks provide for visual interest at the building’s upper floors, while contributing towards an attractive setting for the development’s proposed private amenities and public open space uses at grade.***
- 2) Tall buildings must minimize shading of the proposed Neighbourhood Park, especially during peak periods and in high-use or sun-sensitive locations (i.e. children’s playgrounds, garden plots) in order to maximize public use and enjoyment of this important amenity.
 - ***Phase 2 will be situated north of the proposed Neighbourhood Park and will not shade this important public area; however, it will shade the proposed City-owned Patterson Street-End Park, which is to be located on the north side of the subject site. Nevertheless, as the primary role of this small park is that of a pedestrian and bike connection to the Garden City Road greenway/bike route, combined with informal sport court-type uses, shading caused by Phase 2 is expected to have a limited impact on the park’s overall amenity and can in part be addressed via the park’s detailed design (e.g., Servicing Agreement will include shade tolerant plants).***
- 3) Streetwall articulation is encouraged to visually break up long streetwalls and provide for an attractive, sensitive interface with the Neighbourhood Park, streets, and other pedestrian spaces.
 - ***The varied heights and courtyard-like massing of Phase 2’s residential building, together with changes in materials, a subtle palette of colours, and a highly articulated façade treatment, contribute towards an attractive, visually-engaging street- and park-scape design.***

- 8) The potential development impacts occurring between the subject development's various phases and between it and its future neighbours, especially in respect to potential view blockage.
- *Steps have been taken in the design of the subject development to minimize overlook between residential units and maximize view corridors between buildings. In addition, as recommended in the rezoning staff report, a covenant has been registered on the subject site notifying future residents of potential view and other impacts that may arise as a result of development on- and off-site.*

Aircraft Noise: In addition to the above design issues, at Public Hearing the Vancouver International Airport Authority submitted a letter expressing concern that “Concord Gardens” would introduce residential uses in an area affected by aircraft noise.

- *The subject site is situated in the Official Community Plan (OCP) Aircraft Noise Sensitive Development (ANSD) “Area 3”, which permits multi-family residential uses, as proposed, provided that a restrictive covenant is registered on title and acoustics reports are prepared at DP and Building Permit (BP) stages identifying necessary noise attenuation measures and confirming their implementation.*
- *The required aircraft noise covenant was registered on title prior to rezoning adoption, a satisfactory DP-stage acoustic report has been received and is on file, and the developer has agreed that the BP drawings will incorporate all measures necessary to satisfy the covenant and DP acoustic report recommendations.*

Staff Comments

The proposed scheme attached to this report has satisfactorily addressed the significant urban design issues and other staff comments identified as part of the review of the subject Development Permit application. In addition, it complies with the intent of the applicable sections of the Official Community Plan (OCP) and City Centre Area Plan (CCAP) and is generally in compliance with the “High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)” zone, except for the zoning variances noted below.

Through the rezoning review and approval process for “Concord Gardens”, phasing covenants and related legal agreements were registered on title requiring that various conditions are satisfied prior to DP issuance for Phase 2. The subject development satisfies all the requisite conditions, as described in ***bold italics***.

- 1) Affordable Housing: Within Phase 2, the developer must construct, at the developer's sole cost, at least 1,341.6 m² (14,441 ft²) of low-end market housing, secured via a Housing Agreement and Covenant.
 - *The subject Phase 2 development provides for a combined habitable floor area of 1,361.2 m² (14,652 ft²) of affordable housing comprised of seventeen (17) townhouse and apartment units along the development's north and east frontages (i.e. two bachelor, six 1-bedroom, seven 2-bedroom, and two 3-bedroom), as shown in the attached Development Permit. (Note: “Concord Gardens” Housing Agreement and Covenant were registered on title prior to rezoning adoption. Prior to issuance of the subject DP, the Housing Covenant will be amended to specify the approved sizes, locations, and types of affordable housing units to be constructed by the developer in Phase 2.)*

- 2) **Park & Publicly-Accessible Open Space:** The developer is required to design and construct, at the developer's sole cost, the proposed 0.12 ha (0.30 ac) Patterson Street-End Park (i.e. a City-owned park within an unopened portion of Patterson Road near Garden City Road) and the 0.514 ha (1.27 ac) portion of the proposed Neighbourhood Park situated within Phase 2 (i.e. privately-owned and maintained, publicly-accessible open space secured via a Statutory Right-of-Way for public park purposes).
- *Prior to issuance of the subject DP, the developer shall enter into a Servicing Agreement for the design and construction of the Patterson Street-End Park, to the sole satisfaction of the City and as generally described in the Patterson Street-End Park Concept (Attachment 4) and Conditional Development Permit Conditions (Attachment 8).*
 - *Prior to issuance of the subject DP, the developer shall submit a DP Landscape Letter of Credit to secure on-site landscape improvements for Phase 2, which shall include \$1,028,480.20 for the proposed construction of the portion of the Neighbourhood Park located within Phase 2, the value of which is based on 100% of the sealed cost estimate provided by the Landscape Architect (including labour and 10% contingency).*
 - *In addition, as the proposed publicly-accessible Neighbourhood Park will be a privately owned/maintained amenity, the existing Statutory Right-of-Way securing the park will be amended prior to DP issuance to provide for the addition of minimum acceptable maintenance specifications and standards, to the satisfaction of the City.*
- 3) **Roads & Related Off-Site Improvements:** The developer is required to design and construct, at the developer's sole cost, Patterson Road west of the Patterson Street-End Park to the private north-south road that bisects "Concord Gardens" (i.e. divides Phase 2 from Phase 1) and frontage improvements along Garden City Road, including the installation of a new pedestrian greenway and the extension of an existing on-street bike lane, together with additional improvements as determined through the subject DP review.
- *Prior to issuance of the subject DP, the developer shall enter into a Servicing Agreement for the design and construction of the required works along Patterson Road and Garden City Road, to the satisfaction of the City.*
 - *In addition, the Servicing Agreement shall provide for the developer's design and construction of a northward extension of the required Garden City Road frontage improvements to Sea Island Way in the form of a pedestrian walkway, separated off-street bike path, and related landscape enhancements within a publicly-accessible portion of a City-owned lot at 8991 Patterson Road. (Note that in recognition of these additional works, together with various on-site parking-related measures, the subject development shall be eligible for a 10% Transportation Demand Management parking relaxation, as per current Zoning Bylaw provisions.)*
- 4) **Public Art:** The developer is required to submit a detailed public art plan for the Neighbourhood Park (with a value of at least \$241,036), and enter into a public art agreement for implementing the plan, to the satisfaction of the City.
- *The developer has completed the required detailed public art plan, to the satisfaction of Richmond's Public Art staff. The plan proposes that art, valued at \$310,092, should be situated within the proposed Neighbourhood Park (based on the current Council-*

approved rate of \$0.77/ft² of buildable floor area in Phase 2 and future Phase 3, less the floor area of affordable housing). (Note that Public Art Committee approval was granted at rezoning stage.)

- *Prior to issuance of the subject DP, a covenant shall be registered on the subject site restricting occupancy of Phase 2, in whole or in part, until the detailed public art plan has been implemented to the satisfaction of the City, including documentation of the works.*
- 5) Registration of Various Legal Agreements: The developer is required to register a number of legal agreements restricting Building Permit issuance until various conditions are satisfied.
- *View Blockage and Other Potential Development Impacts: The purpose of this agreement is to notify potential purchasers of Phase 2 dwellings of possible view, noise and other development-related issues, and to ensure that appropriate measures are incorporated into the development's design and construction. This agreement was registered on title through BP 13-643300 for Phase 1, and the architect has provided a letter of assurance confirming that appropriate architectural, acoustic, and mechanical measures have been incorporated into the DP design for Phase 2.*
 - *Transitional Parking Strategy and Electric Vehicle (EV) and Bike Charging Stations: The purpose of this agreement is to provide for the phasing of vehicle parking for the three phases of "Concord Gardens" located at 8888 Patterson Road (i.e. Phase 1/ DP 12-611486 approved, Phase 2, and future Phase 5) as per Zoning Bylaw requirements, together with Class 1 bike storage and Electrical Vehicle (EV) Charging Stations as per OCP and Transportation Demand Management (TDM) policy. This agreement was registered on title through BP 13-643300 for Phase 1, and the appropriate measures have been incorporated into the DP design for Phase 2.*
 - *Tandem Parking: A covenant has been registered on title in respect to all the parking to be constructed at Phase 1 (approved) and Phase 2 (which parking will be provided within a single, shared parkade). (Note that only Phase 1 includes tandem spaces.)*
 - *Shared Residential Amenity Space: Prior to issuance of the subject DP, an agreement shall be registered on the subject site, which provides for the residents of all five phases of the "Concord Gardens" development to make use of indoor and outdoor amenity spaces located on Levels 2, 3, and 4 of Phase 2, including an indoor pool, gymnasium, banquet hall, bowling alley, games room, fitness facility, and related amenities.*

NOTE: All Engineering requirements in respect to Phase 2 of the "Concord Gardens" development have been resolved via RZ 06-349722 and the related Servicing Agreements (SA 12-616223 and SA 12-626906). No additional Servicing Agreement is required for Phase 2 for engineering purposes.

Zoning Compliance/Variances (staff comments in *bold italics*)

The subject site is zoned "High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre)", a site-specific zone only applicable to the "Concord Gardens" five-phase development site. The applicant requests to vary the provisions of Richmond Zoning Bylaw 8500 to:

- 1) Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
 - ***Staff support the proposed 1.4 m reduction in minimum permitted setback as the proposed features will have a negligible impact on nearby development and enhance the appearance of the development's upper storeys by:***
 - *Softening the transition between the building's high-rise and mid-rise forms; and*
 - *In the case of the cantilevered roof, incorporating punched openings that will make the roof appear as a decorative silhouette against the sky when viewed from below.*
- 2) Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
 - ***Staff support the proposed 5.4 m increase in maximum permitted building height as the proposed features are small, will have a negligible impact on nearby development, and are needed for access to and use of the development's rooftop residential amenities.***

Advisory Design Panel (ADP) Comments

The subject Phase 2 development was presented for consideration by the ADP on October 23, 2013. The Panel voted unanimously in favour of the application advancing to Development Permit Panel, subject to the applicant giving consideration to the Panel's comments. A copy of the relevant excerpt from the Advisory Design Panel Minutes of October 23, 2013 is attached for reference, together with the response from the applicant in ***bold italics (Attachment 5)***. In brief, the Panel encouraged the applicant to undertake design development to enhance the appearance of the building's Patterson Road façade, address potential nuisance (e.g., skateboarding), maintenance, and interface issues in association with the proposed Neighbourhood Park, enhance the privacy of the townhouse unit's front yards, and strive to achieve additional LEED energy points. Accordingly, the developer has made various changes to the design, including greater articulation long the Patterson Road frontage, refinements in the landscaping of the park and private yards, and a 10% increase in the project's LEED points (***Attachment 6***). It is the opinion of staff that the developer has satisfactorily addressed the Panel's comments.

Analysis

The "Concord Gardens" development is subject to OCP and CCAP policies, DP Guidelines, a site-specific zone, and legal agreements registered on title that together guide its use, density, form, and character as a high-density, multi-phase, residential development. More specifically, Phase 2 of "Concord Gardens" is designated for the development of a large, residential building along its north side framed by a small City-owned park on its north (i.e. Patterson Street-End Park) and a 0.51 ha (1.27 ac), privately-owned/publicly-accessible Neighbourhood Park on its south, the latter of which includes, among other things, public art, a children's playground, an off-leash dog park, and complementary amenities constructed over two storeys of residential parking.

Staff's review of the "Concord Gardens" Phase 2 development proposal finds it to be a well-considered, attractive design that is consistent with City objectives for the emerging Capstan Village area and deserving of favourable consideration as follows.

Conditions of Adjacency

Through the “Concord Gardens” rezoning process, it was determined that Phase 2 would be a key focus of the overall development, incorporating the majority of the proposed privately-owned/publicly-accessible Neighbourhood Park and a large, south-facing, club-like, indoor/outdoor recreation facility for the shared use of all “Concord Gardens” residents. The development takes advantage of this concept to help address conditions of adjacency as follows:

- 1) A long, narrow, slab-type residential building is proposed to stretch the length of the north side of the Phase 2 site. This serves to maximize the size and openness of the proposed Neighbourhood Park, provide for increased sunlight to the park and surrounding dwellings, increase views to and across the park, and reduce overlook between dwellings. In addition, 60% of Phase 2’s Garden City Road frontage will be park, which will improve the appearance of this prominent streetscape, enhance the pedestrian experience of the Garden City greenway, and reduce the development’s visual impact on the low-density residential area east of Garden City Road.
- 2) A south-facing, courtyard-type built form is proposed that will serve to set much of the building’s bulk well back from the park edge, frame Phase 2’s large, indoor/outdoor, amenity facility, and open the development’s proposed landscaped water garden to public view. Together, these features will visually expand the apparent size of the park, provide for passive surveillance of both the park and the amenity, and enable the proposed private and public recreation activities to co-exist side-by-side without the need for fences or barricades.
- 3) A highly articulated, north-facing streetwall is proposed along the north face of Phase 2, which is designed, in part, to function as two discrete, yet integrated, buildings each with its own entry lobby, weather protection, and signage (i.e. a more urban tower fronting Patterson Road and a more residential, mid-rise form fronting the proposed Patterson Street-End Park with townhouses at its base). This will provide for a visually interesting, pedestrian-friendly streetscape and complement future development (by others) along Patterson Road’s north side.

Urban Design and Site Planning

The overall form of development proposed for Phase 2 of “Concord Gardens” is consistent with City objectives established for the subject site through the rezoning process and will contribute towards an attractive, pedestrian-friendly, high-density environment. More specifically:

- 1) As noted above, the courtyard-like form of the building expands the effective size and amenity of the proposed Neighbourhood Park and provides for strong definition along its north edge, while the other side of the building presents an articulated streetwall form broken-up to reduce the apparent overall scale of the development and provide pedestrian interest.
- 2) The building’s east and west ends are kept relatively narrow to minimize impacts on adjacent development and maximize views of the park from the surrounding area.
- 3) All of the development’s parking is concealed below finished grade, which effectively minimizes the portion of the site occupied by building, maximizes useable open space opportunities (i.e. 55% of the subject site will be developed for public recreation in the form

of the Neighbourhood Park), and provides for a variety of accessible grade changes around and within the site that contribute towards an engaging and visually interesting landscape.

- 4) The development's large, multi-storey, club-like amenity facility presents a prominent, welcoming image both along "Concord Gardens" private north-south street and the Neighbourhood Park, which contributes towards a mutually complementary relationship between the facility's recreation uses and the surrounding public realm.
- 5) Garbage operations are fully contained within the building, and access for parking, loading, and recycling is grouped in one location near the end of Patterson Road where these activities will have least impact on the public realm.

Architectural Form and Character

The CCAP encourages the City Centre to be developed as a mosaic of distinctive, yet cohesive, urban villages. The design of the subject Phase 2 development builds on the clean, contemporary, architectural vocabulary established in "Concord Gardens" Phase 1, but intentionally avoids repetition by moving towards a cooler, less bold colour palette and finer, lighter architectural forms. More specifically, the building is composed of three strong layers:

- 1) Base: The lower floors of the building are designed to be expressive and pedestrian oriented:
 - The amenity facility on the building's south side presents a sophisticated, club-like image expressed through a cool, minimalist colour palette, the horizontal lines of its expansive, south-facing windows, and the exposed structural supports that create deep, sun-protected arcades and define generous patio areas across the face of its indoor pool, gym, and banquet hall.
 - The club-like image of the amenity facility continues around the west side and northwest corner of the building, punctuated by variations in glazing patterns, materials, and colours that, together with weather protection and crisp canopy signage, greet residents and their guests to the amenity facility entrance on "Concord Gardens" private north-south street and the more formal and subdued, residential tower entrance on Patterson Road.
 - Elsewhere, the perimeter is generally characterized by a regular pattern of 2-storey, brick-fronted townhouse units, each with its own individual entrance via a slightly raised, landscaped front yard/patio with a contemporary entry feature (i.e. address signage, light). This will contribute to a more intimate, residential ambience complementary to the fronting public park and open space areas.
- 2) Middle: The mid-rise portion of the building, which is the building's predominant feature, is composed of a playful series of cubic forms that provide for visual interest via shifts in scale, texture, and colour that vary across the building's facades:
 - Horizontal projecting and inset balconies with by-pass guards and coloured banding that conceal the balcony edges are used in combination with off-set, vertical windows, coloured spandrel panels, and slim, painted concrete frames to create tightly tailored fields of colour and texture.
 - Slim brick grids and frames are introduced to break-up the fields of glass and colour into separate "buildings" and signal building entries.

- The upper edge of the mid-rise treatment steps down in height towards the east to visually accentuate the development's massing (which likewise transitions from higher on the west to lower near Garden City Road), while the bottom edge of the mid-rise treatment strikes a clean "tide line" that draws attention to the special uses at the building's base.
- 3) Top: The upper portion of the building is kept intentionally light and airy in appearance to reduce the apparent bulk of the upper storeys and contribute to a visually appealing skyline:
- In contrast to the more colourful, textural mid-rise floors that step down towards the east, the upper floors of the high-rise tower are lighter, more transparent, and glassy and strike a calm horizontal line.
 - Penthouse tower units incorporate broad bands of uninterrupted windows and balconies (some with generous roof terraces) that are designed to maximize opportunities for residents to enjoy views of the park and beyond.
 - Wide cantilevered roof projections at the top of the building incorporate a slim edge profile and punched openings that present a clean, contemporary finish to the tower and will provide for a geometric silhouette against the sky when viewed from street level, the park, and the building's lower storeys.

Indoor & Outdoor Amenity Space

Based on City policy, to meet the anticipated amenity needs of the residents of the subject development's 263 units, the developer is required to provide 526 m² (5,662 ft²) of indoor amenity space and 1,990 m² (21,421 ft²) of outdoor amenity space, the latter of which should include a minimum of 600 m² (6,459 ft²) of children's play space and 412 m² (4,435 ft²) of landscaping (i.e. based on CCAP requirements for 10% of the site to be landscaped). The developer, however, wishes to exceed the City's minimum standards in order to take advantage of the unique opportunity afforded by the "Concord Gardens" five-phase development to create a large, club-like amenity facility for the shared use of all Phase 1-5 residents in addition to providing amenity space for the sole use of Phase 2. In total, the developer proposes to construct 1,862 m² (20,040 ft²) of indoor amenity space and 2,083 m² (22,426 ft²) of outdoor amenity space, which represent 350% and 118% of the City's indoor and outdoor amenity requirements respectfully. The project's proposed shared Phase 1-5 amenities will be secured via legal agreement on title for the common use of all "Concord Gardens" residents.

- 1) Shared Phase 1-5 Indoor/Outdoor Amenity: This concierge-managed amenity space, proposed for Levels 2, 3, and 4 of the building, includes 1,715.7 m² (18,468 ft²) of indoor amenity space and 1,548.9 m² (16,672 ft²) of outdoor amenity space and includes for the following amenities:
- A large, part-gradual entry, indoor swimming pool with direct access to outdoor patio space for lounging and barbequing overlooking the Neighbourhood Park, together with a hot tub and sauna;
 - A gymnasium, sized for badminton and half-court basketball, the design of which includes a children's climbing wall and storage for play toys and recreation equipment;
 - A 2-storey fitness facility with large windows and a broad range of fitness equipment;

- Change rooms with showers, including a family change room and day lockers;
- A large multi-purpose room designed to accommodate banquets, with a serving kitchen, views over the Neighbourhood Park, and direct access to a large, wrap-around patio with fire pits, barbeque facilities, and space for dining, lounging, and parties;
- A games level for relaxing and socializing, including a pool table, table tennis, golf simulator, 20-seat movie theatre, and bowling alley;
- A landscaped water garden comprised of a network of shallow, reflecting ponds, bridges, and patios including, at its focus, a garden pavilion for yoga, tai chi, and relaxing; and
- Maintenance and storage facilities, including space for the storage of seasonal and banquet furniture and equipment.

2) Phase 2 Indoor/Outdoor Amenity: This amenity space is intended to provide for the everyday needs of the residents of Phase 2 and will not be accessible to the residents of the other four phases of “Concord Gardens”. More specifically, the development provides for:

- At Level 4, a 77 m² (824 ft²) multi-purpose room with a 28 m² (302 ft²), south-facing deck for strata meetings, family parties, and casual get-togethers;
- At Level 11 (the mid-rise rooftop), a 70 m² (748 ft²) multi-purpose room designed to function as a glassed-in garden room that will enhance the use of the associated 702 m² (7,560 ft²) outdoor amenity space, which includes agricultural garden plots (together with tool storage, running water, and space for compost), areas for seating, relaxing, dining, and barbecuing, a combination of intensive and extensive green roofs, and trees for shade and visual appeal; and
- Within the Level 11 outdoor space, a children’s playground including toys installed on a resilient surface, a sand box, and a hard surface play area, the use of which is primarily intended for younger children who may not be adequately served by the Neighbourhood Park and Patterson Street-End Park. The size of the proposed play space is 96 m² (1,038 ft²), which is less than the 600 m² (6,459 ft²) recommended under current City policy; nevertheless, staff support the developer’s proposal on the basis that:
 - The subject development proposes to provide indoor amenity space far in excess of City requirements;
 - The shared (Phase 1-5) indoor amenity space has been designed specifically with the needs of children and their families in mind (e.g., gradual-entry pool, children’s climbing structure and toy storage in the gym, and a family change room); and
 - The developer will be providing for alternate play opportunities suitable for a broad range of ages and interests in the privately-owned, publicly-accessible Neighbourhood Park.

Landscape Design & Open Space Design

The CCAP encourages the development of Capstan Village with a network of small- and medium-sized neighbourhood parks for public use, linked with walkways and bike paths, and complemented by attractive on-site private and semi-private open space amenities and landscape features. Elements of the subject development’s landscape and open space design include the following:

- Neighbourhood Park: Phase 2 provides for a 0.51 ha (1.27 ac) publicly-accessible, privately-owned/maintained open space (secured via the DP Landscape Letter of Credit), including:
 - A large children`s playground incorporating an interactive water feature, swings, a slide, and a climbing structure on a raised knoll that makes the area a feature of the park;
 - A large lawn ringed with shade trees for picnics, informal active play, and relaxing;
 - Adult fitness equipment;
 - A fenced, off-leash dog park;
 - An accessible hillside treated as an “edible landscape” with various types of berries;
 - A stream-like water feature, incorporating informal and formal edge treatments; and
 - Seating, planting, pathways, and related features.

- Patterson Street-End Park: As required to satisfy legal agreements registered on title prior to rezoning, as part of Phase 2 the developer is required to design and construct, at the developer`s sole cost (via a City Servicing Agreement), a park for the active and passive use of the general public within an unopened portion of Patterson Road. This City-owned park will include, but may not limited to, a walkway along its south side, a shared bike/pedestrian path along its north side, a hard surface, informal sports court, lawn, seating and picnic benches, planting and trees, and the enhancement of an existing drainage swale along the park`s north edge (including the removal and replacement of invasive species).

- Garden City Greenway & Bike Path: As required to satisfy legal agreements registered on title prior to rezoning, as part of Phase 2 the developer is required to design and construct, at the developer`s sole cost (via a City Servicing Agreement), a pedestrian walkway, street lighting, landscape, and cycling improvements along the full Garden City Road frontage of “Concord Gardens” (i.e. Phases 2 and 3), the Patterson Street-End Park, and the publicly accessible portion of the City-owned lot at 8991 Patterson Road to Sea Island Way.

- Private Outdoor Space: In addition to the outdoor, semi-private amenity spaces proposed as part of the development`s shared Phase 1-5 (grade level) amenity and separate Phase 2 (rooftop) amenity, all residential units will have outdoor space in the form of front yards, roof decks, or balconies. These spaces are either inset to create separation and privacy between adjacent units or separated with privacy screens incorporating planter boxes and extensive green roofs.

- Tree Replacement: A tree inventory and assessment were completed prior to rezoning and updated via the subject DP review. Requirements with respect to Phase 2 include:
 - Existing on-site trees will be removed and replaced on-site via the subject DP, including tree planting within the Neighbourhood Park as determined to the satisfaction of Richmond Parks;
 - Tree protection will be installed and an arborist will be retained to protect and monitor existing trees on adjacent property (i.e. future Phases 3 and 4) during the construction of Phase 2, as per City policy; and
 - The developer will contribute \$3,900 to the City`s Tree Compensation Fund for the planting of replacement of trees elsewhere in the city in respect to trees the developer proposes to remove from City road right-of-ways, as determined by Richmond Parks.

Transportation

- 1) **Transitional Parking Strategy**: In compliance with CCAP policy and Richmond’s Zoning Bylaw, the developer proposes to implement a transitional parking strategy for the three phases of “Concord Gardens” situated on its property at 8888 Patterson Road. This strategy addresses vehicle parking, Class 1 (resident) bike parking, and Electrical Vehicle (EV) Charging Stations (**Attachment 7**), and will be secured via a legal agreement on title prior to the issuance of the subject Development Permit. More specifically:
 - ***Vehicle Parking***: The Zoning Bylaw requires that any multi-phase development in Capstan Village must provide extra vehicle parking in its early phase(s) over and above the minimum Bylaw requirement (i.e. “Parking Zone 2” versus “Parking Zone 1”) and secure that extra parking for the future use of later phase(s) so that, at build-out, the combined total amount of vehicle parking provided at all phases will comply with “Zone 1”. The rationale for this approach is that the extra parking is useful in the near-term, prior to the construction of the Capstan Canada Line station, but unnecessary in the longer-term when the Village is better established (e.g., amenities, shopping, jobs, child care) and more convenient Canada Line service is expected. The developer’s proposed strategy is consistent with the City’s objectives and provides for at least 442 parking spaces being constructed at Phase 2 of which 299 will be for the permanent use of Phase 2 and 143 shall be secured via legal agreement for future use of Phase 5 (i.e. available on an interim basis for the use of Phase 2).
 - ***Bike Parking***: Similar to the project’s vehicle parking, as part of Phase 2 the developer proposes to pre-build Class 1 bike parking for the future use of Phase 5, as set out in the Transitional Parking Strategy. (**Attachment 7**)
 - ***Vehicle & Bike EV Charging Stations***: In addition to stipulating minimum numbers of vehicle and bike parking spaces, the proposed Transitional Parking Strategy (**Attachment 7**) also sets out the project’s required number and phasing of EV facilities. Furthermore, as proposed, the development exceeds City requirements, as follows:
 - Phases 1, 2, and 5 all comply with current OCP EV standards, even though the approval of Phase 1 pre-dates any OCP requirement to provide EV facilities (which represents an extra 108 EV charging stations and 90 EV rough-ins for cars and an extra 40 EV charging stations for bikes); and
 - Six 240V quick-charge stations are proposed for the shared use of all phases (which stations are not required under current OCP policy).
- 2) **Transportation Demand Management (TDM) Measures**: The Zoning Bylaw provides for reductions of up to 10% of required parking spaces based on a development’s provision of TDM measures to the satisfaction of the City. With respect to the subject Phase 2 development, those measures include the developer’s proposal to provide for:
 - EV charging facilities over and above current OCP standards (as described above);
 - A voluntary contribution of \$25,000 for the installation of a transit shelter off-site; and
 - Public open space improvements (at the developer’s sole cost via a Servicing Agreement) in and around the City-owned lot at 8991 Patterson Road, including a public walkway and off-street bike path linking Sea Island Way with pedestrian/bike amenities within the Patterson Street-End Park and along Garden City Road, to the satisfaction of the City.

3) Loading & Waste Collection: As with parking, a coordinated strategy is proposed to address the loading, garbage, and recycling needs of Phases 1, 2, and 5. More specifically, the agreed strategy includes the following:

- **Loading**: Loading for Phases 1 and 5 include accommodation for one large truck (WB-17) on the publicly-accessible, north-south road (that divides Phase 1 from Phase 2) and three medium trucks (SU-9) within the building. Phase 2 will share the large truck loading space provided by Phase 1, and provide for one additional medium truck (SU-9) loading space, which will be located within Phase 2 adjacent to its parking entrance.
- **Recycling**: While recycling facilities for Phases 1 and 5 are disbursed in three rooms constructed as part of Phase 1, the recycling facilities for Phase 2 are consolidated in a single room, which is conveniently situated near Phase 2's Patterson Road driveway and loading area (which has extra overhead clearance to accommodate recycling vehicle activities).
- **Garbage**: Garbage collection for all three phases will take place inside the parking structure (private pick-up using low profile vehicles) with vehicle access from Patterson Road via the Phase 1 driveway (for Phases 1 and 5) and Phase 2 driveway (for Phase 2).

Accessible Housing

Richmond's OCP seeks to meet the needs of the city's aging population and people facing mobility challenges by encouraging the development of accessible housing that can be approached, entered, used, and occupied by persons with physical or sensory disabilities. To address the City's policy, the developer proposes to provide:

- 1) Barrier-free access to both residential lobbies from the fronting street/park.
- 2) Barrier-free access to all indoor and outdoor amenity spaces (both at grade and on the mid-rise rooftop), together with provisions for the future installation (by others, if so desired) of a battery-operated swimming pool lift to facilitate easy entry into the water for wheelchair users (e.g., adequate clearances, anchor points).
- 3) 48 Basic Universal Housing (BUH) units (i.e. 18% of total units) designed to Zoning Bylaw standards to provide for their ready renovation to accommodate wheelchair users, including:
 - 11 affordable housing unit (i.e. 64% of Phase 2 affordable housing units); and
 - 37 market housing units (i.e. 15% of Phase 2 market units).

(Note: The developer does not plan to take advantage of the Zoning Bylaw's permitted density exclusion of 1.86 m² (20 ft²) per BUH unit.)

- 4) Aging in place features in all dwellings, including:
 - Stairwell hand rails;
 - Lever-type handles for plumbing fixtures and door handles; and
 - Solid blocking in washroom walls to facilitate future grab bar installation (by others) beside toilets, bathtubs, and showers.

Crime Prevention through Environmental Design (CPTED)

Measures are proposed to enhance safety and personal security including, but not limited to:

- 1) The parking structure and lobbies are designed to minimize alcoves and hidden corners;
- 2) The parking structure will be well lit and its interior will be painted white;
- 3) Elevator lobbies and vestibules will include glazing as per Building Code requirements;
- 4) Outdoor amenity spaces will be visually open and well lit, offer multiple access options, and be separated from public areas by landscape and/or water features;
- 5) The development's site planning and building design provides for the passive surveillance of all street and park frontages;
- 6) Lobbies are placed in prominent locations, and have clear sightlines to fronting streets and public open spaces; and
- 7) The west tower and amenity entrances will be supervised by a concierge.

Sustainability Measures – LEED “Silver”

The project's sustainability goal is to provide a cost-effective, high-value development that meets or exceeds City standards (i.e. LEED “Silver” equivalent) and the standards targeted for Phase 1 (i.e. 60 LEED points versus 52). The development proposal responds to City objectives for enhanced long-term environmental, fiscal, and social sustainability as per the attached LEED Checklist (**Attachment 6**). In brief, the proposed development will:

- 1) Be District Energy Utility (DEU) “ready”, such that it will be capable of connecting to a City DEU system when one comes available;
- 2) Undergo simulations for energy analysis to optimize performance;
- 3) Incorporate rainwater management measures aimed at reducing the volume of stormwater entering the City storm system via the retention and re-use of rainwater for landscape irrigation, a supplementary water source for water features, and the nourishment of rain gardens within public spaces;
- 4) Include intensive and extensive green roofs, vegetated outdoor areas, and agriculture plots;
- 5) Provide funding towards the construction of the Capstan Canada Line station, implementation of Transportation Demand Management (TDM) measures, construction of an off-street bike path and frontage improvements, and the establishment of a multi-phase “transitional parking strategy” aimed at minimizing parking demand and supporting transit and alternative travel modes;
- 6) Include EV charging stations for vehicles and bikes, including six quick-charge stations; and
- 7) Incorporate water efficient irrigation (i.e. moisture sensor system) and plumbing fixtures (e.g., low-flow shower, kitchen, and lavatory faucets and dual flush toilets).

Conclusions

The proposed development is consistent with Richmond's objectives for the subject property and Capstan Village, as set out in the OCP and City Centre Area Plan, and the Zoning Bylaw. The project's proposed variations in heights, articulated streetwalls, subdued colour palette, and courtyard form wrapped around its club-like amenity facility will provide for a high-quality residential setting, complement the use and appearance of the proposed privately-owned/publicly-accessible Neighbourhood Park, and make the subject development an attractive feature of the emerging "Concord Gardens" neighbourhood. Furthermore, the project's proposed Neighbourhood Park, Patterson Street-End Park, and related on- and off-site road and open space improvements have been designed with local users and long-term maintenance responsibilities in mind. On this basis, staff support the proposed development and recommend approval of the subject Development Permit application.

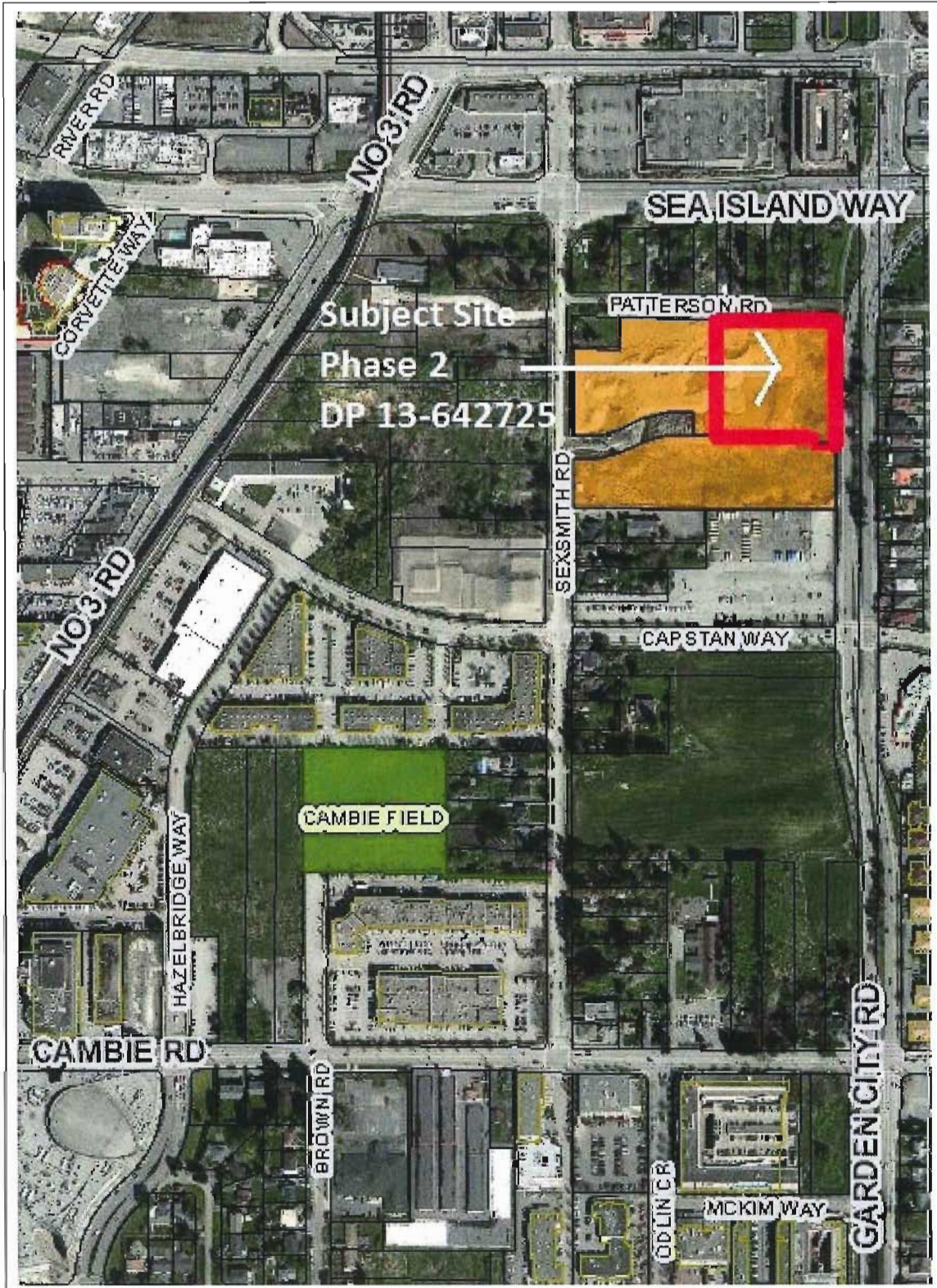


Suzanne Carter-Huffman
Senior Planner/Urban Design

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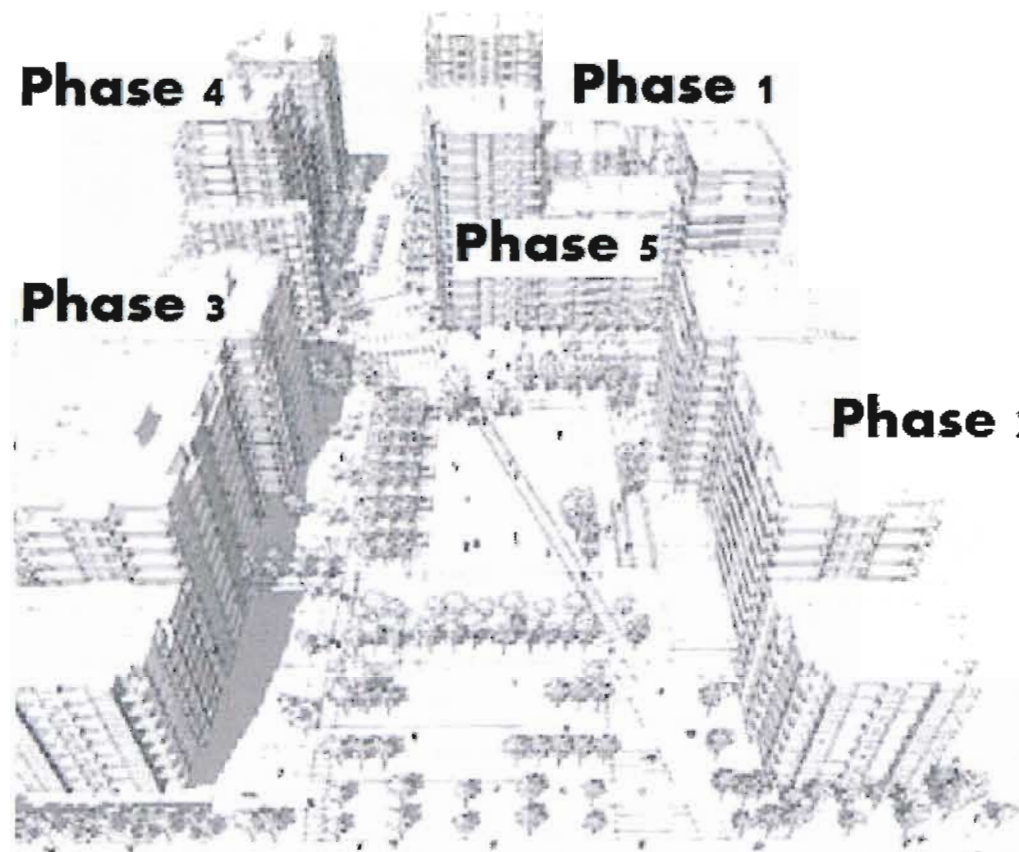
Attachments:

1. Location Map
2. "Concord Gardens" Phasing
3. Development Application Data Sheet
4. Patterson Street-End Park Concept
5. Richmond Advisory Design Panel Minutes
6. LEED "Silver" Checklist (equivalent)
7. Transitional Parking Strategy for Phases 1 (Approved), 2 & 5 (Future)
8. Conditional Development Permit Requirements



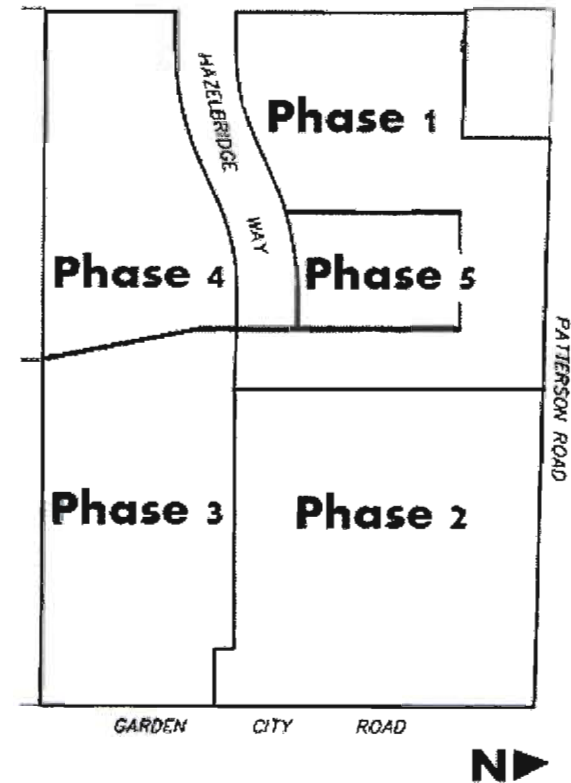
8888 Patterson Road & 3333 Hazelbridge Way

Aerial view looking west across the future Neighbourhood Park



Garden City Road is in the foreground, Phase 1 is in the background, and the proposed extension of Hazelbridge Way is between Phase 4 (south) and Phases 1 & 5 (north). A publicly-accessible "private" road will be constructed over a parking structure as part of Phase 1 (running north-south between Phase 5 & the Neighbourhood Park).

Phasing plan



NOTE: At Phase 1, "Temporary Park" will be constructed (over a 2-storey parking structure concealed below finished grade) in the area marked as Phase 5. The "Temporary Park" will be replaced with a residential tower when the construction of publicly-accessible park & open space elsewhere within & around the development is generally complete.



City of Richmond

Development Application Data Sheet

Development Applications Division

DP 13-642725

Address: 8888 Patterson Road & 3333 Hazelbridge Way

Applicant: Amela Brudar - GBL Architects

Owner: 0754999 BC Ltd.

Planning Area(s): City Centre (Capstan Village)

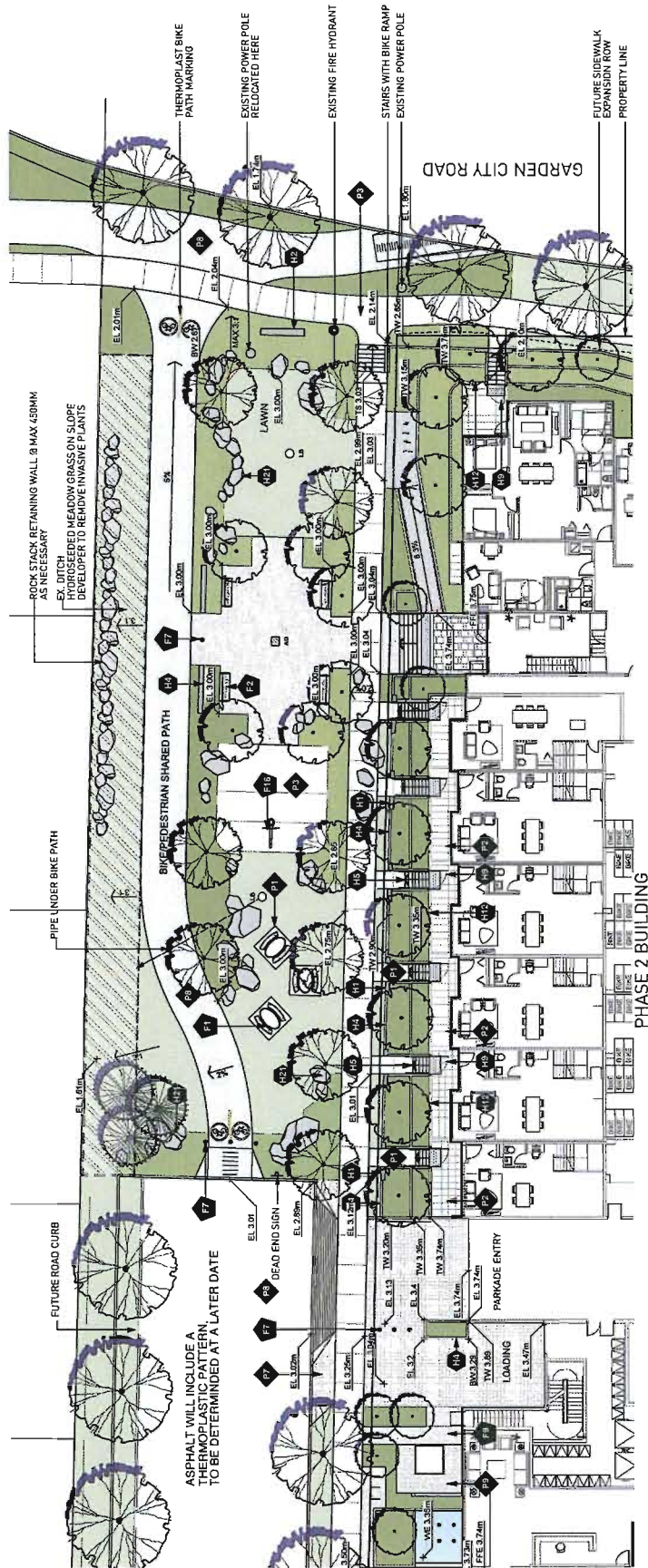
Floor Area Gross: 22,019.8 m² (237,027 ft²) excluding parking Floor Area Net: 20,758.9 m² (223,454 ft²)

	Existing	Proposed
Site Area	For Phases 1-5: <ul style="list-style-type: none"> 30,536 m² (7.55 ac), including Statutory Right-of-Ways for publicly-accessible open space & road 	For Phase 2 only: <ul style="list-style-type: none"> (100%) Gross Site: 9,415.9 m² (101,352 ft²) (56%) Neighbourhood Park & Greenway SRW: 5,292.0 m² (1.31 ac) (44%) Net Site: 4,123.9 m² (44,390 ft²)
Land Uses	<ul style="list-style-type: none"> Vacant 	<ul style="list-style-type: none"> High-rise, high-density residential Park
OCP Designation	<ul style="list-style-type: none"> Mixed Use Park 	<ul style="list-style-type: none"> No change
Zoning	<ul style="list-style-type: none"> High Rise Apartment and Artist Residential Tenancy Studio Units (ZHR10) – Capstan Village (City Centre) 3.2 FAR for Phases 1-5 combined 	<ul style="list-style-type: none"> No change
No. of Units @ Phase 2	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> Market Housing: 246 Affordable Housing: 17 Total: 263

	Bylaw Requirement @ Phase 2	Proposed @ Phase 2	Variance
Net Floor Area	<ul style="list-style-type: none"> Max. 20,900.0 m² 	<ul style="list-style-type: none"> 20,758.9 m² 	<ul style="list-style-type: none"> None permitted
Lot Coverage	<ul style="list-style-type: none"> Max. 90%, excluding SRW park & greenway 	<ul style="list-style-type: none"> 65%, excluding SRW park & greenway 	<ul style="list-style-type: none"> None
Setback for Structures Below Finished Grade	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> Nil (Varies) 	<ul style="list-style-type: none"> None
Setback @ Patterson Road	<ul style="list-style-type: none"> Min. 6.0 m, but may be reduced to 3.0 m based on an approved DP 	<ul style="list-style-type: none"> 3.0 m 	<ul style="list-style-type: none"> None
Setback @ SRW Secured for Road or Park	<ul style="list-style-type: none"> Min. 6.0 m, but may be reduced to 3.0 m based on an approved DP 	<ul style="list-style-type: none"> @ Garden City Greenway SRW: 3.0 m @ Neighbourhood Park SRW: 3.0 m @ Private Road SRW: 3.0 m 	<ul style="list-style-type: none"> None

	Bylaw Requirement @ Phase 2	Proposed @ Phase 2	Variance
Height @ 50+ m from Garden City Road	<ul style="list-style-type: none"> Max. 35.0 m, but may be increased to 47.0 m geodetic based on an approved DP 	<ul style="list-style-type: none"> 47.0 m geodetic 	<ul style="list-style-type: none"> None
Height @ Less than 50 m from Garden City Road	<ul style="list-style-type: none"> Max. 25.0 m, but may be increased to 28.0 m based on an approved DP 	28.0 m <u>EXCEPT</u> : <ul style="list-style-type: none"> A cantilevered roof & balconies higher than 28.0 m are proposed @ 48.6 m from Garden City Road An elevator penthouse, enclosed stairs, and indoor amenity space project higher than 28.0 m 	<ul style="list-style-type: none"> Reduce the min. setback by 1.4 m to permit a cantilevered roof & balconies Increase the max. height by 5.4 m to permit an elevator penthouse, enclosed stairs & indoor amenity space
Lot Size	<ul style="list-style-type: none"> 9,416 m² 	<ul style="list-style-type: none"> 9,416 m² 	<ul style="list-style-type: none"> None
Off-Street Parking – Total	Transitional Parking Strategy requiring parking for Phase 2 & future Phase 5 based on: <ul style="list-style-type: none"> Residents (R): 1.0 space/unit Visitors (V): 0.2 spaces/unit 10% relaxation for the provision of Transportation Demand Management (TDM) measures 	<ul style="list-style-type: none"> For Phase 2: 299 (251R + 48V) For (future) Phase 5: 143 Total: 442 	<ul style="list-style-type: none"> None
Off-Street Parking – Small Cars	<ul style="list-style-type: none"> Max. 50% 	<ul style="list-style-type: none"> For Phase 2: 34% (73R + 28V = 101 spaces) For (future) Phase 5: 36% (52 spaces) Total: 35% (153 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking – Accessible	<ul style="list-style-type: none"> Residents (R): 2% of total Visitors (V): 2% of total 	<ul style="list-style-type: none"> For Phase 2: 2% (6R + 2V = 8 spaces) For (future) Phase 5: 2% (3 spaces) Total: 2% (9 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking - Electric Vehicle (EV) Plug-Ins	<ul style="list-style-type: none"> 30% @ 120V 	<ul style="list-style-type: none"> For Phase 2: 30% (89 spaces) For (future) Phase 5: 30% (43 spaces) Total: 30% (132 spaces) <u>PLUS</u> 6 @ 240V quick-charge stations 	<ul style="list-style-type: none"> None
Off-Street Parking – Electric Vehicle (EV) Rough-Ins	<ul style="list-style-type: none"> 25% @ 120V 	<ul style="list-style-type: none"> For Phase 2: 25% (74 spaces) For (future) Phase 5: 25% (36 spaces) Total: 25% (110 spaces) 	<ul style="list-style-type: none"> None
Off-Street Parking- - Tandem	<ul style="list-style-type: none"> Permitted 	<ul style="list-style-type: none"> Nil 	<ul style="list-style-type: none"> None

	Bylaw Requirement @ Phase 2	Proposed @ Phase 2	Variance
Bike Parking – Class 1 (Residents)	<ul style="list-style-type: none"> 1.25 bikes/unit 	<ul style="list-style-type: none"> For Phase 2: 329 For (future) Phase 5: 117 Total: 486 	<ul style="list-style-type: none"> None
Bike Parking – Class 2 (Visitors)	<ul style="list-style-type: none"> 0.2 bikes/unit 	<ul style="list-style-type: none"> For Phase 2: 53 	<ul style="list-style-type: none"> None
Amenity Space – Indoor	<ul style="list-style-type: none"> Min. 2 m²/unit (526 m² @ 263 units) 	<ul style="list-style-type: none"> Shared with Phases 1-5: 1,715.68 m² (including a pool, gym, bowling alley, games room, banquet hall, theatre & fitness) For Phase 2 only: 146.0 m² (multi-purpose room) Total: 1,861.68 m² 	<ul style="list-style-type: none"> None
Amenity Space – Outdoor (OCP)	<ul style="list-style-type: none"> Min. 6 m²/unit, including 50% for children’s play space to a maximum area of 600 m² (1,578 m² @ 263 units, including 600 m² of play space) 	<ul style="list-style-type: none"> Total: 1,648.87 m² Play space: 96.4 m² <u>NOTE:</u> While the play space is less than 600 m², the project satisfies the intent of the OCP on the basis that it provides for: <ul style="list-style-type: none"> Over 300% of required indoor amenity space; Children’s play features in the pool and gym; A large playground in the privately-owned, publicly-accessible Neighbourhood Park; and On-site outdoor play space geared to small children who may not be adequately served by the Neighbourhood Park. 	<ul style="list-style-type: none"> None.
Amenity Space – Additional Outdoor (CCAP)	<ul style="list-style-type: none"> 10% of net site area for general landscaping (412 m²) 	<ul style="list-style-type: none"> 10+% (434.52 m²) 	<ul style="list-style-type: none"> None
Accessible Housing - Basic Universal Housing (BUH)	<ul style="list-style-type: none"> Encouraged 	<ul style="list-style-type: none"> Market Housing: 15% (37 units) Affordable Housing: 64% (11 units) Total Units: 17% (48 units) 	<ul style="list-style-type: none"> None
Accessible Housing - Aging in Place	<ul style="list-style-type: none"> Encouraged 	<ul style="list-style-type: none"> 100% of units 	<ul style="list-style-type: none"> None



PAVING MATERIAL LEGEND	
	EAST IN-PLACE CONCRETE PAVING
	INTERLOCKED SLABS
	EAST IN-PLACE CONCRETE PAVING WITH 4-8MM AGGREGATE
	NATURAL STONE PAVING
	NATURAL STONE PAVING WITH 4-8MM AGGREGATE
	LIGHT DUTY CONCRETE WITH 4MM AGGREGATE
	HEAVY DUTY CONCRETE WITH 4MM AGGREGATE
	ASPHALT PAVING
	MAINTENANCE STRIP
	CRUSHED GRANITE WITH 4MM AGGREGATE
	PLAY SAND
	RECYCLED PLAY SURFACE
HARDSCAPE MATERIAL LEGEND	
	CONCRETE SLABS
	PAVER SLABS
	PORCELAIN WATER EDGE
	CAST IN-PLACE CONCRETE WITH 4MM AGGREGATE
	CAST IN-PLACE CONCRETE WITH 8MM AGGREGATE
	CAST IN-PLACE CONCRETE WITH 12MM AGGREGATE
	CAST IN-PLACE CONCRETE WITH 16MM AGGREGATE
	CAST IN-PLACE CONCRETE WITH 20MM AGGREGATE
	GRANITE STONE SLABS
	LIMESTONE SLABS
	METAL DECK
	PORCELAIN SLABS
	STAINLESS STEEL SLABS
	METAL SLABS
	STRUCTURE ON SITE
	TABLES WITH GLASS CANOPY
	METAL BENCHES
	WATER FEATURE
	WATER SUPPLY
	WATER SOURCE
	RECYCLED GLASS SLABS
	RECYCLED GLASS SLABS WITH 4MM AGGREGATE
	RECYCLED GLASS SLABS WITH 8MM AGGREGATE
	RECYCLED GLASS SLABS WITH 12MM AGGREGATE
	RECYCLED GLASS SLABS WITH 16MM AGGREGATE
	RECYCLED GLASS SLABS WITH 20MM AGGREGATE
SITE FURNITURE LEGEND	
	METAL TABLE
	METAL BENCH
	METAL SLAB
	CONCRETE SEAT WITH 4MM AGGREGATE
	METAL SLAB WITH 4MM AGGREGATE
	METAL SLAB WITH 8MM AGGREGATE
	METAL SLAB WITH 12MM AGGREGATE
	METAL SLAB WITH 16MM AGGREGATE
	METAL SLAB WITH 20MM AGGREGATE
	METAL SLAB WITH 4MM AGGREGATE
	METAL SLAB WITH 8MM AGGREGATE
	METAL SLAB WITH 12MM AGGREGATE
	METAL SLAB WITH 16MM AGGREGATE
	METAL SLAB WITH 20MM AGGREGATE
	METAL SLAB WITH 4MM AGGREGATE
	METAL SLAB WITH 8MM AGGREGATE
	METAL SLAB WITH 12MM AGGREGATE
	METAL SLAB WITH 16MM AGGREGATE
	METAL SLAB WITH 20MM AGGREGATE
	METAL SLAB WITH 4MM AGGREGATE
	METAL SLAB WITH 8MM AGGREGATE
	METAL SLAB WITH 12MM AGGREGATE
	METAL SLAB WITH 16MM AGGREGATE
	METAL SLAB WITH 20MM AGGREGATE

**Excerpt from the Minutes from
The Design Panel Meeting**

**Wednesday, October 23, 2013 – 4:00 p.m.
Richmond City Hall**

**DP 13-642725 – PHASE 2 OF A 5-PHASE, HIGH DENSITY, MULTI-FAMILY DEVELOPMENT
(269 UNITS)**

APPLICANT: Amela Brudar, GBL Architects, on behalf of Concord Pacific

PROPERTY LOCATION: 8888 Patterson Road

Applicant's Presentation

Amela Brudar, GBL Architects, and Grant Brumpton, PWL Partnerships, presented the project and answered queries from the Panel on behalf of the applicant.

Panel Discussion

Comments from the Panel were as follows:

- public park over a private space could give rise to liability issues; look at public parking for park users;
 - *A maintenance guide has been prepared by the project's landscape architect, in consultation with Richmond Parks staff, to assist the private owners in the management and upkeep of the Neighbourhood Park.*
 - *The City discourages the provision of parking as part of small, neighbourhood-oriented parks, such as the one proposed.*
- consider low level dividers for benches to prevent unwanted uses such as skateboarding;
 - *Agreed.*
- underground parking requires extensive lighting;
 - *Lighting and related measures will be incorporated into the underground parking to ensure the personal security of all residents and their guests.*
- the proposed development's open design conforms to CPTED principles;
- concern on the potential for unwanted uses of zigzagged pathway along Garden City Road;
 - *The proposed design provides for good surveillance by fronting residential uses and from Garden City Road. In addition, the short ramp lengths and tight radius corners are expected to limit use by skateboarders.*
- relationship between the landscaping and interior amenity is sophisticated;
- large and consolidated amenity area of the proposed development provides opportunity for use by neighbouring developments;

- concern on the high maintenance cost of the amenity area by the future strata management;
 - *The design of the Neighbourhood Park, together with the maintenance guide prepared in consultation with Richmond Parks, are sensitive to the long-term costs that will be borne by the private owners.*
- consider further landscaping treatment in private areas to differentiate them from public areas, e.g. lessen use of water in public areas and provide more in private areas;
 - *Boulders, planting, trees, and various other landscape features have been incorporated to better define the boundary of the Neighbourhood Park from the adjacent outdoor residential amenity uses. And, the amount of water has been reduced within the Neighbourhood Park.*
- terracing on Garden City Road frontage is well designed;
- ensure that choice of plant species will provide adequate year-round screening for concrete walls;
 - *Agreed.*
- consider providing accessibility features for affordable units;
 - *All one-storey affordable housing units will be designed and constructed to Richmond's Basic Universal Housing standards, and all two-storey affordable housing townhouse units will include Aging in Place features.*
- appreciate the accessibility of the amenity areas;
- look at ramp width (zigzagged pathway near Garden City Road) to ensure accessibility for people on wheelchairs when occupied by other users;
 - *The path is designed to provide for adequate width.*
- proposal is successful; edges are well resolved; successful ground plane;
- east lobby appears weak; consider further design development, e.g. adding weather protection; west lobby works well;
 - *A canopy and entry signage has been added to both the east and west residential lobby entrances and to the shared amenity space lobby entrance.*
- backdoor access for residents to the park does not provide a strong enough connection to the park;
 - *An entry door has been added to provide direct access for residents from the east elevator core area to the outdoor amenity space on Level 3 and the adjacent Neighbourhood Park.*
- a lot of attention has been given to the south elevation but the north elevation appears flat; consider further design development for the north elevation;
 - *The building's north face has been revised to include greater relief and break-up the façade's large scale.*
- overall, an interesting concept; appreciate the open design;

- applicant needs to provide details to address the thermal bridging by cantilever balconies;
 - *The applicant is aware of this issue and will address it via the building's detailed design.*
- four energy points besides commissioning and green power seems low with the district energy system; proposed development needs to have more energy points;
 - *Steps have been taken to increase the development's LEED Energy & Atmosphere points from 8 to 10, and improve its overall LEED score from 55 to 60 points.*
- massing is good; generous provision of four elevators (i.e., two cores);
- strong integration of landscaping;
- appreciate how the massing is broken down; however, a stronger definition of elements is needed;
 - *The use of glazing, colour, solid metal panels, and complementary features has been refined to better define key features of the development, such as the shared amenity space and the residential lobbies.*
- residential units at the interior corners are dark;
 - *Steps have been taken to reduce potential overlook and improve outlook.*
- blurring between the private and public spaces are handled well;
- townhouse entrances off the street look nice and are well connected to the street; however, look at ways to address privacy issues;
 - *Entry steps have been set back from the sidewalk to allow for the addition of landscape entry features and address signage, which enhance the identity of the individual units and provide for a greater sense of privacy.*
- appreciate the morphology of the building; good cross sections; appreciate the amenity area;
- appreciate the good use of a lot of water in the central park area; activates the area;
- landscaping on Garden City Road frontage is entertaining;
- elevation facing Patterson Road needs further development;
 - *As noted above, the design of the building's north face has been revised to include greater relief and break-up the façade's large scale.*
- concern on the quality of future maintenance of the public park by the strata management; and
 - *As noted above, the design of the Neighbourhood Park, together with the maintenance guide prepared in consultation with Richmond Parks, are sensitive to the long-term costs that will be borne by the private owners.*

- the north elevation appears to be the back of the building; needs further design development.
 - *As noted above, the design of the building's north face has been revised to include greater relief and break-up the façade's large scale. In addition, the entry to the west tower lobby has been relocated to the development's Patterson Road frontage to enhance the relationship of the building with the street, and weather protection, architectural signage, and landscape improvements have been incorporated into the building's west and east lobby entrances.*

Panel Decision

It was moved and seconded

That DP 13-642725 be supported to move forward to the Development Permit Panel subject to the applicant giving consideration to the comments of the Panel.

CARRIED

LEED Canada-NC 2009 Project Checklist

CONCORD GARDENS PH2

Yes ? No

60	9	34	Project Totals (pre-certification estimates)	110 Possible Points
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Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80 points and above

Yes ? No

22	0	3	Sustainable Sites	26 Points
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✓			Prereq 1	Construction Activity Pollution Prevention	Required
			Credit 1	Site Selection	1
5	0		Credit 2	Development Density and Community Connectivity	3, 5
		1	Credit 3	Brownfield Redevelopment	1
6			Credit 4.1	Alternative Transportation: Public Transportation Access	3, 6
1			Credit 4.2	Alternative Transportation: Bicycle Storage & Changing Rooms	1
3			Credit 4.3	Alternative Transportation: Low-Emitting & Fuel-Efficient Vehicles	3
2			Credit 4.4	Alternative Transportation: Parking Capacity	2
1			Credit 5.1	Site Development: Protect and Restore habitat	1
1			Credit 5.2	Site Development: Maximize Open Space	1
1			Credit 6.1	Stormwater Design: Quantity Control	1
		1	Credit 6.2	Stormwater Design: Quality Control	1
1			Credit 7.1	Heat Island Effect: Non-Roof	1
1			Credit 7.2	Heat Island Effect: Roof	1
		1	Credit 8	Light Pollution Reduction	1

Yes ? No

6	2	2	Water Efficiency	10 Points
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✓			Prereq 1	Water Use Reduction	Required
3	1		Credit 1	Water Efficient Landscaping	2, 4
		2	Credit 2	Innovative Wastewater Technologies	2
3	1		Credit 3	Water Use Reduction	2 - 4

Yes ? No

10	1	21	Energy & Atmosphere	35 Points
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✓			Prereq 1	Fundamental Commissioning of Building Energy Systems	Required
✓			Prereq 2	Minimum Energy Performance	Required
✓			Prereq 3	Fundamental Refrigerant Management	Required
6	1	12	Credit 1	Optimize Energy Performance	1 - 19
		7	Credit 2	On-Site Renewable Energy	1 - 7
		2	Credit 3	Enhanced Commissioning	2
2			Credit 4	Enhanced Refrigerant Management	2
			Credit 5	Measurement and Verification	3
2			Credit 6	Green Power	2

Yes ? No

4 3 7 Materials & Resources 14 Points

✓			Prereq 1	Storage and Collection of Recyclables	Required
		3	Credit 1.1	Building Reuse: Maintain Existing Walls, Floors, and Roof	1-3
		1	Credit 1.2	Building Reuse: Maintain Interior Non-Structural Elements	1
2			Credit 2	Construction Waste Management	1-2
		2	Credit 3	Materials Reuse	1-2
1	1		Credit 4	Recycled Content	1-2
1	1		Credit 5	Regional Materials	1-2
	1		Credit 6	Rapidly Renewable Materials	1
		1	Credit 7	Certified Wood	1

Yes ? No

11 3 1 Indoor Environmental Quality 15 Points

✓			Prereq 1	Minimum Indoor Air Quality Performance	Required
✓			Prereq 2	Environmental Tobacco Smoke (ETS) Control	Required
1			Credit 1	Outdoor Air Delivery Monitoring	1
0	1		Credit 2	Increased Ventilation	1
1			Credit 3.1	Construction IAQ Management Plan: During Construction	1
1			Credit 3.2	Construction IAQ Management Plan: Before Occupancy	1
1			Credit 4.1	Low-Emitting Materials: Adhesives and Sealants	1
1			Credit 4.2	Low-Emitting Materials: Paints and Coatings	1
1			Credit 4.3	Low-Emitting Materials: Flooring Systems	1
	1		Credit 4.4	Low-Emitting Materials: Composite Wood and Agrifibre Products	1
1			Credit 5	Indoor Chemical and Pollutant Source Control	1
1			Credit 6.1	Controllability of System: Lighting	1
1			Credit 6.2	Controllability of System: Thermal Comfort	1
	1		Credit 7.1	Thermal Comfort: Design	1
		1	Credit 7.2	Thermal Comfort: Verification	1
1			Credit 8.1	Daylight and Views: Daylight	1
1			Credit 8.2	Daylight and Views: Views	1

Yes ? No

5 0 0 Innovation in Design 6 Points

1			Credit 1.1	Innovation in Design	1
1			Credit 1.2	Innovation in Design	1
1			Credit 1.3	Innovation in Design	1
1			Credit 1.4	Innovation in Design	1
			Credit 1.5	Innovation in Design	1
1			Credit 2	LEED® Accredited Professional	1

Yes ? No

2 0 0 Regional Priority 4 Points

			Credit 1	Durable Building	1
1			Credit 2.1	Regional Priority Credit	1
1			Credit 2.2	Regional Priority Credit	1
			Credit 2.3	Regional Priority Credit	1

Transitional Parking Strategy for Phases 1 (approved), 2 & 5 (future)

Concord @ Soosmith and Patterson Re
 Transitional Parking Strategy for 8888 Patterson Rd and 33333 Hackettbridge Way,
 Phases 1, 2 & 5 (Lot 1, Area A, B & E)
 DP 13-602725 (Phase 2) and DP 13-603300 (Phase 1) - Pending Applications
 NOTE: MIN. PARKING REQUIRED/PROVIDED AS PER LEGAL AGREEMENT REGISTERED ON TITLE

Lot 1	Parking	ZONE 1A		ZONE 1		Electric Vehicle (EV) Based on Total Provided in Zone 1		30% 120V EV Parking Spaces		25% EV Rough-in for future 120V		320/40		240V Quick Charge Located in the Visitor Parking of Phase 2		Bike Parking										
		Rate		Required		Provided		Rate		Required & Provided		Rate		Required & Provided		Class 1 Based on total unit count		Class 2 Based on total unit count		10% EV Bike Spaces @ 120V Based on Total Provided Spaces						
		Req'd	Provid'd	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd	Rate	Req'd	Provid'd			
Phase 1 / Area A	Residential Parking	20	0.81	16	0.81	16	16	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
	ARTS	260	1.08	281	1.08	293	234	253	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
	Market	280	1.25	317	1.25	309	250	265	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
	Total	560		674		668	514	532																		
	Visitor	280	0.18	51	0.18	51	51	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
	Total	840		725		719	565	532																		
	Phase 1	360		360		360	360	360	0.30	96	0.25	80	0.25	80	0.10	350	0.10	35	0.20	56	0.10	350	0.10	35		
	Transitional for future Phase 5	40					40	40	0.30	12	0.25	10	0.25	10	0.10	48	0.10	5			0.10	48	0.10	5		
	Total	400		360		360	400	400		108		90		90		358		40				398		40		
	Phase 2 / Area B	Residential Parking	17	0.81	14	0.81	14	14	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
ART		246	1.08	266	1.08	280	236	251	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Total		263		280		294	250	266																		
Visitor		263	0.18	48	0.18	48	48	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-		
Total		526		428		442	498	498																		
Phase 1		328		328		328	328	328	0.30	98	0.25	75	0.25	75	0.10	320	0.10	33	0.20	53	0.10	320	0.10	33		
Transitional for future Phase 5		143					143	143	0.30	43	0.25	36	0.25	36	0.10	117	0.10	12			0.10	117	0.10	12		
Total		471		442		442	641	641		133		110		110		437		45				446		45		
Phase 5 / Area E		Residential Parking (estimate)	30																							
		ART est. 122	122																							
	Market est. 132	132																								
	Total	284																								
	Visitor	284																								
	Total	568																								
	Phase 1	442																								
	Transitional for future Phase 5	143																								
	Total	585																								
	Phase 2 / Area B	Residential Parking	280																							
Visitor		280																								
Total		560																								
Phase 1		360																								
Transitional for future Phase 5		40																								
Total		400																								
Phase 1		360																								
Transitional for future Phase 5		40																								
Total		400																								
Phase 5 / Area E		Residential Parking	30																							
	ART est. 122	122																								
	Market est. 132	132																								
	Total	284																								
	Visitor	284																								
	Total	568																								
	Phase 1	442																								
	Transitional for future Phase 5	143																								
	Total	585																								
	Summary	Residential Parking	280																							
Visitor		280																								
Total		560																								
Phase 1		360																								
Transitional for future Phase 5		40																								
Total		400																								
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FINAL – November 14, 2013



**City of
 Richmond**

**Conditional Development
 Permit Requirements**

Development Applications Division
 6911 No. 3 Road, Richmond, BC V6Y 2C1

Development Permit at 8888 Patterson Road (Phase 2)

DP 13-642725

Prior to forwarding this application to Council for Development Permit (DP) approval, the developer is required to complete the following requirements:

1. **“No Development”**: Compliance with the terms of the restrictive covenant(s) registered on title prior to rezoning adoption (RZ 06-349722) securing that “no development” will be permitted and restricting Development Permit (DP)* issuance in respect to any portion of the subject development until conditions are satisfied for the following, as determined to the satisfaction of the City:
 - 1.1. **Phasing**, requiring that Area B (i.e. the location of the subject Phase 2 development) must proceed after Area A (i.e. Phase 1, DP 12-611486, permit issued);
 - 1.2. **Affordable Housing**, requiring that prior to the issuance of a DP for Area B (i.e. the subject Area, which is Phase 2 of the “Concord Gardens” 5-phase development and the second of three phases on Lot 1), C, D, or E, as the case may be, the Owner will replace the Housing Covenant (registered on title on Lots 1 and 2 prior to adoption of RZ 06-349722) for the purpose of further specifying the construction requirements, types, and locations of the Housing Units on the applicable Area, as determined by the Director of Development and the Manager, Community and Social Development in their sole discretion, in conjunction with the issuance of a DP.

In addition, the Owner must comply with legal agreements registered on title requiring that the minimum combined habitable floor area of Housing Units provided by the Owner, at the Owner’s sole cost, on Area B shall be comprised of a portion of the deferred Area A (Phase 1) Housing Units, as per RZ 06-349722, and Housing Units required in respect to the City’s standard affordable housing (i.e. 5%) policy, as follows:

TABLE 1: Area B (Phase 2) Housing Unit Minimum Requirements

Housing Unit Components	Minimum Housing Unit Calculation	Minimum Required Combined Habitable Floor Area
▪ Deferred Area A (Phase 1) Housing Units, as per RZ 06-349722 & covenants on title	▪ 30% of Housing Units deferred from Area A (Phase 1) (i.e. 30% x 11,705 ft ²)*	326.3 m ² (3,512 ft ²)
▪ Area B (Phase 2) Housing Units, as per standard City affordable housing (5%) policy	▪ 5% of the total Area B (Phase 2) residential floor area LESS the Area A (Phase 1) deferred Housing Units (i.e. 5% x (222,097 ft ² – 3,512 ft ²))	1,015.3 m ² (10,929 ft ²)
TOTAL	NOTE: Equates to 6.5% of total Area B (Phase 2) floor area	1,341.6 m² (14,441 ft²)

* Area A (Phase 1) total residential floor area as per BP 13-643300 (252,431 ft²) less the combined habitable floor area of the Area A (Phase 1) Artist Residential Tenancy Studio (ARTS) Units (18,340 ft²) equals 234,091 ft². Based on this, the total combined habitable floor area of Housing Units deferred from Area A (Phase 1) for construction by the Owner at later phases is 11,705 ft² (i.e. 5% x 234,091 ft²).

Based on the above and DP 13-642725, the Owner shall provide for seventeen (17) Housing Units on Area B, the combined habitable floor area of which shall comprise at least 1,361.2 m² (14,652 ft²) and seventeen (17) dwelling units, as follows:

- 1.2.1. Six (6) 2-storey, 2-bedroom, townhouse-style units on Levels 2 and 3, the access to which units shall be via individual front doors and front yards directly accessible from the proposed Patterson Street-End Park, and eleven (11) single-storey, apartment-style units on Level 2 (4 units), Level 3 (3 units), Level 4 (2 units), and Level 5 (2 units), including:

TABLE 2: Area B (Phase 2) Housing Unit Recommended Development

Unit Type	Number of Units	Minimum Unit Area	Maximum Monthly Unit Rent	Total Annual Household Income
2-Storey (Townhouse-Style) Units				
2-Bedroom	2	98 m2 (1,063 ft2)	\$1,162	\$46,500 or less
2-Bedroom & Den	4	126 m2 (1,361 ft2)	\$1,162	\$46,500 or less
Single-Storey (Apartment-Style) Units				
Bachelor	2	43 m2 (471 ft2)	\$850	\$34,000 or less
1-Bedroom & Den	6	50 m2 (535 ft2)	\$950	\$38,000 or less
2-Bedroom	1	78 m2 (845 ft2)	\$1,162	\$46,500 or less
3-Bedroom	1	89 m2 (967 ft2)	\$1,437	\$57,500 or less
3-Bedroom & Den	1	99 m2 (1,070 ft2)	\$1,437	\$57,500 or less
TOTAL	17	Varies	Varies	Varies

1.2.2. "Maximum Monthly Unit Rent" and "Total Annual Household Income" indicated in the table above denote 2013 amounts adopted by Council on March 11, 2013. Amounts may be increased periodically as provided for under adopted City (affordable housing) policy.

1.2.3. All single-storey Housing Units (i.e. apartment-style units) must satisfy Richmond Zoning Bylaw requirements for Basic Universal Housing.

1.2.4. All 2-storey Housing Units (i.e. townhouse-style units) must provide aging in place features to the satisfaction of the Director of Development including, but not necessarily limited to, stairwell handrails, lever-type handles for all plumbing fixtures and door handles, and solid blocking in washroom walls to facilitate the future installation (by others) of grab bars beside toilets, bathtubs, and showers.

1.3. Parks, requiring that the "Parks - Phase 2" (i.e. the portion of the Neighbourhood Park located on Area B and the Patterson Street-End Park) are designed and constructed to the satisfaction of the City, at the sole cost of the developer, and secured via a Letter(s) of Credit. This requirement shall be satisfied via the developer's :

1.3.1. Construction of the Neighbourhood Park within the area secured via a Statutory Right-of-Way on Area B (i.e. the subject site) for this purpose, which works shall be secured via the DP Landscape Letter of Credit (LOC), based on 100% of the sealed cost estimate provided by the Landscape Architect (including labour and 10% contingency); and

1.3.2. Detailed design and construction of the Patterson Street-End Park, which works shall be managed via the City's standard Servicing Agreement (SA) processes (secured via a LOC).

In addition, as determined via DP 13-642725:

1.3.3. The developer shall amend or replace the Statutory Right-of-Way registered on Area B (i.e. the subject portion of Lot 1) and Area C (i.e. the adjacent portion of Lot 2/3340 Sexsmith Road owned by the developer) for the purpose of securing the Neighbourhood Park for public use in order to:

- a) Provide for the addition of minimum acceptable maintenance specifications and standards (in the form of a schedule), to the satisfaction of the Senior Manager, Parks, the Director Development, and the City Solicitor; and
- b) Permit residential indoor amenity space to encroach into the right-of-way area, provided that the minimum habitable floor elevation of any such use is at least 2.9 m geodetic and (as with other permitted encroachments) the structure is fully concealed below finished grade and does not compromise the appearance or public amenity of the right-of-way area, as determined to the satisfaction of the City via an approved Development Permit.

1.4. Roads & Related Improvements, requiring that the “Roads – Phase 2” (i.e. Patterson Road east of the Private Road, Garden City Road and related frontage works, and any related Transportation Demand Management measures in respect to DP 13-642725) are designed and constructed to the City’s satisfaction, at the developer’s sole cost. This requirement shall be satisfied via the developer’s:

1.4.1. Detailed design and construction of Patterson Road east of the Private Road, on-and off-street bike facilities and frontage improvements along Garden City Road from the south end of Lot 2/3340 Sexsmith Road to Sea Island Way, which works shall be managed via the City’s standard Servicing Agreement (SA) processes (secured via a LOC).

1.5. Public Art, requiring that the developer has, at its sole cost:

1.5.1. Submitted to the City, the Area Specific Detailed Art Plan for Area B (i.e. the subject site) and Area C (i.e. the adjacent portion of Lot 2/3340 Sexsmith Road, owned by the developer) having a value of at least \$310,092, as determined by the DP approval process for Area B and set out in the table below (i.e. as per legal agreements on title, the Plan shall have a value equal to or greater than the greater of \$241,036 or the value of the Applicable Developer Contribution Rate multiplied by the combined total Buildable Area of Area B and Area C).

TABLE 3: Estimated Minimum Value of Area Specific Detailed Art Plan for Areas B & C

Area	Maximum Permitted Floor Area	Affordable Housing*	Buildable Area**	Applicable Developer Contribution Rate	Value of Area Specific Detailed Art Plan
B	222,097 ft ² As per DP 13-642725	14,652 ft ² As per DP 13-642725	207,445 ft ² As per DP 13-642725	\$0.77/ft ² (City-approved 2013 rate)	\$159,733
C	208,827 ft ² ***	13,555 ft ² ****	195,272 ft ²		\$150,359
TOTAL	430,924 ft²	28,207 ft²	402,717 ft²	\$0.77/ft²	\$310,092

* Exempt from “Buildable Area” for Public Art purposes

** Buildable Area = Maximum Permitted Floor Area – Affordable Housing

*** Maximum permitted floor area, as per the subject site’s ZHR10 zone (i.e. 20,900.0 m²).

**** Estimated affordable housing based on 5% X (maximum permitted ZHR10 floor area for Area C LESS 28% of the 11,705 ft² of affordable housing deferred by Area A and secured via legal agreements on title).

1.5.2. Entered into a Public Art Agreement satisfactory to the Director of Development and Director, Arts, Culture and Heritage in their sole discretion for the implementation of the Project-Wide Public Art Plan in respect of Area B and Area C in accordance with the Area Specific Detailed Public Art Plan referred to above.

More specifically, the Public Art Agreement shall take the form of a covenant, registered on title, restricting final Building Permit issuance granting occupancy for a building (in whole or in part) on Area B, exclusive of structures below finished grade (e.g., parking) until:

- a) The developer, at its expense, commissions an artist or artists to conceive, create, manufacture, design, and oversee or provide input about the manufacturing of the public art, and causes the public art to be installed on Area B and/or on City property in accordance with the Area Specific Detailed Art Plan for Area B and Area C;
- b) If the public art is installed on City property, the developer, at its expense and within thirty (30) days of the date on which the public art is installed, executes and delivers to the City, in a form satisfactory to the City Solicitor, a transfer of all of the artist's right, title, and interest in the public art to the City, including a transfer of copyright; and
- c) The developer, at its expense, submits a final report to the City promptly after the completion of the installation of the public art in respect to the Area Specific Detailed Art Plan for Area B and Area C, which report shall, to the satisfaction of the Director of Development and Director, Arts, Culture, and Heritage, include:
 - Information regarding the siting of the public art, a brief biography of the artist(s), a statement from the artist(s) on the public art, and other such details as the Director of Development and Director, Arts, Culture, and Heritage may require;
 - A statutory declaration, satisfactory to the City Solicitor, confirming that the developer's financial obligations to the artist(s) have been fully satisfied;
 - The maintenance plan for the public art prepared by the artist(s); and
 - Digital records (e.g., photographic images) of the public art, to the satisfaction of the Director, Arts, Culture, and Heritage.

1.5.3. Delivered to the City, as security for the performance of the developer's obligations in the Public Art Agreement for Area B and Area C, a Letter of Credit in an amount of \$310,092 (as per the value established in respect to the Area Specific Detailed Art Plan for Area B and Area C described above).

2. Transit Shelter: City acceptance of the developer's voluntary contribution of \$25,000 for the installation, by others, of an accessible bus shelter in the vicinity of the subject site, as determined to the satisfaction of the City. This voluntary cash-in-lieu transit shelter contribution shall be considered to be a Transportation Demand Management (TDM) measure for the purpose of determining Zoning Bylaw parking spaces requirements for 8888 Paterson Road/3333 Hazelridge Way (i.e. NOT for development at 3340 Sexsmith Road).
3. Landscape Bond: Receipt of a Letter of Credit for landscaping for \$1,898,141.30, the value of which is based on 100% of the sealed cost estimate provided by the Landscape Architect (including labour and 10% contingency) for:
 - 3.1. Neighbourhood Park development within the area secured via a Statutory Right-of-Way on the subject site for this purpose (i.e. \$1,028,480.20); and
 - 3.2. Landscaping elsewhere on the subject site including, but not limited to, residential outdoor amenity space and green roofs (i.e. \$869,661.10).
4. Tree Replacement: City acceptance of the developer's voluntary contribution of \$3,900 to the City's Tree Compensation Fund for the planting of replacement trees within the city. (Tree compensation requirements filed under REDMS #4039202.)

5. **Arborist Services:** Submission of a Contract entered into between the applicant and a Certified Arborist for supervision of any on-site works conducted within the tree protection zone of trees to be retained on and around the site. The Contract should include the scope of the work to be undertaken, including the proposed number of site monitoring inspections and provisions for the Arborist to submit a post-construction assessment report to the City for review.
6. **Tree Protection:** Installation of appropriate tree protection fencing around all the trees that area to be retained as part of the development (both on and adjacent to 8888 Patterson Road) prior to the commencement of any construction activities.
7. **"No Build":** Registration of a restrictive covenant(s) on title securing that "no building" will be permitted and restricting Building Permit* issuance in respect to any portion of the subject development until the following is complete, as determined to the satisfaction of the City:
 - 7.1. **View Blockage & Other Potential Development Impacts:** *Unless already registered on 8888 Patterson Road & 3333 Hazelbridge Way*, the registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title, to the satisfaction of the City, to:
 - 7.1.1. Notify potential purchasers of residential units that the subject site is in a transitional area and, as a result of future development on surrounding properties, impacts on residential units and/or any common residential spaces may occur including, but not limited to, the obstruction of near and distant views to landmarks and features, in whole or in part (e.g., North Shore Mountains, Mt. Baker, Fraser River, Georgia Straight), increased shading, increased overlook, reduced privacy, increased ambient noise, and/or increased ambient night-time light;
 - 7.1.2. Require that the developer take steps via the design and construction of the subject development to mitigate possible impacts; and
 - 7.1.3. Indemnify the City.
 - 7.2. **Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions:** *Unless already registered on 8888 Patterson Road & 3333 Hazelbridge Way*, the registration of a restrictive covenant(s) and/or alternative legal agreement(s) on title, to the satisfaction of the City, to satisfy Richmond Zoning Bylaw 8500, Section 7 Parking and Loading, for Parking Zone 1A. (**Schedule B**)
 - 7.3. **Tandem Parking:** *Unless already registered on 8888 Patterson Road & 3333 Hazelbridge Way*, the registration of a legal agreement on title ensuring that where two parking spaces are provided in a tandem arrangement, both parking spaces must be assigned to the same dwelling unit and neither may be assigned for visitor parking purposes.
 - 7.4. **Shared Residential Amenity Space:** Registration of a restrictive covenant(s) and/or alternative legal agreement(s), to the satisfaction of the City, securing that residential indoor and outdoor amenity space constructed on Levels 2, 3, and 4 of the subject development on Area B (Phase 2), as specified in the DP* for the subject site, shall be secured, together with related access and uses, for the unrestricted use of the residents of Areas A, C, D, and E (Phases 1, 3, 4, and 5).
8. **Servicing Agreement:** Enter into a Servicing Agreement (SA)* for the design and construction, at the developer's sole cost, of the second phase of off-site works in respect to the "Concord Gardens" five-phase development at 8888 Patterson Road/3333 Hazelbridge Way (Lot 1) and 3340 Sexsmith Road (Lot 2). The first phase of off-site works has been secured via SA 12-616223 and SA 12-626906 (sanitary pump station). Works applicable to DP 12-642725, (i.e. "Concord Gardens – Phase 2") shall generally be as indicated in the "Servicing Agreement Key Plan: Concord Gardens – Phase 2" (**Schedule C**), EXCEPT that 100% of Engineering off-site requirements in respect to ALL five phases of "Concord Gardens" (i.e. sanitary sewer, storm sewer, water, utility undergrounding, and related

works) shall be designed and constructed, to the satisfaction of the City, via the developer's first phase Servicing Agreements (SA 12-616223 and SA 12-626906). In addition:

- Prior to DP issuance, all works identified via the SA* must be secured via a Letter(s) of Credit, to the satisfaction of the Director of Development, Director of Engineering, Director of Transportation, Senior Manager, Parks, and Manager, Environmental Sustainability.
- A comprehensive, detailed road and traffic management design (subject to final functional design approval by the Director of Transportation) must be completed for all five (5) phases of the "Concord Gardens" development – and updated on a phase-by-phase basis, as required to the satisfaction of the Director of Transportation – prior to SA* approval for any transportation-related SA* works in respect to the subject phase of development (i.e. DP 12-642725).
- No phasing of off-site works will be permitted. All works shall be completed prior to final Building Permit* inspection granting occupancy for the subject development, EXCEPT as otherwise specifically provided for, to the satisfaction of the City and at its sole discretion, via covenants or other legal agreements registered on the subject site.
- Development Cost Charge (DCC) credits may apply.

Servicing Agreement* (SA) works in respect to "Concord Gardens – Phase 2" will include, but may not be limited to, the following:

8.1. Patterson Road: The developer is responsible for the design and construction of the following Interim Cross-Section, to the satisfaction of the City, taking into consideration the following Ultimate Cross-Section in the design and construction of those road works. The developer is required to design and construct improvements between the east boundary of the "Private Road", secure via Statutory Right-of-Way along the common boundary of Area A and Area B on Lot 1 (i.e. 8888 Patterson Road and 3333 Hazelbridge Way), and the west boundary of the proposed Patterson Street-End Park (i.e. at 8911 Patterson Road), as determined to the satisfaction of the City.

8.1.1. Interim Cross-Section: The developer is required to design and construct a hammerhead turn-around at the proposed east end of Patterson Road (to be situated within the existing road right-of-way and the Statutory Right-of-Way registered on the subject site for this purpose), together with road widening to accommodate the following (from south to north):

- a) 2.0m wide concrete sidewalk;
- b) 1.5m wide landscaped boulevard, incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, some combination of groundcover and decorative planting, City Centre street lights (i.e. "Type 7"/ LED/grey, including one roadway luminaire, but excluding any pedestrian luminaires, banner arms, flower baskets holders, irrigation, or duplex receptacles), benches and furnishings, pedestrian crossings, and a minimum 1.5 m wide continuous trench for tree planting (i.e. to facilitate innovative storm water management measures aimed at improving the quality of run-off and reduce the volume of run-off entering the storm sewer system);
- c) 0.15m wide curb;
- d) 2.5m wide eastbound parking lane;
- e) 3.3m wide eastbound vehicle travel lane;
- f) 3.3m wide westbound vehicle travel lane; and
- g) Minimum 1.0m wide shoulder.

Note: As determined at the sole discretion of the City via the SA* process, the Interim Cross-Section may be modified to coordinate with the City-approved design for SA 12-

616223, the developer's Phase 1 Servicing Agreement. This may include, but may not be limited to, the removal of the proposed eastbound parking lane and the widening of both travel lanes from 3.3 m to 3.5 m each. In the event of any such City-approved modifications, the description of the Ultimate Cross-Section shall be understood to be modified accordingly (i.e. to provide for the future installation of works omitted or altered via the Phase 2 SA*).

8.1.2. Ultimate Cross-Section: The developer is required to take into consideration the completion (by others) of the hammerhead turn-around and the following Ultimate Cross-Section in the design and construction of required interim road works (referenced from the 3.3m wide westbound vehicle travel lane to north):

- a) 2.5m wide westbound parking lane;
- b) 0.15m wide curb;
- c) 1.5m wide landscaped boulevard, incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, some combination of groundcover and decorative planting, City Centre street lights (i.e. to match the south side of the street), benches and furnishings, pedestrian crossings, and a minimum 1.5 m wide continuous trench for tree planting (i.e. to facilitate innovative storm water management measures aimed at improving the quality of run-off and reduce the volume of run-off entering the storm sewer system; and
- d) 2.0m wide concrete sidewalk.

8.2. Garden City Road: The developer is required to design and construct road widening from the north boundary of the existing Patterson Road right-of-way to the southern limit of 3340 Sexsmith Road (i.e. "Concord Gardens", Lot 2 – Area C) to accommodate the following (from east to west):

- a) Maintain the existing southbound lanes;
- b) 1.8 m wide on-street bike lane;
- c) 0.15m wide curb;
- d) 3.0 m wide grass boulevard (with a maximum 4% cross slope), incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, City Centre (pedestrian) street lights (i.e. "Type 8- Custom Height"/ LED/grey, including two pedestrian luminaires installed with one facing the sidewalk and the other facing the on-street bike lane, but excluding any banner arms, flower baskets holders, irrigation, or duplex receptacles), benches and furnishings, a bike crossing (at the transition between on-street bike lane and off-street bike path), and a minimum 2.0 m wide continuous trench for tree planting;
- e) 2.0m wide concrete sidewalk; and
- f) 0.5 m wide landscape buffer (i.e. for future sidewalk widening, to be constructed, as required, by others).

Note: The developer shall not be responsible for replacing and/or upgrading the existing roadway lighting situated in the Garden City Road median.

8.3. Off-Street Bike Path: The developer is required to design and construct improvements to the public open space amenities on the City-owned lot at 8991 Patterson Road and its surroundings to provide for a public pedestrian walkway and off-street (two-way) bicycle path connecting the Sea Island Way/Garden City Road intersection with pedestrian/bicycle amenities within the Patterson Street-End Park and southwards along Garden City Road (i.e. pedestrian greenway and on-street, southbound bike lane), as determined to the satisfaction of the City. The improvements shall be

considered to be Transportation Demand Management (TDM) measures for the purpose of determining Zoning Bylaw parking spaces requirements for 8888 Patterson Road/3333 Hazelbridge Way (i.e. NOT for future development at 3340 Sexsmith Road.) Required improvements shall include, but may not be limited to:

- 8.3.1. Replacement of the City's existing asphalt path with parallel, separated pedestrian and bike paths including a:
- a) 2.0m wide concrete sidewalk (designed and located to provide for a convenient, safe, and attractive connection with the proposed Garden City Road sidewalk south of Patterson Road);
 - b) 3.0 m wide asphalt bike path (designed and located to provide for a convenient, safe, and attractive connection with the proposed temporary, shared walkway/two-way bike path along the north side of the Patterson Street-End Park and the southbound, on-street bike lane on Garden City Road); and
 - c) Landscaped buffer between the sidewalk and bike path, including City Centre (pedestrian) street lights (i.e. "Type 8"/ LED/grey, including two pedestrian luminaires, but excluding banner arms, flower baskets holders, irrigation, or duplex receptacles); and
- 8.3.2. Additional landscape enhancements, as determined to the satisfaction of the City via the SA* review and approval process (e.g., benches, and furnishings; landscape/storm water features coordinated with the Patterson Street-End Park).

Note: If via the SA* process, it is determined that tree(s) must be removed from the City road right-of-way or the City-owned lot at 8991 Patterson Road, the developer shall be required to replace the affected trees at a minimum ratio of 2:1 (or as otherwise determined by the City) or to make a cash-in-lieu voluntary contribution to the City's Tree Compensation Fund for the planting of replacement trees elsewhere within the city, as determined to the satisfaction of the City.

- 8.4. Patterson Street-End Park: The developer is required to design and construct a park for the active and passive use of the general public within the existing Patterson Road right-of-way to the satisfaction of the City, generally in the location shown on the City-approved Park Concept for "Concord Gardens", as per RZ 06-349722. (Schedule D) Required works shall include innovative storm water management measures aimed at improving the quality of run-off and/or reducing the volume of run-off entering the storm sewer system. Other features may include, but may not be limited to (from south to north):

- 8.4.1. 2.0m wide concrete sidewalk (directly aligned with the south sidewalk proposed for the road portion of Patterson Road);
- 8.4.2. +/-1.5m wide landscaped boulevard, incorporating street trees @ 6.0 m on centre or as otherwise directed by the City, some combination of groundcover and decorative planting, City Centre pedestrian lights (i.e. "Type 8"/ LED/grey, including one pedestrian luminaire, but excluding banner arms, flower baskets holders, irrigation, or duplex receptacles), benches and furnishings, pedestrian crossings, and a minimum 1.5 m wide continuous trench for tree planting;
- 8.4.3. Some combination of soft and hard landscape, including decorative planting, an informal sports court (for activities such as half-court basketball and children's wheeled toys) near the park's west end, and traffic/safety buffers at the park's east and west ends (e.g., fences, walls, hedges, berms);
- 8.4.4. Temporary 3.0 m wide (asphalt) shared walkway/two-way bike path (to be replaced/improved by others, as determined by the City in respect to future development along the north side of Patterson Road), including at its:

- a) East end, convenient, safe, and attractive connections to the public pedestrian walkway/sidewalk and on- and off-street bike facilities north and south of the park, together with wayfinding features (e.g., signage); and
- b) West end, access to/from the hammerhead turn-around at the east end of the road portion of Patterson Road, which access is to be centred on Patterson Road's driving lanes and, among other things:
 - Incorporate measures to prevent/deter access by motor vehicles;
 - Provide for the convenience and safety of cyclists; and
 - Together with other elements incorporated into the park and Patterson Road's proposed hammerhead turn-around, provide for wayfinding (e.g., signage) and an attractive street-end feature that complements the proposed (and future) fronting residential neighbourhood development; and

8.4.5. Retention and upgrading of the existing ditch and its surroundings to provide for permanent and/or temporary improvements complementary to the public amenity, use and/or appearance of the park and the public open space amenities on the City-owned lot at 8991 Patterson Road, which may include, but may not be limited to, the installation of City Centre pedestrian lights (i.e. "Type 8"/ LED/grey, including one pedestrian luminaire, but excluding banner arms, flower baskets holders, irrigation, or duplex receptacles), innovative storm water management measures, removal/replacement of invasive plants, interpretive features, and seating.

Prior to Building Permit (BP)* issuance permitting construction, the developer must complete the following requirements:

1. **"No Build":** Compliance with the terms of the restrictive covenant(s) registered on title securing that "no building" will be permitted and restricting Building Permit (BP)* issuance in respect to any portion of the subject development until conditions are satisfied for the following, as determined to the satisfaction of the City:
 - 1.1. District Energy Utility (DEU) Agreement (i.e. DEU-related design and energy modelling report to the satisfaction of the City);
 - 1.2. Parks (i.e. detailed design of the Neighbourhood Park situated on Area B and secured via the subject DP Landscape Letter of Credit to the satisfaction of the City);
 - 1.3. Site Conditions (i.e. the developer has entered into the Site Condition Agreement, to the satisfaction of the City, which agreement shall address issues, as determined via the subject development's Servicing Agreement(s)*, Development Permit*, and/or Building Permit(s)* to the satisfaction of the Director of Engineering, Director of Development, and Director of Transportation, including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification and/or other activities that may result in settlement, displacement, subsidence, damage and/or nuisance to City and/or private utility infrastructure.);
 - 1.4. View Blockage & Other Potential Development Impacts (i.e. a Letter of Assurance is submitted by the Registered Professional to the satisfaction of the City);
 - 1.5. Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions (i.e. design to the satisfaction of the City and Letter of Assurance from a Registered Professional); and
 - 1.6. Tandem Parking (i.e. design to the satisfaction of the City).

2. Capstan Station: As per the restrictive covenant and/or other legal agreements registered on the subject site prior to rezoning adoption (RZ 06-349722), the developer's voluntary contribution to the Capstan Station Reserve or as otherwise provided for via the Zoning Bylaw, as per the Richmond Zoning Bylaw in effect at the date of Building Permit* approval.
3. Traffic Management: Submission of a Construction Parking and Traffic Management Plan to the Transportation Division. Management Plan shall include location for parking for services, deliveries, workers, loading, application for any lane closures, and proper construction traffic controls as per Traffic Control Manual for works on Roadways (by Ministry of Transportation) and MMCD Traffic Regulation Section 01570.
4. Accessibility Measures: Incorporation of accessibility measures in Building Permit* plans as determined via the Development Permit* processes for DP 13-642725.
5. Hoarding: Obtain a Building Permit* for any construction hoarding. If construction hoarding is required to temporarily occupy a public street, the air space above a public street, or any part thereof, additional City approvals and associated fees may be required as part of the Building Permit*. For additional information, contact the Building Approvals Division at 604-276-4285.

Note:

- * Items marked with an asterisk require a separate application.
- Where the Director of Development deems appropriate, the preceding agreements are to be drawn not only as personal covenants of the property owner but also as covenants pursuant to Section 219 of the Land Title Act.
All agreements to be registered in the Land Title Office shall have priority over all such liens, charges and encumbrances as is considered advisable by the Director of Development. All agreements to be registered in the Land Title Office shall, unless the Director of Development determines otherwise, be fully registered in the Land Title Office prior to enactment of the appropriate bylaw.
The preceding agreements shall provide security to the City including indemnities, warranties, equitable/rent charges, letters of credit and withholding permits, as deemed necessary or advisable by the Director of Development. All agreements shall be in a form and content satisfactory to the Director of Development.
- Additional legal agreements, as determined via the subject development's Servicing Agreement(s)* and/or Development Permit(s)*, and/or Building Permit(s)* to the satisfaction of the Director of Engineering may be required including, but not limited to, site investigation, testing, monitoring, site preparation, de-watering, drilling, underpinning, anchoring, shoring, piling, pre-loading, ground densification or other activities that may result in settlement, displacement, subsidence, damage or nuisance to City and private utility infrastructure.

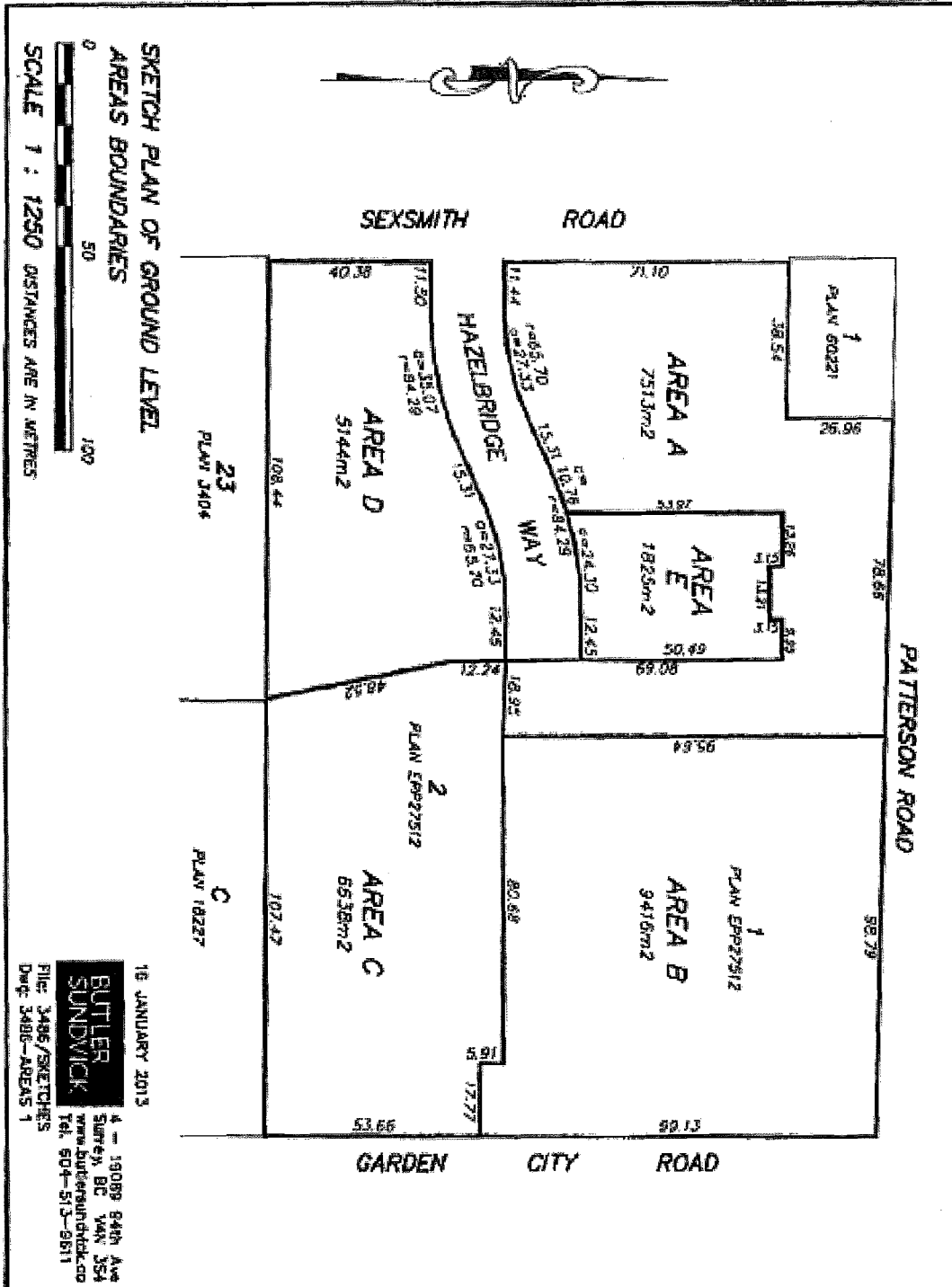
Signed 

 PETER WEAS

Date Nov. 18, 2013

SCHEDULE "A"

SKETCH PLAN OF AREAS A TO E



Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

Concord Gardens: Phases 1, 2 & 5 (Lot 1: Areas A, B & E)

DP 13-642725 (Phase 2) & BP 13-643300 (Phase 1) – Pending applications

Purpose: To satisfy Richmond Zoning Bylaw 8500, Section 7 Parking and Loading, for Parking Zone 1A, which requires that parking provided in respect to a multiple-phase development on a single lot in Capstan Village (including the subject lot at 8888 Patterson Road & 3333 Hazelbridge Way) shall:

- a) Satisfy Parking Zone 2 for the parking space requirements for the first phase of the development on the lot;
- b) Satisfy Parking Zone 1 for the combined total parking space requirements for all the phases of the development on the lot; and
- c) Secure parking spaces provided in excess of Zone 1 parking space requirements for any phase on the lot, except for the final phase of the development:
 - For the temporary use of uses occurring at the initial phase or phases of the development; and
 - For the permanent use of uses occurring in the subsequent phase or phases of the development.

Covenant: (Note: For location of Areas, see “Schedule A”.)

As per the existing “No Build” covenant registered on Lot 1 and Lot 2 (Registration #CA2999850 & #CA2999851) and the requirements of Richmond Zoning Bylaw 8500, Section 7 Parking and Loading, for Parking Zone 1A (as described above), prior to Building Permit issuance for the construction of the first building on Area A (i.e. the first building on Lot 1), exclusive of parking, below grade structures, and landscape features, the owner shall enter into a restrictive covenant requiring the owner, at its sole cost, to:

***NOTE:** The following requirements are based on the developer's development proposal(s) for Lot 1, as currently understood by Richmond staff (i.e. 280 units @ Phase 1 as per BP 13-643300; 255 units @ Phase 2 as per DP 13-642725; and, approximately 132 units @ Phase 5, to be confirmed to the satisfaction of the City via future permits). If that development was to differ from staff's understanding, the parking requirements shall be revised accordingly, to the satisfaction of the Director of Transportation and Director of Development.*

1. For parking for vehicles (as defined under the Zoning Bylaw):

1.1. Provide for a combined total number of parking spaces on the lot (i.e. Areas A, B, and E combined) of at least 800, including at least:

1.1.1. 269 Resident Parking Spaces for the permanent use of the residents of Area A, of which:

- a) 16 parking spaces shall be for the exclusive use of the occupants of the ARTS Units on Area A;
- b) 96 parking spaces shall be equipped with 120V electrical vehicle (EV) charging stations and an additional 80 parking spaces shall be constructed to accommodate the future installation of electric vehicle charging equipment by others (i.e. pre-ducted for future wiring); and
- c) 100% of parking spaces shall be constructed prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A – as per the phasing covenant registered on title), exclusive of parking, below grade structures, and landscape features;

1.1.2. 251 Resident Parking Spaces for the permanent use of the residents of Area B, of which:

- a) At least 14 parking spaces shall be for the exclusive use of Housing Units secured via a Housing Agreement on Area B as determined via an approved Development Permit for Area B;

Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

- b) 89 parking spaces shall be equipped with 120V electrical vehicle (EV) charging stations and an additional 74 parking spaces shall be constructed to accommodate the future installation of electric vehicle charging equipment by others (i.e. pre-ducted for future wiring); and
 - c) 100% of parking spaces shall be constructed prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B or Area E, exclusive of parking, below grade structures, and landscape features;
- 1.1.3. 97 Visitor Parking Spaces for the permanent use of visitors to the lot, of which the construction of:
- a) 51 parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A), exclusive of parking, below grade structures, and landscape features;
 - b) 100% of the parking spaces should be located in a single contiguous area, which area should be located, designed, and constructed to provide convenient access to all the common building entries on the lot (i.e. all elevator lobbies situated on Areas A, B & E);
 - c) 100% of parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features;
 - d) At least 6 parking spaces equipped with 240V electrical vehicle (EV) charging stations shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features; and
- 1.1.4. 183 Transitional Parking Spaces, of which:
- a) 100% of parking spaces shall provide for the temporary use of the residents of Area A and Area B and/or visitors to the lot until the date of Final Building Permit Inspection Granting Occupancy for Area E development, exclusive of parking, below grade structures, and landscape features, upon which date the Transitional Parking Spaces shall be used exclusively for Resident Parking Spaces for the permanent use of the residents of Area E and Visitor Parking Spaces for the permanent use of visitors to the lot, as determined to the satisfaction of the Director of Development via an approved Development Permit for Area E;
 - b) 55 parking spaces shall be equipped with 120V electrical vehicle (EV) charging stations and an additional 46 parking spaces shall be constructed to accommodate the future installation of electric vehicle (EV) charging equipment by others (i.e. pre-ducted for future wiring), 100% of which parking spaces shall be designated for Resident Parking Spaces for the permanent use of the residents of Area E;
 - c) The construction of:
 - i. 40 parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A), of which 12 parking spaces shall be equipped with 120V electrical vehicle charging stations and 10 parking spaces shall be constructed to accommodate the future installation of electric vehicle charging equipment by others (i.e. pre-ducted for future wiring); and

Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

- ii. 100% of parking spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features.
- 1.2. Provide for Resident Parking Spaces for the permanent use of the residents, Visitor Parking Spaces for the permanent use of visitors to the lot, and Transitional Parking Spaces, on a phase-by-phase basis, to provide for a proportional share of handicapped and small car spaces as per the Zoning Bylaw.
- 1.3. Provide for the shared use of the Visitor Parking Spaces provided on a phase-by-phase basis for the permanent use of visitors to the lot by all the phases of development on the lot (i.e. Area A, B & E).
- 1.4. For the 6 Visitor Parking Spaces equipped with 240V electrical vehicle charging stations, the owner shall:
 - 1.4.1. Group the parking spaces together in one location collocated with other visitor parking spaces;
 - 1.4.2. Provide for unrestricted (shared) use of the parking spaces and charging facilities by all residents of and visitors to the lot (i.e. Area A, B & E);
 - 1.4.3. Ensure that the parking spaces (individually or as a group(s) of two or more) cannot be designated (e.g., leased, sold) for the exclusive use of the residents of or visitors to any specific dwelling unit(s), building(s), or Area(s).
- 1.5. Where two parking spaces are provided in tandem for the exclusive use of the residents of a single dwelling unit (as per the Zoning Bylaw and the City's standard tandem parking covenant, which is to be registered on title):
 - 1.5.1. Equip one parking space with a 120V electrical vehicle (EV) charging station; and
 - 1.5.2. Do not construct either parking space to accommodate the future installation of electric vehicle charging equipment by others (i.e. do not pre-duct for future wiring).
- 2. **For Class 1 bicycle parking (as defined under the Zoning Bylaw):**
 - 2.1. Provide for a combined total number of Class 1 bicycle parking spaces on the lot (i.e. Areas A, B, and E combined) of at least 835, including at least:
 - 2.1.1. 350 Class 1 Bicycle Parking Spaces for the permanent use of the residents of Area A, which shall include:
 - a) 25 for the exclusive use of the occupants of the ARTS Units secured via a Housing Agreement on Area A;
 - b) Access to at least 35 120V electrical vehicle (EV) charging stations; and
 - c) 100% of construction complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A – as per the phasing covenant registered on title), exclusive of parking, below grade structures, and landscape features;
 - 2.1.2. 320 Class 1 Bicycle Parking Spaces for the permanent use of the residents of Area B, which shall include:
 - a) At least 22 shall be for the exclusive use of Housing Units secured via a Housing Agreement on Area B as determined via an approved Development Permit for Area B;
 - b) Access to at least 32 120V electrical vehicle (EV) charging stations; and

Transitional Parking Strategy & Electric Vehicle (EV) & Bike Charging Stations Provisions

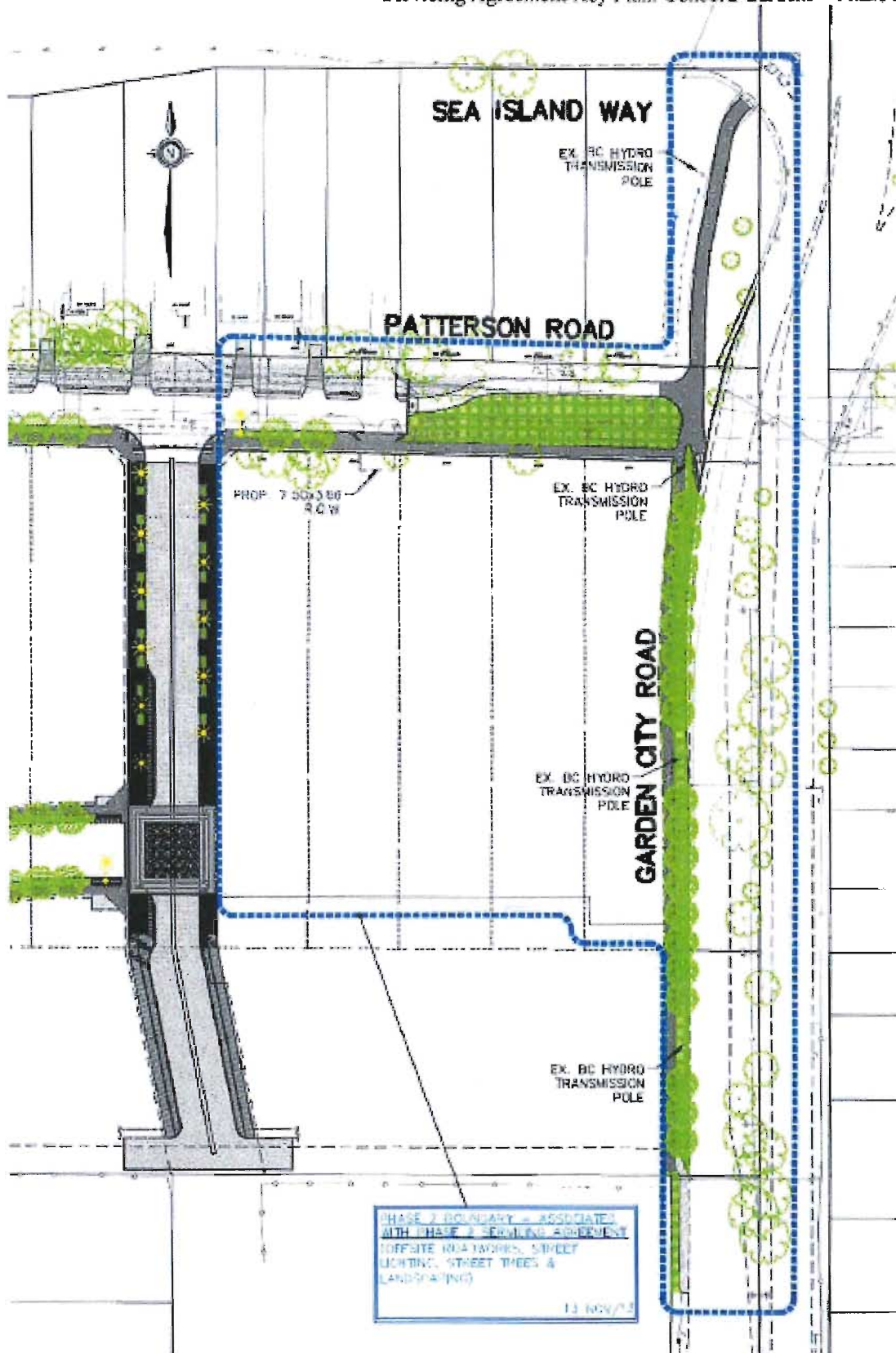
- c) 100% of construction complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area B – as per the phasing covenant registered on title), exclusive of parking, below grade structures, and landscape features;

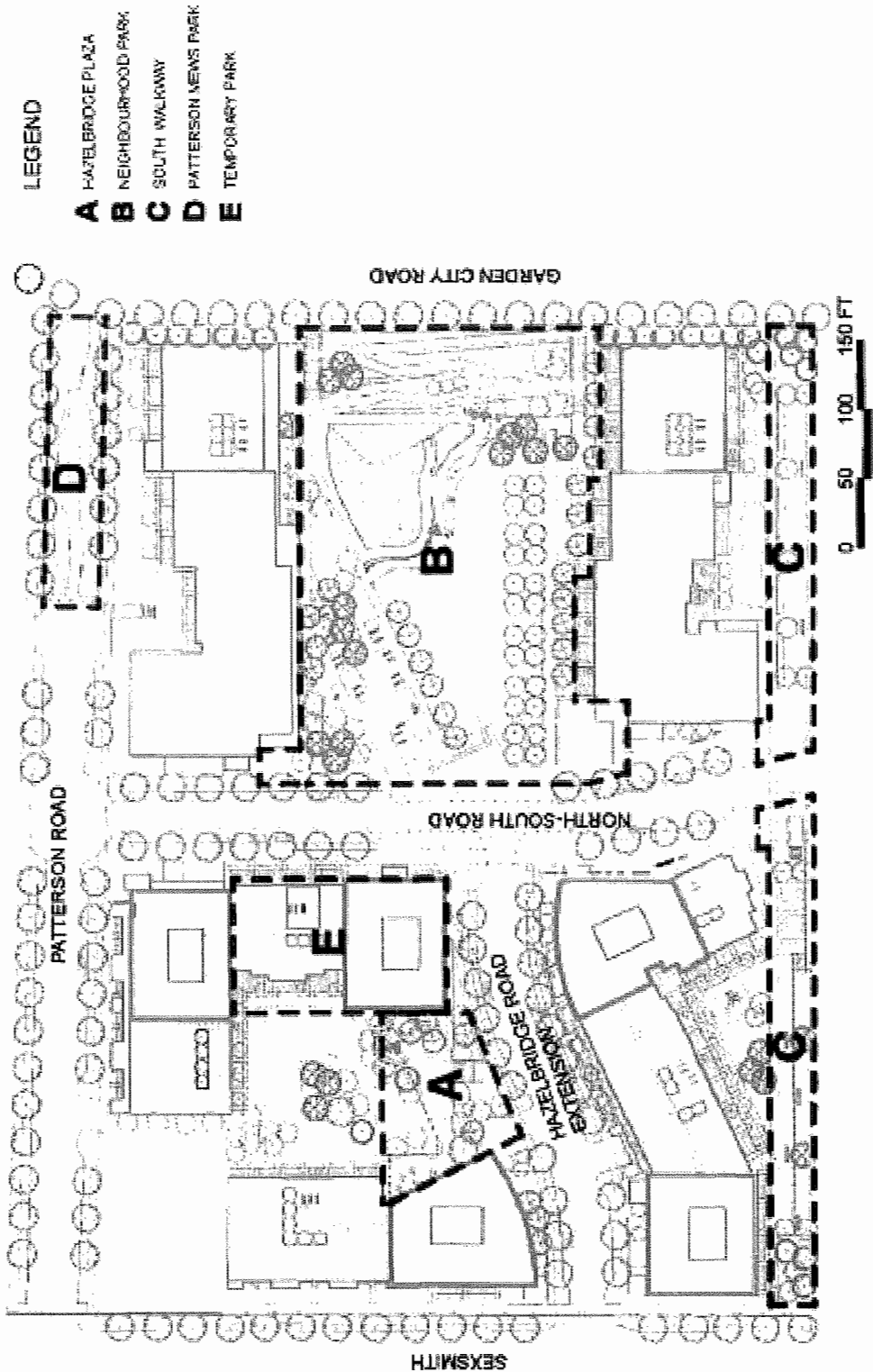
2.1.3. 165 Transitional Class 1 Bicycle Parking Spaces, of which:

- a) 100% of Transitional Class 1 Bicycle Parking Spaces shall provide for the temporary use of the residents of Area A and Area B until the date of Final Building Permit Inspection Granting Occupancy for Area E development, exclusive of parking, below grade structures, and landscape features, upon which date the Transitional Class 1 Bicycle Parking Spaces shall be used exclusively for Class 1 Bicycle Parking Spaces for the permanent use of the residents of Area E, as determined to the satisfaction of the Director of Development via an approved Development Permit for Area E;
- d) Access to at least 17 120V electrical vehicle (EV) charging stations; and
- d) The construction of:
 - i. 48 Transitional Class 1 Bicycle Parking Spaces shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on the lot (i.e. Area A), together with at least 5 120V electrical vehicle (EV) charging stations; and
 - ii. 100% of Transitional Class 1 Bicycle Parking Spaces, together with 100% of the required 120V electrical vehicle (EV) charging stations, shall be complete prior to Final Building Permit Issuance Granting Occupancy for the first building on Area B, exclusive of parking, below grade structures, and landscape features.

2.2. Ensure that the required 120V electrical vehicle (EV) charging stations shall be:

- 2.2.1. Located within secure bike rooms and, on a bike room-by-bike room basis, shall be designed and installed to provide for the shared use of the users of each bike room (i.e. not assigned or otherwise allocated to specific dwelling units);
- 2.2.2. Distributed based on a minimum of 1 120V electrical vehicle (EV) charging station for every 10 bike parking spaces;
- 2.2.3. Designed and installed such that the users of the 120V electrical vehicle (EV) charging stations may secure (i.e. lock) their bikes while charging their bikes.





LANDSCAPE AMENITY DIAGRAM
December, 2011

Scale 1=1200

CONCORD GARDENS

PWL parters inc





No. DP 13-642725

To the Holder: Amela Brudar – GBL Architects
Property Address: 8888 Patterson Road and 3333 Hazelbridge Way
Address: 140 – 2034 West 11th Avenue, Vancouver, BC, V6J 2C9

1. This Development Permit is issued subject to compliance with all of the Bylaws of the City applicable thereto, except as specifically varied or supplemented by this Permit.
2. This Development Permit applies to and only to those lands shown cross-hatched on the attached Schedule "A" and any and all buildings, structures and other development thereon.
3. The "Richmond Zoning Bylaw 8500" is hereby varied to:
 - a) Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m; and
 - b) Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
4. Subject to Section 692 of the Local Government Act, R.S.B.C.: buildings and structures; off-street parking and loading facilities; roads and parking areas; and landscaping and screening shall be constructed generally in accordance with Plans #1 to #17b attached hereto.
5. Sanitary sewers, water, drainage, highways, street lighting, underground wiring, and sidewalks, shall be provided as required.
6. As a condition of the issuance of this Permit, the City is holding the security in the amount of \$1,898,141.30 to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Holder if the security is returned. The condition of the posting of the security is that should the Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the City may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Holder. Should the Holder carry out the development permitted by this permit within the time set out herein, the security shall be returned to the Holder. The City may retain the security for up to one year after inspection of the completed landscaping in order to ensure that plant material has survived.
7. If the Holder does not commence the construction permitted by this Permit within 24 months of the date of this Permit, this Permit shall lapse and the security shall be returned in full.

Development Permit
No. DP 13-642725

To the Holder: Amela Brudar – GBL Architects
Property Address: 8888 Patterson Road and 3333 Hazelbridge Way
Address: 140 – 2034 West 11th Avenue, Vancouver, BC, V6J 2C9

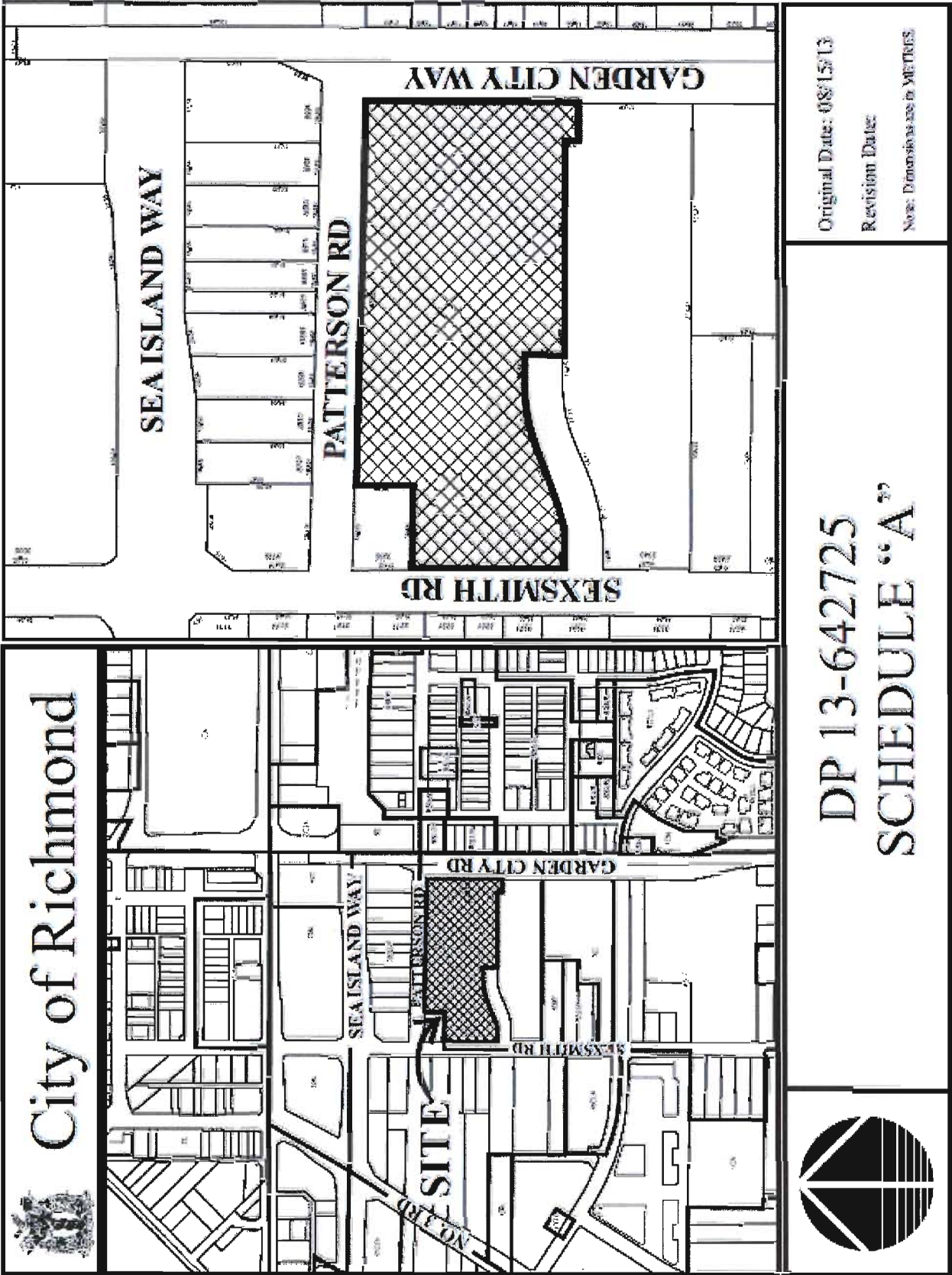
8. The land described herein shall be developed generally in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

AUTHORIZING RESOLUTION NO. ISSUED BY THE COUNCIL THE
DAY OF , .

DELIVERED THIS DAY OF , .

MAYOR



City of Richmond



DP 13-642725
SCHEDULE "A"

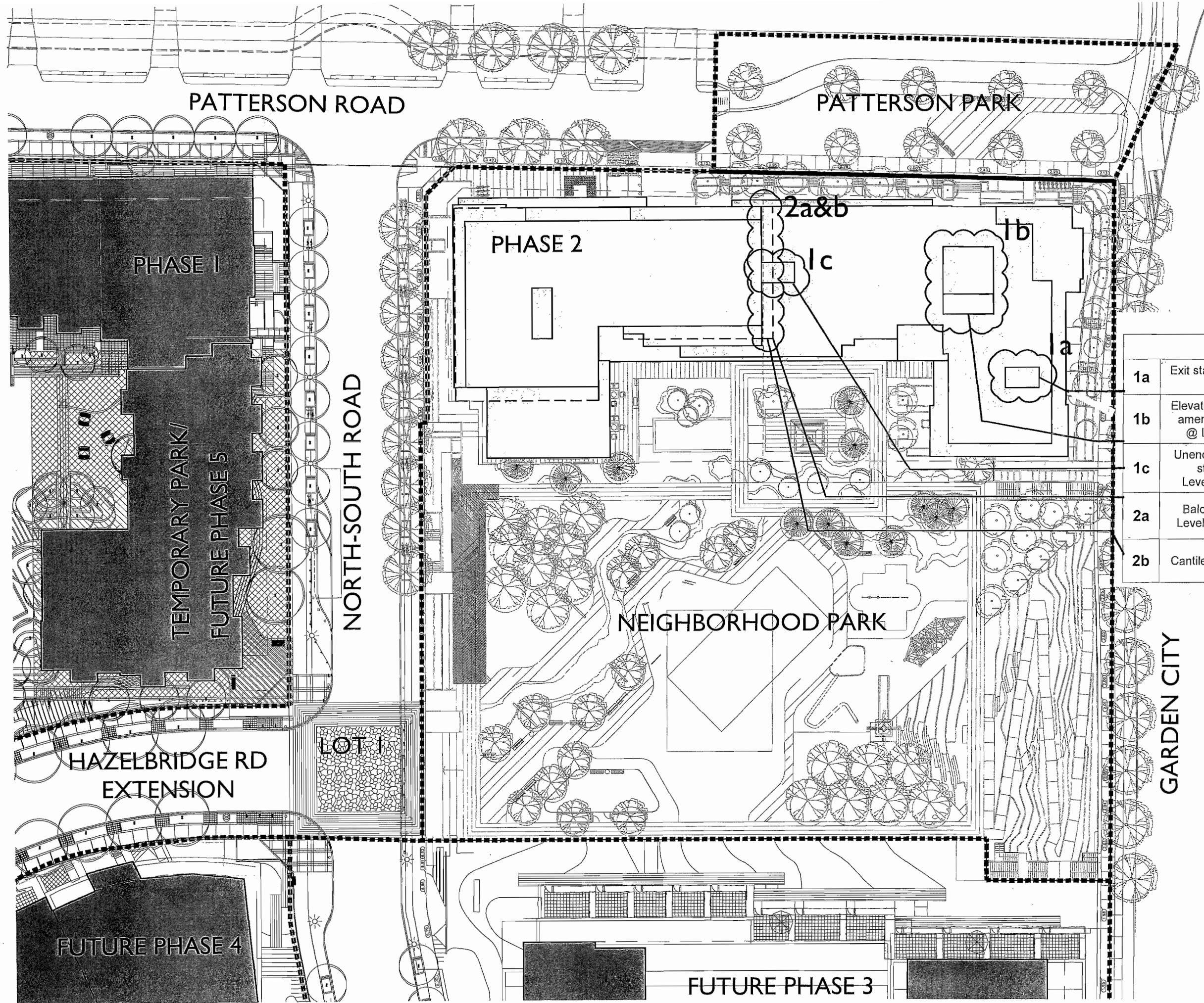
Original Date: 08/15/13
Revision Date:
Note: Dimensions are in METRES



gBL ARCHITECTS INC.
 143-2514 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 2C3
 TELEPHONE: 604 238 1156
 FACSIMILE: 604 231 5279



PLOT INFO:
 Filed 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST, NEW WESTMINSTER DISTRICT



Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	

Plan 2a Dec 16, 2013
 DP 13-642725

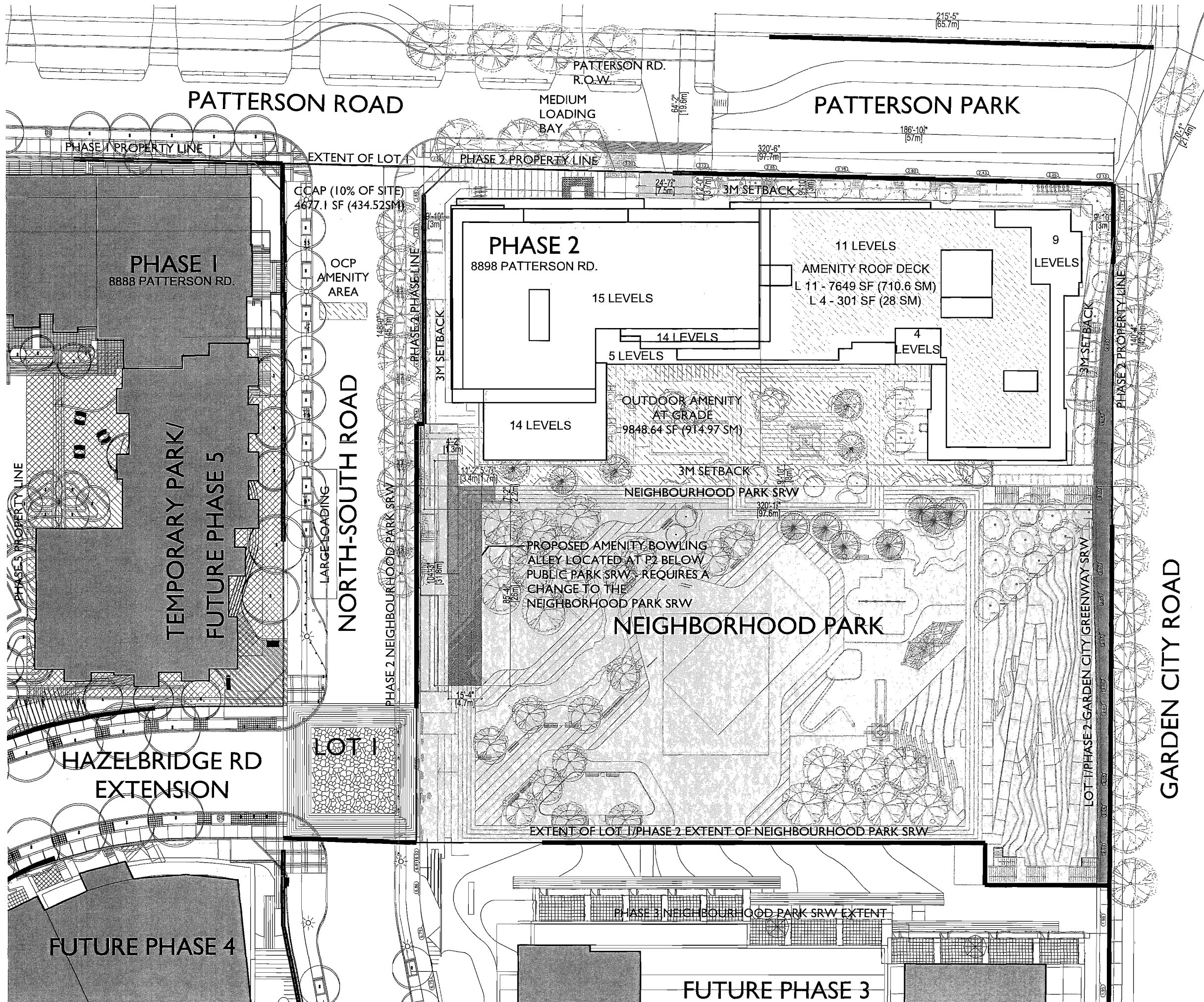


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SITE PLAN
 BYLAW VARIANCE

DATE: FEB 27, 2013
 DRAWN BY: PJG
 CHECKED BY: NTS
 SCALE: NTS
 JOB NUMBER: 1251

A-1.07a



gBL ARCHITECTS INC.
 140-2034 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 3C9
 TELEPHONE 604 736 1138
 FACSIMILE 604 731 5279



PLOT INFO:
 Printed 1 November 2011
 Legal Address: LOT 1; PLAN BCP _____
 SECTIONS 27 AND 28; BLOCK S; NORTH RANGE 6
 WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	MAR. 14, 2013	PROGRESS SET
2	JULY 22, 2013	DEVELOPMENT PERMIT APPLICATION
3	OCT. 15, 2013	ADVISORY DESIGN PANEL SUBMISSION
4	NOV. 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	OCT. 11, 2013	CITY REVIEW
6	DEC. 16, 2013	DP APPLICATION - PRELIMINARY

NOTE:
 ALL ELEVATIONS ARE MEASURED TO 0M GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.

Plan 2b Dec 16, 2013
 DP 13-642725

- NEIGHBOURHOOD PARK - 5,144.9 m2
 - PUBLIC ACCESS FOR PARK USE
- GARDENCITY GREENWAY - 186.51 m2
 - SIDEWALK WIDENING
- PATTERSON PARK - 1,198.3 m2
 - SERVICING AGREEMENT TO BE FULLY CONSTRUCTED AS PART OF PHASE 2
- PATTERSON ROAD R.O.W. - 27.45 m2
 - 24 HOUR-A-DAY UNIVERSALLY ACCESSIBLE PUBLIC ACCESS FOR PEDESTRIANS, BYCYCLES, AND GENERAL PURPOSE TRAFFIC. SPECIFICALLY TO PROVIDE ROOM 3-POINT TURNAROUND MOVEMENTS AT THE EAST END OF THE TERMINATED PATTERSON RD.

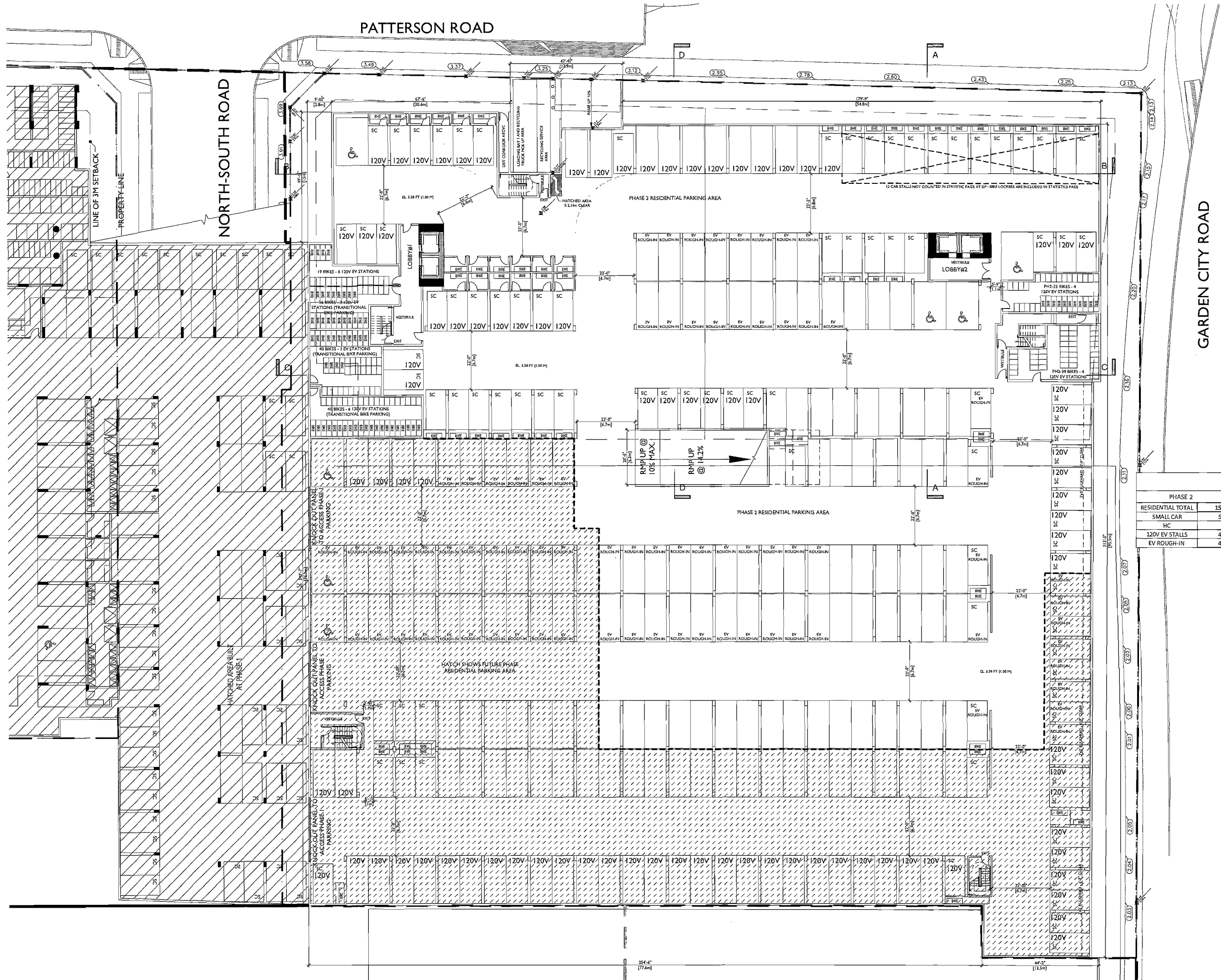


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SITE PLAN

DATE	FEB 27, 2013
DRAWN BY	PJC
CHECKED BY	NTS
SCALE	1:251
JOB NUMBER	1251

A-1.07



■ GBL ARCHITECTS INC.
 140 - 2034 WEST 11TH AVENUE TEL: 604 731 1154
 VANCOUVER, BC CANADA V6J 2C7 FACSIMILE: 604 731 5379

CONCORD GARDENS, PHASE 2, RICHMOND, BC. THIS PLAN IS THE PROPERTY OF GBL ARCHITECTS INC. AND NOT BE LOANED, REPRODUCED, COPIED, REPRODUCED, OR USED IN ANY MANNER WITHOUT WRITTEN CONSENT.



PROJECT NORTH

PLOT INFO:
 Printed: 1 November 2013
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	MAR 14, 2013	PROGRESS SET
2	JULY 28, 2013	DEVELOPMENT PERMIT APPLICATION
3	OCT 16, 2013	ADVISORY DESIGN PANEL SUBMISSION
4	NOV 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	DEC 11, 2013	CITY REVIEW - DP APPLICATION - PHASE 10
6	DEC 16, 2013	

NOTE:
 ALL ELEVATIONS ARE MEASURED TO 84 GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.

PHASE 2	TRANSITIONAL (PHASE 5)	PHASE 2 BIKES	TRANSITIONAL (PHASE 5) BIKES
RESIDENTIAL TOTAL	154	RESIDENTIAL TOTAL	119
SMALL CAR	57	SMALL CAR	26
HC	4	HC	3
120V EV STALLS	48	120V EV STALLS	43
EV ROUGH-IN	42	EV ROUGH-IN	36
TOTAL	140	TOTAL	117
VERTICAL	76	VERTICAL	50
120V	34	120V	12

Plan 3 Dec 16, 2013
 DP 13-642725

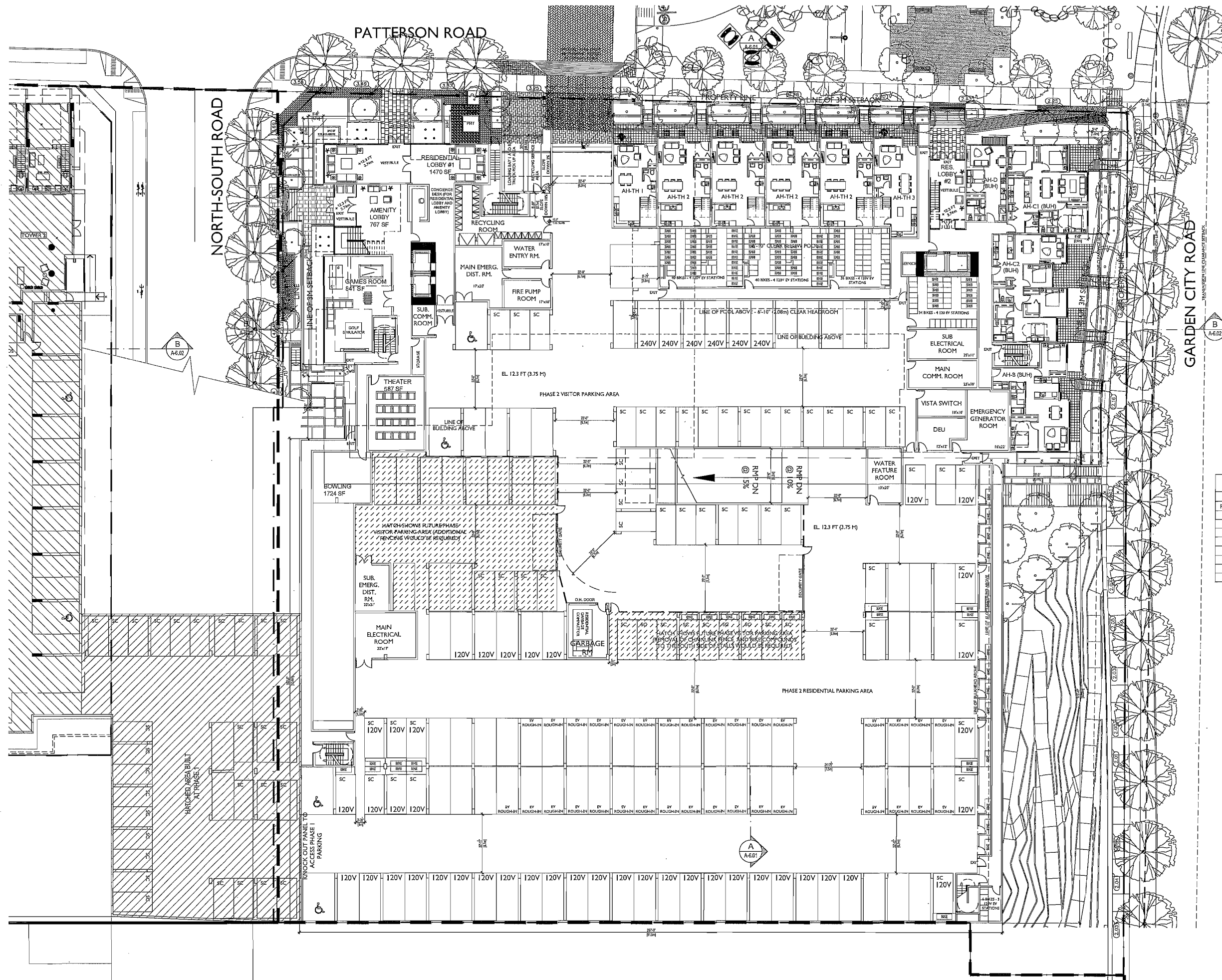


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 1

DATE: MAR 14, 2013
 DRAWN BY: EM
 CHECKED BY: AB
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 1251

A-2.01



gBL ARCHITECTS INC.
 140 - 2034 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 2C7
 TELEPHONE 604 736 1156
 FACSIMILE 604 731 5279



PROJECT NORTH

PLOT INFO:
 Pinned 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR. 14, 2013	PROGRESS SET
2.	JULY 28, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 16, 2013	ADVISORY DESIGN PANEL, COMMENTS
4.	NOV. 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC. 11, 2013	CITY REVIEW
6.	DEC. 14, 2013	CP APPLICATION - PROLOGO

NOTE:
 ALL DIMENSIONS ARE MEASURED TO DA GEOMETRIC IN PLANS, SECTIONS AND ELEVATIONS.

Plan 4 Dec 16, 2013
 DP 13-642725

LEVEL 2 PARKING			
PHASE 2	TRANSITIONAL (PHASE 5)	BIKES	
RESIDENTIAL TOTAL	97	VISITOR TOTAL	24 TOTAL 189
SMALL CAR	17	SMALL CAR	13 VERTICAL 70
HC	2		120V 19
120V EV STALLS	42		
EV ROUGH-IN	33		
VISITOR TOTAL	48		
SMALL CAR	28		
HC	2		
240V EV STALLS	6		

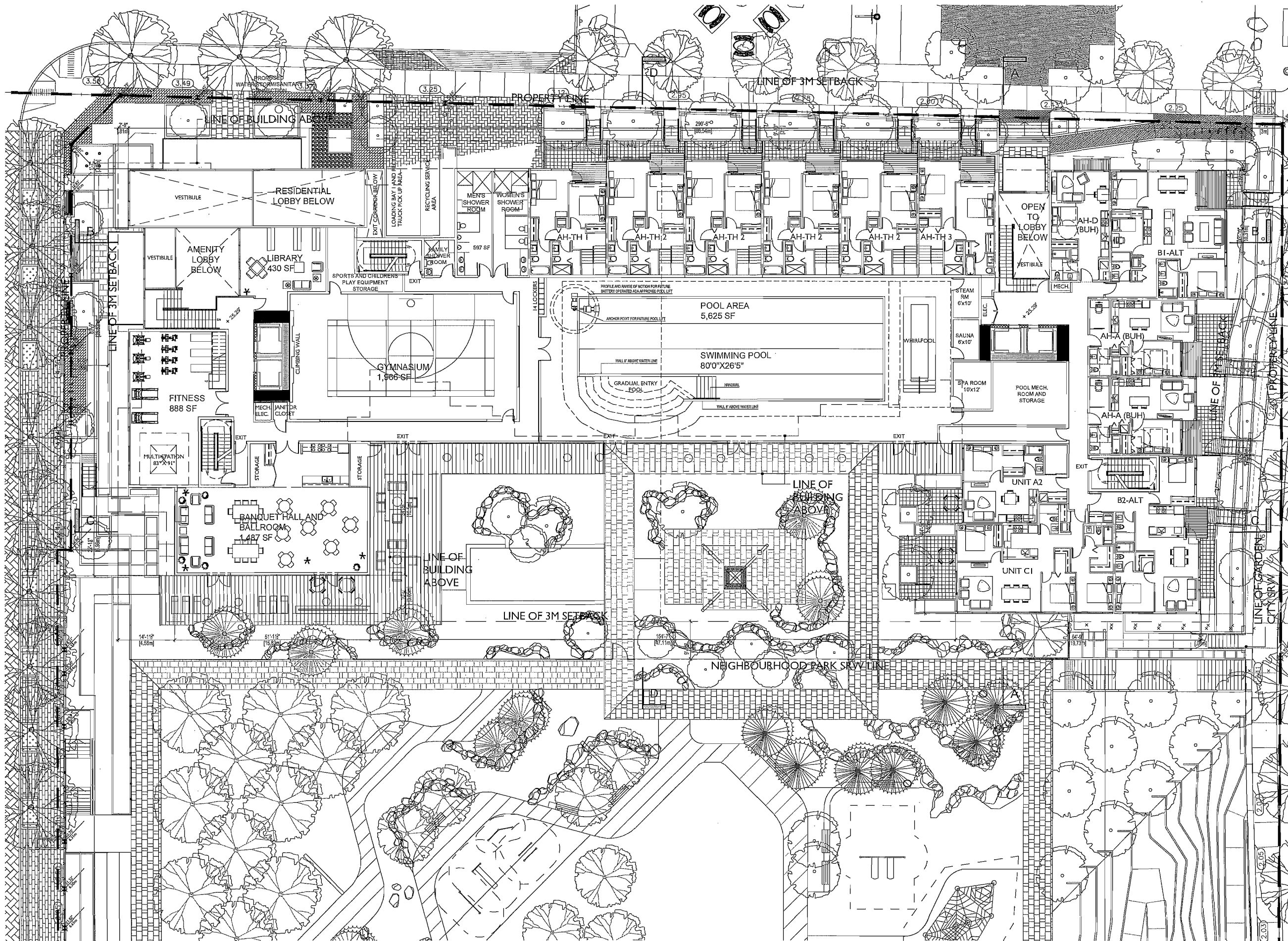


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 2

DATE: MAR 14, 2013
 DRAWN BY: EM
 CHECKED BY: AB
 SCALE: 1/16"=1'-0"
 JOB NUMBER: 1251

A-2.02



GBL ARCHITECTS INC.
 140-2014 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 3C3
 TELEPHONE 604 731 1156
 FACSIMILE 604 731 5279

CONCORD GARDENS, PHASE 2, IS A PROJECT OF GBL ARCHITECTS INC. AND ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF GBL ARCHITECTS INC.



PLOT INFO:
 Plotted November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14, 2013	PROGRESS SET
2.	JUL 26, 2013	DEVELOPMENT PERMITS APPLICATION
3.	OCT 15, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	MAR 14, 2013	CITY REVIEW (15-11 STAFF COMMENTS RESPONSE)
5.	DEC 11, 2013	CITY REVIEW
6.	DEC 16, 2013	DP APPLICATION - FINAL

NOTE:
 ALL ELEVATIONS ARE MEASURED TO 00 GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.

Plan 5 Dec 16, 2013
 DP 13-642725

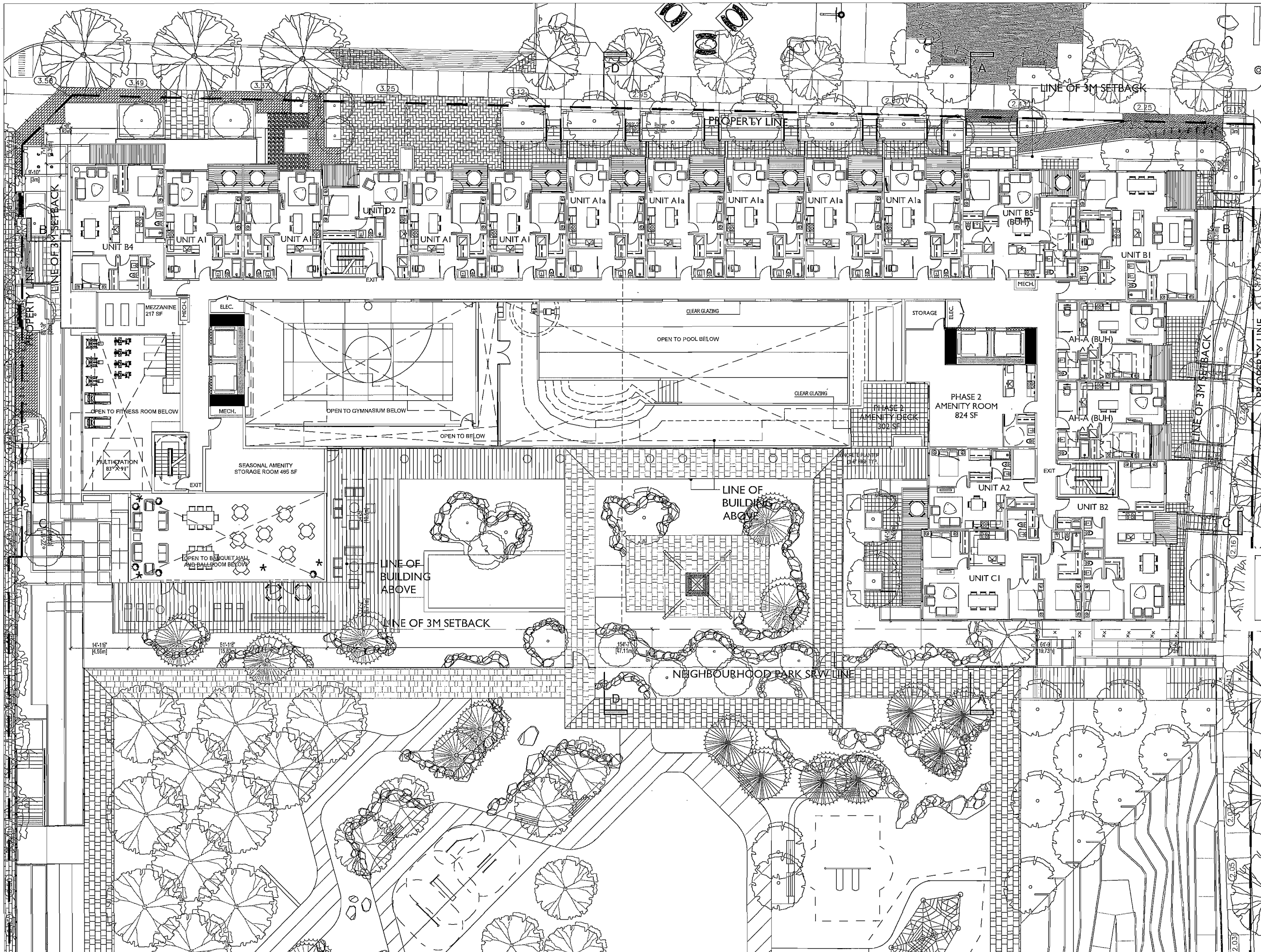


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 3

DATE	MAR 14, 2013
DRAWN BY	EM
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.01



■ GBL ARCHITECTS INC.
 140 - 234 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6Z 2C3
 TELEPHONE 604 736 1156
 FACSIMILE 604 731 2279



PROJECT NORTH

PLOT INFO:
 Pinned 1 November 2011
 Legal Address: LOT 1; PLAN BCP ;
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14 2013	PROGRESS SET
2.	JULY 29 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT 16 2013	ADVISORY REVIEW PANEL SUBMISSION
4.	NOV 14 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC 16 2013	CITY REVIEW
6.	DEC 16 2013	DP APPLICATION - PRIOR TO

NOTE:
 ALL ELEVATIONS ARE MEASURED TO 0M GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.

Plan 6 Dec 16, 2013
 DP 13-642725

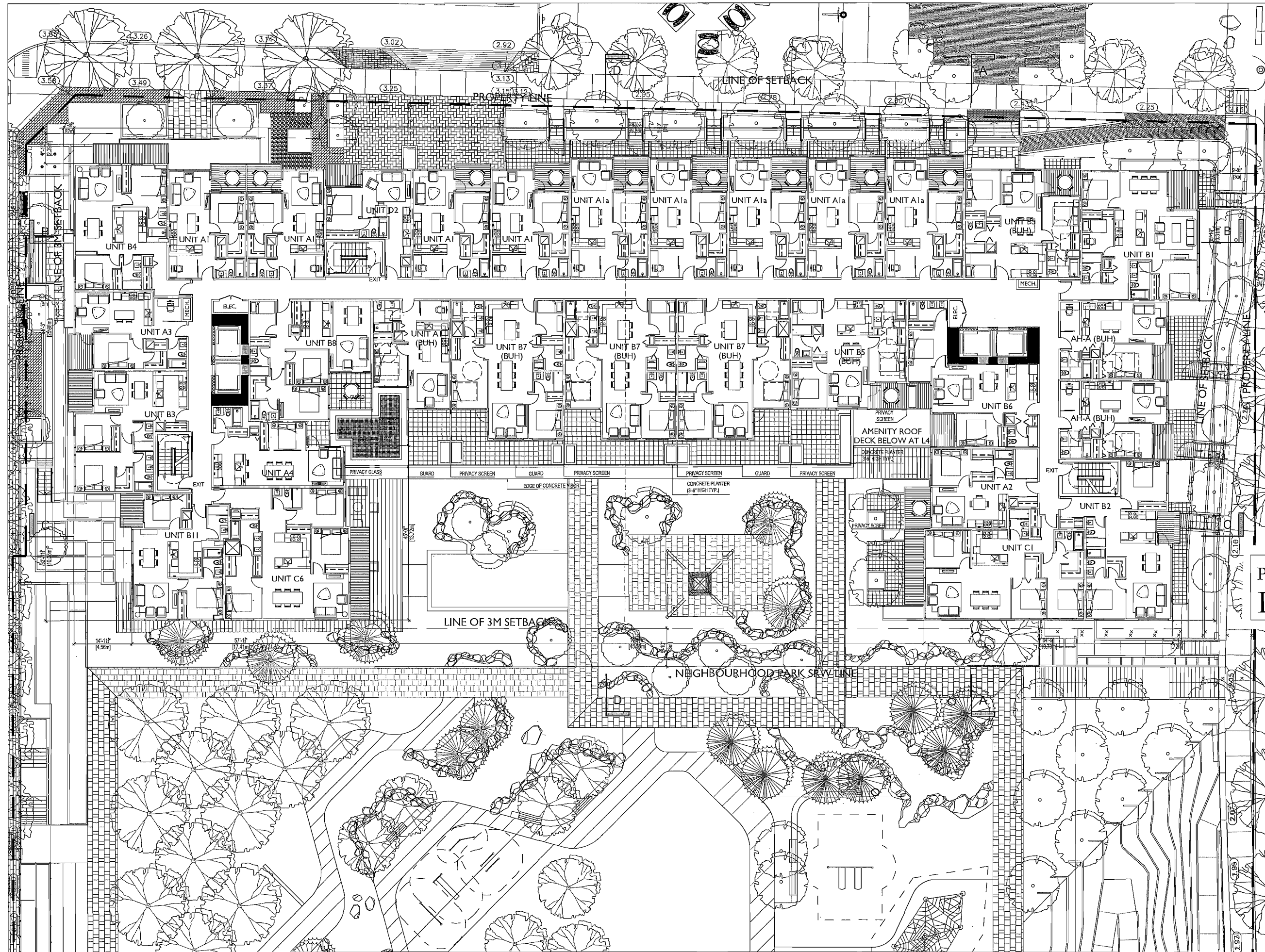


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 4

DATE	MAR 14 2013
DRAWN BY	EM
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

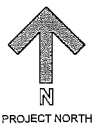
A-3.02



gBL

■ GBL ARCHITECTS INC.
 140 - 2204 WEST 15TH AVENUE
 VANCOUVER, BC CANADA V6J 2C9

TELEPHONE 604 736 1154
 FACSIMILE 604 731 5279



PLOT INFO:
 Plotted 1 November 2011
 Legal Address: LOT 1; PLAN BCP,
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14, 2013	PROGRESS SET
2.	JULY 26, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT 16, 2013	APPROVAL DESIGN PANEL, VANCOUVER
4.	NOV 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC 16, 2013	CITY REVIEW
6.	DEC 16, 2013	DP APPLICATION - PROLOGO

NOTE:
 ALL ELEVATIONS ARE MEASURED TO 04 GRIDLINE IN PLANS, SECTIONS AND ELEVATIONS.

Plan 7 Dec 16, 2013
 DP 13-642725

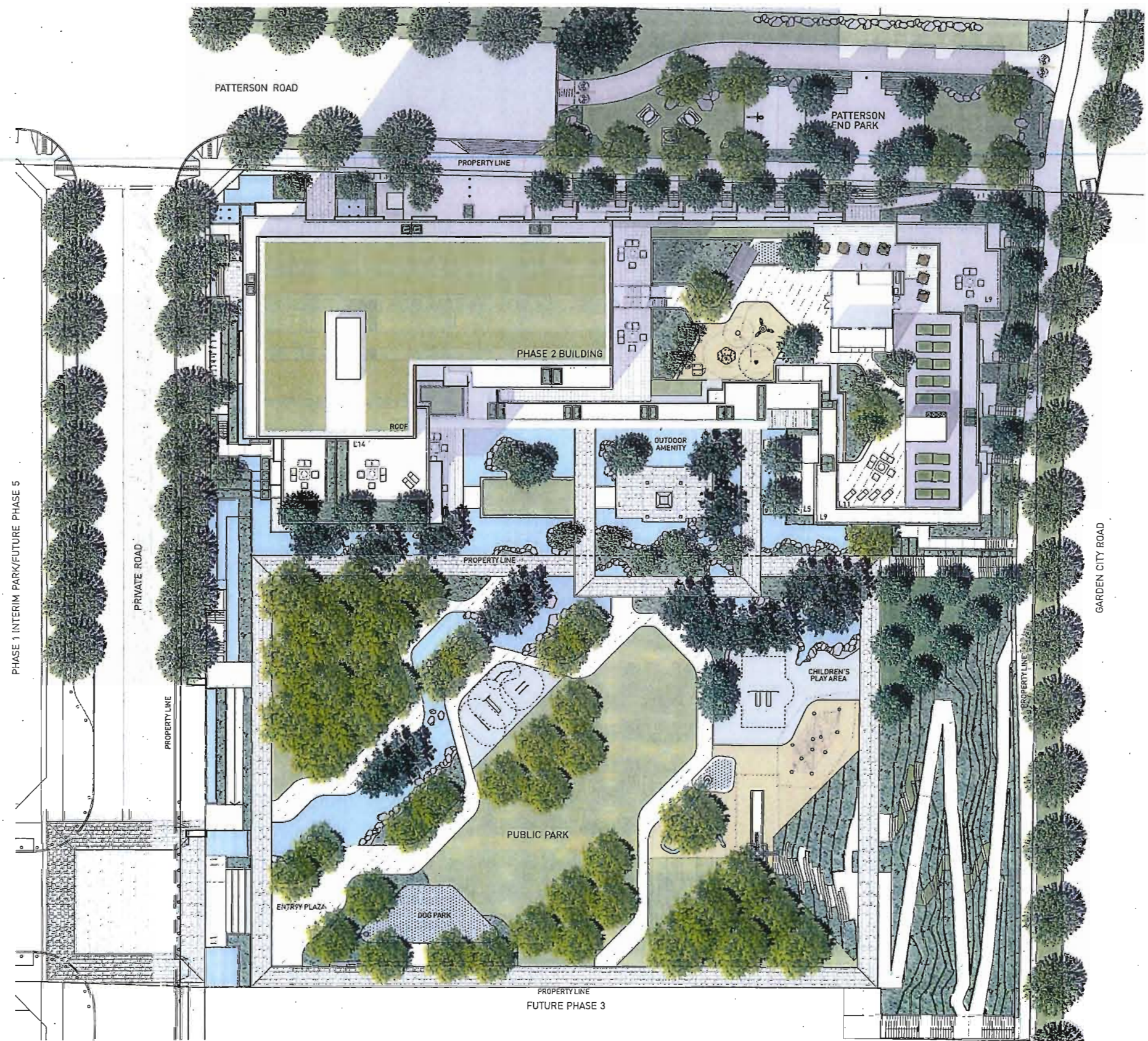
**CONCORD
 PACIFIC**

CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 5

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.03



PWL partnership

PWL Partnership Landscape Architects Inc.
 2150 West 10th Avenue
 Vancouver, BC V6M 2K2
 www.pwlpw.com
 T 604.686.1111
 F 604.686.1112



REVISIONS AND ISSUES

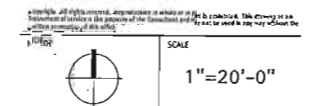
NO.	DATE	DESCRIPTION
01	2013/1/13	Issued for DP
02	2013/1/18	Revised per City Comment
03	2013/12/16	Re-issued for DP

Plan 8a Dec 16, 2013
 DP 13-642725



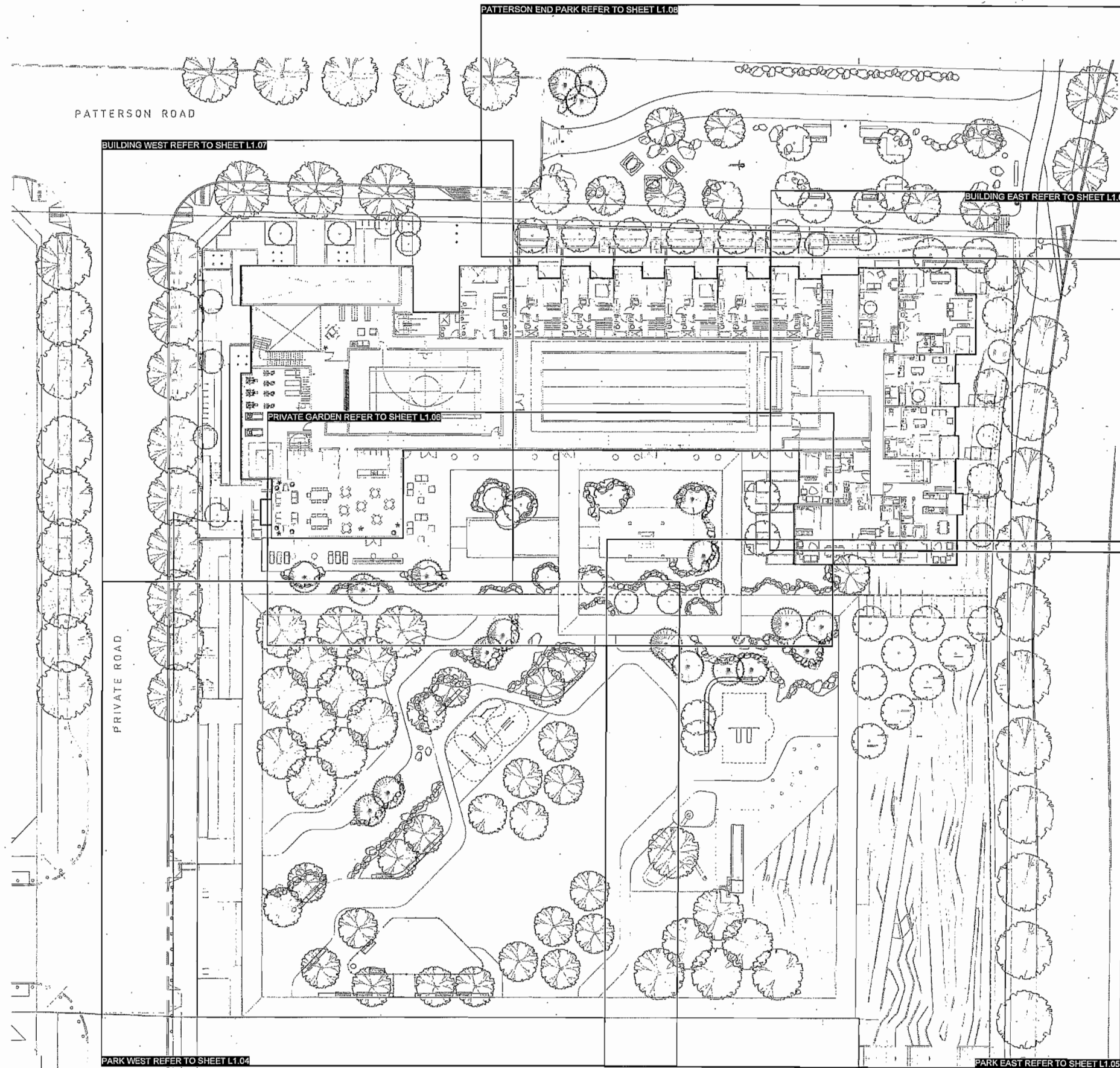
PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DATE
 RENDERED PLAN



PROJECT NO.	1286
DATE	July 2013
FILE NAME	1286 PLAN L2 L3.vwx
PRINTED	12/10/13 at 5:09:26 PM
DRAWN	ZL
REVIEWED	DLJ / GB
DRAWN	

LDP 1.00



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Plan 8b Dec 16, 2013
 DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 KEY PLAN
 GROUND FLOOR

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NO. 1286 SCALE 1"=20'-0"

PROJECT NO.	1286
DATE	July 2013
FILE NAME	1286 PLAN L2 L3.dwg
FLOORED	12/10/13 at 5:09:26 PM
DRAWN	JZ
REVIEWED	DL/GB

LDP 1.01

PAVING MATERIAL LEGEND	
P1	CAST IN PLACE CONCRETE PAVING FINISH: SANDBLAST
P2	HYDRAPRESSED SLABS
P3	CAST IN PLACE CONCRETE PAVING FINISH: BROOM, TOOLED JOINTS AS SHOWN REFER TO CIVIL DRAWINGS
P4	NATURAL STONE PAVEMENT RUNNINGBOND PATTERN
P5	NATURAL STONE PAVEMENT COLOR BLACK
P8	LIGHT DUTY CONCRETE UNIT PAVER
P2	HEAVY DUTY CONCRETE UNIT PAVER
P9	ASPHALT PAVING REFER TO CIVIL PLANS
P8	MAINTENANCE STRIP
P10	CRUSHED GRANITE 9MM CLEAR
P11	PLAY SAND
P12	RESILIENT PLAY SURFACE

HARDSCAPE MATERIAL LEGEND	
H1	CONCRETE PLINTH WITH ADDRESS SIGNAGE & LIGHTING
H2	1 L7.04 PARK SIGNAGE
H3	1,2 L7.02 BOULDERS WATER EDGE
H4	CAST IN PLACE CONCRETE RETAINING WALL FINISH: MEDIUM SANDBLAST
H5	CAST IN PLACE CONCRETE STAIRS WITH METAL HANDRAIL & TACTILE WARNING STRIP
H6	CAST IN PLACE CONCRETE WALL WITH STONE FACING
H7	GRANITE STONE STEP/SEATING
H8	2 L7.03 LANTERN PAVILION CUSTOM DESIGN
H9	2 L7.01 METAL GATE
H10	PRIVACY SCREEN REFER TO ARCHITECTURAL DRAWINGS
H11	GUARDRAIL REFER TO ARCHITECTURAL DRAWINGS
H12	METAL FENCE
H13	1 L7.03 STRUCTURE ON HILL
H14	TRELLIS WITH GLASS CANOPY
H15	HOSE BIB
H16	1,2,3 L7.02 WATER FEATURE
H17	WATER SUPPLY
H18	WATER SOURCE
H19	WATERFALL WALL CAST IN PLACE CONCRETE CORE WITH BASALT VENEER
H20	IPE PARKING
H21	NATURAL BOULDERS SEAT/TABLE/PLAY ELEMENT

SITE FURNITURE LEGEND	
F1	PICNIC TABLE PRODUCT: CHARLIE SUPPLIER: LANDSCAPE FORMS
F2	3 L6.01 BENCH PRODUCT: MAGGIE SUPPLIER: LANDSCAPE FORMS
F3	CONCRETE SEAT WALL WITH BENCH TOP
F4	NET PLAY ELEMENT PRODUCT: CONCORD FISHNET COR2640, SIZE ADJUSTED TO FIT SUPPLIER: KOMPAN PLAY EQUIPMENT
F5	BBO AREA WITH HYDRO AND GAS CONNECTIONS
F6	CHAISE LOUNGE
F7	BOLLARD
F8	FIREBOWL WITH OUTDOOR LIVING FURNITURE
F9	1 L6.01 BIKE RACK PRODUCT: BIKE GARDEN SUPPLIER: FORMS AND SURFACE INC. 54 BIKES PARKING ON SITE TOTALLY
F10	URBAN AGRICULTURE AREA PRODUCT: CUBE PLANTER SUPPLIER: BARKMAN CONCRETE LTD
F11	2 L6.01 OUTDOOR FITNESS EQUIPMENT PRODUCT: KOMPAN CORE FITNESS ELES990105, ELES990106, ELES990107 AND ELES990109 SUPPLIER: RECTECH INDUSTRIES
F12	CHILDREN SLIDE PLAY BOOSTER STAINLESS STEEL SLIDE SUPPLIER: LANDSCAPE STRUCTURE INC
F13	TRASH RECEPTACLE
F14	SWING ELEMENT PRODUCT: SINGLE POST SWING 177332 SUPPLIER: LANDSCAPE STRUCTURE INC
F15	3 L7.01 WATER PLAY ELEMENT PRODUCT: KAISER AND KUHN WATER PUMP AND WATER TROUGH 0-33130-001, 0-33250-000, 0-33292-000, AMD 0-33254-000 SUPPLIER: RECTECH INDUSTRIES
F16	BASKETBALL HOOP PRODUCT: P370 PACKAGE ON BA777 POLE SUPPLIER: BISON INC.



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Plan 8c Dec 16, 2013
DP 13-642725



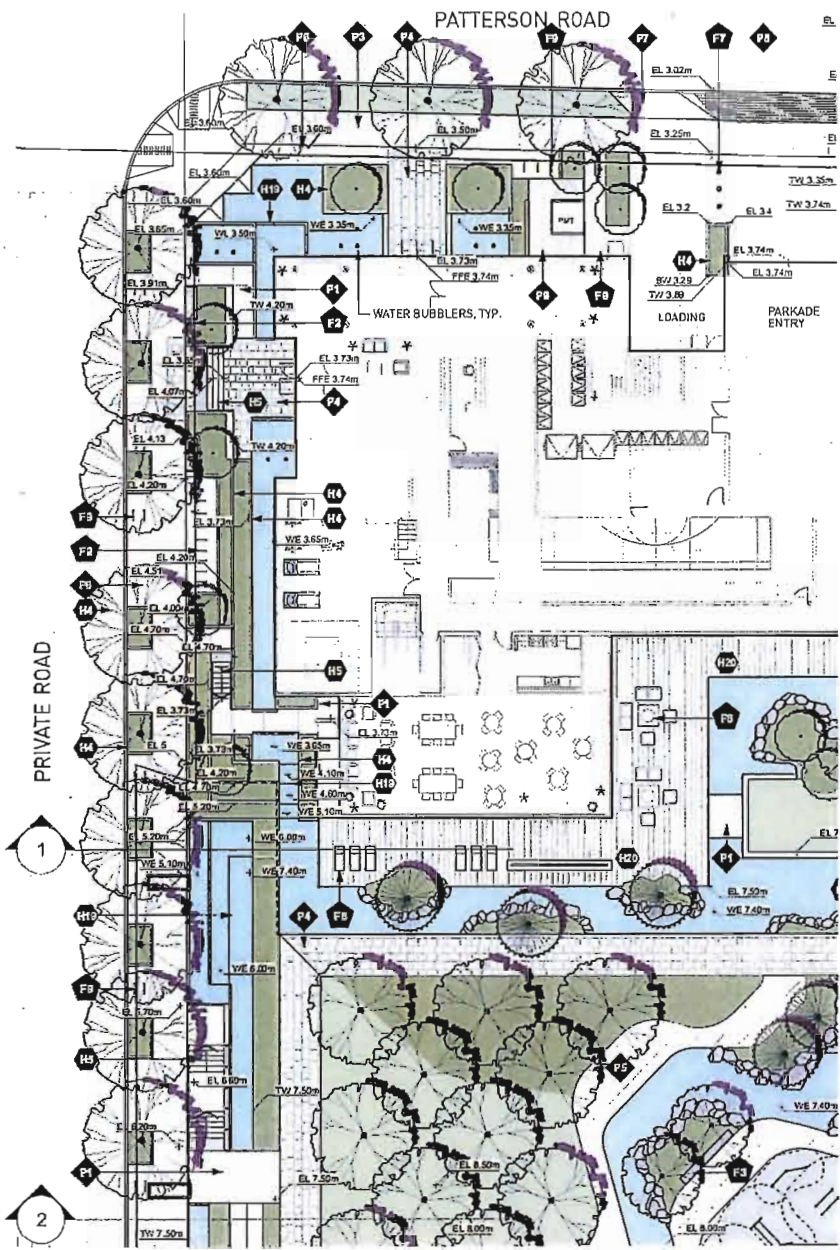
PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
LEGENDS

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SCALE	
PROJECT NO.	1286
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REVIEWED	GB
DRAWING	

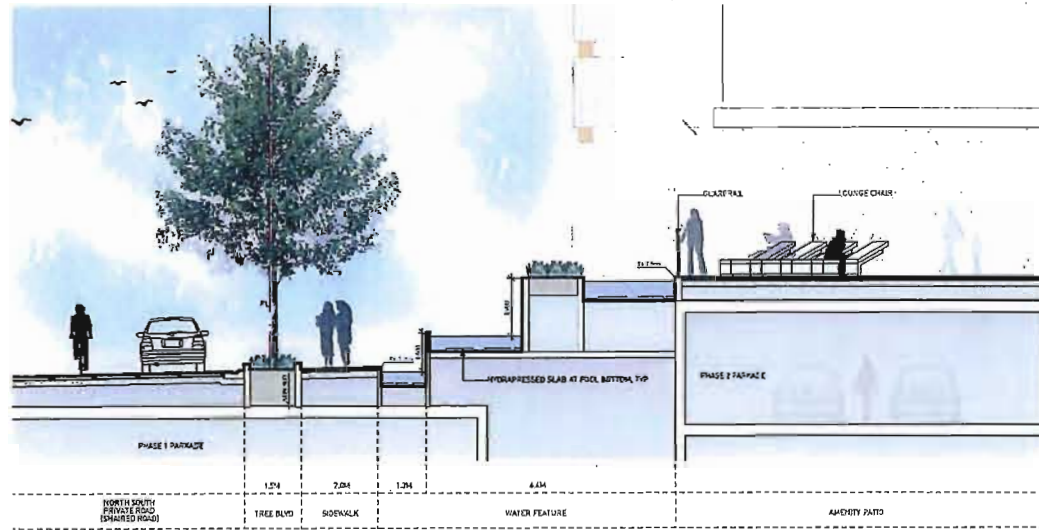
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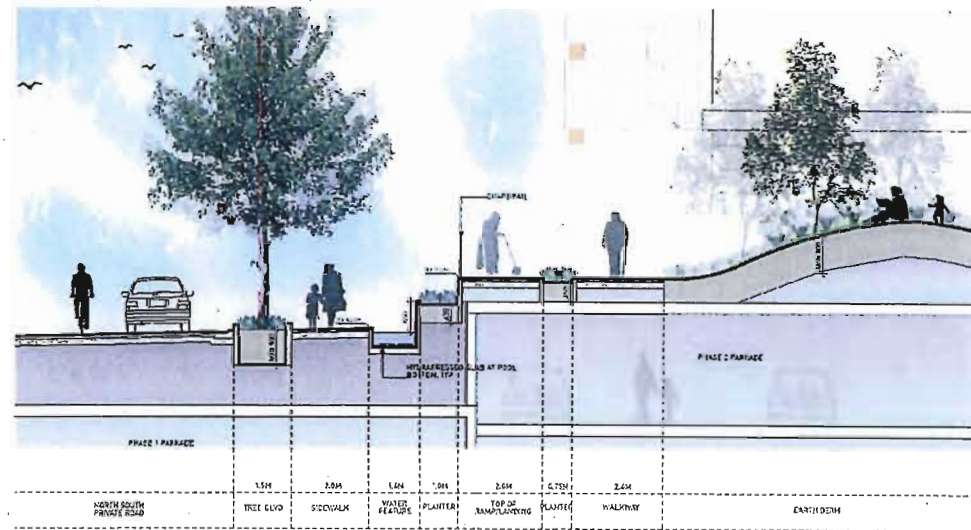
1 BUILDING WEST PLAN
SCALE 1/16"=1'



2 PERSPECTIVE



3 SECTION 1
SCALE 1/8"=1'



4 SECTION 2
SCALE 1/8"=1'

PAVING MATERIAL LEGEND	
1	CAST IN PLACE CONCRETE FINISH FINISH: SAND/SLIT
2	HYDRA-PRESSED SLABS
3	CAST IN PLACE CONCRETE FINISH FINISH: POLISH, POLISH, FINISH AS SHOWN REFER TO SPEC. DRAWINGS
4	NATURAL STONE PAVEMENT RANDOMLY LAYED
5	NATURAL STONE PAVEMENT COLOR BLEND
6	LIGHT DUTY CONCRETE UNIT PAVEMENT
7	HEAVY DUTY CONCRETE UNIT PAVEMENT
8	ASPHALT PAVING REFER TO SPEC. PLANS
9	MAINTENANCE STOP
10	CRACKED GRANITE THIN CLEAR
11	PLAY SAND
12	RESILIENT FLEX SURFACE

HARDSCAPE MATERIAL LEGEND	
13	CONCRETE PLANT WITH ADJUSTABLE SANDWICH & VENTUR
14	PARK BENCH
15	BUBBLING WATER EDGE
16	CAST IN PLACE CONCRETE RETAINING WALL FINISH: RANDOM SAND/SLIT
17	CAST IN PLACE CONCRETE STAIRS WITH METAL HANDRAILS & METAL WALKING STRIP
18	CAST IN PLACE CONCRETE WALL WITH STONE FINISH
19	GRANITE STONE STEPS/SEATING
20	LANTERN PAVILION CUSTOM DESIGN
21	METAL GATE
22	POWDER MILLER REFER TO ARCHITECTURAL DRAWINGS
23	GRANITE REFER TO ARCHITECTURAL DRAWINGS
24	METAL FENCE
25	STRUCTURE ON HILL
26	TRILUS WITH GLASS CHOPPY
27	ROSC BR
28	WATER FEATURE
29	WATER JUMPY
30	WATER SOURCE
31	WATERWALL WALL CAST IN PLACE CONCRETE CORE WITH SANDY FINISH
32	WATER WALL
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SITE FURNITURE LEGEND	
1	POULTRY TABLE PRODUCT: CHARLIE SUPPLIER: LANDSCAPE FORMS
2	BENCH PRODUCT: MADRID SUPPLIER: LANDSCAPE FORMS
3	CONCRETE SEAT WALL WITH SEAT TOP
4	NET PLAY ELEMENTS PRODUCT: LORAIN PRODUCT: KESTRAL-THE PLAYING IN FIT SUPPLIER: HUMAN PLAY EQUIPMENT
5	BRIDGE OVER WATER AND GAS CONNECTIONS
6	CHASE LOUNGE
7	BELLARD
8	BARBECUE TAKE OUTSIDE LARGE FURNITURE
9	BIKE RACK PRODUCT: BIKE GARDEN SUPPLIER: FORMS AND FINISHES INC. SEE SPEC. DRAWINGS ON SITE VISIT
10	URBAN ARCHITECTURE AREA PRODUCT: FORMS AND FINISHES INC. SUPPLIER: BARRACUDA CONCRETE LTD
11	OUTDOOR FITNESS EQUIPMENT PRODUCT: HUMAN PLAY EQUIPMENT SUPPLIER: HUMAN PLAY EQUIPMENT
12	CHILDREN PLAY PLAY BENCHES SUPPLIER: STEEL SLIDE SUPPLIER: LANDSCAPE STRUCTURE INC
13	TRASH RECEPTACLE
14	TRASH RECEPTACLE PRODUCT: TRASH POST DINGS LTD SUPPLIER: LANDSCAPE STRUCTURE INC
15	WATER WALL PRODUCT: FORMS AND FINISHES INC. SUPPLIER: BARRACUDA CONCRETE LTD
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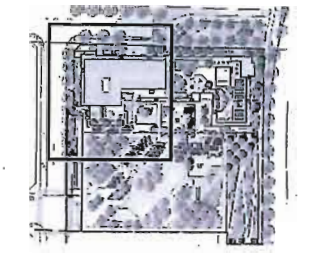


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Richmond, BC Canada V6E 2V7
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1 800 461 1111
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REVISIONS AND ISSUES
NO. DATE DESCRIPTION
01 2013/11/13 Issued for DP
02 2013/11/18 Revised per City Comment

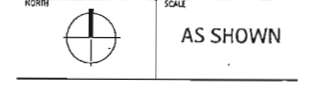
Plan 8g Dec 16, 2013
DP 13-642725



PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

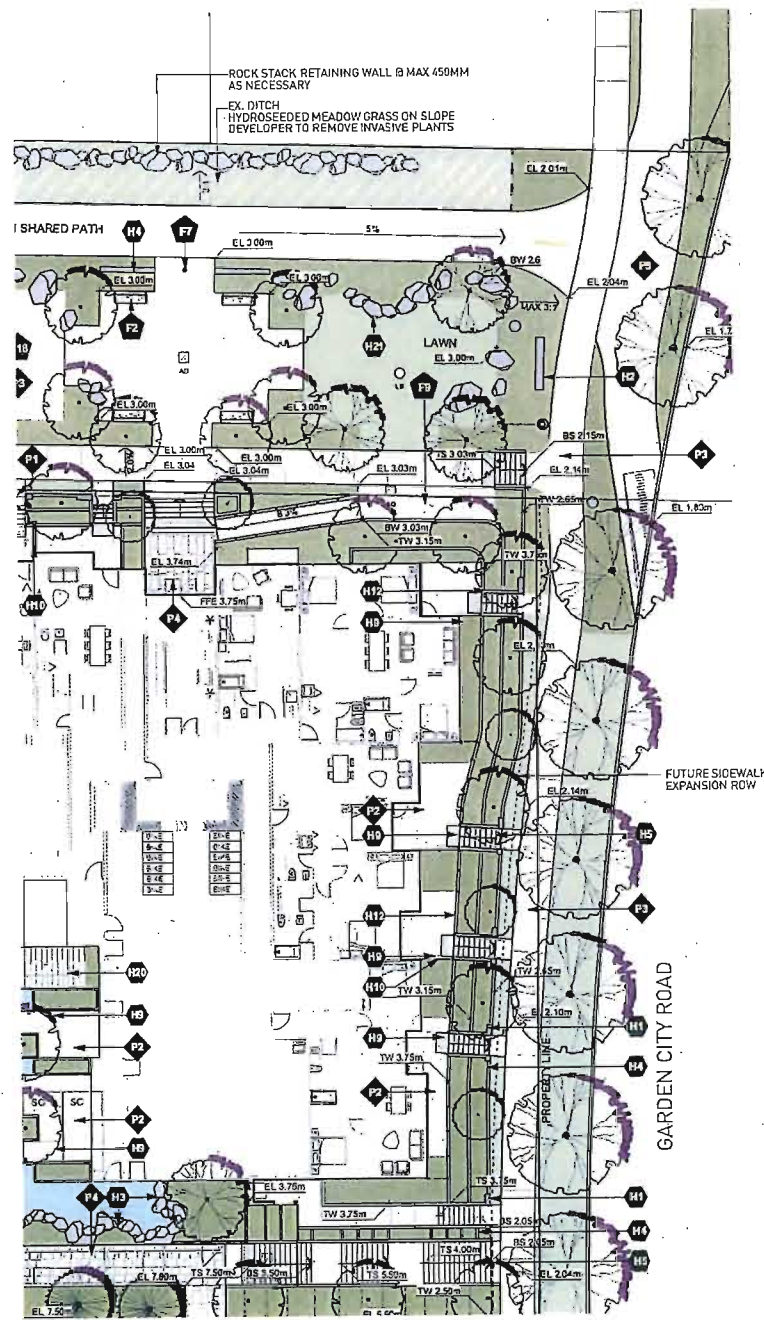
DRAWING TITLE
LAYOUT AND
MATERIALS PLAN
BUILDING WEST

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PROJECT NO. 1286
DATE JULY 2013
FILE NAME 1286 PLAN L2 L3.vwk
PLOTTED 12/10/13 at 5:09:26 PM
DRAWN JZ REVIEWED DL / GB

LDP 3.04



1 BUILDING EAST PLAN
SCALE 1/16"=1'



2 PERSPECTIVE

PAVING MATERIAL LEGEND	
◆	CAST IN PLACE CONCRETE PAVING FORM: MOTULAST
◆	HYDROCOMPRESSED SLABS
◆	CAST IN PLACE CONCRETE PAVING FORM: MOTULAST, 100MM JOINTS AS EXISTING REFER TO CIVIL DRAWINGS
◆	NATURAL STONE PAVEMENT NUMBERING: PATISSA
◆	NATURAL STONE PAVEMENT COLOR: BLACK
◆	LIGHT DUTY CONCRETE UNIT PAVING
◆	HEAVY DUTY CONCRETE UNIT PAVING
◆	ASPHALT PAVING REFER TO CIVIL PLANS
◆	MAINTENANCE STRIP
◆	CRUSHED GRANITE 3/4" CLEAR
◆	PLAY SAND
◆	RESILIENT PLAY SURFACE

HARDSCAPE MATERIAL LEGEND	
◆	CONCRETE FINISH WITH ADDRESS SIGNAGE & LIGHTING
◆	PAVING SCHEME
◆	BOULDER WATER EDGE
◆	CAST IN PLACE CONCRETE RETAINING WALL FORM: MEDIUM SAND/CLAY
◆	CAST IN PLACE CONCRETE CURBS WITH METAL JAMBALS & FACILE TAPERING STRIP
◆	CAST IN PLACE CONCRETE WALL WITH STONE FACING
◆	SLAB/STONE STEPS/STAIRS
◆	LANTERN PAVEMENT CUSTOM DESIGN
◆	METAL BARS
◆	FRANCH SCREEN REFER TO ARCHITECTURAL DRAWINGS
◆	CONCRETE REFER TO ARCHITECTURAL DRAWINGS
◆	METAL FENCE
◆	STRUCTURE ON HILL
◆	IRIGLUS WITH GLASS CANOPY
◆	HUGE SIGN
◆	WATER FEATURE
◆	WATER SUPPLY
◆	WATER SOURCE
◆	WATERFALL WALL CAST IN PLACE CONCRETE CORE WITH BARKAL VENEER
◆	USE FINISH
◆	NATURAL BUSHES SEPARATE/PLANT ELEMENT

SITE FURNITURE LEGEND	
◆	BENCH TABLE PRODUCT: CHAIRS SUPPLIER: LANDSCAPE FORMS
◆	BENCH PRODUCT: TABLE SUPPLIER: LANDSCAPE FORMS
◆	CONCRETE SEAT WALL WITH BENCH TOP
◆	NET PLAY ELEMENT PRODUCT: CHAIRS, FORMS REFER TO FIT SUPPLIER: LANDSCAPE FORMS
◆	BBQ AREA WITH WOOD AND GAS COOKTOPS
◆	CHANGE URINAL
◆	GOLFGAR
◆	FURNITURE WITH BUSHES/CLIMB PLANTING
◆	PLAY AREA WITH BENCH, BENCH, BENCH PRODUCT: CHAIRS, FORMS SUPPLIER: LANDSCAPE FORMS
◆	SHADE STRUCTURE AREA PRODUCT: CHAIRS, FORMS SUPPLIER: BARRMAN CONCRETE LTD
◆	OUTDOOR FITNESS EQUIPMENT PRODUCT: CHAIRS, FORMS SUPPLIER: BARRMAN CONCRETE LTD
◆	CITY FURNITURE PRODUCT: CHAIRS, FORMS SUPPLIER: LANDSCAPE STRUCTURE INC
◆	FRASH RECEPTACLE
◆	ENTRY ELEMENT PRODUCT: CHAIRS, FORMS SUPPLIER: LANDSCAPE STRUCTURE INC
◆	WATER PLAY ELEMENT PRODUCT: CHAIRS, FORMS SUPPLIER: LANDSCAPE STRUCTURE INC
◆	INDUSTRIAL WOOD PRODUCT: CHAIRS, FORMS SUPPLIER: BARRMAN CONCRETE LTD

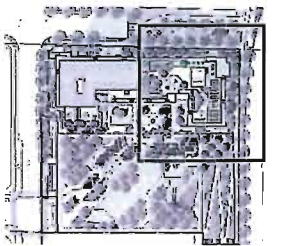


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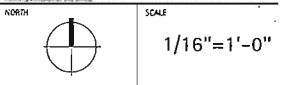
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PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
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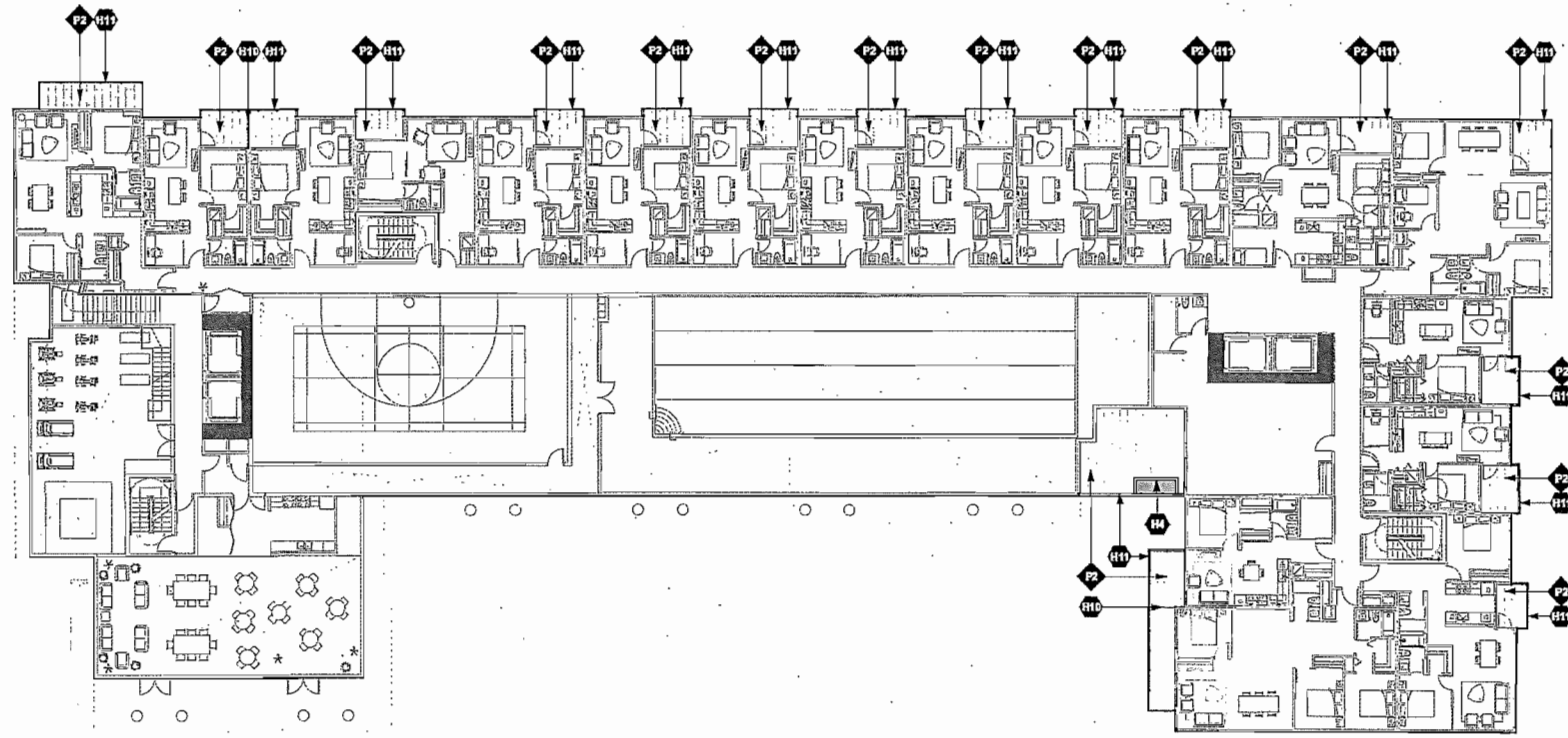
DRAWING TITLE
LAYOUT AND
MATERIALS PLAN
LEVEL 3

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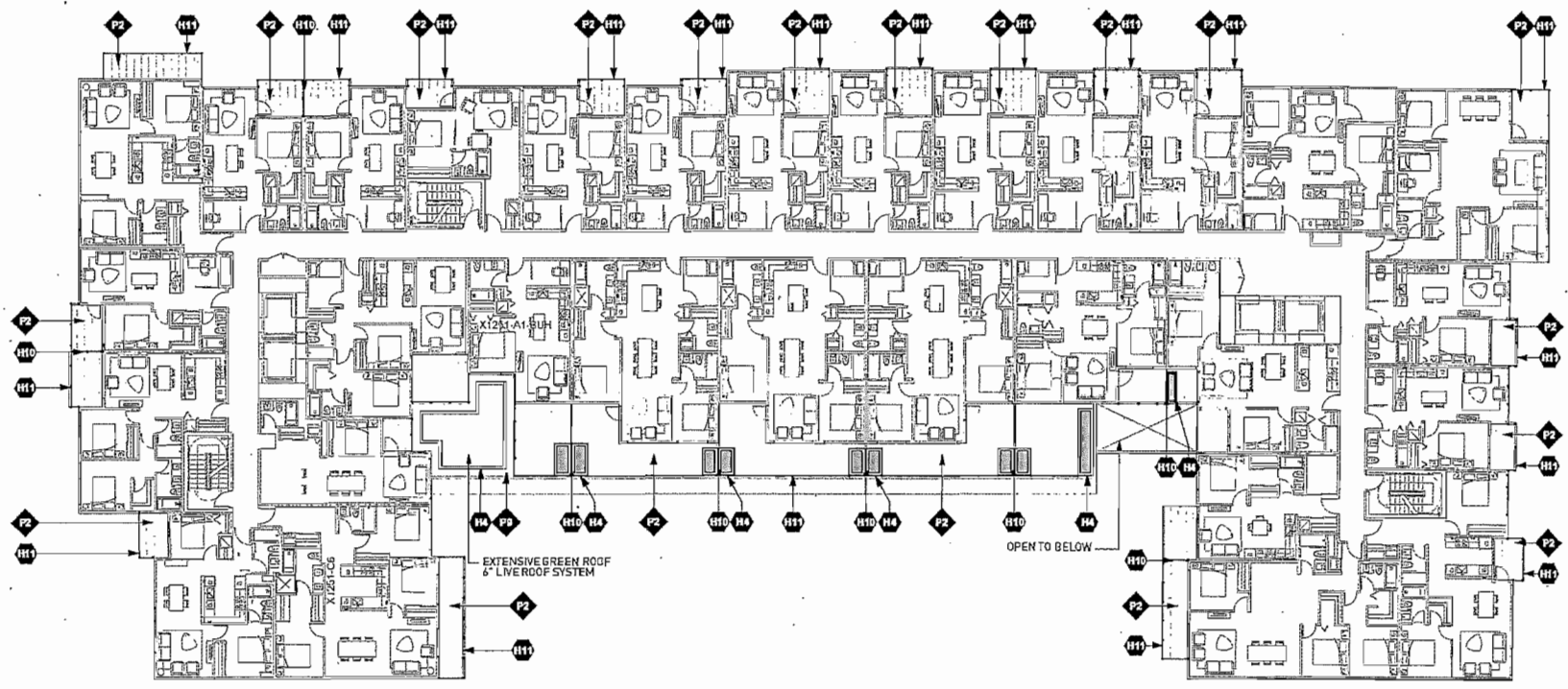


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DATE	MAY 2013
FILE NAME	1286 PLAN L2 L3.vvx
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DESIGN	REVIEWED

LDP 3.06



1 ROOF PLAN LEVEL 4



2 ROOF PLAN LEVEL 5

PAVING MATERIAL LEGEND	
	CAST IN PLACE CONCRETE PAVING
	HYDRATED SLABS
	LIGHT DUTY CONCRETE UNIT PAVES
	MAINTENANCE STRIP
	CRUSHED GRANITE RUN DRAIN
	FLAT SAND
	RESILIENT PLAY SURFACE
HARDSCAPE MATERIAL LEGEND	
	CAST IN PLACE CONCRETE RETAINING WALL
	FIBERGLASS SCREEN
	GENERAL REFER TO ARCHITECTURAL DRAWINGS
	TRELLIS WITH GLASS CANOPY
	HOSE BIB
	WATER SUPPLY
	EXTENSIVE GREEN ROOF
	P-LINE ROOF SYSTEM
SITE FURNITURE LEGEND	
	CONCRETE SEAT WALL
	BBQ AREA WITH HYDRO AND GAS CONNECTIONS
	STORAGE ENCLOSURE
	FIREBOX WITH OUTDOOR LIVING FURNITURE
	URBAN AGRICULTURE AREA WITH ACCESSIBLE RAISED PLANTING
	PLAY HOUSE
	SPRINKLER PRODUCT
	SPRINKLER PRODUCT
	SPRINKLER PRODUCT
	SPRINKLER PRODUCT
	SPRINKLER PRODUCT
	SPRINKLER PRODUCT
	SPRINKLER PRODUCT
	SPRINKLER PRODUCT

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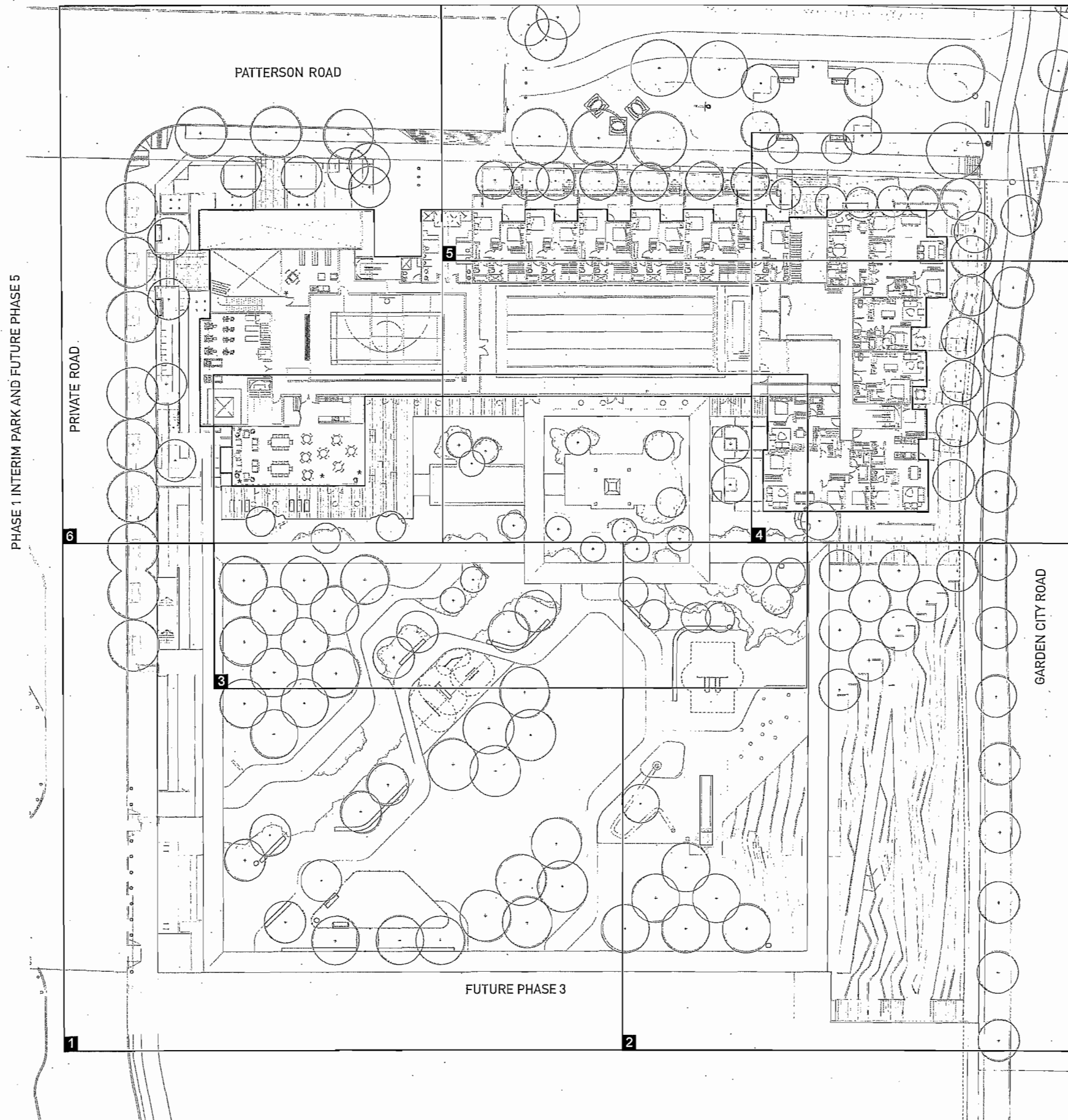
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 PHASE 2
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DRAWING TITLE
 LAYOUT AND MATERIALS PLAN
 ROOF PLAN LEVEL 4 AND 5

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 NORTH SCALE
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PHASE 1 INTERIM PARK AND FUTURE PHASE 5

PRIVATE ROAD

PATTERSON ROAD

GARDEN CITY ROAD

FUTURE PHASE 3

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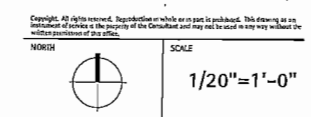
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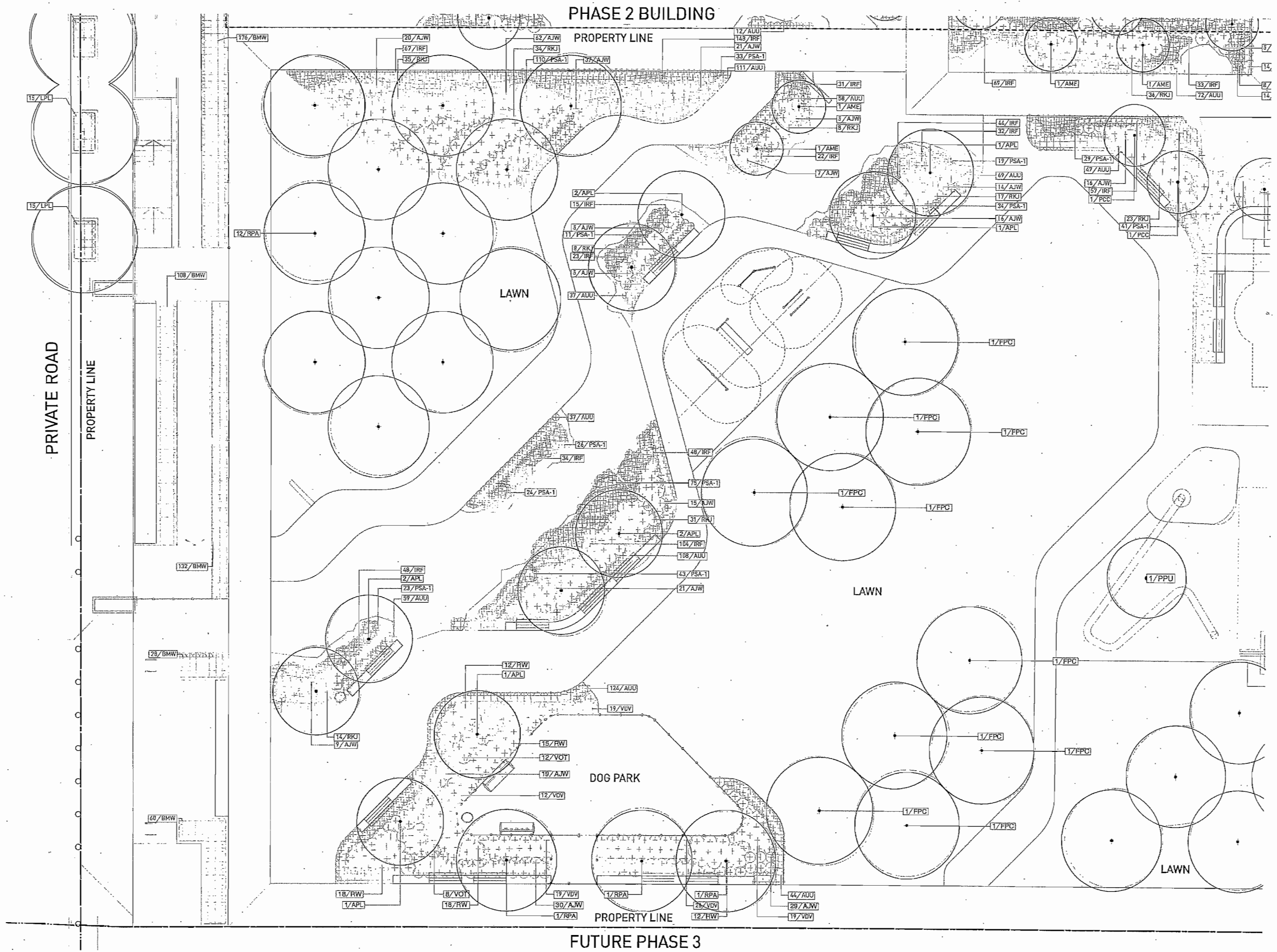
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 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC**

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 GROUND FLOOR**



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PHASE 2 BUILDING

PROPERTY LINE

FUTURE PHASE 3

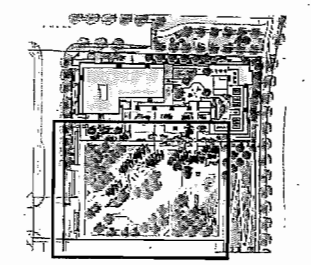
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 PHASE 2
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 PUBLIC PARK WEST

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 NORTH
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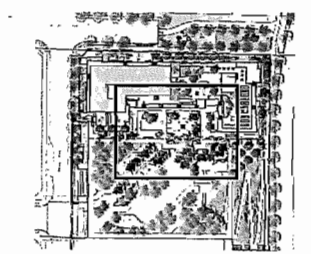
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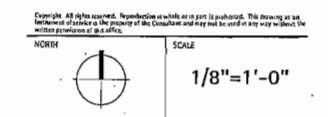
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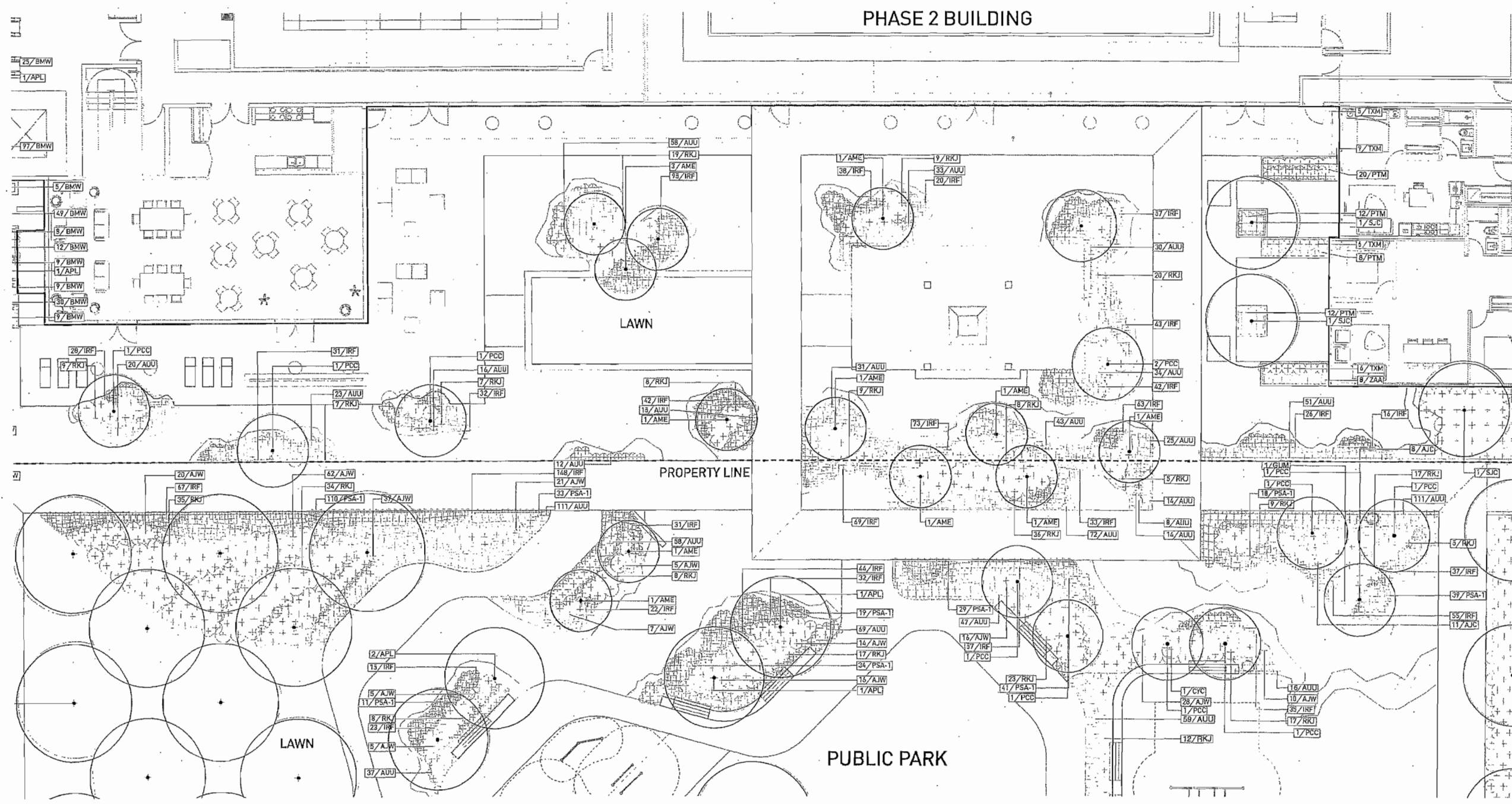
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 PHASE 2
 RICHMOND, BC
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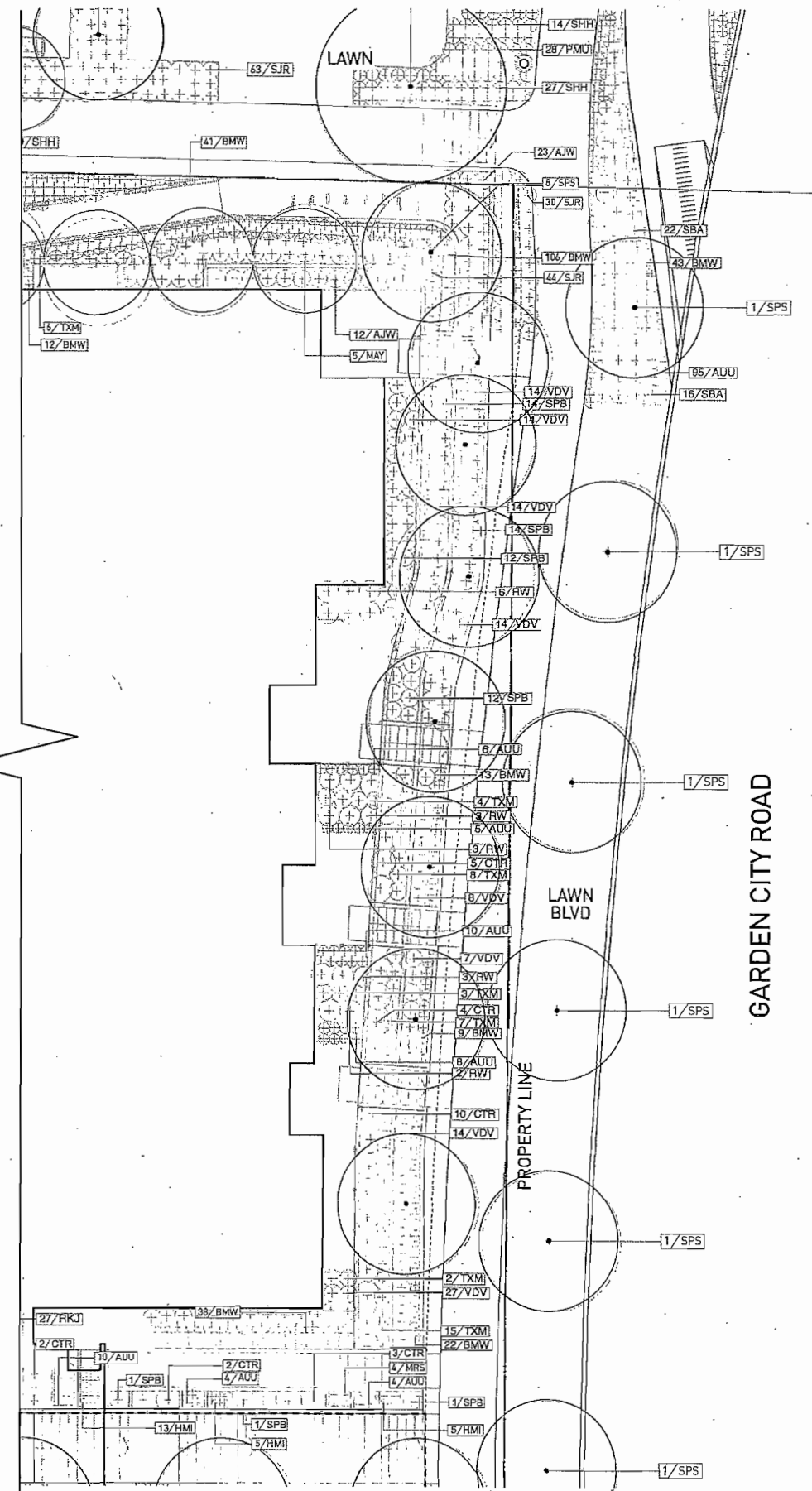
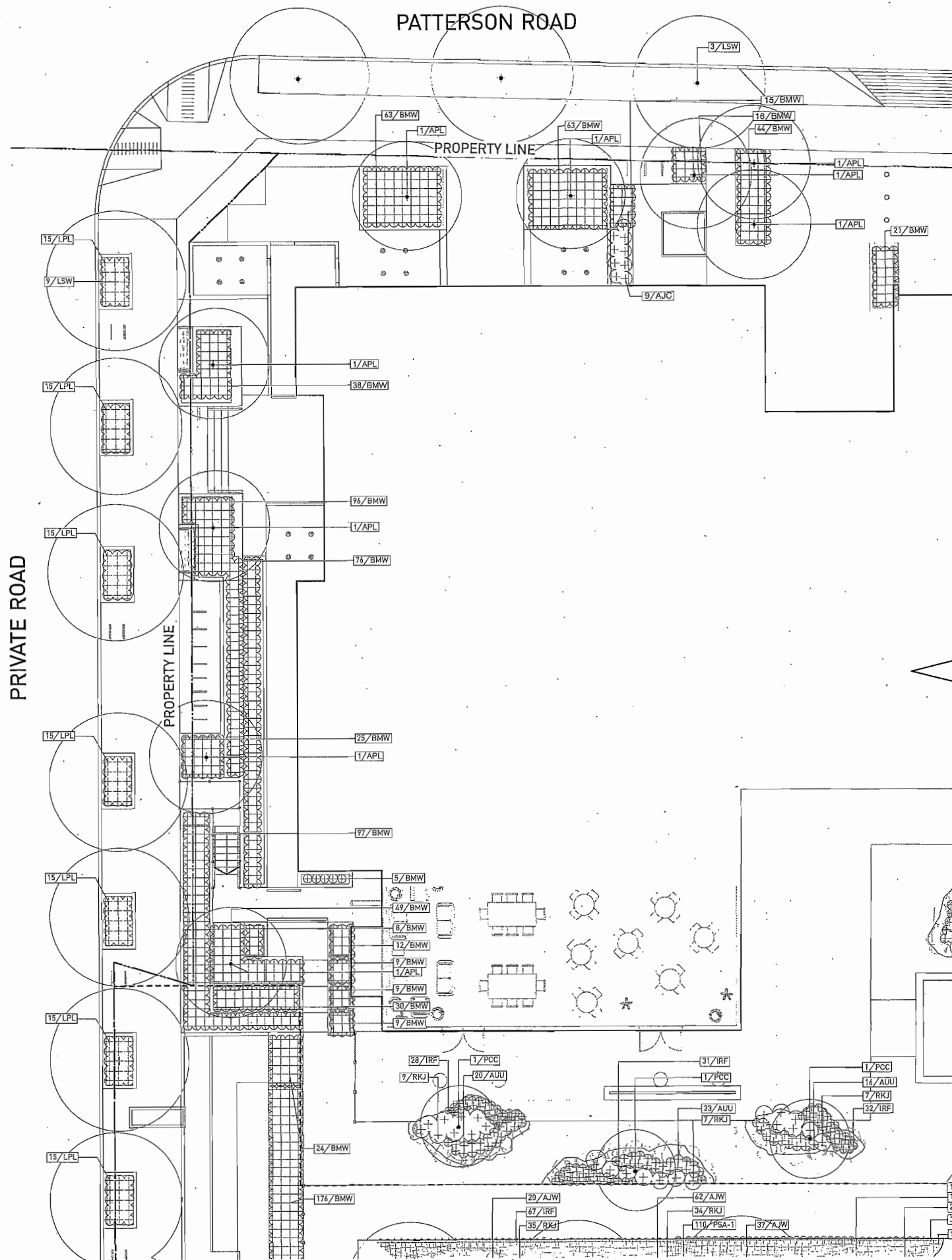
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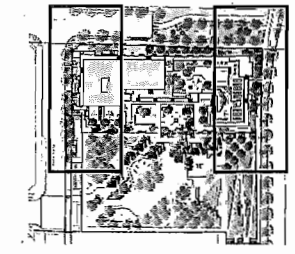
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PROJECT
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 PHASE 2
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 BUILDING EAST/WEST

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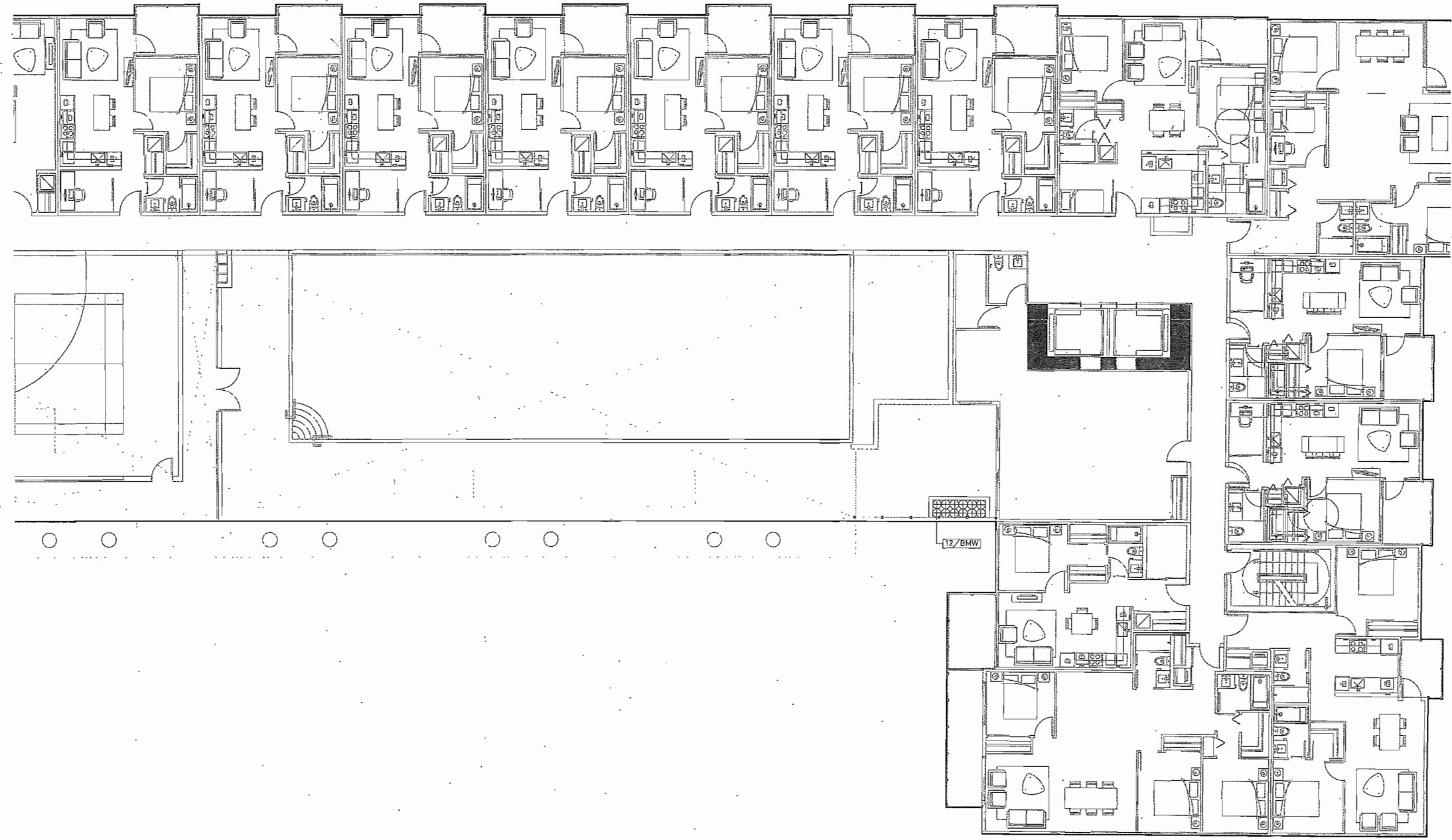
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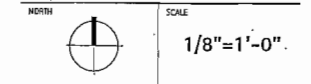
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PHASE 2
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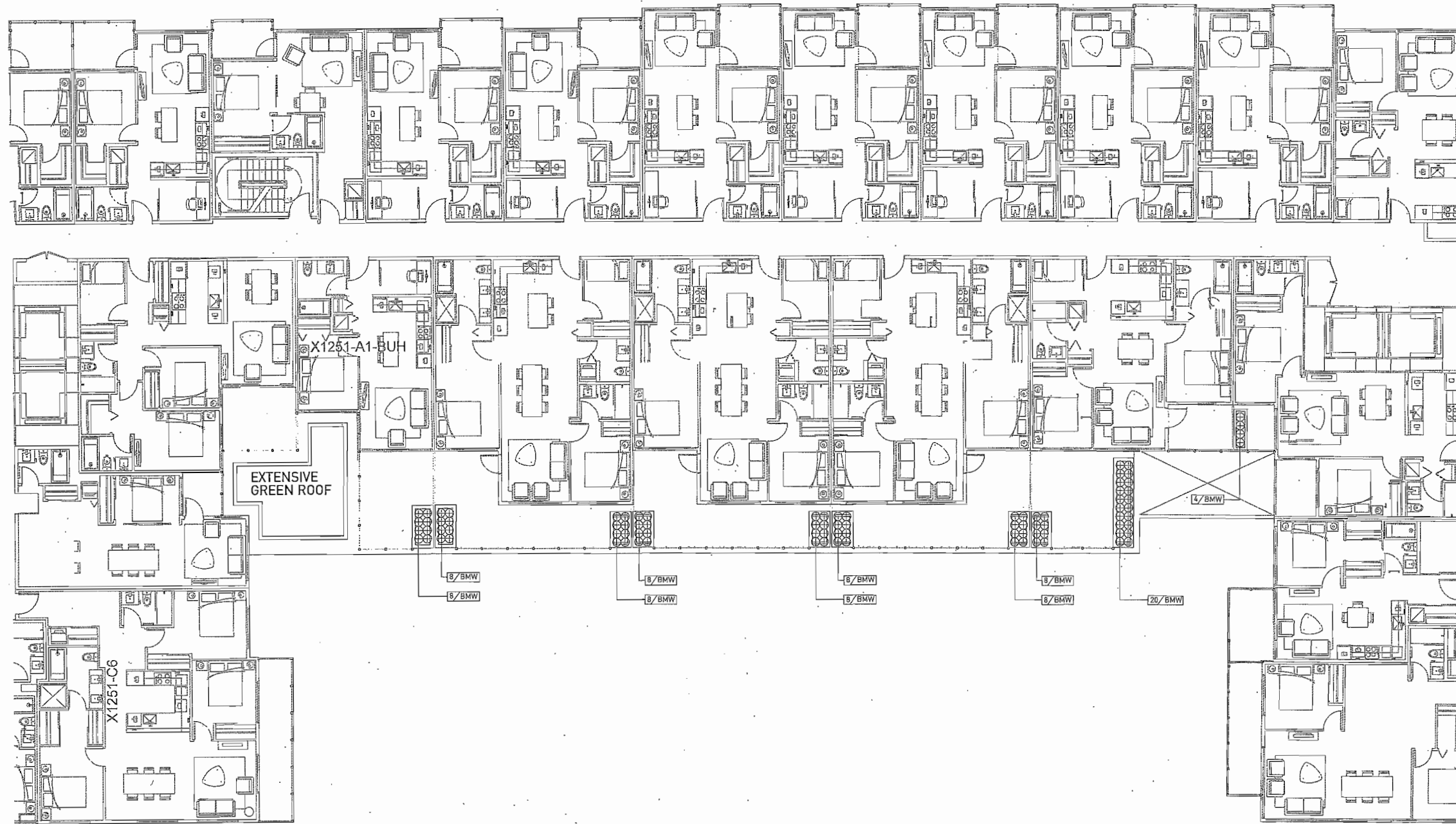
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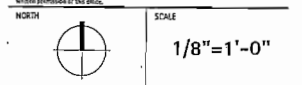
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 CONCORD GARDENS
 PHASE 2
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 LEVEL 5

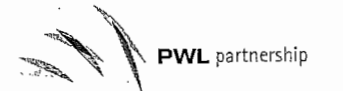
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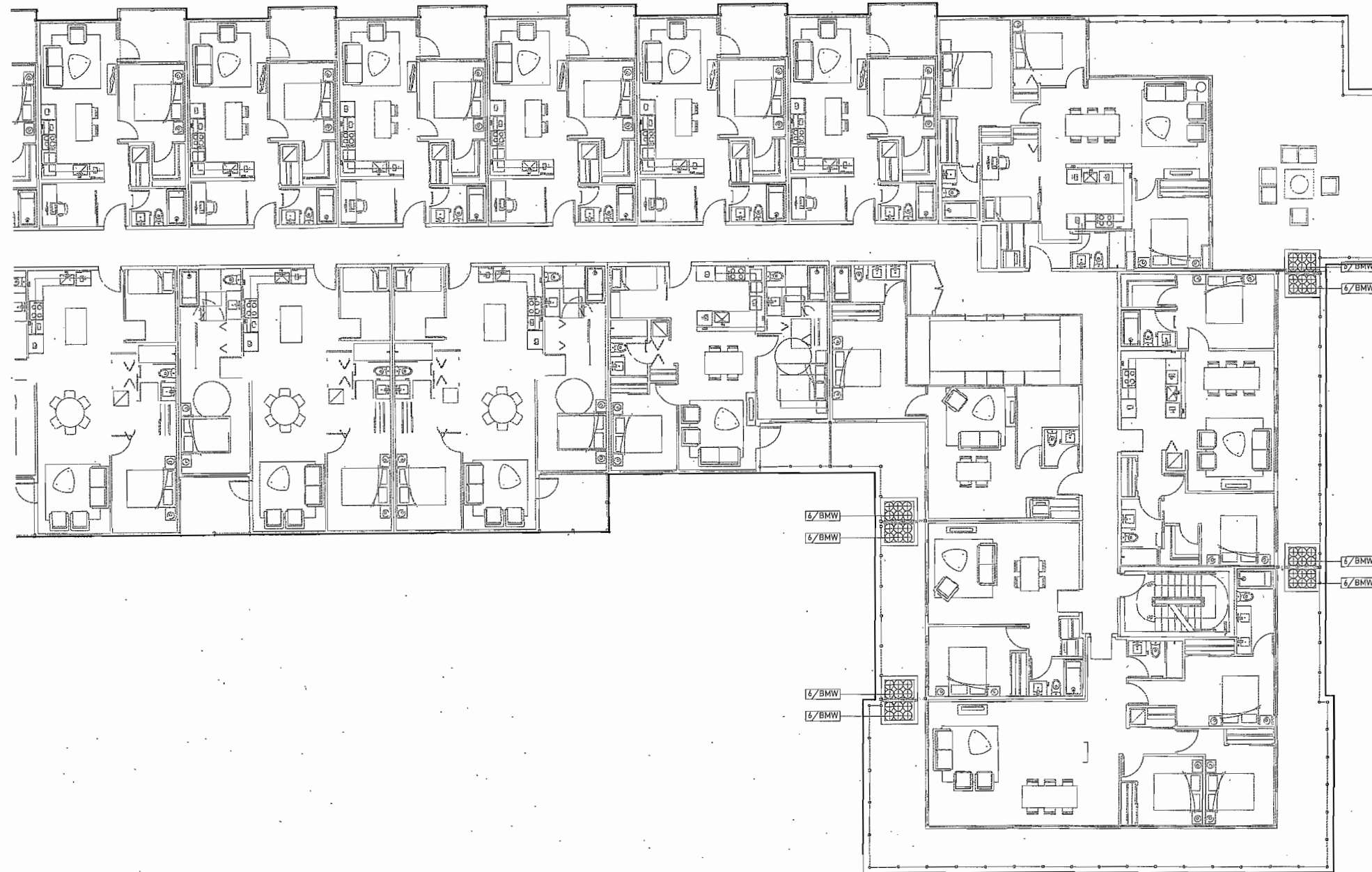
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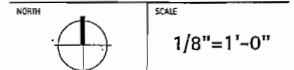
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 LEVEL 9

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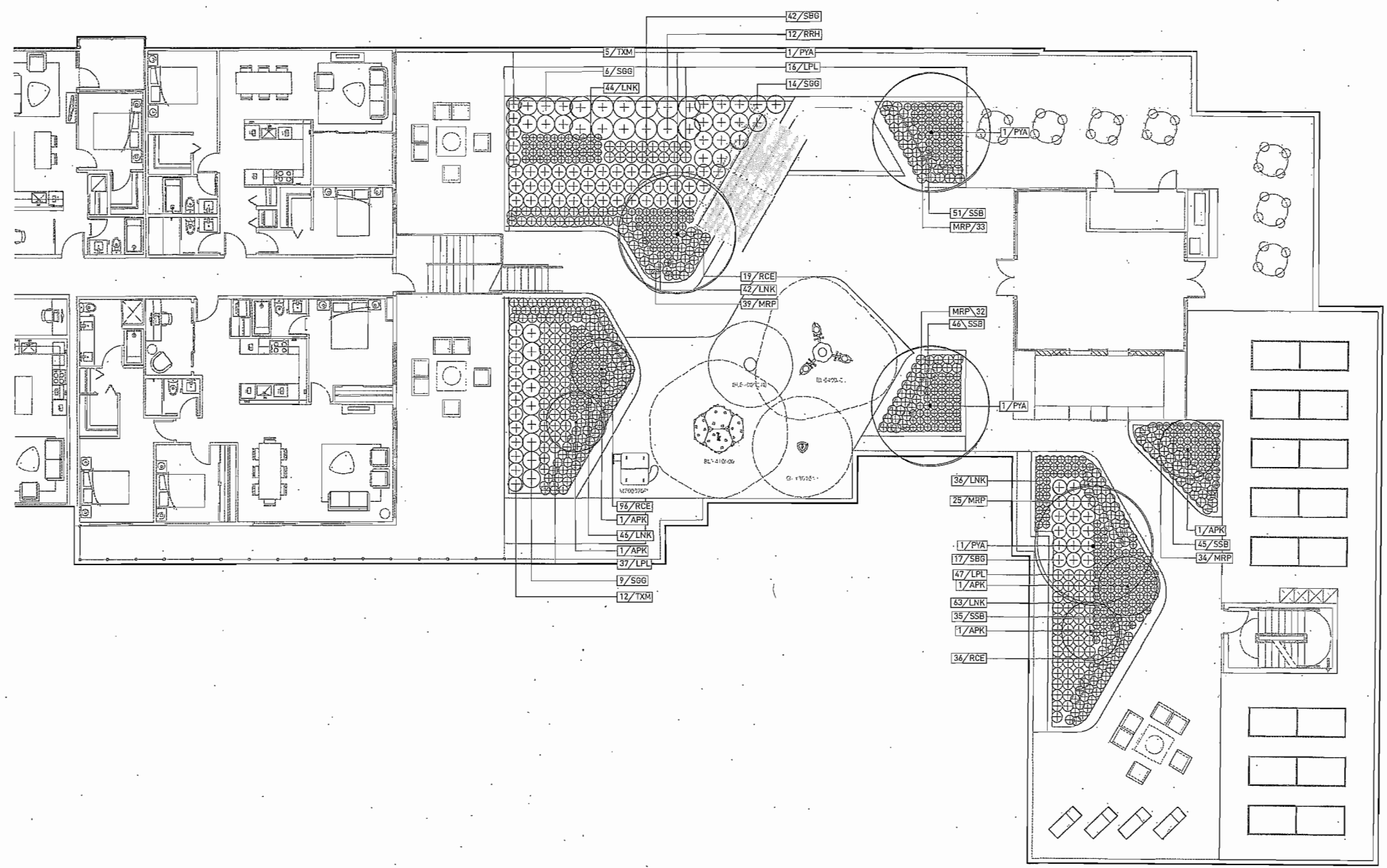
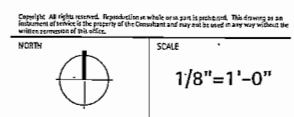


FIGURE
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
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DRAWING TITLE
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 LEVEL 11



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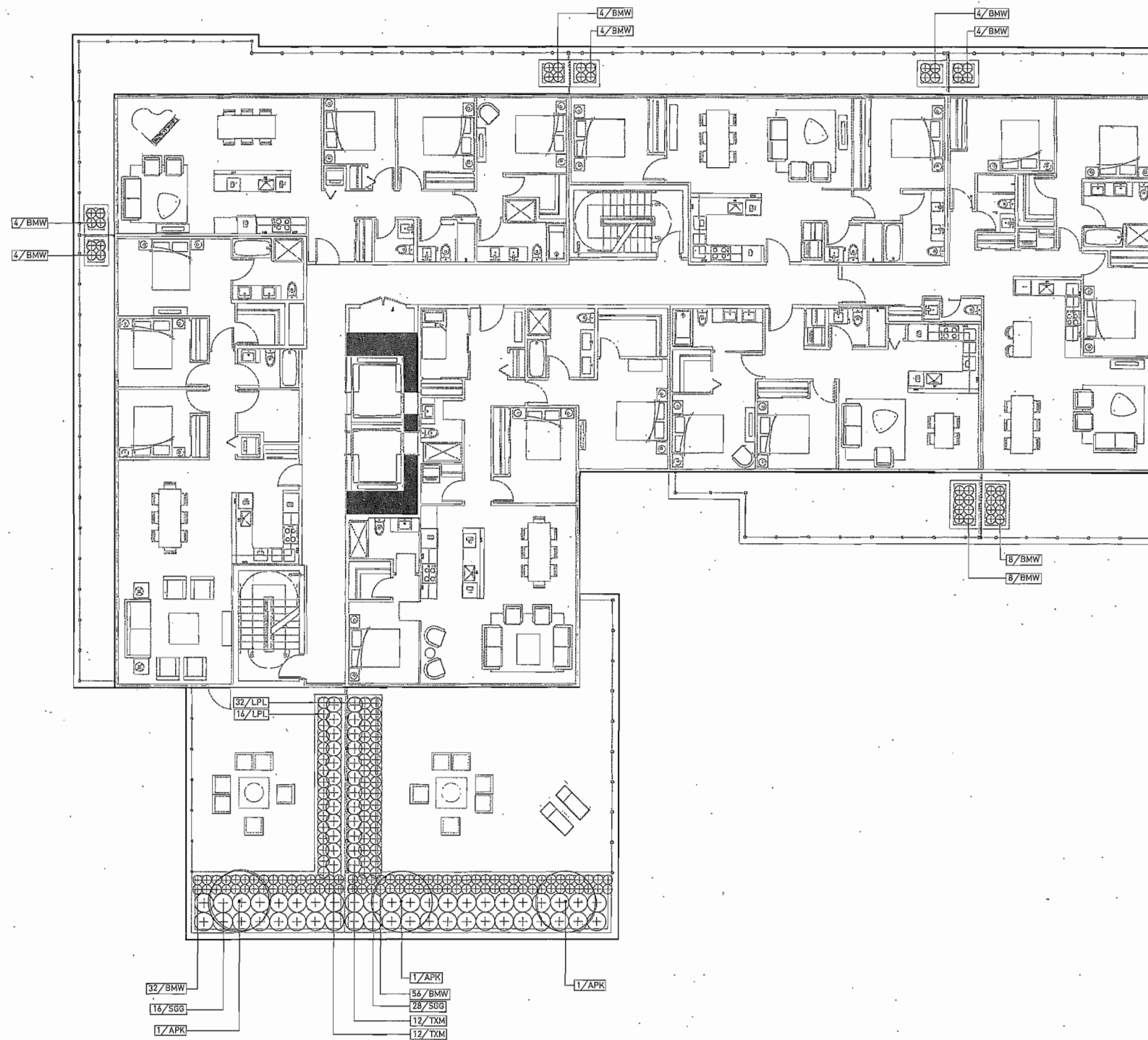


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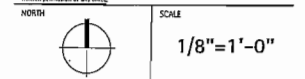
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 PHASE 2
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 LEVEL 14

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 LDP 4.11

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List <i>Ph2 Building</i>						
Trees						
APL	9	Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
AME	8	Arbutus menziesii	Pacific Madrone	#20 pot	As Shown	Well established, nursery grown
MAY	5	Magnolia sieboldii	Oyama Magnolia	3m ht. (10'-0" ht.)	As Shown	B&B, Uniform branching, dense tree
PCC	5	Pinus contorta var. contorta	Shore Pine	2.4m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown
SPS	8	Stewartia pseudocamellia	Japanese Stewartia	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Well branched, dense tree
SJC	10	Styrax japonica	Japanese Snowbell	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.
Shrubs						
AJC	9	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm (24")	Well established
AJW	35	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#2 pot	60cm (24")	Well established
BMW	1005	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CTR	26	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
RKJ	127	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhododendron	#3 pot	75cm (30")	Well established
RW	51	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
SHH	9	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45cm (18")	Well established
SJR	74	Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#2 pot	60cm (24")	Well established
SPB	55	Spiraea betulifolia	Birch-leaf Spiraea	#2 pot	90cm (36")	Well established
TXM	123	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.2m	60cm (24")	Well established, dense hedging plant / B & B
VDV	112	Viburnum davidii	David Viburnum	#2 pot	60cm (24")	Well established
Ground Cover						
AUU	438	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads, nursery grown
LPL	75	Lonicera pileata	Privet Honeysuckle	#1 pot	45cm (18")	30cm (12") spread
MRS	4	Mahonia repens	Creeping Barberry	#1 pot	40cm (16")	Well established, nursery grown
PTM	52	Pachysandra terminalis	Japanese Spurge	#1 pot	38cm (15")	10cm (4") height
Perennials						
HMI	23	Heuchera micrantha	Alumroot	#1 pot	30cm (12")	Well established, nursery grown
IRF	606	Iris foetidissima	Scarletberry Iris	#1 pot	30cm (12")	Well established
ZAA	8	Zantedeschia aethiopica	Calla Lily	#1 pot	45cm (18")	Well established
Ferns						
PMU	140	Polystichum munitum	Western Sword Fern	#1 pot	45cm (18")	Well established, nursery grown

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List <i>Public Park</i>						
Trees						
APL	19	Acer palmatum 'Green'	Green Japanese Maple	2.4 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
AME	4	Arbutus menziesii	Pacific Madrone	#20 pot	As Shown	Well established, nursery grown
FPC	10	Fraxinus pennsylvanica 'Cimmon'	Cimmon Green Ash	8 cm cal. (3" cal.)	As Shown	B&B, Specimens
PFU	1	Farrugia persica - Upright form	Persian Ironwood	5 cm cal. (2" cal.)	As Shown	B&B, Straight trunk, uniform branching, 5' (1.5 m) std.
PCC	7	Pinus contorta var. contorta	Shore Pine	2.4m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree, nursery grown
RPA	21	Robinia pseudoacacia	Black Locust	8cm cal. (3" cal.)	As Shown	B&B, Well branched, dense tree,
Shrubs						
AJC	19	Azalea japonica 'Hino Crimson'	Hino Crimson Japanese Azalea	#2 pot	60cm (24")	Well established
AJW	369	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#2 pot	60cm (24")	Well established
BMW	528	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
RKJ	271	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhododendron	#3 pot	75cm (30")	Well established
RHI	470	Rhododendron impeditum	Cloud Land Rhododendron	#2 pot	60cm (24")	Well established
RW	75	Rhododendron williamsianum	Williams Rhododendron	#3 pot	80cm (32")	Well established
YSB	250	Vaccinium 'Sunshine Blue'	Craberry	#1 pot	75cm (30")	Well established, to be maintained at 450mm ht.
YAM	123	Vaccinium macrocarpon	Thunderbird Evergreen Huckleberry	#1 pot	90cm (36")	Well established
YOT	20	Vaccinium ovatum 'Thunderbird'	Red Pearl Lingonberry	#5 pot	75cm (30")	Well established, nursery grown
YVI	618	Vaccinium vitis-idaea 'Red Pearl'	Red Pearl Lingonberry	#1 pot	#1 pot	Well established
VDV	95	Viburnum davidii	David Viburnum	#2 pot	60cm (24")	Well established
Ground Cover						
AUU	988	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads, nursery grown
FCH	1883	Fragaria chiloensis	Beach Strawberry	#1 pot	30cm (12")	10cm (4") height. Well established, nursery grown
LPL	60	Lonicera pileata	Privet Honeysuckle	#1 pot	45cm (18")	30cm (12") spread
PSA	523	Petasites albus	White Butterbur	#1 pot	30cm (12")	Well established, nursery grown
Perennials						
CYC	1	Cynara cardunculus	Cardoon	#1 pot	90cm (36")	Well established
GUM	1	Gunnera manicata	Gunnera	#3 pot	As Shown	Well established
IRF	902	Iris foetidissima	Scarletberry Iris	#1 pot	30cm (12")	Well established
Ferns						
PMU	140	Polystichum munitum	Western Sword Fern	#1 pot	45cm (18")	Well established, nursery grown

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List <i>Pocket Park</i>						
Trees						
MAY	6	Magnolia sieboldii	Oyama Magnolia	3m ht. (10'-0" ht.)	As Shown	B&B, Uniform branching, dense tree
POR	2	Picea omorika	Serbian Spruce	2.4 m ht. (8'-0" ht.)	As Shown	B&B, Well branched, dense tree
PXA	7	Platanus x acerifolia 'Bloodgood'	Bloodgood London Planetree	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 7' (2.1 m) std.
PMZ	1	Pseudotsuga menziesii	Douglas Fir	2.4 m ht. (8'-0" ht.)	As Shown	B&B, Uniform, dense branching, nursery growth
SJC	12	Styrax japonica	Japanese Snowbell	6 cm cal. (2 1/3" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8m) std.
Shrubs						
AJW	18	Azalea japonica 'Ward's Ruby'	Ward's Ruby Japanese Azalea	#2 pot	60cm (24")	Well established
BMW	327	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
CTR	28	Choisya ternata	Mexican Orange Blossom	#3 pot	90cm (36")	Well established
OSH	23	Saultheria saligna	Salal	#2 pot	45cm (18")	Well established, nursery grown
SHH	169	Sarcococca hookeriana humilis	Himalayan Sarcococca	#2 pot	45cm (18")	Well established
SJR	314	Skimmia japonica 'Rubella'	Red Flowered Japanese Skimmia	#2 pot	60cm (24")	Well established
SBA	154	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	#2 pot	60cm (24")	Well established
VDV	210	Viburnum davidii	David Viburnum	#2 pot	60cm (24")	Well established
Ground Cover						
AUU	301	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads, nursery grown
Perennials						
PMU	140	Polystichum munitum	Western Sword Fern	#1 pot	45cm (18")	Well established, nursery grown

ID	Qty	Botanical Name	Common Name	Scheduled Size	Spacing	Remarks
Plant List <i>ROOF TOP GARDEN.</i>						
Trees						
APK	8	Acer palmatum 'Katsura'	Katsura Japanese Maple	2.4 m ht. x 1.8 m w. (8'ht. x 6'w.)	As Shown	B&B, Specimen and densely branched, no included bark
PYA	4	Prunus vedoensis 'Akebono'	Daybreak Flowering Cherry	8 cm cal. (3" cal.)	As Shown	B&B, Uniform branching, dense tree, 6' (1.8 m) std.
Shrubs						
BMW	276	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot	38cm (15")	Well established
RRH	12	Rosa rugosa 'Hansa'	Hansa Rose	#2 pot	90cm (36")	Well established
SBO	59	Spiraea bumalda 'Goldflame'	Goldflame Spiraea	#2 pot	60cm (24")	Well established
TXM	41	Taxus x media 'H.M. Eddie'	H.M. Eddie Yew	1.2m	60cm (24")	Well established, dense hedging plant / B & B
Ground Cover						
LPL	148	Lonicera pileata	Privet Honeysuckle	#1 pot	45cm (18")	30cm (12") spread
MRP	163	Mahonia nervosa	Dwarf Oregon Grape	#1 pot	40cm (16")	Well established, nursery grown
RCE	151	Rubus calcynoides 'Emerald Carpet'	Emerald Carpet Taiwan Creeping Rubus	#1 pot	38cm (15")	15cm (6") leads. Minimum 3 leads
Perennials						
LNK	231	Lupinus nootkatensis	Nootka Lupine	#1 pot	30cm (12")	Well established, nursery grown
SSB	177	Salvia superba	Perennial Salvia	10 cm pot	30cm (12")	Well established
Ferns						
PMU	140	Polystichum munitum	Western Sword Fern	#1 pot	45cm (18")	Well established, nursery grown



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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2013/11/13	Issued for DP
02	2013/11/18	Revised per City Comments
03	2013/12/16	Re-issued for DP

Plan 8v Dec 16, 2013
DP 13-642725



CONCORD
PACIFIC

PROJECT

CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE

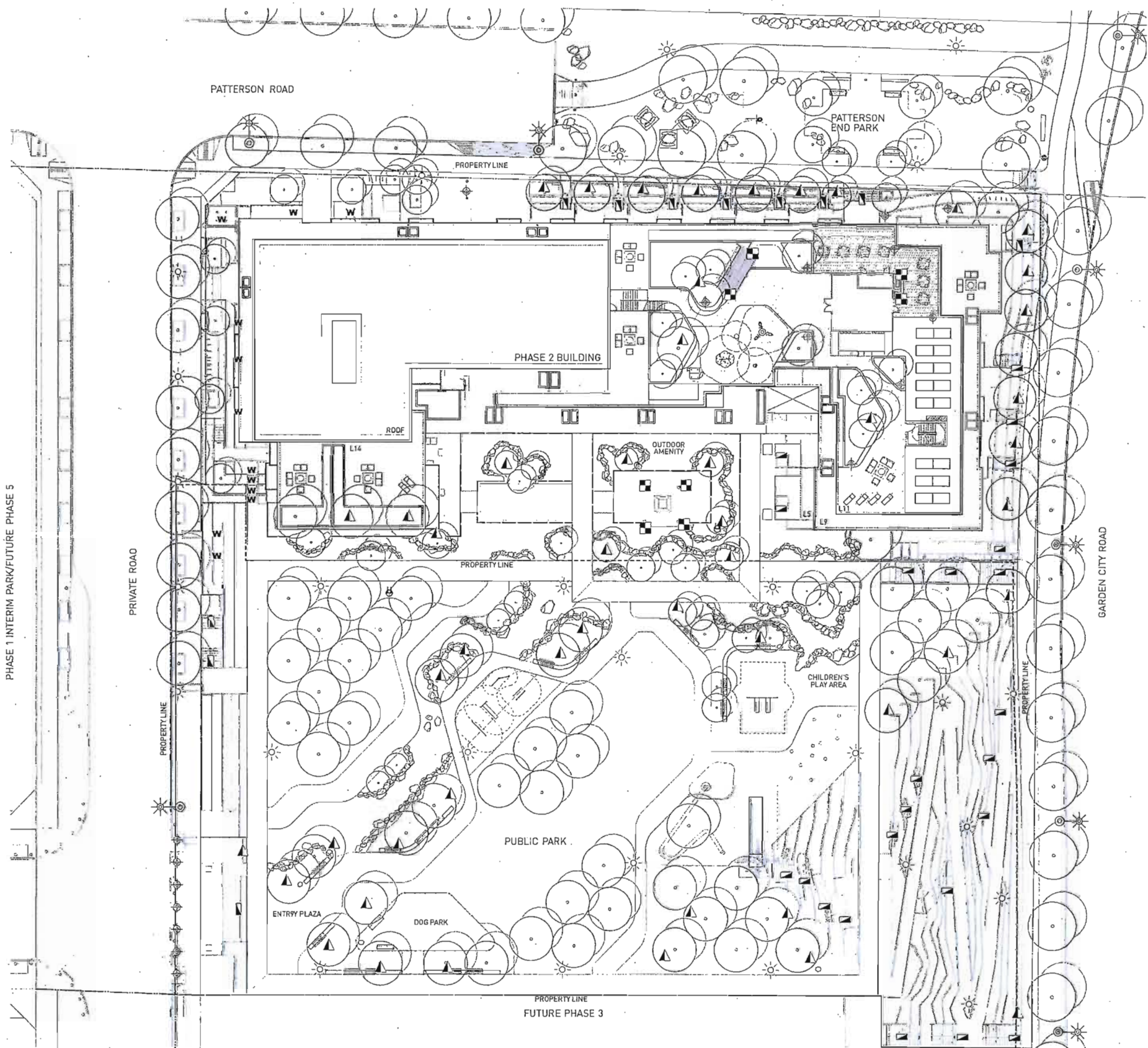
PLANT LIST

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SCALE

PROJECT NO.	1285
DATE	JULY 2013
FILE NAME	1285 PLANTING.vwx
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DRAWN	JT/KE/MP/ZL REVIEWED
DRAWING	

LDP 4.12



LIGHTING TYPES

LIGHTING REFER TO ELECTRICAL PLANS

	TYPE 1 - STREET LIGHT WITH PEDESTRIAN LIGHT DESIGN REFERENCE: SCHREIDER - FURYO 3
	TYPE 2 - PEDESTRIAN STREET LIGHT DESIGN REFERENCE: SCHREIDER - ALTURA LED
	TYPE 3 - STREET LIGHT DESIGN REFERENCE: SCHREIDER - FURYO 3
	TYPE 4 - TRAFFIC SIGNAL
	TYPE 5 - BOLLARD LIGHT
	TYPE 6 - STRIP LIGHT/WALL LIGHT
	TYPE 7 - DOWN LIGHT AT STRUCTURES
	TYPE 8 - UP LIGHT
	TYPE 9 - LED ROPE LIGHT
	TYPE 10 - SUBMERSIBLE ACCENT LIGHT
	OUTLET FOR SEASONAL LIGHTING



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CONCORD
 PACIFIC

PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

DRAWING TITLE
 LIGHTING PLAN

SCALE
 1"=20'

PROJECT NO.	1286
DATE	OCT 2013
FILE NAME	1286 PLAN L2 L3.dwg
PLOTTED	12/10/13 at 5:09:26 PM
DRAWN	JZ
REVIEWED	GB

LDP 5.01



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

1 BIKE RACK



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

2 OUTDOOR FITNESS



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

3 BENCH



NOTE: REFER TO FURNITURE LEGEND FOR PRODUCT INFO

4 PLAY STRUCTURE



REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2013/11/13	Issued for DP
02	2013/11/19	Revised per City Comment
03	2013/12/16	Re-issued for DP

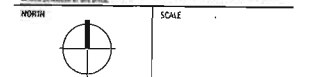
Plan 8x Dec 16, 2013
DP 13-642725



PROJECT
 CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

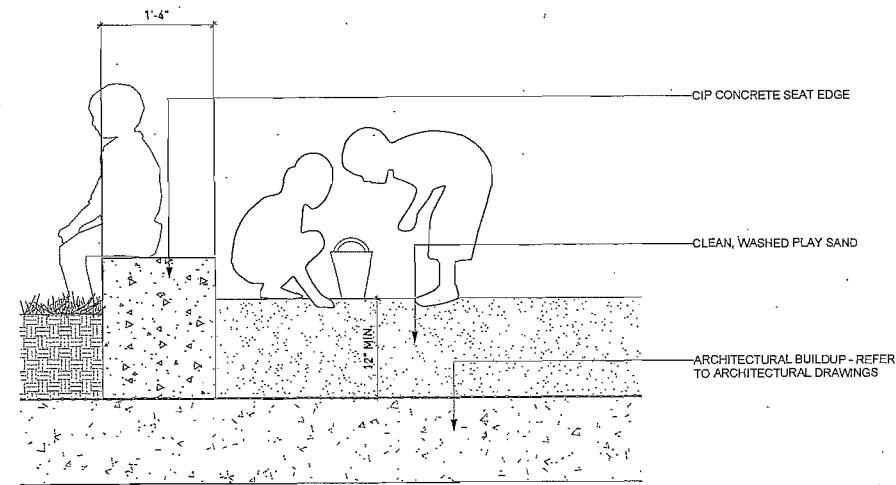
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 OUTDOOR FURNITURE

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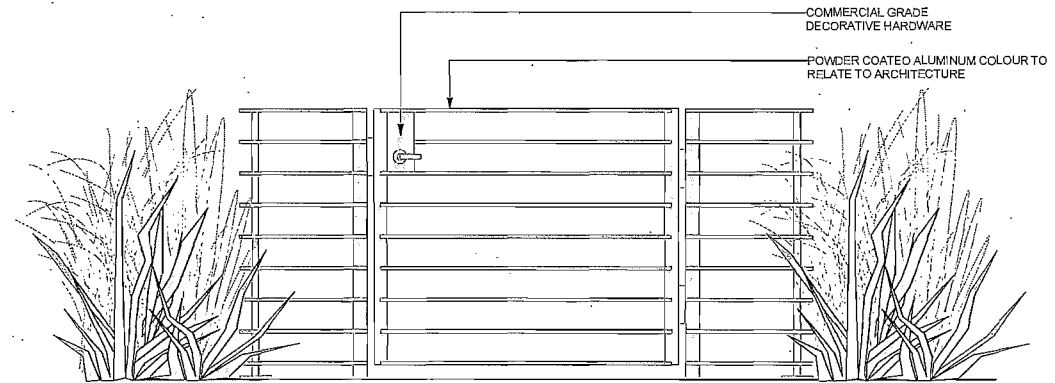


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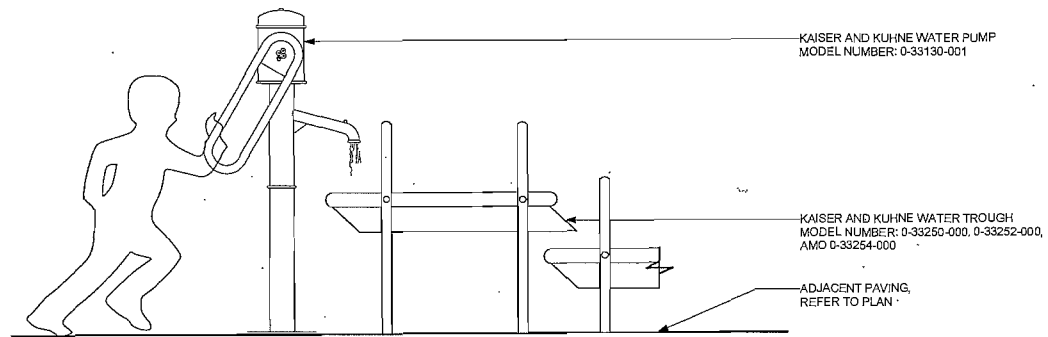
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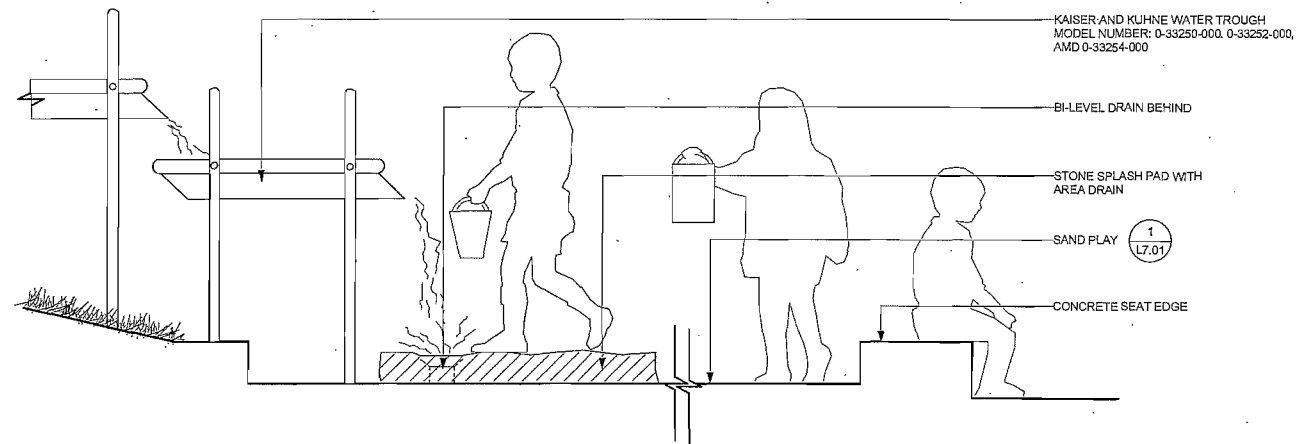
1 SAND PLAY AREA
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2 PUBLIC/PRIVATE REALM GATE
Scale: 1" = 1'-0"



3 WATER PLAY ELEMENT
Scale: 1" = 1'-0"



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NO.	DATE	DESCRIPTION
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PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
DETAILS

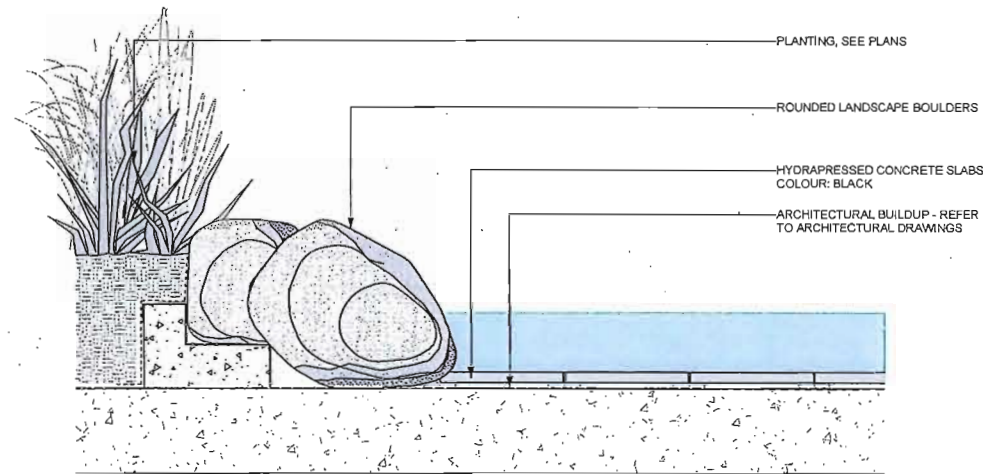
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SCALE
AS SHOWN

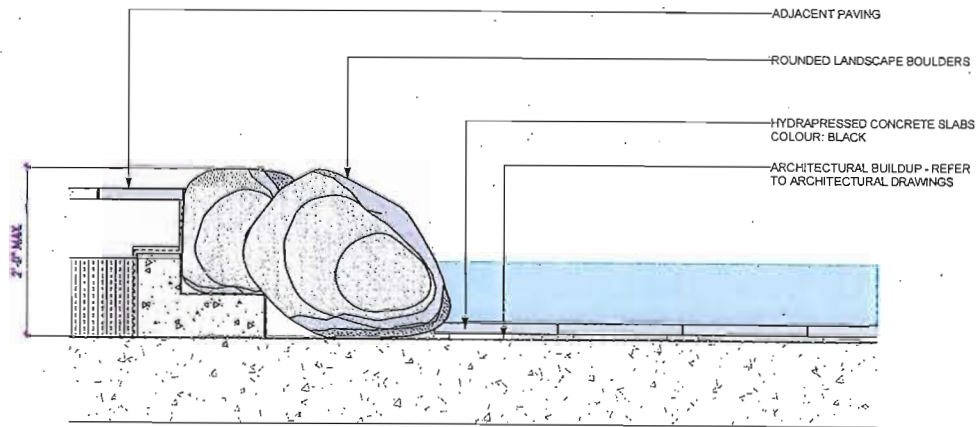
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FILE NAME	1286 DETAILS.vwx
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DRAWN	MP/ZL
REVIEWED	GB
DRAWING	

ATTENTION:
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MATERIAL REFERENCES, INSTALLATION
METHODS AND APPROVALS

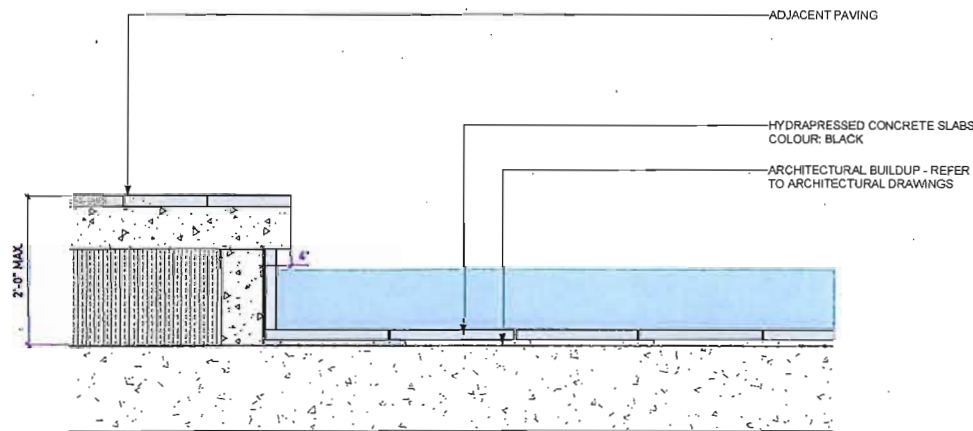
LDP 7.01



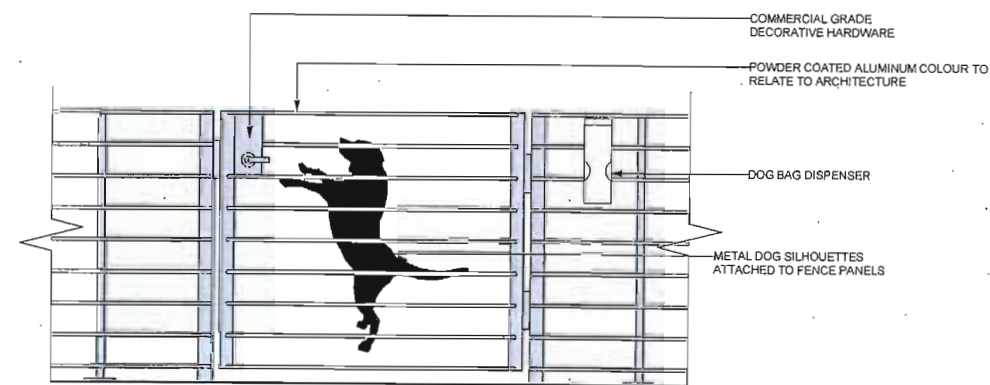
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2 WATER FEATURE EDGE 2
Scale: 1" = 1'-0"



3 WATER FEATURE EDGE 3
Scale: 1" = 1'-0"



4 DOG PARK GATE/FENCE
Scale: 1" = 1'-0"



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NO.	DATE	DESCRIPTION
01	2013/11/19	Revised per City Comments
02	2013/12/16	Re-issued for DP

Plan 8z Dec 16, 2013
DP 13-642725



PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
DETAILS

SCALE
AS SHOWN

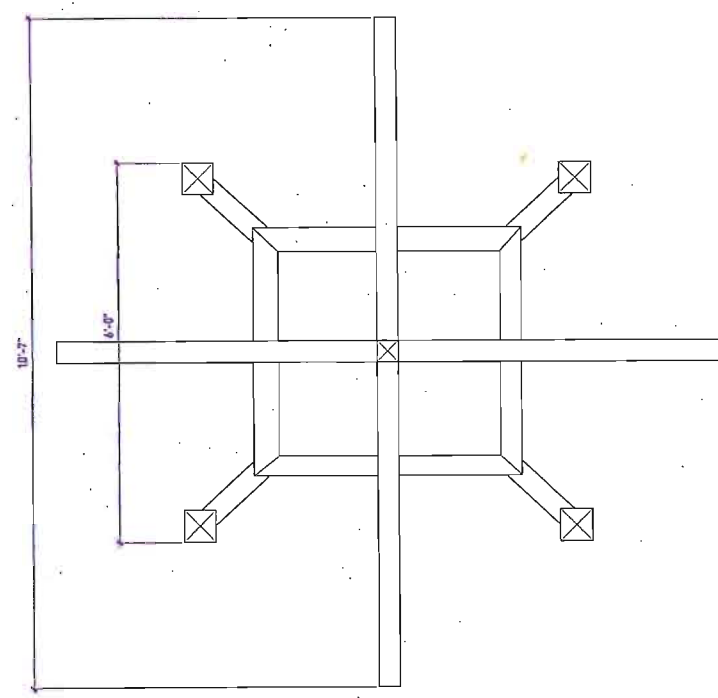
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DATE	NOV 2013
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REVIEWED	GB

ATTENTION:
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ADDITIONAL INFORMATION REGARDING
MATERIAL REFERENCES, INSTALLATION
METHODS AND APPROVALS

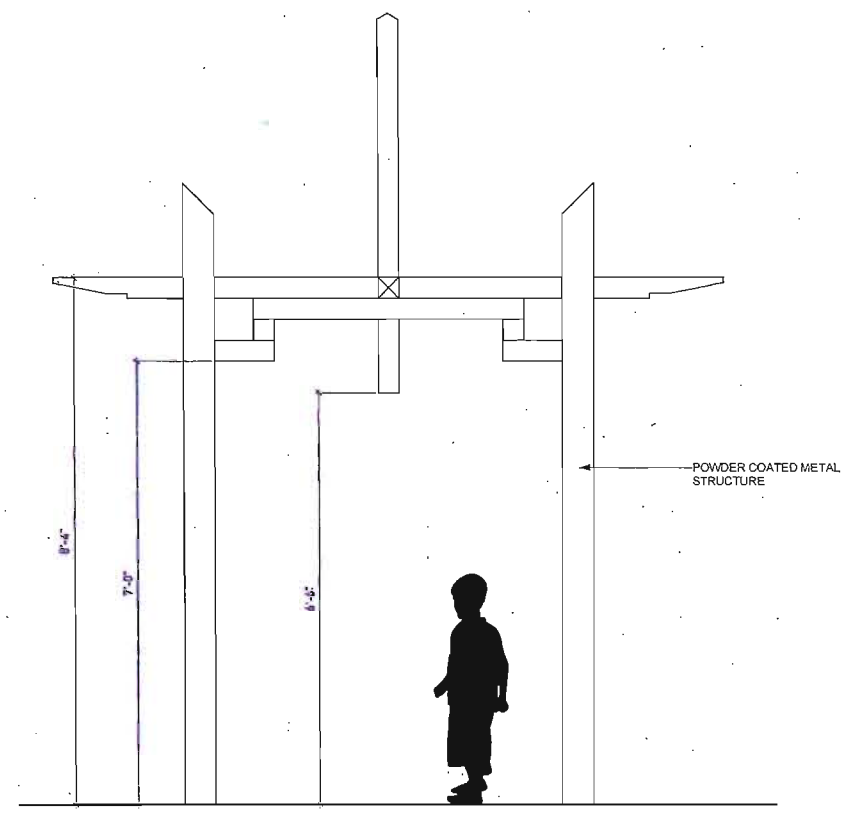
LDP 7.02

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
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02	2013/12/16	Re-issued for OP

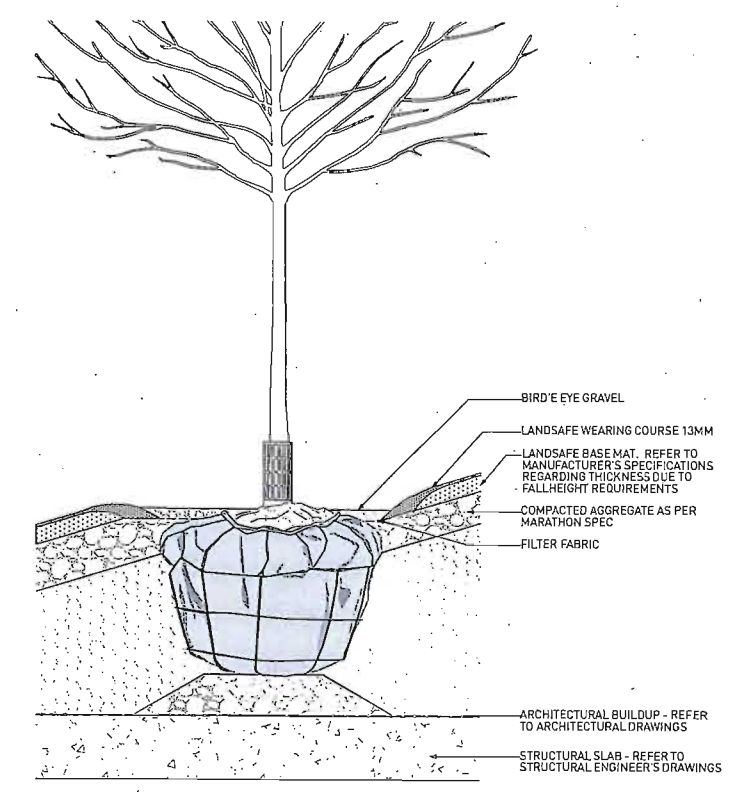
Plan 8aa Dec 16, 2013
DP 13-642725



PLAN VIEW

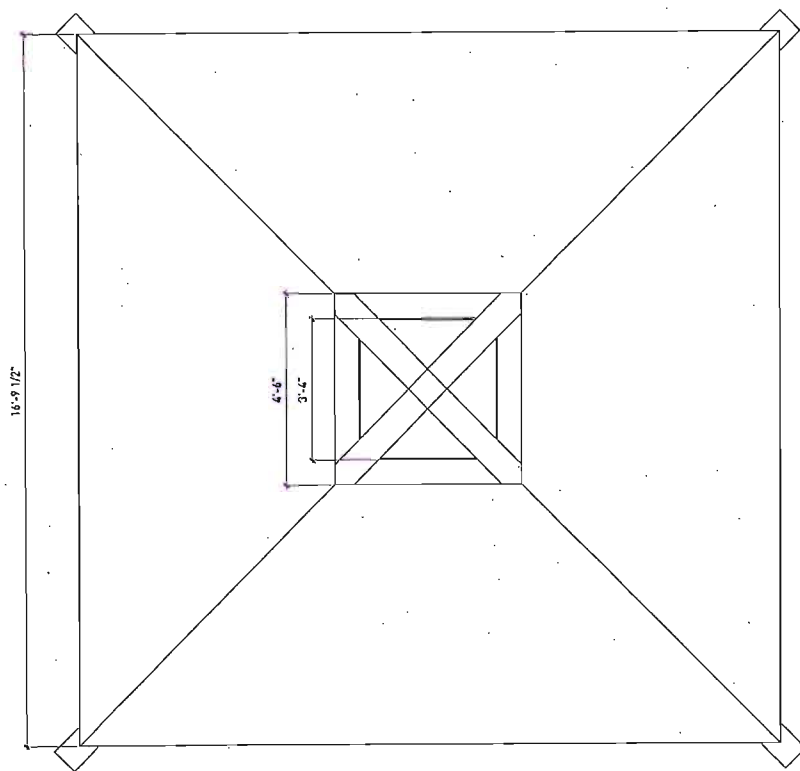


ELEVATION

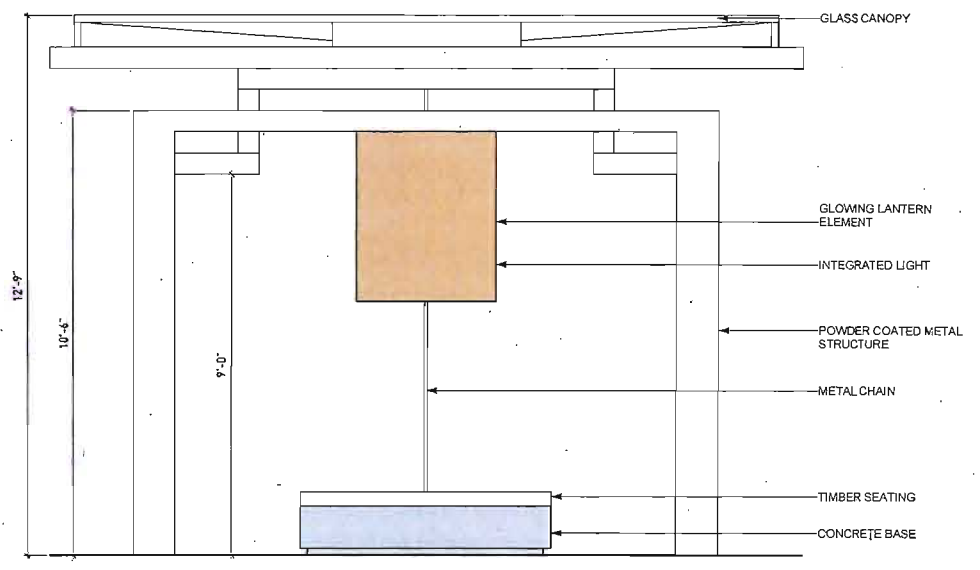


3 TREE PLANTING IN RESILIENT SURFACING
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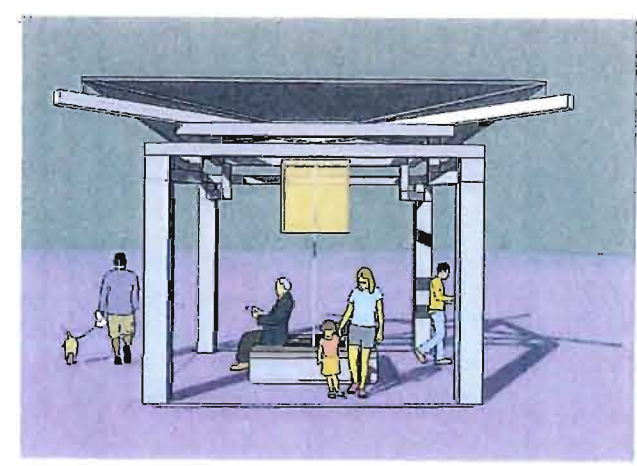
1 STRUCTURE ON HILL
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PLAN VIEW



ELEVATION



PERSPECTIVE

PROJECT
**CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC**

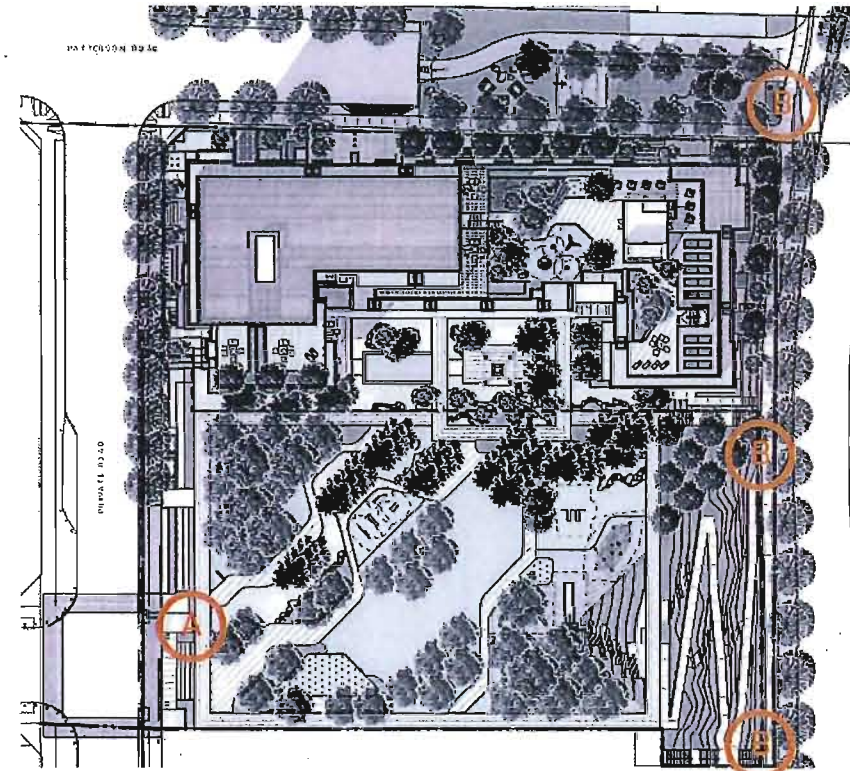
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DETAILS

SCALE
AS SHOWN

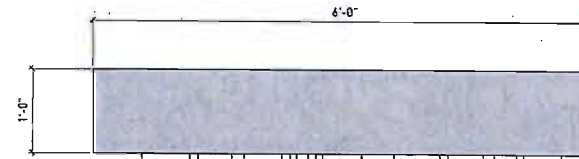
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DATE	NOV 2013
FILE NAME	1286 DETAILS.dwg
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DRAWN	MP/ZL
REVIEWED	GB

2 LANTERN STRUCTURE
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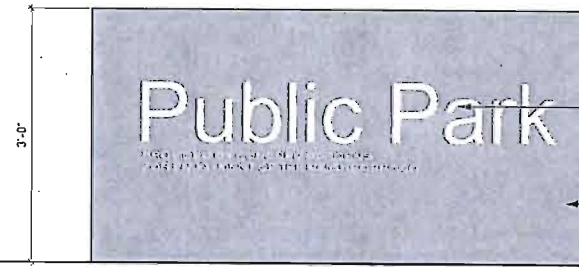
ATTENTION: REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING MATERIAL REFERENCES, INSTALLATION METHODS AND APPROVALS



LOCATION PLAN



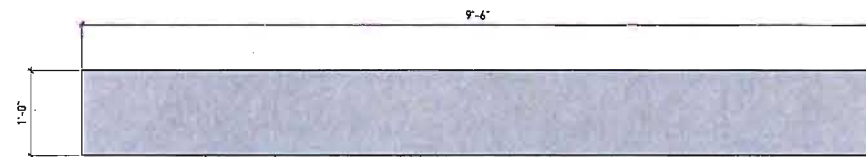
SIGNAGE B PLAN VIEW



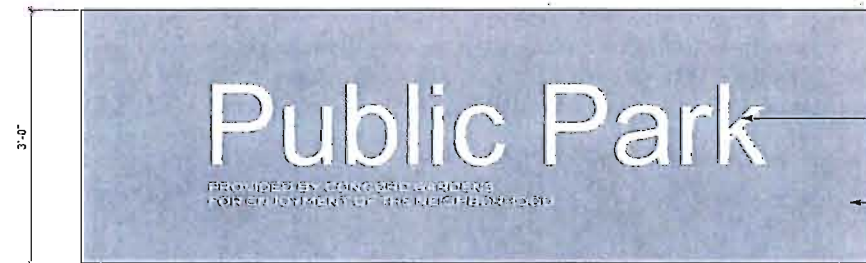
SIGNAGE B ELEVATION

METAL TEXT TO BE CONFIRMED

CONCRETE PLINTH,
ARCHITECTURAL QUALITY FINISH
LIGHT SANDBLAST



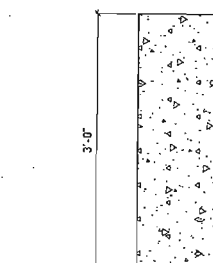
SIGNAGE A PLAN VIEW



SIGNAGE A ELEVATION

METAL TEXT TO BE CONFIRMED

CONCRETE PLINTH,
ARCHITECTURAL QUALITY FINISH
LIGHT SANDBLAST



SECTION



PWL partnership

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REVISIONS AND ISSUES

NO.	DATE	DESCRIPTION
01	2013/11/18	Revised per City Comments
02	2013/12/16	Re-issued for DP

Plan 8bb Dec 16, 2013
DP 13-642725



PROJECT
CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

DRAWING TITLE
DETAILS

SCALE
AS SHOWN

PROJECT NO.	1286
DATE	NOV 2013
FILE NAME	1286 DETAILS.vwx
PLOTTED	12/15/13 at 1:06:38 PM
DRAWN	MP/ZL
REVIEWED	GB

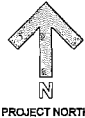
DRAWINGS

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LDP 7.04



gBL ARCHITECTS INC.
 140 - 204 WEST 11TH AVENUE TEL: 604 734 1154
 VANCOUVER, BC CANADA V6J 2C9 FAX: 604 731 8279



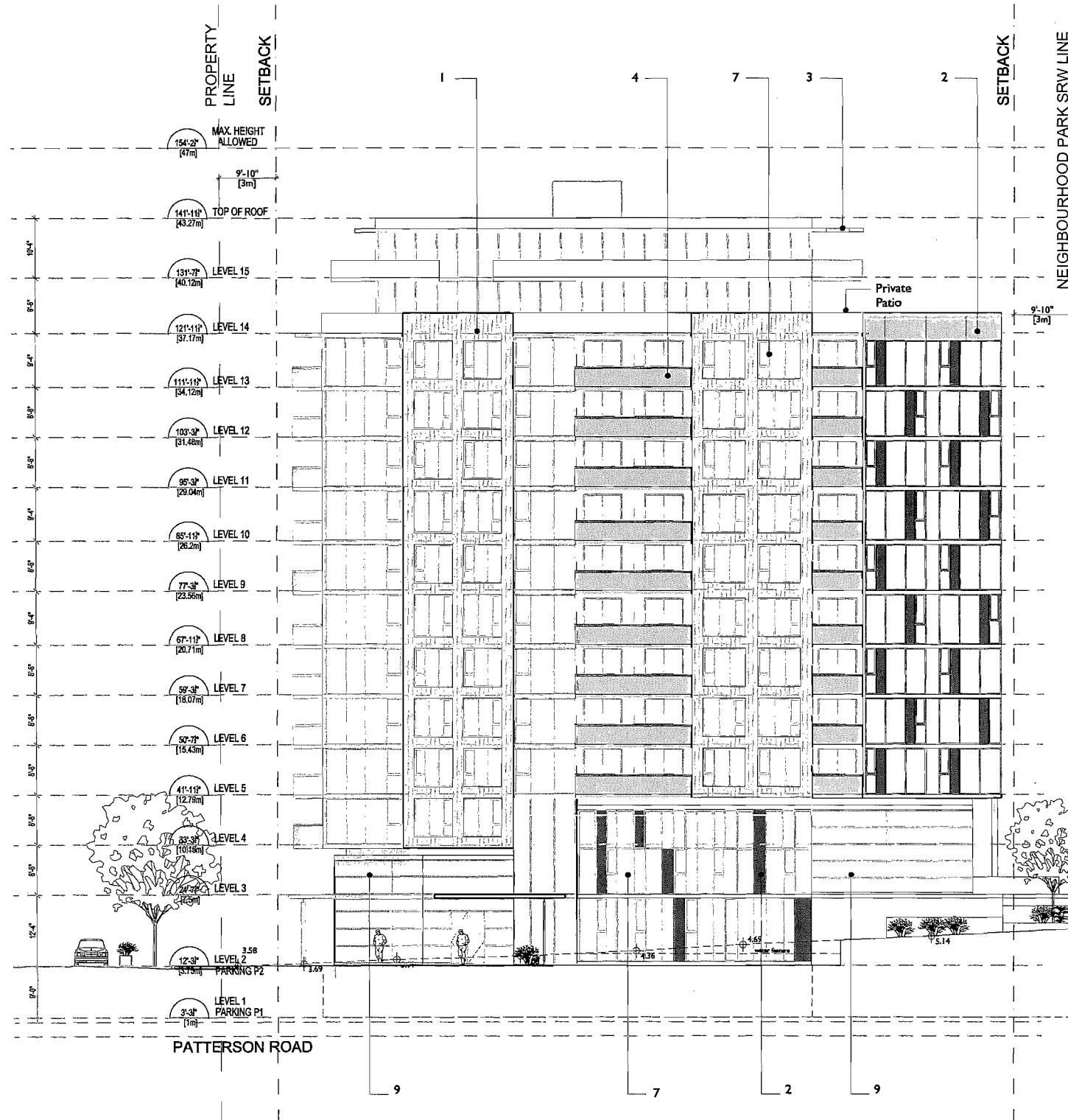
PLOT INFO:
 Plotted 1 November 2013
 Legal Address: LOT 1; PLAN BCP _____;
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	MAR. 14, 2013	PROGRESS SET
2	JULY 22, 2013	DEVELOPMENT PERMIT APPLICATION
3	OCT. 18, 2013	ADVISORY DESIGN PANEL SUBMISSION
4	NOV. 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5	DEC. 11, 2013	CITY REVIEW
6	DEC. 18, 2013	DP APPLICATION - PRELIMINARY

NOTE:
 ALL ELEVATIONS ARE MEASURED TO DA GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.

Plan 9 Dec 16, 2013
 DP 13-642725



- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)
- 4 Glass Guardrail
- 5 Glass Bi-pass Guardrail
- 6 Slab Extensions
- 7 Aluminum windows
- 8 Storefront Glazing
- 9 Combined Glazing and Spandrel Glass



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

NORTH/SOUTH RD
 ELEVATION

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

A-5.01

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



GEL ARCHITECTS INC.
 3034 WEST 117TH AVENUE
 VANCOUVER, BC CANADA V6V 2C9
 TELEPHONE: 604 734 1154
 FACSIMILE: 604 731 5379

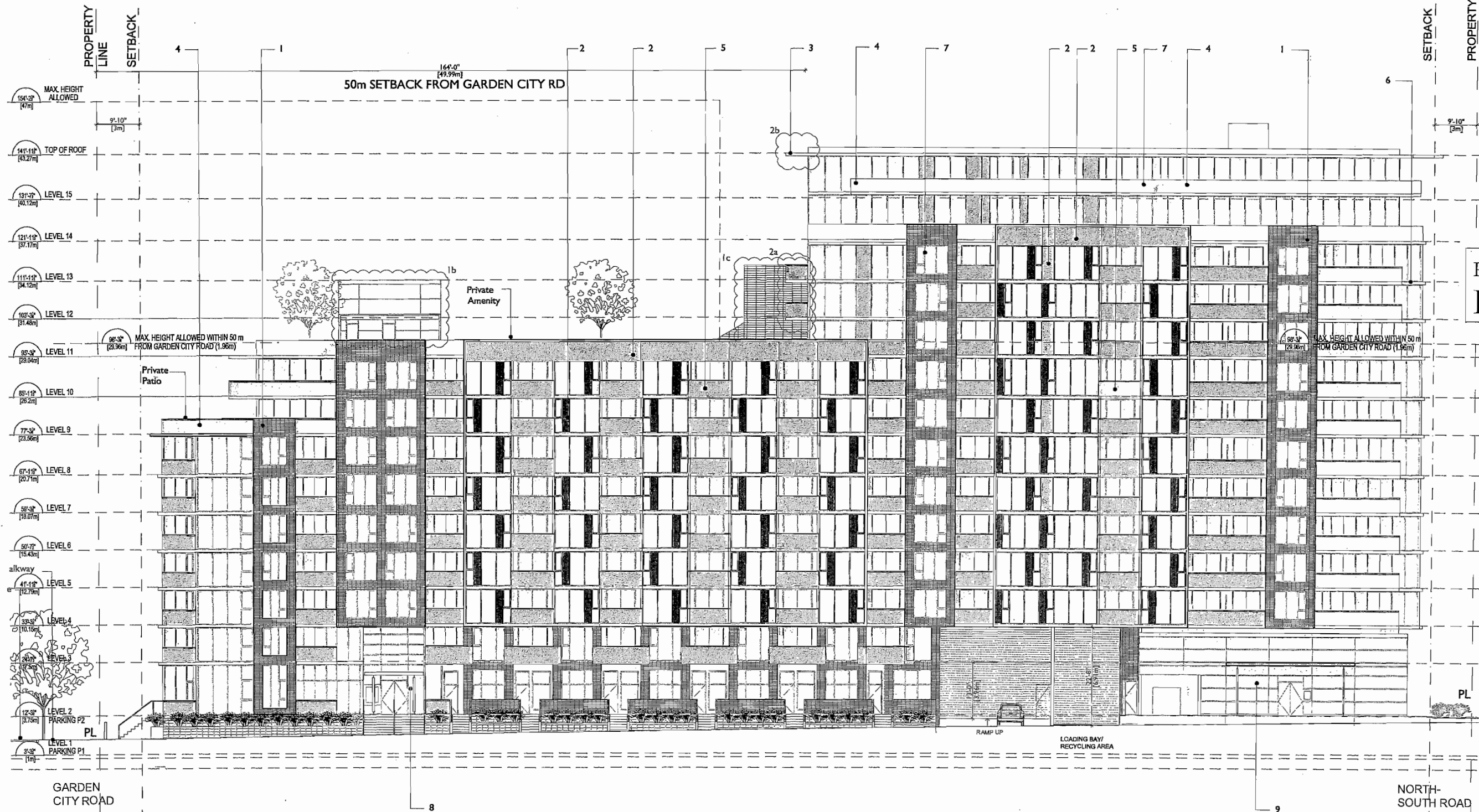


PLOT INFO:
 Project #: 13-642725
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS	
NO.	DATE
1.	MAR. 14, 2013
2.	JULY 23, 2013
3.	OCT. 15, 2013
4.	MAR. 14, 2013
5.	DEC. 11, 2013
6.	DEC. 16, 2013

NOTE:
 ALL DIMENSIONS ARE MEASURED TO 50 GEOMETRIC PLANS, SECTIONS AND ELEVATIONS.

Plan 10 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

PATTERSON RD
 ELEVATION

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)
- 4 Glass Guardrail

A-5.02

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



gBL ARCHITECTS INC.
 140 - 2024 WEST 117TH AVENUE VANCOUVER, BC CANADA V6K 3C7
 TELEPHONE: 604.734.1154
 FACSIMILE: 604.731.8779

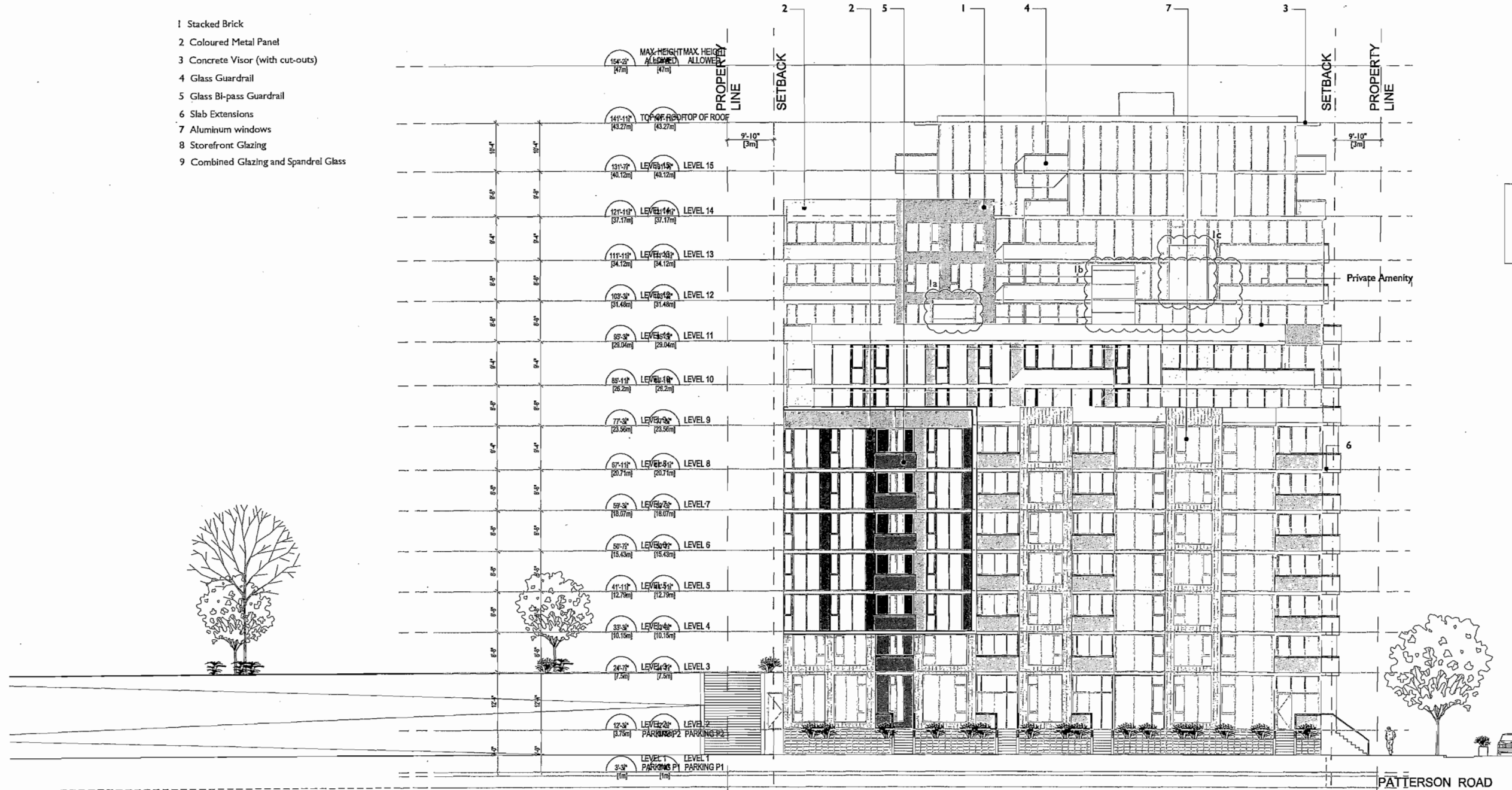


PLOT INFO:
 Plotted 1 November 2011
 Legal Address: LOT 1; PLAN BCP ;
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS		
NO.	DATE	DESCRIPTION
1.	MAR. 14, 2013	PROGRESSIVE EIT
2.	JULY 28, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 16, 2013	ADVISORY BOARD PANEL SUBMISSION
4.	MAR. 14, 2013	CITY REVIEW - EMF COMMENTS RESPONSE
5.	OCT. 17, 2013	CITY REVIEW
6.	OCT. 18, 2013	DP APPLICATION - PRODRTO

NOTE:
 ALL ELEVATIONS ARE MEASURED TO THE GEOMETRIC PLANS, SECTIONS AND ELEVATIONS.

- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)
- 4 Glass Guardrail
- 5 Glass Bi-pass Guardrail
- 6 Slab Extensions
- 7 Aluminum windows
- 8 Storefront Glazing
- 9 Combined Glazing and Spandrel Glass



Plan 11 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

GARDEN CITY RD
 ELEVATION

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

A-5.03

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



W. GIL ARCHITECTS INC.
 140 - 2024 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 3C7
 TELEPHONE 604 734 1156
 FACSIMILE 604 731 5279



PLOT INFO:
 Project 1 November 2011
 Legal Address: LOT 1; PLAN BCP;
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS	
NO.	DESCRIPTION
1.	MAR. 14, 2013 PROGRESS SET
2.	JULY 16, 2013 DEVELOPMENT PERMIT APPLICATION
3.	OCT. 10, 2013 ARCHITECTURE DESIGN PANEL SUBMISSION
4.	MAY 14, 2013 CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC. 16, 2013 CITY REVIEW
6.	DEC. 16, 2013 OF APPLICATION - #100110

NOTE:
 ALL ELEVATIONS ARE MEASURED TO THE CREST OF THE ROOF, UNLESS SPECIFIED OTHERWISE.

Plan 12 Dec 16, 2013
 DP 13-642725

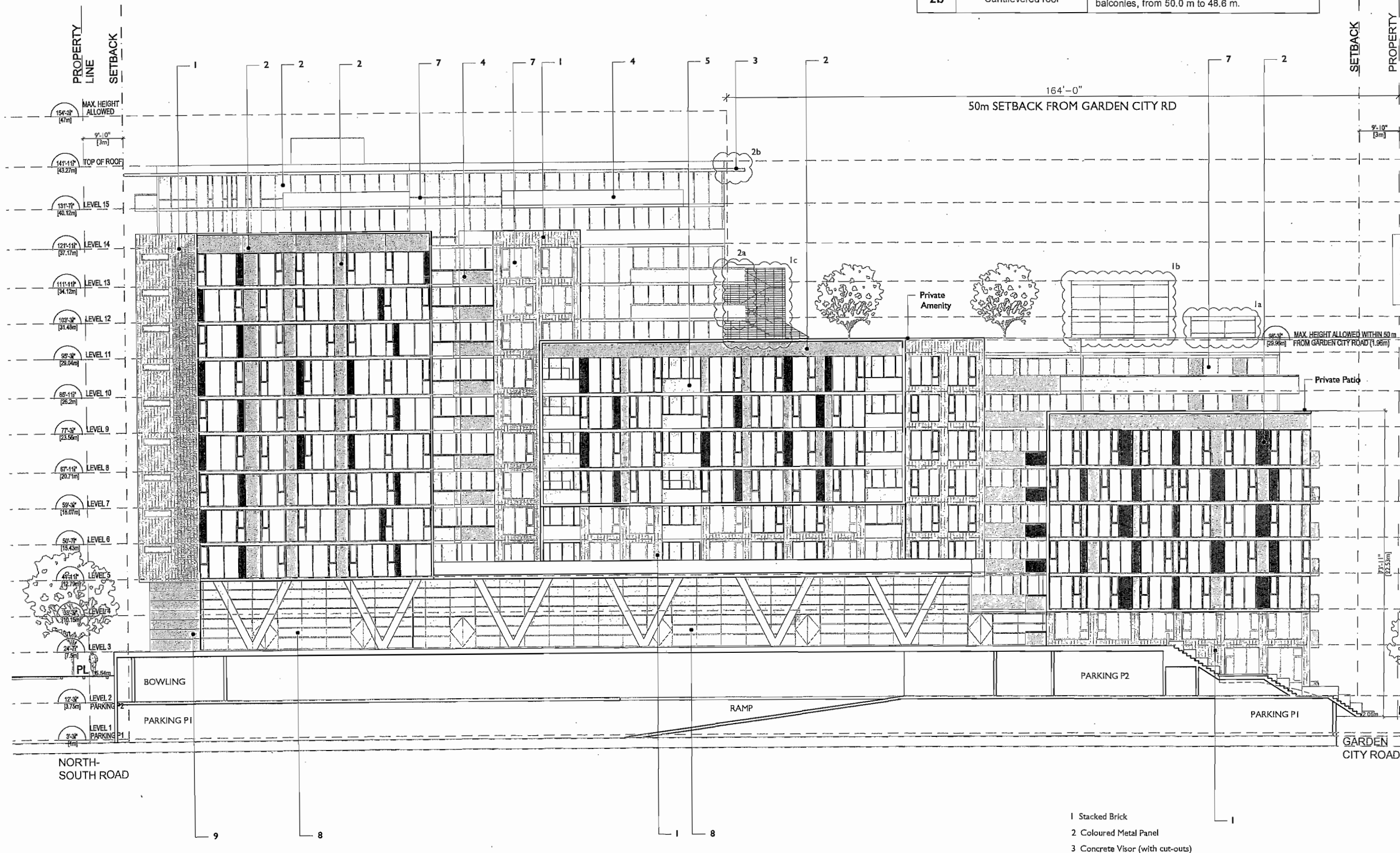


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

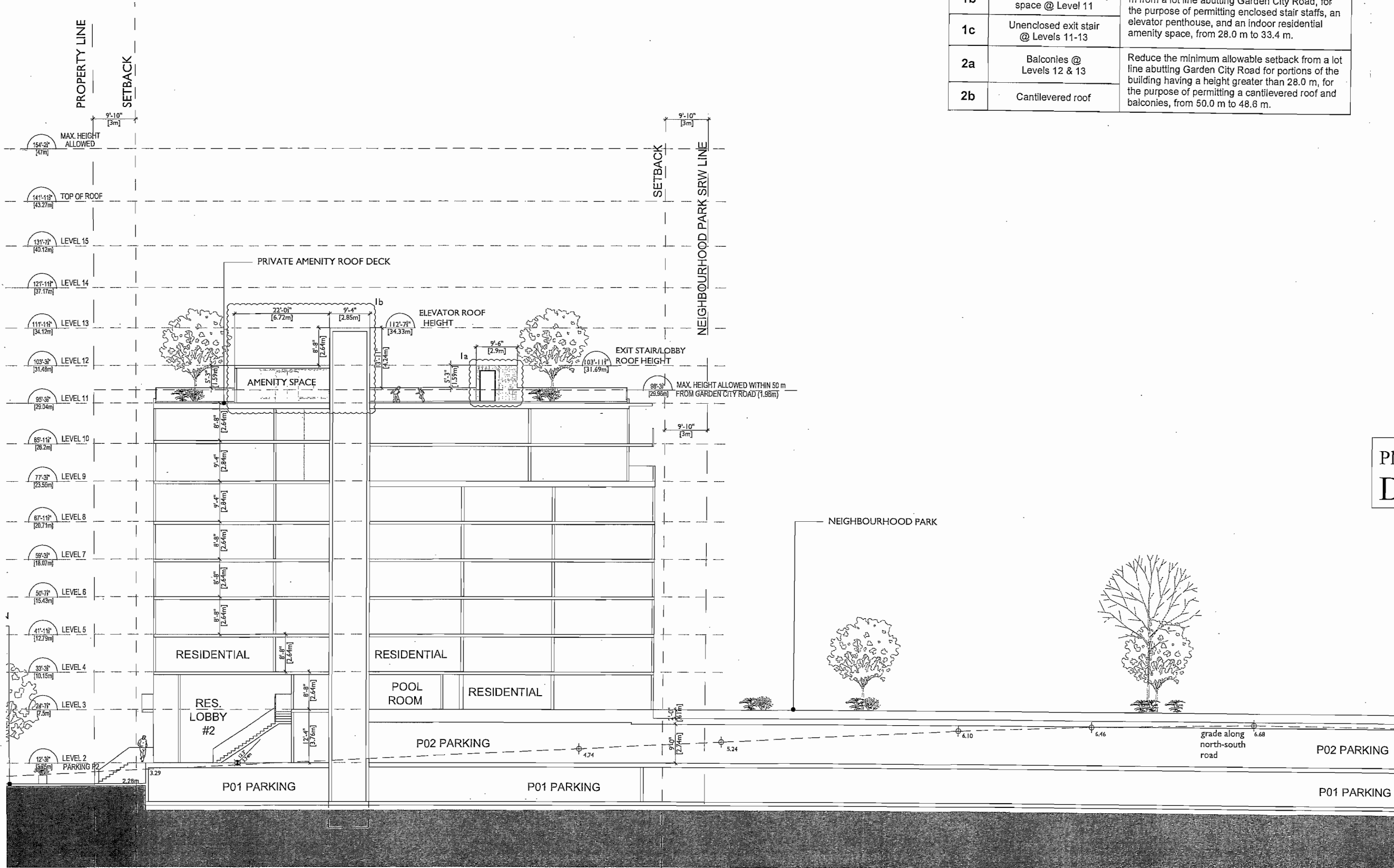
PARK ELEVATION

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

A-5.04



- 1 Stacked Brick
- 2 Coloured Metal Panel
- 3 Concrete Visor (with cut-outs)



Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
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2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



gBL ARCHITECTS INC.
 140 - 2024 WEST 11TH AVENUE TEL: 604 738 1156
 VANCOUVER, BC CANADA V6J 2C9 FAC: 604 731 5279



PROJECT NORTH

PLOT INFO:
 Filed: November 2011
 Legal Address: LOT 1; PLAN BCP _____;
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS		
NO.	DATE	DESCRIPTION
1.	MAY 14, 2013	PROGRESSIVE SET
2.	JULY 26, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 18, 2013	ADVISORY COMMISSION PANEL SUBMISSION
4.	MAY 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	OCT. 11, 2013	CITY REVIEW
6.	OCT. 18, 2013	DP APPLICATION - PRO-TO

NOTE:
 ALL ELEVATIONS ARE MEASURED TO ON GRAPHIC IN PLANS, SECTIONS AND ELEVATIONS.

Plan 13 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SECTION A-A

DATE: FEB 19, 2013
 DRAWN BY: SS
 CHECKED BY: AB
 SCALE: 3/32" = 1'-0"
 JOB NUMBER: 1251

A-6.01

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



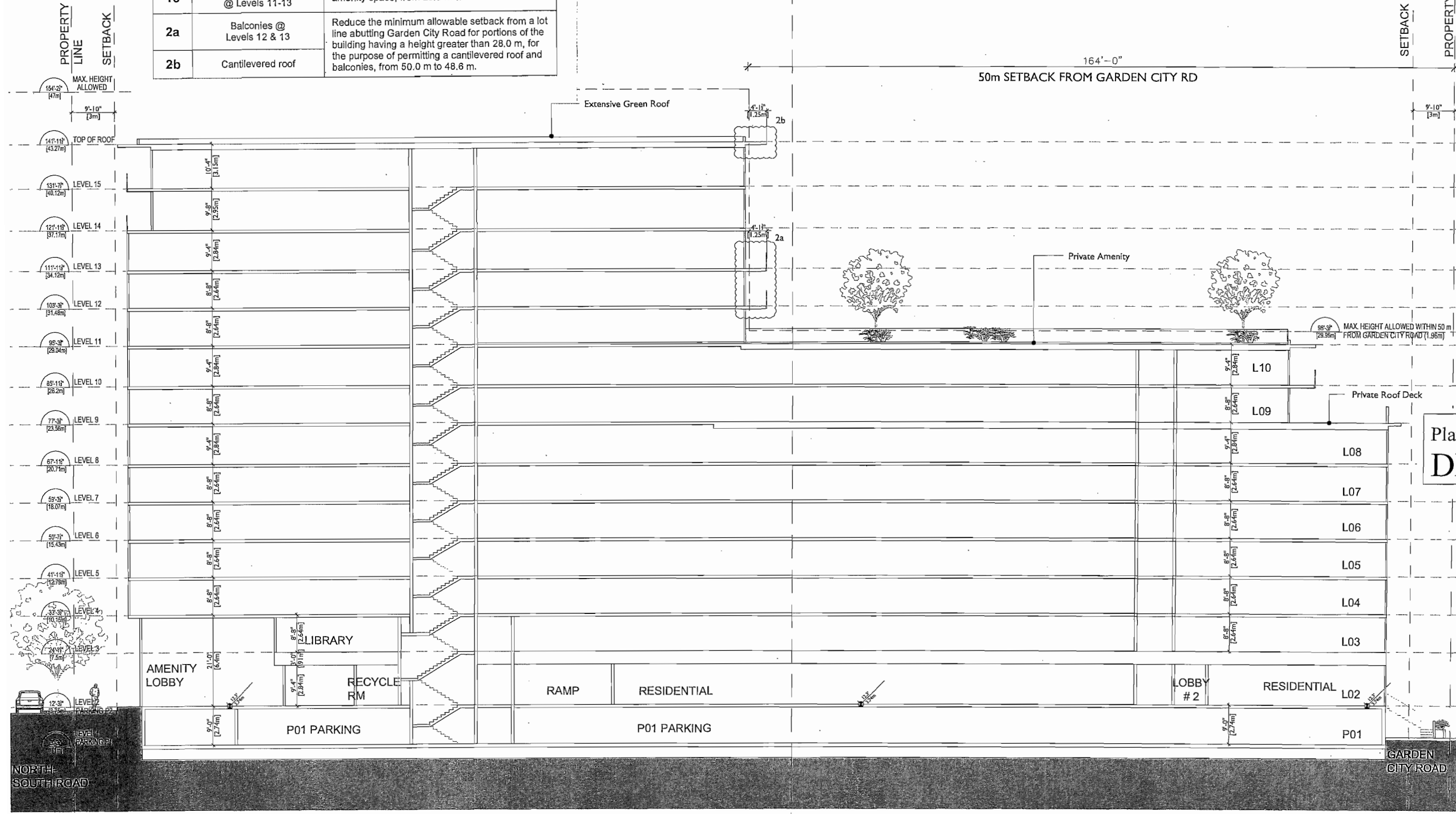
GBL ARCHITECTS INC.
 140 - 3824 WEST 117TH AVENUE TEL: 604 736 1156
 VANCOUVER, BC CANADA V6J 2C9 FAC: 604 731 3279



PLOT INFO:
 Filed 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS	
NO.	DATE
1.	MAR 14, 2013
2.	JULY 22, 2013
3.	OCT 16, 2013
4.	NOV 14, 2013
5.	DEC 16, 2013
6.	DEC 18, 2013

NOTE:
 ALL ELEVATIONS ARE MEASURED TO THE GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.



Plan 14 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SECTION B-B

DATE	FEB 19, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



GBL ARCHITECTS INC.
 140 - 3054 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 3C9
 TELEPHONE 604 276 1154
 FACSIMILE 604 271 5279

BYLAW VARIANCE: NO PLAN WILL BE DRAWN AND NO PERMIT WILL BE ISSUED UNLESS THE PROPERTY OF THE APPLICANT HAS BEEN REVIEWED BY THE CITY OF VANCOUVER AND THE VARIANCE IS IN ACCORDANCE WITH THE CITY OF VANCOUVER ZONING BYLAW.



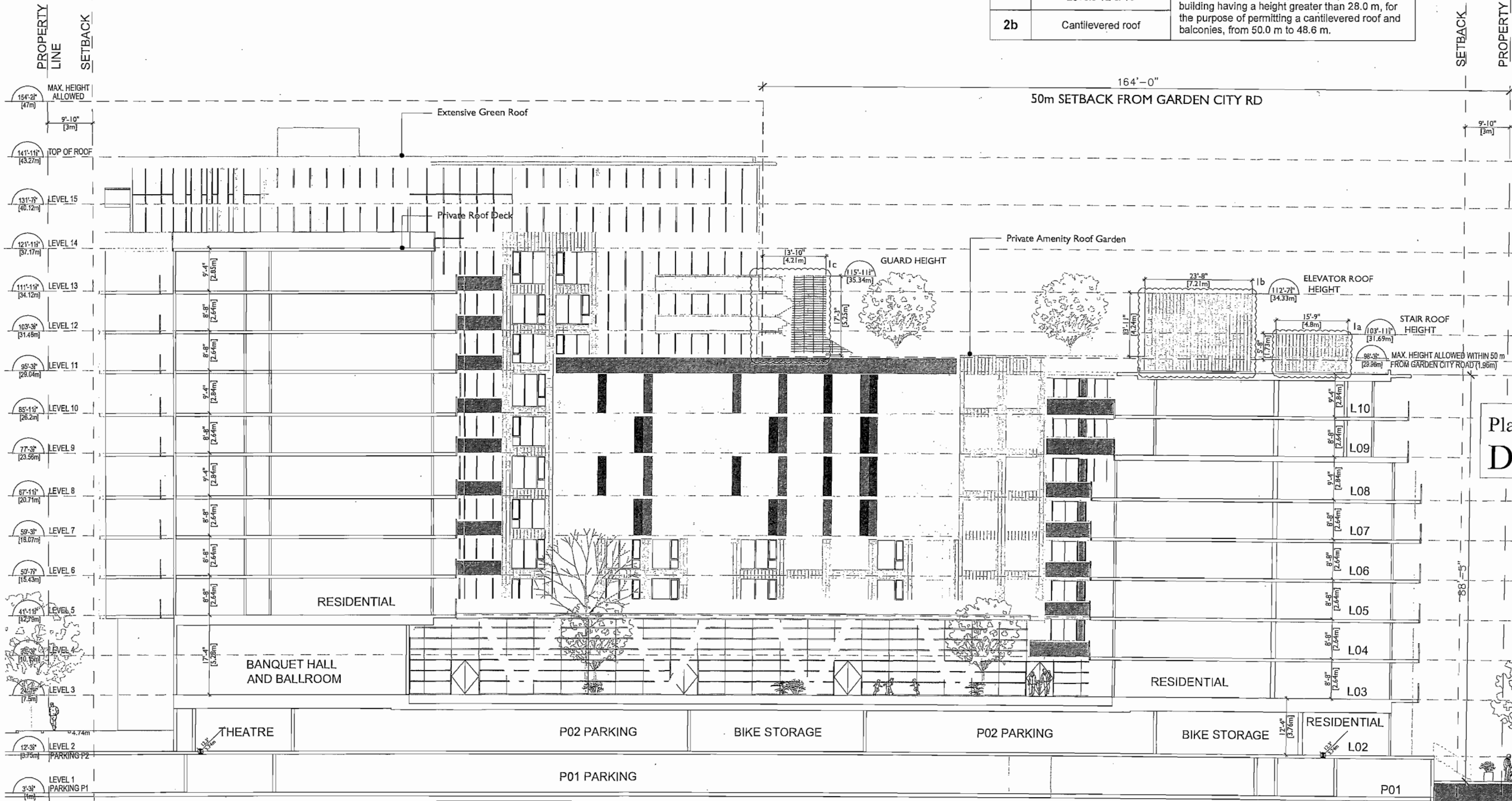
PROJECT NORTH

PLOT INFO:
 Plotted 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST-NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	Mar. 14, 2013	PROCESSED PERMIT
2.	July 25, 2012	DEVELOPMENT PERMIT APPLICATION
3.	Oct. 18, 2012	ADVISORY DESIGN PANEL SUBMISSION
4.	Nov. 14, 2012	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	Dec. 11, 2012	CITY REVIEW
6.	Dec. 18, 2013	DP APPLICATION - PRIOR TO

NOTE:
 ALL DIMENSIONS ARE MEASURED TO DIM GEOMETRIC PLANS, SECTIONS AND ELEVATIONS.



Plan 15 Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

SECTION C-C

DATE	FEB 19, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

A-6.03

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
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2b	Cantilevered roof	



gBL ARCHITECTS INC.
 140 - 2024 WEST 117th AVENUE
 VANCOUVER, BC CANADA V6J 2C9
 TELEPHONE 604 736 1156
 FACSIMILE 604 731 3279



PROJECT NORTH

PLOT INFO:
 Plotted 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS		
NO.	DATE	DESCRIPTION
1.	MAR. 14, 2013	PROGRESS SET
2.	JULY 26, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 15, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	MAR. 14, 2014	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC. 11, 2015	CITY REVIEW
6.	DEC. 16, 2015	CP APPLICATION - P809-10

NOTE:
 ALL ELEVATIONS ARE MEASURED TO ON GEOMETRIC W PLANE, SECTIONS AND ELEVATIONS.

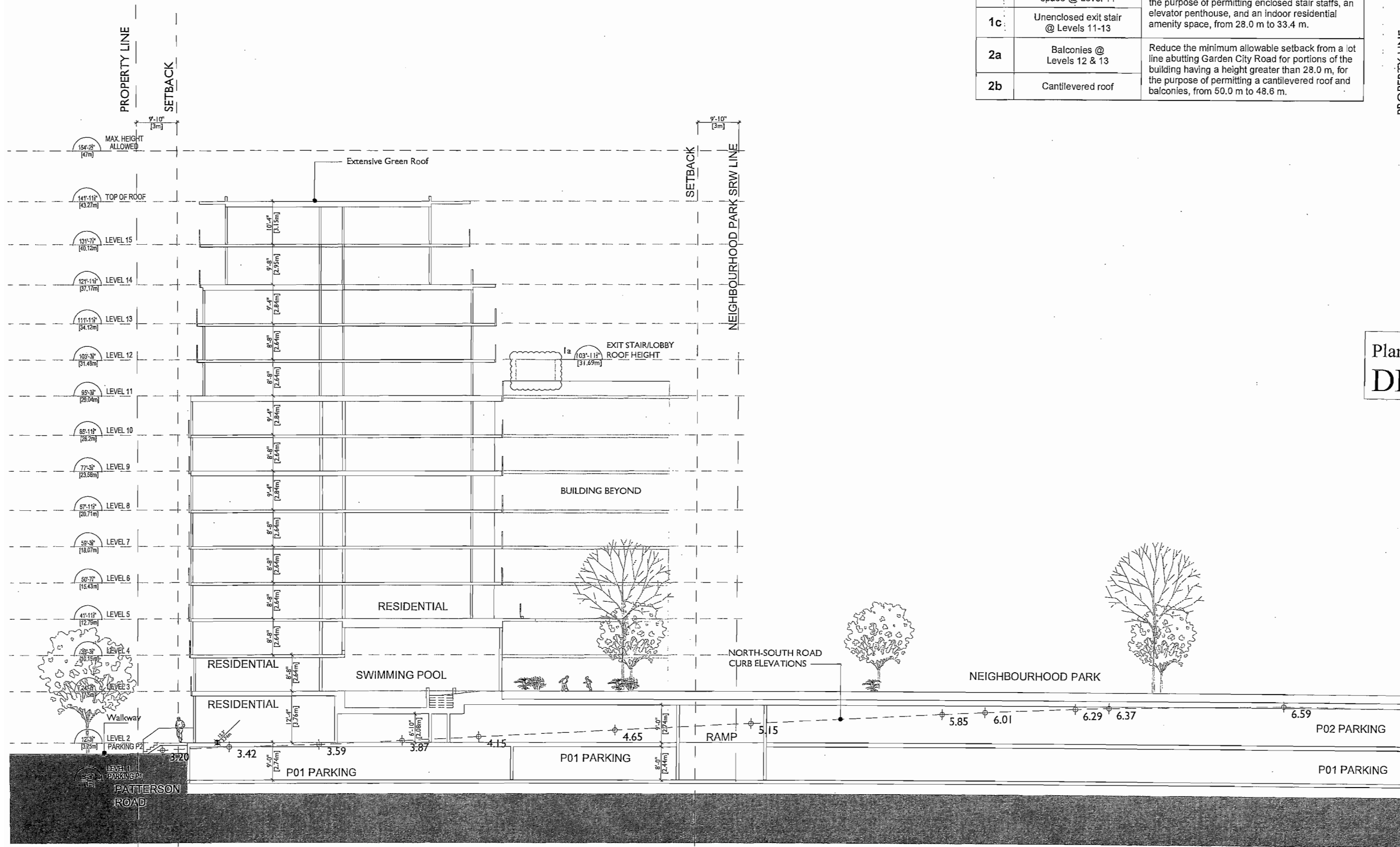
Plan 16 Dec 16, 2013
 DP 13-642725

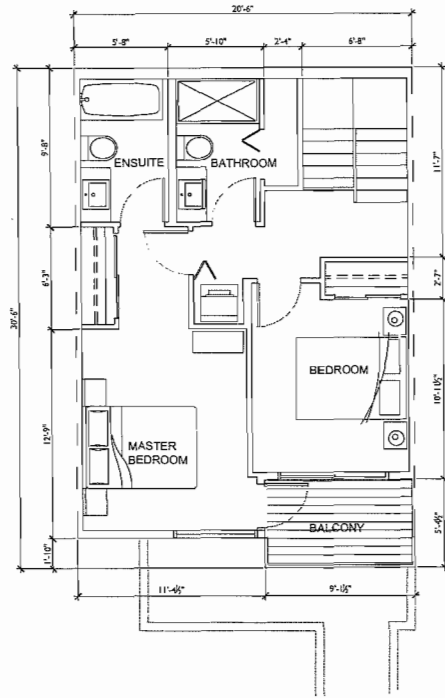


CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

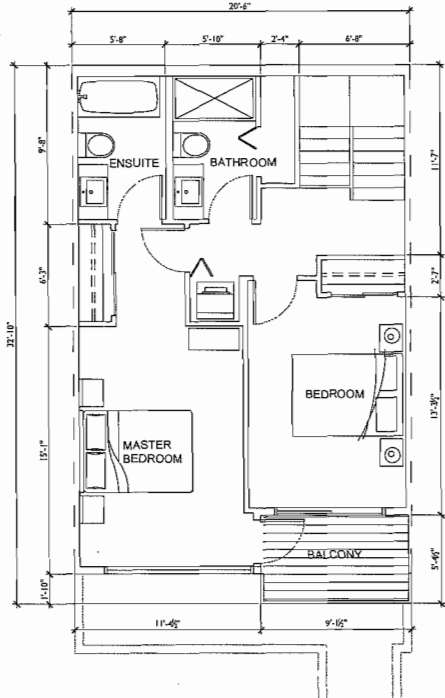
SECTION D-D

DATE FEB 19, 2013
 DRAWN BY SS
 CHECKED BY AB
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 JOB NUMBER 1251

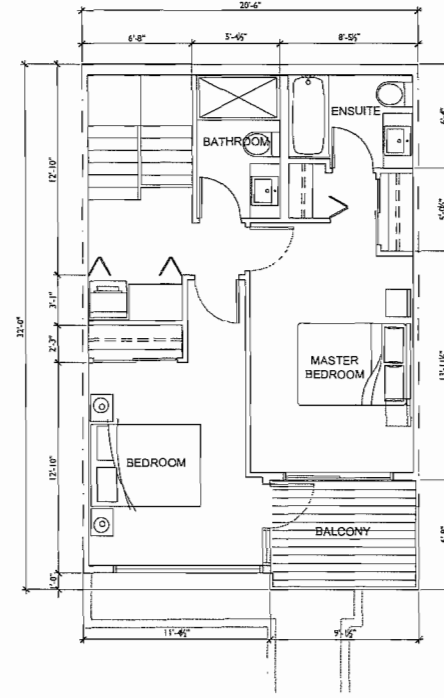




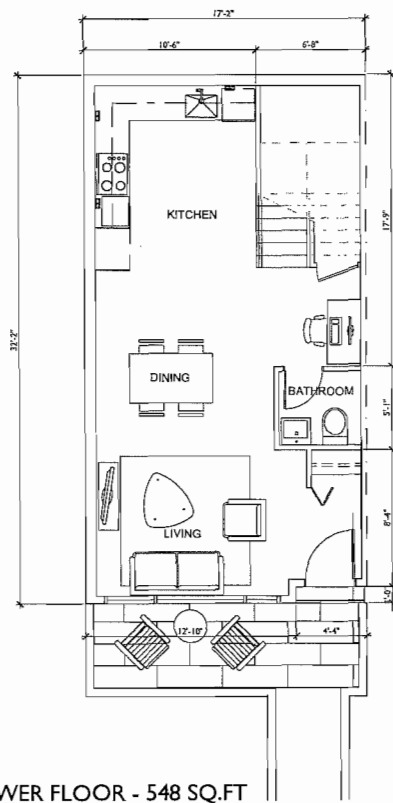
UPPER FLOOR - 556 SQ.FT



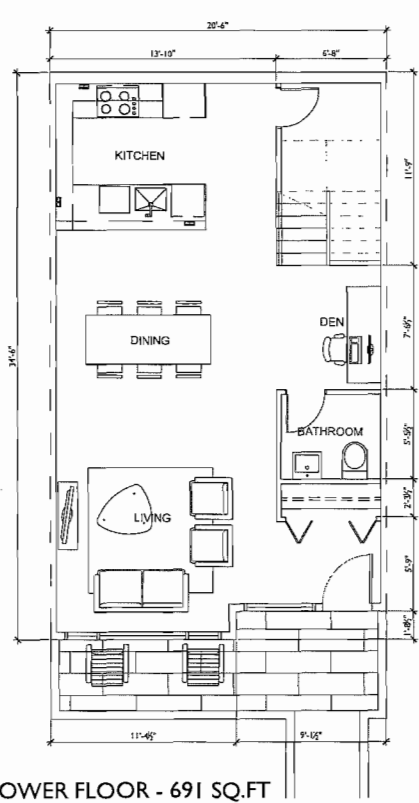
UPPER FLOOR - 604 SQ.FT



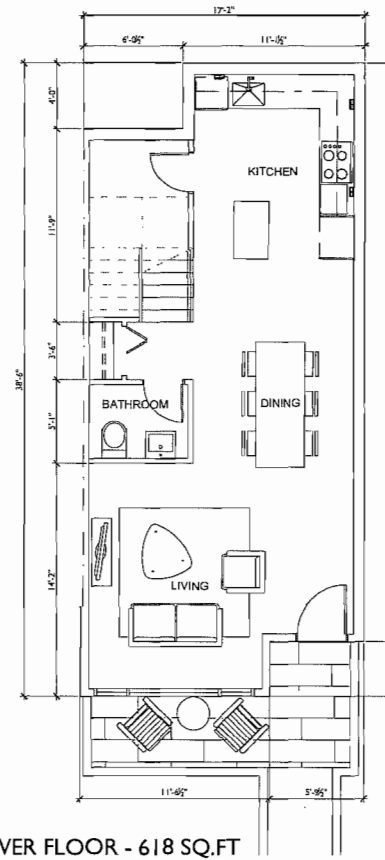
UPPER FLOOR - 584 SQ.FT



LOWER FLOOR - 548 SQ.FT



LOWER FLOOR - 691 SQ.FT



LOWER FLOOR - 618 SQ.FT

TH 1
2 BED 2.5 BATH - 1,104 SQ.FT (1 UNIT)
AGING IN PLACE FEATURES PROVIDED

TH 2
2 BED 2.5 BATH & DEN - 1,295 SQ.FT (4 UNITS)
AGING IN PLACE FEATURES PROVIDED

TH 3
2 BED 2.5 BATH - 1,202 SQ.FT (1 UNIT)
AGING IN PLACE FEATURES PROVIDED

GENERAL AFFORDABLE HOUSING REQUIREMENTS

SINGLE STOREY AFFORDABLE HOUSING UNITS MUST COMPLY WITH THE CITY OF RICHMOND ZONING BYLAW REQUIREMENTS FOR BASIC UNIVERSAL HOUSING (BUH). SEE ALSO FOR NOTES REGARDING BUH UNITS. TWO STOREY UNITS MUST PROVIDE AGING IN PLACE.

BASIC UNIVERSAL HOUSING FEATURES - NOTES

- 1) AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED FOR THE MAIN ENTRY (MAIN LOBBY)
- 2) 3/4" IN WRING FOR AN AUTOMATIC DOOR OPENER SHALL BE PROVIDED AT EACH UNIT ENTRY DOOR.
- 3) THE MINIMUM CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 850 mm WHICH WILL BE PROVIDED BY A SWING DOOR.
- 4) THE MINIMUM CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM AND ONE ACCESSIBLE BATHROOM IN EVERY DWELLING UNIT SHALL BE NO LESS THAN 800 mm.
- 5) DOORS IN EVERY DWELLING UNIT AND COMMON AREAS SHALL BE OPERABLE BY DEVICES THAT DO NOT REQUIRE TIGHT GRASPING OR TWISTING OF WAIST.
- 6) FLOOR THRESHOLDS THROUGHOUT THE BUILDING SHALL BE A MAXIMUM OF 13.0 mm HEIGHT.
- 7) THE ABOVE-NOTED REQUIREMENTS FOR DOORS DO NOT APPLY TO MECHANICAL ROOMS, SERVICE AREAS, CLOSETS, ETC. WHERE THROUGH ACCESS IS NOT REQUIRED AND ACCESS TO A PERSON WITH A DISABILITY IS NOT ANTICIPATED.
- 8) ENTRY DOORS TO EVERY DWELLING UNIT AND DOOR ASSEMBLIES IN COMMON AREAS SHALL HAVE A CLEAR AND LEVEL AREA WHICH IS NOT LESS THAN THE FOLLOWING:
 - A) WHERE THE DOOR SWINGS TOWARD THE AREA PULL DOOR, 1200.0 mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 600.0 mm CLEAR SPACE ON THE LATCH SIDE.
 - B) WHERE THE DOOR SWINGS AWAY FROM THE AREA PUSH DOOR, 1200.0 mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 600.0 mm CLEAR SPACE ON THE LATCH SIDE.
 - C) WHERE THERE ARE DOORS IN A SERIES IN COMMON AREAS, THERE MUST BE SEPARATION OF AT LEAST 1200.0 mm PLUS THE WIDTH OF THE DOOR.
- 9) ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPTED FROM THE REQUIREMENT TO PROVIDE THE 1200.0 mm LONG CLEAR AREA AND 600.0 mm CLEAR SPACE IF 3/4" IN WRING IS PROVIDED FOR FUTURE CONVERSION FOR AN AUTOMATIC DOOR OPENER.

CORRIDOR WIDTH

9) COMMON CORRIDORS SHALL BE NO LESS THAN 1200.0 mm WIDE.

FLOOR SURFACES

- 10) FLOOR SURFACES THROUGHOUT THE BUILDING SHALL HAVE NO ABRUPT CHANGES IN LEVEL, I.E., A MAXIMUM BREAK OF THE FLUSH THRESHOLD OF 13.0 mm HEIGHT.
- 11) FLOOR SURFACES SHALL BE SLIP RESISTANT.
- 12) WHERE CARPETS ARE Laid, THEY MUST BE FIRMLY FIXED, HAVE A FIBRE UNDERLAY AND FLE UNDER 13.0 mm HEIGHT.
- 13) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 750.0 mm ABOVE THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.
- 14) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND OF A TYPE THAT DOES NOT REQUIRE TIGHT GRASPING, FINCHING OR TWISTING OF THE UNIT.

OUTLETS AND SWITCHES

- 15) LIGHT SWITCHES, ELECTRICAL PANELS AND INTERCOM BUTTONS SHALL BE A MAXIMUM 1200.0 mm FROM THE FLOOR.
- 16) ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT LESS THAN 450.0 mm FROM THE FLOOR.
- 17) THERMOSTATS SHALL BE LOCATED BETWEEN 900.0 mm TO 1350.0 mm FROM THE FLOOR.
- 18) THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF THE CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750.0 mm.
- 19) LIGHT SWITCHES WILL BE ROCKER OR PADDLE-TYPE SWITCHES.

BATHROOMS

- 20) AT LEAST ONE BATHROOM SHALL:
 - A) HAVE A TOILET POSITIONED WITH THE CENTRE LINE OF THE TOILET 400.0 mm TO 480.0 mm FROM A SIDE WALL ON WHICH A GRAB BAR CAN BE INSTALLED AND AT LEAST 1000.0 mm FROM ANY OBSTRUCTION ON THE NON-GRAB BAR SIDE OR IN FRONT OF THE TOILET; AND
 - B) HAVE A CLEAR FLOOR AREA AT THE SINK OF 700.0 mm BY 1200.0 mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK.
 - C) HAVE A MINIMUM CLEAR AREA OF 914.0 mm IN DEPTH ALONG THE FULL LENGTH OF THE BATH TUB.
 - D) HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALLS AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS; AND
 - E) INCLUDE EASY TO GRASP HANDLES ON FAUCETS, E.G., LEVER-TYPE FAUCETS.

21) WHERE BATHROOMS ARE PROVIDED TO SERVE A COMMON ANTI-SLIP SPACE, AT LEAST ONE SHALL BE WHEELCHAIR ACCESSIBLE AS DESCRIBED IN THE BUILDING CODE AND THE TOP OF THE RIM OF THE TOILET IN THAT ONE BATHROOM SHALL BE 480.0 mm ABOVE THE FLOOR.

KITCHENS

- 22) THE KITCHEN MUST HAVE:
 - A) SOME USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSED BY PEOPLE WITH DEABILITIES, INCLUDING PEOPLE WITH WHEELCHAIRS, E.G., CONTINUOUS COUNTER BETWEEN THE STOVE AND SINK; ADJUSTABLE SHELVES IN ALL CABINETS; PULL-OUT WORK BOARDS AT 810.0 mm HEIGHT; AND PULL-OUT CABINET SHELVES.
 - B) EASY TO GRASP HANDLES ON FAUCETS, E.G., LEVER-TYPE FAUCETS.
 - C) EASY TO GRASP HANDLES ON CUPBOARDS, E.G., D OR J TYPE CABINET HANDLES AND GRAB EDGES UNDER COUNTERS.
 - D) TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS; AND
 - E) PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE FOR A POTENTIAL 800.0 mm WIDE UNDER COUNTER WORKSPACE SO AS NOT TO PREVENT THE FUTURE CONVERSION OF COUNTER SPACE AND SINKS TO BEING UNIVERSALLY ACCESSIBLE FOR KNEE SPACE UNDER THE SINK WHERE THERE IS A COUNTER TOP STOVE BUILT IN.

BEDROOM AND CLOSET

- 23) THE SPACE AROUND A BED IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500.0 mm ON ONE SIDE OF A DOUBLE BED.
- 24) THE CLOSET IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE A CLEAR OPENING OF AT LEAST 900.0 mm CLEAR FLOOR SPACE OF AT LEAST 750.0 mm BY 1200.0 mm AND A CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200.0 mm.

PATIOS AND BALCONIES

- 25) ACCESS DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 800.0 mm.
- 26) MINIMUM DIMENSIONS OF ANY BALCONY OR PATIO SHALL BE 1500.0 mm BY 1 500.0 mm.

ALL REPAIRING SUITS WILL INCORPORATE AGING IN PLACE FEATURES:

- STAIRWELL HANDRAILS
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES, DOOR HANDLES
- SOLID BLOCKING IN WASHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATH TUB AND SHOWER.



■ GBL ARCHITECTS INC.
140 - 1034 WEST 117TH AVENUE
VANCOUVER, BC CANADA V6J 2C7
TELEPHONE 604 726 1136
FACSIMILE 604 721 5379



PLOT INFO:
Phase 1 November 2011
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14, 2013	PRELIMINARY SET
2.	JULY 25, 2013	DEVELOPMENT FORMAT APPLICATION
3.	OCT 15, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	NOV 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC 11, 2013	CITY REVIEW
6.	DEC 16, 2013	DP APPLICATION - PRIOR TO

NOTE:
ALL ELEVATIONS ARE MEASURED TO 9M GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.



**CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC**

**UNIT PLANS
AFFORDABLE HOUSING**

DATE	FEB 02, 2012
DRAWN BY	PJG
CHECKED BY	-
SCALE	3/16"=1'-0"
JOB NUMBER	1251

Plan 17a Dec 16, 2013
DP 13-642725

A-4.01

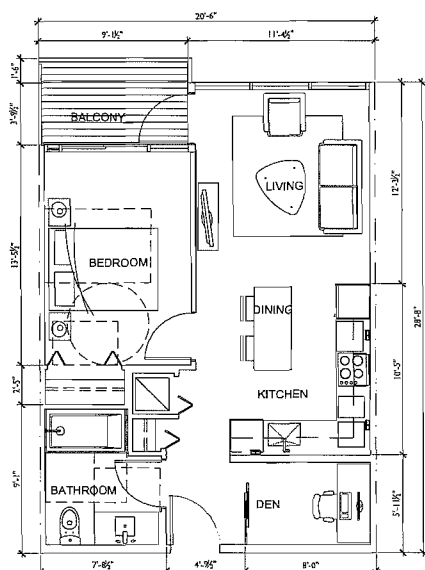


PLOT INFO:
Plotted 1 November 2011
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST NEW WESTMINSTER DISTRICT

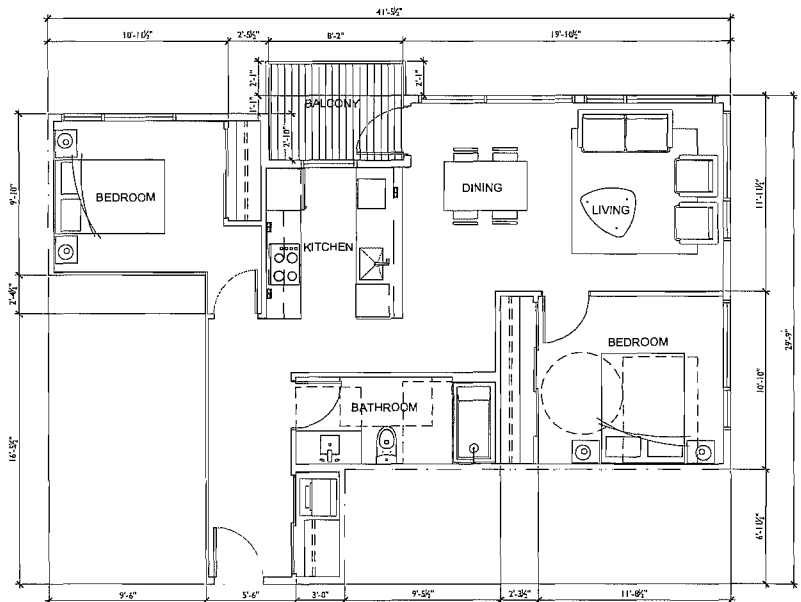
ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1	MAR 14, 2012	PROGRESS SET
2	JULY 20, 2012	DEVELOPMENT PERMIT APPLICATION
3	OCT 18, 2012	ADVISORY DESIGN PANEL SUBMISSION
4	MAY 14, 2013	CITY REVIEW - CIVIC COMMENTS RESPONSE
5	SEP 11, 2013	CITY REVIEW
6	OCT 10, 2013	CP APPLICATION - PRIOR TO

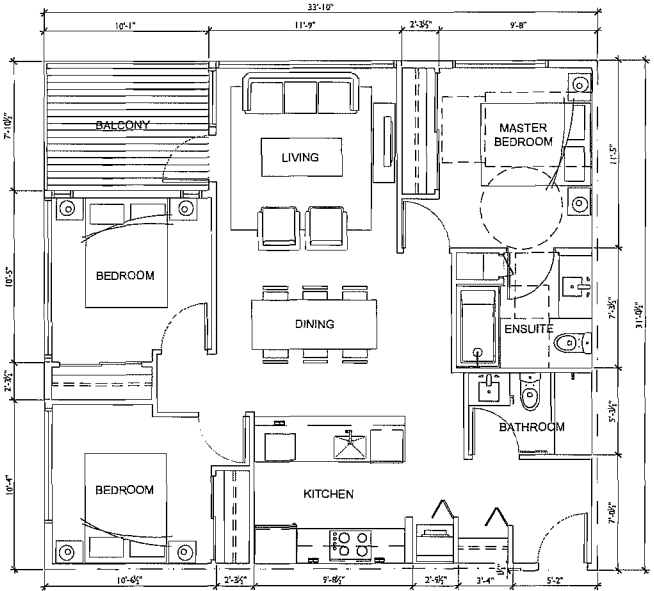
NOTE:
ALL ELEVATIONS ARE MEASURE TO SIM GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.



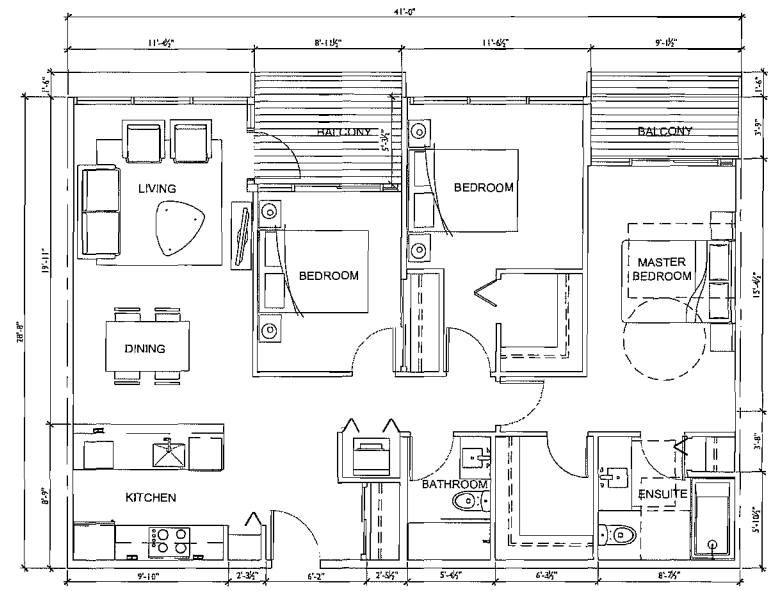
UNIT AH-A (BUH)
1 BED & DEN - 553 SQ.FT (6 UNITS)



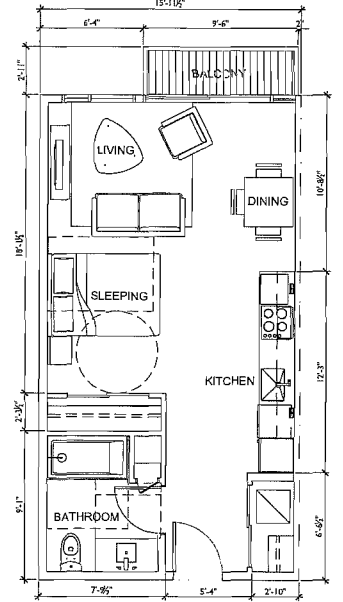
UNIT AH-B (BUH)
2 BEDROOM - 845 SQ.FT (1 UNIT)



UNIT AH-C1 (BUH)
3 BEDROOM - 967 SQ.FT (1 UNIT)



UNIT AH-C2 (BUH)
3 BEDROOM - 1094 SQ.FT (2 UNIT)



UNIT AH-D (BUH)
STUDIO - 471 SQ.FT

AFFORDABLE HOUSING			14,852 SF		17 UNITS			
TH1	TH2	TH3	A	B	C1	C2	D	
2 BED 2.5 BATH	2 BED 2.5 BATH & DEN	2 BED 2.5 BATH	1 BED & DEN	2 BED	3 BED 2 BATH	3 BED 2 BATH & DEN	STUDIO	
1,104	1,295	1,202	553	845	967	1,094	471	
1	4	1		1	1	1	1	
			2				1	
			2					
			2					
0	0	0						
0	0	0						
1	4	1	6	1	1	1	2	
1,104	5,180	1,202	3,318	845	967	1,094	942	

GENERAL AFFORDABLE HOUSING REQUIREMENTS
SINGLE STORY AFFORDABLE HOUSING (AH) UNITS MUST COMPLY WITH THE CITY OF RICHMOND ZONING BYLAW REQUIREMENTS FOR BASIC UNIVERSAL HOUSING (BUH)- SEE A4.01 FOR NOTES REGARDING BUH UNITS
TWO STORY AH UNITS MUST PROVIDE AGING IN PLACE

BASIC UNIVERSAL HOUSING FEATURES - NOTES

- 1) BUH HAS BEEN ADDED TO THE TITLE OF UNITS THAT INCORPORATE "BASIC UNIVERSAL HOUSING FEATURES" WILL COMPLY WITH RICHMOND ZONING BYLAW
- 1) AN AUTOMATIC DOOR OPERATOR SHALL BE PROVIDED FOR THE MAIN ENTRY. (MAIN LOBBY)
- 2) ROUGH-IN WIRING FOR AN AUTOMATIC DOOR OPERATOR SHALL BE PROVIDED AT EACH UNIT ENTRY DOOR
- 3) THE MINIMUM CLEAR OPENINGS FOR ALL ENTRY DOORS TO EVERY DWELLING UNIT AND DOORS IN COMMON AREAS SHALL BE NO LESS THAN 813 mm WHICH WILL BE PROVIDED BY A SWING DOOR.
- 4) THE MINIMUM CLEAR OPENING FOR THE INTERIOR DOORS TO AT LEAST ONE BEDROOM AND ONE ACCESSIBLE BATHROOM IN EVERY DWELLING UNIT SHALL BE NO LESS THAN 800 mm.
- 5) DOORS IN EVERY DWELLING UNIT AND COMMON AREAS SHALL BE OPERABLE BY ONE HAND THAT DOES NOT REQUIRE TIGHT GRASPING OR TWISTING OF WRIST.
- 6) FLUSH THRESHOLDS THROUGHOUT THE BUILDING SHALL BE A MAXIMUM OF 13.0 mm IN HEIGHT.
- 7) THE ABOVE-NOTED REQUIREMENTS FOR DOORS DO NOT APPLY TO MECHANICAL SERVICE AREAS, CLOSETS, ETC. WHERE THROUGH ACCESS IS NOT REQUIRED AND ACCESS TO A PERSON WITH A DISABILITY IS NOT ANTICIPATED.
- 8) ENTRY DOORS TO EVERY DWELLING UNIT AND DOOR ASSEMBLIES IN COMMON AREAS SHALL HAVE A CLEAR AND LEVEL AREA WHICH IS NOT LESS THAN THE FOLLOWING:
 - A) WHERE THE DOOR SWINGS TOWARD THE AREA (FULL DOOR), 1200 mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 600 mm CLEAR SPACE ON THE LATCH SIDE.
 - B) WHERE THE DOOR SWINGS AWAY FROM THE AREA (FULL DOOR), 1200 mm LONG BY WIDTH OF THE DOOR PLUS AT LEAST 600 mm CLEAR SPACE ON THE LATCH SIDE.
 - C) WHERE THERE ARE DOORS IN A SERIES IN COMMON AREAS, THERE MUST BE SEPARATION OF AT LEAST 1200 mm PLUS THE WIDTH OF THE DOOR.
 - D) ENTRY DOORS TO EVERY DWELLING UNIT ARE EXEMPT FROM THE REQUIREMENT TO PROVIDE THE 1200 mm LONG CLEAR AREA AND 600 mm CLEAR SPACE IF ROUGH WIRING IS PROVIDED FOR THE CONVERSION FOR AN AUTOMATIC DOOR OPERATOR.

CORRIDOR WIDTHS

9) COMMON CORRIDORS SHALL BE NO LESS THAN 1220 mm WIDE.

FLOOR SURFACES

- (6) FLOOR SURFACES THROUGHOUT THE BUILDING SHALL HAVE NO ABRUPT CHANGES IN LEVEL, I.E. A MAXIMUM BREAK OF THE FLOOR THRESHOLD OF 13.0 mm HEIGHT.
- 1) FLOOR SURFACES SHALL BE SLIP RESISTANT.
- 12) WHERE CARBETS ARE USED, THEY MUST BE FIRMLY FIXED, HAVE A FIRM UNDERLAY AND FILE UNDER 13.0 mm HEIGHT.
- 13) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE A WINDOW SILL HEIGHT THAT DOES NOT EXCEED 762 mm ABOVE THE FLOOR TO AFFORD SEATED VIEWING. AT LEAST ONE WINDOW IN THE BEDROOM AND ONE WINDOW IN THE LIVING ROOM SHALL AFFORD SUCH SEATED VIEWING.
- 14) WINDOWS WHICH ARE ACCESSIBLE SHALL HAVE OPENING MECHANISMS OPERABLE WITH ONE HAND AND OF A TYPE THAT DOES NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE UNIT.

OUTLETS AND SWITCHES

- 15) LIGHT SWITCHES, ELECTRICAL PANELS AND INTERCOM BUTTONS SHALL BE A MAXIMUM 1220 mm FROM THE FLOOR.
- 16) ELECTRICAL OUTLETS, CABLE OUTLETS AND TELEPHONE JACKS SHALL BE LOCATED NOT LESS THAN 450 mm FROM THE FLOOR.
- 17) THERMOSTATS SHALL BE LOCATED BETWEEN 900 mm TO 1350 mm FROM THE FLOOR.
- 18) THE OPERABLE PART OF CONTROLS SHALL BE LOCATED WITHIN REACH OF THE CLEAR FLOOR AREA THAT HAS A WIDTH OF NOT LESS THAN 750 mm.
- 19) LIGHT SWITCHES WILL BE ROCKER OR PADDLE-TYPE SWITCHES.

BATHROOMS

- 20) AT LEAST ONE BATHROOM SHALL:
 - A) HAVE A TOILET POSITIONED WITH THE CENTRE LINE OF THE TOILET 420 mm TO 480 mm FROM A SIDE WALL ON WHICH A GRAB BAR SHALL BE INSTALLED AND AT LEAST 1020 mm FROM ANY OBSTRUCTION ON THE NON-GRAB BAR SIDE OR IN FRONT OF THE TOILET; AND
 - B) HAVE A CLEAR FLOOR AREA AT THE SINK OF 760 mm BY 1200 mm POSITIONED FOR A PARALLEL APPROACH AND CENTERED ON THE SINK.
 - C) HAVE A MINIMUM CLEAR AREA OF 914 mm IN DEPTH ALONG THE FULL LENGTH OF THE BATH/TUB.
 - D) HAVE STRUCTURAL REINFORCEMENT IN WALLS BEHIND AND BESIDE THE TOILET AND THE WALLS AROUND THE TUB AND/OR SHOWER TO FACILITATE THE INSTALLATION OF GRAB BARS; AND
 - E) INCLUDE EASY TO GRASP HANDLES ON FAUCETS, E.G. LEVER-TYPE FAUCETS.

21) WHERE BATHROOMS ARE PROVIDED TO SERVE A COMMON AMENITY SPACE, AT LEAST ONE SHALL BE WHEELCHAIR ACCESSIBLE AS DESCRIBED IN THE BUILDING CODE AND THE TOP OF THE RIM OF THE TOILET IN THAT ONE BATHROOM SHALL BE 480 mm ABOVE THE FLOOR.

KITCHENS

- 22) THE KITCHEN MUST HAVE:
 - A) SOME USABLE COUNTER SPACE AND CUPBOARDS THAT CAN BE EASILY ACCESSED BY PEOPLE WITH DISABILITIES, INCLUDING PEOPLE WITH WHEELCHAIRS, E.G. CONTINUOUS COUNTER BETWEEN THE STOVE AND SINK; ADJUSTABLE SHELVES IN ALL CABINETS; FULL-OUT WORK BENCHES AT 810 mm HEIGHT; AND FULL-OUT CABINETS; SHELVES;
 - B) EASY TO GRASP HANDLES ON FAUCETS, E.G. LEVER-TYPE FAUCETS;
 - C) EASY TO GRASP HANDLES ON CUPBOARDS, E.G. D OR J TYPE CABINET HANDLES AND GRAB EDGES UNDER COUNTERS;
 - D) TASK LIGHTING AT SINK, STOVE AND KEY WORK AREAS; AND
 - E) PLUMBING AND UTILITY PIPES LOCATED TO PROVIDE FOR A POTENTIAL 810 mm WIDE UNDER COUNTER WORKSPACE SO AS NOT TO PREVENT THE EASY FUTURE CONVERSION OF COUNTER SPACE AND SINKS TO BEING UNIVERSALLY ACCESSIBLE FOR KNEE SPACE UNDER THE SINK WHERE THERE IS A COUNTER TOP STOVE BUILT IN.

BEDROOM AND CLOSET

- 23) THE SPACE AROUND A BED IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE SUFFICIENT SPACE TO PROVIDE A TURNING DIAMETER OF 1500 mm ON ONE SIDE OF A DOUBLE BED.
- 24) THE CLOSET IN A DWELLING UNIT THAT CONSISTS OF A BACHELOR SUITE AND AT LEAST ONE BEDROOM IN EVERY OTHER DWELLING UNIT SHALL HAVE A CLEAR OPENING OF AT LEAST 900 mm CLEAR FLOOR SPACE OF AT LEAST 750 mm BY 1200 mm AND A CLOTHES HANGER ROD THAT CAN BE LOWERED TO 1200 mm.

PATIOS AND BALCONIES

- 25) ACCESS DOORS SHALL HAVE A MINIMUM CLEAR OPENING OF 840 mm.
- 26) MINIMUM DIMENSIONS OF ANY BALCONY OR PATIO SHALL BE 1500 mm BY 1500 mm.

ALL REMAINING SUITS WILL INCORPORATE AGING IN PLACE FEATURES:

- STAIRWELL HANDRAILS.
- LEVER-TYPE HANDLES FOR PLUMBING FIXTURES, DOOR HANDLES.
- SOLID BLOCKING IN BATHROOM WALLS FOR FUTURE GRAB BARS BESIDE TOILET, BATH/TUB AND SHOWER.

Plan 17b Dec 16, 2013
DP 13-642725



CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

UNIT PLANS
AFFORDABLE HOUSING

DATE: FEB 02, 2012
DRAWN BY: JG
CHECKED BY:
SCALE: 3/16"=1'-0"
JOB NUMBER: 1251

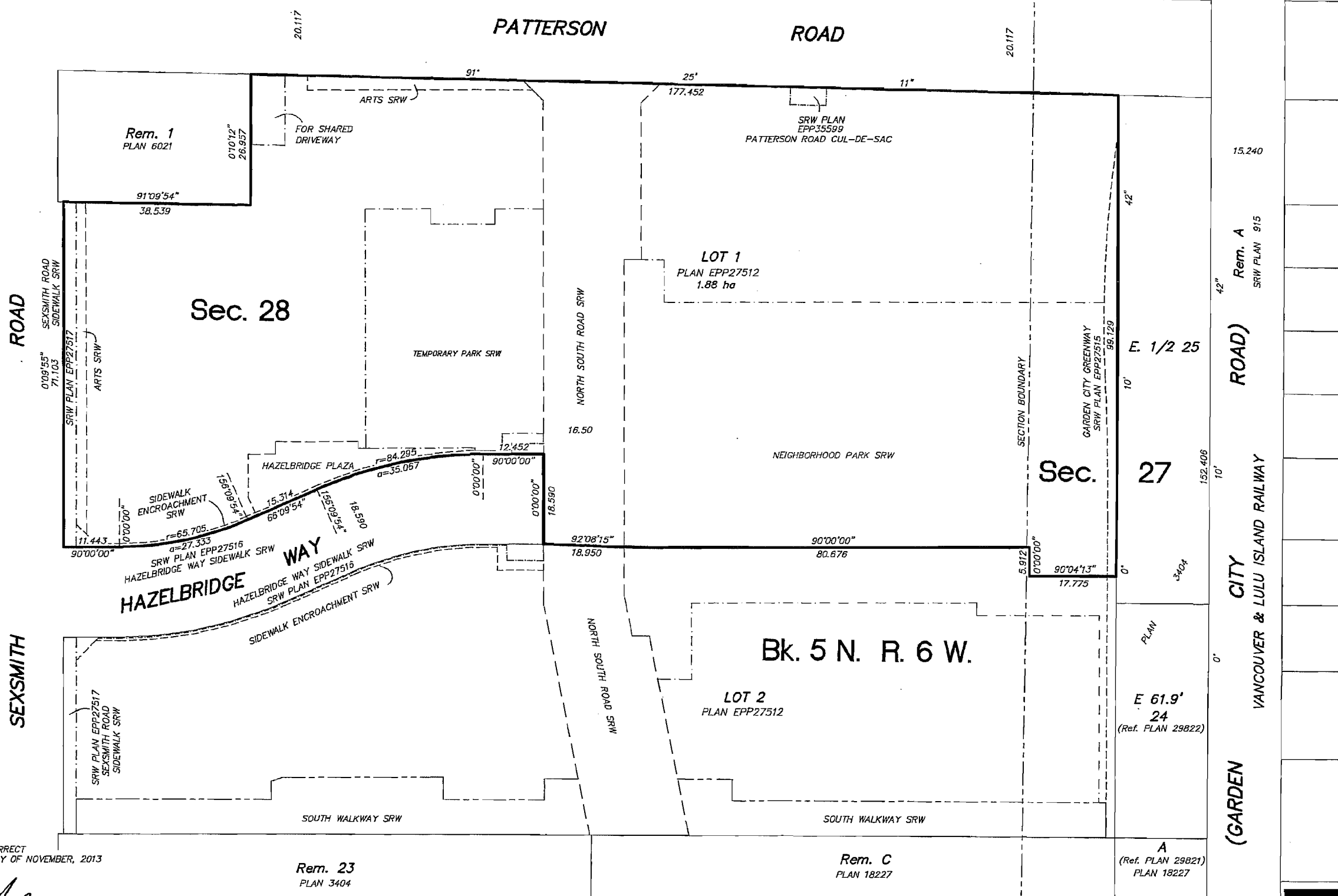
A-4.02

**SURVEY PLAN OF LOT 1 SECTIONS 27 AND 28
BLOCK 5 NORTH RANGE 6 WEST
NEW WESTMINSTER DISTRICT PLAN EPP27512**

CIVIC ADDRESS:
8888 PATTERSON ROAD
RICHMOND, B.C.
P.I.D. 029-003-610

0 20 40
SCALE 1:600 DISTANCES ARE IN METRES

Rem. 31 PLAN	Rem. Pcl. A (RD30427E)	Rem. E. 1/2 32	Rem. W. 1/2 33	Rem. Pcl. A (309188E) 3404	Rem. 1 PLAN	Rem. 2 7957	Rem. 3 PLAN	Rem. W. 1/2 35 3404	Rem. E.1/2 35 3404	Rem. 36 PLAN 3404 BYLAW PLAN 29822
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gBL ARCHITECTS INC.
140-224 WEST 11TH AVENUE
VANCOUVER, BC CANADA V6J 3C7
TELEPHONE 604-736-1156
FACSIMILE 604-731-5279



PLOT INFO:
Plotted 1 November 2011
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR. 14, 2011	PROGRESS SET
2.	JULY 28, 2011	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 15, 2011	ADVISORY DESIGN PANEL SUBMISSION
4.	MAR. 14, 2012	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC. 11, 2013	CITY REVIEW
6.	DEC. 16, 2013	DP APPLICATION - PRIOR TO

NOTE:
ALL ELEVATIONS ARE MEASURED TO IM GEODETIC IN PLANS, SECTIONS AND
ELEVATIONS

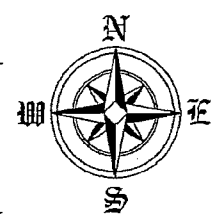
Reference Plan Dec 16, 2013
DP 13-642725



CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

SURVEY

DATE	FEB 27, 2013
DRAWN BY	PJG
CHECKED BY	-
SCALE	NTS
JOB NUMBER	1251



CERTIFIED CORRECT
THIS 26th DAY OF NOVEMBER, 2013

Jesse Main
B.C.L.S.
JESSE MAIN

Rem. 23
PLAN 3404

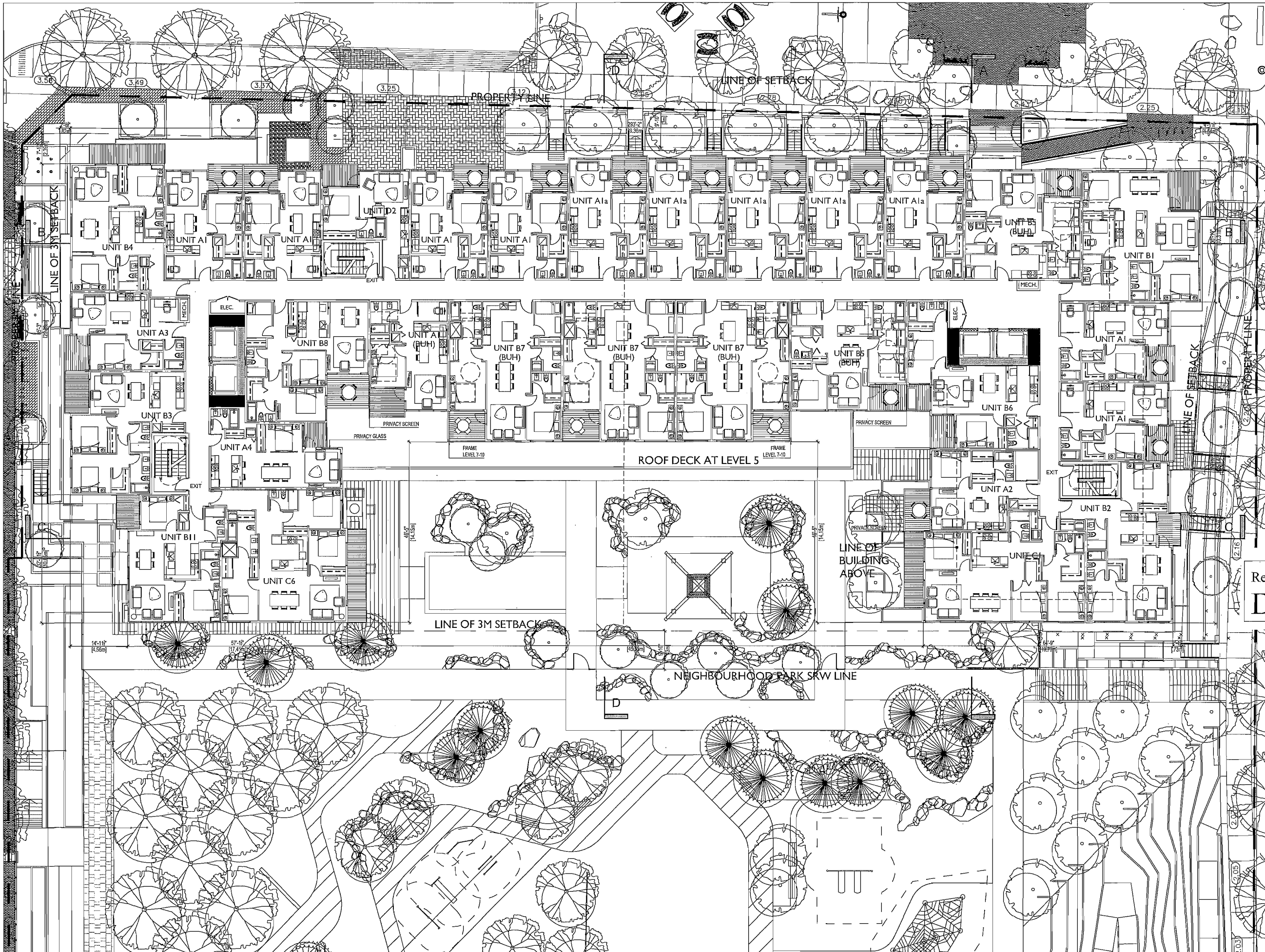
Rem. C
PLAN 18227

A
(Ref. PLAN 29821)
PLAN 18227

BUTLER
SUNDVICK
4 - 19089 94th Ave
Surrey, BC V4N 3S4
www.butlersundvick.ca
Tel. 604-513-9611
File: 3486
Dwg: 3486-S1-LOT 1

THIS PLAN LIES WITHIN THE GREATER VANCOUVER REGIONAL DISTRICT

A-1.06



gBL ARCHITECTS INC.
 140-204 WEST 41TH AVENUE
 VANCOUVER, BC CANADA V6J 2G3
 TELEPHONE 604 731 1156
 FACSIMILE 604 731 5279



PROJECT NORTH

PLOT INFO:
 Project: November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14, 2013	PROCESSED SET
2.	JULY 26, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT 16, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	MAR 14, 2013	CITY STAFF - STAFF COMMENTS RESPONSE
5.	OCT 16, 2013	CITY REVIEW
6.	DEC 16, 2013	CP APPLICATION - PRIOR TO

NOTE:
 ALL DIMENSIONS ARE MEASURED TO 00 GRIDLINE IN PLANS, SECTIONS AND ELEVATIONS.

Reference Plan Dec 16, 2013
DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 6-8

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AS
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.04



gBL ARCHITECTS INC.
 140 - 2524 WEST 14TH AVENUE
 VANCOUVER, BC CANADA V6J 2C9
 TELEPHONE 604 276 1156
 FACSIMILE 604 271 5378



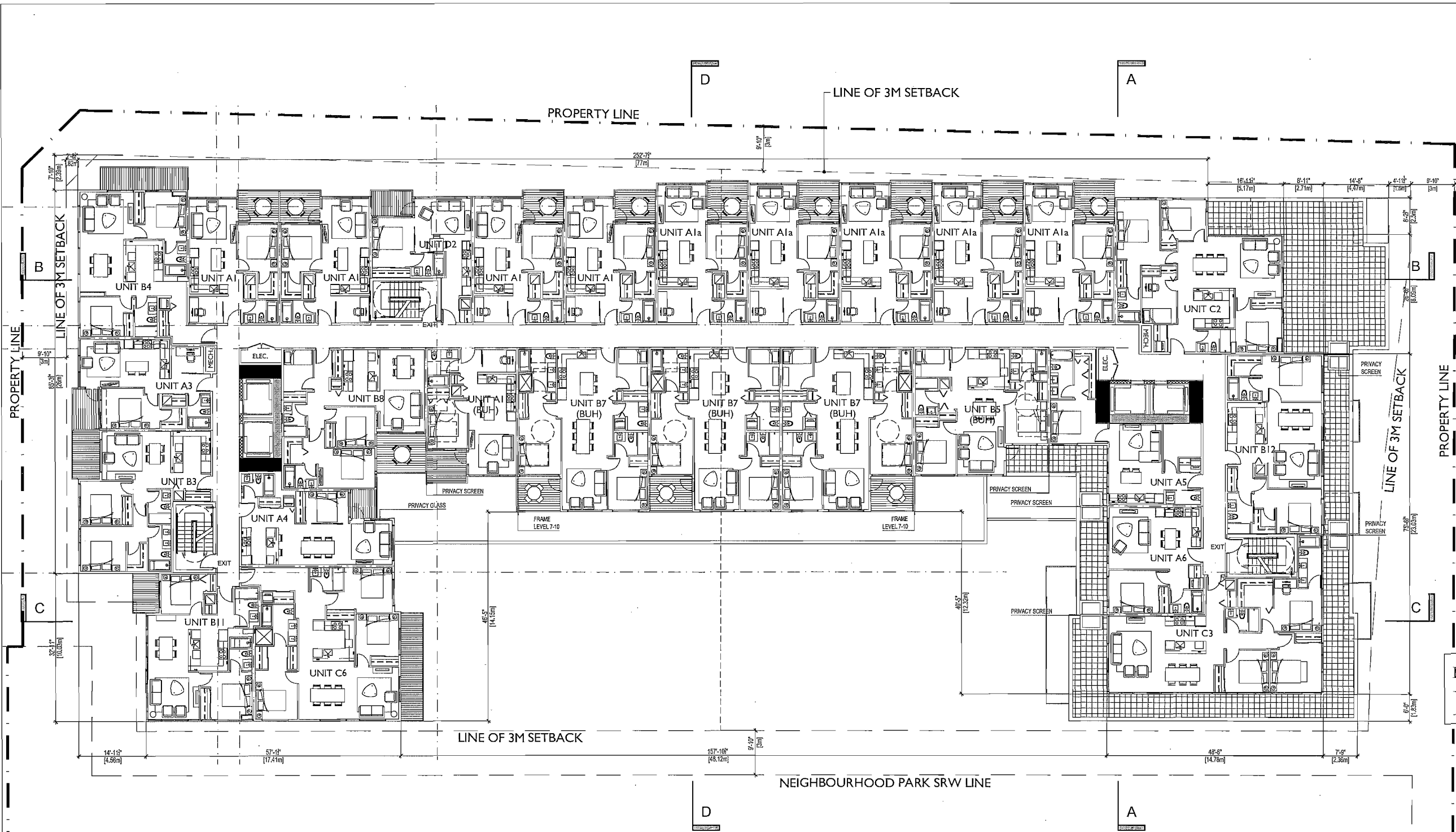
PROJECT NORTH

PLOT INFO:
 Plotted 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	JUNE 14, 2013	PROPOSER SET
2.	JULY 29, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT 16, 2013	ADVISORY PANEL SUBMISSION
4.	NOV 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC 11, 2013	CITY REVIEW
6.	DEC 16, 2013	DP APPLICATION - PREPARED

NOTE:
 ALL ELEVATIONS ARE MEASURED TO ON GRAPHIC W PLANS, SECTIONS AND ELEVATIONS.



Reference Plan Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 9

DATE	MAR 14, 2013
DRAWN BY	PJG
CHECKED BY	AB
SCALE	SS
JOB NUMBER	1251

A-3.05



gBL ARCHITECTS INC.
 142 - 2534 WEST 11TH AVENUE TEL: 604 276 1156
 VANCOUVER, BC CANADA V6J 2C9 FACSIMILE: 604 271 1579



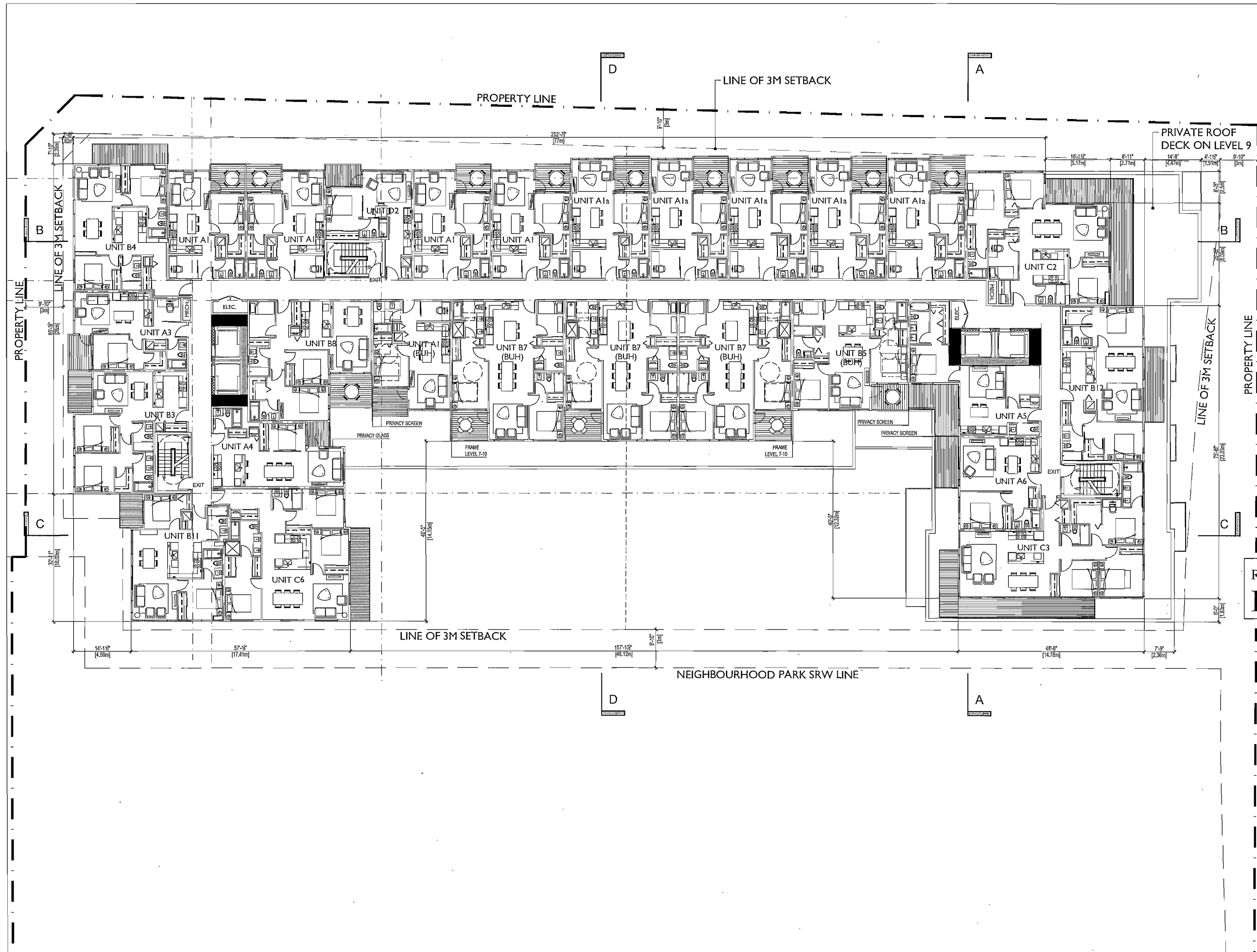
PROJECT NORTH

PLOT INFO:
 Plotted 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14, 2013	PROGRESS SET
2.	JULY 29, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT 18, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	MAR 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	OCT 18, 2013	CITY REVIEW
6.	OCT 18, 2013	DP APPLICATION - PROS-TO

NOTE:
 ALL ELEVATIONS ARE MEASURED TO GO GRAPHIC IN PLANS, SECTIONS AND ELEVATIONS.



Reference Plan Dec 16, 2013
 DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 10

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.06



gBL ARCHITECTS INC.
 140 - 2014 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 3C7
 TELEPHONE 604 731 1156
 FACSIMILE 604 731 5275

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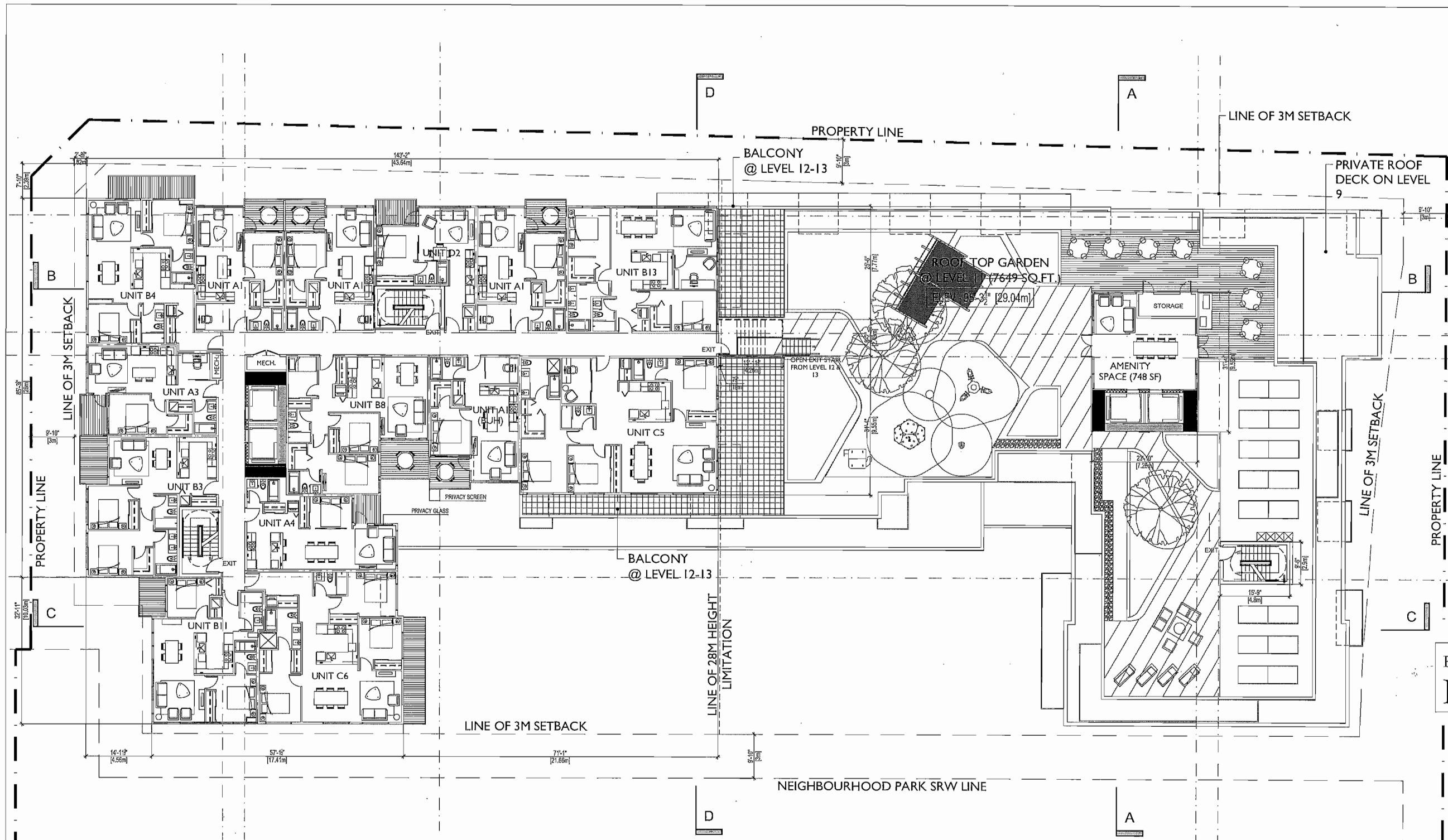
PROJECT NORTH

PLOT INFO:
 Filed 13 November 2013
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST; NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14, 2013	PROPOSED SET
2.	JULY 23, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 19, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	NOV. 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC. 11, 2013	CITY REVIEW
6.	DEC. 18, 2013	CITY APPLICATION - FINAL TO

NOTE:
 ALL DIMENSIONS ARE MEASURED TO 0M GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.



Reference Plan Dec 16, 2013
DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 11

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32" = 1'-0"
JOB NUMBER	1251

A-3.07



PROJECT NORTH

PLOT INFO:

Planned November 2011

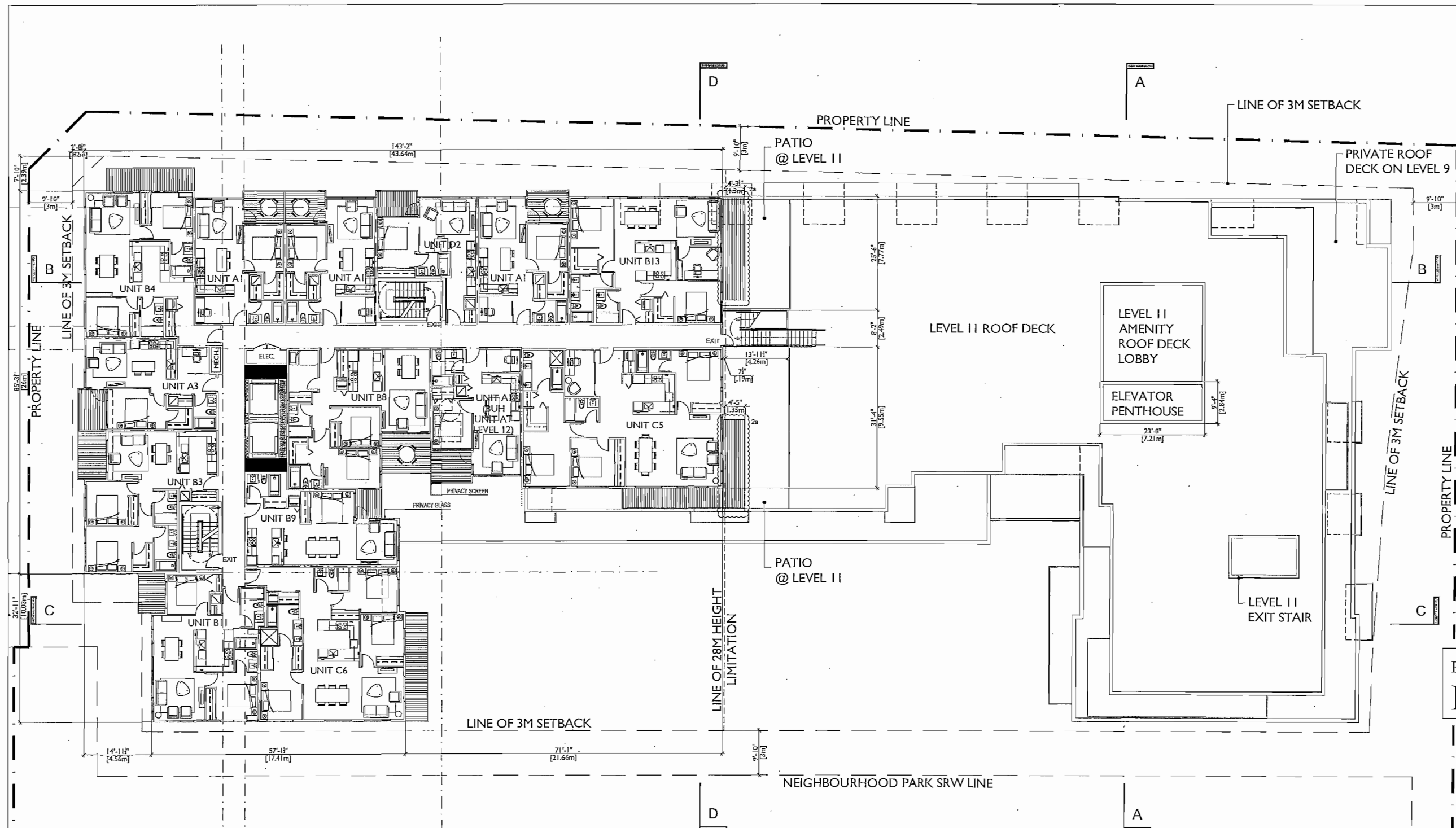
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST/NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR. 14, 2013	PROVISIONS SET
2.	JULY 29, 2013	DEVELOPMENT PLANET APPLICATION
3.	OCT. 16, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	NOV. 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC. 16, 2013	CITY REVIEW
6.	DEC. 16, 2013	DP APPLICATION - FINAL

NOTE:

ALL ELEVATIONS ARE MEASURED TO THE GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.



Reference Plan Dec 16, 2013
DP 13-642725



CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

LEVEL 12-13

DATE	MAR. 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.08

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	



gBL ARCHITECTS INC.
 140 - 2054 WEST 117TH AVENUE
 VANCOUVER, BC CANADA V6V 1J9
 TELEPHONE 604 726 1154
 FACSIMILE 604 721 5277



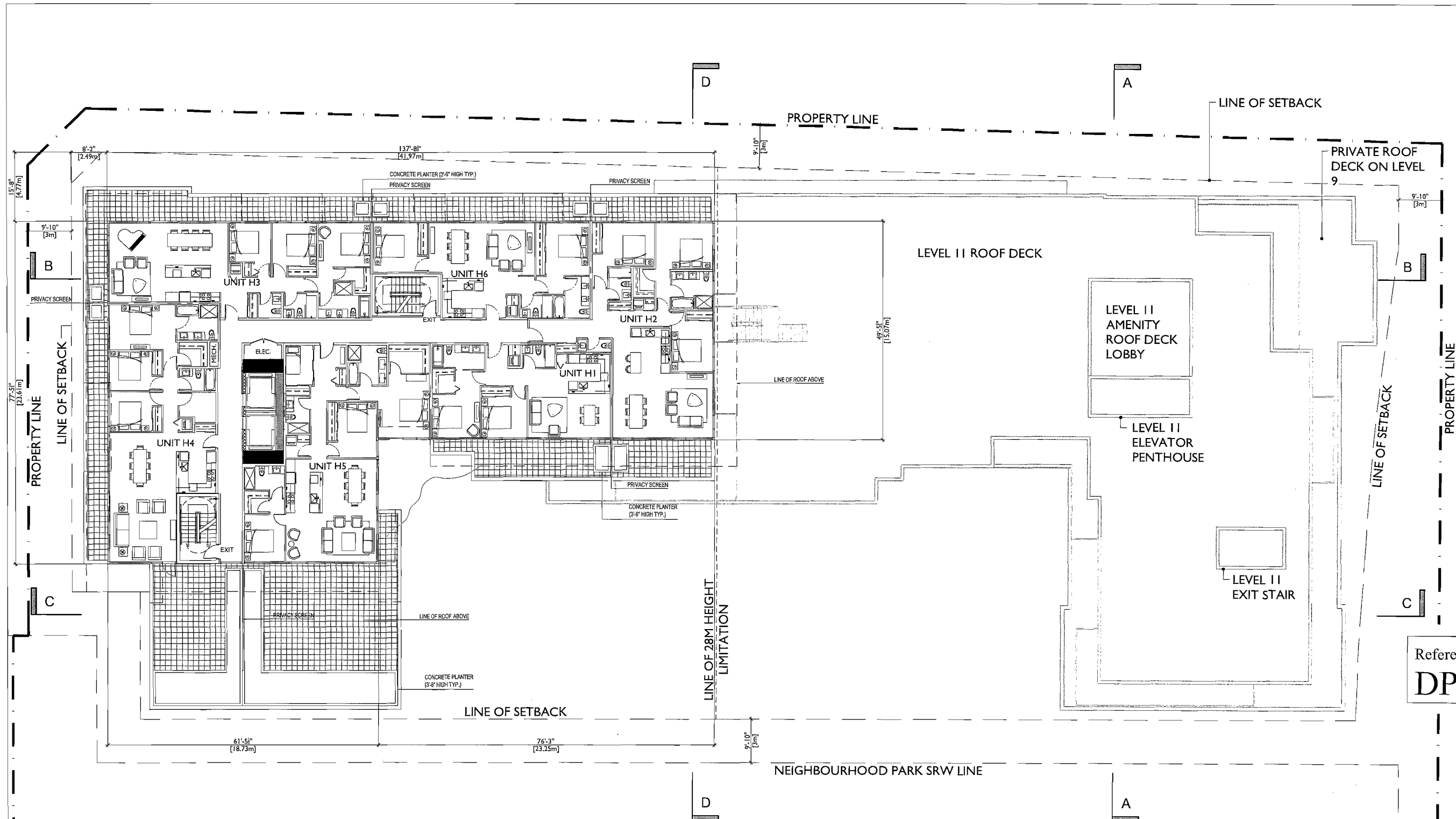
PROJECT NORTH

PLOT INFO:
 Plotted 1 November 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR. 14, 2013	PROGRESS SET
2.	JULY 25, 2012	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 13, 2012	ADVISORY DESIGN PANEL SUBMISSION
4.	MAY 14, 2012	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	DEC. 11, 2012	CITY REVIEW
6.	DEC. 18, 2012	OP. APPLICATION - PRIOR TO

NOTE:
 ALL ELEVATIONS ARE MEASURE TO 5M GEODETIC IN PLANS, SECTIONS AND ELEVATIONS.



Reference Plan Dec 16, 2013
DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 14

DATE	MAR. 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.09



gBL ARCHITECTS INC.
 143 - 2014 WEST 11TH AVENUE
 VANCOUVER, BC CANADA V6J 2C9
 TELEPHONE: 604 731 1154
 FACSIMILE: 604 731 5279

APPROVED FOR THE PLAN AND DESIGN AND ALL THE WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF VANCOUVER'S ZONING BYLAW AND ALL APPLICABLE REGULATIONS AND ORDINANCES.



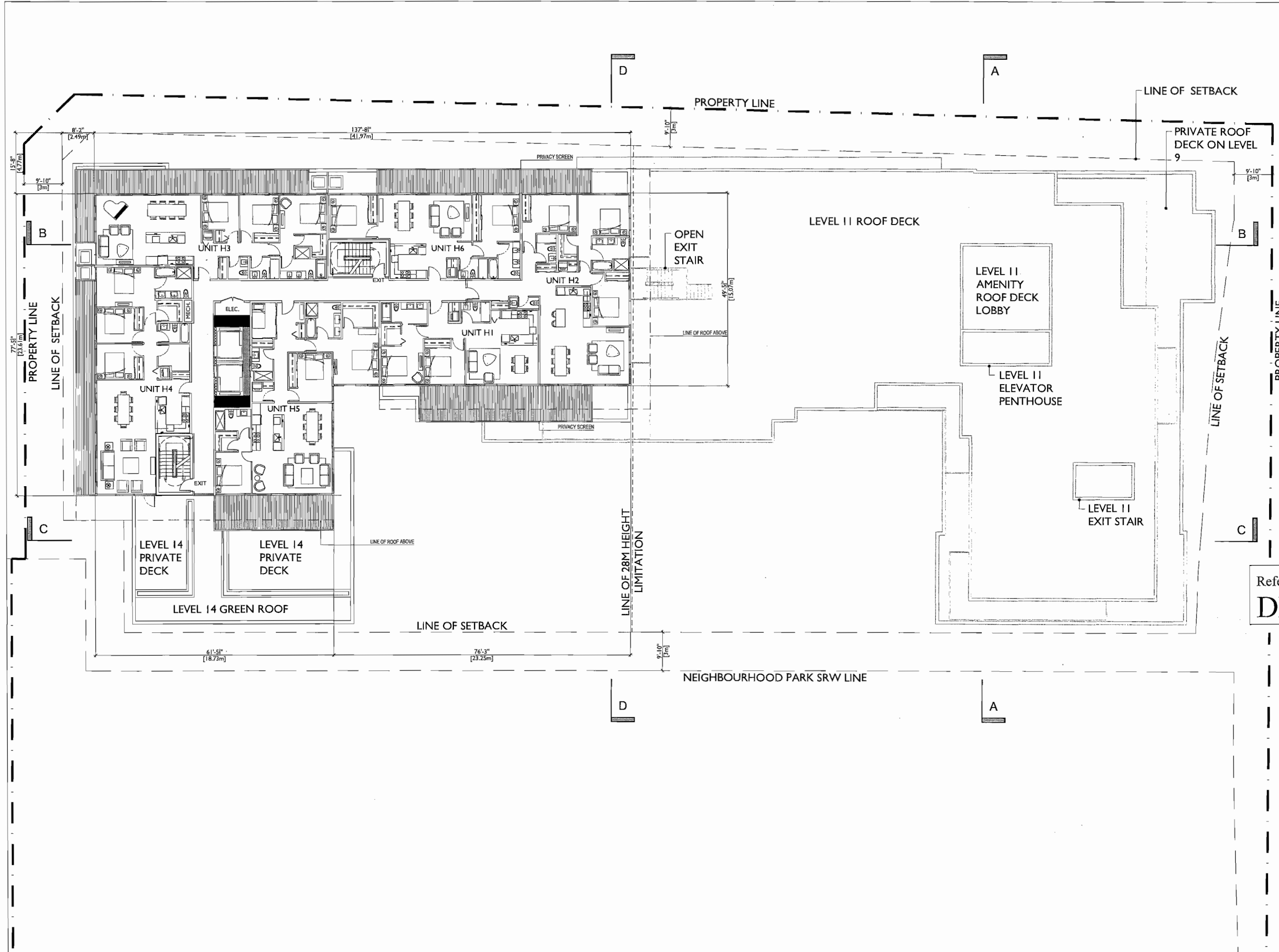
PROJECT NORTH

PLOT INFO:
 Project Name: 2011
 Legal Address: LOT 1; PLAN BCP
 SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
 WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR 14, 2013	PROGRESS SET
2.	JULY 19, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT 15, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	Nov 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	Dec 11, 2013	CITY REVIEW
6.	Dec 18, 2013	DP APPLICATION - PRIOR TO

NOTE:
 ALL ELEVATIONS ARE MEASURED TO THE GEOMETRIC IN PLANS, SECTIONS AND ELEVATIONS.



Reference Plan Dec 16, 2013
DP 13-642725



CONCORD GARDENS
 PHASE 2
 RICHMOND, BC
 FOR CONCORD PACIFIC

LEVEL 15

DATE	MAR 14, 2013
DRAWN BY	SS
CHECKED BY	AB
SCALE	3/32"=1'-0"
JOB NUMBER	1251

A-3.10



gBL ARCHITECTS INC.
140 - 204 WEST 11TH AVENUE
VANCOUVER, BC CANADA V6J 2C9
TELEPHONE 604 736 1154
FACSIMILE 604 731 9279

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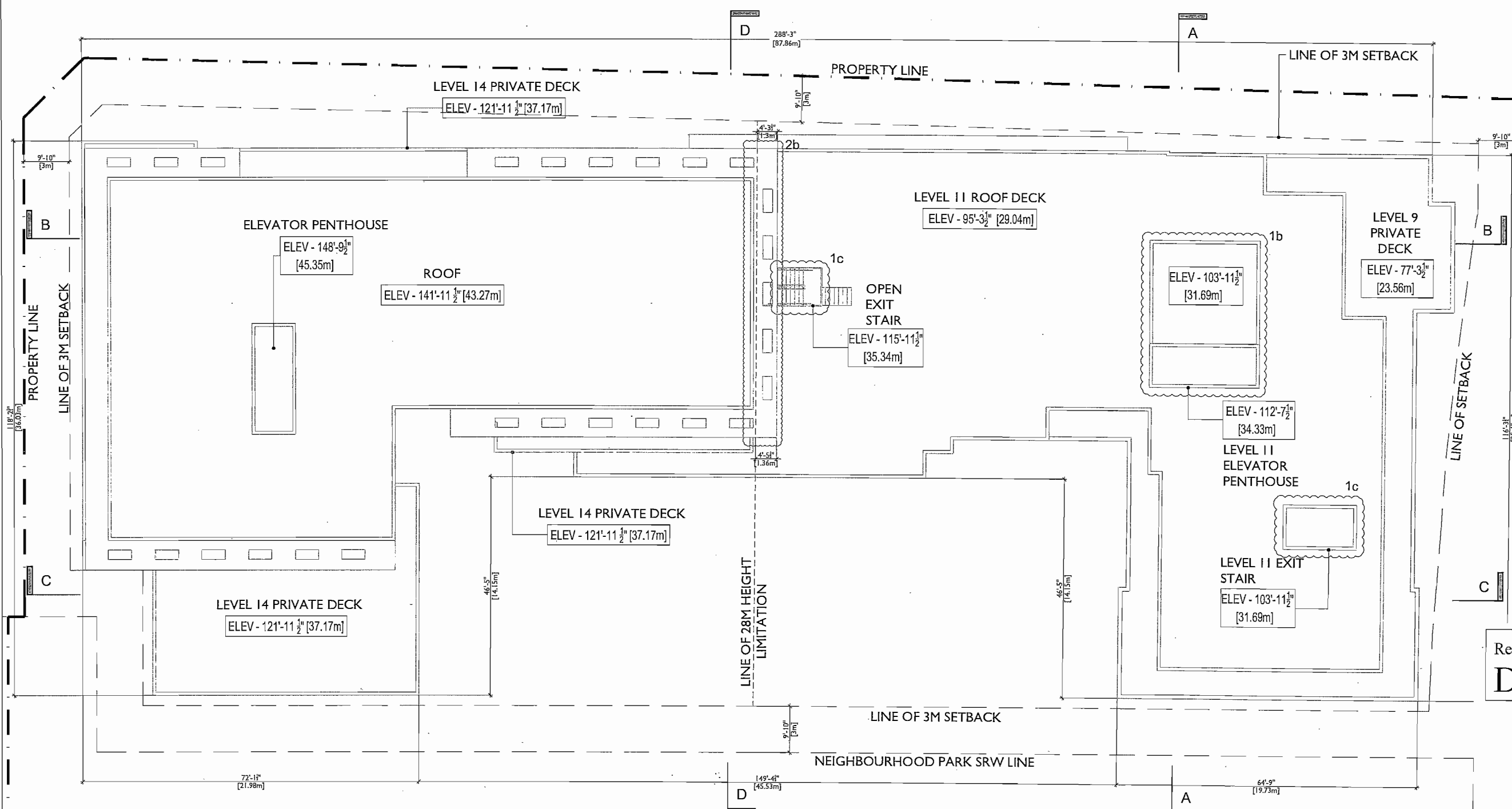


PLOT INFO:
Plotted: November 2011
Legal Address: LOT 1; PLAN BCP
SECTIONS 27 AND 28; BLOCK 5; NORTH RANGE 6
WEST, NEW WESTMINSTER DISTRICT

ISSUE / REVISIONS

NO.	DATE	DESCRIPTION
1.	MAR. 14, 2013	PROGRESS SET
2.	JULY 29, 2013	DEVELOPMENT PERMIT APPLICATION
3.	OCT. 15, 2013	ADVISORY DESIGN PANEL SUBMISSION
4.	Mar 14, 2013	CITY REVIEW - STAFF COMMENTS RESPONSE
5.	Dec 11, 2013	CITY REVIEW
6.	Dec 12, 2013	DP APPLICATION - PRICED

NOTE:
ALL ELEVATIONS ARE MEASURED TO FIN GEODETIK IN PLANS, SECTIONS AND ELEVATIONS.



Reference Plan Dec 16, 2013
DP 13-642725



CONCORD GARDENS
PHASE 2
RICHMOND, BC
FOR CONCORD PACIFIC

ROOF PLAN

DATE: MAR 14, 2013
DRAWN BY: SS
CHECKED BY: AB
SCALE: 3/32"=1'-0"
JOB NUMBER: 1251

A-3.11

Zoning Bylaw Variances		
1a	Exit stair @ Level 11	Increase the maximum allowable building height for portions of the building located less than 50.0 m from a lot line abutting Garden City Road, for the purpose of permitting enclosed stair shafts, an elevator penthouse, and an indoor residential amenity space, from 28.0 m to 33.4 m.
1b	Elevator & indoor amenity space @ Level 11	
1c	Unenclosed exit stair @ Levels 11-13	
2a	Balconies @ Levels 12 & 13	Reduce the minimum allowable setback from a lot line abutting Garden City Road for portions of the building having a height greater than 28.0 m, for the purpose of permitting a cantilevered roof and balconies, from 50.0 m to 48.6 m.
2b	Cantilevered roof	